

****PUBLIC NOTICE****



PLANNING & ZONING COMMISSION

Monday, July 26, 2021 at 6:30 PM

City Hall | 3300 Corinth Parkway

Pursuant to section 551.127, Texas Government Code, one or more Planning and Zoning Commissioners or employees may attend this meeting remotely using videoconferencing technology. The videoconferencing technology can be accessed at www.cityofcorinth.com/remotesession. The video and audio feed of the videoconferencing equipment can be viewed and heard by the public at the address posted above as the location of the meeting. If you will not be in attendance, you may submit any public hearing questions to Miguel.Inclan@cityofcorinth.com.

AGENDA

A. CALL TO ORDER, ROLL CALL, AND ANNOUNCE A QUORUM PRESENT

B. PLEDGE OF ALLEGIANCE

C. DIRECTOR'S REPORT

1. Director's Report on City Council meeting items from the preceding City Council meetings and other relevant information.

D. BUSINESS AGENDA

2. Conduct a Public Hearing to consider testimony and make a recommendation to City Council on a rezoning request to amend the zoning classification on an approximate 20.859 acres of land within the H. Garrison Survey, Abstract No. 507, City of Corinth, Denton County, Texas. The property is generally located at the southwest corner of Interstate 35E and Corinth Parkway. An approximate 19.9863 acres of the tract is currently zoned as MX-C Mixed Use Commercial and an approximate .8727 acres of the tract does not currently have a zoning designation but is subject to the SF-1 zoning district regulations per the Unified Development Code. The proposed rezoning would result in the entire tract being designated as PD, Planned Development District with a base zoning of MX-C Mixed Use Commercial. (The Parkway District ZAPD21-0001)

E. ADJOURNMENT

As a majority of the Council Members of the City of Corinth may attend the above described meeting, this notice is given in accordance with Chapter 551 of the Texas Government Code. No official action will be taken by the City Council at this meeting.

I, the undersigned authority, do hereby certify that the meeting notice was posted on the bulletin board at City Hall of the City of Corinth, Texas, a place convenient and readily accessible to the general public at all times and said Notice was posted on the following date and time: **Friday, July 23, 2021 at 12:00 PM.**

A handwritten signature in blue ink, appearing to read "Helen-Eve Beadle", is written over a horizontal line.

Helen-Eve Beadle, AICP
Director of Planning and Development Services
City of Corinth, Texas

Friday, July 23, 2021

Date of Notice

The Planning & Zoning Commission reserves the right to recess into executive or closed session to seek the legal advice of the City's attorney pursuant to Chapter 551 of the Texas Government Code on any matter posted on the agenda. After discussion of any matters in closed session, any final action or vote taken will be public by the Commission.

Corinth City Hall is wheelchair accessible. Person with disabilities who plan to attend this meeting and who may need auxiliary aids or services such as interpreters for persons who are deaf, or hearing impaired, or readers of large print, are requested to contact the City Secretary's Office at 940-498-3200, or fax 940-498-7576 at least two (2) working days prior to the meeting so that appropriate arrangements can be made.

BRAILLE IS NOT AVAILABLE

CITY OF CORINTH

Staff Report



Meeting Date:	7/26/2021	Title:	Director's Report
Strategic Goals:	<input checked="" type="checkbox"/> Citizen Engagement <input checked="" type="checkbox"/> Proactive Government <input checked="" type="checkbox"/> Organizational Development		
Governance Focus:	<i>Sub-Ends:</i> <input checked="" type="checkbox"/> Growing Community <input type="checkbox"/> Conveniently located <input type="checkbox"/> Delivers Outstanding Service <input type="checkbox"/> High-Quality Retail <input type="checkbox"/> High-Quality Restaurants <input type="checkbox"/> High-Quality Entertainment		
	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input checked="" type="checkbox"/> Customer <input checked="" type="checkbox"/> Stakeholder		
	<i>Decision:</i> <input checked="" type="checkbox"/> Governance Policy <input type="checkbox"/> Ministerial Function		

Item/Caption

Director's Report on City Council meeting items from the preceding City Council meetings and other relevant information.

Item Summary/Background/Prior Action

THE FOLLOWING ITEMS WERE CONSIDERED AT THE July 15th CITY COUNCIL MEETING:

The rezoning application for the Avilla Fairways was not approved.

THE FOLLOWING ITEMS ARE GENERAL ANNOUNCEMENTS:

1. The **Annual Board and Commissioner Banquet** has been scheduled for Thursday, August 26th and invitations will be distributed at the P&Z meeting on July 26th.
2. **Board & Commission applications** are due to the City Secretary and interviews will be scheduled for September 8th and 9th.
Online applications can be located through the following link:

<https://www.cityofcorinth.com/bc/webform/board-committee-application>
3. Training for Commissioners through the North Central Texas Council of Governments is being offered. Please let Helen-Eve Beadle, Planning & Development Director know if you would like to attend, and we will register you through the City. Seats may be filling up fast so let us know soon.



AUG 19&20 | **Planning & Zoning Workshop**
\$230

The objective of this two-day CPD series is to provide a detailed overview of planning and zoning in Texas and is designed to address practical issues in zoning and land development. It is geared to planning and zoning commissioners as well as members of zoning boards of adjustment and municipal support staff. The sessions address in detail matters related to zoning, land use issues, comprehensive planning, platting and subdivision regulation, impact fees, economic development, and legal issues associated with land use and development in Texas. Participants will receive a detailed book (electronic version) on land use in Texas and handouts of the power point slides used in the presentation.

Workshop Location
NCTCOG Offices
616 Six Flags Drive
Arlington, TX 76011

Additional Info & Registration
[**CLICK HERE**](#)

CITY OF CORINTH

Staff Report



Meeting Date:	7/26/2021	Title:	The Parkway District (PD Zoning)
Strategic Goals:	<input checked="" type="checkbox"/> Citizen Engagement <input type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development		
Governance Focus:	Sub-Ends: <input checked="" type="checkbox"/> Growing Community <input checked="" type="checkbox"/> Conveniently located <input type="checkbox"/> Delivers Outstanding Service <input checked="" type="checkbox"/> High-Quality Retail <input checked="" type="checkbox"/> High-Quality Restaurants <input checked="" type="checkbox"/> High-Quality Entertainment		
	Focus: <input checked="" type="checkbox"/> Owner <input checked="" type="checkbox"/> Customer <input type="checkbox"/> Stakeholder		
	Decision: <input checked="" type="checkbox"/> Governance Policy <input type="checkbox"/> Ministerial Function		

Item/Caption

Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a rezoning request to amend the zoning classification on an approximate 20.859 acres of land within the H. Garrison Survey, Abstract No. 507, City of Corinth, Denton County, Texas. The property is generally located at the southwest corner of Interstate 35E and Corinth Parkway. An approximate 19.9863 acres of the tract is currently zoned as MX-C Mixed Use Commercial and an approximate .8727 acres of the tract does not currently have a zoning designation but is subject to the SF-1 zoning district regulations per the Unified Development Code. The proposed rezoning would result in the entire tract being designated as PD, Planned Development District with a base zoning of MX-C Mixed Use Commercial. (The Parkway District ZAPD21-0001)

Item Summary/Background/Prior Action

I. Item Summary:

The Applicant, Realty Capital Management, LP is proposing **The Parkway District** as a ±20.859 acre Mixed Use Development located at the southwest corner of Interstate Highway 35E (IH 35E) and Corinth Parkway. The site is relatively flat, treed, with Lynchburg Creek traversing the southern boundary. The existing zoning is Mixed Use Commercial (MX-C) and the proposed zoning request maintains the base zoning district of MX-C and provides for Planned Development District (PD) zoning to deliver allowances that will benefit the city in regard to specific desires and in turn address the developer's needs. Development Standards shall comply with the City's Unified Development Code (UDC) or as outlined in **The Parkway District Planned Development Standards, Exhibit C**.



Aerial Image, City of Corinth GIS



Existing Zoning Map, City of Corinth GIS

II. Background:

The Parkway District is another catalyst piece in the City’s Mixed Use Transit Oriented Development. In 2018 the City of Corinth began the process of drafting a Strategic Plan, *Embracing the Future, Corinth 2030*, with the assistance of community volunteers. The committee and City Council adopted a vision statement for Corinth:

“A growing community that is conveniently located, delivers outstanding services, engages its residents, and provides a good mix of high quality retail, restaurant and entertainment.”

The Plan outlined several goals and objectives to guide the city’s future, notably “attracting residential and non-residential development.” “Create a diversity and an increase in tax base by attracting new commercial developments and higher density residential housing using a variety of housing types (townhomes, live-work units, etc.) to provide a transition between the single family homes and commercial developments.”

Strategies and actions were identified as priorities to be implemented in five years. Of those, the creation of a Tax Increment Reinvestment Zone (TIRZ) and use its bonding capacity to invest in infrastructure projects to use as an incentive to promote private investment in a high-quality built environment. The TIRZ was formed in September of 2019 and the reinvestment monies will be used for improvements, one of which, is the community amphitheater/park across from city hall. Additionally, the TIRZ money will be used for roadway improvements in and around the Transit Oriented Development (TOD). Development imagery is illustrated in the following conceptual renderings.

Based on the Strategic Plan, the City began working with developers and landowners advancing the Plan’s goals. In June of 2019, the City purchased ±18.198 acres at the southwest corner of Interstate Highway 35E (IH 35E) and Corinth Parkway and the property is now owned by the Economic Development Corporation (EDC). The former police station parcel (±1.7983 acres) that is located along Corinth Parkway was transferred to the EDC and the EDC now owns the TXDOT surplus ROW (±.8727 acres) at the immediate corner of I 35E and Corinth Parkway. The assembly of parcels totals approximately 20.859 acres. In October of 2020, the Corinth EDC amended the Chapter 380 Economic Development Incentive Agreement with Realty Capital Management, LP which outlines performance requirements such as minimum restaurant square footages, hotel brands, park improvements, and exterior building materials for the developer. The partnership will result in a high-quality showcase development for the City of Corinth.





In July of 2020 after a year-long public input process the *Envision Corinth 2040 Comprehensive Plan*, was adopted by City Council. The Plan outlines recommended land uses for the City’s future growth. The subject property’s Land Use Place Type is “Mixed Use Transit Oriented Development” (Mixed-Use TOD).” Mixed-Use TOD provides for a variety of development strategies and the ones applicable to this tract include:

- Develop character and context benefitting a new downtown with a range of urban residential, retail, and office uses
- Become a destination for day and evening dining, entertainment, and community festivals and events
- 4-6 stories to allow for higher intensity mix of uses in response to market demand
- Allow mixed-use by right
- Parking to be accommodated in parking structures
- Density based on a street grid that is dense and walkable
- Connection to adjoining uses such as the community college, City Hall, and the regional trail network
- Density should not have a density max but be driven by the market, height, and design standards
- Streetscape improvements with bulb-outs, wide sidewalks, and trees
- Provide small scale greens and plazas that can activate adjoining uses

MIXED-USE TOD

Purpose and intent

- » To maximize the development of a mixed-use, regional center in conjunction with a commuter rail stop on the DCTA line at Corinth Parkway and Interstate 35E
- » To develop character and context befitting a new downtown with a range of urban residential, retail, and office uses
- » To become a destination for day and evening dining, entertainment, and community festivals and events

Land use types and density

- » 4 – 6 stories (scale, height, fenestration) to allow for higher intensity mix of uses in response to market demand
- » Allow mixed-use by right (residential and commercial uses)
- » Parking to be accommodated in parking structures
- » Density based on a street grid that is dense and walkable
- » Connections to adjoining uses such as the community college, City Hall and the regional trail network.
- » Overall neighborhood density should not have a density max but be driven by the market, height and design standards

Design priorities

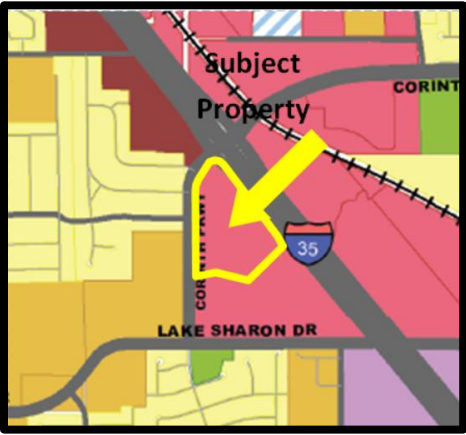
- » To meet the design goals for the TOD vision
- » Streetscape improvements with bulb-outs, wide sidewalks, and trees
- » Provide smaller scale greens and plazas that can activate adjoining uses
- » Implement TOD station to catalyze private development

Sustainability priorities

- » Focus on regional detention infrastructure to maximize compact, walkable blocks
- » Connections to regional trails and parks
- » Focus on Low Impact Development (LID) principles that fit an urban context such as bioswales in public spaces, roof-top gardens, seamless links to regional and local transit (with a trolley or other local connector service)
- » Allow roof-top solar panels



Envision Corinth 2040 Comprehensive Plan- Land Use Place Types



LEGEND

- Corinth City Limits
- Neighborhood
- Mixed-Residential
- Mixed Use - TOD
- Mixed Use - Node
- Retail/Commercial
- Corridor Commercial
- Office/Employment
- Institutional/Public/Civic
- Educational
- Parks/Open Space

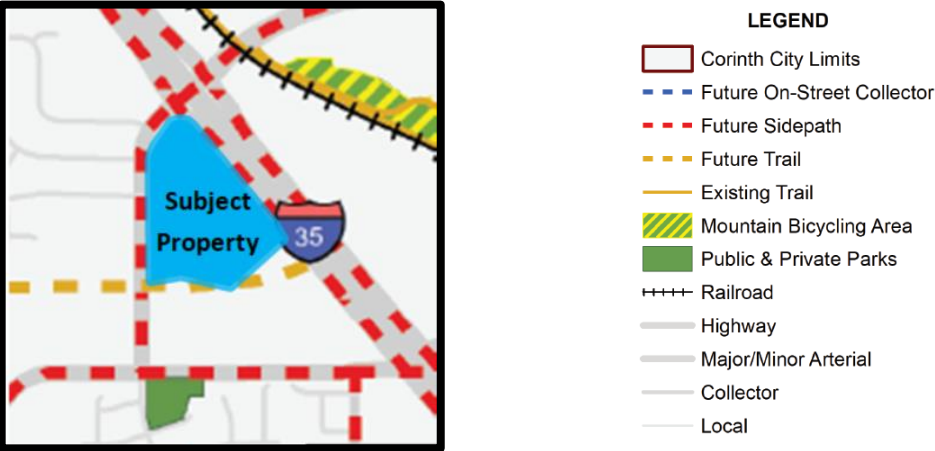
Envision Corinth 2040 Comprehensive Plan- Land Use Map



LEGEND

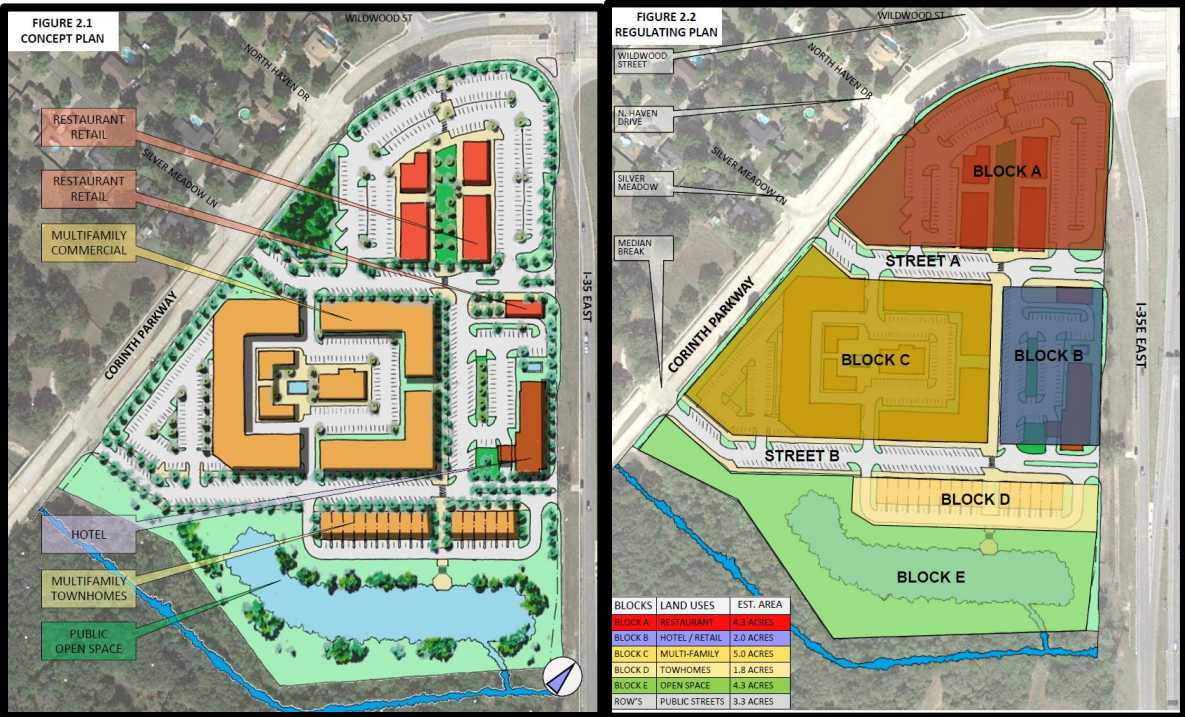
- Highway
- Major Arterial
- Major Arterial - Widening
- Minor Arterial
- Minor Arterial - Widening
- New Minor Arterial
- Collector
- Collector - Widening
- New Collector
- Local
- Railroad
- Future Roundabout

Envision Corinth 2040 Comprehensive Plan- Thoroughfare Plan



Envision Corinth 2040 Comprehensive Plan- Active Transportation Plan

- A. **Concept Plan.** The proposed PD is categorized into five (5) land use blocks that include sit down restaurants, an 80 guest room hotel, higher density urban lofts, townhomes, and park/open space. A trail system will be provided along the exterior of the development and a heavily landscaped pedestrian promenade is proposed to connect the northeast corner of the property, through the interior of the development, and to the trail/park/open space along Lynchburg Creek. Reference **Figure 2.1 Concept Plan of Exhibit C, Planned Development Standards.**



- B. **Regulating Plan.** The Regulating Plan and land use summary below outline the general land uses for the PD. Reference **Figure 2.2 Regulating Plan of Exhibit C, Planned Development Standards.**

BLOCK	LAND USES	ACREAGE
A	Restaurants/Commercial Minimum of 20K SF floor area And not less than 5K SF floor area for a restaurant pad	±4.3 Acres
B	Hotel/Retail- up to 6 stories/85' 80 Guest room minimum with a lobby, bar/lounge, covered seating adjacent to pool One pad site permitted for a coffee shop with drive through service	±2.0 Acres
C	Multi-Family-up to 5 stories/75' 327 unit maximum Average unit size required 825 SF & minimum efficiency 550 SF Unit mix anticipated as 10 % efficiency, 60% 1 bedroom, & 30% 2 bedroom Commercial (2,500 SF Min.)	±5.0 Acres
D	Townhomes- up to 25 units Minimum 1,200 SF floor area	±1.8 Acres
E	Open Space/Park 6' concrete trail from Corinth Pkwy. To IH 35E, benches and usable open space	±4.3 Acres
ROW	Public Streets	±3.3 Acres

Detailed permitted uses and development standards are outlined in **Tables 2.1** and **2.2** of **Exhibit C Planned Development Standards**.

