

\*\*\*\*PUBLIC NOTICE\*\*\*\*



PLANNING & ZONING COMMISSION

Monday, July 22, 2024 at 6:30 PM

City Hall | 3300 Corinth Parkway

View live stream: [www.cityofcorinth.com/remotesession](http://www.cityofcorinth.com/remotesession)

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AGENDA

- A. CALL TO ORDER AND ANNOUNCE A QUORUM PRESENT
- B. PLEDGE OF ALLEGIANCE
- C. ESTABLISH VOTING MEMBERS AND DESIGNATE ALTERNATES
- D. CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine and will be enacted in one motion. Should the Chair, a Commission Member, or any citizen desire discussion of any item, that item will be removed from the Consent Agenda and will be considered separately.

- 1. Consider the approval of minutes for the Planning & Zoning Commission Regular Session held on June 24, 2024.
- 2. Consider the approval of minutes for the Planning & Zoning Commission Special Session held on July 11, 2024.
- 3. Consider and act on a request by the Applicant, Kimley-Horn and Associates Inc., for approval of a Preliminary Plat of the Greenway Trails Subdivision, being  $\pm 14.168$  acres of land generally located east of North Corinth Street, south of Shady Shores Road, and north of North Central Texas College. (Case No. PP24-0003)
- 4. Consider and act on a request by the applicant, Mycoskie & Associates Inc., for approval of a Replat of Lot 1R Block A of the A.L. Lamascus Addition, being  $\pm 6.5$  acres of land located at 3650 Corinth Parkway. (Case No. RP24-0005 – A.L. Lamascus Addition Lot 1R Block A [Bridgeview Corinth])

E. BUSINESS AGENDA

- 5. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a [City Staff initiated] request to amend UDC Subsection 2.09.02.G. – Mitigation Requirements for Protected Trees Removed to adjust the Sliding Scale Categories for the Replacement Rates for Protected Trees and Credits for Healthy Protected Tree Preservation Efforts. (Case No. ZTA24-0004 UDC Tree Preservation Amendments) – **Withdrawal Requested by Staff**
- 6. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on City initiated request on behalf of the property owner, Super Rustic LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, to rezone 2 properties totaling approximately  $\pm 1$  acre from C-2 Commercial to MX-C Mixed Use Commercial, with the subject properties being located at 5855 S I-35E and 5857 S I-35E. (Case No. ZMA24-0005 5855 & 5857 S I-35E MX-C Rezoning)
- 7. Conduct a Public Hearing to consider testimony and make a recommendation to City Council on a rezoning request by the Applicant, Tri Pointe Homes DFW LLC, to amend the Zoning Ordinance and

Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family to a Planned Development (PD) with a base zoning district of SF-4 Single Family for the development of ±234 lots on approximately ±48.4 located at 3790 Parkridge Drive. (Case No. ZAPD24-0003 Enclave at Canyon Ranch)

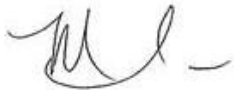
**F. DIRECTOR'S REPORT**

**G. ADJOURNMENT**

The Planning & Zoning Commission reserves the right to recess into executive or closed session to seek the legal advice of the City's attorney pursuant to Chapter 551 of the Texas Government Code on any matter posted on the agenda. After discussion of any matters in closed session, any final action or vote taken will be public by the Commission.

As a majority of the Council Members of the City of Corinth may attend the above described meeting, this notice is given in accordance with Chapter 551 of the Texas Government Code. No official action will be taken by the City Council at this meeting.

I, the undersigned authority, do hereby certify that the meeting notice was posted on the bulletin board at City Hall of the City of Corinth, Texas, a place convenient and readily accessible to the general public at all times and said Notice was posted on the following date and time: **Friday, July 19, 2024 at 12:00 PM.**



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Melissa Dailey, AICP  
Director of Planning and Development Services  
City of Corinth, Texas

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July 19, 2024  
Date of Notice

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Corinth City Hall is wheelchair accessible. Person with disabilities who plan to attend this meeting and who may need auxiliary aids or services such as interpreters for persons who are deaf, or hearing impaired, or readers of large print, are requested to contact the City Secretary's Office at 940-498-3200, or fax 940-498-7576 at least two (2) working days prior to the meeting so that appropriate arrangements can be made.

**BRAILLE IS NOT AVAILABLE**





MINUTES  
PLANNING & ZONING COMMISSION  
REGULAR SESSION

Monday, June 24, 2024, at 6:30 PM

City Hall | 3300 Corinth Parkway

On the 24<sup>th</sup> day of June 2024, the Planning & Zoning Commission of the City of Corinth, Texas, met in Regular Session at the Corinth City Hall at 6:30 P.M., located at 3300 Corinth Parkway, Corinth, Texas.

Commissioners Present:  
Vice-Chair Mark Klingele  
Rebecca Rhule  
Adam Guck

Commissioners Absent:  
Chair Alan Nelson  
KatieBeth Bruxvoort  
Crystin Jones  
Chris Smith

Staff Members Present:  
Melissa Dailey, Director of Planning and Development  
Michelle Mixell, Planning Manager  
Miguel Inclan, Planner  
Deep Gajjar, Planner

**A. CALL TO ORDER AND ANNOUNCE A QUORUM PRESENT**

Vice-Chair Mark Klingele called the meeting to order at 6:30 PM.

**B. ESTABLISH VOTING MEMBERS AND DESIGNATE ALTERNATES**

**C. PLEDGE OF ALEGIANCE**

**D. CONSENT AGENDA**

1. Consider the approval of minutes for the Planning & Zoning Commission Workshop and Regular Session held on June 3, 2024.
2. Consider and act on a request by the Applicant, Bill Utter Ford, for a Replat of the Bill Utter Ford Addition Subdivision, being ±17.226 acres located at 4901 South I-35E. (Case No. RP23-0005)
3. Consider and act on a request by the Applicant, Eagle Surveying, for a Replat of Fairway Estates Lot 19R, being ±0.810 acres located at 1609 Eagle Ridge Drive. (Case No. RP24-0004)

Commissioner Guck made a motion to adopt the consent agenda, seconded by Commissioner Rhule.

Motion passed unanimously: 3-for, 0-against.

**E. BUSINESS AGENDA**

4. A city-initiated request to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, to rezone approximately ±6.7 acres from I Industrial to MX-C Mixed Use Commercial, with the subject property being located at 1400 N. Corinth Street. (Case No. ZMA24-0003 Pinnell Square MX-C Rezoning) - **Item to be Withdrawn by Applicant**

5. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on City initiated request to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, to rezone approximately ±20.6 acres from I Industrial to MX-C Mixed Use Commercial, with the subject property being located at 1500 N. Corinth Street. (Case No. ZMA24-0002 North Central Texas College MX-C Rezoning)

Melissa Dailey, Director of Planning and Development, provided an overview of the request and recommended that the item be approved as presented.

Commissioner Rhule asked what the purpose of the rezoning was.

Director Dailey responded that the purpose was to have zoning in place that is consistent with the downtown vision. She explained that there are possibilities for part of the NCTC property to be redeveloped as part of the future Main Street and that there would be a joint workshop with the City Council and the EDC on July 11 to show a proposed land use plan and other recommendations for the Downtown area.

Commissioner Gluck asked the representative from NCTC to provide an overview of the status of the college and future plans.

Dr. Roxanne Del Rio, Dean of Students and Director of the NCTC Corinth Campus, stated that NCTC wants to be a part of the Downtown revitalization process. She also stated that the students need the resources and space to relax and right now NCTC does not have any of that type of development around it. She stated that there are approximately five to six thousand students (on campus, commuter, and on-line) who attend the Corinth Campus and the college is seeking to strengthen these numbers with the MX-C zoning and downtown redevelopment.

Commissioner Rhule asked if the college's strategic plan included growing physical attendance, if the zoning change would support that, and if NCTC would have enough space to accomplish what was envisioned.

Dr. Del Rio responded that they anticipate a growing online and continuing education population. She explained that there are four campuses that students can move around to depending on the subject matter of the classes.

Vice-Chair Klingele opened the Public Hearing at 6:43 PM.

Vice-Chair Klingele closed the Public Hearing at 6:43 PM.

Commissioner Guck made a motion to recommend approval of Case No. ZMA24-0002–North Central Texas College MX-C Rezoning as presented, seconded by Commissioner Rhule.

Motion passed unanimously: 3-for, 0-against.

6. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on City initiated request to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, to rezone 5 properties totaling approximately ±10.9 acres from Planned Development No. 44 (PD-44) to MX-C Mixed Use Commercial, with the subject properties being generally located at the northeast corner of Lake Sharon Dr and S I-35E. ( ZMA24-0004 Millennium MX-C Rezoning)

Director Dailey provided an overview of the request and explained that the current PD-44 Concept Plan shows a relatively low-level development with maximum of two stories and 40' setbacks. She presented a conceptual exhibit that was part of preliminary discussions with the property owner and stated that rezoning to MX-C provided greater flexibility in development in a manner allowed by the MX-C zoning district which is intended to provide an urban form. She also provided a comparison of the differences between the current zoning and the proposed zoning.

Commissioner Rhule stated that there are a lot of strip centers going in along the interstate and asked if there is a way to elevate what is going in so that there are not more liquor stores or smoke shops in future development.

Director Dailey stated that Council members had also asked this question, and that the intent is to create a destination with is a great place to be, which causes higher rents and is not conducive to the types of uses that may not be desirable.

Vice-Commissioner Klingele asked if his understanding was correct that PD-44 permitted a one-story structure where the MX-C permits two-stories.

Director Dailey stated that PD-44 allows a maximum of two and a half stories and MX-C allows up to five, which would make a parking garage feasible.

Commissioner Guck asked about walkability and how this development would connect to other future developments.

Director Dailey provided an overview of Staff's considerations regarding future roadway and pedestrian connections to the properties north and east of this development.

Commissioner Rhule asked about the incorporation of green space and food truck parking into the proposed project.

Director Dailey responded that food trucks are permitted by right and that the latest proposed concept includes a central plaza/green space.

Vice-Chair Klingele opened the Public Hearing at 7:03 PM.

Vice-Chair Klingele closed the Public Hearing at 7:03 PM.

Stacy Mariani, 3313 Ithaca St, asked if there was a limit on the number of apartments that can be developed across all properties zoned MX-C.

Director Dailey responded that there are no maximums regarding apartments or density but that there is a mixed-use percentage requirement to ensure a true mix of uses.

Commissioner Guck asked if a “heat map” would be provided or utilized in the future to ensure that a true mix of uses was being achieved.

Director Dailey stated that there are requirements such as ground-level retail, but that the ultimate mix of uses would be determined by the market.

Commissioner Rhule made a motion to recommend approval of Case No. ZMA24-0003 Pinnell Square MX-C Rezoning as presented, seconded by Commissioner Guck.

Motion passed unanimously: 3-for, 0-against. (Note – This motion was made in error and action was taken for Business Item 1 which was withdrawn, rather than Business Item 6.)

7. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a request to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, by amending the boundary of Planned Development No. 44 (PD-44), as adopted by Ordinance No. 16-08-18-26, to remove 5 properties totaling approximately ±10.9 acres generally located at the northeast corner of Lake Sharon Dr and S I-35E. (Case No. ZAPD24-0005 PD-44 Boundary Amendment)

Director Dailey provided an overview of the request and recommended that the item be approved as presented.

Public Hearing opened at 7:10 PM.

Public Hearing closed at 7:10 PM.

Commissioner Rhule made a motion to recommend approval of Case No. ZAPD24-0005 PD-44 Boundary Amendment as presented, seconded by Commissioner Guck.

Motion passed unanimously: 3-for, 0-against.

8. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a request to amend UDC Subsection 2.09.02.G. – Mitigation Requirements for Protected Trees Removed to adjust the Sliding Scale Categories for the Replacement Rates for Protected Trees and Credits for Healthy Protected Tree Preservation Efforts. (Case No. ZTA24-0004 UDC Tree Preservation Amendments)

Director Dailey requested that the public hearing be opened and continued to the next meeting.

Public hearing was opened at 7:12 PM.

Public Hearing closed at 7:10 PM.

Commissioner Guck moved to continue the public hearing and table action on the request to the July 22 Planning & Zoning Commission meeting.

**F. DIRECTORS REPORT**

Director Dailey stated that the July 11 joint meeting with City Council and the Corinth Economic Development Corporation would be at 6:00 pm at the Public Safety Building to present the Downtown Plan and receive feedback.

**G. ADJOURNMENT**

There being no further business before the Commission, the Regular Session was adjourned at 7:13 PM.

**MINUTES APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.**

\_\_\_\_\_  
Alan Nelson, Planning and Zoning Commission Chairman

DRAFT



MINUTES  
PLANNING & ZONING COMMISSION  
SPECIAL SESSION

Monday, July 11, 2024, at 5:30 PM

City Hall | 3300 Corinth Parkway

On the 11<sup>th</sup> day of July 2024, the Planning & Zoning Commission of the City of Corinth, Texas, met in Special Session at the Corinth City Hall at 5:30 P.M., located at 3300 Corinth Parkway, Corinth, Texas.

Commissioners Present:  
Vice-Chair Mark Klingele  
Adam Guck  
Crystin Jones  
Chris Smith

Commissioners Absent:  
Chair Alan Nelson  
KatieBeth Bruxvoort  
Rebecca Rhule

Staff Members Present:  
Michelle Mixell, Planning Manager  
Miguel Inclan, Planner

**A. CALL TO ORDER AND ANNOUNCE A QUORUM PRESENT**

Vice-Chair Mark Klingele called the meeting to order at 5:30 PM.

**B. ESTABLISH VOTING MEMBERS AND DESIGNATE ALTERNATES**

Commissioner Jones and Commissioner Smith were designated as voting members.

**C. PLEDGE OF ALEGIANCE**

**D. BUSINESS AGENDA**

1. Make a recommendation to the City Council on a City initiated request to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, to rezone 5 properties totaling approximately ±10.9 acres from Planned Development No. 44 (PD-44) to MX-C Mixed Use Commercial, with the subject properties being generally located at the northeast corner of Lake Sharon Dr and S I-35E. (Case No. ZMA24-0004 Millennium MX-C Rezoning)

Michelle Mixell, Planning Manager, provided an overview of the proposal and recommended that the item be approved as presented. She explained that the incorrect case number has been referenced in the motion made for this item at the prior meeting on June 24 where a public hearing had been opened and closed.

Commissioner Guck made a motion to recommend approval of Case No. ZMA24-0004 – Millenium MX-C Rezoning as presented, seconded by Commissioner Smith.

Motion passed unanimously: 4-for, 0-against.

**E. ADJOURNMENT**

There being no further business before the Commission, the Special Session was adjourned at 5:37 PM.

**MINUTES APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.**

\_\_\_\_\_  
Alan Nelson, Planning and Zoning Commission Chairman

DRAFT





# CITY OF CORINTH Staff Report

<b>Meeting Date:</b>	7/22/2024	<b>Title:</b>	PP24-0003 – Greenway Trails Preliminary Plat		
<b>Governance Focus:</b>	<i>Focus:</i>	<input checked="" type="checkbox"/> Owner	<input checked="" type="checkbox"/> Customer	<input checked="" type="checkbox"/> Stakeholder	
	<i>Decision:</i>	<input type="checkbox"/> Governance Policy		<input checked="" type="checkbox"/> Ministerial Function	

**Item/Caption**

Consider and act on a request by the Applicant, Kimley-Horn and Associates Inc., for approval of a Preliminary Plat of the Greenway Trails Subdivision, being ±14.168 acres of land generally located east of North Corinth Street, south of Shady Shores Road, and north of North Central Texas College. (Case No. PP24-0003)



**Aerial Location Map**



**Item Summary/Background/Prior Action**

A Conveyance Plat approved in February 2023 for this proposed subdivision consolidated four unplatted and platted parcels into one (1) lot. However, a Conveyance Plat is an interim step in the development process to permit the sale of a property and does not authorize development of a site. The intent of the development is multi-family residential.

The purpose of a Preliminary Plat is to determine the general layout of the subdivision, the adequacy of public facilities needed to serve the intended development, and the overall compliance of the land division with applicable requirements of these Subdivision Regulations [UDC 3.03.02.A].

The approval of a Preliminary Plat allows the Applicant to proceed with the development and platting process by submitting Construction Plans and a Final Plat. Approval of the Preliminary Plat shall be deemed general approval of the subdivision's layout only and shall not constitute approval or acceptance of Construction Plans or a Final Plat [UDC 3.03.02.H].

The property is zoned Planned Development No. 63: Greenway Trails (PD-63). A Site Plan [and associated Preliminary Engineering Plans] and a Minor Planned Development Amendment are currently under review by the Department.

**Staff Recommendation**

The Development Review Committee and the city's consulting engineering firm, Shield Engineering, have reviewed this Preliminary Plat. Based on the multiple deficiencies identified during the review process as noted on the Attachments 1 and 2, Staff is recommending approval subject to the condition that the Applicant satisfactorily addressing the requirements of Unified Development Code (UDC) Subsection 3.03.02.G, Preliminary Plat Criteria for Approval, which requires that a plat conform to the city's application checklists and UDC regulations.

Per Texas Local Government Code Chapter 212, the Planning & Zoning Commission is required to take action at this meeting to comply with the state-mandated 30-day deadline. After the conditional approval or disapproval of a plat, the applicant may submit a written response that satisfies each condition for the conditional approval or remedies each reason for disapproval provided. The City may not establish a deadline for an applicant to submit the response.

**Applicable Policy/Ordinance**

- Unified Development Code
- Texas Local Government Code

**Motion**

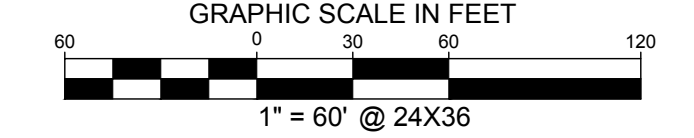
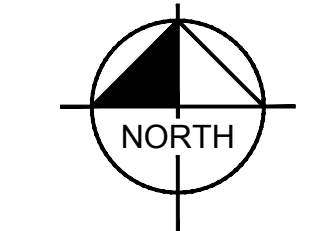
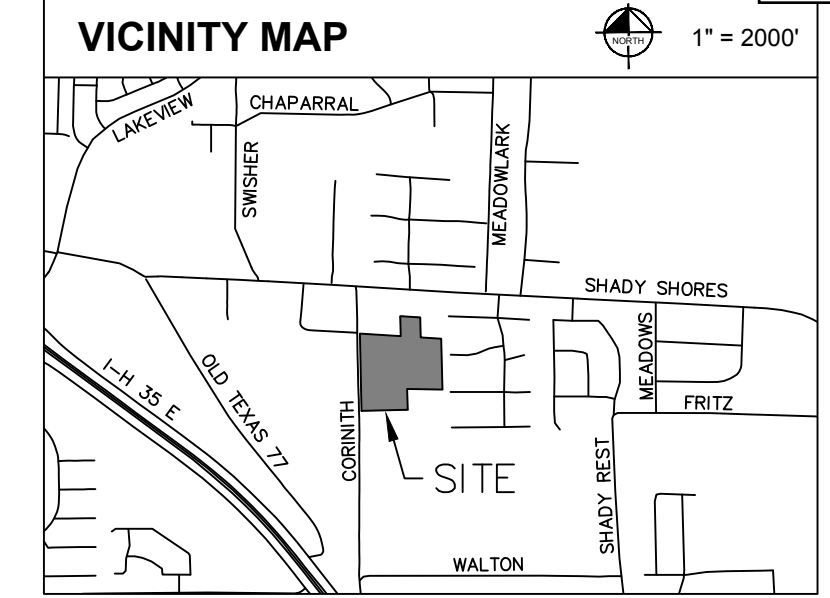
"I move to conditionally approve Case No. PP24-0003 – Greenway Trails Preliminary Plat subject to the condition recommended by Staff"

**Alternative Action by the Planning and Zoning Commission**

The Planning and Zoning Commission may Disapprove the application.

**Attachments**

1. Preliminary Plat with Planning and Fire Department Comments
2. Preliminary Plat with Shield Engineering Comments



LEGEND  
 P.O.B. = POINT OF BEGINNING  
 IPF = IRON PIPE FOUND  
 IRF = IRON ROD FOUND  
 IRSC = 5/8" IRON ROD WITH CAP STAMPED "KHA" SET

LINE TYPE LEGEND	
	BOUNDARY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE

CURVE TABLE				
NO.	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	50.00	30°05'42"	N13°47'00"E	29.08
C2	100.00	13°51'40"	N08°50'32"W	24.14
C3	100.00	13°51'40"	N08°50'32"W	25.58
C4	100.00	15°00'00"	N06°20'00"E	27.67
C5	100.00	15°00'00"	N06°20'00"E	26.11
C6	100.00	15°00'00"	N06°40'00"W	26.11
C7	100.00	15°00'00"	N06°40'00"W	27.67
C8	100.00	13°51'40"	N08°50'32"W	25.58
C9	100.00	13°51'40"	N08°50'32"W	24.14
C10	100.00	15°00'00"	N06°20'00"E	26.11
C11	100.00	15°00'00"	N06°20'00"E	27.67
C12	100.00	15°00'00"	N06°40'00"W	27.67
C13	100.00	15°00'00"	N06°40'00"W	26.11
C14	28.00	90°00'00"	N43°50'00"E	39.60
C15	284.00	15°00'00"	N06°20'00"E	68.92
C16	240.00	15°00'00"	N06°20'00"E	62.65
C17	28.00	90°00'00"	N46°10'00"W	39.60
C18	240.00	15°00'00"	N06°20'00"E	62.65
C19	284.00	15°00'00"	N06°20'00"E	68.92
C20	28.00	90°00'00"	N43°50'00"E	39.60
C21	28.00	90°00'00"	N46°10'00"W	39.60

LINE TABLE		
NO.	BEARING	LENGTH
L1	S01°10'13"E	317.59
L2	N87°16'16"E	23.34
L3	S62°01'38"E	80.57
L4	N28°50'00"E	76.11
L5	N01°19'42"W	242.18
L6	N46°19'51"W	28.33
L7	S88°50'00"W	118.81
L8	N88°45'05"E	21.48
L9	N43°45'05"E	9.13
L10	N43°45'05"E	3.73
L11	N88°45'05"E	25.00
L12	N43°45'05"E	17.87
L14	N88°50'00"E	25.19
L15	N01°10'00"W	10.00
L16	S88°50'00"W	25.19
L17	N01°10'00"W	10.00
L18	S88°50'00"W	17.88
L19	N88°50'00"E	17.88
L20	N01°10'00"W	10.00
L21	S88°50'00"W	17.88
L22	N01°10'00"W	41.79
L23	N01°10'00"W	192.65
L24	N13°50'00"E	30.84
L25	N01°10'00"W	76.06
L26	N16°10'00"W	30.84
L27	N01°10'00"W	278.60
L28	N01°10'00"W	41.77
L29	N01°10'00"W	192.65
L30	N13°50'00"E	30.84
L31	N01°10'00"W	76.06
L32	N16°10'00"W	30.84
L33	N01°10'00"W	278.10
L34	N88°50'00"E	406.89
L35	N01°10'00"W	71.07
L36	N13°50'00"E	45.93
L37	N01°10'00"W	163.21
L38	S88°50'00"W	435.96
L39	N01°10'00"W	261.98
L40	N13°50'00"E	45.93
L41	N01°10'00"W	534.37
L42	N88°50'00"E	435.96
L43	N01°10'00"W	293.18
L44	N01°10'00"W	111.00
L45	S88°50'00"W	406.89
L46	S01°10'00"E	231.38
L47	N88°50'00"E	228.60
L48	N01°10'00"W	3.12
L49	N88°50'00"E	152.01
L50	N01°10'00"W	36.70
L51	S01°09'58"E	164.32
L52	N88°37'38"E	9.65
L53	S88°38'03"W	25.70
L54	N01°10'00"W	162.61
L55	S88°50'00"W	244.60
L56	N01°10'00"W	196.03
L57	S88°50'00"W	151.96

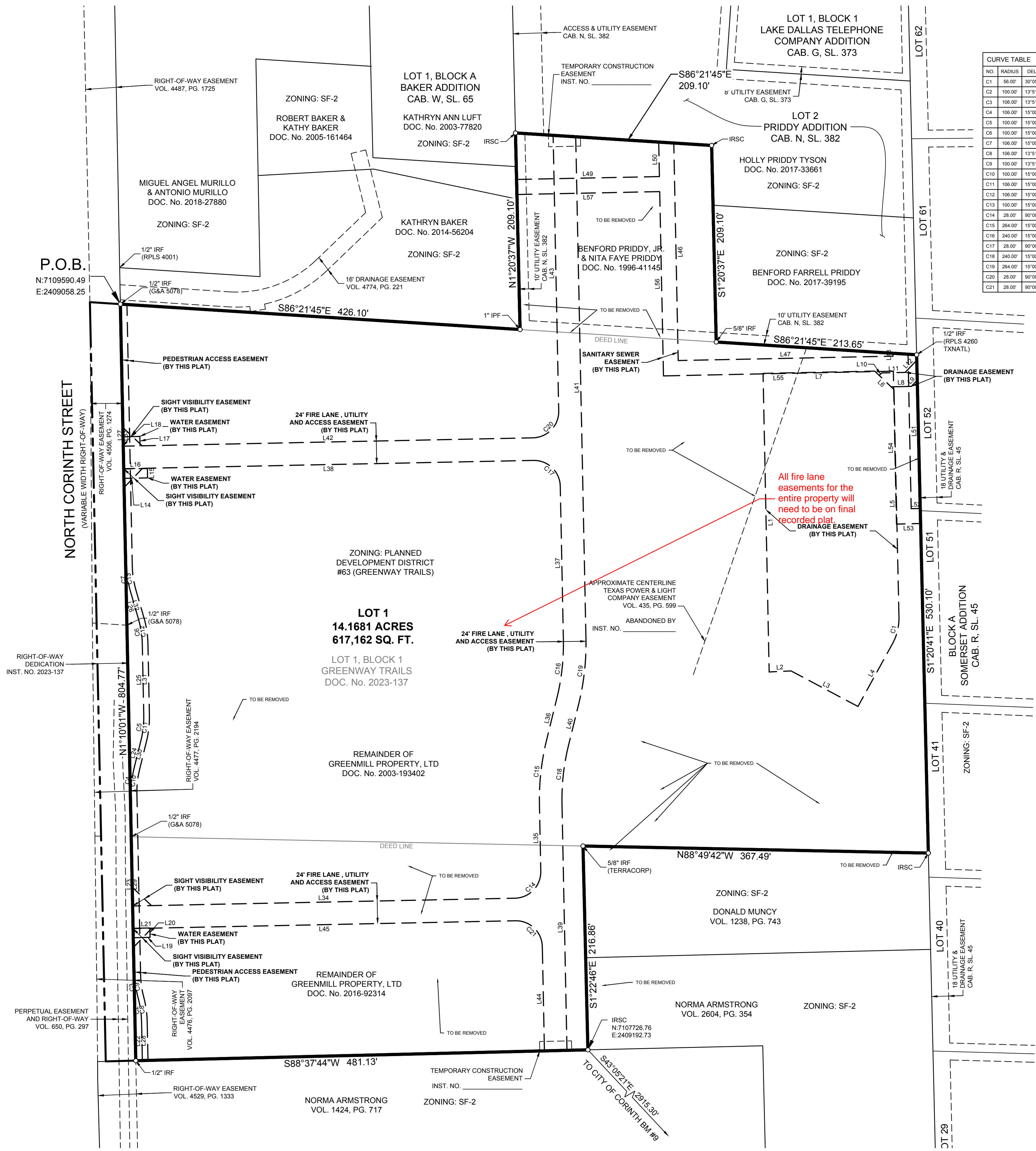
Add setback lines  
 Show existing structures with notation "to be demolished or removed"  
 Label continuous and adjacent properties around proposed development (lots, blocks, tracts, abstracts, names, owners, platted or un-platted, existing zoning, and proposed land use designation).

- NOTES**
- The bearing system for this survey is based on the Texas Coordinate System of 1983, North Central Zone 4202 with an applied combined scale factor of 1.000136506.
  - According to Federal Emergency Management Agency's Flood Insurance Rate Map No. 48121C0391H, for Denton County, Texas and incorporated areas, dated June 19, 2020, this property is located within Zone X (unshaded) defined as "Areas determined to be outside the 0.2% annual chance floodplain". If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.
  - The grid coordinates shown hereon are based on the Texas Coordinate System of 1983, North Central Zone 4202, no scale and no projection.
  - The purpose of this plat is to create one (1) lot and dedicate easements.
  - Notice: Selling a portion of this addition by metes and bounds is a violation of City Subdivision Ordinance and State Platting Statutes and is subject to fines and withholding of utilities and building certificates.
  - Maintenance of drives, alleys, fire lanes, drainage systems, and private utilities are the responsibility of the property owner, not the City of Corinth.
  - Setbacks are for reference only and the setbacks of the PD Ordinance (as may be amended) shall apply.

**PRELIMINARY PLAT**  
**LOT 1, BLOCK 1**  
**GREENWAY TRAILS**  
 ALSO BEING A REPLAT OF LOT 1, PRIDDY ADDITION, AN ADDITION TO THE CITY OF CORINTH ACCORDING TO THE PLAT RECORDED IN CAB. N, SL. 382, PLAT RECORDS, DENTON COUNTY, TEXAS  
 M.E.P. & P. R.R. CO. SURVEY, ABSTRACT No. 911  
 CITY OF CORINTH, DENTON COUNTY, TEXAS  
 GROSS AREA: 14.1681 ACRES  
 ZONED: PLANNED DEVELOPMENT DISTRICT #63 (GREENWAY TRAILS)

**Kimley»Horn**  
 801 Cherry Street, Unit 11, # 1300 Fort Worth, Texas 76102  
 FIRM # 10194040  
 Tel. No. (817) 335-6511  
 www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 60'	SCR	MCB	6/17/2024	061318402	1 OF 2



**DEVELOPER**  
 RANGEWATER REAL ESTATE, LLC  
 8235 DOUGLAS AVENUE, SUITE 1320  
 DALLAS, TEXAS 75225  
 JUSTIN COOLEY  
 TEL. NO. 972-619-9304

**APPLICANT / DEVELOPER**  
 SKORBUJCS COMPANY  
 8214 WESTCHESTER DRIVE, SUITE 800  
 DALLAS, TEXAS 75225  
 JOHN ARNOLD  
 TEL. NO. 214-888-8845

**ENGINEER**  
 KIMLEY-HORN AND ASSOC. INC.  
 801 CHERRY STREET, SUITE 1300  
 FORT WORTH, TEXAS 76102  
 BRANDON MIDDLETON, P.E.  
 TEL. NO. 817-900-8526  
 brandon.middleton@kimley-horn.com

**SURVEYOR**  
 KIMLEY-HORN AND ASSOC. INC.  
 801 CHERRY STREET, SUITE 1300  
 FORT WORTH, TEXAS 76102  
 MICHAEL BILLINGSLEY, RPLS  
 TEL. NO. 817-900-8526  
 michael.billingsley@kimley-horn.com

D:\WORK\15052024\15052024-RANGEWATER-CORINTH.MXD PLOTTED BY: WILLIS, REN 7/15/2024 8:47 AM LAST SAVED: 7/15/2024 8:46 AM



OWNER'S ACKNOWLEDGEMENT AND DEDICATION

STATE OF TEXAS §
COUNTY OF DENTON §

I, the undersigned, owner of the land shown on this plat within the area described by metes and bounds as follows:

WHEREAS Greenmill Property, LTD., Benford Priddy Jr., and Nita Faye Priddy are the owners of a 14.1681 acre (617,162 square foot) tract of land situated in the M.E.P. & P. R.R. Co. Survey, Abstract No. 911, City of Corinth, Denton County, Texas, being all of Lot 1, Block 1, Greenway Trails, an addition to the City of Corinth according to the plat recorded in Document Number 2023-137, Plat Records, Denton County, Texas (P.R.D.C.T.).

AND designated herein as GREENWAY TRAILS to the City of Corinth, Texas, and whose name is subscribed hereto hereby dedicate to the public use forever by fee simple title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, parks, and trails, and to the public use forever easements for sidewalks, storm drainage facilities, floodways, water mains, wastewater mains and other utilities, and any other property necessary to serve the plat and to implement the requirements of the platting ordinances, rules, and regulations thereon shown for the purpose and consideration therein expressed.

Greenmill Property, LTD., a Texas limited partnership

Highview Property, Inc., a Texas corporation
General Partner

By: \_\_\_\_\_
Name: \_\_\_\_\_
Title: \_\_\_\_\_

Date: \_\_\_\_\_

Owner: Benford Priddy, Jr.

Owner Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Owner: Nita Faye Priddy

Owner Signature: \_\_\_\_\_

Date: \_\_\_\_\_

STATE OF \_\_\_\_\_ §
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned, a Notary Public in and for the County of \_\_\_\_\_, Texas, on this day personally appeared \_\_\_\_\_, known to me to be the person and office whose name is subscribed to the foregoing instrument and acknowledged to me that he/she is \_\_\_\_\_, and the he/she is authorized to execute the foregoing instrument for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the \_\_\_\_ day of \_\_\_\_\_, 2024.

Notary Public in and for the State of \_\_\_\_\_

Type or print Notary's Name

My Commission expires: \_\_\_\_\_

STATE OF \_\_\_\_\_ §
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned, a Notary Public in and for the County of \_\_\_\_\_, Texas, on this day personally appeared \_\_\_\_\_, known to me to be the person and office whose name is subscribed to the foregoing instrument and acknowledged to me that he/she is \_\_\_\_\_, and the he/she is authorized to execute the foregoing instrument for the purposes and consideration therein expressed, and in the capacity therein stated.

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STATE OF \_\_\_\_\_ §
COUNTY OF \_\_\_\_\_ §

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GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the \_\_\_\_ day of \_\_\_\_\_, 2024.

Notary Public in and for the State of \_\_\_\_\_

Type or print Notary's Name

My Commission expires: \_\_\_\_\_

CERTIFICATE OF FINAL PLAT APPROVAL

Approved this the \_\_\_\_ day of \_\_\_\_\_, 2024, by the Planning and Zoning Commission of the City of Corinth, Texas.

Director of Planning and Development
City of Corinth, Texas

Date

City Secretary
City of Corinth, Texas

OWNER'S STATEMENT FOR FIRE LANE EASEMENT

The undersigned covenants and agrees that he (they) shall construct up on the fire lane easements, as dedicated and shown hereon, a fire lane in accordance with the Fire Code and City standards and that he (they) shall maintain the same in a state of good repair at all times in accordance with the requirements of City Ordinance(s), the fire lane easement shall be kept free of obstructions in accordance with the City Ordinance(s). The maintenance of pavement, in accordance with City Ordinance(s), upon the fire lane easements is the responsibility of the property owner. The owner shall identify the fire lane in accordance with City Ordinance. The Chief of Police or his/her duly authorized representative is hereby authorized to cause such fire lane and utility easements to be maintained free and unobstructed at all times for fire department and emergency use.

Owner (Printed Name): \_\_\_\_\_
Owner (Signature): \_\_\_\_\_
Date: \_\_\_\_\_

LIENHOLDER'S RATIFICATION OF PLAT DEDICATION

STATE OF \_\_\_\_\_ §
COUNTY OF \_\_\_\_\_ §

Whereas, \_\_\_\_\_, acting by and through the undersigned, its duly authorized agent, is the lienholder of the property described hereon, does hereby ratify all dedications and provisions of this plat as shown.

Lienholder: \_\_\_\_\_

Date: \_\_\_\_\_

STATE OF \_\_\_\_\_ §
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned authority in and for \_\_\_\_\_ County, Texas, on this day personally appeared \_\_\_\_\_, known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that he/she is \_\_\_\_\_, and that he/she is authorized to execute the foregoing instrument for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the \_\_\_\_ day of \_\_\_\_\_, 2024.

Notary Public in and for the State of \_\_\_\_\_

Type or Print Notary's Name

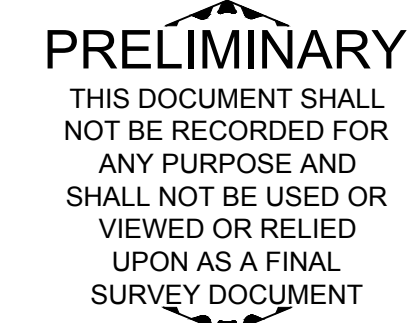
My Commission Expires: \_\_\_\_\_

CERTIFICATE OF SURVEYOR

STATE OF TEXAS §
COUNTY OF TARRANT §

I, the undersigned, a Registered Professional Land Surveyor in the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property made under my supervision on the ground.

Michael Cleo Billingsley
Registered Professional Land Surveyor No. 6558



STATE OF TEXAS §
COUNTY OF TARRANT §

BEFORE ME, the undersigned authority, on this day personally appeared Michael Cleo Billingsley, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the \_\_\_\_ day of \_\_\_\_\_, 2024.

Notary Public in and for the State of Texas

Type or print Notary's Name

My Commission expires: \_\_\_\_\_

PRELIMINARY PLAT
LOT 1, BLOCK 1
GREENWAY TRAILS
ALSO BEING A REPLAT OF LOT 1, PRIDDY
ADDITION, AN ADDITION TO THE CITY OF
CORINTH ACCORDING TO THE PLAT RECORDED
IN CAB. N, SL. 382, PLAT RECORDS,
DENTON COUNTY, TEXAS
M.E.P. & P. R.R. CO. SURVEY, ABSTRACT No. 911
CITY OF CORINTH, DENTON COUNTY, TEXAS
GROSS AREA: 14.1681 ACRES
ZONED: PLANNED DEVELOPMENT DISTRICT #63
(GREENWAY TRAILS)

Kimley»Horn

801 Cherry Street, Unit 11, # 1300 Fort Worth, Texas 76102
FIRM # 10194040
Tel. No. (817) 335-6511
www.kimley-horn.com

Table with 6 columns: Scale, Drawn by, Checked by, Date, Project No., Sheet No. Values: N/A, SCR, MCB, 6/17/2024, 061318402, 2 OF 2

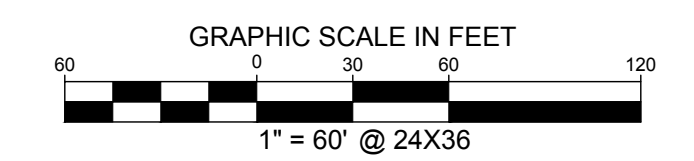
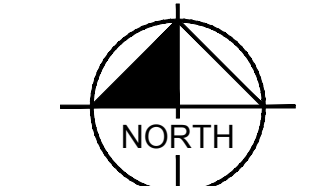
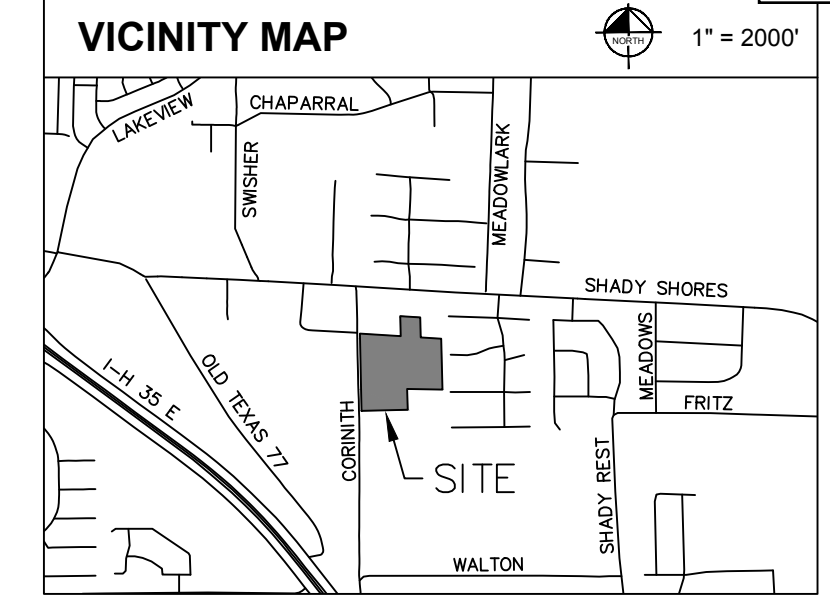
DEVELOPER
RANGEWATER REAL ESTATE, LLC
8235 DOUGLAS AVENUE, SUITE 1320
DALLAS, TEXAS 75225
JUSTIN COOLEY
TEL. NO. 972-619-9304

APPLICANT / DEVELOPER
SKORBURG COMPANY
8214 WESTCHESTER DRIVE, SUITE 500
DALLAS, TEXAS 75225
JOHN ARNOLD
TEL. NO. 214-888-8845

ENGINEER
KIMLEY-HORN AND ASSOC. INC.
801 CHERRY STREET, SUITE 1300
FORT WORTH, TEXAS 76102
BRANDON MIDDLETON, P.E.
TEL. NO. 817-339-2275
brandon.middleton@kimley-horn.com

SURVEYOR
KIMLEY-HORN AND ASSOC. INC.
801 CHERRY STREET, SUITE 1300
FORT WORTH, TEXAS 76102
MICHAEL BILLINGSLEY, RPLS
TEL. NO. 817-900-8526
michael.billingsley@kimley-horn.com





LEGEND
P.O.B. = POINT OF BEGINNING
IPF = IRON PIPE FOUND
IRF = IRON ROD FOUND
IRSC = 5/8" IRON ROD WITH CAP STAMPED "KHA" SET

LINE TYPE LEGEND table with columns for Boundary Line, Adjacent Property Line, Existing Easement Line, and Proposed Easement Line.

CURVE TABLE with columns for NO., RADIUS, DELTA, CHORD BEARING, CHORD, and LENGTH.

LINE TABLE with columns for NO., BEARING, and LENGTH.

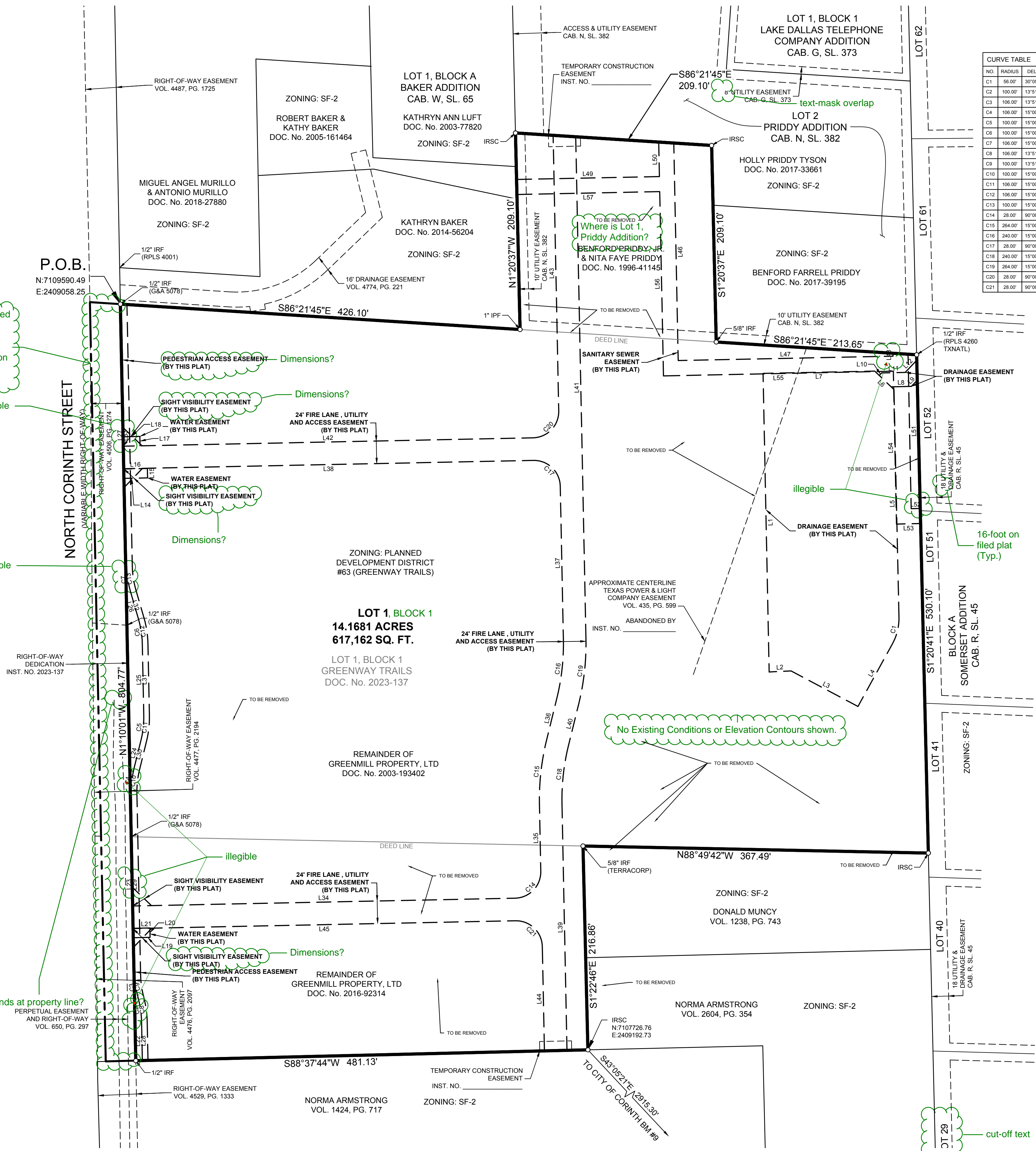
NOTES

- 1. The bearing system for this survey is based on the Texas Coordinate System of 1983, North Central Zone 4202 with an applied combined scale factor of 1.000136506.
2. According to Federal Emergency Management Agency's Flood Insurance Rate Map No. 48121C0391H, for Denton County, Texas and incorporated areas, dated June 19, 2020, this property is located within Zone X (unshaded) defined as "Areas determined to be outside the 0.2% annual chance floodplain".
3. The grid coordinates shown hereon are based on the Texas Coordinate System of 1983, North Central Zone 4202, no scale and no projection.
4. The purpose of this plat is to create one (1) lot and dedicate easements.
5. Notice: Selling a portion of this addition by metes and bounds is a violation of City Subdivision Ordinance and State Platting Statutes and is subject to fines and withholding of utilities and building certificates.
6. Maintenance of drives, alleys, fire lanes, drainage systems, and private utilities are the responsibility of the property owner, not the City of Corinth.
7. Setbacks are for reference only and the setbacks of the PD Ordinance (as may be amended) shall apply.

PRELIMINARY PLAT
LOT 1, BLOCK 1
GREENWAY TRAILS
ALSO BEING A REPLAT OF LOT 1, PRIDDY ADDITION, AN ADDITION TO THE CITY OF CORINTH ACCORDING TO THE PLAT RECORDED IN CAB. N., SL. 382, PLAT RECORDS, DENTON COUNTY, TEXAS
M.E.P. & P. R.R. CO. SURVEY, ABSTRACT No. 911
CITY OF CORINTH, DENTON COUNTY, TEXAS
GROSS AREA: 14.1681 ACRES
ZONED: PLANNED DEVELOPMENT DISTRICT #63 (GREENWAY TRAILS)

Kimley Horn logo and contact information: 801 Cherry Street, Unit 11, # 1300 Fort Worth, Texas 76102. Tel. No. (817) 335-6511 www.kimley-horn.com

DEVELOPER: RANGEWATER REAL ESTATE, LLC
APPLICANT / DEVELOPER: SKORBURG COMPANY
ENGINEER: KIMLEY-HORN AND ASSOC. INC.
SURVEYOR: KIMLEY-HORN AND ASSOC. INC.



Conveyance plat included R.O.W. Dedication Heavy line required? Is this R.O.W. Dedication in conformance with Comp. Plan.

Where is Lot 1, Priddy Addition? BENFORD PRIDDY JR. & NITA FAYE PRIDDY DOC. No. 1996-41145

No Existing Conditions or Elevation Contours shown.

cut-off text

illegible

illegible

Dimensions?

Dimensions?

Dimensions?

Dimensions?

Ends at property line?

Describe both tracts?

WELLER, REN 7/15/2024 8:47 AM LAST SAVED 7/15/2024 8:48 AM



OWNER'S ACKNOWLEDGEMENT AND DEDICATION

STATE OF TEXAS §
COUNTY OF DENTON §

I, the undersigned, owner of the land shown on this plat within the area described by metes and bounds as follows:

WHEREAS Greenmill Property, LTD., Benford Priddy Jr., and Nita Faye Priddy are the owners of a 14.1681 acre (617,162 square foot) tract of land situated in the M.E.P. & P. R.R. Co. Survey, Abstract No. 911, City of Corinth, Denton County, Texas, being all of Lot 1, Block 1, Greenway Trails, an addition to the City of Corinth according to the plat recorded in Document Number 2023-137, Plat Records, Denton County, Texas (P.R.D.C.T.).

