

****PUBLIC NOTICE****



PLANNING & ZONING COMMISSION

Monday, December 09, 2024 at 6:30 PM

City Hall | 3300 Corinth Parkway

View live stream: www.cityofcorinth.com/remotesession

AGENDA

- A. CALL TO ORDER AND ANNOUNCE A QUORUM PRESENT**
- B. PLEDGE OF ALLEGIANCE**
- C. ESTABLISH VOTING MEMBERS AND DESIGNATE ALTERNATES**
- D. CONSENT AGENDA**

All matters listed under the Consent Agenda are considered to be routine and will be enacted in one motion. Should the Chair, a Commission Member, or any citizen desire discussion of any item, that item will be removed from the Consent Agenda and will be considered separately.

1. Consider the approval of minutes for the Planning & Zoning Commission Regular Session held on October 28, 2024.
2. Consider and act on a request by the Applicant, Eagle Surveying, for a Replat of the Classic Mazda Addition Subdivision, being ±5.36 acres located at 5000 South I-35E. (Case No. RP23-0004)
3. Consider and act on a request by the Applicant, Rockbrook Development, for a Preliminary Plat for the Quarry Townhomes Addition Subdivision, being ±9.0007 acres located at 3000 Parkridge Drive. (Case No. PP24-0002)
4. Consider and act on a request by the Applicant, Ridinger Associates, for approval of a Final Plat of the Hillside of Corinth Subdivision, being ±24.189 acres located at 1909 Post Oak Drive. (Case No. FP24-0005)
5. Consider and act on a request by the Applicant, Urban Strategy, for approval of a Final Plat of the Phelan Industrial-Corinth Subdivision, being ±8.462 acres located at 1116 N Corinth Street. (Case No. FP24-0006)
6. Consider and act on a request by the Applicant, Corwin Engineering, for approval of a Final Plat of the Oak Ridge Park Subdivision, being ±57.963 acres located at 2300 Lake Sharon Drive. (Case No. FP24-0007)

E. BUSINESS AGENDA

7. Conduct a Public Hearing to consider testimony and make a recommendation to City Council on request by the Applicant, Bridgeview Multifamily LLC, to amend the Zoning Ordinance of the City of Corinth, being a part of the Unified Development Code, to amend the building elevations of Planned Development 67 (PD-67) on approximately ±6.5 acres, with the subject properties being located at 3650 Corinth Pkwy. (Case No. ZAPD24-0009 PD-67 Bridgeview Corinth Elevations Amendment)
8. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on City initiated request on behalf of the property owner, Miguel Angel & Antonio Murillo to amend the Zoning

Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, to rezone 2 properties totaling approximately ±2.2 acres from SF-2 Single Family to MX-C Mixed Use Commercial, with the subject properties being located at the northeast corner of N Corinth St and Shady Shores Rd. (Case No. ZMA24-0008 MX-C Rezoning)

9. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a City initiated request to amend UDC Subsection 3.04 – Construction Plans and Procedures to require Development Agreements to be associated with Construction Plan approval and to clarify timing of Construction Release. (Case No. ZTA24-0007 UDC Construction Plans and Procedures Amendment)
10. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a request to amend UDC Subsection 2.06.02.K – Building Height. (Case No. ZTA24-0008 UDC MX-C Building Height Amendment)

F. RECESS REGULAR SESSION

G. CALL WORKSHOP SESSION TO ORDER AND ANNOUNCE A QUORUM PRESENT

H. WORKSHOP AGENDA

11. Receive presentation and hold an informal discussion regarding a proposed Planned Development (PD) Concept Plan for a single family development on approximately 16.77 acres on the east side of Post Oak Drive, south of Church Street and north of Lake Sharon Drive. (Case No. ZAPD24-0010 – Saddlebrook PD)
12. Receive a brief presentation and hold a discussion on the steps an Applicant follows when going through the rezoning and site plan processes.

I. ADJOURN WORKSHOP SESSION

J. RECONVENE REGULAR SESSION

K. EXECUTIVE SESSION**

In accordance with Chapter 551, Texas Government Code, Section 551.001, et seq., (the “Texas Open Meetings Act”), the City Council will recess into Executive Session (closed meeting) to discuss the following items. Any necessary final action or vote will be taken in public by the City Council in accordance with this agenda.

Section 551.071 – Legal Advice. (1) Private consultation with its attorney to seek advice about a matter in which the duty of the attorney to the government body under the Texas Disciplinary Rules of Professional Conduct of the State of Texas clearly conflict with Chapter 551.

- a. Planning & Zoning Commission Training

L. RECONVENE IN OPEN SESSION TO TAKE ACTION, IF NECESSARY, ON EXECUTIVE SESSION ITEMS

M. ADJOURNMENT

The Planning & Zoning Commission reserves the right to recess into executive or closed session to seek the legal advice of the City’s attorney pursuant to Chapter 551 of the Texas Government Code on any matter posted on the agenda. After discussion of any matters in closed session, any final action or vote taken will be public by the Commission.

As a majority of the Council Members of the City of Corinth may attend the above described meeting, this notice is given in accordance with Chapter 551 of the Texas Government Code. No official action will be taken by the City Council at this meeting.

I, the undersigned authority, do hereby certify that the meeting notice was posted on the bulletin board at City Hall of the City of Corinth, Texas, a place convenient and readily accessible to the general public at all times and said Notice was posted on the following date and time: **Friday, December 6, 2024 at 12:00 PM.**



Melissa Dailey, AICP
Director of Planning and Development Services
City of Corinth, Texas

December 6, 2024
Date of Notice

Corinth City Hall is wheelchair accessible. Person with disabilities who plan to attend this meeting and who may need auxiliary aids or services such as interpreters for persons who are deaf, or hearing impaired, or readers of large print, are requested to contact the City Secretary's Office at 940-498-3200, or fax 940-498-7576 at least two (2) working days prior to the meeting so that appropriate arrangements can be made.

BRaille IS NOT AVAILABLE



MINUTES
PLANNING & ZONING COMMISSION
REGULAR SESSION

Monday, October 28, 2024, at 6:30 PM

City Hall | 3300 Corinth Parkway

On the 28th day of October 2024 at 6:30 P.M., the Planning & Zoning Commission of the City of Corinth, Texas met in Regular Session at the Corinth City Hall, located at 3300 Corinth Parkway, Corinth, Texas.

Commissioners Present:

- Chair Alan Nelson
- Vice-Chair Mark Klingele
- Rebecca Rhule
- KatieBeth Bruxvoort
- Adam Guck
- Chris Smith

Commissioners Absent:

- Crystin Jones

Staff Members Present:

- Melissa Dailey, Director of Planning and Development
- Miguel Inclan, Planner
- Matthew Lilly, Planner
- Deep Gajjar, Planner

A. CALL TO ORDER AND ANNOUNCE A QUORUM PRESENT

Chair Alan Nelson called the meeting to order at 6:31 PM.

B. PLEDGE OF ALLEGIANCE

C. ESTABLISH VOTING MEMBERS AND DESIGNATE ALTERNATES

D. CONSENT AGENDA

1. Consider the approval of minutes for the Planning & Zoning Commission Special Session held on September 23, 2024.

Vice-Chair Klingele made a motion to approve the consent agenda as presented, seconded by Commissioner Rhule.

Motion passed unanimously: 5-for, 0-against.

E. BUSINESS AGENDA

2. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a city-initiated to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, to amend the permitted uses of Planned Development 26 (PD-26) on

approximately ±9.1 acres, with the subject properties being located at 5920 S I-35E. (Case No. ZAPD24-0008 Harley Davidson PD-26 Amendment).

Melissa Dailey, Director of Planning and Development, provided an overview of the proposal and recommended approval as presented.

Chair Nelson opened and closed the Public Hearing at 6:35 P.M.

Commissioner Bruxvoort made a motion to recommend approval of Case No. ZAPD24-0008 Harley Davidson PD-26 Amendment as presented, seconded by Vice-Chair Klingele.

Motion passed unanimously: 5-for, 0-against.

3. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a rezoning request by the Applicant, 2200 Corinth Holdings LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family to MX-C Mixed Use Commercial on approximately ±6.3 acres located at 2200 FM 2181. (Case No. ZMA24-0006 2200 FM 2181 MX-C Rezoning).

Melissa Dailey, Director of Planning and Development, provided an overview of the proposal and recommended approval as presented.

Chair Nelson opened the Public Hearing at 6:46 P.M.

Norma Martinek, 3401 Serendipity Hills Trail, asked if the City was planning on developing all of the land along FM 2181 as commercial and expressed concerns with pedestrian safety and the amount of new development.

David Harper, 2301 High Pointe Drive, expressed concerns with lighting from future development on this site, noise, damage to trees and driplines near his property line, and asked if the fencing would be improved or replaced with a masonry screening wall.

James Page, 2205 High Pointe Drive, expressed concerns with the proposed use, lighting, trash collection, and stated that he was opposed to the proposal.

Trevor Downie, 2207 High Pointe Drive, stated that he was opposed to the proposal and expressed concerns with the potential height of new structures, privacy, noise, light, impact to wildlife, and traffic.

Nick Giorgio, 2217 High Pointe Drive, stated that he was in opposition of the proposal and asked what the developers were planning to build on this site. He expressed concerns with the proximity of this site to single family residences, fencing height, and lighting and asked that screening improvements be incorporated into any future development on this site.

Brian Dixon, 3704 Post Oak Trail, stated that it was his understanding that a portion of the property was within the floodplain and was opposed to this project.

Lisa Clawson, 1411 Park Place, expressed concerns with the size of the property for development, stated that she would prefer the site be developed as a park, and expressed concerns with construction.

Bruce Bordelon, 2204 Post Ridge Circle, stated that he agreed with all of the previous comments mentioned by other residents and expressed concerns with access to the subject site.

David Harper, 2301 High Pointe Drive, asked if any automotive uses were allowed within the MX-C district.

A resident expressed concerns with how close the sidewalks along FM 2181 were to the street.

A resident asked when the previous workshop meeting had been held and if any type of notification for that meeting had been posted on the property.

Miguel Inclan, Planner, explained that this meeting had been held on September 23 and that this meeting had not required the posting of signs on the property due to the meeting being a workshop.

Ryan Gamble, 2001 Brazos Drive, asked if any questions brought up during the workshop were available to the public and expressed concerns with traffic and the potential financial impact of the development.

Chair Nelson stated that the minutes from that meeting had been approved with the consent agenda and that they would be available to the public.

Chair Nelson closed the Public Hearing at 7:06 PM.

Chair Nelson asked if staff could go over the lighting standards.

Dailey stated that staff commonly works with developers regarding lighting to ensure that lower level lighting is installed adjacent to residential uses. She explained that the City is not planning to develop all of the property along FM 2181 as commercial given that the City is not a developer and reiterated that a large portion of the existing development along FM 2181 and areas identified in the 2040 Comprehensive Plan are not commercial. Regarding concerns of noise levels, she stated that the City has a noise ordinance that is enforced by the police department. She stated that it was typical with commercial development that a masonry screening wall be requested to buffer existing residential uses. She stated that the City has a tree mitigation and tree preservation ordinance that would be applicable for this site and would also protect offsite trees. She explained that there was not a concept attached to this rezoning request given that it was a straight rezoning and was not required. She stated that the property was not within the flood plain and that the sidewalk along FM 2181 would likely be required to be reconstructed and setback from the street with a landscape buffer. She stated that the City does not consider the financial impact of a development during the zoning process. She explained that automotive related uses were permitted within the MX-C zoning district so long as they meet the building form; however, automotive related uses do not typically fit well within MX-C zoning.

Chair Nelson asked if Dailey could speak to the accessibility of the property.

Dailey stated that a traffic impact analysis would be provided at time of Site Plan to determine if a deceleration lane or other improvements would be required.

Commissioner Smith asked if the developer had proposed any particular use for this property.

Dailey stated that there were not any firm uses and reiterated that there was not a concept attached to this rezoning application.

Commissioner Smith asked if the City envisioned mid-block commercial being viable in this location.

Dailey stated that there were several surrounding properties zoned for commercial uses, and that the City had been receiving more inquiries about commercial/retail property along FM 2181.

Paul Bosco Jr., Developer, stated that he had purchased this property based on the 2040 Comprehensive Plan and the Mixed Use Node designation. He explained that he had previously worked on projects adjacent to neighborhoods and had collaborated with the HOA's to ensure that sufficient buffering and screening were provided. He stated that they were looking at the mixed use development at the intersection of Briarhill Boulevard and FM 407 in Highand Village and envisioned a similar development for this site. He stated that their goal was to bring something that fits the area including retail and restaurant space.

Commissioner Smith stated that he lived directly adjacent to the subject property, expressed concerns with noise, light, hours of operation, safety, and the overall impact to the neighborhood feel and property values, and asked if the Applicant had any kind of concept for this property.

Bosco stated that they would begin working on a concept plan once they receive zoning entitlement.

Commissioner Rhule stated that she was concerned with this proposal given the proximity to the existing neighborhood and expressed concerns with noise, traffic, and the size of the site. She stated that her preference would be for the City to look at purchasing this property and developing it as a park.

Commissioner Guck stated that he had concerns with not knowing what development could go into this location.

Bosco stated that he would not be able to put in the resources to develop a concept plan or additional analysis until receiving zoning entitlement and reiterated that the rezoning to MX-C would meet the intent of the 2040 Comprehensive Plan.

Chair Nelson also expressed concern with not having a concept plan. He stated that he supported what was shown in the Comprehensive Plan but had reservations with rezoning without a concept.

Bosco stated that he would recommend looking at Bowery Park as an example of what they were envisioning for the site.

Commissioner Bruxvoort asked for clarification on the process of straight zoning and how development would move forward.

Dailey stated that after receiving zoning entitlement, Staff would review and approve the site plan and explained that the intent of the MX-C district was to provide a zoning district that could be developed with the base zoning standards rather than requiring a planned development.

Commissioner Bruxvoort stated that she had mixed feelings with the proposal. She explained that she recognized the concerns brought up by residents but did not know what else could be developed on this property. She expressed confidence in the MX-C zoning standards and the development regulations.

Paul Bosco Sr., Developer, stated that they would maintain a 20' buffer and offered that additional screening standards could be incorporated along the southern portion of the property. He asked for the contact for the HOA in the adjacent neighborhood to discuss potential screening solutions.

Vice-Chair Klingele made a motion to recommend approval of Case No. ZMA24-0006 as presented, seconded by Commissioner Guck.

Vice-Chair Klingele stated that he felt this rezoning was appropriate as it met the Comprehensive Plan and that there were still many proceeding steps in the development process.

Chair Nelson, Vice-Chair Klingele, Commissioner Bruxvoort, and Commissioner Guck voted in favor of the motion. Commissioner Rhule voted in opposition of the motion.

Motion passed: 4-for, 1-against.

4. Conduct a Public Hearing to consider testimony and make a recommendation to City Council on a request by the Applicant, Long Lake Development LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, to rezone approximately ±108 acres from Planned Development 36 (PD-36) and C-2 Commercial to a Planned Development with base zoning districts of MX-C Mixed Use Commercial and SF-2 Single Family Residential, with the subject properties being generally located south of FM 2181, west of Parkridge Drive, and east of Serendipity Hills Trail. (Case No. ZAPD24-0007 Canyon Lake Ranch Planned Development)

Melissa Dailey, Director of Planning and Development, provided an overview of the proposal and recommended approval with the added stipulation that a provision be added to the PD Development Standards indicating that no streets will be fenced or gated, that a minimum six-foot wide trail be provided along the north side of Oak Bluff Drive, and that a connection be provided within the development boundaries from the common open space boardwalk/trail to the Oak Bluff Drive trailhead.

Chair Nelson opened the Public Hearing at 7:56 PM.

Norma Martinek, 3401 Serendipity Hills Trail, expressed concerns with her property value decreasing and requested that the proposal be revised to include single family housing behind her property.

John Racanelli, 3905 Serendipity Hills Court, stated that the Elm Fork Trail shown in the presentation did not exist and expressed concerns with dump trucks currently coming from the subject site through Serendipity Hills.

Lee Gounaud, 3550 Serendipity Hills Trail, stated that the subject site had previously been a wildlife preserve. She stated that she did not want the subdivision to be gated and expressed concerns with construction, wildlife, traffic, and public services.

Eleanor Ismert, 3574 Serendipity Hills Trail, stated that she was concerned with the proposed density and development occurring on the subject site.

Lisa Clawson, 1411 Park Place, expressed concerns with construction and impacts on wildlife, asked how much the population would increase, and asked if the necessary infrastructure and public services were in place for this development.

James Wallace, 1404 Park Place, expressed concerns with construction and impacts on the environment.

Nick Jamele, 3903 Serendipity Hills Court, stated that he had initially heard about 85 one acre lots being developed on the subject site. He expressed concerns with access to the trails and the development, density, infrastructure, and traffic and asked what the anticipated built out population for this development was.

Ryan Gamble, 2001 Brazos Drive, asked if the schools would be able to support increased student population, and expressed concerns with traffic, public services, and emergency service response times.

Jeffrey Knapp, 3625 Serendipity Hills Trail, asked that the half acre lots be brought up to FM 2181 and expressed concerns with density, parking, school population, and infrastructure.

Maria Morales, 1605 North Haven Drive, stated that she was sad to see all of the new development in Corinth and was concerned with the upkeep of infrastructure and drops in property values.

Sharon Stabile, 3450 Serendipity Hills Trail, stated that she was also like to see the single family lots adjacent to Serendipity Hills be extended to FM 2181, that she was opposed to higher density development and gating the development, and expressed concerns with impacts on wildlife.

Bruce Bordelon, 2204 Post Ridge Circle, recommended not considering the trail in the Commission's decision given that they are not currently maintained, asked that they consider developing all one acre lots, and was opposed to multifamily development.

Chair Nelson closed the Public Hearing at 8:30 PM.

Kevin Weir, Spiars Engineering, stated that they had worked extensively with the Enclave at Canyon Ranch developer to meet the intent of 2040 Comprehensive Plan. He explained that everything west of the long lake was practically unchanged in the current proposal from the existing PD. He stated that they were utilizing a higher mix of residential uses on the east side of the long lake to provide a variety of purchase prices for a wider demographic and to support the commercial tracts. He explained utility improvements, including a lift station, would be installed as part of the development process and that the larger lots in Subdistrict C would be served by septic.

Commissioner Guck asked about the walkability of the development and identify which trails were being proposed versus what was already existing.

Weir stated that the entirety of the boardwalk would be built after a certain percentage of the commercial portion is developed but explained that they did not have any authority over the Elm Fork Trail and any improvements that may be needed for this trail. He stated that the developers who they had communicated with had indicated a preference for a gated community due to the price point of these homes and for privacy.

Commissioner Guck asked what other amenities would be provided.

Michael Ingle, 3971 Summit Ridge Dr, stated that his number one objective was to preserve as much topography and trees as possible. He explained that he wants to coordinate with Corp of Engineers to have the Elm Fork Trail maintained, pointed out additional points on their property that could connect to the Corp trail, and stated that they were working to fix the smell of the existing offsite lift station. He stated that it was incredibly expensive to develop with the amount of topography on this site and stated that they were considering a senior living facility or similar use north of Subdistrict C to act as a transitional use from FM 2181 to the residential lots.

Chair Nelson asked what the density per acre would be in Subdistrict B.

Weir stated that it would be approximately 10 to 12 units per acre with 400 to 450 lots.

Chair Nelson asked if any wildlife corridors or other environmental easements were being considered.

Ingle stated that they were working with the Corp of Engineers to create wildlife corridors.

Chair Nelson asked if a TIA had been performed for this project.

Weir stated this would be performed at the time of Site Plan.

Commissioner Smith stated that he was concerned with the 1.5 parking spaces per unit.

Weir reiterated that this was only for the multifamily units and that this was a fairly typical ratio for multifamily development.

Dailey explained that this was a minimum ratio, and that the developer could exceed this ratio based on market demands.

Chair Nelson asked if parking would be garage or surface level.

Weir stated that they were looking to provide a mix of parking options.

Commissioner Smith asked to go over the tree preservation around the long lake again.

Dailey stated that 50% of healthy protected trees within the common open space area were required to be preserved.

Chair Nelson asked how wide this area was.

Weir stated it was 15' to 40' wide with a 15' easement for the trail.

Chair Nelson asked how they would work with the topography.

Ingle stated that there were multiple ways to work with the topography given the different uses and explained that the multifamily portion would likely require the most topography work given the larger foundation sizes.

Commissioner Rhule stated that she had concerns on the impact to wildlife regarding the gating of Subdistrict C and the proposed density of Subdistrict B. She asked that the developer consider going back to one acre lots for both Subdistrict C and B and asked that the commercial segment north of Subdistrict C be changed to residential one acre lots. She expressed concerns with the amount of different residential types proposed in Subdistrict B and its relation to the Enclave at Canyon Ranch Development and Subdistrict C. She asked if the Developer had been able to work with the Texas A&M Agrilife program and asked if they would speak to the concerns surrounding construction traffic.

Ingle stated that once the north south road was installed in Subdistrict C, all construction traffic should be coming into and out of the site via FM 2181, with no traffic through Serendipity Hills. Ingle presented their 3D renderings for the site to help the Commission and residents better visualize what was being proposed.

Commissioner Rhule stated that the 3D renderings were very helpful.

Commissioner Rhule asked if native and sustainable landscaping could be incorporated.

Ingle stated that they would continue to work with the Corps of Engineers and non-profits to incorporate these elements into the trails and open space areas.

Commissioner Guck asked how lighting would be addressed in different subdistricts.

Weir stated that a photometric plan would be provided and that they would adhere to the City's light ordinance.

Dailey stated that they would incorporate pedestrian lighting that directs lighting downward.

Inclan stated that the light ordinance requires shielded lighting and that photometric plans are required to ensure no light encroachment to surrounding properties.

Commissioner Rhule made a motion to recommend approval of Case No. ZAPD24-0007 Canyon Lake Ranch Planned Development with the added conditions that 1) a provision be added to the PD Development Standards indicating that no streets will be fenced or gated, 2) a trail be provided along the north side of Oak Bluff Drive that is a minimum of 6 feet wide, and 3) a trail connection be provided within the development boundaries from the common open space boardwalk/trail to the Oak Bluff Drive trailhead, seconded by Vice-Chair Klingele.

Chair Nelson asked if the gate from Serendipity Hills would be fire accessible.

Dailey stated that if this subdivision was gated, that it would be fire accessible from Serendipity Hills.

Motion passed unanimously: 5-for, 0-against.

5. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a request by the Applicant, Michael Ingle, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, to rezone approximately ±5.7 acres from Planned Development 36 (PD-36) to SF-2 Single Family Residential, with the subject property being generally located west of Scenic Drive, east of Oak Bluff Drive, and south of FM 2181. (Case No. ZMA24-0007 PD-36 to SF-2)

Miguel Inclan, Planner, provided an overview of the proposal and recommended approval as presented.

Chair Nelson opened and closed the public hearing at 9:11 PM.

Commissioner Bruxvoort made a motion to recommend approval of Case No. ZMA24-0007 as presented, seconded by Vice-Chair Klingele.

Motion passed unanimously: 5-for, 0-against.

F. DIRECTORS REPORT

Dailey stated that the Phelan Subdivision Waiver and alternative compliance for landscaping was approved at the previous city council meeting.

G. ADJOURNMENT

There being no further business before the Commission, the Regular Session was adjourned at 9:12 PM.

MINUTES APPROVED THIS _____ DAY OF _____, 2024.

Alan Nelson, Planning and Zoning Commission Chairman

DRAFT



CITY OF CORINTH Staff Report

Meeting Date:	12/9/2024	Title:	RP23-0004: Classic Mazda Addition Replat		
Governance Focus:	<i>Focus:</i>	<input checked="" type="checkbox"/> Owner	<input checked="" type="checkbox"/> Customer	<input checked="" type="checkbox"/> Stakeholder	
	<i>Decision:</i>	<input type="checkbox"/> Governance Policy		<input checked="" type="checkbox"/> Ministerial Function	

Item/Caption

Consider and act on a request by the Applicant, Eagle Surveying, for a Replat of the Classic Mazda Addition Subdivision, being ±5.36 acres located at 5000 South I-35E. (Case No. RP23-0004)



Aerial Location Map

Item Summary/Background/Prior Action

This Replat was denied by the Planning & Zoning Commission on January 22, 2024 due to several comments from Staff and BHC, the city’s consulting Engineering firm. The purpose of this Replat is to relocate existing easements and dedicate new easements for the construction of a service reception building for a complex of vehicle dealerships that straddles the city limits of Corinth and Denton, requiring approval of this Replat by both cities. The property is zoned PD-6 – Oakmont.

Per Section 212.093 of the Texas Local Government Code, after receiving a written statement of disapproval, an Applicant is afforded an unlimited amount of time to revise the Replat application. Once an Applicant formally resubmits a revised application on a designated “Agenda Submittal Day” as outlined in the city’s Development Calendar, the Planning & Zoning Commission has 15 days to act on the application.

Staff Recommendation

The Replat resubmittal has been reviewed and Staff recommends approval subject to the Applicant satisfying the standard conditions required by UDC 3.03.03 H[4], This UDC section requires that a motion to approve a Final Plat [Replat] shall be subject to the following conditions, whether or not stated in the motion to approve:

- a. All required fees shall be paid.
- b. All covenants required by ordinances have been reviewed and approved by the City.
- c. On-site easements and rights-of-way have been dedicated and filed of record and properly described and noted on the proposed plat.
- d. All required abandonments of public rights-of-way or easements that must be approved by the City Council and the abandonment ordinance numbers are shown on the plat.
- e. Abandonment documents for all other easements not requiring City Council approval have been filed of record and properly described and noted on the plat.
- f. Original tax certificates have been presented from each taxing unit with jurisdiction of the real property showing the current taxes are paid.
- g. Staff is authorized to approve any additions and/or alterations to the easements, dedications, and plat notes included in the Final Plat.

Per Texas Local Government Code Chapter 212, the Planning & Zoning Commission is required to act at this meeting to comply with the state-mandated 15-day deadline.

Applicable Policy/Ordinance

- Unified Development Code
- Texas Local Government Code

Motion

“I move to conditionally approve Case No. RP23-0004 – Classic Mazda Addition Replat subject to the Applicant satisfying the conditions outlined in UDC Subsection 3.03.03 H[4]”

Alternative Action by the Planning and Zoning Commission

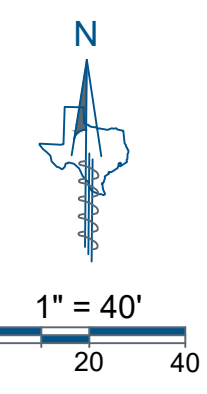
The Planning and Zoning Commission may Disapprove the application.

Attachments

1. Proposed Replat

CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C2	35.54'	74.00'	27°31'00"	S 39°48'10" E	35.20'
C3	12.50'	26.00'	27°32'47"	S 39°49'04" E	12.38'
C4	24.04'	50.00'	27°32'47"	N 39°49'04" W	23.81'
C5	24.01'	50.00'	27°31'00"	N 39°48'10" W	23.78'
C6	3.75'	74.00'	2°54'07"	S 41°17'41" E	3.75'
C7	12.23'	51.00'	13°44'35"	S 46°42'54" E	12.20'
C8	17.62'	51.00'	19°47'56"	S 63°29'10" E	17.54'
C9	17.27'	50.00'	19°47'40"	S 63°29'18" E	17.19'
C10	8.98'	26.00'	19°47'40"	N 63°29'18" W	8.94'
C11	25.92'	75.00'	19°47'56"	N 63°29'10" W	25.79'
C12	17.99'	75.00'	13°44'35"	N 46°42'54" W	17.95'
C13	1.12'	50.00'	1°17'06"	N 40°29'10" W	1.12'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 36°24'33" W	24.00'
L2	S 39°50'37" E	35.37'
L3	S 73°23'08" E	47.34'
L4	S 36°24'32" W	24.00'
L5	N 73°23'08" W	47.34'
L6	N 39°50'37" W	35.37'
L7	N 53°35'19" W	19.11'
L8	N 08°03'33" W	25.46'
L9	N 53°35'39" W	19.20'
L10	N 36°16'35" E	18.92'
L11	S 53°37'43" E	26.05'
L12	S 36°24'48" W	3.04'
L13	S 08°03'33" E	25.32'
L14	S 53°35'19" E	4.58'
L15	S 36°25'54" W	13.69'
L16	S 53°33'48" E	7.82'
L17	S 36°24'59" W	2.30'
L18	S 36°45'30" W	5.12'
L19	N 53°49'44" W	17.40'
L20	N 08°35'19" W	86.83'
L21	S 81°01'59" W	27.47'
L22	S 08°34'34" E	38.52'
L23	S 36°24'39" W	28.89'
L24	N 53°33'48" W	16.92'
L25	N 36°25'54" E	20.94'
L26	S 53°35'20" E	0.91'
L27	N 36°24'41" E	1.32'
L28	N 08°34'33" W	38.52'
L29	N 81°01'07" E	40.71'
L30	S 08°35'19" E	102.11'
L31	N 51°48'05" E	26.47'
L32	S 50°05'28" E	107.10'
L33	S 26°55'49" E	31.34'



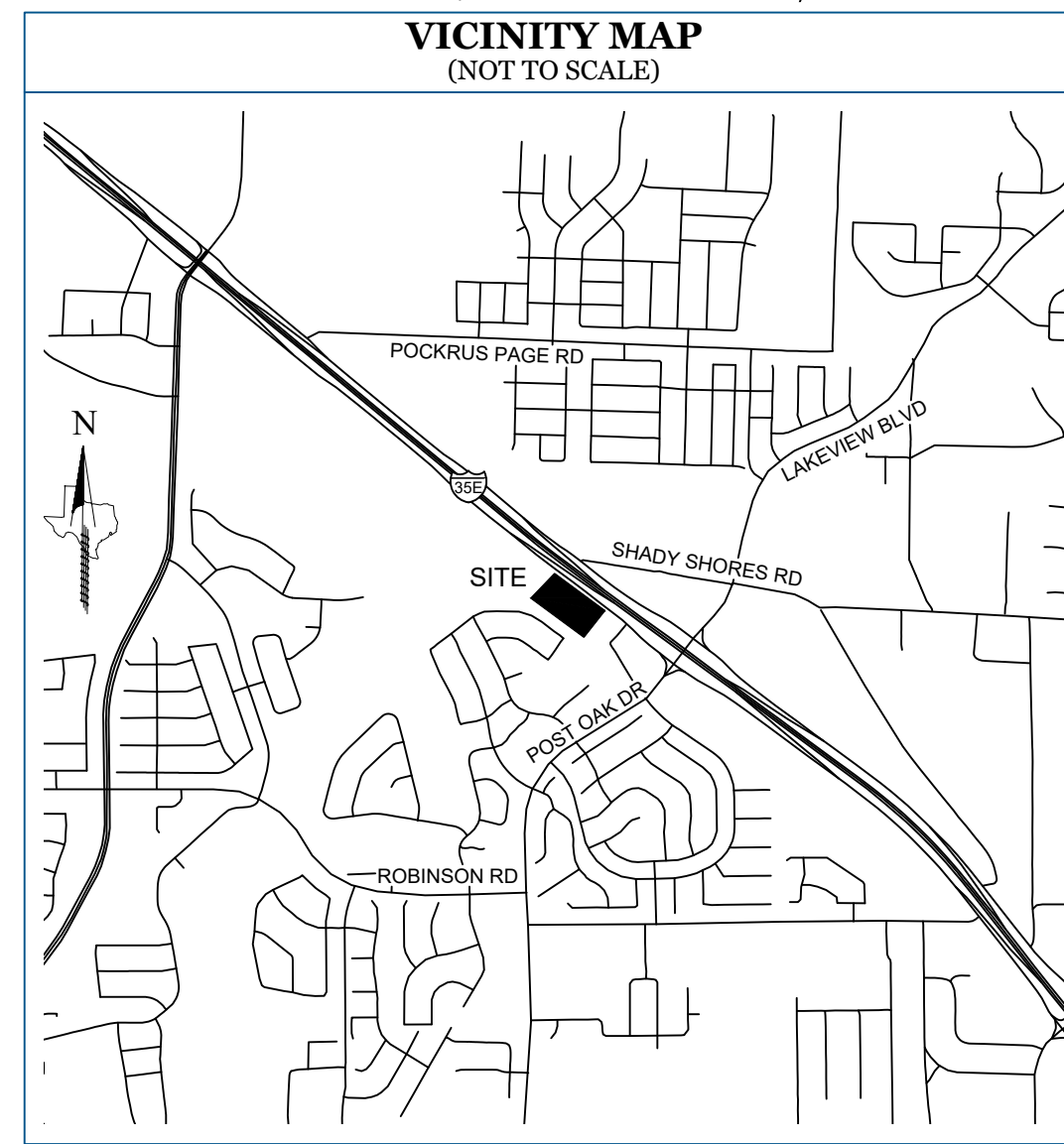
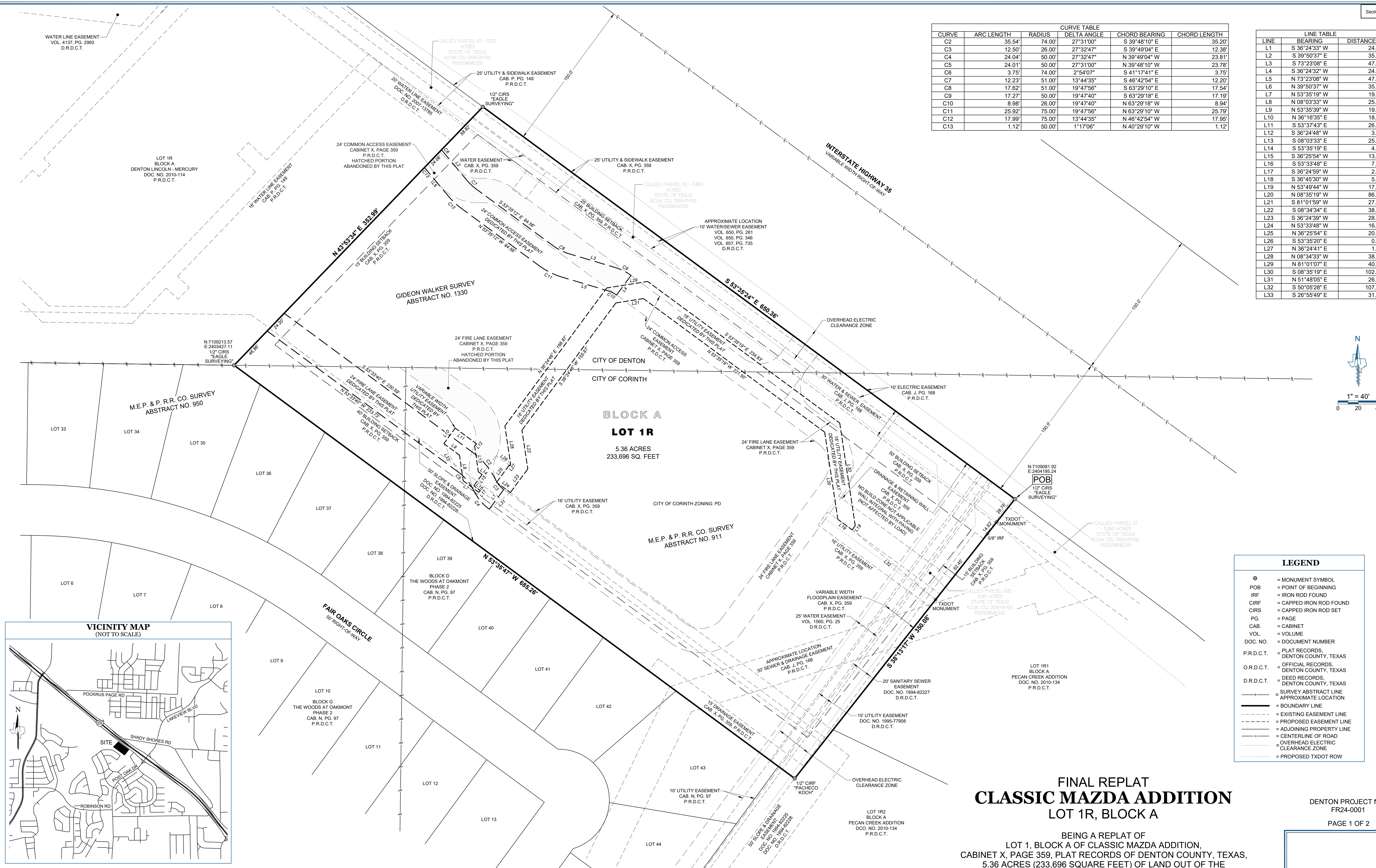
LEGEND	
●	= MONUMENT SYMBOL
○	= POINT OF BEGINNING
IRF	= IRON ROD FOUND
CIRF	= CAPPED IRON ROD FOUND
CIRS	= CAPPED IRON ROD SET
PG.	= PAGE
CAB.	= CABINET
VOL.	= VOLUME
DOC. NO.	= DOCUMENT NUMBER
P.R.D.C.T.	= PLAT RECORDS, DENTON COUNTY, TEXAS
O.R.D.C.T.	= OFFICIAL RECORDS, DENTON COUNTY, TEXAS
D.R.D.C.T.	= DEED RECORDS, DENTON COUNTY, TEXAS
---	= SURVEY ABSTRACT LINE
---	= APPROXIMATE LOCATION
---	= BOUNDARY LINE
---	= EXISTING EASEMENT LINE
---	= PROPOSED EASEMENT LINE
---	= ADJOINING PROPERTY LINE
---	= CENTERLINE OF ROAD
---	= OVERHEAD ELECTRIC CLEARANCE ZONE
---	= PROPOSED TXDOT ROW

**FINAL REPLAT
CLASSIC MAZDA ADDITION
LOT 1R, BLOCK A**

BEING A REPLAT OF
LOT 1, BLOCK A OF CLASSIC MAZDA ADDITION,
CABINET X, PAGE 359, PLAT RECORDS OF DENTON COUNTY, TEXAS,
5.36 ACRES (233,696 SQUARE FEET) OF LAND OUT OF THE
GIDEON WALKER SURVEY, ABSTRACT NO. 1330
CITY OF DENTON, DENTON COUNTY, TEXAS
THE M.E.P. & P. R.R. CO. SURVEY, ABSTRACT NO. 911
AND THE M.E.P. & P. R.R. CO. SURVEY, ABSTRACT NO. 950
CITY OF CORINTH, DENTON COUNTY, TEXAS
CORINTH ZONING: PD

DENTON PROJECT NO:
FR24-0001
PAGE 1 OF 2

PLAT PREPARED 01/23/2024



<p>JOB NUMBER 1807.026-02</p> <p>DATE 11/10/2023</p> <p>REVISION 10/25/2024</p> <p>DRAWN BY TAR</p>	 <p>EAGLE SURVEYING</p>	<p>Eagle Surveying, LLC 222 South Elm Street Suite: 200 Denton, TX 76201 940.222.3009 www.eaglesurveying.com TX Firm # 10194177</p>	<p>SURVEYOR Eagle Surveying, LLC Contact: Brad Eubanks 222 S. Elm Street, Suite: 200 Denton, TX 76201 (940) 222-3009</p> <p>OWNER Group 1 Realty, Inc. 800 Gessner Road, Suite 500 Houston, TX 77024</p>
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CITY OF CORINTH
Staff Report

Meeting Date:	12/9/2024	Title:	PP24-0002: Quarry Townhomes Addition Preliminary Plat		
Governance Focus:	<i>Focus:</i>	<input checked="" type="checkbox"/> Owner	<input checked="" type="checkbox"/> Customer	<input checked="" type="checkbox"/> Stakeholder	
	<i>Decision:</i>	<input type="checkbox"/> Governance Policy		<input checked="" type="checkbox"/> Ministerial Function	

Item/Caption

Consider and act on a request by the Applicant, Rockbrook Development, for a Preliminary Plat for the Quarry Townhomes Addition Subdivision, being ±9.0007 acres located at 3000 Parkridge Drive. (Case No. PP24-0002)



Aerial Location Map

Item Summary/Background/Prior Action

This Preliminary Plat was denied by the Planning & Zoning Commission on February 26, 2024 due to several comments from Staff and BHC, the city's consulting Engineering firm. The purpose of this Preliminary Plat is to establish a subdivision consisting of 90 condominiums on two (2) lots and four (4) open space lots on approximately ±9.0007 acres. The property is zoned Planned Development No. 66 – Quarry MF (Base Zoning: MF-1 Multifamily).

A Site Plan for the development is in the process of being approved. This permitted Staff to work with the Applicant to address all comments identified in the original Preliminary Plat submittal. Approval of the Preliminary Plat and Site Plan will allow the applicant to submit detailed Civil Engineering Construction Plans for review.

Per Section 212.093 of the Texas Local Government Code, after receiving a written statement of disapproval, an Applicant is afforded an unlimited amount of time to revise the Preliminary Plat application. Once an Applicant formally resubmits a revised application on a designated "Agenda Submittal Day" as outlined in the city's Development Calendar, the Planning & Zoning Commission has 15 days to act on the revised application.

Staff Recommendation

The Development Review Committee and the city's consulting engineering firm, Shield Engineering, have reviewed this Preliminary Plat and recommend approval as presented.

Per Texas Local Government Code Chapter 212, the Planning & Zoning Commission is required to act at this meeting to comply with the state-mandated 15-day deadline.

Applicable Policy/Ordinance

- Unified Development Code
- Texas Local Government Code

Motion

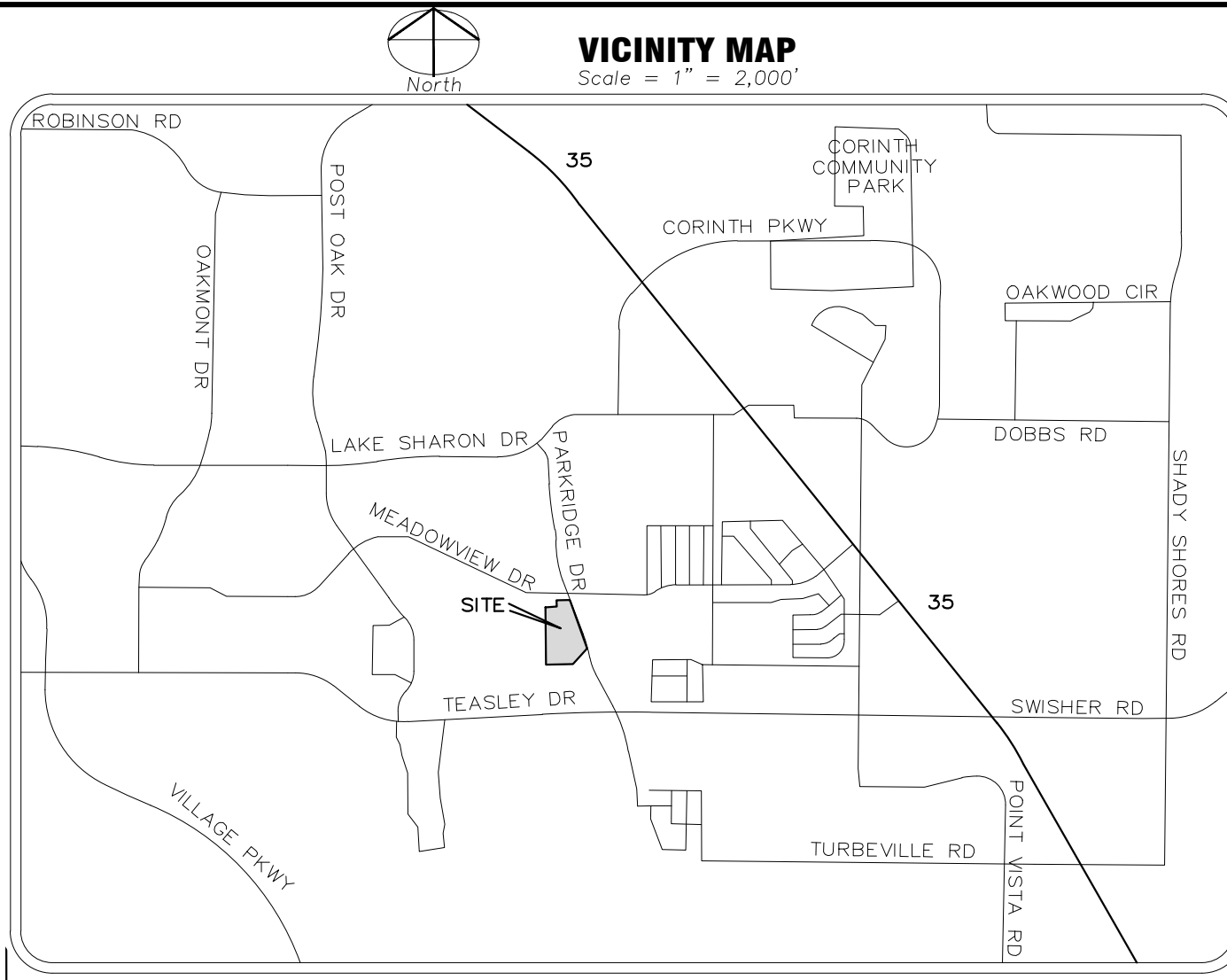
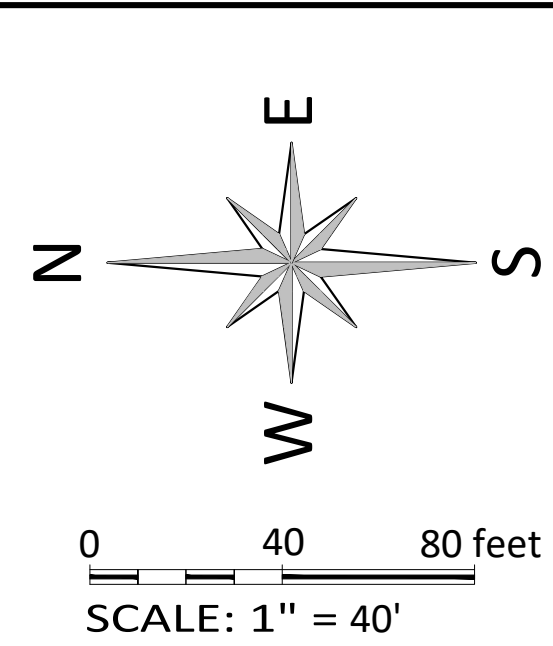
"I move to approve Case No. PP24-0002 – Quarry Townhomes Addition Preliminary Plat as presented."

Alternative Action by the Planning and Zoning Commission

The Planning and Zoning Commission may Disapprove the application.

Attachments

1. Proposed Preliminary Plat



LEGEND
• property corner
• post

LEGEND:
MONCF = Concrete Monument Found
IRF = Iron Rod Found
CIRS = 5/8" Iron Rod with Purple Plastic Cap Stamped, "RPLS 6451" Set
CIRF = Capped Iron Rod Found
Vol., Pg. = Volume, Page
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P.R.D.C.T. = Plat Records, Denton County, Texas
D.R.D.C.T. = Deed Records, Denton County, Texas
O.P.R.D.C.T. = Official Public Records, Denton County, Texas
Sq. Ft. = Square Feet

Meadowview Drive
(60' R.O.W.)
Cab. N, Pg. 291
P.R.D.C.T.

Zoned: SF-4

Parkridge Drive
(Variable with R.O.W.)
Centerline

Lot 1R, Block 1,
LAKE DALLAS ISD SCHOOL ADDITION
Y, Pg. 803
Cab. P.R.D.C.T.
Zoned: SF-4

(Approximate Location)
(No Monuments Found)

(Remainder of)
(Tract 3)
Dianne Ray Arnold
Instr. No. 2021-159119
O.P.R.D.C.T.

Zoned: SF-2

Lot 1, Block A
128,542 Sq. Ft.
(2.951 Acres)

Lot 2X, Block A
Retention Pond,
Tree Preservation,
& Open Space Lot
117,175 Sq. Ft.
(2.690 Acres)

Zoned: PD-66
(MF-1)

E. MARSH SURVEY,
ABSTRACT NO. 833

BROOKS BEALL SURVEY,
ABSTRACT NO. 58

Zoned: SF-2

M.E.P. & P.R.R. SURVEY,
ABSTRACT NO. 915

Lot 2X, Block B
North Open Space
20,525 Sq. Ft.
(0.4712 Acres)

Lot 4X, Block A
South Open Space
24,272 Sq. Ft.
(0.5572 Acres)

Lot 3X, Block A
Dog Park
4,522 Sq. Ft.
(0.1038 Acres)

Point of Beginning
(Survey Line)

(Approximate Location)
20' Pipeline Easement
Instr. No. 2010-17697
O.P.R.D.C.T.

B.B.B. & C.R.R. SURVEY,
ABSTRACT NO. 153

Zoned: SF-4

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	190.00	66.95	66.60	S 08°39'05" E	20°11'16"
C2	26.00	40.84	36.77	S 24°08'22" W	90°00'00"
C3	26.00	40.84	36.77	S 65°51'38" E	90°00'00"
C4	26.00	30.93	29.14	S 57°27'14" E	68°09'51"
C5	27.17	10.24	10.18	N 79°58'07" E	21°35'28"
C6	50.00	18.12	18.02	N 79°31'12" E	20°45'41"
C7	27.00	9.78	9.73	N 79°31'12" E	20°45'41"
C8	26.00	40.84	36.77	S 24°08'22" W	90°00'00"
C9	26.00	40.84	36.77	S 65°51'38" E	90°00'00"
C10	26.00	40.84	36.77	S 24°08'22" W	90°00'00"
C11	26.00	40.84	36.77	S 65°51'38" E	90°00'00"

LINE BEARING	DISTANCE
L1	S 20°51'38" E 5.00
L2	S 69°08'22" W 10.00
L3	S 20°51'38" E 5.00
L4	S 24°07'09" W 29.08
L5	S 65°52'51" E 15.00
L6	N 24°07'09" E 14.09
L7	S 69°08'22" W 5.00
L8	S 20°51'38" W 5.00
L9	S 69°08'22" W 5.00
L10	N 24°08'22" E 21.21
L11	N 65°51'38" W 21.21
L12	N 69°08'22" E 5.00
L13	S 20°51'38" E 5.00
L14	N 69°08'22" E 5.00
L15	S 20°51'38" E 5.00
L16	S 69°08'22" E 10.00
L17	N 24°08'22" E 21.21
L18	S 65°51'38" W 2.00
L19	S 20°51'38" W 33.75
L20	S 69°08'22" W 2.00
L21	N 24°08'22" E 21.21
L22	N 20°54'03" W 5.00
L23	N 69°08'22" E 10.00
L24	N 20°54'03" W 4.78
L25	N 65°51'38" W 21.21
L26	N 20°51'38" W 5.00
L27	N 69°08'22" E 5.00
L28	S 20°51'38" E 5.00
L29	S 20°51'38" E 4.98
L30	N 24°08'22" E 21.21
L31	N 20°51'38" W 5.00
L32	S 65°51'38" E 21.21
L33	N 24°08'22" E 21.21
L34	S 69°08'22" W 5.00
L35	N 24°08'22" E 21.21
L36	N 65°51'38" W 21.21
L37	N 24°08'22" E 21.21
L38	S 65°51'38" E 21.21
L39	N 24°08'22" E 21.21
L40	N 65°51'38" W 21.21

GENERAL PLAT NOTES:

- The purpose of this plat is to create six (6) Lots from existing Tracts of land.
- Lot-to-lot drainage is not permitted without Engineering Section approval.
- Basis of Bearings: STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983. ADJUSTMENT REALIZATION 2011.
- No portion of the subject property lies within any area of 100-year flood according to FEMA's Flood Insurance Rate Map No. 48121C0389 H, dated June 19, 2020. Property is in zone X.
- All existing structures are to be removed.
- Zoning Designation: PD-66 (Zoning Ordinance 23-05-18-19)
- Source Benchmarks: City of Corinth Monument #3, located at the intersection of Meadowview Road and Forest Wood Drive.
Elevation = 636.61'
- Quarry Condominium Townhomes Homeowner Association LLC shall be responsible for the operation and maintenance of the common areas and amenities.
- No structure, object, or plant of any type may obstruct vision from a height of 30 inches to a height of 10 feet above the top of the curb, including, but not limited to buildings, fences, walls, signs, trees, shrubs, cars, trucks, etc., in the sight visibility easement as shown on the Plat. These sight visibility easements will remain in effect until vacated by ordinance adopted by the City Council and the property replatted.

ENGINEER
Oracle Engineering
Address: 2204 Green Hill Dr
McKinney, TX 75070
Contact: Matt Kostial, PE
214-226-5325
mpkostial@gmail.com

OWNER
ROCKBROOK DEVELOPMENT, LLC
2120 Cosmos Way
Argyle, Texas 76226
Contact: Jason Rose
214-454-7895
jason@josearchitect.com

SURVEYOR
ARS ENGINEERS, INC.
3440 Sojourn Drive, Ste. 230
Carrollton, Texas 75006
Contact: Dustin D. Davison, RPLS
214-317-0685
ddavison@arsengineers.com
Surveying Firm #101319-00

**PRELIMINARY PLAT
QUARRY TOWNHOMES ADDITION
Lots 1, 2X, 3X, & 4X, Block A &
Lots 1 & 2X, Block B**

Being a total of 9.007 Acres out of the B.B.B. & C.R.R. Survey, Abstract No. 153, M.E.P. & P.R.R. Survey, Abstract No. 915, E. Marsh Survey, Abstract No. 833, & Brooks Beall Survey, Abstract No. 58 City of Corinth, Denton County, Texas
Preparation Date: October 12, 2023
Revision Date: September 24, 2024

OWNER'S CERTIFICATE

STATE OF TEXAS)(
COUNTY OF DENTON)(

I, ROCKBROOK DEVELOPMENT, LLC, the undersigned owner of the land shown on this plat within the area described by metes and bounds as follows:

BEING a 392,365 square foot (9.007 acre) tract of land situated in the B.B.B. & C.R.R. Survey, Abstract No. 153, the M.E.P. & P.R.R. Survey, Abstract No. 915, the E. Marsh Survey, Abstract No. 833, and the Brooks Beall Survey, Abstract No. 58, City of Corinth, Denton County, Texas, same being that certain tract of land conveyed to ROCKBROOK DEVELOPMENT, LLC, by Special Warranty Deed (With Third Party Vendor's Lien) recorded in Instrument Number 2021-219809, Official Public Records, Denton County, Texas, further being a portion of those certain Tracts 3 and 4 of land conveyed to Dianne Roy Arnold, by Distribution Deed recorded in Instrument Number 2021-159119, Official Public Records, Denton County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1" Pipe Found at the northeasterly corner of that certain TRACT 23 conveyed to Acme Brick Company, by General Warranty Deed recorded in Volume 3127, Page 930, Deed Records, Denton County, Texas, same being in the south line of that certain TRACT 24 conveyed to said Acme Brick Company, from which a Concrete Monument bears North 39 degrees 49 minutes 40 seconds East, for 0.35 feet;

THENCE South 88 degrees 44 minutes 57 seconds East, along said south line, for a distance of 171.53 feet, to a Wooden Post Found, from which a 36" Oak Tree bears South 50 degrees 21 minutes 36 seconds East, for 1.89 feet, same being the southeast corner of said TRACT 24;

THENCE North 00 degrees 05 minutes 24 seconds West, along the east line of said TRACT 24, for a distance of 65.90 feet, to a 5/8" iron rod with Purple plastic cap stamped, "RPLS 6451" set in the east line of said TRACT 24, same being the southwest corner of TRACT 25 of the aforementioned Acme Brick Company;

THENCE South 89 degrees 49 minutes 13 seconds East, along the south line of said TRACT 25, for a distance of 121.00 feet, to a 5/8" iron rod with Purple plastic cap stamped, "RPLS 6451" set in the westerly line of Parkridge Drive (Variable Width R.O.W.), same being the southeast corner of said TRACT 25;

THENCE South 20 degrees 51 minutes 38 seconds East, along said Parkridge Drive, for a distance of 685.51 feet, to a 5/8" iron rod with Purple plastic cap stamped, "RPLS 6451" set at the northerly corner of the aforementioned Tract 4, from which a 1/2" iron rod bears, North 20 degrees 51 minutes 38 seconds West, for 7.50 feet;

THENCE South 59 degrees 59 minutes 36 seconds West, departing said Parkridge Drive, along the north line of said Tract 4, for a distance of 203.15 feet, to a 5/8" iron rod with Purple plastic cap stamped, "RPLS 6451" set;

THENCE South 24 degrees 59 minutes 38 seconds West, over and across said Tract 4 and over and across the aforementioned Tract 3, for a distance of 206.32 feet, to a 5/8" iron rod with Purple plastic cap stamped, "RPLS 6451" set;

THENCE South 60 degrees 53 minutes 16 seconds West, continuing over and across said Tract 3, for a distance of 259.45 feet, to a 5/8" iron rod with Purple plastic cap stamped, "RPLS 6451" set in the most easterly northeasterly corner of the aforementioned TRACT 23, same being in the southerly line of said Tract 3;

THENCE South 83 degrees 30 minutes 36 seconds West, along the southerly line of said Tract 3 and along the most easterly northeasterly line of said TRACT 23, for a distance of 72.42 feet, to a 5/8" iron rod with Purple plastic cap stamped, "RPLS 6451" set;

THENCE North 01 degrees 26 minutes 33 seconds East, passing at a distance of 192.62 feet, from which a 5/8" iron rod with Yellow plastic cap stamped, "CARTER BURGESS" found, continuing for a total distance of 1002.13 feet to the POINT OF BEGINNING and containing 392,365 square feet or 9.007 acres of land, more or less.

and designated herein as the QUARRY TOWNHOMES ADDITION Subdivision to the City of Corinth, Texas, and whose name is subscribed hereto, hereby dedicate to the public use forever by fee simple title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, parks, and trails, and to the public use forever easements for sidewalks, storm drainage facilities, floodways, water mains, wastewater mains and other utilities, and any other property necessary to serve the plat and to implement the requirements of the platting ordinances, rules, and regulations thereon shown for the purpose and consideration therein expressed.

