

****PUBLIC NOTICE****



PLANNING & ZONING COMMISSION

Monday, February 27, 2023 at 6:30 PM

City Hall | 3300 Corinth Parkway

AGENDA

- A. CALL TO ORDER AND ANNOUNCE A QUORUM PRESENT**
- B. ESTABLISH VOTING MEMBERS AND DESIGNATE ALTERNATES**
- C. PLEDGE OF ALLEGIANCE**
- D. CONSENT AGENDA**

All matters listed under the Consent Agenda are considered to be routine and will be enacted in one motion. Should the Chair, a Commission Member, or any citizen desire discussion of any item, that item will be removed from the Consent Agenda and will be considered separately.

- 1. Consider the approval of minutes for the Planning & Zoning Commission Special Session held on January 11, 2023.
- 2. Consider the approval of minutes for the Planning & Zoning Commission Regular Session held on January 23, 2023.
- 3. Consider the approval of minutes for the Planning & Zoning Commission Special Workshop Session held on February 6, 2023.
- 4. Consider and act upon a Conveyance Plat for Greenway Trails, consisting of one (1) lot and right-of-way dedication, being ±14.168 acres of land generally located east of North Corinth Street, south of Shady Shores Road, and north of North Central Texas College. (Case No. CONV23-0001)

E. BUSINESS AGENDA

- 5. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a rezoning request by the Applicant, Homeyer Engineering, Inc., to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code of the City, from MX-C Mixed-Use Commercial to a Planned Development with a base zoning district of MX-C Mixed-Use Commercial, to accommodate a proposed expansion of the Destiny RV Resort, on approximately ±18.96 acres located at 7100 S I-35E. Case No. ZAPD22-0005 – Destiny RV.
- 6. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a rezoning request by the Applicant, Rockbrook Development, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code of the City, from SF-2 Single Family Residential to a Planned Development with a base zoning district of MF-1 Multi-Family Residential, on approximately ±9.007 acres generally located on the west side of Parkridge Drive, between Meadowview Drive and FM 2181. Case No. ZAPD21-0002 – Quarry Multi-Family.

- 7. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a zoning request by the Applicant, William Sullivan, Jr., to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code of the City, by amending Planned Development No. 26 (PD-26) and incorporating an additional ±3.5 acres into PD-26 with a base zoning district of C-2 Commercial for the expansion of parking and the redesign and addition of multiple buildings and structures on approximately ±12.5 acres generally located at 5920 S I-35E and the northwest corner of S I-35E and Church Drive. Case No. ZAPD22-0006 – American Eagle Harley Davidson & Wheeler Yard.

F. DIRECTOR'S REPORT

G. ADJOURNMENT

The Planning & Zoning Commission reserves the right to recess into executive or closed session to seek the legal advice of the City’s attorney pursuant to Chapter 551 of the Texas Government Code on any matter posted on the agenda. After discussion of any matters in closed session, any final action or vote taken will be public by the Commission.

As a majority of the Council Members of the City of Corinth may attend the above described meeting, this notice is given in accordance with Chapter 551 of the Texas Government Code. No official action will be taken by the City Council at this meeting.

I, the undersigned authority, do hereby certify that the meeting notice was posted on the bulletin board at City Hall of the City of Corinth, Texas, a place convenient and readily accessible to the general public at all times and said Notice was posted on the following date and time: **Friday, February 24, 2023 at 12:00 PM.**

John S Webb
John Webb, AICP
Director of Planning and Development Services
City of Corinth, Texas

February 24, 2023
Date of Notice

Corinth City Hall is wheelchair accessible. Person with disabilities who plan to attend this meeting and who may need auxiliary aids or services such as interpreters for persons who are deaf, or hearing impaired, or readers of large print, are requested to contact the City Secretary’s Office at 940-498-3200, or fax 940-498-7576 at least two (2) working days prior to the meeting so that appropriate arrangements can be made.

BRAILLE IS NOT AVAILABLE



**MINUTES
PLANNING & ZONING COMMISSION
SPECIAL SESSION**

Wednesday, January 11, 2023 at 6:30 PM

City Hall | 3300 Corinth Parkway

On this, the 11th day of January, the Planning & Zoning Commission of the City of Corinth, Texas, met in Special Session at the Corinth City Hall at 6:30 P.M., located at 3300 Corinth Parkway, Corinth, Texas.

Commissioners Present:
Chair Alan Nelson
Vice Chair Mark Klingele
Rebecca Rhule
Adam Guck
Bradford Harrold

Commissioners Absent:
Rodney Thornton
KatieBeth Bruxvoort

Staff Members Present:
John Webb, Director of Development Services
Michelle Mixell, Planning Manager
Miguel Inclan, Planner
Matthew Lilly, Development Services Coordinator

A. CALL TO ORDER AND ANNOUNCE A QUORUM PRESENT

Chair Alan Nelson called the meeting to order at 6:31 PM.

B. ESTABLISH VOTING MEMBERS AND DESIGNATE ALTERNATES

Commissioners Guck and Harrold were designated as voting members.

C. PLEDGE OF ALLEGIANCE

D. BUSINESS AGENDA

1. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on an amendment to the City of Corinth Comprehensive Plan “Envision Corinth 2040,” adopted by Ordinance No. 20.07-16-22 and amended by Ordinance No. 20-12-17-40, to amend the Land Use & Development Strategy Map by changing the designation of the Corinthian Park Subdivision and the Boulevard Apartments Addition Subdivision located at the northwest corner of Lake Sharon Drive and Corinth Parkway, from the Mixed-Residential Place Type to the Mixed-Use TOD Place Type. Case No. CPA22-0002 – Land Use & Development Strategy Amendment: The Boulevard and Corinthian Park.

Miguel Inclan, Planner, provided Staff’s presentation to the Commission and gave the recommendation that the proposal be approved as presented.

Chair Nelson opened the Public Hearing at 6:38 PM.

Melanie Godwin, 1514 Nightingale Ln, explained that she is a long-term resident of Corinth and is against more development in the City.

Christi Clark, 2400 Beckley Ct, stated that she is against the vacant lot being redeveloped and feels that the current rate of the development in the city is too rapid.

Chair Nelson closed the Public Hearing at 6:44 PM.

Commissioner Rhule made a motion to recommend approval of the amendment to change the designation of the Corinthian Park Subdivision and the Boulevard Apartments Addition Subdivision from the Mixed-Residential Place Type to the Mixed-Use TOD Place Type. Seconded by Vice-Chair Klingele.

Motion passed unanimously: 5-for, 0-against.

2. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a rezoning request by the Applicant, Boulevard 2010, LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code of the City, to repeal Planned Development No. 30 (PD-30) and amend Planned Development No. 31 (PD-31) to accommodate a proposed expansion of an existing multifamily development on approximately ±19.55 acres located at the northwest corner of Lake Sharon Drive and Corinth Parkway. Case No. ZAPD22-0010 – Oxford at the Boulevard.

Michelle Mixell, Planning Manager, provided Staff's presentation to the Commission and gave the recommendation that the proposal be approved as presented with the added stipulation the Staff comments on specified exhibits be addressed.

Commissioner Rhule asked for clarification on whether the vacant lot is privately or publicly owned.

Mixell stated that the lot in question is privately owned and was purchased by the Applicant approximately one year ago.

Commissioner Rhule asked, in general, if a proposed development falls within the parameters of the existing zoning on that property, if that project would be automatically permitted.

Mixell explained that the current zoning of the vacant lot is SF-A with 56 townhouse lots and that if a new single-family attached housing project were proposed, it would be permitted by right.

Commissioner Harrold asked if there had been any interest in developing the site for single-family attached housing.

Mixell stated that she had spoke with several developers over her time with the City but that the existing infrastructure, which was designed for multi-family use, made development for a single-family attached product too difficult.

Brian Rumsey, Cross Architects, gave a presentation on behalf of the Applicant. He stated that the new proposal will clean up the existing infrastructure on the vacant lot. He explained that by pulling the buildings closer to the street and with the addition of the new sidewalks and pathways around the development, the complex will have a more pedestrian and connected feel. He explained that the existing curb cuts at the

Corinthian Park Subdivision will be closed off and the existing exit-only drive in off of Lake Sharon Dr. will be modified for two-way access. He stated that the existing drainage between the two properties will be diverted into a box culvert and head-in parking will be constructed in its place. He went over the proposed elevations and material percentages and explained that the expansion area will closely resemble the existing apartments.

Tony Swartz, Oxford Enterprises, gave a brief overview of his company and stated that the business holds onto their investments long term.

Justin Swartz, Oxford Enterprises, further summarized the scope of their company. He listed several of the amenities at the existing apartment complex and that current demand is pushing the proposed expansion.

Chair Nelson asked where the AC units will be located on the proposed apartment buildings.

Rumsey explained that all of the condensers will be located on the roofs, as is the case in the existing complex, and that these units will face internal to the site.

Chair Nelson asked for clarification on how the drainage ditch is being enclosed.

Rumsey explained that the drainage will be diverted into a box culvert and will drain into the existing detention pond.

Chair Nelson asked if the box culvert would be located in a drainage easement.

Rumsey confirmed that the proposed drainage would be in a drainage easement.

Cody Crannell, CCM Engineering, explained that all of the drainage in the expansion area will move underground and into the existing detention pond.

Commissioner Guck asked what illumination was being proposed and how it would look at night.

Rumsey explained that they have yet to discuss specifics on lighting along the sidewalks, but that they would be providing traditional building lighting and lighting at the entries. He stated that they would be open to discussing adding bollards along the sidewalks.

Commissioner Guck added sufficient lighting would make the area more welcoming and improve safety.

Chair Nelson opened the Public Hearing at 7:22 PM.

Melanie Godwin, 1514 Nightingale Ln, said that she was unaware of the neighborhood meeting and feels that this project will increase traffic along Lake Sharon Dr. She raised concerns with access to I-35 and does not want further development.

Melanie Bristow, 2013 Yellowstone Ln, asked how the neighborhood meeting was notified and that she was unaware that this meeting was held. She explained that she is not necessarily against additional apartments at this location but that she does not want 3-story apartments. She stated that the apartment complex owned by the Applicant off of FM 2181 has caused an increase in traffic, crime, and strain on public services and is aesthetically unpleasing. She concluded by asking that any new recommendations wait until the 2040 Comprehensive Plan is revised.

Tony Swartz stated that he objects to the point that his apartments are transient communities as most residents stay there between 2-5 years.

Christi Clark, 2400 Beckley Ct, stated that she believes that more residents in the area will increase traffic and raised concerns with traffic safety and noise from construction.

Chair Nelson closed the Public Hearing at 7:29 PM.

Commissioner Rhule asked for an update on the proposed Lake Sharon and I-35E service road improvements and if there was a timeline for when these improvements will begin.

Mixell confirmed that there are improvements proposed for Lake Sharon Dr. and I-35E that will connect Lake Sharon Dr. under the interstate and additional improvements will be made to expand the service roads.

Webb stated that the TX-DOT improvements are 60% designed construction is proposed to begin within 2 years.

Commissioner Rhule asked how residents are notified for public hearings.

Mixell explained that the City recommends that Applicants hold neighborhood meetings to gauge the opinions of surrounding property owners. She stated that 15 days prior to public hearings, the City advertises the public hearing by publishing a notification in a local newspaper, notification letters are sent to property owners within 200 feet of the proposed rezoning, and zoning change signs are posted by the Applicant on the property to be rezoned.

Commissioner Rhule asked why the apartment building at the northwest corner of Lake Sharon Dr and Corinth Pkwy is being proposed as 3-story given that the townhouse-style units in the Corinth Groves development were held to two stories.

Mixell explained that the setbacks of the single-family houses further east on Lake Sharon Dr. are shallower which is why Corinth Groves was asked to limit the townhouse-style units to two stories, yet at this location the single-family setbacks are deeper and can better accommodate the proposed three stories.

Commissioner Harrold asked for clarification that letters are sent to property owners within 200 feet.

Mixell confirmed this.

Commissioner Harrold asked if a traffic impact assessment is typically performed.

Mixell explained that City Engineer determined that the proposed improvements by the Applicant did not warrant the need for a TIA.

Vice-Chair Klingele made a motion to recommend approval to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code of the City, to repeal Planned Development No. 30 (PD-30) and amend Planned Development No. 31 (PD-31) to accommodate a proposed expansion of an existing multifamily development on approximately ±19.55 acres located at the northwest corner of Lake Sharon Drive and Corinth Parkway. Seconded by Commissioner Rhule.

Commissioner Harrold asked that the Commission ensure that the proposal is in alignment with the 2040 Comprehensive Plan.

Chair Nelson stated that he believed the proposal conformed with the Comprehensive Plan.

Commissioner Guck stated that if there was a specific part of the Comprehensive Plan that needed to be amended that they could address that, but for the most part the proposal appeared to be in conformance.

Motion passed unanimously. 5-for, 0-against.

3. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a request to amend the City of Corinth Comprehensive Plan “Envision Corinth 2040,” by amending the Land Use & Development Strategy by changing the Place Type designation of multiple parcels of land located within the City of Corinth. Case No. CPA22-0001 – Land Use Map Amendments

John Webb, Director of Development Services, gave Staff’s presentation and explained that after conversations with City Council, market observations, and density concerns raised by citizens, it was determined that a number of areas in the Land Use and Development Strategy Map required changes in their Place Type designation.

Chair Nelson asked who owned the property in the seventh area.

Webb stated that it is owned by Lake Dallas ISD and is currently used as a learning center.

Chair Nelson asked if the school district had an interest in selling the property.

Webb stated that Staff had not been approached by the school district, but should it be sold, it would be more appropriate to have a less intense use than what is currently envisioned.

Chair Nelson stated that he would like to see more proposals from developers for the first area.

Webb stated that it was Staff’s intention with amending some of the language for the Mixed-Residential Place Type to provide a true mix of residential products and ensure that multi-family uses are not the dominant product on these sites.

Chair Nelson asked if it would be possible to change the Place Type designation of the first area to Neighborhood rather than leaving it as Mixed-Residential.

Webb explained that Staff is hesitant to do this due to existing zoning entitlements on this property that better adhere to the Mixed-Residential designation.

Chair Nelson asked what kind of lots would be permitted in the second area if the designation was changed to Neighborhood.

Webb stated that single-family and some townhouse lots would be permitted.

Commissioner Guck asked if there were any infrastructure updates proposed in the second area in the near future.

Webb stated that there is a drainage project currently underway in the older neighborhoods to get several single-family lots out of the floodplain.

Commissioner Harrold asked if Staff knew what the average dwelling unit per acre in the city was and if there was a target goal in the future.

Webb stated that he did not know this number, but this was something that Staff could determine from the 2020 Census data, but that he was unaware of an overall goal for unit density in the City.

Chair Nelson opened the Public Hearing at 7:56 PM.

Melanie Godwin, 1514 Nightingale Ln, feels that traffic will negatively impact the city with further development and stated that she does not understand why there is such a large push for development in the City.

Chair Nelson closed the Public Hearing at 7:58 PM.

Vice-Chair Klingele made a motion to recommend approval to amend the City of Corinth Comprehensive Plan “Envision Corinth 2040,” by amending the Land Use & Development Strategy by changing the Place Type designation on the Future Land Use Map as follows: as depicted on Exhibit A, on Area 2, change the designation to Neighborhood, on Area 3, change the designation to Mixed-Residential, on Area 4, change the designation to Office/Employment, on Area 5, change the designation to Retail/Commercial, and on Area 7, change the designation to Office/Employment. Seconded by Commissioner Guck.

Motion passed unanimously: 5-for, 0-against.

4. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a request to amend Section 4.01, Sign Regulations, of the Unified Development Code to allow additional attached wall signs for non-residential developments. Case No. ZTA22-0002 – Sign Code Amendments

Webb gave Staff’s presentation and outlined the proposed change to the Sign Ordinance that would permit secondary signage on the side or rear of retail/commercial buildings that would not cover more than 5% of the façade area of the building face.

Chair Nelson stated that he felt that additional signage was reasonable.

Commissioner Guck asked when the other items for consideration related to amending the Sign Ordinance, enumerated in the Agenda Packet, would be brought before the Commission.

Webb explained that further amendments to the Sign Ordinance would be brought as a discussion item possibly in a workshop.

Commissioner Guck asked for confirmation that they would only be voting on the amendment related to the secondary signage.

Webb confirmed that this was the only item under consideration as of now.

Commissioner Guck asked if the same regulations pertaining to primary signage would apply to the secondary signage barring the difference in sizes.

Webb confirmed that the secondary signage would fall under the same regulations.

Chair Nelson asked if the new amendment would permit secondary signage on both the side and rear of the building.

Webb confirmed that signs would be permitted on the sides and rear.

Chair Nelson opened the Public Hearing at 8:06 PM.

Chair Nelson closed the Public Hearing at 8:06 PM.

Commissioner Rhule made a motion to recommend approval of the amendment to the Sign Ordinance as presented. Seconded by Commissioner Harrold.

Motion passed unanimously. 5-for, 0-against.

E. DIRECTORS REPORT

Webb gave the Director's report and informed the Commissioners of an upcoming one-day conference in Grapevine. He reminded the Commission that the January Regular Session will be held on the 23rd and clarified what items would be addressed at that meeting.

F. ADJOURN REGULAR SESSION

The regular session was adjourned at 8:08 PM.

G. ADJOURNMENT

There being no further business before the Commission, the meeting was adjourned at 8:08 PM.

MINUTES APPROVED THIS _____ DAY OF _____, 2023.

Alan Nelson, Planning and Zoning Commission Chairman



**MINUTES
PLANNING & ZONING COMMISSION
REGULAR SESSION**

Monday, January 23, 2023, at 6:30 PM

City Hall | 3300 Corinth Parkway

On this, the 23rd day of January, the Planning & Zoning Commission of the City of Corinth, Texas, met in Regular Session at the Corinth City Hall at 6:30 P.M., located at 3300 Corinth Parkway, Corinth, Texas.

Commissioners Present:
Chair Alan Nelson
Vice Chair Mark Klingele
Rebecca Rhule
Adam Guck
Bradford Harrold

Commissioners Absent:
KatieBeth Bruxvoort

Staff Members Present:
John Webb, Director of Development Services
Michelle Mixell, Planning Manager
Miguel Inclan, Planner
Matthew Lilly, Development Services Coordinator

A. CALL TO ORDER AND ANNOUNCE A QUORUM PRESENT

Chair Alan Nelson called the meeting to order at 6:31 PM.

B. ESTABLISH VOTING MEMBERS AND DESIGNATE ALTERNATES

Commissioners Guck and Harrold were designated as voting members.

C. PLEDGE OF ALLEGIANCE

D. CONSENT AGENDA

1. Consider the approval of minutes for the Planning & Zoning Commission Special Session held on December 12, 2022.

Motion to approve consent agenda by Commissioner Guck, seconded by Commissioner Bruxvoort.

Motion passed unanimously: 5-for, 0-against.

E. BUSINESS AGENDA

2. Consider and act on a Site Plan for the redevelopment of ±5.363 acres to permit the construction of a ±13,290 square foot, one-story automotive service building, located within the boundaries of both the City of Corinth and the City of Denton at 5000 S I-35E. Case No. SPC22-0008: Classic CDJR Service Building.

Miguel Inclan, Planner, provided Staff's presentation to the Commission and gave the recommendation that the proposal be approved as presented with the added stipulations.

Chair Nelson asked how building inspections would be coordinated with the City of Denton.

Inclan replied that the City of Corinth will defer to the City of Denton on building and construction inspections due to the majority of the site being located within the limits of the City of Denton, but that the utility and fire line relocations in the City of Corinth were reviewed by the City Engineer and Fire Marshall.

Birk Ayer, Ayer Design, gave a presentation on behalf of the Applicant.

Chair Nelson asked what setbacks and screening are being required in the landscape buffer along the southern boundary line adjacent to the residential properties.

Ayer explained that there is an existing 6-foot masonry wall and evergreen screening along the entirety of the fence line that will be preserved. Additionally, a new 6-foot concrete wall between the proposed service building and existing residences with additional deciduous and evergreen trees being planted in the buffer. He stated that there will not be an outdoor speaker system or outdoor music and he elaborated on the services that will be provided in the building along with the building layout.

Chair Nelson asked if the elevation change represented in the renderings was accurate and if so, would the proposal require cutting into the hill on the southwest side.

Ayer confirmed that the renderings are accurate and some additional grading will need to take place to accommodate the project.

Chair Nelson asked if more right-of-way would be ceded to TX-DOT in front of the Mazda Dealership.

Ayer confirmed that TX-DOT will be acquiring additional right-of-way in this location.

Vice-Chair Klingele asked if there will be any light standards for the buildings, specifically on the backs of buildings, in addition to the tall-light standards provided.

Ayer explained that they did perform a photometric study to ensure that no lighting spilled across the property line.

Commissioner Guck asked if the Applicant had an estimate on how the volume will increase with the proposed expansion.

Ayer replied that he did not have this information but that the proposed improvements should enhance circulation within the site.

Chair Nelson stated that this item did not require a public hearing but asked if any residents would like to speak.

Melvin Locklear, 1602 Oakhollow Dr, expressed concerns with additional car dealership expansions in the City and asked what direction the City would be moving in going forward in terms of automotive uses.

Chair Nelson asked if the land along I-35E from the subject property to Corinth Pkwy was zoned to permit automotive uses.

Inclan explained that the existing zoning for the subject site is for automotive use but that no additional land along the interstate was specifically zoned or intended for automotive uses.

Commissioner Rhule made a motion to recommend approval of Case No. SPC22-0008 Classic CDJR Service Building subject to the approval of the site plan by the City of Denton and the approval of the plat by the City of Corinth. Seconded by Commissioner Harrold.

Motion approved unanimously: 5-for, 0-against

3. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a rezoning request by the Applicant, Homeyer Engineering, Inc., to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code of the City, from MX-C Mixed-Use Commercial to a Planned Development with a base zoning district of MX-C Mixed-Use Commercial, to accommodate a proposed expansion of the Destiny RV Resort, on approximately ±18.96 acres located at 7100 S I-35E. Case No. ZAPD22-0005 – Destiny RV.

Inclan provided Staff's presentation and gave a brief recap of the zoning change request since the item was tabled at the previous meeting. He pointed out how the Applicant has addressed the Commission's concerns and recommended that the item be approved as presented subject to the RV Park definition being amended.

Chair Nelson asked if the PD Design Statement would be reverting back to the RV Park definition as shown in the UDC.

Inclan confirmed this.

Helen-Eve Beadle, HE Planning & Design, gave a presentation on behalf of the Applicant. She explained that the RV park would be adding a 3-year maximum stay and would be requiring customers to vacate the park for 30 days following the maximum stay period. Additionally, the 30-day minimum stay was removed to allow for shorter stays on rare occasions. She stated that they had removed the 12-year maximum age for RVs and would instead be monitoring vehicles based on their age and condition going forward. She stated that the applicant had provided the requested census of current licensees at the park and that the number of service calls performed during 2022 in the park was comparable to surrounding residential subdivisions. She explained the Applicant's stance that they did not feel it was their responsibility to replace the residential fencing along the southern property boundary and that they felt preserving the existing tree buffer between the park and the school was preferable to removing trees and installing a wooden fence.

Chair Nelson asked for the Applicant to explain why the 30-day minimum stay was removed and why there was not a maximum stay.

Beadle explained that a maximum length of stay was provided, and it is 3 years. She further explained that often customers leave before their 30-day lease is up and that they would like to accommodate customers for one or two weeks in these instances.

Commissioner Rhule asked what the average length of stay in days at the park was.

Beadle replied that she did not have that information at the time but that they had provided the census of licensees as requested.

Commissioner Rhule asked how the Applicant is verifying that lots are being occupied and not simply used as RV storage.

Beadle stated that park management will be regulating the RV stalls and see that park rules are followed.

Commissioner Rhule asked how many clients would be grandfathered into the existing regulations with no maximum stay.

Beadle replied that everyone currently at the park would be grandfathered into the proposed agreement.

Commissioner Rhule asked if the RV park performed criminal background checks.

Beadle replied that given the park is a lodging use, they do not perform background checks.

Commissioner Rhule asked what the Applicant is doing to be a good neighbor to the surrounding properties.

Beadle replied that they work with surrounding property owners to meet their needs and requests.

Commissioner Rhule asked what the Applicant is doing proactively to be a good neighbor.

Beadle stated that the park is a good community and aside from the proposed improvements, management seeks to ensure that rules are followed, and proper conduct is maintained.

Commissioner Rhule asked if the Applicant would reconsider replacing the fence along the southern border, particularly along the school boundary, given that they have agreed to replace the fence on Tower Ridge.

Beadle explained that the fence along Tower Ridge would only be replaced if a majority of the fence is determined to need repair, and that the fences along the southern property line are owned and maintained by the Fairview residents. She stated that the fence between the school and the park was determined to be unnecessary due to the existing tree line and was not required by zoning.

Commissioner Rhule asked what the policy in the park was toward crime.

Beadle replied that it was her understanding that there was a zero-tolerance policy towards crime in the park and any offenders would be asked to leave.

Commissioner Harrold asked if the 12-year or newer policy for RVs would be self-managed.

Beadle confirmed that this would be self-managed.

Commissioner Harrold asked if the Applicant knew what percentage of the licensees have a 12-year or older vehicle.

Beadle stated that she did not have this information.

Chair Nelson stated that he felt that the 3-year maximum stay was lengthy for a lodging use and that it was his understanding that additional discussion or language added to ensure that the park operates uniformly, with the proposed regulations applying to both the new and existing portions of the park. He expressed that the video of the southern fence line was helpful visually and that many of the fences appeared to be in good condition. Given that only a few of the fences appeared to be in poor condition, he asked if the Applicant would be splitting the costs of any new fences with the adjoining property owners.

Beadle explained that the fencing along the southern property line was solely within the property of the Fairview residents and would not be replaced by the Applicant.

Chair Nelson asked if there was any consideration for excluding the grandfathered clause.

Beadle explained that in the previous year the park had 37% of its lots overturn with only 17% of licensees having been at the park over 4 years.

Chair Nelson clarified that he did not necessarily want to see the park turnover all at one time but felt that the community would benefit most by applying the maximum length of stay to the whole park and creating more opportunity for turnover.

Beadle stated that she understood the Commissions concern but that the Park has been operating without the proposed regulations for several decades and that turnover has not been a problem.

Vice-Chair Klingele stated that he was confused with the phrasing of the community and wanted clarity on whether the park was lodging or for residence. He explained that it was understanding, as the Chair had stated before, that they had determined at the previous meeting that any new regulations would apply to the entirety of the park.

Beadle stated that the park is lodging in that it is a campground and that she apologized if anything had been misunderstood at the previous meeting, but that no decisions had been made at that time. She explained that they had been asked to investigate and look into several things and that the current proposal is what the Applicant had decided on.

Vice-Chair Klingele clarified that he understood that the park has been operating as is for several decades, but that he felt the definition being proposed was unable to properly apply to the park, which he sees as having both lodging and residential uses.

Brett Fugman, Destiny, stated that the park will be improving the area along the frontage road, adding detention, and installing sidewalks along the I-35E service road and Tower Ridge Dr. He explained that the annual turnover in the park is 37%, with 17% of licensees having been there over 4 years and only 3 people have been there since 2009, two of them being staff. He reiterated that the park is a close-knit community and that he is willing to put in the necessary investment to improve the site. He stated that the proposed development will be positive for licensees, for the City, and for surrounding residents.

Chair Nelson asked if the Applicant would be willing to add minimum or maximum permitted sizes for RVs, restricting to Class A and Class C vehicles and allowing only 26-foot or larger fifth wheels and trailers.

Fugman stated that self-management on the maintenance of vehicles has worked well for the park in the past, and that he would like to discuss this further with his manager before committing to anything, but that the proposed 52 new stalls are designed and intended for 45-foot Class A RVs.

Chair Nelson stated that he believed by bringing in higher-end RVs to the park would ensure that the overall quality of the park was increased.

Fugman explained that this was potentially true but that less expensive vehicles would not reduce the quality. He stated that he was willing to adhere to new business regulations set by the City, but that his main goal was to see that his proposal of 52 new stalls be achieved.

Commissioner Harrold asked how the regulations enumerated in the planned development standards would be enforced down the line.

Fugman stated that he was not trying to skirt any of the regulations and that he was more than happy to provide any information, such as a rent roll, to the City in the future.

Inclan clarified that the requirement of a minimum RV age in the park was removed to accommodate renovated older models.

Commissioner Rhule asked if there had been any communication with the school and if so if they had any input.

Incan stated that the school would have been notified as a property owner within 200 feet.

Chair Nelson opened the Public Hearing.

Melvin Locklear, 1602 Oakhollow Dr, stated that he was not for or against the rezoning request but felt that this proposal was not following the 2040 Comprehensive Plan and was further expanding automotive uses in the City. He asked if there was an occupancy tax for those staying in the park and stated that the total amount of taxes collected by the City in 2022 was \$4,000. He stated that if nothing else, they should hold off on the proposal until the I-35 E service road is improved.

Don Wilson, RV Park licensee, explained that he considers the Destiny RV Park as his home base so that he can visit his grandchildren. He stated that licensees pour a lot of money into the community and that he considers everyone in the park as residents rather than licensees. He explained that it is a zero-tolerance community for breaking park rules and that the park is a great community.

Judy Ragland, RV Park resident, explained she works at the park part-time and that they verify RVs visiting the park are the correct age. She stated that anyone who is bad for the community is asked to leave and that this is a problem that comes up in any community.

Greg Shappa, 2713 Skyview Dr, stated that many other RV parks in the area are poorly kept, but that he has never had any problems with Destiny RV Park. He felt that the deceleration lane is a great idea and that the overall proposal is a great improvement for Corinth. He stated that his only problem with the park is that the licensees don't pay property taxes for staying at the park.

Chair Nelson closed the Public Hearing.

Chair Nelson stated that he had concerns with the lack of guidelines regulating the park moving forward, particularly regarding the length of stay, and that he was not comfortable at the present time to put forward a motion for approval and instead suggested that the item again be tabled.

Commissioner Guck that he felt that they had made some progress since the previous meeting, but that additional language needed to be added to differentiate between short-term and long-term stays.

Commissioner Harrold agreed with the previous statements and that he would like to see background checks conducted at the park.

Director Webb informed the commission, if they were going to table the item, to make a motion to continue the public hearing and table the item to the next meeting so that the item would not have to be readvertised.

Vice-Chair Klingele asked if it would be possible to conduct a Workshop Session prior to the next Regular Session.

Webb stated that they could hold a Workshop Session but that the Commission needed to provide specific direction to the Applicant on what they wanted to see addressed, as it is uncommon to continue to table an item.

Commissioner Guck made a motion to continue the public hearing and table the item to the February 27th meeting. Seconded by Commissioner Rhule

Motion passed unanimously; 5-for, 0-against.

4. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a rezoning request to amend the boundary of PD-51, as adopted by Ordinance No. 20-12-17-41, by removing approximately ±13.577 acres referred to as Tract 2 from PD-51, generally located on the north side of Walton Drive, west of Victory Way, and south of Orion Place. Case No. ZAPD22-0011 – PD-51 Boundary Amendment.

Michell Mixell, Planning Manager, gave a presentation on behalf of Staff and explained that this item is a companion piece to the Village Square Multi-Family Planned Development rezoning request. She explained that Tract 2 of PD-51 was created as a place holder until such time that a detailed concept was proposed.

5. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a rezoning request by the Applicant, Carleton Companies, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code of the City, from PD-51 (Tract 2 of current PD-51) – Planned Development with a base zoning district of MF-3 Multifamily Residential, to a new Planned Development with a base zoning district of MF-3 Multifamily Residential, to accommodate a proposed multifamily development, on approximately ±13.577 acres located on the north side of Walton Drive, west of Victory Way, and south of Orion Place. Case No. ZAPD22-0007 – Village Square at Corinth.

Mixell continued her presentation for the companion rezoning request and explained the proposed multi-family project. She pointed out the proposed changes from the existing multi-family zoning and gave the recommendation that the proposal be approved as presented.

Chair Nelson asked if the proposal would contain a mixed-use element.

Mixell stated that the Applicant had included language at the recommendation of Staff to permit 1,500 square feet of retail space along Walton Drive or Street A that could accommodate a café or small shop.

Chris Martino, HEDK Architects, gave a presentation on behalf of the Applicant and broke down the specifics of the proposed planned development. He stated that the proposed amenities included a pool, dog park, and a landscaped trail running around the exterior of the development. He stated that the facades would consist of quality materials and their goal was for the development to maintain its appearance for a number of years.

Chair Nelson asked how the courtyards in Phase 2 were going to be landscaped.

Martino stated that the courtyards had not yet been fully designed, but that he imagined one of the courtyards would be utilized as a pool area.

Chair Nelson asked where the retail area would be located.

Martino stated that it was his understanding this would be in Phase 2, likely adjacent to the club.

Chair Nelson asked if there would be any public parking for the retail area.

Martino stated that parallel parking will be provided along Walton Dr and head-in parking along the private street.

Commissioner Guck asked if recess materials were being counted towards the façade percentages.

Martino explained that these recesses did not count toward the façade percentages and consisted of cementitious siding resembling wood. He stated that these balconies would be recessed behind walls and not visible from the street view aside from the front face.

Commissioner Guck stated that facing Agora Dr., he would prefer for the recessed cementitious siding to be replaced by masonry materials.

Chair Nelson asked what section of the development the colored rendering was depicting.

Martino explained that this rendering represented the main entrance off of Walton Dr into Phase 1.

Commissioner Guck asked if the Applicant had considered any other recess materials, specifically on the corners of buildings along Walton Dr.

Martino stated that he does not believe the siding in the recesses would be overly visible from the Agora Park given that there was another property between the development and the park.

Commissioner Rhule asked if the parking garage would be visible from any side of the development.

Martino stated that the garage would be fully enclosed, and the top level would not be visible from the surrounding area.

Chair Nelson asked if the entrance to the parking garage was on the north side.

Martino stated that the garage would have two entrances with one on the north side off of Orion Place and one on the east side off of the private street.

Chair Nelson asked if the garage would be open to visitor parking in addition to residents.

Martino explained that the lockable gate would be set back further into the garage to allow for visitor parking but that they had yet to determine how much visitor parking would be provided.

Chair Nelson opened the public hearing for items 4 and 5.

Melvin Locklear, 1602 Oakhollow Dr, stated that he is against the proposal, he does not want more apartments in the City, and that he feels the proposal does not meet the 2040 Comprehensive Plan.

Greg Shappa, 2713 Skyview Dr, stated that he feels there are currently enough apartments in the City, he believes the frontage road going southbound on I-35 will not be able to accommodate this many new residents, and that any proposal should be held off until after the TX-DOT improvements are completed.

Mike King, 2610 Zachary Dr., stated that he was unhappy with the amount of new multi-family developments being approved in the City, that he was looking into the legality of the land the City of Corinth had recently sold, and he read off a list of the recently approved multi-family units.

Mark Clyburn, 3325 Ithaca St., explained that he is buying a house in Walton Ridge and was unaware of the proposed multi-family development until recently. He stated that he believes that this project will damage his property value, that the development will have parking issues, and that he feels there needs to be a boundary between the apartments and the single-family houses.

Kelly Clyburn, 3325 Ithaca St., stated that she has an issue with this proposed development being so close to her house, they had not received a notice of the zoning change as the future property owners, and raised concerns with parking and screening.

Chair Nelson closed the Public Hearings.

Commissioner Rhule asked what the options were if the Commission was to not approve the rezoning request.

Mixell explained that if the request was not approved, both the boundaries of PD-51 and the existing zoning would remain unchanged but reiterated that when PD-51 was approved in 2020, Tract 2 had been zoned for multi-family use.

Chair Nelson pointed out that the proposed parking ratio is greater than the approved parking ratio for PD-51 Tract 2.

Mixell confirmed this was the case and explained that the city center was envisioned as a transit-oriented district that would hopefully in the future be served by a DCTA transit stop.

Commissioner Rhule asked if Staff could explain what was envisioned for the future city center district.

Mixell pointed out the development and improvements that had been envisioned for the city center in the 2040 Comprehensive Plan.

Commissioner Rhule stated that she sympathized with the issue of the openness between the single-family homes and the multi-family development and was trying to reconcile the issue or come up with a solution.

Commissioner Guck asked what the current proposed boundary was between the development and the single-family homes.

Mixell explained that the Applicant will be providing vegetative screening along the eastern property boundary and that Buildings 3 and 4 of Phase 1 were setback 50 feet from this boundary. Along the northern boundary where there is a shorter setback, the Applicant will be providing shade trees.

Commissioner Rhule stated that she could see multi-family tenants parking along Victory Way in the single-family development.

Chair Nelson asked if Phase 1 would only be served by surface parking.

Mixell stated that the majority of parking in Phase 1 would be surface parking with some tuck-under parking.

Chair Nelson asked how many units were proposed for Phase 1.

Mixell stated that 236 units were proposed.

Chair Nelson asked if the proposal met the Comprehensive Plan.

Mixell confirmed that the proposal met the Comprehensive Plan.

Commissioner Rhule made a motion to recommend approval of the rezoning request to amend the boundary of PD-51, as adopted by Ordinance No. 20-12-17-41, by removing approximately ±13.577 acres referred to as Tract 2 from PD-51, generally located on the north side of Walton Drive, west of Victory Way, and south of Orion Place. Case No. ZAPD22-0011 – PD-51 Boundary Amendment. Commissioner Guck seconded the motion.

Commissioner Harrold stated that he was concerned with amount of traffic the development would generate and that it may become problematic without the proper infrastructure in place.

Commissioner Guck stated that the proposal would increase the parking ratio from what was previously approved.

Motion passed unanimously; 5-for, 0-against.

Commissioner Rhule stated that she had concerns with the proposed number of parking spaces and the boundary between the proposed development and single-family houses.

Chair Nelson agreed with Commissioner Rhule's concerns. He stated that he felt that the amount of new multi-family developments in the City was very rapid, but that all of this conformed with what was envisioned in the 2040 Comprehensive Plan. He stated that he felt the current proposal for the subject property was a good offer.

Commissioner Harrold reiterated his concerns with traffic congestion and infrastructure.

Commissioner Guck stated that he would like to have more information regarding the proposed public street along the west side of the development and estimates on the increases in traffic.

Director Webb explained that the Applicant will be constructing Street A which will then become a public street, and the City would oversee the improvements on Walton Dr, the construction of Main St., and the expansion of North Corinth St. to Corinth Pkwy. He stated that Staff believed traffic would be fine along these and surrounding roads and that TX-DOT improvements to the service roads and the underpass at Lake Sharon Dr will ease traffic at these locations.

Commissioner Guck asked if on-street parking along these streets would pose additional traffic problems.

Webb explained that based on research of parking in other cities, the ratio of 1.7 parking spaces per dwelling unit has been sufficient. He stated that he feels the vast majority of multi-family residents will park in the surface parking and garages within the development for convenience and safety.

Chair Nelson asked what the Applicant's target market was for the apartments.

Kim McCaslin, MR Development, explained that they will be providing 1- and 2-bedroom apartments targeted primarily at singles and married couples.

Commissioner Guck asked to see further clarification on what the nature of the development would look like.

Webb stated that the proposal was a multi-story multi-family development but was unsure what specific information Commissioner Guck was asking for.

Commissioner Guck asked if the proposal were approved if the development would be constructed as depicted in the provided concepts.

Webb confirmed that the concepts and design standards would become part of the PD ordinance and would bind the development to adhere to these standards.

Commissioner Guck asked for clarity on the retail element of the proposal.

Webb stated that any retail use would be very minor, as it is restricted to a maximum of 1,500 square feet, and it was at the Applicant's discretion as to whether the retail use would even be part of the development.

Chair Nelson made a motion to make a recommendation to City Council to approve Case No. ZAPD22-0007 Village Square PD as presented. Commissioner Rhule seconded the motion.

Chair Nelson, Vice-Chair Klingele, Commissioner Rhule, and Commissioner Guck voted in favor of the motion. Commissioner Harrold voted in opposition of the motion.

Motion Passed: 4-for, 1-against.

F. DIRECTORS REPORT

Webb commended Chair Nelson on his presentation to the City Council the previous Thursday regarding the Planning and Zoning Commission. He stated that Staff would be working to schedule a Workshop Session for Destiny RV prior to February 27th and that the February meeting would have one new public hearing item in

addition to the item tabled that night. Lastly, he informed the Commission that Commissioner Thornton had tendered his resignation from the Planning and Zoning Commission earlier that day due to work conflicts and that the City Council would be working to fill the empty seat.

Commissioner Guck asked if it would be possible for an alternate to move up to a voting member.

Webb explained that this was at the City Council’s discretion but that historically the Council would elevate an alternate to a voting member and then bring in a new member as an alternate.

G. ADJOURN REGULAR SESSION

The regular session was adjourned at 9:12 PM.

H. ADJOURNMENT

There being no further business before the Commission, the meeting was adjourned at 9:12 PM.

MINUTES APPROVED THIS _____ DAY OF _____, 2023.

Alan Nelson, Planning and Zoning Commission Chairman



MINUTES
PLANNING & ZONING COMMISSION
SPECIAL WORKSHOP SESSION
Monday, February 6, 2023, at 5:00 PM
City Hall | 3300 Corinth Parkway

On this, the 6th day of February, the Planning & Zoning Commission of the City of Corinth, Texas, met in Special Workshop Session at the Corinth City Hall at 5:00 P.M., located at 3300 Corinth Parkway, Corinth, Texas.

Commissioners Present:
Chair Alan Nelson
Vice Chair Mark Klingele
KatieBeth Bruxvoort
Rebecca Rhule
Adam Guck

Commissioners Absent:
Bradford Harrold

Staff Members Present:
John Webb, Director of Development Services
Michelle Mixell, Planning Manager
Miguel Inclan, Planner

A. CALL TO ORDER AND ANNOUNCE A QUORUM PRESENT

Chair Alan Nelson called the meeting to order at 5:05 PM.

B. CLOSED SESSION

The Planning & Zoning Commission will recess into executive or closed session to consider the following matters pursuant to Chapter 551 of the Texas Government Code. After discussion of any matters in closed session, any final action or vote taken will be public by the Commission.

- 1. Item E.2: Case No. ZAPD22-0005 - Destiny RV Resort Planned Development

The Planning & Zoning Commission moved into closed session at 5:06 PM.

C. RECONVENE INTO WORKSHOP SESSION

The Planning & Zoning Commission reconvened at 6:47 PM.

D. WORKSHOP AGENDA

- 2. Conduct a workshop on a rezoning request by the Applicant, Homeyer Engineering, Inc., to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code of the City, from MX-C Mixed-Use Commercial to a Planned Development with a base zoning district of MX-C Mixed-Use Commercial, to accommodate a proposed expansion of the Destiny RV Resort, on approximately ±18.96 acres located at 7100 S I-35E. Case No. ZAPD22-0005 – Destiny RV.

Chair Nelson asked that the Applicant provide a clear definition of the difference between long-term and short-term stays and asked that the Applicant state the true intent of the park.

Commissioner Bruxvoort asked what the Applicant’s target length of stay was.

Brett Fugman, Destiny, stated that they did not have a specific target regarding the length of stay but that they provided licenses in 30-day increments.

Commissioner Rhule stated that she was trying to reconcile how to work with the Applicant to define long-term and short-term stays. She asked if the UDC RV Park definition met the current situation, with several of the current licensees considering the park their permanent residence.

Helen-Eve Beadle, HE Planning & Design, stated that the RV Park definition in the UDC was added after the use was already existing.

Beadle provided the definition of a Recreational Vehicle Park within this PD as follows: “A parcel of land designed, improved, or intended to be used for short- or long-term occupancy by recreational vehicles (including travel trailers) in designated spaces not to exceed 24 months. Facility may include employee stalls, utility hook-ups, accessory structures, playgrounds and open space areas, fenced yard areas for pets, and other similar amenities.” Additionally, they provided the definition for a Recreation Vehicle as “A vehicle which is built on a single chassis, 400 square feet or less when measured at the chassis, designed to be self-propelled or permanently towable by a light duty truck, and designed primarily not for use as a permanent dwelling but as temporary living quarters for recreational, camping, travel, or seasonal use.”

The Commission and Fugman discussed allowing licensees at the site before January 1, 2019, to remain indefinitely, while those who began their stay after January 1, 2019, would be subject to the maximum length of stay, beginning on the date of the adoption of the PD Ordinance

The Commission Fugman discussed setting a maximum stay of 36 months and proposed the following standards related to maximum stay: employee occupied stalls are exempt from maximum stay and there shall be a maximum of one stall per employee, once the maximum stay is reached an RV shall leave the RV park for a minimum of 30 days before returning, and the owner/operator of the RV park shall submit a yearly roll reporting compliance of arrival and departures.

Commissioners Rhule and Bruxvoort expressed concerns with the 36-month maximum stay, asking for 24 months instead of 36 months, while Fugman asked if 30 months would be acceptable. No maximum stay was defined, and Fugman stated that he would discuss internally with his team and propose a defined maximum stay term that works with their business model.

E. ADJOURNMENT

There being no further business before the Commission, the meeting was adjourned at 8:35 PM.

MINUTES APPROVED THIS _____ DAY OF _____, 2023.

Alan Nelson, Planning and Zoning Commission Chairman

DRAFT



CITY OF CORINTH Staff Report

Meeting Date:	2/27/2023	Title:	CONV23-0001 – Greenway Trails Conveyance Plat		
Governance Focus:	<i>Focus:</i>	<input checked="" type="checkbox"/> Owner	<input checked="" type="checkbox"/> Customer	<input checked="" type="checkbox"/> Stakeholder	
	<i>Decision:</i>	<input type="checkbox"/> Governance Policy		<input checked="" type="checkbox"/> Ministerial Function	

Item/Caption

Consider and act upon a Conveyance Plat for Greenway Trails, consisting of one (1) lot and right-of-way dedication, being ±14.168 acres of land generally located east of North Corinth Street, south of Shady Shores Road, and north of North Central Texas College. (Case No. CONV23-0001)

Item Summary/Background/Prior Action

The purpose of the Conveyance Plat is to consolidate four (4) existing parcels into one (1) lot to allow the sale of the property to a developer. One of the existing parcels is platted as Priddy Addition Lot 1 and will be consolidated into this new subdivision as part of the proposal. While the Conveyance Plat approval process follows the same process as a Final Plat, a Conveyance Plat does not authorize development of a property. A Final Plat for this subdivision must be submitted and approved prior to development. The property is zoned Planned Development No. 63: Greenway Trails (PD-63). An aerial location map is attached for reference.

The Conveyance Plat document is in conformance with PD-63 and City development standards.

Staff Recommendation/Motion

Staff recommends approval of the Conveyance Plat subject to the standard conditions required UDC Subsection 3.03.03 H.4:

- a. All required fees shall be paid.
- b. All covenants required by ordinances have been reviewed and approved by the City.
- c. On-site easements and rights-of-way have been dedicated and filed of record and properly described and noted on the proposed plat.
- d. All required abandonments of public rights-of-way or easements that must be approved by the City Council and the abandonment ordinance numbers are shown on the plat.
- e. Abandonment documents for all other easements not requiring City Council approval have been filed of record and properly described and noted on the plat.
- f. Original tax certificates have been presented from each taxing unit with jurisdiction of the real property showing the current taxes are paid.
- g. Staff is authorized to approve any additions and/or alterations to the easements, dedications, and plat notes included in the Final Plat.

This item is included within the Consent Agenda for approval by the Planning and Zoning Commission

Attachments

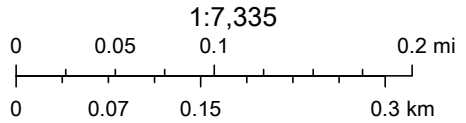
- 1. Aerial Location Map
- 2. Conveyance Plat

CONV23-0001 AERIAL MAP

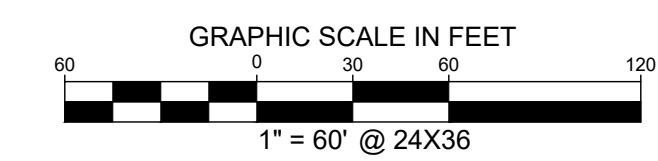
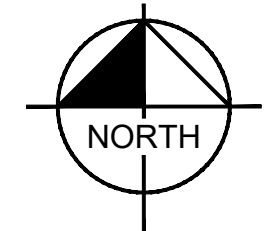
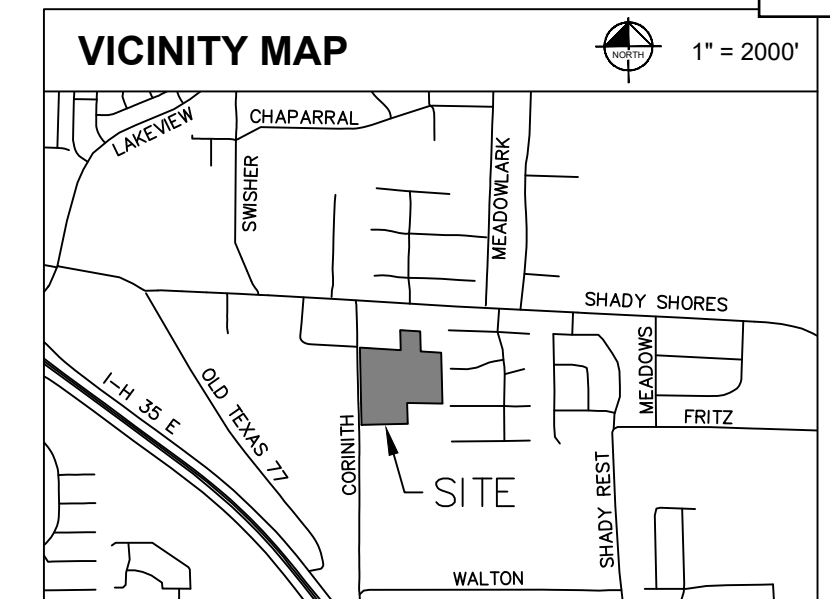
Section D, Item 4.



2/23/2023, 10:57:57 AM



Esri., Inc., City of Naperville, Illinois



LEGEND
 P.O.B. = POINT OF BEGINNING
 IPF = IRON PIPE FOUND
 IRF = IRON ROD FOUND
 IRSC = 5/8" IRON ROD WITH CAP STAMPED "KHA" SET

LINE TYPE LEGEND

	BOUNDARY LINE
	EASEMENT LINE
	BUILDING SETBACK LINE

LINE TABLE

NO.	BEARING	LENGTH
L1	N88°50'00"E	416.07
L2	N01°10'00"W	291.18
L3	N88°50'00"E	41.00
L4	S01°10'00"E	387.88
L5	N88°50'00"E	105.24
L6	S01°10'00"E	223.49
L7	N01°10'00"W	4.80
L8	S88°50'00"W	259.30
L9	S01°10'00"E	209.58
L10	N01°10'00"W	84.00
L11	S88°50'00"W	386.99
L12	N88°50'00"E	59.66
L13	N01°10'00"W	430.10
L14	S88°50'00"W	59.86
L15	N88°50'00"E	146.15
L16	S01°10'00"E	208.75
L17	N88°50'00"E	24.00
L18	N01°10'00"W	208.75
L19	N88°50'00"E	42.05
L20	S01°10'00"E	161.21
L21	S13°50'00"W	45.95
L22	S88°50'00"W	245.67
L23	N01°10'00"W	304.43
L24	N88°50'00"E	41.00
L25	S01°10'00"E	387.88
L26	S88°50'00"W	41.00
L27	N01°10'00"W	387.88
L28	S01°10'00"E	133.71
L29	S88°50'00"W	256.91
L30	N13°45'03"E	51.92
L31	N88°50'00"E	230.39
L32	S01°10'00"E	41.67
L33	S88°50'00"W	243.14
L34	N01°10'00"W	41.67
L35	N88°50'00"E	243.14
L36	N01°10'00"W	7.30
L37	N88°50'00"E	15.00
L38	S01°10'00"E	7.30
L39	N01°10'00"W	7.30
L40	N88°50'00"E	15.00
L41	S01°10'00"E	7.30
L42	S88°50'00"W	7.30
L43	S01°10'00"E	15.00
L44	N88°50'00"E	7.30
L45	S88°50'00"W	7.30
L46	S01°10'00"E	15.00
L47	N88°50'00"E	7.30
L48	S88°50'00"W	7.30
L49	S01°10'00"E	15.00
L50	N88°50'00"E	7.30

LINE TABLE

NO.	BEARING	LENGTH
L51	N88°50'00"E	7.30
L52	S01°10'00"E	15.00
L53	S88°50'00"W	7.30
L54	N88°50'00"E	7.30
L55	S01°10'00"E	15.00
L56	S88°50'00"W	7.30
L57	N01°10'00"W	7.30
L58	S88°50'00"W	15.00
L59	S01°10'00"E	7.30
L60	S79°56'26"E	7.06
L61	N10°03'34"E	15.00
L62	N79°56'24"W	7.30
L63	N79°56'26"W	7.26
L64	N10°03'34"E	15.00
L65	S79°56'26"E	7.59
L66	S88°50'00"W	7.80
L67	N01°10'00"W	15.00
L68	N88°50'00"E	7.80
L69	N88°50'00"E	7.30
L70	S01°10'00"E	15.00
L71	S88°50'00"W	7.30
L72	S88°50'00"W	7.30
L73	N01°10'00"W	15.00
L74	N88°50'00"E	7.30
L75	N88°50'00"E	7.30
L76	S01°10'00"E	15.00
L77	S88°50'00"W	7.30
L78	N88°50'00"E	7.30
L79	S01°10'00"E	15.00
L80	S88°50'00"W	7.30
L81	N88°50'00"E	7.30
L82	S01°10'00"E	15.00
L83	S88°50'00"W	7.30
L84	N88°50'00"E	7.30
L85	N01°10'00"W	15.00
L86	S88°50'00"W	7.24
L87	S88°50'00"W	7.30
L88	S01°10'00"E	15.00
L89	N88°50'00"E	7.30
L90	S01°10'00"E	7.30
L91	S88°50'00"W	15.00
L92	N01°10'00"W	7.30
L93	S01°10'00"E	7.30
L94	S88°50'00"W	15.00
L95	N01°10'00"W	7.30
L96	N01°10'00"W	7.30
L97	N88°50'00"E	15.00
L98	S01°10'00"E	7.30
L99	S88°50'00"W	7.30
L100	N01°10'00"W	15.00

LINE TABLE

NO.	BEARING	LENGTH
L101	N88°50'00"E	7.30
L102	S88°50'00"W	7.30
L103	N01°10'00"W	15.00
L104	N88°50'00"E	7.30
L105	S01°10'00"E	7.30
L106	S88°50'00"W	15.00
L107	N01°10'00"W	7.30
L108	S00°41'49"E	121.76
L109	S88°50'00"W	136.18
L110	N01°10'00"W	114.32
L111	N88°45'35"E	121.12
L112	N00°41'49"W	8.63
L113	S43°39'19"W	14.59
L114	S88°39'19"W	26.05
L115	S43°39'19"W	9.63
L116	N45°57'12"W	2.61
L117	S88°50'56"W	99.98
L118	S01°10'13"E	223.78
L119	N88°20'17"E	115.67
L120	N01°20'45"W	207.75
L121	N45°57'26"W	2.64
L122	N43°39'19"E	3.00
L123	N88°39'19"E	26.05
L124	N43°39'19"E	5.21

CURVE TABLE

NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	36°35'02"	30.00'	19.16'	S72°52'29"E	18.83'
C2	90°00'00"	30.00'	47.12'	N43°50'00"E	42.43'
C3	65°57'56"	30.00'	34.54'	S58°11'02"E	32.66'
C4	90°00'00"	54.00'	84.82'	S46°10'00"E	76.37'
C5	90°00'00"	30.00'	47.12'	S46°10'00"E	42.43'
C6	90°00'00"	54.00'	84.82'	S46°10'00"E	76.37'
C7	90°00'00"	30.00'	47.12'	N46°10'00"W	42.43'
C8	90°00'00"	30.00'	47.12'	S43°50'00"W	42.43'
C9	90°00'00"	30.00'	47.12'	N46°10'00"W	42.43'
C10	36°37'27"	30.00'	19.18'	S70°31'17"W	18.85'
C11	37°04'44"	30.00'	19.41'	S72°37'38"E	19.08'
C12	90°00'00"	30.00'	47.12'	N43°50'00"E	42.43'
C13	90°00'00"	30.00'	47.12'	N46°10'00"W	42.43'
C14	36°36'25"	30.00'	19.17'	S70°31'48"W	18.84'
C15	90°00'00"	30.00'	47.12'	N43°50'00"E	42.43'
C16	90°00'00"	30.00'	47.12'	S46°10'00"E	42.43'
C17	90°00'00"	30.00'	47.12'	N43°50'00"E	42.43'
C18	90°00'00"	30.00'	47.12'	S46°10'00"E	42.43'
C19	15°00'00"	240.00'	62.83'	S06°20'00"W	62.65'
C20	8°32'14"	272.93'	40.67'	S09°24'59"W	40.63'
C21	82°11'58"	30.02'	43.07'	S46°07'14"W	39.47'
C22	90°00'00"	30.00'	47.12'	N46°10'00"W	42.43'
C23	90°00'00"	30.00'	47.12'	N43°50'00"E	42.43'
C24	90°00'00"	30.00'	47.12'	S46°10'00"E	42.43'
C25	90°00'00"	30.00'	47.12'	S43°50'00"W	42.43'
C26	90°00'00"	30.00'	47.12'	N46°10'00"W	42.43'
C27	90°00'00"	30.00'	47.12'	S46°10'00"E	42.43'
C28	90°00'00"	30.00'	47.12'	S43°50'00"W	42.43'
C29	98°39'13"	30.00'	51.65'	N41°50'23"W	45.51'
C30	4°54'57"	240.00'	20.59'	N09°56'42"E	20.59'
C31	13°08'46"	264.00'	60.57'	N07°15'37"E	60.44'
C32	88°08'46"	30.00'	46.15'	N44°45'37"E	41.73'
C33	90°00'00"	30.00'	47.12'	S46°10'00"E	42.43'
C34	90°00'00"	30.00'	47.12'	S43°50'00"W	42.43'
C35	90°00'00"	30.00'	47.12'	N46°10'00"W	42.43'
C36	90°00'00"	30.00'	47.12'	N43°50'00"E	42.43'

LOT TABLE

LOT NO.	ACRES	SQ. FT.
GROSS	14.763	643,071
LOT 1, BLOCK 1	14.168	617,163
RIGHT-OF-WAY DEDICATION	0.595	25,908

NOTES

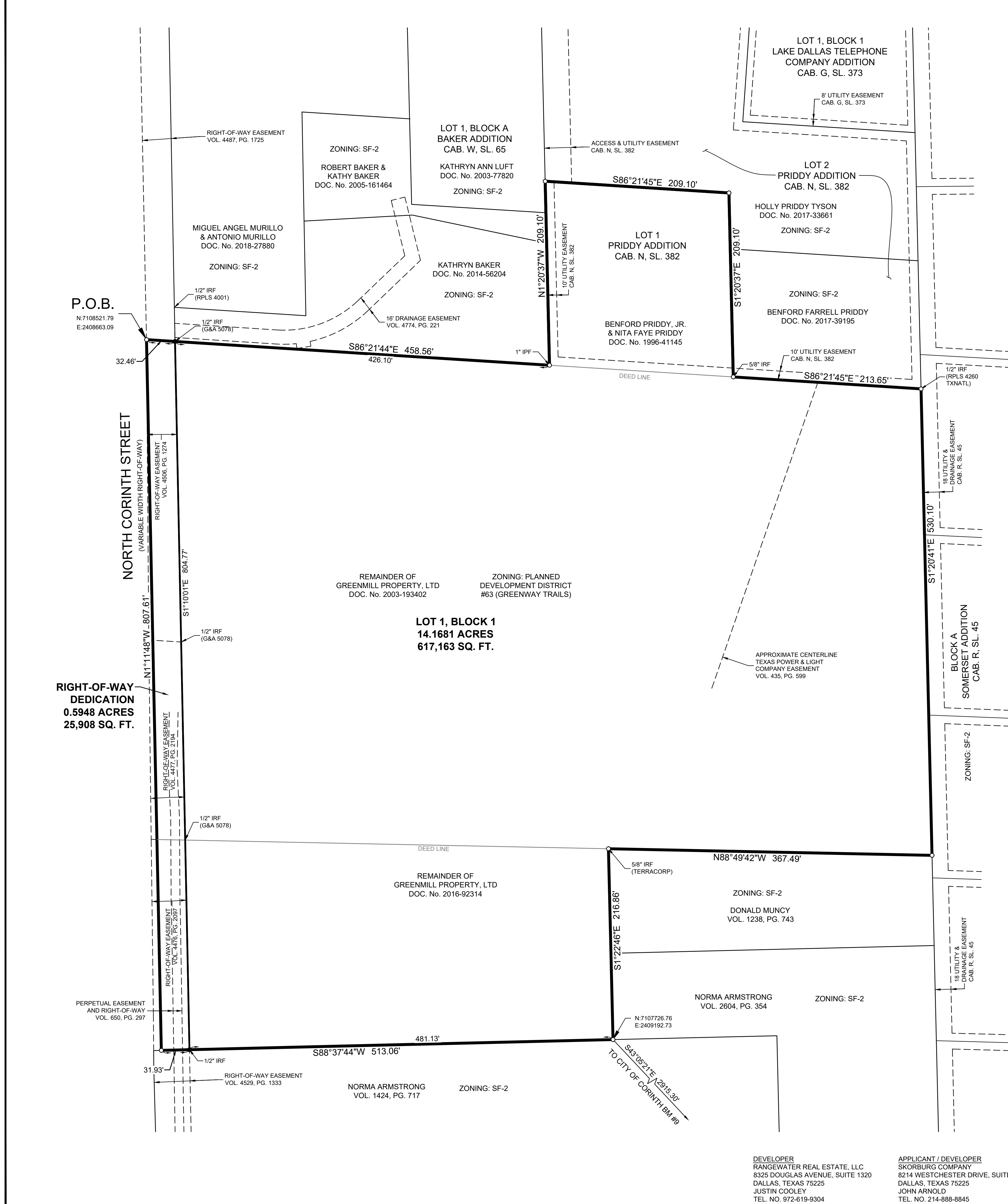
- The bearing system for this survey is based on the Texas Coordinate System of 1983, North Central Zone 4202 with an applied combined scale factor of 1.000136506.
 - According to Federal Emergency Management Agency's Flood Insurance Rate Map No. 48121C0391H, for Denton County, Texas and incorporated areas, dated June 19, 2020, this property is located within Zone X (unshaded) defined as "Areas determined to be outside the 0.2% annual chance floodplain". If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.
 - The grid coordinates shown hereon are based on the Texas Coordinate System of 1983, North Central Zone 4202, no scale and no projection.
 - The purpose of this plat is to create one (1) lot and dedicate right-of-way.
 - Notice: Selling a portion of this addition by metes and bounds is a violation of City Subdivision Ordinance and State Platting Statutes and is subject to fines and withholding of utilities and building certificates.
 - CONVEYANCE PLAT ONLY: NOT FOR DEVELOPMENT
- A conveyance plat is a map of property approved by the city for the purpose of sale or conveyance in its entirety or interests thereon defined. Lots created by a conveyance plat may not have all necessary public utilities available for immediate use. No certificate of occupancy shall be issued nor permanent public utility service provided to any lot(s) created by a conveyance plat until all required public improvements have been constructed and accepted and a record plat is filed for record with the county clerk. Selling a portion of property by metes and bounds, except as shown on an approved, filed and accepted conveyance plat, record plat, minor plat or minor replat is a violation of the city's Code of Ordinances and State Law.

CONVEYANCE PLAT
LOT 1, BLOCK 1
GREENWAY TRAILS
 ALSO BEING A REPLAT OF LOT 1, PRIDDY ADDITION, AN ADDITION TO THE CITY OF CORINTH ACCORDING TO THE PLAT RECORDED IN CAB. N., SL. 382, PLAT RECORDS, DENTON COUNTY, TEXAS
 M.E.P. & P. R.R. CO. SURVEY, ABSTRACT No. 911
 CITY OF CORINTH, DENTON COUNTY, TEXAS
 GROSS AREA: 14.763 ACRES

Kimley»Horn

801 Cherry Street, Unit 11, # 1300 Fort Worth, Texas 76102
 FIRM # 10194040
 Tel. No. (817) 335-6511
 www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 60'	SCR	MCB	1/27/2023	061318402	1 OF 2

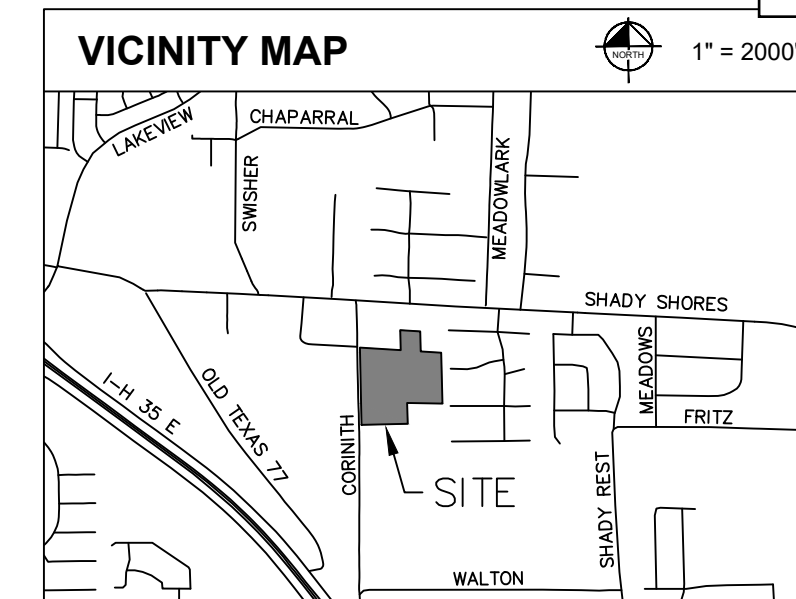


DEVELOPER
 RANGWATER REAL ESTATE, LLC
 8325 DOUGLAS AVENUE, SUITE 1320
 DALLAS, TEXAS 75225
 JUSTIN COOLEY
 TEL. NO. 972-619-9304

APPLICANT / DEVELOPER
 SKORBIJURG COMPANY
 8214 WESTCHESTER DRIVE, SUITE 500
 DALLAS, TEXAS 75225
 JOHN ARNOLD
 TEL. NO. 214-888-8845

ENGINEER
 KIMLEY-HORN AND ASSOC. INC.
 801 CHERRY STREET, SUITE 1300
 FORT WORTH, TEXAS 76102
 BRANDON MIDDLETON, P.E.
 TEL. NO. 817-339-2275
 brandon.middleton@kimley-horn.com

SURVEYOR
 KIMLEY-HORN AND ASSOC. INC.
 801 CHERRY STREET, SUITE 1300
 FORT WORTH, TEXAS 76102
 MICHAEL BILLINGSLEY, RPLS
 TEL. NO. 817-900-8526
 michael.billingsley@kimley-horn.com



OWNER'S ACKNOWLEDGEMENT AND DEDICATION

STATE OF TEXAS §
COUNTY OF DENTON §

I, the undersigned, owner of the land shown on this plat within the area described by metes and bounds as follows:

WHEREAS Greenmill Property, LTD., Benford Priddy Jr., and Nita Faye Priddy are the owners of a 14.7629 acre (643,071 square foot) tract of land situated in the M.E.P. & P. R.R. Co. Survey, Abstract No. 911, City of Corinth, Denton County, Texas, being all of Lot 1, Priddy Addition, an addition to the City of Corinth according to the plat recorded in Cabinet N, Slide 382, Plat Records, Denton County, Texas (P.R.D.C.T.), a portion of a tract of land described in Warranty Deed with Vendor's Lien to Greenmill Property, LTD., recorded in Document Number 2003-193402, Official Records, Denton County, Texas (O.R.D.C.T.), and a portion of a tract of land described in General Warranty Deed to Greenmill Property, LTD., recorded in Document Number 2016-92314, O.R.D.C.T., and being more particularly described as follows:

BEGINNING at a point for corner in North Corinth Street (a variable width right-of-way), said point being the northwest corner of said Greenmill Property tract recorded in Document Number 2003-193402, the northwest corner of a tract of land described in Deed Granting Street Right-of-Way to City of Corinth recorded in Volume 4506, Page 1274, Deed Records, Denton County, Texas (D.R.D.C.T.), and the southwest corner of a tract of land described in Deed Granting Street Right-of-Way to City of Corinth recorded in Volume 4487, Page 1725, D.R.D.C.T.;

THENCE South 86°21'44" East, along the north line of said Greenmill Property tract recorded in Document Number 2003-193402, at a distance of 32.46 feet passing a 1/2" iron rod found with a cap stamped "G&A 5078", said iron rod being the southwest corner of a tract of land described in General Warranty Deed to Kathryn Baker recorded in Document Number 2014-56204, O.R.D.C.T., the northeast corner of said Deed Granting Street Right-of-Way recorded in Volume 4506, Page 1274, and the southeast corner of said Deed Granting Street Right-of-Way recorded in Volume 4487, Page 1725, continuing in all a total distance of 458.56 feet to a 1" iron pipe found in the said north line of Greenmill Property tract recorded in Document Number 2003-193402, said pipe being the southeast corner of said Baker tract and the southwest corner of said Lot 1;

THENCE North 01°20'37" West, along the west line of said Lot 1, a distance of 209.10 feet to a 5/8" iron rod set with a cap stamped "KHA" being the northwest corner of said Lot 1 and the most westerly southwest corner of Lot 2 of said Priddy Addition;

THENCE South 86°21'45" East, along the north line of said Lot 1 and a south line of said Lot 2, a distance of 209.10 feet to a 5/8" iron rod set with a cap stamped "KHA" being the northeast corner of said Lot 1 and an interior ell corner of said Lot 2;

THENCE South 01°20'37" East, along the east line of said Lot 1 and a west line of said Lot 2, a distance of 209.10 feet to a 5/8" iron rod found in the said north line of Greenmill Property tract recorded in Document Number 2003-193402, being the southeast corner of said Lot 1 and the most southerly southwest corner of said Lot 2;

THENCE South 86°21'45" East, along the said north line of Greenmill Property tract recorded in Document Number 2003-193402 and the south line of said Lot 2, a distance of 213.65 feet to a 1/2" iron rod found with a cap stamped "RPLS 4260 TXNATL" in the west line of Block A, Somersett Addition, an addition to the City of Corinth according to the plat recorded in Cabinet R, Slide 45, P.R.D.C.T., being the northeast corner of said Greenmill Property tract recorded in Document Number 2003-193402 and the southeast corner of said Lot 2;

THENCE South 01°20'41" East, along the east line of said Greenmill Property tract recorded in Document Number 2003-193402 and the said west line of Block A, a distance of 530.10 feet to a 5/8" iron rod set with a cap stamped "KHA" being the southeast corner of said Greenmill Property tract recorded in Document Number 2003-193402 and the northeast corner of a tract of land described in Warranty Deed with Vendor's Lien to Donald Muncy recorded in Volume 1238, Page 743, D.R.D.C.T.;

THENCE North 88°49'42" West, departing the said west line of Block A, along the south line of said Greenmill Property tract recorded in Document Number 2003-193402 and the north line of said Muncy tract, a distance of 367.49 feet to a 5/8" iron rod found with a cap stamped "TERRACORP" in the said south line of Greenmill Property tract recorded in Document Number 2003-193402, being the northeast corner of said Greenmill Property tract recorded in Document Number 2016-92314 and the northwest corner of said Muncy tract;

THENCE South 01°22'46" East, along the east line of said Greenmill Property tract recorded in Document Number 2016-92314, a distance of 216.86 feet to a 5/8" iron rod set with a cap stamped "KHA" in the north line of a tract of land described in Warranty Deed to Norma Armstrong recorded in Volume 1424, Page 717, D.R.D.C.T., being the southeast corner of said Greenmill Property tract recorded in Document Number 2016-92314 and an exterior ell corner of a tract of land described in Warranty Deed to Norma Armstrong recorded in Volume 2604, Page 354, D.R.D.C.T.;

THENCE South 88°37'44" West, along the south line of said Greenmill Property tract recorded in Document Number 2016-92314 and the said north line of Armstrong tract recorded in Volume 1424, Page 717, at a distance of 481.13 feet passing a 1/2" iron rod found in the said south line of Greenmill Property tract recorded in Document Number 2016-92314 and the said north line of Armstrong tract recorded in Volume 1424, Page 717, said iron rod being the southeast corner of a tract of land described in Deed Granting Street Right-of-Way to City of Corinth recorded in Volume 4476, Page 2097, D.R.D.C.T. and the northeast corner of a tract of land described in Deed Granting Street Right-of-Way to City of Corinth recorded in Volume 4529, Page 1333, D.R.D.C.T., continuing in all a total distance of 513.06 feet to a point for corner, said point being the southwest corner of said Greenmill Property tract recorded in Document Number 2016-92314 and the northwest corner of said Armstrong tract recorded in Volume 1424, Page 717;

THENCE North 01°11'48" West, along the west lines of said Greenmill Property tracts, a distance of 807.61 feet to the **POINT OF BEGINNING** and containing 643,071 square feet or 14.7629 acres of land, more or less.

AND designated herein as **GREENWAY TRAILS** to the City of Corinth, Texas, and whose name is subscribed hereto hereby dedicate to the public use forever by fee simple title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, parks, and trails, and to the public use forever easements for sidewalks, storm drainage facilities, floodways, water mains, wastewater mains and other utilities, and any other property necessary to serve the plat and to implement the requirements of the platting ordinances, rules, and regulations thereon shown for the purpose and consideration therein expressed.

Greenmill Property, LTS., a Texas limited partnership

Highview Property, Inc., a Texas corporation
General Partner

By: _____
Name: _____
Title: _____

Date: _____

Owner: Benford Priddy, Jr.

Owner Signature: _____

Date: _____

Owner: Nita Faye Priddy

Owner Signature: _____

Date: _____

STATE OF _____ §
COUNTY OF _____ §

BEFORE ME, the undersigned, a Notary Public in and for the County of _____, Texas, on this day personally appeared _____, known to me to be the person and office whose name is subscribed to the foregoing instrument and acknowledged to me that he/she is _____, and the he/she is authorized to execute the foregoing instrument for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the _____ day of _____, 2023.

Notary Public in and for the State of _____

Type or print Notary's Name

My Commission expires: _____

STATE OF _____ §
COUNTY OF _____ §

BEFORE ME, the undersigned, a Notary Public in and for the County of _____, Texas, on this day personally appeared _____, known to me to be the person and office whose name is subscribed to the foregoing instrument and acknowledged to me that he/she is _____, and the he/she is authorized to execute the foregoing instrument for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the _____ day of _____, 2023.

Notary Public in and for the State of _____

Type or print Notary's Name

My Commission expires: _____

STATE OF _____ §
COUNTY OF _____ §

BEFORE ME, the undersigned, a Notary Public in and for the County of _____, Texas, on this day personally appeared _____, known to me to be the person and office whose name is subscribed to the foregoing instrument and acknowledged to me that he/she is _____, and the he/she is authorized to execute the foregoing instrument for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the _____ day of _____, 2023.

Notary Public in and for the State of _____

Type or print Notary's Name

My Commission expires: _____

CERTIFICATE OF CONVEYANCE PLAT APPROVAL

Approved this the _____ day of _____, 2023, by the Planning and Zoning Commission of the City of Corinth, Texas.

Director of Planning and Development
City of Corinth, Texas

Date

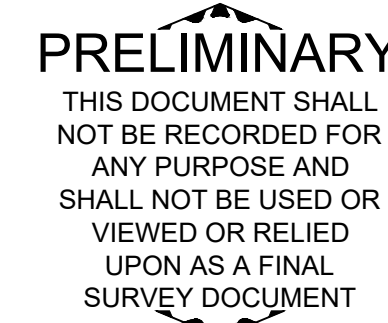
City Secretary
City of Corinth, Texas

CERTIFICATE OF SURVEYOR

STATE OF TEXAS §
COUNTY OF TARRANT §

I, the undersigned, a Registered Professional Land Surveyor in the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property made under my supervision on the ground.

Michael Cleo Billingsley
Registered Professional Land Surveyor No. 6558



STATE OF TEXAS §
COUNTY OF TARRANT §

BEFORE ME, the undersigned authority, on this day personally appeared Michael Cleo Billingsley, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the _____ day of _____, 2023.

Notary Public in and for the State of Texas

Type or print Notary's Name

My Commission expires: _____

**CONVEYANCE PLAT
LOT 1, BLOCK 1
GREENWAY TRAILS
ALSO BEING A REPLAT OF LOT 1, PRIDDY
ADDITION, AN ADDITION TO THE CITY OF
CORINTH ACCORDING TO THE PLAT RECORDED
IN CAB. N, SL. 382, PLAT RECORDS,
DENTON COUNTY, TEXAS
M.E.P. & P. R.R. CO. SURVEY, ABSTRACT No. 911
CITY OF CORINTH, DENTON COUNTY, TEXAS
GROSS AREA: 14.763 ACRES**

Kimley»Horn

801 Cherry Street, Unit 11, # 1300 Fort Worth, Texas 76102 FIRM # 10194040 Tel. No. (817) 335-6511 www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	SCR	MCB	1/27/2023	061318402	2 OF 2

DEVELOPER
RANGEWATER REAL ESTATE, LLC
8325 DOUGLAS AVENUE, SUITE 1320
DALLAS, TEXAS 75225
JUSTIN COOLEY
TEL. NO. 972-619-9304

APPLICANT / DEVELOPER
SKORBURG COMPANY
8214 WESTCHESTER DRIVE, SUITE 500
DALLAS, TEXAS 75225
JOHN ARNOLD
TEL. NO. 214-888-8845

ENGINEER
KIMLEY-HORN AND ASSOC. INC.
801 CHERRY STREET, SUITE 1300
FORT WORTH, TEXAS 76102
BRANDON MIDDLETON, P.E.
TEL. NO. 817-339-2275
brandon.middleton@kimley-horn.com

SURVEYOR
KIMLEY-HORN AND ASSOC. INC.
801 CHERRY STREET, SUITE 1300
FORT WORTH, TEXAS 76102
MICHAEL BILLINGSLEY, RPLS
TEL. NO. 817-900-8526
michael.billingsley@kimley-horn.com



CITY OF CORINTH
Staff Report

Meeting Date:	2/27/2023	Title:	Destiny RV Resort Planned Development (PD) Rezoning Request (Case No. ZAPD22-0005)
Ends:	<input type="checkbox"/> Resident Engagement <input type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development		
Governance Focus:	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input checked="" type="checkbox"/> Customer <input checked="" type="checkbox"/> Stakeholder		
	<i>Decision:</i> <input checked="" type="checkbox"/> Governance Policy <input type="checkbox"/> Ministerial Function		

Item/Caption

Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a rezoning request by the Applicant, Homeyer Engineering, Inc., to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code of the City, from MX-C Mixed-Use Commercial to a Planned Development with a base zoning district of MX-C Mixed-Use Commercial, to accommodate a proposed expansion of the Destiny RV Resort, on approximately ±18.96 acres located at 7100 S I-35E. Case No. ZAPD22-0005 – Destiny RV.



Location Map - Case No. ZAPD22-0005

Prior Action/Updated Information

At Public Hearings held on December 12, 2022 and January 23, 2023, the Planning & Zoning Commission voted to table the item.

A Planning & Zoning Commission Workshop Session was held on February 6, 2023, to provide an opportunity to clarify concerns. The following key items were discussed (*also see Attachment 3- Draft February 6, 2023, P&Z Commission Workshop Minutes*):

1. Defining acceptable definitions for terms RV Park and Recreational Vehicle. During the workshop, the definitions as currently contained in the UDC and Code of Ordinances were used as a baseline for discussion. The following language resulted from the collective input:
 - i. **A Recreational Vehicle Park**, for this PD, is defined as:
 “A parcel of land designed, improved, or intended to be used for short- or long-term occupancy by recreational vehicles (including travel trailers) in designated spaces not to exceed ___months. Facility may include employee stalls, utility hook-ups, accessory structures, playgrounds and open space areas, fenced yard areas for pets, and other similar amenities.”
 - ii. **A Recreational Vehicle** shall be defined as:
 “A vehicle which is:
 1. Built on a single chassis;
 2. Four hundred square feet or less when measured at the chassis;
 3. Designed to be self-propelled or permanently towable by a light duty truck; and
 4. Designed primarily not for use as a permanent dwelling but as temporary living quarters for recreational, camping, travel, or seasonal use.”
2. Defining the maximum length of stay related to what constitutes lodging (long and short term):
 - a. A range of time limits were discussed including the 24 months as requested by the Commission and a maximum stay of 36 months offered by the Applicant.
 - b. The Commission and the Applicant discussed allowing licensees at the site before January 1, 2019, to remain indefinitely, while those who began their stay after January 1, 2019 would be subject to the maximum length of stay, beginning on the date of the adoption of the PD Ordinance.
 - c. Employee stalls being exempt from the proposed maximum stay limit.

The Applicant asked that they have the opportunity to go back and discuss with their team to propose a solution that meets their business model and addresses the Commissions concerns.

As a result of the February 6th workshop session, the Applicant revised the related aspects of their original proposal to address the items mentioned above. These changes have been included in the text of Attachment 1 – PD Design Statement. The Applicant is now proposing the following:

Definitions:

- Recreational Vehicle – No change from what was discussed at workshop except added the term not to exceed 24 months.
- Recreational Vehicle Park – No change from what was discussed at the workshop, and the definition has been added to the PD Design Statement text.

Maximum Length of Stay:

- Maximum stay of 24 months
- Employee-occupied stalls are exempt from maximum stay and there shall be a maximum of one (1) stall per employee
- Once the maximum stay of 24 months is reached, an RV shall leave the RV park for minimum of 30 days, before returning
- Existing recreational vehicles that have been at the site on or before June 30, 2021 may stay indefinitely.
- Those who began their stay on or after July 1, 2021 will be subject to the defined maximum stay, beginning on the date of the adoption of the PD Ordinance.

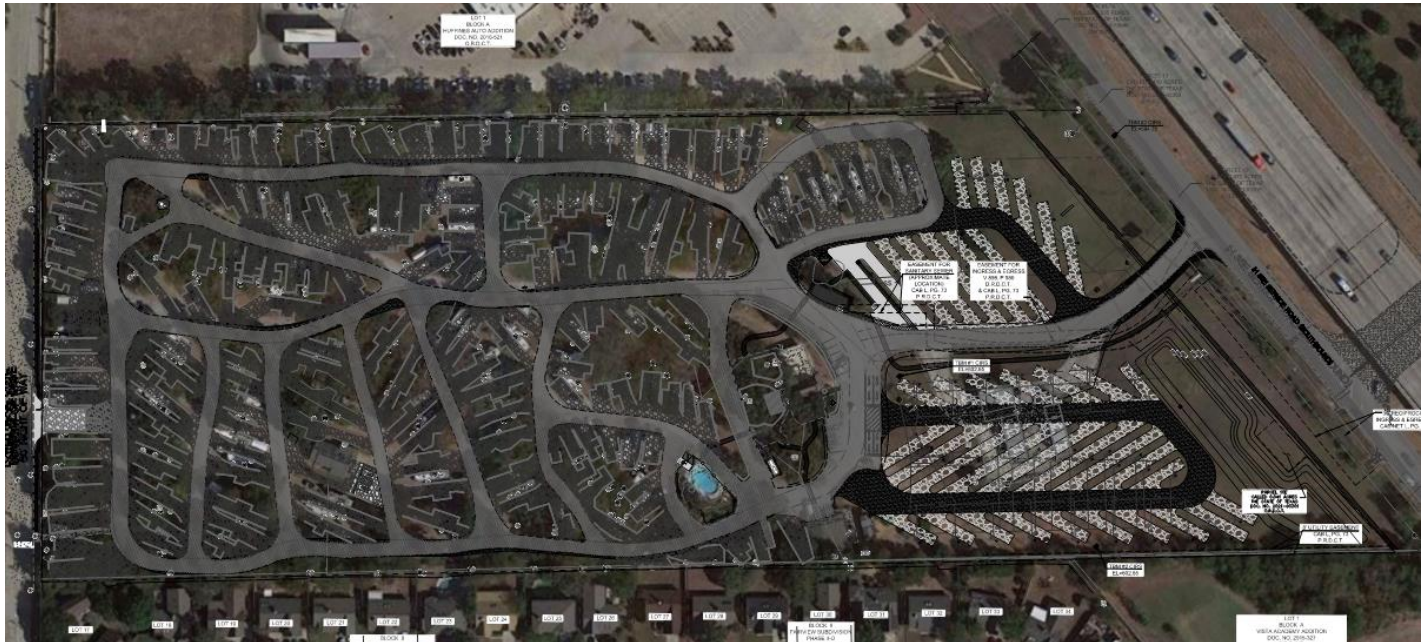
- Owner/operator of the RV park shall submit a yearly roll reporting compliance of arrival and departures.

Updated Rent Roll with Dates:

- The Applicant provided an updated rent roll with more details regarding the length of stay of existing stalls.

Item Summary/Background

The applicant is requesting the rezoning of approximately ±18.96 acres to a Planned Development (PD) District with a base Zoning District of MX-C Mixed Use Commercial to accommodate an expansion of the existing recreational vehicle (RV) park. The site was originally developed in 1967 and consists of 176 full-service RV sites, an office building, recreation hall, convenience store, fitness center, swimming pool and spa, laundry facilities, and a self-service vehicle wash center. The expansion area will be located in the mostly vacant eastern quarter of the property and will include the removal of the existing self-service vehicle wash facility.



Excerpt from Concept Plan Overlay with Aerial Image

The following are key elements of the proposed expansion project:

- Removal of the self-service vehicle wash facility.
- Addition of 52 RV sites, for a total of 228 RV sites.
- All new RV parking lanes will be 14’ feet wide with a 10’ wide landscaped area between each lane.
- Widening of existing paving at certain location to establish a minimum 20’ wide fire lane throughout the existing development and providing a gated emergency access driveway from Tower Ridge Drive on the west side of the property.
- Adding Fire Hydrants in the existing development.
- Adding a drainage facility on southeast corner of site adjacent to I-35E.

Please refer to Exhibit C - Concept Plan for the graphic layout of the development.

RV Park and Permitted Uses

The current zoning of MX-C Mixed Use Commercial was applied in 2013, when the Unified Development Code (UDC) was adopted. UDC Subsection 2.07.03, Use Chart, currently does not list RV Park as a permitted use within the MX-C zoning district. The Applicant is requesting to remain under the base zoning of MX-C Mixed Use Commercial by adding RV Park to the list of permitted uses in this property. Note that the Applicant is proposing a different definition of

“Recreational Vehicle Park” for this Planned Development, which differs from that of the UDC. The existing and proposed definitions are listed below:

Existing Definition – Recreational Vehicle Park: “A parcel of land designed, improved, or intended to be used for short- or long-term occupancy by recreational vehicles (including travel trailers) in designated spaces. Facility may include a residence for the owner/manager of the premises, utility hook-ups, accessory structures, playgrounds and open space areas, fenced yard areas for pets, and other similar amenities.”

Proposed Definition – Recreational Vehicle Park: A Recreational Vehicle Park, for this PD, is defined as:

“A parcel of land designed, improved, or intended to be used for short- or long-term occupancy by recreational vehicles (including travel trailers) in designated spaces not to exceed ___ months. Facility may include employee stalls, utility hook-ups, accessory structures, playgrounds and open space areas, fenced yard areas for pets, and other similar amenities.”
[revised per outcome of workshop]

Accessory Uses

Prohibited Accessory Uses. The storage or parking of unoccupied recreational vehicles, including water motor craft, will be listed as a prohibited use in the PD. The installation of new permanent and semi-permanent structures other than steps or ramps, such as storage sheds, decks, and carports in both existing and expansion areas will be prohibited.

Permitted Accessory Uses. Repairs and modifications to existing structures in the existing development will be permitted. Additionally, the PD proposes to include the following accessory uses in addition to those listed in the proposed definition of “Recreational Vehicle Park”:

- Office uses for the resort
- Maintenance facilities/structures
- Playgrounds
- Incidental sales of supplies for recreational vehicles and camping activities in the existing office building

Accessory Buildings

Prohibited Accessory Buildings. The installation of new permanent and semi-permanent structures other than steps or ramps, such as storage sheds, decks, and carports in both existing and expansion areas will be prohibited.

Permitted Accessory Buildings. Existing permanent and semi-permanent structures in the development shall be allowed to remain as currently exists. Repairs or modifications to permanent and semi-permanent structures are permitted in the existing development. Additionally, Temporary Vehicle Tents, as generally depicted in Exhibit G – Vehicle Tents, shall be permitted.

Landscaping

The Applicant seeks exemptions from the requirements of UDC Subsection 2.09.01, Landscape Regulations, including the requirement of a landscape edge buffer along Tower Ridge Drive due to the existing fencing/limited area, and the requirement that all landscaping be protected by a concrete curb to maintain a character similar to the existing portion of the development. Alternative landscaping proposed by the Applicant includes the planting of one (1) ornamental or shade tree between each of the new RV stalls, which is an increase from the UDC standard requiring one (1) tree for every 10 spaces.

Additional landscaping not required by the UDC that the Applicant has agreed to provide includes a 20-foot landscape buffer adjacent to residential Lots 32-34 of Block 9 of the Fairview Subdivision. More specific details of the landscape planting schedule are contained in Exhibit E - Conceptual Landscape Plan.

Tree Preservation

The Applicant seeks to be exempt from the mitigation requirements of UDC Subsection 2.09.02, Tree Preservation, for trees in the existing development that need to be removed to provide for a suitable paving width for emergency access, the provision of fire hydrants/waterlines, and utility easements.

Parking

The Applicant is proposing alternative parking standards than those of UDC Subsection 2.09.03, Vehicular Parking Regulations, which require two (2) parking spaces for each recreational vehicle space. The proposed rate one (1) space for each recreational vehicle and supporting documentation from various sources demonstrates that the proposed parking ratio is adequate. Additionally, the Applicant is requesting to be exempt from the requirement that all parking areas be curbed, paved concrete because of the use of the property. The Applicant proposes an alternative standard allowing for gravel to be used as a permitted surface in RV Parking areas, as generally depicted in Exhibit D – Concept Plan.

Signs and Fencing

The Applicant seeks departures and exemptions from UDC Subsection 4.01.15, General Sign Requirements. The proposed PD would increase the maximum allowed height for a monument sign from eight (8) feet to eleven (11) feet and exempt the Applicant from the requirement that signs be framed by a minimum of six (6) inches of masonry material.

The Applicant is requesting to be exempt from multiple provisions of UDC Subsection 4.02, Fence and Screening Regulations, including the requirement to install new masonry screening walls at the site. The site is currently screened by wood fencing on the south, west, and north boundaries. The Applicant incorporated a provision in the PD Design Statement related to fencing on Tower Ridge Drive: if 50% or more of the existing fence along Tower Ridge Drive needs to be repaired or replaced, the entire fence shall be replaced with a new board-on-board cedar fence with a minimum height of eight (8) feet.

Mobility

The Applicant will construct a five (5) foot wide sidewalk along Tower Ridge Drive, construct a sidewalk along I-35E within the landscape edge buffer, and provide a pedestrian access easement at time of platting.

The Applicant is required to construct a deceleration lane, warranted by the proposed traffic counts. The construction of this deceleration lane will occur when the Texas Department of Transportation project to widen I-35E is completed.

Fire Protection

To provide increased fire protection in the existing development, the Applicant will install water lines to serve new fire hydrants and additional paving in existing drives to maintain a minimum width of 20 feet. The Fire Marshal of the Lake Cities Fire Department has reviewed the proposed Fire Safety improvements.

Public Safety

As of December 12, 2022, there were 55 calls for service to the subject property, out of which approximately 15 of the calls involve a report of a potential crime.

The table provides a summary of the requested departures to the development standards contained within the UDC. Also, see Attachment 1 – PD Design Statement for the detailed development standards and “justification statement” supporting each request.

Summary of Proposed Departure Requests:		
Development Standard Category	MX-C Base District/UDC Standard	Proposed Destiny RV Resort PD standard
Use Chart (2.07.03)	Permitted Uses in MX-C Mixed Use Commercial Zoning District	Permitted Uses in MX-C Mixed Use Commercial Zoning District, with the addition of RV Park as defined in PD, and prohibition on the installation of new accessory structures and the parking/storage of unoccupied RVs
Landscape Edge Buffer (2.09.01.A.1.a)	Shade trees required to be planted 30' on center based on linear feet of buffer (2.09.01.A.1.a)	Exempting Tower Ridge Drive from this requirement
Landscape Plantings (2.09.01.A.1.d)	Landscape Plantings Encouraged (no specific requirements)	Established specific plantings to be provided (see Exhibit C)
Concrete Curb Protection for Landscaping (2.09.01.A.2.d)	All landscaped areas shall be protected by a raised six (6) inch concrete curb	Exempt
Parking and Driveway Surface (2.09.03 B.1)	Parking areas and driveways shall be curbed, paved concrete	Surfaces may include concrete, asphalt, or gravel.
Vehicle Parking Schedule (2.09.03 E.25)	Two (2) spaces for each recreational vehicle	One (1) space for each recreational vehicle
Monument Sign Maximum Height (4.01.15 E.3)	Eight (8) feet	Eleven (11) feet
Monument Sign Framing (4.01.13.E.7.e)	The sign face shall be framed by a minimum of six (6) inches of brick, stone, or masonry material matching the front facade of the building.	Exempt
Screening Requirements – Nonresidential Construction Abuts Residential Zoning Classification (4.02.11.C)	Nonresidential construction which abuts the boundary of any property in a residential zoning classification shall require the Developer of the nonresidential use to erect a minimum six (6) foot high masonry screening wall along the common boundary	Exempt

Compliance with the Comprehensive Plan

The 2040 Comprehensive Plan designates this area as “Office/Employment.” The Land Use and Development Strategy for the Office/Employment identifies lodging within its land use types and densities. Higher intensity uses identified in this place type, such as corporate/flex office campuses, for the land proposed to be developed do not appear to be supported by the market due to several factors, including the “mid-block” location and the present traffic configuration. The proposed expansion is compatible with the existing development, as well as the auto dealership to the north and the small number of single-family homes to the south.

The Active Transportation Plan identifies an east-west trail to be constructed along the southern boundary of the property between Tower Ridge Drive and I-35E, which the plan proposes to connect through the existing underpass to the east side of I-35E. Because the existing development will remain and the I-35E expansion project will eliminate the “U-turn” underpass, the Applicant will not be required to construct the trail.

Neighborhood Outreach

On March 15, 2022, the Applicant hosted a neighborhood meeting. The Applicant notified the property owners within 200 feet of the subject property to inform residents of this meeting. Per the Applicant, a few neighbors attended the meeting and were in support of the proposed expansion.

Public Notice

Notice of the public hearing was provided in accordance with the City Ordinance and State Law by,

- Publishing in the Denton Record-Chronicle.
- Written public notices were mailed to the owners of all properties located within 200 feet of the subject property and to the Lake Dallas ISD.
- The Applicant posted a “Notice of Zoning Change” sign along I-35E and Tower Ridge Drive.
- The Public Hearing notice was posted on the City’s Website.

Letters of Support/Opposition

As of the date of this report, the City has received one (1) letter in support and one (1) letter in opposition from property owners located within 200 feet of the subject property (see Attachment 2).

Staff Recommendation

Staff recommends approval as presented.

Motion

“I move to recommend approval of Case No. ZAPD22-0005 – Destiny RV Resort, as presented.”

Alternative Actions by the Planning and Zoning Commission

The Planning and Zoning Commission may also,

- Recommend approval with additional stipulations,
- Continue the Public Hearing and table action on the request to a definitive or non-defined date (not recommended by Staff), or
- Recommend denial of the request

Supporting Documentation

Attachment 1 – PD Design Statement

- Exhibit “A” – Legal Description
- Exhibit “B” – Zoning Map
- Exhibit “C” – Concept Plan
- Exhibit “D” – Concept Plan Overlay with Aerial
- Exhibit “E” – Conceptual Landscape Plans, Screening, and Tree Survey/Removal Plans.
- Exhibit “F” – Signage
- Exhibit “G” – Vehicle Tents
- Exhibit “H” – Rent Roll

Attachment 2 – Correspondence from Property Owners within 200 feet of the subject property

Attachment 3 – February 6, 2023, P&Z Commission Workshop Draft Minutes

Attachment 4 – Correspondence with Applicant Regarding Neighboring Property Owner Concerns



ATTACHMENT 1:
PD DESIGN STATEMENT
DESTINY RV RESORT PLANNED DEVELOPMENT

**DESTINY DALLAS RV RESORT
PD DESIGN STATEMENT**

SECTION 1 - OVERVIEW

A. PROJECT NAME/TITLE: Destiny Dallas RV Resort

B. LIST OF OWNERS/DEVELOPERS:

Shorebreak Holdings 1, LLC
Boardwalk at Palm Bluffs, LP
1061 E. 4th Street
Santa Ana, California 92701

C. PROJECT ACREAGE AND LOCATION:

Site Acreage: 18.96 Total Acres
Number of Tracts/Lots: 1 Tract, 2 platted lots
Site Location: 7100 S. Interstate Highway 35E

D. PROJECT OVERVIEW: The existing Destiny Dallas RV Resort began operating in 1967 and has seen several structure additions over the years and consists of 176 full-service RV sites, an office building, recreation hall, fitness center, swimming pool and spa, laundry facilities, and a self-service RV and automobile wash center. The proposed expansion will include 52 new sites for a total of 228 RV sites. It is the developer’s desire to make an expansion investment in the RV resort to improving the fire safety/emergency access within the existing area and adding more RV sites and amenities in the proposed addition. The park is very successful and enlarging it will benefit the City of Corinth by drawing users that will frequent food and entertainment venues in the immediate area.

E. PROJECT DESCRIPTION: Destiny Dallas RV Resort is a distinctive leisure and recreation campsite community in Corinth attracting users from all over. The property is conveniently located on IH 35E and easily connects to various regional thoroughfares. The owners and employees take pride in providing a highly desirable RV Resort and the site’s amenities are enjoyed by patrons. The property is currently zoned Mixed Use Commercial (MX-C) which is intended to permit the establishment of standalone nonresidential activities and limited residential activities along Interstate Highway 35. Based on existing conditions, the Destiny Dallas RV Resort development is situated on approximately 14 acres of the overall 18.96 acre site. Since the site was developed long ago, before the property was in the city limits, zoning was applied after construction and annexation by the City of Corinth. The current MX-C zoning district does not list an “RV Park” as a permitted use. The requested Planned Development District will allow for an RV Park use and will provide development regulations for the existing resort park and proposed expansion.

The proposed PD District outlines specific features in the development regulations for the expansion area that include campsite functions/details, a landscaped detention area that will provide for open play/passive recreation areas, additional sidewalks and connections to roadways, landscape buffers, a second point of emergency fire access to Tower Ridge Drive, signage, and improved fire/emergency access.

The developer has removed the existing pole sign at the entry demonstrating the desire to be a partner with the City in aesthetic appeal. The proposed expansion will eliminate the RV/auto wash facility that is highly visible from IH 35E and it will be replaced with RV sites. The new additions will include the installation of four (4) fire hydrants, waterline to service the hydrants, and improve the accessibility for

emergency services equipment and the safety of the residents. Additionally, the landscape buffer in the expansion area will be provided adjacent to the Fairview Subdivision (Phase 2, beginning at Lot 32 and extending to Lot 34 of Block 9) even though properties along IH 35E are exempted from the Residential Adjacency Standards, Section 2.09.05 of the Corinth UDC.

SECTION 2: PROJECT DESIGN

A. BASE ZONING DISTRICT:

Destiny Dallas RV Resort is intended to provide development standards for the expansion of a high-quality recreational vehicle community resort taking advantage of its ideal location and the concepts outlined in Envision Corinth 2040 Comprehensive Plan by promoting a unique use through design to support recommended lodging uses as described in the Office/Employment land use category. Destiny Dallas RV Resort PD currently provides 184 full-service RV sites, an office building, recreation hall, fitness center, swimming pool and spa, laundry facilities, and a self-service RV and automobile wash center. The PD for Destiny Dallas RV Resort will allow for an expansion to a total of 220 full-service sites and will remove the existing RV/automobile wash facility. Additionally, the project includes standards for suitable parking and landscape standards for the RV site along with an amenitized detention area. The base zoning district for the PD will remain Mixed Use Commercial (MX-C) and allowances are outlined herein to address the existing development and the expansion.

Except as otherwise set forth in these Development Standards the regulations of Subsection 2.06.02, MX-C Mixed Use Commercial of Subsection 2.06, Nonresidential Zoning Districts, of the UDC, for the MX-C District and all other requirements of the UDC shall apply to all development within Destiny Dallas PD.

B. DEVELOPMENT REGULATIONS:

The regulations set forth herein provide development standards for a recreational vehicle park and accessory uses within the Destiny Dallas RV Resort Planned Development. The boundaries of the PD are identified in the Legal Description, Exhibit “A” and the Property shall be developed in accordance with these regulations and the PD Concept Plan as depicted on Exhibit “C”, the concept presented in the Concept Plan with Aerial Imagery on Exhibit “D”, the concepts presented in the Conceptual Landscape Plans, Screening, and Tree Survey/Removal Plans on Exhibit “E, Signage as depicted on Exhibit “F”. A use that is not expressly authorized herein is expressly prohibited in the Destiny Dallas Resort Planned Development.

The “MX-C” Mixed Use Commercial District regulations of the Corinth Unified Development Code (UDC), Ordinance No. 13-05-02-08, as amended, shall apply to the Property except as modified herein. If a change to the PD Concept Plan, and/or Ancillary Concept Plans is requested, the request shall be processed in accordance with the UDC and development standards in effect at the time the change is requested for the proposed development per the Planned Development Amendment Process.

1. Permitted Uses and Use Regulations

- a. The Permitted Uses in the MX-C District as listed in Subsection 2.07.03 Use Chart, shall apply, with the addition of a Recreational Vehicle Park use. A Recreational Vehicle Park, for this PD, is defined as:

“A parcel of land designed, improved, or intended to be used for short- or long-term occupancy by recreational vehicles (including travel trailers) in designated spaces not to exceed 24 months. Facility may include employee stalls, utility hook-ups, accessory structures, playgrounds and open space areas, fenced yard areas for pets, and other similar amenities.”

