

****PUBLIC NOTICE****



PLANNING & ZONING COMMISSION

Monday, February 17, 2025 at 6:30 PM

City Hall | 3300 Corinth Parkway

View live stream: www.cityofcorinth.com/remotesession

AGENDA

- A. CALL TO ORDER AND ANNOUNCE A QUORUM PRESENT**
- B. PLEDGE OF ALLEGIANCE**
- C. ESTABLISH VOTING MEMBERS AND DESIGNATE ALTERNATES**
- D. CONSENT AGENDA**

All matters listed under the Consent Agenda are considered to be routine and will be enacted in one motion. Should the Chair, a Commission Member, or any citizen desire discussion of any item, that item will be removed from the Consent Agenda and will be considered separately.

- 1. Consider the approval of minutes for the Planning & Zoning Commission Regular Session held on December 9, 2024.

E. BUSINESS AGENDA

- 2. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a rezoning request by the Applicant, Brandon Chynoweth, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a base zoning district of SF-2 Single Family Residential for the development of two (2) lots on approximately ± 2.188 acres of land located at 3408 Parkridge Drive. (Case No. ZAPD25-0001: Honey Rock Hill)
- 3. Conduct a Public Hearing to consider testimony and make a recommendation to City Council on a rezoning request by the Applicant, Bridge Tower Homes LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a base zoning district of SF-4 Single Family Residential for the development of ± 97 lots on approximately ± 17 acres located at 1960 Post Oak Drive. (Case No. ZAPD24-0010 Saddlebrook Planned Development)
- 4. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a request to amend UDC Subsection - 2.06.02.M - Architectural Standards. (Case No. ZTA25-0001 Fenestration and Tree Preservation (MX-C Regulation))
- 5. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a request to amend UDC Subsection – 3.05.19 C, Street Lighting. (Case No. ZTA25-0002 UDC Lighting Spacing)
- 6. Conduct a Public Hearing, consider testimony, and act on a city-initiated request to amend Unified Development Code (UDC) Subsection 3.05.16 – Drainage and Storm Water to add a requirement for drainage basins to be designed as retention ponds when located between a building and a street, and/or completely bounded by streets, and/or viewable from a public space. (Case No. ZTA25-0003)

F. ADJOURNMENT

The Planning & Zoning Commission reserves the right to recess into executive or closed session to seek the legal advice of the City’s attorney pursuant to Chapter 551 of the Texas Government Code on any matter posted on the agenda. After discussion of any matters in closed session, any final action or vote taken will be public by the Commission.

As a majority of the Council Members of the City of Corinth may attend the above described meeting, this notice is given in accordance with Chapter 551 of the Texas Government Code. No official action will be taken by the City Council at this meeting.

I, the undersigned authority, do hereby certify that the meeting notice was posted on the bulletin board at City Hall of the City of Corinth, Texas, a place convenient and readily accessible to the general public at all times and said Notice was posted on the following date and time: **Friday, February 14, 2025 at 12:00 PM.**



Melissa Dailey, AICP
Director of Planning and Development Services
City of Corinth, Texas

February 14, 2025
Date of Notice

Corinth City Hall is wheelchair accessible. Person with disabilities who plan to attend this meeting and who may need auxiliary aids or services such as interpreters for persons who are deaf, or hearing impaired, or readers of large print, are requested to contact the City Secretary’s Office at 940-498-3200, or fax 940-498-7576 at least two (2) working days prior to the meeting so that appropriate arrangements can be made.

BRAILLE IS NOT AVAILABLE



MINUTES
PLANNING & ZONING COMMISSION
WORKSHOP & REGULAR SESSION
Monday, December 9, 2024, at 6:30 PM
City Hall | 3300 Corinth Parkway

On the 9th day of December 2024 at 6:30 P.M., the Planning & Zoning Commission of the City of Corinth, Texas met in Regular Session at the Corinth City Hall, located at 3300 Corinth Parkway, Corinth, Texas.

Commissioners Present:
Chair Alan Nelson
Vice-Chair Mark Klingele
KatieBeth Bruxvoort
Adam Guck
Chris Smith

Commissioners Absent:
Rebecca Rhule
Crystin Jones

Staff Members Present:
Melissa Dailey, Director of Community and Economic Development
Michelle Mixell, Planning Manager
Miguel Inclan, Planner
Matthew Lilly, Planner
Deep Gajjar, Planner

A. CALL TO ORDER AND ANNOUNCE A QUORUM PRESENT

Chair Alan Nelson called the meeting to order at 6:30 PM.

B. PLEDGE OF ALLEGIANCE

C. ESTABLISH VOTING MEMBERS AND DESIGNATE ALTERNATES

D. CONSENT AGENDA

1. Consider the approval of minutes for the Planning & Zoning Commission Special Session held on October 28, 2024.
2. Consider and act on a request by the Applicant, Eagle Surveying, for a Replat of the Classic Mazda Addition Subdivision, being ±5.36 acres located at 5000 South I-35E. (Case No. RP23-0004)
3. Consider and act on a request by the Applicant, Rockbrook Development, for a Preliminary Plat for the Quarry Townhomes Addition Subdivision, being ±9.0007 acres located at 3000 Parkridge Drive. (Case No. PP24-0002)
4. Consider and act on a request by the Applicant, Ridinger Associates, for approval of a Final Plat of the Hillside of Corinth Subdivision, being ±24.189 acres located at 1909 Post Oak Drive. (Case No. FP24-0005)

5. Consider and act on a request by the Applicant, Urban Strategy, for approval of a Final Plat of the Phelan Industrial-Corinth Subdivision, being ±8.462 acres located at 1116 N Corinth Street. (Case No. FP24-0006)

6. Consider and act on a request by the Applicant, Corwin Engineering, for approval of a Final Plat of the Oak Ridge Park Subdivision, being ±57.963 acres located at 2300 Lake Sharon Drive. (Case No. FP24-0007)

Vice-Chair Klingele made a motion to approve the consent agenda as presented, seconded by Commissioner Smith.

Motion passed unanimously: 5-for, 0-against.

E. BUSINESS AGENDA

7. Conduct a Public Hearing to consider testimony and make a recommendation to City Council on request by the Applicant, Bridgeview Multifamily LLC, to amend the Zoning Ordinance of the City of Corinth, being a part of the Unified Development Code, to amend the building elevations of Planned Development 67 (PD-67) on approximately ±6.5 acres, with the subject properties being located at 3650 Corinth Pkwy. (Case No. ZAPD24-0009 PD-67 Bridgeview Corinth Elevations Amendment)

Matthew Lilly, Planner, provided an overview of the proposal and recommended approval as presented.

Chair Nelson opened the Public Hearing at 6:42 P.M and closed the Public Hearing at 6:43 P.M.

Vice-Chair Klingele made a motion to recommend approval of Case No. ZAPD24-0009 PD-67 Bridgeview Corinth Elevations Amendment as presented, seconded by Commissioner Guck.

Motion passed unanimously: 5-for, 0-against.

8. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on City initiated request on behalf of the property owner, Miguel Angel & Antonio Murillo to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, to rezone 2 properties totaling approximately ±2.2 acres from SF-2 Single Family to MX-C Mixed Use Commercial, with the subject properties being located at the northeast corner of N Corinth St and Shady Shores Rd. (Case No. ZMA24-0008 MX-C Rezoning)

Melissa Dailey, Director of Community and Economic Development, provided an overview of the proposal and recommended approval as presented.

Chair Nelson opened the Public Hearing at 6:47 P.M.

An unidentified citizen raised concerns with traffic, congestion during school hours, and the proposed round about.

Ryan Clark, Kairos Communities, stated that the development that they are currently looking at would be called Murillo Market and would comprise of 45 for-sale townhouses and six live-work units.

Chair Nelson asked what the renderings in the presentation represented.

Clark stated that these were potential components and aesthetic elements of the townhomes.

Chair Nelson asked what the proposed unit count was.

Clark clarified that there were 45 townhome units and 6 live-work units for a total of 51 units.

Chair Nelson asked what the difference was between townhomes and live-work units.

Clark stated that live-work units include approximately 500 square feet of office space for a small business to operate.

Chair Nelson asked if a TIA would be performed with this development.

Clark stated that they would be accommodating the traffic at this intersection and that it was his understanding that there were plans to make improvements to Shady Shores Road.

Dailey stated that there were proposed improvements to Shady Shores Road and that the developer would have to complete a Traffic Threshold Worksheet to determine whether a TIA is needed.

Vice-Chair Klingele asked how parking would be addressed.

Clark stated that each unit would have a two-car garage and that there was a total of 132 parking stalls being provided between on-street, off-street, and garage parking. He clarified that this was a preliminary plan and that they were still working to iron out the details.

Commissioner Guck asked what the rule of thumb was for the number of parking spaces.

Clark stated that they typically provide one parking space per bedroom and one extra per unit.

Chair Nelson asked if they were for-rent or for-sale.

Clark stated that these would be for sale.

Commissioner Bruxvoort asked what the parking standards for MX-C were.

Dailey responded that the MX-C parking standard for this project is the same as Single Family-two spaces per unit.

Chair Nelson asked why the rezoning was needed in this situation.

Chair Nelson stated that he was concerned with the availability of guest parking.

Clark stated that N. Corinth Street was envisioned to have on-street parking and stated that several parking stalls were being provided outside of the garage spaces.

Commissioner Guck stated that he was concerned with the density and asked if the Applicant would speak to tree preservation for this plan.

Clark stated that they were working with Staff to formulate a tree mitigation plan for the site.

Chair Nelson asked if any trees were being preserved.

Clark stated that they were looking at saving some trees around the perimeter.

Chair Nelson asked what the plans for detention were.

Clark stated that they were considering underground detention.

Vice-Chair Klingele asked if they would consider adding more greenspace to the plan.

Clark stated that they were trying to create a more downtown feel with this development and that the smaller greenspaces shown were in line with this.

Commissioner Guck stated that the Commission was in favor of growth but that they wanted to see it done in a way that did not negatively impact the existing character of the city.

Clark stated that he agreed.

Commissioner Guck raised concerns with traffic from this development.

Commissioner Guck asked that they further consider traffic mitigation options.

Clark stated that he would love to speak further with the Commission on traffic concerns but that he did not believe that adding additional access points would be beneficial.

Commissioner Bruxvoort raised concerns with adding on-street parking along already congested streets and asked what the timeline was on the Shady Shores Road improvements.

Dailey reiterated that this was a straight zoning, on-street parking was not envisioned along Shady Shores. She stated that the City was working to restripe N. Corinth Street in the next year for on-street parking and that a circulation study for the whole Downtown area was being conducted to determine what traffic measures are needed. She explained that it was unlikely that larger greenspaces would be incorporated in individual projects in downtown and that the intent was for these developments to use communal gathering spaces such as Agora Park. She clarified that there was not a definitive timeline for the Shady Shores Road improvements and that work would likely not begin for the next few years.

Commissioner Bruxvoort stated that this project would be built well before any traffic mitigation would happen.

Dailey stated that Shady Shores would remain a two-lane road after improvements.

Commissioner Bruxvoort asked if N. Corinth Street would be part of the Shady Shores improvements.

Dailey stated that it would not be.

Commissioner Guck asked if property tax would be assessed for townhouses.

Dailey stated they would be.

Lisa Thompson, 3309 Attaway Cove, Corinth, raised concerns with drainage in this area, traffic, and asked that the city address downstream impacts first.

Christy Butler, 212 Moonlit Path Drive, Shady Shores, raised concerns with 3-story townhouses, traffic, and school capacity.

Christine Hutmacher, 106 Waterwood Circle, Shady Shores, stated that she believes this rezoning will negatively impact quality of life, and expressed concerns with traffic, density and infrastructure.

Chair Nelson closed the Public Hearing at 7:30 P.M.

Vice-Chair Klingele reminded the commission that this was a straight rezoning and that no plan was being voted on.

Vice-Chair Klingele made a motion to recommend approval of Case No. ZMA24-0008 MX-C Rezoning as presented, seconded by Commissioner Smith.

Commissioner Smith asked if the live-work units were the reason why this needs to be zoned MX-C.

Dailey stated that this is a City initiated zoning to MX-C and this is what the City envisions for the downtown area.

Dailey stated that MX-C allowed for 3-story high maximum and the site would have to meet iSWM requirements and that no additional downstream flow was permitted.

Motion passed : 3-for, 2-against.

For (Nelson, Klingele, Smith), Opposed (Bruxvoort and Guck).

9. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a City initiated request to amend UDC Subsection 3.04 – Construction Plans and Procedures to require Development Agreements to be associated with Construction Plan approval and to clarify timing of Construction Release. (Case No. ZTA24-0007 UDC Construction Plans and Procedures Amendment)

Michelle Mixell, Planning Manager, provided an overview of the proposal and recommended approval as presented.

Chair Nelson opened the Public Hearing at 7:40 P.M. and closed the Public Hearing at 7:41 P.M.

Commissioner Guck made a motion to recommend approval of Case No. ZTA24-0007 UDC Construction Plans and Procedures Amendment as presented, seconded by Vice-Chair Klingele.

Motion passed unanimously: 5-for, 0-against.

10. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a request to amend UDC Subsection 2.06.02.K – Building Height. (Case No. ZTA24-0008 UDC MX-C Building Height Amendment)

Melissa Dailey, Director of Community and Economic Development, provided an overview of the proposal and recommended approval as presented.

Chair Nelson asked if this three-story rule was applied to the other MX-C zoning item, would the townhouses be allowed that close to the SF property line?

Dailey stated that they would not be permitted under the current standards.

Chair Nelson asked if SF came in after MX-C, would they be in non-compliance regarding the 45-degree rule.

Dailey stated no.

Chair Nelson opened and closed the Public Hearing at 7:45 P.M.

Commissioner Smith stated that he was concerned with the adjacency of a 3-story structure close to a single-family residential lot.

Commissioner Guck made a motion to recommend approval of Case No. ZTA24-0008 UDC MX-C Building Height Amendment as presented, seconded by Commissioner Bruxvoort.

Motion passed unanimously: 5-for, 0-against.

F. RECESS REGULAR SESSION

Vice-Chair Klingele made a motion to recess the Regular Session at 7:47 PM, Seconded by Commissioner Bruxvoort.

Motion passed unanimously: 5-for, 0-against.

G. CALL WORKSHOP SESSION TO ORDER AND ANNOUNCE A QUORUM PRESENT

Chair Nelson called the Workshop Session to order at 7:47.

H. WORKSHOP AGENDA

11. Receive presentation and hold an informal discussion regarding a proposed Planned Development (PD) Concept Plan for a single-family development on approximately 16.77 acres on the east side of Post Oak Drive, south of Church Street and north of Lake Sharon Drive. (Case No. ZAPD24-0010 – Saddlebrook PD)

Michelle Mixell, Planning Manager, provided an overview of the proposal.

Shaivali Desai, Bridge Tower, stated that they were proposing a single-family residential neighborhood composed of 30' and 45' lots and that they were striving to preserve a large number of existing trees and open space.

Commissioner Guck asked if any amenities had been considered in the green spaces.

Desai stated that they would be providing trails, benches, and ornamental trees in these areas as well as a wet retention pond along Post Oak Drive.

Commissioner Guck asked that they consider incorporating some play areas.

Commissioner Guck asked if there had ever been any consideration for a streetlight at this intersection.

Dailey stated that there would be a 4-way stop.

Vice Chair Klingele asked how many 30' lots and how many 45' lots there were.

Desai stated there are fifty-nine (59) 30' lots and thirty-seven (37) 45' lots.

Vice Chair Klingele asked what the proposed square footage was for these structures.

Desai stated they were working on this.

Chair Nelson asked about the driveway parking on the 30 lots.

Desai clarified that all lots would include a full driveway for parking and a two-car garage, with no parking allowed in the alleys.

Commissioner Guck asked what was imagined along the frontage of Post Oak Drive.

Desai stated that they would see the retention pond and an ornamental fence/wall.

Bob Ditthardt, Bridge Tower, stated that they were ensuring that sufficient front yard area was being provided for the 30' lots given that they would not have a backyard.

Vice-Chair Klingele asked if any lighting was being provided along the trails.

Mixell stated that this was a comment included with the first review.

Desai stated that the street trees will also be a great amenity for the trail along Creekside Drive.

Chair Nelson asked what the dark blue lines were on the Landscape Plan.

Desai stated that these were ornamental fences.

Chair Nelson asked what fencing would be utilized between the units.

Desai confirmed that there would be board-on-board wood fences.

Dr. Haislip, 2445 Silver Meadow Ln, asked if the Creekside Drive extension was still a 60 ft. right of way along the top of the development and if on-street parking would be allowed.

Mixell stated that there are 11' travel lanes on each side with on street parking.

Desai stated that they had met with the HOA board members of the Terrace Oaks neighborhood and that they would be meeting with the neighborhood next week.

12. Receive a brief presentation and hold a discussion on the steps an Applicant follows when going through the rezoning and site plan processes.

Michelle Mixell, Planning Manager, provided an overview of the zoning and site plan process.

Chair Nelson asked if the Planning & Zoning Commission would see projects at the Site Plan level.

Mixell stated that site plans do not go before the Planning & Zoning Commission as they are administratively approved.

Chair Nelson asked what the average timeline was from pre-application meeting to final approval.

Mixell stated that this varies widely but that improving zoning standards such as in the MX-C district and having other planned development standards in place has sped up the process greatly.

Chair Nelson stated that he was concerned with the number of units that can be pushed into certain sites and the lack of parking being provided. He stated that he had seen several neighborhoods where it is difficult to navigate due to the large amount of on-street parking.

Mixell stated that typically a neighborhood's parking is cyclical as they are a mix of empty nesters, then young families that turn into families with teenagers driving, then the family goes back to being an empty nester.

Commissioner Bruxvoort reminded the commission that areas in downtown area are going to function differently than traditional family neighborhoods.

Commissioner Guck stated he felt more emphasis needed to be placed on improving existing infrastructure prior to new development coming in.

I. ADJOURN WORKSHOP SESSION

Workshop Session adjourned at 8:36 PM.

J. RECONVENE REGULAR SESSION

Chair Nelson reconvened the Regular Session at 8:41 PM.

K. EXECUTIVE SESSION

L. RECONVENE IN OPEN SESSION TO TAKE ACTION, IF NECESSARY, ON EXECUTIVE SESSION ITEMS

The Planning and Zoning Commission reconvened in Open Session at 9:33 PM.

M. ADJOURNMENT

There being no further business before the Commission, the Regular Session was adjourned at 9:33 PM.

MINUTES APPROVED THIS _____ DAY OF _____, 2024.

Alan Nelson, Planning and Zoning Commission Chairman

DRAFT



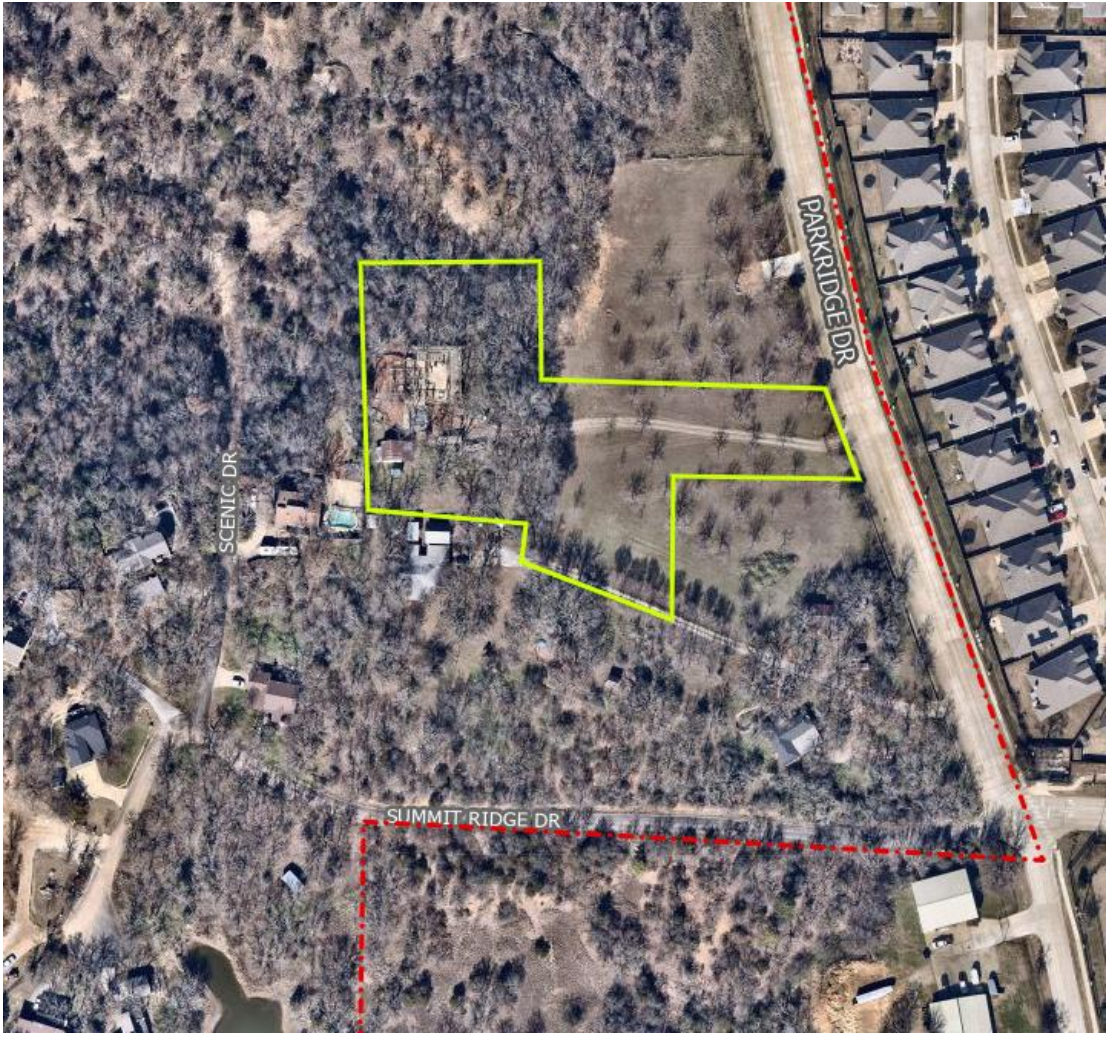
CITY OF CORINTH

Staff Report

Meeting Date:	2/17/2025	Title:	ZAPD25-0001 - Planned Development Request: Honey Rock Hill (3408 Parkridge)
Strategic Goals:	<input type="checkbox"/> Resident Engagement <input type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development		

Item/Caption

Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a rezoning request by the Applicant, Brandon Chynoweth, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a base zoning district of SF-2 Single Family Residential for the development of two (2) lots on approximately ±2.188 acres of land located at 3408 Parkridge Drive. (Case No. ZAPD25-0001: Honey Rock Hill)



Aerial Location Map

Item Summary/ Background

The Honey Rock Hill is a two (2) lot single family development that will follow the present SF-2 zoning and is seeking a lone departure from the Zoning Dimensional Regulations of UDC 2.08.04 regarding minimum lot width.

A Replat for the subject property to consolidate both parcels into one platted lot was conditionally approved on February 26, 2024. However, the Applicant expressed the intent to subdivide the parcel into two lots. Upon an informal review of the proposed Replat, Staff informed the Applicant that the proposed lot configuration (Exhibit B – Concept Plan) would not meet the minimum lot width requirement at street frontage of 100’ outlined in UDC 2.08.04 for properties zoned SF-2 Single Family residential.

The Applicant chose to request a Planned Development with the lone departure of the minimum lot width to formalize the proposed lot configuration and subsequently will seek approval of the revised Replat from the Planning & Zoning Commission. The minimum lot width shall be generally consistent with the minimum lot widths Exhibit B – Concept Plan.

Because this proposed Planned Development would resolve a problem created by an unapproved subdivision of land, Staff supports the request.

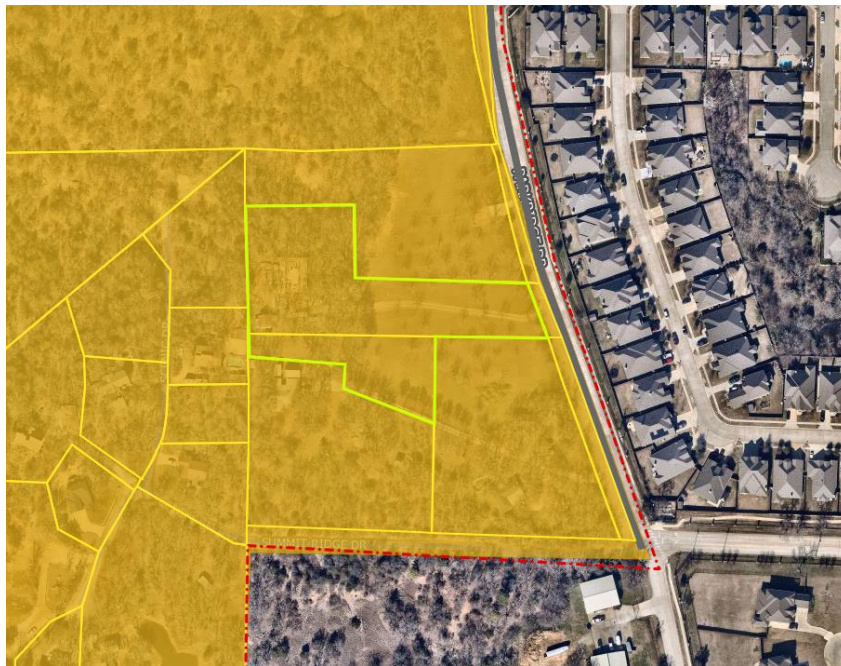
Dimensional Standards

The following table shows that the lone modification to the SF-2 base zoning is for the minimum lot width:

	SF-2 Base:	Dimensional Standards/Modification:
Front Yard Setback	25’	No Change
Side Yard Setback: Interior Lot		
Corner Lot	15’ 25’	No Change
Rear Yard Setback	20’	No Change
Garage Setback	25’	No Change
Minimum Lot Area	14,000 SF	No Change
Maximum Density	N/A	N/A
Minimum Lot Width:	100’ at building line	40’ at building line
Minimum Lot Depth	110’	No Change
Minimum Floor Area	2,000 sq. ft.	No Change
Maximum Height (feet/stories)		No Change
	35’/2.5	
Maximum Building Area (all buildings)	30%	No Change

Compliance with the Comprehensive Plan

The rezoning request for the subject property is in accordance with the Land Use and Development Strategy designation, Mixed Residential, as set forth in the Envision Corinth 2040 Comprehensive Plan.



Specifically, the proposed Concept Plan design meets the overall intent of the principles outlined in the **Mixed Residential Land Use and Development Strategy*** (see below).

LAND USE AND DEVELOPMENT STRATEGY



MIXED RESIDENTIAL

Purpose and intent

- » New residential development that capitalizes on existing natural amenities of the land/property
- » Network of trails with access to the creeks, parks, schools, shopping, and civic destinations
- » Preserve majority of creek/floodplain or open space frontage for public access

Land use types and density

- » Range of single family from large lot, to patio homes, to townhomes and multi-family transitions to neighborhood commercial
- » Recreation related uses with access to parks and open space
- » Overall residential density of 6 to 10 units per acre

Design priorities

- » Connected streets (grid-like blocks under 600-ft average block face; max. block face to be 1,000 ft.)
- » Streets should maintain view corridors that focus on open space (which allows for both visual and physical access)

- » Network of connected parks and trails
- » Architectural design recommendations to ensure quality neighborhoods
- » Transparent fencing alongside parks and open space
- » Access to creeks, open space, and parks
- » Single loaded roads in strategic locations to maximize public access and frontage to creeks and open space

Sustainability priorities

- » Regional or neighborhood scale detention/drainage facilities that serve as amenities with trails, street and development frontages
- » Incorporate trails and sidewalks to maximize walking and biking to parks, schools, and neighborhood retail
- » Design of new streets and infrastructure to incorporate appropriate LID elements
- » Allow roof-top solar panels

***Excerpt from 2040 Comprehensive Plan, page 47.**

Public Notice

Notice of the public hearing was provided in accordance with the City Ordinance and State Law by,

- Publication in the Denton Record-Chronicle
- Written public notices were mailed to the owners of all properties located within 200 feet of the subject property and to the Lake Dallas ISD.
- The Applicant posted a “Notice of Zoning Change” sign on the property.
- The Public Hearing notice was posted on the City’s Website.

Letters of Support/Protest

As of the date of this report, the City has received no letters of support and no letters of opposition from property owners within 200 feet of the subject property.

Motion

“I move to recommend approval of Case No. ZAPD25-0005 – Honey Rock Hill, as presented”

Alternative Actions by the Planning and Zoning Commission

The Planning and Zoning Commission may also,

- Recommend approval with additional stipulations
- Continue the Public Hearing and table action on the request to a definitive or non-defined date
- Recommend denial of the request

Supporting Documentation

Attachment 1 – Honey Rock Hill Planned Development

- A. Exhibit A – Legal Description
- B. Exhibit B – PD Concept Plan
- C. Exhibit C – PD Design Statement
- D. Exhibit D – PD Development Standards

ZAPD25-0001

EXHIBIT A – LEGAL DESCRIPTION

WHEREAS Mark Brandon Chynoweth is the owner of a 2.188 acre tract of land situated in the M.E.P. & P.R.R. Co. Survey, Abstract No. 915, Denton County, Texas, and being a portion of Lot 1, Block 1 of Holman Addition, an addition to the City of Corinth, Denton County, Texas, according to the plat thereof recorded in Cabinet G, Page 8, Plat Records, Denton County, Texas (P.R.D.C.T.), and being a portion of Lot 2A, Block 1 of Holman Addition, an addition to the City of Corinth, Denton County, Texas, according to the plat thereof recorded in Cabinet I, Page 184, P.R.D.C.T., and being the same tracts of land as described by deed recorded under Instrument Number 2023-129443, Official Public Records, Denton County, Texas (O.P.R.D.C.T.);

BEGINNING at a 1/2 inch iron rod with cap stamped "Premier Surveying" found for corner being the northwest corner of said Lot 1, same point being the southwest corner of Lot 3, Block 1 of said Holman Addition (Cab. G, Pg. 8);

THENCE North 88 degrees 56 minutes 46 seconds East, a distance of 200.00 feet to an ell corner of said Lot 3, from which a 5/8 inch iron rod found bears South 48 degrees 55 minutes 17 seconds East at 0.47 feet;

THENCE South 01 degrees 03 minutes 14 seconds East, a distance of 140.00 feet to a 1/2 inch iron rod with cap stamped "Premier Surveying" found for corner being an ell corner of said Lot 3;

THENCE North 88 degrees 56 minutes 46 seconds East, a distance of 296.17 feet to a 5/8 inch iron rod with cap stamped "TNP" found for corner being in the west right-of-way line of Parkridge Drive as described by deed to the City of Corinth, recorded under Instrument Number 2011-82523, O.P.R.D.C.T., and being the beginning of a non-tangent curve to the left, having a radius of 1080.00 feet;

THENCE over and across said Lot 1, and with the west right-of-way line of said Parkridge Drive, through a central angle of 01 degrees 42 minutes 08 seconds, whose chord bears South 19 degrees 53 minutes 46 seconds East at 32.09 feet to a 5/8 inch iron rod with cap stamped "TNP" found for corner;

THENCE South 20 degrees 37 minutes 51 seconds East, continuing on over and across said Lot 1 and with the west right-of-way line of said Parkridge Drive, a distance of 52.68 feet to a "V" cut found in concrete for corner being in the north line of Lot 2B, Block 1 of said Holman Addition (Cab. I, Pg. 184);

THENCE South 88 degrees 56 minutes 46 seconds West, a distance of 188.14 feet to a 1/2 inch iron rod with cap stamped "KAZ" found for corner being the northwest corner of said Lot 2B and the northeast corner of said Lot 2A;

THENCE South 01 degrees 13 minutes 09 seconds East, with the west line of said Lot 2B and the east line of said Lot 2A, a distance of 143.06 feet to a 1/2 inch iron rod with cap stamped "KAZ" found for corner;

THENCE North 72 degrees 45 minutes 24 seconds West, over and across said Lot 2A, a distance of 172.17 feet to a 1/2 inch iron rod with cap stamped "KAZ" found for corner;

THENCE North 01 degrees 13 minutes 09 seconds West, over and across said Lot 2A, a distance of 42.18 feet to a 1/2 inch iron rod with cap stamped "KAZ" found for corner;

THENCE North 89 degrees 05 minutes 22 seconds West, over and across said Lot 2A, a distance of 172.91 feet to the southwest corner of said Chynoweth tract, same point being in the west line of said Lot 2A, and being 0.5 feet west of an existing fence line;

THENCE North 01 degrees 04 minutes 08 seconds West, passing at 40.90 feet a 5/8 inch iron rod found for the northwest corner of said Lot 2A and the southwest corner of said Lot 1, and continuing on for a total distance of 260.90 feet to the **POINT OF BEGINNING** and containing 2.188 acres of land;

CERTIFICATE OF APPROVAL

APPROVED this ____ day of _____, 2025
by the Planning and Zoning Commission of the City of Corinth, Texas.

