

****PUBLIC NOTICE****



PLANNING & ZONING COMMISSION

Monday, November 13, 2023 at 6:30 PM

City Hall | 3300 Corinth Parkway

AGENDA

- A. CALL TO ORDER AND ANNOUNCE A QUORUM PRESENT**
- B. ESTABLISH VOTING MEMBERS AND DESIGNATE ALTERNATES**
- C. PLEDGE OF ALLEGIANCE**
- D. CONSENT AGENDA**

All matters listed under the Consent Agenda are considered to be routine and will be enacted in one motion. Should the Chair, a Commission Member, or any citizen desire discussion of any item, that item will be removed from the Consent Agenda and will be considered separately.

- 1. Consider the approval of minutes for the Planning & Zoning Commission Regular Session held on October 23, 2023.
- 2. Consider and act on a request by the applicant, mma, inc., for a Final Plat of the Corinth Groves Subdivision, being ± 25.115 acres situated in the H. Garrison Survey, Abstract No. 507. The property is located north of Lake Sharon Drive, west of I-35E and east of Corinth Parkway. (Case No. FP23-0001 – Corinth Groves.)

E. BUSINESS AGENDA

- 3. Consider and act on an extension request by the applicant, Jason Rose, for a Preliminary Plat of the Quarry Townhomes Addition Subdivision, being ± 32.677 acres situated in the H. Garrison Survey, Abstract No. 507. The property is located north of Lake Sharon Drive, west of I-35E and east of Corinth Parkway. (Case No. PP23-0003 – Quarry Townhomes Addition)
- 4. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a request by the Applicant, Skorborg Company, to amend the City of Corinth Comprehensive Plan "Envision Corinth 2040" Master Thoroughfare Plan by removing the proposed Future Collector Roadway connecting Lake Sharon Drive to Hollis Drive. Case No. CPA23-0001
- 5. Conduct a Public Hearing to consider testimony and make a recommendation to City Council on a rezoning request by the Applicant, Skorborg Company, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code of the City, from SF-4 Single Family Residential and C-1 Commercial to a Planned Development with a base zoning district of SF-4 Single Family Residential, for the development of a residential subdivision on approximately ± 57 acres located generally south of Lake Sharon Drive, north of Hollis Drive and Custer Drive, east of the Fairview West subdivision, and west Lavina Drive and Trinity Terrace. Case No. ZAPD23-0003 – Oak Ridge Park
- 6. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a rezoning request by the Applicant, Chris Boening, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code of the City, by amending Planned Development No. 55 (PD-55) for the purpose of modifying land use regulations, increasing the number

of lots, and updating associated exhibits on approximately ±5.4 acres located the southwest corner of FM 2499 and FM 2181. (Case No. ZAPD23-0005 – Corinth Corners)

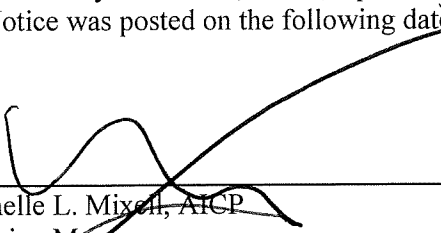
F. DIRECTOR'S REPORT

G. ADJOURNMENT

The Planning & Zoning Commission reserves the right to recess into executive or closed session to seek the legal advice of the City's attorney pursuant to Chapter 551 of the Texas Government Code on any matter posted on the agenda. After discussion of any matters in closed session, any final action or vote taken will be public by the Commission.

As a majority of the Council Members of the City of Corinth may attend the above described meeting, this notice is given in accordance with Chapter 551 of the Texas Government Code. No official action will be taken by the City Council at this meeting.

I, the undersigned authority, do hereby certify that the meeting notice was posted on the bulletin board at City Hall of the City of Corinth, Texas, a place convenient and readily accessible to the general public at all times and said Notice was posted on the following date and time: **Friday, November 10, 2023, at 12:00 PM.**



Michelle L. Mixon, AICP
Planning Manager
City of Corinth, Texas

November 10, 2023

Date of Notice

Corinth City Hall is wheelchair accessible. Person with disabilities who plan to attend this meeting and who may need auxiliary aids or services such as interpreters for persons who are deaf, or hearing impaired, or readers of large print, are requested to contact the City Secretary's Office at 940-498-3200, or fax 940-498-7576 at least two (2) working days prior to the meeting so that appropriate arrangements can be made.

BRaille IS NOT AVAILABLE



MINUTES
PLANNING & ZONING COMMISSION
WORKSHOP AND REGULAR SESSION

Monday, October 23, 2023, at 6:30 PM

City Hall | 3300 Corinth Parkway

On the 23rd day of October 2023, the Planning & Zoning Commission of the City of Corinth, Texas, met in Regular Session at the Corinth City Hall at 6:30 P.M., located at 3300 Corinth Parkway, Corinth, Texas.

Commissioners Present:

Chair Alan Nelson
KatieBeth Bruxvoort
Rebecca Rhule
Adam Guck
Chris Smith

Commissioners Absent:

Vice Chair Mark Klingele
Crystin Jones

Staff Members Present:

Melissa Dailey, Director of Development Services
Michelle Mixell, Planning Manager
Miguel Inclan, Planner
Matthew Lilly, Planning Coordinator

A. CALL TO ORDER AND ANNOUNCE A QUORUM PRESENT

Chair Alan Nelson called the meeting to order at 6:30 PM.

B. ESTABLISH VOTING MEMBERS AND DESIGNATE ALTERNATES

Commissioner Smith was designated as a voting member.

C. PLEDGE OF ALEGIANCE

D. CONSENT AGENDA

1. Consider the approval of minutes for the Planning & Zoning Commission Regular Session held on September 25, 2023.

2. Consider and act on a request by the Applicant, Zak Mojra, for approval of a Replat of the Magnolia Center Addition Subdivision, being ±3.135 acres located at the southwest corner of S I-35E and Lake Sharon Drive. (Case No. RP23-0003)

Commissioner Ruhle made a motion to approve the consent agenda, seconded by Commissioner Bruxvoort.

Motion passed unanimously: 5-for, 0-against.

E. BUSINESS AGENDA

3. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a rezoning request by the Applicant, Skorgburg Company, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code of the City, from SF-4 Single Family Residential and C-1 Commercial to a Planned Development with a base zoning district of SF-4 Single Family Residential, for the development of a residential subdivision on approximately ±57 acres generally located south of Lake Sharon Drive, north of Hollis Drive and Custer Drive, east of the Fairview West subdivision, and west Lavina Drive and Trinity Terrace. Case No. ZAPD23-0003 – Oak Ridge Park

4. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a request by the Applicant, Skorgburg Company, to amend the City of Corinth Comprehensive Plan “Envision Corinth 2040” Master Thoroughfare Plan by removing the proposed Future Collector Roadway connecting Lake Sharon Drive to Hollis Drive. Case No. CPA23-0001

Chair Nelson stated that the Applicant for both Items 3 and 4 had requested to open and continue the Public Hearings to the next Planning and Zoning Commission on November 13th.

Chair Nelson opened the Public Hearing at 6:35 PM.

Austin Ortega, 2801 Custer Drive, stated that he liked many aspects of the proposal but asked that the developer decrease the density of the development.

Mike King, 2610 Zachary Drive, went through the history of the site, brought up concerns with traffic, school capacity, and emergency services, and asked that the site be developed under the existing SF-4 zoning rather than as a planned development.

Alanna Fickes, 2712 Cherokee Trail, stated that she was against the proposed planned development and asked that the SF-4 zoning be maintained.

Jared Dale, 2807 Goodnight Trail, stated that he liked the proposed plan overall but that he felt the density was too high and would create additional traffic and strain city services.

Robert Stonecipher, 2520 Meadowview Drive, stated that he felt the site should remain under its current zoning and was against the proposed density.

Commissioner Guck made a motion to continue the Public Hearings for Business Agenda Items 3 and 4 to the Planning & Zoning Commission Meeting scheduled for November 13th, seconded by Commissioner Smith.

Motion passed unanimously: 5-for, 0-against.

F. DIRECTORS REPORT

Director Dailey informed the Commission that the Hillside development straight zoning case was denied at the October 19, 2023, City Council meeting. She stated that Chair Nelson and Vice-Chair Klingele were re-appointed to the Planning & Zoning Commission in addition to Commissioners Jones and Smith being designated as first and second alternate voting members respectively. She stated that the architectural renderings and elevations for the Parkway Lofts development were approved by City Council.

G. ADJOURN REGULAR SESSION

There being no further business before the Commission, the Regular Session was adjourned at 6:46 PM.

H. CALL WORKSHOP SESSION TO ORDER AND ANNOUNCE A QUORUM PRESENT

Chair Nelson called the Workshop Session to order at 6:46 PM.

I. WORKSHOP AGENDA

5. Conduct a workshop and hold an informal discussion on housing development trends and demographics.

Melissa Dailey, Director of Development Services, provided a presentation and discussed the current demographic and market trends in Corinth, the metroplex, and throughout the country and how these trends relate to the Comprehensive Plan.

Chair Nelson asked how proposed state legislation to increase density of developments would affect future development.

Dailey stated that if this legislation were passed, this would reduce municipality's ability to limit lot sizes and restrict density.

Chair Nelson asked if this would affect existing zoning districts and neighborhoods.

Dailey stated that she was not sure if there would be grandfathering of existing zoning districts and neighborhoods.

Chair Nelson stated that he felt that they had essentially let the market drive the density in the TOD and other areas, but that he was concerned about how increasing the density elsewhere would affect existing single family residential areas.

Dailey pointed out that large lot houses and styles may not be marketable in the future.

Chair Nelson stated that he was familiar with the neighborhood that was presented and that he appreciated that setbacks had been maintained in this area.

Dailey stated that this was due to it being an existing neighborhood but conceptually in new neighborhoods a new context can be created.

6. Conduct a workshop and hold an informal discussion on a rezoning request by the Applicant, Skorburg Company, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code of the City, from SF-4 Single Family Residential (detached) and C-1 Commercial to a Planned Development District with a base zoning district of SF-4 Single Family Residential (detached) to accommodate a planned single family neighborhood consisting of multiple lot sizes on approximately ± 57 acres generally located south of Lake Sharon Drive, west of Trinity Terrace and Dickinson Drive, north of Custer Road and Meadowview Drive, and east of Zachary Drive. (ZAPD23-0003 Oak Ridge Park)

Michelle Mixell, Planning Manager, provided Staff's presentation and pointed out many aspects of the proposal that were currently being evaluated. She highlighted the tiered layout of the different lot sizes, the

proposed street trees and open space areas, and the modification to the Collector Street currently shown in the Comprehensive Plan.

Chair Nelson asked if the street trees would be within the utility easements.

Mixell stated that Staff was still working through the design elements and that they were working with Public Works to ensure that utilities are not negatively affected.

Commissioner Smith asked if Public Works was looking into how to control the growth of street trees.

Mixell stated that they would be utilizing root barriers, increasing the width of the parkway between the sidewalk, and that the Applicant could speak more to how these trees will be installed and maintained.

John Arnold, Skoburg Company, provided a presentation on behalf of the Applicant and provided a background on current developments they have worked on in Corinth. He explained why they were asking for additional density including the current market and demographic demands, open space and tree preservation requirements, landscaping, detention, and improved architectural features. He went through several of the proposed amenities in the open space including walking trails and an ADA Inclusive Playground. He stated that the existing gas well will be removed 60 days after Skoburg Company finalizes and closes the purchase of the property. He went through the traffic expected to be generated by the development and their proposal to remove the connector street currently on the Master Thoroughfare Plan.

Chair Nelson asked what the setbacks from the street were for the different lots.

Arnold stated that Yellow lots have 25' front setbacks. He clarified that a franchise easement will be between the sidewalk and the house where there are street trees, and root barriers will be provided.

Chair Nelson asked who owned the sidewalks.

Arnold stated that the City owns the sidewalks.

Chair Nelson asked where utilities were planned to be located.

Arnold stated that the majority of utilities would be located under the street.

Chair Nelson asked what the franchise utilities were.

Arnold stated that this was gas, electric, and fiber optic that would be located in the same trench.

Chair Nelson asked if the HOA would maintain and landscape the larger SF lots.

Arnold stated that these lots would have a typical HOA, and that there would be one central HOA for the development.

Chair Nelson asked if the playground included any water features.

Arnold stated that it did not include water features.

Chair Nelson asked if the detention pond was dry.

Arnold stated that the smaller detention pond would definitely be dry and that they were evaluating if a wet detention pond was possible on the larger pond.

Chair Nelson asked if the current density was 5.6 units per acre.

Arnold confirmed this.

Commissioner Guck asked how trash pick-up and mail delivery would function.

Arnold stated that they would utilize central mailboxes, and that trash pickup would function as in a typical neighborhood.

Chair Nelson asked where the central mailboxes would be located.

Arnold stated that they had not picked a location yet.

Commissioner Guck asked if illumination would be included along the trails.

Arnold stated that they would include solar bollards along the trail.

Commissioner Rhule stated that she had concerns with there not being enough parking, was concerned with the density, and felt that there was too much diversity in lot size.

Commissioner Smith asked if the detention ponds were being sized to also accommodate the flow from surrounding areas.

Arnold stated that all flow onto the site was being evaluated and would be addressed.

Commissioner Smith asked how wide the alleys behind the Cottage lots would be.

Arnold stated they would be 12' wide.

Commissioner Smith asked how the visitor parking for the Mews lots was being addressed.

Arnold explained that these alleys were 20' wide and would allow for two-way traffic. Arnold stated that each of these units will have a two-car garage with room for two additional cars in the driveway and that 102 guest parking spaces were provided throughout the development.

Commissioner Smith asked if a few areas could be considered to incorporate additional parking.

Commissioner Bruxvoort asked if additional parking could be included around the park. She asked if some of the cottage lots could be swapped to 50' lots.

Chair Nelson stated that density was the primary concern.

Chair Nelson asked if the HOA would regulate if residents could use their garages for storage.

Arnold stated that they would look into possibly including language in the CCRs.

Commissioner Smith asked that the garage depth be increased from 20' to 24' to allow for larger vehicles.

Commissioner Guck thanked the Applicant for working with the Commission and considering some of their ideas.

Commissioner Rhule thanked the residents for coming to the meeting.

J. ADJOURNMENT

There being no further business before the Commission, the Regular Session was adjourned at 8:10 PM.

MINUTES APPROVED THIS _____ DAY OF _____, 2023.

Alan Nelson, Planning and Zoning Commission Chairman

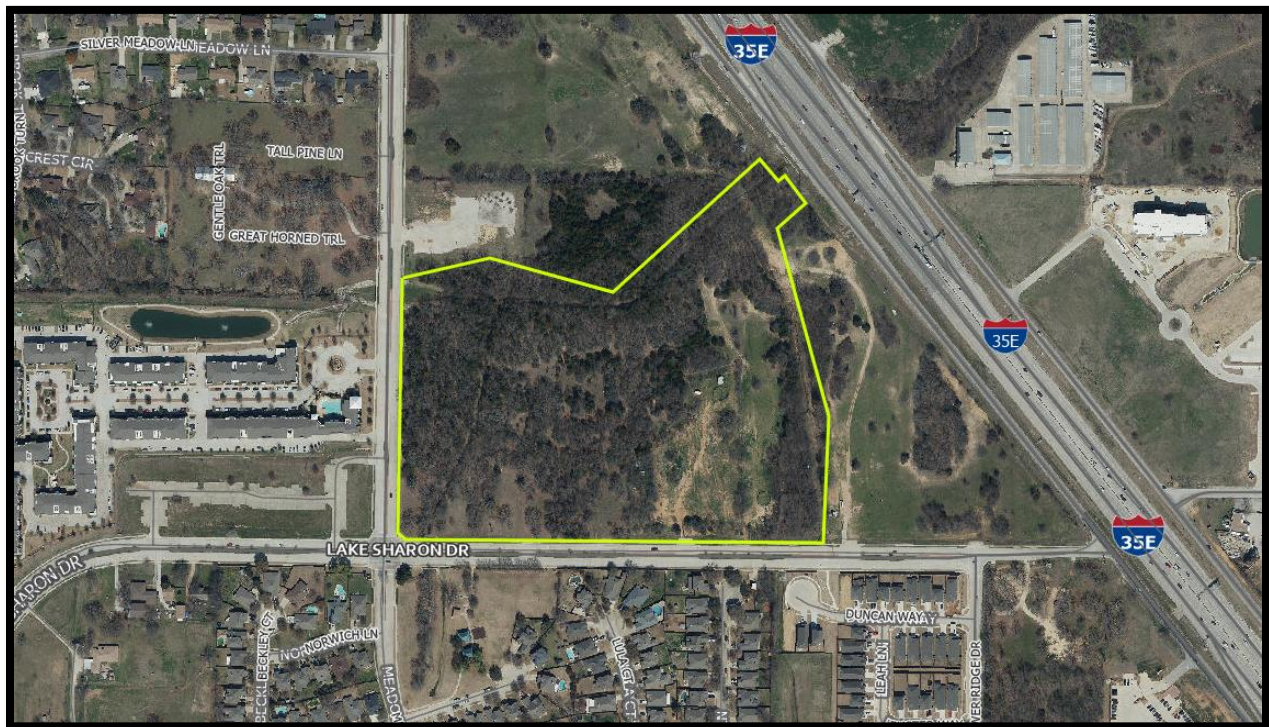


CITY OF CORINTH Staff Report

Meeting Date:	11/13/2023	Title:	Final Plat: Corinth Groves (FP23-0001)
Strategic Goals:	<input checked="" type="checkbox"/> Resident Engagement <input type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development		

Item/Caption

Consider and act on a request by the applicant, mma, inc., for a Final Plat of the Corinth Groves Subdivision, being ±25.115 acres situated in the H. Garrison Survey, Abstract No. 507. The property is located north of Lake Sharon Drive, west of I-35E and east of Corinth Parkway. (Case No. FP23-0001 – Corinth Groves.)



Aerial Location Map

Item Summary/Background/Prior Action

The purpose of this Final Plat is to establish one (1) lot for a multi-family development. The property is zoned Planned Development No. 64 – Corinth Groves (Base Zoning: MF-3 Multi-Family Residential and MX-C Mixed-Use Commercial).

The Final Plat is only for one (1) of the two (2) lots originally shown on the approved Preliminary Plat for this subdivision to accommodate the multi-family development. The areas not platted will be shown as remainder parcels until a Final Plat is submitted for the remaining commercial parcel.

The proposed Final Plat is in general conformance with the City's zoning and subdivision standards. The staff recommendations contain the required conditions.

Financial Impact

None

Applicable Policy/Ordinance

- Unified Development Code
- Texas Local Government Code

Staff Recommendation

Staff Recommends approval of the Final Plat as presented subject to the standard conditions of approval required by UDC Subsection 3.03.03 H.4:

- a. All covenants required by ordinances have been reviewed and approved by the City.
- b. On-site easements and rights-of-way have been dedicated and filed of record and properly described and noted on the Final Plat.
- c. All required abandonments of public rights-of-way or easements that must be approved by the City Council and the abandonment ordinance numbers shown on the plat.
- d. Abandonment documents for all other easements not requiring City Council approval have been filed of record and properly described and noted on the plat.
- e. Staff is authorized to approve any additions and/or alterations to the easements, dedications, and plat notes included in the Final Plat.

Motion

"I move to approve the Case No. FP23-0001 – Corinth Groves Final Plat as presented subject to the standard conditions required by the UDC."

Alternative Action by the Planning and Zoning Commission

The Planning and Zoning Commission may add additional conditions to the motion or move to deny the application.

Attachments

1. Proposed Final Plat

[illegible]

CLASSIFICATION

1. ALL CORNERS CALLED "MMA" ARE 5/8 INCH CAPPED IRON RODS SET AND STAMPED "MMA".
2. BEARINGS AND COORDINATES ARE GRID BASED ON THE "TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL ZONE" (2011) AS DETERMINED BY GPS OBSERVATIONS. THE CONVERGENCE ANGLE AT THE POINT OF BEGINNING IS 0°47'15.1". ALL DISTANCES HAVE BEEN ADJUSTED TO SURFACE USING A COMBINED SCALE FACTOR OF 1.000149700310.
3. BY SCALED MAP LOCATION, THE SUBJECT PROPERTY IS LOCATED IN ZONE "X", AREA OF MINIMAL FLOOD HAZARD, ZONE AE AND ZONE AE FLOODWAY ACCORDING TO THE FLOOD INSURANCE RATE MAP NO. 48121C0393H, MAP EFFECTIVE JUNE 19, 2020.
4. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF ANY BUILDING, PARK, EQUIPMENT, POOLS, PLANTING, LAWN, OR LEGAL INTERESTS WITHIN THE SUBDIVISION.
5. THE PURPOSE OF THIS FINAL PLAT IS TO ESTABLISH A ONE (1) LOT SUBDIVISION.

CERTIFICATE OF APPROVAL

APPROVED THE ____ DAY OF _____, 20____ ,BY THE PLANNING AND ZONING COMMISSION OF THE
CITY OF CORINTH, TEXAS.

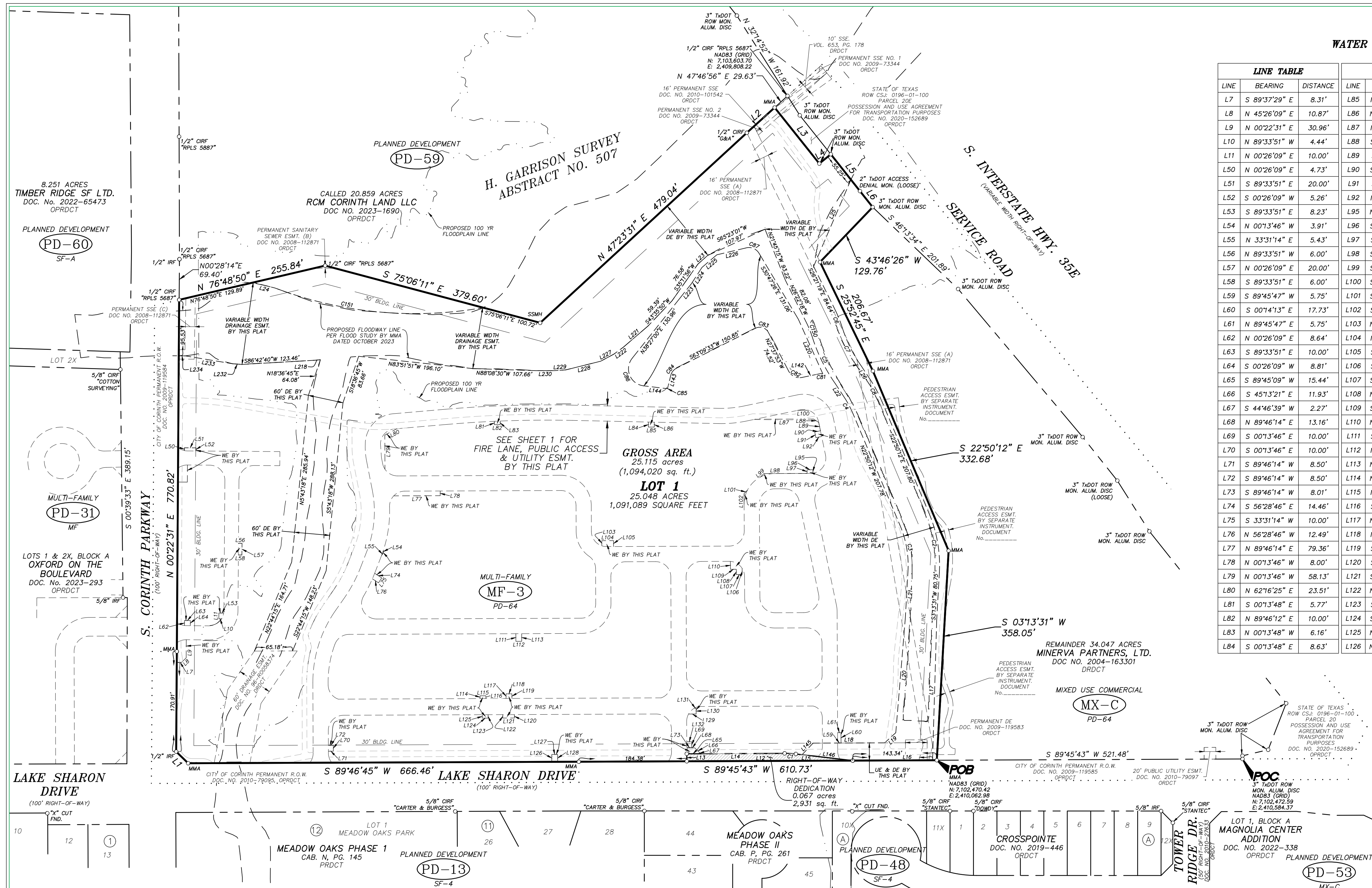
_____DIRECTOR OF DEVELOPMENT SERVICES

_____CITY SECRETARY

*This document shall not be
recorded for any purpose and shall
not be used or viewed or relied
upon as a final survey document.
Released for review by*

25.115 ACRES OF LAND SITUATED
IN THE H. GARRISON SURVEY
ABSTRACT NO. 507
CITY OF CORINTH
DENTON COUNTY, TEXAS

CONTACT: JR THULIN



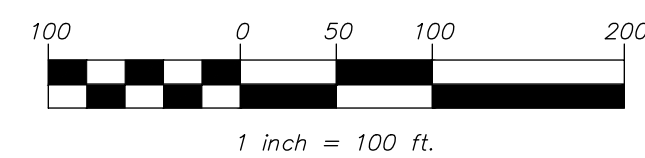
WATER EASEMENT TABLE

LINE TABLE			LINE TABLE			LINE TABLE		
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L7	S 89°37'29" E	8.31'	L85	N 89°46'12" E	10.00'	L127	N 89°59'27" E	10.00'
L8	N 45°26'09" E	10.87'	L86	N 00°13'48" W	8.37'	L128	S 00°00'33" E	12.60'
L9	N 00°22'31" E	30.96'	L87	N 89°46'12" E	100.07'	L129	N 89°46'14" E	12.98'
L10	N 89°33'51" W	4.44'	L88	S 56°28'48" E	10.52'	L130	N 00°12'30" W	10.00'
L11	N 00°26'09" E	10.00'	L89	S 11°46'12" E	14.50'	L131	S 89°46'14" W	2.98'
L50	N 00°26'09" E	4.73'	L90	S 78°13'48" W	10.00'	L132	N 89°46'14" E	8.50'
L51	S 89°33'51" E	20.00'	L91	S 11°46'12" E	10.00'			
L52	S 00°26'09" W	5.26'	L92	N 78°13'48" E	10.00'			
L53	S 89°33'51" E	8.23'	L95	N 00°13'46" W	5.96'			
L54	N 00°13'46" W	3.91'	L96	S 89°46'14" W	10.00'			
L55	N 33°31'14" E	5.43'	L97	S 00°13'46" E	6.25'			
L56	N 89°33'51" W	6.00'	L98	S 89°46'12" W	73.69'			
L57	N 00°26'09" E	20.00'	L99	S 44°46'14" W	8.20'			
L58	S 89°33'51" E	6.00'	L100	S 89°46'12" W	18.05'			
L59	S 89°45'47" W	5.75'	L101	S 44°46'14" W	8.25'			
L60	S 00°14'13" E	17.73'	L102	S 00°20'55" E	18.13'			
L61	N 89°45'47" E	5.75'	L103	N 00°13'46" W	8.77'			
L62	N 00°26'09" E	8.64'	L104	N 89°46'14" E	20.00'			
L63	S 89°33'51" E	10.00'	L105	S 00°13'46" E	10.13'			
L64	S 00°26'09" W	8.81'	L106	S 00°13'46" E	10.45'			
L65	S 89°45'09" W	15.44'	L107	S 89°46'14" W	10.00'			
L66	S 45°13'21" E	11.93'	L108	N 00°13'46" W	8.97'			
L67	S 44°46'39" W	2.27'	L109	S 89°46'14" W	10.00'			
L68	N 89°46'14" E	13.16'	L110	N 00°13'46" W	13.52'			
L69	S 00°13'46" E	10.00'	L111	N 00°13'46" E	13.00'			
L70	S 00°13'46" E	10.00'	L112	N 89°46'14" E	10.00'			
L71	S 89°46'14" W	8.50'	L113	N 00°13'46" W	13.00'			
L72	S 89°46'14" W	8.50'	L114	N 00°13'46" W	4.73'			
L73	S 89°46'14" W	8.01'	L115	N 89°46'14" E	10.00'			
L74	S 56°28'48" E	14.46'	L116	S 00°13'46" E	4.73'			
L75	S 33°31'14" W	10.00'	L117	N 00°13'46" W	7.90'			
L76	N 56°28'46" W	12.49'	L118	N 89°46'14" E	10.00'			
L77	N 89°46'14" E	79.36'	L119	S 00°13'46" E	7.90'			
L78	N 00°13'46" W	8.00'	L120	S 00°13'46" E	5.88'			
L79	N 00°13'46" W	58.13'	L121	S 89°46'14" W	20.00'			
L80	N 62°16'25" E	23.51'	L122	N 00°13'46" W	5.88'			
L81	S 00°13'48" E	5.77'	L123	S 00°13'50" E	5.86'			
L82	N 89°46'12" E	10.00'	L124	S 89°46'14" W	10.00'			
L83	N 00°13'48" W	6.16'	L125	N 00°13'50" W	5.86'			
L84	S 00°13'48" E	8.63'	L126	N 00°00'33" W	12.63'			



VICINITY MAP

1 inch = 2000 ft



1 inch = 100 ft.

LEGEND/ABBREVIATIONS

MMA 5/8" CAPPED IRON ROD SET
STAMPED "MMA" (UNLESS OTHERWISE NOTED)

CIRF CAPPED IRON ROD FOUND

DRDCT DEED RECORDS
DENTON COUNTY, TEXAS

PRDCT PLAT RECORDS
DENTON COUNTY, TEXAS

OPRDCT OFFICIAL PUBLIC RECORDS
DENTON COUNTY, TEXAS

VOL. VOLUME

PG. PAGE

UE UTILITY EASEMENT

BL BUILDING LINE

DE DRAINAGE EASEMENT

SSE SANITARY SEWER EASEMENT

WE WATER EASEMENT

PAE PEDESTRIAN ACCESS EASEMENT

POB POINT OF BEGINNING

FND. FOUND

IRF IRON ROD FOUND

MFF MINIMUM FINISHED FLOOR ELEVATION

* FEMA ELEVATION CERTIFICATE
NOT REQUIRED

Doc. No. COUNTY CLERK'S DOCUMENT NUMBER

EX. USE

ZONING MX-C MF-3

CLASSIFICATION

DRAINAGE EASEMENT TABLES

LINE TABLE			LINE TABLE		
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L16	S 89°45'43" W	136.10'	L218	S 84°48'24" W	10.40'
L17	S 01°41'17" W	239.58'	L220	S 24°08'10" E	101.67'
L18	N 89°45'43" E	122.12'	L221	S 49°20'04" W	55.60'
L19	N 47°33'10" E	25.65'	L222	S 53°51'02" W	19.87'
L20	N 04°45'27" E	196.89'	L223	N 38°27'00" E	30.81'
L21	N 03°13'31" E	79.99'	L224	N 33°00'10" E	33.14'
L22	N 33°18'40" W	25.33'	L225	N 49°36'05" E	33.21'
L23	S 48°16'34" W	21.87'	L226	N 76°44'09" E	50.38'
L24	S 75°42'15" E	38.39'	L227	S 61°45'12" W	25.63'
L25	S 23°16'37" W	161.12'	L228	S 76°03'12" W	61.30'
L26	S 33°18'40" E	25.95'	L229	S 86°12'18" W	19.57'
L142	S 78°13'48" W	29.66'	L230	S 89°59'56" W	31.29'
L143	S 13°55'41" W	22.86'	L232	N 85°58'05" W	15.98'
L144	N 83°08'35" W	40.46'	L233	N 80°33'14" W	81.96'
L145	N 43°38'46" E	27.32'	L234	N 89°23'48" W	11.16'
L146	N 83°24'07" W	87.13'			

CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C2	227.17'	103.14'	26° 00' 49"	S 09°48'10" E	102.25'
C3	173.52'	78.78'	26° 00' 49"	N 09°48'21" W	78.11'
C4	173.41'	33.14'	10° 56' 56"	N 28°19'04" W	33.09'
C5	293.74'	91.47'	17° 50' 31"	N 26°11'21" W	91.10'
C6	227.40'	30.64'	7° 43' 13"	S 21°37'17" E	30.62'
C7	239.10'	74.33'	17° 48' 40"	S 26°25'52" E	74.03'
C8	227.04'	43.15'	10° 53' 17"	S 28°17'12" E	43.08'
C81	21.00'	6.31'	17° 13' 37"	S 86°50'36" W	6.29'
C82	21.00'	27.17'	74° 08' 19"	N 64°42'02" W	25.32'
C83	16.50'	25.69'	89° 12' 34"	N 72°14'10" W	23.17'
C84	19.00'	16.33'	49° 13' 55"	S 38°32'38" W	15.83'
C85	59.00'	0.45'	0° 26' 08"	S 14°08'45" W	0.45'
C86	29.09'	63.16'	124° 24' 46"	N 22°23'35" W	51.46'
C87	20.02'	26.56'	76° 02' 10"	S 68°50'41" E	24.66'
C150	172.10'	24.14'	8° 02' 13"	N 22°19'54" W	24.12'
C151	674.17'	360.80'	30° 39' 47"	S 84°36'39" E	356.51'

PRELIMINARY

This document shall not be
recorded for any purpose and shall
not be used or viewed or relied
upon as a final survey document.
Released for review by

FINAL PLAT

CORINTH GROVES

BEING 25.115 ACRES OF LAND SITUATED
IN THE H. GARRISON SURVEY
ABSTRACT NO. 507
CITY OF CORINTH
DENTON COUNTY, TEXAS

OWNERS:

MINERVA PARTNERS, LTD.
MELAKU PARTNERS, LTD.

4143 MAPLE AVE., STE. 325
DALLAS, TX 75219
TEL: (214) 770-2888
EMAIL: sg@maloufinvestments.com

CONTACT: STEVE GREGORY

DEVELOPER:

GREYSTAR DEVELOPMENT
CENTRAL, LLC

600 E. LAS COLINAS BLVD., STE. 2100
IRVING, TX 75039

TEL: (214) 451-5698
EMAIL: jthulin@greystar.com
CONTACT: JR THULIN



civil engineering surveying landscape architecture planning

texas registration number: 1 - 2759

texas registration/license number: 10088000

519 east border

orlington, texas 76010

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fax: 817-274-8757

www.mmatexas.com

CONTACT: JACOB SUMPTER, AICP

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SHEET 2 OF 3

OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF DENTON §

WHEREAS MINERVA PARTNERS, LTD AND MELAKU PARTNERS, LTD, ACTING BY AND THROUGH THE UNDERSIGNED, IT'S DULY AUTHORIZED AGENT, ARE THE SOLE OWNERS OF A 25.115 ACRE TRACT OF LAND.

BEING A 25.115 ACRE (1,094,020 SQUARE FOOT) TRACT OF LAND SITUATED IN THE HARDEMAN GARRISON SURVEY, ABSTRACT No. 507, DENTON COUNTY, TEXAS; BEING PART OF A CALLED 34.047 ACRE TRACT OF LAND DESCRIBED IN DEED TO MINERVA PARTNERS, LTD AS RECORDED IN INSTRUMENT No. 2004-163301, OFFICIAL RECORDS, DENTON COUNTY, TEXAS; AND THE REMAINDER OF A CALLED 3.732 ACRE TRACT OF LAND DESCRIBED IN DEED TO MELAKU PARTNERS, LTD. AS RECORDED IN INSTRUMENT No. 2020-159321 OF SAID OFFICIAL RECORDS. SAID 25.115 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEARINGS AND COORDINATES ARE GRID BASED ON THE "TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL ZONE" AS DETERMINED BY GPS OBSERVATIONS. THE CONVERGENCE ANGLE AT THE POINT OF COMMENCING IS 0°47'15.1". ALL DISTANCES HAVE BEEN ADJUSTED TO SURFACE USING A COMBINED SCALE FACTOR OF 1.000149700310.

COMMENCING AT A TxDOT 3" ALUMINUM RIGHT-OF-WAY MONUMENT FOUND (N: 7102472.59, E: 2410584.37) AT THE SOUTHWEST CORNER OF A CORNER CLIP AT THE INTERSECTION OF THE SOUTHWEST RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 35 (A CALLED 2.638 ACRE TRACT OF LAND CALLED PARCEL 20 DESCRIBED IN A VARIABLE WIDTH PUBLIC RIGHT-OF-WAY, POSSESSION AND USE AGREEMENT FOR TRANSPORTATION PURPOSES, INSTRUMENT No. 2020-152689 OF SAID OFFICIAL RECORDS) WITH THE NORTH RIGHT-OF-WAY LINE OF LAKE SHARON DRIVE (FORMERLY KNOWN AS MEADOWS OAK ROAD/DRIVE, A CALLED 1.057 ACRE PERMANENT RIGHT-OF-WAY TRACT AND VARIABLE WIDTH PUBLIC RIGHT-OF-WAY DESCRIBED IN INSTRUMENT No. 2009-119585 OF SAID OFFICIAL RECORDS);

THENCE, SOUTH 89°45'43" WEST, OVER AND ACROSS SAID 34.047 ACRE TRACT AND WITH SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 521.48 FEET TO A 5/8" YELLOW PLASTIC CAPPED IRON ROD STAMPED "MMA" SET (HEREINAFTER CALLED 5/8" IRON ROD SET) FOR THE POINT OF BEGINNING (N: 7102470.42, E: 2410062.98);

THENCE, SOUTH 89°45'43" WEST, CONTINUING OVER AND ACROSS SAID 34.047 ACRE TRACT AND WITH SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 610.73 FEET TO A 5/8" IRON ROD SET FOR THE NORTHWEST CORNER OF SAID 1.057 ACRE PERMANENT RIGHT-OF-WAY TRACT AND THE EASTERNMOST NORTHEAST CORNER OF A CALLED 0.757 ACRE PERMANENT RIGHT-OF-WAY TRACT DESCRIBED IN INSTRUMENT No. 2010-79095 OF SAID OFFICIAL RECORDS AND BEING IN THE COMMON WEST BOUNDARY LINE OF SAID 34.047 ACRE TRACT AND THE EAST LINE OF SAID 3.732 ACRE TRACT;

THENCE, SOUTH 89°46'45" WEST, OVER AND ACROSS SAID 3.732 ACRE TRACT AND WITH THE NORTH RIGHT-OF-WAY LINE OF SAID 0.757 ACRE PERMANENT RIGHT-OF-WAY TRACT, A DISTANCE OF 666.46 FEET TO A 5/8" IRON ROD SET AT THE SOUTH END OF A CORNER CLIP AT THE INTERSECTION OF SAID NORTH RIGHT-OF-WAY LINE WITH THE EAST RIGHT-OF-WAY LINE OF SOUTH CORINTH STREET (A CALLED 0.757 ACRE PERMANENT RIGHT-OF-WAY TRACT AND VARIABLE WIDTH PUBLIC RIGHT-OF-WAY DESCRIBED IN INSTRUMENT No. 2010-79095 OF SAID OFFICIAL PUBLIC RECORDS);

THENCE, NORTH 45°50'04" WEST, CONTINUING OVER AND ACROSS SAID 3.732 ACRE TRACT AND WITH SAID CORNER CLIP, A DISTANCE OF 28.47 FEET TO A 1/2" IRON ROD FOUND FOR THE NORTH END OF SAID CORNER CLIP;

THENCE, NORTH 00°22'31" EAST, CONTINUING OVER AND ACROSS SAID 3.732 ACRE TRACT AND WITH THE EAST RIGHT-OF-WAY LINE OF SAID 0.757 ACRE PERMANENT RIGHT-OF-WAY TRACT, PASSING AT A DISTANCE OF 170.91 FEET A 5/8" IRON ROD SET FOR THE COMMON NORTHERNMOST NORTHEAST CORNER OF SAID 0.757 ACRE PERMANENT RIGHT-OF-WAY TRACT AND THE SOUTHEAST CORNER OF A CALLED 0.5730 ACRE PERMANENT RIGHT-OF-WAY TRACT AND VARIABLE WIDTH PUBLIC RIGHT-OF-WAY DESCRIBED IN INSTRUMENT No. 2009-119584 OF SAID OFFICIAL RECORDS AND BEING IN THE COMMON NORTH BOUNDARY LINE OF SAID 3.732 ACRE TRACT AND THE SOUTH BOUNDARY LINE OF THE AFORESAID 34.047 ACRE TRACT, AND CONTINUING FOR A TOTAL DISTANCE OF 770.82 FEET TO A 1/2" ORANGE PLASTIC CAPPED IRON ROD STAMPED "RPLS 5687" FOUND FOR THE COMMON NORTHEAST CORNER OF SAID 0.5730 ACRE PERMANENT RIGHT-OF-WAY TRACT, THE SOUTHEAST CORNER OF A CALLED 0.071 ACRE PERMANENT RIGHT-OF-WAY TRACT DESCRIBED IN INSTRUMENT No. 2010-8848 OF SAID OFFICIAL RECORDS AND THE SOUTHERNMOST SOUTHWEST CORNER OF A CALLED 18.206 ACRE TRACT OF LAND DESCRIBED IN DEED TO CORINTH ECONOMIC DEVELOPMENT CORPORATION AS RECORDED IN INSTRUMENT No. 2019-69270 OF SAID OFFICIAL RECORDS AND BEING IN THE NORTH BOUNDARY LINE OF SAID 34.047 ACRE TRACT;

THENCE, WITH THE COMMON NORTH BOUNDARY LINE OF SAID 34.047 ACRE TRACT AND THE SOUTH BOUNDARY LINE OF SAID 18.206 ACRE TRACT, THE FOLLOWING FOUR (4) COURSES AND DISTANCES:

NORTH 76°48'50" EAST, A DISTANCE OF 255.84 FEET TO A 1/2" ORANGE PLASTIC CAPPED IRON ROD STAMPED "RPLS 5687" FOUND FOR ANGLE POINT,

SOUTH 75°06'11" EAST, A DISTANCE OF 379.60 FEET TO A SANITARY SEWER MANHOLE FOUND FOR ANGLE POINT,

NORTH 47°23'31" EAST, A DISTANCE OF 479.04 FEET TO A 1/2" ORANGE PLASTIC CAPPED IRON ROD STAMPED "RPLS 5687" FOUND FOR ANGLE POINT, AND

NORTH 47°46'56" EAST, A DISTANCE OF 64.02 FEET TO A 5/8" IRON ROD SET FOR THE WEST CORNER OF A CALLED 0.073 ACRE TRACT CALLED PARCEL 20E DESCRIBED IN THE AFORESAID POSSESSION AND USE AGREEMENT FOR TRANSPORTATION PURPOSES INSTRUMENT, FROM WHICH A 1/2" ORANGE PLASTIC CAPPED IRON ROD STAMPED "RPLS 5687" FOUND (N: 7103603.70, E: 2409808.22) BEARS NORTH 47°46'56" EAST, A DISTANCE OF 29.63 FEET;

THENCE, WITH THE SOUTHWESTERLY BOUNDARY LINE OF SAID PARCEL 20E AND THE AFORESAID PARCEL 20, OVER AND ACROSS SAID 34.047 ACRE TRACT THE FOLLOWING FOUR (4) COURSES AND DISTANCES:

SOUTH 38°33'32" EAST, A DISTANCE OF 122.21 FEET TO A TxDOT 3" ALUMINUM RIGHT-OF-WAY MONUMENT FOUND,

NORTH 51°10'13" EAST, A DISTANCE OF 25.26 FEET TO A TxDOT 3" ALUMINUM RIGHT-OF-WAY MONUMENT FOUND,

SOUTH 38°21'12" EAST, A DISTANCE OF 80.03 FEET TO A LOOSE TxDOT 2" ALUMINUM POINT OF ACCESS DENIAL MONUMENT FOUND, AND

SOUTH 38°23'37" EAST, A DISTANCE OF 34.97 FEET TO A TxDOT 3" ALUMINUM RIGHT-OF-WAY MONUMENT FOUND;

THENCE, OVER AND ACROSS SAID 34.047 ACRE TRACT THE FOLLOWING FOUR (4) COURSES AND DISTANCES:

SOUTH 43°46'26" WEST, A DISTANCE OF 129.76 FEET TO A 5/8" IRON ROD SET,

SOUTH 25°52'45" EAST, A DISTANCE OF 206.67 FEET TO A 5/8" IRON ROD SET,

SOUTH 22°50'12" EAST, A DISTANCE OF 332.68 FEET TO A 5/8" IRON ROD SET, AND

SOUTH 03°13'31" WEST, A DISTANCE OF 358.05 FEET TO THE POINT OF BEGINNING AND BEING 25.115 ACRES OR 1,094,020 SQUARE FEET OF LAND, MORE OR LESS.

NOW THEREFORE, KNOWN ALL MEN BY THESE PRESENTS

MINERVA PARTNERS, LTD. DOES HEREBY DEDICATE TO THE USE OF PUBLIC FOREVER ALL STREETS, UNLESS SHOWN AS PRIVATE, AND ALL EASEMENTS SHOWN AND FOR ALL PURPOSES ACCOMMODATING DRAINAGE TO THE USE OF PUBLIC FOREVER. NO BUILDINGS OR OTHER IMPROVEMENTS SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE EASEMENTS AS SHOWN ON THIS PLAT. ANY PUBLIC UTILITY, INCLUDING THE CITY OF CORINTH, SHALL HAVE THE RIGHT TO MOVE AND KEEP MOVED ALL OR PART OF ANY BUILDING, TREE SHRUB OTHER GROWTH OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF ITS RESPECTIVE SYSTEMS ON ANY OF THE EASEMENTS SHOWN ON THE PLAT; AND THEY SHALL HAVE THE RIGHT AT ALL TIMES TO INGRESS AND EGRESS UPON SAID EASEMENTS FOR THE PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTION, MAINTAIN AND ADDING TO OR REMOVING ALL OR PART OF ITS RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE.

OWNER'S DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, MINERVA PARTNERS, LTD. AND MELAKU PARTNERS, LTD., ACTING BY AND THROUGH THE UNDERSIGNED, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN ABOVE DESCRIBED REAL PROPERTY AS LOT 1, BLOCK A, CORINTH GROVES, AN ADDITION TO THE CITY OF CORINTH, DENTON COUNTY, TEXAS, AND DO HEREBY DEDICATE TO THE PUBLIC'S USE THE STREETS, ALLEYS, EASEMENTS, PARKS AND OTHER OPEN SPACES SHOWN THEREON, EXCEPT THE PRIVATE EASEMENTS SHOWN THEREON. THIS PLAT DOES NOT ALTER OR REMOVE EXISTING DEED RESTRICTION OR COVENANTS, IF ANY, ON THIS PROPERTY.

PURSUANT TO SECTION 12.002 OF THE TEXAS PROPERTY CODE, I HAVE OBTAINED ORIGINAL TAX CERTIFICATES FROM EACH TAXING UNIT WITH JURISDICTION OVER EACH PARCEL OF REAL PROPERTY IN SAID SUBDIVISION INDICATING THAT NO DELINQUENT AD VALOREM TAXES ARE OWED ON THE REAL PROPERTY WHICH IS THE SUBJECT OF THE PLAT OR REPLAT I HAVE SUBMITTED TO THE CITY OF CORINTH, DENTON COUNTY, TEXAS FOR FILING AND RECORDING WITH THE DENTON COUNTY CLERK'S OFFICE.

WITNESS MY HAND THIS THE _____ DAY OF _____, 2023.

GRANTOR:

MINERVA PARTNERS, LTD.
A TEXAS LIMITED PARTNERSHIP

BY: _____

ITS: _____

STATE OF TEXAS §
COUNTY OF _____ §

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS _____ DAY OF _____, 2023, BY _____, MINERVA PARTNERS, LTD., A TEXAS LIMITED PARTNERSHIP,

NOTARY PUBLIC, STATE OF TEXAS

PRINTED NAME: _____

COMMISSION EXPIRES: _____

LIENHOLDER'S RATIFICATION OF PLAT DEDICATION

WHEREAS, _____, ACTING BY AND THROUGH THE UNDERSIGNED, ITS DULY AUTHORIZED AGENT, IS THE LIENHOLDER OF THE PROPERTY DESCRIBED HEREON, DOES HEREBY RATIFY ALL DEDICATIONS AND PROVISIONS OF THIS PLAT AS SHOWN.

LIENHOLDER: _____

DATE: _____

STATE OF TEXAS §
COUNTY OF _____ §

BEFORE ME, THE UNDERSIGNED AUTHORITY IN AND FOR _____ COUNTY, TEXAS, ON THIS DAY PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSON AND OFFICER WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE IS _____, AND THAT HE/SHE IS AUTHORIZED TO EXECUTE THE FOREGOING INSTRUMENT FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 2023.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

PRINTED NAME: _____

MY COMMISSION EXPIRES: _____

NOW THEREFORE, KNOWN ALL MEN BY THESE PRESENTS

MELAKU PARTNERS, LTD. DOES HEREBY DEDICATE TO THE USE OF PUBLIC FOREVER ALL STREETS, UNLESS SHOWN AS PRIVATE, AND ALL EASEMENTS SHOWN AND FOR ALL PURPOSES ACCOMMODATING DRAINAGE TO THE USE OF PUBLIC FOREVER. NO BUILDINGS OR OTHER IMPROVEMENTS SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE EASEMENTS AS SHOWN ON THIS PLAT. ANY PUBLIC UTILITY, INCLUDING THE CITY OF CORINTH, SHALL HAVE THE RIGHT TO MOVE AND KEEP MOVED ALL OR PART OF ANY BUILDING, TREE SHRUB OTHER GROWTH OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF ITS RESPECTIVE SYSTEMS ON ANY OF THE EASEMENTS SHOWN ON THE PLAT; AND THEY SHALL HAVE THE RIGHT AT ALL TIMES TO INGRESS AND EGRESS UPON SAID EASEMENTS FOR THE PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTION, MAINTAIN AND ADDING TO OR REMOVING ALL OR PART OF ITS RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE.

OWNER'S DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, MINERVA PARTNERS, LTD. AND MELAKU PARTNERS, LTD., ACTING BY AND THROUGH THE UNDERSIGNED, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN ABOVE DESCRIBED REAL PROPERTY AS LOT 1, BLOCK A, CORINTH GROVES, AN ADDITION TO THE CITY OF CORINTH, DENTON COUNTY, TEXAS, AND DO HEREBY DEDICATE TO THE PUBLIC'S USE THE STREETS, ALLEYS, EASEMENTS, PARKS AND OTHER OPEN SPACES SHOWN THEREON, EXCEPT THE PRIVATE EASEMENTS SHOWN THEREON. THIS PLAT DOES NOT ALTER OR REMOVE EXISTING DEED RESTRICTION OR COVENANTS, IF ANY, ON THIS PROPERTY.

PURSUANT TO SECTION 12.002 OF THE TEXAS PROPERTY CODE, I HAVE OBTAINED ORIGINAL TAX CERTIFICATES FROM EACH TAXING UNIT WITH JURISDICTION OVER EACH PARCEL OF REAL PROPERTY IN SAID SUBDIVISION INDICATING THAT NO DELINQUENT AD VALOREM TAXES ARE OWED ON THE REAL PROPERTY WHICH IS THE SUBJECT OF THE PLAT OR REPLAT I HAVE SUBMITTED TO THE CITY OF CORINTH, DENTON COUNTY, TEXAS FOR FILING AND RECORDING WITH THE DENTON COUNTY CLERK'S OFFICE.

WITNESS MY HAND THIS THE _____ DAY OF _____, 2023.

GRANTOR:

MELAKU PARTNERS, LTD.
A TEXAS LIMITED PARTNERSHIP

BY: _____

ITS: _____

STATE OF TEXAS §
COUNTY OF _____ §

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS _____ DAY OF _____, 2023, BY _____, MELAKU PARTNERS, LTD., A TEXAS LIMITED PARTNERSHIP,

NOTARY PUBLIC, STATE OF TEXAS

PRINTED NAME: _____

COMMISSION EXPIRES: _____

SURVEYOR'S CERTIFICATE

THAT I, LON E. WHITTEN, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY DECLARE THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN HEREON AS SET WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF CORINTH, TEXAS.

PRELIMINARY
This document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document. Released for review by

LON E. WHITTEN DATE: NOVEMBER 7, 2023
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 5893

STATE OF TEXAS §
COUNTY OF TARRANT §

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED LON E. WHITTEN, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS _____ DAY OF _____, 2023.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES: _____

FINAL PLAT

CORINTH GROVES

BEING 25.115 ACRES OF LAND SITUATED IN THE H. GARRISON SURVEY ABSTRACT NO. 507 CITY OF CORINTH DENTON COUNTY, TEXAS

OWNERS:

MINERVA PARTNERS, LTD.
MELAKU PARTNERS, LTD.
4143 MAPLE AVE., STE. 325
DALLAS, TX 75219
TEL: (214) 770-2888
EMAIL: sg@maloufinterests.com

CONTACT: STEVE GREGORY

DEVELOPER:

GREYSTAR DEVELOPMENT
CENTRAL, LLC
600 E. LAS COLINAS BLVD., STE. 2100
IRVING, TX 75039
TEL: (214) 451-5698
EMAIL: jthulin@greystar.com
CONTACT: JR THULIN

NOVEMBER 2023
SURVEYOR/ENGINEER:



civil engineering surveying landscape architecture planning

lgbels registration number: f -- 2759
tspels registration/license number: 10088000
519 east border
orlington, texas 76010
817-469-1671
fax: 817-274-8757
www.mmatexss.com

CONTACT: JACOB SUMPTER, AICP
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SHEET 3 OF 3



CITY OF CORINTH

Staff Report

Meeting Date:	11/13/2023	Title:	Extension Request – Preliminary Plat: Quarry Townhomes Addition (PP23-0003)
Strategic Goals:	<input checked="" type="checkbox"/> Resident Engagement <input type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development		

Item/Caption

Consider and act on an extension request by the applicant, Jason Rose, for a Preliminary Plat of the Quarry Townhomes Addition Subdivision, being ±32.677 acres situated in the H. Garrison Survey, Abstract No. 507. The property is located north of Lake Sharon Drive, west of I-35E and east of Corinth Parkway. (Case No. PP23-0003 – Quarry Townhomes Addition)



Aerial Location Map

Item Summary/Background/Prior Action

The purpose of this Preliminary Plat is to establish six (6) lots for a condominium development. The property is zoned Planned Development No. 66 – Quarry Townhomes Addition (Base Zoning: MF-1 Multi-Family Residential). As with all plats, this application is subject to the 30-day state-mandated deadline for action.

Due to the nature and number of comments in the proposed preliminary plat and associated exhibits during the review process, and to allow time to revise the plat prior to action by the Commission, the Applicant formally requested an extension per UDC Subsection 3.02.01 D(b) – Extension by Agreement, which reads: “(b) Extension by Agreement. The applicant may request in writing and the Planning Commission, may approve the request for an extension of the time for Plat or Subdivision Plan approval required by subsection (a) or (b) for a period not to exceed thirty (30) days. The written request must be made within fifteen (15) days of the date the application is filed and approved by the Commission prior to the time for a decision on the application required by subsection (a) or (b).”

If the Planning & Zoning Commission approves the extension request, the Applicant will work to revise the application and exhibits prior to the December 11, 2023, Planning & Zoning Commission meeting. Because the UDC limits extension requests to one (1) per application, the Commission is required to act at the December meeting.

If the Planning & Zoning Commission does not approve the extension request, Staff requests that the Commission vote to deny the Application to meet the timing requirements of the Texas Local Government Code.

Financial Impact

None

Applicable Policy/Ordinance

- Unified Development Code
- Texas Local Government Code

Staff Recommendation

Staff Recommends the Commission approve the applicant’s request for a 30-day extension request.

Motion

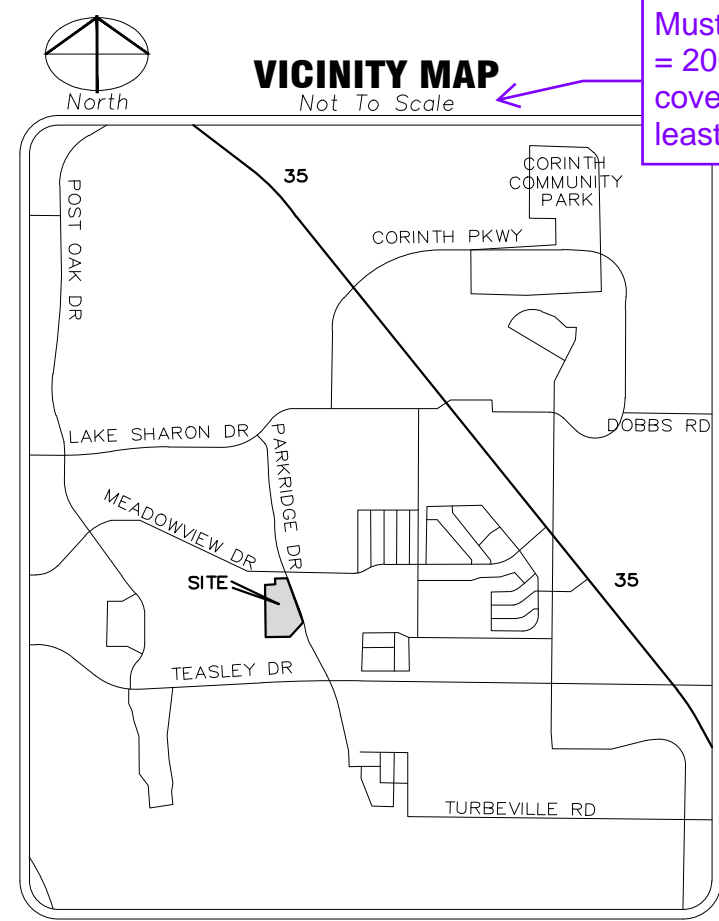
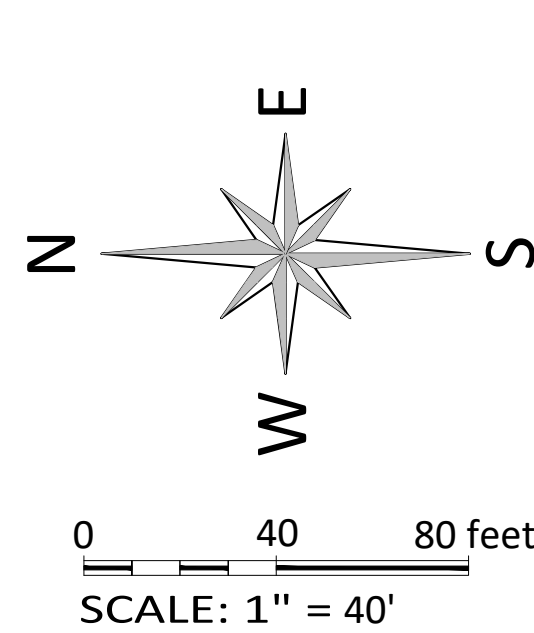
“I move to approve the request for a 30-day extension for Case No. PP23-0003 – Quarry Townhomes Addition Preliminary Plat.”

