

****PUBLIC NOTICE****



CITY COUNCIL WORKSHOP AND REGULAR SESSION

Thursday, February 20, 2025 at 5:45 PM

City Hall | 3300 Corinth Parkway

View live stream: www.cityofcorinth.com/remotesession

Pursuant to section 551.127, Texas Government Code, one or more council members or employees may attend this meeting remotely using videoconferencing technology.

A. NOTICE IS HEREBY GIVEN of a Workshop Session and Regular Meeting of the Corinth City Council.

B. CALL TO ORDER

C. WORKSHOP AGENDA

- [1.](#) Provide a report on Law Enforcement Grants and Flock Camera System Update.
- [2.](#) Receive a presentation and hold a discussion on the Bike Plan and Complete Streets Program.
- [3.](#) Discuss items on the Regular Session Agenda, including the consideration of Executive Session items.

D. ADJOURN WORKSHOP

E. CALL TO ORDER, INVOCATION, PLEDGE OF ALLEGIANCE & TEXAS PLEDGE

F. CITIZENS COMMENTS

Please limit your comments to three minutes. Comments about any of the Council agenda items are appreciated by the Council and may be taken into consideration at this time or during that agenda item. Council is prohibited from acting on or discussing items brought before them at this time.

G. CONSENT AGENDA

All matters listed under the consent agenda are considered to be routine and will be enacted in one motion. Should the Mayor or a Council Member desire discussion of any item, that item will be removed from the Consent Agenda and will be considered separately.

- [1.](#) Consider and act on minutes from the February 6, 2025, City Council Meeting.
- [2.](#) Consider and act on an Ordinance of the City of Corinth approving an amendment to the fiscal year 2024-2025 budget and annual program of services to carry forward unspent funds from the previous fiscal year for the purchase of fire equipment; and providing an effective date.
- [3.](#) Consider and act on an Ordinance amending Section 52.07, Garbage Collection Fees, of the Corinth Code of Ordinances relating to charges for certain refuse and recycling services; providing that this ordinance shall be cumulative of all ordinances of the City of Corinth; providing a savings clause; and providing an effective date.

H. PUBLIC HEARING

- [4.](#) Conduct a Public Hearing to consider testimony and act on a rezoning request by the Applicant, Brandon Chynoweth, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a

base zoning district of SF-2 Single Family Residential for the development of two (2) lots on approximately ±2.188 acres of land located at 3408 Parkridge Drive. (Case No. ZAPD25-0001: Honey Rock Hill)

5. Conduct a Public Hearing to consider testimony and act on a rezoning request by the Applicant, Bridge Tower Homes LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a base zoning district of SF-4 Single Family Residential for the development of ±97 lots on approximately ±17 acres located at 1960 Post Oak Drive. (Case No. ZAPD24-0010 Saddlebrook Planned Development)
6. Conduct a Public Hearing to consider testimony and act on a city-initiated request to amend Unified Development Code (UDC) Subsection 3.05.16 – Drainage and Storm Water to add a requirement for drainage basins to be designed as retention ponds when located between a building and a street, and/or completely bounded by streets, and/or viewable from a public space. (Case No. ZTA25-0003)
7. Conduct a Public Hearing to consider testimony and act on a city-initiated request to amend Unified Development Code (UDC) Subsection 3.05.19 C –Pedestrian Lighting, to add a new spacing maximum and amend the existing lighting standards. (Case No. ZTA25-0002)
8. Conduct a Public Hearing to consider testimony and act on a city-initiated request to amend Unified Development Code (UDC) Subsections 2.06.02.M – Architectural Standards and 2.06.02 N - Tree Preservation and Landscaping. (Case No. ZTA25-0001)

I. BUSINESS AGENDA

9. Consider and act on approving a Tree Removal Permit for the Oxford at the Boulevard Phase 2 development project located at the northwest corner of Lake Sharon Drive and Corinth Parkway. (Case No. TREE2025-0005: Oxford at the Boulevard Phase 2)

J. COUNCIL COMMENTS & FUTURE AGENDA ITEMS

The purpose of this section is to allow each Council Member the opportunity to provide general updates and/or comments to fellow Council Members, the public, and/or staff on any issues or future events. Also, in accordance with Section 30.085 of the Code of Ordinances, at this time, any Council Member may direct that an item be added as a business item to any future agenda.

K. EXECUTIVE SESSION**

In accordance with Chapter 551, Texas Government Code, Section 551.001, et seq., (the “Texas Open Meetings Act”), the City Council will recess into Executive Session (closed meeting) to discuss the following items. Any necessary final action or vote will be taken in public by the City Council in accordance with this agenda.

Section 551.071 - Legal Advice. (1) Private consultation with its attorney to seek advice about pending or contemplated litigation; and/or settlement offer; and/or (2) a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State of Texas clearly conflict with Chapter 551.

Section 551.087 - Economic Development. To deliberate or discuss regarding commercial or financial information that the governmental body has received from a business prospect that the governmental body seeks to have locate, stay, or expand in or near the territory of the governmental body and with which the governmental body is conducting economic development negotiations; or to deliberate the offer of a financial or other incentive to a business project.