AND designated herein as GREENWAY TRAILS to the City of Corinth, Texas, and whose name is subscribed hereto hereby dedicate to the public use forever by fee simple title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, parks, and trails, and to the public use forever easements for sidewalks, storm drainage facilities, floodways, water mains, wastewater mains and other utilities, and any other property necessary to serve the plat and to implement the requirements of the platting ordinances, rules, and regulations thereon shown for the purpose and consideration therein expressed.

No Metes and Bounds Description

Greenmill Property, LTD., a Texas limited partnership

Highview Property, Inc., a Texas corporation
General Partner

By: \_\_\_\_\_
Name: \_\_\_\_\_
Title: \_\_\_\_\_

Date: \_\_\_\_\_

Owner: Benford Priddy, Jr.

Owner Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Owner: Nita Faye Priddy

Owner Signature: \_\_\_\_\_

Date: \_\_\_\_\_

STATE OF \_\_\_\_\_ §
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned, a Notary Public in and for the County of \_\_\_\_\_, Texas, on this day personally appeared \_\_\_\_\_, known to me to be the person and office whose name is subscribed to the foregoing instrument and acknowledged to me that he/she is \_\_\_\_\_, and the he/she is authorized to execute the foregoing instrument for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the \_\_\_\_ day of \_\_\_\_\_, 2024.

Notary Public in and for the State of \_\_\_\_\_

Type or print Notary's Name

My Commission expires: \_\_\_\_\_

STATE OF \_\_\_\_\_ §
COUNTY OF \_\_\_\_\_ §

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Type or print Notary's Name

My Commission expires: \_\_\_\_\_

CERTIFICATE OF FINAL PLAT APPROVAL

Approved this the \_\_\_\_ day of \_\_\_\_\_, 2024, by the Planning and Zoning Commission of the City of Corinth, Texas.

Director of Planning and Development
City of Corinth, Texas

Date

City Secretary
City of Corinth, Texas

OWNER'S STATEMENT FOR FIRE LANE EASEMENT

The undersigned covenants and agrees that he (they) shall construct up on the fire lane easements, as dedicated and shown hereon, a fire lane in accordance with the Fire Code and City standards and that he (they) shall maintain the same in a state of good repair at all times in accordance with the requirements of City Ordinance(s), the fire lane easement shall be kept free of obstructions in accordance with the City Ordinance(s). The maintenance of pavement, in accordance with City Ordinance(s), upon the fire lane easements is the responsibility of the property owner. The owner shall identify the fire lane in accordance with City Ordinance. The Chief of Police or his/her duly authorized representative is hereby authorized to cause such fire lane and utility easements to be maintained free and unobstructed at all times for fire department and emergency use.

Owner (Printed Name): \_\_\_\_\_
Owner (Signature): \_\_\_\_\_
Date: \_\_\_\_\_

LIENHOLDER'S RATIFICATION OF PLAT DEDICATION

STATE OF \_\_\_\_\_ §
COUNTY OF \_\_\_\_\_ §

Whereas, \_\_\_\_\_, acting by and through the undersigned, its duly authorized agent, is the lienholder of the property described hereon, does hereby ratify all dedications and provisions of this plat as shown.

Lienholder: \_\_\_\_\_

Date: \_\_\_\_\_

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COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned authority in and for \_\_\_\_\_ County, Texas, on this day personally appeared \_\_\_\_\_, known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that he/she is \_\_\_\_\_, and that he/she is authorized to execute the foregoing instrument for the purposes and consideration therein expressed, and in the capacity therein stated.

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Notary Public in and for the State of \_\_\_\_\_

Type or Print Notary's Name

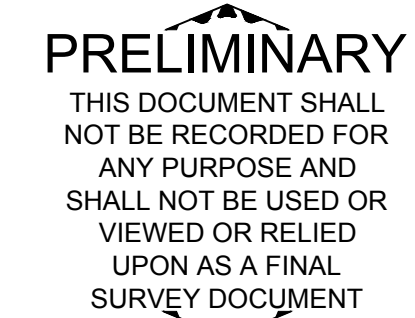
My Commission Expires: \_\_\_\_\_

CERTIFICATE OF SURVEYOR

STATE OF TEXAS §
COUNTY OF TARRANT §

I, the undersigned, a Registered Professional Land Surveyor in the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property made under my supervision on the ground.

Michael Cleo Billingsley
Registered Professional Land Surveyor No. 6558



STATE OF TEXAS §
COUNTY OF TARRANT §

BEFORE ME, the undersigned authority, on this day personally appeared Michael Cleo Billingsley, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein stated.

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Notary Public in and for the State of Texas

Type or print Notary's Name

My Commission expires: \_\_\_\_\_

PRELIMINARY PLAT
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IN CAB. N, SL. 382, PLAT RECORDS,
DENTON COUNTY, TEXAS
M.E.P. & P. R.R. CO. SURVEY, ABSTRACT No. 911
CITY OF CORINTH, DENTON COUNTY, TEXAS
GROSS AREA: 14.1681 ACRES
ZONED: PLANNED DEVELOPMENT DISTRICT #63
(GREENWAY TRAILS)

Kimley»Horn

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Table with 6 columns: Scale, Drawn by, Checked by, Date, Project No., Sheet No. Values: N/A, SCR, MCB, 6/17/2024, 061318402, 2 OF 2

DEVELOPER
RANGEWATER REAL ESTATE, LLC
8235 DOUGLAS AVENUE, SUITE 1320
DALLAS, TEXAS 75225
JUSTIN COOLEY
TEL. NO. 972-619-9304

APPLICANT / DEVELOPER
SKORBJURG COMPANY
8214 WESTCHESTER DRIVE, SUITE 500
DALLAS, TEXAS 75225
JOHN ARNOLD
TEL. NO. 214-888-8845

ENGINEER
KIMLEY-HORN AND ASSOC. INC.
801 CHERRY STREET, SUITE 1300
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brandon.middleton@kimley-horn.com

SURVEYOR
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801 CHERRY STREET, SUITE 1300
FORT WORTH, TEXAS 76102
MICHAEL BILLINGSLEY, RPLS
TEL. NO. 817-900-8526
michael.billingsley@kimley-horn.com



# CITY OF CORINTH Staff Report

<b>Meeting Date:</b>	7/22/2024	<b>Title:</b>	RP24-0005 – A.L. Lamascus Addition (Lot 1R, Block A) Replat
<b>Strategic Goals:</b>	<input checked="" type="checkbox"/> Resident Engagement <input type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development		

**Item/Caption**

Consider and act on a request by the applicant, Mycoskie & Associates Inc., for approval of a Replat of Lot 1R Block A of the A.L. Lamascus Addition, being ±6.5 acres of land located at 3650 Corinth Parkway. (Case No. RP24-0005 – A.L. Lamascus Addition Lot 1R Block A [Bridgeview Corinth])



**Aerial Location Map**

**Item Summary/Background/Prior Action**

The purpose of this Replat is to consolidate four (4) existing lots to create a one (1) lot subdivision for the development of a multi-family residential project. There are currently two (2) single-family residential structures and other accessory structures in the subject property. While this is considered a Replat case due to the consolidation of existing lots, this is being reviewed as a Final Plat as required by the Unified Development Code (UDC).

The purpose of a Final Plat (Replat) is to ensure that the proposed Subdivision and development of the land is consistent with all standards of these Subdivision Regulations pertaining to the adequacy of public facilities; that Public Improvements to serve the Subdivision or development have been installed and accepted by the City, or that provision for such installation has been made; and that all other City requirements and conditions have been satisfied or provided for to allow the Final Plat to be recorded [UDC 3.03.03.A].

There is no Preliminary Plat for this development, as an Applicant has the right to submit a Final Plat (Replat) application with Construction Plans and a Development Agreement with Surety for the installation of Public Improvements (if applicable) [UDC 3.03.02.C.2].

The property is zoned Planned Development No. 67: Bridgeview (PD-67). A Site Plan, Construction Plans, and a Minor Planned Development Amendment are currently under review by the Department.

**Staff Recommendation**

The Development Review Committee and the city’s consulting engineering firm, Shield Engineering, have reviewed this Replat. Based on the multiple deficiencies identified during the review process as noted on the Attachments 1 and 2, Staff is recommending approval subject to the condition that the Applicant satisfactorily address the requirements of Unified Development Code (UDC) Subsection 3.03.02.G, Final Plat (Replat) Criteria for Approval, which requires that a plat conform to the city’s application checklists and UDC regulations, as well as the standard conditions required by UDC Subsection 3.03.03 H.4 and the additional conditions outlined by Staff, which are enumerated below:

- a. All covenants required by ordinances have been reviewed and approved by the City.
- b. Off-site easements and rights-of-way have been dedicated and filed of record and properly described and noted on the Final Plat (Replat).
- c. All required abandonments of public rights-of-way or easements that must be approved by the City Council and the abandonment ordinance numbers shown on the plat.
- d. Abandonment documents for all other easements not requiring City Council approval have been filed of record and properly described and noted on the plat.
- e. Staff is authorized to approve any additions and/or alterations to the easements, dedications, and plat notes included in the Final Plat (Replat).
- f. Address all comments from Planning, Engineering, and Fire as noted in attached Replat documents.
- g. Approval of Construction Plans
- h. Replat shall not be recorded until existing structures proposed for demolition have been demolished.
- i. Address the requirements of Unified Development Code (UDC) Subsection 3.03.02.G, Final Plat (Replat) Criteria for Approval

**Applicable Policy/Ordinance**

- Unified Development Code
- Texas Local Government Code

**Motion**

“I move to conditionally approve Case No. RP24-0005 – A.L. Lamascus Addition Lot 1R Block A subject to the conditions recommended by Staff”

**Alternative Action by the Planning and Zoning Commission**

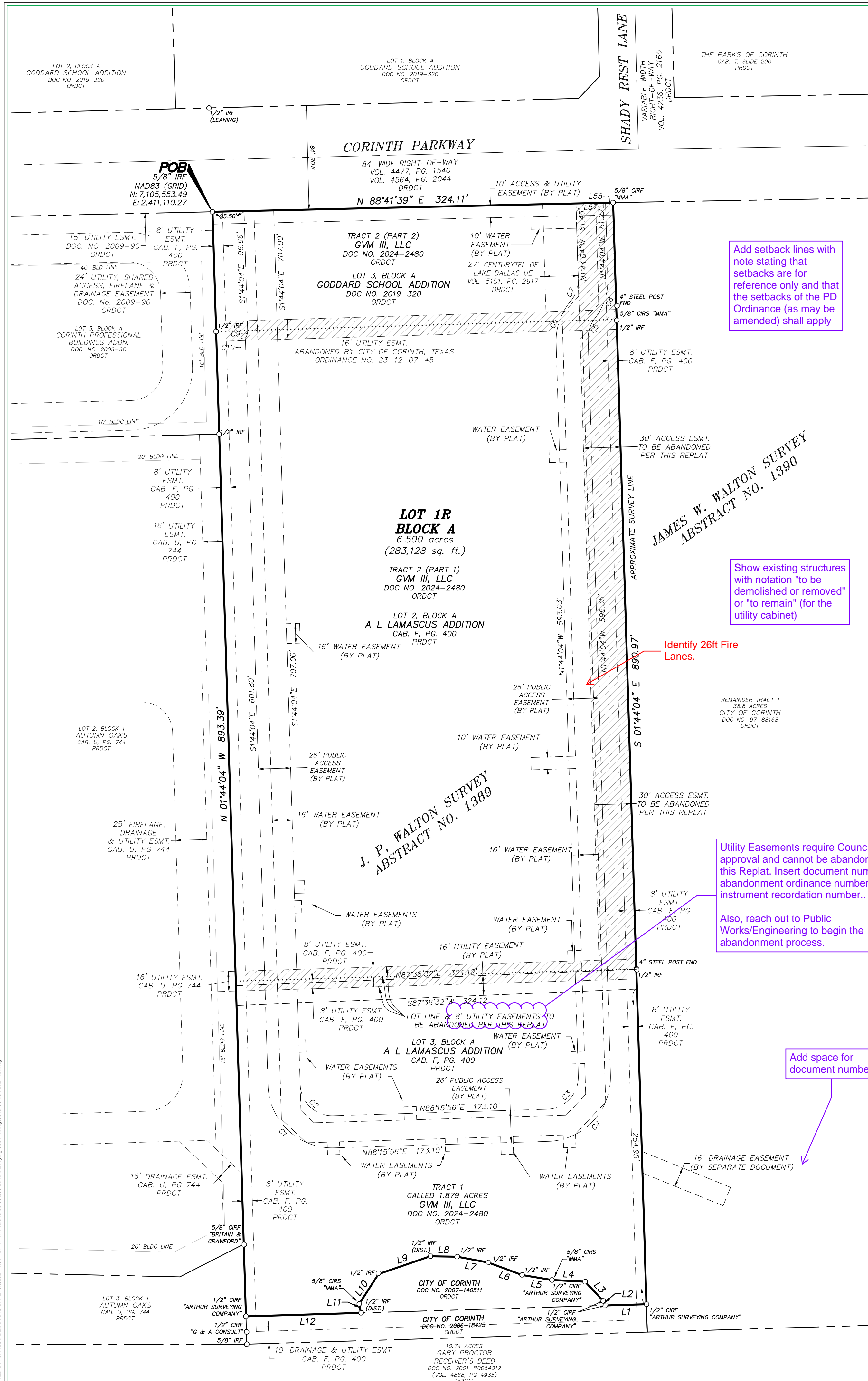
The Planning and Zoning Commission may Disapprove the application.

**Attachments**

1. Replat with Planning and Fire Department Comments

2. Replat with Shield Engineering Comments





**LINE TABLE**

LINE	BEARING	DISTANCE
L1	S 88°15'56" W	33.21'
L2	N 25°59'32" W	4.13'
L3	N 43°18'20" W	21.32'
L4	N 87°01'01" W	27.01'
L5	N 80°28'21" W	24.37'
L6	N 69°42'15" W	29.03'
L7	N 79°28'25" W	25.76'
L8	N 89°05'11" W	21.68'
L9	S 71°04'15" W	44.27'
L10	S 32°50'19" W	28.69'
L11	S 10°15'37" E	7.43'
L12	S 88°15'56" W	93.02'
L13	S 46°44'04" E	27.84'
L14	N 88°15'56" E	16.74'
L15	S 01°44'04" E	10.29'

**LINE TABLE**

LINE	BEARING	DISTANCE
L16	N 88°15'56" E	10.00'
L17	N 01°44'04" W	10.29'
L18	S 01°44'04" E	10.29'
L19	N 88°15'56" E	10.00'
L20	N 01°44'04" W	10.29'
L21	N 88°15'56" E	34.92'
L22	S 01°44'04" E	14.29'
L23	N 88°15'56" E	10.00'
L24	N 01°44'04" W	14.29'
L25	N 88°15'56" E	40.59'
L26	S 01°43'42" E	10.29'
L27	N 88°15'56" E	10.00'
L28	N 01°43'43" W	10.84'
L29	N 43°16'00" E	35.60'
L30	N 43°15'56" E	19.63'

**LINE TABLE**

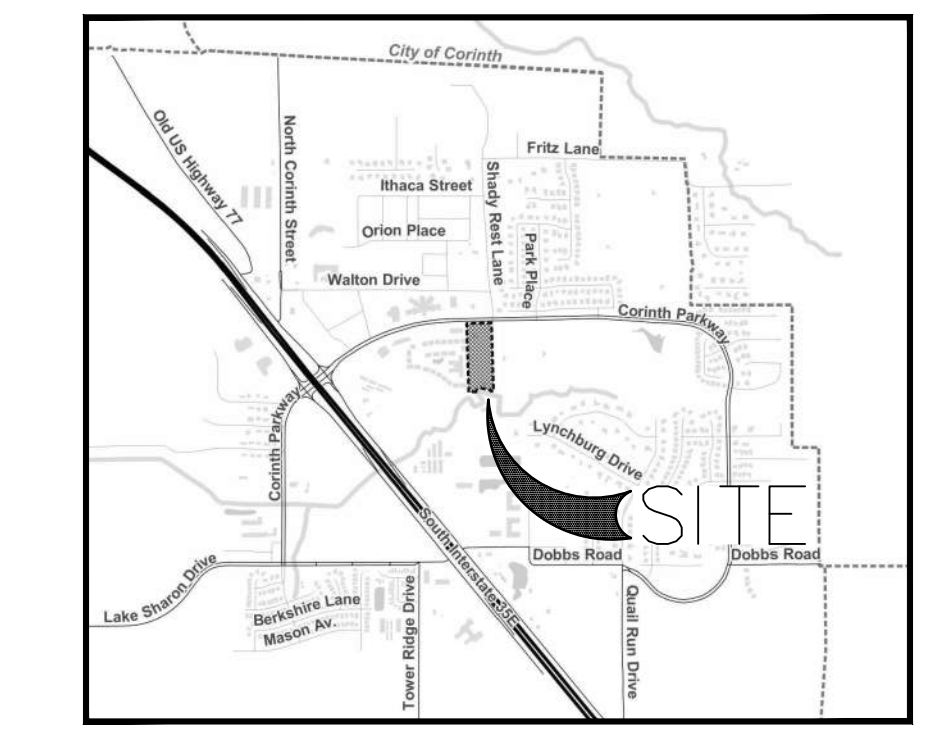
LINE	BEARING	DISTANCE
L31	S 01°44'04" E	10.00'
L32	S 88°15'56" W	36.79'
L33	S 01°18'21" E	10.00'
L34	N 88°15'56" E	36.86'
L35	S 01°44'04" E	55.09'
L36	N 43°15'56" E	19.63'
L37	S 88°16'44" W	13.88'
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L41	S 01°44'04" W	10.00'
L42	N 88°15'56" E	36.14'
L43	S 88°15'56" W	11.04'
L44	S 01°44'04" E	10.00'
L45	N 88°15'56" E	11.04'

**LINE TABLE**

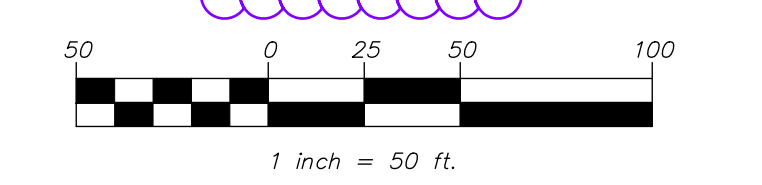
LINE	BEARING	DISTANCE
L46	S 88°15'56" W	11.04'
L47	S 01°44'04" E	10.00'
L48	N 88°15'56" E	11.04'
L49	S 43°16'00" W	23.11'
L50	N 01°44'04" W	10.79'
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L55	N 88°15'56" E	5.54'
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L59	S 88°15'56" W	5.54'
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**LINE TABLE**

LINE	BEARING	DISTANCE
L61	N 01°44'04" W	10.00'
L62	S 88°15'56" W	5.54'
L63	N 01°44'04" W	5.96'
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L65	N 01°44'04" W	10.00'
L66	S 88°15'56" W	8.49'
L67	N 88°15'56" E	10.83'
L68	N 01°44'04" W	16.00'
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L70	N 88°15'56" E	33.50'
L71	S 88°15'56" W	14.12'
L72	S 88°15'56" W	16.00'
L73	S 88°15'56" W	16.00'
L74	S 01°44'04" E	24.91'
L75	S 01°44'04" E	71.54'



**VICINITY MAP**  
NO SCALE



**LEGEND/ABBREVIATIONS**

- MMA 5/8" CAPPED IRON ROD SET STAMPED "MMA" (UNLESS OTHERWISE NOTED)
- CIRF CAPPED IRON ROD FOUND
- DRDCT DEED RECORDS DENTON COUNTY, TEXAS
- PRDCT PLAT RECORDS DENTON COUNTY, TEXAS
- OPRDCT OFFICIAL PUBLIC RECORDS DENTON COUNTY, TEXAS
- VOL. VOLUME
- PG. PAGE
- UE UTILITY EASEMENT
- BL BUILDING LINE
- DE DRAINAGE EASEMENT
- SSE SANITARY SEWER EASEMENT
- WE WATER EASEMENT
- PAE PEDESTRIAN ACCESS EASEMENT
- POB POINT OF BEGINNING
- FND. FOUND
- IRF IRON ROD FOUND
- MFF MINIMUM FINISHED FLOOR ELEVATION
- \* FEMA ELEVATION CERTIFICATE NOT REQUIRED
- Doc. No. COUNTY CLERK'S DOCUMENT NUMBER

ZONING  
**(MF-3)**  
CLASSIFICATION

**FINAL PLAT**

LOT 1R, BLOCK A  
**A.L. LAMASCUS ADDITION**  
BEING A REPLAT OF LOT 3, BLOCK A, GODDARD SCHOOL ADDITION, IN THE J.P. WALTON SURVEY, ABSTRACT NO. 1389, CITY OF CORINTH DENTON COUNTY, TEXAS  
AND  
BEING A REPLAT OF LOT 2 AND LOT 3, BLOCK A, A.L. LAMASCUS ADDITION, IN THE J.P. WALTON SURVEY, ABSTRACT NO. 1389, CITY OF CORINTH DENTON COUNTY, TEXAS

1 MULTIFAMILY LOT  
JUNE 2024  
SURVEYOR/ENGINEER:



519 east border  
orlington, texas 76010  
817-469-1671  
fax: 817-274-8757  
www.mimatexas.com  
CONTACT: JACOB SUMPTER, AICP  
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SHEET 1 OF 2

For reference, any public improvements will require a development agreement and financial security as stipulated in UDC.

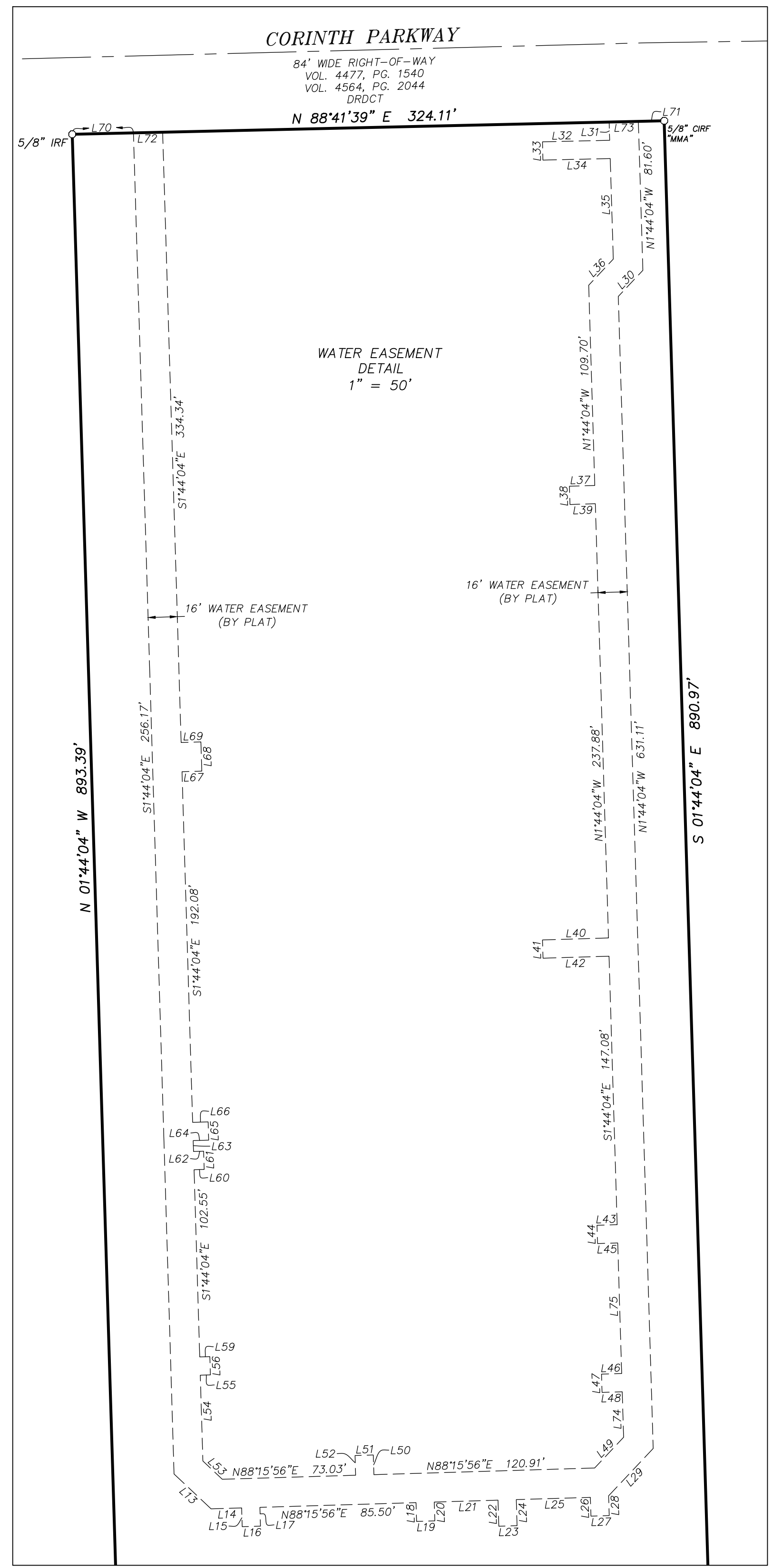
Add setback lines with note stating that setbacks are for reference only and that the setbacks of the PD Ordinance (as may be amended) shall apply

Show existing structures with notation "to be demolished or removed" or "to remain" (for the utility cabinet)

Identify 26ft Fire Lanes.

Utility Easements require Council approval and cannot be abandoned by this Replat. Insert document number for abandonment ordinance number and instrument recordation number..  
Also, reach out to Public Works/Engineering to begin the abandonment process.

Add space for document number



OWNER:  
**GVM III, LLC**  
1000 CORDOVA PLACE #271  
SANTA FE, NM 87505  
TEL: (XXX) XXX-XXXX  
EMAIL: XXX@XXX.COM  
CONTACT: XXXXXXXXXXXX

DEVELOPER:  
**BRIDGEVIEW MULTIFAMILY LLC**  
8390 LBJ FREEWAY, SUITE 565  
DALLAS, TX 75243  
TEL: (214) 678-7617  
EMAIL: dru@bridgeview.com  
CONTACT: DRU GUILLOT



**OWNER'S CERTIFICATE**

STATE OF TEXAS §  
 COUNTY OF DENTON §

WHEREAS GVM III, LLC, ACTING BY AND THROUGH THE UNDERSIGNED, IT'S DULY AUTHORIZED AGENT, ARE THE SOLE OWNERS OF A 6.500 ACRE TRACT OF LAND.

BEING A 6.500 ACRE TRACT OF LAND SITUATED IN THE J.P. WALTON SURVEY, ABSTRACT NO. 1389, DENTON COUNTY, TEXAS, BEING A PORTION OF LOT 3, BLOCK A, GODDARD SCHOOL ADDITION, AN ADDITION TO THE CITY OF CORINTH, DENTON COUNTY, TEXAS, ACCORDING TO THE REPLAT RECORDED IN DOCUMENT NO. 2019-320, OFFICIAL RECORDS, DENTON COUNTY, TEXAS (ORDCT), AND BEING ALL OF LOT 2, BLOCK A, A.L. LAMASCUS ADDITION, AN ADDITION TO THE CITY OF CORINTH, DENTON COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN CABINET F, PAGE 400, PLAT RECORDS, DENTON COUNTY, TEXAS (PRDCT), AND BEING A PORTION OF LOT 3, BLOCK A, OF SAID A.L. LAMASCUS ADDITION, SAID 6.500 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 5/8" IRON ROD FOUND FOR THE NORTHWEST CORNER OF SAID LOT 3, GODDARD SCHOOL ADDITION, THE NORTHEAST CORNER OF LOT 3, BLOCK A, CORINTH PROFESSIONAL BUILDINGS ADDITION, AN ADDITION TO THE CITY OF CORINTH, ACCORDING TO THE PLAT RECORDED IN DOCUMENT NO. 2009-90, ORDCT, AND IN THE SOUTH RIGHT-OF-WAY LINE OF CORINTH PARKWAY, AN 84.00 FOOT WIDE RIGHT-OF-WAY, DESCRIBED IN THE DEED TO THE CITY OF CORINTH, AS RECORDED IN VOLUME 4477, PAGE 1540, DEED RECORDS, DENTON COUNTY, TEXAS (DRDCT);

THENCE NORTH 88°41'39" EAST, WITH THE NORTH LINE OF SAID LOT 3, GODDARD SCHOOL ADDITION AND THE SOUTH RIGHT-OF-WAY LINE OF SAID CORINTH PARKWAY, A DISTANCE OF 324.11 FEET TO A 5/8" CAPPED IRON ROD STAMPED "MMA" SET FOR THE NORTHEAST CORNER OF SAID LOT 3, GODDARD SCHOOL ADDITION AND IN THE WEST LINE OF A CALLED 39.176 ACRE TRACT OF LAND (TRACT I) DESCRIBED IN THE DEED TO THE CITY OF CORINTH, TEXAS, AS RECORDED IN DOCUMENT NO. 97-88168, ORDCT;

THENCE SOUTH 1°44'04" EAST, DEPARTING THE SOUTH RIGHT-OF-WAY LINE OF SAID CORINTH PARKWAY, WITH THE COMMON LINE OF SAID LOT 3, GODDARD SCHOOL ADDITION, LOT 2 AND LOT 3 OF SAID A.L. LAMASCUS ADDITION AND SAID CITY OF CORINTH TRACT, A DISTANCE OF 890.97 FEET TO A 1/2" CAPPED IRON ROD STAMPED "ARTHUR SURVEYING COMPANY" FOUND FOR THE NORTHEAST CORNER OF A CALLED 0.167 ACRE TRACT OF LAND DESCRIBED IN THE DEED TO THE CITY OF CORINTH, AS RECORDED IN DOCUMENT NO. 2006-18425, ORDCT;

THENCE SOUTH 88°15'56" WEST, OVER AND ACROSS SAID LOT 3, A.L. LAMASCUS ADDITION, WITH THE NORTH LINE OF SAID CITY OF CORINTH TRACT (2006-18425), A DISTANCE OF 33.21 FEET TO A 1/2" CAPPED IRON ROD STAMPED "ARTHUR SURVEYING COMPANY" FOUND FOR THE SOUTHEAST CORNER OF A CALLED 0.138 ACRE TRACT OF LAND DESCRIBED IN THE DEED TO THE CITY OF CORINTH, AS RECORDED IN DOCUMENT NO. 2007-140511, ORDCT;

THENCE OVER AND ACROSS SAID LOT 3, A.L. LAMASCUS ADDITION, WITH THE NORTH LINE OF SAID CITY OF CORINTH TRACT (2007-140511), THE FOLLOWING COURSES AND DISTANCES:

NORTH 25°59'32" WEST, A DISTANCE OF 4.13 FEET TO A 1/2" CAPPED IRON ROD STAMPED "ARTHUR SURVEYING COMPANY" FOUND FOR CORNER;

NORTH 43°18'20" WEST, A DISTANCE OF 21.32 FEET TO A 1/2" CAPPED IRON ROD STAMPED "ARTHUR SURVEYING COMPANY" FOUND FOR CORNER;

NORTH 87°01'01" WEST, A DISTANCE OF 27.01 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;

NORTH 80°28'21" WEST, A DISTANCE OF 24.37 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;

NORTH 69°42'15" WEST, A DISTANCE OF 29.03 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;

NORTH 79°28'25" WEST, A DISTANCE OF 25.76 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;

NORTH 89°05'11" WEST, A DISTANCE OF 21.68 FEET TO A 1/2" IRON ROD FOUND (DISTURBED) FOR CORNER;

SOUTH 71°04'15" WEST, A DISTANCE OF 44.27 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;

SOUTH 32°50'19" WEST, A DISTANCE OF 28.69 FEET TO A 5/8" CAPPED IRON ROD STAMPED "MMA" SET FOR CORNER;

SOUTH 10°15'37" EAST, A DISTANCE OF 7.43 FEET TO A 1/2" IRON ROD FOUND (DISTURBED) FOR THE SOUTHWEST CORNER OF SAID CITY OF CORINTH TRACT (2007-140511) AND IN THE NORTH LINE OF SAID CITY OF CORINTH TRACT (2006-18425);

THENCE SOUTH 88°15'56" WEST, WITH THE NORTH LINE OF SAID CITY OF CORINTH TRACT (2006-18425), A DISTANCE OF 93.02 FEET TO A 1/2" CAPPED IRON ROD STAMPED "ARTHUR SURVEYING COMPANY" FOUND FOR THE NORTHWEST CORNER OF SAID CITY OF CORINTH TRACT (2006-18425), IN THE WEST LINE OF SAID A.L. LAMASCUS ADDITION AND THE EAST LINE OF LOT 3, BLOCK 1, AUTUMN OAKS, AN ADDITION TO THE CITY OF CORINTH, DENTON COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN CABINET U, PAGE 744, PRDCT, FROM SAID 1/2" CAPPED IRON ROD STAMPED "ARTHUR SURVEYING COMPANY" FOUND, A 5/8" IRON ROD FOUND FOR THE SOUTHWEST CORNER OF SAID CITY OF CORINTH TRACT (5006-18425), BEARS SOUTH 1°44'04" EAST, A DISTANCE OF 22.50 FEET;

THENCE NORTH 1°44'04" WEST, WITH THE COMMON LINE OF SAID LOT 2 AND LOT 3, A.L. LAMASCUS ADDITION, LOT 3 OF SAID GODDARD SCHOOL ADDITION, LOT 2 AND LOT 3 OF SAID AUTUMN OAKS ADDITION AND LOT 3 OF SAID CORINTH PROFESSIONAL BUILDINGS ADDITION, A DISTANCE OF 893.39 FEET TO THE POINT OF BEGINNING AND CONTAINING 283,128 SQUARE FEET OR 6.500 ACRES OF LAND, MORE OR LESS.

**SURVEYOR'S CERTIFICATE**

THAT I, LON E. WHITTEN, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY DECLARE THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN HEREON AS SET WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF CORINTH, TEXAS.

**PRELIMINARY**

*This document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document. Released for review by*

LON E. WHITTEN DATE: JUNE 03, 2024  
 REGISTERED PROFESSIONAL LAND SURVEYOR  
 TEXAS REGISTRATION NO. 5893

STATE OF TEXAS §  
 COUNTY OF TARRANT §

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED LON E. WHITTEN, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.

\_\_\_\_\_  
 NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES: \_\_\_\_\_

**NOW THEREFORE, KNOWN ALL MEN BY THESE PRESENTS**

GVM III, LLC, DOES HEREBY DEDICATE TO THE USE OF PUBLIC FOREVER ALL STREETS, UNLESS SHOWN AS PRIVATE, AND ALL EASEMENTS SHOWN AND FOR ALL PURPOSES ACCOMMODATING DRAINAGE TO THE USE OF PUBLIC FOREVER. NO BUILDINGS OR OTHER IMPROVEMENTS SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE EASEMENTS AS SHOWN ON THIS PLAT. ANY PUBLIC UTILITY, INCLUDING THE TOWN OF SHADY SHORES, SHALL HAVE THE RIGHT TO MOVE AND KEEP MOVED ALL OR PART OF ANY BUILDING, TREE, SHRUB, OTHER GROWTH OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF ITS RESPECTIVE SYSTEMS ON ANY OF THE EASEMENTS SHOWN ON THE PLAT; AND THEY SHALL HAVE THE RIGHT AT ALL TIMES TO INGRESS AND EGRESS UPON SAID EASEMENTS FOR THE PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTION, MAINTAIN AND ADDING TO OR REMOVING ALL OR PART OF ITS RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE.

**OWNER'S DEDICATION**

**NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:**

THAT, GVM III, LLC, ACTING BY AND THROUGH THE UNDERSIGNED, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN ABOVE DESCRIBED REAL PROPERTY AS LOT 1R, BLOCK A, A.L. LAMASCUS ADDITION, AN ADDITION TO THE CITY OF CORINTH, DENTON COUNTY, TEXAS, AND DO HEREBY DEDICATE TO THE PUBLIC'S USE THE STREETS, ALLEYS, EASEMENTS, PARKS AND OTHER OPEN SPACES SHOWN THEREON, EXCEPT THE PRIVATE EASEMENTS SHOWN THEREON. THIS PLAT DOES NOT ALTER OR REMOVE EXISTING DEED RESTRICTION OR COVENANTS, IF ANY, ON THIS PROPERTY.

PURSUANT TO SECTION 12.002 OF THE TEXAS PROPERTY CODE, I HAVE OBTAINED ORIGINAL TAX CERTIFICATES FROM EACH TAXING UNIT WITH JURISDICTION OVER EACH PARCEL OF REAL PROPERTY IN SAID SUBDIVISION INDICATING THAT NO DELINQUENT AD VALOREM TAXES ARE OWED ON THE REAL PROPERTY WHICH IS THE SUBJECT OF THE PLAT OR REPLAT I HAVE SUBMITTED TO THE CITY OF CORINTH, DENTON COUNTY, TEXAS FOR FILING AND RECORDING WITH THE DENTON COUNTY CLERK'S OFFICE.

WITNESS MY HAND THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.

**GRANTOR:**

GVM III, LLC  
 A TEXAS LIMITED LIABILITY COMPANY

BY: \_\_\_\_\_

ITS: \_\_\_\_\_

STATE OF TEXAS §  
 COUNTY OF \_\_\_\_\_ §

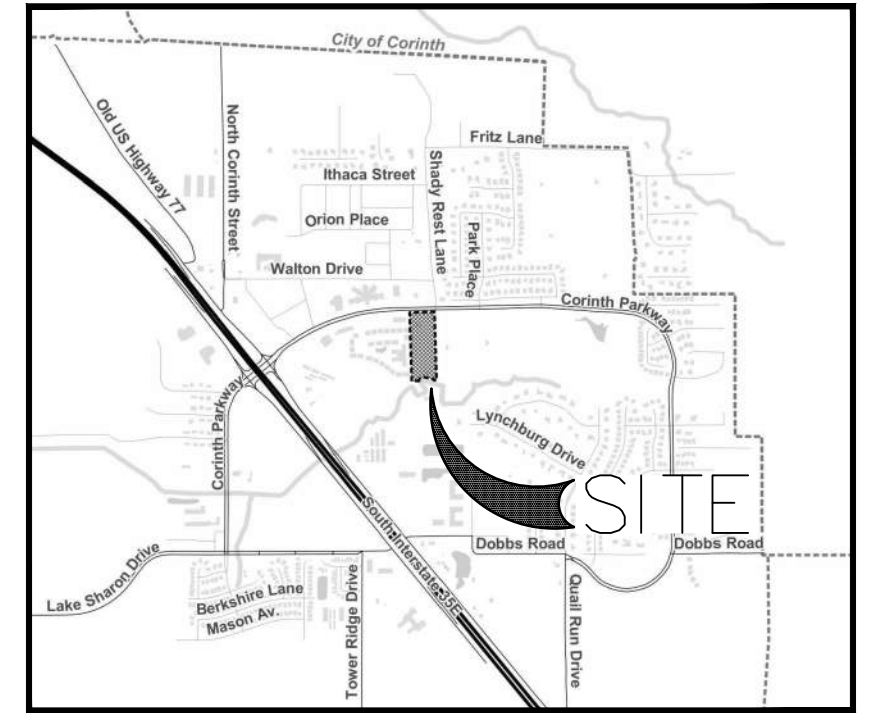
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024, BY \_\_\_\_\_, GVM III, LLC, A TEXAS LIMITED PARTNERSHIP,

\_\_\_\_\_  
 NOTARY PUBLIC, STATE OF TEXAS

PRINTED NAME: \_\_\_\_\_

COMMISSION EXPIRES: \_\_\_\_\_

Add the following:  
 - Fire Lane Easement language UDC 3.03.04 M.2  
 - Lienholder's Ratification of Plat Dedication (if applicable) UDC 3.03.04 M.4



**VICINITY MAP**  
 NO SCALE

**FINAL PLAT**

LOT 1R, BLOCK A  
**A.L. LAMASCUS ADDITION**  
 BEING A REPLAT OF LOT 3, BLOCK A, GODDARD SCHOOL ADDITION, IN THE J.P. WALTON SURVEY, ABSTRACT NO. 1389, CITY OF CORINTH DENTON COUNTY, TEXAS  
 AND  
 BEING A REPLAT OF LOT 2 AND LOT 3, BLOCK A, A.L. LAMASCUS ADDITION, IN THE J.P. WALTON SURVEY, ABSTRACT NO. 1389, CITY OF CORINTH DENTON COUNTY, TEXAS

Planning and Development

**CERTIFICATE OF APPROVAL**

APPROVED THE \_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_ .BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF CORINTH, TEXAS.

\_\_\_\_\_  
 DIRECTOR OF ~~DEVELOPMENT SERVICES~~

\_\_\_\_\_  
 CITY SECRETARY

**\* GENERAL NOTES \***

- ALL CORNERS CALLED "CIRS" ARE 5/8 INCH CAPPED IRON RODS SET STAMPED "MMA".
- BEARINGS AND COORDINATES ARE GRID BASED ON THE "TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL ZONE" AS DETERMINED BY GPS OBSERVATIONS. THE CONVERGENCE ANGLE AT THE POINT OF BEGINNING IS 000°47'19.8". ALL DISTANCES HAVE BEEN ADJUSTED TO SURFACE USING A COMBINED SCALE FACTOR OF 1.000148848140.
- BY SCALED MAP LOCATION, THE SUBJECT PROPERTY IS LOCATED IN ZONE "X". AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN, ACCORDING TO THE FLOOD INSURANCE RATE MAP NO. 48121C0393H, MAP REVISED JUNE 19, 2020. THE SURVEYOR OFFERS NO OPINION AS TO THE FLOOD POTENTIAL OF THE SUBJECT PROPERTY.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF ANY BUILDING, PARK, EQUIPMENT, POOLS, PLANTING, LAWNS, OR LEGAL INTERESTS WITHIN THE SUBDIVISION.
- THE PURPOSE OF THE REPLAT IS TO COMBINE THREE PLATTED LOTS INTO ONE PLATTED LOT AND REMOVE THE 8' WIDE UTILITY EASEMENTS ALONG THE ABANDONED LOT LINES.
- THIS REPLAT DOES NOT AMEND OR REMOVE ANY DEED COVENANTS OR RESTRICTIONS, IF ANY ON THIS PROPERTY.