C. Access, Transportation and Parking. Staff has worked with the Applicant to provide for a safe and accessible development plan. **Figure 3.1** of the **Planned Development Standards, Exhibit C**, identifies the street system, ingress/egress locations, alleys, and firelanes. Street A will align with the existing street west of Corinth Parkway, Silver Meadow Lane and Street B will line up with the existing median opening on Corinth Parkway, south of Silver Meadow Lane. The drive off Corinth Parkway into Block A will align with North Haven Drive. Streets A and B will intersect at I 35E as right-in and right-out access only.

The site is served by IH 35E as a Highway and Corinth Parkway as a Minor Arterial as outlined in the Master Thoroughfare Plan of the Comprehensive Plan. A Traffic Impact Analysis (TIA) is not required for rezoning property. The Applicant and City Engineer have identified locations for deceleration lanes along the IH 35E frontage road, aligned with adjacent roadways and median openings along Corinth Parkway, provided for internal accessibility, and visibility requirements. The existing roadway system and the proposed Concept Plan adequately serve the site.

The PD **Street Standards** in **Section 3** of the **Planned Development Standards, Exhibit C** delineates additional regulations for the property. Each street section is specific to a location in the development angled parking and head-in parking is utilized to serve the development while providing for pedestrian access and landscaping features.

Parking for the development is broken down for the following ratios:

TABLE 5.1 MINIMUM REQUIRED PARKING	
OCCUPANCY / USE	MINIMUM REQUIRED PARKING
General Retail	1 space per 250 sq ft
General Office	1 space per 350 sq ft
Restaurants	1 space per 100 sq ft
Urban Lofts	1.45 spaces per Dwelling Unit
Townhomes	2 enclosed garage spaces per Unit
Hotel	1 spaces per guestroom plus 5% for staff

The PD Concept Plan provides the following parking counts:

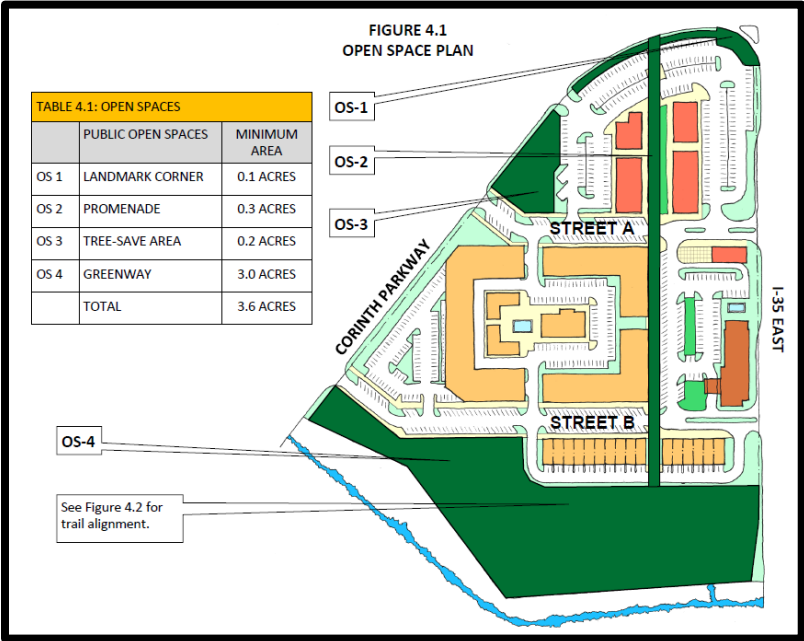
TABLE 5.3 PARKING TABULATION (See Figure 3.2 for Land Use Inventory Acreage)							
Quantities are estimates and do not represent minimum or maximum units.	BLOCKS					LAND USE TOTALS	PARKING REQUIRED
	A	B	C	D	E		
URBAN RESIDENTIAL LOFTS (# OF UNITS) ESTIMATED UNIT COUNT & UNIT MIX: EFFICIENCY 10%, 1 BEDROOM 60%; 2 BEDROOM 30%,			327			327	474
TOWNHOMES				25			50
HOTEL (ESTIMATED GUESTROOMS)		80				80	84
RESTAURANTS (ESTIMATED AREA)	20,000	2,000				22,000	220
OFFICE (ESTIMATED AREA)		0	2,500			2,500	8
TOTAL REQUIRED PARKING	200	104	474	50	0		836
PARKING PROVIDED SHALL MEET OR EXCEED THE REQUIRED PARKING.							

Municipalities rely on industry advisory standards for parking ratios and the *Institute of Traffic Engineer's Parking Generation Manual*, 5th Edition recommends the following parking ratios for suburban multifamily (mid-rise between three and 10 stories):

Dense Multi-Use Urban	1.2 spaces per unit (within and not within ½ mile of rail transit)
General Urban/Suburban (standalone MF)	1.5 spaces per unit (within ½ mile of rail transit)
General Urban/Suburban (standalone MF)	1.7 spaces per unit (not within ½ mile of rail transit)

The proposed PD is well within ½ mile of a future rail stop and the overall allowance for shared parking through all of the Blocks provides adequate spaces as proposed at 1.45 spaces per unit for the Multifamily component.

- D. Parks, Trees, and Open Space Standards.** The PD proposes a walkable and connected environment within the site and linked to other features in the community. The minimum overall open space to be provided is no less than 10% of the PD district. The restaurant block connects the northeast corner of the property to the restaurant courtyards with a promenade that extends to the southern block that is open space/park land. The promenade includes trees, pedestrian lighting, paved walks, and is outlined in **Section 4** of the **PD Development Standards, Exhibit C**.



A **Tree Save Area** in Open Space 3 is provided at the intersection of Corinth Parkway and Street A and will serve as a buffer to the existing residential neighborhood to the west.

Landscape Buffers shall be provided as:

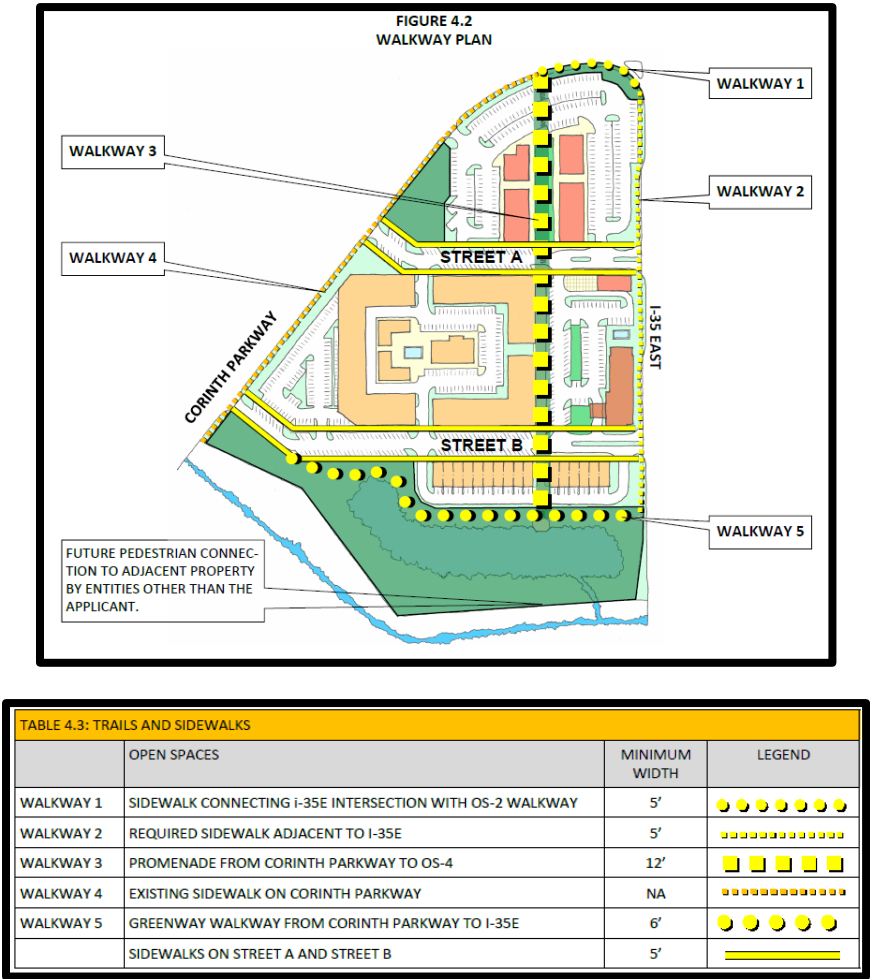
Location	Buffer Details
Block A, Corinth Parkway	15' wide minimum, trees 50' OC, shrubs, ornamental grasses and/or stone wall of 30" high
Block C, Corinth Parkway	20' wide minimum, trees 50' OC, shrubs, ornamental grasses and/or stone wall of 30" high
Block A, IH 35E	10' wide minimum and an average of 12' wide
Block B, IH 35E	15' wide minimum and trees 50' OC
Block D, IH 35E	15' wide minimum and trees 50' OC
Parking lot screening	30" high continuous shrubbery screen or wall

Trees shall be provided for within the development as follows:

TABLE 4.2: MINIMUM TREE PLANTING TABLE	
LOCATION	MINIMUM TREE PLANTING
STREETS	1 TREE/50' MAXIMUM SPACING
PARKING LOTS	1 TREE / 10 PARKING SPACES
OS 1	4 TREES MINIMUM
OS-2	PLANTING PER PARAGRAPH 5.1.D
OS-3	NO ADDITIONAL PLANTING REQUIRED
OS-4	PLANTING PER PARAGRAPH 5.1.F

Tree Planter specifications will be a minimum of 4'6" in parking lots and along streets. The PD standards include extensive tree planting, landscaping, and the development will be exempt from the tree preservation regulations in the City's UDC.

E. Pedestrian Walkways. The development will provide a system on connecting walkways, promenades, and trails per the following plan found in **Section 4 of the PD Development Standards, Exhibit C.**



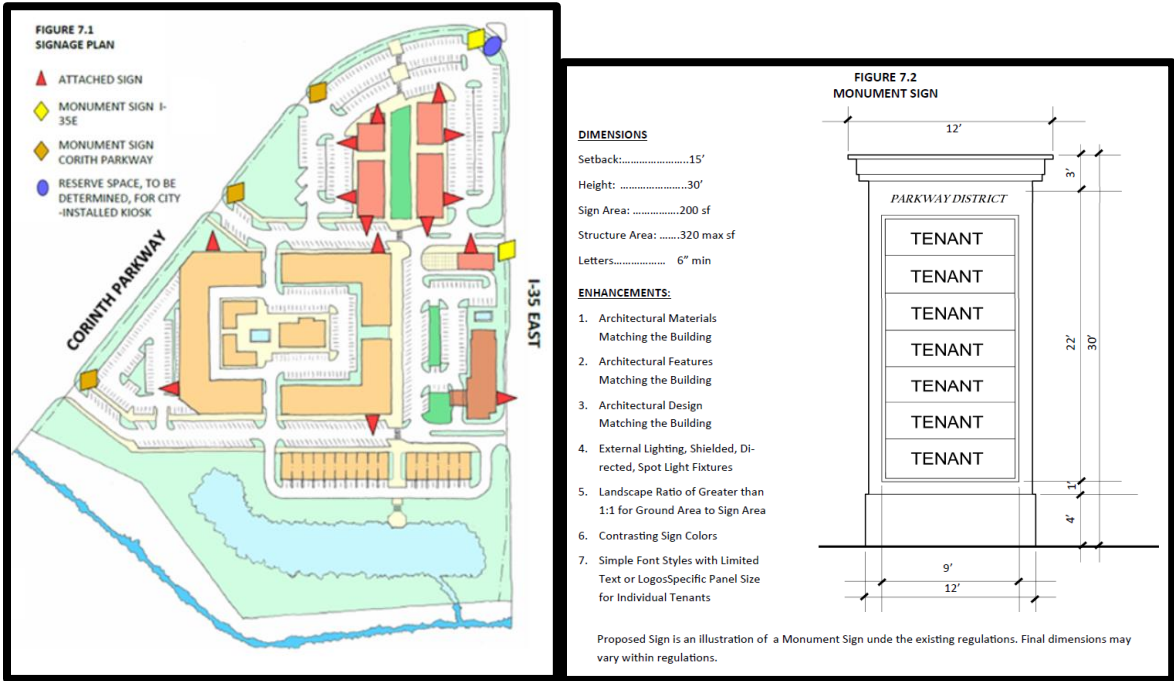
F. Architectural Standards. The Parkway District is proposing unique and quality architectural materials and features. Elevations (Façade A) visible from streets require higher standards while interior facades (Façade B) allow material flexibility. The architectural standards are summarized below and detailed in **Section 6 of the PD Development Standards, Exhibit C.**

Windows shall be recessed 3” from masonry building façades.	
AC/mechanical equipment shall not be located between a façade and any public street	
3 step stucco is permitted, and cementitious siding is permitted on Façade B	
Neutral colors are proposed for walls	
Commercial storefronts shall consist of a minimum of 50% glass of the ground floor commercial frontage. The glass area shall include jams, heads, and sills for windows. Storefront windows shall have bulkheads not less than 18” above FF and not greater than 36” above FF. (Does not apply to Block C and A&B)	
Block C upper floors (Multifamily)	25% of units will have balconies
Building Elevation C1 (Multifamily)	Ground floor, Street A, minimum of 50% shall have stoops and front doors opening onto the public street and access may be provided from the sidewalk or an interior corridor.

Building Elevation C2 (Multifamily)	Ground floor, Street B, shall have a minimum of 50% of stoops and front doors opening onto public street.
Block D (Townhomes)	<p>Individual entry doors fronting on Street B. Front facades shall have minimum of two of the following:</p> <ul style="list-style-type: none">• Elevated stoop• Front porch• Covered portico• Recessed entry <p>Units shall have carriage style garage doors facing public open space.</p> <p>Roof pitches shall be not less than 8:12.</p>

TABLE 6.1 MATERIAL BUILDING STANDARDS		
ITEM	FACADE A	FACADE B
FACADE MATERIALS - GROUND FLOOR		
GROUND FL MASONRY, MINIMUM	90% CLASS 1**	90% CLASS 2**
FACADE MATERIALS - 2ND FLOOR AND ABOVE FLOOR		
MASONRY MINIMUM	90% CLASS 1**	90% CLASS 2**
CEMENTIOUS SIDING, maximum	10% *	n/a
METAL, maximum	10%	10%
WOOD, maximum	10%	10%
EIFS, maximum	10%	10%
EXPOSED CMU	N	N
EXPOSED AGGREGATE	N	N
* Cementitious Siding permitted on recessed balconies in addition to minimum percentage.		
** Corinth UDC Section 5.02.214: Masonry Construction—as modified by Paragraph 6.G		
Class 1: Masonry Construction shall include the following exterior construction materials: fired brick, natural and manufactured stone, granite, and marble, plus 3-step Stucco .		
Class 2: Masonry Construction shall include the following exterior construction materials: all Class 1 Masonry Construction, architectural concrete block, 3-step stucco process, and tilt wall concrete panels, plus cementitious siding .		
Class 3: Masonry Construction shall include the following exterior construction materials: all Class 1 Masonry Construction, Class 2 Masonry Construction, EIFS, and sealed and painted concrete block.		

G. Signage. Signage for the development shall comply with the Unified Development Code (UDC) and through the following standards that are outlined in **Section 7 of The Parkway District Planned Development Standards, Exhibit C**. Signage proposed will complement the development.



H. 200-Foot Notification Boundary Exhibit and Letters/Emails in Support/Opposition. At the time of packet publication, no letters or emails in support or opposition had been received from the property owners within the 200 foot notification area.

I. Neighborhood Meeting. As provided for in Section 2.10.09., of the UDC, the Applicant of a Planned Development rezoning is strongly encouraged (*though not required by City ordinance*) to conduct a neighborhood meeting with homeowners within the vicinity of the rezoning request.

The developer, Realty Capital Management, LP conducted a neighborhood meeting on July 22, 2021 to introduce the project to the surrounding landowners. 13 residents attended the informational meeting, and the proposal was well received.

J. Compliance with City Development Regulations (Non Zoning Related).

Stormwater, Floodplain, and Wetland Management. The Federal Emergency Management Agency (FEMA) updated the Corinth floodplain maps in 2020 and numerous homes west of the subject property (Amity Village) were mapped into the floodplain. The City applied for grant funding for drainage improvements and are currently in a 60-90 day review of the environmental assessment. Staff anticipates environmental clearance and upon receipt of the grant money engineering design and subsequent construction efforts will begin to remove those properties from the floodplain. This development will not compound the drainage issues upstream. Nor will it create drainage issues downstream.

The Parkway District property is proposing to reclaim floodplain and detain on site. Detailed engineering design of the drainage system will be required prior to release for construction. A drainage assessment will be submitted to prove that they have no negative impact upstream, adjacent, and downstream of their development. This assessment will identify the possibility of an increased flowrate, increased water surface elevation, and erosive water velocity. This is where the City will require measures to mitigate impact. The City through the Federal Emergency Management Agency (FEMA) has specific regulations that restrict and allow under specific circumstances development within the floodplain. These regulations are detailed in the [City's Code of Ordinances, Section 152 Floodplain Damage Prevention](#). The City is the delegated responsibility to adopt and enforce regulations designed to minimize flood losses.

