

****PUBLIC NOTICE****



PLANNING & ZONING COMMISSION

Monday, December 12, 2022 at 6:30 PM

City Hall | 3300 Corinth Parkway

AGENDA

- A. CALL TO ORDER AND ANNOUNCE A QUORUM PRESENT**
- B. ESTABLISH VOTING MEMBERS AND DESIGNATE ALTERNATES**
- C. PLEDGE OF ALLEGIANCE**
- D. CONSENT AGENDA**

All matters listed under the Consent Agenda are considered to be routine and will be enacted in one motion. Should the Chair, a Commission Member, or any citizen desire discussion of any item, that item will be removed from the Consent Agenda and will be considered separately.

- 1. Consider the approval of minutes for the Planning & Zoning Commission Special Session held on November 28, 2022.

E. BUSINESS AGENDA

- 2. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a rezoning request by the Applicant, Homeyer Engineering, Inc., to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code of the City, from MX-C Mixed-Use Commercial to a Planned Development with a base zoning district of MX-C Mixed-Use Commercial, to accommodate a proposed expansion of the Destiny RV Resort, on approximately ±18.96 acres located at 7100 S I-35E. Case No. ZAPD22-0005 – Destiny RV.

F. DIRECTOR'S REPORT

G. ADJOURNMENT

The Planning & Zoning Commission reserves the right to recess into executive or closed session to seek the legal advice of the City's attorney pursuant to Chapter 551 of the Texas Government Code on any matter posted on the agenda. After discussion of any matters in closed session, any final action or vote taken will be public by the Commission.

As a majority of the Council Members of the City of Corinth may attend the above described meeting, this notice is given in accordance with Chapter 551 of the Texas Government Code. No official action will be taken by the City Council at this meeting.

I, the undersigned authority, do hereby certify that the meeting notice was posted on the bulletin board at City Hall of the City of Corinth, Texas, a place convenient and readily accessible to the general public at all times and said Notice was posted on the following date and time: **Thursday, December 8, 2022 at 5:30 PM.**

John S Webb

John Webb, AICP
Director of Development Services
City of Corinth, Texas

December 8, 2022

Date of Notice

Corinth City Hall is wheelchair accessible. Person with disabilities who plan to attend this meeting and who may need auxiliary aids or services such as interpreters for persons who are deaf, or hearing impaired, or readers of large print, are requested to contact the City Secretary's Office at 940-498-3200, or fax 940-498-7576 at least two (2) working days prior to the meeting so that appropriate arrangements can be made.

BRAILLE IS NOT AVAILABLE



**MINUTES
PLANNING & ZONING COMMISSION
REGULAR SESSION AND WORKSHOP**

Monday, November 28, 2022 at 6:30 PM

City Hall | 3300 Corinth Parkway

On this, the 28th day of November, the Planning & Zoning Commission of the City of Corinth, Texas, met in Regular Session and Workshop Session at the Corinth City Hall at 6:30 P.M., located at 3300 Corinth Parkway, Corinth, Texas.

Commissioners Present:
Chair Alan Nelson
Vice Chair Mark Klingele
KatieBeth Bruxvoort
Rebecca Rhule
Adam Guck

Commissioners Absent:
Rodney Thornton
Bradford Harrold

Staff Members Present:
John Webb, Director of Development Services
Michelle Mixell, Planning Manager
Matthew Lilly, Development Services Coordinator

A. CALL TO ORDER AND ANNOUNCE A QUORUM PRESENT

Chair Alan Nelson called the meeting to order at 6:30 PM.

B. ESTABLISH VOTING MEMBERS AND DESIGNATE ALTERNATES

Commissioner Guck was designated as a voting member.

C. PLEDGE OF ALLEGIANCE

D. CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine and will be enacted in one motion. Should the Chair, a Commission Member, or any citizen desire discussion of any item, that item will be removed from the Consent Agenda and will be considered separately.

1. Consider the approval of minutes for the Planning & Zoning Commission Regular Session and Workshop held on October 24, 2022.

Motion to approve consent agenda by Vice-Chair Klingele, seconded by Commissioner Rhule.

Motion passed unanimously: 5-for, 0-against.

E. BUSINESS AGENDA

2. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a rezoning request by the Applicant, Greystar Development Central, LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code of the City, from MX-C Mixed Use Commercial to a Planned Development comprised of two (2) base zoning districts consisting of MF-3 Multi-Family Residential (Tract 1), on approximately 25.12 acres and MX-C Mixed Use Commercial (Tract 2) on approximately 7.56 acres, with the collective site acreage totaling approximately 32.68 acres, located on the north side of Lake Sharon Drive between I-35E and Corinth Parkway. Case No. ZAPD22-0004 – Corinth Groves.

Michelle Mixell, Planning Manager, provided Staff's presentation to the Commission and recommended that the proposal be approved as presented.

Nikki Moore, representing Greystar Development, gave a presentation on the proposed development and described how the concept plan had changed since the October 24th Workshop Session.

Commissioner Rhule asked if the residents of the development would have reserved parking spaces excluding the garages.

Moore stated that reserved parking would be provided in carports in addition to the garages.

Commissioner Rhule asked for clarification regarding the reasoning for the 4-story apartment buildings given that the base zoning district only permits 3-story buildings.

Moore responded that because the property is within the TOD, where design is intended to be driven by the market, the increase to 4 stories is allowed even though it is one story higher than what is allowed by right in the base zoning. She explained that the extra story is primarily necessary to accommodate the tuck-under garages, but it also allows for the preservation of more open space and brings in the required density to support the commercial area.

Commissioner Rhule asked if the 4-story apartment building adjacent to Lake Sharon Dr, Building #1, could be reduced to a 2 or 3-story apartment building or changed to a 2-story townhome.

Moore replied that this would be a business decision and that they would have to discuss this internally before providing an answer but explained that the units in this building would be overlooking the promenade rather than facing any of the single-family housing across Lake Sharon Dr. and that the end of the building in question is adjacent to a cul-de-sac rather than any houses.

Chair Nelson asked if the tuck under garages would be enclosed and if they could be used by residents as storage space.

Moore replied that the garages would be enclosed and that it would be part of the lease agreement that residents cannot use the garages as storage space.

Chair Nelson asked if tuck under garages would be provided along the southern end of Building #1.

Moore replied that there would not be garages in that area because of the gated fire access point and the grasscrete paving.

Chair Nelson asked what this space would be utilized for given that there will not be garages.

Moore explained that there would be ground-floor units in this space in place of the garages.

Chair Nelson asked if because there are more ground-floor units in Building #1 if it would be possible to reduce the southern end of this building to 2 or 3 stories.

JR Thulin, representing Greystar Development, explained that they would have to evaluate this before giving an answer but that they have already conceded several units across the development throughout the various iterations of the site plan.

Chair Nelson asked if the trails would be lit 24 hours.

Moore responded that the trails that are being dedicated to the trail system would have pedestrian lighting and would be lit all night.

Chair Nelson asked how the elevations were being described as 100% masonry in the PD Design Statement if cementitious siding is being used.

Moore responded that this calculation was for the elevations up to the top plate with the exclusion of insets, recesses, etc. She stated that the elevations are 100% masonry to the top plate along Corinth Pkwy and Lake Sharon Dr.

Chair Nelson asked if there was any update on their CLOMR application.

Moore responded that they have submitted their application, and that they have prepared a drainage report for the City Engineer to be submitted once the CLOMR process is complete.

Commissioner Guck asked for clarification on the garbage pick-up.

Moore responded that the garbage service would be valet and that someone from property management will be collecting trash from residents' doorsteps daily.

Vice-Chair Klingele asked for clarification on which sections of the trail will have lighting.

Moore pointed out the parts of the trail that will have lighting.

Commissioner Bruxvoort asked what material the fire lane would be made of and how it will look.

Moore responded that they would be using grasscrete which will have the appearance of grass from the street and will not be affected by weather. She explained that the fire access lane can be landscaped, and they will be putting in a swinging gate to create more cohesion.

Commissioner Bruxvoort asked what the trail would be made of.

Moore responded it would be a concrete trail and the fire lane along the north side of Buildings #8 and #9 which the concrete trail runs through would also be grasscrete.

Commissioner Bruxvoort asked for the estimated timeline between Phase 1 and Phase 2.

Moore replied that the start of construction for Phase 2 is dependent on when construction begins on the I-35E improvements, but that she expects all of Phase 1 to be completed before construction starts on Phase 2.

Commissioner Guck asked for a timeline on the Lake Sharon Dr. expansion.

Webb replied that he would get with the City Engineer for the expected timeline.

Chair Nelson opened the Public Hearing at 7:15 PM

Constance Ray, 2611 Hutchinson Ln, stated that she was unable to find anything on the website regarding the plan. She expressed concerns with the density of the development, the unfinished site across the street, potential business area being taken up by multi-family, if the 4-way stop will remain or become a stop light, the use of Meadow Oaks Park, flooding and drainage, and the number of variances being proposed.

Mike King, 2610 Zachary Dr, stated that he has concerns with the density of the development, the amount of proposed residential development in the area, traffic, financing for multi-family projects, and the short-term leasing of units. He stated that he supports the commercial portion of the development, but that he wants single family homes instead of multi-family.

Morgan Strauss, 3010 Alcove Ln, stated that she objects to the proposed 4-story apartments and desires for the townhome concept to take the place of these apartments. She expressed concerns with traffic and noise and believes the City is heading in the wrong way with multi-family projects. She stated that she wants more single-family housing to bring down taxes and for the City to back away from urban design.

Commissioner Nelson asked what kind of playscapes and amenities would be provided in the pocket parks.

Moore pointed out that only about 10% of the residents of the local communities they manage are between 0-18 years old, and that data doesn't support incorporating a playscape into the development. This fact also allows for the development to bring in more tax revenue that is not subject to homestead exemptions and to place less of a burden on the local school district. She explained the pocket parks will have a fitness center as well as sitting areas with landscaping to build the community feel.

Steve Gregory, representing Malouf Interests, went over the proposed retail area in Phase 2 and explained that Malouf has owned this property for nearly 20 years. The property was initially bought with the expectation that it could be developed into a grocery store, but that grocery store chains have expressed little interest in the site. He stated that he believes the current plan works best for the site and will compliment what the city is envisioning for the area. He concluded by explaining that once the Parkway District is developed to the north and the I-35E and Lake Sharon Dr improvements are completed, the site will be viable for retail.

Commissioner Guck asked what consideration was given towards developing single family homes on the site.

Gregory explained that the site was purchased as a commercial property, its intent is a commercial property, and that the City's vision is for it to be a commercial property. He stated on a development investment basis, they would never develop this property for single-family. He further explained that the current proposal would generate far less traffic than if the site were developed as a grocery store or for full commercial use.

John Webb stated that the TX-DOT improvements at the intersection of I-35E and Lake Sharon Dr. are projected to begin in 2024.

Commissioner Bruxvoort asked for clarification on the floodplain and water flow on the site.

Moore explained that the proposed improvements to the drainage channel will eliminate the need for a detention pond on site and drainage will flow north into Lynchburg Creek. She further clarified that the current concept plan is designed to accommodate the future improvements to I-35E, that City Staff has had conversations with Lake Dallas ISD and learned that there are no issues with capacity, and that the development is meeting the requirements for tree preservation. She went on to explain that by incorporating carports and allowing for them to be reserved, it is easier for management to regulate parking. She concluded by stating that

the best way for cities to raise tax revenue is not necessarily from single-family housing but from taking a comprehensive approach and having a larger portfolio of tax revenue.

The public hearing was closed at 7:36 PM.

Commissioner Rhule made a motion to recommend approval as presented with the amendment that Building #1 be no more than 3-stories in height. Seconded by Commissioner Guck.

Chair Nelson requested that an additional amendment be added to this motion. He asked that Section 2.7.ii of the PD Design Statement be amended to read “All building facades of Buildings #1, #2, #3, #4, #5, #6, #7, #10, and #11 that face Lake Sharon Dr and/or Corinth Pkwy except for windows, doors, garage doors, balconies, patios, or corridor or stairway entrances shall be composed of 100% brick or stone masonry materials. The remaining façade elements such as balconies, stairways, patios, and recesses may be cementitious materials that are painted, stained, or factory applied finishes that would look like wood.” Additionally, it was asked that Section 2.7.iii of the PD Development Standards be amended to read “Any facades of buildings interior to the site not specifically noted above may generally comply with façade material representations depicted in Exhibit J – Elevations.”

Commissioner Rhule accepted the amendment by Chair Nelson.

Vice-Chair Klingele expressed concerns with the amendments and the motion as stated. He explained that by adding stipulations that affect the feasibility of the proposal, that they risked the overall possibility of this development occurring. He asked that the item be tabled until the next meeting so that the applicant could go back and make their calculations rather than move forward with the vote and risk a split vote or have the motion not pass at all.

Commissioner Guck asked that the applicant provide a line-of-sight from Lake Sharon Dr of Building #1 so that its potential impact could be better visualized.

Vice-Chair Klingele stated that he is very familiar with the site and that because of the way Building #1 is set and its location across from the cul-de-sac, he is not very concerned about it being 4 stories.

Commissioner Rhule explained that one of her points behind the proposed amendment is her concern that there is not much parking close to Building #1.

Thulin stated that they can take the Commissions amendments into consideration before going to City Council but that it was their preference to move forward with a vote.

Webb explained how the amendments would be addressed moving forward if the Commission were to make a recommendation.

It was decided to move forward with the motion made by Commissioner Rhule.

Chair Nelson, Commissioner Rhule, and Commissioner Guck voted in favor of the motion. Vice-Chair Klingele and Commissioner Bruxvoort voted in opposition of the motion.

Motion passed: 3-for, 2-against.

F. DIRECTORS REPORT

Webb reminded the Commission that the December meeting does not fall on the fourth Monday of the month but is instead on December 12th and that there will be one Public Hearing for the proposed Destiny RV Park expansion.

G. ADJOURN REGULAR SESSION

The regular session was adjourned at 7:46 PM.

H. ADJOURNMENT

There being no further business before the Commission, the meeting was adjourned at 7:46 PM.

MINUTES APPROVED THIS _____ DAY OF _____, 2022.

Alan Nelson, Planning and Zoning Commission Chairman

DRAFT



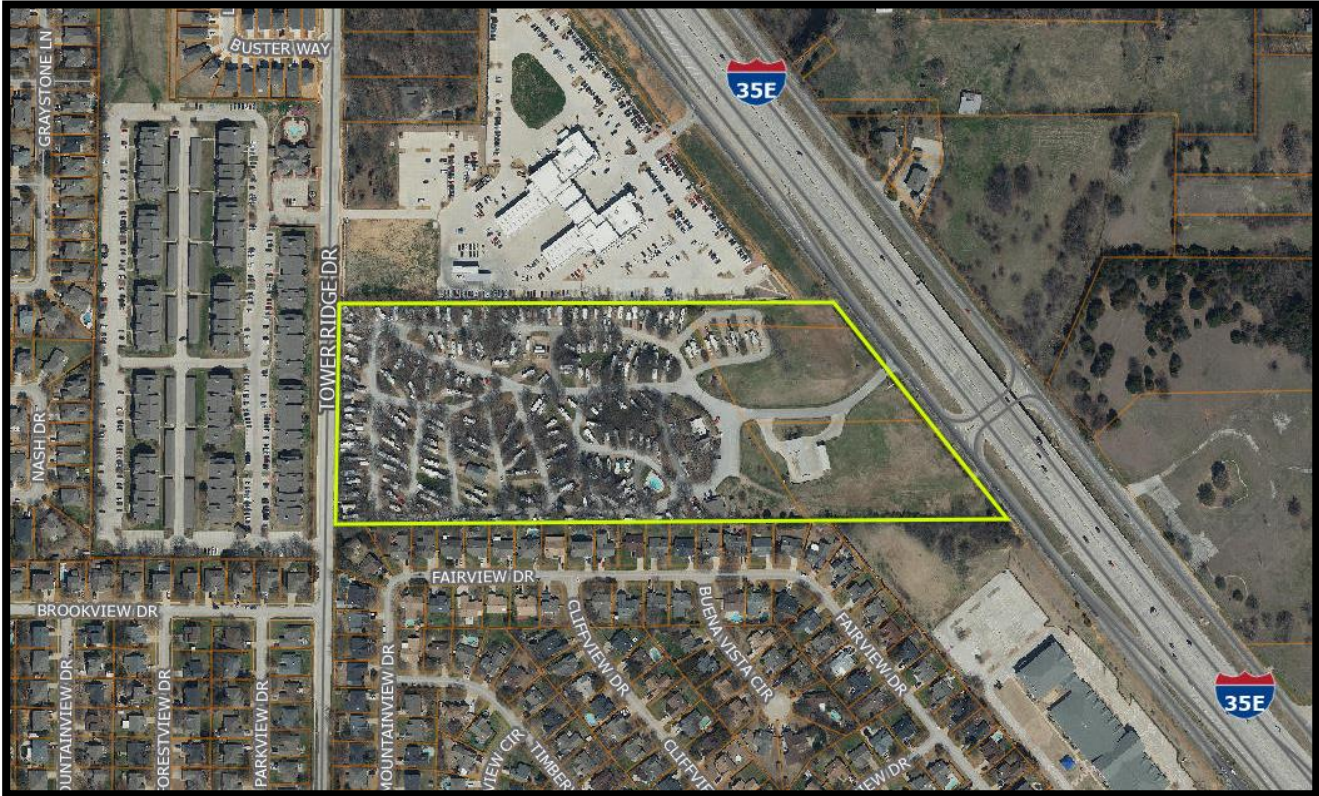
CITY OF CORINTH
Staff Report

Meeting Date:	12/12/2022	Title:	Destiny RV Resort Planned Development (PD) Rezoning Request (Case No. ZAPD22-0005)
Ends:	<input type="checkbox"/> Resident Engagement <input type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development		
Governance Focus:	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input checked="" type="checkbox"/> Customer <input checked="" type="checkbox"/> Stakeholder		
	<i>Decision:</i> <input checked="" type="checkbox"/> Governance Policy <input type="checkbox"/> Ministerial Function		

Item/Caption

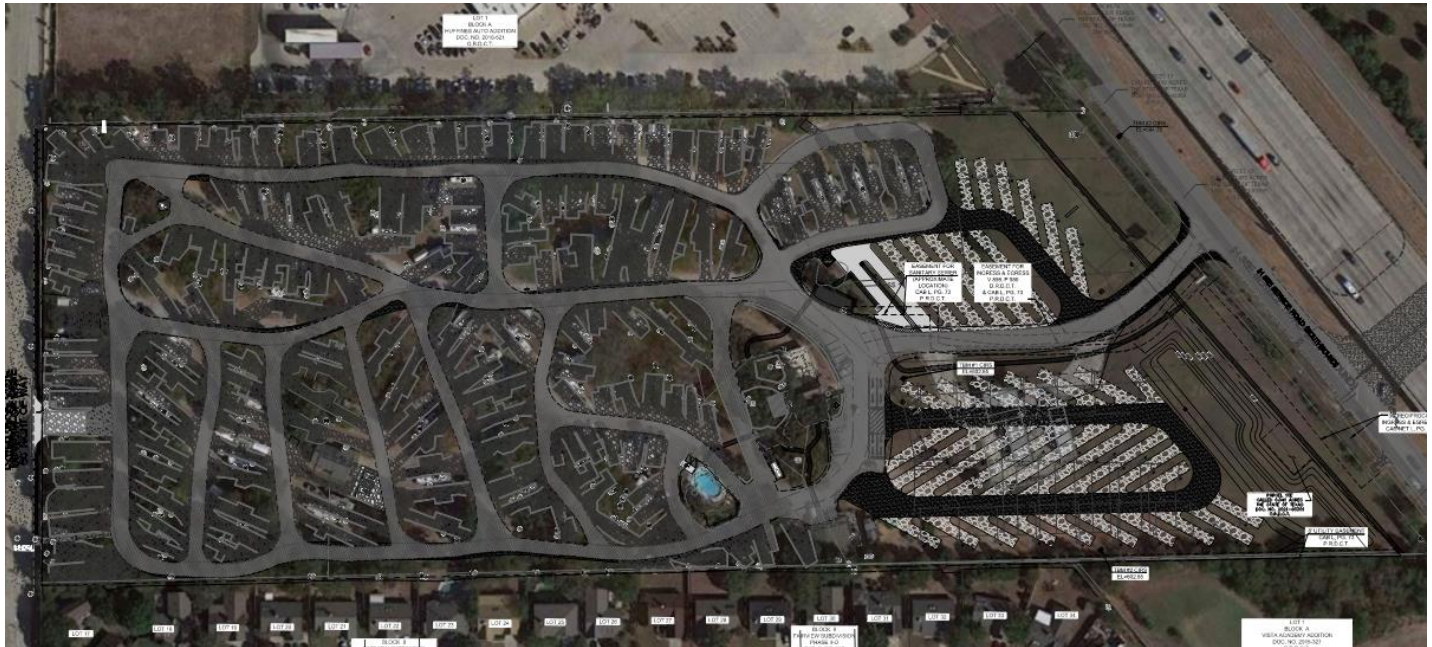
Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a rezoning request by the Applicant, Homeyer Engineering, Inc., to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code of the City, from MX-C Mixed-Use Commercial to a Planned Development with a base zoning district of MX-C Mixed-Use Commercial, to accommodate a proposed expansion of the Destiny RV Resort, on approximately ±18.96 acres located at 7100 S I-35E. Case No. ZAPD22-0005 – Destiny RV.

Location Map - Case No. ZAPD22-0005



Item Summary/Background/Prior Action

The applicant is requesting the rezoning of approximately ±18.96 acres to a Planned Development (PD) District with a base Zoning District of MX-C Mixed Use Commercial to accommodate an expansion of the existing recreational vehicle (RV) park. The site was originally developed in 1967 and presently consists of 176 full-service RV sites, an office building, recreation hall, convenience store, fitness center, swimming pool and spa, laundry facilities, and a self-service vehicle wash center. The expansion area will be located in the mostly vacant eastern quarter of the property and will include the removal of the existing self-service vehicle wash facility.



Excerpt from Concept Plan Overlay with Aerial Image

The following are key elements of the proposed expansion project:

- Removal of the self-service vehicle wash facility.
- Addition of 52 RV sites, for a total of 228 RV sites.
- All new RV parking lanes will be 14’ feet wide with a 10’ wide landscaped area between each lane.
- Widening of existing paving at certain location to establish a minimum 20’ wide fire lane throughout the existing development and providing a gated emergency access driveway from Tower Ridge Drive on the west side of the property.
- Adding Fire Hydrants in the existing development.
- Adding a drainage facility on southeast corner of site adjacent to I-35E.

Please refer to Exhibit C - Concept Plan for the graphic layout of the development.