OWNER:  
**GVM III, LLC**  
 1000 CORDOVA PLACE #271  
 SANTA FE, NM 87505  
 TEL: (XXX) XXX-XXXX  
 EMAIL: XXX@XXX.COM  
 CONTACT: XXXXXXXXXXXX

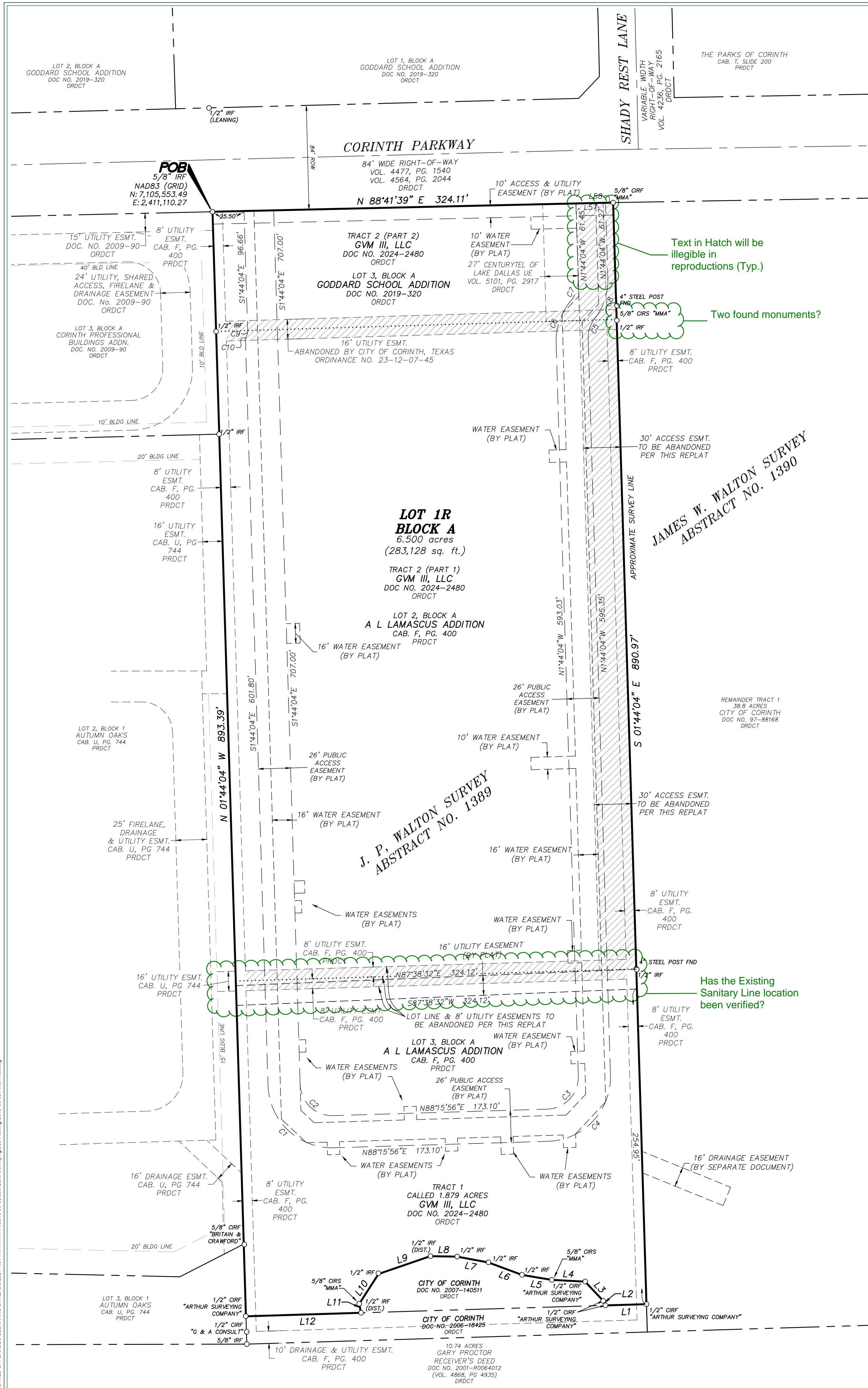
DEVELOPER:  
**BRIDGEVIEW MULTIFAMILY LLC**  
 8390 LBJ FREEWAY, SUITE 565  
 DALLAS, TX 75243  
 TEL: (214) 678-7617  
 EMAIL: dru@bridgeviewre.com  
 CONTACT: DRU GUILLOT

1 MULTIFAMILY LOT  
**MAY 2024**  
 SURVEYOR/ENGINEER:



**chd engineering surveying landscape architecture planning**  
 tpeels registration number: 1 - 2759  
 tpeels registration/license number: 10088000  
 519 east border  
 orlington, texas 76010  
 817-468-1671  
 fax: 817-274-8757  
 www.mmatexas.com  
 CONTACT: JACOB SUMPTER, AICP  
 COPYRIGHT © 2024 MMA, INC.  
 SHEET 2 OF 2





**LINE TABLE**

LINE	BEARING	DISTANCE
L1	S 88°15'56" W	33.21'
L2	N 25°59'32" W	4.13'
L3	N 43°18'20" W	21.32'
L4	N 87°01'01" W	27.01'
L5	N 80°28'21" W	24.37'
L6	N 69°42'15" W	29.03'
L7	N 79°28'25" W	25.76'
L8	N 89°05'11" W	21.68'
L9	S 71°04'15" W	44.27'
L10	S 32°50'19" W	28.69'
L11	S 10°15'37" E	7.43'
L12	S 88°15'56" W	93.02'
L13	S 46°44'04" E	27.84'
L14	N 88°15'56" E	16.74'
L15	S 01°44'04" E	10.29'

**LINE TABLE**

LINE	BEARING	DISTANCE
L16	N 88°15'56" E	10.00'
L17	N 01°44'04" W	10.29'
L18	S 01°44'04" E	10.29'
L19	N 88°15'56" E	10.00'
L20	N 01°44'04" W	10.29'
L21	N 88°15'56" E	34.92'
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L23	N 88°15'56" E	10.00'
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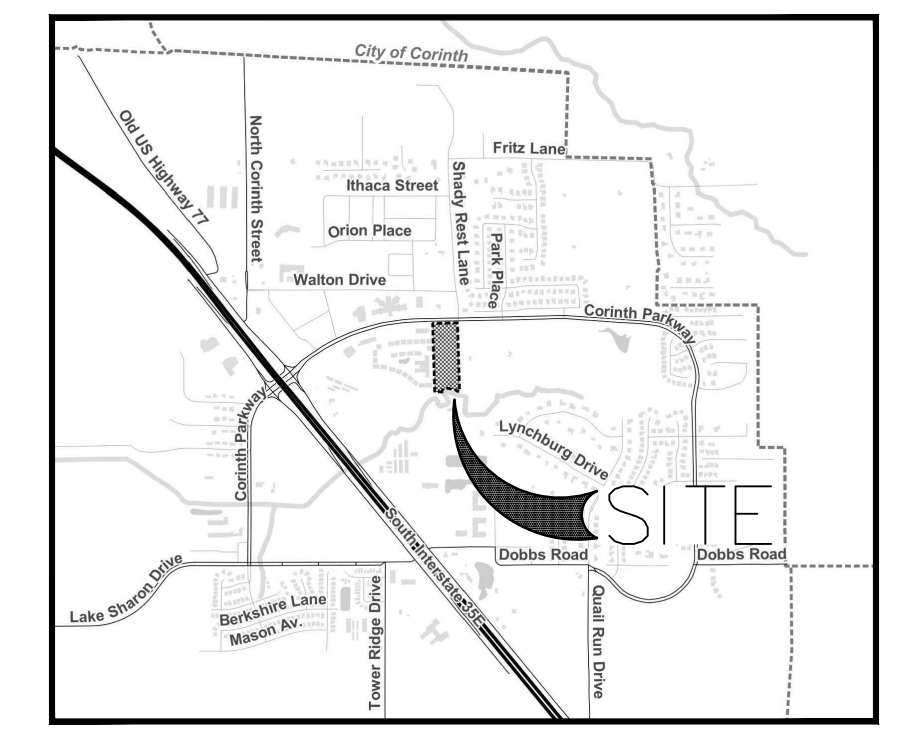
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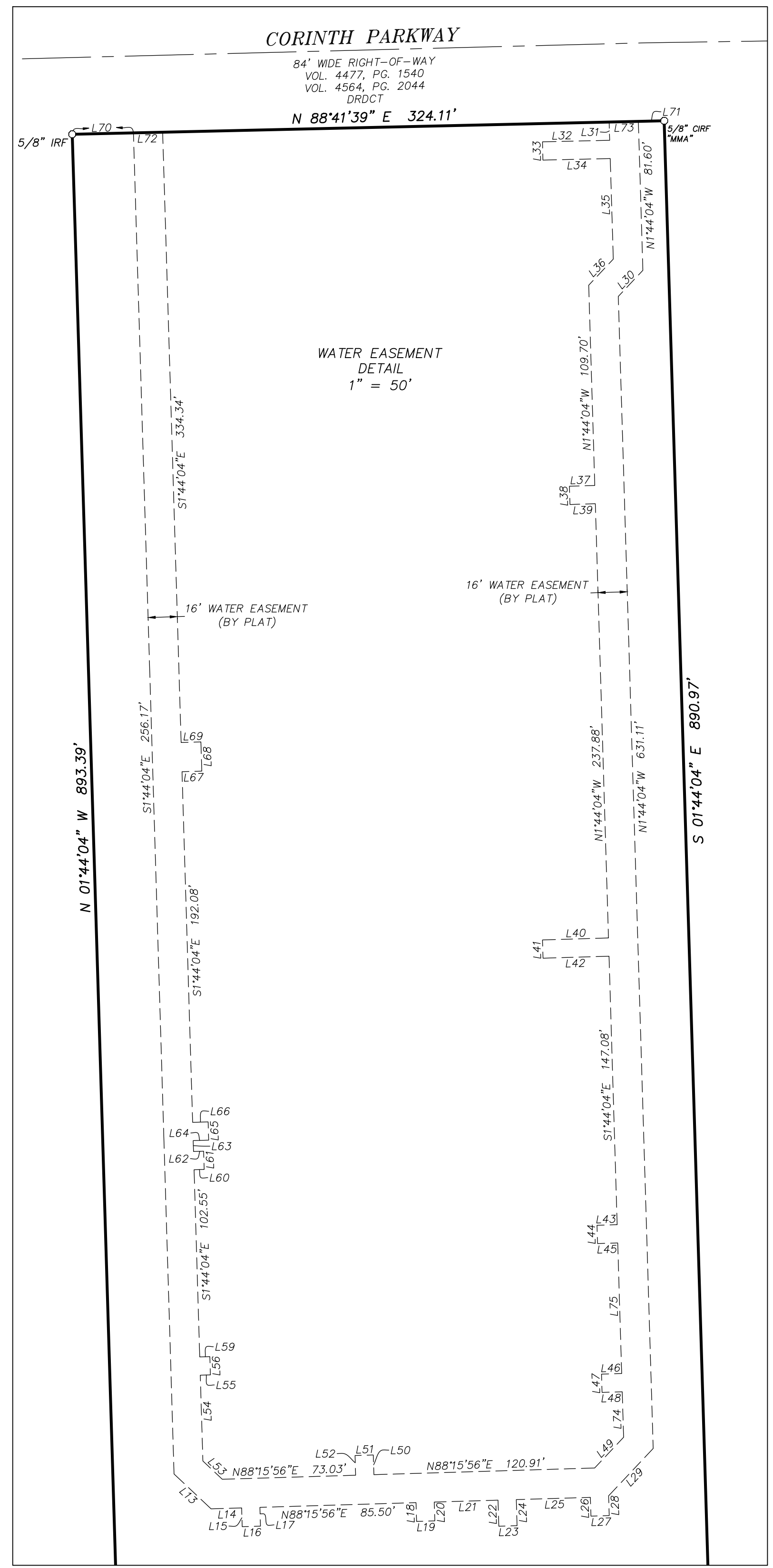
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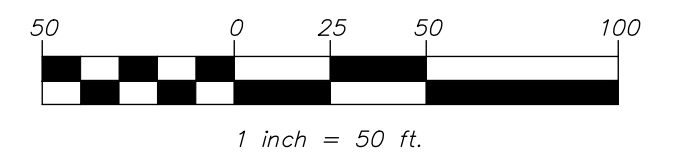


**VICINITY MAP**  
NO SCALE



**CURVE TABLE**

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	52.00'	81.68'	90° 00' 00"	S 46°44'04" E	73.54'
C2	26.00'	40.84'	90° 00' 00"	S 46°44'04" E	36.77'
C3	26.00'	40.84'	90° 00' 00"	N 43°15'56" E	36.77'
C4	52.00'	81.68'	90° 00' 00"	N 43°15'56" E	73.54'
C5	26.00'	17.94'	39° 31' 42"	N 18°01'47" E	17.58'
C6	50.00'	36.51'	41° 50' 29"	N 19°11'11" E	35.71'
C7	26.00'	18.99'	41° 50' 29"	N 19°11'11" E	18.57'
C8	50.00'	34.49'	39° 31' 42"	N 18°01'47" E	33.81'
C9	10.00'	4.51'	25° 50' 31"	S 11°11'12" W	4.47'
C10	10.00'	4.51'	25° 50' 31"	S 11°11'12" W	4.47'



- LEGEND/ABBREVIATIONS**
- MMA 5/8" CAPPED IRON ROD SET STAMPED "MMA" (UNLESS OTHERWISE NOTED)
  - CIRF CAPPED IRON ROD FOUND
  - DRDCT DEED RECORDS DENTON COUNTY, TEXAS
  - PRDCT PLAT RECORDS DENTON COUNTY, TEXAS
  - OPRDCT OFFICIAL PUBLIC RECORDS DENTON COUNTY, TEXAS
  - VOL. VOLUME
  - PG. PAGE
  - UE UTILITY EASEMENT
  - BL BUILDING LINE
  - DE DRAINAGE EASEMENT
  - SSE SANITARY SEWER EASEMENT
  - WE WATER EASEMENT
  - PAE PEDESTRIAN ACCESS EASEMENT
  - POB POINT OF BEGINNING
  - FND. FOUND
  - IRF IRON ROD FOUND
  - MFF MINIMUM FINISHED FLOOR ELEVATION
  - \* FEMA ELEVATION CERTIFICATE NOT REQUIRED
  - Doc. No. COUNTY CLERK'S DOCUMENT NUMBER

ZONING  
**(MF-3)**  
CLASSIFICATION

FINAL PLAT

LOT 1R, BLOCK A  
**A.L. LAMASCUS ADDITION**  
BEING A REPLAT OF LOT 3, BLOCK A, GODDARD SCHOOL ADDITION, IN THE J.P. WALTON SURVEY, ABSTRACT NO. 1389, CITY OF CORINTH DENTON COUNTY, TEXAS  
AND  
BEING A REPLAT OF LOT 2 AND LOT 3, BLOCK A, A.L. LAMASCUS ADDITION, IN THE J.P. WALTON SURVEY, ABSTRACT NO. 1389, CITY OF CORINTH DENTON COUNTY, TEXAS

OWNER:  
**GVM III, LLC**  
1000 CORDOVA PLACE #271  
SANTA FE, NM 87505  
TEL: (XXX) XXX-XXXX  
EMAIL: XXX@XXX.COM  
CONTACT: XXXXXXXXXXXX

DEVELOPER:  
**BRIDGEVIEW MULTIFAMILY LLC**  
8390 LBJ FREEWAY, SUITE 565  
DALLAS, TX 75243  
TEL: (214) 678-7617  
EMAIL: dru@bridgeviewre.com  
CONTACT: DRU GUILLOT

1 MULTIFAMILY LOT  
**JUNE 2024**  
SURVEYOR/ENGINEER:



chd engineering surveying landscape architecture planning  
tobels registration number: 1 - 2759  
tobels registration/license number: 10088000  
519 east border  
orlington, texas 76010  
817-469-1671  
fax: 817-274-8757  
www.mmataxas.com  
CONTACT: JACOB SUMPTER, AICP  
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SHEET 1 OF 2



OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF DENTON §

WHEREAS GVM III, LLC, ACTING BY AND THROUGH THE UNDERSIGNED, IT'S DULY AUTHORIZED AGENT, ARE THE SOLE OWNERS OF A 6.500 ACRE TRACT OF LAND.

BEING A 6.500 ACRE TRACT OF LAND SITUATED IN THE J.P. WALTON SURVEY, ABSTRACT NO. 1389, DENTON COUNTY, TEXAS, BEING A PORTION OF LOT 3, BLOCK A, GODDARD SCHOOL ADDITION, AN ADDITION TO THE CITY OF CORINTH, DENTON COUNTY, TEXAS, ACCORDING TO THE REPLAT RECORDED IN DOCUMENT NO. 2019-320, OFFICIAL RECORDS, DENTON COUNTY, TEXAS (ORDCT), AND BEING ALL OF LOT 2, BLOCK A, A.L. LAMASCUS ADDITION, AN ADDITION TO THE CITY OF CORINTH, DENTON COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN CABINET F, PAGE 400, PLAT RECORDS, DENTON COUNTY, TEXAS (PRDCT), AND BEING A PORTION OF LOT 3, BLOCK A, OF SAID A.L. LAMASCUS ADDITION, SAID 6.500 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 5/8" IRON ROD FOUND FOR THE NORTHWEST CORNER OF SAID LOT 3, GODDARD SCHOOL ADDITION, THE NORTHEAST CORNER OF LOT 3, BLOCK A, CORINTH PROFESSIONAL BUILDINGS ADDITION, AN ADDITION TO THE CITY OF CORINTH, ACCORDING TO THE PLAT RECORDED IN DOCUMENT NO. 2009-90, ORDCT, AND IN THE SOUTH RIGHT-OF-WAY LINE OF CORINTH PARKWAY, AN 84.00 FOOT WIDE RIGHT-OF-WAY, DESCRIBED IN THE DEED TO THE CITY OF CORINTH, AS RECORDED IN VOLUME 4477, PAGE 1540, DEED RECORDS, DENTON COUNTY, TEXAS (DRDCT);

THENCE NORTH 88°41'39" EAST, WITH THE NORTH LINE OF SAID LOT 3, GODDARD SCHOOL ADDITION AND THE SOUTH RIGHT-OF-WAY LINE OF SAID CORINTH PARKWAY, A DISTANCE OF 324.11 FEET TO A 5/8" CAPPED IRON ROD STAMPED "MMA" SET FOR THE NORTHEAST CORNER OF SAID LOT 3, GODDARD SCHOOL ADDITION AND IN THE WEST LINE OF A CALLED 39.176 ACRE TRACT OF LAND (TRACT I) DESCRIBED IN THE DEED TO THE CITY OF CORINTH, TEXAS, AS RECORDED IN DOCUMENT NO. 97-88168, ORDCT;

THENCE SOUTH 1°44'04" EAST, DEPARTING THE SOUTH RIGHT-OF-WAY LINE OF SAID CORINTH PARKWAY, WITH THE COMMON LINE OF SAID LOT 3, GODDARD SCHOOL ADDITION, LOT 2 AND LOT 3 OF SAID A.L. LAMASCUS ADDITION AND SAID CITY OF CORINTH TRACT, A DISTANCE OF 890.97 FEET TO A 1/2" CAPPED IRON ROD STAMPED "ARTHUR SURVEYING COMPANY" FOUND FOR THE NORTHEAST CORNER OF A CALLED 0.167 ACRE TRACT OF LAND DESCRIBED IN THE DEED TO THE CITY OF CORINTH, AS RECORDED IN DOCUMENT NO. 2006-18425, ORDCT;

THENCE SOUTH 88°15'56" WEST, OVER AND ACROSS SAID LOT 3, A.L. LAMASCUS ADDITION, WITH THE NORTH LINE OF SAID CITY OF CORINTH TRACT (2006-18425), A DISTANCE OF 33.21 FEET TO A 1/2" CAPPED IRON ROD STAMPED "ARTHUR SURVEYING COMPANY" FOUND FOR THE SOUTHEAST CORNER OF A CALLED 0.138 ACRE TRACT OF LAND DESCRIBED IN THE DEED TO THE CITY OF CORINTH, AS RECORDED IN DOCUMENT NO. 2007-140511, ORDCT;

THENCE OVER AND ACROSS SAID LOT 3, A.L. LAMASCUS ADDITION, WITH THE NORTH LINE OF SAID CITY OF CORINTH TRACT (2007-140511), THE FOLLOWING COURSES AND DISTANCES:

- NORTH 25°59'32" WEST, A DISTANCE OF 4.13 FEET TO A 1/2" CAPPED IRON ROD STAMPED "ARTHUR SURVEYING COMPANY" FOUND FOR CORNER;
NORTH 43°18'20" WEST, A DISTANCE OF 21.32 FEET TO A 1/2" CAPPED IRON ROD STAMPED "ARTHUR SURVEYING COMPANY" FOUND FOR CORNER;
NORTH 87°01'01" WEST, A DISTANCE OF 27.01 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;
NORTH 80°28'21" WEST, A DISTANCE OF 24.37 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;
NORTH 69°42'15" WEST, A DISTANCE OF 29.03 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;
NORTH 79°28'25" WEST, A DISTANCE OF 25.76 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;
NORTH 89°05'11" WEST, A DISTANCE OF 21.68 FEET TO A 1/2" IRON ROD FOUND (DISTURBED) FOR CORNER;
SOUTH 71°04'15" WEST, A DISTANCE OF 44.27 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;
SOUTH 32°50'19" WEST, A DISTANCE OF 28.69 FEET TO A 5/8" CAPPED IRON ROD STAMPED "MMA" SET FOR CORNER;
SOUTH 10°15'37" EAST, A DISTANCE OF 7.43 FEET TO A 1/2" IRON ROD FOUND (DISTURBED) FOR THE SOUTHWEST CORNER OF SAID CITY OF CORINTH TRACT (2007-140511) AND IN THE NORTH LINE OF SAID CITY OF CORINTH TRACT (2006-18425);

THENCE SOUTH 88°15'56" WEST, WITH THE NORTH LINE OF SAID CITY OF CORINTH TRACT (2006-18425), A DISTANCE OF 93.02 FEET TO A 1/2" CAPPED IRON ROD STAMPED "ARTHUR SURVEYING COMPANY" FOUND FOR THE NORTHWEST CORNER OF SAID CITY OF CORINTH TRACT (2006-18425), IN THE WEST LINE OF SAID A.L. LAMASCUS ADDITION AND THE EAST LINE OF LOT 3, BLOCK 1, AUTUMN OAKS, AN ADDITION TO THE CITY OF CORINTH, DENTON COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN CABINET U, PAGE 744, PRDCT, FROM SAID 1/2" CAPPED IRON ROD STAMPED "ARTHUR SURVEYING COMPANY" FOUND, A 5/8" IRON ROD FOUND FOR THE SOUTHWEST CORNER OF SAID CITY OF CORINTH TRACT (5006-18425), BEARS SOUTH 1°44'04" EAST, A DISTANCE OF 22.50 FEET;

THENCE NORTH 1°44'04" WEST, WITH THE COMMON LINE OF SAID LOT 2 AND LOT 3, A.L. LAMASCUS ADDITION, LOT 3 OF SAID GODDARD SCHOOL ADDITION, LOT 2 AND LOT 3 OF SAID AUTUMN OAKS ADDITION AND LOT 3 OF SAID CORINTH PROFESSIONAL BUILDINGS ADDITION, A DISTANCE OF 893.39 FEET TO THE POINT OF BEGINNING AND CONTAINING 283,128 SQUARE FEET OR 6.500 ACRES OF LAND, MORE OR LESS.

SURVEYOR'S CERTIFICATE

THAT I, LON E. WHITTEN, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY DECLARE THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN HEREON AS SET WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF CORINTH, TEXAS.

PRELIMINARY

This document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document. Released for review by

LON E. WHITTEN DATE: JUNE 03, 2024 REGISTERED PROFESSIONAL LAND SURVEYOR TEXAS REGISTRATION NO. 5893

STATE OF TEXAS §
COUNTY OF TARRANT §

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED LON E. WHITTEN, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2024.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES: \_\_\_\_\_

NOW THEREFORE, KNOWN ALL MEN BY THESE PRESENTS

GVM III, LLC, DOES HEREBY DEDICATE TO THE USE OF PUBLIC FOREVER ALL STREETS, UNLESS SHOWN AS PRIVATE, AND ALL EASEMENTS SHOWN AND FOR ALL PURPOSES ACCOMMODATING DRAINAGE TO THE USE OF PUBLIC FOREVER. NO BUILDINGS OR OTHER IMPROVEMENTS SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE EASEMENTS AS SHOWN ON THIS PLAT. ANY PUBLIC UTILITY, INCLUDING THE TOWN OF SHADY SHORES, SHALL HAVE THE RIGHT TO MOVE AND KEEP MOVED ALL OR PART OF ANY BUILDINGS, TREES OR OTHER GROWTH OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF ITS RESPECTIVE SYSTEMS ON ANY OF THE EASEMENTS SHOWN ON THE PLAT; AND THEY SHALL HAVE THE RIGHT AT ALL TIMES TO INGRESS AND EGRESS UPON SAID EASEMENTS FOR THE PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTION, MAINTAIN AND ADDING TO OR REMOVING ALL OR PART OF ITS RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE.

Corinth?

OWNER'S DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, GVM III, LLC, ACTING BY AND THROUGH THE UNDERSIGNED, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN ABOVE DESCRIBED REAL PROPERTY AS LOT 1R, BLOCK A, A.L. LAMASCUS ADDITION, AN ADDITION TO THE CITY OF CORINTH, DENTON COUNTY, TEXAS, AND DO HEREBY DEDICATE TO THE PUBLIC'S USE THE STREETS, ALLEYS, EASEMENTS, PARKS AND OTHER OPEN SPACES SHOWN THEREON, EXCEPT THE PRIVATE EASEMENTS SHOWN THEREON. THIS PLAT DOES NOT ALTER OR REMOVE EXISTING DEED RESTRICTION OR COVENANTS, IF ANY, ON THIS PROPERTY.

PURSUANT TO SECTION 12.002 OF THE TEXAS PROPERTY CODE, I HAVE OBTAINED ORIGINAL TAX CERTIFICATES FROM EACH TAXING UNIT WITH JURISDICTION OVER EACH PARCEL OF REAL PROPERTY IN SAID SUBDIVISION INDICATING THAT NO DELINQUENT AD VALOREM TAXES ARE OWED ON THE REAL PROPERTY WHICH IS THE SUBJECT OF THE PLAT OR REPLAT I HAVE SUBMITTED TO THE CITY OF CORINTH, DENTON COUNTY, TEXAS FOR FILING AND RECORDING WITH THE DENTON COUNTY CLERK'S OFFICE. WITNESS MY HAND THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2024.

GRANTOR:

GVM III, LLC
A TEXAS LIMITED LIABILITY COMPANY

BY: \_\_\_\_\_

ITS: \_\_\_\_\_

STATE OF TEXAS §
COUNTY OF \_\_\_\_\_ §

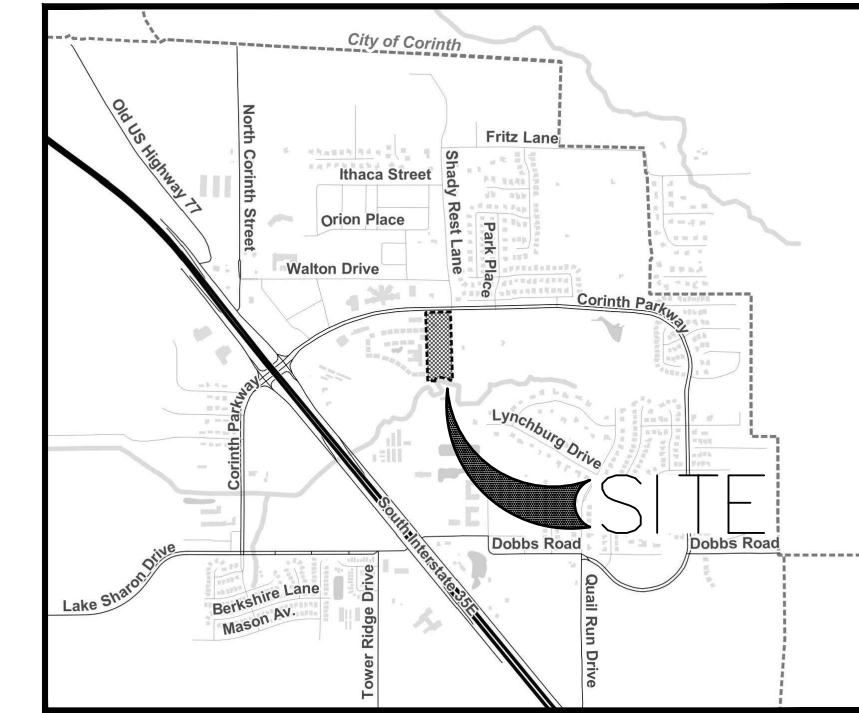
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2024, BY \_\_\_\_\_, GVM III, LLC, A TEXAS LIMITED PARTNERSHIP,

NOTARY PUBLIC, STATE OF TEXAS

PRINTED NAME: \_\_\_\_\_

COMMISSION EXPIRES: \_\_\_\_\_

Extra space?



VICINITY MAP
NO SCALE

FINAL PLAT

LOT 1R, BLOCK A
A.L. LAMASCUS ADDITION
BEING A REPLAT OF LOT 3, BLOCK A, GODDARD SCHOOL ADDITION, IN THE J.P. WALTON SURVEY, ABSTRACT NO. 1389, CITY OF CORINTH DENTON COUNTY, TEXAS AND BEING A REPLAT OF LOT 2 AND LOT 3, BLOCK A, A.L. LAMASCUS ADDITION, IN THE J.P. WALTON SURVEY, ABSTRACT NO. 1389, CITY OF CORINTH DENTON COUNTY, TEXAS

\* GENERAL NOTES \*

- 1. ALL CORNERS CALLED "CIRS" ARE 5/8 INCH CAPPED IRON RODS SET STAMPED "MMA".
2. BEARINGS AND COORDINATES ARE GRID BASED ON THE "TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL ZONE" AS DETERMINED BY GPS OBSERVATIONS. THE CONVERGENCE ANGLE AT THE POINT OF BEGINNING IS 000°47'19.8". ALL DISTANCES HAVE BEEN ADJUSTED TO SURFACE USING A COMBINED SCALE FACTOR OF 1.000148848140.
3. BY SCALED MAP LOCATION, THE SUBJECT PROPERTY IS LOCATED IN ZONE "X", AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN, ACCORDING TO THE FLOOD INSURANCE RATE MAP NO. 48121C0393H, MAP REVISED JUNE 19, 2020. THE SURVEYOR OFFERS NO OPINION AS TO THE FLOOD POTENTIAL OF THE SUBJECT PROPERTY.
4. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF ANY BUILDING, PARK, EQUIPMENT, POOLS, PLANTING, LAWNS, OR LEGAL INTERESTS WITHIN THE SUBDIVISION.
5. THE PURPOSE OF THE REPLAT IS TO COMBINE THREE PLATTED LOTS INTO ONE PLATTED LOT AND REMOVE THE 8' WIDE UTILITY EASEMENTS ALONG THE ABANDONED LOT LINES.
6. THIS REPLAT DOES NOT AMEND OR REMOVE ANY DEED COVENANTS OR RESTRICTIONS, IF ANY ON THIS PROPERTY.

OWNER:

GVM III, LLC
1000 CORDOVA PLACE #271
SANTA FE, NM 87505
TEL: (XXX) XXX-XXXX
EMAIL: XXX@XXX.COM
CONTACT: XXXXXXXXXXXX

DEVELOPER:

BRIDGEVIEW MULTIFAMILY LLC
8390 LBJ FREEWAY, SUITE 565
DALLAS, TX 75243
TEL: (214) 678-7617
EMAIL: dru@bridgeviewre.com
CONTACT: DRU GUILLOT

1 MULTIFAMILY LOT

MAY 2024

SURVEYOR/ENGINEER:



chd engineering surveying landscape architecture planning

tpbels registration number: 1 - 2759
tpbels registration/license number: 10088000

519 east border

orlington, texas 76010

817-468-1671

fax: 817-274-8757

www.mmatexas.com

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SHEET 2 OF 2

MMA PROJECT NO. 3646-00-03



# CITY OF CORINTH Staff Report

<b>Meeting Date:</b>	7/22/2024	<b>Title:</b>	Tree Preservation Amendments (ZTA24-0004)
<b>Strategic Goals:</b>	<input type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input checked="" type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development		

**Item/Caption**

Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a [City Staff initiated] request to amend UDC Subsection 2.09.02.G. – Mitigation Requirements for Protected Trees Removed to adjust the Sliding Scale Categories for the Replacement Rates for Protected Trees and Credits for Healthy Protected Tree Preservation Efforts. (Case No. ZTA24-0004 UDC Tree Preservation Amendments) – Withdrawal Requested by Staff

**Item Summary/Background/Prior Action**

At the previous Regular Session of the Planning and Zoning Commission on June 24, Staff requested that this item be tabled and continued. A public hearing was opened, and the item was continued to the July 22 Regular Session to afford Staff additional time to research and clarify the proposed amendments.

After review of the proposed changes to the sliding scale requirements, Staff determined that additional changes are needed in other key sections of this ordinance and would be better addressed in a more comprehensive manner. As such, Staff is requesting that this item be withdrawn.

**Public Notice**

Notice of the public hearing was provided in accordance with the City Ordinance and State Law by,

- Publication in the Denton Record-Chronicle
- The Public Hearing notice was posted on the City’s Website

**Staff Recommendation**

Staff recommends that the item be withdrawn.

**Motion**

“I move to withdraw Case No. ZTA24-0004.”





# CITY OF CORINTH Staff Report

<b>Meeting Date:</b>	7/22/2024	<b>Title:</b>	City-Initiated Rezoning Request to 5855 and 5857 S I-35E (ZMA24-0005)
<b>Strategic Goals:</b>	<input type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development		

**Item/Caption**

Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on City initiated request on behalf of the property owner, Super Rustic LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, to rezone 2 properties totaling approximately ±1 acre from C-2 Commercial to MX-C Mixed Use Commercial, with the subject properties being located at 5855 S I-35E and 5857 S I-35E. (Case No. ZMA24-0005 5855 & 5857 S I-35E MX-C Rezoning)

**Item Summary/Background/Prior Action**

The City is requesting a rezoning of two properties located at 5855 S I-35E and 5857 S I-35E. The applicant has completed a zoning request application authorizing the City to proceed with this request. The 2020 Comprehensive Plan identifies this area and these properties as “Mixed-Use TOD”, or Transit Oriented Development (see Attachment 3 – Land Use and Development Strategy map). The purpose and intent are stated to maximize the development of a mixed-use regional center in conjunction with a commuter rail stop on the DCTA line at Corinth Parkway and Interstate 35E, develop character and context befitting a new downtown with a range of urban residential, retail and office uses, and to become a destination for day and evening dining, entertainment and community festivals and events. An important transit option that is also highly conducive to development is the Denton Katy Trail which runs along the railroad in the downtown area where this property is located.

The property is currently zoned “C-2” Commercial and is undeveloped. As efforts proceed to create a mixed-use, walkable downtown that includes the area between I-35E and Old 77, opportunities may arise for a higher level of development that is a part of a vibrant, walkable downtown. MX-C would allow this type of development by right that is consistent with the vision for a downtown Corinth.

**Public Notice**

Notice of the public hearing was provided in accordance with the City Ordinance and State Law by,

- Publication in the Denton Record-Chronicle
- Written public notices were mailed to the owners of all properties located within 200 feet of the subject property and to the Denton ISD (see Attachment 4 - 200 FT Buffer Exhibit).
- The Applicant posted “Notice of Zoning Change” signs on the subject properties.
- The Public Hearing Notice was posted on the City’s website.

**Letters of Support/Protest**

As of the date of this report, the City has received no letters of support or opposition from property owners located within 200 feet of the subject property. Letters received after this date will be presented to the Planning and Zoning Commission at the time of Public Hearing.

**Staff Recommendation**

Staff recommends approval of the proposed amendment as presented.

**Motion**

“I move to recommend approval of Case No. ZMA24-0005 as presented.”

**Alternative Actions by the Planning and Zoning Commission**

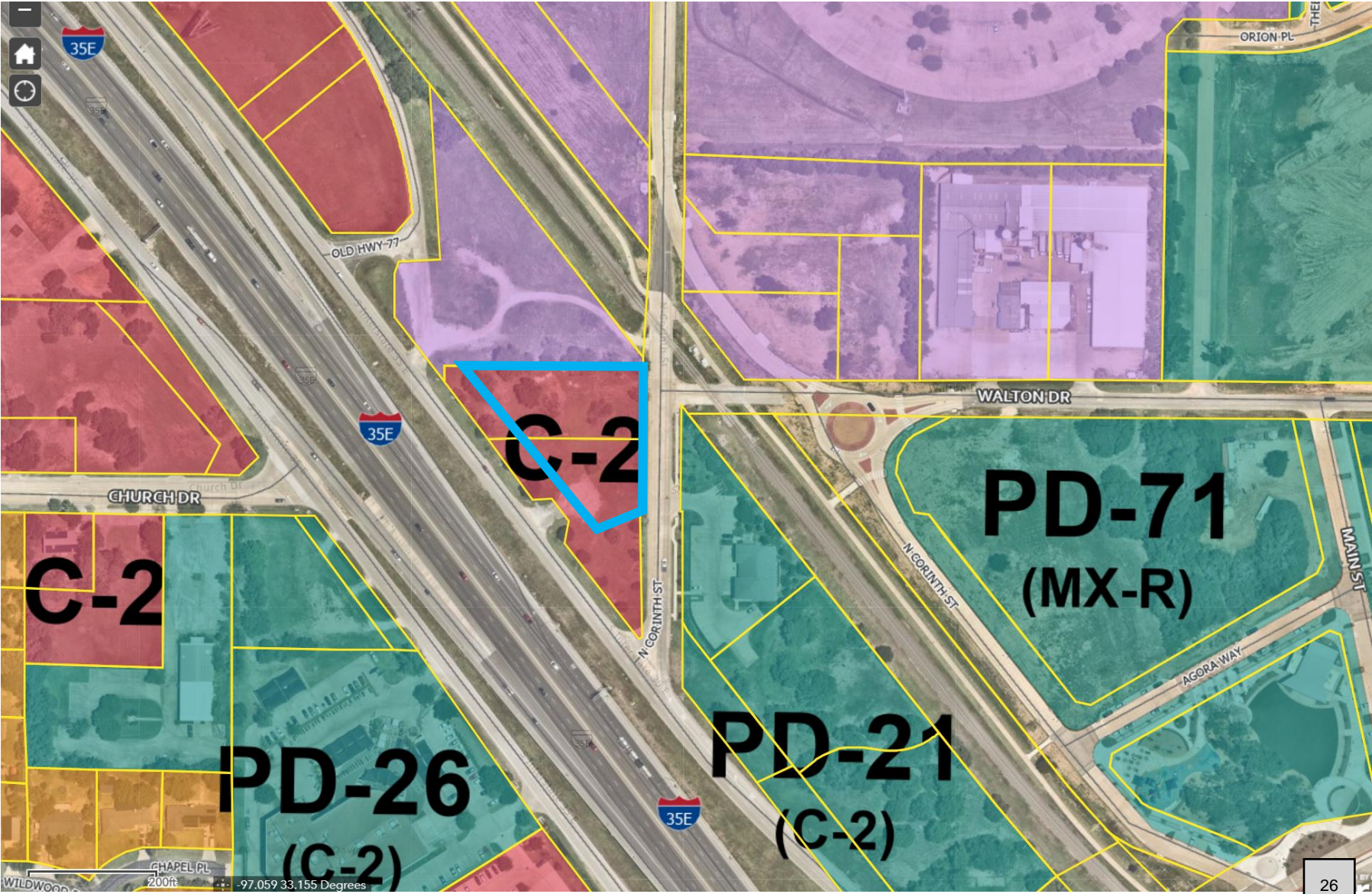
The Planning and Zoning Commission may also,

- Recommend approval with additional stipulations
- Continue the Public Hearing and table action on the request to a definitive or non-defined date
- Recommend denial of the request

**Attachments**

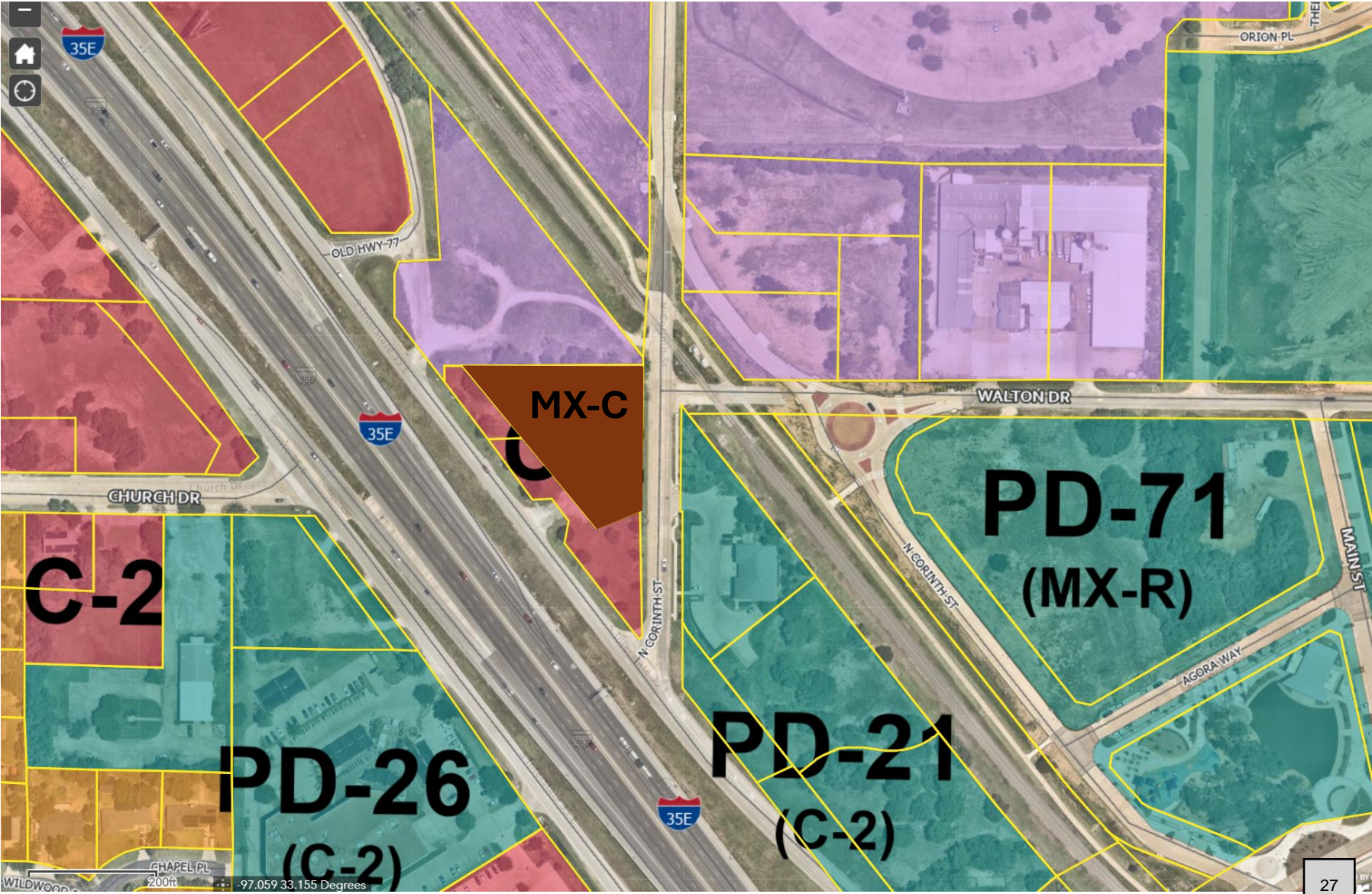
1. Existing Zoning Map showing properties proposed to be rezoned
2. Amended Zoning Map showing properties proposed to be rezoned
3. Land Use and Development Strategy Map from 2040 Comprehensive Plan
4. 200-foot Zoning Buffer Exhibit and Correspondence from Property Owners

ZMA24-0005  
Existing Zoning





ZMA24-0005  
Proposed Zoning





# City of Corinth Land Use and Development Strategy

## Future Land Use Classification

- Neighborhood
- Mixed-Residential
- Mixed Use - TOD
- Mixed Use - Node
- Retail/Commercial
- Corridor Commercial
- Office/Employment
- Institutional/Public/Civic
- Parks/Open Space

## Road Classes

- Highway
- Major/Minor Arterial
- Collector
- Local

## Revisions

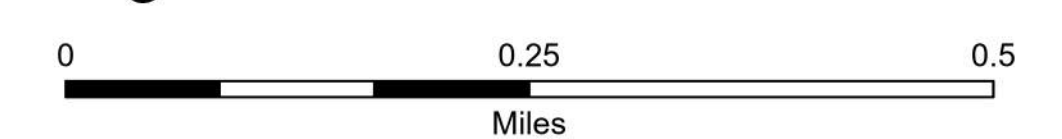
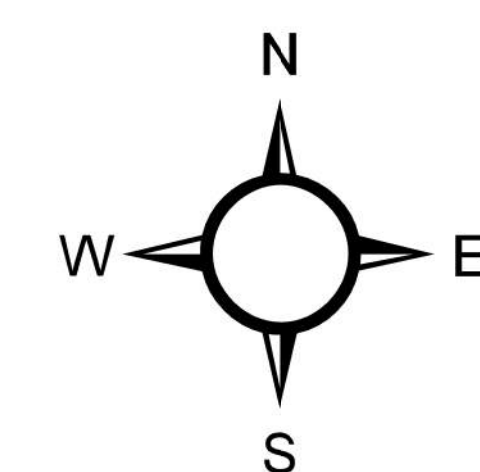
Date	Ordinance #
12/17/2020	20-12-17-40
5/5/2022	22-05-05-13
3/2/2023	23-03-02-04
3/2/2023	23-03-02-06
1/18/2024	24-01-18-03

**Note: This Plan is to be administered in coordination with the Active Transportation Plan & Master Thoroughfare Plan**

**\*A Comprehensive Plan shall not constitute zoning regulations or establish zoning boundaries**



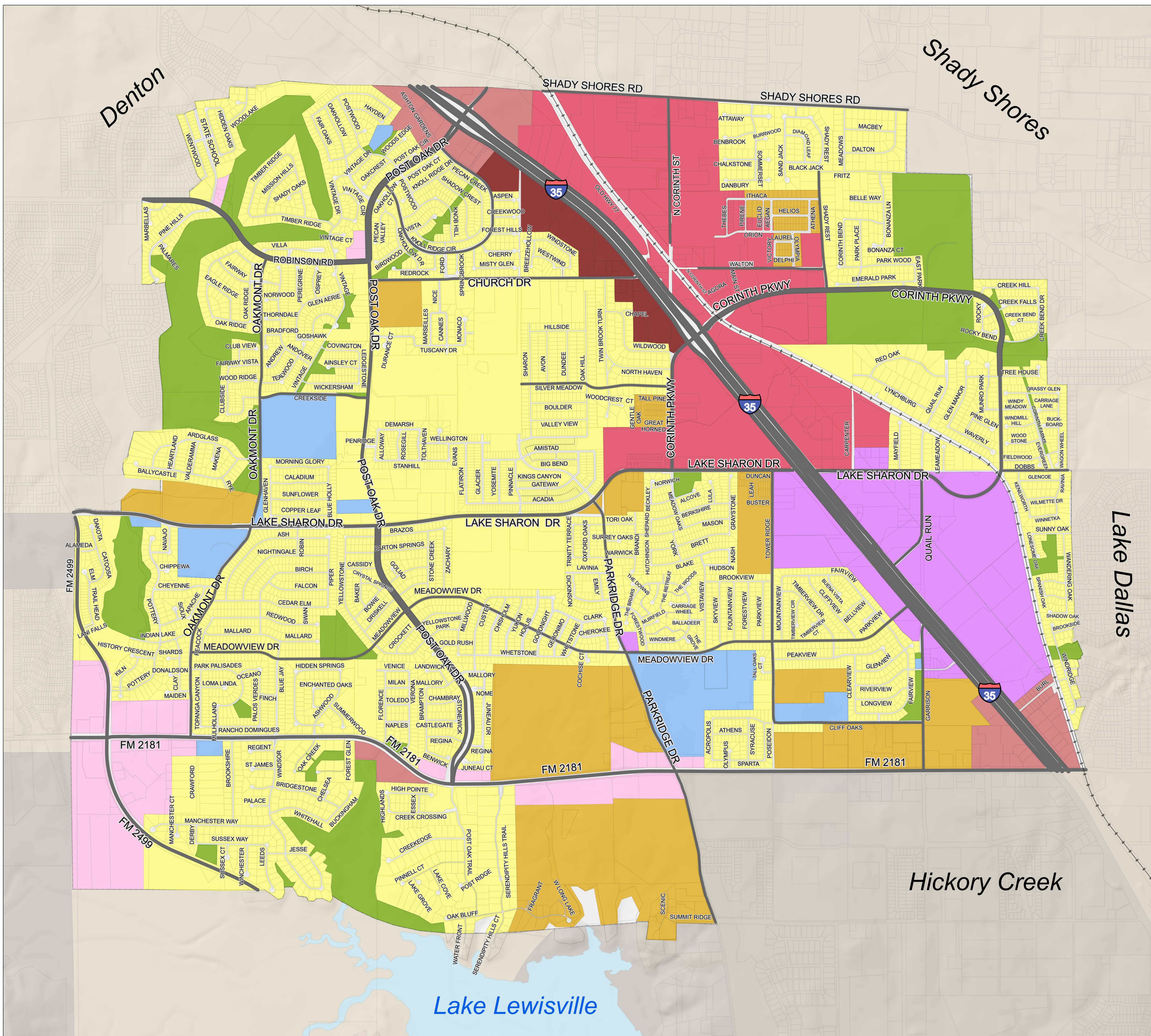
**CORINTH**  
TEXAS



1/18/2024

Print Date: 1/29/2024

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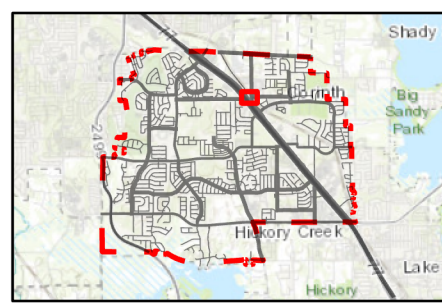
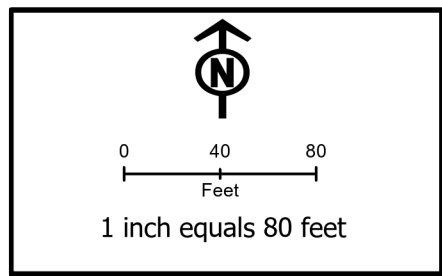


## Proposed Zoning Change

Property Being Rezoned to  
 MX-C (ZMA24-0005)

- Area to be Rezoned
- Properties within 200 ft of area proposed to be rezoned to MX-C Mixed Use Commercial

7/2/2024



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# CITY OF CORINTH Staff Report

<b>Meeting Date:</b>	7/22/2024	<b>Title:</b>	Enclave at Canyon Ranch Planned Development (PD) Rezoning Request (Case No. ZAPD24-0003)
<b>Strategic Goals:</b>	<input type="checkbox"/> Resident Engagement <input type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development		

**Item/Caption**

- Conduct a Public Hearing to consider testimony and make a recommendation to City Council on a rezoning request by the Applicant, Tri Pointe Homes DFW LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family to a Planned Development (PD) with a base zoning district of SF-4 Single Family for the development of ±234 lots on approximately ±48.4 located at 3790 Parkridge Drive. (Case No. ZAPD24-0003 Enclave at Canyon Ranch)



**Location Map - Case No. ZAPD24-0003**

**Item Summary/ Background**

The Applicant is requesting approval of a Planned Development (PD) rezoning for the development of ±48.4 acres for the construction of ±234 single family detached dwellings on individually platted lots. The proposed Enclave at Canyon Ranch Planned Development is located on the west side of Parkridge Drive, just south of Teasley Drive (FM 2181). The property consists of approximately 48.34 acres and is currently zoned SF-2. There is an existing house structure located on the western side of the property, as well as two single story frame structures on the western side of the property. The property is bordered by single-family homes, a planned development, commercial property, and two (2) single-family communities. The southern property boundary is bordered by single family homes, zoned SF-2, and undeveloped land, zoned PD-36. Canyon Lake Ranch, zoned PD-36, borders the site along the western property boundary. An undeveloped tract, zoned C-2, borders the site along the northern boundary. Lennon Creek is a

community currently being developed and Steeplechase is an existing community, both zoned SF-3 in Hickory Creek, that are across Parkridge Drive to the east of the property.

The Enclave at Canyon Ranch Planned Development will be a single-family residential development that will provide a vibrant, long-lasting, community that blends seamlessly into the surrounding neighborhoods. The Future Land Use designation for this property is Mixed-Residential. The purpose and intent of Mixed- Residential is to build new residential developments that capitalize on existing natural amenities of the land/property through a network of trails with access to creeks, parks, schools, and other civic destination while preserving a majority of creek, floodplain, and open spaces for public access. Enclave at Canyon Ranch will accommodate a trail connection through the community to the trail system between Lennon Creek and Steeplechase, in accordance with the City’s Transportation Plan.

The proposed based zoning district for Enclave at Canyon Ranch would consist of SF-4, Single Family Residential (Detached). In order to promote desirable housing options and a diversity of housing products for future/existing Corinth residents, the Enclave at Canyon Ranch Planned Development will provide a mix of lot sizes with the following minimums: “40’s” (40-foot-wide detached home lots) – minimum lot size of 3,800 square feet, and “45’s” (45-foot-wide detached home lots) – minimum lot size of 4,725 square feet. The development will provide 152 40-foot lots and 82 45-foot lots.

The Enclave at Canyon Ranch Planned development will provide the City of Corinth’s market with new residential, detached, single-family homes with a maximum gross density of 5 dwelling units per acre as presented in Exhibit “E” – PD Concept Plan. This development will provide an opportunity to address the needs and home preferences for new residents searching for high-quality homes in Corinth.

The Envision Corinth 2040 Comprehensive Plan Master Thoroughfare Plan Mobility and Strategy identifies a new Collector Street and a 6’-10’ sidewalk/trail to be located through the subject site, as shown below. The plan further notes that traffic calming measures be considered in order to slow traffic.