Alternative Action by the Planning and Zoning Commission

The Planning and Zoning Commission may deny the application.

Attachments

1. Proposed Preliminary Plat with Staff Comments
2. Proposed Preliminary Plat with Consulting Engineer Comments
3. Extension Request Letter



- LEGEND—
- property corner
 - (E) electric meter
 - fire hydrant
 - flagpole
 - ⚡ light pole
 - ✉ mailbox
 - (SM) storm manhole
 - ⦿ power pole
 - + sign
 - ⊗ cleanout
 - ☎ telephone pedestal
 - 🔍 fiber-optic marker
 - ⛑ gas marker
 - ⚙ water valve
 - post
 - barbed wire fence
 - chain link fence
 - wood fence
 - overhead electric line

Zone: SF-4

Please re-evaluate the width of ROW on Parkridge Drive. Refer to Lake Dallas HS Replat which shows minimum 67' throughout this area.

The ROW that you are showing in this plat is 50' which would require additional dedication - which Staff does not believe is necessary if Lake Dallas HS Replat is correct.

Show side setback for this lot.

LEGEND:

MONCF = Concrete Monument Found

IRF = Iron Rod Found

CIRS = 5/8" Iron Rod with Purple Plastic Cap
Stamped, "RPLS 6451" Set

CIRF = Capped Iron Rod Found

Vol., Pg. = Volume, Page

Cab., Pg. = Cabinet, Page

Doc. No. = Document Number

P.R.D.C.T. = Plat Records, Denton County, Texas

D.R.D.C.T. = Deed Records, Denton County, Texas

O.P.R.D.C.T. = Official Public Records, Denton County, Texas

Sq. Ft. = Square Feet

Meadowview Drive
(60' R.O.W.)
(Vol. 2006, Pg. 817)
(D.R.D.C.T.)

Parkridge Drive
(Variable width R.O.W.)

**E. MARSH SURVEY,
ABSTRACT NO. 833**

**M.E.P. & P.R.R. SURVEY,
ABSTRACT NO. 915**

Point of Beginning

**B.B.B. & C.R.R. SURVEY,
ABSTRACT NO. 153**

A Minor PD Amendment (Minor PDA), which will be supported by Staff, is needed to allow the setbacks to remain as shown (crossing multiple lot lines) - we recognize that requiring the setback lines to be shown on each individual lot will conflict with what was approved in the PD Concept Plan, as certain dwellings would then be encroaching on the setback lines of Lot 1 Block A and Lot 1 Block B.

Our team will provide the text that will need to be inserted into your Minor PDA application to allow the setbacks lines to cross over lot lines as shown in this Plat and on the Site Plan.

In the meantime, we ask that you modify the highlighted setback lines from 40' to 30' to reflect the approved dimensional regulations of PD-66 (page 9 of 30).

Please ensure that the Preliminary Plat meets all the requirements of Texas Property Code Section 82.059:

<https://statutes.capitol.texas.gov/Docs/PR/htm/PR.82.htm#82.059>

ENGINEER

Oracle Engineering
Address: 2204 Green Hill Dr
McKinney, TX 75070
Contact: Matt Kostial, PE
214-226-5325
mpkostial@gmail.com

OWNER

ROCKBROOK DEVELOPMENT, LLC
2120 Cosmos Way,
Argyle, Texas 76226
Contact: Jason Rose
214-454-7895
jason@jrosearchitect.com

SURVEYOR

Duenes Land Surveying, LLC
2112 Blackfoot Trail
Mesquite, Texas 75149
Contact: Dustin D. Davison, RPLS
214-317-0685
dustin@dueneslandsurveying.com

PRELIMINARY PLAT QUARRY TOWNHOMES ADDITION

Lots 1, 2, 1X, 2X, 3X, & 4X, Block A, out of the
B.B.B. & C.R.R. Survey, Abstract No. 153,
M.E.P. & P.R.R. Survey, Abstract No. 915,
E. Marsh Survey, Abstract No. 833, &
Brooks Beall Survey, Abstract No. 58
City of Corinth, Denton County, Texas
Being a total of 9.007 Acres
Preparation Date: October 12, 2023
Revision Date: _____

GENERAL PLAT NOTES:

1. The purpose of this plat is to create six (6) Lots from existing Tracts of land.
2. Lot-to-lot drainage is not permitted without Engineering Section approval.
3. Basis of Bearings: STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983. ADJUSTMENT REALIZATION 2011.
4. No portion of the subject property lies within any area of 100-year flood according to FEMA's Flood Insurance Rate Map No. 48121C0389 H, dated June 19, 2020. Property is in zone X.
5. All existing structures are to be removed.

6. Source Benchmark: City of Corinth Monument #3, located at the intersection of Meadowview Road and Forest Wood Drive.

Elevation = 636.61'

SURVEYOR'S CERTIFICATION

STATE OF TEXAS)(
COUNTY OF DALLAS)(

I, Dustin D. Davison, Registered Professional Land Surveyor in the State of Texas, do hereby certify that this plat is true and correct, and was prepared from and actual survey of the property made under my supervision on the ground.

PRELIMINARY
RELEASED 10/12/23 FOR REVIEW PURPOSES ONLY. THIS
DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE
Dustin D. Davison, R.P.L.S.
Registration No. 6451

STATE OF TEXAS)(
COUNTY OF DALLAS)(

BEFORE ME, the undersigned authority, a Notary Public in and for Dallas County, Texas, on this day personally appeared Dustin D. Davison, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purposes and considerations therein expressed and in the capacity therein stated.

Given under my hand and seal of office, this ____ day of _____ 2023.

NOTARY PUBLIC in and for the State of Texas

NOTARY PUBLIC in and for the State of Texas

NOTARY PUBLIC in and for the State of Texas

NOTARY PUBLIC in and for the State of Texas

NOTARY PUBLIC in and for the State of Texas

NOTARY PUBLIC in and for the State of Texas

NOTARY PUBLIC in and for the State of Texas

and designated hereinaas the **QUARRY TOWNHOMES ADDITION** Subdivision to the City of Corinth, Texas, and whose name is subscribed hereto, hereby dedicate to the public use forever by fee simple title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, parks, and trails, and to the public use forever easements for sidewalks, storm drainage facilities, floodways, water mains, wastewater mains and other utilities, and any other property necessary to serve the plat and to implement the requirements of the platting ordinances, rules, and regulations thereon shown for the purpose and consideration therein expressed.

Owner: _____
Jason Rose

Date: _____

STATE OF TEXAS)(
COUNTY OF DENTON)(

BEFORE ME, the undersigned authority, a Notary Public in and for Dallas County, Texas, on this day personally appeared Jason Rose, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purposes and considerations therein expressed and in the capacity therein stated.

Given under my hand and seal of office, this ____ day of _____ 2023.

NOTARY PUBLIC in and for the State of Texas

NOTARY PUBLIC in and for the State of Texas

NOTARY PUBLIC in and for the State of Texas

NOTARY PUBLIC in and for the State of Texas

NOTARY PUBLIC in and for the State of Texas

NOTARY PUBLIC in and for the State of Texas

PRELIMINARY PLAT QUARRY TOWNHOMES ADDITION

Lots 1, 2, 1X, 2X, 3X, & 4X, Block A, out of the
B.B.B. & C.R.R. Survey, Abstract No. 153,
M.E.P. & P.R.R. Survey, Abstract No. 915,
E. Marsh Survey, Abstract No. 833, &
Brooks Beall Survey, Abstract No. 58
City of Corinth, Denton County, Texas
Being a total of 9.007 Acres
Preparation Date: October 12, 2023
Revision Date: _____

Director of
Development
Services

APPROVED BY THE PLANNING & ZONING COMMISSION

ON THIS _____ DAY OF _____, 2023.

~~CHAIRPERSON, PLANNING AND ZONING COMMISSION~~

CITY SECRETARY

ENGINEER

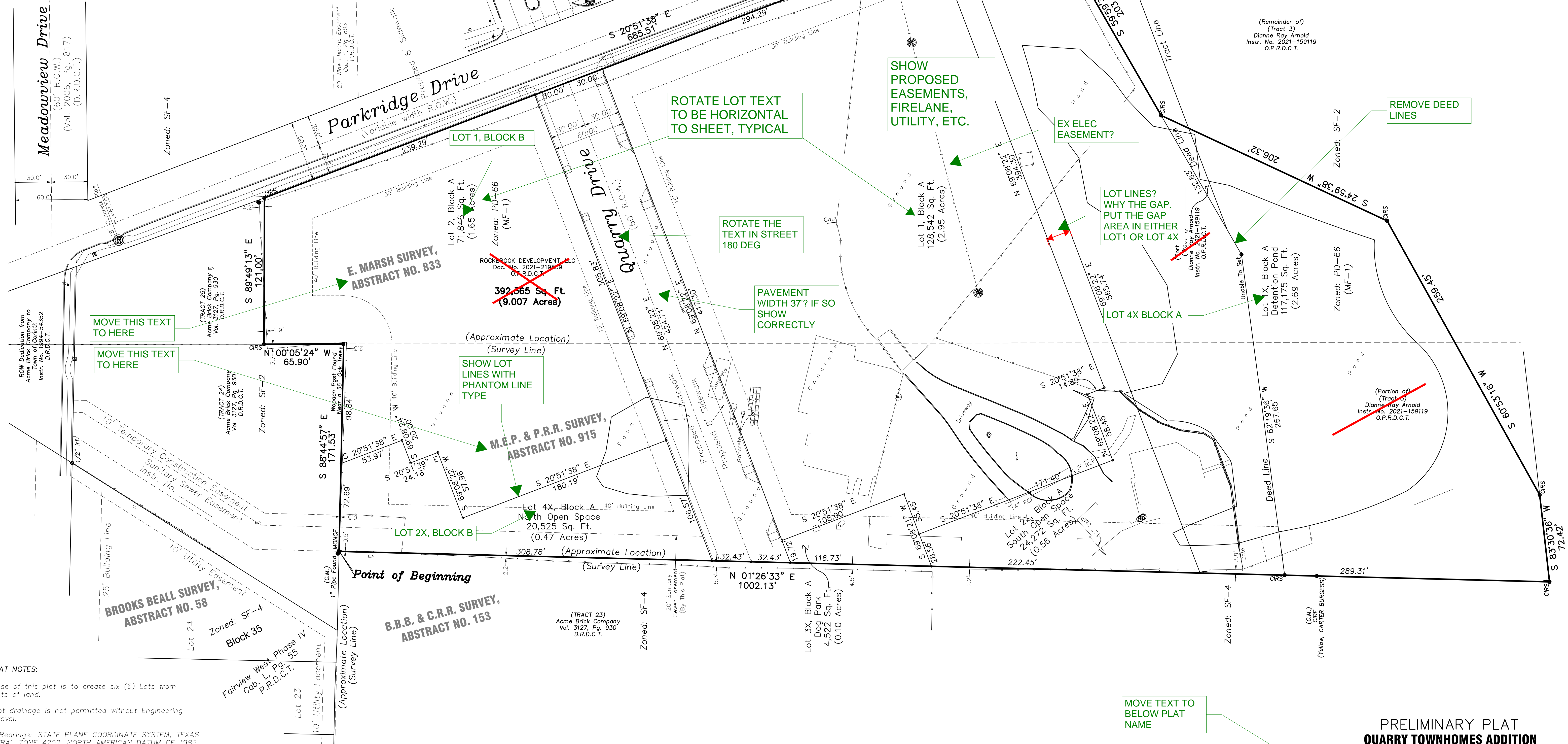
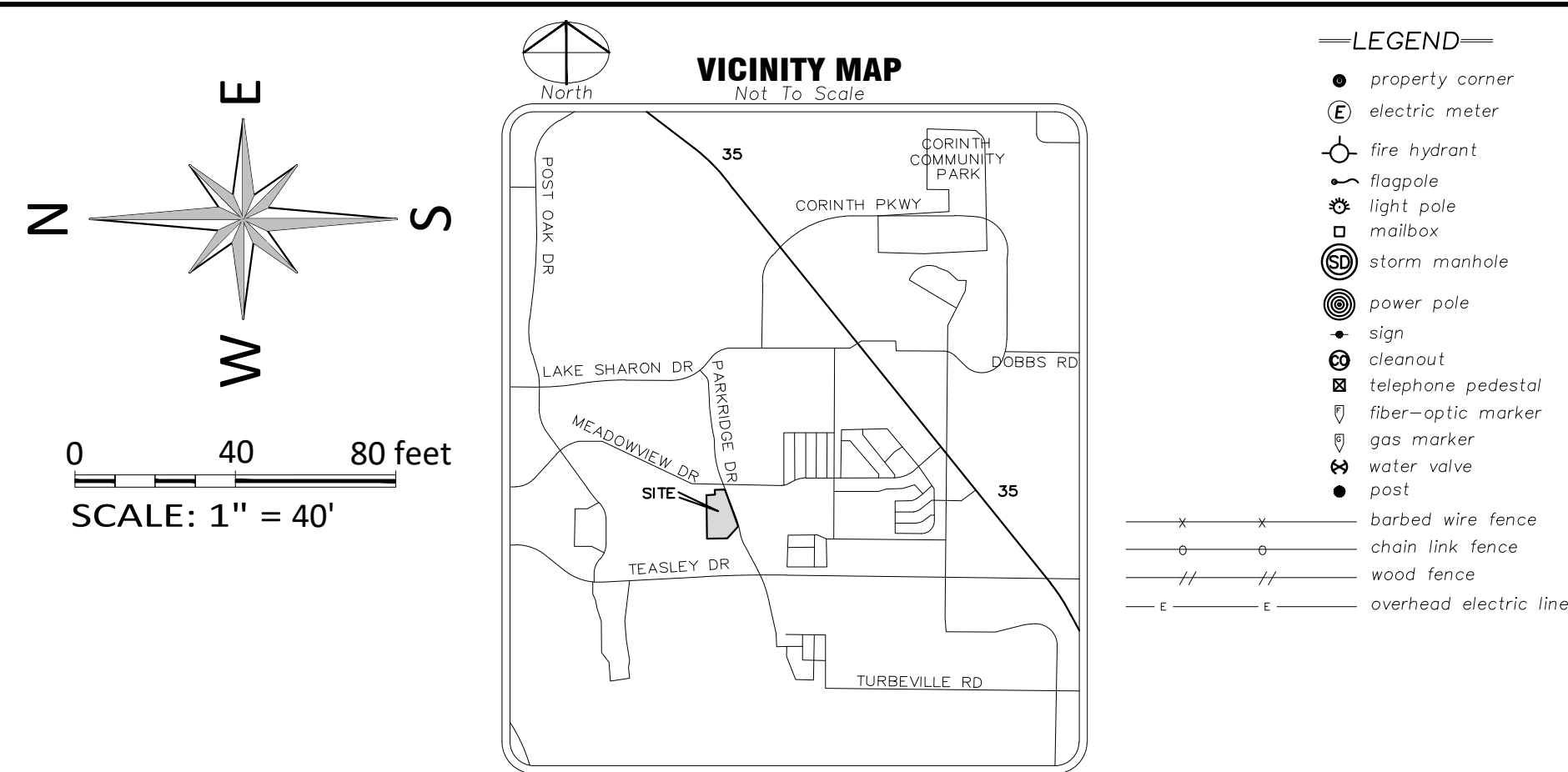
Oracle Engineering
Address: 2204 Green Hill Dr
McKinney, TX 75070
Contact: Matt Kostial, PE
214-226-5325
mpkostial@gmail.com

OWNER

ROCKBROOK DEVELOPMENT, LLC
2120 Cosmos Way,
Argyle, Texas 76226
Contact: Jason Rose
214-454-7895
jason@jrosearchitect.com

SURVEYOR

Duenes Land Surveying, LLC
2112 Blackfoot Trail
Mesquite, Texas 75149
Contact: Dustin D. Davison, RPLS
214-317-0685
dustin@dueneslandsurveying.com



1. The purpose of this plot is to create six (6) Lots from existing Tracts of land.
2. Lot-to-lot drainage is not permitted without Engineering Section approval.
3. Basis of Bearings: STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983. ADJUSTMENT REALIZATION 2011.
4. No portion of the subject property lies within any area of 100-year flood according to FEMA's Flood Insurance Rate Map No. 48121C0389 H, dated June 19, 2020. Property is in zone X.
5. All existing structures are to be removed.
6. Source Benchmark: City of Corinth Monument #3, located at the intersection of Meadowview Road and Forest Wood Drive.

Elevation = 636.61

Oracle Engineering
Address: 2204 Green Hill Dr
McKinney, TX 75070
Contact: Matt Kostial, PE
214-226-5325
mpkostial@gmail.com

ROCKBROOK DEVELOPMENT, LLC
2120 Cosmos Way,
Argyle, Texas 76226
Contact: Jason Rose
214-454-7895
jason@jrosearchitect.com

Duenes Land Surveying, LLC
2112 Blackfoot Trail
Mesquite, Texas 75149
Contact: Dustin D. Davison, RPLS
214-317-0685
dustin@dueneslandsurveying.com

MONCF = Concrete Monument Found

IRF = Iron Rod Found

CIRS = 5/8" Iron Rod with Purple Plastic Cap
Stamped, "RPLS 6451" Set

CIRF = Capped Iron Rod Found

Vol., Pg. = Volume, Page

Cab., Pg. = Cabinet, Page

Doc. No. = Document Number

P.R.D.C.T. = Plat Records, Denton County, Texas

D.R.D.C.T. = Deed Records, Denton County, Texas

O.P.R.D.C.T. = Official Public Records, Denton County, Texas

Sq. Ft. = Square Feet

MOVE TEXT TO
BELOW PLAT
NAME

1, 2, 1X, 2X, 3X, & 4X, Block A, out of the
B.B.B. & C.R.R. Survey, Abstract No. 153,
M.E.P. & P.R.R. Survey, Abstract No. 915,
E. Marsh Survey, Abstract No. 833, &
Brooks Beall Survey, Abstract No. 58
City of Cominth, Denton County, Texas
Being a total of 9.007 Acres
Preparation Date: October 12, 2023
Revision Date: _____

OWNER’S CERTIFICATE

STATE OF TEXAS)(
COUNTY OF DENTON)(

I, ROCKBROOK DEVELOPMENT, LLC, the undersigned owner of the land shown on this plat within the area described by metes and bounds as follows:

BEING a 392,365 square foot (9.007 acre) tract of land situated in the B.B.B. & C.R.R. Survey, Abstract No. 153, the M.E.P. & P.R.R. Survey, Abstract No. 915, the E. Marsh Survey, Abstract No. 833, and the Brooks Beall Survey, Abstract No. 58, City of Corinth, Denton County, Texas, same being that certain tract of land conveyed to ROCKBROOK DEVELOPMENT, LLC, by Special Warranty Deed (With Third Party Vendor's Lien) recorded in Instrument Number 2021-219809, Official Public Records, Denton County, Texas, further being a portion of those certain Tracts 3 and 4 of land conveyed to Dianne Ray Arnold, by Distribution Deed recorded in Instrument Number 2021-159119, Official Public Records, Denton County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1” Pipe Found at the northeasterly corner of that certain TRACT 23 conveyed to Acme Brick Company, by General Warranty Deed recorded in Volume 3127, Page 930, Deed Records, Denton County, Texas, same being in the south line of that certain TRACT 24 conveyed to said Acme Brick Company, from which a Concrete Monument bears North 39 degrees 49 minutes 40 seconds East, for 0.35 feet;

THENCE South 88 degrees 44 minutes 57 seconds East, along said south line, for a distance of 171.53 feet, to a Wooden Post Found, from which a 36” Oak Tree bears South 50 degrees 21 minutes 36 seconds East, for 1.89 feet, same being the southeast corner of said TRACT 24;

THENCE North 00 degrees 05 minutes 24 seconds West, along the east line of said TRACT 24, for a distance of 65.90 feet, to a 5/8” iron rod with Purple plastic cap stamped, ”RPLS 6451” set in the east line of said TRACT 24, same being the southwest corner of TRACT 25 of the aforementioned Acme Brick Company;

THENCE South 89 degrees 49 minutes 13 seconds East, along the south line of said TRACT 25, for a distance of 121.00 feet, to a 5/8” iron rod with Purple plastic cap stamped, ”RPLS 6451” set in the westerly line of Parkridge Drive (Variable Width R.O.W.), same being the southeast corner of said TRACT 25;

THENCE South 20 degrees 51 minutes 38 seconds East, along said Parkridge Drive, for a distance of 685.51 feet, to a 5/8” iron rod with Purple plastic cap stamped, ”RPLS 6451” set at the northerly corner of the aforementioned Tract 4, from which a 1/2” iron rod bears, North 20 degrees 51 minutes 38 seconds West, for 7.50 feet;

THENCE South 59 degrees 59 minutes 36 seconds West, departing said Parkridge Drive, along the north line of said Tract 4, for a distance of 203.15 feet, to a 5/8” iron rod with Purple plastic cap stamped, ”RPLS 6451” set;

THENCE South 24 degrees 59 minutes 38 seconds West, over and across said Tract 4 and over and across the aforementioned Tract 3, for a distance of 206.32 feet, to a 5/8” iron rod with Purple plastic cap stamped, ”RPLS 6451” set;

THENCE South 60 degrees 53 minutes 16 seconds West, continuing over and across said Tract 3, for a distance of 259.45 feet, to a 5/8” iron rod with Purple plastic cap stamped, ”RPLS 6451” set in the most easterly northeasterly corner of the aforementioned TRACT 23, same being in the southerly line of said Tract 3;

THENCE South 83 degrees 30 minutes 36 seconds West, along the southerly line of said Tract 3 and along the most easterly northeasterly line of siad TRACT 23, for a distance of 72.42 feet, to a 5/8” iron rod with Purple plastic cap stamped, ”RPLS 6451” set;

THENCE North 01 degrees 26 minutes 33 seconds East, passing at a distance of 192.62 feet, from which a 5/8” iron rod with Yellow plastic cap stamped, ”CARTER BURGESS” found, continuing for a total distance of 1002.13 feet to the POINT OF BEGINNING and containing 392,365 square feet or 9.007 acres of land, more or less.

and designated herein as the QUARRY TOWNHOMES ADDITION Subdivision to the City of Corinth, Texas, and whose name is subscribed hereto, hereby dedicate to the public use forever by fee simple title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, parks, and trails, and to the public use forever easements for sidewalks, storm drainage facilities, floodways, water mains, wastewater mains and other utilities, and any other property necessary to serve the plat and to implement the requirements of the platting ordinances, rules, and regulations thereon shown for the purpose and consideration therein expressed.

Owner: Jason Rose

Date:

STATE OF TEXAS)(
COUNTY OF DENTON)(

BEFORE ME, the undersigned authority, a Notary Public in and for Dallas County, Texas, on this day personally appeared Jason Rose, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purposes and considerations therein expressed and in the capacity therein stated.

Given under my hand and seal of office, this ____ day of _____ 2023.

NOTARY PUBLIC in and for the State of Texas

SURVEYOR’S CERTIFICATION

STATE OF TEXAS)(
COUNTY OF DALLAS)(

I, Dustin D. Davison, Registered Professional Land Surveyor in the State of Texas, do hereby certify that this plat is true and correct, and was prepared from and actual survey of the property made under my supervision on the ground.



PRELIMINARY
RELEASED 10/12/23 FOR REVIEW PURPOSES ONLY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE.
Dustin D. Davison, R.P.L.S.
Registration No. 6451

STATE OF TEXAS)(
COUNTY OF DALLAS)(

BEFORE ME, the undersigned authority, a Notary Public in and for Dallas County, Texas, on this day personally appeared Dustin D. Davison, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purposes and considerations therein expressed and in the capacity therein stated.

Given under my hand and seal of office, this ____ day of _____ 2023.

NOTARY PUBLIC in and for the State of Texas

APPROVED BY THE PLANNING & ZONING COMMISSION

ON THIS ____ DAY OF _____, 2023.

CHAIRPERSON, PLANNING AND ZONING COMMISSION

CITY SECRETARY

PRELIMINARY PLAT
QUARRY TOWNHOMES ADDITION
Lots 1, 2, 1X, 2X, 3X, & 4X, Block A, out of the B.B.B. & C.R.R. Survey, Abstract No. 153, M.E.P. & P.R.R. Survey, Abstract No. 915, E. Marsh Survey, Abstract No. 833, & Brooks Beall Survey, Abstract No. 58 City of Corinth, Denton County, Texas Being a total of 9.007 Acres
Preparation Date: October 12, 2023
Revision Date: _____

ENGINEER

Oracle Engineering
Address: 2204 Green Hill Dr
McKinney, TX 75070
Contact: Matt Kostial, PE
214-226-5325
mpkostial@gmail.com

OWNER

ROCKBROOK DEVELOPMENT, LLC
2120 Cosmos Way,
Arling, Texas 76226
Contact: Jason Rose
214-454-7895
jason@jresearchitect.com

SURVEYOR

Duenes Land Surveying, LLC
2112 Blackfoot Trail
Mesquite, Texas 75149
Contact: Dustin D. Davison, RPLS
214-317-0685
dustin@dueneslandsurveying.com



October 29, 2023

Michelle L. Mixell, AICP, CNU-A
Director of Planning and Development
Corinth City Hall
3300 Corinth Parkway
Corinth, Texas 76208
(940) 498-3261 Tel.
Michelle.Mixell@cityofcorinth.com

RE: "Quarry Townhomes -Preliminary Plat Extension Request"

Dear Sir/Madam:

The purpose of this letter is to request an extension of the time of Preliminary Plat Approval to allow time to adequately address all staff comments.

This request is being made pursuant to Section 3.02.01 – D(b) – Extension by Agreement: The applicant may request in writing and the Planning Commission, may approve the request for an extension of the time for Plat or Subdivision Plan approval required by subsection (a) or (b) for a period not to exceed thirty (30) days. The written request must be made within fifteen (15) days of the date the application is filed and approved by the Commission prior to the time for a decision on the application required by subsection (a) or (b).

Please contact me at (940) 500-8984 or jason@jrosearchitect.com should you have any questions.

Thank you for your consideration.

Respectfully,

Jason Rose
Architect TX #18341

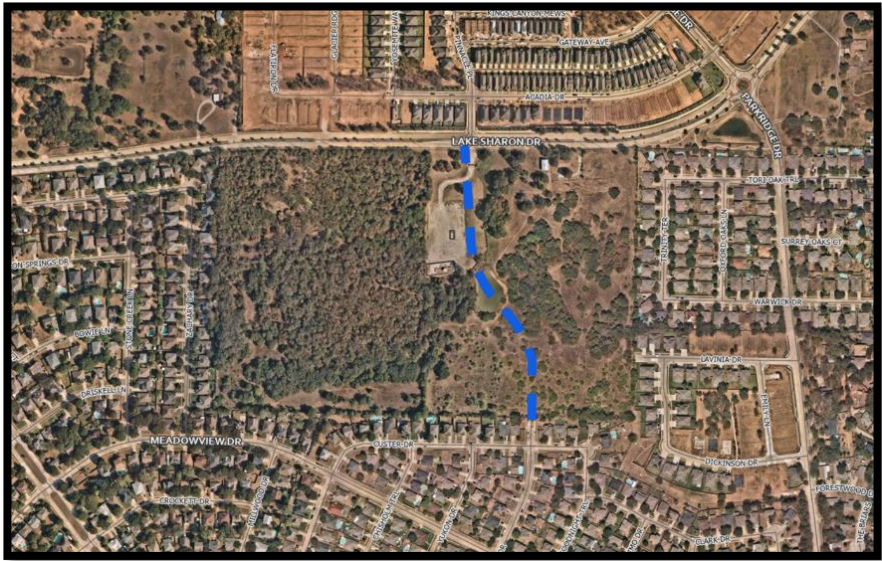


CITY OF CORINTH
Staff Report

Meeting Date:	11/13/2023	Title:	Comprehensive Plan Amendment – Master Thoroughfare Plan
Strategic Goals:	<input type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development		

Item/Caption

Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a request by the Applicant, Skorburg Company, to amend the City of Corinth Comprehensive Plan “Envision Corinth 2040” Master Thoroughfare Plan by removing the proposed Future Collector Roadway connecting Lake Sharon Drive to Hollis Drive. Case No. CPA23-0001



Location Map Case No. CPA23-0001

Item Summary

This item is a companion request to the Oak Ridge Park Planned Development application (Case No. ZAPD23-0003). The purpose of the request is to amend the Master Thoroughfare Plan component of the Envision Corinth 2040 Comprehensive Plan to remove a future Collector Roadway from the map that is proposed to extend Hollis Drive from its current terminus to Lake Sharon Drive through the Subject Property. The proposed amendment is further outlined in Attachment 1 – Statement of Intent.

Staff supports this request to eliminate the future collector roadway as it has been identified by the City’s consulting engineer – Birkhoff, Hendricks, and Carter (BHC) – to be removed as part of a broader review currently being conducted by BHC on behalf of the Public Works Department due to the traffic load not warranting a full-width collector roadway in this location.

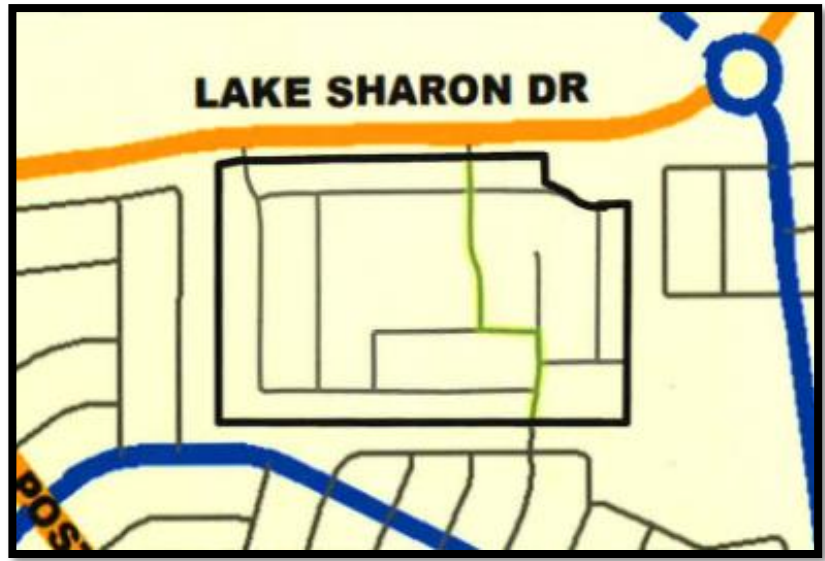
If this request is approved, but the companion item (Oak Ridge Park PD Rezoning request) is not approved or is approved and the proposed planned development does not materialize, any future development will be required to provide a local

street connection at Hollis Drive in a similar fashion as would be required for any existing street stub (e.g., Lavinia Drive Street stub to the east).

Below is an excerpt from the current Master Thoroughfare Plan (image on left) showing the location of the envisioned future Collector Street in the 2024 Envision Corinth Comprehensive Plan. The image on the right presents an alternative to the Collector Street by creating connectivity between neighborhoods via Local Streets.



Excerpt from Master Thoroughfare Plan



Excerpt from Attachment 1 – Statement of Intent

Public Notice

Notice of the public hearing was provided in accordance with the City Ordinance and State Law by,

- Publication in the Denton Record-Chronicle
- The Public Hearing notice was posted on the City's Website.

Staff Recommendation

Staff recommends approval of the request as presented.

Motion

"I move to recommend approval of the request to amend the City of Corinth Comprehensive Plan "Envision Corinth 2040" Master Thoroughfare Plan by removing the proposed Future Collector Roadway connecting Lake Sharon Drive to Hollis Drive."

Alternative Actions by the Planning and Zoning Commission

The Planning and Zoning Commission may also,

- Recommend approval with additional stipulations
- Continue the Public Hearing and table action on the request to a definitive or non-defined date
- Recommend denial of the request

Supporting Documentation

Attachment 1 – Statement of Intent

ATTACHMENT 1:

APPLICANT

STATEMENT OF INTENT

Skorburg Company
8214 Westchester, Ste 900
Dallas, TX 75224
Phone: 214/522-4945
Fax: 214/522-7244

November 1, 2023

City of Corinth

3300 Corinth Parkway
Corinth, TX 76208

**Re: Statement of Intent: Comprehensive Plan Amendment (Master
Thoroughfare Plan) – 2300 Lake Sharon Dr Corinth, TX 76210**

To Whom It May Concern,

We are hereby requesting on behalf of John F Baum and Donald Cadenhead the review and approval of the Comprehensive Plan Amendment for the subject property consisting of 56.129 acres of land located at 2300 Lake Sharon Dr. The proposed Master Thoroughfare Amendment is detailed on the following page and referenced within the accompanying exhibits set forth.

- 1) Existing Throughfare Exhibit
- 2) Proposed Thoroughfare Amendment Exhibit
- 3) Existing Land Use Environment Exhibit
- 4) Zoning Classification Exhibit
- 5) Future Land Use Classification Exhibit
- 6) Legal Description

Please do not hesitate to contact me should you have any questions or require additional information.

Best Regards,



John Arnold
Development Partner
Skorburg Company



The proposed Amendment to the Master Thoroughfare Plan, as contemplated within the Oak Ridge Park Planned Development, is a more practical approach to providing access and connection between the minor arterial, Lake Sharon Drive, north of this site and the Fairview West subdivision to the south. The street section design and internal configuration proposed is a necessary revision for keeping traffic patterns consistent with the surrounding environment.

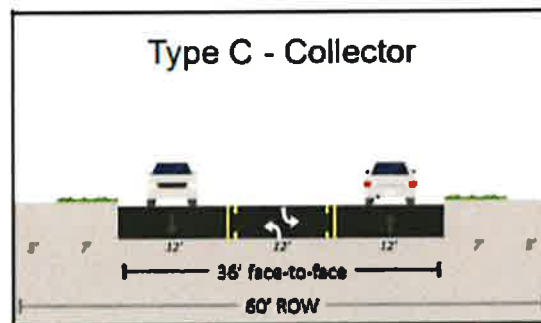
The existing Master Thoroughfare Plan prescribed this collector location based on the previous Comprehensive Plan, which had envisioned higher-intensity land use for this area. Now that the Future Land Use Classification designates this location as Neighborhood, the proposed internal street design is more conducive for this pattern of development. This design will still deliver connection points pursuant to the existing Master Thoroughfare Plan but provide a neighborhood-friendly approach with less direct access and incorporating traffic calming design principles. The sixty-foot (60') wide R.O.W. direct-access collector as currently reflected would aid in an unnecessary level of north/south traffic flow. The proposed Amendment will allow for land use appropriate street design that discourages cut through traffic from Lake Sharon Drive, through the proposed Oak Ridge Park subdivision, and ultimately the existing residents in Fairview West and Amherst to the southwest.

1) Existing Throughfare Plan

Section E, Item 4.



- Highway
- Major Arterial
- Major Arterial - Widening
- Minor Arterial
- Minor Arterial - Widening
- New Minor Arterial
- Collector
- Collector - Widening
- New Collector



2) Proposed Thoroughfare Plan Amendment



3) Existing Land Use Environment

Section E, Item 4.



4) Zoning Classifications



5) Future Land Use Classification



6) LEGAL DESCRIPTION

BEING, a tract of land situated in the Brooks Beall Survey, Abstract No. 58 in the City of Corinth, Denton County, Texas, being all of a 60.49 acre tract, as described in Vol. 1459, Pg. 880 in the Deed Records of Denton County, Texas and being more particularly described as follows:

BEGINNING, at a wood post at the most easterly southeast corner of Fairview West Phase V, an addition to the City of Corinth, as described in Cab. K, Pg. 261 in the Plat Records of Denton County, Texas and being the southwest corner of said 60.49 acre tract;

THENCE, North $00^{\circ}17'58''$ East, along the east line of said Fairview West Phase V and the west line of said 60.49 acre tract, for a distance of 1232.17 feet, to a 5/8 inch iron rod found at the northwest corner of said 60.49 acre tract being in the south line of Lake Sharon Drive (Variable R.O.W.), being on a curve to the right, having a radius of 2958.00 feet, a central angle of $05^{\circ}55'14''$;

THENCE, departing the east line of said Fairview West Phase V and along the south line of said Lake Sharon Drive and with said curve to the right, for an arc distance of 305.66 feet (Chord Bearing North $86^{\circ}27'26''$ East – 305.52 feet), to a 1/2 inch iron rod found at the point of tangency;

THENCE, North $89^{\circ}25'03''$ East, continuing along the south line of said Lake Sharon Drive, for a distance of 1301.27 feet, to a calculated point for corner;

THENCE, South $00^{\circ}34'57''$ East, departing said south line, for a distance of 132.83 feet, to a calculated point on a curve to the right, having a radius of 275.00 feet, a central angle of $24^{\circ}01'41''$;

THENCE, along said curve to the right for an arc distance of 115.33 feet (Chord Bearing South $67^{\circ}17'55''$ East – 114.48 feet), to a calculated point at the point of reverse curvature of a curve to the left, having a radius of 225.00 feet, a central angle of $23^{\circ}30'52''$;

THENCE, along said curve to the left for an arc distance of 92.34 feet (Chord Bearing South $67^{\circ}02'30''$ East – 91.69 feet), to a calculated point on a non-tangent curve to the right, having a radius of 50.00 feet, a central angle of $93^{\circ}30'42''$;

THENCE, along said curve to the right for an arc distance of 81.60 feet (Chord Bearing South $72^{\circ}34'44''$ East – 72.84 feet), to a calculated point for corner;

THENCE, South $89^{\circ}42'44''$ East, for a distance of 130.97 feet, to a calculated point in the west line of Taylor's Ridge, an addition to the City of Corinth, as recorded in Cab. Q, Pg. 203 in said Plat Records and being the east line of said 60.49 acre tract;

THENCE, South $00^{\circ}17'16''$ West, along the west line of said Taylor's Ridge and with the east line of said 60.49 acre tract, for a distance of 607.89 feet, to a 5/8 inch iron rod found at the southwest corner of said Taylor's Ridge and being the northwest corner of Amherst Addition, an addition to the City of Corinth, as described in Doc. No. 2021-202 in said Plat Records;

THENCE, South $00^{\circ}14'30''$ West, continuing along said east line and with the west line of said Amherst Addition, for a distance of 431.32 feet, to a 5/8 inch iron rod found at the southeast corner of said 60.49 acre tract being the in the north line of Fairview West Phase IV, an addition to the City of Corinth, as described in Cab. L, Pg. 55 in said Plat Records;

THENCE, North $89^{\circ}47'35''$ West, departing the west of said Amherst Addition and along the north line of said Fairview West Phase IV and along the south line of said 60.49 acre tract, for a distance of 318.03 feet, to a 1/2 inch iron rod found;

THENCE, North $89^{\circ}40'59''$ West, continuing along said north and south lines, for a distance of 406.08 feet, to a 1/2 inch iron rod found;

THENCE, North $89^{\circ}42'52''$ West, continuing along said lines, for a distance of 267.97 feet, to a 1/2 inch iron rod found;

THENCE, North $89^{\circ}44'59''$ West, continuing along said lines, for a distance of 201.13 feet, to a 1/2 inch iron rod found;

THENCE, North $89^{\circ}35'06''$ West, continuing along said lines, for a distance of 265.73 feet, to a 1/2 inch iron rod found;

THENCE, North $89^{\circ}43'14''$ West, continuing along said lines, for a distance of 540.66 feet, to the POINT OF BEGINNING and containing 56.129 acres of land.

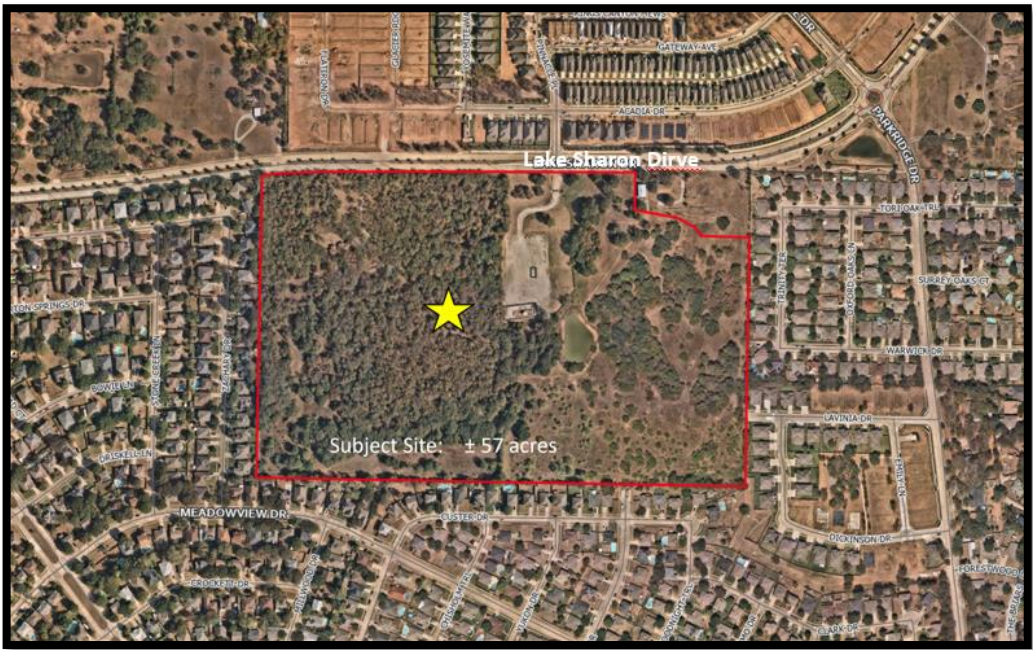


CITY OF CORINTH
Staff Report

Meeting Date:	Enter date.11/13/23	Title:	Oak Ridge Park Planned Development (PD) Rezoning Request (Case No. ZAPD23-0003)
Strategic Goals:	<input type="checkbox"/> Resident Engagement <input type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development		

Item/Caption

Conduct a Public Hearing to consider testimony and make a recommendation to City Council on a rezoning request by the Applicant, Skorburg Company, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code of the City, from SF-4 Single Family Residential and C-1 Commercial to a Planned Development with a base zoning district of SF-4 Single Family Residential, for the development of a residential subdivision on approximately ±57 acres located generally south of Lake Sharon Drive, north of Hollis Drive and Custer Drive, east of the Fairview West subdivision, and west Lavina Drive and Trinity Terrace. Case No. ZAPD23-0003 – Oak Ridge Park



Location Map - Case No. ZAPD23-0003

Item Summary/ Background

The Applicant is requesting approval of a Planned Development (PD) rezoning for the development of ±57 acres for the construction of 310 single family detached dwellings on individually platted lots. Reference Attachment 1, Exhibit “D” – Conceptual Landscape Plan (and see Excerpt below). The single-family lot types are varied and include Traditional Home Lots (60’ – 70’ widths), Patio Home Lots (50’ widths), and Cottage Home Lots (30’ widths). The Traditional Home Lots are located along the south, east, and west perimeters of the subdivision, adjacent to the existing residential neighborhoods.

Both the Traditional and Patio lots are designed with front entry garages and serve as transition lot types between the existing residential neighborhoods (south, east, and west) and the Cottage Home Lots. The Cottage Home Lots are centered around the common open space areas interior to the neighborhood and designed following the principles of new urbanism with shorter front yard setbacks, front porches, on-street parking, and alley served garages.

The site currently consists of several tracts which are heavily treed and contains a small pond, one single family residence, and an active gas well which will be plugged and capped as part of the development process. The gas well area of the site is currently zoned C-1 Commercial. The site is bounded to the north by Lake Sharon Drive, and to the south, west, and east by existing residential neighborhoods zoned SF-4 Single Family Residential (*PD-41 is to the east with an SF-4 base district*). The property located on the north side of Lake Sharon is zoned SF-4 (PD-57, with SF-4 base district) which has been developed in a similar manner to what is being proposed for the Subject Property.

P&Z Commission Workshop Meetings

At the Applicant’s request, the Planning & Zoning Commission conducted two workshop sessions on August 8, 2023, and October 23, 2023, to offer feedback on the various iterations of the project design. This feedback resulted in the removal of the Single-Family Attached (Townhouse) Lot type from the lot mix, the enlargement of the common open space areas and tree preserves, and the replacement of a block of smaller Cottage lots on the east side of Street D with larger patio home lots as reflected on the current 11/13/23 Concept Plan. Below are graphic images of the two iterations discussed at the P&Z Commission Workshop Meetings.



1st P&Z Workshop Session – 8/8/23 Concept Plan



2nd P&Z Workshop Session – 10/23/23 Concept Plan

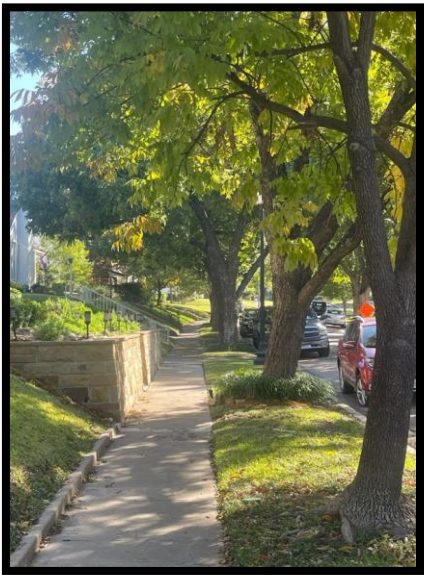
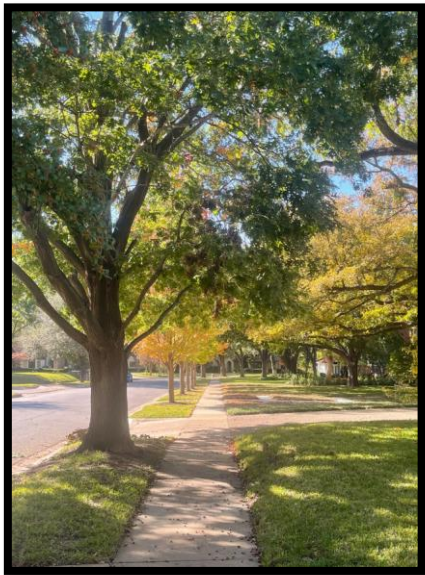
Exhibit “D” - Conceptual Landscape Plan (below) presents the current lot layout and proposed common open spaces, tree preserves, and pedestrian ways. This Concept Plan reflects the cumulative changes resulting from the neighborhood meetings, P&Z Workshops, and staff input.

The different lot types are color coded; Traditional Home Lots (light green), Patio Home Lots (yellow), and Cottage Home Lots (orange). **See excerpt below and Attachment 1, for the full exhibit.**



Excerpt from Exhibit “D” – Conceptual Landscape Plan*

A key feature of the project design is the location of Shade Trees within the public right-of-way (within the five (5) foot strip between curb and sidewalk) to create a “tree-lined parkway.” The location of Street Trees was requested by Staff as a design enhancement to create a more walkable and inviting streetscape. Other enhancements to the street design include the addition of landscape medians and bulb-out areas to promote traffic calming and enhance the overall aesthetic of the streetscape. The images below are examples of established tree-lined streets.



Example: Tree-line Streets – Create “Linear Park-like” Streetscape

In terms of access, the development will have two primary access points at existing median breaks along Lake Sharon Drive and will have two additional access points via street connections to the adjacent existing neighborhoods of Amherst to the east (via a connection with Lavina Drive) and Fairview West to the south (via a connection with Hollis Drive).

Unique Design Standards

As stated in the UDC, Subsection 2.06.03, the purpose of a PD District is to “... encourage quality and better development in the city by allowing flexibility in planning and development projects... and permit new or innovative concepts in land utilization and or diversification that could not be achieved through the traditional [base] zoning districts.”

The following table (Table 1) provides a summary of key design standards unique to the Oak Ridge Park PD that either deviate from the current UDC regulations or are offered as additional provisions to create an innovative and unique project. These additional provisions are in keeping with the Envision 2040 Comprehensive Plan Land Use and Development Strategies for the Neighborhood Land Use and promote “Traditional Neighborhood Design and New Urbanism Concepts”.

Note that the proposed standards are further described in Attachment 1 – Oak Ridge Park PD Design Statement and include justification statements for the requests.

Table 1 – Summary of Key Design Standards Unique to Oak Ridge Park PD

Regulation	SF-4 Base District	Proposed Standards/Modifications/Deviations
Fencing & Screening along Arterial	Requires a 6' high Masonry Wall on Arterial Streets	<ul style="list-style-type: none"> • Providing a 6' high masonry wall with 7' tall columns every other lot line, and sections of metal tubular fencing where tree preservation lots abut the landscape edge buffer. • Providing a 6' high ornamental metal tubular fencing where tree preserves front onto Lake Sharon Drive. <p>*See Attachment 1 – Exhibit “D-3” Fencing.</p>
Park and Trail Land Dedication	Requires 1 acre/50 Dwelling units or fee-in-lieu-of at land (may be a combination)	<ul style="list-style-type: none"> • Designating 7.512 acres of open space to include tree preservation areas, trails (with bollard lighting), playground, amenitized stormwater pond with trail/enhanced landscaping. <p>*See Exhibits “D” – Landscape Plan and “G” – Representative Photos of Playground amenity.</p>
Landscaping	Builder installs Shade Trees, Ornamental Trees, and shrubs on home lots only. *Shade Trees are <u>not</u> permitted in the Parkway.	<ul style="list-style-type: none"> • Locating Shade Trees within the Parkway (5' area between curb and sidewalk) . • Builder to install Street (Shade) Trees within their respective lots, within the Parkway, bulb-out locations, and Common Open Space Lots, as applicable based on trees as shown on Exhibit “D” relative to the lot prior to Certificate of Occupancy. • Developer to install Street (Shade) Trees within the Parkway along Common Open Space Lots, Stormwater Lots, and the outparcel adjacent to the project, based on trees as shown on Exhibit “D”.

		<ul style="list-style-type: none"> HOA responsible for maintaining all of the following: <ol style="list-style-type: none"> Street (Shade) Trees located in Public ROW Common Open Spaces/Playground Median landscaping in the Public ROW Landscaping on the individual Cottage Home Lots Cottage Home Lots require a minimum of 12 shrubs only within front yard to accommodate setback.
Landscape Edge Buffer	20' buffer along Lake Sharon Drive with Shade Trees 30' on Center	<ul style="list-style-type: none"> Reduced buffer along Lake Sharon Drive to 10' – Buffer enhanced with 50 shade trees and 30 ornamental trees to be planted in groupings. Replacing existing 4' sidewalk with 5' sidewalk along the length of Lake Sharon Drive frontage – may meander within the Landscape Edge Buffer, where necessary, and will include a pedestrian access easement.
Street Design	Standard Suburban Style	<ul style="list-style-type: none"> New Urbanist Style (on-street parking & Street Trees).
Alley	Standard Suburban Style	<ul style="list-style-type: none"> Adjusted to fit Fire Safety/Engineering (wider alley - Cottage Lots front onto a Mews/Common Open Space).
Lots	Lots front onto a street	<ul style="list-style-type: none"> Lots front onto a street and/or common open space lot.
Tree Preservation	Requires mitigation for Protected Tree Removal - Offers Credits for Preservation, if certain criteria is met	<ul style="list-style-type: none"> Agreement to preserve a minimum 10.15% of Healthy Protected Tree CI on site or 4,009.2 Caliper Inches (CI) within Common Open Space Lots to be preserved/maintained by HOA in perpetuity. See Exhibit "D" for representative locations. Agreement to also mitigate 2,000 CI through replanting of replacement trees (beyond what is shown on the Conceptual Landscape Plan – Exhibit "D"), and/or a fee payment of \$150.00 per CI. Extend duration of Tree Survey to be completed within one year to 3 years of Tree Removal Permit and will include field verification.
Vehicle Parking and Garages	Requires two (2) spaces per dwelling unit	<ul style="list-style-type: none"> Providing two (2) car garages and two (2) driveway spaces per dwelling unit. Providing 10 off-street parking spaces (small parking lot) to serve the neighborhood playground amenity. Providing 85 protected on-street parking spaces with landscape bulb-outs as well as on-street parking as permitted along local streets. Agreeing to restrictions specifying orientation of 3-car garages only as a "j" swing.
Building Façade Material Standards/Garage	General language	<ul style="list-style-type: none"> Agreeing to a list of unique architectural features to be included for façade and exterior wall materials percentages. Agreeing to additional standards related garage placement (setback and j-swing requirement for 3-car garages if provided)

Table 2, below, presents a comparison of the Dimensional Standards/Modifications for the lots within various lot types proposed. Also, see Attachment 1 – PD Design Statement for additional details related to the information presented below.

Table 2 –Comparison of SF-4 to Oak Ridge Park PD Proposed Dimension Standards

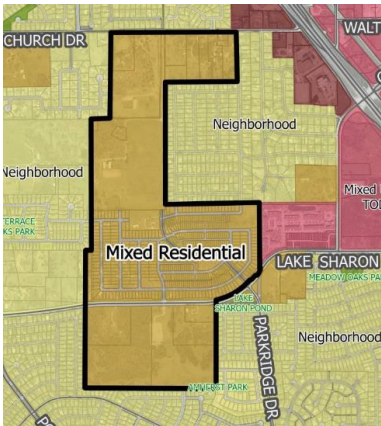
SF-4 Base:		Dimensional Standards/Modification:		
		Cottage Homes⁽¹⁾	Patio Homes⁽³⁾	Traditional Homes (Type A, B, & C)
Front Yard Setback ⁽²⁾	25'	5'	25'	25'
Side Yard Setback:				
Interior Lot	5'	0'/6' ⁽¹⁾	5'	5'
Corner Lot	15'	6'	10'	10'
Rear Yard Setback	20'	20'	10'	10'
Garage Setback	25'	20' (rear entry) (12' for lots adjacent to alley radii)	25'	25'
Minimum Lot Area	7,500 SF	2,700 SF	6,000 SF	Type A: 7,200 SF Type B: 8,125 SF Type C: 8,750 SF
Maximum Density	N/A			
Minimum Lot Width:	70' at building line	30'	50'	Type A: 60' Type B: 65' Type C: 70'
Minimum Lot Depth	100'	90'	120'	Type A: 120' Type B & C: 125'
Minimum Floor Area	1,500 sq. ft.	1,400 sq. ft.	1,500 sq. ft.	1,800 sq. ft.
Maximum Height (feet/stories)	35'/2.5	36' / 2.5	36' / 2.5	36' / 2.5
Maximum Building Area (all buildings)	30%	65%	55%	55%

Prior Action/Applicable Policy/Ordinance

Prior action by the City Council, relative to the Subject Property, includes the update to the Land Use and Development Map of the 2040 Comprehensive Plan on March 2, 2023.

In that update, the City Council adopted Ordinance No. 23-03-02-06 amending the Land Use and Development Map (as originally adopted on July 16, 2020), to change the Mixed Residential Land Use and Development Strategy classification to the Neighborhood Land Use and Development Strategy classification.

The update changed the vision of this property from a mix of residential types (single family and multifamily uses) to a development strategy that focuses on single-family uses. See the representative illustration of the map change below.



Prior - Place Type – Adopted July 16, 2020



New - Place Type - Adopted March 2, 2023

In addition, a companion item to this PD rezoning request is Case No. CPA23-0001 - which is a request to update the Comprehensive Plan Master Thoroughfare Plan by removing the designation of a “Collector Street” as it is currently shown to connect Holis Drive directly through the Subject Property to Lake Sharon Drive.

Staff supports the request to eliminate the future collector roadway which has been identified by the City’s consulting engineer – Birkhoff, Hendricks, and Carter (BHC) – to be removed as part of a broader review currently being conducted by BHC on behalf of the Public Works Department due to the traffic load not warranting a full-width collector roadway in this location. As such, a future street connection from Hollis Drive would be in the form of a local street.



Neighborhood Meetings

The Developer conducted two neighborhood meetings with surrounding property owners at City Hall on October 10, 2023, and October 18, 2023. Over the course of the two meetings, approximately 22 neighbors attended. See Attachment 3 – Skorburg Company’s summary of the items discussed during the meetings.

Compliance with the Comprehensive Plan

The rezoning request for the subject property, as presented, is in accordance with the “Land Use and Development Strategy” designation - Neighborhood, as set forth in the “Envision Corinth 2040” Comprehensive Plan.



Specifically, the proposed Concept Plan design meets the overall intent of the principles outlined in the **Neighborhood Land Use and Development Strategy*** (see below).

ENVISION CORINTH 2040 COMPREHENSIVE PLAN

LAND USE AND DEVELOPMENT STRATEGY

NEIGHBORHOOD

Purpose and intent

» To maintain the character and quality of existing neighborhoods

» Ensure that property values of existing neighborhoods stay stable through focus on maintenance, code enforcement, and neighborhood improvements (pocket parks, sidewalk connections to schools, entry features, etc.)

Land use types and density

» Based on existing neighborhood layout and context

» Appropriate transitions to existing neighborhoods with respect to densities, screening, and buffering within new neighborhoods

Design priorities

» Maintain existing street network, parks, and open space

» Provide additional sidewalk and trail connections where feasible

» Vehicular and pedestrian connections to new adjoining neighborhoods and to schools and parks

» Any new development should examine Traditional Neighborhood Design or New Urbanism concepts

Sustainability priorities

» Focus on local area detention infrastructure that also serves as amenities (landscaping, trails, and building frontages) for the benefit of adding value to the development

» Connections to regional trails, parks, and adjoining neighborhood retail

» New neighborhoods to focus on walkability and bikeability

» Design of new streets and infrastructure to incorporate appropriate LID elements

» Allow roof-top solar panels

***Excerpt from 2040 Comprehensive Plan, page 47.**

Public Notice

Notice of the public hearing was provided in accordance with the City Ordinance and State Law by,

- Publication in the Denton Record-Chronicle
- Written public notices were mailed to the owners of all properties located within 200 feet of the subject property and to the Denton ISD
- The Applicant posted several “Notice of Zoning Change” signs around the perimeter of the site.
- The Public Hearing notice was posted on the City’s Website.

