



Historic District Review Board Meeting

March 17, 2026 at 5:00 PM

Cape Charles Civic Center - 500 Tazewell Avenue

Agenda

1. Call to Order

- A. Roll Call
- B. Establish Quorum

2. Invocation and Pledge of Allegiance

3. Public Comments

4. Consent Agenda

- A. Approval of Agenda Format
- B. Approval of Minutes

New Business: Applications for Certificate of Appropriateness:

5. RENOVATIONS, ADDITIONS, & NEW CONSTRUCTION:

- A. 519 Mason Avenue
- B. 115 Randolph Avenue
- C. Tax Map #83A1-2-11-9 on Bay Avenue

6. OTHER:

- A. Report from Zoning Administrator
- B. 2025 Annual Report

7. Adjournment

File Attachments for Item:

B. Approval of Minutes



**HISTORIC DISTRICT REVIEW BOARD
&
PLANNING COMMISSION
Joint Work Session
Cape Charles Civic Center
February 17, 2026
5:00 p.m.**

At approximately 5:00 p.m., Chairwoman Kathy Glaser, having established a quorum, called to order the Historic District Review Board (HDRB) Joint Work Session. In addition to Chairwoman Glaser, members present were Joan Cooper, Ken Monarch, and Elizabeth Wright. Also in attendance were the Director of Planning and Zoning Administrator, Code Official Jeb Brady, Planning/Zoning Assistant, and Preservation and Zoning Administrator Tracy Outten, and Town Clerk Libby Hume. There were three members of the public in attendance.

At approximately 5:00 p.m., Chairman Bill Stramm, having established a quorum, called to order the Planning Commission (PC) Joint Work Session. In addition to Chairman Stramm, commissioners present were Bill Ashworth, Allen Clark, and Elizabeth Wright. Jim Hollaway arrived after roll call. Clayton Newman and Ian McDonald were not in attendance.

Chairwoman Glaser started the HDRB and PC Joint Work Session with a moment of silence and the recitation of the Pledge of Allegiance.

ORGANIZATIONAL MEETING:

A. Election of Officers per Bylaws

Motion made by Member Cooper, seconded by Chairwoman Glaser, to update the regular meeting of the board time to 5:00 p.m. in Section 6-1 of the Historic District Review Board By-Laws. The motion was approved by a unanimous vote.

Kathy Glaser accepted the nomination for Chairwoman of the Historic District Review Board.

Motion made by Member Monarch, seconded by Member Cooper, to accept the nomination of Kathy Glaser for Chairwoman of the Cape Charles Historic District Review Board. The motion was approved by a unanimous vote.

Elizabeth Wright accepted the nomination for Vice-Chairwoman of the Historic District Review Board.

Motion made by Chairwoman Glaser, seconded by Member Cooper, to accept the nomination of Elizabeth Wright for Vice-Chairwoman of the Cape Charles Historic District Review Board. The motion was approved by a unanimous vote.

Tracy Outten will remain as Secretary to the Historic District Review Board.

CONSENT AGENDA:

Motion made by Vice-Chairwoman Wright, seconded by Member Cooper, to approve the agenda as written. The motion was approved by a unanimous vote.

OTHER BUSINESS:

- A. *Review of Draft Zoning Text Amendments to Chapter 32, Article VIII – HD Overlay – and new Appendix G to Design Guidelines*
Ms. Nunez read the staff report.

Ms. Nunez read the proposed amendments to Town Code Chapter 32, Article VIII. There was no discussion.

Discussion and questions were as follows: (i) There were some questions about the definition of alterations, repair, or replacement. It was decided that definitions were needed. (Please see attached.) (ii) Members of the commission and board thought that repair and replacement were two different projects. (iii) Consistent language was necessary across all sections. (iv) Each line item was discussed. (Please see the attached Draft Appendix G with all changes in purple.) (v) Mr. Brady had reservations about checking whether or not a building permit was needed for each section because it always depends on the actual work being done. He added that most of the items were not clear-cut and would be on a case-by-case basis. Ms. Nunez did not think it was a good idea to co-mingle the Planning and Zoning and Building Departments, as each application could have different requirements. After some discussion, a statement would be added at the top of the page regarding the homeowner being responsible for contacting the building department. Mr. Brady did try to give some guidance in certain sections of Draft Appendix G. (vi) The review of Draft Appendix G would be continued at another Joint Work Session, scheduled for March 3, 2026.

Motion made by Member Cooper, seconded by Vice-Chairwoman Wright, to adjourn the February 17, 2026 Historic District Review Board Joint Work Session with the Planning Commission at 7:06 p.m.

Motion made by Commissioner Holloway, seconded by Vice-Chairman Ashworth, to adjourn the February 17, 2026 Planning Commission Joint Work Session with the Historic District Review Board at 7:06 p.m.

HDRB Chairwoman Kathy Glaser

Planning Commission Chairman Bill Stramm

Planning/Zoning Assistant Preservation & Zoning Administrator

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 Civic League Committee Amendments – GREEN FONT & strikethroughs
 HDRB & PC Work Session Changes – PURPLE FONT & Strikethroughs

APPENDIX G – CLASSIFICATION OF WORK – GENERAL GUIDELINES

The following chart is provided as a reference for Routine Maintenance, Minor Work, and Major Work, as defined in the Cape Charles Zoning Ordinance, Article VIII. This chart does not exempt the homeowner from obtaining the required building permits. It is the homeowner's responsibility to confirm and obtain all necessary Zoning and Building permits.

Please call the Planning & Zoning Department with any questions.

	Type of Work	Routine Maintenance	Minor Work	Major Work	Inspection Required	Code Official Review
1)	Painting or repainting of a non-masonry structure does not require approval.					
2)	Accessory Structures* or Buildings , Additions to existing that can be seen from the public right-of-way			X	X	Case-by-Case basis
	a) Repairs or Replacement to existing when there is no change in dimensions, design, materials, or general appearance.	X			Case-by-Case basis	
	b) Repairs or Replacement to existing when there is no change in dimensions, design, or general appearance, but a change in materials, using in-kind (like replaced with equivalent)		X		X	
	c) Additions to existing that cannot be seen from the public right-of-way		X		X	
	d) Alterations to existing that can be seen from the public right-of-way			X	X	
	c) Additions or Alterations to existing, or New Construction that cannot be seen from the public right-of-way		X		X	
	d) Alterations to existing that cannot be seen from the public right-of-way		X		X	
	e) New Construction that can be seen from the public right-of-way			X	X	
	f) New Construction that cannot be seen from the public right-of-way		X		X	
	d) Additions or Alterations to existing, or New Construction that can be seen from the public right-of-way			X	X	
	Accessory Structures* or Buildings, Replacement of existing		X		X	
3)	Architectural Details Style (define architectural details) are the characteristics and features that make a building or other structure notable or historically identifiable.					Case-by-Case basis
	a) Repair/Replacement to existing when there is no change in dimension, design, materials, or appearance	X			Case-by-case basis	
	b) Repair/Replacement to existing when there is no change in dimensions, design or general appearance, but a change in materials, using in-kind (like replaced with equivalent)		X		X	

	Type of Work	Routine Maintenance	Minor Work	Major Work	Inspection Required	Code Official Review
	c) New/ Alteration/Addition/Removal of existing			X	X	
4)	Awnings and Canopies and Shutters					
	a) Repair/ Replacement when there is no change in dimensions, design, materials, or appearance	X			Case-by-case basis	Case-by-Case basis
	b) Installation of new/ Additions/Removal of Existing			X	X	X
	Alterations/Removal when there is no change in design or materials		X		X	
5)	Buildings, Relocation			X	X	X
6)	Carpports					
	Alteration/Addition/Removal		X		X	
	a) Repairs or Replacement to existing when there is no change in dimensions, design, materials, or general appearance	X				X
	b) Repair/ Replacement to existing /Alteration/Addition/Removal when there is no change in dimensions, design, or general appearance but a change in materials, using in-kind (like replaced with equivalent)		X		X	X
	c) New Construction that cannot be seen from the public right-of-way		X		X	X
	d) New Construction that can be seen from the public right-of-way		X	X	X	X
7)	Certificate of Appropriateness					
	a) Modification to previously approved CoA (could require HDRB approval)		X		Case-by-Case	
	b) Renewal of Expiring		X			
8)	Chimneys					
	a) Reflash existing caps, stucco, caulking when there is no change in dimensions, design, materials, or general appearance	X	X			
	b) Reflash existing caps, stucco, caulking where there is no change in dimensions, design, or general appearance but a change in materials, using in-kind (like replaced with equivalent)		X		X	
	c) New Construction/Alteration/Removal			X	X	X
9)	Decks					
	a) Repair/Replace of existing when there is no change in dimensions, design, materials, dimensions , general appearance	X	X		X	Case-by-Case basis
	b) Repair/Replacement to existing when there is no change in design or general appearance, but a change in materials, using in-kind (like replaced with equivalent)		X		X	Case-by-Case basis
	c) New Construction/Alteration/Addition/Removal		X	X	X	Case-by-Case basis
10)	Doors (Exterior)					
	a) Replacement – when there is no change in dimensions, design, materials, or general appearance	X				Case-by-

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	Type of Work	Routine Maintenance	Minor Work	Major Work	Inspection Required	Code Official Review
						Case basis
	b) Replacement – when there is no change in dimensions, design, or general appearance but a change in materials, using in-kind (like replaced with equivalent)		X			Case-by-Case basis
	c) Alterations/Addition/Removal – when there is change in style or opening size			X	X	X
	d) New Installation or New opening (example: window to door)			X	X	X
11)	Doors (Storm), Installation (Front of House only)					
	a) Repair/Replace of existing when there is no change in dimensions, design, materials, dimensions, general appearance	X				
	b) Repair/Replacement to existing when there is no change in dimensions, design or general appearance, but a change in materials, using in-kind (like replaced with equivalent)		X		X	
	c) New Installation (front of house only)/Removal		X	X	X	
12)	Driveways					
	a) Alteration/Addition/Removal/ Repair/Replacement of existing when there is no change in dimensions, design, materials, or general appearance	X		X	X	
	b) New Construction/Alteration/Additional/Removal of existing when there is a change in dimensions, design, materials, or appearance			X	X	
13)	Features not specifically listed – some examples are arches, corbels, historic signage, vestibules etc. (For example: An architectural feature is a distinct, prominent element of a building that contributes to its overall design, function, or aesthetic appeal, whether functional or decorative. These elements which can include structural components like columns and arches or decorative features like molding and windows, help define a structure's character, style, and purpose, often reflecting the cultural and technological context of their creation).)					
	a) Repair/Replacement when there is no change in dimensions, design, materials, or general appearance	X	X		Case-by-case basis	Case-by-case basis
	b) Repair/Replacement to existing when there is no change in dimensions, design, or general appearance, but a change in materials, using in-kind (like replaced with equivalent)		X		X	Case-by-case basis
	c) New Construction/Addition/Alteration/Removal			X	X	Case-by-case basis
14)	Fences					
	a) Repair/ Replacement with approved materials from guidelines and Zoning Approval in compliance with the Town Code	X	X		X	
	b) New Construction/ Replacement /Alteration of Placement		X		X	
15)	Foundations					

	Type of Work	Routine Maintenance	Minor Work	Major Work	Inspection Required	Code Official Review
	a) Repair of exposed existing when there is no change in dimensions, design, materials, or general appearance	X			✗	Case-by-case basis
	b) Addition/Alteration/Replacement of exposed existing	✗		X	X	Case-by-case basis
16)	Foundation Vents and Ventilators					
	a) Repair/Replacement of existing when there is no change in dimensions, design, materials, or general appearance	X				Case-by-case basis
	b) Repair /Replacement to existing when there is no change in dimensions, design, or general appearance, but a change in materials, using in-kind (like replaced with equivalent)		X		X	Case-by-case basis
	c) Alteration/Installation/Removal		X		Case-by-case basis	
17)	Fuel Tanks Addition/Removal – Screening is required to limit visibility if placed in view of the public right-of-way	Not historic, but requires zoning administrator approval and building code review				X
18)	Gutters and Downspouts					
	a) Repair/Minor Replacement when there is no change in design, materials, or appearance	X				
	b) Change in Material/ Replacement/Installation/Addition/Removal		X			
19)	Hand Rails/Stair Rails/Porch Rails					
	a) Repairs/Replacement – no change in dimensions, design, materials, or appearance	X				
	b) Repairs /Replacement – no change in dimensions, design, or general appearance, but a change in materials, using in-kind (like replaced with equivalent)		X		X	
	c) Alterations/Removal/New Construction			X	X	X
20)	Lighting Fixtures (Exterior)					
	a) Repair/Replacement when there is no change in dimensions, design, materials, or appearance	X				
	b) Alteration/Installation/Removal		X		✗	
21)	Masonry					
	a) Repainting only when there is no change to the existing color or composition. only when using existing color. Painting to another color or treatment and (Painting of unpainted masonry not allowed.)	X	✗		✗	
	b) Repointing	X	✗			
	c) Alterations (Utility penetrations, hose bibs, vents)	X				Case-by-case basis
	d) Repairs/Replacement when the color and composition of the	X				Case

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	Type of Work	Routine Maintenance	Minor Work	Major Work	Inspection Required	Code Official Review
	mortar match the original, and the new brick or stone matches the original					by-case basis
	e) Alteration/Construction/Removal			X	X	X
22)	Outdoor Features: Outdoor kitchens, outdoor firepits, built-in BBQs, – Screening is required to limit visibility if placed in view of the public right-of-way saunas, hot tubs, etc. (Needs additional definition – exempt from HDRB) *saunas, hot tubs, plunge or spa pools will be treated as swimming pools		X		Exempt from HDRB	Case-by-case basis
23)	Painting or repainting of a non-masonry structure does not require approval.	X				
24)	Patios – under 16” above grade					
	a) Repair/Replacement of existing when there is no change in dimensions, design (including dimensions), materials, or general appearance	X				
	b) Repair/Replacement to existing when there is no change in dimensions, design, or general appearance, but a change in materials, using in-kind (like replaced with equivalent)		X		X	
	c) Alteration/Addition/Removal of existing		X		Case-by-case basis	
	d) New Construction		X		X	
25)	Porches					
	a) Repair/Replacement when there is no change in dimensions, design, materials, or general appearance	X				Case-by-case basis
	b) Repair/Replacement when there is no change in design or general appearance, but a change in materials, using in-kind (like replaced with equivalent)		X		X	Case-by-case basis
	c) New Construction/Addition/Expansion/Removal of existing			X	X	Case-by-case basis
	Alteration of existing			X	X	
26)	Primary Buildings Main Building What is the definition of Primary Buildings? Zoning only mentions relative to solar panels					
	a) Repair/Replacement when there is no change in design, materials, or appearance	X				
	b) Repair/Replacement when there is no change in design or general appearance but a change in materials (like replaced with equivalent)		X		X	
	c) New Construction of Commercial or Residential			X	X	X

	Type of Work	Routine Maintenance	Minor Work	Major Work	Inspection Required	Code Official Review
	d) Additions of Commercial or Residential that cannot be seen from the public right-of-way		X		X	X
	e) Additions of Commercial or Residential that can be seen from the public right-of-way			X	X	X
	Repainting non-masonry	X				
27)	Roof Forms & Covering					
	c) Alteration/Replacement of existing when there is a change in dimensions, design, materials, or general appearance			X	X	Case-by-case basis
	a) Repair/Replacement when there is no change in dimensions, design, materials, or general appearance (excluding color)	X	X		X	X
	b) Alteration Repair/Replacement when there is no change in dimensions, design, or general appearance (excluding color) but a change in materials, using in-kind (like replaced with equivalent)		X	X	X	X
28)	Satellite Dishes and/or Television Antennas					
	a) Removal/Replacement of existing when there is no change in dimensions, design, materials, or general appearance	X				
	b) Removal/Replacement of existing when there is no change in design or materials, but a change in general appearance		X		Case-by-case basis	
	c) New Installation		X		Case-by-case basis	
29)	*Screening like (hedges, plants, or other visual buffers) is required to limit visibility if an appurtenance is placed in view of the public right-of-way that is utilized to mitigate the public viewpoint of an Accessory Structure. This may be a designated condition for an approved Certificate of Appropriateness (needs additional clarification)		X		X	
30)	Showers (Outdoor)					
	a. Repairs/Replacement – no change in dimensions, design, materials, or general appearance	X				
	b. Repairs/Replacement – there is no change in dimensions, design, or general appearance, but a change in materials, using in-kind (like replaced with equivalent)		X		X	
	c. Alterations/Removal/New Construction (Minor Work/Case by Case)		X		Case-by-case basis	X
31)	Shutters					
	a. Repairs/Replacement – no change in dimensions, design, materials, or general appearance	X				
	b. Repairs/Replacement – there is no change in dimensions, design, or general appearance, but a change in materials, using in-kind (like replaced with equivalent)		X		X	
	c. Alterations/Removal/New Construction			X	X	
32)	Siding					
	a. Repairs/Replacement – no change in design, materials, or general appearance	X				
	b. Repairs/Replacement – there is no change in dimensions,		X			

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	Type of Work	Routine Maintenance	Minor Work	Major Work	Inspection Required	Code Official Review
	design or general appearance, but a change in materials, using in-kind (like replaced with equivalent)					
	c. Alterations/Removal			X	X	
33)	Significant Features, Alteration/Removal (need additional clarification for the definition of significant features)			X	X	
34)	Signs					
	a. Repair/Replacement when there is no change in dimensions, design (including dimensions), materials, or general appearance	X				
	b. Alteration/Installation/Removal (must comply with Town Code Chapter 32 (Zoning), Article V (Signs) (Excludes historic markers and signs signed excluded by the sign ordinance)		X		X	
35	Solar Panels					
	a. Repair/replacement when there is no change in dimensions, design, materials, or general appearance	X	X		X	
	b. Repair/replacement when there is a change in dimensions, design, materials, or general appearance		X		X	
	c. Installation of new that cannot be seen from the public right-of-way		X		X	
	d. Installation of new that can be seen from the public right-of-way			X	X	
36.	Stairs and Steps (Exterior – Street View)					
	a. Repair/Replacement when there is no change in dimensions, design, materials, or general appearance	X			X	
	b. Repair/replacement when there is a change in dimensions, design, materials, or general appearance		X		X	
	Alteration/Addition/Removal			X	X	
	c. New Construction/Alteration/Addition/ Removal			X	X	
37)	Stairs and Steps (Exterior – Non-Street View)					
	a. Repair/Replacement when there is no change in dimensions, design, materials, or general appearance	X				
	b. Repair/replacement when there is a change in dimensions, design, materials, or general appearance		X		X	
	c. New Construction/Alteration/Addition/ Removal			X	Case-by-case basis	
38)	Surfaces (Exterior) not specifically listed (define surfaces and provide examples)					
	a. Repair/Replacement when there is no change in dimensions, design, materials, or appearance	X	X		X	
	b. Repair/replacement when there is a change in design, materials or general appearance		X		X	
	c. Addition/Alteration/Removal			X	X	
39)	Structure, Demolition of Contributing in whole or part			X	X	
40)	Structure, Demolition of Non-Contributing in whole or part		X		X	

	Type of Work	Routine Maintenance	Minor Work	Major Work	Inspection Required	Code Official Review
41)	Structure, Emergency Stabilization (not historic but requires zoning administrator approval and building code official review)		✗		✗	
42)	Swimming Pools, Spa Pools, Saunas, Plunge Pool, Hot Tubs, etc.					
	a. Repairs to existing	X				
	b. Addition/Alteration/New Construction. A fence is required to be placed around the perimeter of the pool. A fence is required to be placed around the perimeter of the pool in compliance with the Virginia Building Code. Not historic but requires zoning administrator approval and building code official review.		✗		Case-by-case basis	
	c. Removal Not historic but requires zoning administrator approval and building code official review.		✗		Case-by-case basis	
43)	Temporary Features, Emergency Installation/Emergency Stabilization to protect a historic property that do not alter the resource Not historic but requires zoning administrator approval and building code official review.		✗		✗	
44)	Temporary Family Health Care Structures, Installation/Alteration/Removal that are necessary due to a medical condition per VA Code Sec. 15.2-2292.1. Not historic but requires zoning administrator approval and building code official review.		✗		Case-by-case basis	
45)	Walkways					
	a. Repair/Replacement when there is no change in dimensions, design, materials, or general appearance	X				
	b. Repair/replacement when there is no change in design but a change in materials or general appearance		X		X	
	c. New Construction/Addition/Alteration/Removal/Repair/Replacement		✗	✗	X	
46)	Walls (for example: garden or retaining walls)					
	b. New Construction/Alteration of Placement		X		X	
	a. Repair/Replacement of existing when there is no change in dimensions, design, or general appearance with approved materials from guidelines.	X	✗		✗	
47)	Windows (includes casings and sills)					
	a. Caulking and weatherstripping when there is no change in dimensions, design, materials, or general appearance	X				
	b. Repair/Replacement when there is no change in dimensions, design, materials, or general appearance	X	✗		✗	
	c. Repair/replacement when there is no change in design but a change in materials or general appearance		X		X	
	d) Installation of new/Alteration of Style or Opening Size/Removal of Existing			X	X	
	Alteration/Removal of existing			✗	✗	
48)	Windows (Storm)					
	a. Repair/Replacement when there is no change in dimensions, design, materials, or general appearance	X				
	b. Repair/replacement when there is no change in design but a change in materials or general appearance		X		X	
	Installation/Alteration/Removal		X		Case-by-case basis	

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NOTES:

- 1. Although not all sections were reviewed, they have been updated to reflect the discussion on the consistency of wording.**
- 2. The chart will be alphabetized and formatted as necessary once all edits have been made.**

File Attachments for Item:

A. 519 Mason Avenue



Historic District Review Board Staff Report

Agenda Title: 519 Mason Avenue

Agenda Date: March 17, 2026

Prepared by: Tracy Outten, Planning/Zoning Assistant – Preservation & Zoning Administrator

Reviewed By: Katie H. Nunez, Director of Planning & Zoning Administrator

Date: March 3, 2026

Applicant: Norman & Margaret Allen represented by Kimberly Allen Szogas

Type Of Application: Certificate of Appropriateness

Site Address: 519 Mason Avenue

Work to be Performed: to renovate and construct a covered deck on the accessory structure

Tax Map: 83A3-1-579

Current Zoning: CR

Lot Size: 5,622 sq. ft.

Historic Register: CONTRIBUTING

Description: Ca. 1886, Folk Victorian

Accessory Structure: Garage, Non-Contributing

Date Application Received: February 1, 2026

Pre-Application Meeting: November 11, 2025

Date Application Deemed Complete: March 3, 2026

Legal Deadline: HDRB Decision (90 Days from Complete Application): June 1, 2026

Overview:

The applicant is seeking to renovate the existing accessory structure as follows: (1) Front: (i) Remove the existing garage door and replace it with a paneled door and siding where needed, (ii) construct a 160 sq. ft. covered deck, and (iii) install a 210 sq. ft. concrete patio and wooden steps off the covered deck; (2) East Side: (i) Add a new door opening for the existing door to be relocated, (ii) add new window opening to install existing west side window relocation; and (3) West Side: (i) Relocate one of the existing 36” double hung windows to the east side, (ii) add one new 1/1 transom window; (3) Install siding on all areas as needed on the accessory structure. Also, included in this application is the installation of a privacy fence.

Aerial Map:



Materials:

Siding: Concrete Hardy Board 5/16" thickness x 5" exposure (to match house)

Windows: 61-1/2" x 13-1/2" Heritage Transom Double Pane Vinyl

Door: 141" x 96" Panel Multi-Slider Vinyl, **Trim:** 3-3/4" x 96" x 4-9/16" AZEK

Foundation: Concrete Block with Brick Veneer

Covered Deck: **Roof:** Asphalt Architectural Shingles, **Ceiling:** Shiplap Cedar **Flooring:** Parged Concrete with 12 x 12 Porcelain Pavers, **Columns:** 9' x 6" x 6" Treated Lumber with AZEK Wrap Square, **Steps:** 6" x 12" x 5'

Patio: **Flooring:** Parged Concrete with 12 x 12 Porcelain Pavers, **Columns:** 9' x 6" x 6" Treated Lumber with AZEK Wrap Square, **Steps:** 6" x 12" x 5'

Fence: 6' Cedar Wood Vertical Slats

Staff Analysis:

Zoning Compliance:

The property is a legal, conforming use. The proposed project is seeking to remove the existing deck and construct a rear addition and deck on the single-family dwelling. Also, proposed are a rear walkway, parking area, and fence. Although Zoning Compliance has not been achieved because the proposed additions exceed the allowable lot coverage of 50%, the HDRB can still review the submitted application packet and decide if the proposed project and materials are in keeping with the Cape Charles Historic District Overlay Design Guidelines.

Any property within the Historic District Overlay is required to meet the Historic District Guidelines, which are superimposed on the underlying zoning district regulations.

Historic District Guidelines:

Section 3.1: Architectural Character

Section 3.2: Building Types, Forms, & Associated Architectural Styles (Page 3-12 – Folk Victorian)

Section 5.6: Noncontributing Accessory Structures Associated with a Contributing Primary Building

Section 9.1: Hardscaping (Driveway, Walkways, & Other Paving)

Section 9.2: Fences & Freestanding Walls

Section 9.3: Decks, Ramps, & Patios

Staff Recommendation:

Staff is requesting the HDRB to review the application material submitted by the applicant and determine if the proposed additions and renovations to the accessory structure and materials are in keeping with the Guidelines of the Historic District and reflect the character and historic appearance of the neighborhood.

Staff is prepared to assist in the development of a motion, if needed.

The Historic District Review Board makes the final determination on whether or not a Certificate of Appropriateness will be issued for this project and may impose conditions on an approval.

If approved, a Certificate of Appropriateness shall expire of its own limitation six (6) months from the date of issuance if the work authorized thereby is not commenced by the end of such six (6) month period; and further, any such certificate shall also expire and become null and void if such authorized work is suspended or abandoned for a period of six (6) months after being commenced.