In summary, prior to detailed design approval, the engineering team will require the developer and their engineer to confirm/prove that they are in conformance with all of the codes listed in the Unified Development Code Section 3.05.03.A., as follows (*and linked [here](#) for reference*).

- The Transportation Plan;
- The Drainage Design Manual of the department of public works;
- The Standard Construction Details of the department of public works;
- The Texas Uniform Traffic Control Device Manual;
- North Central Texas Council of Governments Standard Specifications for Construction of Public Works;
- American Association of State Highway Transportation Officials Design Manual;
- Texas Health Code;
- City of Corinth Engineering Standards Manual (ESM);
- Texas Water Code;
- Master Drainage Plans;
- Floodplain Ordinance;
- Erosion Control Ordinance;
- Stormwater Management Plan; and
- All other codes and ordinances of the City.

K. Compliance with the Comprehensive Plan. The rezoning request for the subject property, as presented, is in accordance with the “Land Use and Development Strategy” designations, Mixed-Use Transit Oriented Development (MU-TOD), and the concepts outlined in the Master Thoroughfare Plan and Active

Transportation Plan as set forth in the "Envision Corinth 2040" Comprehensive Plan. Additionally, the proposed PD meets the intent and goals of the Strategic Plan.

L. Public Notices. Notice of the public hearing was published in the July 10, 2021, edition of the Denton Record-Chronicle. Written public notices were mailed to all property owners located within 200’ of the subject property proposed for the zoning change on July 9, 2021.

M. Supporting Documents.
Exhibit A, Legal Description
Exhibit B, Boundary Survey (with existing mapped floodplain)
Exhibit C, The Parkway District Planned Development Standards
200 Foot Boundary of Public Hearing Notification
Strategic Plan, [Embracing the Future, Corinth 2030](#)
Comprehensive Plan, [Envision Corinth 2040 Comprehensive Plan](#)

Financial Impact

N/A

Staff Recommendation/Motion

The application as presented complies with the Comprehensive Plan, the proposed uses and development standards are suitable in this location, and the existing transportation infrastructure is satisfactory. Further, the development will be required to comply with the City’s development regulations.
Staff recommends approval as presented.

LEGAL DESCRIPTION

BEING 20.859 acres of land located in the H. GARRISON SURVEY, Abstract No. 507, City of Corinth, Denton County, Texas, and being a portion of the tract of land conveyed to the Town of Corinth, by the deed recorded in Volume 608, Page 158, of the Deed Records of Denton County, Texas, and all of the tract of land conveyed to Corinth Economic Development Corporation, by the deed recorded in Instrument No. 2019-69270, of the Official Public Records of Denton County, Texas, and all of the tract of land conveyed to the City of Corinth, by the deed recorded in Document No. 2021-69324, of the Official Public Records of Denton County, Texas. Said 20.859 acres of land being more particularly described by metes and bounds as follows:

BEGINNING at a ½" iron rod found lying in the Southwest right-of-way line of Interstate Highway No. 35 E and the North boundary line of the tract of land conveyed to Minerva Partners, Ltd., by the deed recorded in Instrument No. 2004-163301, of the official Public Records of Denton County, Texas;

THENCE along the Southeasterly and South boundary line of said Corinth Economic Development Corporation Tract and the Town of Corinth Tract, with the North line of said Minerva Partners, Ltd. Tract, as follows:

1. S 47° 56' 03" W 93.62 feet, to a ½" iron rod marked "Brittain & Crawford" set;
2. S 47° 23' 48" W 478.92 feet, to a point on top of a manhole;

THENCE N 75° 06' 37" W 379.31 feet, to a ½" iron rod found;

THENCE S 76° 45' 21" W 255.77 feet, to a ½" iron rod marked "Brittain & Crawford" set at the Southwest corner of aforesaid Town of Corinth Tract, lying in the East right-of-way line of S. Corinth Street;

THENCE along the current West boundary line of said Town of Corinth Tract, the West boundary line of said Corinth Economic Development Corporation Tract, and the East right-of-way line of S. Corinth Street, as follows:

1. N 00° 21' 58" E 69.60 feet, to a ½" iron rod marked "Brittain & Crawford" set;
2. N 00° 23' 50" E 12.76 feet, to a ½" iron rod marked "Brittain & Crawford" set;
3. N 00° 10' 08" W 196.46 feet, to a ½" iron rod found at the Northwest corner of said Town of Corinth Tract and the Southwest corner of said Corinth Economic Development Corporation Tract;
4. N 00° 11' 53" W 625.17 feet, to a ½" iron rod found marked "R.P.L.S. 5687" at the beginning of a curve to the right;
5. NORTHEASTERLY 301.43 feet, along said curve to the right, having a radius of 510.00 feet, a central angle of 33° 51' 50", and a chord bearing N 16° 50' 08" E 297.06 feet, to a ½" iron rod marked "X" in concrete found at the end of said curve;

6. S 55° 16' 33" E 5.70 feet, to a ½" iron rod marked "Brittain & Crawford" set being the Southwest corner of the aforesaid tract of land conveyed to the City of Corinth, at the beginning of a curve to the right;

THENCE NORTHEASTERLY 142.10 feet, along said curve to the right, having a radius of 500.00 feet, a central angle of 16° 17' 10", and a chord bearing N 42° 55' 54" E 141.62 feet, to a ½" iron rod marked "Brittain & Crawford" set at the end of said curve and the beginning of another curve to the right, at the intersection of the East right-of-way line of S. Corinth Street and the Southwest right-of-way line of aforesaid Interstate Highway No. 35 E;

THENCE SOUTHEASTERLY 149.06 feet, along said curve to the right, having a radius of 95.00 feet, a central angle of 89° 54' 00", and a chord bearing S 83° 58' 36" E 134.23 feet, to a ½" iron rod marked "Brittain & Crawford" set at the end of said curve;

THENCE S 39° 01' 57" E 185.37 feet, along the Northeast boundary line of said City of Corinth Tract and the Southwest right-of-way line of Interstate Highway No. 35 E, to a ½" iron rod found marked "G&A" at the Southeast corner of said City of Corinth Tract;

THENCE continuing along the Northeast boundary line of said Corinth Economic Development Corporation Tract and the Southwest right-of-way line of Interstate Highway No. 35 E, as follows:

1. S 38° 29' 57" E 426.54 feet, to a Texas Department of Transportation monument found;
2. S 38° 51' 31" E 300.05 feet, to a ½" iron rod marked "G&A" found;
3. S 38° 33' 18" E 99.88 feet, to a Texas Department of Transportation monument found;
4. S 32° 12' 06" E 161.99 feet, to the POINT OF BEGINNING containing 20.859 acres (908,620 square feet) of land.



Course	Bearing	Distance
L1	N 00°21'58" E	69.60'
L2	N 00°23'50" E	12.76'
L3	S 55°16'33" E	5.70'

Curve	Radius	Length	Delta	Chord	Chord Bear.
C1	510.00'	301.43'	33°51'50"	297.06'	N 16°50'08" E
C2	500.00'	142.10'	16°47'01"	141.62'	N 42°55'54" E
C3	95.00'	149.06'	89°54'00"	134.23'	S 83°58'36" E

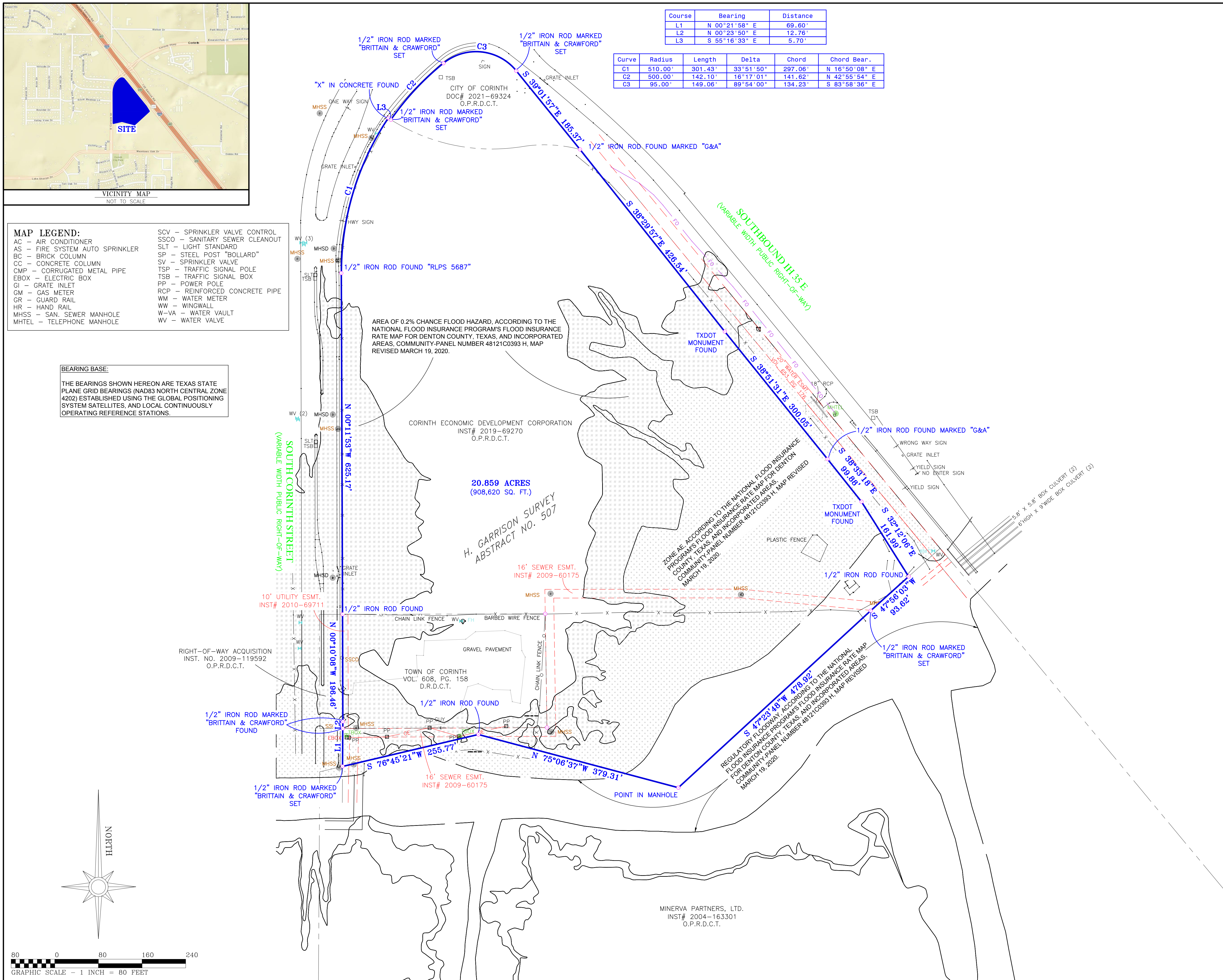
MAP LEGEND:

AC – AIR CONDITIONER
AS – FIRE SYSTEM AUTO SPRINKLER
BC – BRICK COLUMN
CC – CONCRETE COLUMN
CMP – CORRUGATED METAL PIPE
EBOX – ELECTRIC BOX
GI – GRATE INLET
GM – GAS METER
GR – GUARD RAIL
HR – HAND RAIL
MHSS – SAN. SEWER MANHOLE
MHTEL – TELEPHONE MANHOLE

SCV - SPRINKLER VALVE CONTROL
SSCO - SANITARY SEWER CLEANOUT
SLT - LIGHT STANDARD
SP - STEEL POST "BOLLARD"
SV - SPRINKLER VALVE
TSP - TRAFFIC SIGNAL POLE
TSB - TRAFFIC SIGNAL BOX
PP - POWER POLE
RCP - REINFORCED CONCRETE PIPE
WM - WATER METER
WW - WINGWALL
W-VA - WATER VAULT
WV - WATER VALVE

BEARING BASE

THE BEARINGS SHOWN HEREON ARE TEXAS STATE PLANE GRID BEARINGS (NAD83 NORTH CENTRAL ZONE 4202) ESTABLISHED USING THE GLOBAL POSITIONING SYSTEM SATELLITES, AND LOCAL CONTINUOUSLY OPERATING REFERENCE STATIONS.



BRITTAİN & CRAWFORD
LAND SURVEYING &
TOPOGRAPHIC MAPPING

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WEBSITE: www.brittain-crawford.com

FIRM CERTIFICATION# 1019000
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LEGAL DESCRIPTION

BEING 20.859 acres of land located in the H. GARRISON SURVEY, Abstract No. 507, City of Corinth, Denton County, Texas, and being a portion of the tract of land conveyed to the Town of Corinth, by the deed recorded in Volume 608, Page 158, of the Deed Records of Denton County, Texas, and all of the tract of land conveyed to Corinth Economic Development Corporation, by the deed recorded in Instrument No. 2019-69270, of the Official Public Records of Denton County, Texas, and all of the tract of land conveyed to the City of Corinth, by the deed recorded in Document No. 2021-69324, of the Official Public Records of Denton County, Texas. Said 20.859 acres of land being more particularly described by metes and bounds as follows:

BEGINNING at a ½" iron rod found lying in the Southwest right-of-way line of Interstate Highway No. 35 E and the North boundary line of the tract of land conveyed to Minerva Partners, Ltd., by the deed recorded in Instrument No. 2004-163301, of the official Public Records of Denton County, Texas;

THENCE along the Southeasterly and South boundary line of said Corinth Economic Development Corporation Tract and the Town of Corinth Tract, with the North line of said Minerva Partners, Ltd. Tract, as follows:

1. S 47° 56' 03" W93.62 feet, to a ½" iron rod marked "Brittain & Crawford" set
2. S 47° 23' 48" W478.92 feet, to a point on top of a manhole;

THENCE N 75° 06' 37" W 379.31 feet, to a ½" iron rod found

THENCE S 76° 45' 21" W 255.77 feet, to a ½" iron rod marked "Brittain & Crawford" set at the Southwest corner of aforesaid Town of Corinth Tract, lying in the East right-of-way line of S. Corinth Street;

THENCE along the current West boundary line of said Town of Corinth Tract, the West boundary line of said Corinth Economic Development Corporation Tract, and the East right-of-way line of S. Corinth Street, as follows:

1. N 00° 21' 58" E 69.60 feet, to a ½" iron rod marked "Brittain & Crawford" set;
2. N 00° 23' 50" E 12.76 feet, to a ½" iron rod marked "Brittain & Crawford" set;
3. N 00° 10' 08" W 196.46 feet, to a ½" iron rod found at the Northwest corner of said Town of Corinth and the Southwest corner of said Corinth Economic Development Corporation Tract;
4. N 00° 11' 53" W 625.17 feet, to a ½" iron rod found marked "R.P.L.S. 5687" at the beginning of a curve to the right;
5. **NORTHEASTERLY** 301.43 feet, along said curve to the right, having a radius of 510.00 feet, a central angle of 23° 51' 50" and a chord bearing N 16° 50' 08" E 297.06 feet, to a ½" iron rod marked "X" in concrete found at the end of said curve;

THENCE NORTHEASTERLY 142.10 feet, along said curve to the right, having a radius of 500.00 feet, a central angle of 16° 17' 10", and a chord bearing N 42° 55' 54" E 141.62 feet, to a ½" iron rod marked "Brittain & Crawford" set at the end of said curve and the beginning of another curve to the right, at the intersection of the East right-of-way line of S. Corinth Street and the Southwest right-of-way line of aforesaid Interstate Highway No. 35 E;

THENCE SOUTHEASTERLY 149.06 feet, along said curve to the right, having a radius of 95.00 feet, a central angle of 89° 54' 00, and a chord bearing S 83° 58' 36" E 134.23 feet, to a ½" iron rod marked "Brittain & Crawford" set at the end of said curve;

THENCE S 39° 01' 57" E 185.37 feet, along the Northeast boundary line of said City of Corinth Tract and the Southwest right-of-way line of Interstate Highway No. 35 E, to a ½" iron rod found marked "G&A" at the Southeast corner of said City of Corinth Tract;

THENCE continuing along the Northeast boundary line of said Corinth Economic Development Corporation Tract and the Southwest right-of-way line of Interstate Highway No. 35 E, as follows:


1. S 38° 29' 57" E 426.54 feet, to a Texas Department of Transportation monument found;
2. S 38° 51' 31" E 300.05 feet, to a ½" iron rod marked "G&A" found;
3. S 38° 33' 18" E 99.88 feet, to a Texas Department of Transportation monument found;
4. S 32° 12' 06" E 161.99 feet, to the POINT OF BEGINNING containing 20.859 acres (908,620 square feet) of land.

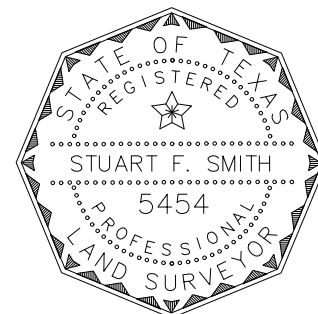
CERTIFICATION

TO: TOWN OF CORINTH;

The undersigned does hereby certify that a survey was this day made on the ground on the property legally described hereon or in attached field notes prepared by the undersigned, and is correct; that there are no visible discrepancies, conflicts, shortages in area, boundary line conflicts, encroachments, overlapping of improvements, easements or rights-of-way, except as shown on the plat hereon; that said property has access to and from a public roadway; and, that the plat hereon is a true, correct and accurate representation of the property described hereinabove. Further, the undersigned hereby certifies that the area related to the quantity of land or acreage contained within the tract shown on this plat of survey and described hereon or in said attached field notes, and certifies that the quantity of land shown hereon is correct.