Director, Planning and Development

City Secretary

OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS §
COUNTY OF DENTON §

WHEREAS Mark Brandon Chynoweth is the owner of a 2.188 acre tract of land situated in the M.E.P. & P.R.R. Co. Survey, Abstract No. 915, Denton County, Texas, and being a portion of Lot 1, Block 1 of Holman Addition, an addition to the City of Corinth, Denton County, Texas, according to the plat thereof recorded in Cabinet G, Page 8, Plat Records, Denton County, Texas (P.R.D.C.T.), and being a portion of Lot 2A, Block 1 of Holman Addition, an addition to the City of Corinth, Denton County, Texas, according to the plat thereof recorded in Cabinet I, Page 184, P.R.D.C.T., and being the same tracts of land as described by deed recorded under Instrument Number 2023-129443, Official Public Records, Denton County, Texas (O.P.R.D.C.T.);

BEGINNING at a 1/2 inch iron rod with cap stamped "Premier Surveying" found for corner being the northwest corner of said Lot 1, same point being the southwest corner of Lot 3, Block 1 of said Holman Addition (Cab. G, Pg. 8);

THENCE North 88 degrees 56 minutes 46 seconds East, a distance of 200.00 feet to an ell corner of said Lot 3, from which a 5/8 inch iron rod found bears South 48 degrees 55 minutes 17 seconds East at 0.47 feet;

THENCE South 01 degrees 03 minutes 14 seconds East, a distance of 140.00 feet to a 1/2 inch iron rod with cap stamped "Premier Surveying" found for corner being an ell corner of said Lot 3;

THENCE North 88 degrees 56 minutes 46 seconds East, a distance of 296.17 feet to a 5/8 inch iron rod with cap stamped "TNP" found for corner being in the west right-of-way line of Parkridge Drive as described by deed to the City of Corinth, recorded under Instrument Number 2011-82523, O.P.R.D.C.T., and being the beginning of a non-tangent curve to the left, having a radius of 1080.00 feet;

THENCE over and across said Lot 1, and with the west right-of-way line of said Parkridge Drive, through a central angle of 01 degrees 42 minutes 08 seconds, whose chord bears South 19 degrees 53 minutes 46 seconds East at 32.09 feet to a 5/8 inch iron rod with cap stamped "TNP" found for corner;

THENCE South 20 degrees 37 minutes 51 seconds East, continuing on over and across said Lot 1 and with the west right-of-way line of said Parkridge Drive, a distance of 52.68 feet to a "V" cut found in concrete for corner being in the north line of Lot 2B, Block 1 of said Holman Addition (Cab. I, Pg. 184);

THENCE South 88 degrees 56 minutes 46 seconds West, a distance of 188.14 feet to a 1/2 inch iron rod with cap stamped "KAZ" found for corner being the northwest corner of said Lot 2B and the northeast corner of said Lot 2A;

THENCE South 01 degrees 13 minutes 09 seconds East, with the west line of said Lot 2B and the east line of said Lot 2A, a distance of 143.06 feet to a 1/2 inch iron rod with cap stamped "KAZ" found for corner;

THENCE North 72 degrees 45 minutes 24 seconds West, over and across said Lot 2A, a distance of 172.17 feet to a 1/2 inch iron rod with cap stamped "KAZ" found for corner;

THENCE North 01 degrees 13 minutes 09 seconds West, over and across said Lot 2A, a distance of 42.18 feet to a 1/2 inch iron rod with cap stamped "KAZ" found for corner;

THENCE North 89 degrees 05 minutes 22 seconds West, over and across said Lot 2A, a distance of 172.91 feet to the southwest corner of said Chynoweth tract, same point being in the west line of said Lot 2A, and being 0.5 feet west of an existing fence line;

THENCE North 01 degrees 04 minutes 08 seconds West, passing at 40.00 feet a 5/8 inch iron rod found for the northwest corner of said Lot 2A and the southwest corner of said Lot 1, and continuing on for a total distance of 260.90 feet to the **POINT OF BEGINNING** and containing 2.188 acres of land;

and designated herein as **LOTS 1IRA & 1RB, BLOCK 1 OF HOLMAN ADDITION** to the City of Corinth, Texas, and whose name is subscribed hereto, hereby dedicate to the public use forever by fee simple title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, parks, and trails, and to the public use forever easements for sidewalks, storm drainage facilities, floodways, water mains, wastewater mains and other utilities, and any other property necessary to serve the plat and to implement the requirements of the platting ordinances, rules, and regulations thereon shown for the purpose and consideration therein expressed.

WITNESS my hand this ____ day of _____, 2025.

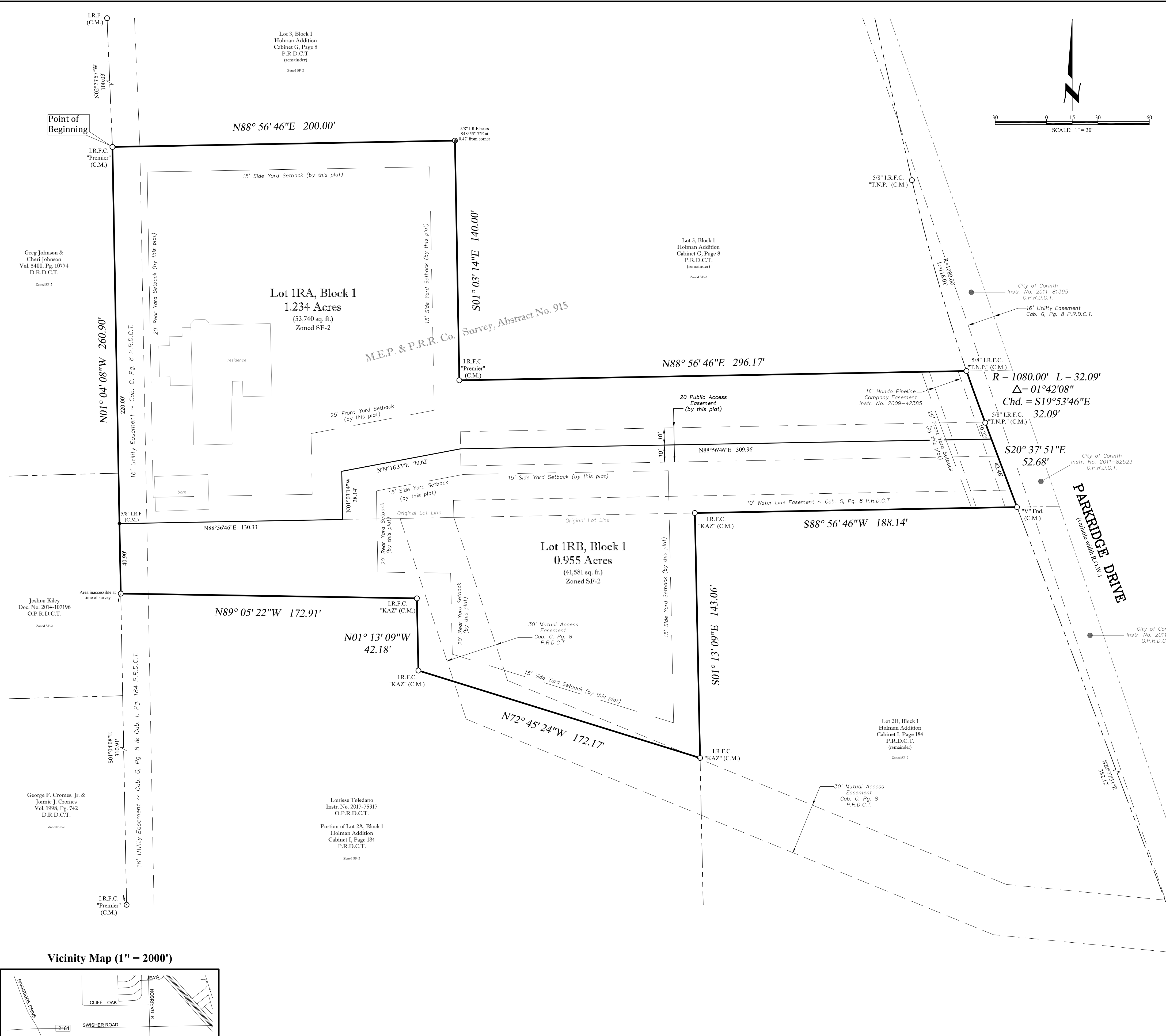
By: _____
Mark Brandon Chynoweth, Owner

STATE OF TEXAS §
COUNTY OF DENTON §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Mark Brandon Chynoweth, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ____ day of _____, 20__.

Notary Public in and for the State of Texas



STATE OF TEXAS §
COUNTY OF DENTON §

This is to certify that I, Thomas W. Mauk, a Registered Professional Land Surveyor of the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property made under my supervision on the ground.

PRELIMINARY

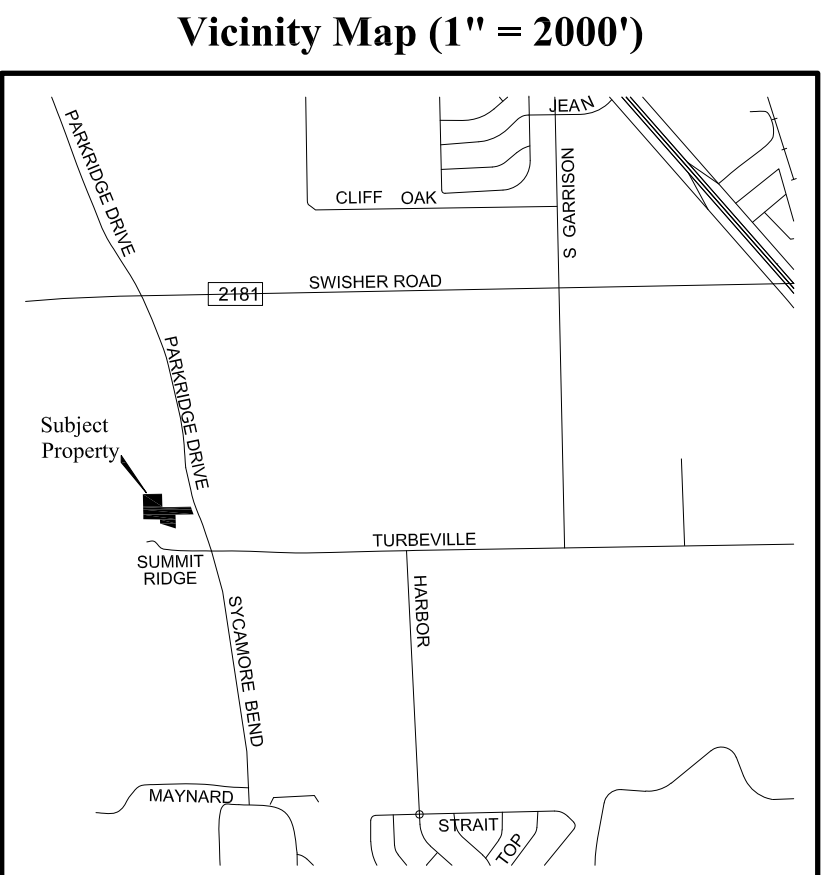
Thomas W. Mauk, R.P.L.S.
No. 5119

STATE OF TEXAS §
COUNTY OF DENTON §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Thomas W. Mauk, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ____ day of _____, 20__.

Notary Public in and for the State of Texas



- NOTES:**
- Bearings and coordinates shown hereon are based on the Texas State Plane Coordinate System, North Central Zone 4302, NAD83 (U.S. Feet).
 - The purpose of this replat is to create a 2 lots of record from a previously platted Lot and a portion of a platted Lot conveyed by deed.
 - Selling a portion of this addition by metes and bounds is a violation of City ordinance and state law and is subject to fines and withholding of utilities and building permits.
 - It is my opinion that the property described herein is not within the 100-year flood zone area according to the Federal Emergency Management Agency Flood Insurance Rate Map Community-Panel No. 48143-0535-C, present Effective Date of map April 18, 2011, herein property situated within Zone "X" (Unshaded).
 - This plat was prepared using title commitment provided by client (Title Resources File No. 2434279). Blanket Style Easements recorded in Vol. 328, Pg. 409, Vol. 460, Pg. 169, Vol. 548, Pg. 566 & Vol. 557, Pg. 515 include the subject tract.

- LEGEND**
- 1/2" Iron Rod Found
 - 1/2" Iron Rod Set with blue cap stamped "Old Town Surveying"
 - CM - Controlling Monument
 - R.O.W. - Right-of-Way
 - O.P.R.D.C.T. - Official Public Records, Denton County, Texas
 - D.R.D.C.T. - Deed Records, Denton County, Texas
 - P.R.D.C.T. - Plat Records, Denton County, Texas

OWNER
Mark Brandon Chynoweth
627 Brookstone Dr.
Irving, TX 75039
Ph. 214.687.2074

SURVEYOR
Old Town Surveying, LLC
Professional Land Surveyors
830 Office Park Circle, Suite 130, Lewisville, Texas, 75057
Ph. 469-261-8079 info@oldtownsurveying.com
FERN Number: 1019611

**ZAPD25-0001:
EXHIBIT B - Concept Plan**

being all of Lot 1, Block 1 of Holman Addition, Cabinet G, Page 8, P.R.D.C.T. & a portion of Lot 2A, Block 1 of Holman Addition, Cabinet I, Page 184, P.R.D.C.T. M.E.P. & P.R.R. Co. Survey, Abstract Number 915, City of Corinth, Denton County, Texas
-- Revised: January 31, 2025 --

FOR DENTON COUNTY USE ONLY
FOR DENTON COUNTY USE ONLY

EXHIBIT “C”
PD DESIGN STATEMENT

A. PROJECT ACREAGE AND LOCATION

The proposed Honey Rock Hill Planned Development is located at 3408 Parkridge Drive. The property consists of approximately 2.188 acres. The property is currently zoned SF-2. There is an existing house structure located on the property that is currently being renovated. The property is bounded to the north, west, and south by large lot developments zoned SF-2 Single Family Residential, and to the east by the Town of Hickory Creek.



B. EXISTING CONDITIONS

The subject property is located within the Holman Addition Subdivision, which was originally platted in 1987, then replatted in 1994. At some point since that time, Lot 2 of the Holman Addition was subdivided without a formal Replat being approved. Therefore, the subject property subject to the rezoning consists of all of Lot 1 and a landlocked portion of Lot 2 of the Holman Addition

Subdivision, as shown below:



Subject Property: Lot 1 is northern lot, portion of Lot 2 subject to rezoning is southern parcel

C. PROJECT OVERVIEW / DESCRIPTION

The Honey Rock Hill is a two (2) lot single family development that will follow the present SF-2 zoning and is seeking a lone departure from the Zoning Dimensional Regulations of UDC 2.08.04 regarding minimum lot width.

A Replat for the subject property to consolidate both parcels into one platted lot was conditionally approved on February 26, 2024. However, the Applicant expressed the intent to subdivide the parcel into two lots. Upon an informal review of the proposed Replat, Staff informed the Applicant that the proposed lot configuration (Exhibit B – Concept Plan) would not meet the minimum lot width requirement at street frontage of 100’ outlined in UDC 2.08.04 for properties zoned SF-2 Single Family residential.

The Applicant chose to request a Planned Development with the lone departure of the minimum lot width to formalize the proposed lot configuration and subsequently will seek approval of the revised Replat from the Planning & Zoning Commission. The minimum lot width shall be generally consistent with the minimum lot widths Exhibit B – Concept Plan.

The Future Land Use designation for this property is Neighborhood. The purpose and intent of Neighborhood is to maintain the character and quality of existing neighborhoods and ensure property values of existing neighborhoods stay stable through focus on maintenance, code enforcement, and neighborhood improvements (pocket parks, sidewalk connections to schools, entry features, etc.).

**EXHIBIT “D”
PLANNED DEVELOPMENT STANDARDS**

SECTION 1: PURPOSE AND BASE DISTRICT

A. Purpose

The regulations set forth herein provide development standards for single family residential uses within the Honey Rock Hill Planned Development District (PD). The boundaries of the PD are identified by metes and bounds on the Legal Description, Exhibit “A” to this Ordinance, and the Property shall be developed in accordance with these regulations and the Planned Development “PD” Concept Plan as depicted on Exhibit “B”. Any use that is not expressly authorized herein is expressly prohibited in this PD.

B. Base District

In this PD, the “SF-2” Single-Family Residential District (Detached) regulations of the Corinth Unified Development Code (UDC), Ordinance No. 13-05-02-08, as amended, shall apply to the Property except as modified herein. If a change to the PD Concept Plan is requested, the request shall be processed in accordance with the UDC and development standards in effect at the time the change is requested for the proposed development per the Planned Development Amendment Process.

SECTION 2 – USES AND AREA REGULATIONS

A. Purpose

The Honey Rock Hill Planned Development is intended to provide a quality residential development utilizing the location and concepts outlined in the Envision Corinth 2040 Comprehensive Plan. The development includes 2 Single-Family Detached lots, as set forth in Exhibit “B” –Concept Plan.

B. Permitted Uses and Use Regulations

In the proposed PD, no building, or lands shall be used, and no building shall be hereafter erected, reconstructed, enlarged, or converted unless otherwise provided for in the SF-2 Single Family Residential District (Detached) regulations of the UDC or otherwise permitted by this PD Ordinance. Permitted Uses in the SF-2, Single Family Residential (Detached) District, as listed in Subsection 2.07.03 of the UDC, shall be permitted in the proposed PD District. The residential building layout shall be in general conformance with the PD Concept Plan shown in Exhibit “B” attached hereto.

C. Dimensional Regulations

UDC Subsection 2.08.04 Residential Dimensional Regulations Chart for the SF-2 Single Family Residential (Detached) District shall apply, except as modified in Table A – Dimensional Requirements below:

Table A – Dimensional Requirements:

	SF-2 Base:	Dimensional Standards/Modification:
Front Yard Setback	25’	No Change
Side Yard Setback: Interior Lot		
Corner Lot	15’ 25’	No Change

Rear Yard Setback	20'	No Change
Garage Setback	25'	No Change
Minimum Lot Area	14,000 SF	No Change
Maximum Density	N/A	N/A
Minimum Lot Width:	100' at building line	40' at building line
Minimum Lot Depth	110'	No Change
Minimum Floor Area	2,000 sq. ft.	No Change
Maximum Height (feet/stories)		No Change
	35'/2.5	
Maximum Building Area (all buildings)	30%	No Change

Justification: These departures from the base district in subsection 2.08.04 are necessary to provide to ensure that both lots meet a minimum lot frontage requirement and avoid leaving a landlocked parcel.

D. Development Standards

Except as otherwise set forth, the Development Standards of Subsection 2.04.02, SF-2, Single Family Residential (Detached) of Subsection 2.04, “Residential Zoning Districts” of the UDC, for the SF-2 Single Family District (Detached) and all other requirements of the UDC shall apply to development within the proposed Honey Rock Hill Planned Development.

1. **UDC Subsection 2.07.07 Accessory Buildings and Uses** shall apply, as may be amended.
2. **UDC Subsection 2.09.01 Landscaping Regulations for Attached, and Detached Single Family Developments** shall apply, as may be amended.
3. **UDC Subsection 2.09.02 Tree Preservation** shall apply, as may be amended.
4. **UDC Subsection 2.09.03 Vehicular Parking Regulations and Pedestrian Oriented Street Design** shall apply, as may be amended.
5. **UDC Subsection 2.04.04.C.2 Garage Regulations** shall apply, as may be amended.
6. **UDC Subsection 2.09.04 Building Façade Material Standards** shall apply, as may be amended.
7. **UDC Subsection 2.09.05 Residential Adjacency Standards** shall apply, as may be amended.
8. **UDC Subsection 2.09.06 Nonresidential Architectural Standards** shall apply, as may be amended.
9. **UDC Subsection 2.09.07 Lighting and Glare Regulations** shall apply, as may be amended.
10. **UDC Subsection 4.01 Sign Regulations** shall apply, as may be amended.
11. **UDC Subsection 3.05.05 Alley Standards** shall apply, as may be amended.

12. **UDC Subsection 3.05.09 Lot Standards** shall apply, as may be amended.
13. **UDC Subsection 3.05.10 Park and Trail Dedication** requires that Park and Trail dedication for Residentially Zoned Property be provided at a rate of 1 acre per/50 DU and/or fees-in-lieu-of or combination shall apply, as may be amended.
14. **UDC Subsection 4.02 Fence and Screening Regulations** shall apply, as may be amended.

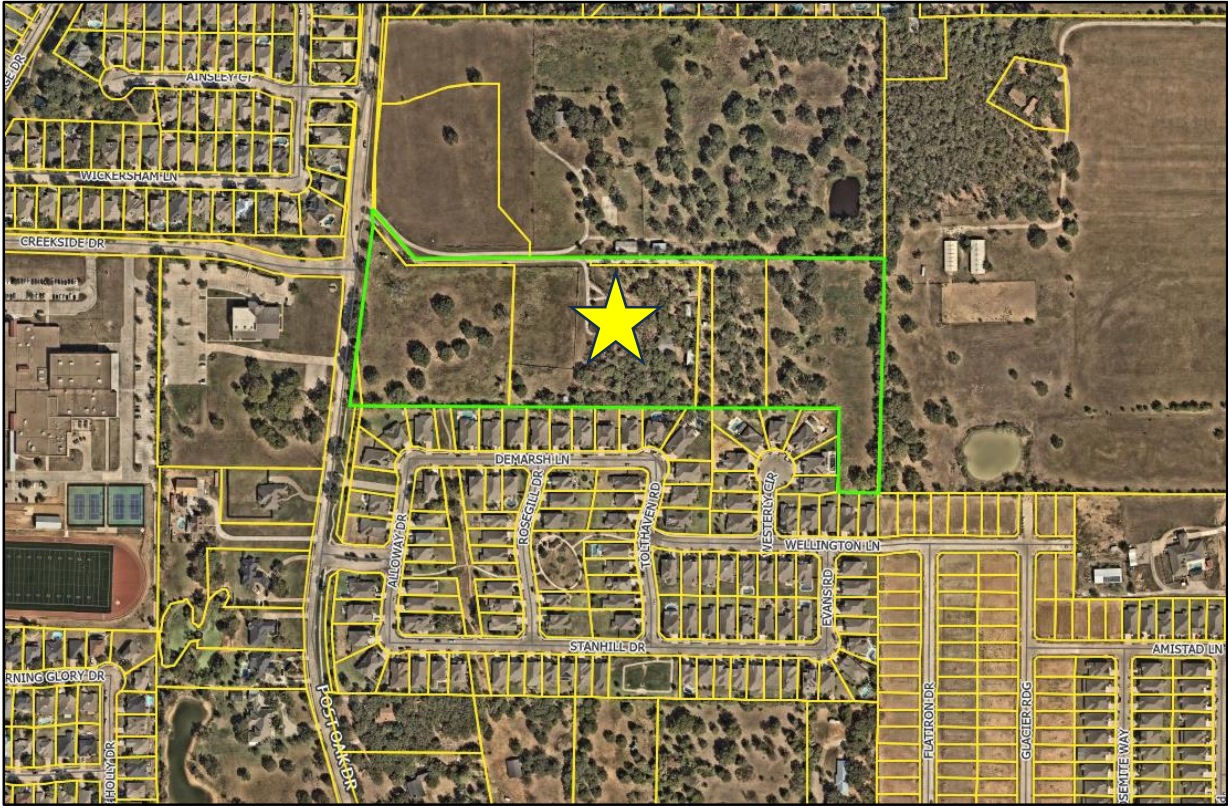


CITY OF CORINTH Staff Report

Meeting Date:	2/17/2025	Title:	Saddlebrook Planned Development (PD) Rezoning Request (Case No. ZAPD24-0010)
Strategic Goals:	<input type="checkbox"/> Resident Engagement <input type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development		

Item/Caption

- Conduct a Public Hearing to consider testimony and make a recommendation to City Council on a rezoning request by the Applicant, Bridge Tower Homes LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a base zoning district of SF-4 Single Family Residential for the development of ±97 lots on approximately ±17 acres located at 1960 Post Oak Drive. (Case No. ZAPD24-0010 Saddlebrook Planned Development)



Location Map - Case No. ZAPD24-0010

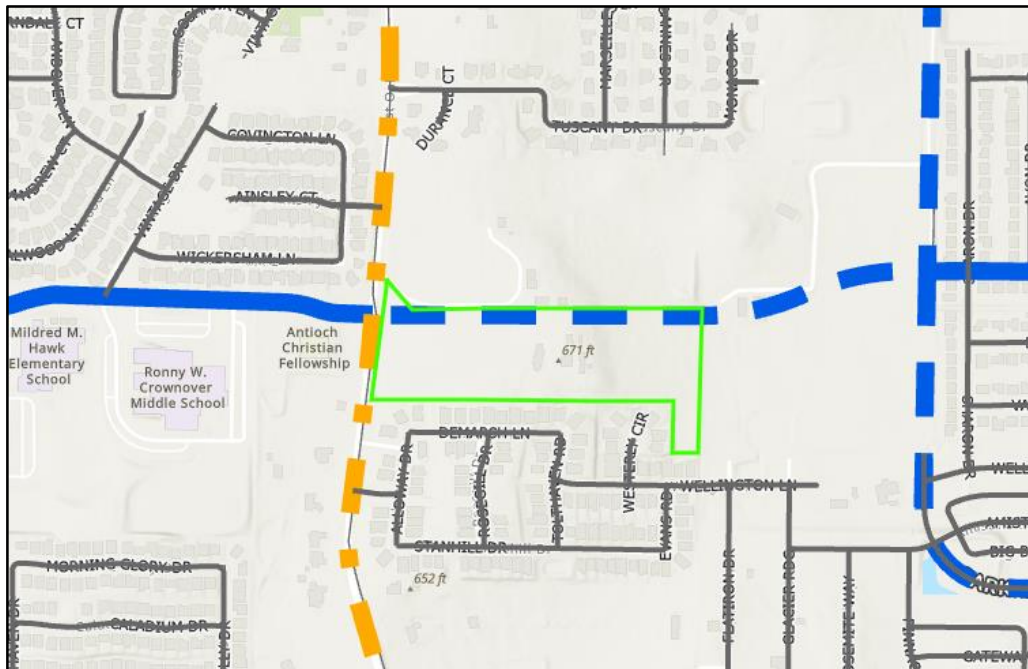
Item Summary/ Background

The Applicant is requesting approval of a Planned Development (PD) rezoning for the development of ±17 acres for the construction of ±97 single family detached dwellings on individually platted lots. The proposed Saddlebrook Planned Development is located on the east side of Post Oak Drive and directly north of the Terrace Oaks subdivision. The property consists of approximately 16.77 acres and is currently zoned SF-2 Single Family Residential. There is an existing residential structure located in the center of the property and several accessory structures. The property is

bordered by single family planned developments to the north, east, and south, and the Antioch Christian Fellowship to the west and north. The Hillside development (PD-67 with base zoning of SF-4) borders the subject site to the north and is set to begin construction in the coming weeks. PD-67 offers a mix of lot types including 95' Lots along the northern edge and 50' Lots throughout the rest of the site. The Terrace Oaks PD (PD-39 with base zoning of SF-4) borders the subject site to the east and south, with only the southern portion of this PD (Area A) being developed at this time. PD-39 also includes a range of lot types, including 40'- 49', 50'- 59', 60'- 69', and 70'- 79' Lots, with the majority being 50'- 59' lots.

The proposed base zoning district for Saddlebrook would consist of SF-4, Single Family Residential (Detached). The development will provide a mix of lot sizes with the following minimums: "30's" (30-foot-wide detached home lots) – minimum lot size of 3,000 square feet, and "45's" (45-foot-wide detached home lots) – minimum lot size of 4,750 square feet. The development will provide 60 30-foot lots and 37 45-foot lots with a maximum gross density of 5.79 dwelling units per acre.

The Envision Corinth 2040 Comprehensive Plan Master Thoroughfare Plan Mobility and Strategy identifies a new Collector Street and a 6'-10' sidewalk/trail to be located through the subject site, as shown below.



The Saddlebrook PD Concept includes this new collector street along the northern boundary of the subject site as well as a trail along the northern side of this street. The extension of Creekside Drive is envisioned to eventually connect with Parkridge Drive to the east which will in turn provide access to Church Drive to the north and Lake Sharon Drive to the south. This added street grid system will improve access to the site and the surrounding existing and entitled subdivisions including Hillside, Ashford Park, and Terrace Oaks, and relieve traffic from Post Oak Rd by provided additional outlets. The street will be designed as a complete street to accommodate vehicle traffic with traffic calming features, pedestrians and bicycle traffic. The extended Creekside Drive will include protected parallel parking along the southern side, street trees located between the sidewalks and curbs, and will potentially incorporate shared bike lanes as part of the City's current mobility master planning initiative. These design components, in addition to the new four-way stop planned at the intersection of Creekside Drive and Post Oak Drive, will act as traffic calming measures and will serve to slow traffic speeds.

Given that this development will be constructing the entirety of the Creekside Drive extension adjacent to their property, and because the Hillside development is already entitled and will begin construction eminently, certain

elements of the road extension as it pertains to final grade and alignment will be determined at the time of Civil Design. As such, language has been included in the PD Design Statement allowing for certain flexibility regarding the final design of the collector road should the construction of the Hillside development necessitate minor changes or if additional right of way is obtained from the Antioch Church property to the north.



Saddlebrook Conceptual Landscape Plan

The development proposes Single Family lots that are 45' wide designed with front entry garages while the 30' wide Cottage Home Lots are alley served. The Cottage Home Lots in particular are designed following the principles of new urbanism with shorter front yard setbacks, usable front porches, protected on-street parking, and alley served garages. Several open space areas have been incorporated into the proposed development, including a central tree preservation area, a linear green along the 30' gas easement, and open space areas for the retention (wet) pond adjacent to Post Oak Dr and the detention (dry) pond in the southeast corner of the site. Additionally, an approximately 20' – 30' wide landscape strip will be provided along much of the southern property line to act as an additional buffer to the existing Terrace Oaks Subdivision and a 15' wide landscape strip will be provided between the collector road and the cottage lots fronting onto this road. Amenities planned in the open spaces include several different trails, enhanced landscaped areas with benching, and lighting in strategic locations.

The landscape design includes shade trees within the public right-of-way (within the landscape strip between curb and sidewalk) to create a tree-lined parkway. The location of Street Trees was requested by Staff as a design enhancement to create a more walkable and inviting streetscape. Other enhancements to the street design include the addition of bulb-out areas to promote traffic calming and enhance the overall aesthetic of the streetscape.

Other unique design aspects of this PD are listed below:

- A 2-car garage and 2-car driveway will be provided for each dwelling unit with an additional 62 protected on-street parking spaces being provided throughout the site.
- The developer has agreed to preserve a minimum of 20% CI of Healthy Protected Trees.
- The concept plan includes 4.11 acres of open space (25% of the site's gross acreage).

- Cottage style garage doors and awnings/roof overhangs above the garage doors shall be required for all front-loaded lots.
- 100% of lots are required to have a 70 square foot minimum front porch.
- Trail extension planned to connect south with existing trail in Terrace Oaks within the gas easement.
- A play area that incorporates play equipment that is nature-based design

Dimensional Standards

As stated in the UDC, Subsection 2.06.03, the purpose of a PD District is to “... encourage quality and better development in the city by allowing flexibility in planning and development projects... and permit new or innovative concepts in land utilization and or diversification that could not be achieved through the traditional [base] zoning districts.”

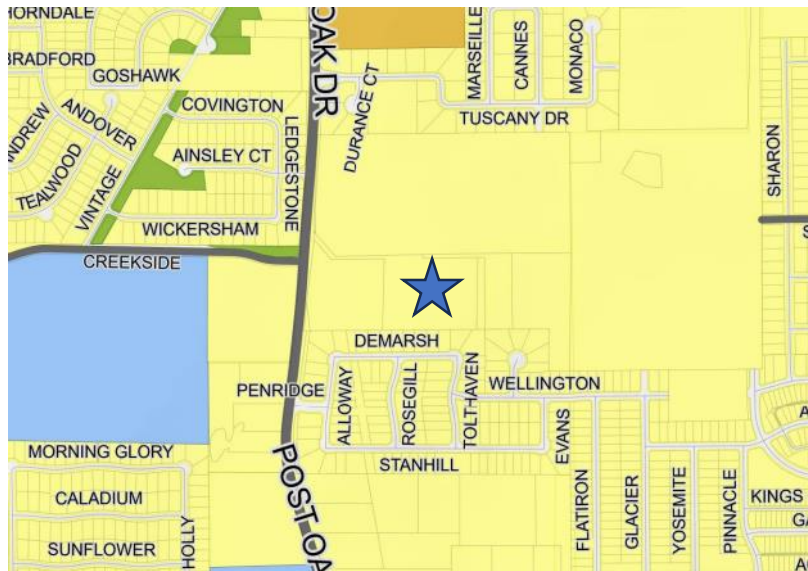
The following table provides a summary of dimensional standards that either deviate from the current UDC regulations or are offered as additional provisions to create an innovative and unique project. These modifications are in keeping with the Envision 2040 Comprehensive Plan Land Use and Development Strategies for the Neighborhood Land Use and promote “Traditional Neighborhood Design and New Urbanism Concepts”.

	SF-4 Base:	Dimensional Standards/Modification:	
		30' Lots	45' Lots
Front Yard Setback	25'	7.5'	10-20'
Side Yard Setback:			
Interior Lot	5'	Min 0', Min	5'
Corner Lot	15'	Cumulative 6'	10'
		10'	
Rear Yard Setback	20'	5'	10'
Garage Setback	25'	20'	20'
Minimum Lot Area	7,500 SF	3,000 SF	4,750 SF
Maximum Density	N/A	N/A	N/A
Minimum Lot Width:			
	70'	30'	45'
Minimum Lot Depth	100'	90'	98' (115' typical)
Minimum Floor Area	1,500 sq. ft.	1,300 sq. ft.	1,500 sq. ft.
Maximum Height (feet/stories)	35'/2.5	35' / 2.5	35' / 2.5
Maximum Building Area (all buildings)	30%	70%	70%

**Proposed standards are further described in the attached Saddlebrook PD Design Statement and include justification statements for the requests.*

Compliance with the Comprehensive Plan

The rezoning request for the subject property is in accordance with the Land Use and Development Strategy designation, Neighborhood, as set forth in the Envision Corinth 2040 Comprehensive Plan.