Owner: Jason Rose

Date:

STATE OF TEXAS)(
COUNTY OF DENTON)(

BEFORE ME, the undersigned authority, a Notary Public in and for Dallas County, Texas, on this day personally appeared Jason Rose, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purposes and considerations therein expressed and in the capacity therein stated.

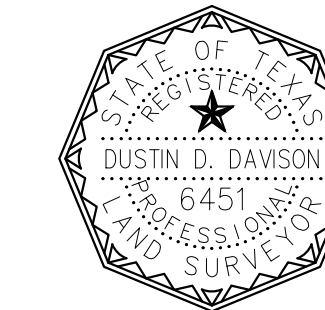
Given under my hand and seal of office, this ____ day of _____, 2024.

NOTARY PUBLIC in and for the State of Texas

SURVEYOR'S CERTIFICATION

STATE OF TEXAS)(
COUNTY OF DALLAS)(

I, Dustin D. Davison, Registered Professional Land Surveyor in the State of Texas, do hereby certify that this plat is true and correct, and was prepared from and actual survey of the property made under my supervision on the ground.



PRELIMINARY
RELEASED 09/24/24 FOR REVIEW PURPOSES ONLY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE.
Dustin D. Davison, R.P.L.S.
Registration No. 6451

STATE OF TEXAS)(
COUNTY OF DALLAS)(

BEFORE ME, the undersigned authority, a Notary Public in and for Dallas County, Texas, on this day personally appeared Dustin D. Davison, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purposes and considerations therein expressed and in the capacity therein stated.

Given under my hand and seal of office, this ____ day of _____, 2024.

NOTARY PUBLIC in and for the State of Texas

LEGEND:

- MONCF = Concrete Monument Found
IRF = Iron Rod Found
CIRS = 5/8" Iron Rod with Purple Plastic Cap Stamped, "RPLS 6451" Set
CIRF = Capped Iron Rod Found
Vol., Pg. = Volume, Page
Cab., Pg. = Cabinet, Page
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D.R.D.C.T. = Deed Records, Denton County, Texas
O.P.R.D.C.T. = Official Public Records, Denton County, Texas
Sq. Ft. = Square Feet

GENERAL PLAT NOTES:

- 1. The purpose of this plat is to create six (6) Lots from existing Tracts of land.
2. Lot-to-lot drainage is not permitted without Engineering Section approval.
3. Basis of Bearings: STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983. ADJUSTMENT REALIZATION 2011.
4. No portion of the subject property lies within any area of 100-year flood according to FEMA's Flood Insurance Rate Map No. 48121C0389 H, dated June 19, 2020. Property is in zone X.
5. All existing structures are to be removed.
6. Zoning Designation: PD-66 (Zoning Ordinance 23-05-18-19)
7. Source Benchmarks: City of Corinth Monument #3, located at the intersection of Meadowview Road and Forest Wood Drive.
Elevation = 636.61'
8. Quarry Condominium Townhomes Homeowner Association LLC shall be responsible for the operation and maintenance of the common areas and amenities.
9. No structure, object, or plant of any type may obstruct vision from a height of 30 inches to a height of 10 feet above the top of the curb, including, but not limited to buildings, fences, walls, signs, trees, shrubs, cars, trucks, etc., in the sight visibility easement as shown on the Plat. These sight visibility easements will remain in effect until vacated by ordinance adopted by the City Council and the property replatted.

APPROVED BY THE PLANNING & ZONING COMMISSION

ON THIS ____ DAY OF _____, 202__

DIRECTOR OF DEVELOPMENT SERVICES

CITY SECRETARY

PRELIMINARY PLAT
QUARRY TOWNHOMES ADDITION
Lots 1, 2X, 3X, & 4X, Block A &
Lots 1 & 2X, Block B

Being a total of 9.007 Acres out of the B.B.B. & C.R.R. Survey, Abstract No. 153, M.E.P. & P.R.R. Survey, Abstract No. 915, E. Marsh Survey, Abstract No. 833, & Brooks Beall Survey, Abstract No. 58 City of Corinth, Denton County, Texas Preparation Date: October 12, 2023 Revision Date: September 24, 2024

ENGINEER

Oracle Engineering
Address: 2204 Green Hill Dr
McKinney, TX 75070
Contact: Matt Kostial, PE
214-226-5325
mpkostial@gmail.com

OWNER

ROCKBROOK DEVELOPMENT, LLC
2120 Cosmos Way
Argyle, Texas 76226
Contact: Jason Rose
214-454-7895
jason@josearchitect.com

SURVEYOR

ARS ENGINEERS, INC.
3440 Sojourn Drive, Ste. 230
Carrollton, Texas 75006
Contact: Dustin D. Davison, RPLS
214-317-0685
ddavison@arsengineers.com
Surveying Firm #101319-00

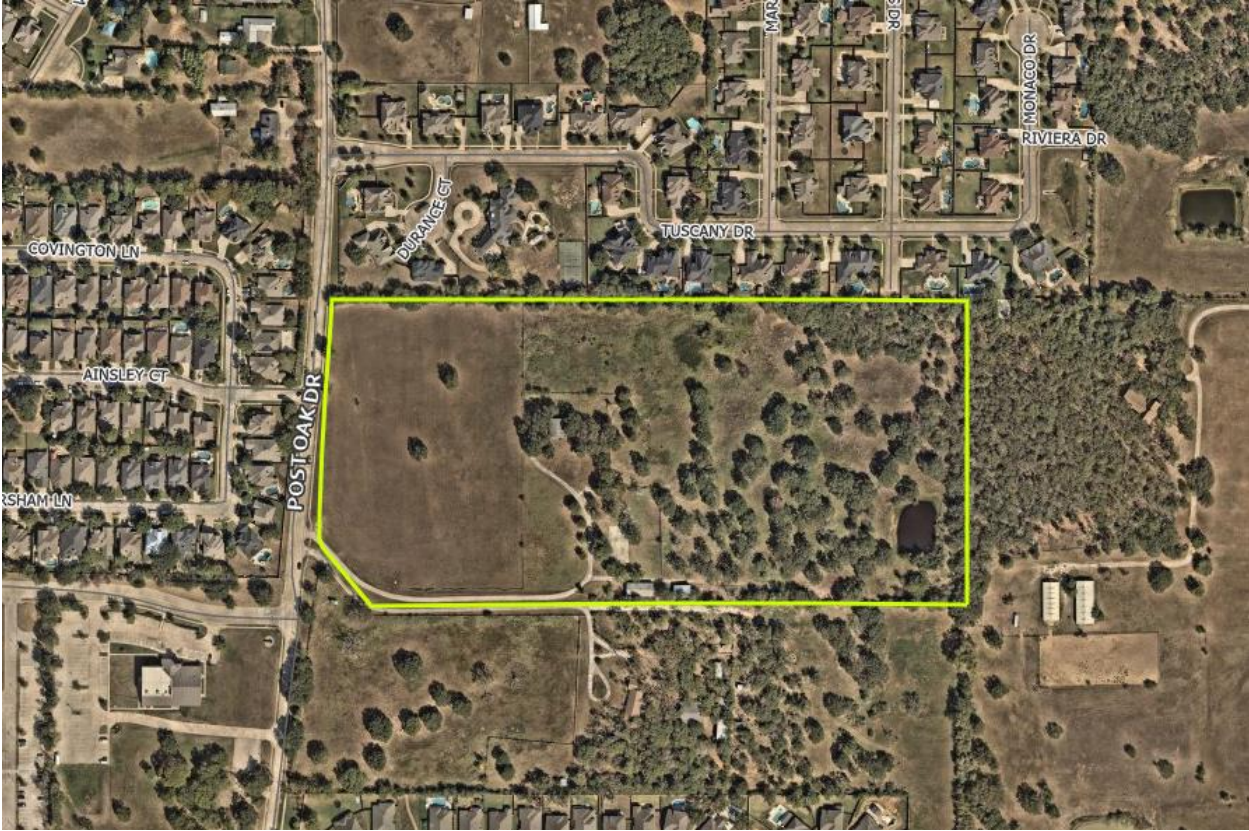


CITY OF CORINTH Staff Report

Meeting Date:	12/9/2024	Title:	FP24-0005: Hillside of Corinth Final Plat
Governance Focus:	<i>Focus:</i>	<input checked="" type="checkbox"/> Owner	<input checked="" type="checkbox"/> Customer <input checked="" type="checkbox"/> Stakeholder
	<i>Decision:</i>	<input type="checkbox"/> Governance Policy	<input checked="" type="checkbox"/> Ministerial Function

Item/Caption

Consider and act on a request by the Applicant, Ridinger Associates, for approval of a Final Plat of the Hillside of Corinth Subdivision, being ±24.189 acres located at 1909 Post Oak Drive. (Case No. FP24-0005)



Aerial Location Map

Item Summary/Background/Prior Action

A Preliminary Plat for this subdivision was approved by the Planning & Zoning Commission on February 26, 2024. The purpose of this Final Plat is to establish a subdivision consisting of 67 single family residential lots, six (6) open space/pedestrian access/drainage/tree preservation lots, and one (1) remainder lot. The majority of the property is zoned Planned Development No. 69 – Hillside of Corinth (Base Zoning: SF-4 Single Family Residential), while the remainder lot is zoned SF-2 Single Family Residential.

The Civil Engineering Construction Plans for this subdivision are in the process of being approved. Approval of the Civil Engineering Construction Plans allows the Applicant to begin the installation of the necessary public and private infrastructure improvements to serve the development. The Applicant is working with the Public Works Department on finalizing the Development Agreement & Security (Bond) for Completion, which must be executed prior to being released for construction of improvements. The Unified Development Code (UDC) currently requires that the Final Plat be approved prior to executing the Development Agreement.

Staff Recommendation

The Development Review Committee and the city’s consulting engineering firm, Shield Engineering, have reviewed this Final Plat and recommend approval subject to the applicant addressing comments from Shield Engineering contained in the attached Final Plat, as well as satisfying the conditions required by UDC 3.03.03 H[4]. This UDC section requires that a motion to approve a Final Plat shall be subject to the following conditions, whether or not stated in the motion to approve:

- a. All required fees shall be paid.
- b. All covenants required by ordinances have been reviewed and approved by the City.
- c. On-site easements and rights-of-way have been dedicated and filed of record and properly described and noted on the proposed plat.
- d. All required abandonments of public rights-of-way or easements that must be approved by the City Council and the abandonment ordinance numbers are shown on the plat.
- e. Abandonment documents for all other easements not requiring City Council approval have been filed of record and properly described and noted on the plat.
- f. Original tax certificates have been presented from each taxing unit with jurisdiction of the real property showing the current taxes are paid.
- g. Staff is authorized to approve any additions and/or alterations to the easements, dedications, and plat notes included in the Final Plat.

Per Texas Local Government Code Chapter 212, the Planning & Zoning Commission is required to act at this meeting to comply with the state-mandated 30-day deadline.

Applicable Policy/Ordinance

- Unified Development Code
- Texas Local Government Code

Motion

“I move to conditionally approve Case No. FP24-0005 – Hillside of Corinth Final Plat subject to the Applicant addressing Engineering comments and satisfying the conditions outlined in UDC Subsection 3.03.03 H[4]”

Alternative Action by the Planning and Zoning Commission

The Planning and Zoning Commission may Disapprove the application.

Attachments

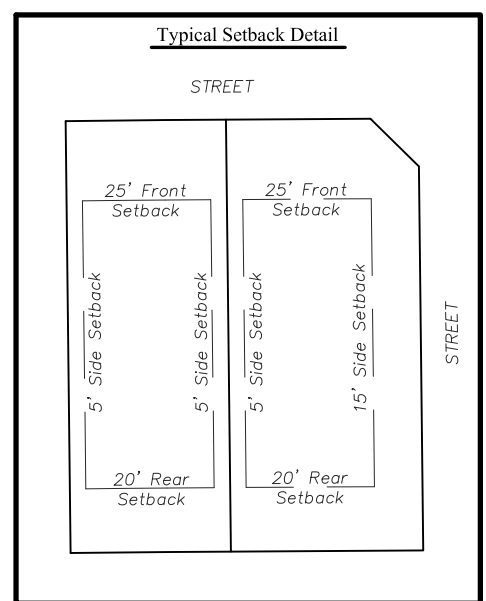
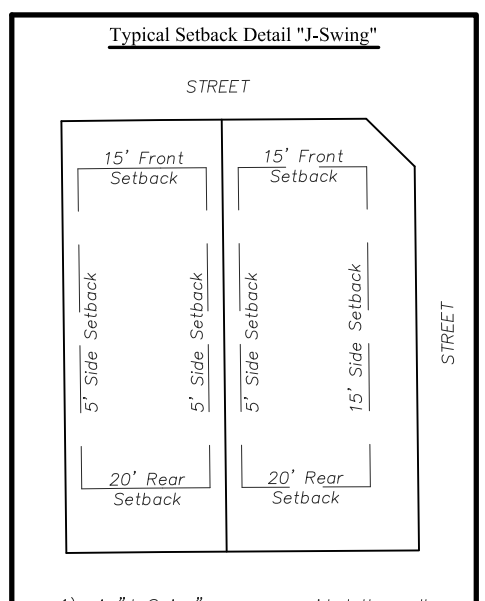
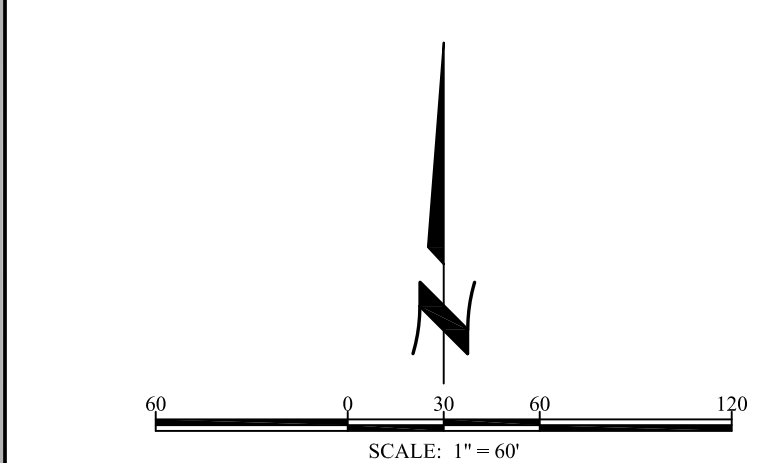
1. Proposed Final Plat with Engineering comments



Please provide all wall maintenance easements for all retaining walls.

Please provide preliminary roadway alignment to confirm correct ROW dedication.

Verify 30' dedication is consistent and continuous as there is a 2.22' segment that extends south then continuous to C29.



- 1) A "J-Swing" garage provided the wall of the garage faces the street...
2) An unenclosed front porch has a minimum dimension of seven feet in depth measured from stud to the front edge of the porch and a minimum width of ten feet.

- LEGEND
I.R.F. - 1/2" Iron Rod Found
I.R.S. - 1/2" Iron Rod Set with blue cap stamped "Old Town Surveying"
I.R.F.C. - 1/2" Iron Rod Found with cap
S.I.R.F.C. - 5/8" Iron Rod Found with cap stamped "PLS Inc."
"ASC" - Arthur Surveying Company
C.M. - Controlling Monument
R.O.W. - Right-of-Way
U.E. - Utility Easement
W.M.E. - Wall Maintenance Easement
P.D.E. - Private Drainage Easement
P.E. - Pedestrian Easement
O.P.R.D.C.T. - Official Public Records, Denton County, Texas
D.R.D.C.T. - Deed Records, Denton County, Texas
P.R.D.C.T. - Plat Records, Denton County, Texas

Line Table with columns: Line #, Direction, Length. Includes lines L1 through L14.

Curve Table with columns: Curve #, Radius, Length, Delta, Chord. Includes curves C1 through C15.

Curve Table with columns: Curve #, Radius, Length, Delta, Chord. Includes curves C16 through C27.

CERTIFICATE OF APPROVAL
APPROVED this ___ day of ___, 2024 by the Planning and Zoning Commission of the City of Corinth, Texas.

STATE OF TEXAS COUNTY OF DENTON
This is to certify that I, Thomas W. Mauk, a Registered Professional Land Surveyor of the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property made under my supervision on the ground.

PRELIMINARY
Thomas W. Mauk, R.P.L.S. No. 5119

STATE OF TEXAS COUNTY OF DENTON
BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Thomas W. Mauk, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ___ day of ___, 20__
Notary Public in and for the State of Texas

OWNER (Lot 1, Block E)
Antioch Christian Fellowship
2020 Post Oak Drive
Corinth, TX 76210
Contact: Norman Eubanks

ENGINEER
Ridinger Associates, Inc.
Civil Engineers - Planners

OWNER (Blocks A, B, C & D)
Rembert Enterprises
3625 Bonanza Lane, Flower Mound, TX 75022
Contact: Reginald Rembert

SURVEYOR
Old Town Surveying, LLC
Professional Land Surveyors

OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS COUNTY OF DENTON

WHEREAS Rembert Enterprises is the owner of a called 19971 acre portion of Lot 1, Block A, of Antioch Fellowship Addition, an addition to the City of Corinth, Denton County, Texas, according to the plat thereof recorded under Document Number 2016-128, Plat Records, Denton County, Texas (P.R.D.C.T.) as described by deed recorded under Instrument Number 2024-69914, Official Public Records, Denton County, Texas (O.P.R.D.C.T.), and Antioch Christian Fellowship of Corinth, Texas, Inc., is the owner of the remainder of said Lot 1, Block A of Antioch Fellowship Addition, and being more particularly described as follows:
BEGINNING at 1/2 inch iron rod with cap stamped "Kern" found for corner being the southeast corner of said Lot 1, same point being the northeast corner of a tract of land described as Tract 1 by deed to Madison Trust, recorded under Instrument Number 2024-69914, O.P.R.D.C.T., same point being in the west line of Lot 1, Block A of Haincup Family Farm, an addition to the City of Corinth, Denton County, Texas, according to the plat thereof recorded in Cabinet 1, Page 181, P.R.D.C.T.;
THENCE South 89 degrees 21 minutes 37 seconds West, a distance of 1393.24 feet to a 1/2 inch iron rod with cap stamped "Arthur Surveying Company" found for corner being a north corner of a tract of land described by deed to Heather Allison Bacon, Ron Fletcher and Mary Jane Fletcher, recorded under Instrument Number 2022-71102, O.P.R.D.C.T.;
THENCE North 41 degrees 51 minutes 32 seconds East, a distance of 175.84 feet to a 1/2 inch iron rod found for corner being in the east right-of-way line of Post Oak Road;
THENCE North 00 degrees 49 minutes 06 seconds West, a distance of 167.06 feet to a 1/2 inch iron rod found for corner being in the east right-of-way line of said Post Oak Road;
THENCE North 04 degrees 24 minutes 11 seconds East, a distance of 283.24 feet to a 1/2 inch iron rod with cap stamped "KAZ" found for corner being in the east right-of-way line of said Post Oak Road;
THENCE North 02 degrees 28 minutes 39 seconds East, a distance of 103.61 feet to a 1/2 inch iron rod with cap stamped "KAZ" found for corner being in the east right-of-way line of said Post Oak Road;
THENCE North 00 degrees 22 minutes 21 seconds West, a distance of 21.52 feet to a 1/2 inch iron rod with blue cap stamped "OLD TOWN SURVEYING" (OTS) set for corner being in the east right-of-way line of said Post Oak Road;
THENCE North 89 degrees 10 minutes 53 seconds East, passing at 17.17 feet a 1/2 inch iron rod with cap stamped "Kern" found for the southwest corner of Providence, an addition to the City of Corinth, Denton County, Texas, according to the plat thereof recorded under Document Number 2009-197, P.R.D.C.T., and continuing on for a total distance of 887.30 feet to a point from which a 1/2 inch iron rod with cap stamped "DC&S" found bears South 48 degrees 16 minutes 27 seconds East at 0.90 feet;
THENCE North 89 degrees 38 minutes 55 seconds East, a distance of 591.79 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for corner being an ell corner of Lot 2R, Block E, Providence, an addition to the City of Corinth, Denton County, Texas, according to the plat thereof recorded under Document Number 2016-96, P.R.D.C.T.;
THENCE South 00 degrees 37 minutes 59 seconds East, a distance of 706.23 feet to the POINT OF BEGINNING and containing 24.189 acres of land and designated herein as HILLSIDE OF CORINTH addition to the City of Corinth, Texas, and whose name is subscribed hereto, hereby dedicate to the public use hereof for fee simple title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, parks, and trails, and to the public use forever easements for sidewalks, storm drainage facilities, floodways, water mains, wastewater mains and other utilities, and any other property necessary to serve the plat and to implement the requirements of the platting ordinances, rules, and regulations thereon shown for the purpose and consideration therein expressed.

WITNESS my hand this ___ day of ___, 2024.
By: Norman Eubanks, Antioch Christian Fellowship of Corinth, Texas Inc. (Owner, Lot 1, Block E)
By: Reginald Rembert, Rembert Enterprises (Owner, Blocks A, B, C & D)

STATE OF TEXAS COUNTY OF DENTON
BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Norman Eubanks, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ___ day of ___, 20__
Notary Public in and for the State of Texas

STATE OF TEXAS COUNTY OF DENTON
BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Reginald Rembert, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ___ day of ___, 20__
Notary Public in and for the State of Texas

LIENHOLDER'S RATIFICATION OF PLAT DEDICATION

STATE OF TEXAS COUNTY OF DENTON

WHEREAS, Bank of the West, acting by and through the undersigned, its duly authorized agent, is the lienholder of the property described herein, does hereby ratify all dedications and provisions of this plat as shown.

By: Lienholder Date

STATE OF TEXAS COUNTY OF DENTON

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Chris Haverstick, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ___ day of ___, 20__

Notary Public in and for the State of Texas

FINAL PLAT
of
HILLSIDE OF CORINTH
Lots 1-9, 1X & 2X, Block A, Lots 1-22 & 1X, Block B, Lots 1-28 & 1X, Block C, Lots 1-8, 1X & 2X, Block D, Lot 1, Block E
24.189 Acres
being a replat of Lot 1, Block A of Antioch Fellowship Addition, Doc. No. 2016-128, P.R.D.C.T.
William Garrison Survey, Abstract No. 508
City of Corinth, Denton County, Texas
PD-69 (Base Zoning SF-4)
Revised: November 25, 2024 --
FOR DENTON COUNTY USE ONLY



CITY OF CORINTH Staff Report

Meeting Date:	12/9/2024	Title:	FP24-0006: Phelan Industrial Corinth Final Plat		
Governance Focus:	<i>Focus:</i>	<input checked="" type="checkbox"/> Owner	<input checked="" type="checkbox"/> Customer	<input checked="" type="checkbox"/> Stakeholder	
	<i>Decision:</i>	<input type="checkbox"/> Governance Policy		<input checked="" type="checkbox"/> Ministerial Function	

Item/Caption

Consider and act on a request by the Applicant, Urban Strategy, for approval of a Final Plat of the Phelan Industrial-Corinth Subdivision, being ±8.462 acres located at 1116 N Corinth Street. (Case No. FP24-0006)



Aerial Location Map

Item Summary/Background/Prior Action

The purpose of this Final Plat is to establish a one-lot subdivision. The property is zoned I-Industrial.

A Site Plan for an industrial building (distribution center) is currently under review and a Major Subdivision Waiver associated with this project was recommended for approval by the Planning & Zoning Commission in September 2024 and approved by the City Council in October 2024. The Civil Engineering Construction Plans for this subdivision are also under review. Approval of the Civil Engineering Construction Plans allows the Applicant to begin the installation of the necessary public and private infrastructure improvements to serve the development. The Applicant is also working with Public Works Department on finalizing the Development Agreement & Security (Bond) for Completion, which must be executed prior to being released for construction of improvements. The Unified Development Code (UDC) currently requires that the Final Plat be approved prior to executing the Development Agreement.

Staff Recommendation

The Development Review Committee and the city's consulting engineering firm, Shield Engineering, have reviewed this Final Plat and recommend approval subject to the applicant addressing comments from Shield Engineering contained in the attached Final Plat, as well as satisfying the conditions required by UDC 3.03.03 H[4]. This UDC section requires that a motion to approve a Final Plat shall be subject to the following conditions, whether or not stated in the motion to approve:

- a. All required fees shall be paid.
- b. All covenants required by ordinances have been reviewed and approved by the City.
- c. On-site easements and rights-of-way have been dedicated and filed of record and properly described and noted on the proposed plat.
- d. All required abandonments of public rights-of-way or easements that must be approved by the City Council and the abandonment ordinance numbers are shown on the plat.
- e. Abandonment documents for all other easements not requiring City Council approval have been filed of record and properly described and noted on the plat.
- f. Original tax certificates have been presented from each taxing unit with jurisdiction of the real property showing the current taxes are paid.
- g. Staff is authorized to approve any additions and/or alterations to the easements, dedications, and plat notes included in the Final Plat.

Per Texas Local Government Code Chapter 212, the Planning & Zoning Commission is required to act at this meeting to comply with the state-mandated 30-day deadline.

Applicable Policy/Ordinance

- Unified Development Code
- Texas Local Government Code

Motion

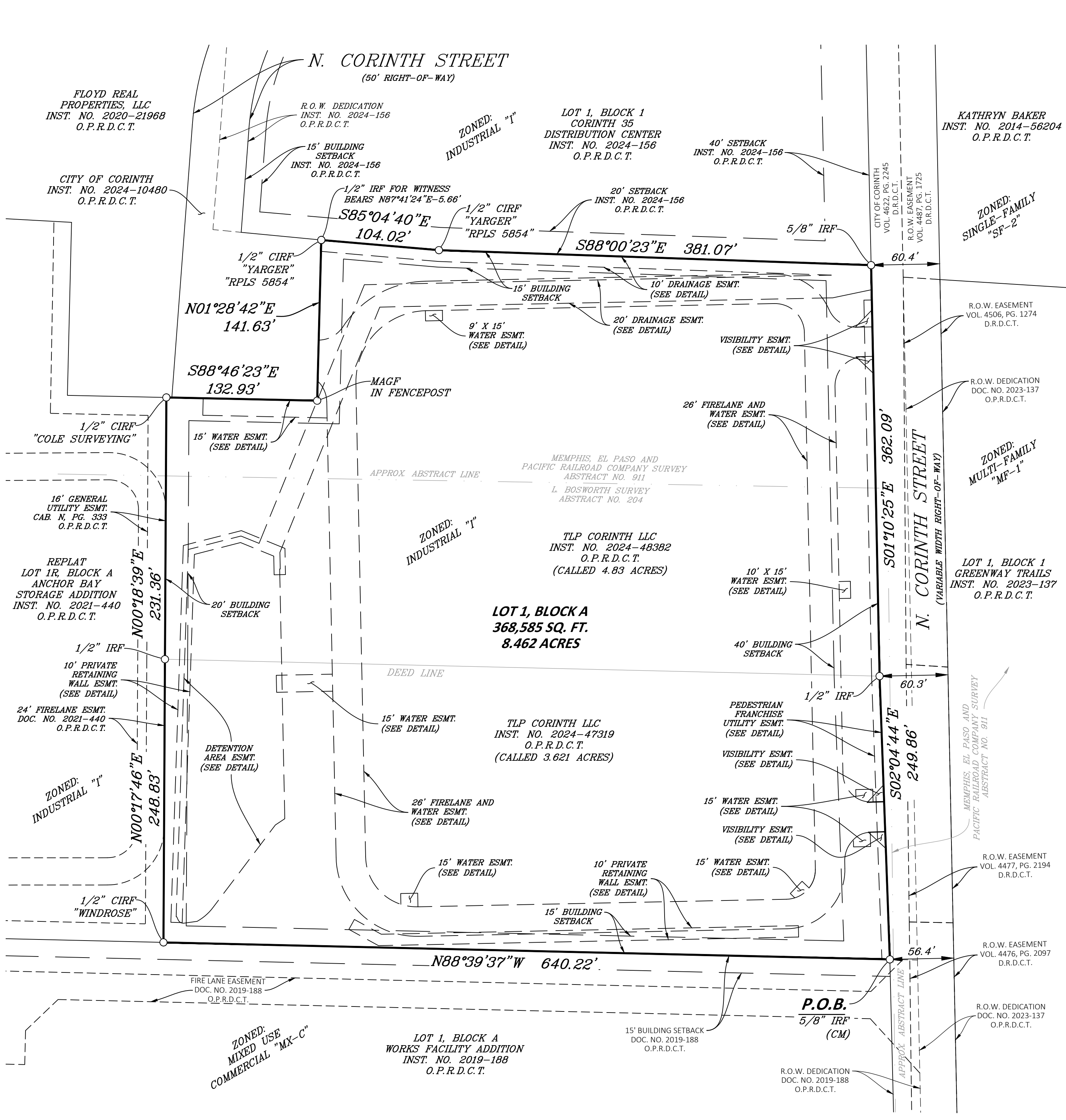
"I move to conditionally approve Case No. FP24-0006 – Phelan Industrial-Corinth Final Plat subject to the Applicant addressing Engineering comments and satisfying the conditions outlined in UDC Subsection 3.03.03 H[4]"

Alternative Action by the Planning and Zoning Commission

The Planning and Zoning Commission may Disapprove the application.

Attachments

1. Proposed Final Plat with Engineering comments



OWNER'S ACKNOWLEDGEMENT AND DEDICATION

STATE OF TEXAS §
 COUNTY OF DENTON §

We, the undersigned, owner(s) of the land shown on this plat within the area described by metes and bounds as follows:

WHEREAS TLP Corinth LLC, are the sole owners of a 368,585 square foot or 8.462 acres of land situated in the the Memphis, El Paso & Pacific Railroad Company Survey, Abstract Number 911, and the L. Bosworth Survey, Abstract Number 204, City of Corinth, Denton County, Texas, being all of that tract of land described to said TLP Corinth LLC, by Special Warrant Deed recorded in Instrument Number 2024-48382, and 2024-47319, Official Public Records, Denton County, Texas (O.P.R.D.C.T.), and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod found for the Northeast corner of Lot 1, Block A, Works Facility Addition, an addition to the City of Corinth, according to the map thereof recorded in Instrument Number 2019-188, O.P.R.D.C.T., and being in the west Right-of-Way (R.O.W.) line of N. Corinth Street, a variable width R.O.W.;

THENCE North 88 degrees 39 minutes 37 seconds West, with the north line of said Lot 1, a distance of 640.22 feet to a 1/2 inch iron rod found with cap stamped 'Windrose' for the Southeast corner of Lot 1R, Block A, Anchor Bay Storage Addition, an addition to the City of Corinth, Denton County, Texas, according to the Map thereof recorded in Instrument Number 2021-440, O.P.R.D.C.T.;

THENCE North 00 degrees 17 minutes 46 seconds East, with the east line of said Lot 1R, a distance of 248.83 feet to a 1/2 inch iron rod found for the northwest corner of said TLP Corinth LLC tract (2024-47319), and the southwest corner of said TLP Corinth LLC tract (2024-48382);

THENCE North 00 degrees 18 minutes 39 seconds East, continuing with the east line of said Lot 1R, a distance of 231.36 feet to a 1/2 inch iron rod with plastic cap stamped 'Cole Surveying' found for the northeast corner of said Lot 1R, and being on the south line of that tract of land described to City of Corinth, Texas, by deed recorded in Instrument Number 2024-10480, O.P.R.D.C.T.;

THENCE South 88 degrees 46 minutes 23 seconds East, with the south line of said City of Corinth tract, a distance of 132.93 feet to a mag nail in fencepost found for the southeast corner of said City of Corinth Tract;

THENCE North 01 degrees 28 minutes 42 seconds East, with the East line of said City of Corinth Tract, a distance of 141.63 feet to a 1/2 inch iron rod with cap stamped 'Yarger' and 'RPLS 5854', from which a 1/2 inch iron rod bears North 87 degrees 41 minutes 24 seconds, a distance of 5.66 feet, found for the most easterly northeast corner of said City of Corinth Tract, being on the south line of that tract of Lot 1, Block 1, Corinth 35 Distribution Center, an addition to the City of Corinth, Denton County, Texas, according to the Map thereof recorded in Instrument No. 2024-156, O.P.R.D.C.T.;

THENCE, with the south line of said Lot 1, Block 1, Corinth 35 Distribution Center, the following bearings and distances:

South 85 degrees 04 minutes 40 seconds East, a distance of 104.02 feet to a 1/2 inch iron rod with cap stamped 'Yarger' and 'RPLS 5854' found;

South 88 degrees 00 minutes 23 seconds East, a distance of 381.07 feet to a 5/8 inch iron rod found for the southeast corner of said Lot 1, Block 1, Corinth 35 Distribution Center, and being in the west R.O.W line of said N. Corinth Street;

THENCE South 01 degrees 10 minutes 25 seconds East, with the west R.O.W. line of said N. Corinth Street, a distance of 362.09 feet to a 1/2 inch iron rod found for the southeast corner of said TLP Corinth LLC Tract (2024-48382), and the northeast corner of said TLP Corinth LLC Tract (2024-47319);

THENCE South 02 degrees 04 minutes 44 seconds East, with the west R.O.W. line of said N. Corinth Street, a distance of 249.86 feet to the **POINT OF BEGINNING**, and containing 368,585 square feet or 8.462 acres of land.

AND designated herein as PHELAN INDUSTRIAL-CORINTH to the City of Corinth, Texas, and whose name is subscribed hereto hereby dedicate to the public use forever by fee simple title, free and clear of all liens and encumbrances, all street, thoroughfares, alleys, parks, and trails, and to the public use forever easements for sidewalks, storm drainage facilities, floodways, water mains, wastewater mains and other utilities, and any other property necessary to serve the plat and to implement the requirements of the platting ordinances, rules, and regulations thereon shown for the purpose and consideration therein expressed.

OWNER: TLP Corinth LLC
 a Delaware Limited Liability Company

By: _____ Date: _____
 name, title

STATE OF _____ §
 COUNTY OF _____ §

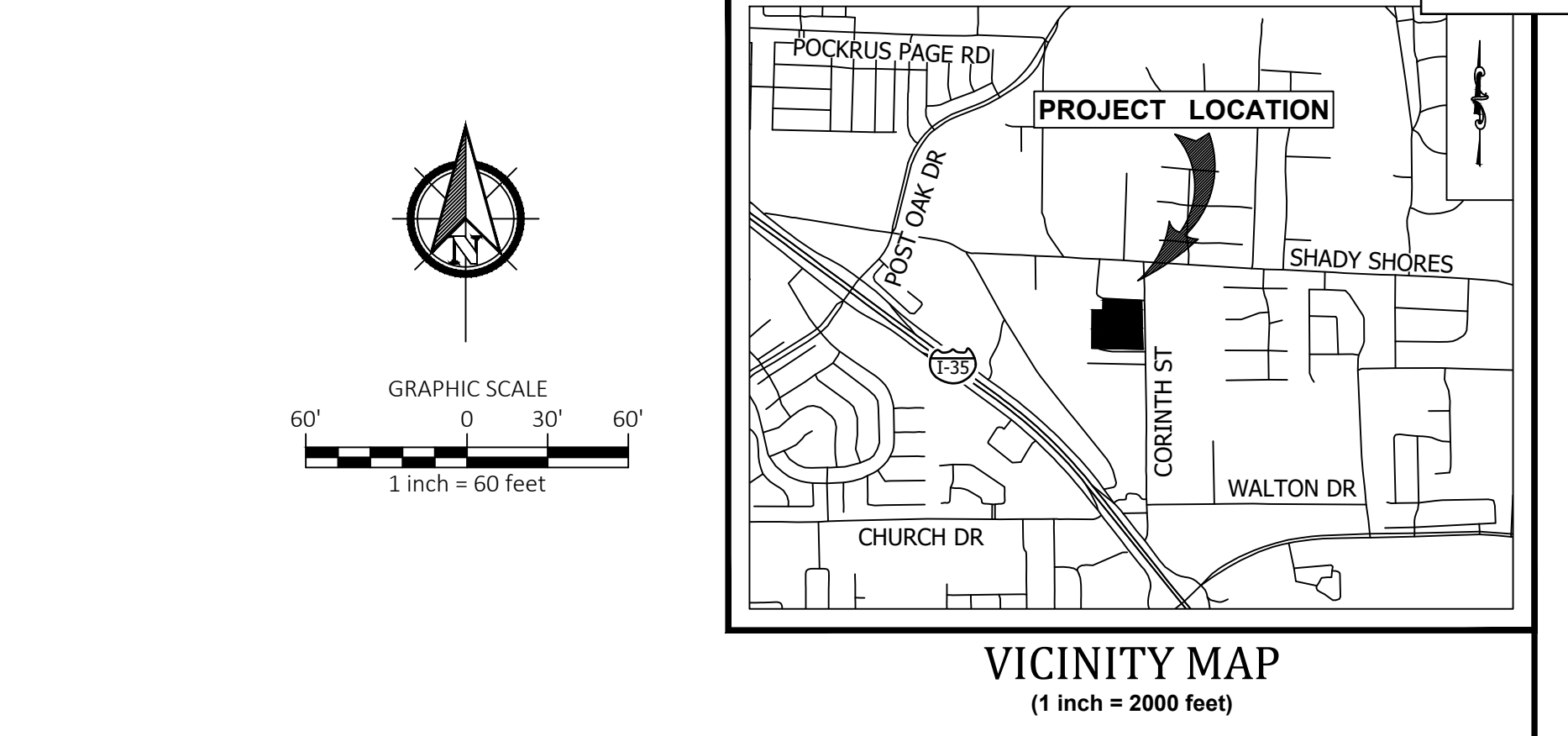
Before me, the undersigned authority, a notary public in and for the said County of _____, on this day personally appeared _____ as _____ of TLP Corinth LLC, known to me to be the person and office whose name is subscribed to the foregoing instrument and acknowledged to me that he/she is owner, and the he/she is authorized to execute the foregoing instrument for the purposes and considerations therein expressed, and in the capacity therein stated.

Given under my hand and seal of office, this _____ day of _____, 2024.

Notary Public, in and for the State of _____

Type or print Notary's Name _____

My commission expires: _____



SURVEYOR'S CERTIFICATE

STATE OF TEXAS §
 COUNTY OF DENTON §

I, David A. Minton, Registered Professional Land Surveyor, licensed by the State of Texas, hereby certify that this plat is true and correct and was prepared from as actual survey of the property made my supervision on the ground.

David A. Minton
 Registered Professional Land Surveyor no. 6233

Date _____

STATE OF TEXAS §
 COUNTY OF DENTON §

Before me, the undersigned authority, on this day personally appeared, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes therein stated.

Given under my hand and seal of office, this _____ day of _____, 2024.

Notary Public _____
 County, Texas _____

GENERAL NOTES

1. BASIS OF BEARING IS STATE PLANE COORDINATE SYSTEM, NORTH TEXAS CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983, ADJUSTMENT REALIZATION 2011.

2. ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP NO. 48121C0391H, AND MAP NO. 48121C0387H, FOR DENTON COUNTY, TEXAS AND INCORPORATED AREAS, DATED JUNE 19, 2020, THIS PROPERTY IS LOCATED WITHIN ZONE X (UNSHADED) DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN". IF THIS SITE IS NOT WITHIN SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

3. NOT ALL LOT LINES OUTSIDE OF THE BOUNDARY OF THE SUBJECT PROPERTY SHOWN HEREON HAVE BEEN SURVEYED AND ARE SHOWN AS GRAPHICAL DEPICTION BASED ON RECORDED INFORMATION AND TAX MAPS.

4. THE PURPOSE OF THIS PLAT IS TO CREATE A SINGLE LOT AND DEDICATE EASEMENTS TO SERVE THE PROPOSED DEVELOPMENT.

5. NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY SUBDIVISION ORDINANCE AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING CERTIFICATES.

6. COORDINATES SHOWN HEREON AND THE BASIS OF BEARING HEREON ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL ZONE 4202 (GRID), NAD83 (2011) EPOCH 2010.00. DERIVED BY GLOBAL NAVIGATION SATELLITE SYSTEMS OBSERVATIONS UTILIZING ALLTERRA RTKNET NETWORK.

7. MINIMUM BUILDING SETBACKS SHOWN HEREON ARE BASE ON CITY OF CORINTH UNIFIED DEVELOPMENT CODE. ORDINANCE NO. 19-04-18-13.

ABBREVIATIONS

INST. NO. INSTRUMENT NUMBER
 M.R.D.C.T. MAP RECORDS, DENTON COUNTY, TEXAS
 D.R.D.C.T. DEED RECORDS, DENTON COUNTY, TEXAS
 O.P.R.D.C.T. OFFICIAL PUBLIC RECORDS, DENTON COUNTY, TEXAS
 CAB. CABINET
 VOL., PG. VOLUME, PAGE
 DOC. NO. DOCUMENT NUMBER
 (XX" XX' XX") RECORD BEARING
 (XX.XX) RECORD DISTANCE
 P.O.B. POINT OF BEGINNING
 (CM) CONTROLLING MONUMENT
 IRS 5/8" IRON ROD SET w/ ORANGE CAP STAMPED "URBAN STRATEGY"
 CIR5 IRON ROD FOUND w/ PLASTIC CAP
 IRF IRON ROD FOUND
 IPF IRON PIPE FOUND
 MAGF MAG NAIL FOUND
 ESMT EASEMENT

LINETYPES

— STREET CENTERLINE
 - - - EASEMENT
 --- SETBACK LINE

LEGEND

○ BOUNDARY/LOT CORNER
 • EASEMENT CORNER

OWNER'S STATEMENT OF FIRE LANE EASEMENT

STATE OF TEXAS §
 COUNTY OF DENTON §

The undersigned covenants and agrees that he (they) shall construct upon the fire lane easements, as dedicated and shown hereon, a fire lane in accordance with the Fire Code and City Standards and that he (they) shall maintain the same in a state of good repair at all times in accordance with the requirements of City Ordinance(s). The fire lane easement shall be kept free of obstructions in accordance with the City Ordinance(s). The maintenance of pavement, in accordance with City Ordinance(s), upon the fire lane easements is the responsibility of the property owner. The owner shall identify the fire lane in accordance City Ordinance. The Chief of Police or his/her duly authorized representative is hereby authorized to cause such fire lane and utility easement to be maintained and unobstructed at all times for fire department and emergency use.

Owner (Printed Name): _____

Owner (Signed Name): _____

Date: _____

Surveyor
 David A. Minton, RPLS
 Texas License No 6233
 Urban Strategy
 1100 E. Campbell, Ste 210
 214-396-2339
 www.urbanstrategy.us
 214-295-5775

Developer
 Phelan Development Company
 contact: Jess Knigge
 450 Newport Center Drive, Suite 405
 Newport Beach CA 92660
 Phone: 773-520-8766
 Email: jknigge@phelandevco.com

CERTIFICATE OF APPROVAL

APPROVED this the _____ day of _____, 2024.

 Director of Community & Economic Development

 City of Secretary

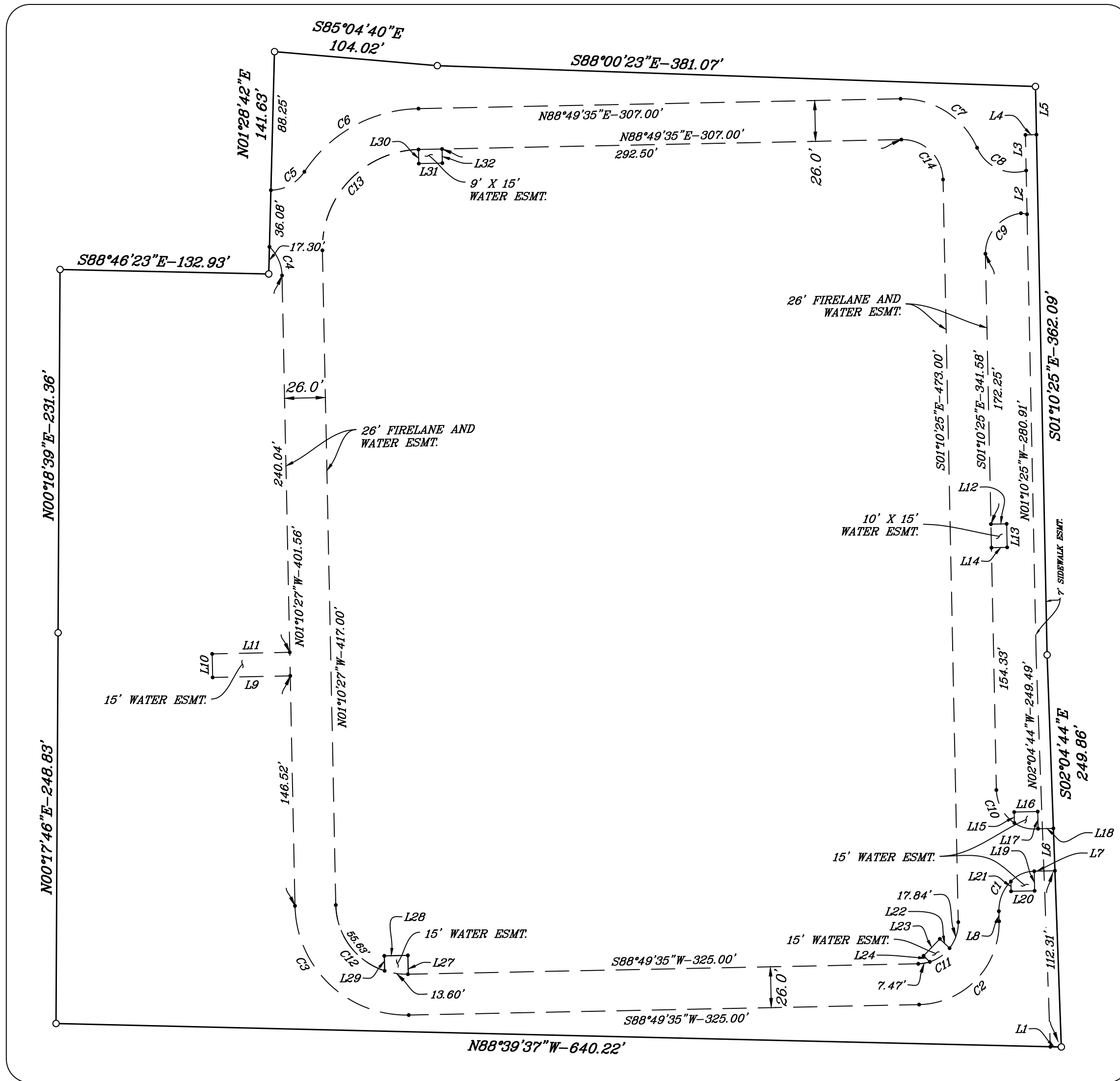
URBAN STRATEGY
 1100 E. Campbell, Suite 210
 Richardson, Texas 75081
 Firm Registration # 10194610, 214-396-2339
 www.urbanstrategy.us

FINAL PLAT

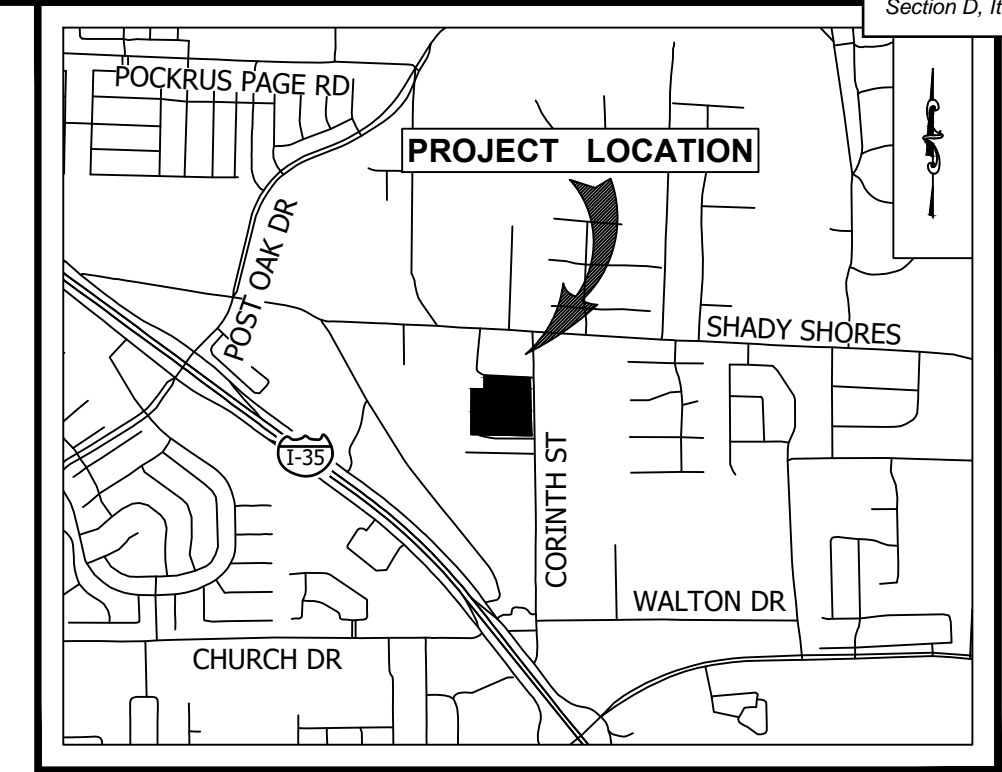
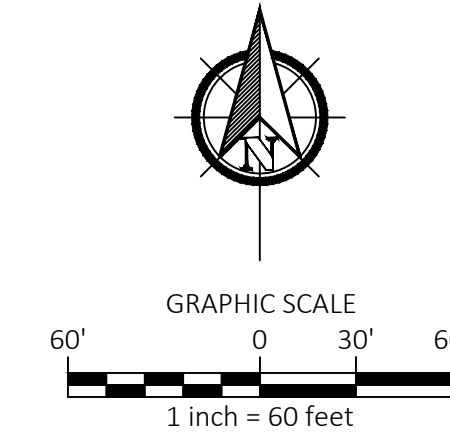
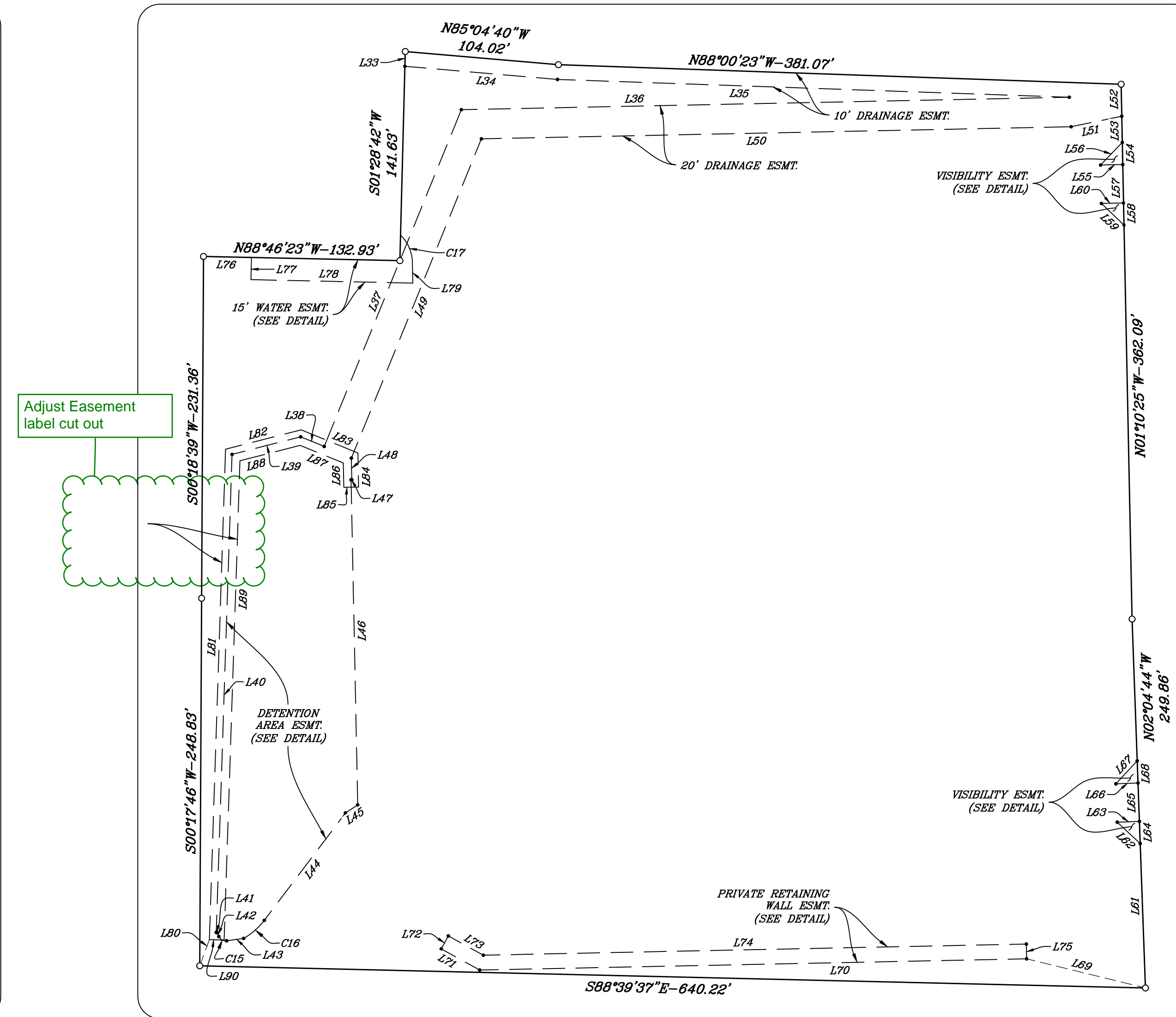
PHELAN INDUSTRIAL-CORINTH
 LOT 1, BLOCK A
 8.462 ACRES, 368,585 SQUARE FEET
 OUT OF THE L. BOSWORTH SURVEY, ABSTRACT NO. 204
 & OUT OF THE MEMPHIS, EL PASO & PACIFIC RAILROAD COMPANY,
 ABSTRACT NO. 911
 CITY OF CORINTH, DENTON COUNTY, TEXAS
 ZONED INDUSTRIAL "I" / PROJECT CASE NO. FP24-0006

ISSUE DATE: 11/8/2024 | PROJECT NO.: 231095 | SCALE: 1 inch = 60 ft. | PAGE 1 OF 2

EASEMENT DETAIL



EASEMENT DETAIL



VICINITY MAP
(1 inch = 2000 feet)

Line #	Bearing	Distance
L1	N 88°39'37" W	7.01'
L2	S 01°10'25" E	27.82'
L3	N 01°10'25" W	22.73'
L4	N 88°49'35" E	7.00'
L5	S 01°10'25" E	30.68'
L6	S 02°04'44" E	27.00'
L7	S 88°49'35" W	13.18'
L8	S 01°10'25" E	6.44'
L9	S 88°49'35" W	49.42'
L10	N 01°10'25" W	15.00'
L11	N 88°49'35" E	49.42'
L12	N 88°49'35" E	10.00'
L13	S 01°10'25" E	15.00'
L14	S 88°49'35" W	10.00'
L15	N 01°10'25" W	6.99'
L16	N 88°49'35" E	15.00'
L17	S 01°10'25" E	10.93'
L18	N 88°49'35" E	9.78'
L19	S 01°10'25" E	12.50'
L20	S 88°49'35" W	15.00'
L21	N 01°10'25" W	6.28'
L22	N 46°10'25" W	8.55'
L23	S 43°49'35" W	15.00'
L24	S 46°10'25" E	5.52'
L27	S 01°10'25" E	12.00'
L28	S 88°49'35" W	15.00'
L29	S 01°10'25" E	9.51'
L30	S 01°10'25" E	9.00'
L31	N 88°49'35" E	15.00'
L32	N 01°10'25" W	9.00'
L33	S 01°28'42" W	10.02'
L34	N 85°04'40" W	103.67'
L35	N 88°00'23" W	346.59'
L36	S 88°49'35" W	411.54'
L37	S 22°09'23" W	246.10'
L38	N 67°50'37" W	17.19'
L39	S 75°38'58" W	47.94'
L40	S 01°53'29" W	323.78'

Line #	Bearing	Distance
L41	S 88°06'31" E	0.50'
L42	S 24°45'19" E	3.02'
L43	N 82°09'36" E	11.66'
L44	N 37°03'29" E	91.06'
L45	N 56°42'11" E	9.96'
L46	N 01°10'25" W	220.12'
L47	N 88°49'35" E	0.50'
L48	N 01°10'25" W	14.67'
L49	N 22°09'23" E	233.33'
L50	N 88°49'35" E	394.59'
L51	N 78°13'40" E	34.99'
L52	N 01°10'25" W	21.63'
L53	S 01°10'25" E	17.73'
L54	S 01°10'25" E	15.00'
L55	S 88°49'35" W	15.00'
L56	N 43°49'35" E	21.21'
L57	S 01°10'25" E	26.00'
L58	N 01°10'25" W	15.00'
L59	S 46°10'25" E	21.21'
L60	S 88°49'35" W	15.00'
L61	N 02°04'44" W	97.81'
L62	S 47°04'44" E	21.21'
L63	S 87°55'16" W	15.00'
L64	N 02°04'44" W	15.00'
L65	N 02°04'44" W	26.00'
L66	S 87°55'16" W	15.00'
L67	N 42°55'16" E	21.21'
L68	S 02°04'44" E	15.00'
L69	N 76°13'26" W	82.78'
L70	S 88°49'30" W	370.28'
L71	N 61°10'25" W	29.71'
L72	N 28°49'35" E	10.00'
L73	S 61°10'25" E	27.03'
L74	N 88°49'30" E	367.60'
L75	S 01°10'34" E	10.00'
L76	S 88°46'23" E	32.45'
L77	S 01°13'37" W	15.00'
L78	S 88°46'23" E	109.55'

Line #	Bearing	Distance
L79	N 01°10'27" W	14.24'
L80	N 20°11'02" E	18.91'
L81	S 01°53'29" W	332.16'
L82	S 75°38'58" W	52.80'
L83	N 67°50'37" W	41.46'
L84	N 01°10'25" W	23.06'
L85	N 88°49'35" E	10.00'
L86	S 01°10'25" E	16.48'
L87	S 67°50'37" E	31.59'
L88	N 75°38'58" E	42.00'
L89	N 01°53'29" E	324.66'
L90	S 88°06'31" E	10.00'

Curve #	Central Angle	Radius	Length	Chord Bearing	Chord Distance
C1	46°15'28"	26.00'	20.99'	S 21°57'19" W	20.43'
C2	90°00'00"	52.00'	81.68'	S 43°49'35" W	73.54'
C3	89°59'58"	71.00'	111.53'	N 46°10'26" W	100.41'
C4	45°04'59"	26.00'	20.46'	N 23°42'56" W	19.93'
C5	55°49'02"	26.00'	25.33'	N 61°09'20" E	24.34'
C6	55°34'45"	89.00'	86.33'	N 61°02'12" E	82.99'
C7	67°36'38"	52.00'	61.36'	S 57°22'06" E	57.86'
C8	83°01'43"	26.00'	37.68'	S 65°04'39" E	34.47'
C9	82°34'53"	26.01'	37.48'	S 41°14'03" W	34.32'
C10	54°49'18"	26.00'	24.88'	S 28°35'18" E	23.94'
C11	90°00'00"	26.00'	40.84'	S 43°49'35" W	36.77'
C12	89°59'58"	45.00'	70.69'	N 46°10'26" W	63.64'
C13	90°00'03"	63.00'	98.96'	N 43°49'34" E	89.10'
C14	90°00'00"	26.00'	40.84'	S 46°10'25" E	36.77'
C15	73°05'05"	5.00'	6.38'	S 61°17'51" E	5.95'
C16	23°29'42"	45.67'	18.73'	N 48°48'20" E	18.60'
C17	45°04'59"	26.00'	20.46'	N 23°42'56" W	19.93'

GENERAL NOTES

- BASIS OF BEARING IS STATE PLANE COORDINATE SYSTEM, NORTH TEXAS CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983, ADJUSTMENT REALIZATION 2011.
- ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP NO. 48121C0391H, AND MAP NO. 48121C0387H, FOR DENTON COUNTY, TEXAS AND INCORPORATED AREAS, DATED JUNE 19, 2020, THIS PROPERTY IS LOCATED WITHIN ZONE X (UNSHADED) DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN". IF THIS SITE IS NOT WITHIN SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
- NOT ALL LOT LINES OUTSIDE OF THE BOUNDARY OF THE SUBJECT PROPERTY SHOWN HEREON HAVE BEEN SURVEYED AND ARE SHOWN AS GRAPHICAL DEPICTION BASED ON RECORDED INFORMATION AND TAX MAPS.
- THE PURPOSE OF THIS PLAT IS TO CREATE A SINGLE LOT AND DEDICATE EASEMENTS TO SERVE THE PROPOSED DEVELOPMENT.
- NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY SUBDIVISION ORDINANCE AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING CERTIFICATES.
- COORDINATES SHOWN HEREON AND THE BASIS OF BEARING HEREON ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL ZONE 4202 (GRID), NAD83 (2011) EPOCH 2010.00. DERIVED BY GLOBAL NAVIGATION SATELLITE SYSTEMS OBSERVATIONS UTILIZING ALLTERRA RTKNET NETWORK.
- MINIMUM BUILDING SETBACKS SHOWN HEREON ARE BASE ON CITY OF CORINTH UNIFIED DEVELOPMENT CODE. ORDINANCE NO. 19-04-18-13.