- b. A Recreational Vehicle shall be defined as:
 - “A vehicle which is:
 - i. Built on a single chassis;
 - ii. Four hundred square feet or less when measured at the chassis;
 - iii. Designed to be self-propelled or permanently towable by a light duty truck; and
 - iv. Designed primarily not for use as a permanent dwelling but as temporary living quarters for recreational, camping, travel, or seasonal use.”

- c. The following Use Regulations shall apply:
 - i. Employee occupied stalls are exempt from maximum stay and there shall be a maximum of one stall per employee.
 - ii. Once the maximum stay of 24 months is reached, an RV shall leave the RV park for minimum of 30 days, before returning.
 - iii. Existing recreational vehicles that have been at the site on or before June 30, 2021 may stay indefinitely. Those who began their stay on or after July 1, 2021 will be subject to the defined maximum stay, which shall begin on the date the Planned Development Ordinance is adopted by the City Council.
 - iv. Owner/operator of the RV park shall submit a yearly roll reporting compliance of arrival and departures.

- d. Accessory Uses to be permitted in addition to those listed in the proposed definition of the use “Recreational Vehicle Park”, as defined in this Planned Development, shall include the following:
 - i. Office uses for the resort;
 - ii. Maintenance facilities/structures;
 - iii. Playgrounds; and
 - iv. Incidental sales of supplies for recreational vehicles and camping activities in the existing office building.

- e. Prohibited Uses in the Destiny Dallas PD include:
 - Unoccupied Recreational Vehicle Parking/Storage, including water motorcraft, is prohibited.

Justification: The existing RV resort has been in use for over 40 years. Since the site was initially developed as a RV resort, the city has grown and developed around it. The current property owner would like to continue this historical use and expand the resort to include the current undeveloped areas.

2. Dimensional Regulations

The Dimensional Regulations described in Subsection 2.08.05, “Nonresidential Dimensional Regulations Chart” of Subsection 2.08, “Zoning Dimensional Regulations” of the UDC, for the base zoning district MX-C Mixed Use Commercial shall apply.

3. Accessory Buildings

The Accessory Buildings and Uses as described in Subsection 2.07.07 “Accessory Buildings and Uses” of the UDC, for Nonresidential Accessory Buildings shall apply, except as modified below:

- a. Existing permanent and semi-permanent structures in the development shall be allowed to remain as currently exists. Repairs or modifications to permanent and semi-permanent structures are permitted in the existing development.
- b. New permanent or semi-permanent structures, with the exception of steps or ramps to access recreational vehicles, shall not be permitted in the boundaries of this Planned Development.
- c. Temporary Vehicle Tents, as generally depicted in Exhibit “G” - Vehicle Tents, shall be permitted.

Justification: The existing site contains a number of accessory structures that will not be removed and provisions permitting them need to be provided for. The RV sites in the expansion area will not have accessory structures other than ramps or steps to serve the RV’s.

4. Landscaping Regulations

The Landscaping Regulations as described in Subsection 2.09.01 “Landscape Regulations” of the UDC, for Nonresidential Landscaping Regulations shall apply, except as modified below:

- a. The existing development shall be exempt from Landscaping Regulations and allowed to remain as it currently exists. Improvements and landscape installation in the existing development is permitted.
- b. A landscape buffer along a collector street (Tower Ridge Drive) of fifteen (15) feet per Section 2.09.01 A.1.a.i. (b) shall not be required.
- c. Landscape area protection with a raised six (6) in concrete curb per Section 2.09.01 A.2.d. shall not be required.
- d. The expansion area of the PD shall provide for landscaping as outlined below and generally depicted in Exhibit “E” Conceptual Landscape Plans, Screening, and Tree Survey/Removal Plans.
 - i. A minimum of 42 shrubs (2-inch caliper and 8-foot minimum height at 15 feet spacing) shall be required along IH 35E. Shrubs may be grouped and clustered.
 - ii. A minimum of 34 trees (3-inch caliper and 12-14-foot minimum height at 30 foot spacing) shall be required along IH 35E. Trees may be grouped and clustered.
 - iii. Landscaping and Screening along IH 35E may be staggered, grouped, and arranged for interest along the regional thoroughfare. It is not the intent to plant a wall of trees along this frontage. In no case shall the number of tree and shrub required quantities be reduced.
 - iv. A minimum of one (1) ornamental tree of a minimum of two (2) caliper inches and eight (8) foot minimum height, or one (1) shade tree of a minimum of three (3) caliper inches shall be planted between each RV parking stall.

Additional landscaping to be provided by the Developer includes: A 20 foot wide landscape buffer in the expansion area will be provided adjacent to the Fairview Subdivision (Phase 2, beginning at Lot 32 and extending to Lot 34 of Block 9).

Justification: The existing site cannot be retrofitted to meet present day requirements. An RV resort is a unique use and not a traditional commercial development with uniform parking lots and landscaping. Provisions have been made to provide adequate space between RV sites including the addition of ornamental trees. Trees and shrubs along IH 35E have been added to the Conceptual Landscape Plans to provide for an attractive and appealing view from the roadway and through the

main drive. There are existing trees east of the existing fence along Tower Ridge Drive that provide landscape edge. A sidewalk in the Tower Ridge Drive right-of-way is being constructed by the developer.

5. Tree Preservation

Tree Preservation regulations outlined in Subsection 2.09.02 “Tree Preservation” of the UDC shall apply, except as modified below:

- a. Trees in the existing development that need to be removed to provide for a suitable paving width for emergency access, the provision of fire hydrants/waterlines, and utility easements shall be exempt from mitigation requirements.
- b. Tree removal and mitigation shall be in general conformance with Exhibit “E” Conceptual Landscape Plans, Screening, and Tree Survey/Removal Plans, which may be subject to change at the time of Site Plan approval.

Justification: When the park was originally developed, fire hydrants were not required. As part of this development, an internal water line will be installed to provide fire protection to both the expansion area and existing portions of the development. As a result of the proposed water line installation in the existing development, some of the existing trees will need to be removed to allow for the excavation of the utility trench.

6. Vehicular Parking Regulations

Vehicular Parking Regulations outlined in Subsection 2.09.03 “Vehicular Parking Regulations” of the UDC shall apply, except as modified below:

- a. The parking provided in the existing development shall be permitted to remain as it presently exists.
- b. The parking for the expansion area of the PD shall be parked at one (1) space per recreational vehicle site.
- c. Parking stalls in the expansion area shall be a minimum of 14 feet wide and include a ten (10) foot wide green space on each side of the spaces.
- d. Parking for the office, visitors, laundry facilities, pool/spa area shall be twenty-one (21) spaces as identified on Exhibit “C” PD Concept Plan for the existing development and expansion area of the PD.
- e. Section 2.09.03 B.1, requiring that parking areas and driveways shall be curbed, paved concrete, shall not apply. Parking surfaces shall be permitted as outlined in Exhibit “C” PD Concept Plan. Surfaces may include concrete, asphalt pavement, and gravel.

Table B – Parking Requirements

Regulation:	Base Regulations by Use RV PARK	Proposed Parking Standards/Modifications
Parking Standard:	Two (2) spaces for each recreational vehicle space	One (1) space for each recreational vehicle space

Justification:

- a. Research establishing a suitable parking ratio is outlined below:

City	Use Title	Requirement
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Corinth	RV Park	2 spaces for each RV space
Corpus Christi	RV Park	1 space per 4 pads
Fredericksburg	Campground	1 space per camping unit
Galveston	RV Park	1 space for each lot + 1 for each 6 lots
San Antonio	RV Park	0
Fort Worth	RV Park	1 off street space

- b. **American Planning Association**
Parking Standards, Edited by Michael Davidson and Fay Dolnick
 American Planning Association
 Planning Advisory Service, PAS Report 510/511, December 2002

Recreation vehicle (RV) park (see also campground)

- 1 space per recreational vehicle space not including parking space for RV (El Paso County, Colo., pop. 516,929)
 - 1 space per vehicle (St. Cloud, Minn., pop. 59,107)
 - 1 per each unit, plus 1 guest space for every 10 recreational vehicle sites, plus 1 space for each employee (Reno, Nev., pop. 180,480)
 - 1 per camp space (Hickory, N.C., pop. 37,222)
 - 1 space for recreation vehicle stall, plus 1 space for each 2 employees (Thomasville, Ga., pop. 18,162)
 - 1.1 spaces for each recreational vehicle space (Phoenix, Ariz., pop. 1,321,045)
- c. The center pull-through sites are typically 135 feet long and will easily accommodate 2, Class A motorhome vehicles (20-40 feet, average 30 feet, max. 45 feet) with room for a parked vehicle.
 - d. The other single user sites are generally 65+ feet in length and will accommodate a Class A vehicle and a parked vehicle.
 - e. The Resort requires reservations and is booked months in advance. The staff assigns appropriate campsites based on vehicle types. They know what is coming and how to accommodate the numbers and types of vehicles.

7. Building Façade Material Standards

Building Façade Material Standards outlined in Subsection 2.09.04 “Building Façade Material Standards” of the UDC shall apply.

8. Nonresidential Architectural Standards

Nonresidential Architectural Standards outlined in Subsection 2.09.06. “Nonresidential Architectural Standards” shall apply, except as modified below:

- a. Existing structures shall be exempt from nonresidential architectural standards.
- b. New structures may be constructed similar to the existing structures.

Justification: The existing development contains structures that do not meet present requirements and retrofitting or rebuilding the structures is not desired or economically feasible.

9. Residential Adjacency Standards

Residential Adjacency Standards outlined in Subsection Section 2.09.05 “Residential Adjacency Standards” shall apply, except as modified below:

- a. Nonresidential uses adjacent to Interstate 35 are exempt from the residential adjacency standards (2.09.05. B. Applicability 3.). Destiny Dallas PD shall provide a 20 foot landscape buffer to be adjacent to Fairview Subdivision, Phase 2, beginning at Lot 32 and extending to Lot 34 of Block 9, as illustrated on Exhibit “C” Concept Plan.

10. Screening of Outdoor Waste Storage for Nonresidential, Single-Family Attached, and Multi-Family Residential Properties

Screening of Outdoor Waste Storage for Nonresidential, Single-Family Attached, and Multi-Family Residential Properties” outlined in Subsection 4.02.13 of the UDC shall apply to the Destiny Dallas PD.

11. Lighting and Glare Regulations

Lighting and Glare Regulations outlined in Subsection 2.09.07 of the UDC shall apply.

12. Sign Regulations

Sign Regulations as outlined in Section 4.01 “Sign Regulations” shall apply, except as modified below:

- a. Signage shall be permitted in accordance with Exhibit “F” Signage.

Monument Sign on IH 35E

	Base Sign Regulations	Proposed Sign Regulations
Maximum Height	8 feet	11 feet overall total 5 feet, 5 in. sign 4 feet base
Maximum Length	NA	NA
Maximum Sign Size (Overall)	160 SF	160 SF
Maximum Sign Face	80 SF	80 SF
Setback	15 feet	15 feet
Framing (masonry)	6"	0
Landscaping	1 to 1	1 to 1

Justification: The signage is comparable to the signage approved and provided to the north for the Huffines auto dealership.

13. Fence and Screening Regulations

Fence and Screening Regulations as outlined in Section 4.02, “Fence and Screening Regulations” shall apply, except as modified below:

- a. Fencing requirements for Screening Height, requiring a minimum of six (6) feet between Nonresidential and Residential requirements per Section 4.02.11.A. shall not apply.

- b. Masonry Screening Walls, per Section 4.02.11.B shall not apply. The existing wood fencing on the north, south, and west shall remain. If fifty (50) percent or more of the existing fence along Tower Ridge Drive needs to be repaired or replaced, the entire fence shall be replaced with a new board-on-board cedar fence. Entire fence replacement shall be board-on-board cedar and a minimum of eight (8) feet in height.
- c. Nonresidential Construction Abutting a Residential Zoning Classification per Section 4.02.11.C shall not apply.
- d. Residential Construction Abuts a Collector or an Arterial Street per Section 4.02.11.E, which requires a six (6) foot high masonry wall, shall not apply.

Justification: The site is an existing development and there is an existing screening fence along the southern property boundary, on the residential property and along Tower Ridge Drive. A twenty (20) foot landscape buffer along the new expansion is being provided adjacent to the single-family residential properties. Provisions have been made for required fencing when the fencing along Tower Ridge Drive needs to be replaced.

14. Other

- a. The existing development area shall be allowed a reduction in the fire lane width to 20 feet.
- b. An emergency access only connection to Tower Ridge Drive has been added as a site requirement and will be fitted with the required Knox lock, or other Fire Department approved access device. The emergency drive width shall be a minimum of 30 feet with 30 foot internal turning radii.
- c. A sidewalk, a minimum of five (5) feet in width, shall be installed by the developer within the landscape edge buffer (within the property boundary) and shall be constructed at the time of the Destiny RV Resort expansion. A pedestrian access easement shall be established at time of platting for this sidewalk.
- d. A sidewalk, a minimum of five (5) feet in width, shall be installed from the IH 35E roadway to the main office.
- e. A sidewalk meeting the standards set forth in Section 3.05.12, Sidewalks, shall be installed in the right-of-way of Tower Ridge Drive.

C. OTHER DEVELOPMENT CONSIDERATIONS:

1. Phasing

- a. The proposed expansion and proposed existing site improvements will be developed as one project.
- b. The deceleration lane at the IH 35E main entry requires TXDOT approval. The deceleration lane will be paid for by the Destiny RV Resort owner through an agreement with the City. The City will contract directly with TXDOT for the installation of the deceleration lane.

2. Impacts

- a. A Traffic Impact Assessment has been submitted to Engineering and the data is outlined on Exhibit “C” PD Concept Plan. The City of Corinth staff has requested a deceleration lane be provided at the main entry at IH 35E and the developer of the PD will pay for a deceleration lane if TXDOT approves the deceleration lane.
- b. The main entry drive is proposed to be widened and provide increased turning radii at IH 35E as illustrated on Exhibit “C” PD Concept Plan.
- c. The existing RV sites have full-service utility connections which consist of water, sewer, and electricity. The proposed expansion sites will include full-service connections. In order to provide these services, new water and sewer service lines will be installed within the limits of

the proposed development area. These service lines will be owned and operated by the developer. In addition to these services lines, a new 8-inch water line is being installed throughout the entire RV resort in order to provide for fire hydrant coverage. At the present time, the existing park does not have fire hydrant service.

- d. Drainage and Detention has been provided for onsite as required. A section of the proposed detention area has been submitted for review.
- e. Destiny Dallas RV Resort is an exceptionally safe and monitored community and police reports are very few. The employees and residents conduct themselves as caring and responsible neighbors.
- f. The Resort requires reservations.
- g. The reservation system allows the coordination of vehicle types by sites.

SECTION 3 - BACKGROUND INFORMATION

A. EXISTING SITE CONDITIONS

The site is currently developed as an RV resort with 176 full-service sites. The site has an existing office building, recreation hall, fitness center, swimming pool and spa, laundry facilities and a self-service RV and automobile wash center. The wash center will be removed to make way for the proposed expansion of the resort.

Describe and discuss all topics that apply to the subject site:

- Street boundaries: The site currently has access to the IH 35E Service Road along the eastern property boundary. There is also an existing street, Tower Ridge Drive, along the western property boundary. However, the existing site does not have access to this street.
- Surrounding properties: As stated above there are streets located on the east and west sides of the property. There are single family residential properties to the south of this site and a car dealership to the north.
- Tree cover: The existing development area is heavily treed in and around the existing RV sites. There are a few existing trees sporadically located within the limits of the proposed expansion area.
- Drainage: The site generally drains to the southeast corner of the site.
- Existing easements: There are various utility and drainage easements currently located on the property. Additional easements will be dedicated for the proposed expansion.
- Existing signage/buildings/etc.: The existing pole sign has been removed and a new monument sign will be installed as part of this PD development.
- Existing site access: The site currently has access to the IH 35E Service Road. This access point will remain with some improvements being made to widen the entry drive as well increasing the driveway radii to improve the access into and out of the property. A new emergency access only ingress/egress is being proposed onto Tower Ridge Drive. This driveway will only be used by emergency vehicles and will provide a secondary access point to the site.

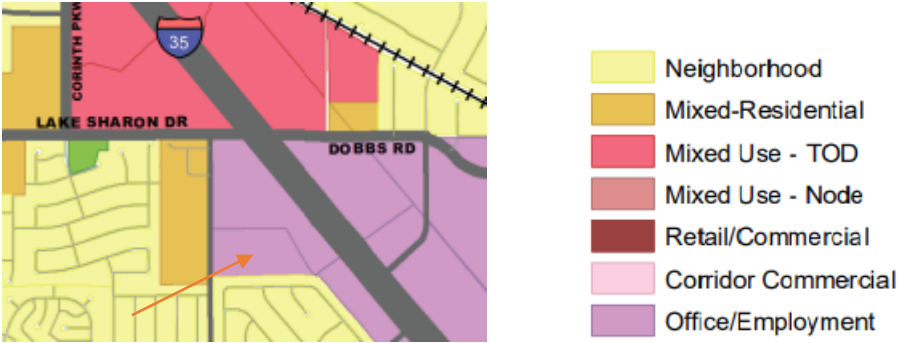
B. CURRENT ZONING

The site is currently zoned Mixed Use Commercial, MX-C which allows at least 90% nonresidential uses and a maximum of 10% residential uses.

The existing zoning on the subject site permits the following:

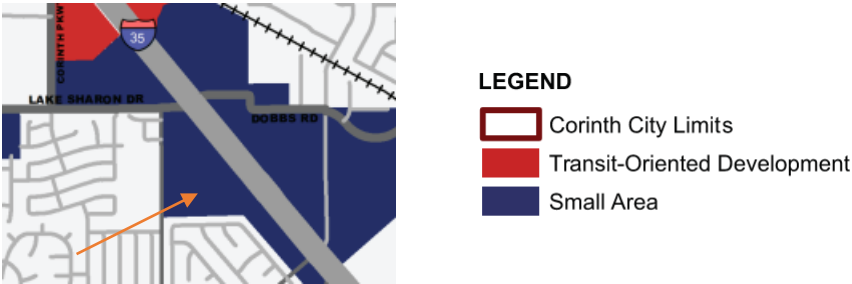
Minimum Front Yard Setback	40'
Minimum Side Yard Setback:	0'/15' adjoining residential
Interior Lot	
Corner Lot	10'/15' adjoining residential
Minimum Rear Yard Setback	20'
Minimum Lot Area	20,000 SF
Maximum Density	NA
Minimum Lot Width:	150'
Minimum Lot Depth	100'
Minimum Floor Area	NA
Maximum Height (feet/stories)	2.5 stories/40' or SUP
Maximum Building Area (all buildings)	50%

C. FUTURE LAND USE



Source: [Envision Corinth 2040 Comprehensive Plan \(Adopted July 2020\)](#)

1. Strategic Focus Areas



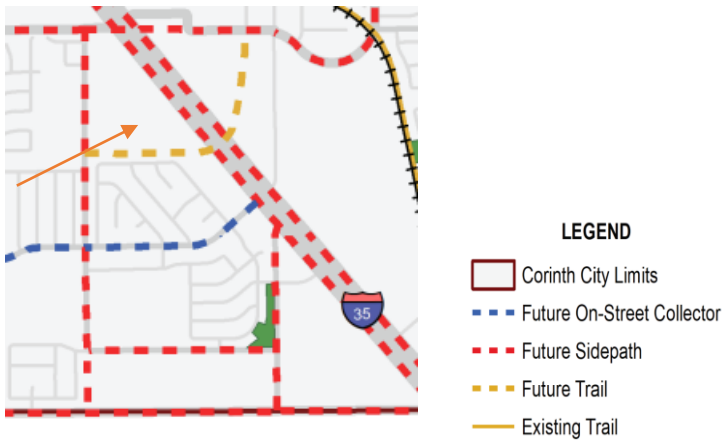
Source: [Envision Corinth 2040 Comprehensive Plan-Stratigic Focus Area \(Adopted July 2020\)](#)

2. Mobility – Master Thoroughfare Plan



Source: [Envision Corinth 2040 Comprehensive Plan - Master Thoroughfare Plan \(Adopted July 2020\)](#)

3. Mobility – Active Transportation Plan



A Future Sidepath on Tower Ridge Drive is indicated on the plan. A Future Trail is illustrated on the south side of the subject property.

Source: [Envision Corinth 2040 Comprehensive Plan \(Adopted July 2020\)](#)

SECTION 4 - SUPPORTING APPLICATION DOCUMENTS

- | | |
|-----------|--|
| Exhibit A | Legal Description/Metes & Bounds |
| Exhibit B | Zoning Map (By City) |
| Exhibit C | Concept Plan |
| Exhibit D | Concept Plan Overlay with Aerial |
| Exhibit E | Conceptual Landscape Plans, Screening, and Tree Survey/Removal Plans |
| Exhibit F | Signage |
| Exhibit G | Vehicle Tents |
| Exhibit H | Rent Roll |

Being an 18.96 acre tract of land out of the E. A. Garrison Survey, Abstract No. 511, situated in the City of Corinth, Denton County, Texas, and being a portion of a called 19.931 acre tract of land conveyed to Shorebreak Holdings 1, LLC, by deed of record in Document Number 2021-123192 of the Official Records of Denton County, Texas, and being a portion of Lots 1 and 2, Block 1, of Dallas KOA Campground Addition, a subdivision of record in Cabinet L, Page 73 of the Plat Records of Denton County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING, at a 1/2 inch iron rod with cap stamped "RPLS 4567" found in the East right-of-way line of Tower Ridge Drive (60-foot right-of-way), being the Northwest corner of Lot 17, Block 9, of Fairview Subdivision, Phase II, a subdivision of record in Cabinet E, Page 67 of said Plat Records, and being the Southwest corner of said 19.931 acre tract;

THENCE, N00°09'12"E, along the East right-of-way line of Tower Ridge Drive, being the common West line of said 19.931 acre tract, a distance of 575.05 feet to a 1/2 inch iron rod with cap stamped "GNS" found at the Southwest corner of Lot 1, Block A, of Huffines Auto Addition, a subdivision of record in Document Number 2018-521 of said Official Records;

THENCE, N89°13'46"E, along the South line of said Lot 1, Block A, of Huffines Auto Addition, being the common North line of said 19.931 acre tract, a distance of 1210.61 feet to an aluminum-capped TxDOT monument found in the West right-of-way line of Interstate Highway 35-E, being the Southeast corner of said Lot 1, Block A, of Huffines Auto Addition, also being the Southwest corner of a called Parcel 14 – 1.635 acre tract of land conveyed to The State of Texas by deed of record in Document Number 2014-78948 of said Official Records, and being the Northwest corner of a called Parcel 13 – 0.119 acre tract of land conveyed to The State of Texas by deed of record in Document Number 2021-93303 of said Official Records;

THENCE, along the West right-of-way line of Interstate Highway 35-E, being in part, the common West line of said 0.119 acre tract, in part, the common West line of a called Parcel 12 – 0.472 acre tract of land conveyed to The State of Texas by deed of record in Document Number 2021-93302 of said Official Records, and in part, the common West line of a called Parcel 10 – 0.391 acre tract of land conveyed to The State of Texas by deed of record in Document Number 2021-93301 of said Official Records, the following two (2) courses and distances:

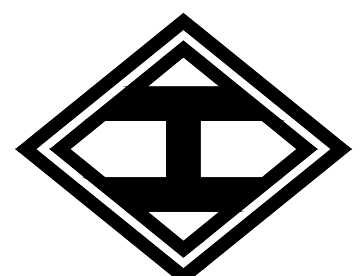
1. S40°39'42"E, a distance of 479.91 feet to an aluminum-capped TxDOT monument found;
2. S42°20'07"E, a distance of 257.37 feet to an aluminum-capped TxDOT monument found at the Southwest corner of said 0.391 acre tract, being the Northwest corner of a called Parcel 6 – 0.569 acre tract of land conveyed to the State of Texas by deed of record in Document Number 2022-71773 of said Official Records;

THENCE, S88°45'04"W, leaving the West right-of-way line of Interstate Highway 35-E, in part, along the South line of said Lot 1, Block 1, of Dallas KOA Campground Addition, and in part, along the South line of said 19.931 acre tract, being in part, the common North line of Lot 1, Block A, of Vista Academy Addition, a subdivision of record in Document Number 2015-327 of said Plat Records, in part, the common North line of Fairview Subdivision, Phase II-D, a subdivision of record in Cabinet E, Page 116 of said Plat Records, and in part, the common North line of said Fairview Subdivision, Phase II, a distance of 1698.48 feet to the **POINT OF BEGINNING**, and containing an area of 18.96 acres (825,853 square feet) of land, more or less.



**EXHIBIT B
PROPOSED ZONING
MAP CHANGE
MX-C TO PD WITH
MX-C BASE**

HOMEYER
ENGINEERING, INC.
FIRM REGISTRATION NO. F-8440
TYPE: ENGINEERING
P.O. BOX 294527 LEWISVILLE, TEXAS 75029
972-906-9985 PHONE 972-906-9987 FAX
WWW.HEI.US.COM

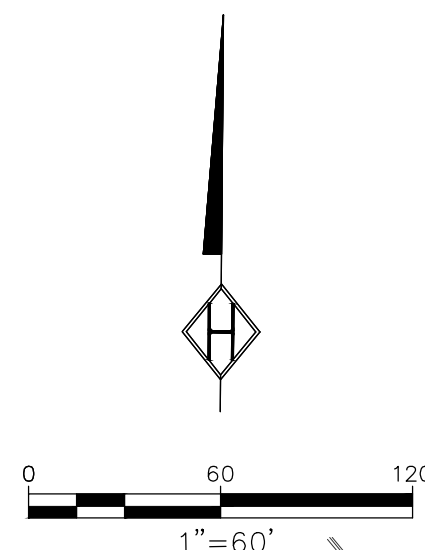
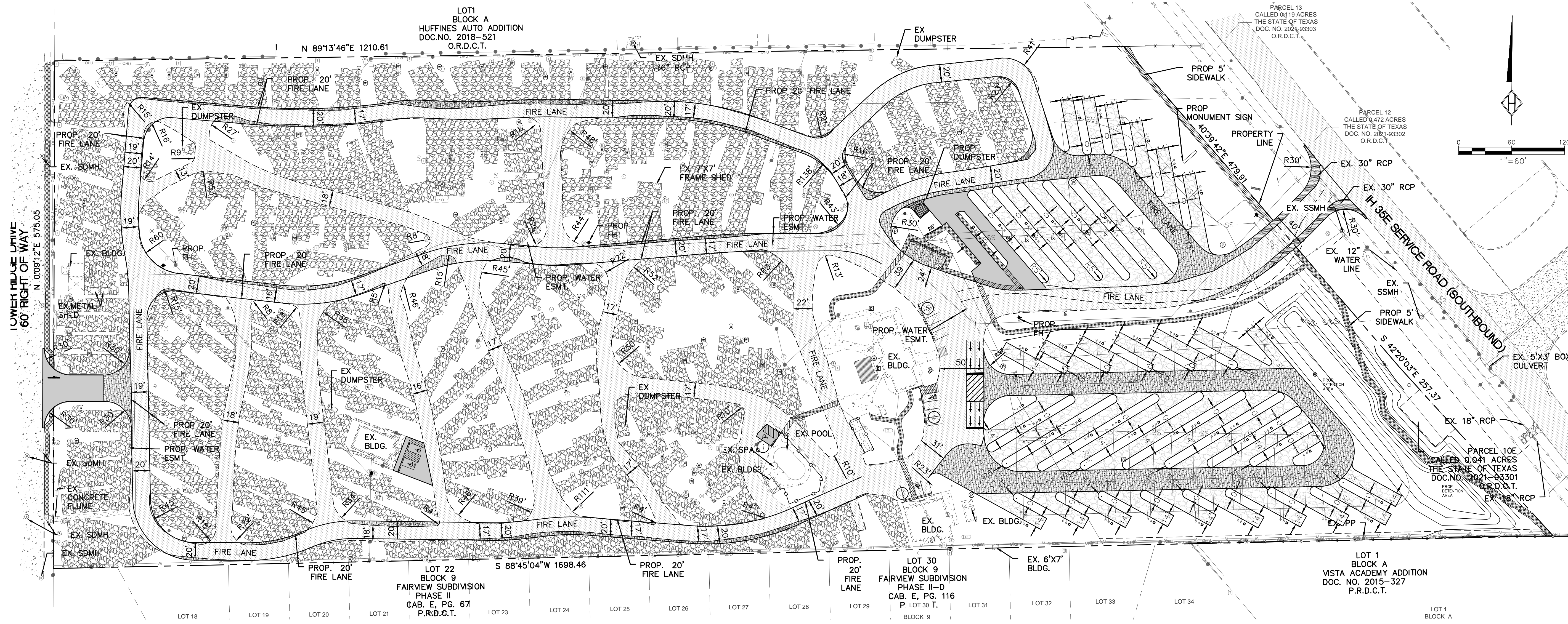


DESTINY DALLAS
LOTS 1 & 2, BLOCK 1
DALLAS KOA CAMPGROUND EDITION
18.98 ACRES
CITY OF CORINTH
DENTON COUNTY, TEXAS

PD CONCEPT
PLAN

DRAWN: SCD
DATE: 05/01/22
HEI #: 21-0702

SHEET NO:
C2



PAVEMENT LEGEND

- DUMPSTER PAVEMENT**
PROPOSED 8" 4,000 PSI CONCRETE AT 28 DAYS W/ #4 BARS @ 18" OCEW (DOUBLE MAT).
- HEAVY DUTY PAVEMENT DRIVE (AISLE)**
PROPOSED 8" 3,600 PSI CONC. @ 28 DAYS WITH #3 BARS @ 18" O.C.E.W.
- ASPHALT PAVEMENT**
PROPOSED 2" TY "D" HMAC OVER 2" TY "B" HMAC COMPACTED TO AN OPTIMUM DENSITY OF 96% PER LIFT IN ACCORDANCE WITH TXDOT ITEM 340. THE HMAC SHALL BE INSTALLED ON 6" OF COMPACTED FLEXIBLE BASE (MINIMUM 95% STANDARD PROCTOR DENSITY) IN ACCORDANCE WITH TXDOT ITEM 247.
- GRAVEL PAVEMENT**
PROPOSED 2" WASHED STONE. THE WASHED STONE SHALL BE INSTALLED ON 6" COMPACTED FLEXIBLE BASE (MINIMUM 95% STANDARD PROCTOR DENSITY) IN ACCORDANCE WITH TXDOT ITEM 247.
- SIDEWALK PAVEMENT**
PROPOSED 4" 3,000 PSI CONC. @ 28 DAYS WITH #3 BARS @ 18" O.C.E.W.
- EXISTING ASPHALT**

PAVEMENT NOTES:

1. ALL PAVEMENT SUBGRADE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 6" AND COMPACTED TO A MINIMUM 95% STANDARD PROCTOR DENSITY AT OR ABOVE OPTIMUM MOISTURE.
2. CONNECT PROPOSED ASPHALT PAVEMENT TO EXISTING ASPHALT PAVEMENT USING A SMOOTH SAWCUT W/TACK COAT.

LEGEND

- I.R.F.** IRON ROD FOUND
- I.R.S.** IRON ROD SET
- "X"** CUT X IN CONCRETE
- F.C.P.** FENCE CORNER POST
- ASPHALT
- TELEPHONE MANHOLE
- POWER POLE
- LIGHT POLE
- WATER VALVE
- SANITARY SEWER MANHOLE
- FIRE HYDRANT
- WATER METER

ITE TRIP GENERATION CALCULATIONS

PROPOSED LAND USE	ITE CODE	QUANTITY	UNIT OF MEASURE	WEEKDAY	AM			PM		
					TOTAL	ENTER	EXIT	TOTAL	ENTER	EXIT
CAMPGROUND/RECREATIONAL VEHICLE PARK	416	220	OCCUPIED CAMP SITE	NA	Ln(T)=0.81Ln(X)-0.50	36%	64%	T=0.41(X)	62%	38%
				NA	48	18	30	90	56	34

SOURCE: 10th EDITION, I.T.E. TRIP GENERATION MANUAL

SITE NOTES:

1. THE EXISTING PHASE OF DESTINY RV SHALL BE ALLOWED TO REMAIN AS IS.
2. DEVELOPER SHALL INSTALL A 5 FOOT SIDEWALK IN TOWER RIDGE ROW. EXISTING DRAINAGE STRUCTURES, UTILITIES, AND RETAINING WALL SHALL REMAIN AND FLEXIBILITY WILL BE ALLOWED TO ACHIEVE A FIVE (5) FOOT SW WHERE POSSIBLE.
3. EMERGENCY ACCESS TO TOWER RIDGE ONLY. KNOX LOCK TO BE INSTALLED PER FIRE DEPARTMENT REQUIREMENTS.
4. DEVELOPER SHALL INSTALL DECELERATION LANE AFTER TXDOT IS COMPLETE WITH THE EXPANSION OF IH35E IF THE DECELERATION LANE IS APPROVED BY TXDOT.
5. THE SIDEWALK ALONG IH35E SHALL BE LOCATED IN A PEDESTRIAN/SIDEWALK EASEMENT ON DESTINY RV PROPERTY AND INSTALLED AT THE TIME OF DESTINY RV RESORT EXPANSION.
6. ADDITIONAL ASPHALT AREAS HAVE BEEN IDENTIFIED ON THE PLAN TO INCREASE THE FIRE LANE WIDTH/ACCESSIBILITY.

OWNER
Dallas RV, LLC
470 E. Herndon
Fresno, California 93720
Contact: Brett Fugman
Phon: 559-905-6151

ENGINEER
Homeyer Engineering, Inc.
P.O. Box 294527
Lewisville, Texas 75029
Contact: Steven R. Homeyer, PE
Phone: 972-906-9985

SURVEYOR
Eagle Surveying, LLC
210 S. Elm Street, Suite 104
Denton, Texas 76201
Contact: Mason Decker
Phone: 940-222-3009

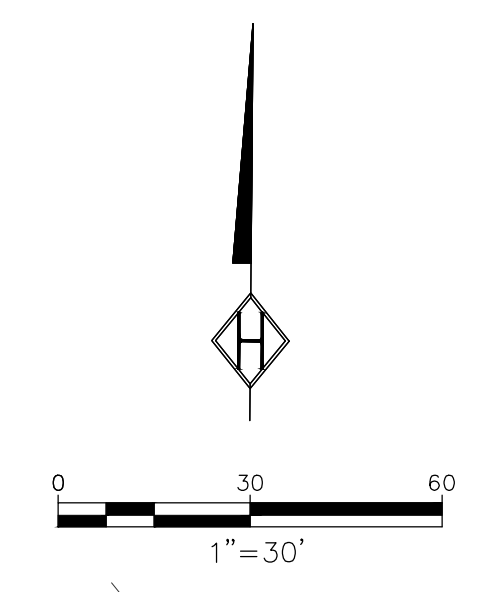
PRELIMINARY PLANS
THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.
STEVEN R. HOMEYER, PE # 86942
DATE: 02/14/2023

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DOC. NO. 2021-93302
O.R.D.C.T.

PARCEL 12
CALLED 0.472 ACRES
THE STATE OF TEXAS
DOC. NO. 2021-93302
O.R.D.C.T.

IH 35E SERVICE ROAD (SOUTHBOUND)



PAVEMENT LEGEND

-  **DUMPSTER PAVEMENT**
PROPOSED 8" 4,000 PSI CONCRETE AT 28 DAYS
W/ #4 BARS @ 18" OCEW (DOUBLE MAT).
-  **HEAVY DUTY PAVEMENT DRIVE AISLE**
PROPOSED 8" 3,600 PSI CONC. @ 28 DAYS WITH
#3 BARS @ 18" O.C.E.W.
-  **ASPHALT PAVEMENT**
PROPOSED 2" TY "D" HMAC OVER 2" TY "B" HMAC
COMPACTED TO AN OPTIMUM DENSITY OF 96% PER
LIFT IN ACCORDANCE WITH TXDOT ITEM 340. THE
HMAC SHALL BE INSTALLED ON 6" OF COMPACTED
FLEXIBLE BASE (MINIMUM 95% STANDARD PROCTOR
DENSITY) IN ACCORDANCE WITH TXDOT ITEM 247.
-  **GRAVEL PAVEMENT**
PROPOSED 2" WASHED STONE. THE WASHED STONE
SHALL BE INSTALLED ON 6" COMPACTED FLEXIBLE
BASE (MINIMUM 95% STANDARD PROCTOR
DENSITY) IN ACCORDANCE WITH TXDOT ITEM 247.
-  **SIDEWALK PAVEMENT**
PROPOSED 4" 3,000 PSI CONC. @ 28 DAYS WITH
#3 BARS @ 18" O.C.E.W.
-  **EXISTING ASPHALT**

- PAVEMENT NOTES:**
1. ALL PAVEMENT SUBGRADE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 6" AND COMPACTED TO A MINIMUM 95% STANDARD PROCTOR DENSITY AT OR ABOVE OPTIMUM MOISTURE.
 2. CONNECT PROPOSED ASPHALT PAVEMENT TO EXISTING ASPHALT PAVEMENT USING A SMOOTH SAWCUT W/TACK COAT.

LEGEND

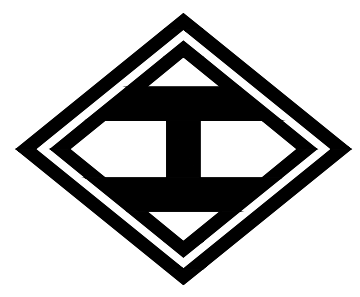
- I.R.F.* IRON ROD FOUND
- I.R.S.* IRON ROD SET
- "X" CUT X IN CONCRETE
- F.C.P.* FENCE CORNER POST
- ASPHALT
- ⊙ TELEPHONE MANHOLE
- ⊘ POWER POLE
- ⊙ LIGHT POLE
- ⊗ WATER VALVE
- ⊙^{SSMH} SANITARY SEWER MANHOLE
- FIRE HYDRANT
- ⊗ WM WATER METER

EXHIBIT C
PAGE: 2 OF 6

PRELIMINARY PLANS

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STEVEN R. HOMEYER, PE # 86942
DATE: 02/14/2023

HOMEYER
ENGINEERING, INC.
FIRM REGISTRATION NO. F-8440
TBPE BOX 294527 LEWISVILLE, TEXAS 75027
972-906-9985 PHONE 972-906-9987 FAX
WWW.HEI.US.COM



DESTINY DALLAS
LOTS 1 & 2, BLOCK 1
DALLAS KOA CAMPGROUND EDITION
18.98 ACRES
CITY OF CORINTH
DENTON COUNTY, TEXAS

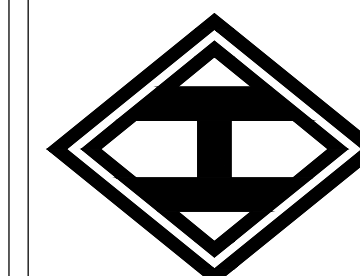
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PLAN EAST

DRAWN: SCD
DATE: 05/01/22
HEI #: 21-0702

SHEET NO:
C2.1

SEE SHEET C2.2

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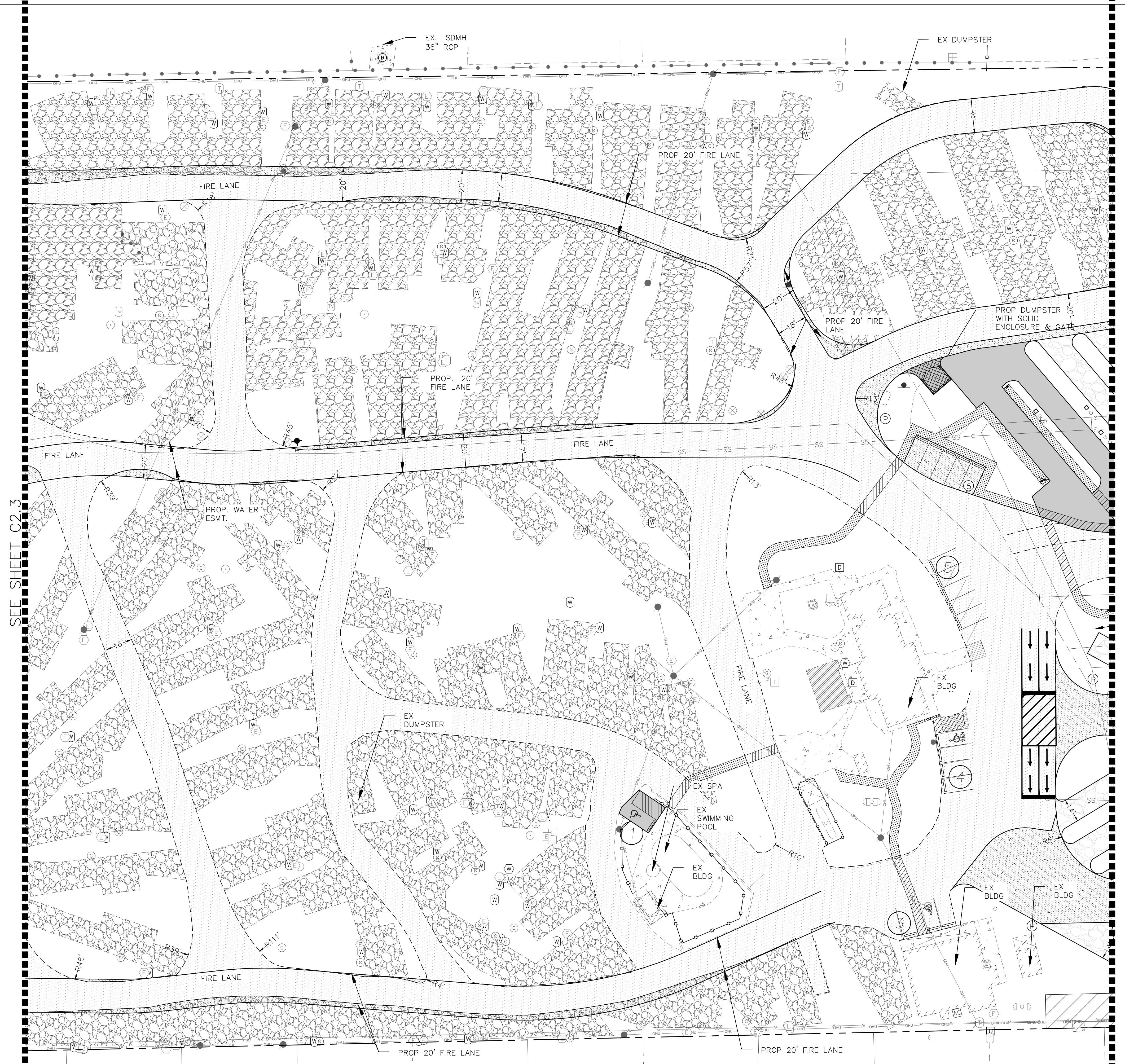


DESTINY DALLAS
LOTS 1 & 2, BLOCK 1
DALLAS KOA CAMPGROUND EDITION
18.98 ACRES
CITY OF CORINTH
DENTON COUNTY, TEXAS

PD CONCEPT
PLAN CENTER

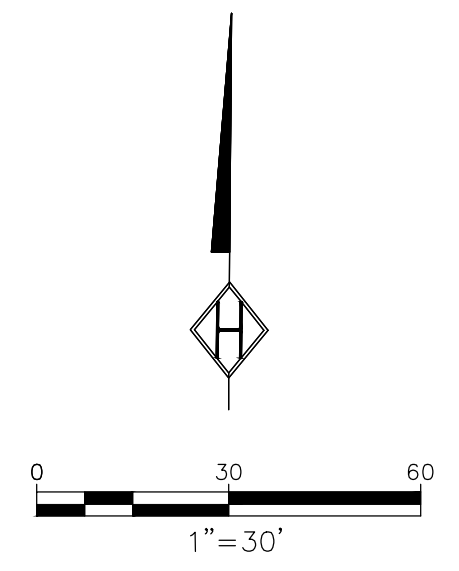
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SEE SHEET C2.1

SEE SHEET C2.3



LEGEND	
I.R.F.	IRON ROD FOUND
I.R.S.	IRON ROD SET
"X"	CUT X IN CONCRETE
F.C.P.	FENCE CORNER POST
---	ASPHALT
⊕	TELEPHONE MANHOLE
⊘	POWER POLE
⊙	LIGHT POLE
⊗	WATER VALVE
⊙ SSMH	SANITARY SEWER MANHOLE
●	FIRE HYDRANT
⊗ WM	WATER METER

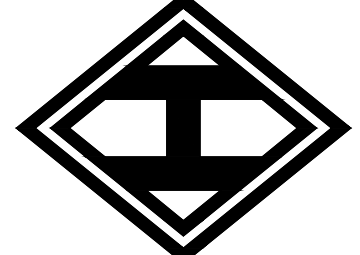
PAVEMENT LEGEND	
	DUMPSTER PAVEMENT PROPOSED 8" 4,000 PSI CONCRETE AT 28 DAYS W/ #4 BARS @ 18" OCEW (DOUBLE MAT).
	HEAVY DUTY PAVEMENT (DRIVE AISLE) PROPOSED 8" 3,600 PSI CONC. @ 28 DAYS WITH #3 BARS @ 18" O.C.E.W.
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	GRAVEL PAVEMENT PROPOSED 2" WASHED STONE. THE WASHED STONE SHALL BE INSTALLED ON 6" COMPACTED FLEXIBLE BASE (MINIMUM 95% STANDARD PROCTOR DENSITY) IN ACCORDANCE WITH TXDOT ITEM 247.
	SIDEWALK PAVEMENT PROPOSED 4" 3,000 PSI CONC. @ 28 DAYS WITH #3 BARS @ 18" O.C.E.W.
	EXISTING ASPHALT

- PAVEMENT NOTES:**
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EXHIBIT C
PAGE: 3 OF 6

PRELIMINARY PLANS
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STEVEN R. HOMEYER, PE # 86942
DATE: 02/14/2023

HOMEYER
ENGINEERING, INC.
TBPE FIRM REGISTRATION NO. F-8440
P. O. BOX 294527 LEWISVILLE, TEXAS 75027
972-906-9985 PHONE 972-906-9987 FAX
WWW.HEI.US.COM



DESTINY DALLAS
LOTS 1 & 2, BLOCK 1
DALLAS KOA CAMPGROUND EDITION
18.98 ACRES
CITY OF CORINTH
DENTON COUNTY, TEXAS

PD CONCEPT
PLAN WEST

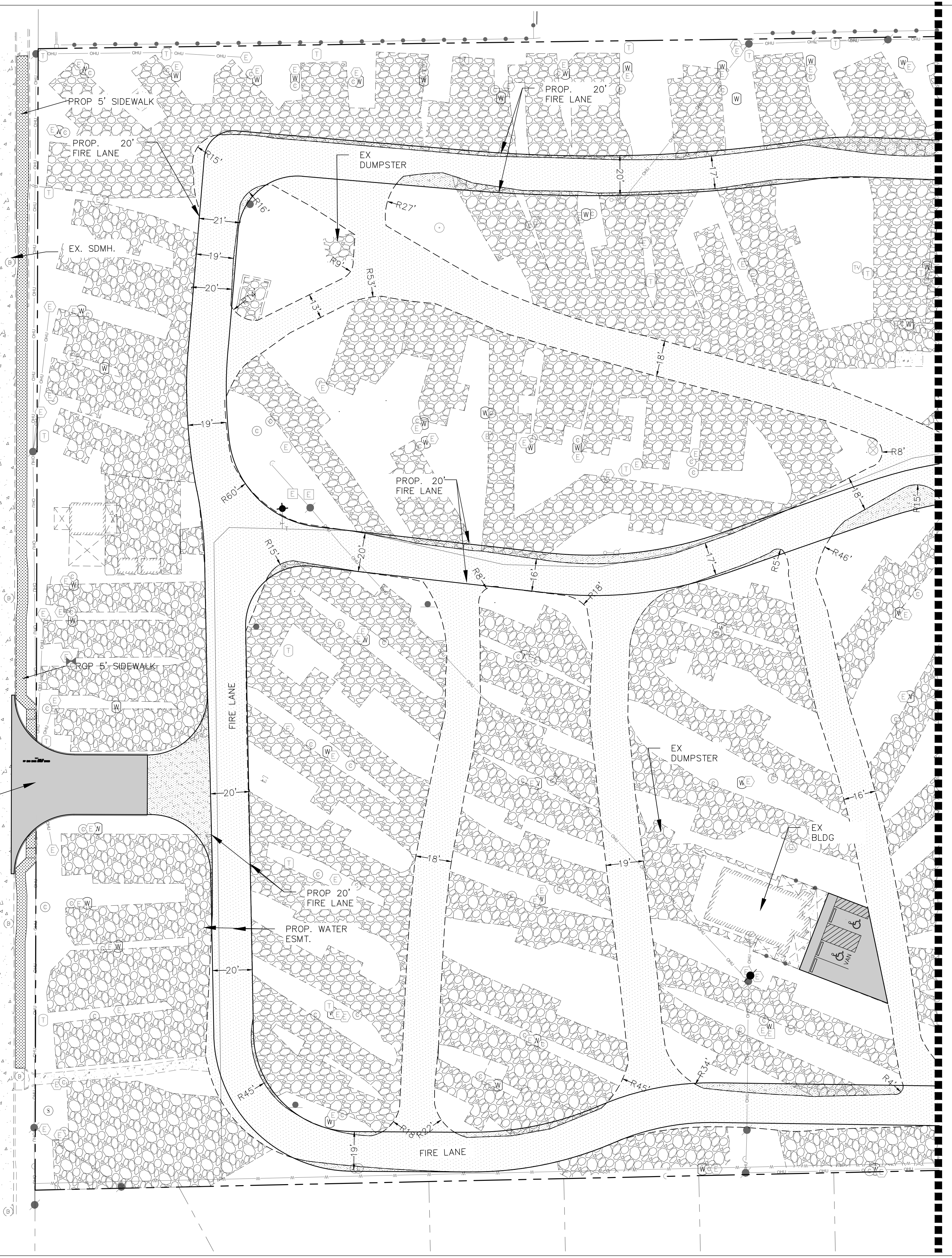
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DATE: 05/01/22
HEI #: 21-0702

SHEET NO:
C2.3

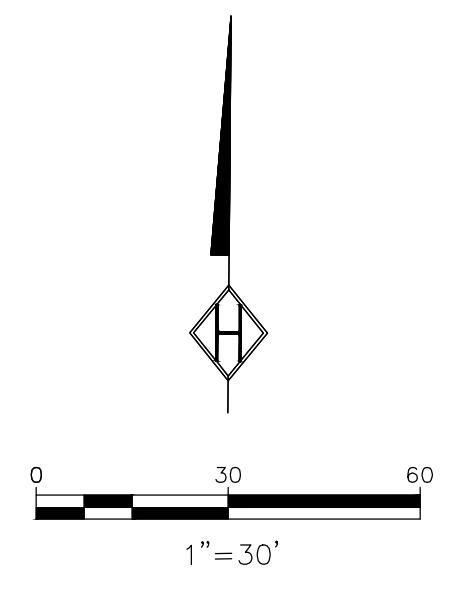
TOWER RIDGE DRIVE
60' RIGHT OF WAY

TOWER RIDGE DRIVE
60' RIGHT-OF-WAY

GATED EMERGENCY ACCESS ONLY



SEE SHEET C2.2



LEGEND	
I.R.F.	IRON ROD FOUND
I.R.S.	IRON ROD SET
"X"	CUT X IN CONCRETE
F.C.P.	FENCE CORNER POST
---	ASPHALT
⊙	TELEPHONE MANHOLE
⊘	POWER POLE
⊙	LIGHT POLE
⊗	WATER VALVE
⊙ SSMH	SANITARY SEWER MANHOLE
●	FIRE HYDRANT
⊗ WM	WATER METER

PAVEMENT LEGEND	
	DUMPSTER PAVEMENT PROPOSED 8" 4,000 PSI CONCRETE AT 28 DAYS W/ #4 BARS @ 18" OCEW (DOUBLE MAT).
	HEAVY DUTY PAVEMENT DRIVE AISLE PROPOSED 8" 3,600 PSI CONC. @ 28 DAYS WITH #3 BARS @ 18" O.C.E.W.
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	EXISTING ASPHALT

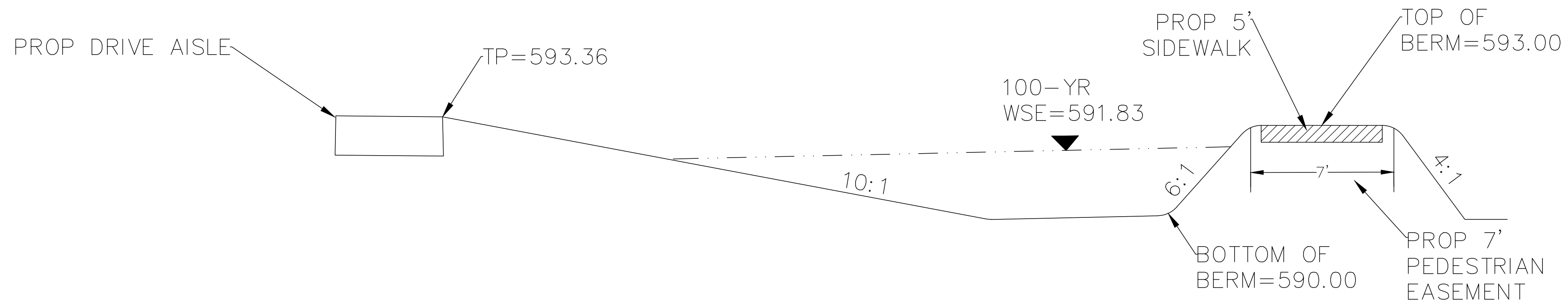
PAVEMENT NOTES:

- ALL PAVEMENT SUBGRADE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 6" AND COMPACTED TO A MINIMUM 95% STANDARD PROCTOR DENSITY AT OR ABOVE OPTIMUM MOISTURE.
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EXHIBIT C
PAGE: 4 OF 6

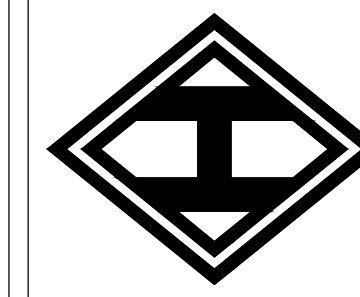
PRELIMINARY PLANS
THIS DOCUMENT IS FOR INTERIM
REVIEW AND IS NOT INTENDED FOR
CONSTRUCTION, BIDDING OR PERMIT
PURPOSES.
STEVEN R. HOMEYER, PE # 86942
DATE: 02/14/2023

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SECTION A-A
N.T.S

HOMEYER
ENGINEERING, INC.
TBP# FIRM REGISTRATION NO. F-8440
P.O. BOX 294527 LEWISVILLE, TEXAS 7502
972-906-9985 PHONE 972-906-9987 FAX
WWW.HEI.US.COM



DESTINY DALLAS
LOTS 1 & 2, BLOCK 1
DALLAS KOA CAMPGROUND EDITION
18.98 ACRES
CITY OF CORINTH
DENTON COUNTY, TEXAS

PD CONCEPT
PLAN

EXHIBIT C
PAGE: 6 OF 6

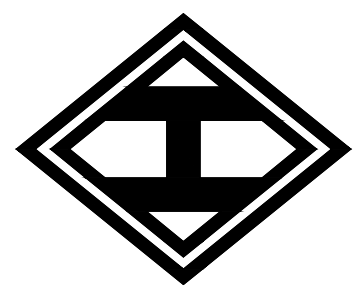
PRELIMINARY PLANS
THIS DOCUMENT IS FOR INTERIM
REVIEW AND IS NOT INTENDED FOR
CONSTRUCTION, BIDDING OR PERMIT
PURPOSES.
STEVEN R. HOMEYER, PE # 86942
DATE: 12/07/2022

DRAWN: SCD
DATE: 05/01/22
HEI #: 21-0702

SHEET NO:
C2.5

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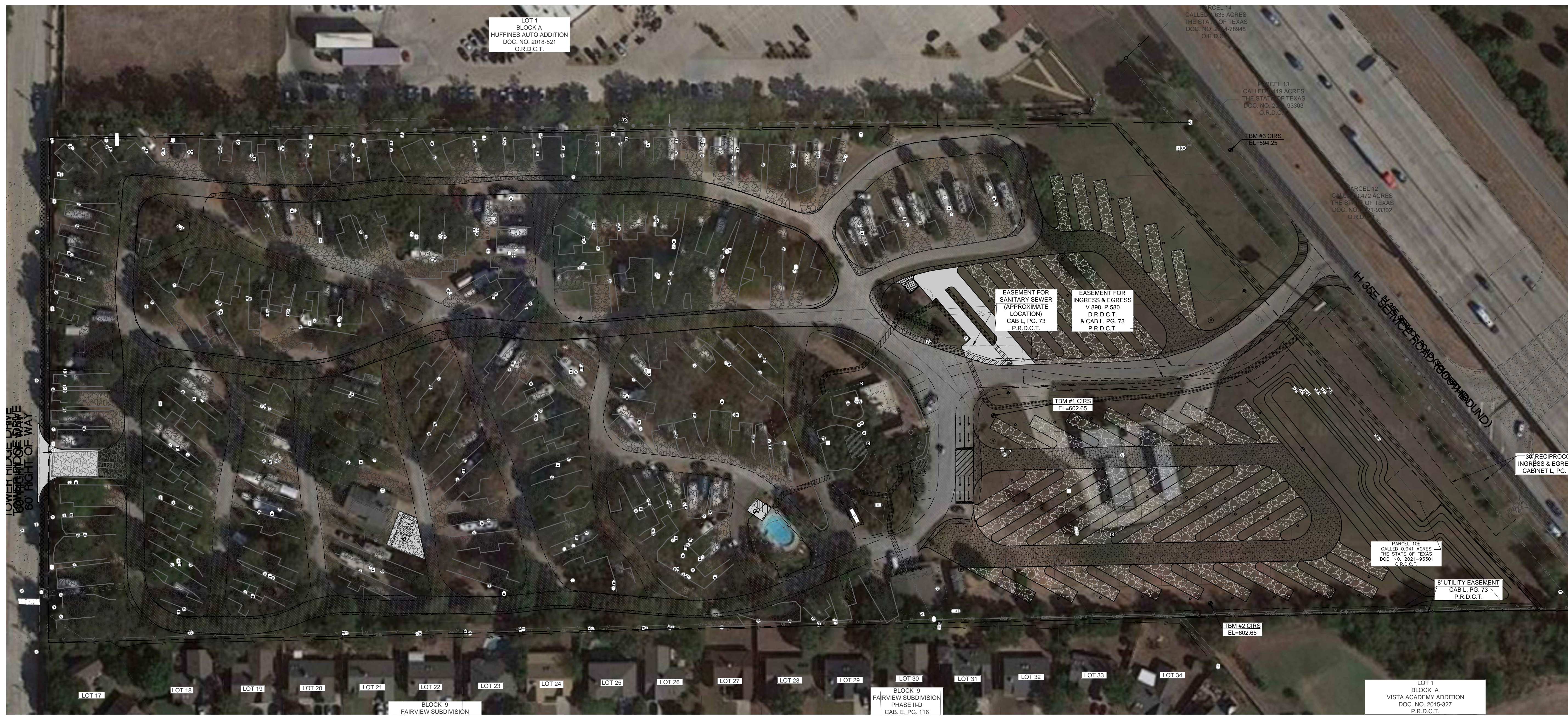
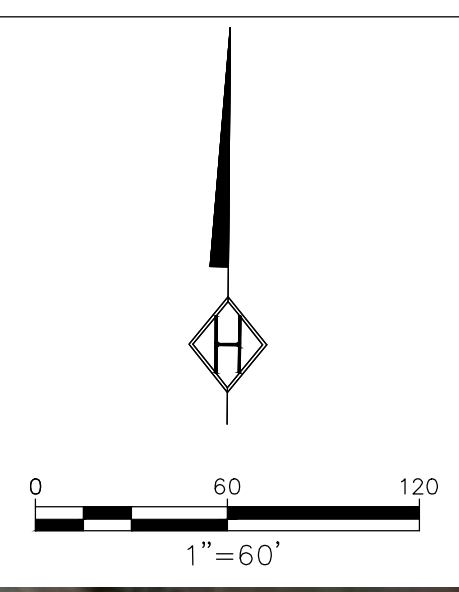
HOMEYER
ENGINEERING, INC.
T.B.P.E. FIRM REGISTRATION NO. F-8440
P.O. BOX 294527 LEWISVILLE, TEXAS 75029
972-906-9985 PHONE 972-906-9987 FAX
WWW.HEI.US.COM



DESTINY DALLAS
LOTS 1 & 2, BLOCK 1
DALLAS KOA CAMPGROUND EDITION
18.98 ACRES
CITY OF CORINTH
DENTON COUNTY, TEXAS

CONCEPT PLAN
OVERLAY WITH
AERIAL

DRAWN: SCD
DATE: 05/01/22
HEI #: 21-0702
SHEET NO:
C4



LEGEND

I.R.F.	IRON ROD FOUND	⊗	POWER POLE
I.R.S.	IRON ROD SET	⊙	LIGHT POLE
"X"	CUT X IN CONCRETE	⊗	WATER VALVE
F.C.P.	FENCE CORNER POST	⊙SSMH	SANITARY SEWER MANHOLE
---	ASPHALT	⊙	FIRE HYDRANT
⊙	TELEPHONE MANHOLE	⊗WM	WATER METER

OWNER
Dallas RV., LLC
470 E. Herndon
Fresno, California 93720
Contact: Brett Fugman
Phon: 559-905-6151

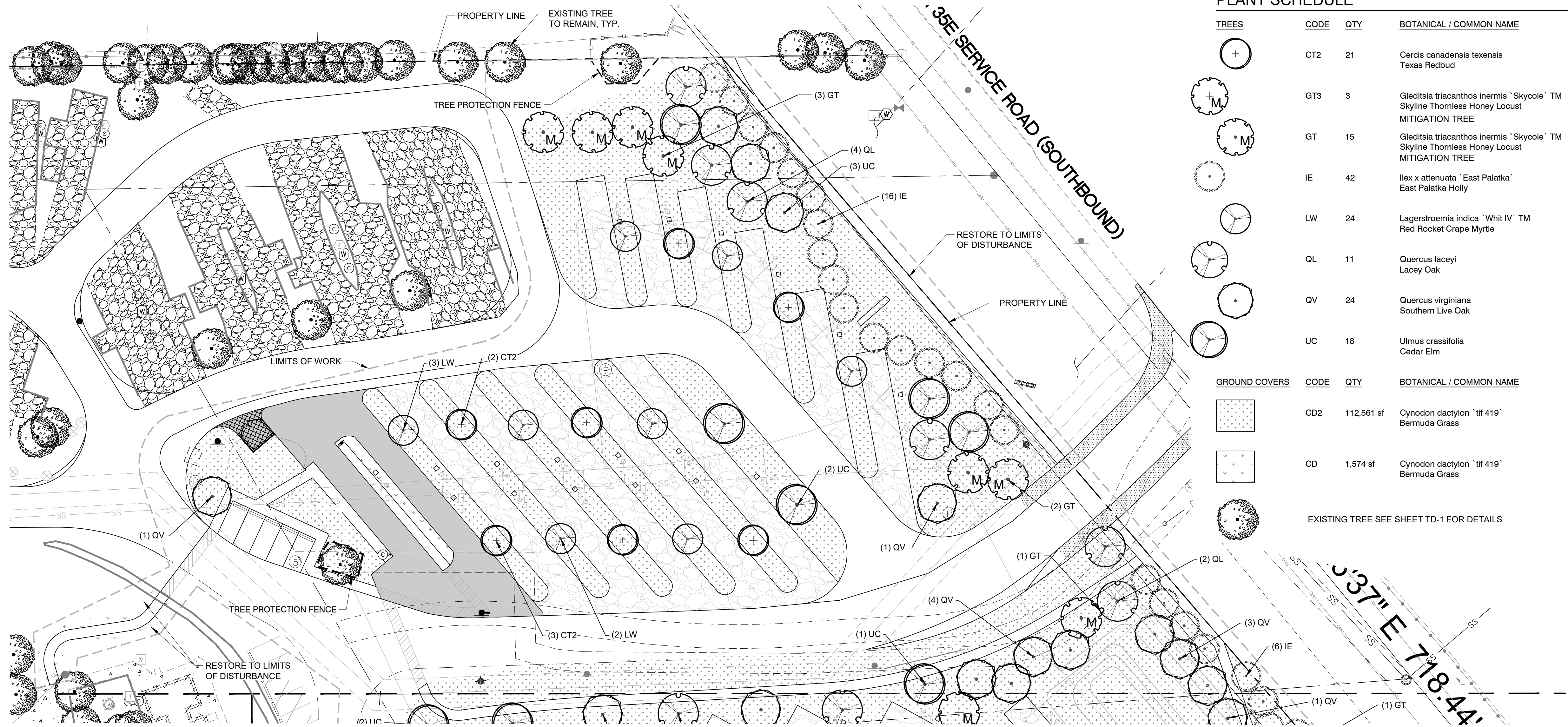
ENGINEER
Homeyer Engineering, Inc.
P.O. Box 294527
Lewisville, Texas 75029
Contact: Steven R. Homeyer, PE
Phone: 972-906-9985

SURVEYOR
Eagle Surveying, LLC
210 S. Elm Street, Suite 104
Denton, Texas 76201
Contact: Mason Decker
Phone: 940-222-3009

EXHIBIT D

PRELIMINARY PLANS
THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.
STEVEN R. HOMEYER, PE # 86942
DATE: 11/14/2022

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PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
	CT2	21	Cercis canadensis texensis Texas Redbud	2" Cal.	Cont. or B&B	7' Min.
	GT3	3	Gleditsia triacanthos inermis 'Skycole' TM Skyline Thornless Honey Locust MITIGATION TREE	3" Cal.	Cont. or B&B	12' -14'
	GT	15	Gleditsia triacanthos inermis 'Skycole' TM Skyline Thornless Honey Locust MITIGATION TREE	4" Cal.	Cont. or B&B	14' Min.
	IE	42	Ilex x attenuata 'East Palatka' East Palatka Holly	2" Cal.	Cont.	8' HT MIN
	LW	24	Lagerstroemia indica 'Whit IV' TM Red Rocket Crape Myrtle	3-5 CANES, 2.5" OVERALL	Cont.	8' HT MIN
	QL	11	Quercus laceyi Lacey Oak	3" Cal.	Cont. or B&B	12' -14' HT
	QV	24	Quercus virginiana Southern Live Oak	3" Cal.	Cont. or B&B	12' -14' HT
	UC	18	Ulmus crassifolia Cedar Elm	3" Cal.	Cont. or B&B	12' -14' HT

GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	SIZE
	CD2	112,561 sf	Cynodon dactylon 'tif 419' Bermuda Grass	Hydromulch		
	CD	1,574 sf	Cynodon dactylon 'tif 419' Bermuda Grass	Sod		

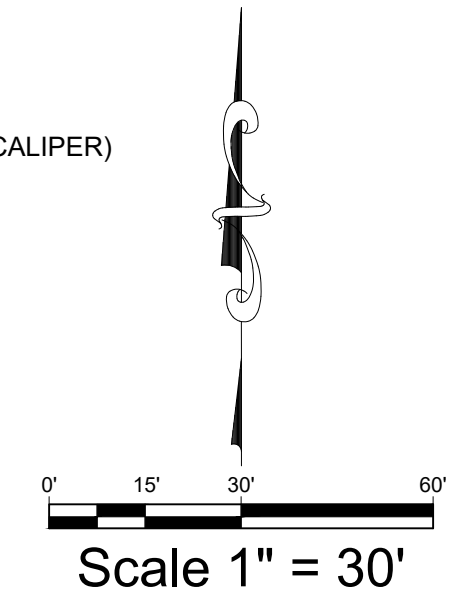
EXISTING TREE SEE SHEET TD-1 FOR DETAILS

MATCHLINE - SEE SHEET LP-2

LANDSCAPE CALCULATIONS

STREET TREES	
IH 35E SERVICE ROAD	737 LF
FRONTAGE LENGTH:	25 TREES (1 PER 30 LF OF FRONTAGE)
STREET TREES REQUIRED:	25 TREES
STREET TREES PROVIDED:	
PARKING LOT	5 PARKING SPACES
TREES REQUIRED:	1 TREES (1 PER 10 SPACES)
TREES PROVIDED:	1 TREES
SCREENING	
LENGTH:	207 LF
TREES REQUIRED:	8 TREES (1 PER 50 LF DOUBLE ROW)
TREES PROVIDED:	10 TREES
MITIGATION	
TREES REQUIRED:	69" (23 - 3" CALIPER)
TREES PROVIDED:	69" (15 - 4" CALIPER, 3 - 3" CALIPER)

- NOTES:**
- TREES AND SHRUBS MAY BE GROUPED BUT LINEAR FOOTAGE REQUIREMENTS QUANTITY SHALL NOT CHANGE.
 - LANDSCAPE PLANS ARE CONCEPTUAL AND FLEXIBILITY IN LOCATION/GROUPING PERMITTED DURING CONSTRUCTION.



ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

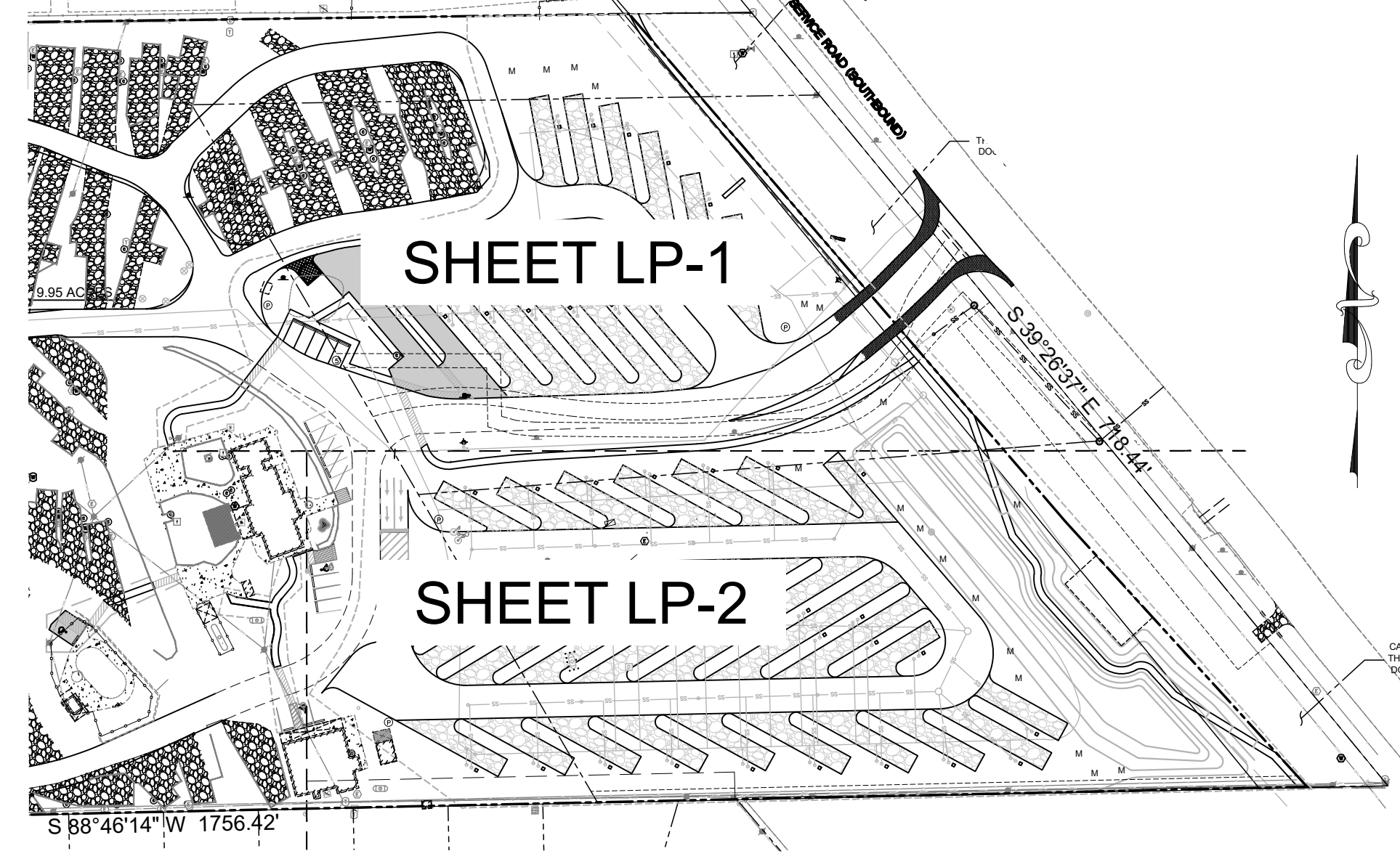
LANDSCAPE NOTES

- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY 12 STREET TREES REQUIRED, A LICENSED IRRIGATOR.
- THE CONTRACTOR SHALL VERIFY WATER RESTRICTIONS WITHIN THE CITY OF MCKINNEY AT TIME OF PLANTING. SHOULD WATER RESTRICTIONS NOT ALLOW HYDRO-MULCH, HYDRO-SEEDING, OR SPRIGGING (STAGE 3 AND STAGE 4 WATER RESTRICTIONS), AN APPROVED ALTERNATIVE FOR GRASSING SHALL BE INSTALLED.

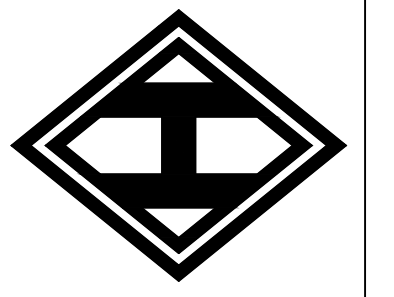
GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES, PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

SHEET KEY

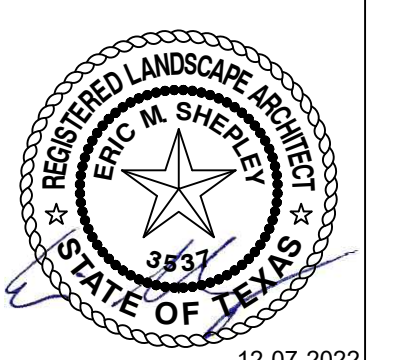


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DESTINY DALLAS - 2
 DALLAS KOA, BLOCK 1, LOT 1 & 2
 CAMPGROUND ADDITION
 5.89 ACRES
 CITY OF CORINTH
 DENTON COUNTY, TEXAS

CONCEPTUAL
 LANDSCAPE
 AND SCREENING PLAN



DRAWN: EMS
 DATE: 09/24/21
 HEI #: 21-0702

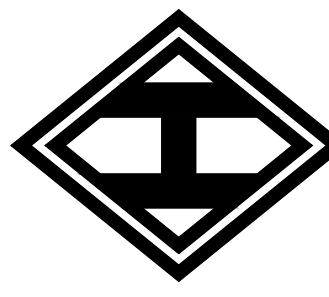
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LP-1



EXHIBIT E
 PAGE 1 OF 6

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DESTINY DALLAS - 2
 DALLAS KOA, BLOCK 1, LOT 1 & 2
 CAMPGROUND ADDITION
 5.89 ACRES
 CITY OF CORINTH
 DENTON COUNTY, TEXAS

LANDSCAPE
 PLANTING

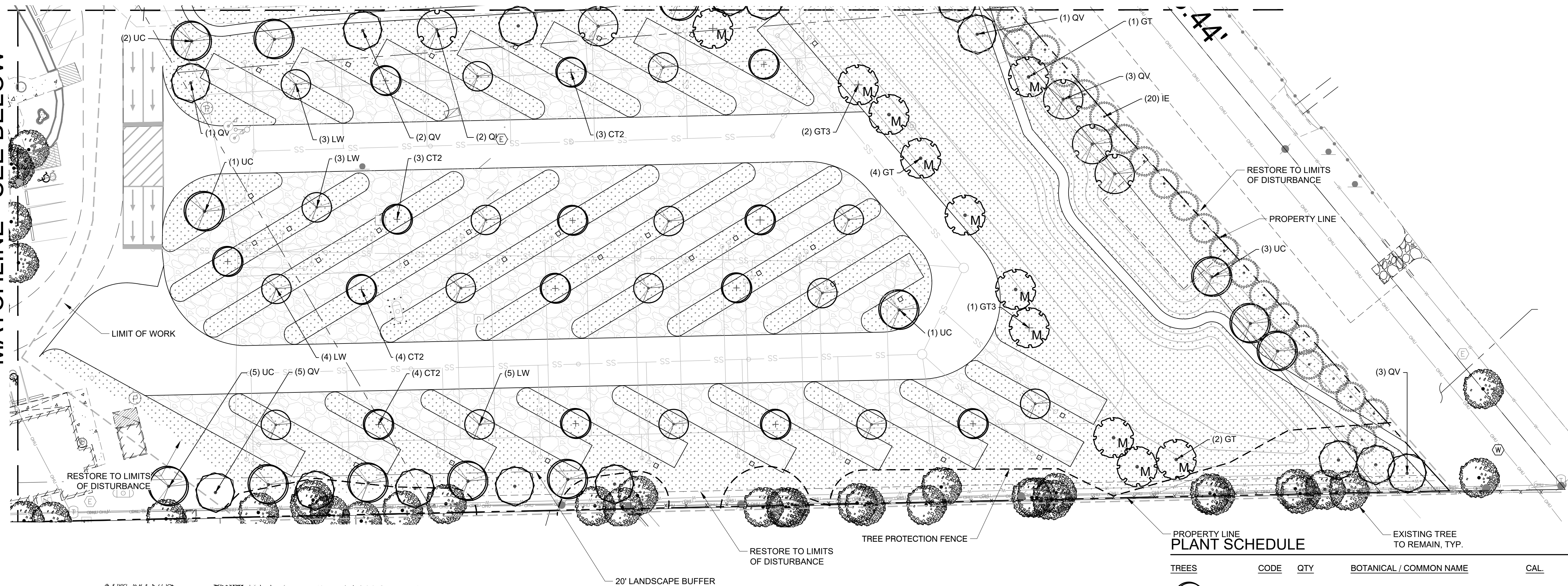


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 DATE: 09/24/21
 HEI #: 21-0702

SHEET NO:
LP-2

MATCHLINE - SEE SHEET LP-1

MATCHLINE - SEE BELOW

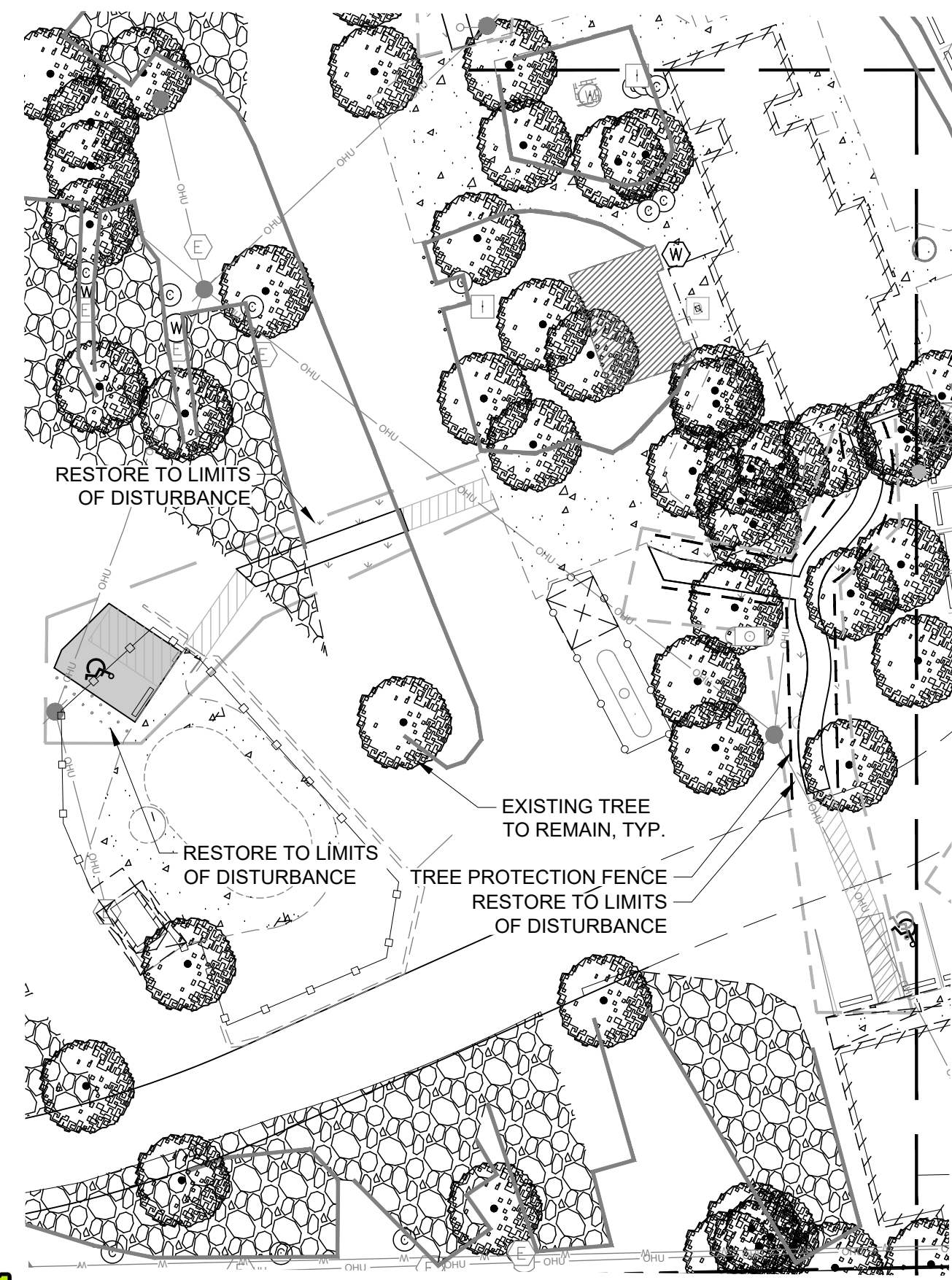
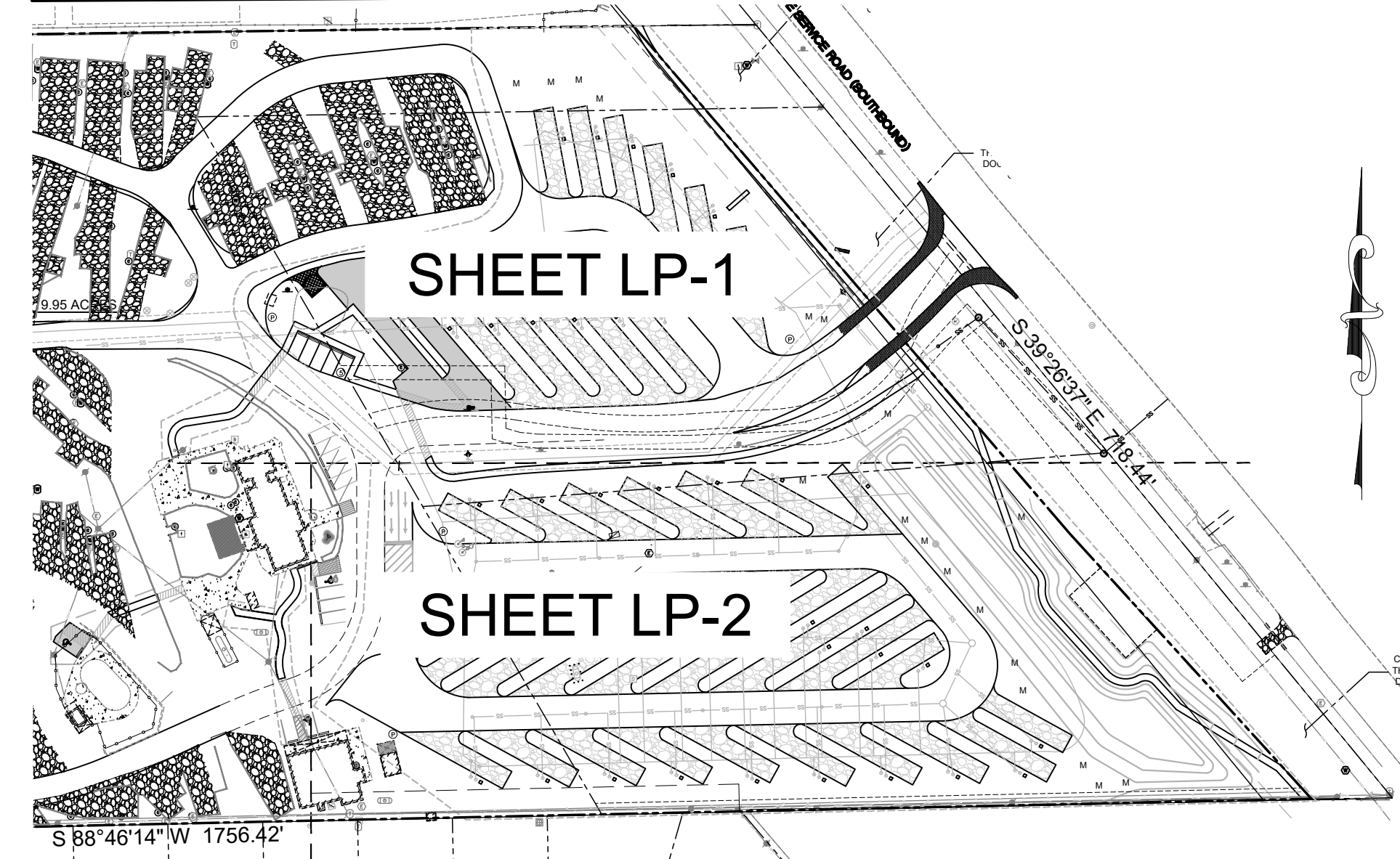


PROPERTY LINE
 PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
	CT2	21	Cercis canadensis texensis Texas Redbud	2' Cal.	Cont. or B&B	7' Min.
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	IE	42	Ilex x attenuata 'East Palatka' East Palatka Holly	2' Cal.	Cont.	8' HT MIN
	LW	24	Lagerstroemia indica 'Whit IV'™ Red Rocket Crape Myrtle	3-5 CANES, 2.5" OVERALL	Cont.	8' HT MIN
	QL	11	Quercus laceyi Lacey Oak	3' Cal.	Cont. or B&B	12' - 14' HT
	QV	24	Quercus virginiana Southern Live Oak	3' Cal.	Cont. or B&B	12' - 14' HT
	UC	18	Ulmus crassifolia Cedar Elm	3' Cal.	Cont. or B&B	12' - 14' HT
	CD2	112,561 sf	Cynodon dactylon 'tif 419' Bermuda Grass	Hydromulch		
	CD	1,574 sf	Cynodon dactylon 'tif 419' Bermuda Grass	Sod		

EXISTING TREE SEE SHEET TD-1 FOR DETAILS

SHEET KEY



MATCHLINE - SEE ABOVE



Scale 1" = 30'

EXHIBIT E
 PAGE 2 OF 6



PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF THE TEXAS STRUCTURAL PEST CONTROL BOARD.
4. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID CONTRACTOR'S LICENSE ISSUED BY THE APPROPRIATE LOCAL JURISDICTION.
B. SCOPE OF WORK
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES AND DETAILS.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
6. CALIPER MEASUREMENTS OF SINGLE TRUNK TREES SHALL BE AS FOLLOWS: 3/8" INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL, WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
D. SEED: PROVIDE BLEND OF SPECIES AND VARIETIES AS NOTED ON THE PLANS, WITH MAXIMUM PERCENTAGES OF PURITY, GERMINATION, AND MINIMUM PERCENTAGE OF WEED SEED AS INDICATED ON PLANS. EACH BAG OF SEED SHALL BE ACCOMPANIED BY A TAG FROM THE SUPPLIER INDICATING THE COMPOSITION OF THE SEED.
E. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
F. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 65 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
G. PLANTING MIX FOR POTS: AN EQUAL PART MIXTURE OF TOPSOIL, SAND AND COMPOST. INCORPORATE "GELSCAPE", AS MADE BY AMERCO, INC., (800) 832-8788, AT THE RATE OF 3 LB. PER CUBIC YARD OF PLANTING MIX.
H. FERTILIZER: GRANULAR FERTILIZER, CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
I. PALM MAINTENANCE SPIKES: AS MANUFACTURED BY THE LUTZ CORP., (800) 293-7740, OR APPROVED EQUAL.
J. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
K. TREE STAKING AND GUYING
1. STAKES: 6" LONG GREEN METAL T-POSTS.
2. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
4. STEEL EDGING: PROFESSIONAL STEEL EDGING, 1/4 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN, ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
L. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF AND WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

- A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
2. SOIL TESTING
a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR), AND BORON CONTENT.
b. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
c. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATION OF SOIL AMENDMENTS, SEPARATION OF PLANTS THAT HAVE SETTLED, MOVING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
3. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING.
i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
ii. PREPLANT TURF FERTILIZER (10/20/10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING.
i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
iv. IRON SULPHATE - 2 LBS. PER CU. YD.
5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH GRADE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
d. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH GRADE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

B. SUBMITTALS

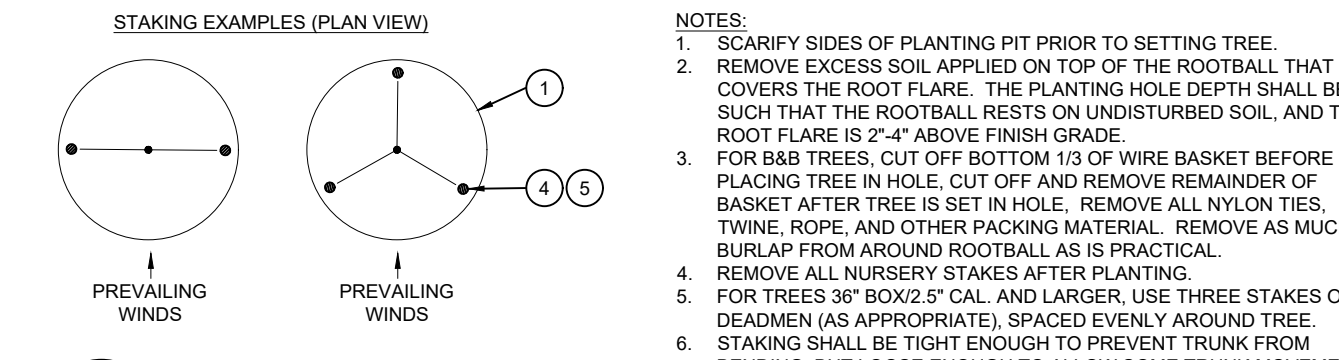
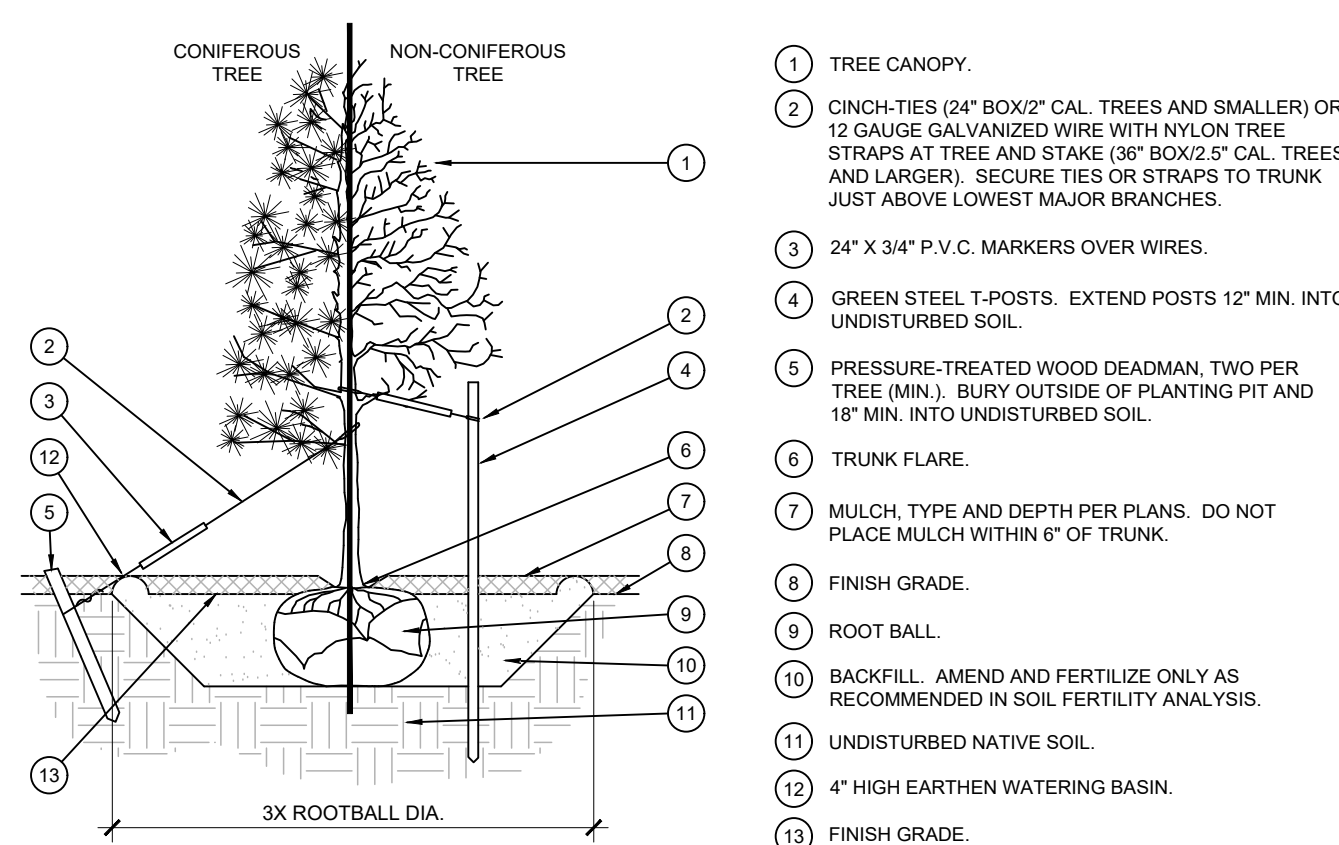
- 1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.

C. GENERAL PLANTING

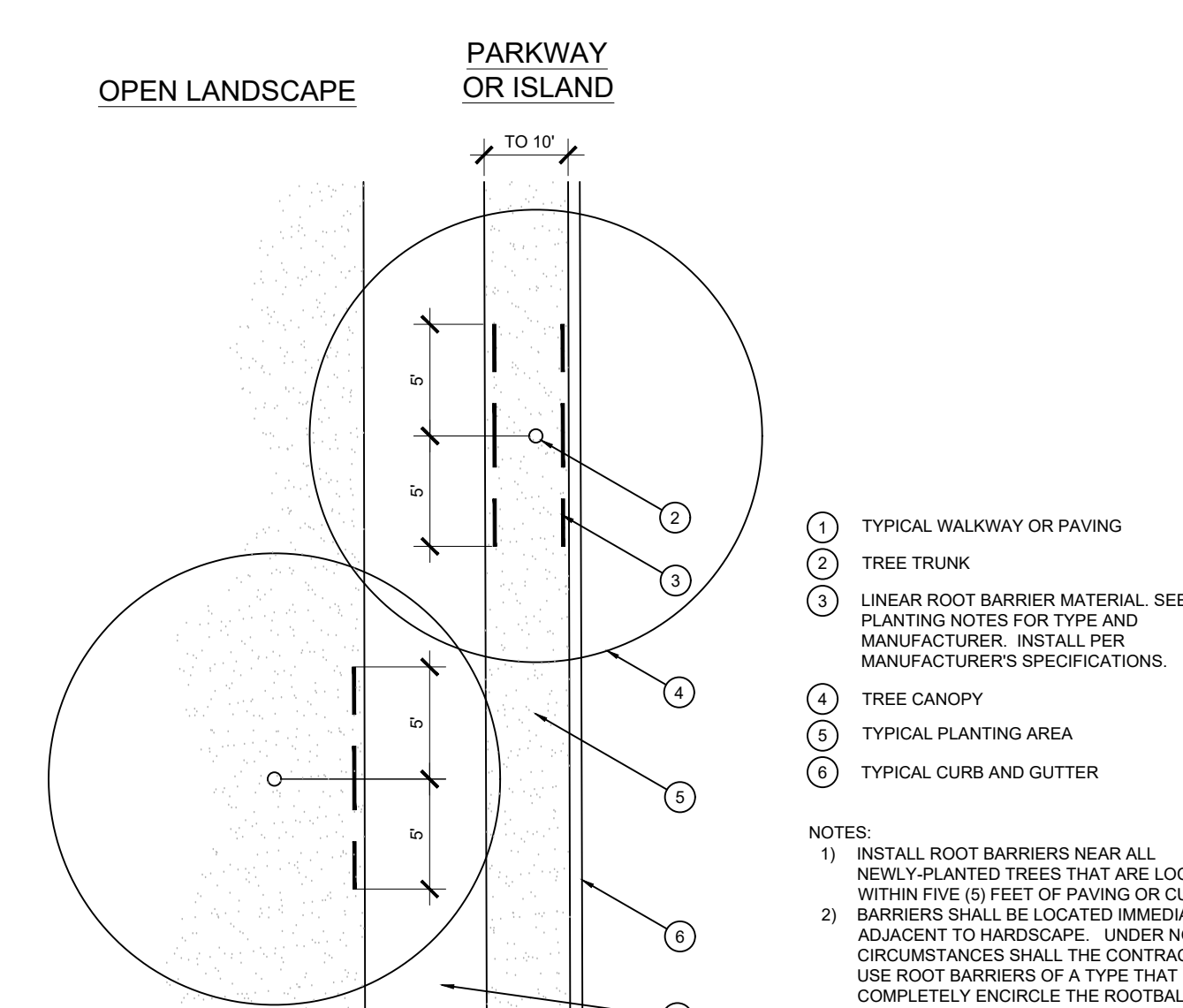
- 1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
3. TREENCHING NEAR EXISTING TREES
a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2' AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2' AND LARGER IN DIAMETER, WHERE TREE ROOTS 1-1/2' AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS, WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIPLINES WITHIN 24 HOURS.
d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

4. TREE PLANTING

- 1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
2. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
3. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
4. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
5. TREES OVER 4" CALIPER
a. TREES OVER 4" CALIPER SHALL BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
i. 1"-2" TREES: TWO STAKES PER TREE
ii. 2-1/2"-4" TREES: THREE STAKES PER TREE
iii. TREES OVER 4" CALIPER: GUY AS NEEDED
iv. MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
e. #15 CONT. - 24" BOX TREES: TWO STAKES PER TREE
f. 36" 48" BOX TREES: THREE STAKES PER TREE
g. OVER 48" BOX TREES: GUY AS NEEDED
h. MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
6. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPPRESS WITH MULCH (TYPE AND DEPTH PER PLANS).



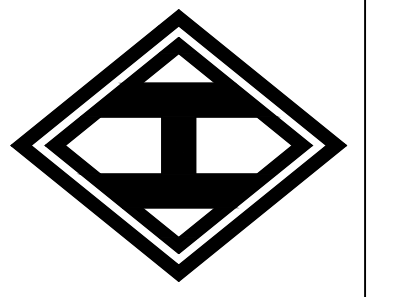
A. TREE PLANTING SCALE: NOT TO SCALE



B. ROOT BARRIER - PLAN VIEW SCALE: NOT TO SCALE

- NOTES:
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2" ABOVE FINISH GRADE.
3. FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
4. REMOVE ALL NURSERY STAKES AFTER PLANTING.
5. FOR TREES 36\"/>

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WWW.HEI.US.COM



DESTINY DALLAS - 2
DALLAS KOA, BLOCK 1, LOT 1 & 2
CAMPGROUND ADDITION
5.89 ACRES
CITY OF CORINTH
DENTON COUNTY, TEXAS

PLANTING
DETAILS &
SPECIFICATIONS



EXHIBIT E
PAGE 3 OF 6

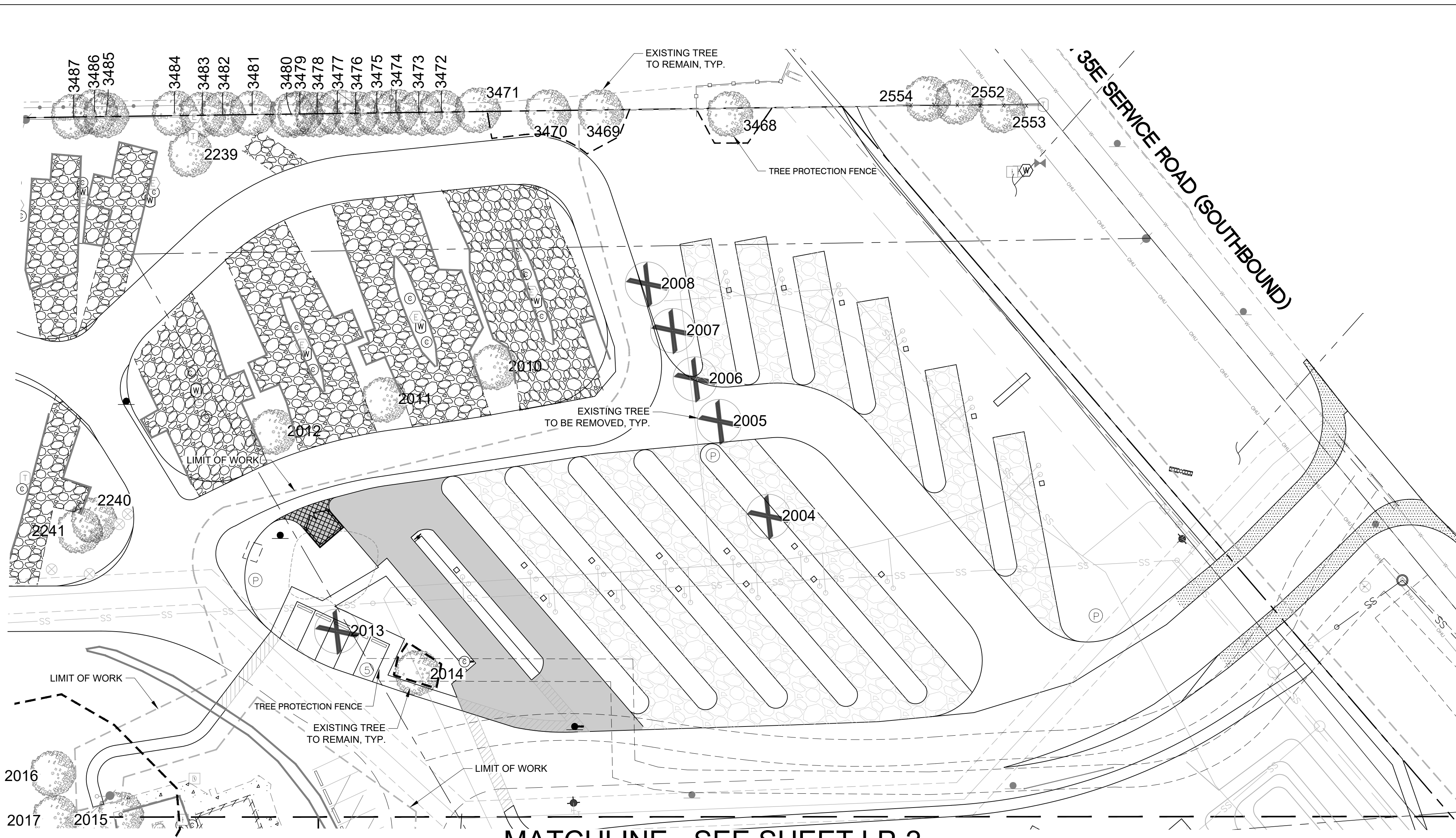


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DATE: 09/24/21
HEI #: 21-0702

SHEET NO:
LP-3

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MATCHLINE - SEE SHEET LP-2

NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.