Specifically, the proposed Concept Plan design meets the overall intent of the principles outlined in the **Neighborhood Land Use and Development Strategy*** (see below).

ENVISION CORINTH 2040 COMPREHENSIVE PLAN
LAND USE AND DEVELOPMENT STRATEGY

	<p>NEIGHBORHOOD</p> <p>Purpose and intent</p> <ul style="list-style-type: none"> » To maintain the character and quality of existing neighborhoods » Ensure that property values of existing neighborhoods stay stable through focus on maintenance, code enforcement, and neighborhood improvements (pocket parks, sidewalk connections to schools, entry features, etc.) <p>Land use types and density</p> <ul style="list-style-type: none"> » Based on existing neighborhood layout and context » Appropriate transitions to existing neighborhoods with respect to densities, screening, and buffering within new neighborhoods <p>Design priorities</p> <ul style="list-style-type: none"> » Maintain existing street network, parks, and open space » Provide additional sidewalk and trail connections where feasible 	<ul style="list-style-type: none"> » Vehicular and pedestrian connections to new adjoining neighborhoods and to schools and parks » Any new development should examine Traditional Neighborhood Design or New Urbanism concepts <p>Sustainability priorities</p> <ul style="list-style-type: none"> » Focus on local area detention infrastructure that also serves as amenities (landscaping, trails, and building frontages) for the benefit of adding value to the development » Connections to regional trails, parks, and adjoining neighborhood retail » New neighborhoods to focus on walkability and bikeability » Design of new streets and infrastructure to incorporate appropriate LID elements » Allow roof-top solar panels
--	---	---

*Excerpt from 2040 Comprehensive Plan, page 47.

Public Notice

Notice of the public hearing was provided in accordance with the City Ordinance and State Law by,

- Publication in the Denton Record-Chronicle
- Written public notices were mailed to the owners of all properties located within 200 feet of the subject property and to the Denton ISD.
- The Applicant posted several “Notice of Zoning Change” signs around the perimeter of the site.
- The Public Hearing notice was posted on the City’s Website.

Letters of Support/Protest

As of the date of this report, the City has received four (4) letters of support and sixteen (16) letters of opposition. Of the letters of opposition, thirteen (13) of these have been received from properties within 200 ft of the subject site, with the remaining three (3) letters coming from properties outside of the 200 ft buffer. Letters received after this date will be presented to the City Council at the time of Public Hearing. See Attachment 2 – 200’ Buffer Exhibit and Correspondence from Property Owners

Staff Recommendation

Staff recommends approval as presented.

Motion

“I move to recommend approval of Case No. ZAPD24-0010 – Saddlebrook Planned Development as presented.

Alternative Actions by the Planning and Zoning Commission

The Planning and Zoning Commission may also,

- Recommend approval with additional stipulations
- Continue the Public Hearing and table action on the request to a definitive or non-defined date
- Recommend denial of the request

Supporting Documentation**Attachment 1 – Saddlebrook PD Ordinance and Associated Exhibits**

- A. Exhibit A – Legal Description
- B. Exhibit B – Existing Conditions
- C. Exhibit C – PD Design Statement
- D. Exhibit D – PD Development Standards
- E. Exhibit E – PD Concept Plan
- F. Exhibit F – PD Conceptual Landscape Plan
- G. Exhibit G – Tree Protection Plan
- H. Exhibit H – Representative Product Types
- I. Exhibit I – Water and Sewer Will Serve Letter

Attachment 2 – 200-foot Zoning Buffer Exhibit and Correspondence from Property Owners

**ATTACHMENT 1:
SADDLEBROOK DRAFT ORDINANCE AND
PD DOCUMENTS**

A. PROJECT NAME/TITLE: Saddlebrook

B. LIST OF OWNERS/DEVELOPERS:

- **Owner-** The current property owners of the proposed Saddlebrook site are Heather Bacon and Paige Almond for front 10.3 acres parcel and Madison Trust FBO Joni Waverka for rear 6.4 acre parcel

- **Developer-** Bridge Tower Homes

Bridge Tower Homes is a vertically integrated real estate firm focused on residential real estate, disciplined in acquisition, Entitlement, site development and construction of homes. It was founded in 2013 to provide high quality homes and communities for families and individuals. Its headquarter is located in Dallas, Texas with operations all over Texas, North Carolina, and Tennessee. Their mission is to elevate the resident experience by providing exceptional homes and communities that meet the evolving needs of current and future residents. Bridge Tower has entitled, developed and constructed a wide range of products ranging from alley loaded to front loaded Townhome, Duplex and detached Single Family Homes.



FIELD NOTE DESCRIPTION**16.770 ACRE TRACT**

BEING a tract of land situated in the W.C. GARRISON SURVEY, ABSTRACT NO. 508, and the D.A. WARE SURVEY, ABSTRACT NO. 1580, Denton County, Texas and being all that tract of land conveyed to Heather Allison Bacon and Paige Almond Fletcher according to the document filed of record in Document No. 2022-71102, Deed Records, Denton County, Texas (D.R.D.C.T.), being described as a part of that tract of land conveyed to Charles I. Fletcher, as recorded in Document No. 2004-91956, (D.R.D.C.T.), all those tracts referred to as Tract 1, Tract 2 and Tract 3, conveyed to Madison Trust Custodian Fbo Joni Waverka, according to the document filed of record in Document No. 2024-69914, (D.R.D.C.T.) and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod with a yellow plastic cap found in the east line of Post Oak Drive, a 60 foot right of way according to the document filed of record in Volume 5254, Page 4843, Deed Records, Denton County, Texas, for the common northwest corner of Terrace Oaks, Phase One, an addition to the Town of Corinth, Denton County, Texas according to the plat filed of record in Document No. 2017-59, Plat Records, Denton County, Texas and being the common southwest corner of said Bacon/Fletcher tract.

THENCE Northeasterly, with the east line of said right of way, the following four (4) courses and distances:

North 07 degrees 05 minutes 39 seconds East, a distance of 13.87 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner of this tract.

North 04 degrees 35 minutes 41 seconds East, a distance of 494.59 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner of this tract.

North 85 degrees 56 minutes 53 seconds East, a distance of 12.05 feet to a 5/8 inch iron rod found for corner of this tract.

North 02 degrees 27 minutes 00 seconds East, a distance of 69.59 feet to a 1/2 inch iron found for the northwest corner of an Easement Estate tract described as the above mentioned Tract 3, for the southwest corner of Antioch Fellowship Addition, an addition to the Town of Corinth, Denton County, Texas according to the plat filed of record in Document No. 2016-128, Plat Records, Denton County, Texas, (P.R.D.C.T.) same being the common most northerly northwest corner of the above mentioned Bacon/Fletcher tract.

THENCE South 41 degrees 47 minutes 50 seconds East, with the south line of said ANTIOCH FELLOWSHIP ADDITION, a common north line of said Easement Estate and Bacon/Fletcher tracts, a distance of 176.12 feet to a 1/2 inch iron rod found for a common corner of said tracts.

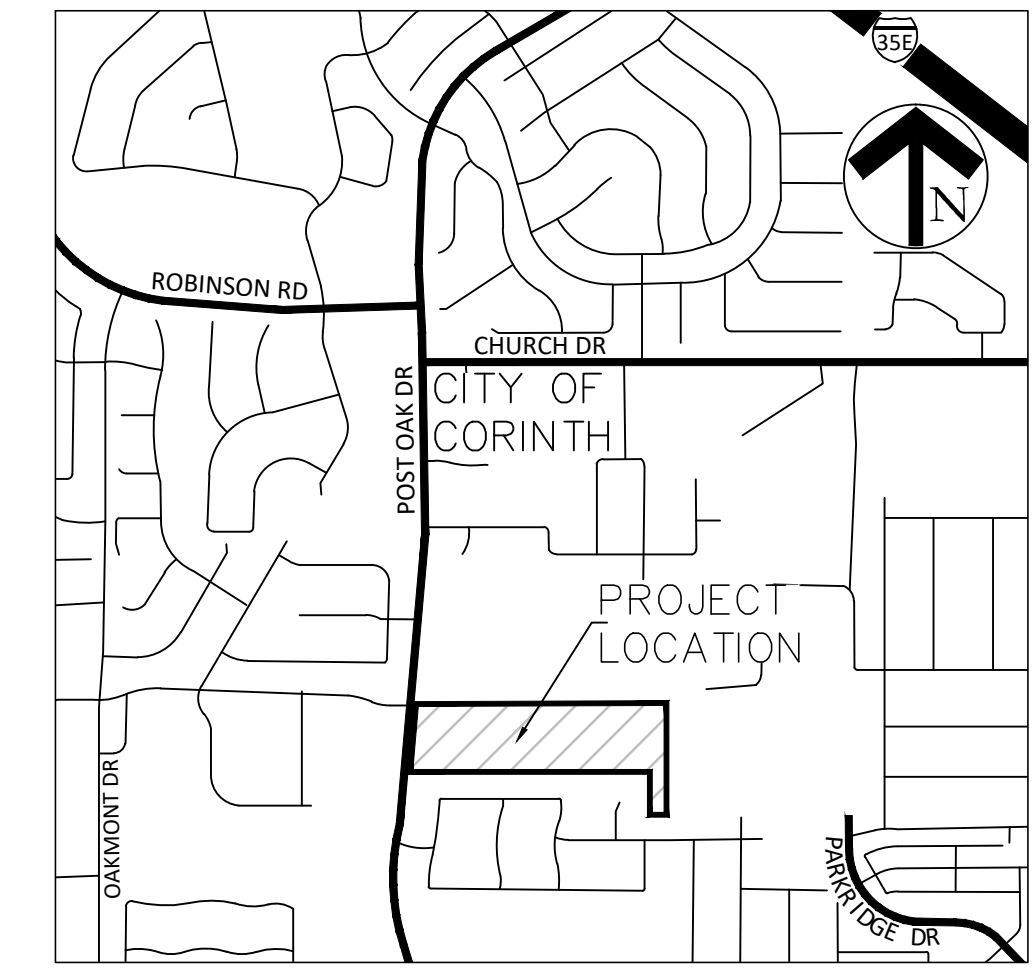
THENCE, N 89° 20' 20" E, with the south line of said Antioch Fellowship Addition, a distance of 1392.97 feet to a 1/2" iron rod found in the west line of Lot 1, Block A, Haislip Family Farm, an addition to the Town of Corinth, Denton County, Texas according to the plat filed of record in Cabinet I, Page 181 (P.R.D.C.T.), and being the southeast corner of said Antioch Fellowship Addition and common northeast corner of the above-mentioned Tract 1.

THENCE, S 00° 40' 02" E, with said west line, a distance of 696.79 feet to at a 1/2" iron rod found for the most westerly northwest corner of Ashford Park, Phase 3, an addition to the Town of Corinth, Denton County, Texas according to the plat filed of record in Document No. 2024-290, Plat Records, Denton County, Texas, (P.R.D.C.T.) same being common with the most easterly northeast corner of the above-mentioned Terrace Oaks, Phase One, and common southeast corner of said Tract 1.

THENCE, S 89° 59' 55" W, with a north line of said Terrace Oaks, a distance of 121.43 feet to a 1/2" iron rod found at an interior "ell" corner of said Terrace Oaks and common with the most southerly southwest corner of said Tract 1.

THENCE, N 00° 00' 56" E, with the east line of said Terrace Oaks, a distance of 247.47 feet to a 1/2" iron rod with yellow plastic cap stamped "JVC", set for the most northerly northeast of said Terrace Oaks and being an interior "ell" corner of said Tract 1.

THENCE, S 89° 30' 06" W, with the north line of said Terrace Oaks, a distance of 1453.39 feet to the **POINT OF BEGINNING** and containing 16.770 acres of land.



VICINITY MAP
1" = 2000'

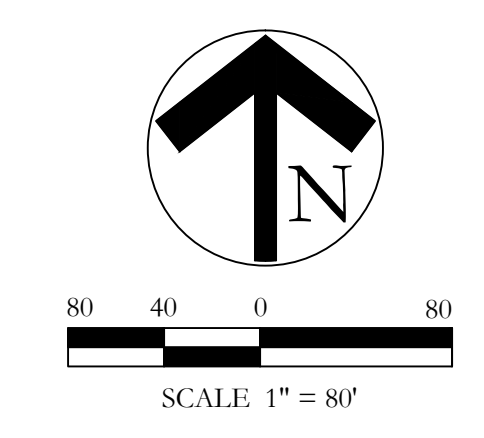


EXHIBIT B
Existing Site Conditions and
Existing Tree Cover to be Preserved
CANYON CREEK
CITY OF CORINTH, DENTON COUNTY, TEXAS

TOTAL RESIDENTIAL LOTS 96
 TOTAL OPEN SPACE 12
 TOTAL GROSS ACRES 16.770
OUT OF THE
 WILLIAM C. GARRISON SURVEY, ABSTRACT No. 508

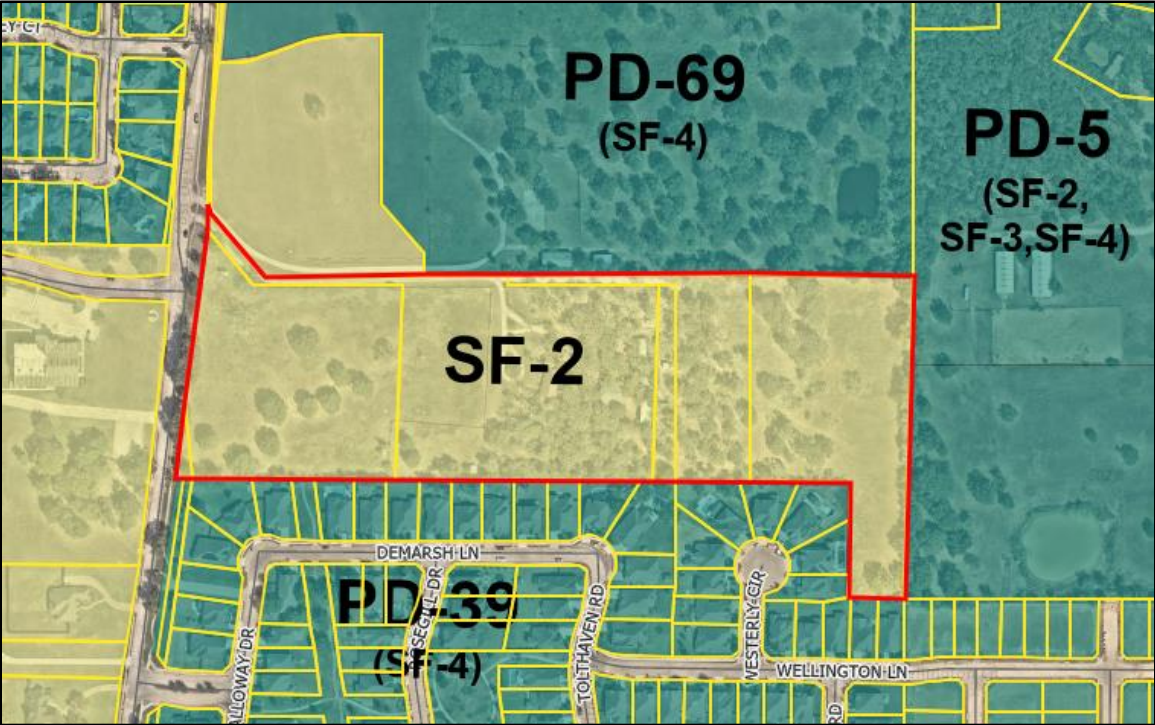
APPLICANT
 BRIDGE TOWER GP
 5430 LBJ Freeway, Suite 1050
 Dallas, Texas 75240
 Phone: 469-936-1695
 Contact: Shaivali Desai

Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite. 1200
 Plano, Texas 75074
 Phone: 972-201-3100
 Contact: Tom Dayton, PE

EXHIBIT “C”
PD DESIGN STATEMENT

A. PROJECT ACREAGE AND LOCATION

The proposed Saddlebrook Planned Development is located on the east side of Post Oak Drive at the Creekside Dr. intersection. The property consists of approximately 16.77 acres. The property is currently zoned SF-2. There is an existing house structure located on the property, as well as a couple of existing sheds. The southern property boundary is bordered by an existing single family subdivision (Terrace Oaks), zoned PD-39 and the northern property boundary is bordered by future Creekside Drive and PD-69 (Hillside at Corinth) and undeveloped land. The eastern property boundary is vacant and zoned PD-5. Post Oak Drive runs along the whole length of the western property boundary.



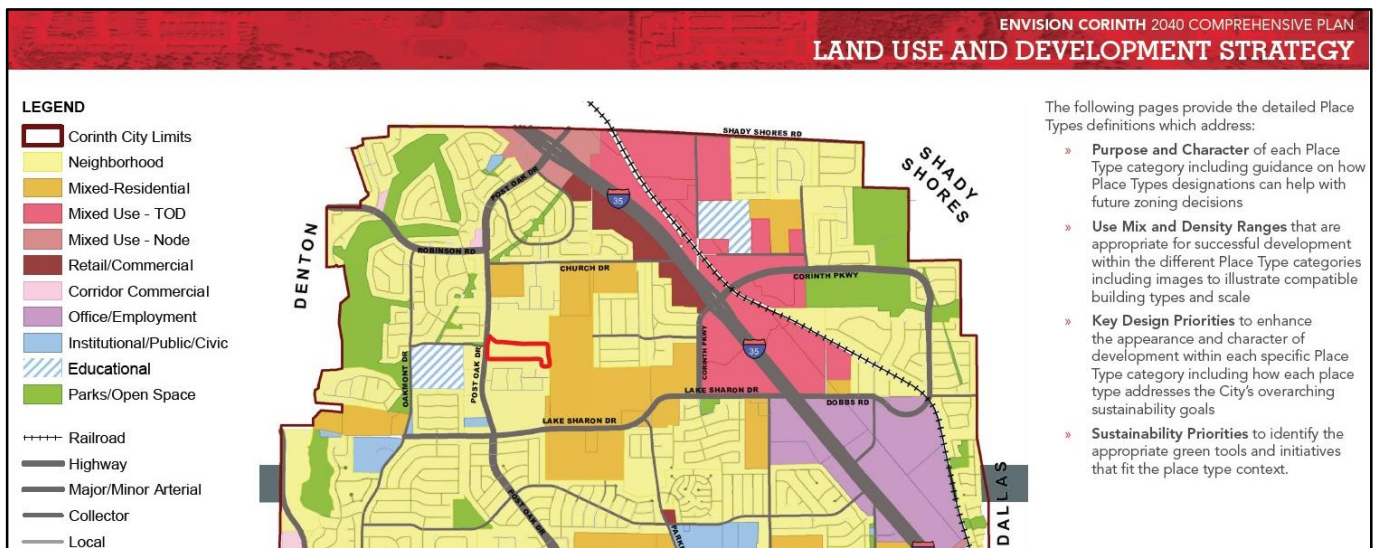
B. EXISTING SITE CONDITIONS (see Exhibit “B” for Existing Conditions)

The property is currently used for residential and agricultural purposes. Below is a brief description of the existing physical characteristics of the property.

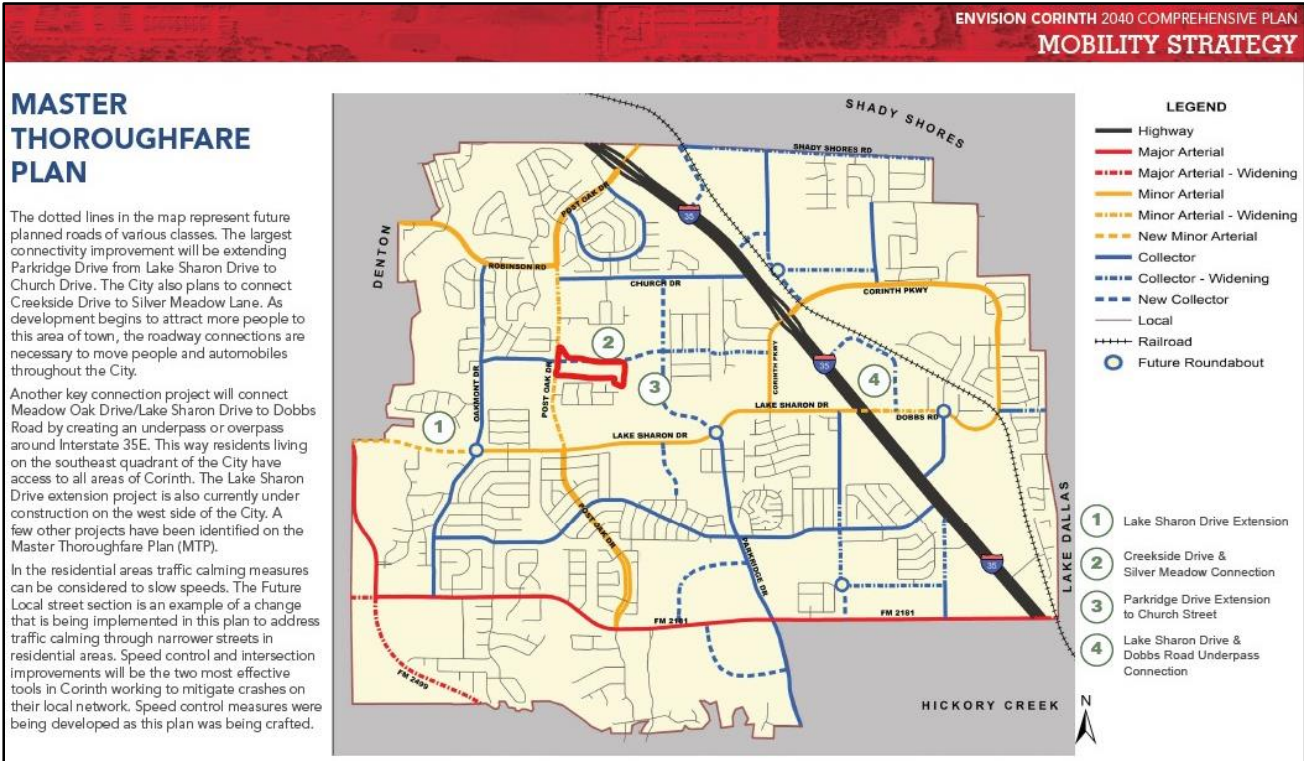
1. Elevations & Slope Analysis - The highest point of the property is generally located in the northern middle portion of the property and has an approximate elevation of 669. The site then slopes downward east, west & south from this high point. The approximate lowest elevation at the west property line is 647. The approximate lowest elevation at the south property line is 616 and the approximate lowest elevation at the east property line is 610.
2. Soil Characteristics - The soil characteristics of the property are typical of those found in North Texas, specifically those found in the City of Corinth. Most of the property is comprised of Gasil fine sandy loam.
3. Tree Cover - Portions of the property are “heavily treed”.

4. Floodplain/Drainage/Wetlands/Pond - None of the property is located within a floodplain. Detention ponds are anticipated near Post Oak Drive to handle runoff to the west and the southeast corner of the property to handle runoff to the east. This will be further analyzed and sized during final design of Civil Plans. There is one healthy Heritage Tree (41") located in the middle-west of the property that will be removed. There is also another dead Heritage Tree that is located in the Creekside Dr. ROW that will be removed.
5. Other - There is an existing 50' gas easement running from the existing Terrace Oaks subdivision up through the proposed development to the future Creekside Drive right of way. This gas easement will be preserved as open space. If this gas line is inactive and can be abandoned, then the line will be removed during construction and the easement will be abandoned with the Final Plat.

In accordance with the Envision 2040 Comprehensive Plan, adopted in 2020, the site is identified as Neighborhood per the Land Use and Development Strategy with the purpose and intent of maintaining the character and quality of existing neighborhoods and ensuring property values of existing neighborhoods stay stable through focus on maintenance, code enforcement, and neighborhood improvements (pocket parks, sidewalk connections to schools, entry features, etc.). The land use types and density envisioned are based on existing neighborhood layout and context and will provide appropriate transitions to existing neighborhoods. Design priorities are maintaining existing street network, parks and open space and providing additional sidewalk and trail connections where feasible. Additionally, sustainable priorities include focusing on local area detention infrastructure that also serves as an amenity for the benefit of adding value to the development.



Additionally, the Envision Corinth 2040 Comprehensive Plan Master Thoroughfare Plan Mobility and Strategy identifies a new Collector Street and a 6' sidewalk/trail to be located on the South side of Creekside through the subject site. The plan further notes that traffic calming measures be considered in order to slow traffic.



In coordination with the City Staff and adjacent landowners the Saddlebrook Concept plan shows the extension of Creekside Drive (Collector Street) along the northern boundary of the site. This will improve access to the site as well as contribute to the overall master thoroughfare plan and vision of Corinth. The extension of Creekside Drive will provide additional mobility and access for the upcoming Hillside Corinth development to the north.

C. PROJECT OVERVIEW / DESCRIPTION

The Saddlebrook Planned Development will be a single-family residential development that will provide a thriving community, promoting lot size variety and tree preservation.

The Future Land Use designation for this property is Neighborhood. The purpose and intent of Neighborhood is to maintain the character and quality of existing neighborhoods and ensure property values of existing neighborhoods stay stable through focus on maintenance, code enforcement, and neighborhood improvements (pocket parks, sidewalk connections to schools, entry features, etc.).

Saddlebrook will accommodate a trail connection at the existing Terrace Oaks subdivision, as well as, through the community and along the proposed collector roadway (Creekside Drive), in accordance with the City’s Transportation Plan.

The proposed base zoning district for Saddlebrook shall consist of SF-4, Single Family Residential (Detached). In an effort to promote a variety of housing options and housing products for future/existing Corinth residents, the Saddlebrook Planned Development will provide a mix of lot sizes. Saddlebrook Planned Development lot mix will consist of two (2) different lot size categories with the following minimums: “30’s” (30-foot-wide detached home lots) – minimum lot size of 3,000 square feet, and “45’s” (45-foot-wide detached home lots) – minimum lot size of 4,750 squarefeet.

The Saddlebrook Planned Development will provide the City of Corinth’s market with new residential, detached, single-family homes with a maximum gross density of approximately 5.78 dwelling units per acre as presented in Exhibit “E” – PD Concept Plan. This development will provide a great opportunity for a variety of new residents searching for a high-quality home in Corinth.

EXHIBIT “D”
PLANNED DEVELOPMENT STANDARDS

SECTION 1: PURPOSE AND BASE DISTRICT

A. Purpose

The regulations set forth herein provide development standards for single family residential uses within the Saddlebrook Planned Development District (PD). The boundaries of the PD are identified by metes and bounds on the Legal Description, Exhibit “A” to this Ordinance, and the Property shall be developed in accordance with these regulations and the Planned Development “PD” Concept Plan as depicted on Exhibit “E” and associated Ancillary Concept Plans. Any use that is not expressly authorized herein is expressly prohibited in this PD. The regulations set forth herein.

B. Base District

In this PD, the “SF-4” Single-Family Residential District (Detached) regulations of the Corinth Unified Development Code (UDC), Ordinance No. 13-05-02-08, as amended, shall apply to the Property except as modified herein. If a change to the PD Concept Plan, and/or associated Ancillary Concept Plans is requested, the request shall be processed in accordance with the UDC and development standards in effect at the time the change is requested for the proposed development per the Planned Development Amendment Process.

SECTION 2 – USES AND AREA REGULATIONS

A. Purpose

The Saddlebrook Planned Development is intended to provide a quality residential development utilizing the location and concepts outlined in the Envision Corinth 2040 Comprehensive Plan by promoting variation in single-family dwelling types and lot sizes to create a “traditional neighborhood development” following new urbanist concepts while respecting the larger lot transitions of the existing surrounding neighborhoods. The development includes approximately 97 Single-Family Detached lots, as set forth in Exhibit “E” – PD Concept Plan, providing views and access to common open spaces including a large central green space designed to preserve a large grove of existing mature trees. The preserved tree area will have natural slopes ranging from 10-25%. The remarkable topography of the preserved area will facilitate the six-foot (6’) trail system that will meander through the trees and will provide a natural amenity for the community to enjoy.

B. Permitted Uses and Use Regulations

In the proposed PD, no building, or lands shall be used, and no building shall be hereafter erected, reconstructed, enlarged, or converted unless otherwise provided for in the SF-4 Single Family Residential District (Detached) regulations of the UDC or otherwise permitted by this PD Ordinance. Permitted Uses in the SF-4, Single Family Residential (Detached) District, as listed in Subsection 2.07.03 of the UDC, shall be permitted in the proposed PD District. The residential building layout shall be in general conformance with the PD Concept Plan shown in Exhibit “E” attached hereto.

C. Dimensional Regulations

UDC Subsection 2.08.04 Residential Dimensional Regulations Chart for the SF-4 Single Family Residential (Detached) District shall apply, except as modified in Table A – Dimensional Requirements below:

Table A – Dimensional Requirements:

	SF-4 Base:	Dimensional Standards/Modification:	
		30' Lots	45' Lots
Front Yard Setback	25'	7.5'	20'/10' (1 &2)
Side Yard Setback: Interior Lot	5'	Min 0', Min Cumulative 6' 10'(3)	5' 10'(3)
Corner Lot	15'		
Rear Yard Setback	20'	20'	15'
Garage Setback	25'	20' (rear entry)(4)	20' (2)
Minimum Lot Area	7,500 SF	3,000 SF	4,750 SF
Maximum Density	N/A	N/A	N/A
Minimum Lot Width:	70' at building line	30'	45'
Minimum Lot Depth	100'	90' (105' typical)	98' (115' typical)
Minimum Floor Area	1,500 sq. ft.	1,300 sq. ft.	1,500 sq. ft.
Maximum Height (feet/stories)			
	35'/2.5	35' / 2.5	35' / 2.5
Maximum Building Area (all buildings)	30%	70%	70%

- (1) 10' Minimum Setback for the Front Porch
- (2) 20' Garage Setback on Front Entry Units.
- (3) Corner Lot is the lot where Lot sides to street ROW only.
- (4) Alley loaded 30' corner Lot to have minimum 18' garage setback.

Justification: These departures from the base district in subsection 2.04 are necessary to provide for the proposed product and are commonly found throughout the Dallas-Fort Worth Metroplex. These departures will also allow the property to be developed in accordance with the overall density outlined in the Envision Corinth 2040 Comprehensive Plan.

D. Development Standards

Except as otherwise set forth, the Development Standards of Subsection 2.04.04, SF-4, Single Family Residential (Detached) of Subsection 2.04, “Residential Zoning Districts” of the UDC, for the SF-4 Single Family District (Detached and all other requirements of the UDC shall apply to development within the proposed PD, Saddlebrook.

1. **UDC Subsection 2.07.07 Accessory Buildings and Uses** shall apply, as may be amended.
2. **UDC Subsection 2.09.01 Landscaping Regulations for Attached, and Detached Single Family Developments** shall apply, except as modified below:
 - a. Subsection 2.09.01.B.2.B.(a) and (b) **Required Landscaping and Location of Trees** shall be modified to require, at a minimum, the number, size, and location of Shade Trees for 30’ Home Lots and 45’ Home Lots as depicted in Exhibit “F” – Conceptual Landscape Plan (where Shade Trees are shown within lots, within the right-of-way, and within Common Open Space X-Lots). The exact location and type of species of said Shade Trees shall be further defined in the detailed Landscape Plan to be submitted with Civil Plans. The detailed Landscape Plan shall serve as a guide for the Builder and City Staff during construction by identifying the species to be planted along each street as well as standards for Shade Trees to be located within the public right-of-way (in the “Parkway,” where Parkway is defined as the five foot (5’) or wider landscaped area between the sidewalk and curb), and as located within the respective Lots fronting onto common open space X-Lots (where Shade Trees as shown to be located along the sidewalk/trail). Shade Trees shall be located 30’ on center within the aforementioned parkway.
 - i. The Builder shall be responsible for the installation of the Shade Trees associated with each 30’ and 45’ Lots as described above and depicted on Exhibit “F”— Conceptual Landscape Plan and as shall be further deigned on the Landscape Plans at time of the Civil Plans as noted above. This shall include Shade Trees to be located in the Parkway adjacent to each lot (front and side frontage) and trees shown within the lot or common open space lot, where applicable. The installation of the shade trees shall be satisfied prior to issuance of Certificate of Occupancy/Building Final.
 - ii. The Developer shall be responsible for installing Shade Trees within all “Parkway” locations that abut common open space lots and along Creekside Drive and shall be further defined in the Landscape Plan to be submitted at time of Civil Plan).
 - iii. 30’ and 45’ Homes shall be subject to the minimum landscape requirements including shrubs and ornamental tree(s) as set forth in Subsection 2.09.01.B. – Requirements for Single Family Attached and Detached Lots except as noted above whereby the required Shade Trees shall be permitted (and shall be required) to be located within the Parkway (departure from B.(b)(1) location of trees) and with the exception that landscape in all front yards shall be consistent with the principles and recommendations of Texas SmartScape landscaping.
 - b. All landscaping and Shade Trees within the Parkway, along Creekside Drive, and within the common open space X-Lots shall be maintained by the Homeowners Association in perpetuity.
 - c. Front yard and common open space lot landscaping shall utilize drought-tolerant, native vegetation in keeping with Texas SmartScape principles.

