

****PUBLIC NOTICE****



CITY COUNCIL WORKSHOP & REGULAR SESSION

Thursday, April 15, 2021 at 5:45 PM

City Hall | 3300 Corinth Parkway

Pursuant to section 551.127, Texas Government Code, one or more council members or employees may attend this meeting remotely using videoconferencing technology. The videoconferencing technology can be accessed at www.cityofcorinth.com/remotesession. The video and audio feed of the videoconferencing equipment can be viewed and heard by the public at the address posted above as the location of the meeting.

- A. NOTICE IS HEREBY GIVEN** of a Workshop and Regular Session of the Corinth City Council. The Regular Session is to be held immediately following the Workshop at Corinth City Hall, located at 3300 Corinth Parkway, Corinth, Texas.
- B. CALL TO ORDER, INVOCATION, PLEDGE OF ALLEGIANCE & TEXAS PLEDGE**
- C. WORKSHOP AGENDA**
1. Receive a report and hold a discussion on the agenda management system.
 2. Receive a report, hold a discussion, and provide direction on the Coronavirus (COVID-19) Readiness Response Plan.
 3. Receive a presentation and hold a discussion on the Fugro Street Assessment Report.
 4. Hold a discussion on the speed limits on certain streets within the City of Corinth.
 5. Receive a report and hold a discussion on ongoing projects within the city, including Capital Improvement Projects and projects being performed/designed by developers and TxDOT.
 6. Continue the discussion on policy governance from a presentation at the March 18, 2021, City Council meeting.
 7. Discuss Regular Meeting Items on Regular Session Agenda, including the consideration of closed session items as set forth in the Closed Session agenda items below.

D. CITIZENS COMMENTS

Please limit your comments to three minutes. Comments about any of the Council agenda items are appreciated by the Council and may be taken into consideration at this time or during that agenda item. Council is prohibited from acting on or discussing items brought before them at this time.

E. CONSENT AGENDA

All matters listed under the consent agenda are considered to be routine and will be enacted in one motion. Should the Mayor or a Councilmember desire discussion of any item, that item will be removed from the Consent Agenda and will be considered separately.

8. Consider and act on minutes from the February 18, 2021, emergency session.
9. Consider and act on minutes from the February 18, 2021, workshop session.

- [10.](#) Consider and act on minutes from the February 18, 2021, regular session.
- [11.](#) Consider and act on minutes from the March 2, 2021, Joint Workshop Session.
- [12.](#) Consider and act on the contract appointing Gilland Chenault as Presiding Municipal Judge for the City of Corinth Municipal Court of Record.
- [13.](#) Consider and act on an Ordinance of the City of Corinth amending Ordinance No. 20-09-24-31 adopting the fiscal year 2020-2021 City of Corinth Budget and Annual Program of Services to establish the Economic Development Foundation Fund to appropriate and transfer monies from the General Fund to the Economic Development Foundation in order to provide for the funding of the purchase of land and related closing costs; and providing an effective date.
- [14.](#) Consider and act on a Reimbursement Agreement between the City and Corinth Economic Development Foundation.

F. BUSINESS AGENDA

- [15.](#) Consider approval of Ordinance 21-04-15-12 altering the speed limits on certain streets within the City of Corinth; authorizing the City Manager to cause the erection of signs providing notice of the new speed limits.
- [16.](#) Consider approval of entering into a professional engineering design and surveying contract with Jones|Carter for the street and utility infrastructure surrounding the Agora Park and Transit Oriented Development in the amount of \$528,450.00; and authorizing the City Manager to execute any necessary documents.
- [17.](#) Consider and act on approval of a masterplan prepared by TBG Partners for designing and constructing the Commons at Agora.
- [18.](#) Consider and act on the appointment to the Board of Directors for the Upper Trinity Regional Water District.
- [19.](#) Consider and act on appointments to the Corinth Economic Development Foundation.
- [20.](#) Consider and act on a Resolution nominating one candidate to the slate of nominees for the Board of Managers of the Denco Area 9-1-1 District.

G. COUNCIL COMMENTS & FUTURE AGENDA ITEMS

The purpose of this section is to allow each Council Member the opportunity to provide general updates and/or comments to fellow Council Members, the public, and/or staff on any issues or future events. Also, in accordance with Section 30.085 of the Code of Ordinances, at this time, any Council Member may direct that an item be added as a business item to any future agenda.

H. CLOSED SESSION

The City Council will convene in such executive or closed session to consider any matters regarding any of the above agenda items as well as the following matters pursuant to Chapter 551 of the Texas Government Code. After discussion of any matters in closed session, any final action or vote taken will be public by the City Council. City Council shall have the right at any time to seek legal advice in Closed Session from its Attorney on any agenda item, whether posted for Closed Session or not.

Section 551.072. To deliberate the purchase, exchange, lease, or value of real property if deliberations in an open meeting would have a detrimental effect on the position of the governmental body in negotiations with a third person.

- a. Being approximately 6.504 acres of land, more or less, located in the Metroplex Cabinets Addition, Block A, Lot 1, City of Corinth, Denton County, Texas. (H)
- b. Being approximately 6.663 acres of land, more or less, in the North Central Texas College Addition No. 2, Block A, Lot 1R. (N)
- c. Being 1.6205 acres of land situated in the J.P. WALTON SURVEY, Abstract no. 1389, the J.B. Thedford Survey, Abstract no. 1308, and the H. GARRISON SURVEY, Abstract no. 507, located in the city of Corinth, Denton County, Texas

Section 551.087. To deliberate or discuss regarding commercial or financial information that the governmental body has received from a business prospect that the governmental body seeks to have locate, stay, or expand in or near the territory of the governmental body and with which the governmental body is conducting economic development negotiations; or to deliberate the offer of a financial or other incentive to a business project.

- a. Project Agora – Development Agreement

I. RECONVENE IN OPEN SESSION TO TAKE ACTION, IF NECESSARY, ON CLOSED SESSION ITEMS

J. ADJOURN

Posted on this 9th day of April 2021, at 11:30 A.M., on the bulletin board at Corinth City Hall



Lana Wylie, City Secretary
City of Corinth, Texas

CITY OF CORINTH
Staff Report

Meeting Date:	4/15/2021	Title: Agenda Management System
Strategic Goals:	<input type="checkbox"/> Citizen Engagement <input checked="" type="checkbox"/> Proactive Government <input checked="" type="checkbox"/> Organizational Development	
Governance Focus:	<i>Sub-Ends:</i>	
	<input type="checkbox"/> Growing Community <input type="checkbox"/> Conveniently located <input checked="" type="checkbox"/> Delivers Outstanding Service <input type="checkbox"/> High-Quality Retail <input type="checkbox"/> High-Quality Restaurants <input type="checkbox"/> High-Quality Entertainment	
	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Customer <input type="checkbox"/> Stakeholder	
	<i>Decision:</i> <input checked="" type="checkbox"/> Governance Policy <input type="checkbox"/> Ministerial Function	
Owner Support:	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission N/A	

Item/Caption

Receive a report and hold a discussion on the agenda management system.

Item Summary/Background/Prior Action

The City recently transitioned to a new agenda management system, Municode Meetings, for all Boards and Commissions. Municode Meetings is an end-to-end management solution that completely automates the agenda process and fully integrates with the website.

During this item, staff will provide a quick overview of the agenda packet and how to navigate within the document. **Please bring you iPad to the meeting.**

CITY OF CORINTH
Staff Report

Meeting Date:	4/15/2021	Title: COVID Response Plan
Strategic Goals:	<input checked="" type="checkbox"/> Citizen Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development	
Governance Focus:	<i>Sub-Ends:</i>	
	<input type="checkbox"/> Growing Community <input type="checkbox"/> Conveniently located <input checked="" type="checkbox"/> Delivers Outstanding Service <input type="checkbox"/> High-Quality Retail <input type="checkbox"/> High-Quality Restaurants <input type="checkbox"/> High-Quality Entertainment	
	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Customer <input type="checkbox"/> Stakeholder	
	<i>Decision:</i> <input checked="" type="checkbox"/> Governance Policy <input type="checkbox"/> Ministerial Function	
Owner Support:	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission N/A	

Item/Caption

Receive a report, hold a discussion, and provide direction on the Coronavirus (COVID-19) Readiness Response Plan.

Item Summary/Background/Prior Action

Corinth City Hall is currently operating on LEVEL YELLOW of the Readiness Response Plan. City Hall is open normal business hours Monday-Thursday from 7:30 - 5:00 pm. On Friday’s, City Hall is open by appointment only from 7:30 - 11:00 am. Additionally, some departments are still working under modified schedules.

The recommendation is to transition to LEVEL GREEN (& GOLD) on Tuesday, June 1 with all operations returning to normal, including Friday opening. Masks will be encouraged but not required. Our priority is always to provide the best possible service for our residents while keeping visitors and staff safe during these times.

If you concur with this recommendation, an ordinance will be prepared for the May 11 meeting.



What this means:

What to do:

**LVL
GREEN**

Normal Operations
No outbreak concerns

- No restrictions on gatherings.
- Normal operations for all city facilities.

**LVL
YELLOW**

**Limited Confirmed
COVID-19 cases**
(Partial number of secondary closures
impacting attendance)

- City facilities open while limiting person-to-person exposure.
- Where feasible, we encourage members of the public to conduct business with city staff online and through phone calls and emails rather than in person.
- Community rentals of city facilities suspended.
- Large public meetings, gatherings, and events will be suspended or canceled based on CDC guidelines and Governmental Declarations.
- All city sports facilities will remain open for the public and local sports leagues. The sports leagues may make their own determinations on continuing games and practices.

**LVL
ORANGE**

**Broad Confirmed
COVID-19 cases**
(Broad number of secondary closures)

- City facilities open with modified staffing schedules.
- Service levels will be transitioned to online, phone calls, and emails. In person services will be limited.
- Small public meetings, gatherings, and events will be suspended or canceled based on CDC guidelines and Governmental Declarations.
- All public places of business are encouraged to adhere to recommendations made by the CDC as well as Governmental Declarations limiting person-to-person exposure.
- All city sports facilities will be closed for use by the public and local sports leagues.

**LVL
RED**

**Widespread Confirmed
COVID-19 cases**

- City facilities closed except for essential personnel.
- Members of the public are to conduct business with city staff online, through phone calls and emails.
- All public places of business are required to adhere to recommendations made by the CDC as well as Governmental Declarations to eliminate person-to-person exposure.
- City council and board meetings will be limited and will be conducted via teleconference consistent with the open meetings act.

CITY OF CORINTH
Staff Report

Meeting Date:	4/15/2021	Title:	Fugro Streets Assessment
Strategic Goals:	<input type="checkbox"/> Citizen Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development		
Governance Focus:	<i>Sub-Ends:</i> <input type="checkbox"/> Growing Community <input type="checkbox"/> Conveniently located <input checked="" type="checkbox"/> Delivers Outstanding Service <input type="checkbox"/> High-Quality Retail <input type="checkbox"/> High-Quality Restaurants <input type="checkbox"/> High-Quality Entertainment		
	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Customer <input type="checkbox"/> Stakeholder		
	<i>Decision:</i> <input checked="" type="checkbox"/> Governance Policy <input type="checkbox"/> Ministerial Function		
Owner Support:	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission N/A		

Item/Caption

Receive a presentation and hold a discussion on the Fugro Street Assessment Report.

Item Summary/Background/Prior Action

The Fugro street report provides detailed information on various project activities including pavement distress data collection, data processing, network level pavement condition, treatment cost, current backlog, budget analysis, and a 10-year network level maintenance and rehabilitation treatment work plan. The report provides three (3) budgeting scenarios.

Financial Impact

The report provided three scenarios for the City to adopt for street maintenance budget over the next 10 years. Scenario #1 is the current budget which shows the overall street rating declining over the 10 years, and Scenario #2 provides the minimum investment to maintain the current rating over the next 10 years. Scenario #3 is an unlimited funding scenario.

Staff Recommendation/Motion

The current ¼ cent tax that was used to maintain the streets has been reallocated. This assessment shows the need to address the street maintenance beyond the current investment. The current account will run out of funds in 3 years using Scenarios #1, and the City will see a significant decline in streets if we do not address.

A funding strategy will be discussed during the May 27 budget workshop and will likely include a property tax allocation or franchise fee allocation within a special revenue fund.

1. Executive Summary

1.1 Introduction

The report provides detailed information on various project activities including pavement distress data collection, data processing, network level pavement condition, treatment cost, current backlog, budget analysis, and a 10-year network level maintenance and rehabilitation treatment work plan. The report gave 3 scenarios, but scenario #1 is preferred. Below are key points regarding the report and scenario #1 only.

1.2 Evaluation

- Overall Pavement Condition Index score (PCI) for the City is 79 (satisfactory condition rating)

- 88% of the roads fall in “Good”, “Satisfactory”, and “Fair” conditions (first graph below)

Table 3.2: Pavement Condition Categories with their associated PCI Ranges

Condition	Failed	Serious	Very Poor	Poor	Fair	Satisfactory	Good
Range	< 10	10 - 24	25 - 39	40 - 54	55 - 69	70 - 84	85 - 100

- 86% of the roads in the City are Concrete, 14% are Asphalt
 - Asphalt roads had a PCI rating of 49
 - Concrete roads had a PCI rating of 84

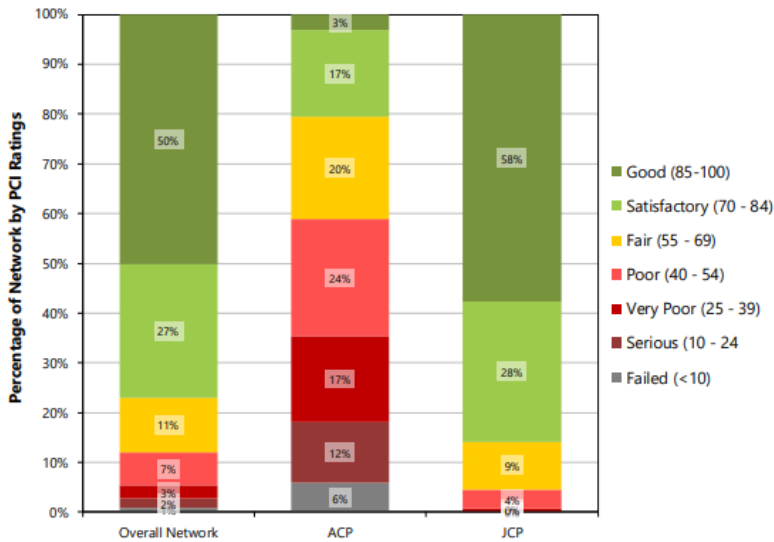


Figure 3.5: PCI Score Distribution by Pavement Type

- The report also provided a decision tree for the City to determine what road work would have the “biggest bang for the buck”
 - This is interesting b/c it says not to focus on the worst streets first.
 - The goal is to keep the overall score high.
- The report also provides ruff cost estimates for repairs to estimate future budgets.
 - Great for financial planning
- The report points out that the City has \$15M in backlog road work
 - Scenario #1 address this backlog using the remaining funds in the ¼ cent tax, and using CIP

1.3 Scenario 1 highlights

- Annual rehab of \$250k
- CIP Plan (City provided this list through 2030)
 - Report highlights how scenario 1 will impact the PCI score over the next 10 years

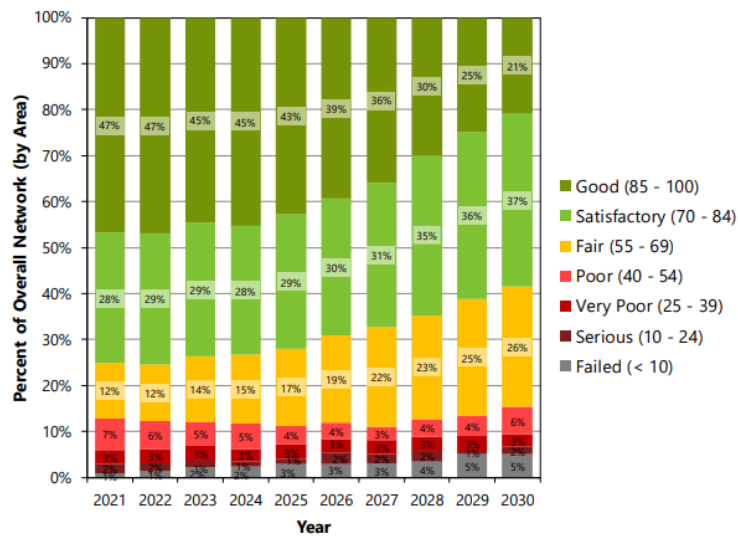


Figure 4.3: PCI Distribution for 10-Year Work Plan (Scenario 1)

- Annual rehab of \$250k
- CIP Plan (City provided this list through 2030)
 - Report highlights how scenario 1 will impact the PCI score over the next 10 years

- Highlighted the ten year plan of scenario #1 is a downward trend for the overall PCI score.

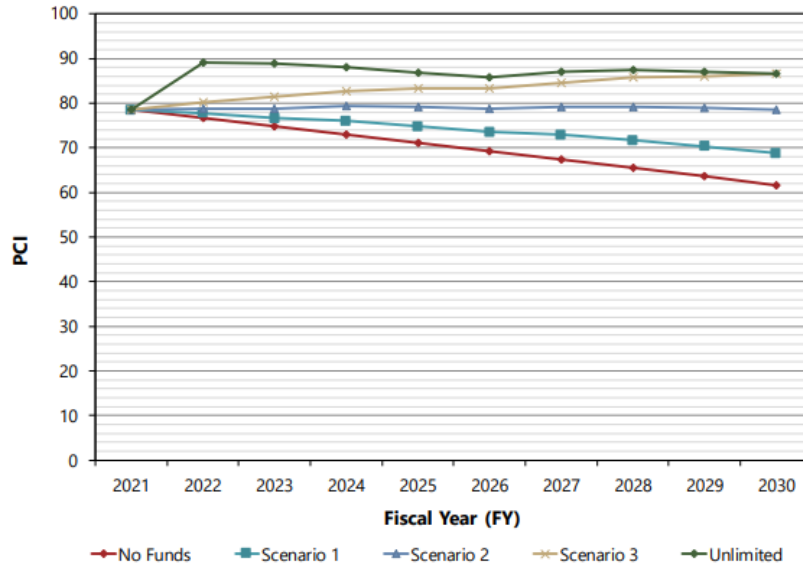


Figure 4.6: PCI Comparisons among Different Scenarios

1.4 Recommendations

This section contains Fugro’s recommendations:

- i. Internally keep the report updated annually.
 - a. Public Works plans to use ArcGis and Cityworks to accomplish this task.
- ii. Use newer innovative treatments to improve maintenance and rehab.
 - a. Public Works has already started to reachout to vendors for demonstrations of newer technology.
- iii. Conduct an external assessment of pavement distress at least every three years.
 - a. Public Works has determined that the best value for this assessment will be every 5-years, and will work with Finance to ensure this is completed.
- iv. Expand the the assessment to use ground penetrating studies.
 - a. The City of Corinth is only 8 square miles and the crews are able to drive the areas to do a visual inspection without taking up much time. At this time Public Works is not going to move forward on this.
- v. Expand the assessment to ROW.

-
- a. Public Works will evaluate this during the next assessment. Public works is currently conducting an in-house sign assessment.



Pavement Management Services for the City of Corinth, Texas

Final Report | 04.00168530

March 23, 2021

City of Corinth, Texas





Fugro USA Land, Inc.
8613 Cross Park Drive
Austin, Texas 78754

March 23, 2021

City of Corinth, Texas
Ms. Melissa Dolan
Parks, Recreation and Strategic Asset Manager
1200 N. Corinth Street
City of Corinth, Texas 76208

Subject: Final Report for Pavement Management Services

Dear Ms. Dolan,

Fugro USA Land, Inc. (Fugro) is pleased to submit our final report for the pavement management services performed for the City of Corinth, Texas. The report provides detailed information on various project activities including pavement distress data collection, data processing, network level pavement condition, treatment cost, current backlog, budget analysis, and a 10-year network level maintenance and rehabilitation treatment work plan.

Fugro appreciates the opportunity to be of service to the City and looks forward to providing additional pavement management services in the future.

Kind Regards,
Fugro USA Land, Inc.
TBPE Firm Registration No. F-299

A handwritten signature in blue ink that reads "Mona Nobakht".

Mona Nobakht, Ph.D., P.E.
Project Manager



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1. Executive Summary

Fugro is pleased to provide this final report to the City of Corinth (City), as part of the pavement management services performed for the City. The report provides detailed information on various project activities including pavement distress data collection, data processing, network level pavement condition, treatment cost, current backlog, budget analysis, and a 10-year network level maintenance and rehabilitation treatment work plan.

The pavement condition survey was conducted in August 2020 using Fugro's automated data collection system for the roadway inventories received from the City. The City provided an ArcGIS shapefile for the entire roadway network and designated the list of City-maintained roads to be surveyed by Fugro. The estimated total mileage in the City network is approximately 90 centerline mile equivalent to 187 lane miles. Per discussions with the City, Fugro collected pavement condition data along one lane for each local street and one lane in each direction for each collector and arterial street. The total collection length was about 108 test miles, which was used to represent the City's road network of 187 lane miles.

The collected distress data was processed in accordance with the ASTM D6433, *Standard Practice for Roads and Parking Lots Pavement Condition Index Surveys*. In addition, Pavement Condition Index (PCI) scores were calculated for the City's roadway network. The overall network PCI was 79 at the time of survey, which falls into the "Satisfactory" condition rating. Since 86% of the network is concrete pavements, the overall PCI score mostly reflects the condition of concrete pavements. Almost 88% of the surveyed network falls into "Good", "Satisfactory", and "Fair" conditions.

Based on the collected pavement distress condition data, Fugro investigated the impact of three (3) budget scenarios on the future PCI scores for the City network, utilizing Cartegrapgh pavement management software. Full network treatment backlog and deferred treatment analyses were also developed considering "Unlimited" and "No Funds" budget scenarios. This report includes Fugro's recommendations for maintaining an effective pavement management system (PMS) in the upcoming years.

Fugro has also discussed the need for future monitoring and necessary updates to the City's PMS database to maintain the validity of its analysis and reports. Periodic updates to the City's PMS are required to incorporate additions to the pavement network, reflect changes in the maintenance budgets & policies, and change in pavement conditions with time. The implementation of an effective PMS is an evolving process requiring feedback and continuous fine-tuning to keep the system up to date to meet the City's needs.

2. Introduction

The City contracted Fugro to perform pavement condition survey and pavement management analysis for the City's maintained road network. The main objective of the project is to develop maintenance and rehabilitation (M&R) strategies for preserving existing pavement infrastructure by optimizing the use of available funds. In order to optimize existing funds, the City is implementing a pavement management program to monitor roadway network performance.

Fugro conducted a pavement condition survey for the City using our automated distress data collection system to collect pavement distress information and ride quality measurements. This information was converted to ratings or indices for the City's road network. Additionally, those indices were used to report the health of the road network in terms of the Pavement Condition Index (PCI). The PCI score facilitates decision making for selecting appropriate treatments and timing for maintenance, rehabilitation, and reconstruction strategies.

Fugro utilized the Cartegraph software for the City's pavement management system (PMS) analysis. The software provides pavement management functions for reporting pavement condition, selecting projects in multi-year planning horizons, and developing estimated projections of treatment type and costs on a project-by-project basis. The software is also compliant with ASTM D6433 - *Standard Practice for Roads and Parking Lots Pavement Condition Index Surveys*.

2.1 Project Objectives

The objectives for this project include the following:

- Review the City's network inventory database for accuracy and recommend adjustments to reflect existing conditions.
- Develop a pavement distress data collection plan.
- Conduct pavement condition surveys and ride quality measurements.
- Perform a ten-year pavement management analysis based on the City's current pavement network condition.
- Prepare a report of the work conducted including background information, project tasks, findings, conclusions, and recommendations for a ten-year network-level M&R plan.

The report includes information on our pavement condition data collection and analysis efforts, which will assist the City personnel to update the City's PMS as their road network grows. This report also summarizes the existing pavement condition and network-level M&R recommendations. The following sections provide detailed information on completed project tasks.

3. Field Data Collection and Analysis

This section contains detailed information on project data collection and analysis activities.

3.1 Network Integration

Before initiating the data collection, the City’s road network along with the existing inventory information was reviewed. The City provided a geographic information system (GIS) database of their road inventory, which was used for developing the Cartegraph PMS database and for developing our routing (navigation) package for automated data collection. Fugro personnel reviewed the GIS database and resolved discrepancies prior to data collection, thus allowing for more efficient field data collection process. The estimated total mileage in the City network is approximately 90 centerline miles, which is equivalent to about 187 lane miles.

3.2 Automated Distress and Pavement Data Collection

Fugro’s Automatic Road Analyzer (ARAN) was utilized to collect the pavement information including distress and ride quality, pavement type, geometrics (e.g., pavement length and width), and other roads’ attributes (e.g., shoulder and curb length). ARAN has a global positioning system (GPS) coupled with a distance measuring instrument (DMI) to record the collection location continuously. ARAN collects right of way (ROW) images using the front facing high definition camera on top of the vehicle and downward pavement images from the backside of the vehicle, covering approximately 14 feet wide pavement in one pass at prevailing speeds up to 70 miles per hour (mph). Each downward image is processed to provide pavement distress summaries that are tabulated for the entire road length. Distresses extracted from the images and sensors are used to calculate PCI values in accordance with ASTM D6433 standard. A summary of the ARAN features is shown in Figure 3.1.

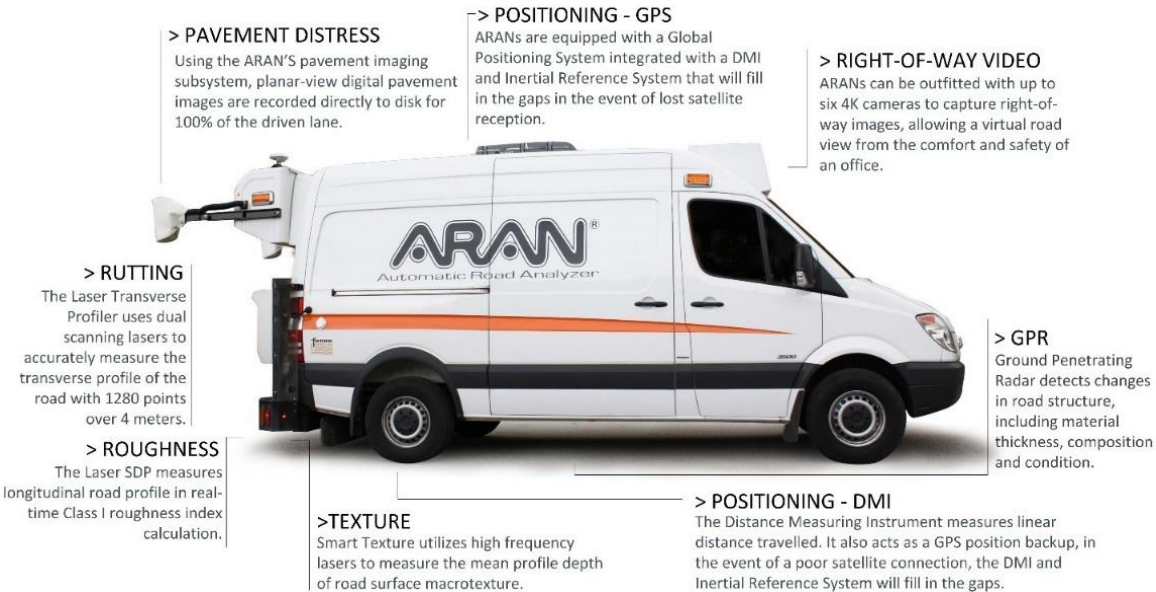


Figure 3.1: Fugro ARAN

The City provided an ArcGIS shapefile for the entire roadway network and designated the list of the City-maintained roads to be surveyed by Fugro. Fugro surveyed one lane in each direction for each collector and arterial street and a single lane for each local street in August 2020. The total collection length was 108 test miles, which was used to represent the City’s road network of 187 lane miles. Appendix A provides a list of observations made by the field crew for roads that could not be surveyed due to various construction, traffic and other constraints.

Table 3.1 shows the breakdown of the entire network by functional class, including minor arterial, collector and local, and by pavement type, including Asphalt Concrete Pavement (ACP) and PCC Jointed Concrete Pavement (JCP). In addition, the network distributions by pavement type and functional class are presented in Figure 3.2 and Figure 3.3, respectively.

Table 3.1: Network Distribution by Pavement Type and Functional Class

Category	Functional Class	Centerline Miles	Lane-Miles	Percentage of the Entire Network (By Pavement Area)
ACP	Minor Arterial	0.6	1.2	1%
	Collector	3.6	6.4	3%
	Local	9.2	18.0	10%
JCP	Minor Arterial	11.5	27.9	15%
	Collector	9.3	18.2	10%
	Local	55.9	114.8	62%
Network	All	90.2	186.6	100%

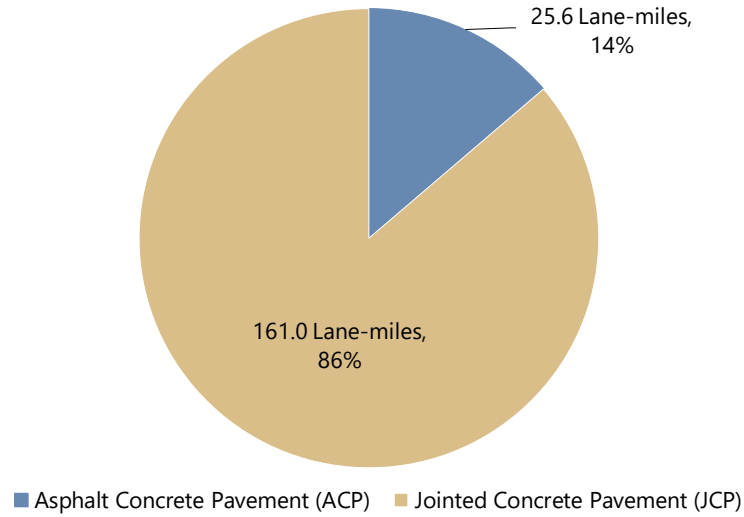


Figure 3.2: Network Distribution by Pavement Type

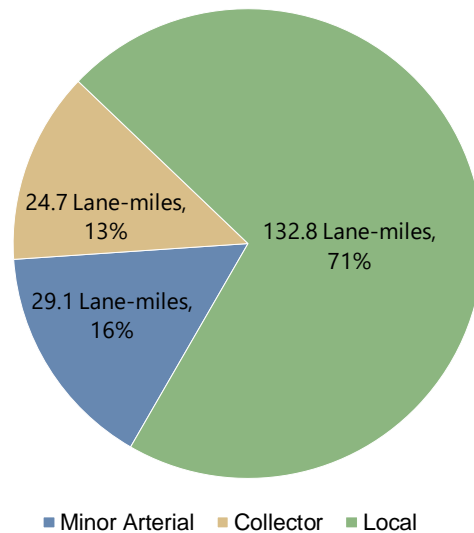


Figure 3.3: Network Distribution by Functional Class

3.3 Profile Data Collection

As part of our automated pavement data collection, Fugro collected longitudinal profile data, which was used to provide ride quality information for the surveyed road network. Fugro computed the International Roughness Index (IRI) in accordance with the ASTM E950 standard entitled *Standard Test Method for Measuring Longitudinal Profile of Traveled Surfaces with an Accelerometer Established Inertial Profiling Reference*. Longitudinal profile data was collected at 1-inch intervals and summarized at 0.001-mile intervals. IRI was computed from the profile elevation data and an average value for each road segment, in inches per mile, was determined. The larger the IRI value is, the rougher the road “feels”.

In addition to the longitudinal profile collection, Fugro collected the transverse profiles for the surveyed road network. Transverse profile data was collected using a laser line system to accurately measure the transverse profile of the lane and determine rutting characteristics and irregularities in cross slope. The transverse profile was collected every 0.002 miles (10.56 feet) and summarized as an average "rut depth" for each wheel path. The rut depth data was rated in accordance with ASTM D6433 standard and used in calculation of PCI values.

IRI values and rut depth information were summarized by pavement management sections, as defined in the City's inventory file, and submitted to the City electronically along with the processed distress data.

3.4 Data Analysis and Quality Control

Fugro has long recognized the value of quality data and have developed various quality control measures to ensure collecting accurate and reliable data. These procedures called Standard Operating Procedures (SOPs) were developed by Fugro for controlling quality both in the field and office. Road Survey Quality Control/Assurance SOPs and Post Processing and Reporting Control/Assurance SOPs are examples of procedures that Fugro has developed to ensure that our data collection and processing meet and exceeds the data quality required by our clients.

Road Survey Quality Control/Assurance SOPs include Fugro's standard procedure for ARAN certification, real-time quality monitoring, ARAN Collection Software (ACS) verification, and daily quality assurance cycle. The real-time quality monitoring is accomplished by using quality control subsystems built into ARAN vehicles. Those subsystems alert ARAN operators if a sensor is recording out-of-range. The ACS interface controls all ARAN subsystems independently to ensure maximum flexibility and robustness during data collection and allows automated and manual review of the digital images to further ensure accuracy. In addition, a quality assurance cycle is performed daily on all subsystems to ensure each is operating properly. The data collected at the end of the day is also checked for completeness against log sheets and routing schedules.

Post Processing and Reporting Control/Assurance SOPs include Fugro's standard procedure for data handling, data audits and spot checks. The data handling SOP covers the control of all data collected and ensures that all original ARAN files are copied from the ARAN to removable hard drives, creating the redundancy necessary to safeguard the original field data. The data is then shipped to Fugro's processing team. Also, Fugro ensures that accuracy is maintained by performing audits and spot checks on a continuous and random basis throughout the overall data process workflow including incoming data, processing and reporting.

Processing and analyzing the collected data are completed through Vision software, which was developed by Fugro to ensure a simple and accurate process for analyzing ARAN data and incorporating QC methodologies. Vision software is considered as a customized digital condition rating system that can be configured based on user defined distress severity/extent and pertinent roadway attributes. The processed data can then be exported to a PMS or asset management

system (AMS). For this project, Fugro exported the information into the Cartegraph PMS software to perform various analyses for the City’s road network.

3.5 Calculation of Pavement Condition Indices

As mentioned previously, the collected pavement distresses were used to calculate PCI values for the City’s surveyed road network. PCI is calculated based on the type, severity, and extent of surface distresses. PCI uses a scale from 0 to 100, where 0 represents a completely failed pavement and 100 represents a pavement in perfect condition. The types of pavement distresses that are collected and utilized for determination of PCI values are described in ASTM D6433.

Each distress type includes a severity level (i.e., low, moderate, and high) and has a different impact or “deduct” value for pavement condition, depending on its quantity (i.e., extent). Since each distress type has a different impact on pavement performance, deduct values are specific to individual distresses in accordance with the ASTM D6433 standard. High severity distresses and/or high distress quantities result in more reductions in PCI scores. In general, deduct values for fatigue cracking are higher than deduct values of other types of cracking. Presence of load related fatigue cracking results in lower PCI scores, when compared with similar severities and extents for cracking associated with environmental conditions such as transverse cracking.

Appendix B contains the PCI values for pavement sections surveyed by Fugro in August 2020. Appendix C contains the color-coded PCI and IRI maps for the surveyed sections.

3.6 Discussion of Pavement Condition Indices

Pavement condition can be described using subjective ratings such as Good, Satisfactory, Fair, Poor, Very Poor, Serious, and Failed”. These subjective ratings can be further defined by assigning a PCI range to each rating category. Table 3.2 shows the pavement condition categories and their associated PCI ranges. The overall PCI score was 79 for the entire road network of the City at the time of survey in August 2020, which falls in the Satisfactory condition category.

Table 3.2: Pavement Condition Categories with their associated PCI Ranges

Condition	Failed	Serious	Very Poor	Poor	Fair	Satisfactory	Good
Range	< 10	10 - 24	25 - 39	40 - 54	55 - 69	70 - 84	85 - 100

Figure 3.4 illustrates the relation between PCI scores and pavement distresses. As shown in this figure, increase in distress quantities and severity levels result in decrease in PCI scores.

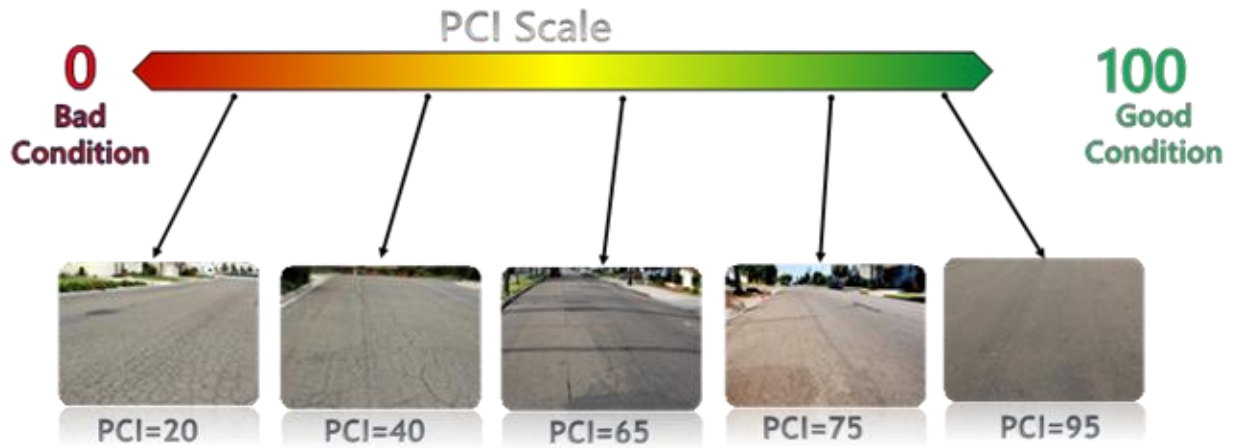


Figure 3.4: Relation between PCI Scores and Pavement Distresses

Table 3.3 contains the overall PCI scores for the surveyed network and by pavement type and functional class. ACP sections, with an average PCI of 49, are in the Poor condition category while JCP sections, with an average PCI of 84, fall in the Satisfactory condition category. It should be noted that the PCI scores in Table 3.3 are the weighted average PCI scores over the pavement segment area.

Table 3.3: PCI Scores for the Network and by Pavement Types

Category	Functional Class	PCI
ACP	Minor Arterial	67
	Collector	55
	Local	45
	Overall	49
JCP	Minor Arterial	84
	Collector	84
	Local	84
	Overall	84
Network	Minor Arterial	84
	Collector	77
	Local	79
	Overall	79

3.6.1 Distribution of Pavement Condition Scores

Figure 3.5 displays the road network PCI score distribution for each pavement type, as well as the overall surveyed road network as of August 2020. As shown in the figure, approximately 11%, 27%, and 50% of pavement sections are in Fair, Satisfactory, and Good conditions, respectively. About 13% of the surveyed roads fall into Poor, Very Poor, Serious or Failed conditions with PCI scores below 55.

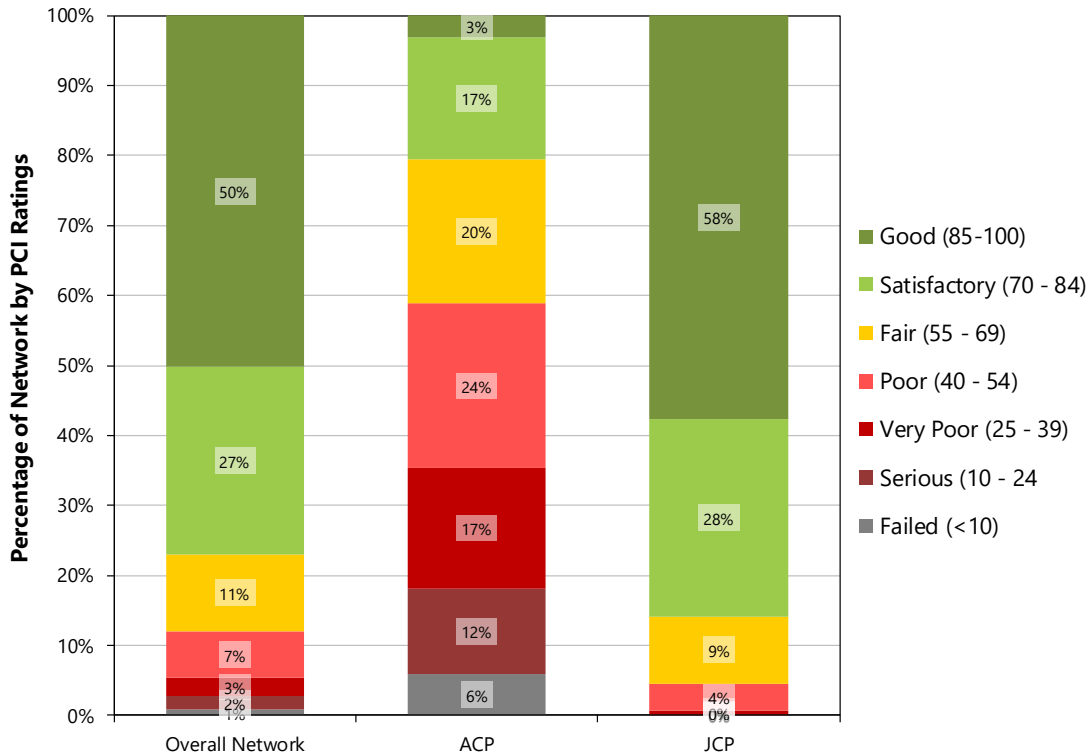


Figure 3.5: PCI Score Distribution by Pavement Type

Figure 3.6 shows the PCI score distribution for each functional class; arterial roads are in a better condition than other functional classes, with almost 90% of the streets having PCI greater than 55.

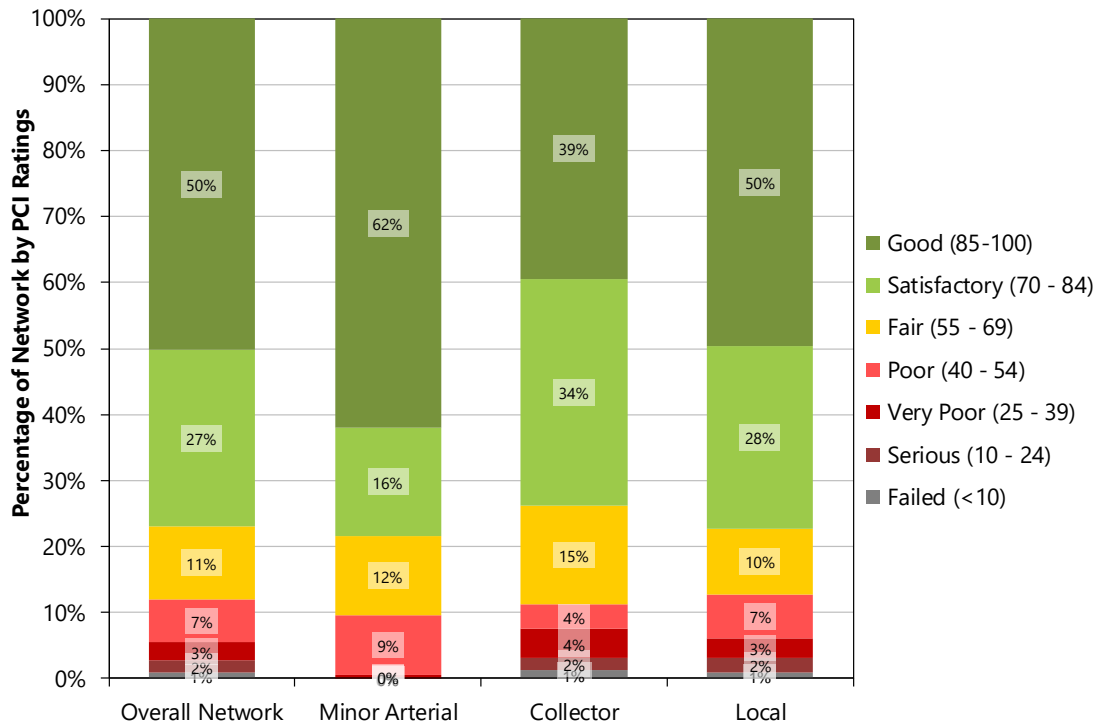


Figure 3.6: PCI Score Distribution by Functional Class

3.6.2 Distribution of IRI Scores

Figure 3.7 displays the road network IRI distribution by pavement type and for the overall road network surveyed in 2020. The threshold values used for each condition category are selected in accordance with ASTM E1926 – *Standard Practice for Computing International Roughness Index of Roads from Longitudinal Profile Measurements*.

Approximately, 32% of the network exhibits an IRI value less than 200 in/mi, and about 68% of the network exhibits an IRI value more than 200 in/mi. The acceptable IRI values for newly constructed pavements vary by agency as well as the type of facility and equipment used to collect the smoothness data. Typical IRI ranges for newly constructed ACP and JCP pavements are 52-66, and 57-72 in/mi, respectively; while roadways in poor conditions typically have IRI values over 250 in/mi.¹ About 6% of the entire network exhibits IRI values greater than 400 in/mi, which is indicative of rough roads at vehicle speeds up to 56 mph (90 km/h). IRI values over 600 in/mi are indicative of very rough roads and comfortable driving on such roadways is hard to achieve even at slow speeds.

Figure 3.8 shows the IRI score distribution by functional class and for the overall road network. Approximately, 96%, 86% and 73% of the arterial, collector and local roads, respectively, have an IRI value less than 300 in/mi.

¹ Measuring and Specifying Pavement Smoothness, Tech Brief, FHWA-HIF-16-032, June 2016
 Source: <https://www.fhwa.dot.gov/pavement/pubs/hif16032.pdf>

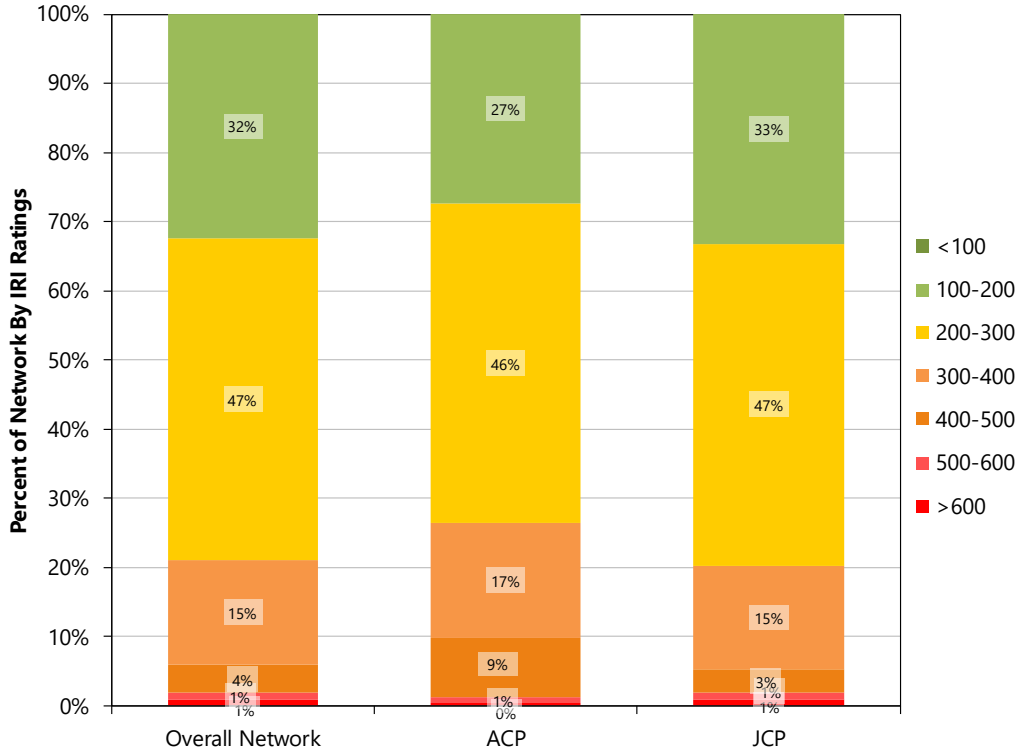


Figure 3.7: IRI Score Distribution by Pavement Type

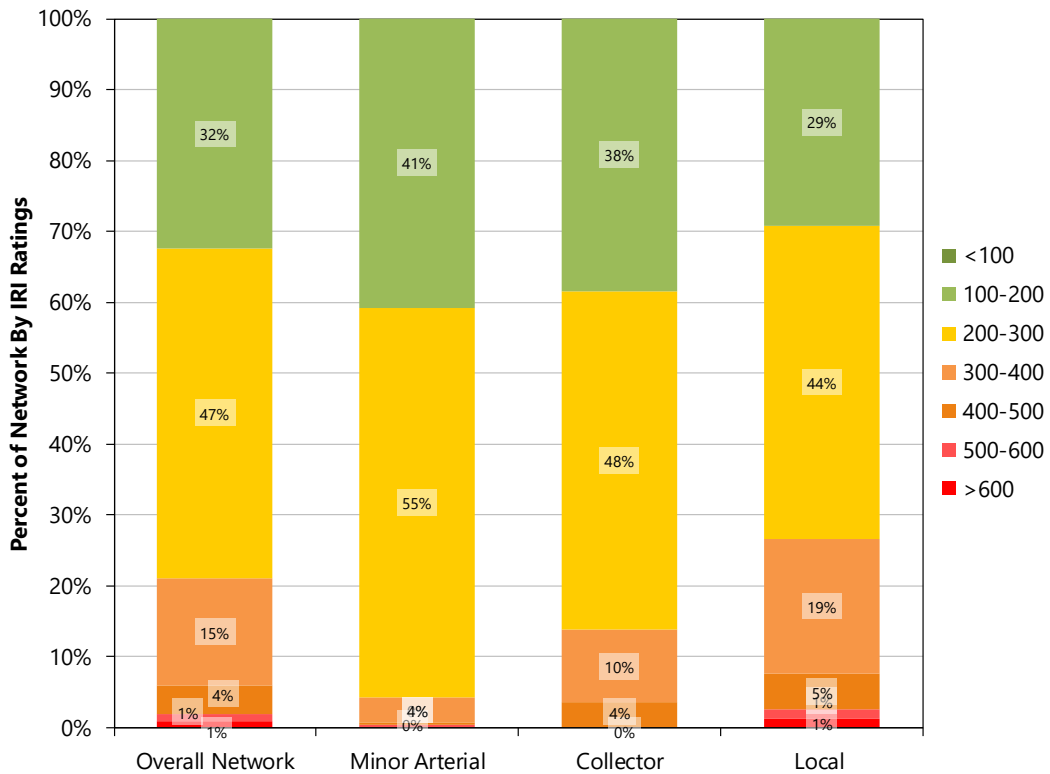


Figure 3.8: IRI Score Distribution by Functional Class

In accordance with ASTM E950, pavement ride quality information should be considered invalid when the collection speed is less than 12 mph due to stop signs, stop lights, traffic calming devices, and isolated traffic & construction activities. At speeds below approximately 12 miles per hour, modern vehicle suspension systems diminish minor pavement roughness before it can be translated to the vehicle chassis, thus affecting pavement ride. Such IRI values were flagged as invalid during the data collection for the City network, indicating that no valid data could be collected according to ASTM E950. Fugro did not include sections with invalid data in the IRI information presented in Figure 3.7 and Figure 3.8. The IRI value for the sections with invalid IRI data is indicated as -1 in Appendix B.

3.6.3 Cumulative Frequency Distribution

Cumulative frequency distribution plot is a convenient way to quickly review the overall network health and the condition of network subsets such as pavement types. A cumulative frequency distribution is developed by calculating the percent of the network in each condition rating, and then accumulating the percent from 0 to 100. The further the data is to the right side of the graph; the higher percentage of the network is in better condition. For example, in Figure 3.9, the curve for JCP roads (blue curve) is to the right of the curve for ACP roads (green curve), which indicates that the JCP roads are in better condition than ACP roads. Approximately 47% of the ACP and 2% of the JCP roads have a PCI score less than 50. It should be noted that the PCI distributions of JCP roads (blue curve) and overall network (red curve) are following each other because of high percentage of JCP sections (86%) within the surveyed roads.

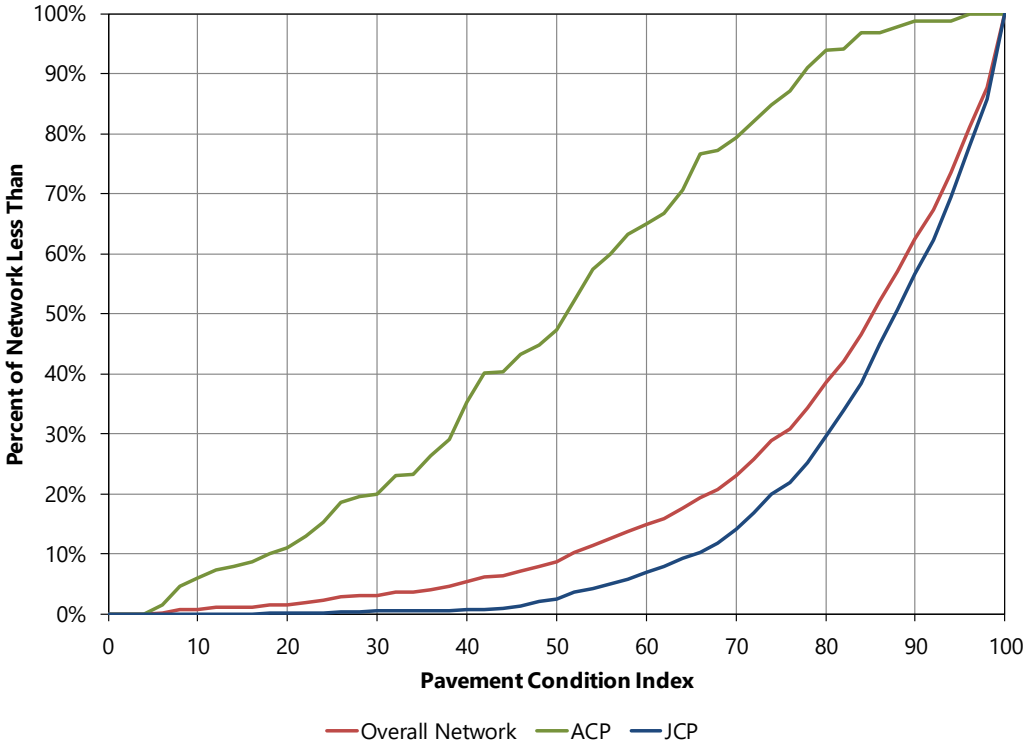


Figure 3.9: PCI Cumulative Frequency Distribution of Overall Network, ACP & JCP Roads

Figure 3.10 shows the PCI cumulative frequency distribution plots for each functional class as well as the overall network. It can be observed that the distribution curves for the local roads and overall road network are almost identical as about 71% of the network consists of local roads. This implies that the condition of local roads has a great impact on the overall condition of the network. Also, the distribution curve for the arterial roads (purple curve) is on the right side of the other curves, which indicates better condition of arterial roads compared to other functional classes.

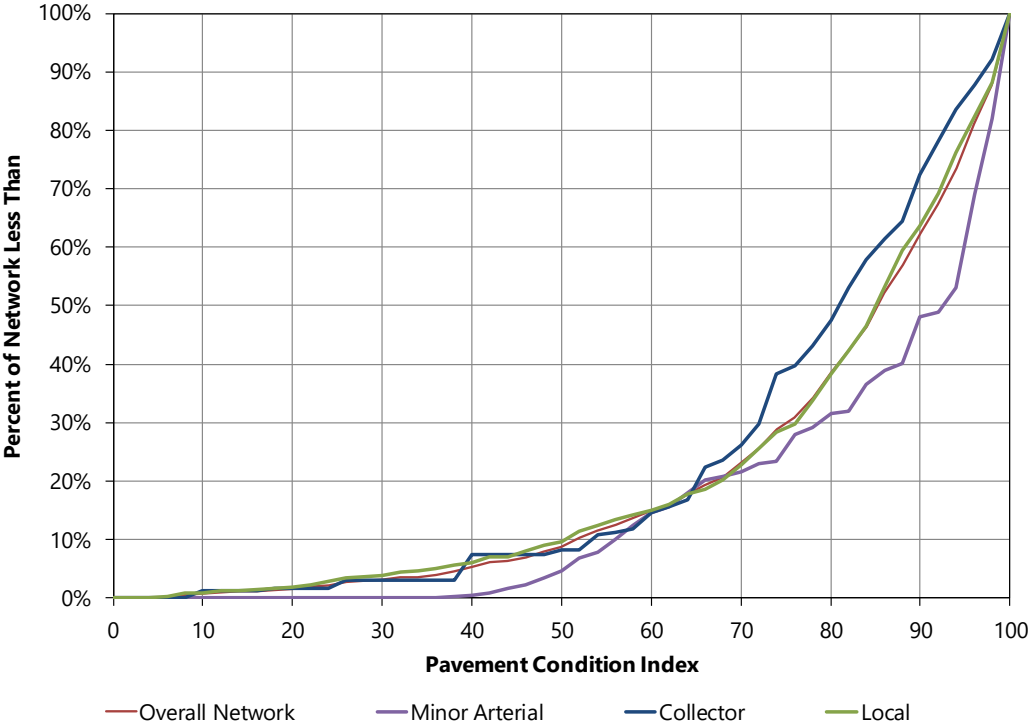


Figure 3.10: PCI Cumulative Frequency Distribution of Overall Network and Functional Classes

4. Treatment Work Plan

This section contains detailed description of activities performed for developing a 10-year M&R work plan for the City.

4.1 Treatment Policy

Pavement structures deteriorate like other infrastructures with time. An appropriate multi-year M&R treatment work plan can reduce the pavement deterioration rate and extend its life. The objective of developing a multi-year M&R treatment plan is to select the right treatment, at the right time, and for the right pavement condition.

Four types of treatments are applied to pavements depending on the pavement age and condition. Preventive maintenance (e.g. crack seal, slurry seal, joint repair etc.) is applied at the early stage of pavement life to maintain the functional condition of pavements without increasing the structural capacity. Maintenance treatments stop water infiltration through pavement surfaces and negate the damage of the top surface and underlying layers (i.e., base and subgrade). Followed by maintenance treatments, minor rehabilitation activities (e.g. thin overlay, full depth patching, dowel bar retrofit etc.) are introduced, to address the top-down surface cracking, aging of pavements, and functional deficiencies without increasing the structural capacity.

After applying minor rehabilitation, major rehabilitation activities (e.g. thick mill and AC overlay, bounded PCC overlay, panel replacement etc.) are performed when pavement starts to deteriorate, not only functionally but also structurally. Major rehabilitation activities increase the structural capacity of the existing pavements and extend the pavement life. When maintenance, minor rehabilitation, and major rehabilitation activities become ineffective to address the pavement deteriorating conditions, reconstruction activities are recommended to maintain the roadway system operational.

Fugro considered all the above treatment alternatives, given the existing pavement conditions to develop an M&R decision tree for the City. Fugro also obtained information on the City's available budget, current treatment practices, and future budgets for pavement repairs. Based on these considerations, Fugro developed the decision tree shown in Figure 4.1 and discussed it thoroughly with the City before the start of PMS analyses. As shown in Figure 4.1, the recommended M&R strategies depend on pavement types and PCI values.

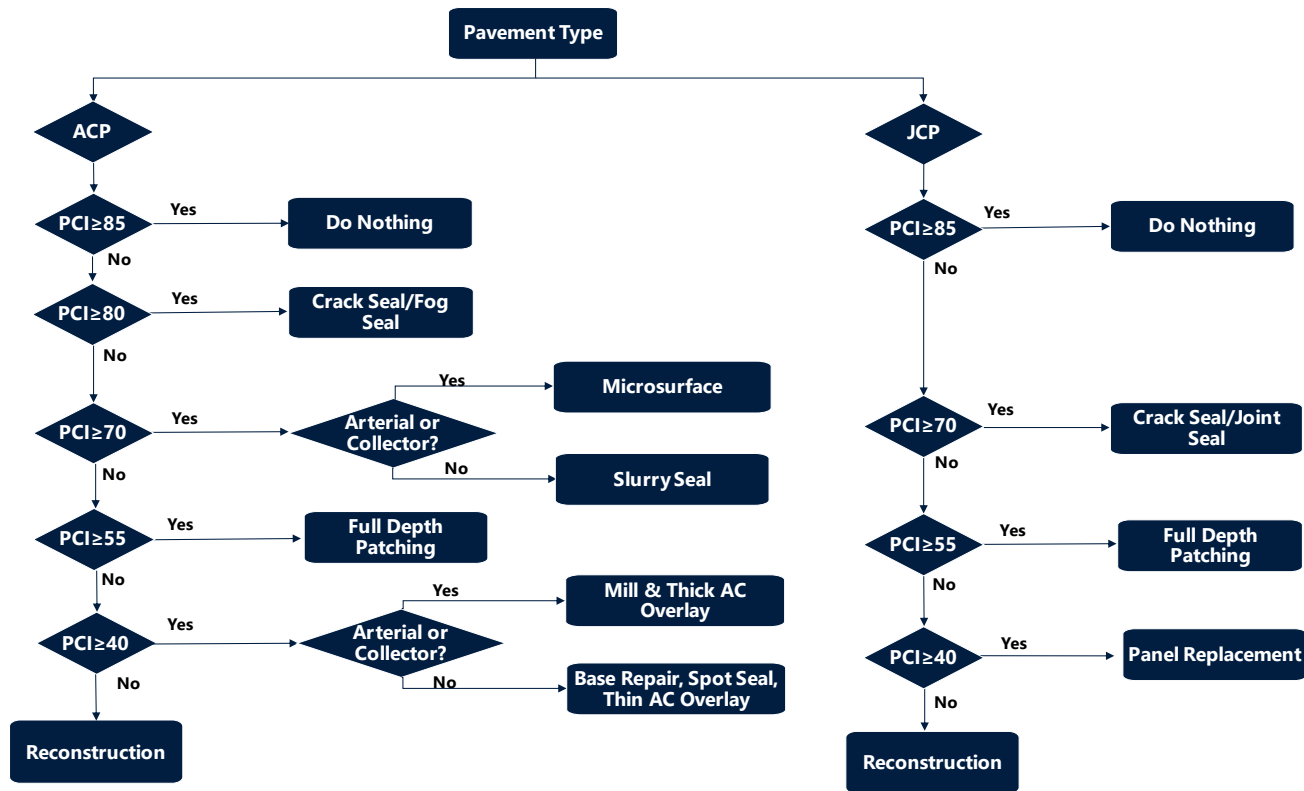


Figure 4.1: Recommended Decision Tree for the City of Corinth

For the PMS analysis in Cartegraph, treatments were applied to the sections with higher PCI values first (i.e., best first) when PCI was 70 or more. Treatments were applied to the sections with lower PCI values first (i.e., worst first) when PCI was less than 70. Any remaining budget was rolled over to subsequent years within each treatment category (i.e., maintenance, rehabilitation, reconstruction).

Treatment types, PCI impacts of various treatments, and unit costs are summarized in Table 4.1. The impact of each pavement M&R action on improving PCI score varies by treatment types. Some treatments such as “crack seal” will show nominal improvements to the PCI scores for a relatively short period of time; while other treatments such as “mill & thick AC overlay” will reset the PCI to 95 and have a much more significant impact on enhancing pavement life.

The treatment unit costs were determined based on the information collected within North Central Texas Council of Governments (NCTCOG) Region, and Fugro’s experience with other local municipalities. An annual inflation rate of 3% was used in the PMS analysis.

Table 4.1: PCI Impacts and Unit Cost of Treatment Activities

Pavement Type	Treatment Type	PCI Impact	Unit Cost
ACP	Crack Seal/Fog Seal (Preventive Maintenance)	Increase by 10 points	\$1 per linear ft ¹ .
	Slurry Seal (Preventive Maintenance)	Increase by 20 points	\$0.3 per sq. ft.
	Microsurface (Preventive Maintenance)	Increase by 20 points	\$0.4 per sq. ft.
	Full Depth Patching (Minor Rehabilitation)	Increase by 25 points	\$1.8 per sq. ft.
	Base Repair, Spot Seal, Thin Overlay (Major Rehabilitation)	Reset to 90	\$3.5 per sq. ft.
	Mill & Thick Overlay (Major Rehabilitation)	Reset to 95	\$4.5 per sq. ft.
	Reconstruction	Reset to 100	\$15 per sq. ft.
JCP	Crack Seal/Joint Seal (Preventive Maintenance)	Increase by 10 points	\$1 per linear ft ¹ .
	Full Depth Patching (Minor Rehabilitation)	Increase by 20 points	\$9 per sq. ft.
	Panel Replacement (Major Rehabilitation)	Increase by 30 points	\$12 per sq. ft.
	Reconstruction	Reset to 100	\$25 per sq. ft.

¹Cost per unit length of cracks

4.2 Deterioration Curves

Deterioration curves illustrate the decrease in PCI scores over time if a road is left without any treatment until failure. With this information, the future road condition can be predicted based on the current state and age of the pavements. Two deterioration curves were used for the analysis of the City's road network, one for asphalt pavements (ACP) and one for jointed concrete pavements (JCP). The two deterioration curves, shown in Figure 4.2, are the default deterioration curves built in Cartegraph program.

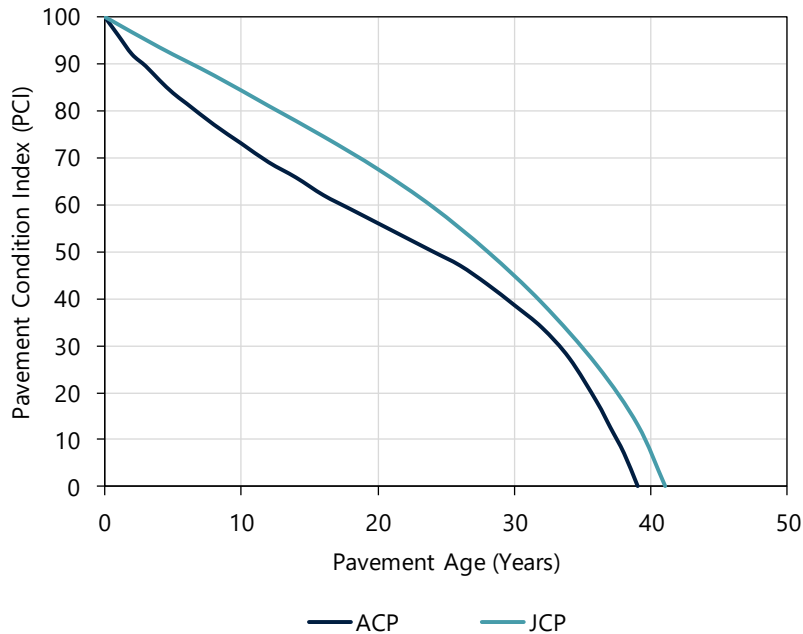


Figure 4.2: Deterioration Curves for ACP and JCP

4.3 Full Backlog Analysis

A full backlog analysis with unlimited budget provides the current budget needs for different treatment activities. Using an unlimited budget, a backlog analysis was conducted by determining all the required M&R activities as of January 1, 2021, which was the starting date of the PMS analysis in Cartegraph software. The condition of each pavement section was deteriorated from the section’s survey date (August 2020) to January 1, 2021 for this analysis.

Table 4.2 summarizes the approximate backlog needs for the City’s surveyed network. Unit costs used in this analysis were summarized in Table 4.1. The details of full backlog analysis with unlimited budget for the first year is provided in Appendix D.

Table 4.2: Total Backlog of Treatment Activities

Treatment Activity	2021 Budget Needs	Percentage of Total Budget
ACP - Crack Seal/Fog Seal	\$6,126	0.04%
ACP - Slurry Seal	\$48,252	0.30%
ACP - Microsurface	\$12,848	0.08%
ACP - Full Depth Patching	\$181,489	1.14%
ACP - Mill & Thick Overlay	\$365,969	2.30%
ACP - Base Repair, Spot Seal, Thin Overlay	\$880,391	5.53%
ACP - Reconstruction	\$9,976,215	62.65%
JCP - Crack/Joint Seal	\$300,968	1.89%
JCP - Full Depth Patching	\$954,711	6.00%
JCP - Panel Replacement	\$1,305,668	8.20%
JCP - Reconstruction	\$1,892,358	11.88%
Total	\$15,924,995	100.00%

4.4 Multi-Year Planning – Budget

Fugro performed PMS analysis to develop a network level 10-year work plan for the City's M&R activities given three budget and target driven scenarios as shown in Table 4.3. Scenario 1 represents the City's current annual budget for M&R activities. Under this scenario, \$250,000 is allocated annually for maintenance and rehabilitation activities. Fugro distributed the annual budget between the treatment activities based on the current needs of the network.

In addition, Fugro performed two target driven analysis to identify the required budget for M&R activities to maintain the current network PCI score of 78 (as of January 1, 2021) for the next 10 years (i.e., Scenario 2), as well as to increase the current network PCI of 78 by 10 points in the next 10 years (i.e., Scenario 3). Table 4.3 shows the budget distribution for the three scenarios discussed.

Table 4.3: Budget Distribution for Different Scenarios

Budget Scenario	Annual Maintenance Budget	Annual Rehabilitation¹ Budget	Annual Reconstruction Budget	CIP Plan Included	Total Annual Budget
Scenario 1 (Current Budget)	\$40,000	\$210,000	-	Yes	\$250,000
Scenario 2 (Target PCI=78)	\$130,000	\$400,000	600,000	Yes	\$1,130,000
Scenario 3 (Increase PCI by 10 points in 10 years)	\$200,000	\$710,000	\$1,200,000	Yes	\$2,110,000

¹ Including both minor and major rehabilitation activities.

Fugro utilized the following recommendations in the PMS analysis of Scenario 1, which were discussed with the City before the start of the analysis:

- The City recommended to allocate \$50,000 for M&R activities of ACP sections, and \$200,000 for JCP segments.
- Considering the small amount of M&R budget for ACP sections as well as the low overall PCI score of ACP sections compared to the JCP segments, the major rehabilitation activities for ACP sections (i.e., mill & thick overlay, and base repair & spot seal & thin overlay) were excluded from the annual \$50,000 budget and considered under capital improvement program (CIP).
- ACP and JCP reconstruction, ACP mill & thick overlay, and ACP base repair & spot seal & thin overlay were considered under CIP. The remaining treatment activities were included in the \$250,000 annual budget.
- The City provided a list of roads that would receive panel replacement in year 1 and 2 (i.e., planned projects). PCI scores of those roads were increased by 30 points for the PMS analysis.
- The City provided a list of roads that have already been scheduled for rehabilitation or reconstruction under the CIP plan in a specific year between fiscal years (FY) 2021 and 2025. In the PMS analysis, Fugro considered those planned activities and did not recommend any other treatments for those roads prior to the scheduled years.
- The City provided a list of roads to be considered as CIP projects in FY 2026 through 2030; however, the City has not designated a certain treatment and year for these projects. For

FY 2021 through 2025, Fugro did not recommend any treatments for those sections; for FY 2026 through 2030, Fugro selected the most appropriate activity included in the CIP plan (i.e., ACP and JCP reconstruction, ACP mill & thick overlay, and ACP base repair & spot seal & thin overlay) based on the decision tree. To this end, the PCI scores of those sections were projected using the deterioration curves (Figure 4.2) and the earliest year at which a section becomes a candidate for one of the CIP activities (based on the decision tree) was selected as the treatment year for that activity.

As shown in Table 4.3 above, in conjunction with the CIP planned activities, additional annual construction budget is needed to maintain the current PCI of 78 in Scenario 2, or to increase the current PCI by 10 points in Scenario 3.

4.5 Ten-Year Treatment Plan

The City’s 10-year treatment plan was developed in Cartegraph, which allocates the target funding by year until the program runs out of available budget. If a budget surplus exists for a given year, it is rolled over to the following year of the work plan. For the PMS analysis, the starting date in the software was set as January 1, 2021.

Scenario 1 was considered as the main budget scenario for the City’s 10-year work plan. Among the various treatment activities, the most expensive treatment is pavement reconstruction, which occurs when the pavement has reached the end of its service life. Reconstruction is performed when the section PCI becomes less than 40. Table 4.4 shows a breakdown of the estimated reconstruction area for Scenario 1 as well as the Unlimited and No Funds scenarios. The Unlimited’ Scenario was considered for the backlog analysis to estimate the current needs of the network, whereas the No Funds Scenario was considered to study the impact of no funding over the next 10 years. As shown in Table 4.4, the estimated reconstruction area for Scenario 1 is less than the No Funds Scenario over the analysis period. The required reconstruction budget can be estimated based on the section areas and the unit cost for reconstruction, which were listed in Table 4.1.

Table 4.4: Pavement Reconstruction Area (in thousands of sq. ft.) in 10-Year Work Plan

Scenario	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030
Scenario 1	720	729	810	741	852	978	958	1,055	1,069	1,123
Unlimited	720	-	-	-	-	-	-	-	-	-
No Funds	720	753	877	956	1,134	1,303	1,398	1,617	1,734	1,921

As part of the PMS analysis, distribution of PCI scores through the 10-year work plan were computed for Scenario 1, 2 and 3. Figure 4.3 shows the PCI distribution by segment area for Scenario 1 within a 10-year work plan. Under this scenario, the area percentages below Good condition (i.e., Satisfactory and lower) is increasing within the 10-year planning horizon as the sections with Good conditions are deteriorating and falling into lower condition categories over time, due to the limited budget.

Treatment activities for the 10-year work plan based on the budget Scenario 1 are presented in Appendix E in a tabular form, and in Appendix F using maps.

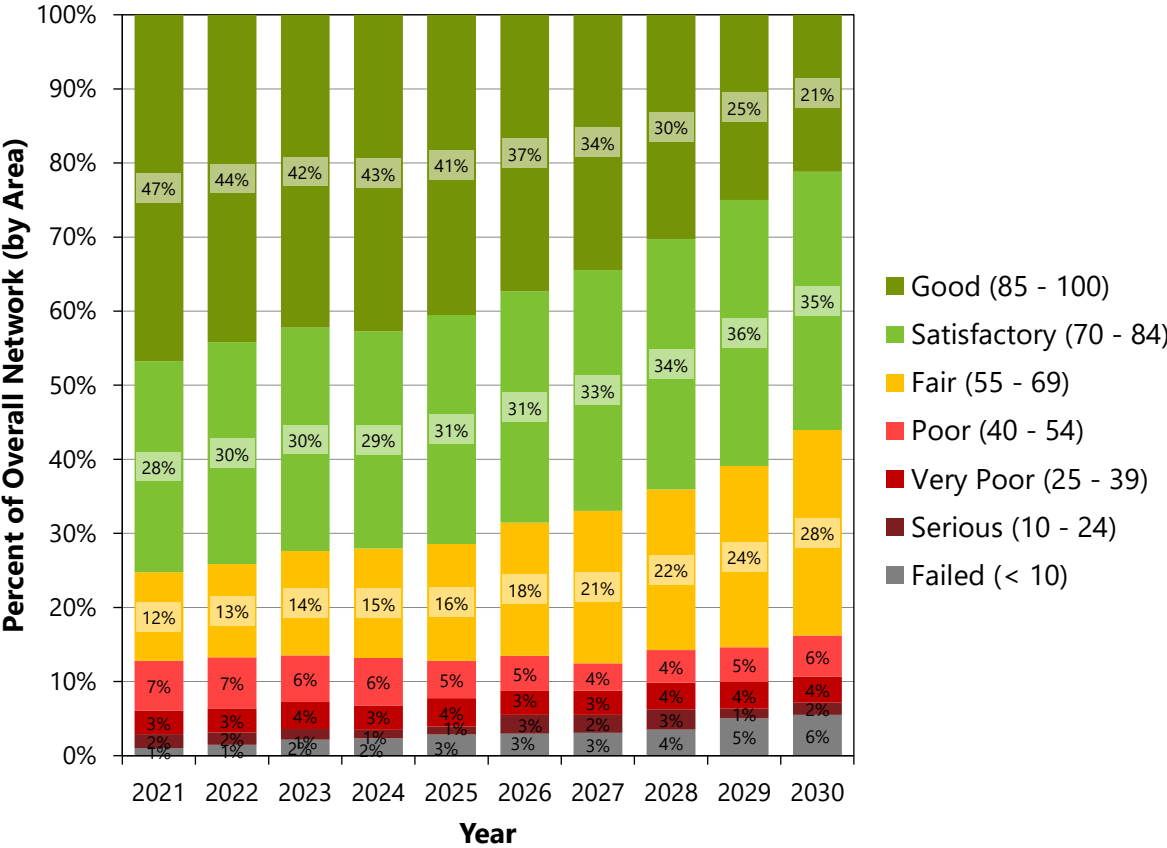


Figure 4.3: PCI Distribution for 10-Year Work Plan (Scenario 1)

Figure 4.4 shows the PCI distribution by segment area for Scenario 2 within a 10-year work plan. Under this scenario, the combined percentage of the sections in Good and Satisfactory condition increases over the years. A comparison between Figure 4.3 and Figure 4.4 shows that the area percentages below Satisfactory condition (i.e., Fair and lower) under Scenario 2 is less than those under Scenario 1 in all years. Also, the percentage of "Good" roads under Scenario 2 is much greater than that under Scenario 1. This is an expected observation given that the annual budget allocated to Scenario 2 is almost 4.3 times greater than Scenario 1. As a result, Scenario 2 delays the deterioration rate of the network and maintains the network PCI of 78 over the analysis period.

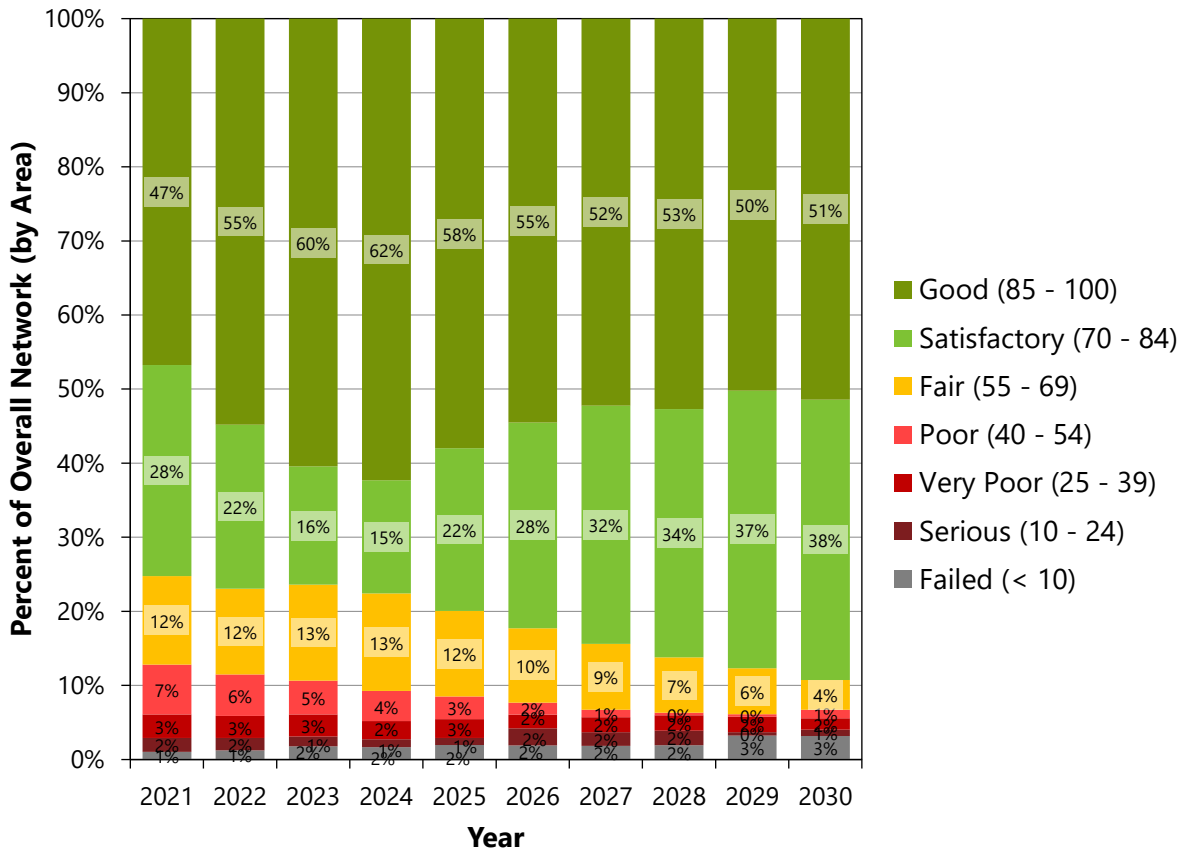


Figure 4.4: PCI Distribution for 10-Year Work Plan (Scenario 2)

Figure 4.5 shows the PCI distribution by segment area for Scenario 3 within a 10-year work plan. The annual budget of this scenario is \$2.11M in order to increase the overall PCI of 78 in FY 2021 by 10 points at the end of FY 2030. As illustrated in Figure 4.5, the area percentage of the sections in Good condition category increases significantly over the 10-year planning horizon. Also, the area percentages below Satisfactory condition (i.e., Fair and lower) under Scenario 3 is less than those under Scenario 1 and 2 in all years. This happens because the budget allocated to Scenario 3 allows improving the sections in Fair and lower condition categories to higher categories over the planning horizon. As a result, the network PCI increases by almost one point every year (i.e., 10 points PCI improvement by FY 2030).

It should be noted that the PMS analysis performed on this project do not account for potential emergency repairs required due to unforeseen events such as flooding, utility repairs/placements, or over-loaded vehicles. Further improvements in the M&R plan may be made over time with improved performance models. A consistent data collection program will provide the necessary information to develop enhanced pavement deterioration models to reflect the pavement performance trends in the City.