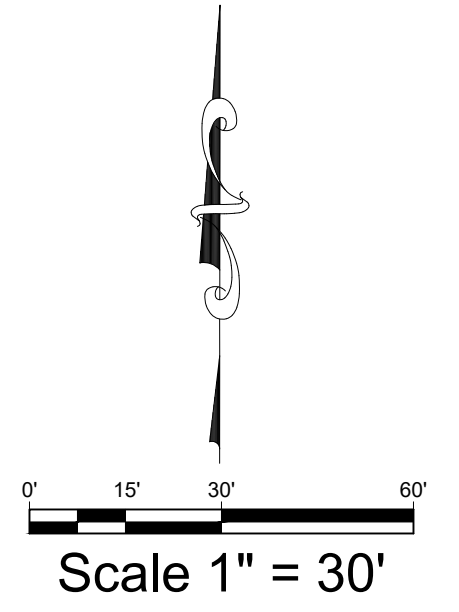
NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.

EXISTING TREE LEGEND

-  **EX. TREE TO REMAIN** 110
-  **EX. TREE TO BE REMOVED** 10

MITIGATION FOR REMOVAL OF EXISTING TREES

MITIGATION REQUIRED FOR REMOVAL OF 5 PROTECTED TREES: 69"
 PROPOSED TREE MITIGATION PROVIDED: 69"
 PLANTING OF 15 - 4" and 3 - 3" CANOPY TREES



TREE INVENTORY

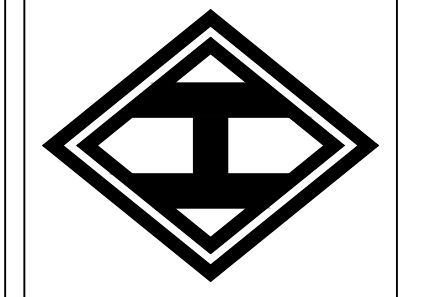
Tag #	Tree Type	Adj. DBH	Status	Tag #	Tree Type	Adj. DBH	Status
2001	Catalpa- Catalpa bignonioides	9	Remove	2046	Cedar Elm- Ulmus crassifolia	12	Remain
2002	Catalpa- Catalpa bignonioides	8	Remove	2047	Cedar Elm- Ulmus crassifolia	14	Remain
2003	Catalpa- Catalpa bignonioides	10	Remove	2048	Hackberry- Celtis occidentalis	23	Remain
2004	Mulberry- Morus alba	12	Remove	2049	Blackjack Oak- Quercus marilandica	21	Remain
2005	Mulberry- Morus alba	33	Remove	2050	Post Oak- Quercus stellata	25	Remain
2006	Mulberry- Morus alba	24	Remove	2051	Post Oak- Quercus stellata	9	Remain
2007	Mulberry- Morus alba	25	Remove	2052	Post Oak- Quercus stellata	15	Remain
2008	Maple- Acer saccharinum	28	Remove	2053	Post Oak- Quercus stellata	25	Remain
2010	Chaste tree- Vitex agnes castor	20	Remain	2054	Post Oak- Quercus stellata	16	Remain
2011	Chaste tree- Vitex agnes castor	18	Remain	2055	Post Oak- Quercus stellata	28	Remain
2012	Chaste tree- Vitex agnes castor	22	Remain	2056	Cedar Elm- Ulmus crassifolia	19	Remain
2013	Maple- Acer saccharinum	14	Remove	2057	Cedar Elm- Ulmus crassifolia	10	Remain
2014	Chinese Pistache- Pistacia chinensis	7	Remain	2058	Post Oak- Quercus stellata	25	Remain
2015	Post Oak- Quercus stellata	25	Remain	2059	Post Oak- Quercus stellata	26	Remain
2016	Post Oak- Quercus stellata	33	Remain	2239	Cedar- Juniperus virginiana	19	Remain
2017	Post Oak- Quercus stellata	18	Remain	2240	American Elm- Ulmus americana	22	Remain
2018	Post Oak- Quercus stellata	18	Remain	2241	Blackjack Oak- Quercus marilandica	23	Remain
2019	Post Oak- Quercus stellata	14	Remain	2427	Cedar Elm- Ulmus crassifolia	14	Remain
2020	Post Oak- Quercus stellata	14	Remain	2428	Cedar Elm- Ulmus crassifolia	12	Remain
2021	Post Oak- Quercus stellata	13	Remain	2429	Cedar Elm- Ulmus crassifolia	14	Remain
2022	Post Oak- Quercus stellata	20	Remain	2430	Cedar Elm- Ulmus crassifolia	24	Remain
2023	Post Oak- Quercus stellata	15	Remain	2431	Cedar Elm- Ulmus crassifolia	18	Remain
2024	Post Oak- Quercus stellata	27	Remain	2432	Cedar Elm- Ulmus crassifolia	20	Remain
2025	Post Oak- Quercus stellata	19	Remain	2433	Cedar Elm- Ulmus crassifolia	18	Remain
2027	Post Oak- Quercus stellata	12	Remain	2434	Cedar Elm- Ulmus crassifolia	12	Remain
2028	Post Oak- Quercus stellata	15	Remain	2435	Cedar Elm- Ulmus crassifolia	10	Remain
2029	Post Oak- Quercus stellata	11	Remain	2436	Cedar Elm- Ulmus crassifolia	16	Remain
2030	Post Oak- Quercus stellata	7	Remain	2437	Cedar Elm- Ulmus crassifolia	15	Remain
2031	Post Oak- Quercus stellata	16	Remain	2438	Cedar Elm- Ulmus crassifolia	12	Remain
2032	Post Oak- Quercus stellata	14	Remain	2439	Cedar Elm- Ulmus crassifolia	10	Remain
2033	Post Oak- Quercus stellata	18	Remain	2440	Cedar Elm- Ulmus crassifolia	9	Remain
2034	Post Oak- Quercus stellata	12	Remain	2441	Cedar Elm- Ulmus crassifolia	15	Remain
2035	Post Oak- Quercus stellata	18	Remain	2517	Cedar- Juniperus virginiana	8	Remain
2036	Post Oak- Quercus stellata	19	Remain	2518	Cedar- Juniperus virginiana	10	Remain
2037	Post Oak- Quercus stellata	16	Remain	2523	Cedar Elm- Ulmus crassifolia	9	Remain
2038	Post Oak- Quercus stellata	21	Remain	2524	Youpon Holly- Llex vomitoria	10	Remain
2039	Post Oak- Quercus stellata	15	Remain	2525	Hackberry- Celtis occidentalis	6	Remain
2040	Post Oak- Quercus stellata	25	Remain	2526	Cedar- Juniperus virginiana	11	Remain
2041	Post Oak- Quercus stellata	28	Remain	2527	Hackberry- Celtis occidentalis	14	Remain
2043	Post Oak- Quercus stellata	21	Remain	2528	Hackberry- Celtis occidentalis	19	Remain
2044	Post Oak- Quercus stellata	14	Remain	2529	Hackberry- Celtis occidentalis	8	Remain
2045	Bradford Pear- Pyrus calleryana	17	Remove	2530	Cedar Elm- Ulmus crassifolia	17	Remain
				2531	Cedar Elm- Ulmus crassifolia	7	Remain
				2532	Hackberry- Celtis occidentalis	13	Remain
				2533	Hackberry- Celtis occidentalis	11	Remain
				2534	Cedar- Juniperus virginiana	6	Remain
				2535	Hackberry- Celtis occidentalis	12	Remain
				2536	Chinaberry- Mia azedarach	11	Remain
				2537	Hackberry- Celtis occidentalis	7	Remain
				2538	Hackberry- Celtis occidentalis	9	Remain
				2539	Hackberry- Celtis occidentalis	11	Remain
				2540	Hackberry- Celtis occidentalis	10	Remain
				2541	Hackberry- Celtis occidentalis	8	Remain
				2542	Hackberry- Celtis occidentalis	8	Remain
				2543	Hackberry- Celtis occidentalis	9	Remain
				2544	Hackberry- Celtis occidentalis	11	Remain
				2545	Hackberry- Celtis occidentalis	15	Remain
				2546	Hackberry- Celtis occidentalis	29	Remain
				2547	Hackberry- Celtis occidentalis	7	Remain
				2548	Hackberry- Celtis occidentalis	31	Remain
				2549	Cedar- Juniperus virginiana	9	Remain
				2550	Hackberry- Celtis occidentalis	26	Remain
				2551	Bradford Pear- Pyrus calleryana	9	Remain
				2552	Hackberry- Celtis occidentalis	10	Remain
				2553	American Elm- Ulmus americana	21	Remain
				2554	American Elm- Ulmus americana	7	Remain
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				3470	Hackberry- Celtis occidentalis	24	Remain
				3471	Chinese Pistache- Pistacia chinensis	9	Remain
				3472	Cedar Elm- Ulmus crassifolia	8	Remain
				3473	Hackberry- Celtis occidentalis	13	Remain
				3474	Cedar Elm- Ulmus crassifolia	6	Remain
				3475	Hackberry- Celtis occidentalis	10	Remain
				3476	Cedar Elm- Ulmus crassifolia	7	Remain
				3477	Cedar Elm- Ulmus crassifolia	9	Remain
				3478	Cedar Elm- Ulmus crassifolia	9	Remain
				3479	Hackberry- Celtis occidentalis	11	Remain
				3480	Cedar Elm- Ulmus crassifolia	11	Remain
				3481	Cedar Elm- Ulmus crassifolia	9	Remain
				3482	Cedar Elm- Ulmus crassifolia	15	Remain
				3483	Cedar Elm- Ulmus crassifolia	9	Remain
				3485	Cedar Elm- Ulmus crassifolia	17	Remain
				3486	Cedar Elm- Ulmus crassifolia	12	Remain
				3487	Cedar- Juniperus virginiana	21	Remain
				9484	Cedar Elm- Ulmus crassifolia	8	Remain

NOTE:
 UNPROTECTED TREES (PER CITY'S ZONING ORDINANCE) ALONG THE NORTHERN AND SOUTHERN PROPERTY BOUNDARY IN THE NEW PHASE ARE DESIRABLE AS A BUFFER AND TREE PROTECTION IS BEING PROVIDED. IF ANY UNPROTECTED TREES CANNOT BE PRESERVED DURING CONSTRUCTION THEY MAY BE REMOVED AND NO MITIGATION IS REQUIRED.

EXHIBIT E
 PAGE 4 OF 6

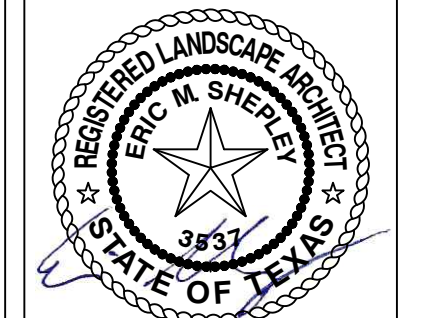


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 WWW.HEI.US.COM



DESTINY DALLAS - 2
 DALLAS KOA, BLOCK 1, LOT 1 & 2
 CAMPGROUND ADDITION
 5.89 ACRES
 CITY OF CORINTH
 DENTON COUNTY, TEXAS

TREE
 DISPOSITION



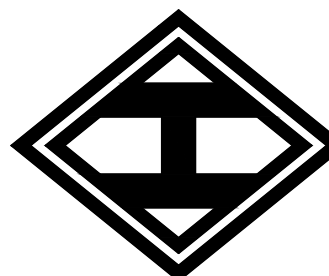
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SHEET NO:
 TD-1

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DENTON COUNTY, TEXAS

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DISPOSITION

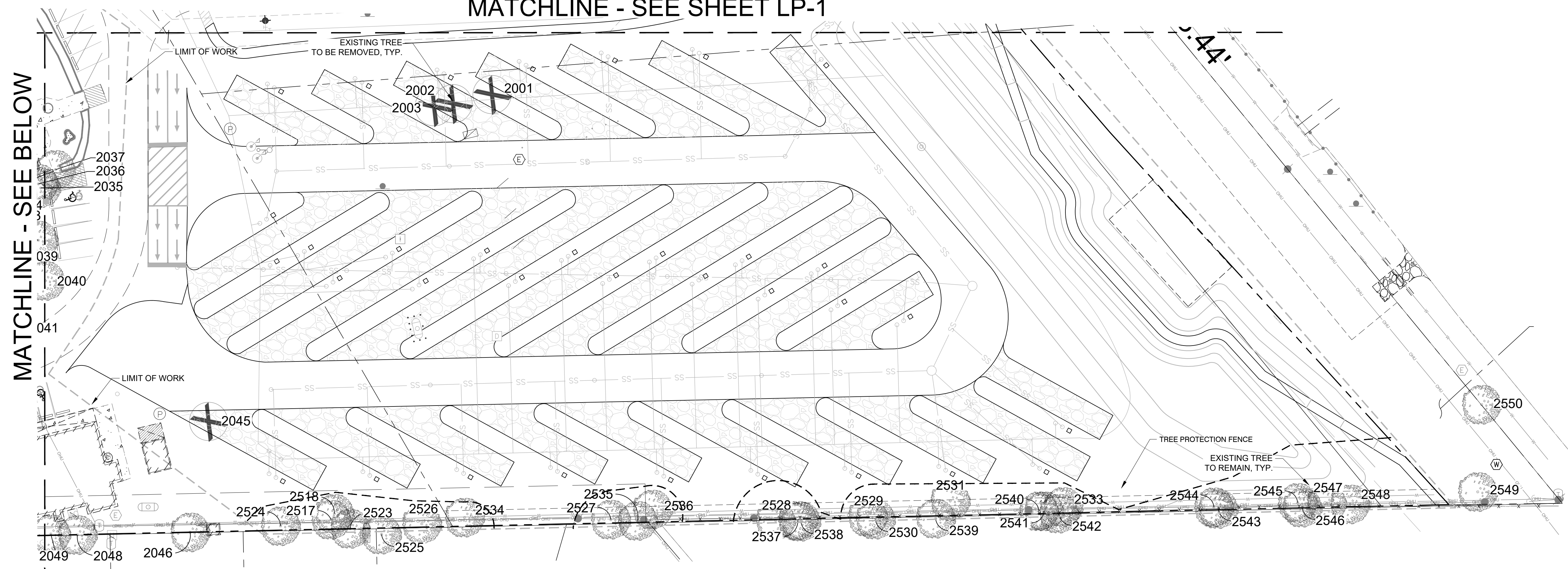


EXHIBIT E
PAGE 5 OF 6

EVERGREEN
DESIGN GROUP
(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addicks, TX 75001
www.EvergreenDesignGroup.com

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DATE: 09/24/21
HEI #: 21-0702
SHEET NO:
TD-2

MATCHLINE - SEE SHEET LP-1



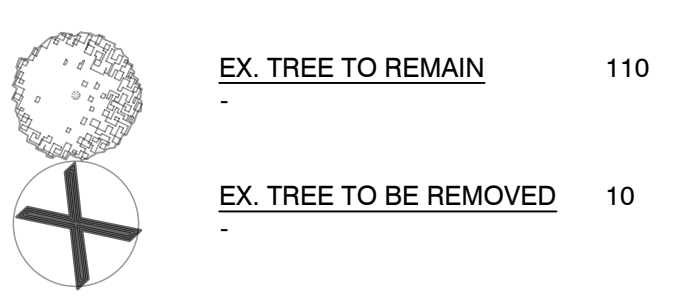
MATCHLINE - SEE BELOW

MATCHLINE - SEE ABOVE

TREE INVENTORY

Tag #	Tree Type	Adj. DBH	Status	Tag #	Tree Type	Adj. DBH	Status	Tag #	Tree Type	Adj. DBH	Status
2001	Catalpa- Catalpa bignonioides	9	Remove	2046	Cedar Elm- Ulmus crassifolia	12	Remain	2531	Cedar Elm- Ulmus crassifolia	7	Remain
2002	Catalpa- Catalpa bignonioides	8	Remove	2047	Cedar Elm- Ulmus crassifolia	14	Remain	2532	Hackberry- Celtis occidentalis	13	Remain
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2005	Mulberry- Morus alba	33	Remove	2050	Post Oak- Quercus stellata	25	Remain	2535	Hackberry- Celtis occidentalis	12	Remain
2006	Mulberry- Morus alba	24	Remove	2051	Post Oak- Quercus stellata	9	Remain	2536	Chinaberry- Mia azedarach	11	Remain
2007	Mulberry- Morus alba	25	Remove	2052	Post Oak- Quercus stellata	15	Remain	2537	Hackberry- Celtis occidentalis	7	Remain
2008	Maple- Acer saccharinum	28	Remove	2053	Post Oak- Quercus stellata	25	Remain	2538	Hackberry- Celtis occidentalis	9	Remain
2010	Chaste tree- Vitex agnes castor	20	Remain	2054	Post Oak- Quercus stellata	16	Remain	2539	Hackberry- Celtis occidentalis	11	Remain
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2014	Chinese Pistache- Pistacia chinensis	7	Remain	2058	Post Oak- Quercus stellata	25	Remain	2543	Hackberry- Celtis occidentalis	9	Remain
2015	Post Oak- Quercus stellata	25	Remain	2059	Post Oak- Quercus stellata	26	Remain	2544	Hackberry- Celtis occidentalis	11	Remain
2016	Post Oak- Quercus stellata	33	Remain	2239	Cedar- Juniperus virginiana	19	Remain	2545	Hackberry- Celtis occidentalis	15	Remain
2017	Post Oak- Quercus stellata	18	Remain	2240	American Elm- Ulmus americana	22	Remain	2546	Hackberry- Celtis occidentalis	29	Remain
2018	Post Oak- Quercus stellata	18	Remain	2241	Blackjack Oak- Quercus marilandica	23	Remain	2547	Hackberry- Celtis occidentalis	7	Remain
2019	Post Oak- Quercus stellata	14	Remain	2427	Cedar Elm- Ulmus crassifolia	14	Remain	2548	Hackberry- Celtis occidentalis	31	Remain
2020	Post Oak- Quercus stellata	14	Remain	2428	Cedar Elm- Ulmus crassifolia	12	Remain	2549	Cedar- Juniperus virginiana	9	Remain
2021	Post Oak- Quercus stellata	13	Remain	2429	Cedar Elm- Ulmus crassifolia	14	Remain	2550	Hackberry- Celtis occidentalis	26	Remain
2022	Post Oak- Quercus stellata	20	Remain	2430	Cedar Elm- Ulmus crassifolia	24	Remain	2551	Bradford Pear- Pyrus calleryana	9	Remain
2023	Post Oak- Quercus stellata	15	Remain	2431	Cedar Elm- Ulmus crassifolia	18	Remain	2552	Hackberry- Celtis occidentalis	10	Remain
2024	Post Oak- Quercus stellata	27	Remain	2432	Cedar Elm- Ulmus crassifolia	20	Remain	2553	American Elm- Ulmus americana	21	Remain
2025	Post Oak- Quercus stellata	19	Remain	2433	Cedar Elm- Ulmus crassifolia	18	Remain	2554	American Elm- Ulmus americana	7	Remain
2027	Post Oak- Quercus stellata	12	Remain	2434	Cedar Elm- Ulmus crassifolia	12	Remain	3468	Hackberry- Celtis occidentalis	12	Remain
2028	Post Oak- Quercus stellata	15	Remain	2435	Cedar Elm- Ulmus crassifolia	10	Remain	3469	Hackberry- Celtis occidentalis	10	Remain
2029	Post Oak- Quercus stellata	11	Remain	2436	Cedar Elm- Ulmus crassifolia	16	Remain	3470	Hackberry- Celtis occidentalis	24	Remain
2030	Post Oak- Quercus stellata	7	Remain	2437	Cedar Elm- Ulmus crassifolia	15	Remain	3471	Chinese Pistache- Pistacia chinensis	9	Remain
2031	Post Oak- Quercus stellata	16	Remain	2438	Cedar Elm- Ulmus crassifolia	12	Remain	3472	Cedar Elm- Ulmus crassifolia	8	Remain
2032	Post Oak- Quercus stellata	14	Remain	2439	Cedar Elm- Ulmus crassifolia	10	Remain	3473	Hackberry- Celtis occidentalis	13	Remain
2033	Post Oak- Quercus stellata	18	Remain	2440	Cedar Elm- Ulmus crassifolia	9	Remain	3474	Cedar Elm- Ulmus crassifolia	6	Remain
2034	Post Oak- Quercus stellata	12	Remain	2441	Cedar Elm- Ulmus crassifolia	15	Remain	3475	Hackberry- Celtis occidentalis	10	Remain
2035	Post Oak- Quercus stellata	18	Remain	2517	Cedar- Juniperus virginiana	8	Remain	3476	Cedar Elm- Ulmus crassifolia	7	Remain
2036	Post Oak- Quercus stellata	19	Remain	2518	Cedar- Juniperus virginiana	10	Remain	3477	Cedar Elm- Ulmus crassifolia	9	Remain
2037	Post Oak- Quercus stellata	16	Remain	2523	Cedar Elm- Ulmus crassifolia	9	Remain	3478	Cedar Elm- Ulmus crassifolia	9	Remain
2038	Post Oak- Quercus stellata	21	Remain	2524	Youpon Holly- Llex vomitoria	10	Remain	3479	Hackberry- Celtis occidentalis	11	Remain
2039	Post Oak- Quercus stellata	15	Remain	2525	Hackberry- Celtis occidentalis	6	Remain	3480	Cedar Elm- Ulmus crassifolia	11	Remain
2040	Post Oak- Quercus stellata	25	Remain	2526	Cedar- Juniperus virginiana	11	Remain	3481	Cedar Elm- Ulmus crassifolia	9	Remain
2041	Post Oak- Quercus stellata	28	Remain	2527	Hackberry- Celtis occidentalis	14	Remain	3482	Cedar Elm- Ulmus crassifolia	15	Remain
2043	Post Oak- Quercus stellata	21	Remain	2528	Hackberry- Celtis occidentalis	19	Remain	3483	Cedar Elm- Ulmus crassifolia	9	Remain
2044	Post Oak- Quercus stellata	14	Remain	2529	Hackberry- Celtis occidentalis	8	Remain	3485	Cedar Elm- Ulmus crassifolia	17	Remain
2045	Bradford Pear- Pyrus calleryana	17	Remove	2530	Cedar Elm- Ulmus crassifolia	17	Remain	3486	Cedar Elm- Ulmus crassifolia	12	Remain
								3487	Cedar- Juniperus virginiana	21	Remain
								9484	Cedar Elm- Ulmus crassifolia	8	Remain

EXISTING TREE LEGEND



NOTE:
UNPROTECTED TREES (PER CITY'S ZONING ORDINANCE) ALONG THE NORTHERN AND SOUTHERN PROPERTY BOUNDARY IN THE NEW PHASE ARE DESIRABLE AS A BUFFER AND TREE PROTECTION IS BEING PROVIDED. IF ANY UNPROTECTED TREES CANNOT BE PRESERVED DURING CONSTRUCTION THEY MAY BE REMOVED AND NO MITIGATION IS REQUIRED.



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TREE PROTECTION SPECIFICATIONS

MATERIALS

- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL T' SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

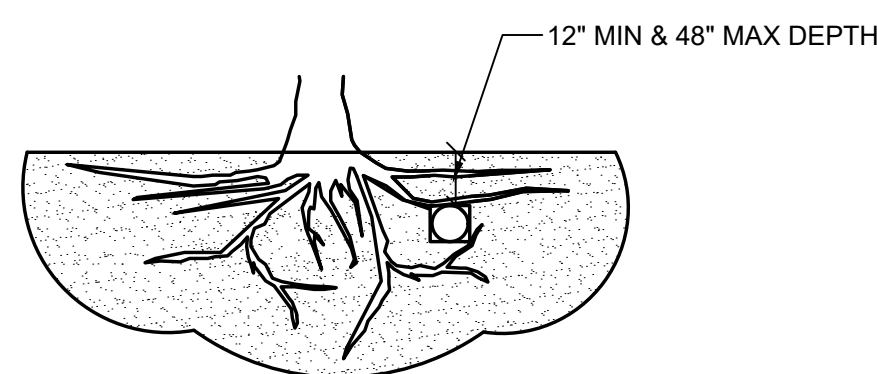
CONSTRUCTION METHODS

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
- THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
- WITHIN THE CRZ:
 - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
 - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
 - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
 - DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR

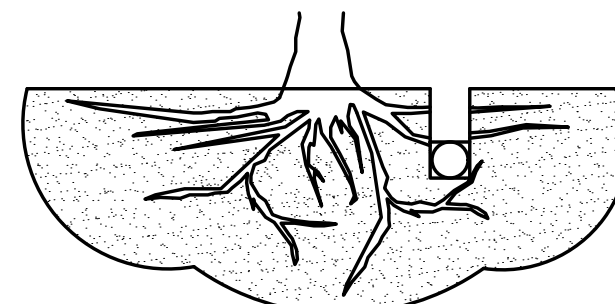
- LUMBER CUTTING). DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
- DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.
- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES
- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

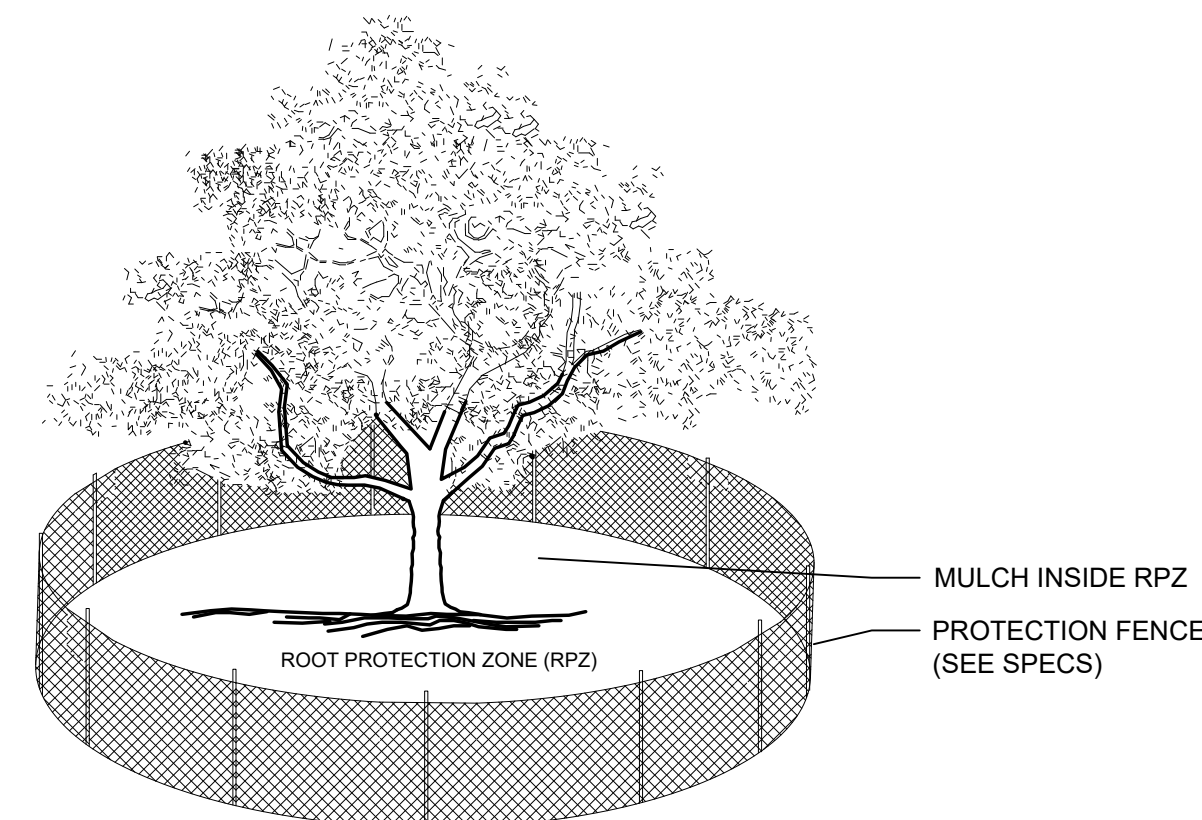
TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

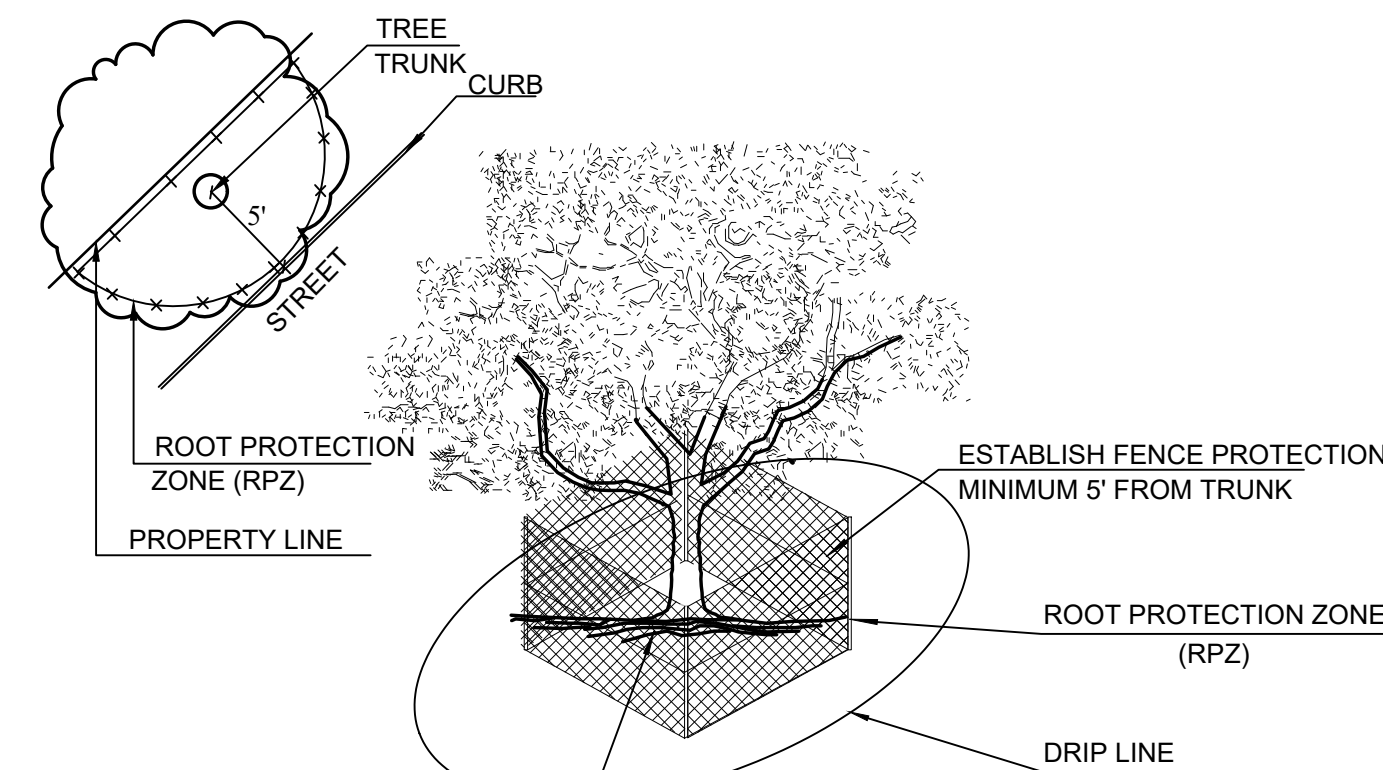


- NOTES:
- THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.
 -

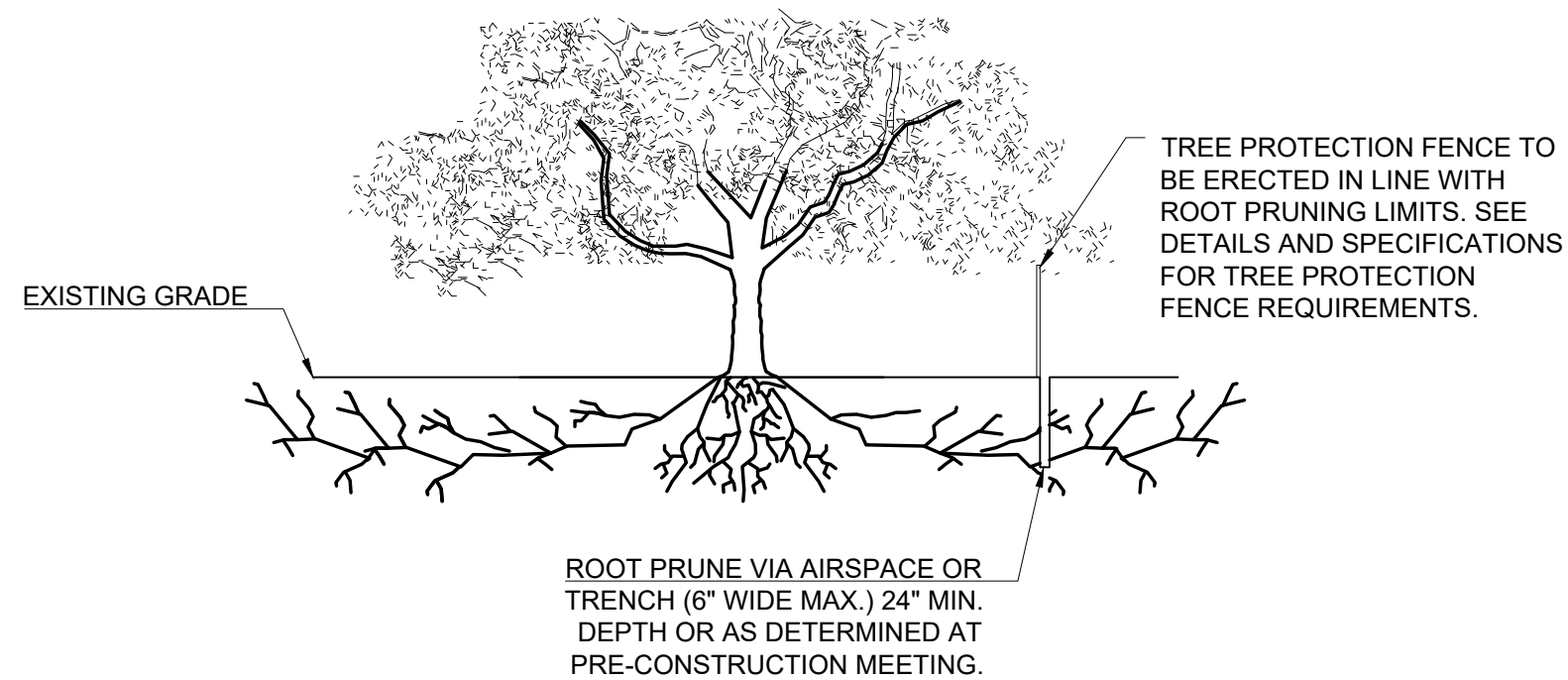
C BORING THROUGH ROOT PROTECTION ZONE
SCALE: NOT TO SCALE

- NOTES
- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
 - BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
 - EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.
 - TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
 - ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
 - ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
 - SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.

A TREE PROTECTION FENCE
SCALE: NOT TO SCALE



- NOTES:
- OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
 - FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.



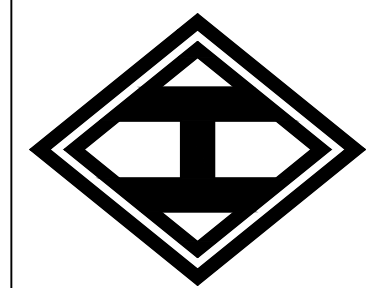
D ROOT PRUNING DETAIL
SCALE: NOT TO SCALE

B TREE PROTECTION FENCE - TIGHT CONSTRUCTION
SCALE: NOT TO SCALE

TREE PROTECTION GENERAL NOTES

- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
 - AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
 - AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
 - AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY STAFF, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY STAFF MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY STAFF, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

HOMEYER ENGINEERING, INC.
ENGINEERING, INC.
P.O. BOX 294527 • LEWISVILLE, TEXAS • 75029
972-906-9985 • PHONE • 972-906-9987 FAX
WWW.HEI.US.COM



DESTINY DALLAS - 2
DALLAS KOA, BLOCK 1, LOT 1 & 2
CAMPGROUND ADDITION
5.89 ACRES
CITY OF CORINTH
DENTON COUNTY, TEXAS

TREE
DISPOSITION
SPECS & DETAILS



12-07-2022

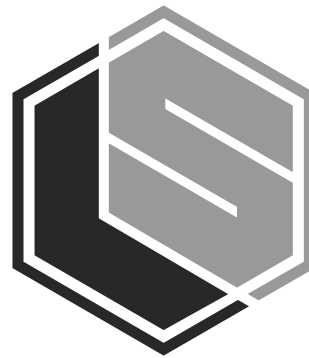
EXHIBIT E
PAGE 6 OF 6

EVERGREEN DESIGN GROUP
(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

DRAWN: EMS
DATE: 09/24/21
HEI #: 21-0702

SHEET NO:
TD-3





LEGACY SIGNS OF TEXAS

CUSTOMER APPROVAL: Note: The colors depicted on this rendering may not match actual colors used on the finished display. Note: The proportion of signs shown on building and landscape is an approximate representation. Section E, Item 5.

PLEASE READ CAREFULLY: Before you OK this proof, please read your copy carefully and completely. Check for spelling errors and copy omissions. Any changes or alterations from the original instructions will be charged according to time and material.

FINAL PROOF APPROVAL: By signing this form I am approving the above described job and I hereby acknowledge that I have read and accept the proofing policy and Terms and Conditions of Legacy Signs of Texas. Please sign and return so that we may process your order.



**EXHIBIT F
DESTINY DALLAS PD SIGNAGE
PAGE 1 OF 4`**

CLIENT SIGNATURE: _____

DATE: _____

7923 E. McKinney St., Denton, TX 76208
O 817.431.5700 F 817.431.5799

UL E226292 TDLR - 18933

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FINAL ELECTRICAL CONNECTION BY CUSTOMER

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING & BONDING OF THE SIGN. SIGN WILL BEAR UL LABEL(S).



7923 E. McKinney St., Denton, TX 76208
O 817.431.5700 F 817.431.5799

UL E226292 TDLR 18933

JOB DESCRIPTION	DATE	BY	REV	
D/F MONUMENT SIGN	3.23.22	MRG		
COMPANY OR JOB NAME	3.24.22	MRG	R1	
CUSTOMER CONTACT	10.19.22	JR	R2	REDUCE SIGN TO 160SQFT OVERALL & ID SIGN TO 80SQFT
ADDRESS				
PHONE				
EMAIL				
FILE NAME				
SALESMAN				

PAGE



A PROPOSED ELEVATION

SCALE: NTS

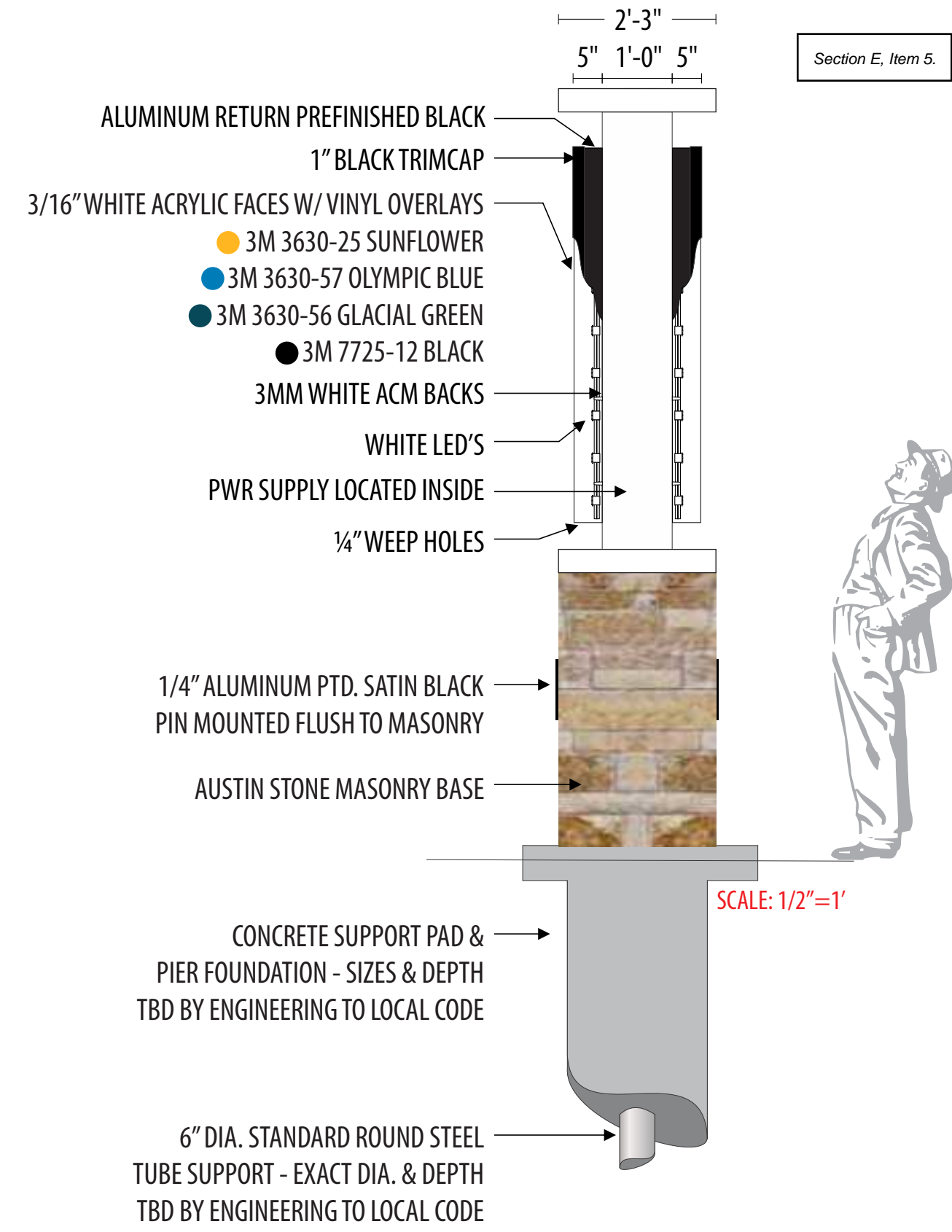
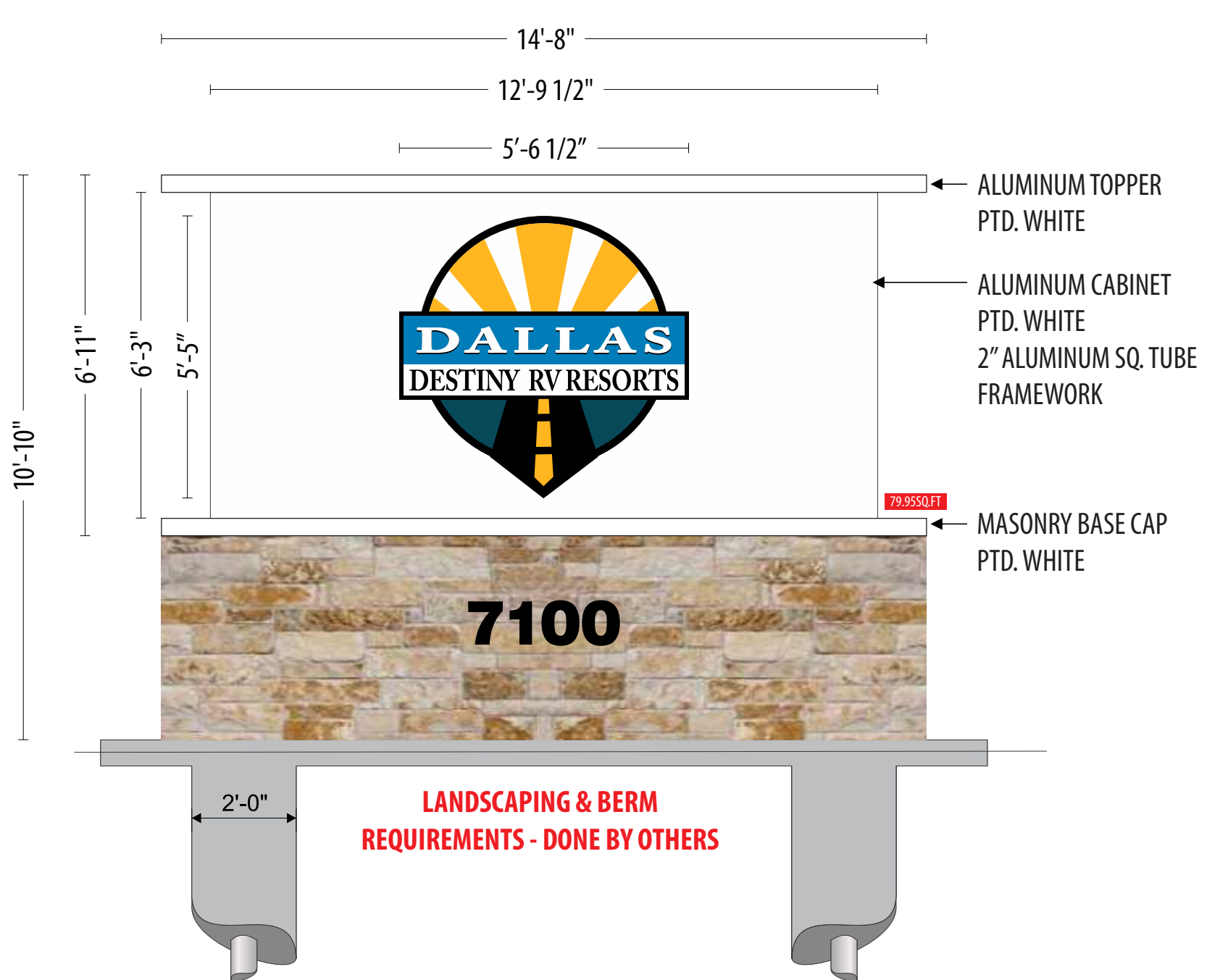
0 SQ.FT

EXHIBIT F
DESTINY DALLAS PD SIGNAGE
PAGE 3 OF 4`



7923 E. McKinney St., Denton, TX 76208
0 817.431.5700 F 817.431.5799
 UL E226292 BBB TDLR 18933

JOB DESCRIPTION	D/F MONUMENT SIGN	DATE	BY	REV	
COMPANY OR JOB NAME	DALLAS DESTINY RV RESORTS	3.23.22	MRG		
CUSTOMER CONTACT		3.24.22	MRG	R1	
ADDRESS	7100 S. 135E CORINTH, TX	10.19.22	JR	R2	REDUCE SIGN TO 160SQFT OVERALL & ID SIGN TO 80SQFT
PHONE					
EMAIL					
FILE NAME	DALLAS DESTINY RV RESORTS_CORINTH				
SALESMAN	RICK SUTTON				



A D/F MONUMENT SCALE: 3/8"=1'

SCOPE OF WORK: **158.89 SQ.FT**

MANUFACTURE & INSTALL (1) D/F MONUMENT SIGN

PRIMARY ELECTRICAL TO MONUMENT BY OTHERS



7923 E. McKinney St., Denton, TX 76208
0 817.431.5700 F 817.431.5799
 UL E226292 BBB TDLR 18933

JOB DESCRIPTION	D/F MONUMENT SIGN	DATE	BY	REV
COMPANY OR JOB NAME	DALLAS DESTINY RV RESORTS	3.23.22	MRG	
CUSTOMER CONTACT		3.24.22	MRG	R1
ADDRESS	7100 S. 135E CORINTH, TX	10.19.22	JR	R2
PHONE				
EMAIL				
FILE NAME	DALLAS DESTINY RV RESORTS_CORINTH			
SALESMAN	RICK SUTTON			

REDUCE SIGN TO 160SQFT OVERALL & ID SIGN TO 80SQFT

**EXHIBIT F
 DESTINY DALLAS PD SIGNAGE
 PAGE 4 OF 4**

EXHIBIT G – VEHICLE TENTS

Section E, Item 5.



EXHIBIT H - RENT ROLL

Case No. ZAPD22-0005 - Destiny RV Resort PD

DESTINY DALLAS RV RESORT - RENT ROLL
As of 12/31/22

Site Number	Customer	Customer Type	Site Type	Deposit	Rental Rate	Arrival Date	Current Date	Last Payment Date	Length of Stay in days
001	Rapp	Monthly	Premium	50.00	725.00	4/27/2018	2/1/2023	2/6/2023	1741
002	Burke	Monthly	Premium	100.00	725.00	12/31/2022	2/1/2023	2/1/2023	32
003		Monthly	Premium					Vacant	
004	Ortega	Monthly	Premium	100.00	725.00	2/3/2023	2/1/2023	2/3/2023	-2
005	Hill	Monthly	Premium	100.00	725.00	1/27/2023	2/1/2023	1/27/2023	5
006	Garrett	Monthly	Premium	100.00	725.00	1/2/2023	2/1/2023	2/2/2023	30
007	Crownover	Monthly	Premium	100.00	725.00	8/13/2022	2/1/2023	2/11/2023	172
008	Espana	Monthly	Premium	100.00	725.00	9/3/2022	2/1/2023	2/2/2023	151
009	Cooper	Monthly	Deluxe	50.00	780.00	1/1/2019	2/1/2023	2/11/2023	1492
010	Barretts	Monthly	Deluxe	50.00	780.00	1/1/2019	2/1/2023	2/11/2023	1492
011	Walker	Monthly	Deluxe	50.00	780.00	10/26/2019	2/1/2023	2/9/2023	1194
012	Burden	Monthly	Deluxe	50.00	780.00	4/29/2020	2/1/2023	2/15/2023	1008
013	Wilcox	Monthly	Premium	50.00	780.00	9/19/2011	2/1/2023	2/1/2023	4153
014	Pelz	Monthly	Premium	100.00	725.00	7/13/2022	2/1/2023	2/10/2023	203
015	Webb	Monthly	Premium	100.00	725.00	12/30/2022	2/1/2023	2/2/2023	33
016	Bellamy	Monthly	Premium	100.00	725.00	8/7/2022	2/1/2023	2/6/2023	178
017	Paris	Monthly	Premium	50.00	725.00	5/1/2020	2/1/2023	2/17/2023	1006
018	Pierson	Monthly	Standard	50.00	705.00	6/18/2021	2/1/2023	2/10/2023	593
019	Peyrot	Monthly	Standard	50.00	705.00	6/24/2021	2/1/2023	2/16/2023	587
021	Aldrich	Monthly	Premium	50.00	725.00	6/2/2021	2/1/2023	2/2/2023	609
022	Simon	Monthly	Premium	100.00	725.00	9/26/2022	2/1/2023	2/26/2023	128
023	Avalos	Monthly	Premium	100.00	725.00	2/20/2023	2/1/2023	2/20/2023	-19
024	Mancilla	Monthly	Premium	100.00	725.00	12/13/2022	2/1/2023	2/13/2023	50
025	Smith	Monthly	Premium	50.00	725.00	6/6/2018	2/1/2023	2/15/2023	1701
026	Cohen	Monthly	Premium	50.00	725.00	6/11/2021	2/1/2023	2/2/2023	600
027	Gaudette	Monthly	Premium	50.00	725.00	8/1/2016	2/1/2023	2/1/2023	2375
028	Bargabos	Monthly	Premium	50.00	725.00	2/10/2017	2/1/2023	2/10/2023	2182
029	Calzada	Monthly	Premium	100.00	725.00	11/9/2022	2/1/2023	2/9/2023	84
030	Treadwell	Monthly	Premium	100.00	725.00	9/30/2022	2/1/2023	2/1/2023	124
031	Abrahamson	Monthly	Premium	100.00	725.00	2/12/2023	2/1/2023	2/12/2023	-11
032	Poalinelli	Monthly	Premium	50.00	725.00	10/1/2020	2/1/2023	2/1/2023	853
033		Monthly	Premium					Vacant	
034	Twomey	Monthly	Premium	100.00	725.00	12/2/2022	2/1/2023	2/2/2023	61
035	Bullard	Monthly	Premium	50.00	725.00	4/9/2022	2/1/2023	2/5/2023	298
036	Mccord	Monthly	Premium	50.00	725.00	11/19/2017	2/1/2023	2/5/2023	1900
037	Dishman	Monthly	Premium	50.00	725.00	9/11/2017	2/1/2023	2/18/2023	1969
038	Bratcher	Monthly	Premium	50.00	725.00	11/16/2017	2/1/2023	2/1/2023	1903
039	Kennedy	Monthly	Premium	50.00	725.00	6/28/2019	2/1/2023	2/9/2023	1314
040	Gomez	Monthly	Premium	50.00	725.00	6/16/2009	2/1/2023	2/3/2023	4978
041	Hazard	Monthly	Premium	50.00	725.00	9/17/2022	2/1/2023	2/16/2023	137
043	Gibbs	Monthly	Premium	50.00	725.00	4/1/2020	2/1/2023	2/1/2023	1036
044	Chongdon	Monthly	Premium	100.00	725.00	9/17/2022	2/1/2023	2/16/2023	137
045	Hartline	Monthly	Premium	100.00	705.00	7/25/2022	2/1/2023	2/22/2023	191

046 Cook	Monthly	Standard	50.00	705.00	8/21/2021	2/1/2023	2/14/2023	529
048 Schoultz	Monthly	Standard	50.00	705.00	4/11/2021	2/1/2023	2/1/2023	661
049 Collis	Monthly	Standard	50.00	705.00	2/11/2022	2/1/2023	2/8/2023	355
050 Bryan	Monthly	Standard	50.00	705.00	4/25/2020	2/1/2023	2/5/2023	1012
051 Busby	Monthly	Premium	50.00	725.00	11/28/2020	2/1/2023	2/17/2023	795
052 Mcnevin	Monthly	Premium	50.00	725.00	5/1/2018	2/1/2023	2/16/2023	1737
053 Johnson	Monthly	Premium	50.00	725.00	6/4/2022	2/1/2023	2/2/2023	242
054 Astle	Monthly	Premium	100.00	725.00	11/7/2022	2/1/2023	2/7/2023	86
055 Guha	Monthly	Standard	100.00	725.00	9/3/2022	2/1/2023	2/2/2023	151
057 Clawson	Monthly	Premium	50.00	725.00	5/7/2016	2/1/2023	2/1/2023	2461
058 McGehee	Monthly	Premium	50.00	725.00	7/1/2009	2/1/2023	2/1/2023	4963
059 Railey	Monthly	Premium	50.00	725.00	10/1/2021	2/1/2023	2/2/2023	488
060 Thompson	Monthly	Premium	100.00	725.00	1/14/2023	2/1/2023	2/14/2023	18
061 Boone	Monthly	Premium	50.00	725.00	6/13/2022	2/1/2023	2/10/2023	233
062 Falcon	Monthly	Premium	100.00	725.00	2/17/2023	2/1/2023	2/17/2023	-16
063 Heasley	Monthly	Premium	50.00	725.00	3/20/2021	2/1/2023	2/10/2023	683
064 Clarke	Monthly	Premium	50.00	725.00	5/1/2016	2/1/2023	2/5/2023	2467
065 Green	Monthly	Premium	50.00	725.00	7/1/2021	2/1/2023	2/1/2023	580
066 Phillips	Monthly	Premium	100.00	725.00	9/3/2022	2/1/2023	2/1/2023	151
068 Tays	Monthly	Premium	100.00	725.00	10/3/2022	2/1/2023	2/3/2023	121
069 Prince	Monthly	Premium	50.00	725.00	8/24/2020	2/1/2023	2/12/2023	891
070 McClain	Monthly	Premium	50.00	725.00	11/29/2021	2/1/2023	2/1/2023	429
072 Cahill	Monthly	Premium	50.00	725.00	12/30/2016	2/1/2023	2/1/2023	2224
073 Brockhoff	Monthly	Premium	50.00	725.00	5/9/2022	2/1/2023	2/5/2023	268
074 Brown	Monthly	Premium	50.00	725.00	5/11/2015	2/1/2023	2/1/2023	2823
075 Nye	Monthly	Premium	50.00	725.00	7/6/2019	2/1/2023	2/15/2023	1306
076 Martin	Monthly	Premium	100.00	725.00	7/2/2022	2/1/2023	2/1/2023	214
077 Hardin	Monthly	Premium	100.00	725.00	7/2/2022	2/1/2023	2/1/2023	214
078 Delgado	Monthly	Premium	50.00	725.00	1/3/2020	2/1/2023	2/17/2023	1125
079 Cordell	Monthly	Premium	50.00	725.00	8/21/2021	2/1/2023	2/16/2023	529
080 Garcia	Monthly	Premium	100.00	725.00	10/24/2022	2/1/2023	2/23/2023	100
081 Pruitt	Monthly	Employee	100.00	725.00	9/20/2022	2/1/2023	2/19/2023	134
082 Beres	Monthly	Premium	50.00	725.00	1/3/2016	2/1/2023	2/2/2023	2586
083 Schwerdtfeger	Monthly	Premium	50.00	725.00	10/2/2014	2/1/2023	2/1/2023	3044
084 Crowell	Monthly	Premium	50.00	725.00	10/31/2020	2/1/2023	2/1/2023	823
085 Farmer	Monthly	Standard	100.00	725.00	8/12/2022	2/1/2023	2/10/2023	173
086 Williams	Monthly	Premium	100.00	725.00	11/8/2022	2/1/2023	2/8/2023	85
087 Sierocinski	Monthly	Premium	50.00	725.00	12/18/2021	2/1/2023	2/11/2023	410
088 Blackard	Monthly	Premium	50.00	725.00	10/21/2019	2/1/2023	2/5/2023	1199
090 Ferraro	Monthly	Premium	50.00	725.00	4/5/2019	2/1/2023	2/1/2023	1398
091 Fliescher	Monthly	Premium	100.00	725.00	8/13/2022	2/1/2023	2/12/2023	172
092 Wilson	Monthly	Premium	50.00	725.00	9/29/2017	2/1/2023	2/2/2023	1951
093 Wyatt	Monthly	Premium	50.00	725.00	5/13/2019	2/1/2023	2/1/2023	1360
095 Ashford	Monthly	Premium	100.00	725.00	1/1/2023	2/1/2023	2/1/2023	31
096 Estes	Monthly	Premium	50.00	725.00	11/1/2021	2/1/2023	2/1/2023	457
097 Clarke	Monthly	Premium	50.00	725.00	8/1/2020	2/1/2023	2/1/2023	914
098 Lormand	Monthly	Premium	50.00	725.00	2/10/2018	2/1/2023	2/15/2023	1817

099 Andel	Monthly	Standard	50.00	705.00	6/8/2021	2/1/2023	2/5/2023	603
100 Burden	Monthly	Premium	50.00	725.00	11/25/2020	2/1/2023	2/15/2023	798
101 Goodin	Monthly	Premium	50.00	725.00	7/24/2016	2/1/2023	2/1/2023	2383
102 Covey	Monthly	Premium	50.00	725.00	1/21/2018	2/1/2023	2/1/2023	1837
103 Pistokache	Monthly	Premium	50.00	725.00	2/29/2020	2/1/2023	2/15/2023	1068
104 Young	Monthly	Premium	50.00	725.00	5/21/2019	2/1/2023	2/12/2023	1352
105 Usher	Monthly	Premium	100.00	725.00	9/10/2022	2/1/2023	2/19/2023	144
106 Kachman	Monthly	Standard	100.00	705.00	1/2/2023	2/1/2023	2/1/2023	30
107 Owings	Monthly	Premium	50.00	725.00	9/1/2019	2/1/2023	2/14/2023	1249
108 Holder	Monthly	Premium	50.00	725.00	5/19/2022	2/1/2023	2/19/2023	258
109 Mcphearson	Monthly	Premium	50.00	725.00	1/11/2019	2/1/2023	2/1/2023	1482
110 Yancey	Monthly	Premium	50.00	725.00	7/15/2020	2/1/2023	2/1/2023	931
112 Faught	Monthly	Premium	100.00	725.00	2/13/2023	2/1/2023	2/13/2023	-12
113 Connelley	Monthly	Premium	50.00	725.00	10/26/2019	2/1/2023	2/9/2023	1194
114 Olson	Monthly	Premium	50.00	725.00	1/30/2016	2/1/2023	2/1/2023	2559
115 Valesky	Monthly	Standard	100.00	725.00	2/25/2023	2/1/2023	2/25/2023	-24
116 Johnston	Monthly	Premium	50.00	725.00	7/27/2013	2/1/2023	2/6/2023	3476
117 Ellis	Monthly	Standard	50.00	705.00	8/28/2021	2/1/2023	2/1/2023	522
118 Porter	Monthly	Standard	50.00	705.00	12/6/2021	2/1/2023	2/1/2023	422
119 Crumpton	Monthly	Premium	50.00	725.00	12/19/2020	2/1/2023	2/9/2023	774
120		Standard				vacant		
121 Garcia	Monthly	Standard	50.00	705.00	10/13/2021	2/1/2023	2/1/2023	476
122 Jones	Monthly	Standard	50.00	705.00	4/28/2021	2/1/2023	2/1/2023	644
123 Tienter	Monthly	Standard	50.00	705.00	2/7/2019	2/1/2023	2/18/2023	1455
124 Trejo	Monthly	Standard	50.00	705.00	2/22/2022	2/1/2023	2/19/2023	344
125 Lancour	Monthly	Premium	50.00	725.00	5/13/2022	2/1/2023	2/9/2023	264
126 Scarbrough	Monthly	Standard	50.00	705.00	6/13/2016	2/1/2023	2/9/2023	2424
127 Mills	Monthly	Premium	50.00	725.00	10/19/2015	2/1/2023	2/9/2023	2662
128 Taylor	Monthly	Premium	50.00	725.00	7/6/2020	2/1/2023	2/1/2023	940
129 Atkinson	Monthly	Premium	50.00	725.00	6/4/2021	2/1/2023	2/1/2023	607
130 Mayo	Monthly	Standard	100.00	705.00	7/22/2022	2/1/2023	2/19/2023	194
131 Garza	Monthly	Standard	50.00	705.00	4/4/2022	2/1/2023	2/5/2023	303
132	Weekly	Standard				vacant		
133 Roberts	Monthly	Premium	100.00	725.00	1/15/2023	2/1/2023	2/15/2023	17
134 Sebald	Monthly	Standard	100.00	705.00	1/14/2023	2/1/2023	2/14/2023	18
135 LaFrance	Monthly	Premium	50.00	725.00	1/23/2017	2/1/2023	2/1/2023	2200
136 Harding	Monthly	Premium	100.00	725.00	9/1/2022	2/1/2023	2/1/2023	153
137 Hill	Monthly	Premium	100.00	725.00	11/25/2022	2/1/2023	2/25/2023	68
138 Benson	Monthly	Standard	50.00	705.00	5/30/2018	2/1/2023	2/1/2023	1708
139 Grasso	Monthly	Premium	50.00	725.00	4/9/2018	2/1/2023	2/17/2023	1759
140 Watson	Monthly	Premium	50.00	725.00	2/8/2022	2/1/2023	2/4/2023	358
141 Wilson	Monthly	Premium	50.00	725.00	10/29/2017	2/1/2023	2/10/2023	1921
142 Nelsson	Monthly	Premium	100.00	725.00	1/16/2023	2/1/2023	2/16/2023	16
143 Golightly	Monthly	Premium	50.00	725.00	3/5/2022	2/1/2023	2/2/2023	333
144 Cox	Monthly	Standard	100.00	705.00	8/27/2022	2/1/2023	2/1/2023	158
145 Vega	Monthly	Premium	50.00	725.00	6/2/2021	2/1/2023	2/1/2023	609
146 Tischler	Monthly	Premium	50.00	725.00	2/29/2020	2/1/2023	2/2/2023	1068

	147 Lane	Monthly	Standard	50.00	705.00	9/16/2014	2/1/2023	2/3/2023	3060
	149 Sprayberry	Monthly	Standard	50.00	705.00	5/4/2022	2/1/2023	2/2/2023	273
	150 Larsen	Monthly	Premium	100.00	725.00	10/22/2022	2/1/2023	2/22/2023	102
	151 Allison	Monthly	Standard	50.00	705.00	7/22/2017	2/1/2023	2/1/2023	2020
	152 Penaluna	Monthly	Standard	100.00	705.00	9/3/2022	2/1/2023	2/1/2023	151
	153 Vermillion	Monthly	Standard	100.00	705.00	11/26/2022	2/1/2023	2/26/2023	67
	154 Coad	Monthly	Standard	50.00	705.00	7/4/2020	2/1/2023	2/1/2023	942
	155 Camizzi	Monthly	Standard	50.00	705.00	8/2/2017	2/1/2023	2/6/2023	2009
	156 McWilliams	Monthly	Premium	100.00	725.00	1/13/2023	2/1/2023	2/13/2023	19
	157 Crowder	Monthly	Premium	100.00	725.00	11/12/2022	2/1/2023	2/12/2023	81
	158 Robillard	Monthly	Standard	100.00	705.00	2/1/2023	2/1/2023	2/1/2023	0
	159 Howe	Monthly	Premium	100.00	725.00	2/1/2023	2/1/2023	2/1/2023	0
	162 Goff	Monthly	Standard	50.00	705.00	12/28/2020	2/1/2023	2/1/2023	765
	163 Powell	Monthly	Standard	100.00	705.00	12/30/2022	2/1/2023	2/1/2023	33
	164 Francis	Monthly	Standard	50.00	705.00	2/28/2022	2/1/2023	2/1/2023	338
	165 Harris	Monthly	Standard	50.00	705.00	11/7/2020	2/1/2023	2/1/2023	816
	166 Willis	Monthly	Standard	50.00	705.00	5/25/2021	2/1/2023	2/1/2023	617
	167 Hanbright	Monthly	Standard	50.00	705.00	6/20/2020	2/1/2023	2/8/2023	956
	168 Stahl	Monthly	Standard	50.00	705.00	7/13/2021	2/1/2023	2/2/2023	568
	169 Baker	Monthly	Standard	100.00	705.00	9/10/2022	2/1/2023	2/7/2023	144
	171 Hurley	Monthly	Standard	100.00	705.00	7/9/2022	2/1/2023	2/6/2023	207
	173 Stanglin	Monthly	Standard	50.00	705.00	1/30/2021	2/1/2023	2/1/2023	732
	174 Plummer	Monthly	Premium	50.00	725.00	12/10/2022	2/1/2023	2/10/2023	53
	175 Lyons	Monthly	Premium	50.00	725.00	6/1/2019	2/1/2023	2/11/2023	1341
	176 Gallagher	Monthly	Premium	100.00	725.00	9/12/2022	2/1/2023	022/11/23	142
Ranch	Delosantos	Monthly	Apartment	500.00	1050.00	8/21/2020	2/1/2023	2/22/2023	894
			TOTAL	10,950.00	117,250.00	\$128,180.00		2/15/2023	

580 Median



**ATTACHMENT 2:
LETTERS RECEIVED FROM PROPERTY OWNERS WITHIN
200 FEET OF SUBJECT PROPERTY**



Planning and Zoning Commission Meeting
Date: **MONDAY, December 12, 2022 at 6:30 P.M.**

City Council Regular Meeting
Date: **THURSDAY, January 19, 2023 at 6:30 P.M.**

Section E, Item 5.
DEC 05 2022
BY: *ml*

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208. The meetings will be broadcast live at <https://www.cityofcorinth.com/remotesession>.

PUBLIC HEARING NOTICE

Dear Property Owner:

On Monday, December 12, 2022, at 6:30 PM, the City of Corinth Planning and Zoning Commission will conduct a public hearing on the item listed below. Should the Planning & Zoning Commission make a recommendation, the Corinth City Council will conduct a public hearing on Thursday, January 19, 2023, at 6:30 PM and will consider acting on the item listed below. The meetings will be held at the Corinth City Hall, 3300 Corinth Pkwy, Corinth, Texas 76208.

- A request to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code of the City, from MX-C Mixed-Use Commercial to a Planned Development with a base zoning district of MX-C Mixed-Use Commercial, to accommodate a proposed expansion of the Destiny RV Resort, on approximately ±18.96 acres located at 7100 S I-35E. Case No. ZAPD22-0005.

Additional information regarding this request can be found on the Upcoming Public Hearings page of the City of Corinth website at: <https://www.cityofcorinth.com/planning-development/page/upcoming-public-hearings>

As a property owner within two hundred (200) feet of this property, you are invited to attend this meeting in-person and voice your opinion at the public hearing (please note you are not required to attend).

Additionally, your opinion regarding the request on the property described above may be expressed by notation on this form or by letter. You may support or oppose this request; your opposition will be considered a protest. Signed written comments must be received by the City of Corinth Planning and Development Department at 3300 Corinth Parkway, Corinth, Texas 76208 (3 days prior to public hearing). Signed comments may be scanned and sent by email to Michelle Mixell, Planning Manager, at planning@cityofcorinth.com. Additionally, if you have any questions regarding this request, you may call 940-498-3262 for assistance.

I am writing in (Check as applicable) Support: Opposition: of the proposal.

I have reached out to Dallas R.V. several times over the last few years - can't get a call back - they have not seen good neighbors - I am against allowing them to expand their foot print

Name/Address/City: **(REQUIRED)**

Signature: **(REQUIRED)**

Thomas Mike Mason
(Please Print)

Thomas Mike Mason
(Signature)

940-300-4011



Planning and Zoning Commission Meeting
Date: **MONDAY, December 12, 2022 at 6:30 P.M.**

City Council Regular Meeting
Date: **THURSDAY, January 19, 2023 at 6:30 P.M.**

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I am writing in (Check as applicable) Support: Opposition: of the proposal.

IF just expanding toward the frontage road,
then this looks good.

Name/Address/City: (REQUIRED)

DAVID Imy (3211 Fairview Ave)
(Please Print)

Signature: (REQUIRED)

David Imy
(Signature)



**ATTACHMENT 3:
FEBRUARY 6, 2023 PLANNING & ZONING COMMISSION
DRAFT MINUTES**



MINUTES
PLANNING & ZONING COMMISSION
SPECIAL WORKSHOP SESSION
Monday, February 6, 2023, at 5:00 PM
City Hall | 3300 Corinth Parkway

On this, the 6th day of February, the Planning & Zoning Commission of the City of Corinth, Texas, met in Special Workshop Session at the Corinth City Hall at 5:00 P.M., located at 3300 Corinth Parkway, Corinth, Texas.

Commissioners Present:
Chair Alan Nelson
Vice Chair Mark Klingele
KatieBeth Bruxvoort
Rebecca Rhule
Adam Guck

Commissioners Absent:
Bradford Harrold

Staff Members Present:
John Webb, Director of Development Services
Michelle Mixell, Planning Manager
Miguel Inclan, Planner

A. CALL TO ORDER AND ANNOUNCE A QUORUM PRESENT

Chair Alan Nelson called the meeting to order at 5:05 PM.

B. CLOSED SESSION

The Planning & Zoning Commission will recess into executive or closed session to consider the following matters pursuant to Chapter 551 of the Texas Government Code. After discussion of any matters in closed session, any final action or vote taken will be public by the Commission.

- 1. Item E.2: Case No. ZAPD22-0005 - Destiny RV Resort Planned Development

The Planning & Zoning Commission moved into closed session at 5:06 PM.

C. RECONVENE INTO WORKSHOP SESSION

The Planning & Zoning Commission reconvened at 6:47 PM.

D. WORKSHOP AGENDA

- 2. Conduct a workshop on a rezoning request by the Applicant, Homeyer Engineering, Inc., to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code of the City, from MX-C Mixed-Use Commercial to a Planned Development with a base zoning district of MX-C Mixed-Use Commercial, to accommodate a proposed expansion of the Destiny RV Resort, on approximately ±18.96 acres located at 7100 S I-35E. Case No. ZAPD22-0005 – Destiny RV.

Chair Nelson asked that the Applicant provide a clear definition of the difference between long-term and short-term stays and asked that the Applicant state the true intent of the park.

Commissioner Bruxvoort asked what the Applicant's target length of stay was.

Brett Fugman, Destiny, stated that they did not have a specific target regarding the length of stay but that they provided licenses in 30-day increments.

Commissioner Rhule stated that she was trying to reconcile how to work with the Applicant to define long-term and short-term stays. She asked if the UDC RV Park definition met the current situation, with several of the current licensees considering the park their permanent residence.

Helen-Eve Beadle, HE Planning & Design, stated that the RV Park definition in the UDC was added after the use was already existing.

Beadle provided the definition of a Recreational Vehicle Park within this PD as follows: "A parcel of land designed, improved, or intended to be used for short- or long-term occupancy by recreational vehicles (including travel trailers) in designated spaces not to exceed 24 months. Facility may include employee stalls, utility hook-ups, accessory structures, playgrounds and open space areas, fenced yard areas for pets, and other similar amenities." Additionally, they provided the definition for a Recreation Vehicle as "A vehicle which is built on a single chassis, 400 square feet or less when measured at the chassis, designed to be self-propelled or permanently towable by a light duty truck, and designed primarily not for use as a permanent dwelling but as temporary living quarters for recreational, camping, travel, or seasonal use."

The Commission and Fugman discussed allowing licensees at the site before January 1, 2019, to remain indefinitely, while those who began their stay after January 1, 2019, would be subject to the maximum length of stay, beginning on the date of the adoption of the PD Ordinance

The Commission Fugman discussed setting a maximum stay of 36 months and proposed the following standards related to maximum stay: employee occupied stalls are exempt from maximum stay and there shall be a maximum of one stall per employee, once the maximum stay is reached an RV shall leave the RV park for a minimum of 30 days before returning, and the owner/operator of the RV park shall submit a yearly roll reporting compliance of arrival and departures.

Commissioners Rhule and Bruxvoort expressed concerns with the 36-month maximum stay, asking for 24 months instead of 36 months, while Fugman asked if 30 months would be acceptable. No maximum stay was defined, and Fugman stated that he would discuss internally with his team and propose a defined maximum stay term that works with their business model.

E. ADJOURNMENT

There being no further business before the Commission, the meeting was adjourned at 8:35 PM.

MINUTES APPROVED THIS _____ DAY OF _____, 2023.

Alan Nelson, Planning and Zoning Commission Chairman

DRAFT



ATTACHMENT 4:
CORRESPONDENCE WITH APPLICANT REGARDING
NEIGHBORING PROPERTY OWNER CONCERNS

From: Matthew Lilly
Sent: Friday, February 24, 2023 9:08 AM
To: Matthew Lilly
Subject: FW: Property Owner Concern -Destiny RV

From: Helen-Eve Beadle <heleneve@heplanningdesign.com>
Sent: Thursday, February 23, 2023 5:45 AM
To: John Webb <John.Webb@cityofcorinth.com>
Cc: Michelle Mixell <Michelle.Mixell@cityofcorinth.com>; Miguel Inclan <Miguel.Inclan@cityofcorinth.com>
Subject: RE: Property Owner Concern -Destiny RV

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

John, Michelle, and Miguel.

Upon receipt of your email from Mr. Patlan, the Destiny RV Owners immediately contacted their office to ensure nothing is to be attached to the fence along the southern property boundary.

The Park Rules do not allow clotheslines or any other attachment of ropes, etc. to RV's, trees, or fences. The Park has reminded all park visitors that the Fairview fence is not to be used for anything.

Again, the fence along the southern property boundary was erected after Destiny RV had been in existence for many years. The RV park was there first and the fence is not the property of Destiny RV. We have reviewed, to the best of our knowledge, property documents for Destiny RV and have not found any reference or image related to an easement along the southern boundary of the unplatted portion of the property.

I would speculate the easement on the platted lots are representative of the Subdivision Regulations, Section 3.05.07 A.4. Easements and Dedications where an eight (8) foot utility easement is required on each side of all rear lot lines and alongside lot lines to provide for utilities. Adding the easements is a platting requirement.

We checked earlier in the review process and did note there is an 8" City waterline in the 10 foot utility easement along the north side of the Fairview Subdivision lots adjacent to the property boundary.

Additionally, there are no proposed permanent structures planned along the eight (8) foot wide area along the southern property boundary.

The current Owners of Destiny RV never had intentions of building cabins along the southern property line or within a utility easement.

Please let us know if you need anything else.

Thank you.

Helen-Eve



Helen-Eve Beadle, AICP

469.360.6618
heplanningdesign.com
heleneve@heplanningdesign.com

From: John Webb <John.Webb@cityofcorinth.com>
Sent: Monday, February 20, 2023 11:54 AM
To: Helen-Eve Beadle <heleneve@heplanningdesign.com>
Cc: Michelle Mixell <Michelle.Mixell@cityofcorinth.com>
Subject: Property Owner Concern -Destiny RV

Helen-Eve,

FYI – see below. Mr. Patlan’s property is 3210 Fairview. There is a 10-foot utility on the Fairview side, and an 8-foot utility easement along the southern property line on the KOA platted lot – vacant eastern lot. Do you know of any utility easements along the southern property line of the unplatted portion of Destiny?

If you have any questions, please reach out to Michelle as Miguel is out of the office the first part of this week.

Thanks,
John

From: Pat Patlan <stpatlan@yahoo.com>
Sent: Saturday, February 18, 2023 7:34 PM
To: Michelle Mixell <Michelle.Mixell@cityofcorinth.com>; Miguel Inclan <Miguel.Inclan@cityofcorinth.com>
Cc: Matthew Lilly <Matthew.Lilly@cityofcorinth.com>; John Webb <John.Webb@cityofcorinth.com>
Subject: Re: Case No. ZAPD22-0005-Destiny RV

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Miguel,

Thank you for getting back to me on this matter. I find it disappointing that the applicant plans to keep those spots considering they haven't done anything for the home owners next to them. They currently maintain and have a fence line around the other 3 sides of their property but are relying on us home owners to provide a fence line on this side for them, which is in a utility easement. I had to put up my own 8 ft. fence when they started parking RV's along my fence line. Nothing stops their residents from using our fences to hang or lean their items on my fence and my neighbors fences. I am going to have to put up another 8 ft. fence on the right side of my rear property to have privacy from their RV's in the spots along the fence line. I don't understand how they can have permanent spots in a utility easement. I'm not sure the utility company is even aware of this. The former owners tried building permanent cabins along the

fence line but were shut down by either the city or the utility company. I don't understand what the difference is. As a long time resident of the City of Corinth do I have any recourse in this matter?

Thank you again for reaching back out to me.

Sincerely,
Concerned Corinth Citizen
Patrick Patlan



CITY OF CORINTH Staff Report

Meeting Date:	2/27/2023	Title:	Quarry Multi-Family Planned Development (PD) Rezoning Request Case No. ZAPD21-0002
Strategic Goals	<input type="checkbox"/> Resident Engagement <input type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development		

Item/Caption

Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a rezoning request by the Applicant, Rockbrook Development, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code of the City, from SF-2 Single Family Residential to a Planned Development with a base zoning district of MF-1 Multi-Family Residential, on approximately ±9.007 acres generally located on the west side of Parkridge Drive, between Meadowview Drive and FM 2181. Case No. ZAPD21-0002 – Quarry Multi-Family.



Location Map - Case No. ZAPD21-0002

Item Summary/Background/Existing Conditions

The applicant is requesting the rezoning of approximately ± 9 acres to a Planned Development (PD) District with a base Zoning District of MF-1 Multi-Family Residential to accommodate the development of 90 multi-family dwelling units in two phases for a gross density of ten (10) dwelling units per acre (DU/A). The proposed residential structures will have the appearance of duplexes and townhomes and are proposed as a multi-family development with a condominium association.

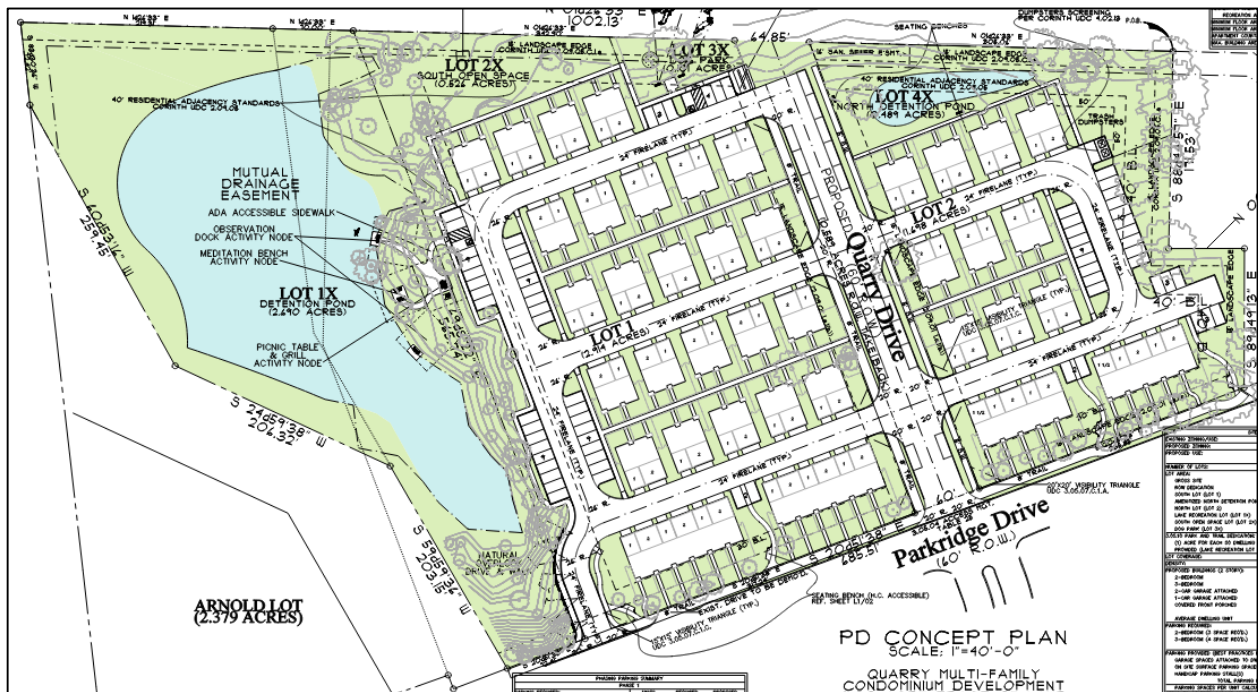
The Planning & Zoning Commission has held two workshops with the Applicant, on April 25 and October 24, 2022. Key points of discussion at the April 25, 2022, workshop included parking availability, accessibility to open space areas and within units, elevations, and existing and proposed site grading, the proposed elevations and site grading. Due to changes in the site design and to introduce the project to new Commissioners, a second workshop was held on October 24, 2022. At this workshop, the items discussed, included elevations and grading, the location of amenities, and landscaping.

The site is bounded by the ACME Brick quarry to the west, Parkridge Drive to the east (with Lake Dallas High School and stadium on east side of Parkridge Drive), undeveloped land to the north (owned and maintained by ACME Brick as an emergency access to the Quarry), and a single-family home to the south.

The existing site is primarily undeveloped (with the exception of three vacant structures to be removed). Natural features of the site include significant slopes and elevation change from east to west, heavily wooded treed areas, and an existing pond.

The current zoning on the site is SF-2 Single-Family with the Comprehensive Plan Land Use and Development Strategy designation of Mixed-Residential which envisions a density of 6-10 dwelling units per acre, a range of dwelling type options including multifamily, capitalization of existing natural amenities, preservation of open space which includes visual and physical access to open spaces. Additionally, the Master Thoroughfare Plan identifies the construction of a new collector street with the Active Transportation Plan showing an 8' wide trail along the new collector to be constructed through the subject property.

The Applicant is proposing to construct the new collector street (Quarry Drive) with Phase 1 of this development from Parkridge Drive to a terminus just short of the ACME property at the western property line in order to maintain an appropriate buffer until future development occurs on the ACME quarry site at which time the plan would be to continue Quarry Drive through the ACME quarry site and onto FM 2181.



Excerpt from Attachment 1 - PD Concept Plan (Exhibit C)

In keeping with the development strategy of the Comprehensive Plan, the Applicant is proposing to incorporate the pond into the overall site design as a recreational amenity for the residents of the development as well as to preserve linear groves of trees and pockets of existing Protected Trees along the edge of the pond and around the perimeter of the project site. Additionally, a sidewalk will be provided along the southern access drive and “lake overlook area” to provide views and access to the pond and associated recreation amenities.

Key elements/descriptions of the proposed development include:

- Developed in two (2) phases.
 - Phase 1 is proposed to consist of 60 units and will include the majority of open space (including the existing pond) as well as the construction of Quarry Drive.
 - Phase 2 will consist of 30 dwelling units and includes the land area north of Quarry Drive
- 38, two-story buildings consisting of four (4), two-story “townhouse-style” buildings fronting on Parkridge Drive and 34, “duplex-style” two-story buildings located in the interior of the site. The dwellings will include a combination of two- and three-bedroom units.
- All units will have private yard areas with ornamental fencing, foundation plantings, and either shade or ornamental trees depending on location.
- All duplex-style units internal to the site will front onto a “Mews” (walkable, green spaces) with rear garage access onto 24-foot fire lanes. The townhouse-style units will front onto Parkridge Drive with a landscape edge buffer and tree preserve area with rear garage access onto 24-foot fire lanes.
- All units will include one-car or two-car attached garages totaling 134 spaces.
- An additional 72 surface parking spaces are proposed along the internal drives. The parallel on-street parking spaces are also proposed along Quarry Drive; these spaces are not included in the on-site parking calculations.
- The existing pond will be utilized for detention and serve as a recreation amenity.

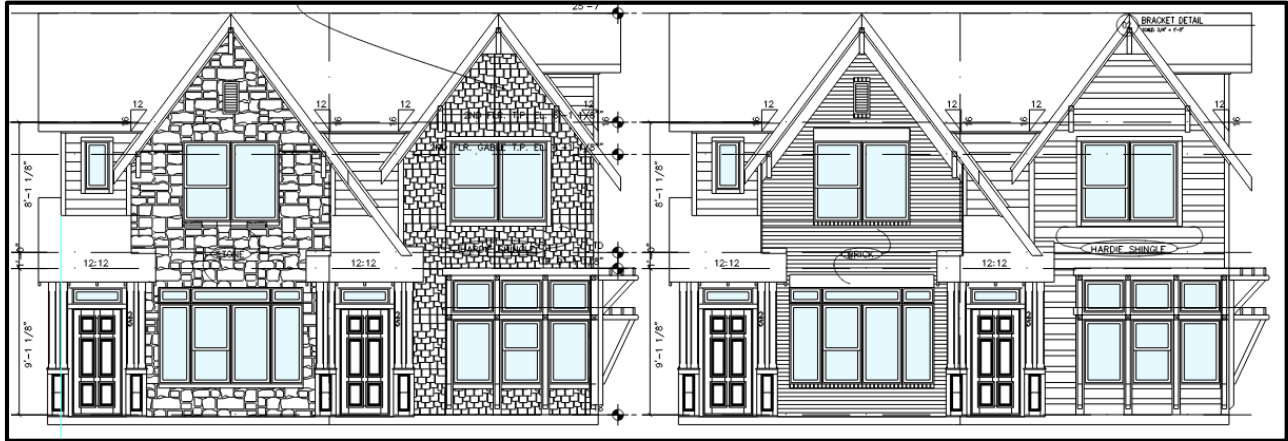
Please refer to Exhibit C – Concept Plan for the graphic layout of the development and Attachment 1 – PD Design Statement for a detailed project description.

Architectural Theme

The front facades of the units will vary with exterior materials comprised of Hardie-Board “shingle,” Board & Batten, brick, and stone as depicted below and more fully depicted in Exhibit F - Elevations. The proposed materials standards are the following:

1. Exterior façade materials shall consist of 100% masonry, whereby the term “Masonry” shall be defined herein to include all cementitious siding products.
2. All front façade elevations shall be comprised of a minimum of 40% unit masonry, which shall include kiln fired brick and/or natural stone.
3. Side façade elevations for buildings siding onto public streets and access drives shall include a variety of materials and design elements as depicted on Exhibit F – Elevations.
4. Exterior material percentage calculations shall be exclusive of all doors, windows, fascia, roofing, dormers, and areas contained within covered porches.

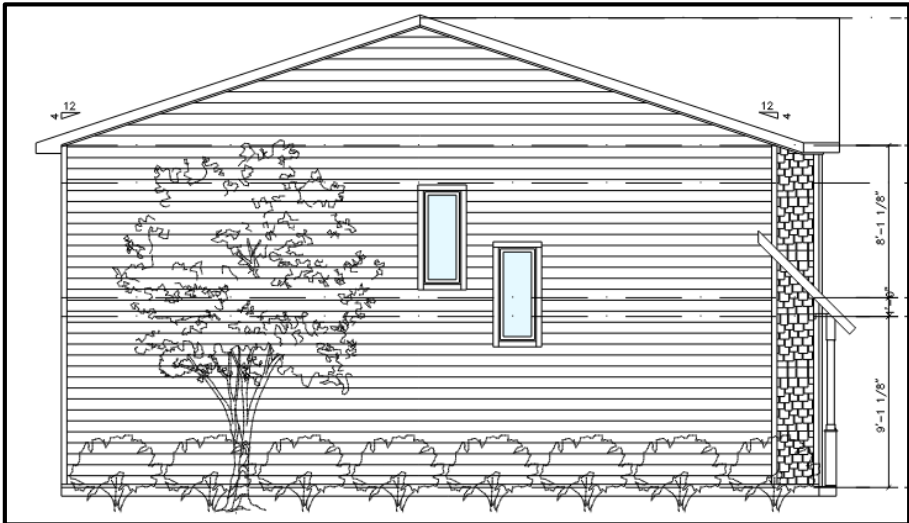
Side elevations facing public streets and drives will include a break in materials to avoid monotonous design, as well as enhanced landscaping (reference Exhibit E – Conceptual Landscape Plan and Exhibit F - Elevations).



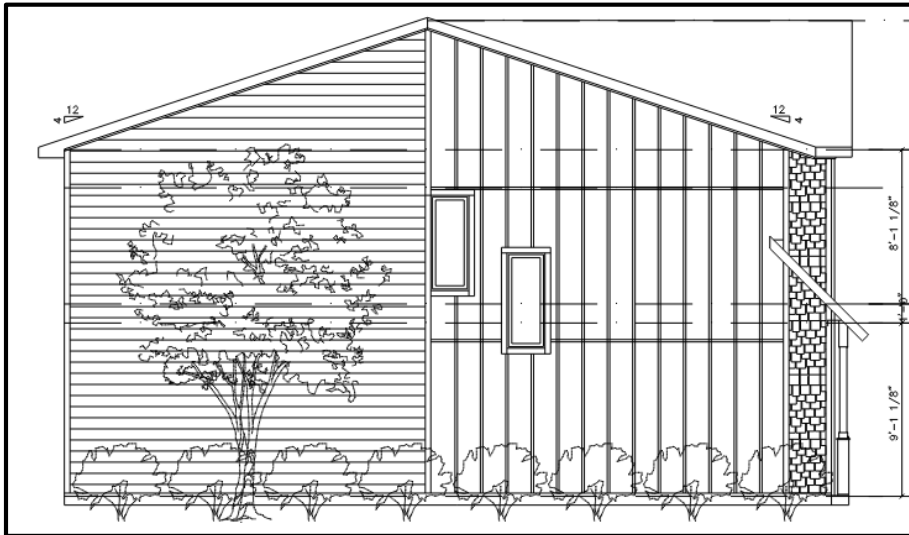
Excerpt from Attachment 1- Exhibit F - Front Elevations (2 of 6) – Duplex-style Units



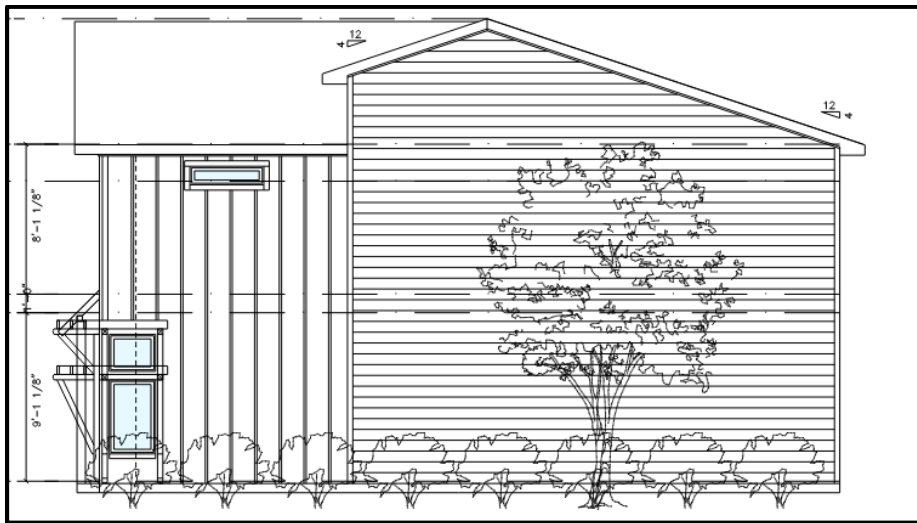
Excerpt from Attachment 1- Exhibit F - Front Elevations – Townhouse-style Units



Excerpt from Attachment 1- Exhibit F - Left Elevation – Units internal to the site



Excerpt from Attachment 1- Exhibit F - Left Elevation – Units facing public streets and internal drives



Excerpt from Attachment 1- Exhibit F - Right Elevation – All Units

		
ACME BRICK KINGSIZE COLOR: "WINTERSTONE"	ACME BRICK KINGSIZE COLOR: "WHITE SAGE"	ACME BRICK KINGSIZE COLOR: "PINE RIDGE"
		
Individual Shingle	Staggered Edge Panel	Stone Edge Panel
		
Columns	Stone	Smooth

CEMENTITIOUS HARDIE TEXTURES

Front Facade Material Standards within the PD Narrative:
 Masonry: 100%*
 Brick or Stone: Unit Masonry : 40%*
 Cementitious Fiber: 60% –Maximum*
 *Exclusive of Doors & Windows

Excerpt from Attachment 1- Exhibit F - Excerpt of Proposed Materials

Summary of Alternative Standards to Permit Unique Design

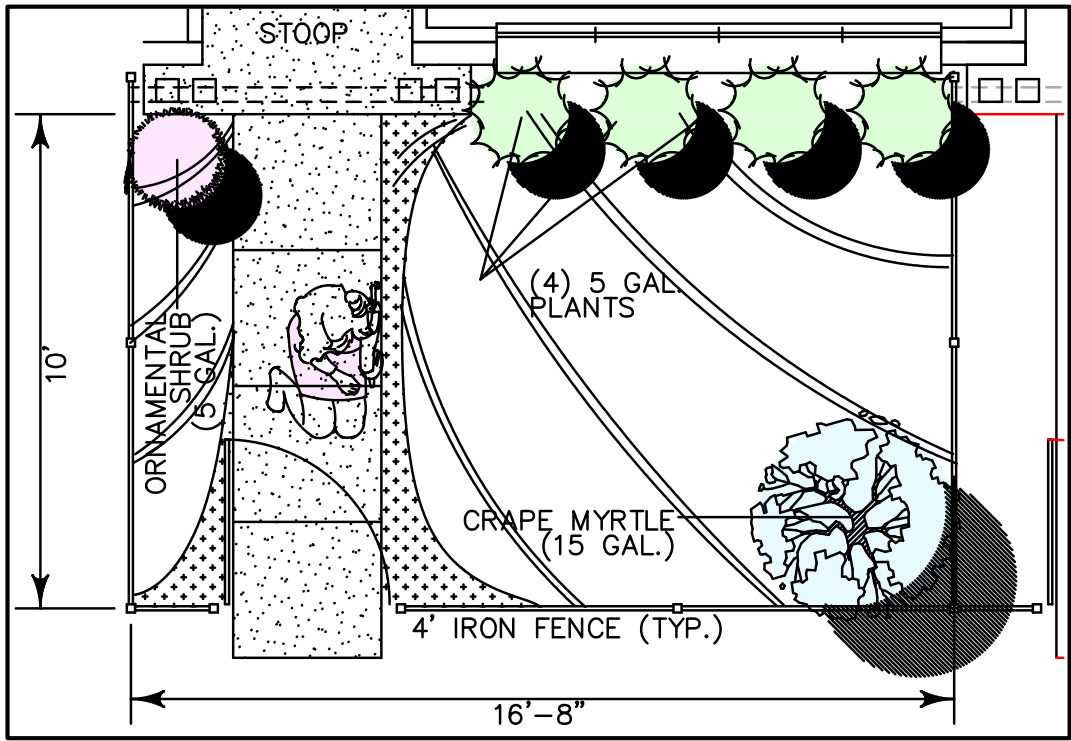
Dimensional Regulations

The table below reflects the proposed Dimensional Standards for this Planned Development, relative to the base standards required by the Unified Development Code (UDC) for the MF-1 Base Zoning District. To accommodate the proposed site design, the Applicant seeks minor deviations related to the side setback for corner lots, minimum separation between noncontiguous attached structures, minimum floor area for each dwelling unit, and the maximum building area.

Regulation:	MF-1 Base District:	Proposed Quarry Multifamily Planned Development Dimensional Standards
Minimum Front Yard Setback	30'	30'
Minimum Side Yard Setback: Interior Lot	30'	30'
Corner Lot	30'	15' (Along proposed Quarry Drive)
Minimum Rear Yard Setback	30'	30'
Minimum Separation Between Noncontiguous Attached Structures (UDC Table 2.08.04, Footnote [1])	30'	10' (may be reduced to 8' between certain units as generally depicted on Exhibit C - PD Concept Plan)
Residential Adjacency Standard	40'	40'
Minimum Lot Area	1 Acre	1 Acre
Maximum Density	12 DU/A	10.0 DU/A (including ROW dedication) 10.69 DU/A (excluding ROW dedication)
Minimum Lot Width:	200'	200'
Minimum Lot Depth	200'	200'
Minimum Floor Area	1,050 sq. ft. per DU	889 sq. ft. per DU
Maximum Height (feet/stories)	35' ¹ / ₂ (50' with additional Setback)	30' ¹ / ₂ (50' with additional Setback)
Minimum Distance between front façades – Apartment Courts	30'	30'
Maximum Building Area (all buildings)	40%	45%

Landscaping/Open Space/Amenities

The Applicant will provide each unit with private, fenced yards with a minimum of 175 square feet in area and landscaping to include ornamental trees and shrubs as generally depicted below. The Applicant is requesting a modification to reduce the width of the required landscape strips along the front, sides, and rear of buildings to accommodate the proposed project design. To supplement those modifications, the Applicant agrees to provide enhanced landscaping above and beyond the landscape required by the UDC. The Summary Table subsection of this Staff Report provides a brief overview of landscaping modifications, while Attachment 1 – PD Design Statement, provides a full description of the proposed landscaping standards. Exhibit E – Landscape Plan, provides a general depiction of the proposed landscaping.



Private Front Yard Illustration

Parking

The Applicant is proposing to modify the base parking regulation of one (1) space per dwelling unit + one (1) space per bedroom, as described in the table below:

Regulation	MF-1 Base Regulations by Use	Proposed Parking Standards/Modifications
Parking Standard:	1 space per DU + 1 space per bedroom	2.0 Spaces per 2-Bedroom unit 2.5 Spaces per 3-Bedroom unit

Based on the standard, the project will provide a total of 206 spaces, comprised of 46, 1-car attached garages, 44, 2-car attached garages which total 134 covered parking spaces, and 72 surface parking spaces to meet this proposed parking standard.

The City will permit installation of on-street parking spaces on Quarry Drive, a public street to be constructed by the Applicant as part of this project, though these spaces shall not be permitted to count towards the required parking count.

Private Recreation Areas

The Applicant will provide private recreation areas totaling 8% of the gross complex area (exclusive of the Quarry Drive right-of-way dedication) to meet the requirements of Subsection 2.04.07 of the UDC. The Applicant will meet this requirement by providing a dog park, a second detention pond with assorted amenities, and four (4) “lake activity nodes” around the existing pond. The proposed amenity areas would include benching, picnic tables, and outdoor grills, as further detailed in Attachment 1 – PD Design Statement.