3. **UDC Subsection 2.09.02 Tree Preservation shall apply, except as modified below:**
- a. The Applicant has agreed to preserve a minimum of 20.1% of the total Healthy Protected Tree caliper inches on site within Common Open Space Lots (X-Lots) as generally depicted on Exhibit “F”—Conceptual Landscape Plan and Tree Preservation Plan which currently depicts a preservation rate of 26.8% as a goal. Recognizing this commitment, 1.79 acres of the Tree Preservation area shall be counted towards satisfying the minimum required Trail and Land Dedication Requirements of UDC Subsection 3.05.10. provided that a minimum 20.1% percentage of Healthy Protected Tree caliper inches are preserved in perpetuity within the Common Open Space Lots (X-Lots) as referenced herein for minimum preservation and as confirmed at the time of Civil Construction Plans with the submittal of the formal Tree Preservation/Mitigation Plan documents.
4. **UDC Subsection 2.09.03 Vehicular Parking Regulations and Pedestrian Oriented Street Design shall apply, except as modified below:**
- a. Two car garage spaces shall be provided to accommodate off-street parking requirements for single family dwellings.
 - b. On-Street parking shall be provided as generally depicted in **Exhibit “E”—PD Concept Plan and Exhibit “F”—Conceptual Landscape Plan.**
 - c. Typical Street Sections are presented in Exhibit “E” – PD Concept Plan and depict the location of on-street parking spaces, curbs, parkways, street trees, sidewalks, and minimum front yard setbacks.
5. **UDC Subsection 2.04.04.C.2 Garage Regulations shall apply, except as modified below:**
- a. The garage door(s) shall have a minimum setback of 20 feet. No more than two (2) single garage doors or one (1) double garage door shall face the primary street on a front elevation. In conjunction with this standard is the minimum/maximum primary façade setback requirement of 10’(minimum) to 20’(maximum) which requires the front porch and/or front façade of the home to define the streetscape.
 - b. Driveway width shall be a minimum of 11 feet wide and a maximum of 16 feet wide and may widen to a maximum width of 18’ past the inner edge of the sidewalk. If the driveway is less than 16’ in width, the curb shall be designed with a rolled curb.
 - c. For any dwelling on a lot less than 45’ in width (Typical 30’ Lot) at the front building setback line, the garage shall be accessed by the alley
 - d. Garage doors facing the public street shall be decorative with either hardware and/or glass inserts. Additionally, sconces shall be provided as an architectural amenity along with the decorative doors. Alley served garage doors are not subject to this provision.
 - e. The following are examples of decorative garage doors that generally comply with this section.



6. **UDC Subsection 2.09.04 Building Façade Material Standards** shall apply, except as modified below:

- a. Exterior wall materials – Each façade (excluding doors and windows) shall consist only of masonry construction materials and/or fiber- reinforced cementitious board as presented in Exhibit “G”— Representative Product Types.
- b. Each building shall include at least four of the following architectural elements; however, a Covered Front Porch shall be required for each front façade for all lots (min. 70 square feet).
 - i. Metal roof accents;
 - ii. Dormers;
 - iii. Offsets within each building (a minimum 5 feet to receive credit);
 - iv. Covered Front Porches (a minimum of 7' depth & seventy (70) square feet in size, including the front door entrance area);
 - v. Stoops (a minimum of 2 feet tall by 4 feet wide);
 - vi. Varied roof height in building (a minimum of 10-foot difference)
 - vii. Sconce lighting;
 - viii. Decorative banding or molding;
 - ix. Awnings or canopies – awning or roof overhang over garage door shall be required for all front-loaded lots as generally shown on Exhibit “G” – Representative Elevation Imagery
 - x. Front porch columns;
 - xi. Bay windows; and
 - xii. Shutters

7. **UDC Subsection 2.09.05 Residential Adjacency Standards** shall apply.
8. **UDC Subsection 2.09.06 Nonresidential Architectural Standards** shall apply.
9. **UDC Subsection 2.09.07 Lighting and Glare Regulations** shall apply.
10. **UDC Subsection 4.01 Sign Regulations** shall apply.
11. **UDC Subsection 3.05.05 Alley Standards** shall apply.
 - a. Typical Alley Section – see Exhibit “E” – PD Concept Plan
12. **UDC Subsection 3.05.09 Lot Standards** shall apply, except that 30’ Lots fronting onto Common Open Space X-lots, with rear entry access provided by an alley, shall be allowed, as shown in Exhibit “E”.

Justification:

This departure from subsection 3.05.09 of the UDC is necessary to provide a unique design with additional landscaping while continuing to achieve an overall density consistent with the Envision Corinth 2040 Comprehensive Plan. This departure also allows for additional landscaped open space.

13. **UDC Subsection 3.05.10 Park and Trail Dedication** requires that Park and Trail dedication for Residentially Zoned Property be provided at a rate of 1 acre per/50 DU and/or fees-in-lieu-of or combination shall apply, except as modified below:
 - a. Exhibit “E” shows 4.11 acres of common open space land to be owned and maintained in perpetuity by the Homeowners Association. Of that area, 1.91 acres shall satisfy the requirement of Subsection 3.05.10. Amenities within the common open space lots include site furnishing and associated enhanced landscaping located along sidewalks and trails.
 - b. Existing Healthy Protected Trees and any required Mitigation Trees to be replanted within common open space lots shall be preserved in perpetuity and cared for by the Homeowner’s Association.
 - c. Trails, sidewalks, and amenities located within the common open space (X-lots) shall be maintained and replaced in kind in the event of removal, disrepair, and/or destruction as provided for the restrictive covenants. The details of such ownership and maintenance obligation shall be set forth in the covenants and shall be recorded prior to recording of the Final Plat
 - i. Developer shall construct a minimum six foot (6’) wide trail system, which may meander between the public right-of-way and the common open space lots along Creekside Drive (X-lots) and a five foot (5’) wide trail system through 50’ gas easement (with gas company’s permission) as generally depicted in Exhibit “F”—Conceptual Landscape Plan. Where a sidewalk or trail meanders outside of the public right-of-way and into the common open space lots (X-lots), a public pedestrian access easement shall be provided permitting public access along the pedestrian trail system.
 - d. Trails shall utilize lighting in strategic locations in line with best practices. Location of lighting to be ultimately determined at the time of full landscape plan submittal.
 - e. The western wet retention area shall be improved with walkway/sidewalk to the North and South of it. It should have at least 1 defined landscape pocket to include sitting area with benches, lighting and shrub bed. The pond shall include a fountain feature.




- f. The eastern dry detention area shall be improved with five-foot (5') meandering trail on 2 sides that include defined landscape pockets to include sitting area with benches, lighting ornamental grass and shrub bed. Shade trees and ornamental trees provided along the trail may count towards mitigation credits. The flat bottom of the basin shall be kept manicured, maintained, and in a condition that will not promote standing water. Mitigation trees such as bald cypress may be planted in clusters in strategic locations within the basin area to create small groves and shade around the edges of the pond, provided no trees interfere with the function of the pond as determined at the time of Civil review.
- g. A nature-based design playground shall be installed within the common open space, with final design to be determined at time of Landscape/Hardscape Plan with the Civil Plan Set.

Justification:

These departures from subsection 3.05.10 of the UDC are necessary to allow the developer to provide inclusive open space that promotes active outdoor experiences for all residents of the City of Corinth.

14. UDC Subsection 4.02 Fence and Screening Regulations shall apply, except as modified below and further depicted on Exhibit “F” – Conceptual Landscape Plan:

- a. A 6'-0” in height masonry-wall with 7'-0” in height masonry columns, with columns spaced every other lot corner and at wall ends, shall be provided as shown on Exhibit “F”.
- b. The following standards shall apply to fencing as noted on Exhibit “F” – Conceptual Landscape Plan and further outlined below:

-  6'-0" HT. MASONRY SCREENING WALL WITH 7'-0" HT. MASONRY COLUMNS AT WALL TERMINATION; BY DEVELOPER
-  6'-0" HT. ORNAMENTAL METAL FENCE WITH 7'-0" HT. MASONRY COLUMNS AT FENCE TERMINATION; BY DEVELOPER
-  6'-0" HT. ORNAMENTAL METAL FENCE; BY BUILDER

SECTION 3: OTHER DEVELOPMENT CONSIDERATIONS

A. Representative Product Type

- 1. Exhibit “G” provides a representation of the home model types to be constructed in the Saddlebrook Planned Development according to dwelling type: 30’ Lot and 45’ Lot

B. Sidewalks

- 1. Sidewalk shall be provided by home builders during construction of the home with the exception of sidewalks and trails noted along and within the Common Open Space Lots which shall be installed by the Developer

C. Authorization for Sanitary Sewer service

- 1. Per previous coordination with the City of Corinth, the west half of the proposed development will sewer to Post Oak Drive and then north in an existing sanitary sewer system. The east half of the

proposed development will sewer to the southeast and into an existing sanitary sewer manhole within the new Meritage development. Written authorization and an easement will be needed from the existing property owner to the east. The alignment of the offsite sanitary sewer easement shall be referenced on the Preliminary Plat for Saddlebrook as an off-site improvement and dedicated at the time of Civil Plan approval by plat or separate instrument and recorded in the records of the Denton County Clerk.

D. Creekside Drive

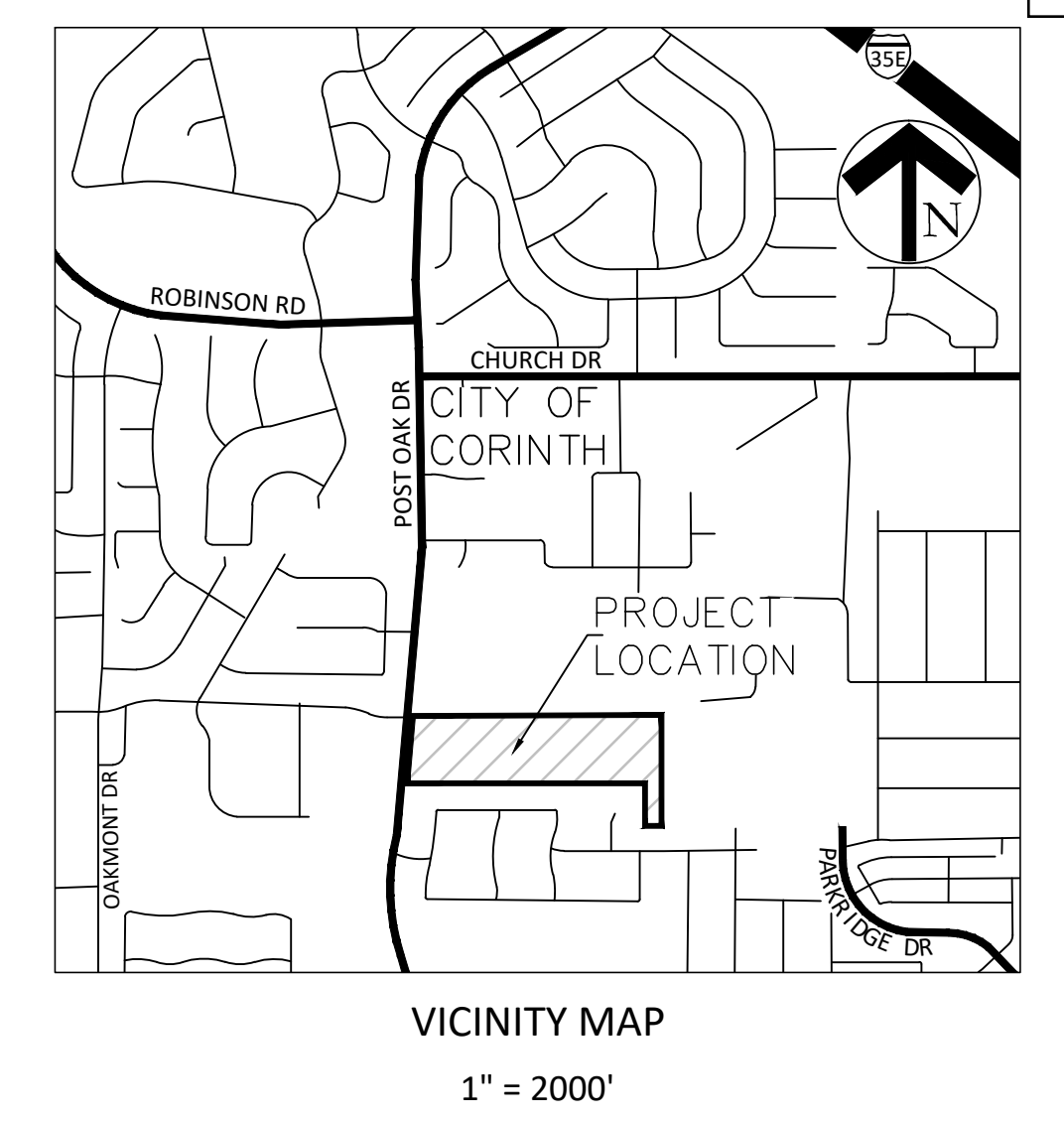
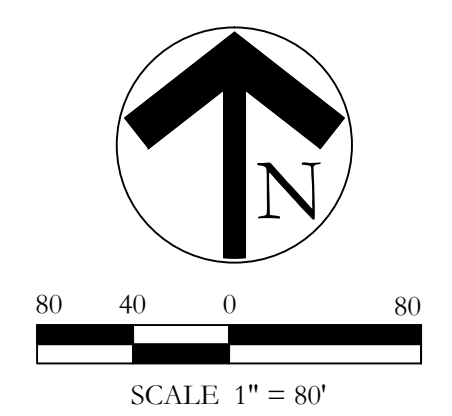
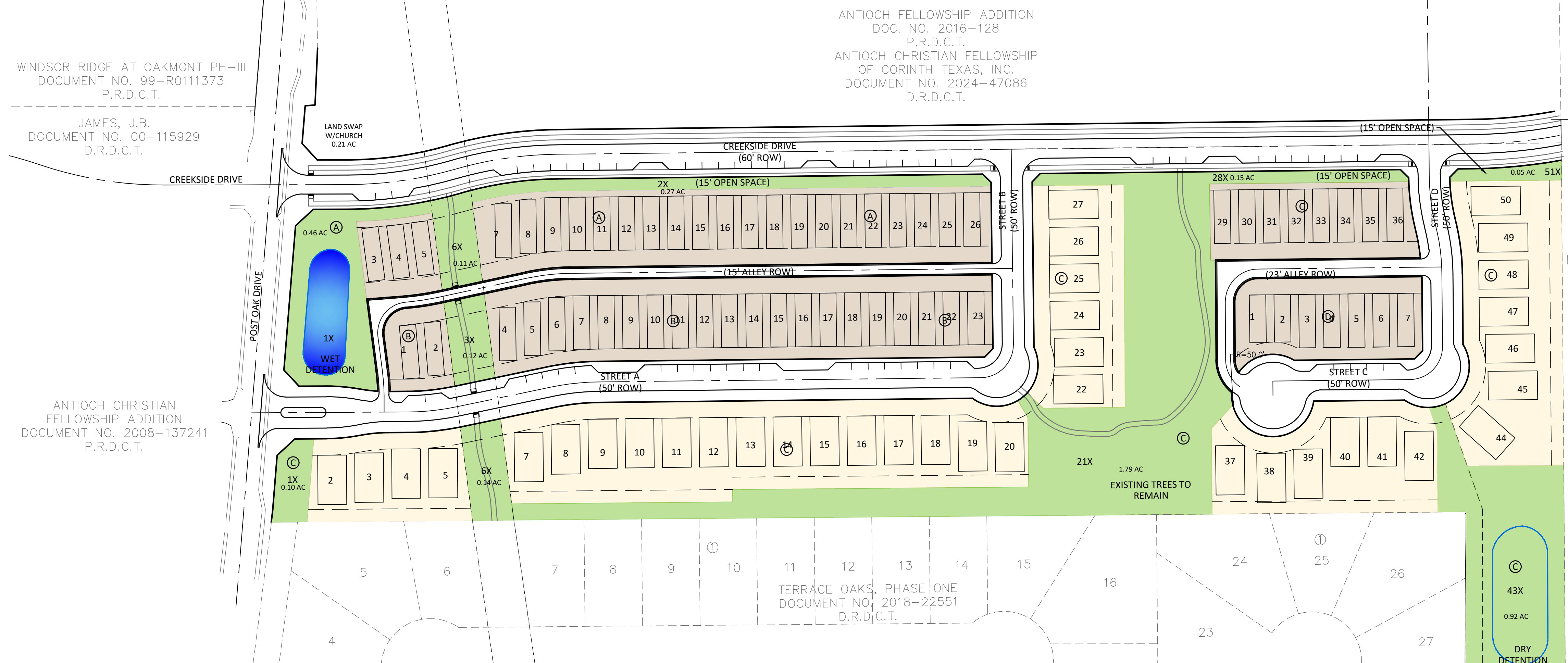
1. Creekside Drive is on the City's Master Thoroughfare Plan (MTP) and is being proposed to be constructed solely by the applicant. The rights-of-way shall be referenced on the Preliminary Plat for the Saddlebrook plat as off-site improvements and dedicated at the time of Civil Plan approval by plat or separate instrument and recorded in the records of the Denton County Clerk.
2. Should it be determined at the time of civil design that alterations to the north side of Creekside Drive are necessary to accommodate additional retaining walls or other infrastructure, the design of Creekside Drive may be modified to reduce the northern trail width to a minimum of six-feet (6') and reduce the landscape strip width to a minimum of six-feet (6') between the trail and curb as generally depicted on the alternative Collector Road cross-section included on the Concept Plan – Exhibit "E". This design alteration shall only be permitted should it be determined by the City's Engineer that the proposed eight-foot (8') wide trail cannot be reasonably accommodated, and the trail shall be maximized in width up to 8' as possible.
3. The design and construction of the Creekside Drive shall be in accordance with the typical as depicted on both the Concept Plan - Exhibit "E" and Conceptual Landscape Plan – Exhibit "F" which includes the installation of Shade Trees within the Parkway.

E. Phasing

1. This property will be developed in one (1) phase.

F. Utility Infrastructure/Floodplain and Drainage

1. Electric, Gas, and Telecom utilities will all be installed in a 7.5' Franchise Utility Easement which shall be dedicated along all street/alley ROW and within a 5' Franchise Utility Easement along the side yard where necessary.
2. There is no floodplain on this property. There is a small offsite sanitary sewer easement in the southeast corner required to serve the east half of the proposed development. Any proposed drainage will not affect the protected tree groves shown in the Tree Preservation Plan.



Site Summary Table		
Description	Quantity	Units
Proposed Base Zoning		PD-XX
Land Use Designation		Residential
Gross Acreage	16.770	AC
Net Acreage	14.980	AC
Proposed Lots		
Proposed 30' Lots	60	UNIT
Proposed 45' Lots	37	UNIT
Total Proposed Lots	97	UNIT
Total Proposed Net Open Space Lots	11	LOT
Area of Net Undeveloped Open Space	1.79	AC
Area of Net Open Space	4.11	AC
Percentage of Open Space	25%	%
Area of Required Landscaping Provided	2.32	AC
30' Lots Minimum Floor Area	1,300	SF.
45' Lots Minimum Floor Area	1,500	SF.
Maximum Building Height	35/2 - 1/2	FT
Required Parking (2 Per Lot) - 192 Spaces		
Driveway/Street Parking Provided	256	UNIT
Garage Parking (2 Per Unit)	194	UNIT
Total Parking	450	UNIT
Start of Construction (Month/Year)		

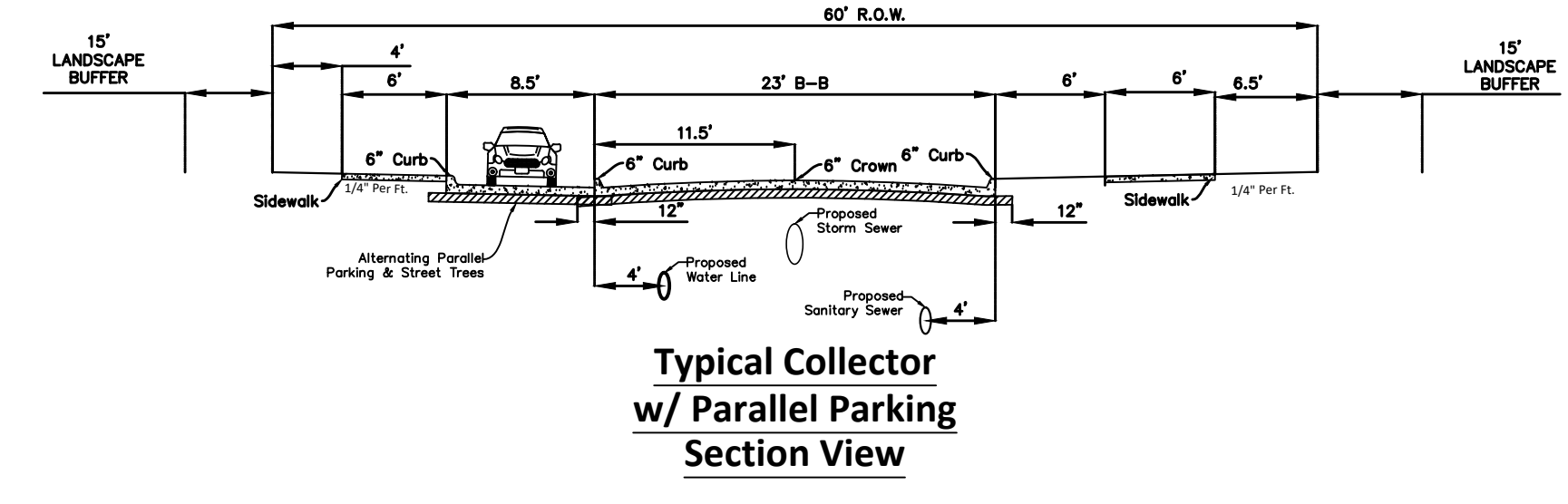
EXHIBIT E - PD CONCEPT PLAN
SADDLEBROOK
 CITY OF CORINTH, DENTON COUNTY, TEXAS

TOTAL RESIDENTIAL LOTS 97
 TOTAL OPEN SPACE 11
 TOTAL GROSS ACRES 16.770

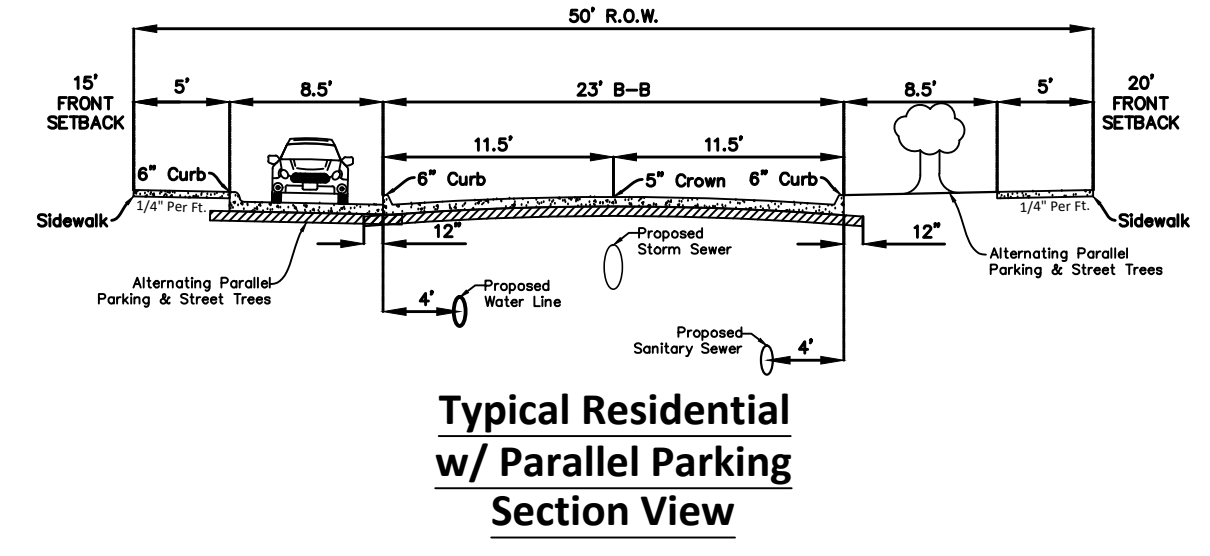
OUT OF THE
 WILLIAM C. GARRISON SURVEY, ABSTRACT No. 508

Applicant
 Bridge Tower Homes, LLC
 5430 LBJ Freeway, Suite 1050
 Dallas, Texas 75240
 Phone: 469-936-1695
 Contact: Shaivali Desai

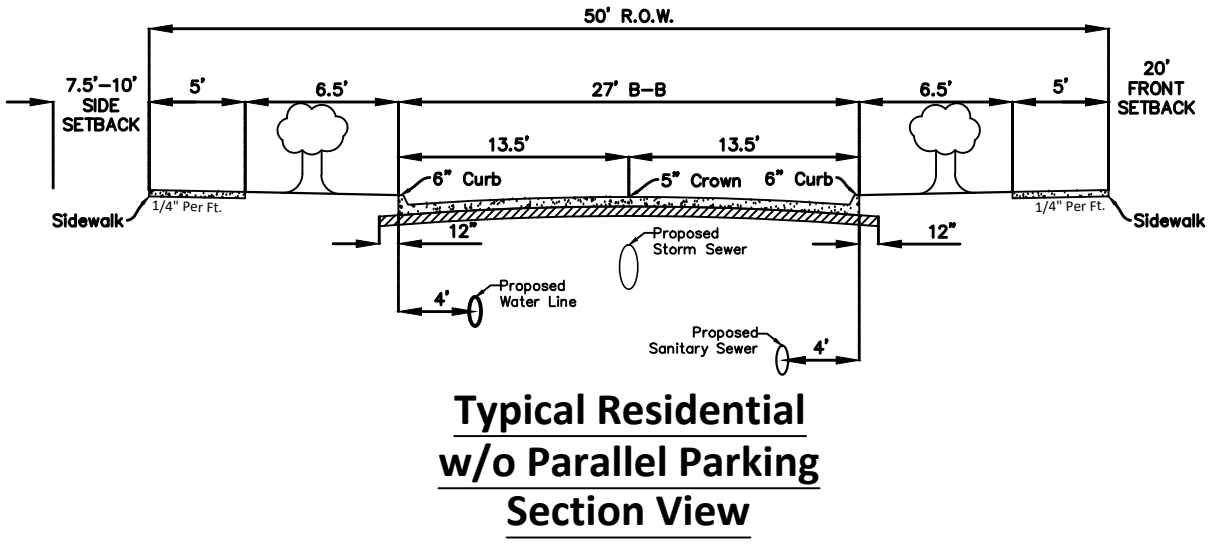
Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite. 1200
 Plano, Texas 75074
 Phone: 972-201-3100
 Contact: Tom Dayton, PE



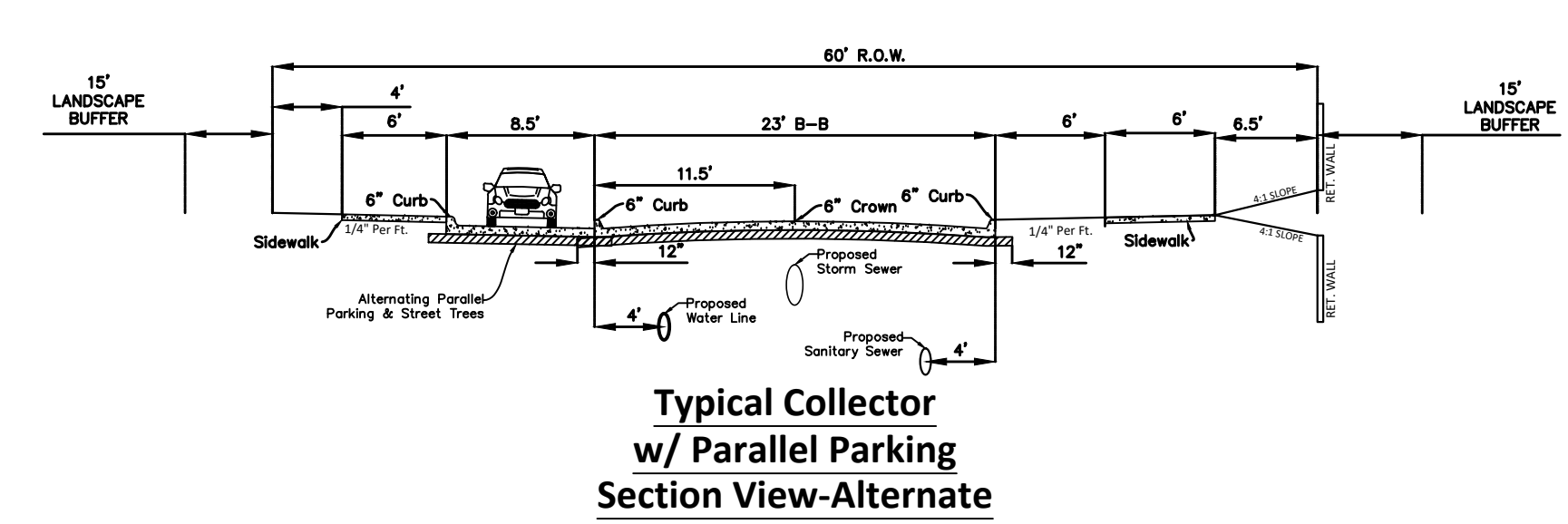
Typical Collector w/ Parallel Parking Section View



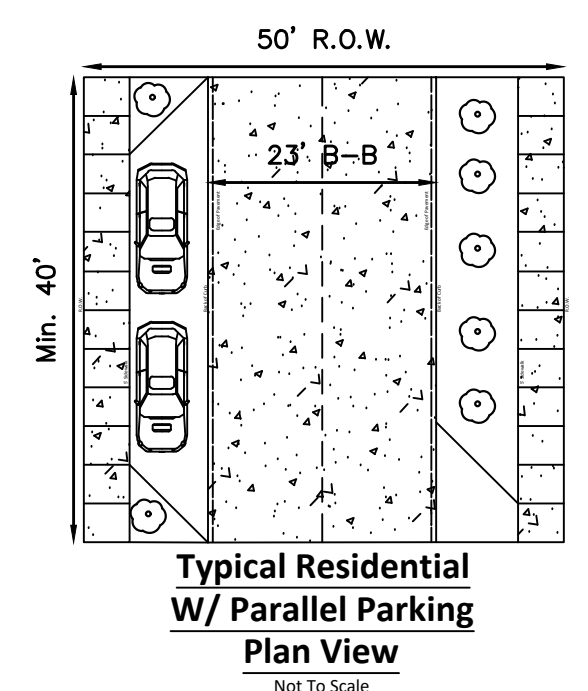
Typical Residential w/ Parallel Parking Section View



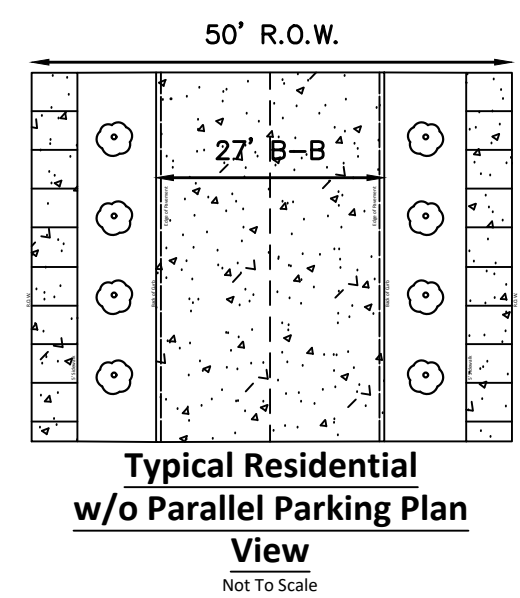
Typical Residential w/o Parallel Parking Section View



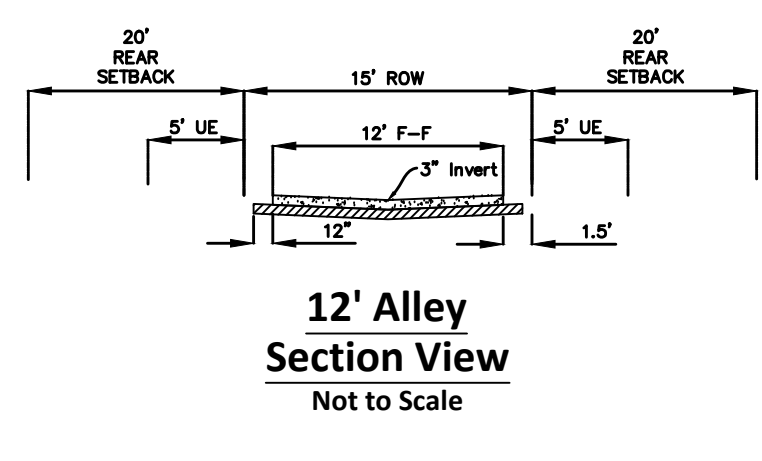
Typical Collector w/ Parallel Parking Section View-Alternate



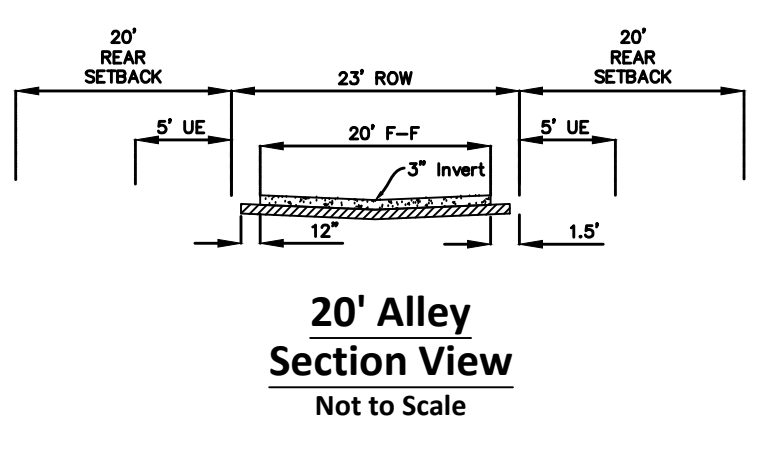
Typical Residential w/ Parallel Parking Plan View