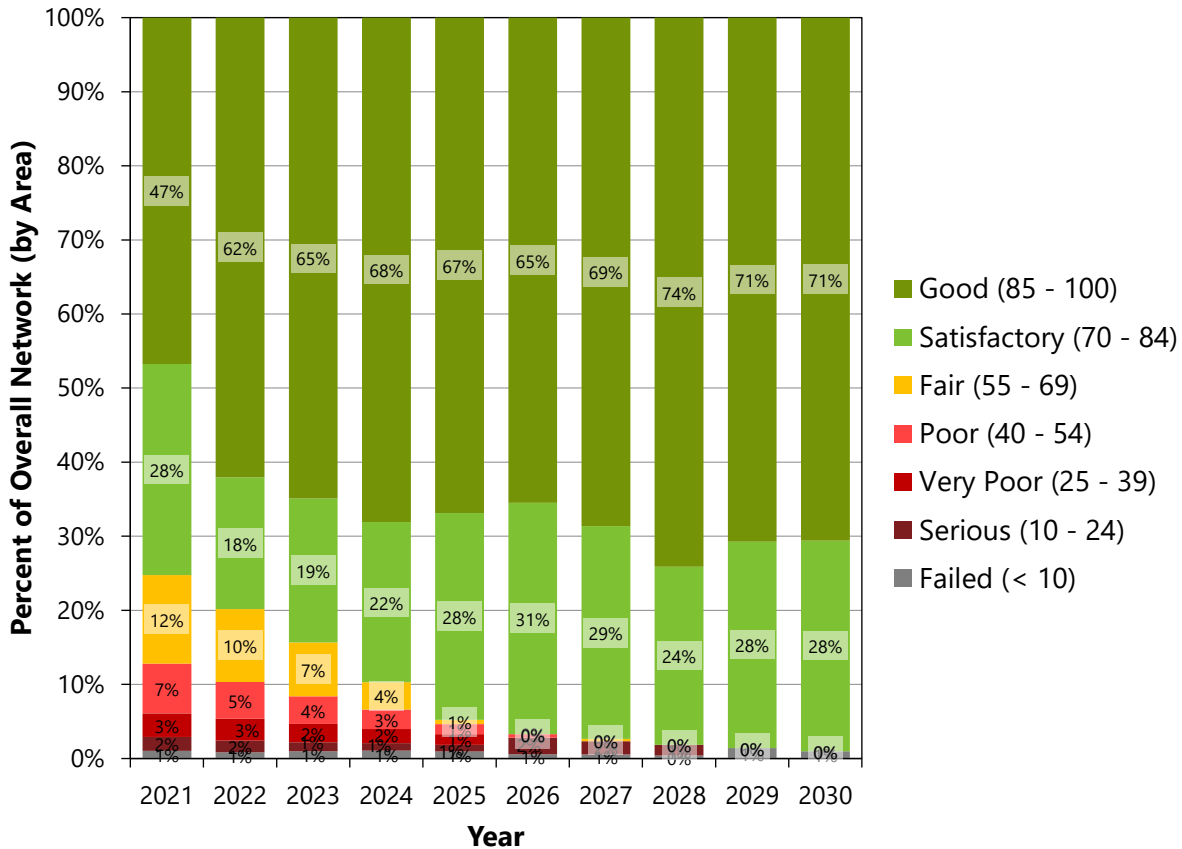


Figure 4.5: PCI Distribution for 10-Year Work Plan (Scenario 3)

4.6 PCI Analysis for Various Budget Scenarios

The impacts of all analyzed scenarios on the network PCI scores are discussed in this section. Figure 4.6 shows the forecasted PCI values for the network. As stated earlier, the survey was conducted in August 2020, and the start date of the PMS analysis in Cartegraph was set to January 1, 2021. The overall PCI value is deteriorated from 79 at the time of inspection to 78 at the start of the PMS analysis. Note that the first point in Figure 4.6 corresponds to the start of the PMS analysis in January 2021.

The PCI trends for different budget scenarios over 10 years are illustrated in Figure 4.6. The overall PCI is in a downward trend for the City’s current budget (Scenario 1) and the No Funds Scenario. No Funds Scenario results in 17 points drop in the PCI score by the end of FY 2030. It is evident that, by allocating an annual budget of \$250,000 for Scenario 1, the PCI deterioration rate slows down as compared to the deterioration rate for the No Funds Scenario. As a result, the network PCI drops by 10 points, as compared to 17 points for No Fund Scenario, at the end of the 10-year work plan. However, the annual budget for Scenario 1 is not adequate to maintain the current condition of the network due to the existing treatment backlog of the network. Scenario 2 with \$1,130,000 annual budget can reduce the backlog and maintain the current PCI of 78 over the

next 10 years. Scenario 3 with \$2,110,000 annual budget allocates adequate funding to improve the current PCI by 10 points in the next 10 years.

For the Unlimited Budget Scenario, the PCI drops after the initial spike to 90 for two reasons. First, based on the decision tree, no treatment is applied to pavement sections with PCI greater than 85. Second, the maintenance and rehabilitation treatments considered in this analysis do not reset the PCI to 100.

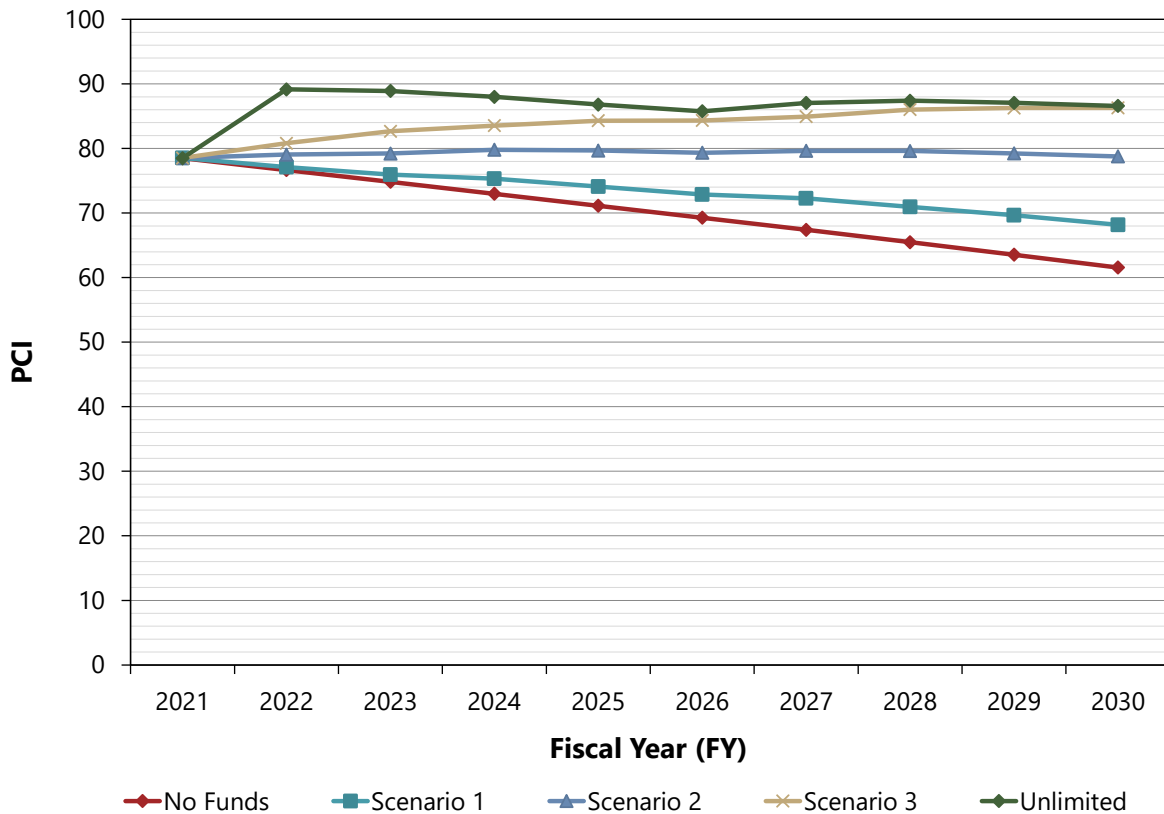


Figure 4.6: PCI Comparisons among Different Scenarios

4.7 Deferred Backlog Analysis

An additional analysis based on No Funds Scenario was performed to show the cost of deferred treatments. Such analysis reflects how the treatment cost increases in subsequent years due to the lack of M&R activities. Deferred backlog analysis results are included in Table 4.5 and Figure 4.7. It can be observed that the total backlogs are increasing steadily with time. For example, for a section that requires a maintenance activity such as crack seal in year 1, if applying the crack seal is deferred, a more expensive rehabilitation treatment might be needed by the end of year 3 or 4 due to continuous deterioration. Since costs of treatment activities increase from

maintenance to rehabilitation to reconstruction activities, total backlog increases with time if a treatment is deferred.

As shown in Table 4.5, if City does not perform any treatment activity on pavements in the next 10 years, maintenance, rehabilitation, and reconstruction backlogs are going to be \$0.62M, \$8.50M, and \$49.65M, respectively. It should be noted that the unit cost for each treatment type is increased by 3% in consecutive years because of inflation.

Table 4.5: Deferred Backlog Analysis Summary

Plan Year	FY	Maintenance Backlog ¹	Rehabilitation ² Backlog ¹	Reconstruction Backlog ¹	Total Backlog ¹	PCI	Change in PCI
1	2021	\$0.36M	\$3.58M	\$11.55M	\$15.50M	78	0
2	2022	\$0.38M	\$4.05M	\$12.66M	\$17.09M	76	-2
3	2023	\$0.43M	\$4.45M	\$15.80M	\$20.68M	74	-4
4	2024	\$0.42M	\$4.91M	\$18.35M	\$23.68M	73	-5
5	2025	\$0.44M	\$5.02M	\$23.35M	\$28.81M	71	-7
6	2026	\$0.50M	\$5.68M	\$28.07M	\$34.24M	69	-9
7	2027	\$0.53M	\$6.28M	\$31.63M	\$38.44M	67	-11
8	2028	\$0.57M	\$6.65M	\$38.27M	\$45.50M	65	-13
9	2029	\$0.64M	\$7.44M	\$42.80M	\$50.88M	63	-15
10	2030	\$0.62M	\$8.50M	\$49.65M	\$58.77M	61	-17

¹ Backlog cost in millions of dollars.

² Including minor and major rehabilitation Activities.

Figure 4.7 shows the plan year with PCI on the x-axis and the backlog amounts on the y-axis by treatment types (i.e., maintenance, rehabilitation, and reconstruction). It is clearly shown that the deterioration of an unimproved network causes the annual cost of repairs to increase significantly as treatment activities are deferred.

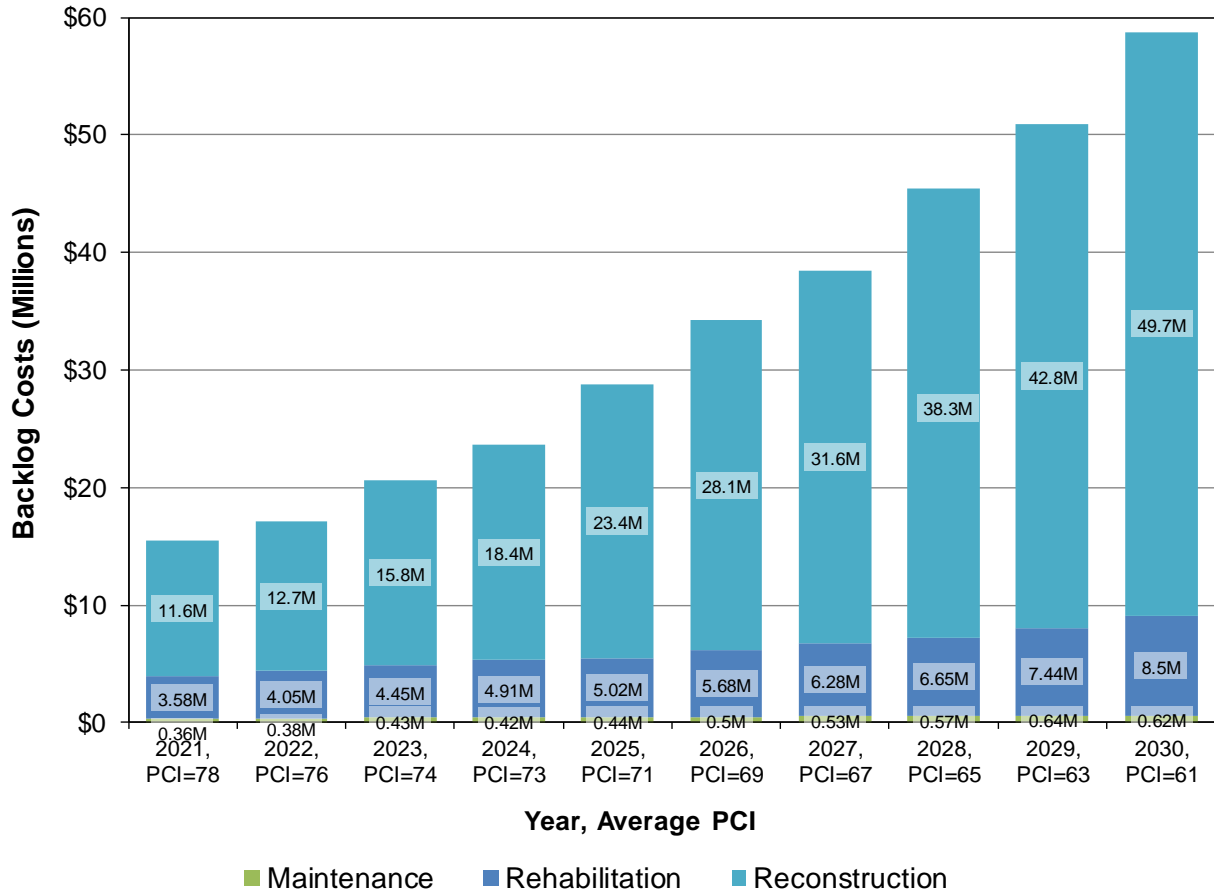


Figure 4.7: Treatment Backlog Cost by Year (No Funds Scenario)

5. Recommendations

Several budgets and target driven scenarios have been discussed to provide 10-year M&R work plan options for the City. Fugro is making the following recommendations to the City for consideration:

- PMS analysis is an ongoing process. Fugro recommends that the City periodically reviews and updates its PMS program. Pavement maintenance and rehabilitation information will need to be updated in the PMS database at least on an annual basis. Unit cost data for various M&R treatments should also be updated annually. The City's M&R Work Plan should be updated annually given its revised fiscal year and forecasted budgets.
- It is recommended that the City investigates the use of other innovative treatments such as full-depth reclamation, bonded concrete overlay, and whitetopping as potential future M&R strategies. Fugro can work with the City to develop an implementation plan if requested.
- It is recommended that the City collects a new round of pavement distress data at least every three years. Periodic collection of network distress data will greatly enhance the accuracy of network level multi-year plans and will result in significant cost savings for the City over time.
- It is recommended that the City considers adding additional pavement related data in its PMS database including structural layer thickness information (from Ground Penetrating Radar studies) and pavement stiffness information (from Falling Weight Deflectometer studies). This additional data can be used, in conjunction with the pavement distress data and road profiling data, to develop more comprehensive pavement condition indices such as the Overall Pavement Condition Index (OCI), which is used by several agencies throughout the State of Texas and across the US.
- In addition, Fugro recommends collecting data for ROW assets of the City, including sidewalks, ADA ramps, signals, signs and pavement markings. Fugro recommends that the City collects ROW asset data every 3 to 5 years. Fugro can collect ROW asset data using its ARAN fleet at the same time as pavement distress data collection. Periodic collection and updates of the ROW asset inventory provides the City with the necessary information to develop and maintain an effective asset management system. With regular updates, the asset management system will help identifying the current needs of the network and provide information for effective allocation of City budget to maintain existing assets or add new ones as necessary.

6. Conditions

The professional services that form the basis for this report have been performed using that degree of care and skill ordinarily exercised, under similar circumstances, by reputable pavement engineers practicing in the same locality. No other warranty, expressed or implied, is made as the professional advice set forth.

The results, conclusions, and recommendations contained in this report are directed at, and are intended to be utilized within the scope of work contained in the agreement executed by Fugro USA Land, Inc. and the client. This report is not intended to be used for any other purposes. Fugro USA Land, Inc. makes no claim or representation concerning any activity or condition falling outside the specified purposes to which this report is directed, said purposes being specifically limited to the scope of work as defined in said agreement. Inquiries as to said scope of work or concerning any activity or condition not specifically contained therein should be directed to Fugro USA Land, Inc. for a determination and, if necessary, further investigation.

7. References

- PAVER Asphalt Distress Manual: Pavement Distress Identification Guide for Asphalt-Surfaced Roads and Parking Lots. TR/104, U.S. Army Corps of Engineers Construction Engineering Research Laboratories, 1997.
- Shahin, M. Y. Pavement Management for Airports, Roads, and Parking Lots. Springer, Second Edition, 1994.
- ASTM D6433-18, Standard Practice for Roads and Parking Lots Pavement Condition Index Surveys, ASTM International, West Conshohocken, PA, 2018.
- ASTM E950 / E950M-09(2018), Standard Test Method for Measuring the Longitudinal Profile of Traveled Surfaces with an Accelerometer-Established Inertial Profiling Reference, ASTM International, West Conshohocken, PA, 2018.
- ASTM E1926 – Standard Practice for Computing International Roughness Index of Roads from Longitudinal Profile Measurements, ASTM International, West Conshohocken, PA, 2015.

Appendix A. Field Comments

Road Segments Not Collected

Section ID	Road Name	Length (Miles)	Comments
RD-62	VILLA WAY	0.035	Private Road - gated private
RD-64	VILLA WAY	0.007	Private Road - gated private
RD-121	SERENDIPITY HILLS TRL	0.051	Other - client does not want
RD-170	VILLA CT	0.086	Private Road - gated private
RD-171	VILLA CT	0.108	Private Road - gated private
RD-300	CORINTH PKWY	0.007	Road Closed - road split by Blvd; unable to collect
RD-997	RIVIERA DR	0.025	Unable to collect
	Total Length	0.025	

Road Segments Collected Partially

Section ID	Road Name	Routed Length (Miles)	Matched Length (Miles)	Uncollected Length (Miles)	Comments
RD-242	BRIARS	0.027	0.007	0.02	Start of the road doesn't exist
RD-283	SHARON DR	0.349	0.337	0.012	Start of the road doesn't exist
RD-487	HOLLIS DR	0.231	0.218	0.013	Start of the road doesn't exist
RD-562	NAVAJO RD	0.153	0.137	0.016	Started late_road closed
RD-599	ALCOVE LN	0.178	0.165	0.013	Start of the road doesn't exist
RD-605	BRANDI LN	0.20	0.188	0.012	Start of the road doesn't exist
RD-731	INDIAN LAKE TRL	0.21	0.193	0.017	Start of the road doesn't exist
RD-835	BURL ST	0.201	0.099	0.102	Started late
RD-950	SCENIC DR	0.092	0.031	0.061	Started late_road closed
RD-952	WINSTON DR	0.138	0.117	0.021	Start of the road doesn't exist
RD-1015	OAK BLUFF DR	0.431	0.24	0.191	Gated
RD-1045	SILVER MEADOW LN	0.508	0.492	0.016	Started late_gated
RD-1128	VENICE DR	0.107	0.084	0.023	Start of the road doesn't exist
RD-9991	AMHERST DR	0.146	0.129	0.017	Start of the road doesn't exist
			Total Length	0.572	

Appendix B. Network Condition Listings

Network Condition Listings

Section C, Item 3.

Section ID	Road Name	Pavement Length (ft)	Pavement Area (ft ²)	Pavement Type	Functional Class	Inspection Date	PCI	IRI
RD-233	ACROPOLIS DR	465	11243	Jointed Concrete (JCP)	Local	8/6/2020	63	257
RD-864	ACROPOLIS DR	275	6645	Jointed Concrete (JCP)	Local	8/6/2020	100	138
RD-407	AINSLEY CT	554	13971	Jointed Concrete (JCP)	Local	8/7/2020	86	183
RD-429	AINSLEY CT	190	4676	Jointed Concrete (JCP)	Local	8/7/2020	94	-1
RD-559	ALCOVE LN	380	9505	Jointed Concrete (JCP)	Local	8/5/2020	90	219
RD-598	ALCOVE LN	428	10693	Jointed Concrete (JCP)	Local	8/5/2020	79	500
RD-599	ALCOVE LN	63	1585	Jointed Concrete (JCP)	Local	8/5/2020	77	-1
RD-1109	ALLOWAY DR	301	7284	Jointed Concrete (JCP)	Local	8/7/2020	91	188
RD-1110	ALLOWAY DR	248	6006	Jointed Concrete (JCP)	Local	8/7/2020	100	283
RD-9991	AMHERST DR	53	1320	Jointed Concrete (JCP)	Local	8/6/2020	67	-1
RD-9992	AMHERST DR	459	11301	Jointed Concrete (JCP)	Local	8/6/2020	76	184
RD-9993	AMHERST DR	169	4225	Jointed Concrete (JCP)	Local	8/6/2020	28	-1
RD-266	ANDOVER LN	354	8916	Jointed Concrete (JCP)	Local	8/7/2020	66	264
RD-285	ANDOVER LN	275	6810	Jointed Concrete (JCP)	Local	8/7/2020	77	200
RD-302	ANDOVER LN	269	6625	Jointed Concrete (JCP)	Local	8/7/2020	67	288
RD-310	ANDOVER LN	253	6386	Jointed Concrete (JCP)	Local	8/7/2020	69	230
RD-390	ANDOVER LN	264	6600	Jointed Concrete (JCP)	Local	8/7/2020	63	240
RD-423	ANDOVER LN	269	6679	Jointed Concrete (JCP)	Local	8/7/2020	58	394
RD-50	ANDOVER LN	317	7983	Jointed Concrete (JCP)	Local	8/7/2020	59	258
RD-427	ANDREW CT	475	11880	Jointed Concrete (JCP)	Local	8/7/2020	98	216
RD-1028	APACHE TRL	349	8573	Jointed Concrete (JCP)	Local	8/7/2020	95	180
RD-1057	APACHE TRL	195	4807	Jointed Concrete (JCP)	Local	8/7/2020	100	238
RD-672	APACHE TRL	613	15068	Jointed Concrete (JCP)	Local	8/7/2020	100	268
RD-1084	ARDGLASS TRL	692	17569	Jointed Concrete (JCP)	Local	8/7/2020	94	259
RD-1088	ARDGLASS TRL	248	6255	Jointed Concrete (JCP)	Local	8/7/2020	100	236
RD-474	ARDGLASS TRL	407	10246	Jointed Concrete (JCP)	Local	8/7/2020	76	315
RD-475	ARDGLASS TRL	475	11785	Jointed Concrete (JCP)	Local	8/7/2020	79	279
RD-530	ARDGLASS TRL	312	7788	Jointed Concrete (JCP)	Local	8/7/2020	84	237
RD-82	ARDGLASS TRL	158	3928	Jointed Concrete (JCP)	Local	8/7/2020	78	449
RD-434	ASH LN	1109	27055	Jointed Concrete (JCP)	Local	8/7/2020	95	221
RD-504	ASH LN	813	19840	Jointed Concrete (JCP)	Local	8/7/2020	90	171

Network Condition Listings

Section C, Item 3.

Section ID	Road Name	Pavement Length (ft)	Pavement Area (ft ²)	Pavement Type	Functional Class	Inspection Date	PCI	IRI
RD-634	ASH LN	549	13398	Jointed Concrete (JCP)	Local	8/7/2020	96	214
RD-1033	ASHTON GARDENS LN	919	22784	Jointed Concrete (JCP)	Local	8/7/2020	80	435
RD-826	ASHWOOD LN	686	16748	Jointed Concrete (JCP)	Local	8/6/2020	69	222
RD-833	ASHWOOD LN	95	2204	Jointed Concrete (JCP)	Local	8/6/2020	89	276
RD-839	ASHWOOD LN	333	8315	Jointed Concrete (JCP)	Local	8/6/2020	100	219
RD-865	ASHWOOD LN	206	5106	Jointed Concrete (JCP)	Local	8/6/2020	97	509
RD-117	ASPEN	375	9373	Asphalt Concrete (ACP)	Local	8/5/2020	73	-1
RD-863	ATHENS DR	634	16093	Jointed Concrete (JCP)	Local	8/6/2020	96	141
RD-909	ATTAWAY CIR	301	7525	Jointed Concrete (JCP)	Local	8/5/2020	87	-1
RD-908	ATTAWAY CV	475	11120	Jointed Concrete (JCP)	Local	8/5/2020	84	291
RD-359	AVON DR	929	18400	Asphalt Concrete (ACP)	Local	8/5/2020	44	139
RD-245	BAKER DR	264	6600	Jointed Concrete (JCP)	Local	8/6/2020	100	139
RD-686	BAKER DR	433	10392	Jointed Concrete (JCP)	Local	8/6/2020	93	138
RD-213	BALLADEER	248	6155	Jointed Concrete (JCP)	Local	8/6/2020	73	-1
RD-578	BALLADEER	275	6865	Asphalt Concrete (ACP)	Local	8/6/2020	74	-1
RD-1048	BALLYCASTLE LN	116	2812	Jointed Concrete (JCP)	Local	8/7/2020	66	468
RD-1083	BALLYCASTLE LN	370	8944	Jointed Concrete (JCP)	Local	8/7/2020	96	195
RD-1086	BALLYCASTLE LN	322	7795	Jointed Concrete (JCP)	Local	8/7/2020	91	235
RD-1087	BALLYCASTLE LN	217	5239	Jointed Concrete (JCP)	Local	8/7/2020	100	179
RD-550	BALLYCASTLE LN	544	13160	Jointed Concrete (JCP)	Local	8/7/2020	90	235
RD-551	BALLYCASTLE LN	438	10604	Jointed Concrete (JCP)	Local	8/7/2020	76	262
RD-653	BARTON SPRINGS DR	866	21648	Jointed Concrete (JCP)	Local	8/6/2020	51	207
RD-655	BARTON SPRINGS DR	58	1453	Jointed Concrete (JCP)	Local	8/6/2020	17	-1
RD-657	BARTON SPRINGS DR	539	13465	Jointed Concrete (JCP)	Local	8/6/2020	67	252
RD-555	BECKLEY CT	116	2928	Jointed Concrete (JCP)	Local	8/5/2020	78	-1
RD-557	BECKLEY CT	285	7185	Jointed Concrete (JCP)	Local	8/5/2020	78	353
RD-1091	BELLE WAY	264	6600	Jointed Concrete (JCP)	Local	8/5/2020	77	309
RD-1175	BELLE WAY	333	8315	Jointed Concrete (JCP)	Local	8/5/2020	82	394
RD-579	BELLVIEW DR	560	13993	Jointed Concrete (JCP)	Local	8/5/2020	71	150
RD-963	BENBROOK CV	544	13377	Jointed Concrete (JCP)	Local	8/5/2020	94	192
RD-232	BENWICK DR	412	10295	Jointed Concrete (JCP)	Local	8/6/2020	88	273

Network Condition Listings

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Section ID	Road Name	Pavement Length (ft)	Pavement Area (ft ²)	Pavement Type	Functional Class	Inspection Date	PCI	IRI
RD-314	BERKSHIRE LN	634	15967	Jointed Concrete (JCP)	Local	8/5/2020	88	217
RD-317	BERKSHIRE LN	512	12907	Jointed Concrete (JCP)	Local	8/5/2020	85	376
RD-595	BERKSHIRE LN	121	3035	Jointed Concrete (JCP)	Local	8/5/2020	100	-1
RD-596	BERKSHIRE LN	269	6786	Jointed Concrete (JCP)	Local	8/5/2020	81	448
RD-1061	BIRCH LN	496	12308	Jointed Concrete (JCP)	Local	8/7/2020	91	165
RD-214	BIRCH LN	301	7645	Jointed Concrete (JCP)	Local	8/7/2020	76	169
RD-222	BIRCH LN	301	7525	Jointed Concrete (JCP)	Local	8/7/2020	93	230
RD-248	BIRCH LN	628	15959	Jointed Concrete (JCP)	Local	8/7/2020	98	198
RD-678	BIRCH LN	380	9581	Jointed Concrete (JCP)	Local	8/7/2020	88	181
RD-185	BIRDWOOD CIR	517	12935	Jointed Concrete (JCP)	Local	8/5/2020	86	219
RD-1012	BLACK JACK DR	269	6733	Jointed Concrete (JCP)	Local	8/5/2020	96	179
RD-993	BLACK JACK DR	354	8845	Jointed Concrete (JCP)	Local	8/5/2020	83	174
RD-433	BLAKE ST	354	8916	Jointed Concrete (JCP)	Local	8/5/2020	86	207
RD-439	BLAKE ST	523	12963	Jointed Concrete (JCP)	Local	8/5/2020	98	156
RD-659	BLAKE ST	528	13306	Jointed Concrete (JCP)	Local	8/5/2020	100	135
RD-190	BLUE HOLLY DR	275	6865	Jointed Concrete (JCP)	Local	8/7/2020	100	248
RD-460	BLUE HOLLY DR	290	7260	Jointed Concrete (JCP)	Local	8/7/2020	100	166
RD-561	BLUE HOLLY DR	285	7242	Jointed Concrete (JCP)	Local	8/7/2020	100	112
RD-613	BLUE HOLLY DR	185	4583	Jointed Concrete (JCP)	Local	8/7/2020	100	-1
RD-782	BLUE JAY DR	312	6417	Jointed Concrete (JCP)	Local	8/6/2020	99	-1
RD-827	BLUE JAY DR	649	13248	Jointed Concrete (JCP)	Local	8/6/2020	96	166
RD-866	BLUE JAY DR	745	14890	Jointed Concrete (JCP)	Local	8/6/2020	100	174
RD-1092	BONANZA CT	153	3828	Jointed Concrete (JCP)	Local	8/5/2020	79	-1
RD-1089	BONANZA LN	391	9768	Jointed Concrete (JCP)	Local	8/5/2020	77	213
RD-1093	BONANZA LN	539	13465	Jointed Concrete (JCP)	Local	8/5/2020	88	173
RD-1094	BONANZA LN	385	9635	Jointed Concrete (JCP)	Local	8/5/2020	80	213
RD-1047	BOULDER DR	459	10291	Asphalt Concrete (ACP)	Local	8/5/2020	50	204
RD-372	BOULDER DR	533	11839	Asphalt Concrete (ACP)	Local	8/5/2020	56	188
RD-243	BOWIE LN	201	5055	Jointed Concrete (JCP)	Local	8/6/2020	94	194
RD-249	BOWIE LN	58	1418	Jointed Concrete (JCP)	Local	8/6/2020	81	-1
RD-257	BOWIE LN	137	3433	Jointed Concrete (JCP)	Local	8/6/2020	100	-1

Network Condition Listings

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Section ID	Road Name	Pavement Length (ft)	Pavement Area (ft ²)	Pavement Type	Functional Class	Inspection Date	PCI	IRI
RD-418	BOWIE LN	570	14255	Jointed Concrete (JCP)	Local	8/6/2020	100	150
RD-501	BOWIE LN	380	9581	Jointed Concrete (JCP)	Local	8/6/2020	100	147
RD-574	BOWIE LN	301	6261	Jointed Concrete (JCP)	Local	8/6/2020	100	141
RD-286	BRADFORD CT	269	6463	Jointed Concrete (JCP)	Local	8/7/2020	100	359
RD-290	BRADFORD CT	206	4942	Jointed Concrete (JCP)	Local	8/7/2020	100	-1
RD-230	BRAMPTON DR	248	5262	Jointed Concrete (JCP)	Local	8/6/2020	71	283
RD-583	BRAMPTON DR	290	6563	Jointed Concrete (JCP)	Local	8/6/2020	76	240
RD-828	BRAMPTON DR	280	5988	Jointed Concrete (JCP)	Local	8/6/2020	86	199
RD-842	BRAMPTON DR	290	5576	Jointed Concrete (JCP)	Local	8/6/2020	90	231
RD-416	BRANDI LN	269	6733	Jointed Concrete (JCP)	Local	8/6/2020	48	249
RD-431	BRANDI LN	401	10033	Jointed Concrete (JCP)	Local	8/6/2020	80	187
RD-605	BRANDI LN	137	3433	Jointed Concrete (JCP)	Local	8/6/2020	92	-1
RD-624	BRANDI LN	185	4509	Jointed Concrete (JCP)	Local	8/6/2020	88	136
RD-619	BRAZOS DR	285	7128	Jointed Concrete (JCP)	Local	8/6/2020	50	289
RD-628	BRAZOS DR	861	21515	Jointed Concrete (JCP)	Local	8/6/2020	44	238
RD-630	BRAZOS DR	58	1453	Jointed Concrete (JCP)	Local	8/6/2020	18	-1
RD-633	BRAZOS DR	528	13200	Jointed Concrete (JCP)	Local	8/6/2020	25	378
RD-179	BREEZEHOLLOW WAY	296	6801	Jointed Concrete (JCP)	Local	8/5/2020	83	209
RD-69	BREEZEHOLLOW WAY	275	5822	Jointed Concrete (JCP)	Local	8/5/2020	86	-1
RD-642	BRETT RD	956	23893	Jointed Concrete (JCP)	Local	8/5/2020	100	100
RD-647	BRETT RD	454	11353	Jointed Concrete (JCP)	Local	8/5/2020	100	127
RD-242	BRIARS	37	925	Asphalt Concrete (ACP)	Local	8/6/2020	71	-1
RD-883	BRIDGESTONE CT	364	9108	Jointed Concrete (JCP)	Local	8/6/2020	56	-1
RD-884	BRIDGESTONE DR	956	23893	Jointed Concrete (JCP)	Local	8/6/2020	73	183
RD-942	BRIDGESTONE DR	306	7655	Jointed Concrete (JCP)	Local	8/6/2020	67	180
RD-888	BROOKSHIRE RUN	1552	36945	Jointed Concrete (JCP)	Local	8/6/2020	92	171
RD-690	BROOKSIDE DR	370	9388	Jointed Concrete (JCP)	Local	8/5/2020	100	197
RD-297	BROOKVIEW DR	164	3896	Jointed Concrete (JCP)	Local	8/5/2020	86	-1
RD-298	BROOKVIEW DR	259	6157	Jointed Concrete (JCP)	Local	8/5/2020	77	170
RD-662	BROOKVIEW DR	259	6157	Jointed Concrete (JCP)	Local	8/5/2020	76	190
RD-664	BROOKVIEW DR	253	6031	Jointed Concrete (JCP)	Local	8/5/2020	91	218

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Section ID	Road Name	Pavement Length (ft)	Pavement Area (ft ²)	Pavement Type	Functional Class	Inspection Date	PCI	IRI
RD-665	BROOKVIEW DR	253	6031	Jointed Concrete (JCP)	Local	8/5/2020	87	208
RD-523	BUCKBOARD CIR	269	7433	Jointed Concrete (JCP)	Local	8/5/2020	100	-1
RD-936	BUCKINGHAM DR	343	8580	Jointed Concrete (JCP)	Local	8/6/2020	96	175
RD-947	BUCKINGHAM DR	322	8053	Jointed Concrete (JCP)	Local	8/6/2020	100	320
RD-379	BUENA VISTA CIR	401	10193	Jointed Concrete (JCP)	Local	8/5/2020	86	227
RD-442	BURL ST	280	7722	Jointed Concrete (JCP)	Local	8/5/2020	92	668
RD-835	BURL ST	243	6704	Asphalt Concrete (ACP)	Local	8/5/2020	77	346
RD-965	BURRWOOD CIR	174	4355	Jointed Concrete (JCP)	Local	8/5/2020	94	-1
RD-1191	BUSTER WAY	269	6733	Jointed Concrete (JCP)	Local	8/5/2020	100	418
RD-263	CALADIUM DR	544	13160	Jointed Concrete (JCP)	Local	8/7/2020	80	259
RD-264	CALADIUM DR	481	11628	Jointed Concrete (JCP)	Local	8/7/2020	83	264
RD-999	CANNES DR	681	16755	Jointed Concrete (JCP)	Local	8/5/2020	79	318
RD-511	CARRIAGE LANE CIR	343	8717	Jointed Concrete (JCP)	Local	8/5/2020	97	-1
RD-683	CARRIAGE WHEEL	327	8185	Jointed Concrete (JCP)	Local	8/6/2020	66	-1
RD-327	CASSIDY LN	58	1441	Jointed Concrete (JCP)	Local	8/6/2020	17	-1
RD-412	CASSIDY LN	285	7070	Jointed Concrete (JCP)	Local	8/6/2020	67	350
RD-415	CASSIDY LN	280	6939	Jointed Concrete (JCP)	Local	8/6/2020	67	367
RD-843	CASTLEGATE DR	533	11626	Jointed Concrete (JCP)	Local	8/6/2020	84	393
RD-1059	CEDAR ELM DR	343	8649	Jointed Concrete (JCP)	Local	8/7/2020	96	141
RD-208	CEDAR ELM DR	417	10511	Jointed Concrete (JCP)	Local	8/7/2020	92	141
RD-563	CEDAR ELM DR	449	11220	Jointed Concrete (JCP)	Local	8/7/2020	89	175
RD-677	CEDAR ELM DR	243	6170	Jointed Concrete (JCP)	Local	8/7/2020	100	543
RD-679	CEDAR ELM DR	301	7585	Jointed Concrete (JCP)	Local	8/7/2020	77	285
RD-681	CEDAR ELM DR	301	7645	Jointed Concrete (JCP)	Local	8/7/2020	99	143
RD-333	CHALKSTONE CIR	227	5675	Jointed Concrete (JCP)	Local	8/5/2020	100	-1
RD-332	CHALKSTONE CV	539	13465	Jointed Concrete (JCP)	Local	8/5/2020	85	193
RD-829	CHAMBRAY DR	517	12935	Jointed Concrete (JCP)	Local	8/6/2020	85	232
RD-392	CHAPEL PL	227	5766	Asphalt Concrete (ACP)	Local	8/5/2020	56	736
RD-937	CHELSEA CT	153	3828	Jointed Concrete (JCP)	Local	8/6/2020	49	-1
RD-698	CHEROKEE TRL	496	12408	Jointed Concrete (JCP)	Local	8/6/2020	100	290
RD-172	CHERRY LN	655	16368	Asphalt Concrete (ACP)	Local	8/5/2020	74	256

Network Condition Listings

Section C, Item 3.

Section ID	Road Name	Pavement Length (ft)	Pavement Area (ft ²)	Pavement Type	Functional Class	Inspection Date	PCI	IRI
RD-1029	CHEYENNE TRL	201	5095	Jointed Concrete (JCP)	Local	8/7/2020	87	-1
RD-1058	CHEYENNE TRL	412	10377	Jointed Concrete (JCP)	Local	8/7/2020	90	221
RD-671	CHEYENNE TRL	496	12606	Jointed Concrete (JCP)	Local	8/7/2020	95	229
RD-209	CHIPPEWA CT	148	3754	Jointed Concrete (JCP)	Local	8/7/2020	99	-1
RD-568	CHISHOLM TRL	301	7525	Jointed Concrete (JCP)	Local	8/6/2020	87	-1
RD-771	CHISHOLM TRL	781	19379	Jointed Concrete (JCP)	Local	8/6/2020	67	208
RD-34	CHURCH DR	364	8015	Jointed Concrete (JCP)	Collector	8/9/2020	96	194
RD-35	CHURCH DR	739	16041	Jointed Concrete (JCP)	Collector	8/9/2020	94	206
RD-36	CHURCH DR	1098	23721	Jointed Concrete (JCP)	Collector	8/9/2020	93	161
RD-38	CHURCH DR	343	7619	Jointed Concrete (JCP)	Collector	8/9/2020	99	231
RD-40	CHURCH DR	1225	27073	Jointed Concrete (JCP)	Collector	8/9/2020	92	160
RD-84	CHURCH DR	385	8517	Jointed Concrete (JCP)	Collector	8/9/2020	89	202
RD-86	CHURCH DR	602	12881	Jointed Concrete (JCP)	Collector	8/9/2020	92	202
RD-1068	CLARK DR	259	6468	Jointed Concrete (JCP)	Local	8/6/2020	100	291
RD-210	CLARK DR	253	6335	Jointed Concrete (JCP)	Local	8/6/2020	91	196
RD-567	CLARK DR	317	7920	Jointed Concrete (JCP)	Local	8/6/2020	82	377
RD-692	CLARK DR	385	9481	Jointed Concrete (JCP)	Local	8/6/2020	92	216
RD-748	CLARK DR	312	7788	Jointed Concrete (JCP)	Local	8/6/2020	88	183
RD-775	CLAY TRL	359	8975	Jointed Concrete (JCP)	Local	8/7/2020	99	364
RD-799	CLAY TRL	290	7376	Jointed Concrete (JCP)	Local	8/7/2020	98	169
RD-821	CLAY TRL	296	7511	Jointed Concrete (JCP)	Local	8/7/2020	100	166
RD-445	CLEARVIEW DR	253	6436	Jointed Concrete (JCP)	Local	8/5/2020	66	273
RD-483	CLEARVIEW DR	248	6304	Jointed Concrete (JCP)	Local	8/5/2020	56	455
RD-795	CLEARVIEW DR	290	7376	Jointed Concrete (JCP)	Local	8/5/2020	64	770
RD-836	CLEARVIEW DR	248	6255	Jointed Concrete (JCP)	Local	8/5/2020	47	265
RD-841	CLIFF OAKS DR	623	17195	Jointed Concrete (JCP)	Local	8/6/2020	87	154
RD-845	CLIFF OAKS DR	296	8161	Jointed Concrete (JCP)	Local	8/6/2020	74	221
RD-847	CLIFF OAKS DR	787	19431	Asphalt Concrete (ACP)	Collector	8/9/2020	83	161
RD-849	CLIFF OAKS DR	1827	44211	Asphalt Concrete (ACP)	Collector	8/9/2020	64	163
RD-851	CLIFF OAKS DR	190	5247	Jointed Concrete (JCP)	Local	8/6/2020	64	204
RD-580	CLIFFVIEW DR	982	24160	Jointed Concrete (JCP)	Local	8/5/2020	87	238

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RD-710	CLIFFVIEW DR	438	10955	Jointed Concrete (JCP)	Local	8/5/2020	72	231
RD-311	CLUB VIEW CIR	576	14503	Jointed Concrete (JCP)	Local	8/7/2020	78	-1
RD-354	CLUBSIDE DR	259	6571	Jointed Concrete (JCP)	Local	8/7/2020	81	283
RD-512	CLUBSIDE DR	570	14369	Jointed Concrete (JCP)	Local	8/7/2020	85	229
RD-784	COCHISE CT	164	4093	Jointed Concrete (JCP)	Local	8/6/2020	89	-1
RD-462	COPPER LEAF DR	544	13486	Jointed Concrete (JCP)	Local	8/7/2020	82	233
RD-463	COPPER LEAF DR	465	11429	Jointed Concrete (JCP)	Local	8/7/2020	79	334
RD-1041	CORINTH BEND	285	7128	Jointed Concrete (JCP)	Local	8/5/2020	90	364
RD-1090	CORINTH BEND	296	7393	Jointed Concrete (JCP)	Local	8/5/2020	81	275
RD-143	CORINTH BEND	132	3300	Jointed Concrete (JCP)	Local	8/5/2020	92	163
RD-68	CORINTH BEND	834	20855	Jointed Concrete (JCP)	Local	8/5/2020	95	126
RD-472	CORINTH FARMS TRL	296	7511	Jointed Concrete (JCP)	Local	8/5/2020	100	179
RD-505	CORINTH FARMS TRL	296	7511	Jointed Concrete (JCP)	Local	8/5/2020	96	225
RD-519	CORINTH FARMS TRL	248	6304	Jointed Concrete (JCP)	Local	8/5/2020	86	229
RD-528	CORINTH FARMS TRL	306	7777	Jointed Concrete (JCP)	Local	8/5/2020	86	204
RD-1035	CORINTH PKWY	180	8688	Jointed Concrete (JCP)	Minor Arterial	8/9/2020	92	529
RD-1104	CORINTH PKWY	53	2534	Jointed Concrete (JCP)	Minor Arterial	8/9/2020	100	160
RD-1137	CORINTH PKWY	1040	25173	Jointed Concrete (JCP)	Minor Arterial	8/6/2020	100	161
RD-1138	CORINTH PKWY	333	8049	Jointed Concrete (JCP)	Minor Arterial	8/9/2020	99	220
RD-18	CORINTH PKWY	137	6728	Jointed Concrete (JCP)	Minor Arterial	8/9/2020	100	244
RD-193	CORINTH PKWY	1478	70372	Jointed Concrete (JCP)	Minor Arterial	8/9/2020	100	152
RD-21	CORINTH PKWY	137	6645	Jointed Concrete (JCP)	Minor Arterial	8/9/2020	100	266
RD-236	CORINTH PKWY	2730	67699	Jointed Concrete (JCP)	Minor Arterial	8/6/2020	92	170
RD-237	CORINTH PKWY	37	925	Jointed Concrete (JCP)	Minor Arterial	8/9/2020	78	-1
RD-238	CORINTH PKWY	2714	63505	Jointed Concrete (JCP)	Minor Arterial	8/6/2020	88	299
RD-239	CORINTH PKWY	37	921	Jointed Concrete (JCP)	Minor Arterial	8/9/2020	94	-1
RD-271	CORINTH PKWY	417	10344	Jointed Concrete (JCP)	Minor Arterial	8/6/2020	97	136
RD-274	CORINTH PKWY	391	9924	Jointed Concrete (JCP)	Minor Arterial	8/6/2020	95	125
RD-275	CORINTH PKWY	1336	32594	Jointed Concrete (JCP)	Minor Arterial	8/6/2020	98	275
RD-291	CORINTH PKWY	507	12673	Jointed Concrete (JCP)	Minor Arterial	8/6/2020	100	120
RD-299	CORINTH PKWY	539	13465	Jointed Concrete (JCP)	Minor Arterial	8/6/2020	95	162

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Section ID	Road Name	Pavement Length (ft)	Pavement Area (ft ²)	Pavement Type	Functional Class	Inspection Date	PCI	IRI
RD-306	CORINTH PKWY	301	14749	Jointed Concrete (JCP)	Minor Arterial	8/9/2020	100	238
RD-363	CORINTH PKWY	306	14514	Jointed Concrete (JCP)	Minor Arterial	8/9/2020	100	148
RD-381	CORINTH PKWY	37	1343	Jointed Concrete (JCP)	Minor Arterial	8/9/2020	89	224
RD-386	CORINTH PKWY	2402	59580	Jointed Concrete (JCP)	Minor Arterial	8/6/2020	97	194
RD-408	CORINTH PKWY	269	12442	Jointed Concrete (JCP)	Minor Arterial	8/9/2020	100	273
RD-424	CORINTH PKWY	649	15715	Jointed Concrete (JCP)	Minor Arterial	8/6/2020	86	244
RD-426	CORINTH PKWY	639	15078	Jointed Concrete (JCP)	Minor Arterial	8/6/2020	98	205
RD-478	CORINTH PKWY	898	41649	Jointed Concrete (JCP)	Minor Arterial	8/9/2020	95	236
RD-507	CORINTH PKWY	586	27429	Jointed Concrete (JCP)	Minor Arterial	8/9/2020	82	251
RD-540	CORINTH PKWY	1415	65373	Jointed Concrete (JCP)	Minor Arterial	8/9/2020	96	182
RD-305	COVINGTON LN	671	17033	Jointed Concrete (JCP)	Local	8/7/2020	98	180
RD-280	CREEK BEND CT	465	11708	Jointed Concrete (JCP)	Local	8/5/2020	98	101
RD-1042	CREEK BEND DR	290	7260	Jointed Concrete (JCP)	Local	8/5/2020	90	151
RD-279	CREEK BEND DR	301	7525	Jointed Concrete (JCP)	Local	8/5/2020	96	117
RD-301	CREEK BEND DR	855	19503	Jointed Concrete (JCP)	Local	8/5/2020	90	129
RD-944	CREEK CROSSING DR	676	14327	Jointed Concrete (JCP)	Local	8/6/2020	88	273
RD-945	CREEK CROSSING DR	523	11081	Jointed Concrete (JCP)	Local	8/6/2020	100	192
RD-270	CREEK FALLS DR	750	17245	Jointed Concrete (JCP)	Local	8/5/2020	84	144
RD-273	CREEK FALLS DR	37	925	Jointed Concrete (JCP)	Local	8/5/2020	100	-1
RD-396	CREEK FALLS DR	253	6335	Jointed Concrete (JCP)	Local	8/5/2020	88	548
RD-267	CREEK HILL LN	1072	26795	Jointed Concrete (JCP)	Local	8/5/2020	84	223
RD-895	CREEKEDGE CT	1431	34342	Jointed Concrete (JCP)	Local	8/6/2020	46	261
RD-376	CREEKSIDE DR	803	20226	Jointed Concrete (JCP)	Local	8/7/2020	83	334
RD-79	CREEKSIDE DR	618	15013	Jointed Concrete (JCP)	Collector	8/10/2020	80	294
RD-81	CREEKSIDE DR	1299	32732	Jointed Concrete (JCP)	Collector	8/10/2020	91	364
RD-140	CREEKWOOD	375	9373	Asphalt Concrete (ACP)	Local	8/5/2020	69	137
RD-216	CROCKETT DR	829	20725	Jointed Concrete (JCP)	Local	8/6/2020	69	253
RD-224	CROCKETT DR	58	1453	Jointed Concrete (JCP)	Local	8/6/2020	81	-1
RD-761	CROCKETT DR	623	15575	Jointed Concrete (JCP)	Local	8/6/2020	86	321
RD-246	CRYSTAL SPRINGS DR	375	9373	Jointed Concrete (JCP)	Local	8/6/2020	89	232
RD-206	CUSTER DR	259	6468	Jointed Concrete (JCP)	Local	8/6/2020	81	464

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RD-488	CUSTER DR	285	7128	Jointed Concrete (JCP)	Local	8/6/2020	86	479
RD-489	CUSTER DR	285	7128	Jointed Concrete (JCP)	Local	8/6/2020	93	250
RD-684	CUSTER DR	454	11353	Jointed Concrete (JCP)	Local	8/6/2020	81	269
RD-769	CUSTER DR	908	22705	Jointed Concrete (JCP)	Local	8/6/2020	71	177
RD-785	CUSTER DR	290	7260	Jointed Concrete (JCP)	Local	8/6/2020	78	-1
RD-804	DALTON DR	1172	29305	Asphalt Concrete (ACP)	Local	8/5/2020	72	259
RD-958	DALTON DR	396	9900	Asphalt Concrete (ACP)	Local	8/5/2020	67	366
RD-93	DANBURY CIR	232	4600	Jointed Concrete (JCP)	Local	8/5/2020	85	236
RD-94	DANBURY CV	523	12858	Jointed Concrete (JCP)	Local	8/5/2020	79	246
RD-1121	DEMARSH LN	385	9481	Jointed Concrete (JCP)	Local	8/7/2020	62	184
RD-1122	DEMARSH LN	349	8782	Jointed Concrete (JCP)	Local	8/7/2020	93	168
RD-892	DERBY RUN	322	8053	Jointed Concrete (JCP)	Local	8/6/2020	81	305
RD-994	DIAMOND LEAF DR	776	19405	Jointed Concrete (JCP)	Local	8/5/2020	93	277
RD-9994	DICKINSON DR	422	10476	Jointed Concrete (JCP)	Local	8/6/2020	53	334
RD-9995	DICKINSON DR	517	12935	Jointed Concrete (JCP)	Local	8/6/2020	61	211
RD-9996	DICKINSON DR	169	4225	Jointed Concrete (JCP)	Local	8/6/2020	50	-1
RD-195	DOBBS RD	137	3336	Asphalt Concrete (ACP)	Minor Arterial	8/9/2020	45	334
RD-196	DOBBS RD	734	17907	Asphalt Concrete (ACP)	Minor Arterial	8/9/2020	47	164
RD-480	DOBBS RD	840	20400	Asphalt Concrete (ACP)	Minor Arterial	8/9/2020	94	248
RD-541	DOBBS RD	312	7351	Jointed Concrete (JCP)	Minor Arterial	8/9/2020	100	157
RD-542	DOBBS RD	607	15301	Asphalt Concrete (ACP)	Local	8/5/2020	37	263
RD-544	DOBBS RD	391	9338	Asphalt Concrete (ACP)	Minor Arterial	8/9/2020	82	191
RD-546	DOBBS RD	1019	24150	Asphalt Concrete (ACP)	Minor Arterial	8/9/2020	56	305
RD-800	DONALDSON CT	164	4158	Jointed Concrete (JCP)	Local	8/7/2020	100	-1
RD-490	DRISKELL DR	58	1453	Jointed Concrete (JCP)	Local	8/6/2020	8	-1
RD-687	DRISKELL DR	808	20195	Jointed Concrete (JCP)	Local	8/6/2020	60	307
RD-380	DRISKELL LN	586	14653	Jointed Concrete (JCP)	Local	8/6/2020	57	291
RD-1188	DUNCAN WAY	259	6468	Jointed Concrete (JCP)	Local	8/5/2020	100	255
RD-1189	DUNCAN WAY	275	6865	Jointed Concrete (JCP)	Local	8/5/2020	100	-1
RD-357	DUNDEE DR	924	18850	Asphalt Concrete (ACP)	Local	8/5/2020	44	287
RD-996	DURANCE CT	169	4225	Jointed Concrete (JCP)	Local	8/5/2020	94	-1

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Section ID	Road Name	Pavement Length (ft)	Pavement Area (ft ²)	Pavement Type	Functional Class	Inspection Date	PCI	IRI
RD-387	EAGLE RIDGE DR	866	20435	Jointed Concrete (JCP)	Local	8/7/2020	100	176
RD-553	EAST PARK LN	280	6995	Jointed Concrete (JCP)	Local	8/5/2020	93	208
RD-53	EMERALD PARK CT	370	9388	Jointed Concrete (JCP)	Local	8/5/2020	99	122
RD-1040	EMERALD PARK DR	243	6073	Jointed Concrete (JCP)	Local	8/5/2020	90	125
RD-44	EMERALD PARK DR	201	5015	Jointed Concrete (JCP)	Local	8/5/2020	86	150
RD-51	EMERALD PARK DR	565	14125	Jointed Concrete (JCP)	Local	8/5/2020	93	115
RD-9997	EMILY LN	481	12013	Jointed Concrete (JCP)	Local	8/6/2020	47	260
RD-814	ENCHANTED OAKS CIR	454	11353	Jointed Concrete (JCP)	Local	8/6/2020	95	309
RD-832	ENCHANTED OAKS CIR	517	12935	Jointed Concrete (JCP)	Local	8/6/2020	100	258
RD-943	ESSEX DR	327	8185	Jointed Concrete (JCP)	Local	8/6/2020	54	299
RD-1114	EVANS RD	312	7788	Jointed Concrete (JCP)	Local	8/7/2020	63	369
RD-539	EVERGREEN CV	148	3754	Jointed Concrete (JCP)	Local	8/5/2020	93	-1
RD-400	FAIR OAKS CIR	280	6995	Jointed Concrete (JCP)	Local	8/5/2020	100	175
RD-404	FAIR OAKS CIR	1056	25978	Jointed Concrete (JCP)	Local	8/5/2020	79	308
RD-453	FAIR OAKS CIR	317	7540	Jointed Concrete (JCP)	Local	8/5/2020	86	-1
RD-806	FAIR OAKS CIR	1410	34963	Jointed Concrete (JCP)	Local	8/5/2020	91	209
RD-1070	FAIRVIEW DR	195	5393	Jointed Concrete (JCP)	Local	8/5/2020	73	322
RD-219	FAIRVIEW DR	285	7869	Jointed Concrete (JCP)	Local	8/5/2020	93	227
RD-417	FAIRVIEW DR	349	9619	Jointed Concrete (JCP)	Local	8/5/2020	84	297
RD-420	FAIRVIEW DR	475	13116	Jointed Concrete (JCP)	Local	8/5/2020	79	319
RD-494	FAIRVIEW DR	613	16905	Jointed Concrete (JCP)	Local	8/5/2020	85	375
RD-565	FAIRVIEW DR	317	8744	Jointed Concrete (JCP)	Local	8/5/2020	91	241
RD-745	FAIRVIEW DR	565	15594	Jointed Concrete (JCP)	Local	8/5/2020	96	269
RD-787	FAIRVIEW DR	359	9908	Jointed Concrete (JCP)	Local	8/5/2020	72	402
RD-813	FAIRVIEW DR	327	9036	Jointed Concrete (JCP)	Local	8/5/2020	78	516
RD-837	FAIRVIEW DR	385	10637	Jointed Concrete (JCP)	Local	8/5/2020	92	154
RD-838	FAIRVIEW DR	829	22880	Jointed Concrete (JCP)	Local	8/5/2020	85	167
RD-45	FAIRWAY DR	713	17250	Jointed Concrete (JCP)	Local	8/7/2020	95	243
RD-47	FAIRWAY DR	201	4855	Jointed Concrete (JCP)	Local	8/7/2020	83	-1
RD-48	FAIRWAY DR	338	8177	Jointed Concrete (JCP)	Local	8/7/2020	95	594
RD-421	FAIRWAY VISTA DR	391	9924	Jointed Concrete (JCP)	Local	8/7/2020	46	404

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Section ID	Road Name	Pavement Length (ft)	Pavement Area (ft ²)	Pavement Type	Functional Class	Inspection Date	PCI	IRI
RD-425	FAIRWAY VISTA DR	180	4559	Jointed Concrete (JCP)	Local	8/7/2020	52	451
RD-1060	FALCON DR	454	11534	Jointed Concrete (JCP)	Local	8/7/2020	96	299
RD-378	FALCON DR	639	16100	Jointed Concrete (JCP)	Local	8/7/2020	96	145
RD-473	FIELDWOOD DR	121	3084	Jointed Concrete (JCP)	Local	8/5/2020	61	474
RD-477	FIELDWOOD DR	665	16499	Jointed Concrete (JCP)	Local	8/5/2020	81	197
RD-535	FIELDWOOD DR	243	6170	Jointed Concrete (JCP)	Local	8/5/2020	44	724
RD-676	FINCH LN	301	6441	Jointed Concrete (JCP)	Local	8/6/2020	100	592
RD-1130	FLORENCE DR	306	7716	Jointed Concrete (JCP)	Local	8/6/2020	97	376
RD-1132	FLORENCE DR	301	7585	Jointed Concrete (JCP)	Local	8/6/2020	88	276
RD-1134	FLORENCE DR	301	7525	Jointed Concrete (JCP)	Local	8/6/2020	92	296
RD-1136	FLORENCE DR	438	10955	Jointed Concrete (JCP)	Local	8/6/2020	92	199
RD-176	FORD DR	185	4176	Jointed Concrete (JCP)	Local	8/5/2020	86	-1
RD-39	FORD DR	470	10432	Asphalt Concrete (ACP)	Local	8/5/2020	60	163
RD-153	FOREST HILLS	428	10693	Asphalt Concrete (ACP)	Local	8/5/2020	70	150
RD-723	FORESTVIEW DR	1056	26400	Jointed Concrete (JCP)	Local	8/5/2020	96	236
RD-201	FORESTWOOD DR	290	7260	Asphalt Concrete (ACP)	Local	8/6/2020	62	403
RD-227	FORESTWOOD DR	407	10165	Asphalt Concrete (ACP)	Local	8/6/2020	75	186
RD-730	FORESTWOOD DR	296	7274	Asphalt Concrete (ACP)	Local	8/6/2020	76	153
RD-757	FORESTWOOD DR	174	4285	Asphalt Concrete (ACP)	Local	8/6/2020	73	-1
RD-721	FOUNTAINVIEW DR	1061	25683	Jointed Concrete (JCP)	Local	8/5/2020	100	154
RD-1161	FRITZ LN	401	10033	Asphalt Concrete (ACP)	Local	8/5/2020	27	234
RD-810	FRITZ LN	628	15708	Asphalt Concrete (ACP)	Local	8/5/2020	10	256
RD-979	FRITZ LN	1632	40788	Asphalt Concrete (ACP)	Local	8/5/2020	30	207
RD-980	FRITZ LN	449	11220	Asphalt Concrete (ACP)	Local	8/5/2020	21	347
RD-293	GERONIMO DR	290	7260	Jointed Concrete (JCP)	Local	8/6/2020	51	-1
RD-713	GERONIMO DR	481	12013	Jointed Concrete (JCP)	Local	8/6/2020	78	143
RD-268	GLEN AERIE DR	259	6519	Jointed Concrete (JCP)	Local	8/7/2020	96	194
RD-287	GLEN AERIE DR	618	15692	Jointed Concrete (JCP)	Local	8/7/2020	87	240
RD-388	GLEN AERIE DR	459	11393	Jointed Concrete (JCP)	Local	8/7/2020	78	322
RD-348	GLEN MANOR RD	253	6994	Jointed Concrete (JCP)	Local	8/5/2020	95	246
RD-371	GLEN MANOR RD	422	11658	Jointed Concrete (JCP)	Local	8/5/2020	97	233

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RD-520	GLEN MANOR RD	517	14280	Jointed Concrete (JCP)	Local	8/5/2020	98	185
RD-259	GLENCOE RD	723	18230	Jointed Concrete (JCP)	Local	8/5/2020	97	131
RD-262	GLENHAVEN DR	280	7107	Jointed Concrete (JCP)	Local	8/7/2020	100	123
RD-461	GLENHAVEN DR	285	7185	Jointed Concrete (JCP)	Local	8/7/2020	61	235
RD-560	GLENHAVEN DR	285	7242	Jointed Concrete (JCP)	Local	8/7/2020	85	220
RD-1165	GLENVIEW DR	301	7465	Jointed Concrete (JCP)	Local	8/5/2020	71	357
RD-744	GLENVIEW DR	143	3622	Jointed Concrete (JCP)	Local	8/5/2020	57	-1
RD-796	GLENVIEW DR	713	18105	Jointed Concrete (JCP)	Local	8/5/2020	87	213
RD-754	GOLD RUSH CT	69	1715	Jointed Concrete (JCP)	Local	8/6/2020	53	-1
RD-742	GOLD RUSH ST	359	8975	Jointed Concrete (JCP)	Local	8/6/2020	64	252
RD-747	GOLD RUSH ST	58	1453	Jointed Concrete (JCP)	Local	8/6/2020	62	-1
RD-419	GOLIAD CT	174	4355	Jointed Concrete (JCP)	Local	8/6/2020	17	-1
RD-1067	GOODNIGHT TRL	222	5545	Jointed Concrete (JCP)	Local	8/6/2020	70	443
RD-469	GOODNIGHT TRL	417	10428	Jointed Concrete (JCP)	Local	8/6/2020	56	324
RD-693	GOODNIGHT TRL	449	11040	Jointed Concrete (JCP)	Local	8/6/2020	85	294
RD-288	GOSHAWK LN	797	20092	Jointed Concrete (JCP)	Local	8/7/2020	87	200
RD-289	GOSHAWK LN	280	6995	Jointed Concrete (JCP)	Local	8/7/2020	84	-1
RD-368	GRASSY GLEN DR	359	9047	Jointed Concrete (JCP)	Local	8/5/2020	87	375
RD-369	GRASSY GLEN DR	565	14351	Jointed Concrete (JCP)	Local	8/5/2020	88	354
RD-312	GRAYSTONE LN	269	6733	Jointed Concrete (JCP)	Local	8/5/2020	100	116
RD-594	GRAYSTONE LN	491	12275	Jointed Concrete (JCP)	Local	8/5/2020	93	131
RD-622	GRAYSTONE LN	259	6468	Jointed Concrete (JCP)	Local	8/5/2020	100	151
RD-911	HAYDEN LN	723	18085	Jointed Concrete (JCP)	Local	8/5/2020	87	253
RD-913	HAYDEN LN	285	7128	Jointed Concrete (JCP)	Local	8/5/2020	90	187
RD-848	HAZELVIEW DR	158	4023	Jointed Concrete (JCP)	Local	8/5/2020	100	-1
RD-1085	HEARTLAND RD	475	11500	Jointed Concrete (JCP)	Local	8/7/2020	100	388
RD-805	HIDDEN OAKS CIR	1114	26293	Jointed Concrete (JCP)	Local	8/7/2020	70	409
RD-962	HIDDEN OAKS CIR	1003	23676	Jointed Concrete (JCP)	Local	8/7/2020	74	316
RD-964	HIDDEN OAKS DR	180	4416	Jointed Concrete (JCP)	Local	8/7/2020	37	-1
RD-969	HIDDEN OAKS DR	169	4293	Jointed Concrete (JCP)	Local	8/7/2020	50	-1
RD-852	HIDDEN SPRINGS CIR	127	3168	Jointed Concrete (JCP)	Local	8/6/2020	100	-1

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RD-791	HIDDEN SPRINGS DR	755	18573	Jointed Concrete (JCP)	Local	8/6/2020	99	204
RD-846	HIDDEN SPRINGS DR	1220	29517	Jointed Concrete (JCP)	Local	8/6/2020	83	219
RD-1066	HIGH POINTE DR	222	4613	Jointed Concrete (JCP)	Local	8/6/2020	47	202
RD-885	HIGH POINTE DR	560	11754	Jointed Concrete (JCP)	Local	8/6/2020	63	229
RD-935	HIGHLANDS DR	317	7920	Jointed Concrete (JCP)	Local	8/6/2020	100	180
RD-1145	HILLSIDE DR	301	6923	Asphalt Concrete (ACP)	Local	8/5/2020	13	527
RD-1146	HILLSIDE DR	327	7530	Asphalt Concrete (ACP)	Local	8/5/2020	64	196
RD-282	HILLSIDE DR	359	8113	Asphalt Concrete (ACP)	Local	8/5/2020	17	322
RD-292	HISTORY CRESCENT	106	2682	Jointed Concrete (JCP)	Local	8/7/2020	85	-1
RD-779	HISTORY CRESCENT	296	7511	Jointed Concrete (JCP)	Local	8/7/2020	96	221
RD-467	HOLLIS DR	539	13465	Jointed Concrete (JCP)	Local	8/6/2020	86	255
RD-487	HOLLIS DR	53	1320	Jointed Concrete (JCP)	Local	8/6/2020	100	-1
RD-667	HOLLIS DR	560	13545	Jointed Concrete (JCP)	Local	8/6/2020	78	357
RD-321	HUDSON DR	444	11088	Jointed Concrete (JCP)	Local	8/5/2020	98	122
RD-438	HUTCHINSON LN	253	6234	Jointed Concrete (JCP)	Local	8/5/2020	88	210
RD-705	INDIAN LAKE TRL	327	8316	Jointed Concrete (JCP)	Local	8/7/2020	94	158
RD-728	INDIAN LAKE TRL	275	6920	Jointed Concrete (JCP)	Local	8/7/2020	94	190
RD-731	INDIAN LAKE TRL	417	10428	Jointed Concrete (JCP)	Local	8/7/2020	76	271
RD-894	JESSE WAY	333	8315	Jointed Concrete (JCP)	Local	8/6/2020	83	507
RD-896	JESSE WAY	1098	27455	Jointed Concrete (JCP)	Local	8/6/2020	82	319
RD-393	JUNEAU CT	317	7920	Jointed Concrete (JCP)	Local	8/6/2020	84	198
RD-1026	JUNEAU DR	285	5360	Jointed Concrete (JCP)	Local	8/6/2020	68	324
RD-1027	JUNEAU DR	280	6044	Jointed Concrete (JCP)	Local	8/6/2020	83	364
RD-197	JUNEAU DR	1030	21828	Jointed Concrete (JCP)	Local	8/6/2020	80	353
RD-260	KENILWORTH DR	190	4791	Jointed Concrete (JCP)	Local	8/5/2020	100	234
RD-591	KENILWORTH DR	359	8903	Jointed Concrete (JCP)	Local	8/5/2020	86	310
RD-600	KENILWORTH DR	306	7349	Jointed Concrete (JCP)	Local	8/5/2020	82	311
RD-448	KILN DR	655	16368	Jointed Concrete (JCP)	Local	8/7/2020	84	353
RD-481	KILN DR	95	2356	Jointed Concrete (JCP)	Local	8/7/2020	100	-1
RD-818	KILN DR	63	1572	Jointed Concrete (JCP)	Local	8/7/2020	100	-1
RD-141	KNOB HILL DR	401	8909	Jointed Concrete (JCP)	Local	8/5/2020	90	266

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Section ID	Road Name	Pavement Length (ft)	Pavement Area (ft ²)	Pavement Type	Functional Class	Inspection Date	PCI	IRI
RD-161	NOB HILL DR	1230	27556	Jointed Concrete (JCP)	Local	8/5/2020	86	282
RD-104	KNOLL RIDGE CIR	523	11708	Jointed Concrete (JCP)	Local	8/5/2020	97	183
RD-455	KNOLL RIDGE CIR	169	3786	Jointed Concrete (JCP)	Local	8/5/2020	91	-1
RD-88	KNOLL RIDGE CIR	269	6032	Jointed Concrete (JCP)	Local	8/5/2020	100	172
RD-119	KNOLL RIDGE CT	206	4447	Jointed Concrete (JCP)	Local	8/5/2020	86	-1
RD-148	KNOLL RIDGE DR	1610	34463	Jointed Concrete (JCP)	Local	8/5/2020	84	282
RD-160	KNOLL RIDGE DR	306	6736	Jointed Concrete (JCP)	Local	8/5/2020	90	273
RD-162	KNOLL RIDGE DR	607	13601	Jointed Concrete (JCP)	Local	8/5/2020	94	297
RD-163	KNOLL RIDGE DR	121	2719	Jointed Concrete (JCP)	Local	8/5/2020	92	253
RD-1003	LAKE COVE CT	470	11841	Jointed Concrete (JCP)	Local	8/6/2020	100	267
RD-1002	LAKE GROVE CT	132	3643	Jointed Concrete (JCP)	Local	8/6/2020	77	-1
RD-1073	LAKE SHARON DR	1526	67445	Jointed Concrete (JCP)	Minor Arterial	8/10/2020	95	224
RD-192	LAKE SHARON DR	412	9883	Jointed Concrete (JCP)	Minor Arterial	8/10/2020	99	258
RD-194	LAKE SHARON DR	1769	82072	Jointed Concrete (JCP)	Minor Arterial	8/10/2020	88	188
RD-464	LAKE SHARON DR	2334	103621	Jointed Concrete (JCP)	Minor Arterial	8/10/2020	94	228
RD-547	LAKE SHARON DR	1621	73918	Jointed Concrete (JCP)	Minor Arterial	8/10/2020	99	199
RD-611	LAKE SHARON DR	877	39443	Jointed Concrete (JCP)	Minor Arterial	8/10/2020	94	233
RD-614	LAKE SHARON DR	544	24471	Jointed Concrete (JCP)	Minor Arterial	8/10/2020	96	186
RD-615	LAKE SHARON DR	818	37155	Jointed Concrete (JCP)	Minor Arterial	8/10/2020	97	193
RD-794	LANDWICK CT	507	10949	Jointed Concrete (JCP)	Local	8/6/2020	81	342
RD-1190	LEAH LN	306	7349	Jointed Concrete (JCP)	Local	8/5/2020	100	248
RD-1162	LEAMEADOW CIR	217	5413	Jointed Concrete (JCP)	Local	8/5/2020	93	-1
RD-548	LEAMEADOW CIR	428	10607	Asphalt Concrete (ACP)	Local	8/5/2020	40	227
RD-341	LEDGESTONE DR	269	6733	Jointed Concrete (JCP)	Local	8/7/2020	100	-1
RD-430	LEDGESTONE DR	296	7452	Jointed Concrete (JCP)	Local	8/7/2020	100	-1
RD-1168	LEEDS CT	137	2801	Jointed Concrete (JCP)	Local	8/6/2020	94	342
RD-968	LEEDS CT	665	13572	Jointed Concrete (JCP)	Local	8/6/2020	94	165
RD-749	LOCHWOOD CIR	211	5364	Jointed Concrete (JCP)	Local	8/5/2020	88	-1
RD-812	LOMA LINDA TER	422	10560	Jointed Concrete (JCP)	Local	8/6/2020	96	267
RD-319	LONESOME OAK DR	407	10328	Jointed Concrete (JCP)	Local	8/5/2020	97	163
RD-482	LONGVIEW DR	998	27542	Jointed Concrete (JCP)	Local	8/5/2020	55	249

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RD-597	LULA CT	401	10113	Jointed Concrete (JCP)	Local	8/5/2020	85	-1
RD-350	LYNCHBURG DR	317	7920	Asphalt Concrete (ACP)	Local	8/5/2020	18	347
RD-514	LYNCHBURG DR	1288	30919	Asphalt Concrete (ACP)	Local	8/5/2020	40	305
RD-959	MACBEY DR	903	19141	Asphalt Concrete (ACP)	Local	8/5/2020	76	154
RD-823	MAIDEN CT	190	4791	Jointed Concrete (JCP)	Local	8/7/2020	98	-1
RD-824	MAIDEN CT	222	5634	Jointed Concrete (JCP)	Local	8/7/2020	94	-1
RD-476	MAKENA CT	285	7070	Jointed Concrete (JCP)	Local	8/7/2020	58	-1
RD-704	MALLARD DR	993	20646	Jointed Concrete (JCP)	Local	8/6/2020	89	229
RD-732	MALLARD DR	375	7573	Jointed Concrete (JCP)	Local	8/6/2020	99	135
RD-735	MALLARD DR	655	15189	Jointed Concrete (JCP)	Local	8/6/2020	100	141
RD-1169	MALLORY DR	174	3763	Jointed Concrete (JCP)	Local	8/6/2020	91	249
RD-191	MALLORY DR	269	5709	Jointed Concrete (JCP)	Local	8/6/2020	85	338
RD-329	MALLORY DR	100	2126	Jointed Concrete (JCP)	Local	8/6/2020	81	-1
RD-443	MALLORY DR	169	3617	Jointed Concrete (JCP)	Local	8/6/2020	69	-1
RD-450	MALLORY DR	396	8712	Jointed Concrete (JCP)	Local	8/6/2020	84	353
RD-967	MANCHESTER CT	190	3916	Jointed Concrete (JCP)	Local	8/6/2020	91	-1
RD-1065	MANCHESTER WAY	164	4093	Jointed Concrete (JCP)	Local	8/6/2020	93	189
RD-1170	MANCHESTER WAY	174	4355	Jointed Concrete (JCP)	Local	8/6/2020	78	258
RD-887	MANCHESTER WAY	459	10750	Jointed Concrete (JCP)	Local	8/6/2020	89	236
RD-889	MANCHESTER WAY	649	16105	Jointed Concrete (JCP)	Local	8/6/2020	72	246
RD-890	MANCHESTER WAY	723	18085	Jointed Concrete (JCP)	Local	8/6/2020	81	260
RD-116	MARBELLAS CT	37	903	Jointed Concrete (JCP)	Local	8/7/2020	100	751
RD-144	MARBELLAS CT	602	14927	Jointed Concrete (JCP)	Local	8/7/2020	82	421
RD-1023	MARSEILLES LN	734	17467	Jointed Concrete (JCP)	Local	8/5/2020	89	345
RD-602	MASON AVE	818	20460	Jointed Concrete (JCP)	Local	8/5/2020	90	150
RD-620	MASON AVE	217	5413	Jointed Concrete (JCP)	Local	8/5/2020	100	190
RD-625	MASON AVE	280	6995	Jointed Concrete (JCP)	Local	8/5/2020	86	210
RD-626	MASON AVE	385	9635	Jointed Concrete (JCP)	Local	8/5/2020	94	176
RD-545	MAYFIELD CIR	850	21253	Asphalt Concrete (ACP)	Local	8/5/2020	40	315
RD-315	MEADOW OAKS DR	269	6786	Jointed Concrete (JCP)	Local	8/6/2020	73	163
RD-377	MEADOW OAKS DR	243	6167	Jointed Concrete (JCP)	Local	8/6/2020	76	-1

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RD-556	MEADOW OAKS DR	264	7286	Jointed Concrete (JCP)	Local	8/6/2020	66	287
RD-610	MEADOW OAKS DR	269	6733	Jointed Concrete (JCP)	Local	8/5/2020	88	-1
RD-809	MEADOWS DR	327	8185	Asphalt Concrete (ACP)	Local	8/5/2020	63	220
RD-957	MEADOWS DR	396	9900	Asphalt Concrete (ACP)	Local	8/5/2020	79	196
RD-978	MEADOWS DR	422	10560	Asphalt Concrete (ACP)	Local	8/5/2020	51	364
RD-1064	MEADOWVIEW DR	312	7819	Jointed Concrete (JCP)	Collector	8/9/2020	66	214
RD-1187	MEADOWVIEW DR	1790	41526	Jointed Concrete (JCP)	Collector	8/9/2020	84	174
RD-202	MEADOWVIEW DR	422	9546	Jointed Concrete (JCP)	Collector	8/9/2020	90	164
RD-204	MEADOWVIEW DR	58	1330	Jointed Concrete (JCP)	Collector	8/9/2020	83	-1
RD-218	MEADOWVIEW DR	523	12963	Jointed Concrete (JCP)	Collector	8/9/2020	86	490
RD-491	MEADOWVIEW DR	269	6113	Jointed Concrete (JCP)	Collector	8/9/2020	65	223
RD-499	MEADOWVIEW DR	438	9947	Jointed Concrete (JCP)	Collector	8/9/2020	72	308
RD-569	MEADOWVIEW DR	312	7663	Jointed Concrete (JCP)	Collector	8/9/2020	71	155
RD-582	MEADOWVIEW DR	280	7023	Jointed Concrete (JCP)	Collector	8/9/2020	76	220
RD-668	MEADOWVIEW DR	285	7156	Jointed Concrete (JCP)	Collector	8/9/2020	79	239
RD-685	MEADOWVIEW DR	301	7134	Jointed Concrete (JCP)	Collector	8/9/2020	73	245
RD-694	MEADOWVIEW DR	275	6892	Jointed Concrete (JCP)	Collector	8/9/2020	68	229
RD-707	MEADOWVIEW DR	644	16169	Jointed Concrete (JCP)	Collector	8/9/2020	73	419
RD-711	MEADOWVIEW DR	375	9410	Jointed Concrete (JCP)	Collector	8/9/2020	66	251
RD-714	MEADOWVIEW DR	296	7422	Jointed Concrete (JCP)	Collector	8/9/2020	59	347
RD-715	MEADOWVIEW DR	602	15108	Jointed Concrete (JCP)	Collector	8/9/2020	64	250
RD-718	MEADOWVIEW DR	169	4242	Jointed Concrete (JCP)	Collector	8/9/2020	72	104
RD-720	MEADOWVIEW DR	158	3976	Jointed Concrete (JCP)	Collector	8/9/2020	87	151
RD-722	MEADOWVIEW DR	253	6360	Jointed Concrete (JCP)	Collector	8/9/2020	86	176
RD-725	MEADOWVIEW DR	259	6493	Jointed Concrete (JCP)	Collector	8/9/2020	86	182
RD-733	MEADOWVIEW DR	803	18380	Jointed Concrete (JCP)	Collector	8/9/2020	76	233
RD-736	MEADOWVIEW DR	232	5831	Jointed Concrete (JCP)	Collector	8/9/2020	75	201
RD-740	MEADOWVIEW DR	296	7304	Jointed Concrete (JCP)	Collector	8/9/2020	70	200
RD-752	MEADOWVIEW DR	375	9410	Jointed Concrete (JCP)	Collector	8/9/2020	81	255
RD-753	MEADOWVIEW DR	259	6493	Jointed Concrete (JCP)	Collector	8/9/2020	71	312
RD-756	MEADOWVIEW DR	317	7667	Jointed Concrete (JCP)	Collector	8/9/2020	59	332

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Section ID	Road Name	Pavement Length (ft)	Pavement Area (ft ²)	Pavement Type	Functional Class	Inspection Date	PCI	IRI
RD-758	MEADOWVIEW DR	380	9239	Jointed Concrete (JCP)	Collector	8/9/2020	90	268
RD-760	MEADOWVIEW DR	1336	33529	Jointed Concrete (JCP)	Collector	8/9/2020	83	278
RD-765	MEADOWVIEW DR	1362	31739	Jointed Concrete (JCP)	Collector	8/9/2020	99	203
RD-766	MEADOWVIEW DR	190	4467	Jointed Concrete (JCP)	Collector	8/9/2020	77	262
RD-781	MEADOWVIEW DR	1790	41347	Jointed Concrete (JCP)	Collector	8/9/2020	88	199
RD-905	MERRIMACK DR	280	6939	Jointed Concrete (JCP)	Local	8/7/2020	61	265
RD-1131	MILAN DR	422	9208	Jointed Concrete (JCP)	Local	8/6/2020	91	353
RD-573	MILLWOOD DR	290	7260	Jointed Concrete (JCP)	Local	8/6/2020	33	376
RD-675	MILLWOOD DR	290	7028	Jointed Concrete (JCP)	Local	8/6/2020	28	286
RD-738	MILLWOOD DR	269	6355	Jointed Concrete (JCP)	Local	8/6/2020	89	203
RD-768	MILLWOOD DR	164	3962	Jointed Concrete (JCP)	Local	8/6/2020	69	292
RD-136	MISSION HILLS LN	1014	25142	Jointed Concrete (JCP)	Local	8/7/2020	77	329
RD-75	MISTY GLEN	1056	26400	Asphalt Concrete (ACP)	Local	8/5/2020	68	216
RD-1000	MONACO DR	248	5063	Jointed Concrete (JCP)	Local	8/5/2020	88	527
RD-1025	MONACO DR	185	3992	Jointed Concrete (JCP)	Local	8/5/2020	89	318
RD-188	MORNING GLORY DR	512	11985	Jointed Concrete (JCP)	Local	8/7/2020	95	249
RD-189	MORNING GLORY DR	502	12239	Jointed Concrete (JCP)	Local	8/7/2020	98	211
RD-258	MOUNTAINVIEW DR	253	6436	Jointed Concrete (JCP)	Local	8/5/2020	91	264
RD-716	MOUNTAINVIEW DR	882	22221	Jointed Concrete (JCP)	Local	8/5/2020	87	166
RD-226	MUIRFIELD	259	6468	Jointed Concrete (JCP)	Local	8/6/2020	69	800
RD-831	MULHOLLAND RD	855	21385	Jointed Concrete (JCP)	Local	8/6/2020	96	173
RD-856	MULHOLLAND RD	364	9108	Jointed Concrete (JCP)	Local	8/6/2020	95	295
RD-868	MULHOLLAND RD	201	4373	Jointed Concrete (JCP)	Local	8/6/2020	98	-1
RD-345	MUNRO PARK AVE	206	5230	Jointed Concrete (JCP)	Local	8/5/2020	100	-1
RD-509	MUNRO PARK AVE	591	15022	Jointed Concrete (JCP)	Local	8/5/2020	85	405
RD-83	N CORINTH ST	444	10201	Jointed Concrete (JCP)	Collector	8/9/2020	72	364
RD-956	N CORINTH ST	3020	70069	Jointed Concrete (JCP)	Collector	8/9/2020	73	306
RD-1135	NAPLES DR	422	9884	Jointed Concrete (JCP)	Local	8/6/2020	98	437
RD-437	NASH DR	253	6335	Jointed Concrete (JCP)	Local	8/5/2020	100	123
RD-562	NAVAJO RD	723	18374	Jointed Concrete (JCP)	Local	8/7/2020	100	203
RD-324	NIGHTINGALE LN	613	15558	Jointed Concrete (JCP)	Local	8/7/2020	98	177