Letters of Support/Protest

As of the date of this report, the City has received 1 letter of support and 6 letters of opposition from property owners located within 200 feet of the subject property, with 3 of the letters of opposition coming from 1 property. The 1 letter of support received was from the builder for the Amherst Subdivision, Sumeer Homes, who own 8 properties within the 200’ Buffer. Letters received after this date will be presented to the Planning and Zoning Commission at the time of Public Hearing. See Attachment 2 – 200’ Buffer Exhibit and Correspondence from Property Owners within 200 feet of the Subject Property

Staff Recommendation

Staff recommends approval as presented with the condition that Staff may work with the Applicant between Planning and Commission Public Hearing and City Council Public Hearing to address any minor technical items that may be identified for clarification and consistency between exhibits and text of Planned Development Standards.

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Motion

“I move to recommend approval of Case No. ZAPD23-0003 – Oak Ridge Park PD as presented with the condition that Staff may work with the Applicant between Planning and Commission Public Hearing and City Council Public Hearing to address any minor technical items that may be identified for clarification and consistency between exhibits and text of Planned Development Standards.”

Alternative Actions by the Planning and Zoning Commission

The Planning and Zoning Commission may also,

- Recommend approval with additional stipulations
- Continue the Public Hearing and table action on the request to a definitive or non-defined date
- Recommend denial of the request

Supporting Documentation

Attachment 1 – Oak Ridge Park PD Design Statement *(Applicant Document and exhibits)*

- A. Exhibit A – Legal Description
- B. Exhibit B – PD Concept Plan
- C. Exhibit C – Existing Site Conditions
- D. Exhibit D – Conceptual Landscape Plan
- E. Exhibit E – Existing Tree Coverage
- F. Exhibit F – Representative Product
- G. Exhibit G – Representative Playground Photos

Attachment 2 – 200-foot Zoning Buffer Exhibit and Correspondence from Property Owners within 200 feet of the subject property

Attachment 3 – Skorburg Company’s Neighborhood Meeting Summary *(Applicant Document)*

ATTACHMENT 1:

APPLICANT

PD DESIGN STATEMENT

OAK RIDGE PARK PLANNED DEVELOPMENT

OAK RIDGE PARK PLANNED DEVELOPMENT ZONING MAP (REZONING) AMENDMENT

PD DESIGN STATEMENT

A. PROJECT NAME/TITLE –

Oak Ridge Park

B. LIST OF OWNERS/DEVELOPERS –

Owner -

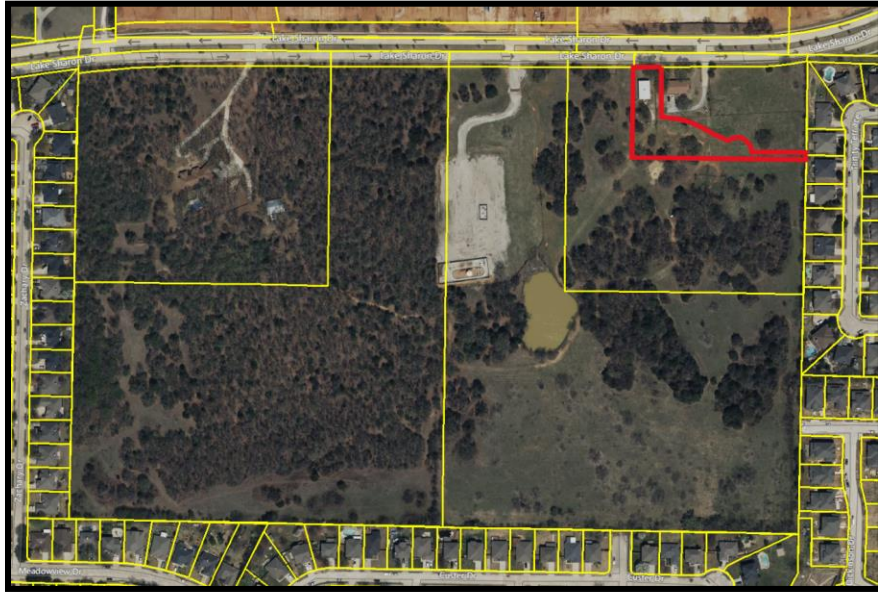
The current property owners of the proposed Baum Planned Development site:

- John F. Baum.

Individual property ownership is shown in the exhibit below.



- Donald II & Karen Cadenhead



Developer –

- Skorburg Company

With over 40 years of experience, the Skorburg Company has fostered a reputation for building a variety of high-quality, long-lasting communities. In total, the Skorburg Company has developed 140+ properties in 30 different municipalities around the Dallas-Fort Worth Metroplex.

Skorburg Company Background

- DFW based, privately owned development firm with 40 years of experience
- Over 140 development projects in more than 30 different cities around DFW metroplex
- Over 25 current projects in active development or build out
- Reputation for building high-quality, long-lasting communities
- Projects range from small, infill locations to 800-acre multi-phase master planned communities.



C. PROJECT ACREAGE AND LOCATION–

The proposed Oak Ridge Park Planned Development is located on the south side of Lake Sharon Drive, just west of Parkridge Drive. The property consists of approximately 56.129 acres. The property is currently zoned SF-4 and C-1. There is an existing house and barn structure in the northeast corner, an existing house in the northwest corner, as well as a gas pad located in the center of the property. The property is bordered by four (4) single-family communities. Fairview West, zoned SF-4, borders the site along the western and southern property boundaries. Taylor's Ridge, zoned SF-4, and Amherst Addition, zoned PD-41, border the site along the eastern boundary. Ashford Park, zoned PD-57, is currently being developed and is across Lake Sharon Drive to the north of the property.





D. PROJECT OVERVIEW / DESCRIPTION–

The Oak Ridge Park Planned Development will be a sustainable neighborhood with the intent to 1.) Provide a vibrant, long-lasting, community that blends seamlessly with the surrounding neighborhoods; 2.) Promote the core values outlined in the Envision Corinth 2040 Comprehensive Plan, providing for both traditional neighborhood design and new urbanism concepts; and 3.) Be a source of pride for its future residents and a shining example of what Corinth has to offer.

The Future Land Use designation for this property was changed in March of 2023 from Mixed- Residential to Neighborhood. The purpose and intent of Neighborhood is to maintain the character and quality of existing neighborhoods while providing appropriate transitions and maintaining existing street networks to maximize walkability to adjoining neighborhoods, schools and parks. Oak Ridge Park will accommodate a trail connection through the community to the Amherst Addition Park, in accordance with the City's Transportation Plan.

The property currently has two existing gas wells located in the center of the property. As of October 2023, the Developer has entered into an agreement with the owner/operator of the existing gas wells. The agreement is for the owner/operator to plug and abandon the existing gas wells upon the closing and funding of the property by the Developer. Therefore, an addition to the Oak Ridge Planned Development is to remove the existing gas wells.

The existing base zoning districts for Oak Ridge Park shall consist of SF-4, Single Family Residential (Detached) Zoning District. In order to promote desirable housing options and a diversity of housing products for future/existing Corinth residents, the Oak Ridge Park Planned Development will provide a mix of lot sizes. The Oak Ridge Planned Development lot mix will consist of three (3) different lot size categories with the following minimums: "30's" (30-foot wide detached cottage home lots) – minimum lot size of 2,700 square feet, "50's" (50-foot wide patio home lots) – minimum lot size of 6,000 square feet, and "60's," "65's," and "70's" (traditional single-family home lots) – consisting of three (3) subcategories with a minimum lot size of 7,200 square feet, 8,125 square feet, and 8,750 square feet.

The Oak Ridge Park Planned Development will provide the City of Corinth's market with new residential patio homes, cottage homes and traditional single-family homes with a maximum gross density of 5.52 dwelling units per acre as presented in Exhibit "B" – PDConcept Plan. This development will provide a great opportunity for a variety of new residents searching for a high-quality home in Corinth.



PLANNED DEVELOPMENT STANDARDS

SECTION 1: PURPOSE AND BASE DISTRICT

A. Purpose

The regulations set forth herein provide development standards for single family residential uses within the Oak Ridge Park Planned Development District No. ("PD-XX"). The boundaries of PD-XX are identified by metes and bounds on the Legal Description, Exhibit "___" to this Ordinance, and the Property shall be developed in accordance with these regulations and the Planned Development "PD" Concept Plan as depicted on Exhibit "B" and associated Ancillary Concept Plans. A use that is not expressly authorized herein is expressly prohibited in this PD-XX. The regulations set forth herein.

B. Base District

In this PD-XX, the "SF-4" Single-Family Residential District (Detached) regulations of the Corinth Unified Development Code (UDC), Ordinance No. 13-05-02-08, as amended, shall apply to the Property except as modified herein. If a change to the PD Concept Plan, and/or associated Ancillary Concept Plans is requested, the request shall be processed in accordance with the UDC and development standards in effect at the time the change is requested for the proposed development per the Planned Development Amendment Process.

SECTION 2 – USES AND AREA REGULATIONS**A. Purpose**

PD-XX, Oak Ridge Park Planned Development is intended to provide a quality residential development taking advantage of the location and concepts outlined in the Envision Corinth 2040 Comprehensive Plan by promoting variation in single-family dwelling types and lot sizes including Cottage, Patio, and Traditional Home lots to create a “traditional neighborhood development” following new urbanist concepts while respecting the larger lot transitions of the existing surrounding neighborhoods. The development includes a maximum of 310 Single-Family Detached lots, as set forth in on Exhibit “B” – PD Concept Plan, providing views and access to common open spaces including a large central green designed to preserve vast groves of existing mature trees and offer open spaces for passive neighborhood gatherings, and includes a playground amenity area and trail network linking to several additional passive open space tree preserves, as well as a stormwater pond designed as a park-like amenity with a landscaped, tree-lined perimeter trail. In addition, the design includes sidewalks, tree lined streets, landscaped medians to promote traffic calming, and on-street parking, as depicted on Exhibit “D” – Conceptual Landscape Plan.

B. Permitted Uses and Use Regulations

In the PD-XX District, no building, or lands shall be used, and no building shall be hereafter erected, reconstructed, enlarged, or converted unless otherwise provided for in the SF-4 Single Family Residential District (Detached) regulations of the UDC or otherwise permitted by this PD Ordinance. The Permitted Uses in the SF-4, Single Family Residential (Detached) District, as listed in Subsection 2.07.03 of the UDC, shall be permitted in the PD-XX District. The residential building layout shall be in general conformance with the PD Concept Plan shown in Exhibit “B” attached hereto.

C. Dimensional Regulations

UDC Subsection 2.08.04 Residential Dimensional Regulations Chart for the SF-4 Single Family Residential (Detached) District shall apply, except as modified in Table A – Dimensional Requirements below:

Table A – Dimensional Requirements:

SF-4 Base:		Dimensional Standards/Modification:		
		Cottage Homes ⁽¹⁾	Patio Homes ⁽³⁾	Traditional Homes (Type A, B, & C)
Front Yard Setback ⁽²⁾	25'	5'	25'	25'
Side Yard Setback:				
Interior Lot	5'	0'/6' ⁽¹⁾	5'	5'
Corner Lot	15'	6'	10'	10'
Rear Yard Setback	20'	20'	10'	10'
Garage Setback	25'	20' (rear entry) (12' for lots adjacent to alley radii)	25'	25'
Minimum Lot Area				Type A: 7,200 SF

	7,500 SF	2,700 SF	6,000 SF	Type B: 8,125 SF Type C: 8,750 SF
Maximum Density	N/A			
Minimum Lot Width:	70' at building line	30'	50'	Type A: 60' Type B: 65' Type C: 70'
Minimum Lot Depth	100'	90'	120'	Type A: 120' Type B & C: 125'
Minimum Floor Area	1,500 sq. ft.	1,400 sq. ft.	1,500 sq. ft.	1,800 sq. ft.
Maximum Height (feet/stories)	35' / 2.5	36' / 2.5	36' / 2.5	36' / 2.5
Maximum Building Area (all buildings)	30%	65%	55%	55%

(1) Cottage Homes lots – One (1) side may have a minimum zero foot (0') side yard setback (zero lot line) while the other side shall have a minimum six foot (6') side yard setback. A minimum of six feet (6') shall separate all buildings and include a minimum three foot (3') maintenance easement. Eaves may overhang a neighboring lot line by up to eighteen inches (18'') on the zero lot line side.

(2) The front setback for patio and traditional single-family homes may be reduced to a minimum of fifteen feet (15') for the following elements:

- a. A “j-swing” garage provided that the wall of the garage that faces the street contains a glass pane window with a minimum size of three feet (3') by five feet (5') and the height of the garage does not exceed one story.
- b. An unenclosed front porch which has a minimum dimension of seven feet in depth measured from stud to the front edge of the porch and a minimum width of 10 feet (10').

(3) For Patio Home lots with frontage along a median break, or fronting onto a cul-de-sac, the minimum front yard setback and garage setback may be reduced to 20', the minimum rear yard setback may be reduced to 5', and the minimum lot area may be reduced by an amount not to exceed 20% of the typical lot area requirement for the limited number of lots specifically identified on Exhibit “B” – PD Concept Plan with an “*” along Streets B and Hollis Drive.

Justification: These departures from the base district in subsection 2.04 are necessary to provide for the proposed product and commonly found throughout the Dallas-Fort Worth Metroplex. These departures will also allow the property to be developed in accordance with the overall density outlined in the Envision Corinth 2040 Comprehensive Plan. Additionally, these departures allow for the flexibility needed to incorporate the traffic calming measures described in this PD.

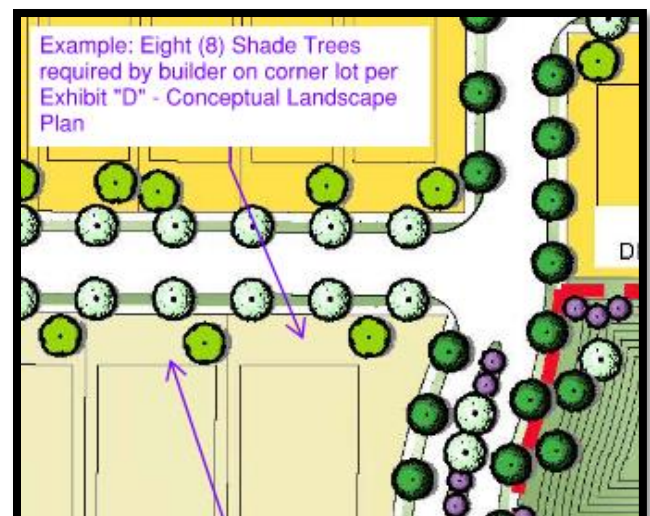
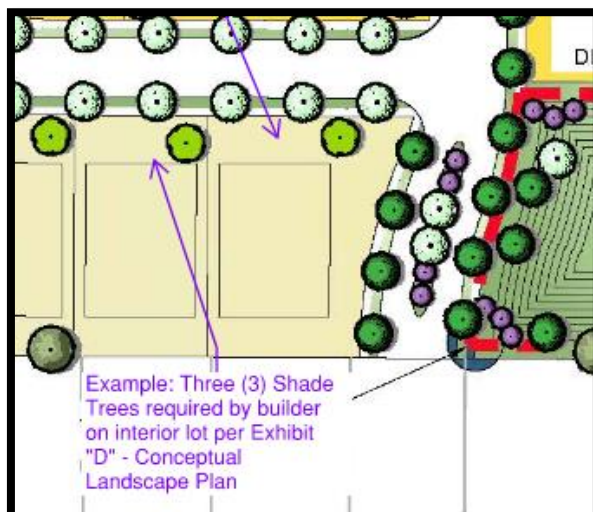
D. Development Standards

Except as otherwise set forth, the Development Standards of Subsection 2.04.04, SF-4, Single Family Residential (Detached) of Subsection 2.04, “Residential Zoning Districts” of the UDC, for the SF-4 Single Family District (Detached and all other requirements of the UDC shall apply to development within PD-XX, Oak Ridge Park.

1. UDC Subsection 2.07.07 **Accessory Buildings and Uses** shall apply, as may be amended.

2. UDC Subsection 2.09.01 **Landscaping Regulations for Attached, and Detached Single Family Developments** shall apply, except as modified below:

- a. Subsection 2.09.01.B.2.A.a.. shall be modified to reduce the width of the required landscape edge buffer along Lake Sharon Drive from twenty (20) feet to ten (10) feet. Developer shall be required to plant a minimum of fifty (50) Shade trees (3" caliper minimum) in clusters of five (5) and a minimum of thirty (30) Ornamental trees (2" caliper minimum) in groupings of three (3) in between the required Shade trees clusters along the length of the Lake Sharon Drive frontage, as shown in Exhibit "D".
- b. Subsection 2.09.01.B.2.B.(a) and (b) **Required Landscaping and Location of Trees** shall be modified to require, at a minimum, the number, size, and location of Shade Trees for Cottage Home Lots, Patio Home Lots, and Traditional Home Lots as depicted in Exhibit "D" – Conceptual Landscape Plan (where Shade Trees are shown within lots, within the right-of-way, and within Common Open Space X-Lots). The exact location and type of species of Shade Trees along each street shall be further defined on the detailed Landscape Plan to be submitted with Civil Plans. The detailed Landscape Plan shall serve as a guide for the Builder and City Staff during construction by identifying the species to be planted along each street as well as standards for Shade Trees to be located within the public right-of-way (bulb-outs located between on-street parking spaces and in the "Parkway," where Parkway is defined as the five-foot (5') area between the sidewalk and curb), and as located within the respective Cottage, Patio, and Traditional Home lots, and for Cottage Home Lots fronting onto common open space X-Lots (where Shade Trees are shown to be located along the sidewalk/trail).
 - i. The Builder shall be responsible for the installation of the Shade Trees associated with each Cottage, Patio, and Traditional Home Lot as described above and depicted on Exhibit "D" – Conceptual Landscape Plan and as shall be further defined on the Landscape Plan as noted above. This shall include Shade Trees to be located in the Parkway adjacent to each lot (front and side frontage) and trees shown within the lot or a common open space lot, where applicable. The installation of the Shade Trees shall be satisfied prior to issuance of a Certificate of Occupancy/Building Final. Reference example below illustrating required Shade Tree plantings for a corner lot and an interior lot.



- c. The Developer shall be responsible for installing Shade Trees within all “Parkway” locations that abut common open space lots (X-Lots and Detention Pond Lots as shown on Exhibit “D” shown on Exhibit “D” and as shall be further defined in the Landscape Plan to be submitted at time of Civil Plans.
- d. Cottage Home Lots shall be modified to require only twelve (12) shrubs to be planted within the front yard and with Shade Trees to be planted by “block face” within the “Parkway” as depicted on Exhibit “D”.
- e. The four (4) medians provided in the Right-of-Way shall be planted with trees, as shown in Exhibit “D” by the Developer.
- f. All trees and shrubs shall be of a species listed in the plant list, as shown in Exhibit “D”.
- g. Trees and other plant material planted with in bulb-outs, parkway, and medians, as shown in Exhibit “D”, shall be maintained by the Homeowners Association in perpetuity and utilize City approved root barrier systems when trees are within 5’ of pavement.
- h. All landscaping and Shade Trees within the Parkway for the Cottage Home Lots shall be maintained by the Homeowners Association in perpetuity.

Justification: Subsection 2.09.01.B.1. and 2.09.01.B.2. of the UDC both state landscape requirements for single-family attached developments. The Oak Ridge Park Planned Development shall apply with subsection 2.09.01.B.2. – landscaping requirements for attached and detached single-family lots, except as modified herein. The landscape edge buffer departure is necessary to be more consistent with the existing subdivisions to the east and west of the Oak Ridge Planned Development, but also providing a more enhanced buffer along Lake Sharon Drive than the subdivision to west provided. Additionally, the edge buffer departure also helps the preservation quality of the existing trees that will be preserved in the central open space. The other departures in subsection 2.09.01 are necessary to allow for trees to be spaced so at mature growth their canopies do not interfere with one another or with the Cottage Lots and to provide a high-quality unique street scape, as shown in Exhibit “D”. UDC Subsection

3. **2.09.02 Tree Preservation** shall apply, except as modified below:

- a. The Developer shall preserve areas of Healthy Protected Trees totaling a minimum of 10.1%, or 4,002.9”, of the total caliper inches (CI) of Healthy Protected Trees on site, which shall be wholly located within common open space lots (X-Lots) as labeled on Exhibit “B” and graphically depicted on Exhibit “D” – Conceptual Landscape Plan. Note that existing trees identified on Exhibit “D” that are shown to be located within private lots shall not count toward satisfying the minimum 10.1% saved base percent or 4,002.9 CI. Documentation of the minimum base save percentage of 10.1% as noted above, shall be based on a Tree Survey and further documented as part of a Tree Protection/Mitigation Plan included with the Civil Plan set submittal and field verified as part of the Tree Removal Permit process, prior to release for any grading and/or tree removal activities.
- b. UDC Subsection 2.09.02.G. Table 16-A Replacement Rates for Protected Trees and Table 16-B Credits for Healthy Protected Tree Preservation Efforts shall not apply.

- i. In lieu of these provisions, the Developer shall mitigate a flat number of 2,000 CI either through the replanting of Shade Trees and/or by paying a fee-in-lieu-of replacement in accordance with the Fee Schedule at \$150.00 per CI.
 - ii. Any mitigation replacement Shade Trees proposed for replanting shall be identified at the time of Civil Plan Set submittal and shown on the Landscape Plan/Tree Protection/Mitigation Plan and shall be planted within the common open space (X-Lots) in areas where it was noted at time of Landscape Plan preparation that the design would benefit from additional tree plantings other than what is shown currently on Exhibit “D” – Conceptual Landscape Plan. Note that the replanting of mitigation trees shall be in addition to the minimum Shade Tree landscape requirements of the UDC per residential lot and such trees identified in this PD for plantings of Street Trees within the right-of-way (including medians), and the perimeter areas of the stormwater pond used to satisfy Park and Trail Dedication requirements as depicted on Exhibit “D.”
- c. UDC Subsection 2.09.02.F.4.a. shall be altered to permit the use of a Tree Survey prepared within three (3) years of the date of the filing of a Tree Removal Permit Application provided that a Registered Landscape Architect or Certified Arborist certifies the accuracy of the base saved percentage of Healthy Protected Trees comprising the 10.1% preserved as noted above and documented as part of the Tree Preservation/Mitigation Plan, and field-verified prior to release for any grading and/or tree removal activities.
- d. Should it be determined at the time of Tree Survey field verification and Tree Preservation/Mitigation Plan preparation, that the number of protected Healthy Trees to be preserved falls below the 4,002.9 CI identified to be saved, the Developer shall identify additional areas to be preserved within a common open space X-lot to maintain that base minimum.
- e. Protected Trees preserved (saved) and planted to satisfy required mitigation on site shall be maintained, cared for, and replaced by the Homeowners’ Association in perpetuity.
- i. In the event of necessary removal of an existing preserved (saved) Protected Tree due to natural events such as disease, lightning strike, tornado, or flood that causes the destruction, severe decline, or death, trees affected that are up to twenty (20) caliper inches shall be replaced with a three-inch (3”) Canopy (shade) tree. Each Protected Tree greater than twenty (20) caliper inches and up to forty (40) caliper inches shall be replaced with three (3) three-inch (3”) caliper Canopy (shade) trees each. Each Protected Tree greater than forty (40) caliper inches shall be replaced with five (5) three-inch (3”) caliper Canopy (shade) trees in an effort to reestablish the canopy lost. Replacement Canopy (shade) trees shall be selected from table 15 of subsection 2.09.07, landscaping Regulations, of the UDC and no such replacement tree shall be smaller than three (3) caliper inches at the time of planting.
 - ii. Replacement mitigation trees planted on site that are removed due to “natural event” as described above shall be mitigated on a 1:1 basis.

Justification:

The property is exceedingly heavily treed, which puts burden on the property and would make the property undevelopable under the current tree ordinance in this subsection. Oak Ridge Park

concept plan and open space areas have been strategically designed to preserve tree groves containing the greatest concentration of large trees. The Developer's approach to meaningful preservation started with saving the largest tree on the property which is 54.5" inches. This tree will be further utilized as a natural amenity within the community and provide a view corridor, which is directly adjacent to the internal trail system along with an additional three 30" inch+ preserved trees within this grove. The preservation of over 4,000 caliper inches will certainly provide a distinctive element to this neighborhood. Residents will be able to enjoy an abundance of mature canopies immediately upon entry and meandering through the central open spaces, creating an experience truly unique to this neighborhood.

4. UDC Subsection 2.09.03 **Vehicular Parking Regulations** shall apply, except as modified below:
 - a. A minimum of eighty-five (85) defined on street parking spaces shall be provided within protected parking spaces (parking between bulb-outs planting areas) located along the frontage of Cottage Home Lots. This is in addition to the on-street parking located along typical local residential streets as represented on Exhibit "D".
 - b. A parking area with a minimum of ten (10) spaces shall be constructed on the east side of Street D, along the northern boundary of Blk C, to serve playground visitor parking. The westernmost two (2) parking spaces shall be designated as handicap parking spaces.
5. UDC Subsection 2.04.04.C.2 **Garage Regulations** shall apply, except as modified below:
 - a. The garage door(s) shall not extend in front of the home and shall have a minimum setback of 25 feet. No more than two (2) single garage doors or one (1) double garage door shall face the primary street on a front elevation. A third garage door may be located as a "j-swing" door or may face a side street on a corner lot. The modification to this subsection shall only apply to Patio and Traditional Single-Family Lots.
 - b. For any dwelling on a lot less than 50' in width, the garage shall be accessed by alley.
6. UDC Subsection 2.09.04 **Building Façade Material Standards** shall apply, except as modified below:
 - a. Exterior wall materials – 75% of each façade (excluding doors and windows) shall consist of masonry construction materials and/or fiber-reinforced cementitious board. However, no more than 30% of any façade shall be fiber-reinforced cementitious board. Reference Exhibit "F" – Representative Product which depicts examples of dwellings proposed for each lot type; Cottage, Patio, and Traditional Home Lots.
 - b. Each building shall include at least four of the following architectural elements:
 - i. Awnings/canopies;
 - ii. Balconies (a minimum of 25 square feet in size);
 - iii. Dormers;
 - iv. Offsets within each building (a minimum 5 feet to receive credit);
 - v. Patio (a minimum of 25 square feet in size);
 - vi. Porches (a minimum of 25 feet in size);
 - vii. Stoops (a minimum of 2 feet tall by 4 feet wide);
 - viii. Varied roof height in building (a minimum 10-foot difference);
 - ix. Sconce lighting;

- x. Decorative banding or molding
- xi. Decorative overhangs;
- xii. Front porch columns;
- xiii. Bay windows; and
- xiv. Shutters.

7. UDC Subsection 2.09.05 **Residential Adjacency Standards** shall apply.
8. UDC Subsection 2.09.06 **Nonresidential Architectural Standards** shall apply.
9. UDC Subsection 2.09.07 Lighting and Glare Regulations shall apply.
10. UDC Subsection 4.01 **Sign Regulations** shall apply.
11. UDC Subsection 3.05.05 **Alley Standards** shall apply, except as modified below:
 - a. Mews alleys shall be provided where Cottage Home lots front onto open spaces and fire access to such lots is provided from the alley. Mews alleys shall have a thirty-foot (30') right-of-way with a minimum twenty-four foot (24') edge-to-edge concrete paving, as shown in Exhibit "B". The modification shall only apply to Cottage Home lots.

Justification:

Mews alley language is provided for lots that front onto open space to allow fire access via the alley.

12. UDC Subsection 3.05.09 **Lot Standards** shall apply, except that Cottage Home Lots fronting onto Common Open Space X-lots, with rear entry access provided by an alley, shall be allowed, as shown in Exhibit "B". The modification shall only apply to Cottage Home lots.

Justification:

This departure from subsection 3.05.09 of the UDC is necessary to provide a unique design with additional landscaping while continuing to achieve an overall density consistent with the Envision Corinth 2040 Comprehensive Plan. This departure also allows for additional landscaped open space.

13. UDC Subsection 3.05.10 Park and Trail Dedication requires that Park and Trail dedication for Residentially Zoned Property to be provided at a rate of 1 acre per/50 DU and/or fees-in-lieu-of or combination shall apply, except as modified below:
 - a. Exhibits "B" and "D" show common open space land to be owned and maintained by the Homeowners Association. Of that land area, 7.512 acres shall be counted towards satisfying the Park and Trail requirements of Subsection 3.05.10 as outlined in item e. below.
 - b. Existing protected trees and any required mitigation trees to be replanted within common open space lots shall be preserved in perpetuity and cared for by the Homeowner's Association.
 - c. Trails, sidewalks, and amenities located within the common open space (X-lots) shall be maintained and replaced in kind in the event of removal, disrepair, and/or destruction as provided for the restrictive covenants. The detail of such ownership and maintenance obligation shall be set

forth in the covenants and shall be recorded prior to recording of the Final Plat for Phase 1.

- d. Trails shall utilize bollard lighting in strategic locations in line with best practices. Location of bollard lighting to be ultimately determined at the time of full landscape plan submittal.
- e. The 7.512 acres of common open space land counted toward Park and Trail Land Dedication is broken out as follows:
 - i. 1.917 acres designated for a detention or retention basin (*for stormwater management purposes*). The 1.917 acre southeast detention basin area (Blk D, Lot 6) shown on Exhibit “B” and Exhibit “D” shall be designed either as a either wet retention pond or dry detention pond as detailed in items a. and b. below to off-set a direct proportion of the acreage required for Park Land dedication (in the form of common open space X-Lot):
 - a. Wet retention areas shall be improved with a minimum twenty foot (20’) wide area that is capable of accommodating a five foot (5’) meandering trail around the perimeter with defined landscaped pockets to include sitting areas with benches, pedestrian decorative lighting, shade trees (at a rate of one (1) tree per thirty (30) linear feet of trail) and ornamental trees (at a rate of one (1) tree per every two (2) shade trees provided) located at intervals along the trail. These shade trees are in addition to and shall not count toward the required Cottage Lot shade tree plantings permitted to be planted in common area open spaces as described in Section 2.a In addition, the landscape pockets shall include a half circle of landscape plantings behind each bench. The pond shall include a fountain feature.
 - b. Dry detention areas shall be improved with a minimum twenty foot (20’) wide area that is capable of accommodating a five foot (5’) meandering trail around the perimeter that includes defined landscaped pockets to include sitting areas with benches, pedestrian decorative lighting, shade trees (at a rate of one (1) tree per thirty (30) linear feet of trail) and ornamental trees (at a rate of one (1) tree per every two (2) shade trees provided) located at intervals along the trail. These shade trees are in addition to and shall not count toward the required Cottage Lot shade tree plantings permitted to be planted in common area open spaces as described in Section 2.a. In addition, the landscape pockets shall include a half circle of landscape plantings behind each bench. Further, a minimum of twenty-five percent of the pond perimeter shall have a 10:1 side slope; an alternate to this percentage may be considered based on best practices for planning and engineering as determined at time of Civil Plan submittal and as approved by the Director of Development Services should the alternative design meet the intent of the gradual slope and perimeter distance. The remaining perimeter area shall not exceed a maximum side slope of 4:1. The flat bottom of the basin shall be kept manicured, maintained, and in a condition that will not promote standing water, and be of a sufficient size to accommodate active play space no less than ¼ acre (10,890 sf) in area. Alternative perimeter side slopes may be considered by the City at the time of preliminary plat based on best engineering practices and safety. Mitigation trees such as Bald Cypress may be planted in clusters in strategic locations within the basin area to create small groves and shade around the edges of the pond provided, trees do not interfere with the function of the pond as determined at time of Civil Plan review.

Such trees shall be identified on the Landscape Plan/Tree Preservation Mitigation Plan.

- ii. 5.595 acres consist of common area linear open spaces, parkland, and trails and shall include the following requirements, as depicted on Exhibit “D”.
 - a. Developer shall remove the existing four foot (4’) sidewalk along Lake Sharon Drive and construct a new five feet (5’) sidewalk. A pedestrian public access easement shall be provided should the sidewalk need to be extended outside of the public right-of-way and into the common open space lots (X-lots).
 - b. Developer shall construct a six foot (6’) concrete trail through Oak Ridge Park from Lavinia Drive to Lake Sharon Drive in accordance with ADA standards, as shown in Exhibit “D”. A pedestrian public access easement shall be provided when the trail meanders outside of the public right-of-way.
 - c. Developer shall construct a five foot (5’) concrete trail through the common open space lots (X-lots) in accordance with ADA standards, as shown in Exhibit “D”. A pedestrian public access easement shall be provided when the trail meanders outside of the public right-of-way and into the common open space lots (X-lots).
 - d. The sidewalk along the northern end of the cul-de-sac of Hollis Drive shall be allowed to meander through the northern open space to a connection point along the trail in order to avoid negatively impacting the existing mature trees located at this terminus. This section of sidewalk shall not be required to follow the perimeter edge of the cul-de-sac paving section however, Street Trees shall be provided within the Parkway area 5’ from back of curb by the Developer.
 - e. Developer shall construct a playground in the central open space Blk G Lot 46X, as shown in Exhibit “B” and “D” and further illustrated on Exhibit “G” – Representative Playground Photos. Playground shall include a significant portion of playscape that is certified for ADA accessibility standards and designed in conformance with best practice accommodations for handicapped children. In addition to the playground, Developer shall provide a shade structure and benches throughout the open space. The Playground and associated amenities shall be installed with Phase 1 as designed within the Landscape Plan/Hardscape Plan and shall be owned and maintained by the Homeowners’ Association in perpetuity.

Justification:

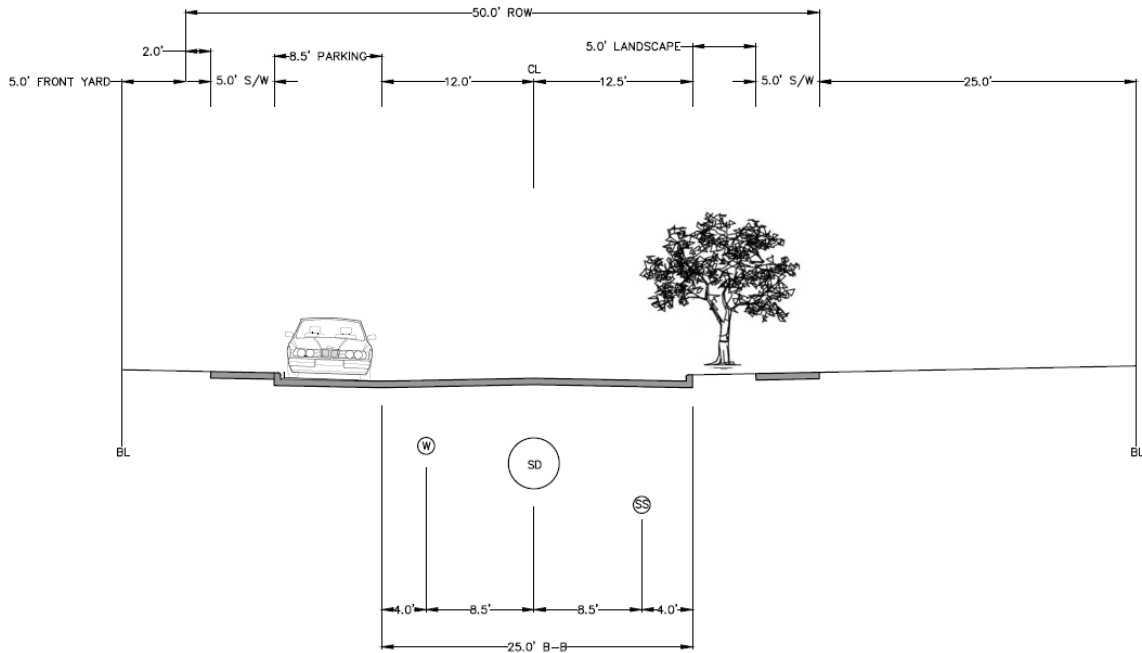
These departures from subsection 3.05.10 of the UDC are necessary to allow the developer to provide inclusive open space that promotes active outdoor activities for all residents of the City of Corinth.

14. UDC Subsection 3.05.13 **Street Design Criteria** shall apply, except as modified below:

- a. For Street Cross Section A-2 shown below parking shall be limited to parallel parking locations only.

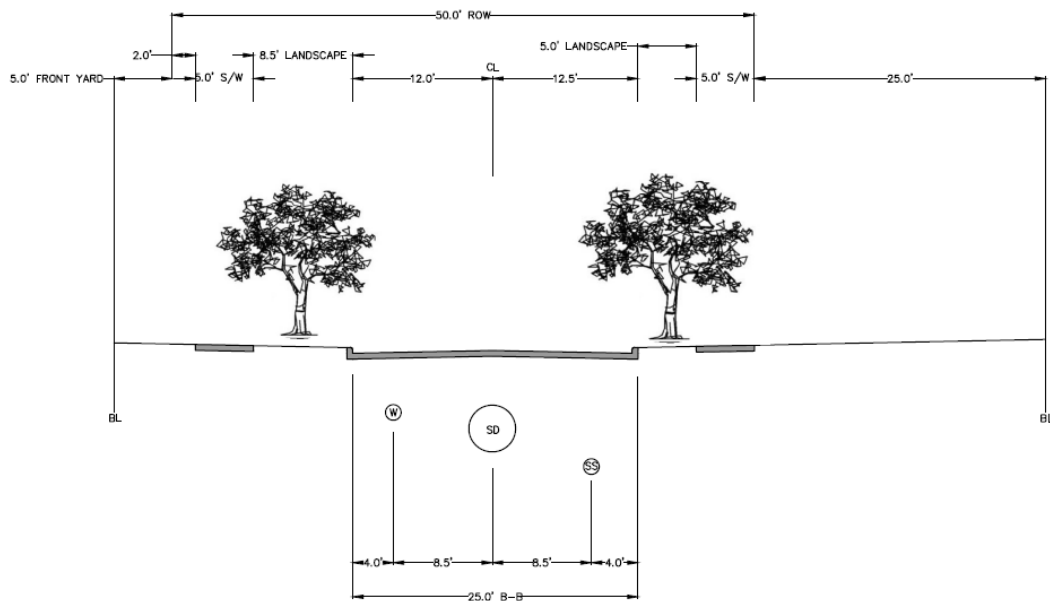
Street Cross Section A

One Side On Street Parking
Streets B, C, D, and H



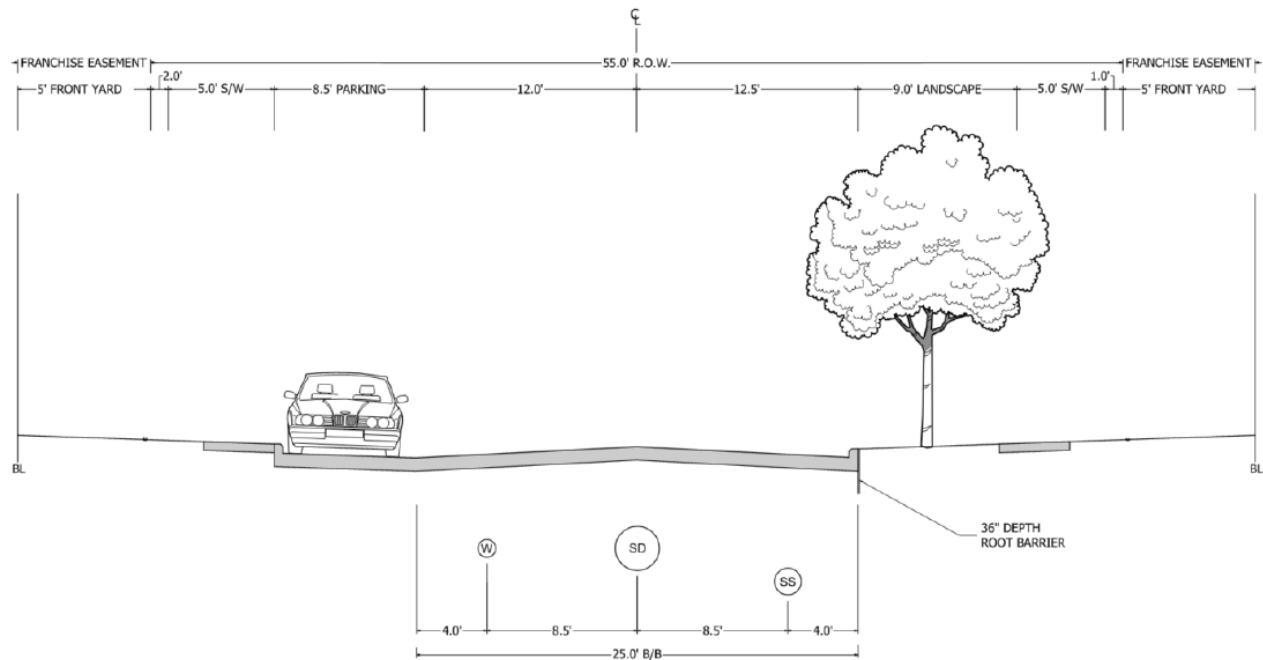
Street Cross Section A-2

One Side On Street Parking
(Landscape Locations)
Streets B, C, D, and H



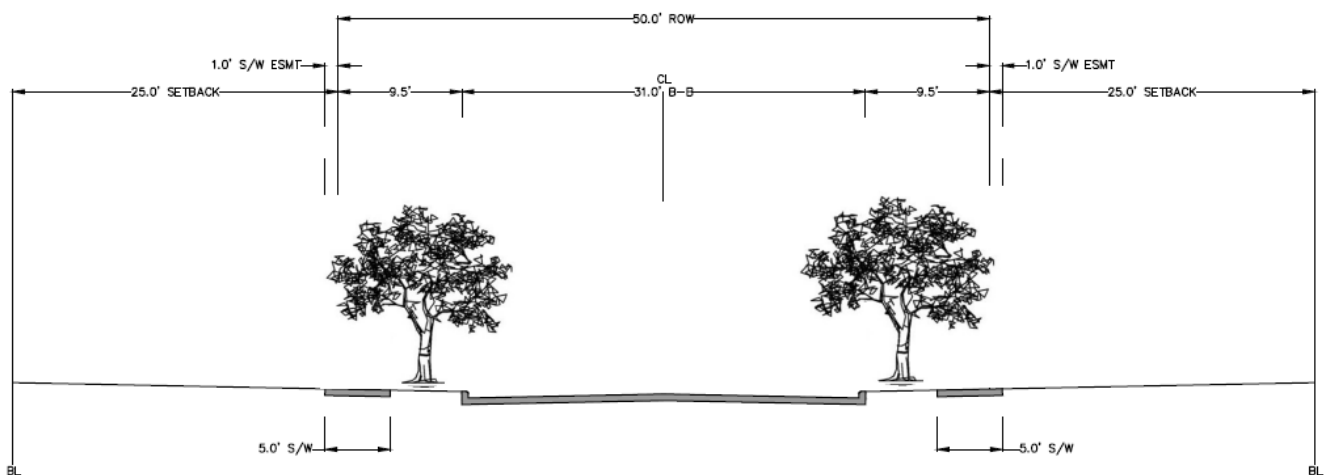
Street Cross Section C

Side Two Sided On Street Parking
Street G



Street Cross Section B -

Streets A, E, F, I, and J



Justification:

This departure from subsection 3.05.13 of the UDC is to permit a new urbanist street design.

15. UDC Subsection 4.02 Fence and Screening Regulations shall apply, except as modified below:

- a. Developer shall construct a six foot (6') high brick screening wall with seven foot (7') high stone columns spaced every other lot corner and at wall ends along Lake Sharon Drive. The developer shall construct all perimeter fencing adjacent to surrounding subdivisions with eight foot (8') board-on-board fencing as depicted on Exhibit "D-3" – Fencing Exhibit prior to the acceptance of public improvements.
- b. Lots abutting detention ponds or open space lots (X-lots) shall only be permitted to install ornamental fencing but may place a vegetation screen for privacy within the yard of the lot.
- c. Opaque evergreen vegetative screening along with a six foot (6') ornamental metal fence shall be installed along the side perimeter of the lots directly adjacent to divided boulevard Lake Sharon main entry.
- d. Opaque evergreen vegetative screening along with a six foot (6') ornamental metal fence along the perimeter of the alley adjacent to the western Lake Sharon entry.
- e. Opaque evergreen vegetative screening along the eastern and southern perimeter edge of the Street D and Street G alley adjacent to the northeast open space.
- f. Opaque evergreen vegetative screening along the northern edge of the parking lot.
- g. Opaque evergreen vegetative screening along the northern edge of the Street B alley adjacent to the northern open space perimeter; as shown on Exhibit D.

Justification:

The Screening wall will be designed to match the Ashford Park development directly across Lake Sharon Drive.

SECTION 3: OTHER DEVELOPMENT CONSIDERATIONS:

A. Sidewalks

1. Sidewalks shall be provided for all Cottage Home Lots fronting or siding onto the Central Green Common open space to provide front access to the lots and interconnection to the broader sidewalk and trail network.
2. Sidewalk along Lake Sharon Drive may meander within the Landscape Edge Buffer provided with a pedestrian access easement. In no instance shall the sidewalk be located closer than two (2) of the curb along Lake Sharon Drive.

B. Street (Shade) Trees

1. Shade Trees to be installed by the Developer shall be in accordance with the number, size, and location within the Parkway as depicted on Exhibit "D – Conceptual Landscape Plan and as shall be further detailed in the Landscape Plan at time of Civil Plan submittal." It is a requirement of the Developer to install Street Trees (Shade Trees) within the Parkway as shown along all Common Open Space Lots (X-

Lots), Stormwater Management Lots, and along the north eastside of Street F where the street abuts the out parcel. Street Trees shall be installed prior acceptance of the subdivision.

2. The Homeowners Association shall maintain and care for shade trees located within the Parkway in perpetuity throughout the Subdivision.

C. Existing Gas Well

1. The owner/operator of the gas wells will commence the plugging and abandonment within 60 days of the Developer closing and funding on the property. The owner/operator will complete the plugging and abandonment operation within 90 days after commencement, subject to extensions for delay caused by Force Majeure (occurrence beyond the reasonable control of the owner/operator). The plugging and abandonment will be done in conformance with the rules of the Texas Railroad Commission, and the owner/operator will file all reports required by the Texas Railroad Commission for the plugging and abandonment of the wells.

D. Phasing

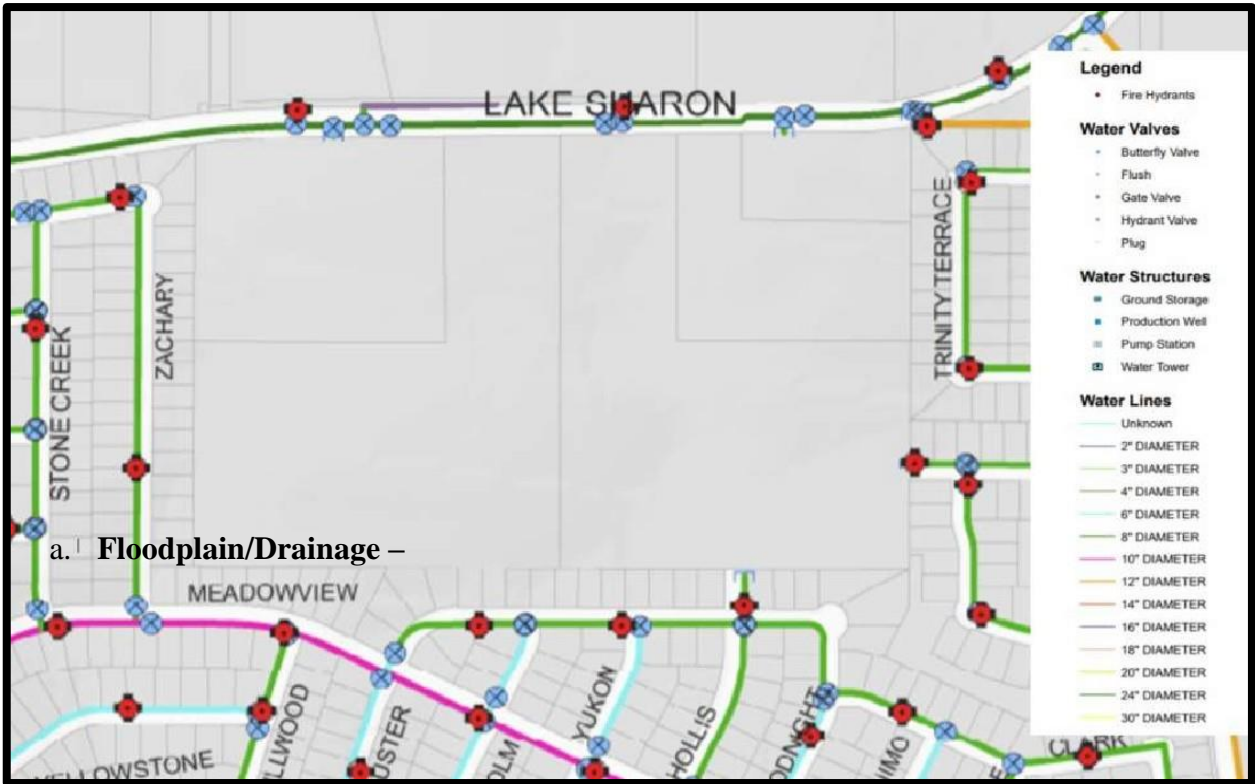
1. The ultimate phasing line shall be determined at the time of platting once more preliminary engineering and design work is completed.

E. Utility Infrastructure

Sewer Line Map



Water Line Map



FEMA Floodplain Map (N/A)



Storm Line Map (Drainage)**BACKGROUND INFORMATION****A. EXISTING SITE CONDITIONS –**

The property is currently used for residential and agricultural purposes. Below is a brief description of the existing physical characteristics of the property, as shown in Exhibit “H”.

1. Elevations & Slope Analysis

The highest point of the property is generally located in the northwest portion of the property and has an approximate elevation of 640. The site then generally slopes downward toward the southern portion of the property, which has an approximate elevation of 594.

2. Soil Characteristics

The soil characteristics of the property are typical of those found in North Texas, specifically those found in the City of Corinth. USDA refers to sandy loam or clay loam for the property (brown sugar).

3. Tree Cover

Portions of the property are “heavily treed”, with an existing tree coverage of over fifty percent (50%). Oak trees are the prominent species.

4. Floodplain/Drainage

The property is not located within a floodplain. There are multiple drainage basins on the property and as such multiple detention ponds will be incorporated as shown in Exhibit “B”.

B. CURRENT ZONING –

Most of the property is currently zoned SF-4, single-family residential (detached), which permits a range of uses, by right. This includes single-family (detached), modular (industrialized) home, agricultural use, child care home, church or other places of worship – including parsonage/rectory, concrete batching plant – temporary, country club, gas or oil well and production, golf course, home-base business, library, park – playground – community center (public), photovoltaic systems (attached), play field or stadium (public), police or fire station, school (public or private), telephone exchange (no offices or storage facilities), and temporary building for new construction.

A small portion of the property is currently zoned C-1, commercial, which permits a range of uses, by right. This includes agriculture use, antique shop, art gallery or museum, automobile parts store, barber/beauty shop or personal services, book store, bowling alley, caterer or wedding service, concrete batching (temporary), dance/music/drama studio, drone/commercial delivery service, educational service office, exterminating company, furniture repair and upholstery shop, gas or oil well and production, golf course, grocery store, gym or health/fitness center, laundry/dry cleaning drop-off/pickup, laundry (self- service) massage therapy (licensed), medical clinic, office/professional/medical/or business,

outside display, pet shop (retail sales only), photographer's or artist's studio/film processing, photovoltaic system (attached), photovoltaic system (detached), play field or stadium (public), plumbing/electrical/air conditioning store (retail sales only), police or fire station, printing/duplication shop or mailing center, public building, public parking garage, restaurant without drive-in or drive-through service, retail stores/shops, School (private), School (public), seamstress or tailor shop, shoe repair shop, temporary building for new construction, weight loss center, and wholesale center.



Existing SF-4 Zoning Dimensional Regulations:	
Minimum Front Yard Setback	25'
Minimum Side Yard Setback:	
Interior Lot	5'
Corner Lot	15'
Minimum Rear Yard Setback	20'
Minimum Lot Area	7,500 sq. ft.
Maximum Density	
Minimum Lot Width:	70' at building line
Minimum Lot Depth:	100'
Minimum Floor Area:	1,500 sq. ft.
Maximum Height (feet/stories)	35'2½
Maximum Building Area	30%

Existing C-1 Zoning Dimensional Regulations:	
Minimum Front Yard Setback	40'
Minimum Side Yard Setback:	
Interior Lot	0'/15' adjoining residential
Corner Lot	10'/15' adjoining residential
Minimum Rear Yard Setback	20'
Minimum Lot Area	20,000 sq. ft.
Minimum Lot Width:	150'
Minimum Lot Depth	100'
Maximum Height (feet/stories)	2.5 Stories/40' or SUP
Maximum Building Area (all buildings)	50%

C. FUTURE LAND USE –

The Future Land Use designation for this property was changed in March of 2022 from Mixed-Residential to Neighborhood. The purpose and intent of Neighborhood is to maintain the character and quality of existing neighborhoods while providing appropriate transitions and maintaining existing street networks to maximize walkability to adjoining neighborhoods, schools and parks.

Future Land Use Plan**Old Future Land Use Plan****SECTION 4 - SUPPORTING APPLICATION DOCUMENTS**

- A. Exhibit A – Legal Description
- B. Exhibit B – PD Concept Plan
- C. Exhibit C – Existing Site Conditions
- D. Exhibit D – Landscape Concept Plan
- E. Exhibit E – Existing Tree Coverage
- F. Exhibit F – Representative Product
- G. Exhibit G – Representative Playground Photos

EXHIBIT “A” LEGAL DESCRIPTION

CASE NO. ZAPD23-0003

BEING, a tract of land situated in the Brooks Beall Survey, Abstract No. 58 in the City of Corinth, Denton County, Texas, being all of a 60.49 acre tract, as described in Vol. 1459, Pg. 880 in the Deed Records of Denton County, Texas and being more particularly described as follows:

BEGINNING, at a wood post at the most easterly southeast corner of Fairview West Phase V, an addition to the City of Corinth, as described in Cab. K, Pg. 261 in the Plat Records of Denton County, Texas and being the southwest corner of said 60.49 acre tract;

THENCE, North 00°17'58" East, along the east line of said Fairview West Phase V and the west line of said 60.49 acre tract, for a distance of 1232.17 feet, to a 5/8 inch iron rod found at the northwest corner of said 60.49 acre tract being in the south line of Lake Sharon Drive (Variable R.O.W.), being on a curve to the right, having a radius of 2958.00 feet, a central angle of 05°55'14";

THENCE, departing the east line of said Fairview West Phase V and along the south line of said Lake Sharon Drive and with said curve to the right, for an arc distance of 305.66 feet (Chord Bearing North 86°27'26" East – 305.52 feet), to a ½ inch iron rod found at the point of tangency;

THENCE, North 89°25'03" East, continuing along the south line of said Lake Sharon Drive, for a distance of 1301.27 feet, to a calculated point for corner;

THENCE, South 00°34'57" East, departing said south line, for a distance of 132.83 feet, to a calculated point on a curve to the right, having a radius of 275.00 feet, a central angle of 24°01'41";

THENCE, along said curve to the right for an arc distance of 115.33 feet (Chord Bearing South 67°17'55" East – 114.48 feet), to a calculated point at the point of reverse curvature of a curve to the left, having a radius of 225.00 feet, a central angle of 23°30'52";

THENCE, along said curve to the left for an arc distance of 92.34 feet (Chord Bearing South 67°02'30" East – 91.69 feet), to a calculated point on a non-tangent curve to the right, having a radius of 50.00 feet, a central angle of 93°30'42";

THENCE, along said curve to the right for an arc distance of 81.60 feet (Chord Bearing South 72°34'44" East – 72.84 feet), to a calculated point for corner;

THENCE, South 89°42'44" East, for a distance of 130.97 feet, to a calculated point in the west line of Taylor's Ridge, an addition to the City of Corinth, as recorded in Cab. Q, Pg. 203 in said Plat Records and being the east line of said 60.49 acre tract;

THENCE, South 00°17'16" West, along the west line of said Taylor's Ridge and with the east line of said 60.49 acre tract, for a distance of 607.89 feet, to a 5/8 inch iron rod found at the southwest corner of said Taylor's Ridge and being the northwest corner of Amherst Addition, an addition to the City of Corinth, as described in Doc. No. 2021-202 in said Plat Records;

THENCE, South 00°14'30" West, continuing along said east line and with the west line of said Amherst Addition, for a distance of 431.32 feet, to a 5/8 inch iron rod found at the southeast corner of said 60.49 acre tract being the in the north line of Fairview West Phase IV, an addition to the City of Corinth, as described in Cab. L, Pg. 55 in said Plat Records;

THENCE, North 89°47'35" West, departing the west of said Amherst Addition and along the north line of said Fairview West Phase IV and along the south line of said 60.49 acre tract, for a distance of 318.03 feet, to a ½ inch iron rod found;

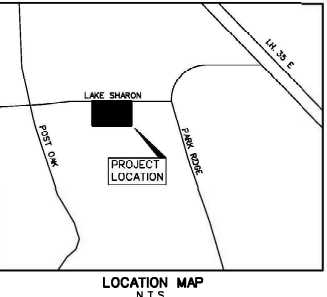
THENCE, North 89°40'59" West, continuing along said north and south lines, for a distance of 406.08 feet, to a ½ inch iron rod found;

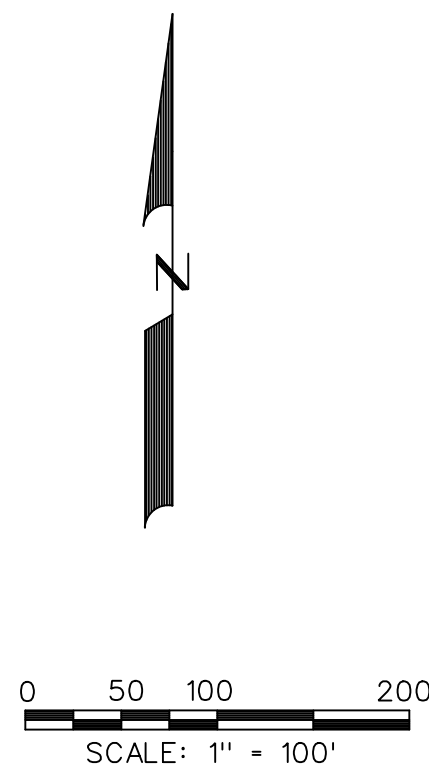
THENCE, North 89°42'52" West, continuing along said lines, for a distance of 267.97 feet, to a ½ inch iron rod found;

THENCE, North 89°44'59" West, continuing along said lines, for a distance of 201.13 feet, to a ½ inch iron rod found;

THENCE, North 89°35'06" West, continuing along said lines, for a distance of 265.73 feet, to a ½ inch iron rod found;

THENCE, North 89°43'14" West, continuing along said lines, for a distance of 540.66 feet, to the POINT OF BEGINNING and containing 56.129 acres of land.