SURVEYED ON THE GROUND
MAY 27, 2021


STUART F. SMITH
REGISTERED PROFESSIONAL
LAND SURVEYOR
STATE OF TEXAS No. 5454



BOUNDARY SURVEY MAP
OF
20.859 ACRES OF LAND
LOCATED IN THE
H. GARRISON SURVEY
ABSTRACT No. 507
CITY OF CORINTH, DENTON COUNTY, TEXAS

(Danny) ...Projects\City of Corinth\Garrison Tract\Garrison-bndry-COMBINED.dwg

MISC. CO. #XXX



ISSUE DATE:
July 23, 2021

A DEVELOPMENT BY:
REALTY CAPITAL MANAGEMENT, LP
909 Lake Carolyn Parkway
Irving, TX 75039
469-533-4100

PLANNING BY:
Roaring Brook Development Co.
1701 Northwest Hwy, Ste 28
Grapevine, TX. 76051
817.706.8353

TABLE OF CONTENTS

SECTION 1	Administration
SECTION 2	General Regulations
SECTION 3	Streets Standards
SECTION 4	Parks and Open Space Standards
SECTION 5	Parking Standards
SECTION 6	Architecture Standards
SECTION 7	Signage Standards
APPENDIX	Property Survey and Metes & Bounds

SECTION 1

SECTION 1: ADMINISTRATION

A) Applicability

The requirements of these Standards are mandatory and all development on land located within the boundaries of the Planned Development District must adhere to the rules and regulations set forth herein.

B) Conflicting Regulations

Except as provided by these Standards, development within the Planned Development District is governed by City regulations. For any issues, regulations, or standards not directly or indirectly addressed by this Planned Development ordinance as written at the time of development for each tract, the UDC shall control. Building codes, life safety codes, and Federal and State regulations shall take precedence where a standard requires actions that are in conflict with this Planned Development ordinance.

C) Concept Plan

The Planned Development standards contained herein shall constitute the submittal of the PD Design Statement and the PD Concept Plan in accordance with Section 2.10.09 of the UDC.

The PD Concept Plan (See Figure 2.1) is, by definition, conceptual in nature, and the final site plan(s) may differ from the image depicted in Figure 2.1. Site Plans varying from the PD Concept Plan shall be evaluated in accordance with the standards provided for in Section 2.10.09.D of the Corinth UDC.

D) Permitted Uses

The Permitted Use Table (See Table 2.1) lists the permitted and prohibited uses within the Planned Development. The Permitted Uses shall include all the current permitted uses under the existing MX-C zoning uses listed in the Corinth

UDC, plus residential uses as restricted herein.

Except as specified in this PD, MX-C uses requiring an SUP under the UDC shall also require an SUP under this planned development ordinance unless specifically exempted in the Permitted Use Table.

E) Site Plan Conformance

The Applicant may submit a Site Plan for the entire PD District or any portion thereof, and may develop the Planned Development District in any order.

If the Site Plan is in Substantial Conformance to the Concept Plan, in accordance with UDC Section 2.10.08.B.2, the Site Plan may be approved administratively as set forth below.

F. Substantial Conformance:

Substantial Conformance shall mean that the Site Plans submitted are consistent with the standards and regulations contained herein, and any deviations from the figures and illustrations contained herein shall not differ by more than the ranges permitted in Section 2.10.09.D. of the Corinth UDC, and may be approved administratively.

G. Site Plan Non-conformance

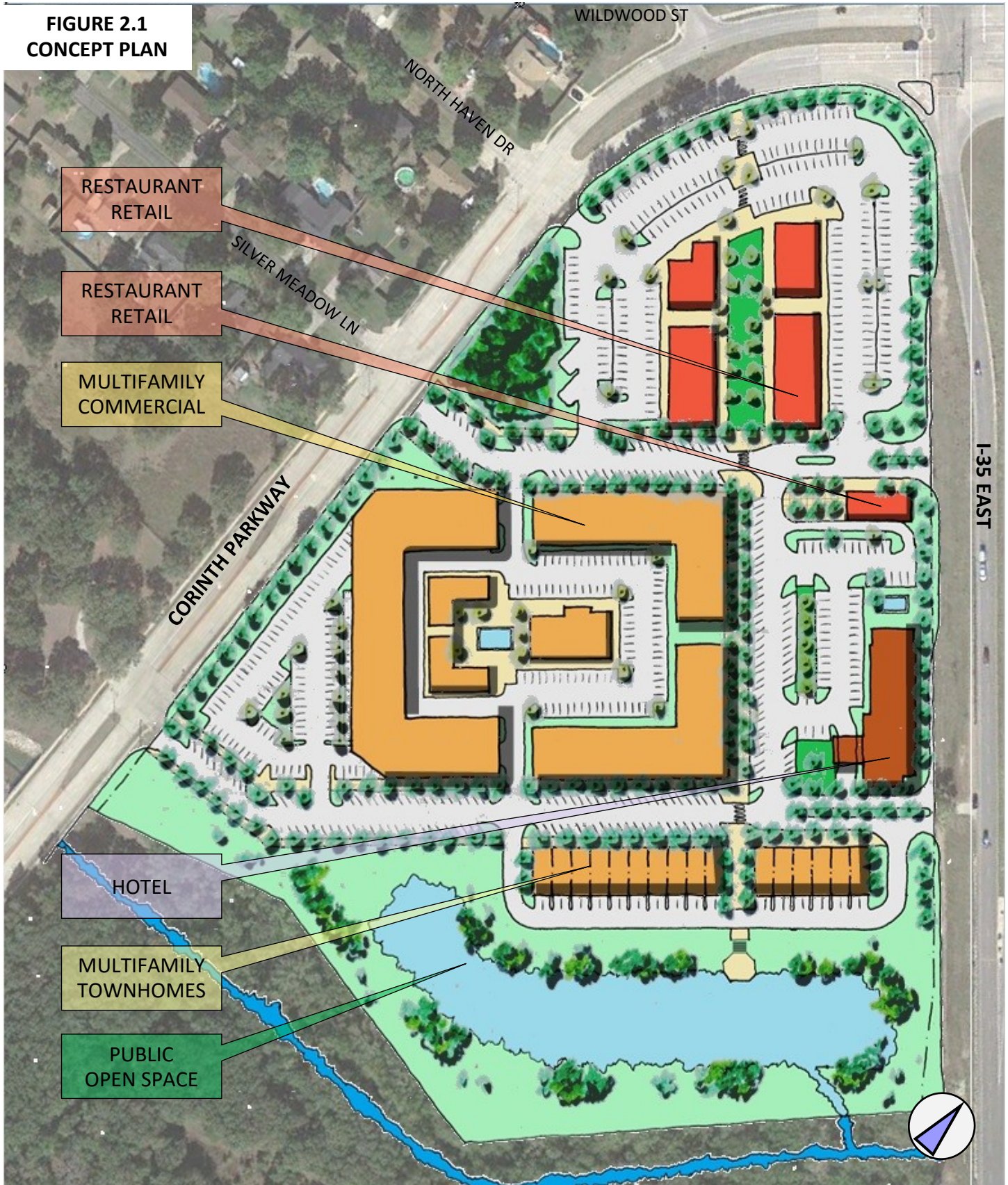
If the Site Plan is not in Substantial Conformance to the Concept Plan, then the Site Plan shall be subject to approval by the Planning and Zoning Commission and the City Council prior to applying for site construction and building permits as prescribed in Section 2.10.09.D.2. of the Corinth UDC. Minor PD Amendments or Minor PD Adjustments shall not constitute non-conformance, and minor adjustments may be approved administratively.

SECTION 2: GENERAL REGULATIONS

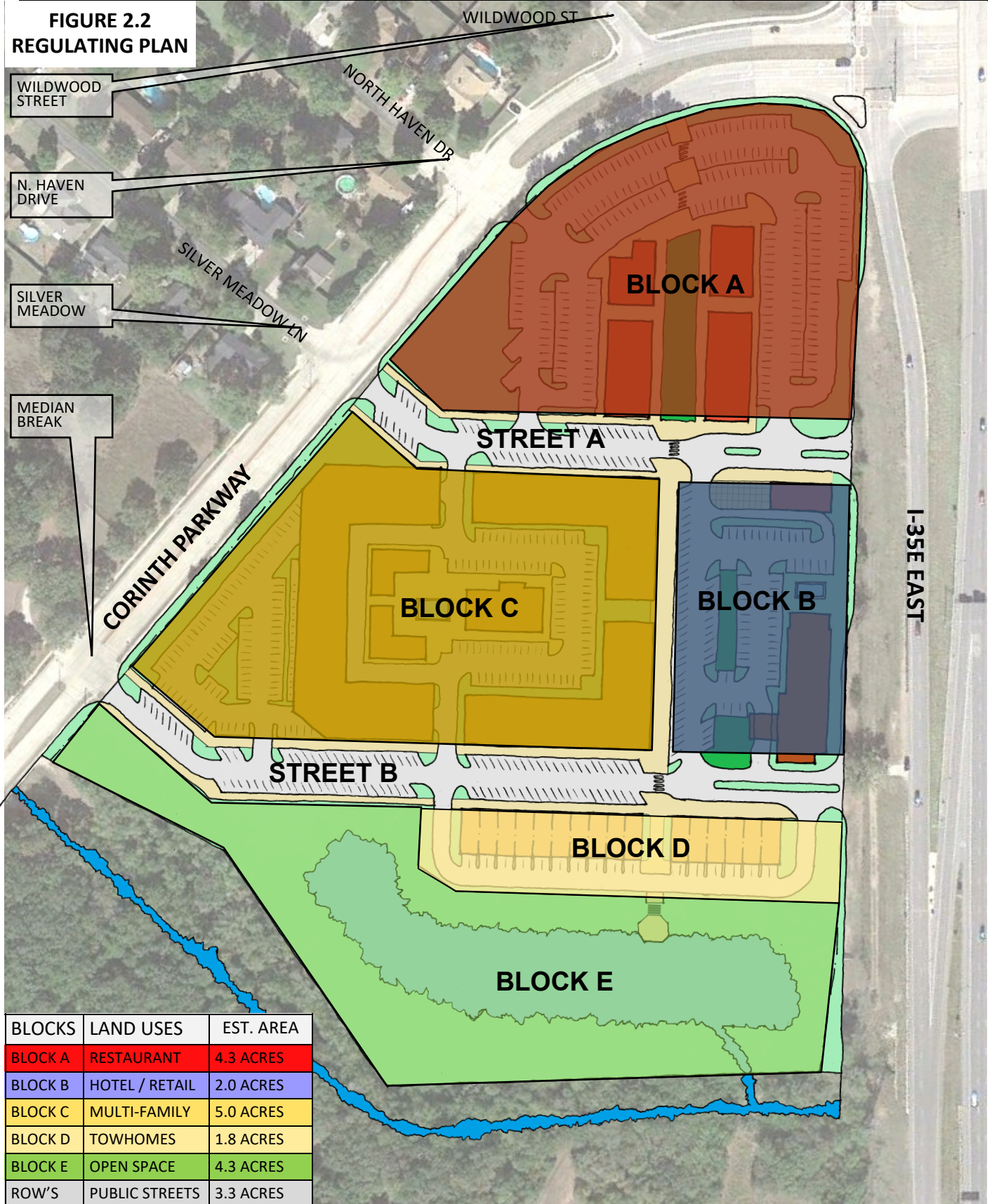
- A. General: The following tables and illustrations identify general regulations for all Blocks within the Planned Development District.
- B. The Regulating Plan in Figure 2.2, Permitted Use Table in Table 2.1, Concept Plan in Figure 2.1 and associated standards and the other sections of the Planned Development ordinance govern the following components of the development.
1. See Table 2.2 for Lot Development Standards that define the minimum and maximum lot areas and/or dimensions.
 2. See Section 3 for allowable vehicular ingress and egress from the Planned Development District.
 3. See Section 3 for street standards within the Planned Development District.
 4. See Section 4 for Open Space, walkways, landscape, and tree standards.
 5. See Section 5 for Parking on-street, off-street and garage parking standards.
 6. See Section 6 for Architectural and building façade standards.
 7. See Section 7 for Signage standards.
- C. Regulating Plan Block A
1. Block A: The area of Block A shall include approximately 4.3 acres, and shall include certain open spaces described in Section 5 herein, plus a minimum of 3 restaurant pad sites. Restaurants shall offer dine-in seating and full-meal entrees. No residential uses are permitted.
- D. Regulating Plan Block B
1. Block B: The area of Block B shall include approximately 2.0 acres, and shall include a location for non-residential uses such as hospitality or retail.
 2. Full Service Hotel shall comply with Section 2.07.04.A.24 for Full Service hotels except as amended herein.
 3. Select Service Hotel, an additional use not included in the Corinth UDC, shall comply with Limited Service hotels, except as amended below:
 - a. The hotel shall provide a lobby with seating adjacent to the check-in area.
 - b. The hotel shall provide a bar or lounge area in addition to the lobby.
 - c. The hotel shall provide a covered seating area adjacent to the pool of at least 300 SF.
 - d. The hotel shall have a minimum of 80 guest rooms.
- E. Regulating Plan Block C
1. Block C shall contain primarily Urban Residential dwelling units. See Table 2.1 for the maximum number of dwelling units permitted. The area shall include approximately 5 acres.
 2. Block C shall contain a minimum 2,500 square feet of commercial use on the ground floor of the multifamily building.
 3. The location and arrangement of parking and recreational amenities may differ from the Concept Plan provided that the building, or buildings, conform to the development standards of the Planned Development District.
 4. Residential units shall meet the following minimum areas: Efficiency units 550 sf; Average unit size 825 sf. An estimate of unit breakdown is shown on Table 5.3.
- F. Regulating Plan Block D:
1. Block D: The area of Block D contains Townhomes that may be attached, zero-lotline, detached, or may include multiple homes constructed on a single lot. Townhomes shall front onto Street B. Townhomes shall have a minimum of 1,200 sf. The area shall include approximately 1.8 acres.
- G. Block E
1. Block E: The area of Block E shall contain a concrete walkway from Corinth Parkway to I-35E ROW, open space, wet detention, floodplain, and floodway. The area of Block E shall include approximately 4.3 acres, and may include some surface parking above the floodplain elevation for public use.

SECTION 2

**FIGURE 2.1
CONCEPT PLAN**



SECTION 2



SECTION 2

TABLE 2.1 PERMITTED USE TABLE

Legend for Use Chart		BLOCK A: RESTAURANTS	BLOCK B: HOTEL / RETAIL	BLOCK C: MULTIFAMILY	BLOCK D: TOWNHOMES	BLOCK E: OPEN SPACE	NOTES
P	Use is permitted in district indicated						Note 1: Block D shall have no more than 25 Townhomes Note 2: Block C shall have no more than 327 dwelling units. Note 3: Single Family Townhomes are individually platted lots or a single lot Note 4: Multifamily includes multiple attached dwelling units on a single platted lot. Note 5: Block C and Block D: Commercial use shall be located on the ground floor of a multi-story building. Note 6: Full Service and Select Service Hotels are permitted uses in Block B. Limited Service Hotels are a prohibited use. See Section 2, Block B regulations for definitions.
	Use is prohibited in district indicated						
S	Use is permitted in district upon approval of a 2.10.10. Specific Use Permit						
	Use is permitted (or permitted by SUP) if the use complies with conditional development standards or limitations in 2.07.04. Conditional Development Standards.						
§	Reference for Future Reference						
Residential Uses							
Dwelling, Single Family (detached)				P			Note 1, 3
Dwelling, Single Family (attached - townhouse)				P			Note 1, 3
Dwelling, Multi-Family			P	P			Note 1, 2, 4
Nonresidential Uses							
Antique Shop	P	P	P				Note 5
Art Gallery or Museum		P	P				Note 5
Bank or Financial Institution		P	P				Note 5
Barber, Beauty Shop or Personal Services		P	P				Note 5
Book Store	P	P	P				Note 5
Business Services	P	P	P				Note 5
Caterer or Wedding Service	P	P					Only as part of restaurant or hotel facility
Concrete Batching Plant, Temporary	P-C	P-C	P-C	P-C			
Dance, Music, or Drama Studio	P	P					
Educational Services Office	P	P	P				Note 5
Farmer's Market	P	P				P	
Food Truck	P-C	P-C				P	
Home Based Business			P	P			
Hotel, Full-Service or Select Service		P					Note 6: 'Full" and 'Select' permitted, 'Limited Service' prohibited
Massage Therapy, Licensed		P	P				Note 5

SECTION 2

TABLE 2.1 PERMITTED USE TABLE CONTINUED

Legend for Use Chart		BLOCK A: RESTAURANTS	BLOCK B: HOTEL / RETAIL	BLOCK C: MULTIFAMILY	BLOCK D: TOWNHOMES	BLOCK E: OPEN SPACE	NOTES
P	Use is permitted in district indicated						
	Use is prohibited in district indicated						
S	Use is permitted in district upon approval of a 2.10.10. Specific Use Permit						
	Use is permitted (or permitted by SUP) if the use complies with conditional development standards or limitations in 2.07.04. Conditional Development Standards.						
§	Reference for Future Reference						

Note 1: Block D shall have no more than 25 Townhomes

Note 2: Block C shall have no more than 327 dwelling units.

Note 3: Single Family Townhomes are individually platted lots or a single lot.

Note 4: Multifamily includes multiple attached dwelling units on a single platted lot.

Note 5: Block C and Block D: Commercial use shall be located on the ground floor of a multi-story building.

Note 6: Full Service and Select Service Hotels are permitted uses in Block B. Limited Service Hotels are a prohibited use. See Section 2, Block B regulations for definitions.

Nonresidential Uses Continued

Medical Clinic		P					
Movie Picture Theatre	P	P					Ancillary use only
Office, Professional, Medical, or Business		S	P				Note 5
Photographer's or Artist's Studio/Film Processing		P	P	P			Note 5
Photovoltaic Systems (Attached)	P	P	P	P			
Printing/Duplication Shop or Mailing Center		P	P				Note 5
Public Building	P	P	P				Note 5
Parking Garage	P	P	P				
Restaurant without Drive-through Service	P	P	P				Note 5
Restaurant with Drive-through Service (coffee shop pad site or similar establishment)		P					Maximum one stand alone coffee shop pad site or similar establishment only, or one in-line coffee shop within main structure.
Restaurant with Drive-through Service		S					Maximum one stand alone pad site or one in-line within main structure other than coffee shop.
Retail Stores and Shops	P	P	P				Note 5
Temporary Building for New Construction	P-C	P-C	P-C	P-C	P-C		
Tower/Antenna: TV, Radio, Microwave, Telephone, or Cellular	S	S	S	S			Co-Location with architectural feature required.
Wedding Chapel, Reception Facility, Special Events Center	P	P					Only as part of a restaurant or hotel facility.