RV Park and Permitted Uses

The current zoning of MX-C Mixed Use Commercial was applied in 2013, when the Unified Development Code (UDC) was adopted. UDC Subsection 2.07.03, Use Chart, currently does not list RV Park as a permitted use within the MX-C zoning district. The Applicant is requesting to remain under the base zoning of MX-C Mixed Use Commercial by adding RV Park to the list of permitted uses in this property. Note that the Applicant is proposing a different definition of “RV Park” for this Planned Development, which differs from that of the UDC, and is as follows:

Proposed Definition – RV Park: “A parcel of land on which two or more recreational vehicle sites and/or camping sites are located, established, or maintained for occupancy by recreational vehicles or camping units of the general public as

temporary living quarters for vacation or recreation purposes. An RV Park is an alternative lodging use providing individual utility connections, parking spaces, on-site amenities such as recreation hall, fitness center, swimming pool/spa, laundry facilities, and usable open spaces amenitized with landscaping and pedestrian walks benefitting the patrons' recreation needs. Recreational Vehicles shall not be over twelve (12) years of age and a minimum stay of 30 days is required.”

Accessory Uses

Prohibited Accessory Uses. The storage or parking of unoccupied recreational vehicles, including water motor craft, will be listed as a prohibited use in the PD. The installation of new permanent and semi-permanent structures other than steps or ramps, such as storage sheds, decks, and carports in both existing and expansion areas will be prohibited.

Permitted Accessory Uses. Repairs and modifications to existing structures in the existing development will be permitted. Additionally, the PD proposes to include the following accessory uses: laundry facilities, office uses for the property, maintenance facilities/structures, activity/recreation room(s), playgrounds, swimming pool/spa, and incidental sales of supplies for recreational vehicles and camping activities in the existing office building.

Landscaping

The Applicant seeks exemptions from the requirements of UDC Subsection 2.09.01, Landscape Regulations, including the requirement of a landscape edge buffer along Tower Ridge Drive due to the existing fencing/limited area, and the requirement that all landscaping be protected by a concrete curb to maintain a character similar to the existing portion of the development. Alternative landscaping proposed by the Applicant includes the planting one (1) ornamental or shade tree between each of the new RV stalls, which is an increase from the UDC standard requiring one (1) tree for every 10 spaces. Additional landscaping not required by the UDC that the Applicant has agreed to provide includes a 20-foot landscape buffer adjacent to residential Lots 32-34 of Block 9 of the Fairview Subdivision. More specific details of the landscape planting schedule are contained in Exhibit E - Conceptual Landscape Plan.

Parking

The Applicant is proposing alternative parking standards than those of UDC Subsection 2.09.03, Vehicular Parking Regulations, which require two (2) parking spaces for each recreational vehicle space. The proposed rate one (1) space for each recreational vehicle and supporting documentation from various sources demonstrates that the proposed parking ratio is adequate. Additionally, the Applicant is requesting to be exempt from the requirement that all parking areas be curbed, paved concrete because of the use of the property. The Applicant proposes an alternative standard allowing for gravel to be used as a permitted surface in RV Parking areas, as generally depicted in Exhibit D – Concept Plan.

Signs and Fencing

The Applicant seeks departures and exemptions from UDC Subsection 4.01.15, General Sign Requirements. The proposed PD would increase the maximum allowed height for a monument sign from eight (8) feet to eleven (11) feet and exempt the Applicant from the requirement that signs be framed by a minimum of six (6) inches of masonry material.

The Applicant is requesting to be exempt from multiple provisions of UDC Subsection 4.02, Fence and Screening Regulations, including the requirement to install new masonry screening walls at the site. The site is currently screened by wood fencing on the south, west, and north boundaries. The Applicant incorporated a provision in the PD Design Statement related to fencing on Tower Ridge Drive: if 50% or more of the existing fence along Tower Ridge Drive needs to be repaired or replaced, the entire fence shall be replaced with a new board-on-board cedar fence with a minimum height of eight (8) feet.

Mobility

The Applicant will construct a five (5) foot wide sidewalk along Tower Ridge Drive, construct a sidewalk along I-35E within the landscape edge buffer, and provide a pedestrian access easement at time of platting.

The Applicant is required to construct a deceleration lane, warranted by the proposed traffic counts. The construction of this deceleration lane will occur when the Texas Department of Transportation project to widen I-35E is completed.

Fire Protection

To provide increased fire protection in the existing development, the Applicant will install water lines to serve new fire hydrants and additional paving in existing drives to maintain a minimum width of 20 feet.

The table provides a summary of the requested departures to the development standards contained within the UDC. Also, see Attachment 1 – PD Design Statement for the detailed development standards and “justification statement” supporting each request.

Summary of Proposed Departure Requests:		
Development Standard Category	MX-C Base District/UDC Standard	Proposed Destiny RV Resort PD standard
Use Chart (2.07.03)	Permitted Uses in MX-C Mixed Use Commercial Zoning District	Permitted Uses in MX-C Mixed Use Commercial Zoning District, with the addition of RV Park as defined in PD, and prohibition on the installation of new accessory structures and the parking/storage of unoccupied RVs
Landscape Edge Buffer (2.09.01.A.1.a)	Shade trees required to be planted 30’ on center based on linear feet of buffer (2.09.01.A.1.a)	Exempting Tower Ridge Drive from this requirement
Landscape Plantings (2.09.01.A.1.d)	Landscape Plantings Encouraged (no specific requirements)	Established specific plantings to be provided (see Exhibit C)
Concrete Curb Protection for Landscaping (2.09.01.A.2.d)	All landscaped areas shall be protected by a raised six (6) inch concrete curb	Exempt
Parking and Driveway Surface (2.09.03 B.1)	Parking areas and driveways shall be curbed, paved concrete	Surfaces may include concrete, asphalt, or gravel.
Vehicle Parking Schedule (2.09.03 E.25)	Two (2) spaces for each recreational vehicle	One (1) space for each recreational vehicle
Monument Sign Maximum Height (4.01.15 E.3)	Eight (8) feet	Eleven (11) feet
Monument Sign Framing (4.01.13.E.7.e)	The sign face shall be framed by a minimum of six (6) inches of brick, stone, or masonry material matching the front facade of the building.	Exempt
Screening Requirements – Nonresidential Construction Abuts Residential Zoning Classification (4.02.11.C)	Nonresidential construction which abuts the boundary of any property in a residential zoning classification shall require the Developer of the nonresidential use to erect a minimum six (6) foot high masonry screening wall along the common boundary	Exempt

Compliance with the Comprehensive Plan

The 2040 Comprehensive Plan designates this area as “Office/Employment.” The Land Use and Development Strategy for the Office/Employment identifies lodging within its land use types and densities. Higher intensity uses identified in

this place type, such as corporate/flex office campuses, for the land proposed to be developed do not appear to be supported by the market due to several factors, including the “mid-block” location and the present traffic configuration. The proposed expansion is compatible with the existing development, as well as the auto dealership to the north and the small number of single-family homes to the south.

The Active Transportation Plan identifies an east-west trail to be constructed along the southern boundary of the property between Tower Ridge Drive and I-35E, which the plan proposes to connect through the existing underpass to the east side of I-35E. Because the existing development will remain and the I-35E expansion project will eliminate the “U-turn” underpass, the Applicant will not be required to construct the trail.

Neighborhood Outreach

On March 15, 2022, the Applicant hosted a neighborhood meeting. The Applicant notified the property owners within 200 feet of the subject property to inform residents of this meeting. Per the Applicant, a few neighbors attended the meeting and were in support of the proposed expansion.

Public Notice

Notice of the public hearing was provided in accordance with the City Ordinance and State Law by,

- Publishing in the Denton Record-Chronicle.
- Written public notices were mailed to the owners of all properties located within 200 feet of the subject property and to the Lake Dallas ISD.
- The Applicant posted a “Notice of Zoning Change” sign along I-35E and Tower Ridge Drive.
- The Public Hearing notice was posted on the City’s Website.

Letters of Support/Opposition

As of the date of this report, the City has received one (1) letter in support and one (1) letter in opposition from property owners located within 200 feet of the subject property (see Attachment 2).

Staff Recommendation

Staff recommends approval as presented.

Motion

“I move to recommend approval of Case No. ZAPD22-0005 – Destiny RV Resort, as presented.”

Alternative Actions by the Planning and Zoning Commission

The Planning and Zoning Commission may also,

- Recommend approval with additional stipulations,
- Continue the Public Hearing and table action on the request to a definitive or non-defined date, or
- Recommend denial of the request

Supporting Documentation

Attachment 1 – PD Design Statement

- Exhibit “A” – Legal Description
- Exhibit “B” – Zoning Map
- Exhibit “C” – Concept Plan

- Exhibit “D” – Concept Plan Overlay with Aerial
- Exhibit “E” – Conceptual Landscape Plans, Screening, and Tree Survey/Removal Plans.
- Exhibit “F” – Signage

Attachment 2 – Correspondence from Property Owners within 200 feet of the subject property



ATTACHMENT 1:
PD DESIGN STATEMENT
DESTINY RV RESORT PLANNED DEVELOPMENT

**DESTINY DALLAS RV RESORT
PD DESIGN STATEMENT**

SECTION 1 - OVERVIEW

A. PROJECT NAME/TITLE: Destiny Dallas RV Resort

B. LIST OF OWNERS/DEVELOPERS:

Shorebreak Holdings 1, LLC
Boardwalk at Palm Bluffs, LP
1061 E. 4th Street
Santa Ana, California 92701

C. PROJECT ACREAGE AND LOCATION:

Site Acreage: 18.96 Total Acres
Number of Tracts/Lots: 1 Tract, 2 platted lots
Site Location: 7100 S. Interstate Highway 35E

D. PROJECT OVERVIEW: The existing Destiny Dallas RV Resort began operating in 1967 and has seen several structure additions over the years and consists of 176 full-service RV sites, an office building, recreation hall, fitness center, swimming pool and spa, laundry facilities, and a self-service RV and automobile wash center. The proposed expansion will include 52 new sites for a total of 228 RV sites. It is the developer’s desire to make an expansion investment in the RV resort to improving the fire safety/emergency access within the existing area and adding more RV sites and amenities in the proposed addition. The park is very successful and enlarging it will benefit the City of Corinth by drawing users that will frequent food and entertainment venues in the immediate area.

E. PROJECT DESCRIPTION: Destiny Dallas RV Resort is a distinctive leisure and recreation campsite community in Corinth attracting users from all over. The property is conveniently located on IH 35E and easily connects to various regional thoroughfares. The owners and employees take pride in providing a highly desirable RV Resort and the site’s amenities are enjoyed by patrons. The property is currently zoned Mixed-Use Commercial (MX-C) which is intended to permit the establishment of standalone nonresidential activities and limited residential activities along Interstate Highway 35. Based on existing conditions, the Destiny Dallas RV Resort development is situated on approximately 14 acres of the overall 18.96 acre site. Since the site was developed long ago, before the property was in the city limits, zoning was applied after construction and annexation by the City of Corinth. The current MX-C zoning district does not list an “RV Park” as a permitted use. The requested Planned Development District will allow for an RV Park use and will provide development regulations for the existing resort park and proposed expansion.

The proposed PD District outlines specific features in the development regulations for the expansion area that include campsite functions/details, a landscaped detention area that will provide for open play/passive recreation areas, additional sidewalks and connections to roadways, landscape buffers, a second point of emergency fire access to Tower Ridge Drive, signage, and improved fire/emergency access.

The developer has removed the existing pole sign at the entry demonstrating the desire to be a partner with the City in aesthetic appeal. The proposed expansion will eliminate the RV/auto wash facility that is highly visible from IH 35E and it will be replaced with RV sites. The new additions will include the installation of four (4) fire hydrants, waterline to service the hydrants, and improve the accessibility for emergency services equipment and the safety of the residents. Additionally, the landscape buffer in the expansion area will be provided adjacent to the Fairview Subdivision (Phase 2, beginning at Lot 32 and extending to Lot 34 of Block

9) even though properties along IH 35E are exempted from the Residential Adjacency Standards, Section 2.09.05 of the Corinth UDC.

SECTION 2: PROJECT DESIGN

A. BASE ZONING DISTRICT:

Destiny Dallas RV Resort is intended to provide development standards for the expansion of a high-quality recreational vehicle community resort taking advantage of its ideal location and the concepts outlined in Envision Corinth 2040 Comprehensive Plan by promoting a unique use through design to support recommended lodging uses as described in the Office/Employment land use category. Destiny Dallas RV Resort PD currently provides 184 full-service RV sites, an office building, recreation hall, fitness center, swimming pool and spa, laundry facilities, and a self-service RV and automobile wash center. The PD for Destiny Dallas RV Resort will allow for an expansion to a total of 220 full-service sites and will remove the existing RV/automobile wash facility. Additionally, the project includes standards for suitable parking and landscape standards for the RV site along with an amenitized detention area. The base zoning district for the PD will remain Mixed Use Commercial (MX-C) and allowances are outlined herein to address the existing development and the expansion.

Except as otherwise set forth in these Development Standards the regulations of Subsection 2.06.02, MX-C Mixed Use Commercial of Subsection 2.06, Nonresidential Zoning Districts, of the UDC, for the MX-C District and all other requirements of the UDC shall apply to all development within Destiny Dallas PD.

B. DEVELOPMENT REGULATIONS:

The regulations set forth herein provide development standards for a recreational vehicle park and accessory uses within the Destiny Dallas RV Resort Planned Development. The boundaries of the PD are identified in the Legal Description, Exhibit “A” and the Property shall be developed in accordance with these regulations and the PD Concept Plan as depicted on Exhibit “C”, the concept presented in the Concept Plan with Aerial Imagery on Exhibit “D”, the concepts presented in the Conceptual Landscape Plans, Screening, and Tree Survey/Removal Plans on Exhibit “E, Signage as depicted on Exhibit “F”. A use that is not expressly authorized herein is expressly prohibited in the Destiny Dallas Resort Planned Development.

The “MX-C” Mixed Use Commercial District regulations of the Corinth Unified Development Code (UDC), Ordinance No. 13-05-02-08, as amended, shall apply to the Property except as modified herein. If a change to the PD Concept Plan, and/or Ancillary Concept Plans is requested, the request shall be processed in accordance with the UDC and development standards in effect at the time the change is requested for the proposed development per the Planned Development Amendment Process.

1. Permitted Uses and Use Regulations

The Permitted Uses in the MX-C District as listed in Subsection 2.07.03 Use Chart, shall apply, with the addition of a Recreational Vehicle Park use. A Recreational Vehicle Park, for this PD, is defined as:

“A parcel of land on which two or more recreational vehicle sites and/or camping sites are located, established, or maintained for occupancy by recreational vehicles or camping units of the general public as temporary living quarters for vacation or recreation purposes. An RV Park is an alternative lodging use providing individual utility connections, parking spaces, on-site amenities such as recreation hall, fitness center, swimming pool/spa, laundry facilities, and usable open spaces amenitized with landscaping and pedestrian walks benefitting the patrons’

recreation needs. Recreational Vehicles shall not be over twelve (12) years of age and a minimum stay of 30 days is required.”

Accessory uses for the PD shall include laundry facilities, office uses for the resort, maintenance facilities/structures, activity/recreation room(s), playgrounds, swimming pool/spa, and incidental sales of supplies for recreational vehicles and camping activities in the existing office building.

Prohibited Uses in the Destiny Dallas PD include:

Unoccupied Recreational Vehicle Parking/Storage, including water motorcraft, is prohibited.

Justification: The existing RV resort has been in use for over 40 years. Since the site was initially developed as a RV resort, the city has grown and developed around it. The current property owner would like to continue this historical use and expand the resort to include the current undeveloped areas.

2. Dimensional Regulations

The Dimensional Regulations described in Subsection 2.08.05, “Nonresidential Dimensional Regulations Chart” of Subsection 2.08, “Zoning Dimensional Regulations” of the UDC, for the base zoning district MX-C Mixed Use Commercial shall apply.

3. Accessory Buildings

The Accessory Buildings and Uses as described in Subsection 2.07.07 “Accessory Buildings and Uses” of the UDC, for Nonresidential Accessory Buildings shall apply, except as modified below:

- a. Existing permanent and semi-permanent structures in the development shall be allowed to remain as currently exists. Repairs or modifications to permanent and semi-permanent structures are permitted in the existing development.
- b. New permanent or semi-permanent structures, with the exception of steps or ramps to access recreational vehicles, shall not be permitted in the boundaries of this Planned Development.

Justification: The existing site contains a number of accessory structures that will not be removed and provisions permitting them need to be provided for. The RV sites in the expansion area will not have accessory structures other than ramps or steps to serve the RV’s.

4. Landscaping Regulations

The Landscaping Regulations as described in Subsection 2.09.01 “Landscape Regulations” of the UDC, for Nonresidential Landscaping Regulations shall apply, except as modified below:

- a. The existing development shall be exempt from Landscaping Regulations and allowed to remain as it currently exists. Improvements and landscape installation in the existing development is permitted.
- b. A landscape buffer along a collector street (Tower Ridge Drive) of fifteen (15) feet per Section 2.09.01 A.1.a.i. (b) shall not be required.
- c. Landscape area protection with a raised six (6) in concrete curb per Section 2.09.01 A.2.d. shall not be required.
- d. The expansion area of the PD shall provide for landscaping as outlined below and generally depicted in Exhibit “E” Conceptual Landscape Plans, Screening, and Tree Survey/Removal Plans.
 - i. A minimum of 42 shrubs (2-inch caliper and 8-foot minimum height at 15 feet spacing) shall be required along IH 35E. Shrubs may be grouped and clustered.

- ii. A minimum of 34 trees (3-inch caliper and 12-14-foot minimum height at 30 foot spacing) shall be required along IH 35E. Trees may be grouped and clustered.
- iii. Landscaping and Screening along IH 35E may be staggered, grouped, and arranged for interest along the regional thoroughfare. It is not the intent to plant a wall of trees along this frontage. In no case shall the number of tree and shrub required quantities be reduced.
- iv. A minimum of one (1) ornamental tree of a minimum of two (2) caliper inches and eight (8) foot minimum height, or one (1) shade tree of a minimum of three (3) caliper inches shall be planted between each RV parking stall.

Additional landscaping to be provided by the Developer includes: A 20 foot wide landscape buffer in the expansion area will be provided adjacent to the Fairview Subdivision (Phase 2, beginning at Lot 32 and extending to Lot 34 of Block 9).

Justification: The existing site cannot be retrofitted to meet present day requirements. An RV resort is a unique use and not a traditional commercial development with uniform parking lots and landscaping. Provisions have been made to provide adequate space between RV sites including the addition of ornamental trees. Trees and shrubs along IH 35E have been added to the Conceptual Landscape Plans to provide for an attractive and appealing view from the roadway and through the main drive. There are existing trees east of the existing fence along Tower Ridge Drive that provide landscape edge. A sidewalk in the Tower Ridge Drive right-of-way is being constructed by the developer.

5. Tree Preservation

Tree Preservation regulations outlined in Subsection 2.09.02 “Tree Preservation” of the UDC shall apply, except as modified below:

- a. Trees in the existing development that need to be removed to provide for a suitable paving width for emergency access, the provision of fire hydrants/waterlines, and utility easements shall be exempt from mitigation requirements.

Justification: When the park was originally developed, fire hydrants were not required. As part of this development, an internal water line will be installed to provide fire protection to both the expansion area and existing portions of the development. As a result of the proposed water line installation in the existing development, some of the existing trees will need to be removed to allow for the excavation of the utility trench.

6. Vehicular Parking Regulations

Vehicular Parking Regulations outlined in Subsection 2.09.03 “Vehicular Parking Regulations” of the UDC shall apply, except as modified below:

- a. The parking provided in the existing development shall be permitted to remain as it presently exists.
- b. The parking for the expansion area of the PD shall be parked at one (1) space per recreational vehicle site.
- c. Parking stalls in the expansion area shall be a minimum of 14 feet wide and include a ten (10) foot wide green space on each side of the spaces.

- d. Parking for the office, visitors, laundry facilities, pool/spa area shall be twenty-one (21) spaces as identified on Exhibit “C” PD Concept Plan for the existing development and expansion area of the PD.
- e. Section 2.09.03 B.1, requiring that parking areas and driveways shall be curbed, paved concrete, shall not apply. Parking surfaces shall be permitted as outlined in Exhibit “C” PD Concept Plan. Surfaces may include concrete, asphalt pavement, and gravel.

Table B – Parking Requirements

Regulation:	Base Regulations by Use RV PARK	Proposed Parking Standards/Modifications
Parking Standard:	Two (2) spaces for each recreational vehicle space	One (1) space for each recreational vehicle space

Justification:

- a. Research establishing a suitable parking ratio is outlined below:

City	Use Title	Requirement
Corinth	RV Park	2 spaces for each RV space
Corpus Christi	RV Park	1 space per 4 pads
Fredericksburg	Campground	1 space per camping unit
Galveston	RV Park	1 space for each lot + 1 for each 6 lots
San Antonio	RV Park	0
Fort Worth	RV Park	1 off street space

- b. **American Planning Association**
Parking Standards, Edited by Michael Davidson and Fay Dolnick
 American Planning Association
 Planning Advisory Service, PAS Report 510/511, December 2002

Recreation vehicle (RV) park (see also campground)

- 1 space per recreational vehicle space not including parking space for RV (El Paso County, Colo., pop. 516,929)
 - 1 space per vehicle (St. Cloud, Minn., pop. 59,107)
 - 1 per each unit, plus 1 guest space for every 10 recreational vehicle sites, plus 1 space for each employee (Reno, Nev., pop. 180,480)
 - 1 per camp space (Hickory, N.C., pop. 37,222)
 - 1 space for recreation vehicle stall, plus 1 space for each 2 employees (Thomasville, Ga., pop. 18,162)
 - 1.1 spaces for each recreational vehicle space (Phoenix, Ariz., pop. 1,321,045)
- c. The center pull-through sites are typically 135 feet long and will easily accommodate 2, Class A motorhome vehicles (20-40 feet, average 30 feet, max. 45 feet) with room for a parked vehicle.
 - d. The other single user sites are generally 65+ feet in length and will accommodate a Class A vehicle and a parked vehicle.
 - e. The Resort requires reservations and is booked months in advance. The staff assigns appropriate campsites based on vehicle types. They know what is coming and how to accommodate the numbers and types of vehicles.

7. Building Façade Material Standards

Building Façade Material Standards outlined in Subsection 2.09.04 “Building Façade Material Standards” of the UDC shall apply.

8. Nonresidential Architectural Standards

Nonresidential Architectural Standards outlined in Subsection 2.09.06. “Nonresidential Architectural Standards” shall apply, except as modified below:

- a. Existing structures shall be exempt from nonresidential architectural standards.
- b. New structures may be constructed similar to the existing structures.

Justification: The existing development contains structures that do not meet present requirements and retrofitting or rebuilding the structures is not desired or economically feasible.