Attachments:

Attachment 1: Application and Supporting Documents

Revised 11/2025	
Taxes	Paid
Violations	NA
Fee	\$500
Decision	HDRB



Certificate of Appropriateness Application Renovation

Planning & Zoning Department
 412 Tazewell Avenue
 Cape Charles, VA 23310
 757-331-3259 x31
planningtech@capecharles.org

Budget Code: HISTF 100-3100-1100

Budget Code VIOLATIONS: PERMZ 100-3100-1370

PART 1: APPLICATION NOTES

A Certificate of Appropriateness is required for all applications for zoning clearances and permits involving any exterior alteration, modification, restoration, reconstruction, demolition, new construction or moving of a property within the Cape Charles Historic District Overlay.

Minor Exterior Work* is exterior maintenance and repair, replacement of missing or broken windowpanes, roofing shingles, slates, tiles, porch floors, posts, rails, or shutters where no substantial change to design or material is proposed and other minor changes that do not materially change the historic characteristics of the building may be reviewed by the Zoning Administrator. Upon approval the applicant is responsible for confirming and obtaining all necessary building permits.

Major Exterior Work: is any alteration of the architectural style of a structure or its significant architectural elements, modifications, additions, and any major or minor work not eligible for administrative review must be reviewed and approved* by the Historic District Review Board. Upon approval the applicant is responsible for confirming and obtaining all necessary building permits.

Note: A pre-application meeting is available upon request prior to submitting this application.

The following documents must be submitted to the Town before this application can be reviewed. In addition to these documents, the COA application and requested supporting information relevant to the applicable sections must be deemed complete by department staff prior to being evaluated.

- A) Zoning Clearance Application
- B) Photos of existing condition
- C) Owner Permission Affidavit
- D) Payment of COA Fee (Residential – Minor \$75, Major \$150 / \$500 OR Commercial/Commercial Residential - \$1,000)
- E) Site Plan/Survey
- F) Material Specifications
- G) Tree Permit Application

Owner signature:  Date: 2-1-2026

PART 2: PROPERTY INFORMATION

Property Address: [REDACTED] Tax Map #: [REDACTED]

Is there an active Certificate of Appropriateness on this property? No Yes _____ Date Zoning District: CR

PART 3: PROPERTY OWNER INFORMATION

[REDACTED]

PART 4: APPLICANT INFORMATION

Check here if the applicant is owner. (If applicant is not the property owner, an Owner's Permission Affidavit must be attached.)

[REDACTED]

PART 5: PROJECT INFORMATION – Describe in detail proposed work.

(If any tree removal is being proposed a Tree Permit Application must be completed):

PART 6. ALTERATIONS, REPAIRS OR ADDITIONS

Select the type of work to be performed (check all that apply):

- Addition
 Doors
 Windows
 Masonry
 Porch
 Roofs
 Siding
 Steps/Stoop & Railings
 Trim Work
 Fence or Wall
 Partial demolition
 Hardscaping
 Appurtenances
 Other:

A. ADDITION Not applicable SEE SECTION 5.6 or 5.12 OF THE HISTORIC DISTRICT DESIGN GUIDELINES

Location (Attach a diagram; Survey/Site Plan is required):

Stories: _____ Building height: _____ Footprint: _____ Gross square footage: _____

Complete all sections below that apply to your addition and supply elevation drawings.

B. ROOF Not applicable SEE SECTION 4.2, 5.2, or 5.8 OF THE HISTORIC DISTRICT DESIGN GUIDELINES

Type of work: New
 Repair % of roof structure _____
 Reroofing: In kind _____ Different in style or material _____
 Add/Repair Gutters and downspouts
 Solar Panels
 Other Solar Installation

Location (Pictures of existing condition): *on front facade over proposed porch*

Existing Roof	Proposed Roof
Existing Condition: <input checked="" type="checkbox"/> Original <input type="checkbox"/> Not Original <input type="checkbox"/> Not Sure	Proposed Work: <i>add. 9'</i>
Existing Material: <i>Asphalt Architectural Shingles</i>	Proposed Material: <i>Asphalt Architectural Shingles</i>
Pitch: <i>same</i>	Pitch: <i>4/12 Shed roof</i>
Gutters & Downspouts: (Pictures of Location & Material Specs)	Solar: (Pictures of Location & Material Specs)
Proposed Work:	Proposed Work: <i>add roof over new porch</i>
Proposed Material:	Proposed Material: <i>Azer trim / asphalt architectural shingles</i>
Other / Additional Notes:	

C. DOORS Not applicable SEE SECTION 4.5, 5.5, or 5.11 OF THE HISTORIC DISTRICT DESIGN GUIDELINES

Number of doors to be: Added: *1*
 Removed: _____
 Relocate: *1*
 Repaired: _____
 Replaced: In kind _____
 Different in style or material _____

Attach a diagram of the house exterior with all doors numbered. Add documentation for each additional door.

Existing Door	Proposed Door
Door 1: Complete a separate Section C for each door being modified. Original to the home: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not Sure	Work to be completed: <input checked="" type="checkbox"/> Added <input type="checkbox"/> Removed <input type="checkbox"/> Repaired <input checked="" type="checkbox"/> Replaced
Existing Material: <i>WOODS</i>	Proposed Material: <i>Vinyl 1 1/2" x 1 1/2"</i>
Dimensions: Width <i>12'</i> Height <i>12'</i>	Dimensions: Width <i>6'</i> Height <i>8'</i> 96"
Configuration with picture (i.e., glass panes, divisions, decorative details & panels): <i>See photo - garage door</i>	Configuration with picture (i.e., glass panes, divisions, decorative details & panels): <i>no panes</i> Jam depth <i>4 1/2" to 8.56 inches</i>

Indicate the reason for change: *RV Door, doesn't lock or stay closed*

relocate 36" wide door x 6' 8" along long part OF EAST side, see photo.

D. WINDOWS Not applicable **SEE SECTION 4.5, 5.5, or 5.11 OF THE HISTORIC DISTRICT DESIGN GUIDELINES**

Number of windows to be: Added: 2 Removed: - relocated 1
 Repaired: _____ Replaced: In kind _____ Different in style or material _____

Minimum Guidelines: Window Sill – thickness of 1-1/2" and Window Casing or Trim – thickness of 3-1/2"

Attach a diagram of the house exterior with all windows numbered. Add documentation for each additional window.

Existing Windows	Proposed Windows
Window 1: Complete a separate Section D for each window being modified if it is a different size, configuration, etc. Original to the home: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not Sure	Work to be completed: <input checked="" type="checkbox"/> Added <input type="checkbox"/> Removed <input type="checkbox"/> Repaired <input type="checkbox"/> Replaced <u>Window 1</u>
Configuration (i.e., double-hung sash, 2/2, 6/1, 6/6, etc.): Include a picture <u>Double Hung Sash 6/6</u>	Configuration (i.e., double-hung sash, 2/2, 6/1, 6/6, etc.): Include a picture <u>1/1 Transom on West Side</u>
Width: <u>3'</u> Height: <u>5'</u> Depth: <u>3 1/2</u>	Width: <u>5'</u> Height: <u>12"</u> Depth: <u>3 1/2</u>
Existing Material: <u>Vinyl</u>	Proposed Material: <u>Vinyl</u>
Sill: Length: _____ Thickness: <u>1 1/2"</u> Depth: <u>3"</u>	Sill: Length: _____ Thickness: _____ Depth: <u>1 1/2"</u>
Existing Material: <u>Vinyl</u>	Proposed Material: <u>Vinyl</u> <u>4 9/16"</u>
Casing / Trim: Width: <u>6"</u> Height: _____ Depth: <u>3 1/2</u>	Casing / Trim: Width: _____ Height: _____ Depth: <u>3 1/2</u> <u>3 1/2</u>
Existing Material: <u>Vinyl</u>	Proposed Material: <u>Vinyl</u>
Shutters: Original: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Attach Location Picture)	Shutters: <input type="checkbox"/> Repair <input type="checkbox"/> Replace <input type="checkbox"/> New (Attach Location Picture)
Existing Material: _____	Proposed Material: _____
Indicate the reason for change: <u>Relocate window</u>	<u>Add Transom for light inside</u>

E. PORCHES Not applicable **SEE SECTION 4.4, 5.4, or 5.10 OF THE HISTORIC DISTRICT DESIGN GUIDELINES**

New materials should match the historic material, composition, shape, size, and other visual qualities.

Work to be done: Repair flooring Repair ceiling Repair columns Repair/Add Skirting Repair/Add Screening
 Flooring = Alter Replace Repair Columns = Alter Replace Repair
 Balustrade = Alter Replace Repair Ceiling = Replace Repair Skirting = New Replace Repair

Location (Attach pictures for all work including existing and proposed; Survey may be requested):

FLOORBOARDS: Number of boards to be: _____ Repaired _____ Replaced _____ Altered
Replacement of flooring should match the historic floorboard orientation. Replacement of an entire porch floor, ensure the new floor slopes away from the building.

Existing Condition: <input type="checkbox"/> Original <input type="checkbox"/> Not Original <input type="checkbox"/> Not Sure	Proposed
Existing Material: <u>Doesn't exist</u>	Proposed Material: <u>parged concrete w/ porcelain paver floor</u>
Dimensions: Length: _____ Width: _____ Depth: _____	Dimensions: Length: <u>16</u> Width: <u>10'</u> Depth: <u>12" High</u>

CEILING

Existing Condition: <input type="checkbox"/> Original <input type="checkbox"/> Not Original <input type="checkbox"/> Not Sure	Proposed
Existing Material: <u>Doesn't exist</u>	Proposed Material: <u>Ship lap Cedar</u>

COLUMNS

Existing Condition: <input type="checkbox"/> Original <input type="checkbox"/> Not Original <input type="checkbox"/> Not Sure	Proposed
Existing Material & Design: _____	Proposed Material & Design: <u>Treated Lumber w/ AZEK</u>
Existing Dimensions: Height: _____ Width: _____ Diameter: _____	Proposed Dimensions: Height: <u>9'</u> Width: <u>6"</u> Diameter: <u>6"</u>

CONTINUE COMPLETING THIS SECTION ON PAGE 4

BALUSTRADE	
Existing Condition: <input type="checkbox"/> Original <input type="checkbox"/> Not Original <input type="checkbox"/> Not Sure	Proposed
Existing Material:	Proposed Material:
Existing Dimensions: Height: Width: Diameter:	Proposed Dimensions: Height: Width: Diameter:
Existing Style / Design:	Proposed Style / Design:
SCREENING	
Existing Condition: <input type="checkbox"/> Original <input type="checkbox"/> Not Original <input type="checkbox"/> Not Sure	Proposed Work: <input type="checkbox"/> New <input type="checkbox"/> Replace <input type="checkbox"/> Repair
Existing Material:	Proposed Material:
SKIRTING	
Existing Condition: <input type="checkbox"/> Original <input type="checkbox"/> Not Original <input type="checkbox"/> Not Sure	Proposed Work: <input type="checkbox"/> New <input type="checkbox"/> Replace <input type="checkbox"/> Repair
Existing Material:	Proposed Material:
If replacing any item above, indicate the reason for replacement:	
If altering any item above, describe any proposed change (material, size, etc.):	
F. STEPS/STOOPS/RAILINGS <input type="checkbox"/> Not applicable SEE SECTION 4.4, 5.4, or 5.10 OF THE HISTORIC DISTRICT DESIGN GUIDELINES	
Location (Attach pictures; Survey may be requested):	
Number of Steps to be: <input type="checkbox"/> Repaired <input type="checkbox"/> Replaced <input type="checkbox"/> Altered 2 ADDED	
Existing Condition: <input type="checkbox"/> Original <input type="checkbox"/> Not Original <input type="checkbox"/> Not Sure	Proposed
Existing Material: Doesn't Exist	Proposed Material: 5' wide Treated Lumber
Dimensions: Rise: Run: Tread Width:	Dimensions: Rise: 6" Run: 12" Tread Width: 5"
If replacing, indicate the reason for replacement. If altering, describe any proposed change (material, configuration, size, etc.):	
Adding 2 STEPS b/c had to raise Floor inside 12" to accommodate plumbing	
Stoop to be: <input type="checkbox"/> Repaired <input type="checkbox"/> Replaced <input type="checkbox"/> Altered	
Existing Condition: <input type="checkbox"/> Original <input type="checkbox"/> Not Original <input type="checkbox"/> Not Sure	Proposed
Existing Material & Size:	Proposed Material & Size:
If replacing, indicate the reason for replacement. If altering, describe any proposed change (material, configuration, size, etc.):	
Number of Railings to be: <input type="checkbox"/> Repaired <input type="checkbox"/> Replaced <input type="checkbox"/> Altered	
Location (Attach pictures; Survey may be requested):	
Existing Condition: <input type="checkbox"/> Original <input type="checkbox"/> Not Original <input type="checkbox"/> Not Sure	Proposed
Existing Material:	Proposed Material:
Existing Dimensions: Height: Width: Diameter:	Proposed Dimensions: Height: Width: Diameter:
Existing Style / Design:	Proposed Style / Design:
If replacing, indicate the reason for replacement. If altering, describe any proposed change (material, configuration, size, etc.):	

G. SIDING Not applicable **SEE SECTION 4.4, 5.4, or 5.9 OF THE HISTORIC DISTRICT DESIGN GUIDELINES**

Type of work: Minor Repair Full Re-Siding (same material) Full Re-Siding (Change of material)

Location (Attach diagram & pictures):

Existing Siding	Proposed Siding
Original to the home: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not sure	
Existing Material: <i>Hardy Board</i>	Proposed Material: <i>Hardy Board to match</i>
Dimensions: Thickness: <i>5/16"</i> Width: <i>5" exposure</i>	Dimensions: Thickness: <i>5/16"</i> Width: <i>5" exposure</i>

Indicate the reason for change, e.g., underlying material condition, rot:

H. TRIM WORK Not applicable **SEE SECTION 4.4, 5.4, or 5.10 OF THE HISTORIC DISTRICT DESIGN GUIDELINES**

Type of work: Minor Repair Alteration

Location (Attach diagram & pictures):

Existing Trim	Proposed Trim
Existing Condition: <input checked="" type="checkbox"/> Original <input type="checkbox"/> Not Original <input type="checkbox"/> Not Sure	
Existing Material: <i>Hardy Board / Azek</i>	Proposed Material: <i>Azek 3 3/4"</i>
Dimensions: Width: Height: Depth:	Dimensions: Width: Height: <i>96"</i> Depth: <i>4 1/16"</i>
Style / Design:	Style / Design:

Reason for repair or alteration (change of material or design):
Add slide door to replace EV garage door

I. MASONRY Not applicable **SEE SECTION 4.3 or 5.3 OF THE HISTORIC DISTRICT DESIGN GUIDELINES**

Type of work: New foundation Substantial Reconstruction Minor Repair Repointing

Location (Attach diagram & pictures):

Existing Masonry	Proposed Masonry
Existing Condition: <input type="checkbox"/> Original <input type="checkbox"/> Not Original <input type="checkbox"/> Not Sure	
Existing Material:	Proposed Materials:
Existing mortar: Joints:	Mortar to be used: Mortar joints:

Other / Additional Notes: *(Unpainted masonry cannot be painted.)*

Existing Chimney	Proposed Chimney
Show location and document conditions with photographs	<input type="checkbox"/> Repair <input type="checkbox"/> Remove <input type="checkbox"/> Add a chimney cap

Indicate the reason for change and materials:

J. HARDSCAPING Not applicable **SEE SECTION 9.1 OF THE HISTORIC DISTRICT DESIGN GUIDELINES**

Location (Attach Site Plan/Survey & pictures):

<input type="checkbox"/> Driveway:	Length:	Width:	Materials:
<input type="checkbox"/> Walkway:	Length:	Width:	Materials:
<input type="checkbox"/> Other Paving:	Length:	Width:	Materials:

K. FENCE OR WALL Not applicable **SEE SECTION 9.2 OF THE HISTORIC DISTRICT DESIGN GUIDELINES**

Type of work: New Repair % of structure ___ Replace In kind ___ Different in style or material ___

Location (include survey showing location, setbacks, and height)

Existing Material: ' DOESN'T EXIST	Proposed Material WOOD
Height: neighbors Have 6"	Height: 6' see photo
Describe the style: full wood fence	Describe the style: Cedar vertical vertical slats

L. DECKS & PATIOS Not applicable **SEE SECTION 9.3 OF THE HISTORIC DISTRICT DESIGN GUIDELINES**

Location (Attach Site Plan/Survey & pictures): also under Section F. STOOPS

<input type="checkbox"/> Deck: Length: 15' Width: 10' Materials: concrete foundation parged Floor - pavers
<input checked="" type="checkbox"/> Patio: Length: 15' Width: 10' 12" OFF Ground Materials: Columns 6x6 Treated Lumber wrapped in

M. APPURTENCES Not applicable **SEE SECTION 9.4 OF THE HISTORIC DISTRICT DESIGN GUIDELINES** *Acck*

Location (Attach Site Plan/Survey & pictures):

New Repair Replacing Other:

Outdoor Shower: Enclosed Length: Width:

Material: Foot Pad Material:

Other, describe:

Dimensions: Material

Other:

Dimensions: Material

I hereby certify that I have the authority to make the foregoing application, that the information given is true and correct, and that the construction or improvements will conform to the regulations in the Virginia Statewide Building Code, all pertinent Town Ordinances, including fire, sewer and water ordinances, and private building restrictions, if any, which may be imposed on the property by deed. Furthermore, I certify that the changes to the improvement before or during construction will be provided to the Zoning Administrator and Building Official before such changes are constructed.

Applicant's signature: *[Signature]* Date: 11-30-2026

Zoning Administrator's signature: _____ Date: _____

Zoning Ordinance Article VIII Section: _____



Owner Affidavit for Permission to Represent

Planning & Zoning Department
2 Plum Street; Cape Charles, VA 23310
757-331-3259 x31

planningtech@capecharles.org

Revised 03/2023	Section 5, Item A.
Taxes	
Violations	
Fees	
Decision	

PART 1. APPLICATION NOTES

Use this form to give permission for a contractor, architect, or other individual to represent the owner of a property in matters within the Town of Cape Charles.

PART 2: PROPERTY INFORMATION

Property Address:

Tax Map #:

PART 3: PROPERTY OWNER INFORMATION

I hereby give authority to the following representative to act on my behalf on the following matter:

PART 4: REPRESENTATIVE INFORMATION

to file documents on my behalf

To represent me in meetings with Town officials

Name and/or Company:

Mailing Address:

Phone Number:

Email:

to file documents on my behalf

To represent me in meetings with Town officials



Affidavit for Accessory Dwelling Unit Use

Planning & Zoning Department
412 Tazewell Avenue
Cape Charles, VA 23310
757-331-3259 x24

planningtech@capecharles.org

Section 5, Item A.

Revised 11/2025	
Taxes	Paid
Violations	NA
Fee	
Decision	

Budget Code: MISPL-100-3100-1070

Violations Budget Code: PERMZ – 100-3100-1150

PART 1. APPLICATION NOTES

The Property Owner will submit an annual affidavit for Accessory Dwelling use attesting to their acknowledgement, adherence to the zoning code, and that the Accessory Dwelling Unit is in compliance with the Zoning Ordinance Requirements per Cape Charles Zoning Ordinance Article IV Section 4.1 (J).

The following criteria are required for one accessory dwelling to be maintained on a property in the R-1, R-2, R-3, and CR zoning districts, contingent upon approval as a conditional use in Section 4.1:

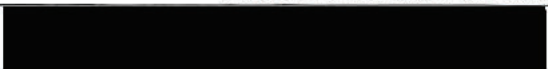
1. Is the accessory dwelling unit located in an accessory building? Yes No
2. Square footage of main building 1453 Square footage of accessory unit 613
(Square footage of accessory unit /square footage of main building = Percentage of floor area)
3. Does the accessory dwelling floor area exceed forty-five percent (45%) of the floor area of the main building? Yes No
4. Does the accessory dwelling have no more than one kitchen, one bathroom, and a sleeping area? Yes No
5. Does the accessory building/dwelling differentiate from the single-family dwelling? Does it have the appearance of a single-family dwelling separate from the main dwelling? Yes No
6. Does the accessory dwelling have its own municipality issued trash receptacle? Yes No *2 on site now*

The following conditions must be maintained for an accessory dwelling unit on a property in the R-E, R-1, R-2, and CR zoning districts, contingent upon approval as a conditional use in accordance with Section 4.1:

1. Occupancy characteristics.
 - a. Length of stay – No accessory dwelling unit (ADU) shall be occupied by any person or persons, whether paying a fee for such occupancy or not, for a period less than thirty (30) consecutive calendar days. Upon request from any building, zoning, finance, or public safety official acting on behalf of the Town of Cape Charles the owner of the subject lot of record upon which the accessory dwelling unit sits shall provide occupancy documentation and/or information as requested, either verbally or in writing. Failure to do so may result in the revocation by the Cape Charles Town Council of the conditional use status for the accessory dwelling unit according to Section 4.2.G.
 - b. Annual Certifications to be submitted to the Town by March 15 of each year to the Building & Planning Depts.
 - i. An annual affidavit on Town Affidavit Form for Accessory Dwellings attesting to their acknowledgement and adherence to the Zoning Ordinance requirements for ADUs.
 - ii. An annual affidavit on Town Affidavit Form for Safety Compliance for ADUs.
 - iii. If the property owner changes between March 16 and December 31 of the calendar year, the new property owner will be required to submit new affidavits no later than 30 days from the property transfer.
2. Other requirements.
 - a. Accessory dwellings located in accessory buildings may have a separate water meter from the principal dwelling.
 - b. The lot on which an accessory dwelling is located shall have the required minimum lot area for the district in which it is located.
 - c. Ensuring adherence to Section 4.5(B)(3)(A)(5) (Table of Parking Standards) using both on and off-street parking areas. Parking shall be considered - Square footage of the main building 1453 and Square footage of accessory unit 613
 - d. Exterior elevations shall also be approved by the Historic District Review Board when required by Article VIII, Historic Overlay.

PART 2: PROPERTY INFORMATION

Property Address:



Tax Map #:



Zoning District:

R-1

R-2

R-3

CR

PART 3: PROPERTY OWNER INFORMATION

Name and/or Company: proof of officers for a company who can sign. Owner Affidavit to Represent Required.

Name and/or Company:



Applicant Title:



PART 4: CERTIFICATION OF APPLICANT

I hereby certify that I have the authority to make the foregoing application, that the information given is true and correct, and that the construction or improvements will conform to the regulations in the Virginia Statewide Building Code, all pertinent Town Ordinances, including fire, sewer and water ordinances, and private building restrictions, if any, which may be imposed on the property by deed. Furthermore, I certify that the changes to the improvement before or during construction will be provided to the Zoning Administrator and Building Official before such changes are made. I am providing authorization to the town authorities to enter my properties to confirm the accuracy of the information contained in this application. I have read and agree to the regulations as stated in Zoning Ordinance Article IV Section 4.1 (J).

Zoning Administrator's signature: _____ Date: _____

APPROVED

DENIED - Reason

THIS SURVEY IS BASED ON A PLAT RECORDED IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF THE NORTHAMPTON COUNTY, VIRGINIA IN DEED BOOK 41 AT PAGE 484.

THIS IS TO DECLARE THAT I, ON AUGUST 26, 2024, SURVEYED THE PROPERTY SHOWN HEREON. THIS SURVEY COMPLIES WITH THE MINIMUM STANDARDS AND PROCEDURES AS SET FORTH IN 18VAC10-20-380 CODE OF VIRGINIA.

THE BUILDING SHOWN HEREON APPEARS TO LIE WITHIN ZONE X [OTHER AREAS] ACCORDING TO THE FEMA - NFIP COMMUNITY PANEL NUMBER 51131C-0295F, DATED 03/02/2015. FLOOD ZONE DETERMINATION IS BASED ON THE FLOOD INSURANCE RATE MAPS AND DOES NOT IMPLY THAT THIS PROPERTY WILL OR WILL NOT BE FREE FROM FLOODING OR DAMAGE. CONTACT THE LOCAL COMMUNITY FLOOD OFFICIAL TO CONFIRM THE ABOVE INFORMATION. FLOOD ZONE INFORMATION WAS SCALED FROM F.E.M.A. FLOOD MAPS. ALPHATEC SURVEYORS, LTD. IS NOT A PARTY IN DETERMINING THE REQUIREMENTS FOR FLOOD INSURANCE ON THE PROPERTY SHOWN HEREON.