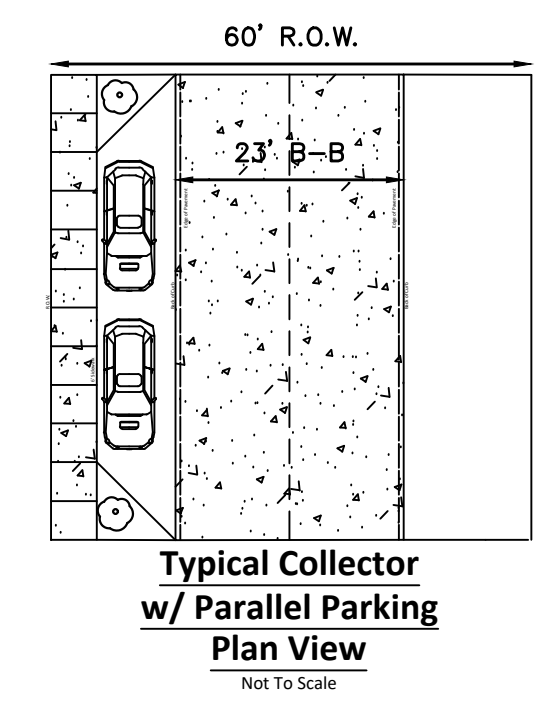
Typical Residential w/o Parallel Parking Plan View



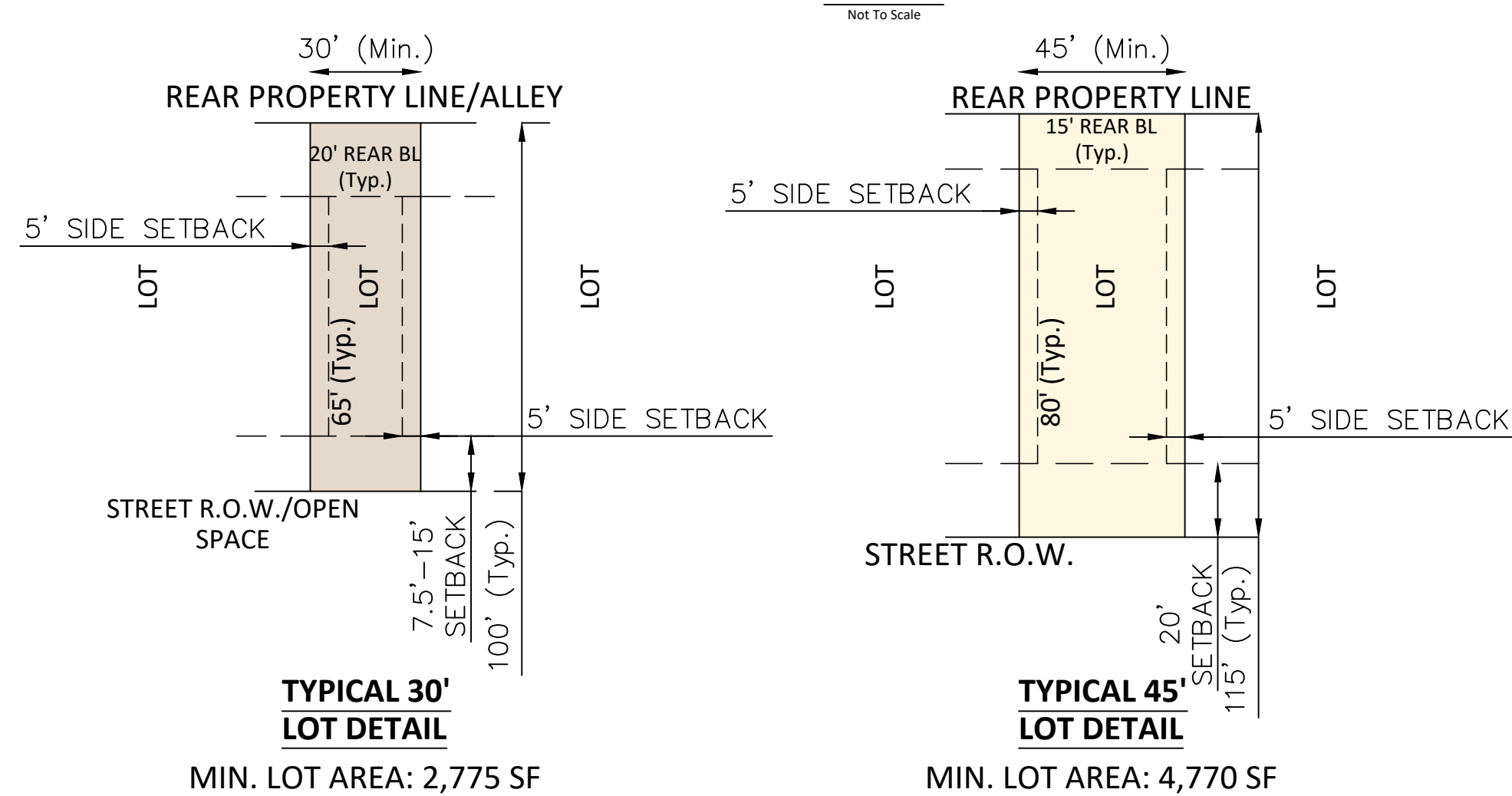
12' Alley Section View



20' Alley Section View



Typical Collector w/ Parallel Parking Plan View

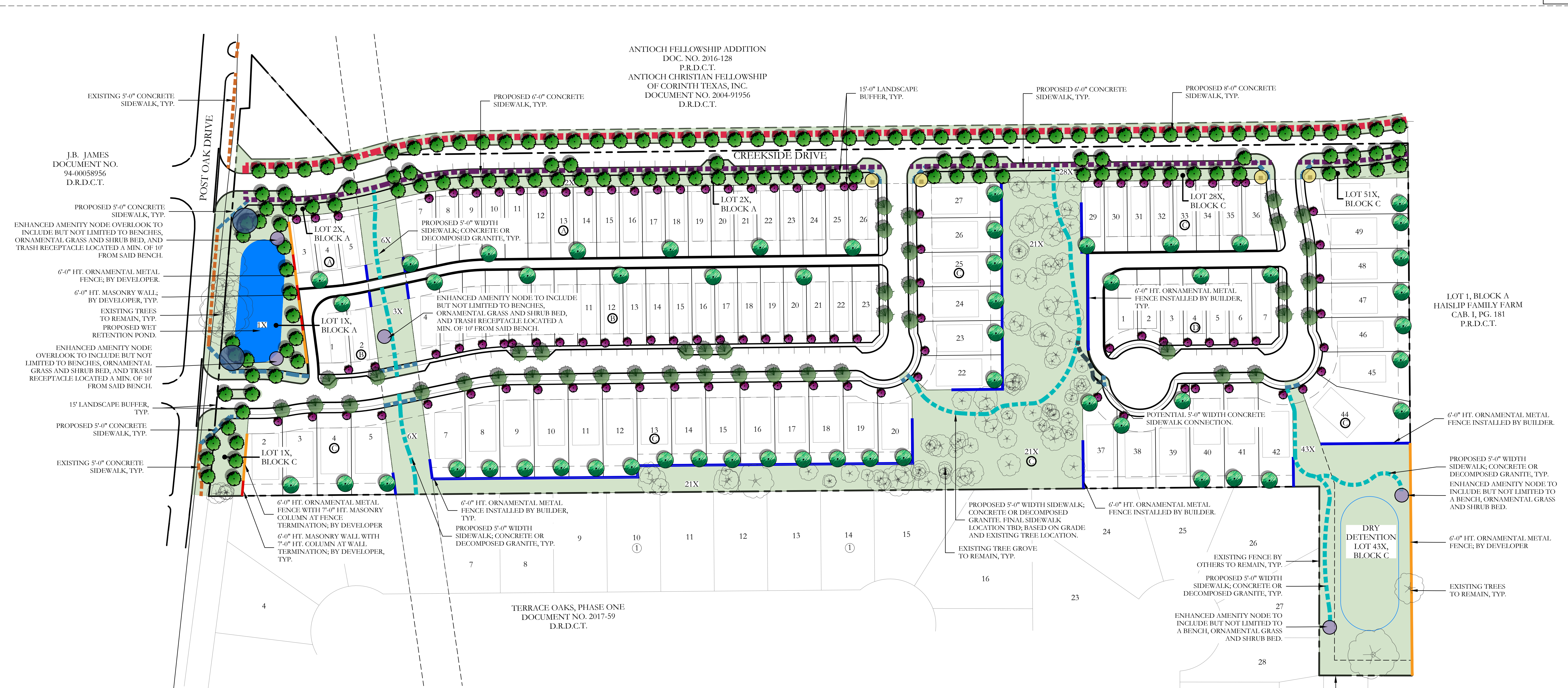


TYPICAL 30' LOT DETAIL
 MIN. LOT AREA: 2,775 SF

TYPICAL 45' LOT DETAIL
 MIN. LOT AREA: 4,770 SF

- 30'X100' LOT
- 45'X115' LOT
- GREEN/OPEN SPACE

PRODUCT	UNITS	ACCESS	% OF UNITS
30'X100' (TYP)	60	REAR	62
45'X115' (TYP)	37	FRONT	38
TOTAL	97	-	100



NOTE: REFER TO TREE SURVEY FOR EXACT LOCATION OF ALL EXISTING TREES TO REMAIN.



CALLOUTS LEGEND:

	6'-0" HT. MASONRY SCREENING WALL WITH 7'-0" HT. MASONRY COLUMNS AT WALL TERMINATION; BY DEVELOPER.		8'-0" WIDTH CONCRETE SIDEWALK.
	6'-0" HT. ORNAMENTAL METAL FENCE WITH 7'-0" HT. MASONRY COLUMNS AT FENCE TERMINATION; BY DEVELOPER		6'-0" WIDTH CONCRETE SIDEWALK.
	6'-0" HT. ORNAMENTAL METAL FENCE; BY BUILDER.		5'-0" WIDTH CONCRETE SIDEWALK.
	MAIN ENTRY SIGN MONUMENT.		5'-0" WIDTH SIDEWALK CONCRETE OR DECOMPOSED GRANITE.
	10'-0" HT. MASONRY LOGO COLUMN		POTENTIAL 5'-0" WIDTH CONCRETE SIDEWALK CONNECTION.
	ENHANCED AMENITY NODE TO INCLUDE BUT NOT LIMITED TO BENCH, ORNAMENTAL GRASS AND SHRUB BED, AND TRASH RECEPTACLE LOCATED A MIN. OF 10' FROM SAID BENCH.		EXISTING 5'-0" WIDTH CONCRETE SIDEWALK TO REMAIN.
	OPEN SPACE		3" CALIPER SHADE TREE; SPECIES TBD. BASED OFF CITIES RECOMMENDED PLANT MATERIAL LIST; INSTALLED BY DEVELOPER.
			3" CALIPER SHADE TREE; SPECIES TBD. BASED OFF CITIES RECOMMENDED PLANT MATERIAL LIST; INSTALLED BY BUILDER.
			PRIVATE LOT 3" CALIPER SHADE TREE. INSTALLED BY BUILDER.
			PRIVATE LOT 2" CALIPER ORNAMENTAL TREE; INSTALLED BY BUILDER.

LANDSCAPE PROVIDED:

POST OAK DRIVE

A. 1 - 3" CAL SHADE TREE / 30 LF OF LANDSCAPE EDGE
257 LF / 30 LF = 856 - 3" CAL SHADE TREES REQUIRED.
PROVIDED: 8 EXISTING TREES TO REMAIN
1 - 3" CAL SHADE TREE.
TOTAL: 9 TREES ALONG POST OAK DRIVE

B. 1 - 3" CAL SHADE TREE / 30 LF OF SCREEN WALL
267.40 LF / 30 LF = 891 - 3" CAL SHADE TREES REQUIRED.
PROVIDED: 9 - 3" CAL SHADE TREE.

CREEKSIDE DRIVE - NORTH

A. 1 - 3" CAL SHADE TREE / 30 LF OF LANDSCAPE EDGE
1,509 LF / 30 LF = 503 - 3" CAL SHADE TREES REQUIRED.
PROVIDED: 50 - 3" CAL SHADE TREE.

CREEKSIDE DRIVE - SOUTH

A. 1 - 3" CAL SHADE TREE / 30 LF OF LANDSCAPE EDGE
1,525 LF / 30 LF = 508 - 3" CAL SHADE TREES REQUIRED.
PROVIDED: 51 - 3" CAL SHADE TREE.

INTERNAL SOUTH ENTRY DRIVE

A. 1 - 3" CAL SHADE TREE / 30 LF OF LANDSCAPE EDGE
120 LF / 30 LF = 4 - 3" CAL SHADE TREES REQUIRED.
PROVIDED: 4 - 3" CAL SHADE TREE.

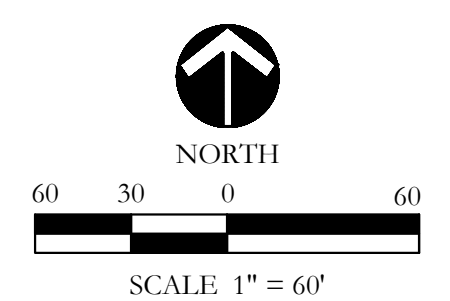
ADDITIONAL TREES SHOWN

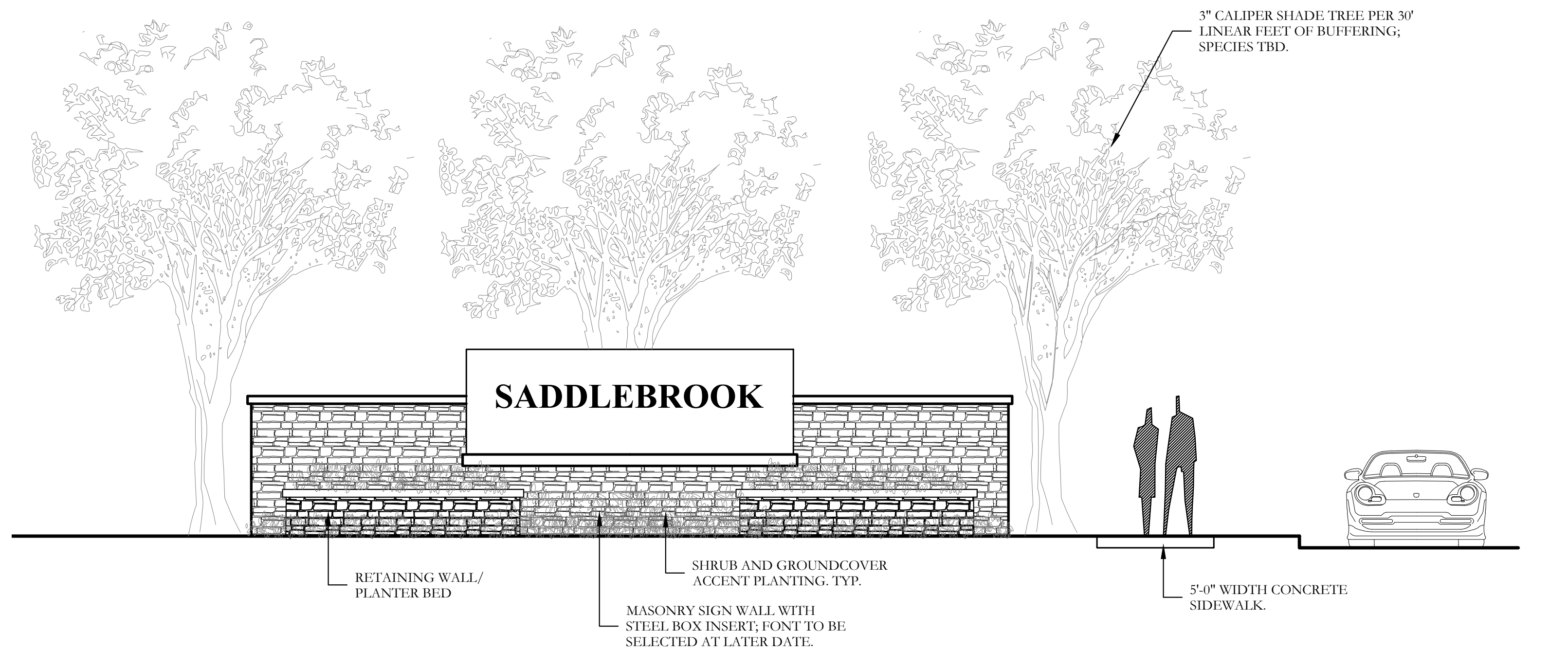
A. PROVIDED: 20 - ADDITIONAL 3" CAL SHADE TREES NOT COUNTING TOWARDS REQUIRED LANDSCAPE SHOWN.

SADDLEBROOK / CONCEPTUAL SCREENING AND BUFFERING

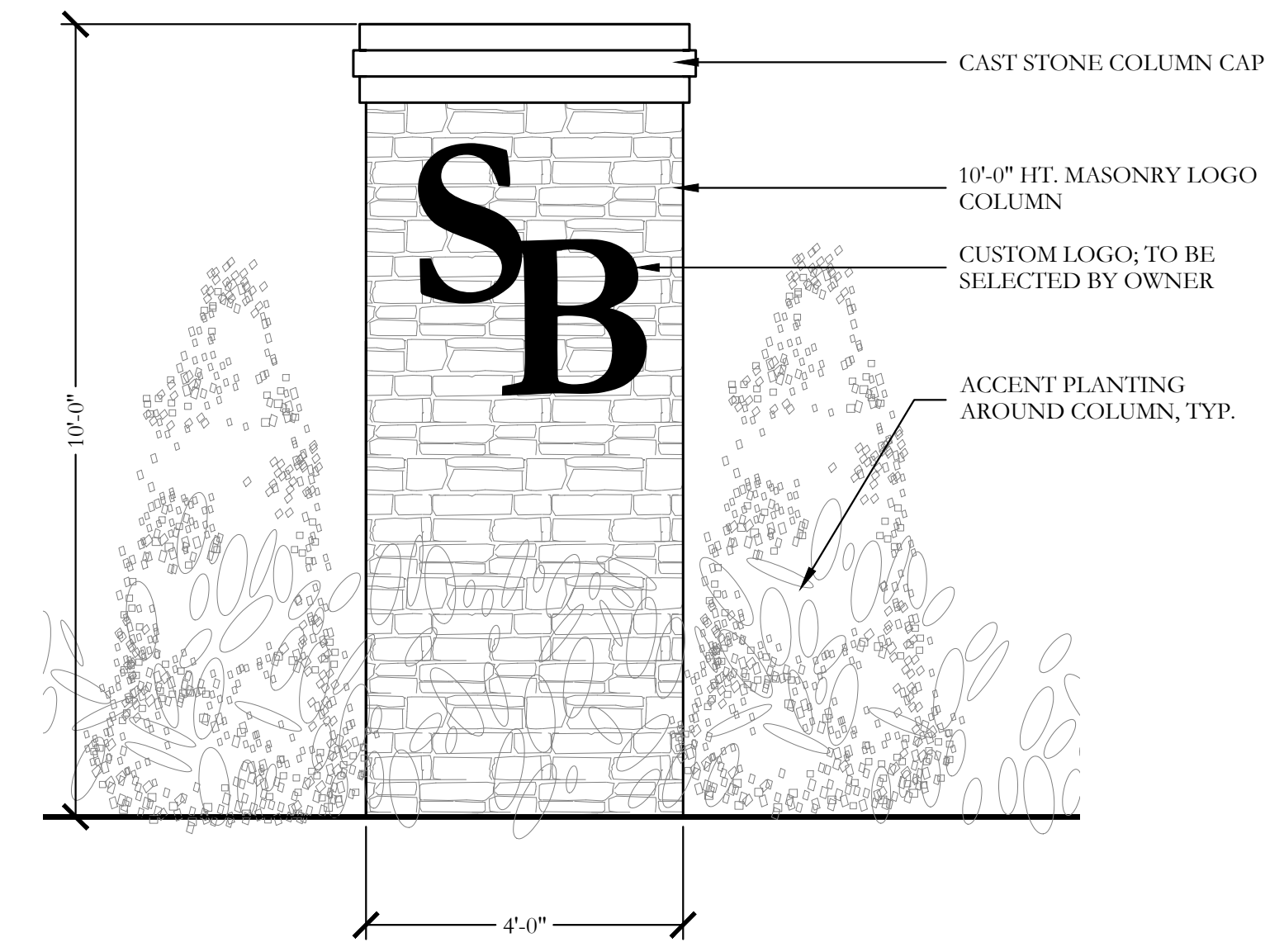
EXHIBIT F
CONCEPTUAL LANDSCAPE PLAN

NOTE: ALL PLANS SHOWN HEREIN ARE CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE.

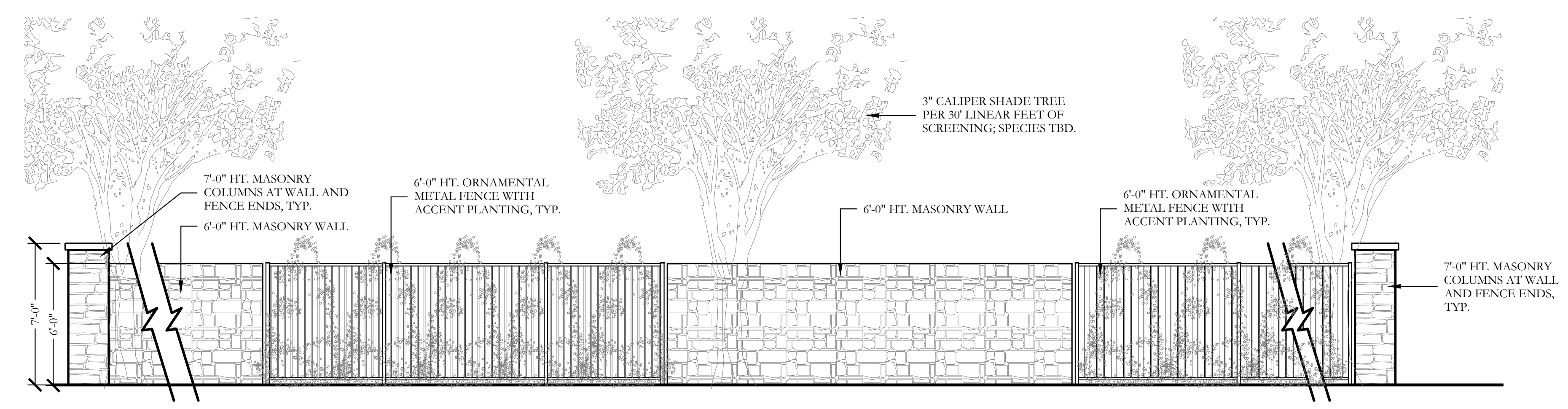




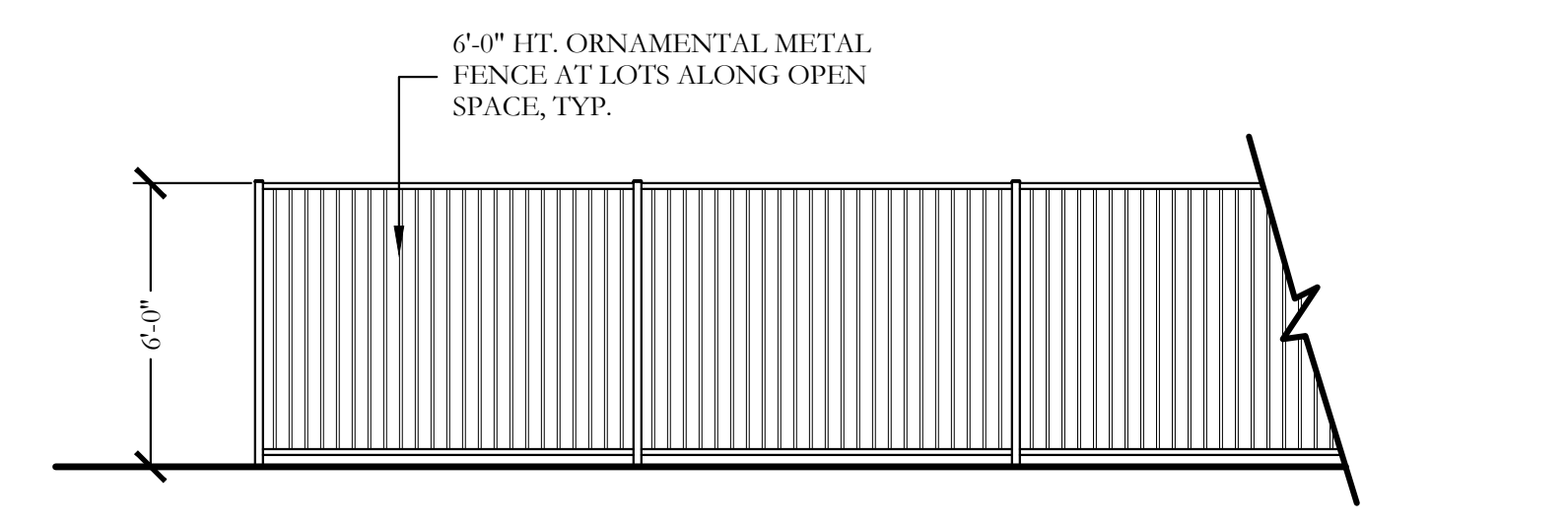
1 MAIN ENTRY SIGN MONUMENT ELEVATION SCALE: 1/4" = 1'-0"



3 10'-0" HT. MASONRY LOGO COLUMN ELEVATION SCALE: 1/2" = 1'-0"



2 6'-0" HT. MASONRY WALLS AND 6'-0" ORN. METAL FENCE ALONG POST OAK DRIVE ELEVATION SCALE: 1/4" = 1'-0"



4 6'-0" HT. ORN. METAL FENCE ALONG OPEN SPACES ELEVATION SCALE: 1/4" = 1'-0"

NOTE: SIGNAGE IMAGES ARE FOR REFERENCE ONLY AND SHALL COMPLY WITH UDC SECTION 4.01

SADDLEBROOK / CONCEPTUAL SCREENING AND BUFFERING

City of Corinth, Denton County, Texas

SHEET 2 OF 2 City Submittal 02-11-2025

EXHIBIT F CONCEPTUAL LANDSCAPE PLAN

NOTE: ALL PLANS SHOWN HEREIN ARE CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE.



ANTIOCH FELLOWSHIP ADDITION
DOC. NO. 2016-128 ; P.R.D.C.T.
ANTIOCH CHRISTIAN FELLOWSHIP
OF CORINTH TEXAS, INC.
DOCUMENT NO. 2004-91956 ; D.R.D.C.T.

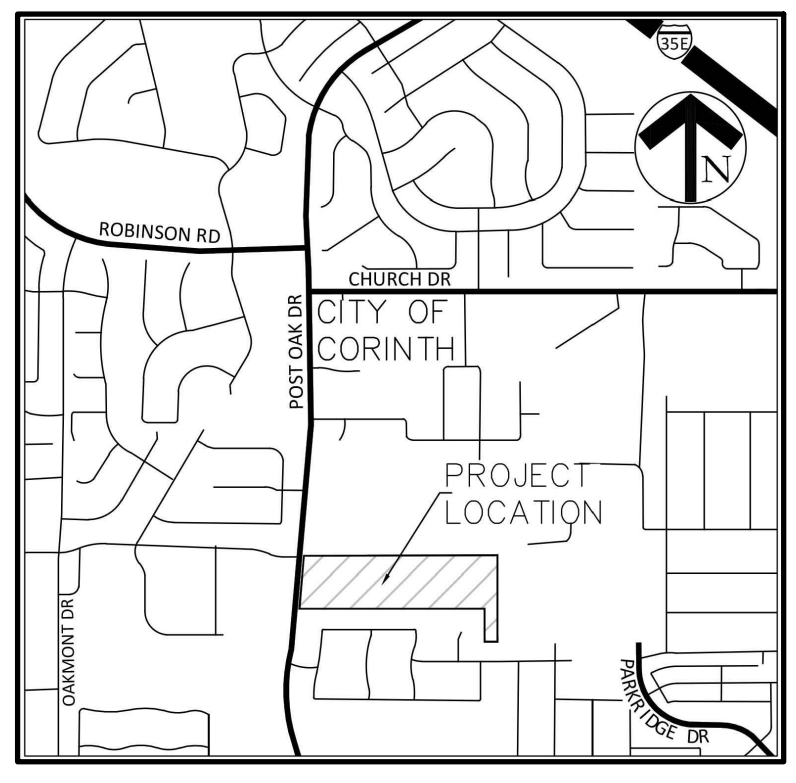
TERRACE OAKS, PHASE ONE
DOCUMENT NO. 2017-59
D.R.D.C.T.

7646	7647	5424
Total CI	.....	Total Column
Total CI On Site	.....	5,370 "CI" and offsite
Total CI Off Site	.....	0
Total CI Protected	.....	4,716 Total Col. "Protection"
Total CI Protected & Preserved	.....	1,294 Total Col. "CI Pro. & Pre"
"Preserved" Saved	.....	26.9% = 1,294 / 4,716
Total CI Protected Removed	.....	3,422 = 4,716 - 1,294
Total CI Preserved (Including Un-protected)	.....	1,480 Total Col. "Preserved"
Total Credit	.....	3,422 Total Col. "Credit"
Total Mitigation	.....	4,342 Total Col. "Mitigation"
On-site Mitigation	.....	1,623 "On-site"
Bonus Credit 0.5:1 CI for all Groves	.....	600 = 0.5 * Total If in Grove
Public ROW Credits (20% within ROW)	.....	21,200 = 160 * Total = ROW
Thoroughfare Credit	.....	485 = 485 * If
Mitigation Subtotal	.....	385 = 161 + 18 + 14
Standard Construction Credit	.....	375 = 100 * 3.75
Net Mitigation	.....	148 = 385 - 237
Min. Heritage Tree Mitigation	.....	83
Mitigation Amount Required	.....	with 37% Reduction, Grove & ROW Credit: No Mitigation
	\$/D	\$ 150.00
	Developer Oves City	\$ 12,300.00

Yes	Applicant Satisfies Requirement for Grove Credit
Yes	Applicant Satisfies Requirement for ROW Credit
Yes	Applicant Satisfies Requirement for Thoroughfare (To Be Verified by Corinth Staff)

I, Cody Johnson
herby certify that this document has been prepared by me, a Registered Landscape Architect or Certified Arborist. I have verified and concur with the calculations shown herein. This document as submitted is accurate and complete to meet the standards set forth in the Unified Development Code 2012. Tree Preservation as amended most recently via Ord. No. 2010-03-07.

Heritage Trees	ID#	CI	Species	Botanical	Condition	Protection	Preserved	Additional Credits	CI Protected & Preserved	Mitigation Preserved	Credit	Mitigation Removed	Mitigation	Heritage Tree Required Mitigation	Tree Value Removed \$
1721	1721	41.3	Oak, Post	Quercus stellata	Healthy	Protected	Un-Protected	0	0	0	0	4	165	83	\$ (24,700.00)
1722	1722	40.3	Oak, Post	Quercus stellata	Healthy	Protected	Un-Protected	0	0	0	0	4	165	83	\$ (24,700.00)



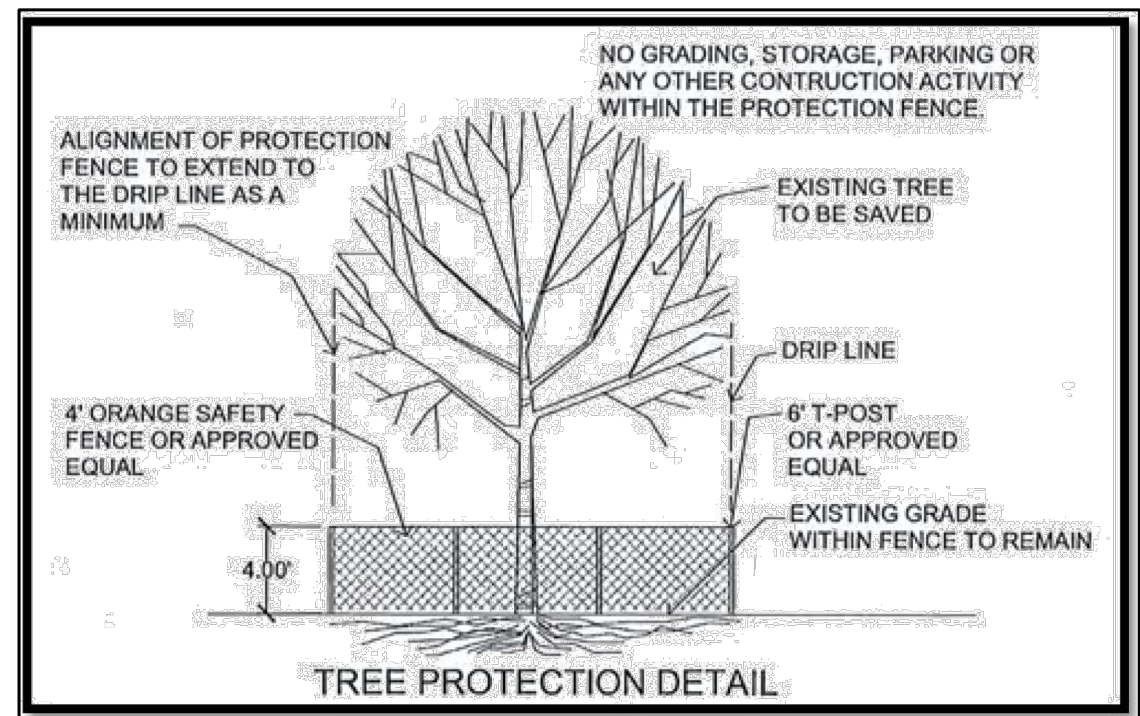
LEGEND

- 55 - EXISTING TREE TO REMAIN
- 65 - EXISTING TREE TO BE REMOVED
- 75 - EXISTING TREE OFFSITE
- TREE PROTECTION FENCE, TYP.