In coordination with the City Staff and adjacent landowners the Enclave at Canyon Ranch concept shows a new collector street shifted to the northern boundary of the subject site rather than through the site. This will improve access to the site as well as increase the capacity to preserve existing natural amenities. This alignment will also

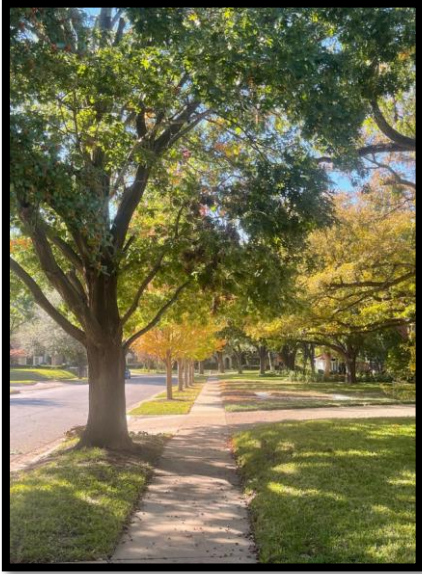


provide beneficial access and additional frontage to the commercial property adjacent on the north boundary of the Enclave at Canyon Ranch development.



The development proposes Patio lots (45' wide) designed with front entry garages while the Cottage Home Lots (40' wide) are alley served. The Cottage Home Lots are designed following the principles of new urbanism with shorter front yard setbacks, front porches, on-street parking, and alley served garages. A central green space is planned as well as green space along the western and southern edges of the development. Amenities planned in the green space include a trail winding through existing trees, a fishing dock, gazebo and benches.

The landscape design includes shade trees within the public right-of-way (within the landscape strip between curb and sidewalk) to create a "tree-lined parkway." The location of Street Trees was requested by Staff as a design enhancement to create a more walkable and inviting streetscape. Other enhancements to the street design include the addition of bulb-out areas to promote traffic calming and enhance the overall aesthetic of the streetscape. The images below are examples of established tree-lined streets.



**Example: Tree-line Streets – Create “Linear Park-like” Streetscape**

Access to the development would be four streets along the eastern edge of the development at Parkridge Drive.

**Unique Design Standards**

As stated in the UDC, Subsection 2.06.03, the purpose of a PD District is to “... encourage quality and better development in the city by allowing flexibility in planning and development projects... and permit new or innovative concepts in land utilization and or diversification that could not be achieved through the traditional [base] zoning districts.”

The following table provides a summary of key design standards unique to the Enclave at Canyon Ranch PD that either deviate from the current UDC regulations or are offered as additional provisions to create an innovative and unique project. These additional provisions are in keeping with the Envision 2040 Comprehensive Plan Land Use and Development Strategies for the Neighborhood Land Use and promote “Traditional Neighborhood Design and New Urbanism Concepts”.

	SF-4 Base:	Dimensional Standards/Modification:	
		40’ Lots	45’ Lots
<b>Front Yard Setback</b>	25’	7.5’	10-20’(1)
<b>Side Yard Setback:</b>			
<b>Interior Lot</b>	5’	5’	5’
<b>Corner Lot</b>	15’	10’	10’
<b>Rear Yard Setback</b>	20’	5’	10’
<b>Garage Setback</b>	25’	5’ (rear entry) With Concrete Apron	20’
<b>Minimum Lot Area</b>	7,500 SF	3,800 SF	4,725 SF
<b>Maximum Density</b>	N/A	N/A	N/A



<b>Minimum Lot Width:</b>	70' at building line	40'	45'
<b>Minimum Lot Depth</b>	100'	95'	105' (115' typical)
<b>Minimum Floor Area</b>	1,500 sq. ft.	1,400 sq. ft.	1,500 sq. ft.
<b>Maximum Height (feet/stories)</b>	35' / 2.5	36' / 2.5	36' / 2.5
<b>Maximum Building Area (all buildings)</b>	30%	75%	70%

Note that the proposed standards are further described in the attached Enclave at Canyon Ranch PD Design Statement and include justification statements for the requests.

**Compliance with the Comprehensive Plan**

The rezoning request for the subject property is in accordance with the Land Use and Development Strategy designation, Mixed-Residential, as set forth in the Envision Corinth 2040 Comprehensive Plan. The purpose and intent of Mixed-Residential is to build new residential developments that capitalize on existing natural amenities of the land/property through a network of trails with access to creeks, parks, schools, and other civic destination while preserving a majority of creek, floodplain, and open spaces for public access. Enclave at Canyon Ranch will accommodate a trail connection through the community winding through existing, mature trees and connecting to the trail system to the east in Hickory Creek and to the future trail system envisioned in the development of the Long Lake property to the west, in accordance with the City’s Transportation Plan.



Specifically, the proposed Concept Plan design meets the overall intent of the principles outlined in the **Mixed Residential Land Use and Development Strategy\*** (see below).



## LAND USE AND DEVELOPMENT STRATEGY



### MIXED RESIDENTIAL

#### Purpose and intent

- » New residential development that capitalizes on existing natural amenities of the land/property
- » Network of trails with access to the creeks, parks, schools, shopping, and civic destinations
- » Preserve majority of creek/floodplain or open space frontage for public access

#### Land use types and density

- » Range of single family from large lot, to patio homes, to townhomes and multi-family transitions to neighborhood commercial
- » Recreation related uses with access to parks and open space
- » Overall residential density of 6 to 10 units per acre

#### Design priorities

- » Connected streets (grid-like blocks under 600-ft average block face; max. block face to be 1,000 ft.)
- » Streets should maintain view corridors that focus on open space (which allows for both visual and physical access)

- » Network of connected parks and trails
- » Architectural design recommendations to ensure quality neighborhoods
- » Transparent fencing alongside parks and open space
- » Access to creeks, open space, and parks
- » Single loaded roads in strategic locations to maximize public access and frontage to creeks and open space

#### Sustainability priorities

- » Regional or neighborhood scale detention/drainage facilities that serve as amenities with trails, street and development frontages
- » Incorporate trails and sidewalks to maximize walking and biking to parks, schools, and neighborhood retail
- » Design of new streets and infrastructure to incorporate appropriate LID elements
- » Allow roof-top solar panels

46

**\*Excerpt from 2040 Comprehensive Plan, page 46.**

### Public Notice

Notice of the public hearing was provided in accordance with the City Ordinance and State Law by,

- Publication in the Denton Record-Chronicle
- Written public notices were mailed to the owners of all properties located within 200 feet of the subject property and to the Lake Dallas ISD.
- The Applicant posted several “Notice of Zoning Change” signs around the perimeter of the site.
- The Public Hearing notice was posted on the City’s Website.

### Letters of Support/Protest

As of the date of this report, the City has received one letter of support and no letters of opposition. Letters received after this date will be presented to the Planning and Zoning Commission at the time of Public Hearing. See Attachment 2 – 200’ Buffer Exhibit and Correspondence from Property Owners within 200 feet of the Subject Property

### Staff Recommendation

Staff recommends approval with the following conditions:

- Update Exhibit F to show staff comment adding 15’ utility easement and adding note that signage image is for reference only.
- Add zip code and date for consent agreement for shared infrastructure.

**Motion**

“I move to recommend approval of Case No. ZAPD24-0003 – 3790 Parkridge Drive as presented with staff recommended conditions.

**Alternative Actions by the Planning and Zoning Commission**

The Planning and Zoning Commission may also,

- Recommend approval with additional stipulations
- Continue the Public Hearing and table action on the request to a definitive or non-defined date
- Recommend denial of the request

**Supporting Documentation**

**Attachment 1 – Enclave at Canyon Ranch PD Ordinance and Associated Exhibits**

- A. Exhibit A – Culbertson Property Survey
- B. Exhibit B – Existing Site Conditions & Tree Coverage
- C. Exhibit C & D – Planned Development Design Statement
- D. Exhibit E – PD Concept Plan
- E. Exhibit F – PD Conceptual Landscape Plan
- F. Exhibit G – Representative Product Types
- G. Exhibit H– Shared Infrastructure Exhibit
- H. Exhibit I – Tree Preservation
- I. Exhibit J – Typical Street Sections
- J. Exhibit K – Consent Letter, Shared Infrastructure Agreement

**Attachment 2 – 200-foot Zoning Buffer Exhibit and Correspondence from Property Owners within 200 feet of the subject property**

# ATTACHMENT 1:

## Draft Enclave at Canyon Ranch PD Documents

A. PROJECT NAME/TITLE: Enclave at Canyon Ranch

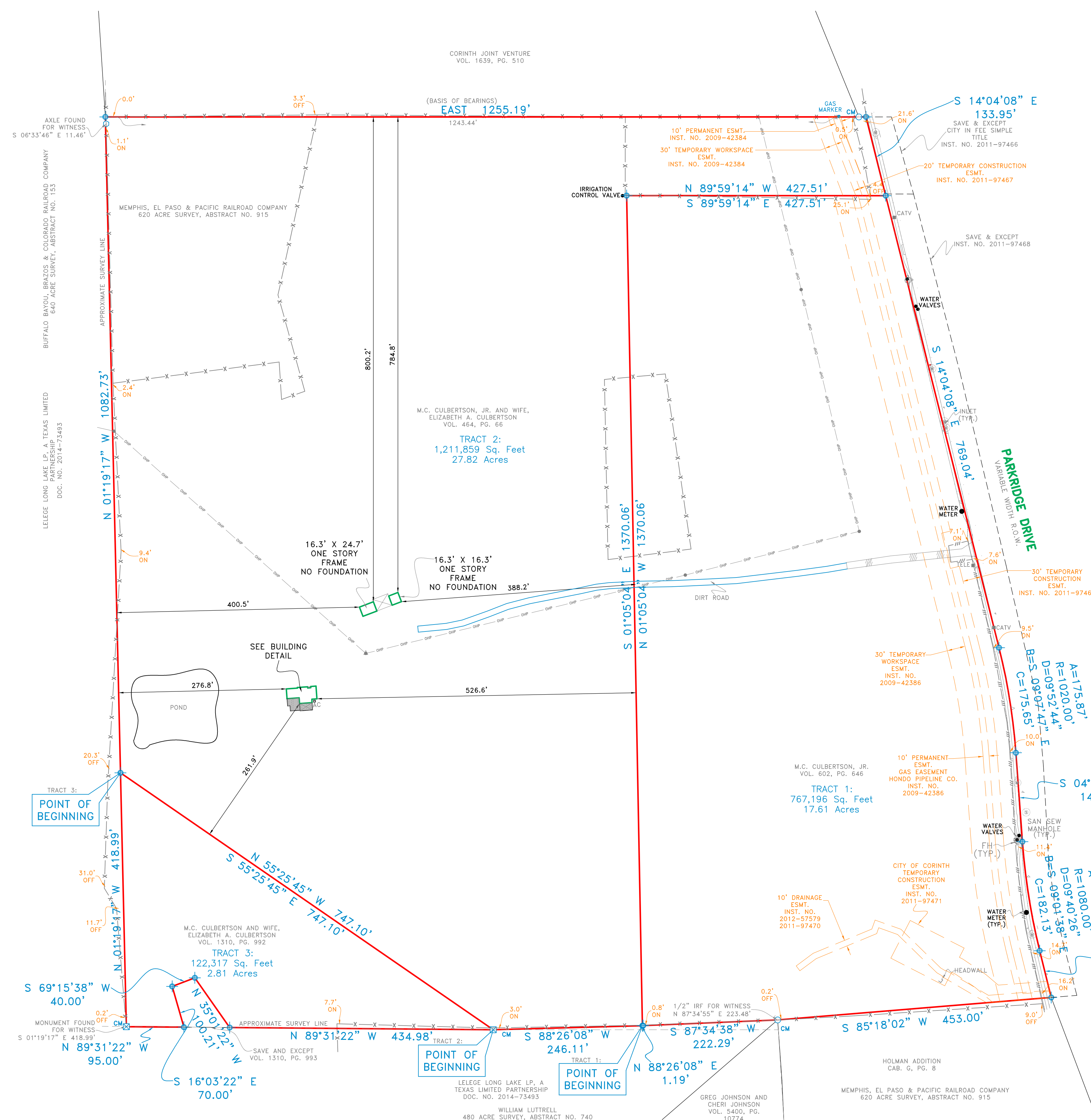
B. LIST OF OWNERS/DEVELOPERS:

- **Owner** - The current property owners of the proposed Culbertson Planned Development site: M.C. Culbertson, III Trustee of the Marvin C. Culbertson, Jr. Living Trust Dated June 26, 2019
- **Developer** – Tri Pointe Homes

Tri Pointe Homes, Inc. is a publicly traded company with headquarters located in California and operations in 10 states, including Arizona, California, Colorado, Maryland, Nevada, North Carolina, South Carolina, Texas, Virginia, Washington, and the District of Columbia. Serving 21 markets, Tri Pointe Homes closed over 5,000 homes in 2023. The Dallas-Fort Worth division has 12 current communities over the DFW metroplex with an average sales price of \$485,000. Tri Pointe Homes, DFW has entitled, developed, and built a wide range of products including duplex, 35' to 50' front entry and rear entry product. Tri Pointe Homes, DFW has earned a strong reputation for building within master planned communities and infill parcels.







**3790 Parkridge Drive**  
TRACT 1:

Being a tract of land situated in the M.E.P. & P.R.R. Survey, Abstract Number 915 in Denton County, Texas, same being a portion of that tract of land conveyed to M.C. Culbertson, Jr., by deed recorded in Volume 602, Page 646, Deed Records, Denton County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a point for corner, said corner being in the North line of that tract of land conveyed to Lelege Long Lake LP, a Texas Limited Partnership, by deed recorded in Document Number 2014-73493, Official Public Records, Denton County, Texas and being a Southeast corner of that tract of land conveyed to M.C. Culbertson, Jr. and wife, Elizabeth A. Culbertson, by deed recorded in Volume 464, Page 66, Deed Records, Denton County, Texas, from which a 1/2 inch iron rod found bears North 87 degrees 34 minutes 55 seconds East, a distance of 223.48 feet for witness;

THENCE North 01 degrees 05 minutes 04 seconds West, along the East line of said Culbertson tract (464/66), a distance of 1370.06 feet to a point for corner, said corner being in an "ell" corner of said Culbertson tract (464/66);

THENCE South 89 degrees 59 minutes 14 seconds East, along a South line of said Culbertson tract (464/66), a distance of 427.51 feet to a point for corner, said corner being in the West line of Parkridge Drive (variable width right-of-way);

THENCE the following five bearings and distances along the West line of said Parkridge Drive as follows:

South 14 degrees 04 minutes 08 seconds East, a distance of 769.04 feet to a point for corner, said corner being in a curve to the right, having a radius of 1020.00 feet, a delta of 09 degrees 52 minutes 44 seconds, a chord bearing and distance of South 09 degrees 07 minutes 47 seconds East, 175.65 feet;

THENCE an arc length of 175.87 feet to a point for corner;

South 04 degrees 11 minutes 25 seconds East, a distance of 147.19 feet to a point for corner, said corner being in a curve to the left, having a radius of 1080.00, a delta of 09 degrees 40 minutes 26 seconds, a chord bearing and distance of South 09 degrees 01 minutes 38 seconds East, 182.13 feet;

THENCE an arc length of 182.35 feet to a point for corner;

THENCE South 13 degrees 51 minutes 51 seconds East, along the West line of said Parkridge Drive, a distance of 79.42 feet to a point for corner, said corner being the Northeast corner of Holman Addition, an Addition in Denton County, Texas, according to the Plat thereof recorded in Cabinet G, Page 8, Plat Records, Denton County, Texas;

THENCE South 85 degrees 18 minutes 02 seconds West, along the North line of said Holman Addition, a distance of 453.00 feet to a point for corner, said corner being the Northwest corner of said Holman Addition and being a North corner of that tract of land conveyed to Greg Johnson and Cheri Johnson, by deed recorded in Volume 5400, Page 10774, Deed Records, Denton County, Texas and being a Northeast corner of aforesaid Lelege Long Lake tract;

THENCE South 87 degrees 34 minutes 38 seconds West, along the North line of said Lelege Long Lake tract, a distance of 222.29 feet to a point for corner;

THENCE North 88 degrees 26 minutes 08 seconds East, along the North line of said Lelege Long Lake tract, a distance of 1.19 feet to the POINT OF BEGINNING and containing 767,196 square feet or 17.61 acres of land.

TRACT 2:

Being a tract of land situated in the M.E.P. & P.R.R. Survey, Abstract Number 915 in Denton County, Texas, same being a portion of that tract of land conveyed to M.C. Culbertson, Jr. and wife, Elizabeth A. Culbertson, by deed recorded in Volume 464, Page 66, Deed Records, Denton County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a U.S. Army Corp. of Engineers monument found for corner, said corner being in the North line of that tract of land conveyed to Lelege Long Lake LP, a Texas Limited Partnership, by deed recorded in Document Number 2014-73493, Official Public Records, Denton County, Texas and being the Southeast corner of that tract of land conveyed to M.C. Culbertson and wife, Elizabeth A. Culbertson, by deed recorded in Volume 1310, Page 992, Deed Records, Denton County, Texas;

THENCE North 55 degrees 25 minutes 45 seconds West, along the Northeast line of said Culbertson tract (1310/992), a distance of 747.10 feet to a point for corner, said corner being in the East line of that tract of land conveyed to Lelege Long Lake LP, a Texas Limited Partnership, by deed recorded in Document Number 2014-73493, Official Public Records, Denton County, Texas;

THENCE North 01 degrees 19 minutes 17 seconds West, along the East line of said Lelege Long Lake tract (2014-73493), a distance of 1082.73 feet to a point for corner, said corner being the Southwest corner of that tract of land conveyed to Corinth Joint Venture, by deed recorded in Volume 1639, Page 510, Deed Records, Denton County, Texas, from which an axle found bears South 06 degrees 33 minutes 46 seconds East, a distance of 11.46 feet for witness;

THENCE East, along the South line of said Corinth Joint Venture tract, passing at a distance of 1,243.44 feet to a 1/2 inch iron rod found on line for reference, continue at a total distance of 1255.19 feet to a point for corner, said corner being the Southeast corner of said Corinth Joint Venture tract and being in the West line of Parkridge Drive (variable width right-of-way);

THENCE South 14 degrees 08 minutes 08 seconds East, along the West line of said Parkridge Drive, a distance of 133.95 feet to a point for corner, said corner being the Northeast corner of that tract of land conveyed to M.C. Culbertson, Jr., by deed recorded in Volume 602, Page 646, Deed Records, Denton County, Texas;

THENCE North 89 degrees 59 minutes 14 seconds West, along the North line of said Culbertson tract (602/646), a distance of 427.51 feet to a point for corner, said corner being the Northwest corner of said Culbertson tract (Tract 1);

THENCE South 01 degrees 05 minutes 04 seconds East, along the West line of said Culbertson tract (602/646), a distance of 1370.06 feet to a point for corner, said corner being in the North line of said Lelege Long Lake tract;

THENCE South 88 degrees 26 minutes 08 seconds West, along a North line of said Lelege Long Lake tract, a distance of 246.11 feet to the POINT OF BEGINNING and containing 1,211,859 square feet or 27.82 acres of land.

TRACT 3:

Being a tract of land situated in the M.E.P. & P.R.R. Survey, Abstract Number 915 in Denton County, Texas, same being that tract of land conveyed to M.C. Culbertson, Jr. and wife, Elizabeth A. Culbertson, by deed recorded in Volume 1310, Page 992, Deed Records, Denton County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a point for corner, said corner being in the East line of that tract of land conveyed to Lelege Long Lake LP, a Texas Limited Partnership, by deed recorded in Document Number 2014-73493, Official Public Records, Denton County, Texas and being the Western most Southwest corner of that tract of land conveyed to M.C. Culbertson, Jr. and wife, Elizabeth A. Culbertson, by deed recorded in Volume 464, Page 66, Deed Records, Denton County, Texas, from which a monument found bears South 01 degrees 19 minutes 17 seconds East, a distance of 418.99 feet for witness;

THENCE South 55 degrees 25 minutes 45 seconds East, along the Southwest line of said Culbertson tract (464/66), a distance of 747.10 feet to a U.S. Army Corp. of Engineers monument found for corner, said corner being in a North line of said Lelege Long Lake tract;

THENCE North 89 degrees 31 minutes 22 seconds West, along a North line of said Lelege Long Lake tract, a distance of 434.98 feet to a point for corner;

THENCE North 35 degrees 01 minutes 22 seconds West, a distance of 100.21 feet to a point for corner;

THENCE South 69 degrees 15 minutes 38 seconds West, a distance of 40.00 feet to a point for corner;

THENCE South 16 degrees 03 minutes 22 seconds East, a distance of 70.00 feet to a point for corner, said corner being in a North line of said Lelege Long Lake tract;

THENCE North 89 degrees 31 minutes 22 seconds West, along a North line of said Lelege Long Lake tract, a distance of 95.00 feet of a monument found for corner, said corner being the Southeast corner of said Lelege Long Lake tract;

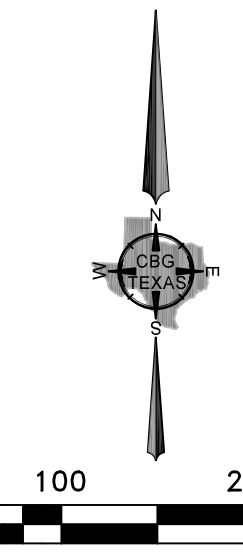
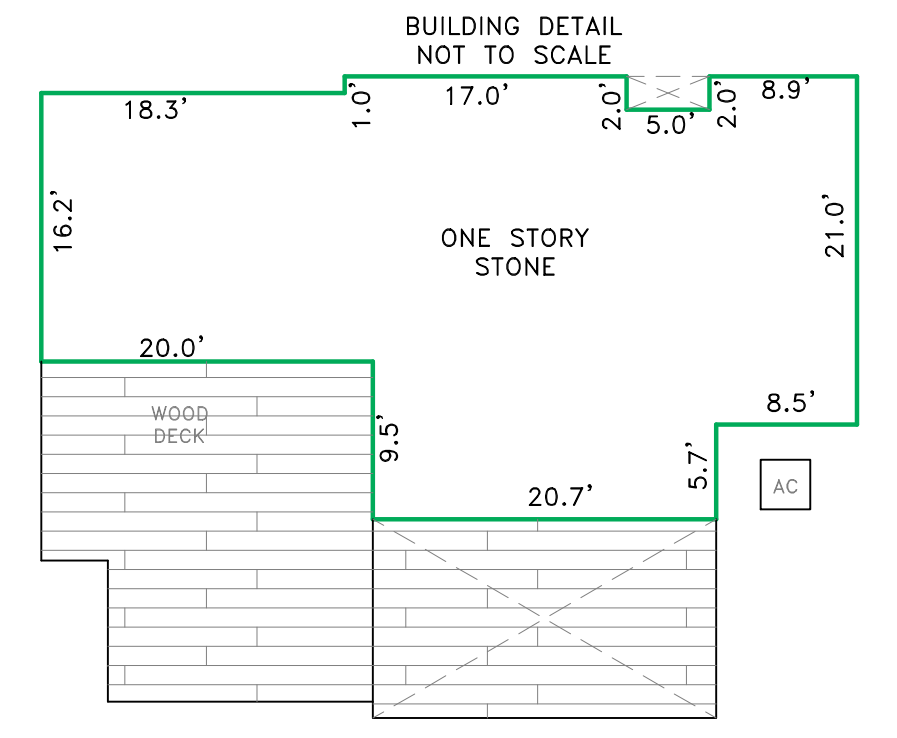
THENCE North 01 degrees 19 minutes 17 seconds West, along an East line of said Lelege Long Lake tract, a distance of 418.99 feet to the POINT OF BEGINNING and containing 122,317 square feet or 2.81 acres of land.

**SURVEYOR'S CERTIFICATE**

The undersigned Registered Professional Land Surveyor (Bryan Connally) hereby certifies to D2 Development, LLC, and Kensington Vanguard National Lane Services, in connection with the transaction described in G.F. No. 843451(F-TXOCO-GL) that, (a) this survey and the property description set forth hereon were prepared from an actual on-the-ground survey; (b) such survey was conducted by the Surveyor, or under his direction; (c) all monuments shown hereon actually existed on the date of the survey, and the location, size and type of material thereof are correctly shown; Use of this survey by any other parties and/or for other purposes shall be at User's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, all improvements are located within the boundaries the distances indicated and there are no visible and apparent encroachments or protrusions on the ground.

Executed this 19th day of April, 2019

*Bryan Connally*  
Bryan Connally  
Registered Professional Land Surveyor No. 5513



NOTES:  
BEARINGS ARE BASED ON DEED RECORDED IN VOL. 464, PG. 66

NOTE: According to the F.I.R.M. in Map No. 48121C0395G, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

DATE	BY	NOTES

LEGEND	
○	CONTROLLING MONUMENT
○	1/2" IRON ROD FOUND
○	1/2" IRON ROD SET
○	AXEL FOUND
○	5/8" ROD FOUND
□	FENCE POST CORNER
□	U.S. ARMY MONUMENT FOUND
▲	UNDERGROUND ELECTRIC
▲	OVERHEAD ELECTRIC
▲	POWER POLE
●	POINT FOR CORNER
▲	GRAVEL/ROCK ROAD OR DRIVE
—	ASPHALT PAVING
—	CHAIN LINK FENCE
—	WOOD FENCE
—	0.5" WIDE TYPICAL BARBED WIRE
—	IRON FENCE
—	PIPE FENCE
—	COVERED PORCH/DECK OR CARPORT
—	OVERHEAD ELECTRIC SERVICE
—	OVERHEAD POWER LINE
—	CONCRETE PAVING
—	DOUBLE SIDED WOOD FENCE



SCALE	DATE	JOB NO.	G.F. NO.	DRAWN
1" = 100'	4/19/19	1906536	SEE CERT.	BG

**EXHIBIT A - LEGAL DESCRIPTION**



NOTE: PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENTS RECORDED IN VOL. 158, PG. 269; VOL. 214, PG. 120; VOL. 328, PG. 409; VOL. 1310, PG. 992.

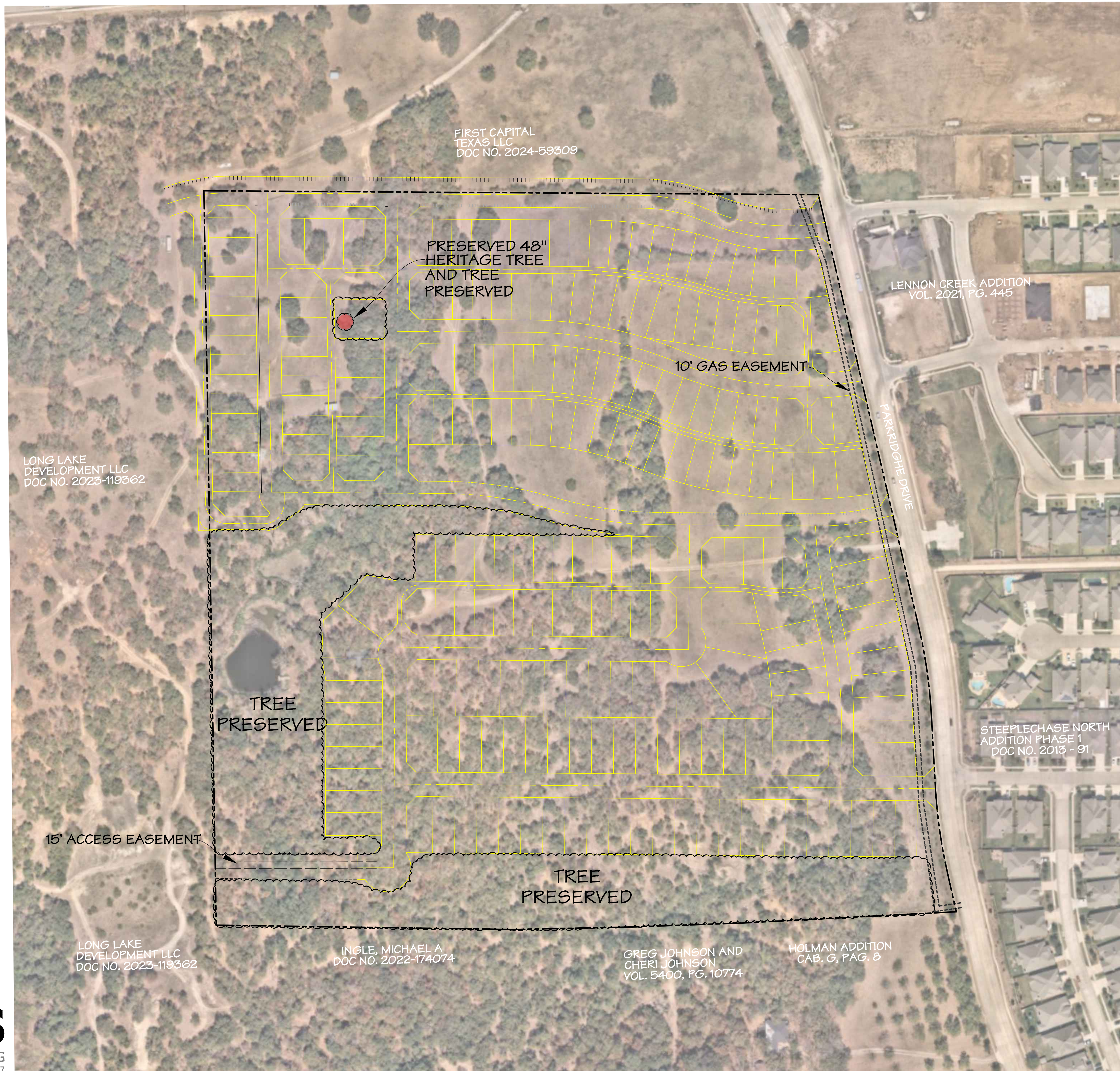
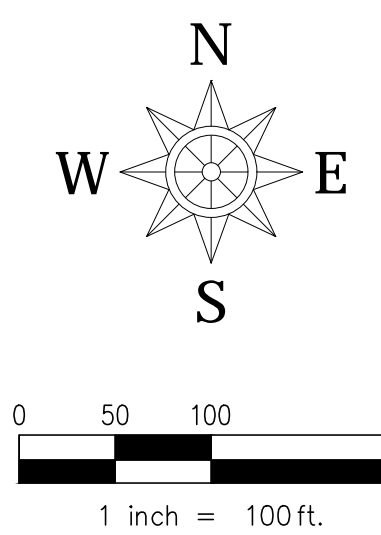
**TRACTS 1, 2 & 3**

M.E.P. & P.R.R. CO. SURVEY ABST. NO. 915

DENTON COUNTY, TEXAS

3790 PARKRIDGE DRIVE





**EXHIBIT B**  
Existing Site Conditions and  
Existing Tree Cover to be Preserved

**ENCLAVE AT CANYON RANCH**  
CITY OF CORINTH, DENTON COUNTY, TEXAS

TOTAL RESIDENTIAL LOTS 235  
TOTAL OPEN SPACE 9  
TOTAL GROSS ACRES 48.341

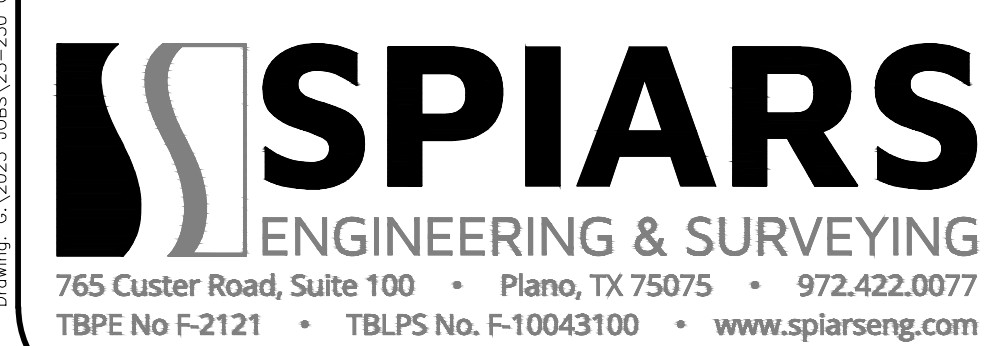
OUT OF THE  
M.E.P. & P.R.R SURVEY, ABSTRACT NO. 915

OWNER / APPLICANT  
CULBERTSON, M C III TR  
MARVIN C CULBERTSON JR LIVING TRUST  
1001 Summer St,  
Chattanooga, TN 37405

DEVELOPMENT MANAGER  
Tripointe Homes  
6201 W Plano Pkwy Suite 160,  
Plano, TX 75093  
(844) 760-5626

ENGINEER / SURVEYOR  
Spiars Engineering, Inc.  
765 Custer Road, Suite 100  
Plano, TX 75075  
(972) 422-0077

Drawing: C:\2023\085\23-230\_Corinth\_Trest\DWG\ExhibitB\2024\_02\_20 - Corinth - Exhibit A.dwg Saved By: Gaudin Show Time: 7/15/2024 2:47:29 PM  
Plotted by: gaudin Plot Date: 7/15/2024 2:48 PM



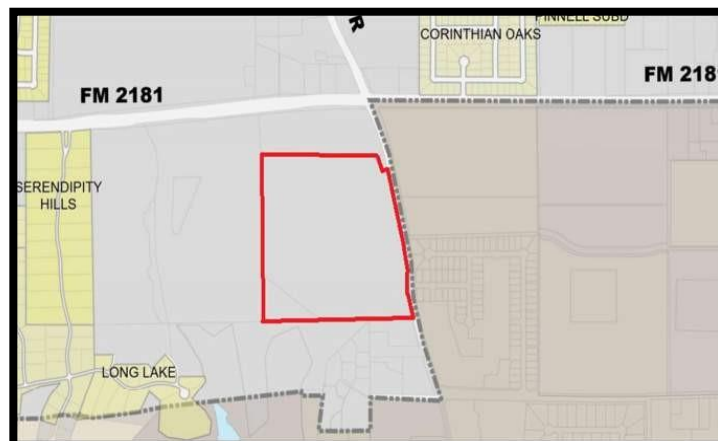


**EXHIBIT “C”**  
**PD DESIGN STATEMENT**



**A. PROJECT ACREAGE AND LOCATION**

The proposed Enclave at Canyon Ranch Planned Development is located on the west side of Parkridge Drive, just south of Teasley Drive (FM 2181). The property consists of approximately 48.34 acres. The property is currently zoned SF-2. There is an existing house structure located on the western side of the property, as well as two single story frame structures on the western side of the property. The property is bordered by single-family homes, a planned development, commercial property, and two (2) single-family communities. The southern property boundary is bordered by single family homes, zoned SF-2, and undeveloped land, zoned PD-36. Canyon Lake Ranch, zoned PD-36, borders the site along the western property boundary. An undeveloped tract, zoned C-2, borders the site along the northern boundary. Lennon Creek is a community currently being developed and Steeplechase is an existing community, both zoned SF-3 in Hickory Creek, that are across Parkridge Drive to the east of the property.





## B. EXISTING SITE CONDITIONS (see Exhibit “B” for Existing Conditions)

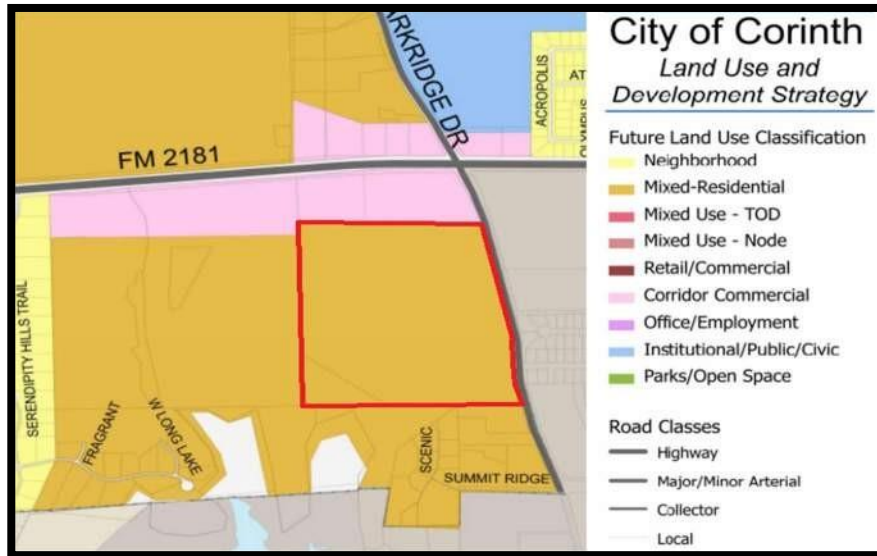
The property is currently used for residential and agricultural purposes. Below is a brief description of the existing physical characteristics of the property.

1. Elevations & Slope Analysis The highest point of the property is generally located in the northern portion of the property and has an approximate elevation of 610. The site then generally slopes downward toward the southern portion of the property, which has an approximate elevation of 540.
2. Soil Characteristics The soil characteristics of the property are typical of those found in North Texas, specifically those found in the City of Corinth. USDA soil survey identifies three types of soil on our site. Most of the property is comprised of Birome-Rayex-Aubrey complex while the remainder of the site is Gasil fine sandy loam and Konsil fine sandy loam.
3. Tree Cover - Portions of the property are “heavily treed”.
4. Floodplain/Drainage/Wetlands/Pond – A small portion of the southwest corner of the property is located within a floodplain. There are multiple drainage basins on the property and as such natural drainage ways will be utilized as shown in Exhibit “C”. No detention or retention is required on-site per the preliminary flood study analysis. This will be further analyzed during final design of Civil Plans There are two existing ponds on the property that will be in the preserved areas. There is also one Heritage Tree located in the northeastern corner of the property that will be preserved.
5. Other - There is an existing gas easement along Parkridge Drive that will be preserved as open space. If this gas line is inactive and can be abandoned, then the line will be removed during construction and the easement will be abandoned with the Final Plat.

In accordance with the Envision 2040 Comprehensive Plan, adopted in 2020, the site is identified as Mixed Use Residential per the Land Use and Development Strategy with the purpose and intent of supporting new residential communities that capitalize on the existing natural amenities of the land and that preserve the majority of the creek/floodplain/open space for public access. The dwelling units envisioned range from larger lot single family to townhomes and multifamily transitions to neighborhood commercial with density of 6-10 units per acre. Streets are connected grid-like blocks and are designed to provide visual and physical access to open space corridors. Additionally, sustainable priorities include drainage facilities that serve as amenities with



trails/street and development frontages.



Additionally, the Envision Corinth 2040 Comprehensive Plan Master Thoroughfare Plan Mobility and Strategy identifies a new Collector Street and a 6'-10' sidewalk/trail to be located through the subject site. The plan further notes that traffic calming measures be considered in order to slow traffic.



In coordination with the City Staff and adjacent landowners the Enclave at Canyon Ranch Concept shows a new Collector Street shifted to the northern boundary of the subject site rather than through the site. This will improve access to the site as well as increase the capacity to preserve existing natural amenities. This alignment will also provide beneficial access and additional frontage to the Commercial Property north of the Enclave at Canyon Ranch tract.

### C. PROJECT OVERVIEW / DESCRIPTION

The Enclave at Canyon Ranch Planned Development will be a single-family residential development that will provide a vibrant, long-lasting, community that blends seamlessly into the surrounding neighborhoods.

The Future Land Use designation for this property is Mixed-Residential. The purpose and intent of Mixed- Residential is to build new residential developments that capitalize on existing natural amenities of the land/property through a network of trails with access to creeks, parks, schools, and other civic destination while preserving a majority of creek, floodplain, and open spaces for public access.

Enclave at Canyon Ranch will accommodate a trail connection through the community to the trail system between Lennon Creek and Steeplechase, in accordance with the City's Transportation Plan.

The proposed based zoning district for Enclave at Canyon Ranch shall consist of SF-4, Single Family Residential (Detached). In order to promote desirable housing options and a diversity of housing products for future/existing Corinth residents, the Enclave at Canyon Ranch Planned Development will provide a mix of lot sizes. Enclave at Canyon Ranch Planned Development lot mix will consist of two (2) different lot size categories with the following minimums: "40's" (40-foot-wide detached home lots) – minimum lot size of 3,800 square feet, and "45's" (45-foot-wide detached home lots) – minimum lot size of 4,725 square feet.

The Enclave at Canyon Ranch Planned Development will provide the City of Corinth's market with new residential, detached, single-family homes with a maximum gross density of 5 dwelling units per acre as presented in Exhibit "E" – PD Concept Plan. This development will provide a great opportunity for a variety of new residents searching for a high-quality home in Corinth.



**EXHIBIT “D”**  
**PLANNED DEVELOPMENT STANDARDS**

**SECTION 1: PURPOSE AND BASE DISTRICT**

**A. Purpose**

The regulations set forth herein provide development standards for single family residential uses within the Enclave at Canyon Ranch Planned Development District No. (“PD-XX”). The boundaries of PD-XX are identified by metes and bounds on the Legal Description, Exhibit “D” to this Ordinance, and the Property shall be developed in accordance with these regulations and the Planned Development “PD” Concept Plan as depicted on Exhibit “E” and associated Ancillary Concept Plans. A use that is not expressly authorized herein is expressly prohibited in this PD-XX. The regulations set forth herein.

**B. Base District**

In this PD-XX, the “SF-4” Single-Family Residential District (Detached) regulations of the Corinth Unified Development Code (UDC), Ordinance No. 13-05-02-08, as amended, shall apply to the Property except as modified herein. If a change to the PD Concept Plan, and/or associated Ancillary Concept Plans is requested, the request shall be processed in accordance with the UDC and development standards in effect at the time the change is requested for the proposed development per the Planned Development Amendment Process.

**SECTION 2 – USES AND AREA REGULATIONS**

**A. Purpose**

PD-XX, Enclave at Canyon Ranch Planned Development is intended to provide a quality residential development taking advantage of the location and concepts outlined in the Envision Corinth 2040 Comprehensive Plan by promoting variation in single-family dwelling types and lot sizes to create a “traditional neighborhood development” following new urbanist concepts while respecting the larger lot transitions of the existing surrounding neighborhoods. The development includes approximately 234 Single-Family Detached lots, as set forth in Exhibit “E” – PD Concept Plan, providing views and access to common open spaces including a large central green space designed to preserve vast groves of existing mature trees and offer open spaces for passive neighborhood gatherings, and trail network linking to several additional passive open space tree preserves in addition to a tree-lined perimeter trail.

The preserved tree area will have natural slopes ranging from 10-50%. The remarkable topography of the preserved area will facilitate the six-foot (6’) trail system that will meander through the trees with locations for benches, trash, and enhanced landscape. Underbrush will be cleaned up and shrubs, ornamental grasses and groundcovers will be used for the enhanced landscape areas. The existing fishing pond in the preserved area will be maintained and will provide a natural amenity for the community to enjoy.



**B. Permitted Uses and Use Regulations**

In the PD-XX District, no building, or lands shall be used, and no building shall be hereafter erected, reconstructed, enlarged, or converted unless otherwise provided for in the SF-4 Single Family Residential District (Detached) regulations of the UDC or otherwise permitted by this PD Ordinance. Permitted Uses in the SF-4, Single Family Residential (Detached) District, as listed in Subsection 2.07.03 of the UDC, shall be permitted in the PD-XX District. The residential building layout shall be in general conformance with the PD Concept Plan shown in Exhibit “E” attached hereto.

**C. Dimensional Regulations**

UDC Subsection 2.08.04 Residential Dimensional Regulations Chart for the SF-4 Single Family Residential (Detached) District shall apply, except as modified in Table A – Dimensional Requirements below:

Table A – Dimensional Requirements:

	SF-4 Base:	Dimensional Standards/Modification:	
		40’ Lots	45’ Lots
<b>Front Yard Setback</b>	25’	7.5’	10-20’(1)
<b>Side Yard Setback:</b>			
<b>Interior Lot</b>	5’	5’	5’
<b>Corner Lot</b>	15’	10’	10’
<b>Rear Yard Setback</b>	20’	5’	10’
<b>Garage Setback</b>	25’	5’ (rear entry) With Concrete Apron	20’
<b>Minimum Lot Area</b>	7,500 SF	3,800 SF	4,725 SF
<b>Maximum Density</b>	N/A	N/A	N/A
<b>Minimum Lot Width:</b>	70’ at building line	40’	45’
<b>Minimum Lot Depth</b>	100’	95’	105’ (115’ typical)
<b>Minimum Floor Area</b>	1,500 sq. ft.	1,400 sq. ft.	1,500 sq. ft.
<b>Maximum Height (feet/stories)</b>			
	35’/2.5	36’ / 2.5	36’ / 2.5
<b>Maximum Building Area (all buildings)</b>	30%	75%	70%

- (1) 20’ Maximum Front Yard Setback for Main Dwelling Facade
- (2) 20’ Garage Setback on Front Entry Units.

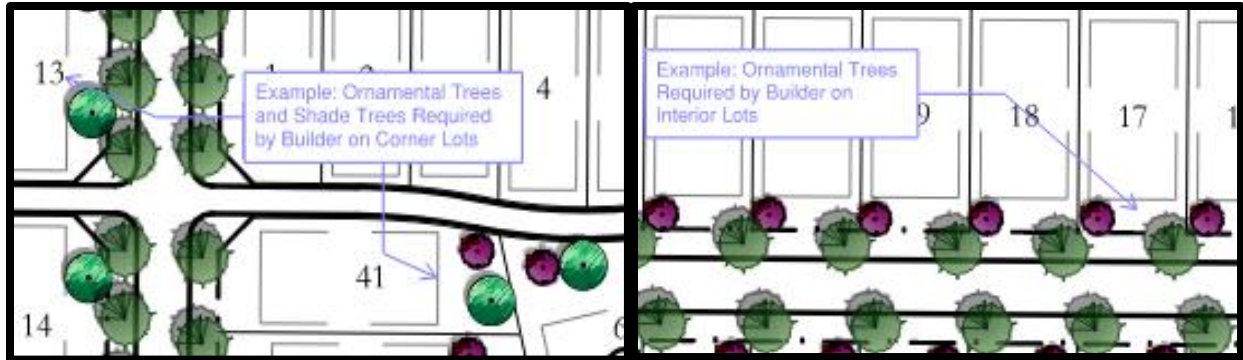
Justification: These departures from the base district in subsection 2.04 are necessary to provide for the proposed product and are commonly found throughout the Dallas-Fort Worth Metroplex. These departures will also allow the property to be developed in accordance with the overall density outlined in the Envision Corinth 2040 Comprehensive Plan. Additionally, these departures allow for the flexibility needed to incorporate the traffic calming measures described in this PD.

#### **D. Development Standards**

Except as otherwise set forth, the Development Standards of Subsection 2.04.04, SF-4, Single Family Residential (Detached) of Subsection 2.04, “Residential Zoning Districts” of the UDC, for the SF-4 Single Family District (Detached and all other requirements of the UDC shall apply to development within PD- XX, Enclave at Canyon Ranch.