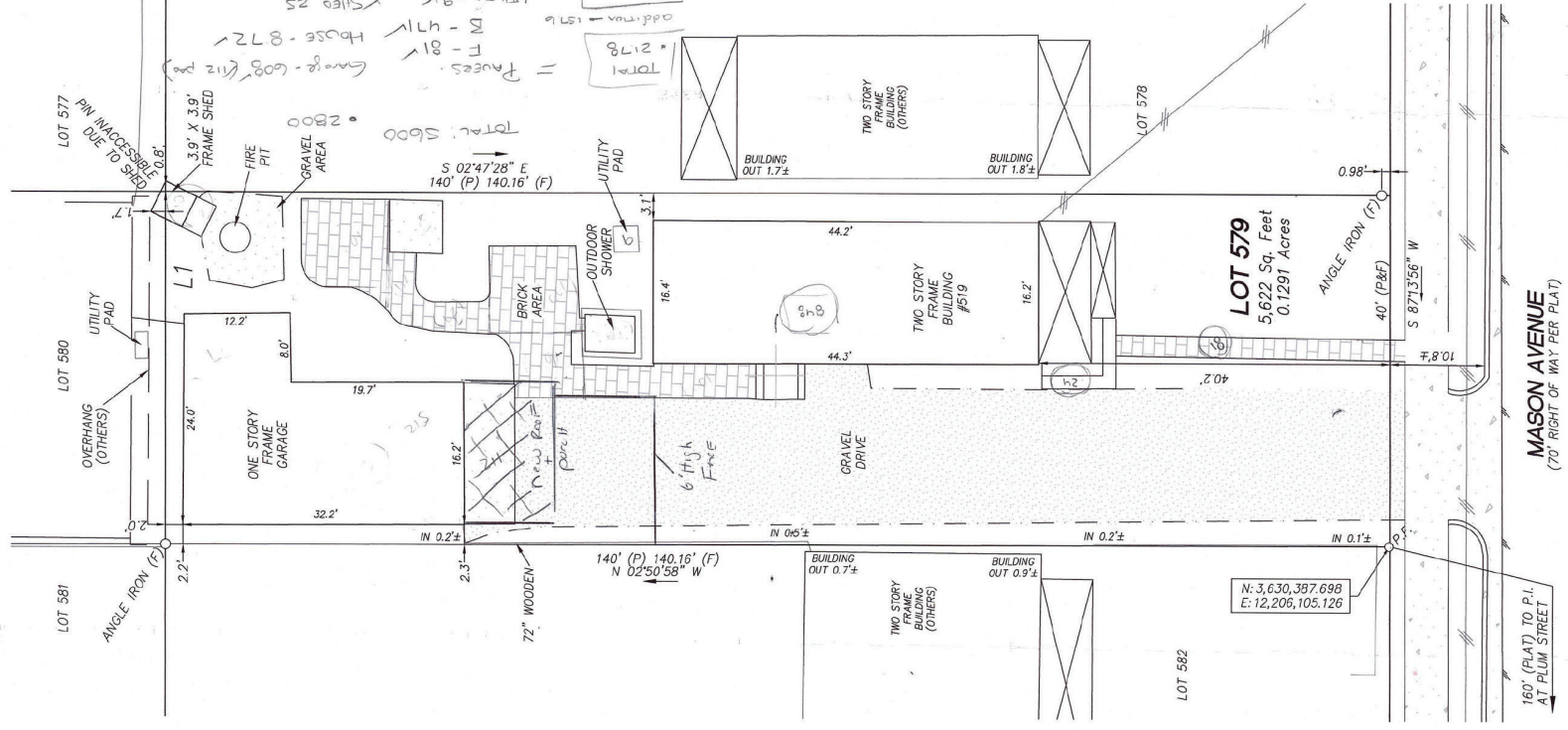
THE SURVEY OF THE PROPERTY SHOWN HEREON WAS PERFORMED WITHOUT BENEFIT OF A CURRENT TITLE REPORT, AND CONSEQUENTLY MAY NOT DEPICT ALL MATTERS AFFECTING THE PROPERTY SHOWN HEREON.

This document, together with the concepts and designs herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Alphatec Surveyors, Ltd. shall be without liability to Alphatec Surveyors, Ltd.

NOTES:

1. ALL BUILDING DIMENSION SHOWN HEREON ARE TO THE EXTERIOR FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
2. ALL VISIBLE FRANCHISE UTILITY APPURTENANCE (I.E. TRANSFORMER, UTILITY BOX, PEDESTAL, ETC.) MAY BE EVIDENCE OF AN EASEMENT.
3. ALL FENCES SHOWN HEREON ARE 36" WOODEN UNLESS OTHERWISE NOTED.
4. ALL FENCE DIMENSION SHOWN HEREON ARE TO THE FACE OF THE FENCE UNLESS OTHERWISE NOTED.
5. RELATIONSHIPS BETWEEN FENCES AND PROPERTY LINES SHOWN HEREON ARE AT THOSE POINTS DEPICTED ONLY.
6. COORDINATES AND METES AND BOUNDS REFER TO THE VIRGINIA COORDINATE SYSTEM OF 1983 - SOUTH ZONE (1994 VIRGINIA HARN) DATUM. ALL DISTANCE SHOWN HEREON ARE GROUND DISTANCE.

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 87°13'56" E	40' (P) 40.18' (F)



LEGEND

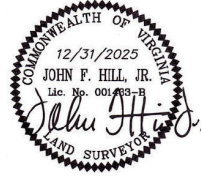
- EDGE OF PAVEMENT
- CONCRETE CURB AND GUTTER
- PROPERTY LINE (P)
- FENCE LINE
- P.F. PIN FOUND
- P.I.C. PIN FOUND IN CONCRETE
- P.F.B. PIN FOUND BENT
- P.F.F. PIPE FOUND
- P.S. PIN SET
- P.I. POINT OF INTERSECTION
- CONCRETE
- UTILITY POLE WITH OVERHEAD WIRES



REVISED: DECEMBER 31, 2025 - REVISED SCALE PER CLIENT'S REQUEST

SHEET 1 OF 1

PHYSICAL SURVEY OF
LOT 579
 MAP OF THE TOWN OF "CAPE CHARLES"
 CAPE CHARLES, NORTHAMPTON COUNTY VIRGINIA
 AUGUST 26, 2024 SCALE: 1"=10'
 EXCLUSIVELY FOR



ALPHATEC
 SURVEYORS LTD.
 530 WOODLAKE CIRCLE, SUITE 200, CHESAPEAKE, VA 23320
 TEL.: (757) 963-5261 FAX: (757) 963-5262

DRAWN BY :	JRP	PROJECT NO. :	25728
CHKD. BY :	ALP/JFH	DWG. NO. :	35828

Historical Review

Town of Cape Charles, Virginia

Project Description

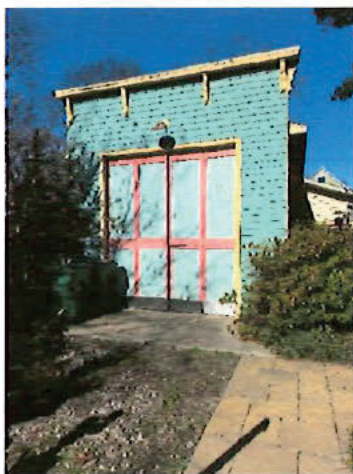


The applicant proposes to convert an existing accessory building into an accessible mother-in-law suite. The renovated structure will include one bedroom, one bathroom, a kitchen, and a living area. All improvements will be within the existing footprint but adding a covered porch on the front façade. Exterior colors, materials, and architectural elements will match the existing accessory building and the primary residence.

Existing Conditions

The accessory building currently has 12ft RV doors that is not suitable for residential use. The structure is located adjacent to existing landscaping and fencing, with neighboring properties to the east and west.

Front Façade



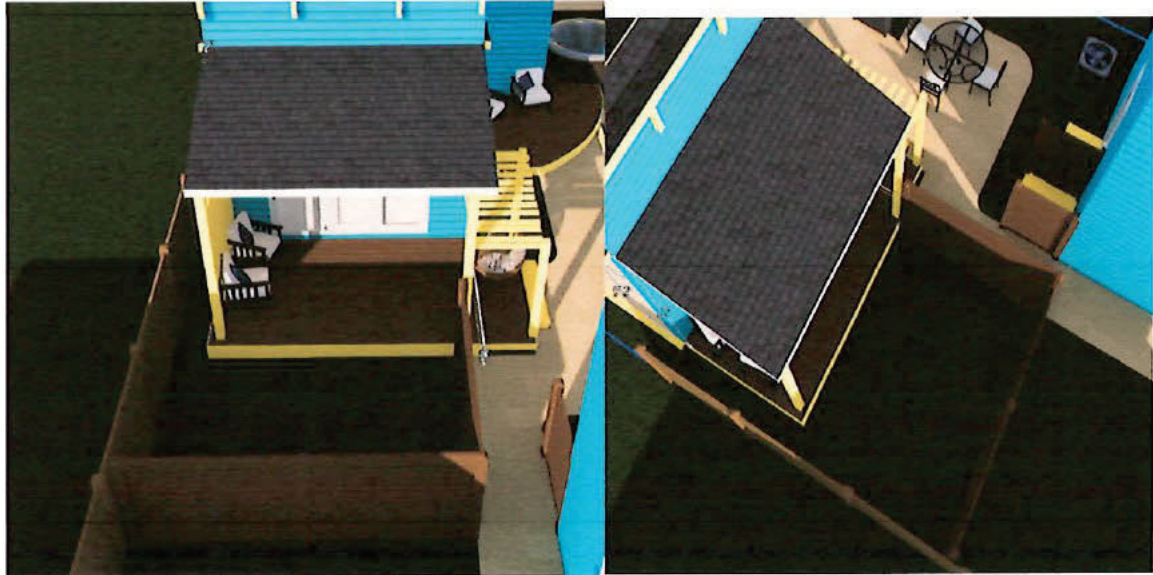
East side



North Side, back of AD no change**West side of house****Proposed Improvements**

- Remove existing garage doors and replace them with 8ft sliding door with an additional 4ft stationary window so along the front will be 3 panels of grid free glass standard door height. (Current door cannot be securely locked due to a cut-out panel).
- Keep or relocate the existing double hung white vinyl windows. East side currently has 2 36-inch wide double hung window which will remain and a 36-inch double hung window which will remain and a door which will be moved over to the long side of the East facade. West side, 2 36-inch double hung window will remain and the existing 36" double hung window will move to the East side. All existing windows will be reused.
- Replace or match existing front façade siding with same Concrete lap siding consistent in color and material with the current structure. Siding on East, West and North side no change
- Add 1 Transom window 1/1 5ft wide x 12 inches tall on the west side
- Add a 6 ft tall wood privacy fence to run parallel to the AD building starting at back left corner of the Main building.

Add 8ft slide door with double glass and an additional 4ft stationary panel. Add a 10ft deep covered porch with shed roof with Architectural shingles. All materials will match existing structure. Columns will be 6x6 treated lumber wrapped with Azek. The porch will have parged concrete foundation with Dimensions porcelain paver field on the patio. The 2 steps will be 5ft across and made of wood with a 12inch run and 6-inch rise. Fence will be made of cedar lumber with boards running vertically.



Location of fence



Proposed West side. Relocate 36-inch window to the East side. Add 5ft transom for light. The double hung window will remain as is. Wood Fence Neighbor exists.



View from backyard no change

East side: Add on left relocated from west side the 36-inch standard double hung window. Relocate the standard 36-inch door and add a rain protection roof with architectural shingles. Window on right exists and remains.



Proposed view of final project from Street, with landscaping.



Visual and Neighborhood Compatibility

The proposed improvements are designed to maintain compatibility with the surrounding neighborhood. Architectural elements, materials, and colors will match the existing structures. Landscaping, fencing, and arbor elements will further reduce visual impact and maintain neighborhood character.



Materials

6x6 Columns made of pressure treated and wrapped in PVC and painted to match that on main house.



Existing siding. 5 inch wide Concrete Hardy Board.

Seen is the main house will match the siding and column details

Roof Style for porch. With asphalt architectural shingles, parged concrete foundation.

Belgard Porcelain pavers. 12x12 paver size

Floor of the proposed new covered porch



Windows :

Window 1: Transom



About this product

Overall Size 61-1/2 X 13-1/2"

Rough Opening 60" X 12"



Lowe's Glass Type Standard Glass



Dynamic 50

Pressure

Rating

Design 50

Heritage Transom Window White
60-in x 12-in Double Pane G7 DP
Rating 50 W1H1 Standard Glas...

Pressure (DP)

Rating

Images may be subject to copyright. Learn more



Door



Specifications

Dimensions

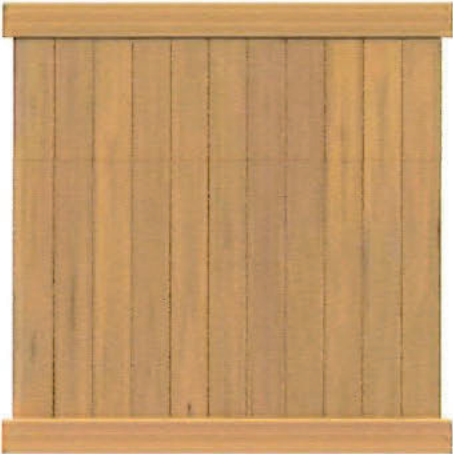
Door Height (in.)	96 in
Door Thickness (in.)	8.5625 in
Door Width (in.)	141 in
Nominal Door Height (in.)	96 in
Nominal Door Thickness (in.)	9 in
Nominal Door Width (in.)	141 in
Rough Opening Height (in.)	96 in
Rough Opening Width (in.)	141 in

Details

Bore Type	No Bore
Color Family	White
Color/Finish	White
Core Type	Solid Core
Door Configuration	3 Panel
Door Handing	Right-Hand/Slide
Door Type	Multi-Slide Patio Door



Fence: Cedar wood with vertical boards and top and bottom horizontal boards



File Attachments for Item:

B. 115 Randolph Avenue



Historic District Review Board Staff Report

Agenda Title: 115 Randolph Avenue

Agenda Date: March 17, 2026

Prepared by: Tracy Outten, Planning/Zoning Assistant – Preservation & Zoning Administrator

Reviewed By: Katie H. Nunez, Director of Planning & Zoning Administrator

Date: March 2, 2026

Applicant: Madison Sean Tarter

Type Of Application: Pre-Application/Certificate of Appropriateness

Site Address: 115 Randolph Avenue

Work to be Performed: to construct a rear addition, rear walkway, & rear driveway

Tax Map: 83A3-2-4-5

Current Zoning: R-1

Lot Size: 5,300 sq. ft.

Historic Register: CONTRIBUTING

Description: Ca. 1912, Craftsman

Accessory Structure: NA

Date Application Received: February 2, 2026

Pre-Application Meeting: March 17, 2026

Date Application Deemed Complete: March 3, 2026

Legal Deadline: HDRB Decision (90 Days from Complete Application): June 1, 2026

Overview:

The applicant is seeking to remove the existing rear deck and construct the following: (1) a 512.9 square feet two-story rear addition and (2) a 106.4 square feet rear deck on the single-family home. Also, the application includes installing gutters, a 100 sq. ft. rear concrete walkway, a fence, and a 540 sq. ft. permeable stone-gravel rear driveway.

Aerial Map:**Materials:**

Roof: A-Frame Gable, Pitch: 10:12, Architectural Shingles (to match existing)

Siding: Vinyl Dutch lap double 5" CertainTeed Silver Ash (same as existing)

Windows: Atrium Series 150 3/3 Vinyl Single Hung: 30" x 39" x 2" & 26" x 44" x 3"; **Sill:** 40" x 2" & 39" x 2" Wood; **Trim:** 3" Wood

Door: Atrium 60" x 80" Vinyl Slider no grids, **Trim:** Vinyl

Foundation: Concrete Block with Brick Veneer

Deck: **Flooring:** 4" x 8' x 10" Timber Tech, **Railings:** 36" x 12' Vinyl Square, **Skirting:** Lattice Wood, **Steps:** 4" x 8' x 10" Composite

Gutters: 5" Metal

Rear Walkway: Concrete

Rear Parking: Permeable White Stone-Gravel

Fence: Wood

Staff Analysis:**Zoning Compliance:**

The property is a legal, non-conforming use. The proposed project is seeking to remove the existing deck and construct a rear addition and deck on the single-family dwelling. Also, proposed are gutters, a rear walkway, a parking area, and a fence. Zoning Compliance has been achieved based upon this application to the HDRB.

Any property within the Historic District Overlay is required to meet the Historic District Guidelines, which are superimposed on the underlying zoning district regulations.

Historic District Guidelines:

Section 3.1: Architectural Character

Section 3.2: Building Types, Forms, & Associated Architectural Styles (Page 3-18 – Craftsman)

Section 5.2.1: Roof Features: Gutters and Downspouts

Section 5.6: New Additions to Contributing Buildings

Section 9.1: Hardscaping (Driveway, Walkways, & Other Paving)

Section 9.2: Fences & Freestanding Walls

Section 9.3: Decks, Ramps, & Patios

Section 9.4: Appurtenances

Staff Recommendation:

Staff is requesting the HDRB to review the application material submitted by the applicant and determine if the proposed removals, additions, and materials are in keeping with the Guidelines of the Historic District and reflect the character and historic appearance of the neighborhood.

Staff is prepared to assist in the development of a motion, if needed.

The Historic District Review Board makes the final determination on whether or not a Certificate of Appropriateness will be issued for this project and may impose conditions on an approval.

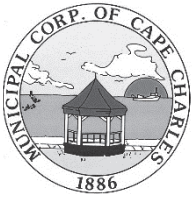
If approved, a Certificate of Appropriateness shall expire of its own limitation six (6) months from the date of issuance if the work authorized thereby is not commenced by the end of such six (6) month period; and further, any such certificate shall also expire and become null and void if such authorized work is suspended or abandoned for a period of six (6) months after being commenced.

Attachments:

Attachment 1: Total Lot Coverage Calculation

Attachment 2: Application and Supporting Documents

Total Lot Coverage Breakdown - APPROVED 3/9/2026		
Address: 115 Randolph Avenue	Tax Map # 83A3-2-4-5	NOTES
Lot Size	5,300	
Structure	Square Footage	
House	711.80	
Front Porch	196.00	
Front Steps	62.50	
Front/Side Walkway - Concrete	204.63	
Rear Stone Walkway	105.00	
Rear Brick Walk	0.00	
Misc. Concrete	0.00	
Driveway	0.00	
Accessory Structure	0.00	
Total	1,279.93	
Total Lot Coverage	24.15%	
PROPOSED		
Rear Addition	512.90	
Rear Deck & Steps	150.40	
Rear Outdoor Shower	22.50	
Parking Area Stone Gravel (Total = 540 x .5)	270.00	These services are considered 50% impervious re: CBPA
Walkway - Concrete	100.00	
Proposed Total	1,055.80	
Existing Total	1,279.93	
Total Proposed + Existing	2,335.73	
Total Lot Coverage	44.07%	
NOT INCLUDED		



Certificate of Appropriateness Application Renovation

Planning & Zoning Department
412 Tazewell Avenue
Cape Charles, VA 23310
757-331-3259 x31
planningtech@capecharles.org

Section 5, Item B.

Revised 11/2025	
Taxes	Paid
Violations	NA
Fee	\$500
Decision	HDRB

Budget Code: HISTF 100-3100-1100

Budget Code VIOLATIONS: PERMZ 100-3100-1370

PART 1: APPLICATION NOTES

A Certificate of Appropriateness is required for all applications for zoning clearances and permits involving any exterior alteration, modification, restoration, reconstruction, demolition, new construction or moving of a property within the Cape Charles Historic District Overlay.

Minor Exterior Work* is exterior maintenance and repair, replacement of missing or broken windowpanes, roofing shingles, slates, tiles, porch floors, posts, rails, or shutters where no substantial change to design or material is proposed and other minor changes that do not materially change the historic characteristics of the building may be reviewed by the Zoning Administrator. Upon approval the applicant is responsible for confirming and obtaining all necessary building permits.

Major Exterior Work: is any alteration of the architectural style of a structure or its significant architectural elements, modifications, additions, and any major or minor work not eligible for administrative review must be reviewed and approved* by the Historic District Review Board. Upon approval the applicant is responsible for confirming and obtaining all necessary building permits.

Note: A pre-application meeting is available upon request prior to submitting this application.

The following documents must be submitted to the Town before this application can be reviewed. In addition to these documents, the COA application and requested supporting information relevant to the applicable sections must be deemed complete by department staff prior to being evaluated.

- A) Zoning Clearance Application
- B) Photos of existing condition
- C) Owner Permission Affidavit
- D) Payment of COA Fee (Residential – Minor \$75, Major \$150 / \$500 OR Commercial/Commercial Residential - \$1,000)
- E) Site Plan/Survey
- F) Material Specifications
- G) Tree Permit Application

Owner signature: Madison Sean Tarter dotloop verified 02/02/26 11:29 PM EST ECCM-BUTL-TTL-LBBO Date: 2/3/2026

PART 2: PROPERTY INFORMATION

Property Address: 115 Randolph Ave	Tax Map #: 83A3-2-4-5
Is there an active Certificate of Appropriateness on this property? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes _____ Date	Zoning District: R1, Historic Overlay

PART 3: PROPERTY OWNER INFORMATION

Name and/or Company: **Madison "Sean" Tarter**

Mailing Address: [REDACTED]

Phone Number: [REDACTED]

Email: [REDACTED]

PART 4: APPLICANT INFORMATION

Check here if the applicant is owner. (If applicant is not the property owner, an Owner's Permission Affidavit must be attached.)

Name and/or Company:

Mailing Address:

Phone Number:

Email:

PART 5: PROJECT INFORMATION – Describe in detail proposed work.

(If any tree removal is being proposed a Tree Permit Application must be completed):

We plan to bump out the back of the house to add a first floor bathroom and bedroom, and enlarge the kitchen in order to move the laundry to the main floor from the basement. We will add a dishwasher and move the pantry in the kitchen as well, and then add back a small deck, and add a 3 car (10'x27') parking area along the alley in the back. Existing closet space on the 2nd floor will lead to a hallway and en suite bathroom from the bedroom.

PART 6. ALTERATIONS, REPAIRS OR ADDITIONS

Select the type of work to be performed (check all that apply):

- Addition
 Doors
 Windows
 Masonry
 Porch
 Roofs
 Siding
 Steps/Stoop & Railings
 Trim Work
 Fence or Wall
 Partial demolition
 Hardscaping
 Appurtenances
 Other: outdoor showe

A. ADDITION Not applicable SEE SECTION 5.6 or 5.12 OF THE HISTORIC DISTRICT DESIGN GUIDELINES

Location (Attach a diagram; Survey/Site Plan is required): Directly behind the house in the footprint of the current deck

Stories: 2 Building height: 20' Footprint: 24'x24' Gross square footage: 576sf

Complete all sections below that apply to your addition and supply elevation drawings.

B. ROOF Not applicable SEE SECTION 4.2, 5.2, or 5.8 OF THE HISTORIC DISTRICT DESIGN GUIDELINES

Type of work: New Repair % of roof structure ____ Reroofing: In kind yes Different in style or material ____
 Add/Repair Gutters and downspouts Solar Panels Other Solar Installation

Location (Pictures of existing condition): Over addition/back of house, as gable perpendicular to existing roof.

Existing Roof	Proposed Roof
Existing Condition: <input type="checkbox"/> Original <input checked="" type="checkbox"/> Not Original <input type="checkbox"/> Not Sure	Proposed Work: A-frame gable/roof on addition
Existing Material: asphalt shingle	Proposed Material: matching red asphalt shingle
Pitch: 9/12	Pitch: <u>10/12</u>
Gutters & Downspouts: (Pictures of Location & Material Specs)	Solar: (Pictures of Location & Material Specs)
Proposed Work: new roof, gutters on sides with 4 downspouts	Proposed Work:
Proposed Material: PVC gutter, asphalt shingle	Proposed Material:

Other / Additional Notes: **Roof will match current as closely as possible**

C. DOORS Not applicable SEE SECTION 4.5, 5.5, or 5.11 OF THE HISTORIC DISTRICT DESIGN GUIDELINES

Number of doors to be: Added: 1 exterior Removed: 1 exterior
 Repaired: _____ Replaced: In kind _____ Different in style or material X

Attach a diagram of the house exterior with all doors numbered. Add documentation for each additional door.

Existing Door	Proposed Door
Door 1: Complete a separate Section C for each door being modified. Original to the home: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not Sure	Work to be completed: <input type="checkbox"/> Added <input type="checkbox"/> Removed <input type="checkbox"/> Repaired <input checked="" type="checkbox"/> Replaced
Existing Material: wood	Proposed Material: vinyl slider
Dimensions: Width <u>30"</u> Height <u>78"</u>	Dimensions: Width <u>60"</u> Height <u>80"</u>
Configuration with picture (i.e., glass panes, divisions, decorative details & panels): <u>1 glass pane 2.5'x2.5', up 3'9"</u>	Configuration with picture (i.e., glass panes, divisions, decorative details & panels): <u>moving door to center of the new back deck.</u>

Indicate the reason for change: **Renovation, to allow access from back parking area.**

D. WINDOWS Not applicable **SEE SECTION 4.5, 5.5, or 5.11 OF THE HISTORIC DISTRICT DESIGN GUIDELINES**

Number of windows to be: Added: 4 Removed: 2
 Repaired: _____ Replaced: In kind Different in style or material _____

Minimum Guidelines: Window Sill – thickness of 1-1/2" and Window Casing or Trim – thickness of 3-1/2"

Attach a diagram of the house exterior with all windows numbered. Add documentation for each additional window.

Existing Windows	Proposed Windows
Window 1: Complete a separate Section D for each window being modified if it is a different size, configuration, etc. Original to the home: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Not Sure	Work to be completed: <input type="checkbox"/> Added <input type="checkbox"/> Removed <input type="checkbox"/> Repaired <input type="checkbox"/> Replaced
Configuration (i.e., double-hung sash, 2/2, 6/1, 6/6, etc.): Include a picture Double hung 3/3	Configuration (i.e., double-hung sash, 2/2, 6/1, 6/6, etc.): Include a picture 2 double hung 3/3, 2 transome
Width: <small>B 2'6"x4'8"x3"</small> Height: <small>K 2'2" x3'8"x3"</small> Depth: <small>BR + Kitchen</small>	Width: _____ Height: _____ Depth: _____
Existing Material: Vinyl	Proposed Material: Vinyl
Sill: Length: <small>Br:3'4"x2"</small> Thickness: <small>K:3'3"x2"</small> Depth: _____	Sill: Length: _____ Thickness: _____ Depth: 2"
Existing Material: WOOD	Proposed Material: WOOD
Casing / Trim: Width: same Height: same Depth: 3"	Casing / Trim: Width: _____ Height: _____ Depth: 3"
Existing Material: WOOD	Proposed Material: _____
Shutters: Original: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Attach Location Picture)	Shutters: <input type="checkbox"/> Repair <input type="checkbox"/> Replace <input type="checkbox"/> New (Attach Location Picture)
Existing Material: No shutters	Proposed Material: _____
Indicate the reason for change: Existing windows are becoming doors to the addition, then adding windows in the addition.	

E. PORCHES Not applicable **SEE SECTION 4.4, 5.4, or 5.10 OF THE HISTORIC DISTRICT DESIGN GUIDELINES**

New materials should match the historic material, composition, shape, size, and other visual qualities.

Work to be done: Repair flooring Repair ceiling Repair columns Repair/Add Skirting Repair/Add Screening
 Flooring = Alter Replace Repair Columns = Alter Replace Repair
 Balustrade = Alter Replace Repair Ceiling = Replace Repair Skirting = New Replace Repair

Location (Attach pictures for all work including existing and proposed; Survey may be requested):

FLOORBOARDS: Number of boards to be: _____ Repaired _____ Replaced _____ Altered

Replacement of flooring should match the historic floorboard orientation. Replacement of an entire porch floor, ensure the new floor slopes away from the building.