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RD-409	NIGHTINGALE LN	544	13813	Jointed Concrete (JCP)	Local	8/7/2020	100	181
RD-680	NIGHTINGALE LN	829	20891	Jointed Concrete (JCP)	Local	8/7/2020	92	235
RD-198	NOME CT	174	4390	Jointed Concrete (JCP)	Local	8/6/2020	86	-1
RD-272	NORTH HAVEN DR	597	13483	Asphalt Concrete (ACP)	Local	8/5/2020	14	438
RD-308	NORTH HAVEN DR	977	22857	Asphalt Concrete (ACP)	Local	8/5/2020	22	281
RD-338	NORTH HAVEN DR	1035	25666	Asphalt Concrete (ACP)	Local	8/5/2020	24	237
RD-554	NORWICH LN	375	9447	Jointed Concrete (JCP)	Local	8/5/2020	85	346
RD-265	NORWOOD CT	217	5369	Jointed Concrete (JCP)	Local	8/7/2020	95	-1
RD-1005	OAK BLUFF DR	454	12533	Jointed Concrete (JCP)	Local	8/6/2020	94	462
RD-1015	OAK BLUFF DR	333	9180	Jointed Concrete (JCP)	Local	8/6/2020	80	370
RD-1016	OAK BLUFF DR	253	6994	Jointed Concrete (JCP)	Local	8/6/2020	93	537
RD-1017	OAK BLUFF DR	227	6265	Jointed Concrete (JCP)	Local	8/6/2020	93	240
RD-1151	OAK HILL DR	322	7215	Asphalt Concrete (ACP)	Local	8/5/2020	25	558
RD-1152	OAK HILL DR	143	2938	Asphalt Concrete (ACP)	Local	8/5/2020	49	-1
RD-281	OAK HILL DR	697	15752	Asphalt Concrete (ACP)	Local	8/5/2020	35	243
RD-362	OAK HILL DR	945	20981	Asphalt Concrete (ACP)	Local	8/5/2020	62	162
RD-517	OAK HILL DR	301	6562	Asphalt Concrete (ACP)	Local	8/5/2020	70	471
RD-278	OAK RIDGE DR	1040	26005	Jointed Concrete (JCP)	Local	8/7/2020	92	296
RD-394	OAK RIDGE DR	903	22573	Jointed Concrete (JCP)	Local	8/7/2020	84	242
RD-43	OAK RIDGE DR	1024	25812	Jointed Concrete (JCP)	Local	8/7/2020	84	274
RD-49	OAK RIDGE DR	512	12907	Jointed Concrete (JCP)	Local	8/7/2020	94	190
RD-101	OAKCREST CT	665	14370	Jointed Concrete (JCP)	Local	8/5/2020	100	169
RD-120	OAKHOLLOW CT	190	4753	Jointed Concrete (JCP)	Local	8/5/2020	83	-1
RD-107	OAKHOLLOW DR	586	14770	Jointed Concrete (JCP)	Local	8/5/2020	77	179
RD-112	OAKHOLLOW DR	58	1464	Jointed Concrete (JCP)	Local	8/5/2020	60	-1
RD-123	OAKHOLLOW DR	85	2129	Jointed Concrete (JCP)	Local	8/5/2020	83	-1
RD-132	OAKHOLLOW DR	211	5280	Jointed Concrete (JCP)	Local	8/5/2020	86	336
RD-167	OAKHOLLOW DR	723	18230	Jointed Concrete (JCP)	Local	8/5/2020	87	203
RD-454	OAKHOLLOW DR	961	24217	Jointed Concrete (JCP)	Local	8/5/2020	88	294
RD-77	OAKHOLLOW DR	539	13573	Jointed Concrete (JCP)	Local	8/5/2020	85	321
RD-982	OAKHOLLOW DR	322	8117	Jointed Concrete (JCP)	Local	8/5/2020	78	723

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RD-181	OAKMONT DR	37	892	Jointed Concrete (JCP)	Collector	8/10/2020	83	-1
RD-304	OAKMONT DR	1468	34787	Jointed Concrete (JCP)	Collector	8/10/2020	69	218
RD-353	OAKMONT DR	306	7318	Jointed Concrete (JCP)	Collector	8/10/2020	90	190
RD-370	OAKMONT DR	269	6382	Jointed Concrete (JCP)	Collector	8/10/2020	75	281
RD-46	OAKMONT DR	428	9837	Jointed Concrete (JCP)	Collector	8/10/2020	74	146
RD-479	OAKMONT DR	1220	29151	Jointed Concrete (JCP)	Collector	8/10/2020	78	226
RD-529	OAKMONT DR	1067	24958	Jointed Concrete (JCP)	Collector	8/10/2020	78	199
RD-649	OAKMONT DR	1500	36138	Jointed Concrete (JCP)	Collector	8/10/2020	89	129
RD-695	OAKMONT DR	702	16923	Jointed Concrete (JCP)	Collector	8/10/2020	73	196
RD-767	OAKMONT DR	322	7763	Jointed Concrete (JCP)	Collector	8/10/2020	81	203
RD-780	OAKMONT DR	301	7194	Jointed Concrete (JCP)	Collector	8/10/2020	71	192
RD-822	OAKMONT DR	391	9416	Jointed Concrete (JCP)	Collector	8/10/2020	81	156
RD-859	OAKMONT DR	808	19468	Jointed Concrete (JCP)	Collector	8/10/2020	83	190
RD-801	OCEANO DR	407	10165	Jointed Concrete (JCP)	Local	8/6/2020	92	350
RD-169	OLD HWY 77	2529	52605	Asphalt Concrete (ACP)	Local	8/5/2020	7	494
RD-901	OLD HWY 77	1077	23050	Asphalt Concrete (ACP)	Local	8/5/2020	5	465
RD-235	OLYMPUS CT	164	4518	Jointed Concrete (JCP)	Local	8/6/2020	100	-1
RD-871	OLYMPUS CT	201	5537	Jointed Concrete (JCP)	Local	8/6/2020	93	-1
RD-389	OSPREY CT	549	13618	Jointed Concrete (JCP)	Local	8/7/2020	68	158
RD-318	OXFORD OAKS LN	576	14157	Jointed Concrete (JCP)	Local	8/6/2020	71	355
RD-939	PALACE CT	312	7788	Jointed Concrete (JCP)	Local	8/6/2020	49	-1
RD-165	PALMARES CT	121	2962	Jointed Concrete (JCP)	Local	8/7/2020	24	-1
RD-825	PALOS VERDES DR	433	10825	Jointed Concrete (JCP)	Local	8/6/2020	100	210
RD-855	PALOS VERDES DR	565	14125	Jointed Concrete (JCP)	Local	8/6/2020	98	221
RD-54	PARK FOREST DR	95	2375	Jointed Concrete (JCP)	Local	8/5/2020	85	-1
RD-788	PARK PALISADES DR	180	4488	Jointed Concrete (JCP)	Local	8/6/2020	86	209
RD-802	PARK PALISADES DR	692	17293	Jointed Concrete (JCP)	Local	8/6/2020	98	150
RD-52	PARK PL	312	7788	Jointed Concrete (JCP)	Local	8/5/2020	90	165
RD-55	PARK PL	74	1848	Jointed Concrete (JCP)	Local	8/5/2020	100	-1
RD-66	PARK PL	829	20725	Jointed Concrete (JCP)	Local	8/5/2020	88	120
RD-67	PARK WOOD CT	290	7260	Jointed Concrete (JCP)	Local	8/5/2020	93	-1

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Section ID	Road Name	Pavement Length (ft)	Pavement Area (ft ²)	Pavement Type	Functional Class	Inspection Date	PCI	IRI
RD-70	PARK WOOD CT	100	2508	Jointed Concrete (JCP)	Local	8/5/2020	92	-1
RD-122	PARK WOOD DR	935	20748	Jointed Concrete (JCP)	Local	8/5/2020	86	177
RD-1140	PARKRIDGE DR	290	7260	Jointed Concrete (JCP)	Collector	8/9/2020	100	231
RD-1141	PARKRIDGE DR	285	7099	Jointed Concrete (JCP)	Collector	8/9/2020	97	169
RD-441	PARKRIDGE DR	2281	54516	Jointed Concrete (JCP)	Collector	8/9/2020	96	217
RD-607	PARKRIDGE DR	486	11756	Jointed Concrete (JCP)	Collector	8/9/2020	99	250
RD-637	PARKRIDGE DR	908	21797	Jointed Concrete (JCP)	Collector	8/9/2020	91	212
RD-755	PARKRIDGE DR	818	19723	Jointed Concrete (JCP)	Collector	8/9/2020	95	213
RD-949	PARKRIDGE DR	2777	63878	Jointed Concrete (JCP)	Collector	8/9/2020	98	186
RD-211	PARKVIEW CIR	238	5655	Jointed Concrete (JCP)	Local	8/5/2020	80	-1
RD-717	PARKVIEW DR	1056	26400	Jointed Concrete (JCP)	Local	8/5/2020	95	160
RD-699	PEACOCK LN	296	7333	Jointed Concrete (JCP)	Local	8/7/2020	93	178
RD-764	PEACOCK LN	343	8649	Jointed Concrete (JCP)	Local	8/7/2020	95	156
RD-1071	PEAKVIEW DR	143	3394	Jointed Concrete (JCP)	Local	8/5/2020	73	298
RD-471	PEAKVIEW DR	385	9173	Jointed Concrete (JCP)	Local	8/5/2020	72	346
RD-774	PEAKVIEW DR	1072	25509	Jointed Concrete (JCP)	Local	8/5/2020	92	150
RD-783	PEAKVIEW DR	628	14954	Jointed Concrete (JCP)	Local	8/5/2020	89	151
RD-118	PECAN CREEK CIR	987	22315	Asphalt Concrete (ACP)	Collector	8/9/2020	53	229
RD-130	PECAN CREEK CIR	697	17077	Jointed Concrete (JCP)	Collector	8/9/2020	93	298
RD-139	PECAN CREEK CIR	296	7186	Asphalt Concrete (ACP)	Collector	8/9/2020	71	163
RD-151	PECAN CREEK CIR	296	7274	Asphalt Concrete (ACP)	Collector	8/9/2020	79	133
RD-154	PECAN CREEK CIR	312	7320	Asphalt Concrete (ACP)	Collector	8/9/2020	39	203
RD-164	PECAN CREEK CIR	227	5471	Asphalt Concrete (ACP)	Collector	8/9/2020	54	241
RD-168	PECAN CREEK CIR	148	3562	Asphalt Concrete (ACP)	Collector	8/9/2020	65	224
RD-173	PECAN CREEK CIR	306	7288	Asphalt Concrete (ACP)	Collector	8/9/2020	56	172
RD-174	PECAN CREEK CIR	628	15393	Asphalt Concrete (ACP)	Collector	8/9/2020	88	124
RD-175	PECAN CREEK CIR	206	5045	Asphalt Concrete (ACP)	Collector	8/9/2020	57	185
RD-177	PECAN CREEK CIR	190	4619	Asphalt Concrete (ACP)	Collector	8/9/2020	77	151
RD-334	PECAN CREEK CIR	364	8306	Jointed Concrete (JCP)	Collector	8/9/2020	94	290
RD-973	PECAN CREEK CIR	58	1447	Jointed Concrete (JCP)	Collector	8/9/2020	95	206
RD-98	PECAN CREEK CIR	53	1262	Jointed Concrete (JCP)	Collector	8/9/2020	93	-1

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Section ID	Road Name	Pavement Length (ft)	Pavement Area (ft ²)	Pavement Type	Functional Class	Inspection Date	PCI	IRI
RD-145	PECAN VALLEY CT	634	15840	Jointed Concrete (JCP)	Local	8/5/2020	81	194
RD-1108	PENRIDGE	232	4925	Jointed Concrete (JCP)	Local	8/7/2020	68	727
RD-269	PEREGRINE DR	718	18240	Jointed Concrete (JCP)	Local	8/7/2020	59	246
RD-526	PINE GLEN RD	391	10783	Jointed Concrete (JCP)	Local	8/5/2020	84	206
RD-1036	PINE HILLS LN	227	5630	Jointed Concrete (JCP)	Local	8/7/2020	79	291
RD-134	PINE HILLS LN	565	14125	Jointed Concrete (JCP)	Local	8/7/2020	69	247
RD-158	PINE HILLS LN	523	13277	Jointed Concrete (JCP)	Local	8/7/2020	85	261
RD-391	PINE HILLS LN	628	15582	Jointed Concrete (JCP)	Local	8/7/2020	80	224
RD-1001	PINNELL CT	639	15973	Jointed Concrete (JCP)	Local	8/6/2020	80	287
RD-1013	PINNELL CT	222	5545	Jointed Concrete (JCP)	Local	8/6/2020	100	194
RD-1014	PINNELL CT	327	8185	Jointed Concrete (JCP)	Local	8/6/2020	97	160
RD-205	PIPER DR	296	7452	Jointed Concrete (JCP)	Local	8/7/2020	92	195
RD-251	PIPER DR	306	7777	Jointed Concrete (JCP)	Local	8/7/2020	100	234
RD-414	PIPER DR	306	7777	Jointed Concrete (JCP)	Local	8/7/2020	95	229
RD-661	PIPER DR	296	7511	Jointed Concrete (JCP)	Local	8/7/2020	99	194
RD-1069	POSEIDON DR	301	7645	Jointed Concrete (JCP)	Local	8/6/2020	90	217
RD-234	POSEIDON DR	359	9119	Jointed Concrete (JCP)	Local	8/6/2020	97	139
RD-336	POST OAK CIR	401	8427	Jointed Concrete (JCP)	Local	8/5/2020	77	250
RD-90	POST OAK CT	681	14439	Jointed Concrete (JCP)	Local	8/5/2020	87	191
RD-97	POST OAK CT	153	3552	Jointed Concrete (JCP)	Local	8/5/2020	84	-1
RD-100	POST OAK DR	338	8448	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	45	293
RD-1032	POST OAK DR	1125	27215	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	84	188
RD-1051	POST OAK DR	655	14796	Jointed Concrete (JCP)	Minor Arterial	8/10/2020	75	234
RD-1052	POST OAK DR	343	7928	Jointed Concrete (JCP)	Minor Arterial	8/10/2020	82	212
RD-1053	POST OAK DR	407	9514	Jointed Concrete (JCP)	Minor Arterial	8/10/2020	51	359
RD-1054	POST OAK DR	591	13484	Jointed Concrete (JCP)	Minor Arterial	8/10/2020	61	267
RD-106	POST OAK DR	354	8845	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	81	216
RD-113	POST OAK DR	333	8448	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	55	271
RD-178	POST OAK DR	1098	26796	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	54	234
RD-203	POST OAK DR	285	7185	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	75	232
RD-207	POST OAK DR	290	6795	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	52	269

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Section ID	Road Name	Pavement Length (ft)	Pavement Area (ft ²)	Pavement Type	Functional Class	Inspection Date	PCI	IRI
RD-217	POST OAK DR	327	8250	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	72	206
RD-225	POST OAK DR	327	7465	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	74	156
RD-244	POST OAK DR	327	8250	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	90	137
RD-250	POST OAK DR	349	8503	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	57	177
RD-313	POST OAK DR	544	12290	Jointed Concrete (JCP)	Minor Arterial	8/10/2020	57	277
RD-325	POST OAK DR	269	6733	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	91	141
RD-326	POST OAK DR	275	6096	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	60	184
RD-330	POST OAK DR	581	13475	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	65	184
RD-366	POST OAK DR	517	11279	Jointed Concrete (JCP)	Minor Arterial	8/10/2020	78	270
RD-37	POST OAK DR	343	8374	Jointed Concrete (JCP)	Minor Arterial	8/10/2020	53	379
RD-403	POST OAK DR	671	31518	Jointed Concrete (JCP)	Minor Arterial	8/10/2020	96	247
RD-428	POST OAK DR	565	13108	Jointed Concrete (JCP)	Minor Arterial	8/10/2020	69	263
RD-458	POST OAK DR	850	20912	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	76	268
RD-486	POST OAK DR	280	7051	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	85	153
RD-493	POST OAK DR	285	6671	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	66	158
RD-538	POST OAK DR	755	17365	Jointed Concrete (JCP)	Minor Arterial	8/10/2020	71	266
RD-629	POST OAK DR	195	4729	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	86	-1
RD-631	POST OAK DR	211	4646	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	47	495
RD-654	POST OAK DR	285	7128	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	40	236
RD-656	POST OAK DR	280	6044	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	37	285
RD-702	POST OAK DR	296	7452	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	82	236
RD-706	POST OAK DR	296	6742	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	54	229
RD-743	POST OAK DR	275	6865	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	67	269
RD-746	POST OAK DR	275	6481	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	58	178
RD-750	POST OAK DR	576	14272	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	74	223
RD-877	POST OAK DR	787	18409	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	65	193
RD-881	POST OAK DR	771	19273	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	75	237
RD-902	POST OAK DR	148	7301	Jointed Concrete (JCP)	Minor Arterial	8/10/2020	100	179
RD-915	POST OAK DR	217	10652	Jointed Concrete (JCP)	Minor Arterial	8/10/2020	100	278
RD-918	POST OAK DR	1183	27675	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	62	244
RD-919	POST OAK DR	1304	32344	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	79	281

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Section ID	Road Name	Pavement Length (ft)	Pavement Area (ft ²)	Pavement Type	Functional Class	Inspection Date	PCI	IRI
RD-96	POST OAK DR	354	8987	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	71	210
RD-970	POST OAK DR	481	10187	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	97	202
RD-974	POST OAK DR	481	11244	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	51	183
RD-977	POST OAK DR	855	21385	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	48	267
RD-1004	POST OAK TRL	671	16899	Jointed Concrete (JCP)	Local	8/6/2020	84	385
RD-1018	POST OAK TRL	349	8782	Jointed Concrete (JCP)	Local	8/6/2020	88	303
RD-1019	POST OAK TRL	417	10511	Jointed Concrete (JCP)	Local	8/6/2020	80	350
RD-893	POST OAK TRL	517	12832	Jointed Concrete (JCP)	Local	8/6/2020	62	300
RD-940	POST OAK TRL	491	11980	Jointed Concrete (JCP)	Local	8/6/2020	90	263
RD-1007	POST RIDGE CIR	132	3643	Jointed Concrete (JCP)	Local	8/6/2020	100	-1
RD-960	POSTWOOD CT	164	4093	Jointed Concrete (JCP)	Local	8/5/2020	69	-1
RD-129	POSTWOOD DR	285	7185	Jointed Concrete (JCP)	Local	8/5/2020	95	135
RD-335	POSTWOOD DR	121	2986	Jointed Concrete (JCP)	Local	8/5/2020	100	334
RD-337	POSTWOOD DR	132	3168	Jointed Concrete (JCP)	Local	8/5/2020	96	-1
RD-406	POSTWOOD DR	290	7144	Jointed Concrete (JCP)	Local	8/5/2020	92	483
RD-452	POSTWOOD DR	264	6600	Jointed Concrete (JCP)	Local	8/5/2020	89	293
RD-459	POSTWOOD DR	69	1674	Jointed Concrete (JCP)	Local	8/5/2020	85	-1
RD-803	POSTWOOD DR	243	6121	Jointed Concrete (JCP)	Local	8/5/2020	96	253
RD-808	POSTWOOD DR	58	1464	Jointed Concrete (JCP)	Local	8/5/2020	78	-1
RD-91	POSTWOOD DR	121	3059	Jointed Concrete (JCP)	Local	8/5/2020	84	662
RD-95	POSTWOOD DR	301	7585	Jointed Concrete (JCP)	Local	8/5/2020	68	366
RD-961	POSTWOOD DR	454	11443	Jointed Concrete (JCP)	Local	8/5/2020	77	359
RD-972	POSTWOOD DR	217	5456	Jointed Concrete (JCP)	Local	8/5/2020	82	420
RD-1055	POTTERY TRL	180	4452	Jointed Concrete (JCP)	Local	8/7/2020	100	156
RD-1056	POTTERY TRL	201	4975	Jointed Concrete (JCP)	Local	8/7/2020	91	157
RD-384	POTTERY TRL	301	7465	Jointed Concrete (JCP)	Local	8/7/2020	100	233
RD-385	POTTERY TRL	459	11577	Jointed Concrete (JCP)	Local	8/7/2020	91	215
RD-449	POTTERY TRL	211	5322	Jointed Concrete (JCP)	Local	8/7/2020	87	-1
RD-58	POTTERY TRL	253	6284	Jointed Concrete (JCP)	Local	8/7/2020	100	204
RD-59	POTTERY TRL	185	4657	Jointed Concrete (JCP)	Local	8/7/2020	100	170
RD-60	POTTERY TRL	349	8713	Jointed Concrete (JCP)	Local	8/7/2020	100	176

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Section ID	Road Name	Pavement Length (ft)	Pavement Area (ft ²)	Pavement Type	Functional Class	Inspection Date	PCI	IRI
RD-778	POTTERY TRL	296	7333	Jointed Concrete (JCP)	Local	8/7/2020	95	154
RD-815	POTTERY TRL	771	19273	Jointed Concrete (JCP)	Local	8/7/2020	92	226
RD-816	POTTERY TRL	190	4791	Jointed Concrete (JCP)	Local	8/7/2020	93	347
RD-819	POTTERY TRL	211	4858	Jointed Concrete (JCP)	Local	8/7/2020	79	534
RD-820	POTTERY TRL	190	4372	Jointed Concrete (JCP)	Local	8/7/2020	85	328
RD-346	QUAIL RUN DR	217	5023	Asphalt Concrete (ACP)	Local	8/5/2020	26	498
RD-436	QUAIL RUN DR	2244	56549	Asphalt Concrete (ACP)	Local	8/5/2020	50	238
RD-513	QUAIL RUN DR	702	16853	Asphalt Concrete (ACP)	Local	8/5/2020	55	372
RD-525	QUAIL RUN DR	301	7465	Asphalt Concrete (ACP)	Local	8/5/2020	78	308
RD-543	QUAIL RUN DR	771	18810	Asphalt Concrete (ACP)	Local	8/5/2020	54	294
RD-857	RANCHO DOMINGUEZ RD	296	7393	Jointed Concrete (JCP)	Local	8/6/2020	93	318
RD-858	RANCHO DOMINGUEZ RD	734	18348	Jointed Concrete (JCP)	Local	8/6/2020	91	192
RD-316	RAVINIA DR	280	6659	Jointed Concrete (JCP)	Local	8/5/2020	96	181
RD-552	RAVINIA DR	180	4559	Jointed Concrete (JCP)	Local	8/5/2020	77	-1
RD-558	RAVINIA DR	327	8185	Jointed Concrete (JCP)	Local	8/5/2020	90	199
RD-349	RED OAK DR	1589	39097	Asphalt Concrete (ACP)	Local	8/5/2020	53	293
RD-989	RED RIVER WAY	232	4367	Jointed Concrete (JCP)	Local	8/5/2020	78	950
RD-76	REDROCK DR	581	10919	Jointed Concrete (JCP)	Local	8/5/2020	91	182
RD-78	REDROCK DR	428	7699	Jointed Concrete (JCP)	Local	8/5/2020	81	243
RD-1063	REDWOOD DR	343	8580	Jointed Concrete (JCP)	Local	8/7/2020	96	147
RD-215	REDWOOD DR	845	21458	Jointed Concrete (JCP)	Local	8/7/2020	93	206
RD-670	REDWOOD DR	449	10951	Jointed Concrete (JCP)	Local	8/7/2020	93	143
RD-674	REDWOOD DR	232	5808	Jointed Concrete (JCP)	Local	8/7/2020	96	128
RD-231	REGENT CT	417	10428	Jointed Concrete (JCP)	Local	8/6/2020	97	246
RD-199	REGINA DR	243	6073	Jointed Concrete (JCP)	Local	8/6/2020	76	950
RD-584	REGINA DR	676	15949	Jointed Concrete (JCP)	Local	8/6/2020	80	314
RD-920	REGINA DR	111	2773	Jointed Concrete (JCP)	Local	8/6/2020	88	-1
RD-444	RIVERVIEW DR	1024	25812	Jointed Concrete (JCP)	Local	8/5/2020	60	259
RD-790	RIVERVIEW DR	259	6519	Jointed Concrete (JCP)	Local	8/5/2020	71	-1
RD-792	RIVERVIEW DR	644	15203	Asphalt Concrete (ACP)	Local	8/5/2020	86	275
RD-410	ROBIN LN	301	7344	Jointed Concrete (JCP)	Local	8/7/2020	86	-1

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Section ID	Road Name	Pavement Length (ft)	Pavement Area (ft ²)	Pavement Type	Functional Class	Inspection Date	PCI	IRI
RD-612	ROBIN LN	190	4753	Jointed Concrete (JCP)	Local	8/7/2020	84	-1
RD-635	ROBIN LN	222	5501	Jointed Concrete (JCP)	Local	8/7/2020	94	-1
RD-110	ROBINSON RD	401	4655	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	43	261
RD-111	ROBINSON RD	417	5047	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	51	233
RD-114	ROBINSON RD	269	3124	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	38	321
RD-115	ROBINSON RD	100	1194	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	40	385
RD-124	ROBINSON RD	370	8575	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	65	374
RD-128	ROBINSON RD	808	19064	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	59	281
RD-131	ROBINSON RD	1389	16941	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	51	248
RD-155	ROBINSON RD	1389	33049	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	83	225
RD-182	ROBINSON RD	829	9534	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	59	250
RD-183	ROBINSON RD	396	9425	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	85	173
RD-184	ROBINSON RD	602	14205	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	63	241
RD-33	ROBINSON RD	834	19520	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	74	258
RD-63	ROBINSON RD	385	4586	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	58	249
RD-65	ROBINSON RD	597	7398	Jointed Concrete (JCP)	Minor Arterial	8/7/2020	42	308
RD-1043	ROCKY BEND CT	232	5761	Jointed Concrete (JCP)	Local	8/5/2020	80	216
RD-284	ROCKY CT	238	5940	Jointed Concrete (JCP)	Local	8/5/2020	81	171
RD-397	ROCKY CT	206	5148	Jointed Concrete (JCP)	Local	8/5/2020	82	124
RD-1123	ROSEGILL DR	554	13860	Jointed Concrete (JCP)	Local	8/7/2020	96	255
RD-261	RYE RD	312	7850	Jointed Concrete (JCP)	Local	8/7/2020	85	143
RD-789	S GARRISON RD	813	17970	Asphalt Concrete (ACP)	Collector	8/9/2020	53	250
RD-844	S GARRISON RD	940	20958	Asphalt Concrete (ACP)	Collector	8/9/2020	65	180
RD-934	S GARRISON RD	845	20613	Jointed Concrete (JCP)	Collector	8/9/2020	95	156
RD-1010	SAND JACK DR	317	7920	Jointed Concrete (JCP)	Local	8/5/2020	84	183
RD-1011	SAND JACK DR	327	8185	Jointed Concrete (JCP)	Local	8/5/2020	84	223
RD-992	SAND JACK DR	475	11880	Jointed Concrete (JCP)	Local	8/5/2020	89	200
RD-950	SCENIC DR	164	3438	Asphalt Concrete (ACP)	Local	8/6/2020	20	-1
RD-1008	SERENDIPITY HILLS CT	628	15833	Jointed Concrete (JCP)	Local	8/6/2020	74	651
RD-897	SERENDIPITY HILLS TRL	2313	58278	Jointed Concrete (JCP)	Local	8/6/2020	70	366
RD-157	SHADOW CREST DR	1336	28586	Jointed Concrete (JCP)	Local	8/5/2020	94	215

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Section ID	Road Name	Pavement Length (ft)	Pavement Area (ft ²)	Pavement Type	Functional Class	Inspection Date	PCI	IRI
RD-570	SHADOW OAK DR	296	7511	Jointed Concrete (JCP)	Local	8/5/2020	82	-1
RD-108	SHADY OAKS PL	264	6547	Jointed Concrete (JCP)	Local	8/7/2020	81	-1
RD-1009	SHADY REST LN	148	3695	Jointed Concrete (JCP)	Local	8/5/2020	100	223
RD-1062	SHADY REST LN	671	15290	Jointed Concrete (JCP)	Collector	8/9/2020	87	200
RD-382	SHADY REST LN	42	987	Jointed Concrete (JCP)	Collector	8/9/2020	62	-1
RD-56	SHADY REST LN	354	8668	Jointed Concrete (JCP)	Collector	8/9/2020	90	187
RD-73	SHADY REST LN	1051	25637	Jointed Concrete (JCP)	Collector	8/9/2020	89	217
RD-990	SHADY REST LN	185	4620	Jointed Concrete (JCP)	Local	8/5/2020	73	-1
RD-991	SHADY REST LN	1141	28513	Jointed Concrete (JCP)	Local	8/5/2020	90	245
RD-1098	SHADY SHORES RD	554	11421	Asphalt Concrete (ACP)	Collector	8/9/2020	48	288
RD-1160	SHADY SHORES RD	771	14647	Asphalt Concrete (ACP)	Collector	8/9/2020	63	165
RD-295	SHADY SHORES RD	1494	28091	Asphalt Concrete (ACP)	Collector	8/9/2020	58	254
RD-401	SHADY SHORES RD	855	15996	Asphalt Concrete (ACP)	Collector	8/9/2020	60	191
RD-402	SHADY SHORES RD	913	16898	Asphalt Concrete (ACP)	Collector	8/9/2020	77	196
RD-405	SHADY SHORES RD	174	3327	Asphalt Concrete (ACP)	Collector	8/9/2020	80	216
RD-953	SHADY SHORES RD	671	15223	Jointed Concrete (JCP)	Collector	8/9/2020	85	399
RD-954	SHADY SHORES RD	993	19058	Asphalt Concrete (ACP)	Collector	8/9/2020	70	263
RD-777	SHARDS CT	201	4975	Jointed Concrete (JCP)	Local	8/7/2020	93	-1
RD-1149	SHARON DR	343	7619	Asphalt Concrete (ACP)	Local	8/5/2020	29	385
RD-1150	SHARON DR	143	3109	Asphalt Concrete (ACP)	Local	8/5/2020	44	-1
RD-283	SHARON DR	74	1596	Asphalt Concrete (ACP)	Local	8/5/2020	77	-1
RD-361	SHARON DR	919	19109	Asphalt Concrete (ACP)	Local	8/5/2020	48	180
RD-373	SHARON DR	301	6863	Asphalt Concrete (ACP)	Local	8/5/2020	36	285
RD-616	SHEPARD LN	264	6653	Jointed Concrete (JCP)	Local	8/5/2020	84	154
RD-1044	SILVER MEADOW LN	301	6622	Asphalt Concrete (ACP)	Local	8/5/2020	39	180
RD-1045	SILVER MEADOW LN	74	1626	Asphalt Concrete (ACP)	Local	8/5/2020	54	-1
RD-1147	SILVER MEADOW LN	158	3358	Asphalt Concrete (ACP)	Local	8/5/2020	43	169
RD-1148	SILVER MEADOW LN	201	4132	Asphalt Concrete (ACP)	Local	8/5/2020	32	248
RD-360	SILVER MEADOW LN	338	7434	Asphalt Concrete (ACP)	Local	8/5/2020	19	342
RD-364	SILVER MEADOW LN	1135	25656	Asphalt Concrete (ACP)	Local	8/5/2020	39	238
RD-365	SILVER MEADOW LN	391	8752	Asphalt Concrete (ACP)	Local	8/5/2020	10	333

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Section ID	Road Name	Pavement Length (ft)	Pavement Area (ft ²)	Pavement Type	Functional Class	Inspection Date	PCI	IRI
RD-673	SIOUX CT	190	4791	Jointed Concrete (JCP)	Local	8/7/2020	100	-1
RD-737	SKYVIEW DR	1114	27407	Jointed Concrete (JCP)	Local	8/5/2020	94	241
RD-331	SOMMERSET DR	333	8315	Jointed Concrete (JCP)	Local	8/5/2020	96	138
RD-907	SOMMERSET DR	238	5940	Jointed Concrete (JCP)	Local	8/5/2020	93	630
RD-914	SOMMERSET DR	301	7224	Jointed Concrete (JCP)	Local	8/5/2020	77	324
RD-92	SOMMERSET DR	364	9108	Jointed Concrete (JCP)	Local	8/5/2020	100	153
RD-966	SOMMERSET DR	148	2660	Jointed Concrete (JCP)	Local	8/5/2020	100	143
RD-497	SPANISH OAK CIR	1024	26017	Jointed Concrete (JCP)	Local	8/5/2020	93	229
RD-240	SPANISH OAK DR	143	3936	Jointed Concrete (JCP)	Local	8/5/2020	80	-1
RD-41	SPARTA DR	327	9036	Jointed Concrete (JCP)	Local	8/6/2020	100	143
RD-42	SPARTA DR	290	8015	Jointed Concrete (JCP)	Local	8/6/2020	92	185
RD-922	SPARTA DR	280	7722	Jointed Concrete (JCP)	Local	8/6/2020	67	339
RD-80	SPRINGBROOK	370	9240	Asphalt Concrete (ACP)	Local	8/5/2020	63	225
RD-786	SPRINGTREE RD	280	6939	Jointed Concrete (JCP)	Local	8/5/2020	85	292
RD-873	ST JAMES CT	396	9900	Jointed Concrete (JCP)	Local	8/6/2020	53	157
RD-102	ST JOHNS DR	137	3460	Jointed Concrete (JCP)	Local	8/7/2020	53	248
RD-99	ST JOHNS DR	222	5634	Jointed Concrete (JCP)	Local	8/7/2020	43	312
RD-1111	STANHILL DR	422	9124	Jointed Concrete (JCP)	Local	8/7/2020	92	200
RD-1112	STANHILL DR	354	7359	Jointed Concrete (JCP)	Local	8/7/2020	81	112
RD-1113	STANHILL DR	523	11081	Jointed Concrete (JCP)	Local	8/7/2020	73	159
RD-127	STATE SCHOOL RD	37	940	Jointed Concrete (JCP)	Local	8/7/2020	62	-1
RD-296	STATE SCHOOL RD	681	17164	Jointed Concrete (JCP)	Local	8/7/2020	79	200
RD-89	STATE SCHOOL RD	1204	30577	Jointed Concrete (JCP)	Local	8/7/2020	68	244
RD-247	STONE CREEK LN	285	7128	Jointed Concrete (JCP)	Local	8/6/2020	83	216
RD-323	STONE CREEK LN	354	8845	Jointed Concrete (JCP)	Local	8/6/2020	75	179
RD-492	STONE CREEK LN	248	6205	Jointed Concrete (JCP)	Local	8/6/2020	47	334
RD-644	STONE CREEK LN	285	7128	Jointed Concrete (JCP)	Local	8/6/2020	70	209
RD-446	STONELEIGH CIR	137	3433	Jointed Concrete (JCP)	Local	8/5/2020	76	-1
RD-830	STONEWICK DR	349	8713	Jointed Concrete (JCP)	Local	8/6/2020	89	471
RD-840	SUMMERWOOD CT	465	11522	Jointed Concrete (JCP)	Local	8/6/2020	82	351
RD-1105	SUMMIT RIDGE DR	903	18780	Asphalt Concrete (ACP)	Local	8/6/2020	21	396

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Section ID	Road Name	Pavement Length (ft)	Pavement Area (ft ²)	Pavement Type	Functional Class	Inspection Date	PCI	IRI
RD-1106	SUMMIT RIDGE DR	253	6183	Asphalt Concrete (ACP)	Local	8/6/2020	45	-1
RD-592	SUNFLOWER DR	481	11916	Jointed Concrete (JCP)	Local	8/7/2020	86	207
RD-593	SUNFLOWER DR	539	13357	Jointed Concrete (JCP)	Local	8/7/2020	85	236
RD-1049	SUNNY OAK LN	148	3754	Jointed Concrete (JCP)	Local	8/5/2020	85	183
RD-621	SUNNY OAK LN	148	3754	Jointed Concrete (JCP)	Local	8/5/2020	91	193
RD-623	SUNNY OAK LN	396	10058	Jointed Concrete (JCP)	Local	8/5/2020	95	267
RD-638	SURREY OAKS CT	248	6205	Jointed Concrete (JCP)	Local	8/6/2020	95	922
RD-987	SUSSEX CT	227	5675	Jointed Concrete (JCP)	Local	8/6/2020	93	-1
RD-1030	SUSSEX WAY	549	13728	Jointed Concrete (JCP)	Local	8/6/2020	84	262
RD-1031	SUSSEX WAY	333	7982	Jointed Concrete (JCP)	Local	8/6/2020	100	168
RD-986	SUSSEX WAY	349	8713	Jointed Concrete (JCP)	Local	8/6/2020	83	205
RD-669	SWAN LN	301	7344	Jointed Concrete (JCP)	Local	8/7/2020	100	-1
RD-862	SYRACUSE DR	385	9789	Jointed Concrete (JCP)	Local	8/6/2020	82	245
RD-923	SYRACUSE DR	359	9119	Jointed Concrete (JCP)	Local	8/6/2020	83	203
RD-309	TEALWOOD LN	248	6304	Jointed Concrete (JCP)	Local	8/7/2020	87	-1
RD-356	TEALWOOD LN	892	22486	Jointed Concrete (JCP)	Local	8/7/2020	94	204
RD-221	THE BRIARS	264	6547	Jointed Concrete (JCP)	Local	8/6/2020	48	-1
RD-256	THE DOWNS	148	3636	Asphalt Concrete (ACP)	Local	8/6/2020	49	-1
RD-724	THE GROVE	116	2882	Asphalt Concrete (ACP)	Local	8/6/2020	79	-1
RD-503	THE RETREAT	364	8962	Jointed Concrete (JCP)	Local	8/6/2020	23	-1
RD-726	THE RIDGE	79	1980	Asphalt Concrete (ACP)	Local	8/6/2020	23	-1
RD-253	THE WOODS	127	3168	Asphalt Concrete (ACP)	Local	8/6/2020	75	-1
RD-277	THORNDALE CT	253	6183	Jointed Concrete (JCP)	Local	8/7/2020	86	-1
RD-103	TIMBER RIDGE CIR	364	9108	Jointed Concrete (JCP)	Local	8/7/2020	90	247
RD-125	TIMBER RIDGE CIR	475	11880	Jointed Concrete (JCP)	Local	8/7/2020	72	413
RD-135	TIMBER RIDGE CIR	681	17028	Jointed Concrete (JCP)	Local	8/7/2020	82	300
RD-138	TIMBER RIDGE CIR	2001	50028	Jointed Concrete (JCP)	Local	8/7/2020	76	338
RD-142	TIMBER RIDGE CIR	560	13993	Jointed Concrete (JCP)	Local	8/7/2020	67	446
RD-223	TIMBERVIEW CIR	502	13142	Jointed Concrete (JCP)	Local	8/5/2020	65	110
RD-220	TIMBERVIEW CT	153	4011	Jointed Concrete (JCP)	Local	8/5/2020	79	-1
RD-498	TIMBERVIEW DR	396	10930	Jointed Concrete (JCP)	Local	8/5/2020	83	249

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Section ID	Road Name	Pavement Length (ft)	Pavement Area (ft ²)	Pavement Type	Functional Class	Inspection Date	PCI	IRI
RD-577	TIMBERVIEW DR	491	13552	Jointed Concrete (JCP)	Local	8/5/2020	71	196
RD-712	TIMBERVIEW DR	449	12387	Jointed Concrete (JCP)	Local	8/5/2020	78	196
RD-741	TIMBERVIEW DR	312	8597	Jointed Concrete (JCP)	Local	8/5/2020	79	-1
RD-1133	TOLEDO DR	422	10560	Jointed Concrete (JCP)	Local	8/6/2020	92	363
RD-1118	TOLTHAVEN RD	222	5589	Jointed Concrete (JCP)	Local	8/7/2020	84	418
RD-1119	TOLTHAVEN RD	338	8515	Jointed Concrete (JCP)	Local	8/7/2020	78	302
RD-451	TOPANGA CANYON DR	317	6463	Jointed Concrete (JCP)	Local	8/6/2020	100	314
RD-854	TOPANGA CANYON DR	686	14003	Jointed Concrete (JCP)	Local	8/6/2020	97	166
RD-606	TORI OAK TRL	554	13860	Jointed Concrete (JCP)	Local	8/6/2020	62	219
RD-608	TORI OAK TRL	264	6600	Jointed Concrete (JCP)	Local	8/6/2020	52	137
RD-609	TORI OAK TRL	275	6865	Jointed Concrete (JCP)	Local	8/6/2020	82	304
RD-640	TOWER RIDGE DR	1980	42570	Jointed Concrete (JCP)	Collector	8/9/2020	81	236
RD-719	TOWER RIDGE DR	1056	21965	Asphalt Concrete (ACP)	Collector	8/9/2020	24	273
RD-776	TOWER RIDGE DR	317	5924	Asphalt Concrete (ACP)	Collector	8/9/2020	16	480
RD-850	TOWER RIDGE DR	1125	20018	Asphalt Concrete (ACP)	Collector	8/9/2020	8	430
RD-342	TREE HOUSE LN	407	10165	Jointed Concrete (JCP)	Local	8/5/2020	88	550
RD-343	TREE HOUSE LN	417	10511	Jointed Concrete (JCP)	Local	8/5/2020	94	282
RD-344	TREE HOUSE LN	201	5095	Jointed Concrete (JCP)	Local	8/5/2020	82	-1
RD-347	TREE HOUSE LN	396	10058	Jointed Concrete (JCP)	Local	8/5/2020	92	364
RD-636	TRINITY TER	565	14012	Jointed Concrete (JCP)	Local	8/6/2020	94	223
RD-1020	TUSCANY DR	269	6625	Jointed Concrete (JCP)	Local	8/5/2020	77	448
RD-1021	TUSCANY DR	491	12275	Jointed Concrete (JCP)	Local	8/5/2020	93	379
RD-1022	TUSCANY DR	285	6899	Jointed Concrete (JCP)	Local	8/5/2020	78	409
RD-1024	TUSCANY DR	333	8248	Jointed Concrete (JCP)	Local	8/5/2020	79	279
RD-995	TUSCANY DR	412	10295	Jointed Concrete (JCP)	Local	8/5/2020	86	341
RD-340	TWIN BROOK TURN	396	8474	Asphalt Concrete (ACP)	Local	8/5/2020	34	226
RD-351	TWIN BROOK TURN	232	5157	Asphalt Concrete (ACP)	Local	8/5/2020	63	114
RD-374	TWIN BROOK TURN	296	5973	Asphalt Concrete (ACP)	Local	8/5/2020	46	302
RD-515	TWIN BROOK TURN	222	4480	Asphalt Concrete (ACP)	Local	8/5/2020	49	328
RD-339	UNNAMED STREET	222	4436	Asphalt Concrete (ACP)	Local	8/5/2020	79	287
RD-549	VALDERAMMA LN	591	14903	Jointed Concrete (JCP)	Local	8/7/2020	76	446

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Section ID	Road Name	Pavement Length (ft)	Pavement Area (ft ²)	Pavement Type	Functional Class	Inspection Date	PCI	IRI
RD-1046	VALLEY VIEW DR	465	10686	Asphalt Concrete (ACP)	Local	8/5/2020	22	180
RD-518	VALLEY VIEW DR	528	11299	Asphalt Concrete (ACP)	Local	8/5/2020	37	194
RD-1128	VENICE DR	32	799	Jointed Concrete (JCP)	Local	8/6/2020	100	-1
RD-1129	VENICE DR	412	10295	Jointed Concrete (JCP)	Local	8/6/2020	91	154
RD-1124	VERONA DR	290	5982	Jointed Concrete (JCP)	Local	8/6/2020	86	375
RD-1125	VERONA DR	301	6080	Jointed Concrete (JCP)	Local	8/6/2020	66	275
RD-1126	VERONA DR	301	7525	Jointed Concrete (JCP)	Local	8/6/2020	87	227
RD-1127	VERONA DR	702	17555	Jointed Concrete (JCP)	Local	8/6/2020	97	184
RD-137	VINTAGE CIR	982	24749	Jointed Concrete (JCP)	Local	8/7/2020	71	347
RD-152	VINTAGE CT	253	6234	Jointed Concrete (JCP)	Local	8/7/2020	70	-1
RD-105	VINTAGE DR	544	13486	Jointed Concrete (JCP)	Local	8/7/2020	79	290
RD-126	VINTAGE DR	412	10130	Jointed Concrete (JCP)	Local	8/7/2020	65	424
RD-146	VINTAGE DR	211	5322	Jointed Concrete (JCP)	Local	8/7/2020	66	368
RD-149	VINTAGE DR	153	3797	Jointed Concrete (JCP)	Local	8/7/2020	63	350
RD-156	VINTAGE DR	491	12373	Jointed Concrete (JCP)	Local	8/7/2020	78	220
RD-186	VINTAGE DR	37	940	Jointed Concrete (JCP)	Local	8/7/2020	92	-1
RD-276	VINTAGE DR	649	15975	Jointed Concrete (JCP)	Local	8/7/2020	83	213
RD-303	VINTAGE DR	111	2817	Jointed Concrete (JCP)	Local	8/7/2020	100	-1
RD-355	VINTAGE DR	317	8047	Jointed Concrete (JCP)	Local	8/7/2020	100	237
RD-367	VINTAGE DR	275	6975	Jointed Concrete (JCP)	Local	8/7/2020	88	333
RD-383	VINTAGE DR	512	12600	Jointed Concrete (JCP)	Local	8/7/2020	77	214
RD-422	VINTAGE DR	359	8903	Jointed Concrete (JCP)	Local	8/7/2020	100	212
RD-981	VINTAGE DR	544	13704	Jointed Concrete (JCP)	Local	8/7/2020	85	256
RD-147	VISTA CT	422	9631	Jointed Concrete (JCP)	Local	8/5/2020	81	215
RD-150	VISTA CT	185	4472	Jointed Concrete (JCP)	Local	8/5/2020	100	-1
RD-322	VISTAVIEW DR	206	5065	Jointed Concrete (JCP)	Local	8/5/2020	100	-1
RD-575	VISTAVIEW DR	671	16899	Jointed Concrete (JCP)	Local	8/5/2020	100	142
RD-663	VISTAVIEW DR	285	7185	Jointed Concrete (JCP)	Local	8/5/2020	91	166
RD-751	VISTAVIEW DR	554	13971	Jointed Concrete (JCP)	Local	8/5/2020	77	323
RD-187	WAGON WHEEL TRL	264	6653	Jointed Concrete (JCP)	Local	8/5/2020	96	149
RD-510	WAGON WHEEL TRL	296	7333	Jointed Concrete (JCP)	Local	8/5/2020	99	231

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Section ID	Road Name	Pavement Length (ft)	Pavement Area (ft ²)	Pavement Type	Functional Class	Inspection Date	PCI	IRI
RD-522	WAGON WHEEL TRL	301	7525	Jointed Concrete (JCP)	Local	8/5/2020	87	281
RD-532	WAGON WHEEL TRL	417	10594	Jointed Concrete (JCP)	Local	8/5/2020	100	208
RD-74	WALTON DR	2730	61693	Asphalt Concrete (ACP)	Collector	8/9/2020	39	285
RD-1050	WANDERING OAK DR	422	10729	Jointed Concrete (JCP)	Local	8/5/2020	94	217
RD-241	WANDERING OAK DR	449	11310	Jointed Concrete (JCP)	Local	8/5/2020	95	220
RD-495	WANDERING OAK DR	269	6840	Jointed Concrete (JCP)	Local	8/5/2020	89	601
RD-564	WANDERING OAK DR	253	6436	Jointed Concrete (JCP)	Local	8/5/2020	95	244
RD-320	WARWICK DR	275	6865	Jointed Concrete (JCP)	Local	8/6/2020	100	203
RD-411	WARWICK DR	317	7920	Jointed Concrete (JCP)	Local	8/6/2020	74	226
RD-432	WARWICK DR	502	12540	Jointed Concrete (JCP)	Local	8/6/2020	91	180
RD-1006	WATER FRONT CT	496	12606	Jointed Concrete (JCP)	Local	8/6/2020	91	339
RD-527	WAVERLY RD	312	7788	Jointed Concrete (JCP)	Local	8/5/2020	93	250
RD-534	WAVERLY RD	607	15423	Jointed Concrete (JCP)	Local	8/5/2020	96	172
RD-1115	WELLINGTON LN	370	9240	Jointed Concrete (JCP)	Local	8/7/2020	71	250
RD-1116	WELLINGTON LN	180	4488	Jointed Concrete (JCP)	Local	8/7/2020	78	246
RD-1117	WELLINGTON LN	148	3695	Jointed Concrete (JCP)	Local	8/7/2020	81	-1
RD-87	WENTWOOD DR	634	15967	Jointed Concrete (JCP)	Local	8/7/2020	92	187
RD-912	WENTWOOD DR	533	13439	Jointed Concrete (JCP)	Local	8/7/2020	72	325
RD-1120	WESTERLY CIR	227	5675	Jointed Concrete (JCP)	Local	8/7/2020	69	-1
RD-1037	WESTWIND DR	132	3300	Jointed Concrete (JCP)	Local	8/5/2020	86	-1
RD-71	WESTWIND DR	607	15059	Jointed Concrete (JCP)	Local	8/5/2020	89	248
RD-294	WHETSTONE DR	290	7260	Jointed Concrete (JCP)	Local	8/6/2020	51	285
RD-466	WHETSTONE DR	280	6995	Jointed Concrete (JCP)	Local	8/6/2020	50	469
RD-468	WHETSTONE DR	285	7128	Jointed Concrete (JCP)	Local	8/6/2020	97	371
RD-470	WHETSTONE DR	275	6810	Jointed Concrete (JCP)	Local	8/6/2020	60	258
RD-696	WHETSTONE DR	232	5808	Jointed Concrete (JCP)	Local	8/6/2020	92	202
RD-739	WHETSTONE DR	259	6468	Jointed Concrete (JCP)	Local	8/6/2020	78	137
RD-770	WHETSTONE DR	280	6995	Jointed Concrete (JCP)	Local	8/6/2020	75	282
RD-772	WHETSTONE DR	275	6865	Jointed Concrete (JCP)	Local	8/6/2020	53	298
RD-773	WHETSTONE DR	407	10165	Jointed Concrete (JCP)	Local	8/6/2020	55	306
RD-948	WHITEHALL DR	1072	26795	Jointed Concrete (JCP)	Local	8/6/2020	97	231

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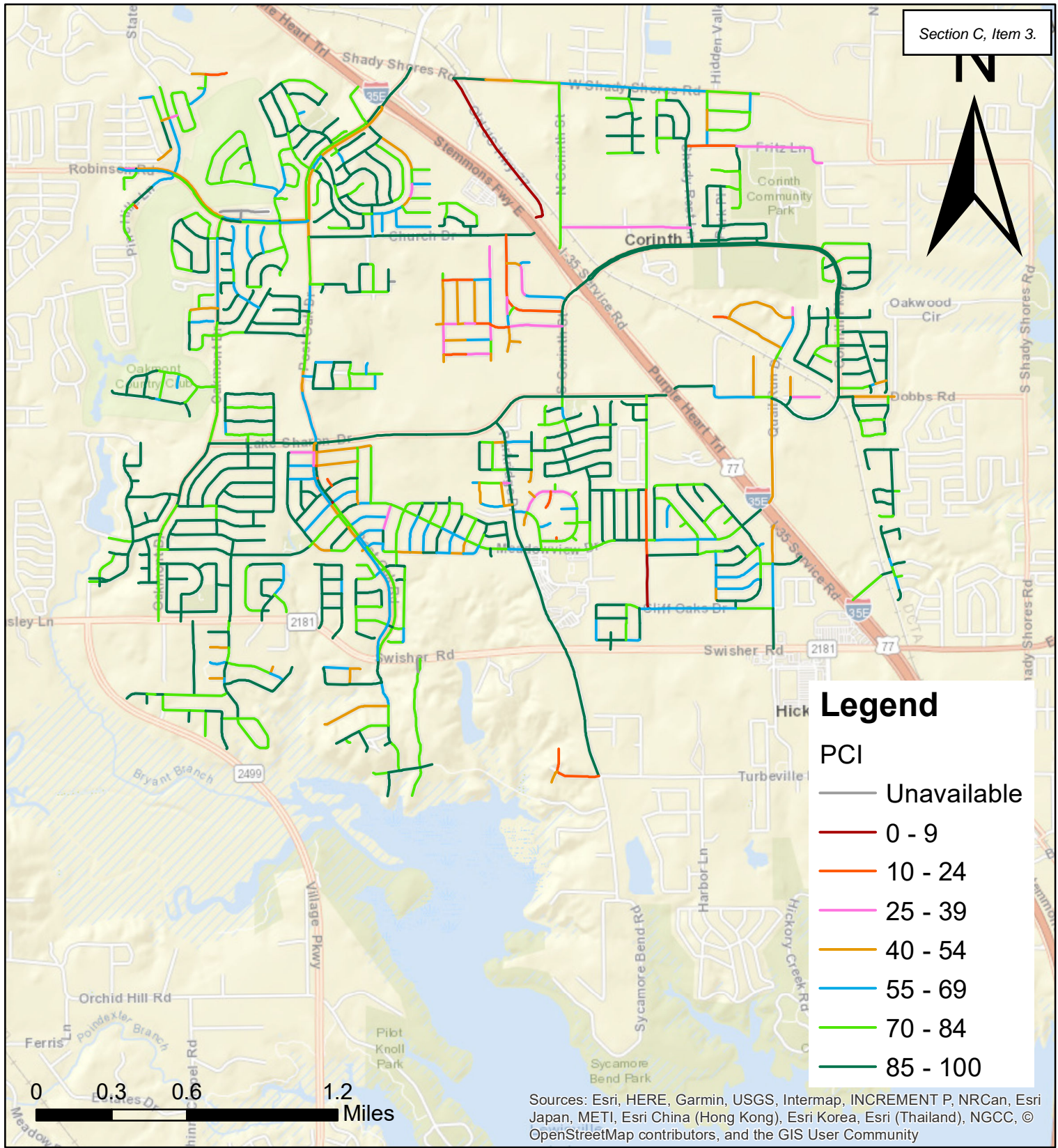
Section ID	Road Name	Pavement Length (ft)	Pavement Area (ft ²)	Pavement Type	Functional Class	Inspection Date	PCI	IRI
RD-358	WICKERSHAM LN	1003	25481	Jointed Concrete (JCP)	Local	8/7/2020	97	302
RD-1139	WILDWOOD ST	285	6500	Asphalt Concrete (ACP)	Local	8/5/2020	41	378
RD-307	WILDWOOD ST	877	19809	Asphalt Concrete (ACP)	Local	8/5/2020	64	229
RD-395	WILDWOOD ST	644	14430	Asphalt Concrete (ACP)	Local	8/5/2020	35	308
RD-590	WILMETTE DR	517	12935	Jointed Concrete (JCP)	Local	8/5/2020	82	187
RD-988	WINCHESTER CT	528	13200	Jointed Concrete (JCP)	Local	8/6/2020	84	318
RD-200	WINDMERE CIR	375	9373	Asphalt Concrete (ACP)	Local	8/6/2020	34	332
RD-212	WINDMERE CIR	21	528	Asphalt Concrete (ACP)	Local	8/6/2020	52	427
RD-254	WINDMERE CIR	475	11880	Asphalt Concrete (ACP)	Local	8/6/2020	36	339
RD-255	WINDMERE CIR	375	9373	Asphalt Concrete (ACP)	Local	8/6/2020	31	224
RD-576	WINDMERE CIR	285	7128	Asphalt Concrete (ACP)	Local	8/6/2020	79	307
RD-682	WINDMERE CIR	290	7260	Asphalt Concrete (ACP)	Local	8/6/2020	77	194
RD-700	WINDMERE CIR	301	7525	Asphalt Concrete (ACP)	Local	8/6/2020	78	194
RD-727	WINDMERE CIR	354	8845	Asphalt Concrete (ACP)	Local	8/6/2020	83	214
RD-729	WINDMERE CIR	338	8448	Asphalt Concrete (ACP)	Local	8/6/2020	83	155
RD-521	WINDMILL HILL CIR	517	13142	Jointed Concrete (JCP)	Local	8/5/2020	95	439
RD-440	WINDRIDGE LN	143	3936	Jointed Concrete (JCP)	Local	8/5/2020	75	382
RD-447	WINDRIDGE LN	137	3789	Jointed Concrete (JCP)	Local	8/5/2020	76	398
RD-485	WINDRIDGE LN	269	7433	Jointed Concrete (JCP)	Local	8/5/2020	69	386
RD-691	WINDRIDGE LN	158	4372	Jointed Concrete (JCP)	Local	8/5/2020	93	-1
RD-759	WINDRIDGE LN	554	15301	Jointed Concrete (JCP)	Local	8/5/2020	90	289
RD-793	WINDRIDGE LN	137	3789	Jointed Concrete (JCP)	Local	8/5/2020	61	384
RD-834	WINDRIDGE LN	243	6704	Jointed Concrete (JCP)	Local	8/5/2020	93	170
RD-229	WINDSOR PKWY	232	5111	Jointed Concrete (JCP)	Local	8/6/2020	73	326
RD-874	WINDSOR PKWY	327	7006	Jointed Concrete (JCP)	Local	8/6/2020	93	183
RD-882	WINDSOR PKWY	322	7086	Jointed Concrete (JCP)	Local	8/6/2020	84	154
RD-886	WINDSOR PKWY	190	4068	Jointed Concrete (JCP)	Local	8/6/2020	95	183
RD-891	WINDSOR PKWY	613	12495	Jointed Concrete (JCP)	Local	8/6/2020	85	271
RD-898	WINDSOR PKWY	908	18709	Jointed Concrete (JCP)	Local	8/6/2020	80	245
RD-938	WINDSOR PKWY	338	7366	Jointed Concrete (JCP)	Local	8/6/2020	98	165
RD-946	WINDSOR PKWY	121	2598	Jointed Concrete (JCP)	Local	8/6/2020	60	158

Network Condition Listings

Section C, Item 3.

Section ID	Road Name	Pavement Length (ft)	Pavement Area (ft ²)	Pavement Type	Functional Class	Inspection Date	PCI	IRI
RD-159	WINDSTONE WAY	164	3831	Jointed Concrete (JCP)	Local	8/5/2020	84	-1
RD-72	WINDSTONE WAY	919	22049	Jointed Concrete (JCP)	Local	8/5/2020	78	276
RD-85	WINDY GLEN	185	4620	Jointed Concrete (JCP)	Local	8/5/2020	86	-1
RD-506	WINDY MEADOW DR	539	13573	Jointed Concrete (JCP)	Local	8/5/2020	90	235
RD-508	WINDY MEADOW DR	238	5940	Jointed Concrete (JCP)	Local	8/5/2020	82	234
RD-516	WINDY MEADOW DR	322	7988	Jointed Concrete (JCP)	Local	8/5/2020	75	288
RD-524	WINDY MEADOW DR	317	8047	Jointed Concrete (JCP)	Local	8/5/2020	97	251
RD-601	WINNETKA RD	470	11654	Jointed Concrete (JCP)	Local	8/5/2020	84	192
RD-951	WINSTON DR	290	7376	Asphalt Concrete (ACP)	Local	8/7/2020	40	198
RD-952	WINSTON DR	327	8316	Asphalt Concrete (ACP)	Local	8/7/2020	17	225
RD-352	WOOD RIDGE CT	507	12774	Jointed Concrete (JCP)	Local	8/7/2020	56	296
RD-531	WOOD STONE CIR	602	15288	Jointed Concrete (JCP)	Local	8/5/2020	91	223
RD-375	WOODCREST CIR	232	4692	Asphalt Concrete (ACP)	Local	8/5/2020	53	-1
RD-399	WOODLAKE CT	148	3518	Jointed Concrete (JCP)	Local	8/7/2020	74	-1
RD-398	WOODLAKE DR	296	7393	Jointed Concrete (JCP)	Local	8/7/2020	78	290
RD-903	WOODLAKE DR	507	12875	Jointed Concrete (JCP)	Local	8/7/2020	58	378
RD-807	WOODS EDGE CT	470	9868	Jointed Concrete (JCP)	Local	8/5/2020	95	276
RD-228	YELLOWSTONE LN	296	7393	Jointed Concrete (JCP)	Local	8/6/2020	86	180
RD-413	YELLOWSTONE LN	280	6883	Jointed Concrete (JCP)	Local	8/6/2020	90	118
RD-496	YELLOWSTONE LN	935	23365	Jointed Concrete (JCP)	Local	8/6/2020	93	161
RD-658	YELLOWSTONE LN	280	6995	Jointed Concrete (JCP)	Local	8/6/2020	95	299
RD-734	YELLOWSTONE LN	290	7260	Jointed Concrete (JCP)	Local	8/6/2020	93	162
RD-762	YELLOWSTONE LN	444	11088	Jointed Concrete (JCP)	Local	8/6/2020	51	304
RD-763	YELLOWSTONE LN	639	16100	Jointed Concrete (JCP)	Local	8/6/2020	73	267
RD-701	YELLOWSTONE PARK LN	554	13860	Jointed Concrete (JCP)	Local	8/6/2020	58	364
RD-703	YELLOWSTONE PARK LN	58	1453	Jointed Concrete (JCP)	Local	8/6/2020	62	522
RD-435	YORK LN	269	6679	Jointed Concrete (JCP)	Local	8/5/2020	95	211
RD-643	YORK LN	269	6733	Jointed Concrete (JCP)	Local	8/5/2020	89	157
RD-465	YUKON DR	655	15582	Jointed Concrete (JCP)	Local	8/6/2020	62	370
RD-581	YUKON DR	433	9872	Jointed Concrete (JCP)	Local	8/6/2020	82	278
RD-252	ZACHARY DR	1204	29854	Jointed Concrete (JCP)	Local	8/6/2020	73	188

Appendix C. Network Condition Maps



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, © OpenStreetMap contributors, and the GIS User Community

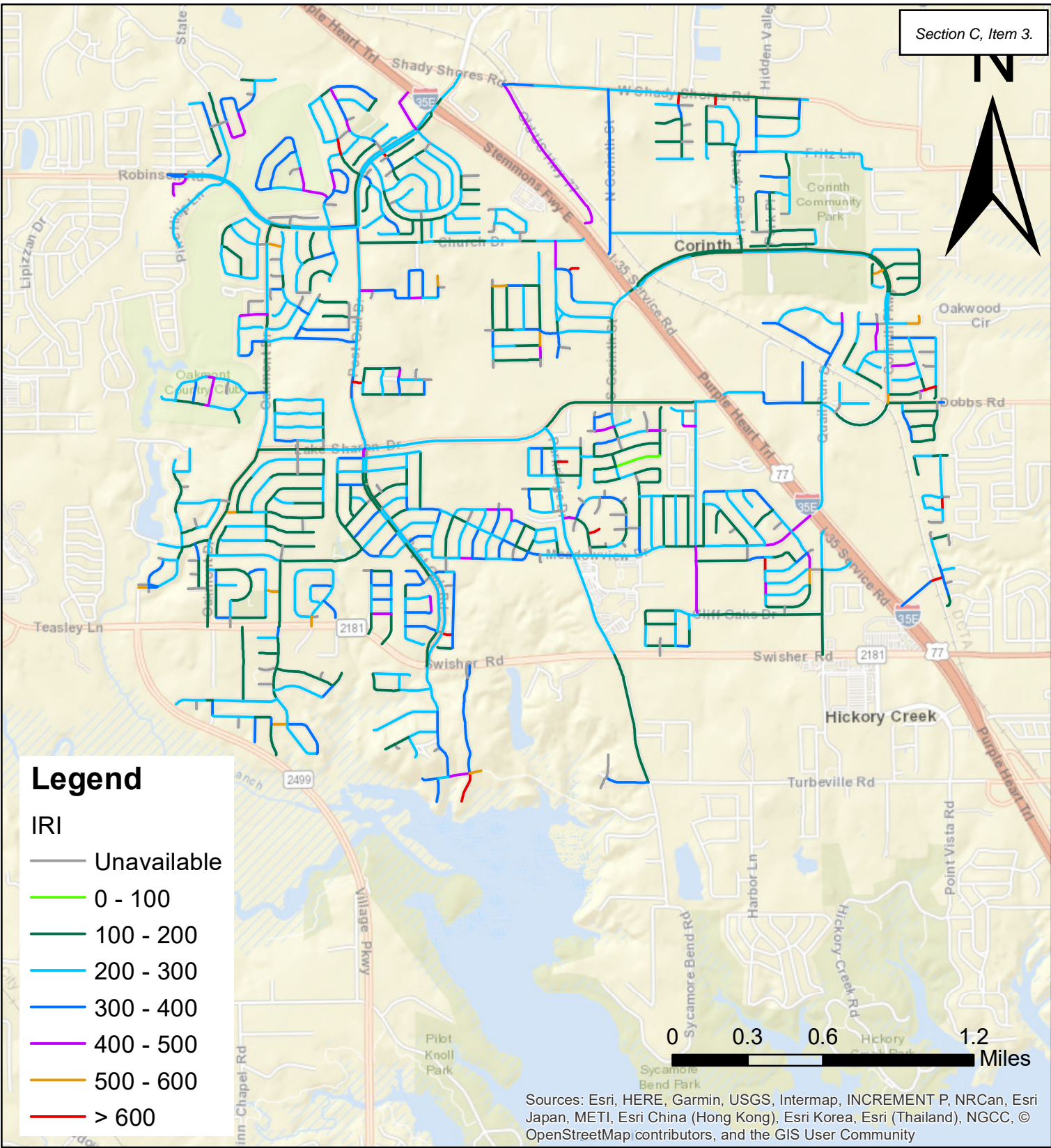
City of Corinth, TX 2020 PCI Scores



Fugro USA Land, Inc.
Base Map: World Street Map
GCS: NAD 1983 St. TX Noth Central FIPS 4202 ft

Date of Compilation: December 10, 2020
Produced by: Mona Nobakht

This exhibit is intended solely for the pavement management purposes stated in the terms and conditions of this report.



City of Corinth, TX 2020 IRI Scores



Fugro USA Land, Inc.
 Base Map: World Street Map
 GCS: NAD 1983 St. TX North Central FIPS 4202 ft
 Date of Compilation: November 4, 2020
 Produced by: Mona Nobakht

This exhibit is intended solely for the pavement management purposes stated in the terms and conditions of this report.

Appendix D. Current Needs

Current Needs

Section C, Item 3.

Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-847	CLIFF OAKS DR	AC Asphalt Concrete	19431	ACP - Crack Seal/Fog Seal	1943	82	92
RD-544	DOBBS RD	AC Asphalt Concrete	9338	ACP - Crack Seal/Fog Seal	934	81	91
RD-792	RIVERVIEW DR	AC Asphalt Concrete	15203	ACP - Crack Seal/Fog Seal	1520	85	95
RD-729	WINDMERE CIR	AC Asphalt Concrete	8448	ACP - Crack Seal/Fog Seal	845	82	92
RD-727	WINDMERE CIR	AC Asphalt Concrete	8845	ACP - Crack Seal/Fog Seal	885	82	92
RD-372	BOULDER DR	AC Asphalt Concrete	11839	ACP - Full Depth Patching	6393	56	81
RD-242	BRIARS	AC Asphalt Concrete	925	ACP - Full Depth Patching	500	70	95
RD-392	CHAPEL PL	AC Asphalt Concrete	5766	ACP - Full Depth Patching	3114	56	81
RD-849	CLIFF OAKS DR	AC Asphalt Concrete	44211	ACP - Full Depth Patching	23874	62	87
RD-140	CREEKWOOD	AC Asphalt Concrete	9373	ACP - Full Depth Patching	5061	69	94
RD-958	DALTON DR	AC Asphalt Concrete	9900	ACP - Full Depth Patching	5346	67	92
RD-39	FORD DR	AC Asphalt Concrete	10432	ACP - Full Depth Patching	5633	60	85
RD-153	FOREST HILLS	AC Asphalt Concrete	10693	ACP - Full Depth Patching	5774	69	94
RD-201	FORESTWOOD DR	AC Asphalt Concrete	7260	ACP - Full Depth Patching	3920	62	87
RD-1146	HILLSIDE DR	AC Asphalt Concrete	7530	ACP - Full Depth Patching	4066	63	88
RD-809	MEADOWS DR	AC Asphalt Concrete	8185	ACP - Full Depth Patching	4420	62	87
RD-75	MISTY GLEN	AC Asphalt Concrete	26400	ACP - Full Depth Patching	14256	68	93
RD-362	OAK HILL DR	AC Asphalt Concrete	20981	ACP - Full Depth Patching	11330	61	86
RD-517	OAK HILL DR	AC Asphalt Concrete	6562	ACP - Full Depth Patching	3543	69	94
RD-168	PECAN CREEK CIR	AC Asphalt Concrete	3562	ACP - Full Depth Patching	1923	64	89
RD-139	PECAN CREEK CIR	AC Asphalt Concrete	7186	ACP - Full Depth Patching	3880	69	94
RD-173	PECAN CREEK CIR	AC Asphalt Concrete	7288	ACP - Full Depth Patching	3935	56	81
RD-175	PECAN CREEK CIR	AC Asphalt Concrete	5045	ACP - Full Depth Patching	2724	56	81
RD-844	S GARRISON RD	AC Asphalt Concrete	20958	ACP - Full Depth Patching	11317	61	86
RD-401	SHADY SHORES RD	AC Asphalt Concrete	15996	ACP - Full Depth Patching	8638	59	84
RD-1160	SHADY SHORES RD	AC Asphalt Concrete	14647	ACP - Full Depth Patching	7909	62	87
RD-295	SHADY SHORES RD	AC Asphalt Concrete	28091	ACP - Full Depth Patching	15169	57	82
RD-954	SHADY SHORES RD	AC Asphalt Concrete	19058	ACP - Full Depth Patching	10291	69	94
RD-80	SPRINGBROOK	AC Asphalt Concrete	9240	ACP - Full Depth Patching	4990	62	87
RD-351	TWIN BROOK TURN	AC Asphalt Concrete	5157	ACP - Full Depth Patching	2785	63	88

Current Needs

Section C, Item 3.

Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-307	WILDWOOD ST	AC Asphalt Concrete	19809	ACP - Full Depth Patching	10697	63	88
RD-151	PECAN CREEK CIR	AC Asphalt Concrete	7274	ACP - Microsurface	2910	77	97
RD-177	PECAN CREEK CIR	AC Asphalt Concrete	4619	ACP - Microsurface	1848	76	96
RD-402	SHADY SHORES RD	AC Asphalt Concrete	16898	ACP - Microsurface	6759	77	97
RD-405	SHADY SHORES RD	AC Asphalt Concrete	3327	ACP - Microsurface	1331	79	99
RD-542	DOBBS RD	AC Asphalt Concrete	15301	ACP - Reconstruction	229522	36	100
RD-1161	FRITZ LN	AC Asphalt Concrete	10033	ACP - Reconstruction	150488	25	100
RD-979	FRITZ LN	AC Asphalt Concrete	40788	ACP - Reconstruction	611813	29	100
RD-810	FRITZ LN	AC Asphalt Concrete	15708	ACP - Reconstruction	235613	8	100
RD-980	FRITZ LN	AC Asphalt Concrete	11220	ACP - Reconstruction	168300	19	100
RD-1145	HILLSIDE DR	AC Asphalt Concrete	6923	ACP - Reconstruction	103845	11	100
RD-282	HILLSIDE DR	AC Asphalt Concrete	8113	ACP - Reconstruction	121701	15	100
RD-548	LEAMEADOW CIR	AC Asphalt Concrete	10607	ACP - Reconstruction	159104	39	100
RD-514	LYNCHBURG DR	AC Asphalt Concrete	30919	ACP - Reconstruction	463788	39	100
RD-350	LYNCHBURG DR	AC Asphalt Concrete	7920	ACP - Reconstruction	118800	16	100
RD-545	MAYFIELD CIR	AC Asphalt Concrete	21253	ACP - Reconstruction	318788	40	100
RD-308	NORTH HAVEN DR	AC Asphalt Concrete	22857	ACP - Reconstruction	342857	20	100
RD-272	NORTH HAVEN DR	AC Asphalt Concrete	13483	ACP - Reconstruction	202247	12	100
RD-338	NORTH HAVEN DR	AC Asphalt Concrete	25666	ACP - Reconstruction	384983	22	100
RD-1151	OAK HILL DR	AC Asphalt Concrete	7215	ACP - Reconstruction	108226	23	100
RD-281	OAK HILL DR	AC Asphalt Concrete	15752	ACP - Reconstruction	236283	34	100
RD-901	OLD HWY 77	AC Asphalt Concrete	23050	ACP - Reconstruction	345749	2	100
RD-169	OLD HWY 77	AC Asphalt Concrete	52605	ACP - Reconstruction	789079	4	100
RD-154	PECAN CREEK CIR	AC Asphalt Concrete	7320	ACP - Reconstruction	109804	39	100
RD-346	QUAIL RUN DR	AC Asphalt Concrete	5023	ACP - Reconstruction	75342	24	100
RD-950	SCENIC DR	AC Asphalt Concrete	3438	ACP - Reconstruction	51566	18	100
RD-373	SHARON DR	AC Asphalt Concrete	6863	ACP - Reconstruction	102942	35	100
RD-1149	SHARON DR	AC Asphalt Concrete	7619	ACP - Reconstruction	114286	28	100
RD-1044	SILVER MEADOW LN	AC Asphalt Concrete	6622	ACP - Reconstruction	99330	38	100
RD-1148	SILVER MEADOW LN	AC Asphalt Concrete	4132	ACP - Reconstruction	61985	30	100

Current Needs

Section C, Item 3.

Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-364	SILVER MEADOW LN	AC Asphalt Concrete	25656	ACP - Reconstruction	384833	38	100
RD-360	SILVER MEADOW LN	AC Asphalt Concrete	7434	ACP - Reconstruction	111507	17	100
RD-365	SILVER MEADOW LN	AC Asphalt Concrete	8752	ACP - Reconstruction	131275	8	100
RD-1105	SUMMIT RIDGE DR	AC Asphalt Concrete	18780	ACP - Reconstruction	281705	19	100
RD-726	THE RIDGE	AC Asphalt Concrete	1980	ACP - Reconstruction	29700	21	100
RD-776	TOWER RIDGE DR	AC Asphalt Concrete	5924	ACP - Reconstruction	88862	14	100
RD-719	TOWER RIDGE DR	AC Asphalt Concrete	21965	ACP - Reconstruction	329472	23	100
RD-850	TOWER RIDGE DR	AC Asphalt Concrete	20018	ACP - Reconstruction	300268	6	100
RD-340	TWIN BROOK TURN	AC Asphalt Concrete	8474	ACP - Reconstruction	127116	33	100
RD-518	VALLEY VIEW DR	AC Asphalt Concrete	11299	ACP - Reconstruction	169488	36	100
RD-1046	VALLEY VIEW DR	AC Asphalt Concrete	10686	ACP - Reconstruction	160287	20	100
RD-74	WALTON DR	AC Asphalt Concrete	61693	ACP - Reconstruction	925402	39	100
RD-395	WILDWOOD ST	AC Asphalt Concrete	14430	ACP - Reconstruction	216451	34	100
RD-254	WINDMERE CIR	AC Asphalt Concrete	11880	ACP - Reconstruction	178200	35	100
RD-255	WINDMERE CIR	AC Asphalt Concrete	9373	ACP - Reconstruction	140588	30	100
RD-200	WINDMERE CIR	AC Asphalt Concrete	9373	ACP - Reconstruction	140588	32	100
RD-952	WINSTON DR	AC Asphalt Concrete	8316	ACP - Reconstruction	124739	15	100
RD-951	WINSTON DR	AC Asphalt Concrete	7376	ACP - Reconstruction	110642	39	100
RD-195	DOBBS RD	AC Asphalt Concrete	3336	ACP - Reconstruction - CIP	50046	44	100
RD-196	DOBBS RD	AC Asphalt Concrete	17907	ACP - Reconstruction - CIP	268607	46	100
RD-117	ASPEN	AC Asphalt Concrete	9373	ACP - Slurry Seal	2812	72	92
RD-578	BALLADEER	AC Asphalt Concrete	6865	ACP - Slurry Seal	2060	74	94
RD-835	BURL ST	AC Asphalt Concrete	6704	ACP - Slurry Seal	2011	76	96
RD-172	CHERRY LN	AC Asphalt Concrete	16368	ACP - Slurry Seal	4910	73	93
RD-804	DALTON DR	AC Asphalt Concrete	29305	ACP - Slurry Seal	8792	71	91
RD-227	FORESTWOOD DR	AC Asphalt Concrete	10165	ACP - Slurry Seal	3050	75	95
RD-757	FORESTWOOD DR	AC Asphalt Concrete	4285	ACP - Slurry Seal	1286	72	92
RD-730	FORESTWOOD DR	AC Asphalt Concrete	7274	ACP - Slurry Seal	2182	76	96
RD-959	MACBEY DR	AC Asphalt Concrete	19141	ACP - Slurry Seal	5742	75	95
RD-957	MEADOWS DR	AC Asphalt Concrete	9900	ACP - Slurry Seal	2970	78	98

Current Needs

Section C, Item 3.

Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-525	QUAIL RUN DR	AC Asphalt Concrete	7465	ACP - Slurry Seal	2239	77	97
RD-283	SHARON DR	AC Asphalt Concrete	1596	ACP - Slurry Seal	479	76	96
RD-724	THE GROVE	AC Asphalt Concrete	2882	ACP - Slurry Seal	865	78	98
RD-253	THE WOODS	AC Asphalt Concrete	3168	ACP - Slurry Seal	950	74	94
RD-339	UNNAMED STREET	AC Asphalt Concrete	4436	ACP - Slurry Seal	1331	78	98
RD-682	WINDMERE CIR	AC Asphalt Concrete	7260	ACP - Slurry Seal	2178	76	96
RD-576	WINDMERE CIR	AC Asphalt Concrete	7128	ACP - Slurry Seal	2138	78	98
RD-700	WINDMERE CIR	AC Asphalt Concrete	7525	ACP - Slurry Seal	2258	77	97
RD-359	AVON DR	AC Asphalt Concrete	18400	ACP- Base Repair, Spot Seal, Thin Overlay	64400	43	90
RD-1047	BOULDER DR	AC Asphalt Concrete	10291	ACP- Base Repair, Spot Seal, Thin Overlay	36017	49	90
RD-357	DUNDEE DR	AC Asphalt Concrete	18850	ACP- Base Repair, Spot Seal, Thin Overlay	65974	43	90
RD-978	MEADOWS DR	AC Asphalt Concrete	10560	ACP- Base Repair, Spot Seal, Thin Overlay	36960	51	90
RD-1152	OAK HILL DR	AC Asphalt Concrete	2938	ACP- Base Repair, Spot Seal, Thin Overlay	10281	48	90
RD-513	QUAIL RUN DR	AC Asphalt Concrete	16853	ACP- Base Repair, Spot Seal, Thin Overlay	58985	55	90
RD-543	QUAIL RUN DR	AC Asphalt Concrete	18810	ACP- Base Repair, Spot Seal, Thin Overlay	65835	53	90
RD-436	QUAIL RUN DR	AC Asphalt Concrete	56549	ACP- Base Repair, Spot Seal, Thin Overlay	197921	49	90
RD-349	RED OAK DR	AC Asphalt Concrete	39097	ACP- Base Repair, Spot Seal, Thin Overlay	136839	52	90
RD-361	SHARON DR	AC Asphalt Concrete	19109	ACP- Base Repair, Spot Seal, Thin Overlay	66881	48	90
RD-1150	SHARON DR	AC Asphalt Concrete	3109	ACP- Base Repair, Spot Seal, Thin Overlay	10880	43	90
RD-1147	SILVER MEADOW LN	AC Asphalt Concrete	3358	ACP- Base Repair, Spot Seal, Thin Overlay	11753	42	90
RD-1045	SILVER MEADOW LN	AC Asphalt Concrete	1626	ACP- Base Repair, Spot Seal, Thin Overlay	5690	54	90
RD-1106	SUMMIT RIDGE DR	AC Asphalt Concrete	6183	ACP- Base Repair, Spot Seal, Thin Overlay	21640	44	90
RD-256	THE DOWNS	AC Asphalt Concrete	3636	ACP- Base Repair, Spot Seal, Thin Overlay	12726	49	90
RD-374	TWIN BROOK TURN	AC Asphalt Concrete	5973	ACP- Base Repair, Spot Seal, Thin Overlay	20906	45	90
RD-515	TWIN BROOK TURN	AC Asphalt Concrete	4480	ACP- Base Repair, Spot Seal, Thin Overlay	15681	48	90
RD-1139	WILDWOOD ST	AC Asphalt Concrete	6500	ACP- Base Repair, Spot Seal, Thin Overlay	22751	40	90
RD-212	WINDMERE CIR	AC Asphalt Concrete	528	ACP- Base Repair, Spot Seal, Thin Overlay	1846	51	90
RD-375	WOODCREST CIR	AC Asphalt Concrete	4692	ACP- Base Repair, Spot Seal, Thin Overlay	16424	52	90
RD-546	DOBBS RD	AC Asphalt Concrete	24150	ACP -Mill & Thick Overlay	108676	55	95
RD-164	PECAN CREEK CIR	AC Asphalt Concrete	5471	ACP -Mill & Thick Overlay	24618	54	95

Current Needs

Section C, Item 3.

Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-118	PECAN CREEK CIR	AC Asphalt Concrete	22315	ACP -Mill & Thick Overlay	100419	52	95
RD-789	S GARRISON RD	AC Asphalt Concrete	17970	ACP -Mill & Thick Overlay	80863	52	95
RD-1098	SHADY SHORES RD	AC Asphalt Concrete	11421	ACP -Mill & Thick Overlay	51393	48	95
RD-598	ALCOVE LN	PCC Jointed Concrete	10693	JCP - Crack/Joint Seal	1069	79	89
RD-599	ALCOVE LN	PCC Jointed Concrete	1585	JCP - Crack/Joint Seal	159	76	86
RD-9992	AMHERST DR	PCC Jointed Concrete	11301	JCP - Crack/Joint Seal	1130	75	85
RD-285	ANDOVER LN	PCC Jointed Concrete	6810	JCP - Crack/Joint Seal	681	76	86
RD-475	ARDGLASS TRL	PCC Jointed Concrete	11785	JCP - Crack/Joint Seal	1179	78	88
RD-530	ARDGLASS TRL	PCC Jointed Concrete	7788	JCP - Crack/Joint Seal	779	83	93
RD-82	ARDGLASS TRL	PCC Jointed Concrete	3928	JCP - Crack/Joint Seal	393	78	88
RD-474	ARDGLASS TRL	PCC Jointed Concrete	10246	JCP - Crack/Joint Seal	1025	75	85
RD-1033	ASHTON GARDENS LN	PCC Jointed Concrete	22784	JCP - Crack/Joint Seal	2278	79	89
RD-908	ATTAWAY CV	PCC Jointed Concrete	11120	JCP - Crack/Joint Seal	1112	84	94
RD-213	BALLADEER	PCC Jointed Concrete	6155	JCP - Crack/Joint Seal	616	72	82
RD-551	BALLYCASTLE LN	PCC Jointed Concrete	10604	JCP - Crack/Joint Seal	1060	75	85
RD-557	BECKLEY CT	PCC Jointed Concrete	7185	JCP - Crack/Joint Seal	718	77	87
RD-555	BECKLEY CT	PCC Jointed Concrete	2928	JCP - Crack/Joint Seal	293	77	87
RD-1175	BELLE WAY	PCC Jointed Concrete	8315	JCP - Crack/Joint Seal	832	82	92
RD-1091	BELLE WAY	PCC Jointed Concrete	6600	JCP - Crack/Joint Seal	660	76	86
RD-579	BELLVIEW DR	PCC Jointed Concrete	13993	JCP - Crack/Joint Seal	1399	71	81
RD-317	BERKSHIRE LN	PCC Jointed Concrete	12907	JCP - Crack/Joint Seal	1291	84	94
RD-596	BERKSHIRE LN	PCC Jointed Concrete	6786	JCP - Crack/Joint Seal	679	80	90
RD-214	BIRCH LN	PCC Jointed Concrete	7645	JCP - Crack/Joint Seal	765	75	85
RD-185	BIRDWOOD CIR	PCC Jointed Concrete	12935	JCP - Crack/Joint Seal	1294	85	95
RD-993	BLACK JACK DR	PCC Jointed Concrete	8845	JCP - Crack/Joint Seal	885	82	92
RD-1092	BONANZA CT	PCC Jointed Concrete	3828	JCP - Crack/Joint Seal	383	78	88
RD-1089	BONANZA LN	PCC Jointed Concrete	9768	JCP - Crack/Joint Seal	977	77	87
RD-1094	BONANZA LN	PCC Jointed Concrete	9635	JCP - Crack/Joint Seal	964	79	89
RD-249	BOWIE LN	PCC Jointed Concrete	1418	JCP - Crack/Joint Seal	142	80	90
RD-583	BRAMPTON DR	PCC Jointed Concrete	6563	JCP - Crack/Joint Seal	656	75	85

Current Needs

Section C, Item 3.

Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-828	BRAMPTON DR	PCC Jointed Concrete	5988	JCP - Crack/Joint Seal	599	85	95
RD-431	BRANDI LN	PCC Jointed Concrete	10033	JCP - Crack/Joint Seal	1003	80	90
RD-179	BREEZEHOLLOW WAY	PCC Jointed Concrete	6801	JCP - Crack/Joint Seal	680	82	92
RD-884	BRIDGESTONE DR	PCC Jointed Concrete	23893	JCP - Crack/Joint Seal	2389	73	83
RD-298	BROOKVIEW DR	PCC Jointed Concrete	6157	JCP - Crack/Joint Seal	616	76	86
RD-662	BROOKVIEW DR	PCC Jointed Concrete	6157	JCP - Crack/Joint Seal	616	75	85
RD-297	BROOKVIEW DR	PCC Jointed Concrete	3896	JCP - Crack/Joint Seal	390	85	95
RD-264	CALADIUM DR	PCC Jointed Concrete	11628	JCP - Crack/Joint Seal	1163	83	93
RD-263	CALADIUM DR	PCC Jointed Concrete	13160	JCP - Crack/Joint Seal	1316	79	89
RD-999	CANNES DR	PCC Jointed Concrete	16755	JCP - Crack/Joint Seal	1676	78	88
RD-843	CASTLEGATE DR	PCC Jointed Concrete	11626	JCP - Crack/Joint Seal	1163	84	94
RD-679	CEDAR ELM DR	PCC Jointed Concrete	7585	JCP - Crack/Joint Seal	759	77	87
RD-332	CHALKSTONE CV	PCC Jointed Concrete	13465	JCP - Crack/Joint Seal	1347	84	94
RD-829	CHAMBRAY DR	PCC Jointed Concrete	12935	JCP - Crack/Joint Seal	1294	84	94
RD-567	CLARK DR	PCC Jointed Concrete	7920	JCP - Crack/Joint Seal	792	81	91
RD-845	CLIFF OAKS DR	PCC Jointed Concrete	8161	JCP - Crack/Joint Seal	816	73	83
RD-710	CLIFFVIEW DR	PCC Jointed Concrete	10955	JCP - Crack/Joint Seal	1096	71	81
RD-311	CLUB VIEW CIR	PCC Jointed Concrete	14503	JCP - Crack/Joint Seal	1450	77	87
RD-354	CLUBSIDE DR	PCC Jointed Concrete	6571	JCP - Crack/Joint Seal	657	81	91
RD-512	CLUBSIDE DR	PCC Jointed Concrete	14369	JCP - Crack/Joint Seal	1437	85	95
RD-462	COPPER LEAF DR	PCC Jointed Concrete	13486	JCP - Crack/Joint Seal	1349	81	91
RD-463	COPPER LEAF DR	PCC Jointed Concrete	11429	JCP - Crack/Joint Seal	1143	79	89
RD-1090	CORINTH BEND	PCC Jointed Concrete	7393	JCP - Crack/Joint Seal	739	81	91
RD-528	CORINTH FARMS TRL	PCC Jointed Concrete	7777	JCP - Crack/Joint Seal	778	85	95
RD-507	CORINTH PKWY	PCC Jointed Concrete	27429	JCP - Crack/Joint Seal	2743	81	91
RD-237	CORINTH PKWY	PCC Jointed Concrete	925	JCP - Crack/Joint Seal	93	78	88
RD-270	CREEK FALLS DR	PCC Jointed Concrete	17245	JCP - Crack/Joint Seal	1725	83	93
RD-267	CREEK HILL LN	PCC Jointed Concrete	26795	JCP - Crack/Joint Seal	2680	83	93
RD-79	CREEKSIDE DR	PCC Jointed Concrete	15013	JCP - Crack/Joint Seal	1501	79	89
RD-376	CREEKSIDE DR	PCC Jointed Concrete	20226	JCP - Crack/Joint Seal	2023	82	92

Current Needs

Section C, Item 3.

Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-224	CROCKETT DR	PCC Jointed Concrete	1453	JCP - Crack/Joint Seal	145	80	90
RD-785	CUSTER DR	PCC Jointed Concrete	7260	JCP - Crack/Joint Seal	726	78	88
RD-206	CUSTER DR	PCC Jointed Concrete	6468	JCP - Crack/Joint Seal	647	80	90
RD-684	CUSTER DR	PCC Jointed Concrete	11353	JCP - Crack/Joint Seal	1135	80	90
RD-93	DANBURY CIR	PCC Jointed Concrete	4600	JCP - Crack/Joint Seal	460	84	94
RD-94	DANBURY CV	PCC Jointed Concrete	12858	JCP - Crack/Joint Seal	1286	79	89
RD-892	DERBY RUN	PCC Jointed Concrete	8053	JCP - Crack/Joint Seal	805	80	90
RD-44	EMERALD PARK DR	PCC Jointed Concrete	5015	JCP - Crack/Joint Seal	502	85	95
RD-404	FAIR OAKS CIR	PCC Jointed Concrete	25978	JCP - Crack/Joint Seal	2598	78	88
RD-453	FAIR OAKS CIR	PCC Jointed Concrete	7540	JCP - Crack/Joint Seal	754	85	95
RD-420	FAIRVIEW DR	PCC Jointed Concrete	13116	JCP - Crack/Joint Seal	1312	79	89
RD-787	FAIRVIEW DR	PCC Jointed Concrete	9908	JCP - Crack/Joint Seal	991	72	82
RD-813	FAIRVIEW DR	PCC Jointed Concrete	9036	JCP - Crack/Joint Seal	904	77	87
RD-417	FAIRVIEW DR	PCC Jointed Concrete	9619	JCP - Crack/Joint Seal	962	83	93
RD-838	FAIRVIEW DR	PCC Jointed Concrete	22880	JCP - Crack/Joint Seal	2288	84	94
RD-1070	FAIRVIEW DR	PCC Jointed Concrete	5393	JCP - Crack/Joint Seal	539	72	82
RD-494	FAIRVIEW DR	PCC Jointed Concrete	16905	JCP - Crack/Joint Seal	1691	84	94
RD-47	FAIRWAY DR	PCC Jointed Concrete	4855	JCP - Crack/Joint Seal	485	82	92
RD-477	FIELDWOOD DR	PCC Jointed Concrete	16499	JCP - Crack/Joint Seal	1650	81	91
RD-713	GERONIMO DR	PCC Jointed Concrete	12013	JCP - Crack/Joint Seal	1201	78	88
RD-388	GLEN AERIE DR	PCC Jointed Concrete	11393	JCP - Crack/Joint Seal	1139	77	87
RD-560	GLENHAVEN DR	PCC Jointed Concrete	7242	JCP - Crack/Joint Seal	724	84	94
RD-693	GOODNIGHT TRL	PCC Jointed Concrete	11040	JCP - Crack/Joint Seal	1104	84	94
RD-289	GOSHAWK LN	PCC Jointed Concrete	6995	JCP - Crack/Joint Seal	700	83	93
RD-962	HIDDEN OAKS CIR	PCC Jointed Concrete	23676	JCP - Crack/Joint Seal	2368	73	83
RD-846	HIDDEN SPRINGS DR	PCC Jointed Concrete	29517	JCP - Crack/Joint Seal	2952	82	92
RD-292	HISTORY CRESCENT	PCC Jointed Concrete	2682	JCP - Crack/Joint Seal	268	84	94
RD-667	HOLLIS DR	PCC Jointed Concrete	13545	JCP - Crack/Joint Seal	1354	77	87
RD-731	INDIAN LAKE TRL	PCC Jointed Concrete	10428	JCP - Crack/Joint Seal	1043	76	86
RD-896	JESSE WAY	PCC Jointed Concrete	27455	JCP - Crack/Joint Seal	2746	82	92

Current Needs

Section C, Item 3.

Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-894	JESSE WAY	PCC Jointed Concrete	8315	JCP - Crack/Joint Seal	832	82	92
RD-393	JUNEAU CT	PCC Jointed Concrete	7920	JCP - Crack/Joint Seal	792	84	94
RD-1027	JUNEAU DR	PCC Jointed Concrete	6044	JCP - Crack/Joint Seal	604	82	92
RD-197	JUNEAU DR	PCC Jointed Concrete	21828	JCP - Crack/Joint Seal	2183	80	90
RD-591	KENILWORTH DR	PCC Jointed Concrete	8903	JCP - Crack/Joint Seal	890	85	95
RD-600	KENILWORTH DR	PCC Jointed Concrete	7349	JCP - Crack/Joint Seal	735	81	91
RD-448	KILN DR	PCC Jointed Concrete	16368	JCP - Crack/Joint Seal	1637	84	94
RD-148	KNOLL RIDGE DR	PCC Jointed Concrete	34463	JCP - Crack/Joint Seal	3446	84	94
RD-1002	LAKE GROVE CT	PCC Jointed Concrete	3643	JCP - Crack/Joint Seal	364	77	87
RD-794	LANDWICK CT	PCC Jointed Concrete	10949	JCP - Crack/Joint Seal	1095	80	90
RD-597	LULA CT	PCC Jointed Concrete	10113	JCP - Crack/Joint Seal	1011	85	95
RD-329	MALLORY DR	PCC Jointed Concrete	2126	JCP - Crack/Joint Seal	213	80	90
RD-450	MALLORY DR	PCC Jointed Concrete	8712	JCP - Crack/Joint Seal	871	83	93
RD-191	MALLORY DR	PCC Jointed Concrete	5709	JCP - Crack/Joint Seal	571	84	94
RD-1170	MANCHESTER WAY	PCC Jointed Concrete	4355	JCP - Crack/Joint Seal	436	77	87
RD-889	MANCHESTER WAY	PCC Jointed Concrete	16105	JCP - Crack/Joint Seal	1611	71	81
RD-890	MANCHESTER WAY	PCC Jointed Concrete	18085	JCP - Crack/Joint Seal	1809	80	90
RD-144	MARBELLAS CT	PCC Jointed Concrete	14927	JCP - Crack/Joint Seal	1493	81	91
RD-315	MEADOW OAKS DR	PCC Jointed Concrete	6786	JCP - Crack/Joint Seal	679	72	82
RD-377	MEADOW OAKS DR	PCC Jointed Concrete	6167	JCP - Crack/Joint Seal	617	75	85
RD-582	MEADOWVIEW DR	PCC Jointed Concrete	7023	JCP - Crack/Joint Seal	702	75	85
RD-722	MEADOWVIEW DR	PCC Jointed Concrete	6360	JCP - Crack/Joint Seal	636	85	95
RD-766	MEADOWVIEW DR	PCC Jointed Concrete	4467	JCP - Crack/Joint Seal	447	76	86
RD-569	MEADOWVIEW DR	PCC Jointed Concrete	7663	JCP - Crack/Joint Seal	766	71	81
RD-736	MEADOWVIEW DR	PCC Jointed Concrete	5831	JCP - Crack/Joint Seal	583	75	85
RD-760	MEADOWVIEW DR	PCC Jointed Concrete	33529	JCP - Crack/Joint Seal	3353	82	92
RD-204	MEADOWVIEW DR	PCC Jointed Concrete	1330	JCP - Crack/Joint Seal	133	84	94
RD-733	MEADOWVIEW DR	PCC Jointed Concrete	18380	JCP - Crack/Joint Seal	1838	75	85
RD-718	MEADOWVIEW DR	PCC Jointed Concrete	4242	JCP - Crack/Joint Seal	424	72	82
RD-685	MEADOWVIEW DR	PCC Jointed Concrete	7134	JCP - Crack/Joint Seal	713	72	82

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Section C, Item 3.

Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-499	MEADOWVIEW DR	PCC Jointed Concrete	9947	JCP - Crack/Joint Seal	995	70	80
RD-1187	MEADOWVIEW DR	PCC Jointed Concrete	41526	JCP - Crack/Joint Seal	4153	84	94
RD-668	MEADOWVIEW DR	PCC Jointed Concrete	7156	JCP - Crack/Joint Seal	716	78	88
RD-136	MISSION HILLS LN	PCC Jointed Concrete	25142	JCP - Crack/Joint Seal	2514	76	86
RD-509	MUNRO PARK AVE	PCC Jointed Concrete	15022	JCP - Crack/Joint Seal	1502	85	95
RD-956	N CORINTH ST	PCC Jointed Concrete	70069	JCP - Crack/Joint Seal	7007	72	82
RD-83	N CORINTH ST	PCC Jointed Concrete	10201	JCP - Crack/Joint Seal	1020	72	82
RD-554	NORWICH LN	PCC Jointed Concrete	9447	JCP - Crack/Joint Seal	945	84	94
RD-1015	OAK BLUFF DR	PCC Jointed Concrete	9180	JCP - Crack/Joint Seal	918	80	90
RD-394	OAK RIDGE DR	PCC Jointed Concrete	22573	JCP - Crack/Joint Seal	2257	83	93
RD-43	OAK RIDGE DR	PCC Jointed Concrete	25812	JCP - Crack/Joint Seal	2581	83	93
RD-120	OAKHOLLOW CT	PCC Jointed Concrete	4753	JCP - Crack/Joint Seal	475	83	93
RD-982	OAKHOLLOW DR	PCC Jointed Concrete	8117	JCP - Crack/Joint Seal	812	78	88
RD-77	OAKHOLLOW DR	PCC Jointed Concrete	13573	JCP - Crack/Joint Seal	1357	84	94
RD-107	OAKHOLLOW DR	PCC Jointed Concrete	14770	JCP - Crack/Joint Seal	1477	76	86
RD-123	OAKHOLLOW DR	PCC Jointed Concrete	2129	JCP - Crack/Joint Seal	213	82	92
RD-529	OAKMONT DR	PCC Jointed Concrete	24958	JCP - Crack/Joint Seal	2496	77	87
RD-46	OAKMONT DR	PCC Jointed Concrete	9837	JCP - Crack/Joint Seal	984	73	83
RD-695	OAKMONT DR	PCC Jointed Concrete	16923	JCP - Crack/Joint Seal	1692	72	82
RD-181	OAKMONT DR	PCC Jointed Concrete	892	JCP - Crack/Joint Seal	89	80	90
RD-767	OAKMONT DR	PCC Jointed Concrete	7763	JCP - Crack/Joint Seal	776	80	90
RD-780	OAKMONT DR	PCC Jointed Concrete	7194	JCP - Crack/Joint Seal	719	70	80
RD-822	OAKMONT DR	PCC Jointed Concrete	9416	JCP - Crack/Joint Seal	942	80	90
RD-479	OAKMONT DR	PCC Jointed Concrete	29151	JCP - Crack/Joint Seal	2915	77	87
RD-370	OAKMONT DR	PCC Jointed Concrete	6382	JCP - Crack/Joint Seal	638	75	85
RD-859	OAKMONT DR	PCC Jointed Concrete	19468	JCP - Crack/Joint Seal	1947	82	92
RD-318	OXFORD OAKS LN	PCC Jointed Concrete	14157	JCP - Crack/Joint Seal	1416	71	81
RD-54	PARK FOREST DR	PCC Jointed Concrete	2375	JCP - Crack/Joint Seal	238	84	94
RD-122	PARK WOOD DR	PCC Jointed Concrete	20748	JCP - Crack/Joint Seal	2075	85	95
RD-211	PARKVIEW CIR	PCC Jointed Concrete	5655	JCP - Crack/Joint Seal	565	80	90

Current Needs

Section C, Item 3.

Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-471	PEAKVIEW DR	PCC Jointed Concrete	9173	JCP - Crack/Joint Seal	917	72	82
RD-1071	PEAKVIEW DR	PCC Jointed Concrete	3394	JCP - Crack/Joint Seal	339	73	83
RD-145	PECAN VALLEY CT	PCC Jointed Concrete	15840	JCP - Crack/Joint Seal	1584	80	90
RD-526	PINE GLEN RD	PCC Jointed Concrete	10783	JCP - Crack/Joint Seal	1078	83	93
RD-1036	PINE HILLS LN	PCC Jointed Concrete	5630	JCP - Crack/Joint Seal	563	78	88
RD-158	PINE HILLS LN	PCC Jointed Concrete	13277	JCP - Crack/Joint Seal	1328	84	94
RD-391	PINE HILLS LN	PCC Jointed Concrete	15582	JCP - Crack/Joint Seal	1558	80	90
RD-1001	PINNELL CT	PCC Jointed Concrete	15973	JCP - Crack/Joint Seal	1597	79	89
RD-336	POST OAK CIR	PCC Jointed Concrete	8427	JCP - Crack/Joint Seal	843	76	86
RD-97	POST OAK CT	PCC Jointed Concrete	3552	JCP - Crack/Joint Seal	355	83	93
RD-1032	POST OAK DR	PCC Jointed Concrete	27215	JCP - Crack/Joint Seal	2722	83	93
RD-919	POST OAK DR	PCC Jointed Concrete	32344	JCP - Crack/Joint Seal	3234	78	88
RD-750	POST OAK DR	PCC Jointed Concrete	14272	JCP - Crack/Joint Seal	1427	73	83
RD-203	POST OAK DR	PCC Jointed Concrete	7185	JCP - Crack/Joint Seal	718	74	84
RD-486	POST OAK DR	PCC Jointed Concrete	7051	JCP - Crack/Joint Seal	705	85	95
RD-1051	POST OAK DR	PCC Jointed Concrete	14796	JCP - Crack/Joint Seal	1480	74	84
RD-366	POST OAK DR	PCC Jointed Concrete	11279	JCP - Crack/Joint Seal	1128	78	88
RD-702	POST OAK DR	PCC Jointed Concrete	7452	JCP - Crack/Joint Seal	745	81	91
RD-881	POST OAK DR	PCC Jointed Concrete	19273	JCP - Crack/Joint Seal	1927	74	84
RD-106	POST OAK DR	PCC Jointed Concrete	8845	JCP - Crack/Joint Seal	885	81	91
RD-1052	POST OAK DR	PCC Jointed Concrete	7928	JCP - Crack/Joint Seal	793	81	91
RD-225	POST OAK DR	PCC Jointed Concrete	7465	JCP - Crack/Joint Seal	746	73	83
RD-217	POST OAK DR	PCC Jointed Concrete	8250	JCP - Crack/Joint Seal	825	71	81
RD-1004	POST OAK TRL	PCC Jointed Concrete	16899	JCP - Crack/Joint Seal	1690	83	93
RD-1019	POST OAK TRL	PCC Jointed Concrete	10511	JCP - Crack/Joint Seal	1051	79	89
RD-91	POSTWOOD DR	PCC Jointed Concrete	3059	JCP - Crack/Joint Seal	306	84	94
RD-961	POSTWOOD DR	PCC Jointed Concrete	11443	JCP - Crack/Joint Seal	1144	76	86
RD-808	POSTWOOD DR	PCC Jointed Concrete	1464	JCP - Crack/Joint Seal	146	78	88
RD-459	POSTWOOD DR	PCC Jointed Concrete	1674	JCP - Crack/Joint Seal	167	84	94
RD-972	POSTWOOD DR	PCC Jointed Concrete	5456	JCP - Crack/Joint Seal	546	82	92

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Section C, Item 3.

Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-820	POTTERY TRL	PCC Jointed Concrete	4372	JCP - Crack/Joint Seal	437	84	94
RD-819	POTTERY TRL	PCC Jointed Concrete	4858	JCP - Crack/Joint Seal	486	78	88
RD-552	RAVINIA DR	PCC Jointed Concrete	4559	JCP - Crack/Joint Seal	456	77	87
RD-989	RED RIVER WAY	PCC Jointed Concrete	4367	JCP - Crack/Joint Seal	437	78	88
RD-78	REDROCK DR	PCC Jointed Concrete	7699	JCP - Crack/Joint Seal	770	81	91
RD-584	REGINA DR	PCC Jointed Concrete	15949	JCP - Crack/Joint Seal	1595	79	89
RD-199	REGINA DR	PCC Jointed Concrete	6073	JCP - Crack/Joint Seal	607	75	85
RD-790	RIVERVIEW DR	PCC Jointed Concrete	6519	JCP - Crack/Joint Seal	652	71	81
RD-410	ROBIN LN	PCC Jointed Concrete	7344	JCP - Crack/Joint Seal	734	85	95
RD-612	ROBIN LN	PCC Jointed Concrete	4753	JCP - Crack/Joint Seal	475	83	93
RD-155	ROBINSON RD	PCC Jointed Concrete	33049	JCP - Crack/Joint Seal	3305	82	92
RD-33	ROBINSON RD	PCC Jointed Concrete	19520	JCP - Crack/Joint Seal	1952	73	83
RD-183	ROBINSON RD	PCC Jointed Concrete	9425	JCP - Crack/Joint Seal	942	85	95
RD-1043	ROCKY BEND CT	PCC Jointed Concrete	5761	JCP - Crack/Joint Seal	576	79	89
RD-397	ROCKY CT	PCC Jointed Concrete	5148	JCP - Crack/Joint Seal	515	81	91
RD-284	ROCKY CT	PCC Jointed Concrete	5940	JCP - Crack/Joint Seal	594	80	90
RD-261	RYE RD	PCC Jointed Concrete	7850	JCP - Crack/Joint Seal	785	84	94
RD-1011	SAND JACK DR	PCC Jointed Concrete	8185	JCP - Crack/Joint Seal	819	83	93
RD-1010	SAND JACK DR	PCC Jointed Concrete	7920	JCP - Crack/Joint Seal	792	83	93
RD-1008	SERENDIPITY HILLS CT	PCC Jointed Concrete	15833	JCP - Crack/Joint Seal	1583	73	83
RD-570	SHADOW OAK DR	PCC Jointed Concrete	7511	JCP - Crack/Joint Seal	751	81	91
RD-108	SHADY OAKS PL	PCC Jointed Concrete	6547	JCP - Crack/Joint Seal	655	80	90
RD-990	SHADY REST LN	PCC Jointed Concrete	4620	JCP - Crack/Joint Seal	462	72	82
RD-953	SHADY SHORES RD	PCC Jointed Concrete	15223	JCP - Crack/Joint Seal	1522	84	94
RD-616	SHEPARD LN	PCC Jointed Concrete	6653	JCP - Crack/Joint Seal	665	83	93
RD-914	SOMMERSET DR	PCC Jointed Concrete	7224	JCP - Crack/Joint Seal	722	76	86
RD-240	SPANISH OAK DR	PCC Jointed Concrete	3936	JCP - Crack/Joint Seal	394	79	89
RD-786	SPRINGTREE RD	PCC Jointed Concrete	6939	JCP - Crack/Joint Seal	694	84	94
RD-1113	STANHILL DR	PCC Jointed Concrete	11081	JCP - Crack/Joint Seal	1108	73	83
RD-1112	STANHILL DR	PCC Jointed Concrete	7359	JCP - Crack/Joint Seal	736	81	91

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Section C, Item 3.

Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-296	STATE SCHOOL RD	PCC Jointed Concrete	17164	JCP - Crack/Joint Seal	1716	78	88
RD-323	STONE CREEK LN	PCC Jointed Concrete	8845	JCP - Crack/Joint Seal	885	75	85
RD-247	STONE CREEK LN	PCC Jointed Concrete	7128	JCP - Crack/Joint Seal	713	83	93
RD-446	STONELEIGH CIR	PCC Jointed Concrete	3433	JCP - Crack/Joint Seal	343	75	85
RD-840	SUMMERWOOD CT	PCC Jointed Concrete	11522	JCP - Crack/Joint Seal	1152	81	91
RD-593	SUNFLOWER DR	PCC Jointed Concrete	13357	JCP - Crack/Joint Seal	1336	84	94
RD-1049	SUNNY OAK LN	PCC Jointed Concrete	3754	JCP - Crack/Joint Seal	375	84	94
RD-986	SUSSEX WAY	PCC Jointed Concrete	8713	JCP - Crack/Joint Seal	871	83	93
RD-1030	SUSSEX WAY	PCC Jointed Concrete	13728	JCP - Crack/Joint Seal	1373	84	94
RD-923	SYRACUSE DR	PCC Jointed Concrete	9119	JCP - Crack/Joint Seal	912	83	93
RD-862	SYRACUSE DR	PCC Jointed Concrete	9789	JCP - Crack/Joint Seal	979	81	91
RD-138	TIMBER RIDGE CIR	PCC Jointed Concrete	50028	JCP - Crack/Joint Seal	5003	75	85
RD-125	TIMBER RIDGE CIR	PCC Jointed Concrete	11880	JCP - Crack/Joint Seal	1188	71	81
RD-135	TIMBER RIDGE CIR	PCC Jointed Concrete	17028	JCP - Crack/Joint Seal	1703	81	91
RD-220	TIMBERVIEW CT	PCC Jointed Concrete	4011	JCP - Crack/Joint Seal	401	79	89
RD-498	TIMBERVIEW DR	PCC Jointed Concrete	10930	JCP - Crack/Joint Seal	1093	83	93
RD-741	TIMBERVIEW DR	PCC Jointed Concrete	8597	JCP - Crack/Joint Seal	860	79	89
RD-577	TIMBERVIEW DR	PCC Jointed Concrete	13552	JCP - Crack/Joint Seal	1355	71	81
RD-712	TIMBERVIEW DR	PCC Jointed Concrete	12387	JCP - Crack/Joint Seal	1239	77	87
RD-1118	TOLTHAVEN RD	PCC Jointed Concrete	5589	JCP - Crack/Joint Seal	559	84	94
RD-1119	TOLTHAVEN RD	PCC Jointed Concrete	8515	JCP - Crack/Joint Seal	852	78	88
RD-609	TORI OAK TRL	PCC Jointed Concrete	6865	JCP - Crack/Joint Seal	687	82	92
RD-640	TOWER RIDGE DR	PCC Jointed Concrete	42570	JCP - Crack/Joint Seal	4257	80	90
RD-344	TREE HOUSE LN	PCC Jointed Concrete	5095	JCP - Crack/Joint Seal	510	81	91
RD-1020	TUSCANY DR	PCC Jointed Concrete	6625	JCP - Crack/Joint Seal	662	76	86
RD-1024	TUSCANY DR	PCC Jointed Concrete	8248	JCP - Crack/Joint Seal	825	79	89
RD-1022	TUSCANY DR	PCC Jointed Concrete	6899	JCP - Crack/Joint Seal	690	78	88
RD-549	VALDERAMMA LN	PCC Jointed Concrete	14903	JCP - Crack/Joint Seal	1490	75	85
RD-1124	VERONA DR	PCC Jointed Concrete	5982	JCP - Crack/Joint Seal	598	85	95
RD-383	VINTAGE DR	PCC Jointed Concrete	12600	JCP - Crack/Joint Seal	1260	76	86

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Section C, Item 3.

Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-276	VINTAGE DR	PCC Jointed Concrete	15975	JCP - Crack/Joint Seal	1598	83	93
RD-105	VINTAGE DR	PCC Jointed Concrete	13486	JCP - Crack/Joint Seal	1349	78	88
RD-156	VINTAGE DR	PCC Jointed Concrete	12373	JCP - Crack/Joint Seal	1237	77	87
RD-981	VINTAGE DR	PCC Jointed Concrete	13704	JCP - Crack/Joint Seal	1370	85	95
RD-147	VISTA CT	PCC Jointed Concrete	9631	JCP - Crack/Joint Seal	963	81	91
RD-751	VISTAVIEW DR	PCC Jointed Concrete	13971	JCP - Crack/Joint Seal	1397	77	87
RD-411	WARWICK DR	PCC Jointed Concrete	7920	JCP - Crack/Joint Seal	792	73	83
RD-1116	WELLINGTON LN	PCC Jointed Concrete	4488	JCP - Crack/Joint Seal	449	78	88
RD-1117	WELLINGTON LN	PCC Jointed Concrete	3695	JCP - Crack/Joint Seal	370	80	90
RD-912	WENTWOOD DR	PCC Jointed Concrete	13439	JCP - Crack/Joint Seal	1344	71	81
RD-1037	WESTWIND DR	PCC Jointed Concrete	3300	JCP - Crack/Joint Seal	330	85	95
RD-770	WHETSTONE DR	PCC Jointed Concrete	6995	JCP - Crack/Joint Seal	700	75	85
RD-466	WHETSTONE DR	PCC Jointed Concrete	6995	JCP - Crack/Joint Seal	700	79	89
RD-739	WHETSTONE DR	PCC Jointed Concrete	6468	JCP - Crack/Joint Seal	647	78	88
RD-772	WHETSTONE DR	PCC Jointed Concrete	6865	JCP - Crack/Joint Seal	687	82	92
RD-590	WILMETTE DR	PCC Jointed Concrete	12935	JCP - Crack/Joint Seal	1294	82	92
RD-988	WINCHESTER CT	PCC Jointed Concrete	13200	JCP - Crack/Joint Seal	1320	83	93
RD-447	WINDRIDGE LN	PCC Jointed Concrete	3789	JCP - Crack/Joint Seal	379	75	85
RD-440	WINDRIDGE LN	PCC Jointed Concrete	3936	JCP - Crack/Joint Seal	394	74	84
RD-898	WINDSOR PKWY	PCC Jointed Concrete	18709	JCP - Crack/Joint Seal	1871	79	89
RD-891	WINDSOR PKWY	PCC Jointed Concrete	12495	JCP - Crack/Joint Seal	1250	84	94
RD-229	WINDSOR PKWY	PCC Jointed Concrete	5111	JCP - Crack/Joint Seal	511	72	82
RD-882	WINDSOR PKWY	PCC Jointed Concrete	7086	JCP - Crack/Joint Seal	709	84	94
RD-159	WINDSTONE WAY	PCC Jointed Concrete	3831	JCP - Crack/Joint Seal	383	83	93
RD-72	WINDSTONE WAY	PCC Jointed Concrete	22049	JCP - Crack/Joint Seal	2205	77	87
RD-516	WINDY MEADOW DR	PCC Jointed Concrete	7988	JCP - Crack/Joint Seal	799	74	84
RD-508	WINDY MEADOW DR	PCC Jointed Concrete	5940	JCP - Crack/Joint Seal	594	82	92
RD-601	WINNETKA RD	PCC Jointed Concrete	11654	JCP - Crack/Joint Seal	1165	84	94
RD-399	WOODLAKE CT	PCC Jointed Concrete	3518	JCP - Crack/Joint Seal	352	74	84
RD-398	WOODLAKE DR	PCC Jointed Concrete	7393	JCP - Crack/Joint Seal	739	78	88

Current Needs

Section C, Item 3.

Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-763	YELLOWSTONE LN	PCC Jointed Concrete	16100	JCP - Crack/Joint Seal	1610	73	83
RD-581	YUKON DR	PCC Jointed Concrete	9872	JCP - Crack/Joint Seal	987	81	91
RD-252	ZACHARY DR	PCC Jointed Concrete	29854	JCP - Crack/Joint Seal	2985	72	82
RD-233	ACROPOLIS DR	PCC Jointed Concrete	11243	JCP - Full Depth Patching	10119	63	83
RD-9991	AMHERST DR	PCC Jointed Concrete	1320	JCP - Full Depth Patching	1188	66	86
RD-423	ANDOVER LN	PCC Jointed Concrete	6679	JCP - Full Depth Patching	6011	57	77
RD-390	ANDOVER LN	PCC Jointed Concrete	6600	JCP - Full Depth Patching	5940	62	82
RD-310	ANDOVER LN	PCC Jointed Concrete	6386	JCP - Full Depth Patching	5747	68	88
RD-266	ANDOVER LN	PCC Jointed Concrete	8916	JCP - Full Depth Patching	8024	65	85
RD-50	ANDOVER LN	PCC Jointed Concrete	7983	JCP - Full Depth Patching	7185	58	78
RD-302	ANDOVER LN	PCC Jointed Concrete	6625	JCP - Full Depth Patching	5962	66	86
RD-826	ASHWOOD LN	PCC Jointed Concrete	16748	JCP - Full Depth Patching	15073	68	88
RD-1048	BALLYCASTLE LN	PCC Jointed Concrete	2812	JCP - Full Depth Patching	2531	65	85
RD-657	BARTON SPRINGS DR	PCC Jointed Concrete	13465	JCP - Full Depth Patching	12119	66	86
RD-230	BRAMPTON DR	PCC Jointed Concrete	5262	JCP - Full Depth Patching	4736	70	90
RD-883	BRIDGESTONE CT	PCC Jointed Concrete	9108	JCP - Full Depth Patching	8197	55	75
RD-942	BRIDGESTONE DR	PCC Jointed Concrete	7655	JCP - Full Depth Patching	6890	66	86
RD-683	CARRIAGE WHEEL	PCC Jointed Concrete	8185	JCP - Full Depth Patching	7367	66	86
RD-415	CASSIDY LN	PCC Jointed Concrete	6939	JCP - Full Depth Patching	6245	66	86
RD-412	CASSIDY LN	PCC Jointed Concrete	7070	JCP - Full Depth Patching	6363	66	86
RD-771	CHISHOLM TRL	PCC Jointed Concrete	19379	JCP - Full Depth Patching	17441	66	86
RD-795	CLEARVIEW DR	PCC Jointed Concrete	7376	JCP - Full Depth Patching	6639	63	83
RD-445	CLEARVIEW DR	PCC Jointed Concrete	6436	JCP - Full Depth Patching	5793	66	86
RD-851	CLIFF OAKS DR	PCC Jointed Concrete	5247	JCP - Full Depth Patching	4722	63	83
RD-216	CROCKETT DR	PCC Jointed Concrete	20725	JCP - Full Depth Patching	18653	69	89
RD-769	CUSTER DR	PCC Jointed Concrete	22705	JCP - Full Depth Patching	20435	70	90
RD-1121	DEMARSH LN	PCC Jointed Concrete	9481	JCP - Full Depth Patching	8533	61	81
RD-9995	DICKINSON DR	PCC Jointed Concrete	12935	JCP - Full Depth Patching	11642	60	80
RD-687	DRISKELL DR	PCC Jointed Concrete	20195	JCP - Full Depth Patching	18176	59	79
RD-380	DRISKELL LN	PCC Jointed Concrete	14653	JCP - Full Depth Patching	13187	56	76

Current Needs

Section C, Item 3.

Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-1114	EVANS RD	PCC Jointed Concrete	7788	JCP - Full Depth Patching	7009	62	82
RD-473	FIELDWOOD DR	PCC Jointed Concrete	3084	JCP - Full Depth Patching	2775	60	80
RD-461	GLENHAVEN DR	PCC Jointed Concrete	7185	JCP - Full Depth Patching	6466	60	80
RD-744	GLENVIEW DR	PCC Jointed Concrete	3622	JCP - Full Depth Patching	3260	56	76
RD-1165	GLENVIEW DR	PCC Jointed Concrete	7465	JCP - Full Depth Patching	6718	70	90
RD-742	GOLD RUSH ST	PCC Jointed Concrete	8975	JCP - Full Depth Patching	8078	63	83
RD-747	GOLD RUSH ST	PCC Jointed Concrete	1453	JCP - Full Depth Patching	1307	61	81
RD-1067	GOODNIGHT TRL	PCC Jointed Concrete	5545	JCP - Full Depth Patching	4991	69	89
RD-805	HIDDEN OAKS CIR	PCC Jointed Concrete	26293	JCP - Full Depth Patching	23663	69	89
RD-885	HIGH POINTE DR	PCC Jointed Concrete	11754	JCP - Full Depth Patching	10578	62	82
RD-1026	JUNEAU DR	PCC Jointed Concrete	5360	JCP - Full Depth Patching	4824	67	87
RD-476	MAKENA CT	PCC Jointed Concrete	7070	JCP - Full Depth Patching	6363	57	77
RD-443	MALLORY DR	PCC Jointed Concrete	3617	JCP - Full Depth Patching	3255	68	88
RD-556	MEADOW OAKS DR	PCC Jointed Concrete	7286	JCP - Full Depth Patching	6558	65	85
RD-694	MEADOWVIEW DR	PCC Jointed Concrete	6892	JCP - Full Depth Patching	6203	67	87
RD-714	MEADOWVIEW DR	PCC Jointed Concrete	7422	JCP - Full Depth Patching	6680	58	78
RD-740	MEADOWVIEW DR	PCC Jointed Concrete	7304	JCP - Full Depth Patching	6573	69	89
RD-1064	MEADOWVIEW DR	PCC Jointed Concrete	7819	JCP - Full Depth Patching	7037	65	85
RD-715	MEADOWVIEW DR	PCC Jointed Concrete	15108	JCP - Full Depth Patching	13597	63	83
RD-491	MEADOWVIEW DR	PCC Jointed Concrete	6113	JCP - Full Depth Patching	5502	62	82
RD-905	MERRIMACK DR	PCC Jointed Concrete	6939	JCP - Full Depth Patching	6245	60	80
RD-768	MILLWOOD DR	PCC Jointed Concrete	3962	JCP - Full Depth Patching	3565	68	88
RD-226	MUIRFIELD	PCC Jointed Concrete	6468	JCP - Full Depth Patching	5821	68	88
RD-112	OAKHOLLOW DR	PCC Jointed Concrete	1464	JCP - Full Depth Patching	1318	59	79
RD-304	OAKMONT DR	PCC Jointed Concrete	34787	JCP - Full Depth Patching	31308	68	88
RD-389	OSPREY CT	PCC Jointed Concrete	13618	JCP - Full Depth Patching	12256	68	88
RD-1108	PENRIDGE	PCC Jointed Concrete	4925	JCP - Full Depth Patching	4432	67	87
RD-269	PEREGRINE DR	PCC Jointed Concrete	18240	JCP - Full Depth Patching	16416	58	78
RD-134	PINE HILLS LN	PCC Jointed Concrete	14125	JCP - Full Depth Patching	12713	69	89
RD-1054	POST OAK DR	PCC Jointed Concrete	13484	JCP - Full Depth Patching	12136	61	81

Current Needs

Section C, Item 3.

Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-918	POST OAK DR	PCC Jointed Concrete	27675	JCP - Full Depth Patching	24908	62	82
RD-326	POST OAK DR	PCC Jointed Concrete	6096	JCP - Full Depth Patching	5487	60	80
RD-493	POST OAK DR	PCC Jointed Concrete	6671	JCP - Full Depth Patching	6004	65	85
RD-743	POST OAK DR	PCC Jointed Concrete	6865	JCP - Full Depth Patching	6179	66	86
RD-330	POST OAK DR	PCC Jointed Concrete	13475	JCP - Full Depth Patching	12127	64	84
RD-877	POST OAK DR	PCC Jointed Concrete	18409	JCP - Full Depth Patching	16568	64	84
RD-746	POST OAK DR	PCC Jointed Concrete	6481	JCP - Full Depth Patching	5833	57	77
RD-313	POST OAK DR	PCC Jointed Concrete	12290	JCP - Full Depth Patching	11061	57	77
RD-428	POST OAK DR	PCC Jointed Concrete	13108	JCP - Full Depth Patching	11797	69	89
RD-250	POST OAK DR	PCC Jointed Concrete	8503	JCP - Full Depth Patching	7653	56	76
RD-538	POST OAK DR	PCC Jointed Concrete	17365	JCP - Full Depth Patching	15629	70	90
RD-893	POST OAK TRL	PCC Jointed Concrete	12832	JCP - Full Depth Patching	11548	61	81
RD-960	POSTWOOD CT	PCC Jointed Concrete	4093	JCP - Full Depth Patching	3683	68	88
RD-95	POSTWOOD DR	PCC Jointed Concrete	7585	JCP - Full Depth Patching	6827	67	87
RD-444	RIVERVIEW DR	PCC Jointed Concrete	25812	JCP - Full Depth Patching	23231	68	88
RD-182	ROBINSON RD	PCC Jointed Concrete	9534	JCP - Full Depth Patching	8580	58	78
RD-63	ROBINSON RD	PCC Jointed Concrete	4586	JCP - Full Depth Patching	4128	57	77
RD-128	ROBINSON RD	PCC Jointed Concrete	19064	JCP - Full Depth Patching	17158	58	78
RD-184	ROBINSON RD	PCC Jointed Concrete	14205	JCP - Full Depth Patching	12784	62	82
RD-124	ROBINSON RD	PCC Jointed Concrete	8575	JCP - Full Depth Patching	7717	65	85
RD-897	SERENDIPITY HILLS TRL	PCC Jointed Concrete	58278	JCP - Full Depth Patching	52450	69	89
RD-382	SHADY REST LN	PCC Jointed Concrete	987	JCP - Full Depth Patching	889	60	80
RD-922	SPARTA DR	PCC Jointed Concrete	7722	JCP - Full Depth Patching	6950	66	86
RD-127	STATE SCHOOL RD	PCC Jointed Concrete	940	JCP - Full Depth Patching	846	61	81
RD-89	STATE SCHOOL RD	PCC Jointed Concrete	30577	JCP - Full Depth Patching	27519	68	88
RD-644	STONE CREEK LN	PCC Jointed Concrete	7128	JCP - Full Depth Patching	6415	69	89
RD-142	TIMBER RIDGE CIR	PCC Jointed Concrete	13993	JCP - Full Depth Patching	12593	66	86
RD-223	TIMBERVIEW CIR	PCC Jointed Concrete	13142	JCP - Full Depth Patching	11828	64	84
RD-606	TORI OAK TRL	PCC Jointed Concrete	13860	JCP - Full Depth Patching	12474	62	82
RD-1125	VERONA DR	PCC Jointed Concrete	6080	JCP - Full Depth Patching	5472	65	85

Current Needs

Section C, Item 3.

Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-152	VINTAGE CT	PCC Jointed Concrete	6234	JCP - Full Depth Patching	5610	69	89
RD-126	VINTAGE DR	PCC Jointed Concrete	10130	JCP - Full Depth Patching	9117	64	84
RD-146	VINTAGE DR	PCC Jointed Concrete	5322	JCP - Full Depth Patching	4790	65	85
RD-149	VINTAGE DR	PCC Jointed Concrete	3797	JCP - Full Depth Patching	3417	62	82
RD-1115	WELLINGTON LN	PCC Jointed Concrete	9240	JCP - Full Depth Patching	8316	70	90
RD-1120	WESTERLY CIR	PCC Jointed Concrete	5675	JCP - Full Depth Patching	5108	68	88
RD-470	WHETSTONE DR	PCC Jointed Concrete	6810	JCP - Full Depth Patching	6129	59	79
RD-793	WINDRIDGE LN	PCC Jointed Concrete	3789	JCP - Full Depth Patching	3411	60	80
RD-485	WINDRIDGE LN	PCC Jointed Concrete	7433	JCP - Full Depth Patching	6689	68	88
RD-946	WINDSOR PKWY	PCC Jointed Concrete	2598	JCP - Full Depth Patching	2338	59	79
RD-352	WOOD RIDGE CT	PCC Jointed Concrete	12774	JCP - Full Depth Patching	11496	55	75
RD-903	WOODLAKE DR	PCC Jointed Concrete	12875	JCP - Full Depth Patching	11588	58	78
RD-703	YELLOWSTONE PARK LN	PCC Jointed Concrete	1453	JCP - Full Depth Patching	1307	61	81
RD-701	YELLOWSTONE PARK LN	PCC Jointed Concrete	13860	JCP - Full Depth Patching	12474	57	77
RD-465	YUKON DR	PCC Jointed Concrete	15582	JCP - Full Depth Patching	14024	61	81
RD-653	BARTON SPRINGS DR	PCC Jointed Concrete	21648	JCP - Panel Replacement	51954	50	80
RD-416	BRANDI LN	PCC Jointed Concrete	6733	JCP - Panel Replacement	16158	47	77
RD-619	BRAZOS DR	PCC Jointed Concrete	7128	JCP - Panel Replacement	17106	49	79
RD-628	BRAZOS DR	PCC Jointed Concrete	21515	JCP - Panel Replacement	51636	43	73
RD-937	CHELSEA CT	PCC Jointed Concrete	3828	JCP - Panel Replacement	9186	48	78
RD-483	CLEARVIEW DR	PCC Jointed Concrete	6304	JCP - Panel Replacement	15130	55	85
RD-836	CLEARVIEW DR	PCC Jointed Concrete	6255	JCP - Panel Replacement	15011	46	76
RD-895	CREEKEDGE CT	PCC Jointed Concrete	34342	JCP - Panel Replacement	82420	45	75
RD-9996	DICKINSON DR	PCC Jointed Concrete	4225	JCP - Panel Replacement	10140	49	79
RD-9994	DICKINSON DR	PCC Jointed Concrete	10476	JCP - Panel Replacement	25141	52	82
RD-9997	EMILY LN	PCC Jointed Concrete	12013	JCP - Panel Replacement	28830	46	76
RD-943	ESSEX DR	PCC Jointed Concrete	8185	JCP - Panel Replacement	19644	53	83
RD-421	FAIRWAY VISTA DR	PCC Jointed Concrete	9924	JCP - Panel Replacement	23817	44	74
RD-425	FAIRWAY VISTA DR	PCC Jointed Concrete	4559	JCP - Panel Replacement	10942	52	82
RD-535	FIELDWOOD DR	PCC Jointed Concrete	6170	JCP - Panel Replacement	14807	42	72

Current Needs

Section C, Item 3.

Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-293	GERONIMO DR	PCC Jointed Concrete	7260	JCP - Panel Replacement	17424	50	80
RD-754	GOLD RUSH CT	PCC Jointed Concrete	1715	JCP - Panel Replacement	4116	52	82
RD-469	GOODNIGHT TRL	PCC Jointed Concrete	10428	JCP - Panel Replacement	25026	55	85
RD-969	HIDDEN OAKS DR	PCC Jointed Concrete	4293	JCP - Panel Replacement	10302	49	79
RD-1066	HIGH POINTE DR	PCC Jointed Concrete	4613	JCP - Panel Replacement	11072	46	76
RD-482	LONGVIEW DR	PCC Jointed Concrete	27542	JCP - Panel Replacement	66101	54	84
RD-939	PALACE CT	PCC Jointed Concrete	7788	JCP - Panel Replacement	18690	48	78
RD-1053	POST OAK DR	PCC Jointed Concrete	9514	JCP - Panel Replacement	22835	49	79
RD-113	POST OAK DR	PCC Jointed Concrete	8448	JCP - Panel Replacement	20275	54	84
RD-706	POST OAK DR	PCC Jointed Concrete	6742	JCP - Panel Replacement	16181	53	83
RD-178	POST OAK DR	PCC Jointed Concrete	26796	JCP - Panel Replacement	64311	53	83
RD-974	POST OAK DR	PCC Jointed Concrete	11244	JCP - Panel Replacement	26985	51	81
RD-631	POST OAK DR	PCC Jointed Concrete	4646	JCP - Panel Replacement	11151	46	76
RD-207	POST OAK DR	PCC Jointed Concrete	6795	JCP - Panel Replacement	16309	51	81
RD-111	ROBINSON RD	PCC Jointed Concrete	5047	JCP - Panel Replacement	12113	50	80
RD-110	ROBINSON RD	PCC Jointed Concrete	4655	JCP - Panel Replacement	11172	42	72
RD-65	ROBINSON RD	PCC Jointed Concrete	7398	JCP - Panel Replacement	17755	41	71
RD-131	ROBINSON RD	PCC Jointed Concrete	16941	JCP - Panel Replacement	40658	50	80
RD-873	ST JAMES CT	PCC Jointed Concrete	9900	JCP - Panel Replacement	23760	52	82
RD-99	ST JOHNS DR	PCC Jointed Concrete	5634	JCP - Panel Replacement	13521	42	72
RD-102	ST JOHNS DR	PCC Jointed Concrete	3460	JCP - Panel Replacement	8304	52	82
RD-492	STONE CREEK LN	PCC Jointed Concrete	6205	JCP - Panel Replacement	14892	46	76
RD-221	THE BRIARS	PCC Jointed Concrete	6547	JCP - Panel Replacement	15713	47	77
RD-608	TORI OAK TRL	PCC Jointed Concrete	6600	JCP - Panel Replacement	15840	51	81
RD-773	WHETSTONE DR	PCC Jointed Concrete	10165	JCP - Panel Replacement	24396	55	85
RD-294	WHETSTONE DR	PCC Jointed Concrete	7260	JCP - Panel Replacement	17424	50	80
RD-762	YELLOWSTONE LN	PCC Jointed Concrete	11088	JCP - Panel Replacement	26610	50	80
RD-756	MEADOWVIEW DR	PCC Jointed Concrete	7667	JCP - Panel Replacement- City Planned Project	18400	58	88
RD-752	MEADOWVIEW DR	PCC Jointed Concrete	9410	JCP - Panel Replacement- City Planned Project	22584	80	100
RD-707	MEADOWVIEW DR	PCC Jointed Concrete	16169	JCP - Panel Replacement- City Planned Project	38807	73	100

Current Needs

Section C, Item 3.

Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-711	MEADOWVIEW DR	PCC Jointed Concrete	9410	JCP - Panel Replacement- City Planned Project	22584	65	95
RD-753	MEADOWVIEW DR	PCC Jointed Concrete	6493	JCP - Panel Replacement- City Planned Project	15584	70	100
RD-977	POST OAK DR	PCC Jointed Concrete	21385	JCP - Panel Replacement- City Planned Project	51324	47	77
RD-37	POST OAK DR	PCC Jointed Concrete	8374	JCP - Panel Replacement- City Planned Project	20098	52	82
RD-96	POST OAK DR	PCC Jointed Concrete	8987	JCP - Panel Replacement- City Planned Project	21568	70	100
RD-458	POST OAK DR	PCC Jointed Concrete	20912	JCP - Panel Replacement- City Planned Project	50190	75	100
RD-100	POST OAK DR	PCC Jointed Concrete	8448	JCP - Panel Replacement- City Planned Project	20274	44	74
RD-137	VINTAGE CIR	PCC Jointed Concrete	24749	JCP - Panel Replacement- City Planned Project	59397	71	100
RD-9993	AMHERST DR	PCC Jointed Concrete	4225	JCP - Reconstruction	105625	27	100
RD-655	BARTON SPRINGS DR	PCC Jointed Concrete	1453	JCP - Reconstruction	36313	15	100
RD-630	BRAZOS DR	PCC Jointed Concrete	1453	JCP - Reconstruction	36313	16	100
RD-633	BRAZOS DR	PCC Jointed Concrete	13200	JCP - Reconstruction	330000	23	100
RD-327	CASSIDY LN	PCC Jointed Concrete	1441	JCP - Reconstruction	36022	15	100
RD-490	DRISKELL DR	PCC Jointed Concrete	1453	JCP - Reconstruction	36313	5	100
RD-419	GOLIAD CT	PCC Jointed Concrete	4355	JCP - Reconstruction	108875	15	100
RD-964	HIDDEN OAKS DR	PCC Jointed Concrete	4416	JCP - Reconstruction	110393	36	100
RD-573	MILLWOOD DR	PCC Jointed Concrete	7260	JCP - Reconstruction	181500	32	100
RD-675	MILLWOOD DR	PCC Jointed Concrete	7028	JCP - Reconstruction	175692	26	100
RD-165	PALMARES CT	PCC Jointed Concrete	2962	JCP - Reconstruction	74054	22	100
RD-656	POST OAK DR	PCC Jointed Concrete	6044	JCP - Reconstruction	151092	35	100
RD-654	POST OAK DR	PCC Jointed Concrete	7128	JCP - Reconstruction	178188	39	100
RD-114	ROBINSON RD	PCC Jointed Concrete	3124	JCP - Reconstruction	78097	37	100
RD-115	ROBINSON RD	PCC Jointed Concrete	1194	JCP - Reconstruction	29839	39	100
RD-503	THE RETREAT	PCC Jointed Concrete	8962	JCP - Reconstruction	224045	21	100

Appendix E. 10-Year Work Plan Listings

Network Level Work Plan - Scenario 1 (\$250,000 Annual Budget, Planned Projects, CIP)

Section C, Item 3.

Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Plan Year	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-195	DOBBS RD	ACP	3336	1	ACP - Reconstruction - CIP	50046	44	100
RD-196	DOBBS RD	ACP	17907	1	ACP - Reconstruction - CIP	268607	46	100
RD-756	MEADOWVIEW DR	JCP	7667	1	JCP - Panel Replacement- City Planned Project	18400	58	88
RD-752	MEADOWVIEW DR	JCP	9410	1	JCP - Panel Replacement- City Planned Project	22584	80	100
RD-753	MEADOWVIEW DR	JCP	6493	1	JCP - Panel Replacement- City Planned Project	15584	70	100
RD-711	MEADOWVIEW DR	JCP	9410	1	JCP - Panel Replacement- City Planned Project	22584	65	95
RD-707	MEADOWVIEW DR	JCP	16169	1	JCP - Panel Replacement- City Planned Project	38807	73	100
RD-37	POST OAK DR	JCP	8374	1	JCP - Panel Replacement- City Planned Project	20098	52	82
RD-96	POST OAK DR	JCP	8987	1	JCP - Panel Replacement- City Planned Project	21568	70	100
RD-100	POST OAK DR	JCP	8448	1	JCP - Panel Replacement- City Planned Project	20274	44	74
RD-977	POST OAK DR	JCP	21385	1	JCP - Panel Replacement- City Planned Project	51324	47	77
RD-458	POST OAK DR	JCP	20912	1	JCP - Panel Replacement- City Planned Project	50190	75	100
RD-137	VINTAGE CIR	JCP	24749	1	JCP - Panel Replacement- City Planned Project	59397	71	100
RD-174	PECAN CREEK CIR	ACP	15393	2	ACP - Crack Seal/Fog Seal	1539	84	94
RD-792	RIVERVIEW DR	ACP	15203	2	ACP - Crack Seal/Fog Seal	1520	82	92
RD-39	FORD DR	ACP	10432	2	ACP - Full Depth Patching	5842	58	83
RD-201	FORESTWOOD DR	ACP	7260	2	ACP - Full Depth Patching	4066	60	85
RD-168	PECAN CREEK CIR	ACP	3562	2	ACP - Full Depth Patching	1995	62	87
RD-295	SHADY SHORES RD	ACP	28091	2	ACP - Full Depth Patching	15731	56	81
RD-80	SPRINGBROOK	ACP	9240	2	ACP - Full Depth Patching	5174	60	85
RD-544	DOBBS RD	ACP	9338	2	ACP - Microsurface	3828	79	99
RD-957	MEADOWS DR	ACP	9900	2	ACP - Slurry Seal	3069	76	96
RD-283	SHARON DR	ACP	1596	2	ACP - Slurry Seal	495	74	94
RD-729	WINDMERE CIR	ACP	8448	2	ACP - Slurry Seal	2619	79	99
RD-727	WINDMERE CIR	ACP	8845	2	ACP - Slurry Seal	2742	80	100
RD-909	ATTAWAY CIR	JCP	7525	2	JCP - Crack/Joint Seal	753	84	94
RD-69	BREEZEHOLLOW WAY	JCP	5822	2	JCP - Crack/Joint Seal	582	84	94
RD-665	BROOKVIEW DR	JCP	6031	2	JCP - Crack/Joint Seal	603	85	95
RD-1029	CHEYENNE TRL	JCP	5095	2	JCP - Crack/Joint Seal	510	85	95
RD-568	CHISHOLM TRL	JCP	7525	2	JCP - Crack/Joint Seal	753	85	95
RD-841	CLIFF OAKS DR	JCP	17195	2	JCP - Crack/Joint Seal	1719	85	95

Network Level Work Plan - Scenario 1 (\$250,000 Annual Budget, Planned Projects, CIP)

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Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Plan Year	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-580	CLIFFVIEW DR	JCP	24160	2	JCP - Crack/Joint Seal	2416	85	95
RD-519	CORINTH FARMS TRL	JCP	6304	2	JCP - Crack/Joint Seal	630	84	94
RD-176	FORD DR	JCP	4176	2	JCP - Crack/Joint Seal	418	84	94
RD-796	GLENVIEW DR	JCP	18105	2	JCP - Crack/Joint Seal	1811	85	95
RD-288	GOSHAWK LN	JCP	20092	2	JCP - Crack/Joint Seal	2009	85	95
RD-368	GRASSY GLEN DR	JCP	9047	2	JCP - Crack/Joint Seal	905	85	95
RD-911	HAYDEN LN	JCP	18085	2	JCP - Crack/Joint Seal	1809	84	94
RD-725	MEADOWVIEW DR	JCP	6493	2	JCP - Crack/Joint Seal	649	84	94
RD-720	MEADOWVIEW DR	JCP	3976	2	JCP - Crack/Joint Seal	398	85	95
RD-716	MOUNTAINVIEW DR	JCP	22221	2	JCP - Crack/Joint Seal	2222	85	95
RD-167	OAKHOLLOW DR	JCP	18230	2	JCP - Crack/Joint Seal	1823	84	94
RD-90	POST OAK CT	JCP	14439	2	JCP - Crack/Joint Seal	1444	85	95
RD-629	POST OAK DR	JCP	4729	2	JCP - Crack/Joint Seal	473	84	94
RD-449	POTTERY TRL	JCP	5322	2	JCP - Crack/Joint Seal	532	85	95
RD-995	TUSCANY DR	JCP	10295	2	JCP - Crack/Joint Seal	1030	84	94
RD-1126	VERONA DR	JCP	7525	2	JCP - Crack/Joint Seal	753	84	94
RD-522	WAGON WHEEL TRL	JCP	7525	2	JCP - Crack/Joint Seal	753	85	95
RD-50	ANDOVER LN	JCP	7983	2	JCP - Full Depth Patching	7425	56	76
RD-714	MEADOWVIEW DR	JCP	7422	2	JCP - Full Depth Patching	6903	55	75
RD-112	OAKHOLLOW DR	JCP	1464	2	JCP - Full Depth Patching	1362	57	77
RD-269	PEREGRINE DR	JCP	18240	2	JCP - Full Depth Patching	16963	56	76
RD-182	ROBINSON RD	JCP	9534	2	JCP - Full Depth Patching	8866	56	76
RD-128	ROBINSON RD	JCP	19064	2	JCP - Full Depth Patching	17730	55	75
RD-382	SHADY REST LN	JCP	987	2	JCP - Full Depth Patching	918	57	77
RD-470	WHETSTONE DR	JCP	6810	2	JCP - Full Depth Patching	6333	56	76
RD-701	YELLOWSTONE PARK LN	JCP	13860	2	JCP - Full Depth Patching	12890	55	75
RD-421	FAIRWAY VISTA DR	JCP	9924	2	JCP - Panel Replacement	24512	42	72
RD-754	GOLD RUSH CT	JCP	1715	2	JCP - Panel Replacement	4236	49	79
RD-159	WINDSTONE WAY	JCP	3831	2	JCP - Panel Replacement- City Planned Project	9193	82	100
RD-72	WINDSTONE WAY	JCP	22049	2	JCP - Panel Replacement- City Planned Project	52917	75	100
RD-39	FORD DR	ACP	10432	3	ACP - Crack Seal/Fog Seal	1148	81	91

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Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Plan Year	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-201	FORESTWOOD DR	ACP	7260	3	ACP - Crack Seal/Fog Seal	799	83	93
RD-168	PECAN CREEK CIR	ACP	3562	3	ACP - Crack Seal/Fog Seal	392	85	95
RD-80	SPRINGBROOK	ACP	9240	3	ACP - Crack Seal/Fog Seal	1016	83	93
RD-242	BRIARS	ACP	925	3	ACP - Full Depth Patching	527	66	91
RD-1146	HILLSIDE DR	ACP	7530	3	ACP - Full Depth Patching	4292	60	85
RD-362	OAK HILL DR	ACP	20981	3	ACP - Full Depth Patching	11959	58	83
RD-844	S GARRISON RD	ACP	20958	3	ACP - Full Depth Patching	11946	58	83
RD-351	TWIN BROOK TURN	ACP	5157	3	ACP - Full Depth Patching	2940	60	85
RD-151	PECAN CREEK CIR	ACP	7274	3	ACP - Microsurface	3055	73	93
RD-525	QUAIL RUN DR	ACP	7465	3	ACP - Slurry Seal	2389	73	93
RD-724	THE GROVE	ACP	2882	3	ACP - Slurry Seal	922	74	94
RD-339	UNNAMED STREET	ACP	4436	3	ACP - Slurry Seal	1420	74	94
RD-576	WINDMERE CIR	ACP	7128	3	ACP - Slurry Seal	2281	74	94
RD-169	OLD HWY 77	ACP	52605	3	ACP- Base Repair, Spot Seal, Thin Overlay - CIP	195331	0	90
RD-901	OLD HWY 77	ACP	23050	3	ACP- Base Repair, Spot Seal, Thin Overlay - CIP	85588	0	90
RD-314	BERKSHIRE LN	JCP	15967	3	JCP - Crack/Joint Seal	1756	84	94
RD-1093	BONANZA LN	JCP	13465	3	JCP - Crack/Joint Seal	1481	84	94
RD-624	BRANDI LN	JCP	4509	3	JCP - Crack/Joint Seal	496	84	94
RD-784	COCHISE CT	JCP	4093	3	JCP - Crack/Joint Seal	450	85	95
RD-381	CORINTH PKWY	JCP	1343	3	JCP - Crack/Joint Seal	148	85	95
RD-944	CREEK CROSSING DR	JCP	14327	3	JCP - Crack/Joint Seal	1576	84	94
RD-396	CREEK FALLS DR	JCP	6335	3	JCP - Crack/Joint Seal	697	84	94
RD-246	CRYSTAL SPRINGS DR	JCP	9373	3	JCP - Crack/Joint Seal	1031	85	95
RD-369	GRASSY GLEN DR	JCP	14351	3	JCP - Crack/Joint Seal	1579	84	94
RD-749	LOCHWOOD CIR	JCP	5364	3	JCP - Crack/Joint Seal	590	84	94
RD-1023	MARSEILLES LN	JCP	17467	3	JCP - Crack/Joint Seal	1921	85	95
RD-610	MEADOW OAKS DR	JCP	6733	3	JCP - Crack/Joint Seal	741	84	94
RD-738	MILLWOOD DR	JCP	6355	3	JCP - Crack/Joint Seal	699	85	95
RD-1000	MONACO DR	JCP	5063	3	JCP - Crack/Joint Seal	557	84	94
RD-649	OAKMONT DR	JCP	36138	3	JCP - Crack/Joint Seal	3975	84	94
RD-1018	POST OAK TRL	JCP	8782	3	JCP - Crack/Joint Seal	966	84	94

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Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Plan Year	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-920	REGINA DR	JCP	2773	3	JCP - Crack/Joint Seal	305	85	95
RD-73	SHADY REST LN	JCP	25637	3	JCP - Crack/Joint Seal	2820	84	94
RD-367	VINTAGE DR	JCP	6975	3	JCP - Crack/Joint Seal	767	84	94
RD-495	WANDERING OAK DR	JCP	6840	3	JCP - Crack/Joint Seal	752	85	95
RD-71	WESTWIND DR	JCP	15059	3	JCP - Crack/Joint Seal	1656	85	95
RD-851	CLIFF OAKS DR	JCP	5247	3	JCP - Full Depth Patching	4984	59	79
RD-1121	DEMARSH LN	JCP	9481	3	JCP - Full Depth Patching	9007	56	76
RD-9995	DICKINSON DR	JCP	12935	3	JCP - Full Depth Patching	12288	55	75
RD-473	FIELDWOOD DR	JCP	3084	3	JCP - Full Depth Patching	2929	56	76
RD-461	GLENHAVEN DR	JCP	7185	3	JCP - Full Depth Patching	6825	55	75
RD-747	GOLD RUSH ST	JCP	1453	3	JCP - Full Depth Patching	1380	57	77
RD-905	MERRIMACK DR	JCP	6939	3	JCP - Full Depth Patching	6592	56	76
RD-893	POST OAK TRL	JCP	12832	3	JCP - Full Depth Patching	12190	57	77
RD-127	STATE SCHOOL RD	JCP	940	3	JCP - Full Depth Patching	893	57	77
RD-149	VINTAGE DR	JCP	3797	3	JCP - Full Depth Patching	3607	58	78
RD-793	WINDRIDGE LN	JCP	3789	3	JCP - Full Depth Patching	3600	56	76
RD-703	YELLOWSTONE PARK LN	JCP	1453	3	JCP - Full Depth Patching	1380	57	77
RD-465	YUKON DR	JCP	15582	3	JCP - Full Depth Patching	14803	57	77
RD-937	CHELSEA CT	JCP	3828	3	JCP - Panel Replacement	9760	42	72
RD-836	CLEARVIEW DR	JCP	6255	3	JCP - Panel Replacement	15949	41	71
RD-9997	EMILY LN	JCP	12013	3	JCP - Panel Replacement	30632	41	71
RD-1066	HIGH POINTE DR	JCP	4613	3	JCP - Panel Replacement	11764	40	70
RD-631	POST OAK DR	JCP	4646	3	JCP - Panel Replacement	11848	40	70
RD-492	STONE CREEK LN	JCP	6205	3	JCP - Panel Replacement	15823	40	70
RD-276	VINTAGE DR	JCP	15975	3	JCP - Reconstruction - CIP	423703	79	100
RD-480	DOBBS RD	ACP	20400	4	ACP - Crack Seal/Fog Seal	2244	83	93
RD-1146	HILLSIDE DR	ACP	7530	4	ACP - Crack Seal/Fog Seal	828	82	92
RD-351	TWIN BROOK TURN	ACP	5157	4	ACP - Crack Seal/Fog Seal	567	82	92
RD-140	CREEKWOOD	ACP	9373	4	ACP - Full Depth Patching	5530	64	89
RD-958	DALTON DR	ACP	9900	4	ACP - Full Depth Patching	5841	61	86
RD-153	FOREST HILLS	ACP	10693	4	ACP - Full Depth Patching	6309	64	89

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Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Plan Year	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-809	MEADOWS DR	ACP	8185	4	ACP - Full Depth Patching	4829	58	83
RD-307	WILDWOOD ST	ACP	19809	4	ACP - Full Depth Patching	11687	58	83
RD-177	PECAN CREEK CIR	ACP	4619	4	ACP - Microsurface	2033	70	90
RD-700	WINDMERE CIR	ACP	7525	4	ACP - Slurry Seal	2483	71	91
RD-401	SHADY SHORES RD	ACP	15996	4	ACP -Mill & Thick Overlay - CIP	78657	54	95
RD-550	BALLYCASTLE LN	JCP	13160	4	JCP - Crack/Joint Seal	1448	85	95
RD-842	BRAMPTON DR	JCP	5576	4	JCP - Crack/Joint Seal	613	84	94
RD-1058	CHEYENNE TRL	JCP	10377	4	JCP - Crack/Joint Seal	1142	85	95
RD-84	CHURCH DR	JCP	8517	4	JCP - Crack/Joint Seal	937	84	94
RD-1041	CORINTH BEND	JCP	7128	4	JCP - Crack/Joint Seal	784	85	95
RD-1042	CREEK BEND DR	JCP	7260	4	JCP - Crack/Joint Seal	799	84	94
RD-301	CREEK BEND DR	JCP	19503	4	JCP - Crack/Joint Seal	2145	85	95
RD-1040	EMERALD PARK DR	JCP	6073	4	JCP - Crack/Joint Seal	668	84	94
RD-913	HAYDEN LN	JCP	7128	4	JCP - Crack/Joint Seal	784	85	95
RD-141	KNOB HILL DR	JCP	8909	4	JCP - Crack/Joint Seal	980	85	95
RD-160	KNOLL RIDGE DR	JCP	6736	4	JCP - Crack/Joint Seal	741	85	95
RD-602	MASON AVE	JCP	20460	4	JCP - Crack/Joint Seal	2251	85	95
RD-758	MEADOWVIEW DR	JCP	9239	4	JCP - Crack/Joint Seal	1016	85	95
RD-202	MEADOWVIEW DR	JCP	9546	4	JCP - Crack/Joint Seal	1050	85	95
RD-1025	MONACO DR	JCP	3992	4	JCP - Crack/Joint Seal	439	84	94
RD-353	OAKMONT DR	JCP	7318	4	JCP - Crack/Joint Seal	805	85	95
RD-52	PARK PL	JCP	7788	4	JCP - Crack/Joint Seal	857	84	94
RD-783	PEAKVIEW DR	JCP	14954	4	JCP - Crack/Joint Seal	1645	84	94
RD-1069	POSEIDON DR	JCP	7645	4	JCP - Crack/Joint Seal	841	84	94
RD-244	POST OAK DR	JCP	8250	4	JCP - Crack/Joint Seal	908	85	95
RD-940	POST OAK TRL	JCP	11980	4	JCP - Crack/Joint Seal	1318	85	95
RD-558	RAVINIA DR	JCP	8185	4	JCP - Crack/Joint Seal	900	85	95
RD-56	SHADY REST LN	JCP	8668	4	JCP - Crack/Joint Seal	953	84	94
RD-103	TIMBER RIDGE CIR	JCP	9108	4	JCP - Crack/Joint Seal	1002	85	95
RD-233	ACROPOLIS DR	JCP	11243	4	JCP - Full Depth Patching	11018	56	76
RD-9991	AMHERST DR	JCP	1320	4	JCP - Full Depth Patching	1294	60	80

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Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Plan Year	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-390	ANDOVER LN	JCP	6600	4	JCP - Full Depth Patching	6468	55	75
RD-795	CLEARVIEW DR	JCP	7376	4	JCP - Full Depth Patching	7229	57	77
RD-1114	EVANS RD	JCP	7788	4	JCP - Full Depth Patching	7632	56	76
RD-885	HIGH POINTE DR	JCP	11754	4	JCP - Full Depth Patching	11519	55	75
RD-491	MEADOWVIEW DR	JCP	6113	4	JCP - Full Depth Patching	5991	55	75
RD-715	MEADOWVIEW DR	JCP	15108	4	JCP - Full Depth Patching	14806	56	76
RD-184	ROBINSON RD	JCP	14205	4	JCP - Full Depth Patching	13921	55	75
RD-619	BRAZOS DR	JCP	7128	4	JCP - Panel Replacement	18674	41	71
RD-9996	DICKINSON DR	JCP	4225	4	JCP - Panel Replacement	11070	41	71
RD-293	GERONIMO DR	JCP	7260	4	JCP - Panel Replacement	19021	41	71
RD-969	HIDDEN OAKS DR	JCP	4293	4	JCP - Panel Replacement	11247	41	71
RD-939	PALACE CT	JCP	7788	4	JCP - Panel Replacement	20403	40	70
RD-111	ROBINSON RD	JCP	5047	4	JCP - Panel Replacement	13223	42	72
RD-169	OLD HWY 77	ACP	52605	5	ACP - Crack Seal/Fog Seal	5787	84	94
RD-75	MISTY GLEN	ACP	26400	5	ACP - Full Depth Patching	16104	61	86
RD-139	PECAN CREEK CIR	ACP	7186	5	ACP - Full Depth Patching	4383	62	87
RD-954	SHADY SHORES RD	ACP	19058	5	ACP - Full Depth Patching	11625	62	87
RD-362	OAK HILL DR	ACP	20981	5	ACP - Slurry Seal	7134	79	99
RD-888	BROOKSHIRE RUN	JCP	36945	5	JCP - Crack/Joint Seal	4064	85	95
RD-442	BURL ST	JCP	7722	5	JCP - Crack/Joint Seal	849	85	95
RD-210	CLARK DR	JCP	6335	5	JCP - Crack/Joint Seal	697	84	94
RD-81	CREEKSIDE DR	JCP	32732	5	JCP - Crack/Joint Seal	3601	85	95
RD-837	FAIRVIEW DR	JCP	10637	5	JCP - Crack/Joint Seal	1170	85	95
RD-565	FAIRVIEW DR	JCP	8744	5	JCP - Crack/Joint Seal	962	85	95
RD-1136	FLORENCE DR	JCP	10955	5	JCP - Crack/Joint Seal	1205	85	95
RD-455	KNOLL RIDGE CIR	JCP	3786	5	JCP - Crack/Joint Seal	416	85	95
RD-1169	MALLORY DR	JCP	3763	5	JCP - Crack/Joint Seal	414	85	95
RD-967	MANCHESTER CT	JCP	3916	5	JCP - Crack/Joint Seal	431	84	94
RD-801	OCEANO DR	JCP	10165	5	JCP - Crack/Joint Seal	1118	85	95
RD-774	PEAKVIEW DR	JCP	25509	5	JCP - Crack/Joint Seal	2806	85	95
RD-1056	POTTERY TRL	JCP	4975	5	JCP - Crack/Joint Seal	547	84	94

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Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Plan Year	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-42	SPARTA DR	JCP	8015	5	JCP - Crack/Joint Seal	882	85	95
RD-347	TREE HOUSE LN	JCP	10058	5	JCP - Crack/Joint Seal	1106	85	95
RD-1129	VENICE DR	JCP	10295	5	JCP - Crack/Joint Seal	1132	85	95
RD-663	VISTAVIEW DR	JCP	7185	5	JCP - Crack/Joint Seal	790	85	95
RD-432	WARWICK DR	JCP	12540	5	JCP - Crack/Joint Seal	1379	84	94
RD-1006	WATER FRONT CT	JCP	12606	5	JCP - Crack/Joint Seal	1387	85	95
RD-599	ALCOVE LN	JCP	1585	5	JCP - Full Depth Patching	1601	69	89
RD-1064	MEADOWVIEW DR	JCP	7819	5	JCP - Full Depth Patching	7897	57	77
RD-330	POST OAK DR	JCP	13475	5	JCP - Full Depth Patching	13609	56	76
RD-877	POST OAK DR	JCP	18409	5	JCP - Full Depth Patching	18593	56	76
RD-124	ROBINSON RD	JCP	8575	5	JCP - Full Depth Patching	8660	56	76
RD-223	TIMBERVIEW CIR	JCP	13142	5	JCP - Full Depth Patching	13273	55	75
RD-1125	VERONA DR	JCP	6080	5	JCP - Full Depth Patching	6141	56	76
RD-126	VINTAGE DR	JCP	10130	5	JCP - Full Depth Patching	10232	55	75
RD-9994	DICKINSON DR	JCP	10476	5	JCP - Panel Replacement	28284	41	71
RD-425	FAIRWAY VISTA DR	JCP	4559	5	JCP - Panel Replacement	12310	41	71
RD-873	ST JAMES CT	JCP	9900	5	JCP - Panel Replacement	26730	41	71
RD-102	ST JOHNS DR	JCP	3460	5	JCP - Panel Replacement	9342	42	72
RD-608	TORI OAK TRL	JCP	6600	5	JCP - Panel Replacement	17820	41	71
RD-151	PECAN CREEK CIR	ACP	7274	6	ACP - Crack Seal/Fog Seal	873	85	95
RD-177	PECAN CREEK CIR	ACP	4619	6	ACP - Crack Seal/Fog Seal	554	84	94
RD-525	QUAIL RUN DR	ACP	7465	6	ACP - Crack Seal/Fog Seal	896	85	95
RD-724	THE GROVE	ACP	2882	6	ACP - Crack Seal/Fog Seal	346	85	95
RD-339	UNNAMED STREET	ACP	4436	6	ACP - Crack Seal/Fog Seal	532	85	95
RD-576	WINDMERE CIR	ACP	7128	6	ACP - Crack Seal/Fog Seal	855	85	95
RD-117	ASPEN	ACP	9373	6	ACP - Full Depth Patching	5905	63	88
RD-804	DALTON DR	ACP	29305	6	ACP - Full Depth Patching	18462	62	87
RD-757	FORESTWOOD DR	ACP	4285	6	ACP - Full Depth Patching	2700	63	88
RD-517	OAK HILL DR	ACP	6562	6	ACP - Full Depth Patching	4134	61	86
RD-253	THE WOODS	ACP	3168	6	ACP - Full Depth Patching	1996	65	90
RD-844	S GARRISON RD	ACP	20958	6	ACP - Microsurface	9640	76	96

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Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Plan Year	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-776	TOWER RIDGE DR	ACP	5924	6	ACP - Reconstruction - CIP	103016	0	100
RD-850	TOWER RIDGE DR	ACP	20018	6	ACP - Reconstruction - CIP	348093	0	100
RD-719	TOWER RIDGE DR	ACP	21965	6	ACP - Reconstruction - CIP	381948	0	100
RD-809	MEADOWS DR	ACP	8185	6	ACP - Slurry Seal	2865	78	98
RD-307	WILDWOOD ST	ACP	19809	6	ACP - Slurry Seal	6933	79	99
RD-849	CLIFF OAKS DR	ACP	44211	6	ACP -Mill & Thick Overlay - CIP	230637	55	95
RD-1160	SHADY SHORES RD	ACP	14647	6	ACP -Mill & Thick Overlay - CIP	76410	55	95
RD-222	BIRCH LN	JCP	7525	6	JCP - Crack/Joint Seal	903	85	95
RD-36	CHURCH DR	JCP	23721	6	JCP - Crack/Joint Seal	2847	85	95
RD-35	CHURCH DR	JCP	16041	6	JCP - Crack/Joint Seal	1925	85	95
RD-489	CUSTER DR	JCP	7128	6	JCP - Crack/Joint Seal	855	84	94
RD-1122	DEMARSH LN	JCP	8782	6	JCP - Crack/Joint Seal	1054	84	94
RD-994	DIAMOND LEAF DR	JCP	19405	6	JCP - Crack/Joint Seal	2329	85	95
RD-553	EAST PARK LN	JCP	6995	6	JCP - Crack/Joint Seal	839	85	95
RD-51	EMERALD PARK DR	JCP	14125	6	JCP - Crack/Joint Seal	1695	85	95
RD-219	FAIRVIEW DR	JCP	7869	6	JCP - Crack/Joint Seal	944	84	94
RD-1017	OAK BLUFF DR	JCP	6265	6	JCP - Crack/Joint Seal	752	84	94
RD-1016	OAK BLUFF DR	JCP	6994	6	JCP - Crack/Joint Seal	839	85	95
RD-67	PARK WOOD CT	JCP	7260	6	JCP - Crack/Joint Seal	871	85	95
RD-130	PECAN CREEK CIR	JCP	17077	6	JCP - Crack/Joint Seal	2049	84	94
RD-670	REDWOOD DR	JCP	10951	6	JCP - Crack/Joint Seal	1314	85	95
RD-777	SHARDS CT	JCP	4975	6	JCP - Crack/Joint Seal	597	84	94
RD-1021	TUSCANY DR	JCP	12275	6	JCP - Crack/Joint Seal	1473	85	95
RD-527	WAVERLY RD	JCP	7788	6	JCP - Crack/Joint Seal	935	84	94
RD-496	YELLOWSTONE LN	JCP	23365	6	JCP - Crack/Joint Seal	2804	85	95
RD-302	ANDOVER LN	JCP	6625	6	JCP - Full Depth Patching	6890	55	75
RD-657	BARTON SPRINGS DR	JCP	13465	6	JCP - Full Depth Patching	14004	55	75
RD-412	CASSIDY LN	JCP	7070	6	JCP - Full Depth Patching	7353	56	76
RD-771	CHISHOLM TRL	JCP	19379	6	JCP - Full Depth Patching	20154	55	75
RD-112	OAKHOLLOW DR	JCP	1464	6	JCP - Full Depth Patching	1523	70	90
RD-743	POST OAK DR	JCP	6865	6	JCP - Full Depth Patching	7140	56	76

Network Level Work Plan - Scenario 1 (\$250,000 Annual Budget, Planned Projects, CIP)

Section C, Item 3.

Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Plan Year	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-922	SPARTA DR	JCP	7722	6	JCP - Full Depth Patching	8031	56	76
RD-142	TIMBER RIDGE CIR	JCP	13993	6	JCP - Full Depth Patching	14552	55	75
RD-482	LONGVIEW DR	JCP	27542	6	JCP - Panel Replacement	76567	41	71
RD-113	POST OAK DR	JCP	8448	6	JCP - Panel Replacement	23486	41	71
RD-1053	POST OAK DR	JCP	9514	6	JCP - Reconstruction - CIP	275746	35	100
RD-242	BRIARS	ACP	925	7	ACP - Crack Seal/Fog Seal	111	81	91
RD-804	DALTON DR	ACP	29305	7	ACP - Crack Seal/Fog Seal	3517	84	94
RD-195	DOBBS RD	ACP	3336	7	ACP - Crack Seal/Fog Seal	400	82	92
RD-578	BALLADEER	ACP	6865	7	ACP - Full Depth Patching	4394	63	88
RD-172	CHERRY LN	ACP	16368	7	ACP - Full Depth Patching	10475	62	87
RD-227	FORESTWOOD DR	ACP	10165	7	ACP - Full Depth Patching	6506	63	88
RD-730	FORESTWOOD DR	ACP	7274	7	ACP - Full Depth Patching	4656	64	89
RD-682	WINDMERE CIR	ACP	7260	7	ACP - Full Depth Patching	4646	65	90
RD-958	DALTON DR	ACP	9900	7	ACP - Slurry Seal	3564	79	99
RD-901	OLD HWY 77	ACP	23050	7	ACP - Slurry Seal	8298	80	100
RD-792	RIVERVIEW DR	ACP	15203	7	ACP - Slurry Seal	5473	79	99
RD-671	CHEYENNE TRL	JCP	12606	7	JCP - Crack/Joint Seal	1513	85	95
RD-239	CORINTH PKWY	JCP	921	7	JCP - Crack/Joint Seal	111	83	93
RD-478	CORINTH PKWY	JCP	41649	7	JCP - Crack/Joint Seal	4998	85	95
RD-274	CORINTH PKWY	JCP	9924	7	JCP - Crack/Joint Seal	1191	85	95
RD-45	FAIRWAY DR	JCP	17250	7	JCP - Crack/Joint Seal	2070	85	95
RD-1073	LAKE SHARON DR	JCP	67445	7	JCP - Crack/Joint Seal	8093	85	95
RD-856	MULHOLLAND RD	JCP	9108	7	JCP - Crack/Joint Seal	1093	85	95
RD-98	PECAN CREEK CIR	JCP	1262	7	JCP - Crack/Joint Seal	151	83	93
RD-973	PECAN CREEK CIR	JCP	1447	7	JCP - Crack/Joint Seal	174	85	95
RD-414	PIPER DR	JCP	7777	7	JCP - Crack/Joint Seal	933	85	95
RD-635	ROBIN LN	JCP	5501	7	JCP - Crack/Joint Seal	660	84	94
RD-638	SURREY OAKS CT	JCP	6205	7	JCP - Crack/Joint Seal	745	85	95
RD-564	WANDERING OAK DR	JCP	6436	7	JCP - Crack/Joint Seal	772	85	95
RD-886	WINDSOR PKWY	JCP	4068	7	JCP - Crack/Joint Seal	488	85	95
RD-807	WOODS EDGE CT	JCP	9868	7	JCP - Crack/Joint Seal	1184	85	95

Network Level Work Plan - Scenario 1 (\$250,000 Annual Budget, Planned Projects, CIP)

Section C, Item 3.

Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Plan Year	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-658	YELLOWSTONE LN	JCP	6995	7	JCP - Crack/Joint Seal	839	85	95
RD-310	ANDOVER LN	JCP	6386	7	JCP - Full Depth Patching	6833	56	76
RD-443	MALLORY DR	JCP	3617	7	JCP - Full Depth Patching	3870	55	75
RD-768	MILLWOOD DR	JCP	3962	7	JCP - Full Depth Patching	4239	55	75
RD-226	MUIRFIELD	JCP	6468	7	JCP - Full Depth Patching	6920	56	76
RD-304	OAKMONT DR	JCP	34787	7	JCP - Full Depth Patching	37222	55	75
RD-389	OSPREY CT	JCP	13618	7	JCP - Full Depth Patching	14571	55	75
RD-1120	WESTERLY CIR	JCP	5675	7	JCP - Full Depth Patching	6072	55	75
RD-380	DRISKELL LN	JCP	14653	7	JCP - Panel Replacement	42053	40	70
RD-744	GLENVIEW DR	JCP	3622	7	JCP - Panel Replacement	10395	41	71
RD-250	POST OAK DR	JCP	8503	7	JCP - Panel Replacement	24405	40	70
RD-63	ROBINSON RD	JCP	4586	7	JCP - Panel Replacement	13163	42	72
RD-578	BALLADEER	ACP	6865	8	ACP - Crack Seal/Fog Seal	824	85	95
RD-172	CHERRY LN	ACP	16368	8	ACP - Crack Seal/Fog Seal	1964	84	94
RD-757	FORESTWOOD DR	ACP	4285	8	ACP - Crack Seal/Fog Seal	514	83	93
RD-253	THE WOODS	ACP	3168	8	ACP - Crack Seal/Fog Seal	380	84	94
RD-835	BURL ST	ACP	6704	8	ACP - Full Depth Patching	4425	63	88
RD-959	MACBEY DR	ACP	19141	8	ACP - Full Depth Patching	12633	62	87
RD-295	SHADY SHORES RD	ACP	28091	8	ACP - Full Depth Patching	18540	68	93
RD-139	PECAN CREEK CIR	ACP	7186	8	ACP - Microsurface	3521	80	100
RD-201	FORESTWOOD DR	ACP	7260	8	ACP - Slurry Seal	2686	80	100
RD-957	MEADOWS DR	ACP	9900	8	ACP - Slurry Seal	3663	79	99
RD-80	SPRINGBROOK	ACP	9240	8	ACP - Slurry Seal	3419	80	100
RD-599	ALCOVE LN	JCP	1585	8	JCP - Crack/Joint Seal	190	85	95
RD-634	ASH LN	JCP	13398	8	JCP - Crack/Joint Seal	1608	85	95
RD-1012	BLACK JACK DR	JCP	6733	8	JCP - Crack/Joint Seal	808	85	95
RD-69	BREEZEHOLLOW WAY	JCP	5822	8	JCP - Crack/Joint Seal	699	85	95
RD-1059	CEDAR ELM DR	JCP	8649	8	JCP - Crack/Joint Seal	1038	85	95
RD-519	CORINTH FARMS TRL	JCP	6304	8	JCP - Crack/Joint Seal	757	85	95
RD-279	CREEK BEND DR	JCP	7525	8	JCP - Crack/Joint Seal	903	85	95
RD-378	FALCON DR	JCP	16100	8	JCP - Crack/Joint Seal	1932	85	95

Network Level Work Plan - Scenario 1 (\$250,000 Annual Budget, Planned Projects, CIP)

Section C, Item 3.

Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Plan Year	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-1060	FALCON DR	JCP	11534	8	JCP - Crack/Joint Seal	1384	85	95
RD-176	FORD DR	JCP	4176	8	JCP - Crack/Joint Seal	501	85	95
RD-723	FORESTVIEW DR	JCP	26400	8	JCP - Crack/Joint Seal	3168	85	95
RD-779	HISTORY CRESCENT	JCP	7511	8	JCP - Crack/Joint Seal	901	85	95
RD-725	MEADOWVIEW DR	JCP	6493	8	JCP - Crack/Joint Seal	779	85	95
RD-831	MULHOLLAND RD	JCP	21385	8	JCP - Crack/Joint Seal	2566	85	95
RD-265	NORWOOD CT	JCP	5369	8	JCP - Crack/Joint Seal	644	83	93
RD-167	OAKHOLLOW DR	JCP	18230	8	JCP - Crack/Joint Seal	2188	85	95
RD-629	POST OAK DR	JCP	4729	8	JCP - Crack/Joint Seal	567	85	95
RD-337	POSTWOOD DR	JCP	3168	8	JCP - Crack/Joint Seal	380	85	95
RD-674	REDWOOD DR	JCP	5808	8	JCP - Crack/Joint Seal	697	84	94
RD-1063	REDWOOD DR	JCP	8580	8	JCP - Crack/Joint Seal	1030	85	95
RD-331	SOMMERSET DR	JCP	8315	8	JCP - Crack/Joint Seal	998	85	95
RD-995	TUSCANY DR	JCP	10295	8	JCP - Crack/Joint Seal	1235	85	95
RD-230	BRAMPTON DR	JCP	5262	8	JCP - Full Depth Patching	5841	56	76
RD-769	CUSTER DR	JCP	22705	8	JCP - Full Depth Patching	25203	56	76
RD-1165	GLENVIEW DR	JCP	7465	8	JCP - Full Depth Patching	8286	56	76
RD-499	MEADOWVIEW DR	JCP	9947	8	JCP - Full Depth Patching	11041	56	76
RD-318	OXFORD OAKS LN	JCP	14157	8	JCP - Full Depth Patching	15715	57	77
RD-1071	PEAKVIEW DR	JCP	3394	8	JCP - Full Depth Patching	3767	59	79
RD-1115	WELLINGTON LN	JCP	9240	8	JCP - Full Depth Patching	10256	56	76
RD-1048	BALLYCASTLE LN	JCP	2812	8	JCP - Panel Replacement	8296	50	80
RD-687	DRISKELL DR	JCP	20195	8	JCP - Panel Replacement	59575	41	71
RD-326	POST OAK DR	JCP	6096	8	JCP - Panel Replacement	17984	42	72
RD-946	WINDSOR PKWY	JCP	2598	8	JCP - Panel Replacement	7664	41	71
RD-313	POST OAK DR	JCP	12290	8	JCP - Reconstruction - CIP	377875	38	100
RD-730	FORESTWOOD DR	ACP	7274	9	ACP - Crack Seal/Fog Seal	946	84	94
RD-959	MACBEY DR	ACP	19141	9	ACP - Crack Seal/Fog Seal	2488	85	95
RD-682	WINDMERE CIR	ACP	7260	9	ACP - Crack Seal/Fog Seal	944	84	94
RD-544	DOBBS RD	ACP	9338	9	ACP - Microsurface	4762	79	99
RD-168	PECAN CREEK CIR	ACP	3562	9	ACP - Microsurface	1817	78	98

Network Level Work Plan - Scenario 1 (\$250,000 Annual Budget, Planned Projects, CIP)

Section C, Item 3.

Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Plan Year	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-1146	HILLSIDE DR	ACP	7530	9	ACP - Slurry Seal	2861	79	99
RD-283	SHARON DR	ACP	1596	9	ACP - Slurry Seal	607	76	96
RD-351	TWIN BROOK TURN	ACP	5157	9	ACP - Slurry Seal	1960	79	99
RD-727	WINDMERE CIR	ACP	8845	9	ACP - Slurry Seal	3361	79	99
RD-248	BIRCH LN	JCP	15959	9	JCP - Crack/Joint Seal	2075	85	95
RD-439	BLAKE ST	JCP	12963	9	JCP - Crack/Joint Seal	1685	85	95
RD-624	BRANDI LN	JCP	4509	9	JCP - Crack/Joint Seal	586	85	95
RD-396	CREEK FALLS DR	JCP	6335	9	JCP - Crack/Joint Seal	824	85	95
RD-749	LOCHWOOD CIR	JCP	5364	9	JCP - Crack/Joint Seal	697	85	95
RD-823	MAIDEN CT	JCP	4791	9	JCP - Crack/Joint Seal	623	84	94
RD-610	MEADOW OAKS DR	JCP	6733	9	JCP - Crack/Joint Seal	875	85	95
RD-1000	MONACO DR	JCP	5063	9	JCP - Crack/Joint Seal	658	85	95
RD-868	MULHOLLAND RD	JCP	4373	9	JCP - Crack/Joint Seal	569	85	95
RD-1135	NAPLES DR	JCP	9884	9	JCP - Crack/Joint Seal	1285	85	95
RD-324	NIGHTINGALE LN	JCP	15558	9	JCP - Crack/Joint Seal	2022	85	95
RD-649	OAKMONT DR	JCP	36138	9	JCP - Crack/Joint Seal	4698	85	95
RD-855	PALOS VERDES DR	JCP	14125	9	JCP - Crack/Joint Seal	1836	85	95
RD-1018	POST OAK TRL	JCP	8782	9	JCP - Crack/Joint Seal	1142	85	95
RD-73	SHADY REST LN	JCP	25637	9	JCP - Crack/Joint Seal	3333	85	95
RD-186	VINTAGE DR	JCP	940	9	JCP - Crack/Joint Seal	122	79	89
RD-367	VINTAGE DR	JCP	6975	9	JCP - Crack/Joint Seal	907	85	95
RD-938	WINDSOR PKWY	JCP	7366	9	JCP - Crack/Joint Seal	958	85	95
RD-710	CLIFFVIEW DR	JCP	10955	9	JCP - Full Depth Patching	12489	55	75
RD-237	CORINTH PKWY	JCP	925	9	JCP - Full Depth Patching	1055	64	84
RD-1070	FAIRVIEW DR	JCP	5393	9	JCP - Full Depth Patching	6148	56	76
RD-787	FAIRVIEW DR	JCP	9908	9	JCP - Full Depth Patching	11296	55	75
RD-718	MEADOWVIEW DR	JCP	4242	9	JCP - Full Depth Patching	4836	56	76
RD-685	MEADOWVIEW DR	JCP	7134	9	JCP - Full Depth Patching	8132	56	76
RD-83	N CORINTH ST	JCP	10201	9	JCP - Full Depth Patching	11629	56	76
RD-471	PEAKVIEW DR	JCP	9173	9	JCP - Full Depth Patching	10457	56	76
RD-382	SHADY REST LN	JCP	987	9	JCP - Full Depth Patching	1126	65	85

Network Level Work Plan - Scenario 1 (\$250,000 Annual Budget, Planned Projects, CIP)

Section C, Item 3.

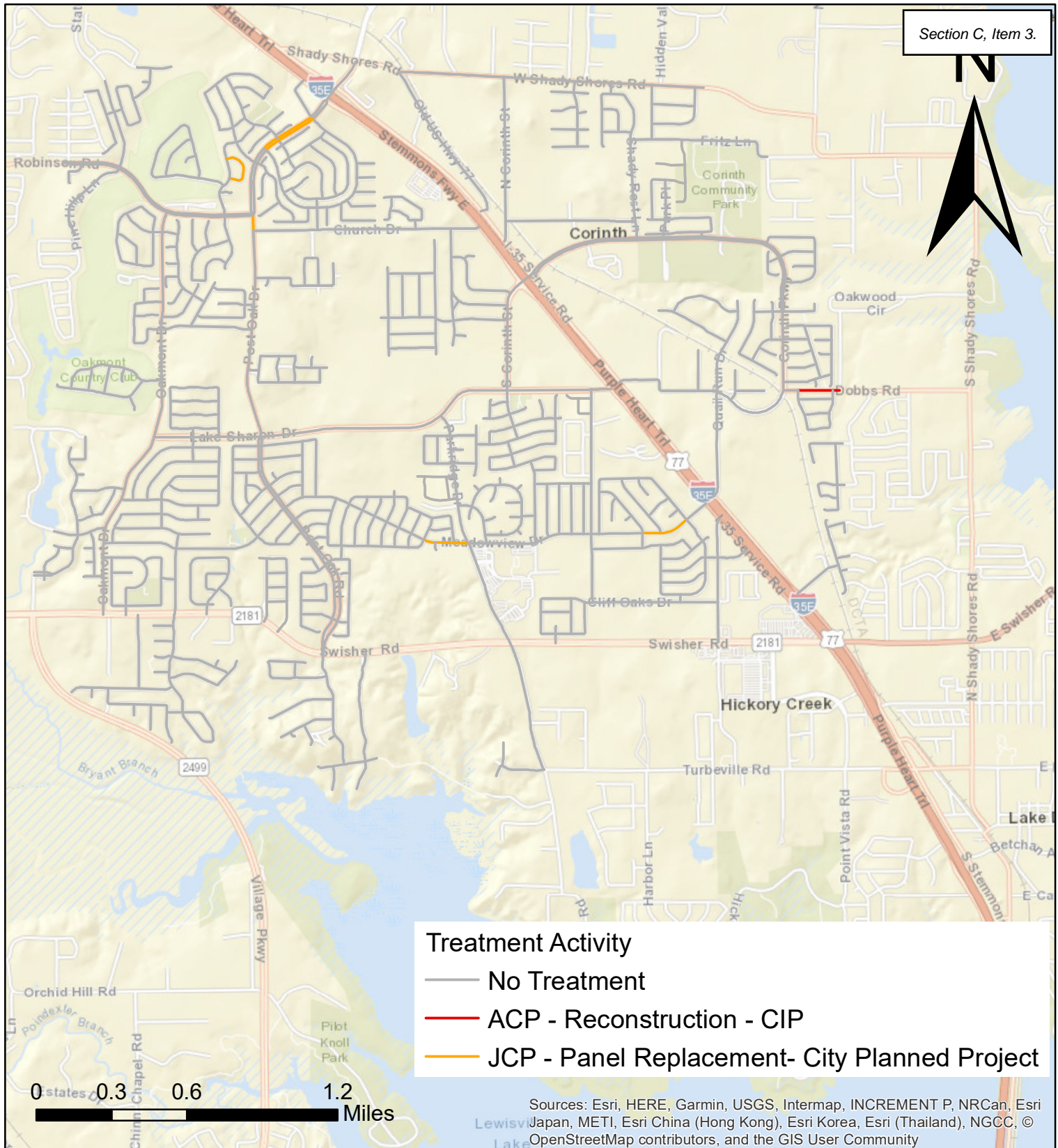
Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Plan Year	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-125	TIMBER RIDGE CIR	JCP	11880	9	JCP - Full Depth Patching	13543	55	75
RD-742	GOLD RUSH ST	JCP	8975	9	JCP - Panel Replacement	27284	43	73
RD-1108	PENRIDGE	JCP	4925	9	JCP - Panel Replacement	14971	49	79
RD-606	TORI OAK TRL	JCP	13860	9	JCP - Panel Replacement	42134	42	72
RD-146	VINTAGE DR	JCP	5322	9	JCP - Panel Replacement	16180	47	77
RD-835	BURL ST	ACP	6704	10	ACP - Crack Seal/Fog Seal	872	83	93
RD-844	S GARRISON RD	ACP	20958	10	ACP - Crack Seal/Fog Seal	2724	84	94
RD-117	ASPEN	ACP	9373	10	ACP - Slurry Seal	3655	78	98
RD-517	OAK HILL DR	ACP	6562	10	ACP - Slurry Seal	2559	76	96
RD-729	WINDMERE CIR	ACP	8448	10	ACP - Slurry Seal	3295	77	97
RD-847	CLIFF OAKS DR	ACP	19431	10	ACP -Mill & Thick Overlay - CIP	114092	64	95
RD-402	SHADY SHORES RD	ACP	16898	10	ACP -Mill & Thick Overlay - CIP	99216	60	95
RD-405	SHADY SHORES RD	ACP	3327	10	ACP -Mill & Thick Overlay - CIP	19536	62	95
RD-866	BLUE JAY DR	JCP	14890	10	JCP - Crack/Joint Seal	1936	85	95
RD-775	CLAY TRL	JCP	8975	10	JCP - Crack/Joint Seal	1167	84	94
RD-193	CORINTH PKWY	JCP	70372	10	JCP - Crack/Joint Seal	9148	85	95
RD-1137	CORINTH PKWY	JCP	25173	10	JCP - Crack/Joint Seal	3272	85	95
RD-381	CORINTH PKWY	JCP	1343	10	JCP - Crack/Joint Seal	175	84	94
RD-1138	CORINTH PKWY	JCP	8049	10	JCP - Crack/Joint Seal	1046	85	95
RD-791	HIDDEN SPRINGS DR	JCP	18573	10	JCP - Crack/Joint Seal	2414	85	95
RD-192	LAKE SHARON DR	JCP	9883	10	JCP - Crack/Joint Seal	1285	84	94
RD-1025	MONACO DR	JCP	3992	10	JCP - Crack/Joint Seal	519	85	95
RD-783	PEAKVIEW DR	JCP	14954	10	JCP - Crack/Joint Seal	1944	85	95
RD-661	PIPER DR	JCP	7511	10	JCP - Crack/Joint Seal	976	84	94
RD-382	SHADY REST LN	JCP	987	10	JCP - Crack/Joint Seal	128	83	93
RD-56	SHADY REST LN	JCP	8668	10	JCP - Crack/Joint Seal	1127	85	95
RD-421	FAIRWAY VISTA DR	JCP	9924	10	JCP - Full Depth Patching	11611	56	76
RD-1066	HIGH POINTE DR	JCP	4613	10	JCP - Full Depth Patching	5398	56	76
RD-46	OAKMONT DR	JCP	9837	10	JCP - Full Depth Patching	11509	56	76
RD-225	POST OAK DR	JCP	7465	10	JCP - Full Depth Patching	8734	55	75
RD-100	POST OAK DR	JCP	8448	10	JCP - Full Depth Patching	9884	56	76

Network Level Work Plan - Scenario 1 (\$250,000 Annual Budget, Planned Projects, CIP)

Section C, Item 3.

Section ID	Street Name	Pavement Type	Pavement Area (ft ²)	Plan Year	Treatment	Treatment Cost (\$)	Before PCI	Improved PCI
RD-33	ROBINSON RD	JCP	19520	10	JCP - Full Depth Patching	22839	56	76
RD-411	WARWICK DR	JCP	7920	10	JCP - Full Depth Patching	9266	55	75
RD-266	ANDOVER LN	JCP	8916	10	JCP - Panel Replacement	27906	44	74
RD-415	CASSIDY LN	JCP	6939	10	JCP - Panel Replacement	21719	45	75
RD-445	CLEARVIEW DR	JCP	6436	10	JCP - Panel Replacement	20146	45	75
RD-556	MEADOW OAKS DR	JCP	7286	10	JCP - Panel Replacement	22806	43	73
RD-538	POST OAK DR	JCP	17365	10	JCP - Reconstruction - CIP	566435	51	100
RD-366	POST OAK DR	JCP	11279	10	JCP - Reconstruction - CIP	367924	61	100
RD-1054	POST OAK DR	JCP	13484	10	JCP - Reconstruction - CIP	439836	38	100
RD-428	POST OAK DR	JCP	13108	10	JCP - Reconstruction - CIP	427574	50	100
RD-1052	POST OAK DR	JCP	7928	10	JCP - Reconstruction - CIP	258603	66	100
RD-1051	POST OAK DR	JCP	14796	10	JCP - Reconstruction - CIP	482643	57	100

Appendix F. 10-Year Work Plan Map



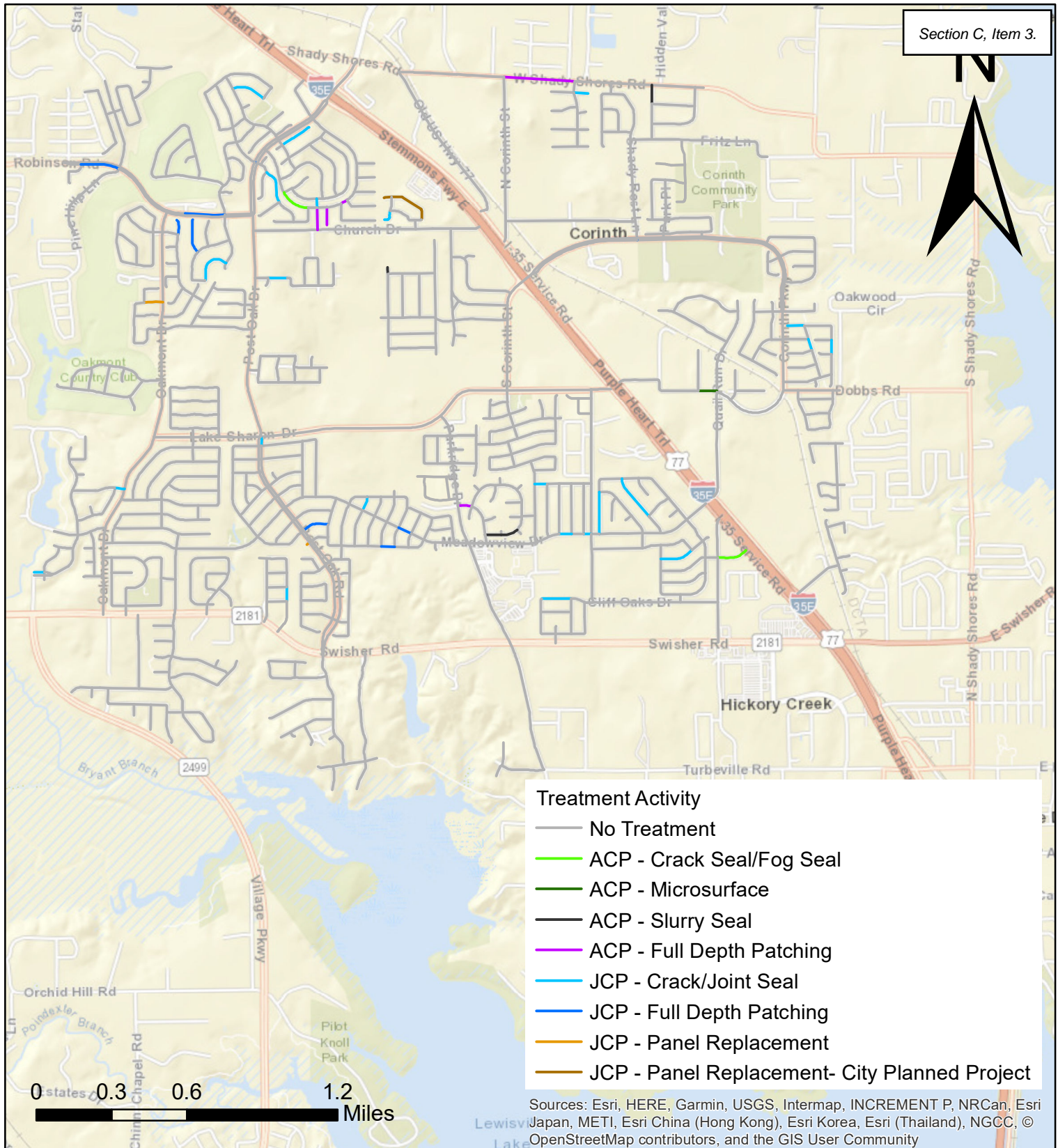
City of Corinth, TX Work Plan - Year 1



Fugro USA Land, Inc.
Base Map: World Street Map
GCS: NAD 1983 St. TX North Central FIPS 4202 ft

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City of Corinth, TX Work Plan - Year 2



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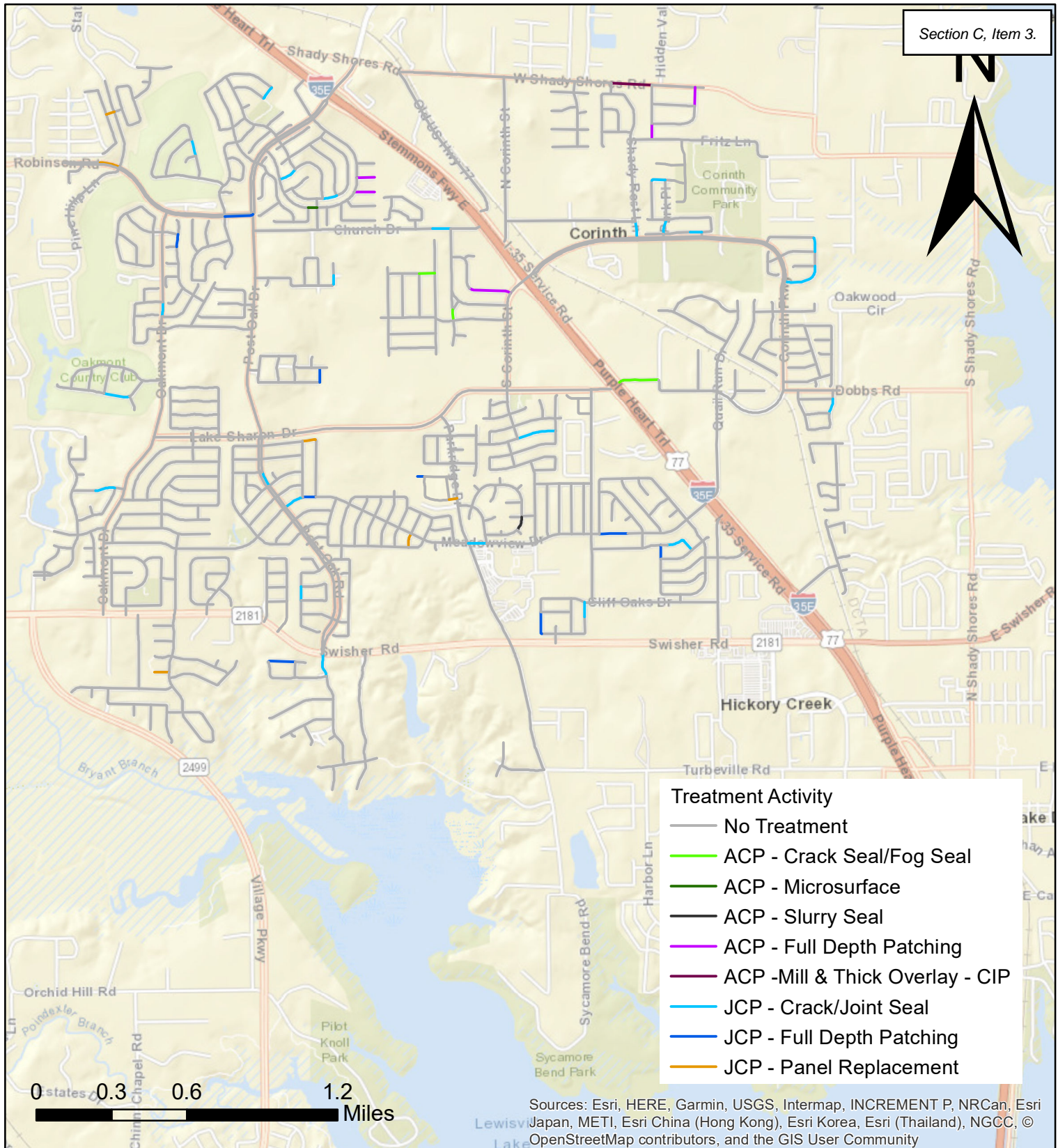
City of Corinth, TX Work Plan - Year 3

Fugro USA Land, Inc.
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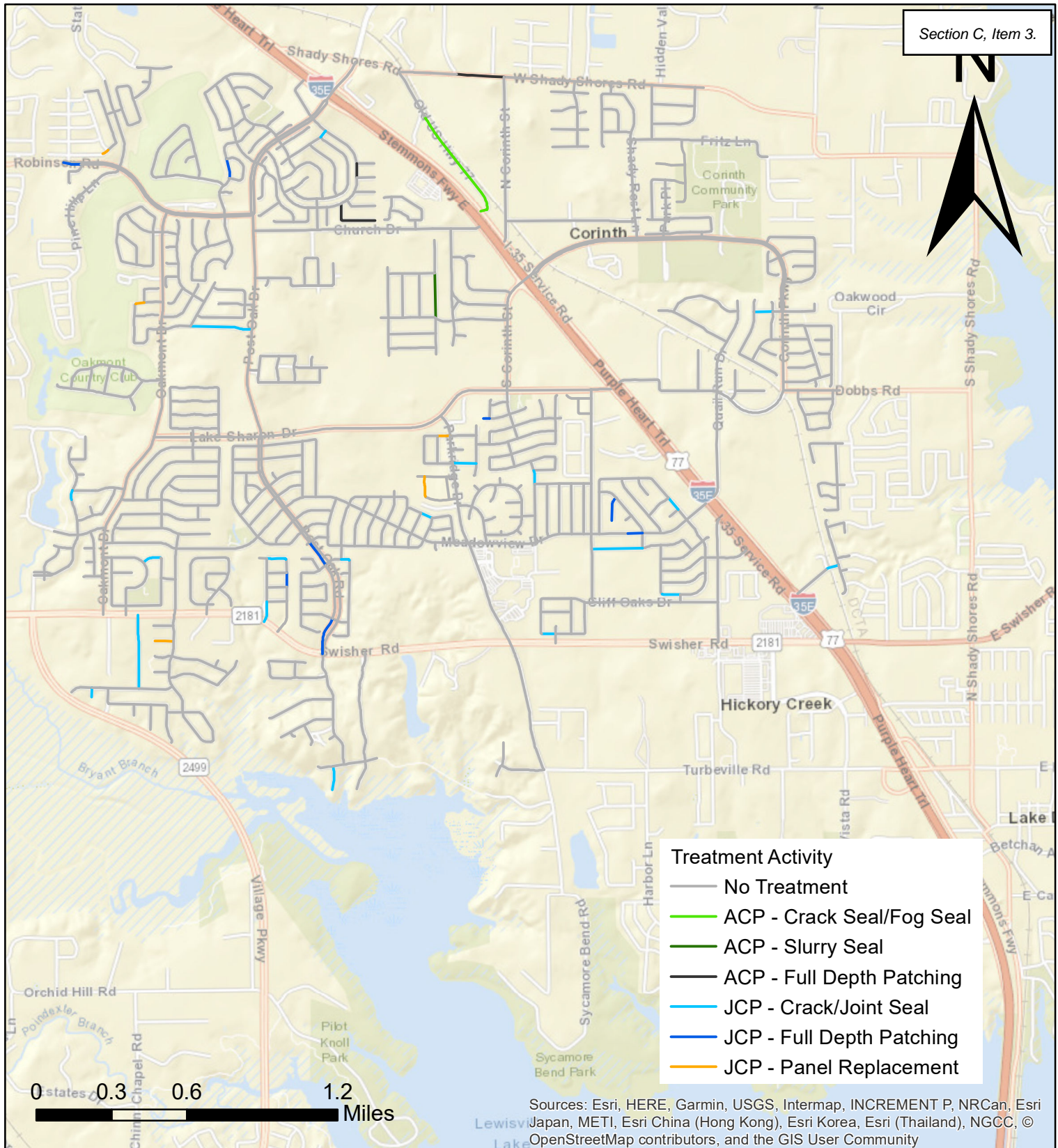
City of Corinth, TX Work Plan - Year 4



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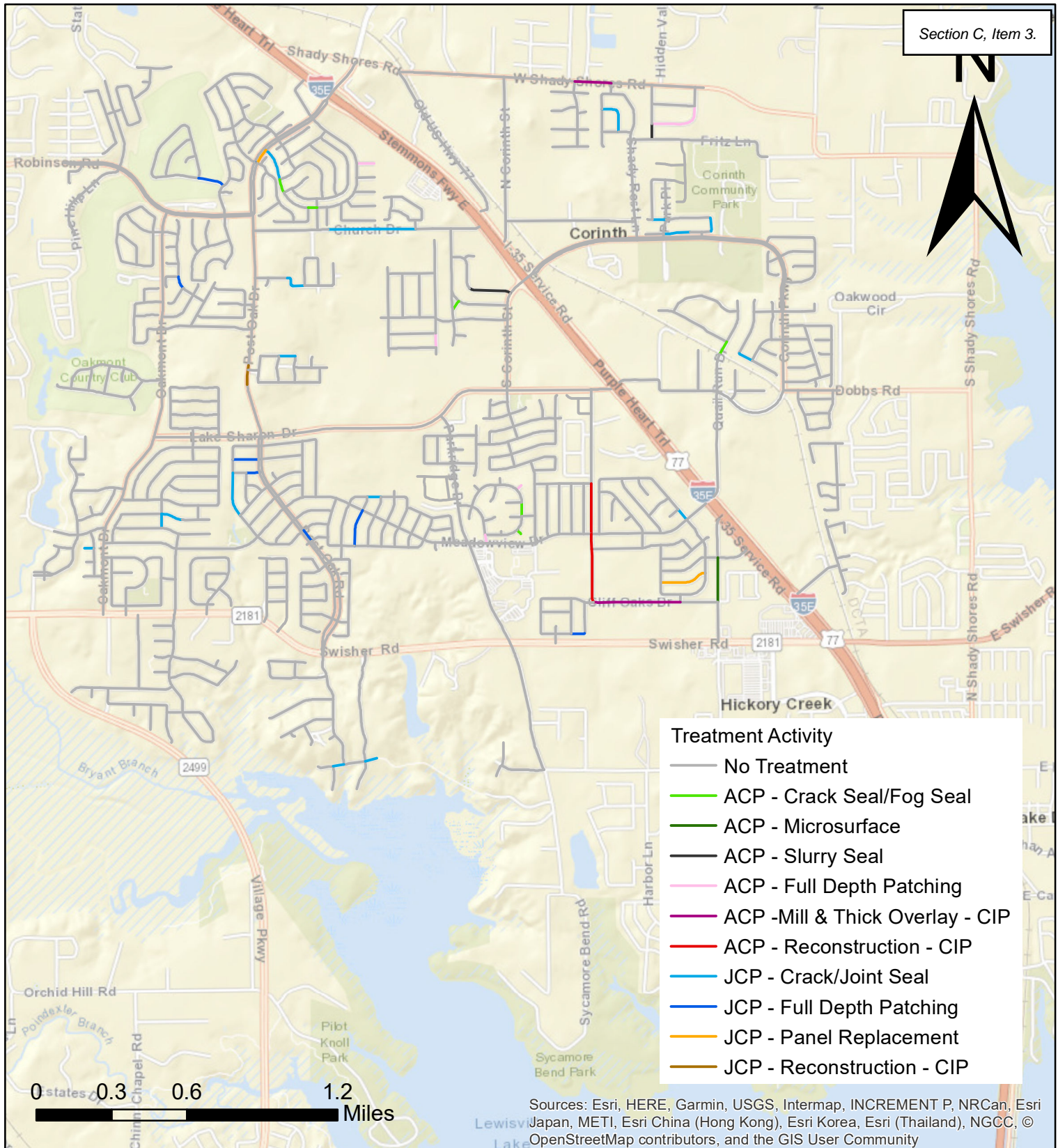
City of Corinth, TX Work Plan - Year 5



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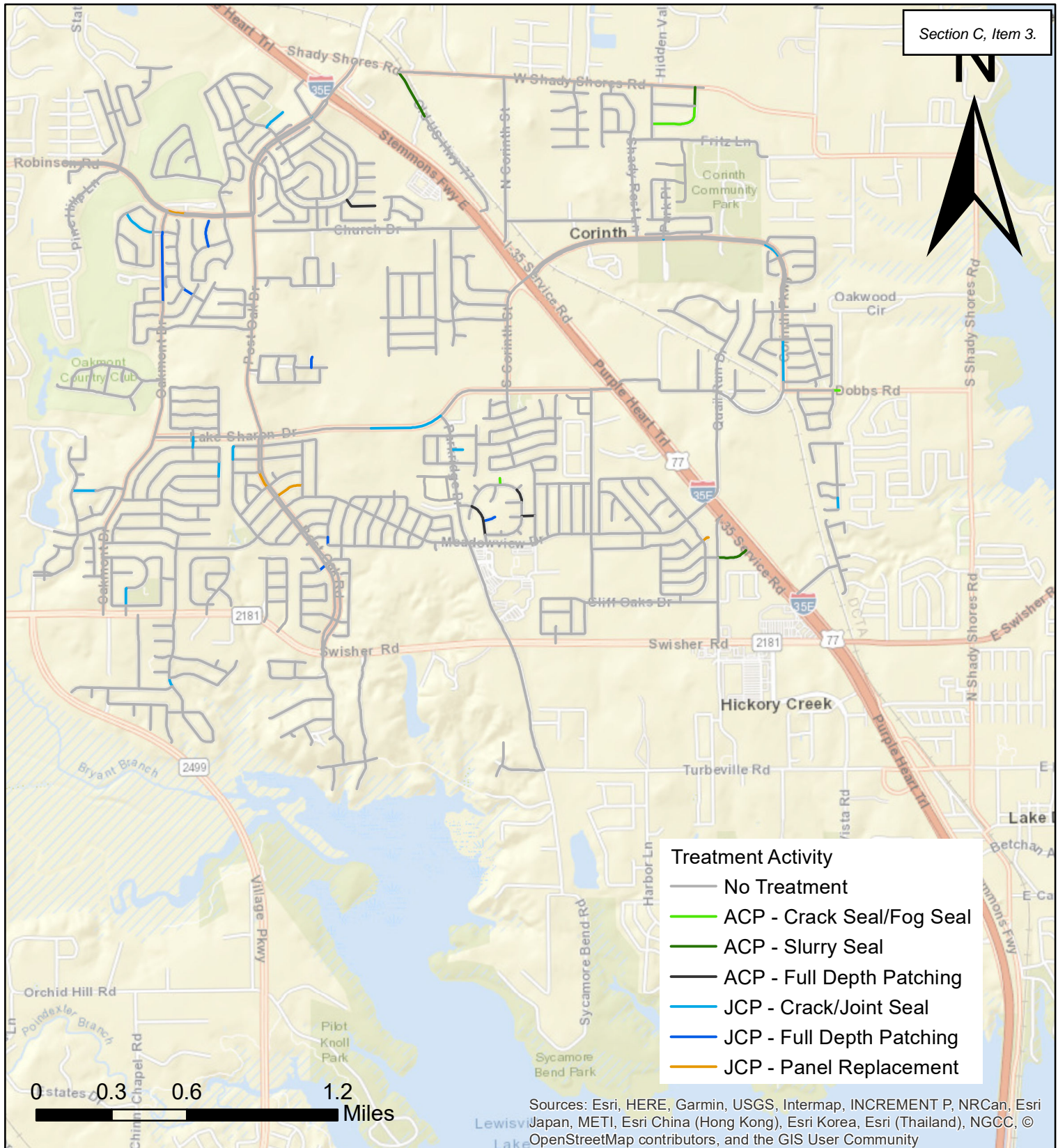
City of Corinth, TX Work Plan - Year 6

Fugro USA Land, Inc.
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GCS: NAD 1983 St. TX North Central FIPS 4202 ft

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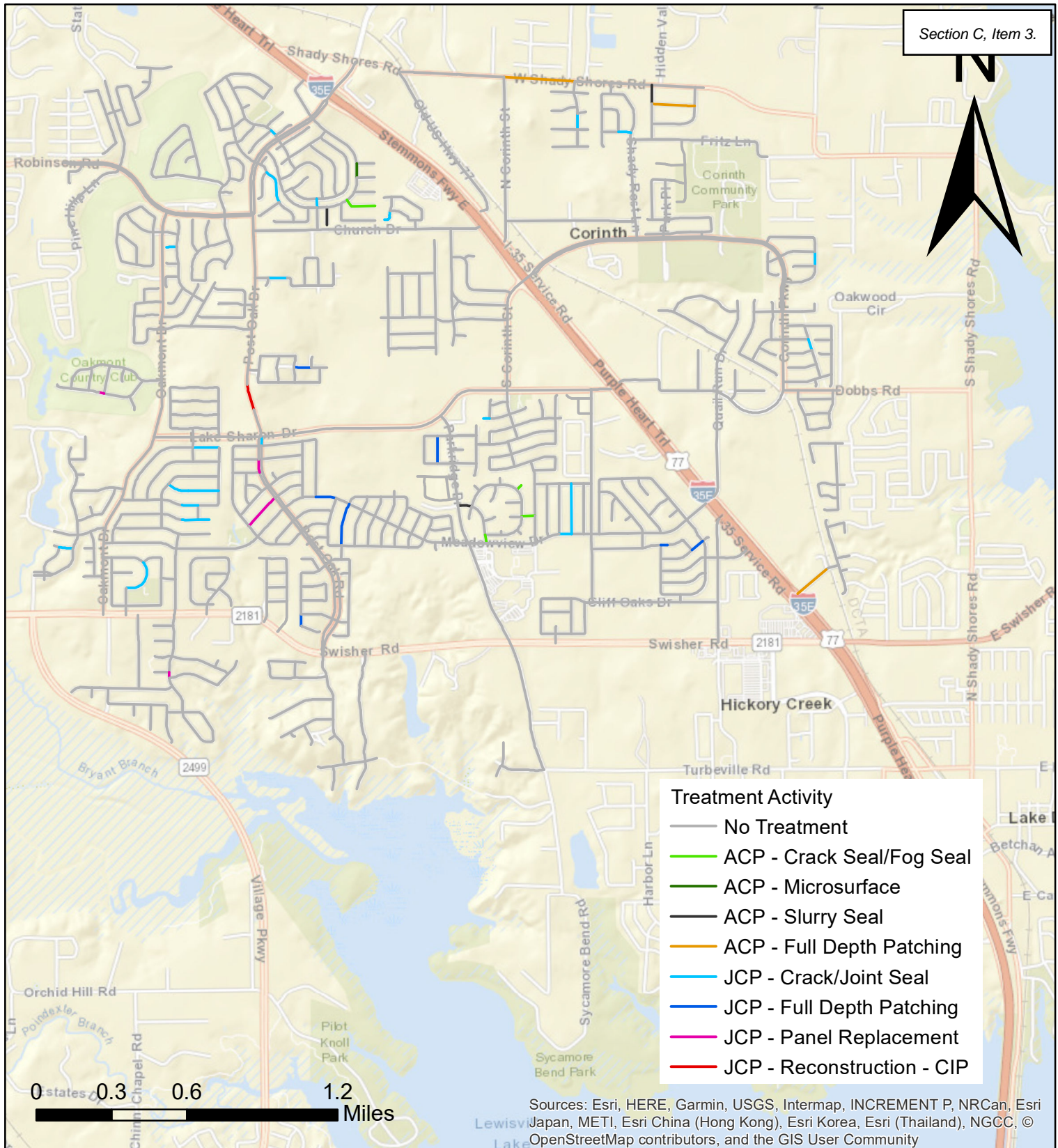
City of Corinth, TX Work Plan - Year 7



Fugro USA Land, Inc.
Base Map: World Street Map
GCS: NAD 1983 St. TX North Central FIPS 4202 ft

Date of Compilation: March 22, 2021
Produced by: Mona Nobakht

This exhibit is intended solely for the pavement management purposes stated in the terms and conditions of this report.



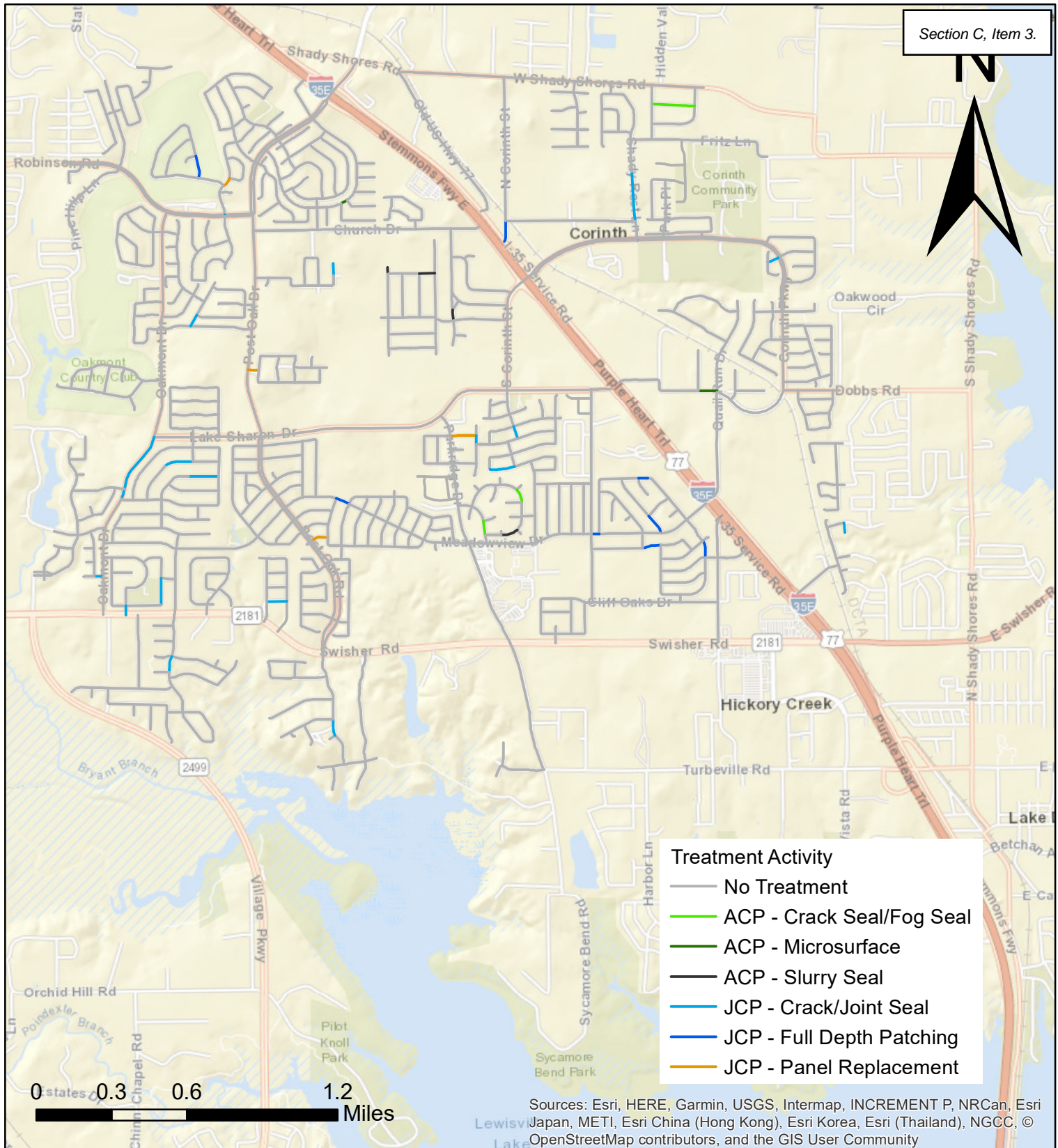
City of Corinth, TX Work Plan - Year 8



Fugro USA Land, Inc.
Base Map: World Street Map
GCS: NAD 1983 St. TX North Central FIPS 4202 ft

Date of Compilation: March 22, 2021
Produced by: Mona Nobakht

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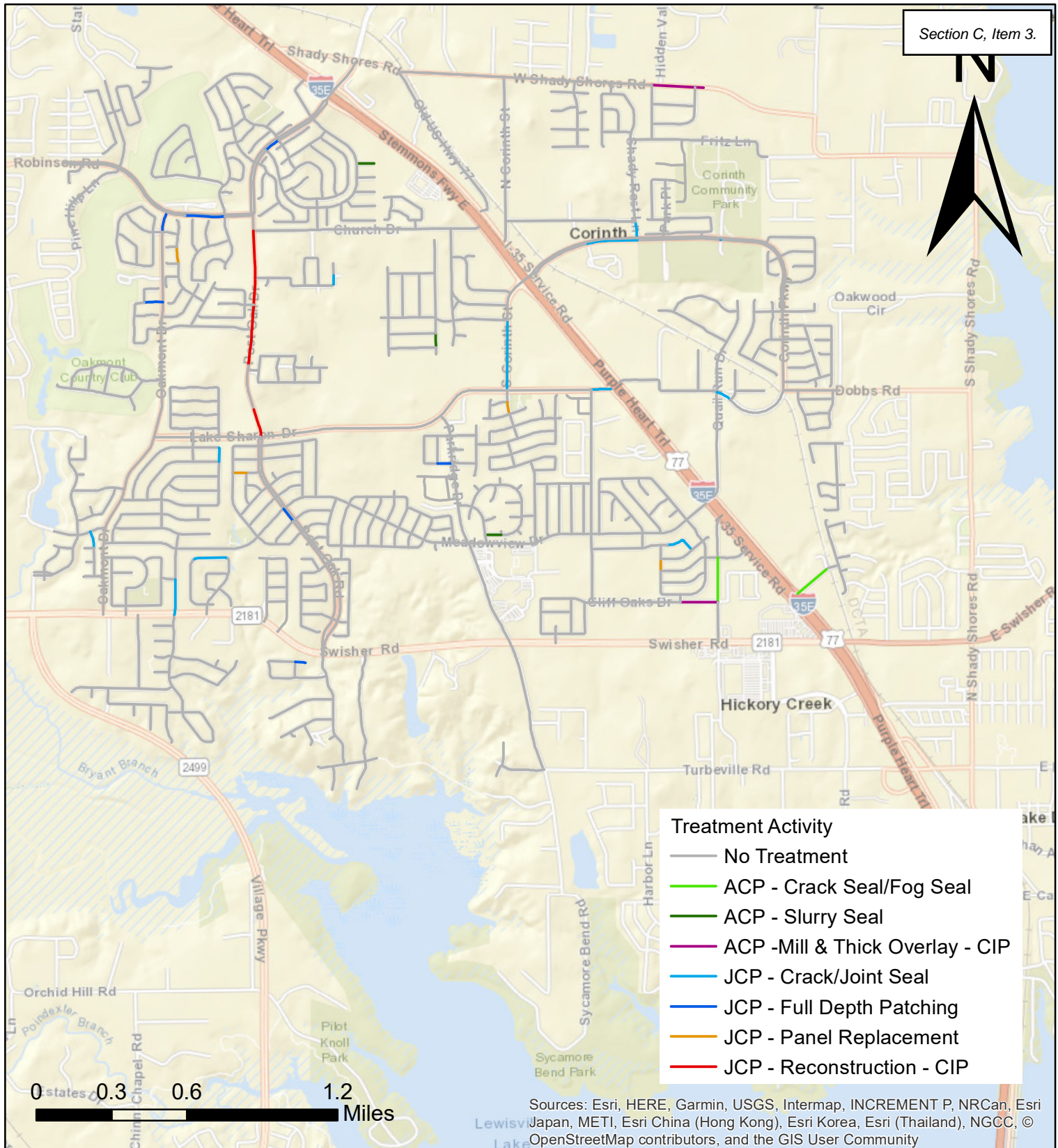
City of Corinth, TX Work Plan - Year 9



Fugro USA Land, Inc.
Base Map: World Street Map
GCS: NAD 1983 St. TX North Central FIPS 4202 ft

Date of Compilation: March 22, 2021
Produced by: Mona Nobakht

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City of Corinth, TX Work Plan - Year 10



Fugro USA Land, Inc.
Base Map: World Street Map
GCS: NAD 1983 St. TX North Central FIPS 4202 ft

Date of Compilation: March 22, 2021
Produced by: Mona Nobakht

This exhibit is intended solely for the pavement management purposes stated in the terms and conditions of this report.

CITY OF CORINTH
Staff Report

Meeting Date:	4/15/2021	Title:	Arterial and Collector Speed Limits
Strategic Goals:	<input type="checkbox"/> Citizen Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development		
Governance Focus:	<i>Sub-Ends:</i>		
	<input type="checkbox"/> Growing Community <input type="checkbox"/> Conveniently located <input checked="" type="checkbox"/> Delivers Outstanding Service <input type="checkbox"/> High-Quality Retail <input type="checkbox"/> High-Quality Restaurants <input type="checkbox"/> High-Quality Entertainment		
	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Customer <input type="checkbox"/> Stakeholder		
	<i>Decision:</i> <input checked="" type="checkbox"/> Governance Policy <input type="checkbox"/> Ministerial Function		
Owner Support:	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission <u>N/A</u>		

Item/Caption

Hold a discussion on the speed limits on certain streets within the City of Corinth.

Item Summary/Background/Prior Action

Staff presented to Council the proposition of evaluating speed limits around town in June of 2021. The discussion related to issues related to “Children at Play” signs, the statutory speed limit of 30 mph and the ability to reduce the speed limit on residential streets to 25 mph without performing an engineering study. Additionally, staff discussed that there may be an opportunity to increase the speed limits on some of the arterials and collectors, but these would take time and require detailed engineering studies. Another part of the discussion was related to golf carts on roadways and where they should be allowed to operate as it relates to increasing speed limits above 35 mph. By State law, golf carts are not allowed on roadways that have speed limits above 35 mph.

Staff and Council went forward with establishing a 25-mph speed limit on all residential streets in the community. At this time many of the streets have received their updated signs. The streets remaining are those that didn’t already have speed limit signs.

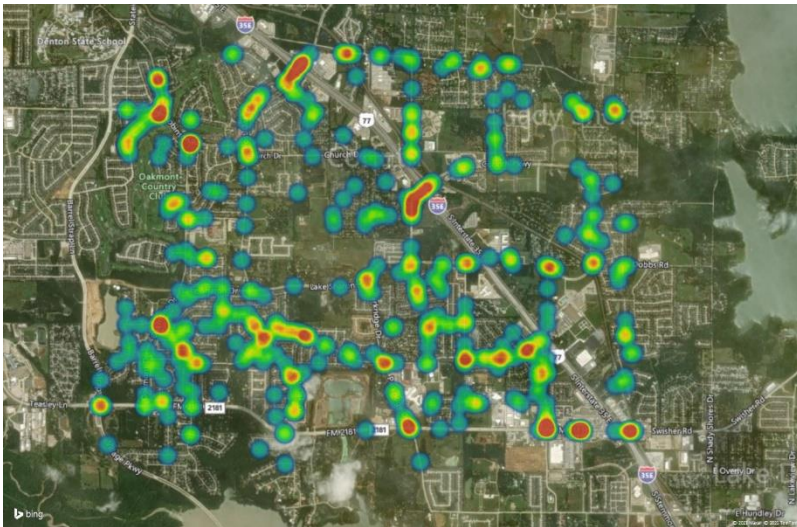
Since October 2020 staff has been collecting speed data at over 30 locations on the streets listed on the table attached below. A summary of the results is provided for reference. When evaluating a street for defined speed limits, engineers have utilized the 85th percentile speed as a reference to the appropriate speed limit for that given roadway. Engineering staff further utilized a tool developed for the Federal Highway Administration called USLIMITS2. This tool is used to aid practitioners in determining appropriate speed limit recommendations. This tool allows the engineer the ability to evaluate various factors on the given roadway segment. These factors include the number of driveways, street intersections, crash history data, average daily traffic, type of surrounding development (rural, fully developed, etc.), number of traffic signals, road characteristics (number of lanes, divided or not, roadside hazards, and segment length), 85th percentile speed as well as the 50th percentile speed, pedestrian activity, bicycle activity, parking, and adverse

alignment. Each of the roadways was evaluated using not just the 85th percentile speed but also the available data into USLIMITS2.

Route Name	Termini From	Termini To	Existing Speed Limit	85th Percentile Speed (mph)	50th Percentile Speed (mph)	Section Length (miles)	AADT	Divided/ Undivided	Number of Through Lanes	Number of Driveways	USLimits Output Recommended Speed Limit (mph)	Engineering Staff Recommendation	Recommended Speed - Existing Speed Limit
Church Drive	I-35E	Post Oak	30	47	42	0.89	1050	Undivided	2	24	45	40	10
Lake Sharon Drive	I-35E	FM 2499	35	45	42	2.44	3356	Divided	4	36	45	40	5
Parkridge Drive	Lake Sharon	FM 2181	30	38	33	0.95	3324	Undivided	2	37	35	35	5
Post Oak	I-35E	Robinson	35	40	35	0.59	11913	Divided	4	8	40	40	5
Post Oak	Robinson	Lake Sharon	30	35	30	0.88	4849	Undivided	2	31	35	35	5
Post Oak	Lake Sharon	FM 2181	35	36	29	0.96	4790	Divided	4	21	35	35	0
Tower Ridge	Lake Sharon	Meadowview	30	43	36	0.57	3400	Undivided	2	11	40	40	10

Staff obtained crash data from the State database Crash Records Information System (C.R.I.S.) The total number of crashes in Corinth that occurred on Corinth roadways (not TxDOT, FM 2181, FM 2499, I-35E), between 2011 and 2021 were 853.

Of the crashes reported between 2011 and 2021, 73% of these did not involve injury. The map provided indicates the general location of these crashes. Note that quite a few are at major intersections.



Crashes between 2011 and 2021

Crash Severity	# of Crashes	% of All Crashes
N - NOT INJURED	626	73%
C - POSSIBLE INJURY	84	10%
B - SUSPECTED MINOR INJURY	67	8%
99 - UNKNOWN	51	6%
A - SUSPECTED SERIOUS INJURY	23	3%
K - FATAL INJURY	2	0.2%
Grand Total	853	

Crashes between 2011 and 2021

Street	# of Crashes	% of All Crashes
POST OAK DRIVE	96	11%
LAKE SHARON DRIVE	30	4%
CHURCH DRIVE	4	0.5%
POST OAK CIR	2	0.2%
Grand Total	132	

Of these 853 crashes, 132 were on the certain streets that were part of the City of Corinth’s study. The types of crashes ranged from suspected serious injury (6), suspected minor injury (12), possible injury (13), to not injured (99) and unknown (2).

Of the crashes reported, 20 were due to failure to yield right of way at a stop sign. This type of crash is not necessarily related to the speed of the roadway. Staff recommends that where there is a stop sign on a divided roadway, that an additional stop sign be installed in the median to assist driver’s visibility of the stop sign. Each of these locations should also be evaluated to determine if advance warning signs should be placed prior to the intersection.

During prior discussions with Council, staff discussed the proposition that many of the streets could be increased by 5 mph. After the results of the studies it was determined that the increases ranged from 0 to 10 mph.

Staff recommends setting the speed limits as follows:

- Church Drive – 40 mph,
- Lake Sharon Drive – 40 mph,
- Parkridge Drive – 35 mph,
- Post Oak Drive (I-35E to Robinson Road) – 40 mph,
- Post Oak Drive (Robinson Road to Lake Sharon Drive) – 35 mph,
- Post Oak Drive (Lake Sharon Drive to FM 2181) – 35 mph and
- Tower Ridge (Lake Sharon Drive to Meadowview Drive) – 40 mph.

It should be noted that both Parkridge Drive and Post Oak have school zones. There may be concern with increasing the speeds in those areas. As a reminder, that is exactly why there are established school zones of 20 mph in those areas. One of the 853 crashes were within active school zones and this crash was on Cliff Oaks Drive.

Due to Council discussion related to golf carts, staff chose not to study the following streets: Oakmont, Robinson, Corinth Parkway. Staff plans to discuss golf carts

These recommended speed limits are in conformance with state law and industry standards for establishing speed limits.

Financial Impact

Cost of replacement speed limit signs are estimated at \$50 per sign there are approximately 50 signs that would need to be replaced at a total cost of about \$2,500. There may be additional sign posts and new signs that must be installed as well. The funds for the sign replacement and installation will come from the Engineering Division’s budget.

CITY OF CORINTH
Staff Report

Meeting Date:	4/15/2021	Title: Engineering Projects Update
Strategic Goals:	<input type="checkbox"/> Citizen Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development	
Governance Focus:	<i>Sub-Ends:</i> <input type="checkbox"/> Growing Community <input type="checkbox"/> Conveniently located <input checked="" type="checkbox"/> Delivers Outstanding Service <input type="checkbox"/> High-Quality Retail <input type="checkbox"/> High-Quality Restaurants <input type="checkbox"/> High-Quality Entertainment	
	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Customer <input type="checkbox"/> Stakeholder	
	<i>Decision:</i> <input checked="" type="checkbox"/> Governance Policy <input type="checkbox"/> Ministerial Function	
Owner Support:	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission <u>N/A</u>	

Item/Caption

Receive a report and hold a discussion on ongoing projects within the city, including Capital Improvement Projects and projects being performed/designed by developers and TxDOT.

Item Summary/Background/Prior Action

Staff will present current and future project status and be available for any questions from Council.

CITY OF CORINTH
Staff Report

Meeting Date:	4/15/2020	Title: Policy Governance Discussion
Strategic Goals:	<input checked="" type="checkbox"/> Citizen Engagement <input checked="" type="checkbox"/> Proactive Government <input checked="" type="checkbox"/> Organizational Development	
Governance Focus:	<i>Sub-Ends:</i>	
	<input checked="" type="checkbox"/> Growing Community <input checked="" type="checkbox"/> Conveniently located <input checked="" type="checkbox"/> Delivers Outstanding Service <input checked="" type="checkbox"/> High-Quality Retail <input checked="" type="checkbox"/> High-Quality Restaurants <input checked="" type="checkbox"/> High-Quality Entertainment	
	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Customer <input type="checkbox"/> Stakeholder	
	<i>Decision:</i> <input checked="" type="checkbox"/> Governance Policy <input type="checkbox"/> Ministerial Function	
Owner Support:	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission <u>N/A</u>	

Item/Caption

Continue the discussion on policy governance from a presentation at the March 18, 2021, City Council meeting.

Item Summary/Background/Prior Action

Establishment of governance policies is an on-going discussion. During the meeting the discussion will focus on a review of sample governance policies developed by Dr. John Carver. The polices have been altered to reflect the City of Corinth. They are not intended to be a final version; rather they serve as a template to guide your discussion.



SAMPLE GOVERNANCE POLICIES

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1	(C) Treatment of Staff
2	(D) Financial Planning/Budgeting
2	(E) Financial Condition and Activities
3	(F) Asset Protection
3	(G) Emergency City Manager Succession
4	(H) Compensation and Benefits
4	(I) Communication and Support to the City Council

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6	(B) Governing Style
7	(C) Council Job Description
7	(D) Council Members' Code of Conduct
8	(G) City Council Engagement
9	(E) Annual Planning
9	(F) Mayor's Role
10	(H) Council Committee Principles
11	(I) Cost of Governance

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12	(C) Accountability of the City Manager
12	(D) Delegation to the City Manager
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ATTACHMENTS

<i>Page</i>	<i>Attachment Title</i>
15	Diagram (A): Categorized City Council Policies

SECTION I: EXECUTIVE LIMITATIONS

(I-A) GLOBAL EXECUTIVE CONSTRAINT

The City Manager shall not cause or allow any organizational practice, activity, decision, or circumstance that is either unlawful, imprudent, or in violation of commonly accepted business and professional ethics.

(I-B) TREATMENT OF CUSTOMERS OF CITY SERVICES

With respect to interactions with customers, the City Manager shall not cause or allow conditions, procedures, or decisions that are unsafe, untimely, undignified, or unnecessarily intrusive.

The City Manager will not

1. Elicit information for which there is no clear necessity.
2. Use methods of collecting, reviewing, transmitting, or storing customer information that fail to protect against improper access to the material.
3. Operate facilities without appropriate accessibility and privacy.
4. Operate without establishing with customers a clear understanding of what may be expected and what may not be expected from the service offered.
5. Operate without informing customers of this policy or providing a way to be heard for persons who believe that they have not been accorded a reasonable interpretation of their rights under this policy.

(I-C) TREATMENT OF STAFF

With respect to the treatment of paid and volunteer staff, the City Manager shall not cause or allow conditions that are unfair, undignified, disorganized, or unclear.

The City Manager will not

1. Operate without written personnel rules that (a) clarify rules for staff, (b) provide for effective handling of grievances, and (c) protect against wrongful conditions, such as nepotism and grossly preferential treatment for personal reasons.
2. Retaliate against any staff member for nondisruptive expression of dissent.
3. Allow staff to be unaware of City Manager's interpretations of their protections under this policy.
4. Allow staff to be unprepared to deal with emergency situations.

SECTION I: EXECUTIVE LIMITATIONS

(I-D) FINANCIAL PLANNING/BUDGETING

The City Manager shall not cause or allow financial planning for any fiscal year or the remaining part of any fiscal year that deviates materially from Council Ends priorities, risks financial jeopardy, or is not derived from a multiyear plan.

The City Manager will not allow budgeting which:

1. Risks incurring those situations or conditions described as unacceptable in the Executive Limitations policy entitled “Financial Condition and Activities.”
2. Omit credible projection of revenues and expenses, separation of capital and operational items, cash flow analysis, and disclosure of planning assumptions.
3. Provide less than the amount determined annually by the Council for the Council’s direct use during the year.

(I-E) FINANCIAL CONDITION AND ACTIVITIES

With respect to the actual, ongoing financial condition and activities, the City Manager may not cause or allow the development of fiscal jeopardy or a material deviation of actual expenditures from Council priorities established in Ends policies.

The City Manager will not

1. Expend more funds than have been received in the fiscal year to date unless the Council’s debt guideline is met.
2. Incur debt in an amount greater than can be repaid by certain and otherwise unencumbered revenue with 60 days.
3. Use any long-term reserves.
4. Conduct inter-fund shifting in amounts greater than can be restored to a condition of discrete fund balance within 30 days.
5. Allow payables or receivables not to be settled within a reasonable time frame.
6. Allow tax payments or other government-ordered payments or filings to be overdue or inaccurately filed.
7. Make a single purchase or commitment of greater than \$50,000. Splitting orders to avoid this limit is not acceptable.
8. Acquire, encumber or dispose of real estate.

SECTION I: EXECUTIVE LIMITATIONS

(I-F) ASSET PROTECTION

The City Manager may not allow the City's assets to be unprotected, inadequately maintained, or unnecessarily risked.

The City Manager will not

1. Insure the organization's assets for less than one hundred percent of replacement value against theft, fire and casualty losses or insure against liability losses to Council members, staff, volunteers and the organization itself for less than the average for comparable organizations.
2. Allow personnel access to material amounts of funds.
3. Subject facilities and equipment to improper wear and tear or insufficient maintenance.
4. Unnecessarily expose the organization, its Council, or staff to claims of liability.
5. Receive, process or disburse funds under controls that are insufficient to meet the Council-appointed auditor's standards.
6. Make any purchase: (a) wherein normally prudent protection has not been given against conflict of interest; (b) of more than \$3,000 without having obtained comparative process and quality; (c) of more than \$7,500 without a stringent method of assuring the balance of long-term quality and cost. Orders shall not be split to avoid these criteria.
7. Allow property, information and files to be unprotected from loss or significant damage.
8. Allow information and files to be unprotected from cyber threats or threat
9. Invest or hold operating capital in insecure instruments, including uninsured checking accounts and bonds of less than an acceptable rating, or in non-interest bearing accounts except where necessary to facilitate ease in operational transactions.

(I-G) EMERGENCY CITY MANAGER SUCCESSION

In order to protect the Council from sudden loss of the City Manager Services, the City Manager shall not permit there to be less than one other person familiar enough with Council and City Manager issues and procedures to be able to maintain organization services.

SECTION I: EXECUTIVE LIMITATIONS

(I-H) COMPENSATION AND BENEFITS

With respect to employment, compensation, and benefits to employees, consultants, contract workers and volunteers, the City Manager shall not cause or allow jeopardy to fiscal integrity or public image.

The City Manager will not

1. Change the City Manager's own compensation and benefits, except as those benefits are consistent with a package for all other employees.
2. Promise or imply permanent or guaranteed employment.
3. Establish current compensation and benefits that deviate materially from the geographic or professional market for the skills employed.
4. Create obligations over a longer term than revenues can be safely projected.
5. Establish or change pension benefits so as to cause unpredictable or inequitable situations, including those that:
 - a) Incur unfunded liabilities,
 - b) Provides less than some basic level of benefits to all full-time employees, though differential benefits to encourage longevity are not prohibited,
 - c) Allow any employee to lose benefits already accrued from any foregoing plan, and
 - d) Treat the City Manager differently from other key employees.

(I-I) COMMUNICATION AND SUPPORT TO THE CITY COUNCIL

The City Manager shall not cause or allow the city council to be uniformed or unsupported in its work.

The City Manager will not

1. Neglect to submit monitoring data required by the Council according to its policy "Monitoring CM Performance" in a timely, accurate, and understandable fashion, directly addressing provisions of Council policies being monitored, and including City Manager interpretations consistent with the "Delegations to the City Manager" policy, as well as relevant data.
2. Let the Council be unaware of any significant incidental information it requires including anticipated adverse media coverage, threatened or pending lawsuits, and material internal and external changes.

SECTION I: EXECUTIVE LIMITATIONS

3. Allow the Council to be unaware that, in the City Manager's opinion, the Council is not in compliance with its own policies on Governance Process and Council-Management Delegation, particularly in the case of Council behavior which is detrimental to the work relationship between the Council and the City Manager.
4. Allow the Council to be without decision information required periodically by the council or let the council be unaware of relevant trends.
5. Present information in unnecessarily complex or lengthy form or in a form that fails to differentiate among information of three types: monitoring, decision preparation, and other.
6. Allow the Council to be without a workable mechanism for Council, officer, or committee communications.
7. Deal with the Council in a way that favors or privileges certain Council members over others, except when (a) fulfilling individual requests for information or (b) responding to officers or committees duly charged by the board.
8. Allow the Council to be unaware of any actual or anticipated noncompliance with any Ends or Executive Limitations policy of the Council regardless of the Council's monitoring schedule.
10. Endanger the city's public image, credibility, or its ability to accomplish Ends.

SECTION II: THE GOVERNANCE PROCESS

(II-A) GLOBAL GOVERNANCE PROCESS

The purpose of the City Council, on behalf of the residents of Corinth, is to see to it that the City of Corinth (a) achieves appropriate results for appropriate persons at an appropriate cost (as specified in council Ends policies), and (b) avoids unacceptable actions and situations as prohibited in Council Executive Limitations policies.

(II-B) GOVERNING STYLE

The City Council will govern lawfully, observing the principles of the Policy Governance model, with an emphasis on (a) outward vision rather than an internal preoccupation, (b) encouragement of diversity in viewpoints, (c) strategic leadership more than administrative detail, (d) clear distinction of Council and city manager roles, (e) collective rather than individual decisions, (f) future rather than past or present, and (g) proactivity rather than reactivity.

Accordingly,

1. The Council will cultivate a sense of group responsibility. The council, not the staff, will be responsible for excellence in governing. The Council will normally be the initiator of policy, rather than reacting to staff's proposals. The Council will not use the expertise of individual members to substitute for the judgment of the Council, although the expertise of individual members may be used to enhance the understanding of the Council as a body.
2. The Council will direct, control, and inspire the organization through the careful establishment of broadly written policies reflecting the Council's values and perspectives. The Council's major policy focus will be on the intended long-term external impacts of the organization.
3. The Council will enforce upon itself whatever discipline is needed to govern with excellence. Discipline will apply to matters such as attendance, preparation for meetings, policy-making principles, respect of roles, and ensuring the continuance of governance capability. Although the council can change its governance process policies at any time, it will scrupulously observe those currently in force.
4. Continual Council development will include orientation of new members in the Council's governance process and periodic Council discussion of process improvement. The Council will provide mechanisms for educating others about their governance process.
5. The Council will monitor and discuss the Council's strategic (rather than administrative) process and performance at each meeting. Self-monitoring will include comparison of Council activity and discipline to policies in the Governance Process and Council-Management Delegation categories.
6. The Council will allow no officer, individual or committee of the Council to hinder or be an excuse for not fulfilling group obligations.

SECTION II: THE GOVERNANCE PROCESS

(II-C) COUNCIL JOB DESCRIPTION

Specific job outputs of the City Council, as an informed agent of the ownership, are those that ensure appropriate organizational performance.

Accordingly, the Council will provide

1. The linkage between the ownership and the operational organization.
2. Written governing policies that realistically address the broadest levels of organizational decisions and situations.
 - a. *Ends*: Organizational impacts, benefits, outcomes, recipients, beneficiaries, impacted groups, and their relative cost or priority.
 - b. *Executive Limitations*: Constraints on executive authority that establish the prudence and ethical boundaries within which all executive activity and decisions must take place.
 - c. *Governance Process*: Specification of how the Council conceives, carries out, and monitors its own tasks.
 - d. *Council-Management Delegation*: How power is delegated and its proper use monitored; the City Manager's role, authority, and accountability.
3. Assurance of successful organizational performance on Ends and Executive Limitations.

(II-D) COUNCIL MEMBERS' CODE OF CONDUCT

The Council commits itself and its members to ethical, businesslike and lawful conduct, including proper use of authority and appropriate decorum when acting as Council members.

1. Members must have loyalty to the resident's ownership, un-conflicted by loyalties to staff, other organizations, and any personal interest as a consumer.
2. Members must avoid appearance of impropriety conflict of interest with respect to their fiduciary responsibility.
 - a. There must be no self-dealing or business by a member with the organization. Members will annually disclose their involvements with other organizations, with vendors, or any associations that might be or might reasonably be seen as being a conflict.
 - b. When the Council is to decide upon an issue about which Council member has an unavoidable conflict of interest, that member shall withdraw without comment not only from the vote, but also from the deliberation.
 - c. Council members will not use their positions to obtain employment in the organization for themselves, family members or close associates. A Council member who applies for employment must wait two years following their service on the Council.

SECTION II: THE GOVERNANCE PROCESS

3. Council members may not attempt to exercise individual authority over the organization.
 - a. Members' interaction with the City Manager or with staff must recognize the lack of authority vested in individuals except when explicitly Council authorized.
 - b. Members' interaction with public, press or other entities must recognize the same limitation and the inability of any Council member to speak for the Council except explicitly stated Council decisions.
 - c. Except for participation in Council deliberation about whether the City Manager has achieved any reasonable interpretation of Council policy, members will not express individual judgments of performance of employees of the City Manager.
4. Members will respect the confidentiality appropriate to issues of a sensitive nature.
5. Members will be properly prepared for Council deliberation.
6. Members will support the legitimacy and authority of the final determination of the Council on any matter, irrespective of the members' personal position on the issue.

(II-E) CITY COUNCIL ENGAGEMENT

Based upon the necessity of regional, statewide and national involvement the council shall engage/participate in external organizations and activities which promote the ends of the City.

Accordingly,

1. The Mayor shall at minimum, participate in the following activities: _____, NLC policy committee or council, etc.
2. The Mayor Pro-Tem shall at a minimum, participate in the following activities in place of Mayor when not available: _____, NLC policy committee or council, etc.
3. Councilmember's based upon availability shall participate in regional and national activities such as NLC, TML Regional meetings, TML legislative policies, State legislative activities, NCTCOG, Lake Cities Chamber Luncheon, North Texas Commission, DCTA.

SECTION II: THE GOVERNANCE PROCESS

(II-F) ANNUAL PLANNING

To accomplish its job with a governance style consistent with Council policies, the Council will follow an annual agenda that (a) Completes a re-exploration of Ends policies annually (b) Continually improves Council performance through Council education and enriched input and deliberation.

1. The cycle will conclude each year no later than the last day of May so that administrative planning and budgeting can be based on accomplishing a one-year segment of the most recent statement of long-term Ends.
2. The cycle will start with the Council's development of its agenda for the next full year.
 - a. Consultations with selected groups in the ownership or other methods of gaining ownership input will be determined and arranged in the first quarter, to be held during the balance of the year.
 - b. Governance education and education related to Ends determination (e.g. presentations by industry experts, advocacy groups, staff and so on) will be arranged in the third quarter, to be held during the balance of the year.
 - c. Upon the request of two Council members, a request for an item for Council discussion may be submitted to the Mayor no later than ten days before the council meeting.
3. Throughout the year, the Council will attend to consent agenda items as expeditiously as possible.
4. City Manager compensation and evaluation will be decided during the month of March after a review of monitoring reports received in the previous year.
5. City Manager monitoring will be on the agenda based upon reports received since the previous meeting, or if plans must be made for direct inspection monitoring, or if arrangements for third-party monitoring must be prepared.

(II-G) MAYOR'S ROLE

The Mayor, a specially empowered member of the City Council, assures the integrity of the Council's process and, secondarily, represents the Council to outside parties.

1. The assigned result of the Mayor's job is that the Council behaves consistently with its own rules and those legitimately imposed upon it from outside the organization.
 - a. Meeting discussion content will be only those issues which, according to board policy, clearly belong to the Council to decide or to monitor.
 - b. Deliberation will be fair, open, and thorough, but also timely, orderly, and kept to the point.

SECTION II: THE GOVERNANCE PROCESS

- c. Information that is for neither monitoring performance nor Council decisions will be avoided or minimized and always noted as such.
2. The authority of the Mayor consists of making decisions that fall within the topics covered by Council policies on Governance Process and Council-Management Delegation with the exception of (a) Employment or termination of the City Manager (b) Where the Council specifically delegates portions of this authority to others. The Mayor is authorized to use any reasonable interpretation of the provisions in these policies. The Mayor is authorized to use any reasonable interpretation of the provisions in these policies.
 - a. The Mayor is empowered to chair Council meetings with all the commonly accepted power of that position (e.g. ruling, recognizing).
3. The Mayor has no authority to make decisions about policies created by the Council within Ends and Executive Limitations policy areas. Therefore, the Mayor has no authority to supervise or unilaterally direct the City Manager.
 - a. The Mayor may represent the Council to outside parties in announcing Council-stated positions and in stating Mayoral decisions and interpretations within the areas delegated to him or her. It is expected that this latter authority would be exercised sparingly and only in such times as the Council cannot timely deliberate the issue and is subject ultimately to Council review.
 - b. The Mayor may delegate this authority, but will remain accountable for its use.

(II-H) COUNCIL COMMITTEE PRINCIPLES

Council committees, when used, will be assigned to help the Council do its job, to reinforce the wholeness of the Council's job and so as never to interfere with delegation from Council to City Manager.

1. Council committees are to help the Council do its job, not to help or advise the staff. Committees ordinarily will assist the Council by preparing policy alternatives and implications for Council deliberation. In keeping with the Council's broader focus, Council committees will normally not have direct dealings with current staff operations.
2. Council committees may not speak or act for the Council except when formally given such authority for specific and time-limited purposes. Expectations and authority will be carefully stated in order not to conflict with authority delegated to the City Manager.
3. Council committees cannot exercise authority over staff. The City Manager works for the full Council, and will therefore not be required to obtain approval of a Council committee before an executive action.
4. Committees will be used sparingly and ordinarily in an ad-hoc capacity.

SECTION II: THE GOVERNANCE PROCESS

5. This policy applies to any group that is formed by Council action whether or not it is called a committee and regardless of whether the group includes Council members. It does not apply to committees formed under the authority of the City Manager.

(II-I) COST OF GOVERNANCE

The Council will invest in its governance capacity.

1. Council skills, methods, and supports will be sufficient to ensure governing with excellence.
 - a. Training and retraining will be used liberally to orient new Council members and candidates for Council membership, as well as to maintain and increase existing Council member skills and understandings.
 - b. Outside monitoring assistance will be arranged so that the Council can exercise confident control over organizational performance. This includes, but is not limited to, financial audit.
 - c. Outreach mechanisms will be used as needed to ensure the Council's ability to listen to owner viewpoints and values.
2. Costs will be prudently incurred, though not at the expense of endangering the development and maintenance of superior capability.
3. The Council will establish its cost of governance budget or the next fiscal year during the month of August.

SECTION III: COUNCIL-MANAGEMENT DELEGATION

(III-A) GLOBAL COUNCIL-MANAGEMENT DELEGATION

The Council's sole official connection to the operational organization, its achievements, and conduct will be through a chief executive officer, titled the City Manager.

(III-B) UNITY OF CONTROL

Only officially passed motions of the Council are binding on the City Manager.

1. Decisions or instructions of individual Council members, officers, or committees are not binding on the City Manager except in rare instances when the Council has specifically authorized such exercise of authority.
2. In the case of Council members or committees requesting information or assistance without Council authorization, the City Manager can refuse such requests that require, in the City Manager's opinion, a material amount of staff time or funds, or are disruptive.

(III-C) ACCOUNTABILITY OF THE CITY MANAGER

The City Manager is the Council's only link to operational achievements and conduct, so that all authority and accountability of staff, as far as the Council is concerned, is considered the authority and accountability of the City Manager.

1. The board will never give instructions to persons who report directly or indirectly to the City Manager.
2. The Council will not evaluate, either formally or informally, any staff other than the City Manager or other direct Council Appointees.
3. The Council will view City Manager performance as identical to organizational performance, so that organizational accomplishment of Council-stated Ends and avoidance of Council-proscribed means will be viewed as successful City Manager performance.

(III-D) DELEGATION TO THE CITY MANAGER

The Council will instruct the City Manager through written policies that prescribe the organizational Ends to be achieved, and describe organizational situations and actions to be avoided, allowing the City Manager to use any reasonable interpretation of these policies.

1. The Council will develop policies instructing the City Manager to achieve specified results, for specified recipients, at a specified cost. These policies will be developed systematically from the broadest, most general level to more defined levels, and will be called Ends policies. All issues that are not ends issues as defined here are means issues.