9. Residential Adjacency Standards

Residential Adjacency Standards outlined in Subsection Section 2.09.05 “Residential Adjacency Standards” shall apply, except as modified below:

- a. Nonresidential uses adjacent to Interstate 35 are exempt from the residential adjacency standards (2.09.05. B. Applicability 3.). Destiny Dallas PD shall provide a 20 foot landscape buffer to be adjacent to Fairview Subdivision, Phase 2, beginning at Lot 32 and extending to Lot 34 of Block 9, as illustrated on Exhibit “C” Concept Plan.

10. Screening of Outdoor Waste Storage for Nonresidential, Single-Family Attached, and Multi-Family Residential Properties

Screening of Outdoor Waste Storage for Nonresidential, Single-Family Attached, and Multi-Family Residential Properties” outlined in Subsection 4.02.13 of the UDC shall apply to the Destiny Dallas PD.

11. Lighting and Glare Regulations

Lighting and Glare Regulations outlined in Subsection 2.09.07 of the UDC shall apply.

12. Sign Regulations

Sign Regulations as outlined in Section 4.01 “Sign Regulations” shall apply, except as modified below:

- a. Signage shall be permitted in accordance with Exhibit “F” Signage.

Monument Sign on IH 35E

	Base Sign Regulations	Proposed Sign Regulations
Maximum Height	8 feet	11 feet overall total 5 feet, 5 in. sign 4 feet base
Maximum Length	NA	NA

Maximum Sign Size (Overall)	160 SF	160 SF
Maximum Sign Face	80 SF	80 SF
Setback	15 feet	15 feet
Framing (masonry)	6"	0
Landscaping	1 to 1	1 to 1

Justification: The signage is comparable to the signage approved and provided to the north for the Huffines auto dealership.

13. Fence and Screening Regulations

Fence and Screening Regulations as outlined in Section 4.02, “Fence and Screening Regulations” shall apply, except as modified below:

- a. Fencing requirements for Screening Height, requiring a minimum of six (6) feet between Nonresidential and Residential requirements per Section 4.02.11.A. shall not apply.
- b. Masonry Screening Walls, per Section 4.02.11.B shall not apply. The existing wood fencing on the north, south, and west shall remain. If fifty (50) percent or more of the existing fence along Tower Ridge Drive needs to be repaired or replaced, the entire fence shall be replaced with a new board-on-board cedar fence. Entire fence replacement shall be board-on-board cedar and a minimum of eight (8) feet in height.
- c. Nonresidential Construction Abutting a Residential Zoning Classification per Section 4.02.11.C shall not apply.
- d. Residential Construction Abuts a Collector or an Arterial Street per Section 4.02.11.E, which requires a six (6) foot high masonry wall, shall not apply.

Justification: The site is an existing development and there is an existing screening fence along the southern property boundary, on the residential property and along Tower Ridge Drive. A twenty (20) foot landscape buffer along the new expansion is being provided adjacent to the single-family residential properties. Provisions have been made for required fencing when the fencing along Tower Ridge Drive needs to be replaced.

14. Other

- a. The existing development area shall be allowed a reduction in the fire lane width to 20 feet.
- b. An emergency access only connection to Tower Ridge Drive has been added as a site requirement and will be fitted with the required Knox lock, or other Fire Department approved access device. The emergency drive width shall be a minimum of 30 feet with 30 foot internal turning radii.
- c. A sidewalk, a minimum of five (5) feet in width, shall be installed by the developer within the landscape edge buffer (within the property boundary) and shall be constructed at the time of the Destiny RV Resort expansion. A pedestrian access easement shall be established at time of platting for this sidewalk.
- d. A sidewalk, a minimum of five (5) feet in width, shall be installed from the IH 35E roadway to the main office.
- e. A sidewalk meeting the standards set forth in Section 3.05.12, Sidewalks, shall be installed in the right-of-way of Tower Ridge Drive.

C. OTHER DEVELOPMENT CONSIDERATIONS:

1. Phasing

- a. The proposed expansion and proposed existing site improvements will be developed as one project.
- b. The deceleration lane at the IH 35E main entry requires TXDOT approval. The deceleration lane will be paid for by the Destiny RV Resort owner through an agreement with the City. The City will contract directly with TXDOT for the installation of the deceleration lane.

2. Impacts

- a. A Traffic Impact Assessment has been submitted to Engineering and the data is outlined on Exhibit “C” PD Concept Plan. The City of Corinth staff has requested a deceleration lane be provided at the main entry at IH 35E and the developer of the PD will pay for a deceleration lane if TXDOT approves the deceleration lane.
- b. The main entry drive is proposed to be widened and provide increased turning radii at IH 35E as illustrated on Exhibit “C” PD Concept Plan.
- c. The existing RV sites have full-service utility connections which consist of water, sewer, and electricity. The proposed expansion sites will include full-service connections. In order to provide these services, new water and sewer service lines will be installed within the limits of the proposed development area. These service lines will be owned and operated by the developer. In addition to these services lines, a new 8-inch water line is being installed throughout the entire RV resort in order to provide for fire hydrant coverage. At the present time, the existing park does not have fire hydrant service.
- d. Drainage and Detention has been provided for onsite as required. A section of the proposed detention area has been submitted for review.
- e. Destiny Dallas RV Resort is an exceptionally safe and monitored community and police reports are very few. The employees and residents conduct themselves as caring and responsible neighbors.
- f. The Resort requires reservations.
- g. The reservation system allows the coordination of vehicle types by sites.

SECTION 3 - BACKGROUND INFORMATION

A. EXISTING SITE CONDITIONS

The site is currently developed as an RV resort with 176 full-service sites. The site has an existing office building, recreation hall, fitness center, swimming pool and spa, laundry facilities and a self-service RV and automobile wash center. The wash center will be removed to make way for the proposed expansion of the resort.

Describe and discuss all topics that apply to the subject site:

- Street boundaries: The site currently has access to the IH 35E Service Road along the eastern property boundary. There is also an existing street, Tower Ridge Drive, along the western property boundary. However, the existing site does not have access to this street.
- Surrounding properties: As stated above there are streets located on the east and west sides of the property. There are single family residential properties to the south of this site and a car dealership to the north.
- Tree cover: The existing development area is heavily treed in and around the existing RV sites. There are a few existing trees sporadically located within the limits of the proposed expansion area.
- Drainage: The site generally drains to the southeast corner of the site.
- Existing easements: There are various utility and drainage easements currently located on the property. Additional easements will be dedicated for the proposed expansion.

- Existing signage/buildings/etc.: The existing pole sign has been removed and a new monument sign will be installed as part of this PD development.
- Existing site access: The site currently has access to the IH 35E Service Road. This access point will remain with some improvements being made to widen the entry drive as well increasing the driveway radii to improve the access into and out of the property. A new emergency access only ingress/egress is being proposed onto Tower Ridge Drive. This driveway will only be used by emergency vehicles and will provide a secondary access point to the site.

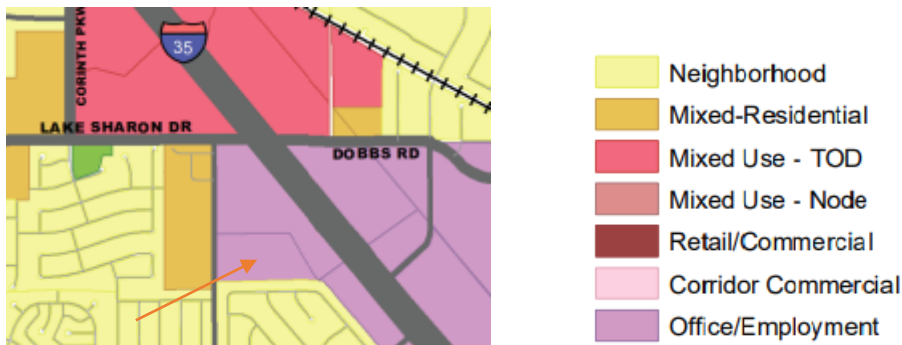
B. CURRENT ZONING

The site is currently zoned Mixed-Use Commercial, MX-C which allows at least 90% nonresidential uses and a maximum of 10% residential uses.

The existing zoning on the subject site permits the following:

Minimum Front Yard Setback	40'
Minimum Side Yard Setback:	0'/15' adjoining residential
Interior Lot	
Corner Lot	10'/15' adjoining residential
Minimum Rear Yard Setback	20'
Minimum Lot Area	20,000 SF
Maximum Density	NA
Minimum Lot Width:	150'
Minimum Lot Depth	100'
Minimum Floor Area	NA
Maximum Height (feet/stories)	2.5 stories/40' or SUP
Maximum Building Area (all buildings)	50%

C. FUTURE LAND USE



Source: [Envision Corinth 2040 Comprehensive Plan \(Adopted July 2020\)](#)

1. Strategic Focus Areas



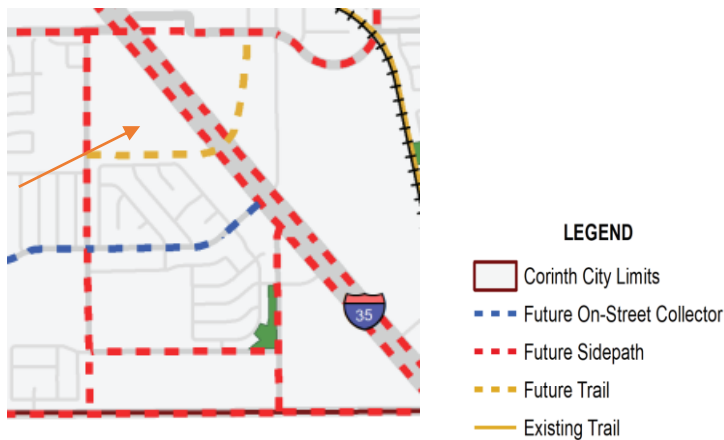
Source: [Envision Corinth 2040 Comprehensive Plan-Strategic Focus Area \(Adopted July 2020\)](#)

2. Mobility – Master Thoroughfare Plan



Source: [Envision Corinth 2040 Comprehensive Plan - Master Thoroughfare Plan \(Adopted July 2020\)](#)

3. Mobility – Active Transportation Plan



A Future Sidepath on Tower Ridge Drive is indicated on the plan. A Future Trail is illustrated on the south side of the subject property.

Source: [Envision Corinth 2040 Comprehensive Plan \(Adopted July 2020\)](#)

SECTION 4 - SUPPORTING APPLICATION DOCUMENTS

- Exhibit A Legal Description/Metes & Bounds
- Exhibit B Zoning Map (By City)
- Exhibit C Concept Plan
- Exhibit D Concept Plan Overlay with Aerial
- Exhibit E Conceptual Landscape Plans, Screening, and Tree Survey/Removal Plans
- Exhibit F Signage

Being an 18.96 acre tract of land out of the E. A. Garrison Survey, Abstract No. 511, situated in the City of Corinth, Denton County, Texas, and being a portion of a called 19.931 acre tract of land conveyed to Shorebreak Holdings 1, LLC, by deed of record in Document Number 2021-123192 of the Official Records of Denton County, Texas, and being a portion of Lots 1 and 2, Block 1, of Dallas KOA Campground Addition, a subdivision of record in Cabinet L, Page 73 of the Plat Records of Denton County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING, at a 1/2 inch iron rod with cap stamped "RPLS 4567" found in the East right-of-way line of Tower Ridge Drive (60-foot right-of-way), being the Northwest corner of Lot 17, Block 9, of Fairview Subdivision, Phase II, a subdivision of record in Cabinet E, Page 67 of said Plat Records, and being the Southwest corner of said 19.931 acre tract;

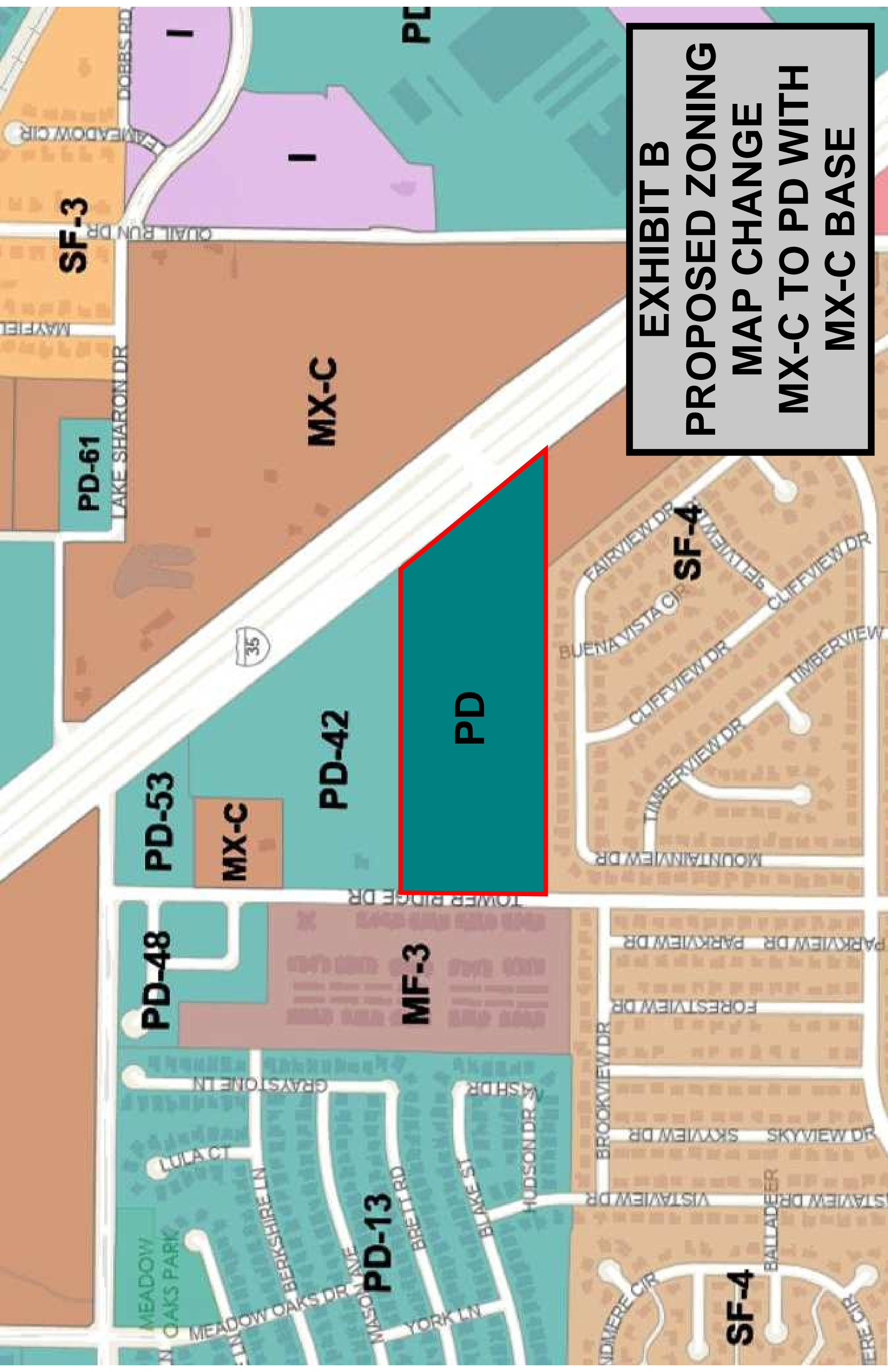
THENCE, N00°09'12"E, along the East right-of-way line of Tower Ridge Drive, being the common West line of said 19.931 acre tract, a distance of 575.05 feet to a 1/2 inch iron rod with cap stamped "GNS" found at the Southwest corner of Lot 1, Block A, of Huffines Auto Addition, a subdivision of record in Document Number 2018-521 of said Official Records;

THENCE, N89°13'46"E, along the South line of said Lot 1, Block A, of Huffines Auto Addition, being the common North line of said 19.931 acre tract, a distance of 1210.61 feet to an aluminum-capped TxDOT monument found in the West right-of-way line of Interstate Highway 35-E, being the Southeast corner of said Lot 1, Block A, of Huffines Auto Addition, also being the Southwest corner of a called Parcel 14 – 1.635 acre tract of land conveyed to The State of Texas by deed of record in Document Number 2014-78948 of said Official Records, and being the Northwest corner of a called Parcel 13 – 0.119 acre tract of land conveyed to The State of Texas by deed of record in Document Number 2021-93303 of said Official Records;

THENCE, along the West right-of-way line of Interstate Highway 35-E, being in part, the common West line of said 0.119 acre tract, in part, the common West line of a called Parcel 12 – 0.472 acre tract of land conveyed to The State of Texas by deed of record in Document Number 2021-93302 of said Official Records, and in part, the common West line of a called Parcel 10 – 0.391 acre tract of land conveyed to The State of Texas by deed of record in Document Number 2021-93301 of said Official Records, the following two (2) courses and distances:

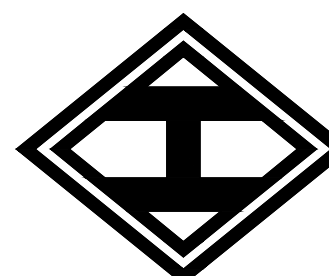
1. S40°39'42"E, a distance of 479.91 feet to an aluminum-capped TxDOT monument found;
2. S42°20'07"E, a distance of 257.37 feet to an aluminum-capped TxDOT monument found at the Southwest corner of said 0.391 acre tract, being the Northwest corner of a called Parcel 6 – 0.569 acre tract of land conveyed to the State of Texas by deed of record in Document Number 2022-71773 of said Official Records;

THENCE, S88°45'04"W, leaving the West right-of-way line of Interstate Highway 35-E, in part, along the South line of said Lot 1, Block 1, of Dallas KOA Campground Addition, and in part, along the South line of said 19.931 acre tract, being in part, the common North line of Lot 1, Block A, of Vista Academy Addition, a subdivision of record in Document Number 2015-327 of said Plat Records, in part, the common North line of Fairview Subdivision, Phase II-D, a subdivision of record in Cabinet E, Page 116 of said Plat Records, and in part, the common North line of said Fairview Subdivision, Phase II, a distance of 1698.48 feet to the **POINT OF BEGINNING**, and containing an area of 18.96 acres (825,853 square feet) of land, more or less.



**EXHIBIT B
PROPOSED ZONING
MAP CHANGE
MX-C TO PD WITH
MX-C BASE**

HOMEYER
ENGINEERING, INC.
TBP# FIRM REGISTRATION NO. F-8440
P.O. BOX 294527 • LEWISVILLE, TEXAS • 75027
972-906-9985 PHONE • 972-906-9987 FAX
WWW.HEI.US.COM



DESTINY DALLAS
LOTS 1 & 2, BLOCK 1
DALLAS KOA CAMPGROUND EDITION
18.98 ACRES
CITY OF CORINTH
DENTON COUNTY, TEXAS

PD CONCEPT
PLAN EAST

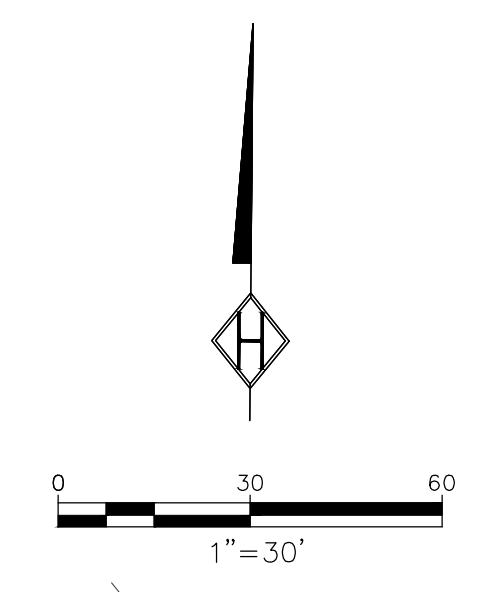
DRAWN: SCD
DATE: 05/01/22
HEI #: 21-0702

SHEET NO:
C2.1

DOC. NO. 2021-93302
O.R.D.C.T.

PARCEL 12
CALLED 0.472 ACRES
THE STATE OF TEXAS
DOC. NO. 2021-93302
O.R.D.C.T.

IH 35E SERVICE ROAD (SOUTHBOUND)



PAVEMENT LEGEND

- DUMPSTER PAVEMENT**
PROPOSED 8" 4,000 PSI CONCRETE AT 28 DAYS
W/ #4 BARS @ 18" OCEW (DOUBLE MAT).
- HEAVY DUTY PAVEMENT DRIVE AISLE**
PROPOSED 8" 3,600 PSI CONC. @ 28 DAYS WITH
#3 BARS @ 18" O.C.E.W.
- ASPHALT PAVEMENT**
PROPOSED 2" TY "D" HMAC OVER 2" TY "B" HMAC
COMPACTED TO AN OPTIMUM DENSITY OF 96% PER
LIFT IN ACCORDANCE WITH TXDOT ITEM 340. THE
HMAC SHALL BE INSTALLED ON 6" OF COMPACTED
FLEXIBLE BASE (MINIMUM 95% STANDARD PROCTOR
DENSITY) IN ACCORDANCE WITH TXDOT ITEM 247.
- GRAVEL PAVEMENT**
PROPOSED 2" WASHED STONE. THE WASHED STONE
SHALL BE INSTALLED ON 6" COMPACTED FLEXIBLE
BASE (MINIMUM 95% STANDARD PROCTOR
DENSITY) IN ACCORDANCE WITH TXDOT ITEM 247.
- SIDEWALK PAVEMENT**
PROPOSED 4" 3,000 PSI CONC. @ 28 DAYS WITH
#3 BARS @ 18" O.C.E.W.
- EXISTING ASPHALT**

- PAVEMENT NOTES:**
- ALL PAVEMENT SUBGRADE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 6" AND COMPACTED TO A MINIMUM 95% STANDARD PROCTOR DENSITY AT OR ABOVE OPTIMUM MOISTURE.
 - CONNECT PROPOSED ASPHALT PAVEMENT TO EXISTING ASPHALT PAVEMENT USING A SMOOTH SAWCUT W/TACK COAT.