FINAL PLAT

PHELAN INDUSTRIAL-CORINTH

LOT 1, BLOCK A

8.462 ACRES, 368,585 SQUARE FEET

OUT OF THE L. BOSWORTH SURVEY, ABSTRACT NO. 204

& OUT OF THE MEMPHIS, EL PASO & PACIFIC RAILROAD COMPANY,

ABSTRACT NO. 911

CITY OF CORINTH, DENTON COUNTY, TEXAS

ZONED INDUSTRIAL "I" / PROJECT CASE NO. FP24-0006

Surveyor
David A. Minton, RPLS
Texas License No 6233
Urban Strategy
1100 E. Campbell, Ste 210
214-396-2339
davidm@urbanstrategy.us
TBPLS Firm No. 10194610

Developer
Phelan Development Company
contact: Jess Knigge
450 Newport Center Drive, Suite 405
Newport Beach CA 92660
Phone: 773-520-8766
Email: jknigge@phelandevco.com

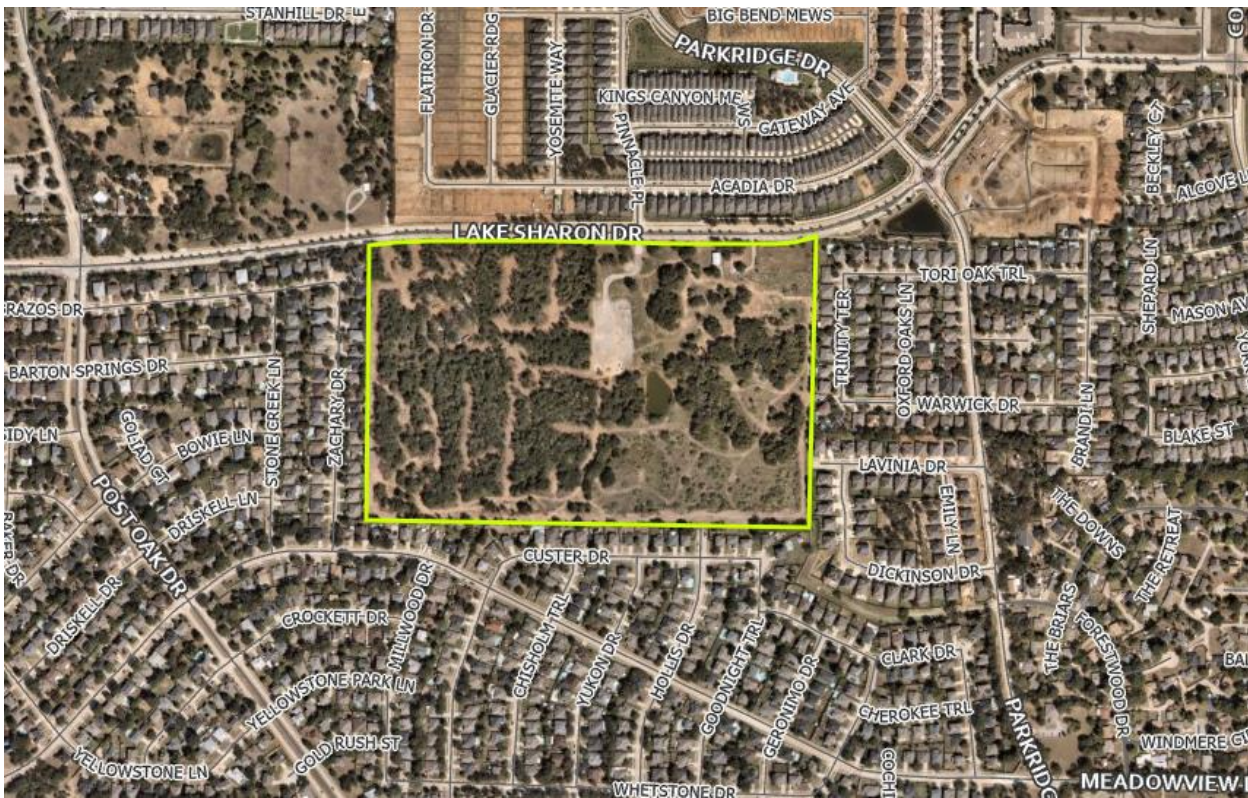


CITY OF CORINTH
Staff Report

Meeting Date:	12/9/2024	Title:	FP24-0007: Oak Ridge Park Final Plat
Governance Focus:	<i>Focus:</i>	<input checked="" type="checkbox"/> Owner	<input checked="" type="checkbox"/> Customer <input checked="" type="checkbox"/> Stakeholder
	<i>Decision:</i>	<input type="checkbox"/> Governance Policy	<input checked="" type="checkbox"/> Ministerial Function

Item/Caption

Consider and act on a request by the Applicant, Corwin Engineering, for approval of a Final Plat of the Oak Ridge Park Subdivision, being ±57.963 acres located at 2300 Lake Sharon Drive. (Case No. FP24-0007)



Aerial Location Map

Item Summary/Background/Prior Action

A Preliminary Plat for this subdivision was approved by the Planning & Zoning Commission on February 5, 2024. The purpose of this Final Plat is to establish a subdivision consisting of 321 single family residential lots and nine (9) open space/pedestrian access/drainage/tree preservation lots. The majority of the property is zoned Planned Development No. 68 – Oak Ridge Park (Base Zoning: SF-4 Single Family Residential), while the northeastern section is zoned Planned Development No. 70 – Goddard School/Oak Ridge Park Expansion (Base Zoning: SF-4 Single Family Residential). The PD-70 ordinance contains an option that permits the incorporation of the land area zoned under PD-70 into the subdivision plans for PD-68.

Early Grading and Tree Removal are in progress. The final Civil Engineering Construction Plans for this subdivision are in the process of being approved. Approval of the Civil Engineering Construction Plans allows the Applicant to begin the installation of the necessary public and private infrastructure improvements to serve the development. The Applicant is working with the Public Works Department on finalizing the Development Agreement & Security (Bond) for Completion, which must be executed prior to being released for construction of improvements. The Unified Development Code (UDC) currently requires that the Final Plat be approved prior to executing the Development Agreement.

Staff Recommendation

The Development Review Committee and the city’s consulting engineering firm, Shield Engineering, have reviewed this Final Plat and recommend approval subject to the applicant addressing comments from Shield Engineering contained in the attached Final Plat, as well as satisfying the conditions required by UDC 3.03.03 H[4], This UDC section requires that a motion to approve a Final Plat shall be subject to the following conditions, whether or not stated in the motion to approve:

- a. All required fees shall be paid.
- b. All covenants required by ordinances have been reviewed and approved by the City.
- c. On-site easements and rights-of-way have been dedicated and filed of record and properly described and noted on the proposed plat.
- d. All required abandonments of public rights-of-way or easements that must be approved by the City Council and the abandonment ordinance numbers are shown on the plat.
- e. Abandonment documents for all other easements not requiring City Council approval have been filed of record and properly described and noted on the plat.
- f. Original tax certificates have been presented from each taxing unit with jurisdiction of the real property showing the current taxes are paid.
- g. Staff is authorized to approve any additions and/or alterations to the easements, dedications, and plat notes included in the Final Plat.

Per Texas Local Government Code Chapter 212, the Planning & Zoning Commission is required to act at this meeting to comply with the state-mandated 30-day deadline.

Applicable Policy/Ordinance

- Unified Development Code
- Texas Local Government Code

Motion

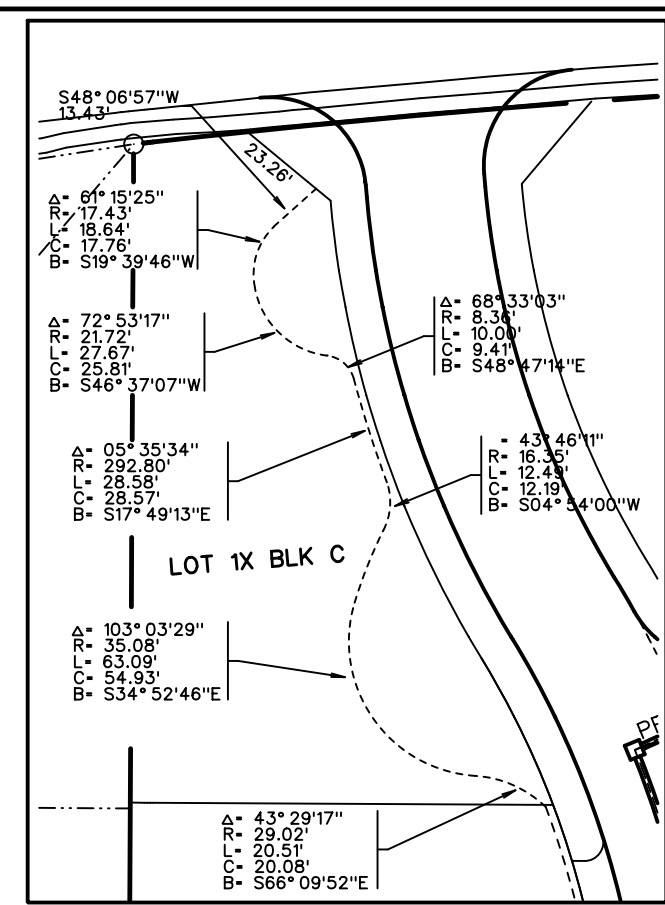
“I move to conditionally approve Case No. FP24-0007 – Oak Ridge Park Final Plat subject to the Applicant addressing Engineering comments and satisfying the conditions outlined in UDC Subsection 3.03.03 H[4]”

Alternative Action by the Planning and Zoning Commission

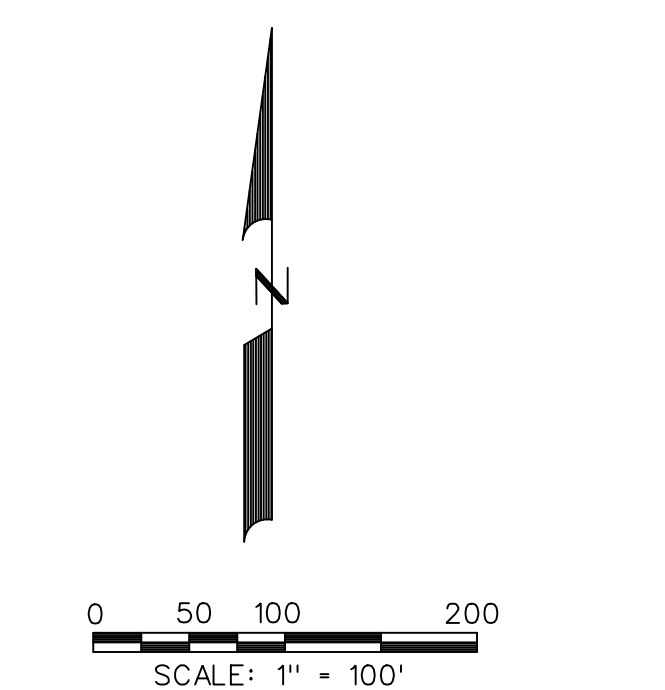
The Planning and Zoning Commission may Disapprove the application.

Attachments

1. Proposed Final Plat with Engineering comments

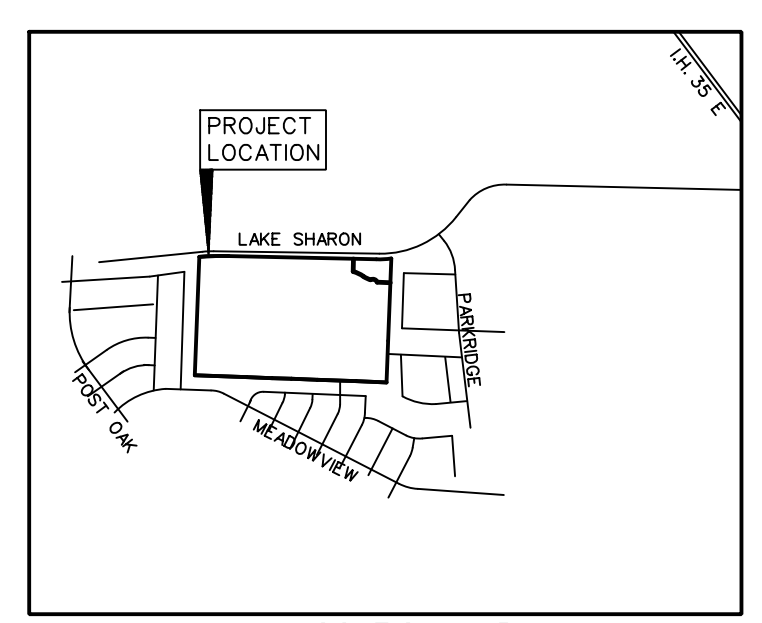


SIDEWALK EASEMENT DETAIL LOT 1X BLK C SCALE 1"=50'

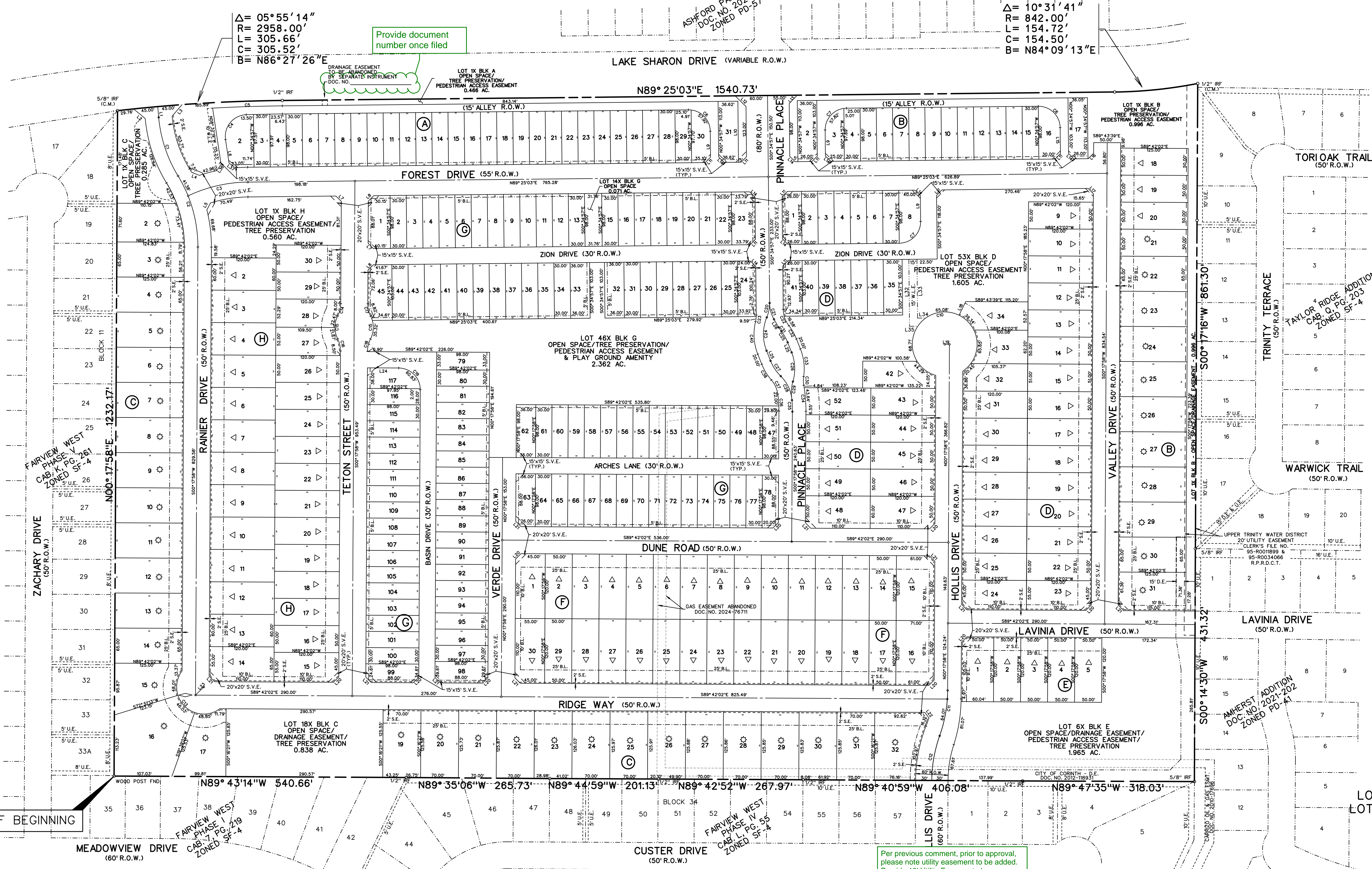


SCALE: 1" = 100'

- LEGEND**
- D.E. - Drainage Easement
 - W.M.E. - Wall Maintenance Easement
 - W.L.E. - Water Line Easement
 - S.E. - Sidewalk Easement
 - C.M. - Controlling Monument
 - U.E. - Utility Easement
 - B.L. - Building Line
 - S.V.E. - Sight Visibility Easement
 - Street Name Change



LOCATION MAP SCALE - 1"=2000'



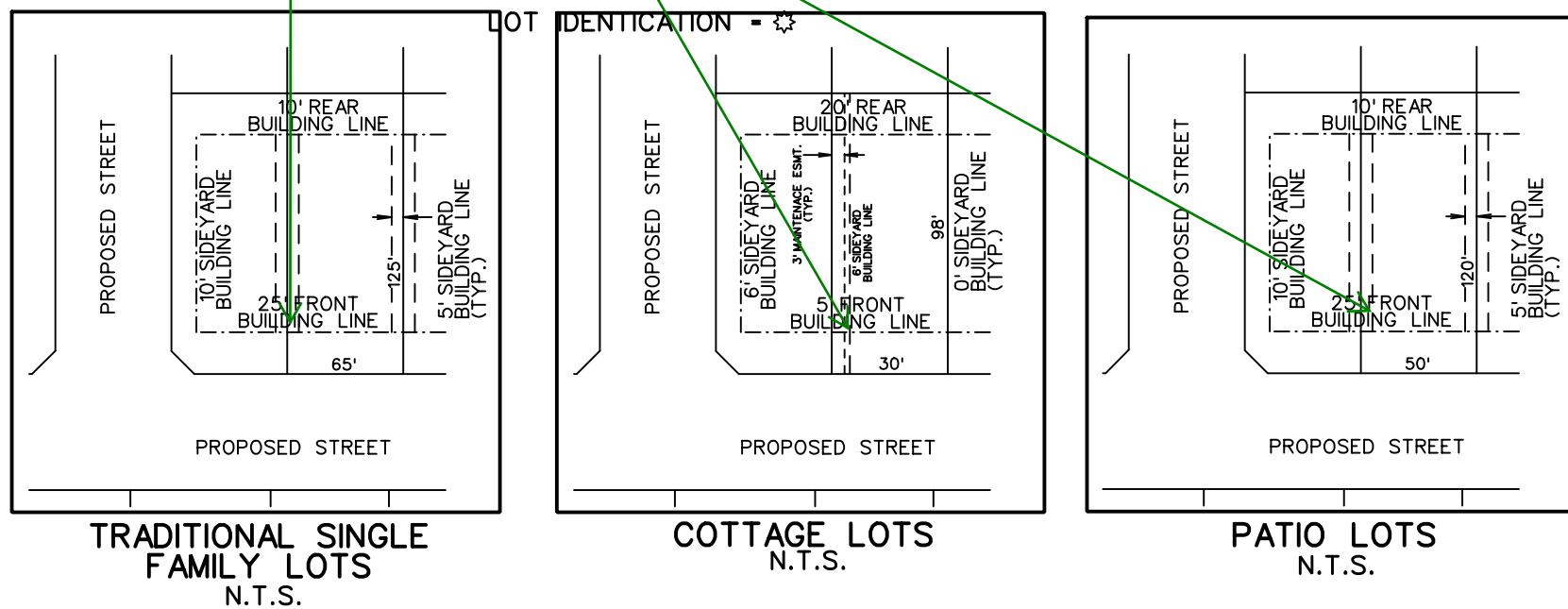
POINT OF BEGINNING

BENCHMARK:
CITY OF CORINTH MONUMENT NAMED CM05 LOCATED APPROX. 560' WEST OF THE INTERSECTION OF YELLOWSTONE PARK AND MEADOWVIEW DRIVE. MONUMENT LOCATED ON THE NORTHSIDE OF MEADOWVIEW DRIVE AND 4.25' WEST OF INLET.
ELEV. - 591.02

NOTES:

- Bearing are referenced to 60.49 acre tract, as described in Deed Records as recorded in Vol. 1459, Pg. 800 in the Deed of Denton County, Texas.
- All lot lines are radial or perpendicular to the street unless otherwise noted by bearing.
- 1/2" iron rods with "CORWIN ENGR. INC." caps set at all boundary corners, block corners, points of curvature, points of tangency, and angle points in public right-of-way unless otherwise noted.
- All common area shall be owned and maintained by the Homeowners Association. (Lot 1X Blk A, Lot 1X Blk B, Lot 53X Blk D, Lot 6X Blk E, Lot 14X Blk F, Lots 18X & 46X Blk C, Lot 1X Blk H & Lot 1X Blk I)
- According to flood insurance rate map (firm) map no. 4812c0389h dated June 19, 2020, prepared by the Federal Emergency Management Agency (FEMA) for Denton County, Texas, this property is within Zone X.
- Selling a portion of this addition by Metes and Bounds is a violation of City Ordinance and State law and subject to fines and withholdings of utilities and building permits.
- Screening walls shall be owned and maintained by the H.O.A. Retaining walls shall be owned and maintained by the respective proerty owner.

Per previous comment, prior to approval, please note utility easement to be added. Provide 10' Utility Easement along Frontage for Traditional Single Family Lots & Patio Lots. 10' Utility Easement can be proposed along rear of cottage lots underneath driveways.



CASE NO. FP24-0007
FINAL PLAT
OF
OAK RIDGE PARK

- LOTS 1-31, BLOCK A
- LOTS 1-31, BLOCK B
- LOTS 1-32, BLOCK C
- LOTS 1-52, BLOCK D
- LOTS 1-6, BLOCK E
- LOTS 1-30, BLOCK F
- LOTS 1-117, BLOCK G
- LOTS 1-30 BLOCK H
- LOT 1X BLK A, LOT 1X BLK B,
- LOTS 1X & 18X, BLK C, LOT 9X BLK D
- LOT 6X BLK E, LOTS 14X & 46X BLK G,
- & LOT 1X BLK H

TOTAL LOTS 330
TOTAL RESIDENTIAL LOTS 321
TOTAL OPEN SPACE LOTS 9
TOTAL ACRES 57.963
ZONED: PD-68 (SF-4)

OUT OF THE
BROOKS BEALL SURVEY, ABSTRACT NO. 58
IN THE
CITY OF CORINTH
DENTON COUNTY, TEXAS
OWNER
JBZ/SLM OAK RIDGE, LLC.
1038 TEXAN TRAIL
GRAPEVINE, TEXAS 76051
512-655-7174
PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

STATE OF TEXAS
COUNTY OF DENTON

I (we), the undersigned, owner(s) of the land shown on this plat within the area described by metes and bounds as follows:

LEGAL DESCRIPTION

BEING, a tract of land situated in the Brooks Beall Survey, Abstract No. 58 in the City of Corinth, Denton County, Texas, being all of a 60.49 acre tract, as described in Doc. No. 2024-51387 in the Deed Records of Denton County, Texas and being more particularly described as follows:

BEGINNING, at a wood post at the most easterly southeast corner of Fairview West Phase V, an addition to the City of Corinth, as described in Cab. K, Pg. 261 in the Plat Records of Denton County, Texas and being the southwest corner of said 60.49 acre tract:

THENCE, North 00°17'58" East, along the east line of said Fairview West Phase V and the west line of said 60.49 acre tract, for a distance of 1232.17 feet, to a 5/8 inch iron rod found at the northwest corner of said 60.49 acre tract being in the south line of Lake Sharon Drive (Variable R.O.W.), being on a curve to the right, having a radius of 2958.00 feet, a central angle of 05°55'14";

THENCE, departing the east line of said Fairview West Phase V and along the south line of said Lake Sharon Drive and with said curve to the right, for an arc distance of 305.66 feet (Chord Bearing North 86°27'26" East - 305.52 feet), to a 1/2 inch iron rod found at the point of tangency;

THENCE, North 89°25'03" East, continuing along the south line of said Lake Sharon Drive, for a distance of 1540.73 feet, to a 1/2 inch iron rod found at the point of curvature of a curve to the left, having a radius of 842.00 feet, a central angle of 10°31'41";

THENCE, continuing along said south line and with said curve to the left for an arc distance of 154.72 feet (Chord Bearing North 84°09'13" East - 154.50 feet), to a 1/2 inch iron rod found in the west line of Taylor's Ridge, an addition to the City of Corinth, as recorded in Cab. Q, Pg. 203 in said Plat Records and being the east line of said 60.49 acre tract:

THENCE, South 00°17'16" West, departing the south line of said Lake Sharon Drive and along the west line of said Taylor's Ridge and with the east line of said 60.49 acre tract, for a distance of 861.30 feet, to a 5/8 inch iron rod found at the southwest corner of said Taylor's Ridge and being the northwest corner of Amherst Addition, an addition to the City of Corinth, as described in Doc. No. 2021-202 in said Plat Records:

THENCE, South 00°14'30" West, continuing along said east line and with the west line of said Amherst Addition, for a distance of 431.32 feet, to a 5/8 inch iron rod found at the southeast corner of said 60.49 acre tract being the in the north line of Fairview West Phase IV, an addition to the City of Corinth, as described in Cab. L, Pg. 55 in said Plat Records:

THENCE, North 89°47'35" West, departing the west of said Amherst Addition and along the north line of said Fairview West Phase IV and along the south line of said 60.49 acre tract, for a distance of 318.03 feet, to a 1/2 inch iron rod found:

THENCE, North 89°40'59" West, continuing along said north and south lines, for a distance of 406.08 feet, to a 1/2 inch iron rod found:

THENCE, North 89°42'52" West, continuing along said lines, for a distance of 267.97 feet, to a 1/2 inch iron rod found:

THENCE, North 89°44'59" West, continuing along said lines, for a distance of 201.13 feet, to a 1/2 inch iron rod found:

THENCE, North 89°35'06" West, continuing along said lines, for a distance of 265.73 feet, to a 1/2 inch iron rod found:

THENCE, North 89°43'14" West, continuing along said lines, for a distance of 540.66 feet, to the POINT OF BEGINNING and containing 57.963 acres of land and designed herein as the OAK RIDGE PARK Subdivision to the City of Corinth, Texas, and whose name is subscribed here, hereby dedicate to the public use forever by fee simple title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, parks, and trails, and to the public use forever easements for sidewalks, storm drainage facilities, floodways, water mains, wastewater mains and other utilities, and any other property necessary to serve the plat and to implement the requirements of the platting ordinances, rules, and regulations thereon shown for the purpose and consideration therein expressed.

JBZ/SLM OAK RIDGE LLC.

West

THE STATE OF TEXAS
COUNTY OF COLLIN

Before me, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared _____, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed same for the purpose and consideration therein expressed and in the capacity therein stated.

Given under my hand and seal of office, this ____ day of _____, 2024.

Notary Public in and for the State of Texas

Printed Notary's Name

My commission expires: _____

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS that I, WARREN L. CORWIN, do hereby certify that I prepared this Plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision regulations of the City of Corinth, Texas.

WARREN L. CORWIN
R.P.L.S. No. 4621

THE STATE OF TEXAS
COUNTY OF COLLIN

Before me, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared WARREN L. CORWIN, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed same for the purpose and consideration therein expressed and in the capacity therein stated.

Given under my hand and seal of office, this ____ day of _____, 2024.

NOTARY PUBLIC, STATE OF TEXAS

CERTIFICATE OF APPROVAL

APPROVED the ____ day of _____, 2024 by the Planning and Zoning Commission of the City of Corinth, Texas

Director of Planning and Development

City Secretary

LINE TABLE

Table with columns: LINE NO., BEARING, DISTANCE. Contains 37 line items for the survey.

CURVE TABLE

Table with columns: CURVE NO., DELTA, RADIUS, LENGTH, CHORD, BEARING. Contains 39 curve items for the survey.

Large table with columns: Block A, Block B, Block C, Block D, Block E, Block F, Block G, Block H. Each block contains Lot, SF, AC. Includes a note: * Indicates open space.

CASE NO. FP24-0007
FINAL PLAT
OF
OAK RIDGE PARK
LOTS 1-31, BLOCK A
LOTS 1-31, BLOCK B
LOTS 1-32, BLOCK C
LOTS 1-52, BLOCK D
LOTS 1-6, BLOCK E
LOTS 1-30, BLOCK F
LOTS 1-117, BLOCK G
LOTS 1-30 BLOCK H
LOT 1X BLK A, LOT 1X BLK B,
LOTS 1X & 18X, BLK C, LOT 9X BLK D,
LOT 6X BLK E, LOTS 14X & 46X BLK G,
& LOT 1X BLK H
TOTAL LOTS 330
TOTAL RESIDENTIAL LOTS 321
TOTAL OPEN SPACE LOTS 9
TOTAL ACRES 57.963
ZONED: PD-68 (SF-4)
OUT OF THE
BROOKS BEALL SURVEY, ABSTRACT NO. 58
IN THE
CITY OF CORINTH
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OWNER
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1038 TEXAN TRAIL
GRAPEVINE, TEXAS 76051
512-655-7174
PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200
DECEMBER 2024

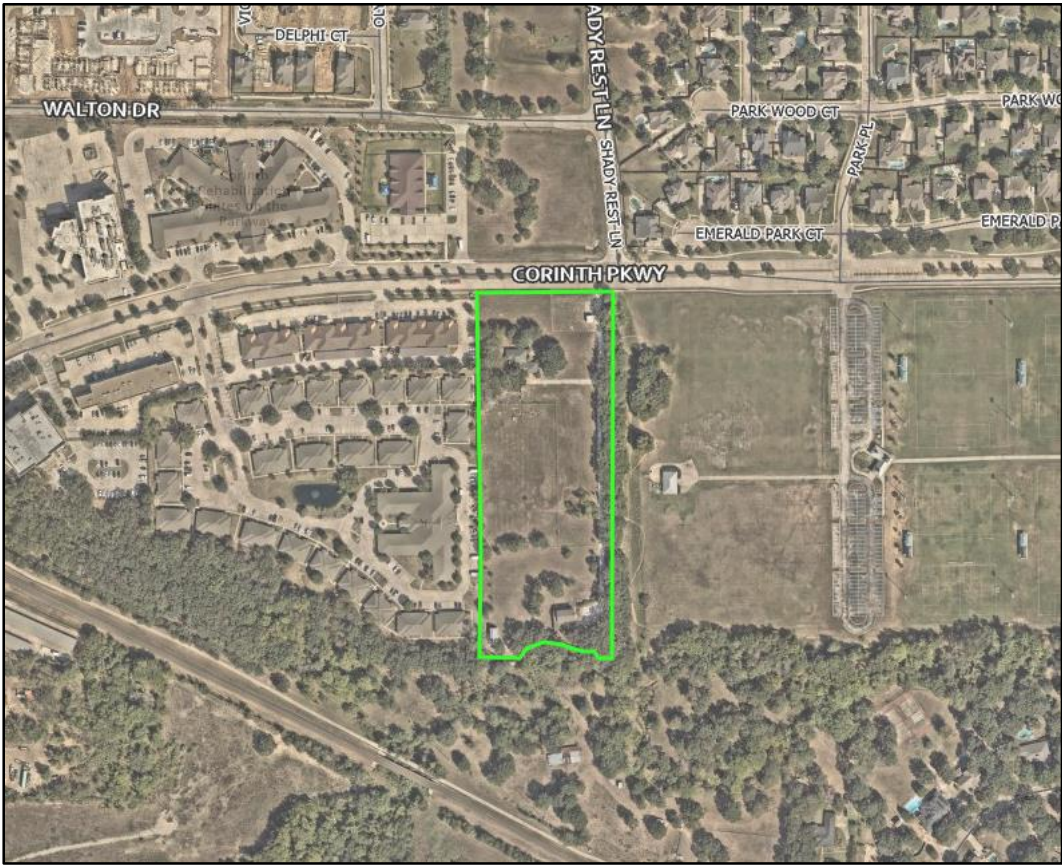


CITY OF CORINTH Staff Report

Meeting Date:	12/9/2024	Title:	PD-67 Bridgeview Corinth Elevations Amendment Case No. ZAPD24-0009
Strategic Goals:	<input type="checkbox"/> Resident Engagement <input type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development		

Item/Caption

Conduct a Public Hearing to consider testimony and make a recommendation to City Council on request by the Applicant, Bridgeview Multifamily LLC, to amend the Zoning Ordinance of the City of Corinth, being a part of the Unified Development Code, to amend the building elevations of Planned Development 67 (PD-67) on approximately ±6.5 acres, with the subject properties being located at 3650 Corinth Pkwy. (Case No. ZAPD24-0009 PD-67 Bridgeview Corinth Elevations Amendment)



Location Map - Case No. ZAPD24-0009

Item Summary/Background

The applicant is requesting an amendment to the ±6.5 acres Planned Development (PD) District with a base Zoning of MF-3 to update the permitted facade material percentages interior to the site for the main multi-family structure and the

cottage style units located in the southern portion of the property. The proposed amendments exclude areas of the façade fronting onto Corinth Parkway, which will remain unchanged.

The existing PD Development Standards require that all building facades (except for windows, doors, garage doors, balconies/patios, and corridor or stairway entrances) be composed of 100% brick or stone masonry materials. Additionally, these standards only allow for cementitious fiber board to be utilized on balconies, stairwells, patio recesses, and any accent details above the top of the plate of the upper floor.

The applicant is requesting that cementitious materials be added as a permitted façade material to be utilized in strategic areas around the main building not fronting on Corinth Parkway and the cottages to create a more dynamic architectural aesthetic with multiple façade materials. Below is an example comparing the existing approved elevations to the proposed elevations. For additional detail on proposed elevations, see Attachment 2 – Proposed Elevations.



Existing Elevation



Proposed Elevation

The northernmost façade, which is directly adjacent to Corinth Parkway, will remain unchanged from what was previously approved and will still be required to utilize 100% brick or stone masonry materials from the finished floor to the top of plate of the upper floor (excluding windows, doors, and balconies/patios). Requested deviations from the existing Building Façade Material Standards can be viewed in greater detail in Attachment 3 – Updated Building Façade Material Standards.

Public Notice

Notice of the public hearing was provided in accordance with the City Ordinance and State Law by,

- Publication in the Denton Record-Chronicle
- Written public notices were mailed to the owners of all properties located within 200 feet of the subject property and to the Denton ISD.
- The Applicant posted several “Notice of Zoning Change” signs around the perimeter of the site.
- The Public Hearing notice was posted on the City’s Website.

Letters of Support/Protest

As of the date of this report, the City has received no letters of support or opposition. Letters received after this date will be presented to the Planning and Zoning Commission at the time of Public Hearing. See Attachment 4 – 200’ Buffer Map.

Staff Recommendation

Staff recommends approval as presented.

Motion

“I move to recommend approval of Case No. ZAPD24-0009 – PD-67 Bridgeview Corinth Elevations Amendment, as presented.”

Alternative Actions by the Planning and Zoning Commission

The Planning and Zoning Commission may also,

- Recommend approval with additional stipulations.
- Continue the Public Hearing and table action on the request to a definitive or non-defined date.
- Recommend denial of the request.

Attachments

1. Attachment 1 – Letter of Intent
2. Attachment 2 – Proposed Elevations
3. Attachment 3 – Proposed Building Façade Material Standards (PD-67 Text Amendment)
4. Attachment 4 – Approved PD-67 Ordinance
5. Attachment 5 – 200’ Buffer Map

**PD-67 (Ordinance No. 23-06-15-21)
PD Amendment
Project Narrative**

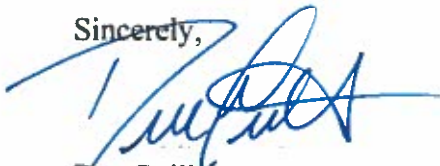
PD-67 was originally approved for “MF-3” Multi-Family Residential for a 55+ Age-restricted active adult community on approximately 6.5 acres located at the southwest intersection of Corinth Parkway and Shady Rest Lane, having address of 3650 and 3654 Corinth Parkway. The developer wishes to modify the planned development to incorporate fiber cement siding in lieu of brick and stone on areas not fronting Corinth Parkway.

Plan revisions to the concept plan include:

1. Substitute siding for brick/stone in strategic areas around the building not fronting Corinth Parkway which adds a more dynamic aesthetic to the architecture by using multiple materials.
2. Reduce brick/stone on cottages and replace with fiber cement siding

We appreciate your review and consideration of our request. Please contact us should you need additional information to process this application.

Sincerely,



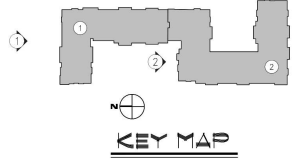
Dru Guillot
Managing Director



2 NORTH ELEVATION
1/8"=1'-0"



1 NORTH ELEVATION
1/8"=1'-0"



NO.	DATE	REVISION

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 Dallas, Texas 75079
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CORINTH ACTIVE ADULT
 CORINTH, TX
 A Development of
CRESTAR

JOB NO.:	23068
<input checked="" type="checkbox"/> NOT FOR CONSTRUCTION	
<input type="checkbox"/> ISSUED FOR PRICING	
<input type="checkbox"/> ISSUED FOR PERMIT	
<input type="checkbox"/> ISSUED FOR CONSTRUCTION	

EXTERIOR ELEVATIONS

DRAWING NO.
A4.01

Date: 3/7/2024 8:39 A.M. By: akong
NOT FOR CONSTRUCTION



NO.	DATE	REVISION
1	07/22/24	ISSUED FOR PERMIT SET
2	10/22/24	ISSUED FOR PERMIT

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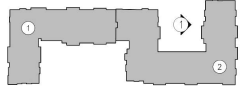
JOB NO.:	23068
NOT FOR CONSTRUCTION	
ISSUED FOR PRICING	
<input checked="" type="checkbox"/> ISSUED FOR PERMIT	
ISSUED FOR CONSTRUCTION	

EXTERIOR ELEVATIONS

DRAWING NO.
A4.02



1 NORTH ELEVATION
 1/8"=1'-0"



KEY MAP

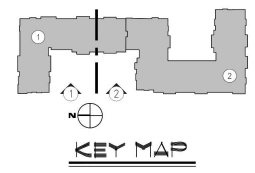
Date: 5/22/2024 @ 5:38 P.M. By: akhong
 NOT FOR CONSTRUCTION



2 WEST ELEVATION
1/8"=1'-0"



1 WEST ELEVATION
1/8"=1'-0"



NO.	DATE	REVISION
1	07/22/24	ISSUED FOR PRICING SET
2	10/22/24	ISSUED FOR PERMIT

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X ISSUED FOR PERMIT	
ISSUED FOR CONSTRUCTION	

EXTERIOR ELEVATIONS

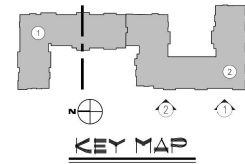
DRAWING NO.
A4.03



2 WEST ELEVATION
1/8"=1'-0"



1 WEST ELEVATION
1/8"=1'-0"



NO.	DATE	REVISION
1	10/22/24	ISSUED FOR PRICING
2	10/22/24	ISSUED FOR PERMIT

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ISSUED FOR PRICING	
X ISSUED FOR PERMIT	
ISSUED FOR CONSTRUCTION	

EXTERIOR ELEVATIONS

DRAWING NO.
A4.04



SOUTH COURTYARD ELEVATION

- *BRICK AREA = 3,499 SQFT (XX)
- *BURNISHED BLOCK AREA = 0 SQFT (0X)
- *FIBER CEMENT PANEL AREA = 0 SQFT (0X)
- *TOTAL WALL AREA = 3,499 SQFT
- *WALL AREA EXCLUDING WINDOWS, GLAZING, BALCONIES & RECESSED BALCONY WALLS

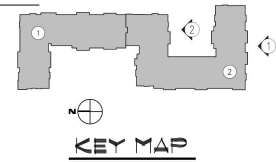
2 SOUTH ELEVATION
1/8"=1'-0"



SOUTH ELEVATION

- *BRICK AREA = 4,590 SQFT (XX)
- *BURNISHED BLOCK AREA = 2,279 SQFT (XX)
- *FIBER CEMENT PANEL AREA = 137 SQFT (XX)
- *TOTAL WALL AREA = 7,006 SQFT
- *WALL AREA EXCLUDING WINDOWS, GLAZING, BALCONIES & RECESSED BALCONY WALLS

1 SOUTH ELEVATION
1/8"=1'-0"



NO.	DATE	REVISION
1	05/22/2024	ISSUED FOR PERMIT
2	05/22/2024	ISSUED FOR PERMIT

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ISSUED FOR CONSTRUCTION	

EXTERIOR ELEVATIONS

DRAWING NO.
A4.05



NO.	DATE	REVISION
1	05/22/2024	ISSUED FOR PRICING
2	05/22/2024	ISSUED FOR PERMIT

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JOB NO.:	23068
<input type="checkbox"/>	NOT FOR CONSTRUCTION
<input type="checkbox"/>	ISSUED FOR PRICING
<input checked="" type="checkbox"/>	ISSUED FOR PERMIT
<input type="checkbox"/>	ISSUED FOR CONSTRUCTION

EXTERIOR ELEVATIONS

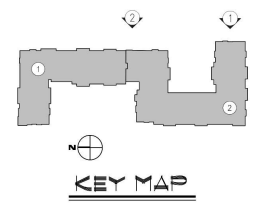
DRAWING NO.
A4.06



2 EAST ELEVATION
 1/8"=1'-0"



1 EAST ELEVATION
 1/8"=1'-0"



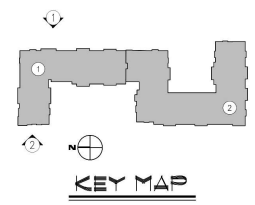
Date: 5/22/2024 @ 5:39 P.M. By: akhong
 NOT FOR CONSTRUCTION



2 WEST ELEVATION
1/8"=1'-0"



1 EAST ELEVATION
1/8"=1'-0"



NO.	DATE	REVISION
1	05/22/2024	ISSUED FOR PERMIT
2	05/22/24	ISSUED FOR PERMIT

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ISSUED FOR CONSTRUCTION	

EXTERIOR ELEVATIONS

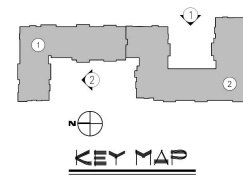
DRAWING NO.
A4.07



2 SOUTH ELEVATION
1/8"=1'-0"



1 EAST ELEVATION
1/8"=1'-0"



NO.	DATE	REVISION
1	05/22/2024	ISSUED FOR PRICING
2	05/22/24	ISSUED FOR PERMIT

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ISSUED FOR CONSTRUCTION	

EXTERIOR ELEVATIONS

DRAWING NO.
A4.08

Date: 5/22/2024 5:39 P.M. By: akhong
NOT FOR CONSTRUCTION



4 REAR ELEVATION
3/16"=1'-0"



3 LEFT ELEVATION
3/16"=1'-0"



2 RIGHT ELEVATION
3/16"=1'-0"



1 FRONT ELEVATION
3/16"=1'-0"



NO.	DATE	REVISION

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JOB NO.:	23068
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X ISSUED FOR PERMIT	
ISSUED FOR CONSTRUCTION	

SHEET TITLE:
DUPLIX TYPE I ELEVATIONS

DRAWING NO.
DP4.00

Date: 5/22/2024 8:48 P.M. By: akong
 NOT FOR CONSTRUCTION



4 REAR ELEVATION
3/16"=1'-0"



3 LEFT ELEVATION
3/16"=1'-0"



2 RIGHT ELEVATION
3/16"=1'-0"



1 FRONT ELEVATION
3/16"=1'-0"



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JOB NO.: 23068
 NOT FOR CONSTRUCTION
 ISSUED FOR PRICING
 X ISSUED FOR PERMIT
 ISSUED FOR CONSTRUCTION

SHEET TITLE:
 DUPLEX TYPE II
 ELEVATIONS

DRAWING NO.
 DP4.01

Draft PD-67 Text Amendments

I. Building Façade Material Standards

UDC Section 2.09.04 Building Façade Material Standards shall apply with the addition of the following standards and as generally depicted on the Elevations (Exhibit “H”).

1. All buildings must include at least four (4) of the following design features. All buildings shall include the design elements noted in subsection g., below related to recesses and offsets as shown on the PD Concept Plan (Exhibit “D”) and on the Elevations (Exhibit “H”).
 - a. Architectural lighting attached to the building;
 - b. Arches;
 - c. Balconies and/or outdoor patios;
 - d. Courtyards/plazas;
 - e. Dentil course;
 - f. Divided light windows;
 - g. Recesses, projections, columns, pilasters projecting from the planes; offsets; reveals; or projecting ribs used to express architectural bays;
 - h. Varied roof heights for pitched, peaked, sloped, or flat roof styles;
 - i. Articulated cornice line; and
 - j. Architectural details such as tile work, molding, corbels, shutters, awnings, or accent materials integrated into the building façade.
2. The northernmost façade directly adjacent to Corinth Parkway (except for windows, doors, balconies/patios, and corridor or stairway entrances) shall be composed of 100% brick or stone masonry materials calculated from the finished floor to the top plate at the upper floor. The remaining façade elements such as balconies, stairwells, patio recesses and any accent details above the top of the plate may be cementitious materials that that are painted and/or stained to resemble wood or stucco.
3. All other building facades (except for windows, doors, garage doors, balconies/patios, corridor or stairway entrances) shall be composed of 100% masonry construction materials or fiber-reinforced cementitious board as calculated from the finished floor to the top plate at the upper floor. The remaining façade elements such as balconies, stairwells, patio recesses and any accent details above the top of the plate may be cementitious materials that that are painted and/or stained to resemble wood or stucco.
4. Building façade articulation and mix of materials shall be as generally depicted on the Elevations (Exhibit “H”) to create variety and rhythm.

*New items marked in red and underlined



**BRIDGEVIEW
PLANNED DEVELOPMENT NO. 67
BASE ZONING DISTRICT: MF-3 MULTI-FAMILY
ORDINANCE NO. 24-03-01-10
(ADOPTED 3-7-2024)**

AMENDING:

- **ORDINANCE NO. 23-06-15-21 (ADOPTED 6-15-23)**

AMENDED BY:

- **PDA23-0008: MINOR PD AMENDMENT FOR SITE DESIGN CHANGES AND UPDATES TO DEVELOPMENT STANDARDS (APPROVED BY STAFF 10-1-2024)**

**CITY OF CORINTH, TEXAS
ORDINANCE NO. 24-03-07-10****BRIDGEVIEW (FORMERLY ALBUM CORINTH) PLANNED
DEVELOPMENT DISTRICT #67**

AN ORDINANCE OF THE CITY OF CORINTH, TEXAS, AMENDING THE CITY'S ZONING ORDINANCE AND THE "OFFICIAL ZONING DISTRICT MAP OF THE CITY OF CORINTH, TEXAS," EACH BEING A PART OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF CORINTH, BY AMENDING THE ZONING CLASSIFICATION FOR THE PROPERTY DESCRIBED IN EXHIBIT "A," ATTACHED HERETO AND INCORPORATED HEREIN, BY AMENDING ORDINANCE 23-06-15-21 "ALBUM CORINTH MULTI-FAMILY PLANNED DEVELOPMENT" PLANNED DEVELOPMENT DISTRICT NO. 67 WITH A BASE ZONING DESIGNATION OF MF-3 MULTI-FAMILY RESIDENTIAL ON APPROXIMATELY ±6.5 ACRES; PROVIDING A LEGAL PROPERTY DESCRIPTION ("PD-67"); PROVIDING A GRAPHIC DEPICTION OF THE SITE TO BE REZONED (EXHIBIT "B"); APPROVING AMENDMENTS TO EXHIBIT "C", PLANNED DEVELOPMENT STANDARDS TO AMEND SECTION 1, "PURPOSE AND BASE DISTRICT", SUBSECTION A, "PURPOSE", TO CHANGE THE NAME OF PD-67 FROM "ALBUM CORINTH PLANNED DEVELOPMENT NO. 67" TO "BRIDGEVIEW PLANNED DEVELOPMENT DISTRICT NO. 67 AND SECTION 2 "USES AND AREA REGULATIONS", SUBSECTION B, "PERMITTED USES AND REGULATIONS" TO ADD RETAIL AND RESTAURANT USES AS PERMITTED USES; PROVIDING FOR THE INCORPORATION OF PREMISES; PROVIDING AMENDMENTS TO EXHIBITS "D" THROUGH "H-13" ADOPTED VIA ORDINANCE NO. 23-06-15-21 AND INCORPORATING HEREIN ALL EXHIBITS ADOPTED VIA ORDINANCE NO. 23-06-15-21; PROVIDING FOR A PENALTY NOT TO EXCEED \$2,000 A DAY FOR EACH VIOLATION OF THE ORDINANCE AND A SEPARATE OFFENSE SHALL OCCUR ON EACH DAY THAT A VIOLATION OCCURS OR CONTINUES; PROVIDING A CUMULATIVE REPEALER CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS/CONFLICT CLAUSE; PROVIDING FOR PUBLICATION AND AN EFFECTIVE DATE.