SECTION 2

TABLE 3.2 LOT DEVELOPMENT STANDARDS

	Block A	Block B	Block C	Block D	Block E
Open Space (Yard) Dimensions					
Minimum Front Yard Setback	0'	0'	5'	0'	N/A
Landscape Buffer, I-35E ROW	See Section 4.1G for buffer standards				
Landscape Buffer, Corinth Parkway	See Section 4.1G for buffer standards				
Landscape Buffer, Streets A & B	0'	0'	0'	0'	N/A
Minimum Side Yard Setback:					
Interior Lot	0'	0'	5'	0'	N/A
Corner Lot	0'	0'	5'	10'	N/A
Minimum Rear Yard Setback	0'	0'	5'	3'	N/A
Minimum Alley Garage Door Setback				3' or 20' ¹	
Lot Dimensions					
Minimum Lot Area	4,000 sq. ft.	4,000 sq. ft.	40,000 sq. ft.	1,980 sq. ft.	N/A
Maximum Single Family Lot Area				3,000 sq. ft.	
Minimum Lot Width	50'	50'	150'	22'	N/A
Minimum Lot Depth	80'	80'	150'	60'	N/A
Structure Height					
Maximum Height (stories/feet)	2½ Stories/40' or SUP	6 Stories/85' or SUP	5 Stories/75' or SUP	3 Stories/ 38' or SUP	N/A
Building Area Coverage					N/A
Maximum Building Area (all buildings)	90%	90%	90%	75%	N/A
¹ : To ensure that townhomes have either adequate parking or no parking adjacent to the alley.					

SECTION 3: STREET STANDARDS

A. General: The Parkway District development is based on an urban block structure. The streets defining the blocks are permitted some flexibility to accommodate final site plan design. The tables and illustrations identify standards for streets, parkways, sidewalks, and street trees.

B. Conceptual Vehicular Street Network (See Figure 3.1): The Figure illustrates the proposed street network within the Planned Development District.

C. The maximum number of access drives to the site from Corinth Parkway is 3 ingress/egress drives.

1. Drive 1 shall align with North Haven Drive.
2. Drive 2 (Street A) shall align with Silver Meadow Lane.
3. Drive 3 (Street B) shall align with the existing median break south of Silver Meadow Lane.

D. The maximum number of access drives to the site from I-35E is 2 ingress drives.

1. Drive 4 (Street A) shall be located beyond the "Access Denial" zone established by TXDOT.
2. Drive 5 (Street B) shall meet or exceed the required 250' minimum spacing from Street A established by TXDOT.

E. Fire Lanes, access drives, access locations, loading zones, and turning radii, shall be subject to review and approval in each Site Plan application.

F. Driveway spacing off Streets A and B shall not be less than 36'. Driveway spacing from perimeter arterials shall not be less than 30'.

G. Curves on Streets A and B shall not have a centerline radius of curvature less than 50'.

H. Residential Alley: See Figure 3.5.

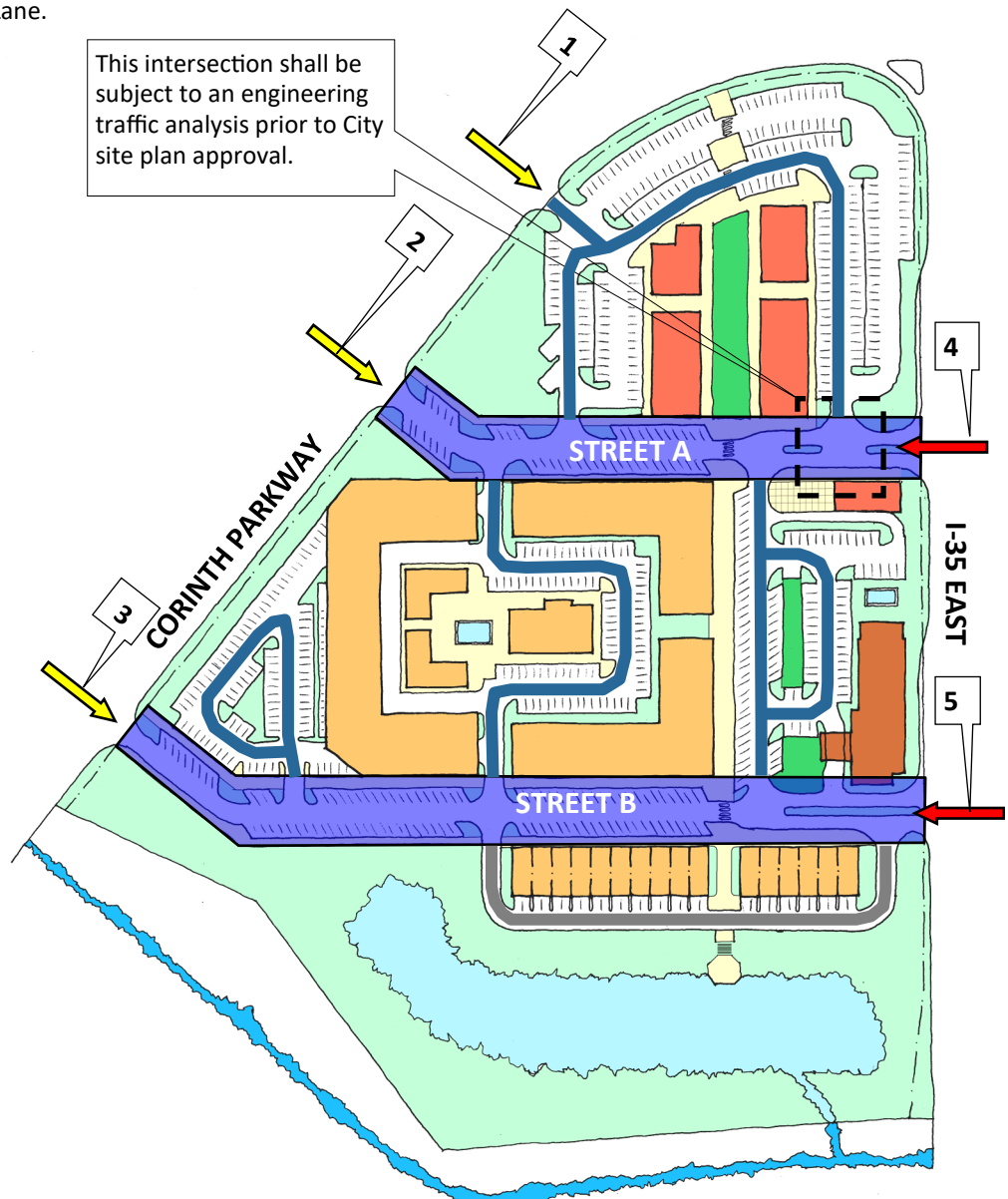
I. Fire Lanes: Subject to Fire Dept approval at Site Plan application.

J. Access drive configuration from the I-35-E frontage road and the driveway access from Streets A and B shall be subject to City review and approval.

K. Crosswalks at Streets A & B adjacent to the promenade (Walkway 2) shall be raised to the height of the top of the curb.

**FIGURE 3.1
STREET PLAN**

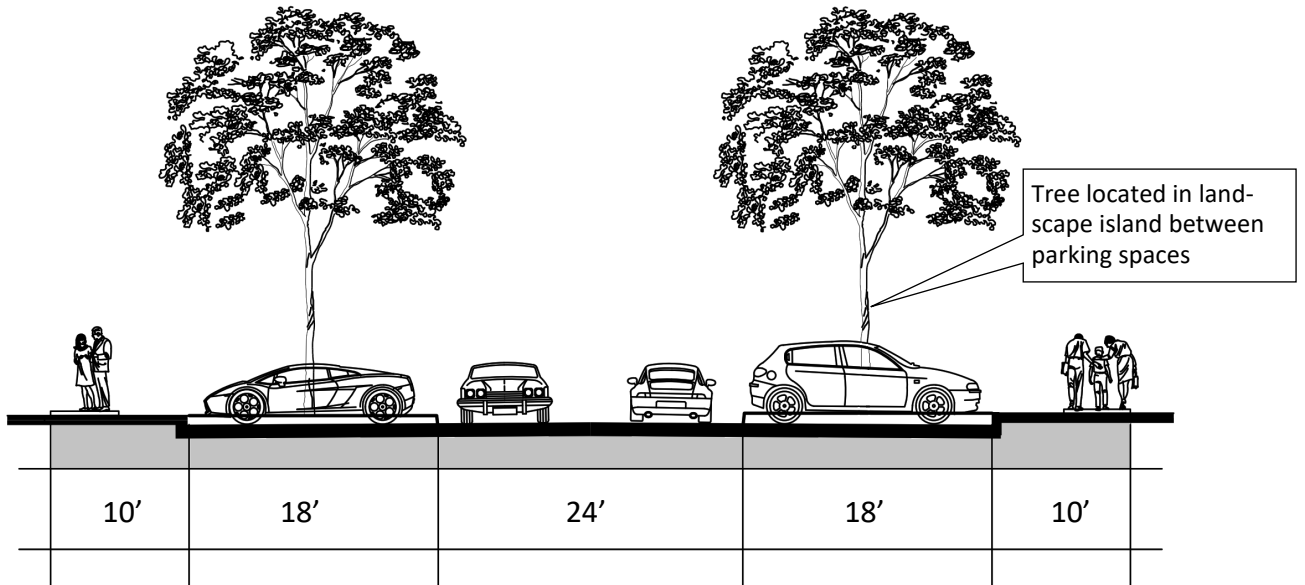
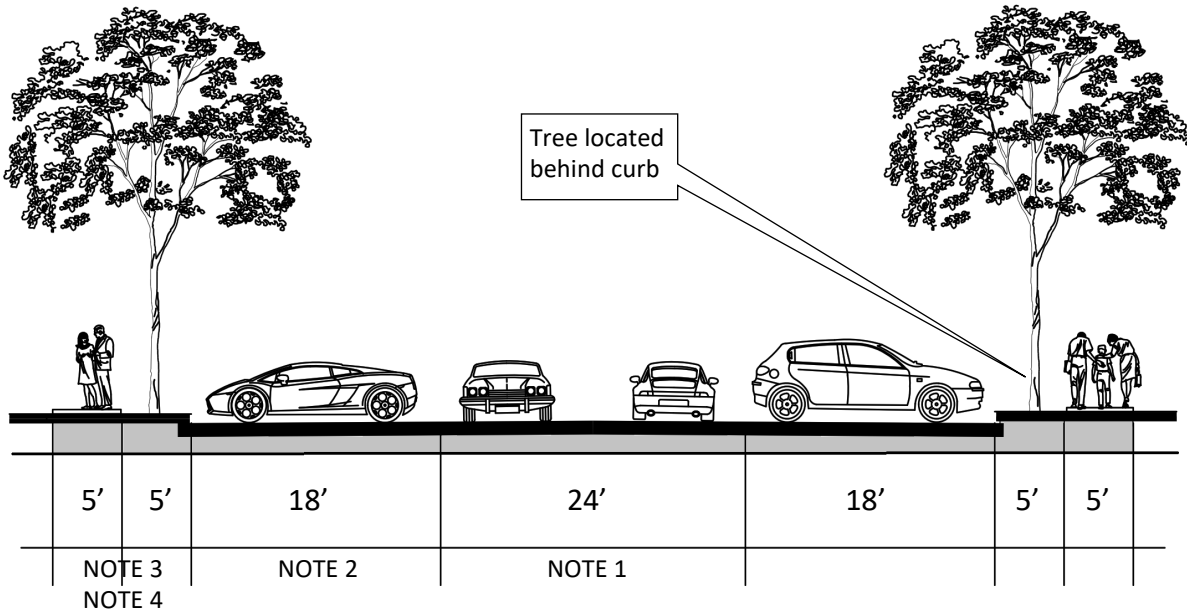
- STREET ROW**
- ALLEY ROW**
- FULL ACCESS INGRESS/EGRESS**
- RIGHT-IN / RIGHT-OUT**
- FIRE LANE** (shall meet fire code and subdivision regulations)



SECTION 3

FIGURE 3.2
URBAN COMMERCIAL STREET SECTIONS WEST OF OS-2; STREET A & STREET B

Street Classification	Minimum R.O.W.	Roadway Width (Overall to Front of Curb)	Number of Lanes and Width	Parking	Number of Parkways and Width
Urban Commercial 1	80'	60'	2—12'	Head-in	2—10'

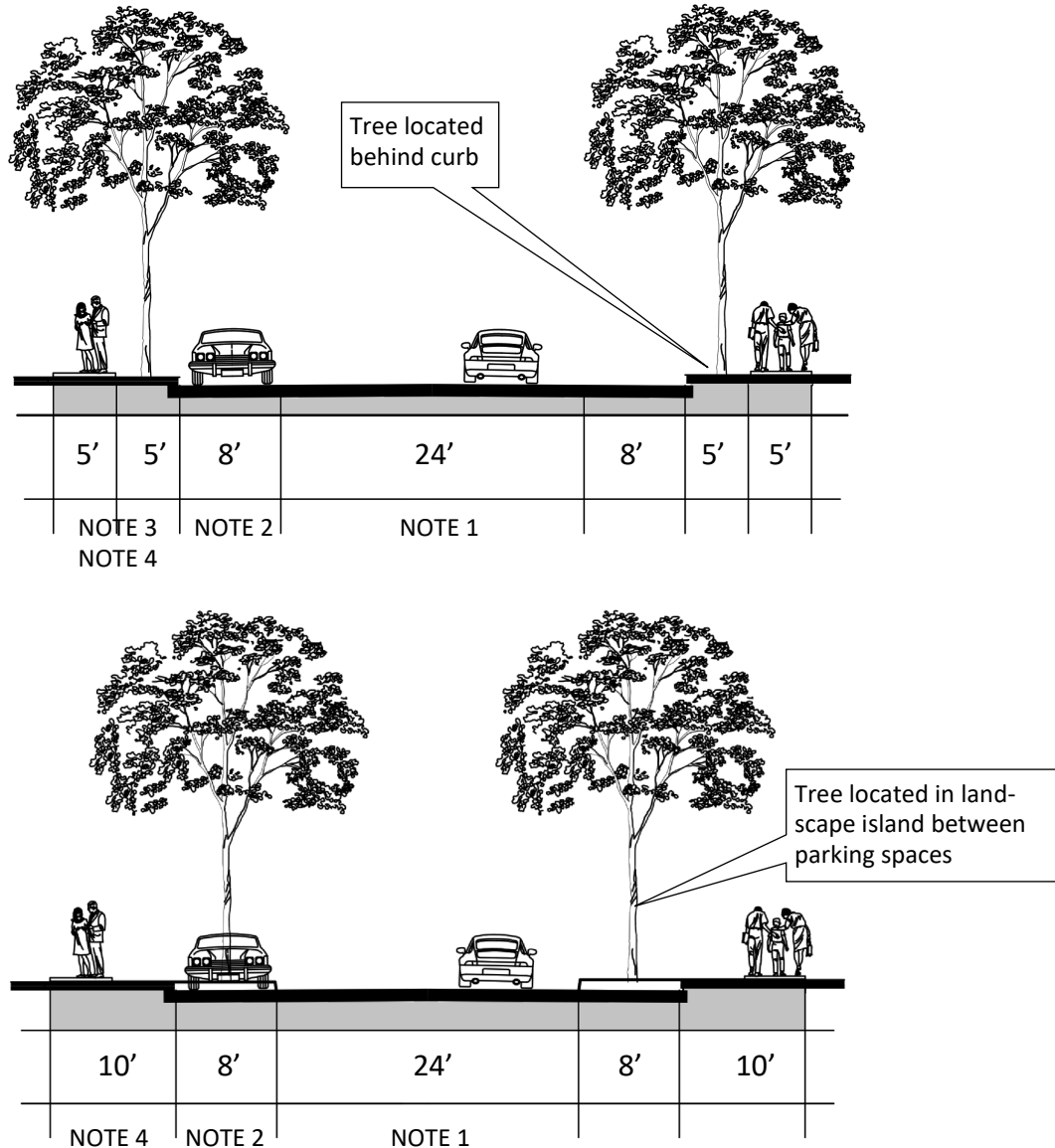


- NOTE 1: Minimum width of travel lanes is 24'. If adjacent to buildings 4 or more stories in height, minimum width is 26'
- NOTE 2: Angled-in parking spaces are permitted. See Figure 5.1 for parking space dimensions. On-street parking may be located along all or any portion of the length of the street.
- NOTE 3: Street Trees may be located behind the curb or in landscape islands between parking spaces. See Section 4 for Street Tree planting standards. Dimension shown indicates the minimum width for tree planting.
- NOTE 4: Sidewalks are required within the right-of-way and shall be a minimum of 5' in width.
- NOTE 5: Inflections in street direction may be treated as corners (minimum 50' centerline radius) versus curves (250' radius).
- NOTE 6: Minimum interior turning radius is 26'.

SECTION 3

FIGURE 3.3
URBAN RESIDENTIAL STREET SECTIONS WEST OF OS-2, STREET A & STREET B

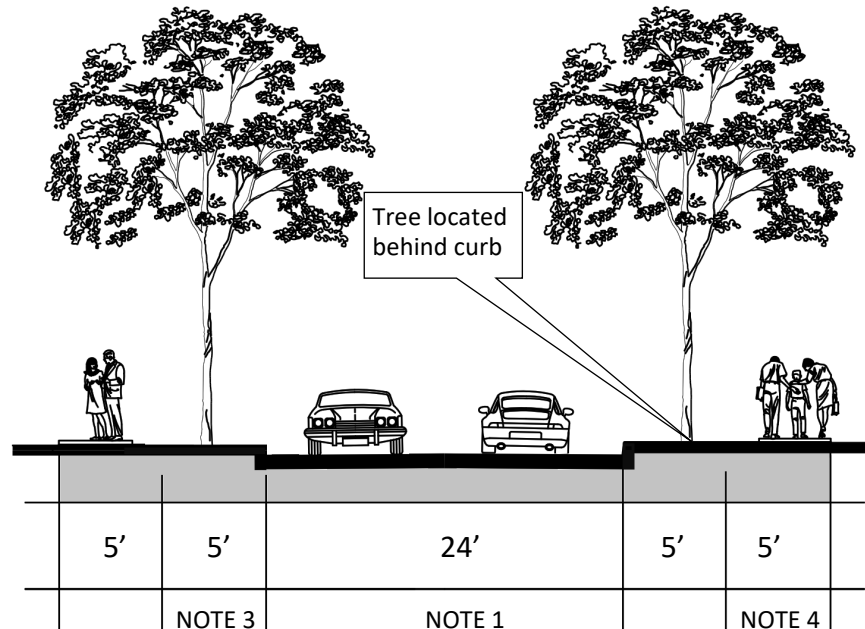
Street Classification	Minimum R.O.W.	Roadway Width (Overall to Front of Curb)	Number of Lanes and Width	Parking	Number of Parkways and Width
Urban Residential	60'	40'	2—12'	Parallel	2—10'



- NOTE 1: Minimum width of travel lanes is 24'. If adjacent to buildings 4 or more stories in height, minimum width is 26'
- NOTE 2: Parallel parking spaces are permitted. See Figure 5.1 for parking space dimensions. On-street parking may be located along all or any portion of the length of the street.
- NOTE 3: Street Trees may be located behind the curb or in landscape islands between parking spaces. See Section 4 for Street Tree planting standards. Dimension shown indicates the minimum width for tree planting.
- NOTE 4: Sidewalks are required within the right-of-way and shall be a minimum of 5' in width.
- NOTE 5: Inflections in street direction may be treated as corners (minimum 50' centerline radius) versus curves (250' radius).
- NOTE 6: Minimum interior turning radius is 26'.