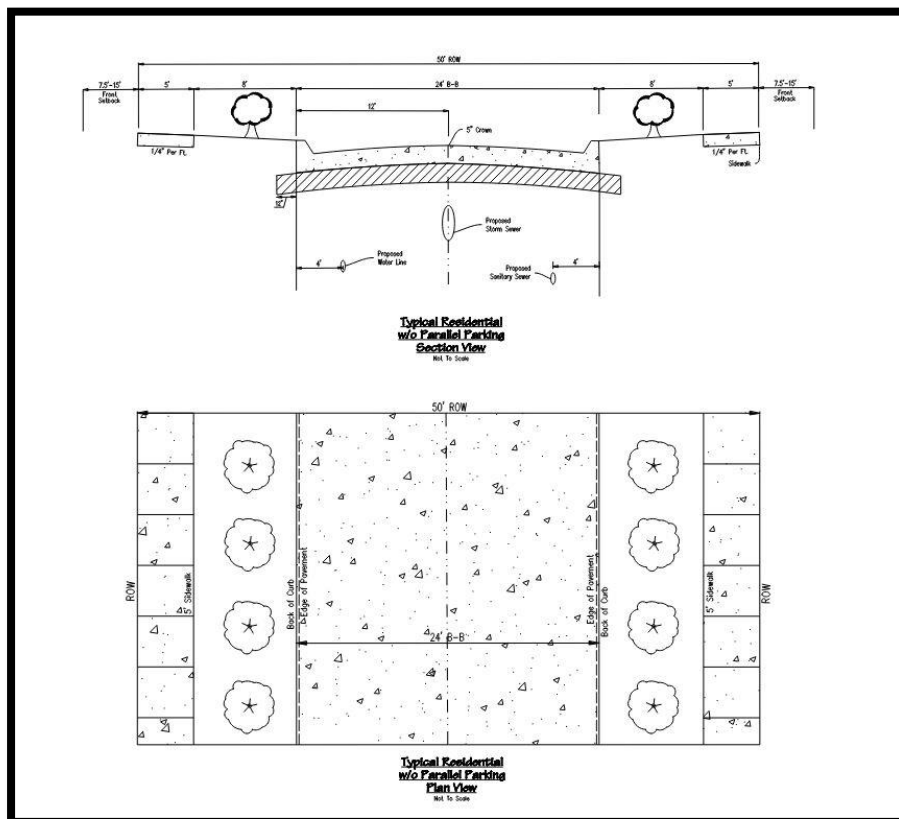
1. **UDC Subsection 2.07.07 Accessory Buildings and Uses** shall apply, as may be amended.
2. **UDC Subsection 2.09.01 Landscaping Regulations for Attached, and Detached Single Family Developments** shall apply, except as modified below:
  - a. Subsection 2.09.01.B.2.B.(a) and (b) **Required Landscaping and Location of Trees** shall be modified to require, at a minimum, the number, size, and location of Shade Trees for 40’ Home Lots and 50’ Home Lots as depicted in Exhibit “F” – Conceptual Landscape Plan (where Shade Trees are shown within lots, within the right-of-way, and within Common Open Space X-Lots). The exact location and type of species of said Shade Trees shall be further defined on the detailed Landscape Plan to be submitted with Civil Plans. The detailed Landscape Plan shall serve as a guide for the Builder and City Staff during construction by identifying the species to be planted along each street as well as standards for Shade Trees to be located within the public right-of-way (in the “Parkway,” where Parkway is defined as the eight-foot (8’) area between the sidewalk and curb), and as located within the respective Lots fronting onto common open space X-Lots (where Shade Trees as shown to be located along the sidewalk/trail). Additionally, the “Parkway” shall be defined to include the six-foot (6’) area located between the curb and the sidewalk on along Street A which is being shown on Exhibit “H-Layout A” as an off-site improvement to be dedicated by the adjacent property owner (see Section 3 for additional standards/requirements related to the off-site shared infrastructure improvements). Shade Trees shall be located 30’ on center within the aforementioned parkway.
    - i. The Builder shall be responsible for the installation of the Shade Trees associated with each 40’ and 45’ Lots as described above and depicted on Exhibit “F”—Conceptual Landscape Plan and as shall be further deigned on the Landscape Plans at time of the Civil Plans as noted above. This shall include Shade Trees to be located in the Parkway adjacent to each lot (front and side frontage) and trees shown within the lot or common open space lot, where applicable. The installation of the Shade Trees shall be satisfied prior to issuance of Certificate of Occupancy/Building Final. Reference example below illustrating required Shade Tree Plantings for a corner lot and an interior lot.



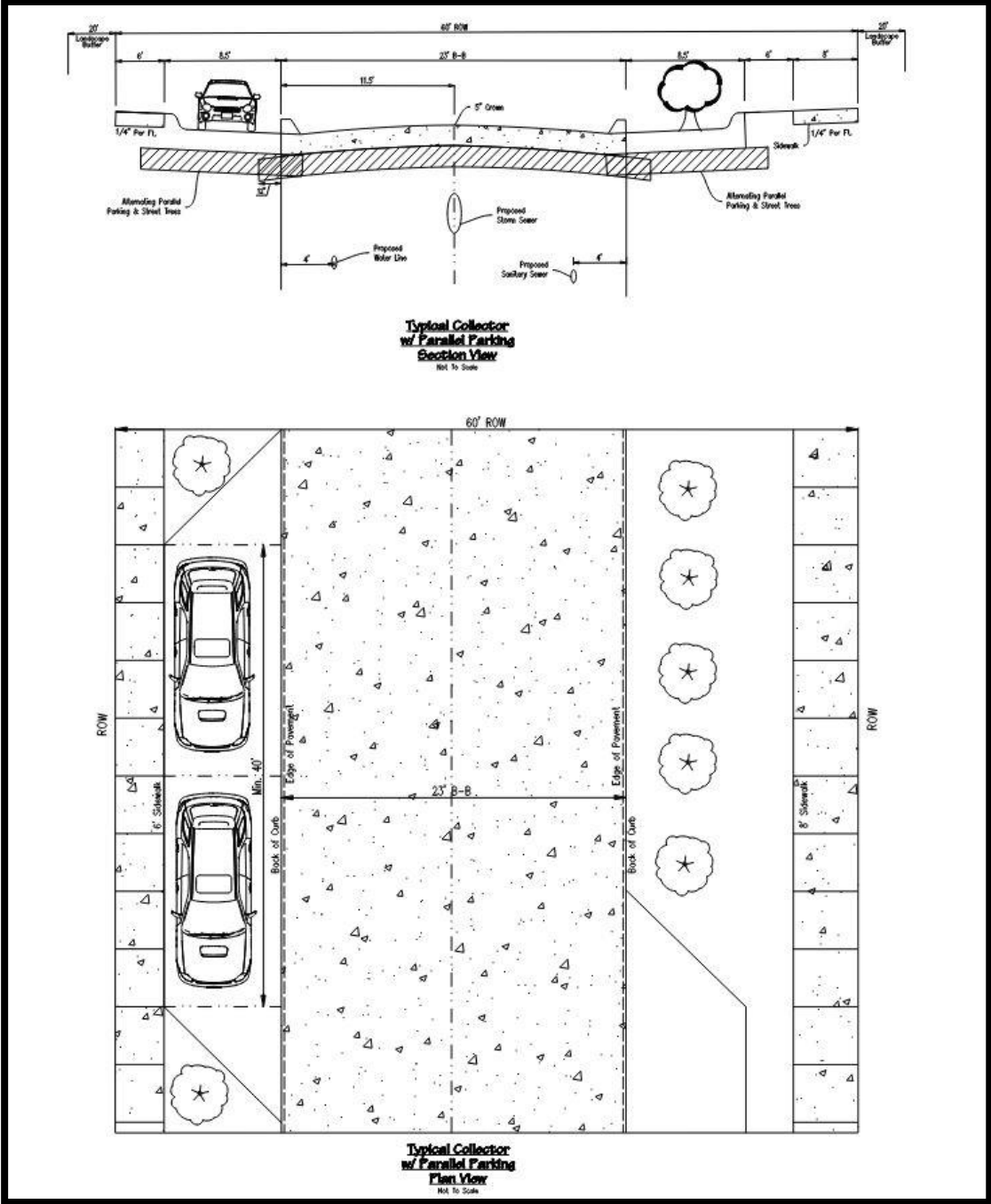


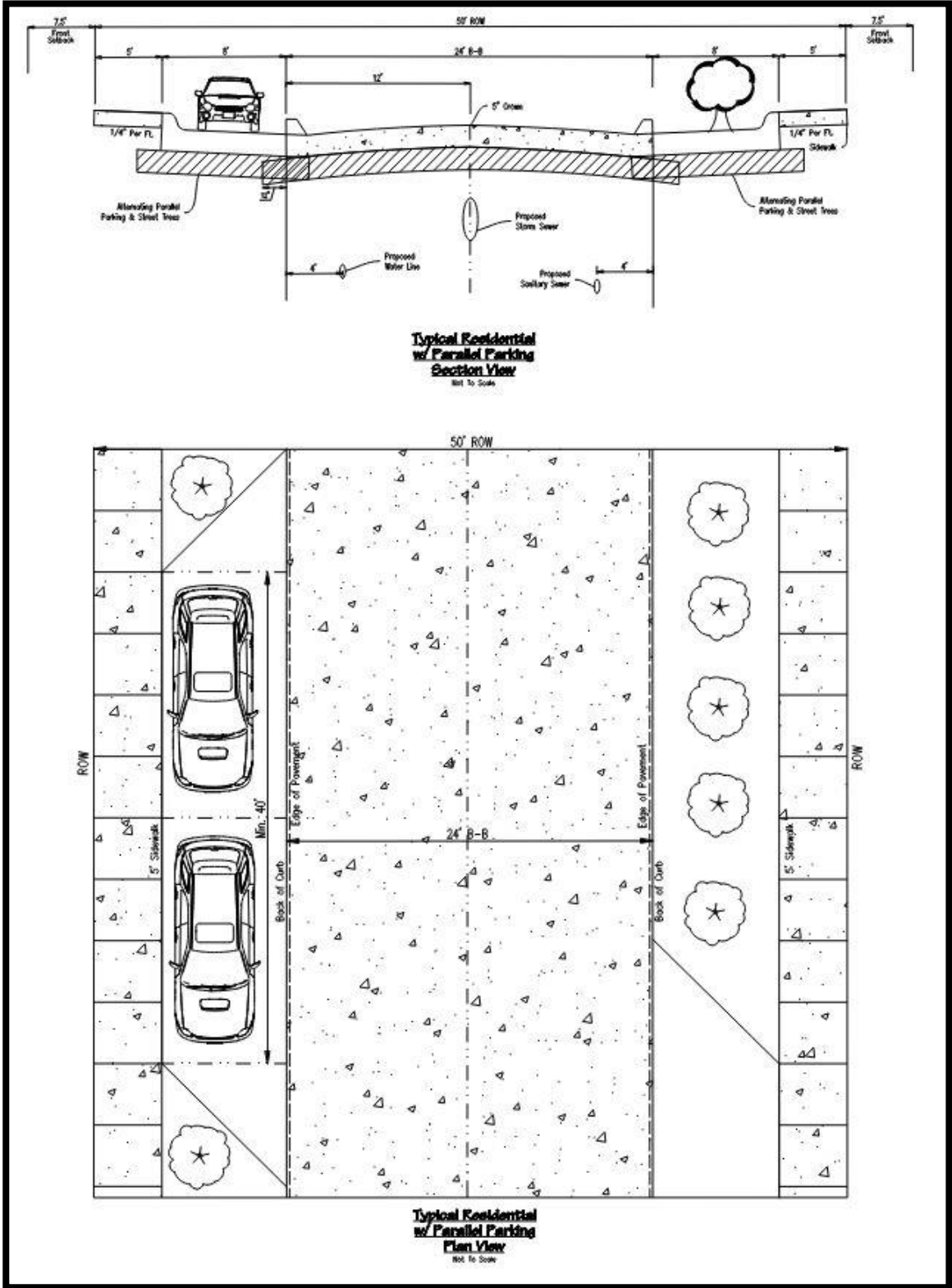
- ii. The Developer shall be responsible for installing Shade Trees within all “Parkway” locations that abut common open space lots and along the northside of Street A (Open Space Lots and Street A Parkway area as shown on Exhibit “E” and shall be further defined in the Landscape Plan to be submitted at time of Civil Plan).
  - iii. 40’ and 45’ Homes shall be subject to the minimum landscape requirements including shrubs and ornamental tree(s) as set forth in Subsection 2.09.01.B. – Requirements for Single Family Attached and Detached Lots except as noted above whereby the required Shade Trees shall be permitted (and shall be required) to be located within the Parkway (departure from B.(b)(1) location of trees).
- b. All landscaping and Shade Trees within the Parkway and the common open space X-Lots shall be maintained by the Homeowners Association in perpetuity.
3. **UDC Subsection 2.09.02 Tree Preservation shall apply, except as modified below:**
- a. The Applicant has agreed to preserve a minimum of 25% of the total Healthy Protected Tree caliper inches on site within Common Open Space Lots (X-Lots) as generally depicted on Exhibit “F”—Conceptual Landscape Plan and Exhibit “I” Tree Preservation Plan which currently depicts a preservation rate of 27.5% as a goal. Recognizing this commitment, 9.49 acres of the Tree Preservation area shall be counted towards satisfying the minimum required Trail and Land Dedication Requirements of UDC Subsection 3.05.10. provided that a minimum 25% percentage of Healthy Protected Tree caliper inches are preserved in perpetuity within the Common Open Space Lots (X-Lots) as referenced herein for minimum preservation and as confirmed at the time of Civil Construction Plans with the submittal of the formal Tree Preservation/Mitigation Plan documents. This rate may rate be reduced by two percent (2%) with the approval of Director of Planning and Development provided the intent of the Planned Development design is maintained.
  - b. Healthy Protected Trees located within the 50’ access easement/future street right-of-way as generally depicted on the PD Concept Plan – Exhibit “E” and as further described in Section 3, herein, shall not be counted for purposes of calculating the above saved base percentage rate minimum of 25%. Further, Healthy Protected Trees shown to be preserved within this area are also exempt from receiving preservation credits.
  - c. However, the Healthy Protected Trees located within the access easement/future street right-of-way would be exempt from Mitigation should construction for the future Street connection occur in the future as set forth is Section 3, herein. The exception to this Mitigation exemption is the removal of Healthy Protected Trees that will be removed within the 15’ Utility Easement as generally shown on the PD Concept Plan Exhibit “C” which is for the purpose of serving the Enclave at Canyon Ranch development.

4. **UDC Subsection 2.09.03 Vehicular Parking Regulations and Pedestrian Oriented Street Design** shall apply, except as modified below:
- a. Two car garage spaces shall be provided to accommodate off-street parking requirements for single family dwellings.
  - b. On-Street parking shall be provided as generally depicted in Exhibit “E”—PD Concept Plan and Exhibit “F”—Conceptual Landscape Plan.
  - c. Typical Street Sections are presented below and depict the location of on-street parking spaces, curbs, parkways, street trees, sidewalks, and minimum front yard setbacks. Reference Exhibit “C” – PD Concept Plan.











5. **UDC Subsection 2.04.04.C.2 Garage Regulations** shall apply, except as modified below:

a. **Garage Doors.** The following requirements shall apply:

- i. The garage door(s) shall not extend in front of the home and shall have a minimum setback of 20 feet. No more than two (2) single garage doors or one (1) double garage door shall face the primary street on a front elevation. In conjunction with this standard is the minimum/maximum primary façade setback requirement of 10'(minimum) to 20'(maximum) which requires the front porch and/or front façade of the home to define the streetscape.
  1. Driveway width shall be a minimum of 11 feet and a maximum of 16 feet wide. If the driveway is less than 16' in width, the curb shall be designed with a rolled curb.
- ii. For any dwelling on a lot less than 45' in width (Typical 40' Lot) at the front building setback line, the garage shall be accessed by the alley
  1. A five (5') foot concrete apron area shall be provided in addition to on-street parking as depicted in Exhibit "C"—PD Concept Plan.
- iii. Garage doors facing the public street shall be "carriage style" with decorative hardwood and windows. Additionally, sconces shall be provided as an architectural amenity along with the carriage style doors. Alley served garage doors are not subject to this provision.
- iv. The following are examples of carriage style garage doors that generally comply with this section.

The example below complies relative to the sconces and windows. Decorative hardware would be required in addition to what is depicted.

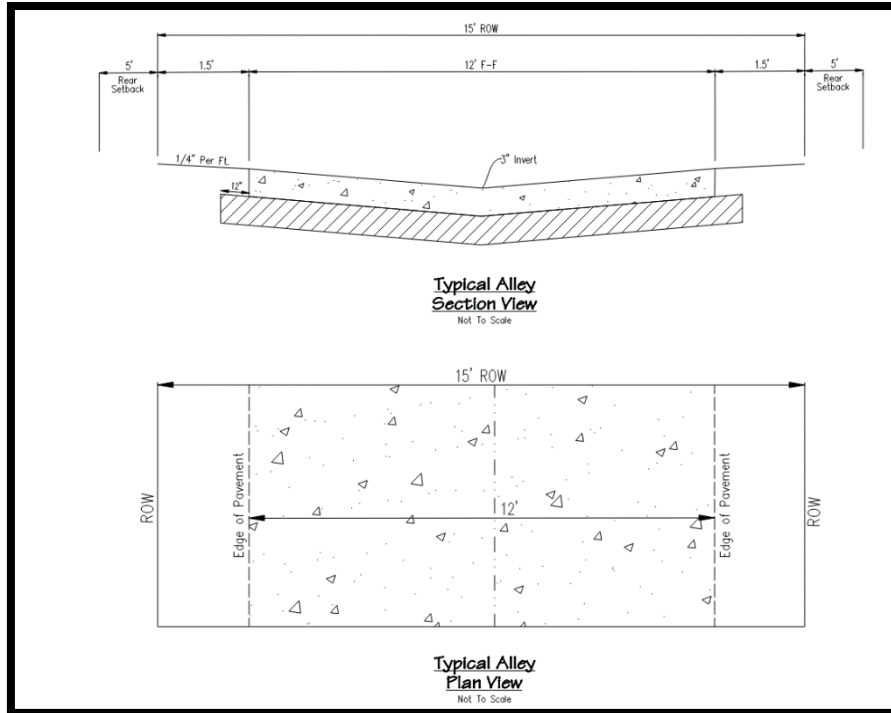


The examples below comply relative to the windows and hardware. Decorative sconces would be required in addition to what is depicted.

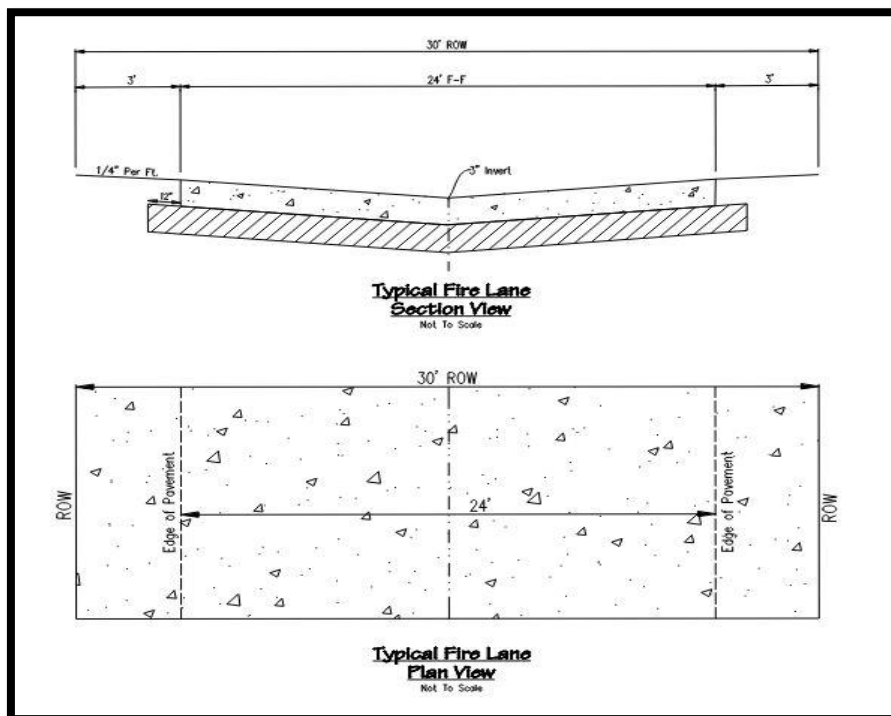


6. **UDC Subsection 2.09.04 Building Façade Material Standards** shall apply, except as modified below:
  - a. Exterior wall materials – Each façade (excluding doors and windows) shall consist only of masonry construction materials and/or fiber-reinforced cementitious board as presented in Exhibit “E”— Representative Product Types.
  - b. Each building shall include at least four of the following architectural elements however a Covered Front Porch shall be required for each front façade for a minimum of every two out of three houses along each side of the block (2/3rds of the houses) to determine the minimum for the ratio (e.g. if 12 houses are located along the south side of a street block, then a minimum of eight of the 12 houses on that side of the street must have a Front Porch):
    - i. Metal roof accents;
    - ii. Dormers;
    - iii. Offsets within each building (a minimum 5 feet to receive credit);
    - iv. Covered Front Porches (a minimum of fifty (50) square feet in size, including the front door entrance area);
    - v. Stoops (a minimum of 2 feet tall by 4 feet wide);
    - vi. Varied roof height in building (a minimum of 10-foot difference)
    - vii. Sconce lighting;
    - viii. Decorative banding or molding;
    - ix. Awnings or canopies
    - x. Front porch columns;
    - xi. Bay windows; and
    - xii. Shutters
7. **UDC Subsection 2.09.05 Residential Adjacency Standards** shall apply.
8. **UDC Subsection 2.09.06 Nonresidential Architectural Standards** shall apply.
9. **UDC Subsection 2.09.07 Lighting and Glare Regulations** shall apply. Additionally, the Applicant agrees to install pedestrian lighting approximately 60’ on center (in line with the Street Trees) on the Northern Collector Road and Parkridge Drive frontage within the Parkway.
10. **UDC Subsection 4.01 Sign Regulations** shall apply.
11. **UDC Subsection 3.05.05 Alley Standards** shall apply. Note that where a dwelling is located on any lot(s) that fronts along a common open space that exceeds the minimum required Fire Department hose lay distance, said dwelling shall be constructed and designed with automatic residential fire sprinkler systems. A note shall be placed on both the Preliminary and Final Plats indicating the lots within the subdivision subject to this requirement.
  - a. Typical Alley Section:





b. Typical Fire Lane Alley Section:



12. UDC Subsection 3.05.09 Lot Standards shall apply, except that 40' Lots fronting onto Common Open Space X-lots, with rear entry access provided by an alley, shall be allowed, as shown in Exhibit "C".

Justification:

This departure from subsection 3.05.09 of the UDC is necessary to provide a unique design with additional landscaping while continuing to achieve an overall density consistent with the Envision Corinth 2040 Comprehensive Plan. This departure also allows for additional landscaped open space.

13. **UDC Subsection 3.05.10 Park and Trail Dedication** requires that Park and Trail dedication for Residentially Zoned Property be provided at a rate of 1 acre per/50 DU and/or fees-in-lieu-of or combination shall apply, except as modified below:
- a. Exhibit “C” shows 13.29 acres of common open space land to be owned and maintained in perpetuity by the Homeowners Association. Of that area, 13.29 acres shall satisfy the requirement of Subsection 3.05.10. Amenities within the common open space lots include at a minimum five (5) ornamental metal benches and associated enhanced landscaping located along sidewalks and trails, two (2) shade structures (see representative detail), and an observation pier on the pond as generally depicted on Exhibit “F” – Conceptual Landscape Plan.
  - b. Existing Healthy Protected Trees and any required Mitigation Trees to be replanted within common open space lots shall be preserved in perpetuity and cared for by the Homeowner’s Association.
  - c. Trails, sidewalks, and amenities located within the common open space (X-lots) shall be maintained and replaced in kind in the event of removal, disrepair, and/or destruction as provided for the restrictive covenants. The details of such ownership and maintenance obligation shall be set forth in the covenants and shall be recorded prior to recording of the Final Plat for Phase 1.
    - i. Developer shall remove the existing four foot (4’) wide sidewalk along Parkridge Drive and construct a new five foot (5’) wide sidewalk. A pedestrian public access easement shall be provided should the sidewalk need to be extended outside of the public right-of-way and into the common open space lots (X-lots). Further along Parkridge Drive, the 5’ sidewalk shall be relocated to provide a minimum of a 5’ Parkway area located between the curb and the sidewalk for the planting of Street Trees to be planted a minimum of 30’ on center. The Street Trees shall be in addition to the required Shade Trees necessary to satisfy the planting requirements of within the 15’ Landscape Edge Buffer per Subsection 2.09.01.B.2 The Street Trees and the Shade Trees shall create a continuous canopy along Parkridge Drive.
    - ii. Developer shall construct a minimum five foot (5’) wide trail system through the common open space lots (X-lots) as generally depicted in Exhibit “F”—Conceptual Landscape Plan with the exception of the trail along Street G which shall be 6’- 8’ in width and eventually connect to the adjacent property to the west which shall be further defined at time of Civil Plan Set submittal. Where a sidewalk or trail meanders outside of the public right-of-way and into the common open space lots (X-lots), a public pedestrian access easement shall be provided permitting public access along the pedestrian trail system.
    - iii. Bollard lighting shall be provided along the trails within the common open space X- Lots as determined at time of Civil Plans to provide sufficient lighting for safety purposes.






Justification:

These departures from subsection 3.05.10 of the UDC are necessary to allow the developer to provide inclusive open space that promotes active outdoor activities for all residents of the City of Corinth.

14. **UDC Subsection 4.02 Fence and Screening Regulations** shall apply, except as modified below and further depicted on Exhibit “F” – Conceptual Landscape Plan:

- a. A 6’-0” in height brick thin-wall with 7’-0” in height stone columns, with columns spaced every other lot corner and at wall ends, shall be provided as shown on Exhibit “F”.
- b. The following standards shall apply to fencing as noted on Exhibit “F” – Conceptual Landscape Plan and further outlined below:

	6'-0" HT. BRICK SCREENING WALL WITH 7'-0" HT. STONE COLUMNS SPACED EVERY OTHER LOT CORNER AND AT WALL ENDS; BY DEVELOPER.
	6'-0" HT. BOARD ON BOARD WOOD FENCE WITH 7'-0" HT. STONE COLUMNS SPACED EVERY OTHER LOT CORNER AND AT WALL ENDS; BY DEVELOPER.
	6'-0" HT. ORNAMENTAL METAL FENCE INSTALLED BY BUILDER.

### **SECTION 3: OTHER DEVELOPMENT CONSIDERATIONS**

#### **A. Representative Product Type**

Exhibit “G” provides a representation of the home model types to be constructed in the Enclave at Canyon Ranch Planned Development according to dwelling type: 40’ Homes and 45’ Homes.

#### **B. Sidewalks**

1. Sidewalk shall be provided by home builders during construction of the home with the exception of sidewalks and trails noted along and within the Common Open Space Lots which shall be installed by the Developer as further noted below.
2. Sidewalk along Parkridge Drive and the Northern Collector may meander within the Landscape Edge Buffer provided with a pedestrian access easement. In no instance shall the sidewalk be located closer than two (2) feet off the curb along Parkridge Drive.
3. Sidewalks and/or trails located along a Common Open Space Lot (X-Lot) shall be installed by the Developer during the installation of infrastructure as depicted in Exhibit “F”— Conceptual Landscape Plan.



**C. Authorization for Off-Site Lift Station and Force Main**

1. Written authorization by the adjacent property owner has been granted for the offsite lift station and force main as generally shown in Exhibit “H”. Developer shall build full lift station and force main per the executed agreement between the Developer and the adjacent property owner (Exhibit “K”) and negotiate shared cost with adjacent property owner as a private matter. The alignment of the offsite easement as shown on Exhibit H, which is located outside of the boundary of the subject property, shall be referenced on the Preliminary Plat for the Enclave at Canyon Ranch as an off-site improvement and dedicated at the time of Civil Plan approval by plat or separate instrument and recorded in the records of the Denton County Clerk.

**D. Authorization for Off-Site Collector Street (Northern Collector Street and Western Alley).**

1. Written authorization has been granted for the Northern Collector Street A and Western Alley per the executed agreement between the Developer and the adjacent property owner (Exhibit “K”), as generally shown in Exhibit “H”. Developer shall build full Collector Street and Alley with development of Enclave at Canyon Ranch and will negotiate shared cost with adjacent property owner as a private matter. The alignment of Street A and the Alley, as generally depicted on the PD Concept Plan – Exhibit “C”, are subject to additional dedications by adjacent property owner to permit the proposed location of the aforementioned Collector Street A and Alley partially outside of the boundary of the subject property. The rights-of-way shall be referenced on the Preliminary Plat for the Enclave at Canyon Ranch plat as off-site improvements and dedicated at the time of Civil Plan approval by plat or separate instrument and recorded in the records of the Denton County Clerk.
2. The Developer understands that should the dedication of the rights-of-way not be offered and dedicated by the adjacent property owner, the PD Concept Plan and associated ancillary plans will require a PD Amendment for approval of an alternative design that includes the aforementioned Collector Street A and Alley to be shown wholly within the boundaries of the subject property.
3. The design and construction of the Collector Street A shall be in accordance with the typical as depicted on both the Concept Plan - Exhibit “E” and Conceptual Landscape Plan – Exhibit “F” which includes the installation of Shade Trees within the Parkway.

**E. Future Street (extension of Street G to the Western Property Line).**

The Developer of Enclave at Canyon Ranch shall dedicate an access easement for the benefit of the adjacent property owner. Should it be determined at the point the adjacent property owner develops the property that a connection to Street G is necessary, the Developer shall by dedication, convert the access easement to right-of-way to allow the adjacent property owner to obtain an additional point of ingress and egress and construct the future street extension of Street G as generally shown on Exhibit “E” – PD Concept Plan. It is understood that the property owner/developer of the adjacent property would be solely responsible for the construction of the future street connection, with there being no requirement for the Developer to construct the extension of Street G with the Enclave at Canyon Ranch development.

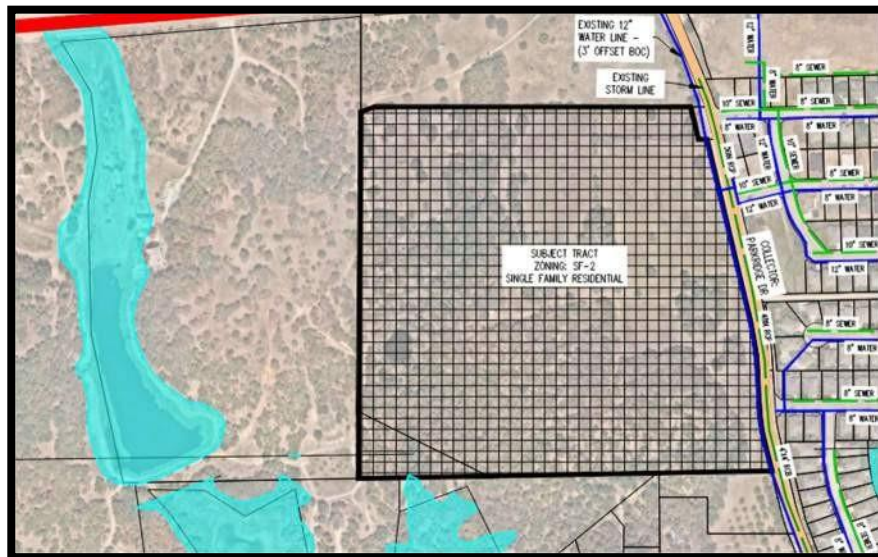
**F. Phasing**

1. This property will be developed in one (1) phase.

**G. Utility Infrastructure/Floodplain and Drainage**

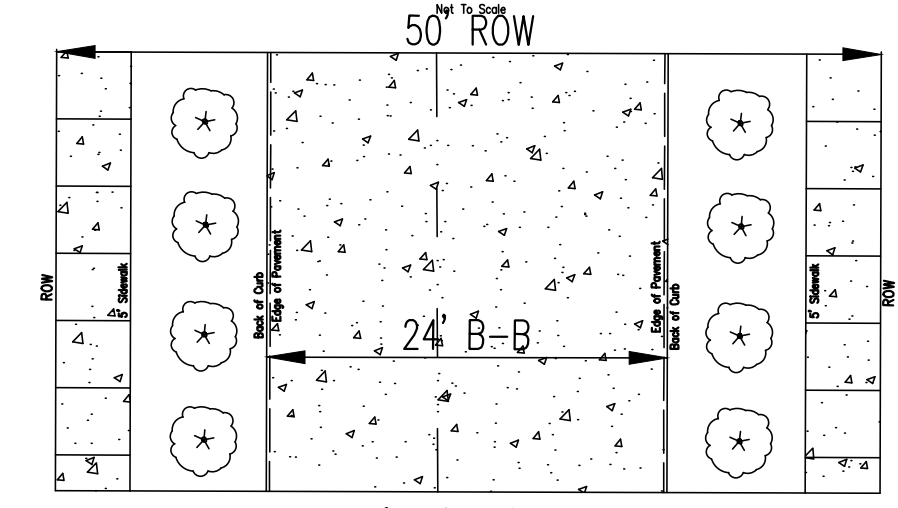
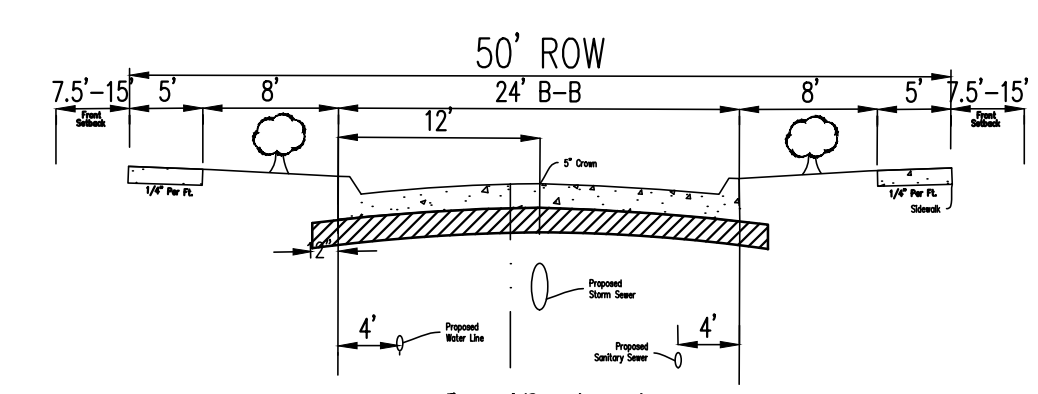
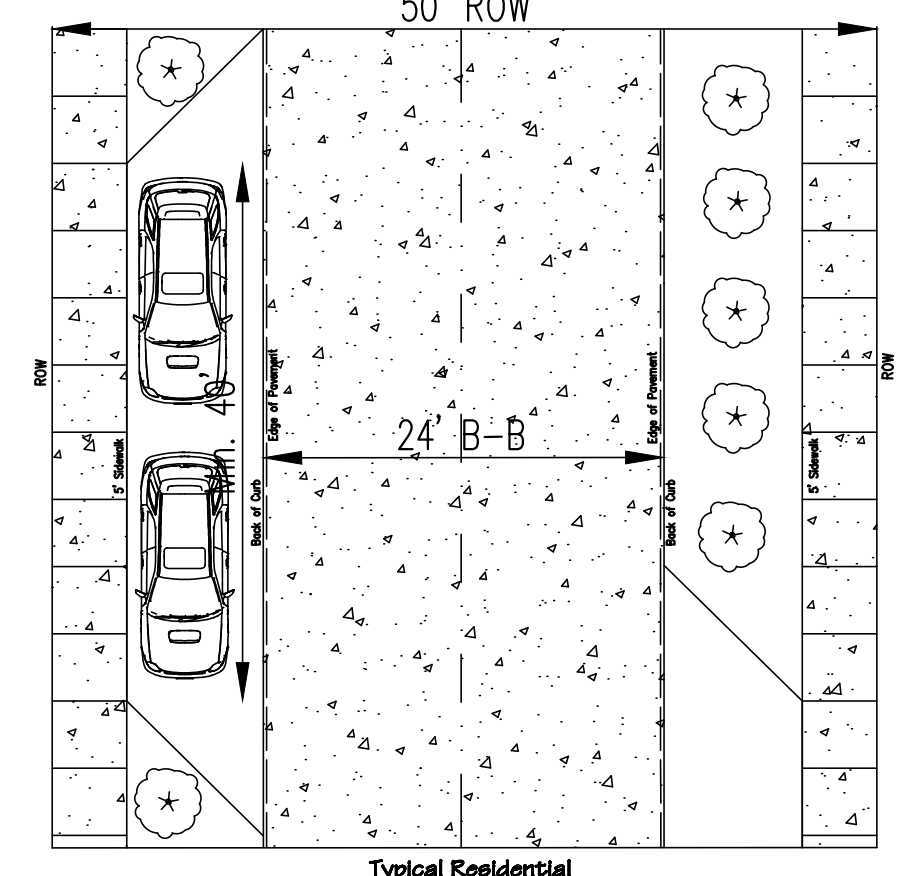
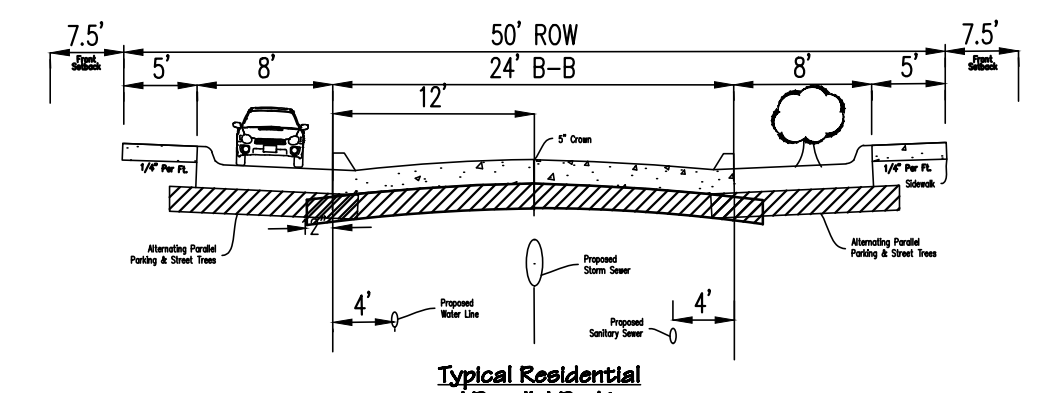
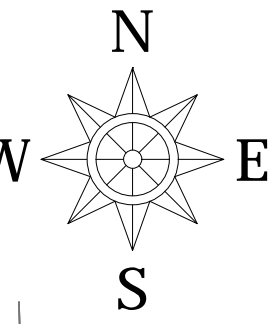
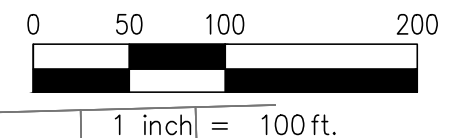
1. Electric, Gas, and Telecom utilities will all be installed in a 7.5' Franchise Utility Easement along the front of all homes and within a 5' Franchise Utility Easement along the sideyards where necessary.
2. As shown below (Figure 1), there is a small portion of FEMA floodplain in the southwest corner of the property. The offsite sanitary sewer easement has been shown in the southwest corner of the property. Any proposed drainage will not affect the protected tree groves shown in Exhibit G.

**Figure 1 - Existing Utility Infrastructure and Floodplain Map**

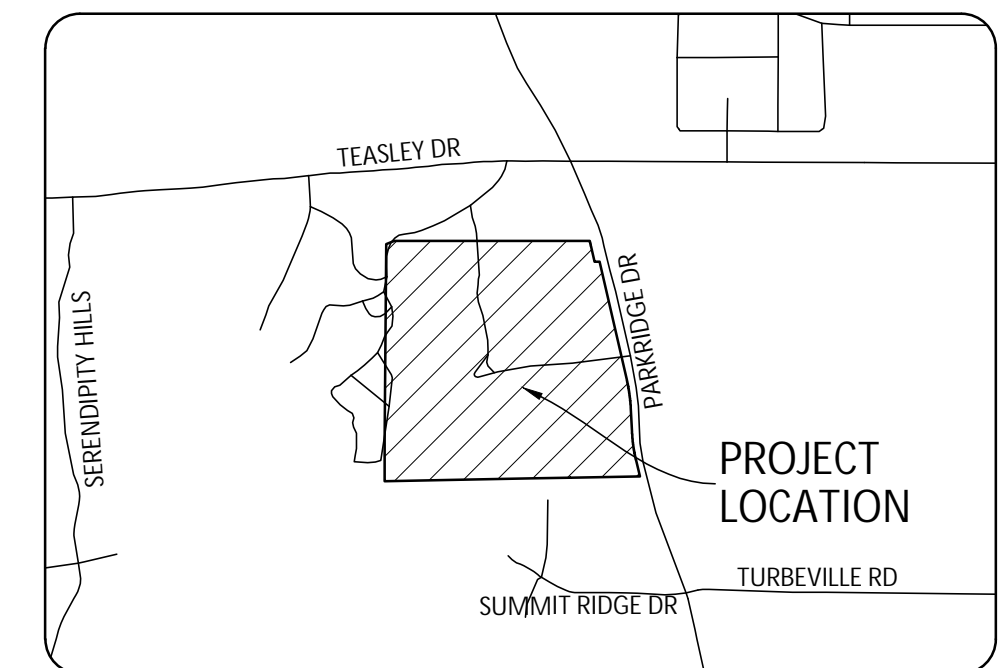




FIRST CAPITAL TEXAS LLC  
DOC NO. 2024-59309



**NOTE:**  
The off-site ROW for Street A and Alley dedication shall be offered for dedication at time of approval of Civil Engineering Plan.  
Should the off-site Rights-of-way and Easements not be offered for dedication, the PD Concept Plan and associated ancillary exhibits shall require a PD Amendment to reconfigure the site layout to address utilities and street circulation.



Vicinity Map

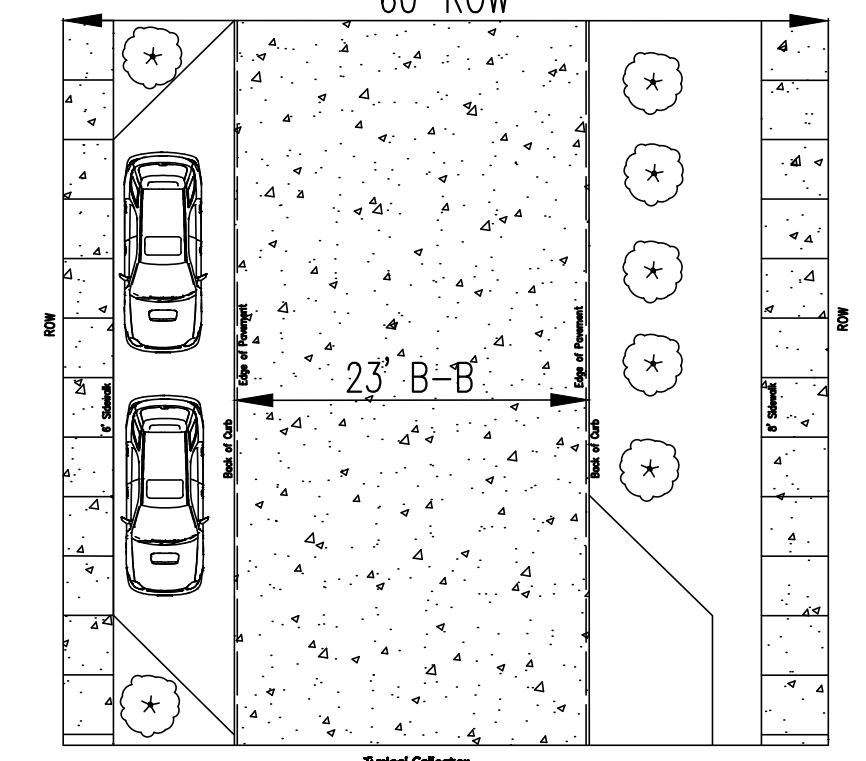
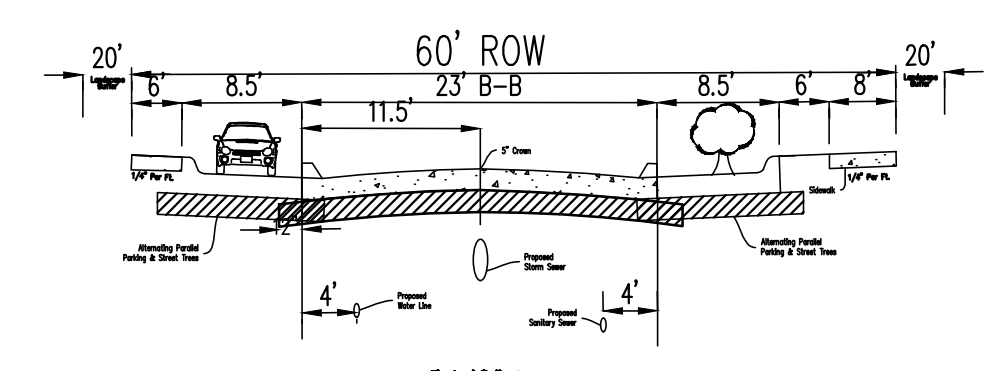


EXHIBIT E - PD CONCEPT PLAN

**ENCLAVE AT CANYON RANCH**  
CITY OF CORINTH, DENTON COUNTY, TEXAS

TOTAL RESIDENTIAL LOTS 234  
TOTAL OPEN SPACE 9  
TOTAL GROSS ACRES 48.341

M.E.P. & P.R.R SURVEY, ABSTRACT NO. 915

OWNER / APPLICANT  
CULBERTSON, M C III TR  
MARVIN C CULBERTSON JR LIVING TRUST  
1001 Summer St,  
Chattanooga, TN 37405

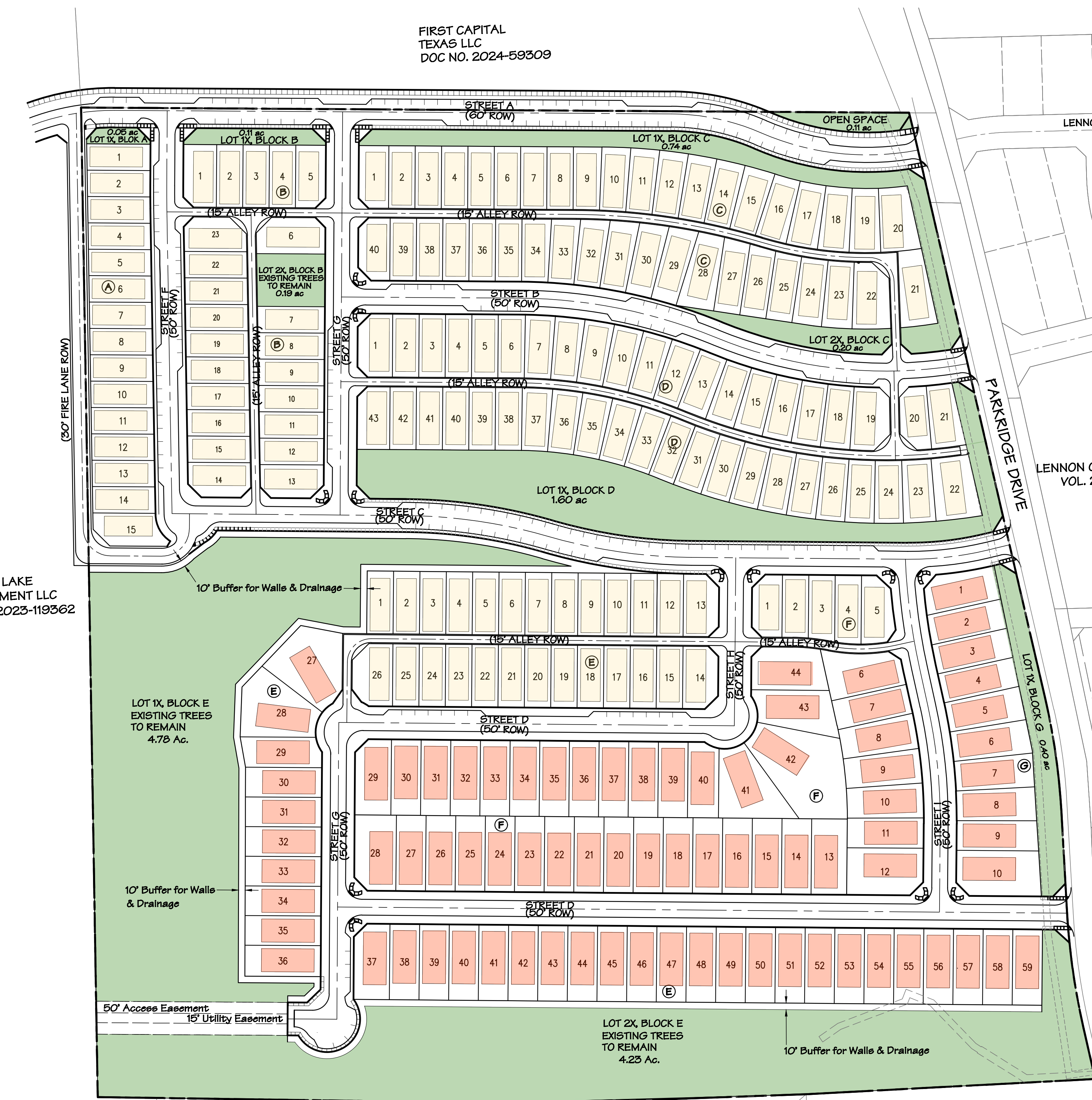
DEVELOPMENT MANAGER  
Tripointe Homes  
6201 W Plano Pkwy Suite 160,  
Plano, TX 75093  
(844) 760-5626

ENGINEER / SURVEYOR  
Spiars Engineering, Inc.  
765 Custer Road, Suite 100  
Plano, TX 75075  
(972) 422-0077

Site Summary Table		
Description	Quantity	Units
Proposed Base Zoning	PD-XX	
Land Use Designation	Mixed Residential	
Gross Acreage	48.341	AC
Net Acreage	38.85	AC
Proposed Lots		
Proposed 40' Lot	152	UNIT
Proposed 45' Lot	82	UNIT
Total Proposed Lot	234	UNIT
Total Proposed Net Open Space Lots	8	LOT
Area of Net Undeveloped Open Space	9.49	AC
Area of Net Open Space	13.29	AC
Percentage of Open Space	27.49	%
Area of Required Landscaping Provided	3.80	AC
40' Lots Minimum Floor Area	1,400	S.F
45' Lots Minimum Floor Area	1,500	S.F
Maximum Building Height	35'2 1/2	FT
Provided Parking		
Driveway/Street Parking (2 per unit)	468	UNIT
Garage Parking (2 per unit)	468	UNIT
Total Parking	936	UNIT
Start of Ph.1 Construction (Month/Year)		

**NOTE:**  
Street A and Alley located along the Western Property Line Will Be Constructed By Developer With The Initial Phase Of Development In Accordance With The Authorization Document In The Adjacent Property Owner To Construct These Offsite Improvements S Set Forth In Exhibit H.