CASE NO. ZAPD23-0003
EXHIBIT "C"
Existing Site Conditions with Concept Plan Overlay
OR
OAK RIDGE PARK
LOTS 1-31, BLOCK A
LOTS 1-10, BLOCK B
LOTS 1-11, BLOCK C
LOTS 1-51, BLOCK D
LOTS 1-6, BLOCK E
LOTS 1-30, BLOCK F
LOTS 1-117, BLOCK G
LOTS 1-33 BLOCK H
LOTS 1-32 BLOCK I
TOTAL LOTS 310
TOTAL RESIDENTIAL LOTS 310
TOTAL PROPOSED NET OPEN SPACE LOTS 7
TOTAL GROSS ACRES 56.129
TOTAL NET ACRES 42.885
OUT OF THE
BROOKS BEALL SURVEY, ABSTRACT NO. 58
IN THE
CITY OF CORINTH
DENTON COUNTY, TEXAS
OWNERS
JOHN F. BAUM
2300 LAKE SHARON DRIVE
CORINTH, TEXAS 76210
DONALD CADENHEAD II
2600 LAKE SHARON DRIVE
CORINTH, TEXAS 76210
DEVELOPER
SKORBURG COMPANY, INC.
8214 WESTCHESTER DR., STE. 900
DALLAS, TEXAS 75225
214-522-4945
PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

MARY N. BATES
TEXAS L.A. #3613

ISSUED ON:
NOVEMBER 9, 2023

Skorburg Company
8214 Westchester Drive, Suite 900
Dallas, Texas 75225

OAK RIDGE PARK
City of Corinth, Denton County, TX

EXHIBIT D -
CONCEPTUAL
LANDSCAPE PLAN

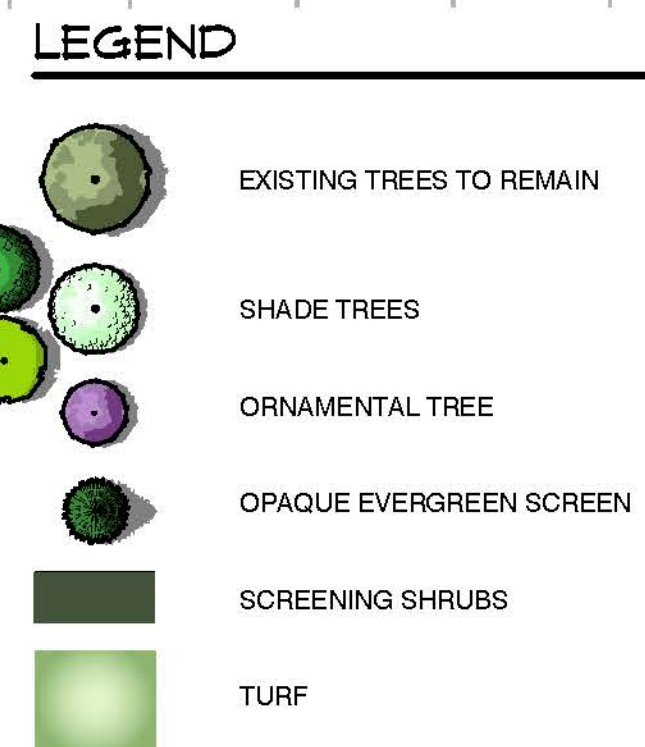
Date	Comment

Project Number

11/09/202

own By MN

LP-1



CONCEPTUAL PLANT LIST

SHADE TREES -

- LIVE OAK (QUERCUS VIRGINIANA)
- CEDAR ELM (ULMUS CRASSIFOLIA)
- HONEY LOCUST (GLEDTIS TRIACANTHOS INERMIS)
- SHUMARD OAK (QUERCUS SHUMARDII)
- CHINQUAPIN OAK (QUERCUS MUhlenBERGII)

ORNAMENTAL TREES -

- DESERT WILLOW (CHILOPSIS LINEARIS)
- TEXAS PISTACHE (PISTACIA TEXANA)
- TEXAS REDBUD (CERCIS CANADENSIS VAR. TEXENSIS)
- ORANGE MYRTLE (LAXIA ROMERIA INDICA)
- OPAQUE EVERGREEN SCREEN -
- NELLIE R. STEVENS HOLLY (ILEX CORNUTA NELLIE R. STEVENS)
- WAX MYRTLE (MYRICA CERIFERA)

Landscape Edge Requirements:
Required Shade Trees (3" cal.) - Rows of 5
Required Ornamental Trees (2" cal.) - Clusters of 3

Cottage Lot Planting Requirements:
Required Shade Trees (3" cal.) - Two per Lot - Planted in Bulbout, Parkway, or Common Open Space

Patio Lot Planting Requirements:
Required Shade Trees (3" cal.) - One per Lot - Planted in Front Yard
Required Shade Trees (3" cal.) - One per Lot - Planted in Parkway

Traditional SF Lot Planting Requirements:
Required Shade Trees (3" cal.) - Two per Lot - Planted in Front Yard
Required Shade Trees (3" cal.) - One per Lot - Planted in Parkway

Retention Area Planting Requirements:
Required Shade Trees (3" cal.) - One per thirty linear feet of trail - Approx: 1,200 LF
Required Ornamental Trees (2" cal.) - One per every two (2) shade trees provided.

Total Shade Trees Required (3" cal.)
Total Ornamental Trees Required (2" cal.)
Total Shade Trees Provided (3" cal.)
Total Ornamental Trees Provided (2" cal.)

Count	Cum. Inches
50	150 in.
30	60 in.
170	510 in.
86	258 in.
86	172 in.
108	324 in.
54	108 in.
40	120 in.
20	40 in.
594	1782 in.
50	100 in.
815	2445 in.
68	136 in.

Scale 1" = 80'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

CASE NO. ZAPD23-0003
EXHIBIT D
CONCEPTUAL LANDSCAPE PLAN
OF
OAK RIDGE PARK

LOTS 1-31, BLOCK A
LOTS 1-10, BLOCK B
LOTS 1-11, BLOCK C
LOTS 1-51, BLOCK D
LOTS 1-6, BLOCK E
LOTS 1-30, BLOCK F
LOTS 1-117, BLOCK G
LOTS 1-30 BLOCK H
LOTS 1-32 BLOCK I
TOTAL LOTS 310

TOTAL RESIDENTIAL LOTS 310
TOTAL PROPOSED NET OPEN SPACE LOTS 7
TOTAL GROSS ACRES 56,129
TOTAL NET ACRES 42,579

OUT OF THE
SURVEY, ABSTRACT NO. 58
IN THE

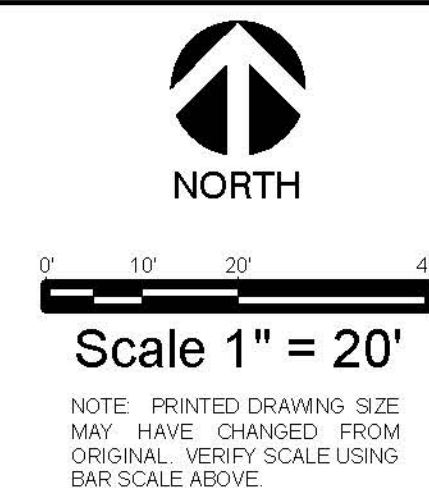
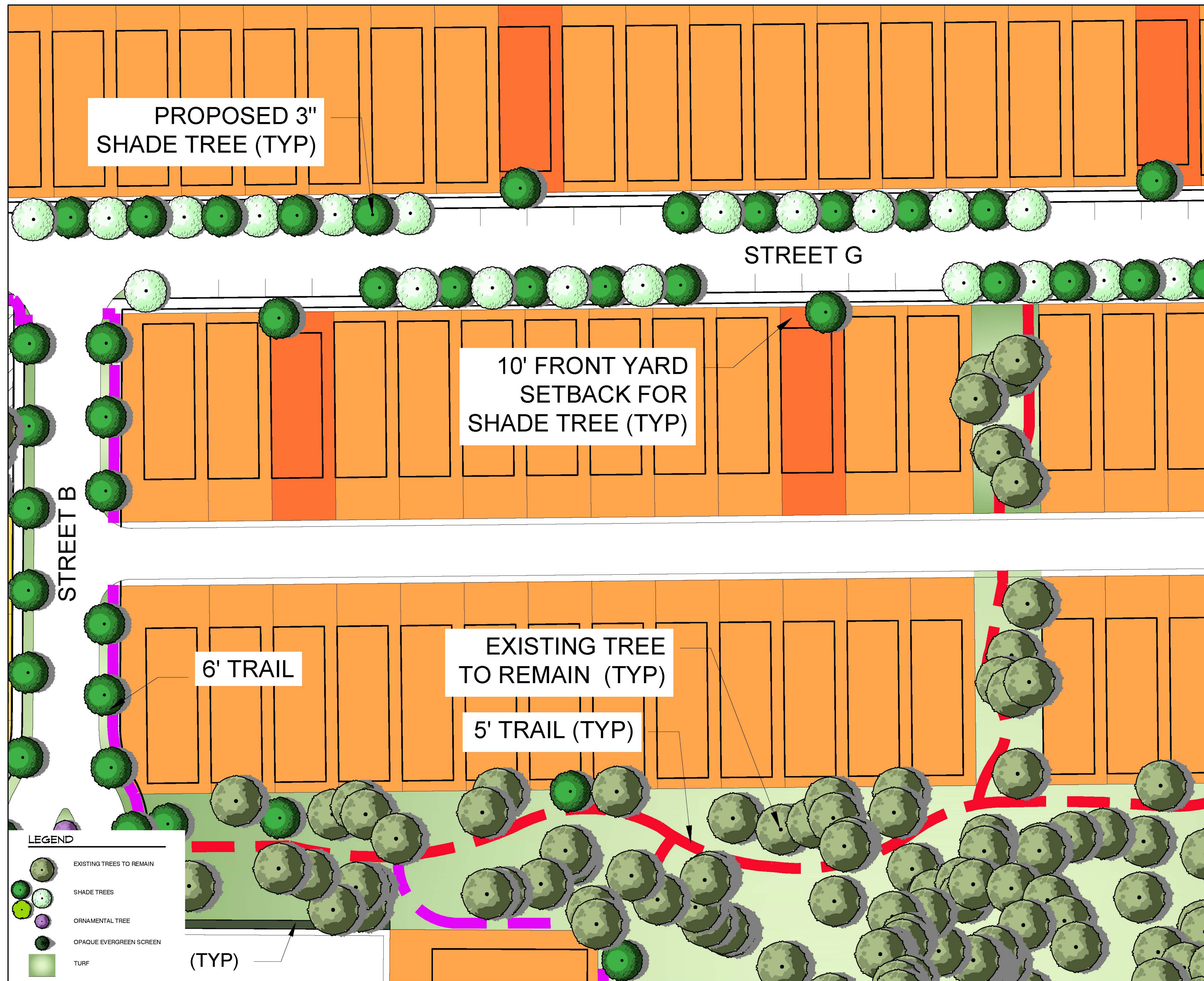
CITY OF CORINTH
DENTON COUNTY, TEXAS
OWNERS

JOHN F. BAUM
2302 LAKHORN DRIVE
CORINTH, TEXAS 76010
DONALD CADEWENHUE II
2606 LAKHORN DRIVE
CORINTH, TEXAS 76010

DEVELOPER
SKORBUOR COMPANY, INC.
8214 WESTCHESTER DR. STE. 900
DALLAS, TEXAS 75223
214-522-4945

PREPARED BY
EVERGREEN DESIGN GROUP
15455 DALLAS PKWY. STE. 600
ADDISON, TX 75001
(800) 880-6630

NOVEMBER 2023 SCALE: 1"=80'




EVERGREEN
DESIGN GROUP
(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

THIS DOCUMENT IS ISSUED
FOR INTERIM REVIEW AND IS
NOT TO BE USED FOR
CONSTRUCTION, BIDDING, OR
PERMITTING PURPOSES.

MARY N. BATES
TEXAS L.A. #3613

ISSUED ON:
NOVEMBER 9, 2023

Skorburg Company
88214 Westchester Drive, Suite 900
Dallas, Texas 75225

ed Name **OAK RIDGE PARK**
City of Corinth, Denton County, TX

EXHIBIT D.2 -
30' COTTAGE
LOTS LANDSCAPE
PLAN

Date		Comment

Project Number

Date	11/09/2023
------	------------

Drawn By MNE

Checked By	MB/RM

150

LP-2

CASE NO. ZAPD23-0003

OF

OK RIDGE PARK

LOTS 1-31, BLOCK A
LOTS 1-10, BLOCK B
LOTS 1-11, BLOCK C
LOTS 1-51, BLOCK D
LOTS 1-6, BLOCK E
LOTS 1-30, BLOCK F
LOTS 1-117, BLOCK G
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TOTAL LOTS 310

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TOTAL PROPOSED NET OPEN SPACE LOTS 7
TOTAL GROSS ACRES 56.129
TOTAL NET ACRES 42.579

OUT OF THE
SURVEY

BROOKS BEALL ABSTRACT NO. 58
IN THE

CITY OF CORINTH
DENTON COUNTY, TEXAS
OWNERS

JOHN F. BAUM
2300 LAKE SHARON DRIVE
CORINTH, TEXAS 76010

DONALD CADENHEIMER II
2600 LAKE SHARON DRIVE
CORINTH, TEXAS 76010


DEVELOPER

SKORBURG COMPANY, INC.
8214 WESTCHERRY DRIVE, STE 600
DALLAS, TEXAS 75224
214-522-4945

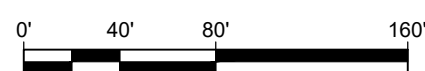
PREPARED BY

EVERGREEN GROUP
15455 DALLAS PKWY, STE 600
ADDISON, TX 75001
(800) 980-6630

NOVEMBER 2023 SCALE 1"=20'



NORTH



Scale 1" = 80'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.



EVERGREEN
DESIGN GROUP

(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

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MARY N. BATES
TEXAS L.A. #3613

ISSUED ON:
NOVEMBER 9, 2023

Owner

Skorburg Company
8214 Westchester Drive, Suite 900
Dallas, Texas 75225

Project Name

OAK RIDGE PARK
City of Corinth, Denton County, TX

**EXHIBIT D.3 -
FENCING EXHIBIT**

Date	Comment

Project Number	
Date	11/09/2023
Drawn By	MNB
Checked By	MB/RM

LP-3

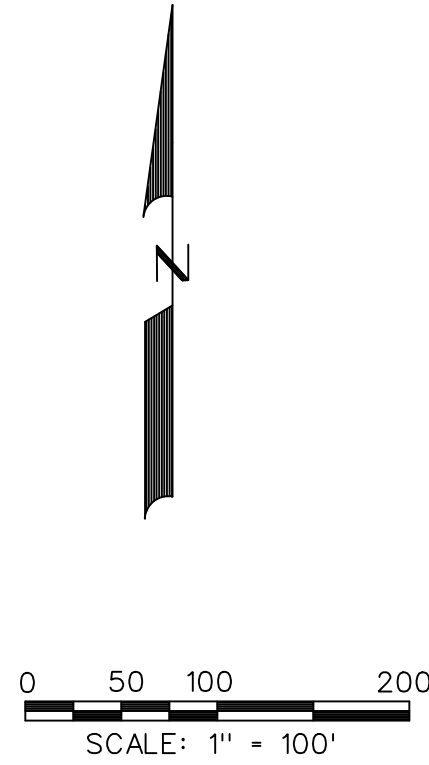


CASE NO. ZAPD23-0003

OF

OAK RIDGE PARK

LOTS 1-31, BLOCK A
LOTS 1-10, BLOCK B
LOTS 1-11, BLOCK C
LOTS 1-51, BLOCK D
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OUT OF THE
BROOKS BEALL SURVEY, ABSTRACT NO. 58
IN THE
CITY OF CORINTH
DENTON COUNTY, TEXAS
OWNERS
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2300 LAKE SHARON DRIVE
CORINTH, TEXAS 76210
DONALD CADENHEAD II
2600 LAKE SHARON DRIVE
CORINTH, TEXAS 76210
DEVELOPER
SKORBURG COMPANY, INC.
8214 WESTCHESTER DR., STE. 900
DALLAS, TEXAS 75225
214-522-4945
PREPARED BY
EVERGREEN DESIGN GROUP
15455 DALLAS PKWY., STE. 600
ADDISON, TX 75001
(800) 680-6630
NOVEMBER 2023 SCALE: 1"=80'



CASE NO. ZAPD23-0003
EXHIBIT 'E'
Existing Tree Coverage
Or
OAK RIDGE PARK
LOTS 1-31, BLOCK A
LOTS 1-10, BLOCK B
LOTS 1-11, BLOCK C
LOTS 1-51, BLOCK D
LOTS 1-6, BLOCK E
LOTS 1-30, BLOCK F
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TOTAL NET ACRES 42.885

OUT OF THE
BROOKS BEALL SURVEY, ABSTRACT NO. 58
IN THE

CITY OF CORINTH
DENTON COUNTY, TEXAS

OWNERS
JOHN F. BAUM
2300 LAKE SHARON DRIVE
CORINTH, TEXAS 76210
DONALD CADENHEAD II
2600 LAKE SHARON DRIVE
CORINTH, TEXAS 76210

DEVELOPER
SKORBURG COMPANY, INC.
8214 WESTCHESTER DR., STE. 900
DALLAS, TEXAS 75225
214-522-4945

PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

EXHIBIT “F”
OAK RIDGE PARK
CASE NO. ZAPD23-0003
REPRESENTATIVE PRODUCT

Representative Product – Cottage Homes



Representative Product – Cottage Homes



Representative Product – Patio Homes



Representative Product – Patio Homes



Representative Product – Traditional Homes



Representative Product – Traditional Homes



EXHIBIT “G”
OAK RIDGE PARK
CASE NO. ZAPD23-0003
REPRESENTATIVE PLAYGROUND PHOTOS

Representative Playground Photos



Section E, Item 5.



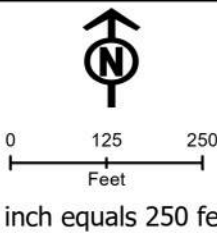


ATTACHMENT 2:
200 FT ZONING BUFFER MAP AND CORRESPONDENCE
FROM PROPERTY OWNERS WITHIN 200' OF THE
SUBJECT PROPERTY

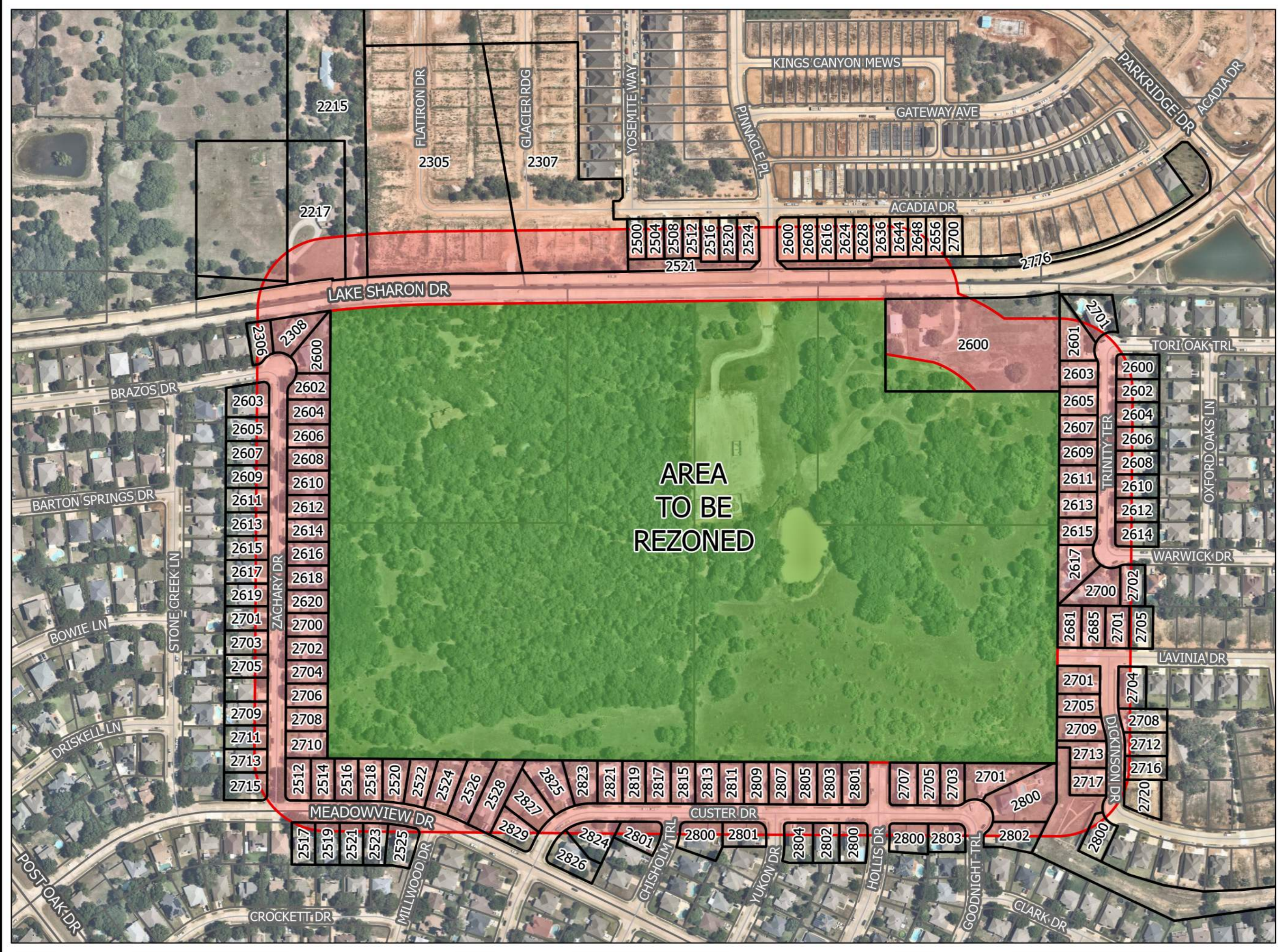
Proposed Zoning Change

Oak Ridge Park PD
(ZAPD23-0003)

- Area to be Rezoned
- Properties within 200 ft of area proposed to be rezoned from SF-4 Single Family and C-1 Commercial to a Planned Development (PD) with a base zoning district of SF-4 Single Family



This map is the property of the City of Corinth, and is not to be reproduced by any means, mechanical or digital, without written consent of the City. This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of p boundaries.





Planning and Zoning Commission Meeting
Date: **MONDAY, October 23, 2023, at 6:30 P.M.**

RECEIVED
OCT 12 2023
Section E, Item 5.

City Council Regular Meeting
Date: **THURSDAY, November 16, 2023, at 6:30 P.M.** * (see below for additional information)

BY:

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208. The meetings will be broadcast live at <https://www.cityofcorinth.com/remotesession>.

PUBLIC HEARING NOTICE

Dear Property Owner:

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- A rezoning request by the Applicant, Skorburg Company, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code of the City, from SF-4 Single Family Residential and C-1 Commercial to a Planned Development with a base zoning district of SF-4 Single Family Residential, for the development of a residential subdivision on approximately ±57 acres generally south of Lake Sharon Drive, north of Hollis Drive and Custer Drive, east of the Fairview West subdivision, and west Lavina Drive and Trinity Terrace. (Case No. ZAPD23-0003 – Oak Ridge Park)

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As a property owner within two hundred (200) feet of this property, you are invited to attend this meeting in-person and voice your opinion at the public hearing (please note you are not required to attend).

Additionally, your opinion regarding the request on the property described above may be expressed by notation on this form or by letter. You may support or oppose this request; your opposition will be considered a protest. Signed written comments must be received by the City of Corinth Development Services Department at 3300 Corinth Parkway, Corinth, Texas 76208 (3 days prior to public hearing). Signed comments may be scanned and sent by email to Michelle Mixell, Planning Manager, at planning@cityofcorinth.com. Additionally, if you have any questions regarding this request, you may call 940-498-3262 for assistance.

I am writing in (Check as applicable) Support: ☒ Opposition: ☐ of the proposal.

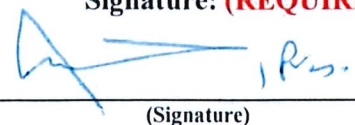
Name/Address/City: **(REQUIRED)**

SUMEER HOMES
2404 TEXAS DR #103
IRVING, TX 75062

(Please Print)

Lots of homes in
Amherst Addition

Signature: **(REQUIRED)**


(Signature)



Planning and Zoning Commission Meeting
Date: **MONDAY, October 23, 2023, at 6:30 P.M.**

Section E, Item 5.

City Council Regular Meeting
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I am writing in (Check as applicable) Support: ☐ Opposition: ☒ of the proposal.

I oppose this development

Name/Address/City: **(REQUIRED)**

ELISA MILLER, 2514 Meadowview Dr
Corinth TX 76208
(Please Print)

Signature: **(REQUIRED)**

Elisa Miller
(Signature)



Planning and Zoning Commission Meeting
Date: **MONDAY, October 23, 2023, at 6:30 P.M.**

Received 10-16-23

City Council Regular Meeting
Date: **THURSDAY, November 16, 2023, at 6:30 P.M.** * (see below for additional information)

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I am writing in (Check as applicable) Support: _____ Opposition: ☒ of the proposal.

Name/Address/City: **(REQUIRED)**

MB Harper
2602 Zachary Drive, Corinth, TX 76210

(Please Print)

Signature: **(REQUIRED)**

MB Harper
(Signature)



Planning and Zoning Commission Meeting
Date: **MONDAY, October 23, 2023, at 6:30 P.M.**

Section E, Item 5.
OCT 18 2023

City Council Regular Meeting
Date: **THURSDAY, November 16, 2023, at 6:30 P.M.** * (see below for additional information)

BY:

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I am writing in (Check as applicable) Support: _____ Opposition: ☒ of the proposal.

Should remain greenspace for environmental enrichment.
If it is to be rezoned + developed, I would ask the development company to leave a greenspace area between us existing homes + new development. Do not just bulldoze, save trees + plant more.

Name/Address/City: **(REQUIRED)**

Signature: **(REQUIRED)**

Emily McComas, 2706 Zachary Dr., Corinth
(Please Print)

Emily McComas
(Signature)

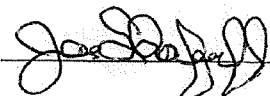
Michelle Mixell

Planning Manager

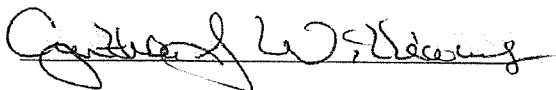
RE: Case No ZAPD23-0003 – Oak Ridge Park

Development of +- 57 acres

This letter is to inform you that we (Joe Shackelford & Cynthia Williams [husband & wife] are **VEHEMENTALLY OPPOSED** to the above referenced residential development. This is a totally unrealistic, unreasonable and impractical development. The character of this developer is obvious by the fact that he waited until the last minute to mail out his presentation. Not only is this developer sly and scheming but for him to put a plan together like this leads one to believe he has been getting advice from within the City, which in turn leads one to believe that someone is looking out for their own purposes of greed and not for the best interest of our community. Why do I think this? Because his presentation addresses everything the City is concerned about, i.e. the tree ordinance, green space the City wouldn't have to pay to maintain, a fix for the traffic on Hollis, preventing future rental increases, etc., etc. Yet no single family housing. Not only will this developer rape the earth by taking out the trees but will be displacing all the wildlife, and where are they to go...in your backyard and then you will be complaining about that. Our community does not need this kind of density, the zero lot lines are a disaster waiting to happen, i.e., if one house catches fire then chances are so will the neighboring homes. We would be agreeable to single family homes with comparable lot lines. Not to mention we don't have the infrastructure to support this kind of density: stress on our electric grid, water supply, fire/police departments, schools, sewer, trash pickup. ERCOT continually requests we conserve electricity, we are continually asked to conserve water. Also, we have yet to see how the drainage will work out once the north side of the Lake Sharon development is complete. The community behind it has been put in a flood zone. The City does NOT have the community's best interest at heart, all the above should be updated first. Maybe the leaders of our City just do not have the skill sets and common sense to comprehend how they are ruining our City by allowing these kinds of developments for goodness sake! The zoning change requests taking place in our City is out of control and needs to stop immediately!


Joseph A Shackelford

2803 Custer Dr., Corinth, Tx 76210


Cynthia J Williams

2803 Custer Dr., Corinth, Tx 76210

RECEIVED
OCT 13 2023

BY:



Another Letter of Concern from an Impacted Citizen

Dear Members of the City Council, Staff and all others involved,

I write this letter to express my strong opposition to the proposed high density and multifamily developments within our community. As a concerned resident, I believe this development and developments like this, will have negative impacts on our city's social fabric, infrastructure, and quality of life. I urge you to carefully consider the following points and statistics before making any decisions that could irreversibly alter the character of our community.

1. **Strain on Infrastructure:** High density and multifamily developments often result in increased demands on infrastructure, including transportation networks, water supply, sewage systems, and public facilities. The current infrastructure might already be overburdened and ill-equipped to handle such a sudden surge in population.
2. **Loss of Community:** Our community thrives on its sense of character, belonging, and neighborly interactions fostered by low-density housing.
3. **Schools and Education:** The impact of high density and multifamily developments on educational institutions must be carefully evaluated. A sudden increase in population could put additional strain on existing schools, compromising the quality of education offered to our children.
4. **Traffic Concerns:** Our community already experiences heavy traffic during peak hours, and the addition of this project will exacerbate this problem. The existing roads and infrastructure may not be able to handle the additional traffic, leading to longer commute times, increased accidents, and a negative impact on the overall quality of life for residents.
5. **Crime and Safety:** While it is not fair to associate high density and multifamily developments directly with crime rates, research suggests that certain types of high-density housing can lead to increased crime. Also, the additional density puts additional strain on Fire, Police, and Emergency Medical Services.

I implore you to thoroughly evaluate these concerns and engage in community discussions before making any decisions regarding high density and multifamily developments. Certainly there is a way for a balance between city growth and preserving the unique qualities that make our community a desirable place to live.

Thank you for your attention to this matter, and in the interests of the community.

Respectfully,

Name: CYNTHIA J WILLIAMS Date: 10-18-2023

Street Address: 2803 CUSTER DR, CORINTH, TX 76210

RECEIVED
OCT 18 2023

BY:



Another Letter of Concern from an Impacted Citizen

Dear Members of the City Council, Staff and all others involved,

I write this letter to express my strong opposition to the proposed high density and multifamily developments within our community. As a concerned resident, I believe this development and developments like this, will have negative impacts on our city's social fabric, infrastructure, and quality of life. I urge you to carefully consider the following points and statistics before making any decisions that could irreversibly alter the character of our community.

1. **Strain on Infrastructure:** High density and multifamily developments often result in increased demands on infrastructure, including transportation networks, water supply, sewage systems, and public facilities. The current infrastructure might already be overburdened and ill-equipped to handle such a sudden surge in population.
2. **Loss of Community:** Our community thrives on its sense of character, belonging, and neighborly interactions fostered by low-density housing.
3. **Schools and Education:** The impact of high density and multifamily developments on educational institutions must be carefully evaluated. A sudden increase in population could put additional strain on existing schools, compromising the quality of education offered to our children.
4. **Traffic Concerns:** Our community already experiences heavy traffic during peak hours, and the addition of this project will exacerbate this problem. The existing roads and infrastructure may not be able to handle the additional traffic, leading to longer commute times, increased accidents, and a negative impact on the overall quality of life for residents.
5. **Crime and Safety:** While it is not fair to associate high density and multifamily developments directly with crime rates, research suggests that certain types of high-density housing can lead to increased crime. Also, the additional density puts additional strain on Fire, Police, and Emergency Medical Services.

I implore you to thoroughly evaluate these concerns and engage in community discussions before making any decisions regarding high density and multifamily developments. Certainly there is a way for a balance between city growth and preserving the unique qualities that make our community a desirable place to live.

Thank you for your attention to this matter, and in the interests of the community.

Respectfully,

Name: JOSEPH SACKELFORE

Date: 10-18-2023

Street Address: 2803 COSTER DR, CORINTH, TX 76210

RECEIVED
OCT 18 2023

BY:

ATTACHMENT 3:

APPLICANT

NEIGHBORHOOD MEETINGS SUMMARY

Skorburg Company
8214 Westchester, Ste 900
Dallas, TX 75224
Phone: 214/522-4945
Fax: 214/522-7244

November 9, 2023

Planning & Development
City of Corinth TX
3300 Corinth Parkway
Corinth, TX 76208

To Whom It May Concern:

On October 10, 2023, we conducted a neighborhood meeting with the surrounding neighbors at Corinth City Hall. Approximately 12 adjacent neighbors attended. Unfortunately, due to the Columbus Day Holiday on October 9th, the United States Post Office was closed, and neighbors did not receive the neighborhood meeting invitations until October 10th, the day of the meeting. Once we found out about this, we immediately scheduled another neighborhood meeting for the following week to give us the opportunity to discuss our proposed development plan with more neighbors who wanted to attend the neighborhood meeting. On October 18, 2023, we conducted a 2nd neighborhood meeting with the surrounding neighbors at Corinth City Hall. Approximately 10 of the adjacent neighbors attended.

The two neighborhood meetings gave us an opportunity to present and discuss our proposed development plan for the property. Neighbors who attended appreciated us reaching out to them and willingness to hear their feedback in the setting of an informal neighborhood meeting. The topics discussed were density, the Hollis Dr. connection to Lake Sharon Dr., parking, and the HOA. Below is a summary of the discussions on each topic.

Density

We informed the neighbors that our original plan incorporated townhomes along with the detached traditional single-family homes and patio homes, however based on the direction we received from the P&Z commission during our 1st P&Z work session; we removed all the townhomes and replaced them with detached cottage lots, similar to the Ashford Park product currently being built directly across the street. Additionally, we informed the neighbors that we have strategically matched the same lot size directly adjacent to their existing lot boundary, which provides an organic transition between their neighborhood, the proposed Oak Ridge Park subdivision, and Ashford Park. There were some additional comments from neighbors that they would like to see some more of the traditional single-family homes, which our revised development plan now incorporates. The development plan we originally presented to the neighbors consisted of 318 total lots – 180 Cottage lots, 97 Patio lots, and 41 Traditional lots.

Our revised development plan now consists of 310 total lots – 170 Cottage lots, 86 Patio lots, and 54 Traditional lots. Additionally, with this change our density lowered from 5.6 UPA to 5.5 UPA which matches the density of Ashford Park across the street.

Hollis Dr. connection and traffic to Lake Sharon Dr.

Another concern raised by the neighbors was that the connection to the existing Hollis Dr. could lead to a traffic cut-through to Lake Sharon Dr. We informed the residents that the current thoroughfare plan does contemplate a 60’ ROW connection from Lake Sharon to Hollis Dr. running straight through the subject property, (that would lead to a direct cut-through to Lake Sharon Dr). However, we informed them that along with this plan we have submitted a Thoroughfare Amendment to reduce the 60’ ROW to a 50’ ROW and provided traffic calming measures along an indirect route to help reduce/mitigate cut through traffic.

Parking

There were some questions that came up regarding the park/playground area and who would be able to use it. We shared that the park/playground would be owned and maintained by the HOA but is intended to be a park/playground for all Corinth residents. We also showed them know we are providing trails for surrounding residents to walk to the park/playground. The majority of neighbors said that they would still like to see parking for residents outside of Oak Ridge Park for additional convenience. The new development plan provides an additional parking area, which also incorporates two handicap parking spaces in the closest proximity to the playground.

The HOA

The neighbors expressed concerns about the Cottage lot homes turning into a rental community. We informed them that this is not our intention and furthermore to mitigate this concern we will place restrictions within the HOA CCR’s that restricts a person and/or entity from purchasing more than 2 lots, therefore a rental company will not have the ability come in and buy all the lots under 1 entity.

We are thankful for all the residents who took the time to attend our meetings and we look forward to another opportunity to serve as a good neighbor to the existing Corinth residents.

Sincerely,


John Arnold
Development Partner



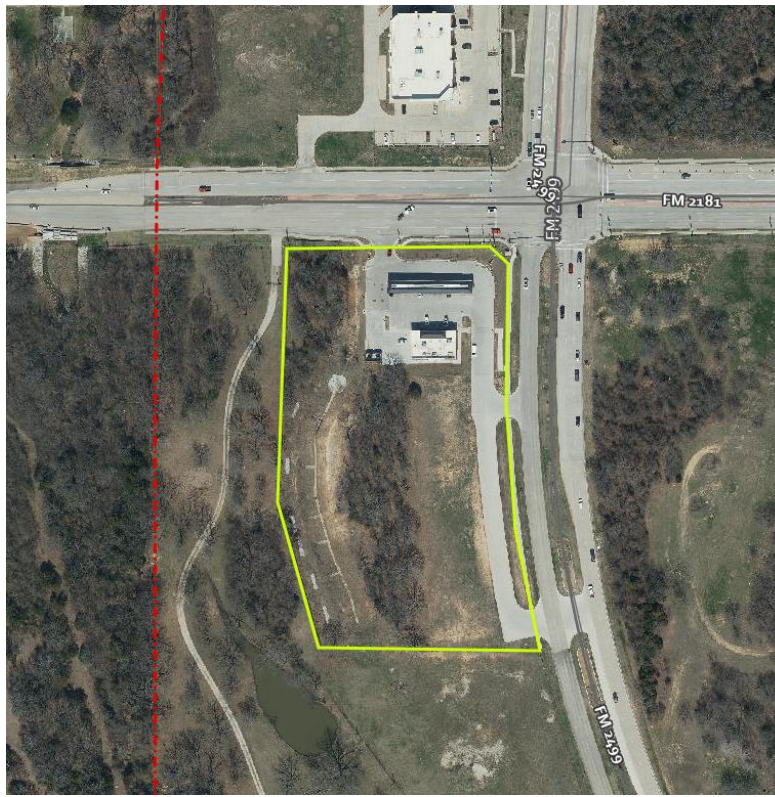
CITY OF CORINTH

Staff Report

Meeting Date:	11/13/2023	Title:	Planned Development Amendment: PD-55 Corinth Corners (ZAPD23-0005)
Strategic Goals:	<input checked="" type="checkbox"/> Resident Engagement <input type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development		

Item/Caption

Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a rezoning request by the Applicant, Chris Boening, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code of the City, by amending Planned Development No. 55 (PD-55) for the purpose of modifying land use regulations, increasing the number of lots, and updating associated exhibits on approximately ±5.4 acres located the southwest corner of FM 2499 and FM 2181. (Case No. ZAPD23-0005 – Corinth Corners)



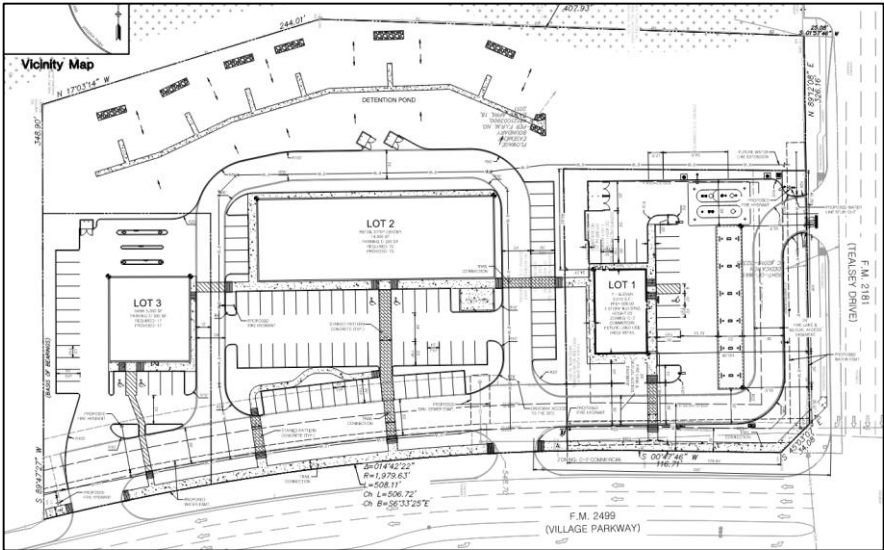
Aerial Location Map

Item Summary/Background/Prior Action

The purpose of this Planned Development (PD) Amendment request is to amend the existing Planned Development No. 55 (7Eleven) by altering the number, size, and configuration of buildable lots for development, to add land uses permitted by right (restaurants with drive-through service with seating and restaurants with drive-through service only), and to update associated regulations and exhibits to accommodate the proposed development of the new lots. In addition, this proposed

Planned Development Amendment will rename the Planned Development to “Corinth Corners”. The existing base zoning of C-2 Commercial shall remain in effect.

The subject property is bounded on the west and south by undeveloped land zoned C-2 Commercial; to the east by FM 2499; and to the north by FM 2181. The site was initially zoned in 2018 as a three (3) lot development – see original (2018) PD-55 concept plan, below – though is currently platted as a two (2) lot subdivision. Lot 1 is currently developed as a 7Eleven service station while the balance of the property (Lots 2 and 3) remains undeveloped. Lot 2 was originally intended to be developed as a retail strip center, and Lot 3 as a bank.

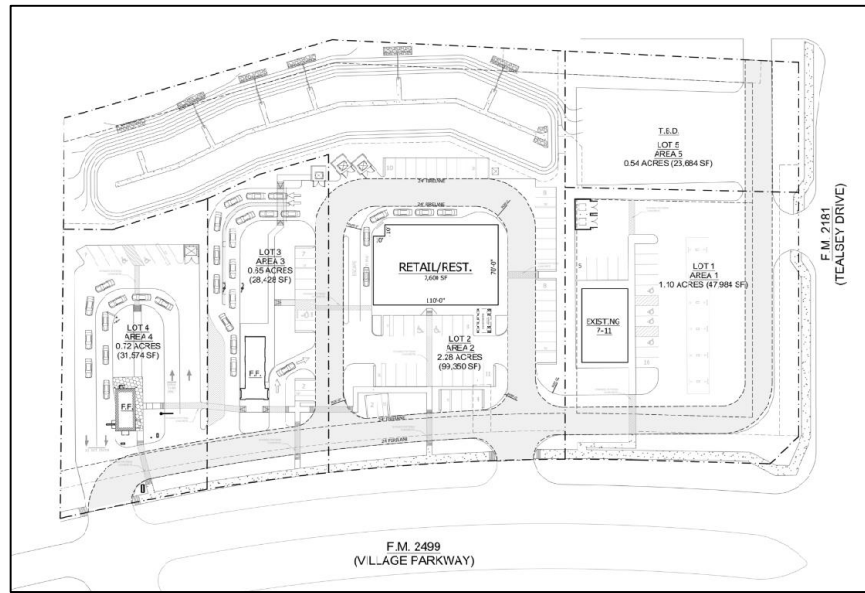


Original (2018) PD-55 Concept Plan

The Applicant now desires to amend the original 2018 PD Concept Plan to create a five (5) lot development. Lot 1, where the 7Eleven is located, will remain as is. The subdivision would be replatted to create the new lots should this request be approved. The proposed Lot 2R proposes a smaller retail strip center with space for a drive-through restaurant. On Lots 3 and 4, the Applicant is proposing drive-through-only restaurants with no interior or exterior seating (Salad and Go on Lot 3 and Scooter’s Coffee on Lot 4). Lot 5, a new lot, does not have a proposed tenant though the PD Amendment request includes the possibility of developing a restaurant with drive-through with or without seating areas.

This proposed Planned Development Amendment provides an opportunity to update, streamline, and restructure the structure the existing Planned Development ordinance to facilitate future administration of the Planned Development as this site develops and/or redevelops. Additionally, the proposed amended Planned Development will ensure that the approved Site Plan for 7Eleven, which was part of the original 2018 Planned Development ordinance, remains in effect.

Below is an excerpt from the proposed new amended PD-55 Concept Plan:



Proposed New PD-55 Concept Plan

The proposed Land Use Regulations attached to this request (Exhibit C – Land Use Regulations) have been amended to accommodate the proposed new lot configuration and new uses. The following is the summary of departures being requested by the Applicant:

Summary of UDC Departures

Land Use Regulation	Base Zoning C-2 Commercial	Existing 2018 PD-55	Proposed Amended PD-55	Notes
Subsection 2.07.03 - Use Chart: Restaurant with Drive-Through Service	Permitted by Specific Use Permit	Same as Base Zoning	Permitted by right (no Specific Use Permit required)	Lots 2R and 5 only
Subsection 2.07.03 - Use Chart: Restaurant with Drive-Through Service Only	Unlisted Use (Not permitted in any zoning district)	Unlisted Use	Permitted by right (no Specific Use Permit required)	Lots 3, 4, and 5
Subsection 2.08.05- Dimensional Regulations: Minimum Lot Area (Lots 3 and 4)	30,000 sq. ft.	Base Zoning	25,000 sq. ft.	Lots 3 and 4 only
Subsection 2.08.05- Dimensional Regulations: Minimum Lot Area (Lot 5)	30,000 sq. ft.	Base Zoning	22,000 sq. ft.	Lot 5 only
Subsection 2.08.05 - Dimensional Regulations: Minimum Lot Width	120'	Base Zoning	100'	Lots 3, 4, and 5
Subsection 2.09.03 - Vehicle Parking Regulations: Restaurant with Drive-Through Service Only	Unlisted	Unlisted	1 space per 150 sq. ft. of floor area	Lots 3, 4, and 5
Subsection 2.09.03 - Vehicle Parking Regulations: Restaurant with Drive-Through Service	1 space for every 3 seats under maximum seating arrangements, minimum of 5 spaces	Base Zoning	1 space per 150 sq. ft. of floor area	Lots 2 and 5 only

Subsection 2.09.03 - Vehicle Parking Regulations: Restaurant with Drive-Through Service	1 space for every 3 seats under maximum seating arrangements, minimum of 5 spaces	Base Zoning	1 space per 150 sq. ft. of floor area	Lots 2 and 5 only
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The Traffic Impact Analysis Worksheet provided by the Applicant documents the need for a full Traffic Impact Analysis, which per the Applicant, is in the process of being completed and would be submitted with the initial Replat subdividing existing Lot 2 into Lots 2R-5. The Traffic Impact Analysis will be evaluated by the City Engineer at that time. Per the proposed PD Land Use Regulations, the Property Owner/Developer shall be responsible for the construction of any and all improvements as recommended in the Traffic Impact Analysis, if required by the City Engineer. These improvements, if required, shall be completed and installed prior to the issuance of the first certificate of occupancy for any new development within Areas (Proposed Lots) 2, 3, 4, or 5 of this Planned Development.

Compliance with the Comprehensive Plan

The 2040 Comprehensive Plan’s Land Use and Development Strategy designates the property as “Corridor Commercial” This Place Type envisions a range of local-serving retail, restaurants, and personal services, among other uses, with a focus on aesthetic improvements along the arterial corridor with shared-access driveways, landscaping, and screening of parking along the roadway. Additionally, this Place Type encourages the activation of a secondary sidewalk along the storefronts with active commercial uses, tress, or awnings for shade and wide sidewalks for outdoor cafes. As designed, the project meets the intent of the Place Type by providing sidewalk connectivity throughout the site, space for outdoor dining as part of the retail building on the proposed Lot 2R, and landscaping throughout the site.

Additionally, the project is located within the FM 2181 West Strategic Focus Area, which provides more site-specific recommendations for development based on existing conditions and the locational context of these focus areas. Under both recommended development scenarios, this Strategic Focus Area explores a traditional development model based on existing development patterns of auto-oriented, single use retail pads for this specific site, as shown below:



Scenario 1B

FM 2181 WEST



Scenario 2B

Based on the above, the proposed Planned Development Amendment request is in compliance with the Comprehensive Plan as required by Section 211.004 of the Texas Local Government Code.

Public Notice

- Notice of the public hearing was provided in accordance with the City Ordinance and State Law by,
- Publication in the Denton Record-Chronicle.
 - Written public notices were mailed to the owners of all properties located within 200 feet of the subject property.
 - The Applicant posted “Notice of Zoning Change” signs on FM 2181 and FM 2499
 - The Public Hearing notice was posted on the City’s Website.

Letters of Support/Protest

As of the date of this report, the City has received no letters of support and no letters of opposition of this request.

Applicable Policy/Ordinance

- Unified Development Code
- Texas Local Government Code

Staff Recommendation

Staff Recommends approval of the Planned Development Amendment request as presented.

Motion

“I move to recommend approval of Case No. ZAPD23-0005 – Corinth Corners, as presented.”

Alternative Action by the Planning and Zoning Commission

The Planning and Zoning Commission may add additional conditions to the motion or move to recommend denial of the application.

Attachments

Attachment 1 – PD Design Statement (provided by the Applicant)

- **Exhibit A – Legal Descriptions**
- **Exhibit B – PD Design Statement**
- **Exhibit C – Land Use Regulations**
- **Exhibit D – Concept Plan**
- **Exhibit E – Conceptual Landscape Plan**
- **Exhibit F – Approved 7Eleven Site Plan**
- **Exhibit G – Elevations**
- **Exhibit H – Tree Survey**
- **Exhibit I – Traffic Impact Analysis Worksheet**
- **Exhibit J – Existing Site Conditions with Overlay**

Attachment 2 – Zoning Buffer Map

Attachment 3 – Existing 2018 Planned Development No. 55 (7Eleven)

EXHIBIT “A” – LEGAL DESCRIPTIONS

AREA 1 – EXISTING LOT 1

BEING a tract of land situated in the JASPER C. BAKER SURVEY, ABSTRACT NO. 48, in the City of Corinth, Denton County, Texas, and being a portion of a tract of land described in deed (Tract 2), to Corinth Retail 2499, LLC as recorded in County Clerk’s Instrument No. 2011 – 13482, Official Public Records, Denton County, Texas, and being more particularly described as follows:

BEGINNING at a ½-inch iron rod with plastic cap stamped “W.A.I.” found for corner on the Southerly end of a corner clip at the intersection of the South right-of-way of Teasley Drive (Farm-to-Market 2181), a variable width right-of-way as established by deed to the State of Texas as recorded in County Clerk’s Instrument No. 2010-32325, Official Public Records, Denton County, Texas, with the West right-of-way of Village Parkway (Farm-to-Market 2499), a 140-foot right-of-way established by deed to Denton County as recorded in County Clerk’s Instrument No. 2005-99456, Official Public Records, Denton County, Texas;

THENCE South 00 deg 47 min 46 sec West, along the Westerly right-of-way line of said F.M. 2499, a distance of 116.76 feet to a ½-inch iron rod with red plastic cap stamped “W.A.I.” found for corner, said iron rod being the beginning of a curve to the left with a radius of 1979.63 feet, a central angle of 01 deg 49 min 12 sec, a chord bearing of South 00 deg 06 min 48 sec East, and a chord length of 62.88;

THENCE along said curve to the left an arc distance of 62.88 feet to a ½-inch iron rod with red plastic cap stamped “W.A.I.” found for corner;

THENCE South 89 deg 12 min 08 sec West, departing the Westerly right-of-way line of said F.M. 2499 and over and across said Corinth Retail 2499, LLC tract, a distance of 236.95 feet to a ½-inch iron rod with red plastic cap stamped “W.A.I.” found for corner;

THENCE North 00 deg 25 min 58 sec East, continuing over and across said Corinth Retail 2499, LLC tract, a distance of 204.04 feet to a ½-inch iron rod with red plastic cap stamped “W.A.I.” found for corner, said iron rod being situated on the Southerly right-of-way line of said F.M. 2181;

THENCE North 89 deg 12 min 08 sec East, along the Southerly right-of-way line of said F.M. 2181, a distance of 212.78 feet to a ½-inch iron rod found for corner, said iron rod being the Northwestern corner of said corner clip;

THENCE South 45 deg 03 min 07 sec East, along said corner clip, a distance of 34.08 feet to the POINT OF BEGINNING;

CONTAINING within these metes and bounds 1.102 acres or 47,988 square feet of land, more or less. Bearings shown hereon are based upon an on-the-ground Survey performed in the field on the 17th day of November, 2011, utilizing a G.P.S. measurement (WGS 84) of North 87 deg 11 min 19 sec East (deed-North 87 deg 22 min 15 sec East), along the South right-of-way of Teasley Drive as recorded in County Clerk’s Instrument No. 2011-13482, Official Public Records, Denton County Texas.

AREA 2 – EXISTING LOT 2 (TO BE SUBSEQUENTLY SUBDIVIDED INTO LOTS 2R, 3, 4 AND 5)

BEING a tract of land situated in the JASPER C. BAKER SURVEY, ABSTRACT NO. 48, in the city of Corinth, Denton County, Texas, and being a portion of a tract of land described in deed (Tract 2), to Corinth Retail 2499, LLC as recorded in County Clerk's Instrument No. 2011- 13482, Official Public Records, Denton County, Texas, and being more particularly described as follows:

COMMENCING at a 1/2-inch iron rod with red plastic cap stamped "W.A.I." found for corner on the Southerly end of a corner clip at the intersection of the South right-of-way of Teasley Drive (Farm-to-Market 2181), a variable width right-of-way as established by deed to the State of Texas as recorded in County Clerk's Instrument No. 2010-32325, Official Public Records, Denton County, Texas, with the West right-of-way of Village Parkway (Farm-to-Market 2499), a 140-foot right-of-way established by deed to Denton County as recorded in County Clerk's Instrument No. 2005-99456, Official Public Records, Denton County, Texas;

THENCE South 00 deg 47 min 46 sec West, along the Westerly right-of-way line of said Village Parkway, a distance of 116.76 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I." found for corner, said iron rod being the beginning of a curve to the left having a radius of 1979.63 feet, a central angle of 1 deg 49 min 12 sec, a chord bearing of South 00 deg 06 min 48 sec East, and a chord length of 62.88;

Along said curve to the left an arc distance of 62.88 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I." found for corner, said iron rod being the POINT OF BEGINNING, said iron rod also being the beginning of a curve to the left with a radius of 1979.63 feet, a central angle of 12 deg 53 min 11 sec, a chord bearing of South 07 deg 28 min 00 sec East, and a chord length of 444.31 feet;

THENCE continuing along said curve to the left an arc distance of 445.24 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I." found for corner;

THENCE South 89 deg 47 min 27 sec West, departing the Westerly right-of-way line of said F.M. 2499 along the Southerly line of said Corinth Retail 2499, LLC tract and along a Northerly line of a tract of land belonging to DSM Partners I, LTD, as recorded in County Clerk's Instrument No. 01-56371, a distance of 348.90 feet to a 1/2-inch iron rod with cap stamped "McCullah" found for corner;

THENCE departing the Southerly line of said Corinth Retail 2499, LLC tract along the Westerly line of said Corinth Retail 2499, LLC tract and an Easterly line of said DSM Partners I, LTD tract the following courses and distances:

North 17 deg 03 min 14 sec West, a distance of 244.01 feet to a metal post found for corner;

North 01 deg 57 min 46 sec East, a distance of 407.93 feet to 1/2-inch iron rod with red plastic cap stamped "W.A.I." found for corner, said iron rod being the Northwest corner of said Corinth Retail 2499, LLC tract and being situated on the Southerly right-of-way line of said F.M. 2181;

THENCE North 89 deg 12 min 08 sec East, along the southerly right-of-way line of said F.M. 2181, a distance of 113.37 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I." found for corner;

THENCE South 00 deg 25 min 58 sec West, departing the Southerly line of said F.M. 2181 and over and across said Corinth Retail 2499, LLC tract a distance of 204.04 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I." found for corner;

THENCE North 89 deg 12 min 08 sec East, continuing along over and across said Corinth Retail 2499, LLC a distance of 236.95 feet to the POINT OF BEGINNING;

CONTAINING within these metes and bounds 4.197 acres or 182,829 square feet of land, more or less. Bearings shown hereon are based upon an on-the-ground Survey performed in the field on the 17th day of November, 2011, utilizing a G.P.S. measurement (WGS 84) of North 87 deg 11 min 19 sec East (deed-North 87 deg 22 min 15 sec East), along the South right-of-way of Teasley Drive as recorded in County Clerk's Instrument No. 2011-13482, Official Public Records, Denton County Texas.

Exhibit B – PD Design Statement

[REPLACES PD-55 EXHIBIT B – PD DESIGN STATEMENT]

PD-55 Planned Development Amendment Request

The purpose of this Planned Development Design Statement is to outline the proposed amendment to the existing PD-55. The PD-55 currently encompasses the 5.29-acre tract at the southwest corner of F.M. 2499 and F.M. 2181. This amendment aims to address the remaining 4.2 acres, which is intended to include a mix of general retail and fast-food establishments, each of which would include a drive-through component. The design intends to create an inviting and functional space that promotes pedestrian access, efficient traffic flow, and a visually appealing environment.

Site Analysis: The 4.2-acre site is located at the entry to the city of Corinth and includes convenient access to major roads and a strong customer base. The surrounding area consists of a mix of residential and commercial developments, presenting an opportunity to create a vibrant and integrated community hub.

Design Objectives:

1. Functional Layout: The design will ensure an efficient arrangement of retail and fast-food pad sites, considering their unique requirements such as drive-through access, parking, and delivery logistics.
2. Pedestrian-Friendly Environment: The development will prioritize the safety and convenience of pedestrians by incorporating well-designed walkways, crosswalks, and amenities to encourage foot traffic.
3. Aesthetics and Landscaping: The design will incorporate visually appealing elements, such as attractive facades, landscaping, and outdoor seating areas, to create an inviting atmosphere.

Proposed Development Plan:

- General Retail/Restaurant Space (Lot-2):
A single building with a total floor area of 7,600 sq. ft. will be constructed to house a variety of retail tenants.
 - The design will incorporate large display windows, inviting entrances, and ample parking spaces to attract customers.
 - A drive-through facility will be integrated into the building, ensuring convenience for customers seeking quick access to retail services.
 - Outdoor patio areas will be integrated into the design, providing an inviting space for customers to relax and enjoy their meals.
- Fast Food Pad Sites (Lot-3, Lot-4 and Lot-5):
 - Three separate fast food pad sites will be developed, each with its own drive-through facility, to provide a diverse range of dining options.
 - The sites will be carefully located to optimize traffic flow and provide efficient access for both drive-through and walk-in customers.
 - Adequate parking spaces will be provided for each fast-food pad site to accommodate customers during peak hours.
- Landscaping:
 - Thoughtful landscaping, including trees, shrubs, and green spaces, will be incorporated throughout the site to enhance its visual appeal and create a pleasant environment.