Existing Condition: <input type="checkbox"/> Original <input checked="" type="checkbox"/> Not Original <input type="checkbox"/> Not Sure	Proposed
Existing Material: WOOD	Proposed Material: no porch, just back deck
Dimensions: Length: Heigh Width: 27'8" Depth: 21'	Dimensions: Length: _____ Width: _____ Depth: _____
CEILING	
Existing Condition: <input type="checkbox"/> Original <input checked="" type="checkbox"/> Not Original <input type="checkbox"/> Not Sure	Proposed
Existing Material: Wood	Proposed Material: no ceiling
COLUMNS	
Existing Condition: <input checked="" type="checkbox"/> Original <input type="checkbox"/> Not Original <input checked="" type="checkbox"/> Not Sure	Proposed
Existing Material & Design: Wood/Plaster	Proposed Material & Design: _____
Existing Dimensions: Height: _____ Width: _____ Diameter: _____	Proposed Dimensions: Height: _____ Width: _____ Diameter: _____

CONTINUE COMPLETING THIS SECTION ON PAGE 4

BALUSTRADE

Existing Condition: <input type="checkbox"/> Original <input type="checkbox"/> Not Original <input type="checkbox"/> Not Sure	Proposed
Existing Material:	Proposed Material: Vinyl
Existing Dimensions: Height: Width: Diameter:	Proposed Dimensions: Height: Width: Diameter:
Existing Style / Design:	Proposed Style / Design:

SCREENING

Existing Condition: <input type="checkbox"/> Original <input type="checkbox"/> Not Original <input type="checkbox"/> Not Sure	Proposed Work: <input type="checkbox"/> New <input type="checkbox"/> Replace <input type="checkbox"/> Repair
Existing Material: No screening	Proposed Material: No screening

SKIRTING

Existing Condition: <input type="checkbox"/> Original <input checked="" type="checkbox"/> Not Original <input type="checkbox"/> Not Sure	Proposed Work: <input type="checkbox"/> New <input type="checkbox"/> Replace <input type="checkbox"/> Repair
Existing Material: Lattice Wood	Proposed Material:

If replacing any item above, indicate the reason for replacement:
The addition will be taking out the covered porch (original) and deck (not original), and having a small side deck in its place.

If altering any item above, describe any proposed change (material, size, etc.):
The new deck will be composite flooring + vinyl rails/posts. See section for deck.

F. STEPS/STOOPS/RAILINGS Not applicable **SEE SECTION 4.4, 5.4, or 5.10 OF THE HISTORIC DISTRICT DESIGN GUIDELINES**

Location (Attach pictures; Survey may be requested): new steps to deck of addition on back of house

Number of **Steps** to be: Repaired 4 Replaced Altered

Existing Condition: <input type="checkbox"/> Original <input checked="" type="checkbox"/> Not Original <input type="checkbox"/> Not Sure	Proposed
Existing Material: Wood	Proposed Material: Composite
Dimensions: Rise: 6" Run: 8' Tread Width: 10"	Dimensions: Rise: 4" Run: 8' Tread Width: 10"

If replacing, indicate the reason for replacement. If altering, describe any proposed change (material, configuration, size, etc.):
Deck is being demo'ed, with renovation going in its place. New deck will be to the east corner w/stairs.

Stoop to be: Repaired demo Replaced Altered

Existing Condition: <input checked="" type="checkbox"/> Original <input type="checkbox"/> Not Original <input type="checkbox"/> Not Sure	Proposed
Existing Material & Size:	Proposed Material & Size: no stoop, just a deck

If replacing, indicate the reason for replacement. If altering, describe any proposed change (material, configuration, size, etc.):
No stoop.

Number of **Railings** to be: Repaired all Replaced Altered

Location (Attach pictures; Survey may be requested): Back deck has 2 railings for steps and 2 railings for ramp, see below

Existing Condition: <input type="checkbox"/> Original <input checked="" type="checkbox"/> Not Original <input type="checkbox"/> Not Sure	Proposed
Existing Material: wood	Proposed Material: 2 new railings on E & N of deck, vinyl
Existing Dimensions: Height: Width: Diameter:	Proposed Dimensions: Height: Width: Diameter:
Existing Style / Design: 36" x 6'	Proposed Style / Design: white vinyl, 36"H, 12' railing. square balusters

If replacing, indicate the reason for replacement. If altering, describe any proposed change (material, configuration, size, etc.):
The railing up to the deck and back door will be white vinyl, due to the addition reconfiguring everything.

G. SIDING Not applicable **SEE SECTION 4.4, 5.4, or 5.9 OF THE HISTORIC DISTRICT DESIGN GUIDELINES**

Type of work: Minor Repair Full Re-Siding (same material) Full Re-Siding (Change of material)

Location (Attach diagram & pictures): Rear and sides will be affected

Existing Siding	Proposed Siding
Original to the home: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Not sure	
Existing Material: Vinyl, Double 5 Dutch lap, taupe color	Proposed Material: D5 Dutch lap Vinyl in similar color to match
Dimensions: Thickness: Width:	Dimensions: Thickness: Width:

Indicate the reason for change, e.g., underlying material condition, rot:
 Addition extends existing walls.

H. TRIM WORK Not applicable **SEE SECTION 4.4, 5.4, or 5.10 OF THE HISTORIC DISTRICT DESIGN GUIDELINES**

Type of work: Minor Repair Alteration

Location (Attach diagram & pictures): back and E & W sides of house

Existing Trim	Proposed Trim
Existing Condition: <input type="checkbox"/> Original <input checked="" type="checkbox"/> Not Original <input type="checkbox"/> Not Sure	
Existing Material: Vinyl	Proposed Material: Vinyl
Dimensions: Width: Height: Depth:	Dimensions: Width: Height: Depth:
Style / Design:	Style / Design:

Reason for repair or alteration (change of material or design):
 New trim on addition will match existing as closely as possible.

I. MASONRY Not applicable **SEE SECTION 4.3 or 5.3 OF THE HISTORIC DISTRICT DESIGN GUIDELINES**

Type of work: New foundation Substantial Reconstruction Minor Repair Repointing

Location (Attach diagram & pictures): W, E, N sides, extending house out back for renovation.

Existing Masonry	Proposed Masonry
Existing Condition: <input type="checkbox"/> Original <input type="checkbox"/> Not Original <input type="checkbox"/> Not Sure	
Existing Material: block with brick	Proposed Materials: block w/ brick, match as closely as possible
Existing mortar: Joints:	Mortar to be used: to match Mortar joints: to match

Other / Additional Notes: (Unpainted masonry cannot be painted.)

Existing Chimney	Proposed Chimney
Show location and document conditions with photographs	<input type="checkbox"/> Repair <input type="checkbox"/> Remove <input type="checkbox"/> Add a chimney cap

Indicate the reason for change and materials:
 No changes to chimney :)

J. HARDSCAPING Not applicable **SEE SECTION 9.1 OF THE HISTORIC DISTRICT DESIGN GUIDELINES**

Location (Attach Site Plan/Survey & pictures): rear of house along alley

<input type="checkbox"/> Driveway: Length: Width: Materials:
<input checked="" type="checkbox"/> Walkway: Length: 15' Width: 5' Materials: concrete
<input checked="" type="checkbox"/> Other Paving: parking Length: 18' Width: 30' Materials: permeable white stone gravel for parking

K. FENCE OR WALL Not applicable **SEE SECTION 9.2 OF THE HISTORIC DISTRICT DESIGN GUIDELINES**

Type of work: New Repair % of structure ____ Replace In kind ____ Different in style or material Wood->Vinyl ____

Location (include survey showing location, setbacks, and height)

Existing Material: <u>Wood</u>	Proposed Material Vinyl <u>wood</u>
Height: <u>8'</u>	Height: 8' <u>6'</u>
Describe the style:	Describe the style:

L. DECKS & PATIOS Not applicable **SEE SECTION 9.3 OF THE HISTORIC DISTRICT DESIGN GUIDELINES**

Location (Attach Site Plan/Survey & pictures): Back of house currently 27'8"x24', which is becoming the addition's footprint.

<input checked="" type="checkbox"/> Deck: Length: <u>11'</u> Width: <u>9'8"</u> Materials: <u>wood to composite</u>
<input type="checkbox"/> Patio: Length: _____ Width: _____ Materials: _____

M. APPURTENCES Not applicable **SEE SECTION 9.4 OF THE HISTORIC DISTRICT DESIGN GUIDELINES**

Location (Attach Site Plan/Survey & pictures): North/rear of house on West side of back steps.

New Repair Replacing Other: outdoor shower

Outdoor Shower: Enclosed Length: 5.1' Width: 3.9'

Material: <u>Vinyl sides/top, 7.4' high</u>	Foot Pad Material: <u>gravel w/composite decking above</u>
Other, describe:	
Dimensions:	Material
Other:	
Dimensions:	Material

I hereby certify that I have the authority to make the foregoing application, that the information given is true and correct, and that the construction or improvements will conform to the regulations in the Virginia Statewide Building Code, all pertinent Town Ordinances, including fire, sewer and water ordinances, and private building restrictions, if any, which may be imposed on the property by deed. Furthermore, I certify that the changes to the improvement before or during construction will be provided to the Zoning Administrator and Building Official before such changes are constructed.

Applicant's signature: *Madison Sean Tarter* dotloop verified 02/02/26 11:29 PM EST MMH9-JRU0-OJXO-3RBC Date: 02/02/2026

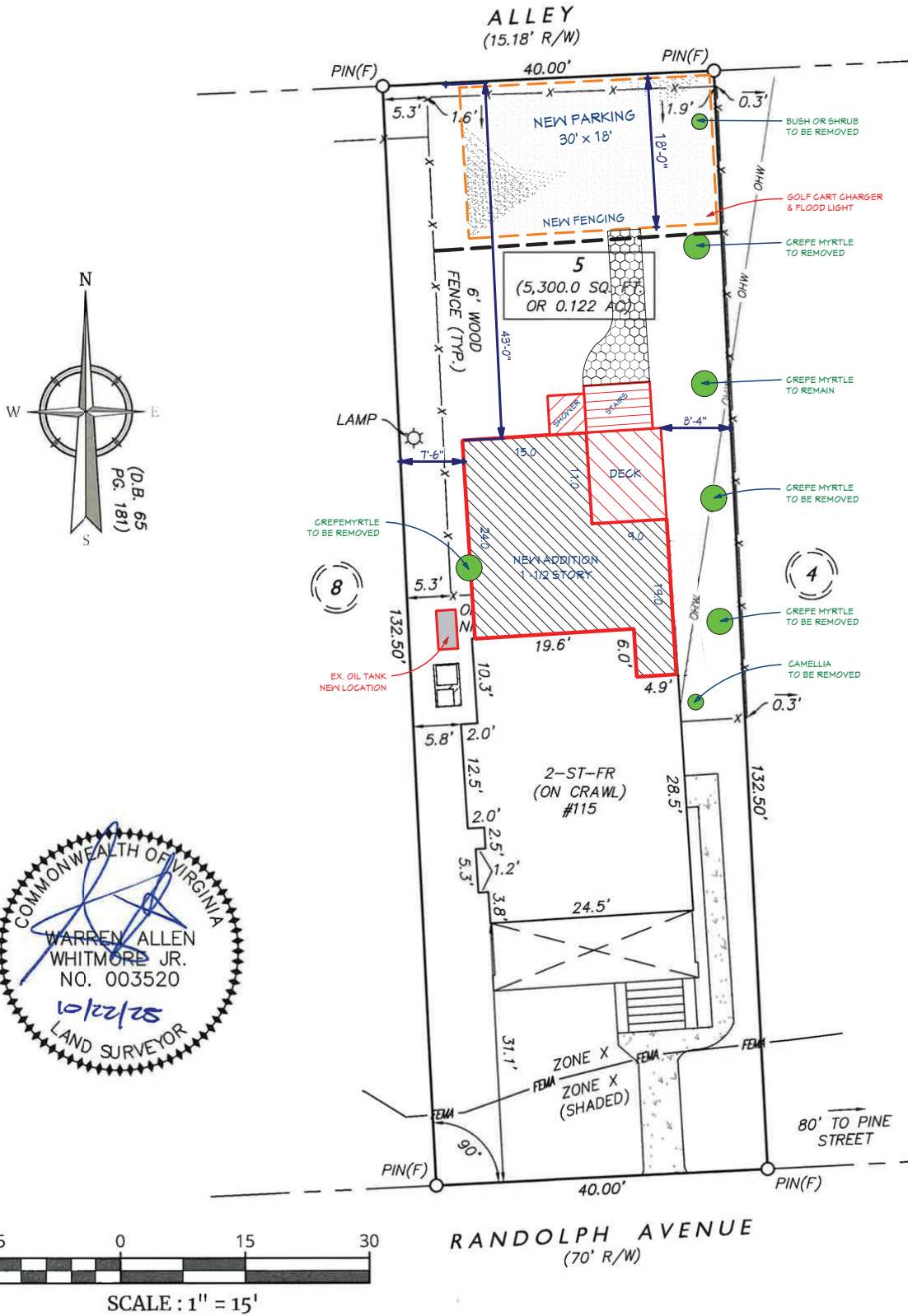
Zoning Administrator's signature: _____ Date: _____

Zoning Ordinance Article VIII Section: _____

THIS IS TO CERTIFY THAT ON **OCTOBER 22, 2025**, I SURVEYED THE PROPERTY SHOWN ON THIS PLAT. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. THE ONLY EASEMENTS APPEARING ON THIS SURVEY ARE THOSE WHICH WERE SHOWN ON THE RECORDED SUBDIVISION PLAT.

Section 5, Item B.

THIS PROPERTY APPEARS TO FALL IN FLOOD ZONE **X** AND **X (SHADED)** ACCORDING TO FEMA FLOOD PANEL NO. **51131C0295 F**, DATED **MARCH 02, 2015**. FLOOD ZONE INFORMATION SHOWN HEREON IS NOT GUARANTEED AND WAS TAKEN FROM THE FLOOD INSURANCE RATE MAPS FOR THE CITY/COUNTY INDICATED. COLLIER'S ENGINEERING & DESIGN, D.B.A. MASER CONSULTING, P.A. IS NOT A PARTY IN DETERMINING THE REQUIREMENTS FOR FLOOD INSURANCE ON THE PROPERTY SHOWN HEREON.



1025125014277A\Survey\Plans\V-BASE.dwg\V-SURV By: AWHTMORE

<p>www.colliersengineering.com</p> <p>Doing Business as </p>	<p>PHYSICAL SURVEY</p> <p>FOR MARTIN TARTER, BARBARA TARTER, ASHLEY TARTER, AND MADISON S. TARTER</p> <p>LOT 5, BLOCK 4, MAP OF SEA COTTAGE ADDITION TO THE TOWN OF CAPE CHARLES, VIRGINIA (D.B. 65, PG. 181)</p> <p>CAPE CHARLES VIRGINIA</p>	<p>811 PROTECT YOURSELF</p> <p>ALL STATES REQUIRE NOTIFICATION OF EXISTING UTILITIES OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE</p> <p>Know what's below. Call before you dig.</p> <p>FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM</p>	<p>PHYSICAL SURVEY</p> <table border="1"> <tr> <td>SCALE</td> <td>DATE</td> <td>DRAWN BY</td> <td>CHECKED BY</td> </tr> <tr> <td>AS SHOWN</td> <td>10/22/25</td> <td>WAW</td> <td>WAW</td> </tr> <tr> <td colspan="2">PROJECT NUMBER</td> <td colspan="2">DRAWING NAME</td> </tr> <tr> <td colspan="2">25014277A</td> <td colspan="2">V-BASE</td> </tr> </table> <p>SHEET TITLE: 115 RANDOLPH AVENUE</p> <p>SHEET NUMBER: 1 of 1</p>	SCALE	DATE	DRAWN BY	CHECKED BY	AS SHOWN	10/22/25	WAW	WAW	PROJECT NUMBER		DRAWING NAME		25014277A		V-BASE	
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<p>15 0 15 30</p> <p>SCALE : 1" = 15'</p>	<p>Colliers Engineering & Design</p> <p>2500 Alameda Avenue, Suite 115 Norfolk, VA 23513</p> <p>Phone: 757.216.0500</p> <p>COLLIERS ENGINEERING & DESIGN INC. DOING BUSINESS AS MASER CONSULTING</p>	<p>811 logo</p>	<p>811 logo</p>																

Section 5, Item B.