LONG LAKE DEVELOPMENT LLC  
DOC NO. 2023-119362



LOT 1X, BLOCK E EXISTING TREES TO REMAIN 4.78 Ac.

LOT 2X, BLOCK B EXISTING TREES TO REMAIN 0.18 ac

LOT 2X, BLOCK C EXISTING TREES TO REMAIN 0.20 ac

LOT 1X, BLOCK D 1.60 ac

LOT 1X, BLOCK E EXISTING TREES TO REMAIN 4.23 Ac.

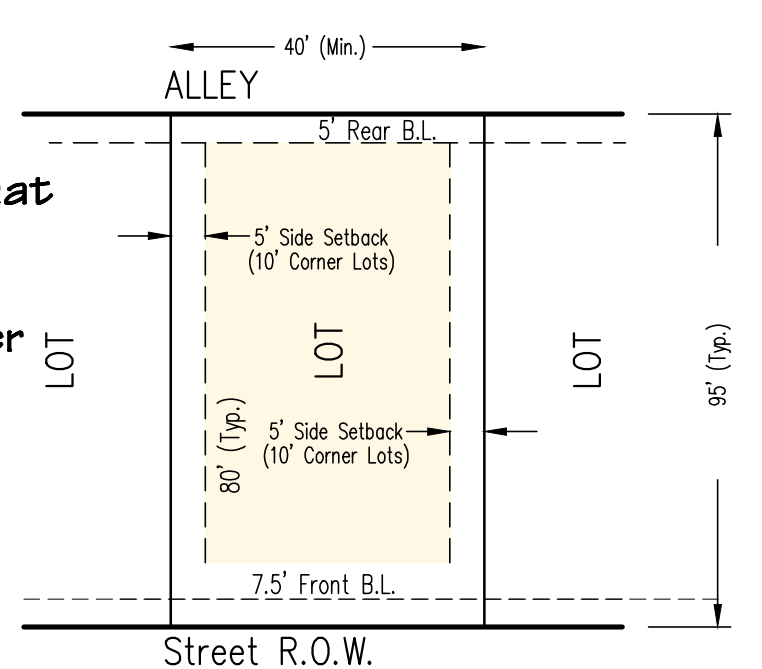
LONG LAKE DEVELOPMENT LLC  
DOC NO. 2023-119362

INGLE, MICHAEL A  
DOC NO. 2022-174074

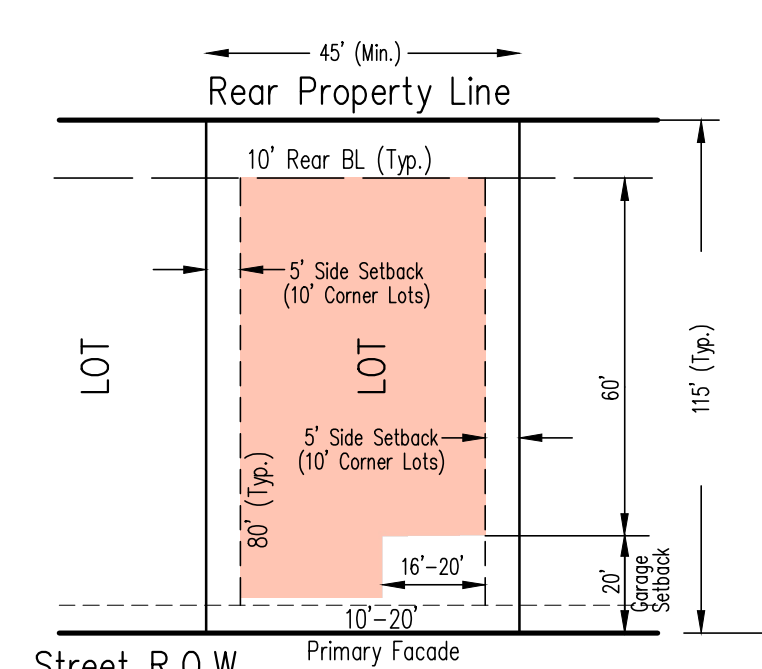
GREG JOHNSON AND CHERI JOHNSON  
VOL. 5400, PG. 10774

HOLMAN ADDITION  
CAB. G, PAG. 8

**NOTE:**  
Any Lots fronting along Common Open Space that exceeds the minimum required Fire Department hose-lay-distance shall be constructed and designed with automatic residential fire sprinkler system.



TYPICAL 40' LOT DETAIL  
Min. Lot Area: 3,800 sf



TYPICAL 45' LOT DETAIL  
Min. Lot Area: 4,725 sf

- 40'x95' Lot
- 45'x115' Lot

PRODUCT	UNITS	ACCESS	% OF UNITS
40'X95'	152	REAR	65
45'X115'	82	FRONT	35
<b>TOTAL</b>	<b>234</b>		<b>100</b>

Drawing: 01/2024, 08/23-230, Corwin, Tract/CD/Exhibit/2024, 04, 01, - Corinth - Exhibit, C - 45x115' Lot, Saved By: Tspore, Save Time: 7/19/2024, 11:44 AM, 11:43:59 AM

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AMENITY INSPIRATION:



BENCHES ALONG PATH



TRAIL THROUGH EXISTING TREES



GAZEBO



FISHING PIER OVERLOOKING POND

CALLOUTS LEGEND:

- 6'-0" HT. BRICK SCREENING WALL WITH 7'-0" HT. STONE COLUMNS SPACED EVERY OTHER LOT CORNER AND AT WALL ENDS, BY DEVELOPER.
- 6'-0" HT. BOARD ON BOARD WOOD FENCE WITH 7'-0" HT. STONE COLUMNS SPACED EVERY OTHER LOT CORNER AND AT WALL ENDS, BY DEVELOPER.
- 6'-0" HT. ORNAMENTAL METAL FENCE INSTALLED BY BUILDER.
- MAIN ENTRY SIGN MONUMENT.
- SECONDARY ENTRY SIGN MONUMENT
- TRAIL HEAD SIGN
- ENHANCED AMENITY NODE TO INCLUDE BUT NOT LIMITED TO GAZEBO, BENCH, ORNAMENTAL GRASS AND SHRUB BED, AND TRASH RECEPTACLE LOCATED A MIN. OF 10' FROM SAID BENCH.
- 8'-0" WIDTH CONCRETE TRAIL.
- 6'-0" WIDTH CONCRETE TRAIL.
- 5'-0" WIDTH CONCRETE SIDEWALK.
- HOA COMMON AREA LOTS
- 3" CALIPER SHADE TREE; SPECIES TBD. BASED OFF CITIES RECOMMENDED PLANT MATERIAL LIST. INSTALLED BY DEVELOPER
- 3" CALIPER SHADE TREE; SPECIES TBD. BASED OFF CITIES RECOMMENDED PLANT MATERIAL LIST. INSTALLED BY BUILDER.
- PRIVATE LOT 3" CALIPER SHADE TREE. INSTALLED BY BUILDER.
- PRIVATE LOT 2" CALIPER ORNAMENTAL TREE. INSTALLED BY BUILDER.

LANDSCAPE PROVIDED:

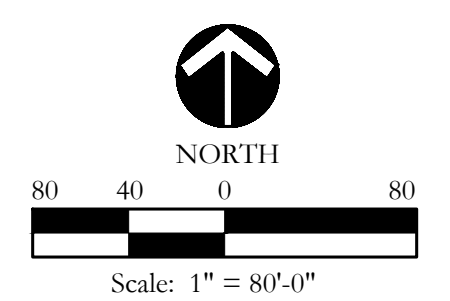
- PARKRIDGE DRIVE**
- A. 1 - 3" CAL. SHADE TREE / 30 LF OF LANDSCAPE EDGE  
1,256 LF / 30 LF = 41.86 - 3" CAL. SHADE TREES REQUIRED.  
PROVIDED: 11 EXISTING TREES TO REMAIN  
31 - 3" CAL. SHADE TREE.  
TOTAL: 42 TREES ALONG PARKRIDGE DRIVE
  - B. 1 - 3" CAL. SHADE TREE / 30 LF OF SCREEN WALL  
1,066 LF / 30 LF = 35.5 - 3" CAL. SHADE TREES REQUIRED.  
PROVIDED: 56 - 3" CAL. SHADE TREE.
- STREET A**
- A. 1 - 3" CAL. SHADE TREE / 30 LF OF LANDSCAPE EDGE  
2,522 LF / 30 LF = 77.4 - 3" CAL. SHADE TREES REQUIRED.  
PROVIDED: 78 - 3" CAL. SHADE TREE.
  - B. 1 - 3" CAL. SHADE TREE / 30 LF OF SCREEN WALL  
65 LF / 30 LF = 2 - 3" CAL. SHADE TREES REQUIRED.  
PROVIDED: 2 - 3" CAL. SHADE TREE.
- STREET B**
- A. 1 - 3" CAL. SHADE TREE / 30 LF OF LANDSCAPE EDGE  
422 LF / 30 LF = 14.06 - 3" CAL. SHADE TREES REQUIRED.  
PROVIDED: 14 - 3" CAL. SHADE TREE.
- STREET C**
- A. 1 - 3" CAL. SHADE TREE / 30 LF OF LANDSCAPE EDGE  
1,798 LF / 30 LF = 59.9 - 3" CAL. SHADE TREES REQUIRED.  
PROVIDED: 60 - 3" CAL. SHADE TREE.
- ADDITIONAL TREES SHOWN**
- A. PROVIDED: 78 - 3" CAL. SHADE TREES NOT COUNTING TOWARDS REQUIRED LANDSCAPE SHOWN.

EXHIBIT F  
CONCEPTUAL LANDSCAPE PLAN

NOTE: ALL PLANS SHOWN HEREIN ARE CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE.

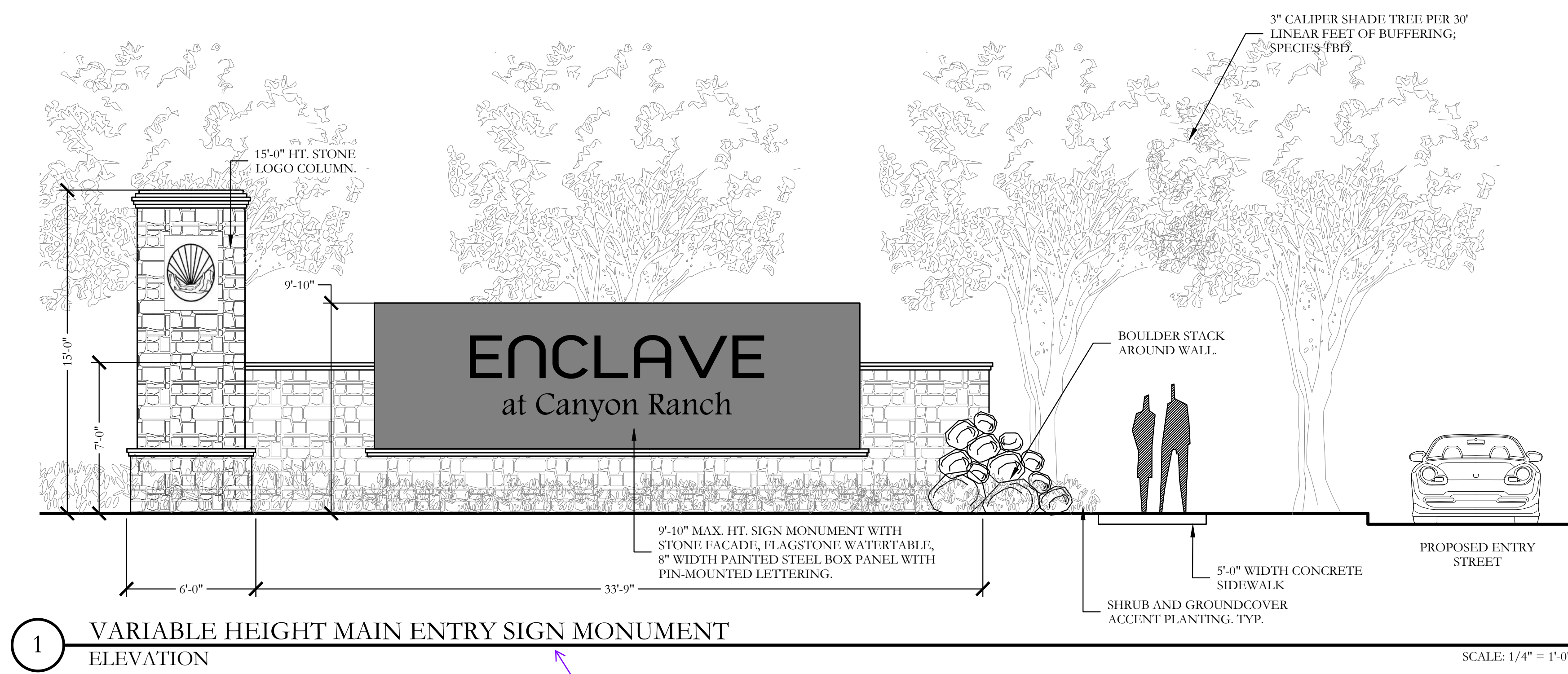
ENCLAVE AT CANYON RANCH / CONCEPTUAL SCREENING AND BUFFERING

City of Corinth, Denton County, Texas



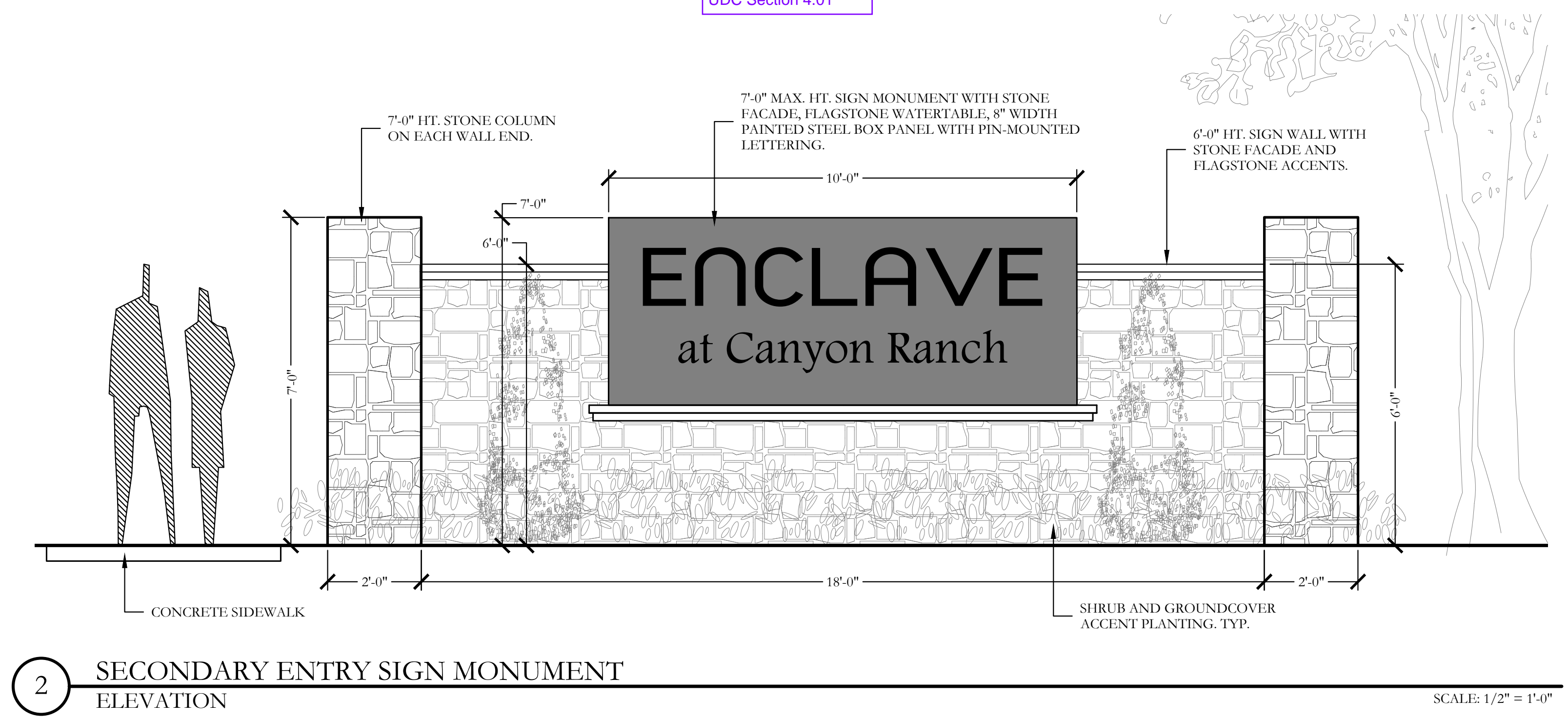
SHEET 1 OF 2  
City Submittal 07-15-2024





1 VARIABLE HEIGHT MAIN ENTRY SIGN MONUMENT ELEVATION

Add note: Signage for reference only. All signage to comply with UDC Section 4.01



2 SECONDARY ENTRY SIGN MONUMENT ELEVATION

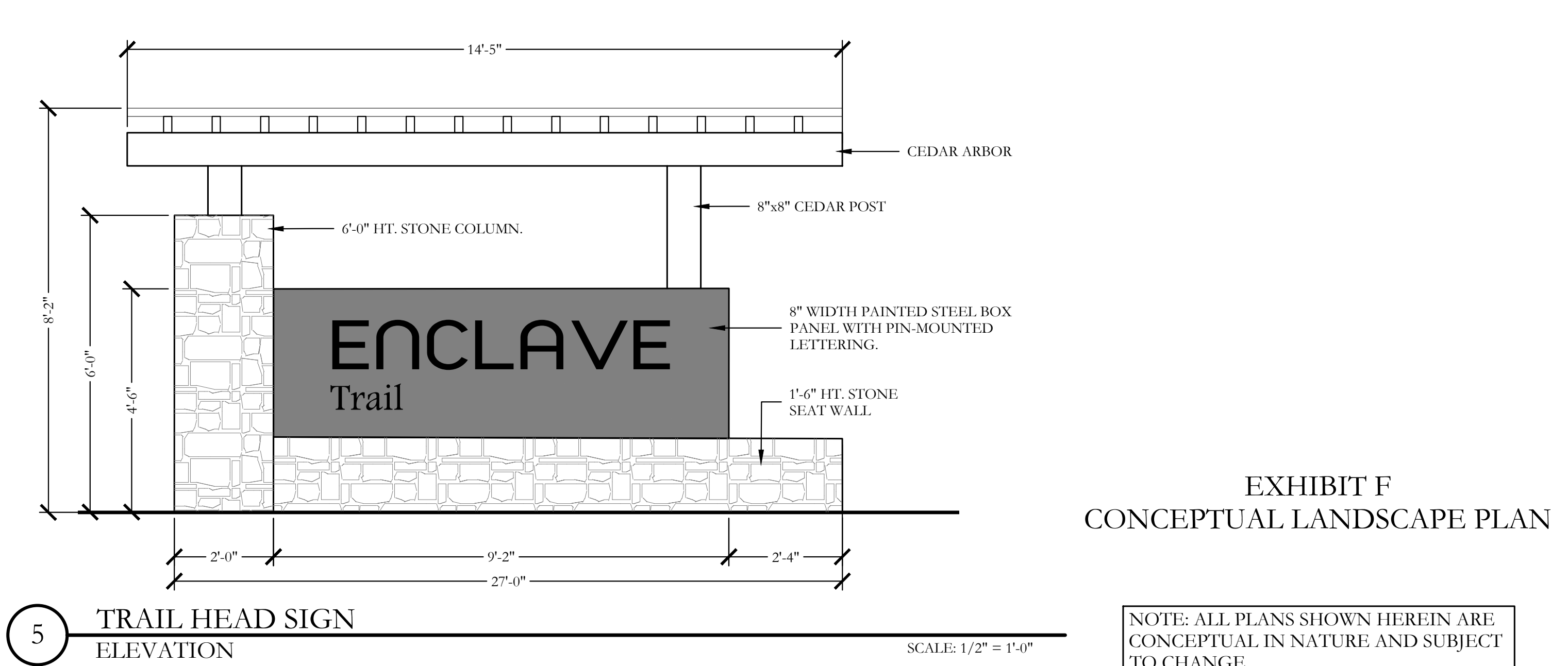
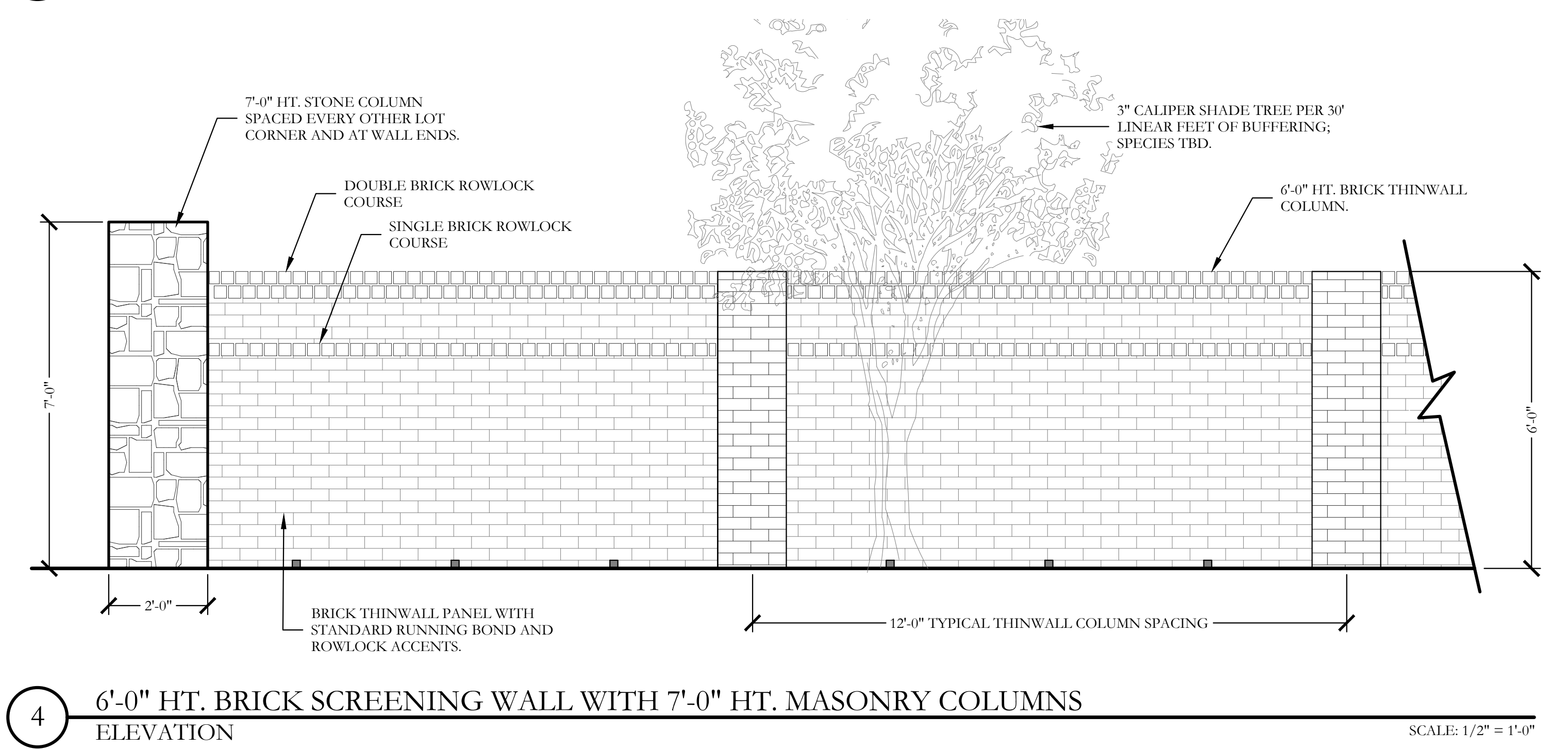
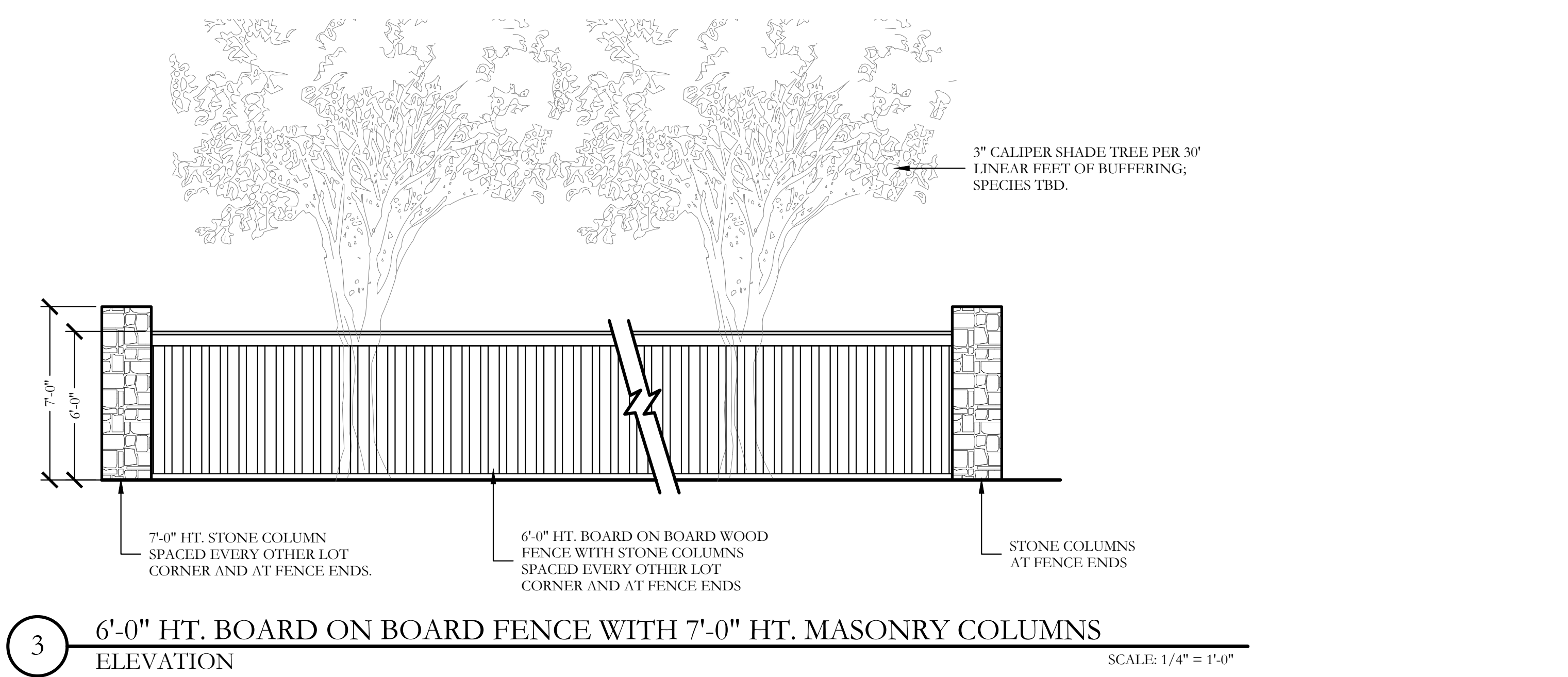


EXHIBIT F  
CONCEPTUAL LANDSCAPE PLAN

NOTE: ALL PLANS SHOWN HEREIN ARE CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE.

ENCLAVE AT CANYON RANCH / CONCEPTUAL SCREENING AND BUFFERING



45' Homes:

















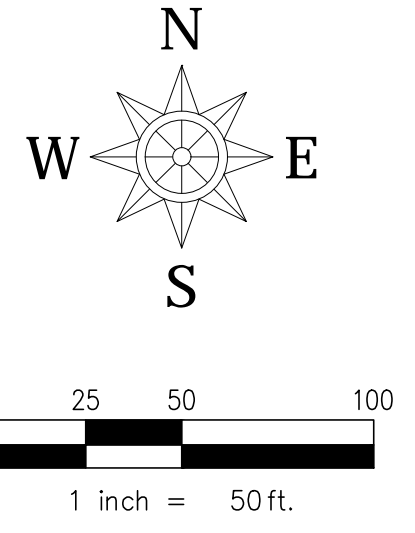
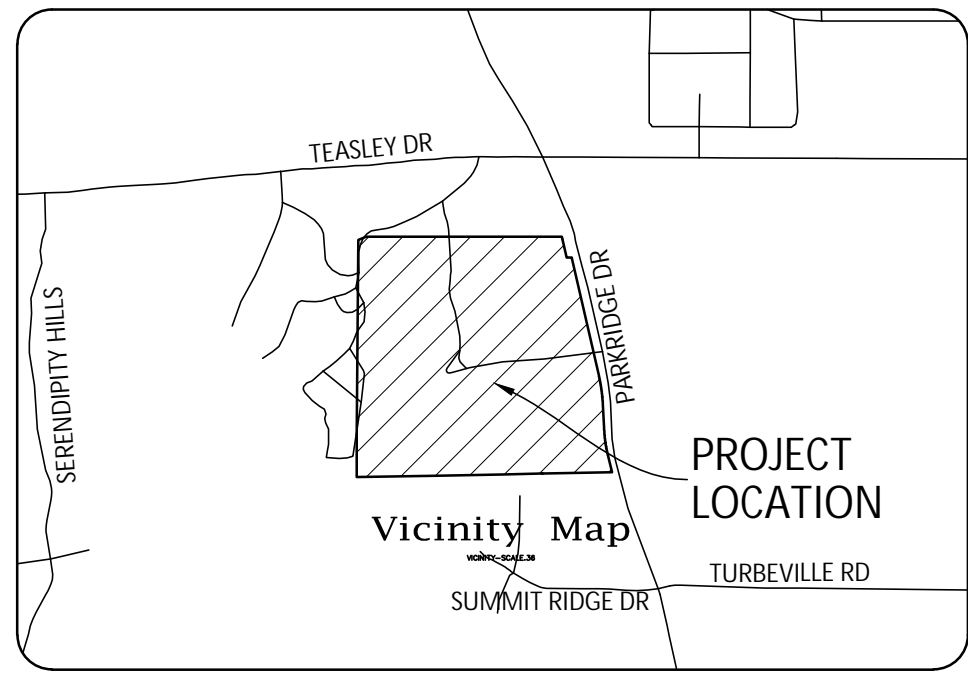
40' Homes:











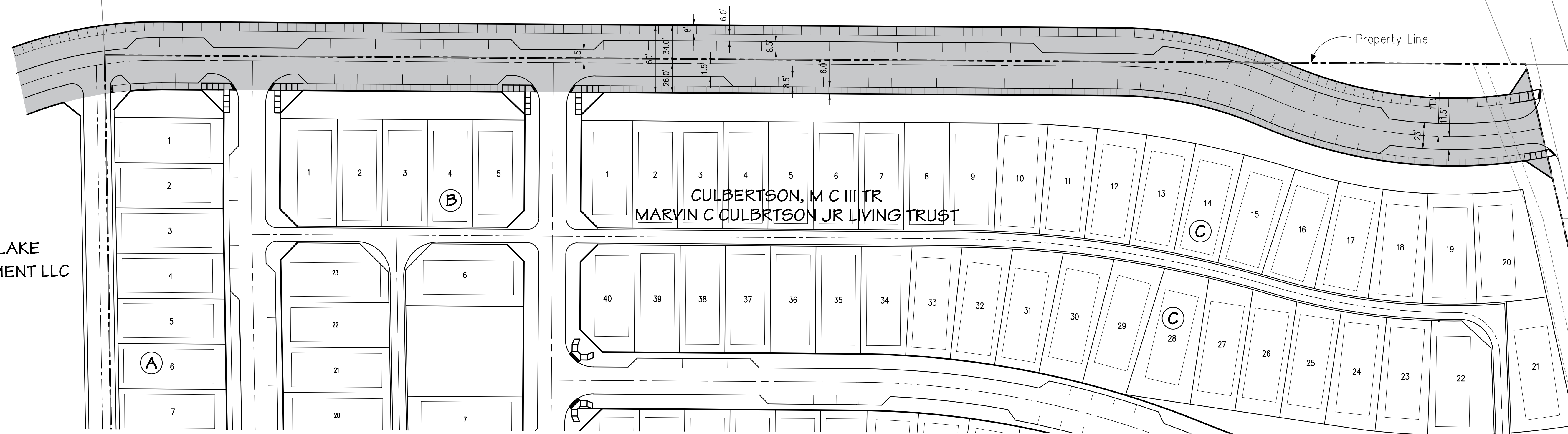
TEASLEY DRIVE

FIRST CAPITAL, TEXAS LLC

LENNON CREEK ADDITION  
VOL. 2021, PG. 445

LENNON DR

LONG LAKE  
DEVELOPMENT LLC



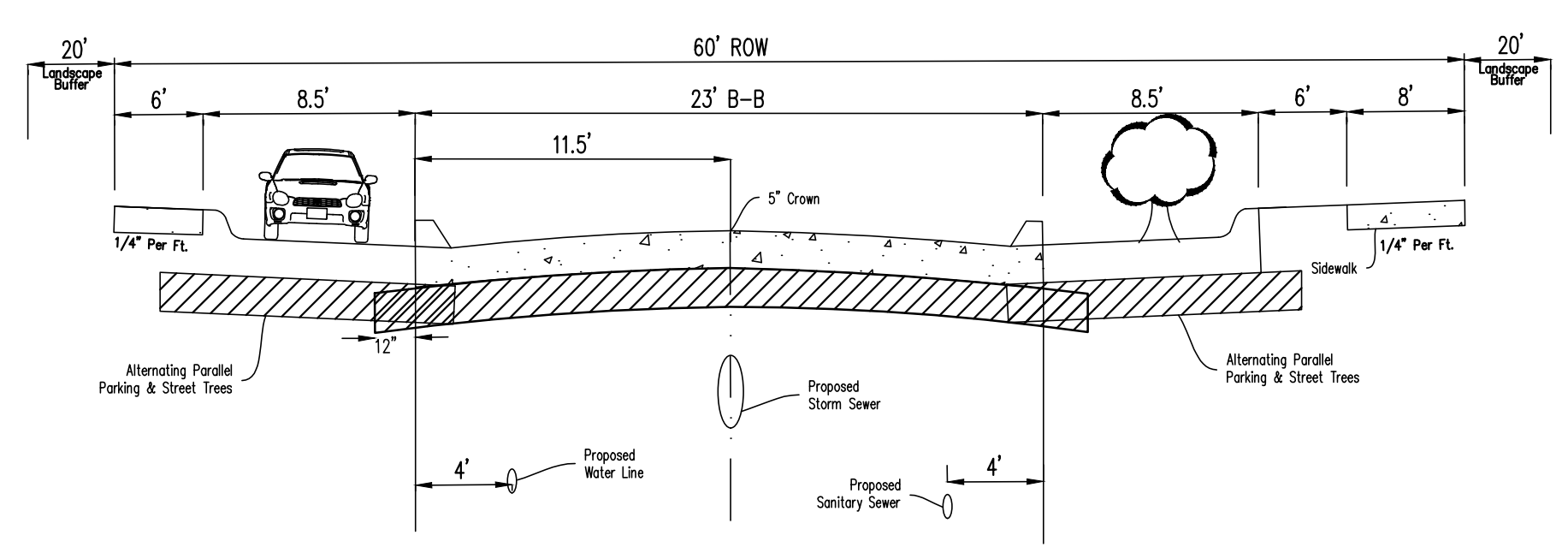
CULBERTSON, M C III TR  
MARVIN C CULBERTSON JR LIVING TRUST

SHARED INFRASTRUCTURE EXHIBIT H  
Layout A - Collector Street A

ENCLAVE AT CANYON RANCH  
CITY OF CORINTH, DENTON COUNTY, TEXAS  
OUT OF THE  
M.E.P. & P.R.R SURVEY, ABSTRACT NO. 915

DEVELOPMENT MANAGER Tripointe Homes 6201 W Plano Pkwy Suite 160, Plano, TX 75093 (844) 760-5626	DEVELOPMENT MANAGER Michael Ingle 3971 Summerset Ridge Corinth, TX 75093 (972) 836-2919
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ENGINEER / SURVEYOR  
Spiars Engineering, Inc.  
765 Custer Road, Suite 100  
Plano, TX 75075  
(972) 422-0077

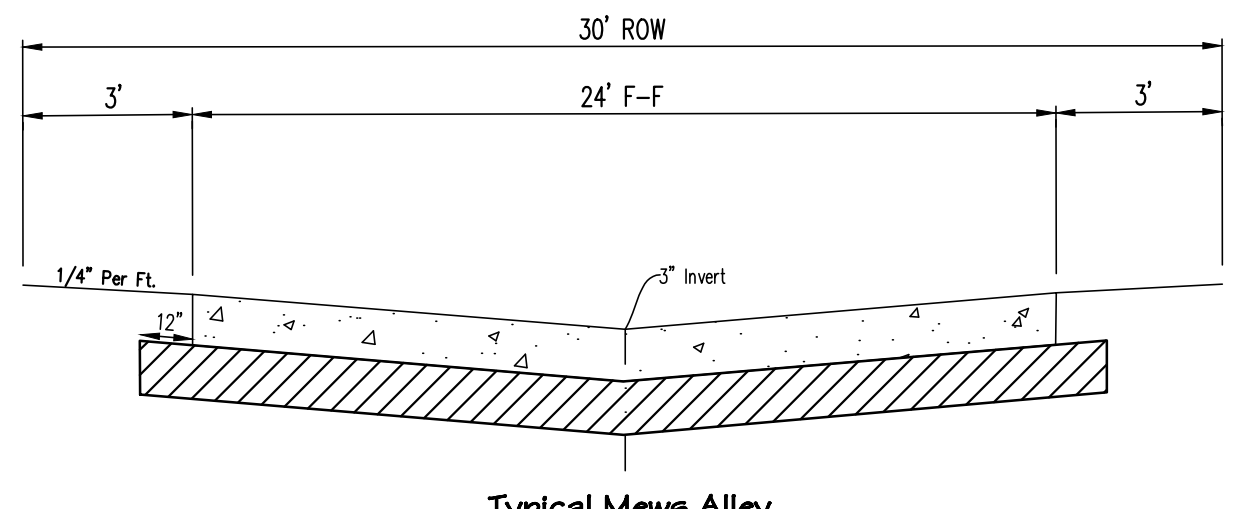
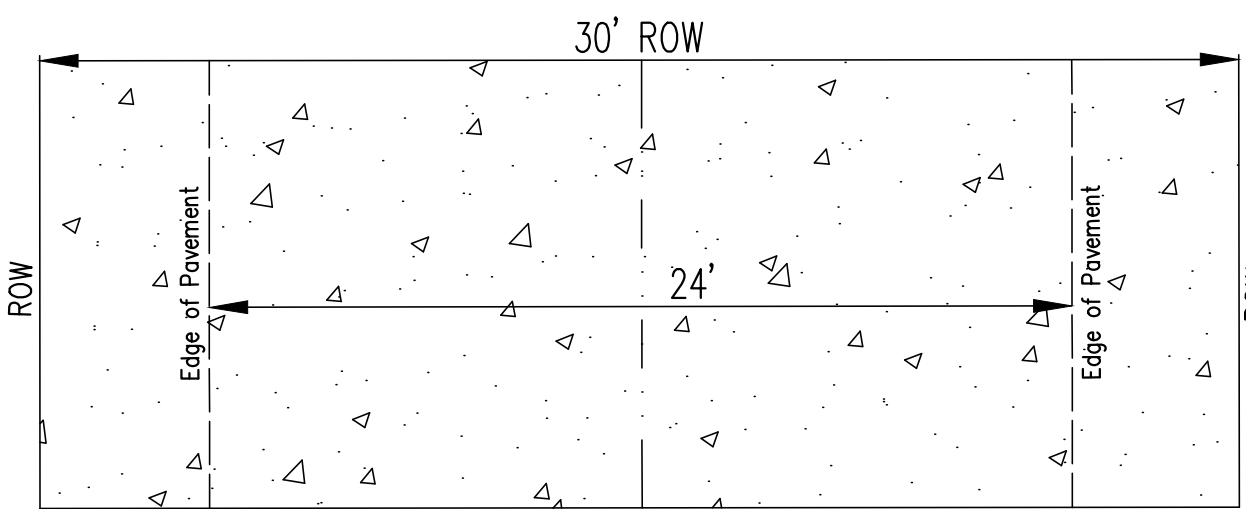
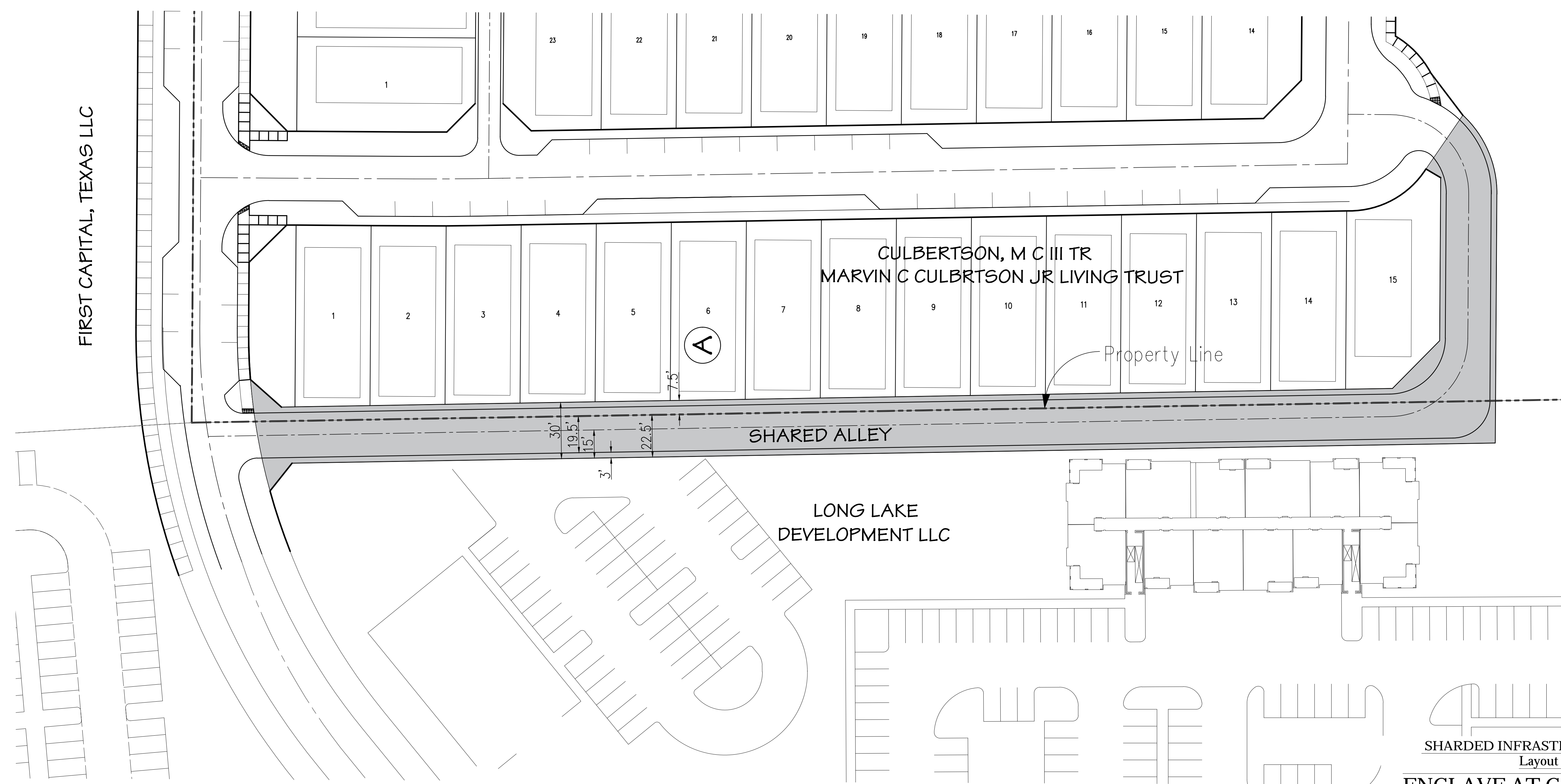
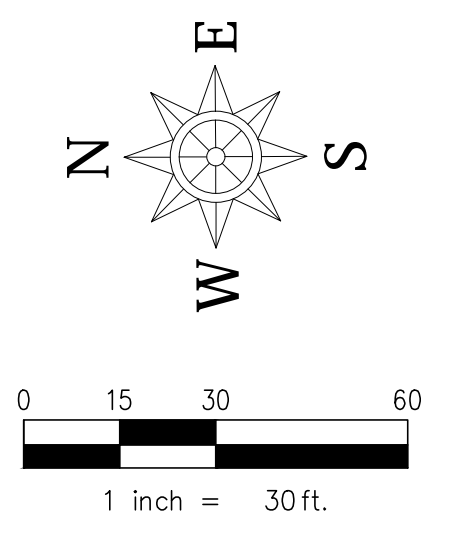
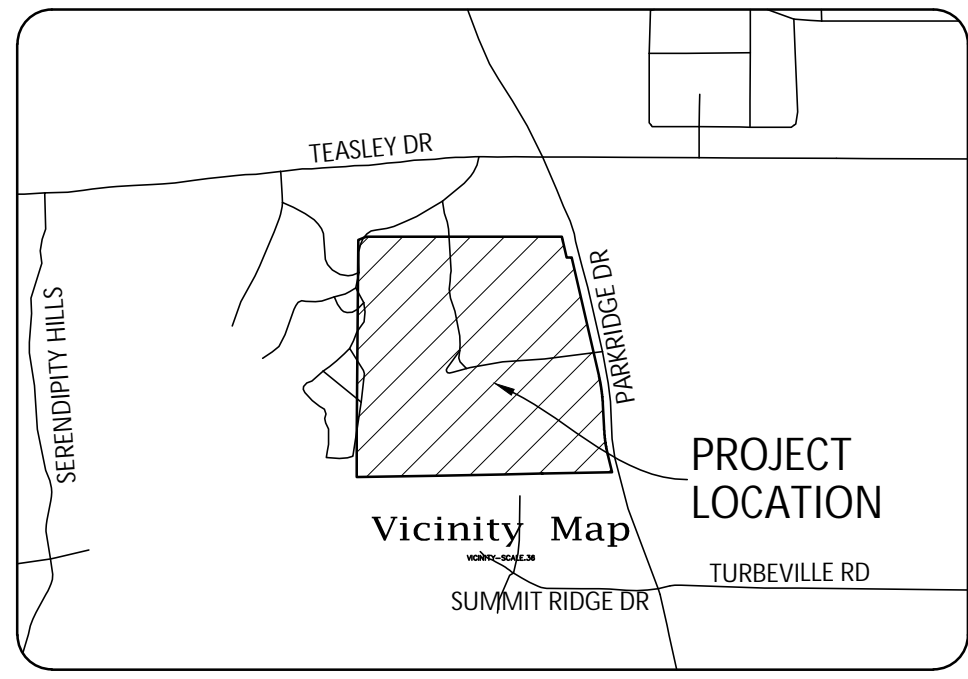


Typical Collector  
w/ Parallel Parking  
Section View  
Not To Scale

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Dwgn: 0, 2023, 285131-230 Corin. Prop/CDU/Abstr. 915, 27 Shared Infrastructure, A.dwg, Saved By: G.dutton, Date: 7/15/2024, 3:09:00 PM