FIGURE 3.4
URBAN COMMERCIAL ALTERNATE STREET SECTION WEST OF OS-2

<i>Street Classification</i>	<i>Minimum R.O.W.</i>	<i>Roadway Width (Overall to Front of Curb)</i>	<i>Number of Lanes and Width</i>	<i>Parking</i>	<i>Number of Parkways and Width</i>
Urban Commercial Alt	44'	24'	2—12'	None	2—10'



NOTE 1: Minimum width of travel lanes is 24'. If adjacent to buildings 4 or more stories in height, minimum width is 26'

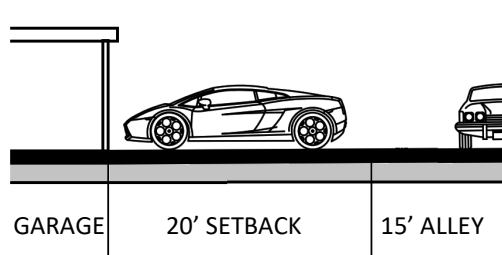
NOTE 2: On-street parking spaces are not permitted.

NOTE 3: Street Trees shall be located behind the curb. See Section 4 for Street Tree planting standards.

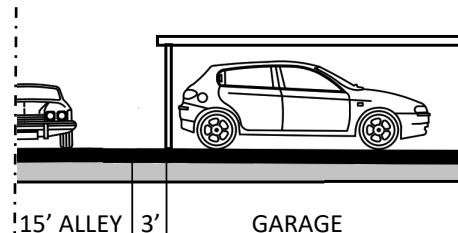
NOTE 4: Sidewalks are required within the right-of-way and shall be a minimum of 5' in width.

FIGURE 3.5
RESIDENTIAL ALLEY SECTION

<i>Street Classification</i>	<i>Minimum R.O.W.</i>	<i>Roadway Width (Overall Paving width)</i>	<i>Number of Lanes and Width</i>	<i>Parking</i>	<i>Number of Parkways and Widths</i>
Residential Alley	15'	15'	1—15'	None	NA



Alley option with driveway parking space

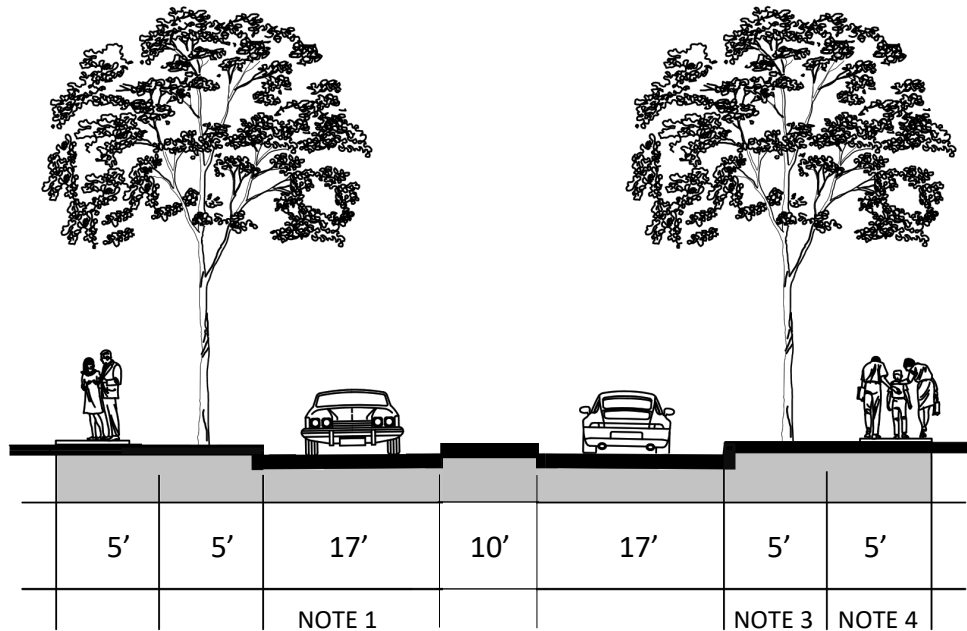


Alley option without driveway parking space

Residential Alley to be used only with Single Family/TH lots. Multifamily shall use standard fire lanes.

FIGURE 3.6
URBAN COMMERCIAL ALTERNATIVE EAST OF OS-2 CONNECTING TO I-35E FRONTAGE ROAD

<i>Street Classification</i>	<i>Minimum R.O.W.</i>	<i>Roadway Width (Overall to Front of Curb)</i>	<i>Number of Lanes and Width</i>	<i>Parking</i>	<i>Number of Parkways and Width</i>
Urban Commercial Alt	64'	16' each way	2—16'	None	2—10'



NOTE 1: Minimum width of travel lanes is 16' F-F or 17' B-B. Width does not require additional width adjacent to buildings 4 stories or taller.

NOTE 2: On-street parking spaces are not permitted.

NOTE 3: Street Trees shall be located behind the curb. See Section 4 for Street Tree planting standards.

NOTE 4: Sidewalks are required within the right-of-way and shall be a minimum of 5' in width.

SECTION 4

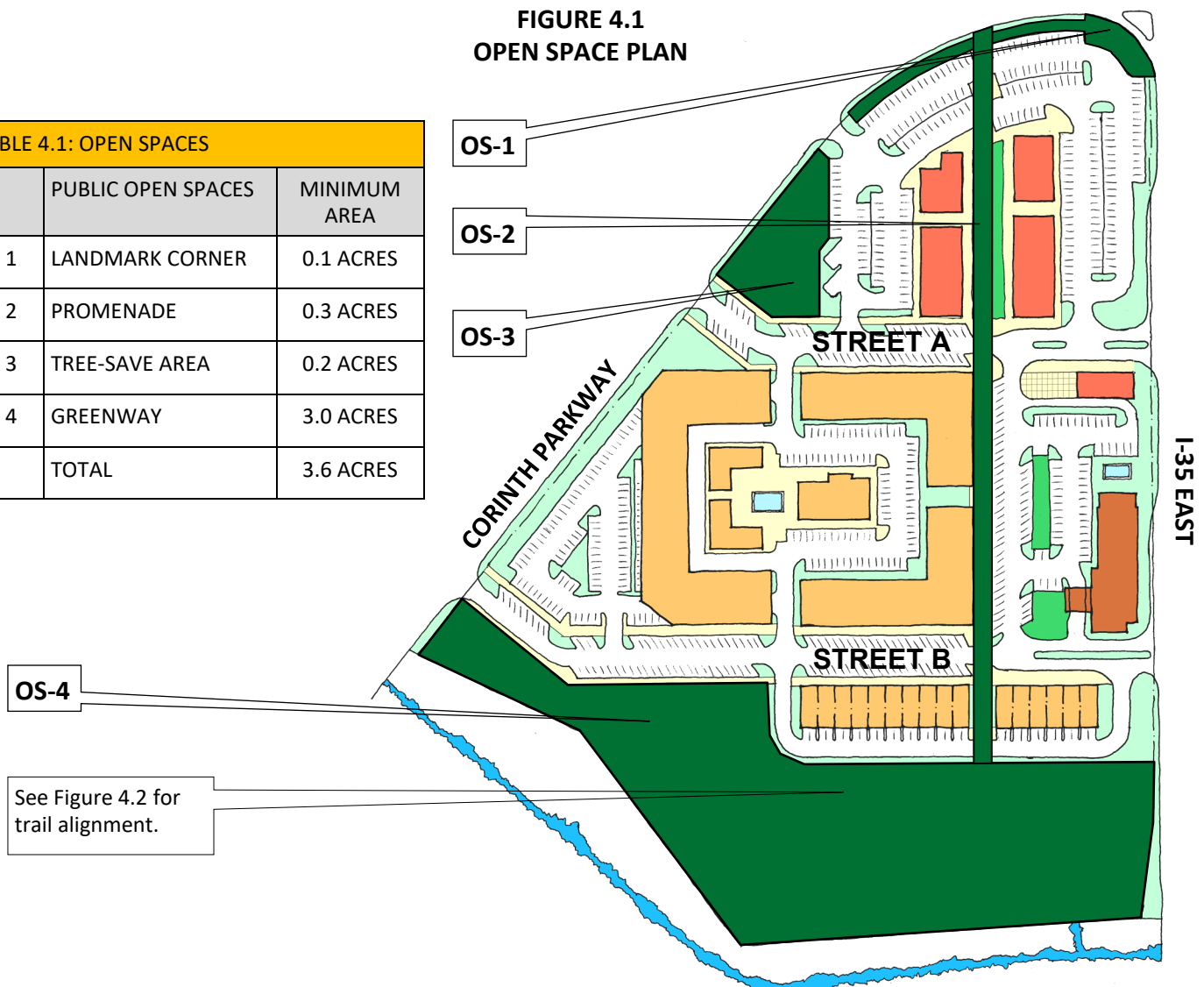
SECTION 4: PARKS AND OPEN SPACE STANDARDS

4.1 General Park and Open space standards

- A. **General:** The Planned Development District provides both public and private open space in order to ensure adequate outdoor recreational and aesthetic amenities for the residents. Private open space is not included in open space tabulations. The Public Open Spaces shall equal or exceed 10% of the gross area of the Planned Development District.
- B. **The Public Open Space** shall consist of a number of outdoor spaces that shall comply with the minimum standards and requirements herein. The following open spaces labelled as OS 1 through OS 3 are public open spaces owned and maintained privately but open to the public. OS 4 shall be public but may be owned and maintained privately or publicly.
- C. **OS 1 Landmark Corner:** The Landmark Corner shall be located in Block A and shall be contiguous to the intersection of Corinth Parkway and I-35E ROW. It shall be a minimum of 0.1 acres. OS 1 shall provide a walkway that connects the crosswalk at the intersection of Corinth Parkway and I-35E ROW to OS 2. An area shall be allocated for the use of the City to install signage, by entities other than Applicant, in coordination with the Applicant's Site Plan process.
- D. **OS 2 Promenade:** The Promenade shall extend from the northern boundary of Block A to the southern boundary of Block D, excluding parking lots and street ROW's. Within Block A, OS-2 shall include the restaurant courtyard which may contain outdoor dining areas and shall contain a minimum of 4 canopy trees, pedestrian lighting, paved walkways,

**FIGURE 4.1
OPEN SPACE PLAN**

TABLE 4.1: OPEN SPACES		
	PUBLIC OPEN SPACES	MINIMUM AREA
OS 1	LANDMARK CORNER	0.1 ACRES
OS 2	PROMENADE	0.3 ACRES
OS 3	TREE-SAVE AREA	0.2 ACRES
OS 4	GREENWAY	3.0 ACRES
	TOTAL	3.6 ACRES



SECTION 4

and visual access to outdoor dining areas. Within Block C, OS-2 shall be a minimum of 24' in width with a minimum of 12' of pavement and shall include a double row of trees spaced approximately 30' on staggered centers, and shall also include pedestrian lighting spaced a maximum of 60' on center. Within Block D, OS-2 shall include a walkway 8' minimum in width and pedestrian lighting and shall pass between the residential units to connect with the walkway in OS-4.

- E. **OS 3 Tree Save Area:** The open space shall include a tree-save area within the open space area. OS 3 shall be a minimum of 0.2 acres. Unprotected trees and undergrowth may be cleared to create a more park-like atmosphere. Monument signage is permitted within OS 3.
- F. **OS 4 Greenway:** The Greenway shall include a pedestrian walkway with benches, a minimum of 10,000 sf of land accessible from the walkway with slopes less than 5%, and may include a detention area, and a tree-save area. Developer shall use best efforts to preserve existing trees along the floodway and within Block E during the floodplain reclamation construction. Perimeter trees may be placed along the alley/parking lot boundary at the rate of 1 tree for each 30' buffering the boundary between Block D and OS-4. Trees may be clustered. The detention area may include retaining walls.

G. Landscape Buffers

1. Corinth Parkway, Block A: Minimum width shall be 15'. Trees shall be planted at the rate of 50' o.c. Shrubbery or ornamental grasses shall be planted as a continuous screen to a mature height of approximately 30" and/or a stone wall to a minimum height of 30" matching the stone and the detailing of the stone wall on Block C.
2. Corinth Parkway, Block C: Minimum width shall be 20'. A berm averaging a height of 30 inches, shall be planted with trees planted at the rate of one tree for every 50' but trees may be planted in clusters. Shrubbery or ornamental grasses planted at the rate of one 3 gallon shrub every 20' but may be planted in clusters; a minimum of 500 SF ground cover. Provide a stone wall on at least 25% of the frontage with a minimum average height of 30". Stonework to match the stone wall on Block A.
3. Corinth Parkway, Block E: No buffer shall be required.
4. I-35E, Block A: Minimum width shall be 10' and average width shall be 12'. The sidewalk shall comply with the walkway plan, trees shall be planted approximately 50' o.c., provided they do not interfere with the waterline easement, or with visibility triangles.
5. I-35E, Block B: Minimum width shall be 15'. Sidewalk shall comply with the walkway plan, trees shall be planted approximately 50' o.c., provided they do not interfere with the waterline easement or the visibility triangles. Plant shrubbery as a continuous hedge to a minimum height of 3' at maturity adjacent to parking.
6. I-35E, Block D: Sidewalk shall comply with the walkway plan, trees shall be planted approximately 50' o.c., provided they do not interfere with the waterline easement. Trees may be clustered.
7. I-35E, Block E: No buffer shall be required.
8. Buffers adjacent to parking lots shall include a continuous shrubbery screen or wall to a minimum height of 30"

4.2: Trees

- A. **General:** The Planned Development District shall have preserved trees in the Tree-Save areas and newly planted trees in the street ROW's, in the parks and open spaces, and in the parking lots.
- B. **Tree Inventory:** The urban format of the development necessarily requires re-creating a new tree canopy that conforms to the development pattern of buildings, streets, urban parks and walkways. Since this is predominantly reclaimed land, most trees will need to be replaced with newly planted trees, consequently, the PD District shall be exempt from the Tree Preservation Ordinance 2.09.02.
- C. **Species:** Acceptable tree species and other planting material shall comply with species approved by the UDC.
- D. **Minimum Size:** The minimum size trunk diameter of newly planted trees shall be 3" (three inches).
- E. **Minimum Tree Planter:** The minimum size for a tree planter, whether a parking lot island or a street tree planting well, shall be 4'-6" in width. A root barrier shall be required adjacent to public streets. A smaller tree well may be approved by staff upon review and approval of plans, details, and specifications.
- F. **Tree-save areas** shall be subject to protection during construction, limiting grading within the dripline of preserved trees and prohibiting construction traffic and staging within tree-save areas. Tree-save areas shall preserve natural grade per UDC.