SECTION III: COUNCIL-MANAGEMENT DELEGATION

2. The Council will develop policies that limit the latitude the City Manager may exercise in choosing the organizational means. These limiting policies will describe those practices, activities, decisions, and circumstances that would be unacceptable to the board even if they were to be effective. Policies will be developed systematically from the broadest, most general level to more defined levels, and they will be called Executive Limitations policies. The Council will never prescribe organizational means delegated to the City Manager.
3. As long as the City Manager uses *any reasonable interpretation* of the Council's Ends and Executive Limitations policies, the City Manager is authorized to establish all further policies, make all decisions, take all actions, establish all practices, and develop all activities. Such decisions of the City Manager shall have full force and authority as if decided by the Council.
4. The Council may change its Ends and Executive Limitations policies, thereby shifting the boundary between Council and City Manager domains. By doing so, the Council changes the latitude of choice given to the City Manager. But so long as any particular delegation policy is in place, the Council and its members will respect and support the City Manager's choices.

(III-E) MONITORING EXECUTIVE PERFORMANCE

Systematic and rigorous monitoring of City Manager job performance will be solely against the only expected City Manager job products: organizational accomplishment of Council policies on Ends and organizational operation within the boundaries established in Council policies on Executive Limitations.

1. Monitoring is simply to determine the degree to which Council policies are being met. Information that does not do this will not be considered to be monitoring data.
2. The Council will acquire monitoring information by one or more of three methods:
 - a. By INTERNAL REPORT: in which the City Manager discloses interpretations and compliance information to the Council.
 - b. By EXTERNAL REPORT: in which an external, disinterested third party selected by the council assess compliance with Council policies.
 - c. By DIRECT COUNCIL INSPECTION: in which a designated Council member or members of the Council assess compliance with the City Manager's interpretation of the appropriate policy criteria.
3. In every case, the Council will judge (a) the reasonableness of the City Manager's interpretation and (b) whether data demonstrate accomplishment of the interpretation.
4. The standard for compliance shall be *any reasonable City Manager interpretation* of the Council policy being monitored. The Council is final arbiter of reasonableness, but will always judge with a "reasonable person" test rather than with interpretations favored by Council members or by the Council as a whole.

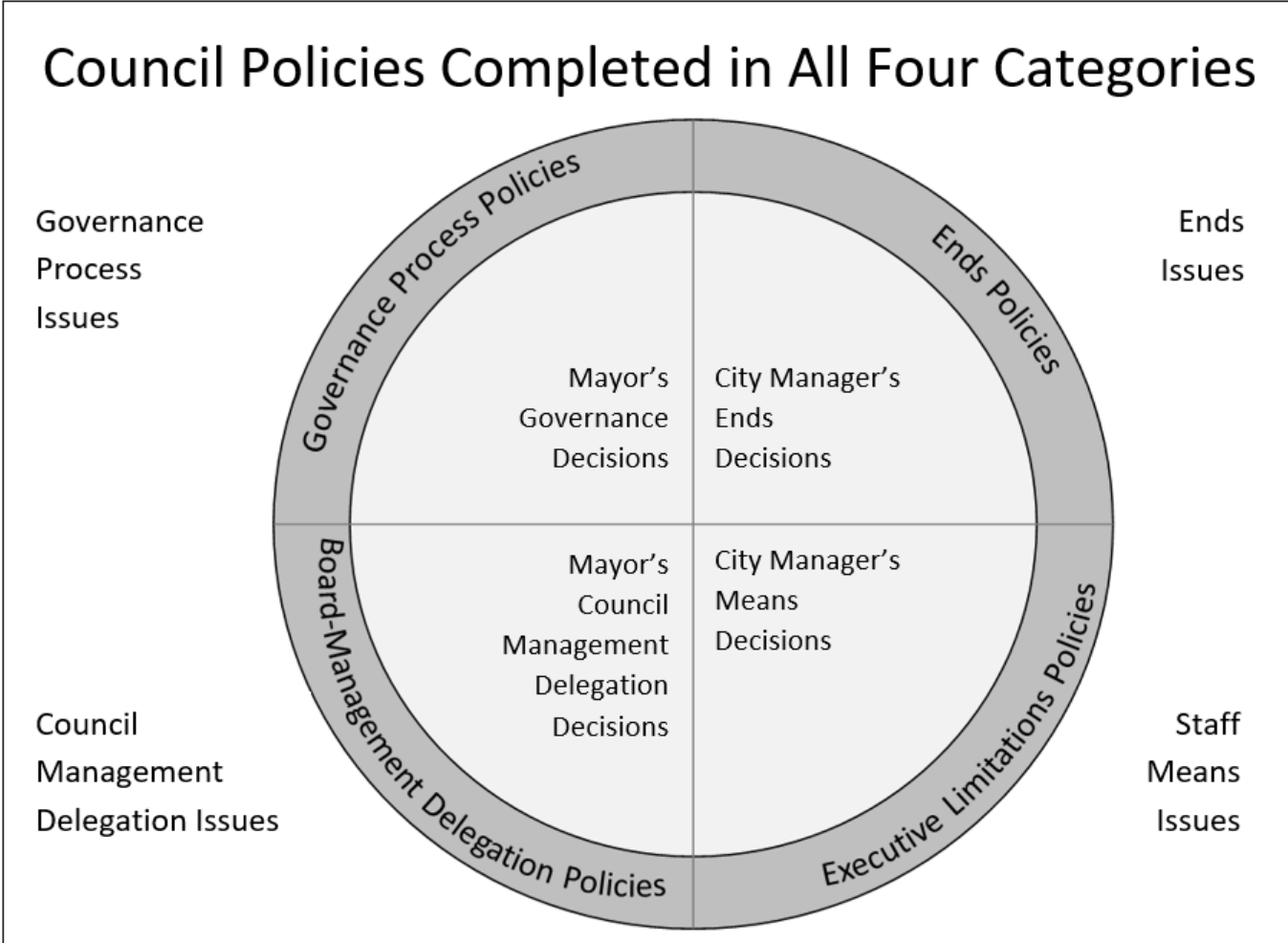
SECTION III: COUNCIL-MANAGEMENT DELEGATION

5. All policies that instruct the City Manager will be monitored at a frequency and by a method chosen by the Council. The Council can monitor any policy at any time by any method, but will ordinarily

Policy	Method	Frequency	Month
<i>Global Executive Constraint</i>	Internal	Annually	March
<i>Emergency City Manager Succession</i>	Internal	Annually	March
<i>Treatment of Customers</i>	Internal	Annually	May
<i>Treatment of Staff</i>	Internal	Annually	May
<i>Ends</i>	Internal Balanced Scorecard reporting	Quarterly & Annually	May
<i>Communication and Support</i>	Direct Inspection	Annually	June
<i>Financial Planning/ Budgeting</i>	Internal	Quarterly	June - August
<i>Compensation and Benefits</i>	Internal External	Annually	June - August
<i>Asset Protection</i>	Internal	Annually	August
<i>Financial Condition and Activities</i>	Internal (Budget) External (Audit)	Annually Annually	August March

depend on a routine schedule as follows:

ATTACHMENT (A): CATEGORIZED BOARD POLICIES



ATTACHMENT (B): DOCUMENT UPDATE HISTORY

Date of Last Update	Pages Updated	Description
	All	Document restructure, policy numbers added, table of contents added, page numbers added

CITY OF CORINTH
Staff Report

Meeting Date:	4/15/2020	Title: February 18, 2021 Emergency Session Minutes
Strategic Goals:	<input type="checkbox"/> Citizen Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development	
Governance Focus:	<i>Sub-Ends:</i>	
	<input type="checkbox"/> Growing Community <input type="checkbox"/> Conveniently located <input checked="" type="checkbox"/> Delivers Outstanding Service <input type="checkbox"/> High-Quality Retail <input type="checkbox"/> High-Quality Restaurants <input type="checkbox"/> High-Quality Entertainment	
	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Customer <input type="checkbox"/> Stakeholder	
	<i>Decision:</i> <input checked="" type="checkbox"/> Governance Policy <input type="checkbox"/> Ministerial Function	
Owner Support:	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission <u>N/A</u>	

Item/Caption

Consider and act on minutes from the February 18, 2021, emergency session.

Item Summary/Background/Prior Action

Attached are the minutes from the February 18, 2021, emergency session. The minutes are in draft form and are not considered official until formally approved by the City Council.

Staff Recommendation/Motion

Staff recommends approval of the minutes.

**STATE OF TEXAS
COUNTY OF DENTON
CITY OF CORINTH**

On this, the 18th day of February 2021, the City Council of the City of Corinth, Texas, met in an Emergency Session at the Corinth City Hall at 5:40 P.M., located at 3300 Corinth Parkway, Corinth, Texas. The meeting date, time, place, and purpose as pursuant to Section 30.059 of the Code of Ordinances of the City of Corinth and Section 551.045 of the Texas Government Code, with the following members to wit:

Council Members Present:

Bill Heidemann, Mayor
Sam Burke, Mayor Pro-Tem
Scott Garber, Council Member
Steve Holzwarth, Council Member
Tina Henderson, Council Member
Kelly Pickens, Council Member

Staff Members Present:

Bob Hart, City Manager
Lana Wylie, City Secretary
Patricia Adams, Messer – Fort – McDonald
Jason Alexander, Economic Development Corporation Director
Helen-Eve Beadle, Planning & Development Director
Lee Ann Bunselmeyer, Finance, Communications & Strategic Services Director
Jerry Garner, Police Chief
Shea Rodgers, Technology Services Manager
James Trussell, Multi-Media Production Intern
Lance Stacy, City Marshal

CALL TO ORDER:

Mayor Heidemann called the meeting to order at 5:40 P.M.

BUSINESS AGENDA:

1. **Explanation of Meeting Purpose:** This emergency meeting of the City Council has been called due to an emergency and urgent public necessity requiring immediate Council action as a result of recent severe weather storm events impacting City of Corinth services and public utility services to the citizens of Corinth. The severe weather emergency has created an urgent public necessity to address health, safety, and welfare concerns of Corinth, to take action to facilitate prompt repair of property damage resulting from frozen pipes and other damage caused by the extreme cold weather, ice, and snow, and the protection and maintenance of City infrastructure and equipment due to recent snow, ice and severe weather. (Section 551.045, Texas Government Code.)
2. **Consider and take appropriate action regarding Ordinance No. 21-02-18-04, an Ordinance declaring a local disaster for winter weather emergency and extended the Mayor's Declaration of Local Disaster for Winter Weather Emergency and Order of Preparedness; providing for suspension of certain ordinance requirements imposing inspection fees; ratifying actions taken in order to mitigate negative impacts of the severe weather on City equipment and related matters; and providing a date for expiration of the Ordinance.**

City Manager Hart updated the City Council stating Governor Abbott’s Disaster Declaration, as well as Denton County Commissioners Court. The city declares the emergency and has seven days to ratify. It allows cost tracking which allows the city to be eligible for reimbursed through FEMA. It does not apply to insured costs, only uninsured losses. The ordinance also includes, in Section 3, waiving plumbing inspection fees for work performed by plumbing contractors to repair damages caused by the storm.

City Attorney Adams noted the City Council is required to determine and specify an end date.

Mayor Pro Tem Burke - Move to approve Ordinance 21-02-18-04, declaring a local disaster for the winter weather emergency and to extend the declaration of the local disaster, providing a suspension of certain ordinance requirements for 120 days from today's date. Council Member Garber seconded the motion.

AYES: Burke, Garber, Holzwarth, Henderson, Pickens
NOES: None
ABSENT: None

MOTION CARRIED

ADJOURN:

Mayor Heidemann adjourned the meeting at 5:51 P.M.

AYES: All

Meeting adjourned.

Approved by Council on the _____ day of _____ 2021.

Lana Wylie, City Secretary
City of Corinth, Texas

CITY OF CORINTH
Staff Report

Meeting Date:	4/15/2020	Title: February 18, 2021 Workshop Session Minutes
Strategic Goals:	<input type="checkbox"/> Citizen Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development	
Governance Focus:	<i>Sub-Ends:</i>	
	<input type="checkbox"/> Growing Community <input type="checkbox"/> Conveniently located <input checked="" type="checkbox"/> Delivers Outstanding Service <input type="checkbox"/> High-Quality Retail <input type="checkbox"/> High-Quality Restaurants <input type="checkbox"/> High-Quality Entertainment	
	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Customer <input type="checkbox"/> Stakeholder	
	<i>Decision:</i> <input checked="" type="checkbox"/> Governance Policy <input type="checkbox"/> Ministerial Function	
Owner Support:	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission <u>N/A</u>	

Item/Caption

Consider and act on minutes from the February 18, 2021, workshop session.

Item Summary/Background/Prior Action

Attached are the minutes from the February 18, 2021, workshop session. The minutes are in draft form and are not considered official until formally approved by the City Council.

Financial Impact

Applicable Owner/Stakeholder Policy

Staff Recommendation/Motion

Staff recommends approval of the minutes.

**STATE OF TEXAS
COUNTY OF DENTON
CITY OF CORINTH**

On this, the 18th day of February 2021, the City Council of the City of Corinth, Texas, met in Workshop Session at the Corinth City Hall at 5:45 P.M., located at 3300 Corinth Parkway, Corinth, Texas. The meeting date, time, place, and purpose as required by Title 5, Subtitle A, Chapter 551, Subchapter C, Section 551.041, Government Code, with the following members to wit:

Council Members Present:

Bill Heidemann, Mayor
Sam Burke, Mayor Pro-Tem
Scott Garber, Council Member
Steve Holzwarth, Council Member
Tina Henderson, Council Member
Kelly Pickens, Council Member

Staff Members Present:

Bob Hart, City Manager
Lana Wylie, City Secretary
Patricia Adams, Messer – Fort – McDonald
Jason Alexander, Economic Development Corporation Director
Helen-Eve Beadle, Planning & Development Director
George Marshall, City Engineer
Michelle Mixell, Planning & Development Manager
Miguel Inclan, Planner
Lee Ann Bunselmeyer, Finance, Communications & Strategic Services Director
Jerry Garner, Police Chief
Shea Rodgers, Technology Services Manager
James Trussell, Multi-Media Production Intern
Lance Stacy, City Marshal

CALL TO ORDER:

Mayor Heidemann called the meeting to order at 5:51 P.M.

WORKSHOP BUSINESS AGENDA:

- 1. Continue the discussion on policy governance from a presentation at January 28, 2021, Council meeting.**

City Manager Hart continued the policy governance discussion with the City Council. He used an example of Technology Services. Staff reports to City Council several times each year with the cyber security monitoring report. Communication is crucial with regard to policies. With the storm, the preparation was for ice and streets. The electricity blackouts changed the focus. The city had to assess the magnitude and then began disseminating information to the public. With increased communications, a shift occurred from negative to more positive comments. City Manager Hart contacted County Judge Eads and State Representative Stuckey for assistance. Corinth was on the front end of the curve. The county assisted with two generators. Lake Cities Municipal Utility Authority (LCMUA) assisted with cross connections for water service. None of the water tanks broke or lost pressure to require a boil water notice. Addressing the

pump stations and how to move forward with a system that was built in early 1990. Oncor reliability factor at that time was 99%. The city did not spend the extra funds to build back-ups. With deregulation and generation source changes, reliability is not there with Oncor. A water storage tank valve broke, the tank had to be drained, the repair made, and refilled. The SCADA system measures the pumps and water levels froze. Upper Trinity delivered a valve to the city. Wildstone fixed the valve. The relationships the city has with many vendors proved to be beneficial. There are 270 units without power, 163 are the Boulevard Apartments and 33 apartments at Timber Ridge Apartments, 74 homes. Oncor is working on transformers, fuses and wiring. Public Works and the fire department are assisting with emergency water shut offs. The fire department’s monthly calls are approximately 300-320 and have had 300+ to date with this event. The next concern is water line breaks and determining the process for sewer averaging. Oncor has restored electricity to the Boulevard Apartments. Staff will talk with the Emergency Operations Center regarding getting water to residents that do not have drinking water.

Council Member Garber inquired about well-checks for residents without power. He said he would be willing to check on residents if they could obtain the address, along with the other City Council Members.

2. Receive a presentation, hold a discussion, and provide staff direction regarding the City’s screening and fencing regulations.

Council Member Garber requested the item be added to the agenda due to the residents on Shady Shores Road. Many of the residents have iron fencing and with the traffic and pools, are the residents permitted to install 8’ privacy fencing?

Helen-Eve Beadle, Planning and Development Director, stated in 2019 and in 2020 amendments were made to the fencing code and shared a presentation with the City Council. Discussion with City Council included the current code requirements. The Council requested a future meeting to discuss uniform fencing rules.

3. Discuss Regular Meeting Items on Regular Session Agenda, including the consideration of closed session items as set forth in the Closed Session agenda items below.

**There was no discussion on regular session items.
There was no closed session during the workshop session.**

CLOSED SESSION:

The City Council convened in closed session to consider any matters regarding matters pursuant to Chapter 551 of the Texas Government Code.

Section 551.071. (1) Private consultation with its attorney to seek advice about pending or contemplated litigation; and/or settlement offer; and/or (2) a matter in which the duty of the attorney to the government body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the Texas Open Meetings Act.

Section 551.072. To deliberate the purchase, exchange, lease or value of real property if deliberation in an open meeting would have a detrimental effect on the position of the governmental body in negotiations with a third person.

- a. Right-of-way consisting of 1.56 acres located at 6881 South I-35E and along Dobbs Road within the**

H. Garrison Survey, Abstract No. 507, within the City of Corinth, Denton County, Texas. (M/B)

- b. Right-of-way consisting of .198 acres located at 6801 S I-35E and 3404 Dobbs Road along Dobbs Road within the H. Garrison Survey, Abstract No. 507, within the City of Corinth, Denton County, Texas. (F)**
- c. Being approximately 7 acres of land, more or less, located in the J.P. Walton Survey, Abstract No. 1389, City of Corinth, Denton County, Texas (H).**
- d. Being approximately 13 acres of land, more or less, in the North Central Texas College Addition No. 2, Block A, Lot 1R (N).**

Section 551.074. To deliberate the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee; or to hear a complaint or charge against an officer or employee.

Section 551.087. To deliberate or discuss regarding commercial or financial information that the governmental body has received from a business prospect that the governmental body seeks to have locate, stay, or expand in or near the territory of the governmental body and with which the governmental body is conducting economic development negotiations; or to deliberate the offer of a financial or other incentive to a business prospect.

a. Project Agora

After discussion of any matters in closed session, any final action or vote taken will be in public by the City Council. City Council shall have the right at any time to seek legal advice in Closed Session from its Attorney on any agenda item, whether posted for Closed Session or not.

RECONVENE IN OPEN SESSION TO TAKE ACTION, IF NECESSARY, ON CLOSED SESSION ITEMS.

ADJOURN:

Mayor Heidemann adjourned the workshop session at 6:52 P.M.

AYES:

Meeting adjourned.

Approved by Council on the _____ day of _____ 2021.

Lana Wylie, City Secretary
City of Corinth, Texas

CITY OF CORINTH
Staff Report

Meeting Date:	4/15/2020	Title:	February 18, 2021 Regular Session Minutes
Strategic Goals:	<input type="checkbox"/> Citizen Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development		
Governance Focus:	<i>Sub-Ends:</i> <input type="checkbox"/> Growing Community <input type="checkbox"/> Conveniently located <input checked="" type="checkbox"/> Delivers Outstanding Service <input type="checkbox"/> High-Quality Retail <input type="checkbox"/> High-Quality Restaurants <input type="checkbox"/> High-Quality Entertainment		
	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Customer <input type="checkbox"/> Stakeholder		
	<i>Decision:</i> <input checked="" type="checkbox"/> Governance Policy <input type="checkbox"/> Ministerial Function		
Owner Support:	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission <u>N/A</u>		

Item/Caption

Consider and act on minutes from the February 18, 2021, regular session.

Item Summary/Background/Prior Action

Attached are the minutes from the February 18, 2021, regular session. The minutes are in draft form and are not considered official until formally approved by the City Council.

Staff Recommendation/Motion

Staff recommends approval of the minutes.

**STATE OF TEXAS
COUNTY OF DENTON
CITY OF CORINTH**

On this, the 18th day of February 2021, the City Council of the City of Corinth, Texas, met in Regular Session at the Corinth City Hall at 7:00 P.M., located at 3300 Corinth Parkway, Corinth, Texas. The meeting date, time, place, and purpose as required by Title 5, Subtitle A, Chapter 551, Subchapter C, Section 551.041, Government Code, with the following members to wit:

Council Members Present:

- Bill Heidemann, Mayor
- Sam Burke, Mayor Pro-Tem
- Scott Garber, Council Member
- Steve Holzwarth, Council Member
- Tina Henderson, Council Member
- Kelly Pickens, Council Member

Staff Members Present:

- Bob Hart, City Manager
- Lana Wylie, City Secretary
- Patricia Adams, Messer – Fort – McDonald
- Jason Alexander, Economic Development Corporation Director
- Helen-Eve Beadle, Planning & Development Director
- George Marshall, City Engineer
- Michelle Mixell, Planning & Development Manager
- Miguel Inclan, Planner
- Lee Ann Bunselmeyer, Finance, Communications & Strategic Services Director
- Jerry Garner, Police Chief
- Shea Rodgers, Technology Services Manager
- James Trussell, Multi-Media Production Intern
- Lance Stacy, City Marshal

CALL TO ORDER, INVOCATION, PLEDGE OF ALLEGIANCE & TEXAS PLEDGE:

Mayor Heidemann called the meeting to order at 7:00 P.M. The Invocation was delivered by City Manager Hart, followed by the Pledge of Allegiance and the Texas Pledge.

PROCLAMATION:

- 1. **Item withdrawn**

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine and will be enacted in one motion. Should the Mayor, a Council Member, or any citizen desire discussion of any Item that Item will be removed from the Consent Agenda and will be considered separately.

- 2. **Consider and act on minutes from January 21, 2021, special session.**
- 3. **Consider and act on minutes from January 28, 2021, workshop session.**

- 4. Consider and act on minutes from January 28, 2021, regular session.
- 5. Consider and act on minutes from February 4, 2021, workshop session.
- 6. Consider and act on minutes from February 4, 2021, regular session.
- 7. Consider and act on minutes from February 11, 2021, special session.
- 8. Consider and act on a Joint Election Agreement and Contract for Election Services with Denton County for the General and Special Election to be held May 1, 2021.
- 9. Consider and act on an Ordinance of the City Council of the City of Corinth, Texas, amending Section 38.12, "Processing Fees For Payment By Credit Card", of Chapter 38, "City Policies and Fees", of Title III, "Administration", of the City's Code Of Ordinances to revise the Credit Card Payment Processing Fees; amending the Master Fee Schedule to reflect the same; providing for The incorporation of premises; providing that this ordinance shall be cumulative of all ordinances; providing a severability clause; providing a savings clause; and providing an effective date.

Council Member Henderson – Move to approve the Consent Agenda as presented. Council Member Garber seconded the motion.

AYES: Burke, Garber, Holzwarth, Henderson, Pickens
NOES: None
ABSENT: None

MOTION CARRIED

CITIZENS COMMENTS:

In accordance with the Open Meetings Act, Council is prohibited from acting on or discussing (other than factual responses to specific questions) any items brought before them at this time. Citizen's comments will be limited to 3 minutes. Comments about any of the Council agenda items are appreciated by the Council and may be taken into consideration at this time or during that agenda item. Please complete a Public Input form if you desire to address the City Council. All remarks and questions addressed to the Council shall be addressed to the Council as a whole and not to any individual member thereof. Section 30.041B Code of Ordinance of the City of Corinth.

There were no citizen comments.

PUBLIC HEARING:

- 10. Conduct a Public Hearing to consider testimony and take action on a rezoning request by the Applicant, Meritage Homes, on behalf of the owners, Elmo M. & Darlene S. Blount, and F.F. Taylor Farms, LP, to amend the zoning classification from SF-4 Single Family Residential, SF-2 Single Family Residential, PD-5 Planned Development District for SF-3 Single Family Residential and SF-4 Single Family Residential, and PD-39 for SF-4 Single Family Residential to a Planned Development (PD-57) on an approximate ±82.96 acres of land, with a base zoning district of SF-4 Single Family Residential, generally located north of Lake Sharon Drive, South of Valley View Drive, west of North Corinth Street, east of Evans Road, and south of Church Drive. (Ashford Park PD #ZAPD20-0003)

The item was presented, and discussion followed.

Mayor Heidemann opened the Public Hearing at 8:04 P.M.
Mayor Heidemann closed the Public Hearing at 8:05 P.M.

Council Member Garber – Move to approve the rezoning request for Meritage Homes, to amend the zoning classification from SF-4, SF-2, PD-5 for SF-3 and SF-4 and PD-39 for SF-4 to a Planned Development (PD-57) on approximately 82.96 acres of land, with a base zoning district of SF-4, generally located north of Lake Sharon Drive, South of Valley View Drive, west of North Corinth Street, east of Evans Road, and south of Church Drive. Council Member Holzwarth seconded the motion.

AYES: Burke, Garber, Holzwarth, Henderson, Pickens
NOES: None
ABSENT: None

MOTION CARRIED

BUSINESS AGENDA:

- 11. Consider approval of entering into a Developmental Agreement with Meritage Homes of Texas, LLC., for the construction of Parkridge Dr. from Lake Sharon Dr. to the Development’s northern property line, Lake Sharon Dr. at Parkridge Roundabout, and necessary waterlines along Parkridge Dr. as shown on the City Capital Improvement Plans, necessitated by their proposed development Ashford Park, and authorizing the City Manager to execute any necessary documents.**

The item was presented, and discussion followed.

Mayor Pro Tem Burke – Move to approve the Developmental Agreement between the City and Meritage Homes of Texas, for the construction of roads and water lines for Ashford Park, and authorizing the city manager to execute the necessary documents. Council Member Garber seconded the motion.

AYES: Burke, Garber, Holzwarth, Henderson, Pickens
NOES: None
ABSENT: None

MOTION CARRIED

- 12. Consider and act upon an Alternative Compliance Application for Tree Preservation for the CoServ Addition on ±7.45 acres located at 7701 S I-35 e. (CoServ AC21-0002)**

The item was presented, and discussion followed.

Council Member Garber – Move to approve the Alternative Compliance Application for Tree Preservation for the CoServ Addition on 7.45 acres located at 7701 S I-35E. Council Member Pickens seconded the motion.

AYES: Burke, Garber, Holzwarth, Henderson, Pickens
NOES: None
ABSENT: None

MOTION CARRIED

COUNCIL COMMENTS & FUTURE AGENDA ITEMS

The purpose of this section is to allow each Council Member the opportunity to provide general updates and/or comments to fellow Council Members, the public, and/or staff on any issues or future events. Also, in accordance with Section 30.085 of the Code of Ordinances, at this time, any Council Member may direct that an item be added as a business item to any future agenda.

Mayor Pro Tem Burke thanked City Manager Hart and Mayor Heidemann for their efforts during the winter storm.

Council Member Garber thanked the City Manager Hart for the relationships he has built with Denton County Judge Eads and State Representative Stuckey. He also thanked the staff for their effort during the winter storm.

Council Member Holzwarth agreed with the previous comments and is appreciative to be a part of a great team.

Council Member Henderson also agreed with the previous comments and a special thank you to the Public Works Department.

Council Member Pickens also agreed with the previous comments.

City Manager Hart updated the City Council, at the beginning of the meeting, of the 270 residents without electricity, 263 residents have been restored. The EOC will be active through Saturday.

Mayor Heidemann thanked the staff. He discussed the cohesion withing the organization and the comradery amongst the team. He also shared his appreciation for Denton Mayor Hudspeth, Bill Utter Ford, and CoServ for their support during the winter event.

There was no closed session during the regular session.

CLOSED SESSION

The City Council will convene in closed session to consider any matters regarding matters pursuant to Chapter 551 of the Texas Government Code.

Section 551.071. (1) Private consultation with its attorney to seek advice about pending or contemplated litigation; and/or settlement offer; and/or (2) a matter in which the duty of the attorney to the government body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the Texas Open Meetings Act.

Section 551.072. To deliberate the purchase, exchange, lease or value of real property if deliberation in an open meeting would have a detrimental effect on the position of the governmental body in negotiations with a third person.

- a. **Right-of-way consisting of 1.56 acres located at 6881 South I-35E and along Dobbs Road within the H. Garrison Survey, Abstract No. 507, within the City of Corinth, Denton County, Texas. (M/B)**
- b. **Right-of-way consisting of .198 acres located at 6801 S I-35E and 3404 Dobbs Road along Dobbs Road within the H. Garrison Survey, Abstract No. 507, within the City of Corinth, Denton County, Texas. (F)**

- c. **Being approximately 7 acres of land, more or less, located in the J.P. Walton Survey, Abstract No. 1389, City of Corinth, Denton County, Texas (H).**
- d. **Being approximately 13 acres of land, more or less, in the North Central Texas College Addition No. 2, Block A, Lot 1R (N).**

Section 551.074. To deliberate the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee; or to hear a complaint or charge against an officer or employee.

Section 551.087. To deliberate or discuss regarding commercial or financial information that the governmental body has received from a business prospect that the governmental body seeks to have locate, stay, or expand in or near the territory of the governmental body and with which the governmental body is conducting economic development negotiations; or to deliberate the offer of a financial or other incentive to a business prospect.

a. Project Agora

After discussion of any matters in closed session, any final action or vote taken will be in public by the City Council. City Council shall have the right at any time to seek legal advice in Closed Session from its Attorney on any agenda item, whether posted for Closed Session or not.

RECONVENE IN OPEN SESSION TO TAKE ACTION, IF NECESSARY, ON CLOSED SESSION ITEMS.

ADJOURN:

Mayor Heidemann adjourned the meeting at 8:32 P.M.

AYES: All

Meeting adjourned.

Approved by Council on the _____ day of _____ 2021.

Lana Wylie, City Secretary
City of Corinth, Texas

**CITY OF CORINTH
Staff Report**

Meeting Date:	4/15/2020	Title: March 2, 2021 Joint Session Minutes
Strategic Goals:	<input checked="" type="checkbox"/> Citizen Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development	
Governance Focus:	<i>Sub-Ends:</i> <input type="checkbox"/> Growing Community <input type="checkbox"/> Conveniently located <input checked="" type="checkbox"/> Delivers Outstanding Service <input type="checkbox"/> High-Quality Retail <input type="checkbox"/> High-Quality Restaurants <input type="checkbox"/> High-Quality Entertainment	
	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Customer <input type="checkbox"/> Stakeholder	
	<i>Decision:</i> <input checked="" type="checkbox"/> Governance Policy <input type="checkbox"/> Ministerial Function	
Owner Support:	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission <u>N/A</u>	

Item/Caption

Consider and act on minutes from the March 2, 2021, joint workshop session.

Item Summary/Background/Prior Action

Attached are the minutes from the March 2, 2021, joint workshop session. The minutes are in draft form and are not considered official until formally approved by the City Council.

Staff Recommendation/Motion

Staff recommends approval of the minutes.

**STATE OF TEXAS
COUNTY OF DENTON
CITY OF CORINTH**

On this, the 2nd day of March 2021, the City Council of the City of Corinth, Texas, met in a Joint Session with Corinth Economic Development Corporation, Planning & Zoning Commission, and the Parks & Recreation Board at the Corinth City Hall at 6:00 P.M., located at 3300 Corinth Parkway, Corinth, Texas. The meeting date, time, place, and purpose as required by Title 5, Subtitle A, Chapter 551, Subchapter C, Section 551.041, Government Code, with the following members to wit:

Council Members Present:

- Bill Heidemann, Mayor
- Steve Holzwarth, Council Member
- Tina Henderson, Council Member
- Kelly Pickens, Council Member

Staff Members Present:

- Bob Hart, City Manager
- Patricia Adams, Messer – Fort – McDonald
- Jason Alexander, Economic Development Corporation Director
- Helen-Eve Beadle, Planning & Development Director
- Lee Ann Bunselmeyer, Finance, Communications & Strategic Services Director
- Glenn Banker, Public Works Director
- Melissa Dolan, Parks, Recreation & Strategic Asset Manager

CALL TO ORDER:

Mayor Heidemann called the meeting to order at 6:00 P.M.

MEETING AGENDA:

1. **Receive a presentation from TBG Partners and hold a discussion on the design and construction plans for a signature community gathering space in Agora.**

City Manager Hart provided an overview of the project with the attendees. Ann Podeswa, TBG Partners, introduced the process to be followed in the design of the park – The Commons at Agora. The process will include site visits, alternative scenarios for park design, and a community survey.

ADJOURN MEETING

ADJOURN:

Mayor Heidemann adjourned the workshop session at 7:43 P.M.

AYES:

Meeting adjourned.

Approved by Council on the _____ day of _____ 2021.

Lana Wylie, City Secretary
City of Corinth, Texas

CITY OF CORINTH
Staff Report

Meeting Date:	4/15/2021	Title: Municipal Judge Appointment
Strategic Goals:	<input checked="" type="checkbox"/> Citizen Engagement <input type="checkbox"/> Proactive Government <input checked="" type="checkbox"/> Organizational Development	
Governance Focus:	<i>Sub-Ends:</i>	
	<input type="checkbox"/> Growing Community <input type="checkbox"/> Conveniently located <input checked="" type="checkbox"/> Delivers Outstanding Service <input type="checkbox"/> High-Quality Retail <input type="checkbox"/> High-Quality Restaurants <input type="checkbox"/> High-Quality Entertainment	
	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Customer <input type="checkbox"/> Stakeholder	
	<i>Decision:</i> <input type="checkbox"/> Governance Policy <input checked="" type="checkbox"/> Ministerial Function	
Owner Support:	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission n/a	

Item/Caption

Consider and act on the contract appointing Gilland Chenault as Presiding Municipal Judge for the City of Corinth Municipal Court of Record.

Item Summary/Background/Prior Action

The appointment for Council consideration is for a term beginning June 1, 2021 through May 31, 2023. Gilland Chenault was first appointed as Associate Judge for the City of Corinth in August 2012. He was also appointed as Interim Municipal Judge for the City of Corinth Municipal Court of Record on August 1, 2020.

Financial Impact

The Municipal Judge contract is budgeted in the Municipal Court divisional budget. The estimated annual expenditure is \$43,000.

Applicable Owner/Stakeholder Policy

Chapter 30 of the Government Code requires that a Municipal Judge presiding over a Municipal Court of Record must be a resident of Texas, be a citizen of the United States, be a licensed attorney in good standing and have two or more years of experience in the practice of law in Texas. Additionally, the City Charter requires the judge and all associate judges be appointed by the Council for terms of two (2) years

Staff Recommendation/Motion

Staff recommends appointing Gilland Chenault as the Municipal Judge for the term beginning June 1, 2021 through May 31, 2023.

**CONTRACT FOR SERVICES
FOR PRESIDING MUNICIPAL COURT JUDGE**

THIS CONTRACT is made and entered into this ___ day of _____, 2021, by and between the **CITY OF CORINTH**, Texas, a Municipal Corporation of the State of Texas, hereinafter referred to as "**City**", and **GILLAND CHENAULT**, hereinafter referred to as "Presiding Judge" or "Judge".

1. APPOINTMENT OF PRESIDING JUDGE

- a. The **CITY** does hereby appoint and contract for the services of **GILLAND CHENAULT** (hereinafter referred to as "Presiding Judge" or "Judge") to service as the presiding municipal judge and magistrate for and under the laws of the State of Texas, for a term of two years, beginning on the ___ day of _____, 2021, and continuing through midnight, _____, 2023, with all powers, rights and duties of said appointment and as provided by the City Charter.
- b. The Judge shall comply with all requirements of law and must performs all duties as required by law and comply with all the terms of this contract, and conditions and restrictions as set forth for municipal judges under all applicable state statutes and as required under the Texas Code of Judicial Conduct.
- c. The Judge shall devote such time as necessary to perform the services set forth herein.
- d. The Judge may terminate this Contract by providing written notice of resignation not less than 60 days prior to date of termination.

2. COMPENSATION OF JUDGE – the City shall compensate the Judge as follows:

- a. As compensation for the Judge’s services, the City agrees to pay to the Judge according to this section.
- b. The City will pay the Judge a monthly stipend of One Thousand Dollars (\$1,000.00) for the following designated duties:
 - i. Creating/maintaining the Judge’s Schedule for all Judges, including interaction and coordination with other Assistant Judges.
 - ii. Interaction with Court personnel via email or telephone.
 - iii. Remote electronic signing of documents.
 - iv. Developing policies and updating Standing Orders.
 - v. Legal research.
 - vi. Drafting, revising, and updating Court forms.
 - vii. Providing information necessary for the Court Clerk to complete the monthly Office of Court Administration report.

c. The Judge shall receive a flat rate per duty performed according to the following schedule:

i. Court: \$800 for full court day (morning & afternoon dockets)

\$400 for half court day (morning or afternoon docket only)

*If docket is cancelled on day of court, the fee will be paid; however, at City's request, Judge shall perform other services as identified in subsection 2(b), above, during the time of the cancelled docket, without additional charges.

*If docket is cancelled before court day, no fee will be paid.

ii. All other services: \$100 per hour, with each duty being a minimum of one hour and any additional time for such duty which exceeds the first hour of time, will be billed in increments of one-half hour; including travel time to the Corinth Municipal Court to sign documents on non-court days, reviewing and executing Corinth Police Department documents, including, but not limited to, probable cause affidavits, arrest/search warrants, subpoenas, summons, blood search warrants, testimony in court relating to duties as a Corinth Judge or Magistrate.

iii. Judge/Court/Staff Meetings: \$100 per meeting; attendance may include court staff, court administrator, or other invited City representatives, depending on issues to be discussed. Judge's meetings may be scheduled as needed and at the discretion of the Presiding Judge, Judge or the City, but it is anticipated that such meetings shall be held on a quarterly basis.

- d. The Judge shall send an invoice to the City's Accounts Payable office by mail to 3300 Corinth Parkway, Corinth, TX 76208 or by email to accountspayable@cityofcorinth.com once per month not later than the fifth day of each month. The invoice shall indicate each date that the Judge performed a service outlined in Section 2b, above, a description of the service performed, and the applicable flat rate. The invoice shall also provide a total invoiced amount for the month.
- e. The City shall pay the Judge once per month within 30 days from the date of the invoice is received by the City unless the invoice is disputed in good faith by the City, in which instance the City may withhold the amount(s) of the disputed charges until such dispute is settled.
- f. The Judge must attend and complete any mandatory judicial education or other minimum judicial training as required by the State of Texas within the time periods as established by law. The City shall pay, or reimburse Judge for any mandatory judicial education and training, including specifically, all registration fees for such course, travel expenses, including flight, lodging and meal expenses on a pro rata basis based on the number of cities in which the Judge serves. By way of example, if the Judge is a municipal judge or alternate judge in three municipalities (including Corinth), City shall pay for 1/3 of the above referenced expenses.
- g. The Judge must maintain membership and licensure with the State Bar of Texas and pay all membership fees or dues on an annual basis as required by such membership or licensure. The

Judge herein represents that such membership is in good standing and that all fees and mandatory continuing education requirements have been met at the time of this appointment and shall be maintained during the term of this Contract.

- h. During the duration of this Contract, the Judge shall comply with all provisions of the Code of Judicial Conduct, the Corinth City Charter, Chapter 30 of the Texas Government Code, and all other applicable laws pertaining to the operations of the Corinth Municipal Court of Record, and duties as a Magistrate. In the event of a conflict between the terms of this Contract and said Code, Charter, Statutes and laws, the terms of said Code, Charter, Statutes and laws shall govern.
- i. The Judge shall operate within the docket schedule prepared and coordinated by the Judge and Court Administrator. The Judge shall timely perform all duties, including but not limited to, the dockets set forth in the docket schedule. No minimum amount of duties are guaranteed to the judge during the duration of this Contract.
- j. The Judge shall establish, where deemed appropriate by the Judge, "Standing Orders" which address the daily administration of the municipal court and trial procedures, for matters including but not limited to dismissals, installment payments, deferred disposition, and continuances. The City will provide the necessary Court Personnel to the Judge for clerical assistance. Any changes to the "Standing Orders" must be in writing and signed by the Judge prior to incorporation.

3. OUTSIDE LEGAL PRACTICE/JUDICIAL DUTIES; INDEPENDENT CONTRACTOR

- a. The City herein acknowledges that the Judge may maintain a private law practice and may perform outside legal services. The Judge shall not take on representation of a client if such representation would conflict with the Texas Code of Judicial Ethics or the Texas Rules of Professional Conduct. The Judge shall not take on representation of a client adverse to the City of Corinth.
- b. The City further acknowledges that the Judge may perform judicial or magisterial functions as a judge or magistrate for another city, county, or state agency, so long as the performance of such duties do not conflict with the duties of the office of municipal judge for the City of Corinth. The City therefore finds that the performance of such duties or holding of any other such office is of benefit to the state of Texas and there is no conflict with the duties of this office.
- c. The City may remove the Judge from office during the Judge's term of office pursuant to and in accordance with the requirements of §30.000085 of the Texas Government Code, or its successor, as same may hereafter be amended; or in the event the City's Charter is amended, in accordance with the provisions of the City Charter as amended.
- d. The Judge shall be considered an independent contractor, not an employee of the City.
- e. The Judge shall not represent a client in a case where an employee of the City, in his capacity as an employee of the City, is a witness or may be summoned to appear as a witness.

4. DUTIES TO ASSISTANT (ASSOCIATE) JUDGES

- a. The Presiding Judge shall be the liaison between the Judge(s) and/or any City departmental staff. The Presiding Judge shall provide general supervision and guidance for Assistant (Associate) Judge.
- b. The Assistant (Associate) Judge shall perform duties assigned to the Assistant (Associate) Judges, from time to time, by the Presiding Judge in his sole discretion.

5. INTEGRATION

This Contract represents the entire and integrated Contract between the City and the Judge, and supersedes all prior negotiations and representations and/or contracts either written or oral. This



Contract may be amended only be written instrument signed by both the City and the Judge. The Judge further states that the Judge has carefully read the foregoing Contract, and understands the contents thereof, and signs the same as the Judge's own free act.

IN WITNESS WHEREOF, City has caused this Contract to be signed in its name by the City of Corinth Mayor, and its corporate seal to be hereunto affixed and attested by its City Secretary, and the Judge has hereunto set his hand and seal the day and year first above written.

PRESIDING JUDGE:



GILLAND CHENAULT

CITY OF CORINTH, TEXAS

BILL HEIDEMANN, MAYOR

ATTEST:

LANA WYLIE, CITY SECRETARY

APPROVED AS TO FORM:

PATRICIA A. ADAMS, CITY ATTORNEY



CITY OF CORINTH
Staff Report

Meeting Date:	4/15/2021	Title:	Budget Amendment Land Purchase
Strategic Goals:	<input checked="" type="checkbox"/> Citizen Engagement <input type="checkbox"/> Proactive Government <input checked="" type="checkbox"/> Organizational Development		
Governance Focus:	<i>Sub-Ends:</i> <input checked="" type="checkbox"/> Growing Community <input type="checkbox"/> Conveniently located <input type="checkbox"/> Delivers Outstanding Service <input type="checkbox"/> High-Quality Retail <input type="checkbox"/> High-Quality Restaurants <input type="checkbox"/> High-Quality Entertainment		
	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Customer <input type="checkbox"/> Stakeholder		
	<i>Decision:</i> <input type="checkbox"/> Governance Policy <input checked="" type="checkbox"/> Ministerial Function		
Owner Support:	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission n/a		

Item/Caption

Consider and act on an Ordinance of the City of Corinth amending Ordinance No. 20-09-24-31 adopting the fiscal year 2020-2021 City of Corinth Budget and Annual Program of Services to establish the Economic Development Foundation Fund to appropriate and transfer monies from the General Fund to the Economic Development Foundation in order to provide for the funding of the purchase of land and related closing costs; and providing an effective date.

Item Summary/Background/Prior Action

The budget and annual program of services was adopted on September 24, 2020 by the City Council. The budget did not include funding for the transfer of monies from the General Fund to the Economic Development Foundation. The budget amendment for council consideration is to transfer \$3,200,000 from the unencumbered General Fund Balance to the Economic Development Foundation Fund for the purchase of land and related closing costs.

Financial Impact

The budget amendment is for \$3,200,000 and will be funded by unencumbered reserves in the General Fund. As of September 2020 the General Fund had an excess of \$2,691,486 over the 20% fund balance policy target.

Applicable Owner/Stakeholder Policy

Section 9.05 Supplemental Appropriations of the City Charter allows that “if during the fiscal year the City Manager certifies that there are revenues available in excess of those estimated in the budget or funds otherwise available in unencumbered reserves, the Council by ordinance may make supplemental appropriations for the year up to the amount of these available funds.”

Staff Recommendation/Motion

Staff recommends approval of the Ordinance establishing the Economic Development Foundation Fund and amending the fiscal year 2020-2021 budget and annual program of services for the purchase of land and related closing costs.

**CITY OF CORINTH, TEXAS
ORDINANCE NO. 21-04-15-13**

AN ORDINANCE OF THE CITY OF CORINTH, TEXAS AMENDING ORDINANCE NO. 20-09-24-31 ADOPTING THE FISCAL YEAR 2020-2021 CITY OF CORINTH BUDGET AND ANNUAL PROGRAM OF SERVICES TO ESTABLISH THE ECONOMIC DEVELOPMENT FOUNDATION FUND TO APPROPRIATE AND TRANSFER MONIES FROM THE GENERAL FUND TO THE ECONOMIC DEVELOPMENT FOUNDATION (“CEDF”) IN ORDER TO PROVIDE FOR THE FUNDING OF THE PURCHASE OF LAND BY THE CEDF AND RELATED CLOSING COSTS; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Corinth is a home-rule municipality acting under its charter adopted by the electorate pursuant to Article XI, Section 5 of the Texas Constitution and Chapter 9 of the local Government Code; and

WHEREAS, the City Council adopted a budget and appropriated resources for the budget year beginning October 1, 2020, and ending September 30, 2021 by Ordinance No. 20-09-24-31; and

WHEREAS, the City Council adopted Resolution No. 20-06-04-03 establishing the Corinth Economic Development Foundation (“CEDF”) for purposes of community and economic development for the benefit of the City in accordance with the Certification of Formation for the Foundation; and

WHEREAS, City Council has determined that it is necessary and appropriate to establish an Economic Development Foundation Fund for use by the Corinth Economic Development Foundation and to appropriate funds for the purpose of promoting and enhancing the economic and business community in the City of Corinth; and

WHEREAS, the City Council has determined it necessary to transfer \$3,200,000 from the General Fund to the newly established Economic Development Foundation Fund for use by the CEDF in the furtherance of community and economic development within the City; and

WHEREAS, the current adopted budget for fiscal year 2020-2021 does not have adequate funding to pay \$3,200,000 for the purchase of land and related closing costs within the Transit Oriented Development; and

WHEREAS, the City Council deems it appropriate and necessary to amend the budget to reflect expenditures to pay an additional \$3,200,000 for the purchase of land and related closing costs;

WHEREAS, the Council finds that this budget amendment is consistent with § 9.05 of the City Charter and the proposed change in the budget is for a municipal purpose;

NOW THEREFORE, THE CITY COUNCIL OF THE CITY OF CORINTH HEREBY ORDAINS:

SECTION I

The findings set forth in the above preamble to this Ordinance are true and correct and are incorporated herein in their entirety.

SECTION II
AMENDMENT

2.01 Ordinance No. 20-09-24-31 adopting the budget for the fiscal year of the City of Corinth beginning October 1, 2020, and ending September 30, 2021, shall be amended as follows:

2.01.01 Fund Established. The Economic Development Foundation Fund is hereby established to allow for the appropriation of funds for use by the Corinth Economic Development Foundation for the purposes of community and economic development in accordance with state law and the CEDF Certificate of Formation approved as part of Resolution No. 20-06-04-03.

2.01.02. Funds Appropriated. An appropriation of funds in the amount of \$3,200,000.00 from the Unencumbered Fund Balance in the General Fund to the General Fund, City Administration and then the transfer of funds in the amount of \$3,200,000.00 from the General Fund, City Administration to the Economic Development Foundation Fund is hereby approved.

The Fiscal Year 2020-2021 Budget for the City of Corinth is hereby amended as set forth in this Section II.

SECTION III

The City of Corinth Budget and Annual Program of Services is hereby amended to increase the General Fund, City Administration Expenditures by **\$3,200,000** to be transferred to the Economic Development Foundation Fund for the purchase of land and associated closing costs within the Transit Oriented Development. Further, the City Council affirms its approval of the expenditure of funds for the aforementioned purposes.

SECTION IV

The City Secretary is hereby directed to attach a copy of this Ordinance to Ordinance No. 20-09-24-31.

SECTION V

Pursuant to Section 102.009(d) of the Texas Local Government Code, the municipal budget officer is directed to file a true copy of this amendment with the Denton County Clerk. If the mayor objects to this ordinance, it shall be adopted by a majority of the entire City Council.

SECTION VI

This Ordinance shall be in full force and effect after its passage, and it is so ordained.

PASSED AND APPROVED ON THIS THE 15th DAY OF APRIL 2021.

SEAL

Bill Heidemann, Mayor

ATTEST:

Lana Wylie, City Secretary

APPROVED AS TO FORM AND LEGALITY:

Patricia Adams, City Attorney

CITY OF CORINTH
Staff Report

Meeting Date:	4/15/2021	Title:	Reimbursement Agreement Between the City and Corinth Economic Development Foundation
Strategic Goals:	<input type="checkbox"/> Citizen Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development		
Governance Focus:	<i>Sub-Ends:</i> <input checked="" type="checkbox"/> Growing Community <input checked="" type="checkbox"/> Conveniently located <input checked="" type="checkbox"/> Delivers Outstanding Service <input checked="" type="checkbox"/> High-Quality Retail <input checked="" type="checkbox"/> High-Quality Restaurants <input checked="" type="checkbox"/> High-Quality Entertainment		
	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Customer <input type="checkbox"/> Stakeholder		
	<i>Decision:</i> <input type="checkbox"/> Governance Policy <input checked="" type="checkbox"/> Ministerial Function		
Owner Support:	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission <u>N/A.</u>		

Item/Caption

Consider and act on a Reimbursement Agreement between the City and Corinth Economic Development Foundation.

Item Summary/Background/Prior Action

On June 4, 2020, the City Council approved Resolution No. 20-06-04-13 establishing the Corinth Economic Development Foundation (the “CEDF”). The purposes for creating the CEDF, among other things, is to advance the City’s economic development interests by facilitating the sale and purchase of properties within the emerging downtown district, Agora. The CEDF has received funds from the City to acquire title to property from North Central Texas College (“NCTC”). The CEDF agrees, pursuant to the terms of the Reimbursement Agreement, to return all proceeds from the future sale of said property to the City.

Financial Impact

The General Fund will receive the proceeds from the future sale of the property.

Applicable Owner/Stakeholder Policy

Resolution No. 20-06-04-13.
 Reimbursement Agreement.

Staff Recommendation/Motion

Staff recommends approval as presented.

REAL ESTATE SALES CONTRACT

STATE OF TEXAS

COUNTY OF DENTON

THIS REAL ESTATE SALES CONTRACT, (this “**Contract**”), is made by and between the Corinth Economic Development Foundation, a Texas nonprofit corporation, (“**Seller**”), and the City of Corinth, Texas, a home-rule municipality, (“**Purchaser**”), upon the terms and conditions set forth herein. Seller and Purchaser may also be referred to individually or collectively as “**Party**” or “**Parties**”.

WHEREAS, Seller is the owner of two (2) tracts of land located in the J.P Walton Survey, Abstract No. 1389, City of Corinth, Denton County, State of Texas, and more specifically identified herein in **Exhibits A and B**, attached hereto, (the “**Real Property**”), and the rights and appurtenances pertaining to such real property, including any right, title and interest of Seller in and to adjacent streets, alleys or rights-of-way, and, to the extent they are assignable and relate to the ownership or operation of the Real Property, any improvements, fixtures, and personal property situated on and attached to the Real Property, collectively referred to as the “**Properties**”; and

WHEREAS, Purchaser desires to purchase the Properties by means of special warranty deeds pursuant to this Contract executed by and between the Corinth Economic Development Foundation as Seller and the City of Corinth as Purchaser; and

WHEREAS, the Parties have determined it necessary and mutually beneficial to enter into this Contract; and

WHEREAS, the Parties understand and agree that the sale and purchase of the Properties identified herein is subject to compliance with the terms and conditions of this Contract; and

NOW, THEREFORE, for and in consideration of the foregoing and the mutual promises, covenants, obligations and benefits set forth herein, the Seller and Purchaser, covenant and agree to the following terms and conditions:

**ARTICLE I
GENERAL TERMS**

Incorporation of Premises/Terms Complimentary

1.01. The foregoing recitals are incorporated into this Contract as if set forth fully herein and shall constitute terms binding the Parties to this Agreement. The terms of this Contract govern the sale and purchase of the Properties.

Conveyance of Properties

1.02. Subject to the terms and conditions hereinafter set forth, Seller hereby sells and agrees to convey to Purchaser by a Special Warranty Deed, the form of which shall be substantially in conformance with **Exhibits C and D**, receptively, attached hereto and incorporated herein, (the “**Deeds**”), and Purchaser hereby purchases and agrees to pay Seller for Seller’s right, title and interest in and to those certain Properties, being an 7.075-acre tract of land in the J.P. Walton Survey, Abstract No. 1389 located within the City of Corinth, Denton County, Texas, and an 6.663-acre tract of land the J.P. Walton Survey, Abstract No. 1389 located within the City of Corinth, Denton County, Texas, being more particularly described in **Exhibits A and B**, and any improvements located thereon.

Seller also sells and agrees to convey to Purchaser, and Purchaser hereby agrees to pay Seller for, all of Seller’s right, title, and interest, all and singular, the rights and appurtenances pertaining to the Real Property, including any right, title and interest of Seller in and to adjacent streets, alleys or rights-of-way, and, to the extent they are assignable and relate to the ownership or operation of the Real Property, any improvements, fixtures, and personal property situated on and attached to the Real Property.

The Properties will be conveyed to Purchaser at the closing free and clear of all liens, claims, easements, right-of-way, restrictions, and encroachments except those encumbrances that are provided by this Contract, are not objected to, or are objected to and not cured and that are subsequently waived pursuant to the Contract, (the “**Permitted Exceptions**”).

**ARTICLE II
CONSIDERATION FOR PURCHASE; REVERSION**

2.01 The Purchaser shall pay the Seller an amount not to exceed ten dollars (\$10.00) and other good and valuable consideration to be paid at the time of Closing.

It is the intent of the Parties that the Purchase Price to be paid by Purchaser shall also include all revenues derived from Purchaser’s use of the Properties, in any capacity, including revenues from Purchaser’s sale or lease of the Properties, or any component or portion of the Properties, (herein called the “**Purchase Price**”). Subsequent to closing and upon sale, lease, or other revenue generating use of the Properties by Purchaser, one hundred percent (100%) of the proceeds from the sale, lease of other revenue generating use of the Properties must be delivered to Seller within thirty (30) days of receipt of such revenue by Purchaser.

Conveyance by Seller includes land and all improvements thereon, exclusive rights to oil, gas, or other minerals, water, timber, and water rights. The intent is that Purchaser will receive fee simple title to the Properties.

**ARTICLE III
PURCHASER'S OBLIGATIONS**

Conditions to Purchaser's Obligations

3.01. The obligation of Purchaser hereunder to consummate the transaction contemplated hereby is subject to the satisfaction of each of the following conditions (any of which may be waived in whole or in part by Purchaser at or prior to the closing).

Preliminary Title Commitment

3.02. Within thirty (30) days after the Effective Date of this Contract, Seller, at Seller's sole cost and expense, shall have caused Title Resources Title Company, 525 South Loop 288, Suite 125, Denton, Texas 76205, Attn: Keith Pierce, Escrow Officer (the "**Title Company**") to issue a preliminary title commitment (the "**Title Commitments**"), for each property, accompanied by true, correct and legible copies of all recorded documents relating to easements, rights-of-way, and any instruments referred to in the Title Commitment as constituting exceptions or restrictions upon the title of Seller (the "**Title Documents**").

Surveys

3.03. Within ten (10) days after the Effective Date of this Contract, Seller shall deliver to Purchaser and the Title Company a copy of Seller's existing surveys of the Real Property ("**Surveys**"). In the event that a Survey is five (5) or more years old, Seller shall provide an updated survey to Purchaser within thirty (30) days of the Effective Date of this Contract at Seller's sole cost and expense.

Review Period

3.04. Purchaser shall have thirty (30) days (the "**Review Period**") after Purchaser's receipt of the later of the Surveys, Title Commitments and Title Documents to review same and to deliver in writing to Seller such objections as Purchaser may have to anything contained in them (the "**Objection Notice**"). In the event Purchaser states that any of the Surveys, Title Commitments, Title Documents or any item therein contained, is not satisfactory, Purchaser may either: (a) terminate this Contract without further obligation; or (b) conditionally accept title subject to Seller's removal of any matters contained in such Objection Notice within fifteen (15) days from receipt of such Objection Notice (the "**Title Cure Period**"), in which case Seller may elect, at its sole option, to use commercially reasonable efforts to remove or insure over such objectionable matters, but shall have no duty or obligation to remove or insure over any of such objectionable matters, other than monetary liens and matters listed on Schedule C of the Title Commitment, which Seller shall be obligated to pay, cure or remove by Closing. If Seller cannot remove or insure over such matters before the expiration of the Title Cure Period, or if Seller elects not to remove or insure over any of Purchaser's objections, then at Purchaser's election within ten (10) days following the expiration of the Title Cure Period, Purchaser may terminate this Contract without further obligation, unless such time period is extended by written agreement of the Parties.

Feasibility Period

3.05. Purchaser shall have thirty (30) days from the Effective Date of this Contract, within which to inspect the Properties and determine if the same is suitable for Purchaser's intended use (the "**Feasibility Period**"). In the event Purchaser notifies Seller in writing on or before 5:00 p.m. on the last day of the Feasibility Period that Purchaser disapproves or is dissatisfied in any way with the Properties, such determination to be made in Purchaser's sole and absolute discretion, then this Contract shall terminate and the non-refundable option money in the sum of \$100.00 shall be retained by Seller, the "Option Fee". In the event Purchaser fails to so notify Seller in writing prior to the expiration of the Feasibility Period of Purchaser's election to terminate this Contract, this Contract shall continue in full force and effect. **Seller hereby grants to Purchaser during the Feasibility Period the right to enter upon the Properties and conduct such tests as Purchaser deems necessary; provided that Purchaser, to the extent permitted by law, shall indemnify, defend and hold harmless Seller from all claims, actions or causes of action which might occur by virtue of Purchaser's entry upon or testing of the Properties and provided further that Purchaser shall be responsible for all damages occasioned to the Properties arising out of Purchaser's entry upon or testing of the Properties. These obligations will survive the Closing or the cancelation or termination of this Contract.** Notwithstanding the delivery to Purchaser or its agents by Seller or any of its agents of any of the above described studies and tests, if any, Purchaser acknowledges that any information of any type which Purchaser has received or may receive from Seller, or its agents, is furnished to Purchaser as a courtesy only and on the express condition that Purchaser shall make an independent verification of the accuracy of such information, all such information is being furnished without any representation or warranty by Seller as to the truth, accuracy, or completeness of such information.

Conditions to Seller's Obligations

3.06. Seller's obligation to close this transaction is subject to the satisfaction, in Seller's reasonable discretion, or waiver by Seller in writing, of the following conditions on and as of Closing:

- (a) Purchaser's representations and warranties set forth in this Contract are true, complete and correct, in all material respects; and
- (b) Purchaser has fully performed all of its obligations to be performed by Purchaser, in all material respects, as they come due under the Contract.

If any of the foregoing conditions have not been satisfied or otherwise waived by Seller in writing, on or before the Closing, Seller may, in addition to any right or remedy otherwise available to Seller, by written notice to Purchaser and the Title Company, cancel this Contract.

**ARTICLE IV
CLOSING**

4.01. The Closing shall be at the offices of the Title Company within thirty (30) days following the end of the Feasibility Period (the “**Closing Date**”).

4.02. At the Closing Seller shall:

- (a) Deliver to Purchaser a duly executed and acknowledged Deeds, conveying fee simple determinable title to all of the Properties, free and clear of any and all liens, encumbrances, conditions, easements, assessments, and restrictions, except for the following:
 - (1) General real estate taxes for the year of Closing and subsequent years not yet due and payable;
 - (2) The Permitted Exceptions; and
 - (3) Any other exceptions approved by Purchaser pursuant to this Contract or in writing.
- (b) Deliver to Purchaser, at Seller’s sole cost and expense, a Texas Owner’s Title Policies issued by the Title Company, in Purchaser’s favor in the full amount of the Purchase Price, insuring Purchaser’s fee simple determinable title to the Properties, subject only to those title exceptions listed in this Contract, such other exceptions as may be approved in writing by Purchaser, this Contract, and the standard printed exceptions contained in the usual form of Texas Owner’s Title Policy containing a survey exception deletion, except as to shortages in area (such survey exception deletion to be at Purchaser’s expense).
- (c) Deliver to Purchaser an affidavit, signed and acknowledged by Seller under penalties of perjury, certifying that Seller is not a nonresident alien, foreign corporation, foreign partnership, foreign trust, foreign estate, or other foreign person within the meaning of Sections 1445 and 7701 of the Internal Revenue Code of 1986, as amended, and the associated Treasury regulations.
- (d) Deliver to Purchaser and/or the Title Company such other documents as may be reasonably necessary or appropriate to transfer and convey the Properties to Purchaser and to otherwise consummate this transaction in accordance with the terms of this Contract.
- (e) Deliver to Purchaser possession of the Properties in accordance with the terms of this Contract.

4.03. At the Closing, Purchaser shall:

- (a) Deliver to Seller and/or the Title Company such documents as may be reasonably necessary or appropriate to consummate this transaction in accordance with the terms of this Contract.

4.04. All state, county, and municipal taxes and assessments, if any, for the then current year relating to the Properties shall be prorated as of the Closing Date and shall be adjusted at the Closing, Seller being charged and credited for the same up to and on such date and Purchaser being charged and credited for the same after such date. If the actual amounts to be prorated are not known at Closing, the prorations shall be computed on the basis of the best evidence then available; when actual figures are available a cash settlement shall be made between Seller and Purchaser.

If Seller and Purchaser are public entities, such parties are therefore exempt from the payment of all state, county, and municipal taxes for the current year relating to the Properties. If there is any rollback tax liability for the Properties, the Purchaser will be responsible for those taxes to the extent allowed by law. As a public entity exempt from such taxes, Seller and Purchaser do not waive any exemption or other exception it, or the Properties, may have from rollback taxes pursuant to Texas Tax Code §23.55(f) or other applicable law. The provisions of this Section shall survive the Closing.

NOTICE REGARDING POSSIBLE LIABILITY FOR ADDITIONAL TAXES

If for the current ad valorem tax year the taxable value of the land that is the subject of this contract is determined by a special appraisal method that allows for appraisal of the land at less than its market value, the person to whom the land is transferred may not be allowed to qualify the land for that special appraisal in a subsequent tax year and the land may then be appraised at its full market value. In addition, the transfer of the land or a subsequent change in the use of the land may result in the imposition of an additional tax plus interest as a penalty for the transfer or the change in the use of the land. The taxable value of the land and the applicable method of appraisal for the current tax year is public information and may be obtained from the tax appraisal district established for the county in which the land is located.

4.05. Each party shall pay any attorney’s and other professional fees incurred by such party. All other costs and expenses of closing the sale and purchase shall be borne and paid as provided in this Contract, or if this Contract is silent, as is typical in similar transactions in Denton County, Texas.

**ARTICLE V
REAL ESTATE COMMISSIONS**

5.01. It is expressly understood and agreed that no broker(s) have been involved in the negotiation or consummation of this Contract. **To the extent permitted by law, Purchaser and Seller hereby agree to indemnify, defend, and hold harmless the other party from any and all claims for any commission(s), brokerage fees or finder’s fees brought by any person asserting a claim against Purchaser or Seller by reason of acts or omission of the indemnitor.**

ARTICLE VI
INTENTIONALLY DELETED

ARTICLE VII
REPRESENTATIONS

7.01. As a material inducement to the Purchaser to execute and perform its obligations under this Contract, the Seller hereby represents and warrants to the Purchaser as of the date of execution of this Contract and through the date of the Closing that the following is true to the current actual knowledge of Seller, with no duty on the part of Seller to investigate the same:

- (a) There are no actions, suits, or proceedings (including condemnation) pending or threatened against the Properties, at law or in equity or before any federal, state, municipal, or other government agency or instrumentality, domestic or foreign, nor is the Seller aware of any facts which to its knowledge might result in any such action, suit, or proceeding. The Seller is not in default with respect to any order or decree of any court of any governmental agency or instrumentality;
- (b) The Seller has good and indefeasible title to all of the Properties, held subject to no lease, mortgage, pledge, lien, charge, security interest, encumbrance, or restriction whatsoever, except as disclosed to Purchaser in the Title Commitment or as otherwise disclosed in writing by Seller to Purchaser, and Seller is duly authorized to sell the Properties; and
- (c) There are no parties in possession of any portion of the Properties except as have been disclosed to Purchaser.

IT IS UNDERSTOOD AND AGREED THAT, EXCEPT FOR THE WARRANTY OF TITLE CONTAINED IN THE DEED AND EXCEPT AS EXPRESSLY SET FORTH IN THIS CONTRACT, (A) THE PROPERTIES ARE SOLD BY SELLER AND PURCHASED AND ACCEPTED BY PURCHASER ON AN "AS IS," "WHERE IS" AND "WITH ALL FAULTS" BASIS, SUBJECT TO ANY CONDITION WHICH MAY EXIST, AND WITHOUT THE EXISTENCE OF AND WITHOUT RELIANCE UPON ANY REPRESENTATION, WARRANTY, AGREEMENT, OR STATEMENT BY SELLER, OR ANYONE ACTING ON BEHALF OF SELLER, INCLUDING, WITHOUT LIMITATION, ANY BROKER, ENGINEER, ARCHITECT, ATTORNEY, SURVEYOR, APPRAISER, OR ENVIRONMENTAL CONSULTANT; (B) PURCHASER HAS OR WILL HAVE, PRIOR TO THE CLOSING, THOROUGHLY INSPECTED AND EXAMINED THE PROPERTIES TO THE EXTENT DEEMED NECESSARY BY PURCHASER IN ORDER TO ENABLE PURCHASER TO EVALUATE THE PURCHASE OF THE PROPERTIES ON THE FOREGOING BASIS; (C) PURCHASER IS RELYING SOLELY UPON SUCH INSPECTIONS, EXAMINATION, AND EVALUATION OF THE PROPERTIES BY PURCHASER IN PURCHASING THE PROPERTIES ON AN "AS IS", "WHERE IS" AND "WITH ALL FAULTS" BASIS, WITHOUT REPRESENTATION, WARRANTY, AGREEMENT OR STATEMENT BY SELLER OR ANYONE ACTING ON BEHALF OF SELLER, EXPRESS OR IMPLIED, OF ANY KIND OR NATURE, OTHER THAN THE

WARRANTY OF TITLE CONTAINED IN THE DEED; AND (D) ONLY TO THE EXTENT ALLOWED BY LAW, PURCHASER HEREBY ASSUMES THE RISK THAT ENVIRONMENTAL CONDITIONS (AS DEFINED HEREIN) MAY EXIST ON THE PROPERTIES AND HEREBY RELEASES SELLER OF AND FROM ANY AND ALL CLAIMS, ACTIONS, DEMANDS, RIGHTS, DAMAGES, COSTS OR EXPENSES (COLLECTIVELY THE "CLAIMS") WHICH MIGHT ARISE OUT OF OR IN CONNECTION WITH THE ENVIRONMENTAL CONDITION OF THE PROPERTIES. AS USED HEREIN, THE TERM "ENVIRONMENTAL CONDITION" SHALL MEAN ANY CONDITION WITH RESPECT TO THE PROPERTIES WHICH COULD OR DOES RESULT IN ANY CLAIM AGAINST THE OWNER OF THE PROPERTIES BY ANY THIRD PARTY (INCLUDING ANY GOVERNMENTAL ENTITY) UNDER (1) THE COMPREHENSIVE ENVIRONMENTAL RESPONSE, COMPENSATION AND LIABILITY ACT, 42 U.S.C. § 9601 ET SEQ., (2) THE RESOURCE CONSERVATION AND RECOVERY ACT, 42 U.S.C. § 6901 ET SEQ., (3) THE FEDERAL WATER POLLUTION CONTROL ACT, 33 U.S.C. § 2601 ET SEQ., (4) THE OIL POLLUTION ACT, 33 U.S.C. § 2701 ET SEQ., (5) THE TOXIC SUBSTANCES CONTROL ACT, 15 U.S.C. § 2601 ET SEQ., (6) THE CLEAN WATER ACT, 33 U.S.C. § 1251 ET SEQ., (7) THE CLEAN AIR ACT, 42 U.S.C. § 7401 ET SEQ., (8) THE HAZARDOUS MATERIALS TRANSPORTATION ACT, 49 U.S.C. § 1801 ET SEQ., (9) THE OCCUPATIONAL SAFETY AND HEALTH ACT, 29 U.S.C. § 651 ET SEQ., (10) THE TEXAS SOLID WASTE DISPOSAL ACT, TEX. HEALTH & SAFETY CODE ANN. §361, ET SEQ., AND/OR (11) SIMILAR STATE AND LOCAL LAWS, NOW OR HEREAFTER EXISTING, ALL AS AMENDED FROM TIME TO TIME, AND ALL REGULATIONS, RULES AND GUIDANCE ISSUED PURSUANT THERETO, INCLUDING, WITHOUT LIMITATION, ANY CONDITION RESULTING FROM OPERATIONS CONDUCTED ON THE PROPERTIES OR ON PROPERTY ADJACENT THERETO. SELLER SHALL NOT HAVE (AND PURCHASER WAIVES) ANY OBLIGATION TO DISCLOSE FACTS REGARDING THE PROPERTIES (INCLUDING, WITHOUT LIMITATION, ANY ENVIRONMENTAL CONDITION AFFECTING THE PROPERTIES), REGARDLESS OF WHETHER SUCH FACTS ARE DISCOVERABLE BY THE PURCHASER. THE PROVISIONS OF THIS PARAGRAPH SHALL SURVIVE THE CLOSING OR ANY TERMINATION HEREOF AND SHALL BE CONTAINED IN THE DEED.

7.02. As a material inducement to the Seller to execute and perform its obligations under this Contract, the Purchaser hereby represents and warrants to the Seller as of the date of execution of this Contract and as of the date of the Closing as follows:

- (a) No consent or approval of any other person or entity is required in order for this Contract to be legal, valid and binding upon Purchaser; and the execution and delivery of this Contract and the consummation of this transaction shall not constitute a violation, breach or default by Purchaser of any term or provision of any other instrument of which Purchaser is a party or to which Purchaser may be subject; and
- (b) To Purchaser's current actual knowledge, there are no actions, suits, or proceedings pending or threatened against the Purchaser, at law or in equity or

before any federal, state, municipal, or other government agency or instrumentality, domestic or foreign, and Purchaser has received no written notice of same. The Purchaser is not the subject of any bankruptcy, reorganization or insolvency proceeding.

7.03. All statements in this Article expressly shall survive the Closing for a period of one (1) year from Closing; **and to the extent allowed by law, the representing Party shall indemnify and hold the other party harmless from any breach of such statements.**

**ARTICLE VIII
BREACH BY SELLER**

8.01. In the event Seller fails to fully and timely perform any of its obligations hereunder or fails to consummate the sale of the Properties for any reason, except Purchaser's default, Purchaser may, as its sole and exclusive remedy, either (i) retain the Option Fee as liquidated damages or (ii) pursue specific performance.

**ARTICLE IX
BREACH BY PURCHASER**

9.01. In the event Purchaser fails to fully and timely perform any of its obligations hereunder or fails to consummate the purchase of the Properties, the conditions to Purchaser's obligations set forth in this Contract having been satisfied, and Purchaser being in default and Seller not being in default hereunder, Seller may, as its sole and exclusive remedy, retain the Option Fee, except for the case of Purchaser's use of the Properties for a purpose other than economic development or other public purposes for the City of Corinth, Texas, in which case the Properties shall automatically revert to Seller.

**ARTICLE X
CONDEMNATION**

10.01. If all or any material portion of the Properties are condemned (or sold and conveyed in lieu of condemnation) after the expiration of the Review Period and prior to the Closing, Purchaser may, at its election, either (a) proceed with the Closing and receive all awards or payments made by the condemning authority to which Seller was or might otherwise have been entitled to as a result of such condemnation, or (b) terminate this Contract, whereupon the Option Fee, will be retained by Seller.

**ARTICLE XI
MISCELLANEOUS**

11.01. The parties agree to the following miscellaneous provisions:

Survival of Covenants

(a) Any of the representations, warranties, covenants and agreements of the parties, as well as any rights and benefits of the parties, shall survive the Closing for a period of one (1) year from Closing and shall not be merged therein.

Notice

(b) All notices required or permitted by the terms hereof shall be given by hand delivery, or by sender-paid Federal Express or other national overnight delivery service, at the following addresses or at such other address as either party hereto shall in writing advise the other:

To Purchaser: City of Corinth
Attn: Bob Hart, City Manager
3300 Corinth Parkway
Corinth, Texas 76208

with copy to: Patricia Adams
6371 Preston Road, Suite #200
Frisco, Texas 75034

To Seller: Corinth Economic Development Foundation
Attention: Jason Alexander
3300 Corinth Parkway
Corinth, Texas 76208

All notices shall be deemed given as of the time of hand delivery or the time such are either faxed or deposited with Federal Express or another national overnight delivery service for transmittal as aforesaid.

Texas Law to Apply

(c) This Contract shall be construed under and in accordance with the laws of the State of Texas, and all obligations of the Parties created hereunder are performable in Denton County, Texas, with any disputes arising hereunder being subject to the exclusive jurisdiction and venue of the state or federal courts in and for Denton County, Texas.

Parties Bound

(d) This Contract shall be binding upon and inure to the benefit of the parties hereto and their respective heirs, executors, administrators, legal representatives, successors and assigns where permitted by this Contract.

Legal Construction

(e) In case any one or more of the provisions contained in this Contract shall for any reason be held to be invalid, illegal, or unenforceable in any respect, such invalidity, illegality, or unenforceability shall not affect any other provision hereof, and this Contract shall be construed as if such invalid, illegal, or unenforceable provision had never been contained herein.

Integration

(f) This Contract constitutes the sole and only agreement of the Parties hereto and supersedes any prior understanding or written or oral agreements between the Parties respecting the within subject matter. This Contract cannot be modified or changed except by the written consent of all of the Parties.

Time of Essence

(g) Time is of the essence of this Contract.

Attorneys' Fees

(h) Any Party to this Contract which is the prevailing party in any legal proceeding against any other Party to this Contract brought under or with relation to this Contract or transaction shall be additionally entitled to recover court costs and reasonable attorneys' fees from the non-prevailing Party.

Gender and Number

(i) Words of any gender used in this Contract shall be held and construed to include any other gender, and words in the singular number shall be held to include the plural, and vice versa, unless the context requires otherwise.

Compliance

(j) In accordance with the requirements of Section 28 of the Texas Real Estate License Act, Purchaser is hereby advised that it should be furnished with or obtain a policy of title insurance.

Effective Date of Contract

(k) The term “Effective Date” or “effective date of this Contract” as used herein shall mean the date the Title Company receives this executed Contract.

Counterparts/Facsimile

(l) This Contract may be executed by original or facsimile signatures in multiple counterparts, each of which shall constitute an original and together constitute one and the same instrument.

Assignment

(n) Other than an assignment of this Contract to an entity owned or controlled by Purchaser, this Contract may not be assigned by Purchaser without the prior written consent of Seller, which consent may be withheld in the sole and absolute discretion of Seller, and any attempted assignment by Purchaser shall be null and void and shall constitute a breach by Purchaser. Under no circumstances shall a permitted assignment by Purchaser become effective until each of the following conditions have been satisfied: (i) Purchaser’s Review Period has expired; (ii) all of Purchaser’s conditions to Closing have been satisfied or waived; and (iii) all assignees shall have assumed in writing, in form satisfactory to Seller, all of Purchaser’s obligations under this Contract. No assignment shall relieve Purchaser from any of its obligations or any liability under this Contract. No permitted assignment by Purchaser shall be effective until Seller has been provided with written notice thereof, nor shall any assignment be effective until the Closing and unless this transaction actually closes.

IRS Reporting at Closing

(o) Title Company agrees to be the designated “reporting person” under 6045(e) of the U.S. Internal Revenue Code with respect to the real estate transaction described in this Contract and to prepare, file and deliver such information, returns and statements as the U.S. Treasury Department may require by regulations or forms in connection therewith, including Form 1099-B.

Further Documentation

(p) Each Party agrees in good faith to execute such further or additional documents as may be reasonably necessary or appropriate to fully carry out the intent and purpose of this Contract.

Executed on the dates set forth at the signatures of the parties hereto.