WHEREAS, the City of Corinth, Texas has adopted a Unified Development Code of the City as part of its Code of Ordinances, which includes the Comprehensive Zoning Ordinance and which, in accordance with the City's Comprehensive Plan, establishes zoning districts and adopts a Zoning Map; and

WHEREAS, the property is comprised of a tract of land, approximately 6.5 acres as described in Exhibit "A" (the "Property") and depicted in Exhibit "B" (the "Graphic Depiction"), and is currently zoned as Planned Development No. 67, with a base zoning of MF-3 Multi-Family Residential, under the City's Unified Development Code and as designated on the City's Zoning Map; and

Ordinance No. 24-03-07-10

Page 2 of 34

WHEREAS, an authorized person having a proprietary interest in the Property (the “**Applicant**”) has requested an amendment to the existing PD-Planned Development zoning district under the City’s Unified Development Code (“UDC”), more specifically identified as Bridgeview (Formerly Album Corinth) District No. 67 (“PD-67”); and

WHEREAS, the City Council and the Planning and Zoning Commission of the City of Corinth, having given the requisite notices by publication and otherwise, and each, held due hearings and afforded a full and fair hearing to all the property owners generally, and to the persons interested and situated in the affected area and in the vicinity thereof; and

WHEREAS, the Planning and Zoning Commission has recommended approval of the requested change in zoning to the Property, and the City Council has determined that the Property has unique characteristics and that zoning through a planned development district is the most appropriate mechanism for zoning the Property, thus an amendment to the Comprehensive Zoning Ordinance and the Zoning Map of the City’s Unified Development Code, in accordance with the standards and specifications set forth herein, including without limitation the Planned Development Standards set forth in **Exhibit “C”** should be approved; and

WHEREAS, the City Council further considered the character of the Property and proposed development and the positive impact of restaurant and retail uses on the downtown area; and

WHEREAS, the City Council finds that the requested Amendment to the City’s Comprehensive Zoning Ordinance and Zoning Map to effect the change in zoning for the Property in this amendment to PD-67 promotes the health and the general welfare, provides adequate light and air, prevents the over-crowding of land, avoids undue concentration of population, and facilitates the adequate provision of transportation, water, sewerage, schools, parks and other public requirements; and the general health, safety and welfare of the community; and

WHEREAS, the City Council finds and determines that the adoption of this Ordinance amending Exhibit “C” and reincorporating all Exhibits adopted via Ordinance No. 23-06-15-21 serves the interest of public health, safety and welfare and should be adopted;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CORINTH, TEXAS:

**SECTION 1.
INCORPORATION OF PREMISES**

The above and foregoing recitals constitute legislative findings of the City Council, are true and correct and are incorporated into the body of this Ordinance for all purposes.

**SECTION 2.
LEGAL PROPERTY DESCRIPTION; AMENDMENT**

That the Unified Development Code of the City of Corinth (“UDC”), which UDC includes the Comprehensive Zoning Ordinance that establishes zoning districts in accordance with the City’s Comprehensive Plan, and adopts the Zoning Map of the City of Corinth, is hereby amended by the adoption of this Ordinance amending Ordinance No. 23-06-15-21 zoning the Property as Planned Development No. 67 on approximately 6.5 acres of land, the overall boundary and legal description

Ordinance No. 24-03-07-10

Page 3 of 34

as specifically described in **Exhibit “A,”** attached hereto and incorporated herein (the “Property”), and as graphically depicted in **Exhibit “B,”** attached hereto and incorporated herein (the “Graphic Depiction”), and subject to the regulations contained in this Ordinance, including without limitation **Exhibit “C,”** (the “Planned Development Standards”) as further described in Section 3 below.

SECTION 3. LAND USE REGULATIONS/ZONING MAP

A. Ordinance No. 23-06-15-21 amending the City’s Comprehensive Zoning Ordinance and Land Use Map to establish Alum Corinth Multi-Family Planned Development District No. 67 (“Alum Corinth PD-67”) is hereby amended to change the name from “Alum Corinth Planned Development No. 67” to “Bridgeview Planned Development District No. 67 (“PD-67”)” and the Planned Development Standards set forth in **Exhibit “C,”** thereof, Section 1, “Purpose and Base District”, Subsection A, “Purpose” is hereby amended to reference Bridgeview Planned Development District No. 67 (“PD-67”).

B. The Planned Development Standards set forth in **Exhibit “C,”** of Ordinance No. 23-06-15-21, Section 2, “Uses and Area Regulations”, Subsection B, “Permitted Uses and Regulations” is hereby amended to add restaurant uses without drive-in or drive through service, retail stores and shops as a Permitted Use. Section 2(B) of Exhibit “C” shall be and read in its entirety as set forth in Exhibit “C” hereto. An amended and restated Exhibit “C”, Planned Development Standards, Bridgeview (formerly Alum Corinth) attached hereto and incorporated herein, is hereby adopted. The Planned Development Standards set forth in **Exhibit “C”** hereto are made a part hereof for all purposes, and shall be adhered to in their entirety for the purposes of this PD-Planned Development zoning district (“PD-67”) with a base zoning of MF-3, Multi-Family Residential. In the event of conflict between the provisions of **Exhibit “C”** and provisions of any other City zoning regulations, including without limitation, the regulations governing the MF-3, Multi-Family Residential zoning district, **Exhibit “C”** shall control. Except in the event of a conflict as provided herein or as otherwise expressly provided herein, all UDC regulations shall apply to the Property and shall be cumulative.

C. That the zoning regulations and district herein established for the Property have been adopted in accordance with the Comprehensive Plan for the purpose of promoting the health, safety, morals and the general welfare of the community. They have been designed, with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to provide adequate light and air; to prevent overcrowding of land; to avoid undue concentration of population; and to facilitate the adequate provision of transportation, water, sewerage, drainage and surface water, parks and other commercial needs and development of the community. They have been made after a full and complete hearing with reasonable consideration among other things of the character of the district and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

D. The Planned Development Standards (**“Exhibit C”**) to Ordinance No. 23-06-15-21 as amended hereby shall control the use and development of the Property in accordance with the provisions of this Ordinance, and all building permits and development requests shall be in accordance with applicable City ordinances, the PD Concept Plan (**“Exhibit D”**), and the “Ancillary Conceptual Plans” as identified in Section 4 of this Ordinance. This Ordinance and all Exhibits hereto shall remain in effect as set forth herein unless amended by the City Council, or as

Ordinance No. 24-03-07-10

Page 4 of 34

otherwise provided for in UDC Subsection 2.10.09, Minor PD Amendment or Adjustment, as amended.

E. If a change to this Ordinance, including without limitation, the PD Concept Plan, and/or associated Ancillary Conceptual Plans, if any, is requested for the Property, the request shall be processed in accordance with the UDC and other development standards in effect at the time the change is requested for the proposed development and shall be subject to City Council approval, or as otherwise provided for in UDC Subsection 2.10.09, Minor PD Amendment or Adjustment, as amended.

F. The official Zoning Map of the City of Corinth, Texas shall be amended in accordance with this Ordinance amending Ordinance No. 23-06-15-21 renaming the Property as PD-67, “Bridgeview Planned Development District” as set forth herein with the Base Zoning Designation continuing to remain MF-3 Multi-Family Residential and rezoning to allow retail uses as set forth in **Exhibit “C”** hereto.

SECTION 4. ADDITIONAL ANCILLARY CONCEPTUAL PLANS

The additional ancillary conceptual plans adopted pursuant to Ordinance No. 23-06-15-21 shall apply to the Property and shall be adhered to in the development and use of the Property. Such additional and ancillary conceptual plans are set forth in the Concept Landscape Plan (**“Exhibit E”**), Tree Survey and Preliminary Tree Protection and Mitigation Plan (**“Exhibit F”**), Private Recreation and Open Space Plan (**“Exhibit G”**), Elevations (**“Exhibit “H” (“H-1 – H-13”)**), are attached hereto and incorporated herein, and are collectively herein referred to as the **“Ancillary Conceptual Plans.”** The Ancillary Conceptual Plans adopted pursuant to Ordinance No. 23-06-15-21 are attached hereto, incorporated and restated herein and shall remain in full force and effect.

SECTION 5. CUMULATIVE REPEALER

This Ordinance shall be cumulative of all other Ordinances and shall not repeal any of the provisions of such Ordinances except for those instances where there are direct conflicts with the provisions of this Ordinance. Ordinances, or parts thereof, in force at the time this Ordinance shall take effect and that are inconsistent with this Ordinance are hereby repealed to the extent that they are inconsistent with this Ordinance. Provided however, that any complaint, action, claim or lawsuit which has been initiated or has arisen under or pursuant to such other Ordinances on this date of adoption of this Ordinance shall continue to be governed by the provisions of such Ordinance and for that purpose the Ordinance shall remain in full force and effect.

SECTION 6. SEVERABILITY

If any section, subsection, clause, phrase, or provision of this Ordinance, or the application thereof to any person or circumstance, shall to any extent be held by a court of competent jurisdiction to be invalid, void, or unconstitutional, the remaining sections, subsections, clauses, phrases, and provisions of this Ordinance, or the application thereof to any person or circumstance, shall remain in full force and effect and shall in no way be affected, impaired or invalidated.

Ordinance No. 24-03-07-10
Page 5 of 34

**SECTION 7.
SAVINGS/CONFLICT**

In the event of a direct conflict between the provisions of this Ordinance and any other regulation or rule prescribed by charter, another ordinance, resolution or other authorization of the City, the provisions of this ordinance shall control. Notwithstanding the foregoing, all rights and remedies of the City are expressly saved as to any and all complaints, actions, claims, or lawsuits, which have been initiated or have arisen under or pursuant to such conflicting Ordinance, or portion thereof, on the date of adoption of this Ordinance shall continue to be governed by the provisions of that Ordinance and for that purpose the conflicting Ordinance shall remain in full force and effect.

**SECTION 8.
PENALTY FOR VIOLATIONS**

Any person, firm, or corporation who intentionally, knowingly or recklessly violates any provision of this Ordinance or the Code of Ordinances, as amended hereby, shall be subject to a fine not to exceed the sum of five hundred dollars (\$500.00) for each offense, and each and every day any such offense shall continue shall be deemed to constitute a separate offense, provided, however, that in all cases involving violation of any provision of this Ordinance or Code of Ordinances, as amended hereby, governing the fire safety, zoning, or public health and sanitation shall be subject to a fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense, and each and every day any such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 9.
PUBLICATION/EFFECTIVE DATE**

This Ordinance shall take effect upon its publication as required by law. The City Secretary is directed to publish the caption and penalty of this Ordinance as required by the City Charter and state law.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF CORINTH
THIS 7TH DAY OF MARCH, 2024.**

DocuSigned by:
Bill Heidemann
AC74FAA88CA6468...

Bill Heidemann, Mayor

DocuSigned by:
Lana Wylie
D77DD89FB0C3473...

Lana Wylie, City Secretary



APPROVED AS TO FORM:
DocuSigned by:
Patricia Adams
B5BAF55D871D428...

Patricia A. Adams, City Attorney

Ordinance No. 24-03-07-10

Page 6 of 34

EXHIBIT "A"
LEGAL DESCRIPTION

BEING a 6.500 acre tract of land situated in the J.P. Walton Survey, Abstract No. 1389, Denton County, Texas, being a portion of Lot 3, Block A, Goddard School Addition, an addition to the City of Corinth, Denton County, Texas, according to the replat recorded in Document No. 2019-320, Official Records, Denton County, Texas (ORDCT), and being all of Lot 2, Block A, A.L. Lamascus Addition, an addition to the City of Corinth, Denton County, Texas, according to the plat recorded in Cabinet F, Page 400, Plat Records, Denton County, Texas (PRDCT), and being a portion of Lot 3, Block A, of said A.L. Lamascus Addition, said 6.500 acre tract of land being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8" iron rod found for the northwest corner of said Lot 3, Goddard School Addition, the northeast corner of Lot 3, Block A, Corinth Professional Buildings Addition, an addition to the City of Corinth, according to the plat recorded in Document No. 2009-90, ORDCT, and in the south right-of-way line of Corinth Parkway, an 84.00 foot wide right-of-way, described in the deed to the City of Corinth, as recorded in Volume 4477, Page 1540, Deed Records, Denton County, Texas (DRDCT);

THENCE North 88°41'39" East, with the north line of said Lot 3, Goddard School Addition and the south right-of-way line of said Corinth Parkway, a distance of 324.11 feet to a 5/8" capped iron rod stamped "MMA" set for the northeast corner of said Lot 3, Goddard School Addition and in the west line of a called 39.176 acre tract of land (Tract I) described in the deed to the City of Corinth, Texas, as recorded in Document No. 97-88168, ORDCT;

THENCE South 1°44'04" East, departing the south right-of-way line of said Corinth Parkway, with the common line of said Lot 3, Goddard School Addition, Lot 2 and Lot 3 of said A.L. Lamascus Addition and said City of Corinth tract, a distance of 890.97 feet to a 1/2" capped iron rod stamped "ARTHUR SURVEYING COMPANY" found for the northeast corner of a called 0.167 acre tract of land described in the deed to the City of Corinth, as recorded in Document No. 2006-18425, ORDCT;

THENCE South 88°15'56" West, over and across said Lot 3, A.L. Lamascus Addition, with the north line of said City of Corinth tract (2006-18425), a distance of 33.21 feet to a 1/2" capped iron rod stamped "ARTHUR SURVEYING COMPANY" found for the southeast corner of a called 0.138 acre tract of land described in the deed to the City of Corinth, as recorded in Document No. 2007-140511, ORDCT;

THENCE over and across said Lot 3, A.L. Lamascus Addition, with the north line of said City of Corinth tract (2007-140511), the following courses and distances:

North 25°59'32" West, a distance of 4.13 feet to a 1/2" capped iron rod stamped "ARTHUR SURVEYING COMPANY" found for corner;

North 43°18'20" West, a distance of 21.32 feet to a 1/2" capped iron rod stamped "ARTHUR SURVEYING COMPANY" found for corner;

North 87°01'01" West, a distance of 27.01 feet to a 1/2" iron rod found for corner;

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North 80°28'21" West, a distance of 24.37 feet to a 1/2" iron rod found for corner;

North 69°42'15" West, a distance of 29.03 feet to a 1/2" iron rod found for corner;

North 79°28'25" West, a distance of 25.76 feet to a 1/2" iron rod found for corner;

North 89°05'11" West, a distance of 21.68 feet to a 1/2" iron rod found (disturbed) for corner;

South 71°04'15" West, a distance of 44.27 feet to a 1/2" iron rod found for corner;

South 32°50'19" West, a distance of 28.69 feet to a 5/8" capped iron rod stamped "MMA" set for corner;

South 10°15'37" East, a distance of 7.43 feet to a 1/2" iron rod found (disturbed) for the southwest corner of said City of Corinth tract (2007-140511) and in the north line of said City of Corinth tract (2006-18425);

THENCE South 88°15'56" West, with the north line of said City of Corinth tract (2006-18425), a distance of 93.02 feet to a 1/2" capped iron rod stamped "ARTHUR SURVEYING COMPANY" found for the northwest corner of said City of Corinth tract (2006-18425), in the west line of said A.L. Lamascus Addition and the east line of Lot 3, Block 1, Autumn Oaks, an addition to the City of Corinth, Denton County, Texas, according to the plat recorded in Cabinet U, Page 744, PRDCT, from said 1/2" capped iron rod stamped "ARTHUR SURVEYING COMPANY" found, a 5/8" iron rod found for the southwest corner of said City of Corinth tract (5006-18425), bears South 1°44'04" East, a distance of 22.50 feet;

THENCE North 1°44'04" West, with the common line of said Lot 2 and Lot 3, A.L. Lamascus Addition, Lot 3 of said Goddard School Addition, Lot 2 and Lot 3 of said Autumn Oaks addition and Lot 3 of said Corinth Professional Buildings Addition, a distance of 893.39 feet to the **POINT OF BEGINNING** and containing 283,128 Square Feet or 6.500 Acres of Land, more or less.

EXHIBIT "B"
GRAPHIC DEPICTION OF THE SITE



EXHIBIT “C”
PLANNED DEVELOPMENT STANDARDS
BRIDGEVIEW (FORMERLY ALBUM CORINTH)
MULTI-FAMILY RESIDENTIAL FOR A 55+ AGE-RESTRICTED ACTIVE ADULT
COMMUNITY

SECTION 1: PURPOSE AND BASE DISTRICT

A. Purpose

The regulations set forth in this **Exhibit “C”** provide development standards for multifamily residential uses within the Bridgeview Planned Development District No. 67 (“PD-67”) (formerly identified as “Album Corinth Planned Development District No. 67 (“PD-67”)”). The boundaries of PD-67 are identified by metes and bounds on the Legal Description, **Exhibit “A”** to this Ordinance, and the Property shall be developed in accordance with these regulations and the Planned Development “PD” Concept Plan as depicted on **Exhibit “D”**, and associated Ancillary Concept Plans as depicted in **Exhibits “E”, “F”, “G”, and “H”** to this Ordinance (collectively the foregoing are referred to as the “Development Standards”). A use that is not expressly authorized herein is expressly prohibited in this PD-67.

B. Base District

In this PD-67, the “MF-3” Multifamily Residential District regulations of the Corinth Unified Development Code, Ordinance No. 13-05-02-08, as amended, shall apply to the Property except as modified herein (hereinafter “UDC” or “Unified Development Code”). If a change to the PD Concept Plan, and/or associated Ancillary Concept Plans is requested, the request shall be processed in accordance with the UDC and development standards in effect at the time the change is requested for the proposed development per the Planned Development Amendment Process.

SECTION 2: USES AND AREA REGULATIONS:

A. Purpose

The following “Development Regulations” represent special development regulations, and specific departures or modifications, as well as waivers from the regulations outlined in Unified Development Code (UDC) in order to permit the unique design and afford flexibility and innovation of design that require certain departures from the “based zoning” regulations to create the active-adult project as presented in the Planned Development “PD” Concept Plan as depicted on Exhibit “D”, and other associated exhibits.

B. Permitted Uses and Regulations

UDC Section 2.07 shall apply, except that, the primary use of the planned development for Multi-Family shall be limited to Multi-Family Residential for a 55+ Age-Restricted Active Adult Community. The use shall not include licensed assisted living or skilled nursing facilities. Accessory uses commonly associated with independent retirement housing such as a leasing office, clubhouse, and recreational amenities shall be permitted. Restaurant without

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drive-in or drive through service and retail stores and shops uses shall be permitted. Carports shall be permitted for covered vehicle parking.

C. Dimensional Regulations

UDC Section 2.08.04 Residential Dimensional Chart shall apply, except as modified in Table A – Dimensional Requirements below:

Table A – Dimensional Requirements

Minimum Front Yard Setback	30'	10'
Minimum Side Yard Setback: Interior Lot	30'	20'
Minimum Side Yard Setback: Corner Lot	30'	20'
Minimum Rear Yard Setback	30'	20'
Minimum Lot Area	1 Acre	6.5 Acres
Maximum Density	16 DU/A	31 DU/A
Minimum Lot Width:	150'	> 200'
Minimum Lot Depth	100'	> 200'
Minimum Floor Area	850 sq. ft. per DU	696 sq. ft. per DU
Maximum Height (feet/stories)	45' / 3 stories	56' / 4 stories
Maximum Building Area (all buildings)	50%	50%

D. Accessory Buildings and Uses

UDC Section 2.07.07 Accessory Building and Uses shall apply.

E. Landscaping Regulations

UDC Section 2.09.01 Landscape Regulations shall apply, except as modified below and generally depicted on the Concept Landscape Plan (Exhibit “E”).

1. Subsection 2.09.01.B.1.a.i.(b) which requires a landscape buffer width of fifteen feet (15') adjacent to a Collector Street shall be reduced to a width of ten (10) feet to coincide with the reduced front building setback (reference Table A – Dimensional Requirements above).
2. In lieu of the requirements of Subsection 2.09.01.B.1.k.i and ii., that stipulate a twenty (20) foot landscape strip along front and rear of buildings and a fifteen (15) foot landscape strip shall be provided along the side of buildings, the following standards shall apply:
 - a. A minimum of a five (5) foot landscaped strip shall be provided along the facades of each building as measured from the foundation. The landscaped strip area shall be planted at a minimum rate of one (1) Ornamental tree and eight (8) shrubs (may include

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- a mix of evergreen and deciduous) per ground floor unit and may grouped along the façade to create rhythm, variety, and visual interest along the length of each façade.
- b. In addition to the plantings listed above, the community courtyard proposed for Private Recreation shall be designed to create formal lawn areas and gathering space with fire pit and seating area or similar amenity for use by residents of the development as depicted on the Concept Landscape Plan (Exhibit “E”). A minimum of five (5) shade trees shall be located within the courtyard area.
 - c. Where head-in parking is located along the sidewalk and/or a landscape area of either outdoor amenities or ground floor windows and balconies of units, an opaque hedgerow shall be installed to block vehicle headlights.
 - d. A minimum of 48 shade trees shall be installed internally on the site as depicted on the Concept Landscape Plan, Exhibit E to reduce the effects of the urban heat island and provide shade throughout the site and along the internal pedestrian sidewalk system.
 - e. A landscape edge buffer consisting of large evergreen shrubs that will create a vertical opaque buffer and shall be installed between the “grasscrete drive/lawn area” and the eastern property line to create a defined edge between the multifamily complex and the adjacent public open space active fields.
 - f. A formal entry and plaza with sitting area, planters, and specialty paving shall be provided as generally depicted on the PD Concept Plan (Exhibit “C”) and on the Conceptual Landscape Plan (Exhibit “E”).

F. Tree Preservation

UDC Section 2.09.02 Tree Preservation regulations shall apply. Additionally, a minimum of 35% of all healthy Protected Tree CI shall be preserved on site which totals a minimum of 464 Caliper Inches as designated on the Tree Survey and Preliminary Tree Protection and Mitigation Plan (“Exhibit F”),

G. Vehicle Parking Regulations

UDC Section 2.09.03 Vehicular Parking Regulations shall apply, except as modified in Table B – Parking Requirements below:

Table B – Parking Requirements

Regulation	Base Regulations by Use	Proposed Parking Standards/Modifications
Multi-Family Parking Standard	1 space/DU + 1 additional space / bedroom	1.24 spaces/DU

H. Garages, Driveways, and Parking

UDC Section 2.04.07.C.5 Garages, Driveways, and Parking is amended to permit a combination of enclosed garages and carports as on the PD Concept Plan (Exhibit “C”) and in Table C - Garages below.

Table C- Garages.

Regulation		
Enclosed Garages	A minimum of 75% of all apartments shall have a one-car enclosed garage, 240 sq. ft. min, attached or detached .per dwelling unit	A minimum of 46% of the units shall have a combination of enclosed garages and carports.

I. Building Façade Material Standards

UDC Section 2.09.04 Building Façade Material Standards shall apply with the addition of the following standards and as generally depicted on the Elevations (Exhibit “H”):

1. All buildings must include at least four of the following design features (though at a minimum shall include the design elements noted in g., below related to recesses and offsets as shown on the PD Concept Plan (Exhibit “D”) and on the Elevations (Exhibit “H”)).
 - a. Architectural lighting attached to the building;
 - b. Arches;
 - c. Balconies and/or outdoor patios;
 - d. Courtyards/plazas;
 - e. Dentil course;
 - f. Divided light windows;
 - g. Recesses, projections, columns, pilasters projecting from the planes; offsets; reveals; or projecting ribs used to express architectural bays;
 - h. Varied roof heights for pitched, peaked, sloped, or flat roof styles;
 - i. Articulated cornice line;
 - j. Architectural details such as tile work, molding, corbels, shutters, awnings, or accent materials integrated into the building façade.
2. All building facades (except for windows, doors, garage doors, balconies/patios, corridor or stairway entrances) shall be composed of 100% brick or stone masonry materials calculated from the finished floor to the top plate at the upper floor. The remaining façade elements such as balconies, stairwells, patio recesses and any accent details above the top of the plate may be cementitious materials that that are painted and/or stained to resemble wood or stucco.
3. Building façade articulation shall be as generally depicted on the Elevations (Exhibit “H”) to create variety and rhythm.

J. Residential Adjacency Standards

UDC Section 2.09.05 Residential Adjacency Standards shall apply.

K. Private Recreation Areas

UDC Section 2.04.07.8.b Recreation Space Requirements shall apply where a minimum of eight percent (8%) of the gross complex is required to be in the form of private recreation. The requirements of this section are in addition to the park dedication requirements within 3.05.10.

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Park and Trail Dedications for Residentially Zoned Property. To meet the Private Recreation requirements, the project includes the provision of 0.52 acres or eight percent (8%) of gross complex. The “private recreation areas” are shown on the Private Recreation and Open Space Plan (Exhibit “G”). However, the activity areas shown may be adjusted or changed to include comparable activities if and when popular sports and activities change based on resident demand (i.e., pickle ball).

1. Sidewalk/Pedestrian Paths, Passive Courtyard and fire pit – 0.915 acres
 2. Pool with outdoor seating and lounge areas, pickle ball court, dog park, and shaded sidewalk/pedestrian paths - 0.851
- Total – 1.766 acres

L. Park and Trail Land Dedication.

The UDC Section 3.05.10 Park and Trail Dedication for Residentially Zoned Property requires that Park and Trail dedication for Residentially Zoned Property be provided at a rate of one (1) acre per/50 DU and/or fees-in-lieu-of shall apply, except that the Applicant/Developer agrees to incorporate the tree preservation area and linear open space adjacent to the Lynchburg Creek greenway/trail public open space to create a passive common area for the residents of the complex with benches/sitting area including decorative metal fencing with locked gate providing access out to the public open space as depicted on the PD Concept Plan (Exhibit “D”) and the Concept Landscape Plan (Exhibit”). The 19,632 sq. ft. area identified for the Tree Preservation and Common Open Space area may be used to off-set the direct portion of required trail and land dedication fees provided that that common open space is maintained as depicted on the Private Recreation and Open Space Plan (Exhibit “G”). The Tree Preservation and Common Open Space area shall remain free of any stormwater management facilities should stormwater detention be required at time of Site Plan.

M. Screening of Outdoor Waste Storage

UDC Section 4.02.13 Screening of Outdoor Waste Storage for Nonresidential, Single-Family Attached, and Multi-Family Residential Properties shall apply.

N. Lighting and Glare Regulations

UDC Section 2.09.07 Lighting and Glare Regulations shall apply except that decorative string lights shall be allowed in private recreation areas to add ambiance. This provision shall only apply to the private recreation and open space areas as depicted the on the Private Recreation and Open Space Plan (Exhibit “G”).

O. Sign Regulations

UDC Section 4.01 Sign Regulations shall apply, except that a short wall (with sign), not to exceed thirty inches (30”) two and one-half feet (2.5’) in height and comprised of masonry

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material consistent with the main building architecture, may be permitted with a minimum five-foot (5') setback from the property line to create a formal edge defining the plaza/sitting area as generally depicted on the Concept Landscape Plan (Exhibit "E").

P. Fence and Screening Regulations

UDC Section 4.02 Fence and Screening Regulations shall apply, except that 4.02.11.E Residential Construction Abuts a Collector or an Arterial Street shall not apply. Additionally, perimeter fencing as depicted on the PD Concept Plan (Exhibit "D") shall be comprised of a transparent decorative iron fence with pedestrian gate access along the western and southern property lines.

SECTION 3: ADDITIONAL DEVELOPMENT CONDITIONS

A. Phasing

The development will be delivered in one (1) phase.

B. Site Access and Design

The general design configuration of the main access point relative to the following as depicted on the PD Concept Plan (Exhibit "D").

A. The minimum required length of the internal storage (3.05.04 Table 26) shall be permitted at thirty-one feet (31') as measured from the property line.

B. The width of the fire lane may be twenty-four feet (24') at the access point as shown to permit better traffic circulation at this location around and the call box lane.

C. Specialty Paving

Specialty paving, depicted at time of Site Plan approval, shall be installed to denote the arrival point of the site and create a focal point and streetscape relationship with the adjoining plaza/sitting area.

D. Grasscrete Fire Lane

A grasscrete fire lane shall as depicted on the PD Concept Plan (Exhibit "D") shall be installed providing emergency access. The grasscrete area shall be maintained as a lawn area and be designed with a Knox Lock gate (or similar acceptable to the Fire Marshal) at the access to Corinth Parkway and a gate delineating the western most access from the resident parking area. The type of gate shall be determined at time of Site Plan and be acceptable to the Fire Marshal though at a minimum would be a one-armed gate (or similar).

E. Miscellaneous Impacts

1. A Traffic Impact Assessment has been provided.

2. Floodplain/Wetlands - Development will not impact the floodplain area.
3. Detention required for sites over 1 acre - Detention is not anticipated to be needed on the site. A downstream assessment has been undertaken and with the proposed conditions the site will not cause an increase in discharge or water surface elevation from existing conditions. A full drainage study will be provided during the site plan/engineering plan review. However, should a detention area be required at time of Site Plan; the location of the basin will be located underground or in another manner acceptable to the City and in a location that does not impact the Tree Preservation Open Space area at the south end of the property. This stipulation shall also apply to any areas required to address water quality requirements on site.
4. Utilities – a portion of the existing 16’ utility easement shown to be abandoned will be further evaluated at the time of Site Plan and detailed engineering design. e Century Link utility easement and access to the existing building will remain.

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Section E, Item 7.

EXHIBIT “D”

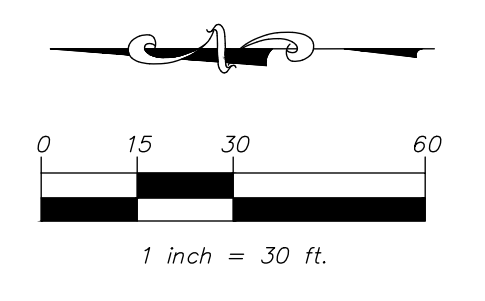
Concept Landscape Plan (“**Exhibit E**”), Tree Survey and Preliminary Tree Protection and Mitigation Plan (“**Exhibit F**”), Private Recreation and Open Space Plan (“**Exhibit G**”), Elevations (“**Exhibit H**” (“**H-1 – H-13**”)), are attached hereto and incorporated herein, and are collectively herein referred to as the “**Ancillary Conceptual Plans.**”

LINE #	LENGTH	DIRECTION
L1	93.02'	N 88°15'56" E
L2	7.43'	N 10°15'37" W
L3	28.69'	N 32°50'19" E
L4	44.27'	N 71°04'15" E
L5	21.68'	S 89°05'11" E
L6	25.76'	S 79°28'25" E
L7	29.03'	S 69°42'15" E
L8	24.37'	S 80°28'21" E
L9	27.01'	S 87°01'01" E
L10	21.32'	S 43°18'20" E
L11	4.13'	S 25°59'32" E
L12	33.24'	N 88°13'53" E

SITE DATA TABLE	
MULTI-FAMILY REQUIREMENTS	
SITE DATA	
CURRENT ZONING	SF-2
BASE ZONING	MF-3
SITE AREA	6.5 AC
UNITS	196
BUILDING COVERAGE (ALL BUILDINGS)	50% MAX.
DENSITY	30.8 UNITS/AC
BUILDING DATA	
NUMBER OF STORES	4 STORIES
MINIMUM FLOOR AREA	696 SF
BUILDING SETBACKS	
FRONT YARD	10' MIN.
REAR YARD	20' MIN.
SIDE YARD	20' MIN.
ADJACENT TO ONE OR TWO FAMILY RESIDENTIAL	NA

SITE DATA TABLE	
UNIT TYPE	NUMBER
MULTI-FAMILY 1 BEDROOM	120
MULTI-FAMILY 2 BEDROOM	76
TOTAL MULTI-FAMILY UNITS	196
REQUIRED PARKING	
1.24 PS PER UNIT	244
TOTAL REQUIRED PARKING	244
PROVIDED PARKING	
SURFACE PARKING (INCLUDING CARPORTS & GARAGES)	1.24 SPACES PER UNIT
TOTAL PARKING PROVIDED	244 SPACES (1.24 UNIT)

NOTES:
 1. A PORTION OF THE EXISTING 16' UTILITY EASEMENT SHOWN TO BE ABANDONED WILL BE FURTHER EVALUATED AT THE TIME OF SITE PLAN / DETAILED ENGINEERING DESIGN.
 2. AERIAL FIRE APPARATUS ACCESS ROAD MUST BE ABLE TO ACCOMMODATE 85,000 LBS.
 3. ALL GATES WITHIN THE FIRE LANE SHALL PROVIDE AUTOMATIC ACCESS WITH A MANUAL DISCONNECT.



LEGEND:

GRASS PAVER FIRE LANE	
FIRE LANE	
PARKING COUNT	
FENCING	
ZONING	
EX. USE CLASSIFICATION	

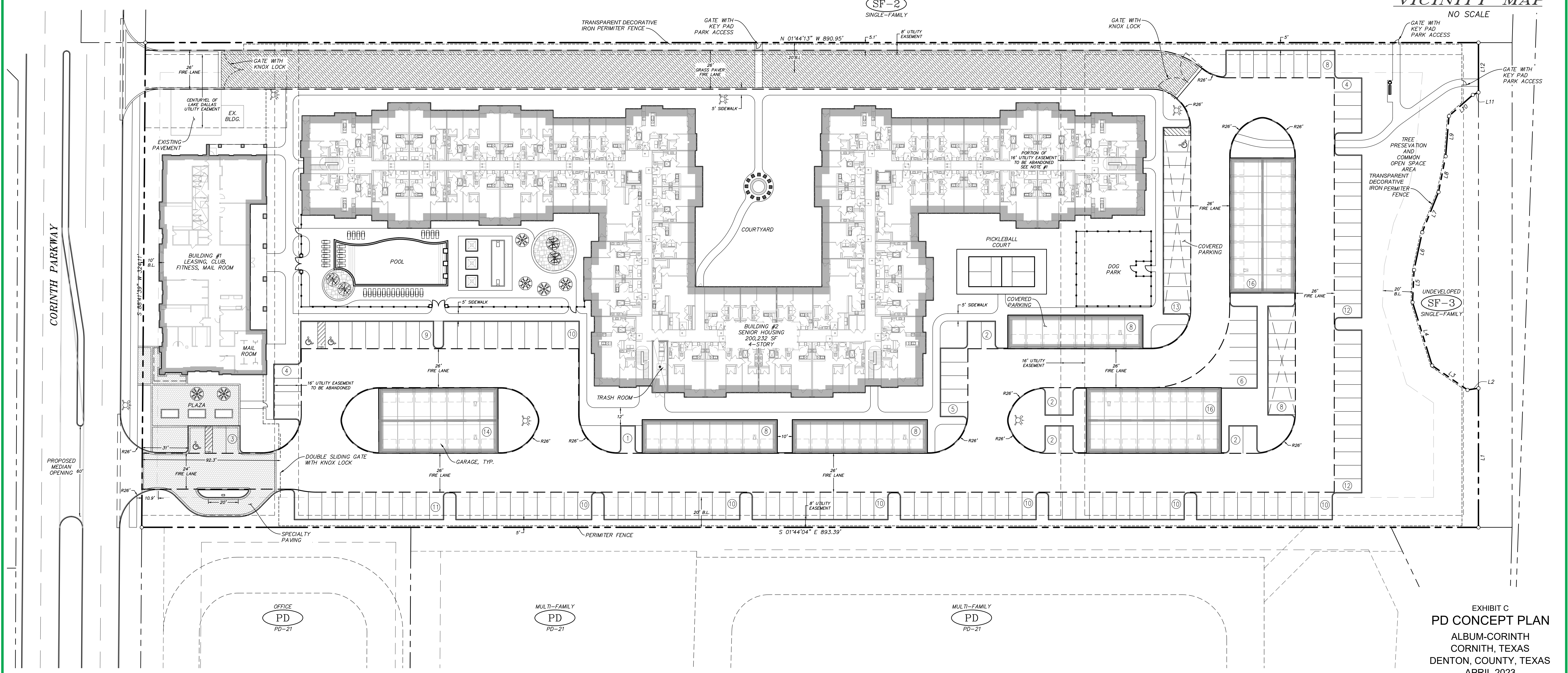


EXHIBIT C
PD CONCEPT PLAN
 ALBUM-CORINTH
 CORINTH, TEXAS
 DENTON, COUNTY, TEXAS
 APRIL 2023

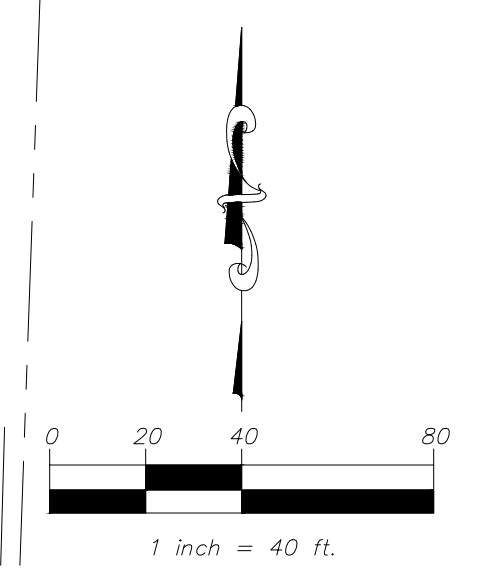
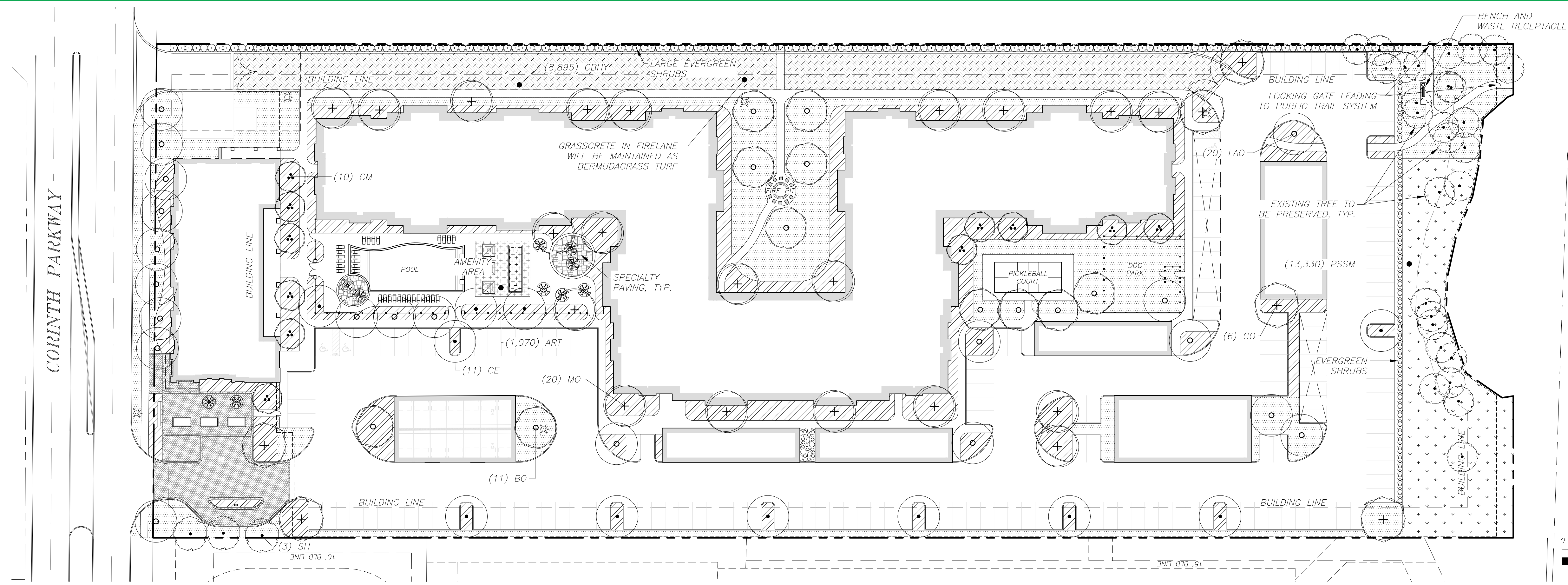
ZONING CASE #ZAPD23-0001

OWNER:
 KRIESTEN, JILL SMALLWOOD
 3654 CORINTH PARKWAY
 CORINTH, TX 76208

OWNER:
 HASA INVESTMENT LLC
 2625 OLD DENTON RD
 CARROLLTON, TX 75007

DEVELOPER:
 GREYSTAR DEVELOPMENT
 CENTRAL, LLC
 600 E. LAS COLINAS BLVD., SUITE 2100
 IRVING, TEXAS 75039
 CONTACT: JR THULIN
 PHONE: (214) 451-5698

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PLANT SCHEDULE							
TREES	CODE	QTY	COMMON / BOTANICAL NAME	CALIPER	CONTAINER	HEIGHT	SPREAD
	XP	19	EXISTING PROTECTED TREE TO BE PRESERVED	VARIABLES			
LARGE TREES	CODE	QTY	COMMON / BOTANICAL NAME	CALIPER	CONTAINER	HEIGHT	SPREAD
	BO	11	BURR OAK QUERCUS MACROCARPA NURSERY GROWN	3" CAL.	B&B OR CONTAINER	11'-12' HT.	MIN. 8' SPREAD
	CE	12	CEDAR ELM ULMUS CRASSIFOLIA NURSERY GROWN	3" CAL.	B&B OR CONTAINER	11'-12' HT.	MIN. 8' SPREAD
	CO	6	CHINQUAPIN OAK QUERCUS MUEHLBERGII NURSERY GROWN	3" CAL.	B&B OR CONTAINER	11'-12' HT.	MIN. 8' SPREAD
	LAO	17	LACEY OAK QUERCUS LACEYI NURSERY GROWN	3" CAL.	B&B OR CONTAINER	11'-12' HT.	MIN. 7' SPREAD
	MO	20	MONTEREY OAK QUERCUS POLYMORPHA NURSERY GROWN	3" CAL.	B&B OR CONTAINER	10'-11' HT.	MIN. 7' SPREAD
ORNAMENTAL TREES	CODE	QTY	COMMON / BOTANICAL NAME	CALIPER	CONTAINER	HEIGHT	SPREAD
	CM	11	CATAWBA CRAPE MYRTLE (PURPLE) LAGERSTROEMIA INDICA 'CATAWBA' NURSERY GROWN	3" CAL.	B&B OR CONTAINER	8'-9' HT.	MIN. 6' SPREAD
	SH	3	SAVANNAH HOLLY ILEX X ATTENUATA 'SAVANNAH'	3" CAL.	B&B OR CONTAINER	9'-10' HT.	MIN. 6' SPREAD
SHRUBS	CODE	QTY	COMMON / BOTANICAL NAME	CONTAINER			
	ES	254	EVERGREEN SHRUB	5 GAL.			
SHRUB AREAS	CODE	QTY	COMMON / BOTANICAL NAME	SIZE			
	SGP	2,982	SHRUB AND GROUNDCOVER PLANTING SHRUB AND GROUNDCOVER PLANTING	VARIABLES			
GROUND COVERS	CODE	QTY	COMMON / BOTANICAL NAME	CONTAINER			
	PSSM	13,330	PRAIRIE STARTER SEED MIX	HYDROMULCH			
	CBHY	16,021	CELEBRATION BERMUDAGRASS CYNODON DACTYLON 'CELEBRATION' SOD	HYDROMULCH			
	CBE	35,016	CELEBRATION BERMUDAGRASS CYNODON DACTYLON 'CELEBRATION'	SOLID SOD			
MATERIALS	CODE	QTY	COMMON / BOTANICAL NAME	CONTAINER			
	RRO	229	3"-5" DEPTH OVER LANDSCAPE FABRIC RIVER ROCK	SQ. FT.			
	ART	1,303	TYPE TO BE SELECTED ARTIFICIAL TURF	SQ. FT.			

LANDSCAPE DATA		
LANDSCAPE EDGE AT R.O.W. ADJACENCIES	REQUIRED	PROVIDED
CORINTH PARKWAY - COLLECTOR - FRONTAGE LENGTH - 324 L.F.		
DEPTH REQUIRED	15'	10'
NUMBER OF 3" CALIPER TREES REQUIRED @ (1) PER 30 L.F. OF FRONTAGE	11	11
VEHICLE HEADLIGHT SCREENING ABUTTING THE LANDSCAPE EDGE	AT PARKING LOT	AT PARKING LOT
PARKING LOT REQUIREMENTS	REQUIRED	PROVIDED
PARKING SPACES	247	247
ONE 3" SHADE TREE PROVIDED FOR EVERY 10 PARKING SPACES	25	25
20 S.F. OF INTERIOR PARKING LOT LANDSCAPING FOR EACH PARKING SPACE	4,940 S.F.	9,580 S.F.*
ALL PARKING ISLANDS TO BE PROTECTED BY 6" RAISED CURB	YES	YES
NO PAVING SHALL BE PERMITTED WITHIN 5' OF CENTER OF TREE	YES	YES
MULTI-FAMILY INTERNAL AND OPEN SPACE REQUIREMENTS	REQUIRED	PROVIDED
INTERIOR TREES BASED ON 47,051 S.F. OF REQUIRED YARDS @ (1), 3" SHADE TREE PER 1,000 S.F.	48	48
* INDICATES REQUIRED MINIMUM STANDARD EXCEEDED		

PLANT MATERIAL SPECIFICATION

ALL TREES TO BE UNIFORM BY SPECIES WITH STRAIGHT TRUNKS, MATCHING CHARACTER, AND FULL BRANCHING STRUCTURE.
ALL SHRUBS TO BE FULL AND UNIFORM BY SPECIES WITH MATCHING CHARACTER AND BRANCHING STRUCTURE.
EACH PLANT VARIETY MUST COME FROM A SINGLE SOURCE SUPPLIER IN ORDER TO MAINTAIN A CONSISTENT APPEARANCE.
ALL TREES, B&B AND CONTAINER TO BE NURSERY GROWN STOCK, WITH A WELL ESTABLISHED ROOT SYSTEM. COLLECTED SPECIMENS WILL BE REJECTED. CONTAINER GROWN PLANT MATERIAL MUST HAVE A WELL-ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER, ABLE TO MAINTAIN A FIRM BALL WHEN THE CONTAINER IS REMOVED, BUT SHALL NOT HAVE EXCESSIVE ROOT GROWTH ENCIRCLING THE INSIDE OF THE CONTAINER.
ALL PLANT MATERIAL SHALL COMPLY WITH THE MINIMUM REQUIREMENTS AS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN, TEXAS ASSOCIATION OF NURSERYMEN STANDARDS AND/OR AS STATED IN THE PLANT SCHEDULE, WHICHEVER IS MORE STRINGENT.
ALL TREES MUST MEET ALL THREE SPECIFICATIONS IN THE PLANT LEGEND: CALIPER, HEIGHT AND SPREAD.

GENERAL UTILITY NOTES:

- ALL EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION ONLY. ALTHOUGH THIS DATA IS SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS CAUTIONED THAT THE OWNER AND THE ENGINEER NEITHER ASSUMES NOR IMPLIES ANY RESPONSIBILITY FOR THE ACCURACY OF THIS DATA. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY AFFECTED AND VERIFY THESE LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
- CALL 811 OR OTHER UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. MMA, INC. IS NOT RESPONSIBLE FOR KNOWING ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS OF UTILITIES ON DRAWINGS.