- **Parking and Circulation:**
 - We are proposing a unified parking ratio of 1:150 on the Restaurant/Retail parcel (Lot-2)
 - Clear signage and well-defined traffic lanes will be implemented to guide vehicles safely through the site.
 - Pedestrian walkways will be strategically placed to ensure easy access to all retail and fast-food establishments.

Conclusion: This amendment to (4.2 acres) of PD-55 aims to create a vibrant and functional space that meets the needs of the community. By incorporating a mix of general retail, and drive-through facilities, the development will provide convenience, choice, and an enjoyable environment for customers.

EXHIBIT “C” – LAND USE REGULATIONS
[REPLACES EXISTING EXHIBIT “C” – LAND USE REGULATIONS]

SECTION 1: REGULATIONS

A. Purpose

The regulations set forth in this Exhibit provide development standards for Commercial designations within this Planned Development District. The Planned Development (PD) District is identified by metes and bounds on Exhibit A and is depicted on the Exhibit D – PD Concept Plan. Any use not authorized herein is expressly prohibited in this Planned Development (PD) District.

B. Base District

In this Planned Development (PD) District, the “C-2” Commercial District regulations of the Corinth Unified Development Code, Ordinance No. 13-05-02-8, as amended, shall apply except as altered herein. If a change to the Concept Plan is requested, the request shall be administered in accordance with the development standards in effect at the time the modification is requested for the proposed development.

SECTION 2: USES AND AREA REGULATIONS

A. Purpose

This district shall be intended to provide for the development of a unified commercial area featuring a variety of uses, including retail, restaurants, and a convenience store with fuel sales, as outlined in the five (5) areas below:

1. Area 1 (Existing Lot 1): Gasoline Filling Station (existing, no change – see Exhibit F – Approved 7-11 Site Plan)
2. Area 2 (Proposed Lot 2): Retail/Restaurant Building with attached drive-through.
3. Area 3 (Proposed Lot 3): Restaurant with Drive-Through Service Only – Salad and Go.
4. Area 4 (Proposed Lot 4): Restaurant with Drive-Through Service Only – Scooter’s Coffee
5. Area 5 (Proposed Lot 5): Restaurant with Drive-Through Service or Restaurant with Drive-Through Service Only – Tenant/User to be determined.

SECTION 2.1: AREA 1 (EXISTING LOT 1) – GASOLINE FILLING STATION (7-11)

A. Permitted Uses and Use Regulations

In the Planned Development (PD) District, no building or land shall be used, and no building shall be hereafter established, reconstructed, enlarged, or converted, unless permitted by the Commercial 2 (C-2) District regulations of the Unified Development Code, Ordinance No. 13-05-02-8, as amended, except as otherwise included in this PD ordinance.

B. Additional Uses Requiring Specific Use Permit

In addition to the other land uses requiring an SUP in the Commercial 2 (C-2) District, the following uses in the Commercial 2 (C-2) District as listed in Subsection 2.05.02 of the Unified Development Code, Ordinance No. 13-05-02-8, as amended, Ordinance No. 13-05-02-8, as amended, shall require an SUP:

1. Hotel
2. Motel, Motor Hotel, or Tourist Court

C. Prohibited Uses

The following uses in the Commercial 2 (C-2) District as listed in Subsection 2.05.02 of the Unified Development Code, Ordinance No. 13-05-02-8, as amended, Ordinance No. 13-05-02-8, as amended, shall be prohibited:

1. Ambulance Service
2. Automobile or Other Motorized Vehicle Sales and Service
3. Automobile Parts Store
4. Automobile Service Garage (Major)
5. Automobile Service Garage (Minor)
6. Car Wash, Full Service
7. Car Wash, Self Service
8. Exterminating Company
9. Feed Store
10. Gas or Oil Well Production
11. Institution for the Care of Alcoholic Psychiatric or Narcotic Patients
12. Commercial Laundry
13. Laundry, Self Service
14. Manufactured Home Sales
15. Taxi Garage, Dispatch

D. Dimensional Regulations

The Dimensional Regulations described in Section 2.05.02 of the Unified Development Code, Ordinance No. 13-05-02-8, as amended, Ordinance No. 13-05-02-8, as amended, for the Commercial 2 District shall apply.

E. Development Standards

The Development Standards described in Section 2.05.02 of the Unified Development Code, Ordinance No. 13-05-02-8, as amended, Ordinance No. 13-05-02-8, as amended, for the Commercial 2 (C-2) District, as amended shall apply except as follows:

1. UDC Section 2.07.04 Conditional Development Standards shall apply except:
 - a. Convenience store with fuel sales without Car Wash will not require a Specific Use Permit.

- b. No outside/outdoor vending machines, such as soda, video rental, or newspaper vending machines, are permitted.
 - c. Outdoor propane sales storage shall be allowed. Propane storage shall be on the west side of the building behind the front of the building and partially enclosed by three (3) parapet walls.
- 2. UDC Subsection 2.09.01 Landscape Regulations shall apply.
- 3. UDC Section 2.09.02 Tree Preservation Regulations shall apply.
- 4. UDC Section 2.09.03 Vehicle Parking Regulations shall apply except:
 - a. Parking agreements shall be required for Shared Parking.
- 5. UDC Section 2.09.04 Building Facade Material Standards shall apply, except:
 - a. Building materials (Lot 1 only) shall be as shown on the attached Architectural Building Elevations.
- 6. UDC Section 2.09.05 Residential Adjacency Standards shall apply.
- 7. UDC Section 2.09.06 Nonresidential Architectural Standards shall apply except:
 - a. The rear building façade shall be as shown on the attached Building Elevations.
- 8. UDC Section 2.09.07 Lighting and Glare Regulations shall apply.
- 9. UDC Section 4.01 Sign Regulations shall apply.
- 10. UDC Section 4.02 Fence and Screening Regulations shall apply.

F. Site Plan

The approved Site Plan and other plans attached to this Ordinance as Exhibit “F” – Approved 7-11 Site Plan, shall satisfy the Site Plan requirement listed in Section 2.10.08 B of the Unified Development Code, Ordinance No. 13-05-02-8, as amended, for Area 1 (Existing Lot 1) only.

SECTION 2.2: AREA 2 (PROPOSED LOT 2R)

A. Permitted Uses and Use Regulations

In the Planned Development (PD) District, no building or land shall be used, and no building shall be hereafter established, reconstructed, enlarged, or converted, unless permitted by the Commercial 2 (C-2) District regulations of the Unified Development Code, Ordinance No. 13-05-02-8, as amended, Ordinance No. 13-05-02-8, as amended, except as otherwise included in this PD ordinance.

Additionally, the following uses shall be permitted by right within Area 2 (Proposed Lot 2R):

- a. Restaurant with Drive-Through Service

B. Additional Uses Requiring Specific Use Permit

In addition to the other land uses requiring an SUP in the Commercial 2 (C-2) District, the following uses in the Commercial 2 (C-2) District as listed in Subsection 2.05.02 of the Unified Development Code, Ordinance No. 13-05-02-8, as amended, shall require an SUP:

- 1. Hotel
- 2. Motel, Motor Hotel, or Tourist Court

C. Prohibited Uses

The following uses in the Commercial 2 (C-2) District as listed in Subsection 2.05.02 of the Unified Development Code, Ordinance No. 13-05-02-8, as amended, shall be prohibited:

- 1. Ambulance Service
- 2. Automobile or Other Motorized Vehicle Sales and Service
- 3. Automobile Parts Store
- 4. Automobile Service Garage (Major)
- 5. Automobile Service Garage (Minor)
- 6. Car Wash, Full Service
- 7. Car Wash, Self Service
- 8. Exterminating Company
- 9. Feed Store
- 10. Gas or Oil Well Production
- 11. Institution for the Care of Alcoholic Psychiatric or Narcotic Patients
- 12. Commercial Laundry
- 13. Laundry, Self Service
- 14. Manufactured Home Sales
- 15. Taxi Garage, Dispatch

D. Dimensional Regulations

The Dimensional Regulations described in Section 2.05.02 of the Unified Development Code, Ordinance No. 13-05-02-8, as amended, for the Commercial 2 District shall apply.

E. Development Standards

The Development Standards described in Section 2.05.02 of the Unified Development Code, Ordinance No. 13-05-02-8, as amended, for the Commercial 2 (C-2) District, shall apply.

- 1. UDC Subsection 2.09.01 Landscape Regulations shall apply, with the provision that landscaping installed shall at a minimum be provided in accordance with the number, location, and types of planting material depicted on Exhibit E – Conceptual Landscape Plan.

2. UDC Section 2.09.02 Tree Preservation Regulations shall apply.
3. UDC Section 2.09.03 Vehicle Parking Regulations shall apply, except as modified in the table, below:

Table: Parking Requirements – Area 2 (Proposed Lot 2R)

Use	Base Regulation	Proposed Parking Standards/Modification
Retail, Personal or Business Service.	1 space for each 200 sq. ft. of floor area	1 space for each 150 sq. ft. of floor area
Restaurant	1 space for every 3 seats under maximum seating arrangements, minimum of 5 spaces	1 space for each 150 sq. ft. of floor area
Restaurant with Drive-Through Service	1 space for every 3 seats under maximum seating arrangements, minimum of 5 spaces	1 space for each 150 sq. ft. of floor area

- a. Additionally, parking agreements shall be required for Shared Parking.
4. UDC Section 2.09.04 Building Facade Material Standards shall apply, except:
 - b. Building elevations, type of building materials and percentages of said materials shall be in conformance with Exhibit G - Architectural Building Elevations.
5. UDC Section 2.09.05 Residential Adjacency Standards shall apply.
6. UDC Section 2.09.06 Nonresidential Architectural Standards shall apply.
7. UDC Section 2.09.07 Lighting and Glare Regulations shall apply.
8. UDC Section 4.01 Sign Regulations shall apply.
9. UDC Section 4.02 Fence and Screening Regulations shall apply.

F. Site Plan

Any Site Plan submitted for the development of this Area (Proposed Lot) as required by Subsection 2.10.08, shall be in general conformance with Exhibit D – PD Concept Plan.

SECTION 2.3: AREA 3 (PROPOSED LOT 3)

A. Definitions

1. Restaurant with Drive-Through Service Only: An establishment where primarily food or drink is served to customers in motor vehicles with no interior and/or exterior seating/dining space.

B. Permitted Uses and Use Regulations

In the Planned Development (PD) District, no building or land shall be used, and no building shall be hereafter established, reconstructed, enlarged, or converted, unless permitted by the Commercial 2 (C-2) District regulations of the Unified Development Code, Ordinance No. 13-05-02-8, as amended, except as otherwise included in this PD ordinance.

Additionally, the following use shall be permitted by right in this Planned Development:

1. Restaurant with Drive-Through Service Only

C. Prohibited Uses

The following uses in the Commercial 2 (C-2) District as listed in Subsection 2.05.02 of the Unified Development Code, Ordinance No. 13-05-02-8, as amended, shall be prohibited:

1. Ambulance Service
2. Automobile or Other Motorized Vehicle Sales and Service
3. Automobile Parts Store
4. Automobile Service Garage (Major)
5. Automobile Service Garage (Minor)
6. Car Wash, Full Service
7. Car Wash, Self Service
8. Exterminating Company
9. Feed Store
10. Gas or Oil Well Production
11. Institution for the Care of Alcoholic Psychiatric or Narcotic Patients
12. Commercial Laundry
13. Laundry, Self Service
14. Manufactured Home Sales
15. Taxi Garage, Dispatch

D. Dimensional Regulations

The Dimensional Regulations described in Section 2.05.02 of the Unified Development Code, Ordinance No. 13-05-02-8, as amended, for the Commercial 2 District shall apply, except as modified below:

1. Minimum Lot Width shall be reduced to 100 feet.
2. Minimum Lot Area shall be reduced to 25,000 sq. ft.

E. Development Standards

The Development Standards described in Section 2.05.02 of the Unified Development Code, Ordinance No. 13-05-02-8, as amended, Ordinance No. 13-05-02-8, as amended, for the Commercial 2 (C-2) District, as amended, shall apply.

- 1. UDC Subsection 2.09.01 Landscape Regulations shall apply, with the provision that landscaping installed shall at a minimum be provided in accordance with the number, location, and types of planting material depicted on Exhibit E – Conceptual Landscape Plan.
- 2. UDC Section 2.09.02 Tree Preservation Regulations shall apply.
- 3. UDC Section 2.09.03 Vehicle Parking Regulations shall apply except as modified in the table below:

Table: Parking Requirements – Area 3 (Proposed Lot 3)

Use	Base Regulation	Proposed Parking Standards/Modification
Restaurant with Drive-Through Service Only	Undefined Use	1 space per 150 sq. ft. of floor area
Restaurant with Drive-Through Service	1 space for every 3 seats under maximum seating arrangements, minimum of 5 spaces	1 space for each 150 sq. ft. of floor area

- a. Additionally, parking agreements shall be required for Shared Parking.
- 4. UDC Section 2.09.04 Building Facade Material Standards shall apply, except:
 - a. Building elevations, type of building materials and percentages of said materials shall be in conformance with Exhibit G - Elevations.
- 5. UDC Section 2.09.05 Residential Adjacency Standards shall apply.
- 6. UDC Section 2.09.06 Nonresidential Architectural Standards shall apply.
- 7. UDC Section 2.09.07 Lighting and Glare Regulations shall apply.
- 8. UDC Section 4.01 Sign Regulations shall apply.
- 9. UDC Section 4.02 Fence and Screening Regulations shall apply.

F. Site Plan

Any Site Plan submitted for the development of this Area (Proposed Lot) as required by Subsection 2.10.08, shall be in general conformance with Exhibit D – PD Concept Plan.

SECTION 2.4: AREA 4 (PROPOSED LOT 4)

A. Definitions

1. Restaurant with Drive-Through Service Only: An establishment where primarily food or drink is served to customers in motor vehicles with no interior and/or exterior seating/dining space.

B. Permitted Uses and Use Regulations

In the Planned Development (PD) District, no building or land shall be used, and no building shall be hereafter established, reconstructed, enlarged, or converted, unless permitted by the Commercial 2 (C-2) District regulations of the Unified Development Code, Ordinance No. 13-05-02-8, as amended, Ordinance No. 13-05-02-8, as amended, except as otherwise included in this PD ordinance.

Additionally, the following use shall be permitted by right in this Planned Development:

1. Restaurant with Drive-Through Service Only

C. Prohibited Uses

The following uses in the Commercial 2 (C-2) District as listed in Subsection 2.05.02 of the Unified Development Code, Ordinance No. 13-05-02-8, as amended, Ordinance No. 13-05-02-8, as amended, shall be prohibited:

1. Ambulance Service
2. Automobile or Other Motorized Vehicle Sales and Service
3. Automobile Parts Store
4. Automobile Service Garage (Major)
5. Automobile Service Garage (Minor)
6. Car Wash, Full Service
7. Car Wash, Self Service
8. Exterminating Company
9. Feed Store
10. Gas or Oil Well Production
11. Institution for the Care of Alcoholic Psychiatric or Narcotic Patients
12. Commercial Laundry
13. Laundry, Self Service
14. Manufactured Home Sales
15. Taxi Garage, Dispatch

D. Dimensional Regulations

The Dimensional Regulations described in Section 2.05.02 of the Unified Development Code, Ordinance No. 13-05-02-8, as amended, Ordinance No. 13-05-02-8, as amended, for the Commercial 2 District shall apply, except as modified below:

- 1. Minimum Lot Width shall be reduced to 100 feet.
- 2. Minimum Lot Area shall be reduced to 25,000 sq. ft.

E. Development Standards

The Development Standards described in Section 2.05.02 of the Unified Development Code, Ordinance No. 13-05-02-8, as amended, Ordinance No. 13-05-02-8, as amended, for the Commercial 2 (C-2) District, as amended, shall apply.

- 1. UDC Subsection 2.09.01 Landscape Regulations shall apply, with the provision that landscaping installed shall at a minimum be provided in accordance with the number, location, and types of planting material depicted on Exhibit E – Conceptual Landscape Plan.
- 2. UDC Section 2.09.02 Tree Preservation Regulations shall apply.
- 3. UDC Section 2.09.03 Vehicle Parking Regulations shall apply except as modified in the table below:

Table: Parking Requirements – Area 3 (Proposed Lot 3)

Use	Base Regulation	Proposed Parking Standards/Modification
Restaurant with Drive-Through Service Only	Undefined Use	1 space per 150 sq. ft. of floor area

- a. Additionally, parking agreements shall be required for Shared Parking.
- 4. UDC Section 2.09.04 Building Facade Material Standards shall apply, except:
 - a. Building elevations, type of building materials and percentages of said materials shall be in conformance with Exhibit G - Architectural Building Elevations.
- 5. UDC Section 2.09.05 Residential Adjacency Standards shall apply.
- 6. UDC Section 2.09.06 Nonresidential Architectural Standards shall apply.
- 7. UDC Section 2.09.07 Lighting and Glare Regulations shall apply.
- 8. UDC Section 4.01 Sign Regulations shall apply.
- 9. UDC Section 4.02 Fence and Screening Regulations shall apply.

F. Site Plan

Any Site Plan submitted for the development of this Area (Proposed Lot) as required by Subsection 2.10.08, shall be in general conformance with Exhibit D – PD Concept Plan.

SECTION 2.5: AREA 5 (PROPOSED LOT 5)

A. Definitions

1. Restaurant with Drive-Through Service Only: An establishment where primarily food or drink is served to customers in motor vehicles with no interior and/or exterior seating/dining space.

B. Permitted Uses and Use Regulations

In the Planned Development (PD) District, no building or land shall be used, and no building shall be hereafter established, reconstructed, enlarged, or converted, unless permitted by the Commercial 2 (C-2) District regulations of the Unified Development Code, Ordinance No. 13-05-02-8, as amended, Ordinance No. 13-05-02-8, as amended, except as otherwise included in this PD ordinance.

Additionally, the following uses shall be permitted by right in this Planned Development:

1. Restaurant with Drive-Through Service
2. Restaurant with Drive-Through Service Only

C. Prohibited Uses

The following uses in the Commercial 2 (C-2) District as listed in Subsection 2.05.02 of the Unified Development Code, Ordinance No. 13-05-02-8, as amended, Ordinance No. 13-05-02-8, as amended, shall be prohibited:

1. Ambulance Service
2. Automobile or Other Motorized Vehicle Sales and Service
3. Automobile Parts Store
4. Automobile Service Garage (Major)
5. Automobile Service Garage (Minor)
6. Car Wash, Full Service
7. Car Wash, Self Service
8. Exterminating Company
9. Feed Store
10. Gas or Oil Well Production
11. Institution for the Care of Alcoholic Psychiatric or Narcotic Patients
12. Commercial Laundry
13. Laundry, Self Service
14. Manufactured Home Sales
15. Taxi Garage, Dispatch

D. Dimensional Regulations

The Dimensional Regulations described in Section 2.05.02 of the Unified Development Code, Ordinance No. 13-05-02-8, as amended, Ordinance No. 13-05-02-8, as amended, for the Commercial 2 District shall apply, except as modified below:

1. Minimum Lot Area shall be reduced to 22,000 sq. ft.
2. Minimum Lot Width shall be reduced to 100 feet.

E. Development Standards

The Development Standards described in Section 2.05.02 of the Unified Development Code, Ordinance No. 13-05-02-8, as amended, for the Commercial 2 (C-2) District, as amended, shall apply.

1. UDC Subsection 2.09.01 Landscape Regulations shall apply, with the provision that landscaping installed shall at a minimum be provided in accordance with the number, location, and types of planting material depicted on Exhibit E – Conceptual Landscape Plan.
2. UDC Section 2.09.02 Tree Preservation Regulations shall apply.
3. UDC Section 2.09.03 Vehicle Parking Regulations shall apply except as modified in the table below:

Table: Parking Requirements – Area 5 (Proposed Lot 5)

Use	Base Regulation	Proposed Parking Standards/Modification
Restaurant with Drive-Through Service	1 space for every 3 seats under maximum seating arrangements, minimum of 5 spaces	1 space for each 150 sq. ft. of floor area
Restaurant with Drive-Through Service Only	Undefined Use	1 space per 150 sq. ft. of floor area

- a. Additionally, parking agreements shall be required for Shared Parking.
4. UDC Section 2.09.04 Building Facade Material Standards shall apply, except:
 - a. Building elevations, type of building materials and percentages of said materials shall be in conformance with Exhibit G - Architectural Building Elevations.
5. UDC Section 2.09.05 Residential Adjacency Standards shall apply.
6. UDC Section 2.09.06 Nonresidential Architectural Standards shall apply.
7. UDC Section 2.09.07 Lighting and Glare Regulations shall apply.

8. UDC Section 4.01 Sign Regulations shall apply.
9. UDC Section 4.02 Fence and Screening Regulations shall apply.

F. Site Plan

Any Site Plan submitted for the development of this Area (Proposed Lot) as required by Subsection 2.10.08, shall be in general conformance with Exhibit D – PD Concept Plan.

SECTION 4: OTHER

A. Drainage Facility, Easement, and Shared Infrastructure Maintenance

1. The drainage facility will be owned and operated by the owner of Area 2 (Proposed Lot 2R). The owner of Area 2 (Proposed Lot 2R) shall be the declarant in a Reciprocal Easement Agreement (REA) which will address the maintenance, mowing of said drainage facility, along with any easements and shared infrastructure maintenance.
2. All fire lanes, as identified on Exhibit D - Concept Plan, will be maintained by the owner of Area 2 (Proposed Lot 2R). The owner of Area 2 (Proposed Lot 2R) shall be declarant in an REA agreement which will address any maintenance pertaining to the fire lanes.

B. Platting

1. A Replat shall be submitted to subdivide Existing Lot 2 into Lots 2R, 3, 4, and 5. This initial Replat shall be recorded prior to submitting any Site Plans.
2. Subsequent Replats for each Lot shall be required to delineate easements, fire lanes, and other required items identified during the Site Plan review process for the development of each lot.

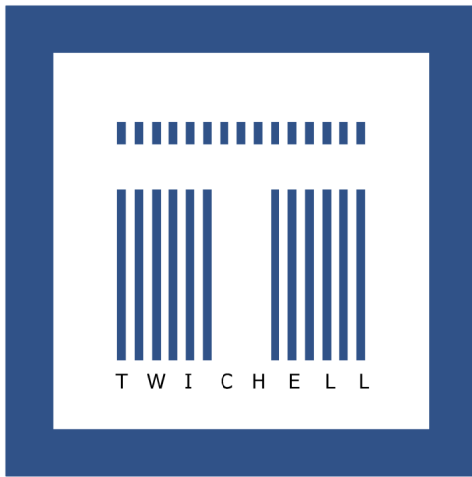
C. Timing of Landscaping Installation

1. The installation of the required shade trees and shrubs on the entirety of the 20'-wide Landscape Buffer adjacent to F.M. 2499 in Areas 2, 3, and 4 (Proposed Lots) shall be completed by the developer with the development of the first lot within said areas.

D. Traffic Impact

1. UDC Subsection 3.05.04.D Traffic Impact Analysis, requiring a Traffic Impact Analysis for a zoning change projected to generate a net increase of 1,000 daily trips, shall apply except as modified below:
 - a. A Traffic Impact Analysis shall be completed and submitted by the Property Owner/Developer at the time the initial Replat is submitted for this Planned Development to be evaluated by the City Engineer.
 1. The Traffic Impact Analysis shall include all Areas (Proposed Lots) 1-5 of this Planned Development.

- b. The Property Owner/Developer shall be responsible for the construction of any and all improvements as recommended in the Traffic Impact Analysis, if required by the City Engineer. These improvements, if required, shall be completed and installed prior to the issuance of the first certificate of occupancy for any new development within Areas (Proposed Lots) 2, 3, 4, or 5 of this Planned Development
- c. Reference Exhibit I - Traffic Impact Analysis Worksheet, documenting the need for a full Traffic Impact Analysis.



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CORINTH
SOUTHSIDE
HOLDINGS
L.L.C.
4622 Maple Ave.
Dallas, Texas 75219

CORINTH
CORNERS
SOUTHWEST CORNER OF
VILLAGE PARKWAY AND
TEASLEY LANE

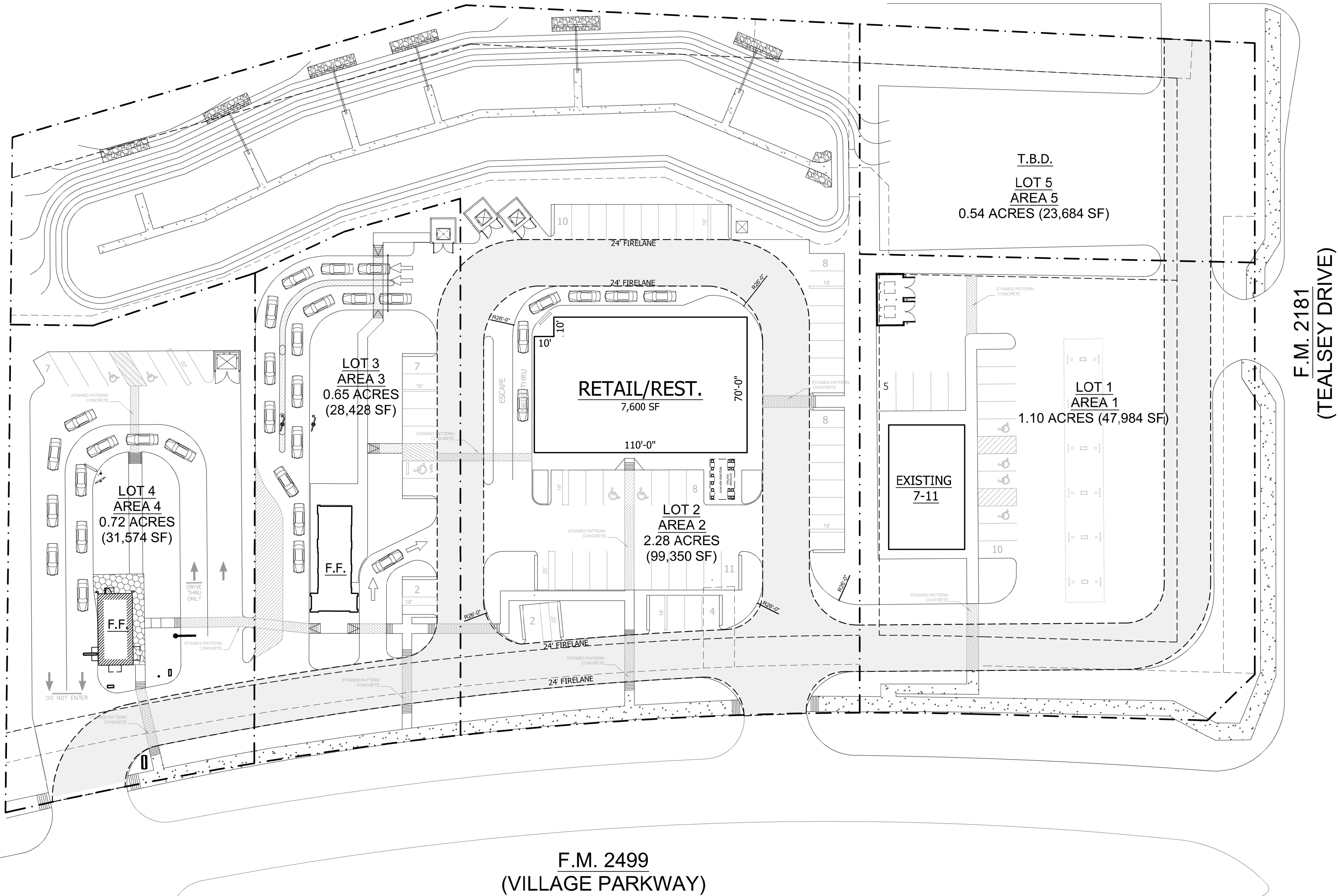
EXHIBIT D -
CONCEPT PLAN

SCALE: 1" = 30'-0"

REV	DATE	DESCRIPTION

CASE NO. ZAPD23-0005
SHEET

CP V3

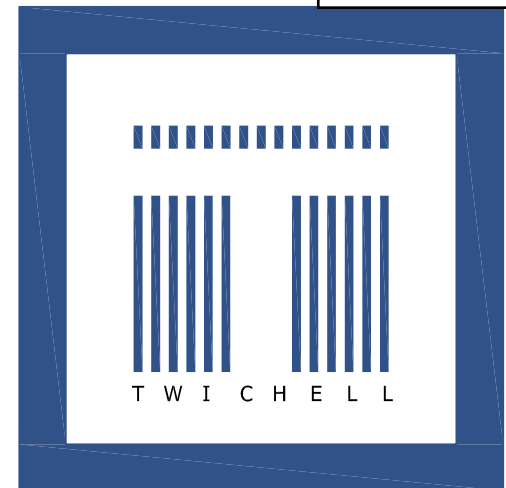


LOT 5 TABULATION	
ZONING:	C-2, PD-S5
PROPOSED USE:	T.B.D.
LOT AREA:	0.54 ACRES (23,684 SF)
BUILDING HEIGHT:	N/A
BUILDING AREA:	T.B.D.
PARKING USE:	
	N/A
TOTAL PARKING REQUIRED:	N/A
TOTAL PARKING PROVIDED:	N/A
HANDICAPPED PARKING REQUIRED:	N/A
HANDICAPPED PARKING PROVIDED:	N/A

LOT 4 TABULATION	
ZONING:	C-2, PD-S5
PROPOSED USE:	RESTAURANT
LOT AREA:	0.72 ACRES (31,574 SF)
BUILDING HEIGHT:	1 STORY
BUILDING AREA:	850 SF
PARKING USE:	
	RESTAURANT 700 SF @ 1:100 = 7 SPACES
TOTAL PARKING REQUIRED:	7 SPACES
TOTAL PARKING PROVIDED:	10 SPACES
HANDICAPPED PARKING REQUIRED:	1 SPACES
HANDICAPPED PARKING PROVIDED:	2 SPACES

LOT 3 TABULATION	
ZONING:	C-2, PD-S5
PROPOSED USE:	RESTAURANT
LOT AREA:	0.65 ACRES (28,428 SF)
BUILDING HEIGHT:	1 STORY
BUILDING AREA:	1,000 SF
PARKING USE:	
	RESTAURANT 1,000 SF @ 1:150 = 10 SPACES
TOTAL PARKING REQUIRED:	7 SPACES
TOTAL PARKING PROVIDED:	9 SPACES
HANDICAPPED PARKING REQUIRED:	1 SPACES
HANDICAPPED PARKING PROVIDED:	2 SPACES

LOT-2 SITE TABULATION	
ZONING:	C-2, PD-S5
PROPOSED USE:	RETAIL/REST.
LOT AREA:	2.28 ACRES (99,350 SF)
BUILDING HEIGHT:	1 STORY
BUILDING AREA:	7,600 SF
PARKING USE:	
	RETAIL: T.B.D. RESTAURANT: 7,600 SF @ 1:150 = 51
TOTAL PARKING REQUIRED:	51 SPACES
TOTAL PARKING PROVIDED:	51 SPACES
HANDICAPPED PARKING REQUIRED:	2
HANDICAPPED PARKING PROVIDED:	2



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CORINTH
SOUTHSIDE
HOLDINGS
L.L.C.

4622 Maple Ave.
Dallas, Texas 75219

CORINTH
CORNERS

SOUTHWEST CORNER OF
VILLAGE PARKWAY AND
TEASLEY LANE

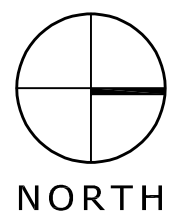
EXHIBIT E -
CONCEPTUAL
LANDSCAPE
PLAN

SCALE: 1" = 30'-0"

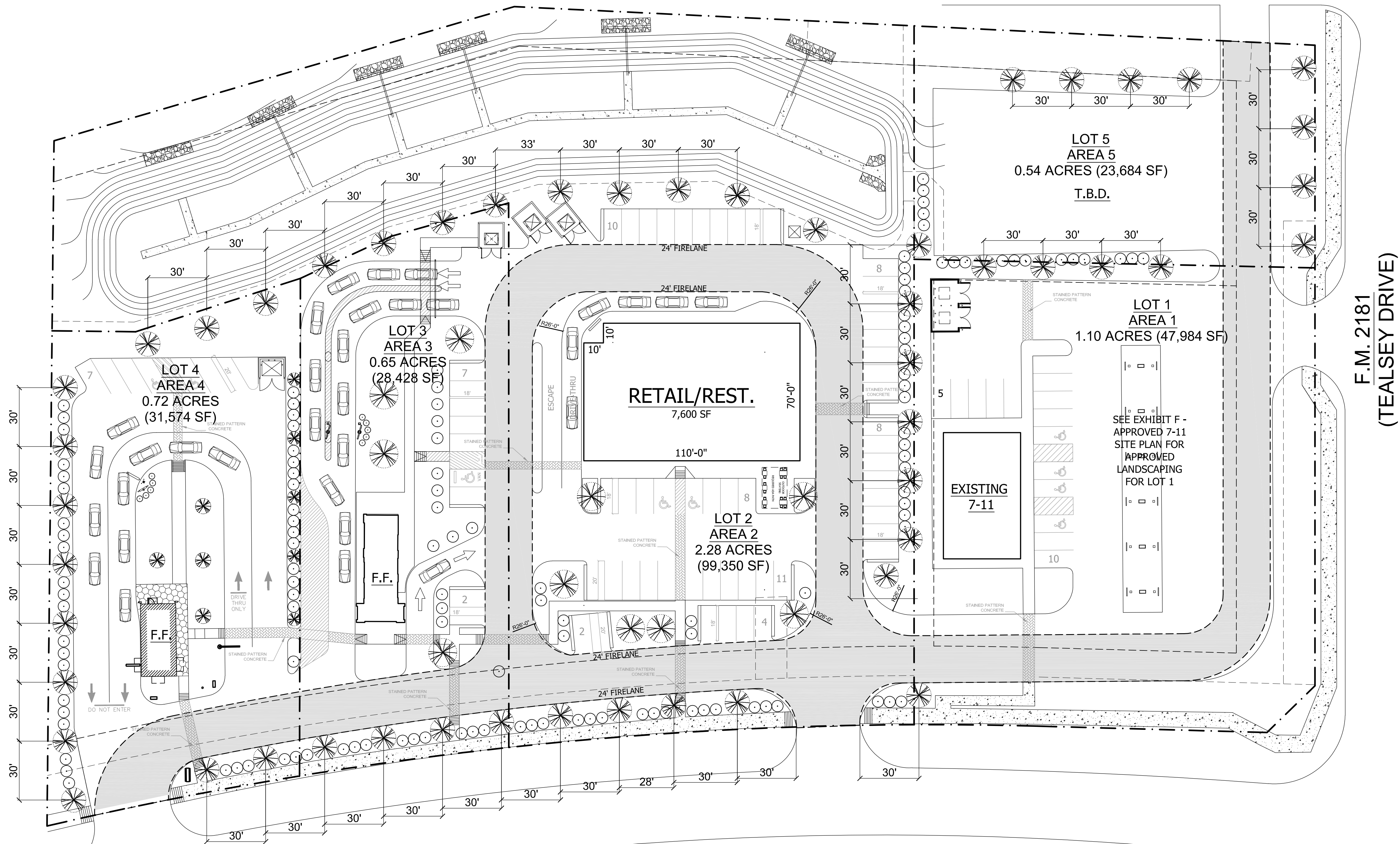
REV DATE DESCRIPTION

CASE NO. ZAPD23-0005
SHEET

LSCP V3



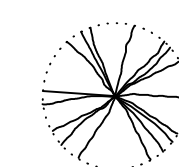
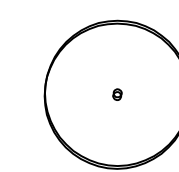
NORTH



LANDSCAPE REQUIREMENTS

	REQUIRED	PROVIDED
LANDSCAPE ALONG F.M. 2499	30' MIN	30'
LANDSCAPE ALONG F.M. 2181	30' MIN	30'
PARKING LOT TREES, 3" CALIPER MIN (1) PER 10 PK SPACES	9	37
ROW TREES, 3" CALIPER MIN (1) PER 30'	10	11

LANDSCAPE LEGEND

-  NEW TREE - 3" CALIPER MIN
-  NEW SHRUB
2" CALIPER MIN

*CURRENTLY SHOWN TO ENSURE COMPLIANCE
WITH "C-2" COMMERCIAL LANDSCAPING
REGULATIONS OF THE CORINTH UNIFIED
DEVELOPMENT CODE. ORDINANCE No. 2.09.01*

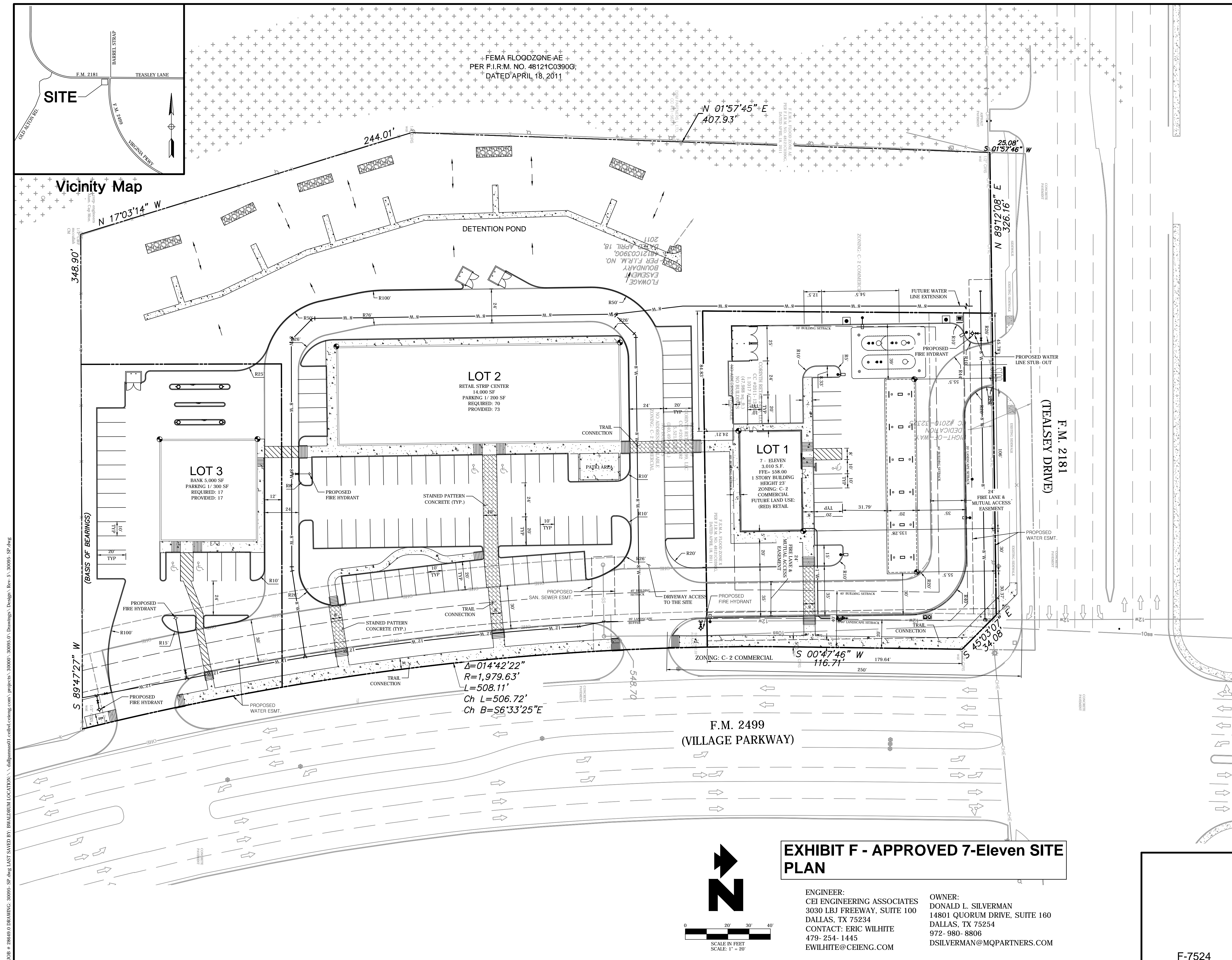
*SPECIES OF NEW VEGETATION TO BE
DETERMINED AT TIME OF SITE PLAN
APPROVAL*

LOT 5 TABULATION	
ZONING:	C-2, PD-55
PROPOSED USE:	T.B.D.
LOT AREA:	0.5437 ACRES (23,684 SF)
BUILDING HEIGHT:	N/A
BUILDING AREA:	T.B.D.
PARKING USE:	N/A
TOTAL PARKING REQUIRED:	N/A
TOTAL PARKING PROVIDED:	N/A
HANDICAPPED PARKING REQUIRED:	N/A
HANDICAPPED PARKING PROVIDED:	N/A

LOT 4 TABULATION	
ZONING:	C-2, PD-55
PROPOSED USE:	RESTAURANT
LOT AREA:	0.72 ACRES (31,574 SF)
BUILDING HEIGHT:	1 STORY
BUILDING AREA:	850 SF
PARKING USE:	RESTAURANT 700 SF @ 1:100 = 7 SPACES
TOTAL PARKING REQUIRED:	7 SPACES
TOTAL PARKING PROVIDED:	10 SPACES
HANDICAPPED PARKING REQUIRED:	1 SPACES
HANDICAPPED PARKING PROVIDED:	2 SPACES

LOT 3 TABULATION	
ZONING:	C-2, PD-55
PROPOSED USE:	RESTAURANT
LOT AREA:	0.65 ACRES (28,428 SF)
BUILDING HEIGHT:	1 STORY
BUILDING AREA:	1,000 SF
PARKING USE:	RESTAURANT 1,000 SF @ 1:150 = 10 SPACES
TOTAL PARKING REQUIRED:	7 SPACES
TOTAL PARKING PROVIDED:	9 SPACES
HANDICAPPED PARKING REQUIRED:	1 SPACES
HANDICAPPED PARKING PROVIDED:	2 SPACES

LOT-2 SITE TABULATION	
ZONING:	C-2, PD-55
PROPOSED USE:	RETAIL/REST.
LOT AREA:	2.28 ACRES (99,350 SF)
BUILDING HEIGHT:	1 STORY
BUILDING AREA:	7,600 SF
PARKING USE:	RETAIL: T.B.D. RESTAURANT: 7,600 SF @ 1:150 = 51
TOTAL PARKING REQUIRED:	51 SPACES
TOTAL PARKING PROVIDED:	51 SPACES
HANDICAPPED PARKING REQUIRED:	2
HANDICAPPED PARKING PROVIDED:	2



CHART

SUMMARY

DATA

SITE

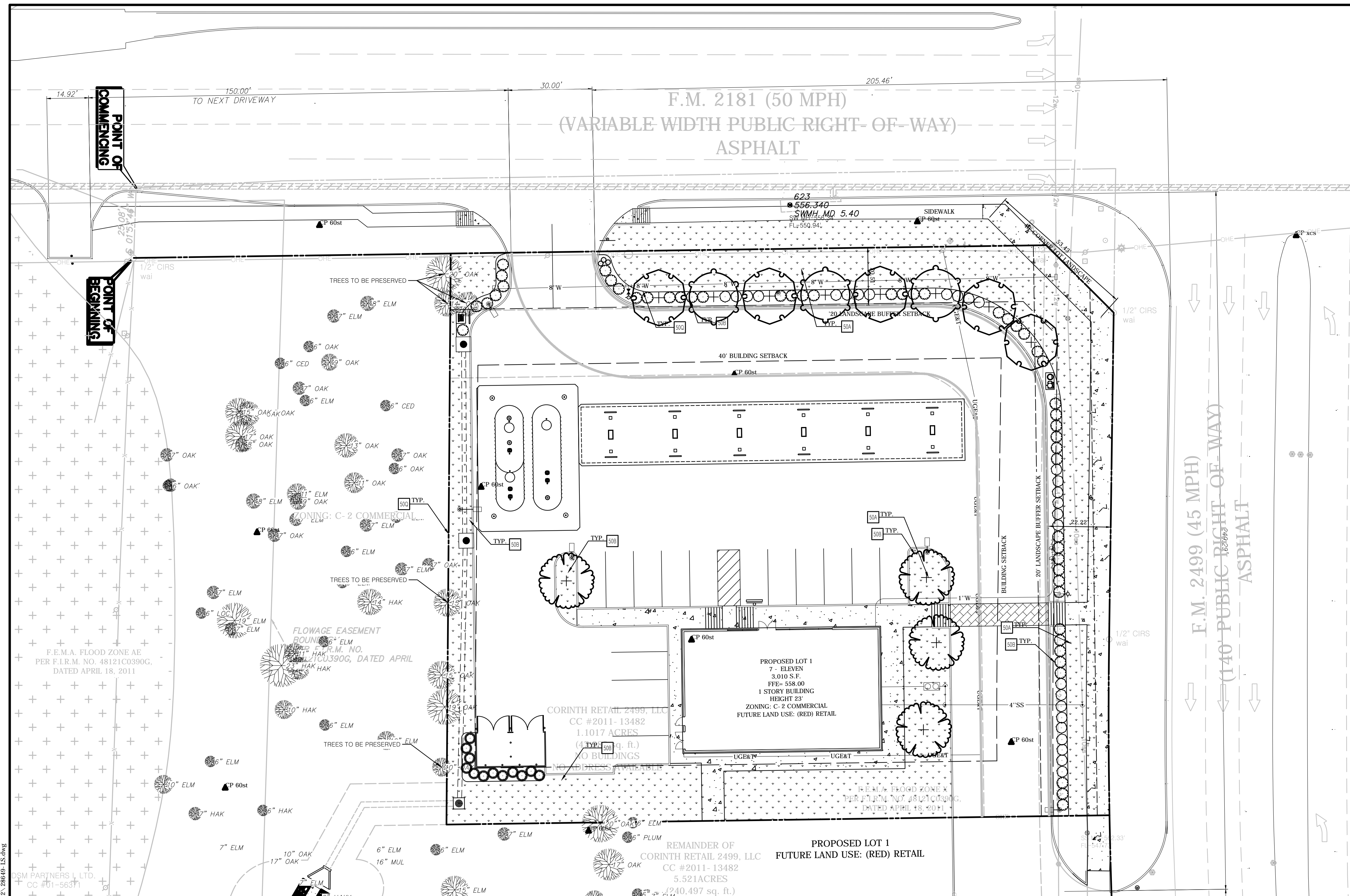
SITE DATA- LOT 1	EXISTING	PROPOSED
ZONING	C-2 COMMERCIAL	PLANNED DEVELOPMENT (PD)
LAND USE DESIGNATION	N/A	RED (RETAIL)
GROSS ACREAGE	5.3 ACRES	1.102 ACRES
NET ACREAGE	N/A	1.10%
NUMBER OF PROPOSED LOTS	N/A	1
PERCENTAGE OF SITE COVERAGE	0%	6.50%
AREA OF OPEN SPACE	5.30 ACRES	10,000 S.F.
PERCENTAGE OF OPEN SPACE	100%	33%
PERCENTAGE OF LANDSCAPE	0%	31%
AREA OF IMPERVIOUS COVERAGE	0	31,455 S.F.
PERCENTAGE OF IMPERVIOUS COVERAGE	0%	65%
PROPOSED BUILDING AREA	N/A	3,100 S.F.
NUMBER OF SINGLE STORY BUILDINGS	0	1
NUMBER OF TWO- STORY BUILDINGS	0	0
MAXIMUM BUILDING HEIGHT	N/A	23'-0"
PROPOSED FLOOR AREA	N/A	3,100 S.F.
PROPOSED FLOOR AREA BY USE	N/A	3,100 S.F. RETAIL
REQUIRED PARKING	N/A	16 SPACES
PROVIDED PARKING- STANDARD	N/A	15 SPACES
PROVIDED PARKING- HANDICAP	N/A	1 SPACE
PROVIDED PARKING- TOTAL	N/A	16 SPACES
INVENTORY PARKING	N/A	N/A
REQUIRED LOADING SPACES	N/A	N/A
PROVIDED LOADING SPACES	N/A	N/A
AREA OF OUTSIDE STORAGE	N/A	0 S.F.
PERCENTAGE OF OUTSIDE STORAGE	N/A	0%
START OF CONSTRUCTION	N/A	TO BE DETERMINED
END OF CONSTRUCTION	N/A	TO BE DETERMINED

SITE DATA- LOT 2	EXISTING	PROPOSED
ZONING	C-2 COMMERCIAL	PLANNED DEVELOPMENT (PD)
LAND USE DESIGNATION	N/A	RED (RETAIL)
GROSS ACREAGE	5.3 ACRES	3.05 ACRES
NET ACREAGE	N/A	3.05 ACRES
NUMBER OF PROPOSED LOTS	N/A	1
PERCENTAGE OF SITE COVERAGE	0%	10.50%
AREA OF OPEN SPACE	5.30 ACRES	52,032 S.F.
PERCENTAGE OF OPEN SPACE	100%	39%
PERCENTAGE OF LANDSCAPE	0%	49%
AREA OF IMPERVIOUS COVERAGE	0	51,155 S.F.
PERCENTAGE OF IMPERVIOUS COVERAGE	0%	38%
PROPOSED BUILDING AREA	N/A	14,000 S.F.
NUMBER OF SINGLE STORY BUILDINGS	0	1
NUMBER OF TWO- STORY BUILDINGS	0	0
MAXIMUM BUILDING HEIGHT	N/A	28'-0"
PROPOSED FLOOR AREA	N/A	14,000 S.F.
PROPOSED FLOOR AREA BY USE	N/A	14,000 S.F. RETAIL
REQUIRED PARKING	N/A	70 SPACES
PROVIDED PARKING- STANDARD	N/A	81 SPACES
PROVIDED PARKING- HANDICAP	N/A	2 SPACES
PROVIDED PARKING- TOTAL	N/A	83 SPACES
INVENTORY PARKING	N/A	N/A
REQUIRED LOADING SPACES	N/A	N/A
PROVIDED LOADING SPACES	N/A	N/A
AREA OF OUTSIDE STORAGE	N/A	0 S.F.
PERCENTAGE OF OUTSIDE STORAGE	N/A	0%
START OF CONSTRUCTION	N/A	TO BE DETERMINED
END OF CONSTRUCTION	N/A	TO BE DETERMINED

SITE DATA- LOT 3	EXISTING	PROPOSED
ZONING	C-2 COMMERCIAL	PLANNED DEVELOPMENT (PD)
LAND USE DESIGNATION	N/A	RED (RETAIL)
GROSS ACREAGE	5.3 ACRES	1.15 ACRES
NET ACREAGE	N/A	1.15 ACRES
NUMBER OF PROPOSED LOTS	N/A	1
PERCENTAGE OF SITE COVERAGE	0%	10.00%
AREA OF OPEN SPACE	5.30 ACRES	14,784 S.F.
PERCENTAGE OF OPEN SPACE	100%	30%
PERCENTAGE OF LANDSCAPE	0%	43%
AREA OF IMPERVIOUS COVERAGE	0	26,466 S.F.
PERCENTAGE OF IMPERVIOUS COVERAGE	0%	52%
PROPOSED BUILDING AREA	N/A	5,000 S.F.
NUMBER OF SINGLE STORY BUILDINGS	0	1
NUMBER OF TWO- STORY BUILDINGS	0	0
MAXIMUM BUILDING HEIGHT	N/A	24'-0"
PROPOSED FLOOR AREA	N/A	14,000 S.F.
PROPOSED FLOOR AREA BY USE	N/A	5,000 S.F. RETAIL
REQUIRED PARKING	N/A	17 SPACES
PROVIDED PARKING- STANDARD	N/A	16 SPACES
PROVIDED PARKING- HANDICAP	N/A	1 SPACE
PROVIDED PARKING- TOTAL	N/A	17 SPACES
INVENTORY PARKING	N/A	N/A
REQUIRED LOADING SPACES	N/A	N/A
PROVIDED LOADING SPACES	N/A	N/A
AREA OF OUTSIDE STORAGE	N/A	0 S.F.
PERCENTAGE OF OUTSIDE STORAGE	N/A	0%
START OF CONSTRUCTION	N/A	TO BE DETERMINED
END OF CONSTRUCTION	N/A	TO BE DETERMINED

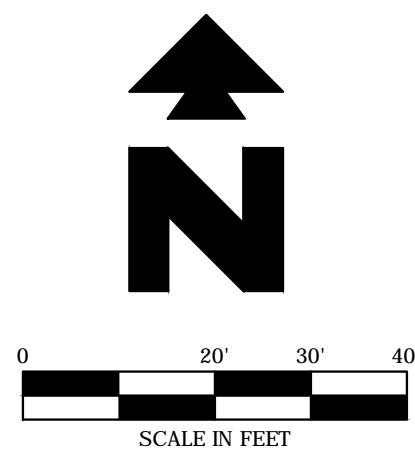
28649.0	1/10/18	ACS	EPW	TJA	TJA
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW
CEI Engineering Associates, Inc. ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS					
3030 LBJ Freeway, Suite 100 Dallas, TX 75234					
(972) 488-3737 FAX (972) 488-6732					
7-ELEVEN #36436 1.10 ACRES JASPER C BAKER, ABSTRACT 48 DOC. NO. 2011-13482 SWC FM 2181 & F.M. 2499 CORINTH TEXAS					
CONCEPT PLAN				REV DATE 1/10/18 SUP	SHEET NO. C2

F-7524



SITE BENCHMARK
 SITE BENCHMARK
 N 89°20'E
 VOL. 485, PG. 1411
 D.R.D.C.T.

NOTE:
 SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.



EXISTING

0	Record Bearing and Distance	R	Telephone Riser
●	Found Iron Rod (FIR)	V	Traffic Vault
○	Point for Corner (PFC)	X	Water Valve
○	Found Hwy Monument	S	Sanitary Sewer Manhole
○	Utility Pole	— X —	Fence
○	Guy Wire	— OHP —	Overhead Power Lines
○	Sign	— B —	Blue Paint Marks (Water)
CMP	Corrugated Metal Pipe	— E —	Red Paint Marks (Electric)
TL	Traffic Light	— G —	Yellow Flags (Gas)
EA	Edge of Asphalt	— C —	Centurylink Fiber optic

PROPOSED

---	PROPERTY LINE/RIGHT OF WAY LINE
---	STORM DRAIN
○	TYPICAL PLANTING WITH QUANTITY AND KEY (SEE PLANT LIST)

LANDSCAPE DETAILS

- 50A TREE PLANTING (TYP.)
 50B SHRUB PLANTING (TYP.)
 50Q STEEL EDGING (TYP.)

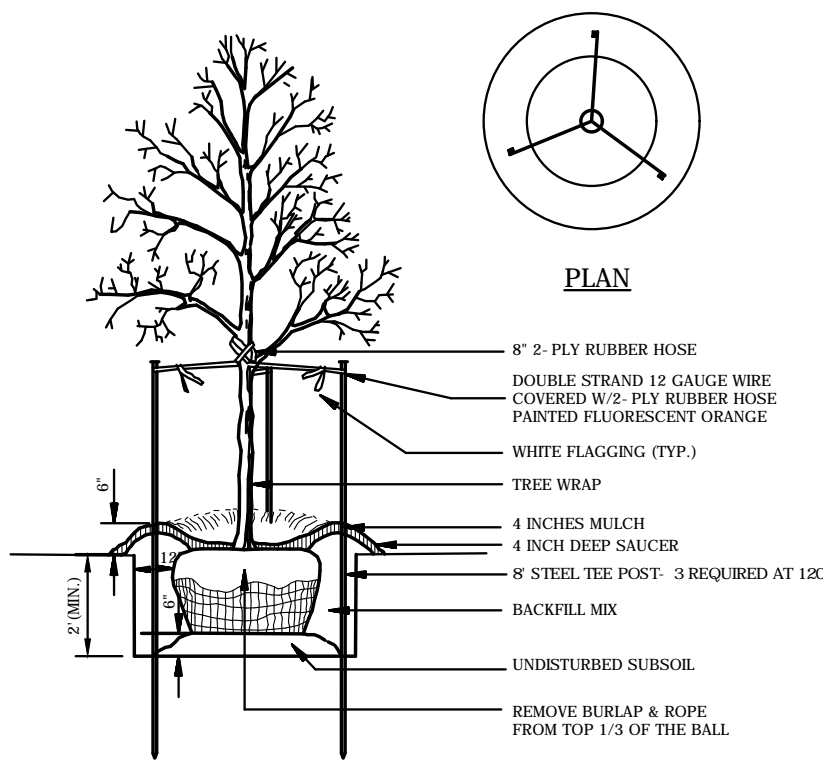
TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	DETAIL	FIELD#	
+	4	Quercus macrocarpa / Burr Oak	B & B	3' Cal	50A	MITIGATION	
+	5	Quercus shumardii / Shumard Red Oak	B & B	3' Cal	50A	MITIGATION	
+	3	Ulmus parvifolia 'Alce' / Allee Lacebark Elm	B & B	3' Cal	50A	MITIGATION	
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	DETAIL			
○	27	Leucophyllum frutescens / Texas Sage	5 gal	50B			
○	12	Miscanthus sinensis 'Adagio' / Adagio Eulalia Grass	5 gal	50B			
○	50	Muhlenbergia capillaris / Pink Muhly	5 gal	50B			
GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME	CONT				
○		Cynodon dactylon / Bermuda Grass	SOD				

AN IRRIGATION SYSTEM WILL BE DESIGNED, INSTALLED, AND FUNCTIONAL PRIOR TO THE APPROVAL OF THE CERTIFICATE OF OCCUPANCY.

THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, ESTABLISHMENT, AND PERFORMANCE OF PLANT MATERIAL.