Park and Trail Dedication

In addition to the Private Recreation requirements, UDC Subsection 3.05.10 requires that Park and Trail dedication for Residentially Zoned Property shall be provided at a rate of 1 acre per/50 DU and/or fees-in-lieu-of (or combination). This equals a total of 1.8 acres for 90 dwelling units. The Applicant will satisfy the requirements of this section by providing the land area of the detention pond, with the exception of the previously mentioned “lake activity nodes,” as well as eight-foot-wide trails along Parkridge Drive and the future Quarry Drive. The combined area of the proposed park and trail facilities totals 2.557 acres. These spaces will not be dedicated to the City of Corinth, but rather will be owned and maintained by the property owner or a future property owners association.

The area of the trails constructed (length x width) would count toward meeting the required park and trail dedication acreage. However, the trail along Parkridge Drive may be reduced at the time of Site Plan review to a minimum of 5’ should an alternative design or alignment be required for tree preservation or other purposes and determined to be in the best interest of the city.

Mobility and Engineering

Quarry Drive, a Collector Thoroughfare depicted in the City’s Master Thoroughfare Plan, will be constructed by the Applicant as part of this project. The actual location of the public street terminus (distance from the property line) and barricade will be determined at time of Site Plan based on design acceptable to the City Engineer.



The Applicant is requesting a reduction to the minimum driveway spacing from 150 feet to 120 feet to accommodate the proposed site design, which is guided by the existing pond and site topography.

Additionally, the project will include a “Lake Overlook Guardrail” to be installed in the area depicted on Exhibit E – Landscape Plan, and shall include stone columns, round steel tubing, and iron fence posts as described in Attachment 1 – PD Design Statement.

A Traffic Impact Analysis was provided by the Applicant, though that study was conducted with a proposed unit count of 127 units.

The project will be subject to detailed engineering review at the time of Site Plan.

Summary Table

The requested departures or modifications to the development standards contained within the UDC are summarized in the table below. Full details and descriptions of each departure and development standard, along with justification statements for each request, are listed in Attachment 1 – PD Design Statement:

Summary of Other Departure Requests and Additional Provisions:		
Development Standard Category	MF-1 Base District/UDC Standard	Proposed Quarry Multifamily Planned Development Standard
Landscape strips along building front, side, and rear (2.09.01.B.1.k.)	Building Front: 20’ Building Side: 15’ Building Rear: 20’	Building Front: 0’ with 10’ fenced and gated private yard opening into common open space (duplex-style units) or street frontage (townhouse-style units) Building Side: min 8’ separation between buildings, with selected end units to be landscaped as depicted in Exhibit E – Conceptual Landscape Plan. Building Rear: 0’ Supplemental Landscaping: <ul style="list-style-type: none"> - Shade trees at minimum rate of one (1) per every two (2) duplex-style units staggered along internal sidewalk - Ornamental Trees at minimum rate of one (1) per townhouse-style unit and one (1) per every two (2) duplex-style units. - Foundation plantings for each dwelling unit façade at minimum rate of five (5) shrubs - Foundation plantings along sides of units along Quarry Drive and along sides of all townhouse-style end units at minimum rate of one (1) ornamental tree and twelve (12) shrubs per thirty (30) linear feet of façade length. - Four (4) foot ornamental iron fence for each dwelling unit as depicted in Exhibit C – PD Concept Plan
Vehicle Parking and Garage Parking (2.09.03 and 2.04.07.C.5.)	1 space per unit plus 1 additional space per bedroom and requires that 75% of all units have 1-car garage	2 spaces per 2-bedroom unit and 3 spaces per 3-bedroom unit. 100% of units will have one-car or two-car garages.
Building Façade Material Standards (2.09.04)	General language	Established specific % minimums and maximums for masonry materials and defined additional architectural element requirements (see Exhibit F – Elevations and Attachment 1 – PD Design Statement)
Fencing and Screening (4.02.11.E.)	Requires a masonry wall along collector roadways (Parkridge Drive and future Quarry Drive)	Providing a 4’ ornamental metal fence for dwellings with private dooryards fronting Parkridge Drive and no screening along future Quarry Drive.
Access Management (3.05.04.G 1)	Minimum centerline driveway spacing along roadway, Collector, is 150 feet	Modification to 120 feet to accommodate site design caused by topographical challenges.

Private Recreation	Requires minimum of 8% of the gross complex (this requirement is in addition to park and trail land dedication requirements)	Proposing to meet this minimum standard with amenitized north detention pond, dog park, and four (4) designated lake activity nodes.
Park and Trail Land Dedication (3.05.10)	Requires 1 acre/50 Dwelling units or fee-in-lieu-of at land (may be a combination)	Complying with minimum requirements and will construct 8’ wide trails along Parkridge Drive and future Quarry Drive. The direct proportion of the acreage for the would be used to satisfy the direct proportion of the park and trail requirements. Trail width may be reduced for tree preservation or other purposes if determined to be in best interest of city. Additionally, the land area of Lot 1X not including the lake activity nodes, will be designated to meet this requirement.

Compliance with the Comprehensive Plan

The 2040 Comprehensive Plan designates the majority of the property as “Mixed-Residential” with a small portion of the site (to be used mostly for parking) is designated as “Neighborhood”. The “Land Use and Development Strategy” for the Mixed-Residential Place Type envisions new residential development that capitalizes on existing natural amenities of the land, including providing neighborhood scale detention or drainage facilities that serve as amenities with trails, street and development frontages. The proposed project’s density meets the Mixed-Residential maximum recommended density of ten (10) dwelling units per acre. While a greater variety of housing types is recommended, the size of the site and the topography limits a reasonable variety of housing types. The proposed variety includes duplex style and townhome style residential structures.

Neighborhood Outreach

The Applicant met with surrounding property owners and obtained letters of support from neighbors and other interested parties. The letters are attached to this report in Exhibit L – Letters of Support Obtained by Applicant.

Public Notice

- Notice of the public hearing was provided in accordance with the City Ordinance and State Law by,
- Publication in the Denton Record-Chronicle.
 - Written public notices were mailed to the owners of all properties located within 200 feet of the subject property and to the Lake Dallas ISD.
 - The Applicant posted a “Notice of Zoning Change” sign along Parkridge Drive.
 - The Public Hearing notice was posted on the City’s Website.

Letters of Support/Protest

As of the date of this report, the City has received no letters of support, one (1) letter of opposition, and one (1) email seeking clarification on the item, from the owners of properties located within 200 feet of the subject property in response to City’s mailed notification. It should be noted that the letter of opposition noted above was received from a property address that had previously provided a signed letter of support to the Applicant (see Attachment 1 - Exhibit L – Letters of Support Obtained by Applicant).

Four (4) emails of opposition have been received from owners of properties located outside of the 200 feet of the subject property, two (2) of which were received from the same property address.

See Attachments 3 and 4 for Letters/Emails from Property Owners inside and outside the 200’ zoning buffer.

Staff Recommendation

Staff recommends approval as presented.

Motion

“I move to recommend approval of Case No. ZAPD21-0002 – Quarry Multifamily as presented.”

Alternative Actions by the Planning and Zoning Commission

The Planning and Zoning Commission may also,

- Recommend approval with additional stipulations.
- Continue the Public Hearing and table action on the request to a definitive or non-defined date.
- Recommend denial of the request.

Supporting Documentation**Attachment 1 – PD Design Statement**

- Exhibit A – Legal description (Include an overall description for acreage being rezoned)
- Exhibit B – Proposed Zoning Map Change (SF-2 to PD with base zoning district of MF-1)
- Exhibit C – PD Concept Plan
- Exhibit D – Existing Site Conditions (include an aerial with project layout overlay)
- Exhibit E – Conceptual Landscape Plan
- Exhibit F – Architectural Product Elevations
- Exhibit G – Parking Study/Comparisons Chart
- Exhibit H – Traffic Impact Analysis
- Exhibit I – Proposed Sanitary Sewer Service Study, source: Matt Kostial, P.E., Oracle Engineering
- Exhibit J – Site’s Existing Topography
- Exhibit K – Shaded Open Space Exhibit
- Exhibit L – Letters of Support Obtained by Applicant

Attachment 2 – Zoning Buffer Map**Attachment 3 – Letters/Emails from Property Owners – Inside the 200’ Buffer****Attachment 4 – Letters/Emails from Property Owners – Outside the 200’ Buffer**



**ATTACHMENT 1:
PD DESIGN STATEMENT
QUARRY MULTI-FAMILY PLANNED DEVELOPMENT**

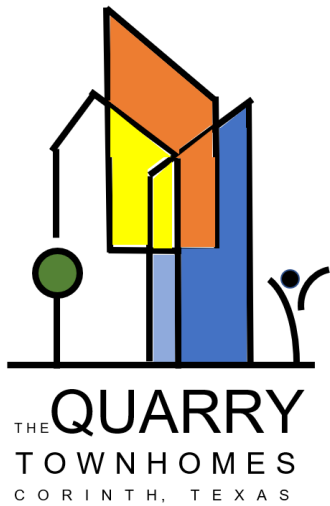
**PD DESIGN STATEMENT
QUARRY -CORINTH, TEXAS**



Architectural Concept Photo

PART 1 - OVERVIEW

A. **PROJECT NAME/TITLE:** “Quarry,” a for sale multi-family condominium development.



B. **LIST OF OWNERS/DEVELOPERS:**

Rockbrook Development LLC
Jason Rose
2104 Cosmos Way
Argyle, Texas 76226
(214) 454-7895 Tel.
jason@jrosearchitect.com

C. **PROJECT ACREAGE AND LOCATION:** 3 Tracts. Tract 1: A0833A E. Marsh, TR 21, 4.99 Acres, Old DCAD TR #7A; Tract 2: A0915A MEP & PRR, TR 6, 2.34 Acres, OLD DCAD TR #3A(1); Tract 3: A0915A MEP & PRR, TR 7A, .1633 Acres. 3 Tracts total 7.4933 Acres; Updated Field Survey shows 7.623 Acres;

Plus 1.384 Acres out of 3 Tracts. Tract 1: 2.5963 Acres: A0833A E Marsh, TR 23(PT), 2.5964 Acres, Old DCAD TR #7A(2) & 8A; Tract 2: .18 Acres, A0833A E Marsh, TR 22, Old DCAD TR #7A(4); .9267 Acres, Old DCAD TR #3A91A), A0915A MEP & PRR, TR 7.

Total combined gross Development Acreage: 9.007 Acres (392,365 square feet)

Project Address: 3000 Parkridge Drive
Corinth, Texas 76201

Location Description: Located along the west side of Parkridge Drive, a Major Collector, just North of FM 2181, a Major Arterial, immediately across from Lake Dallas High School’s main parking lot & football stadium to the East. Directly to the West, with a shared Property line, is a currently active Acme Brick Clay Mine. To the North is a lot owned by Acme Brick, which provides a second point of access into the Clay mine. Directly South is a 3.759 Acre tract currently used as a single-family residence.



Lake Dallas High School Parking Lot & Stadium



Currently Active Acme Brick Clay Mine (September 2021)

- D. **PROJECT OVERVIEW:** Quarry townhomes will be a for sale “townhome” and “duplex” style luxury multi-family condominium development comprised of two and three-bedroom buyer customizable residences. All residences will offer attached private one or two-car garages and all residences will have wrought iron fenced private yards.

“Quarry” represents a unique product option available to the market offering a more affordable ownership opportunity targeting young first-time homeowners, single professionals, and downsizing, transitioning households. The “Quarry” will fill the void between apartment living and single-family properties as housing prices continue to escalate, *“While rising home prices may be good for homeowners, they are pushing homeownership further into the future for many potential buyers. Higher home prices weaken affordability, and first-time homebuyers are particularly impacted because prices have increased most for the lower-priced homes they would typically buy.”* (Reference attached article: *Locked Out? Are Rising Housing Costs Barring Young Adults from Buying their First Homes?*, source: *Freddie Mac*)

Envisioned as a low-maintenance, lifestyle community “Quarry” residences will offer full grounds maintenance through a professionally managed Home Owner’s Association.

- E. **PROJECT DESCRIPTION:** Applicant believes rezoning of the Property is necessary in order to provide flexibility with respect to the sites challenging topography, lack of public sewer availability that exists or is planned to exist with respect to this site, as well as the City of Corinth’s wish that the developer not only dedicate a considerable amount of Property to the City of Corinth for the purpose of providing for the potential future development of the “Acme Brick Clay Mining Site” to the West and North, but construct, at developer’s sole expense, a Major Collector street to allow for this future development potential as well, creating a significant challenge with respect to the economic development feasibility of this site.

In addition, the sites proximity to high intense uses such as being immediately adjacent to Lake Dallas High School to the East and an active Clay mine to the West, applicant believes the current zoning does not account nor leave traditional buffer zones typically found separating single-family uses from such high intense immediate neighboring properties.

Rezoning will have no adverse effects on surrounding properties and developer has engaged and worked diligently with surrounding neighbors regarding the proposed development. All adjacent neighbors have expressed for developers proposed Project. Lake Dallas High School continues to expand and is currently undergoing significant additions as a result of a 2019 bond approval.

The applicant has chosen a base zoning district of MF-1 primarily due to the proposed project’s location and proximity to the aforementioned high intense uses. Applicant believes this site is appropriate such a zoning request.

Applicant has met with Acme Brick’s exploration geologist *Richard Murphy* and has been informed that the mine is expected to be in operation for many, many decades to come.

Approaching the site with the highest and best use will ensure the site is well-maintained, sustainable, and successful for many years to come. The majority of the site’s resident’s path of travel via automobile will occur South along Parkridge drive, a Major Collector, and onto FM 2181, a Major Arterial. The residents of Quarry will provide key newly developed, and yet to develop commercial Properties along FM 2181 with the critical mass given ever shrinking “trade areas,” the distance people are willing to travel for commercial

services, and will strengthen the commercial development and sales tax revenue Corinth continues to seek to attract, foster, and encourage.

PART 2 – PLANNED DEVELOPMENT STANDARDS

SECTION 1: BASE DISTRICT

A. Purpose

The regulations set forth herein (Exhibit “L”) provide development standards for multifamily residential uses within the proposed Quarry Planned Development. The boundaries of the proposed Planned Development are identified by metes and bounds on the Legal Description, Exhibit “A” to this Ordinance (“PD-__ or the “Property”), and the Property shall be developed in accordance with these regulations and the PD Concept Plan as depicted on Exhibit “C”, the concepts presented in the Concept Landscape Plan on Exhibit “E”, and associated Ancillary Concept Plans as depicted in Exhibits “F”, “G”, “H”, “I”, “J”, and “K” to this Ordinance (collectively the foregoing are referred to as the “Development Standards”). A use that is not expressly authorized herein is expressly prohibited in this PD-___.

B. Base District

The “MF-1” Multifamily Residential District regulations of the Corinth Unified Development Code, Ordinance No. 13-05-02-08, as amended, shall apply to the Property except as modified herein (hereinafter “UDC” or “Unified Development Code”). If a change to the PD Concept Plan, and/or associated Ancillary Concept Plans is requested, the request shall be processed in accordance with the UDC and development standards in effect at the time the change is requested for the proposed development per the Planned Development Amendment Process.

SECTION 2: USES AND AREA REGULATIONS:

The following items represent special development regulations, and specific departures or modifications, as well as waivers from the regulations outlined in Unified Development Code (UDC) in order to permit the unique design and afford flexibility and innovation of design that require certain departures from the “based zoning” regulations to create the unique type of residential “townhome” multi-family condominium project as presented in Exhibit “C” - PD Concept Plan and attached ancillary plans.

A. Purpose

Quarry is intended to provide for a quality development of a residential community taking advantage of the location and the concepts outlined in the Envision Corinth 2040 Comprehensive Plan by promoting variation in dwellings types, which includes a maximum of 90 multifamily (duplex-style and townhouse-style) units, as set forth on Exhibit “C” – PD Concept Plan, providing views and access to common open spaces and providing for passive neighborhood gathering spaces, maintaining a maximum gross density of 10 dwelling units per acre, and providing a community design that promotes walkability and social connection by linking the common open space areas located throughout the neighborhood.

B. Permitted Use and Use Regulations

In the PD-___ District, no building, or land shall be used, and no building shall be hereafter erected, reconstructed, enlarged, or converted unless otherwise provided for in the MF-1 Multifamily Residential District regulations of the Unified Development Code or as otherwise permitted by this PD Ordinance. The Permitted Uses in the MF-1 Multifamily Residential District as listed in Subsection 2.07.03 of the Unified Development Code at time of the adoption of this Ordinance shall be permitted in the PD-___ District.

C. Development Standards

Except as otherwise expressly set forth in these Development Standards, the regulations of Subsection 2.04.07, MF-1, Multifamily Residential of Subsection 2.04, “Residential Zoning Districts” of the Unified Development Code, for the MF-1 Multifamily District and all other requirements of the UDC shall apply to all development within PD-___.

D. Dimensional Regulations

The Dimensional Regulations described in Subsection 2.08.04, “Residential Dimensional Regulations Chart” of Subsection 2.08, “Zoning Dimensional Regulations” of the Unified Development Code, for the base zoning district MF-1 Multifamily Residential shall apply, except as modified below:

1. **UDC Subsection 2.08 Dimensional Regulations** described for the MF-1 Multi-Family Residential District, shall apply, except as modified in Table A, below:

Table A – Dimensional Requirements

Regulation:	MF-1 Base District:	Proposed Quarry Dimensional Standards
Minimum Front Yard Setback	30'	30'
Minimum Side Yard Setback: Interior Lot	30'	30'
Corner Lot	30'	15' (Along proposed Quarry Drive)
Minimum Rear Yard Setback	30'	30'
Minimum Separation Between Noncontiguous Attached Structures (UDC Table 2.08.04, Footnote [1])	30'	10' (may be reduced to 8' between certain units as generally depicted on Exhibit C - PD Concept Plan)
Residential Adjacency Standard	40'	40'
Minimum Lot Area	1 Acre	1 Acre
Maximum Density	12 DU/A	10.0 DU/A (including ROW dedication) 10.69 DU/A (excluding ROW dedication)
Minimum Lot Width:	200'	200'
Minimum Lot Depth	200'	200'
Minimum Floor Area	1,050 sq. ft. per DU	889 sq. ft. per DU

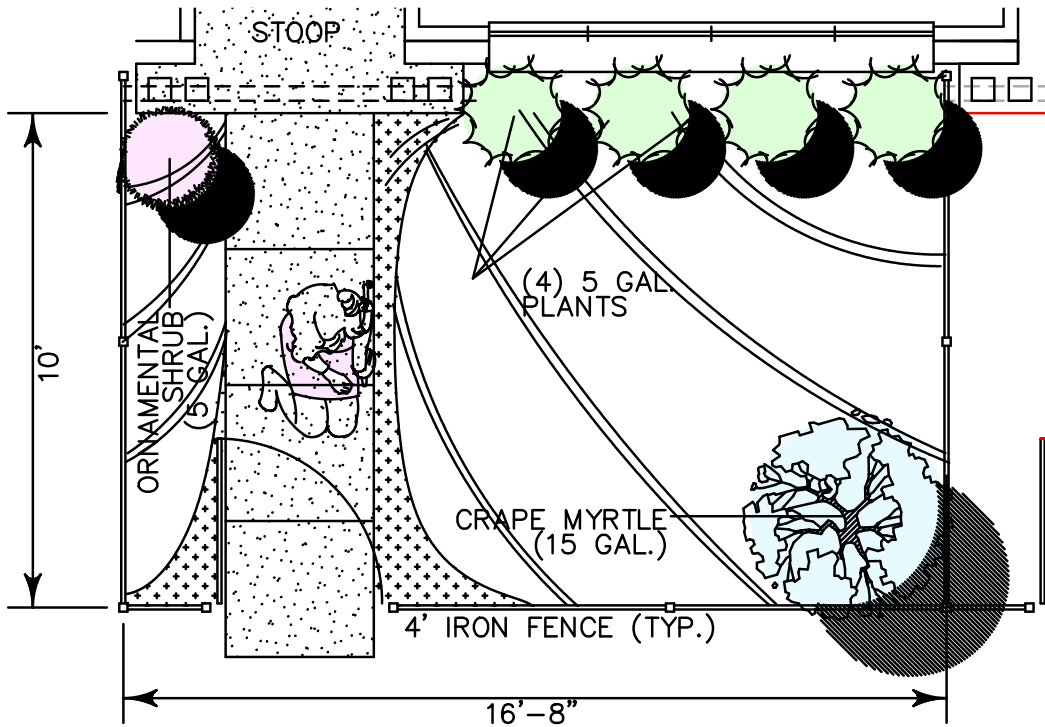
Maximum Height (feet/stories)	35’/2 (50’ with additional Setback)	30’/2 (50’ with additional Setback)
Minimum Distance between front façades – Apartment Courts	30’	30’
Maximum Building Area (all buildings)	40%	45%

E. Development Standards

1. **Accessory Building and Uses.** UDC Section 2.07.07 Accessory Building and Uses shall apply.
2. **Landscaping Regulations.** UDC Section 2.09.01 Landscape Regulations shall apply, except as modified below:
 - a. In addition to meeting the landscape regulations found in UDC Section 2.09.01, each unit shall be provided with Private, Fenced Yards. Each individual private fenced yard shall be a minimum of 175 square feet in area. For reference, see Figure 1, below.
 - b. UDC Section 2.09.01, Landscape Regulations B.1.k (i-iv), shall be modified as follows:
 1. 2.09.01.B.1.k., i. A twenty (20) foot landscape strip along the front of the buildings, shall be modified as follows: In lieu-of the required twenty (20) foot strip along the front of the buildings as measured from the foundation, every dwelling unit will have a ten (10) foot minimum fenced and gated private yard which opens into common open space with a central sidewalk connecting individual lead walks through the common area.
 2. 2.09.01.B.1.k., i. A twenty (20) foot landscape strip along the rear of the buildings, shall be modified as follows: In lieu-of the required twenty (20) foot strip along the rear of the buildings as measured from the foundation, every dwelling unit will have private alley accessible rear entry, covered garages.
 3. 2.09.01.B.1.k., ii. A fifteen (15) foot landscape strip along all other sides of the buildings, shall be modified as follows: In lieu-of the required fifteen (15) foot strip along the sides of the buildings as measured from the foundation, every building shall be separated by a minimum of eight (8) feet between duplexes.
 4. As provided for by 2.09.01.B.1.d. and to supplement the modifications to 2.09.01.B.k(i-iv) described in items 1-3 above, the Applicant agrees to provide shade trees, ornamental trees, foundation plantings, and private yard fencing as follows:
 - i. Shade Trees shall be provided at a minimum rate of one (1) per every two (2) duplex-style units staggering the shade trees along the internal central sidewalk within the open space.
 - ii. Ornamental Trees shall be at a minimum rate of one (1) per townhouse-style unit and one (1) per every two (2) duplex-style units.
 - iii. Foundation plantings shall be provided for each dwelling unit façade at a minimum rate of five (5) shrubs (deciduous and/or evergreen).
 - iv. Foundation plantings shall be provided at a minimum rate of one (1) ornamental Tree and twelve (12) shrubs (evergreen) per thirty (30) linear feet of façade length along the sides of dwelling units along Quarry Drive and along the sides of all townhouse style end units. Plant material may be grouped to create visual interest and rhythm along the streetscape.

- v. A four (4) foot ornamental iron fence shall be provided for each dwelling unit façade as generally depicted on Exhibit “C” – PD Concept Plan and as illustrated in Figure 1 , below.
- c. 2.09.05.C.1, a. A double row of trees on offset fifty (50) foot centers is planted in a fifteen (15) foot landscape edge, where fifty percent (50%) of the trees are Large Evergreen Trees shall be planted to provide a buffer between the non-residential use and adjacent detached single family zoned properties. Trees shall be three (3) caliper inches diameter at breast height "DBH" and shall be at least ten (10) feet in height.

Figure 1 – Private Front Yard Illustration



- 3. **Tree Preservation.** UDC Subsection 2.09.02 Tree Preservation Regulations shall apply. The Applicant may request Alternative Compliance from the provisions of this section at the time of Site Plan submittal.

Examples of Proposed Tree Preservation Areas



View from Westmost Lake Lookout Dock to lake.



Dense Trees along Parkridge Drive Property Line to be preserved.

4. **Vehicular Parking Regulations.** UDC Section 2.09.03. Vehicular Parking Regulations shall apply, except as modified below.

- a. Subsection 2.09.03.D.2, Parking Space Schedule: Multi-Family Uses, shall be modified to the standards set forth in Table B, below:

Table B - Parking Requirements

Regulation:	MF-1 Base Regulations by Use	Proposed Parking Standards/Modifications
Parking Standard:	1 space per DU + 1 space per bedroom	2.0 Spaces per 2-Bedroom 2.5 Spaces per 3-Bedroom

- b. Applicant shall provide a total of (206) total parking spaces, comprised of (46) 1-car covered garages, (44) 2-car parking garages which total (134) covered parking spaces, and (72) surface parking spaces for a total of (206) parking spaces to meet this proposed parking standard.
- c. Additionally, the City agrees to and will permit the installation of on-street parking spaces on Quarry Drive. On-street parking spaces shall not be permitted to count towards the required parking count.
- d. Temporary Parking adjacent to the mailbox area including one standard and one handicap space shall be provided in Phase 1.

5. **Garages, Driveways, and Parking.** Section 2.04.07.C.5 requiring that “a minimum of seventy-five (75) percent of all apartments shall have a one-car enclosed garage, two hundred forty (240) square feet minimum, attached or detached, per dwelling unit”, shall apply as modified below:

- a. All dwelling units shall be provided with private, attached one-car or two-car garages, two hundred forty (240) square feet minimum.

6. **Building Façade Material Standards.** UDC Section 2.09.04 Building Façade Material Standards shall apply. Building Façade Materials proposed to be used are described below:

- a. Exterior façade materials shall consist of 100% masonry, whereby the term “Masonry” shall be defined herein to include all cementitious siding products.
- b. In addition, all front façade elevations shall be comprised of a minimum of 40% unit masonry, which shall including kiln fired brick and/or natural stone.
- c. Additionally, side façade elevations for buildings siding onto public streets and access drives shall include a variety of materials and design elements as depicted on Exhibit F – Elevations.
- d. Exterior material percentage calculations shall be exclusive of all doors, windows, fascia, roofing, dormers, and areas contained within covered porches.

7. **Residential Adjacency Standards.** UDC Section 2.09.05 Residential Adjacency Standards shall apply.

8. **Private Recreation Areas.** UDC Section 2.04.07 shall apply, where a minimum of 8% of the gross complex area is required to be provided in the form of private recreation. Note that the requirements of this section are in addition to the park dedication requirements within 3.05.10, Park and Trail Dedications for Residentially Zoned Property.

- a. To meet the Private Recreation requirements, the project includes the areas described in Table C, below.:

Table C - Private Recreation Areas

Private Recreation Areas	Percentage of Gross Complex Area*
Amenitized North Detention Pond (Lot 4X)	21,285 SF (5.80%)
Dog Park (Lot 3X)	4,417 SF (1.20%)
Four (4) Designated Lake Activity Nodes	5,776 SF (1.58%)
TOTAL:	31,478 SF (8.58%)

*Gross Complex Area is exclusive of Quarry Drive right-of-way dedication.

- b. The Lake Activity Nodes shall include, but are not limited to, the amenities presented in Figure 2, below:

Figure 2 - Lake Activity Nodes Amenities:



H-8720

Four (4) 6' Metal Frame Plaza Park Benches
 Supplier: Uline or Equivalent (Item #H-8720)



One (1) ADA Accessible Metal Picnic Table 46" Round
 Supplier: Uline or Equivalent (Item #H-2672)



One (1) Outdoor Park Grill
Supplier: Uline or Equivalent (Item #H-4419)

Note: Americans with Disabilities (ADA) access requirements will be met to the areas as depicted on the Conceptual Site Plan which includes the picnic table, one of two lake observation docks, and the double park bench seating area.

Justification -Developer is seeking to provide .723 acres (31,478 sq. ft.) of amenitized private recreation open space including a landscaped North detention pond area buffer, dog park, picnic area, benches, and two dock outlooks adjacent to a private lake. Developer has dedicated Lake Recreation Lot 1X to comply with the 1 acre per 50 units Park Land/Open Space Dedication of land for the Park Dedication/Open Space requirement under Unified Code Section 3.05.10. 2.690 acres (117,175 sq ft) less the four activity nodes designated as Private Recreation Areas 0.133 Acres (5,776 sq. ft).

90 Units/50 =1.80 Acres minimum Park Land/Open Space Dedication required, 2.690 acres provided with Lake Recreation Lot, Lot 1X.

In addition, developer is providing each residence with a 4' ornamental iron private fenced front yard, totaling 0.723 Acres (31,500 sq.f.t) as well as 0.704 Acres (30,648 sq. ft.) of miscellaneous open space exclusive of Lots 1x, 2x, 3x, 4x, private fenced yards, and paving.

9. **Park and Trail Land Dedication.** UDC Section 3.05.10 requires that **Park and Trail dedication for Residentially Zoned Property** shall be provided at a rate of 1 acre per/50 DU and/or fees-in-lieu-of (or combination). The Applicant intends to satisfy the requirements of this section by providing the following, though there is no dedication to the City of Corinth:
 - a. Developer shall be required to construct an eight-foot (8') wide trail along the entire length of the West side of Parkridge Drive, 685.51' In length (5,484 square feet). The width of this trail may be reduced to a minimum of 5' at time of Site Plan approval, should an alternative design or alignment be required for tree preservation or other purposes and determined to be in the best interest of the City.
 - b. Developer shall be required to construct an eight-foot (8') wide trail along the entire length of the South side of the proposed Quarry Drive, 395.29' in length (3,162 square feet).
 - c. Developer shall be permitted to include the area of the trails constructed (length x width) in the calculation of the acreage required by this section.
 - d. The land area of Lake Recreation Lot 1X – excluding the land area of the four activity nodes contained within that Lot (which are designated as Private Recreation Areas) – shall be included in the calculations to meet the requirements of this section.

The Park and Trail Dedication shall be provided as described in Table D, below:

Table D - Park and Trail Dedication

Park and Trail Dedication	Acreage
8'-wide Trail – Parkridge Drive (L x W)	0.126
8'-wide Trail – Quarry Drive (L x W)	0.072
Lot 1X, not including Activity Nodes	2.359
REQUIRED PARK AND TRAIL DEDICATION (90 UNITS)	1.80
PROVIDED PARK AND TRAIL DEDICATION	2.557

10. **Screening of Outdoor Waste Storage for Nonresidential, Single-Family Attached, and Multi-Family Residential Properties.** UDC Section 4.02.13 shall apply.

- 11. **Lighting and Glare Regulations.** UDC Section 2.09.07 shall apply.
- 12. **Sign Regulations.** UDC Section 4.01 shall apply.
- 13. **Fence and Screening Regulations.** UDC Section 4.02. shall apply, except as modified below:
 - a. Subsection 4.02.11 E, Residential Construction Abuts a Collector or an Arterial Street, shall not apply. Plantings shall be provided as described in Landscape Section above.

Justification:

Developer seeks to face fronts of multi-family “townhome” and “duplex style” dwelling units facing Parkridge Drive and proposed Quarry Drive to create an appealing, open, and inviting feel. All residences will have a minimum 175 square foot wrought iron fenced private front yards with gate. A masonry fence would detract from this warm, open, and inviting presentation. The proposed Collector named “Quarry Drive” is intended to be heavily landscaped & as green and open as possible to create an inviting, open neighborhood feel which encourages walking and neighborhood interaction and connection to City of Corinth’s future trail network. Developer feels masonry screen walls would detract from this open appeal.

- 14. **Access Management.** UDC Section 3.05.04, Access Management, shall apply except as modified below:
 - a. UDC 3.05.04.G 1. Driveway Dimensions and Spacing (City Maintained Roadways), Table 25: Dimensions for Driveways at City Maintained Roadways. Criteria: Minimum Centerline Driveway Spacing Along Roadway, Collector: 150 Feet, shall be modified to 120 feet.

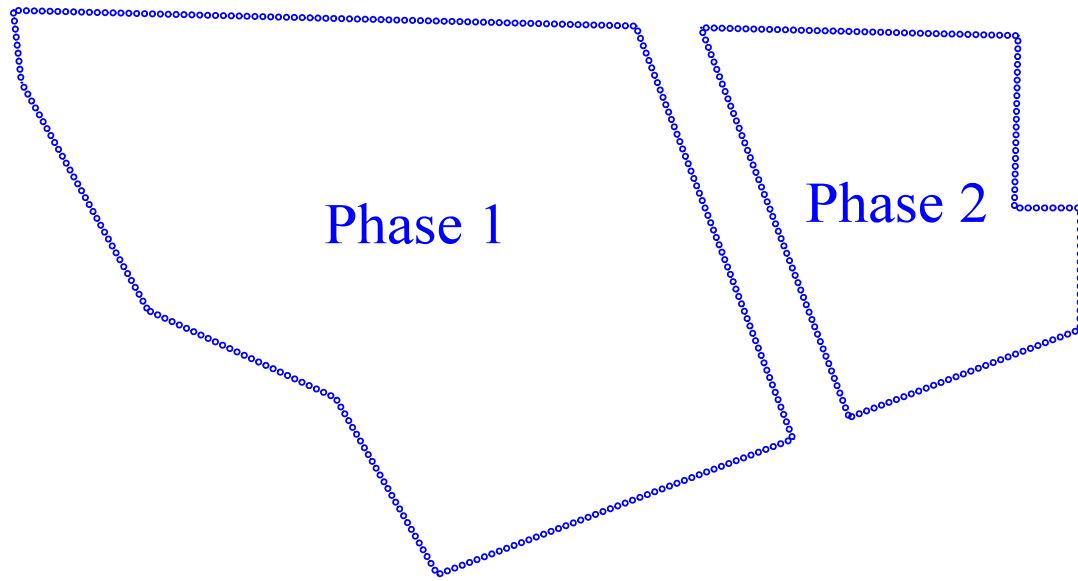
Justification: *Applicant requests a reduction to 120 Feet to accommodate the Proposed Site Driveway design, specifically the first driveway when entering Quarry Drive off of Parkridge Drive. This reduction alleviates the requirement of an accessible gate at these driveway entries.*

- 15. **Miscellaneous Development Standards**
 - a. **Lake Overlook Guardrail.** A Lake Overlook Guardrail shall be installed in the area depicted on Conceptual Landscape Plan Sheet L1/03, and shall consist of the following elements and materials:
 - i. Stone Columns (4) feet minimum in height, spaced (14) feet maximum apart.
 - ii. Horizontal Round Steel Tubing, (4) feet in height.
 - iii. Iron Fence Posts ((3) inch x (3) inch), spaced (6) feet maximum apart.

F. OTHER DEVELOPMENT CONSIDERATIONS:

- 1. **Phasing.** The project shall be constructed in two phases as depicted in Figure F.1.a, below. Construction of Quarry Drive, Lots 1X, 2X and 3X of Phase 1 with associated amenities, and the community mailbox area shall occur in Phase 1. Three (3) 16-unit cluster boxes & One (1) 12-unit cluster box shall be provided in Phase 1 to accommodate Phase 1’s (60) dwelling units.

Figure F.1.a - Phasing



2. Quarry Drive.

- a. Terminus. The actual location of the public street terminus (distance from the property line) and barricade will be determined at time of Site Plan based on a design acceptable to the City Engineer considering public safety and other factors necessary to provide adequate notice of the street terminus until the street becomes a through connection in the future.
- b. On-Street Parking. To provide for traffic calming and to create a complete-street in a pedestrian-oriented design, on-street parking shall be expressly permitted along Quarry Drive, as generally depicted on Exhibit C – PD Concept Plan.

3. Engineering

- a. Project is subject to detailed engineering review at time of site plan.

4. Impacts.

- a. Traffic Impact Assessment is being conducted by the applicant per required traffic threshold worksheet. Developer has contractually engaged Scott P. Israelson, P.E., PTOE of Traffic Impact Group LLC out of Irving, Texas to perform a traffic study.
- b. Drainage and Stormwater Management shall be accomplished with detention ponds and outflows with energy dissipation devices to handle stormwater events per City engineering standards.
- c. No FEMA designated Floodplain exists upon or adjacent to the Property. Although no FEMA regulated floodplain exists on FEMA maps, it is anticipated that the existing pond/lake would be inundated during the 1% storm event. Therefore, the design engineer will perform a hydraulic analysis to ensure proposed structures are not inundated. Additionally, per City drainage requirements, the developer will not discharge more flow than existing conditions. Developer is desiring to preserve and amenitize the natural man-made lake on the South property line for the residents’ enjoyment.
- d. Detention will be accomplished by retaining a naturally existing pond along the South side of the property as well as the addition of a detention basin separately for The Property to the North side of the proposed Major Collector “Quarry Drive.” Developer has been in communication with property owner to the South and has obtained mutual agreement to work together on the needs to address detention and preservation. This detention pond area shall be fully landscaped and

include Two (2) park benches. In addition, grading of the detention pond will be kept to a maximum slope of 4:1 to allow for the residents’ use and enjoyment of this amenity’s open space.

PART 3 - BACKGROUND INFORMATION

A. EXISTING SITE CONDITIONS.

The site is currently does not have public sanitary sewer access. Applicant has met with Acme Brick’s Exploration Geologist Richard Murphy on site and has obtained written confirmation that Acme Brick agrees to provide an easement to the North that allows sanitary sewer service to the Property. **Reference Exhibit I** - Proposed Sanitary Sewer Service Study, source: Matt Kostial, P.E., Oracle Engineering.

Offsite estimated 8” public Sanitary Sewer will have to be brought to the site an approximate distance of 315 Linear feet requiring the addition of 3 manholes as well as a street crossing.

The site presents difficult topographic challenges as well as natural water features the developer wishes to preserve. The site possesses grade differences in some areas in excess of 30’. In working with staff recommendations, applicant has consolidated the “footprint” of his development to take advantage of existing natural features and topography to provide for a more aesthetically interesting development. The second entry into the development off of Parkridge drive is now designed to become a lake overlook with an elevated bridge effect as conceptually depicted in the below rendering with sidewalk, stone and ornamental iron fence permeation.

The entire fire lane is placed adjacent to open space preserving views to the sloping topography toward the lake. Benches, a community picnic and grill area, two lake lookout docks with benches are proposed for enjoyment of the residents. This creative approach to the site has been realized based upon recommendations by City staff which developer appreciates and wants to recognize.



Conceptual Natural Lake Overlook upon secondary entry to Project off Parkridge



Source: Denton County GIS Landmark Interactive Map

As previously mentioned, the proposed development site is entirely encompassed to the East by Lake Dallas High School’s main campus parking lot and stadium. It is common to hear the marching band practicing in the parking lot during football season. Lake Dallas High School is currently undergoing major expansion and renovations.

Immediately to the West and North is an active Acme Brick Clay Mine expected to remain active for at least the next forty years according to Acme Brick’s Exploration Geologist Richard Murphy, a Corinth, Texas resident.



Band Practice, Lake Dallas High School Parking Lot, photo source: <https://www.facebook.com/LDFalconBand/photos>

The site currently fronts the West side of Parkridge Drive, a Major Collector, and the developer is being asked to dedicate a large portion of land for and construct a new Major Collector through this site to provide a future second point of access to the undeveloped Acme Brick Clay Mine Site at Developer’s sole expense.

A natural pond exists on the South side of the Property the developer intends to keep, utilize for detention and develop as an attractive natural feature within the development.

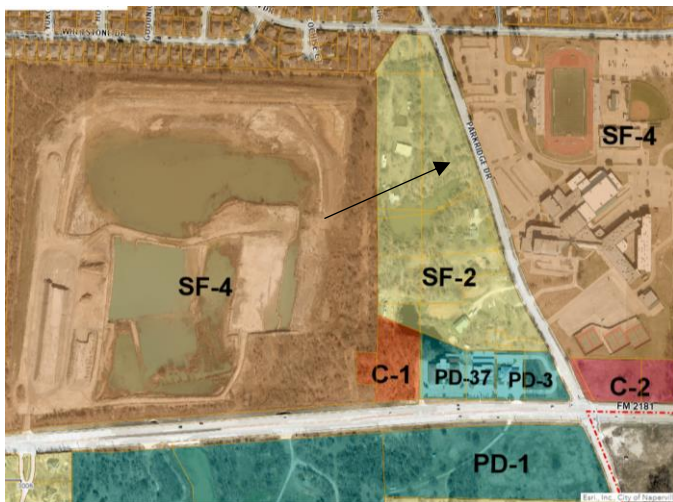
As required per code, developer has contractually engaged Scott P. Israelson, P.E., PTOE of Traffic Impact Group LLC out of Irving, Texas to perform a traffic impact analysis (TAI) for a traffic study developer is seeking to comply with City’s requirement. Developer and City Staff mutually desire to create as safe of a traffic relationship as possible with the adjacent High School.

In addition to the challenging site topography, the site is heavily treed. The developer is proposing to devote a large portion of the site to public open space not traditionally seen in traditional developments.

Developer’s current plan devotes 31,478 square feet of recreation space, a ratio of 1 acre per 50 dwelling units, in addition to 31,500 square feet of private fenced yards which include a 4,417 sq. ft. fenced Dog Park, Amenitized North Detention Pond Lot with Seating Benches, and Four (4) Designated Activity Nodes to take advantage of the existing natural Lake. In addition, 30,648 square feet of miscellaneous open space is provided for the enjoyment of all residents. In contrast to traditional zoning categories, this provides a significant amount of public useable space and encourages neighbor interaction and usage not found within traditional neighborhoods. This unique usage of the site possesses beautiful natural features that are preserved for all residents in lieu of a select few having access to them.

B. CURRENT ZONING.

The site is currently zoned SF-2 and was used as single-family residences for many years by Mr. & Mrs. William Annesser, who had owned the Property since February, 1977, approximately 44 years. Mr. Annesser, widowed, recently passed away and the Property has been marketed and offered for sale for some time. Mr. & Mrs. John Arnold have owned the 3.759-acre Property directly to the South also zoned SF-2 since 2006, approximately 15 years. Mr. Arnold passed away recently as well and Ms. Dianne Arnold is contemplating selling her Property as well. She was already contemplating this prior to developer’s desire to acquire and develop the Property to her North.



Source: Source: [Corinth GIS Zoning Map](#)

The existing zoning on the subject site permits the following:

Existing R-2 Zoning Dimensional Regulations:	
Minimum Front Yard Setback	25'

Minimum Side Yard Setback:	15'
Interior Lot	
Corner Lot	25'
Minimum Rear Yard Setback	20'
Minimum Lot Area	14,000 sq. ft.
Maximum Density	
Minimum Lot Width:	100'
Minimum Lot Depth	110'
Minimum Floor Area	2,000 sq. ft.
Maximum Height (feet/stories)	35' / 2 ½ (50' with Additional Setback)
Maximum Building Area (all buildings)	30%
Other:	

C. **FUTURE LAND USE.** The developer is proposing a future land use of for sale “duplex” condominium project for individual sale. Developer is attempting to provide an affordable option to people unable to afford large single-family homes yet do not desire to rent nor live in traditional apartment communities.

Rapidly increasing North Texas home prices are pricing many first-time home buyers out of home ownership. Many traditional single-family homes were built in North Texas over the last several decades as the traditional family unit has changed dramatically. More single households exist than ever before, baby boomers are transitioning to smaller, more cost-effective living alternatives, yet still demand privacy and luxury residences.

All residences will possess attached one and two-car garages as well as private fenced yards, not typically offered by traditional apartment communities. Purchasers will be allowed to upgrade and customize their homes as well. Exterior maintenance will be provided and managed by a Home Owner’s Association.

Developer has produced a successful array of these type of for sale developments in and around the Metroplex and has many years of successful Projects for review. Developer has developed and constructed thousands of residential dwellings and hundreds of similar for-sale communities throughout DFW since 1997.



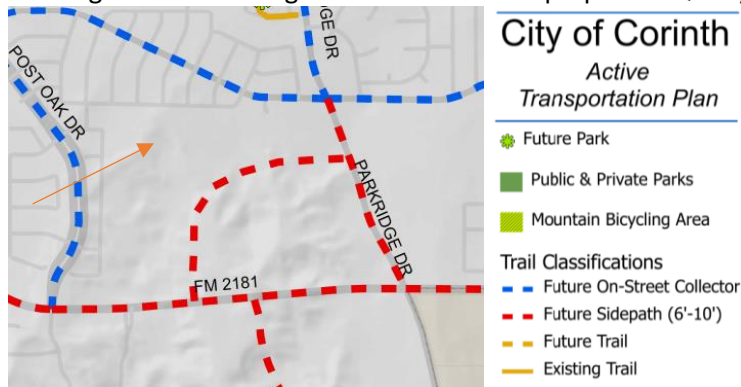
Source: [Envision Corinth 2040 Comprehensive Plan \(Adopted July 2020\)](#)

1. **Mobility – Master Thoroughfare Plan.** (DESCRIBE **MOBILITY CONCEPTS** THAT ARE IDENTIFIED FOR YOUR PROJECT HERE (AS APPLICABLE))



Source: [Envision Corinth 2040 Comprehensive Plan - Master Thoroughfare Plan \(Adopted July 2020\)](#)

2. **Mobility – Active Transportation Plan.** Walkable Trails are planned along both the West side of Parkridge Drive and along the North side of the proposed “Quarry Drive”



Source: Active Transportation Plan. <https://www.cityofcorinth.com/gis/page/printable-maps>

D. **PARK, RECREATION AND OPEN SPACE MASTER PLAN** (DESCRIBE WHAT IS ENVISIONED FOR THE SUBJECT SITE WITH REGARD TO PARKS AND RECREATION – HOW DOES THE PARK, RECREATION, AND OPEN SPACE PLAN FURTHER OR SUPPORT YOUR REZONING REQUEST.

The Proposed Quarry Multifamily development will provide 8’ Trails along the West side of Parkridge Drive as well as the North side of the Proposed Quarry drive to connect to future trail system as Corinth’s walkable trail system develops in the future.

The openness of developer’s plan provides a “walkable” community as the common grounds are HOA owned. In addition, all dwellings will possess individual, fenced, private yards.

Source: [Envision Corinth 2040 Park, Recreation and Open Space Plan \(Adopted September 2020\)](#)

SECTION 4 - SUPPORTING APPLICATION DOCUMENTS (PROVIDE EXHIBITS TO SUPPORT REVIEW OF PROPOSED PROJECT TYPE)

- A. Exhibit A – Legal description (Include an overall description for acreage being rezoned)
- B. Exhibit B – Proposed Zoning Map Change (SF-2 to PD with base zoning district of MF-1)
- C. Exhibit C – PD Concept Plan
- D. Exhibit D – Existing Site Conditions (include an aerial with project layout overlay)
- E. Exhibit E – Conceptual Landscape Plan

- F. Exhibit F – Architectural Product Elevations
- G. Exhibit G – Parking Study/Comparisons Chart
- H. Exhibit H – Traffic Impact Assessment
- I. Exhibit I – Proposed Sanitary Sewer Service Study, source: Matt Kostial, P.E., Oracle Engineering
- J. Exhibit J – Site’s Existing Topography
- K. Exhibit K – Shaded Open Space Exhibit
- L. Exhibit L – Letters of Support Obtained by Applicant

Exhibit A-Metes & Bounds

PROPERTY DESCRIPTION

BEING a 392,365 square foot (9.007 acre) tract of land situated in the B.B.B. & C.R.R. Survey, Abstract No. 153, the M.E.P. & P.R.R. Survey, Abstract No. 915, the E. Marsh Survey, Abstract No. 833, and the Brooks Beall Survey, Abstract No. 58, same being those certain tracts of land conveyed to WILLIAM ANNESSER & Joan Annesser by Deed recorded in Volume 823, Page 128, Deed Records, Denton County, Texas, and WILLIAM L. ANNESSER & JOAN H. ANNESSER by Deed recorded in Volume 2315, Page 131, Deed Records, Denton County, Texas, and 1.128 acres out of those certain tracts of land conveyed to John B. Arnold by Deed recorded in Instrument Number 2006-34327, Deed Records, Denton County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1" Pipe Found at the northeast corner of said B.B.B. & C.R.R. Survey, Abstract No. 153 and the northwest corner of said M.E.P. & P.R.R. Survey, Abstract No. 915, same being in the south line of said Brooks Beall Survey, Abstract No. 58, from which a Concrete Monument bears North 39 degrees 49 minutes 40 seconds East, for 0.35 feet;

THENCE South 88 degrees 44 minutes 57 seconds East, along said south line, for a distance of 171.53 feet, to a Wooden Post Found, from which a 36" Oak Tree bears South 50 degrees 21 minutes 36 seconds, for 1.89 feet, same being the west line of said Brooks Beall Survey, Abstract No. 58, further being the east line of aforementioned E. Marsh Survey, Abstract No. 833;

THENCE North 00 degrees 05 minutes 24 seconds West, along said east and west lines, for a distance of 65.90 feet, to a 5/8" Iron Rod with Purple Plastic Cap Stamped, "RPLS 6451" Set for the most northern northwest corner of the herein described tract of land;

THENCE South 89 degrees 49 minutes 13 seconds East, for a distance of 121.00 feet, to a 5/8" Iron Rod with Purple Plastic Cap Stamped, "RPLS 6451" Set for the northeast corner of the herein described tract of land, same being in the westerly line of Parkridge Drive;

THENCE South 20 degrees 51 minutes 38 seconds East, along said Parkridge Drive, for a distance of 685.51 feet, to a 5/8" Iron Rod with Purple Plastic Cap Stamped, "RPLS 6451" Set for the southeast corner of the herein described tract of land, from which a 1/2" Iron Rod bears, North 20 degrees 51 minutes 38 seconds West, for 7.50 feet;

THENCE South 59 degrees 59 minutes 36 seconds West, departing said Parkridge Drive, for a distance of 203.15 feet;

THENCE South 24 degrees 59 minutes 38 seconds West, for a distance of 206.32 feet;

THENCE South 60 degrees 53 minutes 16 seconds West, for a distance of 259.45 feet;

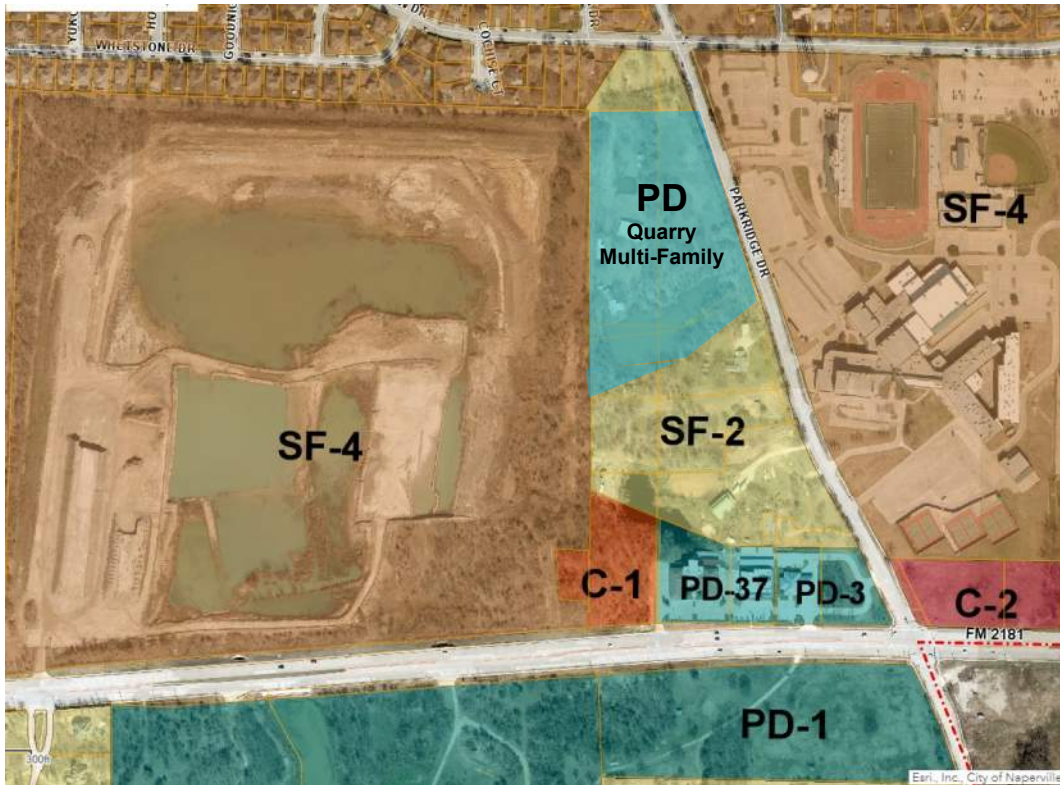
THENCE South 83 degrees 30 minutes 36 seconds West, for a distance of 72.42 feet, to a 5/8" Iron Rod with Purple Plastic Cap Stamped, "RPLS 6451" Set for the corner of the herein described tract of land.

THENCE North 01 degrees 26 minutes 33 seconds East, for a distance of 1,002.13 feet, to the POINT OF BEGINNING and containing 392,365 square feet or 9.007 acres of land, more or less.

Exhibit B. -Proposed Zoning Map Change (SF-2 to PD with MF-1 Base)



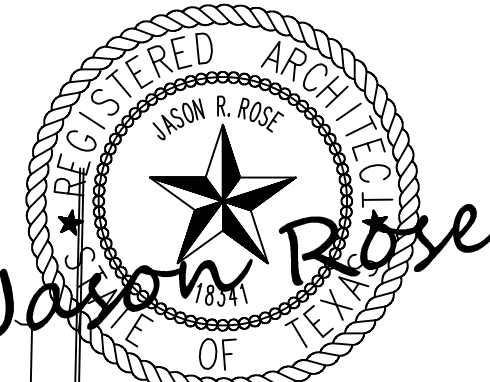
Existing Zoning Map



Proposed Zoning Map Change



J Rose Architects & Planners
2120 Cosmos Way
Argyle, TX 76226
(214) 454-7895 T.
jason@jrosearchitect.com



2-13-2023

Consultants:

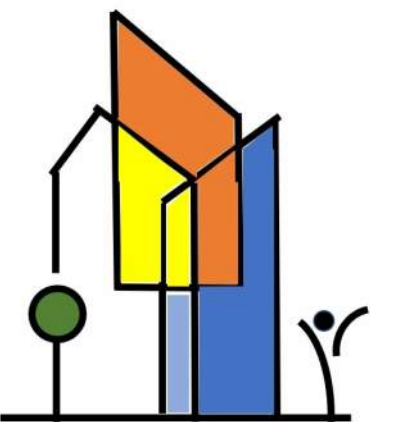
Civil Engineer:
Oracle Engineering
Matt Kostial, P.E.
2204 Green Hill Drive
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(214) 226-5325 Tel.
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Geotechnical Engineer:
Rone Engineering
Mark D. Gray, P.E.
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Dallas, TX 75247 Tel.
(214) 630-9745 Tel.
mgray@roneengineers.com

Project Title:

Quarry



3000 Parkridge Dr.
Corinth, TX 76201

Sheet Title:

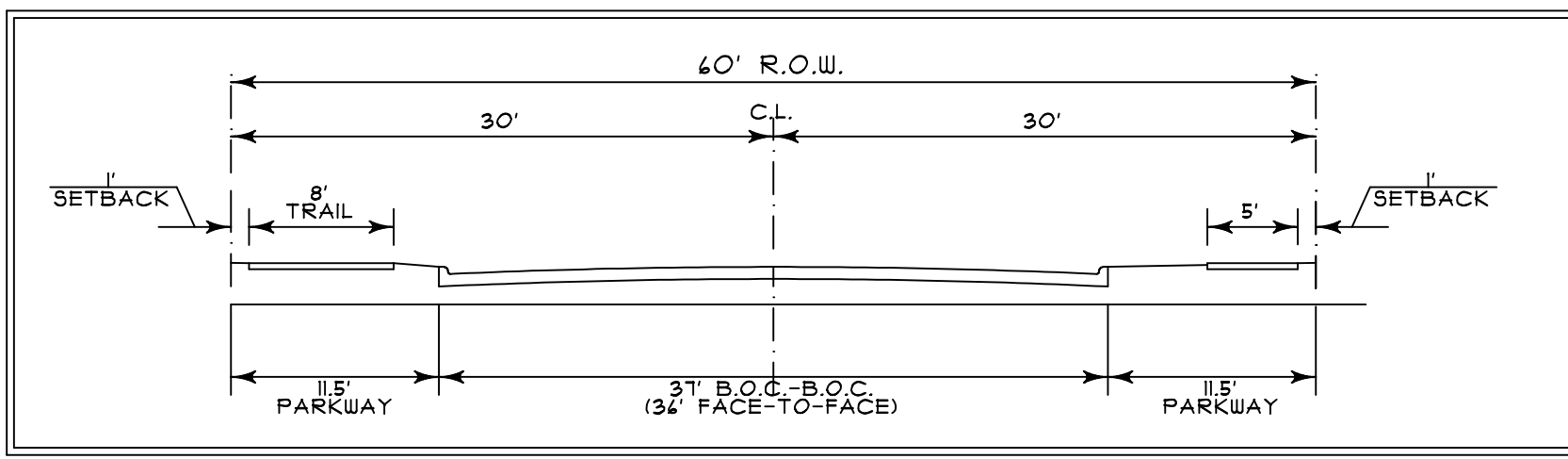
PD Concept Plan
Exhibit C

Drawn by: JRR
Date Created: 2-13-2023

SHEET

A0

Revised on: 2-13-2023



FIRE SERVICE NOTES

- 2018 INTERNATIONAL FIRE CODE, APPENDIX D, DIO.1 MULTI-FAMILY RESIDENTIAL PROJECTS HAVING MORE THAN 100 DWELLING UNITS SHALL BE EQUIPPED THROUGHOUT WITH TWO SEPARATE AND APPROVED FIRE APPARATUS ACCESS ROADS.*
- PROJECTS HAVING UP TO 200 DWELLING UNITS SHALL HAVE NOT FEWER THAN ONE APPROVED FIRE APPARATUS ACCESS ROAD WHERE ALL BUILDINGS INCLUDING NONRESIDENTIAL OCCUPANCIES, ARE EQUIPPED WITH AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM.*
- MAXIMUM BUILDING HEIGHT SHALL NOT EXCEED 30'.

CONCEPT PLAN NOTES

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL FINAL ROAD ALIGNMENTS, EASEMENTS, BUILDING LOCATIONS, APERTITIES TO BE DETERMINED AT THE SITE PLAN PROCESS AND SHALL BE IN CONFORMANCE AS DEPICTED HEREIN (EXHIBIT "PD CONCEPT PLAN").
- ALL STANDARD PARKING SPACES TO BE 9'X18'.
- ALL PARALLEL PARKING SPACES TO BE 8'X22'.
- ALL PUBLIC TRAIL/SIDEWALK LOCATED ON PRIVATE PROPERTY TO BE LOCATED IN A PEDESTRIAN ACCESS EASEMENT.
- FINAL LANDSCAPE ALONG PARKRIDGE & QUARRY SHALL CONFORM TO APPLICABLE SITE DISTANCE VISIBILITY CRITERIA FOR PROPOSED ACCESS LOCATION.
- CONDOMINIUM AND/OR HOA DOCUMENTS SHALL REQUIRE RESIDENTS TO KEEP GARAGES FREE OF OBSTRUCTIONS AND REQUIRE RESIDENTS UTILIZE SUCH GARAGE PARKING IN ORDER TO MAINTAIN ACCESS TO GUEST PARKING.
- HOA WILL OFFER TRASH VALE PICKUP SERVICES FOR RESIDENTS A MINIMUM OF ONCE PER WEEK.

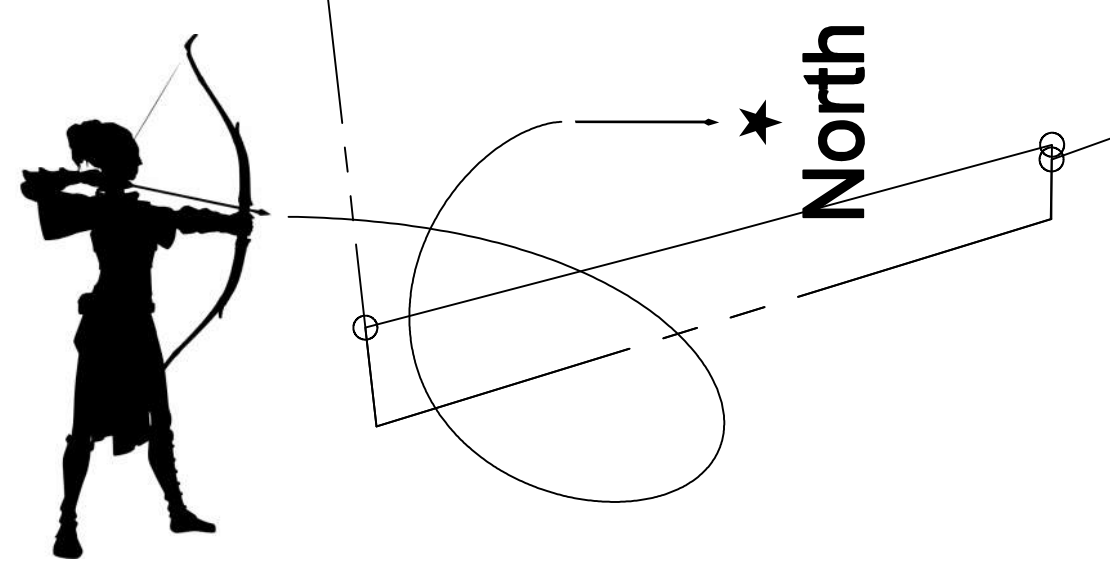
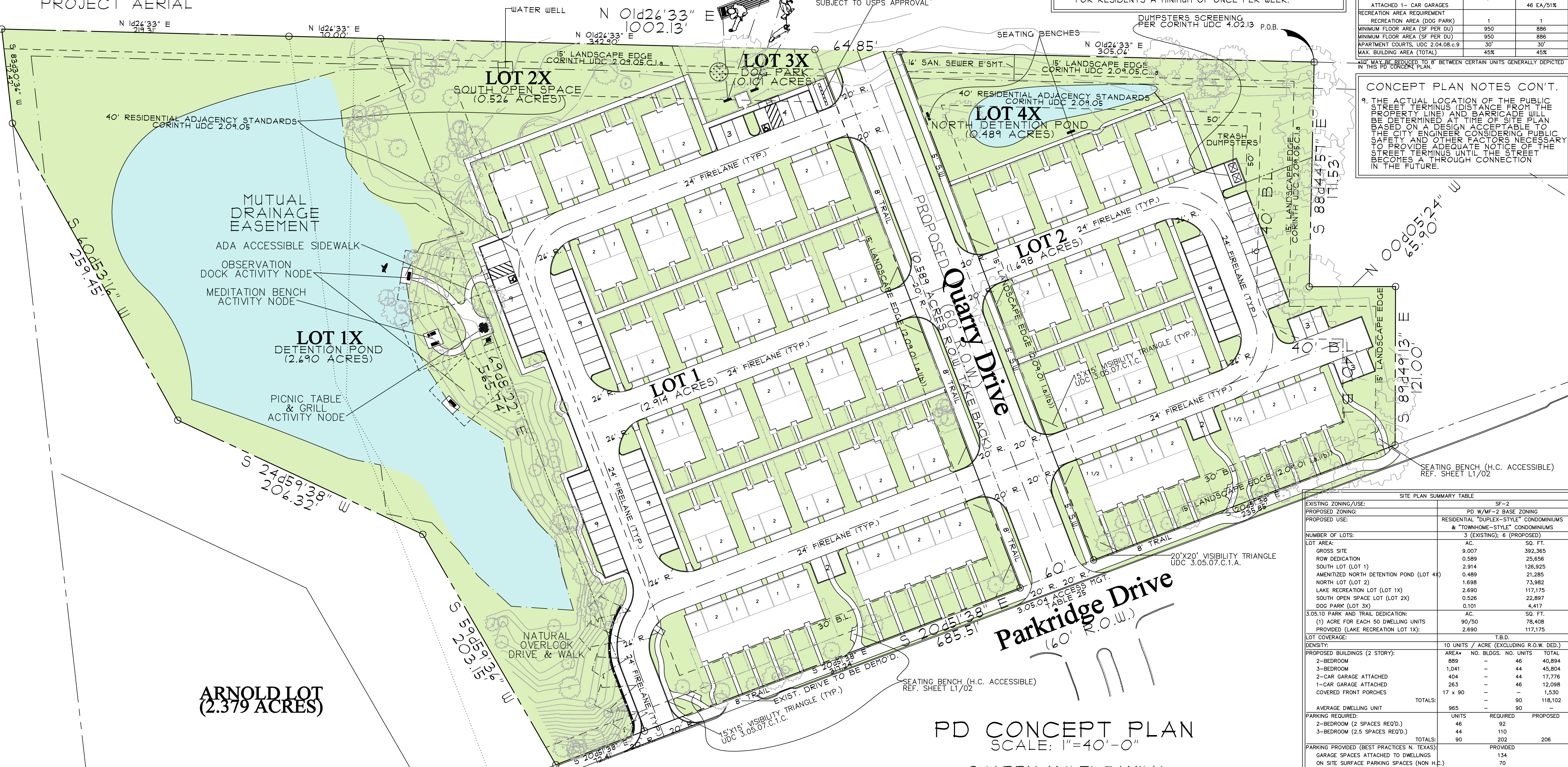
ZONING COMPARISON TABLE

	BASE MF-2	PROP. PD
MINIMUM SETBACKS		
FRONT YARD	30'	30'
SIDE YARD	30'	30'
INTERIOR LOT CORNER LOT	30'	15'
BETWEEN BUILDINGS	30'	10'
REAR YARD	40'	30'
RESIDENTIAL ADJACENCY STAND. GARAGE	75% 1-Car Covered	100% 1 or 2 Car
MINIMUM LOT DIMENSIONS		
LOT AREA (SF)	25,000	25,000
LOT WIDTH	200'	200'
LOT DEPTH	200'	200'
DENSITY (MAX. DU/A)	14	10.97
MINIMUM ATTACHED 1-CAR GARAGE		
ATTACHED GARAGES PER UNIT	75%	100%
ATTACHED 1-CAR GARAGES	N/R	44 EA/49% 46 EA/51%
RECREATION AREA REQUIREMENT		
RECREATION AREA (DOG PARK)	1	1
MINIMUM FLOOR AREA (SF PER DU)	950	886
MINIMUM FLOOR AREA (SF PER DU)	950	886
APARTMENT COURTS, UDC 2.04.08.c.9	30'	30'
MAX. BUILDING AREA (TOTAL)	45%	45%

*DU MAY BE REDUCED TO 8' BETWEEN CERTAIN UNITS GENERALLY DEPICTED IN THIS PD CONCEPT PLAN.

CONCEPT PLAN NOTES CON'T.

- THE ACTUAL LOCATION OF THE PUBLIC STREET TERMINUS (DISTANCE FROM THE PROPOSED DRIVE LINE) AND BARRELS WILL BE DETERMINED AT TIME OF SITE PLAN BASED ON A DESIGN ACCEPTABLE TO THE CITY ENGINEER CONSIDERING TRAFFIC SAFETY AND OTHER FACTORS NECESSARY TO PROVIDE ADEQUATE NOTICE OF THE STREET TERMINUS UNTIL THE STREET BECOMES THROUGH CONNECTION IN THE FUTURE.



OWNER/DEVELOPER:
Rockbrook Development LLC
2104 Cosmos Way
Argyle, Texas 76226
Tel. No. (214) 454-7895
Contact: Jason Rose
jason@jrosearchitect.com

PHASING PARKING SUMMARY

PHASE 1		PHASE 2	
PARKING REQUIRED:	UNITS REQUIRED	UNITS	REQUIRED
2-BEDROOM (2 SPACES REQ'D.)	30	16	32
3-BEDROOM (2.5 SPACES REQ'D.)	30	14	35
TOTALS:	60	30	67
PARKING PROVIDED (BEST PRACTICES N. TEXAS):	PROVIDED		
GARAGE SPACES ATTACHED TO DWELLINGS	90		
ON-SITE SURFACE PARKING SPACES (NON H.C.)	43		
HANDICAP PARKING STALL(S)	2		
TOTAL PARKING PROVIDED:	135		
PARKING SPACES PER UNIT CALCULATION	(135/60) = 2.25		
PHASE 2		PHASE 1	
PARKING REQUIRED:	UNITS REQUIRED	UNITS	REQUIRED
2-BEDROOM (2 SPACES REQ'D.)	16	30	60
3-BEDROOM (2.5 SPACES REQ'D.)	14	30	75
TOTALS:	30	60	135
PARKING PROVIDED (BEST PRACTICES N. TEXAS):	PROVIDED		
GARAGE SPACES ATTACHED TO DWELLINGS	44		
ON-SITE SURFACE PARKING SPACES (NON H.C.)	27		
HANDICAP PARKING STALL(S)	0		
TOTAL PARKING PROVIDED:	71		
PARKING SPACES PER UNIT CALCULATION	(71/30) = 2.37		

A0833A E. MARSH, TR 21, 4.99 ACRES, OLD DCAD TR #1A
A0915A MEP & PRR, TR 6, 2.34 ACRES, OLD DCAD TR #3A(1)
A0915A MEP & PRR, TR 7A, 1.633 ACRES, (SURVEY: 7.623 ACRES)

1.385 ACRES OUT OF:
A0833A E MARSH, TR 23(PT), 2.5944 ACRES, OLD DCAD TR #1A(2)&8A
A0833A E MARSH, TR 22, 1.8 ACRES, OLD DCAD TR #1A(4)
A0915A MEP & PRR, TR 7, 1.9261 ACRES, OLD DCAD TR #3A(1A)

CITY OF CORINTH,
DENTON COUNTY, TEXAS

January 23, 2023

SITE PLAN SUMMARY TABLE

EXISTING ZONING/USE:	SF-2
PROPOSED ZONING: <td>PD W/MF-2 BASE ZONING</td>	PD W/MF-2 BASE ZONING
PROPOSED USE: <td>RESIDENTIAL "DUPLEX-STYLE" CONDOMINIUMS & "TOWNHOME-STYLE" CONDOMINIUMS</td>	RESIDENTIAL "DUPLEX-STYLE" CONDOMINIUMS & "TOWNHOME-STYLE" CONDOMINIUMS
NUMBER OF LOTS: <td>3 (EXISTING); 6 (PROPOSED)</td>	3 (EXISTING); 6 (PROPOSED)
LOT AREA: <td>AC. SQ. FT.</td>	AC. SQ. FT.
GROSS SITE	9,007 392,365
ROW DEDICATION	0,589 25,656
SOUTH LOT (LOT 1)	2,914 126,925
AMENITIZED NORTH DETENTION POND (LOT 4X)	0,489 21,285
NORTH LOT (LOT 2)	1,698 73,982
LAKE RECREATION LOT (LOT 1X)	2,690 117,175
SOUTH OPEN SPACE LOT (LOT 2X)	0,526 22,897
DOG PARK (LOT 3X)	0,101 4,417
3.05.10 PARK AND TRAIL DEDICATION:	AC. SQ. FT.
(1) ACRE FOR EACH 50 DWELLING UNITS	90/50 78,408
PROVIDED (LAKE RECREATION LOT 1X):	2,690 117,175
LOT COVERAGE:	T.B.D.
DENSITY:	10 UNITS / ACRE (EXCLUDING R.O.W. DED.)
PROPOSED BUILDINGS (2 STORY):	AREA* NO. BLDGS. NO. UNITS TOTAL
2-BEDROOM	889 - 46 40,894
3-BEDROOM	1,041 - 44 45,804
2-CAR GARAGE ATTACHED	404 - 44 17,776
1-CAR GARAGE ATTACHED	263 - 46 12,098
COVERED FRONT PORCHES	17 x 90 - 90 11,530
AVERAGE DWELLING UNIT	TOTALS: 965 - 90 118,102
PARKING REQUIRED:	UNITS REQUIRED PROPOSED
2-BEDROOM (2 SPACES REQ'D.)	46 92
3-BEDROOM (2.5 SPACES REQ'D.)	44 110
TOTALS:	90 202 206
PARKING PROVIDED (BEST PRACTICES N. TEXAS):	PROVIDED
GARAGE SPACES ATTACHED TO DWELLINGS	134
ON-SITE SURFACE PARKING SPACES (NON H.C.)	70
HANDICAP PARKING STALL(S)	2
TOTAL PARKING PROVIDED:	206
PARKING SPACES PER UNIT CALCULATION	(206/90) = 2.29
ATTACHED COVERED GARAGE SPACES PER UNIT:	29,337 8%* (SF, %)
PRIVATE RECREATION SPACE PROVIDED:	
AMENITIZED NORTH DETENTION POND (4X)	21,285 5.80%* (SF, %)
DOG PARK (LOT 3X)	4,417 1.77%* (SF, %)
DESIGNATED LAKE ACTIVITY NODES X4	5,776 1.58%* (SF, %)
TOTALS:	31,478 8.58%* (SF, %)
OPEN SPACE PROVIDED:	
LAKE RECREATION LOT DEDICATED LOT (1X)	117,175 31.95%* (SF, %)
SOUTH RECREATION LOT (2X)	22,897 6.24%* (SF, %)
MISC. COMMUNITY OPEN SPACE 1	32,723 8.92%* (SF, %)
TOTALS:	172,795 47.11%* (SF, %)
PRIVATE RECREATION SPACE PROVIDED:	
FENCED PRIVATE YARDS:	31,500 8.59%* (SF, %)
LANDSCAPE AREA:	230,025 62.73%* (SF, %)
IMPERVIOUS AREA:	136,684 37.27%* (SF, %)
LOADING SPACE:	NOT REQUIRED
OUTSIDE STORAGE:	NONE PROPOSED

*PERCENTAGE IN RELATIONSHIP TO "NET" SITE = 366,709 SF

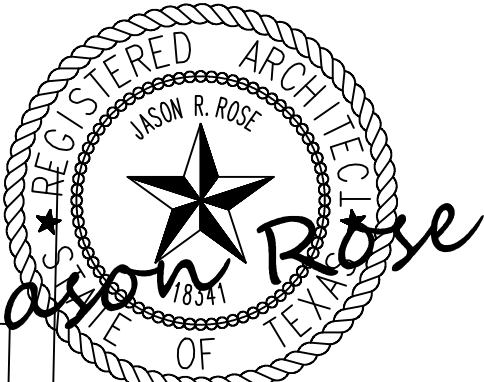
1. MISCELLANEOUS OPEN SPACE IS EXCLUSIVE OF PAVED AREA.

Exhibit D - Existing Site Conditions (Aerial with project layout overlay)





J Rose Architects & Planners
2120 Cosmos Way
Argyle, TX 76226
(214) 454-7895 T.
jason@jrosearchitect.com



2-13-2023

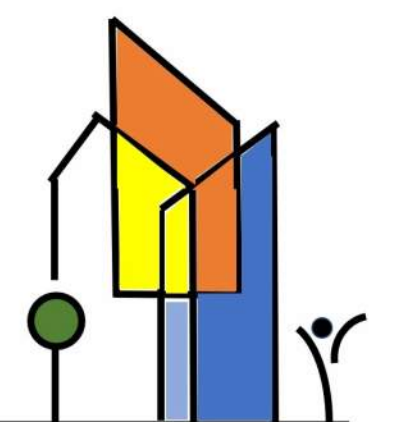
Consultants:

Civil Engineer:
Oracle Engineering
Matt Kostial, P.E.
2204 Green Hill Drive
McKinney, TX 75070
(214) 226-5325 Tel.
mattkostial@sbcglobal.net

Surveyor:
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Dustin Davison, R.P.L.S.
2112 Blackfoot Trail
Mesquite, TX 75149
(214) 317-0685 Tel.
dustin@dueneslandsurveying.com

Geotechnical Engineer:
Rone Engineering
Mark D. Gray, P.E.
8908 Ambassador Row
Dallas, TX 75247 Tel.
(214) 630-9745 Tel.
mgray@roneengineers.com

Project Title:
Quarry



3000 Parkridge Dr.
Corinth, TX 76201

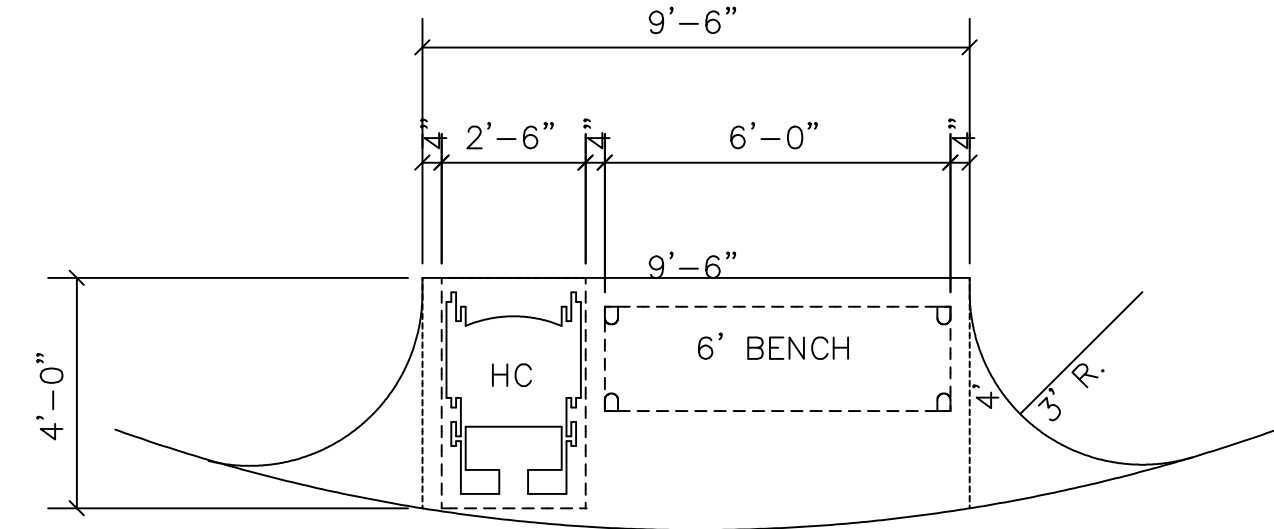
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Conceptual Landscape Plan

Drawn by: JRR
Date Created: 2-13-2023

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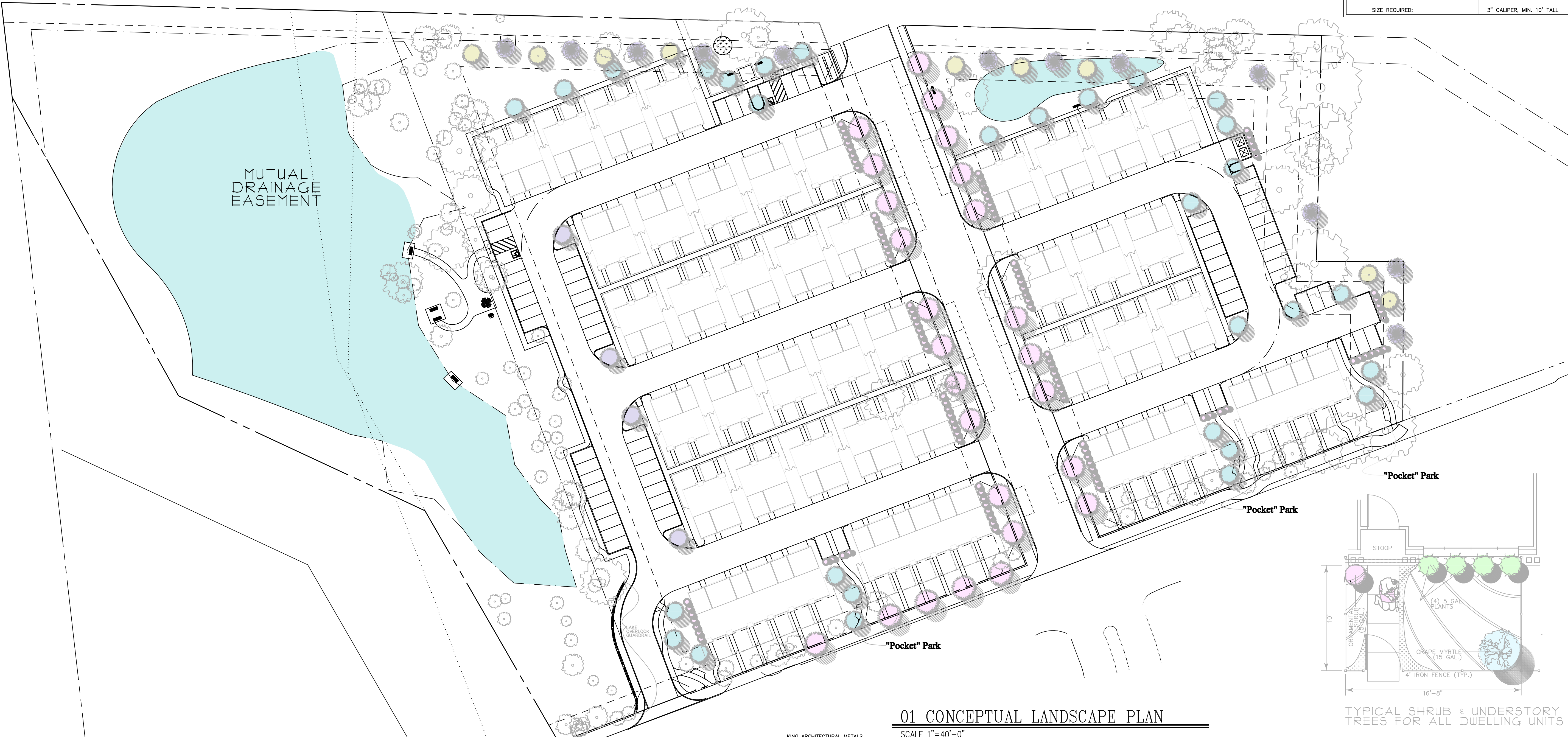
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Revised on: 2-13-2023

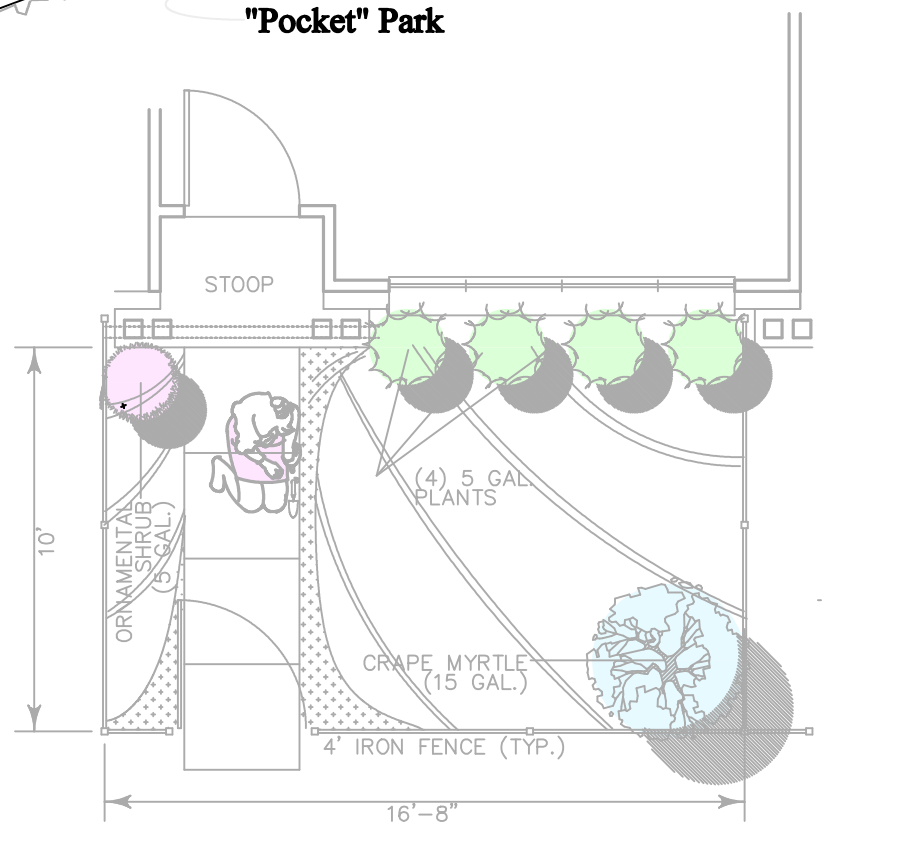


02 HANDICAP ACCESSIBLE SEATING BENCH AREA (TYP.)
SCALE: 1" = 1'-0"

LANDSCAPE TABLE	
SOURCE: CORINTH UDC 2.09.01. - LANDSCAPING REGULATIONS	
LANDSCAPE BUFFER WIDTH ADJACENT TO COLLECTOR STREET	15'
LANDSCAPE EDGE TREES REQUIRED	SPACED EVERY 30' WHERE PRACTICAL 3" CALIPER 25 PROVIDED*
SIZE REQUIRED:	
SHRUB BUFFER FOR PARKING LOTS AND DRIVES WHERE ADJACENT TO THE LANDSCAPE EDGE	CONTIGUOUS 5 GALLON
TWENTY SQUARE FEET OF LANDSCAPING PER 20 PARKING SPACE INCLUDING ONE 3" CAL. TREE	72 SURFACE PARKING SPACES 4 SHADE TREES REQUIRED 4 SHADE TREES PROVIDED
ONE 3" CAL. SHADE TREE PER 1,000 SQFT OF REQUIRED OPEN SPACE	29,337 SF/1,000 = 30 3" CAL. SHADE TREES 30 REQUIRED/30 PROVIDED
DOUBLE ROW OF TREES OFFSET FIFTY (50) FEET PLANTED IN FIFTEEN (15) FOOT LANDSCAPE EDGE	PROVIDED: 9 DECIDUOUS 11 EVERGREEN
FIFTY PERCENT (50%) OF THE TREES TO BE LARGE EVERGREEN TREES.	
2.09.05.C.1.a. RESIDENTIAL ADJACENCY STANDARDS WHERE NOT IN CONFLICT WITH EXISTING TREES	
SIZE REQUIRED:	3" CALIPER, MIN. 10' TALL

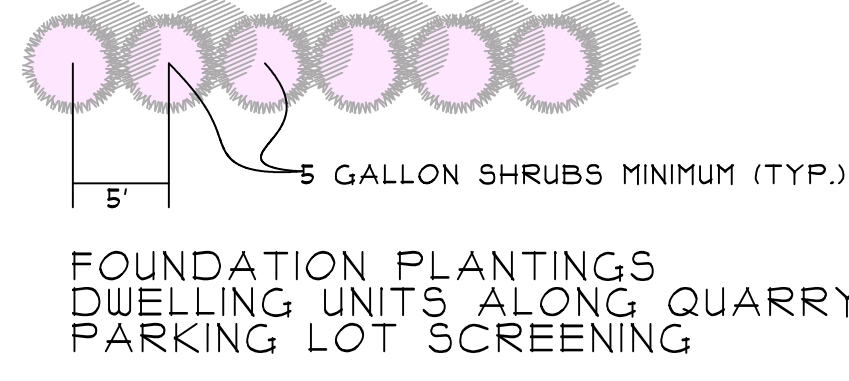


01 CONCEPTUAL LANDSCAPE PLAN
SCALE 1"=40'-0"

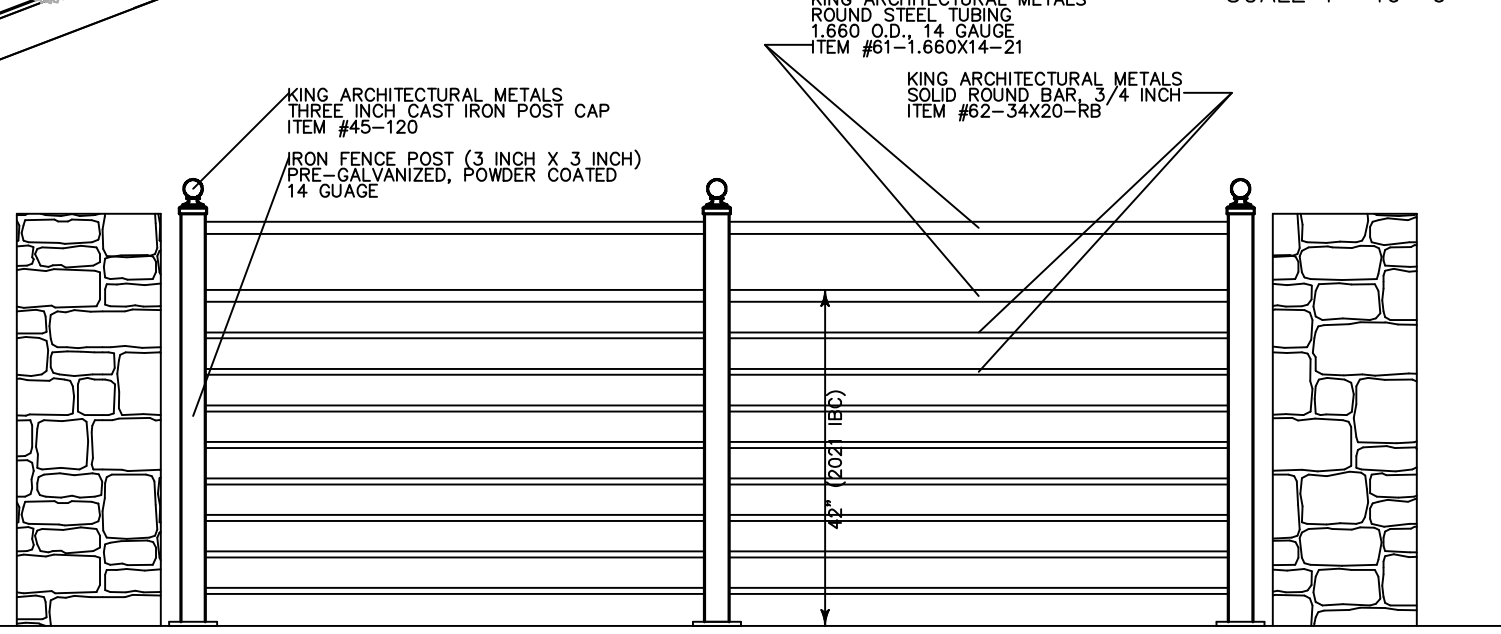


TYPICAL SHRUB & UNDERSTORY TREES FOR ALL DWELLING UNITS

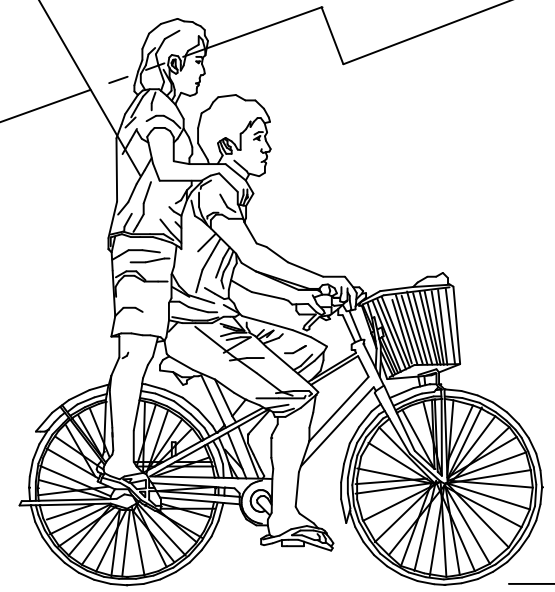
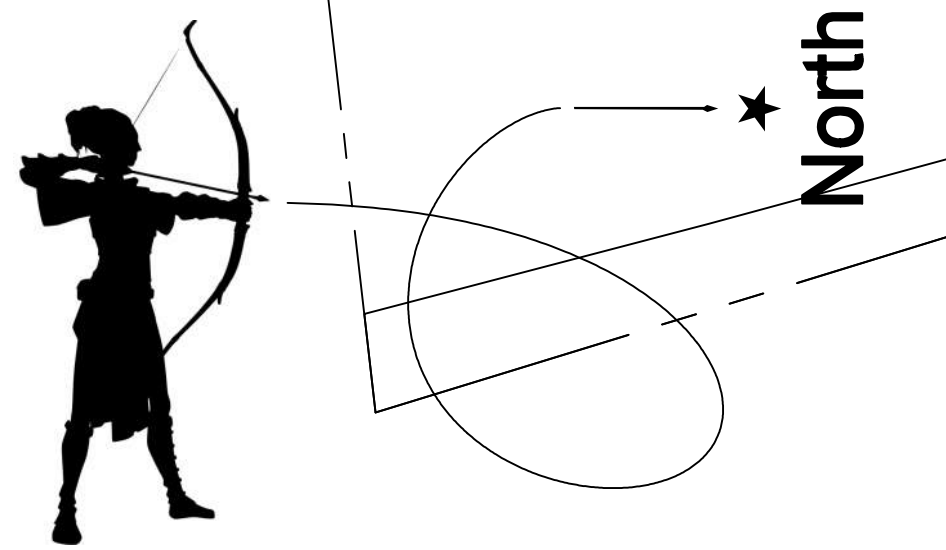
- 3" CAL. DECIDUOUS SHADE TREE ADJACENT TO COLLECTOR STREET(S)
- 3" CAL. DECIDUOUS SHADE TREE (50% 15' LANDSCAPE EDGE REQUIREMENT) 9 EA
- 3" CAL. EVERGREEN TREE (50% 15' LANDSCAPE EDGE REQUIREMENT) 11 EA
- 3" CAL. SHADE TREE PER 1,000 SF OF OPEN SPACE REQUIREMENT 29,337/1,000 = 30 EA
- 3" CAL. SHADE TREE PER 20 PARKING LOT SPACES 12/20 = 4 EA



FOUNDATION PLANTINGS DWELLING UNITS ALONG QUARRY PARKING LOT SCREENING



03 LAKE OVERLOOK GUARDRAIL DETAIL
SCALE 1/2" = 1'-0"





ACME BRICK KINGSIZE COLOR: "WINTERSTONE"



ACME BRICK KINGSIZE COLOR: "WHITE SAGE"

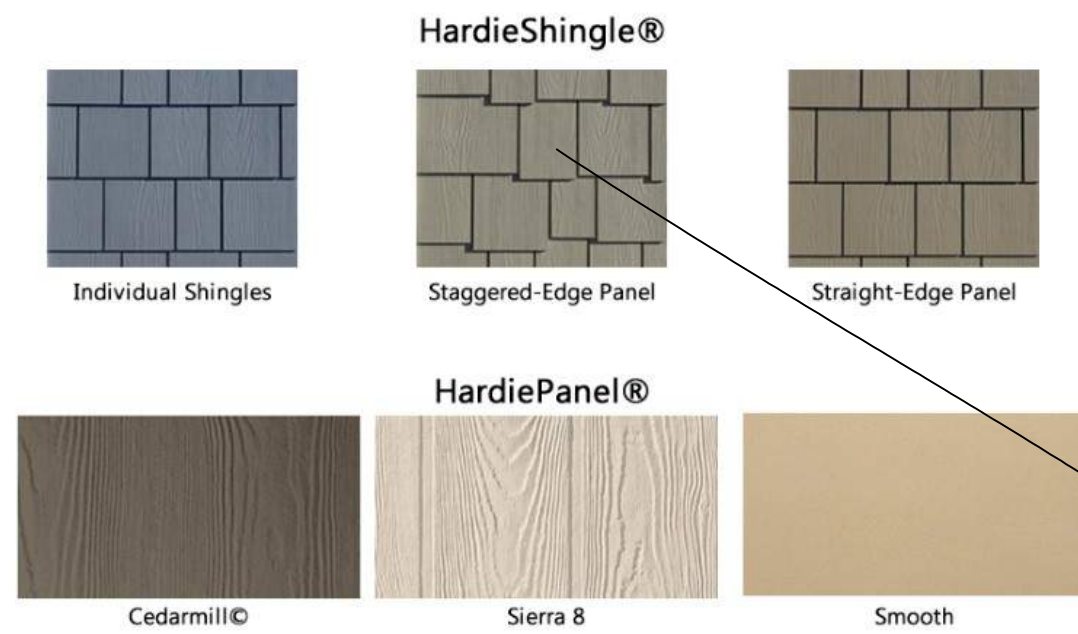


ACME BRICK KINGSIZE COLOR: "PINE RIDGE"

THE MOST POPULAR Farmhouse Paint Colors FOR THAT FIXER UPPER LOOK

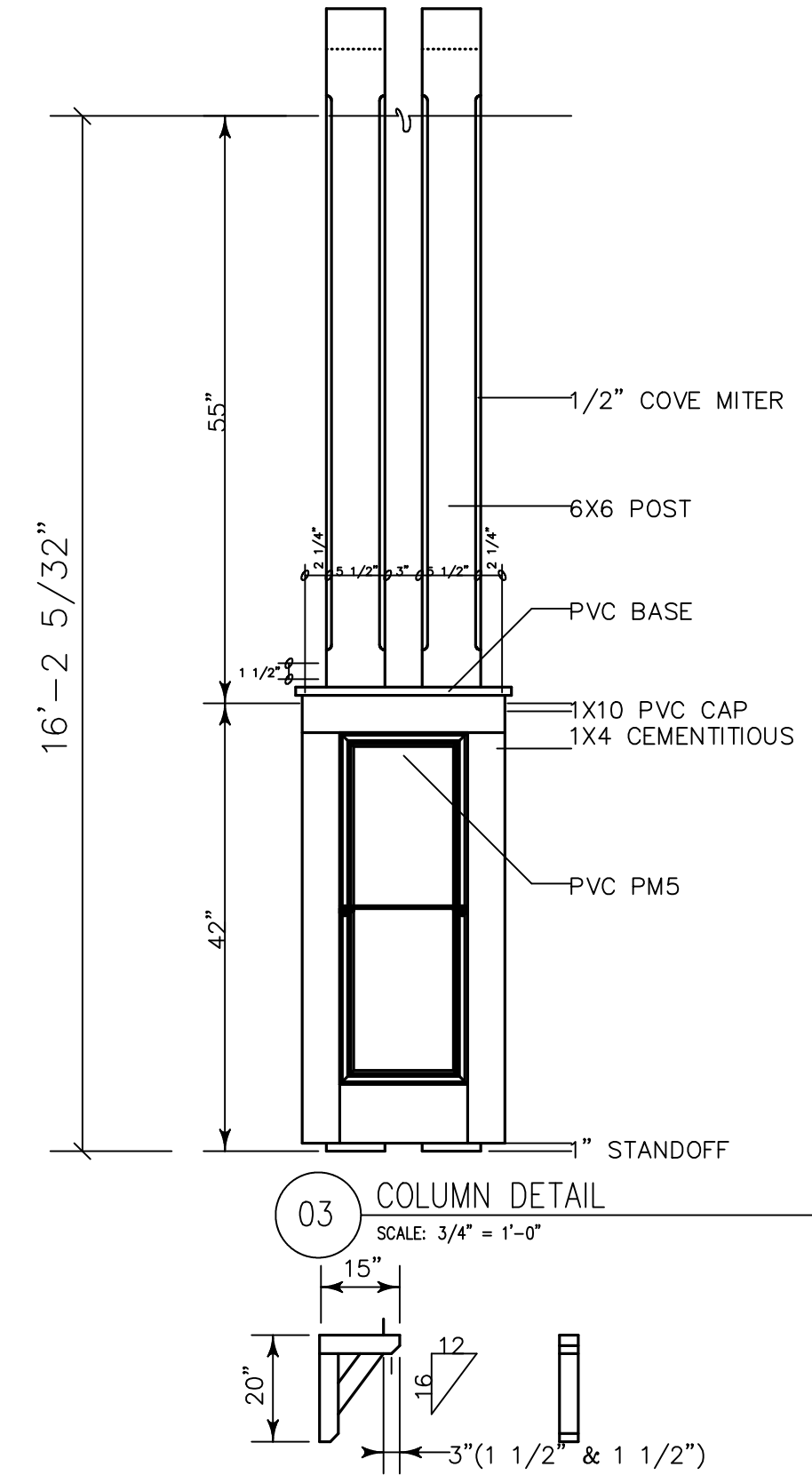


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CEMENTITIOUS HARDIE TEXTURES

Front Facade Material Standards within the PD Narrative: Masonry: 100%* Brick or Stone: Unit Masonry : 40%* Cementitious Fiber: 60% -Maximum* *Exclusive of Doors & Windows

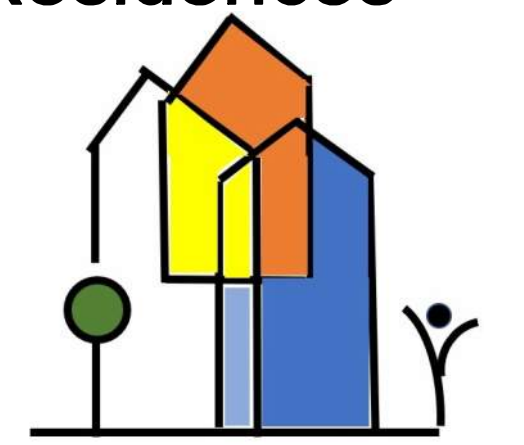


J Rose Architects & Planners 2120 Cosmos Way Argyle, TX 76226 (214) 454-7895 T. jason@jrosearchitect.com



- Consultants: Civil Engineer: Oracle Engineering... Surveyor: Duenes Land Surveying, LLC... Geotechnical Engineer: Rone Engineering...