THIS DOCUMENT IS RELEASED FOR THE PURPOSES OF REVIEW UNDER THE AUTHORITY OF DUWAINE JOINER, RLA NO. 2071 ON 26/04/2023 AND IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

OWNER:
HASA INVESTMENT LLC
2625 OLD DENTON RD
CARROLLTON, TX 75007

OWNER:
KRIESTEN, JILL SMALLWOOD
3654 CORINTH PARKWAY
CORINTH, TX 76208

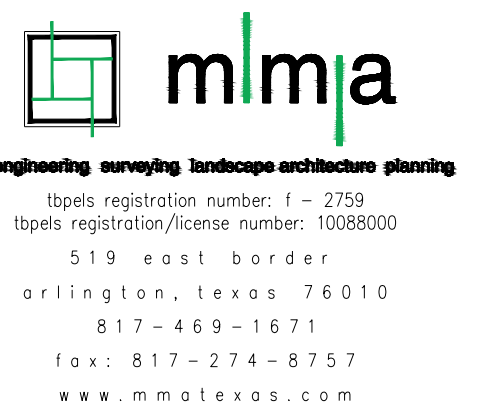
DEVELOPER:
GREYSTAR DEVELOPMENT
CENTRAL, LLC
600 E. LAS COLINAS BLVD., SUITE 2100
IRVING, TEXAS 75039
CONTACT: JR THULIN
PHONE: (214) 451-5698

EXHIBIT E
CONCEPT
LANDSCAPE PLAN
ALBUM CORINTH
CITY OF CORINTH
DENTON COUNTY, TEXAS
APRIL 2023

ISSUED FOR
ZONING APPROVAL

ALBUM-CORINTH
CORINTH, TEXAS
DENTON, COUNTY, TEXAS
APRIL 2023

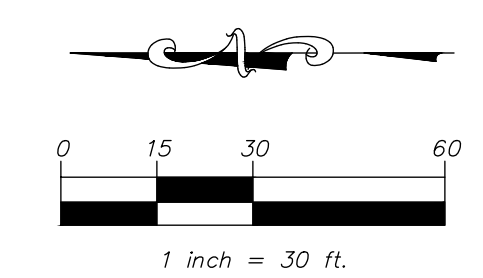
ZONING CASE #ZAPD23-0001



LINE #	LENGTH	DIRECTION
L1	93.02'	N 88°15'56" E
L2	7.43'	N 10°15'37" W
L3	28.69'	N 32°50'19" E
L4	44.27'	N 71°04'15" E
L5	21.68'	S 89°05'11" E
L6	25.76'	S 79°28'25" E
L7	29.03'	S 69°42'15" E
L8	24.37'	S 80°28'21" E
L9	27.01'	S 87°01'01" E
L10	21.32'	S 43°18'20" E
L11	4.13'	S 25°59'32" E
L12	33.24'	N 88°13'53" E

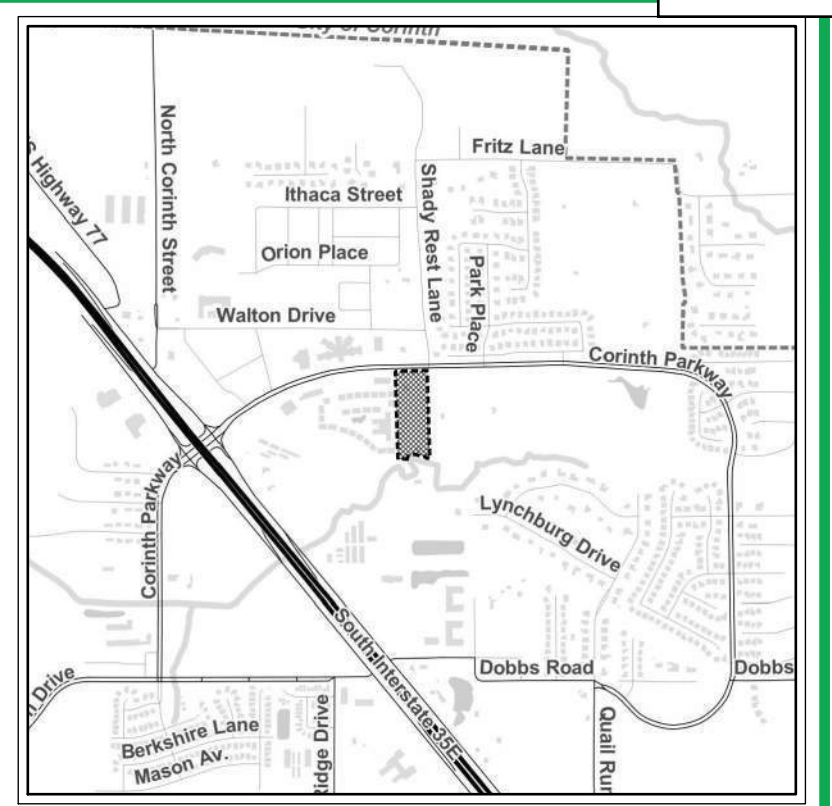
OVERALL AREA DATA TABLE		
	AREA (AC)	AREA (%)
OVERALL SITE AREA	6.5	100.0%
TREE PRESERVATION AREA PROVIDED	0.451	6.9%
PARK & TRAIL DEDICATION PROVIDED	0.000	0.0%
TOTAL TREE PRESERVATION & PARK/TRAIL DEDICATION PROVIDED	0.451	6.9%
PRIVATE RECREATION AREA	1.766	27.2%
TOTAL	2.217	34.1%

AREA DATA TABLE		
AREA TYPE	AREA (AC)	DESCRIPTION
TREE PRESERVATION AREA #1	0.451	TREE PRESERVE WITH WALKING TRAILS AND SEATING
SUBTOTAL	0.451	
RECREATION AREA #1	0.915	SIDEWALK/PEDESTRIAN PATHS; PASSIVE COURTYARD; FIRE PIT
RECREATION AREA #2	0.851	POOL WITH OUTDOOR SEATING AND LOUNGE AREAS; PICKLE BALL COURT; DOG PARK; SIDEWALK/PEDESTRIAN PATHS; ENTRY PLAZA
SUBTOTAL	1.766	
TOTAL	2.217	



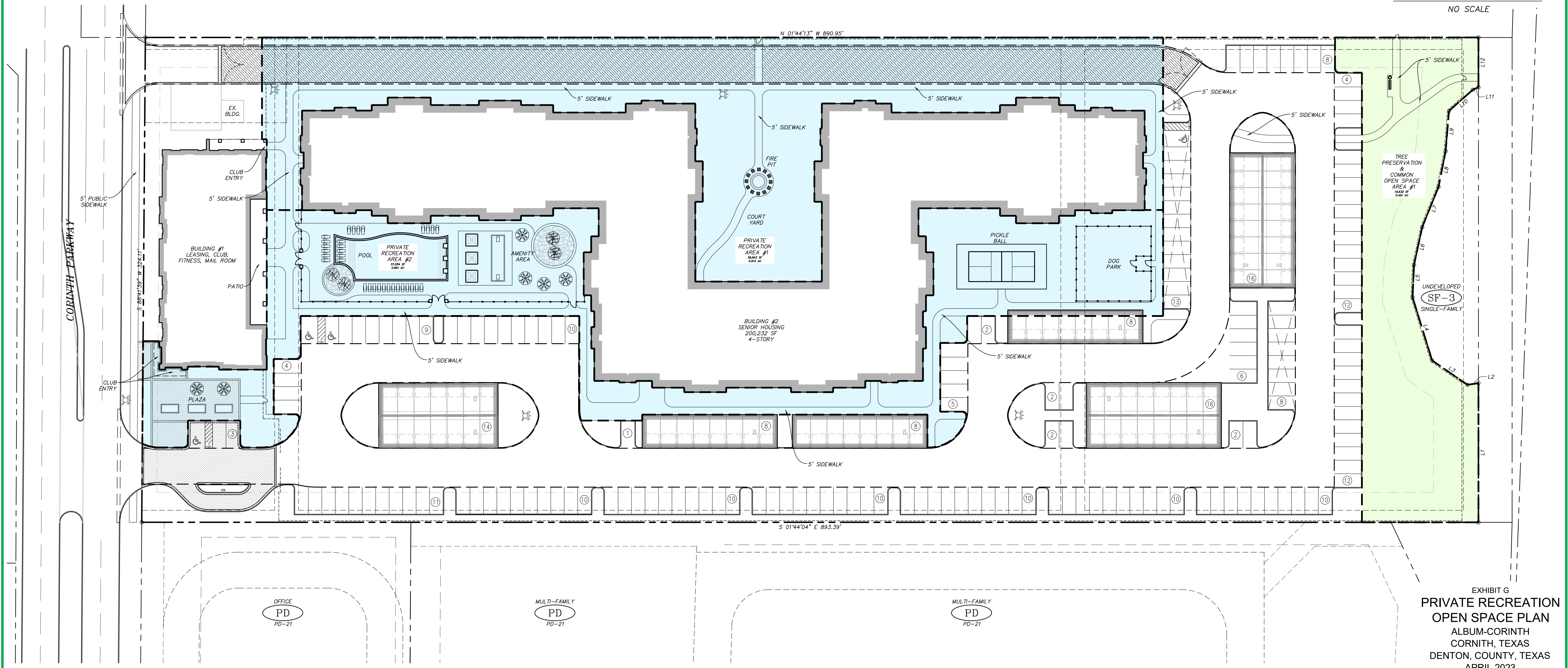
LEGEND:

- TREE PRESERVATION AREA (light green shaded box)
- PRIVATE RECREATION AREA (light blue shaded box)



VICINITY MAP
NO SCALE

CORINTH COMMUNITY PARK
 SF-2
 SINGLE-FAMILY



OFFICE
 PD
 PD-21

MULTI-FAMILY
 PD
 PD-21

MULTI-FAMILY
 PD
 PD-21

EXHIBIT G
**PRIVATE RECREATION
 OPEN SPACE PLAN**
 ALBUM-CORINTH
 CORINTH, TEXAS
 DENTON, COUNTY, TEXAS
 APRIL 2023

ZONING CASE #ZAPD23-0001

OWNER:
 KRIESTEN, JILL SMALLWOOD
 3654 CORINTH PARKWAY
 CORINTH, TX 76208

OWNER:
 HASA INVESTMENT LLC
 2625 OLD DENTON RD
 CARROLLTON, TX 75007

DEVELOPER:
 GREYSTAR DEVELOPMENT
 CENTRAL, LLC
 600 E. LAS COLINAS BLVD., SUITE 2100
 IRVING, TEXAS 75039
 CONTACT: JR THULIN
 PHONE: (214) 451-5698

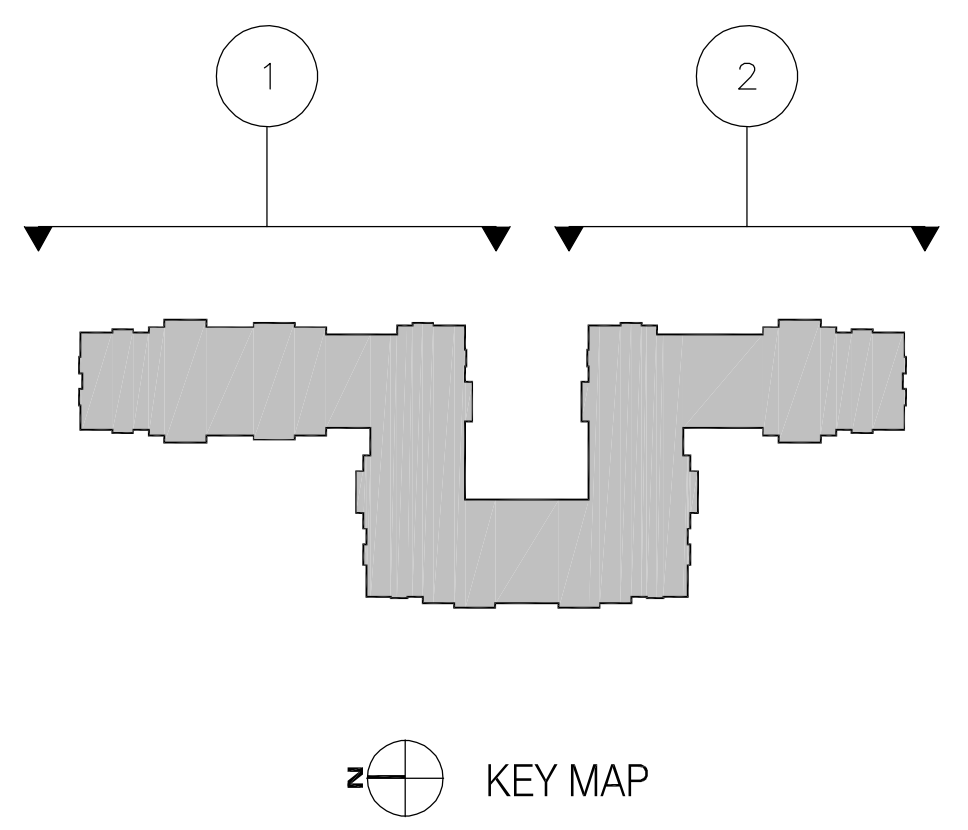
mima
 civil engineering surveying landscape architecture planning
 tpepls registration number: 1 - 2759
 toplps registration/license number: 10088000
 519 east border
 orlington, texas 76010
 817-469-1671
 fax: 817-274-8757
 www.mmatexas.com



Ordinance No. 24-03-07-10
Page 22 of 34

ELEVATION KEYNOTE LEGEND:

1A	BRICK VENEER
1B	BRICK SOLDIER COURSE
1C	BRICK ROWLOCK
2A	FIBER CEMENT HORIZ. LAP SIDING
2B	FIBER CEMENT TRIM
2C	FIBER CEMENT PANEL
3	BURNISHED BLOCK
4	CONCRETE PANEL
5	WOOD AWNING
6	METAL CANOPY
7	42" HT. MTL. RAILINGS W/ MTL. PICKETS
8	WINDOWS
9	COMPOSITION SHINGLE ROOF



2 EAST ELEVATION
3/32" = 1'-0"

100% Masonry Provided - calculations exclude balconies, patios, and openings, and are measured from finished floor to top of plate



1 EAST ELEVATION
3/32" = 1'-0"

Exhibit H-2 - Elevations

PRELIMINARY BUILDING ELEVATIONS - CORINTH ACTIVE ADULT
CORINTH, TEXAS - GREYSTAR

MEEKS PARTNERS
16000 Memorial Drive
Suite 100
Houston, Texas 77079
281558.8787

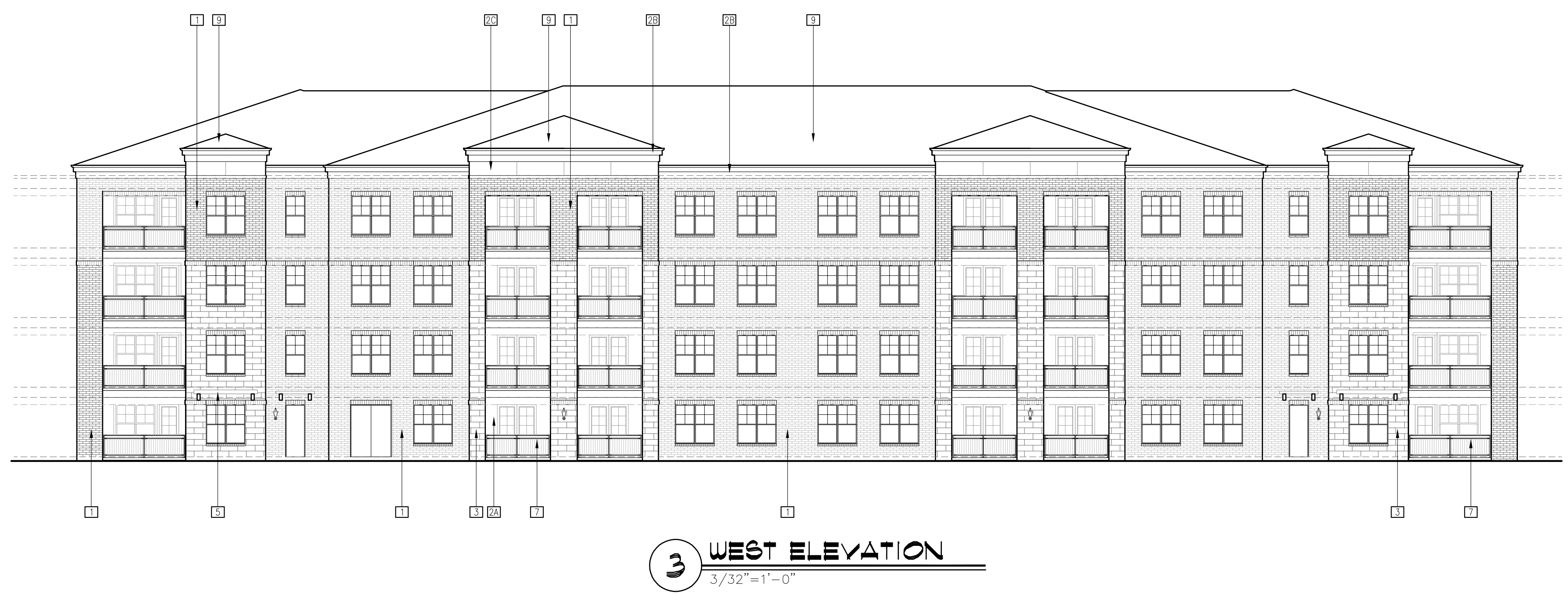
05.02.2023

A-10

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Ordinance No. 24-03-07-10
Page 23 of 34

ELEVATION KEYNOTE LEGEND:	
1A	BRICK VENEER
1B	BRICK SOLDIER COURSE
1C	BRICK ROWLOCK
2A	FIBER CEMENT HORZ. LAP SIDING
2B	FIBER CEMENT TRIM
2C	FIBER CEMENT PANEL
3	BURNISHED BLOCK
4	CONCRETE PANEL
5	WOOD AWNING
6	METAL CANOPY
7	42" HT. MTL. RAILINGS W/ MTL. PICKETS
8	WINDOWS
9	COMPOSITION SHINGLE ROOF



3 WEST ELEVATION
3/32" = 1'-0"

100% Masonry Provided - calculations exclude balconies, patios, and openings, and are measured from finished floor to top of plate



2 NORTH ELEVATION
3/32" = 1'-0"



1 NORTH ELEVATION
3/32" = 1'-0"

Exhibit H-3 - Elevations

05.02.2023

PRELIMINARY BUILDING ELEVATIONS - CORINTH ACTIVE ADULT

CORINTH, TEXAS - GREYSTAR

MEEKS PARTNERS

16000 Memorial Drive
Suite 100
Houston, Texas 77079
281558.8787

A-11

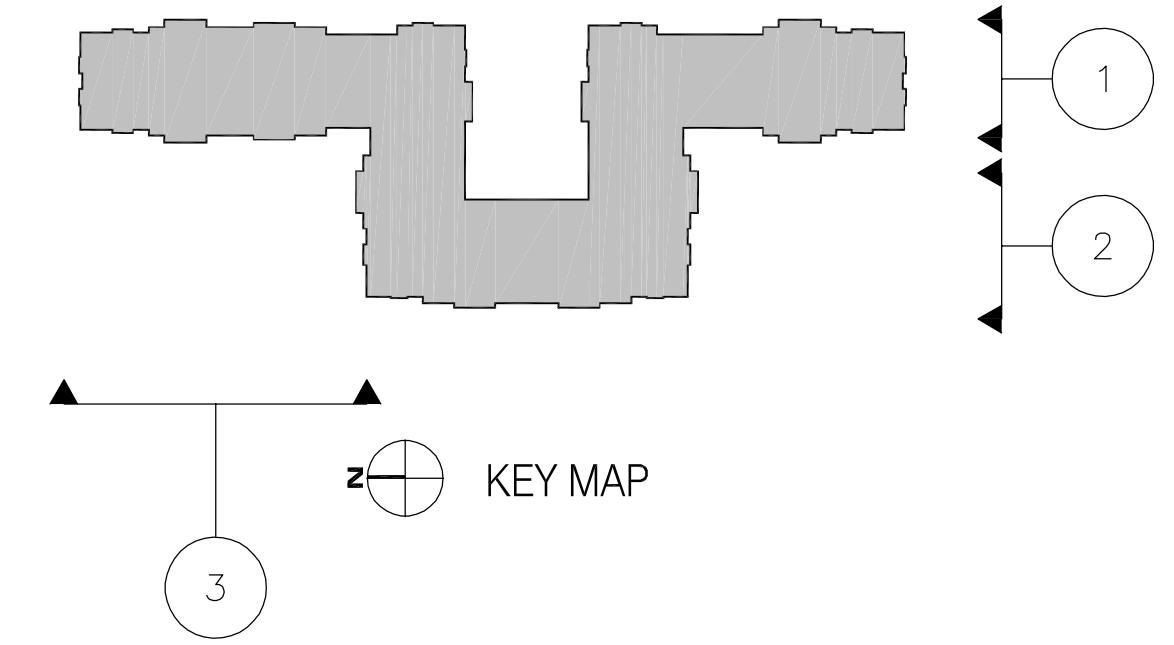
JOB NO. 22097

Ordinance No. 24-03-07-10
Page 24 of 34

ELEVATION KEYNOTE LEGEND:	
1A	BRICK VENEER
1B	BRICK SOLDIER COURSE
1C	BRICK ROWLOCK
2A	FIBER CEMENT HORIZ. LAP SIDING
2B	FIBER CEMENT TRIM
2C	FIBER CEMENT PANEL
3	BURNISHED BLOCK
4	CONCRETE PANEL
5	WOOD AWNING
6	METAL CANOPY
7	42" HT. MTL. RAILINGS W/ MTL. PICKETS
8	WINDOWS
9	COMPOSITION SHINGLE ROOF



3 WEST ELEVATION
3/32" = 1'-0"



100% Masonry Provided - calculations exclude balconies, patios, and openings, and are measured from finished floor to top of plate



2 SOUTH ELEVATION
3/32" = 1'-0"



1 SOUTH ELEVATION
3/32" = 1'-0"

Exhibit H-4 - Elevations

PRELIMINARY BUILDING ELEVATIONS - CORINTH ACTIVE ADULT
CORINTH, TEXAS - GREYSTAR

MEEKS PARTNERS
16000 Memorial Drive
Suite 100
Houston, Texas 77079
281558.8787

05.02.2023

A-12

Ordinance No. 24-03-07-10
Page 25 of 34

ELEVATION KEYNOTE LEGEND:

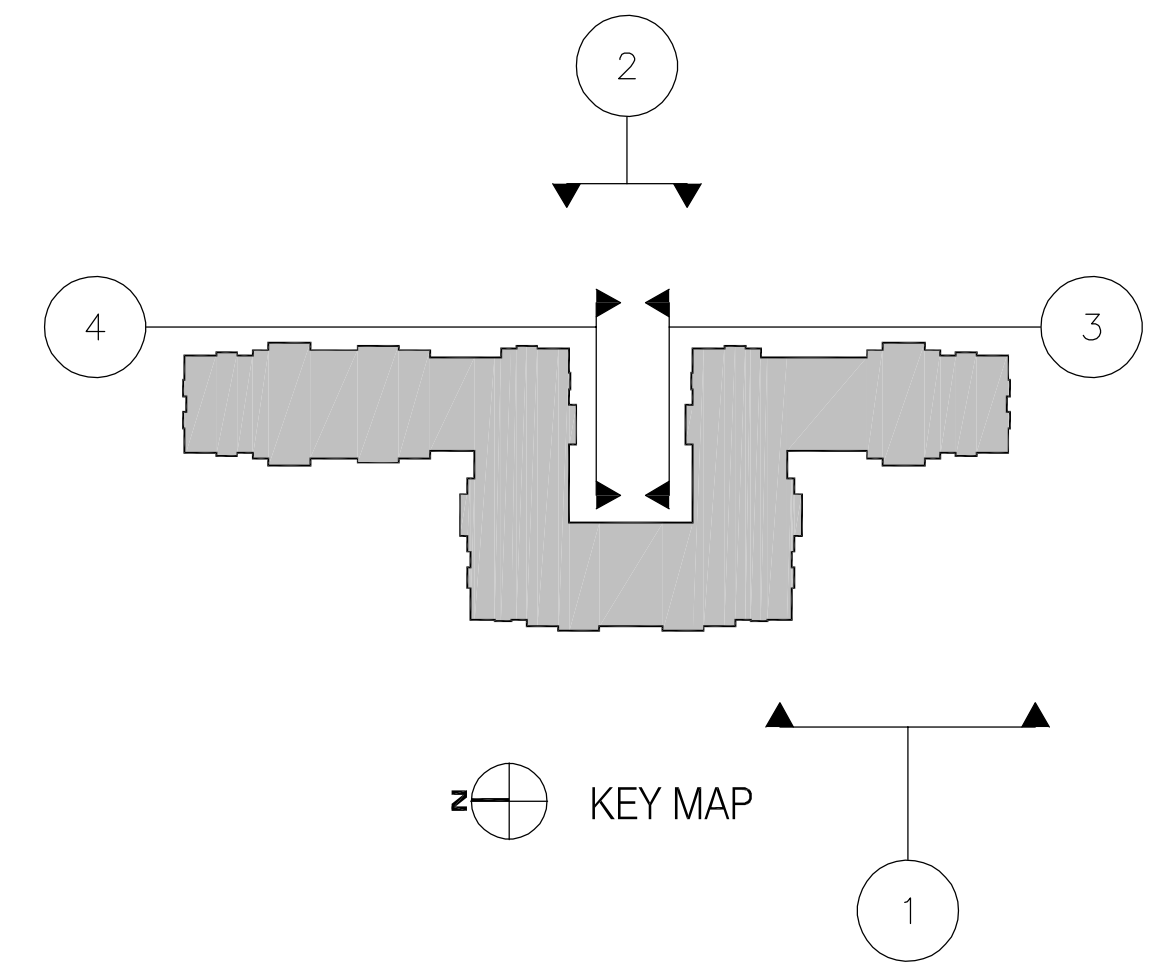
1A	BRICK VENEER
1B	BRICK SOLDIER COURSE
1C	BRICK ROWLOCK
2A	FIBER CEMENT HORIZ. LAP SIDING
2B	FIBER CEMENT TRIM
2C	FIBER CEMENT PANEL
3	BURNISHED BLOCK
4	CONCRETE PANEL
5	WOOD AWNING
6	METAL CANOPY
7	42" HT. MTL. RAILINGS W/ MTL. PICKETS
8	WINDOWS
9	COMPOSITION SHINGLE ROOF



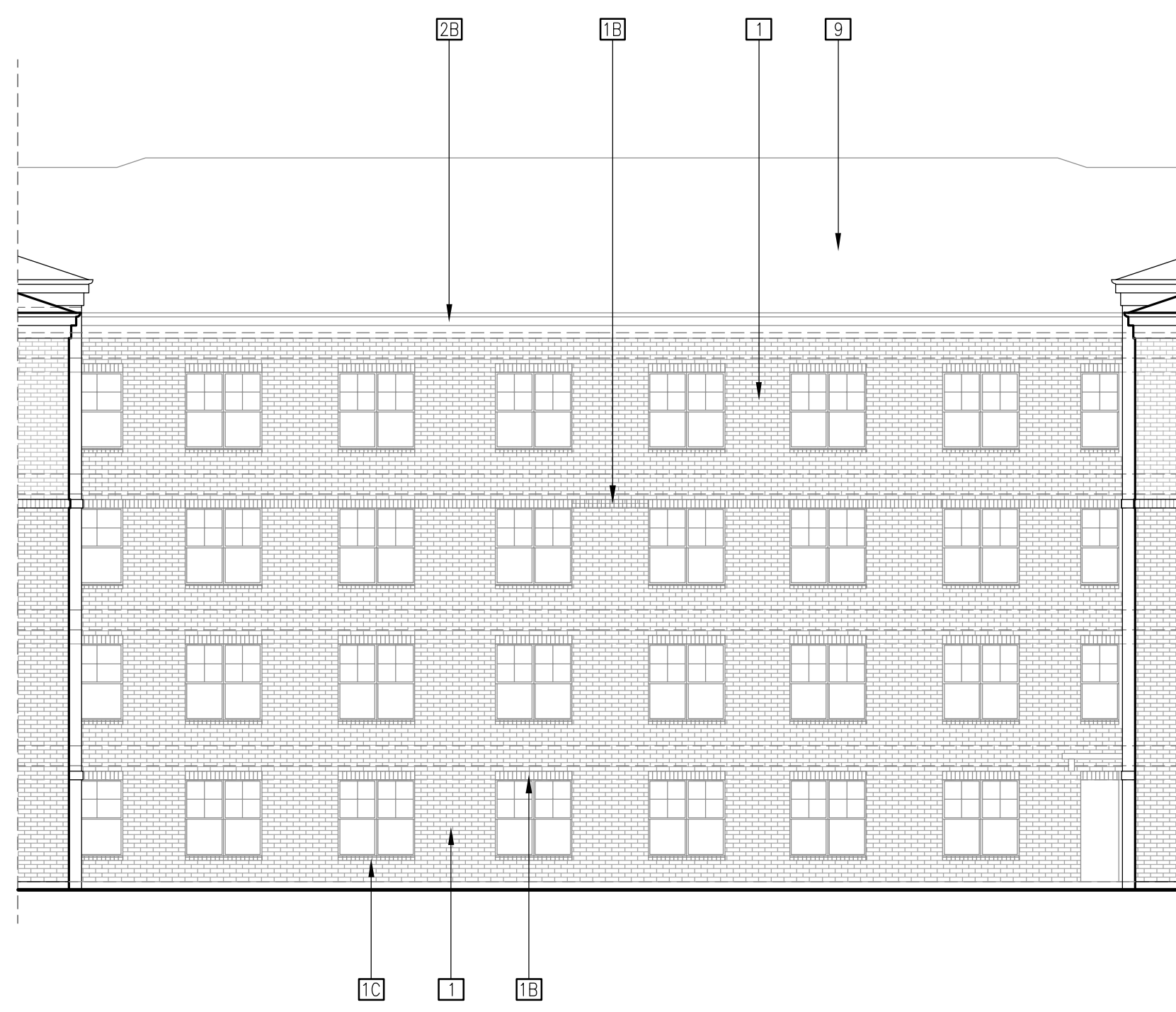
4 NORTH CITYD. ELEVATION
3/32"=1'-0"



3 SOUTH CITYD. ELEVATION
3/32"=1'-0"



100% Masonry Provided - calculations exclude balconies, patios, and openings, and are measured from finished floor to top of plate



2 EAST ELEVATION
3/32"=1'-0"



1 WEST ELEVATION
3/32"=1'-0"

Exhibit H-5 - Elevations

05.02.2023

PRELIMINARY BUILDING ELEVATIONS - CORINTH ACTIVE ADULT
CORINTH, TEXAS - GREYSTAR

MEEKS PARTNERS
16000 Memorial Drive
Suite 100
Houston, Texas 77079
281558.8787

A-13

Ordinance No. 24-03-07-10
Page 26 of 34

ELEVATION KEYNOTE LEGEND:

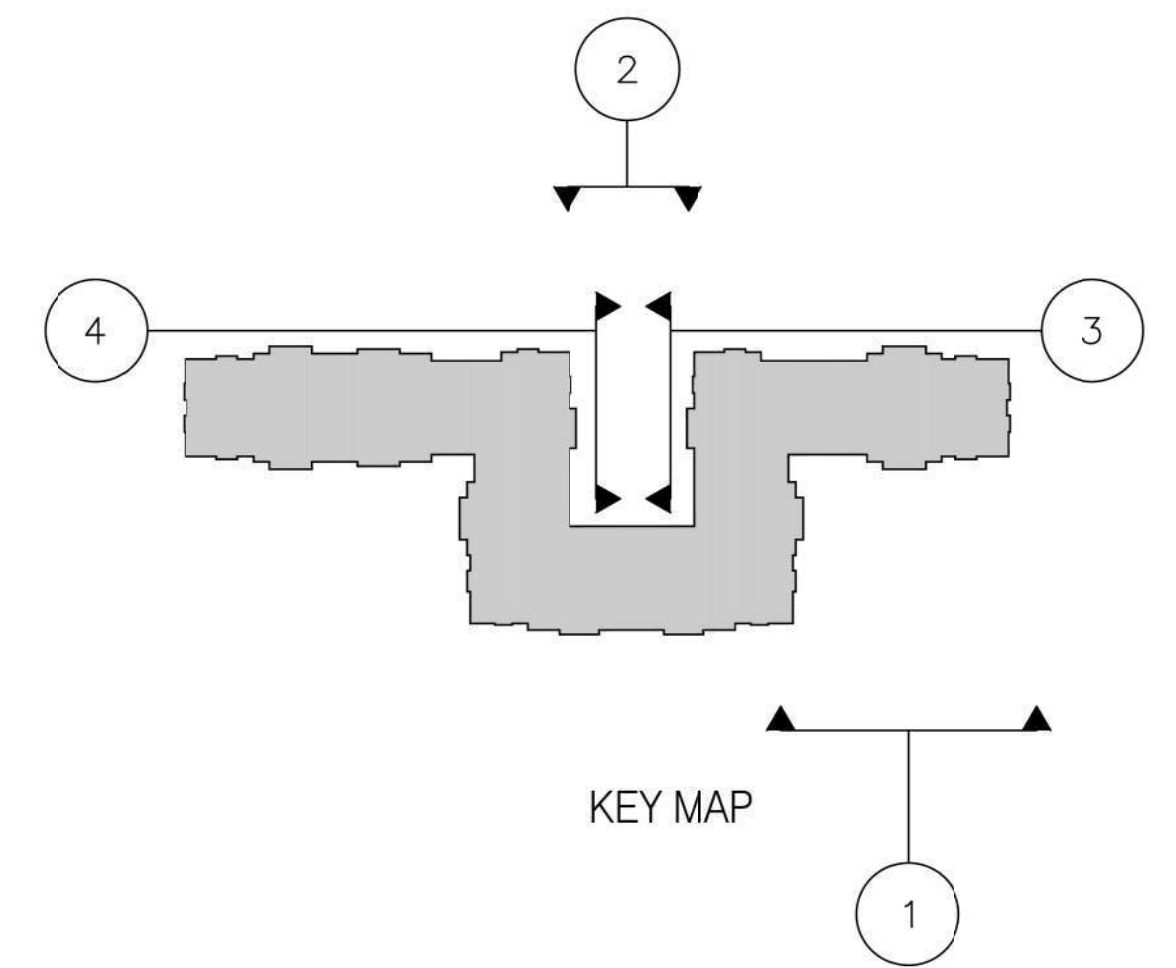
1A	BRICK VENEER
1B	BRICK SOLDIER COURSE
1C	BRICK ROWLOCK
2A	FIBER CEMENT HCRZ. LAP SIDING
2B	FIBER CEMENT TRIM
2C	FIBER CEMENT PANEL
3	BURNISHED BLOCK
4	CONCRETE PANEL
5	WOOD AWNING
6	METAL CANOPY
7	42" HT. MTL. RAILINGS W/ MTL. PICKETS
8	WINDOWS
9	COMPOSITION SHINGLE ROOF



4 NORTH CITYD. ELEVATION
3/32"=1'-0"



3 SOUTH CITYD. ELEVATION
3/32"=1'-0"



KEY MAP



2 EAST ELEVATION
3/32"=1'-0"



1 WEST ELEVATION
3/32"=1'-0"

Exhibit H-6 - Elevations

PRELIMINARY BUILDING ELEVATIONS - CORINTH ACTIVE ADULT

CORINTH, TEXAS - GREYSTAR

MEEKS PARTNERS

18000 Memorial Drive
Suite 100
Houston, Texas 77079
281558.8787

05.02.2023

A-13

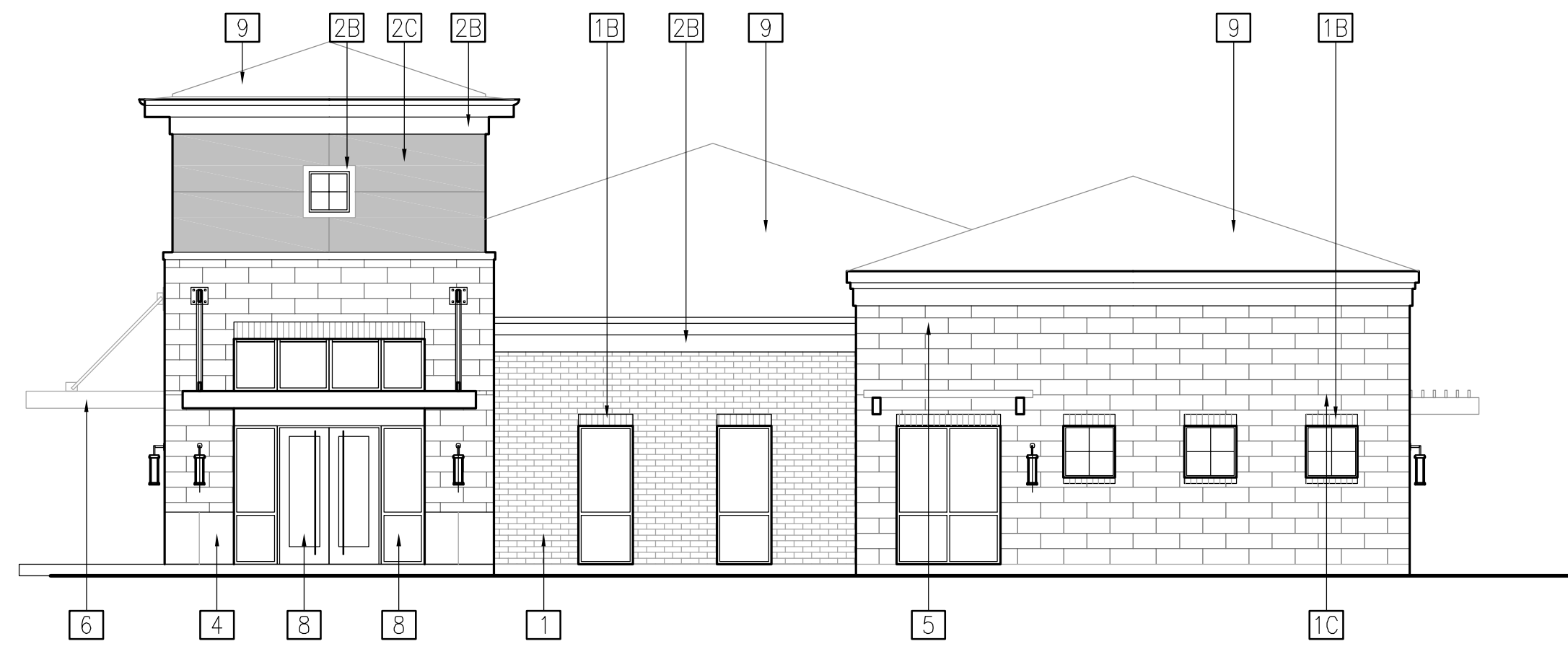
JOB NO. 22097

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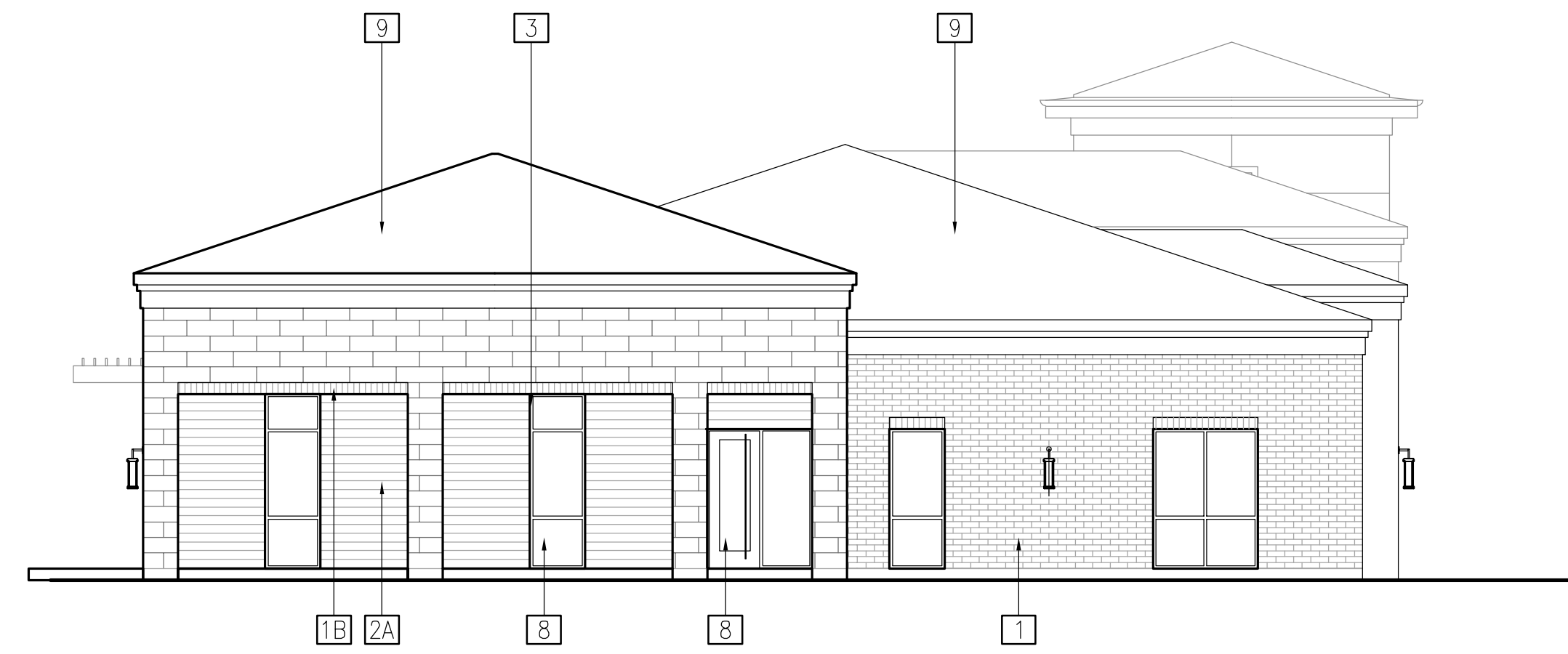
Ordinance No. 24-03-07-10
Page 27 of 34

ELEVATION KEYNOTE LEGEND:

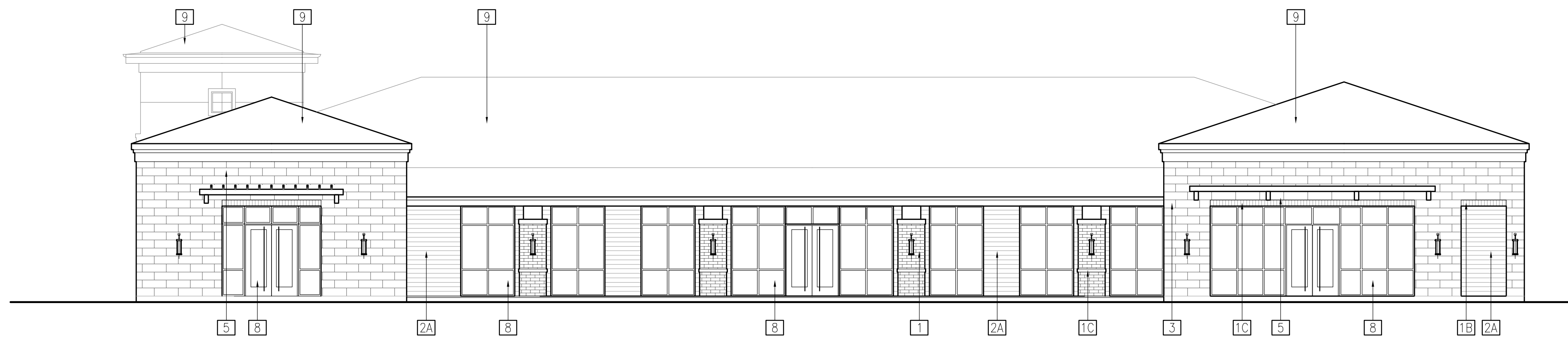
1A	BRICK VENEER
1B	BRICK SOLDIER COURSE
1C	BRICK ROWLOCK
2A	FIBER CEMENT HORZ. LAP SIDING
2B	FIBER CEMENT TRIM
2C	FIBER CEMENT PANEL
3	LIMESTONE VENEER
4	CONCRETE PANEL
5	WOOD AWNING
6	METAL CANOPY
7	42" HT. MTL. RAILINGS W/ MTL. PICKETS
8	WINDOWS
9	COMPOSITION SHINGLE ROOF



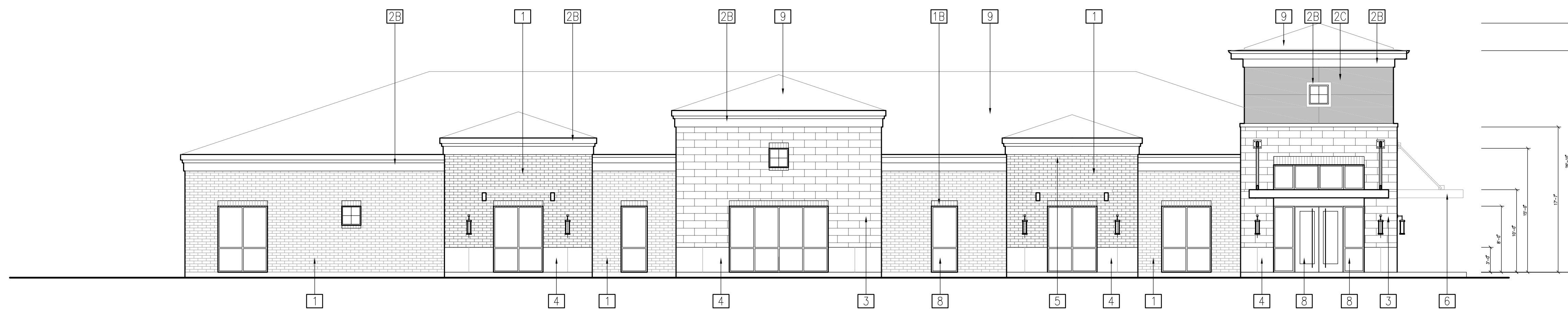
4 SIDE ELEVATION
1/8"=1'-0"



3 SIDE ELEVATION
1/8"=1'-0"



2 REAR ELEVATION
1/8"=1'-0"



1 FRONT ELEVATION
1/8"=1'-0"

100% Masonry Provided - calculations exclude balconies, patios, and openings, and are measured from finished floor to top of plate

Exhibit H-7 - Elevations

05.02.2023

PRELIMINARY CLUBHOUSE ELEVATIONS - CORINTH ACTIVE ADULT

CORINTH, TEXAS - GREYSTAR

MEEKS PARTNERS

16000 Memorial Drive
Suite 100
Houston, Texas 77079
281558.8787

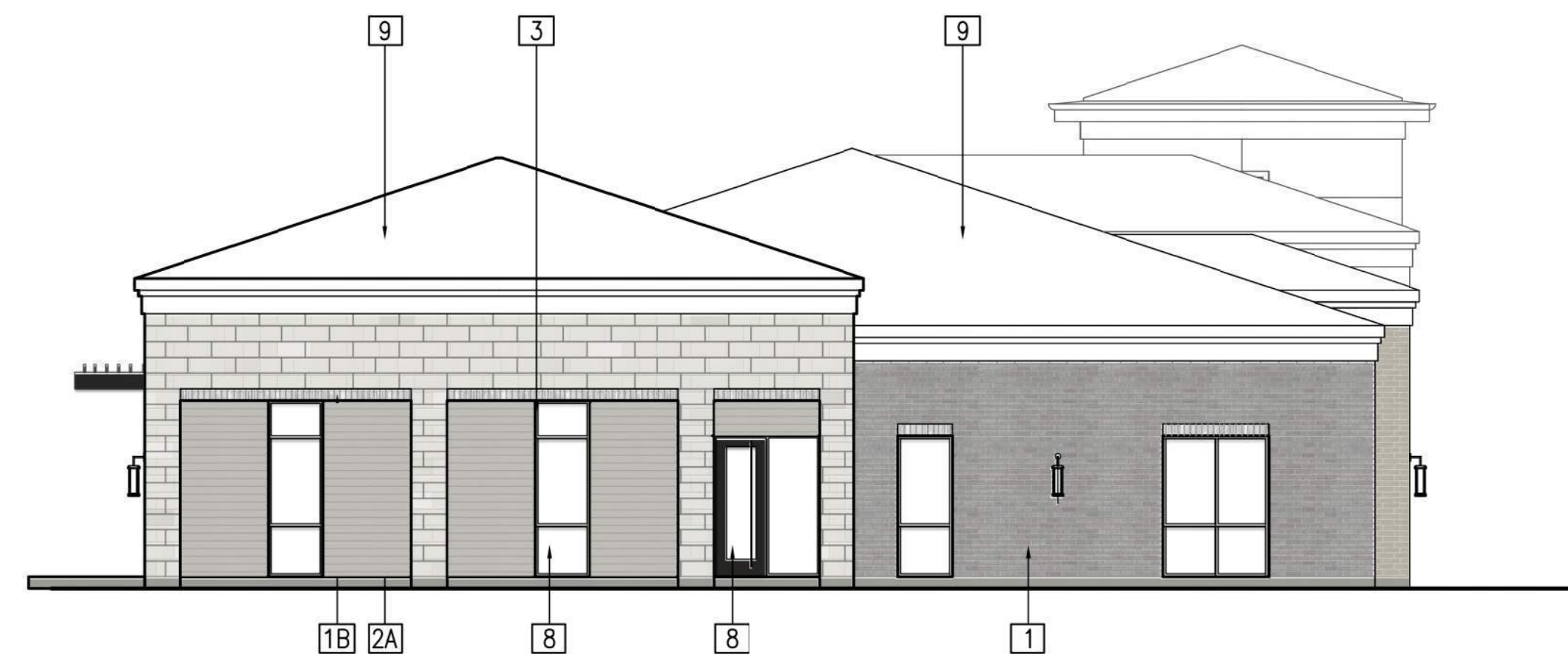
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JOB NO. 22097

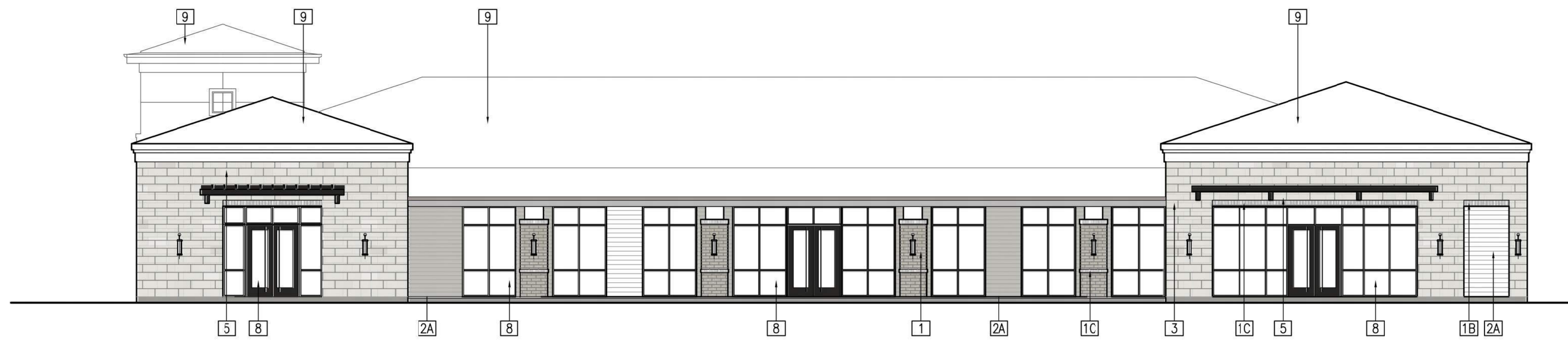
Ordinance No. 24-03-07-10
Page 28 of 34



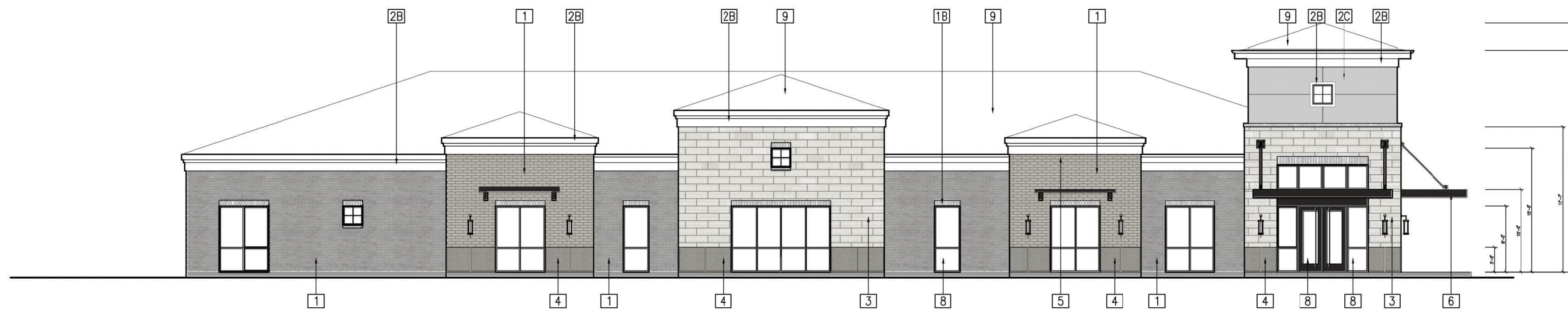
4 SIDE ELEVATION
1/8"=1'-0"



3 SIDE ELEVATION
1/8"=1'-0"



2 REAR ELEVATION
1/8"=1'-0"



1 FRONT ELEVATION
1/8"=1'-0"

ELEVATION KEYNOTE LEGEND:	
1A	BRICK VENEER
1B	BRICK SOLDIER COURSE
1C	BRICK ROWLOCK
2A	FIBER CEMENT HORZ. LAP SIDING
2B	FIBER CEMENT TRIM
2C	FIBER CEMENT PANEL
3	LIMESTONE VENEER
4	CONCRETE PANEL
5	WOOD AWNING
6	METAL CANOPY
7	42" HT. MTL. RAILINGS W/ MTL. PICKETS
8	WINDOWS
9	COMPOSITION SHINGLE ROOF

100% Masonry Provided - calculations exclude balconies, patios, and openings, and are measured from finished floor to top of plate

Exhibit H-8 - Elevations

PRELIMINARY CLUBHOUSE ELEVATIONS - CORINTH ACTIVE ADULT

CORINTH, TEXAS - GREYSTAR

MEEKS PARTNERS

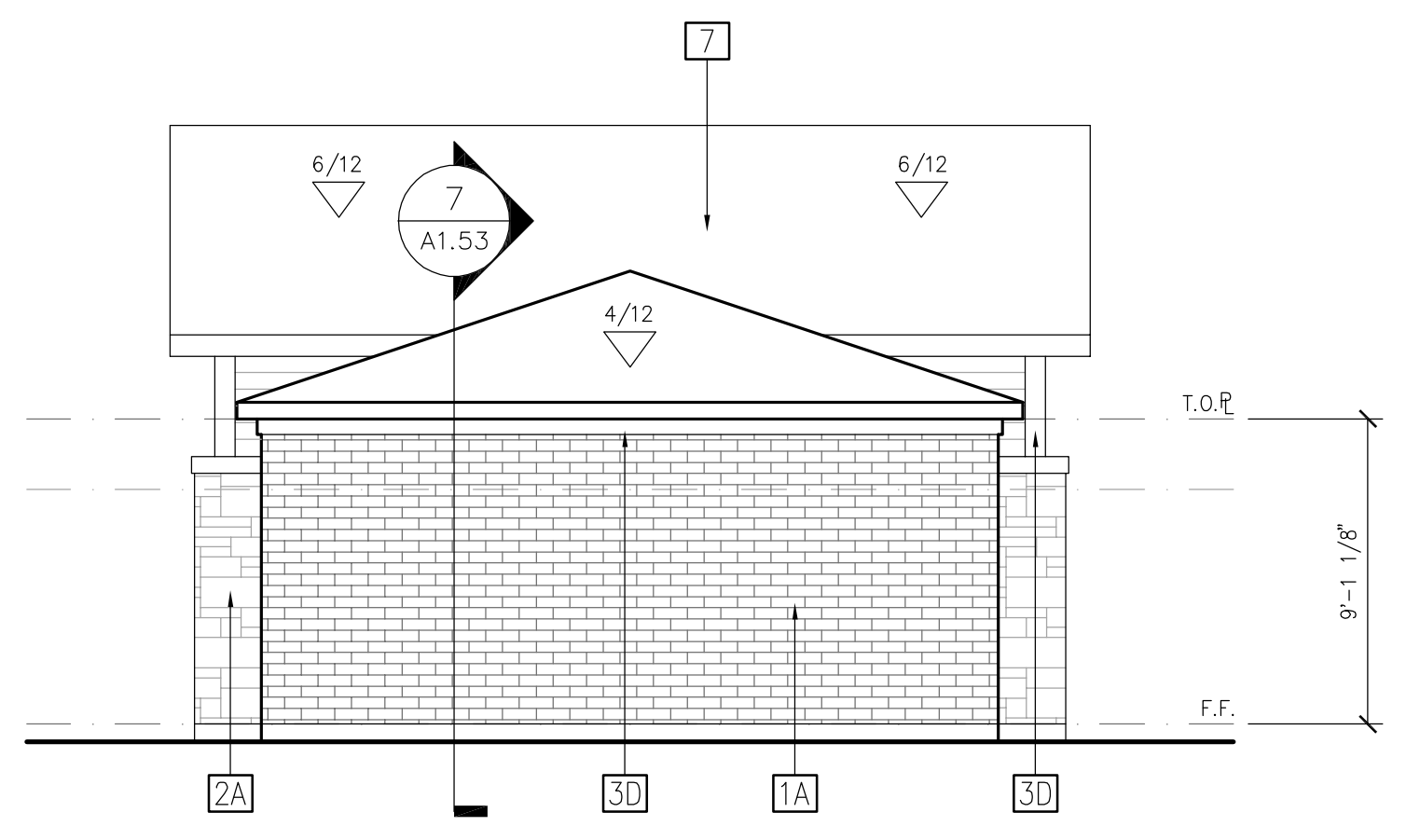
16000 Memorial Drive
Suite 100
Houston, Texas 77079
281.558.8767

05.02.2023

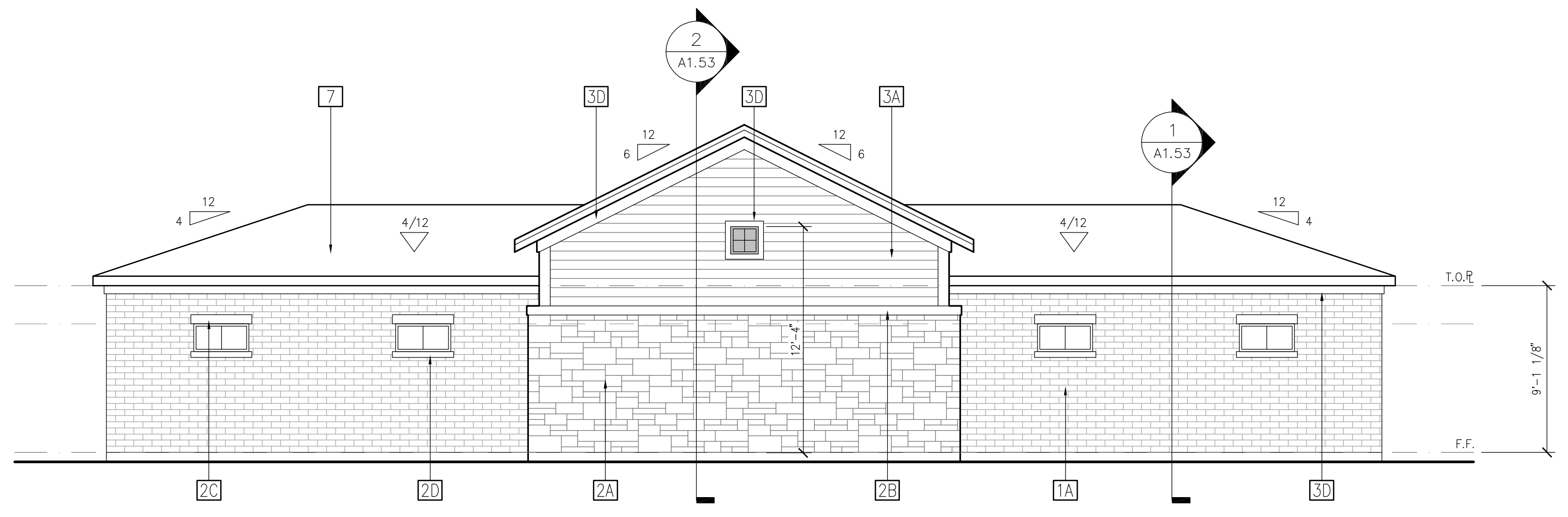
A-15

JOB NO. 22097

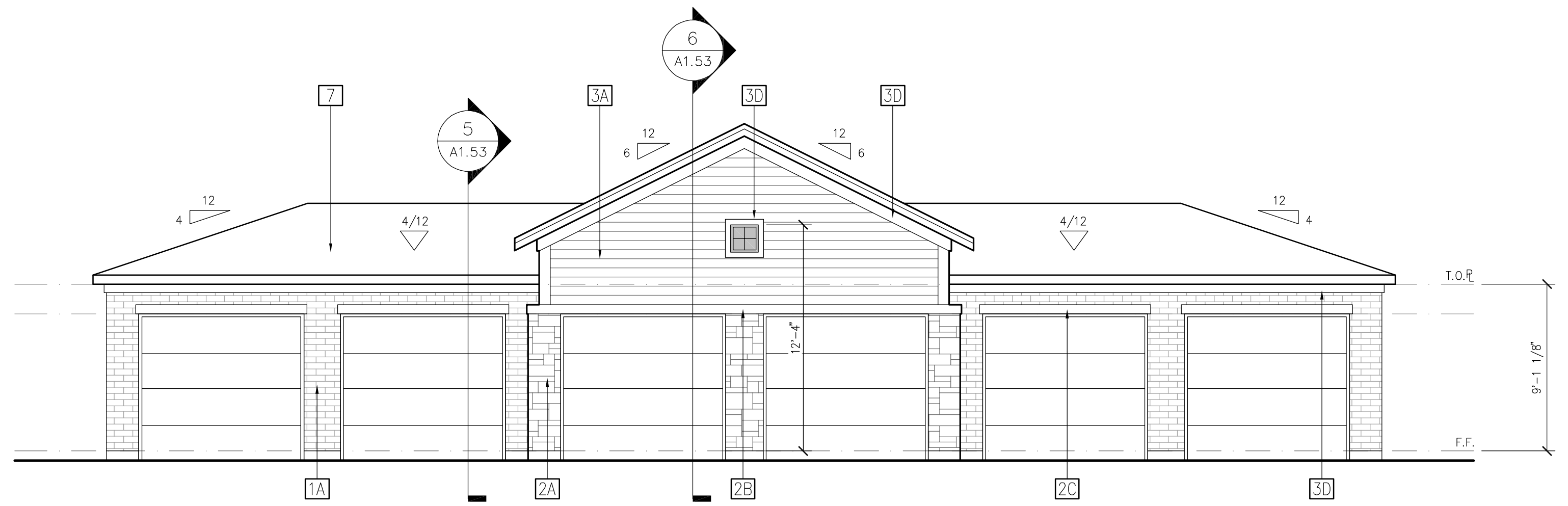
Ordinance No. 24-03-07-10
Page 29 of 34



3 DETACHED GARAGE TYPE I - SIDE ELEVATION
3/16"=1'-0"



2 DETACHED GARAGE TYPE I - REAR ELEVATION
3/16"=1'-0"



1 DETACHED GARAGE TYPE I - FRONT ELEVATION
3/16"=1'-0"

ELEVATION KEYNOTE LEGEND:

1A	BRICK VENEER
1B	BRICK VENEER - HERRINGBONE PATTERN
1C	BRICK SOAPERS - HERRINGBONE PATTERN
1D	BRICK SOAPERS
2A	STONE VENEER
2B	STONE BAND
2C	STONE HEADER
2D	STONE SILL
2E	THIN STONE VENEER
2F	MASONRY CONTROL JOINT (RE: 1/A7.09)
3A	FIBER CEMENT HORIZ. LAP SIDING (SMOOTH FINISH)
3B	FIBER CEMENT BOARD & BATTEN SIDING (SMOOTH FINISH)
3C	FIBER CEMENT PANEL SIDING (SMOOTH FINISH)
3D	FIBER CEMENT TRIM (SMOOTH FINISH)
4	ROUGH SAWN CEDAR TRIM
5	DECO. CEDAR BRACKETS
6	GUARDRAIL SYSTEM 01 - 1/2" SQ. STEEL PICKET
7	COMPOSITION SHINGLE ROOF
8	STANDING SEAM METAL ROOF AWNING
8A	METAL AWNING
9	STANDING SEAM METAL ROOF
10	STOREFRONT SYSTEM
11	DOWNSPOUT

HATCH INDICATES SPECIAL FRAMING AT SELECT WINDOWS (RE: DETAILS ON A7.16)



NO.	DATE	REVISION
	11/25/20	DESIGN DEVELOPMENT
	03/07/21	ISSUED FOR PERMIT
A	04/13/21	PERMIT RESPONSE #1
B	05/12/21	FIRE DEPARTMENT RESPONSE #1
	06/15/21	ISSUED FOR CONSTRUCTION

MEEKS PARTNERS
16000 Memorial Drive
Suite 100
Houston, Texas 77079
2815556767
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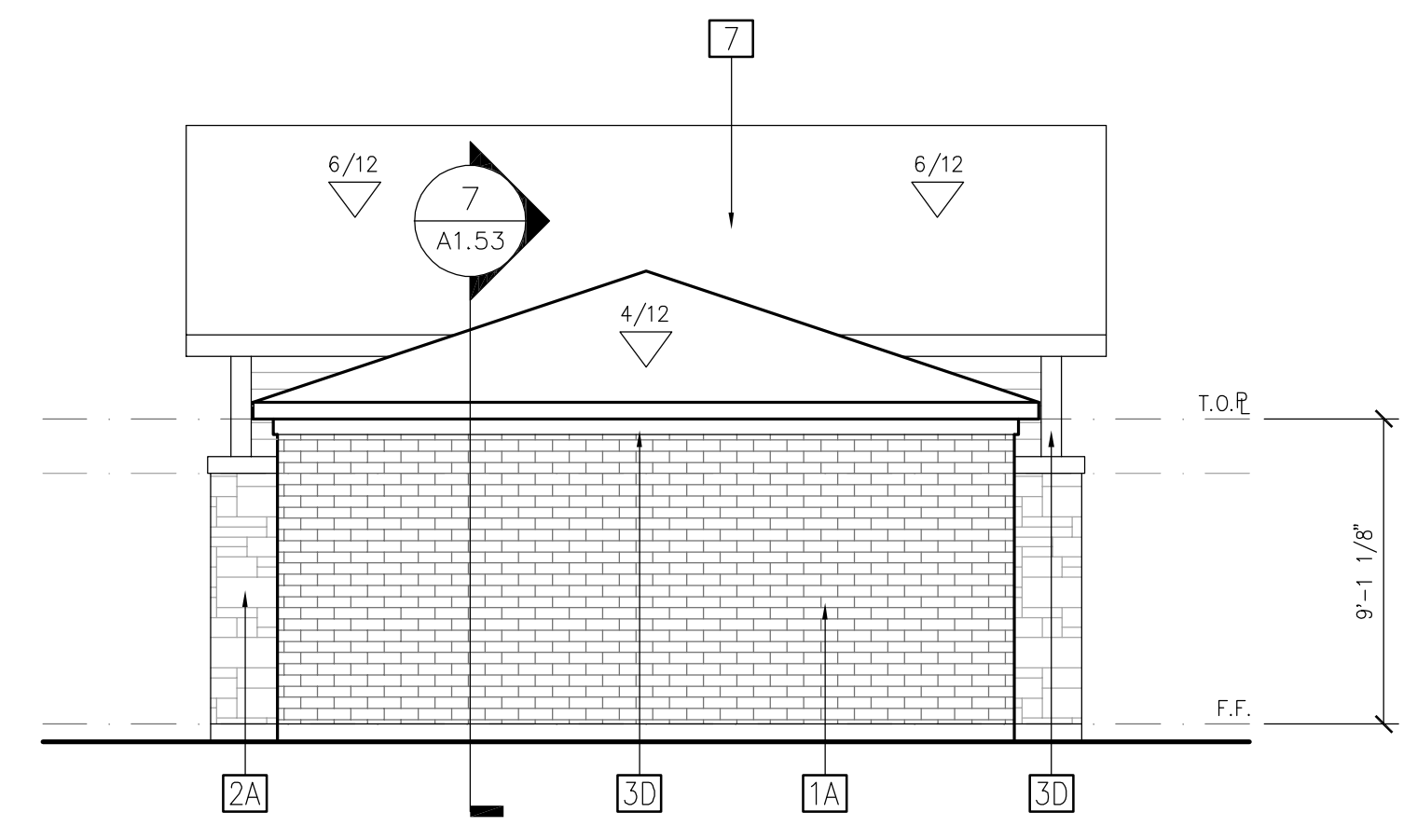
ELAN PRESERVE PHASE II
GRAPEVINE, TX
A Development of
GREYSTAR DEVELOPMENT GROUP, LP

JOB NO.:	19097
NOT FOR CONSTRUCTION	
ISSUED FOR PRICING	
ISSUED FOR PERMIT	
<input checked="" type="checkbox"/> ISSUED FOR CONSTRUCTION	

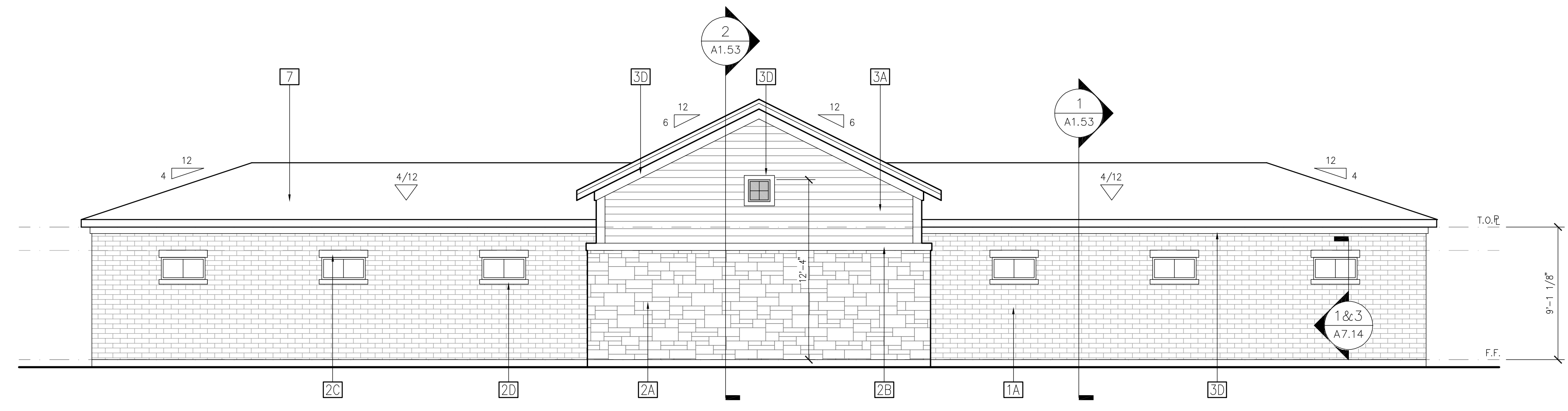
SHEET TITLE
DETACHED GARAGE TYPE I - ELEVATIONS

DRAWING NO.
A1.40

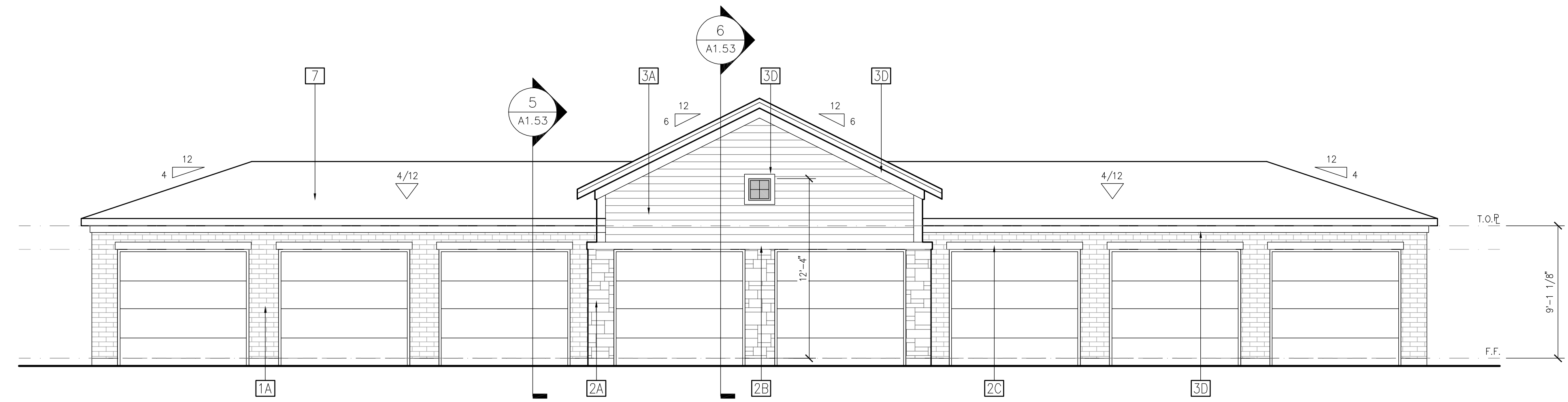
Exhibit H-9 - Elevations



3 DETACHED GARAGE TYPE II - SIDE ELEVATION
3/16"=1'-0"



2 DETACHED GARAGE TYPE II - REAR ELEVATION
3/16"=1'-0"



1 DETACHED GARAGE TYPE II - FRONT ELEVATION
3/16"=1'-0"

ELEVATION KEYNOTE LEGEND:

1A	BRICK VENEER
1B	BRICK VENEER - HERRINGBONE PATTERN
1C	BRICK SOAPERS - HERRINGBONE PATTERN
1D	BRICK SOAPERS
2A	STONE VENEER
2B	STONE BAND
2C	STONE HEADER
2D	STONE SILL
2E	THIN STONE VENEER
2F	MASONRY CONTROL JOINT (RE: 1/A7.09)
3A	FIBER CEMENT HORIZ. LAP SIDING (SMOOTH FINISH)
3B	FIBER CEMENT BOARD & BATTEN SIDING (SMOOTH FINISH)
3C	FIBER CEMENT PANEL SIDING (SMOOTH FINISH)
3D	FIBER CEMENT TRIM (SMOOTH FINISH)
4	ROUGH SAWN CEDAR TRIM
5	DECO. CEDAR BRACKETS
6	GUARDRAIL SYSTEM 01 - 1/2" SQ. STEEL PICKET
7	COMPOSITION SHINGLE ROOF
8	STANDING SEAM METAL ROOF AWNING
8A	METAL AWNING
9	STANDING SEAM METAL ROOF
10	STOREFRONT SYSTEM
11	DOWNSPOUT

HATCH INDICATES SPECIAL FRAMING AT SELECT WINDOWS (RE: DETAILS ON A7.16)



NO.	DATE	REVISION
A	04/13/21	DESIGN DEVELOPMENT ISSUED FOR PERMIT
B	05/12/21	PERMIT RESPONSE #1
B	06/15/21	FIRE DEPARTMENT RESPONSE #1 ISSUED FOR CONSTRUCTION

MEEKS PARTNERS
16000 Memorial Drive
Suite 100
Houston, Texas 77079
2815556767
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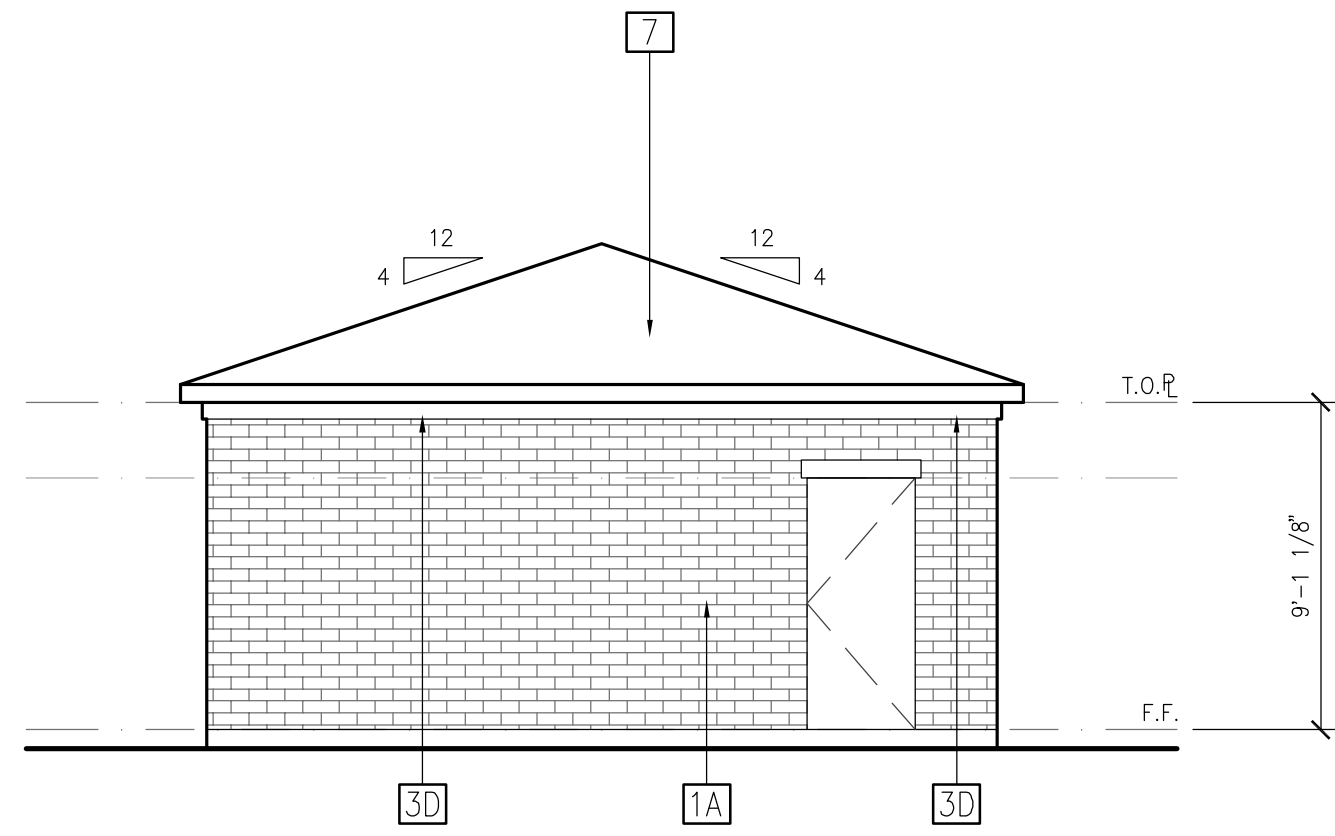
ELAN PRESERVE PHASE II
GRAPEVINE, TX
A Development of
GREYSTAR DEVELOPMENT GROUP, LP

JOB NO.:	19097
NOT FOR CONSTRUCTION	
ISSUED FOR PRICING	
ISSUED FOR PERMIT	
<input checked="" type="checkbox"/> ISSUED FOR CONSTRUCTION	

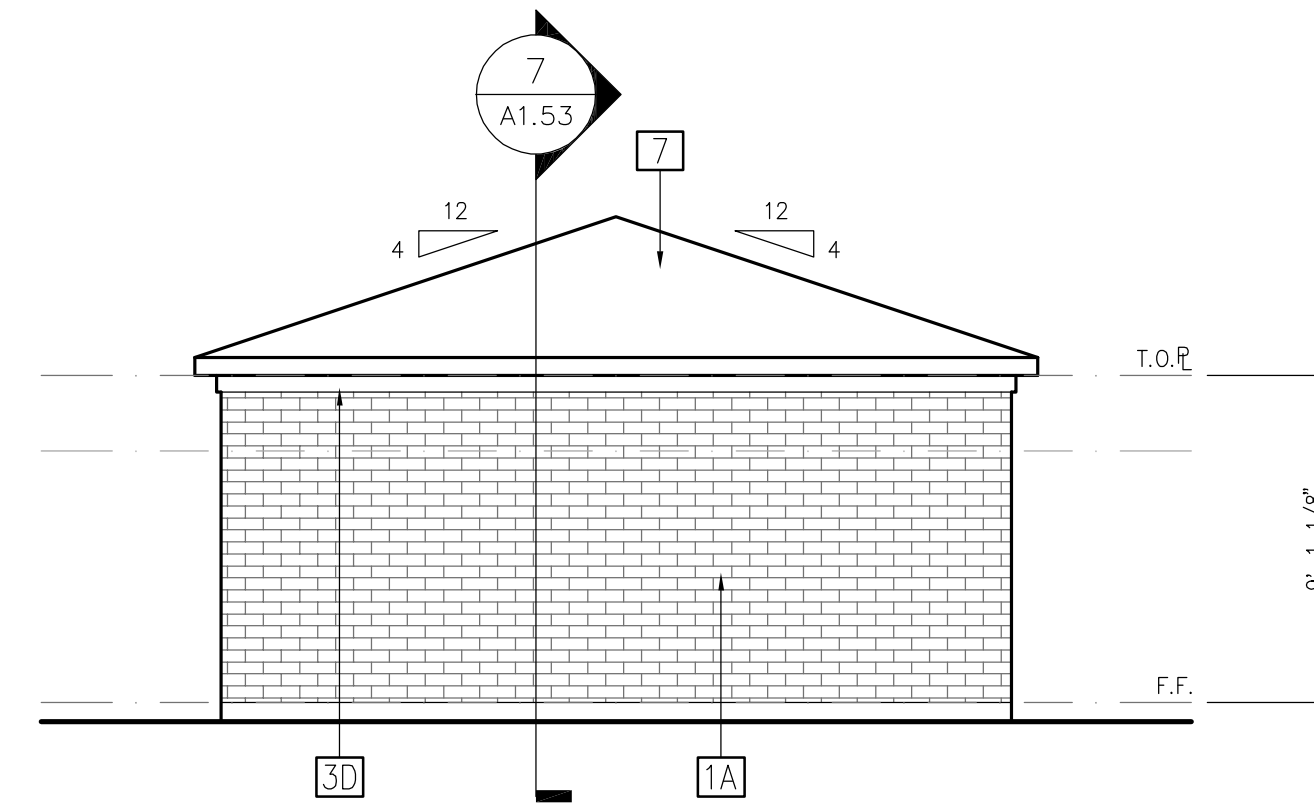
SHEET TITLE
DETACHED GARAGE TYPE II - ELEVATIONS

DRAWING NO.
A1.42

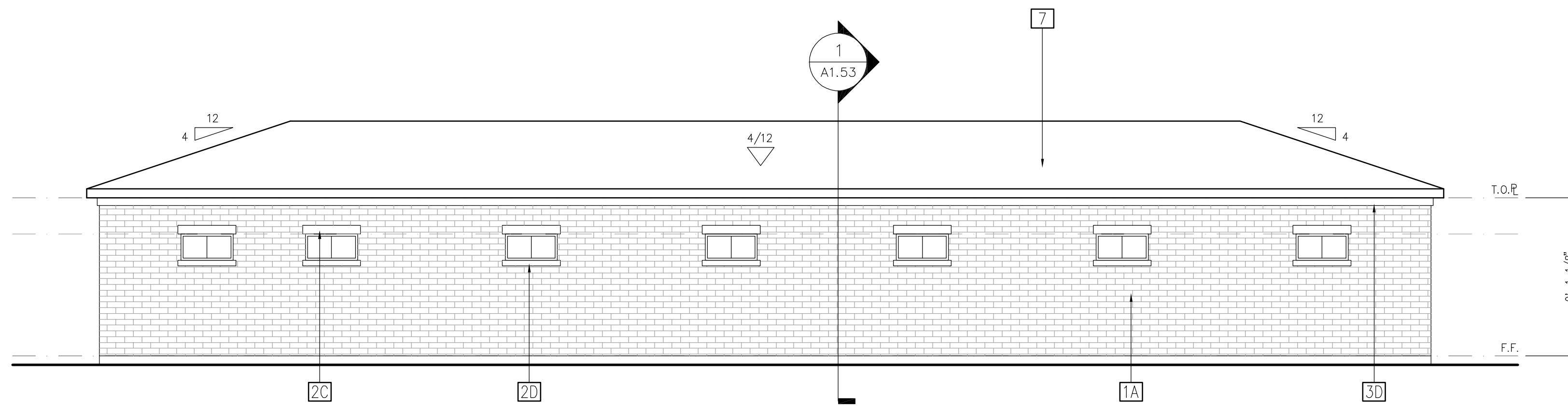
Exhibit H-10 - Elevations



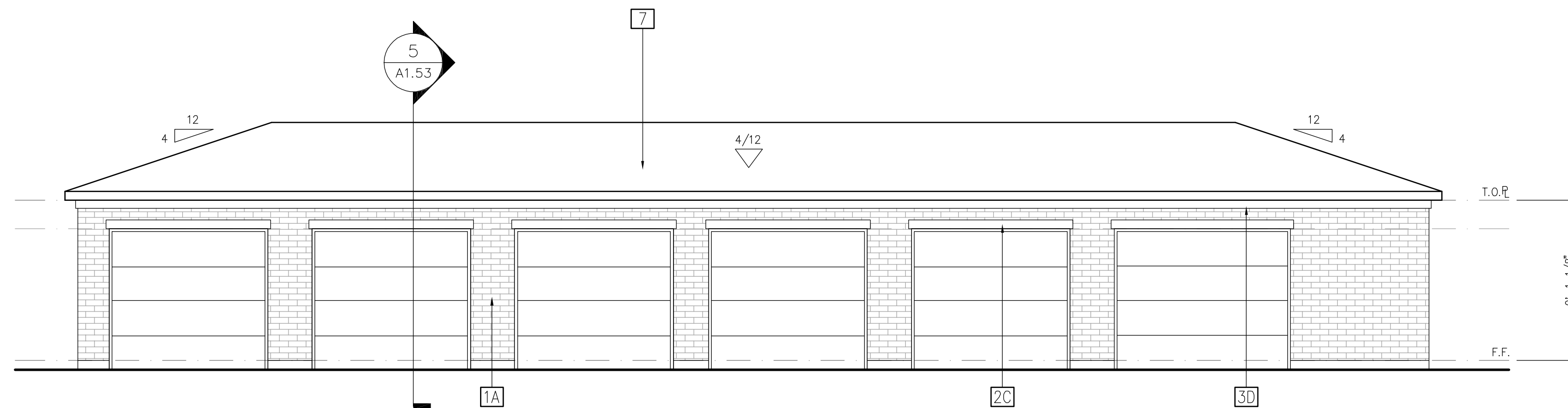
4 DETACHED GARAGET TYPE III - SIDE ELEVATION
3/16"=1'-0"



3 DETACHED GARAGET TYPE III - SIDE ELEVATION
3/16"=1'-0"



2 DETACHED GARAGET TYPE III - REAR ELEVATION
3/16"=1'-0"



1 DETACHED GARAGET TYPE III - FRONT ELEVATION
3/16"=1'-0"

ELEVATION KEYNOTE LEGEND:

1A	BRICK VENEER
1B	BRICK VENEER - HERRINGBONE PATTERN
1C	BRICK SOAPERS - HERRINGBONE PATTERN
1D	BRICK SOAPERS
2A	STONE VENEER
2B	STONE BAND
2C	STONE HEADER
2D	STONE SILL
2E	THIN STONE VENEER
2F	MASONRY CONTROL JOINT (RE: 1/A7.09)
3A	FIBER CEMENT HORIZ. LAP SIDING (SMOOTH FINISH)
3B	FIBER CEMENT BOARD & BATTEN SIDING (SMOOTH FINISH)
3C	FIBER CEMENT PANEL SIDING (SMOOTH FINISH)
3D	FIBER CEMENT TRIM (SMOOTH FINISH)
4	ROUGH SAWN CEDAR TRIM
5	DECO. CEDAR BRACKETS
6	GUARDRAIL SYSTEM 01 - 1/2" SQ. STEEL PICKET
7	COMPOSITION SHINGLE ROOF
8	STANDING SEAM METAL ROOF AWNING
8A	METAL AWNING
9	STANDING SEAM METAL ROOF
10	STOREFRONT SYSTEM
11	DOWNSPOUT

HATCH INDICATES SPECIAL FRAMING AT SELECT WINDOWS (RE: DETAILS ON A7.16)



NO.	DATE	REVISION
A	04/13/21	DESIGN DEVELOPMENT ISSUED FOR PERMIT
B	05/12/21	PERMIT RESPONSE #1
	06/15/21	FIRE DEPARTMENT RESPONSE #1
		ISSUED FOR CONSTRUCTION

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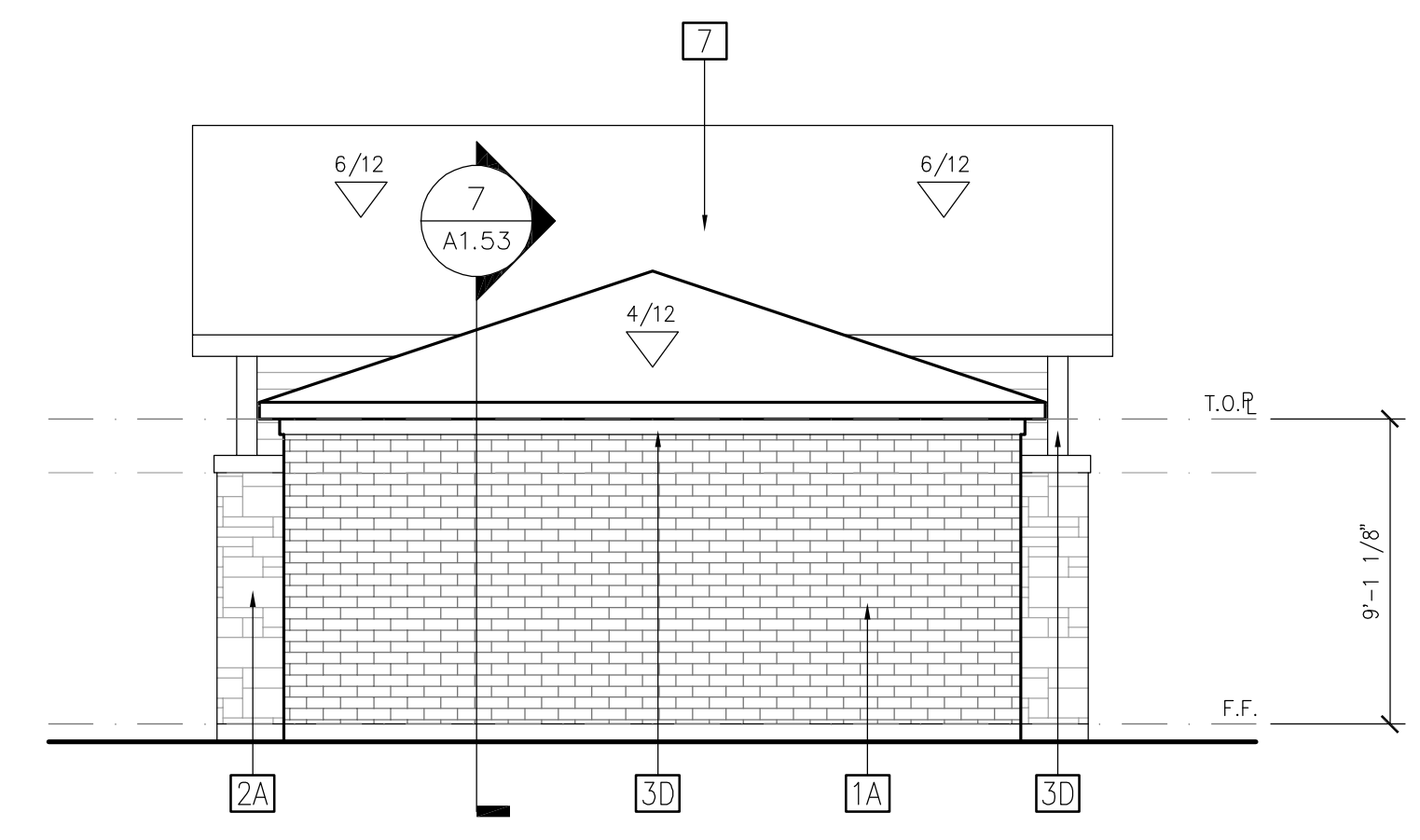
ELAN PRESERVE PHASE II
GRAPEVINE, TX
A Development of
GREYSTAR DEVELOPMENT GROUP, LP

JOB NO.:	19097
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ISSUED FOR PRICING	
ISSUED FOR PERMIT	
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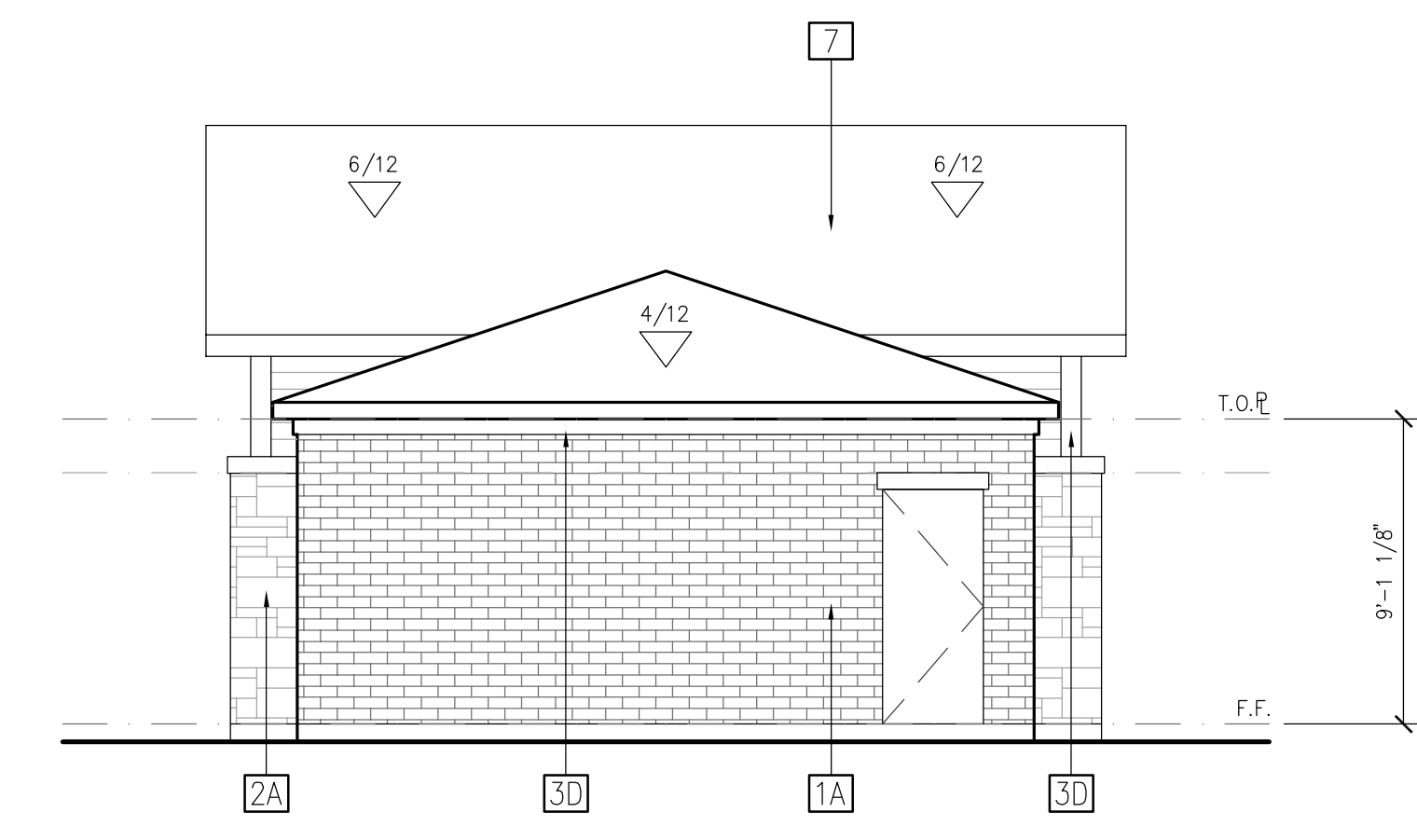
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DETACHED GARAGE TYPE III - ELEVATIONS

DRAWING NO.
A1.44

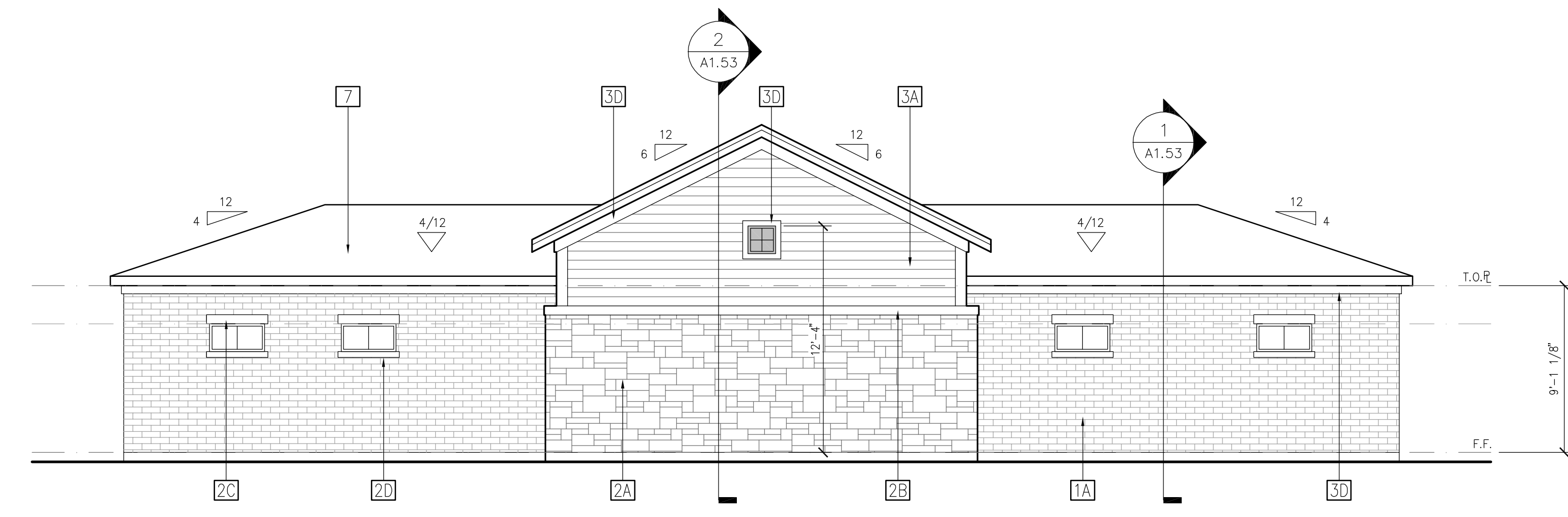
Exhibit H-11 - Elevations



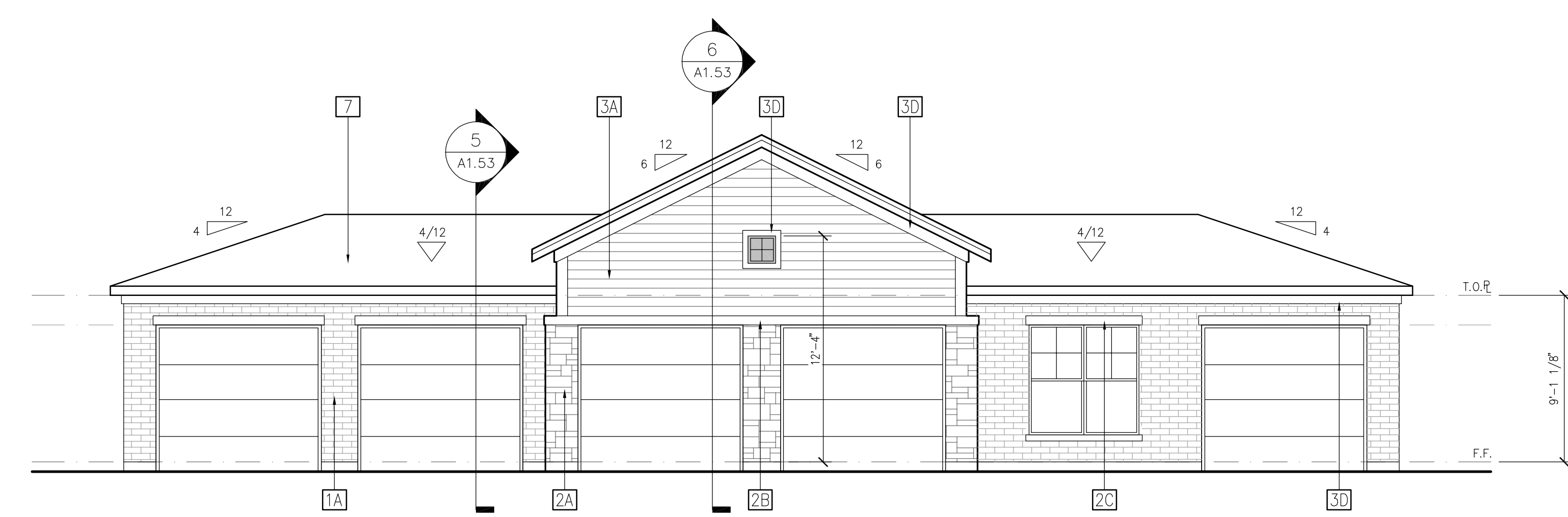
4 DETACHED GARAGE TYPE IV - SIDE ELEVATION
3/16"=1'-0"



3 DETACHED GARAGE TYPE IV - SIDE ELEVATION
3/16"=1'-0"



2 DETACHED GARAGE TYPE IV - REAR ELEVATION
3/16"=1'-0"



1 DETACHED GARAGE TYPE IV - FRONT ELEVATION
3/16"=1'-0"

ELEVATION KEYNOTE LEGEND:

1A	BRICK VENEER
1B	BRICK VENEER - HERRINGBONE PATTERN
1C	BRICK SOAPERS - HERRINGBONE PATTERN
1D	BRICK SOAPERS
2A	STONE VENEER
2B	STONE BAND
2C	STONE HEADER
2D	STONE SILL
2E	THIN STONE VENEER
2F	MASONRY CONTROL JOINT (RE: 1/A7.09)
3A	FIBER CEMENT HORIZ. LAP SIDING (SMOOTH FINISH)
3B	FIBER CEMENT BOARD & BATTEN SIDING (SMOOTH FINISH)
3C	FIBER CEMENT PANEL SIDING (SMOOTH FINISH)
3D	FIBER CEMENT TRIM (SMOOTH FINISH)
4	ROUGH SAWN CEDAR TRIM
5	DECO. CEDAR BRACKETS
6	GUARDRAIL SYSTEM 01 - 1/2" SQ. STEEL PICKET
7	COMPOSITION SHINGLE ROOF
8	STANDING SEAM METAL ROOF AWNING
8A	METAL AWNING
9	STANDING SEAM METAL ROOF
10	STOREFRONT SYSTEM
11	DOWNSPOUT

HATCH INDICATES SPECIAL FRAMING AT SELECT WINDOWS (RE: DETAILS ON A7.16)

NO.	DATE	REVISION
	07/25/20	DESIGN DEVELOPMENT
A	03/01/21	ISSUED FOR PERMIT
B	04/13/21	PERMIT RESPONSE #1
	05/12/21	FIRE DEPARTMENT RESPONSE #1
	06/15/21	ISSUED FOR CONSTRUCTION

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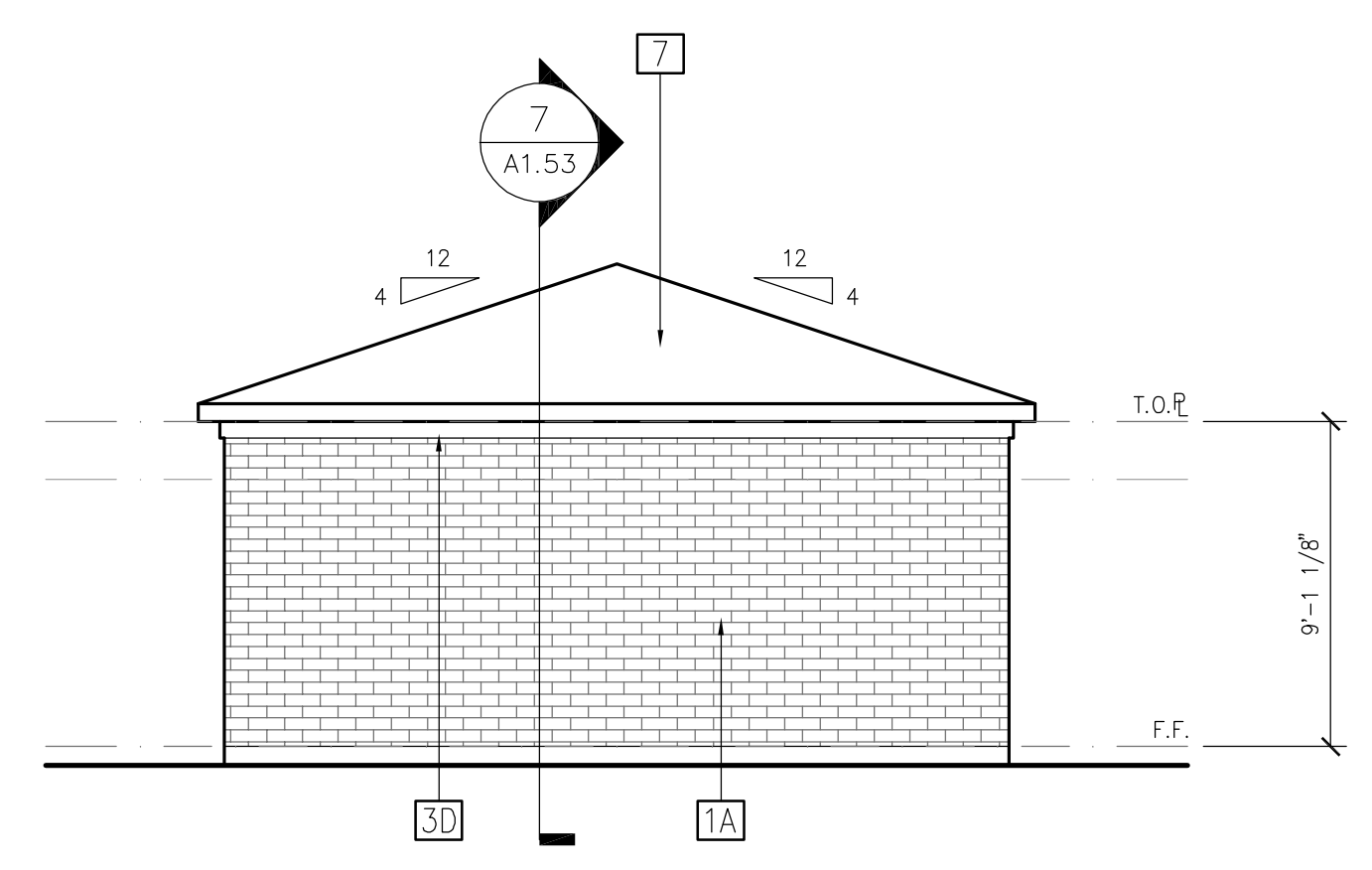
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NOT FOR CONSTRUCTION	
ISSUED FOR PRICING	
ISSUED FOR PERMIT	
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SHEET TITLE
DETACHED GARAGE TYPE IV - ELEVATIONS

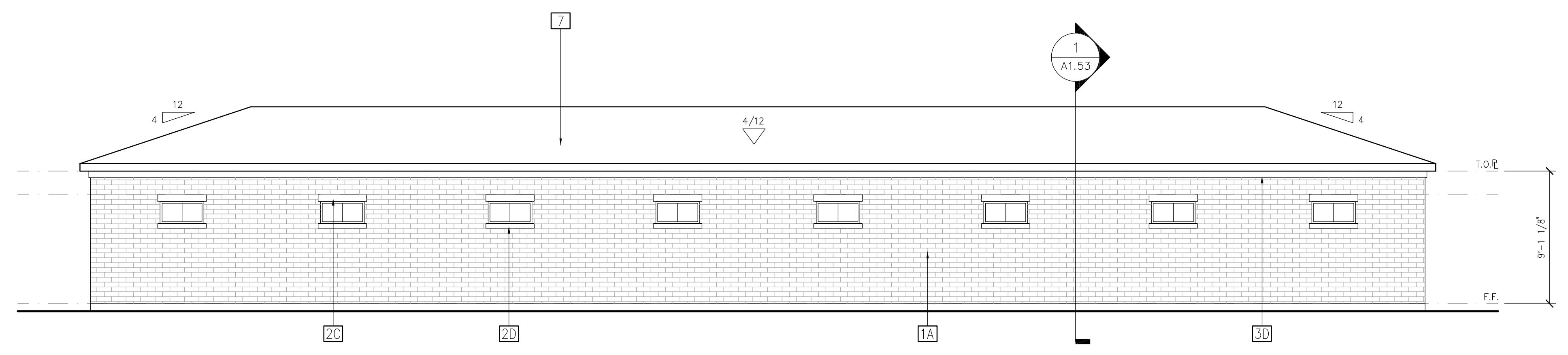
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Exhibit H-12 - Elevations

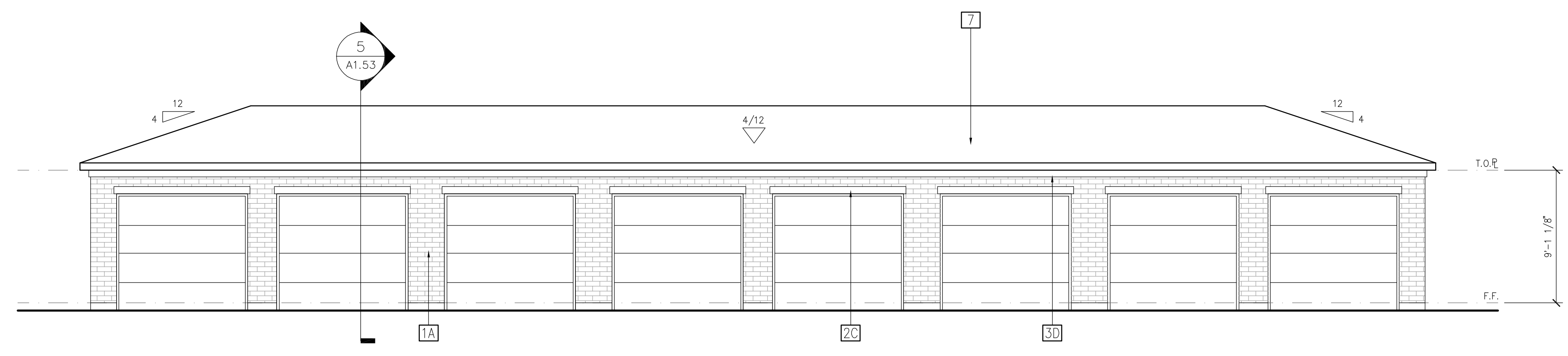
Ordinance No. 24-03-07-10
Page 33 of 34



3 DETACHED GARAGET TYPE V - SIDE ELEVATION
3/16"=1'-0"



2 DETACHED GARAGET TYPE V - REAR ELEVATION
3/16"=1'-0"



1 DETACHED GARAGET TYPE V - FRONT ELEVATION
3/16"=1'-0"

ELEVATION KEYNOTE LEGEND:

1A	BRICK VENEER
1B	BRICK VENEER - HERRINGBONE PATTERN
1C	BRICK SOAPERS - HERRINGBONE PATTERN
1D	BRICK SOAPERS
2A	STONE VENEER
2B	STONE BAND
2C	STONE HEADER
2D	STONE SILL
2E	THIN STONE VENEER
2F	MASONRY CONTROL JOINT (RE: 1/A7.09)
3A	FIBER CEMENT HORIZ. LAP SIDING (SMOOTH FINISH)
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3C	FIBER CEMENT PANEL SIDING (SMOOTH FINISH)
3D	FIBER CEMENT TRIM (SMOOTH FINISH)
4	ROUGH SAWN CEDAR TRIM
5	DECO. CEDAR BRACKETS
6	GUARDRAIL SYSTEM 01 - 1/2" SQ. STEEL PICKET
7	COMPOSITION SHINGLE ROOF
8	STANDING SEAM METAL ROOF AWNING
8A	METAL AWNING
9	STANDING SEAM METAL ROOF
10	STOREFRONT SYSTEM
11	DOWNSPOUT

HATCH INDICATES SPECIAL FRAMING AT SELECT WINDOWS (RE: DETAILS ON A7.16)



NO.	DATE	REVISION
	11/25/20	DESIGN DEVELOPMENT
	03/01/21	ISSUED FOR PERMIT
A	04/13/21	PERMIT RESPONSE #1
B	05/12/21	FIRE DEPARTMENT RESPONSE #1
	06/15/21	ISSUED FOR CONSTRUCTION

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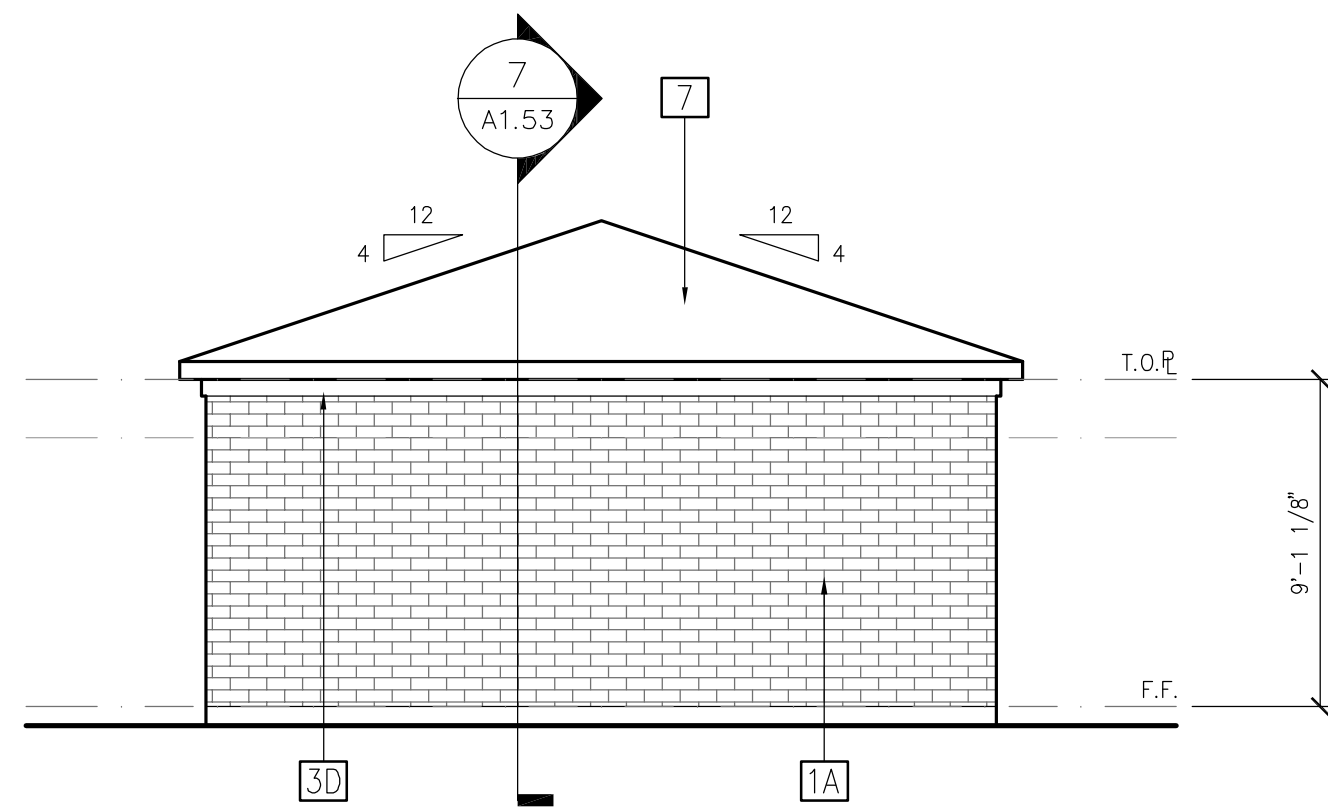
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GREYSTAR DEVELOPMENT GROUP, LP

JOB NO.:	19097
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ISSUED FOR PRICING	
ISSUED FOR PERMIT	
<input checked="" type="checkbox"/> ISSUED FOR CONSTRUCTION	

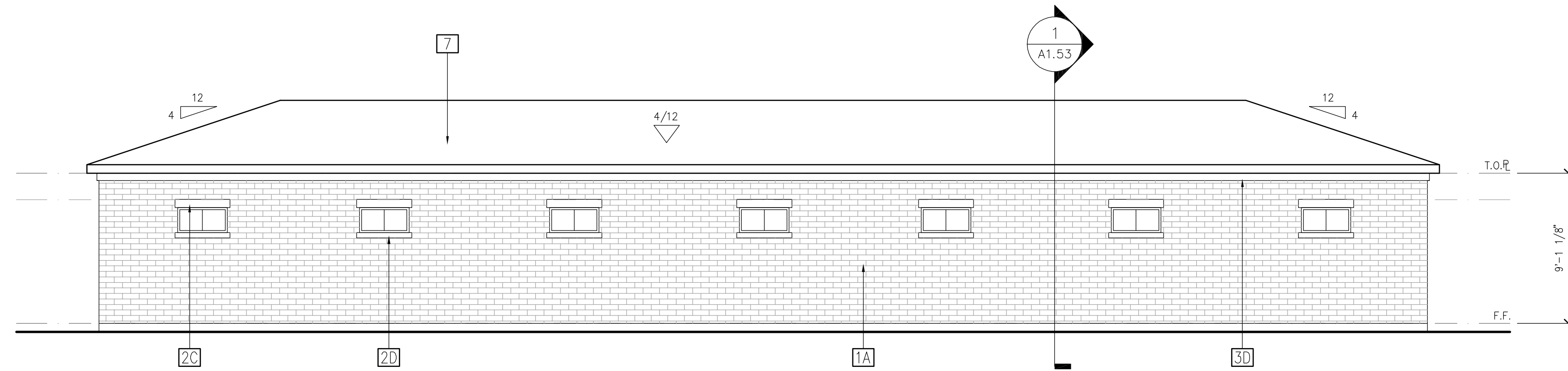
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DRAWING NO.
A1.48

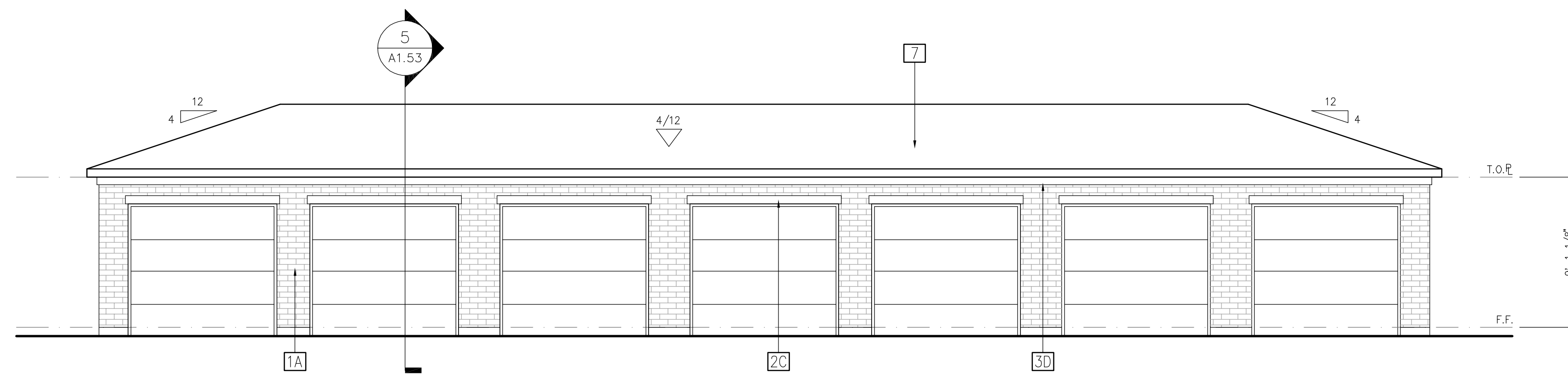
Exhibit H-13 - Elevations



3 DETACHED GARAGET TYPE VI - SIDE ELEVATION
3/16"=1'-0"



2 DETACHED GARAGET TYPE VI - REAR ELEVATION
3/16"=1'-0"



1 DETACHED GARAGET TYPE VI - FRONT ELEVATION
3/16"=1'-0"

ELEVATION KEYNOTE LEGEND:

1A	BRICK VENEER
1B	BRICK VENEER - HERRINGBONE PATTERN
1C	BRICK SOAPERS - HERRINGBONE PATTERN
1D	BRICK SOAPERS
2A	STONE VENEER
2B	STONE BAND
2C	STONE HEADER
2D	STONE SILL
2E	THIN STONE VENEER
2F	MASONRY CONTROL JOINT (RE: 1/A7.09)
3A	FIBER CEMENT HORIZ. LAP SIDING (SMOOTH FINISH)
3B	FIBER CEMENT BOARD & BATTEN SIDING (SMOOTH FINISH)
3C	FIBER CEMENT PANEL SIDING (SMOOTH FINISH)
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5	DECO. CEDAR BRACKETS
6	GUARDRAIL SYSTEM 01 - 1/2" SQ. STEEL PICKET
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9	STANDING SEAM METAL ROOF
10	STOREFRONT SYSTEM
11	DOWNSPOUT

HATCH INDICATES SPECIAL FRAMING AT SELECT WINDOWS (RE: DETAILS ON A7.16)



NO.	DATE	REVISION
A	04/13/21	DESIGN DEVELOPMENT PERMIT RESPONSE #1
B	05/12/21	PERMIT RESPONSE #1 FIRE DEPARTMENT RESPONSE #1
	06/15/21	ISSUED FOR CONSTRUCTION

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JOB NO.:	19097
NOT FOR CONSTRUCTION	
ISSUED FOR PRICING	
ISSUED FOR PERMIT	
<input checked="" type="checkbox"/> ISSUED FOR CONSTRUCTION	

SHEET TITLE
DETACHED GARAGE TYPE VI - ELEVATIONS
DRAWING NO.
A1.50

Exhibit H-14 - Elevations



OFFICIAL USE:
Case Number: PDA23-0008
Fees Paid: N/A

Site Address (Attach Location Map): 2010 CORINTH PARKWAY
 Approved PD: PD-67
 Name (Applicant/Authorized Agent): Mycoskie & Associates, Inc.
 Applicant Signature:

Minor PD, Planned Development Amendment Application*

In accordance with UDC Section 2.10.09.D.1., The Director of Planning and Development may administratively approve or defer to City Council a Minor PD Amendment and Adjustment to the Planned Development Ordinance.