TABLE 4.2: MINIMUM TREE PLANTING TABLE

LOCATION	MINIMUM TREE PLANTING
STREETS	1 TREE/50' MAXIMUM SPACING
PARKING LOTS	1 TREE / 10 PARKING SPACES
OS 1	4 TREES MINIMUM
OS-2	PLANTING PER PARAGRAPH 5.1.D
OS-3	NO ADDITIONAL PLANTING REQUIRED
OS-4	PLANTING PER PARAGRAPH 5.1.F

SECTION 4

**FIGURE 4.2
WALKWAY PLAN**

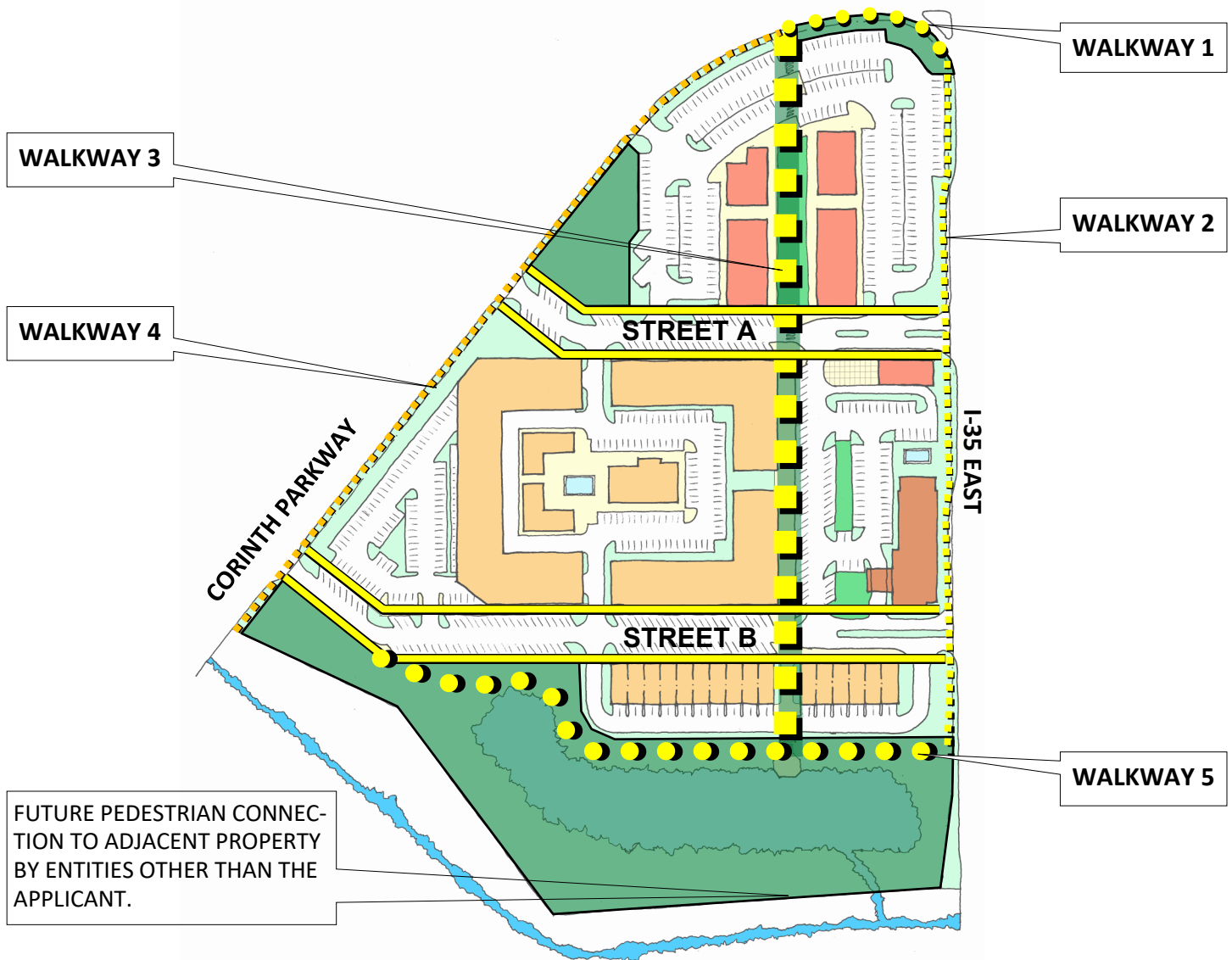
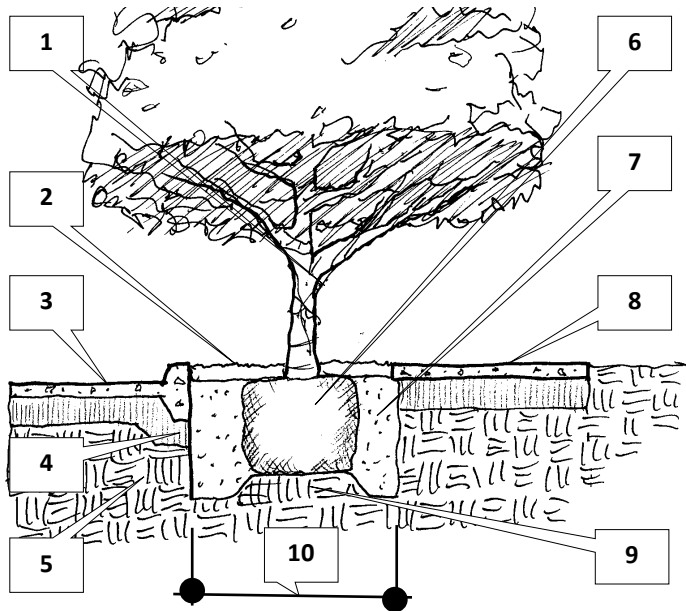


TABLE 4.3: TRAILS AND SIDEWALKS

	OPEN SPACES	MINIMUM WIDTH	LEGEND
WALKWAY 1	SIDEWALK CONNECTING I-35E INTERSECTION WITH OS-2 WALKWAY	5'	● ● ● ● ● ● ● ●
WALKWAY 2	REQUIRED SIDEWALK ADJACENT TO I-35E	5'	● ● ● ● ● ● ● ●
WALKWAY 3	PROMENADE FROM CORINTH PARKWAY TO OS-4	12'	■ ■ ■ ■ ■ ■ ■ ■
WALKWAY 4	EXISTING SIDEWALK ON CORINTH PARKWAY	NA	● ● ● ● ● ● ● ●
WALKWAY 5	GREENWAY WALKWAY FROM CORINTH PARKWAY TO I-35E	6'	● ● ● ● ● ● ● ●
	SIDEWALKS ON STREET A AND STREET B	5'	— — — — — — — —

SECTION 4

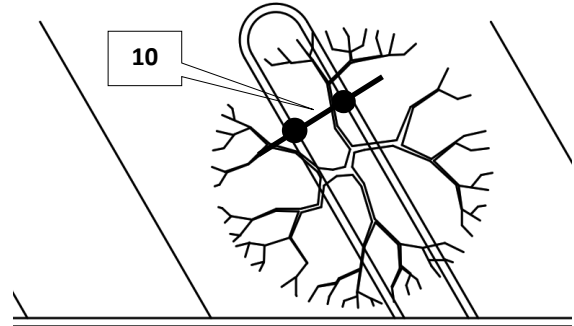
FIGURE 4.3 TREE PLANTER DETAIL



Tree located behind curb

1. Tree staked and irrigated
2. 3" minimum mulch cover
3. Street paving
4. Root barrier
5. Undisturbed soil

6. Root ball
7. Soil backfill
8. Sidewalk
9. Pedestal of undisturbed soil
10. 4' 6" minimum tree planting width.



Tree located in on-street landscape island

SECTION 5: PARKING STANDARDS

- A. Parking spaces for persons with disabilities shall be provided in the number and with such dimensions as are required by the Texas Accessibility Standards.
- B. The parking requirement may be reduced by the Planning and Development Director upon the submittal of a parking demand calculation by a licensed Texas Engineer.
- C. Dimensions. The minimum required dimensions of parking spaces and aisles shall be as indicated in this Section 5, Table 5.2.
- D. On-Street Parking: On-street parking may be counted toward required parking. No on-street parking space may be counted toward more than one platted lot, without submitting a shared parking study and a shared parking agreement for approval.
- E. Parking may be shared across commercial blocks.
- F. Covered Parking: Carports shall comply with the regulations governing building materials. Carports of metal construction are permitted, but may not be located within sight of public streets, or anywhere within Block D.
- G. Structured Parking: The parking facility may be visible from public streets provided that building materials conform to Section 7 of these standards. Glass shall not be required, but walls shall be designed to screen parked cars to a height of 42 inches above each finished floor level.
- H. Parking Lot Trees: Trees shall be planted in surface parking lots in accordance with Table 4.2.

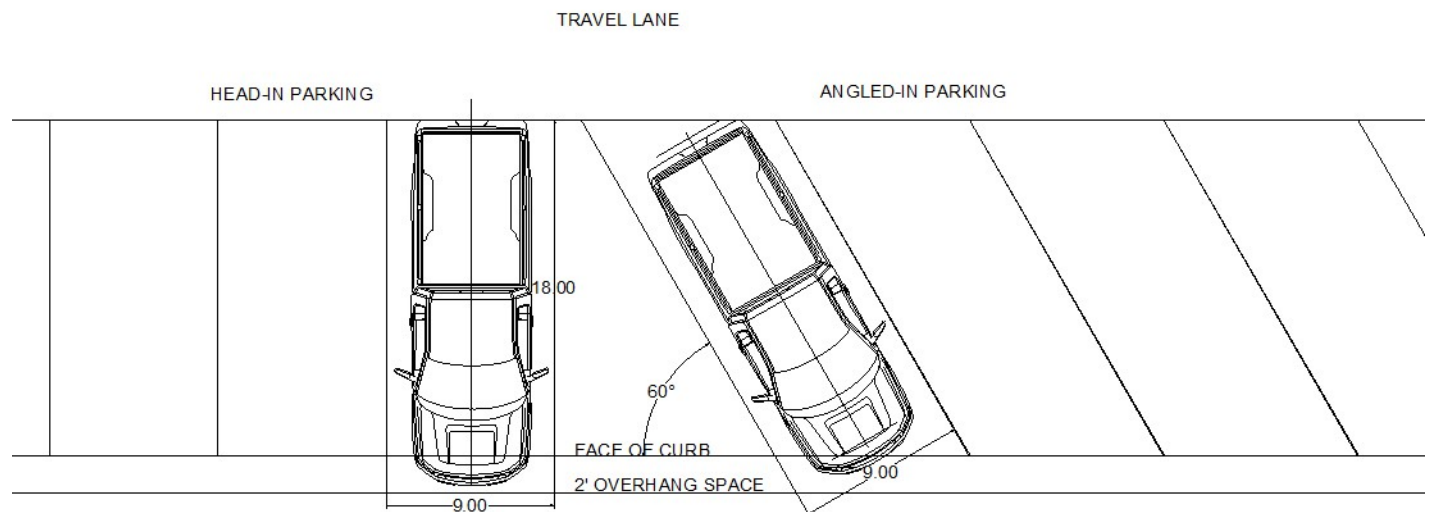
TABLE 5.1 MINIMUM REQUIRED PARKING	
OCCUPANCY / USE	MINIMUM REQUIRED PARKING
General Retail	1 space per 250 sq ft
General Office	1 space per 350 sq ft
Restaurants	1 space per 100 sq ft
Urban Lofts	1.45 spaces per Dwelling Unit
Townhomes	2 enclosed garage spaces per Unit
Hotel	1 spaces per guestroom plus 5% for staff

TABLE 5.2 PARKING STANDARDS		
PARKING TYPE	PARKING STANDARD	COMMENT
ON-STREET PARKING:		
Parallel Parking:	8' x 22' min	From Face of Curb
Angled-in Parking	See Figure 6.1	Angle = 60° from Curb
Head-in Parking	9' x 18'	Angle = 90° from Curb
PARKING LOTS		
Parking Space, Typical	9' x 18'	Accessible spaces comply w ADA
Aisle Width	24' min	
Landscape Requirements		1 tree per 10 spaces average
Tandem Spaces	9' x 18'	Only behind associated garage space for same tenant
GARAGES		
"Tuck-under" Garage Spaces	9' x 20' Min	Within Building Envelope
Tuck-under" Garage Doors		Garage Doors Required
Carport Spaces	9'x 18'	Not readily visible from public street

SECTION 5

TABLE 5.3 PARKING TABULATION (See Figure 3.2 for Land Use Inventory Acreage)

Quantities are estimates and do not represent minimum or maximum units.	BLOCKS					LAND USE TOTALS	PARKING REQUIRED
	A	B	C	D	E		
URBAN RESIDENTIAL LOFTS (# OF UNITS) ESTIMATED UNIT COUNT & UNIT MIX: EFFICIENCY 10%, 1 BEDROOM 60%; 2 BEDROOM 30%,			327			327	474
TOWNHOMES				25			50
HOTEL (ESTIMATED GUESTROOMS)		80				80	84
RESTAURANTS (ESTIMATED AREA)	20,000	2,000				22,000	220
OFFICE (ESTIMATED AREA)		0	2,500			2,500	8
TOTAL REQUIRED PARKING	200	104	474	50	0		836
PARKING PROVIDED SHALL MEET OR EXCEED THE REQUIRED PARKING.							

Figure 5.1: Head-in and Angled-in Parking Dimensions

SECTION 6: ARCHITECTURAL STANDARDS

- A. General: The following general regulations for all Blocks within the Planned Development District.
- B. The purpose of the architectural and building regulations is to establish the highest development standards fronting public streets, and to allow greater flexibility where the buildings are not visible to the public.
- C. Since the Planned Development standards do not include detailed engineering plans, any architectural elements that are required by engineering due to grading, such as retaining walls or stem walls, shall be permitted, and shall be brick or stone where visible. Retaining walls shall be engineered per UDC.
- D. If an exterior material is not addressed in the table, or if a new material is proposed, the material may be submitted to the Planning and Development Director for an evaluation. If it complies with the UDC, it may be approved administratively, subject to deed restrictions by the EDC.
- E. Windows shall be recessed 3" from the wall plane in brick or stone masonry walls. In stucco walls, windows shall have a minimum half inch projecting trim around the head, sill, and jambs.
- F. Street Frontage
1. No vehicular gates, carports, or perimeter fences are permitted to obstruct the flow of traffic on Street A or Street B. Carports, garage doors, and parking lots shall not be located between the building and the street ROW. Carports will only be permitted on the internal areas of Block C and immediately west of the main structure. Carports will not be permitted on the 1st row of parking along Corinth Parkway.
 2. AC equipment and other mechanical equipment shall not be located between the building façade and any public street ROW.
 3. Block C Upper Floors shall provide a minimum of 25% of the residential units with balconies.
 4. Façade materials shall comply with Figure 6.1.
- G. Materials: Three Step Stucco shall be included in Class 1 materials, which shall not include synthetic stucco or EIFS except for decorative trim. Cementitious Siding shall be included in Class 2 materials.
- H. The color palette for building walls that are not composed of brick or stone shall be neutral colors such as cream, taupe, white or earthen colors, unless approved administratively per UDC. This color palette shall not apply to signage.
- I. Commercial Storefronts shall include a minimum of 50% glass of the ground floor commercial frontage. The wall area shall be calculated by multiplying the length of the building frontage by the height from the finished interior floor to the finished ceiling. The glass area shall include window jambs, window heads, and window sills. Storefront windows shall have bulkheads beneath the windows not less than 18" above finished floor and not greater than 36" above finished floor. This paragraph shall apply to commercial space in Block C; it shall not apply to restaurants or hotels in Blocks A & B.
- J. BUILDING C1 (Figure 6.1): Ground floor residential units fronting Street A shall have a minimum of 50% of ground floor residential units with stoops and front doors opening onto the public street although primary access may be either from the sidewalk or from an interior corridor. The 4th floor located at the corner of Street A and the promenade (Walkway 2) shall include specialty architectural treatment: this may include additional glass, an identifying tower, an articulated roofline, or other signature treatment.
- K. BUILDING C2 (Figure 6.1): Ground floor residential units fronting Street B shall have a minimum of 50% of ground floor residential units with stoops and front doors opening onto the public street.
- L. Residential units in Block D shall have individual entry doors fronting on Street B. Front facades shall at least two of the following architectural features: 1) Elevated stoop, 2) Front Porch, 3) Covered Portico, 4) Recessed entry alcove.
- M. Residential Units in Block D shall have carriage style garage doors on any garages facing a public open space.
- N. Residential Units in Block D shall have roof pitches not less than 8:12 Pitch.
- O. Wall and ground utilities shall be screened from street view with landscaping or fencing.
- P. Fire Safety Notes
1. Any building 6,000sqft or greater, all multi-living (more than 2) facilities, and A2 with an occupant load exceeding 100 people must be sprinklered and monitored with a fire alarm system.
 2. Any building that is under 6,000sqft and is suited will require Fire Alarm Coverage.
 3. Parking garage must have stand-pipe and may be required to be sprinklered.
 4. All buildings may require Emergency Radio Responder Communication Coverage.
 5. Fire lanes must be a minimum of 24ft wide and a minimum of 26ft wide for buildings or facilities exceeding three stories in height and shall not have fewer than 2 means of fire apparatus access to each structure.

TABLE 6.1 MATERIAL BUILDING STANDARDS

ITEM	FACADE A	FACADE B
FACADE MATERIALS - GROUND FLOOR		
GROUND FL MASONRY, MINIMUM	90% CLASS 1**	90% CLASS 2**
FACADE MATERIALS - 2ND FLOOR AND ABOVE FLOOR		
MASONRY MINIMUM	90% CLASS 1**	90% CLASS 2**
CEMENTIOUS SIDING, maximum	10% *	n/a
METAL, maximum	10%	10%
WOOD, maximum	10%	10%
EIFS, maximum	10%	10%
EXPOSED CMU	N	N
EXPOSED AGGREGATE	N	N

* Cementitious Siding permitted on recessed balconies in addition to minimum percentage.

** Corinth UDC Section 5.02.214: Masonry Construction—as modified by Paragraph 6.G

Class 1: Masonry Construction shall include the following exterior construction materials: fired brick, natural and manufactured stone, granite, and marble, **plus 3-step Stucco**.

Class 2: Masonry Construction shall include the following exterior construction materials: all Class 1 Masonry Construction, architectural concrete block, 3-step stucco process, and tilt wall concrete panels, **plus cementitious siding**.

Class 3: Masonry Construction shall include the following exterior construction materials: all Class 1 Masonry Construction, Class 2 Masonry Construction, EIFS, and sealed and painted concrete block.