Project Title: Quarry Residences



3000 Parkridge Dr. Corinth, TX 76201

Sheet Title: Exhibit F Front Elevation

Drawn by: JRR Date Created: 2-13-2023

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Revised on: 2-13-2023



01 FRONT ELEVATION

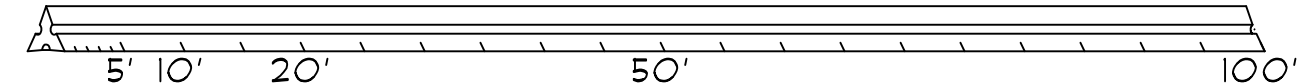
SCALE 3/8"=1'-0"



01 FRONT ELEVATION

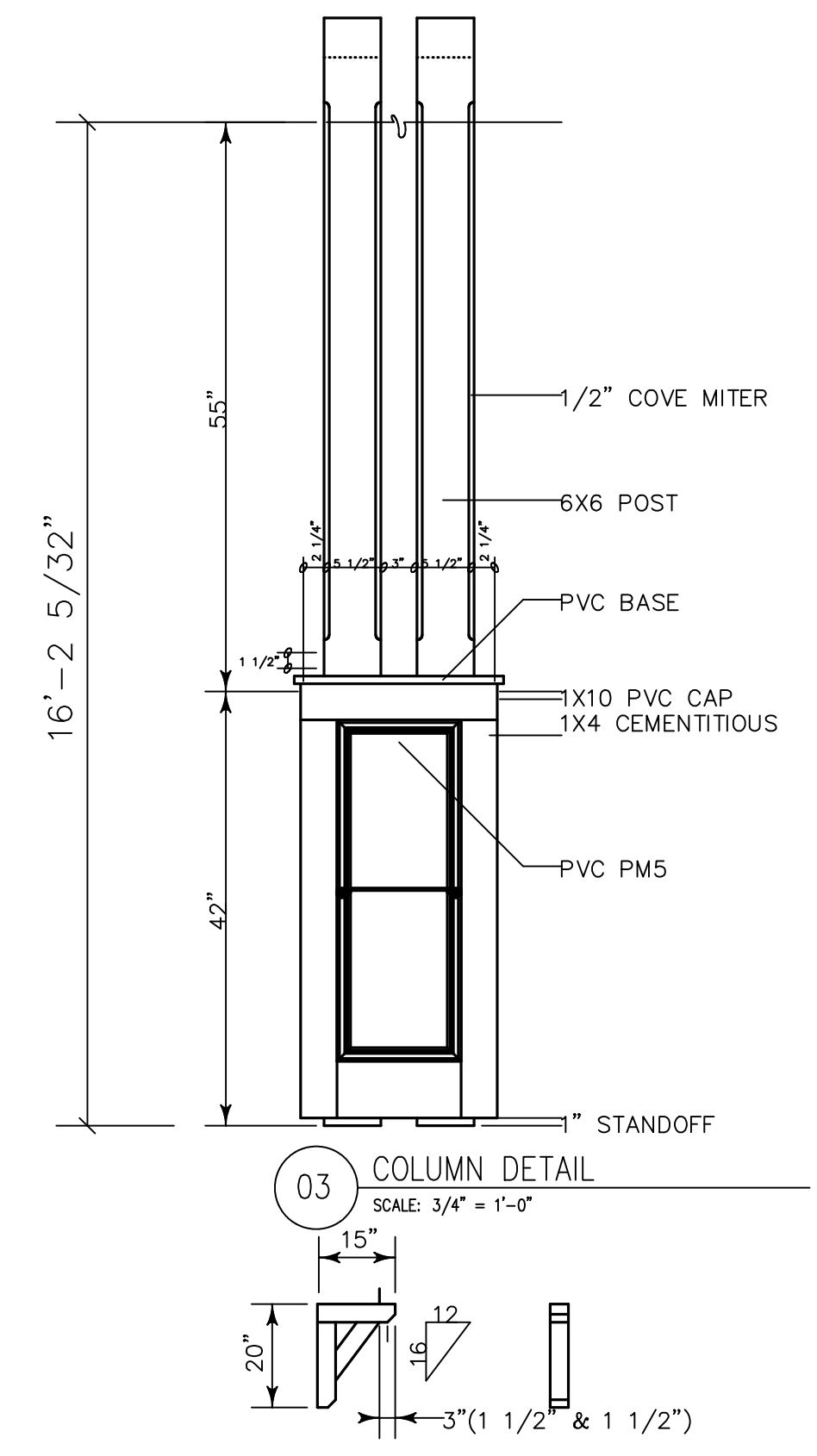
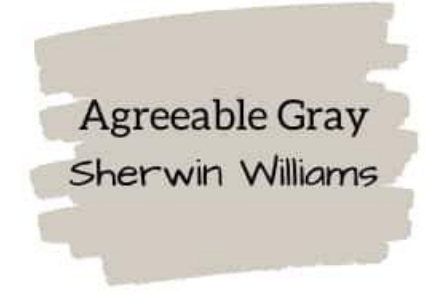
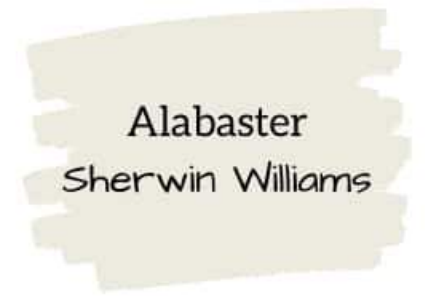
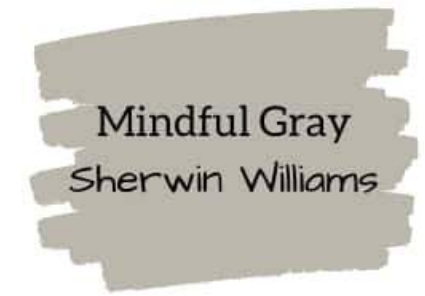
SCALE 3/8"=1'-0"

Scale: 1"=40'-0"





THE MOST POPULAR Farmhouse Paint Colors FOR THAT FIXER UPPER LOOK



J Rose Architects & Planners
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 - Geotechnical Engineer:
Rone Engineering
Mark D. Gray, P.E.
8908 Ambassador Row
Dallas, TX 75241 Tel.
(214) 630-9145 Tel.
mgray@roneengineers.com

Project Title:
Quarry Residences

3000 Parkridge Dr.
Corinth, TX 76201

Sheet Title:
**Exhibit F
Front Elevation**

Drawn by: JRR
Date Created: 2-13-2023

SHEET

A1.3

Revised on: 2-13-2023

ACME BRICK
KINGSIZE
COLOR: "WINTERSTONE"

ACME BRICK
KINGSIZE
COLOR: "WHITE SAGE"

ACME BRICK
KINGSIZE
COLOR: "PINE RIDGE"



CEMENTITIOUS HARDIE TEXTURES

Front Facade Material Standards within the PD Narrative:
Masonry: 100%*
Brick or Stone: Unit Masonry : 40%*
Cementitious Fiber: 60% -Maximum*
*Exclusive of Doors & Windows

WWW.LIFEONSOUTHPOINTEDRIVE.COM



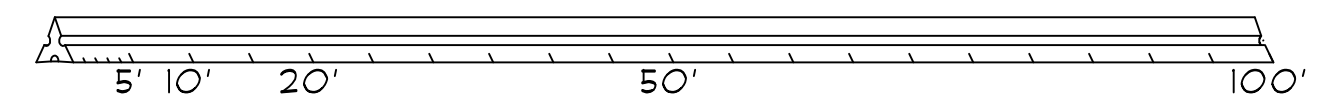
01 FRONT ELEVATION

SCALE 3/8"=1'-0"

01 FRONT ELEVATION

SCALE 3/8"=1'-0"

Scale: 1"=40'-0"





ACME BRICK KINGSIZE COLOR: "WINTERSTONE"



ACME BRICK KINGSIZE COLOR: "WHITE SAGE"

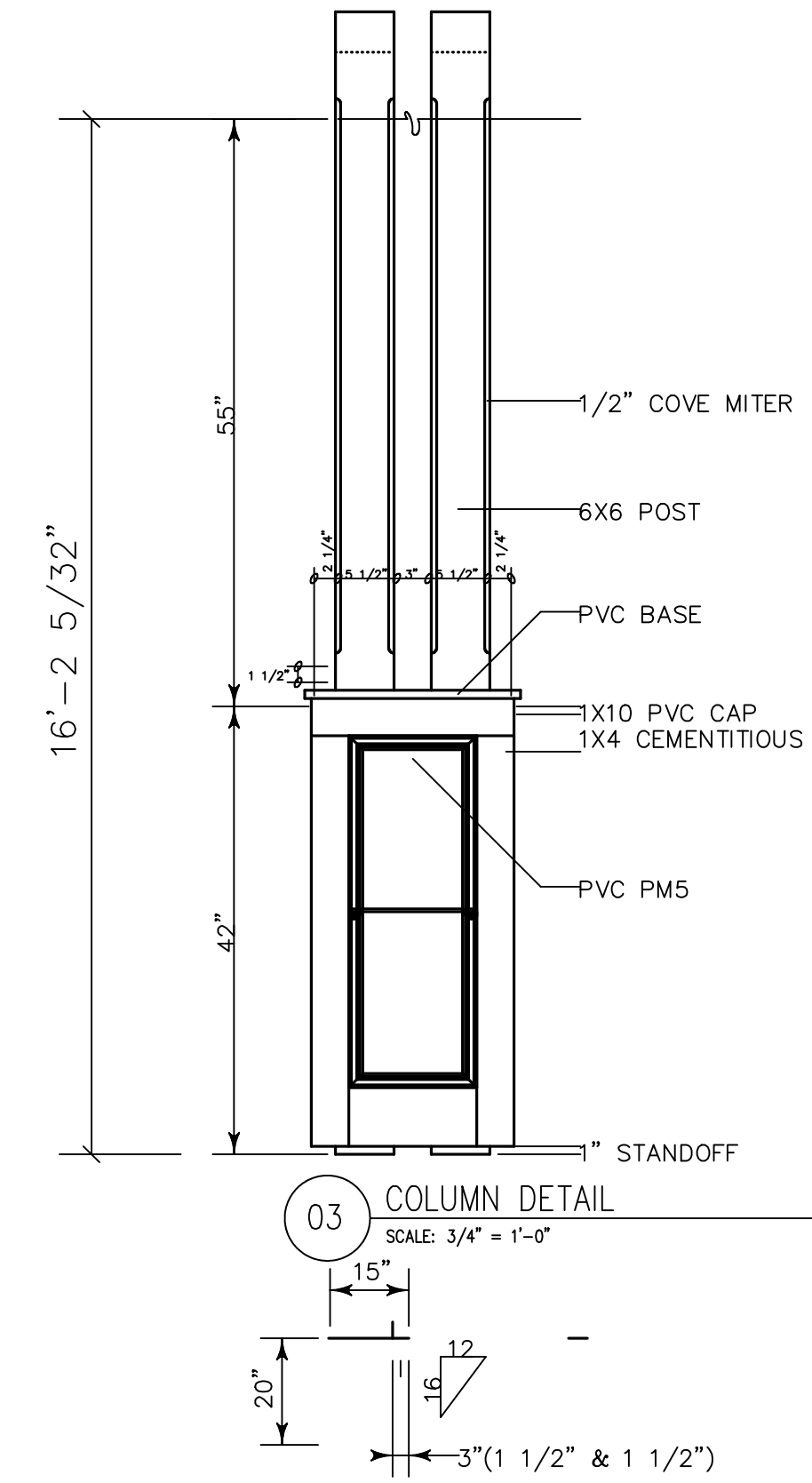


ACME BRICK KINGSIZE COLOR: "PINE RIDGE"

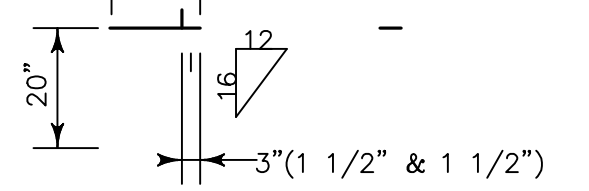
THE MOST POPULAR Farmhouse Paint Colors FOR THAT FIXER UPPER LOOK



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03 COLUMN DETAIL SCALE: 3/4" = 1'-0"



01 BRACKET DETAIL SCALE: 3/4" = 1'-0"



J Rose Architects & Planners 2120 Cosmos Way Argyle, TX 76226 (214) 454-1895 T. jason@jrosearchitect.com



2-13-2023

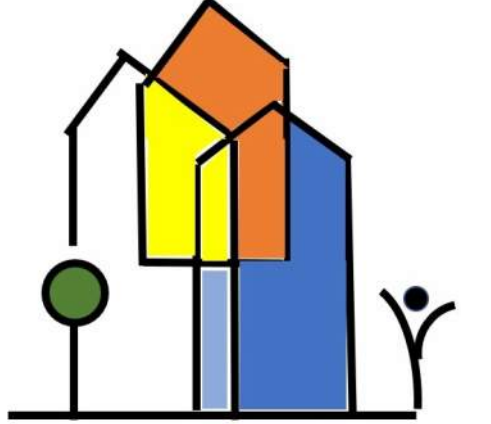
Consultants:

Civil Engineer: Oracle Engineering Matt Kostial, P.E. 2204 Green Hill Drive McKinney, TX 75010 (214) 226-5325 Tel. mattkostial@sbcglobal.net

Surveyor: Duenes Land Surveying, LLC Dustin Davison, R.P.L.S. 2112 Blackfoot Trail Mesquite, TX 75149 (214) 311-0685 Tel. dustin@dueneslandsurveying.com

Geotechnical Engineer: Rone Engineering Mark D. Gray, P.E. 8908 Ambassador Row Dallas, TX 75241 Tel. (214) 630-9745 Tel. mgray@roneengineers.com

Project Title: Quarry Residences



3000 Parkridge Dr. Corinth, TX 76201

Sheet Title: Exhibit F Front Elevation

Drawn by: JRR Date Created: 2-13-2023

SHEET

A1.2

Revised on: 2-13-2023



CEMENTITIOUS HARDIE TEXTURES

Front Facade Material Standards within the PD Narrative: Masonry: 100%* Brick or Stone: Unit Masonry : 40%* Cementitious Fiber: 60% -Maximum* *Exclusive of Doors & Windows



01 FRONT ELEVATION

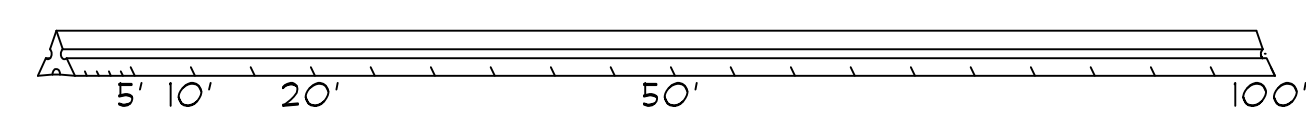
SCALE 3/8"=1'-0"



01 FRONT ELEVATION

SCALE 3/8"=1'-0"

Scale: 1"=40'-0"





ACME BRICK KINGSIZE COLOR: "WINTERSTONE"

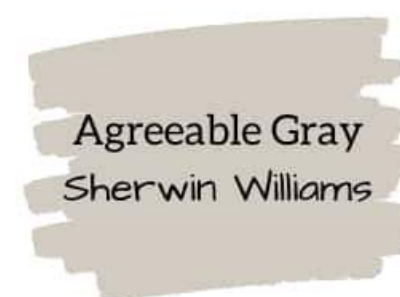
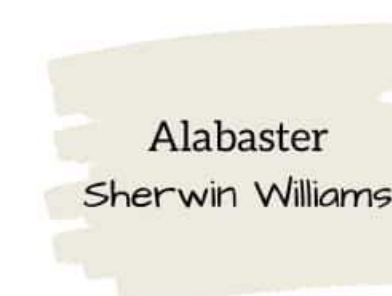
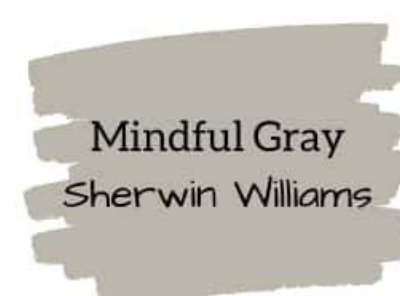


ACME BRICK KINGSIZE COLOR: "WHITE SAGE"



ACME BRICK KINGSIZE COLOR: "PINE RIDGE"

THE MOST POPULAR Farmhouse Paint Colors FOR THAT FIXER UPPER LOOK

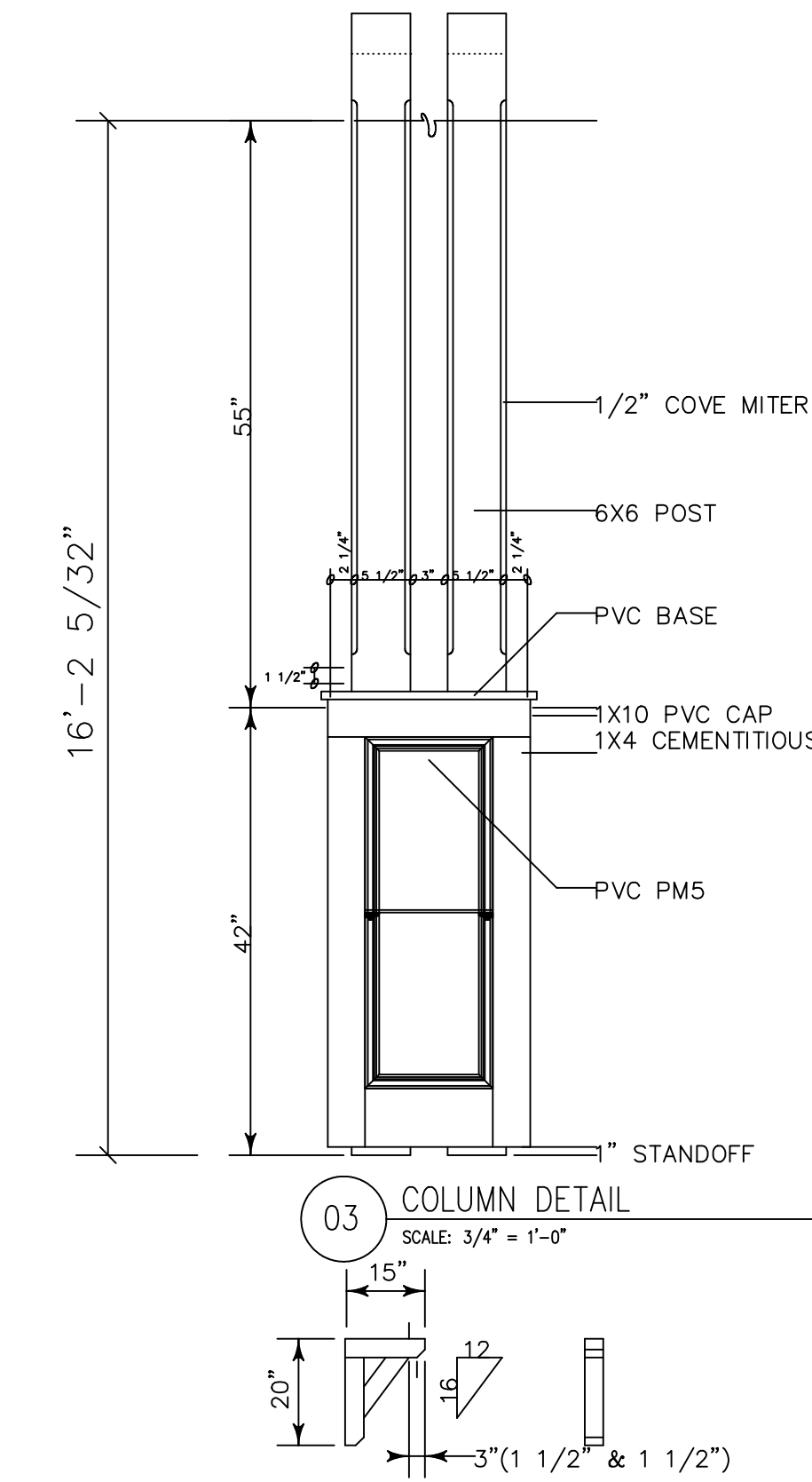


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CEMENTITIOUS HARDIE TEXTURES

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Brick or Stone: Unit Masonry : 40%*
Cementitious Fiber: 60% -Maximum*
*Exclusive of Doors & Windows



J Rose Architects & Planners
2120 Cosmos Way
Argyle, TX 76226
(214) 454-7895 T.
jason@jrosearchitect.com



Consultants:

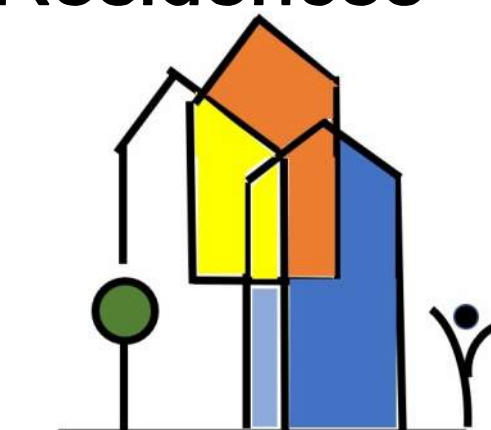
Civil Engineer:
Oracle Engineering
Matt Kostial, P.E.
2204 Green Hill Drive
McKinney, TX 75070
(214) 226-5325 Tel.
mattkostial@sbcglobal.net

Surveyor:
Duenes Land Surveying, LLC
Dustin Davison, R.P.L.S.
2112 Blackfoot Trail
Mesquite, TX 75149
(214) 317-0485 Tel.
dustin@dueneslandsurveying.com

Geotechnical Engineer:
Rone Engineering
Mark D. Gray, P.E.
8908 Ambassador Row
Dallas, TX 75241 Tel.
(214) 630-9745 Tel.
mgray@roneengineers.com

Project Title:

Quarry Residences



3000 Parkridge Dr.
Corinth, TX 76201

Sheet Title:

Front Elevation

Drawn by: JRR
Date Created: 1-23-2023

SHEET

A1.4

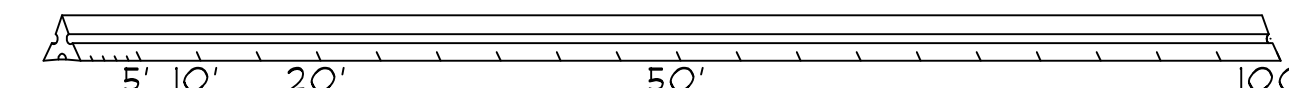
Revised on: 1-23-2023



01 FRONT ELEVATION (TOWNHOUSE)

SCALE 3/8"=1'-0"

Scale: 1"=40'-0"





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2120 Cosmos Way
Argyle, TX 76226
(214) 454-7895 T.
jason@jrosearchitect.com

Front Facade Material Standards within the PD Narrative:

Masonry: 100%*

Brick or Stone: Unit Masonry : 0%*

Cementitious Fiber: 100% -Maximum*

*Exclusive of Doors & Windows



1-23-2023



Consultants:

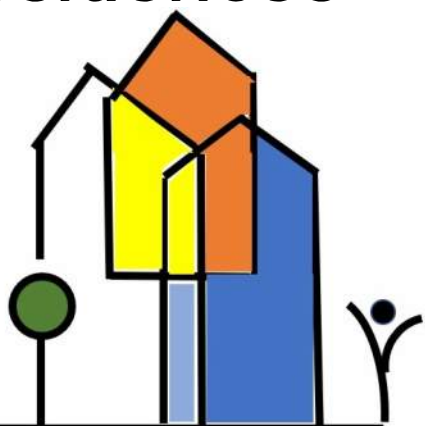
2001 Engineer EL 8'-1 1/8"
Oracle Engineering
Matt Kostial, P.E.
2204 Green Hill Drive
McKinney, TX 75070
(214) 226-5325 Tel.
mattkostial@sbcglobal.net

Surveyor:
Duenes Land Surveying, LLC
Dustin Davison, R.P.L.S.
2112 Blackfoot Trail
Mesquite, TX 75149
(214) 317-0685 Tel.
dustin@dueneslandsurveying.com

Geotechnical Engineer:
Rone Engineering
Mark D. Gray, P.E.
8908 Ambassador Row
Dallas, TX 75241 Tel.
(214) 630-9745 Tel.
mgray@roneengineers.com

Project Title:

Quarry Residences



3000 Parkridge Dr.
Corinth, TX 76201

Sheet Title:

Left Side Elevation

Drawn by: JRR
Date Created: 1-23-2023

SHEET

A2.1b

Revised on: 1-23-2023

01 LEFT ELEVATION (FACING STREETS & INTERNAL DRIVES)

SCALE 3/8"=1'-0"

Scale: 1"=40'-0"





J Rose Architects & Planners
2120 Cosmos Way
Argyle, TX 76226
(214) 454-7895 T.
jason@jrosearchitect.com



Consultants:

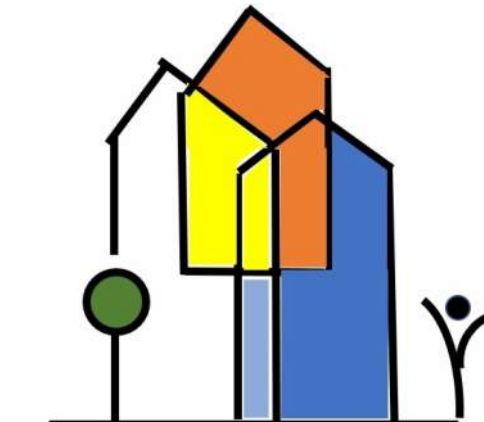
Civil Engineer:
Oracle Engineering
Matt Kostial, P.E.
2204 Green Hill Drive
McKinney, TX 75070
(214) 226-5325 Tel.
mattkostial@sbcglobal.net

Surveyor:
Duenes Land Surveying, LLC
Dustin Davison, R.P.L.S.
2112 Blackfoot Trail
Mesquite, TX 75149
(214) 211-0685 Tel.
dustin@dueneslandsurveying.com

Geotechnical Engineer:
Rone Engineering
Mark D. Gray, P.E.
8908 Ambassador Row
Dallas, TX 75241 Tel.
(214) 630-9745 Tel.
mgray@roneengineers.com

Project Title:

Quarry Residences



3000 Parkridge Dr.
Corinth, TX 76201

Sheet Title:

Right Side Elevation

Drawn by: JRR
Date Created: 9-19-2022

SHEET

A2.2

Revised on: 9-19-2022

Front Facade Material Standards within the PD Narrative:

Masonry: 100%*

Brick or Stone: Unit Masonry : 0%*

Cementitious Fiber: 100% -Maximum*

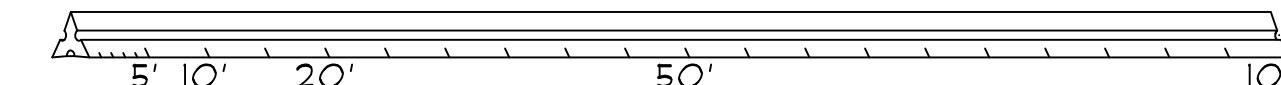
*Exclusive of Doors & Windows



01 RIGHT ELEVATION

SCALE 3/8"=1'-0"

Scale: 1"=40'-0"



Revised on: 9-19-2022

Front Facade Material Standards within the PD Narrative:
Masonry: 100%*
Brick or Stone: Unit Masonry : 0%*
Cementitious Fiber: 100% –Maximum*
*Exclusive of Doors & Windows



J Rose Architects & Planners
2120 Cosmos Way
Argyle, TX 76226
(214) 454-7895 T.
jason@jrosearchitect.com



1-23-2023

Consultants:

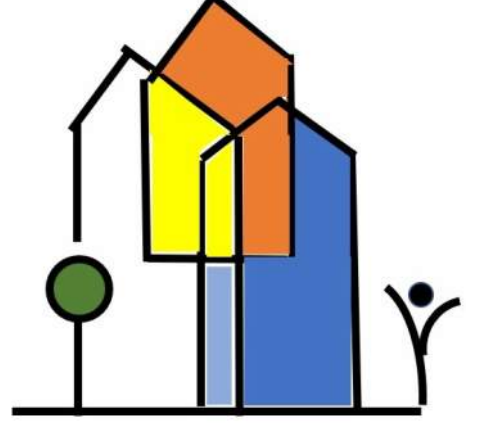
Civil Engineer:
Oracle Engineering
Matt Kostial, P.E.
2204 Green Hill Drive
McKinney, TX 75070
(214) 226-5325 Tel.
mattkostial@sbcglobal.net

Surveyor:
Duenes Land Surveying, LLC
Dustin Davison, R.P.L.S.
2112 Blackfoot Trail
Mesquite, TX 75149
(214) 317-0685 Tel.
dustin@dueneslandsurveying.com

Geotechnical Engineer:
Rone Engineering
Mark D. Gray, P.E.
8908 Ambassador Row
Dallas, TX 75247 Tel.
(214) 630-9745 Tel.
mgray@roneengineers.com

Project Title:

Quarry Residences



3000 Parkridge Dr.
Corinth, TX 76201

Sheet Title:

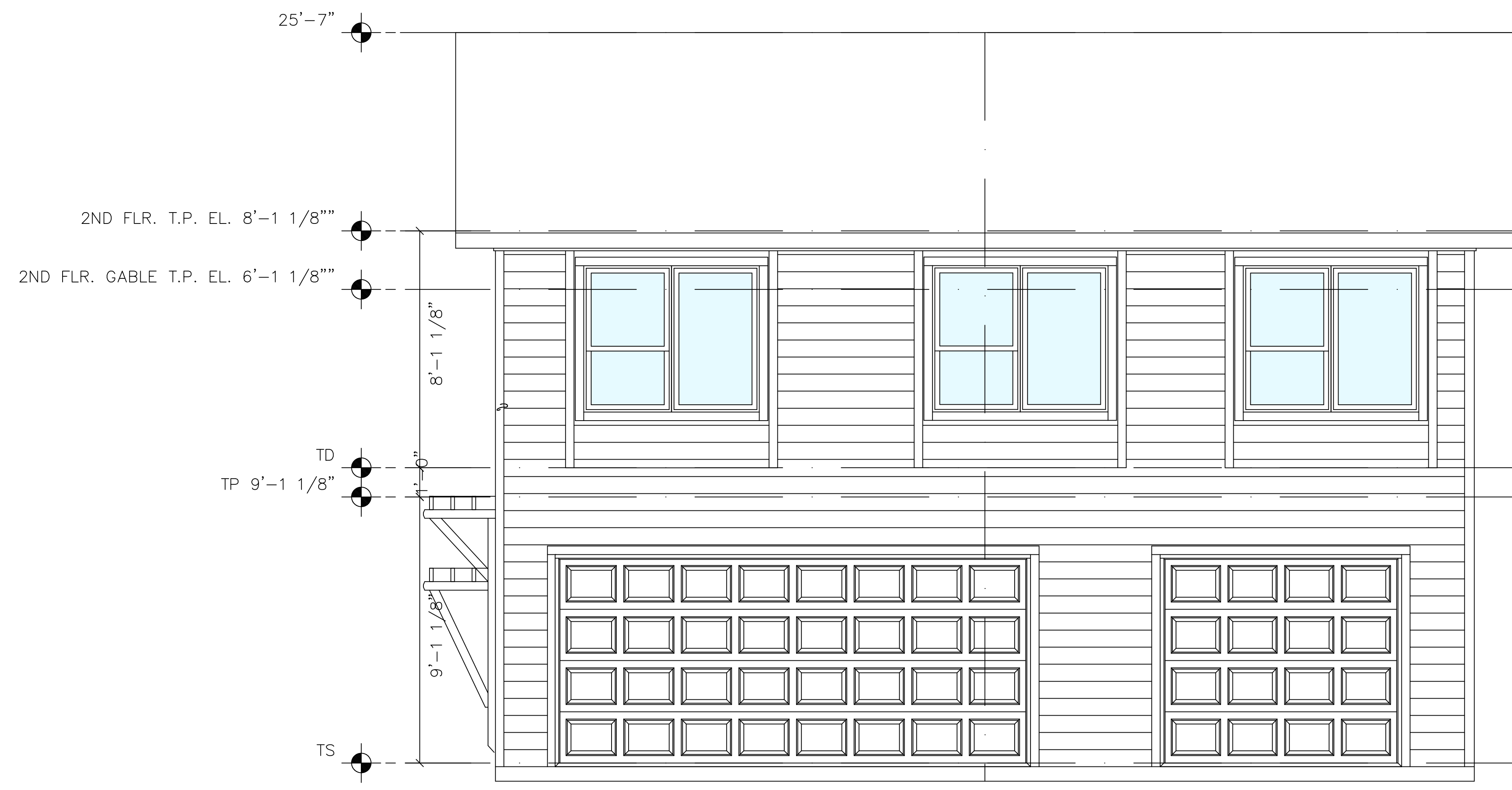
Back Elevation

Drawn by: JRR
Date Created: 1-23-2023

SHEET

A3

Revised on: 1-23-2023 127



01 REAR ELEVATION

SCALE 3/8"=1'-0"

Scale: 1"=40'-0"



Exhibit G -Parking Study/Comparison Chart

MF-2	PD "Quarry Townhomes"
1 parking space + 1 parking space per bedroom	2.0 spaces per 2-Bedroom 2.5 Spaces per 3-Bedroom
(46) 2 Bedroom Dwellings =138	(46) 2 Bedroom x 2.0 =92 Spaces
(44) 3 Bedroom Dwellings =176	(44) 3 Bedroom x 2.5 =110 Spaces
314 Required	206 Provided= 2.29 per Dwell Unit
100% of units have a 240 SqFt minimum 1-Car garage	49% of dwellings have private attached 2-car garages
	51% of dwellings have private attached 1-car garages
	100% have private attached garages >263 SqFt

Traffic Impact Analysis

Project Name: Quarry Residences

Threshold Worksheet

The City of Corinth’s Unified Development Code provides that a Traffic Study may be required with preliminary plat applications. *If the proposed development exceeds one or more of the three threshold criteria listed below, a traffic study will be required to be submitted with the preliminary plat application.* Otherwise, for projects that do not exceed any of the three criteria, a Traffic Study Threshold Worksheet must be submitted and approved by the City’s Engineer *prior to submittal* of the preliminary plat application. Please describe in detail your evaluation of each criteria listed below. Additional sheets may be attached if necessary.

Criteria #1: The development exceeds parking 100 spaces average per driveway.

Required parking is 448 spaces based on 127 residential units. The development has one access to Parkridge Drive. Criteria #1 is met.

Criteria #2: Any driveway or roadway in the development is projected to serve 1000 or more vehicles per day.*

According to ITE Trip Generation Manual, 10th Edition, the development is expected to generate 919 trips per day (#220 Multifamily Housing). Criteria #2 is not met.

Criteria #3: Any driveway in the development is projected to serve 100 ingress vehicles or more in the design hour.*

According to ITE Trip Generation Manual, 10th Edition, the development is expected to generate 73 trips in the PM peak hour (#220 Multifamily Housing). Criteria #3 is not met.

* Unless approved otherwise, trip generation rates should be based on the most recent edition of the Institute of Transportation Engineers (ITE) *Trip Generation Manual*.

I hereby certify that this project does not exceed any of the three threshold criteria shown above and therefore the development would not warrant a Traffic Study in accordance with Section 3.05.04.(D) Traffic Impact Analysis of the Unified Development Code of the City of Corinth.



08/10/2021

Design Engineer’s Signature

Date

Scott P Israelson, #116712

Print Name & License Number

Traffic Impact Group, LLC, #F16120

Firm & Registration Number

For City Use Only: The requirement for a Traffic Study with this submittal is hereby waived:

Name: _____

Title: _____ Date: _____

Project Information	
Project Name:	Corinth Quarry
No:	
Date:	08/10/2021
City:	Corinth
State/Province:	TX
Zip/Postal Code:	
Country:	
Client Name:	Rockwater Development
Analyst's Name:	SPI
Edition:	Trip Gen Manual, 10th Ed

Land Use	Size	Daily		AM		PM	
		Entry	Exit	Entry	Exit	Entry	Exit
220 - Multifamily Housing (Low-Rise) (General Urban/Suburban)	127 Dwelling Units	460	459	14	46	46	27
Reduction		0	0	0	0	0	0
Internal		0	0	0	0	0	0
Pass-by		0	0	0	0	0	0
Non-pass-by		460	459	14	46	46	27
Total		460	459	14	46	46	27
Total Reduction		0	0	0	0	0	0
Total Internal		0	0	0	0	0	0
Total Pass-by		0	0	0	0	0	0
Total Non-pass-by		460	459	14	46	46	27



Traffic Impact Analysis

Quarry Residences

Corinth, Texas

17 September 2021



TRAFFIC IMPACT
GROUP, LLC
1431 Greenway Drive, Suite 800
Irving, TX 75038
972.358.6383



Quarry Residences - Corinth

I hereby certify that this report was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Texas.



Scott P. Israelson 9/17/2021

Scott P. Israelson, P.E., PTOE
License No. 116712

Executive Summary

Project Description

Quarry Residences is a proposed residential development in Corinth, Texas. The development is proposed to consist of 127 multifamily units. The site is located on the west side of Parkridge Drive across from Lake Dallas High School.

The project access will be known as Quarry Drive and will align with the driveway to Lake Dallas High School.

The City of Corinth requested this analysis to examine the impacts to traffic and to determine the need for a right-turn lane at the proposed site access.

Trip Generation

The proposed new development is expected to generate 919 daily trips, with 14 entering trips and 46 exiting trips in the AM peak hour, and 46 entering and 27 exiting trips in the PM peak hour.

Turn Lanes

The threshold for right-turn deceleration lanes on Arterial Streets with posted speed limits of 45 mph and below is 60 vehicles per hour (vph). Based on Full Build 2022 volumes, no southbound right-turn lane is required at Parkridge Drive & Quarry Drive.

Traffic Impacts

Analysis shows that the intersection is projected to continue to operate acceptably under Full Build 2022 conditions.

No improvements are required.

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I. Introduction

Quarry Residences is a proposed residential development in Corinth, Texas. The site is located on the west side of Parkridge Drive across from Lake Dallas High School.

The development is proposed to consist of 127 multifamily units. The project access will be known as Quarry Drive and will align with the driveway to Lake Dallas High School.

The City of Corinth requested this analysis to examine the impacts to traffic and to determine the need for a right-turn lane at the proposed site access.

The study area included the following intersections:

- Parkridge Drive & Quarry Drive/LDHS driveway

The study analyzed the following scenarios:

- 2021 Existing Conditions
- Full Build 2022 Conditions

The AM peak hour, School Dismissal hour, and PM peak hour were analyzed.

Figure 1 shows the most recent site plan. **Figure 2** shows the project vicinity map.



Quarry Residences

J Rose Architects & Planners
 2120 Cosmos Way
 Argyle, TX 76226
 (214) 454-7895 T.
 jason@jrosearchitect.com



Consultants:

Civil Engineer:
 Oracle Engineering
 Matt Kostal, P.E.
 2209 Green Hill Drive
 McKinney, TX 75070
 (214) 276-5325 Tel.
 mattkostal@abcgob.net

Surveyor:
 Dwyer Land Surveying, LLC
 Dustin Davidson, R.L.S.
 212 Blackfoot Trail
 Mesquite, TX 75149
 (214) 311-0485 Tel.
 dustin@dwyerlandsurveying.com

Geotechnical Engineer:
 Rone Engineers
 Mark D. Gray, P.E.
 8408 Ambassador Row
 Dallas, TX 75241 Tel.
 (214) 430-9145 Tel.
 mgray@roneengineers.com

Project Title:

Quarry Residences



3000 Parkridge Dr.
 Corinth, TX 76201

Sheet Title:
Architectural Site Plan

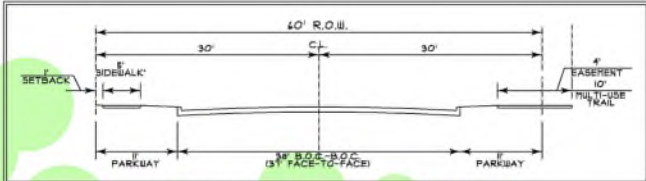
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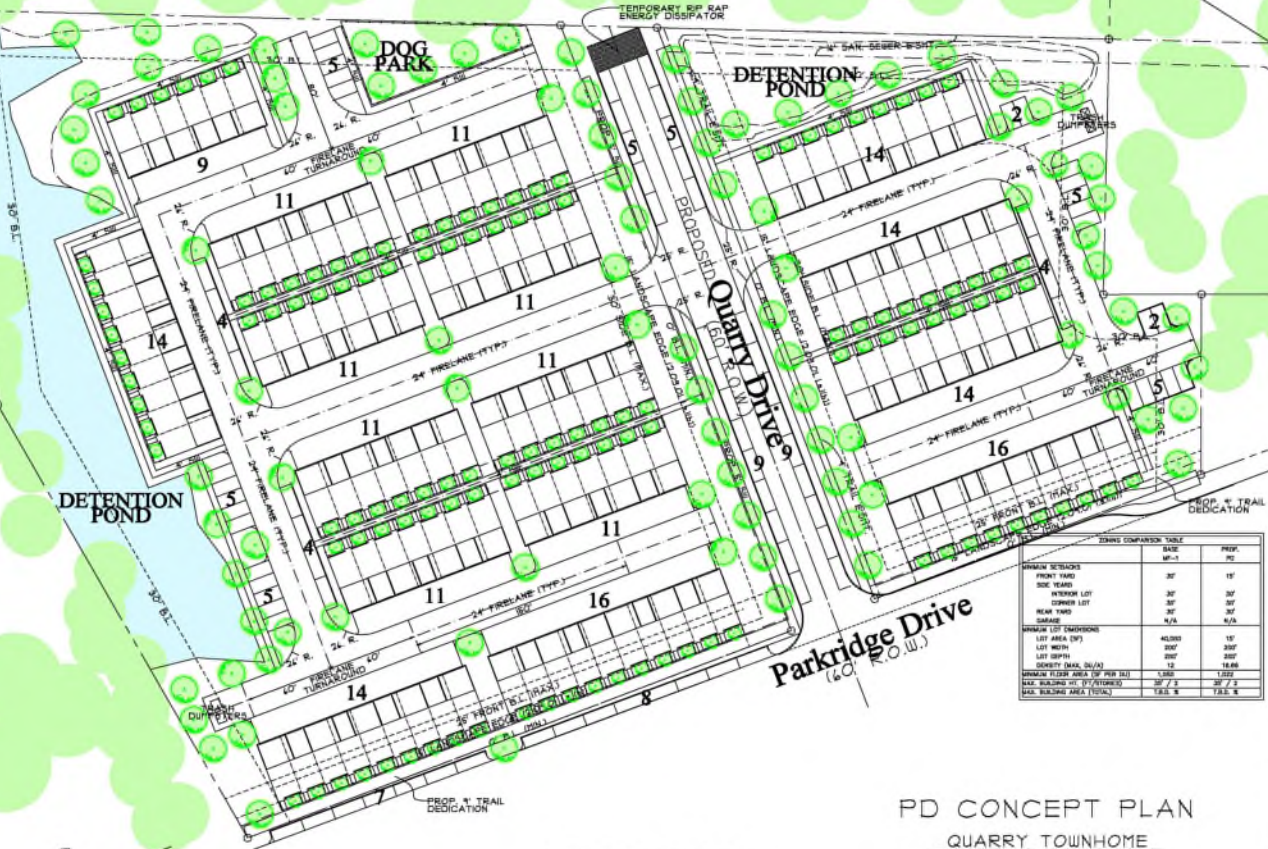
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Revised on 7-21-2021

- CONCEPT PLAN NOTES**
1. ALL DIMENSIONS ARE TO FACE OF CURB
 2. ALL UTILITIES TO BE NOTED
 3. ALL UTILITIES TO BE DETERMINED
 4. ALL UTILITIES TO BE DETERMINED
 5. ALL UTILITIES TO BE DETERMINED
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 17. ALL UTILITIES TO BE DETERMINED
 18. ALL UTILITIES TO BE DETERMINED
 19. ALL UTILITIES TO BE DETERMINED
 20. ALL UTILITIES TO BE DETERMINED



QUARRY DRIVE TYPICAL SECTION (NOT TO SCALE)



ZONING COMPARISON TABLE

MINIMUM SETBACKS	BASE	PROP.
	RP-1	RD
FRONT YARD	30'	15'
SIDE YARD	30'	30'
REAR YARD	30'	30'
CORNER LOT	30'	30'
NEAR ROAD	30'	30'
REAR YARD	N/A	N/A

SITE PLAN SUMMARY TABLE

EXISTING ZONING/USE	PROPOSED ZONING	PROPOSED DENSITY	PROPOSED UNITS	PROPOSED AREA
RESIDENTIAL TOWNHOME	RESIDENTIAL TOWNHOME	2 (EXISTING), 2 (PROPOSED)	18	128,794
1-CAR GARAGE ATTACHED	1-CAR GARAGE ATTACHED	18	18	28,424
2-CAR GARAGE ATTACHED	2-CAR GARAGE ATTACHED	18	18	28,424
TANDUM ALONG PARKRIDGE DRIVE	TANDUM ALONG PARKRIDGE DRIVE	18	18	28,424
TANDUM ALONG QUARRY DRIVE	TANDUM ALONG QUARRY DRIVE	18	18	28,424
ADDITIONAL STANDARD SPACES	ADDITIONAL STANDARD SPACES	18	18	28,424
TOTALS	TOTALS	18	18	128,794

PD CONCEPT PLAN

QUARRY TOWNHOME
 QUARRY @ PARKRIDGE
 1.423 ACRE TRACT OF LAND
 A0833A E. MARSH, TR 2L, 4.99 ACRES, OLD DCAD TR #1A
 A0154 HEP 1 PRR, TR 4, 2.34 ACRES, OLD DCAD TR #3AID

CITY OF CORINTH,
 DENTON COUNTY, TEXAS
 JULY 19, 2021

OWNER/DEVELOPER:
 Rockbrook Development LLC
 2104 Cosmos Way
 Argyle, Texas 76226
 Tel. No. (214) 454-7895
 Contact: Jason Rose
 jason@jrosearchitect.com



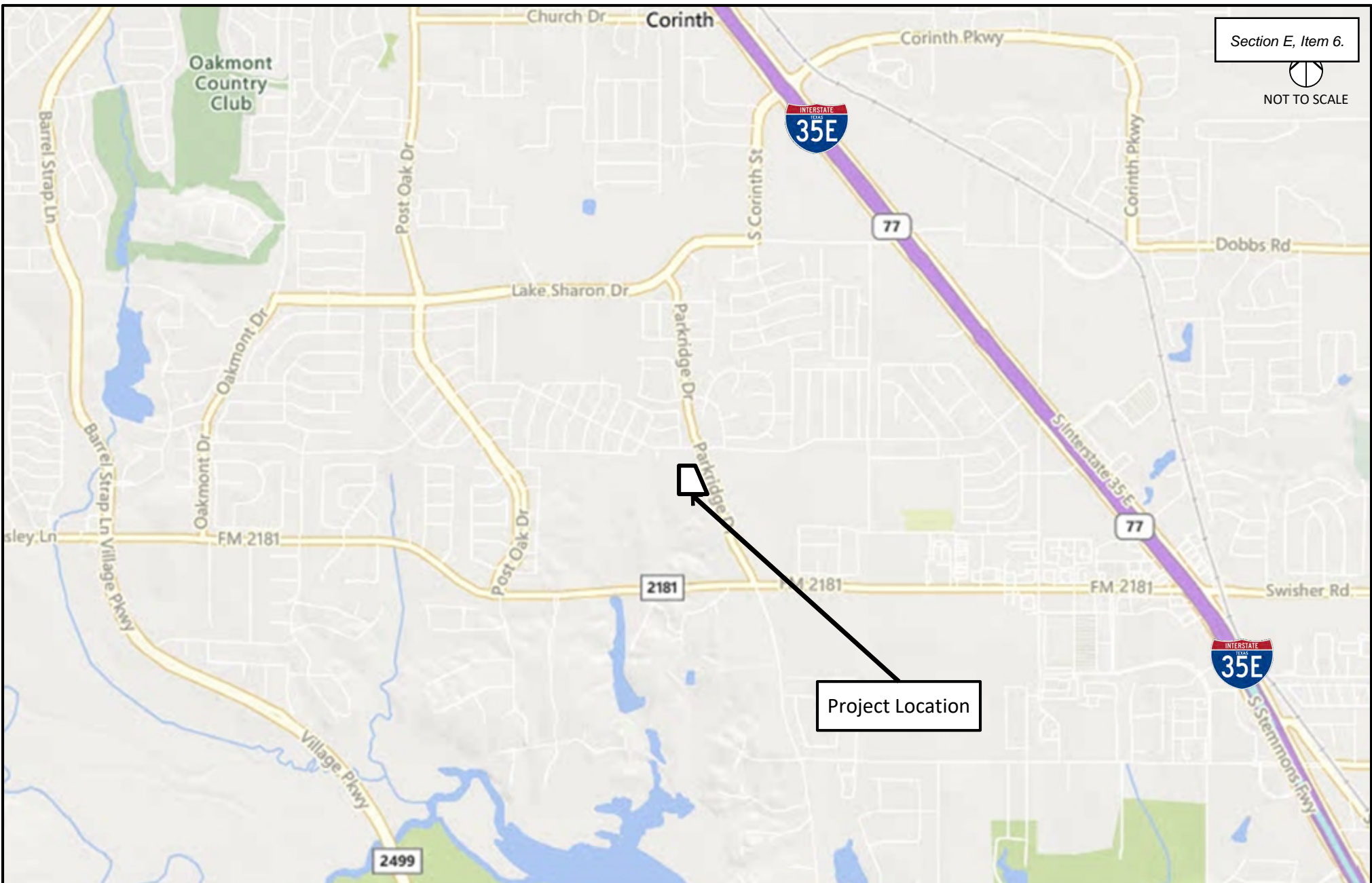
Site Plan

Figure 1

Quarry Residences - Cornith

Date: 17 September 2021

TRAFFIC IMPACT
 GROUP LLC



Section E, Item 6.



NOT TO SCALE

Project Location

Vicinity Map

Figure 2

Quarry Residences - Corinth

Date: 17 September 2021

TRAFFIC IMPACT
GROUP LLC

II. Existing Conditions

A. Existing Roadway Conditions

Parkridge Drive is a three-lane roadway with a center two-way left-turn lane (TWLTL) and a posted speed limit of 35 mph. It is functionally classified as a Collector with an AADT of 4,371 vehicles per day.

B. Existing Intersection Geometry

Parkridge Drive & LDHS driveway is unsignalized T-intersection with a TWLTL along Parkridge Drive.

The project access, Quarry Drive, will align with the driveway to LDHS and will be the fourth leg of this existing T-intersection.

C. Traffic Volumes

Traffic data collection for study area intersections was performed on September 1, 2021. **Figure 3** displays existing traffic volumes. These volumes can be found in the Appendix.

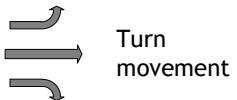
The most recent Average Annual Daily Traffic (AADT) volumes were retrieved from the TxDOT Traffic Count Database System (TCDS) website.



Parkridge Drive at Lake Dallas High School (LDHS)

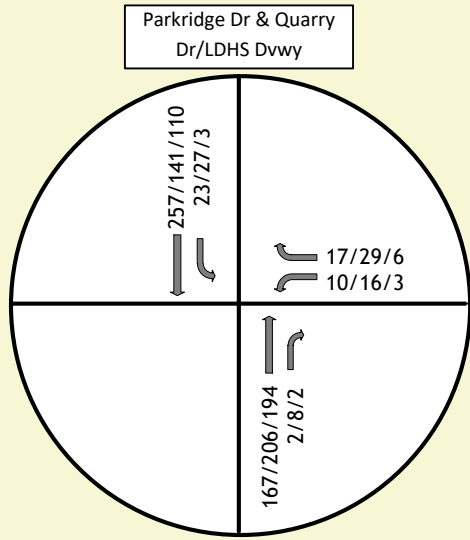
NOT TO SCALE

LEGEND



Turn movement

XX/XX/XX AM/School/PM peak volumes



Parkridge Dr & Quarry Dr/LDHS Dwy

Existing Traffic Volumes

Figure 3

Quarry Residences - Corinth

Date: 17 September 2021



III. Methodology

A. Base Assumptions

Intersection capacity analysis was conducted using Synchro v10.0. Trip generation was calculated using the 10th edition of the Institute of Transportation Engineers (ITE) *Trip Generation Manual*. Turn lanes were examined using the National Cooperative Highway Research Program (NCHRP) Report No. 279 *Intersection Channelization Design Guide*.

B. Background Growth

The average annual background growth rate is calculated using historical AADT volumes. Calculations show that the background growth on Parkridge Drive is negative. These calculations can be found in the Appendix.

Existing volumes were not increased for Full Build 2022 conditions.

C. Trip Generation

The development is proposed to consist of 127 multifamily units.

The *ITE Trip Generation Manual, 10th Edition* was used to estimate the projected trips by this development.

Table 3.1 contains the summary of the land uses and sizes used for trip generation estimates.

Table 3.1 - ITE Trip Generation										
Average Weekday Driveway Volumes				AM Peak Hour		School Dismissal Peak Hour		PM Peak Hour		
Land Use	ITE Code	Size		Daily Trips	Enter	Exit	Enter	Exit	Enter	Exit
Multifamily Housing (Low Rise)	220	127	Dwelling Units	919	14	46	38	24	46	27

D. Trip Distribution

Trips for this proposed development were assigned to the surrounding roadway network based on engineering judgment and existing traffic patterns.

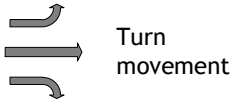
The proposed trip distribution for this project is:

- 40% to/from north on Parkridge Drive
- 60% to/from south on Parkridge Drive

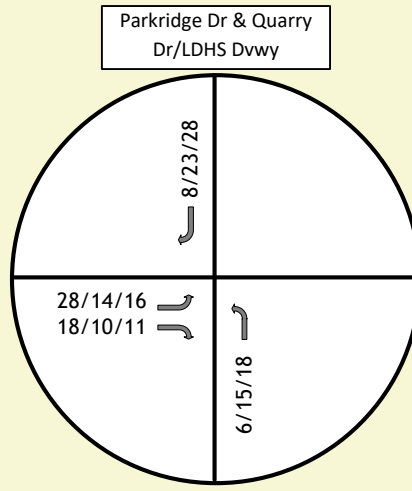
The proposed site trips are shown in **Figure 4**. Full Build 2022 volumes are shown in **Figure 5**.

NOT TO SCALE

LEGEND



XX/XX/XX AM/School/PM
XX/XX/XX peak volumes
XX/XX/XX



Parkridge Dr & Quarry Dr/LDHS Dvwy

Site Trips

Figure 4

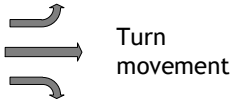
Quarry Residences - Corinth

Date: 17 September 2021



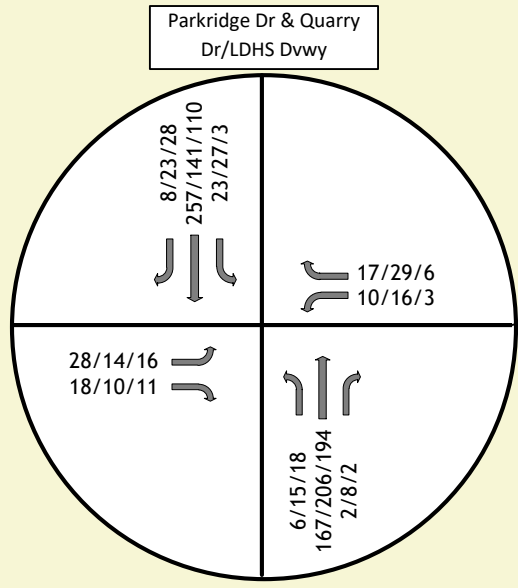
NOT TO SCALE

LEGEND



Turn movement

XX/XX/XX AM/School/PM peak volumes



Parkridge Dr & Quarry Dr/LDHS Dvwy

Full Build 2022 Volumes

Figure 5

Quarry Residences - Corinth

Date: 17 September 2021



IV. Turn Lane/Access Management

A. Right-Turn Lanes

Section 3.05.04 of the City’s *Development Code* provides criteria for deceleration lanes for driveways on Arterial Streets. The threshold for right-turn deceleration lanes on Arterial Streets with posted speed limits of 45 mph and below is 60 vehicles per hour (vph).

Table 4.1 shows the volumes used for analysis.

Driveway	Peak	Approach	Posted Speed	Advancing Vol	RT Vol	Turn Lane needed?
Parkridge Drive & Quarry Drive	AM	SB	35	288	8	No
	School Dismissal			191	23	No
	PM			141	28	No

Based on Full Build 2022 volumes, no southbound right-turn lane is required at Parkridge Drive & Quarry Drive.

B. Intersection Sight Distance

The table below shows required ISD for posted speeds based on AASHTO Greenbook standards.

Speed (mph)	Stopping Sight Distance (ft.)	Design Intersection Sight Distance (ft.)
25	155	280
30	200	335
35	250	390
40	305	445
45	360	500
50	425	555
55	495	610
60	570	665
65	645	720

Source: *A Policy on Geometric Design of Highway and Streets*, 5th Edition, American Association of State Highway and Transportation Officials (AASHTO), 2004.

There are no sight distance obstructions that obscure the view of vehicles at the proposed driveways.



Parkridge Drive - looking north



Parkridge Drive - looking south

V. Capacity Analysis

The Transportation Research Board’s Highway Capacity Manual (HCM) utilizes a term “level of service” (LOS) to measure how traffic operates in intersections. There are currently six levels of service ranging from A to F. Level of Service “A” represents the best conditions and Level of Service “F” represents the worst. Synchro software was used to determine the level of service for intersections in the study area. All worksheet reports from the analyses can be found in the Appendix.

Table 5.1 shows the control delay per vehicle associated with LOS A through F for signalized and unsignalized intersections.

Table 5.1 - Highway Capacity Manual Levels of Service and Control Delay			
Signalized Intersection		Unsignalized Intersection	
Level of Service	Control Delay per Vehicle (sec)	Level of Service	Control Delay per Vehicle (sec)
A	≤ 10	A	≤ 10
B	> 10 and ≤ 20	B	> 10 and ≤ 15
C	> 20 and ≤ 35	C	> 15 and ≤ 25
D	> 35 and ≤ 55	D	> 25 and ≤ 35
E	> 55 and ≤ 80	E	> 35 and ≤ 50
F	> 80	F	> 50

A. Parkridge Drive & Quarry Drive/LDHS driveway

Parkridge Drive & LDHS driveway is unsignalized T-intersection with a TWLTL along Parkridge Drive. The project access, Quarry Drive, will align with the driveway to LDHS and will be the fourth leg of this existing T-intersection.

Table 5.2 shows the current LOS, control delay, and 95th percentile queue length for existing conditions.

Table 5.2 - Intersection LOS, Delay, and Queue by Movement - 2021 Existing

Intersection	Approach	Movement	AM			School Dismissal			PM		
			LOS	Delay	Queue	LOS	Delay	Queue	LOS	Delay	Queue
Parkridge Drive & LDHS Driveway	WB	LT	B	10.9	5'	B	12.7	15'	A	9.8	-
		RT									
	NB	TH	Free								
		RT									
	SB	LT	Free								
		TH									

Table 5.3 shows the expected LOS, control delay, and 95th percentile queue length for Full Build 2022 conditions.

Table 5.3 - Intersection LOS, Delay, and Queue by Movement - 2022 Full Build

Intersection	Approach	Movement	AM			School Dismissal			PM										
			LOS	Delay	Queue	LOS	Delay	Queue	LOS	Delay	Queue								
Parkridge Dr & Quarry D/LDHS Dvwy	EB	LT	C	15.9	15'	C	18.8	13'	B	10.9	5'								
		TH																	
		RT																	
	WB	LT	C	17.1	-	C	22.4	13'	B	11.8	-								
		TH	A	9.7	-	B	11.2	8'	A	9.4	-								
		RT	A	8.1	-	A	8.0	-	A	7.5	-								
	NB	LT	Free																
		TH																	
	SB	RT	Free																
		LT										A	7.8	-	A	8.3	-	A	7.7
TH																			

Analysis shows that the intersection is projected to continue to operate acceptably under Full Build 2022 conditions.

No improvements are required.

VI. Summary and Conclusion

This study serves as an analysis of the traffic impacts from the proposed Quarry Residences development in Corinth, Texas.

The City of Corinth requested this analysis to examine the impacts to traffic and to determine the need for a right-turn lane at the proposed site access.

Trip Generation

The proposed new development is expected to generate 919 daily trips, with 14 entering trips and 46 exiting trips in the AM peak hour, and 46 entering and 27 exiting trips in the PM peak hour.

Turn Lanes

The threshold for right-turn deceleration lanes on Arterial Streets with posted speed limits of 45 mph and below is 60 vehicles per hour (vph). Based on Full Build 2022 volumes, no southbound right-turn lane is required at Parkridge Drive & Quarry Drive.

Traffic Impacts

Analysis shows that the intersection is projected to continue to operate acceptably under Full Build 2022 conditions.

No improvements are required.

Appendix

Background Information

Traffic Volumes

Trip Generation

Capacity Analysis

BACKGROUND INFORMATION

Traffic Impact Analysis

Project Name: Quarry Residences

Threshold Worksheet

The City of Corinth’s Unified Development Code provides that a Traffic Study may be required with preliminary plat applications. *If the proposed development exceeds one or more of the three threshold criteria listed below, a traffic study will be required to be submitted with the preliminary plat application.* Otherwise, for projects that do not exceed any of the three criteria, a Traffic Study Threshold Worksheet must be submitted and approved by the City’s Engineer *prior to submittal* of the preliminary plat application. Please describe in detail your evaluation of each criteria listed below. Additional sheets may be attached if necessary.

Criteria #1: The development exceeds parking 100 spaces average per driveway.

Required parking is 448 spaces based on 127 residential units. The development has one access to Parkridge Drive. Criteria #1 is met.

Criteria #2: Any driveway or roadway in the development is projected to serve 1000 or more vehicles per day.*

According to ITE Trip Generation Manual, 10th Edition, the development is expected to generate 919 trips per day (#220 Multifamily Housing). Criteria #2 is not met.

Criteria #3: Any driveway in the development is projected to serve 100 ingress vehicles or more in the design hour.*

According to ITE Trip Generation Manual, 10th Edition, the development is expected to generate 73 trips in the PM peak hour (#220 Multifamily Housing). Criteria #3 is not met.

* Unless approved otherwise, trip generation rates should be based on the most recent edition of the Institute of Transportation Engineers (ITE) *Trip Generation Manual*.

I hereby certify that this project does not exceed any of the three threshold criteria shown above and therefore the development would not warrant a Traffic Study in accordance with Section 3.05.04.(D) Traffic Impact Analysis of the Unified Development Code of the City of Corinth.



08/10/2021

Design Engineer’s Signature

Date

Scott P Israelson, #116712

Print Name & License Number

Traffic Impact Group, LLC, #F16120

Firm & Registration Number

For City Use Only: The requirement for a Traffic Study with this submittal is hereby waived:

Name: _____

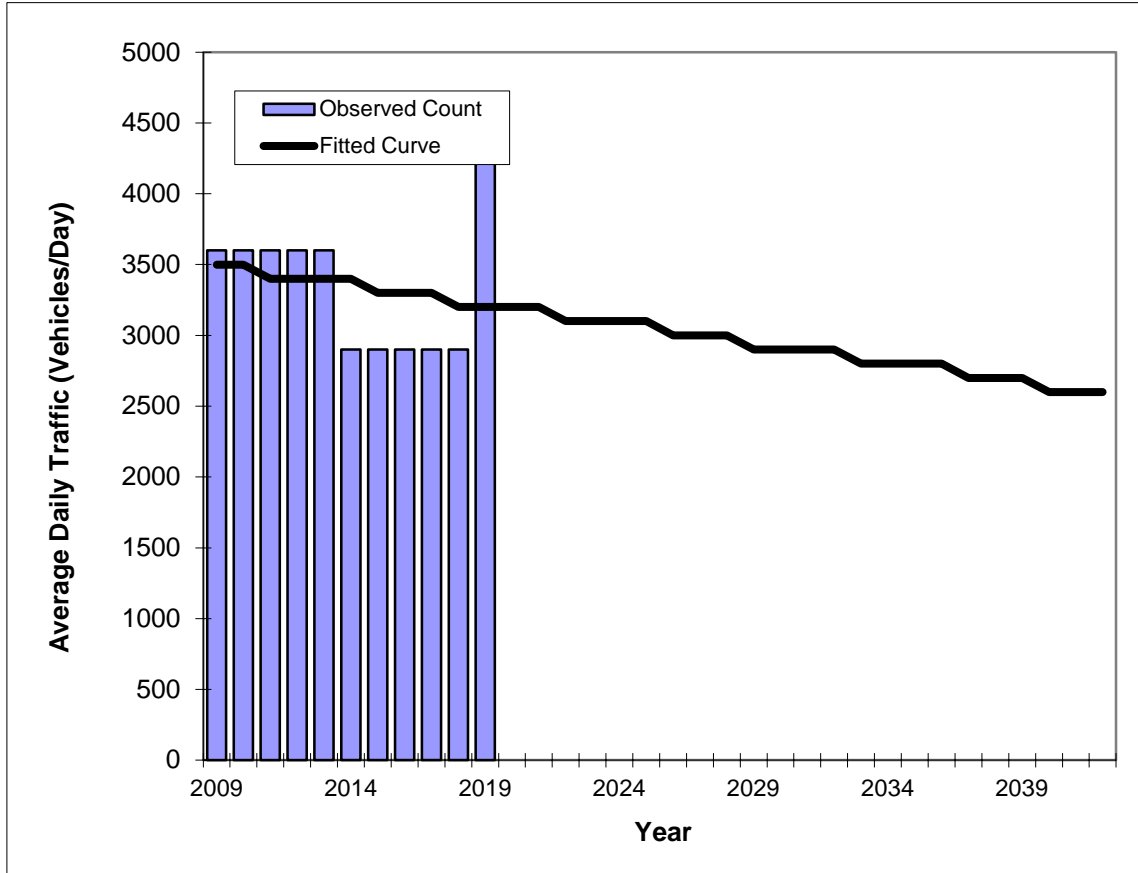
Title: _____ Date: _____

Traffic Trends - V2.0

Parkridge Drive -- north of Teasley Drive (FM 2181)

Location	0
----------	---

County:	Denton
Station #:	61U340
Highway:	Parkridge Drive



Year	Traffic (ADT/AADT)	
	Count*	Trend**
2009	3600	3500
2010	3600	3500
2011	3600	3400
2012	3600	3400
2013	3600	3400
2014	2900	3400
2015	2900	3300
2016	2900	3300
2017	2900	3300
2018	2900	3200
2019	4400	3200
2009 Opening Year Trend		
2009	N/A	3500
2020 Mid-Year Trend		
2020	N/A	3200
2022 Design Year Trend		
2022	N/A	3100
TRANPLAN Forecasts/Trends		

** Annual Trend Increase:	-27
Trend R-squared:	3.37%
Trend Annual Historic Growth Rate:	-0.86%
Trend Growth Rate (2019 to Design Year):	-1.04%
Printed:	17-Sep-21
Straight Line Growth Option	

*Axle-Adjusted

TRAFFIC VOLUMES

GRAM Traffic NTX Inc.
 1120 W. Lovers Lane
 Arlington, Texas, United States 76013
 817.265.8968

Count Name: PARKRIDGE DR
 DALLAS HS DWY
 Site Code:
 Start Date: 09/01/2021
 Page No: 1

Turning Movement Data

Start Time	PARKRIDGE DR Southbound					LAKE DALLAS HS DWY Westbound					PARKRIDGE DR Northbound					Eastbound St. Eastbound					Int. Total
	Left	Thru	Right	U-Turn	App. Total	Left	Thru	Right	U-Turn	App. Total	Left	Thru	Right	U-Turn	App. Total	Left	Thru	Right	U-Turn	App. Total	
7:00 AM	3	29	0	0	32	0	0	0	0	0	0	8	0	0	8	0	0	0	0	0	40
7:15 AM	6	40	0	0	46	1	0	1	0	2	0	15	0	0	15	0	0	0	0	0	63
7:30 AM	1	55	0	0	56	0	0	0	0	0	0	23	1	0	24	0	0	0	0	0	80
7:45 AM	6	91	0	0	97	3	0	4	0	7	0	42	1	0	43	0	0	0	0	0	147
Hourly Total	16	215	0	0	231	4	0	5	0	9	0	88	2	0	90	0	0	0	0	0	330
8:00 AM	13	89	0	0	102	4	0	9	0	13	0	62	0	0	62	0	0	0	0	0	177
8:15 AM	3	22	0	0	25	3	0	4	0	7	0	40	0	0	40	0	0	0	0	0	72
8:30 AM	0	14	0	0	14	0	0	0	0	0	0	10	0	0	10	0	0	0	0	0	24
8:45 AM	2	27	0	0	29	0	0	0	0	0	0	15	0	0	15	0	0	0	0	0	44
Hourly Total	18	152	0	0	170	7	0	13	0	20	0	127	0	0	127	0	0	0	0	0	317
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
2:00 PM	0	20	0	0	20	0	0	0	0	0	0	31	0	0	31	0	0	0	0	0	51
2:15 PM	0	18	0	0	18	0	0	0	0	0	0	26	0	0	26	0	0	0	0	0	44
2:30 PM	1	23	0	0	24	0	0	0	0	0	0	35	0	0	35	0	0	0	0	0	59
2:45 PM	1	20	0	0	21	1	0	3	0	4	0	46	2	0	48	0	0	0	0	0	73
Hourly Total	2	81	0	0	83	1	0	3	0	4	0	138	2	0	140	0	0	0	0	0	227
3:00 PM	1	25	0	0	26	0	0	0	0	0	0	28	0	0	28	0	0	0	0	0	54
3:15 PM	4	22	0	0	26	0	0	0	0	0	0	47	0	0	47	0	0	0	0	0	73
3:30 PM	11	42	0	0	53	0	0	0	0	0	0	32	2	0	34	0	0	0	0	0	87
3:45 PM	11	52	0	0	63	16	0	29	0	45	0	99	6	0	105	0	0	0	0	0	213
Hourly Total	27	141	0	0	168	16	0	29	0	45	0	206	8	0	214	0	0	0	0	0	427
4:00 PM	0	27	0	0	27	1	0	3	0	4	0	60	0	0	60	0	0	0	0	0	91
4:15 PM	2	25	0	0	27	0	0	3	0	3	0	57	1	0	58	0	0	0	0	0	88
4:30 PM	1	28	0	0	29	2	0	0	0	2	0	36	1	0	37	0	0	0	0	0	68
4:45 PM	0	30	0	0	30	0	0	0	0	0	0	41	0	0	41	0	0	0	0	0	71
Hourly Total	3	110	0	0	113	3	0	6	0	9	0	194	2	0	196	0	0	0	0	0	318
5:00 PM	0	22	0	0	22	0	0	2	0	2	0	53	0	0	53	0	0	0	0	0	77
5:15 PM	2	21	0	0	23	0	0	5	0	5	0	46	0	0	46	0	0	0	0	0	74
5:30 PM	0	34	0	0	34	0	0	0	0	0	0	50	1	0	51	0	0	0	0	0	85
5:45 PM	0	20	0	0	20	0	0	2	0	2	0	43	0	0	43	0	0	0	0	0	65
Hourly Total	2	97	0	0	99	0	0	9	0	9	0	192	1	0	193	0	0	0	0	0	301
Grand Total	68	796	0	0	864	31	0	65	0	96	0	945	15	0	960	0	0	0	0	0	1920
Approach %	7.9	92.1	0.0	0.0	-	32.3	0.0	67.7	0.0	-	0.0	98.4	1.6	0.0	-	0.0	0.0	0.0	0.0	-	-
Total %	3.5	41.5	0.0	0.0	45.0	1.6	0.0	3.4	0.0	5.0	0.0	49.2	0.8	0.0	50.0	0.0	0.0	0.0	0.0	0.0	-
Lights	68	782	0	0	850	31	0	65	0	96	0	938	14	0	952	0	0	0	0	0	1898
% Lights	100.0	98.2	-	-	98.4	100.0	-	100.0	-	100.0	-	99.3	93.3	-	99.2	-	-	-	-	-	98.9
Mediums	0	14	0	0	14	0	0	0	0	0	0	7	1	0	8	0	0	0	0	0	22
% Mediums	0.0	1.8	-	-	1.6	0.0	-	0.0	-	0.0	-	0.7	6.7	-	0.8	-	-	-	-	-	1.1
Articulated Trucks	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0

Quarry Residences - Corinth

Vistro File: C:\...\Corinth vistro.vistro

Scenario 1 AM

Report File: C:\...\vistro am.pdf

09/14/2021

Turning Movement Volume: Detail

ID	Intersection Name	Volume Type	Northbound			Southbound			Eastbound			Westbound			Total Volume
			Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	
1	Parkridge Dr & Lake Dallas HS/ Quarry Dr	Final Base	0	167	2	23	257	0	0	0	0	10	0	17	476
		Growth Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	-
		In Process	0	0	0	0	0	0	0	0	0	0	0	0	0
		Net New Trips	6	0	0	0	0	8	28	0	18	0	0	0	60
		Other	0	0	0	0	0	0	0	0	0	0	0	0	0
		Future Total	6	167	2	23	257	8	28	0	18	10	0	17	536

Quarry Residences - Corinth

Vistro File: C:\...\Corinth vistro.vistro

Scenario 2 School Dismissal

Report File: C:\...\vistro pm1.pdf

09/14/2021

Turning Movement Volume: Detail

ID	Intersection Name	Volume Type	Northbound			Southbound			Eastbound			Westbound			Total Volume
			Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	
1	Parkridge Dr & Lake Dallas HS/ Quarry Dr	Final Base	0	206	8	27	141	0	0	0	0	16	0	29	427
		Growth Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	-
		In Process	0	0	0	0	0	0	0	0	0	0	0	0	0
		Net New Trips	15	0	0	0	0	23	14	0	10	0	0	0	62
		Other	0	0	0	0	0	0	0	0	0	0	0	0	0
		Future Total	15	206	8	27	141	23	14	0	10	16	0	29	489

Quarry Residences - Corinth

Vistro File: C:\...\Corinth vistro.vistro

Scenario 3 PM

Report File: C:\...\vistro pm2.pdf

09/14/2021

Turning Movement Volume: Detail

ID	Intersection Name	Volume Type	Northbound			Southbound			Eastbound			Westbound			Total Volume
			Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	
1	Parkridge Dr & Lake Dallas HS/ Quarry Dr	Final Base	0	194	2	3	110	0	0	0	0	3	0	6	318
		Growth Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	-
		In Process	0	0	0	0	0	0	0	0	0	0	0	0	0
		Net New Trips	18	0	0	0	0	28	16	0	11	0	0	0	73
		Other	0	0	0	0	0	0	0	0	0	0	0	0	0
		Future Total	18	194	2	3	110	28	16	0	11	3	0	6	391

TRIP GENERATION

Project Information	
Project Name:	Corinth Quarry
No:	
Date:	08/10/2021
City:	Corinth
State/Province:	TX
Zip/Postal Code:	
Country:	
Client Name:	Rockwater Development
Analyst's Name:	SPI
Edition:	Trip Gen Manual, 10th Ed

Land Use	Size	Daily		AM		PM	
		Entry	Exit	Entry	Exit	Entry	Exit
220 - Multifamily Housing (Low-Rise) (General Urban/Suburban)	127 Dwelling Units	460	459	14	46	46	27
Reduction		0	0	0	0	0	0
Internal		0	0	0	0	0	0
Pass-by		0	0	0	0	0	0
Non-pass-by		460	459	14	46	46	27
Total		460	459	14	46	46	27
Total Reduction		0	0	0	0	0	0
Total Internal		0	0	0	0	0	0
Total Pass-by		0	0	0	0	0	0
Total Non-pass-by		460	459	14	46	46	27

CAPACITY ANALYSIS

Existing Conditions

Quarry Residences - Corinth
3: Parkridge Dr & LDHS driveway

Intersection						
Int Delay, s/veh	1					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↔		↔		↔	↔
Traffic Vol, veh/h	10	17	167	2	23	257
Future Vol, veh/h	10	17	167	2	23	257
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	200	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	67	67	67	67	67	67
Heavy Vehicles, %	0	0	0	0	0	0
Mvmt Flow	15	25	249	3	34	384

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	703	251	0	0	252
Stage 1	251	-	-	-	-
Stage 2	452	-	-	-	-
Critical Hdwy	6.4	6.2	-	-	4.1
Critical Hdwy Stg 1	5.4	-	-	-	-
Critical Hdwy Stg 2	5.4	-	-	-	-
Follow-up Hdwy	3.5	3.3	-	-	2.2
Pot Cap-1 Maneuver	407	793	-	-	1325
Stage 1	795	-	-	-	-
Stage 2	645	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	396	793	-	-	1325
Mov Cap-2 Maneuver	495	-	-	-	-
Stage 1	795	-	-	-	-
Stage 2	628	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	10.9	0	0.6
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	648	1325
HCM Lane V/C Ratio	-	-	0.062	0.026
HCM Control Delay (s)	-	-	10.9	7.8
HCM Lane LOS	-	-	B	A
HCM 95th %tile Q(veh)	-	-	0.2	0.1

Intersection						
Int Delay, s/veh	1.8					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↔		↔		↔	↔
Traffic Vol, veh/h	16	29	206	8	27	141
Future Vol, veh/h	16	29	206	8	27	141
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	200	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	50	50	50	50	50	50
Heavy Vehicles, %	0	0	0	0	0	0
Mvmt Flow	32	58	412	16	54	282

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	810	420	0	0	428
Stage 1	420	-	-	-	-
Stage 2	390	-	-	-	-
Critical Hdwy	6.4	6.2	-	-	4.1
Critical Hdwy Stg 1	5.4	-	-	-	-
Critical Hdwy Stg 2	5.4	-	-	-	-
Follow-up Hdwy	3.5	3.3	-	-	2.2
Pot Cap-1 Maneuver	352	638	-	-	1142
Stage 1	667	-	-	-	-
Stage 2	689	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	335	638	-	-	1142
Mov Cap-2 Maneuver	455	-	-	-	-
Stage 1	667	-	-	-	-
Stage 2	657	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	12.7	0	1.3
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	558	1142
HCM Lane V/C Ratio	-	-	0.161	0.047
HCM Control Delay (s)	-	-	12.7	8.3
HCM Lane LOS	-	-	B	A
HCM 95th %tile Q(veh)	-	-	0.6	0.1

Quarry Residences - Corinth
3: Parkridge Dr & LDHS driveway

Existing

Section E, Item 6.

09/13/2021

Intersection						
Int Delay, s/veh	0.3					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↔		↔		↔	↔
Traffic Vol, veh/h	3	6	194	2	3	110
Future Vol, veh/h	3	6	194	2	3	110
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	200	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	87	87	87	87	87	87
Heavy Vehicles, %	0	0	0	0	0	0
Mvmt Flow	3	7	223	2	3	126

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	356	224	0	0	225	0
Stage 1	224	-	-	-	-	-
Stage 2	132	-	-	-	-	-
Critical Hdwy	6.4	6.2	-	-	4.1	-
Critical Hdwy Stg 1	5.4	-	-	-	-	-
Critical Hdwy Stg 2	5.4	-	-	-	-	-
Follow-up Hdwy	3.5	3.3	-	-	2.2	-
Pot Cap-1 Maneuver	646	820	-	-	1356	-
Stage 1	818	-	-	-	-	-
Stage 2	899	-	-	-	-	-
Platoon blocked, %			-	-	-	-
Mov Cap-1 Maneuver	645	820	-	-	1356	-
Mov Cap-2 Maneuver	682	-	-	-	-	-
Stage 1	818	-	-	-	-	-
Stage 2	897	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	9.8	0	0.2
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	768	1356
HCM Lane V/C Ratio	-	-	0.013	0.003
HCM Control Delay (s)	-	-	9.8	7.7
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	0	0

Full Build 2022 Conditions

Quarry Residences - Corinth
3: Parkridge Dr & Quarry Dr/LDHS driveway

Intersection												
Int Delay, s/veh	2.4											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕		↕	↕		↕	↕		↕	↕	
Traffic Vol, veh/h	28	0	18	10	0	17	6	167	2	23	257	8
Future Vol, veh/h	28	0	18	10	0	17	6	167	2	23	257	8
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	0	-	-	200	-	-	200	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	67	67	67	67	67	67	67	67	67	67	67	67
Heavy Vehicles, %	0	0	0	0	0	0	0	0	0	0	0	0
Mvmt Flow	42	0	27	15	0	25	9	249	3	34	384	12

Major/Minor	Minor2		Minor1		Major1		Major2					
Conflicting Flow All	739	728	390	741	733	251	396	0	0	252	0	0
Stage 1	458	458	-	269	269	-	-	-	-	-	-	-
Stage 2	281	270	-	472	464	-	-	-	-	-	-	-
Critical Hdwy	7.1	6.5	6.2	7.1	6.5	6.2	4.1	-	-	4.1	-	-
Critical Hdwy Stg 1	6.1	5.5	-	6.1	5.5	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.1	5.5	-	6.1	5.5	-	-	-	-	-	-	-
Follow-up Hdwy	3.5	4	3.3	3.5	4	3.3	2.2	-	-	2.2	-	-
Pot Cap-1 Maneuver	336	353	663	335	350	793	1174	-	-	1325	-	-
Stage 1	587	570	-	741	690	-	-	-	-	-	-	-
Stage 2	730	690	-	576	567	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuver	317	341	663	313	338	793	1174	-	-	1325	-	-
Mov Cap-2 Maneuver	317	341	-	313	338	-	-	-	-	-	-	-
Stage 1	582	555	-	735	684	-	-	-	-	-	-	-
Stage 2	701	684	-	538	552	-	-	-	-	-	-	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	15.9		12.4		0.3		0.6	
HCM LOS	C		B					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	WBLn2	SBL	SBT	SBR
Capacity (veh/h)	1174	-	-	398	313	793	1325	-	-
HCM Lane V/C Ratio	0.008	-	-	0.173	0.048	0.032	0.026	-	-
HCM Control Delay (s)	8.1	-	-	15.9	17.1	9.7	7.8	-	-
HCM Lane LOS	A	-	-	C	C	A	A	-	-
HCM 95th %tile Q(veh)	0	-	-	0.6	0.1	0.1	0.1	-	-

Intersection												
Int Delay, s/veh	3											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕		↕	↕		↕	↕		↕	↕	
Traffic Vol, veh/h	14	0	10	16	0	29	15	206	8	27	141	23
Future Vol, veh/h	14	0	10	16	0	29	15	206	8	27	141	23
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	0	-	-	200	-	-	200	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	50	50	50	50	50	50	50	50	50	50	50	50
Heavy Vehicles, %	0	0	0	0	0	0	0	0	0	0	0	0
Mvmt Flow	28	0	20	32	0	58	30	412	16	54	282	46

Major/Minor	Minor2		Minor1		Major1		Major2					
Conflicting Flow All	922	901	305	903	916	420	328	0	0	428	0	0
Stage 1	413	413	-	480	480	-	-	-	-	-	-	-
Stage 2	509	488	-	423	436	-	-	-	-	-	-	-
Critical Hdwy	7.1	6.5	6.2	7.1	6.5	6.2	4.1	-	-	4.1	-	-
Critical Hdwy Stg 1	6.1	5.5	-	6.1	5.5	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.1	5.5	-	6.1	5.5	-	-	-	-	-	-	-
Follow-up Hdwy	3.5	4	3.3	3.5	4	3.3	2.2	-	-	2.2	-	-
Pot Cap-1 Maneuver	253	280	740	260	274	638	1243	-	-	1142	-	-
Stage 1	620	597	-	571	558	-	-	-	-	-	-	-
Stage 2	550	553	-	613	583	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuver	218	260	740	239	255	638	1243	-	-	1142	-	-
Mov Cap-2 Maneuver	218	260	-	239	255	-	-	-	-	-	-	-
Stage 1	605	569	-	557	545	-	-	-	-	-	-	-
Stage 2	488	540	-	568	556	-	-	-	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	18.8	15.2	0.5	1.2
HCM LOS	C	C		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	WBLn2	SBL	SBT	SBR
Capacity (veh/h)	1243	-	-	309	239	638	1142	-	-
HCM Lane V/C Ratio	0.024	-	-	0.155	0.134	0.091	0.047	-	-
HCM Control Delay (s)	8	-	-	18.8	22.4	11.2	8.3	-	-
HCM Lane LOS	A	-	-	C	C	B	A	-	-
HCM 95th %tile Q(veh)	0.1	-	-	0.5	0.5	0.3	0.1	-	-

Quarry Residences - Corinth
3: Parkridge Dr & Quarry Dr/LDHS driveway

Full Build

Section E, Item 6.

09/15/2021

Intersection												
Int Delay, s/veh	1.4											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕		↕	↕		↕	↕		↕	↕	
Traffic Vol, veh/h	16	0	11	3	0	6	18	194	2	3	110	28
Future Vol, veh/h	16	0	11	3	0	6	18	194	2	3	110	28
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	0	-	-	200	-	-	200	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	87	87	87	87	87	87	87	87	87	87	87	87
Heavy Vehicles, %	0	0	0	0	0	0	0	0	0	0	0	0
Mvmt Flow	18	0	13	3	0	7	21	223	2	3	126	32

Major/Minor	Minor2		Minor1		Major1		Major2					
Conflicting Flow All	418	415	142	421	430	224	158	0	0	225	0	0
Stage 1	148	148	-	266	266	-	-	-	-	-	-	-
Stage 2	270	267	-	155	164	-	-	-	-	-	-	-
Critical Hdwy	7.1	6.5	6.2	7.1	6.5	6.2	4.1	-	-	4.1	-	-
Critical Hdwy Stg 1	6.1	5.5	-	6.1	5.5	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.1	5.5	-	6.1	5.5	-	-	-	-	-	-	-
Follow-up Hdwy	3.5	4	3.3	3.5	4	3.3	2.2	-	-	2.2	-	-
Pot Cap-1 Maneuver	549	531	911	546	521	820	1434	-	-	1356	-	-
Stage 1	859	779	-	744	692	-	-	-	-	-	-	-
Stage 2	740	692	-	852	766	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuver	537	522	911	531	512	820	1434	-	-	1356	-	-
Mov Cap-2 Maneuver	537	522	-	531	512	-	-	-	-	-	-	-
Stage 1	846	777	-	733	682	-	-	-	-	-	-	-
Stage 2	723	682	-	838	764	-	-	-	-	-	-	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	10.9		10.2		0.6		0.2	
HCM LOS	B		B					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	WBLn2	SBL	SBT	SBR
Capacity (veh/h)	1434	-	-	645	531	820	1356	-	-
HCM Lane V/C Ratio	0.014	-	-	0.048	0.006	0.008	0.003	-	-
HCM Control Delay (s)	7.5	-	-	10.9	11.8	9.4	7.7	-	-
HCM Lane LOS	A	-	-	B	B	A	A	-	-
HCM 95th %tile Q(veh)	0	-	-	0.2	0	0	0	-	-

EXHIBIT I

NOTES

1. BNDY AND PROPERTY INFO FROM OTHERS
2. EXIST CONTOURS FROM DFWMAPS
3. ASBULTS FROM CITY OF CORINTH
4. OFFSITE EASEMENTS REQUIRED
(TO BE OBTAINED BY DEVELOPER)
5. NO CODE RESEARCH PERFORMED
6. POTENTIAL UTILITY CONFLICTS UNKNOWN
7. DESIGN SHALL BE CONFIRMED WITH ON-THE-GROUND SURVEY DATA

NORTH

1"=100'
JUNE 1 2021

0+00
CONNECT TO EX MH

PRELIMINARY SS EXHIBIT

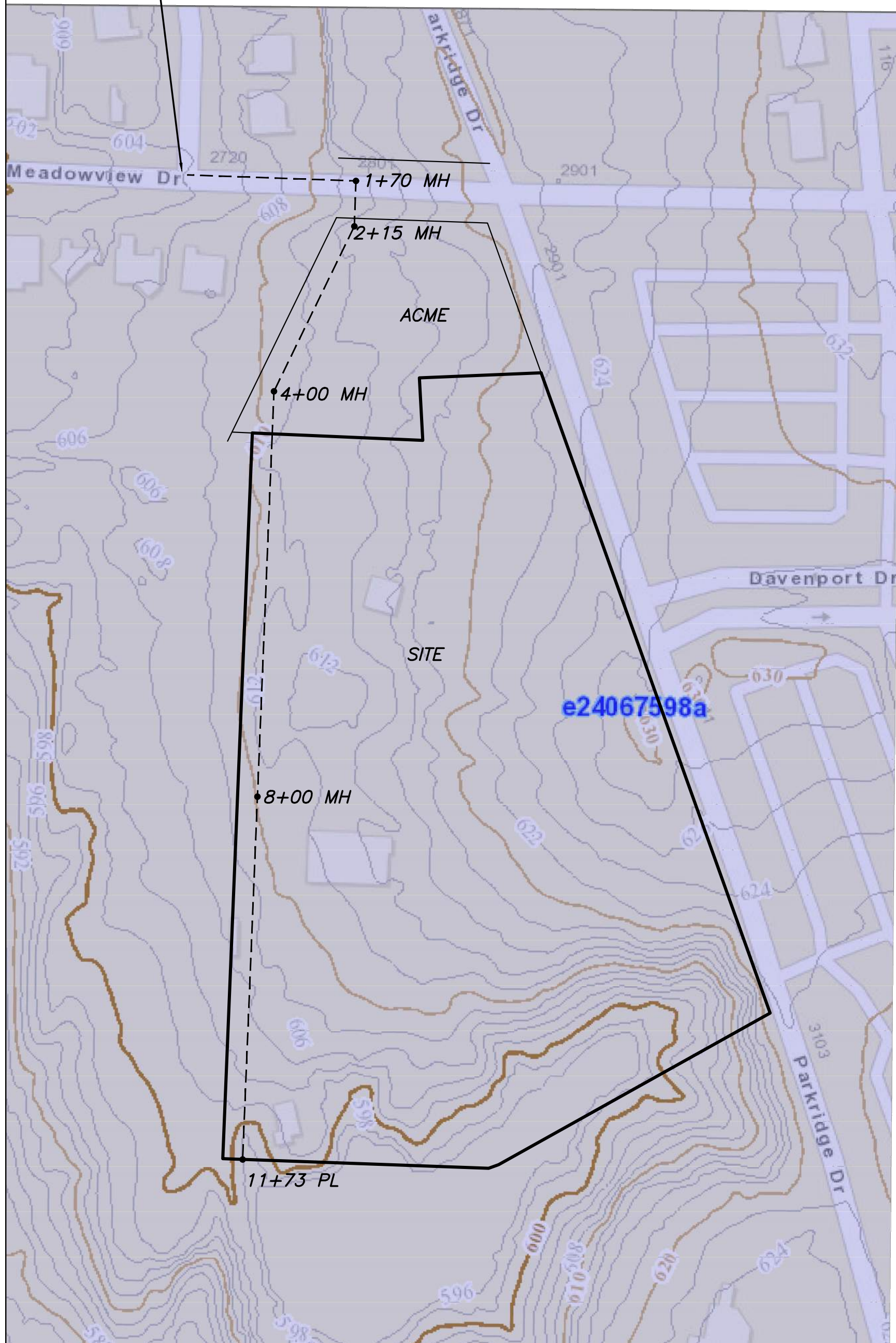
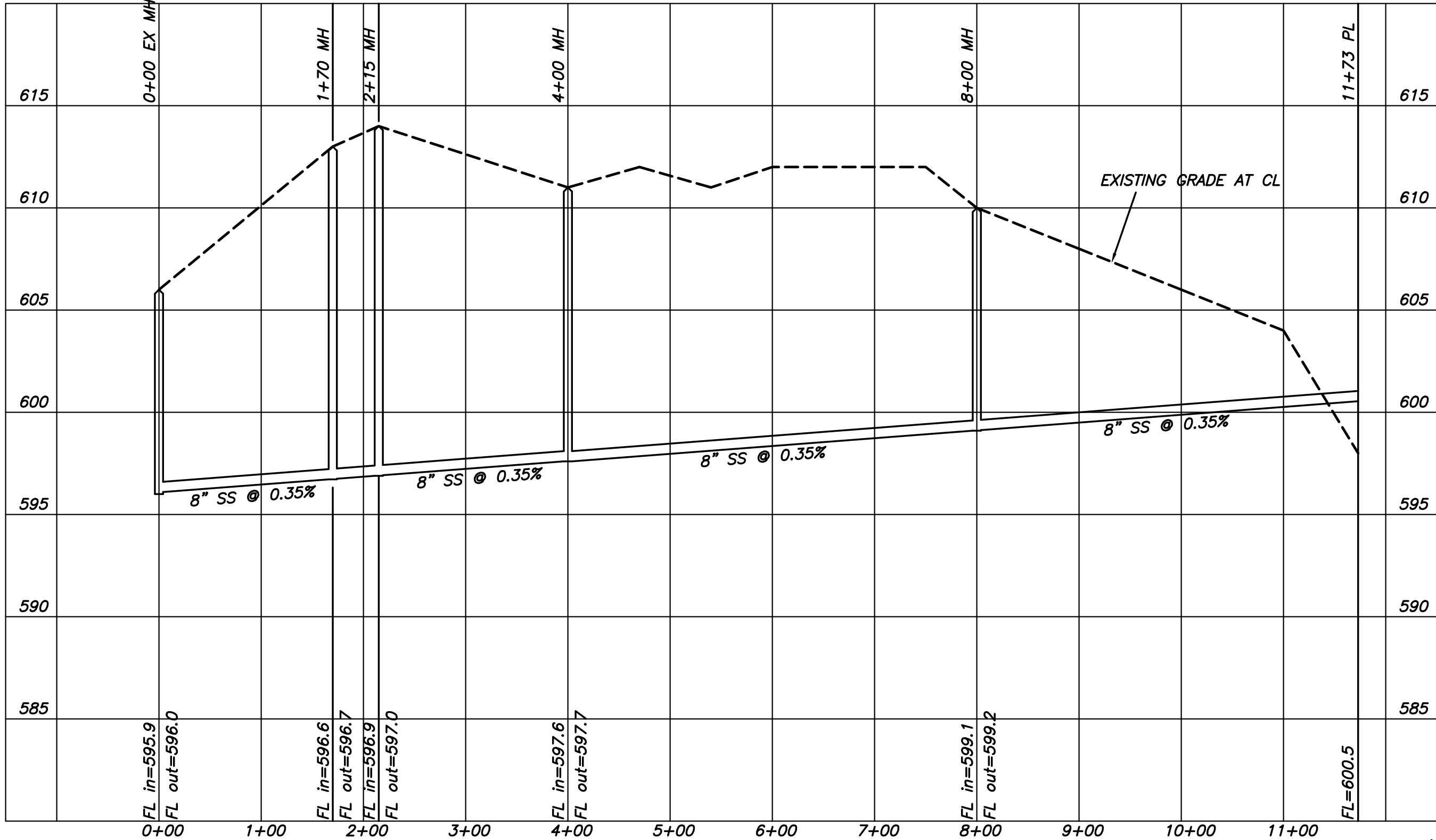


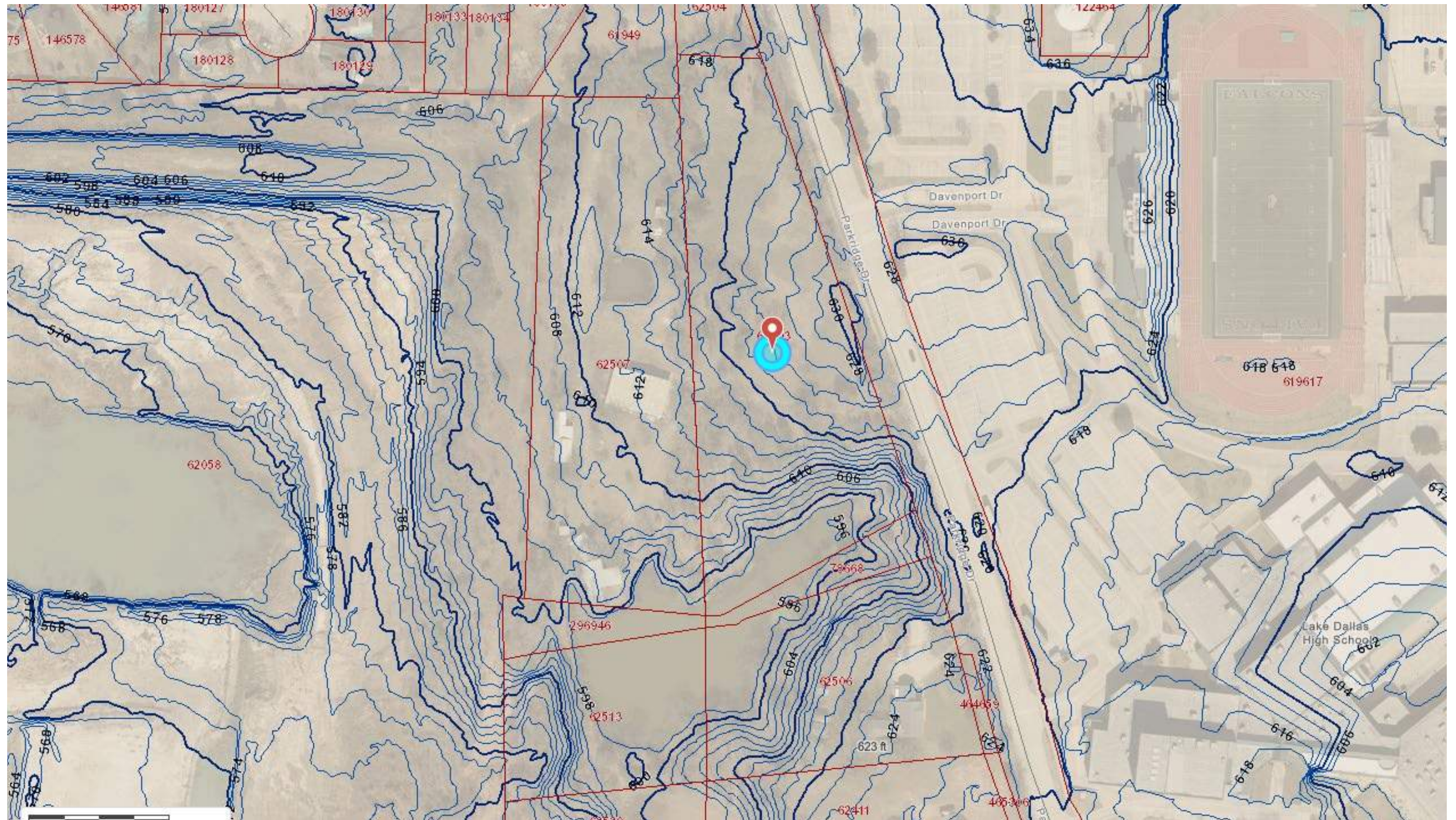
Exhibit I

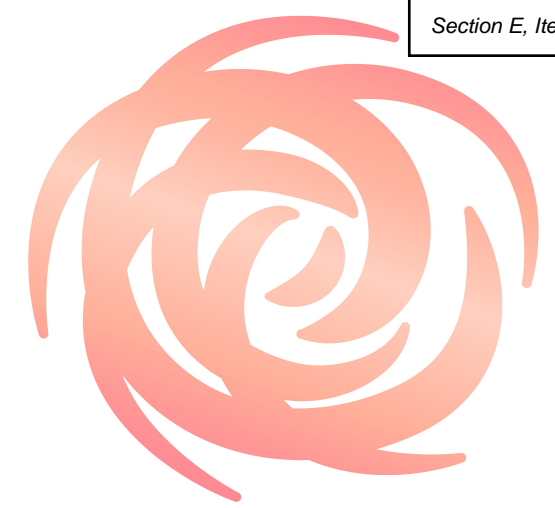


PRELIMINARY SS EXHIBIT

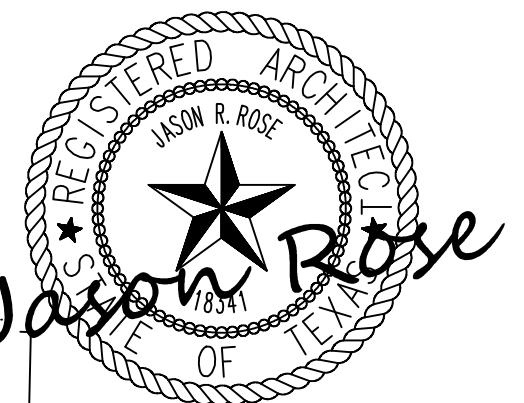
1"=100'H
1"=5'V

Exhibit J - Site's Existing Topography





J Rose Architects & Planners
2120 Cosmos Way
Argyle, TX 76226
(214) 454-7895 T.
jason@jrosearchitect.com



2-13-2023

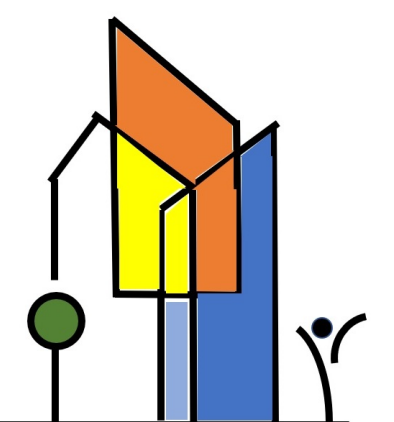
Consultants:

Civil Engineer:
Oracle Engineering
Matt Kostial, P.E.
2204 Green Hill Drive
McKinney, TX 75070
(214) 226-5325 Tel.
mattkostial@sbcglobal.net

Surveyor:
Duenes Land Surveying, LLC
Dustin Davison, R.P.L.S.
2112 Blackfoot Trail
Mesquite, TX 75149
(214) 317-0685 Tel.
dustin@dueneslandsurveying.com

Geotechnical Engineer:
Rone Engineering
Mark D. Gray, P.E.
8908 Ambassador Row
Dallas, TX 75247 Tel.
(214) 630-9745 Tel.
mgray@roneengineers.com

Project Title:
Quarry



3000 Parkridge Dr.
Corinth, TX 76201

Sheet Title:
Shaded Open Space Exhibit

Drawn by: JRR
Date Created: 2-13-2023

SHEET

EX-K

Revised on: 2-13-2023 172



MUTUAL DRAINAGE EASEMENT

North

01 SHADED OPEN SPACE EXHIBIT
SCALE 1"=40'-0"

Legend:

- Lake Recreation Lot (Lot 1X)
- Amenitized North Detention Pond (Lot 4X)
- South Open Space Lot (Lot 2X)
- Dog Park (Lot 3X)
- Activity Nodes (1,444 SF x4)
- Parkridge Trail (8'x685.51')
- Quarry Trail (8'x395.29')
- Fenced Private Yards (90 EA X 350 SF)
- Misc. Open Space Area (Exclusive of Paving)*

*does not count towards any recreation or open space requirements.