* Please also complete and attach a [Universal Planning Application](#).

APPLICANT MODIFICATION/AMENDMENT REQUEST:
PD to be Amended: PD-67 Bridgeview

DIRECTIONS:

Describe the requested modification(s)/amendment to the requirements of the Approved PD Ordinance in the space provided below. Be specific. Provide accompanying exhibits when applicable.

REQUEST:

To amend Exhibit "F" – Bridgeview PD Development Standards to reflect the following changes (new text in red):

1. Amend Section 2.J. Residential Adjacency Standards: **UDC Section 2.09.05 Residential Adjacency Standards shall not apply.**

Justification: These standards were inadvertently included in the original PD and are not applicable given that the single-family zoned properties to the east and south are dedicated for public parks and shall not be developed for single-family use.

2. Amend Section 2.E to include the following: **UDC Subsection 2.09.01.B.1.e shall apply except that decorative gravel shall be allowed as a ground cover material as depicted on Exhibit "E" PD Landscape Plan.**

Justification: To reduce the amount of impervious cover/hardscape we have proposed, we are proposing to soften our courtyard with areas of decorative gravel to be used for lounge and connections between spaces. This also allows us to blend our planting beds with these spaces to create a seamless connection instead the hard break that would come with hardscape materials and steel edging.

3. Amend Section 2.E to include the following: **UDC Subsection 2.09.01.E.1 shall apply except artificial turf may be utilized in areas as depicted on Exhibit "E" PD Landscape Plan.**

Justification: Artificial turf will be used in amenity areas around the putting green/pickle bar area and near the pool area.

- 4. Amend Section 2.E.2.a. to read as follows: A **variable width** landscaped strip, **excluding driveway areas, as depicted on Exhibit “E” PD Landscape Plan** shall be provided along all facades of each building as measured from the foundation. The landscaped strip area shall be planted at a minimum rate of one (1) Ornamental tree and eight (8) shrubs (may include a mix of evergreen and deciduous) per ground floor unit and may **be** grouped along the façade to create rhythm, variety, and visual interest along the length of each façade. **Where the prescribed planting rate cannot reasonably be accommodated within the variable width landscape strip, required plantings may be installed outside the landscape strip as depicted on Exhibit “E” PD Landscape Plan.**

Justification: *The landscape strip as currently designed varies in width along all facades. Changed language to variable width and excluding garage driveways.*

- 5. Amend Section 2.E.2.e. to read as follows: A landscape edge buffer consisting of large evergreen shrubs that will create a vertical opaque buffer shall be installed between the **drive aisle/parking** and the eastern property line to create a defined edge between the multifamily complex and the adjacent public open space active fields.

Justification: *Modified language to remove reference to grasscrete drive.*

- 6. Amend Section 2.G. to read as follows: UDC Section 2.09.03 Vehicular Parking Regulations shall apply, except as modified in Table B – Parking Requirements below:

Regulation	Base Regulation by Use	Proposed Parking Standards/Modifications
Multi-Family Parking Standard	1 space/DU + 1 additional space/bedroom	208 spaces (1.14 spaces/DU)
Residential Cottage Parking Standard	1 space/DU + 1 additional space/bedroom	32 spaces (2 spaces/DU)
Non-Residential	1 space/200 SF	None required
* On-street parking adjacent to Corinth Parkway shall not be used to satisfy residential parking requirements.		

Justification: *The on-site parking has been revised to show 240 spaces for the Senior Living Development (1.21 PS per unit) and the site has access to parallel public on-street parking along Corinth Parkway. 32 garage spaces are reserved for the residential cottages.*

Per the Institute of Transportation Engineers Parking Generation Manual- 4th Edition, Senior adult housing consists of attached independent living developments including, retirement communities, age-restricted housing and active adult communities. These developments may include limited social or recreational services. However, they generally lack centralized dining and on-site medical facilities. Residents in these communities live independently, are typically active (requiring little to no medical supervision) and may or may not be retired. The ITE database consisted of all suburban sites with an average parking supply ratio of 1.0 spaces per dwelling unit.

A parking ratio comparison was made with similar senior living developments in the region. The parking ratios range from 1.17 to 1.52. The subset included the following developments:

Parking Ratio Comparisons				
City	Project Name	UNITS	PARKING	Ratio
Arlington	Overture at Arlington Highlands	167	216	1.29
Arlington	The Orchards at Arlington Highlands	180	210	1.17
Denton	The Reserves at Magnolia	60	91	1.52
Arlington	Lydle Ridge	59	77	1.31
Arlington	The Highlands Multi-Generational	275	372	1.35
Fort Worth	Sunset at Fash Place	66	83	1.26
Corinth	The Belton (PD-67)	199	240	1.21
	ITE Parking Generation Manual-4th Edition (2019)			1.00

Envision Corinth – 2040 Comprehensive Plan:

The market share summary (page 36) states the “primary focus for multi-family (rental and ownership) need to be placed within walking distance to transit, mixed uses, and public amenities and clustered to maximum value creation.”

The subject property falls within the Mixed Use-TOD area. The mixed-use TOD purpose and intent is to:

- *Maximize the development of mixed use, regional center in conjunction with a commuter rail stop on the DCTA line at Corinth Parkway and Interstate 35E*

Land use types and density shall range from 4-6 stories, provide density based on a street grid that is dense and walkable and make connections to adjoining uses, such as the regional trail network.

Understanding the future vision of the area, parking data available for senior living developments, and operational requirements of the developer/owner, the proposed parking ratios will be adequate for the following reasons:

- *Parking ratios are in line with similar developments (above) and ITE recommendation of 1.0 space per unit.*
- *The Mixed Use-TOD area focuses on a walkable community.*
- *Connections are made to the regional trail network.*
- *The development is within walking distance of the potential commuter rail stop.*
- *The development is adjacent to public amenities (i.e. Corinth Community Park)*

7. Amend Section 2.H. to read as follows: UDC Section 2.04.07.C.5 Garages, Driveways, and Parking is amended to permit a combination of enclosed garages and carports as on the PD Concept Plan (Exhibit “C”) and in Table C - Garages below.

Regulation	
Enclosed Garages	A minimum of 75% of all apartments shall have a one-car enclosed, 240 sq. ft. min., attached or detached per dwelling unit. A minimum of 15% of the units shall have an enclosed garage, attached or detached.

Justification: *16 cottage units were added to the development which changed the number and configuration of garages provided.*

8. Amend Section 2.K. to read as follows: UDC Section 2.04.07.C.8.b Recreation Space Requirements shall apply where a minimum of eight percent (8%) of the gross complex is required to be in the form of private recreation. The requirements of this section are in addition to the park dedication requirements within 3.05.10.

Park and Trail Dedications for Residentially Zoned Property. To meet the Private Recreation requirements, the project includes the provision of 0.52 acres or eight percent (8%) of gross complex. The “private recreation areas” are shown on the Private Recreation and Open Space Plan (Exhibit “G”). However, the activity areas shown may be adjusted or changed to include comparable activities if and when popular sports and activities change based on resident demand (i.e., pickle ball).

- 1) Pool with outdoor seating and lounge areas, sidewalk/pedestrian paths, and entry plaza – 0.624 acres
 - 2) Sidewalk/pedestrian paths, passive courtyard, fire pit, and pickle ball court - 0.861 acres
 - 3) Clubhouse – 0.194 acres
- Total – 1.679 acres**

Justification: *The overall open space area still exceeds the 8% requirement.*

9. Amend Section 2.L. to read as follows: The UDC Section 3.05.10 Park and Trail Dedication for Residentially Zoned Property requires that Park and Trail dedication for Residentially Zoned Property be provided at a rate of one (1) acre per/50 DU and/or fees-in-lieu-of shall apply, except that the Applicant/Developer agrees to incorporate the tree preservation area and linear open space adjacent to the Lynchburg Creek greenway/trail public open space to create a passive common area for the residents of the complex with benches/sitting area including decorative metal fencing with locked gate providing access out to the public open space as depicted on the PD Concept Plan (Exhibit "D") and the Concept Landscape Plan (Exhibit"). **The 19,690 sq. ft. area** identified for the Tree Preservation and Common Open Space area may be used to off-set the direct portion of required trail and land dedication fees provided that that common open space is maintained as depicted on the Private Recreation and Open Space Plan (Exhibit "G"). The Tree Preservation and Common Open Space area shall remain free of any stormwater management facilities should stormwater detention be required at time of Site Plan.

Justification: *The overall tree preservation area increased by 58 sq. ft. This is due to changes in the site plan.*

10. Amend Section 2.P. to read as follows: UDC Section 4.02 Fence and Screening Regulations shall apply, except that 4.02.11.E Residential Construction Abuts a Collector or an Arterial Street shall not apply. Additionally, perimeter fencing as depicted on the PD Concept Plan (Exhibit "D") shall be comprised of a transparent decorative iron fence with pedestrian gate access along the **eastern property line**.

Justification: *Clarifying the correct property line on where pedestrian gates are to be located.*

11. Amend Section 3.D. to read as follows: **Fire Lane:** A **fire lane** as depicted on the PD Concept Plan (Exhibit "D") shall be installed providing **exit only for residents and emergency access**. The type of gate shall be determined at time of Site Plan and be acceptable to the Fire Marshal though at a minimum would be a one-armed gate (or similar).


Justification: *Removed reference to the grasscrete fire lane and modified how the easternmost drive should function.*

12. **Other:** **Regarding the on-street parking design shown along Corinth Parkway on "Exhibit B" – PD Concept, the developer agrees to revise the proposed design should the City present an alternative plan for on-street parking and the associated sidewalk prior to the construction of said on-street parking. Additionally, a pedestrian access easement shall be provided along Corinth Parkway extending from the property line inward to the back edge of the sidewalk.**

Staff Comments/Conditions:

This Minor PDA shall supersede any conflicting standards approved and presented on "Exhibit B" – PD Concept Plan and "Exhibit C" – Concept Landscape and Screening Plan, in Planned Development Ordinance No. 31 (PD-67) as adopted on March 7, 2024.

Approved/Denied:



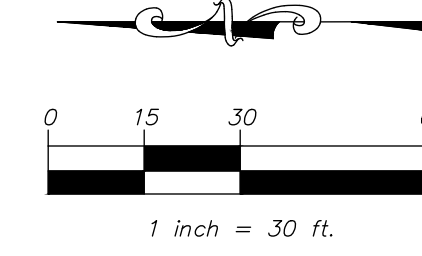
Melissa Dailey, AICP
Director of Planning and Development
Date: 10/1/24

LINE #	LENGTH	DIRECTION
L1	93.02'	N 88°15'56" E
L2	7.43'	N 10°15'37" W
L3	28.69'	N 32°50'19" E
L4	44.27'	N 71°04'15" E
L5	21.68'	S 89°05'11" E
L6	25.76'	S 79°28'25" E
L7	29.03'	S 69°42'15" E
L8	24.37'	S 80°28'21" E
L9	27.01'	S 87°01'01" E
L10	21.32'	S 43°18'20" E
L11	4.13'	S 25°59'32" E
L12	33.24'	N 88°13'53" E

SITE DATA TABLE	
MULTI-FAMILY REQUIREMENTS	
SITE DATA	
CURRENT ZONING	PD-67
SITE AREA	6.5 AC
UNITS	
BUILDING COVERAGE (ALL BUILDINGS)	50% MAX.
DENSITY	30.3 UNITS/AC
BUILDING DATA	
NUMBER OF STORES	4 STORIES
MINIMUM FLOOR AREA	696 SF
BUILDING SETBACKS	
FRONT YARD	10' MIN.
REAR YARD	20' MIN.
SIDE YARD	20' MIN.
ADJACENT TO ONE OR TWO FAMILY RESIDENTIAL	NA

SITE DATA TABLE	
UNIT TYPE	NUMBER
MULTI-FAMILY 1 BEDROOM	100
MULTI-FAMILY 2 BEDROOM	83
DUPLEX 2 BEDROOM	16
TOTAL MULTI-FAMILY UNITS	199
REQUIRED PARKING	
1.21 PS PER UNIT	240
1 PS FOR EACH 200 SQ. FT. OF RETAIL, PERSONAL, OR BUSINESS SERVICE (1,866 SQ. FT. TOTAL)	7
TOTAL REQUIRED PARKING	247
PROVIDED PARKING	
SURFACE PARKING (INCLUDING DETACHED GARAGES & PROSPECTIVE RESIDENT PARKING)	240 (1.21 SPACES PER UNIT)
SURFACE PARKING (RETAIL, PERSONAL, OR BUSINESS SERVICE)	7
TOTAL PARKING PROVIDED	247 SPACES

NOTES:
 1. AERIAL FIRE APPARATUS ACCESS ROAD MUST BE ABLE TO ACCOMMODATE 85,000 LBS.
 2. ALL GATES WITHIN THE FIRE LANE SHALL PROVIDE AUTOMATIC ACCESS WITH A MANUAL DISCONNECT.



LEGEND:

- FIRE LANE: [Symbol: Dashed line]
- PARKING COUNT: [Symbol: Circle with 5]
- PRESERVED TREE: [Symbol: Tree icon]
- FENCING: [Symbol: Dashed line with inward ticks]
- ZONING: [Symbol: Circle with Z]
- EX. USE CLASSIFICATION: [Symbol: Circle with Z]

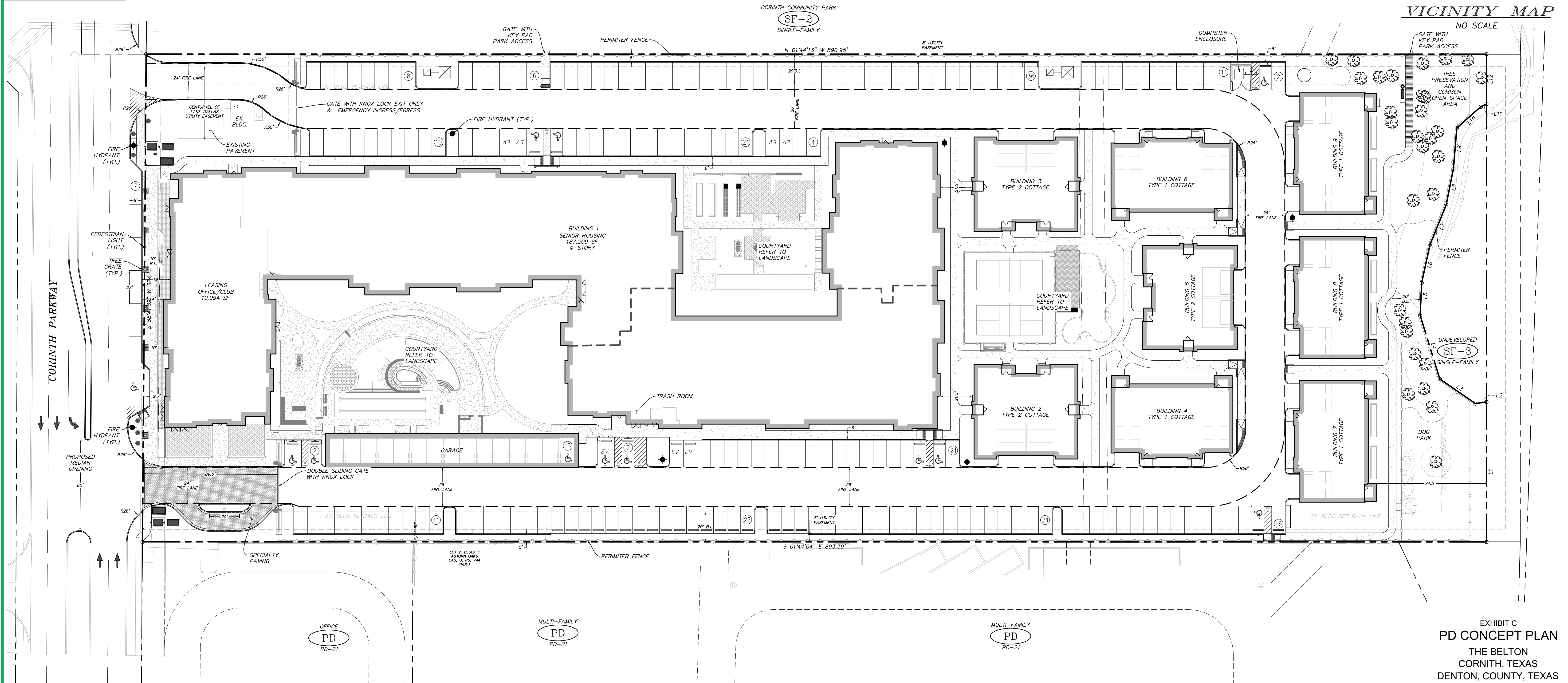
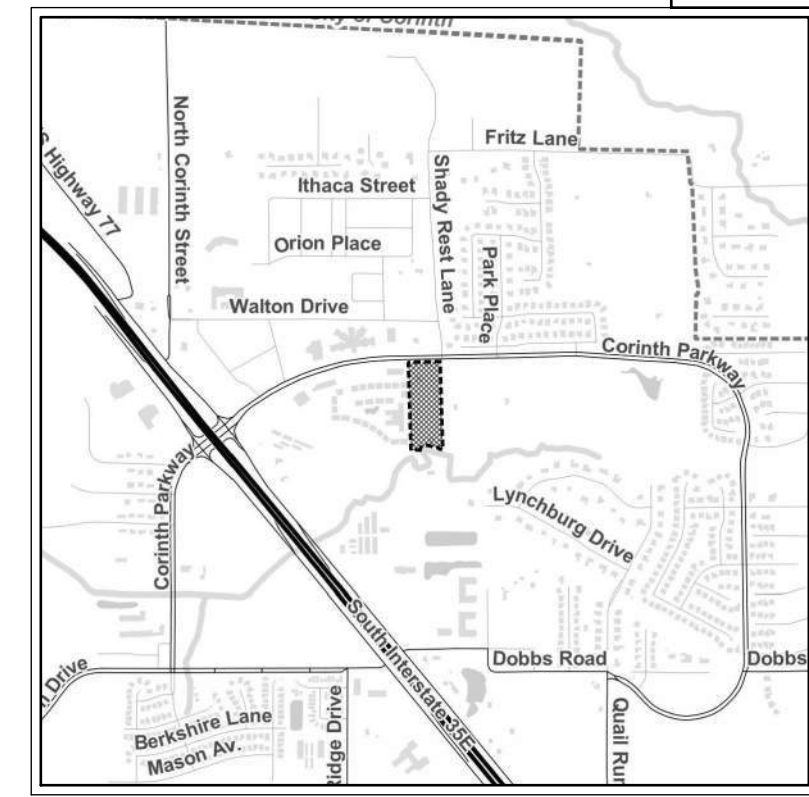
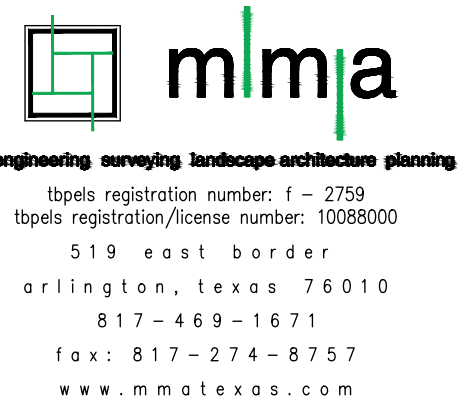


EXHIBIT C
PD CONCEPT PLAN
 THE BELTON
 CORNITH, TEXAS
 DENTON, COUNTY, TEXAS
 MAY 2024

ZONING CASE #ZAPD23-0001

OWNER:
 GVM III, LLC
 1000 CORDOVA PLACE #271
 SANTA FE, NM 87505

DEVELOPER:
 BRIDGEVIEW MULTIFAMILY, LLC.
 8390 LBJ FREEWAY, SUITE 565
 DALLAS, TEXAS 75243
 CONTACT: DRU GUILLOT
 PHONE: (214) 676-7617





1405 W KOENIG LN
AUSTIN, TX 78756
artis-atx.com
512.689.0627



CORINTH SENIOR HOUSING

CORINTH, TEXAS
PROJ. 3427

SDP SET
9.11.2024

NO. DESCRIPTION DATE

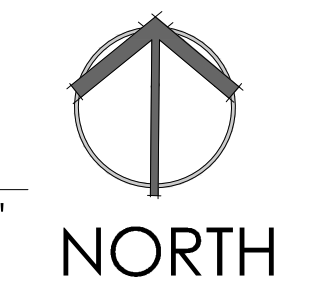
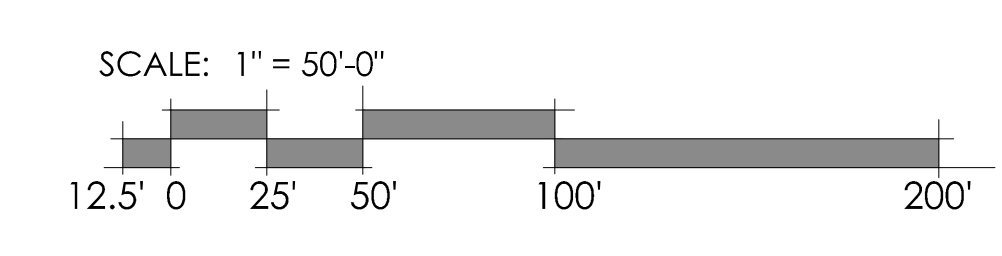
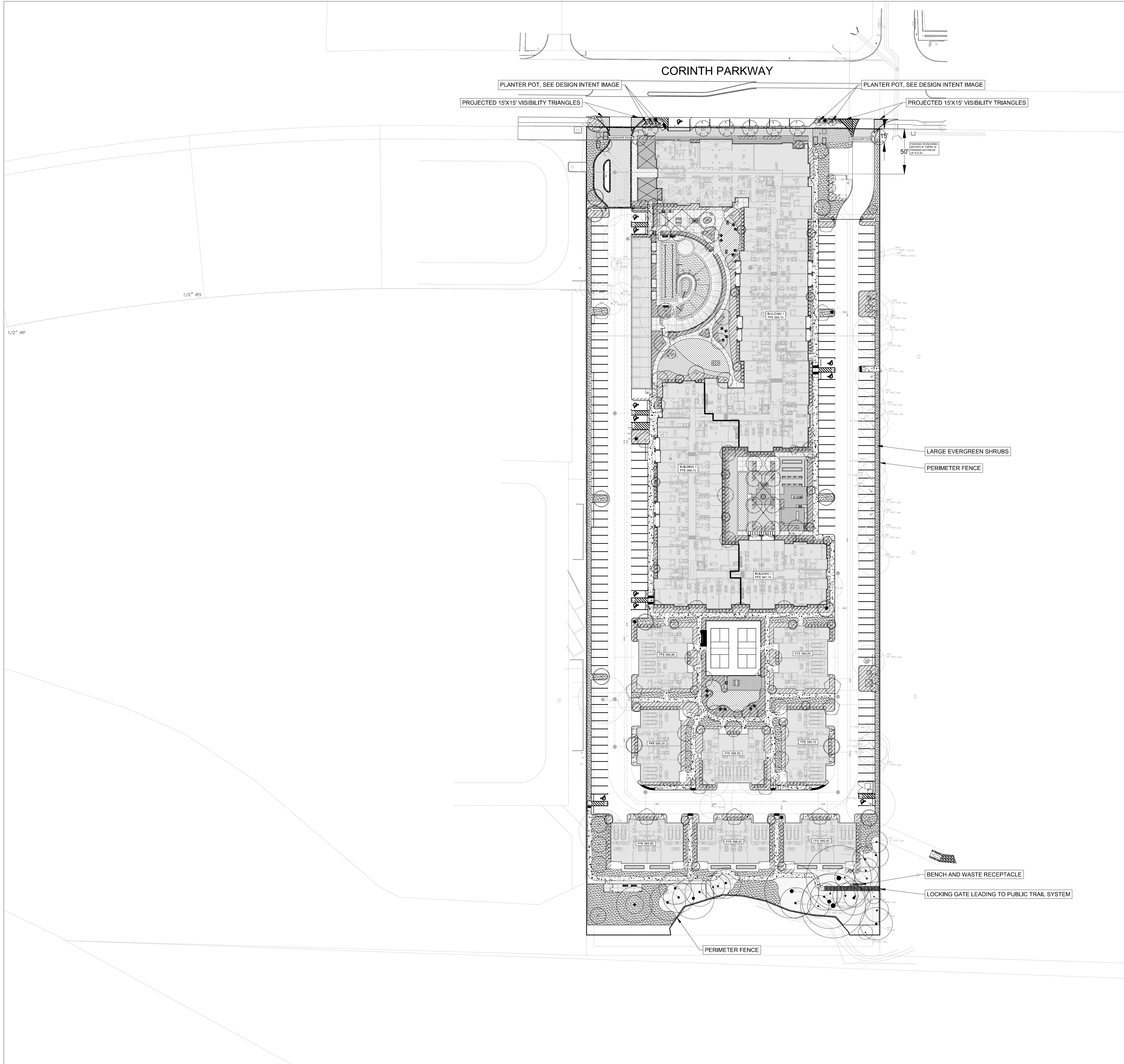
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OVERALL LANDSCAPE
ORDINANCE PLAN

LA - 2



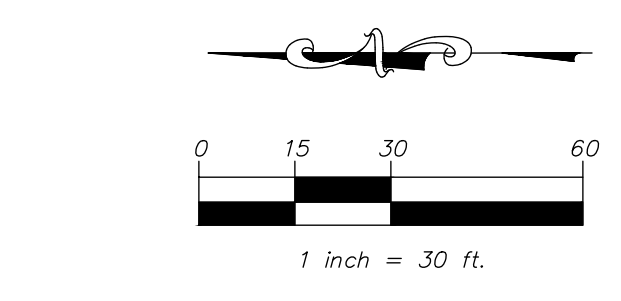
ROUND CONCRETE PLANTER
IMAGE FOR DESIGN INTENT ONLY. SPECIFIC PLANTER STYLE, SIZE, AND COLOR TO BE DETERMINED.



LINE #	LENGTH	DIRECTION
L1	93.02'	N 88°15'56" E
L2	7.43'	N 10°15'37" W
L3	28.69'	N 32°50'19" E
L4	44.27'	N 71°04'15" E
L5	21.68'	S 89°05'11" E
L6	25.76'	S 79°28'25" E
L7	29.03'	S 69°42'15" E
L8	24.37'	S 80°28'21" E
L9	27.01'	S 87°01'01" E
L10	21.32'	S 43°18'20" E
L11	4.13'	S 25°59'32" E
L12	33.24'	N 88°13'53" E

OVERALL AREA DATA TABLE		
	AREA (AC)	AREA (%)
OVERALL SITE AREA	6.5	100.0%
TREE PRESERVATION AREA PROVIDED	0.452	7.0%
PARK & TRAIL DEDICATION PROVIDED	0.000	0.0%
TOTAL TREE PRESERVATION & PARK/TRAIL DEDICATION PROVIDED	0.452	7.0%
PRIVATE RECREATION AREA	1.679	25.8%
TOTAL	2.131	32.8%

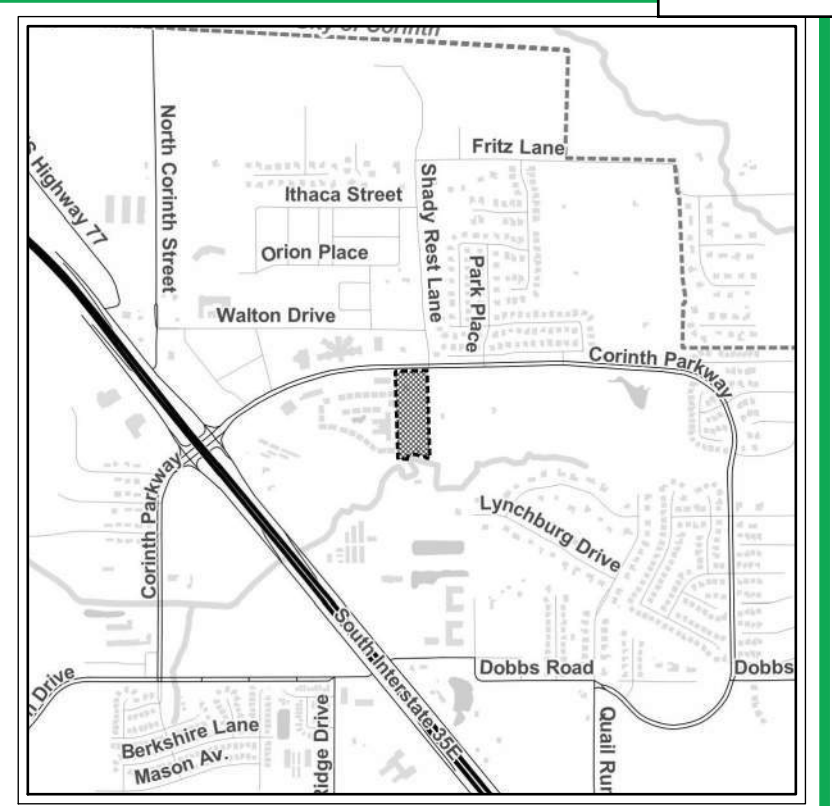
AREA DATA TABLE		
AREA TYPE	AREA (AC)	DESCRIPTION
TREE PRESERVATION AREA #1	0.452	TREE PRESERVE WITH WALKING TRAILS AND SEATING
SUBTOTAL	0.452	
RECREATION AREA #1	0.624	POOL WITH OUTDOOR SEATING AND LOUNGE AREAS; SIDEWALK/PEDESTRIAN PATHS; ENTRY PLAZA
RECREATION AREA #2	0.861	SIDEWALK/PEDESTRIAN PATHS; PASSIVE COURTYARD; FIRE PIT; PICKLEBALL COURT
RECREATION AREA #3	0.194	CLUBHOUSE
SUBTOTAL	1.679	
TOTAL	2.131	



LEGEND:

TREE PRESERVATION AREA

PRIVATE RECREATION AREA



VICINITY MAP
NO SCALE

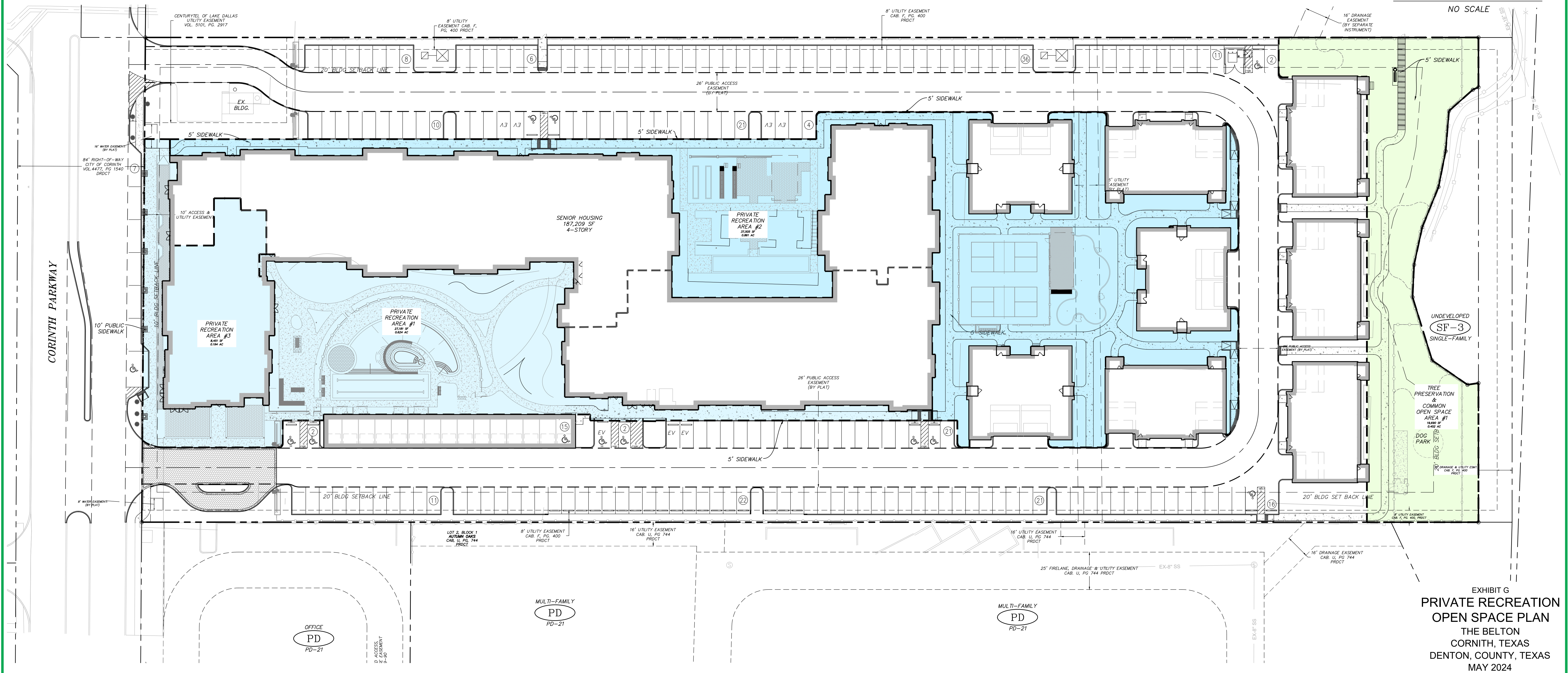


EXHIBIT G
PRIVATE RECREATION
OPEN SPACE PLAN
THE BELTON
CORNITH, TEXAS
DENTON, COUNTY, TEXAS
MAY 2024

ZONING CASE #ZAPD23-0001

OWNER:
GVM III, LLC
1000 CORDOVA PLACE #271
SANTA FE, NM 87505

DEVELOPER:
BRIDGEVIEW MULTIFAMILY, LLC.
8390 LBJ FREEWAY, SUITE 565
DALLAS, TEXAS 75243
CONTACT: DRU GUILLOT
PHONE: (214) 676-7617

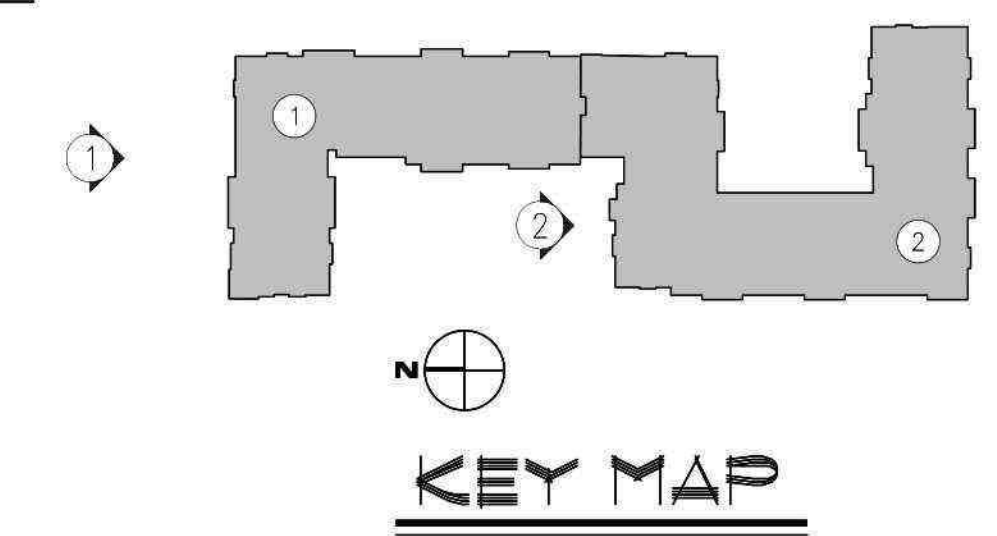
mima
civil engineering surveying landscape architecture planning
texas registration number: 1 - 2759
texas registration/license number: 10088000
519 east border
arlington, texas 76010
817-469-1671
fax: 817-274-8757
www.mimatex.com



2 NORTH ELEVATION
1/8"=1'-0"



1 NORTH ELEVATION
1/8"=1'-0"



NO.	DATE	REVISION
1	02/09/24	DESIGN DEVELOPMENT SET

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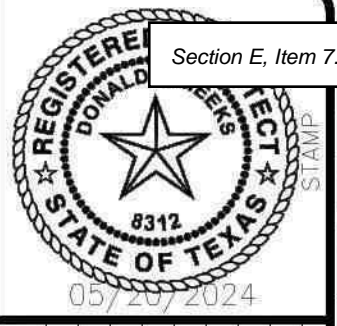
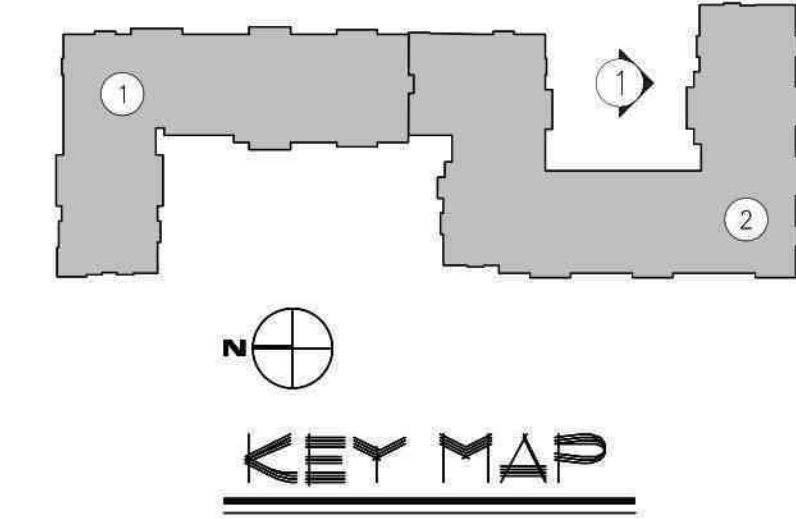
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X	NOT FOR CONSTRUCTION
	ISSUED FOR PRICING
	ISSUED FOR PERMIT
	ISSUED FOR CONSTRUCTION

SHEET TITLE
EXTERIOR ELEVATIONS

DRAWING NO.
A4.01



1 NORTH ELEVATION
1/8"=1'-0"



NO.	DATE	REVISION

NO.	DATE	REVISION
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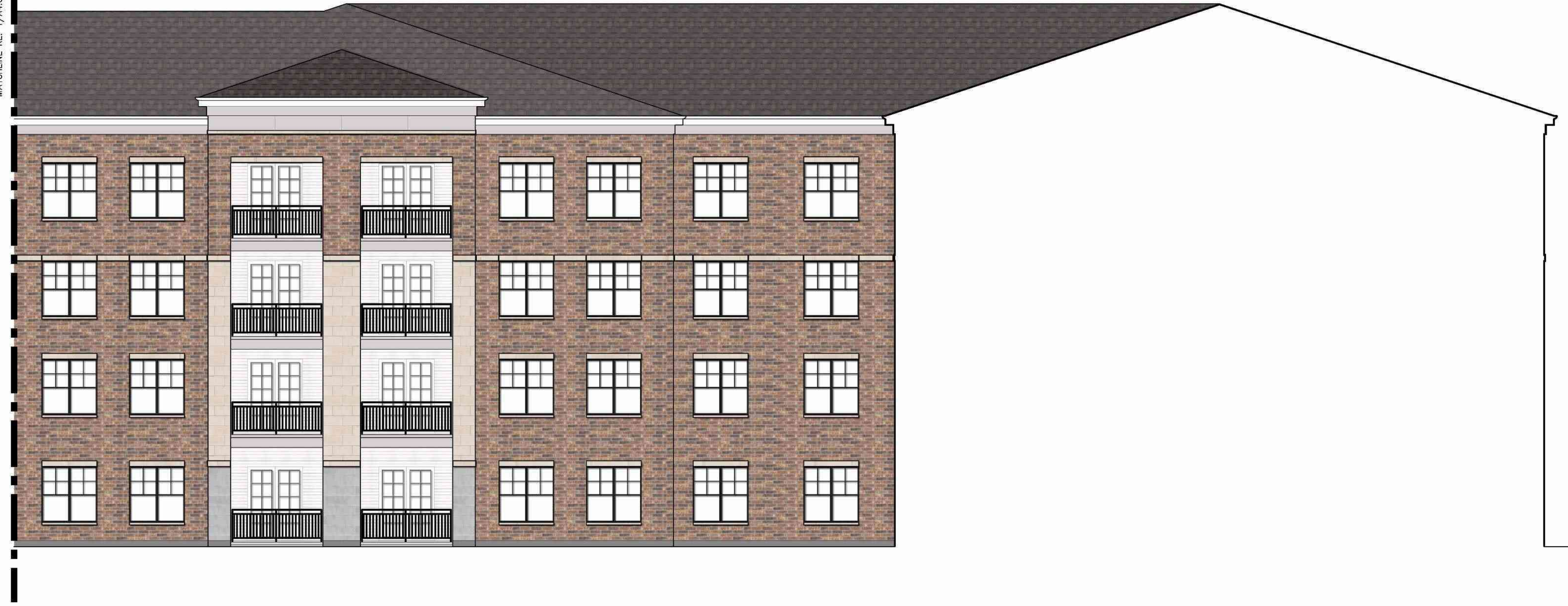
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EXTERIOR ELEVATIONS

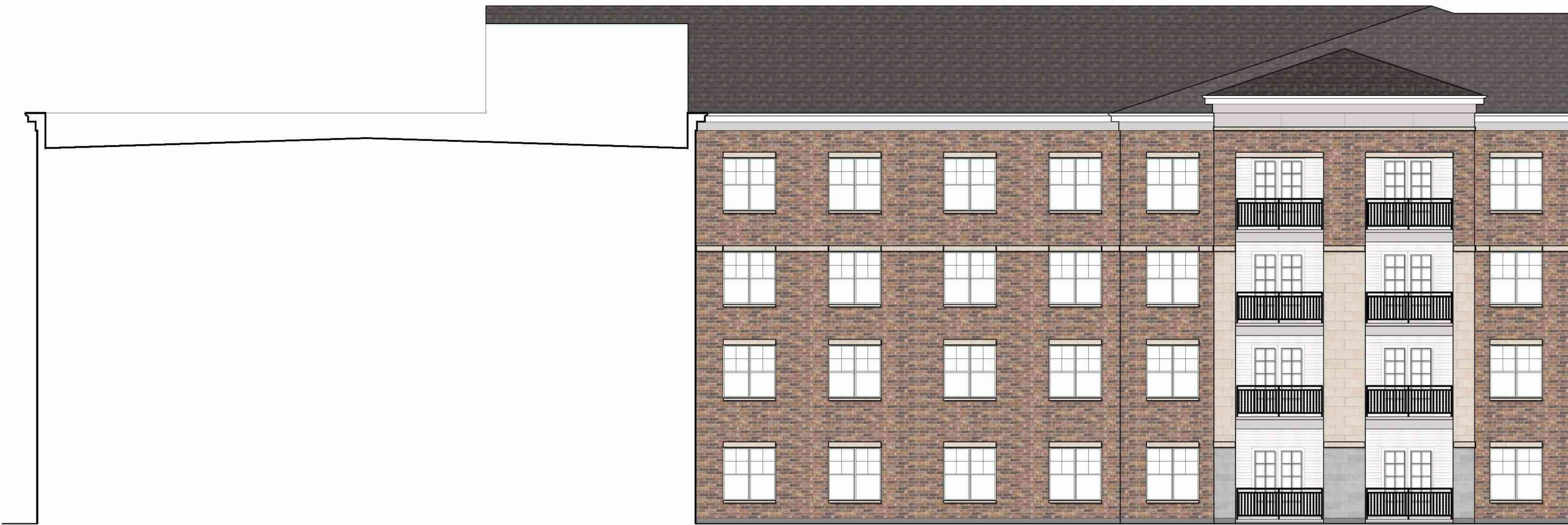
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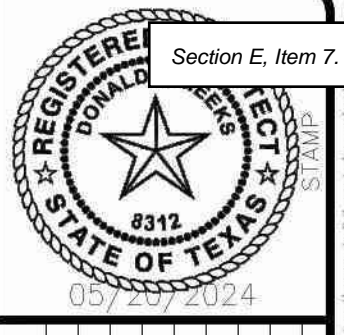
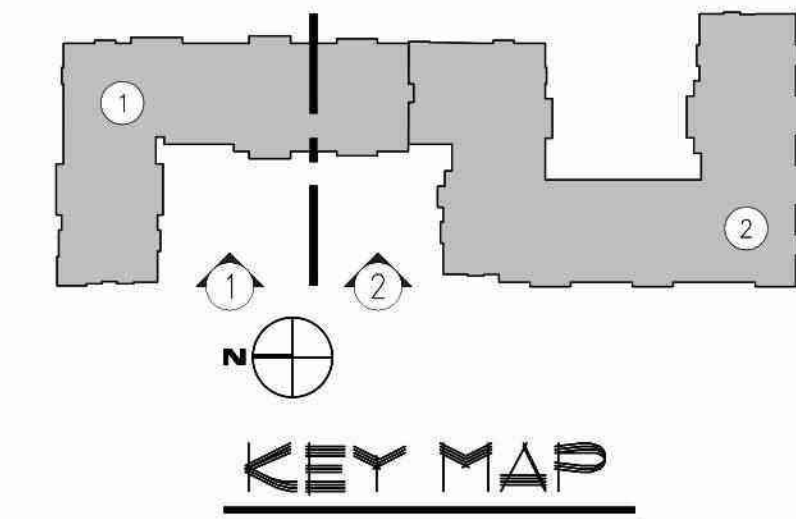


2 WEST ELEVATION
1/8"=1'-0"

MATCHLINE RE: 2/A4.03



1 WEST ELEVATION
1/8"=1'-0"



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1	02/09/24	DESIGN DEVELOPMENT SET
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SHEET TITLE
**EXTERIOR
ELEVATIONS**

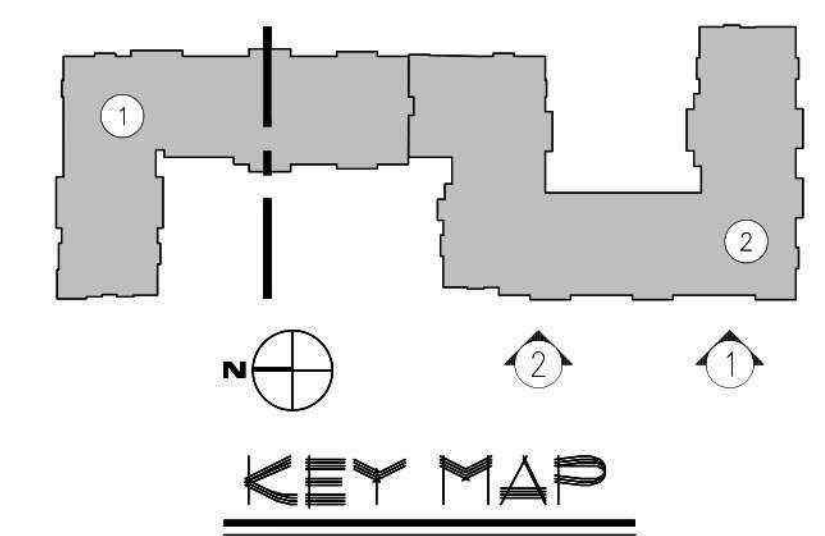
DRAWING NO.
A4.03



1 WEST ELEVATION
1/8"=1'-0"



2 WEST ELEVATION
1/8"=1'-0"



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JOB NO.: 23068

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SHEET TITLE:
EXTERIOR ELEVATIONS

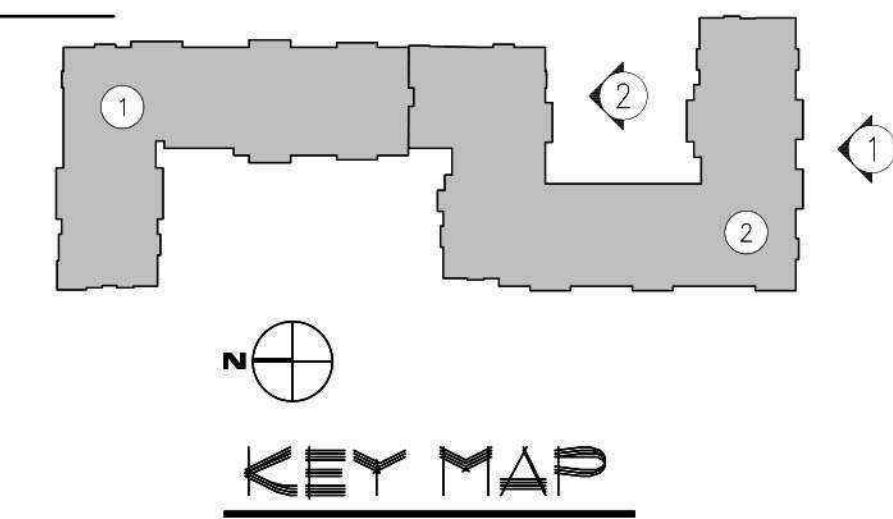
DRAWING NO.
A4.04



2 SOUTH ELEVATION
 1/8"=1'-0"



1 SOUTH ELEVATION
 1/8"=1'-0"



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1	02/09/24	DESIGN DEVELOPMENT SET
2	05/20/24	ISSUED FOR PERMIT

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SHEET TITLE
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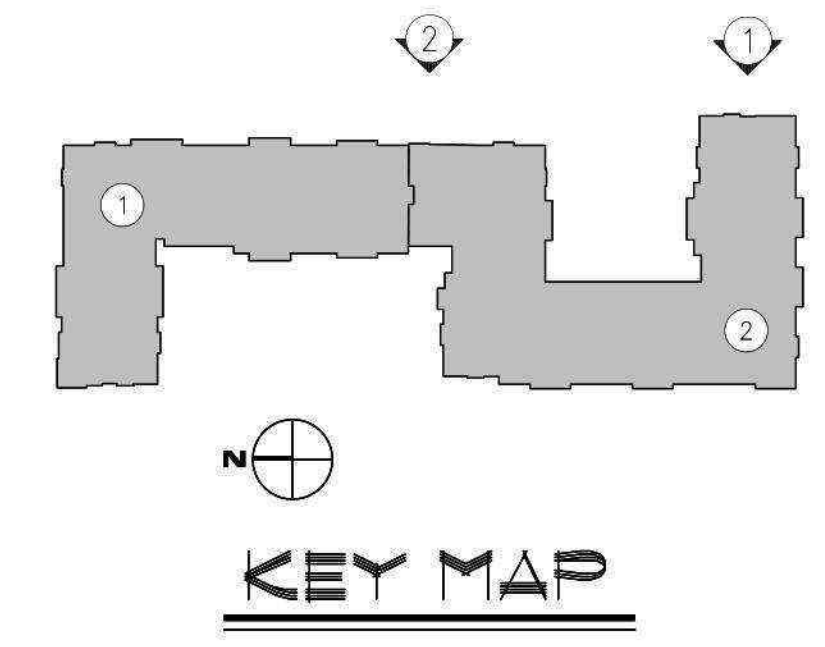
DRAWING NO.
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2 EAST ELEVATION
 1/8"=1'-0"



1 EAST ELEVATION
 1/8"=1'-0"



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SHEET TITLE
EXTERIOR ELEVATIONS

DRAWING NO.
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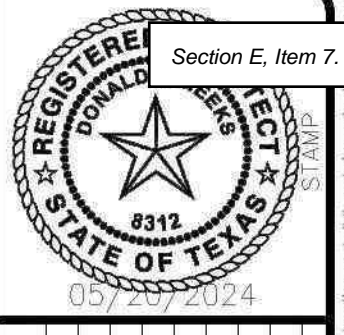
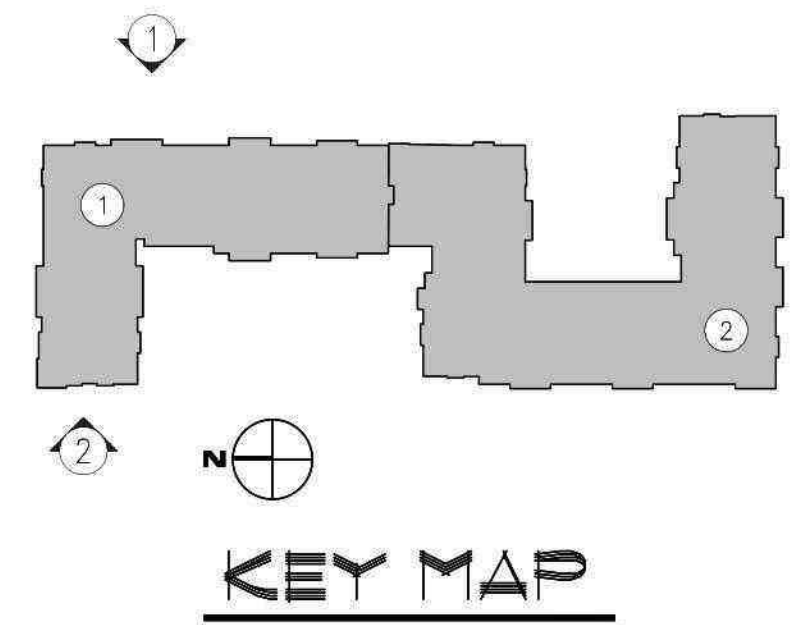
MATCHLINE RE: 1/A4.03