<p>PROJECT NAME: Tarter Residence Rear Addition</p> <p>PROJECT ADDRESS: 115 Randolph Ave Cape Charles, VA</p> <p>JURISDICTION: Cape Charles, VA</p> <p>FRS PROJECT # 17000 CODE: VIRGINIA RESIDENTIAL CODE 2021</p>																																											
<p>INDEX OF DRAWINGS</p> <table border="1"> <thead> <tr> <th>SHT #</th> <th>SHEET TITLE</th> </tr> </thead> <tbody> <tr> <td>A101</td> <td>COVER SHEET/SPECS.</td> </tr> <tr> <td>A102</td> <td>RIGHT REVISED ELEVATION</td> </tr> <tr> <td>A103</td> <td>LEFT REVISED ELEVATION</td> </tr> <tr> <td>A104</td> <td>-</td> </tr> <tr> <td>A105</td> <td>-</td> </tr> <tr> <td>A106</td> <td>-</td> </tr> <tr> <td>A107</td> <td>-</td> </tr> <tr> <td>A108</td> <td>-</td> </tr> <tr> <td>A109</td> <td>-</td> </tr> <tr> <td>A110</td> <td>-</td> </tr> <tr> <td>A111</td> <td>-</td> </tr> <tr> <td>A112</td> <td>-</td> </tr> <tr> <td>A113</td> <td>-</td> </tr> <tr> <td>A114</td> <td>-</td> </tr> <tr> <td>A115</td> <td>-</td> </tr> <tr> <td>A116</td> <td>-</td> </tr> <tr> <td>A117</td> <td>-</td> </tr> <tr> <td>A118</td> <td>-</td> </tr> <tr> <td>A119</td> <td>-</td> </tr> <tr> <td colspan="2"> <p>Note:</p> <p>Maximum height of unbalanced fill along foundation wall shall be T-0" based on a minimum poured concrete wall thickness of 2", and a maximum soil equivalent fluid pressure of 30 pcf. Ref. SEC. R404.1.1(1)</p> <p>Maximum height of unbalanced fill along CMU foundation wall shall be T-0" based on min. 12" hollow CMU wall thickness, and a maximum soil equivalent fluid pressure of 30 pcf. Fill CMU solid if unbalanced fill exceeds T-0". Ref. SEC. R 404.1.1(1) R404.1.1(2), R404.1.1(3) and R404.1.1(4)</p> </td> </tr> </tbody> </table>		SHT #	SHEET TITLE	A101	COVER SHEET/SPECS.	A102	RIGHT REVISED ELEVATION	A103	LEFT REVISED ELEVATION	A104	-	A105	-	A106	-	A107	-	A108	-	A109	-	A110	-	A111	-	A112	-	A113	-	A114	-	A115	-	A116	-	A117	-	A118	-	A119	-	<p>Note:</p> <p>Maximum height of unbalanced fill along foundation wall shall be T-0" based on a minimum poured concrete wall thickness of 2", and a maximum soil equivalent fluid pressure of 30 pcf. Ref. SEC. R404.1.1(1)</p> <p>Maximum height of unbalanced fill along CMU foundation wall shall be T-0" based on min. 12" hollow CMU wall thickness, and a maximum soil equivalent fluid pressure of 30 pcf. Fill CMU solid if unbalanced fill exceeds T-0". Ref. SEC. R 404.1.1(1) R404.1.1(2), R404.1.1(3) and R404.1.1(4)</p>	
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<p>General</p> <p>These plans are subjected to modification as necessary to meet code requirements or to facilitate mechanical / plumbing installations or to incorporate design improvements.</p> <p>These plans are not to be scaled for construction purposes. Dimension lines and notes supercede all scale references.</p> <p>The plans contained as part of this set conform to the format and provisions of the 2021 Virginia Residential Code in establishing effective minimum requirements for safe construction.</p> <p>Footings, Foundation, & Conc. Slabs</p> <p>All plain and reinforced concrete shall comply with requirements in ACI 352-09</p> <p>Concrete used for footings, basement slabs, and interior slabs on grade shall be 3,000 psi., Type 1 ASTM C150. Poured foundation walls shall be 3,000 psi min. air entrained concrete, Type 1a ASTM C150. All exterior concrete work, including porches and garage slabs, shall be 5' 3,500 psi air entrained concrete, Type 1A ASTM C150. Ref Table R402.2</p> <p>Footing width to conform to section R 403.1</p> <p>Steps of depth of footing / foundation may vary according to local site or frost conditions.</p> <p>Perimeter footing on grade slab condition shall be 1 1/2" x 24" rigid R-8 min. horizontal, R-5 at slab edge.</p> <p>Foundation drains (weep) shall be installed by concrete Foundation contractor. drains to be 2" min. dia. and located at min. of 6" o.c. Drain inlets must have min. of 6" of gravel for the full perimeter of the foundation, extending at least 12" from the inlets and covered by a layer of approved filter membrane material. drain discharge to conform with approved site plan. Ref. Sec. R 405</p> <p>Sump crock shall be installed per plan if required.</p> <p>Any plumbing pipe passing under a footing or thru a foundation wall shall be provided with a relieving arch or sleeve tube pipe sizes greater than the pipe passing thru the wall.</p> <p>Steel reinforcing in slabs per details.</p> <p>Foundation contractor shall install 1/2" dia. mudsill anchor bolts @ 6'-0" oc max., or code approved 1/6 ga. galvanized anchor straps @ 4'-6" oc (Simpson #MAB23).</p> <p>Either anchor shall be located @ 1'-0" max. from corners and from ends of plates.</p> <p>All concrete slabs shall have reinforcing for crack control - min. w.u.w m w1.4 x w1.4 or equal</p> <p>All CMU used in basement and foundation walls shall be load bearing units conforming to Table 404.1.1 (1,2,3 & 4), ASTM C-90-06b for hollow units. At wood post and beam bearing locations on CMU walls, cells shall be filled solid with grout or mortar for top two course minimum.</p> <p>Garage slabs shall be nominal 5" concrete. Garage floors shall be at least 5" below the adjacent dwelling floor and sloped to facilitate the movement of liquids toward the main vehicle entry door.</p> <p>All wood framing members which rest on exterior foundation walls shall be 3" above finish grade or shall be pressure treated. Ref SEC. R 317</p> <p>Building foundations have been designed based on an assumed soil bearing capacity of 1500 psf. Additional engineering is required if soil bearing capacity is less than 1500 psf.</p>	<p>Structure</p> <p>Steel columns shall not be less than 3-inch diameter standard pipe or approved equivalent. per Section R407</p> <p>All framing shall comply with SEC R 602</p> <p>All exterior walls shall be sheathed with min. 7/16" (nominal) O.S.B. sheathing.</p> <p>*Nood frame components shall be fastened in accordance with Table R 602.3(1) and 602.3(2)</p> <p>All Partitions shall be 2x4 stud construction unless otherwise noted. Bearing walls shall have stud placement 16" maximum. Non-load bearing interior partitions shall be 24" o.c. maximum.</p> <p>All basement interior bearing Walls Shall be Sheathed with a minimum of 1/2" gypsum board on one side, or equiv.</p> <p>Design dead load areas: (FAIRFAX COUNTY, VIRGINIA)</p> <p>a) Floor load - 10 psf b) Roof Rafter - 10 psf c) Truss Roof System - 15psf d) Interior & exterior walls - 6 lbs. sq. ft.</p> <p>Design Live loads are:</p> <p>a) Floor load - 40 psf b) Sleeping areas - 30 psf c) Roof - 25 psf d) Stairs - 40 psf * e) Wind load - 20 psf f) Garages slabs - 50 psf g) Attics (accessible) - 20psf h) Attics (Inaccessible) - 10 psf i) Ground Snow Load - 25 psf j) Guardrails / handrails - 200 LBS k) Concentrated load</p> <p>Individual stair treads shall be designed for the uniformly distributed live load or a 300-pound concentrated load acting over an area of 4 square inches, whichever produces the greater stresses</p> <p>minimum wood header sizes for openings are: Per Architectural drawings.</p> <p>Steel lintels: Allowable spans (IRC table R103.7.3)</p> <table border="1"> <thead> <tr> <th>Size of Steel angle</th> <th>no story above</th> <th>one story above</th> <th>two story above</th> <th># of 1/2" or ea rebar</th> </tr> </thead> <tbody> <tr> <td>3 x 3 x 1/4"</td> <td>6'-0"</td> <td>4'-6"</td> <td>3'-0"</td> <td>1</td> </tr> <tr> <td>4 x 3 x 1/4"</td> <td>8'-0"</td> <td>6'-0"</td> <td>4'-6"</td> <td>1</td> </tr> <tr> <td>5 x 3 1/2" x 3/16"</td> <td>10'-0"</td> <td>8'-0"</td> <td>6'-0"</td> <td>2</td> </tr> <tr> <td>6 x 3 1/2" x 3/16"</td> <td>14'-0"</td> <td>9'-6"</td> <td>7'-0"</td> <td>2</td> </tr> <tr> <td>2-6 x 3 1/2" x 5/16"</td> <td>20'-0"</td> <td>12'-0"</td> <td>9'-6"</td> <td>4</td> </tr> </tbody> </table> <p>i) All lintel angles shall have a minimum bearing length of 4" ii) See plans for all lengths not outlined above</p> <p>Holes bored in joists shall not be within 2' of top and bottom of joist and its diameter shall not exceed 1/3 the depth of the joist. Notches in top and bottom of joists shall not exceed one-sixth the depth of the joist and shall be located in the middle third of the span. Ref. Sec. R502.8</p> <p>Garage / Residence Separation</p> <p>The garage shall be completely separated from the residence and its attic area by means of 1/2" gypsum board, or equivalent applied to garage side. Garages beneath habitable rooms shall be separated from all habitable rooms above by not less than 5/8" TYPE "X" gypsum board or equivalent.</p> <p>Garage / Residence Door</p> <p>Garage / residence door shall be equipped with either solid Wood doors not less than 1 3/8" in thickness, or (20) twenty - minute fire - rated doors or equivalent. All doors must be equipped with self-closing and latching devices.</p> <p>All engineered floor systems to be stamped and certified by a registered engineer.</p> <p>Minimum deflection per Table R301.7</p> <p>Nailing pattern for roof and floor sheathing shall be performed per IRC 2021 Table R602.3(1) and R602.3(3) fastening schedule and for rafters per R602.5.2(1)</p> <p>1 Roof 5/8" thick APA rated plywood sheathing shall be connected to rafters with 8d x 2.5" common nails at 6" o.c.</p> <p>2 Floor 5/8" plywood sheathing shall be connected to floor joists with 8d x 2.5" common nails or #10 screws at 6" o.c.</p> <p>3 Roof rafters and floor joists shall be connected to top plates and beams with (3) 16d x 3.5" common nails; (2) nails toe-nailed on one side and one on the other side.</p> <p>4 New 2x6 stud reinforcing shall be connected to the existing 2x6 with two rows of #10 x 3.5" screws at 12" o.c.</p>	Size of Steel angle	no story above	one story above	two story above	# of 1/2" or ea rebar	3 x 3 x 1/4"	6'-0"	4'-6"	3'-0"	1	4 x 3 x 1/4"	8'-0"	6'-0"	4'-6"	1	5 x 3 1/2" x 3/16"	10'-0"	8'-0"	6'-0"	2	6 x 3 1/2" x 3/16"	14'-0"	9'-6"	7'-0"	2	2-6 x 3 1/2" x 5/16"	20'-0"	12'-0"	9'-6"	4
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<p>Plans</p> <p>Sleeping room windows shall comply with Sec. R310. Maximum sill height is 44" above finished floor. Egress windows must have a net clear opening of 5.7 sq. ft. (5.0 sq. ft. at grade floor windows) and a min. clear width of 20" and min. height of 24".</p> <p>Window sills - where the opening of an operable window is located more than 12" above the finished grade or surface below, the lowest part of the clear opening of the window shall be a min. of 24" above the finished floor of the room unless the window is equipped with a window guard limiting the opening such that a 4" dia sphere can not pass thru the opening and in compliance with ASTM F2006 or F2090. Ref. Sec R612.2</p> <p>Glass doors, tub and shower enclosures, skylights, and side glass panels shall have safety glass. Ref. Sec. R305.4 and R305.6</p> <p>Interior stairways shall have a minimum clear width of 36", with a minimum of 6'-8" headroom. minimum tread width to be 10" w/1" nosing. Maximum riser to be 7 3/4".</p> <p>Handrails having Minimum and maximum height of 34" and 38" respectively, measured vertically from the nosing of the treads, shall be provided on at least one side of stairways of four or more risers.</p> <p>Porches, balconies, or raised floor surfaces located more than 30" above the floor or grade below shall have guard rails not less than 36" in height. Open sides of stairs with a total rise of more than 30" above the floor or grade below shall have guardrails not less than 34" in height measured vertically from the nosing of the treads.</p> <p>Smoke detectors shall be installed in each sleeping room, outside of each separate sleeping area in the immediate vicinity of the bedrooms and on each additional story of dwelling unit, including basements, but not including crawl spaces and uninhabitable attics. All detectors shall be interconnected such that the activation of one alarm will activate all the alarms in the individual unit and shall provide an alarm which will be audible in the unit be installed in accordance with the manufacturers instructions.</p> <p>Fireplace chimney to be minimum 2'-0" above nearest 10'-0" portion of roof. Ref Table R 1001.1</p> <p>All masonry fireplace shall comply w/ Fig. R1001.1</p> <p>All pre-fab fireplaces to be UL listed and installed per manufacturers specifications. Masonry and factory built fireplaces require an exterior vent pipe. Ref. Sec. 1006. Fireplace hearth to project 2" from front of facing and 12" on side of opening when the fireplace opening is greater than 6 sq. ft. and it shall project 16" from the front of facing and 6" to the side of opening when less than 6 sq ft</p> <p>Galvanized brick ties shall be installed not more than 24" o.c. horizontally and shall support not more than 3.25 sq. ft. of wall above. Flashing per Sec. R103.7.5 and R103.8</p> <p>Habitable rooms, except kitchens, shall have ceiling height of not less than 7'-6" for at least 50% of their required areas. Not more than 50% of the required area may have sloped ceiling. If any room has a furred ceiling, area thereof, but in no case shall the height of the furred ceiling be less than 7'-0"</p> <p>Portions of a room with a sloping ceiling measuring less than 5'-0" or a furred ceiling measuring less than 7'-0" from finished floor to the finished ceiling shall not be considered as contributing to the minimum required habitable area for that room</p> <p>EXCEPTIONS:</p> <ol style="list-style-type: none"> All other rooms including kitchens, baths, and hallways may have a ceiling height of not less than 7'-0" measured to lowest projection from ceiling Ceiling height in basements without habitable spaces may not be less than 6'-8" clear except for under beams, girders, ducts, or other obstructions where the clear height shall be 6'-4" <p>Draftstopping shall be provided according to Sec. R502.12 Fireblocking shall be provided at all interconnections between vertical and horizontal spaces such as soffits and dropped ceilings. Fireblocking shall also be provided in concealed spaces between stairways stringers at the top and bottom of the run. Ref. Sec. R602.6</p> <p>Roofing shall comply with chapter 4 - Roof Assemblies</p> <p>Attic area shall be vented per Sec R306</p>	<p>Plans</p> <p>All attic spaces with height greater than 30" shall be provided with a 22"x30" min. attic access Ref. Sec R307</p> <p>Interior Finishes shall comply with a flame spread classification not greater than 200. Ref. Sec. R302.4</p> <p>Exterior wall coverings shall comply w/ Sec. R103</p> <p>Radon Control measure shall comply with IRC 2004 Appendix F</p> <p>Thermal / moisture protection</p> <p>Roof Ceilings = R-49 blown wool or fiberglass.</p> <p>Cathedral ceilings = R-49 batt insulation with kraft face vapor barrier down.</p> <p>Exterior Framed walls of habitable space = R-15 batt insulation with kraft face vapor barrier to inside.</p> <p>Exterior basement exposed foundation walls = R-11 F5-25 perforated foil faced batt. Insulation.</p> <p>Interior basement finished foundation walls = R-13 batt insulation with kraft face vapor barrier to inside.</p> <p>Floors at overhangs = R-19 batt insulation with kraft face vapor barrier up.</p> <p>Floor of habitable space over garage and craw space = R-14 batt insulation with kraft face vapor barrier to inside.</p> <p>Walls adjacent to unfinished space = R-20 batt insulation with no vapor barrier.</p> <p>Backing material to be used in tub & shower areas shall be Cement, fiber cement or glass mat gypsum backers in compliance with ASTM C1289, C1325 or C1176 & installed in accordance with manufacturers recommendations shall be used as backers for wall tile in tub & shower areas & wallpanels in shower areas. Ref. Section R102.4.2</p> <p>Styrofoam sill sealer shall be provided between all sill plates and top of foundation wall</p> <p>Rough carpentry contractors shall glue and seal all panel butt joints, plates at floor and ceiling, and all window and door flanges / jamba prior to and during erection.</p> <p>All sheathing penetrations during construction shall be patched and repaired according to manufacturer's specifications.</p> <p>Except where required by Sec. R406.2 to be waterproofed, foundation walls that retain earth and enclose interior spaces & floors below grade shall be damp proofed from the top of the footing to the finished grade. Masonry walls shall have not less than 3/8" thin portland cement parge applied to the exterior of the wall. The parging shall be covered with a bituminous coating, 3 pounds per square yard of acrylic modified cement, 1/8" coat of surface bonding cement complying with ASTM C687, or any material permitted for waterproofing in SEC. R406.2 Concrete walls shall be damp proofed by applying one of the above listed damp proofing materials or any one of waterproofing materials listed in Sec. R406.2 to the exterior of the wall. In areas where a high water table or other severe soil - water conditions are known to exist, exterior foundation walls that retain earth and enclose interior spaces and floors below grade shall be waterproofed from the top of the footing to finished grade. Walls shall be waterproofed in accordance with one of the following: 2-ply hot-mopped felt, 55 pound roll roofing, 6 mil polyvinyl chloride, 6 mil polyethylene, 40 mil polymer-modified asphalt, 60-mil flexible polymer cement, 1/8" cement-based / fiber-reinforced / waterproof coating, or 60 mil solvent-free liquid-applied synthetic rubber. All joints in membrane waterproofing shall be lapped and sealed with an adhesive compatible with membrane.</p> <p>Mechanical</p> <p>All pipes, ducts, vents, wiring and chases which penetrate ceilings directly below truss or roof assemblies shall be firestopped.</p> <p>All exhaust fans shall vent to exterior.</p> <p>Kitchen range exhaust: 100cfm Ref. Sec. M1802 Bathroom & Powder Room: 50cfm Ref. Sec. R303.3</p> <p>Clothes dryer exhaust must be vented to the exterior Ref. Sec. M1501</p> <p>Water Heater: No. of Rooms Electric Gas 2-3 Bedroom 50 gal. 40 gal. 4-5 Bedroom 66 gal. 50 gal.</p> <p>Air Handler - shall be standard on all houses. Size and model as per heat loss / heat gain calculations.</p> <p>Per local code requirements, all units shall be equipped throughout with automatic sprinkler systems designed and installed in accordance with NFPA 13D (one and two family)</p>
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TITLE SHEET: COVER SHEET/ SPEC.
TARTER RESIDENCE
115 Randolph Ave
Cape Charles, VA

<p>Note: Plans are for reference only in the construction of the project detailed in the Construction Contract. These drawings are intended as a general representation of the Project to be built and do not contain every detail required for construction. In the case of information on these plans and in the construction contract not matching, the construction contract will override the plans.</p> <p>Client Approval:</p> <p>Name _____ Date _____</p> <p>Name _____ Date _____</p>	
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LEGEND OF COMMON ABBREVIATIONS	
BSP BACKSPASH	ETR EXISTING TO REMAIN
B/O BY OWNER	EX EXISTING
CLG CEILING	F.F. FINISH FLOOR
CLG CEILING	SGL SINGLE
CONT. CONTINUOUS	SPR. S.B. SOIL SURFACE
CONTR. CONTRACT	HWYD HARDWOOD
CONC. CONCRETE	HGT. HIGH
D. DRIVER	INT. INTERIOR
DBL. DOUBLE	J.C. ON CENTER
D.H. DOUBLE HUNG	OPNS. OPENING
DEMO. DEMOLISH AND REMOVE	PKT. POCKET DOOR
REQD. REQUIRED	R/LI. ROUGH-IN
REF. REFERENCE	SGL. SINGLE
THOLD. THRESHOLD	T.B. TOP-NEL. BAK.
TR. TRIM	P.F. PAPER HANG
T.S.TAT. THERMOSTAT	V.I.F. VERIFY IN FIELD
W. WASH	

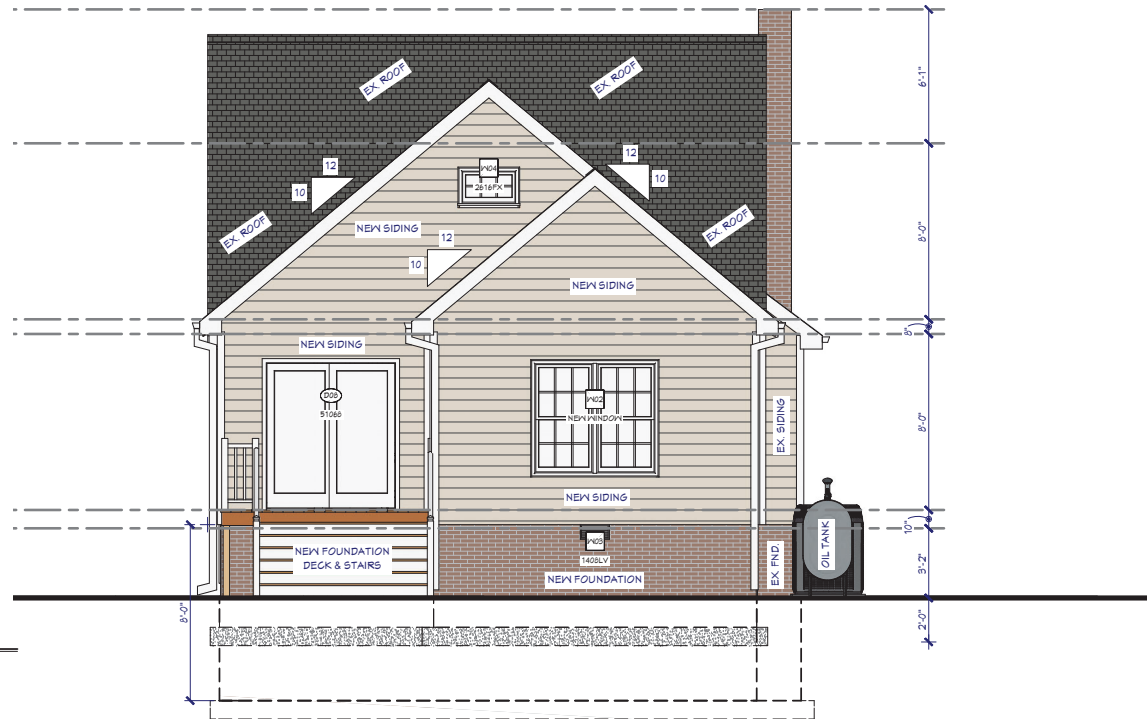
LEGEND OF COMMON ELECTRICAL SYMBOLS	
REFRIGERATOR RECEPTACLE	ELECTRIC WALL OVEN RECEPT.
QUADRUPLEX RECEPTACLE	220
PILOT LIGHT GFCI RECEPTACLE	BLANK
MICROWAVE RECEPTACLE	CLOTHES DRYER RECEPTACLE
HOOD VENT RECEPTACLE	CLOTHES WASHER RECEPTACLE
GFCI RECEPTACLE	DISHWASHER RECEPTACLE
GAS COOKTOP RECEPTACLE	DUPLEX RECEPTACLE (HOT.)
GARBAGE DISPOSAL RECEPT.	DUPLEX WEATHERPROOF RECEPT.
ELECTRIC RANGE RECEPTACLE	
TELEPHONE RECEPTACLE	
CABLE RECEPTACLE	
ETHERNET PORT - CAT 6	
DUPLEX RECEPT. w/ (USB A&B)	
DOOR RING / BELL	
INTERCOM / SPEAKER	
ALARM SYSTEM	

LEGEND OF COMMON LIGHTING SYMBOLS	
SINGLE POLE SWITCH	CEILING MOUNTED LIGHT
THREE WAY SWITCH	CEILING MOUNTED LIGHT (FL)
FOUR WAY SWITCH	CEILING RECESSED LIGHT 6"
DIMMER SWITCH	CEILING RECESSED LIGHT 4"
THREE DIM. SWITCH	THERMOSTAT
TIMER SWITCH	WALL SCONCE
MOTION SWITCH	CEILING FAN
SMOKE/CARBON DETECTOR	

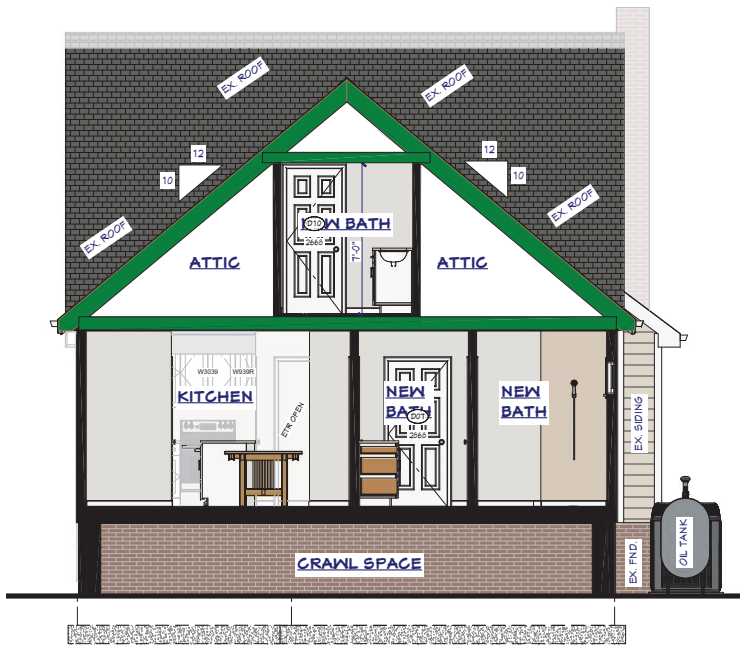
COMMON WIRING - LIGHTING	COMMON WIRING - UNDER CAB.
COMMON WIRING - IN CAB.	UNDER CABINET LIGHTING
IN CABINET LIGHTING	AIR SWITCH
EXHAUST / LIGHT FAN / HEATER	

DATE:	02/03/2026
SCALE:	AS SHOWN
DRAWN:	JPB
JOB#:	17000
# DATE:	REVISION:
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- -	- -
- -	- -
- -	- -
CLIENT INITIALS:	
SHEET:	49 of 3
A1	49

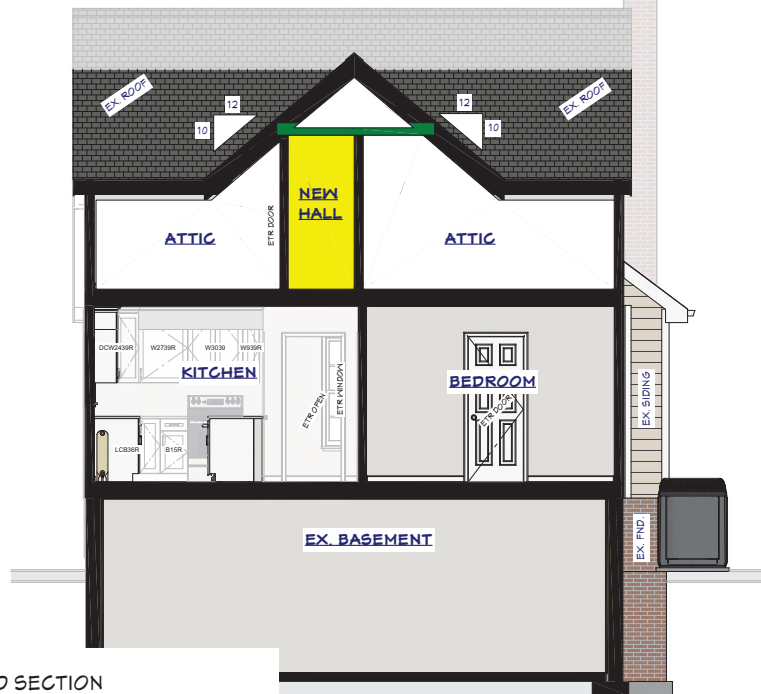
PLANS PREPARED BY:
Justin Ritter - Designer/Architect
4501 Hounslow Drive
Manassas, VA 20110



A REAR REVISED ELEVATION
Scale: 1/4" = 1'-0"



B BUILD REVISED SECTION
Scale: 1/4" = 1'-0"



C BUILD REVISED SECTION
Scale: 1/4" = 1'-0"

TITLE SHEET: REAR REVISED ELEVATION

TARTER RESIDENCE
115 Randolph Ave
Cape Charles, VA

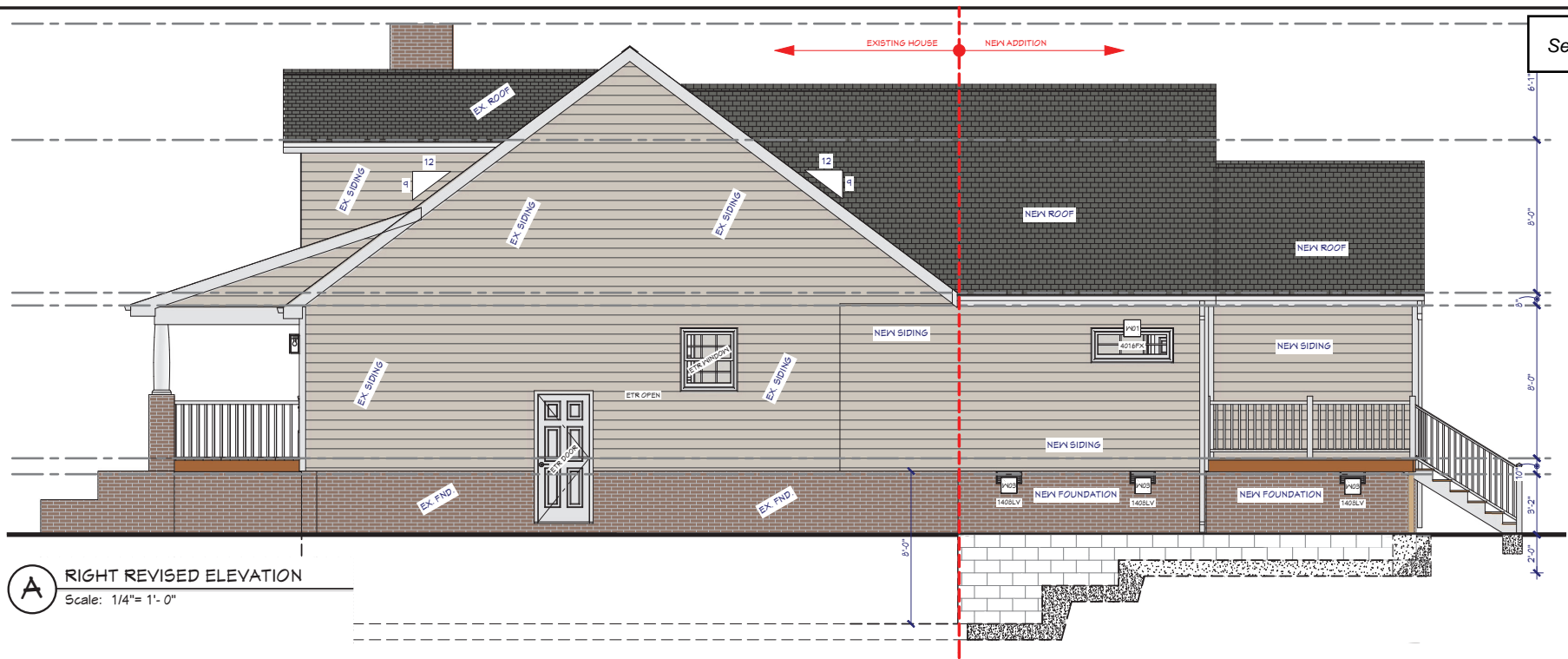
DATE: 02/09/2026
SCALE: AS SHOWN
DRAWN: JPB
JOB#: 17000

#	DATE	REVISION:

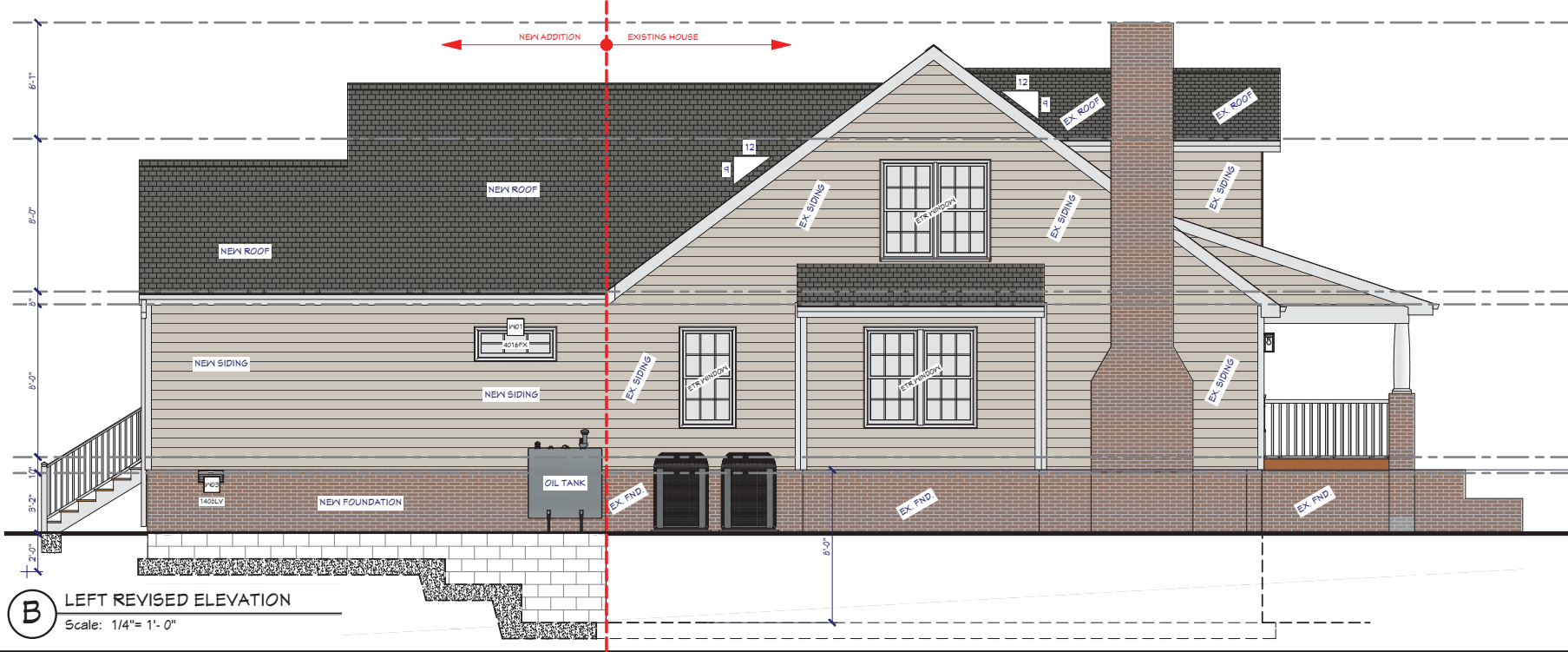
CLIENT INITIALS:

SHEET: 3
A1 50

Section 5, Item B.