LEGEND

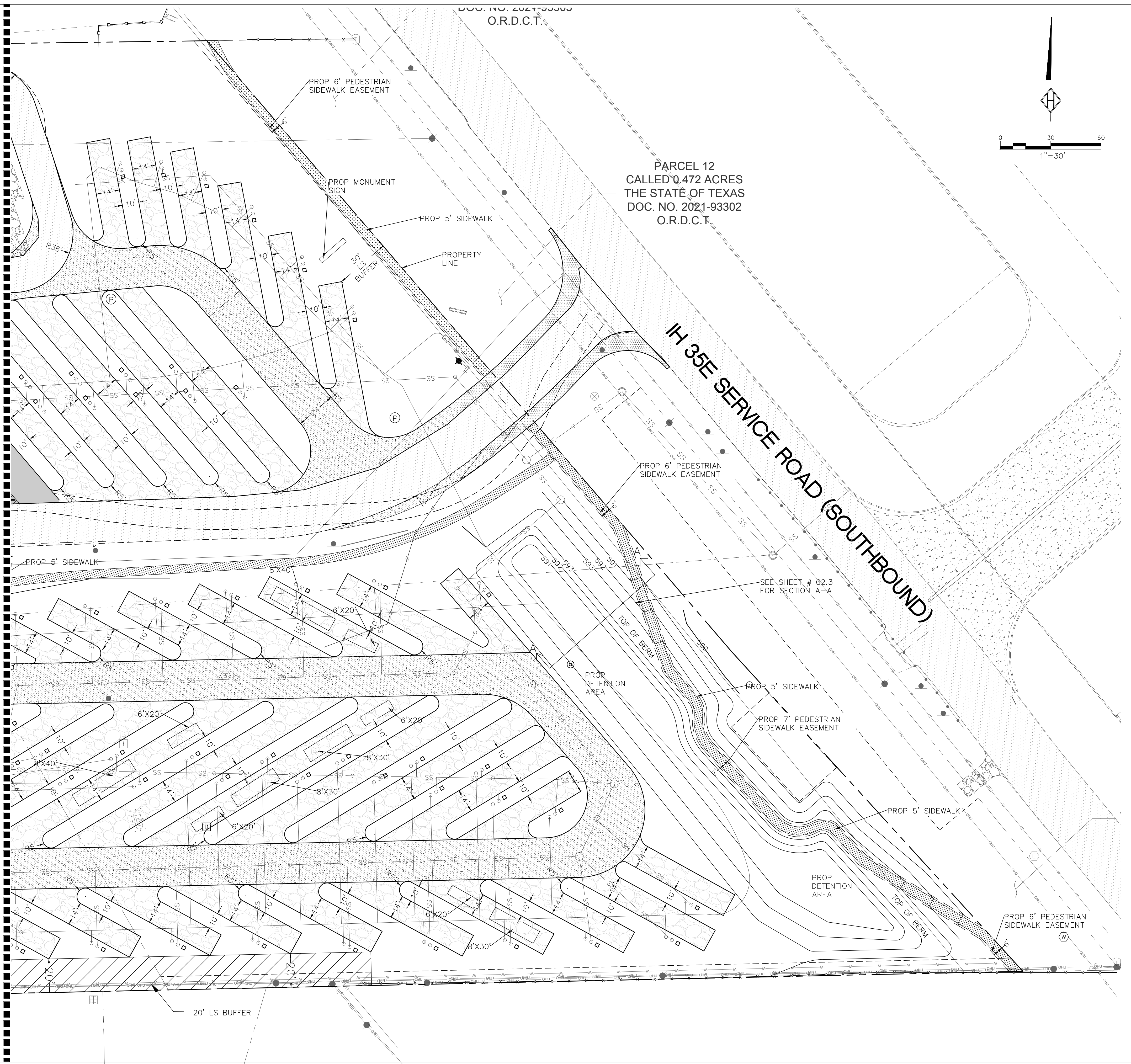
- I.R.F.* IRON ROD FOUND
- I.R.S.* IRON ROD SET
- "X" CUT X IN CONCRETE
- F.C.P.* FENCE CORNER POST
- ASPHALT
- ⊙ TELEPHONE MANHOLE
- ⊙ POWER POLE
- ⊙ LIGHT POLE
- ⊙ WATER VALVE
- ⊙^{SSMH} SANITARY SEWER MANHOLE
- ⊙ FIRE HYDRANT
- ⊙^{WM} WATER METER

EXHIBIT C
PAGE: 2 OF 6

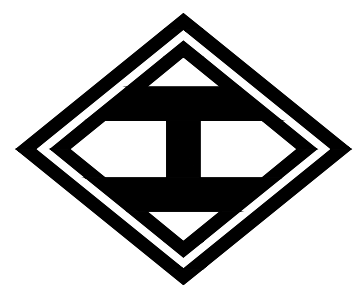
PRELIMINARY PLANS
THIS DOCUMENT IS FOR INTERIM
REVIEW AND IS NOT INTENDED FOR
CONSTRUCTION, BIDDING OR PERMIT
PURPOSES.
STEVEN R. HOMEYER, PE # 86942
DATE: 12/07/2022

SEE SHEET C2.2

V:\scd\drawings\21-0702_destiny_dallas - P:\projects\21-0702_destiny_dallas\21-0702_c02_pd_concept_planning\21-0702_c02_pd_concept_planning.dwg 05/01/22 09:57:00 AM



HOMEYER ENGINEERING, INC.
ENGINEERING REGISTRATION NO. F-8440
T.B.P.E. FIRM REGISTRATION NO. F-8440
P.O. BOX 294527 • LEWISVILLE, TEXAS 75027
972-906-9985 PHONE • 972-906-9987 FAX
WWW.HEI.US.COM



DESTINY DALLAS
LOTS 1 & 2, BLOCK 1
DALLAS KOA CAMPGROUND EDITION
18.98 ACRES
CITY OF CORINTH
DENTON COUNTY, TEXAS

PD CONCEPT PLAN WEST

DRAWN: SCD
DATE: 05/01/22
HEI #: 21-0702

SHEET NO:
C2.3

LEGEND	
I.R.F.	IRON ROD FOUND
I.R.S.	IRON ROD SET
"X"	CUT X IN CONCRETE
F.C.P.	FENCE CORNER POST
---	ASPHALT
⊙	TELEPHONE MANHOLE
⊘	POWER POLE
⊛	LIGHT POLE
⊗	WATER VALVE
⊙ ^{SSMH}	SANITARY SEWER MANHOLE
⊙	FIRE HYDRANT
⊗ ^{WM}	WATER METER

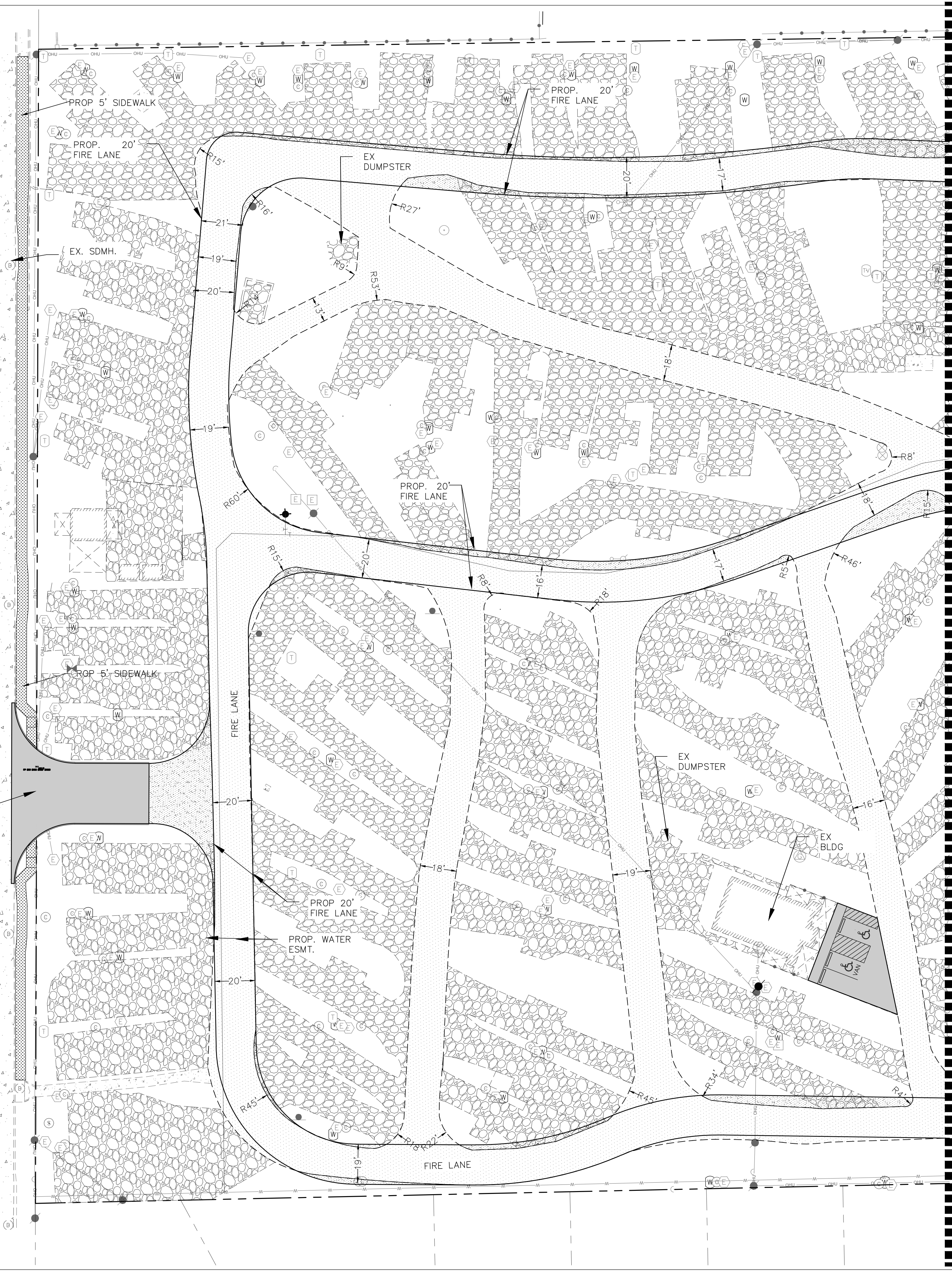
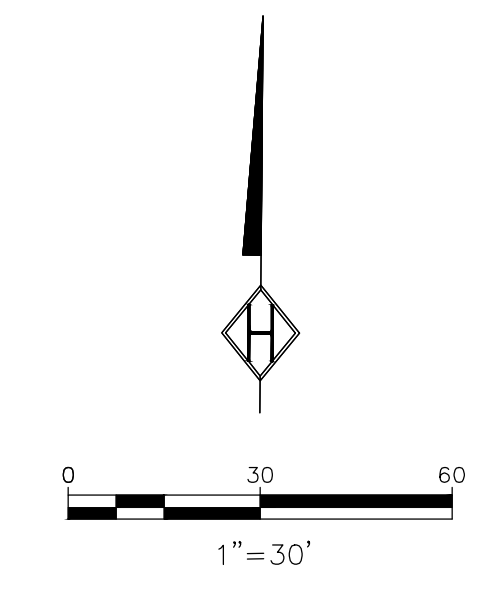
PAVEMENT LEGEND	
	DUMPER PAVEMENT PROPOSED 8" 4,000 PSI CONCRETE AT 28 DAYS W/ #4 BARS @ 18" O.C.E.W.
	HEAVY DUTY PAVEMENT DRIVE AISLE PROPOSED 8" 3,600 PSI CONC. @ 28 DAYS WITH #3 BARS @ 18" O.C.E.W.
	ASPHALT PAVEMENT PROPOSED 2" TY "D" HMAC OVER 2" TY "B" HMAC COMPACTED TO AN OPTIMUM DENSITY OF 96% PER LIFT IN ACCORDANCE WITH TXDOT ITEM 340. THE HMAC SHALL BE INSTALLED ON 6" OF COMPACTED FLEXIBLE BASE (MINIMUM 95% STANDARD PROCTOR DENSITY) IN ACCORDANCE WITH TXDOT ITEM 247.
	GRAVEL PAVEMENT PROPOSED 2" WASHED STONE. THE WASHED STONE SHALL BE INSTALLED ON 6" COMPACTED FLEXIBLE BASE (MINIMUM 95% STANDARD PROCTOR DENSITY) IN ACCORDANCE WITH TXDOT ITEM 247.
	SIDEWALK PAVEMENT PROPOSED 4" 3,000 PSI CONC. @ 28 DAYS WITH #3 BARS @ 18" O.C.E.W.
	EXISTING ASPHALT

PAVEMENT NOTES:

- ALL PAVEMENT SUBGRADE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 6" AND COMPACTED TO A MINIMUM 95% STANDARD PROCTOR DENSITY AT OR ABOVE OPTIMUM MOISTURE.
- CONNECT PROPOSED ASPHALT PAVEMENT TO EXISTING ASPHALT PAVEMENT USING A SMOOTH SAWCUT W/TACK COAT.

EXHIBIT C
PAGE: 4 OF 6

PRELIMINARY PLANS
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STEVEN R. HOMEYER, PE # 86942
DATE: 11/14/2022



TOWER RIDGE DRIVE
60' RIGHT OF WAY

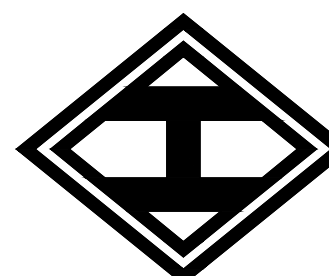
TOWER RIDGE DRIVE
60' RIGHT-OF-WAY

GATED EMERGENCY ACCESS ONLY

SEE SHEET C2.2

\\scd-arpa\p\21-0702_dms\102_dms\102_sheets\102_sheets\102_C2.3_C2.4_C2.5_C2.6_C2.7_C2.8_C2.9_C2.10_C2.11_C2.12_C2.13_C2.14_C2.15_C2.16_C2.17_C2.18_C2.19_C2.20_C2.21_C2.22_C2.23_C2.24_C2.25_C2.26_C2.27_C2.28_C2.29_C2.30_C2.31_C2.32_C2.33_C2.34_C2.35_C2.36_C2.37_C2.38_C2.39_C2.40_C2.41_C2.42_C2.43_C2.44_C2.45_C2.46_C2.47_C2.48_C2.49_C2.50_C2.51_C2.52_C2.53_C2.54_C2.55_C2.56_C2.57_C2.58_C2.59_C2.60_C2.61_C2.62_C2.63_C2.64_C2.65_C2.66_C2.67_C2.68_C2.69_C2.70_C2.71_C2.72_C2.73_C2.74_C2.75_C2.76_C2.77_C2.78_C2.79_C2.80_C2.81_C2.82_C2.83_C2.84_C2.85_C2.86_C2.87_C2.88_C2.89_C2.90_C2.91_C2.92_C2.93_C2.94_C2.95_C2.96_C2.97_C2.98_C2.99_C2.100_C2.101_C2.102_C2.103_C2.104_C2.105_C2.106_C2.107_C2.108_C2.109_C2.110_C2.111_C2.112_C2.113_C2.114_C2.115_C2.116_C2.117_C2.118_C2.119_C2.120_C2.121_C2.122_C2.123_C2.124_C2.125_C2.126_C2.127_C2.128_C2.129_C2.130_C2.131_C2.132_C2.133_C2.134_C2.135_C2.136_C2.137_C2.138_C2.139_C2.140_C2.141_C2.142_C2.143_C2.144_C2.145_C2.146_C2.147_C2.148_C2.149_C2.150_C2.151_C2.152_C2.153_C2.154_C2.155_C2.156_C2.157_C2.158_C2.159_C2.160_C2.161_C2.162_C2.163_C2.164_C2.165_C2.166_C2.167_C2.168_C2.169_C2.170_C2.171_C2.172_C2.173_C2.174_C2.175_C2.176_C2.177_C2.178_C2.179_C2.180_C2.181_C2.182_C2.183_C2.184_C2.185_C2.186_C2.187_C2.188_C2.189_C2.190_C2.191_C2.192_C2.193_C2.194_C2.195_C2.196_C2.197_C2.198_C2.199_C2.200_C2.201_C2.202_C2.203_C2.204_C2.205_C2.206_C2.207_C2.208_C2.209_C2.210_C2.211_C2.212_C2.213_C2.214_C2.215_C2.216_C2.217_C2.218_C2.219_C2.220_C2.221_C2.222_C2.223_C2.224_C2.225_C2.226_C2.227_C2.228_C2.229_C2.230_C2.231_C2.232_C2.233_C2.234_C2.235_C2.236_C2.237_C2.238_C2.239_C2.240_C2.241_C2.242_C2.243_C2.244_C2.245_C2.246_C2.247_C2.248_C2.249_C2.250_C2.251_C2.252_C2.253_C2.254_C2.255_C2.256_C2.257_C2.258_C2.259_C2.260_C2.261_C2.262_C2.263_C2.264_C2.265_C2.266_C2.267_C2.268_C2.269_C2.270_C2.271_C2.272_C2.273_C2.274_C2.275_C2.276_C2.277_C2.278_C2.279_C2.280_C2.281_C2.282_C2.283_C2.284_C2.285_C2.286_C2.287_C2.288_C2.289_C2.290_C2.291_C2.292_C2.293_C2.294_C2.295_C2.296_C2.297_C2.298_C2.299_C2.300_C2.301_C2.302_C2.303_C2.304_C2.305_C2.306_C2.307_C2.308_C2.309_C2.310_C2.311_C2.312_C2.313_C2.314_C2.315_C2.316_C2.317_C2.318_C2.319_C2.320_C2.321_C2.322_C2.323_C2.324_C2.325_C2.326_C2.327_C2.328_C2.329_C2.330_C2.331_C2.332_C2.333_C2.334_C2.335_C2.336_C2.337_C2.338_C2.339_C2.340_C2.341_C2.342_C2.343_C2.344_C2.345_C2.346_C2.347_C2.348_C2.349_C2.350_C2.351_C2.352_C2.353_C2.354_C2.355_C2.356_C2.357_C2.358_C2.359_C2.360_C2.361_C2.362_C2.363_C2.364_C2.365_C2.366_C2.367_C2.368_C2.369_C2.370_C2.371_C2.372_C2.373_C2.374_C2.375_C2.376_C2.377_C2.378_C2.379_C2.380_C2.381_C2.382_C2.383_C2.384_C2.385_C2.386_C2.387_C2.388_C2.389_C2.390_C2.391_C2.392_C2.393_C2.394_C2.395_C2.396_C2.397_C2.398_C2.399_C2.400_C2.401_C2.402_C2.403_C2.404_C2.405_C2.406_C2.407_C2.408_C2.409_C2.410_C2.411_C2.412_C2.413_C2.414_C2.415_C2.416_C2.417_C2.418_C2.419_C2.420_C2.421_C2.422_C2.423_C2.424_C2.425_C2.426_C2.427_C2.428_C2.429_C2.430_C2.431_C2.432_C2.433_C2.434_C2.435_C2.436_C2.437_C2.438_C2.439_C2.440_C2.441_C2.442_C2.443_C2.444_C2.445_C2.446_C2.447_C2.448_C2.449_C2.450_C2.451_C2.452_C2.453_C2.454_C2.455_C2.456_C2.457_C2.458_C2.459_C2.460_C2.461_C2.462_C2.463_C2.464_C2.465_C2.466_C2.467_C2.468_C2.469_C2.470_C2.471_C2.472_C2.473_C2.474_C2.475_C2.476_C2.477_C2.478_C2.479_C2.480_C2.481_C2.482_C2.483_C2.484_C2.485_C2.486_C2.487_C2.488_C2.489_C2.490_C2.491_C2.492_C2.493_C2.494_C2.495_C2.496_C2.497_C2.498_C2.499_C2.500_C2.501_C2.502_C2.503_C2.504_C2.505_C2.506_C2.507_C2.508_C2.509_C2.510_C2.511_C2.512_C2.513_C2.514_C2.515_C2.516_C2.517_C2.518_C2.519_C2.520_C2.521_C2.522_C2.523_C2.524_C2.525_C2.526_C2.527_C2.528_C2.529_C2.530_C2.531_C2.532_C2.533_C2.534_C2.535_C2.536_C2.537_C2.538_C2.539_C2.540_C2.541_C2.542_C2.543_C2.544_C2.545_C2.546_C2.547_C2.548_C2.549_C2.550_C2.551_C2.552_C2.553_C2.554_C2.555_C2.556_C2.557_C2.558_C2.559_C2.560_C2.561_C2.562_C2.563_C2.564_C2.565_C2.566_C2.567_C2.568_C2.569_C2.570_C2.571_C2.572_C2.573_C2.574_C2.575_C2.576_C2.577_C2.578_C2.579_C2.580_C2.581_C2.582_C2.583_C2.584_C2.585_C2.586_C2.587_C2.588_C2.589_C2.590_C2.591_C2.592_C2.593_C2.594_C2.595_C2.596_C2.597_C2.598_C2.599_C2.600_C2.601_C2.602_C2.603_C2.604_C2.605_C2.606_C2.607_C2.608_C2.609_C2.610_C2.611_C2.612_C2.613_C2.614_C2.615_C2.616_C2.617_C2.618_C2.619_C2.620_C2.621_C2.622_C2.623_C2.624_C2.625_C2.626_C2.627_C2.628_C2.629_C2.630_C2.631_C2.632_C2.633_C2.634_C2.635_C2.636_C2.637_C2.638_C2.639_C2.640_C2.641_C2.642_C2.643_C2.644_C2.645_C2.646_C2.647_C2.648_C2.649_C2.650_C2.651_C2.652_C2.653_C2.654_C2.655_C2.656_C2.657_C2.658_C2.659_C2.660_C2.661_C2.662_C2.663_C2.664_C2.665_C2.666_C2.667_C2.668_C2.669_C2.670_C2.671_C2.672_C2.673_C2.674_C2.675_C2.676_C2.677_C2.678_C2.679_C2.680_C2.681_C2.682_C2.683_C2.684_C2.685_C2.686_C2.687_C2.688_C2.689_C2.690_C2.691_C2.692_C2.693_C2.694_C2.695_C2.696_C2.697_C2.698_C2.699_C2.700_C2.701_C2.702_C2.703_C2.704_C2.705_C2.706_C2.707_C2.708_C2.709_C2.710_C2.711_C2.712_C2.713_C2.714_C2.715_C2.716_C2.717_C2.718_C2.719_C2.720_C2.721_C2.722_C2.72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HOMEYER
ENGINEERING, INC.
TBP# FIRM REGISTRATION NO. F-8440
P.O. BOX 294527 • LEWISVILLE, TEXAS • 75022
972-906-9985 PHONE • 972-906-9987 FAX
WWW.HEI.US.COM