INSTALL TREE PROTECTION FENCE AROUND THE DRIP LINES OF ALL TREES SHOWN TO REMAIN, TYP.

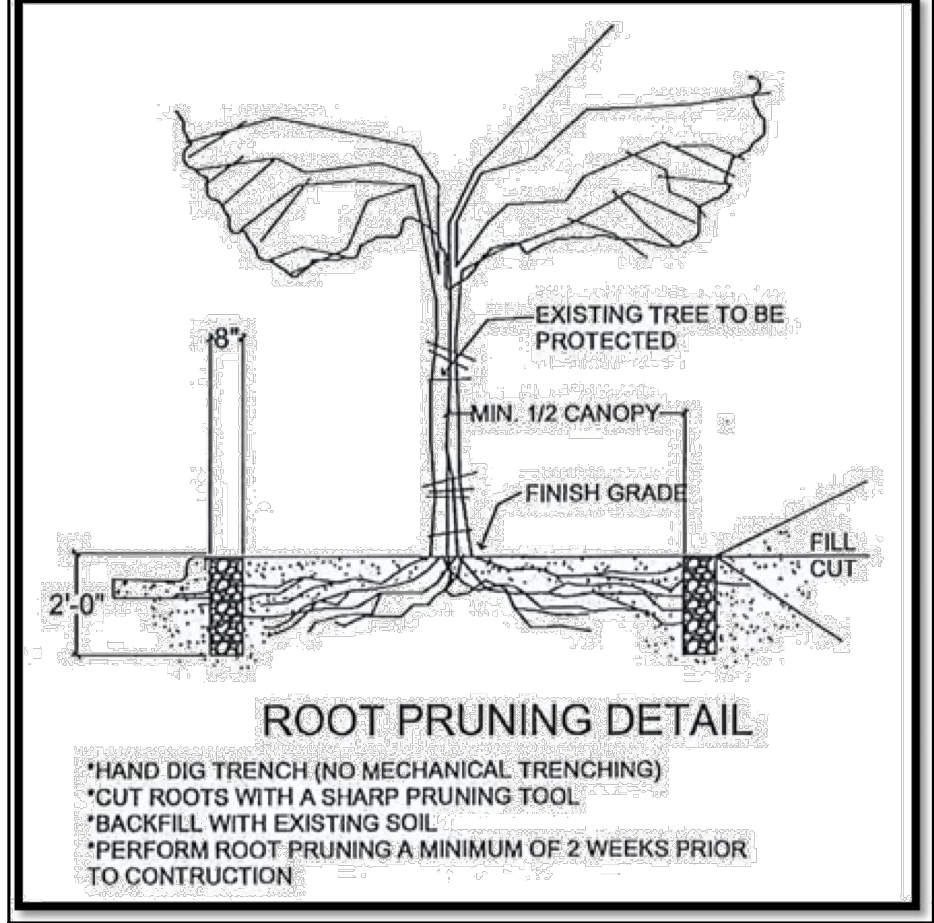
TREE PROTECTION NOTES

- EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. ORANGE COATED CHAINLINK FENCING (MIN. 4'-0" HEIGHT) SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES OR TREE GROUPS TO REMAIN. PARKING OF VEHICLES OR PERFORMING WORK WITHIN THESE AREAS OTHER THAN SHOWN ON THE PLAN, WILL NOT BE ALLOWED. THE TREE PROTECTION SHALL REMAIN DURING CONSTRUCTION. OTHER TREE PROTECTION MEASURES SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARDS AND ORDINANCES.
- DISPOSAL OF ANY WASTE MATERIAL SUCH AS, BUT NOT LIMITED TO, PAINT, ASPHALT, OIL SOLVENTS, CONCRETE, MORTAR, ETC. WITHIN THE CANOPY AREA OF THE EXISTING TREES SHALL NOT BE ALLOWED.
- NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO FILL OR EXCAVATION OF ANY NATURE SHALL OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED, UNLESS THERE IS A SPECIFIED WELL OR RETAINING WALL SHOWN ON THE GRADING PLAN.
- NO MATERIALS SHALL BE STORED WITHIN THE DRIP LINE AREA OF A TREE TO BE PRESERVED.



CITY OF CORINTH NOTES

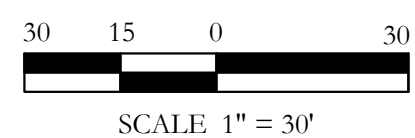
- SAVED HEALTHY PROTECTED TREE BASE CREDIT (SLIDING SCALE), WHEN 15.1% OR MORE TOTAL HEALTHY PROTECTED TREE CI IS PRESERVED ON PROPERTY, A SLIDING SCALE CREDIT MAY BE APPLIED TO REWARD CONTEXT SENSITIVE DESIGN THAT EFFECTIVELY INCORPORATES PROTECTED TREE AND HABITAT PRESERVATION. HEALTHY PROTECTED TREES RATED WITH A CONDITION OF GOOD OR EXCELLENT ARE ELIGIBLE FOR SLIDING SCALE CREDIT. PROTECTED TREES PRESERVED AND NOTED IN FAIR CONDITION MAY BE CATEGORIZED AS A "HEALTHY PROTECTED TREE" PROVIDED THAT A STATEMENT OF SUSTAINED VIABILITY IS INCLUDED IN THE TREE SURVEY AS DETERMINED BY A CERTIFIED ARBORIST AND/OR REGISTERED LANDSCAPE ARCHITECT AND MAY RECEIVE SLIDING SCALE CREDIT.
 - "BONUS CREDIT WHERE GROVES AND HABITAT POCKETS AND/OR CORRIDORS OF HEALTHY PROTECTED TREES ARE PRESERVED, AN ADDITIONAL 0.5:1 CREDIT MAY BE CONSIDERED AT THE DISCRETION OF THE DIRECTOR OF PLANNING (AND ADDED TO EACH PROTECTED TREE CI CATEGORY) WHERE INNOVATIVE AND ENVIRONMENTALLY SENSITIVE DESIGN IS DEMONSTRATED THROUGH THE PRESERVATION OF STANDS OF TREES, HERITAGE TREES (40 CI+), AND ENVIRONMENTALLY SENSITIVE HABITAT THAT IS INCORPORATED INTO THE OVERALL PROJECT DESIGN AND WHEN SUCH TREE PRESERVE AREAS HAVE BEEN INCLUDED WITHIN OTHERWISE BULDBLE AREAS OF THE SITE. THE BONUS CREDIT MAY BE APPLIED FOR PROTECTED TREES SAVED WITHIN OTHERWISE BULDBLE AREAS (E.G., OUTSIDE OF FLOODPLAIN).
 - LANDSCAPING REQUIREMENTS CREDITS: WHERE 20.1% OR MORE OF TOTAL HEALTHY PROTECTED TREE CI ARE PRESERVED ON A PROPERTY, AND WHERE CANOPY SHADE TREES AS DESIGNED IN TABLES OF SECTION 2.09.01 AS REQUIRED TO BE PLANTED WITHIN LANDSCAPE EDGE BUFFERS, RESIDENTIAL ADJACENCY BUFFERS, OR AS PART OF A LANDSCAPE PLAN FOR DETENTION/RETENTION BASINS (THAT HAVE BEEN APPROVED TO SATISFY "PARK AND/OR TRAIL" LAND AND LOCATED WITHIN DEDICATED COMMON OPEN SPACE), LANDSCAPE CREDITS FOR SAID TREES PLANTED (AT LEAST 3" CI) MAY BE OFFERED TO OFF-SET MITIGATION REQUIREMENTS.
 - PUBLIC RIGHT-OF-WAY CREDITS: WHEN 20.1% OR MORE OF TOTAL HEALTHY PROTECTED TREE CI ARE PRESERVED, THE SAME PERCENTAGE OF PROTECTED TREES PRESERVED MAY BE CREDITED AGAINST THE CI REMOVED WITHIN THE PUBLIC RIGHT-OF-WAY WHEN PROTECTED TREE PRESERVATION AREAS HAVE BEEN INCLUDED WITHIN OTHERWISE BULDBLE AREAS OF THE SITE.
 - CREDIT EQUAL TO THE REPLACEMENT RATE (TABLE 16-A) FOR ANY PROTECTED TREE REQUIRED TO BE REMOVED DUE TO CITY REQUIRED STREET CONNECTION AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN, AS MAY BE AMENDED. SUCH CREDIT MAY BE OFFERED AT THE DISCRETION OF PLANNING DIRECTOR IF (1) 20.1% OR MORE CI ARE OF THE TOTAL PROTECTED TREES ON SITE ARE PRESERVED AND (2) WHEN THE OVERALL PROJECT DESIGN INCORPORATES THE PRINCIPLES OF CONSERVATION OR CONTEXT SENSITIVE DESIGN.
 - STANDARD DEDUCTION CREDITS: THE PURPOSE OF THE STANDARD DEDUCTION CREDIT IS TO REWARD PRESERVATION EFFORTS WHERE A CERTAIN BASE PERCENTAGE OF HEALTHY PROTECTED TREE CI ARE PRESERVED ON SITE AND EFFECTIVELY INCORPORATED INTO OVERALL SITE DESIGN BY CREATING A FEATURE SUCH AS COMMON OPEN SPACE OR GREEN SPACE AND DEMONSTRATING CONSERVATION AND CONTEXT SENSITIVE DESIGN. THE DEDUCTION CREDIT SHALL BE CALCULATED AS FOLLOWS WHEN THE SAVED BASE OF PROTECTED TREES CI IS GREATER THAN 10% THEN THE REMAINING MITIGATION MAY BE REDUCED BY AN ADDITIONAL 10% E.G., IF THE BASE PERCENTAGE (%) SAVED = 25% THEN THE MITIGATION MAY BE REDUCED BY (25% + 10%) = 35% OF THE REMAINING MITIGATION REQUIREMENTS. AFTER APPLICABLE CREDITS ABOVE ARE APPLIED, WITH THE EXCEPTION OF MITIGATION REQUIRED FOR HERITAGE TREES REMOVED WHICH IS CAPPED AT 50% CREDIT AS NOTED IN SUBSECTION 2.09.02.G.4. ABOVE.



APPLICANT:
BRIDGE TOWER GP
5430 LBJ FREEWAY, SUITE 1050
DALLAS, TEXAS 75240
PH. (469) 936-1695
CONTACT: SHAWALI DESAI

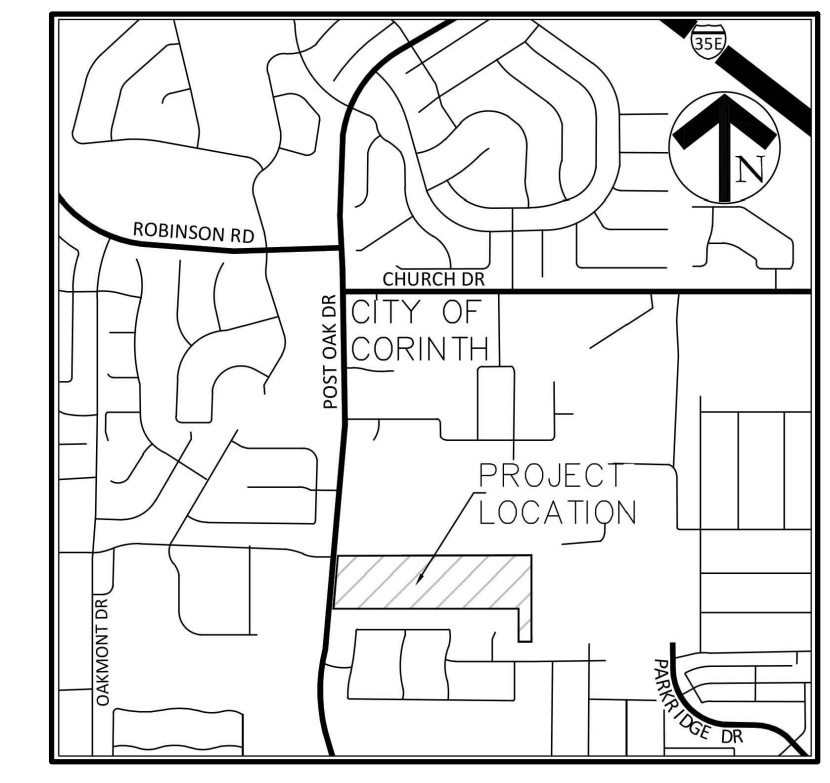
CIVIL ENGINEER:
JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. (972) 201-3100
CONTACT: TOM DAYTON, PE

LANDSCAPE ARCHITECT:
JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. (972) 201-3100
CONTACT: CODY JOHNSON, RLA, ASLA, LI



ANTIOCH FELLOWSHIP ADDITION
DOC. NO. 2016-128; P.R.D.C.T.
ANTIOCH CHRISTIAN FELLOWSHIP
OF CORINTH TEXAS, INC.
DOCUMENT NO. 2004-91956; D.R.D.C.T.

TERRACE OAKS, PHASE ONE
DOCUMENT NO. 2017-59
D.R.D.C.T.

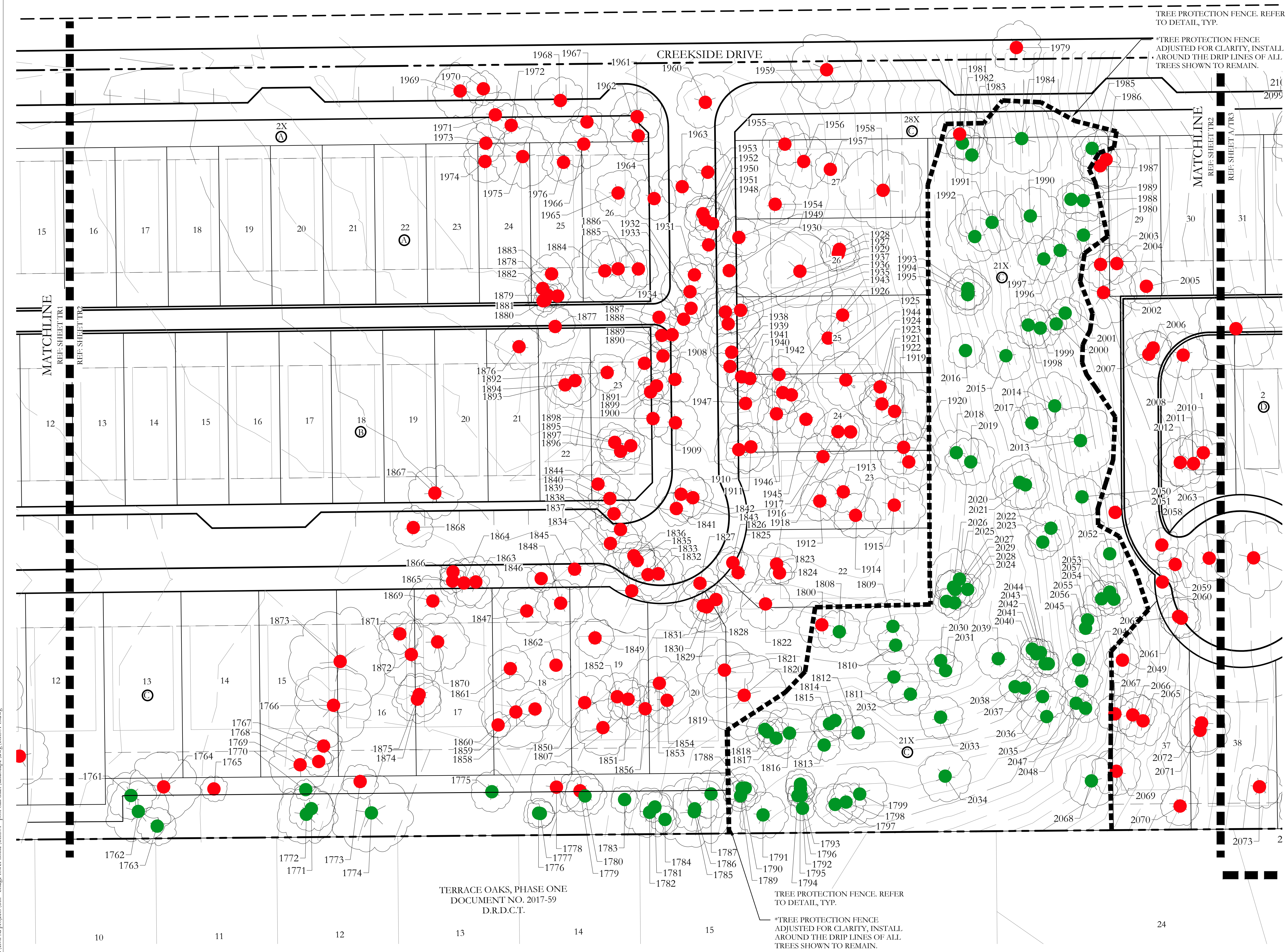


LOCATION MAP
NOT TO SCALE

LEGEND

- 55 EXISTING TREE TO REMAIN
- 65 EXISTING TREE TO BE REMOVED
- 75 EXISTING TREE OFFSITE
- TREE PROTECTION FENCE, TYP.

INSTALL TREE PROTECTION FENCE AROUND THE DRIP LINES OF ALL TREES SHOWN TO REMAIN. TYP.



*TREE PROTECTION FENCE REFER TO DETAIL, TYP.

*TREE PROTECTION FENCE ADJUSTED FOR CLARITY, INSTALL AROUND THE DRIP LINES OF ALL TREES SHOWN TO REMAIN.

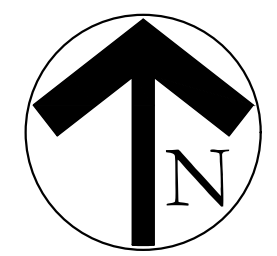
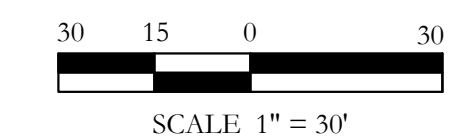
TREE PROTECTION FENCE. REFER TO DETAIL, TYP.

*TREE PROTECTION FENCE ADJUSTED FOR CLARITY, INSTALL AROUND THE DRIP LINES OF ALL TREES SHOWN TO REMAIN.

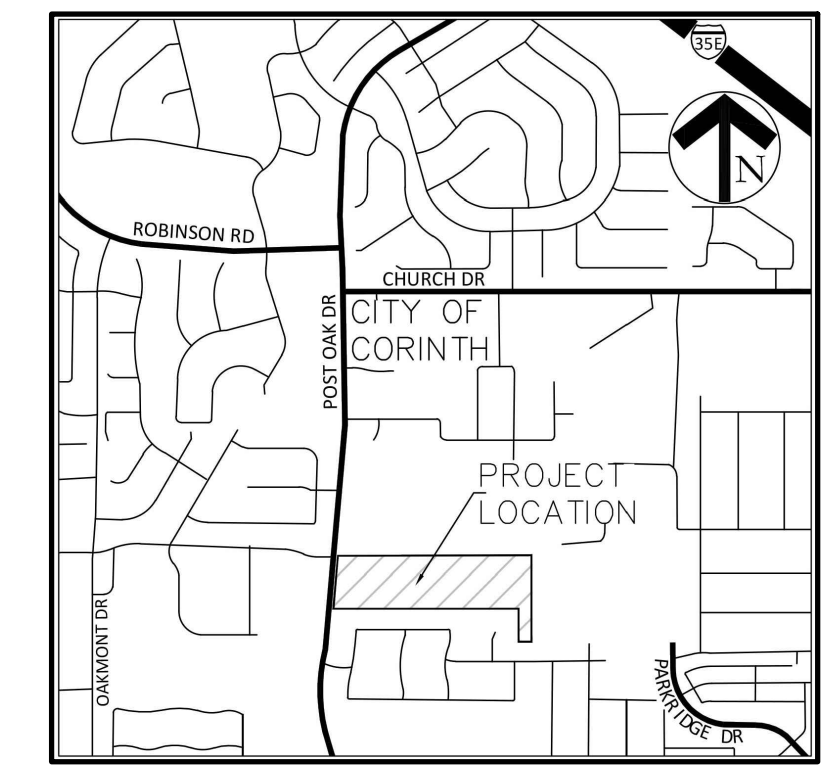
APPLICANT:
BRIDGE TOWER GP
5430 LBJ FREEWAY, SUITE 1050
DALLAS, TEXAS 75240
PH. (469) 936-1695
CONTACT: SHAWALI DESAI

CIVIL ENGINEER:
JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. (972) 201-3100
CONTACT: TOM DAYTON, PE

LANDSCAPE ARCHITECT:
JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. (972) 201-3100
CONTACT: CODY JOHNSON, RLA, ASLA, LI



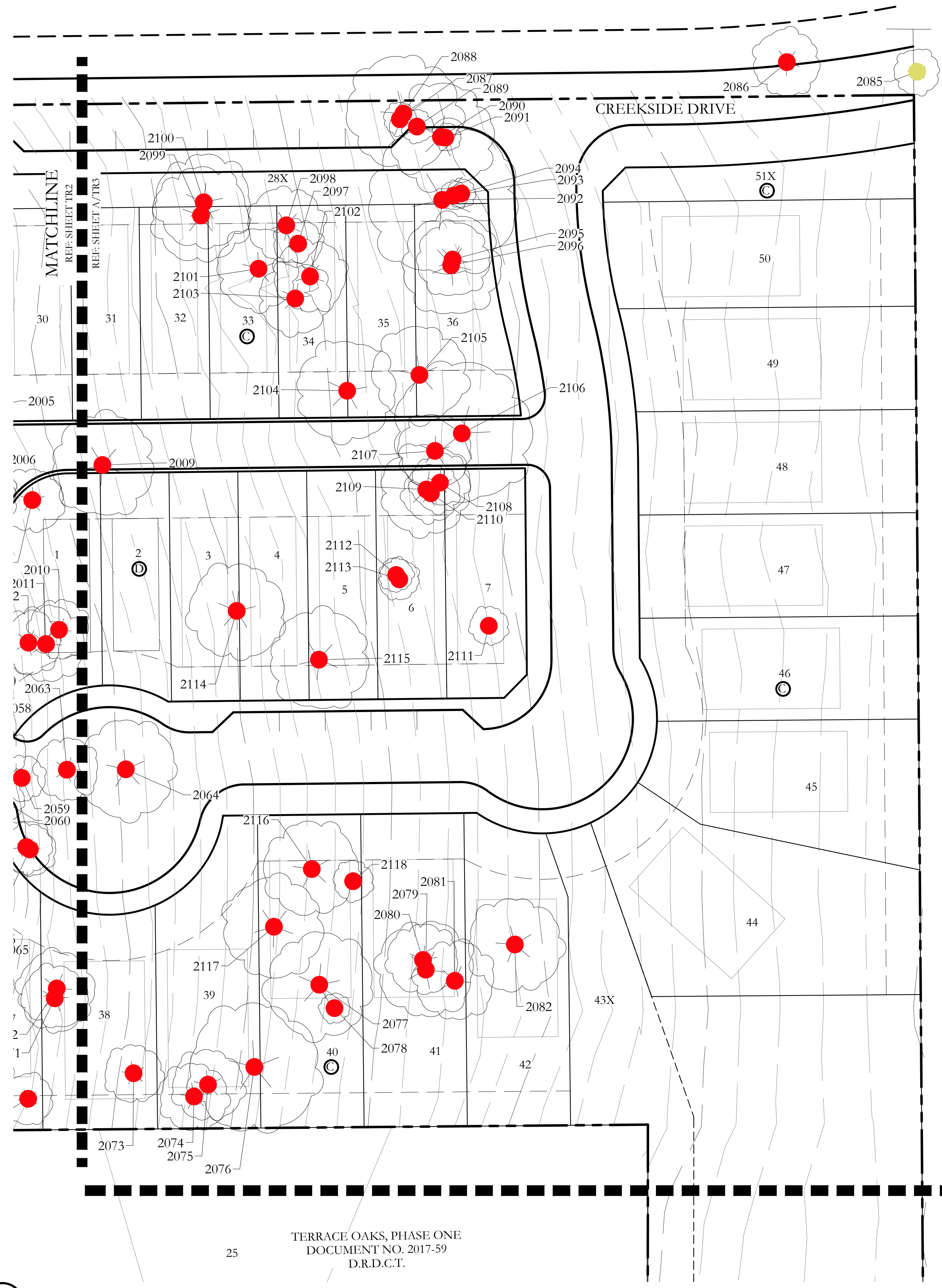
P:\civil_3\projects\lhb - bridge tower home\lhb501 - post oak tract\landscape\dwg\lhb501.nxd



LOCATION MAP
NOT TO SCALE

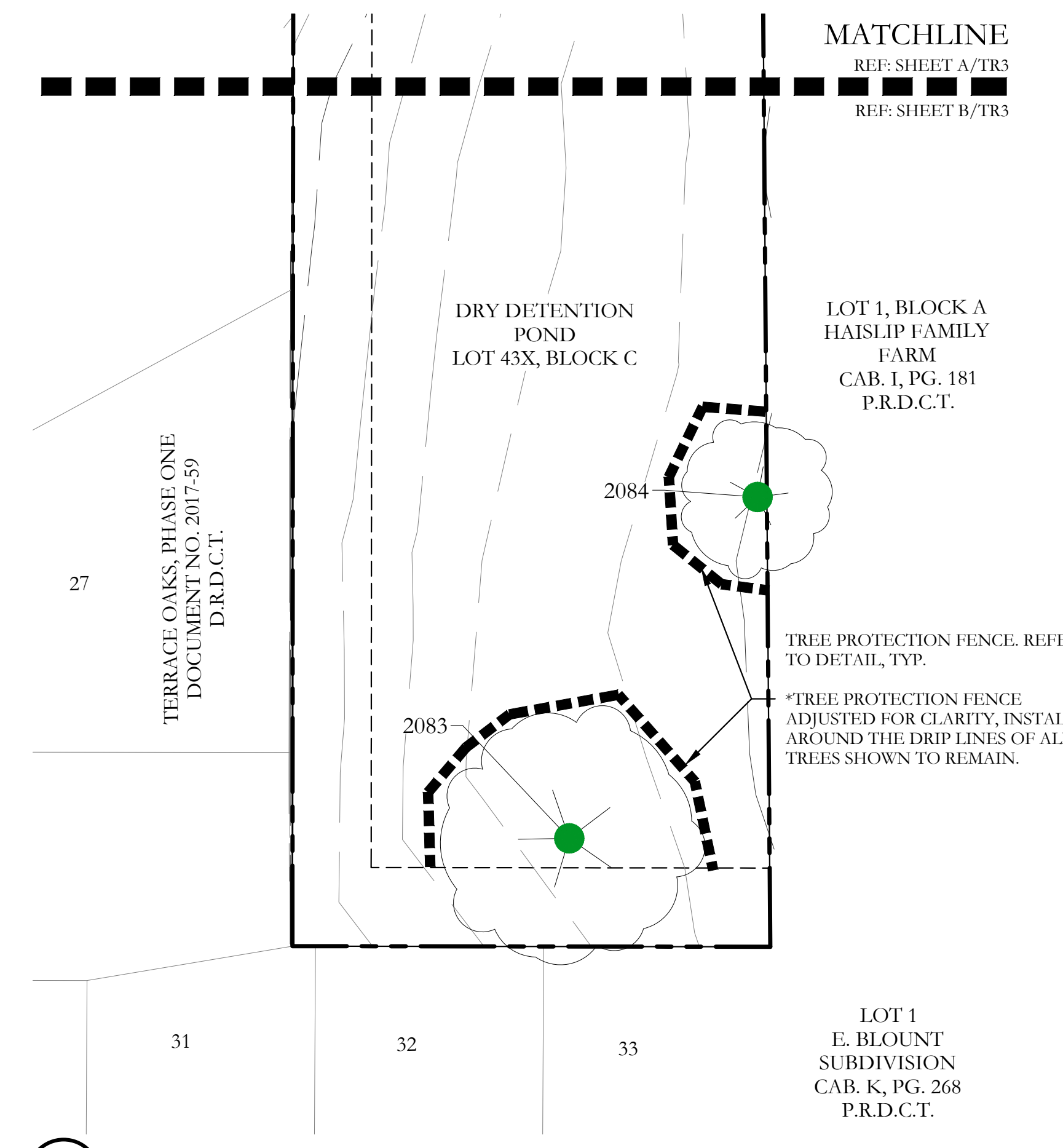
LEGEND

- 55 EXISTING TREE TO REMAIN
 - 65 EXISTING TREE TO BE REMOVED
 - 75 EXISTING TREE OFFSITE
 - TREE PROTECTION FENCE, TYP.
- INSTALL TREE PROTECTION FENCE AROUND THE DRIP LINES OF ALL TREES SHOWN TO REMAIN, TYP.



LOT 1, BLOCK A
HAISLIP FAMILY
FARM
CAB. I, PG. 181
P.R.D.C.T.

MATCHLINE
REF: SHEET A/TR3
REF: SHEET B/TR3



MATCHLINE
REF: SHEET A/TR3
REF: SHEET B/TR3

LOT 1, BLOCK A
HAISLIP FAMILY
FARM
CAB. I, PG. 181
P.R.D.C.T.

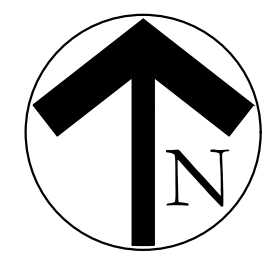
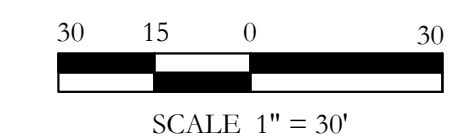
TREE PROTECTION FENCE, REFER TO DETAIL, TYP.
*TREE PROTECTION FENCE ADJUSTED FOR CLARITY, INSTALL AROUND THE DRIP LINES OF ALL TREES SHOWN TO REMAIN.

LOT 1
E. BLOUNT
SUBDIVISION
CAB. K, PG. 268
P.R.D.C.T.

APPLICANT:
BRIDGE TOWER GP
5430 I35 FREEWAY, SUITE 1050
DALLAS, TEXAS 75240
PH. (469) 936-1695
CONTACT: SHAIVALI DESAI

CIVIL ENGINEER:
JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. (972) 201-3100
CONTACT: TOM DAYTON, PE

LANDSCAPE ARCHITECT:
JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. (972) 201-3100
CONTACT: CODY JOHNSON, RLA, ASLA, LI



P:\civil_3d\projects\lhb - bridge tower home\lhb501 - post oak tract\landscape\lhb501.nxd.dwg

A

B

Table with 16 columns: ID#, CI, Species, Botanical, Condition, Protection, Preserved, Additional Credits, CI Protected & Preserved, Multiplier Preserved, Credit, Multiplier Removed, Mitigation, Heritage Tree Required Mitigation, Tree Value Removed \$. Rows 1714-1829.

Table with 16 columns: ID#, CI, Species, Botanical, Condition, Protection, Preserved, Additional Credits, CI Protected & Preserved, Multiplier Preserved, Credit, Multiplier Removed, Mitigation, Heritage Tree Required Mitigation, Tree Value Removed \$. Rows 1830-1948.

F:\env_3\projects\hh_1\img\tower home\hh1501_post Oak tree\landscape\img\hh1501_r4.dwg

Table with 16 columns: ID#, CI, Species, Botanical, Condition, Protection, Preserved, Additional Credits, CI Protected & Preserved, Multiplier Preserved, Credit, Multiplier Removed, Mitigation, Heritage Tree Required Mitigation, Tree Value Removed \$. Rows 1949-2059.

Table with 16 columns: ID#, CI, Species, Botanical, Condition, Protection, Preserved, Additional Credits, CI Protected & Preserved, Multiplier Preserved, Credit, Multiplier Removed, Mitigation, Heritage Tree Required Mitigation, Tree Value Removed \$. Rows 2060-2118, Total row.