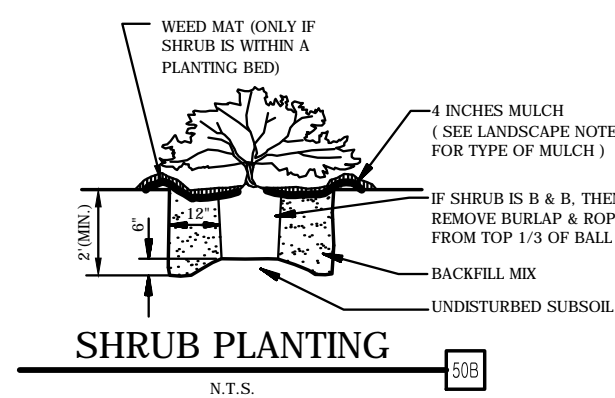
LANDSCAPE REQUIREMENTS

LOCATION	REQUIREMENT	REQUIRED	PROVIDED
LANDSCAPE BUFFER (F.M. 2181)	LANDSCAPE BUFFER EXCLUSIVE OF ROW ADJACENT TO ARTERIAL ROAD: 20' WIDTH WITH ONE (1) SHADE TREE PER 30' OF LANDSCAPED EDGE. VEHICLE HEADLIGHT SCREENING ABUTTING LANDSCAPE EDGE.	238 L.F. / 30 = 8 SHADE TREES	8 SHADE TREES
LANDSCAPE BUFFER (F.M. 2499)	LANDSCAPE BUFFER EXCLUSIVE OF ROW ADJACENT TO ARTERIAL ROAD: 20' WIDTH WITH ONE (1) SHADE TREE PER 30' OF LANDSCAPED EDGE. VEHICLE HEADLIGHT SCREENING ABUTTING LANDSCAPE EDGE.	196 L.F. / 30 = 7 SHADE TREES	UNDERGROUND UTILITIES PREVENT PLANTING OF TREES ALONG F.M. 2499. TREES SHALL BE PLANTED IN OTHER LOCATIONS IN OVERALL DEVELOPMENT
LANDSCAPED EDGE	VEHICLE HEADLIGHT SCREENING ABUTTING LANDSCAPE EDGE.	WHERE PARKING LOTS, DRIVES, AND ACCESS EASEMENTS ABUT THE LANDSCAPED EDGE, SHRUBS (5 GALLON MINIMUM) SHALL BE PLANTED TO FORM A CONTIGUOUS BUFFER ALONG THE COMMON BOUNDARY LINE.	PROVIDED
INTERIOR PARKING LOT LANDSCAPING	10 S.F. OF INTERIOR LANDSCAPE PER PARKING STALL, AND 1 (ONE) SHADE OR ORNAMENTAL TREE FOR EVERY 10 PARKING STALLS	16 STALLS/(10 S.F.)= 160 S.F. REQUIRED 10 STALLS/10 = 2 TREES REQUIRED	423 S.F. AND 2 TREES PROVIDED
OVERALL SITE	10% OF SITE SHALL BE DEDICATED TO LANDSCAPING.	48,071 S.F X 0.10 = 4,807 S.F. REQUIRED	9,684 S.F. (20%)
CORNER LOT LANDSCAPING	A MINIMUM LANDSCAPED AREA OF 900 SQUARE FEET SHALL BE LOCATED AT THE INTERSECTION CORNER OF THE LOT.	A MINIMUM DISTANCE OF 40 FEET FROM THE PROJECTED CORNER OF THE INTERSECTION ON BOTH SIDES OF THE LOT.	PROVIDED
PROTECTED TREE MITIGATION	TOTAL CALIPER INCHES TO REPLACE 627 (REFER TO SHEET L1)		12- 3" CALIPER TREES PROVIDED = 36 REPLACEMENT INCHES (REMAINING 591 REPLACEMENT INCHES TO BE MITIGATED WITH PAYMENT TO CITY TREE FUND)

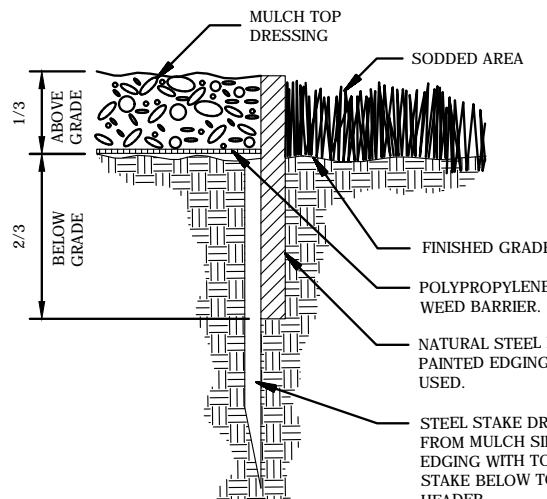


NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

TREE PLANTING
 N.T.S.



SHRUB PLANTING
 N.T.S.



SODDED AREA W/MULCH
 N.T.S.

STEEL EDGING
 N.T.S.



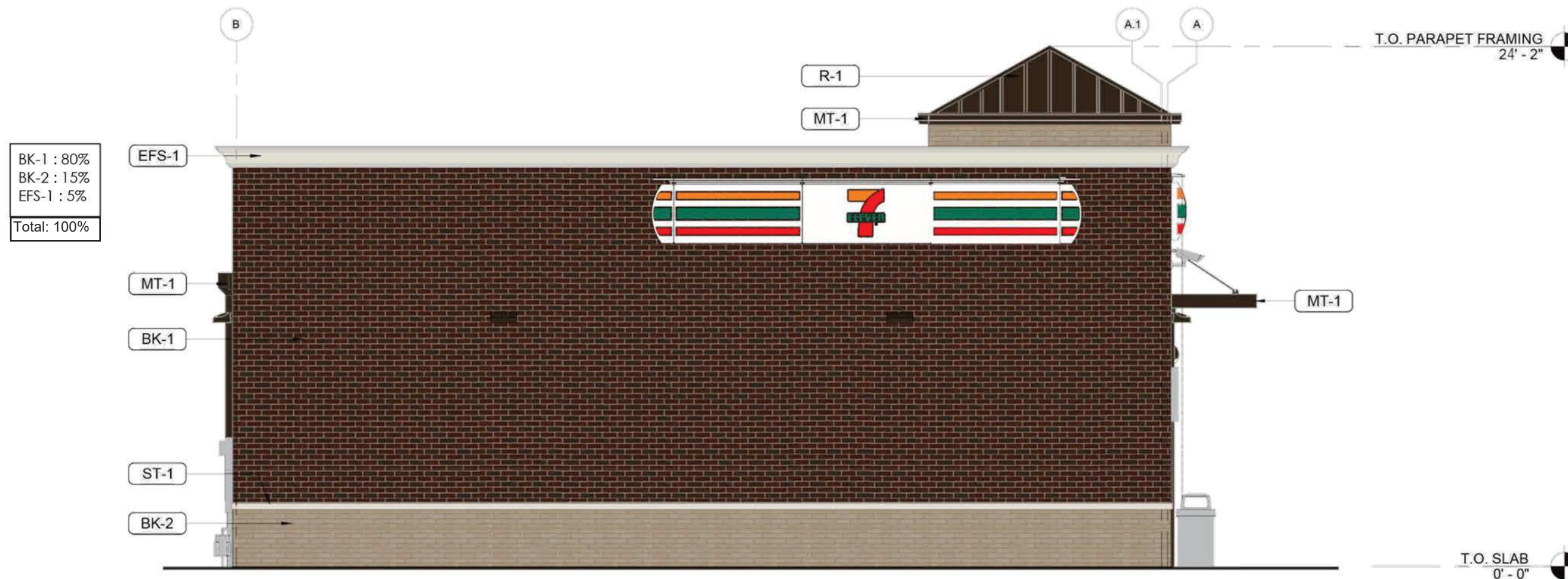
1/8/18

BR-347

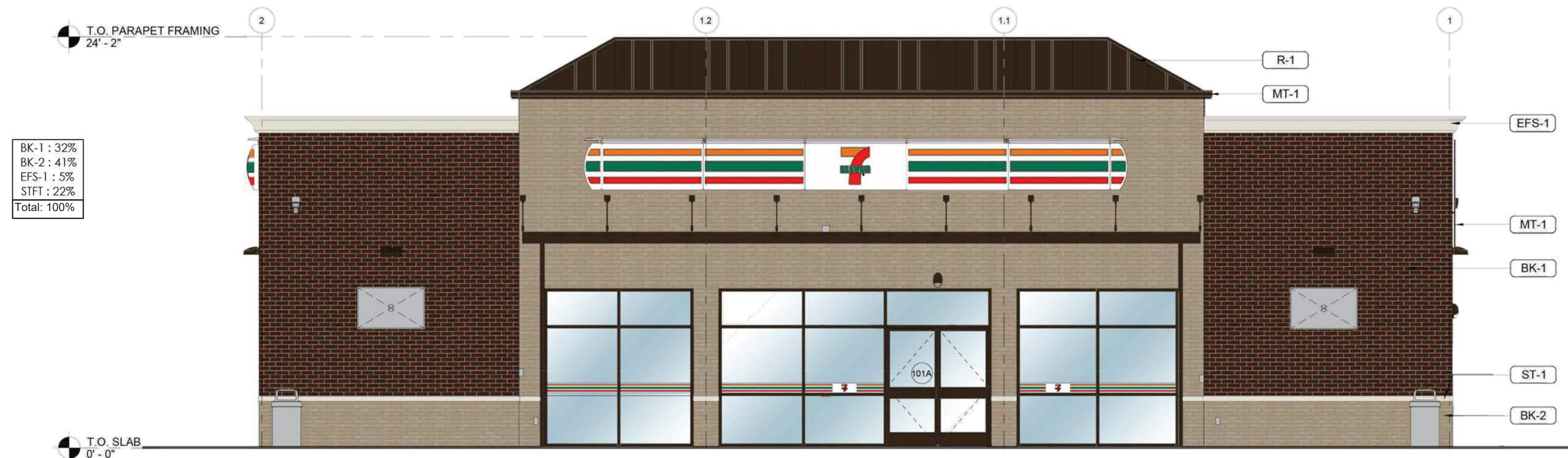
EXHIBIT F - APPROVED 7-Eleven SITE PLAN

28649.0	1/5/18	ADS	EPW	TJA	TJA
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW
CEI	Engineering Associates, Inc.				
ENGINEERS • PLANNERS • SURVEYORS					LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS
3030 LBJ Freeway, Suite 100 Dallas, TX 75234					(972) 488-3737 FAX (972) 488-6732
7-ELEVEN #36436					
SWC FM 2181. & F.M. 2499 CORINTH TEXAS					
LANDSCAPE PLAN					REV DATE 1/5/18 REV-2
					SHEET NO. L-2

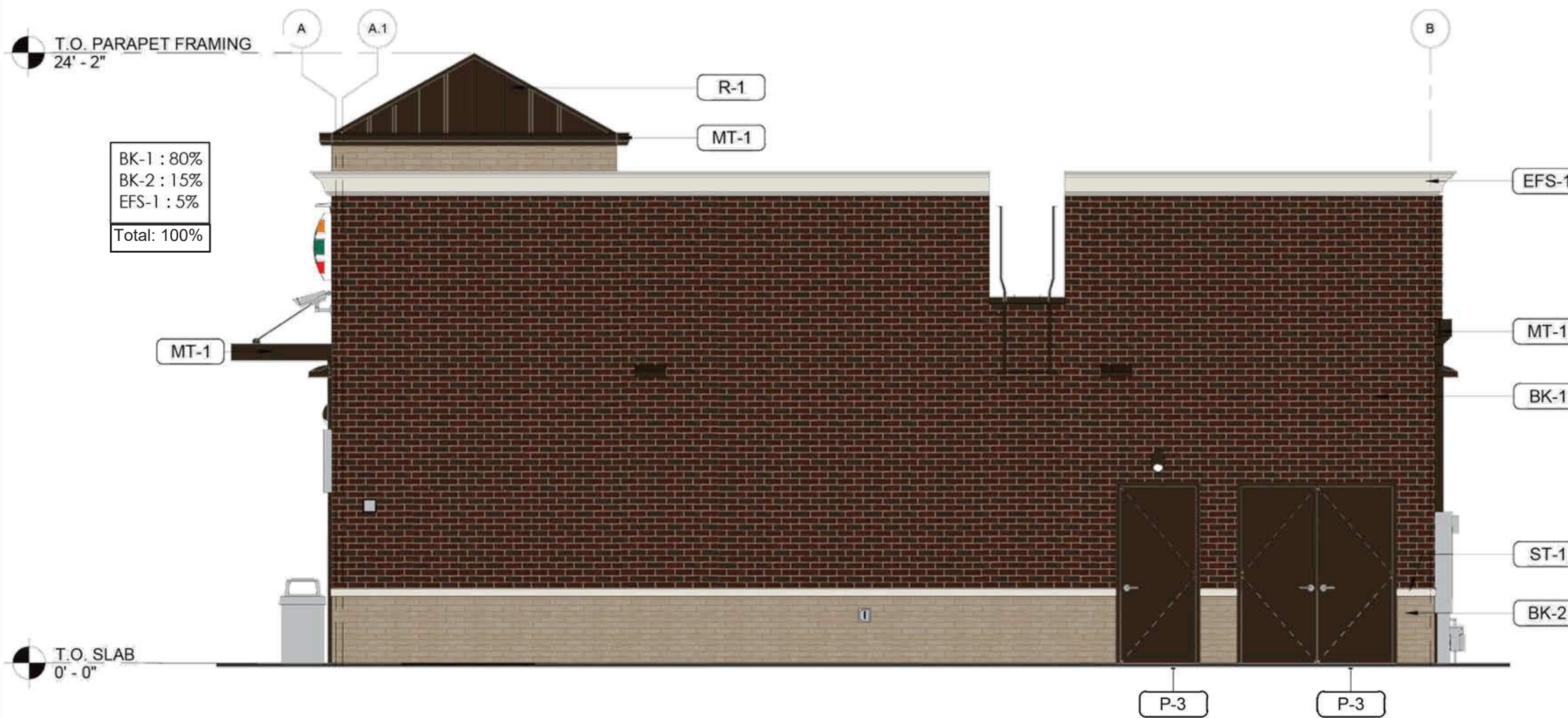
EXHIBIT F - APPROVED 7-Eleven SITE PLAN



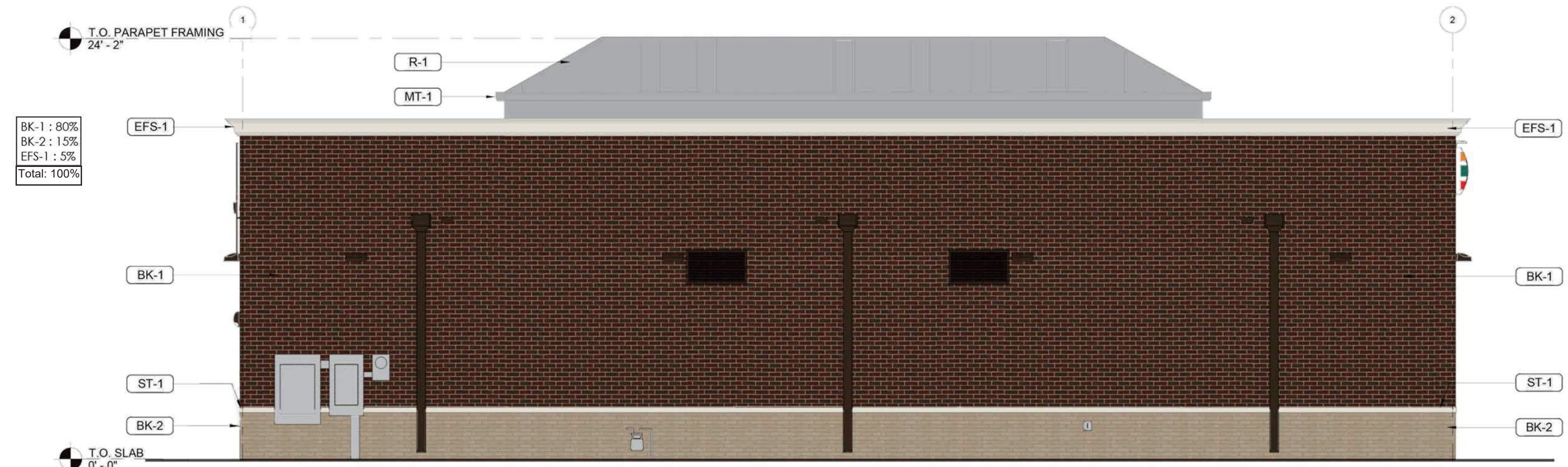
② ELEVATION - LEFT SIDE
3/16" = 1'-0"



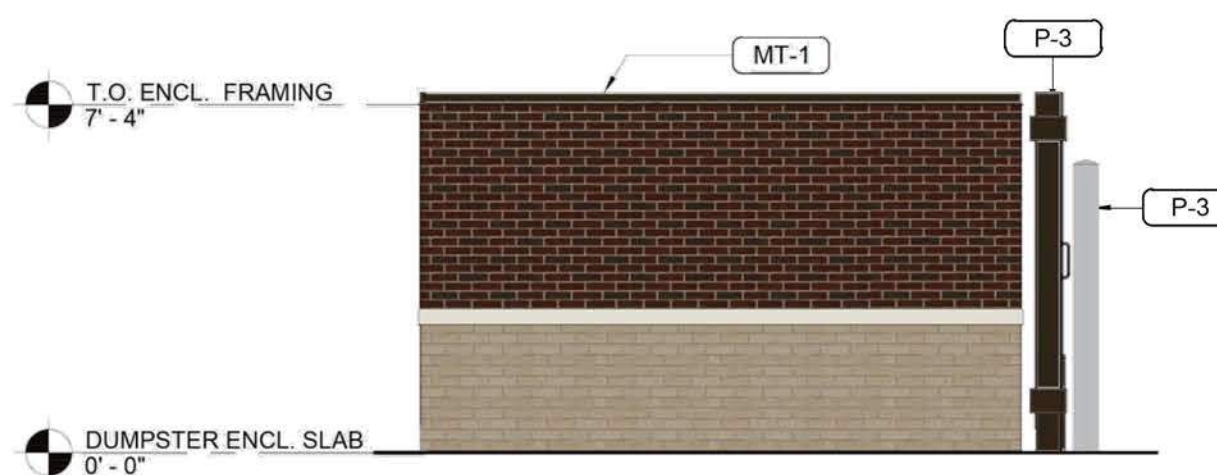
1 FRONT ELEVATION
3/16" = 1'-0"



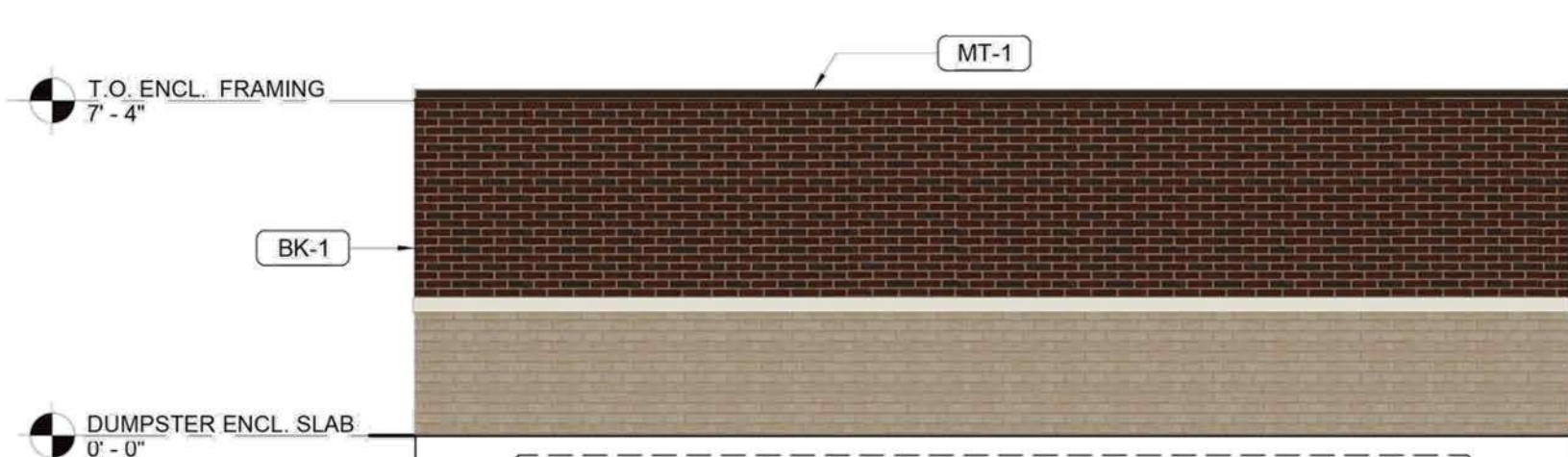
3 ELEVATION - RIGHT SIDE
3/16" = 1'-0"



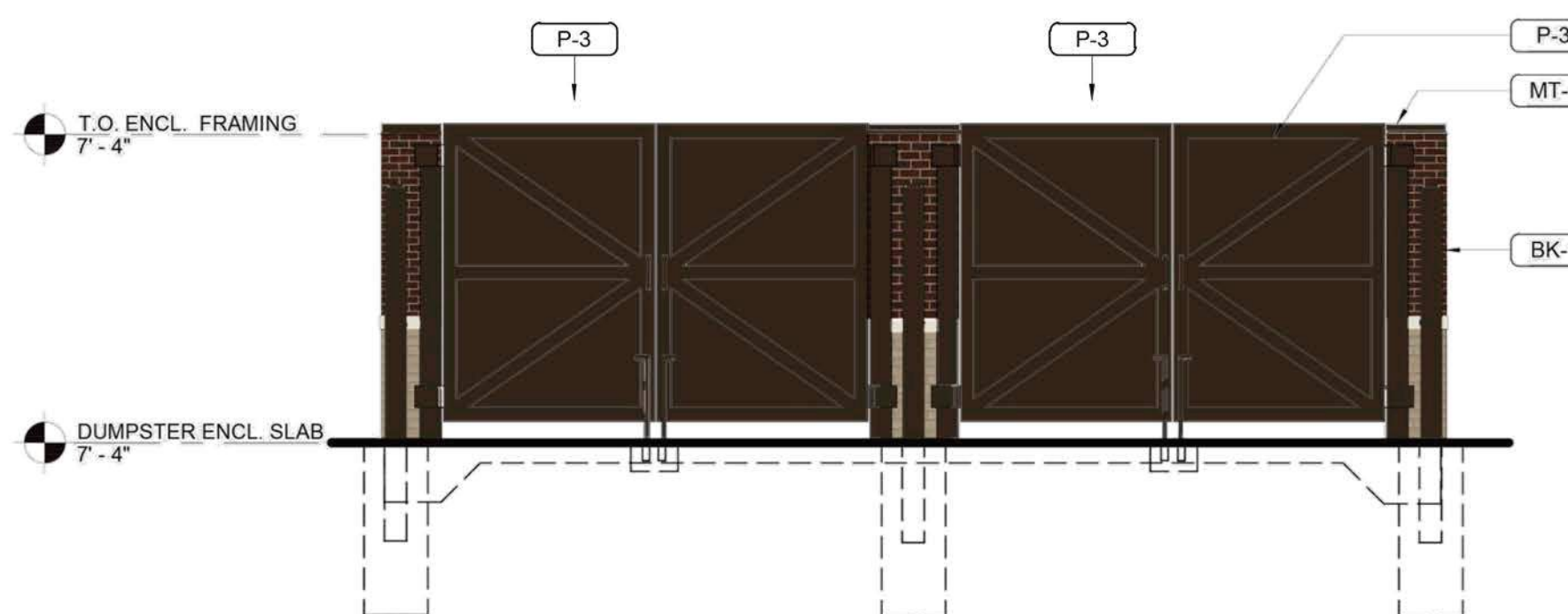
4 REAR ELEVATION
 $\frac{3}{16}'' = 1'-0''$



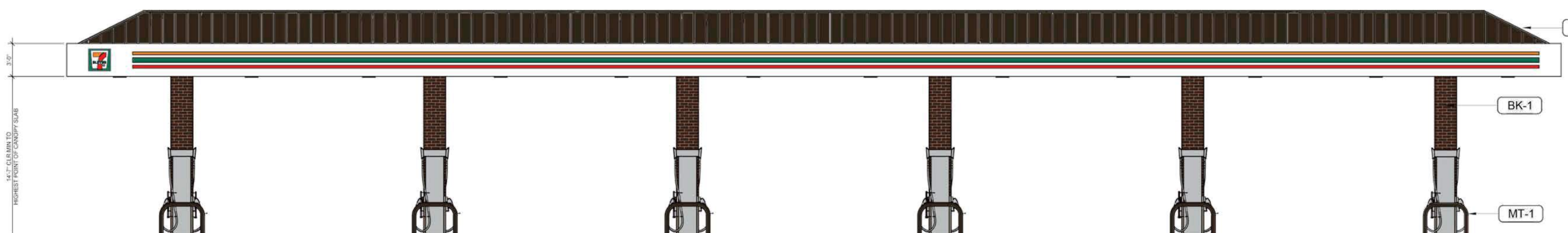
5 WEST/ EAST ELEVATION
1/4" = 1'-0"



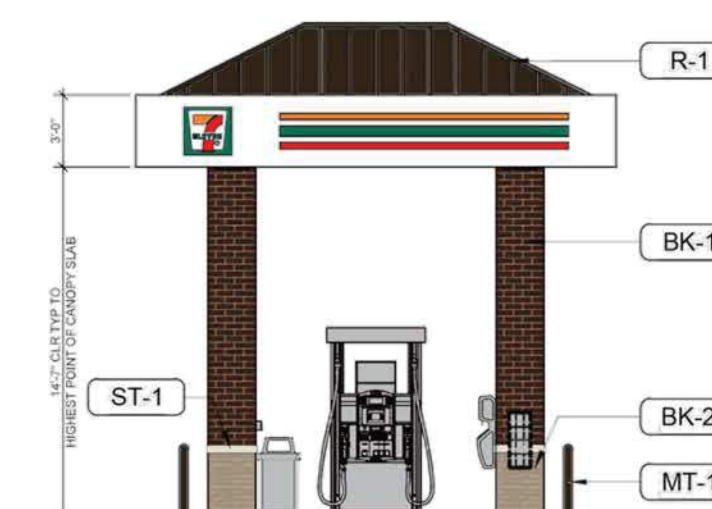
6 SOUTH ELEVATION
1/4" = 1'-0"



7 NORTH ELEVATION
1/4" = 1'-0"




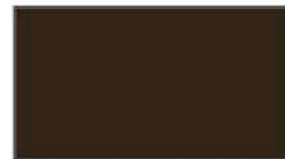



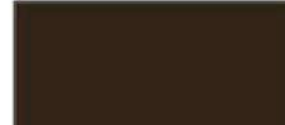


8 GAS CANOPY FRONT ELEVATION
1/8" = 1'-0"



9 GAS CANOPY SIDE ELEVATION
1/8" = 1'-0"

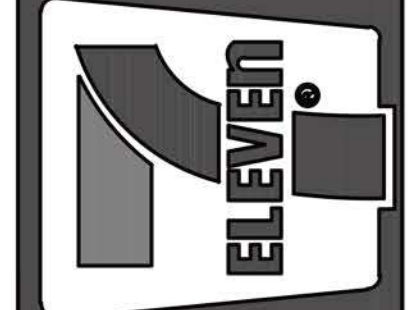
MATERIAL LEGEND

BK-1	ACME BRICK QUORUM	
BK-2	ACME BRICK DOVE GRAY	
ST-1	CAST STONE AUTUMN	
MT-1	METAL DARK BRONZE	
P-1	SHERWIN WILLIAMS - TO MATCH ST-1	
P-3	SHERWIN WILLIAMS - SEAL SKIN SW 7675	
EFS-1	EIFS PAINTED COLOR TO MATCH ST-1	
R-1	STANDING SEAM METAL ROOFING - PREFINISHED DARK BRONZE METAL	

7-ELEVEN, INC.

7-11 #36436
SWC FM-2181 & FM-2499
CORINTH, TX

PRESENTATION SHEET



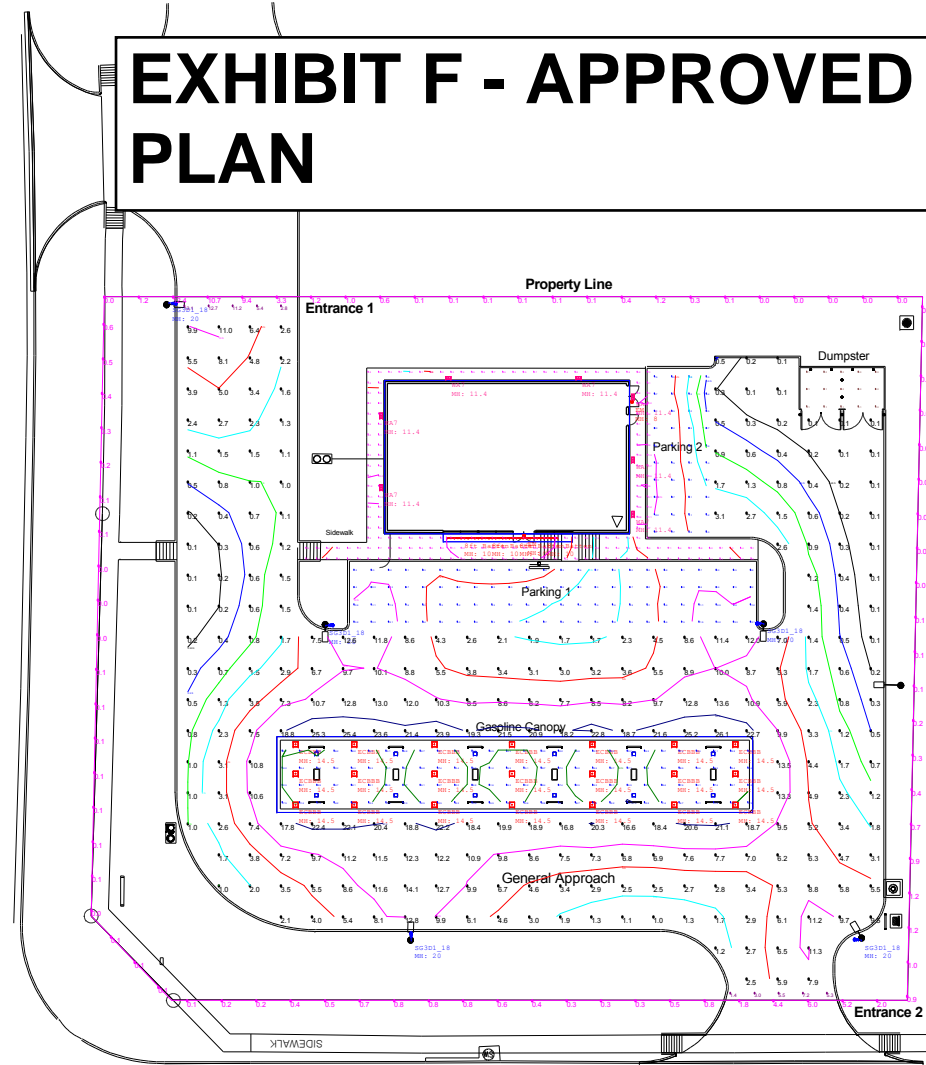
Job#:	14-695
Scale:	AS NOTED
Date:	07/06/17
Drawn By:	LM
Checked By:	AM

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SHEET:
PR1

EXHIBIT F - APPROVED 7-Eleven SITE PLAN



Luminaire Schedule							
Symbol	Qty	Label	Description	Lum. Lumens	Lum. Watts	LLF	Filename
	4	9ft Beltten		N.A.	1,000	N.A.	
□	21	ECBBB	ECBBB05F5501AWHITE	8110	64	1.000	ECBB B5F550 tcm201-100252.IES
+	2	EM	LEDPRS-BR-CL (Phillips)	32	20	0.010	EM-AGI32.ies
→	5	SG3D1 18	1-ERS2-0-G3-D1-1-50-1- Color	19900	257	1.000	GE456727.IES
□	7	WA7	EWS20A7E150-DKBZ	3100	29	1.000	EWS2 A7E150 -120-277V tcm201-97405.IES

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Dumpster	Illuminance	Fc	0.05	0.1	0.0	N.A.
Entrance 1	Illuminance	Fc	9.04	13.1	2.8	3.23
Entrance 2	Illuminance	Fc	4.46	7.2	1.4	3.20
Gasoline Canopy	Illuminance	Fc	31.70	40.2	19.1	1.66
General Approach	Illuminance	Fc	6.22	26.1	0.1	62.20
Parking 1	Illuminance	Fc	5.80	13.8	1.4	9.86
Parking 2	Illuminance	Fc	5.29	10.3	0.4	13.23
Property Line	Illuminance	Fc	0.92	12.4	0.0	N.A.
Sidewalk	Illuminance	Fc	7.59	17.2	1.3	5.84

CALCULATION ZONES	
ZONE FC AVG SPEC	
Entrances 10 FC AVG	
Air Plane 10 FC AVG	
Gasoline Canopy 30 FC AVG	
Dumpster 10 FC AVG	
Parking 10 FC AVG	
General Approach 3 FC AVG	
Sidewalk NO SPEC	
Property Line NO SPEC	

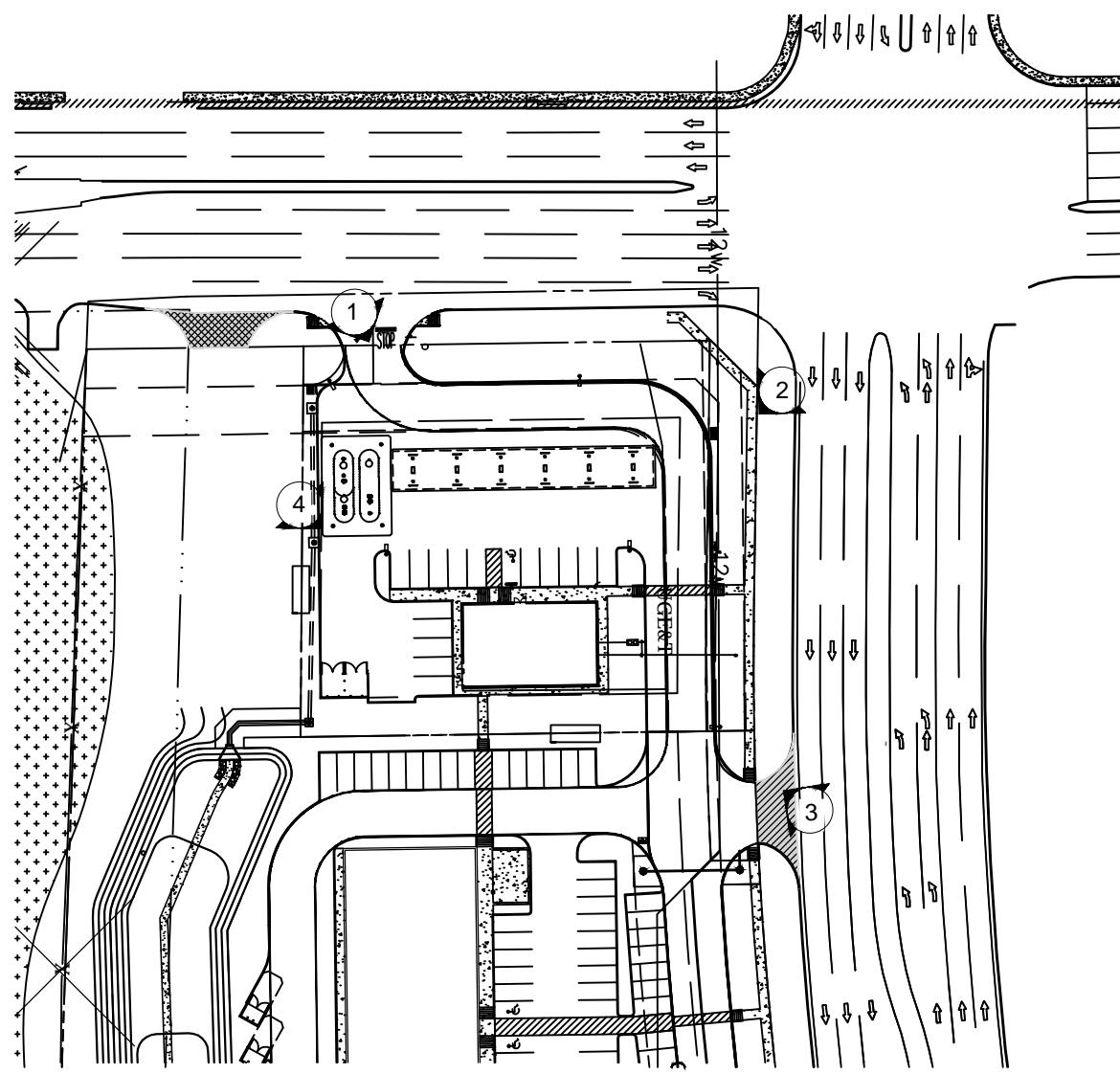


1 RENDERING - VIEW FROM EAST
NTS



2 RENDERING - VIEW FROM FM-2181
NTS

EXHIBIT F - APPROVED 7-Eleven SITE
PLAN



5 SITE
NTS

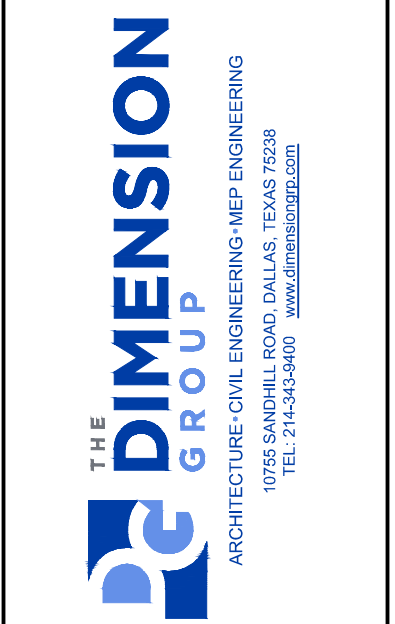
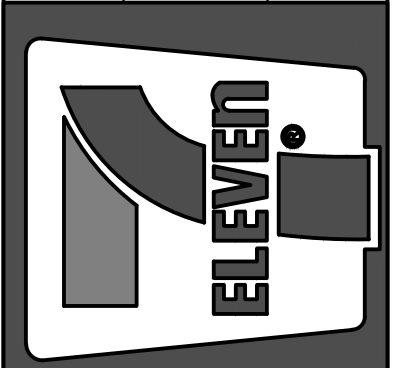


3 RENDERING - VIEW FROM FM-2181 & FM-2499
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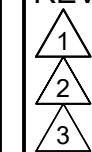


4 RENDERING - VIEW FROM FM-2499
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REVISIONS:


 TITLE:
**EXHIBIT G -
 ELEVATIONS**

 KIOSK PROTOTYPE:
 4.1.4 STRAIGHT PROTOTYPE

 DATE:
 10/05/2023
 PROJECT NO.
 23.1644

☒ PERMIT/BID SUBMITTAL
☐ CONSTRUCTION ISSUE

SHEET NO.

01

CASE No: ZAPD23-0005

MATERIALPERCENTAGES		
TOTAL WALL AREA	723 SQ. FT.	
FIRST FLOOR AREA	446 SQ. FT.	
STUCCO	236 SQ. FT.	33%
THIN BRICK	424 SQ. FT.	59%
METAL COPING	13 SQ. FT.	2%
GLAZING PERCENTAGE		
FIRST FLOOR GLAZING	39 SQ. FT.	6%

3 SIDE EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"

KEYNOTES

1. STUCCO - COLOR TO MATCH 152 ANTHRACITE COAL
2. BRICK VENEER SMOOTH FINISH, EQUAL TO MUTUAL MATERIALS, COLOR: SLIMBRICK WHEAT, SMOOTH FINISH
3. STUCCO CONTROL JOINT, SEE 5/A3.4
4. STUCCO TRIM ACCENTS. COLOR TO MATCH 152 ANTHRACITE COAL
5. INSULATED DARK BRONZE ALUMINUM WINDOWS WITH DUAL PANE TEMPERED GLASS
6. QUICKSERV 48x48 WINDOW, COLOR: DARK BRONZE
7. AWNING BY OTHERS - COLOR: RED
8. INSULATED HOLLOW METAL DOOR AND FRAME, COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
9. WIDE ANGLE PEEP HOLE, BY DOOR MANUFACTURER
10. NOT USED
11. 22 GAUGE METAL PARAPET CAP
12. LINE OF ROOF BEYOND
13. AIR CONDENSER, SEE MECHANICAL DRAWINGS
14. ROOF SCUPPER AND DOWNSPOUT, SEE DETAIL B/A3.4
15. MAILBOX BY GC BLACK
16. WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
17. LED LIGHT BAND, SEE ELECTRICAL DRAWINGS
18. SES PANEL, SEE ELECTRICAL DRAWINGS
19. ELECTRICAL OUTLETS, SEE ELECTRICAL DRAWINGS
20. HOSE BIBB, SEE PLUMBING DRAWINGS
21. PROPOSED SIGNAGE BY OTHERS, UNDER SEPARATE PERMIT
22. CONNECT DOWNSPOUTS TO UNDERGROUND PIPING, REF. CIVIL
23. SPANDREL GLASS
24. NEW SECURITY CAMERA
25. CUSTOMER PROVIDED SIGN PANELS. PANELS TO BE MOUNTED TO FASCIA BY GC (WHEN PROVIDED) IN CUSTOMER SPECIFIED LOCATION USING PROPER HARDWARE AND FASTENERS (NON-CORROSIVE)

4 REAR EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"

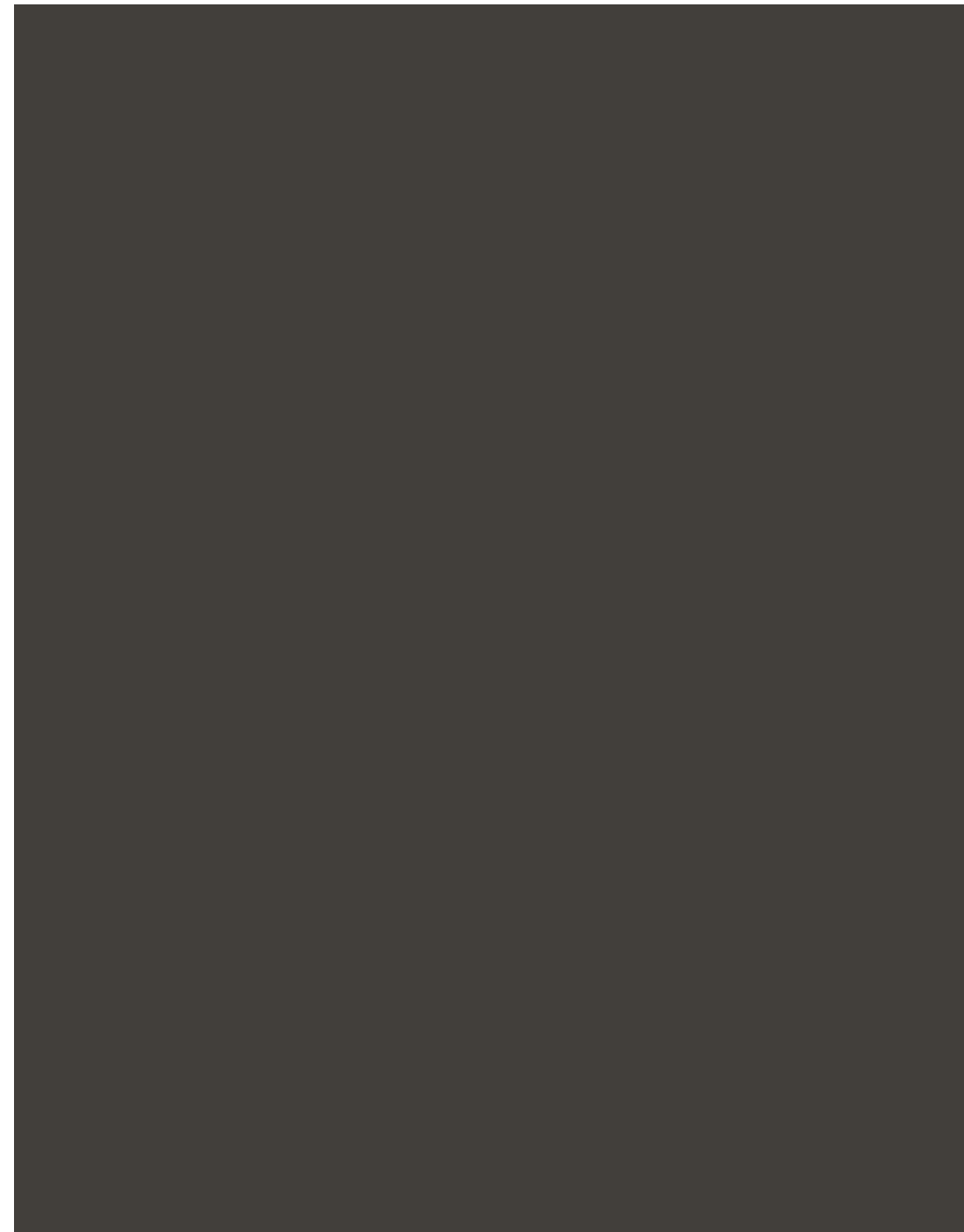
1 FRONT EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"

2 SIDE EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"

MATERIALPERCENTAGES		
TOTAL WALL AREA	723 SQ. FT.	
FIRST FLOOR AREA	446 SQ. FT.	
STUCCO	236 SQ. FT.	33%
THIN BRICK	424 SQ. FT.	59%
METAL COPING	13 SQ. FT.	2%
GLAZING PERCENTAGE		
TRANSPARENT FIRST FLOOR GLAZING	39 SQ. FT.	6%



STUCCO
"152 ANTHRACITE COAL"



MUTUAL MATERIALS BRICK VENEER,
SMOOTH FINISH "SLIMBRICK WHEAT"

FINISH LEGEND		
Exterior Finish	Stucco	152 Anthracite Coal
Exterior Finish	Brick Veneer, Smooth Finish	Smooth Finish, Equal to Mutual Materials "Slimbrick Wheat"
Exterior Finish	Anodized Aluminum	Dark Bronze
Exterior Finish	Insulated Hollow Metal Door and Frame	Painted to match Sherwin Williams "Inkwell" SW 6992, Eggshell Finish
Exterior Accents	Stucco	152 Anthracite Coal
Canopy/ Awning	Sunbrella Fabric	"



DARK BRONZE ALUMINUM



SUNBRELLA "LOGO RED"



SHERWIN WILLIAMS "INKWELL"





Village Pkwy & Leasley
Corinth, TX, 76210

Corinth, IX, 76210



3 MAIN STREET, SUITE 300
F. WORTH, TX 76102
7.820.0433
www.roguearchitects.com

SEAL

THIS DRAWING IS A DESIGN
DEVELOPMENT DOCUMENT.
SITE SPECIFIC MODIFICATIONS
MADE UNDER THE RESPONSIBLE
CHARGE OF THE ARCHITECT
AND/OR ENGINEER-OF-RECORD
WILL BE REQUIRED PRIOR TO
USING THIS DOCUMENT FOR
BIDDING, PERMITTING, OR
CONSTRUCTION.

ACADE PLAN: 09/06/2023

CONTRACTOR SHALL VERIFY ALL
CONDITIONS AND DIMENSIONS AT THE
JOB SITE AND NOTIFY THE ARCHITECT
OF ANY DIMENSIONAL ERRORS,
OMISSIONS OR DISCREPANCIES BEFORE
BEGINNING OR FABRICATING ANY WORK.
DO NOT SCALE DRAWINGS.

[illegible]

PROJECT INFORMATION

PROJECT NO:	14
ORIGINAL ISSUE:	09/01/200
SCALE:	AS NOTED
DRAWN BY:	S. PAWELSKI
CHECKED BY:	J. JEFFERSON

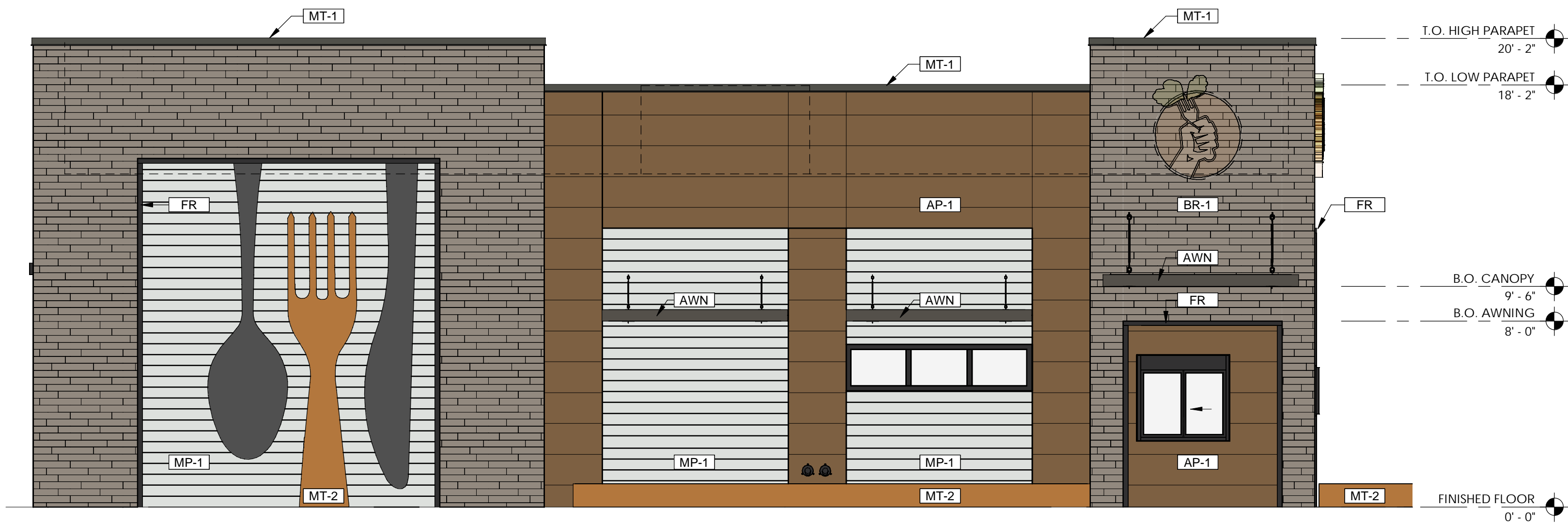
SHEET TITLE

FACADE PLAN

SHEET NUMBER

FP001

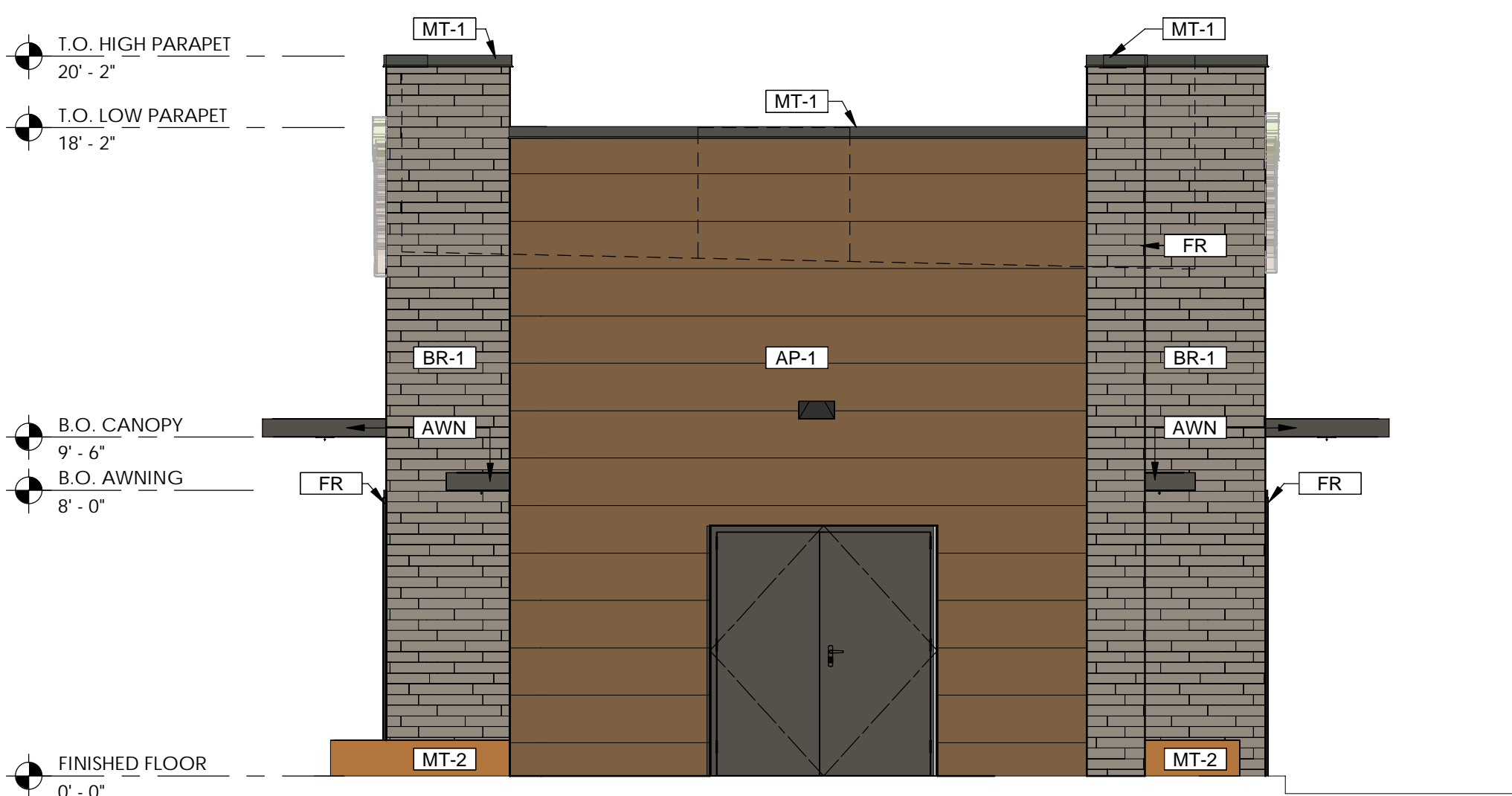
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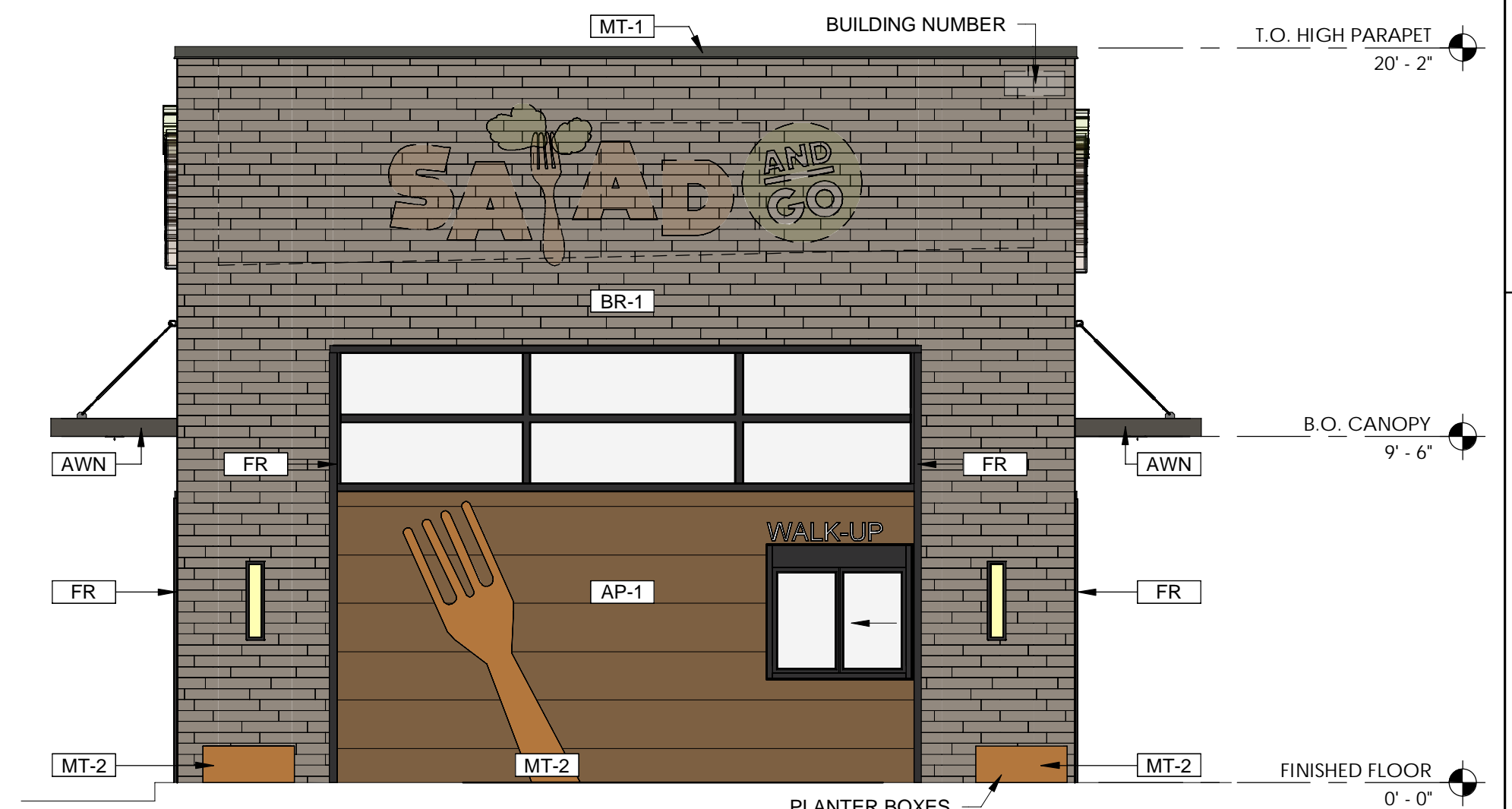
1 | DRIVE THRU ELEVATION - WEST
1/4" = 1'-0"




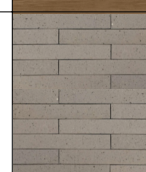

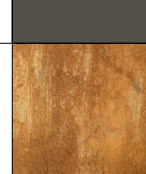

3 | WALK-UP ELEVATION - EAST
1/4" = 1'-0"