DESTINY DALLAS
LOTS 1 & 2, BLOCK 1
DALLAS KOA CAMPGROUND EDITION
18.98 ACRES
CITY OF CORINTH
DENTON COUNTY, TEXAS

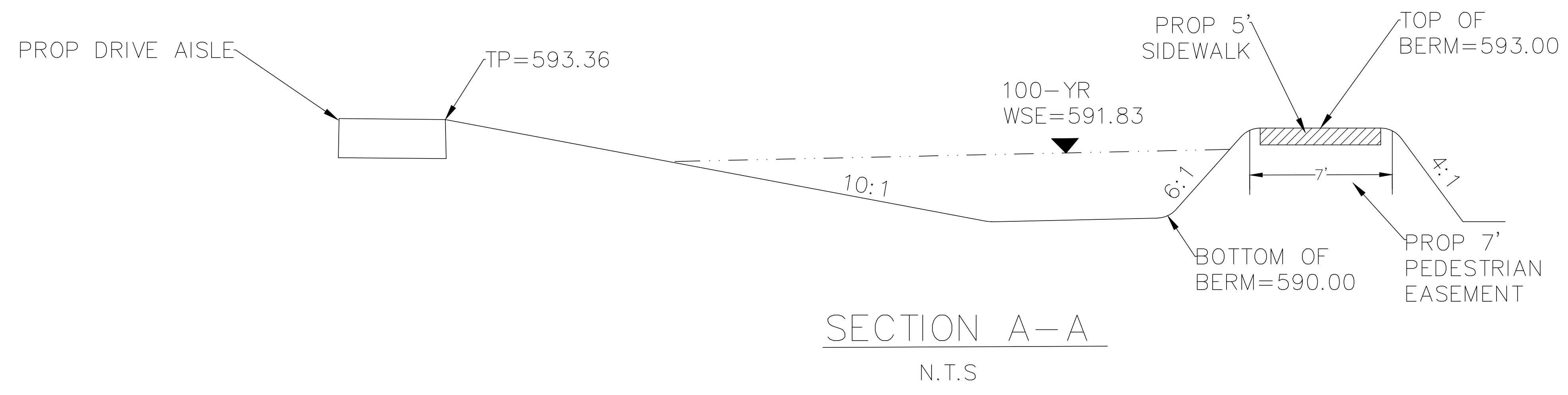
PD CONCEPT
PLAN

EXHIBIT C
PAGE: 6 OF 6

PRELIMINARY PLANS
THIS DOCUMENT IS FOR INTERIM
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CONSTRUCTION, BIDDING OR PERMIT
PURPOSES.
STEVEN R. HOMEYER, PE # 86942
DATE: 12/07/2022

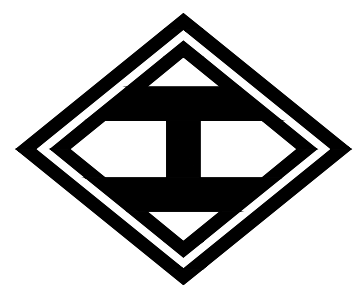
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HEI #: 21-0702

SHEET NO:
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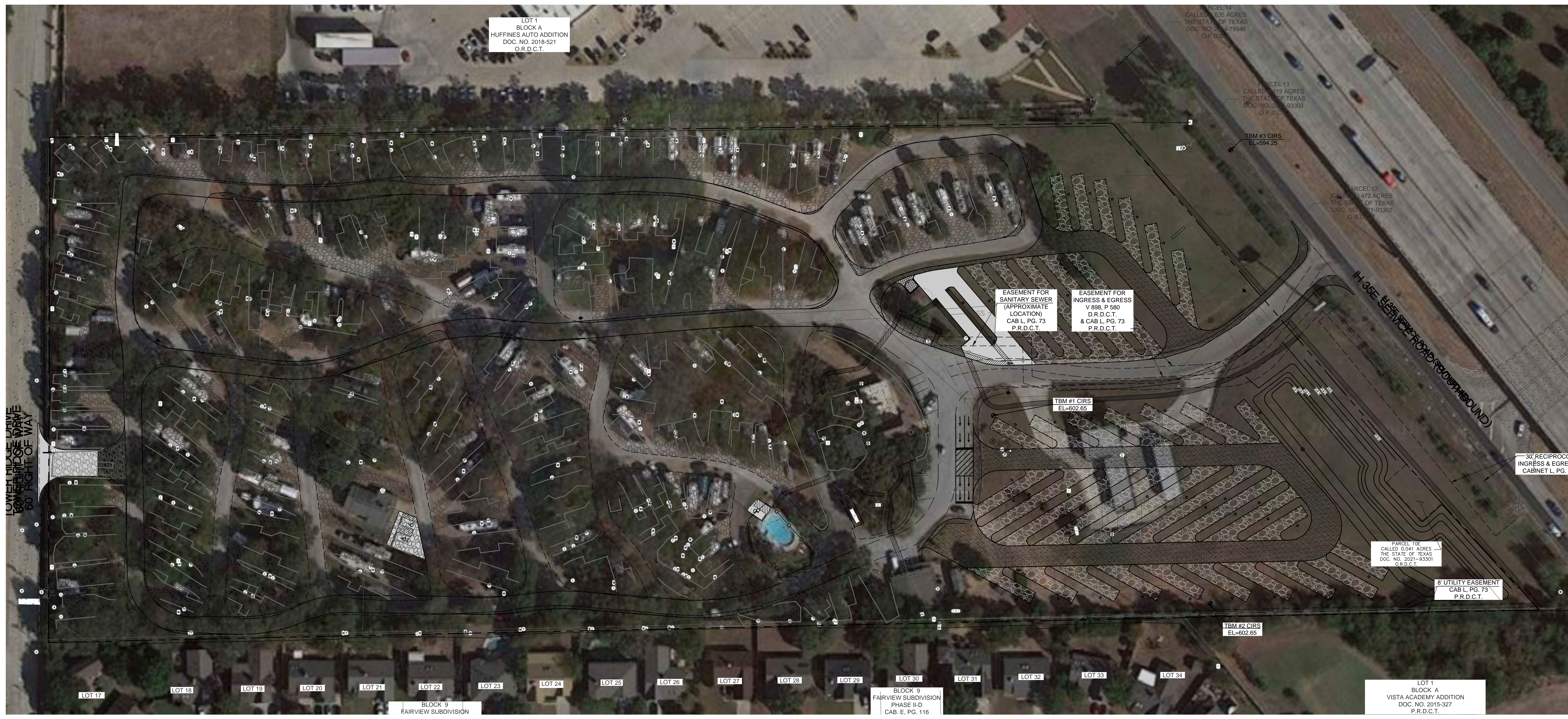
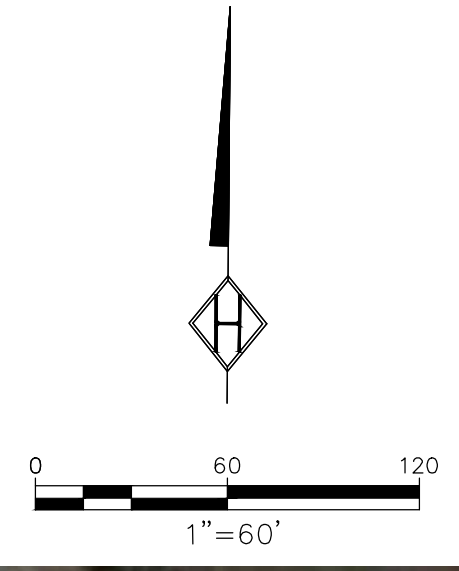
HOMEYER
ENGINEERING, INC.
T.B.P.E. FIRM REGISTRATION NO. F-8440
P.O. BOX 294527 LEWISVILLE, TEXAS 75029
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DESTINY DALLAS
LOTS 1 & 2, BLOCK 1
DALLAS KOA CAMPGROUND EDITION
18.98 ACRES
CITY OF CORINTH
DENTON COUNTY, TEXAS

CONCEPT PLAN
OVERLAY WITH
AERIAL

DRAWN: SCD
DATE: 05/01/22
HEI #: 21-0702
SHEET NO:
C4



LEGEND

I.R.F.	IRON ROD FOUND	⊗	POWER POLE
I.R.S.	IRON ROD SET	⊙	LIGHT POLE
"X"	CUT X IN CONCRETE	⊗	WATER VALVE
F.C.P.	FENCE CORNER POST	⊙SSMH	SANITARY SEWER MANHOLE
---	ASPHALT	⊙	FIRE HYDRANT
⊙	TELEPHONE MANHOLE	⊗WM	WATER METER

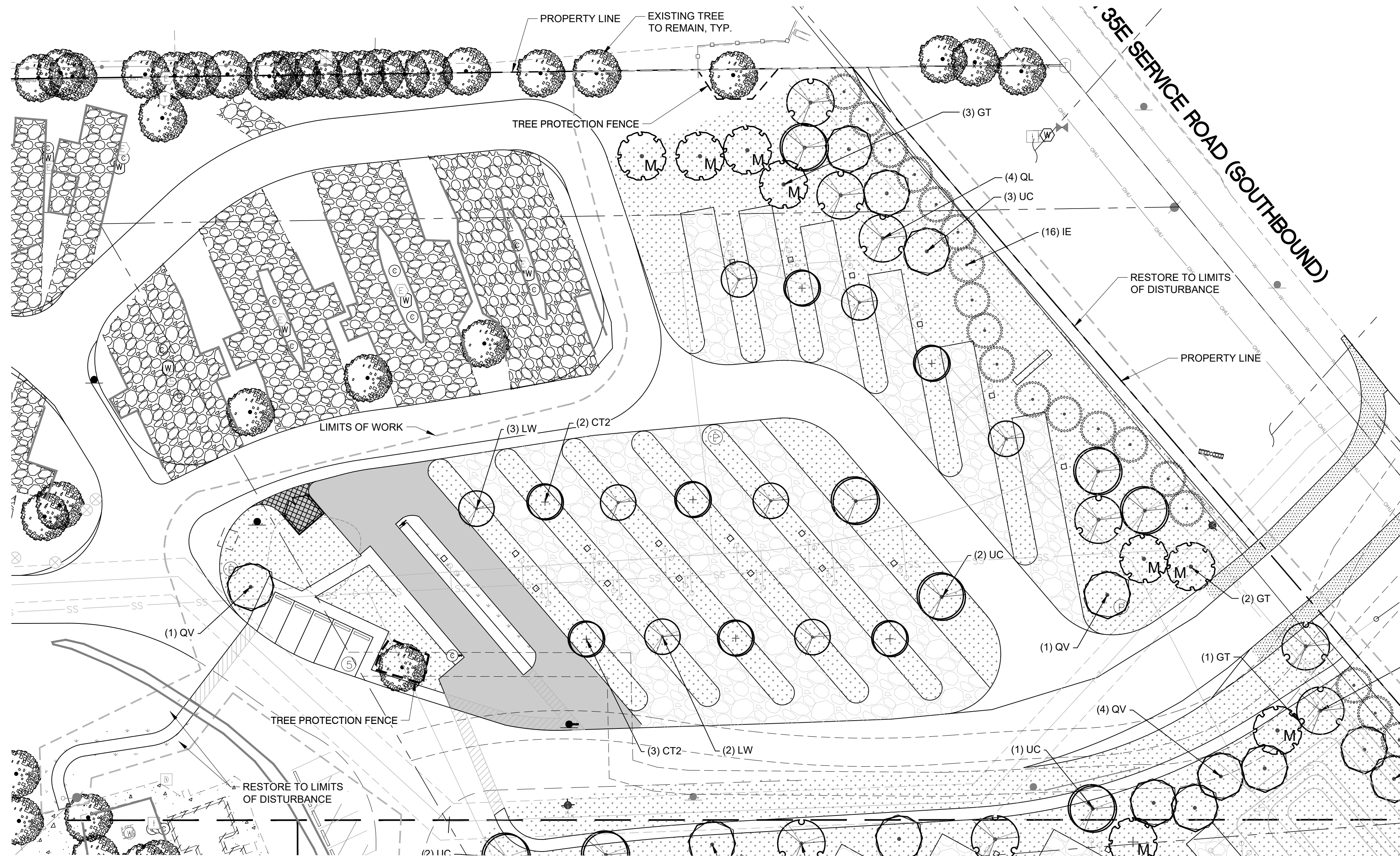
OWNER
Dallas RV., LLC
470 E. Herndon
Fresno, California 93720
Contact: Brett Fugman
Phon: 559-905-6151

ENGINEER
Homeyer Engineering, Inc.
P.O. Box 294527
Lewisville, Texas 75029
Contact: Steven R. Homeyer, PE
Phone: 972-906-9985

SURVEYOR
Eagle Surveying, LLC
210 S. Elm Street, Suite 104
Denton, Texas 76201
Contact: Mason Decker
Phone: 940-222-3009

EXHIBIT D
PRELIMINARY PLANS
THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.
STEVEN R. HOMEYER, PE # 86942
DATE: 11/14/2022

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PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
	CT2	21	Cercis canadensis texensis Texas Redbud	2" Cal.	Cont. or B&B	7' Min.
	GT3	3	Gleditsia triacanthos inermis 'Skycole' TM Skyline Thornless Honey Locust MITIGATION TREE	3" Cal.	Cont. or B&B	12' -14'
	GT	15	Gleditsia triacanthos inermis 'Skycole' TM Skyline Thornless Honey Locust MITIGATION TREE	4" Cal.	Cont. or B&B	14' Min.
	IE	42	Ilex x attenuata 'East Palatka' East Palatka Holly	2" Cal.	Cont.	8' HT MIN
	LW	24	Lagerstroemia indica 'Whit IV' TM Red Rocket Crape Myrtle	3-5 CANES, 2.5" OVERALL	Cont.	8' HT MIN
	QL	11	Quercus laceyi Lacey Oak	3" Cal.	Cont. or B&B	12' -14' HT
	QV	24	Quercus virginiana Southern Live Oak	3" Cal.	Cont. or B&B	12' -14' HT
	UC	18	Ulmus crassifolia Cedar Elm	3" Cal.	Cont. or B&B	12' -14' HT

GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	SIZE
	CD2	112,561 sf	Cynodon dactylon 'tif 419' Bermuda Grass	Hydromulch		
	CD	1,574 sf	Cynodon dactylon 'tif 419' Bermuda Grass	Sod		

EXISTING TREE SEE SHEET TD-1 FOR DETAILS

MATCHLINE - SEE SHEET LP-2

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

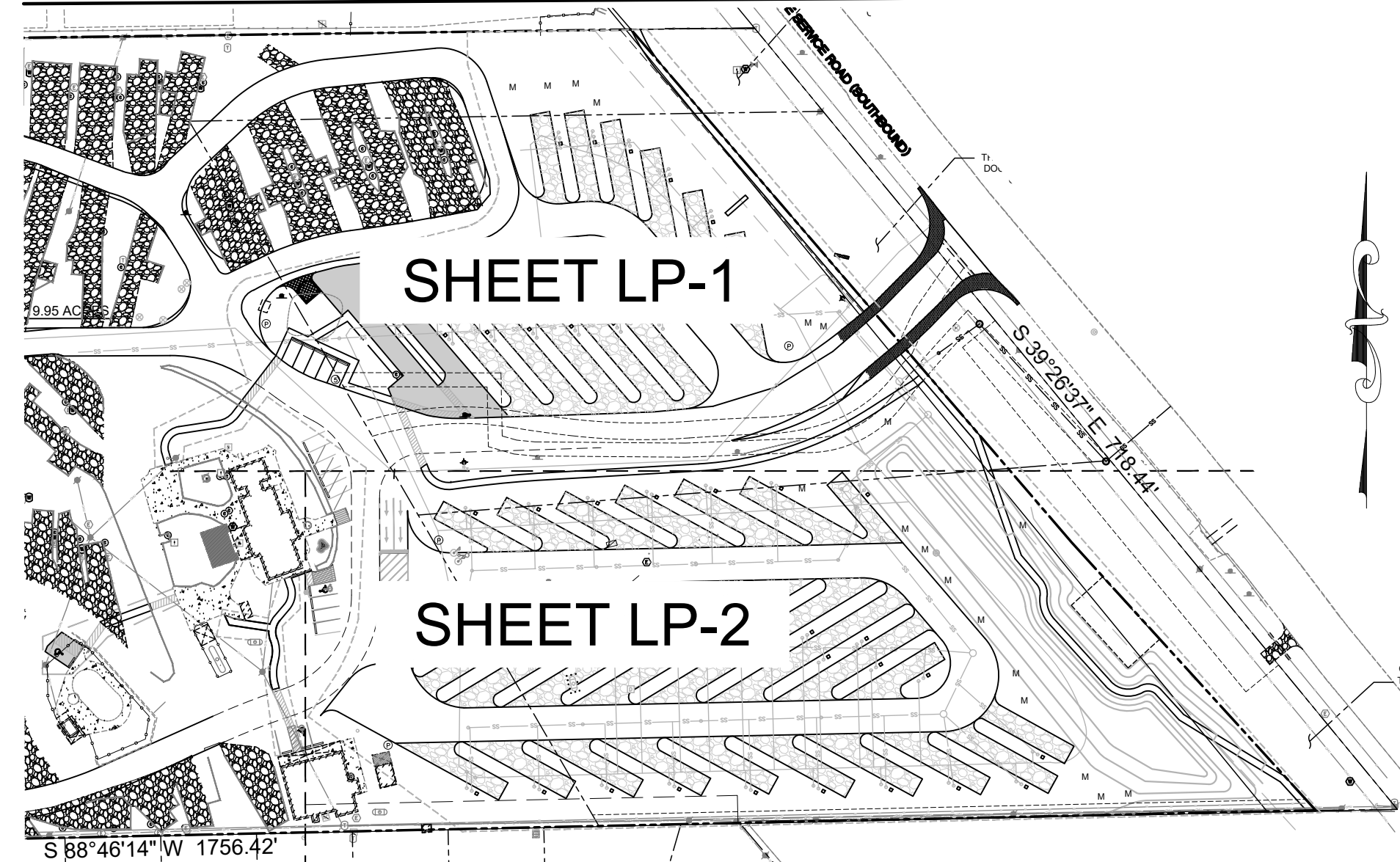
LANDSCAPE NOTES

- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY 12 STREET TREES REQUIRED, A LICENSED IRRIGATOR.
- THE CONTRACTOR SHALL VERIFY WATER RESTRICTIONS WITHIN THE CITY OF MCKINNEY AT TIME OF PLANTING. SHOULD WATER RESTRICTIONS NOT ALLOW HYDRO-MULCH, HYDRO-SEEDING, OR SPRIGGING (STAGE 3 AND STAGE 4 WATER RESTRICTIONS), AN APPROVED ALTERNATIVE FOR GRASSING SHALL BE INSTALLED.

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES, PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

SHEET KEY



LANDSCAPE CALCULATIONS

STREET TREES	
IH 35E SERVICE ROAD	737 LF
FRONTAGE LENGTH:	25 TREES (1 PER 30 LF OF FRONTAGE)
STREET TREES REQUIRED:	25 TREES
STREET TREES PROVIDED:	
PARKING LOT	5 PARKING SPACES
TREES REQUIRED:	1 TREES (1 PER 10 SPACES)
TREES PROVIDED:	1 TREES
SCREENING	
LENGTH:	207 LF
TREES REQUIRED:	8 TREES (1 PER 50 LF DOUBLE ROW)
TREES PROVIDED:	10 TREES
MITIGATION	
TREES REQUIRED:	69" (23 - 3" CALIPER)
TREES PROVIDED:	69" (15 - 4" CALIPER, 3 - 3" CALIPER)

NOTES:

- TREES AND SHRUBS MAY BE GROUPED BUT LINEAR FOOTAGE REQUIREMENTS QUANTITY SHALL NOT CHANGE.
- LANDSCAPE PLANS ARE CONCEPTUAL AND FLEXIBILITY IN LOCATION/GROUPING PERMITTED DURING CONSTRUCTION.

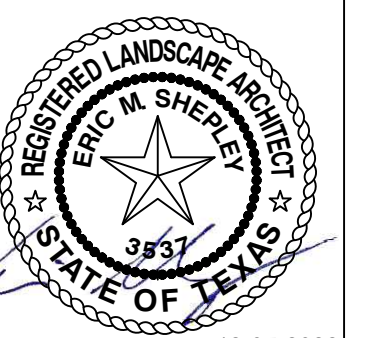
Scale 1" = 30'



EXHIBIT E
PAGE 1 OF 6

DESTINY DALLAS - 2
DALLAS KOA, BLOCK 1, LOT 1 & 2
CAMPGROUND ADDITION
5.89 ACRES
CITY OF CORINTH
DENTON COUNTY, TEXAS

CONCEPTUAL
LANDSCAPE
AND SCREENING PLAN

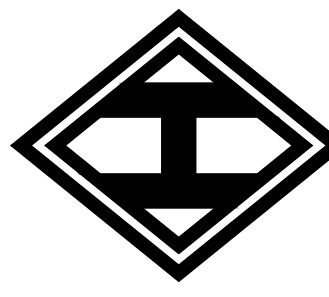


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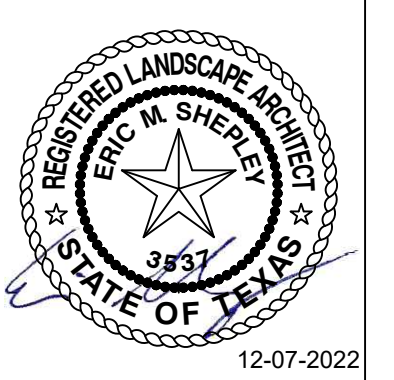


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DESTINY DALLAS - 2
 DALLAS KOA, BLOCK 1, LOT 1 & 2
 CAMPGROUND ADDITION
 5.89 ACRES
 CITY OF CORINTH
 DENTON COUNTY, TEXAS

LANDSCAPE
 PLANTING

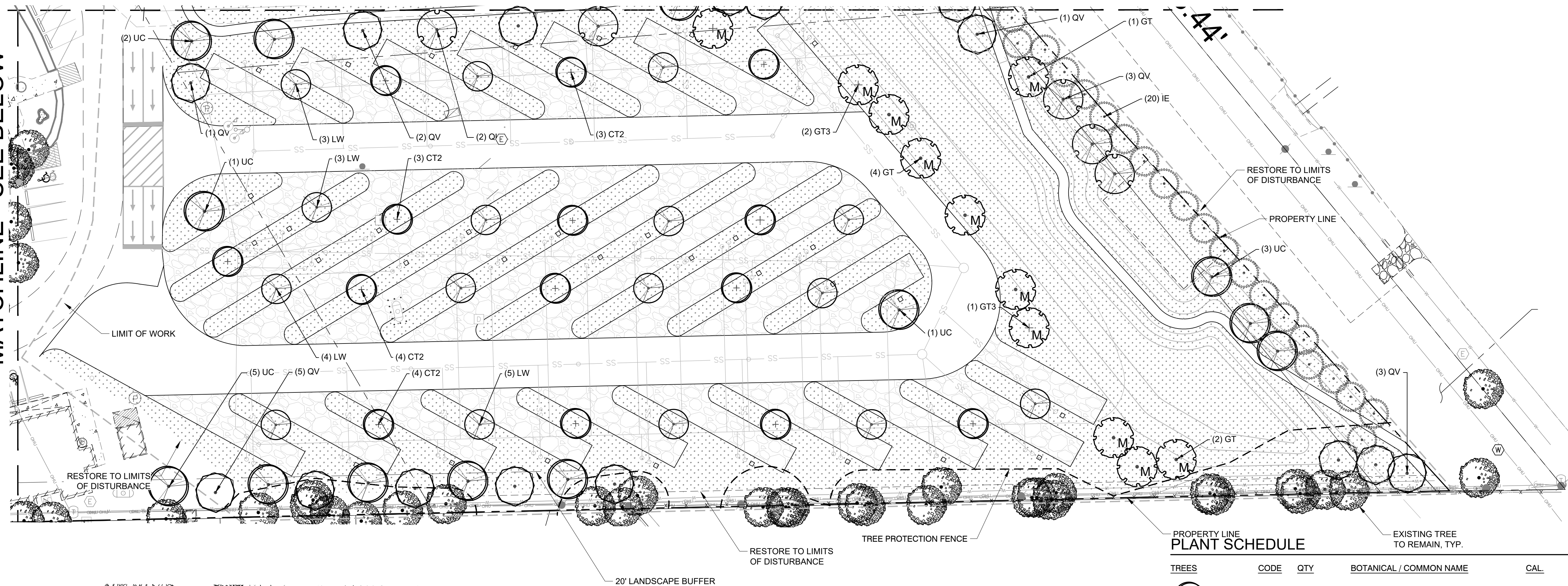


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 DATE: 09/24/21
 HEI #: 21-0702