A RIGHT REVISED ELEVATION
Scale: 1/4" = 1'-0"



B LEFT REVISED ELEVATION
Scale: 1/4" = 1'-0"

PLANS PREPARED BY:
Justin Miller - DesignCharlottesville
4501 Hounslow Drive
Manassas, VA 20110

TITLE SHEET: RIGHT & LEFT REVISED ELEVATION

TARTER RESIDENCE
115 Randolph Ave
Cape Charles, VA

DATE:	02/09/2026	
SCALE:	AS SHOWN	
DRAWN:	JPB	
JOB#:	17000	
#	DATE	REVISION:
.	.	.
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.	.	.

CLIENT INITIALS: _____
SHEET: **A1** of 3
51

Exterior Material List for 115 Randolph Ave. Cape Charles VA 23310



New construction materials list

Shingles ; Red shadow Architectural

Siding ; Vinyl Dutch lap double 5-inch CertainTeed Silver Ash

Foundation ; Block with brick veneer red

Trim ; metal coil wrap cream color, match existing trim

Deck : railing Poly Rail by Digger Specialties, standard Baluster white color
7/8" x 1-1/2" rectangular Vinyl, 2-7/8 spacing

Deck ; surface Timber Tech Harvest Collection Cathedral Grain Slate gray color.

Windows; Atrium series 150 single hung new construction window. Brick mould, bottom sash tilts, fully welded, sloped sill, DP 50 rated, Integrated J channel, Continuous head and sill, Half screen, Jamb depth 3.277", No grids.

Door ; Rear sliding door Atrium 72" x 80", white color, black handles. No grids

Gutters ; Metal 5" standard cream color. Standard gutter design

115 Randolph Ave current back of house, yard, fence, roof, deck, trees in both directions



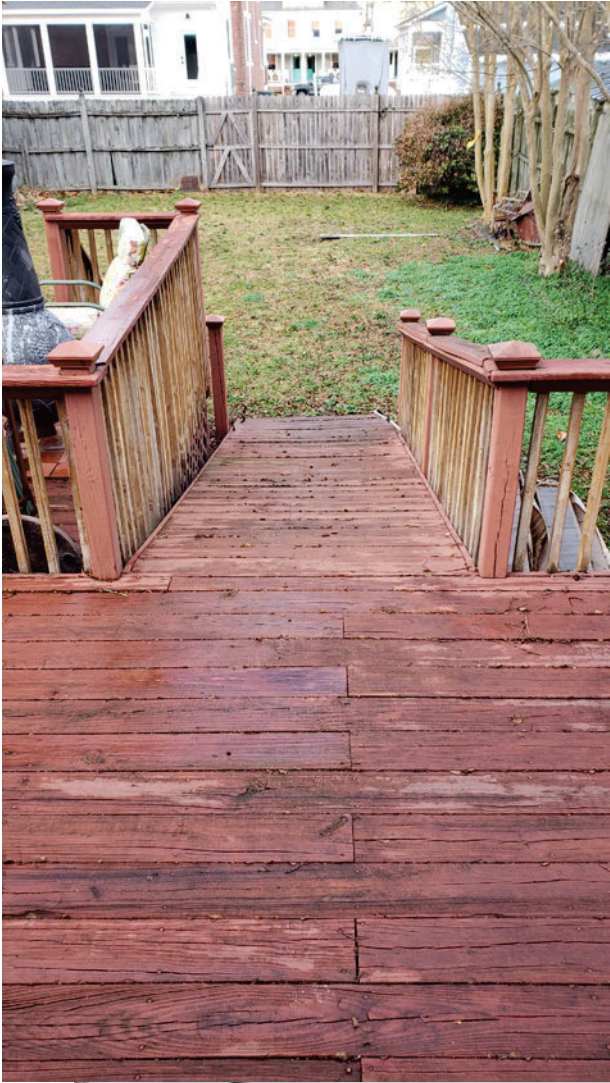
115 Randolph Current back deck



Current back door/stoop



115 Randolph back ramp/deck/fence, trees



Back roof of 115 Randolph



115 Randolph

Trees on E side of lot for orientation. Marked with yellow flags for removal. L-R, 1,2,3,4
Plan to remove trees 1, 3, 4, & 5 (not shown in this picture). *Note: Tree 2 will NOT be removed.



Left most tree: “#1” to be removed



115 Randolph – “tree 4” from above. 1 Crepe Myrtle to be removed from 2 angles. Note the electrical lines running through the branches.



115 Randolph Ave – Not in orienting picture. 1 Camellia to be removed from 2 angles. It looks like a tree, but is technically a shrub, located between the S corner of the deck and the fence.



115 Randolph – “Tree 3” to be removed



Additionally on West side of yard, 1 crepe myrtle will be removed.



File Attachments for Item:

C. Tax Map #83A1-2-11-9 on Bay Avenue



Historic District Review Board Staff Report

Agenda Title: Tax Map #83A1-2-11-9 on Bay Avenue

Agenda Date: March 17, 2026

Prepared by: Tracy Outten, Planning/Zoning Assistant – Preservation & Zoning Administrator

Reviewed By: Katie H. Nunez, Director of Planning & Zoning Administrator

Date: March 6, 2026

Applicant: Francis Palya & Deborah Palya represented by Shoreline Homes Inc.

Type Of Application: Pre-Application/Certificate of Appropriateness

Site Address: Bay Avenue

Work to be Performed: to construct a new single-family home, a rear-covered deck, and an enclosed outdoor shower

Tax Map: 83A1-2-11-9

Current Zoning: R-1

Lot Size: 7,999 sq. ft.

Historic Register: NA

Description:

Accessory Structure:

Date Application Received: February 2, 2026

Pre-Application Meeting: March 17, 2026

Date Application Deemed Complete: March 6, 2026

Legal Deadline: HDRB Decision (90 Days from Complete Application): June 7, 2026

Overview:

The applicant is seeking to construct a new 1,407 sq. ft., two-and-a-half-story single-family residence with a 25' x 10' (250 sq. ft.) front porch, and a 24 sq. ft. rear outdoor shower. The application also includes the installation of a sidewalk and two driveways. Although this lot is currently vacant, new construction should be compatible, sympathetic, and complementary to existing buildings.

Aerial Map:**Materials:**

Roof: House (Pitch: 6:12): GAF Timberline 3-tab Shingles

Siding: James Hardie Fiber Cement Board: Shingle, Plank .312 w x 7" reveal, and Board & Batten 3-1/2" W x 12' T

Windows: Anderson 100 Series Vinyl: (1) Double Hung 1/1: 1 = 40" x 38", 2 = 74" x 60", 3 = 28" x 60" 5 = 24" x 38", 10 = 36" x 60"; (2) Fixed 1/1: 1 = 36" x 20" and 1 = 36" x 12" (3) Left Sliding 1/1: 5 = 48" x 24"; Sill: 1-3/4"; Trim: 1 x 4 PVC

Trim: 5/4 x 5-1/2 Woodgrain PVC 6" boards, and Soffit & Fascia: PVC boards

Doors: Therma-Tru Fiberglass Front: 1st Floor : Smooth-Star 3'0" x 6'8" 3/4-lite/1-panel with 2-panel sidelight, 6' x 6'8" Patio on both sides of the front door and 2nd Floor: 6'0" x 6'8" French Door no grids; Back: 3'0" x 6'8" 6-panel and 7' x 9' Steel Garage with arched windows/12-panels; Side: 7' x 9' Steel Garage with arched windows/12-panels

Front Porch: Ceiling: 1" x 6" x 8' Tongue & Groove Vinyl Beadboard; Decking: 1" x 6" Trex Enhance Saddle; Columns: Square Pressure Treated 6 x 6 posts wrapped in PVC; Baluster – Square Composite; Railings: Square Composite; Steps: Trex Enhance Saddle Decking with white PVC Composite risers

Foundation: Concrete Footings, Parged Concrete across top of CMU blocking, and 8" x 8" beams

Outdoor Shower: Concrete Foot Pad

Driveways: Gravel with concrete aprons where necessary

Sidewalk: Concrete

Staff Analysis:**Zoning Compliance:**

The property is a legal, conforming use. The proposed project is seeking to construct 1,407 sq. ft., two-and-a-half-story single-family residence with a 25' x 10' (250 sq. ft.) front porch, a 24 sq. ft. rear outdoor shower, two gravel driveways, and to install a sidewalk on the front of the property as required by Town Code. The proposed materials are in conformance with the Zoning Ordinance for new construction, and Zoning Compliance is achieved based upon this application to the HDRB.

Please note that a separate Zoning Compliance will be required upon the submission of a building permit application to ensure conformance that the HDRB Votes are fully referenced and contained in the building plans. As of when the applicant submits for a building permit, a full set of building plans must be provided that includes a required Site Plan and Landscape Plan that details both the removal of existing trees if necessary and the proposed addition of trees to conform with CCTC Chapter 32, Appendix G – Tree Conservation and Preservation Ordinance along with the Historic District Overlay Design Guidelines Section 9.5 Landscaping.

Any property within the Historic District Overlay is required to meet the Historic District Guidelines, which are superimposed on the underlying zoning district regulations.

Historic District Guidelines:

Section 5.13: New Construction of Primary Buildings

Section 9.1: Hardscaping (Driveways, Walkways, & Other Paving)

Section 9.4: Appurtenances

Section 9.5: Landscaping

Staff Recommendation:

Staff is requesting the HDRB to review the application material submitted by the applicant and determine if the proposed new home, driveways, and outdoor shower are in keeping with the Guidelines of the Historic District and reflect the character and historic appearance of the neighborhood.

Staff is prepared to assist in the development of a motion, if needed.

The Historic District Review Board makes the final determination on whether or not a Certificate of Appropriateness will be issued for this project and may impose conditions on an approval.

If approved, a Certificate of Appropriateness shall expire of its own limitation six (6) months from the date of issuance if the work authorized thereby is not commenced by the end of such six (6) month period; and further, any such certificate shall also expire and become null and void if such authorized work is suspended or abandoned for a period of six (6) months after being commenced.

Attachments:

Attachment 1: Zoning Review Check List Residential-1 District

Attachment 2: Total Lot Coverage Sheet

Attachment 3: Application and Supporting Documents

DECISION OF ZONING REVIEW
BY: Tracy Outten, Planning & Zoning
Asst. Preservation & Admin.
DATE: March 6, 2026
REVIEW DONE FOR: COA
COMMENTS:
DECISION: APPROVED

ZONING REVIEW CHECK LIST
Residential -1 District

Address of Property	Bay Avenue
Property Owner's Name	Francis Payla and Deborah F. Palya
Tax Map #	83A1-2-11-9
Seeking Permit for:	New 1,407 sq. ft, 2-story single-family residence with a 250 sq. ft. front porch, and 24 sq. ft. outdoor shower

- Verify that proposed use is use allowed by right: Single Family dwelling or accessory building (shed, garage) or Home Occupations or other: **New 1,407 sq. ft, 2-story single-family residence with a 250 sq. ft. front porch, and 24 sq. ft. enclosed outdoor shower.**
- 1) Site Plan submitted? If not, have Applicant prepare and complete Site Plan in compliance with Appendix C. **MAS-LD dated 02/03/2026 (PRELIMINARY)**
- 2) Lot & Dwelling Size & LOT COVERAGE

ORDINANCE REQUIREMENT		
Lot Size	Dwelling Unit Size	LOT COVERAGE (Section 4.2 (E) (6))
Up to 5,600 sq ft	Need to comply with Lot Coverage requirement	The sum of the footprint square footage of all buildings on the lot shall be less than 50% of the total lot square footage
5,600 Sq. Ft (40' x 140')	960 sq ft (min) to 2,400 sq ft. (max)	
5,601 – 8,400 sq. ft	960 sq ft (min) to 3,000 sq ft (max)	
8,401+ sq ft	Max of 4,500 sq	
<p>NOTES: - Ordinance adopted 12/19/2024</p> <p>(a) Patios, Porches, Decks, Attached Garages & Detached Accessory Structures are not included in the calculation of the dwelling unit square footage.</p> <p>(b) If multiple lots are used, see Town Code Chapter 32, Article IV, Section 32.91 (e) (7 & 8) for additional Lot Coverage Rules</p> <p>(c) If lot smaller than 5,600 sq ft, the total footprint area of all accessory building lot coverage shall not exceed ten percent (10%), per Town Code Chapter 32, Article IV, Section 32.91 (e) (12).</p>		

LOT SIZE	HOUSE SQ FT	ACCESSORY STRUCTURE SQ FT	TOTAL SQ FT OF ALL BUILDINGS	LOT COVERAGE CALC	In Compliance or Not?
7,999	1,407	0	1,407	18%	YES

- 3) Setbacks – Conforming Lots (5,601 – 8,400 sq ft):
 - (a) Front: 30 ft or prevailing: **PREVAILING 103.7 ft.**
 - (b) Side: 5 ft: **Actual: West: 5.4 ft. East: 5.4 ft.**
 - (c) Rear: 5 ft: **37.5 ft.**
If nonconforming lot, then rear setback may be 5 ft if lot less than 40 ft in width
SEE NOTES FOR ACCESSORY BUILDINGS
 - (d) Corner Lots – Minimum Side is 5 ft. or prevailing: **5.4 ft.**

NOTES:

- **DECKS & PATIOS NOT ALLOWED IN FRONT YARD;**
- *See Section 4.1 (F) for Projections Allowed in Required Setbacks.*

- NA** 4) Is there a fence/wall? **FENCE or WALL INDICATED.**
 If yes, then minimum distance of 2 ft from any sidewalk, alley or public right of way; must be 1 inch from adjacent property boundaries.
 If yes, max height for rear fence is 6 ft & max height for side and/or front yard fence is 4 ft.

- 6) Minimum Lot Width – 40 ft.

- 7) Height Restrictions for Main Structure/House: 40 ft’ height max or 2 ½ stories: **Actual: 37.2 ft. , 2-1/2 stories per Memorandum of Understanding and Agreement dated 3/3/2026**
 (see Sec. 4.1 (C) for exceptions)

- 8) Development Standards – HISTORIC DISTRICT REVIEW BOARD (HDRB) determines compliance with Historic District Guidelines and Overlay District Requirements
 - a) Proportions – 1:1 to structures in neighborhood: **YES**
 - b) Scale and orientation: **YES**
 - c) Roof Pitch – prevailing standard or 8:12: **Actual: 6:12**
 - d) Windows & Doors: **YES**
 - Double-hung windows or prevailing standard; jalousie, picture, and horizontal windows only in traditional American ranch style architecture: **Double-hung 1/1**
 - Exterior doors should be paneled or have glass panels; flush doors not allowed. **3/4-lite/1-panel with 2-panel sidelight and French on 2nd floor**
 - e) Porches – min depth of six feet & cover 80% of width of front building façade.: **10 ft. & 86%**

ACCESSORY STRUCTURES ONLY – Additional Requirements: NOT APPLICABLE

- 9) ACCESSORY STRUCTURE – Additional Requirements
 - a) Not located in front or side yard: _____
 - b) No closer than 5 ft to any alley line: _____
 - c) No closer than 2 ft to any side or rear lot line:
 - d) If lot frontage is less than 80 ft, then the sum of all accessory buildings shall be less than the footprint of primary residence or 550 sq. ft, whichever is the lesser: _____
 - e) If lot frontage is greater than or equal to 80 ft, the sum of all accessory buildings shall be less than the footprint of the primary residence or 660 sq. ft., whichever is less: _____

- 10) Height Restrictions for Accessory Structures:
 - a) If house is no more than one story above grade, the height of Accessory Structure cannot be taller than house (*Town Code Chapter 32, Article IV, Section 32.91 (e) (9)*): _____
 - b) If house is more than one story above grade, then Accessory Structure shall be no higher than 2/3 the height of the main structure or 24 ft, whichever is less (*Town Code Chapter 32, Article IV, Section 32.91 (e) (10)*): _____

11) Distance between Accessory Structure and Main Building – min of 15 ft.:

12) PHYSICAL CHARACTERISTICS: Will there be an accessory dwelling?
a. Accessory dwellings shall be located in an accessory building.
b. Accessory dwellings shall not have a floor area exceeding forty-five (45) percent of the floor area of the main building.

MAIN BLDG FLOOR AREA	45% ALLOWANCE for ADU FLOOR AREA	ACTUAL ADU FLOOR AREA

c. Accessory dwellings shall have one kitchen, one bathroom, and a sleeping area.
d. Accessory buildings shall not have the appearance of a single-family dwelling

13) Occupancy characteristics for Accessory Dwelling Units – Affidavit signed and submitted re: NO STRS/no TRANSIENT OCCUPANCY – _____

Total Lot Coverage Breakdown - APPROVED - 3/6/2026		
Address: Bay Avenue	Tax Map # 83A1-2-11-9	NOTES
Lot Size	7,999	
Structure	Square Footage	
House	1,407.00	
Front Porch	250.00	
Front Steps	122.00	
Covered Rear Deck	0.00	
Rear Steps	0.00	
Walkways	175.00	
Rear Gravel Driveway (320)	160.00	These surfaces are considered 50% impervious re: CBPA
Rear Enclosed Shower	0.00	
Misc. Concrete	133.00	
Accessory Structure	0.00	
Total	2,247.00	
Total Lot Coverage	28.09%	
FUTURE PROPOSED		
N/A	0.00	
Proposed Total	0.00	
Existing Total	2,247.00	
Total Proposed + Existing	2,247.00	
Total Lot Coverage	28.09%	
NOT INCLUDED		
Rear Shower (Not Enclosed)	24	on concrete pad already calculated

Revised 05/2023	
Taxes	Paid
Violations	NA
Fee	\$500
Decision	HDRB



Certificate of Appropriateness Application

New Construction

Planning & Zoning Department
 2 Plum Street; Cape Charles, VA 23310
 757-331-3259 x31
planningtech@capecharles.org

Budget Code: HISTF 100-3100-1100

PART 1: APPLICATION NOTES

A Certificate of Appropriateness (COA) is required for all applications for zoning clearances and permits involving any new construction, including accessory structures, within the Cape Charles Historic District Overlay. A pre-application meeting is available upon request prior to submitting this application. * *The applicant is responsible for confirming and obtaining all necessary building permits after approvals.*

The following documents must be submitted to the Town for review before this application can be reviewed. In addition to these documents, the COA application and requested supporting information must be deemed complete prior to being evaluated.

- A) Site Plan
- B) Elevations
- C) Zoning Clearance Application
- D) Photos of existing lot
- E) Renderings
- F) Photos of proposed materials
- G) Owner Permission Affidavit
- H) Payment of Fee
- I) Tree Permit Application

Owner signature: _____

Date: _____

PART 2: PROPERTY INFORMATION

Property Address: **500 Bay Avenue** Tax Map #: **83A1-2-11-9**
 Is there an active Certificate of Appropriateness on this property? No Yes _____ Date Zoning District: **R1**

PART 3: PROPERTY OWNER INFORMATION

Name and/or Company: **Francis Palya & Deborah F Palya**
 Mailing Address: _____
 Phone Number: _____
 Email: _____

PART 4: APPLICANT INFORMATION

Check here if applicant is owner. (If applicant is not the property owner, an Owner's Permission Affidavit must be attached.)

Name and/or Company: **Shoreline Homes Inc.**
 Mailing Address: _____
 Phone Number: _____
 Email: _____

PART 5: PROJECT INFORMATION

Proposed Project Description (If any tree removal is being proposed a Tree Permit Application must be completed.):
New Single Family Residence

PART 6. NEW CONSTRUCTION			
See Section 5.13 & 6 of the Historic District Design Guidelines			
First Floor Building Area (sq. ft.): 1409.4sqft		Total Gross Floor Area (sq. ft.): 4045.5sqft	
Front Building Setback (ft.): 103.7'		Building width (ft.): 29'	
Building Height	Feet: 37.2'	Stories: 3 2-1/2 per MOU	Roof pitch: 6:12
A. Foundation	Material to be used: Concrete Footings, CMU, and 8"x8" beams.		
B. Roofing	Material to be used: 3 Tab Architectural Asphalt Shingles		
	Chimney? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes - Number _____ Materials:		
C. Siding	Material to be used: Hardie Plank Siding	Dimensions: 8.5" total, 7" reveal. Battens to be 3 1/2"	
D. Steps	Material to be used: Composite Trex Decking built square with white PVC Composite risers.		
E. Railing	Style and Material to be used: PVC Railing with square posts.		
F. Porch	Length: 10' Width: 25'		
	Material to be used: Floor: Composite PVC Material Skirting: Composite PVC Material		
	Columns? <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes - Number 4 Style & Materials: White PVC wrapping		
G. Deck	Length: 10 Width: 25	Material to be used: Trex Composite Decking	
H. Doors	Width: 3' Height: 6'8		
	Material and Configuration: attach a picture (i.e., glass panes, divisions, decorative details & panels) White Fiberglass exterior doors with glass pane and white sidelight to the right. Rear door 6 panel.		
I. Windows	Configuration (i.e., double-hung sash, 2/2, 6/1, 6/6, etc.) attach a picture: Double-hung 1/1		
	Material: Vinyl		
	Width: 3'	Height: 5'	Depth: 4 9/16
J. Trim	Material to be used: PVC Woodgrain White Trim Boards		
	Dimensions: 1x5.5x12		
K. Hardscape	Indicate the placement and dimensions of any of the following on your site plan.		
	Driveway: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes – Materials: <u>Gravel with concrete aprons where necessary.</u>		
	Walkway: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes – Materials: <u>Gravel</u>		
	Fence: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes – Materials: <u>n/a</u>		
	Patio: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes – Size: <u>n/a</u> Materials: <u>n/a</u>		
	Outdoor shower: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes - <input checked="" type="checkbox"/> Not Enclosed <input type="checkbox"/> Enclosed – Materials <u>3'x3' Concrete pad</u>		
	Pool: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes – Requires a Conditional Use Permit		
	Accessory Structure: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes – Complete an additional COA application for the structure		

Describe how the proposed construction will relate to the architectural scale, massing, volumes, and styles represented within the historic district. Attach pictures of the neighborhood (e.g., adjacent buildings, streetscapes).

The Proposed new construction is a non contributing structure, however will be similar in scale/size and color palette to the structures near it. It will be constructed with more modern materials.

Indicate the proposed materials if not listed above, distinctive architectural features and ornamentation:

I hereby certify that I have the authority to make the foregoing application, that the information given is true and correct, and that the construction or improvements will conform to the regulations in the Virginia Statewide Building Code, all pertinent Town Ordinances, including fire, sewer and water ordinances, and private building restrictions, if any, which may be imposed on the property by deed. Furthermore, I certify that the changes to the improvement before or during construction will be provided to the Zoning Administrator and Building Official before such changes are constructed.

Applicant's signature: *Bruce Smith*

Date: 1/29/20

Zoning Administrator's signature: _____

Date: _____



Owner Affidavit for Permission to Represent

Planning & Zoning Department
2 Plum Street; Cape Charles, VA 23310
757-331-3259 x31

planningtech@capecharles.org

Revised	Section 5, Item C.
Taxes	
Violations	
Fees	
Decision	

PART 1. APPLICATION NOTES

Use this form to give permission for a contractor, architect, or other individual to represent the owner of a property in matters within the Town of Cape Charles.

PART 2: PROPERTY INFORMATION

Property Address: 500 Bay Ave.; Cape Charles, VA 23310 Tax Map #: B3A1-2-11-9

PART 3: PROPERTY OWNER INFORMATION

Name and/or Company: Francis Palva & Deborah F Palva

I hereby give authority to the following representative to act on my behalf on the following matter:
Shoreline Homes Inc.

PART 4: REPRESENTATIVE INFORMATION

Name and/or Company: Shoreline Homes Inc.

to file documents on my behalf To represent me in meetings with Town officials

Name and/or Company: _____

Mailing Address: _____

Phone Number: _____ Email: _____

to file documents on my behalf To represent me in meetings with Town officials

Signature of owner: Francis Palva & Deborah Palva Date: 1-31-2026

State of Pennsylvania, County of Fayette
31 day of Jan, 2026, by Francis Palva & Deborah F Palva (name of person acknowledged)

Signature of Notarial Officer: Andrea Fedor

Notary Registration number: 1290700

My commission expires: May 18 2027

Commonwealth of Pennsylvania - Notary Seal
 ANDREA FEDOR - Notary Public
 Fayette County
 My Commission Expires May 18, 2027
 Commission Number 1290700

Seal

SHORELINE H O M E S

Memorandum of Understanding and Agreement

Project Palya – 500/Lot 19 Bay Avenue Cape Charles 23310

The purpose of this MOU is to clearly establish and confirm the mutual understanding of the builders, homeowners, and any future homeowners regarding the intended use and construction limitations of the ground floor of the residential structure to be constructed at 500 Bay Avenue Cape Charles VA 23310.

The homeowners expressly agree that the ground floor of the structure shall **not** be designed, constructed, modified, or finished for human occupancy at any time.

The Builder shall not construct, frame, install, rough-in, or otherwise prepare the ground floor for any interior living space. Specifically, but not limited to bedrooms, bathrooms, or any room that could be deemed as habitable living space. The ground floor shall remain non-habitable and non-conditioned space.

This MOU reflects the binding intent of the builder, homeowner, and any future homeowner that the ground floor shall **not** be converted into occupiable living space at any future date.

Owner		
By	<u>Francis Palya</u>	<u>3/3/2026</u>
		Date
By	<u>Shirley Palya</u>	<u>03/03/2026</u>
		Date
Builder: Shoreline Homes		
By	<u>Shirley Smith</u>	<u>3/3/26</u>
	Authorized Agent	Date





LOCATION MAP
SCALE: 1" = 200'

HORIZONTAL DATUM
TOWN OF CAPE CHARLES, VA
VIRGINIA STATE PLANE COORDINATE SYSTEM (SOUTH ZONE NAD 83 (2011))
US SURVEY FOOT

VERTICAL DATUM
TOWN OF CAPE CHARLES, VA
NAVD83

VERTICAL DATA ESTABLISHED ON SITE NA
-GPS DATA TIED TO THE VIRGINIA SOUTH NAD83 AND NOT TIED TO SPECIFIC SIGNS

FLOOD INFORMATION INDICATED HEREIN SHOULD NOT BE CONSIDERED AS A RECOMMENDATION OF THE NEED OR LACK OF NEED FOR FLOOD INSURANCE. PROPERTY OWNERS SHOULD CONTACT A LOCAL FLOOD SPECIAL FOR MORE INFORMATION.