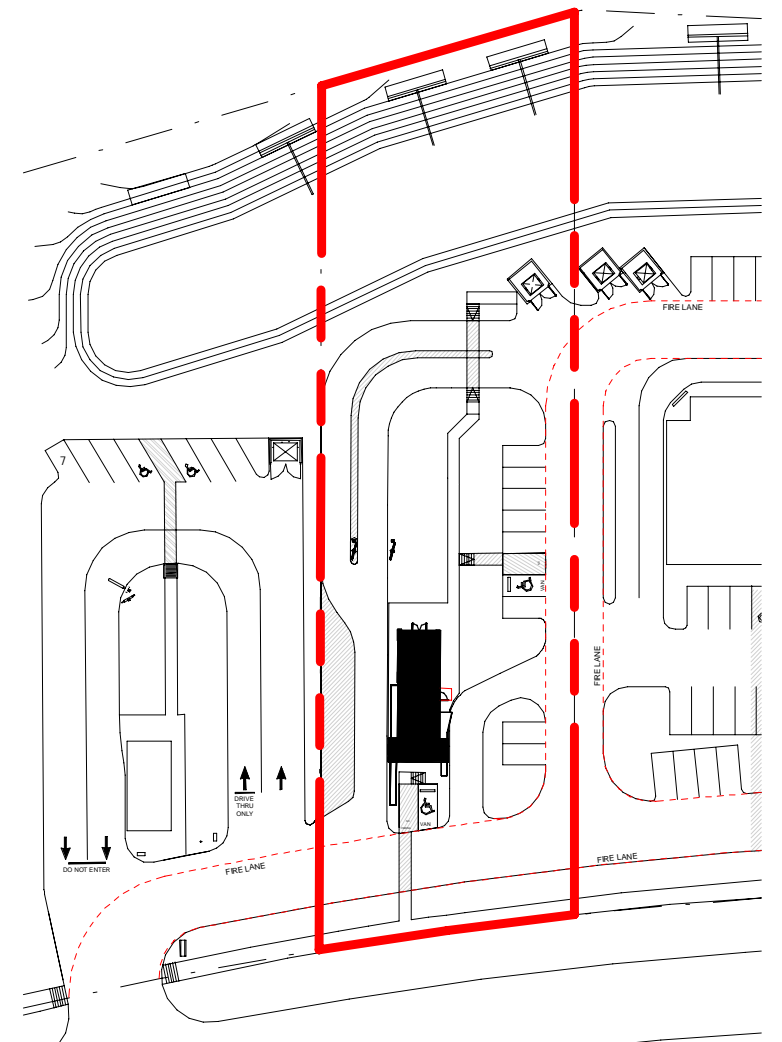


4 | REAR ELEVATION - NORTH
1/4" = 1'-0"



2 | FRONT ELEVATION - SOUTH
1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE			
MARK	MATERIAL	DESCRIPTION	
AP-1	ARCHITECTURAL PANELS	PRODUCT: NICHINA ARCHITECTURAL WALL PANELS - WOOD SERIES - EFC762F FINISH: VINTAGE WOOD COLOR: CEDAR	
BR-1	THIN BRICK	PRODUCT: INTERSTATE BRICK - THIN MODULAR FINISH: MATTE MORTAR: WHITE COLOR: PLATINUM	
MP-1	METAL PANELS	PRODUCT: BERRIDGE HS-8 PANEL 24 GAUGE, WITHOUT GROOVES. FINISH: FACTORY FINISH COLOR: SHASTA WHITE	
MT-1	METAL COPING	COLOR: SW-7048 URBANE BRONZE	
MT-2	DECORATIVE METAL	PRODUCT: CORTEN STEEL - FLAT SHEET FINISH: RUSTED STEEL COLOR: PATINA VARIES	
AWN	AWNING	FINISH: STEEL COLOR: SW-7048 URBANE BRONZE	
FR	FRAME	FINISH: STEEL COLOR: SW-7048 URBANE BRONZE	



5 | KEY SITE PLAN
1" = 80'-0"

FACADE PLAN NOTES

- THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
- ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE ZONING ORDINANCE WHEN PERMITTED. EXPOSED UTILITY BOXES AND CONDUNTS SHALL BE PAINTED TO MATCH THE BUILDING
- ALL ELEVATIONS AND LOCATIONS ARE SUBJECT TO APPROVAL BY DEVELOPMENT SERVICES
- ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL

CASE No. ZAPD23-0005

**RESTAURANT WITH DRIVE-THRU
CORINTH 2499 CORNERS,
LOT 4, PD-55**

PREPARATION DATE: SEPTEMBER 1st, 2023

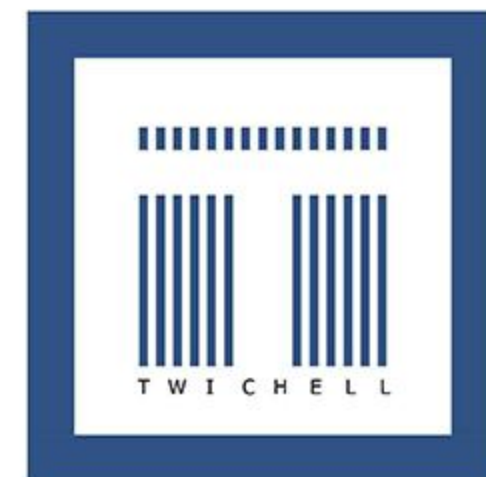
ARCHITECT:
ROGUE ARCHITECTS
513 MAIN STREET, STE 300
FORT WORTH, TX 76102
817-820-0433
JOSEPH JEFFERY

OWNER:
SALAD AND GO
5555 EAST VAN BUREN STREET
PHOENIX, AZ 85008
504-432-3611
ANDY HULSEY

ENGINEER:
QUIDDITY ENGINEERING
4500 MERCENTILE PLAZA DRIVE
SUITE 210
FORT WORTH, TX 76137
682-268-2207
RYAN J. ALCALA, PE

APPLICANT

MATERIAL CALCULATION										
	FRONT		DRIVE THRU		WALK UP		REAR		TOTAL	
MATERIAL	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%
TOTAL ELEVATION AREA	482	100	1103	100	1065	100	466	100	3116	100
NON-GLAZED DOORS AND WINDOWS	0	0	0	0	28	3	45	11	73	2
GLAZED DOORS AND WINDOWS	71	15	39	4	15	1	0	0	125	4
TOTAL (GLAZED/NON-GLAZED DOORS AND WINDOWS)	411	100	1064	100	1022	100	421	100	2918	100
ARCHITECTURAL PANEL	107	74	305	28	592	56	250	54	1254	40
THIN BRICK	304	26	388	35	140	13	171	37	1003	34
METAL PANEL	0	0	371	35	290	27	0	0	661	23



MICHAEL F. TWICHELL, L.P.
ARCHITECTS • PLANNING
INTERIORS

3624 OAK LAWN AVENUE, SUITE 320
DALLAS, TEXAS 75219
OFFICE: 214-521-3066

CORINTH CORNERS

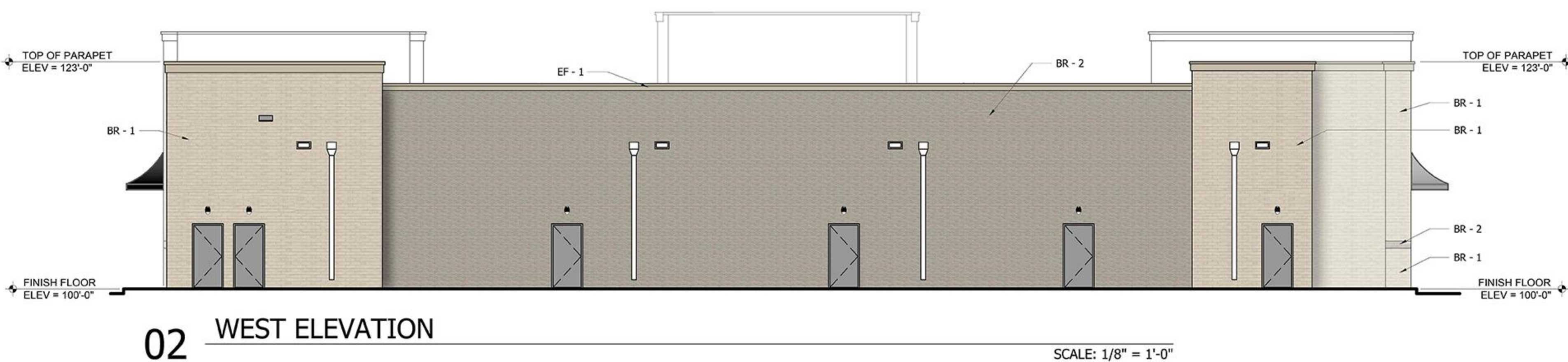
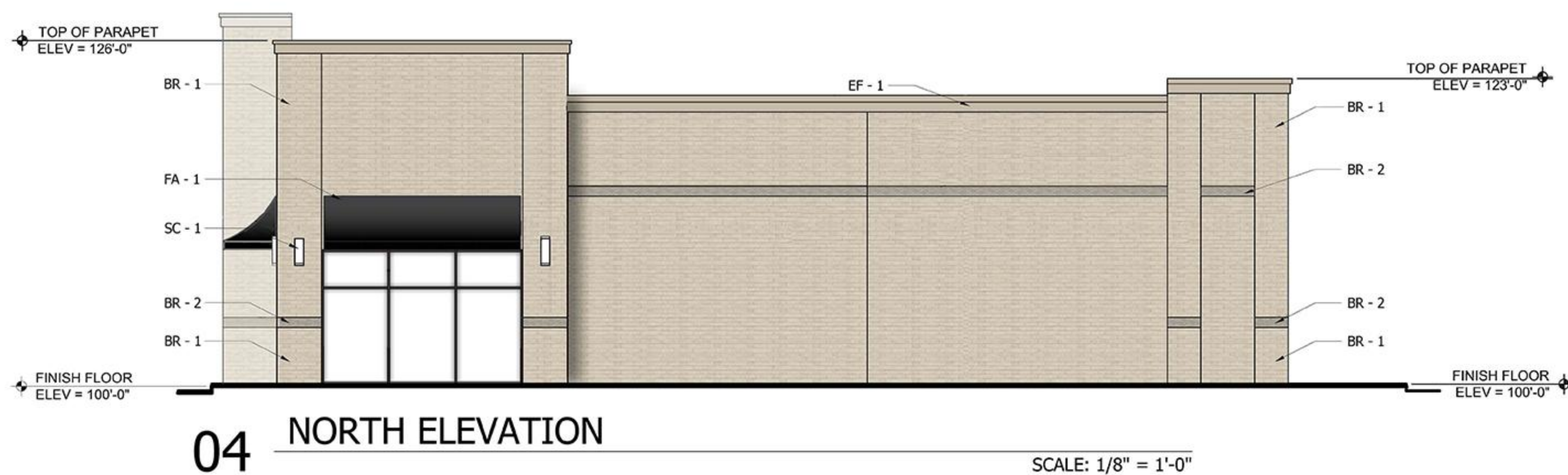
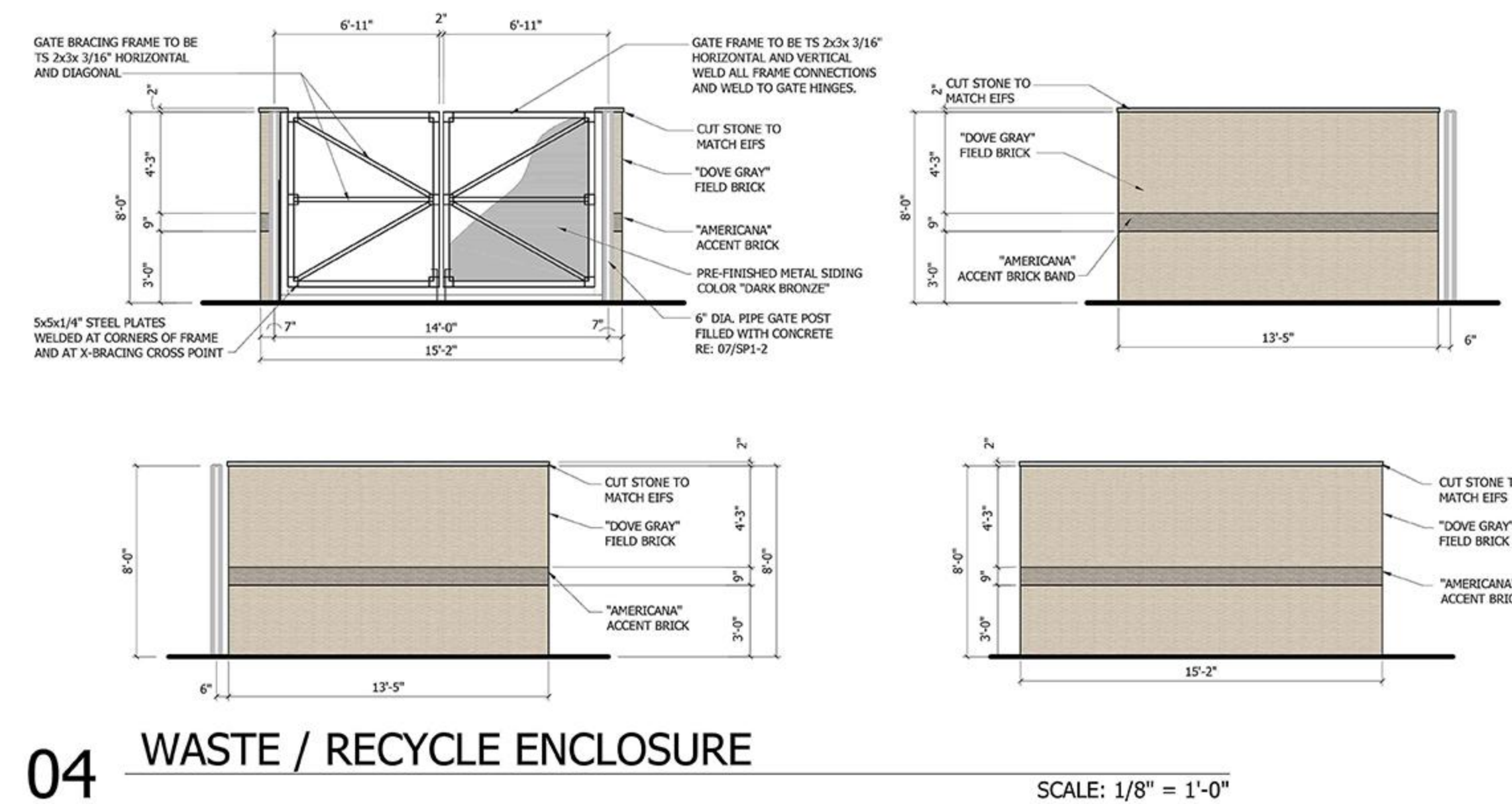
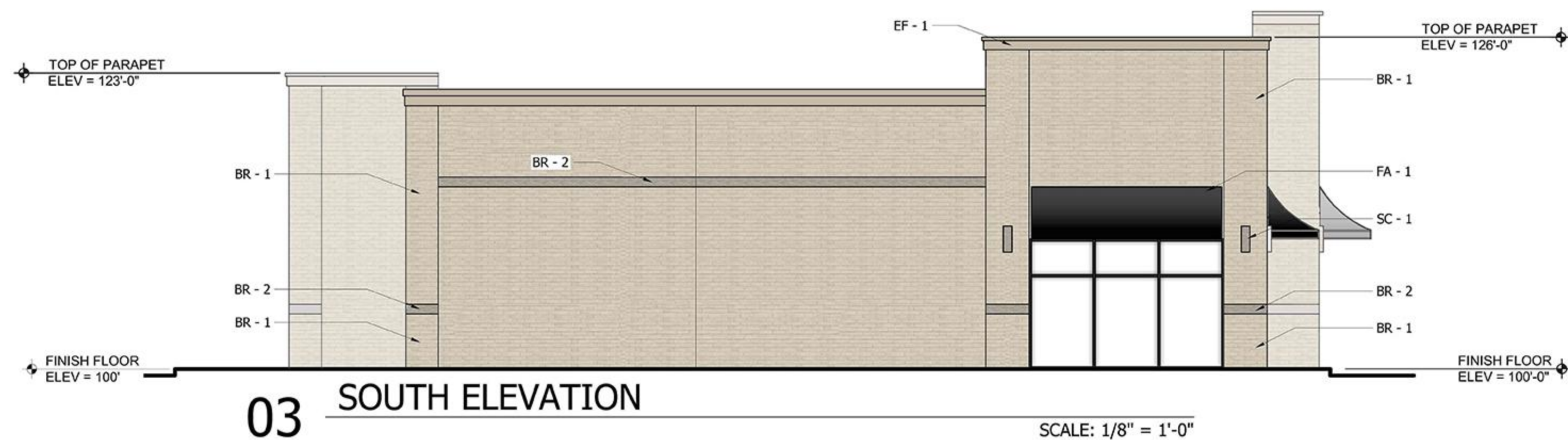
CORINTH, TEXAS 75219

SOUTH FORNEY

SCALE: 1/8" = 1'-0"

REV	DATE	DESCRIPTION

PROJECT NO:
SHEET



FINISH SCHEDULE

EXTERIOR FINISHES	
BR-1	FIELD BRICK - "DOVE GREY" BY ACME - KING SIZE
BR-2	ACCENT BRICK - "AMERICAN" BY ACME - KING SIZE
EF-1	LIMESTONE FINISH EIFS - "#456 OYSTER SHELL" BY DRYVIT - SANDBLAST
AWNINGS	
FA-1	FABRIC AWNING - "BLACK" BY SUNBRELLA
LIGHTING	
SC	27" SCONCE LIGHT FIXTURE BY EVERGREEN LIGHTING LED - BOTTOM OF LIGHT FIXTURE 8'-6" A.F.F.
GL	SNX 51/23 BY GUARDIAN SUNGUARD

EAST ELEVATION TABULATIONS

MATERIAL	AREA	PERCENT
BRICK	1,503 SF.	90.1 %
EIFS	165 SF.	9.8 %
TOTAL	1,668 SF.	100 %
MASONRY CONSTRUCTION	1,503 SF.	90.1 %

WEST ELEVATION TABULATIONS

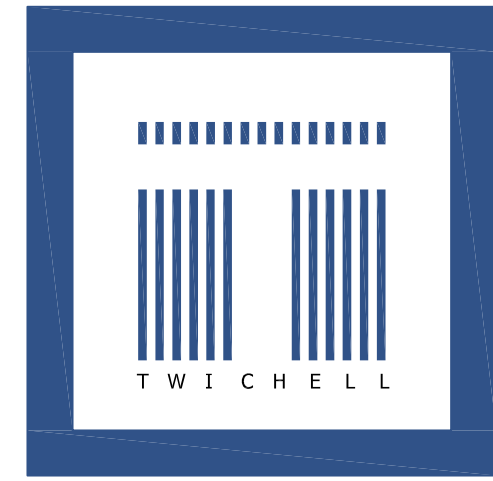
MATERIAL	AREA	PERCENT
BRICK	2,479 SF.	96.1 %
EIFS	102 SF.	3.9 %
TOTAL	2,581 SF.	100 %
MASONRY CONSTRUCTION	2,479 SF.	96.1 %

NORTH ELEVATION TABULATIONS

MATERIAL	AREA	PERCENT
BRICK	1,466 SF.	94.2 %
EIFS	90 SF.	5.7 %
TOTAL	1,556 SF.	100 %
MASONRY CONSTRUCTION	1,466 SF.	94.2 %

SOUTH ELEVATION TABULATIONS

MATERIAL	AREA	PERCENT
BRICK	1,466 SF.	94.2 %
EIFS	90 SF.	5.7 %
TOTAL	1,556 SF.	100 %
MASONRY CONSTRUCTION	1,466 SF.	94.2 %



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INTERIORS

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DALLAS, TEXAS 75219
OFFICE: 214-521-3066

CORINTH
SOUTHSIDE
HOLDINGS
L.L.C.

4622 Maple Ave.
Dallas, Texas 75219

CORINTH
CORNERS

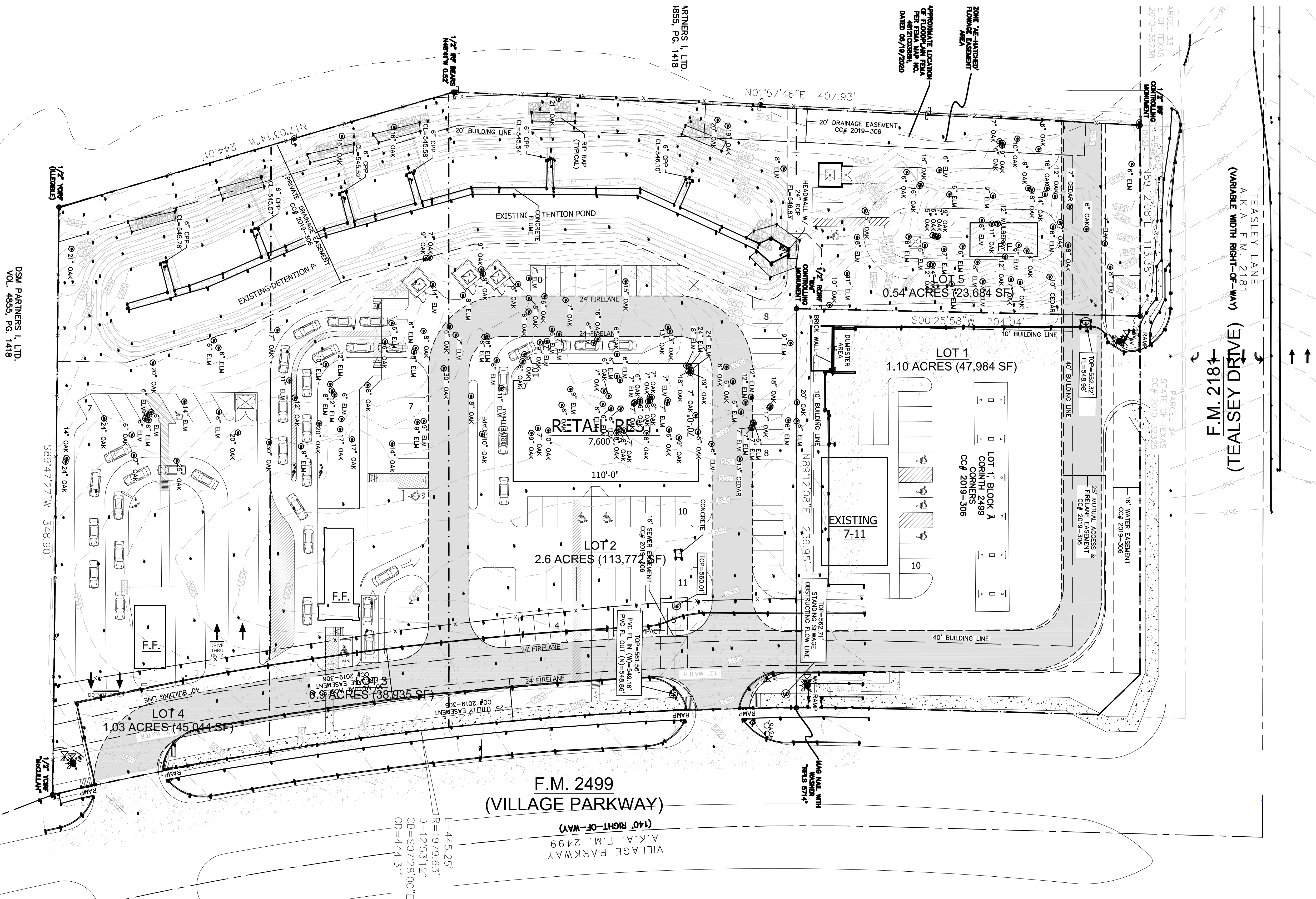
SOUTHWEST CORNER OF
VILLAGE PARKWAY AND
TEASLEY LANE

EXHIBIT H - TREE SURVEY

SCALE: 1" = 30'-0"		
REV	DATE	DESCRIPTION
	08/31/23	

PROJECT NO: ZAPD23-0005
SHEET

CP - 2



LOT 5 TABULATION	
ZONING:	C-2, PD-SS
PROPOSED USE:	RESTAURANT
LOT AREA:	0.5 ACRES (47,984 SF)
BUILDING HEIGHT:	1 STORY
BUILDING AREA:	800 SF
PARKING USE:	RESTAURANT: 800 SF @ 1:150 = 8 SPACES
TOTAL PARKING REQUIRED:	6 SPACES
TOTAL PARKING PROVIDED:	7 SPACES
HANDICAPPED PARKING REQUIRED:	1 SPACES
HANDICAPPED PARKING PROVIDED:	1 SPACES

LOT 4 TABULATION	
ZONING:	C-2, PD-SS
PROPOSED USE:	RESTAURANT
LOT AREA:	1.03 ACRES (45,044 SF)
BUILDING HEIGHT:	1 STORY
BUILDING AREA:	850 SF
PARKING USE:	RESTAURANT: 850 SF @ 1:150 = 5 SPACES
TOTAL PARKING REQUIRED:	6 SPACES
TOTAL PARKING PROVIDED:	7 SPACES
HANDICAPPED PARKING REQUIRED:	1 SPACES
HANDICAPPED PARKING PROVIDED:	2 SPACES

LOT 3 TABULATION	
ZONING:	C-2, PD-SS
PROPOSED USE:	RESTAURANT
LOT AREA:	0.9 ACRES (38,935 SF)
BUILDING HEIGHT:	1 STORY
BUILDING AREA:	1,000 SF
PARKING USE:	RESTAURANT: 1,000 SF @ 1:150 = 10 SPACES
TOTAL PARKING REQUIRED:	7 SPACES
TOTAL PARKING PROVIDED:	11 SPACES
HANDICAPPED PARKING REQUIRED:	1 SPACES
HANDICAPPED PARKING PROVIDED:	2 SPACES

LOT-2 SITE TABULATION	
ZONING:	C-2, PD-SS
PROPOSED USE:	RETAIL/REST.
LOT AREA:	2.6 ACRES (113,772 SF)
BUILDING HEIGHT:	1 STORY
BUILDING AREA:	7,600 SF
PARKING USE:	RESTAURANT: 7,600 SF @ 1:150 = 51 SPACES
TOTAL PARKING REQUIRED:	51 SPACES
TOTAL PARKING PROVIDED:	56 SPACES
HANDICAPPED PARKING REQUIRED:	2
HANDICAPPED PARKING PROVIDED:	2

Traffic Impact Analysis

Project Name: Corinth Corners

Threshold Worksheet

The City of Corinth's Unified Development Code provides that a Traffic Study may be required with preliminary plat applications. *If the proposed development exceeds one or more of the three threshold criteria listed below, a traffic study will be required to be submitted with the preliminary plat application.* Otherwise, for projects that do not exceed any of the three criteria, a Traffic Study Threshold Worksheet must be submitted and approved by the City's Engineer *prior to submittal* of the preliminary plat application. Please describe in detail your evaluation of each criteria listed below. Additional sheets may be attached if necessary.

Criteria #1: The development exceeds parking 100 spaces average per driveway.

The revised site plan consists of an existing C-store, one 7,600 SF building for undefined commercial, two 1,000 SF fast food restaurants with drive-through, and a 850 SF coffee shop. The site has two accesses to FM 2499 and one access to FM 2181. The site plan for shows 68 parking spaces so Criteria 1 is not met.

Criteria #2: Any driveway or roadway in the development is projected to serve 1000 or more vehicles per day.*


The fast-food restaurants will see daily trips of 934 vpd, the coffee shop has one drive-through lane and will see 179 daily trips, the 7,600 SF retail building will see 414 vpd, and the existing C-store has twelve pumps which will see 2750 vpd. This totals 4277 vpd spread over three driveways so Criteria 2 is met.

Criteria #3: Any driveway in the development is projected to serve 100 ingress vehicles or more in the design hour.*

The highest peak hour is the AM peak. The fast food restaurants are projected to see 44 entering trips, the coffee shop will see 20 AM trips, the retail building will see 11 entering trips, and the existing C-store will see 97 AM trips. This totals 172 vph spread over three driveways so Criteria 3 is not met.

* Unless approved otherwise, trip generation rates should be based on the most recent edition of the Institute of Transportation Engineers (ITE) *Trip Generation Manual*.

I hereby certify that this project does not exceed any of the three threshold criteria shown above and therefore the development would not warrant a Traffic Study in accordance with Section 3.05.04.(D) Traffic Impact Analysis of the Unified Development Code of the City of Corinth.



 Design Engineer's Signature
 Scott Israelson, #116712

11/02/2023

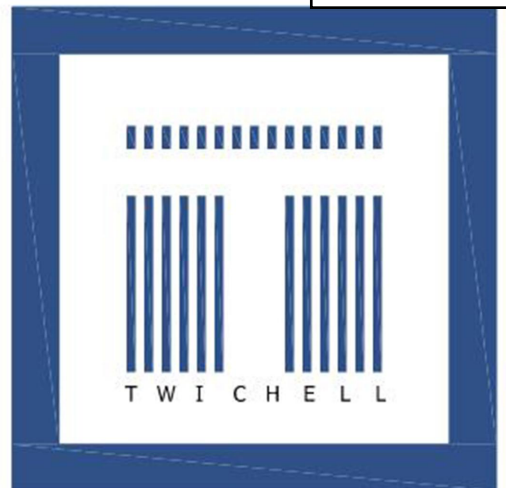
 Date

 Print Name & License Number
 Traffic Impact Group LLC, #16210

 Firm & Registration Number

For City Use Only: The requirement for a Traffic Study with this submittal is hereby waived:

Name: _____
 Title: _____ Date: _____



MICHAEL F. TWICHELL, L.P.
ARCHITECTS • PLANNING
INTERIORS

3624 OAK LAWN AVENUE, SUITE 320
DALLAS, TEXAS 75219
OFFICE: 214-521-3066

CORINTH
SOUTHSIDE
HOLDINGS
L.L.C.

4622 Maple Ave.
Dallas, Texas 75219

CORINTH
CORNERS

SOUTHWEST CORNER OF
VILLAGE PARKWAY AND
TEASLEY LANE

EXHIBIT E -
CONCEPTUAL
LANDSCAPE
PLAN

SCALE: 1" = 30'-0"

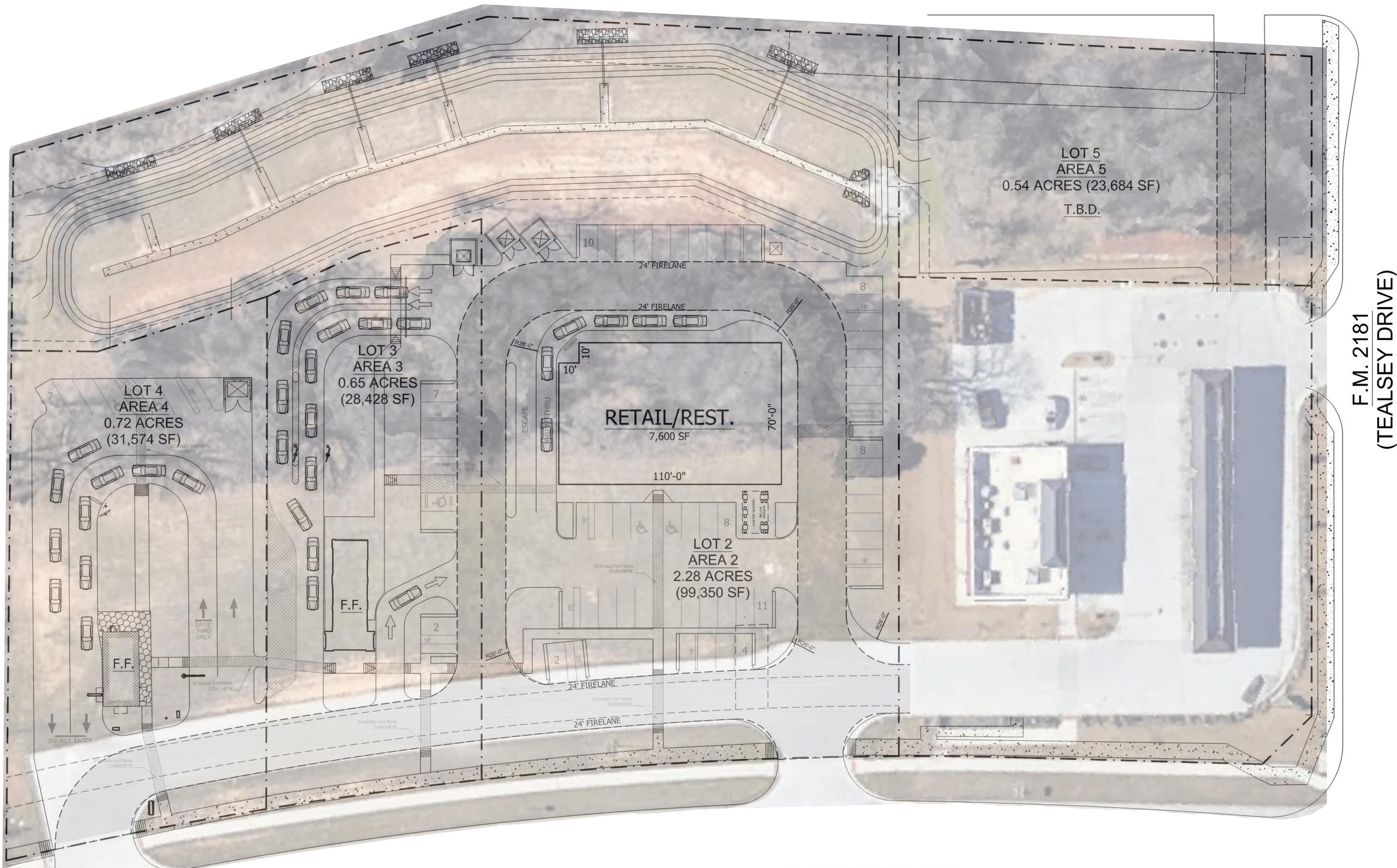
REV	DATE	DESCRIPTION

CASE NO. ZAPD23-0005
SHEET

LSCP V3



NORTH



LOT 5 TABULATION	
ZONING:	C-2, PD-55
PROPOSED USE:	T.B.D.
LOT AREA:	0.5437 ACRES (23,684 SF)
BUILDING HEIGHT:	N/A
BUILDING AREA:	T.B.D.
PARKING USE:	N/A
TOTAL PARKING REQUIRED:	N/A
TOTAL PARKING PROVIDED:	N/A
HANDICAPPED PARKING REQUIRED:	N/A
HANDICAPPED PARKING PROVIDED:	N/A



LOT 4 TABULATION	
ZONING:	C-2, PD-55
PROPOSED USE:	RESTAURANT
LOT AREA:	0.72 ACRES (31,574 SF)
BUILDING HEIGHT:	1 STORY
BUILDING AREA:	850 SF
PARKING USE:	RESTAURANT 700 SF @ 1:100 = 7 SPACES
TOTAL PARKING REQUIRED:	7 SPACES
TOTAL PARKING PROVIDED:	10 SPACES
HANDICAPPED PARKING REQUIRED:	1 SPACES
HANDICAPPED PARKING PROVIDED:	2 SPACES

LOT 3 TABULATION	
ZONING:	C-2, PD-55
PROPOSED USE:	RESTAURANT
LOT AREA:	0.65 ACRES (28,428 SF)
BUILDING HEIGHT:	1 STORY
BUILDING AREA:	1,000 SF
PARKING USE:	RESTAURANT 1,000 SF @ 1:150 = 10 SPACES
TOTAL PARKING REQUIRED:	7 SPACES
TOTAL PARKING PROVIDED:	9 SPACES
HANDICAPPED PARKING REQUIRED:	1 SPACES
HANDICAPPED PARKING PROVIDED:	2 SPACES

LOT-2 SITE TABULATION	
ZONING:	C-2, PD-55
PROPOSED USE:	RETAIL/REST.
LOT AREA:	2.28 ACRES (99,350 SF)
BUILDING HEIGHT:	1 STORY
BUILDING AREA:	7,600 SF
PARKING USE:	RETAIL: T.B.D. RESTAURANT: 7,600 SF @ 1:150 = 51
TOTAL PARKING REQUIRED:	51 SPACES
TOTAL PARKING PROVIDED:	51 SPACES
HANDICAPPED PARKING REQUIRED:	2
HANDICAPPED PARKING PROVIDED:	2

Proposed Zoning Change

PD-55 Amendment -
Corinth Corners (ZAPD23-0005)

-  Area to be Rezoned
-  200 ft Buffer



0 67.5 135
Feet

1 inch equals 135 feet



This map is the property of the City of Corinth, and is not to be reproduced by any means, mechanical or digital, without written consent of the City. This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of boundaries.



**7-ELEVEN
PLANNED DEVELOPMENT NO. 55
BASE ZONING DISTRICT: C-2 COMMERCIAL
ORDINANCE NO. 18-02-15-07
(ADOPTED 2-15-2018)**

City of Corinth ▪ 3300 Corinth Parkway ▪ Corinth, Texas 76208
940-498-3200 ▪ www.cityofcorinth.com

ORDINANCE NO. 18-02-15-07**7-11 PLANNED DEVELOPMENT DISTRICT**

AN ORDINANCE AMENDING THE COMPREHENSIVE ZONING ORDINANCE BEING A PART OF THE UNIFIED DEVELOPMENT CODE, BY AMENDING THE ZONING CLASSIFICATION FROM C-2, COMMERCIAL DISTRICT TO PLANNED DEVELOPMENT, COMMERCIAL (C-2) DISTRICT ON 5.299 ACRES OF LAND LEGALLY DESCRIBED AS A TRACT OF LAND, SITUATED IN THE JASPER C. BAKER SURVEY, ABSTRACT NO. 48 IN THE CITY OF CORINTH, DENTON COUNTY, TEXAS, PROVIDING FOR A DESIGN STATEMENT; PROVIDING A LEGAL PROPERTY DESCRIPTION; APPROVING A PLANNED DEVELOPMENT CONCEPT PLAN; PROVIDING FOR A PENALTY NOT TO EXCEED \$2,000; PROVIDING FOR PUBLICATION AND A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Corinth, Texas has adopted Ordinance 13-05-02-08, which adopts a Unified Development Code, which includes the Comprehensive Zoning Ordinance and which, in accordance with the City's Comprehensive Plan, establishes zoning districts and adopts a Zoning Map; and

WHEREAS, the hereinafter described property is zoned as C-2 Commercial District Classification under the City's Unified Development Code and an authorized person having a proprietary interest in the property has requested a change in the zoning classification of said property; and

WHEREAS, the Planning and Zoning Commission of the City of Corinth and the City Council of the City of Corinth, having given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all the property owners generally, and to the persons interested and situated in the affected area and in the vicinity thereof, the City of Corinth City Council is of the opinion that said change in zoning should be made; and

WHEREAS, the City Council considered the following factors in making a determination as to whether the requested change should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the sites; safety from fire hazards and damages; noise producing elements and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street loading spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; effect on the overcrowding of the land; effect on the concentration of population, and effect on transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, the City Council further considered among other things the character of the districts and their peculiar suitability for particular uses and the view to conserve the value of the buildings, and encourage the most appropriate use of the land throughout this City; and

WHEREAS, the City Council finds that the change in zoning promotes the health and the general welfare, provides adequate light and air, prevents the over-crowding of land, avoids undue concentration of population, and facilitates the adequate provision of transportation, water, sewerage, schools, parks and other public requirements; and the general health, safety and welfare of the community;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CORINTH, TEXAS:

SECTION I - LEGAL PROPERTY DESCRIPTION; AMENDMENT

That in accordance with the Unified Development Code, the Zoning Map of the City of Corinth is hereby amended by amending the zoning map of the City of Corinth, Texas on 5.299 acres of land described in "Exhibit A" attached, from C-2 Commercial District to Planned Development C-2 Commercial District.

SECTION II – PLANNED DEVELOPMENT MASTER PLAN

The Concept Plan Exhibits and Concept Design Map collectively, “Planned Development Master Plan” Statement documents approved and described as “Exhibit B” attached hereto and made a part hereof are approved with the following stipulations:

- 1. Approval of a Major Subdivision Waiver for the driveway off of F.M. 2181; and,
- 2. TXDOT permits for all of the driveways off of F.M. 2181 and F.M. 2499.

SECTION III – LAND USE REGULATIONS

- A. The Zoning and Land Use Regulations set forth in “Exhibit C” attached hereto and made a part hereof for all purposes shall be adhered to in their entirety for the purposes of this Planned Development Commercial District. In the event of conflict between the provisions of “Exhibit C” and provisions of any other exhibit, the provisions of “Exhibit C” control.
- B. That the zoning regulations and districts as herein established have been made in accordance with the Comprehensive Plan for the purpose of promoting the health, safety, morals and the general welfare of the community. They have been designed, with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to provide adequate light and air; to prevent over-crowding of land; to avoid undue concentration of population; and to facilitate the adequate provision of transportation, water, sewerage, drainage and surface water, parks and other commercial needs and development of the community. They have been

made after a full and complete hearing with reasonable consideration among other things of the character of the district and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community

- C. If, after two years from the date of approval of the Planned Development Master Plan, no substantial development progress has been made within the PD, then the Planned Development Master Plan shall expire. If the Planned Development Master Plan expires, a new Planned Development Master Plan must be submitted and approved according to the procedures within the Unified Development Code, Planned Development Application and Review. An extension of the two year expiration shall be granted if a development Application for the PD has been submitted and is undergoing the development review process or if the Director of Planning determines development progress is occurring.
- D. The Planned Development Master Plan shall control the use and development of the property, and all building permits and development requests shall be in accordance with the plan until it is amended by the City Council. The property owner shall furnish a reproducible copy of the approved PD Concept Design Map for signature by the mayor and acknowledgement by the City Secretary. The Planned Development Master Plan, including the signed map shall be made a part of the permanent file and maintained by the City Secretary.
- E. If a change to the Site Plan, if any, is requested, the request shall be processed in accordance with the development standards in effect at the time the change is requested for the proposed development.

SECTION IV – PENALTY FOR VIOLATIONS

Any person, firm, or corporation violating any of the provisions of this ordinance shall upon conviction be fined a sum not to exceed two thousand dollars (\$2,000.00); and each and every day that these provisions are violated shall constitute a separate and distinct offense.

SECTION V – SEVERABILITY CLAUSE

If any section, paragraph, clause, phrase or provision of this ordinance shall be adjudged invalid or held unconstitutional, the same shall not affect the validity of this ordinance as a whole, or any part or provision thereof, other than the part so decided to be invalid or unconstitutional.

SECTION VI – EFFECTIVE DATE

This ordinance shall become effective after approval and publication as provided by law.

PASSED AND APPROVED THIS 15th DAY OF FEBRUARY, 2018.



APPROVED:

A blue ink signature of Bill Heidemann, written in a cursive style, positioned above a horizontal line.

Bill Heidemann, Mayor

ATTEST:

A black ink signature of Kimberly Perce, written in a cursive style, positioned above a horizontal line.

Kimberly Perce, City Secretary

APPROVED AS TO FORM:

A black ink signature of Mack Rainward, written in a cursive style, positioned above a horizontal line.

City Attorney

EXHIBIT "A"
LEGAL DESCRIPTION
5.299 ACRE COMMERCIAL TRACT

AREA 1/PROPOSED LOT 1 DESCRIPTION

STATE OF TEXAS §
COUNTY OF DENTON §

BEING a tract of land situated in the JASPER C. BAKER SURVEY, ABSTRACT NO. 48, in the City of Corinth, Denton County, Texas, and being a portion of a tract of land described in deed (Tract 2), to Corinth Retail 2499, LLC as recorded in County Clerk's Instrument No. 2011-13482, Official Public Records, Denton County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod with plastic cap stamped "W.A.I." found for corner on the Southerly end of a corner clip at the intersection of the South right-of-way of Teasley Drive (Farm-to-Market 2181), a variable width right-of-way as established by deed to the State of Texas as recorded in County Clerk's Instrument No. 2010-32325, Official Public Records, Denton County, Texas, with the West right-of-way of Village Parkway (Farm-to-Market 2499), a 140-foot right-of-way established by deed to Denton County as recorded in County Clerk's Instrument No. 2005-99456, Official Public Records, Denton County, Texas;

THENCE South 00 deg 47 min 46 sec West, along the Westerly right-of-way line of said F.M. 2499, a distance of 116.76 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I." found for corner, said iron rod being the beginning of a curve to the left with a radius of 1979.63 feet, a central angle of 01 deg 49 min 12 sec, a chord bearing of South 00 deg 06 min 48 sec East, and a chord length of 62.88;

THENCE along said curve to the left an arc distance of 62.88 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I." found for corner;

THENCE South 89 deg 12 min 08 sec West, departing the Westerly right-of-way line of said F.M. 2499 and over and across said Corinth Retail 2499, LLC tract, a distance of 236.95 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I." found for corner;

THENCE North 00 deg 25 min 58 sec East, continuing over and across said Corinth Retail 2499, LLC tract, a distance of 204.04 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I." found for corner, said iron rod being situated on the Southerly right-of-way line of said F.M. 2181;

THENCE North 89 deg 12 min 08 sec East, along the Southerly right-of-way line of said F.M. 2181, a distance of 212.78 feet to a 1/2-inch iron rod found for corner, said iron rod being the Northwestern corner of said corner clip;

THENCE South 45 deg 03 min 07 sec East, along said corner clip, a distance of 34.08 feet to the POINT OF BEGINNING;

CONTAINING within these metes and bounds 1.102 acres or 47,988 square feet of land, more or less. Bearings shown hereon are based upon an on-the-ground Survey performed in the field on the 17th day of November, 2011, utilizing a G.P.S. measurement (WGS 84) of North 87 deg 11 min 19 sec East (deed-North 87 deg 22 min 15 sec East), along the South right-of-way of Teasley Drive as recorded in County Clerk's Instrument No. 2011-13482, Official Public Records, Denton County Texas.

AREAS 2 AND 3/PROPOSED LOTS 2 AND 3 DESCRIPTION

STATE OF TEXAS §
 COUNTY OF DENTON §

BEING a tract of land situated in the JASPER C. BAKER SURVEY, ABSTRACT NO. 48, in the city of Corinth, Denton County, Texas, and being a portion of a tract of land described in deed (Tract 2), to Corinth Retail 2499, LLC as recorded in County Clerk's Instrument No. 2011-13482, Official Public Records, Denton County, Texas, and being more particularly described as follows:

COMMENCING at a 1/2-inch iron rod with red plastic cap stamped "W.A.I." found for corner on the Southerly end of a corner clip at the intersection of the South right-of-way of Teasley Drive (Farm-to-Market 2181), a variable width right-of-way as established by deed to the State of Texas as recorded in County Clerk's Instrument No. 2010-32325, Official Public Records, Denton County, Texas, with the West right-of-way of Village Parkway (Farm-to-Market 2499), a 140-foot right-of-way established by deed to Denton County as recorded in County Clerk's Instrument No. 2005-99456, Official Public Records, Denton County, Texas;

THENCE South 00 deg 47 min 46 sec West, along the Westerly right-of-way line of said Village Parkway, a distance of 116.76 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I." found for corner, said iron rod being the beginning of a curve to the left having a radius of 1979.63 feet, a central angle of 1 deg 49 min 12 sec, a chord bearing of South 00 deg 06 min 48 sec East, and a chord length of 62.88;

Along said curve to the left an arc distance of 62.88 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I." found for corner, said iron rod being the POINT OF BEGINNING, said iron rod also being the beginning of a curve to the left with a radius of 1979.63 feet, a central angle of 12 deg 53 min 11 sec, a chord bearing of South 07 deg 28 min 00 sec East, and a chord length of 444.31 feet;

THENCE continuing along said curve to the left an arc distance of 445.24 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I." found for corner;

THENCE South 89 deg 47 min 27 sec West, departing the Westerly right-of-way line of said F.M. 2499 along the Southerly line of said Corinth Retail 2499, LLC tract and along a Northerly line of a tract of land belonging to DSM Partners I, LTD, as recorded in County Clerk's Instrument No. 01-56371, a distance of 348.90 feet to a 1/2-inch iron rod with cap stamped "McCullah" found for corner;

THENCE departing the Southerly line of said Corinth Retail 2499, LLC tract along the Westerly line of said Corinth Retail 2499, LLC tract and an Easterly line of said DSM Partners I, LTD tract the following courses and distances;

North 17 deg 03 min 14 sec West, a distance of 244.01 feet to a metal post found for corner;

North 01 deg 57 min 46 sec East, a distance of 407.93 feet to 1/2-inch iron rod with red plastic cap stamped "W.A.I." found for corner, said iron rod being the Northwest corner of said Corinth Retail 2499, LLC tract and being situated on the Southerly right-of-way line of said F.M. 2181;

THENCE North 89 deg 12 min 08 sec East, along the southerly right-of-way line of said F.M. 2181, a distance of 113.37 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I." found for corner;

THENCE South 00 deg 25 min 58 sec West, departing the Southerly line of said F.M. 2181 and over and across said Corinth Retail 2499, LLC tract a distance of 204.04 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I." found for corner;

THENCE North 89 deg 12 min 08 sec East, continuing along over and across said Corinth Retail 2499, LLC a distance of 236.95 feet to the POINT OF BEGINNING;

CONTAINING within these metes and bounds 4.197 acres or 182,829 square feet of land, more or less. Bearings shown hereon are based upon an on-the-ground Survey performed in the field on the 17th day of November, 2011, utilizing a G.P.S. measurement (WGS 84) of North 87 deg 11 min 19 sec East (deed-North 87 deg 22 min 15 sec East), along the South right-of-way of Teasley Drive as recorded in County Clerk's Instrument No. 2011-13482, Official Public Records, Denton County Texas.

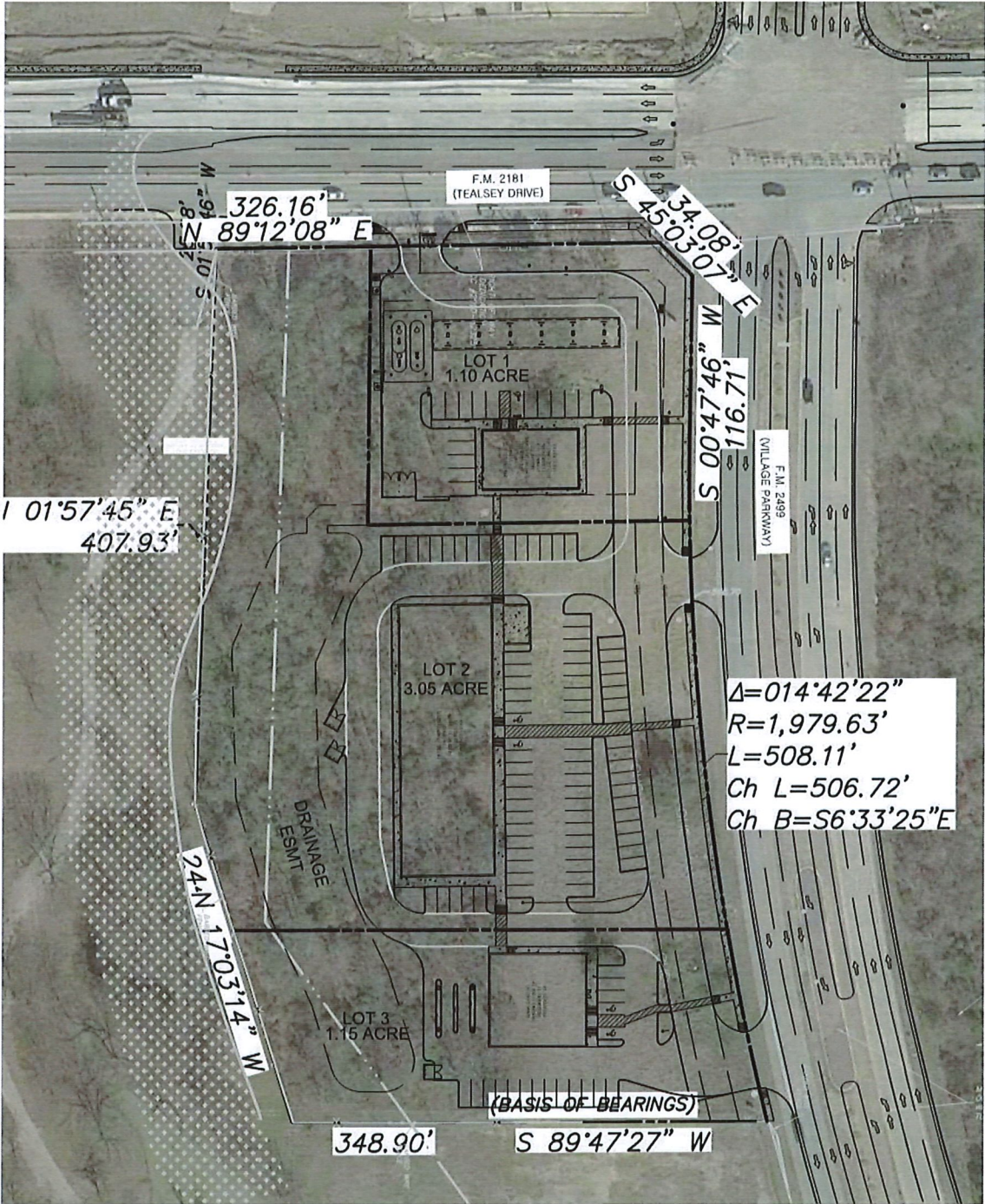
EXHIBIT "B"
7-11 PD DESIGN STATEMENT

The proposed Planned Development is a 5.29 acre retail/office district that will bring striking and much needed retail, restaurant, and office uses to the western side of Corinth. This property is located at the southwest corner of the intersection of F.M. 2499 and F.M. 2181. To the West, land is heavily buffered by a large assortment of mature trees and floodplain, zoned C-2 and is designated as Retail on the Future Land Use Plan. To the East across F.M. 2499, the land is zoned as C-2 and designated as Retail on the Future Land Use Plan. North across F.M. 2181, the land is zoned C-2 and designated as Retail on the Future Land Use Plan. To the South the land is zoned C-2 and designated as Retail on the Future Land Use Plan.

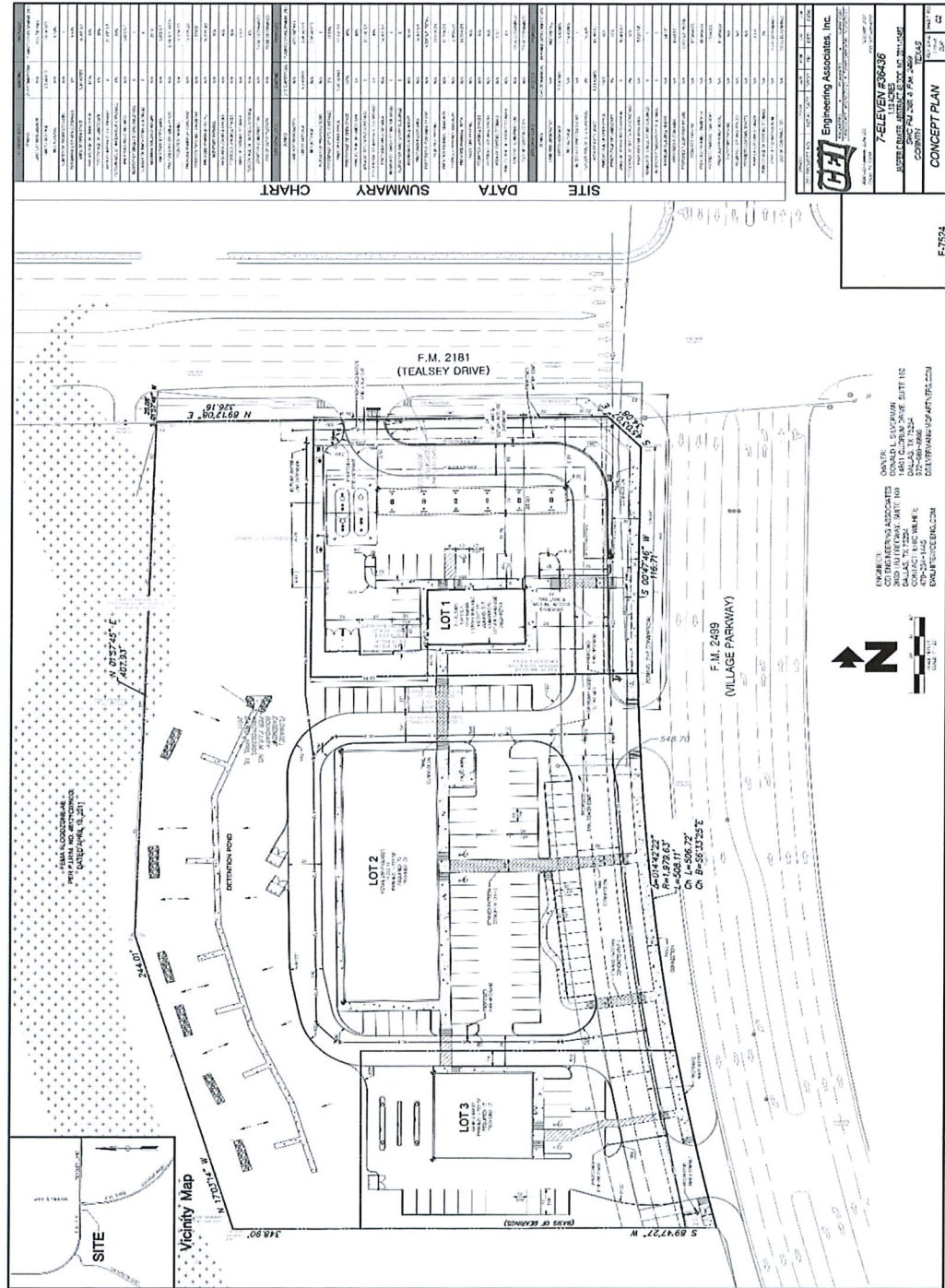
On the property in question, we are proposing to use approximately 1.10 acres for a proposed convenience store with fuel sales site, 3.05 acres for restaurant/retail and 1.15 acres for office. 1.53 acres along the west portion of the property is scattered open space spanning across lots 2 and 3. These uses will be unified with a consistent architectural theme and design elements appropriate for the eastern gateway into Corinth. Phase I for the development will include the convenience store with fuel sales building, canopy, and associated parking; restaurant/retail and bank or financial institution will be developed in Phase II.

The existing site is very heavily treed along the rear (west side) of the property and features approximately 18 feet of fall from east to west with stormwater runoff draining into the floodplain which flows eventually into Lake Lewisville. The soil on the site is a combination of Birome, Bunyan, and Callisburg fine sandy loams with slopes between 1 and 15 percent. The floodplain that runs along the west portion of the site in the dedicated open space area creates a visual barrier between the proposed development and the adjacent property.