Area:

- 117,175 sf / 2.690 ac
- 21,285 sf / .489 ac
- 22,902 sf / 0.526 ac
- 4,417 sf / .101 ac
- 5,776 sf / .133 ac
- 5,484 sf / .126 ac
- 3,162sf / .073 ac
- 31,500 sf / .723 ac
- 30,648 sf / 0.704 ac



QUARRY

Letters of Support

Obtained by
Applicant



Neighborhood Support Map



RECEIVED
AUG 19 2021
BY.....

Dianne Arnold
3012 Parkridge Drive
Corinth, Texas 76210-2228

Wednesday, September 1, 2021

Michelle L. Mixell, AICP, CNU-A
Director of Planning and Development
Corinth City Hall
3300 Corinth Parkway
Corinth, Texas 76208
(940) 498-3261 Tel.
Michelle.Mixell@cityofcorinth.com

Dear Ms. Mixell:

Subject: Proposed "Quarry Residential Development at 3000 Parkridge Drive"

I am writing you to express my support for the developer's "townhome" condominium community being proposed at 3000 Parkridge Drive, Corinth, Texas.

I feel it is important to note that the developer contacted me prior to even contracting on the land to introduce himself and apprise me as to his intentions, which I appreciated immensely. Having seen a sign on the Property, it was not unexpected.

My late husband and I lived on our property at 3012 Parkridge Drive since 2006, over 15 years. We watched both Corinth and Lake Dallas High School grow through that time and have always understood growth to be inevitable.

Most recently, I survived the major 2020 major expansion to Lake Dallas High School across the street, the result of a voter approved 2019 major bond hearing. It caused me to begin searching for places where I could relocate my animals to in the near future and to come to terms with the major growth closing in around me.

Having lived here now for over 15 years I am well aware of the area, the hurdles of living next to a rapidly expanding high school campus and stadium, as well as the growth occurring along Teasley Drive corridor.

Having been here a very long time, I believe that the denser housing option that the developer is proposing is appropriate for this particular location due to the proximity to all of these intense usages not to mention the Acme clay mine located at the rear of our adjoining properties. While it may not be my preferred living choice, I know it fits the area he is proposing it in. I know this because I began my search for more space prior to him contacting me due to the growth already occurring directly around me. I was shocked at how high prices are being driven up by the explosive growth that we are experiencing, another factor contributing to the increased affordable housing demand that is driving these type of housing developments I am sure.

Change is inevitable as the Metroplex continues to thrive and grow at a neck breaking pace and the people the growth brings are as varied and unique as are the housing options created right along with it. While Corinth began as a predominantly suburb community outside and away from the major growth that is no longer the case. Growth and expansion have found us.

Fully aware of this and having lived at this location for a very long time, I feel this to be perhaps the most appropriate location in all of Corinth for the type of housing being proposed by the developer. I know that people seeking a quiet, remote lifestyle will not be seeking that out between a rapidly growing High School Campus with a football stadium and its parking lot and an active clay mine a block removed from a bustling Teasley Drive. If dense housing is an option people find desirable, then I would prefer the dense housing options be provided in appropriate location such as this one thereby preserving other less dense areas where appropriate or having been already established.

In conclusion, I want to express my support for the developer's proposed community as having lived here for over 15 years, I believe the location is as appropriate of one that can be found for it.

Dianne Arnold

RECEIVED
AUG 19 2021

BY:



Suzy Flute
Broker Associate
Telephone: (214) 682-4135
suzy@fluterealty.com
<https://suzyflute.fathomrealty.com>

November 25, 2021

Dear City of Corinth Planning Department,

I attended a meeting with developer Jason Rose and the neighbor to his proposed development, Dianne Arnold, to review his plans to build condominium townhomes. Possessing over 21 years of sales, marketing, and advertising experience, as well as having grown up in North Texas and attending The University of North Texas, I am very familiar with, and experienced in, the North Texas residential market. I also previously resided in the city of Corinth for nearly 20 years.

I believe the product proposed to be built by the developer will be in very high demand as the price point the developer is proposing is very difficult to find, and it appears will be even more so in the upcoming future.

I agree with the developer's inclusion of attached garages, front porch entries, and private fenced yards. These are options typically not available in traditional apartments and currently becoming increasing more expensive to obtain in the single-family market as well.

I was asked by Dianne Arnold, who resides at 3012 Parkridge Drive, and who lives immediately adjacent to the developer's proposed project, for my critique of the developer's proposed project as I was the realtor for the home she currently resides in back in 2006, and am very familiar with the area.

Being acquainted with this area of Corinth, and this property's location specifically, I feel that the developer's proposed density and use is appropriate..

For the reasons above, I wish to extend my support for developer's proposed "Quarry Townhomes" development.

Please feel free to contact me with any questions.

Sincerely,

Suzy Flute

RECEIVED
AUG 19 2021

BY:



**WILLIAM DAVIS
REALTY**

Darlene McLaughlin
Licensed Realtor
William Davis Realty
17732 Preston Road, Suite 100
Dallas, TX 75252
(972) 732-6002 T.
<https://www.mywdr.com/>
1120dab@gmail.com

September 13, 2021

Dear City of Corinth Planning & Zoning Commission & City Council:

I was recently introduced to the developer's proposed "Quarry Townhomes" through an industry associate and wanted to express my strong support for the need of a unique housing product such as this!

The DFW Metroplex has for decades focused on traditional single-family houses marketed toward nuclear families on similar sized lots driven by similarly drafted city zoning ordinances. Likewise, multifamily developers have produced traditional multifamily developments very similar in design and feel.

What was not produced, even as the market segment continued to grow exponentially, was a product that was not a suburban single-family house with a large yard, nor an apartment with vast uncovered parking lots, stairs, corridors, and neighbors above, next to, and below.

The product the developer is proposing is truly unique to the North Texas housing market, thoughtfully includes private attached garages and individual fenced yards, offers a low maintenance lifestyle choice, and will be highly sought after by a market segment long neglected, who are often forced into buying either a much larger home than needed in search of these amenities, or an apartment.

I am excited that a product like this is being proposed and already have many, many clients that this will be a perfect fit for! Please accept this letter in support of the developer's proposed "Quarry Townhomes," and accept my well over twenty years of industry experience, telling you this product will be in high demand, and has been needed for a long, long time!

Sincerely,

Darlene McLaughlin

RECEIVED
AUG 19 2021
BY:

“Quarry Townhomes” 3000 Parkridge Drive, Corinth, Texas

Michelle L. Mixell, AICP, CNU-A
Director of Planning and Development
Corinth City Hall
3300 Corinth Parkway
Corinth, Texas 76208
(940) 498-3261 Tel.
Michelle.Mixell@cityofcorinth.com

Re: Letter of Support – “Quarry Townhomes” 3000 Parkridge Drive

Dear Ms. Mixell:

Please accept this letter as support for the development of the proposed Townhome development “Quarry Townhomes.” We have reviewed the conceptual plan and wish to express our support of this Project.

Sincerely,



Address:

2716 meadowview Dr, Corinth, TX 74210

RECEIVED
AUG 19 2021

BY:

“Quarry Townhomes” 3000 Parkridge Drive, Corinth, Texas

Michelle L. Mixell, AICP, CNU-A
Director of Planning and Development
Corinth City Hall
3300 Corinth Parkway
Corinth, Texas 76208
(940) 498-3261 Tel.
Michelle.Mixell@cityofcorinth.com

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Dear Ms. Mixell:

Please accept this letter as support for the development of the proposed Townhome development “Quarry Townhomes.” We have reviewed the conceptual plan and wish to express our support of this Project.

Sincerely,



Address:

2718 Meadowview Dr.
Corinth, TX 76210

RECEIVED
AUG 19 2021

BY:

“Quarry Townhomes” 3000 Parkridge Drive, Corinth, Texas

Michelle L. Mixell, AICP, CNU-A
Director of Planning and Development
Corinth City Hall
3300 Corinth Parkway
Corinth, Texas 76208
(940) 498-3261 Tel.
Michelle.Mixell@cityofcorinth.com

Re: Letter of Support – “Quarry Townhomes” 3000 Parkridge Drive

Dear Ms. Mixell:

Please accept this letter as support for the development of the proposed Townhome development “Quarry Townhomes.” We have reviewed the conceptual plan and wish to express our support of this Project.

Sincerely,



Address:

2720 Meadowview Drive, Corinth

RECEIVED
AUG 19 2021

BY:

From: [Richard Murphy](#)
To: [Jason Rose](#)
Subject: Re: [EXT] Acme property at Parkridge Drive & Meadowview Drive
Date: Friday, July 2, 2021 1:16:49 PM
Attachments: [image001.png](#)
[0.png](#)

Timely of you to email. I'm just back from some extensive driving. I have the green light to proceed with the easement. I'll be in contact with our lawyer after the holiday to move forward.

Thanks,

Richard MURPHY

Sent from my iPhone

On Jul 2, 2021, at 9:45 AM, Jason Rose <jason@jrosearchitect.com> wrote:

<0.png>

Richard,

Just wanted to follow up with you regarding the possibility of purchasing either the land or a sanitary sewer easement from Acme Brick at the Property located at the Southwest corner of Parkridge Drive & Meadowview Drive.

Hope you have some fun plans for the 4th of July. Let me know if anything has been discussed after the holiday. Juist received my surveying and plan on starting to study some site layouts soon. Thanks!

Respectfully,

Jason Rose
Texas Licensed Architect #18341
(214) 454-7895 Mobile
jason@jrosearchitect.com
<image001.png>

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BY:



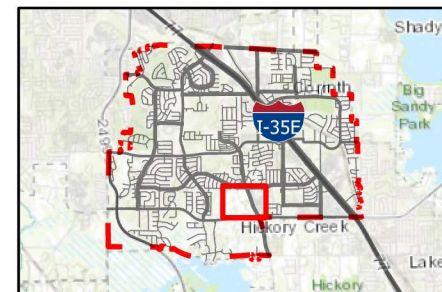
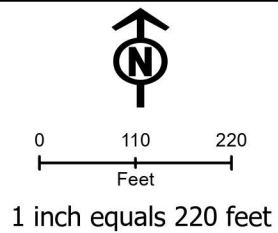
**ATTACHMENT 2:
200' ZONING BUFFER MAP**

Proposed Zoning Change

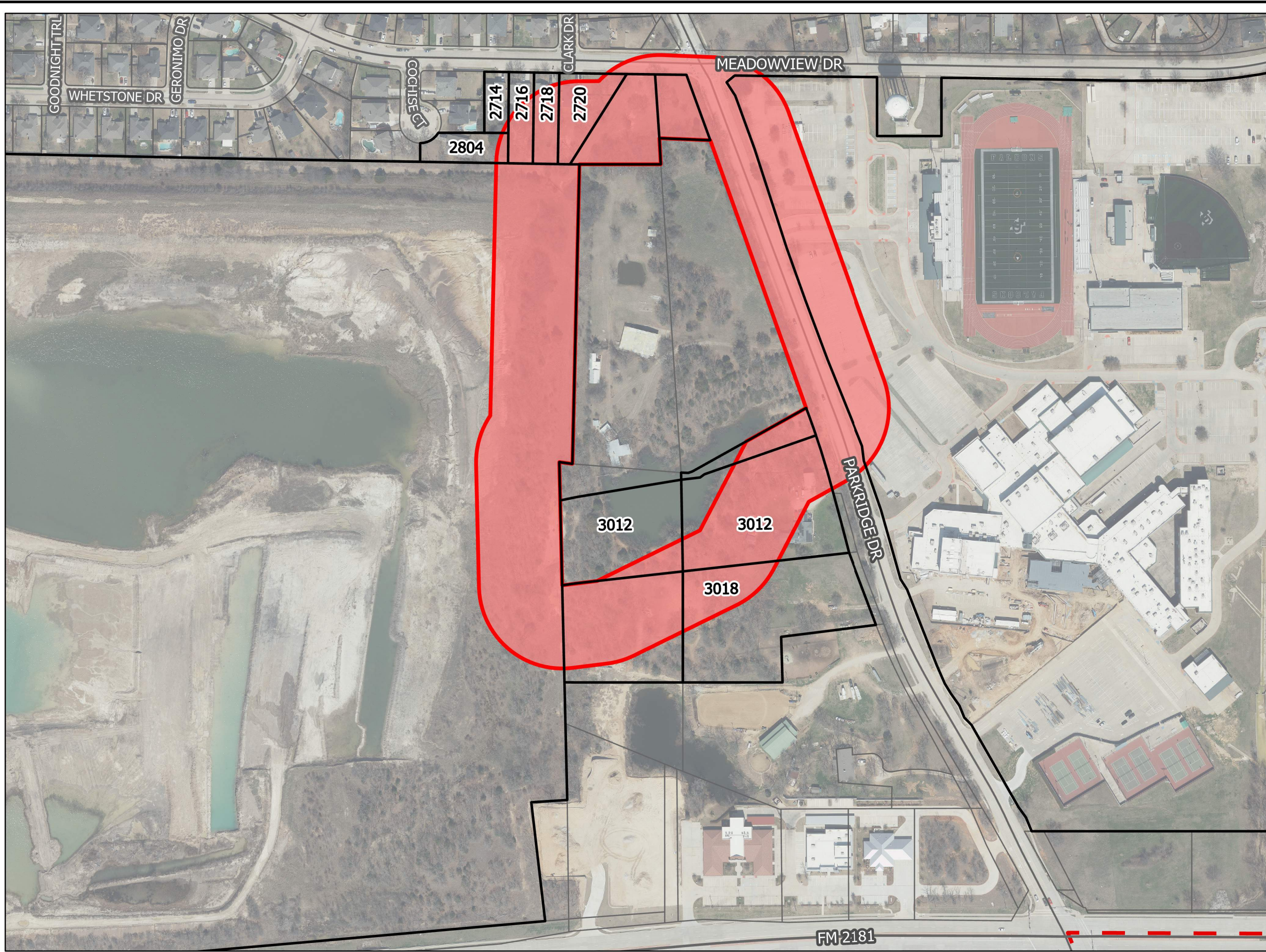
*Quarry Multi-Family PD
 (ZAPD21-0002)*

 Properties within 200 ft of area proposed to be rezoned from SF-2 Single Family to a Planned Development (PD) with a base zoning district of MF-1 Multi-Family

2/9/2023



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**ATTACHMENT 3:
LETTERS FROM PROPERTY OWNERS INSIDE 200' BUFFER**

RECEIVED
FEB 24 2023

BY: *MS*



Planning and Zoning Commission Meeting
Date: **MONDAY, February 27, 2023, at 6:30 P.M.**

City Council Regular Meeting
Date: **THURSDAY, March 16, 2023, at 6:30 P.M.**

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208. The meetings will be broadcast live at <https://www.cityofcorinth.com/remotesession>.

PUBLIC HEARING NOTICE

Dear Property Owner:

On Monday, February 27, 2023, at 6:30 PM, the City of Corinth Planning and Zoning Commission will conduct a public hearing on the item listed below. Should the Planning & Zoning Commission make a recommendation, the Corinth City Council will conduct a public hearing on Thursday, March 16, 2023, at 6:30 PM and will consider acting on the item listed below. The meetings will be held at the Corinth City Hall, 3300 Corinth Pkwy, Corinth, Texas 76208.

- A request to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code of the City, from SF-2 Single Family Residential to a Planned Development with a base zoning district of MF-1 Multi-Family Residential for 90 multifamily units on approximately ± 9.1 acres generally located on the west side of Parkridge Drive, north of FM 2181, south of Meadowview Drive, and east of the Acme Brick quarry. Case No. ZAPD21-0002 – Quarry Multi-Family.

Additional information regarding this request can be found on the Upcoming Public Hearings page of the City of Corinth website at: <https://www.cityofcorinth.com/planning-development/page/upcoming-public-hearings>

As a property owner within two hundred (200) feet of this property, you are invited to attend this meeting in-person and voice your opinion at the public hearing (please note you are not required to attend).

Additionally, your opinion regarding the request on the property described above may be expressed by notation on this form or by letter. You may support or oppose this request; your opposition will be considered a protest. Signed written comments must be received by the City of Corinth Planning and Development Department at 3300 Corinth Parkway, Corinth, Texas 76208 (3 days prior to public hearing). Signed comments may be scanned and sent by email to Michelle Mixell, Planning Manager, at planning@cityofcorinth.com. Additionally, if you have any questions regarding this request, you may call 940-498-3262 for assistance.

I am writing in (Check as applicable) Support: Opposition: of the proposal.

We are not in favor, thank you.

Name/Address/City: (REQUIRED)

Dan and Amy Derton 2716 Meadowview dr
(Please Print)
Corinth tx 76210

Signature: (REQUIRED)

[Handwritten Signature]
(Signature)

From: George Marshall
Sent: Thursday, February 23, 2023 11:04 AM
To: Western, Brenda; Michelle Mixell
Cc: John Webb; Miguel Inclan; Matthew Lilly
Subject: RE: Questions related to the proposed Quarry Multi-Family project - Stormwater questions from resident within 200' of proposed project

As part of the City Master thoroughfare plan, the streets you mention were all designed for future development. As specific intersections encounter unacceptable delays, the City (and TxDOT) will evaluate if there are necessary improvements.

Thank You, George

George S. Marshall, P.E, CFM
City Engineer
City of Corinth | Engineering Department
Phone: 940-498-3265 | Email: George.Marshall@cityofcorinth.com



From: Western, Brenda
Sent: Thursday, February 23, 2023 10:57 AM
To: Michelle Mixell <Michelle.Mixell@cityofcorinth.com>
Cc: John Webb <John.Webb@cityofcorinth.com>; Miguel Inclan <Miguel.Inclan@cityofcorinth.com>; Matthew Lilly <Matthew.Lilly@cityofcorinth.com>; George Marshall <George.Marshall@cityofcorinth.com>
Subject: Re: Questions related to the proposed Quarry Multi-Family project - Stormwater questions from resident within 200' of proposed project

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Good morning,
Thank you taking the time to address our concerns. I'm also wondering if any traffic studies were completed to review the potential increase in vehicles traveling from Lake Sharon and South to Parkridge (development of Meritage Homes), Quarry Development (across from Lake Dallas HS) and the additional traffic from the intersection of Parkridge and FM 2181 (Tri-Pointe Homes, D R Horton Homes, Steeplechase and the Beazer Development near the lake which will all flow to FM 2181. There is already heavy congestion in the morning and afternoon. The

alternate route from Parkridge traveling East on Meadowview to I-35 is also very congested due to drop off and pick up at the Charter School.

Thanks,
Brenda

From: Michelle Mixell <Michelle.Mixell@cityofcorinth.com>
Sent: Thursday, February 23, 2023 10:21 AM
To: Western, Brenda
Cc: John Webb <John.Webb@cityofcorinth.com>; Miguel Inclan <Miguel.Inclan@cityofcorinth.com>; Matthew Lilly <Matthew.Lilly@cityofcorinth.com>; George Marshall

<George.Marshall@cityofcorinth.com>

Subject: FW: Questions related to the proposed Quarry Multi-Family project - Stormwater questions from resident within 200' of proposed project

Hi Brenda,

Please see our responses to your questions **inserted** into your email below. Engineering comments are in **blue** and Planning comments are in **purple**.

Please reach out if with any other questions.

Best regards,

Michelle L. Mixell, AICP, CNU-A
Planning Manager | Development Services

City of Corinth
3300 Corinth Parkway
Corinth, TX 76208
(940) 498-3261 Direct
Michelle.Mixell@cityofcorinth.com



From: Western, Brenda
Sent: Wednesday, February 22, 2023 7:54 PM
To: Michelle Mixell <Michelle.Mixell@cityofcorinth.com>; Planners <Planning@cityofcorinth.com>
Subject: Questions related to the proposed Quarry Multi-Family project
Importance: High

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Hello Michelle,

As residents who live within 200 feet of the proposed Multi-Family Quarry Development we have a few questions so we can more fully understand the impact on our property in the future.

- I had a previous conversation with the Real Estate Broker who had listed this land for sale several years ago. He explained to me a lift station would need to be constructed to

tie into the existing sewer lines. Is this accurate information and if so, who is responsible for the construction?**[George Marshall]** The developer has determined a way to gravity flow to a sewer line on Meadowview. This is all the Developer's responsibility for Cost.

- We already experience a high amount of runoff when we experience a heavy rain and our home on 2804 Cochise Court. We see a small pond at the Northwest corner and the much larger pond which will lie between the property with the donkeys and the development. What is the purpose of the smaller pond? **[George Marshall]** for Detention of drainage. How will the excess water created by adding concrete instead of present dirt and vegetation be controlled? **[George Marshall]** The developer is required to design their site to prevent any additional flowrate discharging their site. This is required as part of our Engineering standards and supported by state law. That is the reasoning for the two detention basins. Our present system of diverting water by the swale can't accommodate more runoff.**[George Marshall]** The site will not drain to your swale. The entire development will direct drainage into the existing pond to the south

and it drains into the acme site.



- Do you know who the target builder will be for the project? **[Michelle Mixell]** -Jason Rose, the applicant, will be the builder. Jason Rose is a local architect/builder/developer and has completed projects in Coppell, McKinney, and Lewisville.
- Will they be owner occupied or set up as rental properties? **[Michelle Mixell]** – The applicant has indicated the development will be set up as condominiums with a homeowner’s association.

Many thanks,
Brenda Western



**ATTACHMENT 4:
LETTERS FROM PROPERTY OWNERS OUTSIDE 200'
BUFFER**

From: Jon Gesell
Sent: Sunday, February 19, 2023 9:55 PM
To: Planners
Subject: Case No. ZAPD21-0002

RECEIVED
FEB 19 2023
BY: *ms*

Follow Up Flag: Follow up
Flag Status: Flagged

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Dear Ms. Mixell,

I am writing to you today in regards to Case No. ZAPD21-0002 – Quarry Multi-Family, which would rezone the approximately ± 9.1 acres generally located on the west side of Parkridge Drive, north of FM 2181, south of Meadowview Drive, and east of the Acme Brick quarry to MF-1 Multi-Family Residential for 90 multifamily units.

My family resides near this location and uses Parkridge Drive several times a day carrying out our regular travels, errands, and family excursions. This proposed rezoning and addition of 90 units is one we DO NOT support. The addition of 90 housing units and potentially 100+ vehicles would cause a huge increase in traffic congestion in an area that would have an outstanding impact on our community, an area which already experiences high traffic at certain points of the day.

This stretch of road is very active before and after school, not only with cars but with a high number of students who walk to and from school. The parking lots around the high school and football stadium are also popular destinations for families, which many use as a safe place for small children to practice riding bicycles and other wheeled conveyances. There is also a lot of foot traffic in this area during the day and night, as it is an active road that connects several neighborhoods.

Thank you for your time. I hope this email will encourage the City of Corinth to decide to vote against this proposed rezoning.

Sincerely,
Jon Gesell

From: mike clark
Sent: Monday, February 20, 2023 1:35 PM
To: Planners
Subject: Proposed zoning on Parkridge drive

RECEIVED
FEB 20 2023
BY: *mb*

Follow Up Flag: Follow up
Flag Status: Flagged

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We live close to the proposed change. My wife and I are against this proposal to change to multi family.

This is a round peg in a square hole.

Mike clark
2709 Parkview Drive
Corinth 76210

From: Sarah Gesell on behalf of Sarah Gesell

Sent: Monday, February 20, 2023 3:59 PM

To: Planners

Subject: Feedback concerning Quarry Multi-Family rezoning

Follow Up Flag: Follow up

Flag Status: Flagged

RECEIVED
 FEB 20 2023
 BY: *md*

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Ms. Mixell,

I am writing to you today in regards to Case No. ZAPD21-0002 – Quarry Multi-Family, which would rezone the approximately ± 9.1 acres generally located on the west side of Parkridge Drive, north of FM 2181, south of Meadowview Drive, and east of the Acme Brick quarry to MF-1 Multi-Family Residential for 90 multifamily units.

My family resides near this location and uses Parkridge Drive several times a day carrying out our regular travels, errands, and family excursions. This proposed rezoning and addition of 90 units is one we **DO NOT** support. The addition of 90 housing units and potentially 100+ vehicles would cause a huge increase in traffic congestion in an area that would have a very negative impact on our community.

This stretch of road is very active before and after school, not only with cars but with a high number of students who walk to and from school. The parking lots around the high school and football stadium are also popular destinations for families, which many use as a safe place for small children to practice riding bicycles and other wheeled conveyances. There is also a lot of foot traffic in this area during the day and night, as it is an active road that connects several neighborhoods.

We already have to avoid using Parkridge multiple times during the day to avoid the congestion and backed up traffic that easily accumulates in this area. Parkridge is also already a major pass-through for drivers heading to and from Lake Sharon Drive and Corinth Parkway, and the new development, Ashford Park, going in on Lake Sharon Drive, is already going to increase the traffic traveling through this area.

Thank you for your time. I hope this email will encourage the City of Corinth to decide to vote **against** this proposed rezoning.

Sincerely,

The Gesell Family

RECEIVED
FEB 22 2023
BY: MB

From:
Sent: Wednesday, February 22, 2023 10:23 AM
To: Planners
Subject: Quarry Multi-Family project

Follow Up Flag: Follow up
Flag Status: Flagged

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To whom it may concern:

Regarding the proposed rezoning of the property for the quarry, multi family project, I am opposed to this.

The city already has zoning in place for this property which allows specific uses. I do not understand why the city would consider rezoning to a much more dense development on a parcel that has a lot of terrain issues and will create a great deal of drainage if it is developed in a more dense manner than the current zoning allows for.

Additionally, this will create a considerable additional amount of traffic at an area that is already busy due to high school traffic, and other existing development in the area. I do not see how rezoning this property for more dense development benefits our community, particularly those that will be directly impacted by its close proximity.

The city has a master zoning plan in place. I do not know why so many proposed rezoning issues are being considered to change property currently zoned for single-family use to be rezoned for much more dense multi family developments. This does not appear to be in keeping with the overall type and quality of our community that was envisioned in our master zoning plan for the entire community of Corinth.

Let's please limit these developments that require rezoning. Furthermore, multifamily developments should be along major thoroughfares to serve as a buffer between major roadways, commercial uses, and single-family residential uses. Not located smack dab in the middle of primarily single family areas.

Thank you for your time and consideration.

Ellen Venable
2909 Hollis Drive
Corinth, TX 76210

Sent from my iPhone



CITY OF CORINTH Staff Report

Meeting Date:	2/27/2023	Title:	American Eagle Harley Davidson & Wheeler Yard PD-26 Amendment
Strategic Goals:	<input type="checkbox"/> Resident Engagement <input type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development		

Item/Caption

Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a zoning request by the Applicant, William Sullivan, Jr., to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code of the City, by amending Planned Development No. 26 (PD-26) and incorporating an additional ±3.5 acres into PD-26 with a base zoning district of C-2 Commercial for the expansion of parking and the redesign and addition of multiple buildings and structures on approximately ±12.5 acres generally located at 5920 S I-35E and the northwest corner of S I-35E and Church Drive. Case No. ZAPD22-0006 – American Eagle Harley Davidson & Wheeler Yard



Location Map
5920 S I-35E & the northwest corner of I-35E and Church Drive

Item Summary/Background/Prior Action

The application is to amend the American Eagle Harley Davidson (AE HD) PD-26 Concept Plan and standards as previously approved on January 23, 2020. The subject property has been the subject of numerous PD amendments since initially approved in 2001, with amendments occurring in 2007, 2014, 2016, and in 2020, the last of which repealed and replaced the prior plans/provisions. The site design approved in the 2020 PD-26 amendment was not constructed.

In 2021, the Applicant began discussions with Staff to amend the 2020 Concept Plan and associated PD text to expand the scope of the project to provide for a more regional destination-type use that would include a restaurant/brew pub, enhanced pavilion with a 2nd floor mezzanine, meeting space, a partially enclosed stage, expanded riding academy, and additional on-site and off-site parking. To achieve these elements, the applicant has incrementally assembled additional parcels over the past year (both immediately adjacent to the current facility and on the north side of Church Drive) to provide additional parking for the proposed expanded venue.

The project includes a number of deviations from both the base C-2 zoning district and previously approved PD-26 in order to create the unique American Eagle Harley Davidson & Wheeler Yard destination that reflects the theme and character depicted on **Exhibits C and D** (Conceptual Landscape Plan and PD Concept Plan) and further illustrated on **Exhibits E, F, and G** (Exterior Elevations, Architectural Renderings, and Signage) contained in **Attachment 1**.

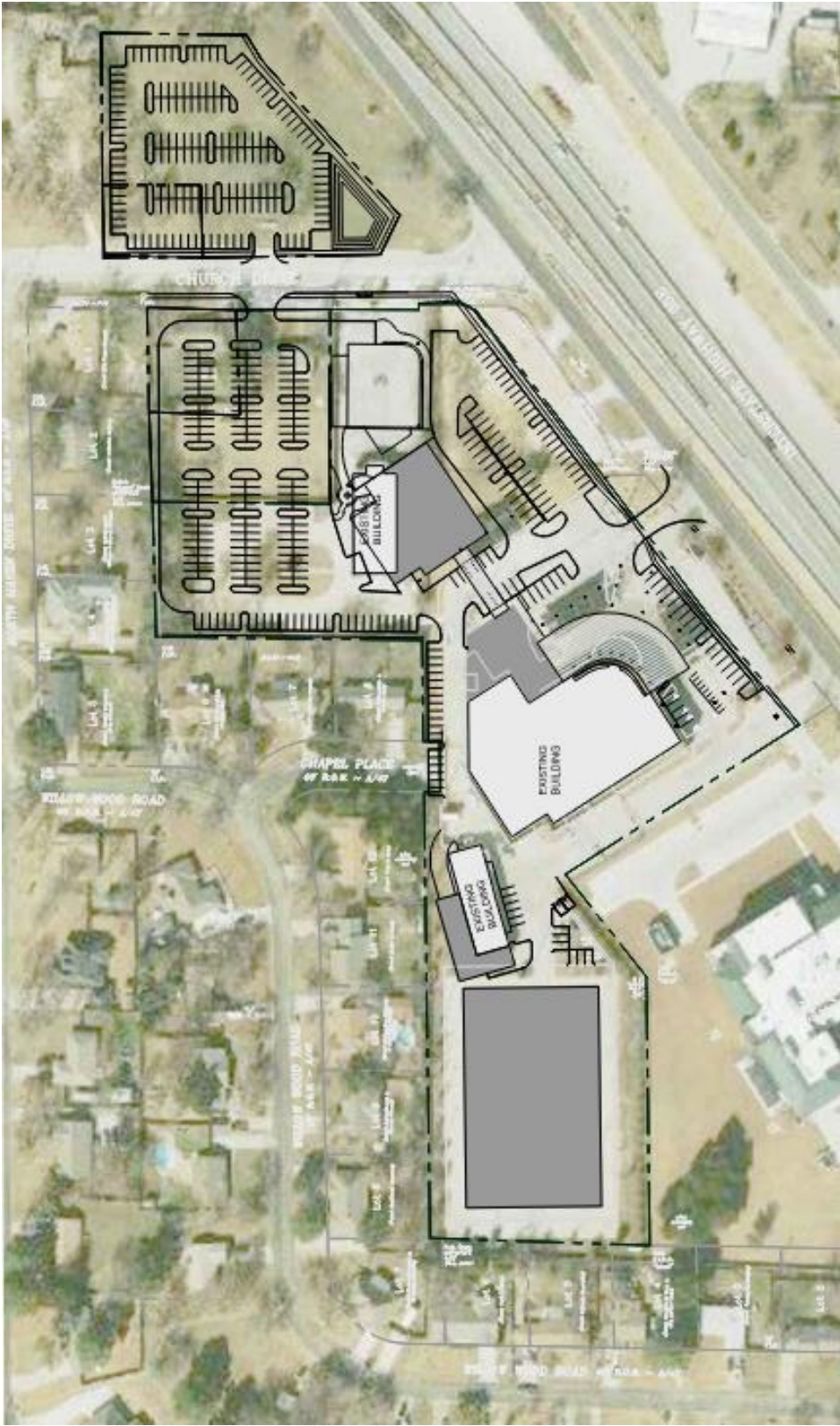
Reference Attachment 1 - PD Design Statement (*starting on page 3 of that attachment*) which describes the proposed project in detail.



Excerpt from Attachment 1 – Exhibit F - Architectural Renderings. View looking west from I-35E.

In terms of site layout, circulation, parking, and use, the proposal is generally in keeping with the underlying spirit of the UDC requirements and the Comprehensive Plan. The Comprehensive Plan recommends Retail/Commercial Place Type which envisions large format retail, restaurant, and entertainment uses for this area on I-35E.

The excerpt of Exhibit B, Existing Site Conditions with the project overlay provides a good overview of how the project will change from what is currently existing on the site. The areas shown in “gray” represent added structures/buildings or additions to existing buildings. This exhibit also depicts the new parking configuration relative to surrounding conditions.



Excerpt from Attachment 1 – Exhibit B, Existing Conditions with Proposed Project Overlay



Excerpt from Attachment 1 – Exhibit D, PD Concept Plan

This is an atypical commercial business resulting in the applicant requesting several deviations from the Unified Development Code (UDC). The Applicant has chosen to take a different approach than what was suggested by Staff, particularly in relation to provide an adequate buffer adjacent to the single family neighborhood. Other, requested deviations include,


- Signage (number, type, and location)
- Flagpole height
- Reduction of landscape buffer widths (*along public streets and adjacent to surrounding existing single family residential lots in the Corinth Shores Estates subdivision*)
- Expansion of use and hours of operation for rear parking lot - Proposal is to cover the parking area with a 30’ tall open-sided steel structure to better support the Riding Academy-motorcycle training area – which will also serve as a multi-use area.
- Reduction of rear yard setback to 15’ to permit a building encroachment closer to the existing residential neighborhood (though the proposed text of PD indicates a permitting a 10’ rear yard minimum setback)
- Deed back of ROW at terminus of Chapel Place to permit additional parking in location on AE HD property

Table A- Comparison Chart (below) is a list of the key differences between the design standards of the **Approved 2020 PD-26** and this proposed **PD**. The third column provides Staff Comments for consideration should the Planning and Zoning Commission make a recommendation for approval to the City Council.

COMPARISON CHART		
Adopted 2020 PD-26 & Proposed 2023 PD-26 (Changes/Additions)		
PD-26 (APPROVED 2020)	PD-26 (PROPOSED 2023)	STAFF COMMENTS FOR CONSIDERATION
<p>1. Display and Sales. <u>Outside display</u> of motorcycles for sale and a motorcycle service and repair shop, <u>within</u> the building.</p>	<p>1. Display and Sales. <u>Inside</u> and <u>outside display</u> and sale of motorcycles, <u>parts, & general merchandise</u> and a motorcycle service & repair shop.</p>	<p>Clarify what is being proposed for outside display and sale of parts and general merchandise for the new use.</p> <p>Confirm the location of “service and repair of motorcycles” is to take place <u>within</u> the building – This specific language was removed with the 2023 proposal.</p>
<p>2. Riding Academy Training Course. Allow the <u>use of the rear parking lot</u> designated as "Riders Edge Training Area" as a <u>motorcycle training area</u> between the hours of <u>8:00 A.M. and 7: 00 P.M.</u>, Monday- Sunday.</p>	<p>2. Covered Riding Academy Training Course. Adding a 41,555 square foot 30’ steel roof structure with open air sides to cover existing rear parking lot and shield riders from weather.</p> <p>Roof structure will serve as a platform for a solar farm. Rear parking lot designated as a motorcycle training area and/or multi-use area between the hours of 8:00 A.M. and 9:00 P.M., Monday-Sunday.</p>	<p>Covered structure permits extended time in evenings for riders to 9:00 PM Monday – Sunday and an expand use of the area a multi-use.</p> <p>The term multi-use is not defined. Confirm the type of uses that will occur in that location.</p>
<p>3. Shade Structures. Allow up to seven (7) permanent shade structures on the site to cover parking areas.</p>	<p>3. Shade Structures. Additional permanent shade structures located at the dealership entry</p>	<p>The proposal removes the reference to a defined number of permitted shade structures.</p>

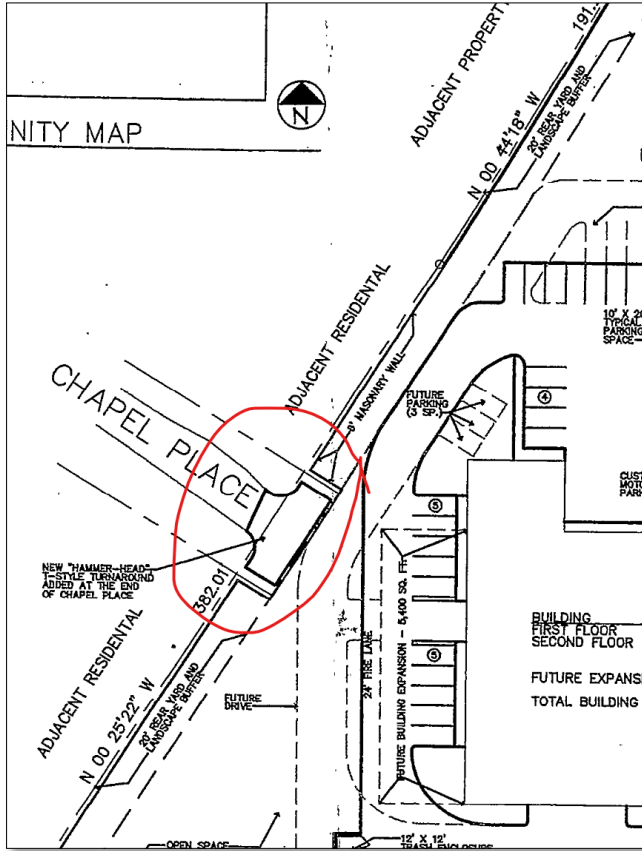
<p>4. Pavilion. Allow for a pavilion to be constructed and used for events, parking, and shade. Examples of potential events include concerts, farmers markets, festivals, drive-in movies, and weddings.</p> <p>A pavilion is in addition to the seven (7) permanent shade structures.</p> <p><u>Events shall be conducted in accordance with all City ordinance requirements, including without limitation permitting requirements, if applicable.</u> Pavilion shall incorporate insulation on the ceiling elements to mitigate sound leaving the pavilion.</p>	<p>4. Pavilion. Pavilion with second level and mezzanine to be used for events, parking, and shade.</p> <p>Examples of potential events include concerts, farmers markets, festivals, movie screenings, weddings, car and bike shows.</p> <p>“Stage will be insulated and partially enclosed to mitigate sound travel.”</p> <p>“Use of noise reducing materials and passive design methods as to limit noise pollution to adjacent residential area”</p>	<p>Added height to the pavilion to accommodate the second level.</p> <p>Altered language regulating noise to be more general though appears to allow for a broader application of mitigation methods and materials.</p> <p>Removed reference to events being conducted in accordance with all City ordinances.</p>
<p>5. Signs. Allow for signage on all buildings, generally as illustrated on Exhibit " B" (see Attachment 2).</p>	<p>5. Signs. Signage on all buildings, generally as illustrated on Exhibit E .</p>	<p>The proposed venue is unique in Corinth as the number, type, and scale of signage being proposed are significantly greater than what is permitted in the UDC.</p> <p>Also proposing an off-premise/stand-alone monument sign (see Attachment 1 – PD Design Statement, Exhibit G (page 55, sign type #21)). This sign would be located at the off-site parking lot on the north side of Church Street.</p>
<p>6. Restaurant. Allow for a restaurant building(s).</p>	<p>6. Restaurant. Restaurant building(s) with microbrewery/pub, satellite serving kitchen, satellite bar, and speak easy event space.</p>	<p>Added uses to create a destination venue.</p>
<p>7. Classroom/Storage. Allow for a classroom building(s). Allow for an additional storage/ garage building.</p>	<p>7. Classroom/Storage. Additional classroom building(s) and motorcycle storage to be used for motorcycle driving instruction in conjunction with the covered riding course.</p>	<p>Removing an existing building and proposing additions to existing buildings as shown on Exhibit B, Existing Site Conditions with Project Overlay and Exhibit D, PD Concept Plan.</p>
<p>8. Electric Vehicles. Allow for electric vehicle charging stations.</p>	<p>8. Electric Vehicles. Electrical charging stations</p>	<p>No change</p>
<p>9. Fencing. Allow for existing wooden fence with metal support poles adjacent to the portion of the property that is bordering residential lots to the west and south. Fencing shall comply with applicable ordinance requirements, including without limitation, requirements for materials,</p>	<p>9. Fencing. Replace existing wooden fence sections adjacent to the existing single-family lots (Lots 1 through 8) with wooden fencing (as needed).</p>	<p>Type of replacement fencing changed from <u>Masonry</u> as is Approved in the 2020 PD to Wooden in Proposed 2023 PD text.</p> <p>Staff’s opinion is that wooden fencing would likely have a lessor impact and disturbance to any remaining vegetation within buffer area.</p> <p>Staff had requested that the Applicant provide an “evergreen vegetative screen” to be planted along the wooden fence line within the buffer area that is</p>

<p>height, and permitting. <u>New fencing shall be of masonry construction and built to the City's screening wall standards.</u></p>		<p>proposed to be reduced in width to provide for added parking spaces. The vegetative screen request was declined by the Applicant.</p>
<p>10. Roof Sculpture. Allow for a lighted motorcycle sculpture to be placed on roof of main show room.</p>	<p>10. Roof Sculpture. A large lighted motorcycle sculpture to be placed on roof of the existing Harley-Davidson facility or the pavilion/restaurant addition, to be used for advertising/branding purposes as illustrated in Exhibit "G".</p>	<p>Adding alternative location for sculpture</p>
<p>11. Fuel Storage. Allow for fuel storage tanks (not for public use/ sale).</p>	<p>11. Fuel Storage. The fuel storage tanks (not for public use/sale) are existing.</p>	<p>No change proposed</p>
<p>12. Water Cistern Feature. Allow for a water cistern with logo/signage to be used for water harvesting and/ or landmark purposes (not for public use, not for cell device use, on- site logo/ signage only)</p>	<p>12. Water Cistern Feature. Water cistern with logo/signage to be used for water harvesting and/or landmark purposes (not for public use, not for cell device use, on-site logo/signage only).</p>	<p>No change</p>
<p>13. Off-Premise Parking Lot. Not required in 2020 PD.</p>	<p>14. Off-Premise Parking. Off-Premise Parking Lot - Assembled several additional C-2 zoned properties for additional parking located on the north side of Church Drive.</p>	<p>Added off-premise parking lot as a permitted use in the PD-26 district</p>
<p>15. Landscape Buffer (nonresidential adjacent to residential). UDC 2.09. 01.A.6 requires a 20' wide landscape buffer between nonresidential Areas Adjacent to Residential Areas</p>	<p>15. Landscape Buffer (nonresidential adjacent to commercial). Proposing to reduce the width of existing landscape buffer along the fence line separating the parking lot of the commercial uses from the adjacent single family residential Lots 1 through 8 as follows: (1) 5' width along residential Lot 8 (including the terminus of Chapel Place (should City Council deed back the land currently used as a hammerhead turnaround on Chapel Place). Reduced to add parking spaces. (2) Proposing 10' width along Lots 1-7. Show that will maintain existing shrubs remaining in the 10' buffer. No added vegetative screening is proposed. Reduced to add parking spaces.</p>	<p>Staff had requested that a vegetative screen of evergreen plant material (mature height of 15' to 20') be installed with A reduced buffer width – The vegetative screen would help mitigate light trespass and noise from the parking area and entertainment venue. - This request was declined by the Applicant.</p>

<p>16. Landscape Edge Buffer Street-Right-of-Way. UDC C-2 District 2.09.01.A.1 – Required landscaping along Street Right-of-Way:</p> <ul style="list-style-type: none"> • 20’ in width along Arterial Streets (I-35) • 15’ in width along Collector Streets (Church Drive) 	<p>16. Landscape Edge Buffer Street-Right-of-Way. Proposing a landscape edge buffer width of 10’ along:</p> <ul style="list-style-type: none"> • I-35 (reduced from 20’ to 10’) • Church Drive (reduced from 15’ to 10’) <p>A new 5’ sidewalk is being provided within the area of the landscape edge buffer (per Staff request). Adjacent to I-35E, it is immediately adjacent to the parking lot pavement/curb.</p> <p>No shrubs are being provided along I-35E south of Church Drive to screen vehicle headlights in parking lots (page 7 of PD Design Statement indicates that existing trees will remain)</p> <p>No shade trees are being provided along the north side of Church Drive. PD Design Statement (page 7 indicates that screening will be provided)</p>	<p>The I-35E frontage road is affected by the TxDOT right-of-way acquisition. The reduced width of the buffer is requested by the Applicant as a compromise to maintain parking while providing sidewalk within the buffer area.</p> <p>While Staff supports the reduced buffer area due to the impact of the TxDOT ROW acquisition, we suggest the following for consideration:</p> <ol style="list-style-type: none"> (1) Relocate the sidewalk along I-35E (south side of Church Drive) to allow for a continuous shrub row and shade trees be planted between the parking lot and the sidewalk thereby defining the street edge and screening vehicle headlights. UDC 2.09.01.A.1.b., requires screening of vehicle headlights when along parking lots. (2) Show a continuous shrub row and shade trees to be planted between the parking lot and the sidewalk along both sides of Church Drive and I-35E frontage road (north side of Church Drive between sidewalk and parking lot and between the sidewalk and detention basin) <p>The example below illustrates how shrubs and shade trees can be accommodated within a narrow 5’ landscape strip.</p> 
<p>17. Noise. The Motion in the City Council Minutes of the meeting on January 23, 2020, added a stipulation “allowing for a pavilion to be constructed with insulating roof materials of R19 or greater.</p>	<p>17. Noise. Use of noise reducing materials and passive design methods as to limit noise pollution to adjacent residential area.</p>	<p>Applicant included a general statement within the Permitted Uses and Use Regulations section of proposed PD text.</p> <p>No defined standards provided.</p>
<p>18. Flagpoles. No departure requested at that time. (35 feet max height per UDC 4.01.16.10.J.)</p>	<p>18. Flagpoles. Proposing a flagpole <u>height at 100 feet</u> from the <u>35-foot</u> max. height permitted in UDC.</p>	<p>Consider aesthetics/compatibility – What is envisioned and appropriate for this location? Commonly accepted rules for flying the U.S. flag at night require the flag to be illuminated.</p>

<p>19. Dimensional Standards. (As depicted on the Approved 2020 PD-26 PD Concept Plan Exhibit):</p>	<p>19. Dimensional Standards. (see Table 1 in Attachment 1 – PD Design Statement, page 6.)</p>	<p>The majority of the new standards requested for change revert back to the base zoning district C-2 with the exception of the rear yard (see comments below)</p>	
<p>a.</p>	<p>Min Front Yard: 80'</p>	<p>Min Front Yard: 40'</p>	<p>Same as C-2 base district</p>
<p>b.</p>	<p>Min Side Yard: 100'</p>	<p>Min Side Yard: 0'/15' adjoining residential/commercial</p>	<p>Same as C-2 base district</p>
<p>c.</p>	<p>Corner Lot: 10'/15' adjoining residential</p>	<p>Corner Lot: 15'/15' adjoining residential/commercial</p>	<p>Increased minimum side yard by 5'</p>
<p>d.</p>	<p>Min Rear Yard: 28'</p>	<p>Min Rear Yard: 10'</p>	<p>Proposing to reduce the minimum rear yard setback by 18' beyond what was established in 2020 PD and 10' beyond what is the minimum in the base C-2 district.</p> <p>Consider adding stipulation that the 10' rear yard reduction is <u>only</u> to permit the encroachment of the proposed addition to the existing Collision Center Building with the “new riding academy” addition. Note however, on the PD Concept Plan</p> <p>Otherwise, the 28' min rear yard as established in 2020 shall be maintained for all other buildings/structures.</p>
<p>e.</p>	<p>Max Height: 30'</p>	<p>Max Height: 40'</p>	<p>40' is consistent with C-2 Base Zoning District</p>
<p>20. Turnaround at end of Chapel Place – Corinth Shores Subdivision. A hammerhead turnaround shown on 2020 Approved PD reflecting the 2001 ROW dedication to create the turnaround for traffic on this residential street)</p>	<p>20. Turnaround at end of Chapel Place – Corinth Shores Subdivision. Hammerhead turnaround <u>removed</u> and <u>replaced</u> with <u>parking spaces</u> on the AE HD site. This would require a deed back of the ROW to the dealership. Masonry wall is proposed to be installed to create a continuous connection to surrounding wall at the newly proposed property line.</p>	<p>Applicant is requesting right-of-way deed back from the City Council to permit additional parking on site – this would create a dead-end street with no turn-around on Chapel Place.</p> <p>Key points:</p> <p>(1) The Fire Marshal has no issue with the elimination of the turnaround as the Fire Department does not use it for such.</p> <p>(2) Under the provisions of the UDC, a new street would <u>not</u> be permitted without a turnaround.</p>	
<p>21. Architectural Materials/ Elevations. See Attachment 2 – Concept Elevation, Exhibit D – Appears to provide a mix of materials (existing and proposed buildings) though no materials labeled.</p>	<p>21. Architectural Materials/ Elevations. The new Wheeler Yard/Brewpub/ Riding Academy Covered Structure area proposed with painted pre-engineered metal roofing, metal wall panels, and metal siding (see Attachment 1 – Exhibit E (pages 33 - 36). The materials proposed for the expansion to the existing Harley Davidson buildings have not been labeled (see Attachment 1 – Exhibit F (pages 38, 39, 40, 41, 43, and 52)</p>	<p>Note that no detailed rear elevation has been provided showing the expansion of the existing Collision Center Building which will include an addition of 3,590 sq. ft. to house the Riding Academy – This expansion is proposed to be located within 15' of the existing property line adjacent to the single-family neighborhood to the west. (also see 19.d. above regarding the request to encroach within the minimum established rear yard setback area).</p>	

ROW Deed Back – Chapel Place. The Applicant is requesting a deed back of right-of-way thereby granting the removal of the hammerhead “T-Style” turnaround on Chapel Place within the single-family residential neighborhood, Corinth Shores Estates, located immediately adjacent to the subject site. The deed back would give this land area back to the AE HD property for use as additional parking spaces. This turnaround was a part of the original 2001 Planned Development approval and was dedicated with the Final Plat recorded at that time.



Looking north from hammerhead



Looking northeast from Chapel Place


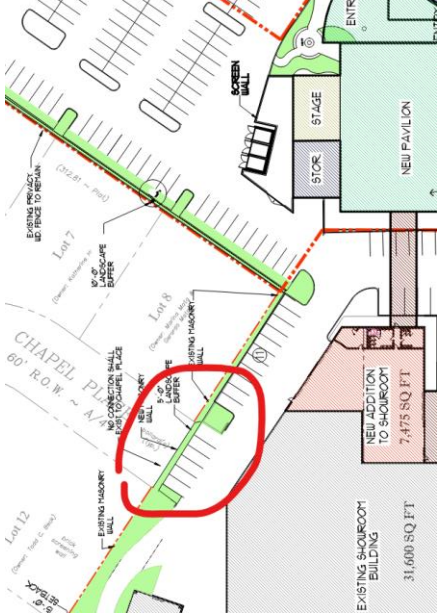
Excerpt from original 2001- Approved PD-26 – showing hammerhead turnaround”



Current view looking east from Chapel Place.

The adjacent homeowner has indicated the turnaround is utilized on numerous occasions each week. While this turnaround is not required for use by the Fire Department, a dead-end street without a turnaround would not be permitted for a new street design based on the current UDC standards.

Comparison
Approved 2020 PD-26 Concept and Proposed 2023 Concept
“Removal of Hammerhead” and “Reduced Buffer Width” adjacent to Single-Family Residential

 <p>*Excerpt from <u>Approved 2020</u> PD-26 Concept Plan</p> <ul style="list-style-type: none"> - Hammerhead Turnaround shown - Wide Buffer areas surrounding existing SF residential - Masonry Wall required if wooden fencing replaced (City Council 2020 stipulation as part of motion to approve) 	 <p>*Excerpt from <u>Proposed 2023</u> PD-26 Concept Plan</p> <ul style="list-style-type: none"> - Hammerhead turnaround removed and replaced with parking. A masonry wall added at street terminus. - Buffer reduced to 5’ width – replaced with parking* - Buffer reduced to 10’ width– replaced with parking* *No added vegetative screening with the reduction - Wooden Fencing proposed if wood fences need replacement
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The Planning and Zoning Commission has discretion in making a recommendation to the City Council. However, if the Commission recommends approval, Staff offers the following stipulations for the Commission’s consideration:

- a. Require additional landscaping materials to be added within the buffer areas adjacent to the Corinth Shores Estates subdivision Lots 1-8 (plant materials to be evergreen and planted at a minimum height of 8’ to reach a 100% opaque vegetative screen and a minimum mature height of 12’-15’ within two (2) years of planting. This vegetative screen will serve to reduce noise and light trespass from the venue as well as offer a visual screen.
- b. Require plant material (evergreen shrub screen and shade trees to be planted within the reduced buffers along Church Drive and I-35E between the parking area and sidewalk. A 5-foot sidewalk to be located within the 10-foot buffer area with pedestrian access easement. Landscape Edge Buffer along Church Drive and I-35E to include a continuous evergreen shrub row with shade trees planted 30’ on center within defined gaps in shrub row and shall be located within the minimum 5’ planting strip between the sidewalk and parking lot to screen vehicle headlights and between the sidewalk and the detention basin to define the street edge.

- c. Add note to PD Concept Plan and PD Design Statement that, “Mutual access, maintenance, and fire lane easements shall be established at the time of Platting and Site Plan with the first phase of development along the entire length of the fire lanes as depicted on Exhibit D, PD Concept Plan to ensure common access and use between Parcel #1 and Parcel #2.”
- d. Minor graphical error to be corrected on PD Concept Plan related to exhibit layout (northern portion of parking lot boundary cut-off by page border).
- e. Provide revised legal description identifying the overall boundary of the property to be rezoned including northern Tract 1 and southern Tract 2.
- f. Provide tax certificates showing a zero (0) balance prior to City Council public hearing to reflect recent payments.

Compliance with the Comprehensive Plan

The 2040 Comprehensive Plan designates this area as Retail Commercial Place Type which envisions among other aspects “regional scale commercial with mostly large format retail with restaurants and entertainment uses up to 3-stories that allow for roof-top solar panels and that incorporate sidewalks to maximize walking, and that have the potential to generate ad valorem, sales tax revenue, and jobs.” The project as proposed is consistent with the design elements described in the Comprehensive Plan.

Neighborhood Outreach

On June 22, 2022, the applicant held a neighborhood meeting at City Hall. Staff understands that the applicant sent notifications out to all property owners within 200 feet of the subject site. Several residents attended and expressed their concerns with noise and late hours of operation.

Public Notice

Notice of the public hearing was provided in accordance with the City Ordinance and State Law by,

- Publishment in the Denton Record-Chronicle
- Written public notices were mailed to the owners of all properties located within 200 feet of the subject property and to the Denton ISD
- The Applicant posted a “Notice of Zoning Change” signs along Church Drive and I-35 E.
- The Public Hearing notice was posted on the City’s Website

Letters of Support/Protest

As of the publishing date of this report, the City has received no letters of support and no letters of opposition from property owners located within 200 feet of the subject property (see Attachment 3 - 200’ Zoning Buffer). Letters received after this date will be presented to the Planning Commission at the time of Public Hearing.

Motion

“I move to _____ (see Possible Motion Options below) _____ of Case No. ZAPD22-0006–American Eagle Harley Davidson & Wheeler Yard

Possible Motions by the Planning and Zoning Commission

- Recommend approval as presented
- Recommend approval with additional stipulations (indicate each stipulation)
- Continue the Public Hearing and table action on the request to a definitive or non-defined date
- Recommend denial of the request

Supporting Documentation

Attachment 1 – American Eagle Harley Davidson & Wheeler Yard PD Design Statement (*Applicant Document and exhibits*)

- Exhibit “A” – Legal Description
- Exhibit “B” – Existing Site Conditions [with PD Concept Plan Overlay]
- Exhibit “C” – Conceptual Landscape Plan
- Exhibit “D” – PD Concept Plan
- Exhibit “E” – Exterior Elevations
- Exhibit “F” – Architectural Renderings
- Exhibit “G” – Proposed Signage Package

Attachment 2 – Approved 2020 PD-26 (for reference)

Attachment 3 – 200-foot Zoning Buffer Exhibit and Correspondence from Property Owners within 200 feet of the subject property



**ATTACHMENT 1:
PD DESIGN STATEMENT
AMERICAN EAGLE HARLEY DAVIDSON & WHEELER YARD
PLANNED DEVELOPMENT**



AMERICAN EAGLE HARLEY - DAVIDSON & THE WHEELER YARD

CORINTH, TEXAS

DESCRIPTION
ATTACHMENT 1 - PLANNED DEVELOPMENT DESIGN STATEMENT
EXHIBIT "A" - LEGAL DESCRIPTION PROPERTY ID: 38738
SURVEY ID: 111217
PERMANENT RIGHT OF WAY ID: 38892
EXHIBIT "B" - EXISTING SITE CONDITIONS
EXHIBIT "C" - CONCEPTUAL LANDSCAPE AND SCREENING PLAN
EXHIBIT "D" - PD CONCEPT PLAN
EXHIBIT "E" - EXTERIOR ELEVATIONS
EXHIBIT "F" - ARCHITECTURAL RENDERINGS
EXHIBIT "G" - PROPOSED SIGNAGE PACKAGE



CASE NO. ZAPD22-00006

ISSUED FOR:
PRESENTATION



PROJECT:
AMERICAN EAGLE HARLEY DAVIDSON & WHEELER YARD
5920 N Interstate 35, Corinth, TX 76210

SAXA
SOFARELLI & ASSOCIATES ARCHITECTURE
MICHAEL F. SOFARELLI JR. A.I.A.
8385 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3535
EMAIL: sofarell@verizon.net

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ATTACHMENT 1

CASE NO. ZAPD22-00006 PLANNED DEVELOPMENT DESIGN STATEMENT AMERICAN EAGLE HARLEY DAVIDSON & WHEELER YARD

02-15-2023

INDEX	
DS-0	COVER PAGE
DS-1	PD DESIGN STATEMENT
DS-2	PD DESIGN STATEMENT (CONT.)
DS-3	PD DESIGN STATEMENT (CONT.)
DS-4	PD DESIGN STATEMENT (CONT.)
DS-5	PD DESIGN STATEMENT (CONT.)
DS-6	PD DESIGN STATEMENT (CONT.)
DS-7	PD DESIGN STATEMENT (CONT.)
DS-8	PD DESIGN STATEMENT (CONT.)
DS-9	PD DESIGN STATEMENT (CONT.)

ISSUED FOR:
PRESENTATION



PROJECT:
**AMERICAN EAGLE
HARLEY DAVIDSON
& WHEELER YARD**
5920 N Interstate 35, Corinth, TX 76210

SOFARELLI & ASSOCIATES ARCHITECTURE
MICHAEL F. SOFARELLI JR. A.I.A.
6365 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3535
EMAIL: sofarell@verizon.net

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DS-0

PD DESIGN STATEMENT

American Eagle Harley Davidson

SECTION 1 - OVERVIEW

A. PROJECT NAME/TITLE: American Eagle Harley Davidson

B. LIST OF OWNERS/DEVELOPERS:

- **Owner/Developer:** William & Donna Sullivan
- **Architect:** Michael Sofarelli
- **Engineer:** CCM Engineering

C. PROJECT ACREAGE AND LOCATION:

- **Tract 1 (Existing):** Property IDs: 583051, 222832, 161091; 8.27 acre
- **Tract 2 (New Addition):** Property ID: 38738; 0.86 acre
- **Tract 3 (New Addition):** Property ID: 111217; 1.41 acre
- **Tract 4 (New Addition):** Property ID: 38892; 0.26 acre
- **Tract 5 (New Addition):** Property ID: 38742; 0.31 acre

D. PROJECT OVERVIEW:

- The purpose of this project is to add a restaurant & microbrewery, speak-easy, storage (as an accessory event space for the restaurant and events center), event pavilion with attached covered stage and 2nd level events space, new motorcycle showroom addition, new shade structures, a motorcycle driving classroom with motorcycle storage, a covered motorcycle driving course, various aesthetic features, and additional parking. The proposed new additions will provide the City of Corinth with a multipurpose entertainment and hospitality center that will be an asset to the city.
- A new restaurant of approximately 8,500 S.F. will be connected at the Northern end of the property South of Church Street. The restaurant will provide family dining with a "Brew-Pub" theme. This is a single-story structure with a modern barn imagery constructed out of steel and glass components.
- The former wedding hall will be demolished.
- A small event space above the brew pub will be as a "Speak-Easy". The purpose and function of the "Speak Easy" is a private event space served from the adjacent restaurant. This event space is an accessory meeting and dining space to the restaurant. The variety of spaces with different sizes and character will give the public a variety of experiences and opportunities to utilize the campus.
- A 2-Story open-air pavilion at the ground level of approximately 11,500 S.F. will be constructed north of the existing Harley showroom and attached to the southern portion of the proposed restaurant. The pavilion will house an enclosed stage area, covered spectator area, satellite bar and kitchen, restaurant dining, and children's play area on the ground floor. The second level will house a special event/meeting center of approximately 3,765 S.F. along with 5,370 S.F. covered mezzanine viewing area. The pavilion will be gathering place for dining, music venues, conferences, meetings, and special events with an adjacent restaurant servicing the public's needs.

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MICHAEL F. SOFARELLI JR. A.I.A.
6365 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3585
EMAIL : sofarell@verizon.net

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DS-1

- A used bike sales showroom of approximately 7,475 S.F. will be added to the North end of the existing Harley-Davidson service center. This addition will match the existing showroom structure and design.
- A shade structure of approximately 9,200 S.F. will be added across the front of the Harley-Davidson showroom. The shade structure is a steel canopy curved to match the geometry of the existing showroom. This will provide shade for motorcycle parking and motorcycle display.
- A covered walkway shade structure of approximately 1,100 S.F. will be added to provide shade and protection from weather while entering the facilities.
- The existing motorcycle driving course in the southwest corner of the site will be covered with a 41,555 S.F. steel roof structure and open-air sides providing protection from the elements. The structure itself will provide the platform for a solar farm.
- An indoor classroom and motorcycle storage of approximately 3,590 S.F. area will be added to the southern portion of the collision center. This addition will serve the motorcycle riding academy and match the existing building design.
- The existing dealership and storage buildings will remain in their current respective uses.

USE:	AREA (SF):
Restaurant/microbrewery	8,500 SF
New Showroom Addition	7,475 SF
Event Pavilion (Including Stage & Mezzanine Area)	16,211 SF
• Stage and Green Room	• 2385 SF
• 2 nd Floor Meeting Area	• 3845 SF
• Mezzanine	• 4000 SF
New Shade Structures	9,200 SF
New Storage	1,500 SF
Riding Academy Covered Course	41,555 SF
New Riding Academy Classroom	3,859 SF
Second Floor Meeting Area	3,765 SF
Covered Walkway	1,100 SF
Speak-Easy	1,200 SF

E. PROJECT DESCRIPTION:

- **WHY BASE ZONING DISTRICT WAS SELECTED:**
 - The original Harley Davison “C-2” commercial zoning was selected for base zoning as it already includes most of the provisions needed for the existing business and proposed additional uses.
- **WHY THE NEW PD DISTRICT WILL LEAD TO EXCEPTIONAL QUALITY AND INNOVATION FOR THE PROPOSED DESIGN:**
 - The new PD will allow for all proposed uses for the Harley Davison and Wheeler Yard Campus to be under one zoning while also allowing for the motorcycle sales and event center to be on separate parcels. See platting section of PD document and Exhibit “D” for further explanation.
 - The provisions allowed per this PD will allow for American Eagle Harley Davidson and Wheeler Yard to be an exciting new event center in the city of Corinth, capable of hosting a variety of different functions that will be a benefit to the community while

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SOFARELLI & ASSOCIATES ARCHITECTURE
MICHAEL F. SOFARELLI JR. A.I.A.
6365 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3535
EMAIL : sofarell@verizon.net

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DS-2

also continuing to be courteous neighbors to the surrounding adjacent residential area.

SECTION 2 – PROJECT DESIGN

A. DEVELOPMENT REGULATIONS:

The following “Development Regulations” represent special development regulations, and specific departures or modifications, as well as waivers from the regulations outlined in Unified Development Code (UDC) in order to permit the unique design and afford flexibility and innovation of design that require certain departures from the “based zoning” regulations to create the project as presented in Exhibit C - PD Concept Plan and other associated plans. All departures from the UDC are as listed below:

1. Permitted Use and Use Regulations. UDC Section 2.07.03 shall apply, as well as all items listed below.

PERMITTED USES:

- Allow for inside and outside display and sale of motorcycles, parts, & general merchandise and a motorcycle service & repair shop.
- New addition to the existing main dealership showroom, to be used for motorcycle display and sale.
- Covered riding course building over Riding Academy Covered Course to be used to shield riders from the weather during training course with use of noise reducing materials and passive design methods as to limit noise pollution to adjacent residential area.
- Installation of solar panels on the covered riding course building.
- Use of the rear parking lot designated as “Riding Academy Covered Course” as a motorcycle training area and/or multi-use area between the hours of 8:00 A.M. and 9:00 P.M, Monday-Sunday.
- Additional permanent shade structures about the dealership entry on the site to be used as such.
- Pavilion with second level and mezzanine to be used for events, parking, and shade. Examples of potential events include concerts, farmers markets, festivals, movie screenings, weddings, car and bike shows. Stage will be insulated and partially enclosed to mitigate sound travel.
- Signage on all buildings, generally as illustrated on Exhibit E.
- Restaurant building(s) with microbrewery/pub, satellite serving kitchen, satellite bar, and speak easy event space.
- Additional classroom building(s) and motorcycle storage to be used for motorcycle driving instruction in conjunction with the covered riding course.
- Wooden fence with wooden support posts adjacent to the portion of the property that is bordering residential lots to the west and south to be used for screening.
- A large lighted motorcycle sculpture to be placed on roof of the existing Harley-Davidson facility OR the pavilion/restaurant addition, to be used for advertising/branding purposes as illustrated in Exhibit “G”.
- Fuel storage tanks (not for public use/sale) are existing.
- Water cistern with logo/signage to be used for water harvesting and/or landmark purposes (not for public use, not for cell device use, on-site logo/signage only).

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MICHAEL F. SOFARELLI JR. A.I.A.
6365 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3535
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- Additional off-premise parking on parcel with Property ID: 111217.
- Additional off-premise parking on parcel with Property ID: 38892.
- Additional adjacent parking on parcel with property ID: 38738
- Additional adjacent parking on parcel with property ID: 38742
- Additional meeting/conference room areas within the pavilion.
- Use of noise reducing materials and passive design methods as to limit noise pollution to adjacent residential area.
- 100' maximum height for flagpoles.
- Electrical charging stations will remain.

2. Dimensional Regulations. UDC Section 2.08.04 shall apply except for the following:

That Minimum Side-yard Setbacks to allow for 0' Setbacks in all circumstances as defined in Table 1 below and illustrated in Exhibit "D".

Justification: 0' side-yard setbacks are desired so as to place lot lines down the building line of two adjacent buildings. See **Platting** under **OTHER DEVELOPMENT CONSIDERATIONS** below for further justification. This setback deviation will only be applicable for between Parcels 1 and 2 for future separation. 10' corner lot setbacks are desired so that city parking requirements can be met.

Table 1 – Dimensional Requirements

Regulation:	C-2 Base District:	2020 PD-26 Previous PD:	Proposed Dimensional Standards/Modifications:
Minimum Front Yard Setback	40'	80'	40'
Minimum Side Yard Setback: Interior Lot	0'/15' adjoining residential	100'	0'/10' adjoining residential
Corner Lot	10'/15' adjoining residential	10'/15' adjoining residential	10'/15' adjoining residential/commercial
Minimum Rear Yard Setback	20'	28'	10'
Minimum Lot Area	30,000 sq. ft.	30,000 sq. ft.	30,000 sq. ft.
Maximum Density			
Minimum Lot Width:	175'	175'	175'
Minimum Lot Depth	120'	120'	120'
Minimum Floor Area			
Maximum Height (feet/stories)	2.5 stories/40'	30'	2.5 stories/40'
Maximum Building Area (all buildings)	50%	28%	50%
Other:			

3. Accessory Building and Uses. UDC Section 2.07.07 Accessory Building and Uses shall apply.

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SOFARELLI & ASSOCIATES ARCHITECTURE
MICHAEL F. SOFARELLI JR. A.I.A.
8365 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3585
EMAIL : sofarell@verizon.net

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4. Landscaping Regulations. Landscaping Regulations. UDC Section 2.09.01 Landscape Regulations shall apply, except as modified or departed below:

Section 2.09.01.A.1.a.i.(a) – Modified: Landscape buffer width adjacent to Arterial Street, Freeway, or Expressway shall be modified from the required Twenty (20) feet to approximately Ten (10) feet on all parcels along the highway. Trees will be grouped in lieu of the linear placement requirement on the south two parcels.

Justification: This minimal modification will allow: a) the Harley-Davidson dealership adequate space to install the designed front Canopy Shade structure and adequate front parking for both the Harley-Davidson dealership and the Wheeler Yard. b) This will allow space for the Corinth required highway sidewalk to be installed. c) The tree grouping is a regulation option and will allow visibility to the unique new structures.

Section 2.09.01.A.1.a.i.(b) – Modified: Landscape buffer along the north parcel of Church Street will be reduced from the required Fifteen (15) feet to Ten (10) feet with no trees. Required screening will be applied.

Justification: The buffer reduction will allow for a maximum, safer, and more efficient parking design. The tree requirement departure will allow for the city required sidewalk to be installed.

Section 2.09.01.A.3.b – Modified: The required minimum Fifteen (15) foot wide landscaped edge for corner lots will be reduced to Ten (10) feet.

Justification: The buffer reduction will allow for a maximum, safer, and more efficient parking design. The tree requirement departure will allow for the city required sidewalk to be installed.

Section 2.09.01.A.6 – Modified: The Twenty (20) foot required landscape buffer will be modified to Ten (10) feet on lots 1 – 7, north side lot 8, and the west side or the north parking lot. The east side of lot 8 will be reduced to Five (5) feet.

Justification: The buffer reduction will allow for a maximum, safer, and more efficient parking design. Existing trees with the modified buffer will remain.

5. Tree Preservation. UDC Section 2.09.03 Tree Preservation regulations shall apply.

6. Vehicular Parking Regulations. UDC Section 2.09.03. Vehicular Parking Regulations shall apply with the following modification or departure: Off-premise parking on parcels with ID 111217 and 38892.

Justification: The off-premise parking lot will be used for overflow parking for events and to meet city parking regulation requirements. Existing fencing will be matched to maintain continuity with the existing neighborhood fencing while providing screening and sound mitigation for the proposed additions.

7. Building Façade Material Standards. UDC Section 2.09.04 Building Façade Material Standards shall apply with the following modifications:

Wheeler Yard

- The proposed roof is a sloped metal roof with a factory treated finish.
- All roof top equipment will be concealed with a screening system.
- Peaked roof system with overhangs

ISSUED FOR:
PRESENTATION



PROJECT:
**AMERICAN EAGLE
HARLEY DAVIDSON
& WHEELER YARD**
5920 N Interstate 35, Corinth, TX 76210



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Entry

- The building itself has multiple points of entry all of which are protected.
- The conditioned portion of the restaurant has a sheltered entry including a vestibule Façade.
- The building incorporates a "Tripartite" design composition using a metal skin composed of 3 different colors as illustrated in "Exhibit E". This also includes the use of overhangs, visors, screening, glazing, and open areas providing views to the internal areas of the pavilion.
- Over-all the structure utilizes canopies, awnings, overhangs, peaked roofs, outdoor patios, display windows, landscaped seating areas, and exposed structural elements reinforcing the overall design flavor.

Justification: Maximum areas and length are exceeded with the use of informational and directional signage. This coincides with the multiple and various activities that take place on the property. The type and placement of the signage is meant to communicate the theme of the establishment which is very active and interactive

Showroom and Used Bike Expansion. UDC Section 2.09.06 Regulations shall apply with the following modifications:

Roof

- The existing showroom and used bike addition utilize a flat roof system with a parapet to screen all mechanical equipment.

Entry

- The entries into both areas utilize shade structures in conjunction with recessed doors including a vestibule into the main showroom.

Façade

- The facades for this area composed of a painted cementitious finish utilizing a tripartite color scheme.
- The facades of structure are layered behind shade covered walks including glazing.

Justification: Maximum areas and length are exceeded with the use of informational and directional signage. This coincides with the multiple and various activities that take place on the property. The type and placement of the signage is meant to communicate the theme of the establishment which is very active and interactive

8. Nonresidential Architectural Standards. UDC Section 2.09.06 shall apply with the following modifications:

- The proposed buildings do not include masonry or stone elements
- The buildings do incorporate a "Tripartite" Building Design Composition throughout
- The roof standards will be met as described in "Section H"

Justification: The new buildings are carrying the "Tripartite" theme forward in keeping with the existing buildings that are currently displaying the three (3) horizontal bands of corporate colors.

9. Residential Adjacency Standards. UDC Section 2.09.05 Residential Adjacency Standards does not apply due to exemption B. Applicability, 3. "Non-residential uses adjacent to Interstate 35 shall be exempt from the residential adjacency standards."

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5920 N Interstate 35, Corinth, TX 76210

SOFARELLI & ASSOCIATES ARCHITECTURE A.I.A.
MICHAEL F. SOFARELLI JR.
6365 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3535
EMAIL : sofarell@verizon.net

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10. Screening of Outdoor Waste Storage for Nonresidential, Single-Family Attached, and Multi-Family Residential Properties. UDC Section 4.02.13 shall apply.

- Loading areas are concealed.
- Trash receptacles are concealed.

11. Lighting and Glare Regulations. UDC Section 2.09.07. shall apply.

12. Sign Regulations. UDC Section 4.01 Shall Apply With the Following Modification:

- All signs depicted in renderings shall be permitted per this PD. Reference Exhibit "G" for signage locations, type, and sizes.

Justification: Maximum areas and length are exceeded with the use of informational and directional signage. This coincides with the multiple and various activities that take place on the property. The type and placement of the signage is meant to communicate the theme of the establishment which is very active and interactive. Greater flagpole visibility is desired to increase civic and national pride.

UDC 4.01 SIGNAGE CHART

SHOWROOM		
	ALLOWED	PROPOSED
MAX AREA	400 SQF.	1472 SQFT.
NO. OF SIGNS	1	6 EXISTING, 8 NEW
ATTACHED SIGN WIDTH	50% WIDTH = 153' 4"	164' 8"
PROTRUSION	18" MAX	LESS THAN 18"
MAXIMUM FLAGPOLE HEIGHT	35'	100'
WHEELER YARD		
	ALLOWED	PROPOSED
MAX AREA	400 SQF.	2447.3 SQFT.
NO. OF SIGNS	1	8 LOGO, 6 INFORMATIONAL, 1 MONUMENT
ATTACHED SIGN WIDTH	50% WIDTH = 250' 10"	142' 1"
PROTRUSION	18" MAX	LESS THAN 18"
RIDING ACADEMY/ COLLISION		
	ALLOWED	PROPOSED
MAX AREA	400 SQF.	479.65 SQFT.
NO. OF SIGNS	1	1 LOGO, 4 DIRECTIONAL
ATTACHED SIGN WIDTH	50% WIDTH = 74' 3"	100' 2"
PROTRUSION	18" MAX	LESS THAN 18"

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13. Fence and Screening Regulations. UDC Section 4.02.11.B and UDC Section 4.02.11.F shall be modified accordingly: Existing wood fencing to remain, additional wood fencing will be added to match existing where required. Existing fence to be repaired/replaced to match existing where necessary due to wear. All fencing described above will be to provide screening to adjacent residential area.

Justification: To mitigate harm to existing trees and residential property and to match existing residential fencing.

B. OTHER DEVELOPMENT CONSIDERATIONS:

1. **Phasing.** There will be no phasing for this site. Industry standard construction sequence methods may be applied.
2. **Platting:** Site will be subdivided by plat into three parcels. 1) The existing dealership, motorcycle showroom and riding course will exist on one parcel. 2) The restaurant, event center, stage, and additional two parking parcels will exist on a separate parcel. 3) The two proposed parking parcels north of Church will be platted into a single lot. (Exhibit "D")
3. **Impacts.**
 - a. **Traffic Impact Assessment:** TIA can be completed upon request from city if necessary-.
 - b. **Drainage/Stormwater Management:** Existing drainage patterns will be maintained.
 - c. **Floodplain/Wetlands:** N/A
 - d. **Detention required for sites over 1 acre:** Existing detention volume will be maintained. Additional detention will be provided for newly constructed impervious structures.
 - e. **Utilities:** One domestic water tap and one fire tap will be installed for the restaurant/pavilion. One domestic water tap will be installed for the classroom addition. One domestic water tap will be installed for the speak-easy section of restaurant. One sewer tap will be installed for the restaurant/pavilion. One sewer tap will be installed for the classroom addition. One sewer tap will be installed for the speak-easy section of restaurant. Existing Oncor on-site facilities are to be moved off from the proposed building pads into a new easement, to be approved by Oncor.

SECTION 3 - BACKGROUND INFORMATION

A. EXISTING SITE CONDITIONS.

The site is currently an existing Harley Davidson dealership, with three existing commercially zoned parcels being incorporated into the site per this PD. **(Reference Exhibit B - Existing Site Conditions)**

Existing Conditions:

- Street boundaries: Church Dr. and i35E frontage road.
- Surrounding properties: Adjacent properties and residential, zoned SF-2 and SF-3.
- Tree cover/Wetlands/Streams/Floodplain: There are scattered trees throughout the site. There is not a 100- year flood plain/WOUS on site.
- Drainage: There is an existing detention area in the Riding Academy Covered Course parking lot to the south. The lots of north of Church St. drain to existing street inlets.
- Existing easements: There is an existing 24' fire lane and utility easements on site that is to be maintained.

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MICHAEL F. SOFARELLI JR. A.I.A.
6365 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3585
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- Existing lift stations/pump stations/etc.: None.
- Existing signage/buildings/etc.: Some existing commercially based signage. See list of existing buildings below:
 - Harley Davidson Showroom (to remain)
 - Wedding venue building (to be removed)
 - Existing collision center to remain.
- Existing site access
 - Harley Davidson: Two existing drives off of i35E frontage road.
 - Commercial tracts (south of Church Dr.): Four existing driveways on Church Dr.
 - Commercial tract (north of Church Dr.): No existing driveways.
 - Postage Stamp Lot (Abandoned Telecommunications building; north of Church Dr.): One existing driveway.
- Other: Current Riding Course parking lot to south also serves as a motorcycle training driving course.

B. CURRENT ZONING.

The tracts are currently zoned PD-26 with base zoning C-2, which permits a range of uses by right including among automobile sales, restaurant use, food-truck use, outside display, and outside storage.

C. FUTURE LAND USE.

The site is intended to be a multi-use sales and event center. The site will hold onto to the existing motorcycle sales and riding course uses, while adding a restaurant, microbrewery, speak easy (as part of the restaurant), event pavilion, covered riding course, and meeting center. The campus will be capable of hosting a wide variety of different exciting events for the Corinth community while also continuing to be a friendly and respectful neighbor to the adjacent residential area.

SECTION 4 - SUPPORTING APPLICATION DOCUMENTS

Exhibit A – Legal description

- A. Exhibit B – Existing Site Conditions
- B. Exhibit C – Conceptual Landscape Design
- C. Exhibit D – PD Concept Plan
- D. Exhibit E – Exterior Elevations
- E. Exhibit F – Architectural Renderings
- F. Exhibit G – Proposed Signage Package

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A revised Legal Description for the entire property to be rezoned is needed to delineate the area of the northern tract and the area of the southern tract for inclusion in the final approved PD Ordinance.

EXHIBIT "A"

CASE NO. ZAPD22-00006

LEGAL DESCRIPTION

PROPERTY ID: 38738

AMERICAN EAGLE HARLEY DAVIDSON & WHEELER YARD

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LD-3	LEGAL DESCRIPTION (CONT.)
LD-4	LEGAL DESCRIPTION (CONT.)
LD-5	OFF-SITE PARKING (CONT.)

ISSUED FOR:
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HARLEY DAVIDSON
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MICHAEL F. SOFARELLI JR. A.I.A.
6365 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3535
EMAIL : sofarell@verizon.net

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EXHIBIT A

Metes and Bounds Description

FIELD NOTE DESCRIPTION

9.395 Acre Tract

BEING 9.395 acres out of the J.B. Thedford Survey, Abstract Number 1308, City of Corinth, Denton County, Texas, all of a tract of land conveyed to 2-10 Properties, LLC by deed recorded in Instrument Number 201544912, Deed Records, Denton County, Texas, also being all of Lot 1R, Happily Ever After Addition, an addition to the City of Corinth, as recorded in Cabinet R, Page 351, Plat Records, Denton County, Texas and being a portion of Lot 1, Block 1, Harley Davidson - Corinth Addition, an addition to the City of Corinth, as recorded in Cabinet Y, Page 212, Plat Records, Denton County, Texas, and being more particularly described by metes and bounds as follows: (Bearings and distances are based on the State Plane Coordinate System, Texas North Central Zone (4202) North American Datum of 1983 (NAD 83)(US Foot) with a combined scale factor of 1.000150630):

BEGINNING at a 1/2 inch iron rod with cap stamped, "Britton & Crawford" found for the northwest corner of the herein described tract, same being the southwest corner of a tract of land described by deed to the City of Corinth, as recorded under Instrument Number 2008-118301, D.R.D.C.T, said point also being in the present south line of Church Drive;

THENCE North 89 degrees 40 minutes 20 seconds East with the north line of said 2-10 Properties, with the south right of way line of Church Drive (Variable Width Right of Way) a distance of 49.56 feet to a "TX DOT" monument found for a corner at the intersection of said Church Drive and Interstate Highway 35E (Variable Width Right of Way);


THENCE South 67 degrees 11 minutes 49 seconds East with said intersection, a distance of 19.45 feet to a "TX DOT" monument found for corner on the west right of way line of said Interstate Highway 35E;

THENCE South 37 degrees 30 minutes 51 seconds East with the west right of way of said Interstate Highway 35E, same being the east line of said 2-10 Properties tract, a distance of 210.18 feet to a 1/2 inch rebar found for corner;


THENCE South 37 degrees 13 minutes 50 seconds East with the west right of way line of said Interstate Highway 35E tract, same being the east line of said 2-10 Properties tract, a distance of 36.46 feet to a "TX DOT" monument found for the southeast corner of said 2-10 Properties tract, same being the northeast corner of said Lot 1, and being the westernmost corner of a tract of land known as "Parcel 33" as described in Exhibit Prepared by Surveying and Mapping Inc, dated February 3, 2012, (Job Number 29036E-08);

THENCE South 37 degrees 03 minutes 46 seconds East with the west right of way line of said Interstate Highway 35E, same being the northeast line of said Lot 1 and being the south line of a tract of land known as "Parcel 33" as described in Exhibit Prepared by Surveying and Mapping

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Inc, dated February 3, 2012, (Job Number 29036E-08), a distance of 213.75 feet to a 1/2 inch rebar capped "ASC" set for corner;

THENCE South 39 degrees 57 minutes 54 seconds East with the west right of way line of said Interstate Highway 35E, same being the northeast line of said Lot 1, a distance of 150.05 feet to a 1/2 inch rebar capped "ASC" set for corner;

THENCE South 38 degrees 26 minutes 15 seconds East, with the west right of way line of said Interstate Highway 35E, same being the northeast line of said Lot 1, a distance of 12.07 feet to a 1/2 inch rebar capped "ASC" set for the northernmost east corner of said Lot 1, also being a point on the northwest line of Lot 1, Block A DATCU - Corinth, an addition to the City of Corinth, as recorded in Instrument Number 2015-021, Plat Records, Denton County, Texas and being the southeast corner of a tract of land known as "Parcel 33" as described in Exhibit Prepared by Surveying and Mapping Inc, dated February 3, 2012, (Job Number 29036E-08);

THENCE South 57 degrees 22 minutes 52 seconds West departing the west right of way line of said Interstate Highway 35E, with the northwest line of said second referenced Lot 1, a distance of 328.67 feet to a 1/2 inch rebar capped "Isbell" found for an interior "ell" corner of said first referenced Lot 1, same being an interior "ell" corner of said second referenced Lot 1;

THENCE South 38 degrees 20 minutes 22 seconds East with a west line of said second referenced Lot 1, same being an east line of said first referenced Lot 1, a distance of 154.21 feet to a 1/2 inch rebar capped "Isbell" found for an interior "ell" corner of said first and second referenced Lot 1;

THENCE South 00 degrees 46 minutes 14 seconds East with the southwest line of said second referenced Lot 1, same being the southeastern line of said first referenced Lot 1, a distance of 318.36 feet to a 1/2 inch rebar capped "Isbell" found for the southeast corner of said first referenced Lot 1, same being the southwest corner of said second referenced Lot 1, also lying on the north line of Lot 4, Block 4 of Corinth Shore Estates, an addition to the City of Corinth, as recorded in Cabinet A, Page 47, Plat records, Denton County, Texas;

THENCE North 88 degrees 04 minutes 34 seconds West with the south line of said first referenced Lot 1, with the north line of Block 4 of said Corinth Shore Estates, a distance of 260.29 feet to a point for the southwest corner of said first referenced Lot 1 from which a 1/2 inch rebar bears North 15 degrees 49 minutes 12 seconds East, 0.38 feet;

THENCE North 00 degrees 45 minutes 34 seconds West with the east line of said Block 4, same being the southern most east line of said first referenced Lot 1, a distance of 527.95 feet to a 1/2 inch rebar capped "ASC" set for corner lying on the south right of way line of Chapel Place (60 foot right of way);

THENCE North 89 degrees 14 minutes 26 seconds East with the south right of way line of said Chapel Place a distance of 19.00 feet to an "X" set in concrete for corner;

THENCE North 00 degrees 45 minutes 34 seconds West with the east right of way line of said Chapel Place, a distance of 60.07 feet to an "X" set in concrete for corner;

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6365 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3585
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THENCE South 89 degrees 14 minutes 26 seconds West with the north right of way line of said Chapel Place, a distance of 19.00 feet to a 1/2 inch rebar capped "ASC" set for the southeast corner of Lot 8, Block 5, Corinth Shores Estates, an addition to the City of Corinth, Denton County, Texas as recorded in Cabinet A, Page 47, Plat Records, Denton County, Texas;

THENCE North 00 degrees 45 minutes 34 seconds West departing the north right of way line of said Chapel Place, with the east line of said Lot 8, a distance of 119.97 feet to a 1/2 inch rebar capped "ASC" set for the north east corner of said Lot 8, same being the southeast corner of said Lot 1R, and lying on the west line of said first referenced Lot 1;

THENCE North 89 degrees 19 minutes 22 seconds West departing the west line of said first referenced Lot 1, with the most southern north line of said Block 5, with the south line of said Lot 1R, a distance of 314.67 feet to a 1/2 inch rebar found for the southwest corner of said Lot 1R, same being the north west corner of Lot 6, Block 5 of said Corinth Shores Estates, and lying on the east line of Lot 4, Block 5 of said Corinth Shores Estates;

THENCE North 01 degrees 31 minutes 54 seconds West with the west line of said Lot 1R, same being the east line of said Block 5, a distance of 160.11 feet to a point for the southernmost northwest corner of said Lot 1R, also being a point on the east line of Lot 3, Block 5 of said Corinth Shores Estates, and being the southwest corner of a tract of land conveyed to Corinth Praise and Worship Center, as recorded by deed in Volume 4736, Page 1715, Deed Records, Denton County, Texas, from which a 1/2 inch rebar capped "ALLIANCE" bears North 11 degrees 58 minutes 12 seconds East, a distance of 0.51 feet;

THENCE North 01 degrees 37 minutes 08 seconds West along a west line of 9.395 acre tract, a distance of 108.17 along a western line of said 9.395 acre tract.

THENCE N 00°04'44" E 124.51 feet with said east line of said Block 5 to an iron rod found for corner in the south line of Church Drive, a public roadway having a right-of-way of 50.0 feet, the northeast corner of Lot 1, Block 5 of Corinth Shores Estates, an addition to the City of Corinth, Denton County, Texas according to the plat thereof recorded in Volume 2, Page 108, Plat Records, Denton County, Texas bears S 00°04'44" W, 3.20 feet; to the most northwest north corner of said 9.395 acre tract.

THENCE S 88°26'44" W, 104.85 feet with said south line of said Church Drive to an iron rod found for corner, said point being the most northerly northwest corner of that certain tract of land conveyed by deed from Joann Aylor and Wayne Robertson to 2977, Real Property Records, Denton County, Texas;

THENCE north 89 degrees 45 minutes 42 seconds east along said south line and a north line of said 9.395 acre tract, a distance of 111.52 feet to the northeast corner of said 9.395 acre tract;

THENCE South 89 degrees 41 minutes 31 seconds East with the south right of way line of said Church Street, with the north line of said Lot 1R, a distance of 104.98 feet to a 1/2 inch rebar capped "ASC" set for the northeast corner of said Lot 1R;

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MICHAEL F. SOFARELLI JR. A.I.A.
6365 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3585
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THENCE North 00 degrees 05 minutes 39 seconds West with the south right of way line of said Church Street, same being with the west line of said 2-10 Properties tract, a distance of 6.71 feet to **THE POINT OF BEGINNING** and containing 360,131.48 square feet or 9.395 acres of land, more or less.

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MICHAEL F. SOFARELLI JR. A.I.A.
8365 142nd AVENUE NORTH
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DESCRIPTION FOR ZONING PURPOSES ONLY:

ALL THAT CERTAIN TRACT OR PARCEL OF LAND LYING AND BEING SITUATED IN THE J.B. THETFORD SURVEY ABSTRACT NUMBER 1308, CITY OF CORINTH, DENTON COUNTY, TEXAS, AND BEING ALL OF A CALLED 1.671 ACRE TRACT OF LAND DESCRIBED IN A DEED TO WU, MIN-SHENG, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHERN MOST NORTHWEST CORNER OF SAID 1.671 ACRE TRACT.

THENCE SOUTH 0 DEGREES 08 MINUTES 07 SECONDS WEST ALONG SAID WEST LINE OF SAID 1.408 ACRE TRACT, A DISTANCE OF 179.82 FEET TO THE SOUTHWEST CORNER OF SAID 1.671 ACRE TRACT;

THENCE SOUTH 0 DEGREES 05 MINUTES 36 SECONDS WEST ALONG THE WEST LINE OF SAID 1.671 ACRE TRACT, A DISTANCE OF 87.06 FEET ALONG SAID 0.263 ACRES OF LAND.

THENCE SOUTH 89 DEGREES 49 MINUTES 28 SECONDS EAST A DISTANCE OF 117.58 FEET TO THE SOUTHWEST CORNER OF SAID 0.263 ACRE TRACT;

THENCE NORTH 89 DEGREES 37 MINUTES 51 SECONDS EAST A DISTANCE OF 210.38 FEET TO THE SOUTHEAST CORNER OF SAID 1.671 ACRE TRACT;

THENCE NORTH 26 DEGREES 33 MINUTES 04 SECONDS EAST A DISTANCE OF 52.20 FEET;

THENCE NORTH 41 DEGREES 04 MINUTES 10 SECONDS WEST ALONG THE EAST LINE OF SAID 1.671 ACRE TRACT, A DISTANCE OF 245.25 FEET;

THENCE NORTH 30 DEGREES 32 MINUTES 55 SECONDS WEST ALONG THE EAST LINE OF SAID 1.671 ACRE TRACT, A DISTANCE OF 34.92 FEET TO THE POINT OF BEGINNING AND CONTAINING 1.671 ACRES OF LAND.

ISSUED FOR:
PRESENTATION



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CASE NO. ZAPD22-00006
SURVEY ID: 111217
 AMERICAN EAGLE
 HARLEY DAVIDSON
 & WHEELER YARD

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 A.I.A.
 MICHAEL F. SOFARELLI JR.
 6365 142nd AVENUE NORTH
 CLEARWATER, FLORIDA 33760 P. 727-530-3535
 EMAIL : sofarell@mverizon.net

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MICHAEL F. SOFARELLI JR., A.I.A.
6365 142nd AVENUE NORTH
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EMAIL: sofarell@verizon.net

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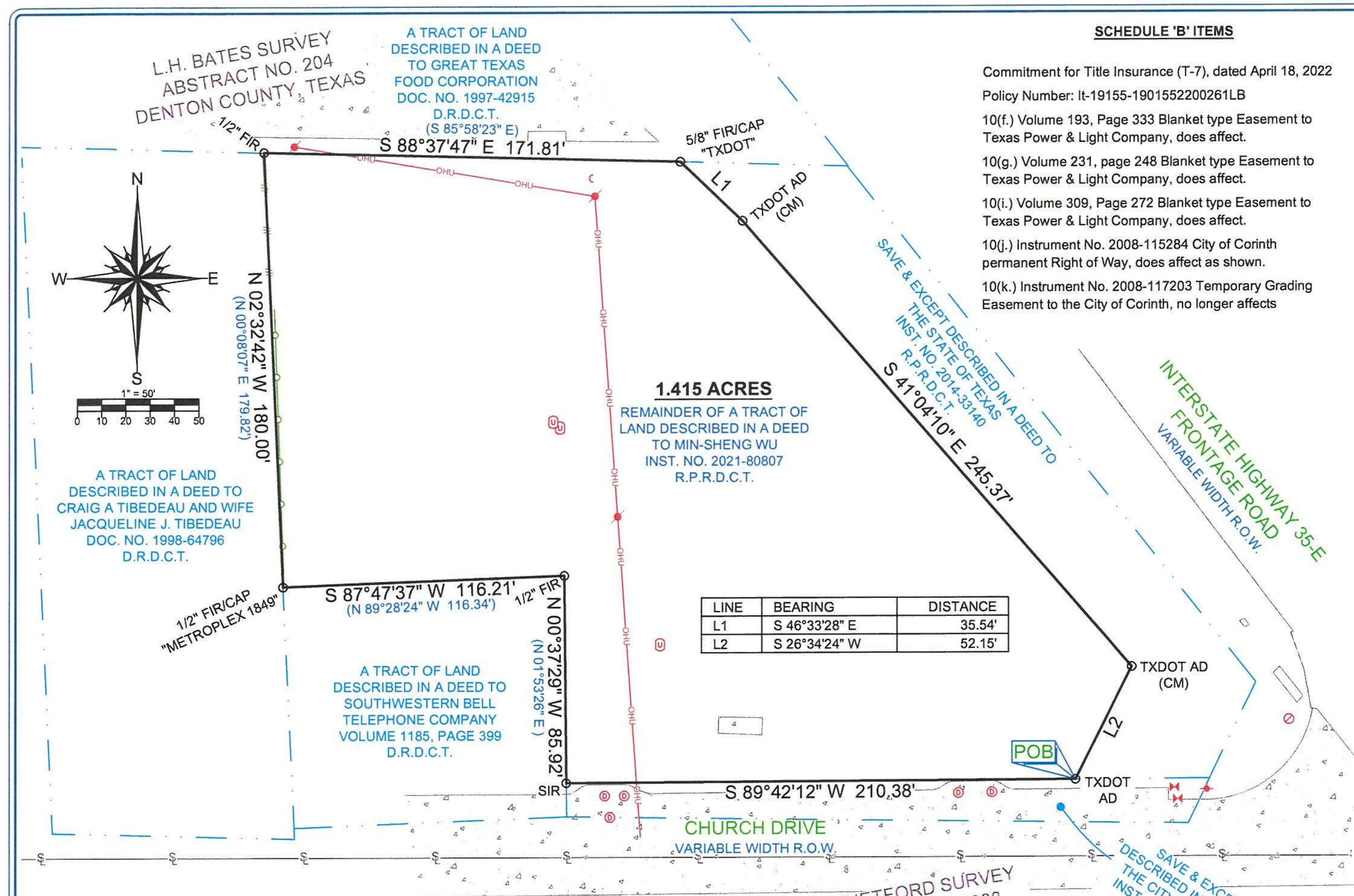


Table with 3 columns: LINE, BEARING, DISTANCE. Rows include L1 (S 46°33'28\"/>

SCHEDULE 'B' ITEMS

- Commitment for Title Insurance (T-7), dated April 18, 2022
Policy Number: It-19155-1901552200261LB
10(f.) Volume 193, Page 333 Blanket type Easement to Texas Power & Light Company, does affect.
10(g.) Volume 231, page 248 Blanket type Easement to Texas Power & Light Company, does affect.
10(i.) Volume 309, Page 272 Blanket type Easement to Texas Power & Light Company, does affect.
10(j.) Instrument No. 2008-115284 City of Corinth permanent Right of Way, does affect as shown.
10(k.) Instrument No. 2008-117203 Temporary Grading Easement to the City of Corinth, no longer affects

TO ALL PARTIES DIRECTLY INTERESTED IN THE PREMISES SURVEYED
I have this date directed a careful and accurate survey made on the grounds of the property located at Interstate 35 and Church Drive in the City of Corinth, Denton County, Texas;

All that certain tract of land situated in the L.H. Bates Survey, Abstract Number 204, Denton County, Texas, being the remainder of that tract of land described in a deed to Min-Sheng Wu as recorded in Instrument number 2021-80807 of the Real Property Records of Denton County, Texas, and being more particularly described by metes & bounds as follows:

BEGINNING at a found Texas Department of Transportation (TxDOT) aluminum disk in said Min-Sheng Wu tract on the North boundary line of a Save & Except described in a deed to The City of Corinth as recorded in Instrument Number 2008-115284 of the Real Property Records of Denton County, Texas, marking the Southerly Southeast corner of this herein described subject tract and the Southerly Southwest corner of a Save & Except described in a deed to The State of Texas as recorded in Instrument Number 2014-33140 of the Real Property Records of Denton County, Texas;

THENCE across said Nin-Sheng Wu tract along the North boundary line of said City of Corinth Save & Except South 89 degrees 42 minutes 12 seconds West, a distance of 210.38 feet to a 1/2\"/>

THENCE with the common line of said Min-Sheng Wu tract North 00 degrees 37 minutes 29 seconds West a distance of 85.92 feet to a 1/2\"/>

THENCE with the West property line of said Min-Sheng Wu tract North 02 degrees 32 minutes 42 seconds West a distance of 180.00 feet to a 1/2\"/>

THENCE with the North property line of said Min-Sheng Wu tract and the South property line of said Great Texas Food Corporation tract South 88 degrees 37 minutes 47 seconds East a distance of 171.81 feet to a 5/8\"/>

THENCE across said Min-Sheng Wu tract along the West boundary line of said State of Texas Save & Except as follows:

- South 46 degrees 33 minutes 28 seconds East a distance of 35.54 feet to a found TxDOT aluminum disk;
- South 41 degrees 04 minutes 10 seconds East a distance of 245.37 feet to a found TxDOT aluminum disk;
- South 26 degrees 34 minutes 24 seconds West a distance of 52.15 feet to the POINT OF BEGINNING and containing 1.415 acres of land, more or less.

TITLE COMPANY



1720 WESTMINSTER
DENTON, TX 76205
(940)382-3446
JOB NUMBER: 220270
DRAWN BY: DJJ
DATE: 05-11-2022
R.P.L.S.
KENNETH A. ZOLLINGER

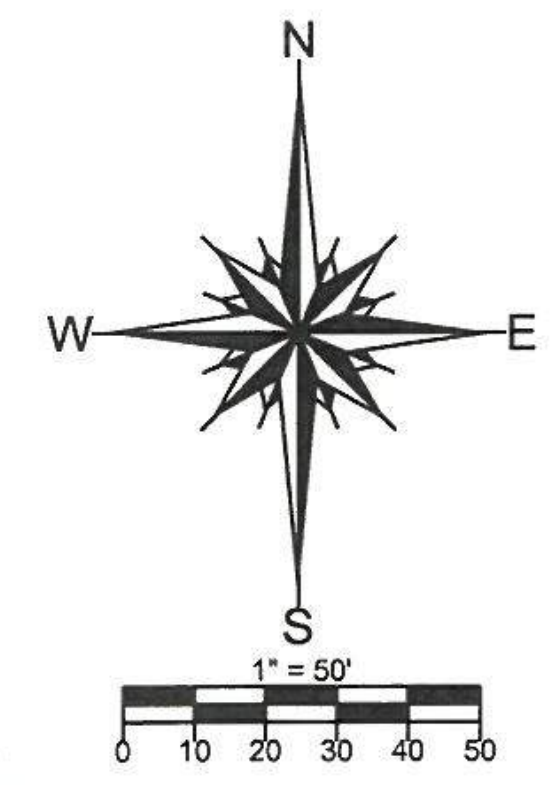


J.B. THETFORD SURVEY
ABSTRACT NO. 1308
DENTON COUNTY, TEXAS

FLOOD STATEMENT: I have reviewed the F.E.M.A. Flood Insurance Rate Map for the City of Corinth, Community Number 481143, effective date 4-18-2011, and that map indicates as scaled, that this property is within "Non-Shaded Zone X" defined as "Areas determined to be outside the 0.2% annual chance flood (500-year)" as shown on Panel 389 H of said map.

SURVEYORS CERTIFICATION

Certified to Fidelity National Title Insurance Company, Lawyers Title - Dallas, (GF# It-19155-1901552200261LB), Min-Sheng Wu; 2-10 Properties, LLC;
This survey correctly represents the results of an on-the-ground survey made under my direction and supervision on 05-05-2022, and substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1A, Condition II Survey. There are no apparent encroachments, intrusions or protrusions except as shown hereon.



A TRACT OF LAND DESCRIBED IN A DEED TO CRAIG A TIBEDAU AND WIFE JACQUELINE J. TIBEDAU DOC. NO. 1998-64796 D.R.D.C.T.

A TRACT OF LAND DESCRIBED IN A DEED TO SOUTHWESTERN BELL TELEPHONE COMPANY VOLUME 1185, PAGE 399 D.R.D.C.T.