F = 1% CHANCE OF ANNUAL FLOOD WITH STREAM BARRIERS
X = 1% CHANCE OF ANNUAL FLOOD
X-SHADED = 0.5% CHANCE OF ANNUAL FLOOD
X = MINIMAL FLOOD HAZARD AREA

TYP. SITE APPEARS TO BE IN FLOOD ZONE(S)
AS SHOWN ON F.I.R.M. MAP SHEET # 11010200P

PARCEL LINE: 03/02/2015
MFP COMMUNITY NAME: TOWN OF CAPE CHARLES
MFP COMMUNITY NUMBER: 510106
FINN INDEX DATE: 03/02/2015

PROPERTY OWNER(S)
TAX ID: 03A12-11-0
OWNERS: FRANCIS PALMA & DEBORAH F. PALMA
DEED INSTRUMENT: 03001967
DAED: 11/07/2012
RECORDED: 11/08/2012
LOCATION: CLERK'S OFFICE OF NORTHAMPTON COUNTY
MAILING ADDRESS: 140 RESIDENCY OF LINDSEYDALE, VA 23041

MS-10 DOES NOT APPLY AS TO THE ZONING SEPARATION OF THE SITE. FOR SEPARATE ZONING INFORMATION, PLEASE CONTACT THE ZONING DEPARTMENT AT THE NUMBER LISTED BELOW.

ZONING
SOURCE: TOWN OF CAPE CHARLES ZONING ORDINANCE
ZONING DEPT. PHONE # (804) 676-6442 ZONE: R4
FRONT SETBACK: 20' REAR SETBACK: 20'
SIDE SETBACK (INTERIOR): 0' SIDE SETBACK (CORNER): 0'

UNDERGROUND UTILITIES
ALL UTILITIES MAY NOT BE SHOWN
MIS. UTILITY TOSET # 4010228620A
DATE: 03/02/2015

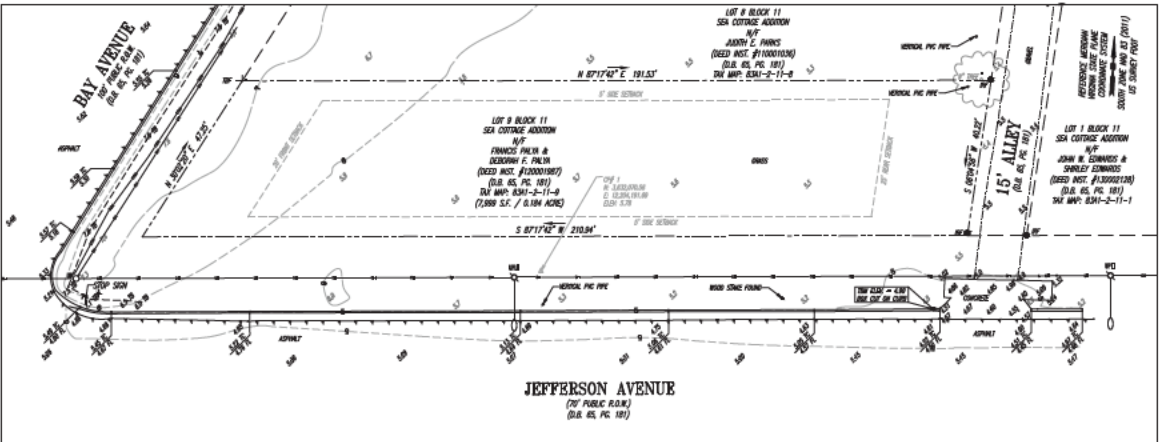
GENERAL SURVEY NOTES:

- THIS SURVEY WAS PRODUCED BY METRANIC SURVEYING AND LAND DESIGN, INC. FOR SHORELINE HOMES.
- THIS SURVEY WAS PRODUCED WITHOUT BENEFIT OF A TITLE REPORT. ALL DISCREPANCIES, SERVICES AND RESTRICTIONS MAY NOT BE SHOWN.
- THE PROPERTY LINES SHOWN HEREIN ARE NOT BASED ON A CURRENT FIELD BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREIN ARE BASED ON COMPARISON OF RECORDS AND PLATS OF RECORD.
- THIS SURVEY IS NOT INTENDED TO SHOW ALL UNDERGROUND UTILITY FEATURES. IT IS THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO CONTACT MISS VILLEY BEFORE ANY EXCAVATION OR OTHER EARTH MOVING WORK.
- THIS SITE IS NOT LOCATED IN THE AREA OF THE CHESAPEAKE BAY PRESERVATION AREA FOR NORTH HAMPTON COUNTY WETLANDS SUPPORT. THE SITE IS LOCATED IN THE CHESAPEAKE BAY PRESERVATION AREA AND IS SUBJECT TO THE PROVISIONS OF THE CHESAPEAKE BAY PRESERVATION ACT.

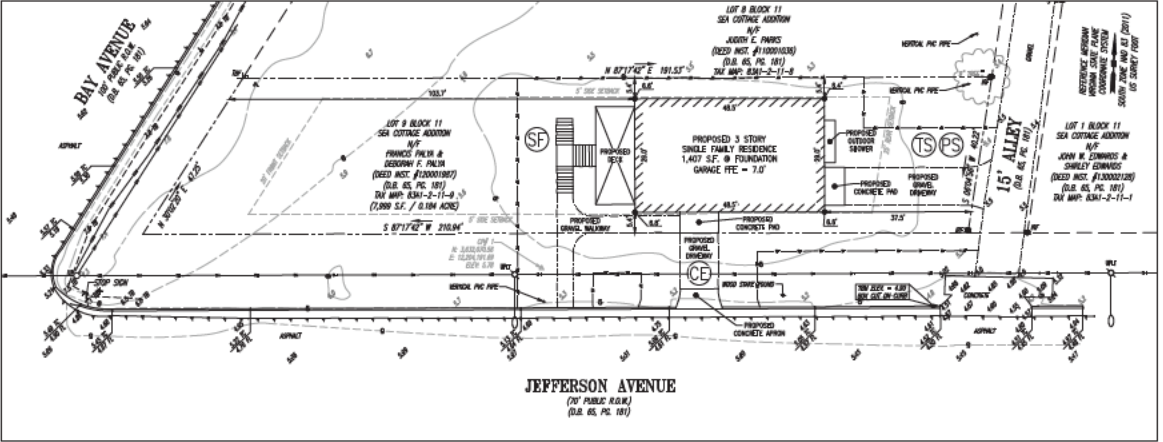
TOPOGRAPHIC SURVEY CERTIFICATION
THIS SURVEY WAS COMPLETED UNDER THE BEST AND REASONABLE CARE OF OLIVER S. H. JR. FROM AN ACTUAL, GROUND-BY-RENDERING SURVEY MADE UNDER THE SUPERVISION THAT THE SURVEY AND/OR ORIGINAL DATA WAS OBTAINED ON 11-08-2024, AND THAT THE FIELD MAP OR INSTRUMENT DATA INCLUDING METRANIC MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.
DATE: 02-02-2025
OLIVER S. H. JR., LICENSED L.S. PROFESSIONAL SURVEYOR

MERIDIAN COVER
AREA OF LOT = 7,089 S.F. / 0.164 ACRES
EXISTING IMPROVEMENT COVER:
SURVEY = 0 S.F.
WALLS = 0 S.F.
HOUSE = 0 S.F.
PORCHES = 0 S.F.
TOTAL = 0 S.F.
PROPOSED IMPROVEMENT COVER:
SHED (FOOTPRINT 4' X 60') = 240 S.F. (50% OF 481 S.F.)
CEILING = 130 S.F.
HOUSE = 1,407 S.F.
PORCHES/DECK = 341 S.F.
TOTAL = 2,118 S.F.
PERCENT PROPOSED IMPROVEMENT COVER: 2,118 S.F./7,089 S.F. X 100 = 29.8%

EXISTING CONDITIONS



PROPOSED CONDITIONS



- CHESAPEAKE BAY PRESERVATION AREA**
- ABBREVIATIONS**
- | | |
|-----------------------------------|-----------------------------------|
| APPROXIMATELY | APPROX |
| BUILDING | BLOC |
| CONCRETE | CONCR |
| SHOWN ACCORDING TO RECORDS | CONR |
| DATE | DATE |
| DEED BOOK | DEED |
| DEVELOPER'S PARCEL | DEVP |
| IDENTIFICATION NUMBER | IDEN |
| GEOSPATIAL INFORMATION SYSTEM | GIS |
| HIGH ACCURACY | HACC |
| INTERFERE NETWORK | INTNET |
| INCHMENT | INCH |
| INSET | INSET |
| M.P. BOOK | M.P. BOOK |
| M.A. FOUND | M.A. FOUND |
| NEW OR FORMERLY | NEW OR FORMERLY |
| P.C. FILE | P.C. FILE |
| P.N. PARCEL IDENTIFICATION NUMBER | P.N. PARCEL IDENTIFICATION NUMBER |
| S.F. SQUARE FEET | S.F. SQUARE FEET |
| TYPICAL | TYPICAL |
- COMMUNICATIONS**
- | | |
|-------------------------|-------|
| CONNECTIONS HAND HOLE | CONH |
| CONNECTIONS FEDERAL | CONF |
| CONNECTIONS WIRELESS | CONW |
| CONNECTIONS UNDERGROUND | CONUG |
- CONTROL**
- | | |
|---------------|----|
| CENTRILINE | CL |
| FACE OF CURB | FC |
| FLUMLINE | FL |
| TOP OF BANK | TB |
| TOP OF CURB | TC |
| TOP OF SURVEY | TS |
- FENCES**
- | | |
|--------------|--------------|
| FENCE: METAL | FENCE: METAL |
| FENCE: WOOD | FENCE: WOOD |
| FENCE: WIRE | FENCE: WIRE |
- GAS**
- | | |
|-----------------------|----|
| GAS METER | GM |
| GAS VALVE | GV |
| GAS UNDERGROUND PIPES | GU |
- POWER**
- | | |
|--------------------------------|------|
| POWER: LIGHT POLE | PL |
| POWER: LIGHT POLE: SINGLE ARM | PLSA |
| POWER: LIGHT POLE: SINGLE BOX | PLSB |
| POWER: TRANSFORMER | TR |
| POWER: ELECTRIC PEDESTAL | PE |
| POWER: GUY WIRE | GW |
| POWER: UTILITY POLE | UP |
| POWER: UTILITY POLE WITH LIGHT | UPL |
| POWER: OVERHEAD WIRE | OW |
| POWER: UNDERGROUND | UG |
- PROPERTY**
- | | |
|-----------------------------|-------------------------|
| PROPERTY: DRILL HOLE FOUND | DHF |
| PROPERTY: DRILL HOLE SET | DHS |
| PROPERTY: IRON ROD FOUND | IRF |
| PROPERTY: IRON ROD SET | IRS |
| PROPERTY: NAIL FOUND | NF |
| PROPERTY: NAIL FOUND | NFF |
| PROPERTY: PACKED PIPE FOUND | PPF |
| PROPERTY: PACKED PIPE FOUND | PPFF |
| PROPERTY: VICE ANCHOR | VAF |
| PROPERTY: BOUNDARY | PROP: BOUNDARY |
| PROPERTY: ADJACENT BOUNDARY | PROP: ADJACENT BOUNDARY |
| PROPERTY: EASEMENT | PROP: EASEMENT |
- SANITARY**
- | | |
|----------------------|------|
| SANITARY: MANHOLE | SMH |
| SANITARY: CLEANOUT | SCN |
| SANITARY: PIPES | SNIP |
| SANITARY: FORCE MAIN | SFM |
- SITE**
- | | |
|---------|------|
| SEW | SEW |
| BOLLARD | BOLL |
- STORM**
- | | |
|--------------------|------|
| STORM: MANHOLE | SMH |
| STORM: CURB DRAIN | SCD |
| STORM: CATCH BASIN | SCB |
| STORM: ROOF DRAIN | SRD |
| STORM: PIPES | SNIP |
- TRAFFIC**
- | | |
|-----------------|-----|
| THREAT: BOX | THB |
| THREAT: FURNACE | THF |
| THREAT: MANHOLE | THM |
- WATER**
- | | |
|-----------------------------------|------|
| WATER: VALVE | WV |
| WATER: METER | WM |
| WATER: FIRE METER | WFM |
| WATER: FIRE METER | WFM |
| WATER: FIRE METER | WFM |
| WATER: SPOUT | WS |
| WATER: FIRE DEPARTMENT CONNECTION | WFC |
| WATER: POST INDICATOR VALVE | WPIV |
| WATER: UNDERGROUND PIPES | WUG |

MAS-LD
METRANIC SURVEYING AND LAND DESIGN, INC.
1507 Chesapeake Avenue, Suite 105, 23041
Virginia Beach, VA 23041
757-635-0900
WWW.MAS-LD.COM
ADMIN@MAS-LD.COM

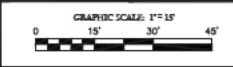
RESIDENTIAL SITE PLAN
OF
LOT 9 BLOCK 11 SEA COTTAGE ADDITION
(D.B. 65, PG. 181)
FOR
SHORELINE HOMES
GATED COMMUNITY

PRELIMINARY
DATE: 02/02/2025
BY: [Signature]

PROJECT #	11054
SHEET #	1 of 1
DATE	02/02/2025
DESIGNED BY	OLIVER S. H. JR.
CHECKED BY	OLIVER S. H. JR.

REVISIONS

NO.	DATE	COMMENTS









LAYOUT PAGE TABLE

Label	Title
G.1	COVER SHEET
A.1	HOUSE LOCAT ON ON LOT
A.2	LOWER LEVEL GARAGE & 2ND LEVEL BEDROOM FLOOR PLAN
A.3	UPPER LEVEL MAINTENANCE AREA & FOOTING FOUND. DETAIL
A.4	FRONT & REAR ELEVATIONS
A.5	RIGHT & LEFT ELEVATIONS

PALYA RESIDENCE



3D VIEWS ARE NOT TO SCALE AND MAY NOT REFLECT EXACTLY WHAT IS SHOWN IN THE ARCHITECTURAL DRAWINGS. 3D VIEWS ARE REPRESENTATIVE ONLY OF WHAT THE VIEWS COULD LOOK LIKE, NOT WHAT THEY WILL LOOK LIKE. 3D VIEWS ALWAYS SUPERSEDE 2D VIEWS.

Elite Home Design STUDIO, LLC
 610 Roslyn Rd.,
 Newport News, VA, 23601-1810
 PHONE (757) 791-1143
 EMAIL Doug@EHDStudios.com

REMODELING PLANS FOR:
PALYA RESIDENCE
 500 Bay Ave.
 Cape3 Charles, Va, 23310

PAGE TITLE:
COVER SHEET

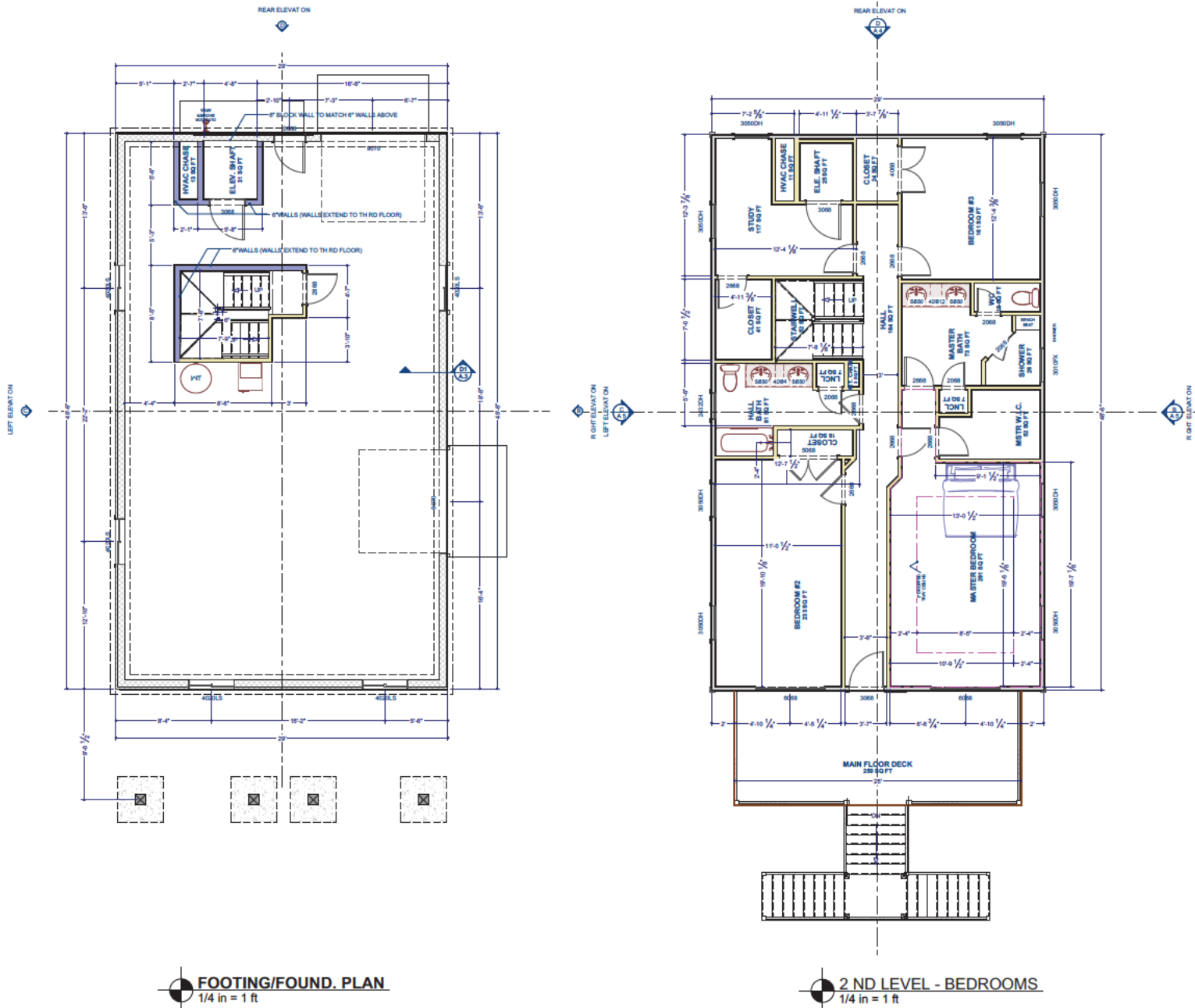
DRAWN BY:
D. Moore

DATE:
2/2/2026

SCALE:
As-Noted

SHEET #:
G.1

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FOOTING/FOUND. PLAN
1/4 in = 1 ft

2 ND LEVEL - BEDROOMS
1/4 in = 1 ft

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610 Roslyn Rd., Newport News, VA, 23601-1810
PHONE (757) 797-1143
EMAIL Doug@EHDStudios.com

REMODELING PLANS FOR:
PALYA RESIDENCE
500 Bay Ave.
Cape Charles, Va, 23310

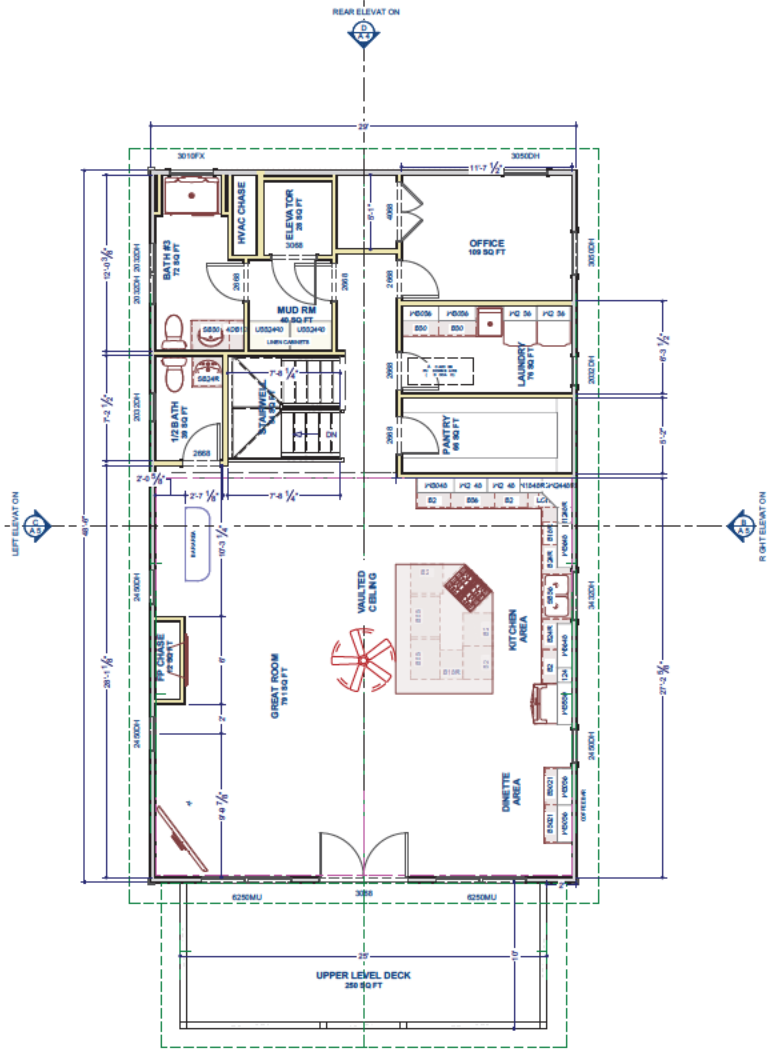
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LOWER LEVEL - GARAGE & 2ND LEVEL - BEDROOM FLOOR PLAN

DRAWN BY:
D. Moore

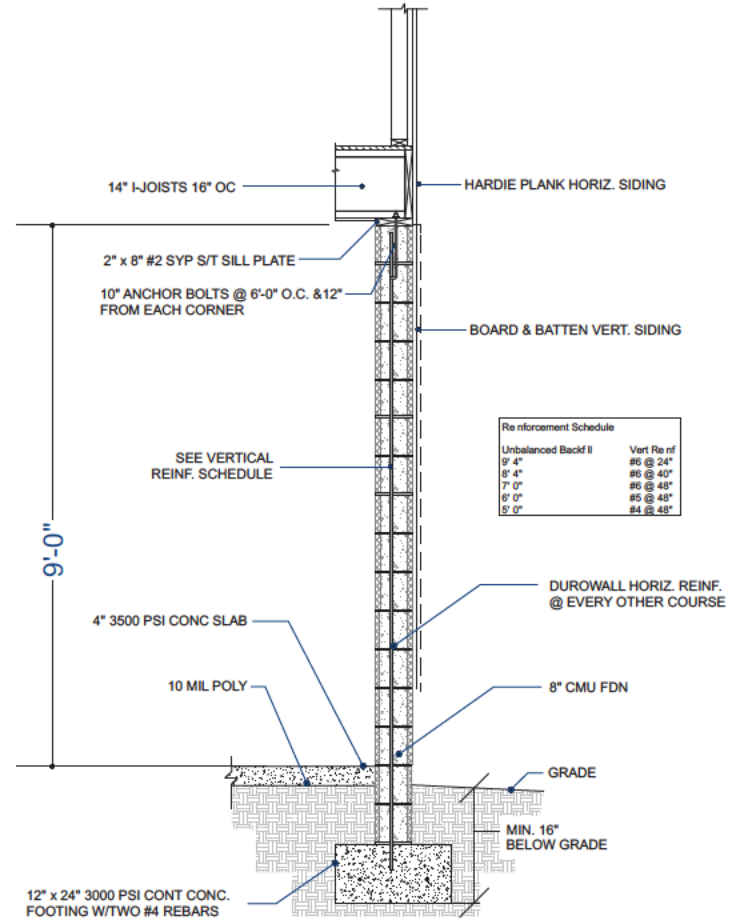
DATE:
2/2/2026

SCALE:
As-Noted

SHEET #:
A.2



UPPER LEVEL - LIVING
1/4 in = 1 ft



D1 FOOTING/FOUND. DETAIL
1/2 in = 1 ft

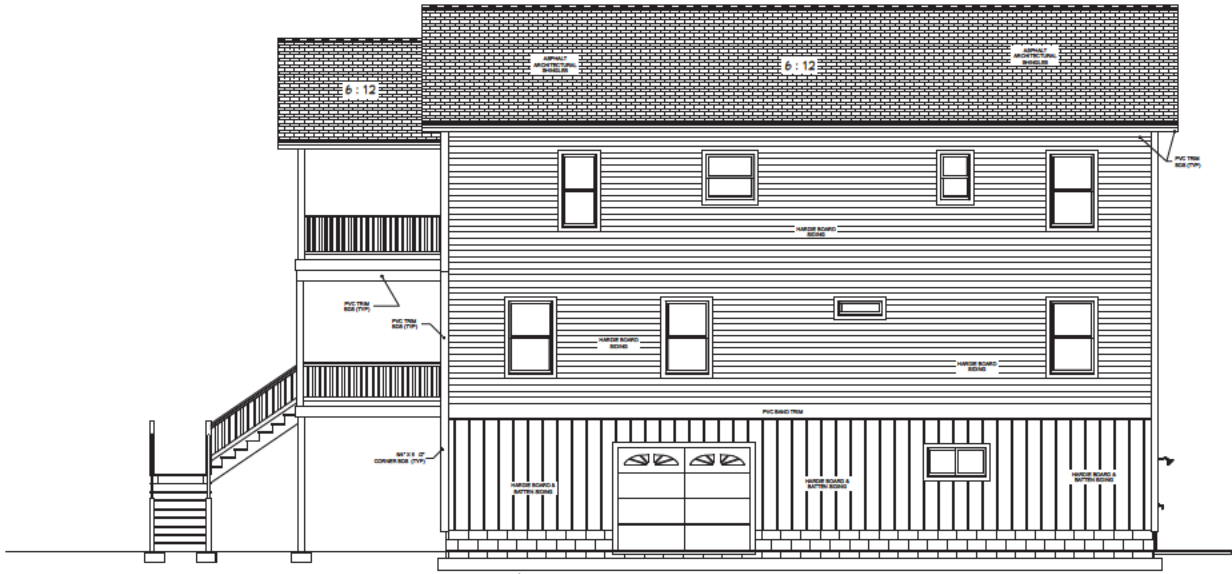
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EMAIL Doug@EHD.com