SHEET NO:
LP-2

MATCHLINE - SEE SHEET LP-1

MATCHLINE - SEE BELOW

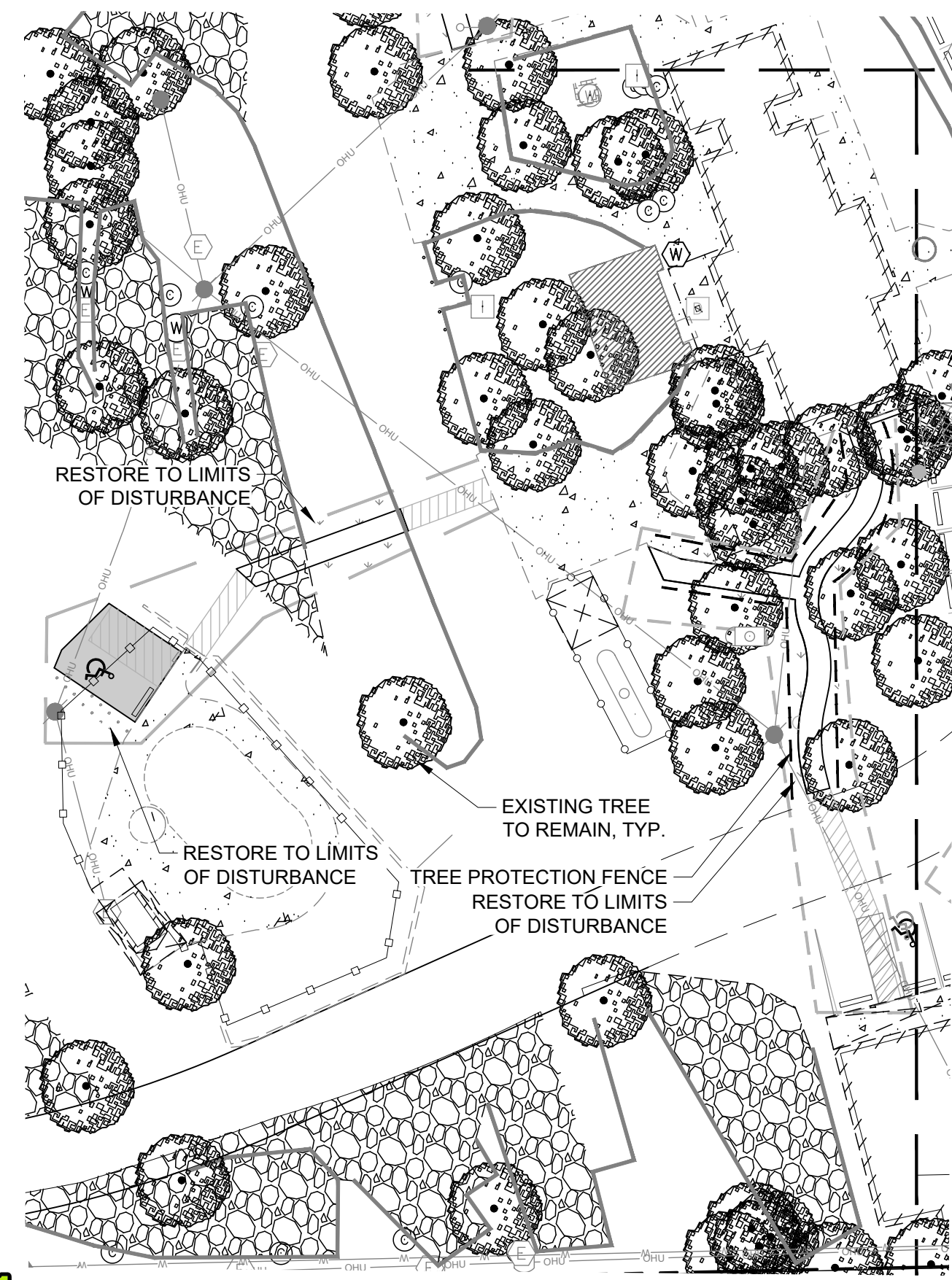
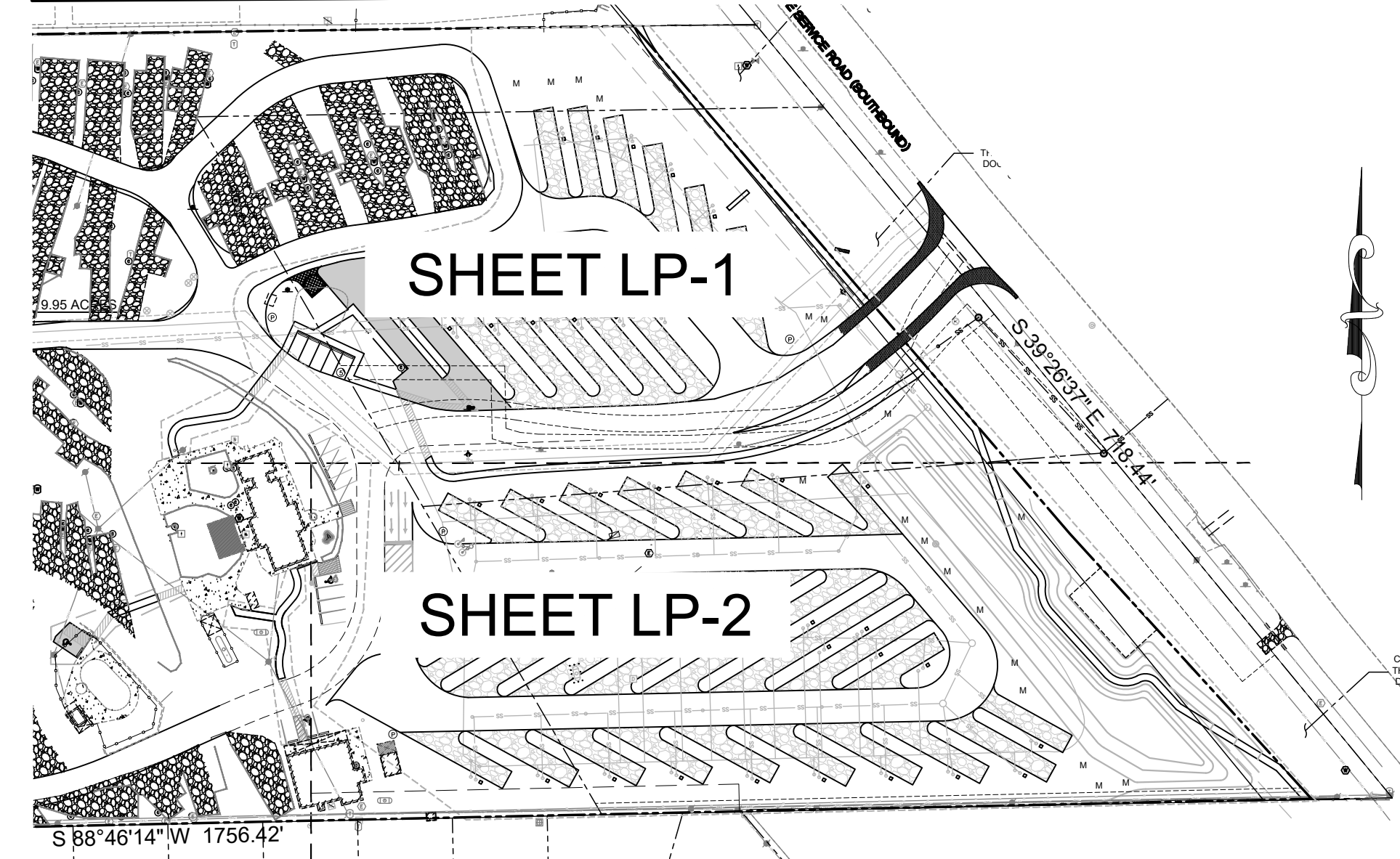


PROPERTY LINE
 PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
	CT2	21	Cercis canadensis texensis Texas Redbud	2' Cal.	Cont. or B&B	7' Min.
	GT3	3	Gleditsia triacanthos inermis 'Skycole'™ Skyline Thornless Honey Locust MITIGATION TREE	3' Cal.	Cont. or B&B	12'-14'
	GT	15	Gleditsia triacanthos inermis 'Skycole'™ Skyline Thornless Honey Locust MITIGATION TREE	4' Cal.	Cont. or B&B	14' Min.
	IE	42	Ilex x attenuata 'East Palatka' East Palatka Holly	2' Cal.	Cont.	8' HT MIN
	LW	24	Lagerstroemia indica 'Whit IV'™ Red Rocket Crape Myrtle	3-5 CANES, 2.5" OVERALL	Cont.	8' HT MIN
	QL	11	Quercus laceyi Lacey Oak	3' Cal.	Cont. or B&B	12'-14' HT
	QV	24	Quercus virginiana Southern Live Oak	3' Cal.	Cont. or B&B	12'-14' HT
	UC	18	Ulmus crassifolia Cedar Elm	3' Cal.	Cont. or B&B	12'-14' HT
	CD2	112,561 sf	Cynodon dactylon 'tif 419' Bermuda Grass	Hydromulch		
	CD	1,574 sf	Cynodon dactylon 'tif 419' Bermuda Grass	Sod		

EXISTING TREE SEE SHEET TD-1 FOR DETAILS

SHEET KEY



MATCHLINE - SEE ABOVE



Scale 1" = 30'

EXHIBIT E
 PAGE 2 OF 8

EVERGREEN
 DESIGN GROUP

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 15455 Dallas Pkwy., Ste 600
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 www.EvergreenDesignGroup.com

PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF THE TEXAS STRUCTURAL PEST CONTROL BOARD.
4. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID CONTRACTOR'S LICENSE ISSUED BY THE APPROPRIATE LOCAL JURISDICTION.
B. SCOPE OF WORK
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCRICLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
6. CALIPER MEASUREMENTS OF SINGLE TRUNK TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL, WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
D. SEED: PROVIDE BLEND OF SPECIES AND VARIETIES AS NOTED ON THE PLANS, WITH MAXIMUM PERCENTAGES OF PURITY, GERMINATION, AND MINIMUM PERCENTAGE OF WEED SEED AS INDICATED ON PLANS. EACH BAG OF SEED SHALL BE ACCOMPANIED BY A TAG FROM THE SUPPLIER INDICATING THE COMPOSITION OF THE SEED.
E. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
F. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 65 PERCENT BY WEIGHT, 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
G. PLANTING MIX FOR POTS: AN EQUAL PART MIXTURE OF TOPSOIL, SAND AND COMPOST. INCORPORATE "GELSCAPE", AS MADE BY AMERCO, INC., (800) 832-8788, AT THE RATE OF 3 LB. PER CUBIC YARD OF PLANTING MIX.
H. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
I. PALM MAINTENANCE SPIKES: AS MANUFACTURED BY THE LUTZ CORP., (800) 203-7740, OR APPROVED EQUAL.
J. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
K. TREE STAKING AND GUYING
1. STAKES: 6" LONG GREEN METAL T-POSTS.
2. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
L. STEEL EDGING: PROFESSIONAL STEEL EDGING, 1/4 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
M. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

- A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
2. SOIL TESTING
a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR), AND BORON CONTENT.
b. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
c. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATION OF SOIL, PREPARATION OF PLANTS THAT HAVE SETTLED, MOULDING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
d. SHOULD SEEDING AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
e. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
i. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
ii. ALL HARDCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
iii. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEEDING OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDING/HYDROMULCHED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
2. AFTER THE INITIAL GUARANTEE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
3. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ANY CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.
J. INSPECTION AND ACCEPTANCE
1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTANCE.
2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
K. LANDSCAPE MAINTENANCE
1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
2. SHOULD SEEDING AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
b. ALL HARDCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEEDING OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
L. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH GRADE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
d. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
e. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

B. SUBMITTALS

- 1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.

C. GENERAL PLANTING

- 1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
3. TREENCHING NEAR EXISTING TREES
a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2' AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2' AND LARGER IN DIAMETER, WHERE TREE ROOTS 1-1/2' AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS, WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIPLINES WITHIN 24 HOURS.
d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

4. TREE PLANTING

- 1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
2. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
3. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
4. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
5. TREES OVER 4" CALIPER
a. TREES OVER 4" CALIPER SHALL BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
i. 1"-2" TREES TWO STAKES PER TREE
ii. 2-1/2"-4" TREES THREE STAKES PER TREE
iii. TREES OVER 4" CALIPER GUY AS NEEDED
iv. MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
e. #15 CONT. - 24" BOX TREES TWO STAKES PER TREE
f. 36" 48" BOX TREES THREE STAKES PER TREE
g. OVER 48" BOX TREES GUY AS NEEDED
h. MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
6. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).

D. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING

- 1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
3. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.

E. SODDING

- 1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS. DO NOT OVERLAP. STAGGER JOINTS IN ADJACENT COURSES.
4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.

H. MULCH

- 1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.

I. CLEAN UP

- 1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.

J. INSPECTION AND ACCEPTANCE

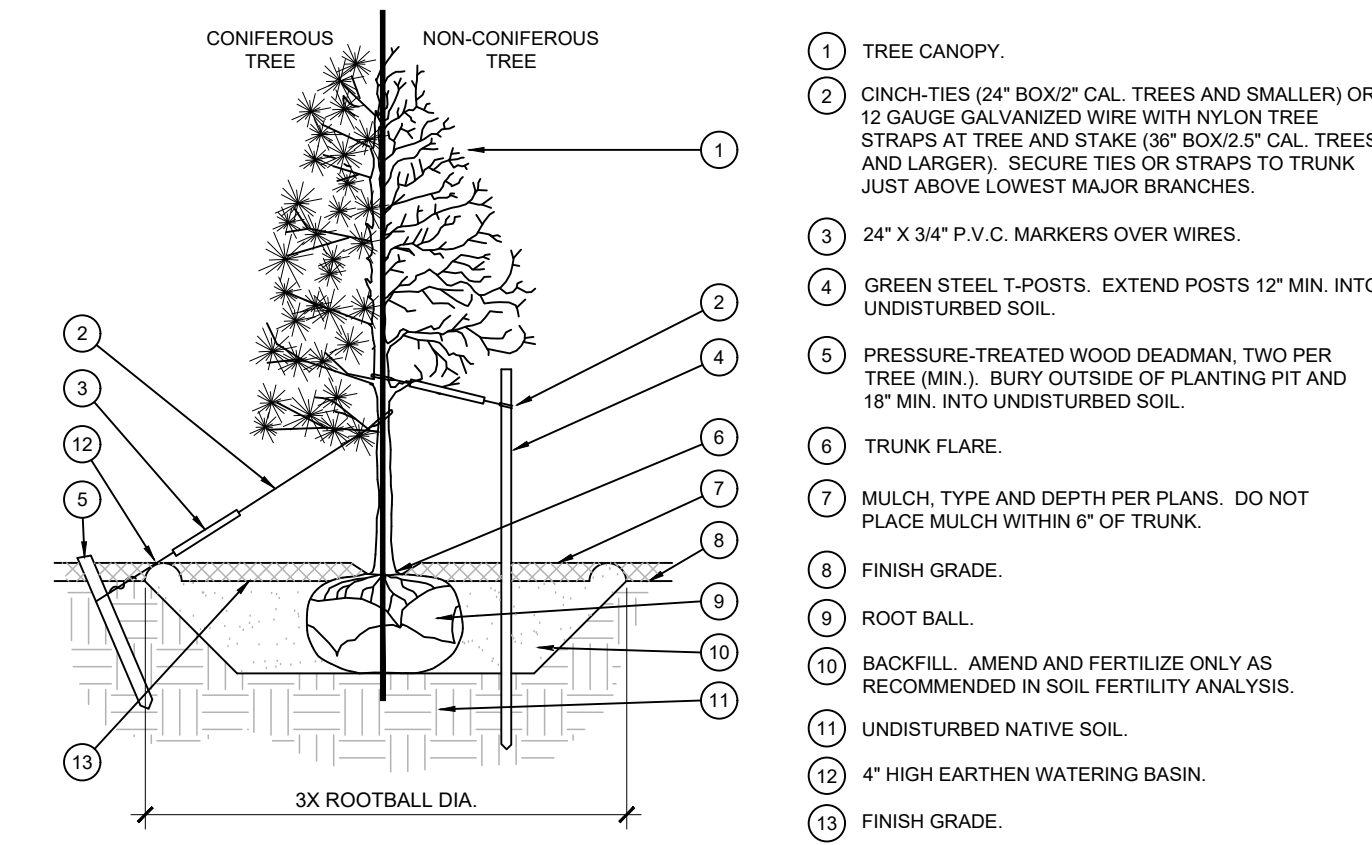
- 1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTANCE.
2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

K. LANDSCAPE MAINTENANCE

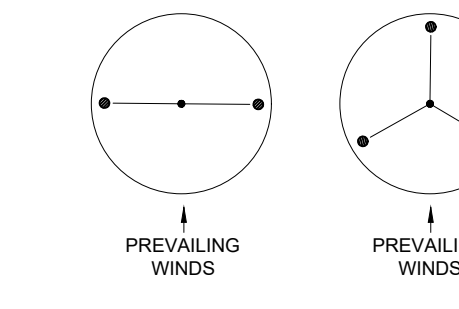
- 1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
2. SHOULD SEEDING AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
b. ALL HARDCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEEDING OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

L. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS

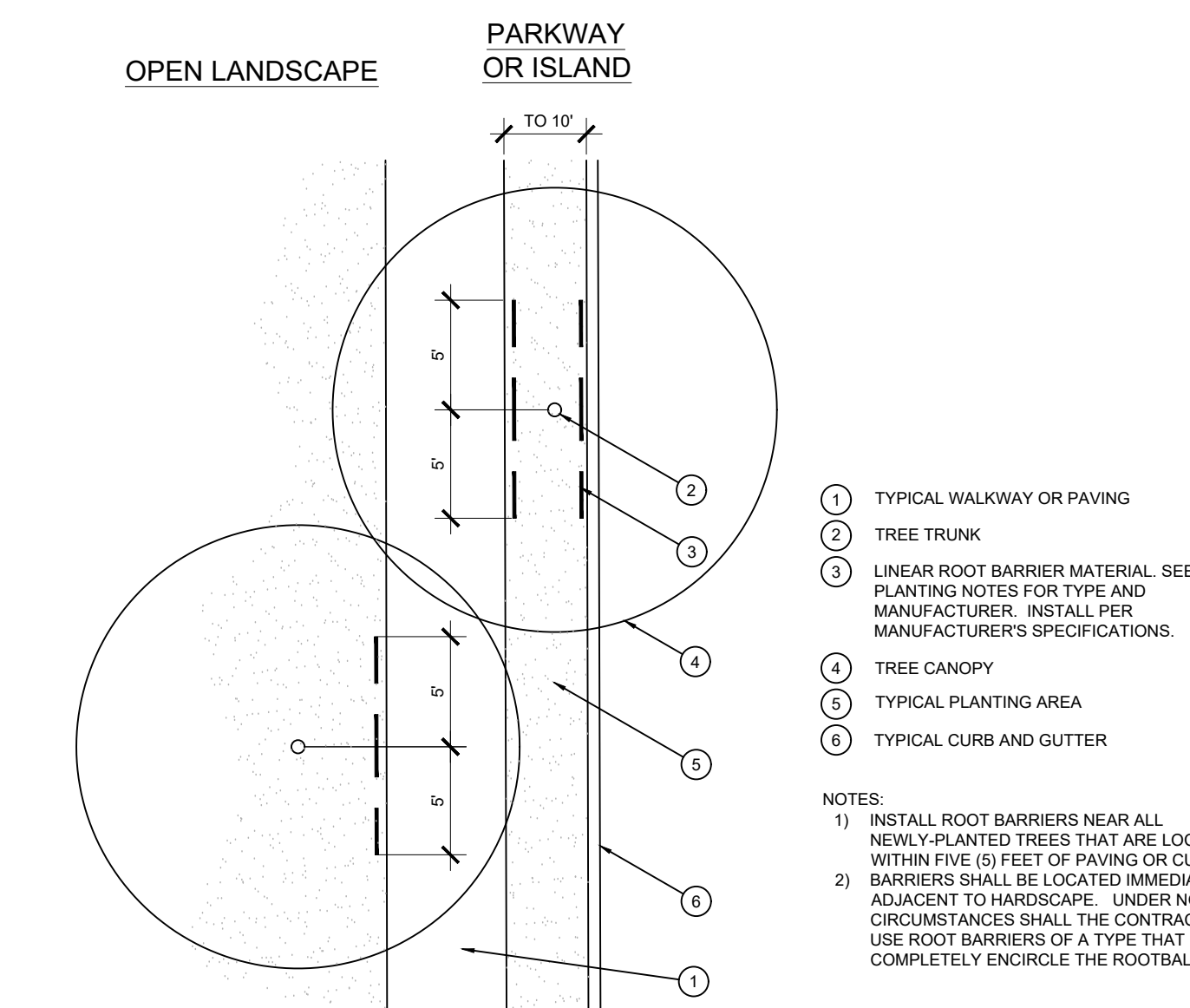
- 1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDING/HYDROMULCHED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
2. AFTER THE INITIAL GUARANTEE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
3. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ANY CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



STAKING EXAMPLES (PLAN VIEW)



A TREE PLANTING SCALE: NOT TO SCALE



B ROOT BARRIER - PLAN VIEW SCALE: NOT TO SCALE

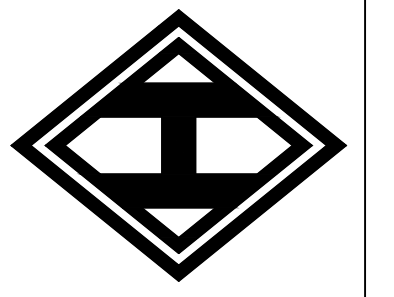
- 1 TREE CANOPY.
2 CINCH-TIES (24" BOX/2" CAL TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX/2.5" CAL TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
3 24" X 3/4" P.V.C. MARKERS OVER WIRES.
4 GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
5 PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
6 TRUNK FLARE.
7 MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
8 FINISH GRADE.
9 ROOT BALL.
10 BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
11 UNDISTURBED NATIVE SOIL.
12 4" HIGH EARTH WATERING BASIN.
13 FINISH GRADE.