2 WEST ELEVATION
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MATCHLINE RE: 2/A4.06

1 EAST ELEVATION
1/8"=1'-0"



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1	02/09/24	DESIGN DEVELOPMENT SET
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SHEET TITLE
**EXTERIOR
ELEVATIONS**

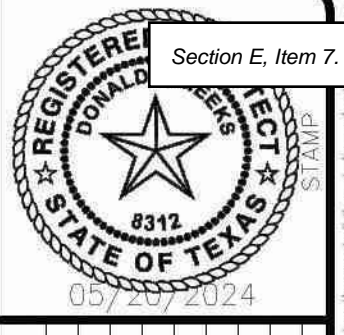
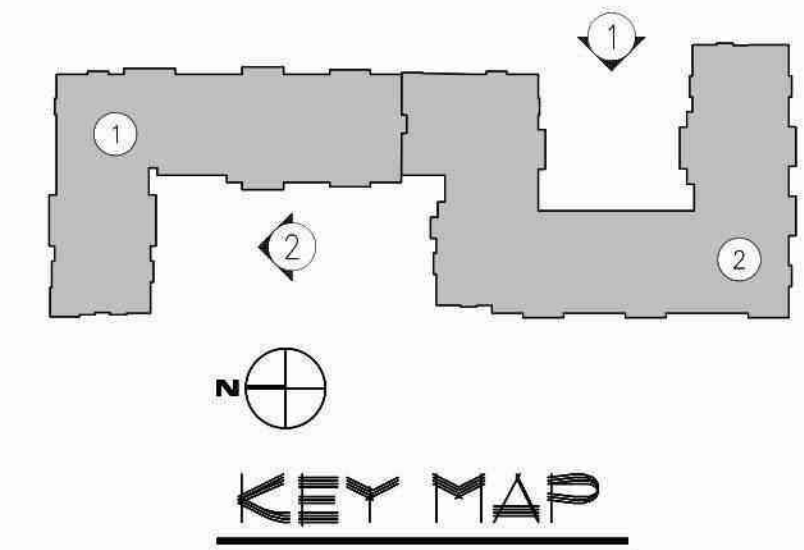
DRAWING NO.
A4.07



2 SOUTH ELEVATION
1/8"=1'-0"



1 EAST ELEVATION
1/8"=1'-0"



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SHEET TITLE
**EXTERIOR
ELEVATIONS**

DRAWING NO.
A4.08

Date: 5/22/2024 © 6:06 P.M. By: ahsong
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4 REAR ELEVATION
3/16"=1'-0"



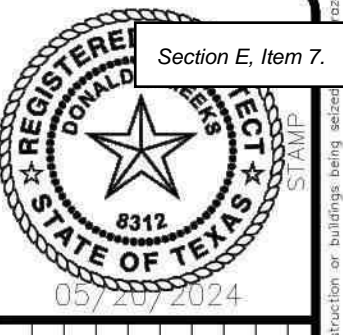
3 LEFT ELEVATION
3/16"=1'-0"



2 RIGHT ELEVATION
3/16"=1'-0"



1 FRONT ELEVATION
3/16"=1'-0"



NO.	DATE	REVISION
1	02/09/24	DESIGN DEVELOPMENT SET
2	05/20/24	ISSUED FOR PERMIT

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SHEET TITLE
**DUPLIX TYPE I
 ELEVATIONS**

DRAWING NO.
DP4.09

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4 REAR ELEVATION
3/16"=1'-0"



3 LEFT ELEVATION
3/16"=1'-0"



2 RIGHT ELEVATION
3/16"=1'-0"



1 FRONT ELEVATION
3/16"=1'-0"

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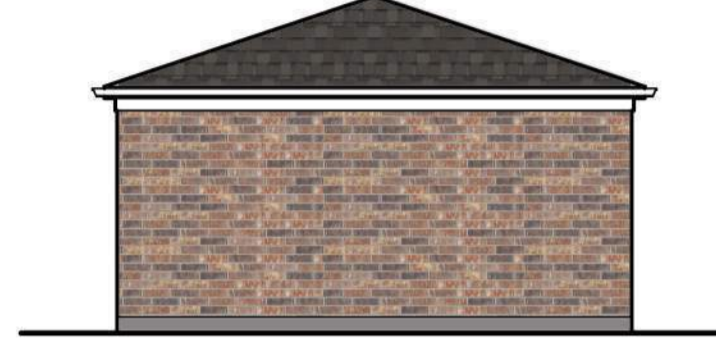
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SHEET TITLE
**DUPLEX TYPE II
ELEVATIONS**

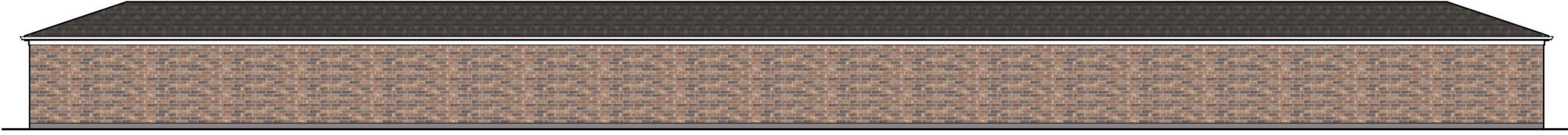
DRAWING NO.
DP4.0



4 **DETACHED GARAGE TYPE I - SIDE ELEV.**
1/8"=1'-0"



3 **DETACHED GARAGE TYPE I - SIDE ELEV.**
1/8"=1'-0"

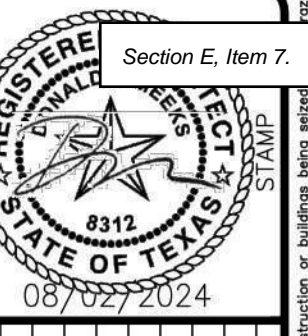


2 **DETACHED GARAGE TYPE I - REAR ELEV.**
1/8"=1'-0"



1 **DETACHED GARAGE TYPE I - FRONT ELEV.**
1/8"=1'-0"

Date: 6/7/2024 11:55 A.M. By: othong
NOT FOR CONSTRUCTION



NO.	DATE	REVISION

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<input type="checkbox"/>	ISSUED FOR PRICING
<input checked="" type="checkbox"/>	ISSUED FOR PERMIT
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SHEET TITLE:
DETACHED GARAGE TYPE I


DRAWING NO.
A1.47

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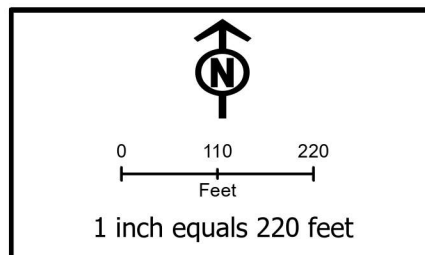
Proposed Zoning Change

Bridgeview Corinth
 PD-67 Amendment (ZAPD24-0009)

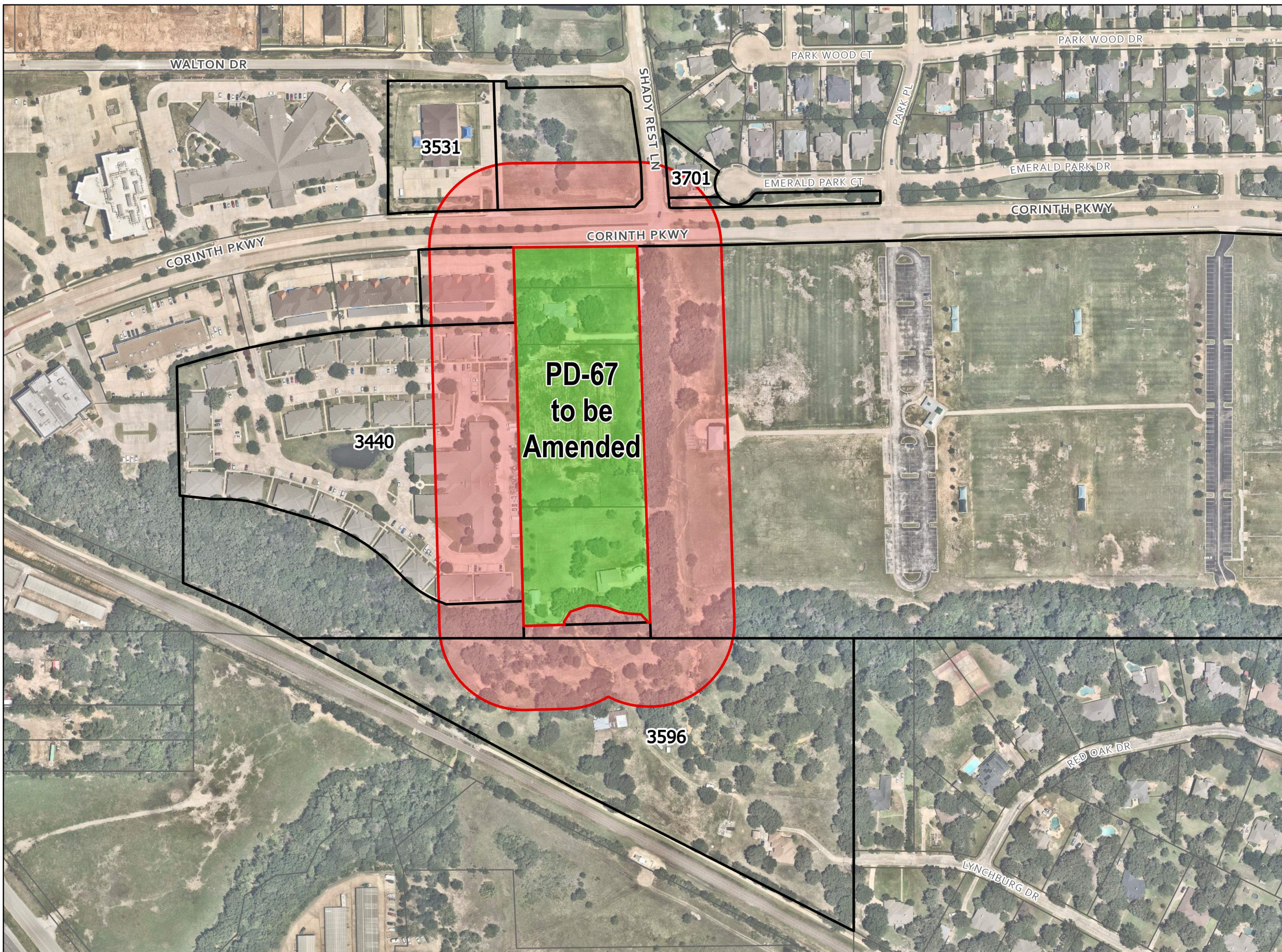
 PD-67 to be Amended

 Properties within 200 ft of PD-67

10/22/2024



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CITY OF CORINTH
Staff Report

Meeting Date:	12/9/2024	Title:	City-Initiated Rezoning Request for the northeast corner of N. Corinth St and Shady Shores Rd. to MX-C (ZMA24-0008)
Strategic Goals:	<input type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development		

Item/Caption

Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on City initiated request on behalf of the property owner, Miguel Angel & Antonio Murillo to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, to rezone 2 properties totaling approximately ±2.2 acres from SF-2 Single Family to MX-C Mixed Use Commercial, with the subject properties being located at the northeast corner of N Corinth St and Shady Shores Rd. (Case No. ZMA24-0008 MX-C Rezoning)

Item Summary/Background/Prior Action

The City is requesting a rezoning of two properties located at the northeast corner of N Corinth St and Shady Shores Road. The applicant has completed a zoning request application authorizing the City to proceed with this request. The 2040 Comprehensive Plan identifies this area and these properties as “Mixed-Use TOD”, or Transit Oriented Development (see Attachment 3 – Land Use and Development Strategy map). The purpose and intent are stated to maximize the development of a mixed-use regional center, develop character and context befitting a new downtown with a range of urban residential, retail and office uses, and to become a destination for day and evening dining, entertainment and community festivals and events.

The property is currently zoned “SF-2” Single Family and is undeveloped. The property is surrounded by a combination of residential and industrial uses, with single family to the east, a development of townhomes underway to the south, and developing industrial buildings across N Corinth St to the west. This location would be the northern terminus of the area envisioned to become Downtown Corinth. The property is currently under contract with a developer that is proposing single family attached townhomes to include some live-work townhomes that would front N Corinth St. Staff believes townhomes, individually platted and sold at this site, would serve as a positive transitional use from the single family use to the east, and a compatible use with the adjacent townhomes under construction. Single-family attached use is consistent with the 2040 Comprehensive Land Use and Development Strategy Map that indicates this area as Mixed-Use TOD.

Public Notice

Notice of the public hearing was provided in accordance with the City Ordinance and State Law by,

- Publication in the Denton Record-Chronicle
- Written public notices were mailed to the owners of all properties located within 200 feet of the subject property and to the Denton ISD (see Attachment 4 - 200 FT Buffer Exhibit).
- The Applicant posted “Notice of Zoning Change” signs on the subject properties.
- The Public Hearing Notice was posted on the City’s website.

Letters of Support/Protest

As of the date of this report, the City has received no letters of support no letters of opposition from property owners located within 200 feet of the subject property. Staff has received 2 letters of opposition from residents in Shady Shores. Letters received after this date will be presented to the Planning and Zoning Commission at the time of Public Hearing.

Staff Recommendation

Staff recommends approval of the proposed amendment as presented.

Motion

“I move to recommend approval of Case No. ZMA24-0008 as presented.”

Alternative Actions by the Planning and Zoning Commission

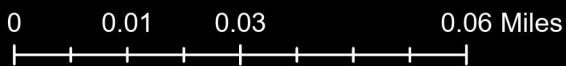
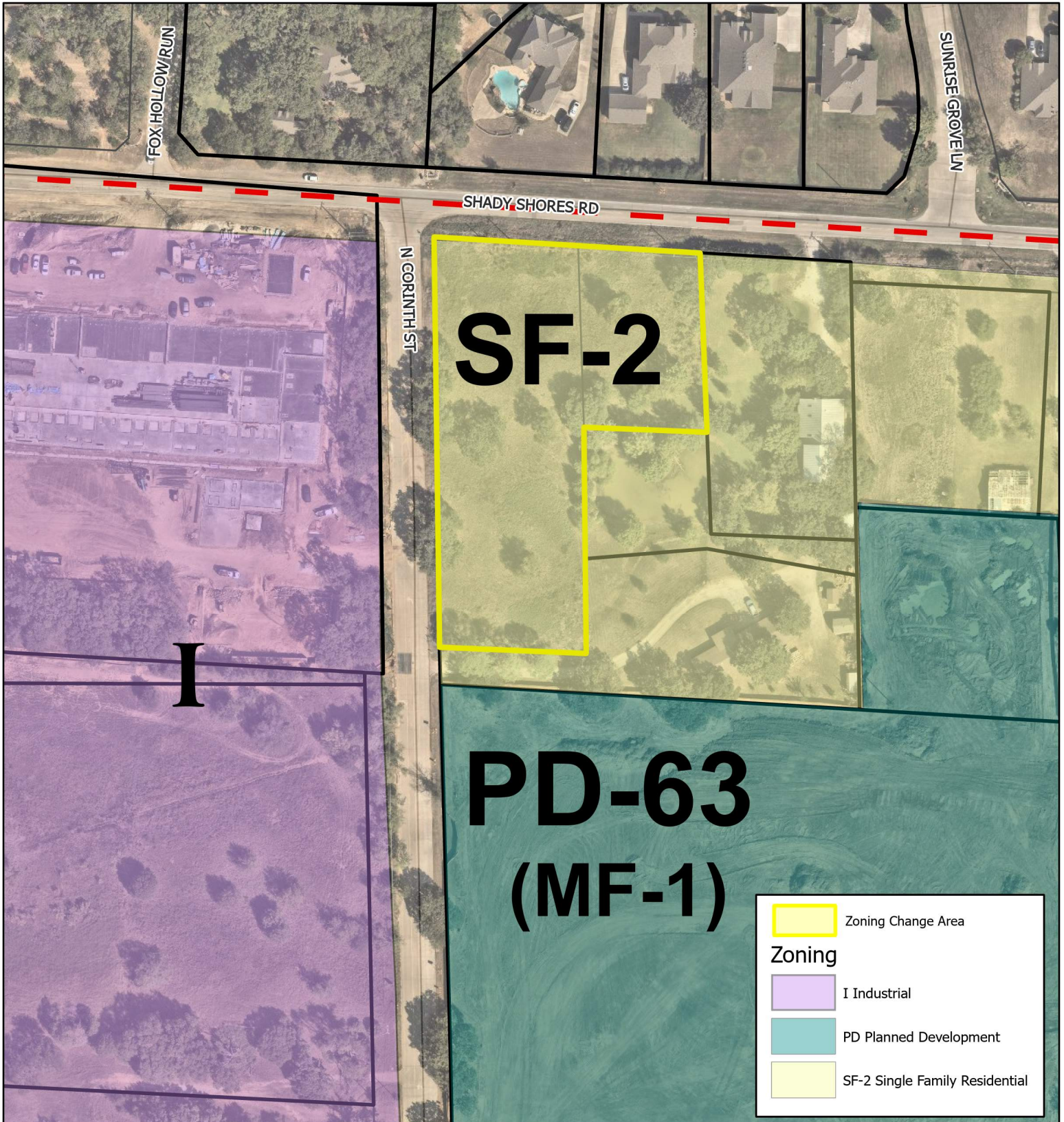
The Planning and Zoning Commission may also,

- Recommend approval with additional stipulations
- Continue the Public Hearing and table action on the request to a definitive or non-defined date
- Recommend denial of the request

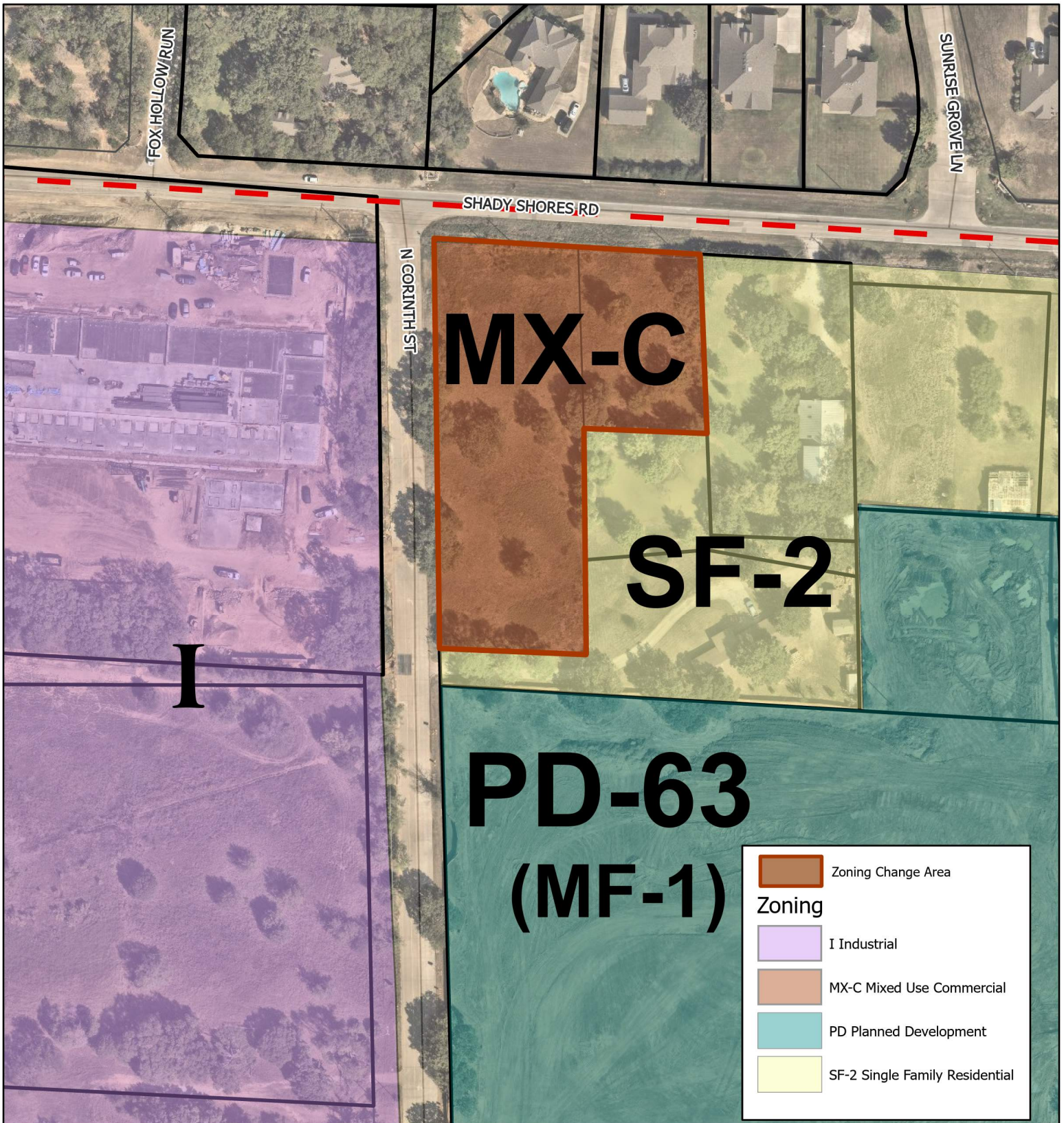
Attachments

1. Existing Zoning Map showing properties proposed to be rezoned
2. Amended Zoning Map showing properties proposed to be rezoned
3. Land Use and Development Strategy Map from 2040 Comprehensive Plan
4. 200-foot Zoning Buffer Exhibit and Correspondence from Property Owners

Existing Zoning
SF-2



Zoning Change
SF-2 to MX-C



0 0.01 0.03 0.06 Miles

N

City of Corinth Land Use and Development Strategy

Future Land Use Classification

- Neighborhood
- Mixed-Residential
- Mixed Use - TOD
- Mixed Use - Node
- Retail/Commercial
- Corridor Commercial
- Office/Employment
- Institutional/Public/Civic
- Parks/Open Space

Road Classes

- Highway
- Major/Minor Arterial
- Collector
- Local

Revisions

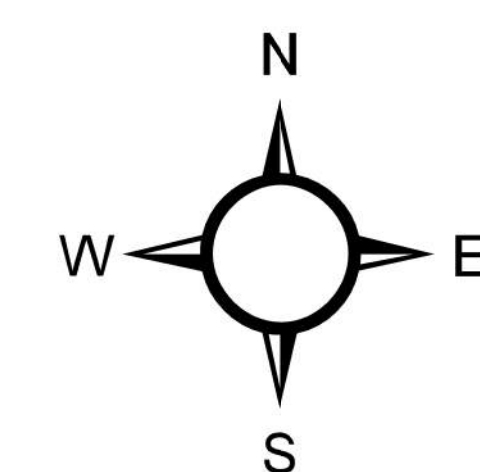
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5/5/2022	22-05-05-13
3/2/2023	23-03-02-04
3/2/2023	23-03-02-06
1/18/2024	24-01-18-03

Note: This Plan is to be administered in coordination with the Active Transportation Plan & Master Thoroughfare Plan

***A Comprehensive Plan shall not constitute zoning regulations or establish zoning boundaries**

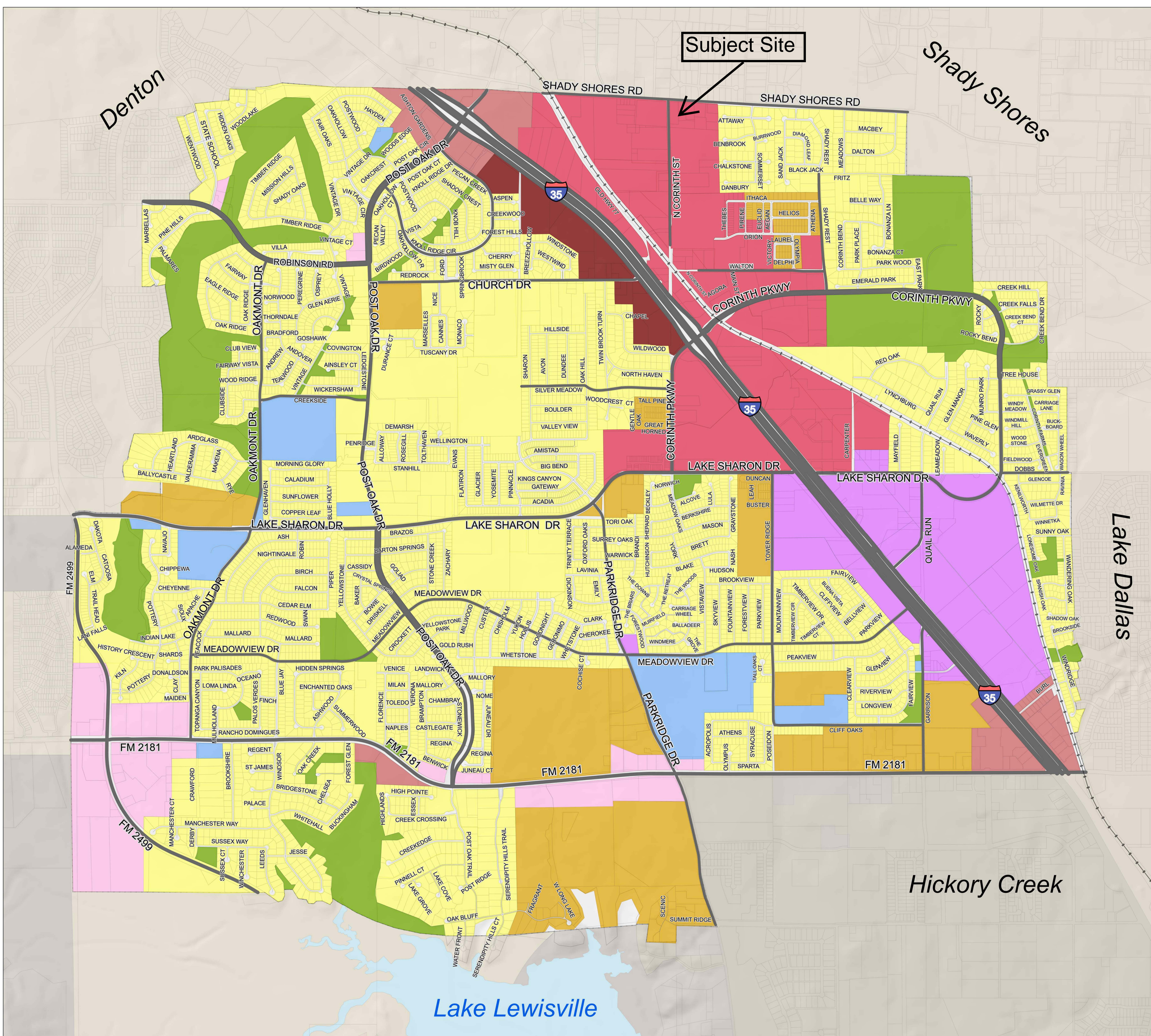


CORINTH
TEXAS




1/18/2024


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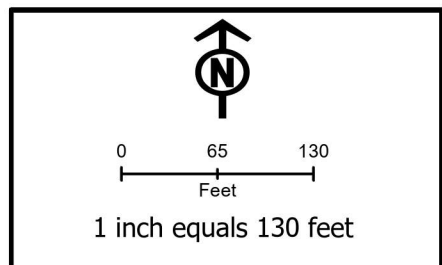
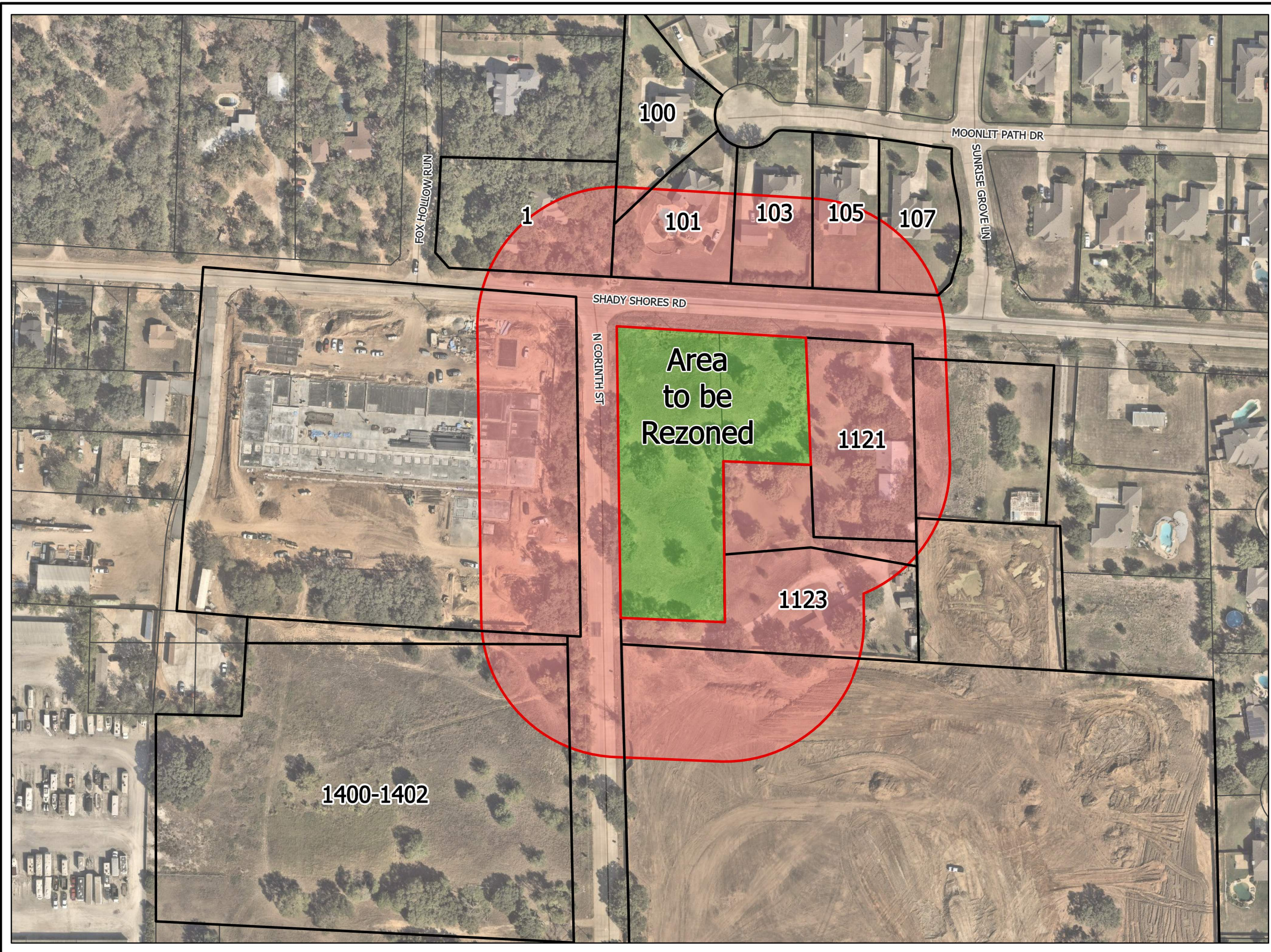


Proposed Zoning Change

2.2 Acres on N. Corinth St
 Rezoning to MX-C (ZMA24-0008)

 Area to be Rezoned

 Properties within 200 ft of area proposed to be rezoned to MX-C Mixed Use Commercial



This map is the property of the City of Corinth, and is not to be reproduced by any means, mechanical or digital, without written consent of the City. This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of boundaries.

Joe & Laura Kessler
114 Waterwood Circle
Shady Shores, TX 76208

City of Corinth Planning and Development
C/O Michelle Mixell
3300 Corinth Parkway
Corinth, TX 76208

Michelle,

I am writing concerning the proposed zoning change to the corner of Shady Shores Rd and North Corinth Street. I am **opposed** to changing this area to commercial for various reasons. First, Shady Shores Rd isn't set up to handle the large commercial trucks and 18 wheelers that will be running up and down this road. As it is now, neither Shady Shores or Corinth take care of the existing rd. There are potholes and road issues all along Shady Shores Rd on both sides. Second, many residents moved to this area for the feeling of some quiet and semi country living. With the ponds and wildlife that exists here, people really enjoy this area. With the warehouse already under construction on one corner, residents in our neighborhood and others have already expressed concerns over the increased noise and roads. In addition, since the start of construction of the warehouse on the west corner, several homes in our neighborhood have already been listed for sale. Historically, homes in our subdivision rarely go up for sale. I believe if this zoning is approved, more people will leave this area and this will ultimately devalue our homes as this area fills up with more commercial property. Crime will increase and even more traffic on a road that isn't set up to handle larger vehicles that will be coming in and out all day long.

If the city values the voices of the citizens that have built this community over the last 3 decades, Corinth should **NOT** approve the zoning change of this corner to commercial property.

Sincerely,


Joe Kessler

214-415-8976

kesslertx@charter.net

Sandra Lake
122 Sunset Circle
Shady Shores, TX 76208

December 4, 2024

City of Corinth Planning and Development Department
3300 Corinth Parkway
Corinth, Texas 76208
ATTN: Michelle Mixell, Planning Manager

Re: Lot currently zoned residential that is requesting commercial zoning at the corner of West Shady Shores Road and North Corinth Street

Dear Ms. Mixell,

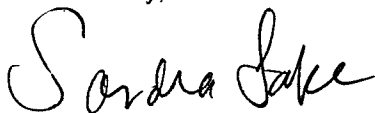
I am unable to attend the public hearing scheduled for December 9th. But I want to take the opportunity to voice my objection to the rezoning of the lot at West Shady Shore Road and North Corinth Street from “residential” to “commercial”. **My strong preference is that it retains its residential status.**

A distribution warehouse has been built across the street from this lot. Quite honestly, I don't know how the Shady Shore's roadway can possibly accommodate truck traffic in this area. Adding another corner for commercial expansion would only exacerbate traffic problems as well as add wear and tear to a poorly kept road.

And this is currently a quiet residential area. A new neighborhood is being added along North Corinth Avenue. If the property is rezoned, then commercial property will be sitting right behind this new community. That's not attractive to drawing new residents to Corinth.

So, bottom line – please keep the property zoned as residential. We don't need further traffic and the residents near this property should be able to live in peace and quiet.

Sincerely,



Sandra Lake



CITY OF CORINTH Staff Report

Meeting Date:	12/9/2024	Title:	UDC Subsection 3.04 Construction Plans and Procedures Amendment (ZTA24-0007)
Strategic Goals:	<input type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input type="checkbox"/> Attracting Quality Development		

Item/Caption

Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a City initiated request to amend UDC Subsection 3.04 – Construction Plans and Procedures to require Development Agreements to be associated with Construction Plan approval and to clarify timing of Construction Release. (Case No. ZTA24-0007 UDC Construction Plans and Procedures Amendment)

Item Summary/Background/Prior Action

The purpose of the Development agreement is to ensure that the construction of public improvements are secured, that specific public improvements are maintained by the property owner or HOA, and that the City receives bonds to secure performance, payment and maintenance of infrastructure. The proposed changes provide for a more appropriate timing for the development agreement to be completed at the time that plans for construction of public improvements have been improved and the developer is ready to commence construction.

Reference Attachment 1 – UDC Construction Plans and Procedures Amendment for proposed text changes.

Public Notice

Notice of the public hearing was provided in accordance with the City Ordinance and State Law by,

- Publishment in the Denton Record-Chronicle
- The Public Hearing notice was posted on the City’s Website

Staff Recommendation

Staff recommends approval of the proposed amendment as presented.

Motion

“I move to recommend approval of Case No. ZTA24-0007 as presented.”

Alternative Actions by the Planning and Zoning Commission

The Planning and Zoning Commission may also,

- Recommend approval with additional stipulations
- Continue the Public Hearing and table action on the request to a definitive or non-defined date
- Recommend denial of the request

Attachment

1. Proposed UDC Construction Plans and Procedures Amendment

Attachment 1

Construction Plans and Procedures Amendment

New language is shown in **red underline**

Deleted language is shown in **red strikethrough**.

3.04.03. - Construction Release

1. Requirements for a Construction Release.
 - a. Upon approval of ~~the Preliminary Plat and/or~~ the Construction Plans with the associated Preliminary Plat, where applicable, or with the Final Plat, receipt of all documentation (e.g., insurance information, bonds, and associated Development Agreement, etc.) and fees, and after the Pre-Construction Meeting with City staff and a franchise utility representative, the Director of Public Works shall release the plans for construction if all City requirements pertaining to construction have been met.
 - b. The Construction Release shall remain in effect for a period of eighteen months ~~one (1) year~~ from the date of issuance of the Development Agreement, or for the duration of construction of the project, provided that progress toward completion of the project continues to be demonstrated.
2. Construction Release Expiration and Extension. Expiration, and possible extension, of the Construction Release shall be the same as for the Construction Plans (see Sections 3.04.01. G and 3.04.01. H).

3.04.04. - Timing of Public Improvement

- A. Completion Prior to Final Plat Approval and Recordation
 1. Completion of all required Public Improvements, in accordance with the approved Preliminary Plat and the approved Construction Plans, shall occur prior to Final Plat approval and recordation.
 2. A Final Plat shall not be accepted for filing, nor shall it be considered for approval, prior to completion of such improvements except as provided in Section 3.04.04. B Completion after Final Plat Approval & Recordation).
- B. Completion after Final Plat Approval & Recordation
 1. The Director of Public Works, upon written request by the Applicant, may allow construction of Public Improvements after Final Plat approval and recordation.
 2. Postponement of Public Improvements shall be conditioned on execution of a Development Agreement and provision of security, in accordance with Section 3.04.05. Development Agreements and Security for Completion.
 3. It shall be at the Director of Public Works' discretion to determine whether postponing construction of Public Improvements until after Final Plat approval and recordation is appropriate, and therefore, whether financial guarantee is acceptable through a Development Agreement.
 4. All construction of the required Public Improvements shall be completed within two (2) years from the date of Final Plat approval; an extension may be granted by the city council for up to one (1) year.
- C. Deferral of Obligation ~~The~~ Director of Public Works may defer the Developer's obligation to construct Public Improvements to serve a new development upon execution of a Development Agreement and upon provision of adequate security (see Section 3.04.05. Development Agreements and Security for Completion).
- D. Phased Development If the development is being platted and constructed in phases, improvements shall be completed as platted areas are approved and phases are constructed.

E. Easements for Utility Providers

1. The Applicant is responsible for contacting all utility providers prior to beginning construction, and for securing all necessary easements for same prior to Final Plat approval and recordation.
2. The Applicant's engineer shall provide the Director of Public Works with written certification that all necessary easements are secured for the various utility providers, and such easements shall be shown on the Final Plat with the recording information for each.

F. Off-Site Easements

1. All necessary off-site easements required for installation of required off-site Public Improvements to serve the development shall be acquired by the Applicant prior to the Pre-Construction Meeting (see Section 3.04.02. Pre-Construction Meeting), or prior to approval and recordation of the Final Plat, whichever occurs first.
2. Off-site easements shall be conveyed and recorded at the County by an instrument approved by the City.
3. If the property on which the off-site easement is required has been platted, a separate instrument shall be required to dedicate the easement.
4. The Applicant shall be responsible for the acquisition of all required off-site easements. If the Applicant is unable to acquire the necessary off-site easements, the Applicant may request assistance from the City. The Applicant shall provide the City with easement or Right-of-Way survey documents and exhibits, documentation, including evidence of a reasonable offer made to the affected property owner. Upon receiving a written request for assistance, the City may, at its option, acquire these easements either through negotiations, or in appropriate situations through eminent domain proceedings.
5. The Applicant shall reimburse the City for the costs of acquiring the necessary easements including but not limited to attorney's fees and costs.

(Ord. No. 14-10-16-34, § 1, 10-16-14)

3.04.05. - Development Agreements and Security for Completion

A. Development Agreement and Security for Completion ~~A Development Agreement and Security for Completion shall be required after the approval of Construction Plans and prior to the release for construction for any project where there are required Public Improvements. This requirement applies to construction before or after Final Plat recordation. When any of the required Public Improvements will be postponed and constructed after Final Plat approval and/or recordation, the Final Plat shall not be approved or be accepted for filing, unless and until the Applicant enters into a The~~ Development Agreement shall follow a of-standardized format approved by the City by which the Applicant:

1. Will complete the improvements;
2. Warrants the Improvements for a period of two (2) years following final acceptance by the City;
3. Provide a maintenance bond in the amount of one hundred and ten percent (110%) of the costs of the improvements for such period to insure the repair and replacement of all defects due to faulty materials and workmanship that appear within the two year period following the City's date of acceptance;
4. Provide provisions (e.g., performance and payment bonds, letter of credit) for securing the obligations of the agreement consistent with Section 3.04.05.E.; and

5. Outlines other terms and conditions as are agreed to by the Applicant and the City, or as may be required by these Subdivision Regulations, including insurance requirements and covenants to comply with other ordinances of the City.
- B. Agreement to Run with the Land
1. The Development Agreement shall provide that the covenants and other items of agreement contained therein shall run with the land and shall bind all successors, heirs and assignees of the Applicant.
 2. All existing owners shall be required to execute the agreement or provide written consent to the covenants and other items contained in the agreement.
- C. Decision by the Director of Public Works ~~Upon receiving direction from the Director of Public Works, the City Manager shall approve or deny review the Development Agreement, and shall approve it, approve it with conditions, or deny it.~~
- D. Appeal to the Council of a Development Agreement Decision
1. The Applicant may appeal the Director of Public Works' decision on the Development Agreement to the City Council by submitting written notice of appeal to the Director of Public Works within fourteen (14) calendar days following the date of such decision.
 2. The City Council shall hear and decide the appeal within thirty (30) calendar days following receipt of the notice of appeal.
 3. The City Council may only overturn the Director of Public Works' decision upon a favorable vote of at least four (4) of the Council's voting members, and the Council's decision shall be final.
- E. Security for Completion of Improvements
1. Type of Security. When any ~~of the~~ required Public Improvement(s) will be constructed ~~after approval and/or recordation of the Final Plat,~~ the Applicant shall guarantee proper construction of such postponed Improvements and payment of all claimants supplying labor and materials for the construction of the Improvement(s), in an amount described in subsection 2 below, and in accordance with the City's standards and with these Subdivision Regulations, by one of the following methods:
 - a. A single performance bond and, if improvements exceed \$25,000, a payment bond executed by a surety company holding a license to do business in the State of Texas, by a surety on the list of "Companies holding certificates of authority as acceptable sureties on federal bonds and as acceptable reinsuring companies", as published by the U.S. department of the treasury, with a local resident agent, and acceptable to the City. The performance and payment bonds shall be approved as to form by the City Attorney; or
 - b. A single irrevocable standby letter of credit issued by a federally insured bank licensed to do business in the State of Texas. The letter of credit must state that the issuer will honor drafts or other demands for payment upon compliance with the conditions specified in the letter of credit; it must not expire prior to two (2) years from the date of Plat Approval by the City; and must state the governing law and venue for any disputes be in Denton, Texas.
 2. Estimated Cost and Security Approval; Substitution of Security.
 - a. Security shall be issued in the amount of one hundred and ten percent (110%) of the cost to construct and complete all required Public Improvements to the City's standards as estimated by the Developer Applicant's professional engineer, and as approved by the Director of Public Works.
 - b. Security shall be subject to the review and approval of the City Attorney.
 - c. The Applicant shall reimburse the City for all related legal costs for review; this reimbursement shall be paid in full prior to ~~the release for construction filing of the Final Plat.~~



CITY OF CORINTH Staff Report

Meeting Date:	12/9/2024	Title:	UDC Amendment (ZTA24-0008)
Strategic Goals:	<input type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input checked="" type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development		

Item/Caption

Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a request to amend UDC Subsection 2.06.02.K – Building Height. (Case No. ZTA24-0008 UDC MX-C Building Height Amendment)

Item Summary/Background/Prior Action

The proposed amendment is to allow for construction of 3-story single-family attached or detached homes to be built 20 feet or more from the property line of single family property. Attached or detached single family homes, which would include individually platted and sold townhomes, will provide a positive transitional use from one and two story single family to higher commercial or mixed use development. The current MX-C code requires a 45 degree plane after the 20 foot separation in which no building can be constructed. Staff recommends the 45 degree plane requirement only apply to non-single-family uses, and that single family up to 3 stories be allowed without the 45 degree plane requirement.

Specifically, staff recommends amending Section 2.06.02.K by adding text in bold below:

2.06.02.K Any portion of a **non-single family** building within twenty (20) feet of the property line of a one (1) story or two (2) story single family home shall not be more than two (2) stories. A forty-five (45) degree transitional height plane shall apply to any portion of a **non-single family** building further than twenty (20) feet from the property line, as depicted above. **Attached or detached single family buildings up to three (3) stores are allowed with a twenty (20) foot setback of the property line of a one (1) or two (2) story single family home.**

Public Notice

Notice of the public hearing was provided in accordance with the City Ordinance and State Law by,

- Publishment in the Denton Record-Chronicle
- The Public Hearing notice was posted on the City’s Website

Staff Recommendation

Staff recommends approval of the proposed amendment as presented.

Motion

“I move to recommend approval of Case No. ZTA24-0008 as presented.”

Alternative Actions by the Planning and Zoning Commission

The Planning and Zoning Commission may also,

- Recommend approval with additional stipulations

- Continue the Public Hearing and table action on the request to a definitive or non-defined date
- Recommend denial of the request



CITY OF CORINTH
Staff Report

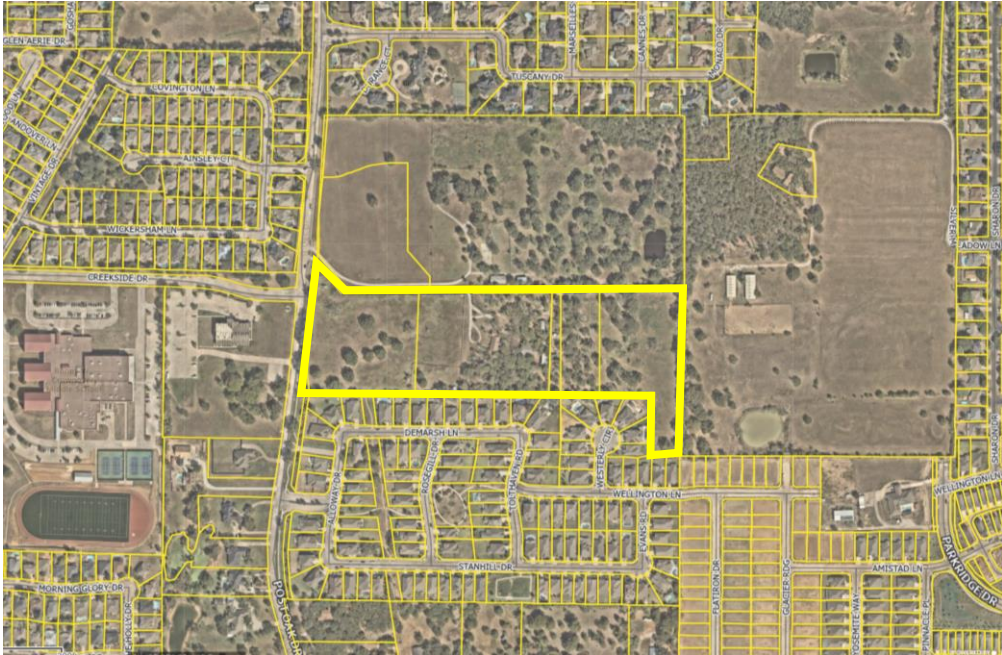
Meeting Date:	12/9/2024	Title:	Saddlebrook PD (ZAPD24-0010)
Ends:	<input type="checkbox"/> Resident Engagement <input type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development		
Governance Focus:	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input checked="" type="checkbox"/> Customer <input checked="" type="checkbox"/> Stakeholder <i>Decision:</i> <input type="checkbox"/> Governance Policy <input type="checkbox"/> Ministerial Function		

Item/Caption

Receive a presentation and hold an informal discussion regarding a proposed Planned Development (PD) Concept Plan for a single family development on approximately 16.77 acres on the east side of Post Oak Drive, south of Church Street and north of Lake Sharon Drive. (Case No. ZAPD22-0004 – Corinth Groves)

Item Summary/Background

The developer is requesting the creation of a new PD with a base zoning district of SF-4 (Single Family) for the purpose of constructing a single family neighborhood. The property is located immediately south of the entitled PD Single Family Hillside development that has not yet been constructed, and to the north of the existing Terrace Oaks neighborhood. A 37 acre tract of agricultural land is adjacent to the east of the property.



Proposed Site

Important Issues for Consideration During the Workshop

1. The Concept Plan could change upon additional technical reviews by City staff prior to a future Planning and Zoning Commission Public Hearing.
2. The Workshop is not a public hearing. The purpose of the meeting is to allow the applicant the opportunity to provide an overview of the elements of the land use plan and receive informal feedback.
3. Members of the Planning and Zoning Commission are encouraged to offer comments, ask questions, and express any concerns but should not indicate how they would vote on the request.



CITY OF CORINTH Staff Report

Meeting Date:	12/9/2024	Title:	P&Z Training Workshop
Strategic Goals:	<input type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input checked="" type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input type="checkbox"/> Attracting Quality Development		

Item/Caption

Receive a brief presentation and hold a discussion on the steps an Applicant follows when going through the rezoning and site plan processes.

Attachment 1 – Process Overview

PLANNING & ZONING COMMISSION

Monday, December 9, 2024 at 6:30 PM

WORKSHOP AGENDA

Receive a brief presentation and hold a discussion on the steps an Applicant follows when going through the rezoning and site plan processes.

TOPIC OVERVIEW

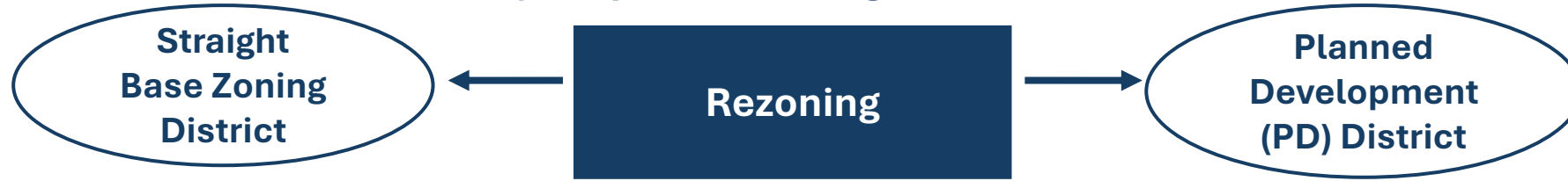
A. Rezoning Applications

1. Base Zoning District Rezoning (Straight Rezoning)
2. Planned Development (PD) Rezoning

B. Site Plan Applications

Key Steps in Rezoning Process . . .

Section H, Item 12.



1. **Pre-App Meeting** (optional)
2. **Staff Meets with Applicant** - Provides feedback on consistency with the Comprehensive Plan.
3. **Neighborhood Meeting** (Optional)
4. **Public Notice** – Newspaper, Signs, Letters
5. **Staff Report** – Indicating background and support or no support of request with rationale
6. **Public Hearings** - P&Z and City Council
7. **City Council Approves:**

Zoning Map Change Only

- Base Zoning District Provisions (Text) Govern Site Development
- Concept Plans are not included; do not hold weight of law in a straight base zoning district change

- Discretionary Action of the Governing Body
- Zoning must be in accordance with the City’s Comprehensive Plan

1. **Pre-App Meeting** (optional)
2. **Staff Meets with Applicant** - Provides feedback on consistency with the Comprehensive Plan and concept design intent. Multiple reviews, revisions, meetings.
3. **Neighborhood Meeting** (Optional)
4. **Workshops with P&Z and City Council** (Optional)
5. **Public Notice** – Newspaper, Signs, Letters
6. **Staff Report** – Indicating background and support or no support of request with rationale
7. **Public Hearings** - P&Z and City Council
8. **City Council Approves:**

Zoning Map Change

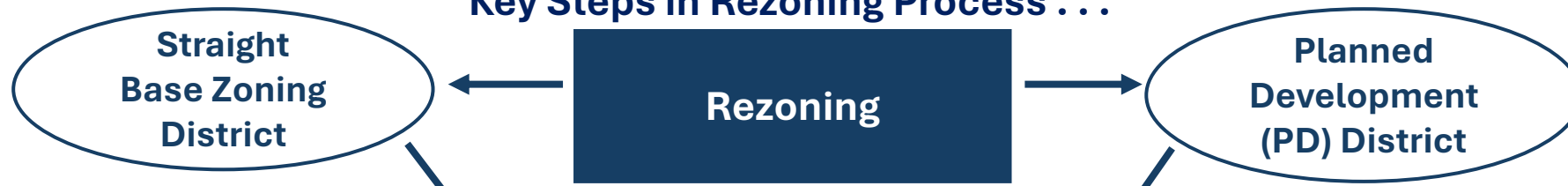
PD Development Standards

- Unique Text to Govern Site Development
- Concept Plan** (layout/Circulation)

Other Ancillary Plans

- Landscape and Screening Plans
- Tree Preservation and Open Space Plans
- Elevations/Representative Products

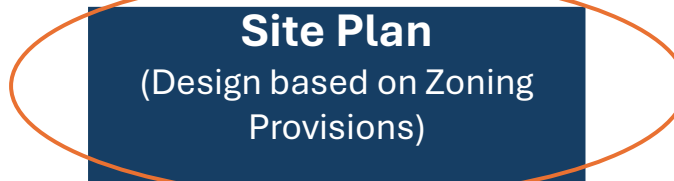
Key Steps in Rezoning Process . . .



1. **Pre-App Meeting** (optional)
2. **Staff Meets with Applicant** - Provides feedback on consistency with the Comprehensive Plan
3. **Neighborhood Meeting** (Optional)
4. **Staff Report** – Indicating background and support or no support of request with rationale
5. **Public Hearings** - P&Z and City Council
6. **City Council Approves:**

- **Zoning Map Change Only**

- Base Zoning District Provisions (Text) Govern Site Development
- Concept Plans are not included; do not hold weight of law in a straight base zoning district change



The Site Plan establishes the project layout according to regulations/standards for design.

Site Plan Package include:

- Landscape plan
- Lighting plan
- Building Elevations
- Tree Preservation/Mitigation Plan

Site Plan approval is ministerial. Staff Approval if project meets the zoning & subdivision requirements.

1. **Pre-App Meeting** (optional)
2. **Staff Meets with Applicant** - Provides feedback on whether consistency with the Comprehensive Plan and concept design intent. Multiple reviews, revisions, meetings
3. **Neighborhood Meeting** (Optional)
4. **Staff Report** – Indicating background and support or no support of request with rationale
5. **Public Hearings** - P&Z and City Council
6. **City Council Approves:**

- **Zoning Map Change**

- **PD Development Standards**

- Unique Text to Govern Site Development
- **Concept Plan** (layout/Circulation)
- **Other Ancillary Plans**
 - Landscape and Screening Plans
 - Tree Preservation and Open Space Plans
 - Elevations/Representative Products

• **All elements listed above become part of the new PD Ordinance**