F:\envi_3\projects\hlt - bridge tower home\hlt501 - post oak tree\landscape\img\hlt501_r.dwg

	749.65	794.7	
Total CI			5,424
Total CI On Site			5,373 "CI" excl. offsite
Total CI Off Site			51
Total CI Protected			4,716 Total Col. "Protection"
Total CI Protected & Preserved			1,264 Total Col. "CI Pro. & Pre."
% protected Saved			26.8% = TQPP / TCIP
Total CI Protected Removed			3,452 = TQIP - TQPP
Total CI Preserved (Including Un-protected)			1,499 Total Col. "Preserved"
Total Credit			3,423 Total Col. "Credit"
Total Mitigation			4,343 Total Col. "Mitigation"
Gross Mitigation			(920) = Cred - Mit
Applicant Satisfies Requirement for Grove Credit			Bonus Credit 0.5:1 CI for all Grove trees
Applicant Satisfies Requirement for ROW Credit Item 6, Table 16-B			Public ROW Credits (20% within ROW)
Applicant Satisfies Requirement for Thoroughfare (To Be Verified by Corinth Staff)			Thoroughfare Credit
			Mitigation Subtotal
			Standard Deduction Credit
			Net Mitigation
			Min. Heritage Tree Mitigation
			Mitigation Amount Required ...with 37% Reduction, Grove & ROW Credit

Yes	Applicant Satisfies Requirement for Grove Credit	Bonus Credit 0.5:1 CI for all Grove trees	Mg	606	= 0.5 * Total if in Grove if %S>20.1%
Yes	Applicant Satisfies Requirement for ROW Credit Item 6, Table 16-B	Public ROW Credits (20% within ROW)	Mr	212.00	= %S * Total in ROW
Yes	Applicant Satisfies Requirement for Thoroughfare (To Be Verified by Corinth Staff)	Thoroughfare Credit	Mth	485	if
		Mitigation Subtotal	Msum	383	= M1 + Mr + Mg
		Standard Deduction Credit	Mded	37%	if %S>10% = %S + 10%
		Net Mitigation	Mnet	No Mitigation	
		Min. Heritage Tree Mitigation	Mreq	83	

S/O \$ 150.00

Developer Owes Qty: \$ 12,390.00

I, Cody Johnson
 hereby certify that this document has been prepared by me, a Registered Landscape Architect or Certified Arborist. I have verified and concur with the calculations shown herein. The document as submitted is accurate and complete to meet the standards set forth in the Unified Development Code 2.09.02 Tree Preservation as amended most recently as Ord No. 22-10-20-37. Registration No. 2,833

Heritage Trees: 2

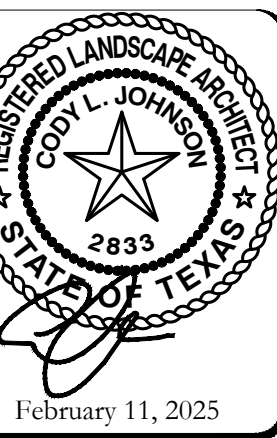
ID#	CI	Species	Botanical	Condition	Protection	Preserved	Additional Credits	CI Protected & Preserved	Multiplier Preserved	Credit	Multiplier Removed	Mitigation	Heritage Tree Required Mitigation	Tree Value Removed \$
1721	41.3	Oak, Post	Quercus stellata	Healthy	Protected	Removed	0	0	-	-	4	165	83	\$ (24,780.00)
1722	46.3	Oak, Post	Quercus stellata	Dead	Un-Protected	Removed	Thoroughfare	0	-	-	-	-	-	\$ -



TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

SADDLEBROOK
 CITY OF CORINTH
 DENTON COUNTY, TEXAS

TREE SURVEY PLAN
 DETAILED TREE SURVEY AND
 TREE PRESERVATION PLAN



February 11, 2025
 SCALE:
 REFER TO
 DETAILS
 One Inch
 JVC No. BTH501

45' WIDE LOTS





30' WIDE LOTS

Section E, Item 3.





September 9, 2024

Novita Ochoa
Cedar Hollow
5430 LBJ Fwy, Suite 1050
Dallas, Texas 75240

Subject: Water and Sewer Utilities for Cedar Hollow

Dear Novita,

This letter serves as a confirmation that the City of Corinth intends to provide water and sewer services to the following development:

- Cedar Hollow, located at 1960 Post Oak Drive, in Corinth, TX.

Public Works has evaluated the sewer system and has determined that adequate capacity exists. The Developer project will need to:

1. Comply will applicable Codes and the City of Corinth's Engineer Specifications, and
2. Pay applicable Permitting and the Water and Wastewater Tapping Connection Fees.
Please see the City of Corinth's Schedule of Charges for details.

Please understand that this letter is given as a courtesy to the developer and is not a binding contract. The City of Corinth looks forward to working with you and providing service to your development. If you have any additional questions, please feel free to contact me at 940-498-7512.

Sincerely,

Tristan Cisco


Tristan Cisco
Engineering Project Manager




**ATTACHMENT 2:
200 FT ZONING BUFFER MAP AND LETTERS FROM
PROPERTY OWNERS**

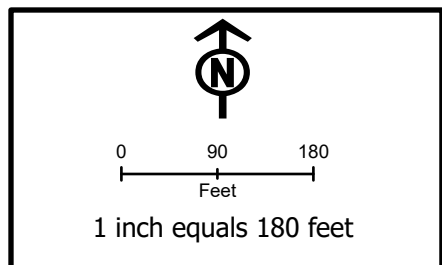
Proposed Zoning Change

Saddlebrook PD (ZAPD24-0010)

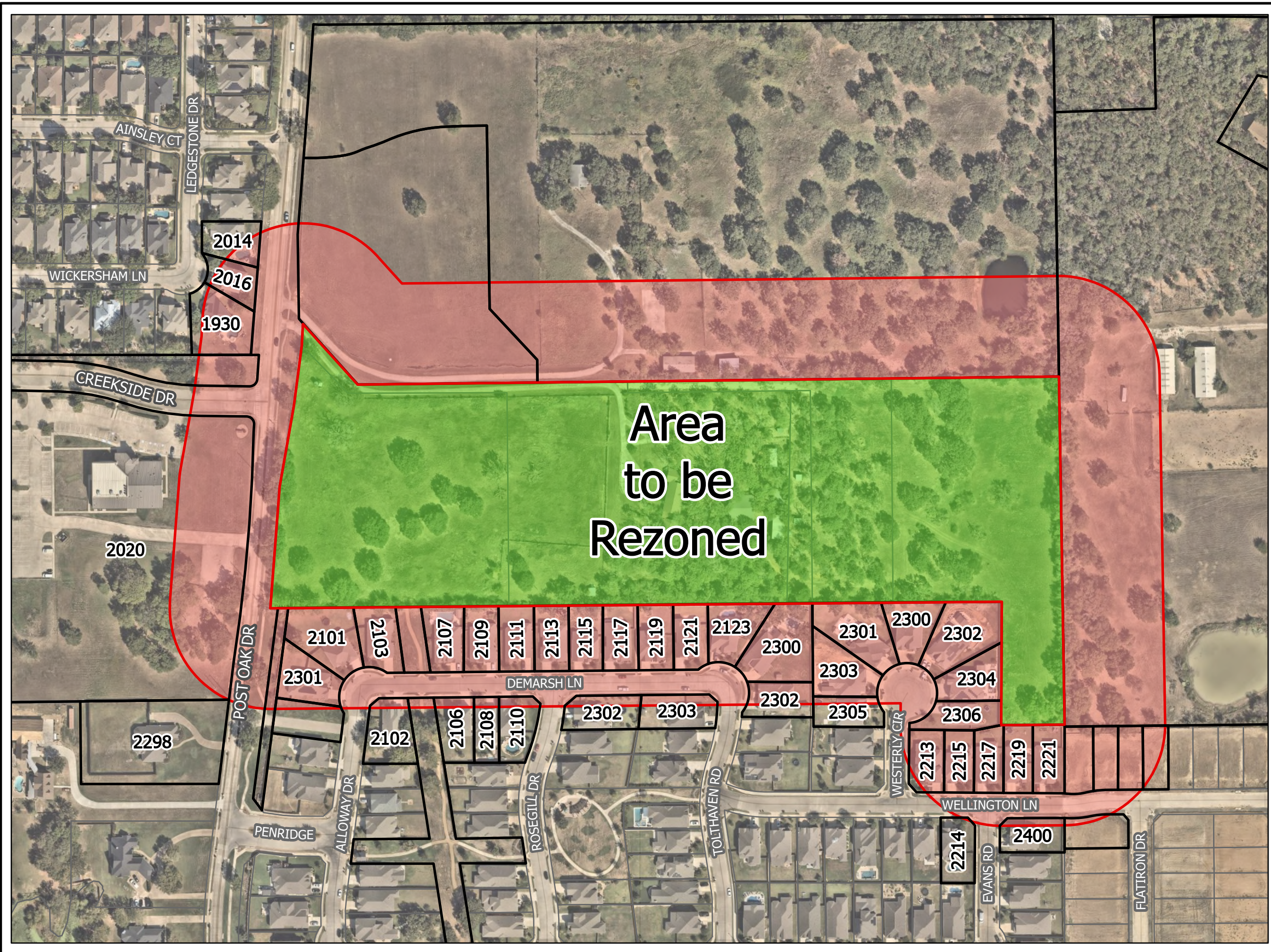
 Area to be Rezoned

 Properties within 200 ft of area proposed to be rezoned from SF-2 Single Family to a Planned Development (PD) with a base zoning district of SF-4 Single Family.

1/7/2025



This map is the property of the City of Corinth, and is not to be reproduced by any means, mechanical or digital, without written consent of the City. This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





Planning and Zoning Commission Meeting

Date: **MONDAY, February 17, 2025 at 6:30 P.M. (DATE CHANGE)***

Section E, Item 3.

City Council Regular Meeting

Date: **THURSDAY, February 20, 2025 at 6:30 P.M.**

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208. The meetings will be broadcast live at <https://www.cityofcorinth.com/remotesession>.

PUBLIC HEARING NOTICE

Dear Property Owner:

The date of the Planning & Zoning Commission Public Hearing for the item listed below has been changed as follows: On Monday, February 17, 2025, at 6:30 PM, the City of Corinth Planning & Zoning Commission will conduct a public hearing on the item listed below. Should the Planning & Zoning Commission make a recommendation, the Corinth City Council will conduct a public hearing on Thursday, February 20, 2025, at 6:30 PM and consider acting on the item listed below. The meetings will be held at the Corinth City Hall, 3300 Corinth Pkwy, Corinth, Texas 76208.

- A request by the Applicant, Bridge Tower Homes LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a base zoning district of SF-4 Single Family Residential for the development of ±97 lots on approximately ±17 acres located at 1960 Post Oak Drive. (Case No. ZAPD24-0010 Saddlebrook Planned Development)

***Please note that the date change is for the Planning & Zoning Commission public hearing only. The City Council public hearing date as previously noticed remains the same. Letters of support or opposition already received will be considered for the new public hearing date.**

Additional information regarding this request can be found on the Upcoming Public Hearings page of the City of Corinth website at: <https://www.cityofcorinth.com/planning-development/page/upcoming-public-hearings>

As a property owner within two hundred (200) feet of the area to be rezoned, you are invited to attend this meeting in-person and voice your opinion at the public hearing (please note you are not required to attend).

Additionally, your opinion regarding the request described above may be expressed by notation on this form or by letter. You may support or oppose this request; your opposition will be considered a protest. Signed written comments must be received by the City of Corinth Planning and Development Department at 3300 Corinth Parkway, Corinth, Texas 76208 (3 days prior to public hearing). Signed comments may be scanned and sent by email to Melissa Dailey, Director of Community and Economic Development, at planning@cityofcorinth.com. Additionally, if you have any questions regarding this request, you may call 940-498-3262 for assistance.

I am writing in (Check as applicable) Support ~~Opposition~~ of the proposal. I AM Robert Haislip, owner & resident of the property all along the eastern boundary of this proposed Saddlebrook development. It is an imaginative concept plan which will add ambience to the neighborhood and enhance property values. However, I am concerned that the steep down hill west to east topography of this tract, as well as the Rembert Enterprises' Hillside of Corinth subdivision next door will result in chronic flooding of my land unless the city supervises the engineering of adequate underground drainage across my property for both of their surface run off and waste water.

Name/Address/City: (REQUIRED)

Robert W. Haislip
2455 Silvermeadow Ln
Corinth, TX 76210
(Please Print)

Signature: (REQUIRED)

Robert W. Haislip
(Signature)



Planning and Zoning Commission Meeting

Date: **MONDAY, February 17, 2025 at 6:30 P.M. (DATE CHANGE)***

Section E, Item 3.

City Council Regular Meeting

Date: **THURSDAY, February 20, 2025 at 6:30 P.M.**

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208. The meetings will be broadcast live at <https://www.cityofcorinth.com/remotesession>.

PUBLIC HEARING NOTICE

Dear Property Owner:

The date of the Planning & Zoning Commission Public Hearing for the item listed below has been changed as follows: On Monday, February 17, 2025, at 6:30 PM, the City of Corinth Planning & Zoning Commission will conduct a public hearing on the item listed below. Should the Planning & Zoning Commission make a recommendation, the Corinth City Council will conduct a public hearing on Thursday, February 20, 2025, at 6:30 PM and consider acting on the item listed below. The meetings will be held at the Corinth City Hall, 3300 Corinth Pkwy, Corinth, Texas 76208.

- A request by the Applicant, Bridge Tower Homes LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a base zoning district of SF-4 Single Family Residential for the development of ±97 lots on approximately ±17 acres located at 1960 Post Oak Drive. (Case No. ZAPD24-0010 Saddlebrook Planned Development)

***Please note that the date change is for the Planning & Zoning Commission public hearing only. The City Council public hearing date as previously noticed remains the same. Letters of support or opposition already received will be considered for the new public hearing date.**

Additional information regarding this request can be found on the Upcoming Public Hearings page of the City of Corinth website at: <https://www.cityofcorinth.com/planning-development/page/upcoming-public-hearings>

As a property owner within two hundred (200) feet of the area to be rezoned, you are invited to attend this meeting in-person and voice your opinion at the public hearing (please note you are not required to attend).

Additionally, your opinion regarding the request described above may be expressed by notation on this form or by letter. You may support or oppose this request; your opposition will be considered a protest. Signed written comments must be received by the **City of Corinth Planning and Development Department at 3300 Corinth Parkway, Corinth, Texas 76208 (3 days prior to public hearing)**. Signed comments may be scanned and sent by email to **Melissa Dailey, Director of Community and Economic Development, at planning@cityofcorinth.com**. Additionally, if you have any questions regarding this request, you may call 940-498-3262 for assistance.

I am writing in (Check as applicable) Support: Opposition: of the proposal.

We support the rezoning of 1960 Post Oak Road because we like Bridge Tower Homes LLC's plan for a family-oriented community that preserves green spaces. We also are in favor of the farmhouse aesthetic which is in keeping with the country feel of Corinth and the property's legacy as a horse farm.

Name/Address/City: **(REQUIRED)**

Heather Bacon
Paige Almond
(Please Print)

Signature: **(REQUIRED)**

Heather Bacon
Paige Almond
(Signature)



Planning and Zoning Commission Meeting
Date: **MONDAY, January 27, 2025 at 6:30 P.M.**

City Council Regular Meeting
Date: **THURSDAY, February 20, 2025 at 6:30 P.M. * (see below for additional information)**

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208. The meetings will be broadcast live at <https://www.cityofcorinth.com/remotesession>.

PUBLIC HEARING NOTICE

Dear Property Owner:

On Monday, January 27, 2025, at 6:30 PM, the City of Corinth Planning & Zoning Commission will conduct a public hearing on the item listed below. Should the Planning & Zoning Commission make a recommendation, the Corinth City Council will conduct a public hearing on Thursday, February 20, 2025, at 6:30 PM and consider acting on the item listed below. The meetings will be held at the Corinth City Hall, 3300 Corinth Pkwy, Corinth, Texas 76208.

- A request by the Applicant, Bridge Tower Homes LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a base zoning district of SF-4 Single Family Residential for the development of ±96 lots on approximately ±17 acres located at 3650 Corinth Pkwy. (Case No. ZAPD24-0010 Saddlebrook Planned Development)

*The February 20, 2025, City Council Public Hearing will only be held should the Planning & Zoning Commission make a recommendation on January 27, 2025. Additional information regarding this request can be found on the Upcoming Public Hearings page of the City of Corinth website at: <https://www.cityofcorinth.com/planning-development/page/upcoming-public-hearings>

As a property owner within two hundred (200) feet of the area to be rezoned, you are invited to attend this meeting in-person and voice your opinion at the public hearing (please note you are not required to attend).

Additionally, your opinion regarding the request described above may be expressed by notation on this form or by letter. You may support or oppose this request; your opposition will be considered a protest. Signed written comments must be received by the City of Corinth Planning and Development Department at 3300 Corinth Parkway, Corinth, Texas 76208 (3 days prior to public hearing). Signed comments may be scanned and sent by email to Melissa Dailey, Director of Community and Economic Development, at planning@cityofcorinth.com. Additionally, if you have any questions regarding this request, you may call 940-498-3262 for assistance.

I am writing in (Check as applicable) Support: Opposition: of the proposal.

Name/Address/City: **(REQUIRED)**
Antioch Christian Fellowship
2020 Post Oak Drive Corinth, TX 76210
(Please Print)

Signature: **(REQUIRED)**

(Signature)
LEAD PASTOR

February 5, 2025

Attn: City Manager or City Planner
P & Z Committee

I am in favor of the proposed Bridge Tower Property development off Post Oak. Corinth and the surrounding area need housing that people can afford. The majority of potential residents cannot save for a down payment for a home even when two people work in a family. Neither can most afford taxes.

Thank you for your consideration.

Joni Waverka
230 Waterview Ct
Hickory Creek, TX 75065



Planning and Zoning Commission Meeting
Date: **MONDAY, January 27, 2025 at 6:30 P.M.**

Section E, Item 3.

City Council Regular Meeting
Date: **THURSDAY, February 20, 2025 at 6:30 P.M. * (see below for additional information)**

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208. The meetings will be broadcast live at <https://www.cityofcorinth.com/remotesession>.

PUBLIC HEARING NOTICE

Dear Property Owner:

On Monday, January 27, 2025, at 6:30 PM, the City of Corinth Planning & Zoning Commission will conduct a public hearing on the item listed below. Should the Planning & Zoning Commission make a recommendation, the Corinth City Council will conduct a public hearing on Thursday, February 20, 2025, at 6:30 PM and consider acting on the item listed below. The meetings will be held at the Corinth City Hall, 3300 Corinth Pkwy, Corinth, Texas 76208.

- A request by the Applicant, Bridge Tower Homes LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a base zoning district of SF-4 Single Family Residential for the development of ±96 lots on approximately ±17 acres located at 3650 Corinth Pkwy. (Case No. ZAPD24-0010 Saddlebrook Planned Development)

***The February 20, 2025, City Council Public Hearing will only be held should the Planning & Zoning Commission make a recommendation on January 27, 2025.** Additional information regarding this request can be found on the Upcoming Public Hearings page of the City of Corinth website at: <https://www.cityofcorinth.com/planning-development/page/upcoming-public-hearings>

As a property owner within two hundred (200) feet of the area to be rezoned, you are invited to attend this meeting in-person and voice your opinion at the public hearing (please note you are not required to attend).

Additionally, your opinion regarding the request described above may be expressed by notation on this form or by letter. You may support or oppose this request; your opposition will be considered a protest. Signed written comments must be received by the **City of Corinth Planning and Development Department at 3300 Corinth Parkway, Corinth, Texas 76208 (3 days prior to public hearing)**. Signed comments may be scanned and sent by email to **Melissa Dailey, Director of Community and Economic Development, at planning@cityofcorinth.com**. Additionally, if you have any questions regarding this request, you may call 940-498-3262 for assistance.

I am writing in (Check as applicable) Support: Opposition: of the proposal.

See attached letter.

Name/Address/City: **(REQUIRED)**

Signature: **(REQUIRED)**

Patrick A. Cameron
(Please Print)

(Signature)

Property Owner 2101 Pensark Ln

Patrick A. Cameron
2101 Demarsh Ln
Corinth, TX 76210
patrickcameron82@gmail.com
440-570-9104

January 23, 2025

Corinth Planning & Zoning Commission
3300 Corinth Parkway
Corinth, TX 76208

Subject: Opposition to Proposed Ordinance Change (ZAPD24-0010) - Rezoning from SF-2 to SF-4

Dear Members of the Commission,

As a proud resident of Corinth, I deeply appreciate the thoughtful planning and zoning decisions that have preserved the character, safety, and livability of our community. However, I am writing to express my strong opposition to the proposed ordinance change to rezone the area from SF-2 (Single Family Residential) to SF-4 (Single Family Residential). I believe this change would have several negative impacts on our city, including compromising the community's character, reducing meaningful park and public space availability, and leading to the unnecessary destruction of native trees and open green spaces.

The existing SF-2 zoning has been instrumental in maintaining Corinth's family-friendly, spacious, and suburban appeal. Transitioning to SF-4—allowing higher housing density, smaller lot sizes, and reduced setbacks—would fundamentally alter the aesthetic and atmosphere of our neighborhoods. Increased density would likely lead to overcrowded areas, greater traffic congestion, and additional strain on public infrastructure, ultimately diminishing the livability and sense of community that residents value.


Furthermore, I urge the Commission to view this rezoning proposal as an opportunity to prioritize the development of meaningful and functional community spaces. The current concept plan includes open spaces that, unfortunately, offer limited value to residents, such as retention basins, unconnected gravel trails, and small, fragmented areas. Instead, I encourage the incorporation of thoughtfully designed parks, trails, playgrounds, pools, and other shared recreational areas that genuinely serve the needs of the community.

These types of community spaces are not just desirable amenities—they are essential. They foster social connections, encourage active lifestyles, and help preserve the natural beauty of Corinth, ensuring our neighborhoods remain vibrant and welcoming for current and future residents. Without these spaces, we risk losing the qualities that make Corinth such a special place to live.

I respectfully request that this letter be included in the public record for the upcoming hearing on this matter. Thank you for taking the time to consider the perspectives of your constituents. I am hopeful that, together, we can uphold the values and vision that define our community.

Sincerely,
Patrick A. Cameron



 Outlook

From: Michael Wheelock
Sent: Monday, January 20, 2025 12:17 PM
To: City Secretary <City.Secretary@cityofcorinth.com>
Subject: Bridge Tower Housing proposal off Post Oak

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

I would like to strongly oppose the variance requests and plat plan submitted for development by Bridge Tower housing. The variance requests are much too aggressive and go against the community Corinth has and continues to develop.

Having a house that backs up to the proposed development, I have no illusion that the property will remain undeveloped. I know it will be developed in the near future, but it is important Corinth partner with a developer that looks out for more than just its own best interests and the community as well.

I wish my regards to be read at the next P&Z meeting.

Michael Wheelock

2107 Demarsh Lane



Planning and Zoning Commission Meeting
Date: **MONDAY, January 27, 2025 at 6:30 P.M.**

City Council Regular Meeting
Date: **THURSDAY, February 20, 2025 at 6:30 P.M. * (see below for additional information)**

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208. The meetings will be broadcast live at <https://www.cityofcorinth.com/remotesession>.

PUBLIC HEARING NOTICE

Dear Property Owner:

On Monday, January 27, 2025, at 6:30 PM, the City of Corinth Planning & Zoning Commission will conduct a public hearing on the item listed below. Should the Planning & Zoning Commission make a recommendation, the Corinth City Council will conduct a public hearing on Thursday, February 20, 2025, at 6:30 PM and consider acting on the item listed below. The meetings will be held at the Corinth City Hall, 3300 Corinth Pkwy, Corinth, Texas 76208.

- A request by the Applicant, Bridge Tower Homes LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a base zoning district of SF-4 Single Family Residential for the development of ±96 lots on approximately ±17 acres located at 3650 Corinth Pkwy. (Case No. ZAPD24-0010 Saddlebrook Planned Development)

*The February 20, 2025, City Council Public Hearing will only be held should the Planning & Zoning Commission make a recommendation on January 27, 2025. Additional information regarding this request can be found on the Upcoming Public Hearings page of the City of Corinth website at: <https://www.cityofcorinth.com/planning-development/page/upcoming-public-hearings>

As a property owner within two hundred (200) feet of the area to be rezoned, you are invited to attend this meeting in-person and voice your opinion at the public hearing (please note you are not required to attend).

Additionally, your opinion regarding the request described above may be expressed by notation on this form or by letter. You may support or oppose this request; your opposition will be considered a protest. Signed written comments must be received by the City of Corinth Planning and Development Department at 3300 Corinth Parkway, Corinth, Texas 76208 (3 days prior to public hearing). Signed comments may be scanned and sent by email to Melissa Dailey, Director of Community and Economic Development, at planning@cityofcorinth.com. Additionally, if you have any questions regarding this request, you may call 940-498-3262 for assistance.

I am writing in (Check as applicable) Support: Opposition: of the proposal.

proposed neighborhood is not equivalent to surrounding neighborhoods and will decrease property values.

Name/Address/City: **(REQUIRED)**

Signature: **(REQUIRED)**

Debra Lynn Ince
(Please Print)

Debra Lynn Ince
(Signature)

2108 Demarsh Ln.
Corinth



Planning and Zoning Commission Meeting
Date: MONDAY, February 17, 2025 at 6:30 P.M. (DATE CHANGE)*

Section E, Item 3.

City Council Regular Meeting
Date: THURSDAY, February 20, 2025 at 6:30 P.M.

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208. The meetings will be broadcast live at <https://www.cityofcorinth.com/remotesession>.

PUBLIC HEARING NOTICE

Dear Property Owner:

The date of the Planning & Zoning Commission Public Hearing for the item listed below has been changed as follows: On Monday, February 17, 2025, at 6:30 PM, the City of Corinth Planning & Zoning Commission will conduct a public hearing on the item listed below. Should the Planning & Zoning Commission make a recommendation, the Corinth City Council will conduct a public hearing on Thursday, February 20, 2025, at 6:30 PM and consider acting on the item listed below. The meetings will be held at the Corinth City Hall, 3300 Corinth Pkwy, Corinth, Texas 76208.

- A request by the Applicant, Bridge Tower Homes LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a base zoning district of SF-4 Single Family Residential for the development of ±97 lots on approximately ±17 acres located at 1960 Post Oak Drive. (Case No. ZAPD24-0010 Saddlebrook Planned Development)

*Please note that the date change is for the Planning & Zoning Commission public hearing only. The City Council public hearing date as previously noticed remains the same. Letters of support or opposition already received will be considered for the new public hearing date.

Additional information regarding this request can be found on the Upcoming Public Hearings page of the City of Corinth website at: <https://www.cityofcorinth.com/planning-development/page/upcoming-public-hearings>

As a property owner within two hundred (200) feet of the area to be rezoned, you are invited to attend this meeting in-person and voice your opinion at the public hearing (please note you are not required to attend).

Additionally, your opinion regarding the request described above may be expressed by notation on this form or by letter. You may support or oppose this request; your opposition will be considered a protest. Signed written comments must be received by the City of Corinth Planning and Development Department at 3300 Corinth Parkway, Corinth, Texas 76208 (3 days prior to public hearing). Signed comments may be scanned and sent by email to Melissa Dailey, Director of Community and Economic Development, at planning@cityofcorinth.com. Additionally, if you have any questions regarding this request, you may call 940-498-3262 for assistance.

I am writing in (Check as applicable) Support: Opposition: of the proposal.

the style of homes Bridge Tower plans is not even close to the value of homes surrounding + will no doubt reduce the value of the neighbouring homes significantly. the small homes planned should match the Hillside project. This project is not at all going to provide positivity to the neighbouring communities or city.

Name/Address/City: (REQUIRED)

Signature: (REQUIRED)

Kristen Mitchell

Kristen Mitchell

(Please Print)

(Signature)



Planning and Zoning Commission Meeting
Date: **MONDAY, January 27, 2025 at 6:30 P.M.**

Section E, Item 3.

City Council Regular Meeting
Date: **THURSDAY, February 20, 2025 at 6:30 P.M.** * (see below for additional information)

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208. The meetings will be broadcast live at <https://www.cityofcorinth.com/remotesession>.

PUBLIC HEARING NOTICE

Dear Property Owner:

On Monday, January 27, 2025, at 6:30 PM, the City of Corinth Planning & Zoning Commission will conduct a public hearing on the item listed below. Should the Planning & Zoning Commission make a recommendation, the Corinth City Council will conduct a public hearing on Thursday, February 20, 2025, at 6:30 PM and consider acting on the item listed below. The meetings will be held at the Corinth City Hall, 3300 Corinth Pkwy, Corinth, Texas 76208.

- A request by the Applicant, Bridge Tower Homes LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a base zoning district of SF-4 Single Family Residential for the development of ±96 lots on approximately ±17 acres located at 3650 Corinth Pkwy. (Case No. ZAPD24-0010 Saddlebrook Planned Development)

*The February 20, 2025, City Council Public Hearing will only be held should the Planning & Zoning Commission make a recommendation on January 27, 2025. Additional information regarding this request can be found on the Upcoming Public Hearings page of the City of Corinth website at: <https://www.cityofcorinth.com/planning-development/page/upcoming-public-hearings>

As a property owner within two hundred (200) feet of the area to be rezoned, you are invited to attend this meeting in-person and voice your opinion at the public hearing (please note you are not required to attend).

Additionally, your opinion regarding the request described above may be expressed by notation on this form or by letter. You may support or oppose this request; your opposition will be considered a protest. Signed written comments must be received by the City of Corinth Planning and Development Department at 3300 Corinth Parkway, Corinth, Texas 76208 (3 days prior to public hearing). Signed comments may be scanned and sent by email to Melissa Dailey, Director of Community and Economic Development, at planning@cityofcorinth.com. Additionally, if you have any questions regarding this request, you may call 940-498-3262 for assistance.

I am writing in (Check as applicable) Support: Opposition: of the proposal.

We staunchly oppose the request by Bridge Tower Homes to amend the zoning ordinance and zoning map for this above referenced property. Such a change would build small population dense homes that do not align with current properties in the proximity. Nearby high density developments already in place support there is no need for such a change. We believe any development on that property should match or exceed neighboring developments in lot size and home quality as to not negatively affect property values. Additionally we believe the current local infrastructure would not support another high density development and would diminish the quality and appeal of the community and the City of Corinth.

RK

Name/Address/City: **(REQUIRED)**

Signature: **(REQUIRED)**

Ryan and Jenna Kennedy - 2113 Demarsh Ln, Corinth
(Please Print)

(Signature)



Opposition to Rezoning Proposal for 1960 Post Oak Drive

From Alison Bertran

Date Mon 12/23/2024 1:06 PM

To Melissa Dailey <Melissa.Dailey@cityofcorinth.com>; Planners <Planning@cityofcorinth.com>

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Melissa Dailey & Planning Division,

My name is Alison Bertran and my husband, Peter, and son, Aaron, and I live at 2114 Stanhill Drive, at the intersection of Post Oak and Lake Sharon in Corinth. I am writing to formally express my concerns regarding the proposed rezoning of 1960 Post Oak Drive to allow for smaller, high-density residential lots. This proposal presents significant challenges related to financial impacts, infrastructure strain, and community safety.

Key Concerns

1. High-Density Development and Traffic Issues

The proposed lots include 40-foot lots for homes bordering our property and 30-foot lots for “garden-style” homes. This level of density is much higher than what exists in Terrace Oaks or the new development to the north. Increased population density raises several key issues:

- All traffic from this development will enter and exit within a school zone on Post Oak Drive, an area already struggling with congestion during peak hours. Adding more vehicles will exacerbate traffic flow problems and create additional safety risks for students and families.
- The high-density layout does not match the character of existing developments, which feature larger lots and lower-density housing.

2. Incomplete Drainage Plan and Risk of Increased Issues

The builder has yet to finalize a drainage plan or provide clarity on the retention pond located on the eastern side of the property. Critical unanswered questions include:

- Will the retention pond be a permanent water feature, and how steep will the grade be?
- How will this drainage plan address the ongoing (and significant) issues already affecting Terrace Oaks?

Terrace Oaks has long struggled with drainage challenges, and adding more density without a clear and robust plan risks exacerbating these problems. Currently, the cost of resolving drainage issues has fallen on the HOA, further burdening existing homeowners.

3. Financial Impact on Existing Property Values

Allowing smaller homes with siding-only exteriors, as proposed, is inconsistent with the all-brick

homes in Terrace Oaks and surrounding communities. This shift to lower-cost construction and materials undermines the area's higher-end aesthetic and will directly decrease property values for homeowners who purchased their homes as long-term investments.

4. Infrastructure Strain

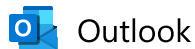
Higher population density places additional demands on local infrastructure, including roads, utilities, and public services. This development will already lead to overcrowding, increased wear on infrastructure, and potentially higher costs for taxpayers to fund necessary upgrades. Allowing it to rezone with smaller lots, and thereby further increase the residential population even more, is unthinkable.

Request for Reconsideration

I respectfully urge the Planning and Zoning Commission to reconsider this rezoning proposal. The financial risks to current homeowners, unresolved drainage issues, increased traffic concerns, and lack of alignment with surrounding developments make this proposal incompatible with the needs and character of our community.

Thank you for your time and thoughtful consideration of these concerns. Please feel free to contact me at _____ should you wish to discuss this further or require additional information.

Sincerely,
Alison Bertran
2114 Stanhill Drive
Corinth, TX 76210



Saddlebrook Development

From Carolyn Richter <princesssp@aol.com>
Date Tue 1/7/2025 10:37 PM
To Melissa Dailey <Melissa.Dailey@cityofcorinth.com>
Cc Planners <Planning@cityofcorinth.com>

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To whom it may concern,

I am writing about the new Saddlebrook development by Bridge Tower homes that is being proposed to be built behind our home. I live at 2117 Demarsh Ln. in the Terrace Oaks community. We had our meeting earlier this evening with the builder. Very disheartened to learn after the meeting and we asked how much the homes would be selling for to look on their website and find that they are a rental only developer. And all the homes would be rented and not sold.

This does not seem to be a fit for our development and the surrounding developments, including the one being built right next to theirs.

Please let us know if you plan to have any further meetings regarding the approval of this project. We would like to express our disapproval of this development being approved. I am also very disappointed with what I feel is the builder being dishonest during the meeting and not fully disclosing what their development entailed.

Thank you.

Carolyn and Michael Richter



Planning and Zoning Commission Meeting
Date: **MONDAY, January 27, 2025 at 6:30 P.M.**

City Council Regular Meeting
Date: **THURSDAY, February 20, 2025 at 6:30 P.M. * (see below for additional information)**

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208. The meetings will be broadcast live at <https://www.cityofcorinth.com/remotesession>.

PUBLIC HEARING NOTICE

Dear Property Owner:

On Monday, January 27, 2025, at 6:30 PM, the City of Corinth Planning & Zoning Commission will conduct a public hearing on the item listed below. Should the Planning & Zoning Commission make a recommendation, the Corinth City Council will conduct a public hearing on Thursday, February 20, 2025, at 6:30 PM and consider acting on the item listed below. The meetings will be held at the Corinth City Hall, 3300 Corinth Pkwy, Corinth, Texas 76208.