SELLER:

Corinth Economic Development Foundation, a Texas nonprofit corporation

By: _____

Name: _____

Title: _____

Date of Execution: _____

PURCHASER:

The City of Corinth, a Texas home rule municipality

By: _____

Name: Bob Hart

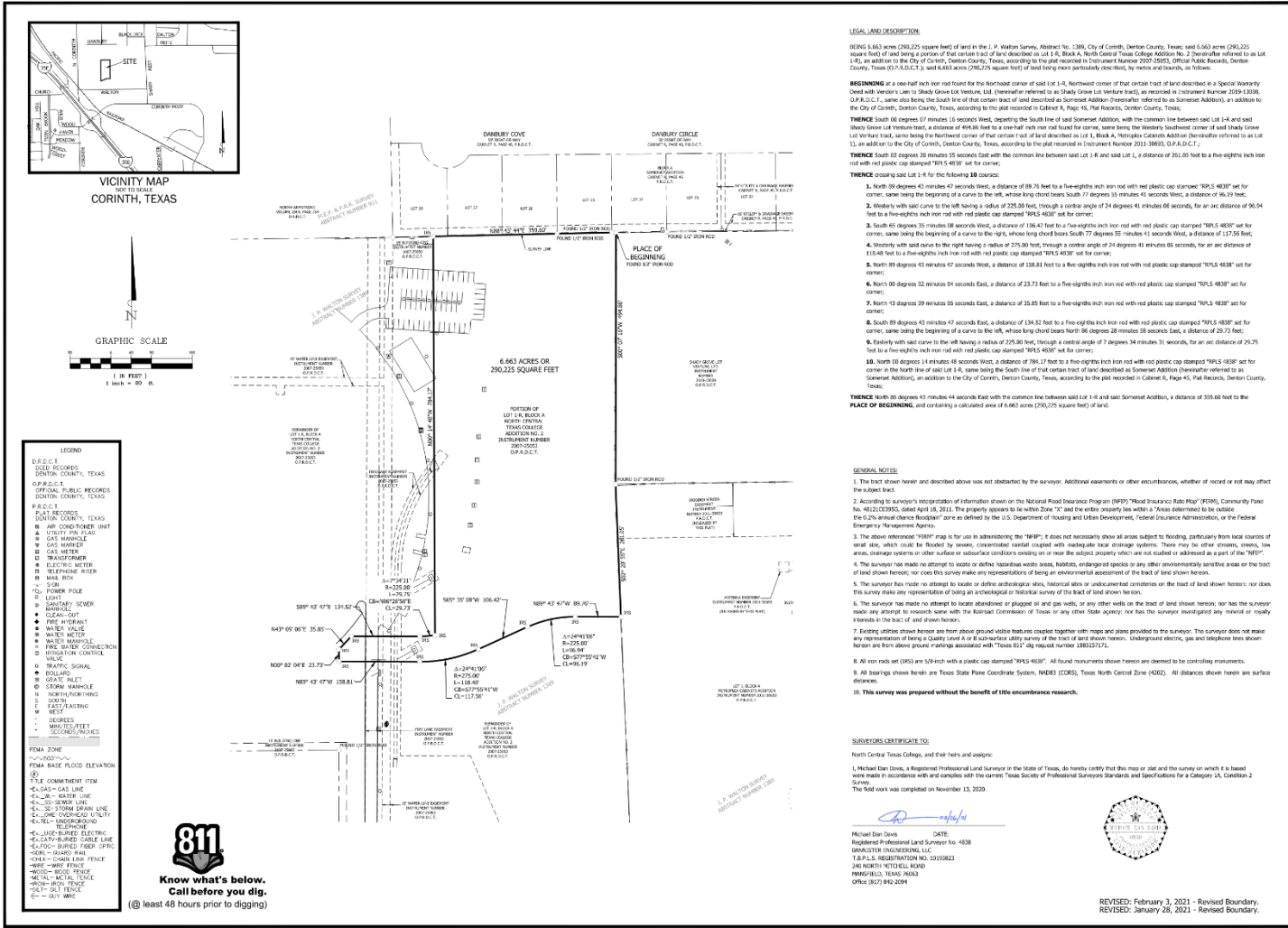
Title: City Manager

Date of Execution: _____

EXHIBIT B

DESCRIPTION OF TRACT 2

6.663 acres of land in the J.P. Walton Survey, Abstract No. 1389, City of Corinth, Denton County, Texas



LEGAL AND DESCRIPTION

BEING 6.663 acres (290,225 square feet) of land in the J.P. Walton Survey, Abstract No. 1389, City of Corinth, Denton County, Texas, said 6.663 acres (290,225 square feet) of land being a portion of that certain tract of land described as Lot 1-6, Block A, North Central Texas College Addition No. 2, described as follows to Lot 1-6, an addition to the City of Corinth, Denton County, Texas, according to the plat recorded in Instrument Number 2007-2052, Official Public Records, Denton County, Texas (07-03-02-C.T.), and 6.633 acres (290,225 square feet) of land being more particularly described by notes and bearings, as follows:

BEGINNING at a one-half inch iron rod found for the Northeast corner of said Lot 1-6, Northwest corner of that certain tract of land described in a Special Warranty Deed with Vendor's Lien to Shady Grove L&L Ventures, L.L.C. (hereinafter referred to as Shady Grove L&L Ventures LLC), as recorded in Instrument Number 2018-13306, O.P.A.C.T.C., same also being the South line of that certain tract of land described as Somerset Addition (hereinafter referred to as Somerset Addition), an addition to the City of Corinth, Denton County, Texas, according to the plat recorded in Cabinet #5, Page 45, Plat Records, Denton County, Texas;

THENCE South 06 degrees 07 minutes 16 seconds West, repeating the South line of said Somerset Addition, with the common line between said Lot 1-6, and said Shady Grove L&L Ventures LLC, a distance of 68.76 feet to a five-eighths inch iron rod with red plastic cap stamped "90.5 4838" set for corner, same being the beginning of a curve to the left, whose long chord bears South 77 degrees 54 minutes 41 seconds West, a distance of 96.19 feet;

2. Wobly with said curve to the left having a radius of 225.00 feet, through a central angle of 24 degrees 41 minutes 06 seconds, for an arc distance of 96.04 feet to a five-eighths inch iron rod with red plastic cap stamped "90.5 4838" set for corner;

3. South 65 degrees 35 minutes 08 seconds West, a distance of 136.41 feet to a five-eighths inch iron rod with red plastic cap stamped "90.5 4838" set for corner, same being the beginning of a curve to the right, whose long chord bears South 77 degrees 55 minutes 41 seconds West, a distance of 117.55 feet;

4. Wobly with said curve to the right having a radius of 275.00 feet, through a central angle of 24 degrees 41 minutes 06 seconds, for an arc distance of 115.48 feet to a five-eighths inch iron rod with red plastic cap stamped "90.5 4838" set for corner;

5. North 89 degrees 43 minutes 47 seconds West, a distance of 158.81 feet to a five-eighths inch iron rod with red plastic cap stamped "90.5 4838" set for corner;

6. North 90 degrees 32 minutes 04 seconds East, a distance of 23.73 feet to a five-eighths inch iron rod with red plastic cap stamped "90.5 4838" set for corner;

7. North 02 degrees 39 minutes 05 seconds East, a distance of 33.85 feet to a five-eighths inch iron rod with red plastic cap stamped "90.5 4838" set for corner;

8. South 89 degrees 43 minutes 47 seconds East, a distance of 134.52 feet to a five-eighths inch iron rod with red plastic cap stamped "90.5 4838" set for corner, same being the beginning of a curve to the right having a radius of 225.00 feet, through a central angle of 7 degrees 34 minutes 31 seconds, for an arc distance of 29.25 feet to a five-eighths inch iron rod with red plastic cap stamped "90.5 4838" set for corner;

9. East with said curve to the left having a radius of 225.00 feet, through a central angle of 7 degrees 34 minutes 31 seconds, for an arc distance of 29.25 feet to a five-eighths inch iron rod with red plastic cap stamped "90.5 4838" set for corner;

10. North 80 degrees 11 minutes 48 seconds West, a distance of 794.17 feet to a five-eighths inch iron rod with red plastic cap stamped "90.5 4838" set for corner in the North line of said Lot 1-6, same being the South line of that certain tract of land described as Somerset Addition (hereinafter referred to as Somerset Addition), an addition to the City of Corinth, Denton County, Texas, according to the plat recorded in Cabinet #5, Page 45, Plat Records, Denton County, Texas;

THENCE South 02 degrees 39 minutes 05 seconds East with the common line between said Lot 1-6 and said Lot 1-6, a distance of 355.66 feet to a five-eighths inch iron rod with red plastic cap stamped "90.5 4838" set for corner;

THENCE crossing said Lot 1-6 for the following 89 corners:

1. North 89 degrees 43 minutes 47 seconds West, a distance of 158.81 feet to a five-eighths inch iron rod with red plastic cap stamped "90.5 4838" set for corner, same being the beginning of a curve to the left, whose long chord bears South 77 degrees 54 minutes 41 seconds West, a distance of 96.19 feet;

2. Wobly with said curve to the left having a radius of 225.00 feet, through a central angle of 24 degrees 41 minutes 06 seconds, for an arc distance of 96.04 feet to a five-eighths inch iron rod with red plastic cap stamped "90.5 4838" set for corner;

3. South 65 degrees 35 minutes 08 seconds West, a distance of 136.41 feet to a five-eighths inch iron rod with red plastic cap stamped "90.5 4838" set for corner, same being the beginning of a curve to the right, whose long chord bears South 77 degrees 55 minutes 41 seconds West, a distance of 117.55 feet;

4. Wobly with said curve to the right having a radius of 275.00 feet, through a central angle of 24 degrees 41 minutes 06 seconds, for an arc distance of 115.48 feet to a five-eighths inch iron rod with red plastic cap stamped "90.5 4838" set for corner;

5. North 89 degrees 43 minutes 47 seconds West, a distance of 158.81 feet to a five-eighths inch iron rod with red plastic cap stamped "90.5 4838" set for corner;

6. North 90 degrees 32 minutes 04 seconds East, a distance of 23.73 feet to a five-eighths inch iron rod with red plastic cap stamped "90.5 4838" set for corner;

7. North 02 degrees 39 minutes 05 seconds East, a distance of 33.85 feet to a five-eighths inch iron rod with red plastic cap stamped "90.5 4838" set for corner;

8. South 89 degrees 43 minutes 47 seconds East, a distance of 134.52 feet to a five-eighths inch iron rod with red plastic cap stamped "90.5 4838" set for corner, same being the beginning of a curve to the right having a radius of 225.00 feet, through a central angle of 7 degrees 34 minutes 31 seconds, for an arc distance of 29.25 feet to a five-eighths inch iron rod with red plastic cap stamped "90.5 4838" set for corner;

9. East with said curve to the left having a radius of 225.00 feet, through a central angle of 7 degrees 34 minutes 31 seconds, for an arc distance of 29.25 feet to a five-eighths inch iron rod with red plastic cap stamped "90.5 4838" set for corner;

10. North 80 degrees 11 minutes 48 seconds West, a distance of 794.17 feet to a five-eighths inch iron rod with red plastic cap stamped "90.5 4838" set for corner in the North line of said Lot 1-6, same being the South line of that certain tract of land described as Somerset Addition (hereinafter referred to as Somerset Addition), an addition to the City of Corinth, Denton County, Texas, according to the plat recorded in Cabinet #5, Page 45, Plat Records, Denton County, Texas;

THENCE South 02 degrees 39 minutes 05 seconds East with the common line between said Lot 1-6 and said Somerset Addition, a distance of 355.66 feet to the **PLACE OF BEGINNING**, and containing a calculated area of 6.663 acres (290,225 square feet) of land.

GENERAL NOTES

1. The tract shown hereon and described above was not obstructed by the surveyor. Additional easements or other encumbrances, whether of record or not may affect the subject tract.

2. According to Surveyor's interpretation of information shown on the National Flood Insurance Program (NFIP) Flood Insurance Rate Map (FIRM), Community Flood No. 48121C0395, dated April 18, 2011. The property appears to be within Zone "X" and the entire property lies within a "Area determined to be outside the 1% Annual Chance Floodplain" (as defined by the U.S. Department of Housing and Urban Development, Federal Insurance Administration, or the Federal Emergency Management Agency).

3. The above referenced "FIRM" map is for use in administering the NFIP. It does not necessarily show all areas subject to flooding, particularly from local sources or small size, which could be flooded by waves, concentrated rainfall coupled with inadequate local drainage systems. There may be other streams, creeks, low areas, drainage systems or other surface or subsurface conditions existing on or near the subject property which are not shown or addressed as a part of the "FIRM".

4. The surveyor has made no attempt to locate or define archaeological sites, historical sites or unadmitted cemeteries on the tract of land shown hereon; nor does this survey make any representation of being an archeological or historical survey of the tract of land shown hereon.

5. The surveyor has made no attempt to locate or define abandoned or plugged oil and gas wells, or any other wells on the tract of land shown hereon; nor has the surveyor made any attempt to research same with the Railroad Commission of Texas or any other State Agency; nor has the surveyor investigated any mineral or royalty interests in the tract of land shown hereon.

6. Existing utilities shown hereon are from above ground utility features marked together with maps and plans provided to the surveyor. The surveyor does not make any representation of being a Quality Level 1 or 2 or 3 or 4 utility survey of the tract of land shown hereon. Underground electric, gas and telephone lines shown hereon are from above ground markings associated with Texas 815-091 meters number 238025272.

7. Existing utilities shown hereon are from above ground utility features marked together with maps and plans provided to the surveyor. The surveyor does not make any representation of being a Quality Level 1 or 2 or 3 or 4 utility survey of the tract of land shown hereon. Underground electric, gas and telephone lines shown hereon are from above ground markings associated with Texas 815-091 meters number 238025272.

8. All iron rods set (IRS) are 1/2-inch with a plastic cap stamped "90.5 4838". All four monuments shown hereon are deemed to be controlling monuments.

9. All bearings shown hereon are Texas State Plane Coordinate System, NAD83 (CORR), Texas North Central Zone (4002). All distances shown hereon are surface distances.

10. This survey was prepared without the benefit of title encumbrance research.

SURVEYOR CERTIFICATE

North Central Texas College, and their heirs and assigns:

I, Michael Dan Davis, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that this map or plat and the survey on which it is based were made in accordance with and comply with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1A, Condition 2 Survey.

The field work was completed on November 13, 2020.

Michael Dan Davis DATE: 2/23/21
Registered Professional Land Surveyor No. 4638
BANNISTER ENGINEERING, L.L.C.
T.S.P.L.S. REGISTRATION NO. 12020823
240 NORTH HETVELL ROAD
MINNEFIELD, TEXAS 76663
PHONE: (817) 424-2094

REVISED: February 3, 2021 - Revised Boundary.
REVISED: January 28, 2021 - Revised Boundary.

BANNISTER ENGINEERING
240 North Metcalf Road | Minnefield, TX 76663 | 817.424.2094
bannistereng.com

PROJECT: Walton Road
Address: Walton Road
Being 6.663 acres or (290,225 square feet)
Portion of Lot 1-6, Block A,
North Central Texas College Addition No. 2
out of the J.P. Walton Survey, Abstract No. 1389
City of Corinth, Denton County, Texas

CATEGORY 1A, CONDITION 2 LAND TITLE SURVEY

PROJECT NO.: 09020-011
SCALE: 1" = 80'
DRAWN BY: sa
CVD BY: ml2
SHEET NUMBER: 1 OF 1

EXHIBIT C

SPECIAL WARRANTY DEED

“Notice of Confidentiality Rights: If you are a Natural Person, you may remove or strike any or all of the following information from this instrument before it is filed for record in the Public Records: Your Social Security Number or your Drivers’ License Number.”

THE STATE OF TEXAS §
 § KNOW ALL MEN BY THESE PRESENTS:
COUNTY OF DENTON §

THAT the Corinth Economic Development Corporation, a Texas nonprofit corporation, (hereinafter referred to collectively as “Grantor”), for and in consideration of the sum of TEN AND NO/100 (\$10.00) DOLLARS and other valuable consideration to the undersigned paid by the Grantee herein named, the receipt of which is hereby acknowledged, has GRANTED, SOLD AND CONVEYED, and by these presents does GRANT, SELL AND CONVEY unto The City of Corinth, Texas, a home rule municipality, (herein referred to as “Grantee”), all of the Seller’s individual interests in the real property generally identified as an 7.075-acre tract of land, more or less, in the J.P. Walton Survey, Abstract No. 1389, located within the City of Corinth, Denton County, Texas, and more specifically described in **Exhibit “A”**, a copy of which is attached hereto and incorporated herein (hereinafter referred to as the “**Property**”).

This conveyance shall include all and singular the rights and appurtenances pertaining to the Property; including any buildings, structures, fixtures, and improvements located thereon, and any interests, if any of Grantor in and to any land lying in any street, road, alley, right of way, access way or easement, open or proposed in favor of or adjoining, or within the Property.

This conveyance is made expressly subject to the exceptions listed on **Exhibit “B”** (the “**Permitted Exceptions**”) attached hereto and incorporated herein for all purposes.

IT IS UNDERSTOOD AND AGREED THAT, EXCEPT FOR THE SPECIAL WARRANTY OF TITLE CONTAINED IN THE DEED, (A) THE PROPERTY IS SOLD BY GRANTOR AND PURCHASED AND ACCEPTED BY GRANTEE ON AN "AS IS," "WHERE IS" AND "WITH ALL FAULTS" BASIS, SUBJECT TO ANY CONDITION WHICH MAY EXIST, AND WITHOUT THE EXISTENCE OF AND WITHOUT RELIANCE UPON ANY REPRESENTATION, WARRANTY, AGREEMENT, OR STATEMENT BY GRANTOR, OR ANYONE ACTING ON BEHALF OF GRANTOR, INCLUDING, WITHOUT LIMITATION, ANY BROKER, ENGINEER, ARCHITECT, ATTORNEY, SURVEYOR, APPRAISER, OR ENVIRONMENTAL CONSULTANT; (B) GRANTEE HAS THOROUGHLY INSPECTED AND EXAMINED THE PROPERTY TO THE EXTENT DEEMED NECESSARY BY GRANTEE IN ORDER TO ENABLE GRANTEE TO EVALUATE THE PURCHASE OF THE PROPERTY ON THE FOREGOING BASIS; (C) GRANTEE IS RELYING SOLELY UPON SUCH INSPECTIONS, EXAMINATION, AND EVALUATION OF THE PROPERTY BY

GRANTEE IN PURCHASING THE PROPERTY ON AN "AS IS", "WHERE IS" AND "WITH ALL FAULTS" BASIS, WITHOUT REPRESENTATION, WARRANTY, AGREEMENT OR STATEMENT BY GRANTOR OR ANYONE ACTING ON BEHALF OF GRANTOR, EXPRESS OR IMPLIED, OF ANY KIND OR NATURE, OTHER THAN THE WARRANTY OF TITLE CONTAINED IN THE DEED; AND (D) GRANTEE HEREBY ASSUMES THE RISK THAT ENVIRONMENTAL CONDITIONS (AS DEFINED HEREIN) MAY EXIST ON THE PROPERTY AND HEREBY RELEASES GRANTOR OF AND FROM ANY AND ALL CLAIMS, ACTIONS, DEMANDS, RIGHTS, DAMAGES, COSTS OR EXPENSES (COLLECTIVELY THE "CLAIMS") WHICH MIGHT ARISE OUT OF OR IN CONNECTION WITH THE ENVIRONMENTAL CONDITION OF THE PROPERTY. AS USED HEREIN, THE TERM "ENVIRONMENTAL CONDITION" SHALL MEAN ANY CONDITION WITH RESPECT TO THE PROPERTY WHICH COULD OR DOES RESULT IN ANY CLAIM AGAINST THE OWNER OF THE PROPERTY BY ANY THIRD PARTY (INCLUDING ANY GOVERNMENTAL ENTITY) UNDER (1) THE COMPREHENSIVE ENVIRONMENTAL RESPONSE, COMPENSATION AND LIABILITY ACT, 42 U.S.C. § 9601 ET SEQ., (2) THE RESOURCE CONSERVATION AND RECOVERY ACT, 42 U.S.C. § 6901 ET SEQ., (3) THE FEDERAL WATER POLLUTION CONTROL ACT, 33 U.S.C. § 2601 ET SEQ., (4) THE OIL POLLUTION ACT, 33 U.S.C. § 2701 ET SEQ., (5) THE TOXIC SUBSTANCES CONTROL ACT, 15 U.S.C. § 2601 ET SEQ., (6) THE CLEAN WATER ACT, 33 U.S.C. § 1251 ET SEQ., (7) THE CLEAN AIR ACT, 42 U.S.C. § 7401 ET SEQ., (8) THE HAZARDOUS MATERIALS TRANSPORTATION ACT, 49 U.S.C. § 1801 ET SEQ., (9) THE OCCUPATIONAL SAFETY AND HEALTH ACT, 29 U.S.C. § 651 ET SEQ., (10) THE TEXAS SOLID WASTE DISPOSAL ACT, TEX. HEALTH & SAFETY CODE ANN. §361, ET SEQ., AND/OR (11) SIMILAR STATE AND LOCAL LAWS, NOW OR HEREAFTER EXISTING, ALL AS AMENDED FROM TIME TO TIME, AND ALL REGULATIONS, RULES AND GUIDANCE ISSUED PURSUANT THERETO, INCLUDING, WITHOUT LIMITATION, ANY CONDITION RESULTING FROM OPERATIONS CONDUCTED ON THE PROPERTY OR ON PROPERTY ADJACENT THERETO. GRANTOR SHALL NOT HAVE (AND GRANTEE WAIVES) ANY OBLIGATION TO DISCLOSE FACTS REGARDING THE PROPERTY (INCLUDING, WITHOUT LIMITATION, ANY ENVIRONMENTAL CONDITION AFFECTING THE PROPERTY), REGARDLESS OF WHETHER SUCH FACTS ARE DISCOVERABLE BY THE GRANTEE.

TO HAVE AND TO HOLD the above described Property, together with all and singular the rights and appurtenances thereto in anywise belonging unto the said Grantee, its successors and assigns; and Grantor does hereby bind itself, its successors or assigns to WARRANT AND FOREVER DEFEND all and singular the said Property unto the said Grantee, its successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof, by, through, or under Grantor, but not otherwise, subject, however, to this Contract and the Permitted Exceptions.

EXECUTED on the dates of the acknowledgments, but to be EFFECTIVE on the _____ day of _____, 2021.

GRANTOR:

The Corinth Economic Development Foudnation, a
Texas nonprofit corporation

By: _____

Name: _____

Title: _____

STATE OF TEXAS §
 §
COUNTY OF DENTON §

This instrument was acknowledged before me on the ____ day of _____, 2021, by
_____, _____ of the Corinth Economic Development Foundation, a Texas
nonprofit corporation, on its behalf.

NOTARY PUBLIC STATE OF TEXAS

AFTER RECORDING, RETURN TO:

EXHIBIT "A"
PROPERTY DESCRIPTION

BEING 7.075 acres (308,164 square feet) of land in the J. P. Walton Survey, Abstract No. 1389, City of Corinth, Denton County, Texas; said 7.075 acres (308,164 square feet) of land being a portion of that certain tract of land described as Lot 1-R, Block A, North Central Texas College Addition No. 2 (hereinafter referred to as Lot 1-R), an addition to the City of Corinth, Denton County, Texas, according to the plat recorded in Instrument Number 2007-25053, Official Public Records, Denton County, Texas (O.P.R.D.C.T.); said 7.075 acres (308,164 square feet) of land being more particularly described, by metes and bounds, as follows:

BEGINNING at a one-half inch iron rod with plastic cap stamped "BRITAIN CRAWFORD" found for the Southeast corner of said Lot 1-R, same being the Southwest corner of that certain tract of land described as Lot 1, Block A, Metroplex Cabinets Addition (hereinafter referred to as Lot 1), an addition to the City of Corinth, Denton County, Texas, according to the plat recorded in Instrument Number 2011-30693, O.P.R.D.C.T., same also being the existing North right-of-way line of Walton Road (variable width right-of-way), as recorded in Instrument Number 2003-1242, O.P.R.D.C.T. and recorded in Instrument Number 2007-25053, O.P.R.D.C.T.;

THENCE South 89 degrees 50 minutes 54 seconds West with the common line between said Lot 1-R and with the existing North right-of-way line of said Walton Road, a distance of 478.99 feet to a one-half inch iron rod with plastic cap stamped "G & A" found for corner;

THENCE South 89 degrees 47 minutes 16 seconds West, continue with the common line between said Lot 1-R and with the existing North right-of-way line of said Walton Road, a distance of 100.10 feet to a one-half inch iron rod with plastic cap stamped "BRITAIN CRAWFORD" found for the Southerly Southwest corner of said Lot 1-R, same being the Southeast corner of that certain tract of land described in a Warranty Deed with Vendor's Lien to Bennora Real Estate LLC (hereinafter referred to as Bennora Real Estate tract), as recorded in Instrument Number 2016-50494, O.P.R.D.C.T.;

THENCE North 00 degrees 02 minutes 04 seconds East, departing the existing North right-of-way line of said Walton Road, with the common line between said Lot 1-R and said Bennora Real Estate tract, pass at a distance of 331.96 feet, a one-half inch iron rod found for the Northeast corner of said Bennora Real Estate tract, same being an inner-ell corner of said Lot 1-R, continue with said course, crossing said Lot 1-R for a total distance of 506.07 feet to a five-eighths inch iron rod with red plastic cap stamped "RPLS 4838" set for corner;

THENCE South 89 degrees 43 minutes 47 seconds East, continue crossing said Lot 1-R, a distance of 158.81 feet to a five-eighths inch iron rod with red plastic cap stamped "RPLS 4838" set for corner, same being the beginning of a curve to the left, whose long chord bears North 77 degrees 55 minutes 41 seconds East, a distance of 117.56 feet;

THENCE Easterly, continue crossing said Lot 1-R, with said curve to the left having a radius of 275.00 feet, through a central angle of 24 degrees 41 minutes 06 seconds, for an arc distance of 118.48 feet to a five-eighths inch iron rod with red plastic cap stamped "RPLS 4838" set for corner;

THENCE North 65 degrees 35 minutes 08 seconds East, continue crossing said Lot 1-R, a distance of 106.42 feet to a five-eighths inch iron rod with red plastic cap stamped "RPLS 4838" set for corner, same being the beginning of a curve to the right, whose long chord bears North 77 degrees 55 minutes 41 seconds East, a distance of 96.19 feet;

THENCE Easterly, continue crossing said Lot 1-R and with said curve to the right having a radius of 225.00 feet, through a central angle of 24 degrees 41 minutes 06 seconds, for an arc distance of 96.94 feet to a five-eighths inch iron rod with red plastic cap stamped "RPLS 4838" set for corner;

THENCE South 89 degrees 43 minutes 47 seconds East, continue crossing said Lot 1-R, a distance of 89.76 feet to a five-eighths inch iron rod with red plastic cap stamped "RPLS 4838" set for corner in the East line of said Lot 1-R, same being the West line of the aforesaid Lot 1;

THENCE South 02 degrees 20 minutes 55 seconds East with the common line between said Lot 1-R and said Lot 1, a distance of 592.45 feet to the PLACE OF BEGINNING, and containing a calculated area of 7.075 acres (308,164 square feet) of land.

EXHIBIT "B"
PERMITTED EXCEPTIONS

None.

EXHIBIT D

SPECIAL WARRANTY DEED

“Notice of Confidentiality Rights: If you are a Natural Person, you may remove or strike any or all of the following information from this instrument before it is filed for record in the Public Records: Your Social Security Number or your Drivers’ License Number.”

THE STATE OF TEXAS §
 § KNOW ALL MEN BY THESE PRESENTS:
COUNTY OF DENTON §

THAT the Corinth Economic Development Foundation, a Texas nonprofit corporation, (hereinafter referred to collectively as “Grantor”), for and in consideration of the sum of TEN AND NO/100 (\$10.00) DOLLARS and other valuable consideration to the undersigned paid by the Grantee herein named, the receipt of which is hereby acknowledged, has GRANTED, SOLD AND CONVEYED, and by these presents does GRANT, SELL AND CONVEY unto The City of Corinth, Texas a home rule municipality, (herein referred to as “Grantee”), all of the Seller’s individual interests in the real property generally identified as 6.663-acre tract of land, more or less, in the J.P. Walton Survey, Abstract No. 1389, located within the City of Corinth, Denton County, Texas, and more specifically described in **Exhibit “A”**, a copy of which is attached hereto and incorporated herein (hereinafter referred to as the “**Property**”).

This conveyance shall include all and singular the rights and appurtenances pertaining to the Property; including any buildings, structures, fixtures, and improvements located thereon, and any interests, if any of Grantor in and to any land lying in any street, road, alley, right of way, access way or easement, open or proposed in favor of or adjoining, or within the Property.

This conveyance is made expressly subject to the exceptions listed on **Exhibit “B”** (the “**Permitted Exceptions**”) attached hereto and incorporated herein for all purposes.

IT IS UNDERSTOOD AND AGREED THAT, EXCEPT FOR THE SPECIAL WARRANTY OF TITLE CONTAINED IN THE DEED, (A) THE PROPERTY IS SOLD BY GRANTOR AND PURCHASED AND ACCEPTED BY GRANTEE ON AN "AS IS," "WHERE IS" AND "WITH ALL FAULTS" BASIS, SUBJECT TO ANY CONDITION WHICH MAY EXIST, AND WITHOUT THE EXISTENCE OF AND WITHOUT RELIANCE UPON ANY REPRESENTATION, WARRANTY, AGREEMENT, OR STATEMENT BY GRANTOR, OR ANYONE ACTING ON BEHALF OF GRANTOR, INCLUDING, WITHOUT LIMITATION, ANY BROKER, ENGINEER, ARCHITECT, ATTORNEY, SURVEYOR, APPRAISER, OR ENVIRONMENTAL CONSULTANT; (B) GRANTEE HAS THOROUGHLY INSPECTED AND EXAMINED THE PROPERTY TO THE EXTENT DEEMED NECESSARY BY GRANTEE IN ORDER TO ENABLE GRANTEE TO EVALUATE THE PURCHASE OF THE PROPERTY ON THE FOREGOING BASIS; (C) GRANTEE IS RELYING SOLELY UPON SUCH INSPECTIONS, EXAMINATION, AND EVALUATION OF THE PROPERTY BY

GRANTEE IN PURCHASING THE PROPERTY ON AN "AS IS", "WHERE IS" AND "WITH ALL FAULTS" BASIS, WITHOUT REPRESENTATION, WARRANTY, AGREEMENT OR STATEMENT BY GRANTOR OR ANYONE ACTING ON BEHALF OF GRANTOR, EXPRESS OR IMPLIED, OF ANY KIND OR NATURE, OTHER THAN THE WARRANTY OF TITLE CONTAINED IN THE DEED; AND (D) GRANTEE HEREBY ASSUMES THE RISK THAT ENVIRONMENTAL CONDITIONS (AS DEFINED HEREIN) MAY EXIST ON THE PROPERTY AND HEREBY RELEASES GRANTOR OF AND FROM ANY AND ALL CLAIMS, ACTIONS, DEMANDS, RIGHTS, DAMAGES, COSTS OR EXPENSES (COLLECTIVELY THE "CLAIMS") WHICH MIGHT ARISE OUT OF OR IN CONNECTION WITH THE ENVIRONMENTAL CONDITION OF THE PROPERTY. AS USED HEREIN, THE TERM "ENVIRONMENTAL CONDITION" SHALL MEAN ANY CONDITION WITH RESPECT TO THE PROPERTY WHICH COULD OR DOES RESULT IN ANY CLAIM AGAINST THE OWNER OF THE PROPERTY BY ANY THIRD PARTY (INCLUDING ANY GOVERNMENTAL ENTITY) UNDER (1) THE COMPREHENSIVE ENVIRONMENTAL RESPONSE, COMPENSATION AND LIABILITY ACT, 42 U.S.C. § 9601 ET SEQ., (2) THE RESOURCE CONSERVATION AND RECOVERY ACT, 42 U.S.C. § 6901 ET SEQ., (3) THE FEDERAL WATER POLLUTION CONTROL ACT, 33 U.S.C. § 2601 ET SEQ., (4) THE OIL POLLUTION ACT, 33 U.S.C. § 2701 ET SEQ., (5) THE TOXIC SUBSTANCES CONTROL ACT, 15 U.S.C. § 2601 ET SEQ., (6) THE CLEAN WATER ACT, 33 U.S.C. § 1251 ET SEQ., (7) THE CLEAN AIR ACT, 42 U.S.C. § 7401 ET SEQ., (8) THE HAZARDOUS MATERIALS TRANSPORTATION ACT, 49 U.S.C. § 1801 ET SEQ., (9) THE OCCUPATIONAL SAFETY AND HEALTH ACT, 29 U.S.C. § 651 ET SEQ., (10) THE TEXAS SOLID WASTE DISPOSAL ACT, TEX. HEALTH & SAFETY CODE ANN. §361, ET SEQ., AND/OR (11) SIMILAR STATE AND LOCAL LAWS, NOW OR HEREAFTER EXISTING, ALL AS AMENDED FROM TIME TO TIME, AND ALL REGULATIONS, RULES AND GUIDANCE ISSUED PURSUANT THERETO, INCLUDING, WITHOUT LIMITATION, ANY CONDITION RESULTING FROM OPERATIONS CONDUCTED ON THE PROPERTY OR ON PROPERTY ADJACENT THERETO. GRANTOR SHALL NOT HAVE (AND GRANTEE WAIVES) ANY OBLIGATION TO DISCLOSE FACTS REGARDING THE PROPERTY (INCLUDING, WITHOUT LIMITATION, ANY ENVIRONMENTAL CONDITION AFFECTING THE PROPERTY), REGARDLESS OF WHETHER SUCH FACTS ARE DISCOVERABLE BY THE GRANTEE.

TO HAVE AND TO HOLD the above described Property, together with all and singular the rights and appurtenances thereto in anywise belonging unto the said Grantee, its successors and assigns; and Grantor does hereby bind itself, its successors or assigns to WARRANT AND FOREVER DEFEND all and singular the said Property unto the said Grantee, its successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof, by, through, or under Grantor, but not otherwise, subject, however, to this Contract and the Permitted Exceptions.

EXECUTED on the dates of the acknowledgments, but to be EFFECTIVE on the _____ day of _____, 2021.

GRANTOR:

The Corinth Economic Development Foundation, a
Texas nonprofit corporation

By: _____

Name: _____

Title: _____

STATE OF TEXAS §
 §
COUNTY OF DENTON §

This instrument was acknowledged before me on the ____ day of _____, 2021, by _____, _____ of the Corinth Economic Development Foundation, a Texas nonprofit corporation, on its behalf.

NOTARY PUBLIC STATE OF TEXAS

AFTER RECORDING, RETURN TO:

EXHIBIT "A"
PROPERTY DESCRIPTION

BEING 6.663 acres (290,225 square feet) of land in the J. P. Walton Survey, Abstract No. 1389, City of Corinth, Denton County, Texas; said 6.663 acres (290,225square feet) of land being a portion of that certain tract of land described as Lot 1-R, Block A, North Central Texas College Addition No. 2 (hereinafter referred to as Lot 1-R), an addition to the City of Corinth, Denton County, Texas, according to the plat recorded in Instrument Number 2007-25053, Official Public Records, Denton County, Texas (O.P.R.D.C.T.); said 6.663 acres (290,225 square feet) of land being more particularly described, by metes and bounds, as follows:

BEGINNING at a one-half inch iron rod found for the Northeast corner of said Lot 1-R, Northwest corner of that certain tract of land described in a Special Warranty Deed with Vendor's Lien to Shady Grove Lot Venture, Ltd. (hereinafter referred to as Shady Grove Lot Venture tract), as recorded in Instrument Number 2019-13008, O.P.R.D.C.T., same also being the South line of that certain tract of land described as Somerset Addition (hereinafter referred to as Somerset Addition), an addition to the City of Corinth, Denton County, Texas, according to the plat recorded in Cabinet R, Page 45, Plat Records, Denton County, Texas;

THENCE South 00 degrees 07 minutes 16 seconds West, departing the South line of said Somerset Addition, with the common line between said Lot 1-R and said Shady Grove Lot Venture tract, a distance of 494.86 feet to a one-half inch iron rod found for corner, same being the Westerly Southwest corner of said Shady Grove Lot Venture tract, same being the Northwest corner of that certain tract of land described as Lot 1, Block A, Metroplex Cabinets Addition (hereinafter referred to as Lot 1), an addition to the City of Corinth, Denton County, Texas, according to the plat recorded in Instrument Number 2011-30693, O.P.R.D.C.T.;

THENCE South 02 degrees 20 minutes 55 seconds East with the common line between said Lot 1-R and said Lot 1, a distance of 261.05 feet to a five-eighths inch iron rod with red plastic cap stamped "RPLS 4838" set for corner;

THENCE crossing said Lot 1-R for the following **10** courses:

1. North 89 degrees 43 minutes 47 seconds West, a distance of 89.76 feet to a five-eighths inch iron rod with red plastic cap stamped "RPLS 4838" set for corner, same being the beginning of a curve to the left, whose long chord bears South 77 degrees 55 minutes 41 seconds West, a distance of 96.19 feet;
2. Westerly with said curve to the left having a radius of 225.00 feet, through a central angle of 24 degrees 41 minutes 06 seconds, for an arc distance of 96.94 feet to a five-eighths inch iron rod with red plastic cap stamped "RPLS 4838" set for corner;
3. South 65 degrees 35 minutes 08 seconds West, a distance of 106.42 feet to a five-eighths inch iron rod with red plastic cap stamped "RPLS 4838" set for corner, same being the beginning of a curve to the right, whose long chord bears South 77 degrees 55 minutes 41 seconds West, a distance of 117.56 feet;
4. Westerly with said curve to the right having a radius of 275.00 feet, through a central angle of 24 degrees 41 minutes 06 seconds, for an arc distance of 118.48 feet to a five-eighths inch iron rod with red plastic cap stamped "RPLS 4838" set for corner;
5. North 89 degrees 43 minutes 47 seconds West, a distance of 158.81 feet to a five-eighths inch iron rod with red plastic cap stamped "RPLS 4838" set for corner;
6. North 00 degrees 02 minutes 04 seconds East, a distance of 23.73 feet to a five-eighths inch iron rod with red plastic cap stamped "RPLS 4838" set for corner;
7. North 43 degrees 09 minutes 06 seconds East, a distance of 35.85 feet to a five-eighths inch iron rod with red plastic cap stamped "RPLS 4838" set for corner;

8. South 89 degrees 43 minutes 47 seconds East, a distance of 134.52 feet to a five-eighths inch iron rod with red plastic cap stamped "RPLS 4838" set for corner, same being the beginning of a curve to the left, whose long chord bears North 86 degrees 28 minutes 58 seconds East, a distance of 29.73 feet;

9. Easterly with said curve to the left having a radius of 225.00 feet, through a central angle of 7 degrees 34 minutes 31 seconds, for an arc distance of 29.75 feet to a five-eighths inch iron rod with red plastic cap stamped "RPLS 4838" set for corner;

10. North 00 degrees 14 minutes 48 seconds West, a distance of 784.17 feet to a five-eighths inch iron rod with red plastic cap stamped "RPLS 4838" set for corner in the North line of said Lot 1-R, same being the South line of that certain tract of land described as Somerset Addition (hereinafter referred to as Somerset Addition), an addition to the City of Corinth, Denton County, Texas, according to the plat recorded in Cabinet R, Page 45, Plat Records, Denton County, Texas;

THENCE North 88 degrees 43 minutes 44 seconds East with the common line between said Lot 1-R and said Somerset Addition, a distance of 359.60 feet to the

PLACE OF BEGINNING, and containing a calculated area of 6.663 acres (290,225 square feet) of land.

EXHIBIT "B"

PERMITTED EXCEPTIONS

None.

CITY OF CORINTH
Staff Report

Meeting Date:	4/15/2021	Title:	Arterial and Collector Speed Limits
Strategic Goals:	<input type="checkbox"/> Citizen Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development		
Governance Focus:	<i>Sub-Ends:</i> <input type="checkbox"/> Growing Community <input type="checkbox"/> Conveniently located <input checked="" type="checkbox"/> Delivers Outstanding Service <input type="checkbox"/> High-Quality Retail <input type="checkbox"/> High-Quality Restaurants <input type="checkbox"/> High-Quality Entertainment		
	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Customer <input type="checkbox"/> Stakeholder		
	<i>Decision:</i> <input checked="" type="checkbox"/> Governance Policy <input type="checkbox"/> Ministerial Function		
Owner Support:	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission <u>N/A</u>		

Item/Caption

Consider approval of Ordinance 21-04-15-12 altering the speed limits on certain streets within the City of Corinth; authorizing the City Manager to cause the erection of signs providing notice of the new speed limits.

Item Summary/Background/Prior Action

Staff presented to Council the proposition of evaluating speed limits around town in June of 2021. The discussion related to issues related to “Children at Play” signs, the statutory speed limit of 30 mph and the ability to reduce the speed limit on residential streets to 25 mph without performing an engineering study. Additionally, staff discussed that there may be an opportunity to increase the speed limits on some of the arterials and collectors but these would take time and require detailed engineering studies. Another part of the discussion was related to golf carts on roadways and where they should be allowed to operate as it relates to increasing speed limits above 35 mph. By State law, golf carts are not allowed on roadways that have speed limits above 35 mph.

Staff and Council went forward with establishing a 25 mph speed limit on all residential streets in the community. At this time many of the streets have received their updated signs. The streets remaining are those that didn’t already have speed limit signs.

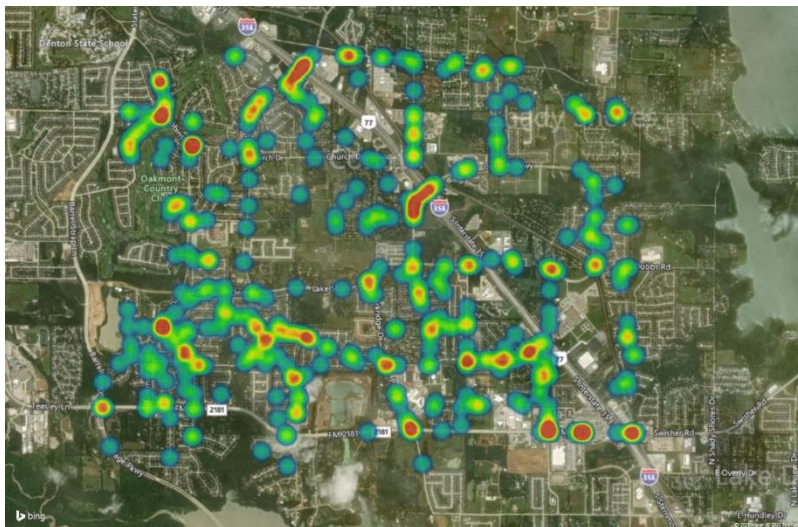
Since October 2020 staff has been collecting speed data at over 30 locations on the streets listed on the table attached below. A summary of the results is provided for reference. When evaluating a street for defined speed limits, engineers have utilized the 85th percentile speed as a reference to the appropriate speed limit for that given roadway. Engineering staff further utilized a tool developed for the Federal Highway Administration called USLIMITS2. This tool is used to aid practitioners in determining appropriate speed limit recommendations. This tool allows the engineer the ability to evaluate various factors on the given roadway segment. These factors include the number of driveways, street intersections, crash history data, average daily traffic, type of surrounding development (rural, fully developed, etc.),

number of traffic signals, road characteristics (number of lanes, divided or not, roadside hazards, and 85th percentile speed as well as the 50th percentile speed, pedestrian activity, bicycle activity, parking, and adverse alignment. Each of the roadways was evaluated using not just the 85th percentile speed but also the available data inputs into USLIMITS2.

Route Name	Termini From	Termini To	Existing Speed Limit	85th Percentile Speed (mph)	50th Percentile Speed (mph)	Section Length (miles)	AADT	Divided/ Undivided	Number of Through Lanes	Number of Driveways	USLimits Output Recommended Speed Limit (mph)	Engineering Staff Recommendation	Recommended Speed - Existing Speed Limit
Church Drive	I-35E	Post Oak	30	47	42	0.89	1050	Undivided	2	24	45	40	10
Lake Sharon Drive	I-35E	FM 2499	35	45	42	2.44	3356	Divided	4	36	45	40	5
Parkridge Drive	Lake Sharon	FM 2181	30	38	33	0.95	3324	Undivided	2	37	35	35	5
Post Oak	I-35E	Robinson	35	40	35	0.59	11913	Divided	4	8	40	40	5
Post Oak	Robinson	Lake Sharon	30	35	30	0.88	4849	Undivided	2	31	35	35	5
Post Oak	Lake Sharon	FM 2181	35	36	29	0.96	4790	Divided	4	21	35	35	0
Tower Ridge	Lake Sharon	Meadowview	30	43	36	0.57	3400	Undivided	2	11	40	40	10

Staff obtained crash data from the State database Crash Records Information System (C.R.I.S.) The total number of crashes in Corinth that occurred on Corinth roadways (not TxDOT, FM 2181, FM 2499, I-35E), between 2011 and 2021 were 853.

Of the crashes reported between 2011 and 2021, 73% of these did not involve injury. The map provided indicates the general location of these crashes. Note that quite a few are at major intersections.



Crashes between 2011 and 2021

Crash Severity	# of Crashes	% of All Crashes
N - NOT INJURED	626	73%
C - POSSIBLE INJURY	84	10%
B - SUSPECTED MINOR INJURY	67	8%
99 - UNKNOWN	51	6%
A - SUSPECTED SERIOUS INJURY	23	3%
K - FATAL INJURY	2	0.2%
Grand Total	853	

Crashes between 2011 and 2021

Street	# of Crashes	% of All Crashes
POST OAK DRIVE	96	11%
LAKE SHARON DRIVE	30	4%
CHURCH DRIVE	4	0.5%
POST OAK CIR	2	0.2%
Grand Total	132	

Of these 853 crashes, 132 were on the certain streets that were part of the City of Corinth’s study. The types of crashes ranged from suspected serious injury (6), suspected minor injury (12), possible injury (13), to not injured (99) and unknown (2).

Of the crashes reported, 20 were due to failure to yield right of way at a stop sign. This type of crash is not necessarily related to the speed of the roadway. Staff recommends that where there is a stop sign on a divided roadway, that an additional stop sign be installed in the median to assist driver’s visibility of the stop sign. Each of these locations should also be evaluated to determine if advance warning signs should be placed prior to the intersection.

During prior discussions with Council, staff discussed the proposition that many of the streets could be increased by 5 mph. After the results of the studies it was determined that the increases ranged from 0 to 10 mph.

Staff recommends setting the speed limits as follows:

- Church Drive – 40 mph,
- Lake Sharon Drive – 40 mph,
- Parkridge Drive – 35 mph,
- Post Oak Drive (I-35E to Robinson Road) – 40 mph,
- Post Oak Drive (Robinson Road to Lake Sharon Drive) – 35 mph,
- Post Oak Drive (Lake Sharon Drive to FM 2181) – 35 mph and
- Tower Ridge (Lake Sharon Drive to Meadowview Drive) – 40 mph.

It should be noted that both Parkridge Drive and Post Oak have school zones. There may be concern with increasing the speeds in those areas. As a reminder, that is exactly why there are established school zones of 20 mph in those areas. One of the 853 crashes were within active school zones and this crash was on Cliff Oaks Drive.

Due to Council discussion related to golf carts, staff chose not to study the following streets: Oakmont, Robinson, Corinth Parkway. Staff plans to discuss golf carts

These recommended speed limits are in conformance with state law and industry standards for establishing speed limits.

Financial Impact

Cost of replacement speed limit signs are estimated at \$50 per sign there are approximately 50 signs that would need to be replaced at a total cost of about \$2,500. There may be additional sign posts and new signs that must be installed as well. The funds for the sign replacement and installation will come from the Engineering Division’s budget.

Staff Recommendation/Motion

Motion to approve Ordinance 21-04-15-12, altering the prima facie speed limits on certain streets within the City of Corinth; authorizing the City Manager to cause the erection of signs providing notice of the new speed limits.

**CITY OF CORINTH, TEXAS
ORDINANCE NO. 21-04-15-12**

AN ORDINANCE OF THE CITY OF CORINTH, TEXAS ALTERING THE PRIMA FACIE SPEED LIMITS ESTABLISHED FOR VEHICLES UNDER SECTION 545.356 OF THE TEXAS TRANSPORTATION CODE UPON VARIOUS STREETS LOCATED WITHIN THE CORPORATE LIMITS OF THE CITY OF CORINTH; AMENDING SUBSECTION C OF SECTION 70.01, "SPEED LIMITS", OF CHAPTER 70, "TRAFFIC RULES", OF TITLE VII, "TRAFFIC CODE", OF THE CITY OF CORINTH CODE OF ORDINANCES; PROVIDING FOR THE INCORPORATION OF PREMISES; PROVIDING FOR A REPEALING/SAVINGS CLAUSE; PROVIDING FOR SEVERABILITY; PROVIDING A PENALTY NOT TO EXCEED \$200 FOR EACH VIOLATION HEREOF; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Corinth, Texas, ("City"), is a home rule city operating pursuant to the laws of its Charter and of the State and Texas, by and through its duly elected City Council members; and

WHEREAS, the City of Corinth, completed speed zone studies on certain streets between October 2020 to April 2021, showing speeds which are reasonable or safe under the conditions found then to existing on the certain streets; and

WHEREAS, the City Council desires to change the current prima facie speed limits on certain streets within the City, in conformance with the results of the speed studies, as provided herein to better protect the convenience, health, safety, and welfare of the residents of the City and of the motoring public; and

WHEREAS, a prima facie speed limit that is altered by the governing body of a municipality under subsection 545.356 of the Texas Transportation Code is effective when the governing body erects signs giving notice of the new limit and at all times or at other times as determined; and

WHEREAS, the City previously adopted Ordinance Nos. 84-2-21-4, 12-10-18-21, 18-09-20-29, 19-02-21-08, 20-04-16-11, and 20-06-18-19 to regulate the speed limits on streets and highways within the City; and

WHEREAS, the City Council has determined that all prerequisites to the adoption of this Ordinance have been met.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CORINTH, THAT:

SECTION 1:
FINDINGS INCORPORATED

The findings set forth in the above preamble to this Ordinance are true and correct and are

incorporated herein in their entirety.

SECTION 2:
CODE OF ORDINANCES AMENDED

Section 70.01, “Speed Limits”, of Chapter 70, “Traffic Rules”, of Title VII, “Traffic Code”, of the City of Corinth Code of Ordinances is hereby amended as follows (with additions being reflected as underscored and removals being reflected as ~~striketrough~~):

Section 70.01 - Speed Limits.

...

(C) The maximum speed limits for streets listed below shall be as follows:

Street	Description	MPH
Church Drive	<u>In its entirety</u>	30 40
Lake Sharon Drive	In its entirety	35 40
Parkridge Drive	South of FM 2981 In its entirety	30 35
Post Oak	From I-35E to Robinson Road	35 40
Post Oak	From Robinson Road to Lake Sharon Drive	30 35
State School Road	In its entirety	25 30
Tower Ridge Drive	From Lake Sharon Drive to Meadowview Drive	30 40

...

SECTION 3:
AUTHORIZATION TO ERECT SIGNS

The City Manager, or his designee, of the City of Corinth is hereby authorized to cause to be erected appropriate signs indicating the amended speed zones, such signs to be furnished and installed by the City of Corinth.

SECTION 4:
REPEALING/SAVINGS CLAUSE

All provisions of any Ordinance in conflict with this Ordinance are hereby repealed, but such repeal shall not abate any pending prosecution from being commenced for any violation if occurring prior to the repeal of the Ordinance. Any remaining provisions shall remain in full force and effect.

SECTION 5:
SEVERABILITY

Should any section, subsection, sentence, clause, or phrase of this Ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, it is expressly provided that any and all remaining portions of this Ordinance shall remain in full force and clause effect. The City hereby, declares that it would have passed this Ordinance, and each section, subsection, clause, or phrase thereof irrespective of the fact that any one or more section, subsections, sentences, clauses, and phrases be declared unconstitutional or invalid.

SECTION 6:
PENALTY

Any person found guilty of violating this Ordinance as it exists or may be amended, shall be deemed guilty of a misdemeanor, and upon conviction thereof, shall be fined a sum not exceeding Two Hundred Dollars (\$200.00). Corinth retains all legal rights and remedies available to it pursuant to local, state and federal law.

SECTION 7:
EFFECTIVE DATE

This Ordinance shall take effect immediately upon and after its passage as provided by law.

DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF CORINTH, TEXAS on this 15th day of April 2021.

Bill Heidemann, Mayor

Attest:

Lana Wylie, City Secretary

Approved:

Patricia A. Adams, City Attorney

CITY OF CORINTH
Staff Report

Meeting Date:	4/15/2021	Title:	Agora Infrastructure Design – Jones Carter
Strategic Goals:	<input checked="" type="checkbox"/> Citizen Engagement <input type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development		
Governance Focus:	<i>Sub-Ends:</i> <input checked="" type="checkbox"/> Growing Community <input type="checkbox"/> Conveniently located <input type="checkbox"/> Delivers Outstanding Service <input checked="" type="checkbox"/> High-Quality Retail <input checked="" type="checkbox"/> High-Quality Restaurants <input checked="" type="checkbox"/> High-Quality Entertainment		
	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input checked="" type="checkbox"/> Customer <input type="checkbox"/> Stakeholder		
	<i>Decision:</i> <input type="checkbox"/> Governance Policy <input checked="" type="checkbox"/> Ministerial Function		
Owner Support:	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission <u>N/A</u>		

Item/Caption

Consider approval of entering into a professional engineering design and surveying contract with Jones|Carter for the street and utility infrastructure surrounding the Agora Park and Transit Oriented Development in the amount of \$528,450.00; and authorizing the City Manager to execute any necessary documents.

Item Summary/Background/Prior Action

The City of Corinth is moving forward with the Agora Park project and with the wonderful park there must be infrastructure to support the park and the future development surrounding the park. Jones|Carter has been working with the City on a variety of projects and is already working on a project related to the Agora Park area as it relates to floodplain reclamation. Considering these facts, and their working knowledge of the area, it made the most sense to work with Jones|Carter in developing the final engineering design of the infrastructure improvements. The scope and fee are detailed within their proposal. Staff will be available to present the project and answer any questions Council may have at the meeting.

Financial Impact

\$528,450.00 as budgeted, out of CIP funds related to the Agora Park District

Staff Recommendation/Motion

Motion to approve of entering into a professional engineering design and surveying contract with Jones|Carter for the street and utility infrastructure surrounding the Agora Park and Transit Oriented Development in the amount of \$528,450.00; and authorizing the City Manager to execute any necessary documents.



April 5, 2021

Mr. George S. Marshall, PE, CFM
City of Corinth
3300 Corinth Parkway
Corinth, Texas 76208

Re: Professional Engineering and Surveying Services for
Street and Utility Improvements to Serve the
Transit Oriented Development District

Dear Mr. Marshall:

We appreciate the opportunity to present this proposal for the survey and engineering services associated with the above referenced project in the City of Corinth, Texas.

Project Understanding

The Transit Oriented Development (TOD) District is located at the northeast corner of Interstate 35W and Corinth Parkway, consisting of approximately 166 acres along the Denton County Transportation Authority A-Train route in Corinth. The TOD includes a proposed rail station, mixed-use developments, educational and health science facilities, and a large community gathering space proposed as the Commons of Agora.

The City would like Jones|Carter (J|C) to provide survey, design, and plan preparation for the construction of: Main Street (Corinth Pkwy to Walton), Agora Way (North Corinth Street to Main Street), and North Corinth Street (Corinth Pkwy to Walton), including a single-lane roundabout at Walton. Proposed paving improvements will include 27' B-B standard street widths, head-in parking in designated areas, raised intersections with decorative paving, back-of-curb sidewalks, and left turn lanes from Corinth Parkway to Main Street and to North Corinth Street. Proposed utility improvements will include water, sewer, and drainage systems, as well as street lighting design. Bollards and streets sign posts will be coordinated to match the branded and selected light posts.

Based on our understanding of the City's needs and the project area characteristics, we prepared the following scope of services and fee proposal for your consideration.

Scope of Basic Services

1) Project Management and Stakeholder Coordination

Jones|Carter will provide the following supporting management and coordination efforts associated with the project as required to successfully execute the Tasks included in this portion of the project. Due to the variable quantity of the coordination efforts, the estimated number of meetings below are intended as an assumption for level of effort. This task will be performed on an hourly reimbursable basis to ensure the necessary time to deliver the project.



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- a. Prepare and maintain project schedule and provide written weekly project updates to the City to include design progress, critical path needs, and upcoming deadlines. Monthly invoicing will also be provided.
- b. Identify critical potential risk factors, consequences, and mitigation measures to discuss at kickoff.
- c. Process project deliverables through Jones|Carter Quality Management Plan for internal reviews. Provide quality control documentation to City.
- d. Coordinate with known franchise utility companies identified by 811-Call results, including meetings with individual utility companies, submittals of plans to utility companies followed by regular status reports and requests for information from utility company representatives. Scope of work does not include Subsurface Utility Engineering (SUE) services.
- e. Coordinate with Denton Municipal Electric for removal of existing power poles and relocation of lines to be buried underground.
- f. Prepare for and attend (in-person or by conference) the following anticipated or potential meetings, and be available for additional communication:
 - Two site visits.
 - Four virtual meetings with City: project kickoff, review of 30-60-90 percent design reviews.
 - Twelve bi-weekly virtual meetings with TBG to coordinate design with adjacent Agora project.
 - Two virtual meetings with LAN representatives to coordinate efforts related to train station.

2) Schematic Phase

The purpose of this task is for the Engineer to establish street geometric alignments, desired on-street parking areas, sidewalks, and necessary initial right-of-way widths for each street corridor. The schematic design phase shall include the following:

- a. Kickoff meeting with City, including a project site visit.
- b. Identify and seek to obtain data for existing conditions in the project area such as: record drawings, utilities, master plans, tree protection requirements, design standards, rights-of-way, and easements.
- c. Prepare a 30% schematic design plan view of roadway geometry, with existing ground profile view on a scroll plot with topographic survey information.
- d. Prepare a Roundabout Conceptual Analysis, including plan view alignment options for two designated design vehicles for a Roundabout at North Corinth Street and Walton Drive. Engineer will incorporate sidewalks and desired roadway widths inside the existing ROW. Engineer will perform Vehicle Tracking, Fastest Path and Sight Distance Analysis at the roundabout.
- e. Discuss typical sections for each roadway with the City to include cross slopes, crowns, and valleys to accommodate parking and drainage. Prepare recommended widths for the rights-of-way of each street, to include driving main lanes, head-in or parallel parking, sidewalks, and parkway space for lighting and signage, as well as potential easement locations for franchise utilities. Pavement sections will be developed using City standards or recommendations from geotechnical report.
- f. Prepare 30% schematic level plan view of the proposed two left turn lanes off Corinth Parkway onto Main Street and North Corinth Street.
- g. Prepare 30% schematic level water and sewer layouts, and storm drain layout.



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- h. The City shall provide the Engineer with its electronic sewer model so Engineer may verify capacity of the downstream lines, specifically the existing 8-inch lines for approximately 2,300 LF to an existing 18-inch sewer line located near the southwest corner of Corinth Community Park. City shall also provide record drawings for the subject downstream lines. Sewer modeling shall be paid for as a Special Service.
- i. The City staff shall review and meet with the Engineer to provide additional comment / directives.

3) Design Phase

The purpose of this task is for the preparation of construction plans of the project. The design phase shall include the following:

- a. General Design: Cover Sheet, Index, General Notes, Bid Schedule, and Technical Specifications.
- b. Removal Plans: prepare layouts to delineate and quantify the limits of removals for pavement, drainage, and miscellaneous items.
- c. Roadway and Drainage Plans: prepare typical sections, horizontal alignment sheets, quantities, roadway plan & profile drawings, sidewalks, storm sewer, drainage area map, utility adjustments, and standard details. Roadway cross-sections will be reviewed at 50' intervals and provided in the construction plans if needed.
- d. A drainage analysis of the existing and proposed areas that drain to and along Main, North Corinth, and Agora will be performed. Runoff calculations will be prepared for inlet placement and sizing, as well as calculations for the proposed underground systems.
- e. Drainage calculations and design of the storm drain trunk line between Walton and Corinth Parkway are not part of this scope but will be developed under the previous Jones|Carter contract dated February 3, 2021.
- f. Water and Sewer Plans: prepare horizontal and vertical alignment plan/profile sheets, quantities, and details. Design and plan preparation of offsite water/sewer lines is not included in this scope of work.
- g. Erosion Control Plan: prepare base map for the limits of the project along with standard details for the contractor to utilize in his preparation of the Storm Water Pollution Prevention Plan.
- h. Traffic Control Plans (TCP): prepare a TCP to include all geometry required to facilitate the movement of vehicles through the work zone at a reduced speed limit as well as work zone typical sections, lane markings, and standard details.
- i. Signing & Pavement Markings: Prepare marking layouts, quantities, sign types, and standard details.
- j. The plans will include sidewalk and barrier free ramp layout, standard details, specifications, and notes. Design of retaining walls along the sidewalk or property lines is not included in the scope.
- k. Design of electrical street lighting plan shall also be included.
- l. Submittals shall include:
 - i. 60% preliminary design submittal including the following pdf files:
 - a. Drawings (2 copies 11x17) and opinion of probable construction cost
 - ii. 90% and Final design submittal including the following pdf files:
 - a. Drawings (2 copies 11x17) and opinion of probable construction cost
 - b. Technical specifications and bidding documents



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4) Bid Phase

Engineer shall assist the City staff in advertisement of the project for bids. Cost of advertisement shall be responsibility of the City. Engineer shall provide final construction plans and bid documents to plan rooms and online bidding services. Engineer shall perform the following on an hourly reimbursable basis:

- a. Assist the City with a pre-bid meeting, including preparation of agenda and minutes for distribution.
- b. Assist the City with the preparation of addenda to the bid documents and provide answers to bidder questions and interpreting bid documents.
- c. Assist City with the opening and tabulation of the bids and evaluation of low bidder references.

5) Construction Contract Administration

The Engineer shall represent the City in the non-resident administration of the construction contract. Services do not involve continuous or extensive on-site inspection to check or verify means and methods, materials, or manage construction efforts. As such, the engineer cannot provide certification of the completed project beyond the limited observation described below. If Field Project Representation is desired, the Engineer can provide those services on an hourly reimbursable basis. The Engineer shall perform the following on an hourly reimbursable basis:

- a. When directed by Owner, prepare, and circulate standard form EJCDC C-520 Agreement between Owner and Contractor for Construction Contract.
- b. Attend and prepare agenda for pre-construction meeting.
- c. Provide a bi-weekly site visit and provide a written status report (limited to 12 site visits).
- d. Provide written responses to requests for information or clarifications.
- e. Review and approve submittals and shop drawings from the contractor.
- f. Review and approve monthly contractor pay applications based on recommended quantities and progress provided by the City inspector.
- g. Assist the City staff in conducting the final walk-through for general conformance with the design concept and compliance with the contract documents, if requested.
- h. Prepare construction 'record drawings' based upon markups and information provided by the City inspector and the construction contractor, if requested.



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Scope of Special Services

1) Design Survey and Boundary Verification

- a. Obtain most recent boundary survey of the TOD District property from the City.
- b. Field verify property corners to confirm property boundary for use in roadway location and platting.
- c. Any entry issues of additional correspondence shall be the responsibility of the City.
- d. Establish horizontal and vertical survey control points referencing the City of Corinth monument system (NAD 83 and NAVD 88) and make them available to the contractor for use during construction.
- e. Topographic cross section corridors shall be approximately 150' along the proposed alignments of North Corinth, Main, and Agora Streets, and include full topo of Corinth Parkway between the railroad and entrance to City Hall. Survey of the western boundary of the site will include the Denton Katy Trail and will terminate at the edge of railroad ballast.
- f. Locate and tie existing drainage systems of roadside ditches, culverts, storm sewers, outfall flow lines.
- g. Locate and identify trees 6" and larger located within proposed roadway corridors.
- h. Locate and tie the culverts and headwalls under Corinth Parkway and Walton Road.
- i. Tie visible improvements such as fences, driveways, landscape areas, etc.
- j. Tie visible utilities including manholes (with invert information), water valves, water meters, fire hydrants, telephone pedestals, power poles, down conduits, gas line markers, etc.
- k. Underground utilities which are marked in the field by utility locators within project location.
- l. No offsite survey beyond the limits of the described project is included.
- m. Deliver mapping of the project area for design including field data, 1-foot contours, and TIN file.
- n. Establish the apparent right-of-way from found property corners, fences, and boundary survey provided by the City.

2) Property Easement Research and Platting

Easements affecting subject tract will be researched and provided to JC by Courthouse Research Specialists. If the easements have a description and can be drawn, we will show them on the Final Plat. Jones|Carter will prepare the subdivision Final Plat, including rights-of-ways for the proposed roadways. J|C shall verify the property boundary by research existing property records and field locate property corners, as necessary. If modifications are made to the layout after the final plat preparations have begun or additional break-up of the project is requested, this will be considered outside the scope of services and will be paid for as an additional service or modification to the scope. Costs associated with plat processing fees, title reports, and tax certificates are considered additional services if not paid directly by the Client.

3) Easement Preparation

JC can prepare separate instrument easement documents that will include a metes and bounds description and exhibit for any kind of easement required. The easement document will be signed and sealed by an RPLS. The fee listed below is for easements on the subject property we will have already surveyed. The fee for easements on property we have not surveyed will be higher depending on how easy or difficult it will be locating the property corners. Researching and extracting existing easements that would affect the new easements is also an additional cost.



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4) Electrical Engineering Design Services

The electrical scope of work includes the coordination of the Utility power company to install several electrical utility services with power distribution panels at various places to serve the proposed main street light poles at the roundabout, decorative street light poles, general purpose receptacles along the streets, vandalism proof receptacle pedestals for food service vehicles, and irrigation controllers.

All electrical work will conform to the latest national electrical code (NEC) and local codes and standards. Lighting photometric calculation will be provided to ensure that distribution and pollution shall be the requirement of the Illuminating Engineering Society of North America (IES) standards and local city ordinances. Electrical conduits and wires will be installed concealed in underground duct bank and handholes for all lighting, receptacles, and irrigation controllers.

5) Geotechnical Investigation and Report

Jones|Carter will engage a subconsultant for geotechnical-related activities associated with the project.

- A. The geotechnical investigation performed for the project will consist of field and laboratory investigations and an engineering report prepared by a Registered Professional Engineer.
- B. Field Investigations:
 - a. The field investigation will consist of drilling test borings along the proposed alignments of North Corinth, Agora, and Main Streets. The bores will be drilled to depths of 10-15 feet below existing grades. The borings will be backfilled with soil cuttings and any pavement will be patched with asphalt upon drilling completion.
 - b. Subsurface soil samples will be secured with thin-walled tube and/or split spoon samples depending on soil type and consistency. Rock encountered in the borings will be evaluated using the Texas Department of Transportation Penetrometer (TxDOT Cone). All samples will be properly logged, packaged, sealed, and placed in a core box for transportation to the laboratory.
 - c. This proposal assumes that the field work can be performed during normal working hours. Traffic control will consist of flaggers, advanced warning signs and safety cones per TxDOT TCP 2-2B. TxDOT TCP 2-2B will be submitted to the City for approval prior to mobilization. Should unusual soil conditions be encountered, we will notify the city with a recommendation and cost estimate to explore these unusual conditions.
 - d. Texas 811 and the City's Water Department will be contacted to have them locate underground utilities. However, Jones|Carter is not responsible for damage to underground utilities that are not identified prior to drilling.
- C. Laboratory tests will be conducted to classify the soil and to determine the strength of the soil present at the site. Soil classification tests will consist of Atterberg Limits, moisture content and unit weight. The strength of the soil will be evaluated by hand penetrometer test and unconfined compressive strength test. Lime series test and sulfate test will also be performed to address subgrade stabilization. Absorption swell test will be performed to address the potential vertical movement of the in-situ soils.



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- D. Results of field and laboratory testing will be presented in a geotechnical engineering report. The report will include the following:
- a. Plan of borings, boring logs, water level observations, and laboratory test results.
 - b. Estimated measurements of existing pavement thicknesses.
 - c. Subgrade stabilization recommendations.
 - d. Concrete pavement sections recommendations based on traffic data provided by others.
 - e. Comments on the presence and effect of expansive soils on pavement construction will be provided. Alternative methods of reducing any anticipated shrink/swell movements associated with expansive clays will be included for pavement construction, if required.

6) Cultural Resources

As requested by the City of Corinth, and pursuant to the Antiquities Code of Texas and Section 106 of the National Historic Preservation Act. The Engineer shall authorize Cox|McLain Environmental Consulting to perform a desktop review of potential cultural deposits, and to conduct necessary coordination with the Texas Historical Commission and provide documentation of findings to Jones | Carter.

7) Special Survey/Design Services

Our proposal includes the section of Special Services for the benefit of the project schedule to alleviate items that need to be addressed by survey or design that were not known prior to the professional contract. The Engineer shall notify the Owner's representative prior to using these funds.

Information Provided by Client

The following information shall be provided to the Engineer.

- a. Roadway design standards and thoroughfare plans.
- b. Record and as-built drawings for infrastructure in the project area.
- c. Utility and drainage master plans.
- d. Franchise utility contact information for local representatives.
- e. Provide Notice of Entry to all property owners along the route.
- f. TOD District property boundary survey.
- g. Sanitary sewer model and downstream as-builts.
- h. TOD streetscape design standards.

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Project Schedule

The Engineer understands that the necessary construction completion schedule is planned for Fall 2022. Upon Notice to Proceed (NTP), Engineer shall develop with City representatives agreed upon design and City review submittal schedules for 30-60-90 percent plans and targeted advertisement and bid dates. The following baseline schedule is proposed for the project:

Engineering/Surveying NTP	May 3, 2021
Final Plan Submittal (7.5 months ... 6 months design w/6 weeks review)	December 17, 2021
Advertise/Bid/Award (10 weeks)	February 25, 2022
Contractor NTP	March 14, 2022
Substantial Completion (6 months)	September 14, 2022
Final Completion (1 month)	October 14, 2022

Proposed Fees

Engineer shall be compensated as outlined below. Additional Services or Hourly Services shall be performed based on the attached hourly rate schedule.

Basic Services

1. Project Management and Stakeholder Coordination	\$ 41,000.00	(hourly NTE)
2. Schematic Phase	\$ 87,500.00	(lump sum)
3. Design Phase	\$ 205,000.00	(lump sum)
4. Bid Phase	\$ 12,000.00	(hourly NTE)
5. Construction Contract Administration	\$ 42,000.00	(hourly NTE)
Subtotal:	\$ 387,500.00	

Special Services

1. Design Survey and Boundary Verification	\$ 15,000.00	(lump sum)
2. Property Easement Research and Platting	\$ 8,000.00	(lump sum)
3. Easement Preparation (est. 4 @ \$1000)	\$ 4,000.00	(estimated)
4. Electrical Engineering Design Services	\$ 57,500.00	(lump sum)
5. Geotechnical Investigation and Report	\$ 20,750.00	(lump sum)
6. Cultural Resources	\$ 4,500.00	(lump sum)
7. Sewer Modeling	\$ 11,000.00	(hourly NTE)
8. Special Survey/Design Services	\$ 18,000.00	(hourly NTE)
9. Reimbursable Expenses	\$ 2,200.00	(estimated)
Subtotal:	\$ 140,950.00	

TOTAL FEE: \$ 528,450.00



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Special Considerations

This proposal is based on the following special considerations:

1. Hydrologic/hydraulic studies beyond the limits of the project corridor are not included.
2. Environmental evaluations and permitting is not included in the scope of services.
3. Landscape architecture and irrigation design is not included in the scope of services.
4. Design of water/sewer improvements beyond the limits of the project corridor and outside of the existing street rights-of-way are not included.
5. Any review or permit fees associated with the project shall be paid by the Client, or if paid by JC, shall be considered as a reimbursable expense, and are not included in any fees proposed.
6. Hourly Services shall be provided in accordance with the enclosed Schedule of Hourly Rates. These schedules are subject to revision on January 1st of each year.
7. Reimbursable expenses including outside services not performed by JC personnel shall be provided in accordance with the enclosed Schedule of Reimbursable Expenses.
8. Fees do not include sales taxes that may be imposed.
9. Traffic impact analysis and signal design is not included in the scope of services.
10. Subsurface Utility Engineering (SUE) is not included in the scope of services.
11. Presentations to City council or stakeholder groups is not included in the scope of services.

We thank you for the opportunity to submit this proposal. An executed copy of this proposal will serve as our notice to proceed. Please return one copy to our office.

Sincerely,
Jones and Carter, Inc.

Mark J. Holliday, PE
Vice President

_____, PE
Attest, David Leslie, PE

APPROVED BY:

Signature

Name and Title (Printed)

Date

GENERAL CONDITIONS OF AGREEMENT
JONES & CARTER, INC.**AUTHORIZATION FOR WORK TO PROCEED**

Signing of this PROPOSAL/AGREEMENT for services shall be authorization by the CLIENT for Jones & Carter, Inc. (J&C), to proceed with the work, unless stated otherwise in the AGREEMENT.

STANDARD OF PRACTICE

Services performed by J&C under this AGREEMENT will be conducted in a manner consistent with that level of care and skill ordinarily exercised by members of the engineering profession currently practicing in the same locality under similar conditions. No other representation, expressed or implied, and no warranty or guarantee is included or intended in this AGREEMENT, or in any report, opinion, document, etc., prepared by J&C.

BILLING AND PAYMENT

The CLIENT, recognizing that timely payment is a material part of the consideration of this AGREEMENT, shall pay J&C for services performed in accordance with the rates and charges set forth herein. Invoices shall be submitted by J&C on a monthly basis and the full amount shall be due and payable to J&C upon receipt. If the CLIENT objects to all or any portion of an invoice, the CLIENT shall notify J&C in writing within seven (7) calendar days of the invoice date and pay that portion of the invoice not in dispute.

The CLIENT shall pay an additional charge of 0.75% of the invoiced amount per month for any payment received by J&C more than thirty (30) days from receipt of the invoice, excepting any portion of the invoiced amount in dispute and resolved in favor of the CLIENT. Payment thereafter shall be first applied to accrued interest and then to the principal unpaid amount.

OWNERSHIP/REUSE OF DOCUMENTS

All documents, including original drawings, opinions of probable construction cost, specifications, field notes, and data provided or furnished by J&C pursuant to this AGREEMENT are instruments of service in respect to the Project and J&C shall retain ownership and property interest therein whether or not the project is completed. The CLIENT may make and retain copies for the use of the Project by the CLIENT and others; however, such documents are not intended or suitable for reuse by the CLIENT or others on extensions of the Project or on any other Project. Any such reuse without written approval or adaptation by J&C for the specific purpose intended shall be at the CLIENT'S sole risk and without liability to J&C, and the CLIENT shall indemnify and hold harmless J&C from all claims, damages, losses, and expenses including attorney's fees arising out of or resulting therefrom.

COST ESTIMATES

Cost estimates prepared by the engineer represent his best judgment as a design professional familiar with the construction industry. It is recognized, however, that the engineer has no control over the cost of labor, materials, or equipment; over the contractor's methods of determining bid prices; or over competitive bidding or market conditions. Accordingly, the engineer cannot and does not guarantee that bids will not vary from any cost estimate prepared by him.

INSURANCE

J&C agrees to maintain Workers' Compensation Insurance to cover all of its own personnel engaged in performing services for the CLIENT under this AGREEMENT.

LIMITATION OF LIABILITY

J&C agrees to carry out and perform the services herein agreed to in a professional and competent manner. The CLIENT agrees that J&C shall not be liable for error, omission, or breach of warranty (either expressed or implied) in the preparation of designs and drawings, preparation of surveys, designation and selection of materials and equipment for the project, or the performance of any other services in connection with any assignment for which specific authorization is given by CLIENT under this agreement, except to the extent that he fails to exercise the usual degree of care and judgment of an ordinarily prudent engineer in the same or similar circumstances or conditions.

Version 13-08-22

In order for the CLIENT to obtain the benefit of a fee which includes a lesser allowance for risk funding, the CLIENT agrees to limit J&C's liability arising from J&C's professional acts, errors or omissions, such that the total aggregate liability of J&C shall not exceed J&C's total fee for the services rendered on this project.

INDEMNIFICATION

J&C agrees, to the fullest extent permitted by law, to indemnify and hold the CLIENT harmless from any damage, liability, or cost (including reasonable attorney's fees and costs of defense) to the extent caused by J&C's negligent acts, errors, or omissions in the performance of professional services under this AGREEMENT including anyone for whom J&C is legally liable.

The CLIENT agrees, to the fullest extent permitted by law, to indemnify and hold J&C harmless from any damage, liability, or cost (including reasonable attorneys' fees and costs of defense) to the extent caused by the CLIENT'S negligent acts, errors, or omissions and those of his or her contractors, subcontractors or consultants, or anyone for whom the CLIENT is legally liable, and arising from the Project that is the subject of this AGREEMENT.

J&C is not obligated to indemnify the CLIENT in any manner whatsoever for the CLIENT'S own negligence.

CONSEQUENTIAL DAMAGES

The CLIENT shall not be liable to J&C and J&C shall not be liable to the CLIENT for any consequential damages incurred by either due to the fault of the other, regardless of the nature of this fault, or whether it was committed by the CLIENT or J&C employees, agents, or subcontractors. Consequential Damages include, but are not limited to, loss of use and loss of profit.

TERMINATION

This AGREEMENT may be terminated with or without cause at any time prior to completion of J&C's services either by the CLIENT or by J&C, upon seven (7) days written notice to the other at the address of record. Termination shall release each party from all obligation of this AGREEMENT except compensation payable to J&C for services rendered prior to Termination. Compensation payable at termination shall include payment for services rendered and costs incurred up to the termination date in accordance with J&C's currently effective hourly rate schedule and direct expense reimbursement policy.

SUCCESSORS AND ASSIGNS

CLIENT and J&C each binds himself, and his partners, successors, executors, administrators, and assigns to the other party of this AGREEMENT and to partners, successors, executors, administrators, and assigns of such other party in respect to all covenants of this AGREEMENT. Neither CLIENT nor J&C shall assign, sublet, or transfer his interest in this AGREEMENT, without written consent of the other. Nothing contained herein shall be construed as giving any rights or benefits hereunder to anyone other than the CLIENT and J&C.

SEVERABILITY

Any provision or part of the AGREEMENT held to be void or unenforceable under any law or regulation shall be deemed stricken and all remaining provisions shall continue to be valid and binding upon the CLIENT and J&C, who agree that the AGREEMENT shall be reformed to replace such stricken provision or part thereof with a valid and enforceable provision that comes as close as possible to expressing the intention of the stricken provision.

SPECIAL PROVISIONS

The amount of an excise, VAT, gross receipts, or sales tax that may be imposed shall be added to the compensation as stated in the proposal.

CONTROLLING LAW

This AGREEMENT shall be governed by the laws of the State of Texas.

SCHEDULE OF HOURLY RATES

Effective January 2021 - Subject to Annual Revision in January 2022

ENGINEERING PERSONNEL

Design Engineer I	\$110
Design Engineer II	\$130
Professional Engineer I	\$150
Professional Engineer II	\$170
Professional Engineer III	\$195
Professional Engineer IV	\$225
Professional Engineer V	\$240
Practice Leader	\$260

ELECTRICAL ENGINEERING PERSONNEL

Electrical Design Engineer I	\$120
Electrical Design Engineer II	\$140
Electrical Professional Engineer I	\$165
Electrical Professional Engineer II	\$180
Electrical Professional Engineer III	\$200
Electrical Professional Engineer IV	\$235
Electrical Professional Engineer V	\$250

CONSTRUCTION PERSONNEL (Includes Mileage)

Construction Manager I	\$110
Construction Manager II	\$130
Construction Manager III	\$150
Construction Manager IV	\$170
Construction Manager V	\$195
Field Project Representative I	\$ 65
Field Project Representative II	\$ 90
Field Project Representative III	\$110
Specialist Field Project Representative I	\$120
Specialist Field Project Representative II	\$135
Senior Specialist Field Project Representative	\$150

SPECIALIST

Specialist I	\$100
Specialist II	\$125
Specialist III	\$195
Specialist IV	\$240

PLANNING PERSONNEL

Planner I	\$ 95
Planner II	\$125
Planner III	\$155
Planner Manager	\$225

DESIGNERS/DRAFTING PERSONNEL

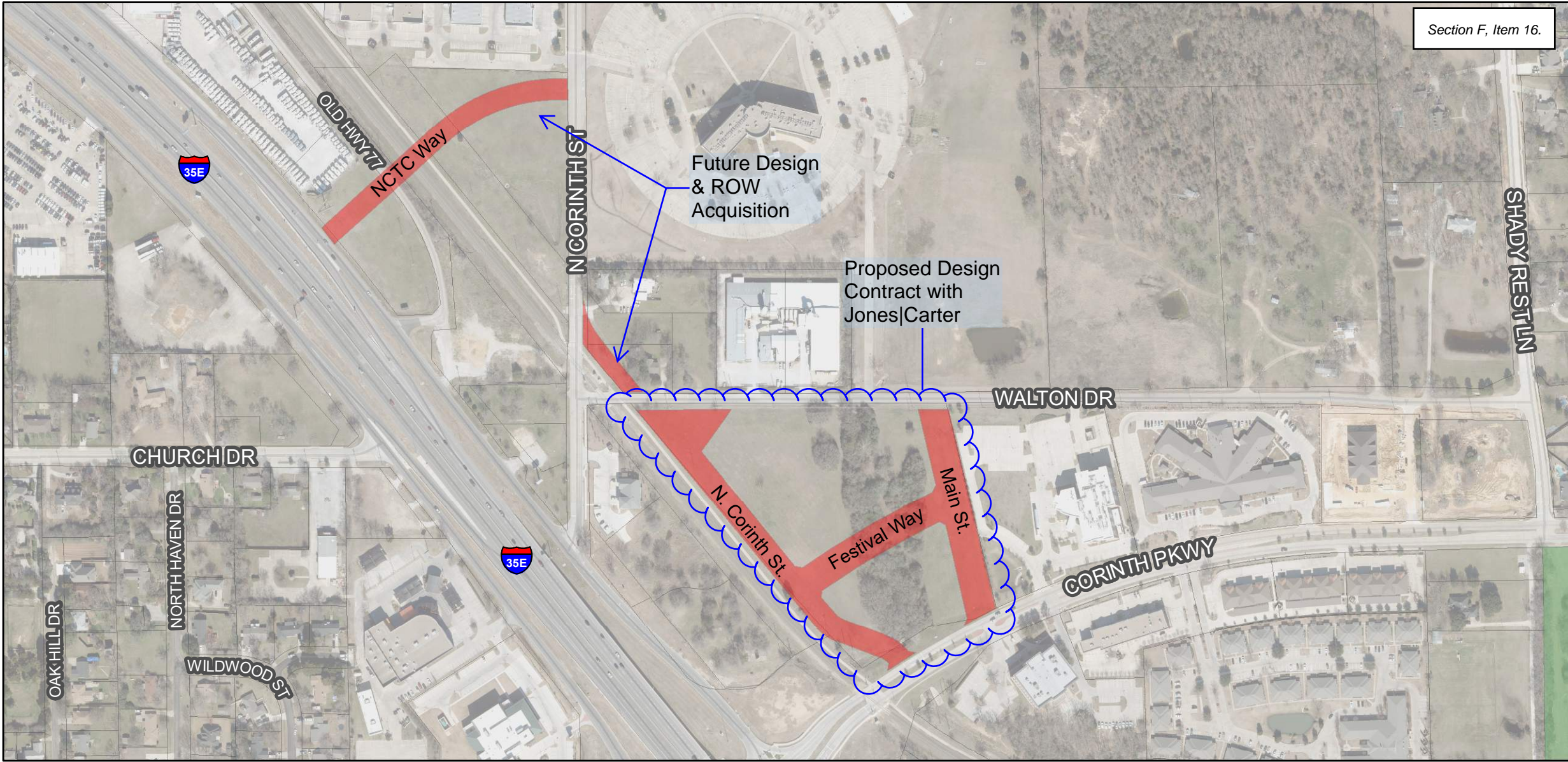
CAD I	\$ 60
CAD II	\$ 85
CAD III	\$100
Designer I	\$100
Designer II	\$120
Designer III	\$140
GIS I	\$ 85
GIS II	\$110
GIS III	\$145
GIS IV	\$180

SURVEYING PERSONNEL

1-Person Field Crew	\$130
2-Person Field Crew	\$180
3-Person Field Crew	\$220
4-Person Field Crew	\$250
Scanner Equipment	\$100
Survey Technician I	\$ 85
Survey Technician II	\$ 95
Project Surveyor I	\$ 90
Project Surveyor II	\$105
Project Surveyor III	\$125
Project Surveyor IV	\$150
Chief of Survey Crews	\$110
Certified Photogrammetrist	\$140
Remote Pilot I	\$ 85
Remote Pilot II	\$115
Remote Pilot III	\$150
Visual Observer	\$ 85
LiDAR Tech	\$ 95
Aerial Tech	\$ 80
Registered Professional Land Surveyor	\$170
Survey Manager	\$195

OFFICE PERSONNEL

Engineer's Assistant I	\$ 60
Engineer's Assistant II	\$ 75
Engineer's Assistant III	\$ 85
Admin I	\$ 60
Admin II	\$ 80
Admin III	\$105
Assistant Controller/ Chief Accountant	\$120
Corporate/Project Accountant	\$100



CITY OF CORINTH
Staff Report

Meeting Date:	4/15/2021	Title:	The Commons at Agora Masterplan
Strategic Goals:	<input checked="" type="checkbox"/> Citizen Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development		
Governance Focus:	<i>Sub-Ends:</i> <input checked="" type="checkbox"/> Growing Community <input checked="" type="checkbox"/> Conveniently located <input checked="" type="checkbox"/> Delivers Outstanding Service <input checked="" type="checkbox"/> High-Quality Retail <input checked="" type="checkbox"/> High-Quality Restaurants <input checked="" type="checkbox"/> High-Quality Entertainment		
	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Customer <input type="checkbox"/> Stakeholder		
	<i>Decision:</i> <input type="checkbox"/> Governance Policy <input checked="" type="checkbox"/> Ministerial Function		
Owner Support:	<input checked="" type="checkbox"/> Planning & Zoning Commission <input checked="" type="checkbox"/> Economic Development Corporation <input checked="" type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input checked="" type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission		
	<p><u>Although none of the Owners provided a recommendation on the Commons at Agora, the Owners did provide substantial input in the design of the open space.</u></p>		

Item/Caption

Consider and act on approval of a masterplan prepared by TBG Partners for designing and constructing the Commons at Agora.

Item Summary/Background/Prior Action

On January 14, 2021, the City Council approved a contract for architectural services with TBG Partners to craft a masterplan for the Corinth’s signature open space --- the Commons at Agora. After eliciting input and feedback from community stakeholders, TBG Partners delivered a presentation to the City Council on April 1, 2021. During their presentation, TBG Partners discussed architecture and landscape architecture, programming and other functional elements needed to create an aesthetically pleasing and attractive open space to spur investment, create a strong economic and physical identity for Corinth and make positive contributions to the urban fabric. The masterplan is consistent with the community’s vision; and, if approved, will guide the construction of the Commons at Agora while focusing infill and redevelopment proposals in adjacency.

Further, staff recommends the City pursue a contract manger at risk (CMAR) in the design phase and construction.