LEGEND

- ⊙ = BURIED CABLE MARKER
- ⚡ = POWER POLE
- ⊖ = GUY WIRE
- ⊕ = STORM DRAIN MANHOLE
- ⊗ = UNIDENTIFIED UTILITY
- ⚡ = FIRE HYDRANT
- ⋈ = WATER VALVE
- R.O.W. = RIGHT-OF-WAY
- FIR = FOUND IRON ROD
- FIR/CAP = FOUND IRON ROD W/CAPPED
- SIR = SET IRON ROD W/CAPPED
- AD = ALUMINUM DISK
- CM = CONTROLLING MONUMENT
- () = PLAT OR DEED CALL
- POB = POINT OF BEGINNING
- |—|—|— = SURVEY LINE
- |—|—|— = WOOD FENCE
- = CHAIN LINK FENCE
- OHU— = OVER-HEAD UTILITIES
- = ASPHALT
- = CONCRETE



CASE NO. ZAPD22-0006
PERMANENT RIGHT OF WAY ID: 38892
AMERICAN EAGLE HARLEY DAVIDSON & WHEELER YARD

02-15-2023

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PR-1	PERMANENT RIGHT OF WAY
PR-2	PERMANENT RIGHT OF WAY CONT.
PR-3	PERMANENT RIGHT OF WAY CONT.
PR-4	PERMANENT RIGHT OF WAY CONT.
PR-5	PERMANENT RIGHT OF WAY CONT.

ISSUED FOR: PRESENTATION



PROJECT:
AMERICAN EAGLE HARLEY DAVIDSON & WHEELER YARD
 5920 N Interstate 35, Corinth, TX 76210

SOFARELLI & ASSOCIATES ARCHITECTURE
 MICHAEL F. SOFARELLI JR. A.I.A.
 6365 142nd AVENUE NORTH
 CLEARWATER, FLORIDA 33760 P. 727-530-3535
 EMAIL : sofarell@verizon.net

Revisions:

Content:

Filename: EAGLE HD

Date: 02-15-2023

Proj. no. 18060

Sheet: **PR-0**

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OF THE FOLLOWING INFORMATION FROM THIS INSTRUMENT BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

**CITY OF CORINTH
PERMANENT RIGHT-OF-WAY**

THE STATE OF TEXAS
COUNTY OF DENTON

KNOW ALL MEN BY THESE PRESENTS

THAT, **SOUTHWESTERN BELL TELEPHONE COMPANY**, acting by and through the undersigned, their duly authorized representative, of the County of Denton, State of Texas, for and in consideration of ONE DOLLAR, and other good and valuable considerations paid by the City of Corinth, a municipal corporation of Denton County, Texas, receipt of which is hereby acknowledged, does hereby grant, bargain and convey to said City, its successors and assigns, **FEE SIMPLE TITLE TO** a permanent right-of-way and the right to construct, reconstruct and perpetually maintain a public street and/or drainage facilities and utilities, together with all necessary appurtenances thereto, and with the right and privilege at any and all times, to enter said premises, or any part thereof, as is necessary to the proper use of any other right granted herein, and for the purpose of constructing, reconstructing and maintaining said public street and/or drainage facilities and utilities, and for making connections therewith, in, upon and across that certain tract or parcel of land in Denton County, Texas, being described as follows:

EXHIBITS "A" and "B", attached hereto and made a part hereto.

Grantee acknowledges that it has been given the opportunity to make a full and complete investigation and inspection of the land conveyed hereunder. Grantee expressly acknowledges that the land conveyed hereunder is being purchased "AS IS", "WHERE IS" and "WITH ALL FAULTS", latent and patent. Grantee acknowledges that Grantor has no duty, responsibility or obligation whatsoever to volunteer to Grantee information about the land conveyed hereunder. WITHOUT LIMITING THE GENERALITY OF THE FOREGOING, GRANTOR HAS NOT AND WILL NOT, AND HEREBY EXPRESSLY DISCLAIMS ANY WARRANTIES WHATSOEVER, EXPRESS OR IMPLIED, WITH RESPECT OR RELATING TO THE TITLE TO THE LAND CONVEYED HEREUNDER OR RELATING TO THE CONDITION OF THE LAND CONVEYED HEREUNDER INCLUDING WITHOUT LIMITATION, IMPLIED WARRANTIES OR MERCHANTABILITY, HABITABILITY OR FITNESS FOR A PARTICULAR PURPOSE. Grantee expressly acknowledges that (i) it is not authorized to rely, has not relied, and will not rely on any representation, statement or warranty of Grantor, or of any agent, or representative, or broker of Grantor, not expressly set forth herein, and (ii) Grantor has not agreed to perform any work on or about the land conveyed hereunder as a condition to Grantee's purchase of same. Grantor makes no representations, warranties, or indemnities for any claim, condition or liability arising

ISSUED FOR:
PRESENTATION



PROJECT:
**AMERICAN EAGLE
HARLEY DAVIDSON
& WHEELER YARD**
5920 N Interstate 35, Corinth, TX 76210



Revisions:

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EAGLE HD

Date:
02-15-2023

Proj. no.
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before or after this Agreement pursuant to, or arising under, any federal, state or local law, rule or ordinance including, but not limited to, those relating to the protection of the environment including, but not limited to, CERCLA and RCRA.

Grantor hereby grants, sells, and conveys said property, for the purposes herein set forth, to have and to hold it to Grantee, Grantee's heirs, successors and assigns forever, without express or implied warranty

SAVE AND EXCEPT, HOWEVER, it is expressly understood and agreed that Grantors reserve all of the oil, gas and other minerals in and under the land herein conveyed but waive all rights of ingress and egress to the surface thereof for the purpose of exploring, developing, mining or drilling for same; however, nothing in this reservation shall affect the title and rights of the Grantee, its successors and assigns, to take and use all other minerals and materials thereon, therein and thereunder.

WITNESS MY HAND, this the 3rd day of December, 2008.

**SOUTHWESTERN BELL
TELEPHONE COMPANY**

J. Stephen Sumbly
By J. Stephen Sumbly
Its. Director - R.E. Strategy & Planning

ISSUED FOR:
PRESENTATION



PROJECT:
**AMERICAN EAGLE
HARLEY DAVIDSON
& WHEELER YARD**
5920 N Interstate 35, Corinth, TX 76210

SOFARELLI & ASSOCIATES ARCHITECTURE
MICHAEL F. SOFARELLI JR. A.I.A.
8365 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3585
EMAIL : sofarell@verizon.net

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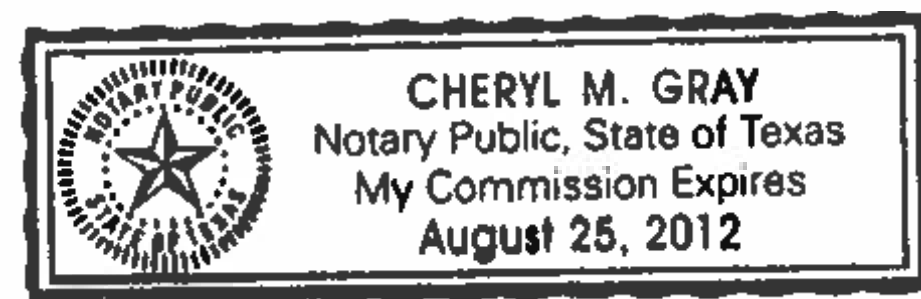
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STATE OF TEXAS §
 BEXAR §
COUNTY OF DENTON §

BEFORE ME, the undersigned authority in and for BEXAR County, Texas, on this day personally appeared J. STEPHEN SUNDY, known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that he/she is the Director - R.E. Strategy + Planning of Southwestern Bell Telephone Co. and that he/she is authorized by said corporation to execute the foregoing instrument as the act of such corporation for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the 3 day of DECEMBER, 2008.



Cheryl M. Gray
Notary Public in and for the State of Texas

Cheryl M. Gray
Type or Print Notary's Name

My Commission Expires:

08-25-2012

ISSUED FOR:
PRESENTATION

PROJECT: AMERICAN EAGLE HARLEY DAVIDSON & WHEELER YARD
5920 N Interstate 35, Corinth, TX 76210

SOFARELLI & ASSOCIATES ARCHITECTURE A.I.A.
MICHAEL F. SOFARELLI JR.
8365 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3535
EMAIL : sofarell@verizon.net

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EXHIBIT "A"
PERMANENT RIGHT-OF-WAY
LEGAL DESCRIPTION

BEING 0.040 acre of land located in the L. H. BATES SURVEY, Abstract No. 204, Corinth, Denton County, Texas, and being a portion of the tract of land conveyed to Southwestern Bell Telephone Co., by the deed recorded in Volume 1185, Page 399 of the Deed Records of Denton County, Texas. Said 0.040 acre of land being more particularly described by metes and bounds as follows:

BEGINNING at 1/2" iron rod found at the Southwest corner of said Telephone Company Tract, and said POINT OF BEGINNING also lying in the existing North right-of-way line of Church Street;

THENCE N 02° 32' 08" W 17.39 feet, along the West boundary line of said Telephone Company Tract, to a 1/2" iron rod stamped "Brittain & Crawford" set in the new North right-of-way line of said Church Street;

THENCE N 89° 39' 17" E 113.41 feet, along the new North right-of-way line of said Church Street, to a 1/2" iron rod stamped "Brittain & Crawford" set in the East boundary line of said Telephone Company Tract;

THENCE S 00° 39' 08" E 13.65 feet, along the East boundary line of said Telephone Company Tract, to a 1/2" iron rod found at the Southeast corner of said Telephone Company Tract;

THENCE S 87° 45' 38" W 112.88 feet, along the South boundary line of said Telephone Company Tract, and the existing North right-of-way line of said Church Street, to the POINT OF BEGINNING, containing 0.040 acre (1,758 square feet) of land.

d:\g\FNCHURCH\ROW14

ISSUED FOR:
PRESENTATION



PROJECT:
AMERICAN EAGLE
HARLEY DAVIDSON
& WHEELER YARD
5920 N Interstate 35, Corinth, TX 76210

SOFARELLI & ASSOCIATES ARCHITECTURE
ARCHITECTURE
A.I.A.
MICHAEL F. SOFARELLI JR.
6365 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3585
EMAIL : sofarell@verizon.net

Revisions:

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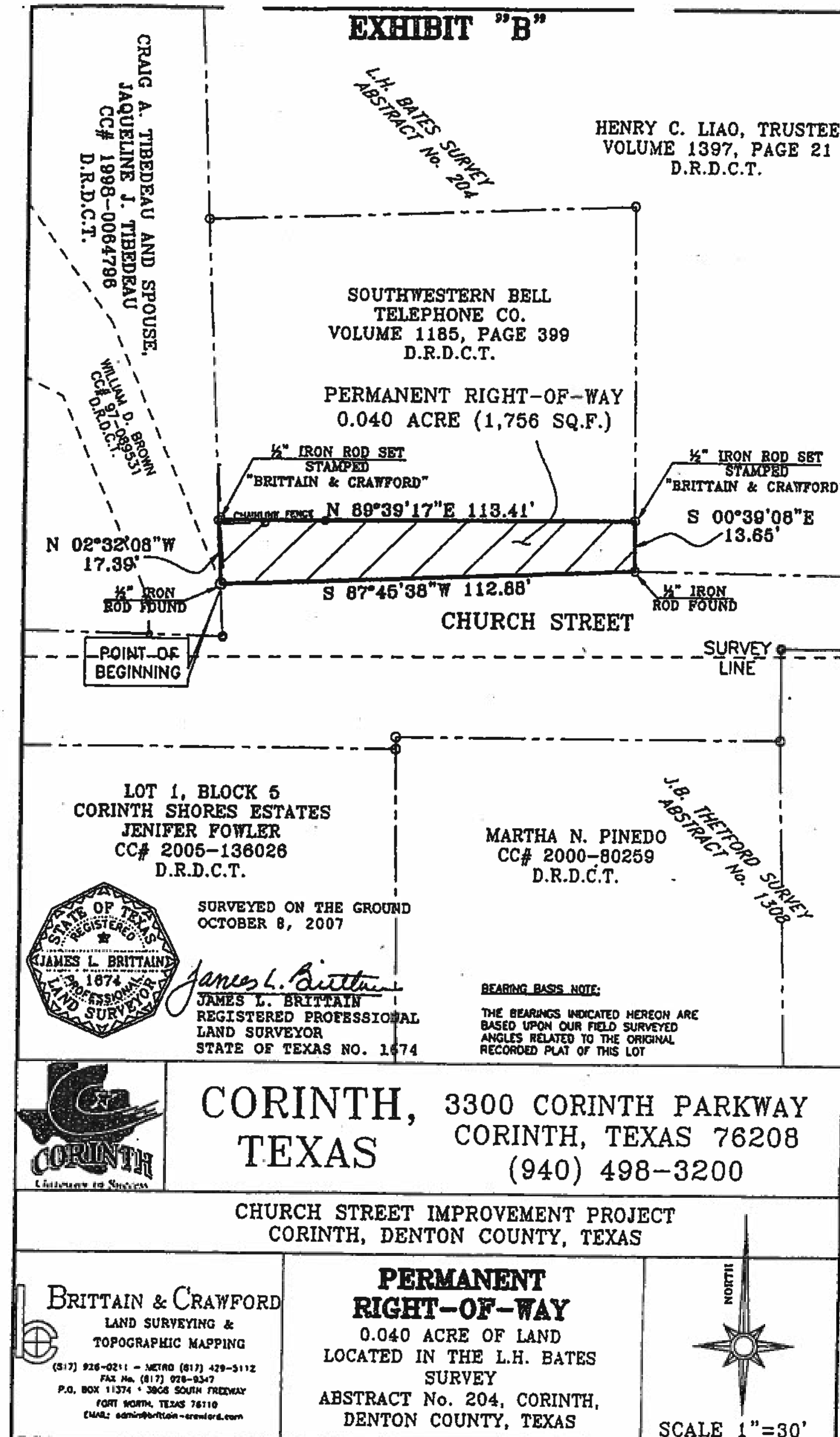
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Date:
02-15-2023

Proj. no.
18060

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PR-4



STATE OF TEXAS
REGISTERED
JAMES L. BRITTAIN
1874
PROFESSIONAL
LAND SURVEYOR

James L. Brittain
JAMES L. BRITTAIN
REGISTERED PROFESSIONAL
LAND SURVEYOR
STATE OF TEXAS NO. 1674

BEARING BASIS NOTE:
THE BEARINGS INDICATED HEREON ARE
BASED UPON OUR FIELD SURVEYED
ANGLES RELATED TO THE ORIGINAL
RECORDED PLAT OF THIS LOT

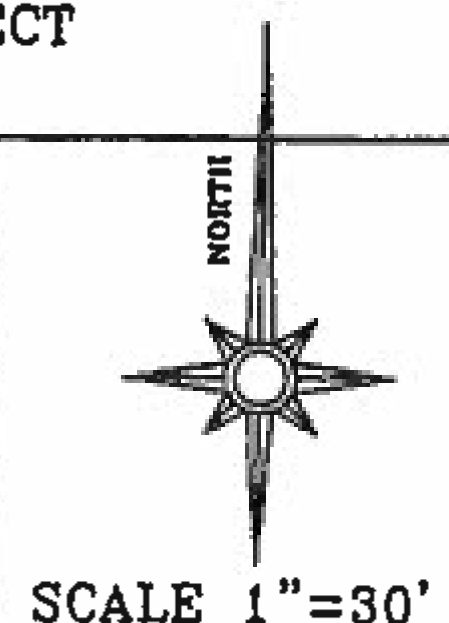


CORINTH, TEXAS
3300 CORINTH PARKWAY
CORINTH, TEXAS 76208
(940) 498-3200

CHURCH STREET IMPROVEMENT PROJECT
CORINTH, DENTON COUNTY, TEXAS

BRITTAIN & CRAWFORD
LAND SURVEYING &
TOPOGRAPHIC MAPPING
(512) 926-0211 - METRO (817) 429-5112
FAX No. (817) 928-9347
P.O. BOX 11374 • 3806 SOUTH FREWAY
FORT WORTH, TEXAS 76110
EMAIL: edwin@brittain-crawford.com

**PERMANENT
RIGHT-OF-WAY**
0.040 ACRE OF LAND
LOCATED IN THE L.H. BATES
SURVEY
ABSTRACT No. 204, CORINTH,
DENTON COUNTY, TEXAS



(CRC) C:\Su\FN_CHURCH\ROW14\CRD\DWG.

ISSUED FOR:
PRESENTATION



PROJECT:
**AMERICAN EAGLE
HARLEY DAVIDSON
& WHEELER YARD**
5920 N Interstate 35, Corinth, TX 76210

SAXA
SOFARELLI & ASSOCIATES ARCHITECTURE
MICHAEL F. SOFARELLI JR. A.I.A.
6365 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3585
EMAIL: sofarell@verizon.net

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02-15-2023
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EXHIBIT "B"

CASE NO. ZAPD22-0006
EXISTING SITE CONDITION
 AMERICAN EAGLE
 HARLEY DAVIDSON
 & WHEELER YARD

02-15-2022

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ES-1	EXISTING SITE CONDITIONS

ISSUED FOR:
PRESENTATION

PROJECT:
**AMERICAN EAGLE
 HARLEY DAVIDSON
 & WHEELER YARD**
 5920 N Interstate 35, Corinth, TX 76210

SOFARELLI & ASSOCIATES ARCHITECTURE
 A.I.A.
 MICHAEL F. SOFARELLI JR.
 6365 142nd AVENUE NORTH
 CLEARWATER, FLORIDA 33760 P. 727-530-3535
 EMAIL : sofarell@verizon.net

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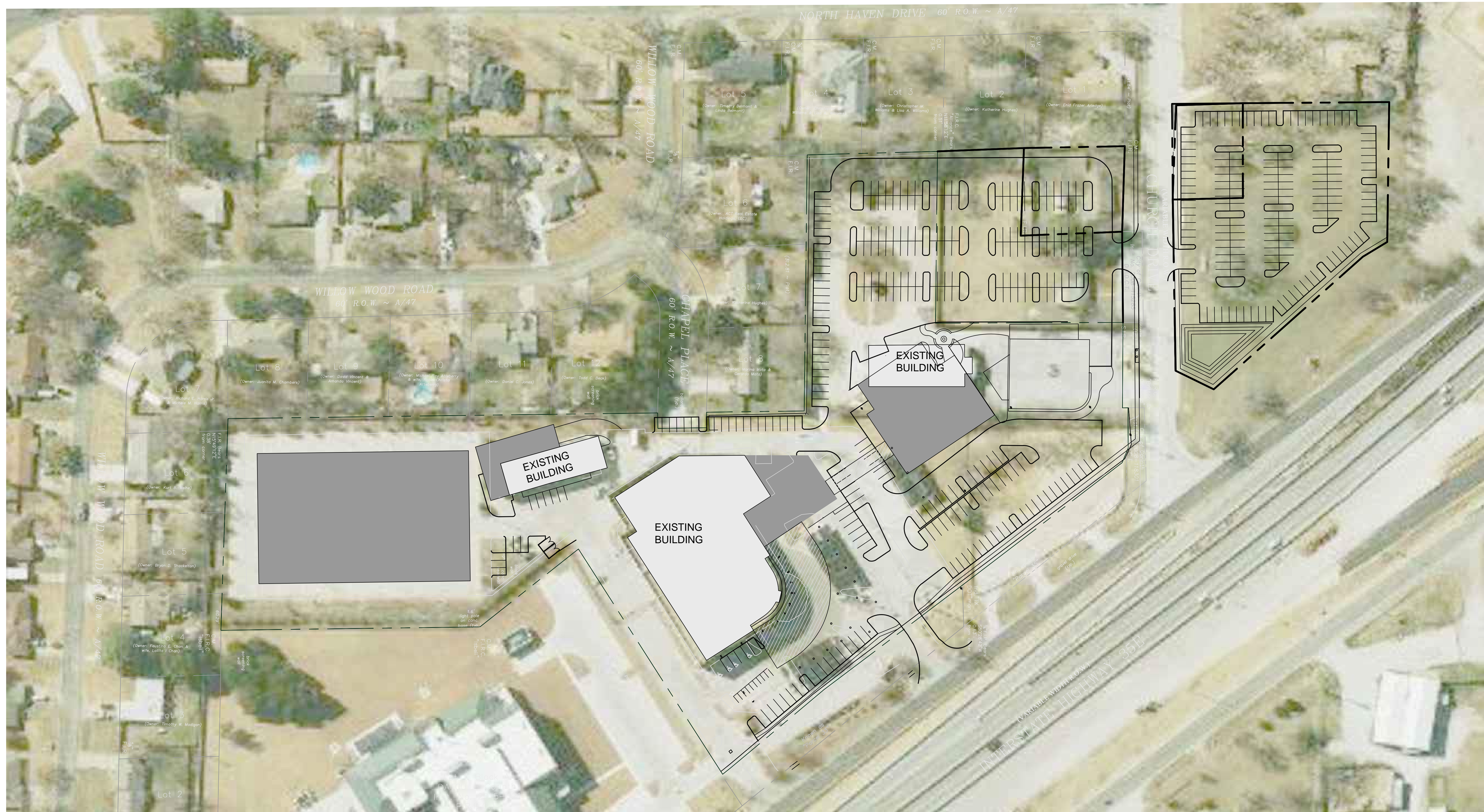
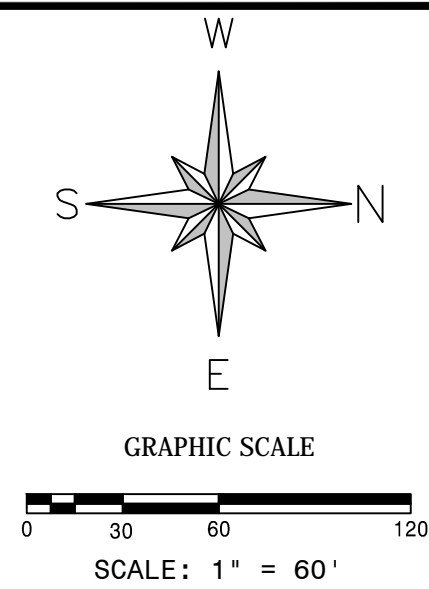
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02-15-2023

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18060

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ES-0



ISSUED FOR:
PRESENTATION



PROJECT:
**AMERICAN EAGLE
HARLEY DAVIDSON
& WHEELER YARD**
5920 N Interstate 35, Corinth, TX 76210

SOFARELLI & ASSOCIATES ARCHITECTURE
MICHAEL F. SOFARELLI JR., AIA.
6365 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3535
EMAIL: sofarell@verizon.net

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02-15-2023

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EXHIBIT "C"

CASE NO. ZAPD22-0006 CONCEPTUAL LANDSCAPE AND SCREENING PLAN AMERICAN EAGLE HARLEY DAVIDSON & WHEELER YARD

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CL-1	TREE PRESERVATION PLAN
CL-2	CONCEPTUAL LANDSCAPE PLAN

02-15-2023

ISSUED FOR:
PRESENTATION

PROJECT:
**AMERICAN EAGLE
HARLEY DAVIDSON
& WHEELER YARD**
5920 N Interstate 35, Corinth, TX 76210

SOFARELLI & ASSOCIATES ARCHITECTURE
MICHAEL F. SOFARELLI JR. A.I.A.
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CLEARWATER, FLORIDA 33760 P. 727-530-3535
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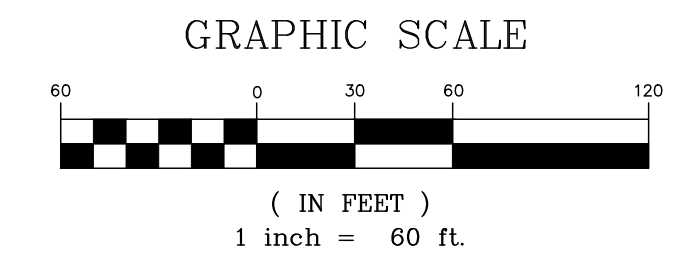
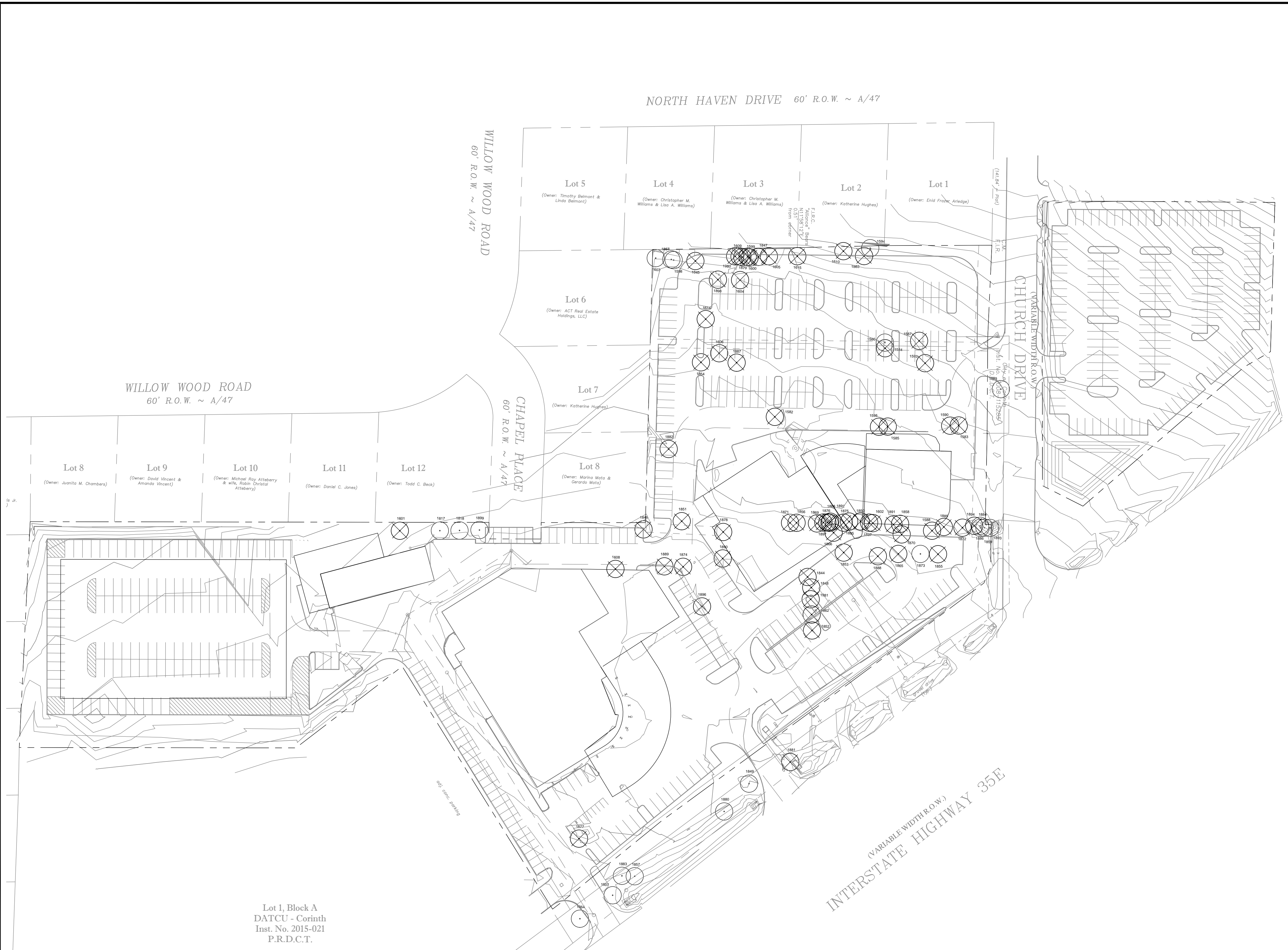
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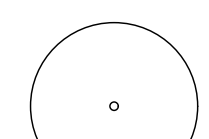
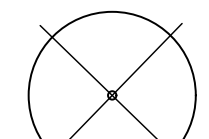
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02-15-2023

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18060

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CL-0



 EXISTING TREE TO REMAIN
 EXISTING TREE TO BE REMOVED

Lot 1, Block A
DATCU - Corinth
Inst. No. 2015-021
P.R.D.C.T.

BANNISTER
ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

CONTACT: DREW DUBOCQ, R.L.A.

PRELIMINARY
FOR REVIEW ONLY
These documents are for
Design Review and not
intended for
Construction, Bidding or
Permit Purposes. They
were prepared by, or
under the supervision of:
Drew J. Dubocq
L.A.#3141
01/27/2023

(VARIABLE WIDTH R.O.W.)
INTERSTATE HIGHWAY 35E

TREE PRESERVATION PLAN

**American Eagle
Harley Davidson**
5920 S INSTERSTATE 35 EAST
CITY OF CORINTH, DENTON COUNTY, TEXAS
DATE PREPARED: JANUARY 25, 2023

ISSUED FOR:
PRESENTATION



PROJECT:
**AMERICAN EAGLE
HARLEY DAVIDSON
& WHEELER YARD**
5920 N Interstate 35, Corinth, TX 76210

SAXA
SOFARELLI & ASSOCIATES ARCHITECTURE
A.I.A.
MICHAEL F. SOFARELLI JR.
6365 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3585
EMAIL: sofarell@verizon.net

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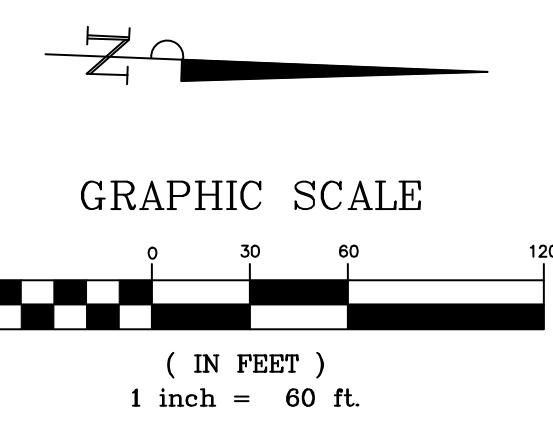
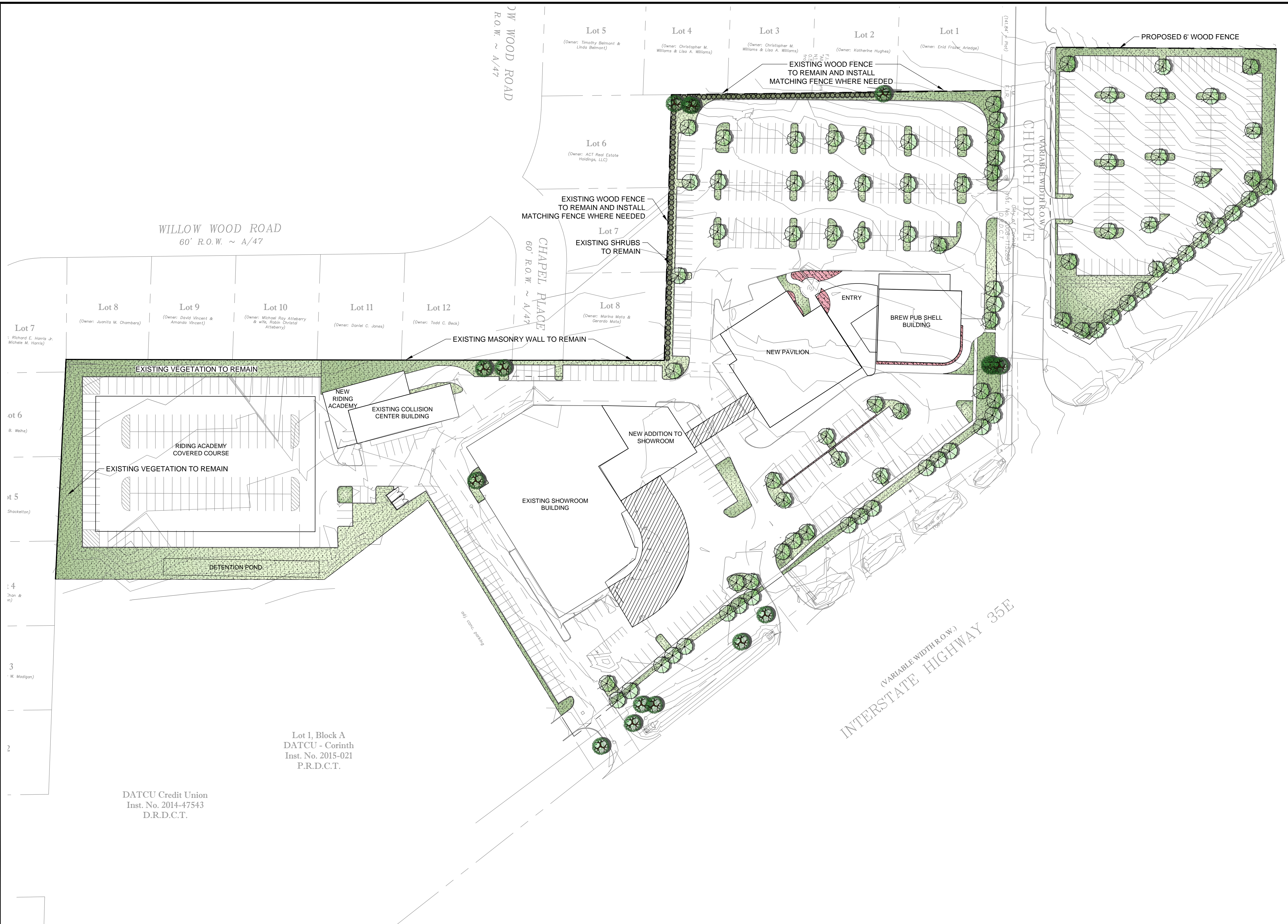
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CONCEPT PLANT SCHEDULE

	CANOPY TREE	90
	EXISTING TREE (PRESERVED)	17
	EXISTING EVERGREEN SHRUBS TO REMAIN	
	TURF AREA	
	XERISCAPE PLANTING BED RED YUCCA SOFTLEAF YUCCA MEXICAN FEATHER GRASS AUTUMN SAGE TEXAS SAGE	

LANDSCAPE CALCULATIONS

ROW Landscaping	Required	Provided
Landscape buffer width adjacent to Freeway	20'	8'
1 shade tree (3" cal.) per 30 linear feet (1,264 lf) - I35	43	43
1 shade tree (3" cal.) per 30 linear feet (370 lf) - Church Rd.	12	12

*Requesting exemption along highway frontage.

Vehicle Headlight Screening	Required	Provided
Continuous shrub row (5 gal.)	✓	✓

Interior Parking Lot Landscaping (444 spaces)	Required	Provided
10 square feet of landscaping per parking space	4,440	12,427
1 shade tree (3" cal.) per 10 parking spaces	45	45
All landscape areas protected by 6" curb	✓	✓

*Wheel stops shall be provided on spaces adjacent to narrow landscape perimeter buffer.

CONCEPTUAL LANDSCAPE AND SCREENING PLAN

American Eagle
Harley Davidson

5920 S INSTERSTATE 35 EAST
CITY OF CORINTH, DENTON COUNTY, TEXAS
DATE PREPARED: JANUARY 25, 2023

BANNISTER
ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

CONTACT: DREW DUBOCQ, R.L.A.

PRELIMINARY FOR REVIEW ONLY
These documents are for Design Review and not intended for Construction, Bidding or Permit Purposes. They were prepared by, or under the supervision of:
Drew J. Dubocq
L.A.#3141
02/15/2023

ISSUED FOR:
PRESENTATION



PROJECT:
AMERICAN EAGLE HARLEY DAVIDSON
HARLEY DAVIDSON
& WHEELER YARD
5920 N Interstate 35, Corinth, TX 76210

SOFARELLI & ASSOCIATES ARCHITECTURE
MICHAEL F. SOFARELLI JR., A.I.A.
6365 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3535
EMAIL: sofarell@sofarell.com

Revisions:

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02-15-2023

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CL-2



EXHIBIT "D"

CASE NO. ZAPD22-00006
PD CONCEPT PLAN
 AMERICAN EAGLE
 HARLEY DAVIDSON &
 WHEELER YARD

02-15-2023

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CP-1	PD CONCEPT PLAN

ISSUED FOR:
PRESENTATION



PROJECT:
**AMERICAN EAGLE
 HARLEY DAVIDSON
 & WHEELER YARD**
 5920 N Interstate 35, Corinth, TX 76210

SOFARELLI & ASSOCIATES ARCHITECTURE
 SOFARELLI & ASSOCIATES ARCHITECTURE
 MICHAEL F. SOFARELLI JR., A.I.A.
 6365 142nd AVENUE NORTH
 CLEARWATER, FLORIDA 33760 P. 727-530-3535
 EMAIL : sofarell@verizon.net

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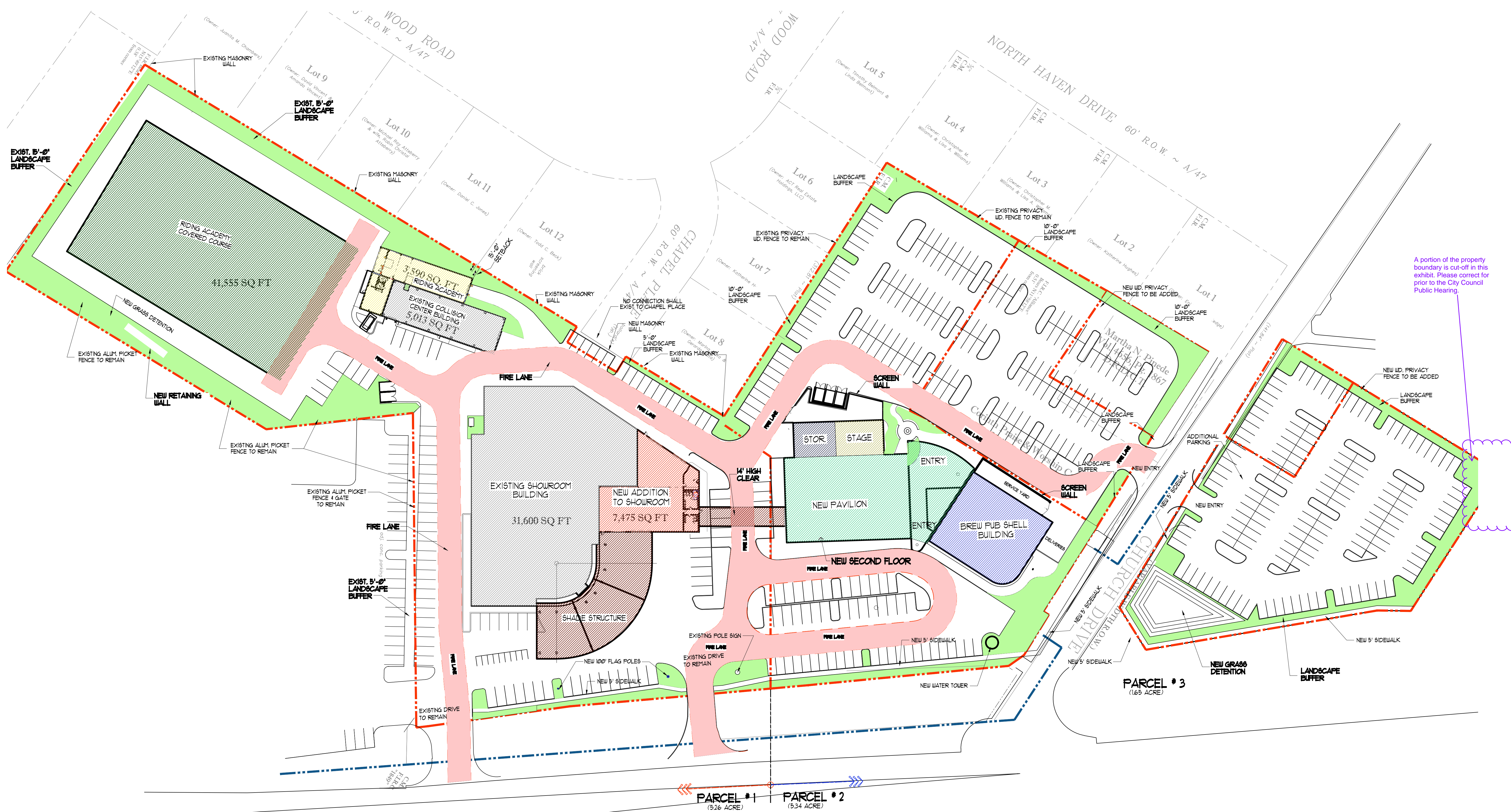
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A portion of the property boundary is cut-off in this exhibit. Please correct for prior to the City Council Public Hearing.

CURRENT PROPERTY LINE PROPOSED PROPERTY LINE		PROPOSED RESTAURANT PARKING (200 SEATS) (1 PARKING PER 3 SEATS) = 67 PARKING REQUIRED + 10 STAFF PARKING = 77 TOTAL. PROVIDED 77 PARKING SPACES	

CONCEPT PLAN
OVERALL SITE
SCALE : 1" = 50'-0"

PROPOSED RESTAURANT PARKING
 (200 SEATS) (1 PARKING PER 3 SEATS) = 67
 PARKING REQUIRED
 + 10 STAFF PARKING = 77 TOTAL.
 MEETING ROOM PARKING: (993 SEATS)
 (1 SPACE PER 3 SEATS) = 325 SPACES
 TOTAL PARKING: 402 SPACES

PARKING CALCULATIONS
 402 PARKING SPACES REQUIRED
 466 PARKING SPACES PROVIDED

ISSUED FOR:
PRESENTATION



PROJECT:
AMERICAN EAGLE HARLEY DAVIDSON HARLEY DAVIDSON & WHEELER YARD
 5920 N Interstate 35, Corinth, TX 76210

SAXA
 SOFARELLI & ASSOCIATES ARCHITECTURE A.I.A.
 MICHAEL F. SOFARELLI JR.
 6365 142nd AVENUE NORTH
 CLEARWATER, FLORIDA 33760 P. 727-530-8585
 EMAIL: sofarell@verizon.net

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EXHIBIT "E"

CASE NO. ZAPD22-0006
EXTERIOR ELEVATION
AMERICAN EAGLE
HARLEY DAVIDSON &
WHEELER YARD

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EL-1	WHEELER YARD ELEVATIONS
EL-2	RIDER'S ACADEMY ELEVATIONS
EL-3	MATERIAL & COLOR SAMPLES

02-15-2023

ISSUED FOR:
PRESENTATION

PROJECT:
AMERICAN EAGLE HARLEY DAVIDSON & WHEELER YARD
 5920 N Interstate 35, Corinth, TX 76210

SOFARELLI & ASSOCIATES ARCHITECTURE
 A.I.A.
 MICHAEL F. SOFARELLI JR.
 6365 142nd AVENUE NORTH
 CLEARWATER, FLORIDA 33760 P. 727-530-3535
 EMAIL : sofarell@verizon.net

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EAST ELEVATION

WHEELER YARD PAVILION

SCALE: NT6



NORTH ELEVATION

WHEELER YARD PAVILION

SCALE: 3/32"=1'-0"



SOUTH ELEVATION

WHEELER YARD PAVILION

SCALE: 3/32"=1'-0"



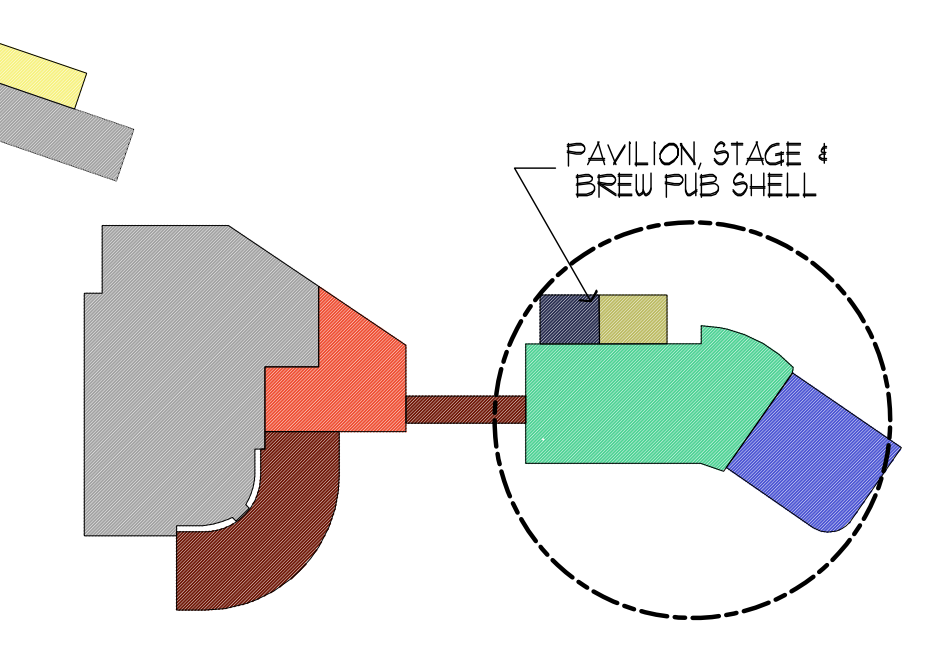
WEST ELEVATION

WHEELER YARD PAVILION

SCALE: 3/32"=1'-0"

EXTERIOR PAINT SELECTIONS

	PT-1 ACCENT PAINT: COLOR : SUT006 EXTRA WHITE MANUFACTURER: SHERWIN WILLIAMS LOCATION: -		PT-3 ACCENT PAINT: COLOR : SUG883 RAUCOUS ORANGE MANUFACTURER: SHERWIN WILLIAMS LOCATION: -		PT-2 ACCENT PAINT: COLOR : SUT016 CYBERSPACE GRAY MANUFACTURER: SHERWIN WILLIAMS LOCATION: -		PT-4 ACCENT PAINT: COLOR : SUT023 NETWORK GRAY MANUFACTURER: SHERWIN WILLIAMS LOCATION: -		PT-5 ACCENT PAINT: COLOR : SUG558 TRICORN BLACK MANUFACTURER: SHERWIN WILLIAMS LOCATION: -
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PROJECT:
AMERICAN EAGLE HARLEY DAVIDSON & WHEELER YARD
5920 N Interstate 35, Corinth, TX 76210

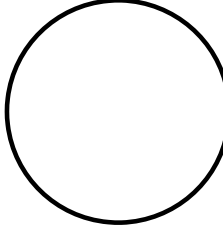
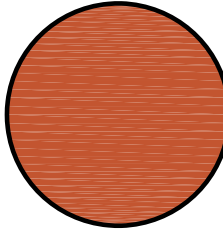
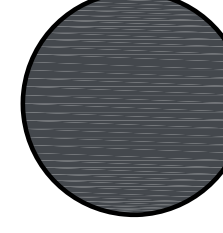
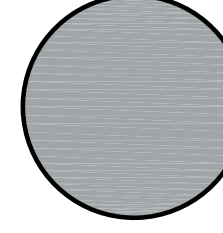
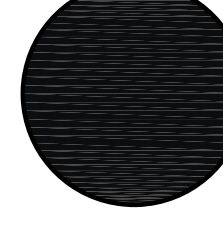
STAXA
SOFARELLI & ASSOCIATES ARCHITECTURE
MICHAEL F. SOFARELLI JR. A.I.A.
6365 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3585
EMAIL : sofarell@mvezitcom.net

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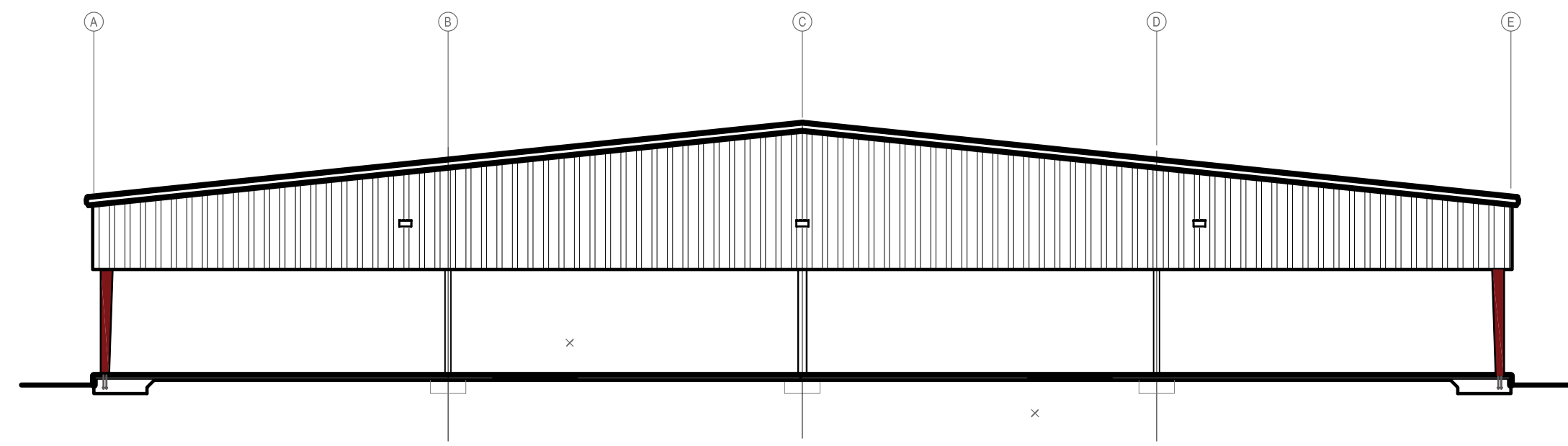
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**EXTERIOR
PAINT SELECTIONS**

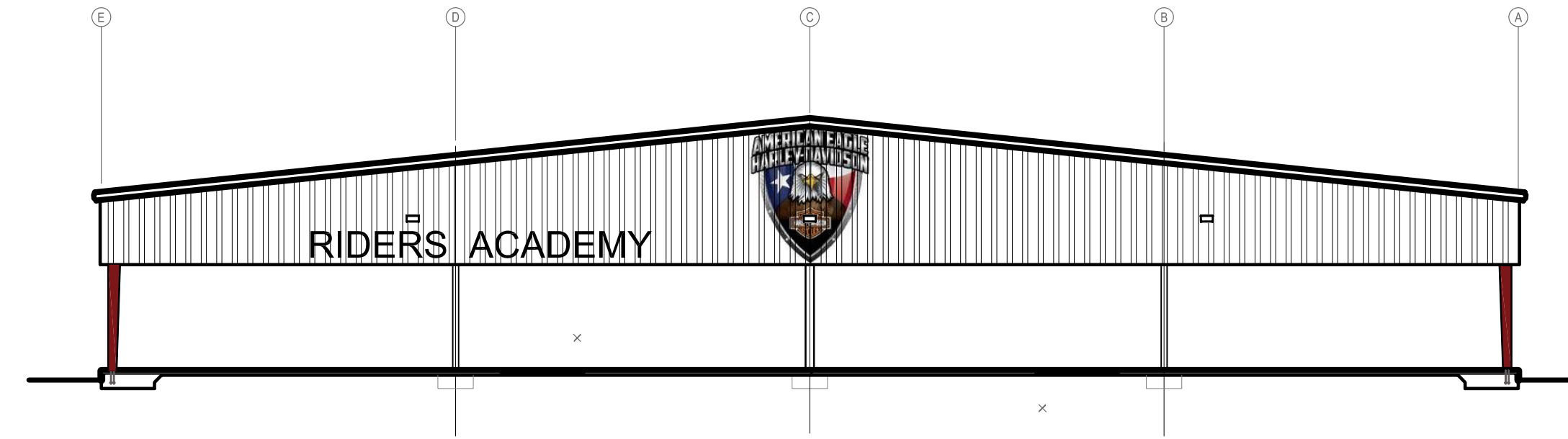
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PT-1
 ACCENT PAINT:
 COLOR :
 SW7006 EXTRA WHITE
 MANUFACTURER:
 SHERWIN WILLIAMS
 LOCATION: -
- 
PT-3
 ACCENT PAINT:
 COLOR :
 SW6883 RAUCOUS
 ORANGE
 MANUFACTURER:
 SHERWIN WILLIAMS
 LOCATION: -
- 
PT-2
 ACCENT PAINT:
 COLOR :
 SW7076 CYBERSPACE
 MANUFACTURER:
 SHERWIN WILLIAMS
 LOCATION: -
- 
PT-4
 ACCENT PAINT:
 COLOR :
 SW7073 NETWORK
 GRAY
 MANUFACTURER:
 SHERWIN WILLIAMS
 LOCATION: -
- 
PT-5
 ACCENT PAINT:
 COLOR :
 SW6258 TRICORN
 BLACK
 MANUFACTURER:
 SHERWIN WILLIAMS
 LOCATION: -

**EXTERIOR
FACADE MATERIALS**

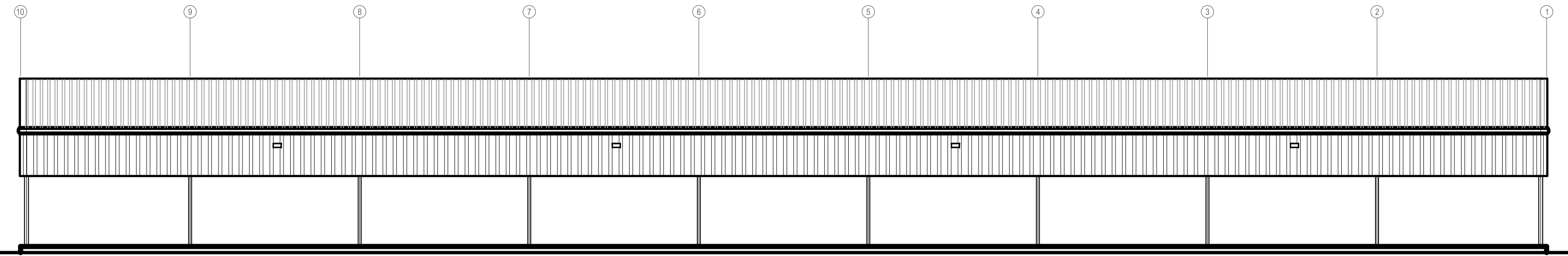
PRE-ENGINEERED METAL SIDING AREA : 1,408 SQ. FT. PERCENTAGE: 42%	OPEN AREA : 10,090 SQ. FT. PERCENTAGE: 58%
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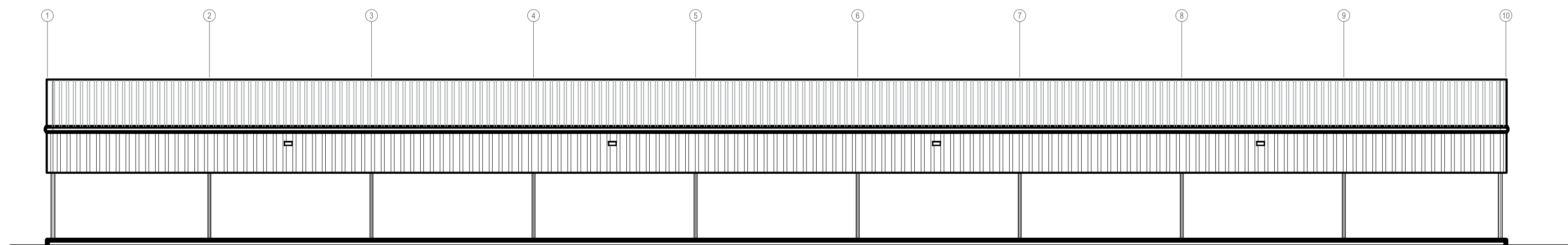
SOUTH ELEVATION (NEW)
 NEW RIDING ACADEMY
 COVERED COURSE
 SCALE: 1/16"=1'-0"



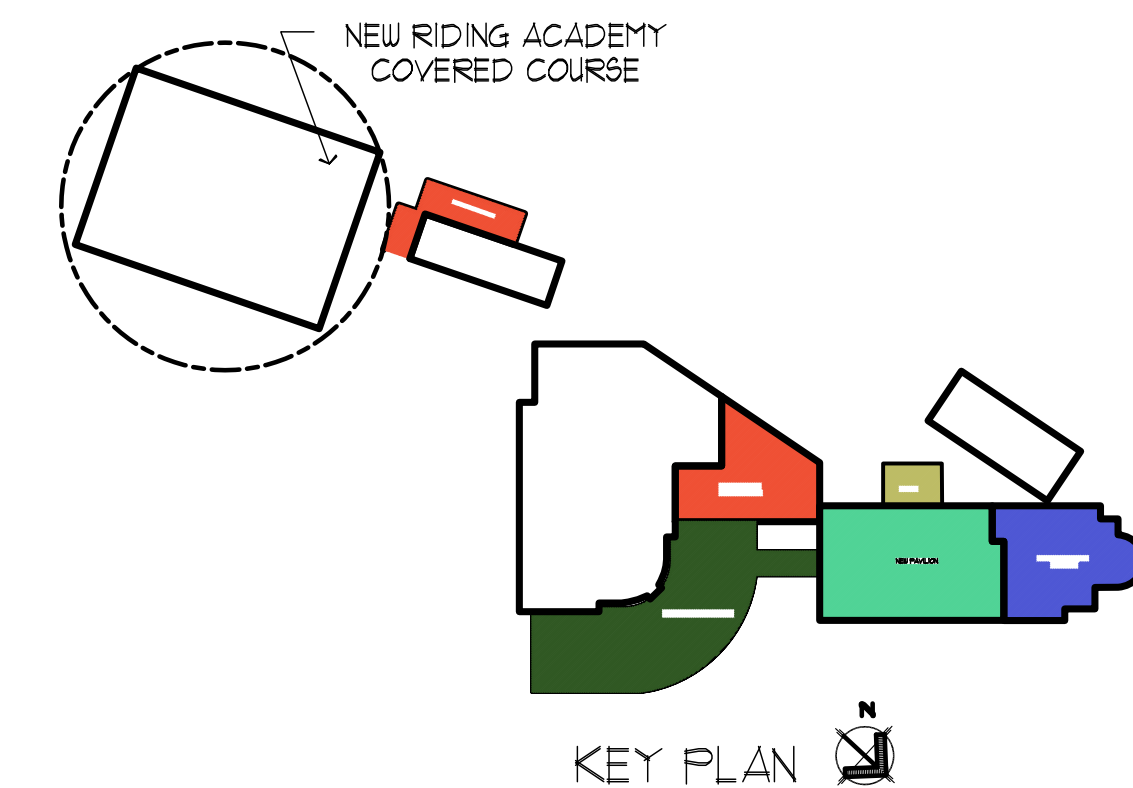
NORTH ELEVATION (NEW)
 NEW RIDING ACADEMY
 COVERED COURSE
 SCALE: 1/16"=1'-0"



EAST ELEVATION (NEW)
 NEW RIDING ACADEMY
 COVERED COURSE
 SCALE: 1/16"=1'-0"



WEST ELEVATION (NEW)
 NEW RIDING ACADEMY
 COVERED COURSE
 SCALE: 1/16"=1'-0"



ISSUED FOR:
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PROJECT:
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 HARLEY DAVIDSON
 & WHEELER YARD**
 5920 N Interstate 35, Corinth, TX 76210

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 SOFARELLI & ASSOCIATES ARCHITECTURE
 A.I.A.
 MICHAEL F. SOFARELLI JR.
 8385 142nd AVENUE NORTH
 CLEARWATER, FLORIDA 33760 P. 727-530-3585
 EMAIL : sofarell@verizon.net

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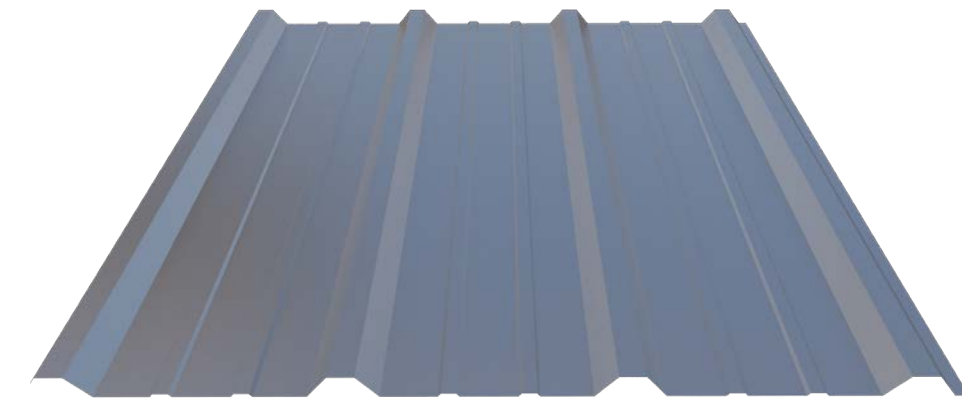
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EXAMPLE PROPOSED FACADE MATERIALS



STUCCO
- SHOWROOM



METAL WALL PANELS
- WHEELER YARD



METAL PATINA
- WHEELER YARD

EXAMPLE OF METAL WALL PANEL INSTALLATION



METAL WALL PANELS
-WHEELER YARD



METAL WALL PANELS
-WHEELER YARD



METAL WALL PANELS
-WHEELER YARD



PATINA METAL W/ METAL WALL PANEL
-WHEELER YARD

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**AMERICAN EAGLE
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5920 N Interstate 35, Corinth, TX 76210

SOFARELLI
SOFARELLI & ASSOCIATES ARCHITECTURE
A.I.A.
MICHAEL F. SOFARELLI JR.
8385 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3535
EMAIL : sofarell@verizon.net

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EXHIBIT "F"

CASE NO. ZAPD22-0006 ARCHITECTURAL RENDERINGS AMERICAN EAGLE HARLEY DAVIDSON & WHEELER YARD

02-15-2023

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AR-3	CANOPY, SERVICE ENTRY & SHOWROOM
AR-4	SERVICE CENTER & WHEELER YARD
AR-5	COVERED WALKWAY & WHEELER YARD
AR-6	CANOPY, SERVICE ENTRY & PAVILION
AR-7	PAVILION AND RESTAURANT
AR-8	WHEELER YARD NORTH
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AR-12	WHEELER YARD RESTROOMS
AR-13	WHEELER YARD FIRE PIT
AR-14	WHEELER YARD SOUTH
AR-15	RIDERS ACADEMY WEST

ISSUED FOR:
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**AMERICAN EAGLE
HARLEY DAVIDSON
& WHEELER YARD**
5920 N Interstate 35, Corinth, TX 76210

SOFARELLI & ASSOCIATES ARCHITECTURE
MICHAEL F. SOFARELLI JR. A.I.A.
6365 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3535
EMAIL: sofarell@verizon.net

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& WHEELER YARD**
5920 N Interstate 35, Corinth, TX 76210

SOFARELLI & ASSOCIATES ARCHITECTURE
MICHAEL F. SOFARELLI JR., A.I.A.
8385 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3535
EMAIL: sofarelli@verizon.net

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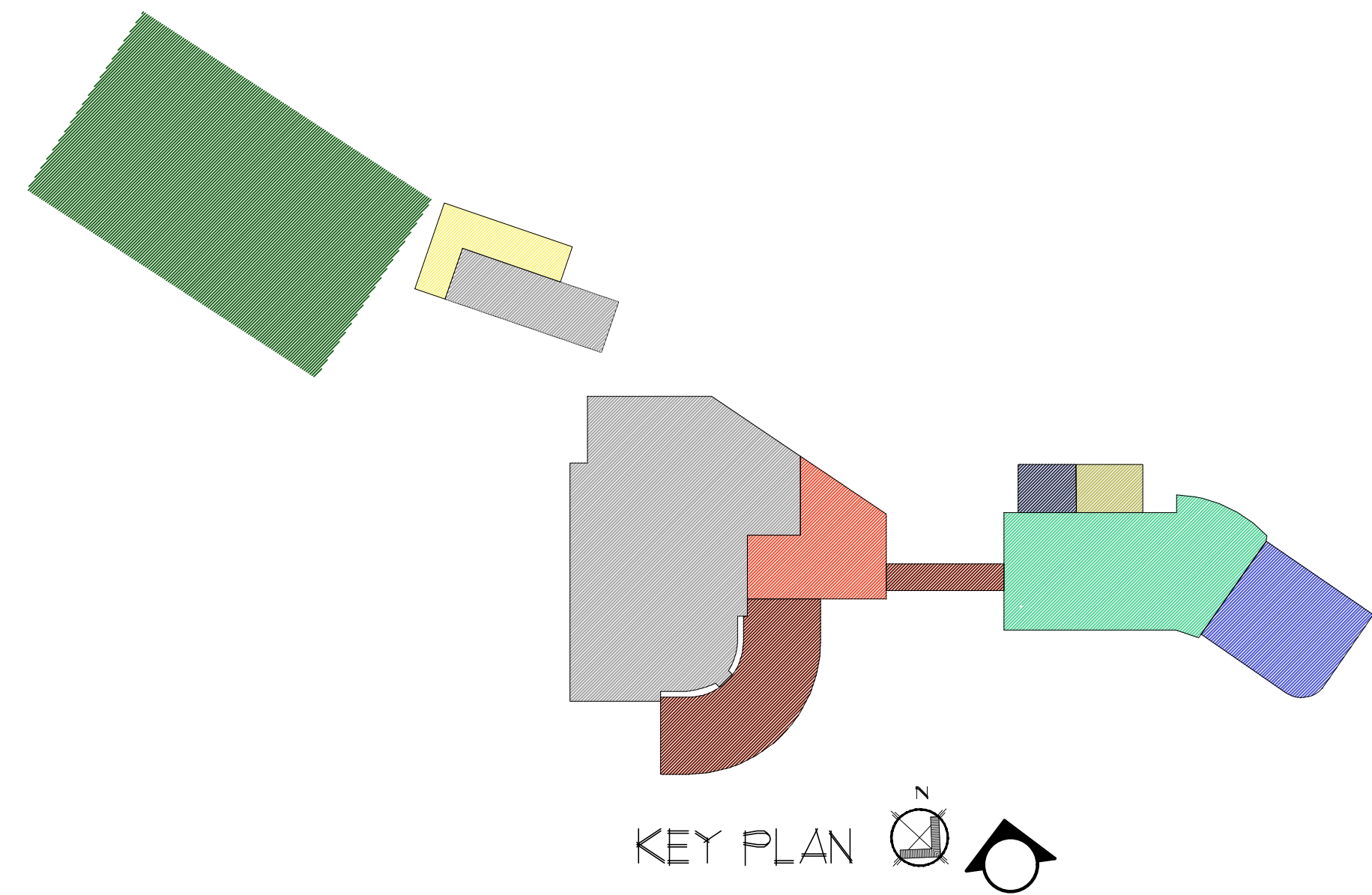
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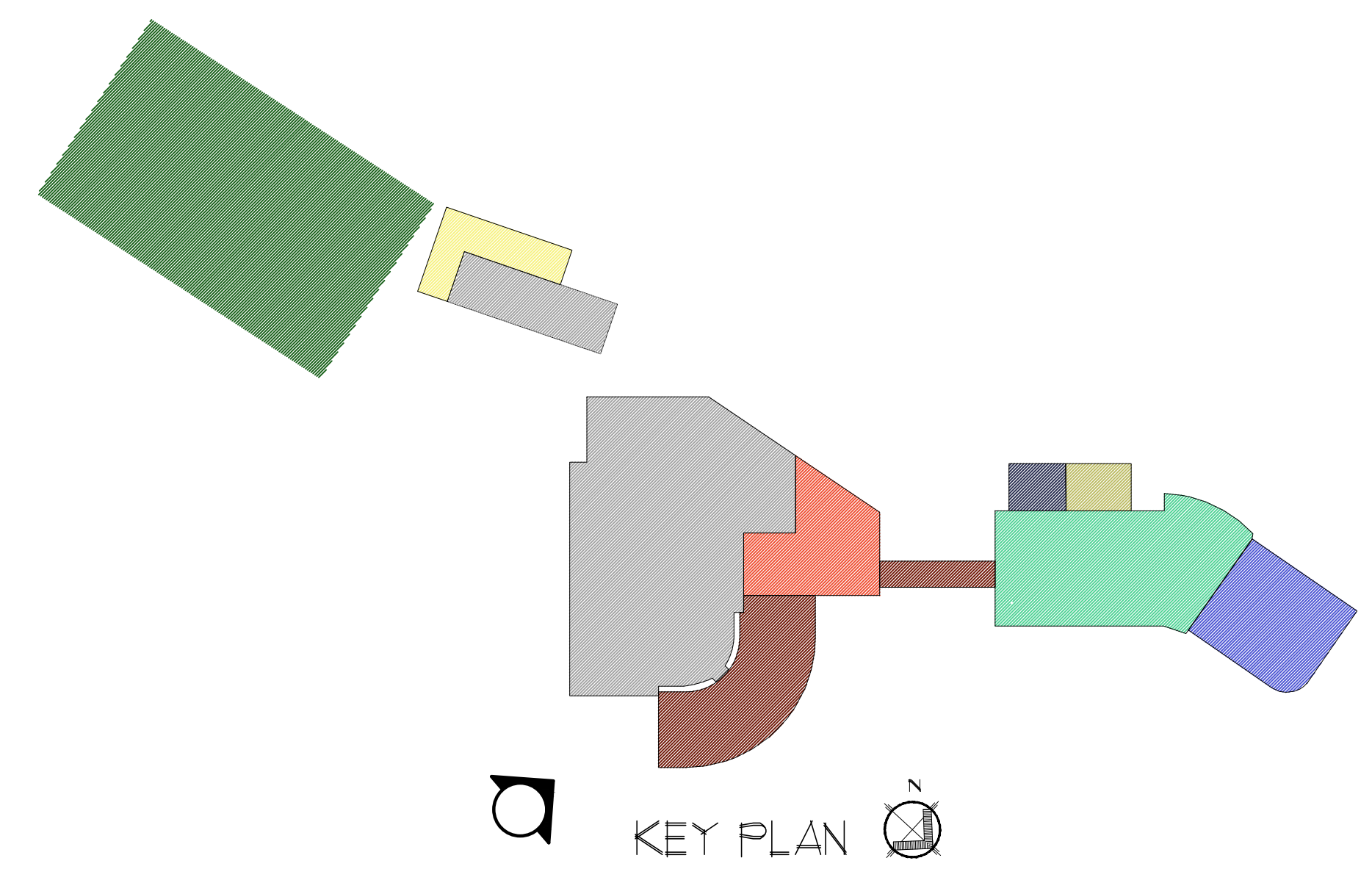
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STREET VIEW OF ENTIRE CAMPUS

AMERICAN EAGLE AND WHEELER YARD



VIEW OF CANOPY, SHOWROOM, COLLISION CENTER, AND COVERED RIDERS ACADEMY

AMERICAN EAGLE

ISSUED FOR:
PRESENTATION



PROJECT:
**AMERICAN EAGLE
HARLEY DAVIDSON
& WHEELER YARD**
5920 N Interstate 35, Corinth, TX 76210

SOFARELLI & ASSOCIATES ARCHITECTURE
SOFARELLI & ASSOCIATES ARCHITECTURE
MICHAEL F. SOFARELLI JR., A.I.A.
8385 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3535
EMAIL : sofarelli@verizon.net

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HARLEY DAVIDSON
& WHEELER YARD**
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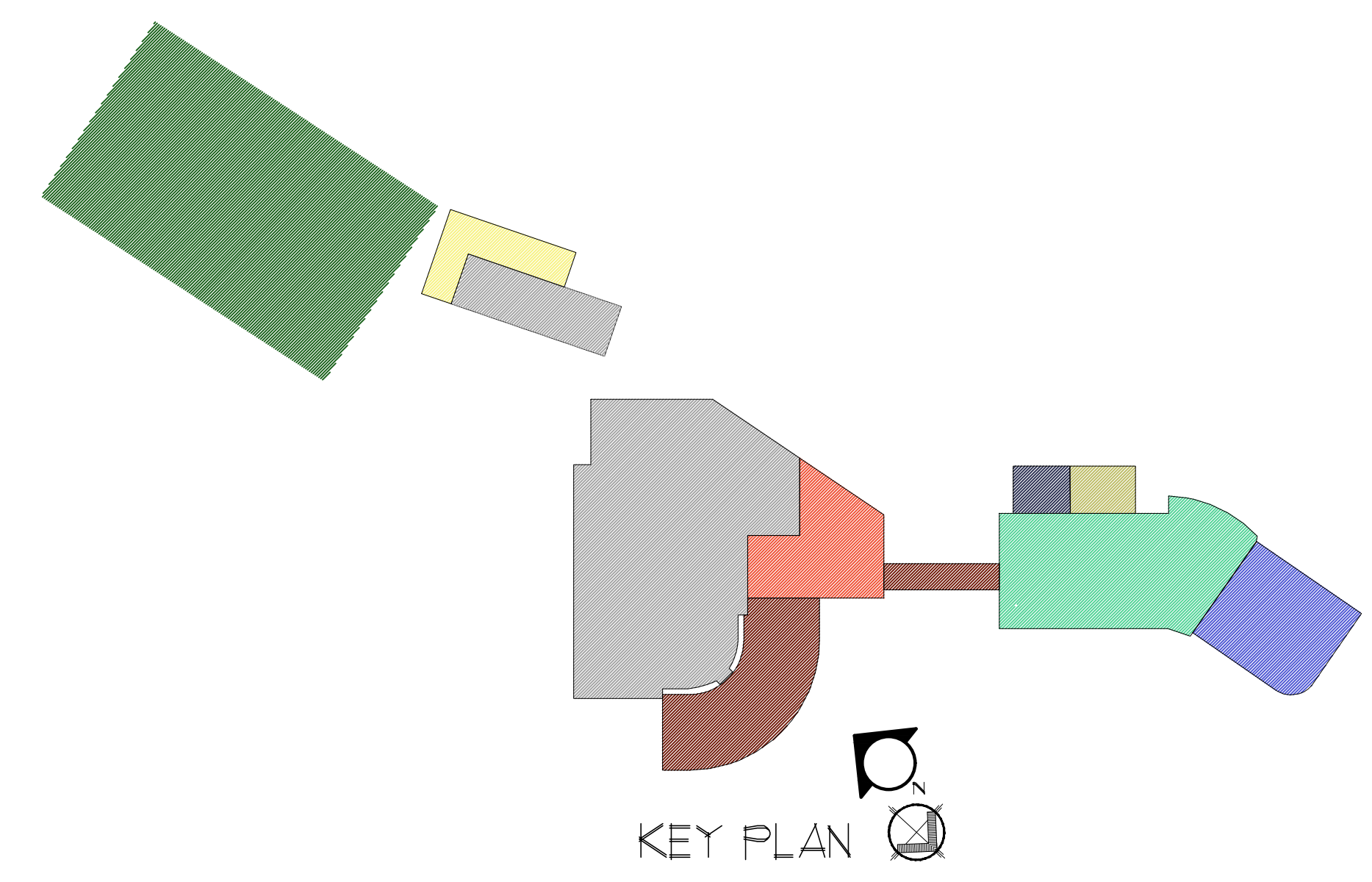
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MICHAEL F. SOFARELLI JR. A.I.A.
6365 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3585
EMAIL: sofarell@verizon.net

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VIEW OF CANOPY, SERVICE ENTRY AND SHOWROOM
AMERICAN EAGLE

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PRESENTATION



PROJECT:
**AMERICAN EAGLE
HARLEY DAVIDSON
& WHEELER YARD**
5920 N Interstate 35, Corinth, TX 76210

SOFARELLI & ASSOCIATES ARCHITECTURE
MICHAEL F. SOFARELLI JR., A.I.A.
8365 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3585
EMAIL: sofarell@verizon.net

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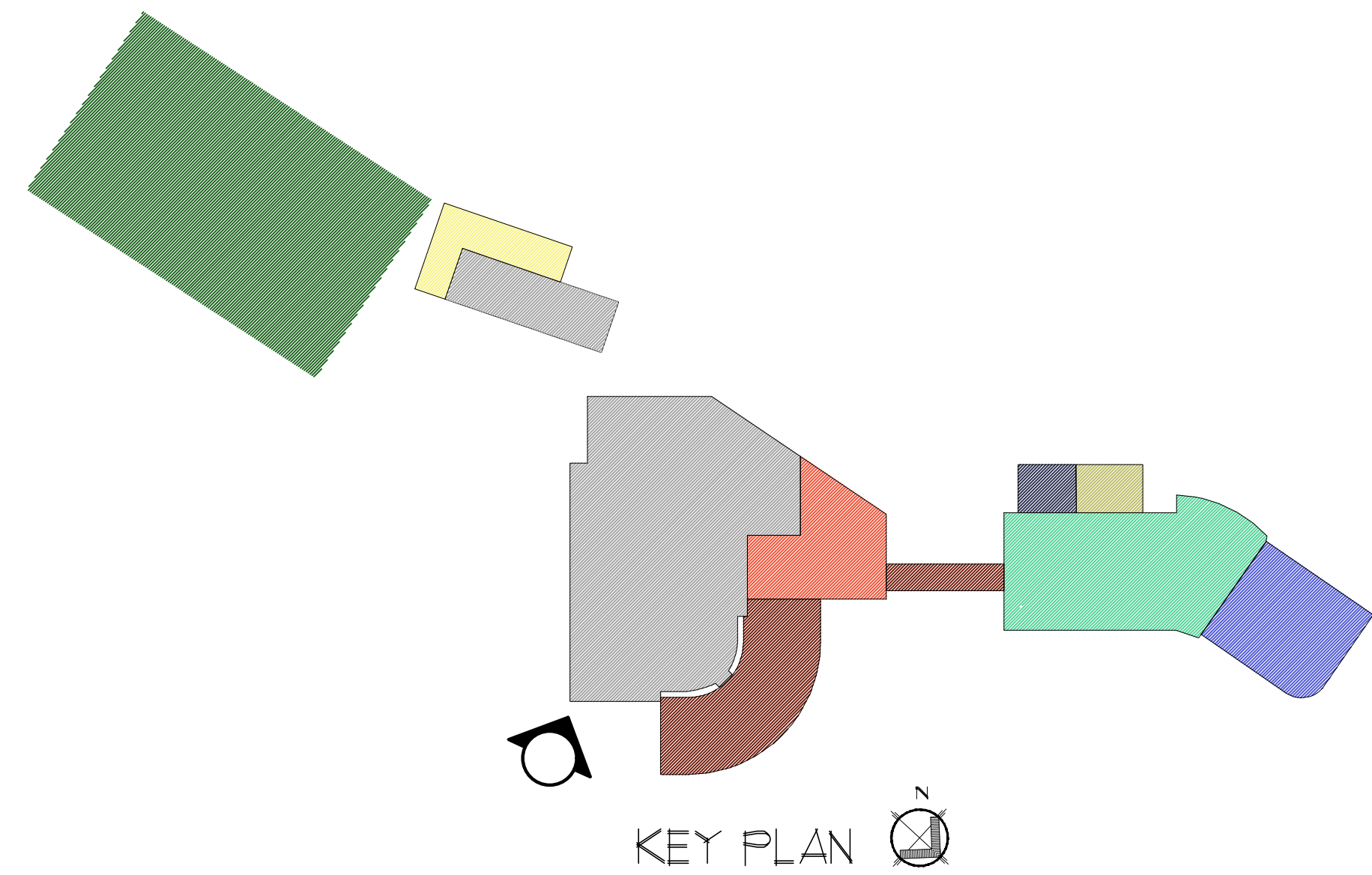
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VIEW OF SERVICE CENTER, COVERED WALKWAY, AND WHEELER YARD

AMERICAN EAGLE

ISSUED FOR:
PRESENTATION



PROJECT:
**AMERICAN EAGLE
HARLEY DAVIDSON
& WHEELER YARD**
5920 N Interstate 35, Corinth, TX 76210

SOFARELLI & ASSOCIATES ARCHITECTURE
A.I.A.
MICHAEL F. SOFARELLI JR.
8365 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3585
EMAIL : sofarell@verizon.net

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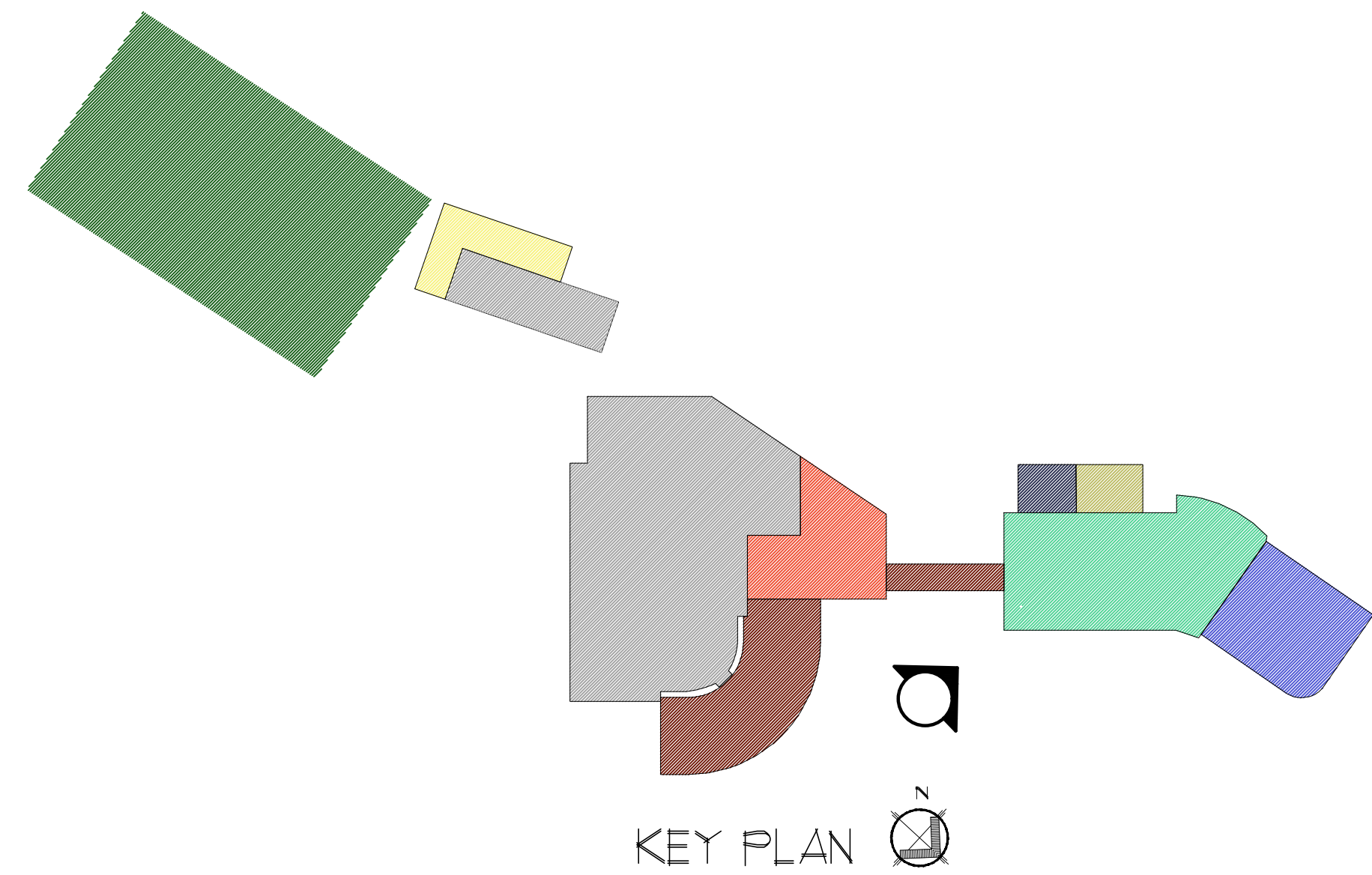
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VIEW OF COVERED WALKWAY AND WHEELER YARD

AMERICAN EAGLE

ISSUED FOR:
PRESENTATION



PROJECT:
**AMERICAN EAGLE
HARLEY DAVIDSON
& WHEELER YARD**
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SAXA
SOFARELLI & ASSOCIATES ARCHITECTURE
A.I.A.
MICHAEL F. SOFARELLI JR.
6365 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3535
EMAIL : sofarell@verizon.net

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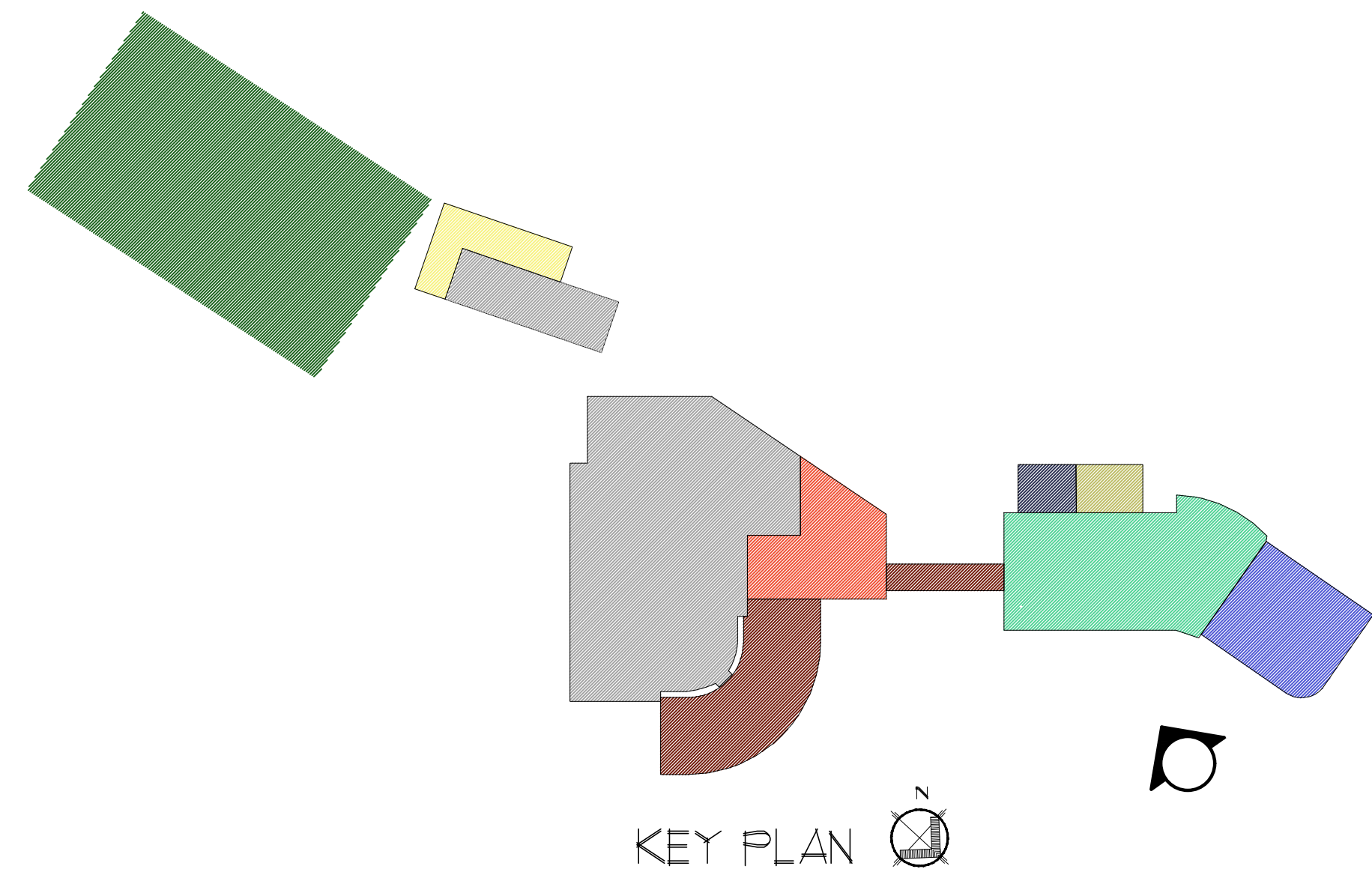
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VIEW OF CANOPY, SERVICE CENTER AND WHEELER YARD

AMERICAN EAGLE AND WHEELER YARD

ISSUED FOR:
PRESENTATION



PROJECT:
**AMERICAN EAGLE
HARLEY DAVIDSON
& WHEELER YARD**
5920 N Interstate 35, Corinth, TX 76210

SOFARELLI & ASSOCIATES ARCHITECTURE
MICHAEL F. SOFARELLI JR., A.I.A.
8365 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3535
EMAIL: sofarell@verizon.net

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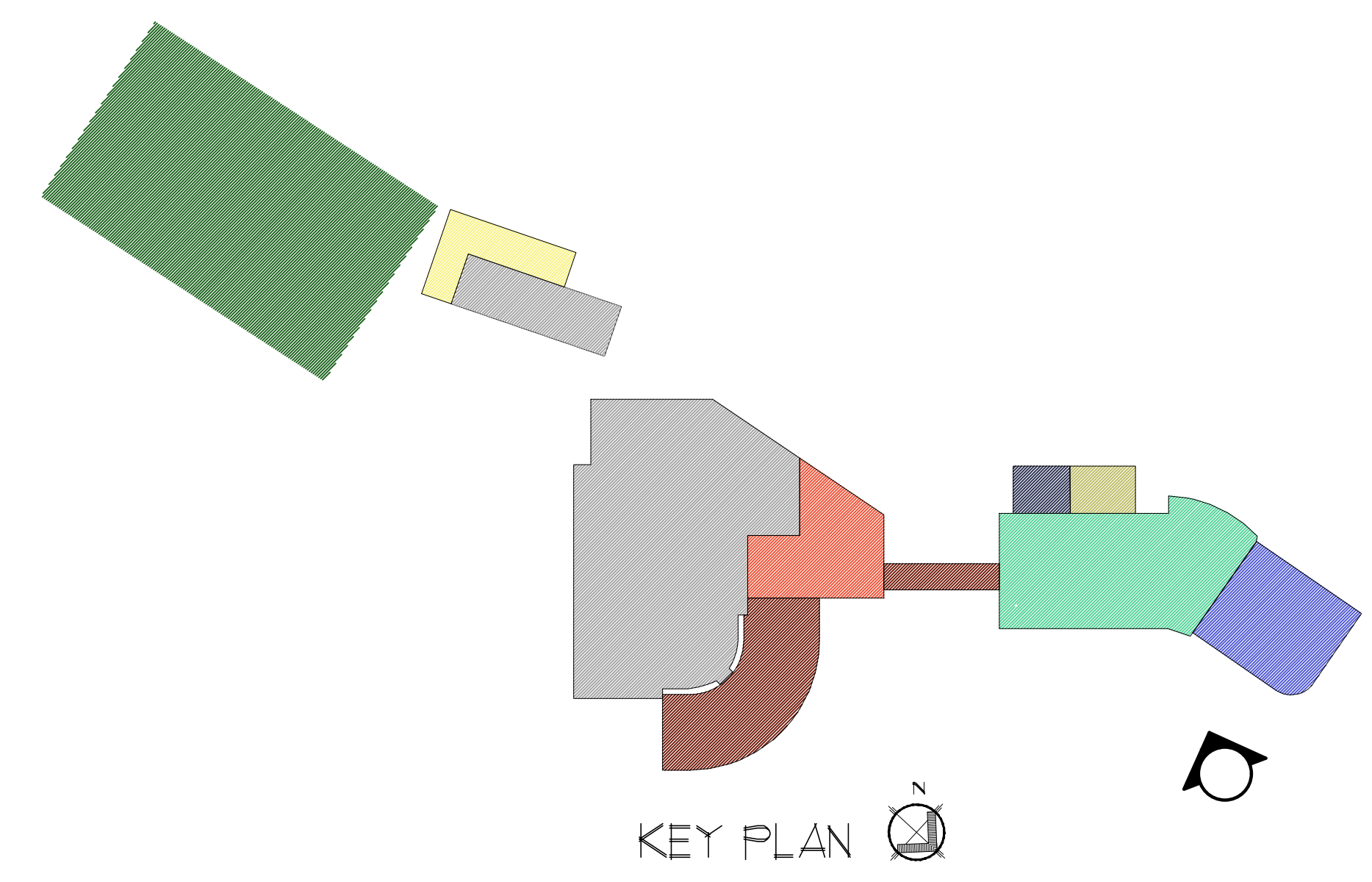
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VIEW OF WHEELER YARD
AMERICAN EAGLE AND WHEELER YARD

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PROJECT:
**AMERICAN EAGLE
HARLEY DAVIDSON
& WHEELER YARD**
5920 N Interstate 35, Corinth, TX 76210

SOFARELLI & ASSOCIATES ARCHITECTURE
MICHAEL F. SOFARELLI JR., A.I.A.
8385 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3535
EMAIL: sofarelli@verizon.net

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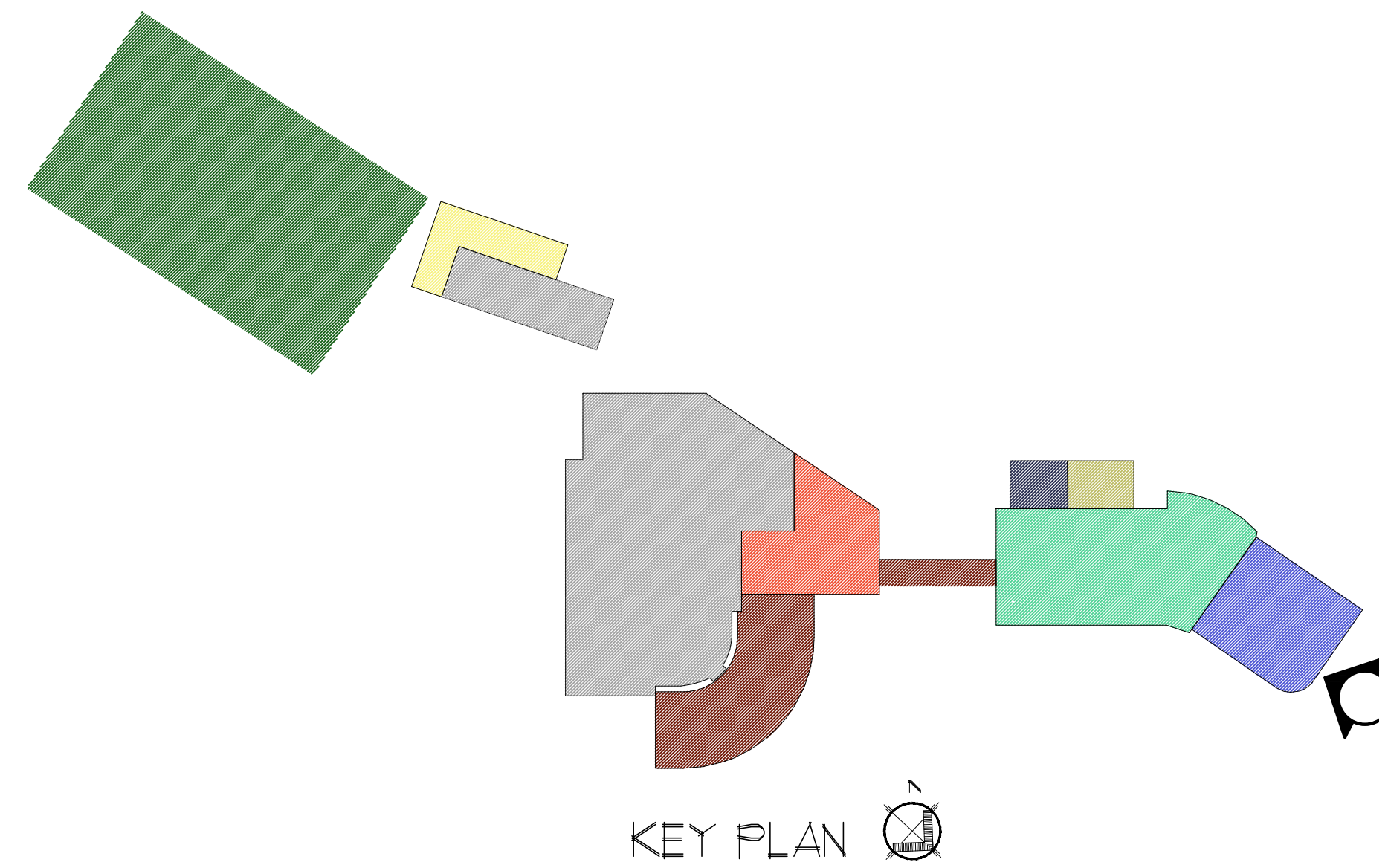
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VIEW OF WHEELER YARD

WHEELER YARD

ISSUED FOR:
PRESENTATION



PROJECT:
**AMERICAN EAGLE
HARLEY DAVIDSON
& WHEELER YARD**
5920 N Interstate 35, Corinth, TX 76210

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MICHAEL F. SOFARELLI JR., A.I.A.
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CLEARWATER, FLORIDA 33760 P. 727-530-3585
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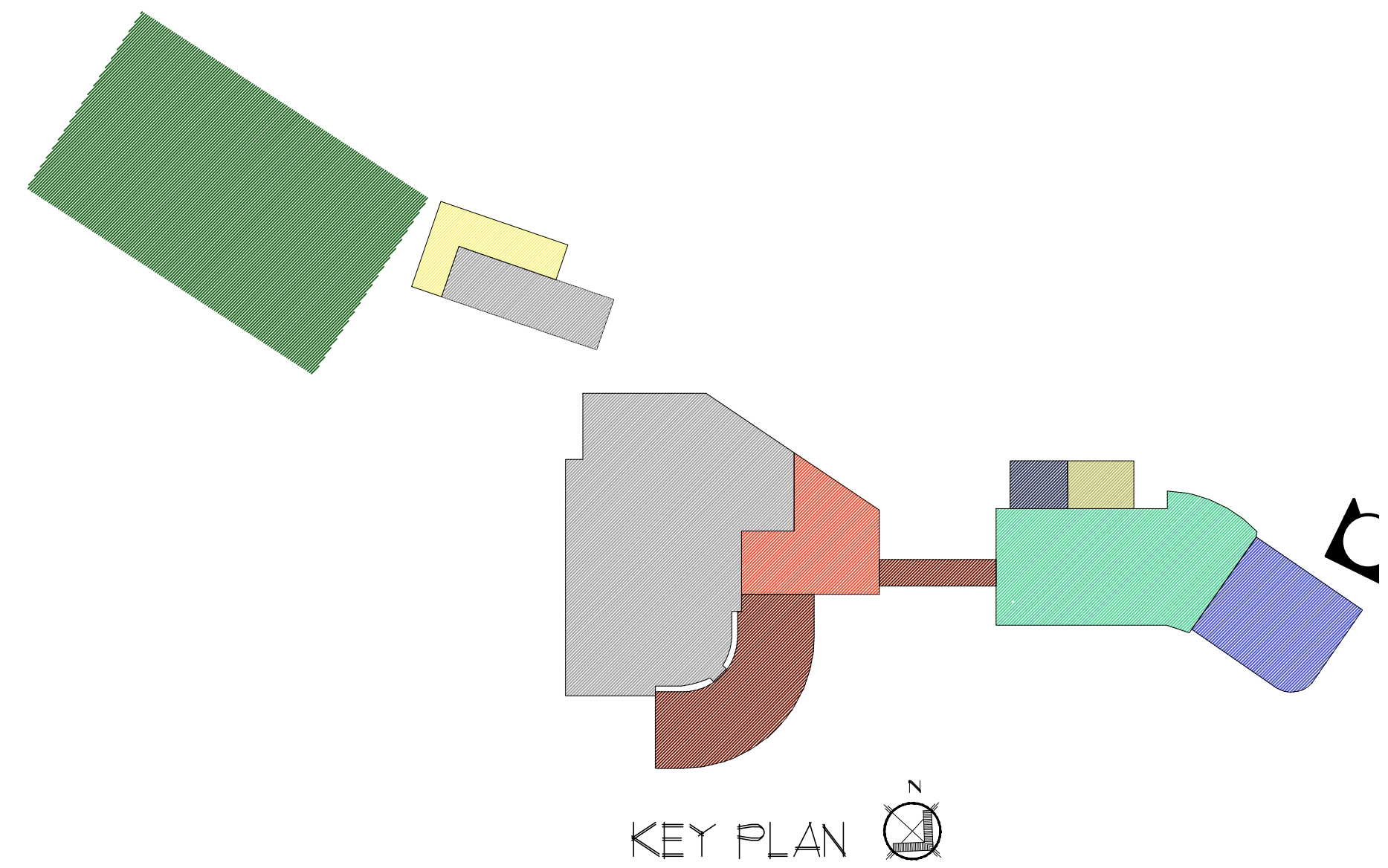
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VIEW OF WHEELER YARD
WHEELER YARD

ISSUED FOR:
PRESENTATION



PROJECT:
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HARLEY DAVIDSON
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MICHAEL F. SOFARELLI JR., A.I.A.
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CLEARWATER, FLORIDA 33760 P. 727-530-3535
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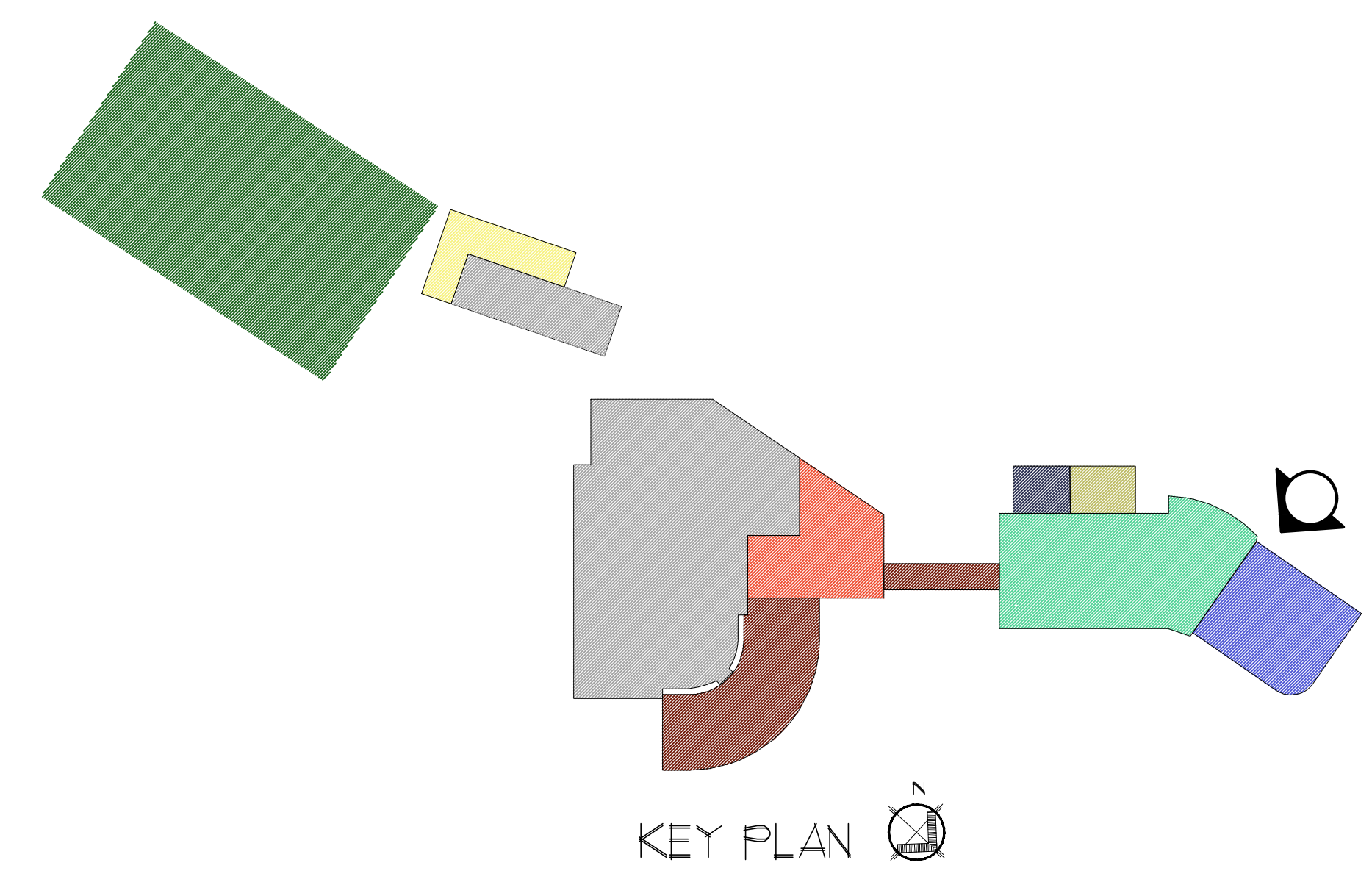
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VIEW OF WHEELER YARD
WHEELER YARD