- A request by the Applicant, Bridge Tower Homes LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a base zoning district of SF-4 Single Family Residential for the development of ±96 lots on approximately ±17 acres located at 3650 Corinth Pkwy. (Case No. ZAPD24-0010 Saddlebrook Planned Development)

*The February 20, 2025, City Council Public Hearing will only be held should the Planning & Zoning Commission make a recommendation on January 27, 2025. Additional information regarding this request can be found on the Upcoming Public Hearings page of the City of Corinth website at: <https://www.cityofcorinth.com/planning-development/page/upcoming-public-hearings>

As a property owner within two hundred (200) feet of the area to be rezoned, you are invited to attend this meeting in-person and voice your opinion at the public hearing (please note you are not required to attend).

Additionally, your opinion regarding the request described above may be expressed by notation on this form or by letter. You may support or oppose this request; your opposition will be considered a protest. Signed written comments must be received by the City of Corinth Planning and Development Department at 3300 Corinth Parkway, Corinth, Texas 76208 (3 days prior to public hearing). Signed comments may be scanned and sent by email to Melissa Dailey, Director of Community and Economic Development, at planning@cityofcorinth.com. Additionally, if you have any questions regarding this request, you may call 940-498-3262 for assistance.

I am writing in (Check as applicable) Support: Opposition: of the proposal.

The proposal (CASE NO. ZAPD 24-0010) by Bridge Tower Homes does not meet the requirements of the zoning of SF2 for this property and the designation of "Neighborhood" with compliance with the 2040 Comprehensive Plan of the City of Corinth, TX. (see attached page for additional)

Name/Address/City: **(REQUIRED)**

CARL MALKIEWICZ
2123 DEMARSH LN
CORINTH, TX 76210

(Please Print)

Signature: **(REQUIRED)**

Carl Malkiewicz
(Signature)

PAGE 1 of *2*

* The proposal (ZAPD24-0010 has a density of 5.6 - 17 acres with 96 lots). This density is not consistent with the Terrace Oaks Development which is directly to the south, that has a density of 3.4 (31 acres with 108 lots). In addition, the Hillside of Corinth Development (ZAPD23-0006) that is currently under construction that also has a density of 3.4 (31 acres with 108 lots).

* The Hillside of Corinth Proposal was reviewed in August 2023 and the original proposal was reject by the City Council. The key factor for that rejection was the alignment of parcels along the north edge of the development to more closely match those of the Provence neighborhood to the north, plus addition requirements to ensure that new developments provide transition to existing neighborhoods in respect to densities, screening, and buffering.

* The proposal from Bridge Tower shows imagery of proposed home that do not include any brick on these homes. This approach would not provide for architectural designs that are consistent with existing neighborhoods on Post Oak Road and the surrounding areas.

* There is no drainage plan provided in the proposal, however the Zoning Board and City Council should be made aware that the existing elevation near the center of the proposed development site is 671 ft. and the slopes quickly to the south and east. My lot is Block 1, Lot 15 and my foundation elevation is 651 ft. The developer of Terrace Oaks (Meritage Home) provided a retaining wall across the rear of lots 13,14, 15 and 16 and others have flooding during heavy rain. Meritage Homes will accept no responsibility for this problem and home owners are left to try and deal with it. During April of 2024, Denton County had 8.43 inches of rain which is about 5 more inches that normal, based on 30 years of records. To say the least, it was extremely difficult keeping flood water from the runoff from entering my inground pool. One of my neighbors was not as lucky and I believe the City should require a "Performance Bond" be provided by the developer. The proposed retention pond will not work and the site needs extensive dirt work to eliminate this problem.

Carl Malkiewicz *Carl Malkiewicz*

2123 Demarsh Ln
Corinth, TX 76210

From: Kevin V
Sent: Monday, December 23, 2024 11:43 PM
To: Melissa Dailey; Planners
Subject: Concerns Regarding Proposed High-Density Development on 1960 Post Oak Drive

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Melissa Dailey & Planning Division,

My name is Kevin Vensel, and my wife, Pranavi, and I live at 2213 Wellington Ln, at the intersection of Post Oak and Lake Sharon in Corinth. I am writing to formally express my concerns regarding the proposed rezoning of 1960 Post Oak Drive, which would allow for smaller, high-density residential lots. This proposal presents significant challenges related to financial impacts, infrastructure strain, and community safety.

1. **High-Density Development and Traffic:**

The proposed 40-foot and 30-foot lots will create an unacceptably high population density. This density is out of character with the established neighborhoods of Terrace Oaks and surrounding areas, which feature larger lots and a more spacious feel. More importantly, the increased traffic generated by this development will funnel directly into a school zone on Post Oak Drive. This road already experiences significant congestion during peak hours, and adding more vehicles will exacerbate existing traffic flow problems and endanger students and families.

2. **Inadequate Drainage Plan:**

The developer's incomplete drainage plan is a major concern. Terrace Oaks has a history of drainage problems that have placed a financial burden on our HOA. Adding more homes without a clear and comprehensive plan to manage increased runoff will inevitably worsen these issues.

Specifically, I request clarification on the following:

- * Retention Pond: Will the proposed retention pond be a permanent water feature? What will the grade of the pond be, and how will this impact surrounding properties?
- * Mitigation of Existing Issues: How will the drainage plan address the existing drainage problems that have plagued Terrace Oaks for years?

3. **Negative Impact on Property Values:**

The proposed construction of smaller homes with siding-only exteriors is a significant departure from the all-brick homes that define Terrace Oaks and contribute to its higher-end aesthetic. Introducing lower-cost construction will inevitably undermine property values for existing homeowners who have invested in this community.

4. ****Strain on Infrastructure:****

Increased population density will place a considerable strain on our existing infrastructure, including roads, utilities, and public services. This will likely result in:

- * Further traffic congestion and road deterioration.
- * Increased burden on utilities, potentially leading to service disruptions.
- * Higher costs for taxpayers to fund necessary infrastructure upgrades.

****Request for Reconsideration:****

I urge the Planning and Zoning Commission to reconsider this rezoning proposal. The potential for decreased property values, unresolved drainage problems, increased traffic congestion, and the development's incompatibility with the character of our community make it an unsuitable project for this location.

I request that the Commission prioritize the well-being and concerns of existing residents and deny this proposal in its current form.

Sincerely,
Kevin Vensel



Planning and Zoning Commission Meeting
Date: **MONDAY, January 27, 2025 at 6:30 P.M.**

City Council Regular Meeting
Date: **THURSDAY, February 20, 2025 at 6:30 P.M. * (see below for additional information)**

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208. The meetings will be broadcast live at <https://www.cityofcorinth.com/remotesession>.

PUBLIC HEARING NOTICE

Dear Property Owner:

On Monday, January 27, 2025, at 6:30 PM, the City of Corinth Planning & Zoning Commission will conduct a public hearing on the item listed below. Should the Planning & Zoning Commission make a recommendation, the Corinth City Council will conduct a public hearing on Thursday, February 20, 2025, at 6:30 PM and consider acting on the item listed below. The meetings will be held at the Corinth City Hall, 3300 Corinth Pkwy, Corinth, Texas 76208.

- A request by the Applicant, Bridge Tower Homes LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a base zoning district of SF-4 Single Family Residential for the development of ±96 lots on approximately ±17 acres located at 3650 Corinth Pkwy. (Case No. ZAPD24-0010 Saddlebrook Planned Development)

*The February 20, 2025, City Council Public Hearing will only be held should the Planning & Zoning Commission make a recommendation on January 27, 2025. Additional information regarding this request can be found on the Upcoming Public Hearings page of the City of Corinth website at: <https://www.cityofcorinth.com/planning-development/page/upcoming-public-hearings>

As a property owner within two hundred (200) feet of the area to be rezoned, you are invited to attend this meeting in-person and voice your opinion at the public hearing (please note you are not required to attend).

Additionally, your opinion regarding the request described above may be expressed by notation on this form or by letter. You may support or oppose this request; your opposition will be considered a protest. Signed written comments must be received by the City of Corinth Planning and Development Department at 3300 Corinth Parkway, Corinth, Texas 76208 (3 days prior to public hearing). Signed comments may be scanned and sent by email to Melissa Dailey, Director of Community and Economic Development, at planning@cityofcorinth.com. Additionally, if you have any questions regarding this request, you may call 940-498-3262 for assistance.

I am writing in (Check as applicable) Support: Opposition: of the proposal.

Name/Address/City: **(REQUIRED)**

Signature: **(REQUIRED)**

Jack McCann

(Please Print)

(Signature)



Planning and Zoning Commission Meeting
Date: **MONDAY, February 17, 2025 at 6:30 P.M. (DATE CHANGE)***

City Council Regular Meeting
Date: **THURSDAY, February 20, 2025 at 6:30 P.M.**

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208. The meetings will be broadcast live at <https://www.cityofcorinth.com/remotesession>.

PUBLIC HEARING NOTICE

Dear Property Owner:

The date of the Planning & Zoning Commission Public Hearing for the item listed below has been changed as follows: On Monday, February 17, 2025, at 6:30 PM, the City of Corinth Planning & Zoning Commission will conduct a public hearing on the item listed below. Should the Planning & Zoning Commission make a recommendation, the Corinth City Council will conduct a public hearing on Thursday, February 20, 2025, at 6:30 PM and consider acting on the item listed below. The meetings will be held at the Corinth City Hall, 3300 Corinth Pkwy, Corinth, Texas 76208.

- A request by the Applicant, Bridge Tower Homes LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a base zoning district of SF-4 Single Family Residential for the development of ±97 lots on approximately ±17 acres located at 1960 Post Oak Drive. (Case No. ZAPD24-0010 Saddlebrook Planned Development)

***Please note that the date change is for the Planning & Zoning Commission public hearing only. The City Council public hearing date as previously noticed remains the same. Letters of support or opposition already received will be considered for the new public hearing date.**

Additional information regarding this request can be found on the Upcoming Public Hearings page of the City of Corinth website at: <https://www.cityofcorinth.com/planning-development/page/upcoming-public-hearings>

As a property owner within two hundred (200) feet of the area to be rezoned, you are invited to attend this meeting in-person and voice your opinion at the public hearing (please note you are not required to attend).

Additionally, your opinion regarding the request described above may be expressed by notation on this form or by letter. You may support or oppose this request; your opposition will be considered a protest. Signed written comments must be received by the City of Corinth Planning and Development Department at 3300 Corinth Parkway, Corinth, Texas 76208 (3 days prior to public hearing). Signed comments may be scanned and sent by email to Melissa Dailey, Director of Community and Economic Development, at planning@cityofcorinth.com. Additionally, if you have any questions regarding this request, you may call 940-498-3262 for assistance.

I am writing in (Check as applicable) Support: Opposition: of the proposal.

Based on the developer's proposed plans, we strongly oppose this development. The density / tiny lots and cheap all-siding construction do not remotely compare to the surrounding neighborhoods.

Name/Address/City: (REQUIRED)

Aaron Shapiro, 2301 Westerly
(Please Print)

Signature: (REQUIRED)

(Signature)



Planning and Zoning Commission Meeting
Date: MONDAY, January 27, 2025 at 6:30 P.M.

Section E, Item 3.

City Council Regular Meeting
Date: THURSDAY, February 20, 2025 at 6:30 P.M. * (see below for additional information)

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208. The meetings will be broadcast live at <https://www.cityofcorinth.com/remotesession>.

PUBLIC HEARING NOTICE

Dear Property Owner:

On Monday, January 27, 2025, at 6:30 PM, the City of Corinth Planning & Zoning Commission will conduct a public hearing on the item listed below. Should the Planning & Zoning Commission make a recommendation, the Corinth City Council will conduct a public hearing on Thursday, February 20, 2025, at 6:30 PM and consider acting on the item listed below. The meetings will be held at the Corinth City Hall, 3300 Corinth Pkwy, Corinth, Texas 76208.

- A request by the Applicant, Bridge Tower Homes LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a base zoning district of SF-4 Single Family Residential for the development of ±96 lots on approximately ±17 acres located at 3650 Corinth Pkwy. (Case No. ZAPD24-0010 Saddlebrook Planned Development)

*The February 20, 2025, City Council Public Hearing will only be held should the Planning & Zoning Commission make a recommendation on January 27, 2025. Additional information regarding this request can be found on the Upcoming Public Hearings page of the City of Corinth website at: <https://www.cityofcorinth.com/planning-development/page/upcoming-public-hearings>

As a property owner within two hundred (200) feet of the area to be rezoned, you are invited to attend this meeting in-person and voice your opinion at the public hearing (please note you are not required to attend).

Additionally, your opinion regarding the request described above may be expressed by notation on this form or by letter. You may support or oppose this request; your opposition will be considered a protest. Signed written comments must be received by the City of Corinth Planning and Development Department at 3300 Corinth Parkway, Corinth, Texas 76208 (3 days prior to public hearing). Signed comments may be scanned and sent by email to Melissa Dailey, Director of Community and Economic Development, at planning@cityofcorinth.com. Additionally, if you have any questions regarding this request, you may call 940-498-3262 for assistance.

I am writing in (Check as applicable) Support: Opposition: of the proposal. *Opposed!*

See attached letter. This is a bad idea for this parcel of land, and the general community. The city should not encourage or facilitate the financialization of single-family homes.

Name/Address/City: (REQUIRED)

Signature: (REQUIRED)

Arson Layman / 2302 Arregill Dr. / Corinth
(Please Print)

Arson Layman
(Signature)

To: Melissa Dailey & City of Corinth Planning Division

From: Aaron Layman

RE: Saddlebrook, Bridge Tower Proposal

January 20 2025

I am writing to formally express my objection to the Bridge Tower Homes development proposal and their request for amending the zoning requirement on the property at 1960 Post Oak Drive. The higher-density proposal does not fit with the adjacent neighborhoods, and it will put additional strain on community infrastructure and resources when we don't need it.

The small lots and generally unattractive designs proposed by Bridge Tower might make for decent future rental stock. That's precisely what we don't need on this parcel of land. The current SF-2 designation for the property is the right zoning for the land as it provides continuity and character for existing and future residents while maintaining stable property values.

The city of Corinth has several multifamily projects and ample housing supply coming to market to meet the needs of residents. It doesn't need a glorified rental community advertised as something different. Available infrastructure and schools are already under pressure trying to keep up with existing development. The higher density proposal in this case just creates additional problems and stress without improving the character of the community.

Looking at the Bridge Tower website (Their other website), I think it's pretty clear what the company is about. The Saddlebrook proposal by Bridge Tower Homes is just another iteration of the financialization of housing. To put it in plain English:

It's. About. The. Money!!!

I would encourage the Planning Division and City Council to reject the current proposal and the request for amended zoning. The **city of Corinth should not be in the business of promoting or facilitating the financialization of single-family homes**, not when local residents are already struggling with housing affordability.

Sincerely,

Aaron Layman

Financialization Nation – It’s About the Money.



Bridge Tower is a leading vertically-integrated real estate investment company focused on U.S. residential real estate, featuring a passionate team of experienced professionals disciplined in acquisition, development, construction, property management, and leasing.

Launched in 2013, Bridge Tower was an early mover in the Single Family for Rent ("SFR") asset class, initially acquiring properties through short sales, court house steps, and MLS listings. As the market evolved, Bridge Tower expanded operations in 2015 to include Build-to-Rent ("BTR") communities and bulk portfolio acquisitions, ultimately becoming one of the largest fully-integrated SFR & BTR platforms.

Bridge Tower's comprehensive vertical integration and specialized investment focus guarantees maximum efficiency, competitive pricing, and stakeholder satisfaction throughout the entire investment cycle. Bridge Tower stands out in as one of the few sponsors offering a full suite of in-house services.

4,500
UNITS ACQUIRED, BUILT & UNDER CONSTRUCTION

\$1.5B
DEPLOYED IN REAL ESTATE INVESTMENTS SINCE 2013

BRIDGE TOWER
[Home](#)
[About](#)
[Opportunities](#)
[Performance](#)
[Contact](#)
[Investors](#)
[INVEST WITH US](#)

4,500
UNITS ACQUIRED, BUILT & UNDER CONSTRUCTION

\$1.5B
DEPLOYED IN REAL ESTATE INVESTMENTS SINCE 2013

OPEN INVESTMENT OPPORTUNITIES

At Bridge Tower, our Funds and Direct Investments are designed to offer investors flexible and accessible real estate investment opportunities. These opportunities are carefully curated to target a diverse range of real assets, including emerging markets and high-potential sectors. With a focus on transparency, liquidity, and growth potential; our investments aim to deliver competitive risk adjusted returns to our investors.

Bridge Tower provides the expertise, resources, and support needed to navigate the complexities of the market. Partner with us to create wealth through our strategically managed real estate investments.

2.0x+ EQUITY MULTIPLE TARGET

15-30%
TARGETED AVERAGE ANNUAL INVESTOR RETURNS

9-12%
TARGETED AVERAGE ANNUAL CASH DISTRIBUTION



[EXPLORE INVESTMENT OPPORTUNITIES](#)

[ACCESS INVESTMENT DOCUMENTS NOW](#)

OPEN FUNDS

SELECT FUND VI

A private real estate investment opportunity tailored for the moderate risk investor who desires both passive income and asset appreciation within a single venture. This Fund's approach centers around, acquisition, development, and managing single-family residences in strong growth markets.

Target Returns (Annualized): 15% – 30%

Objective: Income + Growth

Hold Period: 5+ Years

IRR: 18%+

[GET FUND DOCUMENTS](#)

SINGLE PROJECT OPPORTUNITIES

Planning and Zoning Commission and City Council

Melissa Dailey, Director of Community and Economic Development

This letter is in protest of the planned Zoning change; ZAPD24-0010: Saddlebrook Planned Development:

As a resident of Terrace Oaks for the last 5 years I've seen the growth of the city expand to the point where infrastructure cannot consistently keep up with the proposed build site, and this proposal is no exception.

In a review of the Bridge Tower Homes plans for the property located North of Terrace Oaks at 1960 Post Oak Dr in Corinth, issue we have are as follows;

- 1) The lots that boarder Terrace oaks proposed by Bridge Tower Homes are 40ft Lots whereas the homes along this area in Terrace oaks are 70 ft lots.
The lots for the "Garden style" homes are 30ft Lots. Concern here the High Density of the Development will cause multiple issue;
 - a) Two new Traffic entrances will all enter and exit within a school zone further exacerbating the traffic concerns on post Oak with the addition of the possibility of ~200 vehicles at a point where post oak necks down to 2 lanes.
 - b) The "high Density" layout does not fit within the Homes already built in Terrace Oaks as well as the new Development going into the new property development to the North.
- 2) The builder had not finalized a Drainage plan and the concern is the density could affect the already unacceptable drainage Issues we are fighting withing Terrace Oaks, with no one being held responsible for the cost to remedy them, it has fallen back on the HOA and residence to resolve at considerable cost to both.
- 3) The proposal is for all of the homes to be siding only homes, with NO brick exterior, which does not provide the look of all the other communities surrounding it, providing a lower end home, at the expense of the surrounding all brick homes once billed as a higher end community.

Ralph & Debra Jansen
2309 Tolthaven Rd.



Debra Jansen

To: Melissa Daily

25 January 2025

Director of Community and Economic Development

3300 Corinth Parkway

Corinth, Texas 76208

From: Richard and Karen Haas

2309 Westerly Circle

Corinth, Texas 76210

Director Daily:

My wife and I live in the Terrace Oaks HOA off Post Oak near the corner of Creekside and Post Oak. We are opposed to the proposal of Bridge Tower Homes LLC request to change from SF-2 to SF-4 Single Family Residential for their proposed Saddlebrook development. Our reasoning follows:

1. The density of 97 homes on 17 acres is not consistent with all the homes in this part of Corinth and Denton. Existing homes have mainly brick exteriors on reasonably sized lots, not a large number of "shotgun" homes close together.
2. WATER Our water pressure is borderline acceptable. I understand the proposed new water tower will not be available until 2028. 97 new homes on the 17 acre site will cause water problems we don't need.
3. TRAFFIC Post Oak carries considerable traffic. There is a Grade School and a Junior High School on Creekside. School traffic is a problem at times. The two exits/entrances into Saddlebrook will only add to that problem
4. Other growth in the area. Meritage Homes has not completed the new sub-division to our east. There is another sub-division underway just next to the Saddlebrook property to the north. And south of Lake Sharon/Post Oak intersection is another very large sub-division under construction on the south side of Lake Sharon. All those add to the WATER and TRAFFIC issues.

We are not against Corinth improving itself. We just believe SF-2 is the proper zoning for the Saddlebrook property.

Thank you,

Richard L. Haas
Karen S. Haas



Planning and Zoning Commission Meeting

Date: **MONDAY, February 17, 2025 at 6:30 P.M. (DATE CHANGE)***

City Council Regular Meeting

Date: **THURSDAY, February 20, 2025 at 6:30 P.M.**

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208. The meetings will be broadcast live at <https://www.cityofcorinth.com/remotesession>.

PUBLIC HEARING NOTICE

Dear Property Owner:

The date of the Planning & Zoning Commission Public Hearing for the item listed below has been changed as follows: On Monday, February 17, 2025, at 6:30 PM, the City of Corinth Planning & Zoning Commission will conduct a public hearing on the item listed below. Should the Planning & Zoning Commission make a recommendation, the Corinth City Council will conduct a public hearing on Thursday, February 20, 2025, at 6:30 PM and consider acting on the item listed below. The meetings will be held at the Corinth City Hall, 3300 Corinth Pkwy, Corinth, Texas 76208.

- A request by the Applicant, Bridge Tower Homes LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a base zoning district of SF-4 Single Family Residential for the development of ±97 lots on approximately ±17 acres located at 1960 Post Oak Drive. (Case No. ZAPD24-0010 Saddlebrook Planned Development)

***Please note that the date change is for the Planning & Zoning Commission public hearing only. The City Council public hearing date as previously noticed remains the same. Letters of support or opposition already received will be considered for the new public hearing date.**

Additional information regarding this request can be found on the Upcoming Public Hearings page of the City of Corinth website at: <https://www.cityofcorinth.com/planning-development/page/upcoming-public-hearings>

As a property owner within two hundred (200) feet of the area to be rezoned, you are invited to attend this meeting in-person and voice your opinion at the public hearing (please note you are not required to attend).

Additionally, your opinion regarding the request described above may be expressed by notation on this form or by letter. You may support or oppose this request; your opposition will be considered a protest. Signed written comments must be received by the **City of Corinth Planning and Development Department at 3300 Corinth Parkway, Corinth, Texas 76208 (3 days prior to public hearing)**. Signed comments may be scanned and sent by email to **Melissa Dailey, Director of Community and Economic Development, at planning@cityofcorinth.com**. Additionally, if you have any questions regarding this request, you may call 940-498-3262 for assistance.

I am writing in (Check as applicable) Support: Opposition: of the proposal.

I oppose rezoning request by Bridge Tower Homes of 17 acres along Post Oak Dr to SF4. To many home in a condensed area, in the middle of a school zone on a two lane road. I see no benefit to the surrounding communities.

Name/Address/City: **(REQUIRED)**

Signature: **(REQUIRED)**

Frank Burgos

(Please Print)

Frank Burgos

(Signature)



Planning and Zoning Commission Meeting
Date: **MONDAY, January 27, 2025 at 6:30 P.M.**

City Council Regular Meeting
Date: **THURSDAY, February 20, 2025 at 6:30 P.M. * (see below for additional information)**

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208. The meetings will be broadcast live at <https://www.cityofcorinth.com/remotesession>.

PUBLIC HEARING NOTICE

Dear Property Owner:

On Monday, January 27, 2025, at 6:30 PM, the City of Corinth Planning & Zoning Commission will conduct a public hearing on the item listed below. Should the Planning & Zoning Commission make a recommendation, the Corinth City Council will conduct a public hearing on Thursday, February 20, 2025, at 6:30 PM and consider acting on the item listed below. The meetings will be held at the Corinth City Hall, 3300 Corinth Pkwy, Corinth, Texas 76208.

- A request by the Applicant, Bridge Tower Homes LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a base zoning district of SF-4 Single Family Residential for the development of ±96 lots on approximately ±17 acres located at 3650 Corinth Pkwy. (Case No. ZAPD24-0010 Saddlebrook Planned Development)

***The February 20, 2025, City Council Public Hearing will only be held should the Planning & Zoning Commission make a recommendation on January 27, 2025.** Additional information regarding this request can be found on the Upcoming Public Hearings page of the City of Corinth website at: <https://www.cityofcorinth.com/planning-development/page/upcoming-public-hearings>

As a property owner within two hundred (200) feet of the area to be rezoned, you are invited to attend this meeting in-person and voice your opinion at the public hearing (please note you are not required to attend).

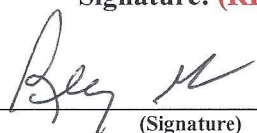
Additionally, your opinion regarding the request described above may be expressed by notation on this form or by letter. You may support or oppose this request; your opposition will be considered a protest. Signed written comments must be received by the **City of Corinth Planning and Development Department at 3300 Corinth Parkway, Corinth, Texas 76208 (3 days prior to public hearing)**. Signed comments may be scanned and sent by email to **Melissa Dailey, Director of Community and Economic Development, at planning@cityofcorinth.com**. Additionally, if you have any questions regarding this request, you may call 940-498-3262 for assistance.

I am writing in (Check as applicable) Support: Opposition: of the proposal.

Name/Address/City: **(REQUIRED)**

Signature: **(REQUIRED)**

Reginald Renbert 1909 Post Oak
(Please Print)


(Signature)



CITY OF CORINTH
Staff Report

Meeting Date:	2/17/2025	Title:	UDC Text Amendment (ZTA25-0001) Fenestration and Tree Preservation (MX-C Regulation)
Strategic Goals:	<input type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input checked="" type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development		

Item/Caption

Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a request to amend UDC Subsection - 2.06.02.M - Architectural Standards. (Case No. ZTA25-0001 Fenestration and Tree Preservation (MX-C Regulation))

Item Summary/Background/Prior Action

Request A – UDC Subsection 2.06.02.M - Architectural Standards

Fenestration is defined as the arrangement of openings in a building's exterior facade, such as doors, windows, and skylights. The current MX-C code requires Fenestration on the ground floor of all new buildings, without distinction as to whether the ground floor contains commercial space or is entirely for residential use. The proposed amendment clarifies that Fenestration Standards would only apply to new buildings with commercial space on the ground floor, as it significantly impacts the overall design and curb appeal of the commercial space, creating a focal point for the building and passing foot traffic.

Staff is requesting that UDC 2.06.02 M be amended to read as follows (new text in bold red font):

FENESTRATION for **Ground Floor Commercial** - All new buildings with **Ground Floor Commercial** facades fronting on publicly accessible streets or other public spaces (except alleys) shall have openings and transparent (not mirrored) glazing that together constitute not less than sixty (60) percent of the horizontal length of each structure between the height of three (3) feet and eight (8) feet above the sidewalk.

Request B – UDC Subsection 2.06.02.N - Tree preservation and Landscaping

The MX-C zoning states that protected trees are defined as 20 caliper inches or greater, and the 20 CI relates to both mitigation fees and preservation credits. Other zoning districts recognize protected trees as 6 caliper inches or greater. The MX-C standard recognizes that the higher level of development in these districts will create challenges in preserving trees. However, the existing MX-C zoning relating to reduced mitigation for trees measuring 20 CI or less does not incentivize developers to preserve trees between 6 CI and 20 CI. The proposed text amendment would clarify that trees between 6 CI and 20 CI are not subject to mitigation but qualify to receive preservation credits.

Staff is requesting that the first paragraph of UDC 2.06.02 N be amended to read as follows (old text shown with strikethrough, new text in bold red font):

~~For purposes of this district, protected trees shall be defined as twenty (20) caliper inches or more and shall supersede the definition in Section 2.09.02 for Tree, Protected. All other provisions in Section 2.09.02 shall apply.~~

For purposes of this district, the regulations contained in UDC 2.09.02 G.3 (Mitigation Requirements for Protected Trees Removed) shall only be applicable for protected trees – as defined in UDC 2.09.02 C.19 (Tree, Protected) – measuring 20.1 caliper inches or greater. All other provisions of UDC 2.09.02 shall apply.

Public Notice

Notice of the public hearing was provided in accordance with the City Ordinance and State Law by,

- Publishment in the Denton Record-Chronicle
- The Public Hearing notice was posted on the City’s Website

Staff Recommendation

Staff recommends approval of the proposed amendment as presented.

Motion

“I move to recommend approval of Case No. ZTA25-0001 as presented.”

Alternative Actions by the Planning and Zoning Commission

The Planning and Zoning Commission may also,

- Recommend approval with additional stipulations
- Continue the Public Hearing and table action on the request to a definitive or non-defined date
- Recommend denial of the request



CITY OF CORINTH Staff Report

Meeting Date:	2/17/2025	Title:	UDC Text Amendment (ZTA25-0002) UDC Lighting Spacing
Strategic Goals:	<input type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input checked="" type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development		

Item/Caption

Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a request to amend UDC Subsection – 3.05.19 C, Street Lighting. (Case No. ZTA25-0002 UDC Lighting Spacing)

Item Summary/Background/Prior Action

The Unified Development Code currently requires a maximum spacing of 600 feet and lacks specifications as to the type of post and luminaire to be used, resulting in inconsistencies throughout developments in the City. The spacing requirements also result in a lack of proper illumination which decreases safety.

Staff seeks to address the lack of illumination in city streets by adopting a maximum spacing of 250 feet with exceptions in specific cases as listed in the proposed amendments below. Additionally, Staff seeks to ensure that future pedestrian lighting is oriented by requiring that poles do not exceed a height of fifteen feet (15’).

Staff is proposing to modify UDC Subsection 3.05.19 C, Street Lighting, to read as follows [new text in bold red font; removed text crossed out]:

1. Street Lighting System means the base, pole, arm, and light fixture of each street lighting system, as well as all electrical components of such system. **Where the term Pedestrian Light is not expressly written in this or any other provision of the Unified Development Code, the term Street Light shall refer to and be defined as a Pedestrian Light Fixture.**
2. Street lighting shall conform to the latest edition of the Illuminating Engineering Society Handbook.
3. ~~Round tapered standards with bracket arms shall be used and lighting levels, as recommended, shall be provided for very light traffic in residential areas, medium traffic on Collector Streets, and heavy traffic on Arterial Street.~~ **All Street Lights installed within the City shall be Pedestrian Light Fixtures. Pedestrian Light Fixture pole height shall not exceed 15’.**
4. ~~In no instance shall the spacing between street lights exceed six hundred (600) feet.~~ **Pedestrian Light Fixtures shall be installed at each corner of an intersection. Spacing shall not exceed a distance of two hundred fifty feet (250’). Pedestrian light fixtures shall be installed in the parkway (space between curb and sidewalk). Closer spacing may be required for additional safety lighting at horizontal and vertical curves, median openings, school crosswalks, bridge approaches, historically high accident locations, and potential roadway and pedestrian safety hazards. The Director of Planning, or their designee, may approve spacing greater than two hundred fifty feet (250’) when determined that the intent of this section is satisfied and/or proposed lighting may cause light pollution.**
5. Cost of installation of street lighting shall be borne by the Developer.
6. **The Developer shall include a proposed lighting plan showing location and type of fixtures in compliance with this Section as part of the Civil Engineering Construction Plans and shall be reviewed by the Planning Division subject to the approval of the Director of Planning.**

Public Notice

Notice of the public hearing was provided in accordance with the City Ordinance and State Law by,

- Publishment in the Denton Record-Chronicle
- The Public Hearing notice was posted on the City’s Website

Staff Recommendation

Staff recommends approval of the proposed amendment as presented.

Motion

“I move to recommend approval of Case No. ZTA25-0002 as presented.”

Alternative Actions by the Planning and Zoning Commission

The Planning and Zoning Commission may also,

- Recommend approval with additional stipulations
- Continue the Public Hearing and table action on the request to a definitive or non-defined date
- Recommend denial of the request



CITY OF CORINTH Staff Report

Meeting Date:	2/17/2025	Title:	UDC Text Amendment (ZTA25-0003) UDC Retention Pond
Strategic Goals:	<input type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development		

Item/Caption

Conduct a Public Hearing, consider testimony, and act on a city-initiated request to amend Unified Development Code (UDC) Subsection 3.05.16 – Drainage and Storm Water to add a requirement for drainage basins to be designed as retention ponds when located between a building and a street, and/or completely bounded by streets, and/or viewable from a public space. (Case No. ZTA25-0003)

Item Summary/Background/Prior Action

The Unified Development Code and the City’s Engineering Standards Manual currently permit the construction of detention (dry) or retention (wet) drainage basins (ponds) in new developments within the City of Corinth. While Staff has worked closely with developers over the past few years to enhance the appearance and useability of detention ponds (e.g. Ashford Park Phase 1), retention ponds provide greater aesthetic appeal and improve the city’s environmental health (e.g. Ashford Park Phase 2).

Staff is proposing to modify UDC Subsection 3.05.16 A.5 (Drainage Facilities) to read as follows [new text in bold red font]:

- 5. Drainage Facilities. Drainage Facilities shall be provided and construction by the Developer in accordance with the requirements within this Section 3.05.16. Drainage and Storm Water and the City’s Code of Ordinances. **Drainage facilities located between a building and a street, and/or completely bounded by streets, and/or viewable from a public space shall be designed as retention ponds. Any conflicting adopted regulation or standard, including but not limited to the Unified Development Code or the City’s Engineering Standards Manual, shall be superseded by this provision.**

Public Notice

Notice of the public hearing was provided in accordance with the City Ordinance and State Law by,

- Publishment in the Denton Record-Chronicle
- The Public Hearing notice was posted on the City’s Website

Staff Recommendation

Staff recommends approval of the proposed amendment as presented.

Motion

“I move to recommend approval of Case No. ZTA25-0003 as presented.”

Alternative Actions by the Planning and Zoning Commission

The Planning and Zoning Commission may also,

- Recommend approval with additional stipulations
- Continue the Public Hearing and table action on the request to a definitive or non-defined date
- Recommend denial of the request