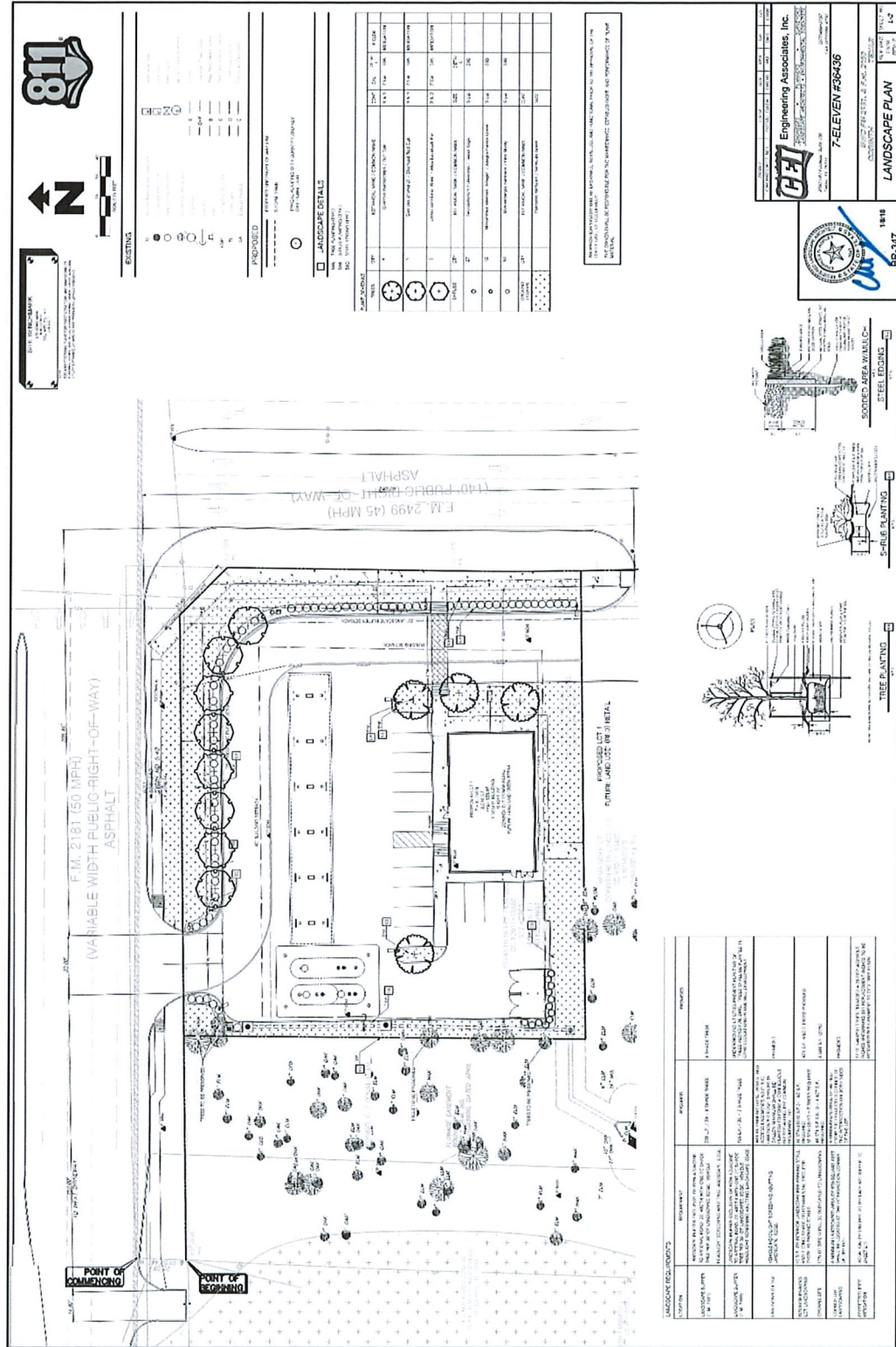
PD DESIGN MAP



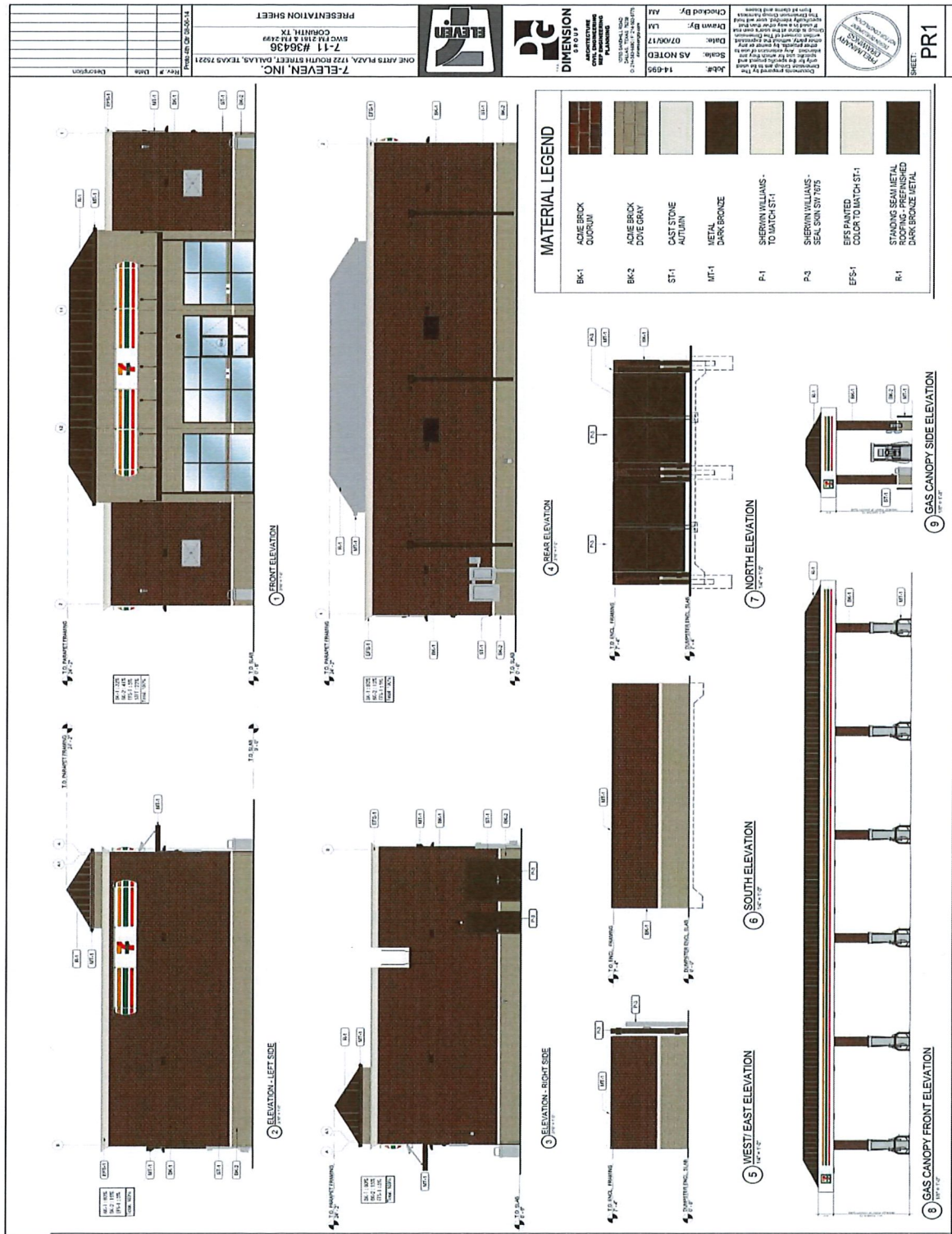
PD 7-11 SITE PLAN

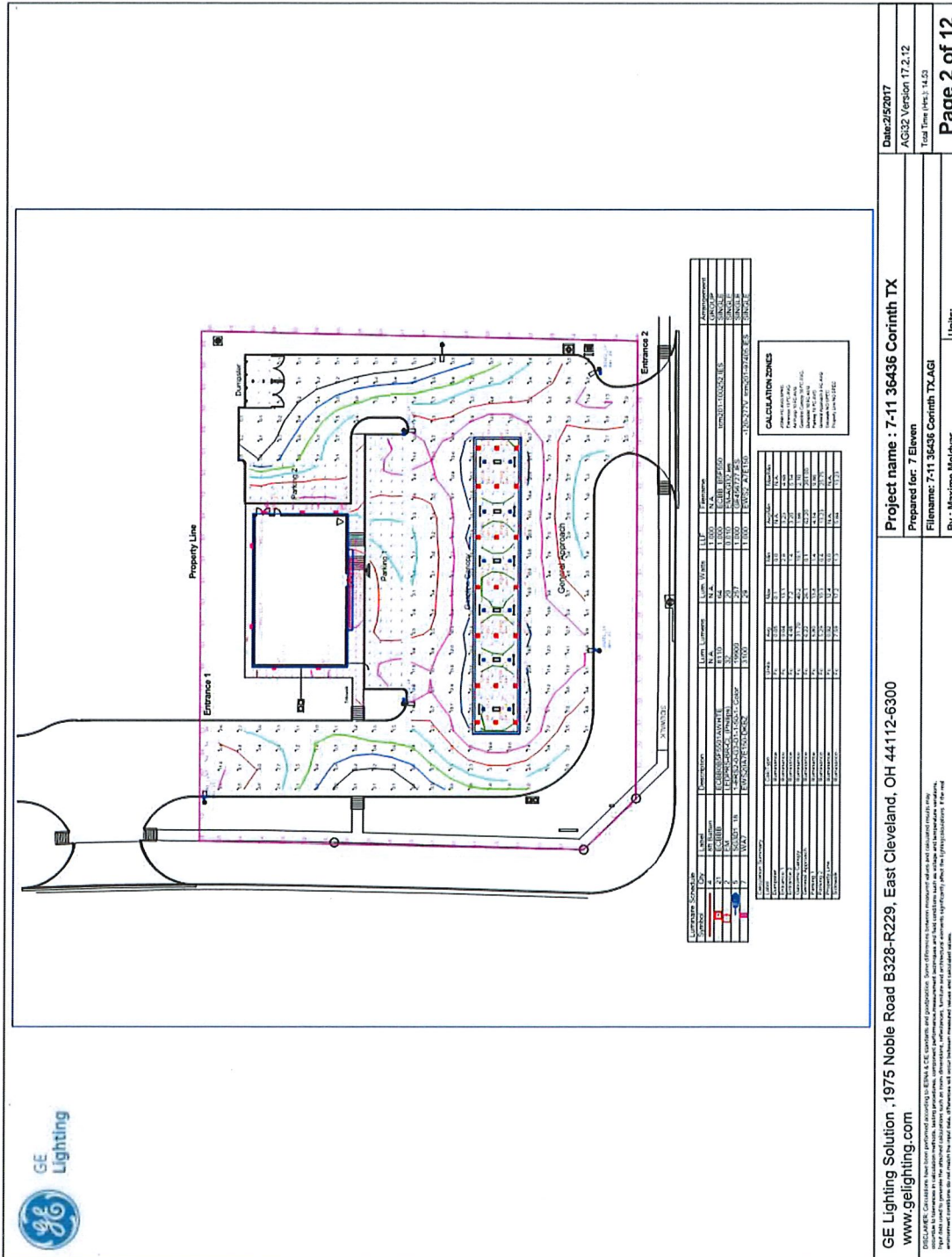


PD 7-11 LANDSCAPE PLAN



PD 7-11 ARCHITECTURAL ELEVATIONS





PD 7-11 COLOR RENDERING



EXHIBIT “C”
LAND USE REGULATIONS

SECTION 1: REGULATIONS

A. Purpose

The regulations set forth in this Exhibit provide development standards for Commercial designations within this Corinth Retail Addition Planned Development District. The Planned Development (PD) District is identified by metes and bounds on Exhibit A and is depicted on the Concept Plan. All uses not authorized herein is expressly prohibited in this Planned Development (PD) District.

B. Base District

In this Planned Development (PD) District, the “C-2” Commercial District regulations of the Corinth Unified Development Code, Ordinance No. 13-05-02-08 shall apply except as altered herein. If a change to the Concept Plan is requested, the request shall be administered in accordance with the development standards in effect at the time the modification is requested for the proposed development.

SECTION 2: USES AND AREA REGULATIONS

A. Purpose

This district shall be intended to provide for the development of a unified commercial area featuring a variety of uses, including retail, office, restaurant, and a convenience store with fuel sales.

AREA 1: GASOLINE FILLING STATION — PROPOSED LOT 1

B. Permitted Uses and Use Regulations

In the Planned Development (PD) District, no building or land shall be used and no building shall be hereafter established, reconstructed, enlarged, or converted, unless permitted by the Commercial 2 (C-2) District regulations of the Unified Development Code except as otherwise included in this PD ordinance.

The following uses in the Commercial 2 (C-2) District as listed in Subsection 2.05.02 of the Unified Development Code shall be prohibited:

- a. Ambulance Service
- b. Automobile or Other Motorized Vehicle Sales and Service
- c. Automobile Parts Store
- d. Automobile Service Garage (Major)

- e. Automobile Service Garage (Minor)
- f. Car Wash, Full Service
- g. Car Wash, Self Service
- h. Exterminating Company
- i. Feed Store
- j. Gas or Oil Well Production
- k. Institution for the Care of Alcoholic Psychiatric or Narcotic Patients
- l. Commercial Laundry
- m. Laundry, Self Service
- n. Manufactured Home Sales
- o. Taxi Garage, Dispatch

In addition to the other land uses requiring an SUP in the Commercial 2 (C-2) District, the following uses in the Commercial 2 (C-2) District as listed in Subsection 2.05.02 of the Unified Development Code shall require an SUP:

- a. Hotel
- b. Motel, Motor Hotel or Tourist Court

C. Dimensional Regulations

The Dimensional Regulations described in Section 2.05.02 of the Unified Development Code, Ordinance No. 13-05-02-08, for the Commercial 2 District shall apply.

D. Development Standards

The Development Standards described in Section 2.05.02 of the Unified Development Code, Ordinance No. 13-05-02-08, for the Commercial 2 (C-2) District, as amended shall apply except as follows:

1. UDC Section 2.07.04 **Conditional Development Standards** shall apply except:
 - a. Convenience store with fuel sales without Car Wash will not require a Specific Use Permit.
 - b. No outside/outdoor vending machines, such as soda, video rental, or newspaper vending machines, are permitted.
 - c. Outdoor propane sales storage shall be allowed. Propane storage shall be on the west side of the building behind the front of the building and partially enclosed by three (3) parapet walls.
2. UDC Section 2.09.01 **Landscape Regulations** shall apply.
3. UDC Section 2.09.02 **Tree Preservation Regulations** shall apply.

4. UDC Section 2.09.03 **Vehicle Parking Regulations** shall apply except:
 - a. Parking agreements shall be required for Shared Parking.
5. UDC Section 2.09.04 **Building Facade Material Standards** shall apply, except:
 - a. Building materials (Lot 1 only) shall be as shown on the attached Architectural Building Elevations.
6. UDC Section 2.09.05 **Residential Adjacency Standards** shall apply.
7. UDC Section 2.09.06 **Nonresidential Architectural Standards** shall apply except:
 - a. The rear building façade shall be as shown on the attached Building Elevations.
8. UDC Section 2.09.07 **Lighting and Glare Regulations** shall apply.
9. UDC Section 4.01 **Sign Regulations** shall apply.
10. UDC Section 4.02 **Fence and Screening Regulations** shall apply.

E. Site Plan

The approved concept plan/site plan and other plans attached to this ordinance as Exhibit “B” for Area 1 (Lot 1) shall satisfy the Site Plan requirement listed in Section 2.10.08 b of the UDC. Subsequent Site Plans shall be required for Lots 2 and 3 in accordance with the provisions of the UDC.

AREAS 2 AND 3: PROPOSED LOTS 2 AND 3

- A. In the Planned Development (PD) District, no building or land shall be used and no building shall be hereafter established, reconstructed, enlarged, or converted, unless permitted by the Commercial 2 (C-2) District regulations of the Unified Development Code except as otherwise included in this PD ordinance.

The following uses in the Commercial 2 (C-2) District as listed in Subsection 2.05.02 of the Unified Development Code shall be prohibited:

- a. Ambulance Service
- b. Automobile or Other Motorized Vehicle Sales and Service
- c. Automobile Parts Store
- d. Automobile Service Garage (Major)
- e. Automobile Service Garage (Minor)
- f. Car Wash, Full Service

- g. Car Wash, Self Service
- h. Exterminating Company
- i. Feed Store
- j. Gas or Oil Well Production
- k. Institution for the Care of Alcoholic Psychiatric or Narcotic Patients
- l. Commercial Laundry
- m. Laundry, Self Service
- n. Manufactured Home Sales
- o. Taxi Garage, Dispatch

In addition to the other land uses requiring an SUP in the Commercial 2 (C-2) District, the following uses in the Commercial 2 (C-2) District, as listed in Subsection 2.05.02 of the Unified Development Code shall require an SUP:

- a. Hotel
- b. Motel, Motor Hotel or Tourist Court

B. Dimensional Regulations

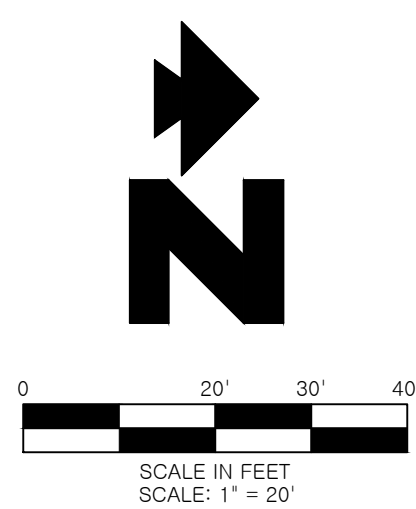
The Dimensional Regulations described in Section 2.05.02 of the Unified Development Code, Ordinance No. 13-05-02-08, for the Commercial 2 District shall apply.

C. Development Standards

The Development Standards described in Section 2.05.02 of the Unified Development Code, Ordinance No. 13-05-02-08, for the Commercial 2 (C-2) District, as amended shall apply except as follows:

- 1. UDC Section 2.07.04 **Conditional Development Standards** shall apply.
- 2. UDC Section 2.09.01 **Landscape Regulations** shall apply.
- 3. UDC Section 2.09.02 **Tree Preservation Regulations** shall apply.
- 4. UDC Section 2.09.03 **Vehicle Parking Regulations** shall apply except:
 - a. Parking agreements shall be required for Shared Parking.
- 5. UDC Section 2.09.04 **Building Facade Material Standards** shall apply except:
 - a. Buildings within this PD shall be complementary.
 - b. Specific color palettes and building facade materials shall be reviewed and approved at the time of the Site Plan.
- 6. UDC Section 2.09.05 **Residential Adjacency Standards** shall apply.

7. UDC Section 2.09.06 **Nonresidential Architectural Standards** shall apply.
8. UDC Section 2.09.07 **Lighting and Glare Regulations** shall apply.
9. UDC Section 4.01 **Sign Regulations** shall apply.
10. UDC Section 4.02 **Fence and Screening Regulations** shall apply.



OWNER:
DONALD L. SILVERMAN
14801 QUORUM DRIVE, SUITE 160
DALLAS, TX 75254
972-980-8806
DSILVERMAN@MQPARTNERS.COM

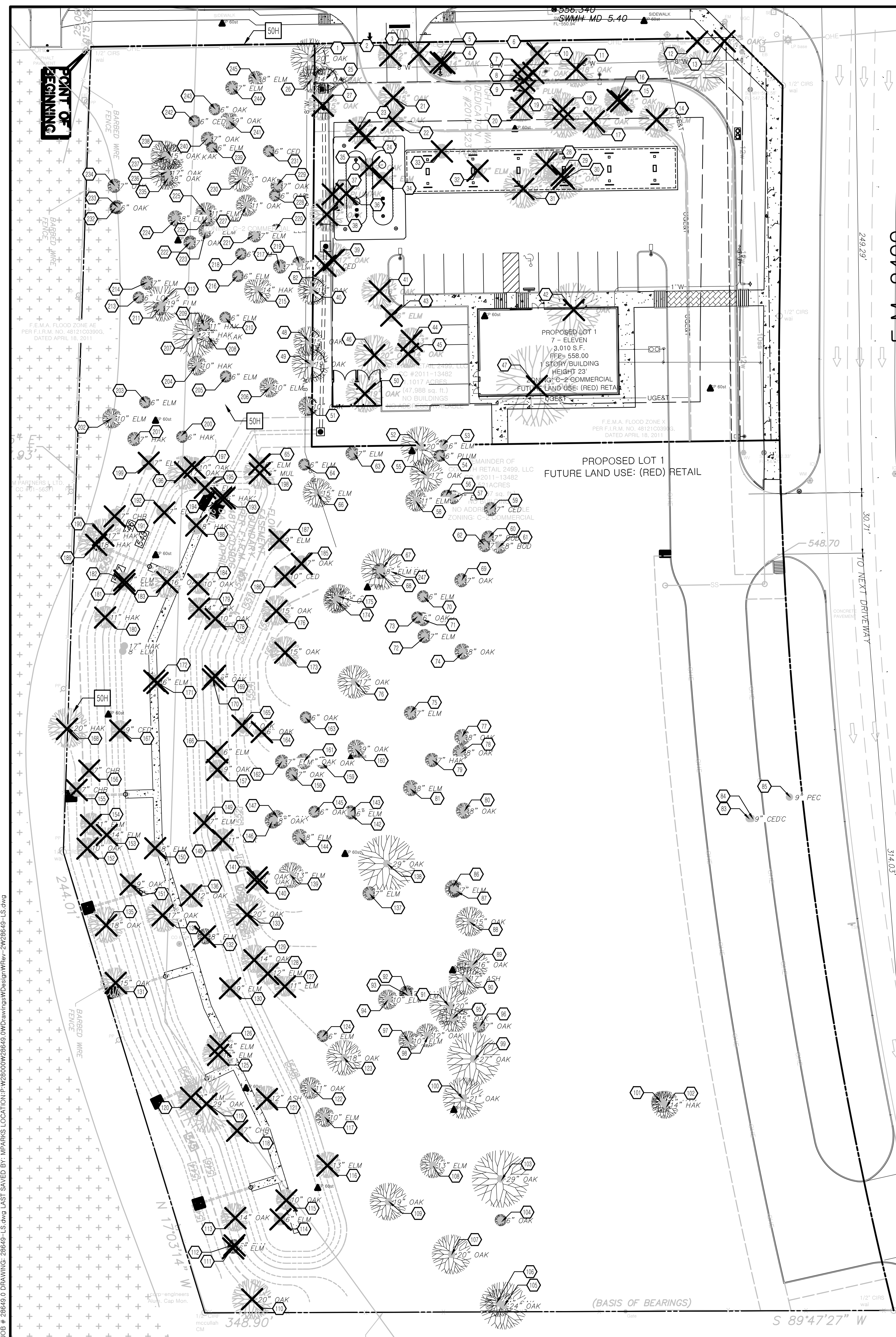
SITE

DATA

SUMMARY

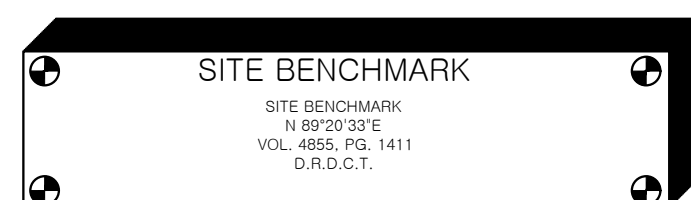
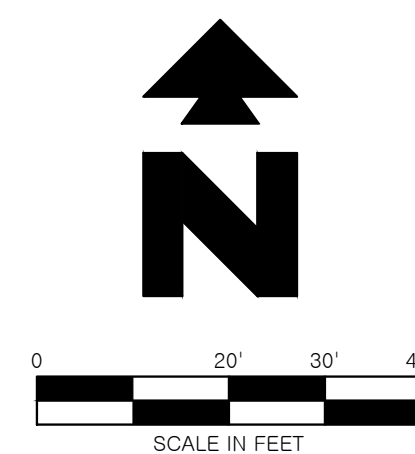
CHART

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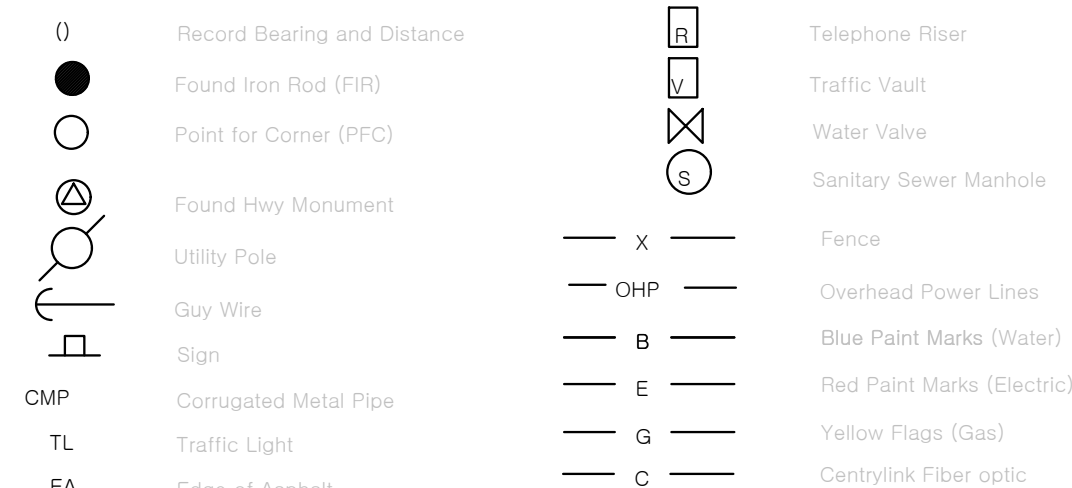
TREE SURVEY

KEY	CALIPER INCHES	SPECIES	REMOVED/ PRESERVED	REASON CODE	KEY	CALIPER INCHES	SPECIES	REMOVED/ PRESERVED	REASON CODE	KEY	CALIPER INCHES	SPECIES	REMOVED/ PRESERVED	REASON CODE
1	20	OAK	PRESERVED		94	10	ELM	PRESERVED		188	8	HACKBERRY	REMOVED	C
2	12	OAK	REMOVED	D	95	15	OAK	PRESERVED		189	18	HACKBERRY	REMOVED	C
3	7	CEDAR	REMOVED	D	96	7	OAK	PRESERVED		190	17	HACKBERRY	REMOVED	C
4	14	OAK	REMOVED	D	97	10	ELM	PRESERVED		191	7	CHINABERRY	REMOVED	C
5	12	OAK	REMOVED	D	98	12	OAK	PRESERVED		192	7	ELM	REMOVED	C
6	7	CEDAR	REMOVED	D	99	27	OAK	PRESERVED		193	6	HACKBERRY	REMOVED	C
7	6	CEDAR	REMOVED	D	100	21	OAK	PRESERVED		194	7	HACKBERRY	REMOVED	C
8	15	OAK	REMOVED	D	101	11	HACKBERRY	PRESERVED		195	7	ELM	REMOVED	C
9	6	PLUM	REMOVED	D	102	14	HACKBERRY	PRESERVED		196	17	OAK	REMOVED	C
10	15	OAK	REMOVED	D	103	29	OAK	PRESERVED		197	10	OAK	REMOVED	C
11	18	OAK	REMOVED	D	104	6	OAK	PRESERVED		198	16	MULBERRY	REMOVED	C
12	15	OAK	REMOVED	D	105	24	OAK	PRESERVED		199	7	ELM	REMOVED	C
13	22	OAK	REMOVED	D	106	14	OAK	PRESERVED		200	6	HACKBERRY	PRESERVED	
14	18	ELM	REMOVED	D	107	20	OAK	PRESERVED		201	7	HACKBERRY	PRESERVED	
15	15	OAK	REMOVED	D	108	13	ELM	PRESERVED		202	10	ELM	PRESERVED	
16	13	OAK	REMOVED	D	109	19	OAK	PRESERVED		203	6	ELM	PRESERVED	
17	17	OAK	REMOVED	D	110	20	OAK	REMOVED	C	204	10	HACKBERRY	PRESERVED	
18	17	OAK	REMOVED	D	111	6	ELM	REMOVED	C	205	6	ELM	PRESERVED	
19	20	OAK	REMOVED	D	112	6	ELM	REMOVED	C	206	10	ELM	PRESERVED	
20	14	OAK	REMOVED	D	113	14	OAK	REMOVED	C	207	23	HACKBERRY	PRESERVED	
21	15	OAK	REMOVED	D	114	6	ELM	REMOVED	C	208	12	HACKBERRY	PRESERVED	
22	8	OAK	REMOVED	D	115	10	OAK	REMOVED	C	209	11	HACKBERRY	PRESERVED	
23	14	OAK	PRESERVED		116	13	ELM	REMOVED	C	210	6	ELM	PRESERVED	
24	6	CEDAR	REMOVED	D	117	10	ELM	PRESERVED		211	7	ELM	PRESERVED	
25	13	OAK	PRESERVED		118	7	CHINABERRY	REMOVED	C	212	6	ELM	PRESERVED	
26	14	OAK	PRESERVED		119	29	OAK	REMOVED	C	213	6	LOCUS	PRESERVED	
27	15	OAK	REMOVED	D	120	12	ELM	REMOVED	C	214	7	ELM	PRESERVED	
28	17	OAK	REMOVED	D	121	12	ASH	REMOVED	C	215	14	HACKBERRY	PRESERVED	
29	15	OAK	REMOVED	D	122	11	OAK	PRESERVED		216	6	ELM	PRESERVED	
30	21	OAK	REMOVED	D	123	16	OAK	PRESERVED		217	7	ELM	PRESERVED	
31	20	OAK	REMOVED	D	124	6	ELM	PRESERVED		218	6	ELM	PRESERVED	
32	7	ELM	REMOVED	D	125	16	ELM	REMOVED	C	219	7	OAK	PRESERVED	
33	7	PLUM	REMOVED	D	126	14	ELM	REMOVED	C	220	6	ELM	PRESERVED	
34	6	ELM	REMOVED	D	127	11	ELM	REMOVED	C	221	7	ELM	PRESERVED	
35	9	OAK	REMOVED	D	128	12	ELM	REMOVED	C	222	7	OAK	PRESERVED	
36	14	OAK	REMOVED	D	129	14	OAK	REMOVED	C	223	7	ELM	PRESERVED	
37	6	PLUM	REMOVED	D	130	9	ELM	REMOVED	C	224	8	ELM	PRESERVED	
38	17	OAK	REMOVED	D	131	15	OAK	REMOVED	C	225	11	ELM	PRESERVED	
39	17	OAK	REMOVED	D	132	8	ELM	REMOVED	C	226	9	OAK	PRESERVED	
40	15	OAK	PRESERVED		133	20	OAK	REMOVED	C	227	11	OAK	PRESERVED	
41	18	OAK	REMOVED	D	134	17	OAK	REMOVED	C	228	6	OAK	PRESERVED	
42	27	OAK	REMOVED	A	135	18	OAK	REMOVED	C	229	7	OAK	PRESERVED	
43	6	ELM	REMOVED	D	136	12	OAK	REMOVED	C	230	13	OAK	PRESERVED	
44	13	OAK	REMOVED	D	137	7	ELM	PRESERVED		231	6	CEDAR	PRESERVED	
45	14	OAK	REMOVED	D	138	29	OAK	PRESERVED		232	6	OAK	PRESERVED	
46	20	OAK	REMOVED	D	139	13	ELM	PRESERVED		234	6	OAK	PRESERVED	
47	41	OAK	REMOVED	A	140	9	OAK	REMOVED	D	235	8	OAK	PRESERVED	
48	15	OAK	PRESERVED		141	6	OAK	REMOVED	D	236	17	OAK	PRESERVED	
49	19	OAK	PRESERVED		142	6	ELM	PRESERVED		237	15	OAK	PRESERVED	
50	19	OAK	PRESERVED		143	6	ELM	PRESERVED		238	13	OAK	PRESERVED	
51	10	OAK	PRESERVED		144	8	ELM	PRESERVED		239	6	ELM	PRESERVED	
52	20	OAK	PRESERVED		145	6	OAK	PRESERVED		240	7	OAK	PRESERVED	
53	6	ELM	PRESERVED		146	8	OAK	PRESERVED		241	9	OAK	PRESERVED	
54	6	ELM	PRESERVED		147	8	OAK	PRESERVED		242	6	OAK	PRESERVED	
55	17	OAK	PRESERVED		148	11	OAK	REMOVED	C	243	6	OAK	PRESERVED	
56	6	ELM	PRESERVED		149	7	ELM	REMOVED	C	244	7	ELM	PRESERVED	
57	7	ELM	PRESERVED		150	8	ELM	REMOVED	C	245	8	ELM	PRESERVED	
58	11	ELM	PRESERVED		151	9	OAK	REMOVED	C					
59	7	CEDAR	PRESERVED		152	10	OAK	REMOVED	C					
60	7	BOIS DE ARC	PRESERVED		153	14	ELM	REMOVED	C					
61	8	BOIS DE ARC	PRESERVED		154	11	ELM	REMOVED	C					
62	7	BOIS DE ARC	PRESERVED		155	7	CHINABERRY	REMOVED	C					
63	7	ELM	PRESERVED		156	7	CHINABERRY	REMOVED	C					
64	6	ELM	PRESERVED		157	9	OAK	REMOVED	C					
65	6	ELM	REMOVED	D	158	7	OAK	PRESERVED						
66	15	ELM	PRESERVED		159	6	OAK	PRESERVED						
67	21	OAK	PRESERVED		160	9	OAK	PRESERVED						
68	8	ELM	PRESERVED		161	8	OAK	PRESERVED						
69	7	OAK	PRESERVED		162	7	ELM	PRESERVED						
70	6	ELM	PRESERVED		163	6	OAK	PRESERVED						
71	7	OAK	PRESERVED		164	6	OAK	REMOVED	C					
72	7	ELM	PRESERVED		165	7	OAK	REMOVED	C					
73	6	OAK	PRESERVED		166	6	ELM	REMOVED	C					
74	8	OAK	PRESERVED		167	9	CEDAR	REMOVED	C					
75	7	ELM	PRESERVED		168	20	HACKBERRY	REMOVED	C					
76	17	OAK	PRESERVED		169	8	OAK	REMOVED	C					
77	8	OAK	PRESERVED		170	8	OAK	REMOVED	C					
78	8	OAK	PRESERVED		171	6	ELM	REMOVED	C					
79	7	HACKBERRY	PRESERVED		172	6	ELM	REMOVED	C					
80	8	OAK	PRESERVED		173	15	OAK	REMOVED	C					
81	8	ELM	PRESERVED		174	13	OAK	PRESERVED						
82	7	CEDAR	PRESERVED		175	14	OAK	PRESERVED						
83	9	CEDAR	PRESERVED		176	15	OAK	REMOVED	D					
84	19	PECAN	PRESERVED		178	10	OAK	REMOVED	C					
85	9	PECAN	PRESERVED		179	14	OAK	REMOVED	C					
86	9	ELM	PRESERVED		180	11	HACKBERRY	REMOVED	C					
87	7	ELM	PRESERVED		181	7	ELM	REMOVED	C					
88	15	OAK	PRESERVED		182	7	ELM	REMOVED	C					
89	16	OAK	PRESERVED		183	16	OAK	REMOVED	C					
90	17	ASH	PRESERVED		184	10	OAK	REMOVED	C					
91	20	OAK	PRESERVED		185	7	OAK	REMOVED	D					
92	8	OAK	PRESERVED		186	10	CEDAR	REMOVED	D					
93	8	OAK	PRESERVED		187	9	ELM	REMOVED	C					
										TOTAL SITE CALIPER INCHES 2705				
										TOTAL PROTECTED CALIPER INCHES 2433				
										TOTAL PROTECTED INCHES REMOVED 1253				
										TOTAL PROTECTED INCHES PRESERVED 1180				
										REQUIRED REPLACEMENT INCHES (HEAVILY TREED LOT - REDUCED REQUIRED INCHES BY 50%) 627				
										TOTAL SITE AREA = 240,497 SF				
										TOTAL SITE CANOPY COVERAGE = 141,153 SF (58.7%)				

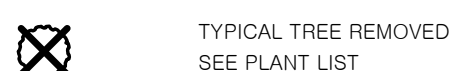


NOTE:
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF
PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING
UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS

EXISTING



PROPOSED



☐ TREE PROTECTION DETAILS

50H TREE PROTECTION FENCE

TREE PROTECTION NOTES

ANY TREE HAVING A TRUNK CALIPER OF SIX INCHES (6") OR MORE, MEASURED 4' - 6' ABOVE NATURAL GRADE LEVEL

THE FOLLOWING TREES ARE EXCLUDED FROM PROTECTED TREES:

1. MACLURA POMIFERA - BOIS D ARC
2. MELIA AZEDARACH - CHINABERRY
3. POPLUS DELTOIDES - COTTON WOOD
4. CELTIS LAEVIGATA - HACKBERRY/ TEXAS SUGERBERRY
5. GLEDITSIA TRACANTHOS - HONEY LOCUS
6. POPLUS DELTOIDES - MESQUITE
7. MIMOSA - MIMOSA SP.
8. MORUS RUBRA - MULBERRY
9. ACER SACCHARINUM - SILVER LEAF MAPLE
10. POPLUS ALBA - WHITE POPLAR
11. WILLOW - WILLOW SP.

REASON CODE KEY:

A: BUILDING PAD SITE (INCLUDING AN AREA 5' FROM THE EDGE OF BUILDING PAD)
B: STREET RIGHT-OF-WAY
C: UTILITY EASEMENT
D: DRIVEWAY

NOTE: TREE CALCULATIONS ARE ONLY FOR AREA 1 (PROPOSED LOT 1 : 7-11), THE DETENTION POND AREA, AND THE TWO DRIVEWAYS IN AREAS 2 AND 3 (PROPOSED LOTS 2 AND 3) ALONG F.M. 2499 THAT ARE BEING CONSTRUCTED WITH AREA 1 (LOT 1 : 7-11) SITE. A TREE SURVEY/PROTECTION PLAN AND TREE MITIGATION FOR AREAS 2 AND 3 (PROPOSED LOTS 2 AND 3) WILL BE REQUIRED PRIOR TO DEVELOPMENT OF THOSE AREAS/LOTS.

TOTAL SITE CALIPER INCHES	2705
TOTAL PROTECTED CALIPER INCHES	2435
TOTAL PROTECTED INCHES REMOVED	1253
TOTAL PROTECTED INCHES PRESERVED	1180

REQUIRED REPLACEMENT INCHES (HEAVILY TREED LOT - REDUCED REQUIRED INCHES BY 50%)	627
--	-----

TOTAL SITE AREA = 240,497 SF
TOTAL SITE CANOPY COVERAGE = 141,153 SF (58.7%)

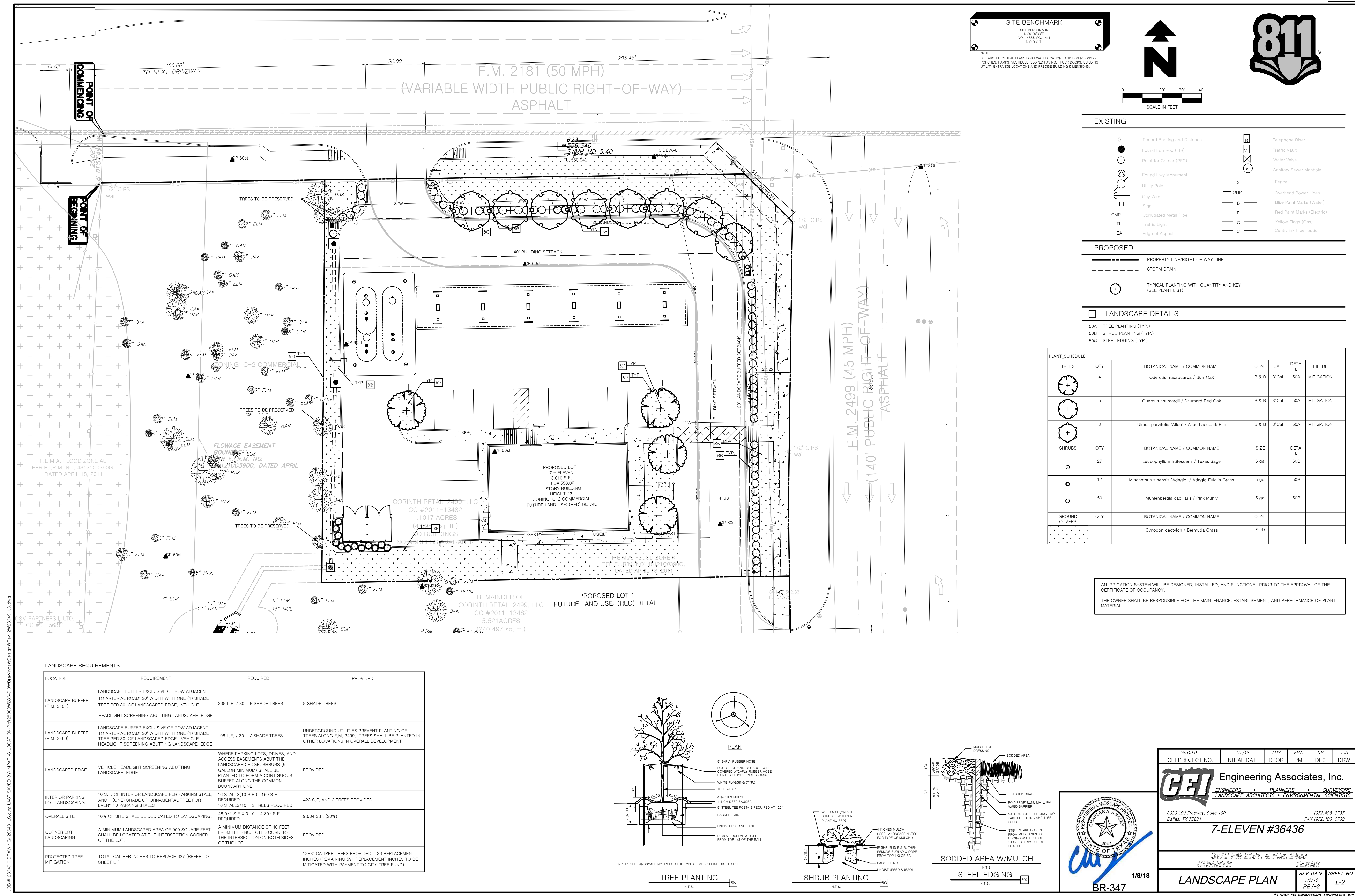


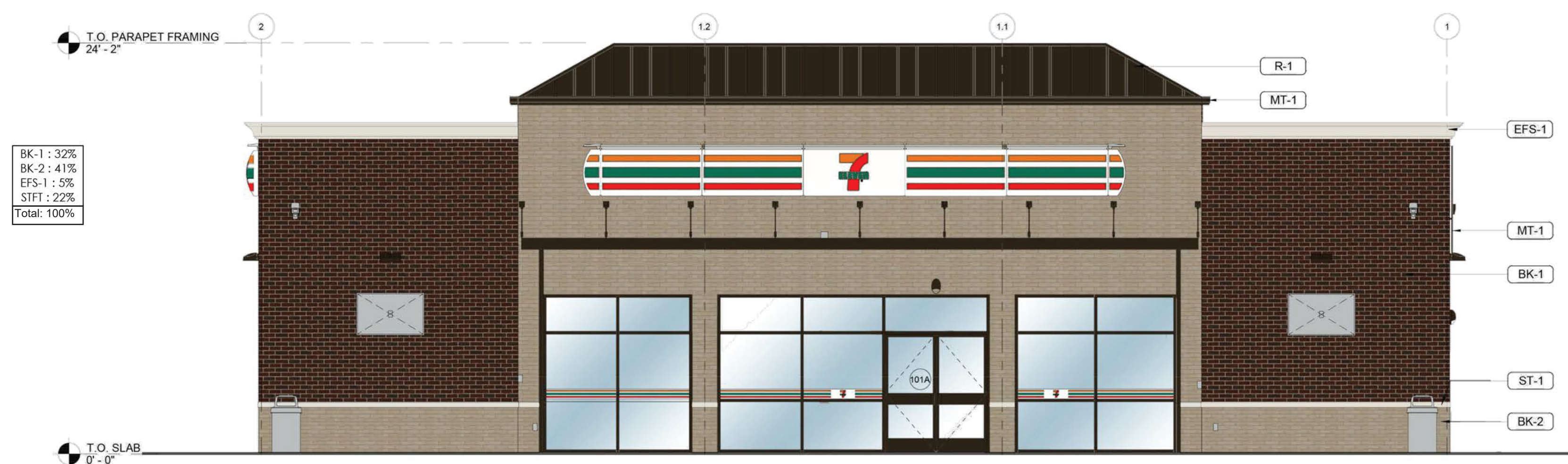
BR-347

1/17/18

TREE SURVEY & PROTECTION PLAN

REV DATE	SHEET NO.
1/16/18	L-1
REV-2	

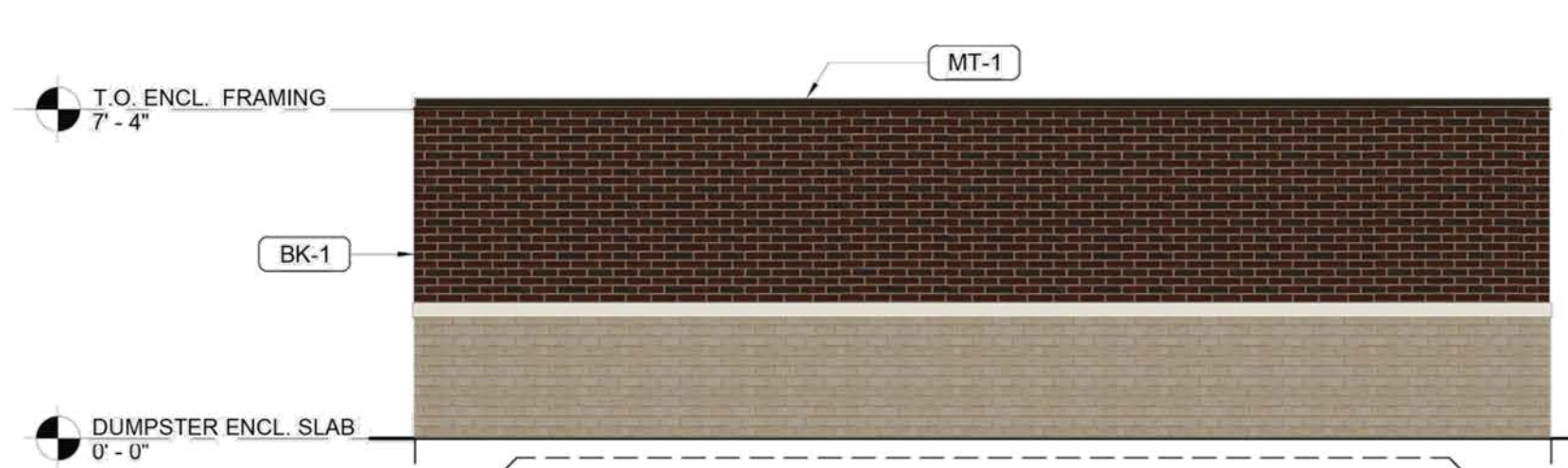




1 FRONT ELEVATION
3/16" = 1'-0"



4 REAR ELEVATION
3/16" = 1'-0"



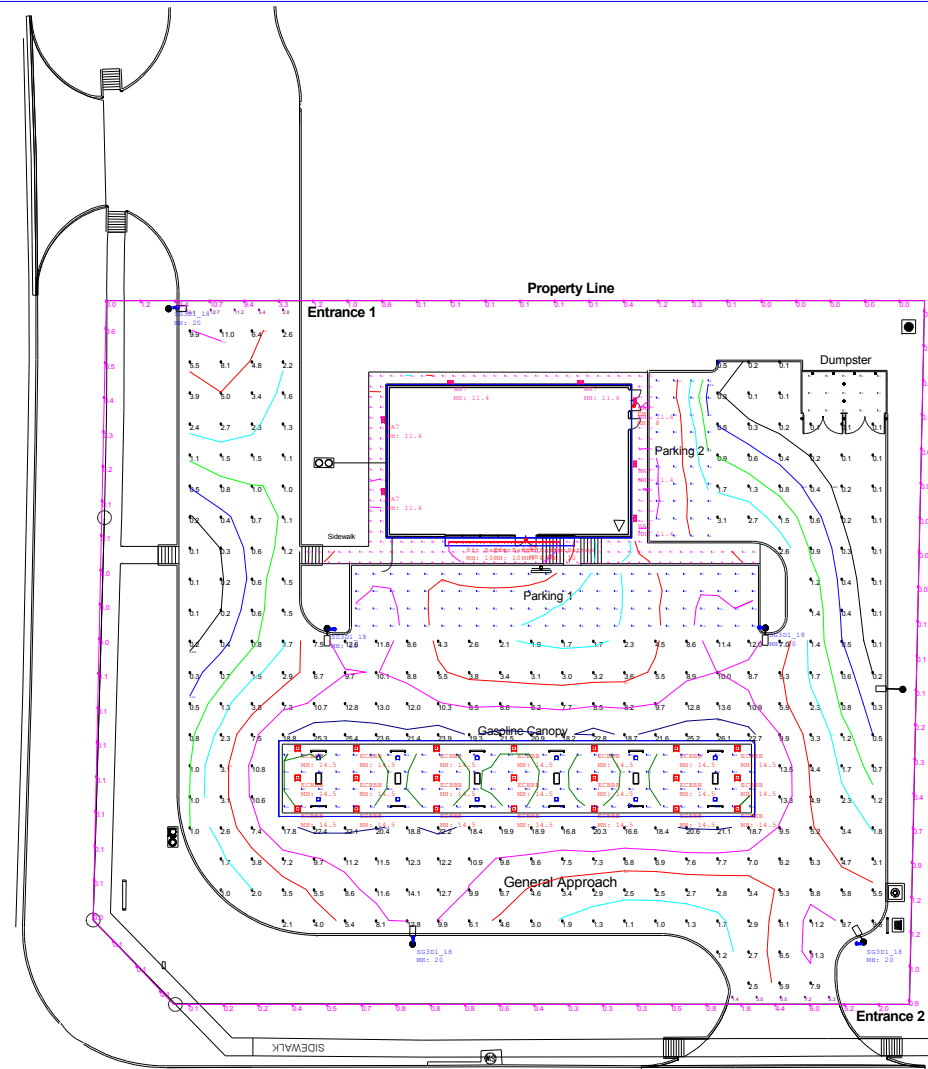
6 SOUTH ELEVATION
1/4" = 1'-0"



Diagram illustrating the layout of a 7-Eleven convenience store and gas station. The building is labeled ST-1. The gas station canopy is labeled MT-1. The gas pumps are labeled BK-1 and BK-2. The roof is labeled R-1. The distance from the building to the gas station is labeled 10.0'.

9 GAS CANOPY SIDE ELEVATION
1/8" = 1'-0"

[illegible]



Luminaire Schedule							
Symbol	Qty	Label	Description	Lum. Lumens	Lum. Watts	LLF	Filename
4	4	9ft Beltten	N.A.	N.A.	1,000	N.A.	N.A.
21	21	ECBBB	ECBBB05F5501AWHITE	8110	20	1.000	ECBB B5F550 tcm201-100252.IES
2	2	EM	LEDPRS-BR-CL (Phillips)	32	20	0.010	EM-AGI32.ies
5	5	SG3D1 18	1-ERS2-0-G3-D1-1-50-1- Color	19900	257	1.000	GE456727.IES
7	7	WA7	EWS20A7E150-DKBZ	3100	29	1.000	EWS2 A7E150 -120-277V tcm201-97405.IES

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Dumpster	Illuminance	Fc	0.05	0.1	0.0	N.A.	N.A.
Entrance 1	Illuminance	Fc	9.04	13.1	2.8	3.23	4.68
Entrance 2	Illuminance	Fc	4.46	7.2	1.4	3.20	5.14
Gasoline Canopy	Illuminance	Fc	31.70	40.2	19.1	1.66	2.10
General Approach	Illuminance	Fc	6.22	26.1	0.1	62.20	261.00
Parking 1	Illuminance	Fc	5.80	13.8	1.4	4.14	9.86
Parking 2	Illuminance	Fc	5.29	10.3	0.4	13.23	25.75
Property Line	Illuminance	Fc	0.92	12.4	0.0	N.A.	N.A.
Sidewalk	Illuminance	Fc	7.59	17.2	1.3	5.84	13.23

CALCULATION ZONES

ZONE FC AVG SPEC
Entrances 10 FC AVG
Air Pump 10 FC AVG
Gasoline Canopy 30 FC AVG
Dumpster 10 FC AVG
Parking 10 FC AVG
General Approach 3 FC AVG
Sidewalk NO SPEC
Property Line NO SPEC

GE Lighting Solution ,1975 Noble Road B328-R229, East Cleveland, OH 44112-6300
www.gelighting.com

DISCLAIMER: Calculations have been performed according to IESNA & CIE standards and goodpractice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.

Project name : 7-11 36436 Corinth TX

Prepared for: 7 Eleven

Filename: 7-11 36436 Corinth TX.AGI

By : Maxime Moldvar

Units:

Date:2/5/2017

AGI32 Version 17.2.12

Total Time (Hrs.): 14.53

Page 2

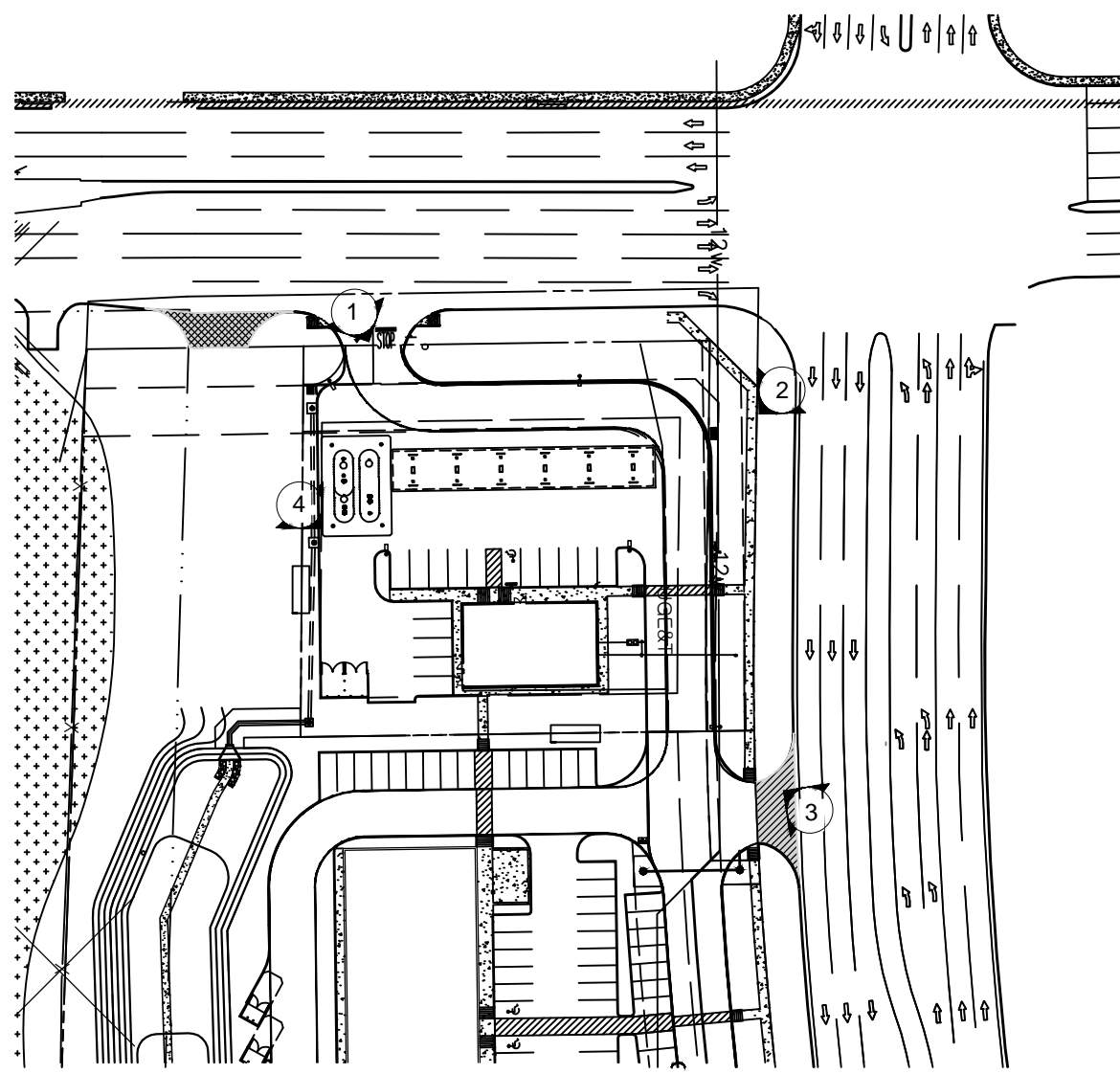
157



1 RENDERING - VIEW FROM EAST
NTS



2 RENDERING - VIEW FROM FM-2181
NTS



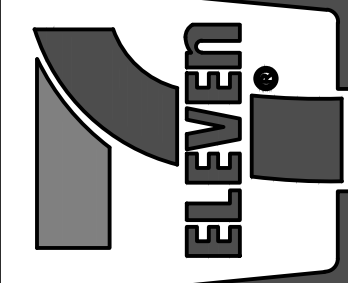

5 SITE
NTS



3 RENDERING - VIEW FROM FM-2181 & FM-2499
NTS



4 RENDERING - VIEW FROM FM-2499
NTS

Section E, Item 6.		
Rev. #	Date	Description
1	05/27/15	PEER REVIEW COMMENTS
2	09/03/15	PEER REVIEW COMMENTS
3	xx.xx.xx	SEI UPDATES
Proto 4th Qtr 10-08-14		
7-ELEVEN, INC. ONE ARTS PLAZA, 1722 ROUTH STREET, DALLAS, TEXAS 75221		
7-11 #36436 SWC FM-2181 & FM-2499 CORINTH, TX		
RENDERINGS		
<div>  ARCHITECTURE-CIVIL ENGINEERING-MEP ENGINEERING 1722 ROUTH STREET, DALLAS, TEXAS 75221 TEL: 214-243-3400 FAX: 214-243-3401</div>		
Job#:	14-695	
Scale:	AS NOTED	
Date:	04/29/15	
Drawn By:	ED	
Checked By:	TK	
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XX/XX/2016		
SHEET: R1.0		