ISSUED FOR:
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HARLEY DAVIDSON
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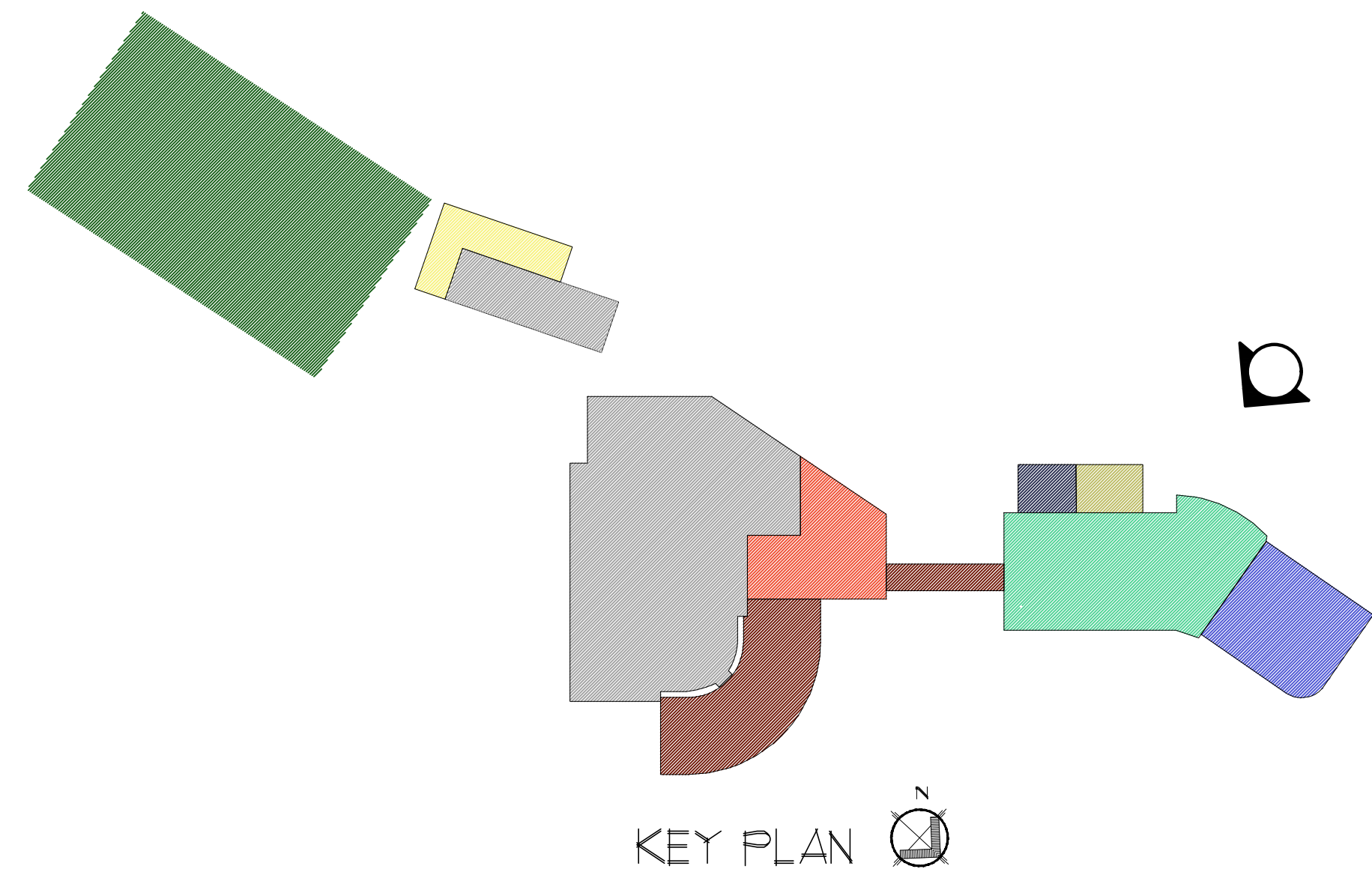
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VIEW OF WHEELER YARD

WHEELER YARD



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PROJECT:
**AMERICAN EAGLE
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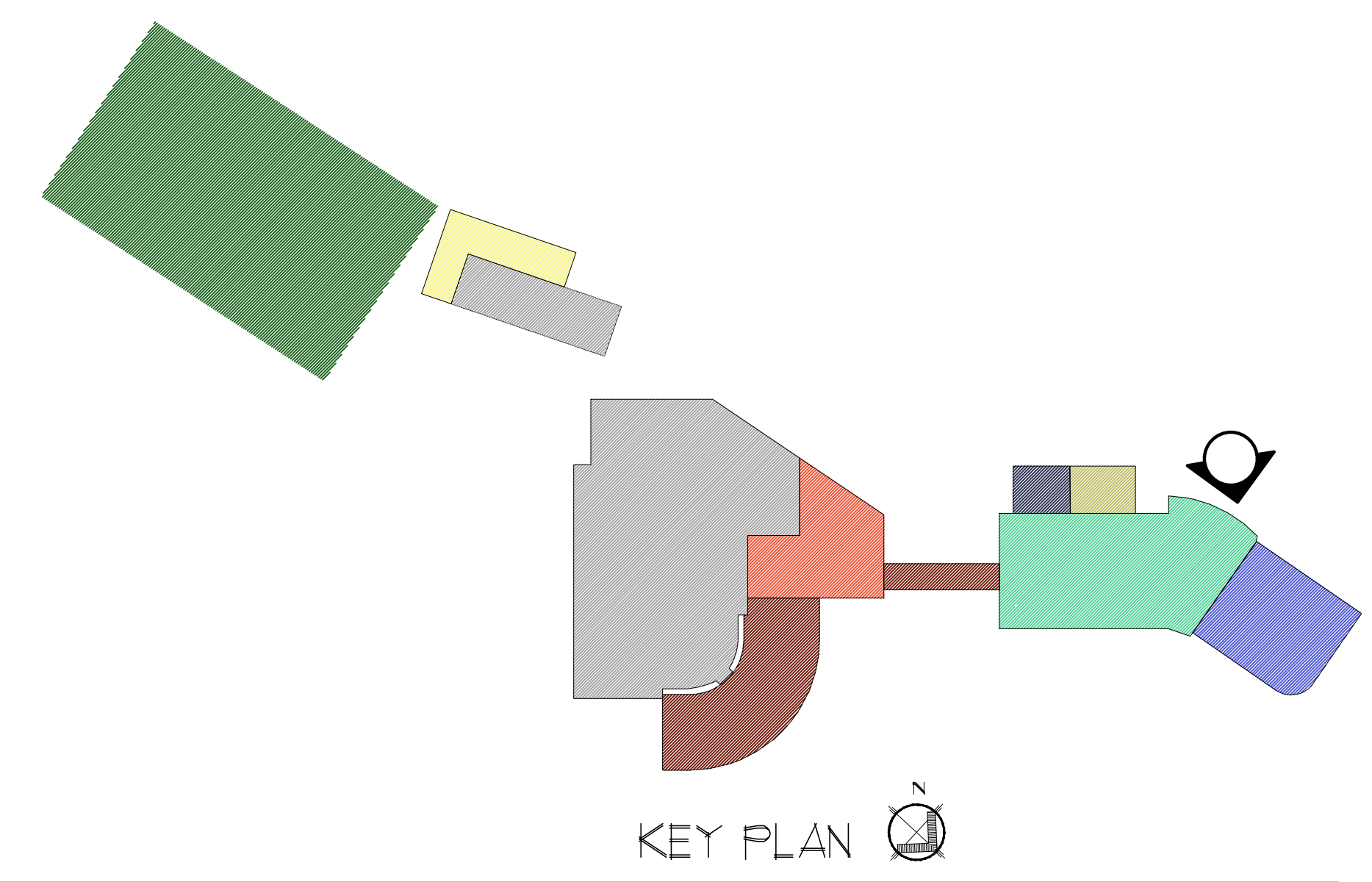
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CLEARWATER, FLORIDA 33760 P. 727-530-3535
EMAIL: sofarell@verizon.net

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VIEW OF WHEELER YARD
WHEELER YARD

ISSUED FOR:
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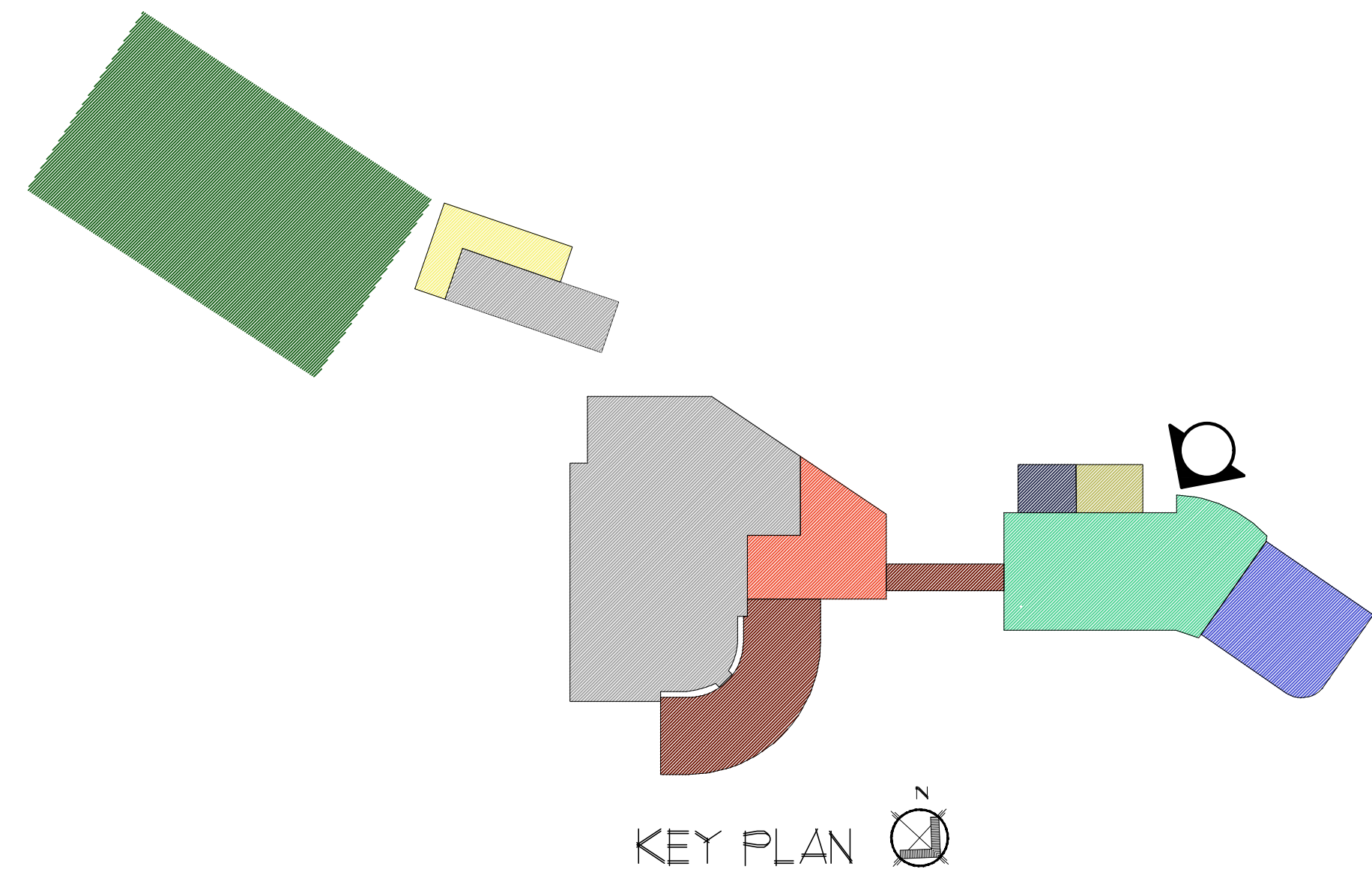
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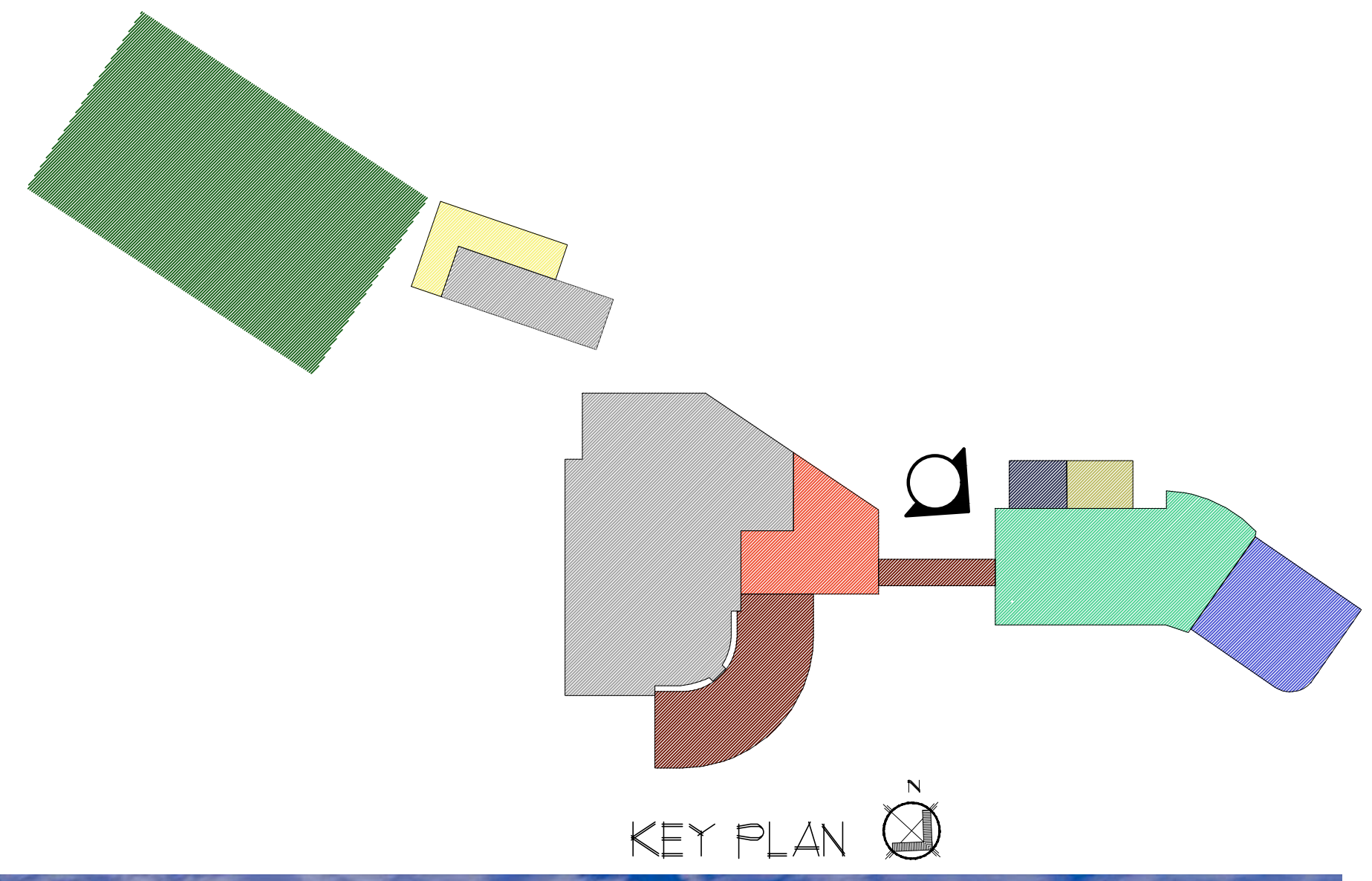
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VIEW OF WHEELER YARD

WHEELER YARD



VIEW OF WHEELER YARD
WHEELER YARD

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PRESENTATION



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& WHEELER YARD**
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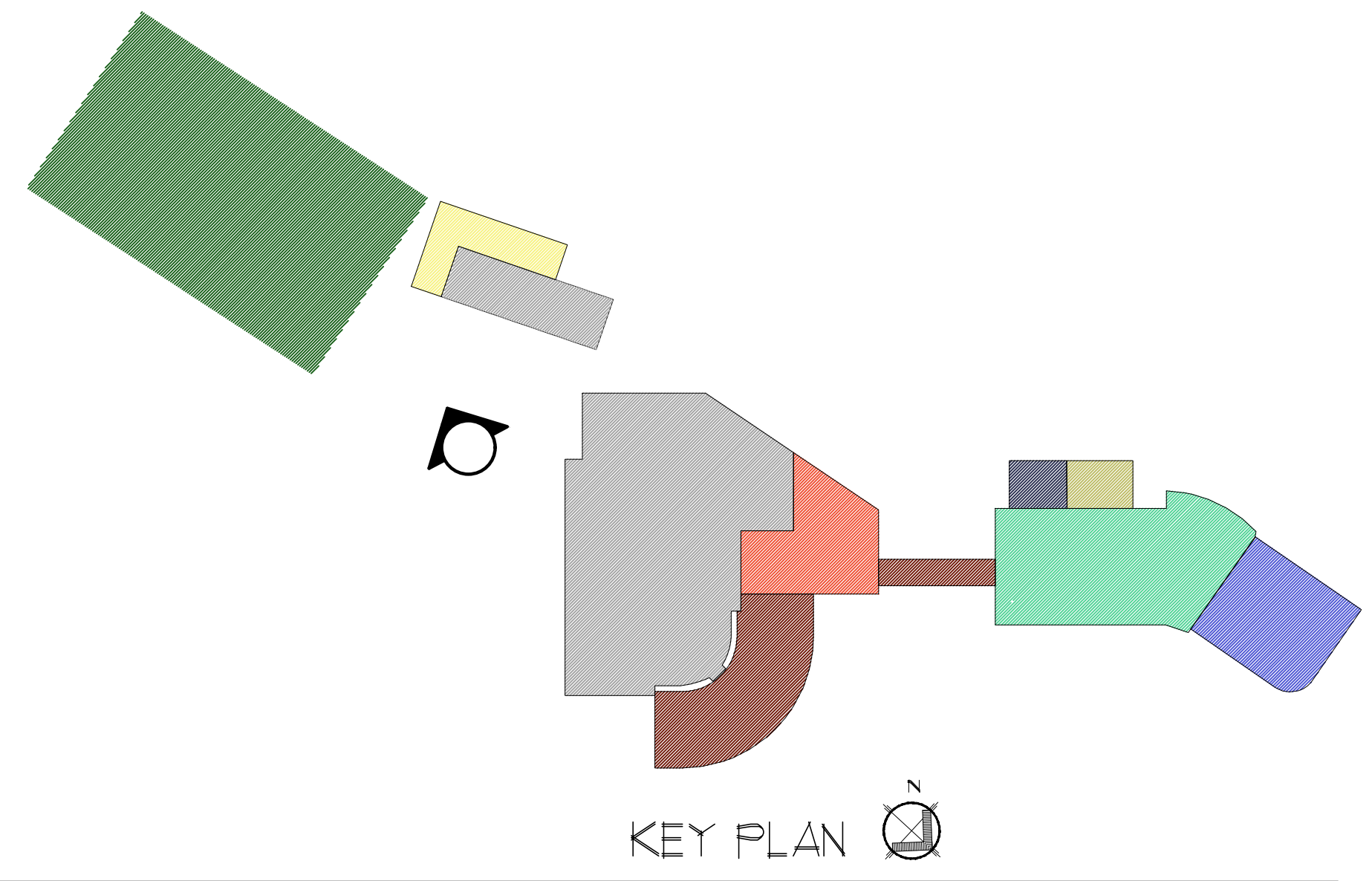
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MICHAEL F. SOFARELLI JR. A.I.A.
8365 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3585
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VIEW OF RIDER'S ACADEMY AND COLLISION CENTER

AMERICAN EAGLE

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**AMERICAN EAGLE
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SOFARELLI & ASSOCIATES ARCHITECTURE
MICHAEL F. SOFARELLI JR. A.I.A.
8365 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3585
EMAIL : sofarell@verizon.net

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EXHIBIT "G"

CASE NO. ZAPD22-0006 UNIFIED SIGN PLAN AMERICAN EAGLE HARLEY DAVIDSON & WHEELER YARD

02-15-2023

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SIGN-2	WHEELER YARD
SIGN-3	WHEELER YARD & RIDERS ACADEMY

ISSUED FOR:
PRESENTATION

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**AMERICAN EAGLE
HARLEY DAVIDSON
& WHEELER YARD**
5920 N Interstate 35, Corinth, TX 76210

SOFARELLI & ASSOCIATES ARCHITECTURE
MICHAEL F. SOFARELLI JR. A.I.A.
6365 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760 P. 727-530-3535
EMAIL : sofarell@verizon.net

Revisions:

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EAGLE HD

Date:
02-15-2023

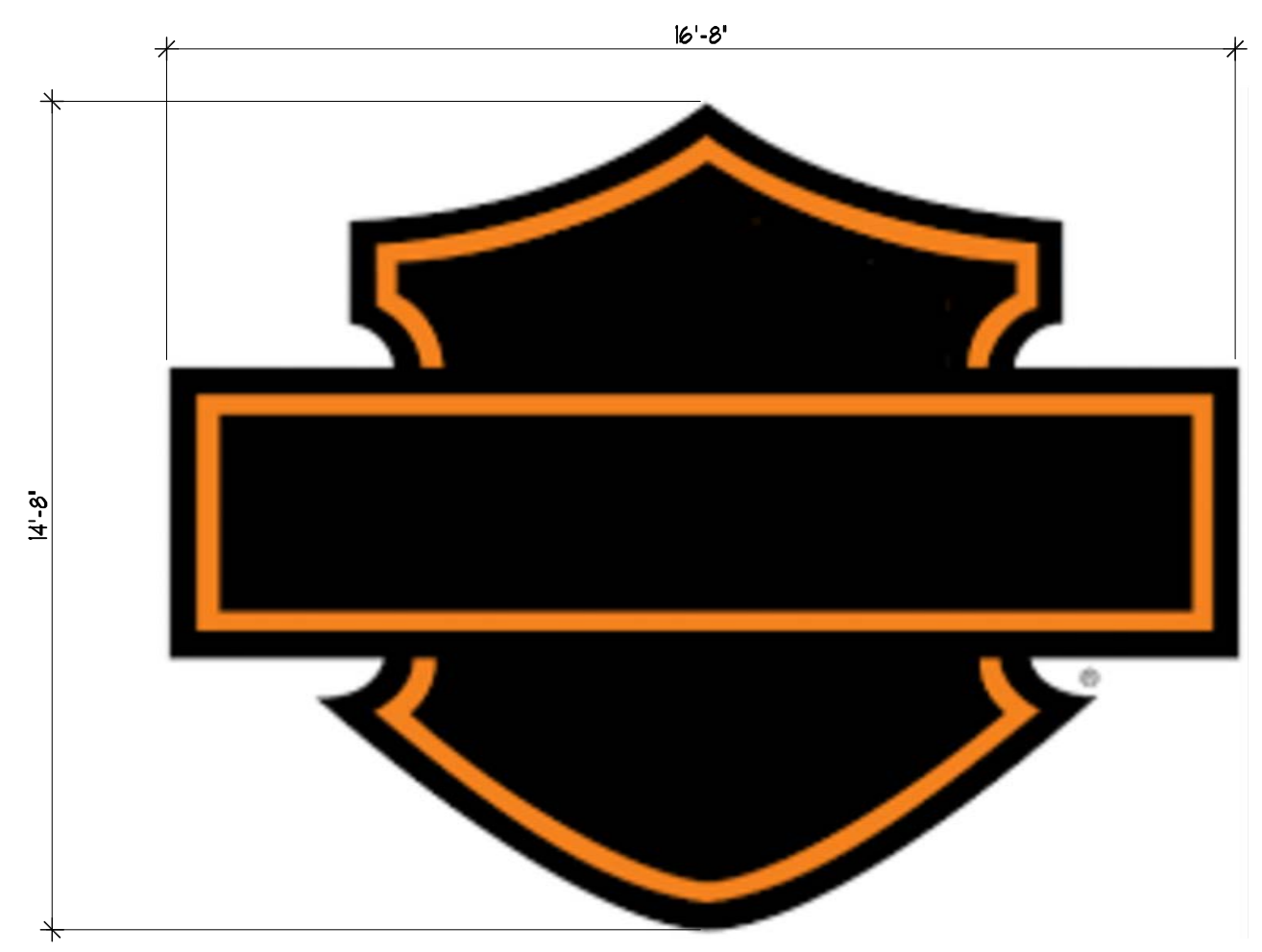
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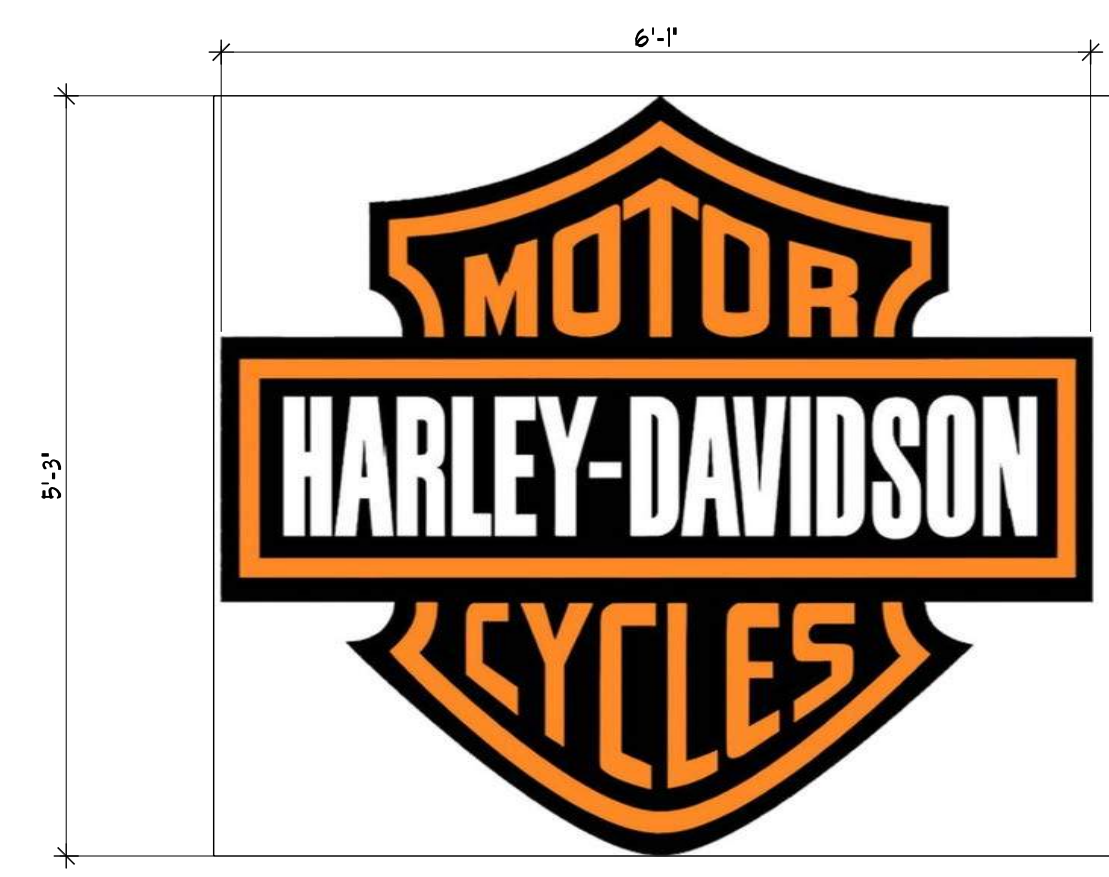
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CLASSIFICATION: LOGO



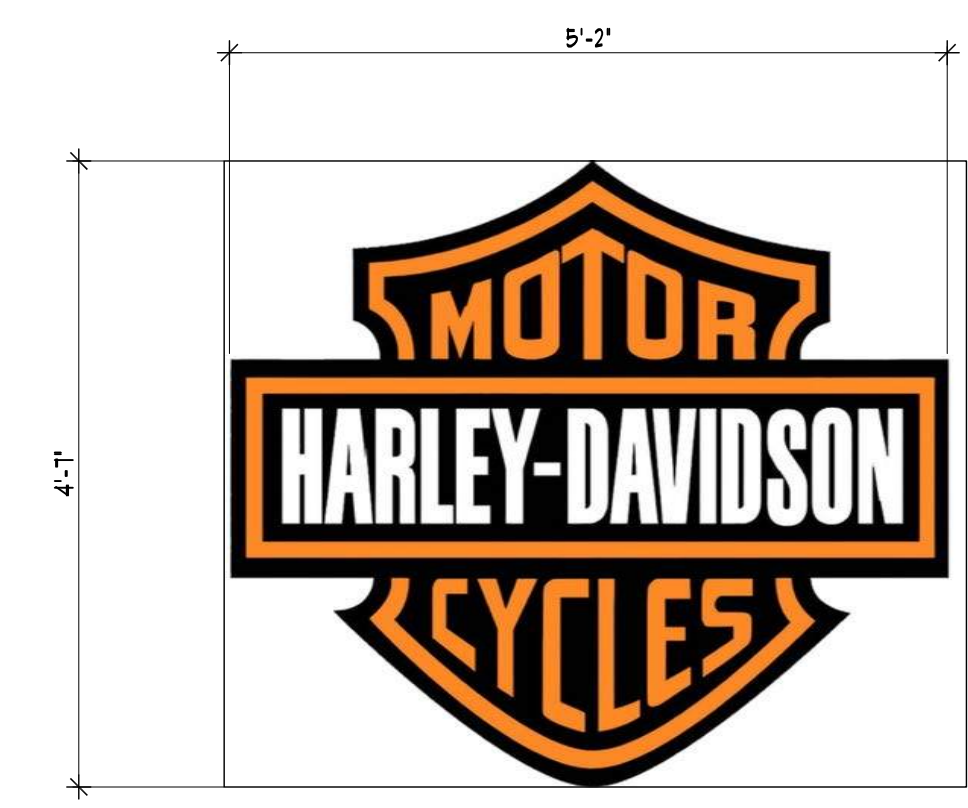
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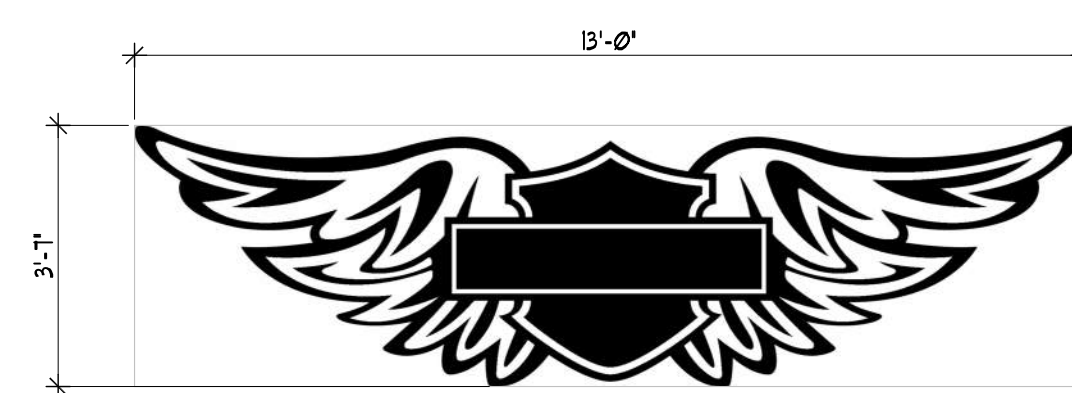
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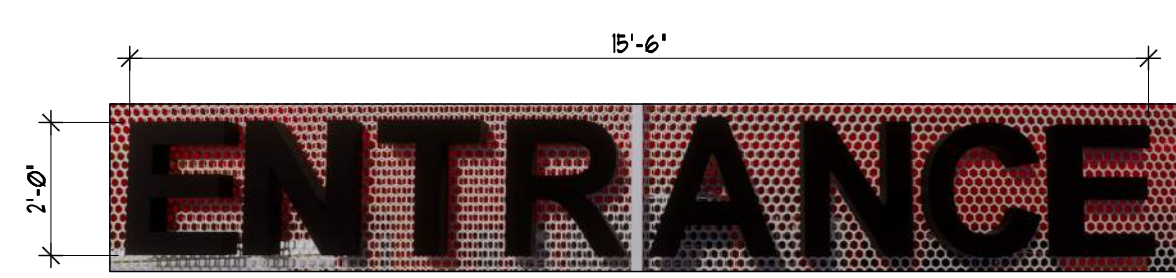
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PROPOSED
LIGHTING: LED
CLASSIFICATION: LOGO



SIGN TYPE 5

EXISTING
LIGHTING: NONE
CLASSIFICATION: ART



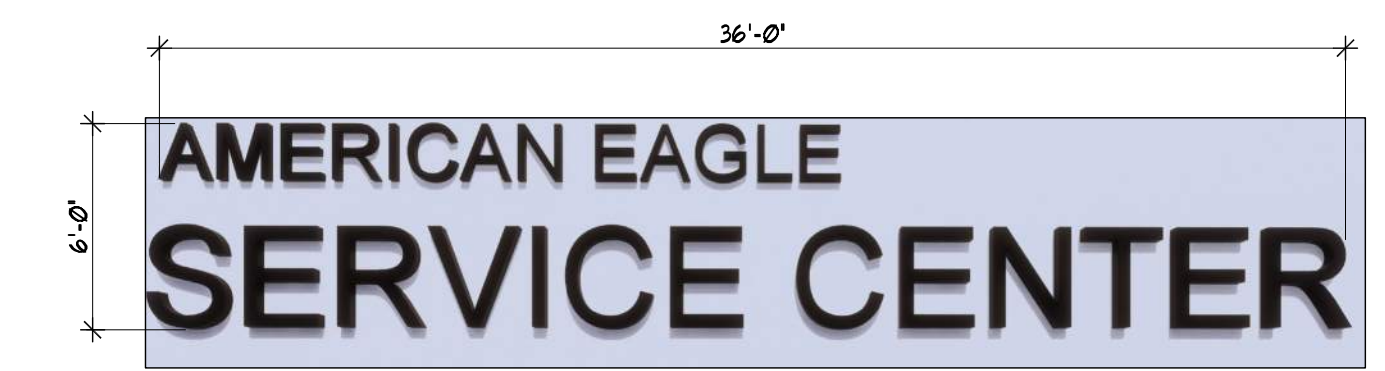
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LIGHTING: BACK LIT
CLASSIFICATION: DIRECTIONAL



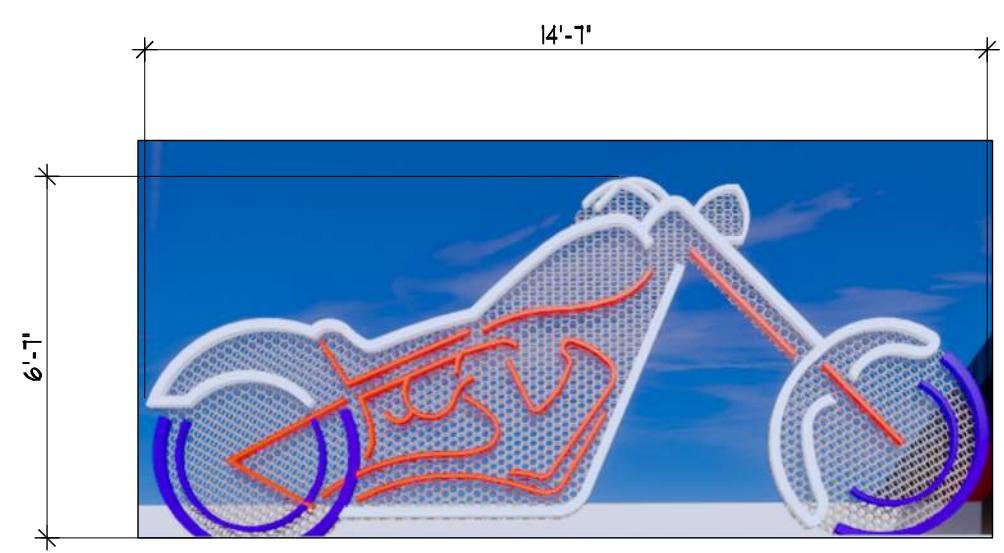
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EXISTING
LIGHTING: BACK LIT
CLASSIFICATION: LOGO



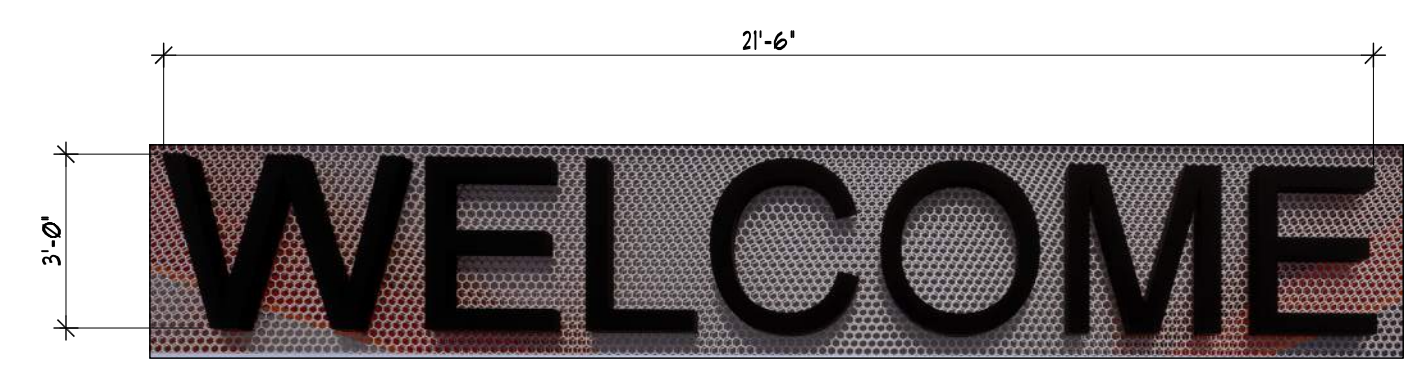
SIGN TYPE 8

PROPOSED
LIGHTING: BACK LIT
CLASSIFICATION: DIRECTIONAL



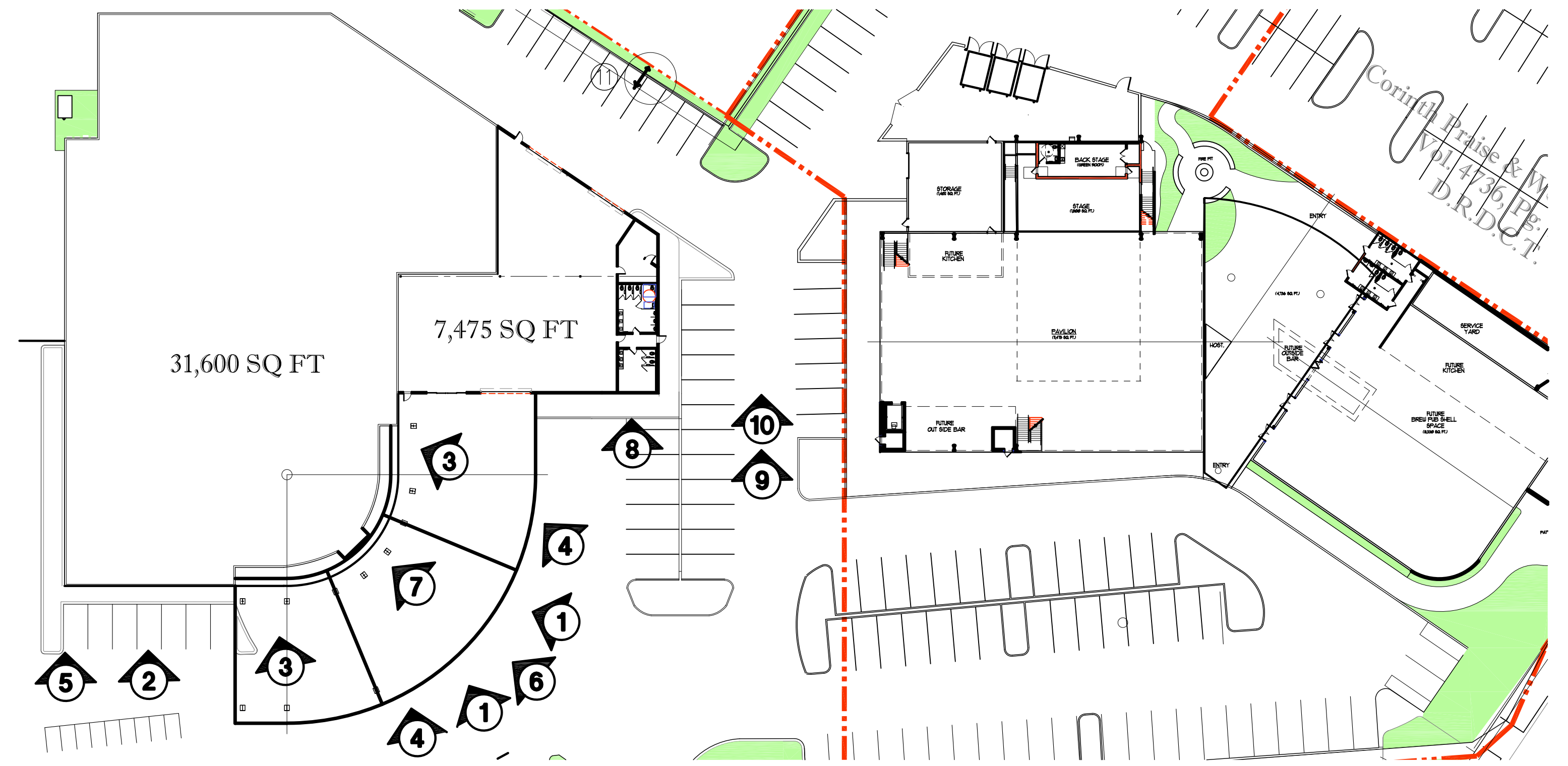
SIGN TYPE 9

PROPOSED
LIGHTING: LED
CLASSIFICATION: ART



SIGN TYPE 10

PROPOSED
LIGHTING: BACK LIT
CLASSIFICATION: DIRECTIONAL



KEY PLAN

SHOWROOM SIGNAGE

ISSUED FOR:
PRESENTATION



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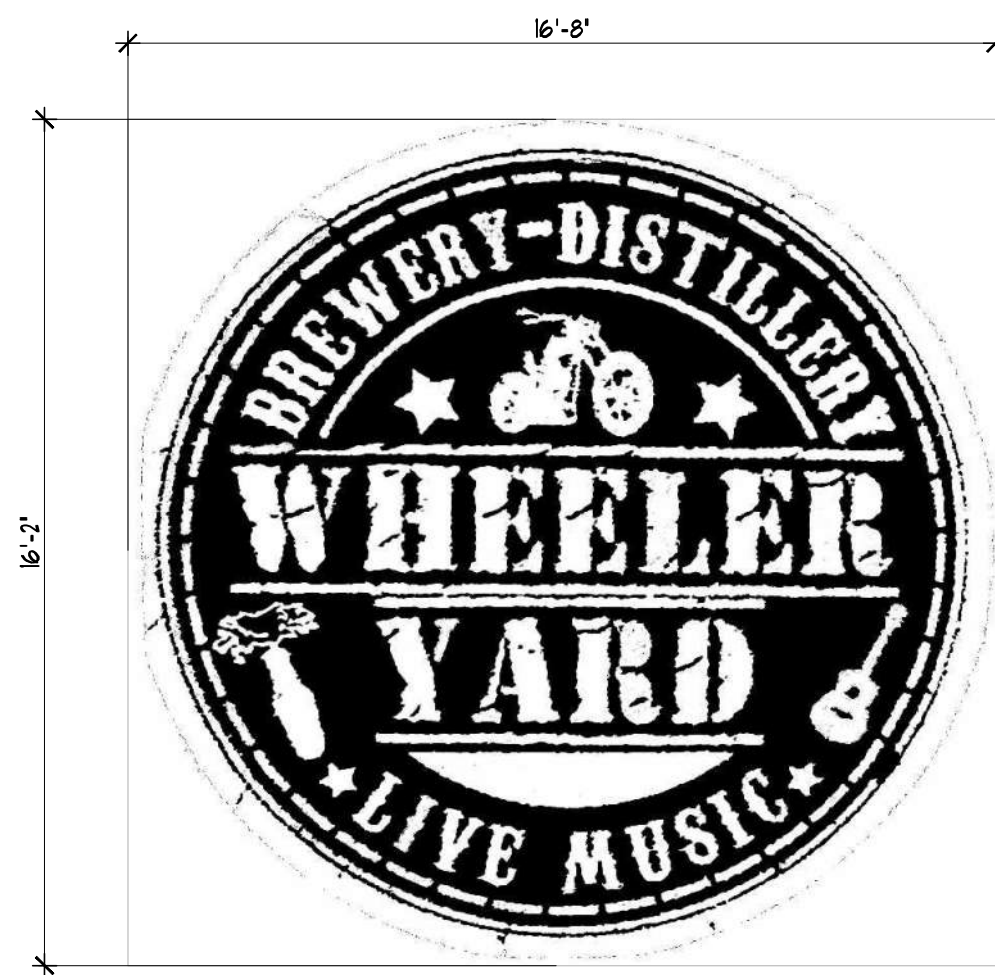
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Date:
02-15-2023

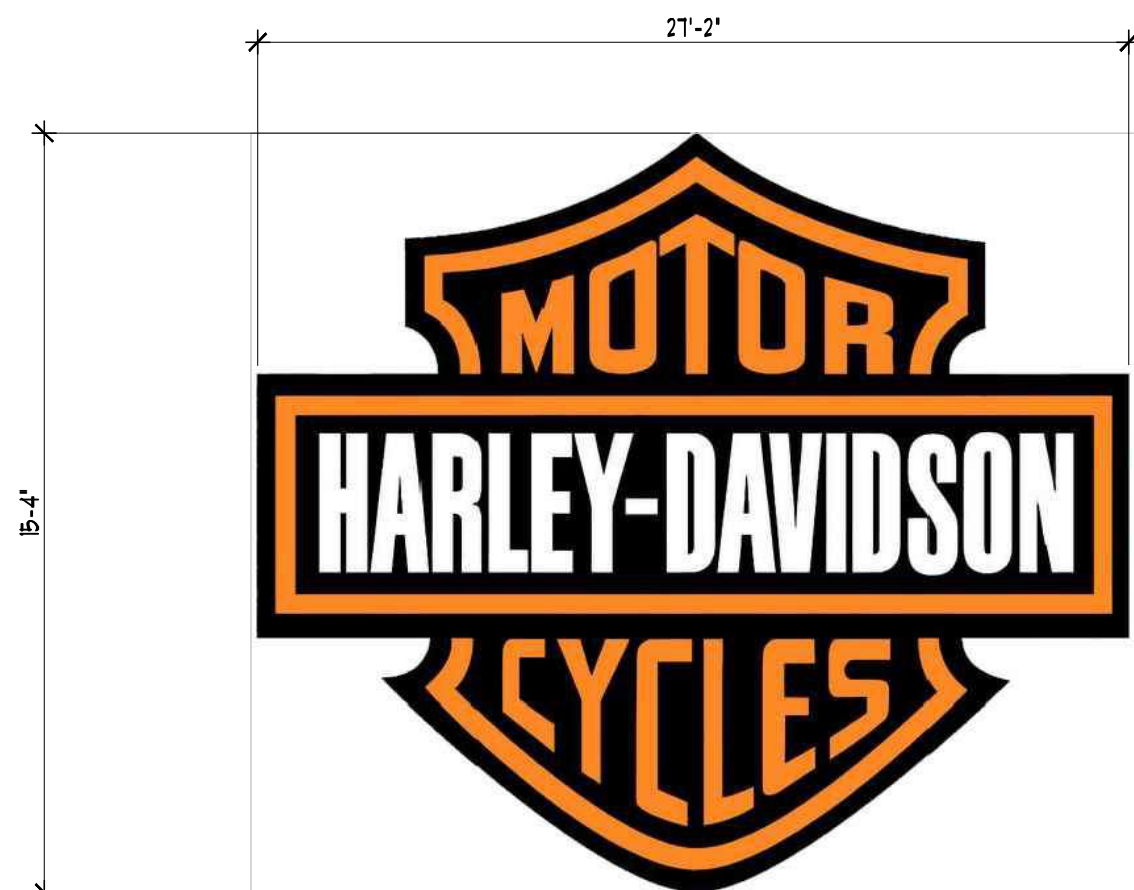
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SIGN-1



SIGN TYPE 11

PROPOSED
LIGHTING: SITE LIGHTING
CLASSIFICATION: LOGO



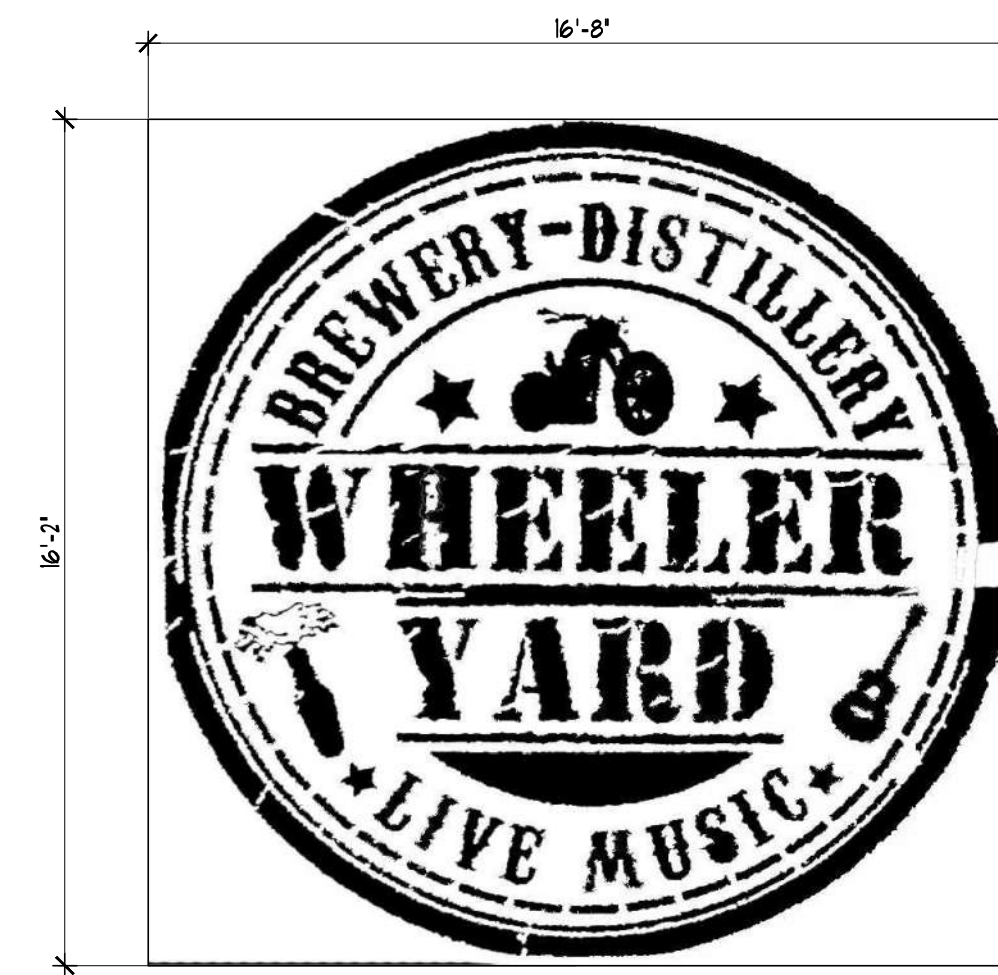
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EXISTING
LIGHTING: SITE LIGHTING
CLASSIFICATION: LOGO



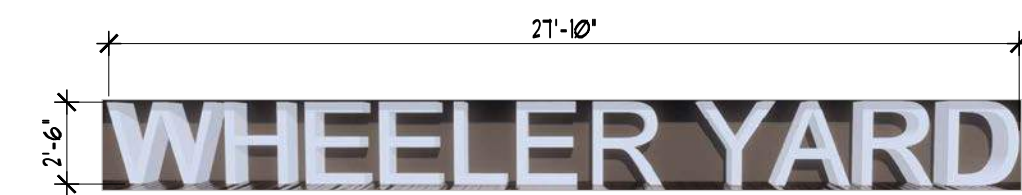
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LIGHTING: BACK LIT
CLASSIFICATION: INFORMATIONAL



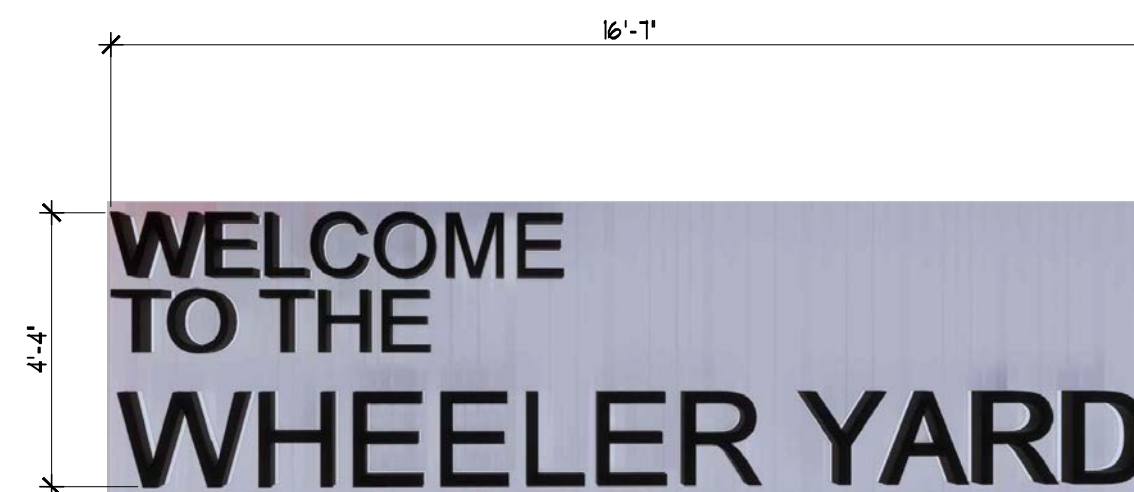
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LIGHTING: SITE LIGHTING
CLASSIFICATION: LOGO



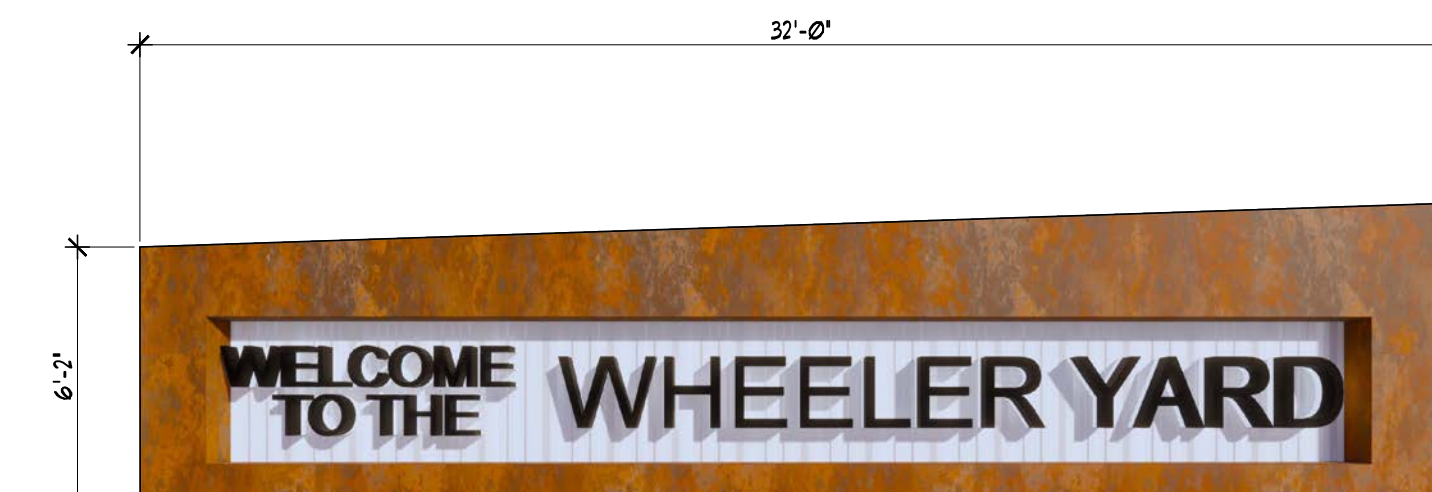
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PROPOSED
LIGHTING: UNDER LIGHTS
CLASSIFICATION: LOGO



SIGN TYPE 17

PROPOSED
LIGHTING: BACK LIT
CLASSIFICATION: INFORMATIONAL



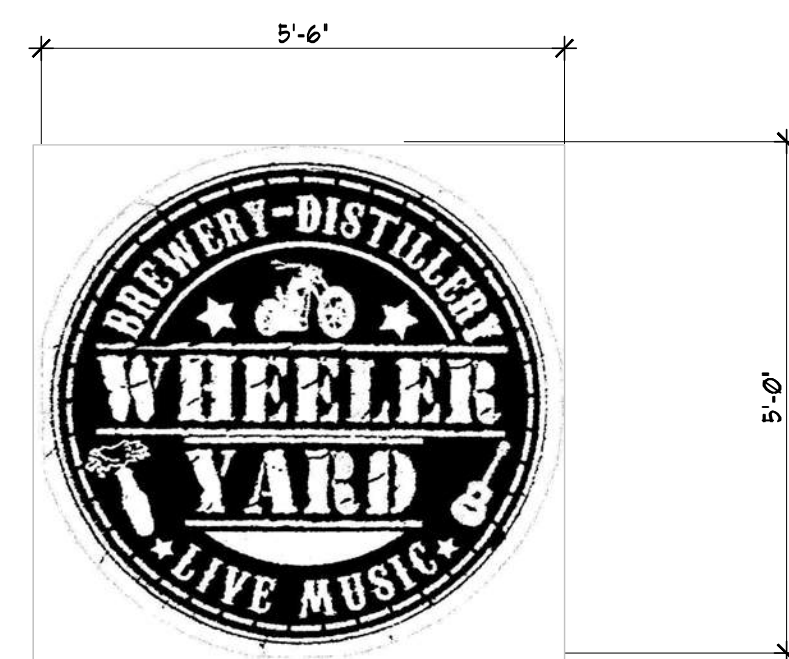
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PROPOSED
LIGHTING: SITE LIGHTING
CLASSIFICATION: MONUMENTAL



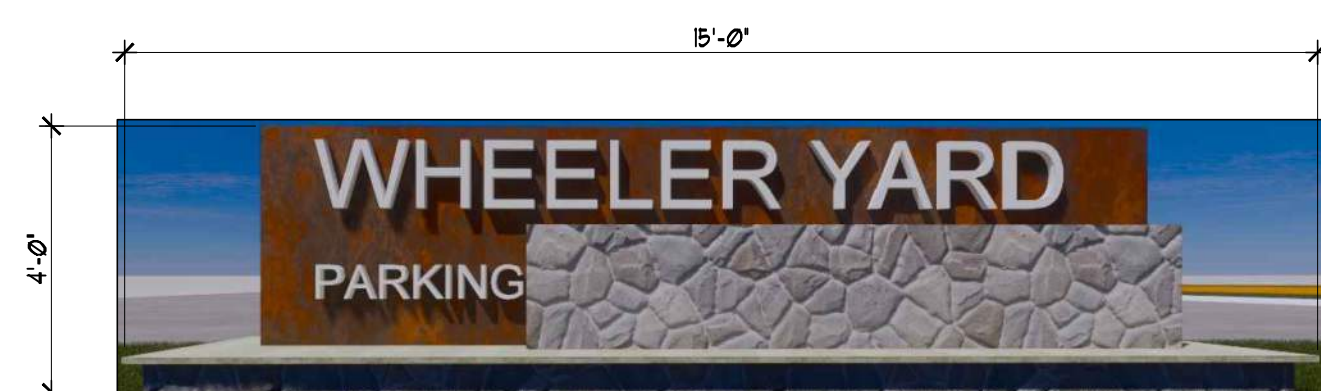
SIGN TYPE 19

PROPOSED
LIGHTING: SITE LIGHTING
CLASSIFICATION: MONUMENTAL



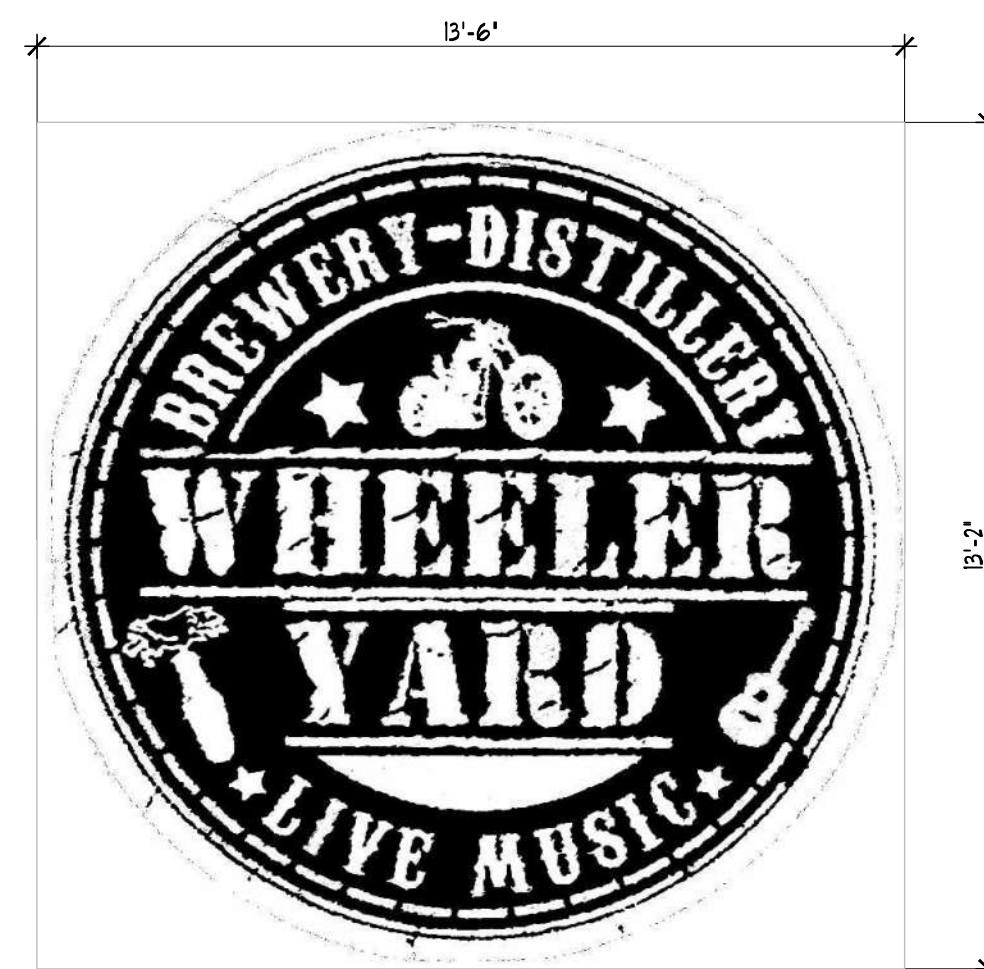
SIGN TYPE 20

PROPOSED
LIGHTING: SITE LIGHTING
CLASSIFICATION: LOGO



SIGN TYPE 21

PROPOSED
LIGHTING: SITE LIGHTING
CLASSIFICATION: MONUMENTAL



SIGN TYPE 22

PROPOSED
LIGHTING: NONE
CLASSIFICATION: LOGO



KEY PLAN

WHEELER YARD SIGNAGE

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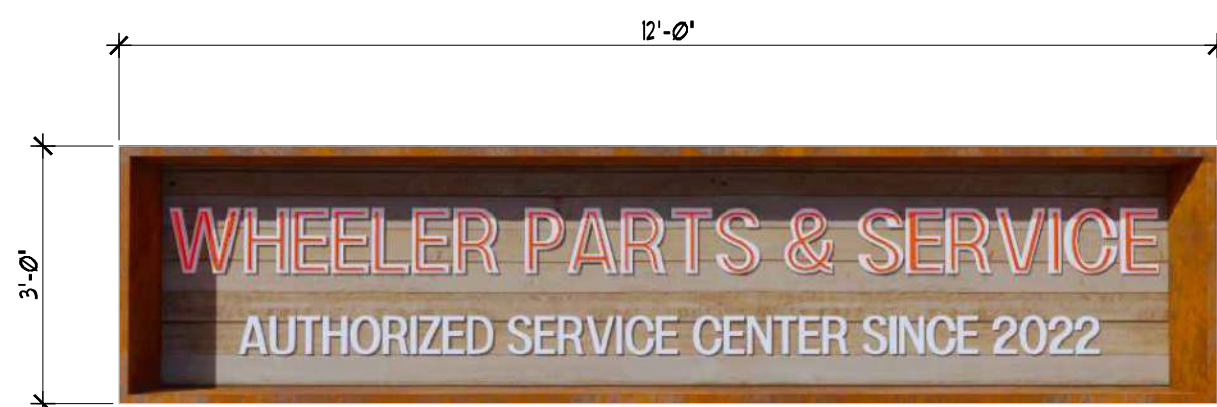
SAXA
SOFARELLI & ASSOCIATES ARCHITECTURE
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Revisions:

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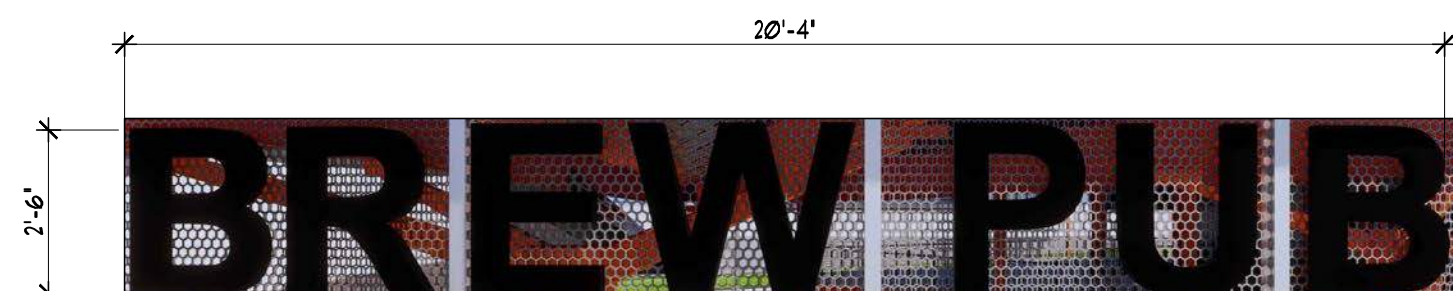
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02-15-2023
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SIGN-2



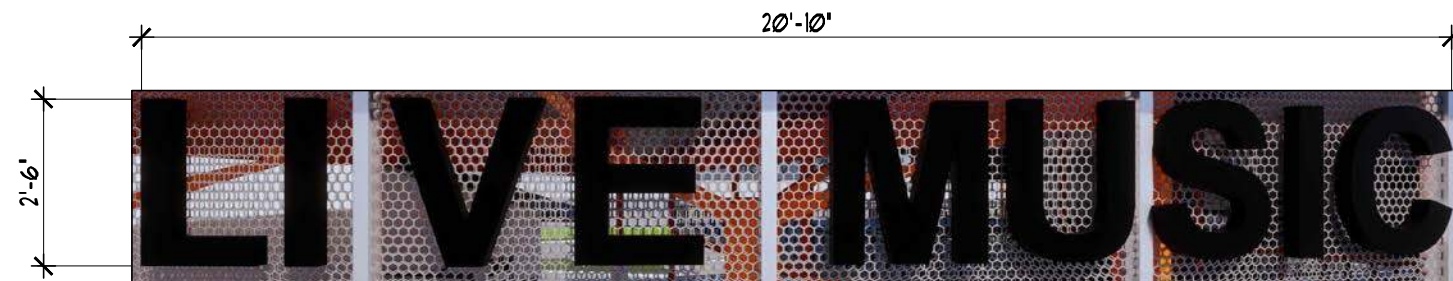
SIGN TYPE 23

PROPOSED
LIGHTING: CUSTOM LED
CLASSIFICATION: ART



SIGN TYPE 24

PROPOSED
LIGHTING: CUSTOM LED
CLASSIFICATION: DIRECTIONAL



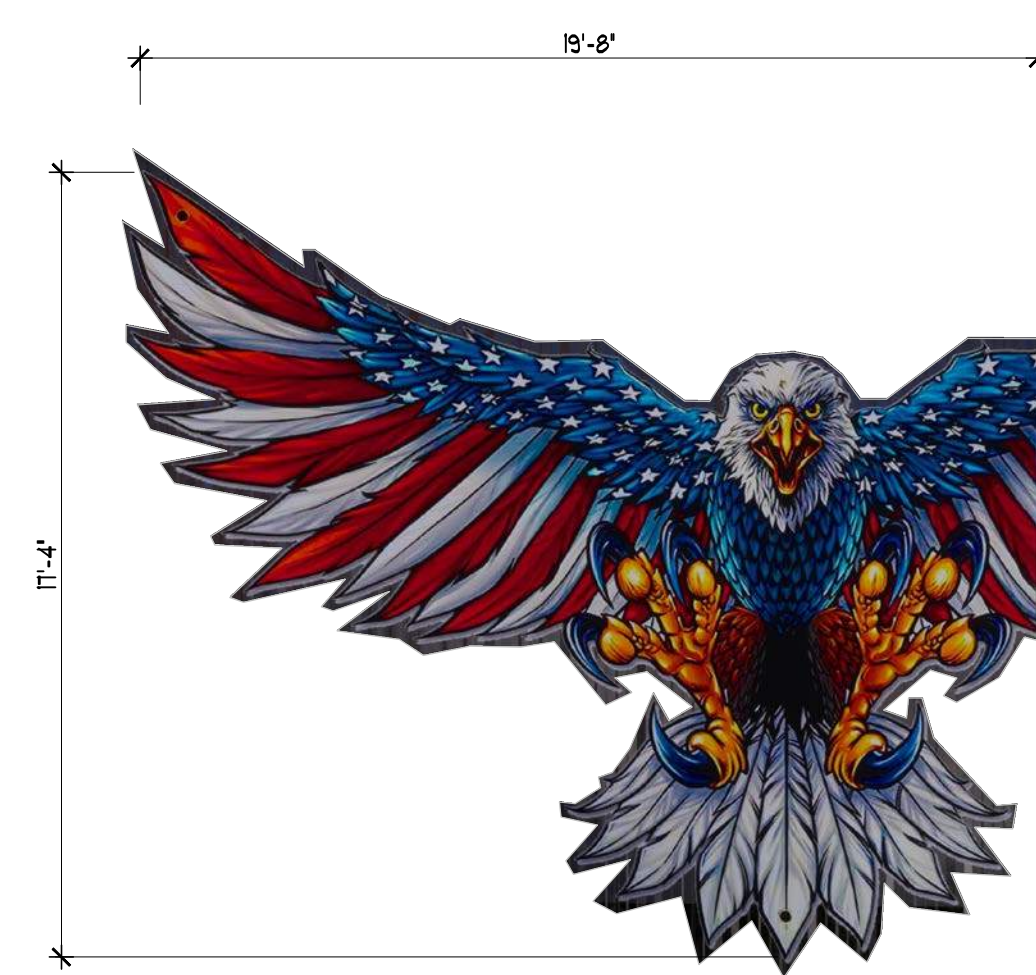
SIGN TYPE 25

PROPOSED
LIGHTING: NONE
CLASSIFICATION: DIRECTIONAL



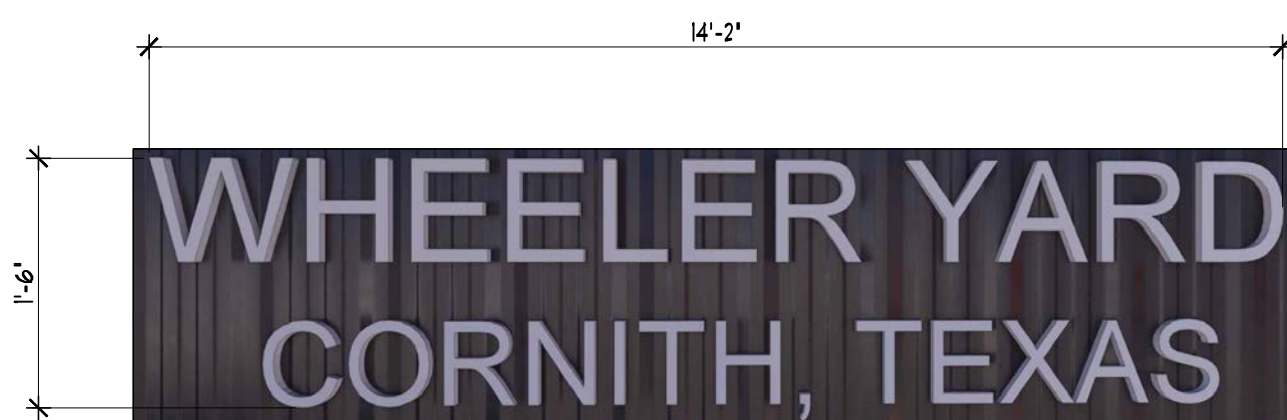
SIGN TYPE 26

PROPOSED
LIGHTING: NONE
CLASSIFICATION: LOGO



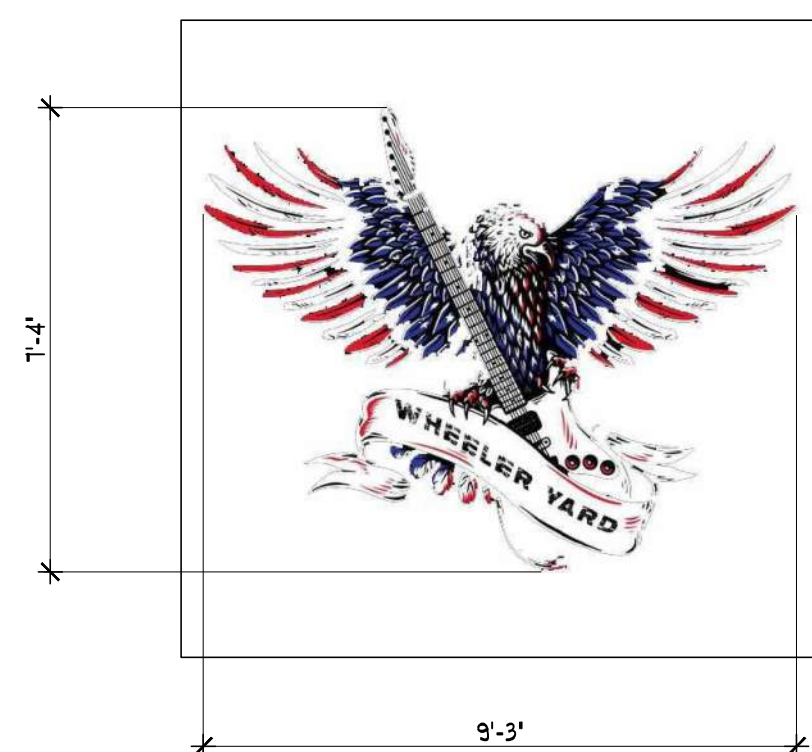
SIGN TYPE 27

PROPOSED
LIGHTING: NONE
CLASSIFICATION: ART



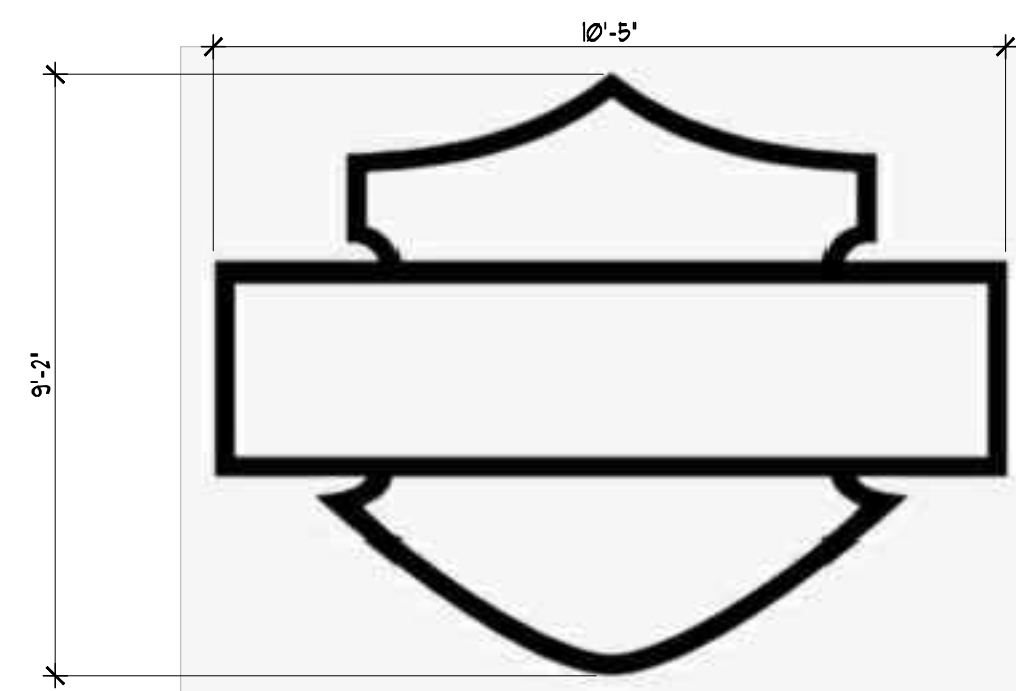
SIGN TYPE 28

PROPOSED
LIGHTING: BACK LIT
CLASSIFICATION: LOGO



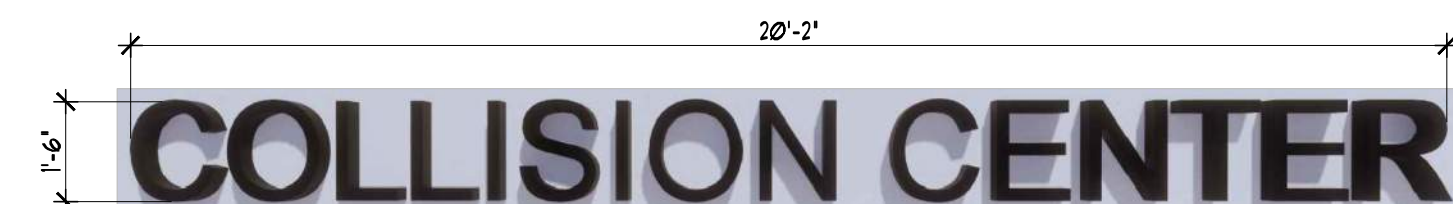
SIGN TYPE 29

PROPOSED
LIGHTING: NONE
CLASSIFICATION: LOGO



SIGN TYPE 30

PROPOSED
LIGHTING: NONE
CLASSIFICATION: ART



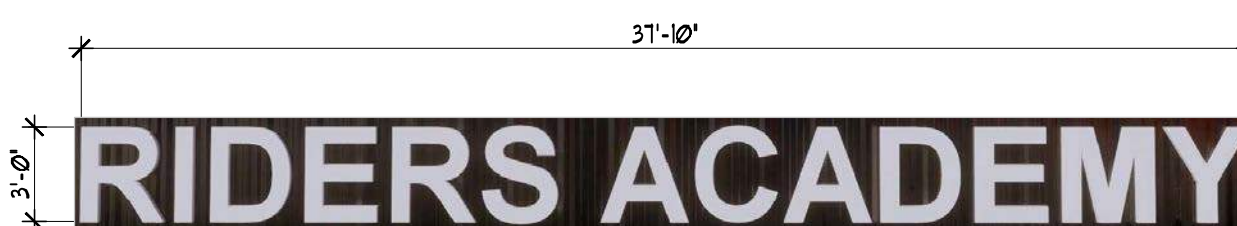
SIGN TYPE 31

PROPOSED
LIGHTING: BACK LIT
CLASSIFICATION: DIRECTIONAL



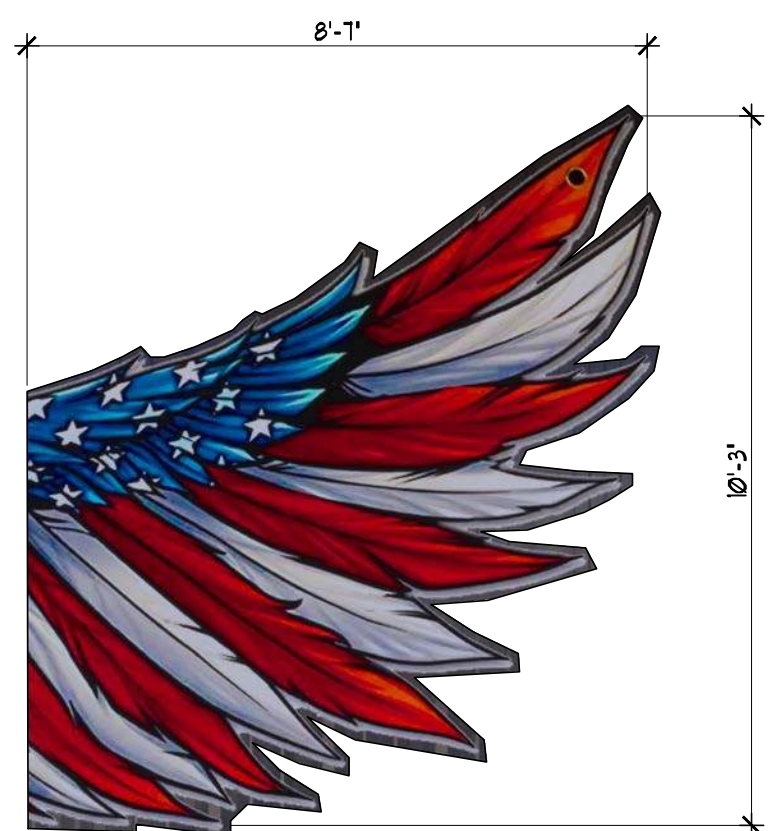
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PROPOSED
LIGHTING: BACK LIT
CLASSIFICATION: DIRECTIONAL



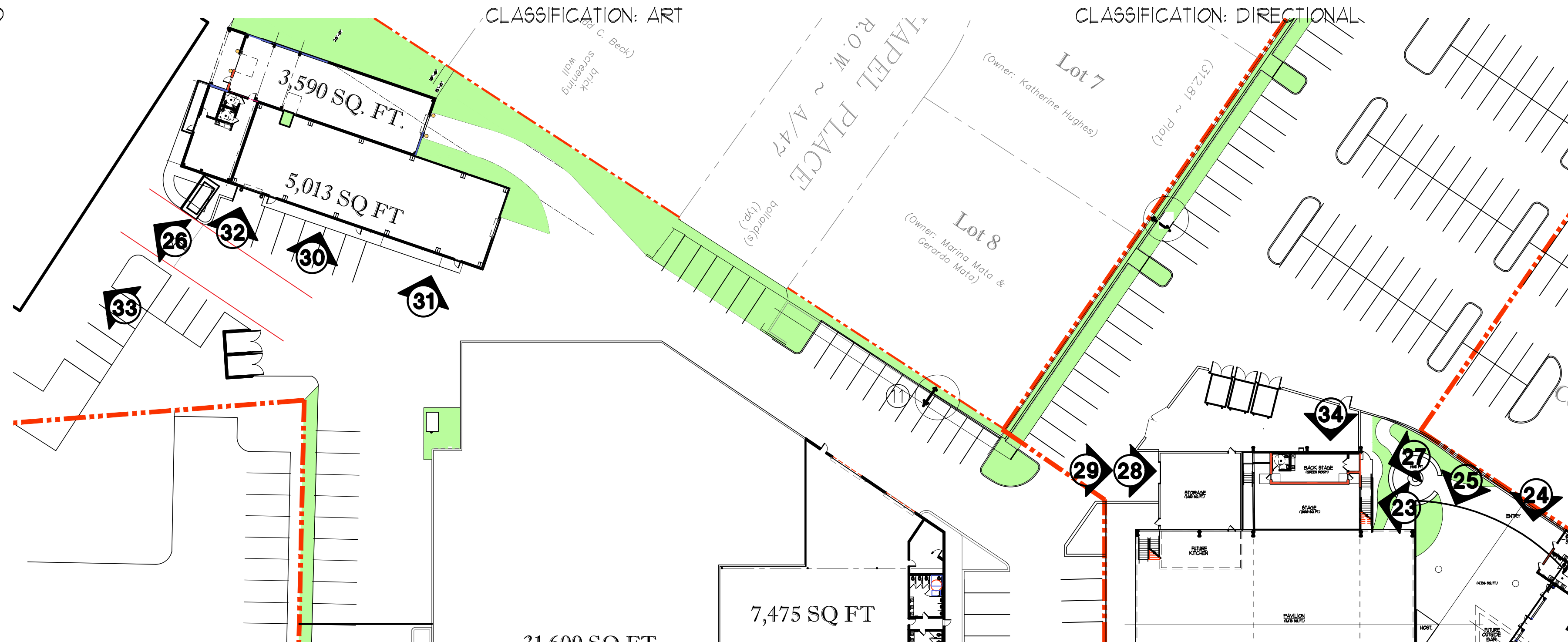
SIGN TYPE 33

PROPOSED
LIGHTING: BACK LIT
CLASSIFICATION: DIRECTIONAL



SIGN TYPE 34

PROPOSED
LIGHTING: NONE
CLASSIFICATION: ART



WHEELER YARD & RIDERS ACADEMY SIGNAGE

KEY PLAN

ISSUED FOR:
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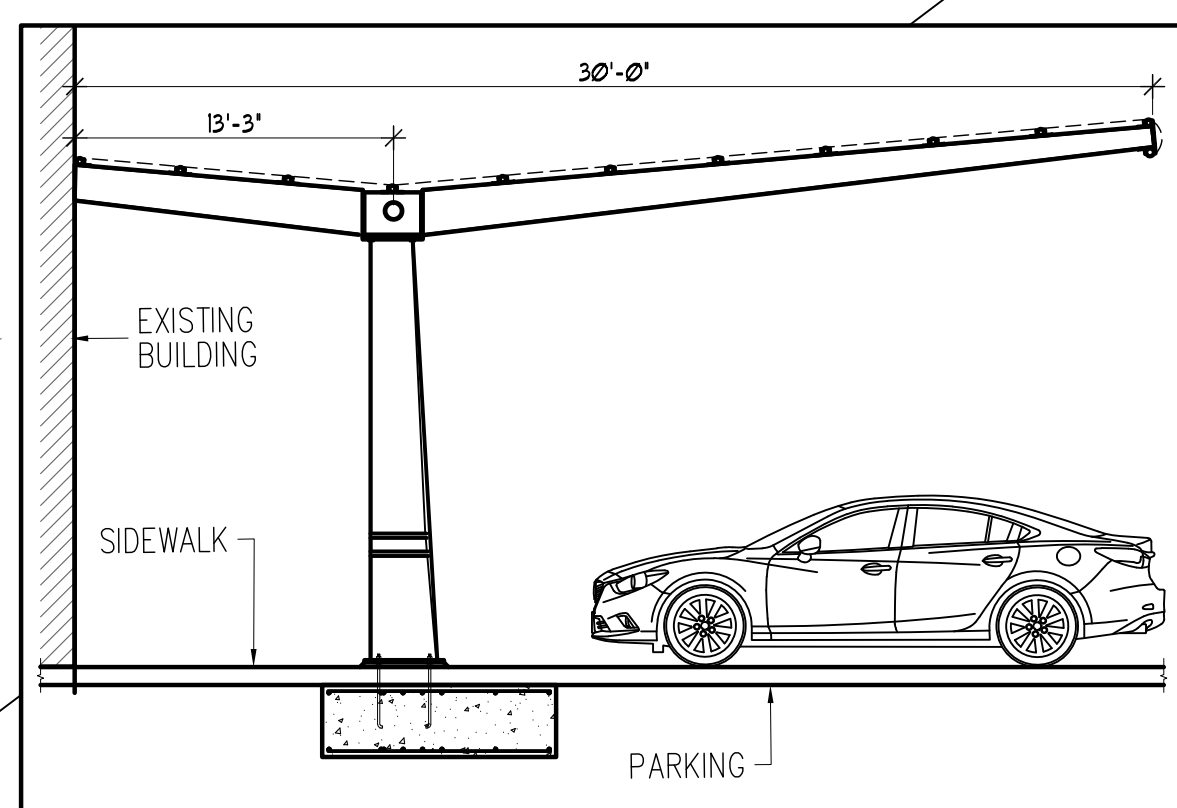
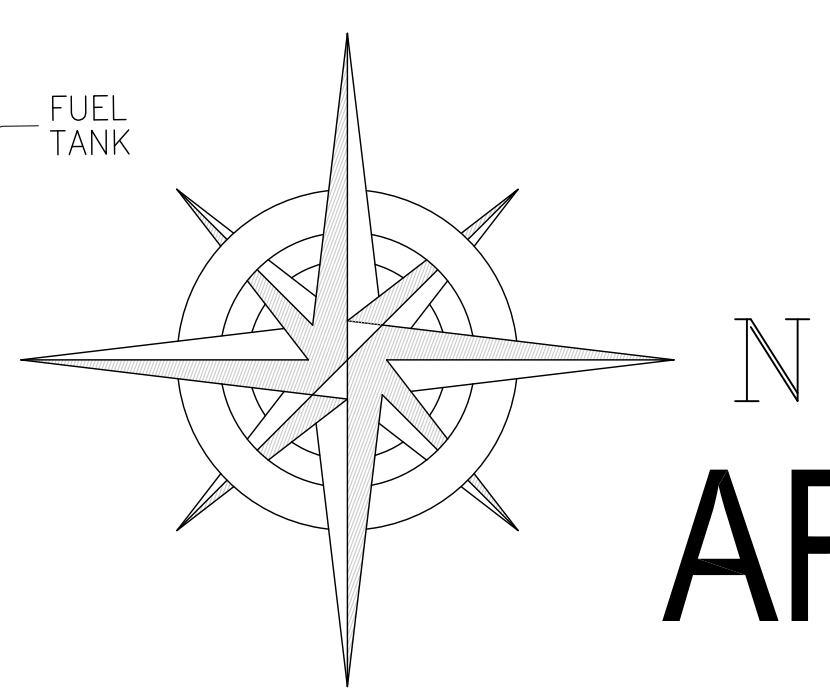
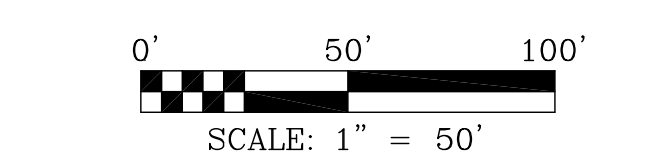
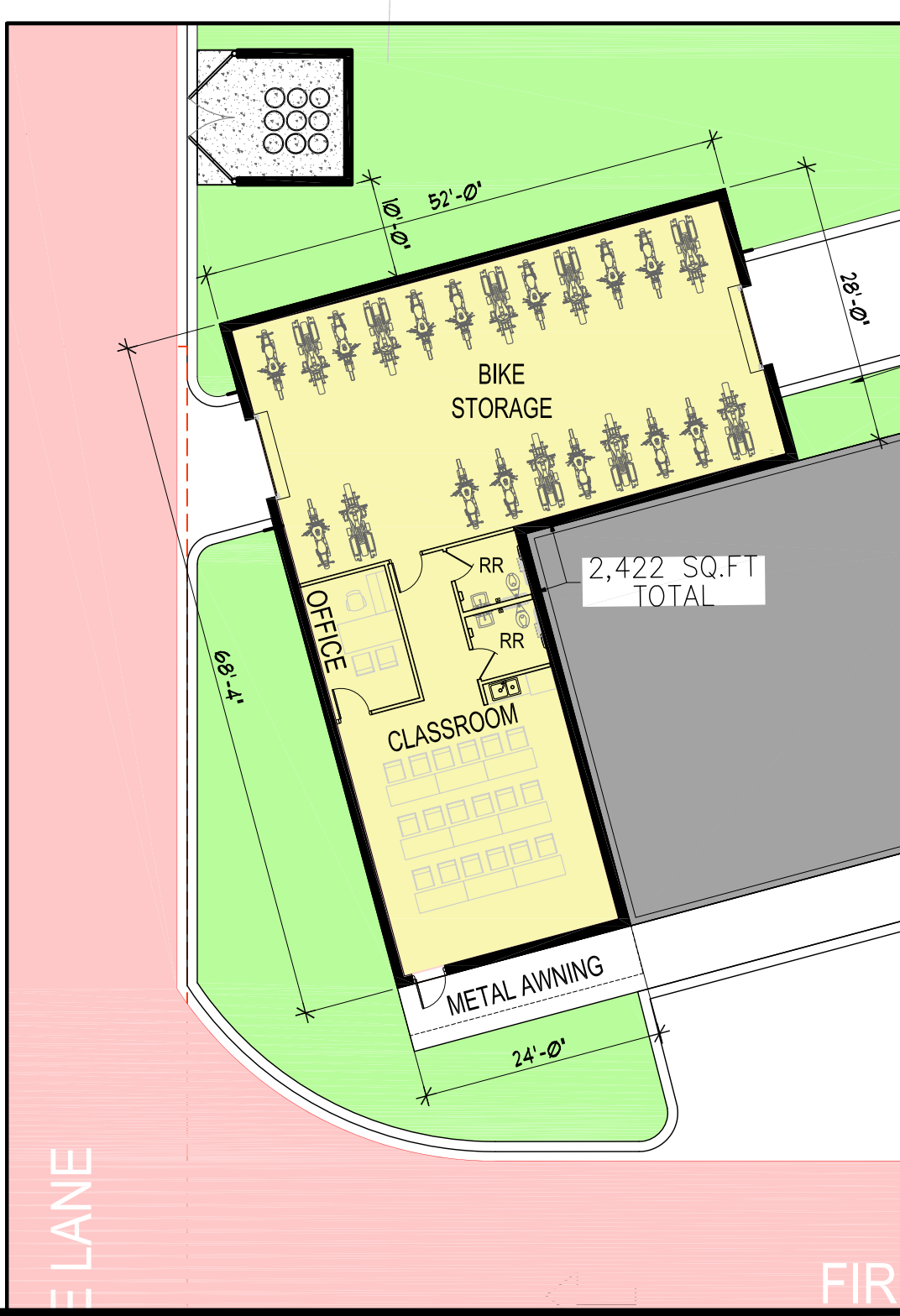
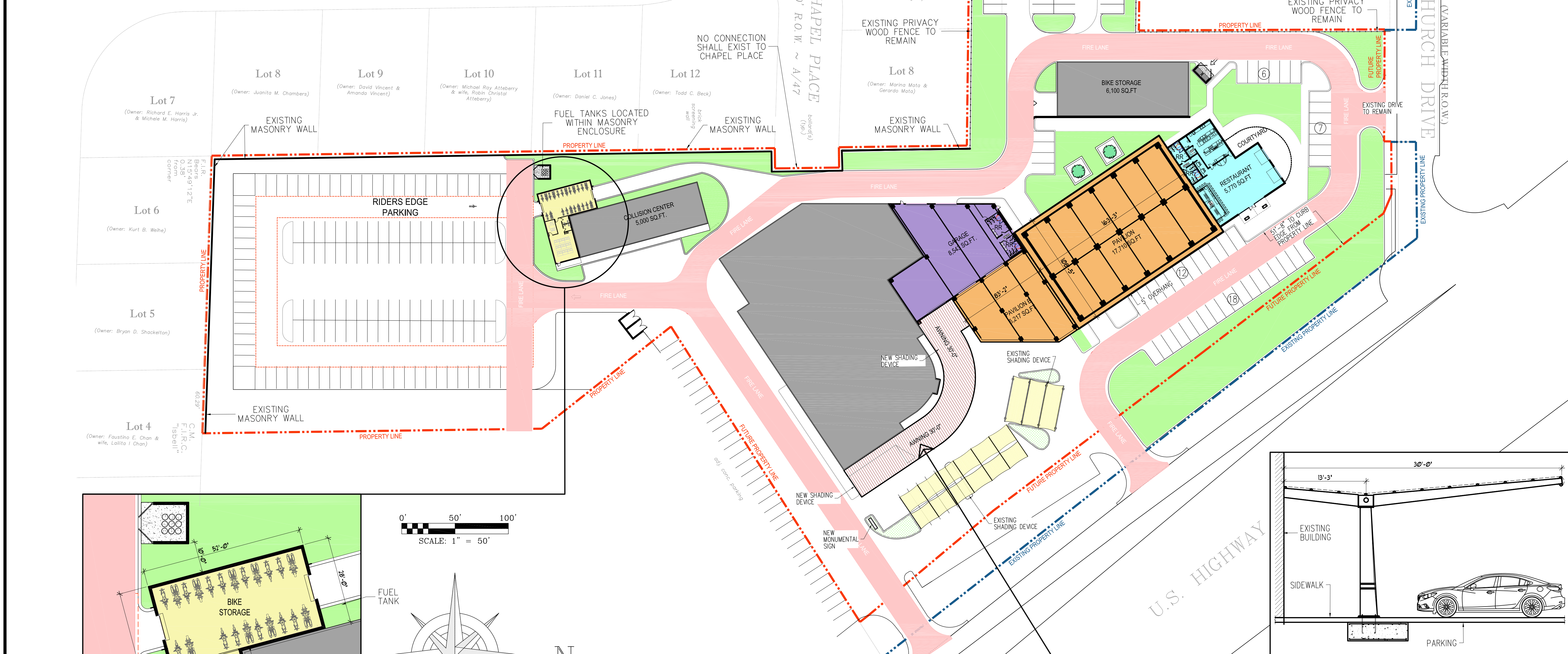
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**ATTACHMENT 2:
PD-26 CONCEPT PLAN AND CONCEPT ELEVATIONS
APPROVED 1-23-2020**

		PROPOSED RESTAURANT PARKING (200 SEATS) (1 PARKING PER 3 SEATS) = 67 PARKING REQUIRED + 10 STAFF PARKING = 77 TOTAL. PROVIDED 101 PARKING SPACES	

REQUIREMENTS	REQUIRED	PROPOSED
MINIMUM FRONT YARD SETBACK	40'	80'
MINIMUM SIDE YARD SETBACK	0' / 15'	100' +
MINIMUM REAR YARD SETBACK	20'	28'
MINIMUM LOT AREA	30,000.0 SQFT (0.69 ACRE)	360,131.0 SQFT (8.27 ACRE)
STRUCTURE MAXIMUM HEIGHT	2 1/2 STORIES / 40' OR SUP (1)	30'
MAXIMUM BUILDING AREA COVERAGE (ALL BUILDINGS)	50%	28%
IMPERVIOUS AREA	-----	7.24 ACRE
IMPERVIOUS %	-----	87.4 %



ARCHITECTURAL CONCEPT PLAN

EXHIBIT B CONCEPT PLAN






EXHIBIT D
CONCEPT ELEVATION



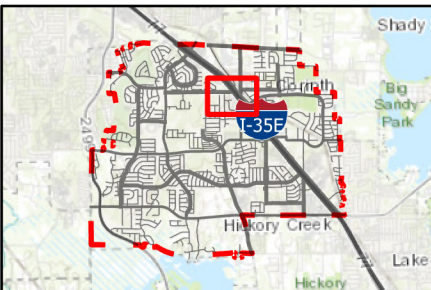
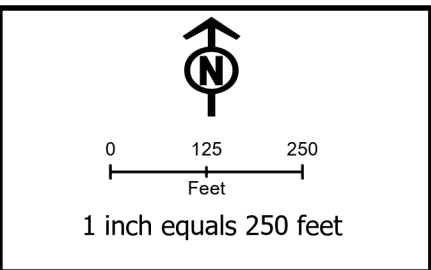
**ATTACHMENT 3:
200' ZONING BUFFER MAP**

Proposed Zoning Change

American Eagle Harley Davidson & Wheeler Yard PD (ZAPD22-0006)

 Properties within 200 ft of area proposed to be rezoned from PD-26 and C-2 Commercial to PD-26

2/8/2023



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