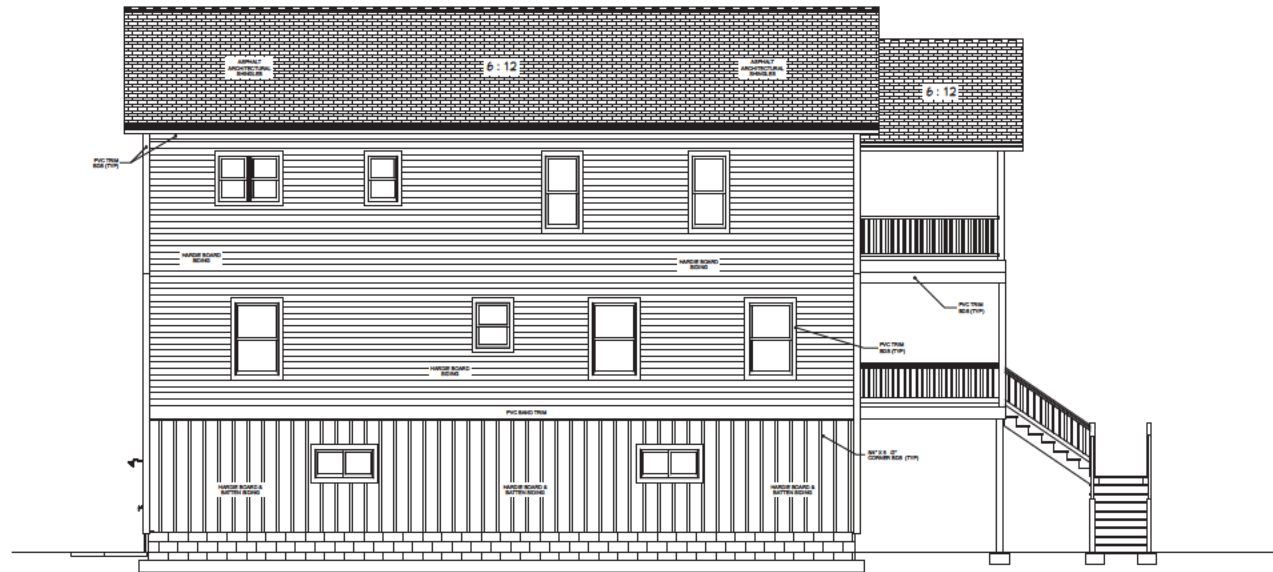
REMODELING PLANS FOR:
PALYA RESIDENCE
500 Bay Ave.
Cape Charles, Va, 23310

PAGE TITLE:
UPPER LEVEL - MAIN LIVING AREA & FOOTING/FOUND. DETAIL

DRAWN BY:
D. Moore
DATE:
2/2/2026
SCALE:
As-Noted
SHEET #:
A.3



RIGHT ELEVATION
1/4 in = 1 ft



LEFT ELEVATION
1/4 in = 1 ft

3D VIEWS ARE NOT TO SCALE AND MAY NOT REFLECT EXACTLY WHAT IS AVAILABLE FOR THE PROJECT. RENDER VIEWS ARE REPRESENTATIONS OF WHAT THE VIEW COULD LOOK LIKE, NOT WHAT IT WILL LOOK LIKE. RENDER VIEWS ALWAYS SUPERCEDE 2D VIEWS.

Elite Home Design
STUDIO, LLC
610 Roslyn Rd.,
Newport News, VA, 23601-1810
PHONE (757) 779 1143
EMAIL Doug@EHD LLC

REMODELING PLANS FOR:
PALYA RESIDENCE
500 Bay Ave.
Cape3 Charles, Va, 23310

PAGE TITLE:
RIGHT & LEFT ELEVATIONS

DRAWN BY:
D. Moore
DATE:
2/2/2026
SCALE:
As-Noted
SHEET #:
A.5

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SHORELINE

H O M E S

500 Bay Avenue Proposed Material List:

Roofing/Shingles:

Brand/Type: GAF Timberline HDZ series Charcoal color 3-tab shingles.

Location: All Roofs on new home and porches.

Reference Image:



SHORELINE

H O M E S

Siding:

Brand/Type: James Hardie or cement board in Blue Note or Robins Egg color fiber cement board, with pvc trim 5/4 trim board and siding.

Location: All siding surfaces on the home on first and second floor, excluding ground floor. Ground Floor to be board and batten.

Hardie Plank Reference Image:



Dimensions			
Actual Length (Inches)	154	Actual Width (Inches)	8.25
Actual Thickness (Inches)	0.312	Coverage Area (Sq. Feet)	8.25

Board and Batten Reference Image:



Batten Specifications: 3 1/2" wide by 12' tall



SHORELINE H O M E S

Doors:

Brand/Type: Therma true Fiberglass exterior Doors

Location: On front first floor entrance to be glass designed and on ground floor to be standard six panel. Front door will be a 3/4" frosted front door. French Door to be on third floor as no grid pattern to match window pattern.

Reference Image:

Front Door with 2 panel sidelight

Back Door

Top Floor Door



Actual Depth (Inches)	4.5625	Common Width (Inches)	36
Actual Height (Inches)	81.5	Jamb Width (Inches)	4.5625

Garage Door:

Type: Steel 7'x9' Steel Garage Door with arched windows on top.



SHORELINE

H O M E S

Patio Doors:

Brand/Type: Therma true Fiberglass exterior patio doors

Location: On front first floor entrance to both sides of the front door. Both are 6'x6'8".

Reference:



SHORELINE

H O M E S

Windows:

Brand/Type: Anderson 100 series Vinyl Double Hung Windows, with 1x4 trim and 1 3/4" sills.

Location: On all windows on exterior of home.

Function: Double Hung, no grids

Sizes: Varies on opening per plan for new home, but sizes can be up to 4-feet wide and 7.6-feet high with custom sizes available in 1/8" increments so you can fill almost any space with fresh air and natural light. Check out The Essentials under the Tech Specs tab for sizing document links.

Double Hung, Fixed, and Left-Sliding Reference Image:



Window Type & Size Scheduling:

Total Double Hung 1/1 Vinyl No-Mullion Windows: 21

- 3050DH(36"x60"): 10
- 2432DH(24"x38"): 1
- 2450DH(28"x60"): 3
- 2032DH(24"x38"): 4
- 3442DH(40"x38"): 1

6250MU(2 double hung mullion'd together)(74"x60"): 2

Total Fixed 1/1 Vinyl No Mullion Windows: 2

- 3018FX(36"x20"): 1
- 3010FX(36"x12"): 1

Total Left Sliding 1/1 Vinyl No Mullion Windows: 5

4020LS(48"x24"): 5



SHORELINE

H O M E S

Deck Boards:

Brand/Type: Trex Enhance Saddle Decking

Location: On all deck surfaces on the front and rear of the home.

Reference Image:



SHORELINE

H O M E S



Dimensions			
Actual Length (Feet)	8	Common Length Measurement	8-ft
Actual Thickness (Inches)	0.94	Common Measurement (T x W)	1-in x 6-in
Actual Width (Inches)	5.5	Square Footage Per Piece (Sq. Feet)	3.66

Stairs – Exterior:

Brand/Type: Trex Enhance Saddle Decking Composite Treads Squared and picture framed off with White PVC smooth board risers.

Location: On all stairways around the exterior of the home.

Reference Image:



SHORELINE

H O M E S



Fascia and Soffit:

Brand/Type: Versatek or equivalent PVC vented soffit and fascia boards.

Location: On all fascia and soffit areas around the exterior of the home.

Dimensions:

Fascia: 1"x6"x12"



SHORELINE

H O M E S

Soffit: 1"x12"x12"
Reference Image:



Railing – Exterior:

Brand/Style:

Posts: Generic P.T. 6x6 Posts with square finish, wrapped in pvc wraps.



SHORELINE

H O M E S

Material/Finish: PVC/Composite.

Railing: Composite Railing

Material/Finish: Composite Railing

Balusters: To be composite balusters within composite railing

Material/Finish: Composite

Location: On porch areas in front and side of home.

Reference Image:



Exterior Lighting:

Brand/Style: Dark sky program friendly recessed lights within the porch and deck area, and exterior wall sconces that are dark sky program friendly, namely Kichler’s Prin exterior sconces or the pellinord exterior wall lights.

Reference Image:



SHORELINE

H O M E S



Foundation Skirt/Brick:

Brand/Style: Generic grey smooth Concrete Parge across top of CMU blocking.

Location: Throughout the skirt of the foundation of the home. Ground floor to be white hardee cement board.

Reference Image:



SHORELINE

H O M E S



Trim – Exterior:

Brand/Style: 5/4 White Woodgrain PVC 6" Trim boards and PVC boards for soffit and fascia.

Location: On exterior Trim throughout home.



SHORELINE

H O M E S

Reference Image:



Dimensions			
Actual Length (Feet)	10	Actual Width (Inches)	5.5
Actual Thickness (Inches)	1	Common Measurement (T x W)	5/4-in x 6-in



Porch Ceiling

Brand/Style: Reliabuilt 1x6x8 Tongue and Groove Vinyl Beadboard.

Location: On exterior porch ceilings throughout the home.

Reference Image:



SHORELINE

H O M E S

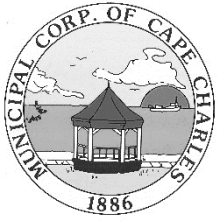


Dimensions			
Actual Length (Feet)	8	Actual Width Measurement	5-1/2-in
Actual Length Measurement	8-ft	Coverage Area (Sq. Feet)	3.67
Actual Thickness (Inches)	0.50	Variable Length	No
Actual Thickness Measurement	1/2-in	Variable Thickness	No
Actual Width (Inches)	5.50		



File Attachments for Item:

A. Report from Zoning Administrator



HISTORIC DISTRICT REVIEW BOARD STAFF REPORT

Meeting Date: March 17, 2026

Item: Report from Zoning Administrator Katie Nunez

Prepared by: Katie H. Nunez, Director of Planning & Zoning Administrator

Date: March 9, 2026

1) MINOR EXEMPTIONS APPROVED BY ZONING ADMINISTRATOR:

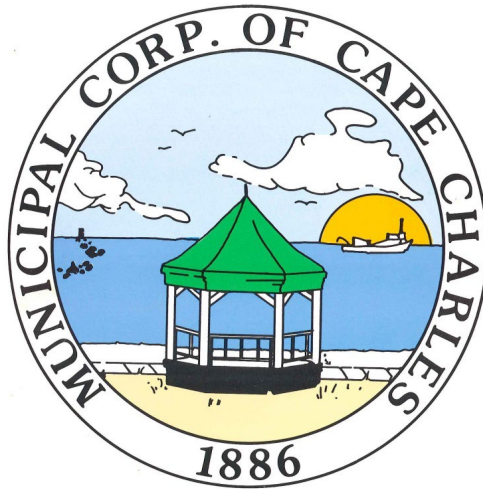
- a. 509 Harbor Avenue – installing fencing, pursuant to CCTC Section 32-227 (8)
- b. 534 Jefferson Avenue – installing accessory structure, pursuant to CCTC Section 32-227 (8)
- c. 603 Jefferson Avenue – replacing the existing awning, pursuant to CCZO CCTC Section 32-227 (8)
- d. 11 Peach Street – replacing the existing roof, pursuant to CCZO CCTC Section 32-227 (2)
- e. 615 Strawberry Street – installing a driveway, pursuant to CCZO Section 32-227 (5)
- f. 2140 Stone Road – replacing the existing roof, pursuant to CCZO CCTC Section 32-227 (2)

2) COMPLIANCE CHECKS BY ZONING COMPLIANCE OFFICER ON ISSUED CERTIFICATES OF APPROPRIATENESS (COA): None.

3) NOTICES OF VIOLATIONS ISSUED ON BEHALF OF THE HDRB: None.

File Attachments for Item:

B. 2025 Annual Report



Town of Cape Charles
Historic District Review Board

2025 Annual Report

(January 1, 2025 - December 31, 2025)

Kathy Glaser
Chairwoman

Elizabeth Wright
Vice Chairman

2025 Historic Review Board Members

NAME	REPRESENTATION	Term Expiration	NOTES
Kathy Glaser	Member Chairwoman	1/8/2026	
Martin Mayer	Member	1/8/2025	Term Ended
Patricia James	Member	1/8/2027	Resigned 10/2025, position still vacant
Elizabeth Wright	PC Rep Vice-Chairwoman	10/31/2027	Appointed by PC 2/6/2024
Joan Cooper	Member	1/8/2028	Appointed 12/19/2024
Kenneth Monarch	Member	1/8/2029	Appointed 1/8/2025 – filled Martin Mayer’s vacancy

2025 Staff

Katie Nunez, Director of Planning & Zoning Administrator & Subdivision Agent
Tracy Outten, Planning/Zoning Assistant, Preservation & Zoning Administrator
Jack Steinmayer, Zoning Compliance Officer & Planning & Zoning Administrative Assistant

I. Introduction

Section 2.2-3700 of the Code of Virginia states that all public body or bodies shall keep a full public record of its proceedings, and the Historic Area Review Board qualifies. As part of that requirement, the Historic Area Review Board will also prepare and submit a report of its activities to the governing body (Town Council) at least once a year.

The “Town Council-prepared” Annual Report is meant to provide a detailed report on the departmental staffing, ongoing education of both staff and Board members, and breakdown of the types of applications and activities occurring in the Historic District.

Additionally, the Town was designated as a Certified Local Government (CLG) Community on March 12, 2007, pursuant to the National Historic Preservation Act of 1960 and further amended in 1980. This designation establishes a partnership between the Town, the National Parks Service and the Virginia Department of Historic Resources (DHR). A requirement of this designation is for the Town to complete an annual survey or report on forms provided by DHR. The intent of this survey is to verify activity level within the Historic District, compliance of Board appointments with the minimum criteria of background/education of said Board members, continuing education compliance for Board members and staff, update on any zoning ordinance revisions or historic district guidance documents and an audit of Historic District Review Board minutes.

The CLG Annual Report was done for the time period of October 1, 2024 thru September 30, 2025 (EXHIBIT A).

II. Board and Staff Updates

A. BOARD MEMBERSHIP 2025:

Member Martin Mayer’s term ended on 1/8/2025, and he no longer wanted to serve on the Historic District Review Board. The Town Council appointed two new members to the Historic District Review Board, Joan Cooper on 12/19/2024 and Kenneth Monarch on 1/8/2025. Patricia James resigned from the Board in October 2025. This appointment is still vacant.

B. STAFF CHANGES 2025:

No staff changes occurred in the Planning and Zoning Department this year.

III. EDUCATION

The CLG designation requires that continuing education must occur annually for both the staff and Board members, which is relevant to the Historic District Overlay. To that end, the following training, education and seminars were attended as noted:

<u>Name of Class/ Training/ Seminar</u>	<u>Duration of Training</u>	<u>Provider of Training</u>	<u>DATE</u>	<u>Participants</u>
Historic Resource Surveys: Unlocking the Foundation of Preservation - Webinar	1.5 hours	NAPC	1/30/2025	Tracy Outten
Deconstruction vs Demolition: Protecting Heritage & the Environment – Webinar	1.5 hours	NAPC	3/27/2025	Tracy Outten Joan Cooper Kathy Glaser Elizabeth Wright
Through the Pane Pt. 1: Understanding Historic Windows: Evolution, Assessment & Repair – Webinar	1.5 hours	NAPC	4/17/2025	Katie Nunez Tracy Outten
Through the Pane Pt. 2: Managing Window Replacement: Lessons from Local Preservation Programs – Webinar	1.5 hours	NAPC	4/29/2025	Katie Nunez
Engaging Local Decision-Makers to Support Historic Preservation – Webinar	1.5 hours	NAPC	5/29/2025	Tracy Outten Joan Cooper
Creating & Updating Historic Design Guidelines – Webinar	1.5 hours	NAPC	6/26/2025	Tracy Outten Kenneth Monarch
1. Understanding & Updating Local Preservation Ordinances – Webinar 2. Tough Cases in the Application of the Secretary of the Interior’s Standards for Rehabilitation – Webinar 3. Selecting your Preservation Priorities? What is Essential & Where can you be more Flexible? – Webinar	4.75 hours	NAPC	8/20/2025	Katie Nunez Tracy Outten Kathy Glaser Patricia James Elizabeth Wright
1. Best Practices for Meeting Procedures, COAs & Staff Reports – Webinar 2. Conservation Districts, Easements, Zoning & Other Tools for Historic Preservation – Webinar 3. Community Outreach Strategies – Webinar	4.5	NAPC	8/21/2025	Katie Nunez Tracy Outten Kathy Glaser Patricia James Elizabeth Wright

<ol style="list-style-type: none"> 1. Best Practices for Meeting Procedures, COAs & Staff Reports – Webinar 2. Conservation Districts, Easements, Zoning & Other Tools for Historic Preservation – Webinar 	3.0	NAPC	8/21/2025	Joan Cooper
<ol style="list-style-type: none"> 1. Selecting your Preservation Priorities? What is Essential & Where can you be more Flexible – On-Demand Webinar 2. Best Practices for Meeting Procedures, COAs & Staff Reports – On-Demand Webinar 3. Conservation Districts, Easements, Zoning & Other Tools for Historic Preservation – On-Demand Webinar 	4.5	NAPC	8/22/2025	Kenneth Monarch
Integrating Preservation into Municipal and Planning Processes	1.5	NAPC	10/30/2025	Tracy Outten Kenneth Monarch
Design Review Roundtable – Additions	1.5	NAPC	11/13/2025	Tracy Outten

IV. MEETINGS

HISTORIC DISTRICT REVIEW BOARD MEETING 2025

	<u>2025 Attendance Record</u>									
	P = Present			A = Absent				V = Vacant		
	1/31/2025	2/18/2025	3/18/2025	4/15/2025	5/20/2025	6/17/2025	7/15/2025	9/16/2025	10/15/2025	12/16/2025
Joan Cooper	P	P	P	A	P	P	P	P	P	P
Kathy Glaser	P	P	A	P	P	P	P	A	P	P
Patricia James	A	P	P	P	A	P	P	P	V	V
Ken Monarch	P	P	P	P	P	P	P	P	P	A
Elizabeth Wright	P	P	P	P	P	A	P	A	P	P

The Historic District Review Board reviewed and reached decisions on individual property applications for some level of renovation or rehabilitation or other improvements to their property as well as application for new single-family residences on the infill lots. The types of applications received and acted upon by the HDRB are broken out below and finally followed by a summary table for the calendar year.

The last table for the calendar year is the listing of applications that could and were reviewed administratively by the Zoning Administrator.

PUBLIC HEARINGS AND DECISIONS HISTORIC DISTRICT AREA REVIEW BOARD 2025			
TYPE OF APPLICATION	MEETING DATE	PROPERTY ADDRESS	HDRB DECISION
<u>FENCE INSTALLATION</u>	2/18/2025	113 Mason Avenue	Approved
	5/20/2025	201 Tazewell Avenue	Approved

TYPE OF APPLICATION	MEETING DATE	PROPERTY ADDRESS	HDRB DECISION
<u>RENOVATION, MINOR</u>	NO Applications Filed in 2025		

TYPE OF APPLICATION	MEETING DATE	PROPERTY ADDRESS	HDRB DECISION
<u>MODIFICATION OF APPROVED CERTIFICATE OF APPROPRIATENESS (COA)</u>	NO Applications Filed in 2025		

TYPE OF APPLICATION	MEETING DATE	PROPERTY ADDRESS	HDRB DECISION
RENOVATIONS, ADDITIONS & NEW CONSTRUCTIONS	1/31/2025	215 Monroe Avenue	Approved
	2/18/2025	603 Monroe Avenue	Approved
	3/18/2025	1 Monroe Avenue 1 Monroe Avenue 208 Bay Avenue 509 Harbor Avenue 509 Madison Avenue	Approved (renovations) Denied (staining masonry) Approved Approved After the Fact Approval
	4/15/2025	505 Harbor Avenue 502 Plum Street 314 Tazewell Avenue Lot 547 on Mason Avenue	Approved Approved Approved Approved
	5/20/2025	201 Tazewell Avenue 201 Mason Avenue Unit B	Approved Approved
	6/17/2025	209 Monroe Avenue 601 Tazewell Avenue 425 Randolph Avenue Lot 104 on Washington Avenue	Denied Approved Approved Approved
	7/15/2025	115 Mason Avenue 629 Jefferson Avenue 607 Madison Avenue	Approved Approved Approved
	9/16/2025	108 Monroe Avenue 552 Monroe Avenue 216 Washington Avenue 116 Pine Street Lot 20 on Washington Avenue	Approved Approved Approved Approved Approved
	10/15/2025	439 Mason Avenue 115 Unit 202 Mason Avenue 550 Madison Avenue 537 Mason Avenue 600 Monroe Avenue 114 Fig Street Lot F on Strawberry Street	Approved Approved Approved Approved Approved Approved Approved
	12/16/2025	618 Monroe Avenue	Approved

TYPE OF APPLICATION	MEETING DATE	PROPERTY ADDRESS	HDRB DECISION
OTHER	3/18/2025	Lot X on Mason Avenue	Approved

SUMMARY of HDRB MEETINGS FOR 2025					
MEETING DATE	Fence Installation	Renovation, Minor	Modification to Approved COA	Renovations, Additions & New Construction	Other
1/31/2025	-	-	-	1	-
2/18/2025	1	-	-	1	-
3/18/2025	-	-	-	5	1
4/15/2025	-	-	-	4	-
5/20/2025	1	-	-	2	-
6/17/2025	-	-	-	4	-
7/15/2025	-	-	-	3	-
9/16/2025	-	-	-	5	-
10/15/2025	-	-	-	7	-
12/16/2025	-	-	-	1	-
TOTAL APPROVED	2	-	-	30	1
APPROVED AFTER THE FACT	-	-	-	1	-
DENIED	-	-	-	2	-
HDRB TOTAL APPLICATION	2	0	0	33	1
HDRB OVERALL TOTAL APPLICATION 2025	36 Applications				

ADMINISTRATIVE APPROVAL 2025		
MEETING DATE	PROPERTY ADDRESS	TYPE OF APPLICATION
1/31/2025	504 Bay Avenue 627 Jefferson Avenue 214 Washington Avenue	Roof Replacement Roof and Siding Replacement Pergola Installation
2/18/2025	555 Monroe Avenue 332 Randolph Avenue	One Wood Windowsill Repair or Replacement Siding and Gutter Removal, Repair, and Replacement
3/18/2025	504 Jefferson Avenue 534 Jefferson Avenue 512 Monroe Avenue 603 Monroe Avenue 217 Randolph Avenue 219 Randolph Avenue 550 Randolph Avenue 111 Tazewell Avenue 621 Tazewell Avenue 645 Tazewell Avenue	Wood Fence Installation Wood Fence Installation Construct a new Rear Addition Existing Accessory Structure size increase Roof Replacement and Chimney Flashing Replacement Construct a new Rear Addition Roof Replacement Same material Front Walkway and Step Replacement Accessory Structure Installation Widows Walk Wood Railing and Rear Balcony Wood Flooring and Balustrades Replacement

ADMINISTRATIVE APPROVAL 2025

MEETING DATE	PROPERTY ADDRESS	TYPE OF APPLICATION
4/15/2025	537 Jefferson Avenue 3 Madison Avenue 411 Madison Avenue 3 Randolph Avenue 234 Tazewell Avenue 415 & 417 Tazewell Avenue	Rear Wood Fence Installation Wood Fence Installation River Rock and Paver Installation Roof Replacement and Chimney Flashing Replacement Wood Fence Installation Existing Accessory Structure Renovation
5/20/2025	525 Jefferson Avenue 535 Jefferson Avenue 500 Monroe Avenue 217 Randolph Avenue 541 Randolph Avenue 814 Randolph Avenue 652 & 654 Tazewell Avenue	Same Material Front Porch and Side Stoop Replacement Rear Roof Replacement Front Porch Roof Replacement Two-Vinyl Window Replacement Existing Accessory Structure Removal and New Replacement Front Brick Paver Walkway Installation Wood Front Porch Flooring Repair or Replacement Wood Siding Repair or Replacement
6/17/2025	616 Monroe Avenue 520 Randolph Avenue 618 Randolph Avenue	Front Step Replacement Rear Outdoor Shower Installation Wood Fence Installation
7/15/2025	325 Madison Avenue 645 Tazewell Avenue 652 & 654 Tazewell Avenue	Existing Accessory Structure Renovation Front Porch, Steps, Fascia Board, and Chimney Repairs Same Material Wood Siding Replacement
9/16/2025	501 Jefferson Avenue 512 Madison Avenue 541 Madison Avenue 547 Mason Avenue 115 Randolph Avenue 409 Randolph Avenue	Roof Replacement Modifying an Approved CoA After the Fact removal of the side chimney & wall Fence Installation Install Railing on the front steps Front and Side Porch Wood Flooring Replacement
10/15/2025	2140 Stone Road 4 Tazewell Avenue	Accessory Structure Installation Wood Fence Installation
12/16/2025	208 Bay Avenue 555 Monroe Avenue 10 Randolph Avenue 634 Randolph Avenue 300 Strawberry Street 645 Tazewell Avenue	Approved COA Modification front walkway material Wood Fence Installation Fence Screening Install around HVAC unit Construct a rear deck and Accessory Structure After the Fact Driveway Right Rear Chimney Repair and Install Chimney Cap

TOTAL APPROVED = 48