- NOTES:
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2" ABOVE FINISH GRADE.
3. FOR 8&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
4. REMOVE ALL NURSERY STAKES AFTER PLANTING.
5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

- 1 TYPICAL WALKWAY OR PAVING
2 TREE TRUNK
3 LINEAR ROOT BARRIER MATERIAL. SEE PLANTING NOTES FOR TYPE AND MANUFACTURER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
4 TREE CANOPY
5 TYPICAL PLANTING AREA
6 TYPICAL CURB AND GUTTER

- NOTES:
1) INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS.
2) BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCRIRCLE THE ROOTBALL.

HOMMEYER ENGINEERING, INC.
ENGINEERING, INC.
TBE FIRM REGISTRATION NO. F-8440
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DESTINY DALLAS - 2
DALLAS KOA, BLOCK 1, LOT 1 & 2
CAMPGROUND ADDITION
5.89 ACRES
CITY OF CORINTH
DENTON COUNTY, TEXAS

PLANTING
DETAILS &
SPECIFICATIONS

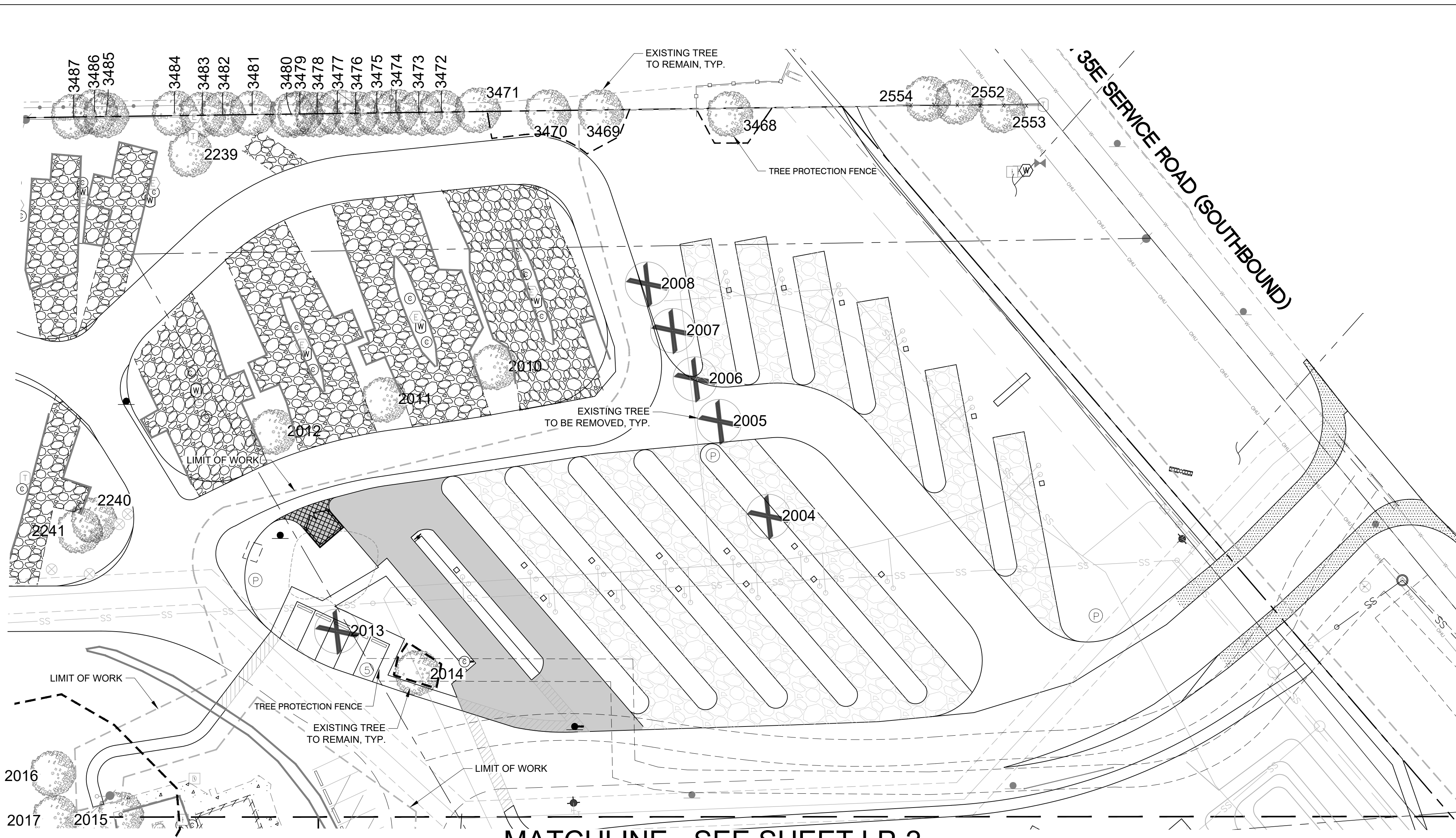


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HEI #: 21-0702

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EXHIBIT E
PAGE 3 OF 6



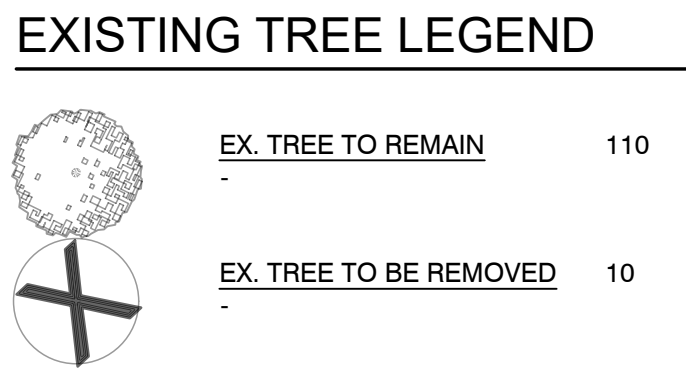


TREE INVENTORY

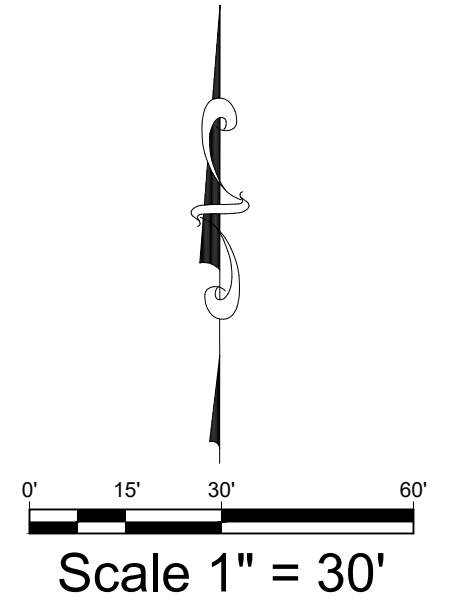
Tag #	Tree Type	Adj. DBH	Status	Tag #	Tree Type	Adj. DBH	Status
2001	Catalpa- Catalpa bignonioides	9	Remove	2046	Cedar Elm- Ulmus crassifolia	12	Remain
2002	Catalpa- Catalpa bignonioides	8	Remove	2047	Cedar Elm- Ulmus crassifolia	14	Remain
2003	Catalpa- Catalpa bignonioides	10	Remove	2048	Hackberry- Celtis occidentalis	23	Remain
2004	Mulberry- Morus alba	12	Remove	2049	Blackjack Oak- Quercus marilandica	21	Remain
2005	Mulberry- Morus alba	33	Remove	2050	Post Oak- Quercus stellata	25	Remain
2006	Mulberry- Morus alba	24	Remove	2051	Post Oak- Quercus stellata	9	Remain
2007	Mulberry- Morus alba	25	Remove	2052	Post Oak- Quercus stellata	15	Remain
2008	Maple- Acer saccharinum	28	Remove	2053	Post Oak- Quercus stellata	25	Remain
2010	Chaste tree- Vitex agnes castor	20	Remain	2054	Post Oak- Quercus stellata	16	Remain
2011	Chaste tree- Vitex agnes castor	18	Remain	2055	Post Oak- Quercus stellata	28	Remain
2012	Chaste tree- Vitex agnes castor	22	Remain	2056	Cedar Elm- Ulmus crassifolia	19	Remain
2013	Maple- Acer saccharinum	14	Remove	2057	Cedar Elm- Ulmus crassifolia	10	Remain
2014	Chinese Pistache- Pistacia chinensis	7	Remain	2058	Post Oak- Quercus stellata	25	Remain
2015	Post Oak- Quercus stellata	25	Remain	2059	Post Oak- Quercus stellata	26	Remain
2016	Post Oak- Quercus stellata	33	Remain	2239	Cedar- Juniperus virginiana	19	Remain
2017	Post Oak- Quercus stellata	18	Remain	2240	American Elm- Ulmus americana	22	Remain
2018	Post Oak- Quercus stellata	18	Remain	2241	Blackjack Oak- Quercus marilandica	23	Remain
2019	Post Oak- Quercus stellata	14	Remain	2427	Cedar Elm- Ulmus crassifolia	14	Remain
2020	Post Oak- Quercus stellata	14	Remain	2428	Cedar Elm- Ulmus crassifolia	12	Remain
2021	Post Oak- Quercus stellata	13	Remain	2429	Cedar Elm- Ulmus crassifolia	14	Remain
2022	Post Oak- Quercus stellata	20	Remain	2430	Cedar Elm- Ulmus crassifolia	24	Remain
2023	Post Oak- Quercus stellata	15	Remain	2431	Cedar Elm- Ulmus crassifolia	18	Remain
2024	Post Oak- Quercus stellata	27	Remain	2432	Cedar Elm- Ulmus crassifolia	20	Remain
2025	Post Oak- Quercus stellata	19	Remain	2433	Cedar Elm- Ulmus crassifolia	18	Remain
2027	Post Oak- Quercus stellata	12	Remain	2434	Cedar Elm- Ulmus crassifolia	12	Remain
2028	Post Oak- Quercus stellata	15	Remain	2435	Cedar Elm- Ulmus crassifolia	10	Remain
2029	Post Oak- Quercus stellata	11	Remain	2436	Cedar Elm- Ulmus crassifolia	16	Remain
2030	Post Oak- Quercus stellata	7	Remain	2437	Cedar Elm- Ulmus crassifolia	15	Remain
2031	Post Oak- Quercus stellata	16	Remain	2438	Cedar Elm- Ulmus crassifolia	12	Remain
2032	Post Oak- Quercus stellata	14	Remain	2439	Cedar Elm- Ulmus crassifolia	10	Remain
2033	Post Oak- Quercus stellata	18	Remain	2440	Cedar Elm- Ulmus crassifolia	9	Remain
2034	Post Oak- Quercus stellata	12	Remain	2441	Cedar Elm- Ulmus crassifolia	15	Remain
2035	Post Oak- Quercus stellata	18	Remain	2517	Cedar- Juniperus virginiana	8	Remain
2036	Post Oak- Quercus stellata	19	Remain	2518	Cedar- Juniperus virginiana	10	Remain
2037	Post Oak- Quercus stellata	16	Remain	2523	Cedar Elm- Ulmus crassifolia	9	Remain
2038	Post Oak- Quercus stellata	21	Remain	2524	Youpon Holly- Llex vomitoria	10	Remain
2039	Post Oak- Quercus stellata	15	Remain	2525	Hackberry- Celtis occidentalis	6	Remain
2040	Post Oak- Quercus stellata	25	Remain	2526	Cedar- Juniperus virginiana	11	Remain
2041	Post Oak- Quercus stellata	28	Remain	2527	Hackberry- Celtis occidentalis	14	Remain
2043	Post Oak- Quercus stellata	21	Remain	2528	Hackberry- Celtis occidentalis	19	Remain
2044	Post Oak- Quercus stellata	14	Remain	2529	Hackberry- Celtis occidentalis	8	Remain
2045	Bradford Pear- Pyrus calleryana	17	Remove	2530	Cedar Elm- Ulmus crassifolia	17	Remain
				2531	Cedar Elm- Ulmus crassifolia	7	Remain
				2532	Hackberry- Celtis occidentalis	13	Remain
				2533	Hackberry- Celtis occidentalis	11	Remain
				2534	Cedar- Juniperus virginiana	6	Remain
				2535	Hackberry- Celtis occidentalis	12	Remain
				2536	Chinaberry- Mia azedarach	11	Remain
				2537	Hackberry- Celtis occidentalis	7	Remain
				2538	Hackberry- Celtis occidentalis	9	Remain
				2539	Hackberry- Celtis occidentalis	11	Remain
				2540	Hackberry- Celtis occidentalis	10	Remain
				2541	Hackberry- Celtis occidentalis	8	Remain
				2542	Hackberry- Celtis occidentalis	8	Remain
				2543	Hackberry- Celtis occidentalis	9	Remain
				2544	Hackberry- Celtis occidentalis	11	Remain
				2545	Hackberry- Celtis occidentalis	15	Remain
				2546	Hackberry- Celtis occidentalis	29	Remain
				2547	Hackberry- Celtis occidentalis	7	Remain
				2548	Hackberry- Celtis occidentalis	31	Remain
				2549	Cedar- Juniperus virginiana	9	Remain
				2550	Hackberry- Celtis occidentalis	26	Remain
				2551	Bradford Pear- Pyrus calleryana	9	Remain
				2552	Hackberry- Celtis occidentalis	10	Remain
				2553	American Elm- Ulmus americana	21	Remain
				2554	American Elm- Ulmus americana	7	Remain
				3468	Hackberry- Celtis occidentalis	12	Remain
				3469	Hackberry- Celtis occidentalis	10	Remain
				3470	Hackberry- Celtis occidentalis	24	Remain
				3471	Chinese Pistache- Pistacia chinensis	9	Remain
				3472	Cedar Elm- Ulmus crassifolia	8	Remain
				3473	Hackberry- Celtis occidentalis	13	Remain
				3474	Cedar Elm- Ulmus crassifolia	6	Remain
				3475	Hackberry- Celtis occidentalis	10	Remain
				3476	Cedar Elm- Ulmus crassifolia	7	Remain
				3477	Cedar Elm- Ulmus crassifolia	9	Remain
				3478	Cedar Elm- Ulmus crassifolia	9	Remain
				3479	Hackberry- Celtis occidentalis	11	Remain
				3480	Cedar Elm- Ulmus crassifolia	11	Remain
				3481	Cedar Elm- Ulmus crassifolia	9	Remain
				3482	Cedar Elm- Ulmus crassifolia	15	Remain
				3483	Cedar Elm- Ulmus crassifolia	9	Remain
				3484	Cedar Elm- Ulmus crassifolia	17	Remain
				3485	Cedar Elm- Ulmus crassifolia	12	Remain
				3486	Cedar Elm- Ulmus crassifolia	21	Remain
				3487	Cedar- Juniperus virginiana	8	Remain
				9484	Cedar Elm- Ulmus crassifolia		

NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.

NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.



MITIGATION FOR REMOVAL OF EXISTING TREES
MITIGATION REQUIRED FOR REMOVAL OF 5 PROTECTED TREES: 69"
PROPOSED TREE MITIGATION PROVIDED: 69"
PLANTING OF 15 - 4" and 3 - 3" CANOPY TREES



NOTE: UNPROTECTED TREES (PER CITY'S ZONING ORDINANCE) ALONG THE NORTHERN AND SOUTHERN PROPERTY BOUNDARY IN THE NEW PHASE ARE DESIRABLE AS A BUFFER AND TREE PROTECTION IS BEING PROVIDED. IF ANY UNPROTECTED TREES CANNOT BE PRESERVED DURING CONSTRUCTION THEY MAY BE REMOVED AND NO MITIGATION IS REQUIRED.

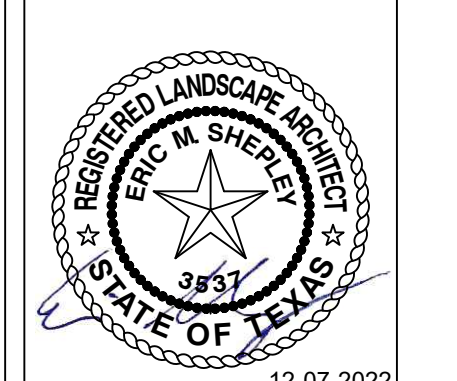
EXHIBIT E
PAGE 4 OF 6



HOMEYER ENGINEERING, INC.
ENGINEERING, INC.
TBE FIRM REGISTRATION NO. F-8440
P.O. BOX 294527 • LEWISVILLE, TEXAS • 75029
972-906-9985 PHONE • 972-906-9987 FAX
WWW.HEI.US.COM

DESTINY DALLAS - 2
DALLAS KOA, BLOCK 1, LOT 1 & 2
CAMPGROUND ADDITION
5.89 ACRES
CITY OF CORINTH
DENTON COUNTY, TEXAS

TREE
DISPOSITION



DRAWN: EMS
DATE: 09/24/21
HEI #: 21-0702

SHEET NO:
TD-1

C:\Users\jshelton\OneDrive\Documents\2021\09\2021-09-27.dwg - 09/27/21 10:03 AM



TREE PROTECTION SPECIFICATIONS

MATERIALS

- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL T' SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

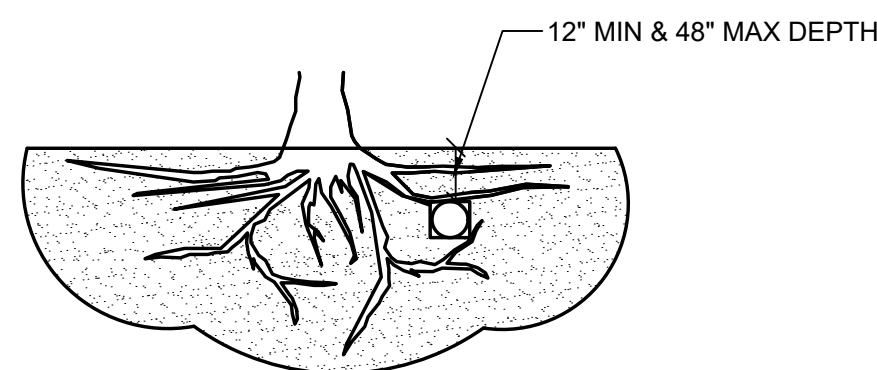
CONSTRUCTION METHODS

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
- THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
- WITHIN THE CRZ:
 - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
 - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
 - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
 - DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR

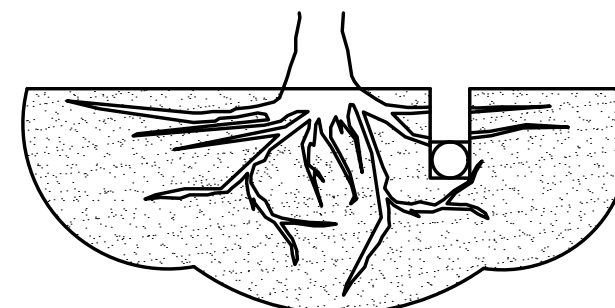
- LUMBER CUTTING). DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
- DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.
- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES
- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

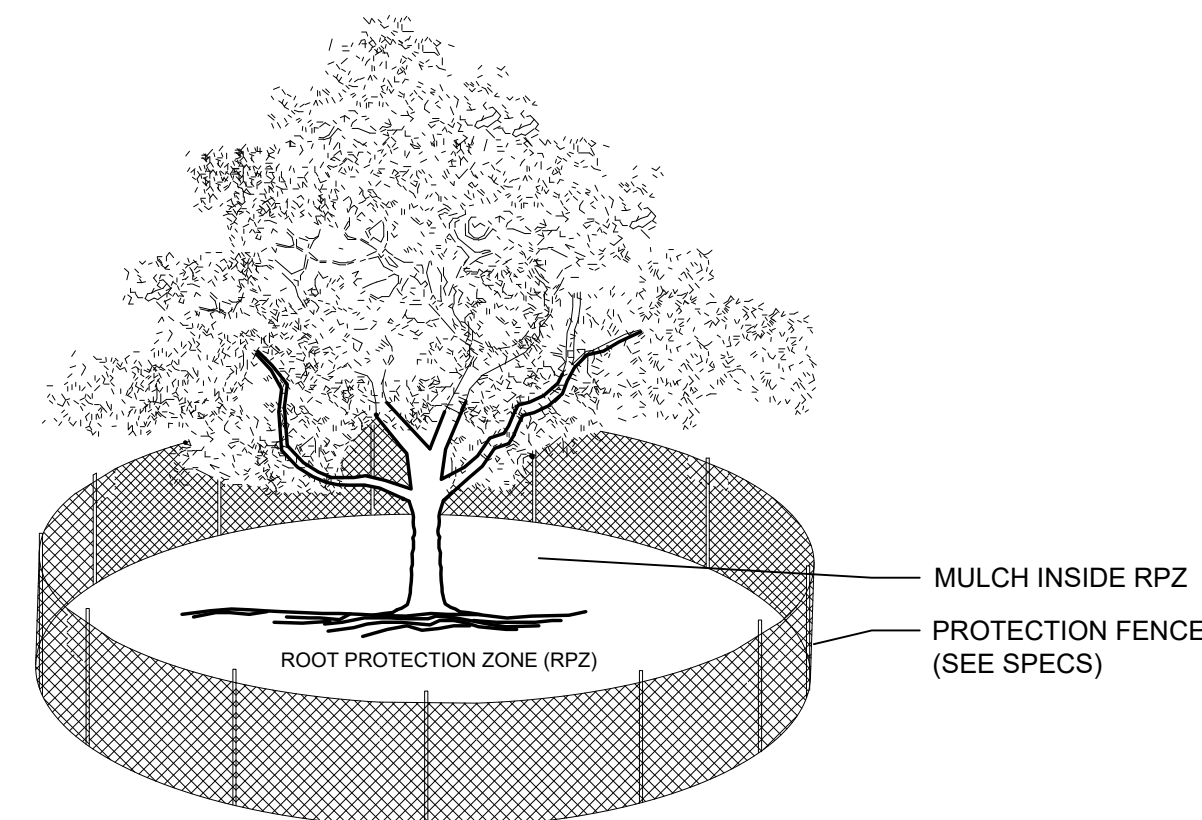
TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.