Applicable Owner/Stakeholder Policy

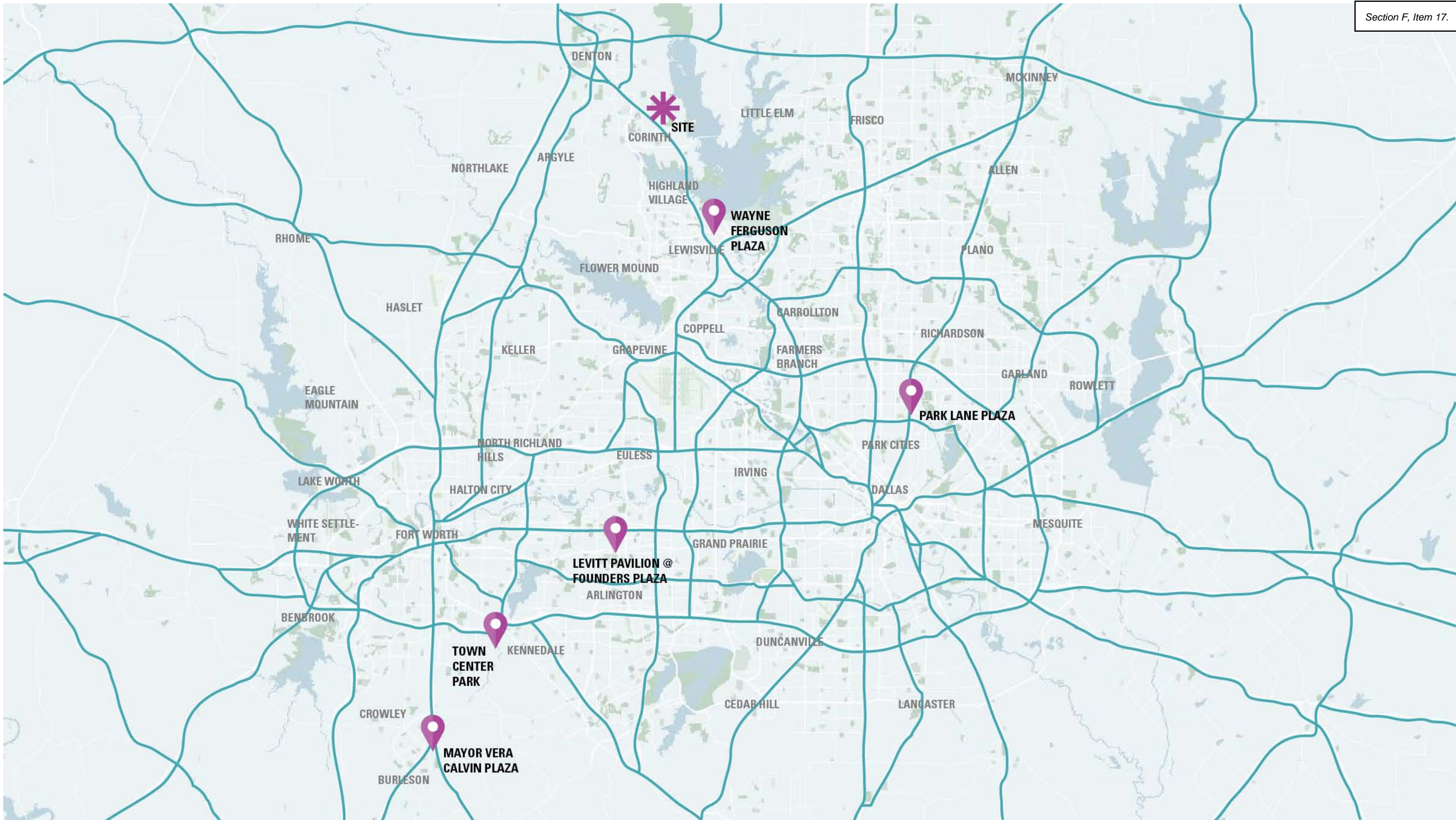
- Strategic Plan (2018).
- Tax Increment Reinvestment Zone No. 2 (2019).
- Comprehensive Plan (2020).

Staff Recommendation/Motion

Staff recommends approval of the masterplan as presented and authorizes the staff to solicit proposal for a construction manager at risk.

Commons at **AGORA** creating place from space





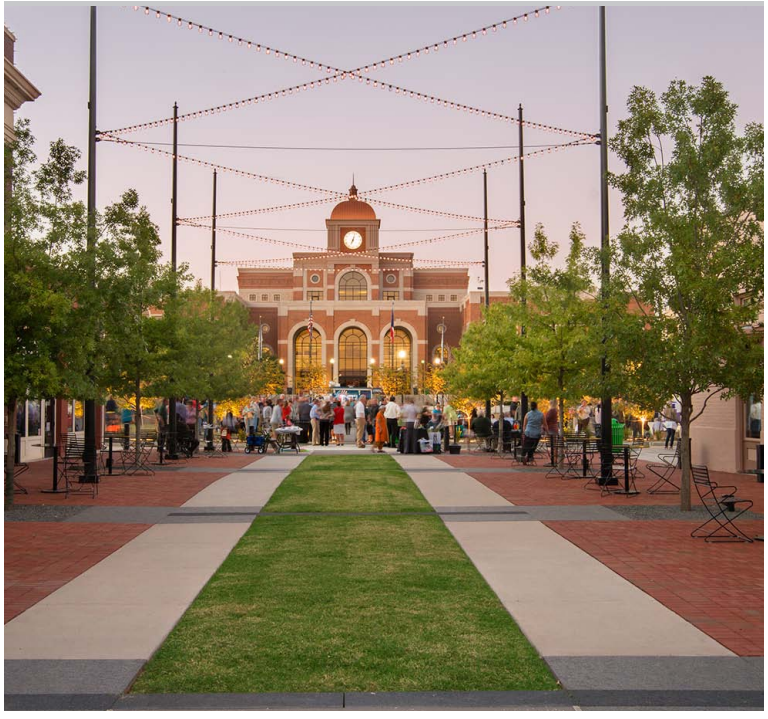
benchmarking map

Commons at Agora

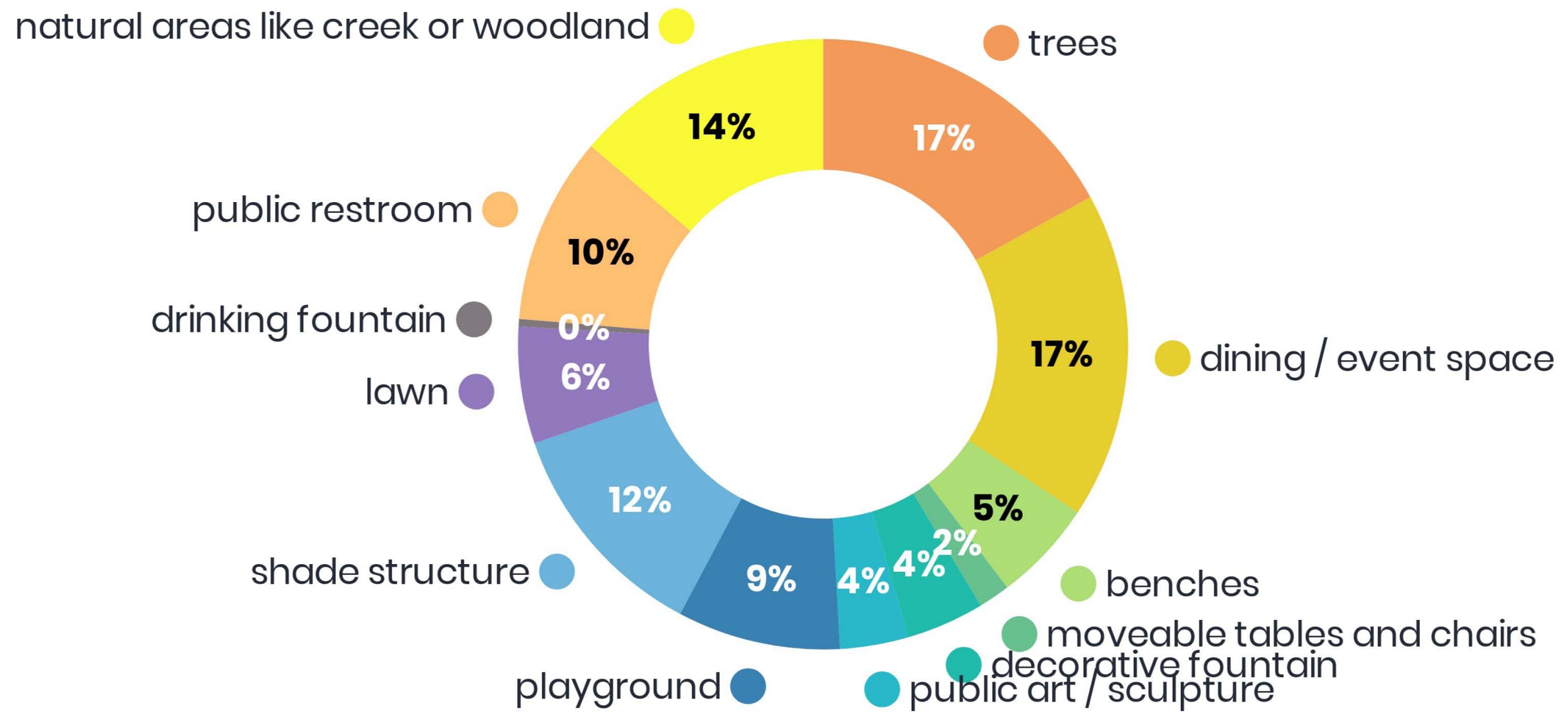
Corinth, Texas
04/15/2021

Desirable Elements

Connections to commerce and nature
Interactive water feature.
Iconic district structure or sculpture



What design elements are important?



Guiding Principles of Place

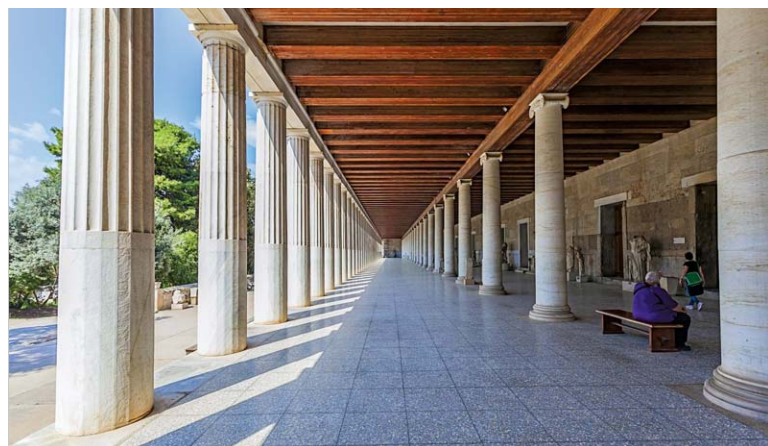
A place for gathering, recreation and commerce
A celebration of natural features
A reference to classical forms



AGORA

Guiding Principles of Architecture

Community identity through classical modernism in architecture and design elements



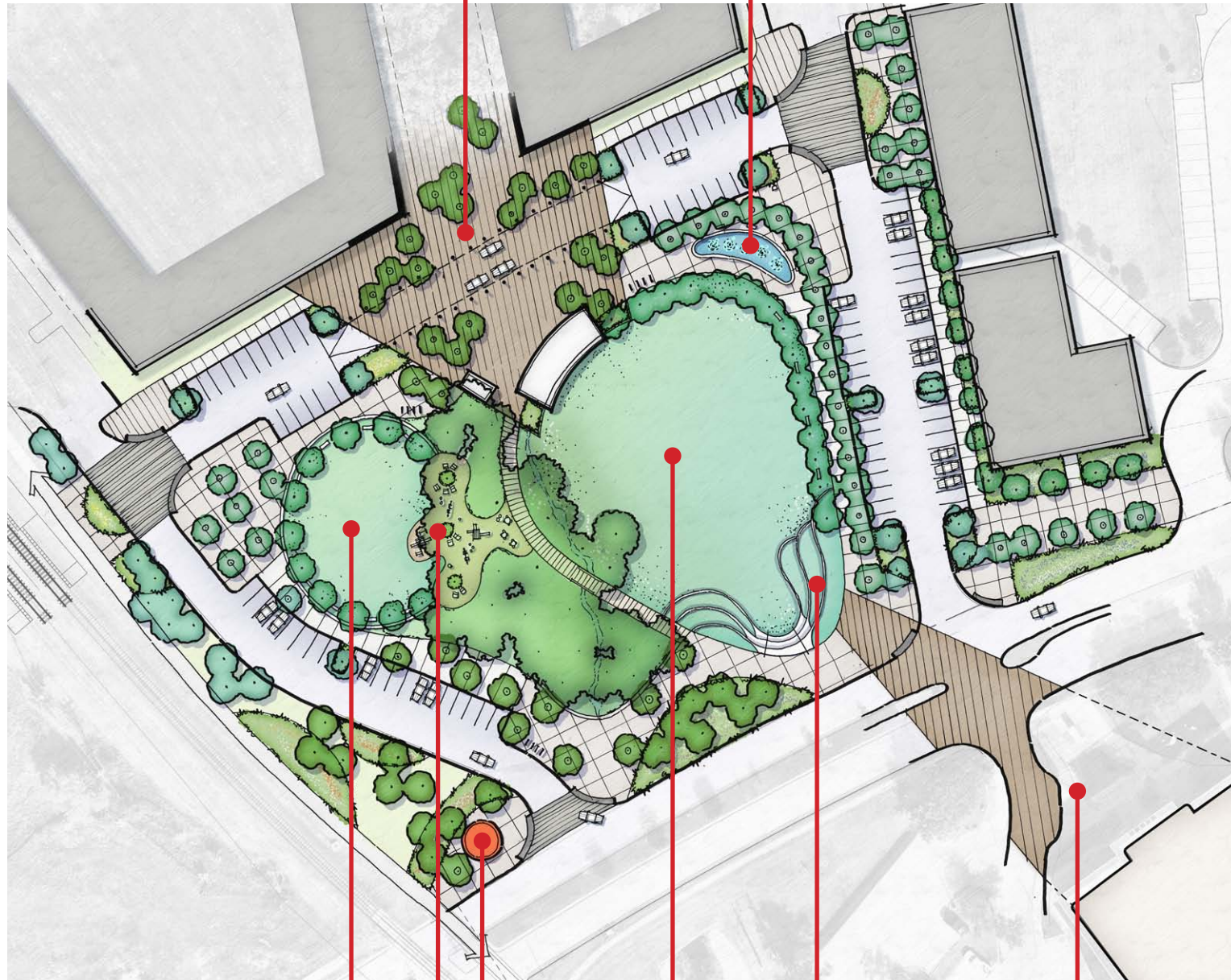
AGORA

guiding principles of place
Commons at Agora

Corinth, Texas
04/15/2021

assembly

Pedestrian connection across Agora Way
Water feature



Smaller lawn overlook the play area

Entry monument

Terrace seating

Visual connection to City Hall

Shaded play area

Large flex lawn

peace

Entry monument
Linear plaza to activate Agora Way
Pavilion seating



Civic multi-use facility

Corinth Parkway Buffer

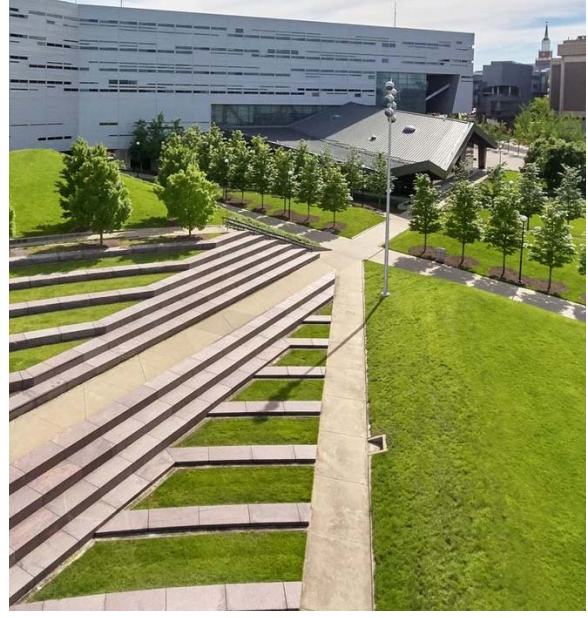
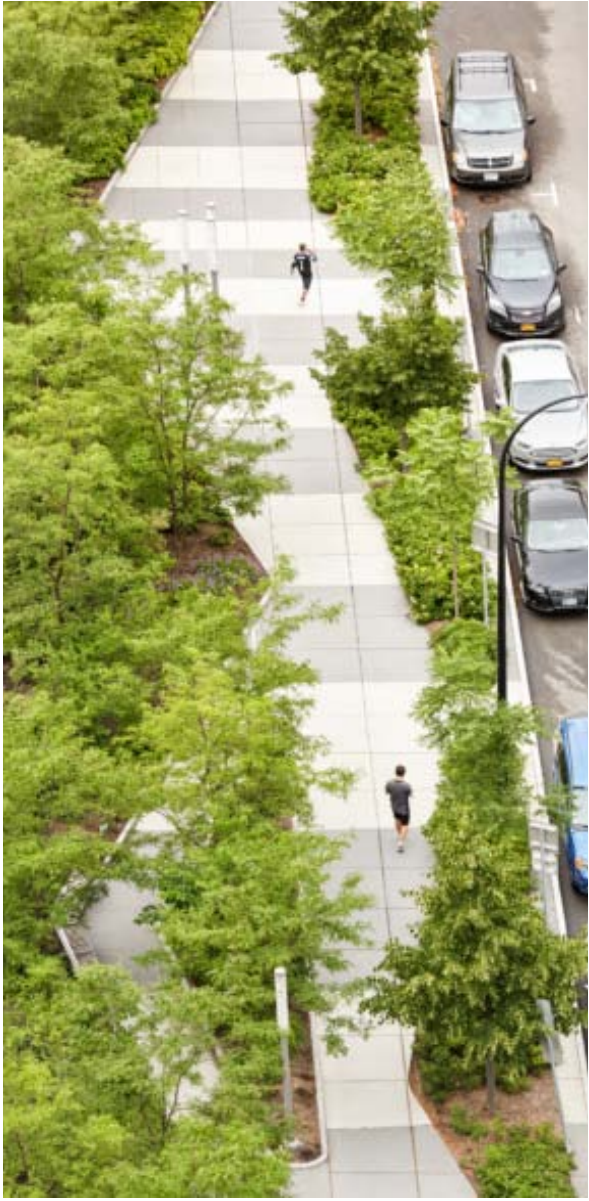
East Pedestrian Connection

Access to nature

concept plan feedback

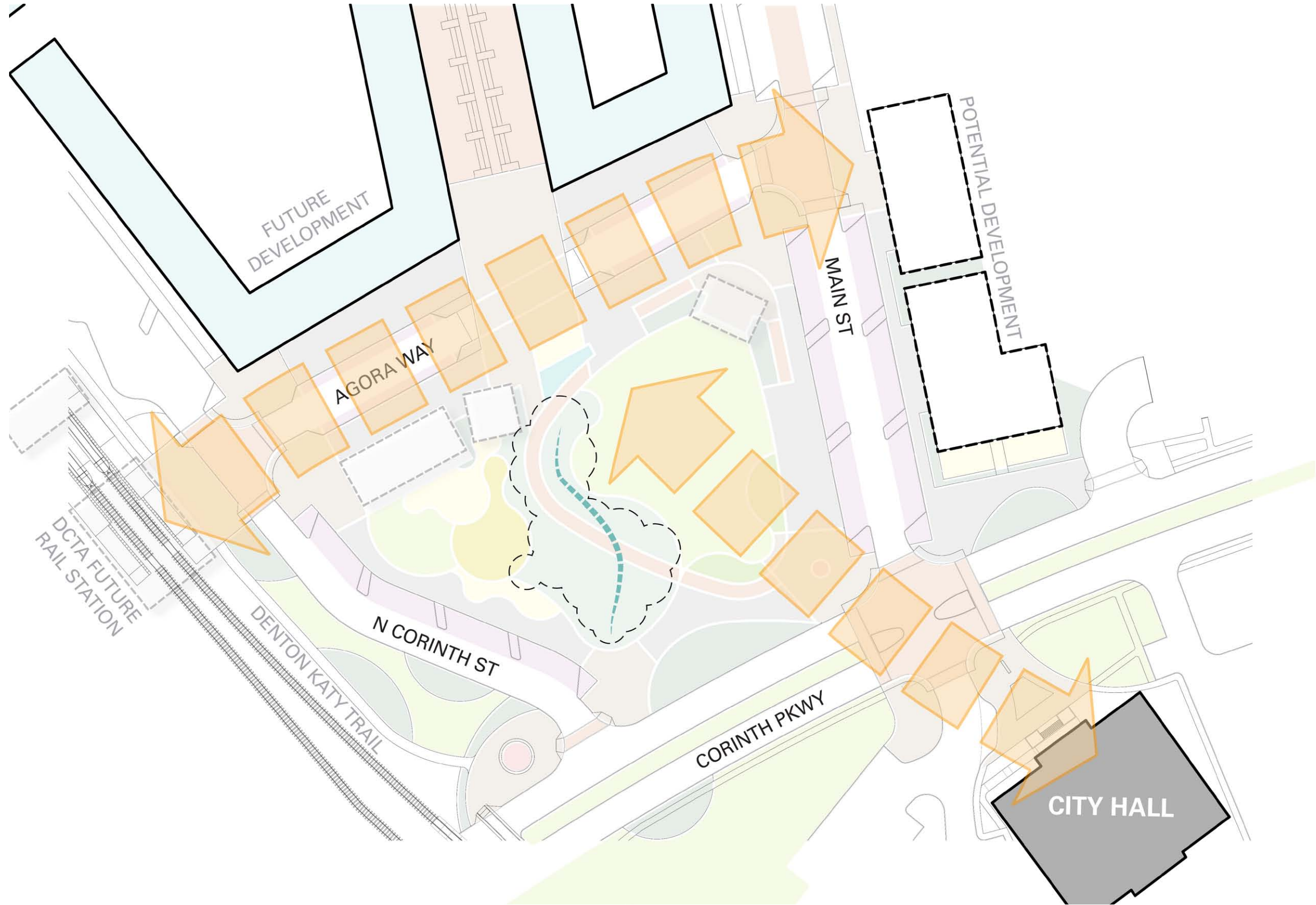
Commons at Agora

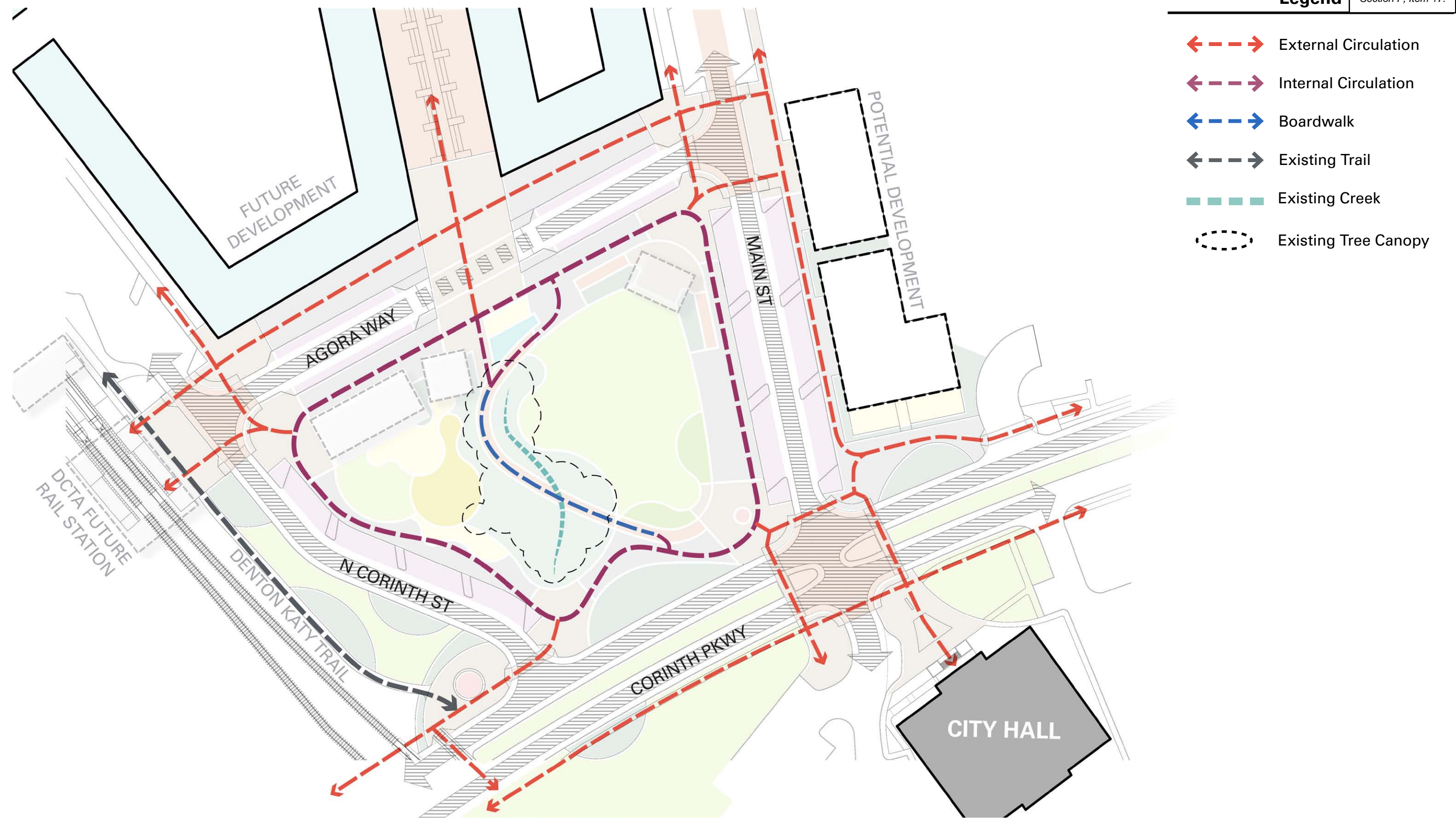
Corinth, Texas
04/15/2021

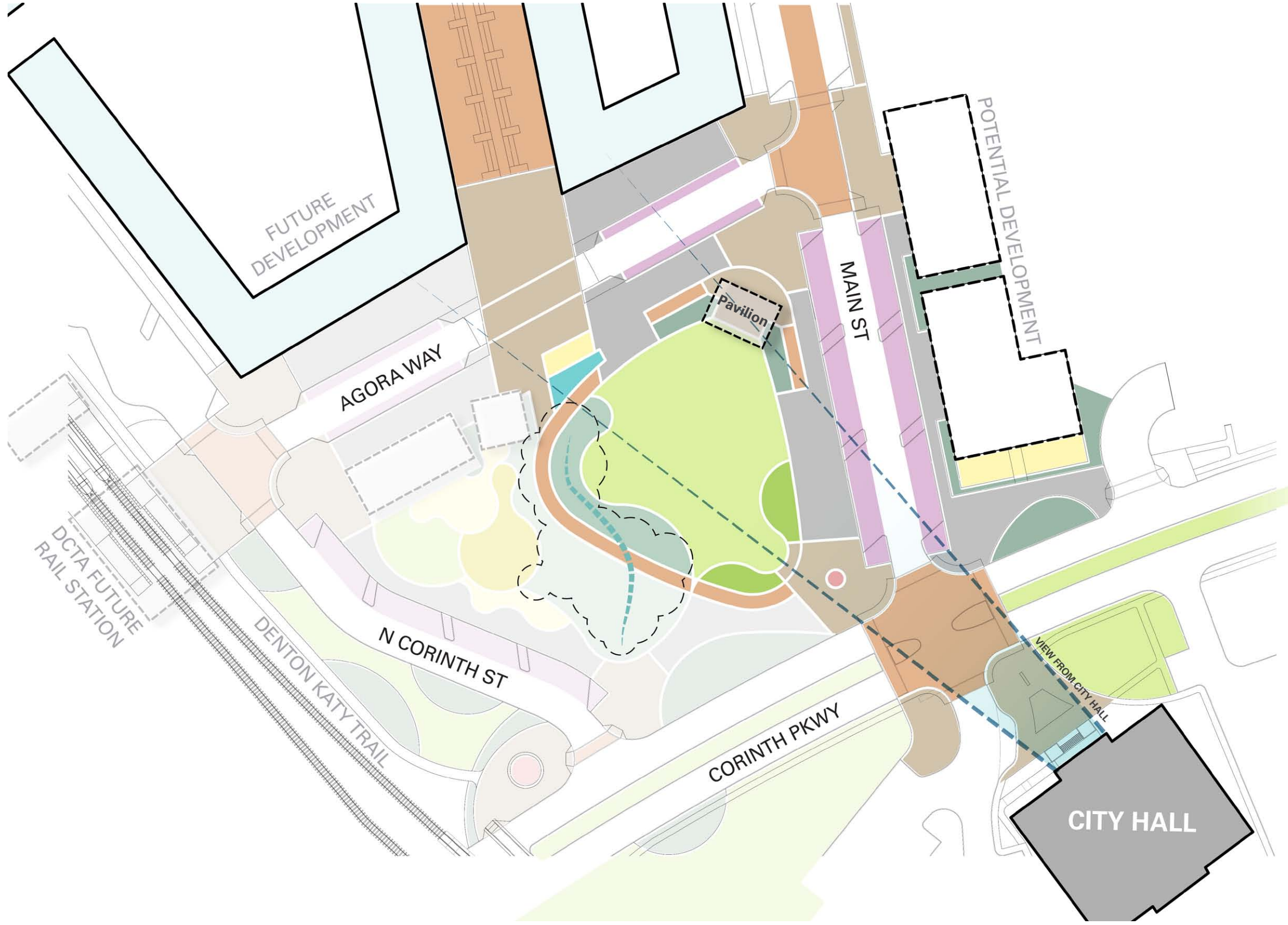


The Commons at **AGORA**
Commons at Agora

Corinth, Texas
04/15/2021



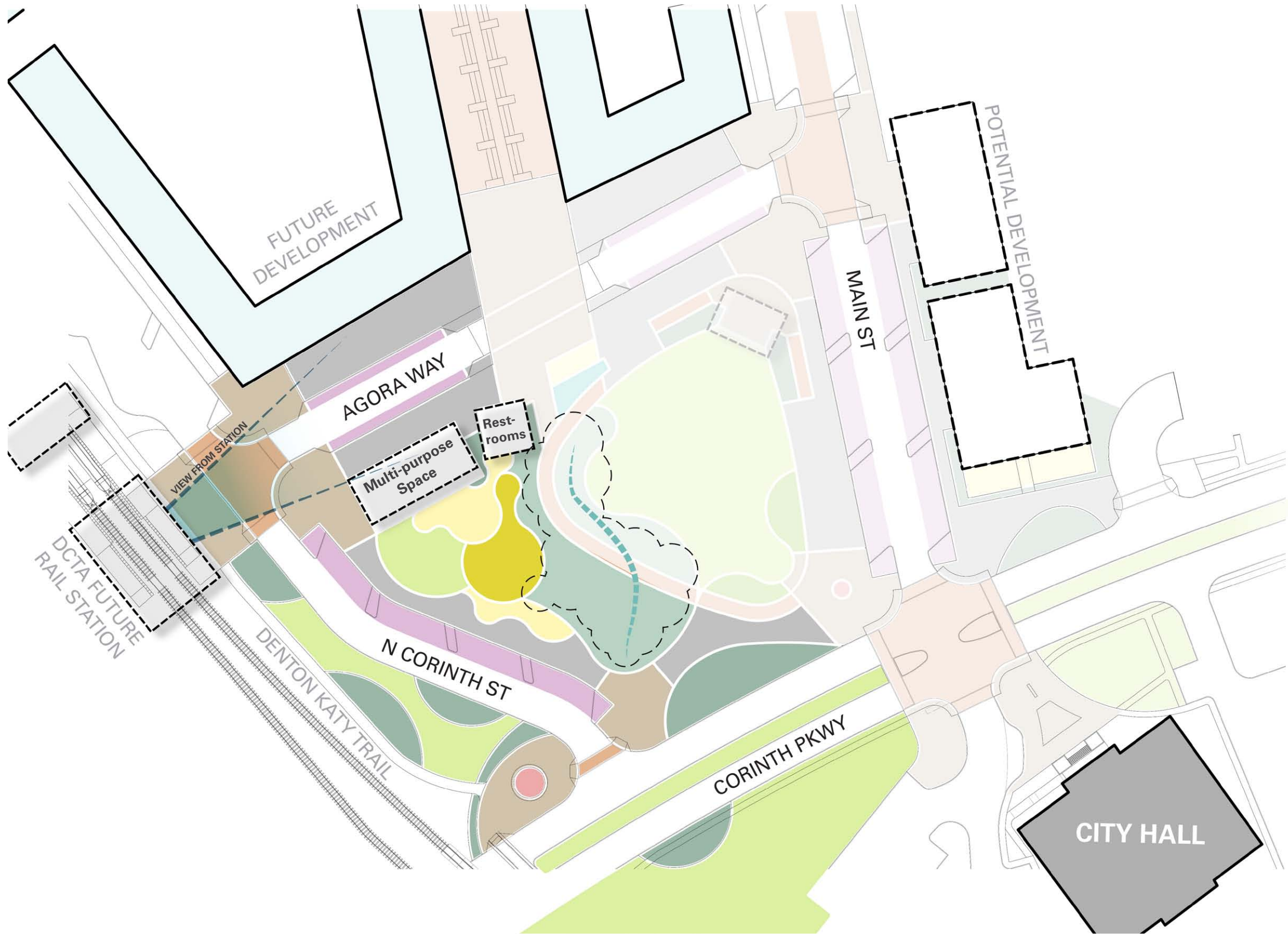




- Art
- Lawn (21,460 sf)
- Terrace Seating
- Natural Preserve
- Planting
- Plaza
- Enhanced Walk
- Streetscape
- Water Feature
- Parking (52 spots)
- Outdoor Seating

master plan - park program diagram (east)
 Commons at Agora

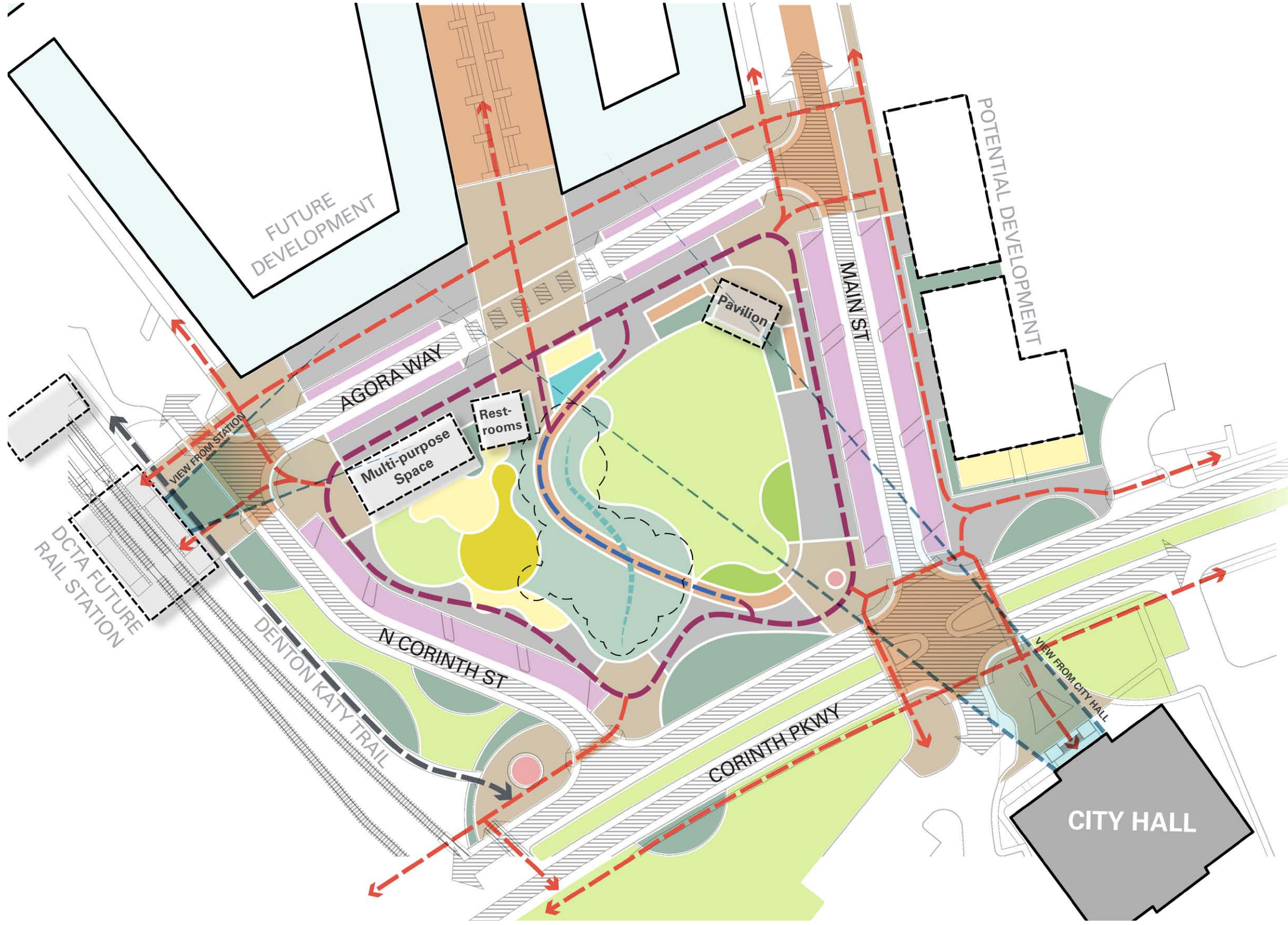
Corinth, Texas
 04/15/2021



- Art
- Lawn
- Natural Preserve
- Planting
- Plaza
- Enhanced Walk
- Streetscape
- Outdoor Seating
- Play
- Parking (34 spots)

master plan - park program diagram (west)
 Commons at Agora

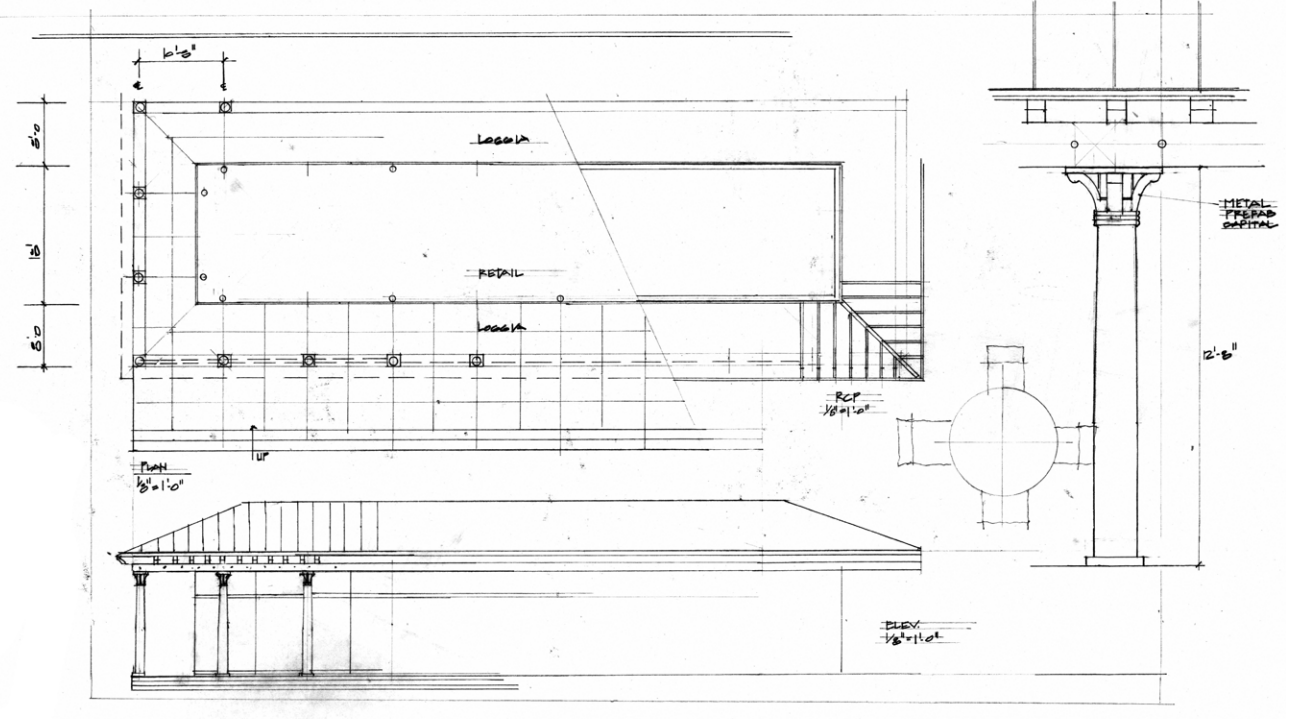
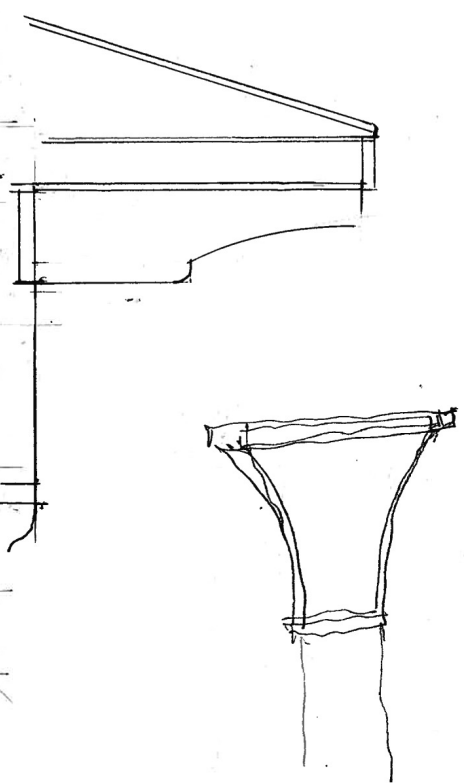
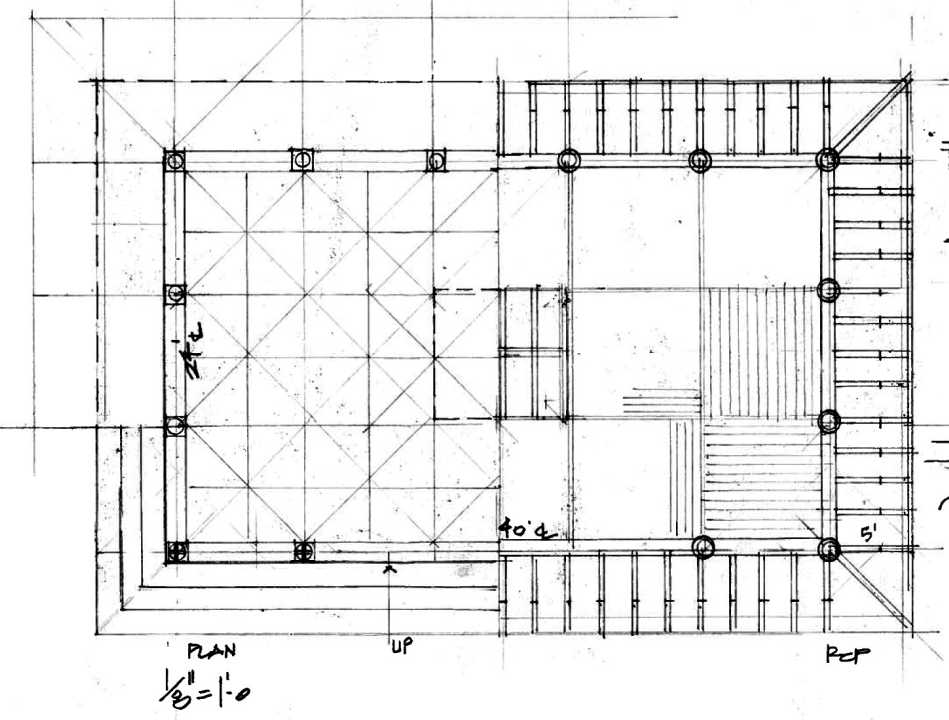
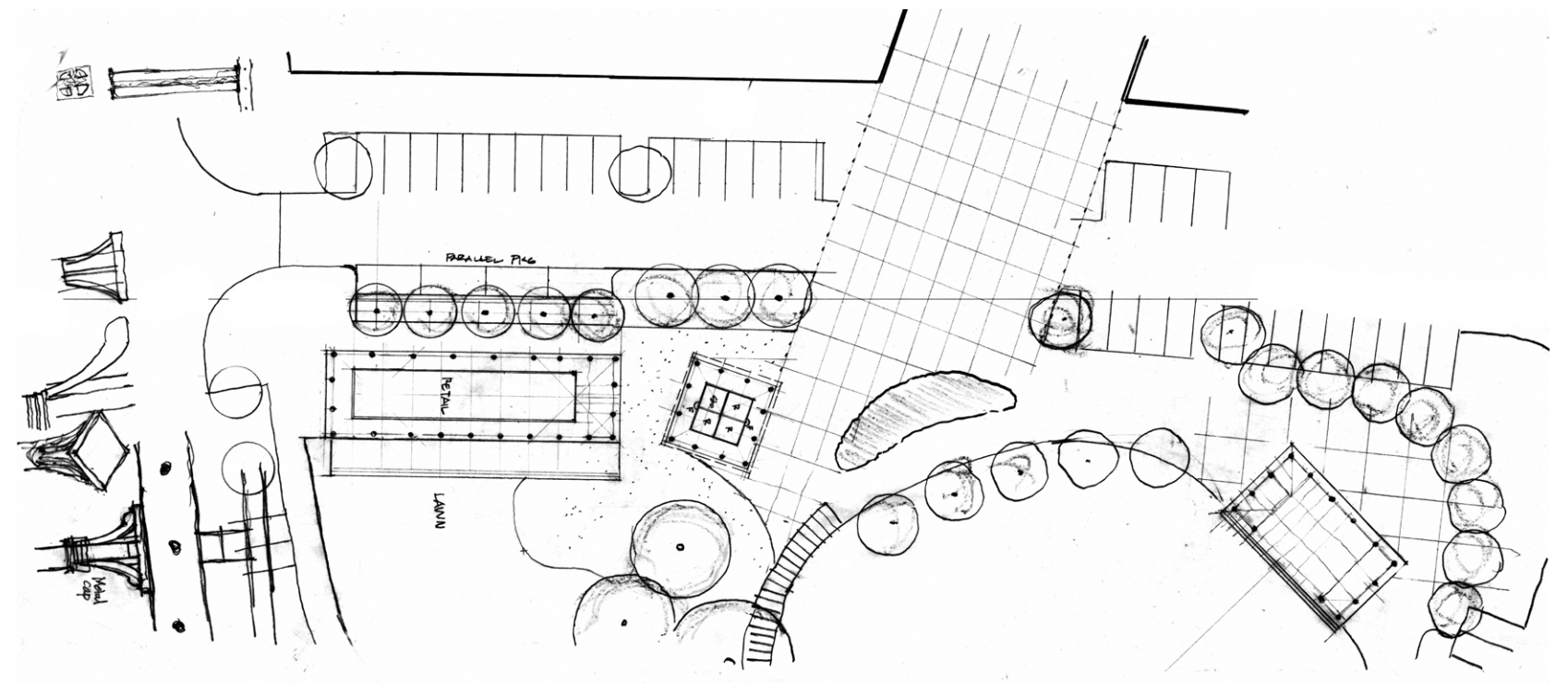
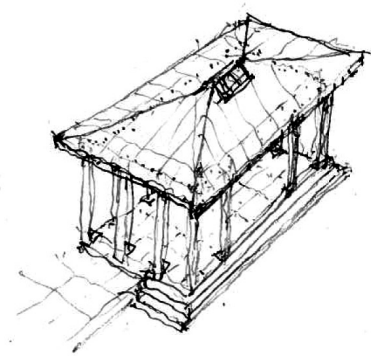
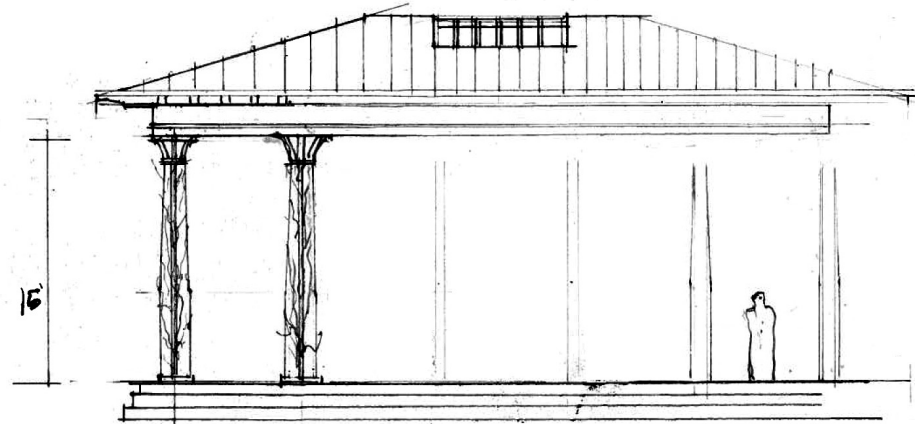
Corinth, Texas
 04/15/2021



- Art
- Lawn
- Terrace Seating
- Natural Preserve
- Planting
- Plaza
- Enhanced Walk
- Streetscape
- Water Feature
- Parking (86 spots)
- Outdoor Seating
- Play
- Existing Creek
- Existing Tree Canopy
- External Circulation
- Internal Circulation
- Boardwalk
- Existing Trail

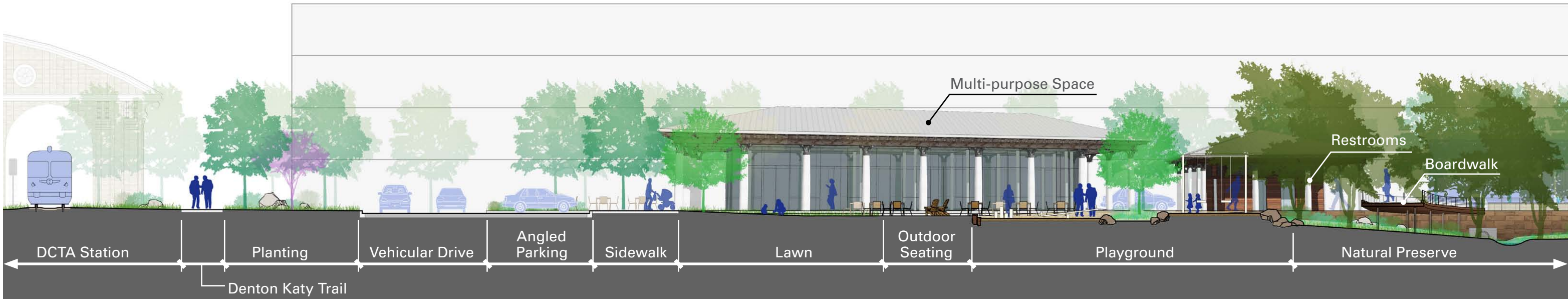
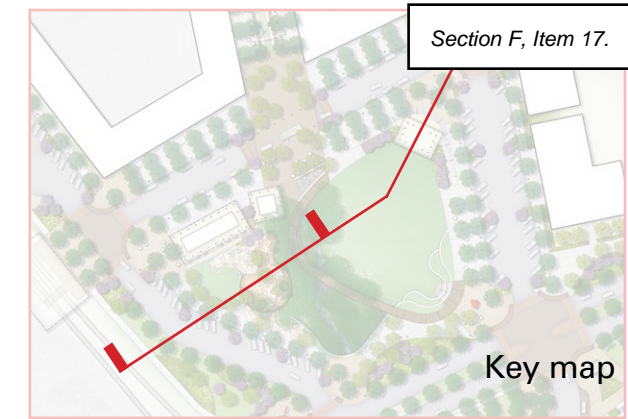
master plan - park program diagram
Commons at Agora

Corinth, Texas
04/15/2021

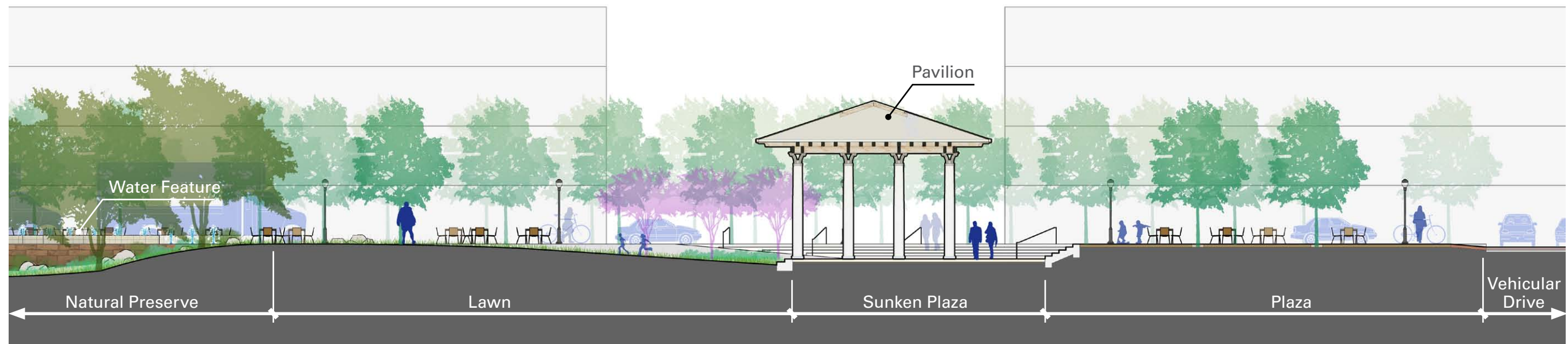


- 01 ----- Gateway plazas
- 02 ----- Large event lawn
- 03 ----- Interactive fountain / splash pad
- 04 ----- Pavilion
- 05 ----- Restrooms
- 06 ----- Multi-purpose Space
- 07 ----- Children's play area
- 08 ----- Boardwalk pathway
- 09 ----- Small event lawn
- 10 ----- Outdoor seating
- 11 ----- Terraced seating
- 12 ----- Pedestrian connection
- 13 ----- Community art





Enlargement A



Enlargement B

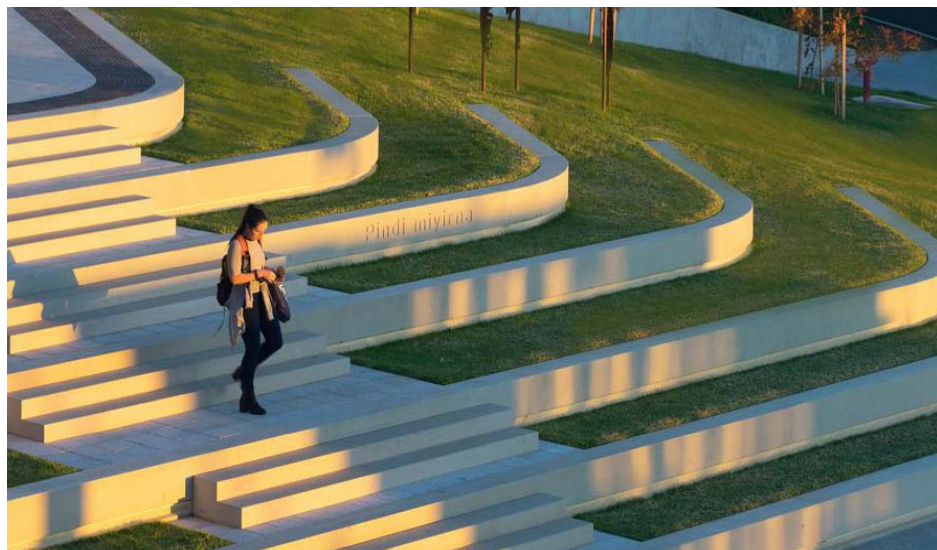
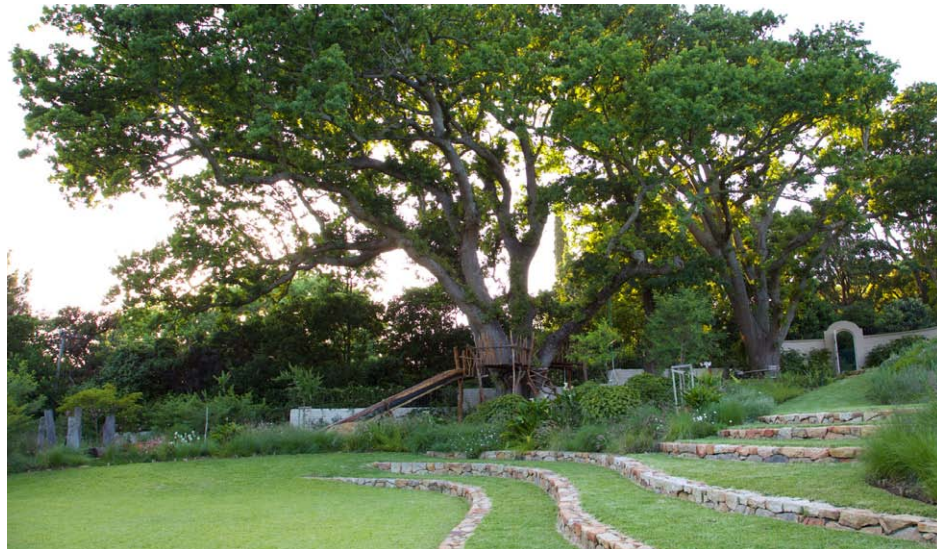
master plan - site section
 Commons at Agora

Corinth, Texas
 04/15/2021



master plan - perspective
Commons at Agora

Corinth, Texas
04/15/2021



master plan enlargement - entry plaza across City Hall
Commons at Agora

Corinth, Texas
04/15/2021



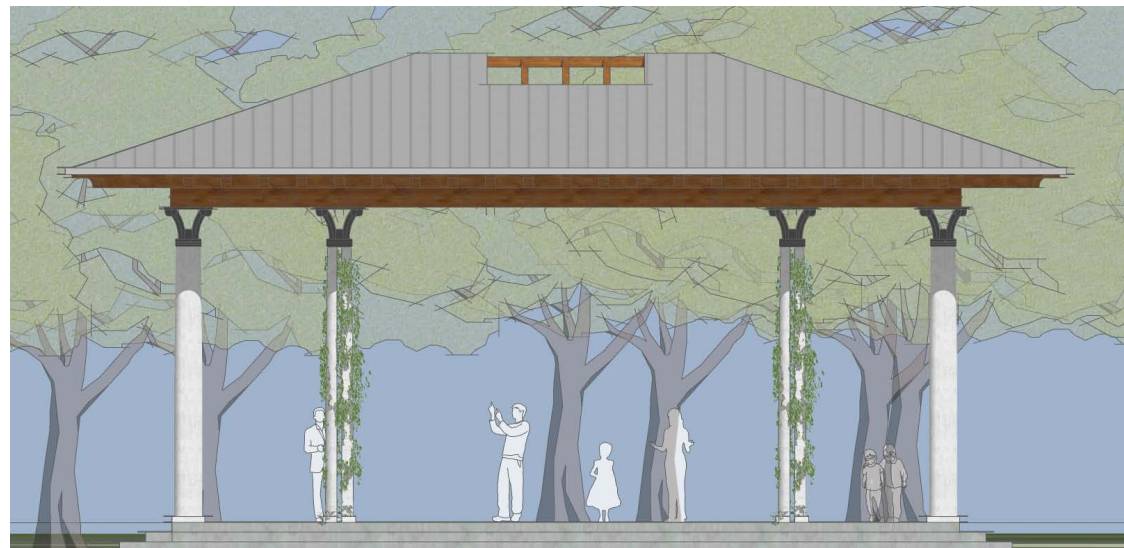
master plan enlargement - *entry plaza across City Hall*
Commons at Agora

Corinth, Texas
04/15/2021



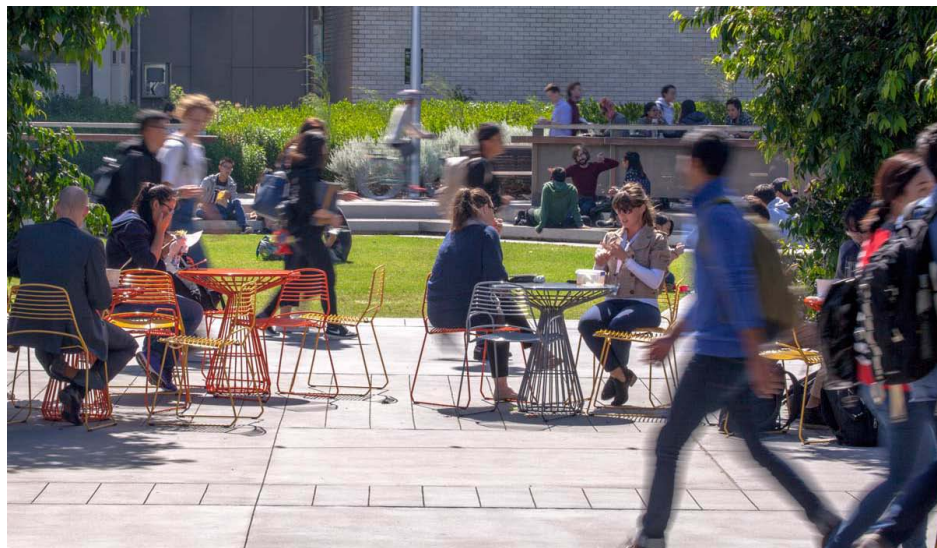
master plan enlargement - pavilion
Commons at Agora

Corinth, Texas
04/15/2021



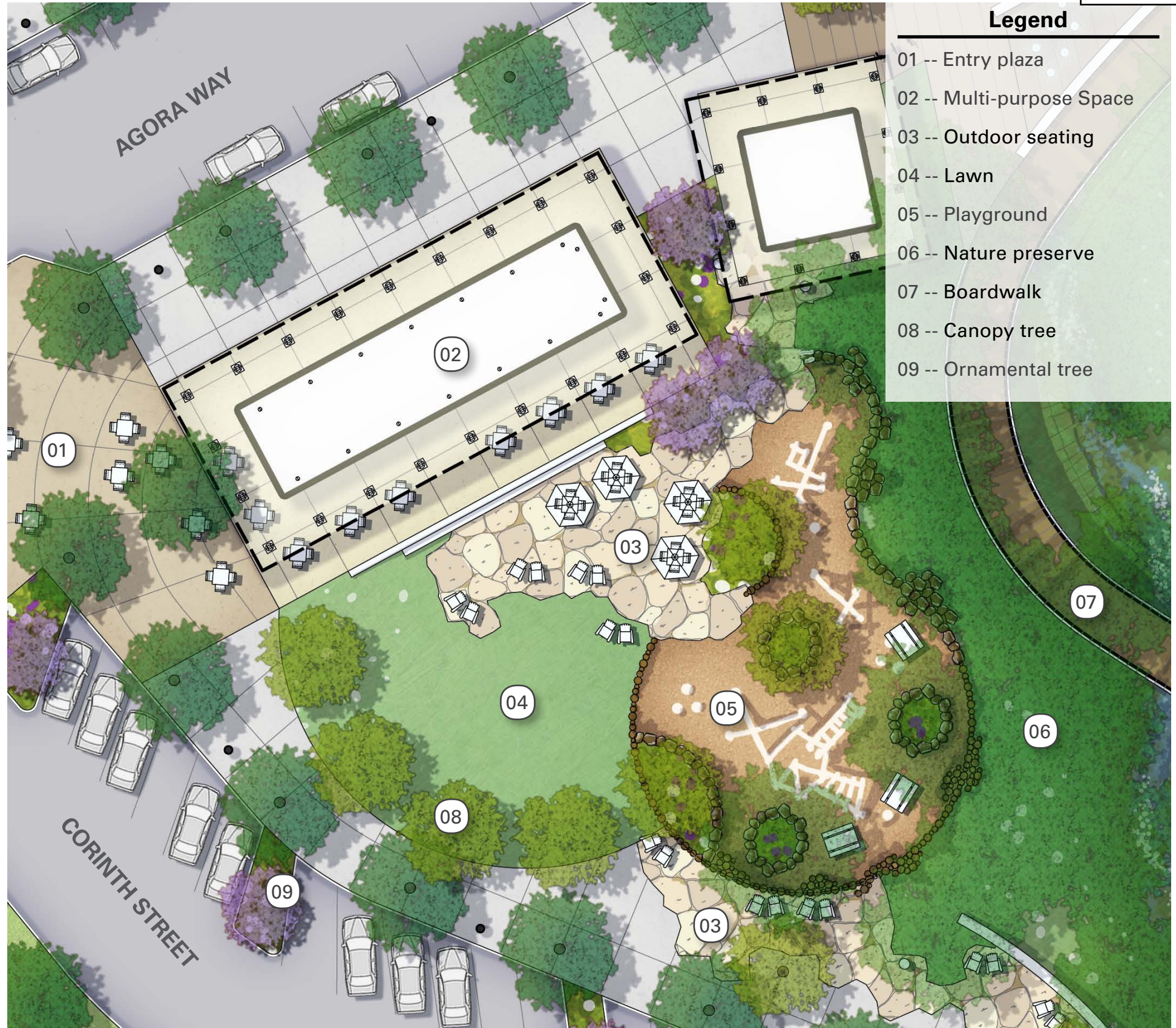
master plan enlargement - pavilion
Commons at Agora

Corinth, Texas
04/15/2021



master plan enlargement - water fountain plaza
 Commons at Agora

Corinth, Texas
 04/15/2021



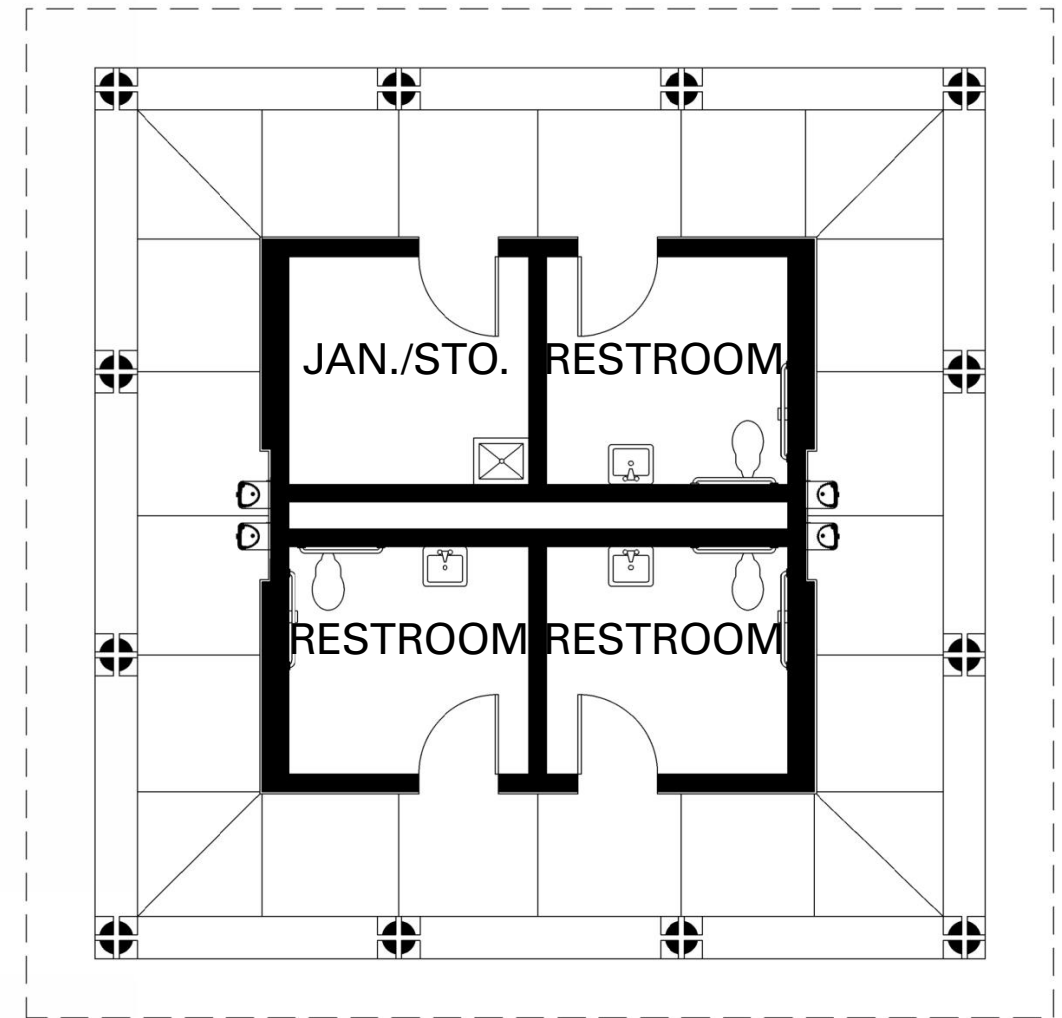
master plan enlargement - Multi-purpose Space and Restrooms
 Commons at Agora

Corinth, Texas
 04/15/2021



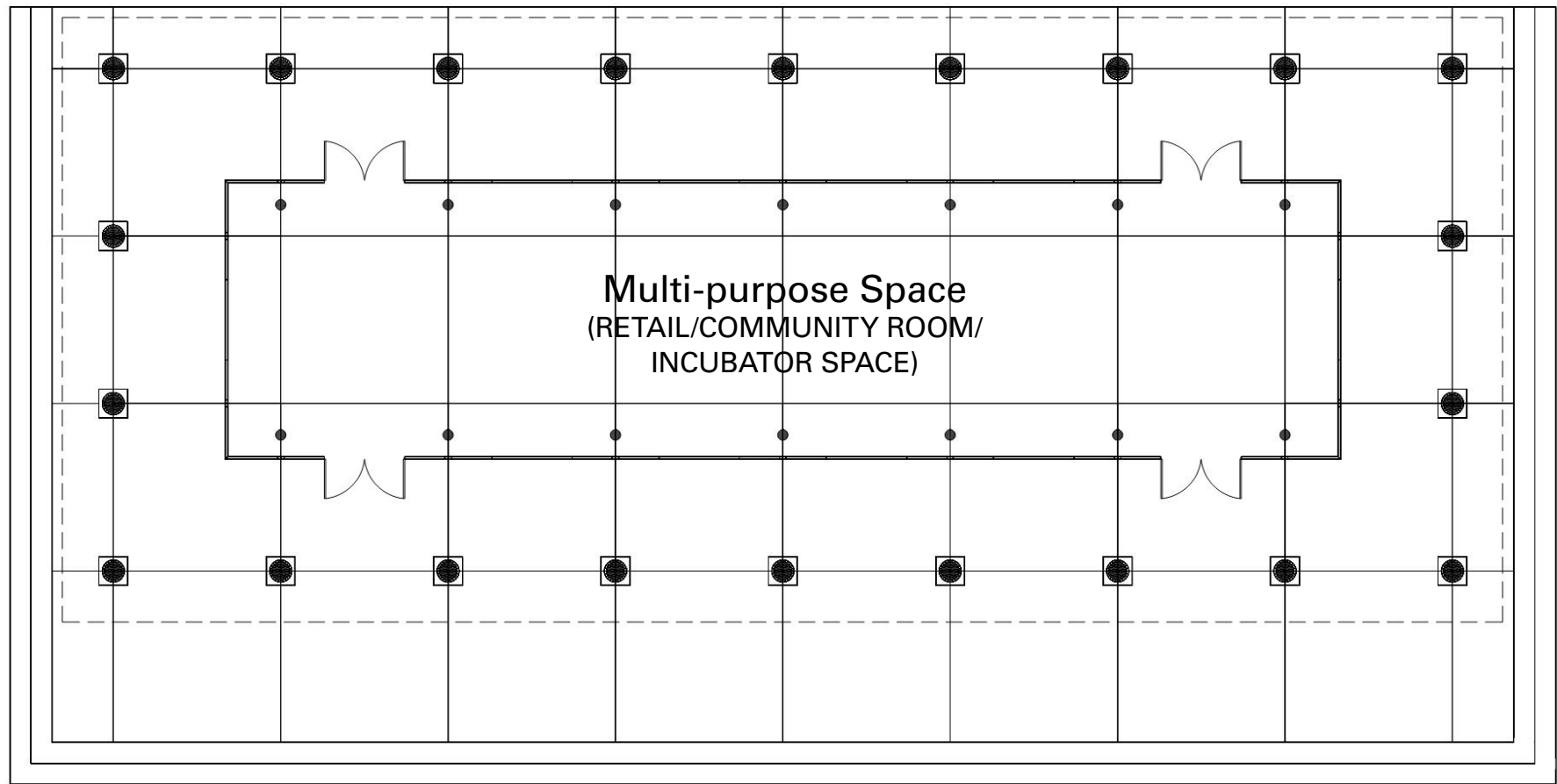
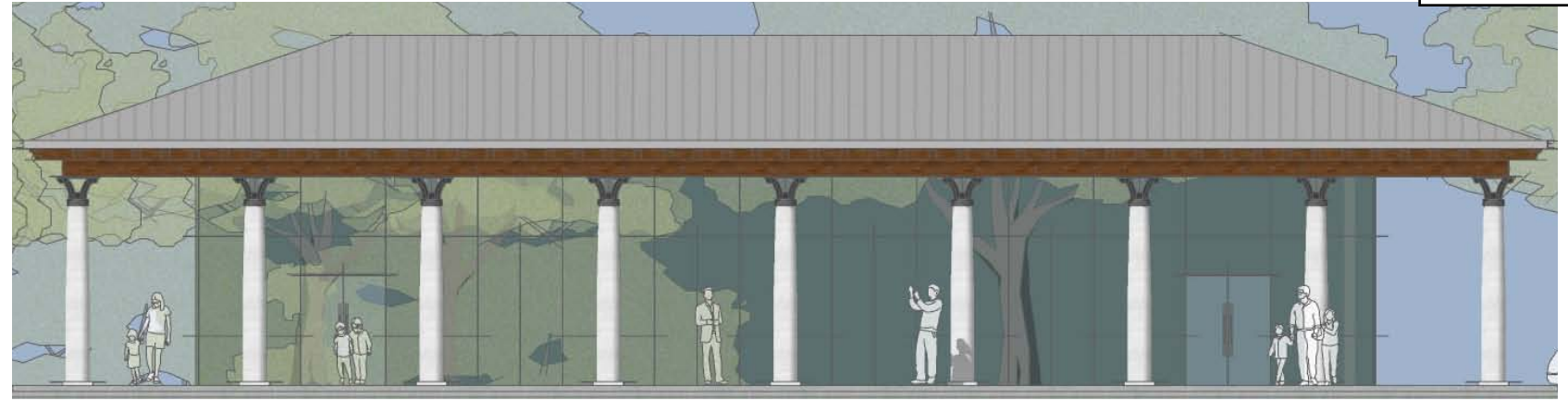
master plan enlargement - *Multi-purpose Space and Restrooms*
Commons at Agora

Corinth, Texas
04/15/2021



master plan enlargement - Restrooms
Commons at Agora

Corinth, Texas
04/15/2021



master plan enlargement - *Multi-purpose Space*
Commons at Agora

Corinth, Texas
04/15/2021

Commons at AGORA



thank you

CITY OF CORINTH
Staff Report

Meeting Date:	4/15/2020	Title:	Upper Trinity Regional Water District – Board Member Appointment
Strategic Goals:	<input type="checkbox"/> Citizen Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development		
Governance Focus:	<i>Sub-Ends:</i>		
	<input type="checkbox"/> Growing Community <input type="checkbox"/> Conveniently located <input type="checkbox"/> Delivers Outstanding Service <input type="checkbox"/> High-Quality Retail <input type="checkbox"/> High-Quality Restaurants <input type="checkbox"/> High-Quality Entertainment		
	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Customer <input type="checkbox"/> Stakeholder		
	<i>Decision:</i> <input type="checkbox"/> Governance Policy <input checked="" type="checkbox"/> Ministerial Function		
Owner Support:	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission <u>N/A</u>		

Item/Caption

Consider and act on the appointment to the Board of Directors for the Upper Trinity Regional Water District.

Item Summary/Background/Prior Action

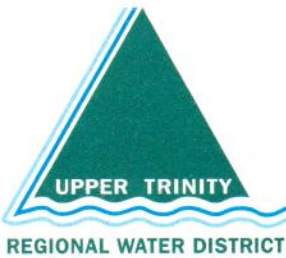
The Board of Directors of Upper Trinity has regional responsibilities for developing, funding and implementing regional water and wastewater systems - - services which are vital to the cities, towns and utilities of this region. A high priority mission of the Board is to plan ahead for a secure water supply, adequate for the next 50 years. The work of the Board is strategic and challenging, The Board oversees extensive regional programs as a utility enterprise, with some thirty cities, towns and utilities cooperating to achieve the mandate. Therefore, your appointment to the Board of Directors should be carefully considered - - for your interest as well as for the region.

The City of Corinth is a Member of Upper Trinity Regional Water District, a State-chartered conservation and reclamation district for the Denton County area. City Manager Bob Hart’s current term expires May 31, 2021 and is eligible for reappointment, or the City Council may make a new appointment for a four-year term. An appointee must be a qualified voter, must reside within the boundaries of Upper Trinity, may not be an elected official and may not be an employee of another member-entity of Upper Trinity.

Financial Impact

Applicable Owner/Stakeholder Policy

Staff Recommendation/Motion



P.O. Box 305 • Lewisville, TX 75067

(972) 219-1228 • Fax (972) 221-9896

March 23, 2021

Mr. Bob Hart, City Manager
City of Corinth
3300 Corinth Pkwy
Corinth, TX 76208

Subject: Appointment of Board Member

Dear Mr. Hart: *Bob*

The City of Corinth is a Member of Upper Trinity Regional Water District, a State-chartered conservation and reclamation district for the Denton County area. The City Council appointed you to the Board of Directors of Upper Trinity to serve the current term that ends May 31, 2021.

You are eligible for reappointment, or the City Council may make a new appointment, for a four-year term. An appointee must be a qualified voter, must reside within the boundaries of Upper Trinity, may not be an elected official and may not be an employee of another member-entity of Upper Trinity.

The Board of Directors of Upper Trinity has regional responsibilities for developing, funding and implementing regional water and wastewater systems - - services which are vital to the cities, towns and utilities of this region. A high priority mission of the Board is to plan ahead for a secure water supply, adequate for the next 50 years. The work of the Board is strategic and challenging. The Board oversees extensive regional programs as a utility enterprise, with some thirty cities, towns and utilities cooperating to achieve the mandate. Therefore, your appointment to the Board of Directors should be carefully considered - - for your interest as well as for the region.

As soon as the reappointment (or new appointment) is made, please let us know by forwarding a copy of the approved Resolution or Motion. Board Members are scheduled to take the oath of office on June 3rd at the regular meeting of the Upper Trinity Board. Please call me or Nancy Tam (972-219-1228) if you have any questions.

Sincerely,

Larry N. Patterson, P.E.
Executive Director

LNP/er

c: Lana Wylie, City Secretary

CITY OF CORINTH
Staff Report

Meeting Date:	4/15/2021	Title: Appointments to Corinth Economic Development Foundation
Strategic Goals:	<input type="checkbox"/> Citizen Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development	
Governance Focus:	<i>Sub-Ends:</i>	
	<input checked="" type="checkbox"/> Growing Community <input checked="" type="checkbox"/> Conveniently located <input checked="" type="checkbox"/> Delivers Outstanding Service <input checked="" type="checkbox"/> High-Quality Retail <input checked="" type="checkbox"/> High-Quality Restaurants <input checked="" type="checkbox"/> High-Quality Entertainment	
	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Customer <input type="checkbox"/> Stakeholder	
	<i>Decision:</i> <input type="checkbox"/> Governance Policy <input checked="" type="checkbox"/> Ministerial Function	
Owner Support:	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission <u>N/A.</u>	

Item/Caption

Consider and act on appointments to the Corinth Economic Development Foundation.

Item Summary/Background/Prior Action

The City Council adopted Resolution No. 20-06-04-13 on June 4, 2020 establishing the Corinth Economic Development Foundation (the “CEDF”). The purpose of the CEDF is to promote economic development and to enhance the business community. The purpose of this item is to provide the City Council with a list of potential appointees to the CEDF Board of Directors. The recommended positions include the EDC Chair, Mayor, and Mayor Pro-Tem, Those appointees are as follows:

- (1) Mayor Bill Heidemann.
- (2) Councilmember Sam Burke.
- (3) Grady Ray.

Financial Impact

N/A.

Applicable Owner/Stakeholder Policy

Resolution No. 20-06-04-13.

Staff Recommendation/Motion

Staff recommends approval as presented.

CITY OF CORINTH
Staff Report

Meeting Date:	4/15/2020	Title:	Nomination Denco Area 911
Strategic Goals:	<input type="checkbox"/> Citizen Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development		
Governance Focus:	<i>Sub-Ends:</i>		
	<input type="checkbox"/> Growing Community <input type="checkbox"/> Conveniently located <input checked="" type="checkbox"/> Delivers Outstanding Service <input type="checkbox"/> High-Quality Retail <input type="checkbox"/> High-Quality Restaurants <input type="checkbox"/> High-Quality Entertainment		
	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Customer <input type="checkbox"/> Stakeholder		
	<i>Decision:</i> <input type="checkbox"/> Governance Policy <input checked="" type="checkbox"/> Ministerial Function		
Owner Support:	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission <u>N/A</u>		

Item/Caption

Consider and act on a Resolution nominating one candidate to the slate of nominees for the Board of Managers of the Denco Area 9-1-1 District.

Item Summary/Background/Prior Action

If the Council would like to nominate a candidate to represent the municipalities on the Denco Board of Managers, formal Council action is required. All nominations must include a Council Resolution and resume of the candidate, which must be sent to the Denco Area 9-1-1 District office by May 31, 2021.

On June 1, 2021, Denco staff will send the slate of nominees to each city for consideration, requesting City Council vote by resolution for one of the nominees. Written notice of the Council's selection must reach Denco Area 9-1-1 District by July 30, 2021. The candidate with the most votes will be the municipalities' representative to the Denco Area 9-1-1 District Board of Managers for the two-year term beginning October 1, 2021.

Staff Recommendation/Motion

**CITY OF CORINTH, TEXAS
RESOLUTION NO. _____**

**A RESOLUTION NOMINATING ONE CANDIDATE TO A SLATE OF NOMINEES FOR
THE BOARD OF MANAGERS OF THE Denco AREA 9-1-1 DISTRICT.**

WHEREAS, Section 772, Health and Safety Code, provides that two voting members of the Board of Managers of an Emergency Communications District shall be appointed jointly by all cities and towns lying wholly or partly within the District;

**NOW THEREFORE BE IT RESOLVED BY THE COUNCIL OF THE CITY / TOWN OF
CORINTH, TEXAS:**

Section 1

The City / Town of Corinth hereby nominates _____ as a candidate for appointment to the Board of Managers of the Denco Area 9-1-1 District.

Section 2

That this resolution shall become effective immediately upon its passage and approval.

PASSED AND APPROVED this, the _____ day of _____, 2021.

Bill Heidemann, Mayor

ATTEST:

Lana Wylie, City Secretary