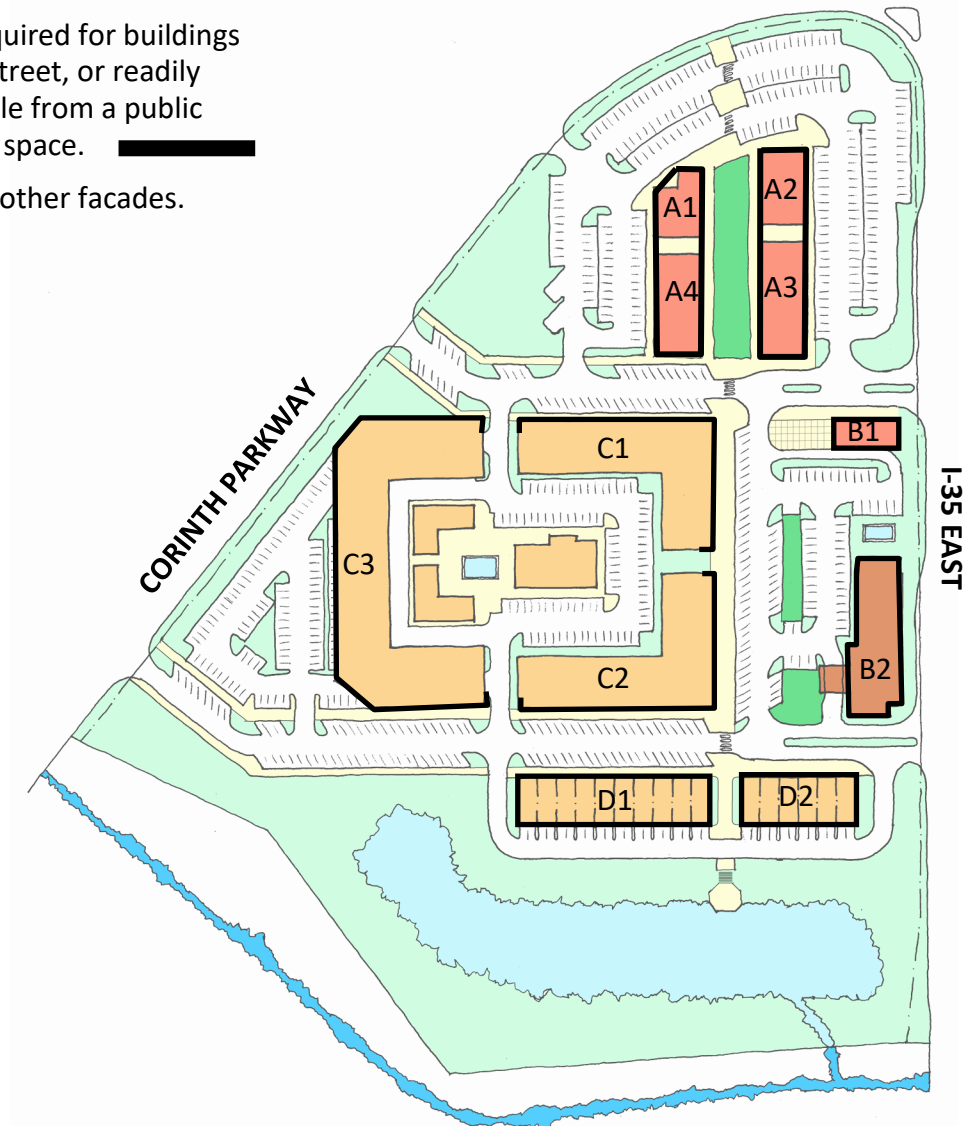


Examples of townhome stoops

**FIGURE 6.1
FRONTAGE PLAN**

FAÇADE TYPE A: Required for buildings fronting on a public street, or readily and significantly visible from a public street or public open space. ■■■■■■

FAÇADE TYPE B: All other facades. ■■■■■■






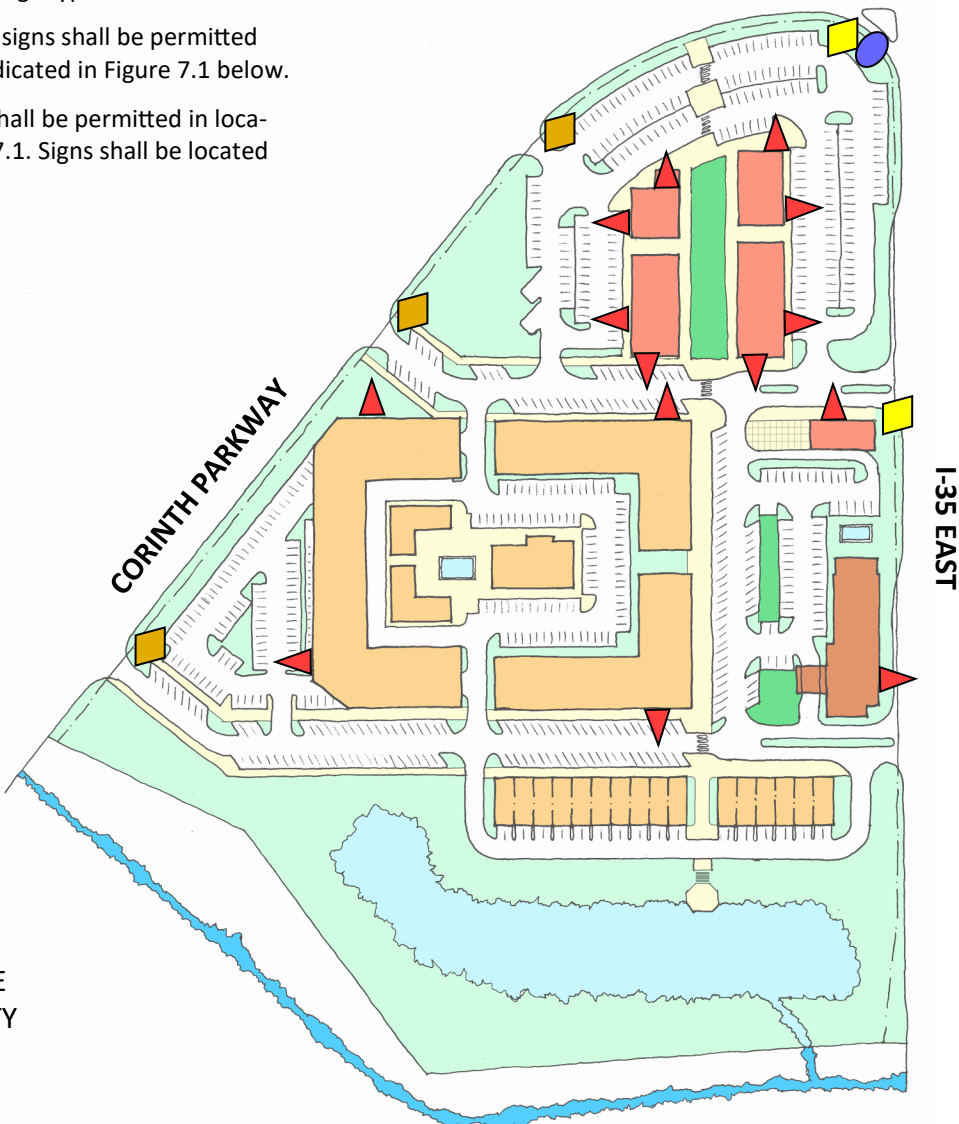
SECTION 7

SECTION 7: SIGNAGE STANDARDS

- A. General: The following identify general regulations for all Blocks within the Parkway District Planned Development.
- B. The Parkway District Planned Development shall comply with the Corinth sign regulations as established in Section 4.01 of the UDC, except as described below.
- C. For the purpose of signage regulation, all businesses within the PD District shall be considered as residing on a single lot; all signs referring to businesses with the Parkway District shall be considered on-premise signs.
- D. Parkway District Planned Development fronting Corinth Parkway or I-35E may consist of multiple businesses, and may include the following signage types.
 1. Attached Signs: Attached signs shall be permitted on building facades as indicated in Figure 7.1 below.
 2. Monument Signs I-35E: Shall be permitted in locations indicated in Figure 7.1. Signs shall be located with a minimum 10' setback from Corinth Parkway and I-35E ROW, shall not exceed 30' in height, and the smallest rectangle encompassing the lettering shall not exceed 300 square feet. See Figure 7.2 of proposed Monument Sign.
 3. Monument Signs Corinth Parkway: Shall be permitted in locations indicated in Figure 7.1. Signs shall be located with a minimum 10' setback from Corinth Parkway and I-35E ROW, shall not exceed 15' in height, and the smallest rectangle encompassing the lettering shall not exceed 120 square feet.

**FIGURE 7.1
SIGNAGE PLAN**

-  ATTACHED SIGN
-  MONUMENT SIGN I-35E
-  MONUMENT SIGN CORINTH PARKWAY
-  RESERVE SPACE, TO BE DETERMINED, FOR CITY-INSTALLED KIOSK



**FIGURE 7.2
MONUMENT SIGN**

DIMENSIONS

Setback:.....15'

Height:30'

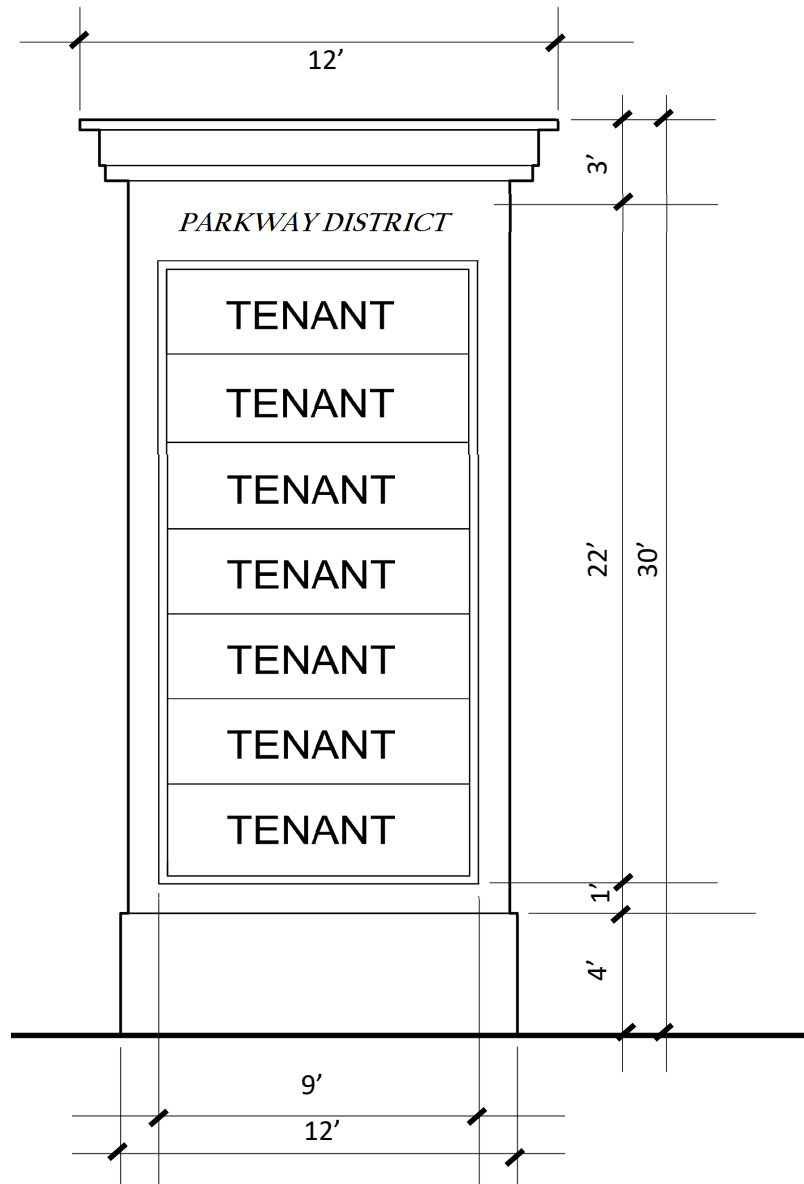
Sign Area:200 sf

Structure Area:320 max sf

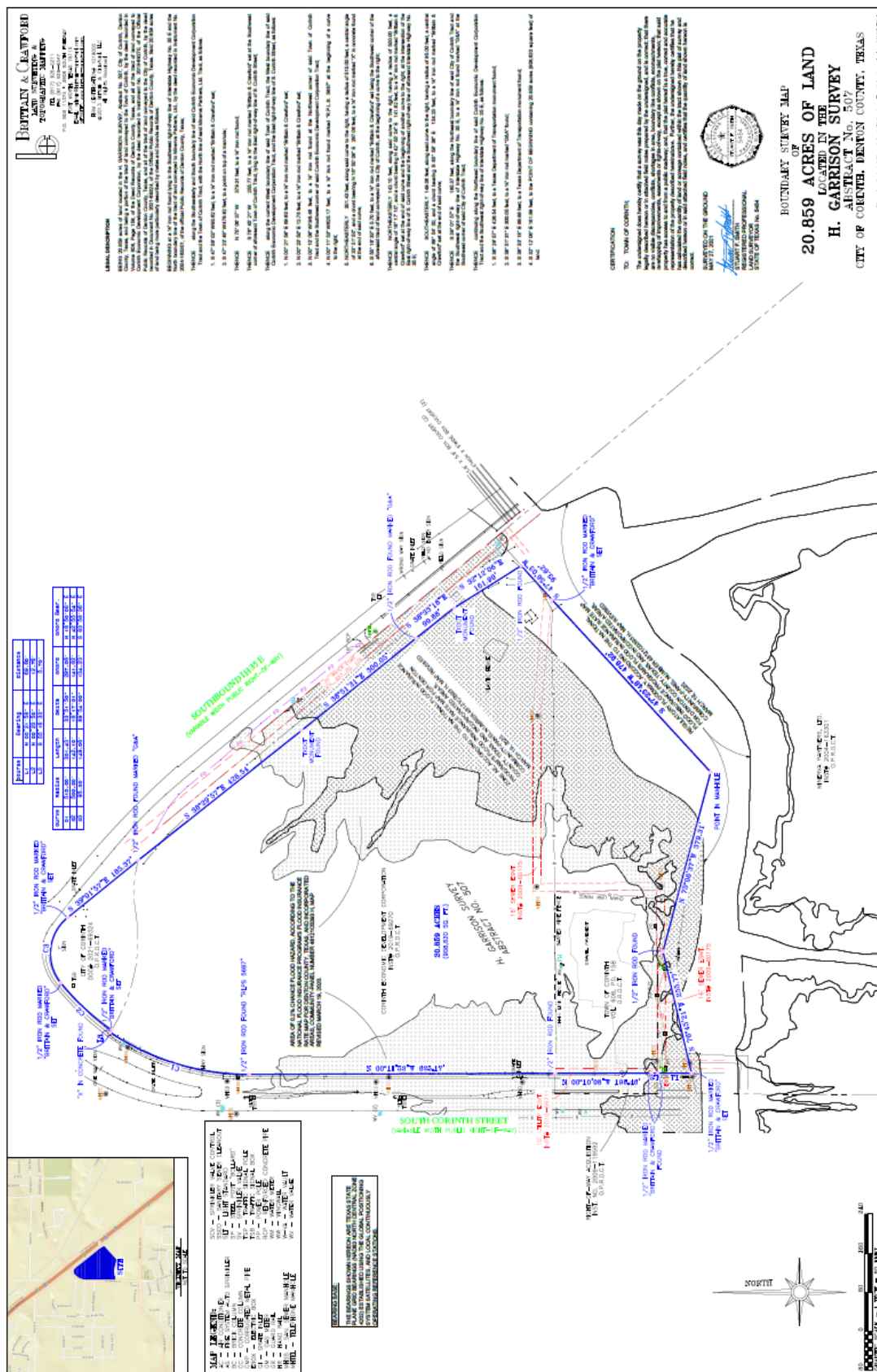
Letters..... 6" min

ENHANCEMENTS:

1. Architectural Materials
Matching the Building
2. Architectural Features
Matching the Building
3. Architectural Design
Matching the Building
4. External Lighting, Shielded, Directed, Spot Light Fixtures
5. Landscape Ratio of Greater than
1:1 for Ground Area to Sign Area
6. Contrasting Sign Colors
7. Simple Font Styles with Limited
Text or Logos Specific Panel Size
for Individual Tenants

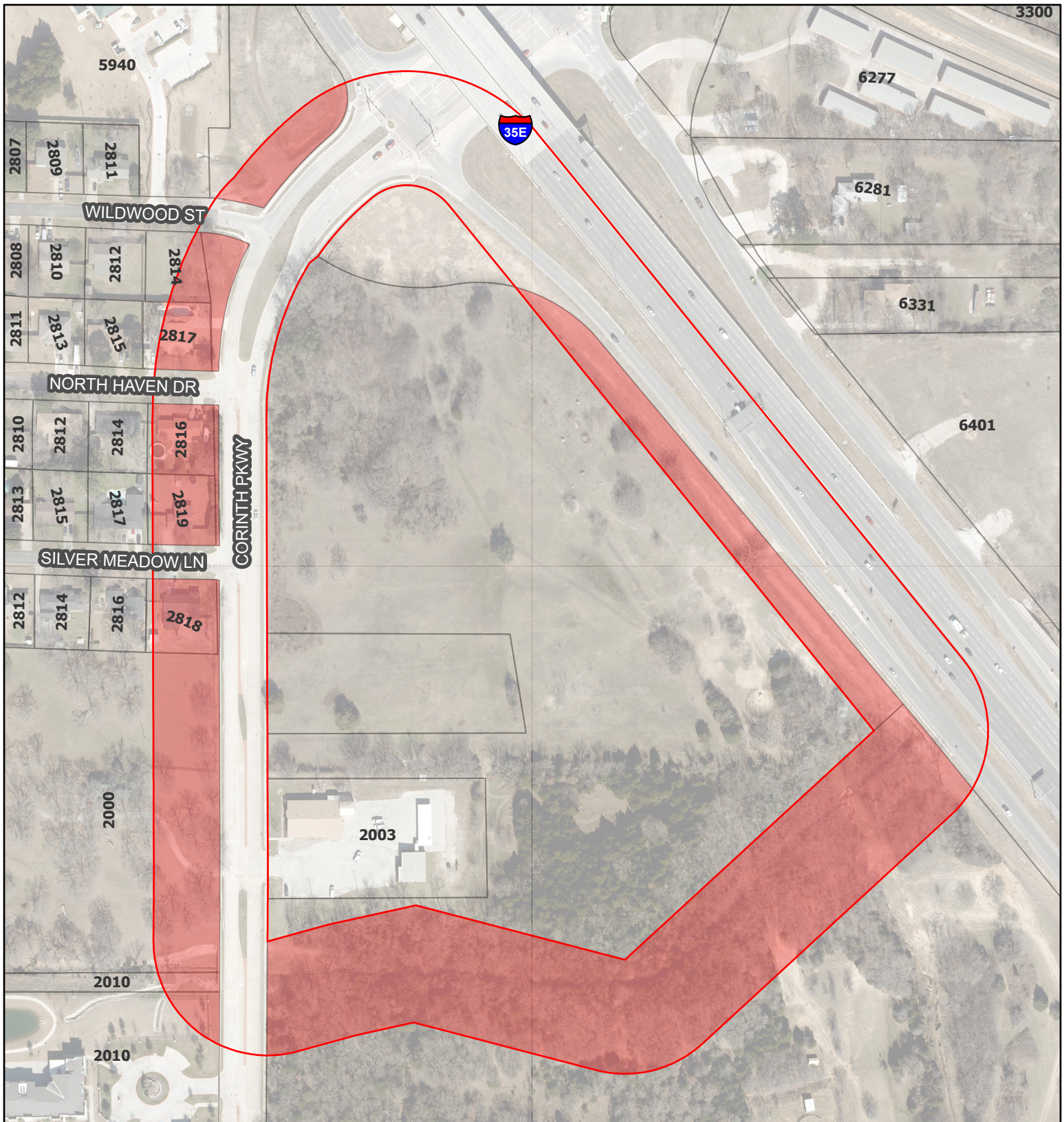


Proposed Sign is an illustration of a Monument Sign under the existing regulations. Final dimensions may vary within regulations.



Public Hearing - Notification Exhibit

Per Section 2.10.05 E 2 b of the City of Corinth Unified Development Code and Section 211.006 of the Texas Local Government Code: Property owners of parcels located within 200 feet of a property applying for a Rezoning shall be notified by mail.



0 100 200 400 Feet

Legend

Property within 200 ft. of Subject 200 ft. Buffer