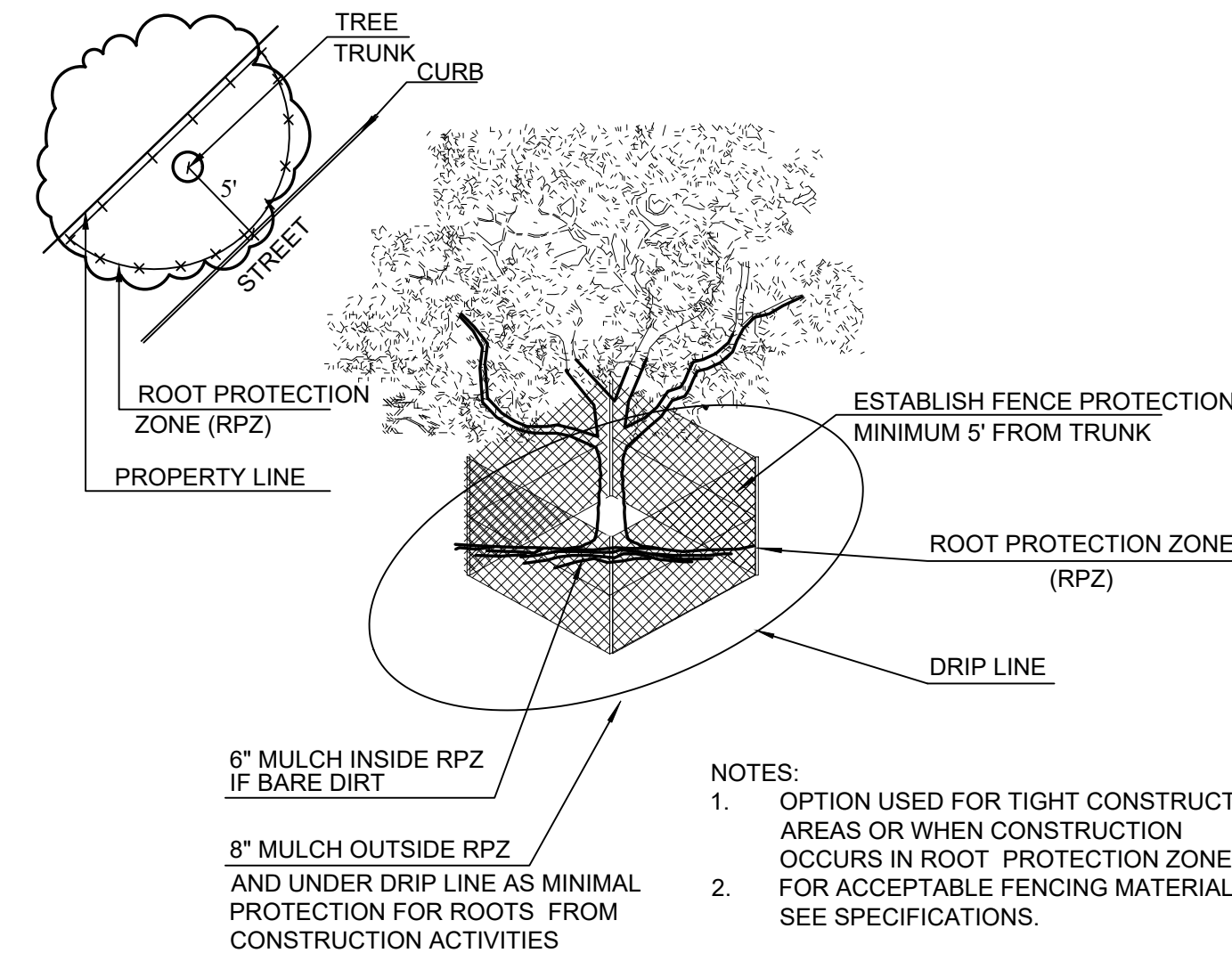
NOTES:

- THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.
-

C BORING THROUGH ROOT PROTECTION ZONE
SCALE: NOT TO SCALE

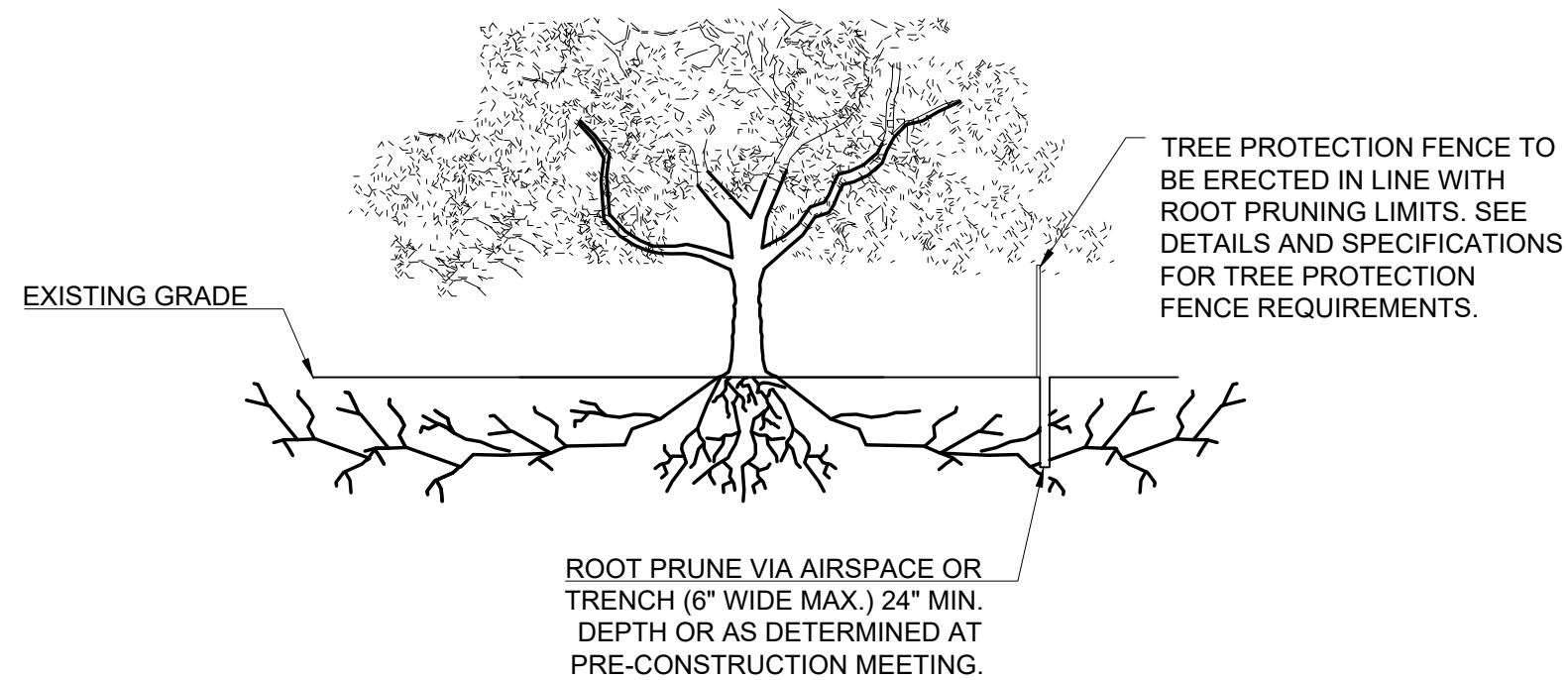
- NOTES**
- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
 - BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
 - EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.
 - TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
 - ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
 - ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
 - SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.

A TREE PROTECTION FENCE
SCALE: NOT TO SCALE



NOTES:

- OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
- FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.



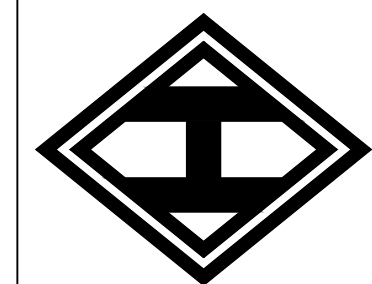
D ROOT PRUNING DETAIL
SCALE: NOT TO SCALE

B TREE PROTECTION FENCE - TIGHT CONSTRUCTION
SCALE: NOT TO SCALE

TREE PROTECTION GENERAL NOTES

- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
 - AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
 - AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
 - AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY STAFF, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY STAFF MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY STAFF, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

HOMEYER ENGINEERING, INC.
ENGINEERING, INC.
P.O. BOX 294527 • LEWISVILLE, TEXAS • 75029
972-906-9985 • PHONE • 972-906-9987 • FAX
WWW.HEI.US.COM



DESTINY DALLAS - 2
DALLAS KOA, BLOCK 1, LOT 1 & 2
CAMPGROUND ADDITION
5.89 ACRES
CITY OF CORINTH
DENTON COUNTY, TEXAS

TREE
DISPOSITION
SPECS & DETAILS



12-07-2022

EXHIBIT E
PAGE 6 OF 6

EVERGREEN DESIGN GROUP
(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

DRAWN: EMS
DATE: 09/24/21
HEI #: 21-0702

SHEET NO:
TD-3





LEGACY SIGNS OF TEXAS

CUSTOMER APPROVAL: Note: The colors depicted on this rendering may not match actual colors used on the finished display. Note: The proportion of signs shown on building and landscape is an approximate representation. Section E, Item 2.

PLEASE READ CAREFULLY: Before you OK this proof, please read your copy carefully and completely. Check for spelling errors and copy omissions. Any changes or alterations from the original instructions will be charged according to time and material.

FINAL PROOF APPROVAL: By signing this form I am approving the above described job and I hereby acknowledge that I have read and accept the proofing policy and Terms and Conditions of Legacy Signs of Texas. Please sign and return so that we may process your order.



**EXHIBIT F
DESTINY DALLAS PD SIGNAGE
PAGE 1 OF 4`**

CLIENT SIGNATURE: _____

DATE: _____

7923 E. McKinney St., Denton, TX 76208
O 817.431.5700 F 817.431.5799

UL E226292 TDLR - 18933

This drawing is the property of Legacy Signs & Electrical. All rights to its use for reproduction are reserved by Legacy Signs & Electrical

FINAL ELECTRICAL CONNECTION BY CUSTOMER

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING & BONDING OF THE SIGN. SIGN WILL BEAR UL LABEL(S).



7923 E. McKinney St., Denton, TX 76208

O 817.431.5700 F 817.431.5799

UL E226292 **TDLR 18933**

JOB DESCRIPTION	DATE	BY	REV	
D/F MONUMENT SIGN	3.23.22	MRG		
COMPANY OR JOB NAME	3.24.22	MRG	R1	
CUSTOMER CONTACT	10.19.22	JR	R2	REDUCE SIGN TO 160SQFT OVERALL & ID SIGN TO 80SQFT
ADDRESS				
PHONE				
EMAIL				
FILE NAME				
SALESMAN				

PAGE



A PROPOSED ELEVATION

SCALE: NTS

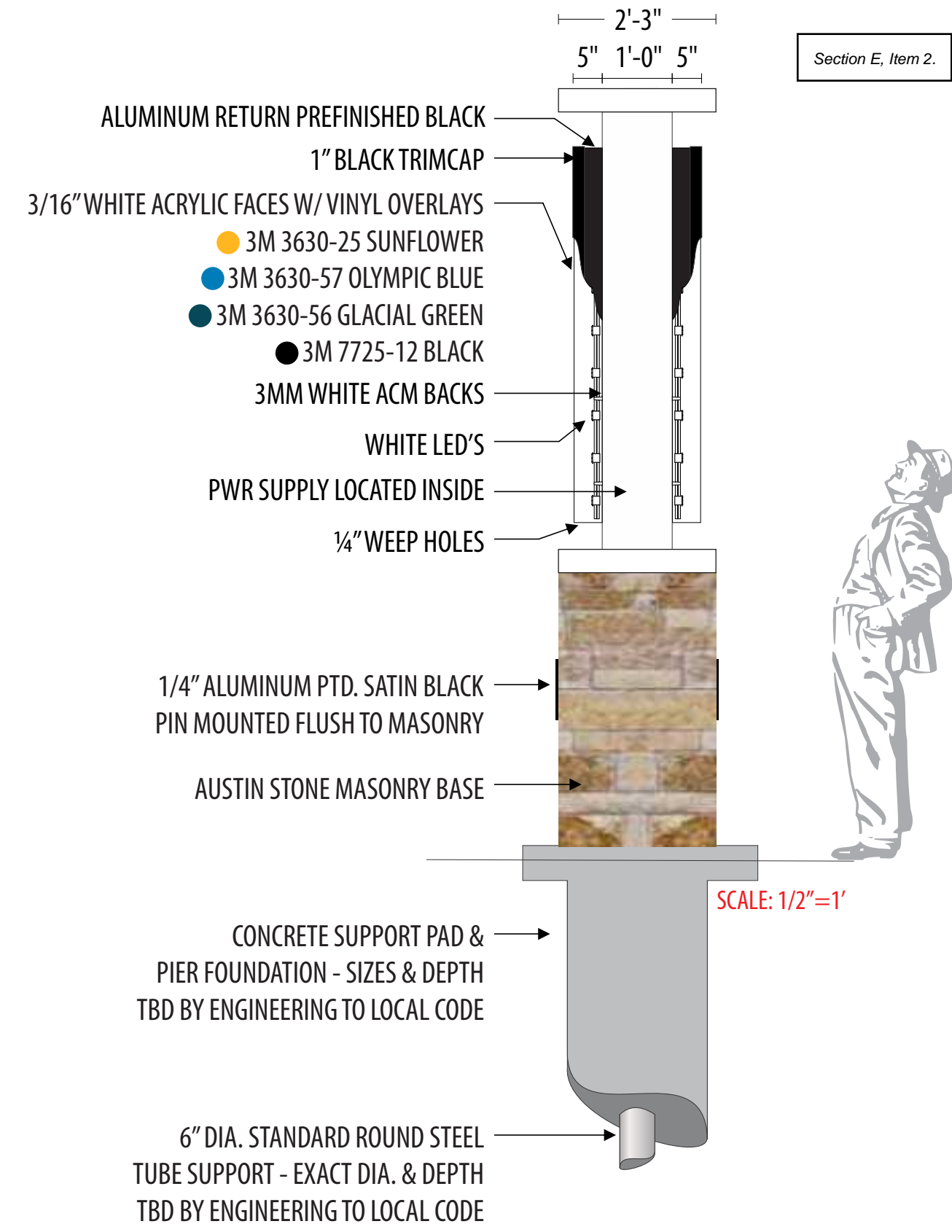
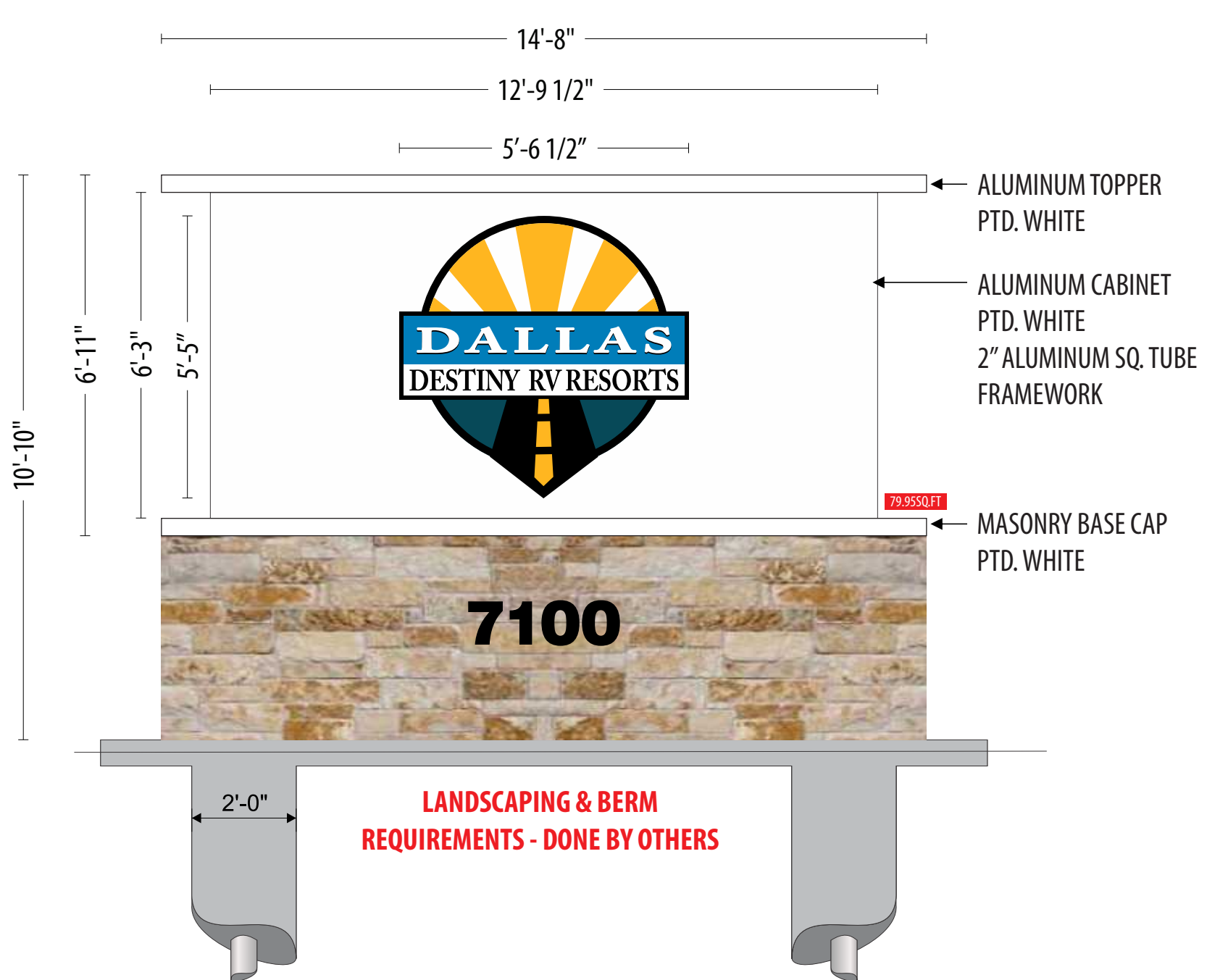
0 SQ.FT

EXHIBIT F
DESTINY DALLAS PD SIGNAGE
PAGE 3 OF 4`



7923 E. McKinney St., Denton, TX 76208
0 817.431.5700 F 817.431.5799
 UL E226292 BBB TDLR 18933

JOB DESCRIPTION	D/F MONUMENT SIGN	DATE	BY	REV	
COMPANY OR JOB NAME	DALLAS DESTINY RV RESORTS	3.23.22	MRG		
CUSTOMER CONTACT		3.24.22	MRG	R1	
ADDRESS	7100 S. 135E CORINTH, TX	10.19.22	JR	R2	REDUCE SIGN TO 160SQFT OVERALL & ID SIGN TO 80SQFT
PHONE					
EMAIL					
FILE NAME	DALLAS DESTINY RV RESORTS_CORINTH				
SALESMAN	RICK SUTTON				



A

D/F MONUMENT

SCOPE OF WORK:
MANUFACTURE & INSTALL (1) D/F MONUMENT SIGN

SCALE: 3/8"=1'

158.89 SQ.FT

PRIMARY ELECTRICAL TO MONUMENT BY OTHERS



7923 E. McKinney St., Denton, TX 76208
0 817.431.5700 F 817.431.5799
 UL E226292 BBB TDLR 18933

JOB DESCRIPTION	D/F MONUMENT SIGN	DATE	BY	REV	
COMPANY OR JOB NAME	DALLAS DESTINY RV RESORTS	3.23.22	MRG		
CUSTOMER CONTACT		3.24.22	MRG	R1	
ADDRESS	7100 S. 135E CORINTH, TX	10.19.22	JR	R2	REDUCE SIGN TO 160SQFT OVERALL & ID SIGN TO 80SQFT
PHONE					
EMAIL					
FILE NAME	DALLAS DESTINY RV RESORTS_CORINTH				
SALESMAN	RICK SUTTON				

**EXHIBIT F
DESTINY DALLAS PD SIGNAGE
PAGE 4 OF 4**



**ATTACHMENT 2:
LETTERS RECEIVED FROM PROPERTY OWNERS WITHIN
200 FEET OF SUBJECT PROPERTY**



Planning and Zoning Commission Meeting
Date: **MONDAY, December 12, 2022 at 6:30 P.M.**

City Council Regular Meeting
Date: **THURSDAY, January 19, 2023 at 6:30 P.M.**

Section E, Item 2.
DEC 05 2022
BY: *ml*

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208. The meetings will be broadcast live at <https://www.cityofcorinth.com/remotesession>.

PUBLIC HEARING NOTICE

Dear Property Owner:

On Monday, December 12, 2022, at 6:30 PM, the City of Corinth Planning and Zoning Commission will conduct a public hearing on the item listed below. Should the Planning & Zoning Commission make a recommendation, the Corinth City Council will conduct a public hearing on Thursday, January 19, 2023, at 6:30 PM and will consider acting on the item listed below. The meetings will be held at the Corinth City Hall, 3300 Corinth Pkwy, Corinth, Texas 76208.

- A request to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code of the City, from MX-C Mixed-Use Commercial to a Planned Development with a base zoning district of MX-C Mixed-Use Commercial, to accommodate a proposed expansion of the Destiny RV Resort, on approximately ±18.96 acres located at 7100 S I-35E. Case No. ZAPD22-0005.

Additional information regarding this request can be found on the Upcoming Public Hearings page of the City of Corinth website at: <https://www.cityofcorinth.com/planning-development/page/upcoming-public-hearings>

As a property owner within two hundred (200) feet of this property, you are invited to attend this meeting in-person and voice your opinion at the public hearing (please note you are not required to attend).

Additionally, your opinion regarding the request on the property described above may be expressed by notation on this form or by letter. You may support or oppose this request; your opposition will be considered a protest. Signed written comments must be received by the City of Corinth Planning and Development Department at 3300 Corinth Parkway, Corinth, Texas 76208 (3 days prior to public hearing). Signed comments may be scanned and sent by email to Michelle Mixell, Planning Manager, at planning@cityofcorinth.com. Additionally, if you have any questions regarding this request, you may call 940-498-3262 for assistance.

I am writing in (Check as applicable) Support: Opposition: of the proposal.

I have reached out to Dallas R.V. several times over the last few years - can't get a call back - they have not seen good neighbors - I am against allowing them to expand their foot print

Name/Address/City: **(REQUIRED)**

Signature: **(REQUIRED)**

Thomas Mike Mason
(Please Print)

Thomas Mike Mason
(Signature)

940-300-4011



Planning and Zoning Commission Meeting
Date: **MONDAY, December 12, 2022 at 6:30 P.M.**

City Council Regular Meeting
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I am writing in (Check as applicable) Support: Opposition: of the proposal.

IF just expanding toward the frontage road,
then this looks good.

Name/Address/City: (REQUIRED)

DAVID Imy (3211 Fairview Ave)
(Please Print)

Signature: (REQUIRED)

David Imy
(Signature)