SHARED INFRASTRUCTURE EXHIBIT H  
Layout B - Alley

ENCLAVE AT CANYON RANCH  
CITY OF CORINTH, DENTON COUNTY, TEXAS  
OUT OF THE  
M.E.P & P.R.R SURVEY, ABSTRACT NO. 915

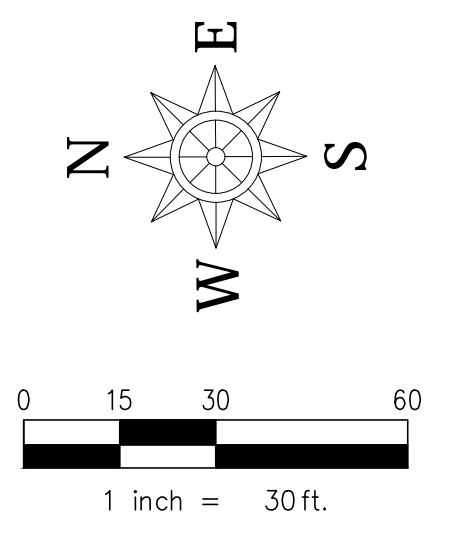
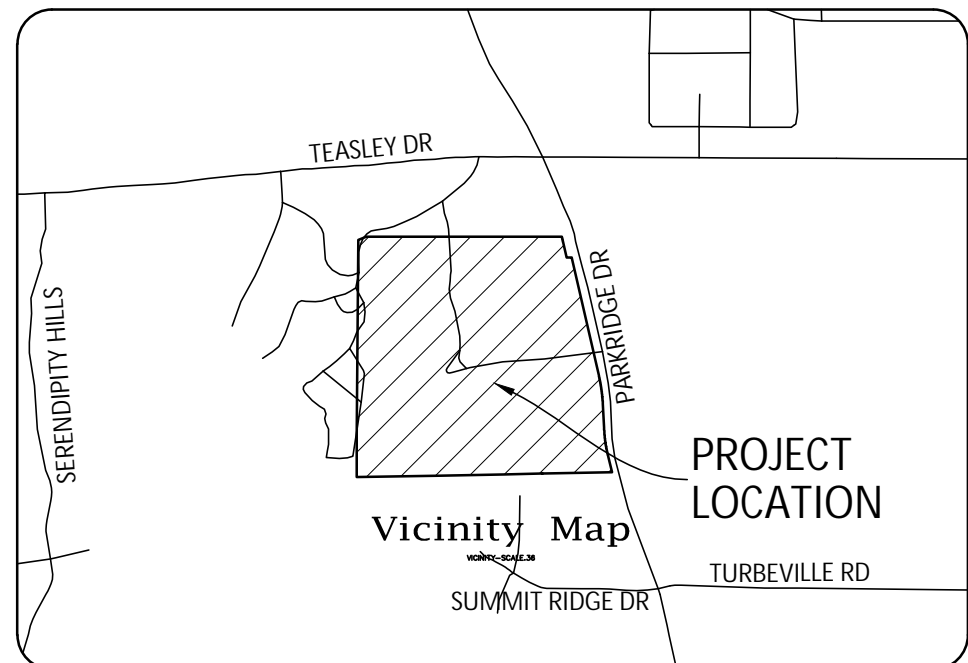
DEVELOPMENT MANAGER DEVELOPMENT MANAGER  
Tripointe Homes Michael Ingle  
6201 W Plano Pkwy Suite 160, 3971 Summerset Ridge  
Plano, TX 75093 Corinth, TX 75093  
(844) 760-5626 (972) 836-2919

ENGINEER / SURVEYOR  
Spiars Engineering, Inc.  
765 Custer Road, Suite 100  
Plano, TX 75075  
(972) 422-0077

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TBPE No F-2121 • TBLPS No. F-10043100 • www.spiarseng.com

Drawing: 03/2023 285131-230 Corinth, Texas (CAD) (Submittal) 2024.06.27 Shared Infrastructure B-Map Saved By: Gidion Saw: 7/15/2024 3:02:08 PM  
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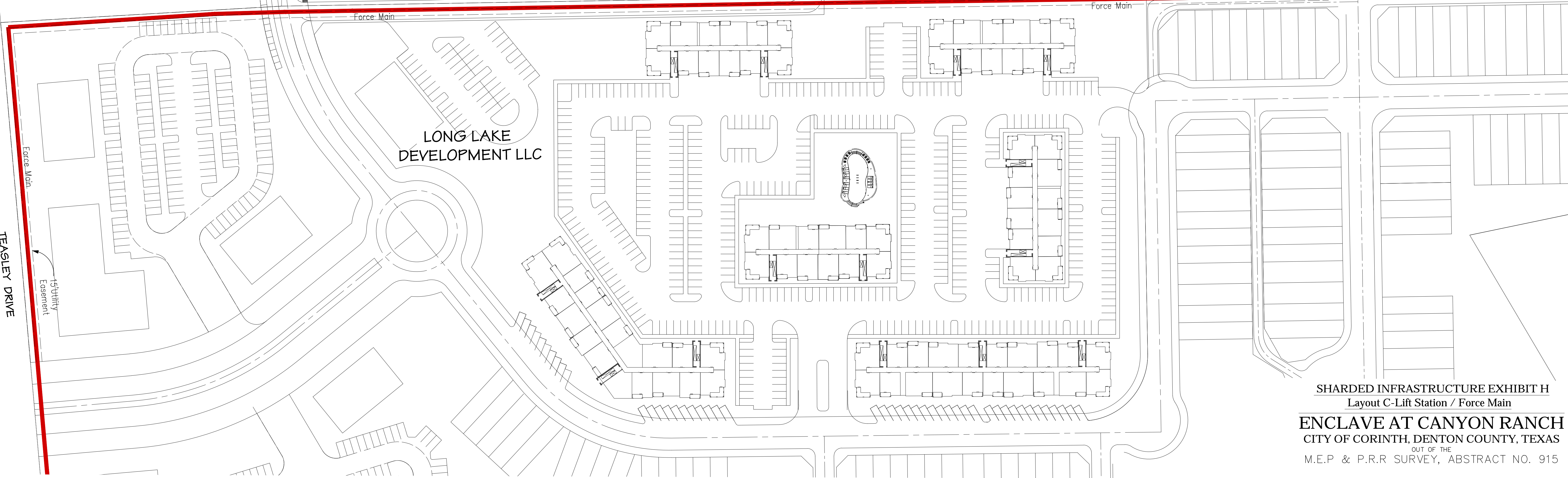
FIRST CAPITAL, TEXAS LLC

CULBERTSON, M C III TR  
MARVIN C CULBRTSON JR LIVING TRUST

LONG LAKE  
DEVELOPMENT LLC

Lift Station

Drawing: 2023-08512-230 Corridor Plan (C-01) 2024.06.27 Shared Infrastructure, C-01, Saved By: Gidion, Date: 7/15/2024, 3:03:38 PM  
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SHARED INFRASTRUCTURE EXHIBIT H  
Layout C-Lift Station / Force Main

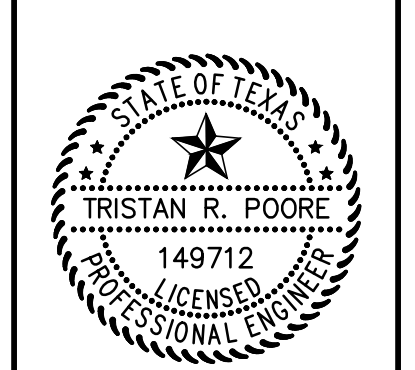
**ENCLAVE AT CANYON RANCH**  
CITY OF CORINTH, DENTON COUNTY, TEXAS  
OUT OF THE  
M.E.P. & P.R.R SURVEY, ABSTRACT NO. 915

<b>DEVELOPMENT MANAGER</b> Tripointe Homes 6201 W Plano Pkwy Suite 160, Plano, TX 75093 (844) 760-5626	<b>DEVELOPMENT MANAGER</b> Michael Ingle 3971 Summerset Ridge Corinth, TX 75093 (972) 836-2919
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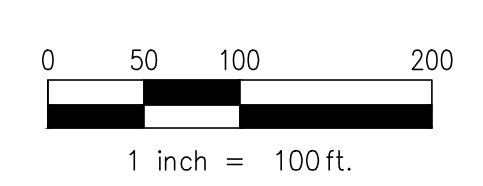
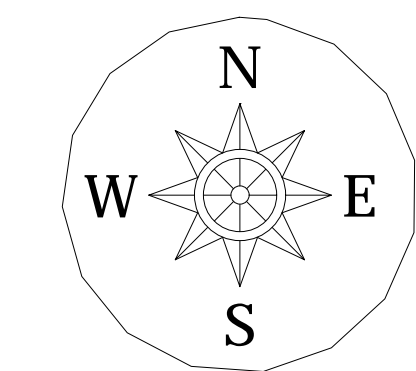
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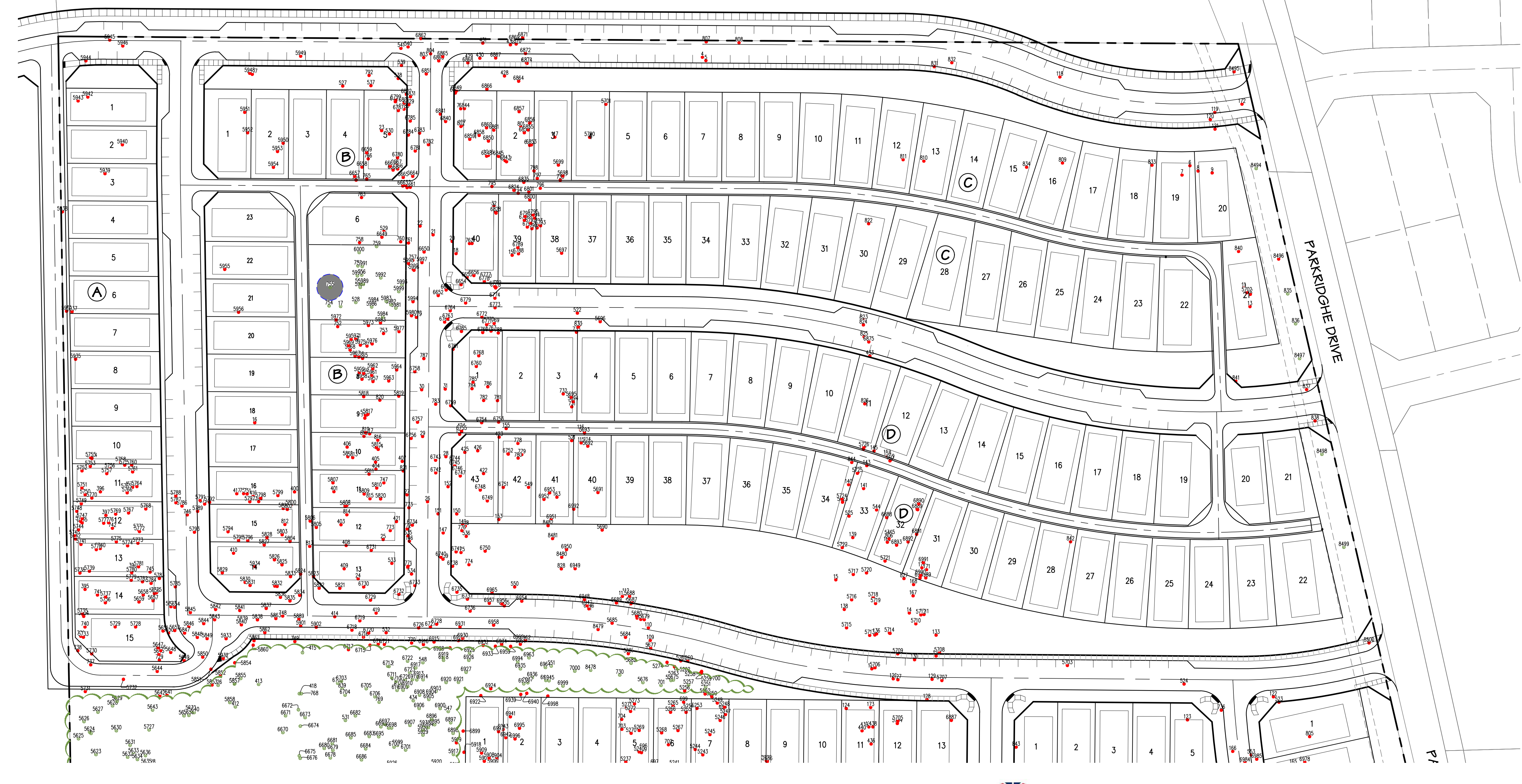


**ENCLAVE AT CANYON RANCH**  
CITY OF CORINTH  
DENTON COUNTY, TEXAS  
**TREE PRESERVATION PLAN**



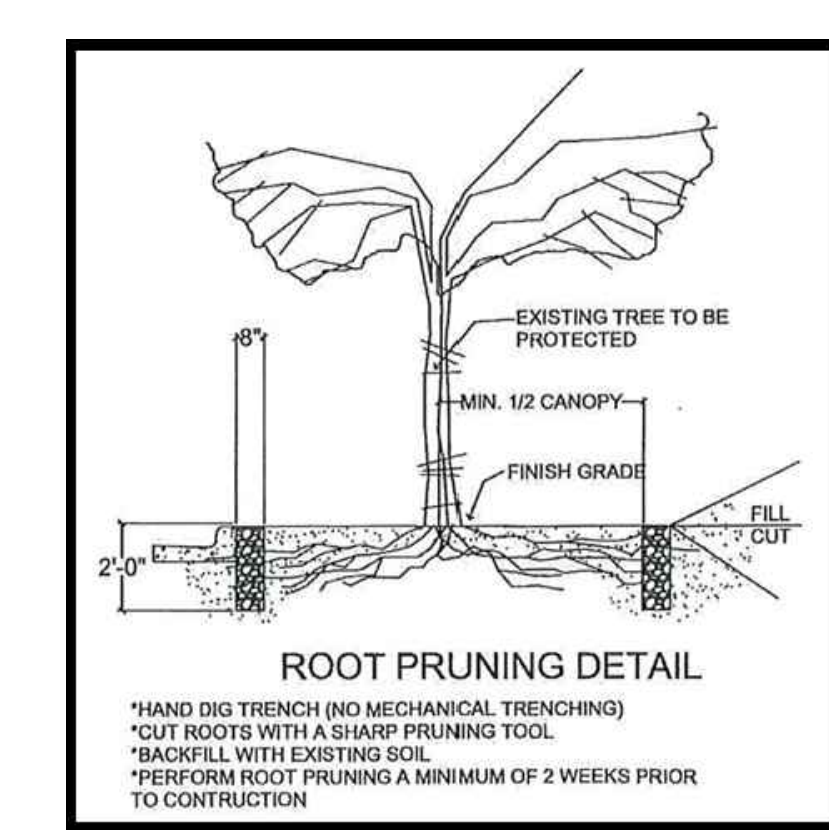
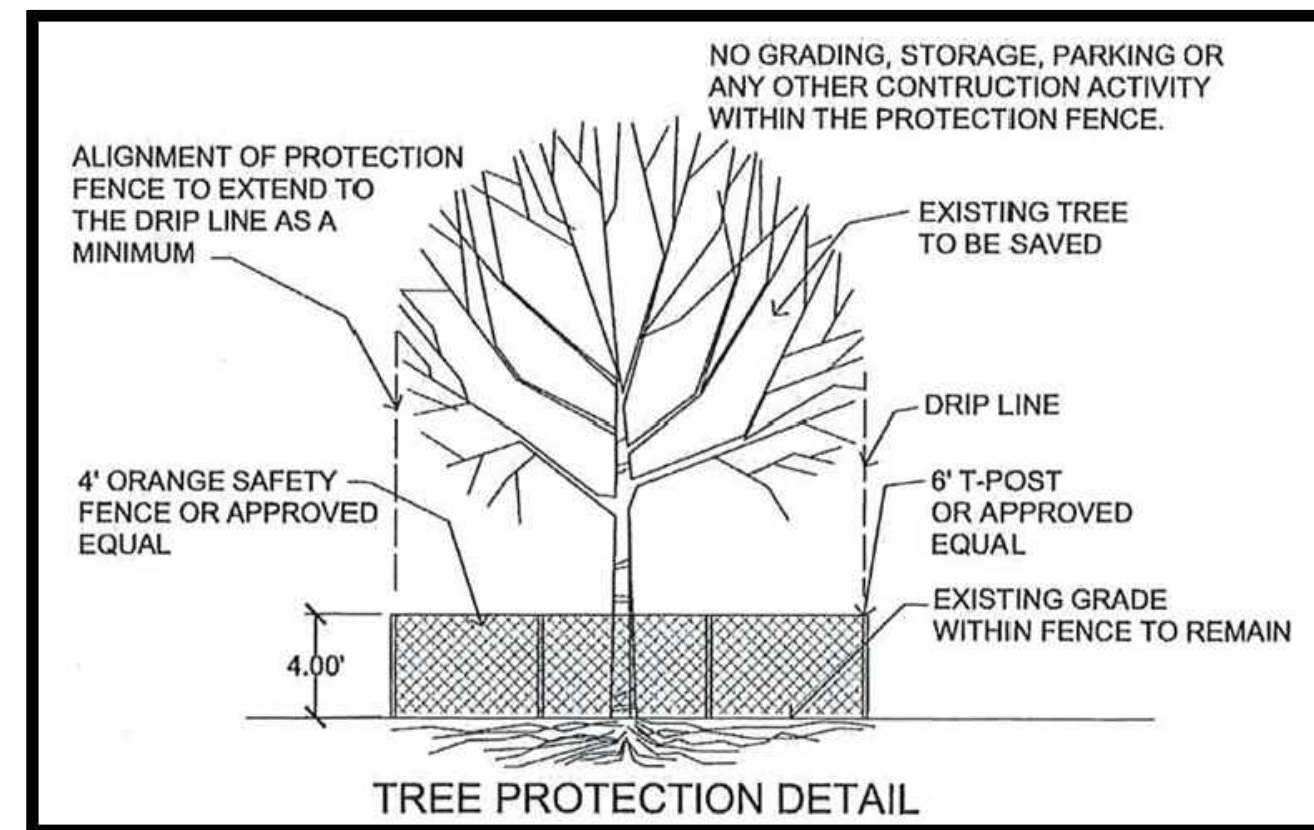
**LEGEND**

- = Remove Tree
- = Preserve Tree
- = Tree Protection Fencing
- = Tree Preservation Limits



- Notes:
- Standard Deduction Credit: The purpose of the Standard Deduction Credit is to reward preservation efforts where a certain base percentage of Healthy Protected Tree CI are preserved on site and effectively incorporated into overall site design by creating a feature such as common open space or green space and demonstrating conservation and context sensitive design. The deduction credit shall be calculated as follows: When the saved base of Protected Trees CI is greater than 10% then the remaining mitigation may be reduced by an additional 10% e.g., if the base percentage (%) saved = 25% then the mitigation may be reduced by (25% + 10%) = 35% of the remaining mitigation requirements after applicable credits above are applied, with the exception of mitigation required for Heritage Trees removed which is capped at 50% credit as noted in Subsection 2.09.02.G.4. above.
  - Saved Healthy Protected Tree Base Credit (Fixed rate 10.1% to 15%): Offered at a rate of 1.5:1 (1.5 CI credit for every 1 CI preserved) when a minimum of 10.1% to 15% of the total Healthy Protected Tree CI are preserved on site. Healthy Protected Trees are eligible for credit. Protected Trees preserved and noted in fair condition may be categorized as a "Healthy Protected Tree" provided that a statement of sustained viability is included in the Tree Survey as determined by a Certified Arborist and/or Registered Landscape Architect and may receive a 1.5:1 credit.

ID#	CI	Species	Botanical	Condition	Canopy Radius (feet)	Protection	Preserved	In ROW or Grove?	CI Protected & Preserved	Mitigation	Credit	Mitigation Removed	Mitigation	Heritage Tree Required Mitigation	Tree Value Saved \$	Tree Value Removed \$																														
4542.47	6027.6																																													
<p><b>Summary:</b></p> <ul style="list-style-type: none"> <li>Total CI On Site: 33,286.5</li> <li>Total CI Off Site: 33,286.5</li> <li>Total CI Protected: 33,286.5</li> <li>Total CI Protected &amp; Preserved: 33,286.5</li> <li>Heritage Trees: 2,150</li> <li>Total CI Protected Removed: 24,000.0</li> <li>Total CI Preserved (including Un-protected): 3,286.5</li> <li>Total Credit: 35,450.0</li> <li>Total Mitigation: 25,115.9</li> <li>Grove Mitigation: 10,334.2</li> <li>Bonus Credit (0.5:1 CI for all Grove trees): 4,492.0</li> <li>Public ROW Credits (20% within ROW): 1,055.0</li> <li>Throughfare Credits: 1,055.0</li> <li>Mitigation Subtotal: 16,483.3</li> <li>Standard Deduction Credit: 32.5%</li> <li>Net Mitigation: 10,334.2</li> <li>Min. Heritage Tree Mitigation: 10,334.2</li> <li>Mitigation Amount Required - with 37.45/793490212% Reduction Grove &amp; ROW Credit: NA</li> <li>Developer Owns City: S/C/I 100.0</li> </ul>																																														
<p><b>Heritage Trees:</b></p> <table border="1"> <thead> <tr> <th>ID#</th> <th>CI</th> <th>Species</th> <th>Botanical</th> <th>Condition</th> <th>Canopy Radius (feet)</th> <th>Protection</th> <th>Preserved</th> <th>In ROW or Grove?</th> <th>CI Protected &amp; Preserved</th> <th>Credit</th> <th>Mitigation</th> <th>Heritage Tree Required Mitigation</th> <th>Tree Value Saved \$</th> <th>Tree Value Removed \$</th> </tr> </thead> <tbody> <tr> <td>750</td> <td>48.8</td> <td>Pecan</td> <td>Carya illinoensis</td> <td>Fair</td> <td>32</td> <td>Protected</td> <td>Preserved</td> <td>Grove</td> <td>48.8</td> <td>6</td> <td>268.4</td> <td></td> <td>\$ 40,200.00</td> <td>\$</td> </tr> </tbody> </table>																	ID#	CI	Species	Botanical	Condition	Canopy Radius (feet)	Protection	Preserved	In ROW or Grove?	CI Protected & Preserved	Credit	Mitigation	Heritage Tree Required Mitigation	Tree Value Saved \$	Tree Value Removed \$	750	48.8	Pecan	Carya illinoensis	Fair	32	Protected	Preserved	Grove	48.8	6	268.4		\$ 40,200.00	\$
ID#	CI	Species	Botanical	Condition	Canopy Radius (feet)	Protection	Preserved	In ROW or Grove?	CI Protected & Preserved	Credit	Mitigation	Heritage Tree Required Mitigation	Tree Value Saved \$	Tree Value Removed \$																																
750	48.8	Pecan	Carya illinoensis	Fair	32	Protected	Preserved	Grove	48.8	6	268.4		\$ 40,200.00	\$																																



**EXHIBIT I - Tree Preservation**

**CAUTION !!!**  
**EXISTING UTILITIES**

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION. TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

CALL TEXAS ONE-CALL 811 OR OTHER UTILITY LOCATION SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. SPIARS ENGINEERING, INC. IS NOT RESPONSIBLE FOR KNOWING ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS OF UTILITIES ON DRAWINGS.

Date	Revisions

Scale: 1"=80'

Drawn By: SEO

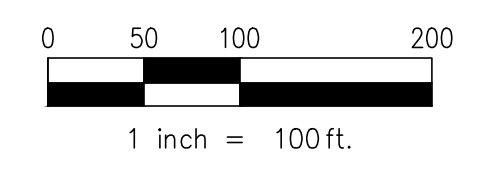
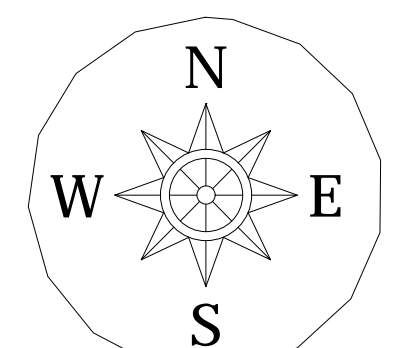
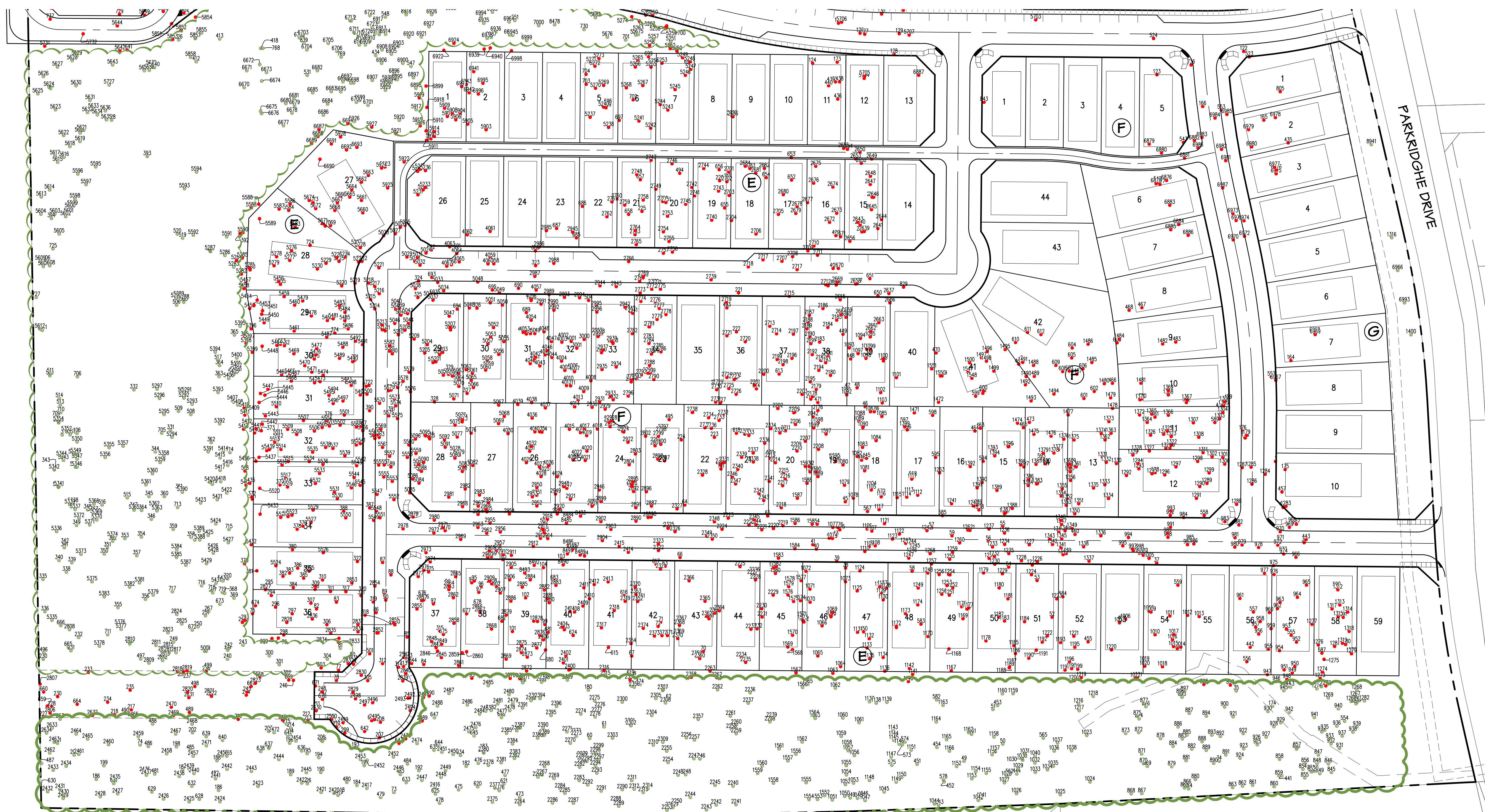
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**Sheet 1**

SEI No. 24-067

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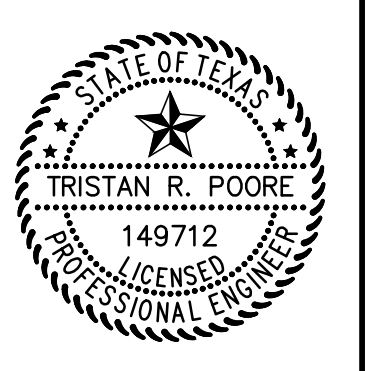


**LEGEND**

- = Remove Tree
- = Preserve Tree
- = Tree Protection Fencing
- = Tree Preservation Limits

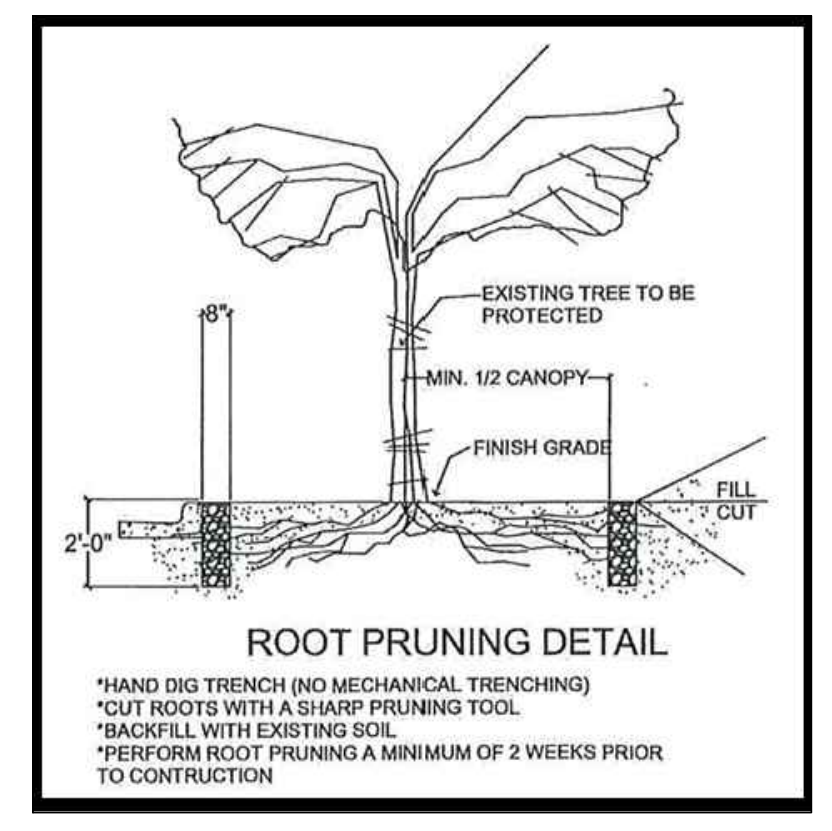
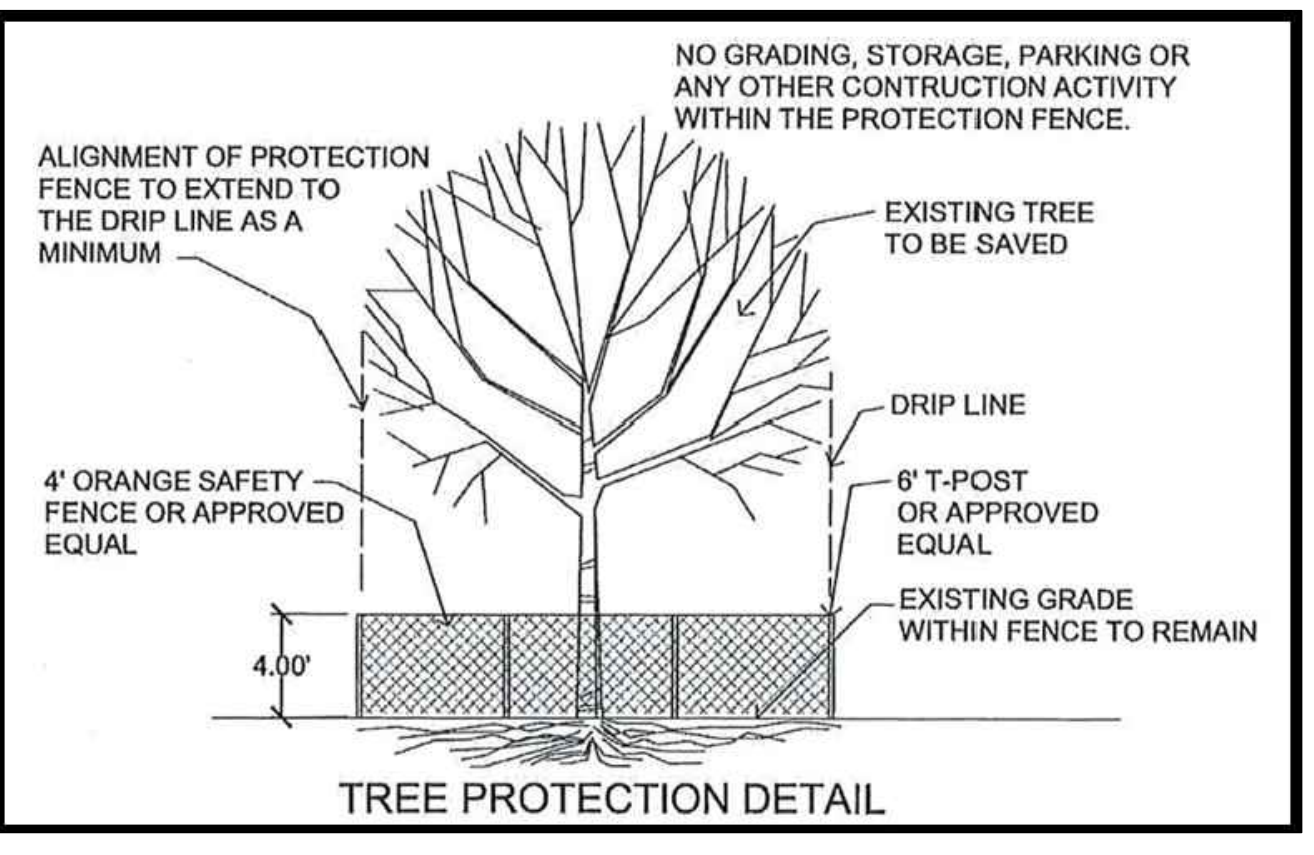
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TBP# No. F-2121 • TBLPS No. F-10043100 • www.spiarseng.com



**ENCLAVE AT CANYON RANCH**  
CITY OF CORINTH  
DENTON COUNTY, TEXAS  
**TREE PRESERVATION PLAN**

ID#	EI	Species	Botanical	Condition	Canopy Radius (feet)	Protection	Preserved	In ROW or Grove?	CI Protected & Preserved	Multiplier Preserved	Credit	Multiplier Removed	Mitigation	Heritage Tree Required Mitigation	Tree Value Saved \$	Tree Value Removed \$
4542.47							6227.6									
<p><b>TOTALS:</b></p> <ul style="list-style-type: none"> <li>Total CI: 33,086.9</li> <li>Total CI On Site: 33,086.9</li> <li>Total CI Protected: 33,086.9</li> <li>Total CI Protected &amp; Preserved: 33,086.9</li> <li>Total CI Protected &amp; Preserved (including Un-protected): 33,086.9</li> <li>Total Credit: 33,086.9</li> <li>Total Mitigation: 33,086.9</li> </ul>																



**CAUTION !!!**  
**EXISTING UTILITIES**

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION. TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

CALL TEXAS ONE-CALL 811 OR OTHER UTILITY LOCATION SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. SPIARS ENGINEERING, INC. IS NOT RESPONSIBLE FOR KNOWING ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS OF UTILITIES ON DRAWINGS.

Date	Revisions

Scale: 1"=80'

Drawn By: SEO

Checked By: TRP

**Sheet 2**

SEI No. 24-067

Drawn: 0.0201.0003.0001.001 (Tree Preservation) - 2.0000.dwg | Sheet: 2 of 2 | Date: 7/12/2024 | 3:52:05 PM  
 Plotted By: sparseng | Date: 7/12/2024 | 3:52:05 PM



Table with columns: ID#, CI, Species, Botanical, Condition, Canopy Retention, Protection, In Row of Growth, etc. Includes a CORINTH PLANNING & DEVELOPMENT logo.

Table with columns: ID#, CI, Species, Botanical, Condition, Canopy Retention, Protection, In Row of Growth, etc. Includes a CORINTH PLANNING & DEVELOPMENT logo.

Table with columns: ID#, CI, Species, Botanical, Condition, Canopy Retention, Protection, In Row of Growth, etc. Includes a CORINTH PLANNING & DEVELOPMENT logo.

SPARS ENGINEERING & SURVEYING logo and contact information. Includes a circular seal for Tristan R. Poore, Registered Professional Engineer.

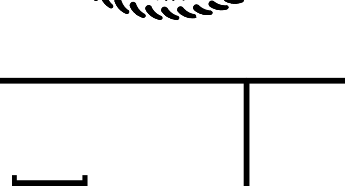
ENCLAVE AT CANYON RANCH CITY OF CORINTH, TEXAS TREE PRESERVATION PLAN

Date, Revisions, Scale: 1"=80', Drawn By: SEO, Checked By: TRP, Sheet 3, SEI No. 24-067



SPARS ENGINEERING & SURVEYING

149712 TEXAS LICENSED PROFESSIONAL ENGINEER



ENCLAVE AT CANYON RANCH CITY OF CORINTH DENTON COUNTY, TEXAS TREE PRESERVATION PLAN

Date Revisions

Scale: 1"=80' Drawn By: SEO Checked By: TRP Sheet 4 SEI No. 24-067

Table with columns: ID#, CI, Species, Botanical, Condition, Copyy Radius (Feet), Protection, Preserved, In ROW or Groove?, etc. Contains tree inventory data for the left side of the site.

Table with columns: ID#, CI, Species, Botanical, Condition, Copyy Radius (Feet), Protection, Preserved, In ROW or Groove?, etc. Contains tree inventory data for the middle section of the site.

Table with columns: ID#, CI, Species, Botanical, Condition, Copyy Radius (Feet), Protection, Preserved, In ROW or Groove?, etc. Contains tree inventory data for the right side of the site.

Table with columns: ID#, CI, Species, Botanical, Condition, Copyy Radius (Feet), Protection, Preserved, In ROW or Groove?, etc. Contains tree inventory data for the far right side of the site.

Source: www.spars.com Date: 7/2/2024 10:58 AM

Source: www.spars.com Date: 7/2/2024 2:50:24 PM

Source: www.spars.com Date: 7/2/2024 2:50:24 PM





Table with columns: ID#, CI, Species, Botanical, Condition, In ROW or Grove?, CP Protected & Preserved, Multiplier Preserved, Credit, Multiplier Removed, Mitigation, Heritage Tree Required Mitigation, Tree Value Seed \$, Tree Value Removed \$.

Table with columns: ID#, CI, Species, Botanical, Condition, In ROW or Grove?, CP Protected & Preserved, Multiplier Preserved, Credit, Multiplier Removed, Mitigation, Heritage Tree Required Mitigation, Tree Value Seed \$, Tree Value Removed \$.

Table with columns: ID#, CI, Species, Botanical, Condition, In ROW or Grove?, CP Protected & Preserved, Multiplier Preserved, Credit, Multiplier Removed, Mitigation, Heritage Tree Required Mitigation, Tree Value Seed \$, Tree Value Removed \$.

SPARS ENGINEERING & SURVEYING logo and contact information: 765 Cluster Road, Suite 100, Plano, TX 75075, 972-422-0077, www.splanseng.com



ENCLAVE AT CANYON RANCH CITY OF CORINTH DENTON COUNTY, TEXAS TREE PRESERVATION PLAN

Scale: 1"=80', Drawn By: SEO, Checked By: TRP, Sheet 5, SEI No. 24-067





Table with columns: ID#, CI, Species, Botanical, Condition, Canopy (Feet), Protection, Preserved, In ROW or Grown?, C/Protected/Preserved, Multiplier, Credits, Multiplier Removed, Mitigation, Heritage Tree Required Mitigation, Tree Value Saved \$, Tree Value Removed \$.

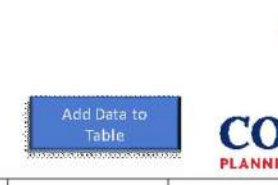
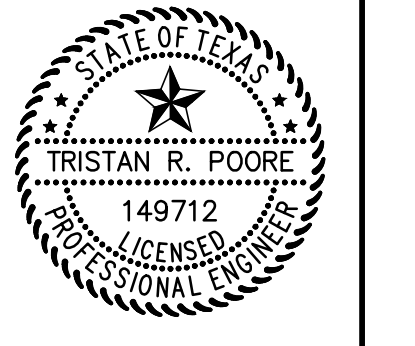


Table with columns: ID#, CI, Species, Botanical, Condition, Canopy (Feet), Protection, Preserved, In ROW or Grown?, C/Protected/Preserved, Multiplier, Credits, Multiplier Removed, Mitigation, Heritage Tree Required Mitigation, Tree Value Saved \$, Tree Value Removed \$.



Table with columns: ID#, CI, Species, Botanical, Condition, Canopy (Feet), Protection, Preserved, In ROW or Grown?, C/Protected/Preserved, Multiplier, Credits, Multiplier Removed, Mitigation, Heritage Tree Required Mitigation, Tree Value Saved \$, Tree Value Removed \$.

SPAINARS ENGINEERING & SURVEYING logo and contact information: 765 Cluster Road, Suite 100, Plano, TX 75075, 972-422-0077, www.spainars.com



ENCLAVE AT CANYON RANCH CITY OF CORINTH DENTON COUNTY, TEXAS TREE PRESERVATION PLAN

Scale: 1"=80', Drawn By: SEO, Checked By: TRP, Sheet 6, SEI No. 24-067



SPIRARS ENGINEERING & SURVEYING

765 Cluster Road, Suite 100 Plano, TX 75075



ENCLAVE AT CANYON RANCH CITY OF CORINTH, TEXAS

DATE REVISIONS Scale: 1"=80' Drawn By: SEO Checked By: TRP Sheet 7 SEI No. 24-067

Table with 16 columns: ID#, CI, Species, Botanical, Condition, Canopy Cover (%), Preservation, In ROW or Groves?, CI Protected & Preserved, Multiplier Preserved, Credit, Multiplier Removed, Mitigation, Heritage Tree Required Mitigation, Tree Value Saved \$, Tree Value Removed \$.

Table with 16 columns: ID#, CI, Species, Botanical, Condition, Canopy Cover (%), Preservation, In ROW or Groves?, CI Protected & Preserved, Multiplier Preserved, Credit, Multiplier Removed, Mitigation, Heritage Tree Required Mitigation, Tree Value Saved \$, Tree Value Removed \$.

Table with 16 columns: ID#, CI, Species, Botanical, Condition, Canopy Cover (%), Preservation, In ROW or Groves?, CI Protected & Preserved, Multiplier Preserved, Credit, Multiplier Removed, Mitigation, Heritage Tree Required Mitigation, Tree Value Saved \$, Tree Value Removed \$.





ENCLAVE AT CANYON RANCH
CITY OF CORINTH, TEXAS
TREE PRESERVATION PLAN

Date:
Revisions:
Scale: 1"=80'
Drawn By: SEO
Checked By: TRP
Sheet 8
SEI No. 24-067

Table with columns: ID#, CI, Species, Botanical, Condition, Density, Protection, Preserved, In ROW or Grows?, CI Protected & Preserved, Multiplier Preserved, Credits, Multiplier Removed, Mitigation, Heritage Tree Required Mitigation, Tree Value Saved \$, Tree Value Removed \$.

Table with columns: ID#, CI, Species, Botanical, Condition, Density, Protection, Preserved, In ROW or Grows?, CI Protected & Preserved, Multiplier Preserved, Credits, Multiplier Removed, Mitigation, Heritage Tree Required Mitigation, Tree Value Saved \$, Tree Value Removed \$.

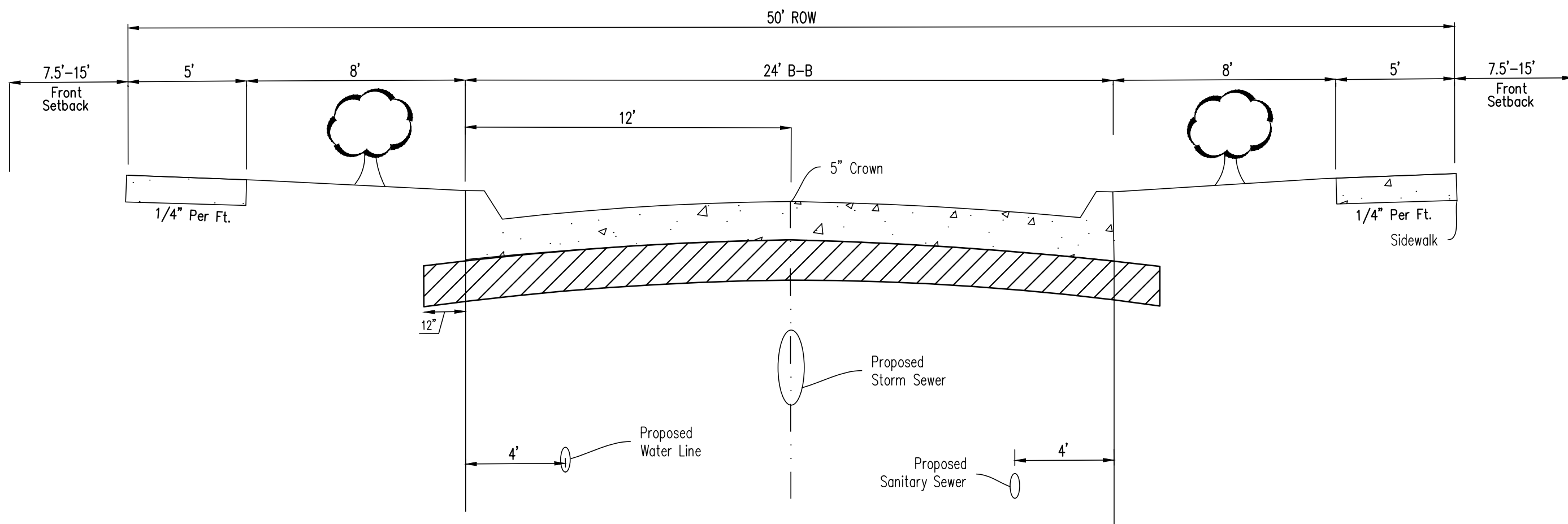
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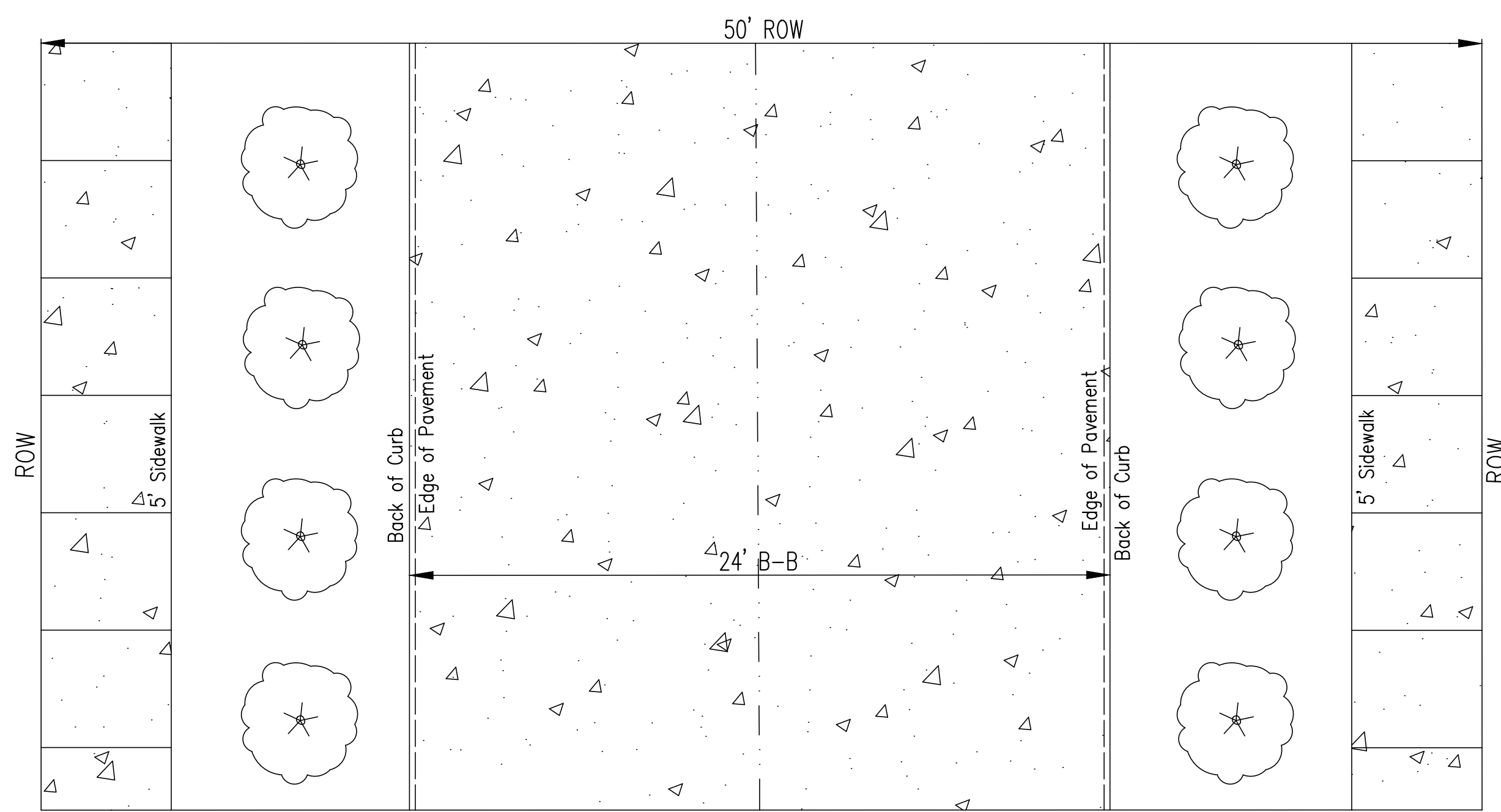




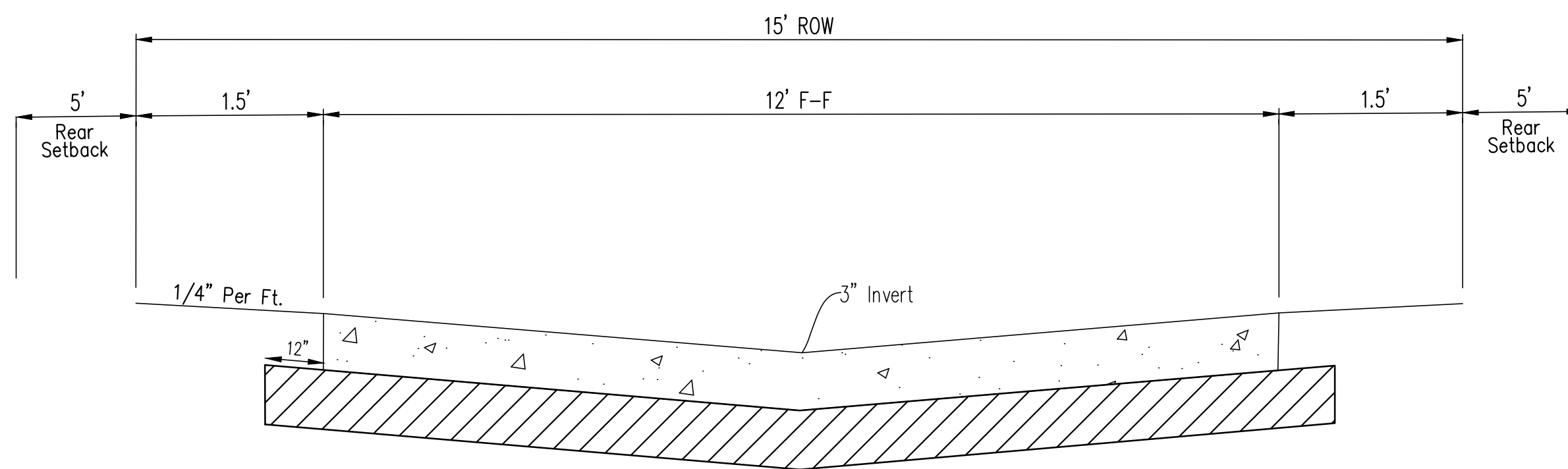
# TYPICAL STREET SECTION DETAILS



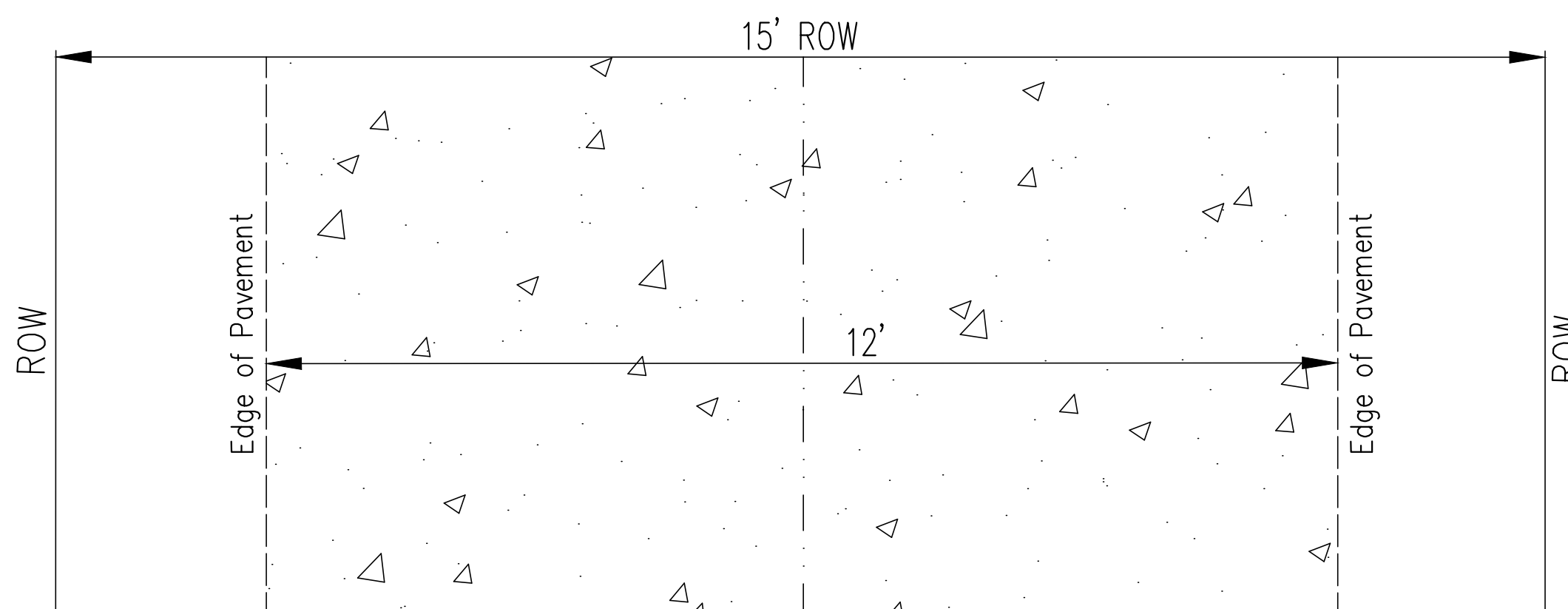
**Typical Residential  
w/o Parallel Parking  
Section View**  
Not To Scale



**Typical Residential  
w/o Parallel Parking  
Plan View**  
Not To Scale



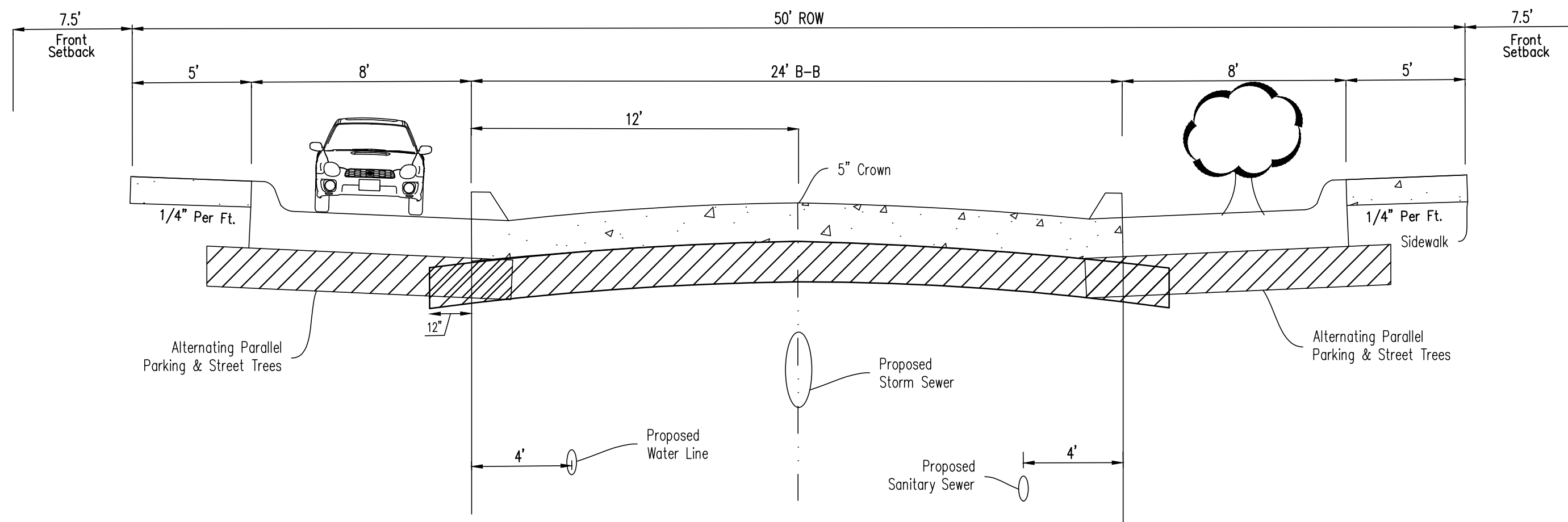
**Typical Alley  
Section View**  
Not To Scale



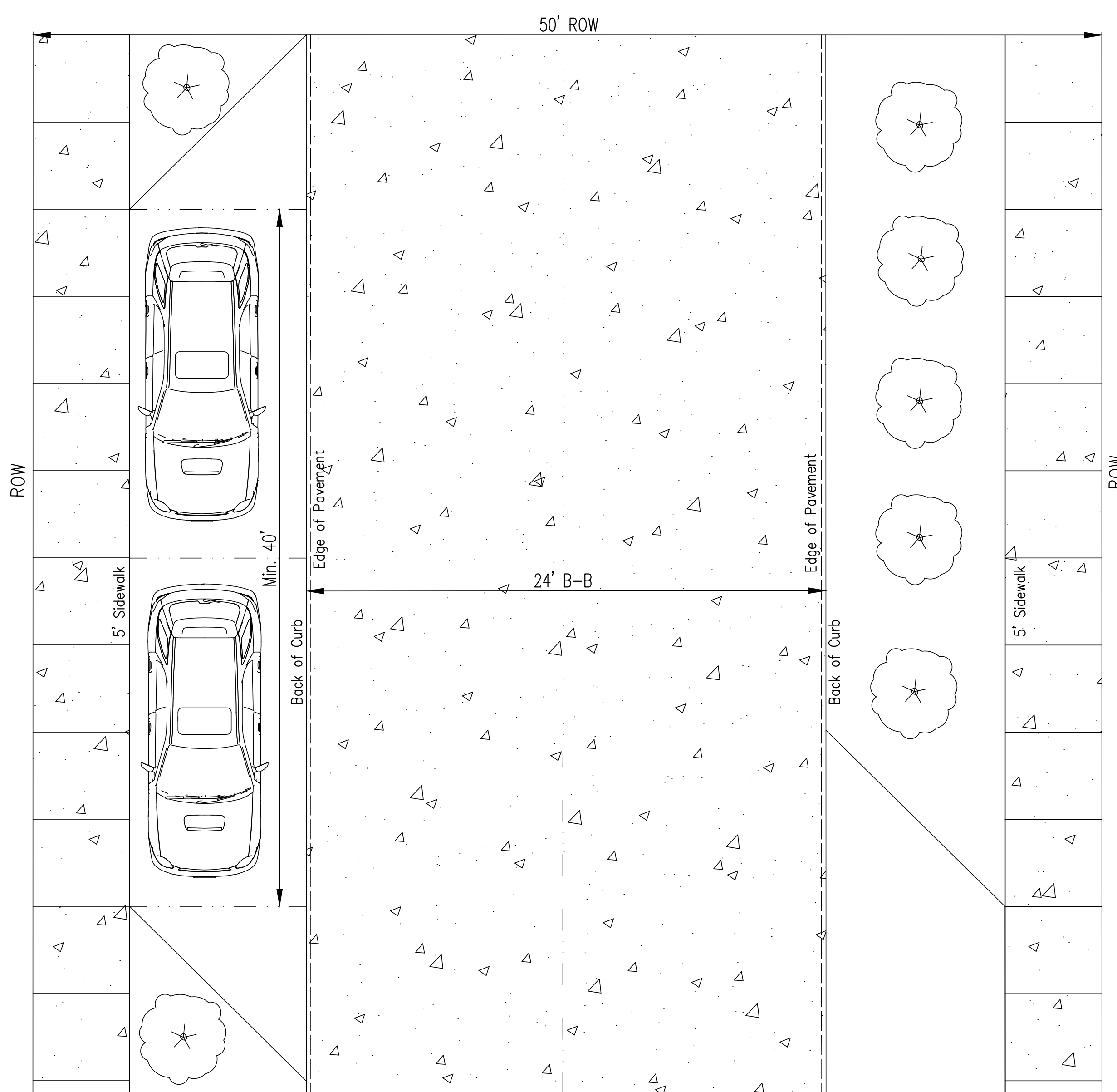
**Typical Alley  
Plan View**  
Not To Scale



# TYPICAL STREET SECTION DETAILS



**Typical Residential  
w/ Parallel Parking  
Section View**  
Not To Scale

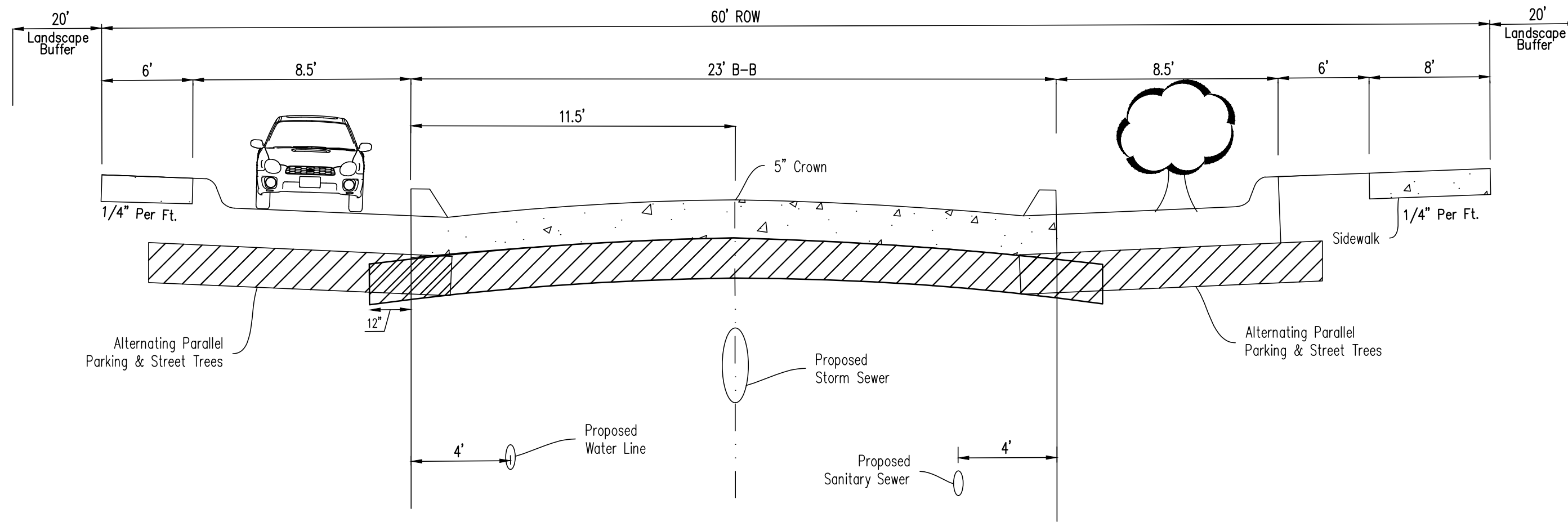


**Typical Residential  
w/ Parallel Parking  
Plan View**  
Not To Scale

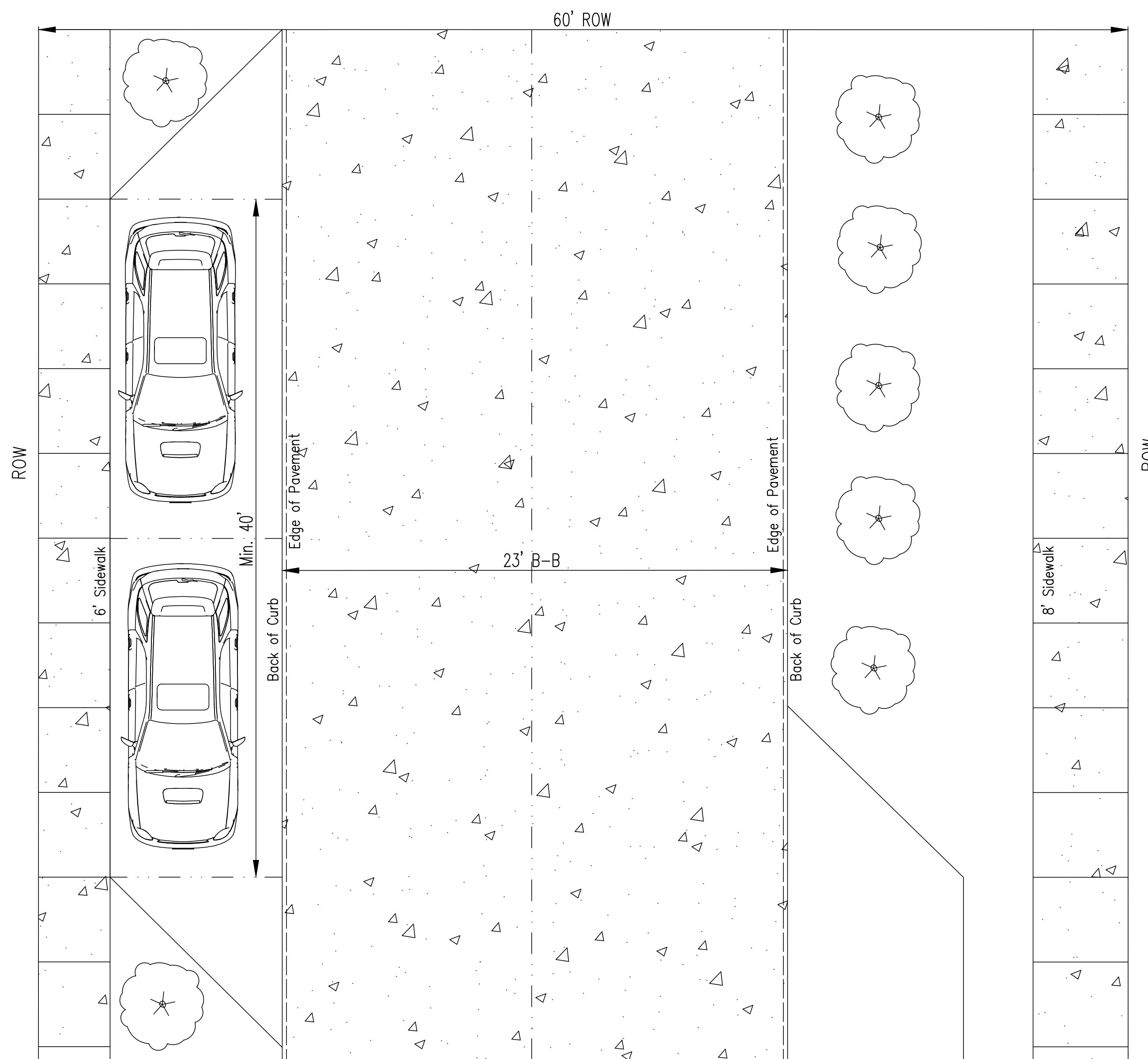
Exhibit J TYPICAL STREET SECTION DETAILS  
**ENCLAVE AT CANYON RANCH**  
 CITY OF CORINTH, DENTON COUNTY, TEXAS



# TYPICAL STREET SECTION DETAILS



**Typical Collector  
w/ Parallel Parking  
Section View**  
Not To Scale

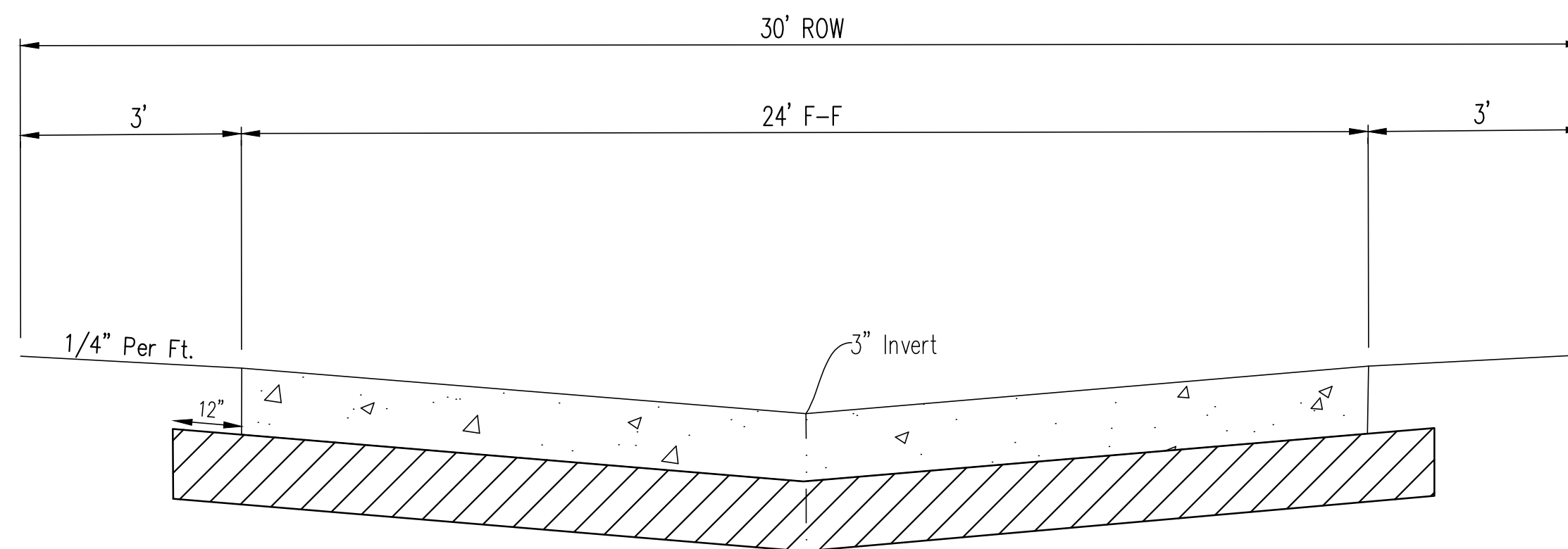


**Typical Collector  
w/ Parallel Parking  
Plan View**  
Not To Scale

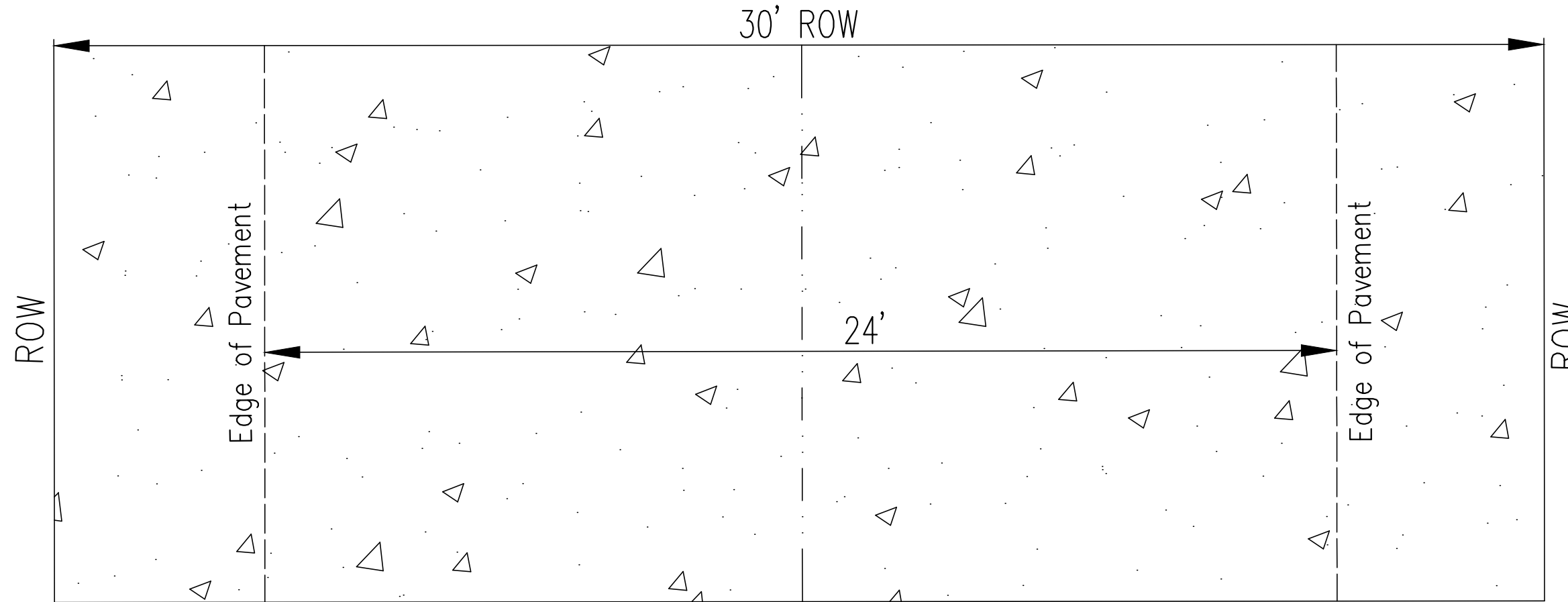
Exhibit J TYPICAL STREET SECTION DETAILS  
**ENCLAVE AT CANYON RANCH**  
 CITY OF CORINTH, DENTON COUNTY, TEXAS



# TYPICAL STREET SECTION DETAILS



**Typical Fire Lane  
Section View**  
Not To Scale



**Typical Fire Lane  
Plan View**  
Not To Scale


Exhibit J TYPICAL STREET SECTION DETAILS  
**ENCLAVE AT CANYON RANCH**  
 CITY OF CORINTH, DENTON COUNTY, TEXAS



**Tri Pointe Homes DFW, LLC**  
**6201 W. Plano Parkway, Suite 150**  
**Plano, Tx. 75093**  
**(214) 876-2559**

July 18, 2024

Via email michael@quicksetconcrete.com

Michael Ingle, President  
Long Lake Development LLC  
First Capital Texas LLC  
3971 Summit Ridge Drive  
Corinth, Tx.  Please add: TX, zip code

Re: Enclave at Canyon Ranch Development Shared Infrastructure

Dear Michael,

Following up our prior conversations, attached is a concept plan of our Enclave at Canyon Ranch proposed development in Corinth, TX. Highlighted on Exhibit H are areas on your property where we propose to construct roadway and utility infrastructure to serve our tracts (Reference Exhibit H comprised of separate sheets as presented in Layouts A, B, and C depicting shared infrastructure which includes a Public Street, Alley, and Lift Station/Force Main, respectively).

The City of Corinth has requested a letter from you as Authorized Officer of the two adjacent tracts with your acknowledgement to consent to the proposed alignment of these streets and obligation for future dedication of such rights-of-way and easements to be provided prior to the Civil Engineering Plan approval for the Enclave at Canyon Ranch development to ensure that the subsequent Civil Engineering Plans account for these off-site improvements which are integral to the overall design and function of public improvements for the aforementioned development and shared infrastructure as depicted in Exhibit H.

Please sign below and return a copy to me for our resubmittal to the City of zoning comments.

Thank you for your cooperation on this matter.



Bruce French, Vice President  
Tri Pointe Homes DFW, LLC

Please date the agreement

Agreed on July  2024

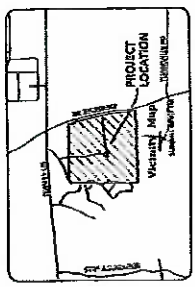


Michael Ingle, President  
Long Lake Development LLC



Michael Ingle, President  
First Capital Texas LLC



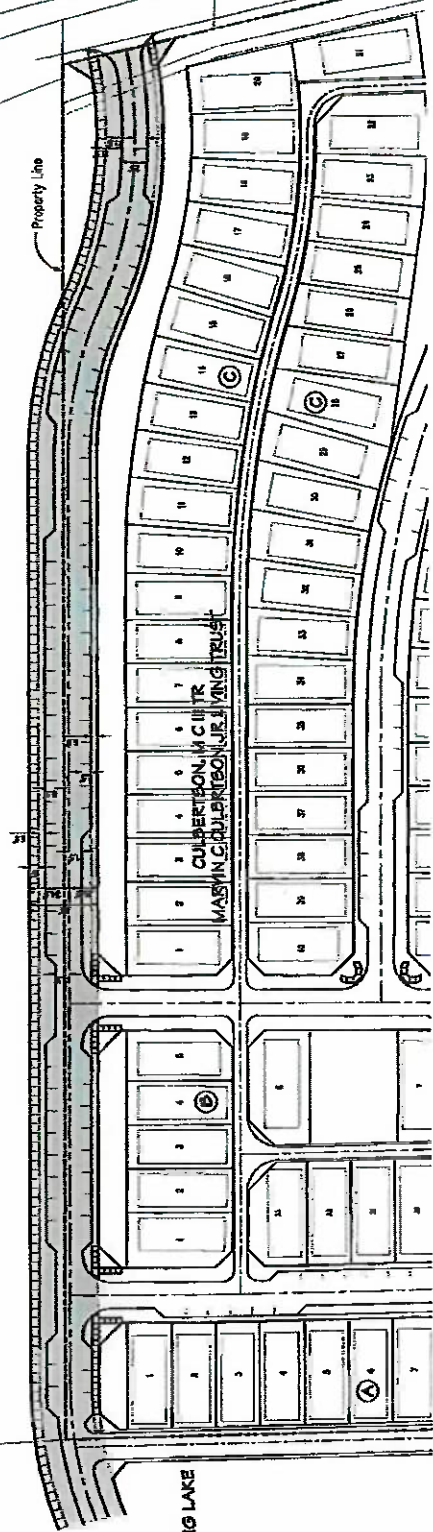


TEAGLEY DRIVE

FIRST CAPITAL, TEXAS LLC

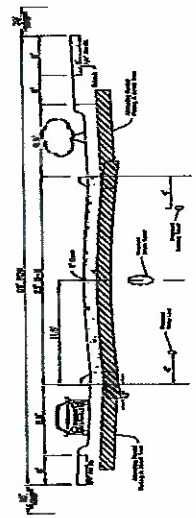
LENNON CREEK ADDITION  
VOL. 2021, PG. 4-15

LENNON DR



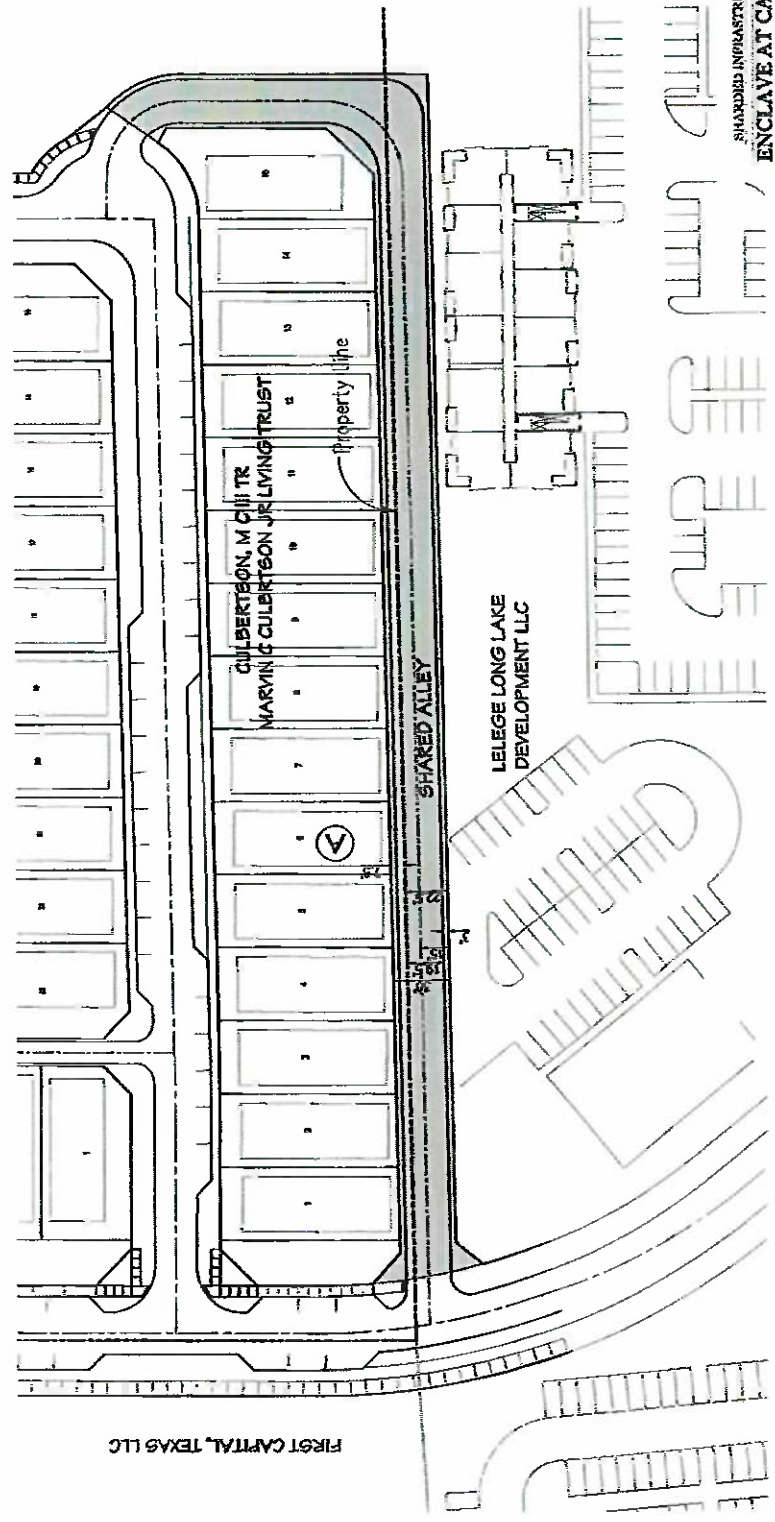
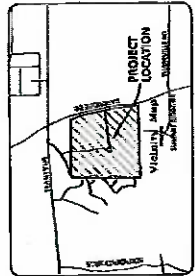
LELEGE LONG LAKE

SHARED INFRASTRUCTURE EXHIBIT A  
**ENCLAVE AT CANYON RANCH**  
CITY OF CORINTH, DEKALB COUNTY, GEORGIA  
M.E.P. & P.R.R. SURVEY, ABSTRACT NO. 815  
DEVELOPMENT MANAGER: DEVELOPMENT MANAGER  
Tripointe Homes / Tripointe Homes  
6201 W Plano Freeway Suite 160, 3971 Summercreek Ridge  
Plano, TX 75093, Corinth, TX 75093  
(844) 760-6646 (972) 656-2933



**SPIARS**  
ENGINEERING & SURVEYING  
100 East Main Street, Suite 100 • Dallas, TX 75202 • 972.972.0077  
1100 West Loop West, Suite 1000 • Irving, TX 75039 • 972.972.0077  
www.spiars.com

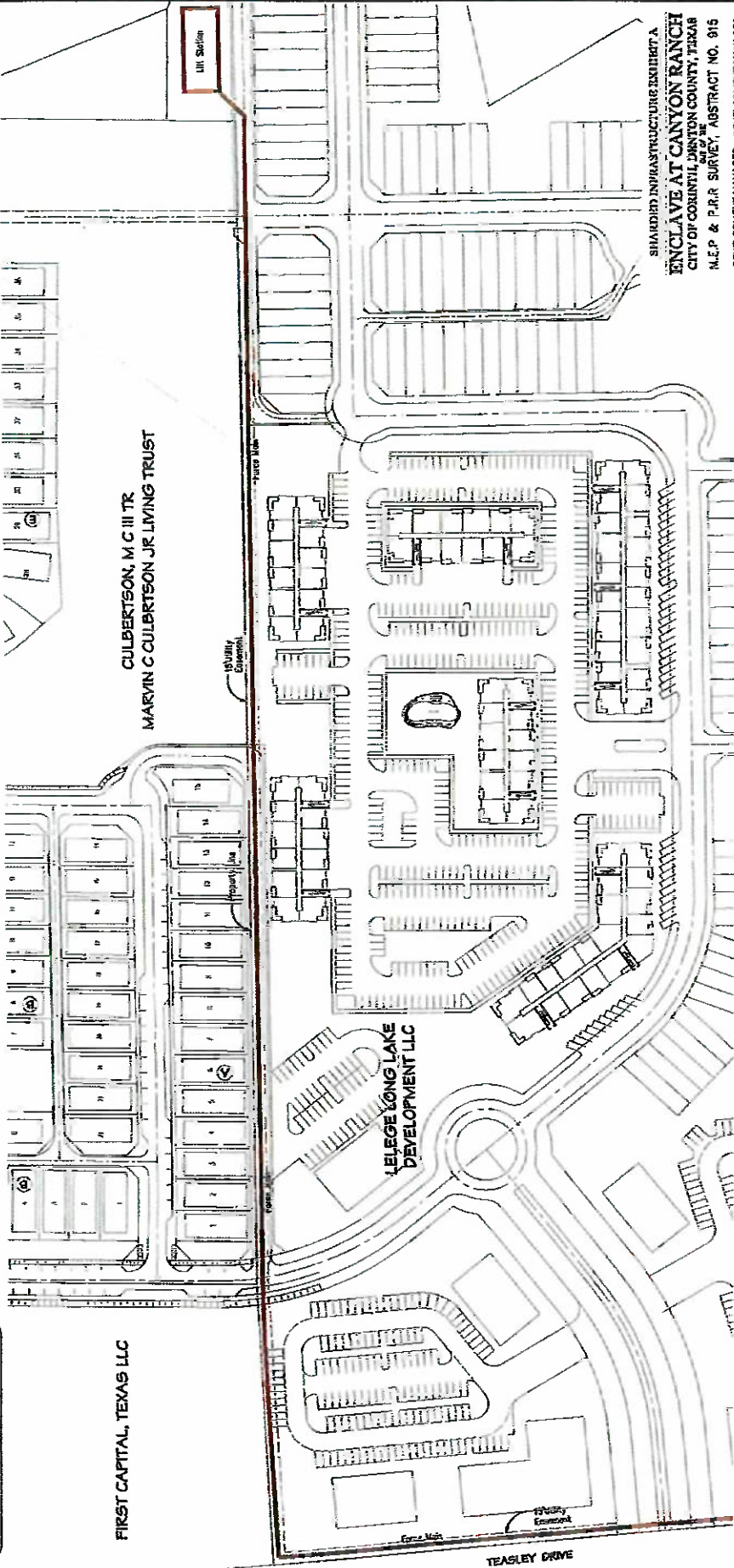
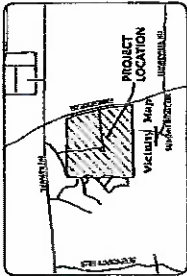




SHARON'S INFRASTRUCTURE CONSULTANTS  
**ENCLAVE AT CANYON RANCH**  
 CITY OF ORBENTHIL DUNSTON COUNTY, TEXAS  
 M.E.P. & P.R.R SURVEY, ABSTRACT NO. 815  
 DEVELOPMENT MANAGER DEVELOPMENT MANAGER  
 Tripinosa Thomas Michael Inge  
 6201 W Plano Pkwy Suite 300, 3971 Summercrest Ridge  
 Plano, TX 75095 Corinth, TX 75095  
 (972) 708-5226 (972) 836-9515  
 ENGINEER / SURVEYOR  
 SPIARS ENGINEERING, INC.  
 765 Claret Road, Suite 100  
 Plano, TX 75075  
 (972) 422-0077

**SPIARS**  
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 765 Claret Road, Suite 100 • Plano, TX 75075 • (972) 422-0077  
 1000 West 142nd St. • Ft. Worth, TX 76104 • (817) 336-1111





SHARED INFRASTRUCTURE EXHIBIT A  
**ENCLAVE AT CANYON RANCH**  
 CITY OF CORINTH, JARVIS COUNTY, TEXAS  
 M.E.P. & P.R. SURVEY, ABSTRACT NO. 815  
 DEVELOPMENT MANAGER: **Michael Lisle**  
 Tipolines Home, 3971 Summit Rd, 200  
 Corinth, TX 75093  
 (844) 780-5625 (872) 836-2910

**ENGINEER / SURVEYOR**  
 Spiars Engineering, Inc.  
 765 Custer Road, Suite 100  
 Plano, TX 75075  
 (972) 425-0877

**SPIARS**  
 ENGINEERING & SURVEYING  
 765 Custer Road, Suite 100, Plano, TX 75075 • (972) 425-0877  
 1100 West 12th • McKinney, TX 75069 • www.spiars.com







**ATTACHMENT 2:**  
**200 FT ZONING BUFFER MAP AND CORRESPONDENCE**  
**FROM PROPERTY OWNERS WITHIN 200' OF THE**  
**SUBJECT PROPERTY**



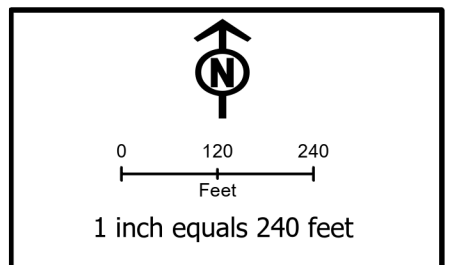
## Proposed Zoning Change

Enclave at Canyon Ranch  
 PD (ZAPD24-0003)

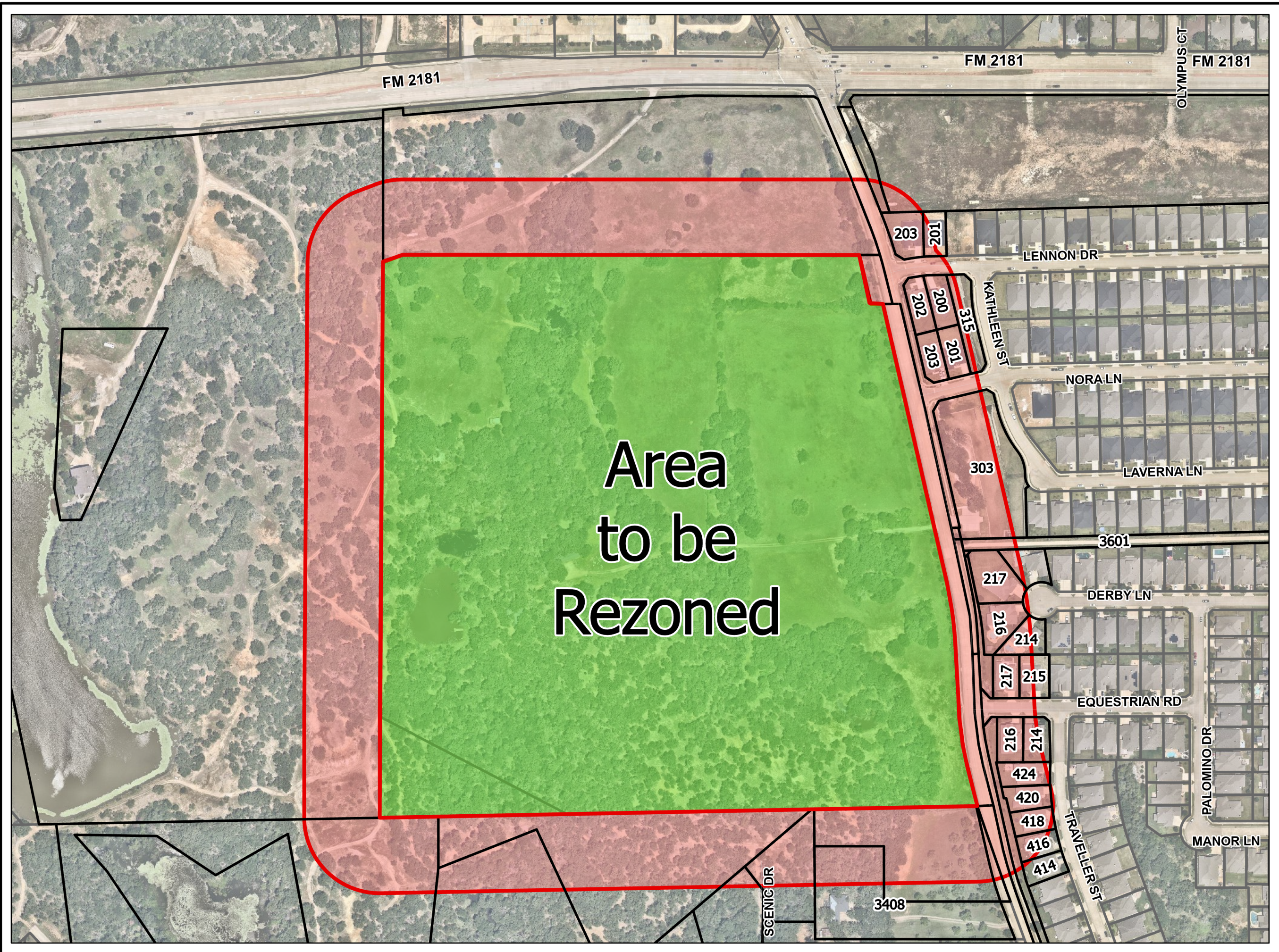
 Area to be Rezoned

 Properties within 200 ft of area proposed to be rezoned from SF-2 Single Family to a Planned Development (PD) with a base zoning district of SF-4 Single Family.

7/2/2024



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Area  
 to be  
 Rezoned





Planning and Zoning Commission Meeting  
Date: **MONDAY, July 22, 2024 at 6:30 P.M.**

City Council Regular Meeting  
Date: **THURSDAY, August 8, 2024 at 6:30 P.M.** \* (see below for additional information)

BY: .....

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208. The meetings will be broadcast live at <https://www.cityofcorinth.com/remotesession>.

**PUBLIC HEARING NOTICE**

Dear Property Owner:

On Monday, July 22, 2024, at 6:30 PM, the City of Corinth Planning & Zoning Commission will conduct a public hearing on the item listed below. Should the Planning & Zoning Commission make a recommendation, the Corinth City Council will conduct a public hearing on Thursday, August 8, 2024, at 6:30 PM and will consider acting on the item listed below. The meetings will be held at the Corinth City Hall, 3300 Corinth Pkwy, Corinth, Texas 76208.

- A rezoning request by the Applicant, Tri Pointe Homes DFW LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family to a Planned Development (PD) with a base zoning district of SF-4 Single Family for the development of ±235 lots on approximately ±48.4 located at 3790 Parkridge Drive. (Case No. ZAPD24-0003 Enclave at Canyon Ranch)

\*The August 8, 2024, City Council Public Hearing will only be held should the Planning & Zoning Commission make a recommendation on July 22, 2024. Additional information regarding this request can be found on the Upcoming Public Hearings page of the City of Corinth website at: <https://www.cityofcorinth.com/planning-development/page/upcoming-public-hearings>

As a property owner within two hundred (200) feet of the area to be rezoned, you are invited to attend this meeting in-person and voice your opinion at the public hearing (please note you are not required to attend).

Additionally, your opinion regarding the request described above may be expressed by notation on this form or by letter. You may support or oppose this request; your opposition will be considered a protest. Signed written comments must be received by the City of Corinth Planning and Development Department at 3300 Corinth Parkway, Corinth, Texas 76208 (3 days prior to public hearing). Signed comments may be scanned and sent by email to Michelle Mixell, Planning Manager, at [planning@cityofcorinth.com](mailto:planning@cityofcorinth.com). Additionally, if you have any questions regarding this request, you may call 940-498-3262 for assistance.

I am writing in (Check as applicable) Support:  Opposition:  of the proposal.

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---

Name/Address/City: **(REQUIRED)**

Signature: **(REQUIRED)**

MC Culbertson III  
(Please Print)  
 3790 Parkridge Dr  
 Corinth, TX

MC Culbertson  
(Signature)