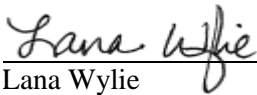
- a. South I-35E and Lake Sharon Drive
- b. Realty Capital

L. RECONVENE IN OPEN SESSION TO TAKE ACTION, IF NECESSARY, ON EXECUTIVE SESSION ITEMS

M. ADJOURN

**The City Council reserves the right to recess into closed session at any time during the course of this meeting to discuss any of the matters posted on this agenda, as authorized by the Texas Open Meetings Act, Texas Government Code, Section 551.071, "Consultation with Attorney" for the purpose of receiving legal advice.

Posted on this 17th day of February 2025, at 4:30 P.M., on the bulletin board at Corinth City Hall.



Lana Wylie
City Secretary
City of Corinth, Texas



CITY OF CORINTH Staff Report

| | | | |
|-------------------------|--|---------------|---|
| Meeting Date: | 2/20/2025 | Title: | Law Enforcement Grants and Flock Safety Camera Update |
| Strategic Goals: | <input type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input checked="" type="checkbox"/> Health & Safety <input checked="" type="checkbox"/> Regional Cooperation <input type="checkbox"/> Attracting Quality Development | | |
| Owner Support: | <input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission | | |

Item/Caption

Provide a report on Law Enforcement Grants and Flock Camera System Update.

Item Summary/Background/Prior Action

As part of the City of Corinth’s Fiscal Year 2024-2025 budget approval process, we identified an essential investment in public safety: implementing Flock Safety License Plate Recognition (LPR) cameras at key locations throughout the City. These innovative cameras will provide crucial alerts of vehicle traffic with license plates entering and navigating our public roadways associated with criminal activity or an NCIC alert, enhancing our capability to ensure safety and security for all residents.

In our budget discussions, the City Council and Staff recognized the potential benefits of pursuing grant funding to offset the costs of implementing the Flock LPR system. The Police Department is currently actively engaging in the grant process, including participating in mandatory grant funding training. While our research indicates that securing funding for Flock LPR presents some challenges and has a low probability of success, the Police Department remains committed to exploring alternative grants for other vital equipment, such as a police unit dedicated to DWI enforcement.

Financial Impact

Budgeted for 2024-25 – Account# 100-2200-57000 \$83,900

Applicable Policy/Ordinance

The Corinth Police Department Flock Camera (being drafted)

Staff Recommendation/Motion

For informational purposes only.



CITY OF CORINTH
Staff Report

| | | |
|-------------------------|--|--|
| Meeting Date: | 2/20/2025 | Title: Presentation Complete Streets and Active Transportation Plan |
| Strategic Goals: | <input type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input type="checkbox"/> Attracting Quality Development | |
| Owner Support: | <input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission | |

Item/Caption

Receive a presentation and hold a discussion on the Bike Plan and Complete Streets Program.

Item Summary/Background/Prior Action

Staff will present on updated ACT recommendations and changes to the UDC based on the new ACT Plan.

The “Envision Corinth” Plan contains the following goals and objectives related to the Active Transportation Plan:

1. Enhance and connect existing trails and sidewalks throughout the City. Enhancing connectivity creates more usable open space within itself but also shifts the scale of these parks from individual parks that must be driven to into connected neighborhood sanctuaries that can be used by all ages. This also contributes towards making these connections more functional outside of recreational uses.

2. Provide safer routes for citizens on foot or on bike focusing around the Interstate 35E area. I-35E creates a hard barrier between two sides of the City that does not allow for any convenient crossing for non-motorized vehicles or pedestrians. This effectively excludes demographics that are young and old. Creating safer routes will increase the usability of these areas and encourage more citizens of all ages to use multi-modal forms of transportation.

The Active Transportation Plan (ATP) contained in “Envision Corinth” identifies areas where infrastructure improvements can be created to generate a safe environment for non-motorized transportation modes throughout Corinth. The ATP calls for future infrastructure to include on-street infrastructure, such as bicycle lanes, and off-street infrastructure which includes side paths and trails. The plan identifies a complete streets program that is a specific type of improvement for each element of the network, with caveats regarding how the treatment would fit within the existing ROW.

Next Steps:

Staff will implement the discussed changes and initiate a future Public Hearing.



CITY OF CORINTH Staff Report

| | | |
|-------------------------|--|---|
| Meeting Date: | 2/20/2025 | Title: Minutes Approval of Meeting Minutes |
| Strategic Goals: | <input type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input type="checkbox"/> Attracting Quality Development | |
| Owner Support: | <input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission | |

Item/Caption

Consider and act on minutes from the February 6, 2025, City Council Meeting.

Item Summary/Background/Prior Action

Attached are the minutes, in draft form, and are not considered official until formally approved by the City Council.

Staff Recommendation/Motion

Staff recommends approval of the minutes.



CITY COUNCIL WORKSHOP AND REGULAR SESSION MINUTES

Thursday, February 06, 2025 at 5:45 PM

City Hall | 3300 Corinth Parkway

View live stream:

**STATE OF TEXAS
COUNTY OF DENTON
CITY OF CORINTH**

On this, the 6th day of February 2025, the City Council of the City of Corinth, Texas, met at Corinth City Hall at 5:45 P.M., located at 3300 Corinth Parkway, Corinth, Texas. The meeting date, time, place, and purpose as required by Title 5, Subtitle A, Chapter 551, Subchapter C, Section 551.041, Government Code, with the following members to wit:

Council Members Present:

- Bill Heidemann, Mayor
- Sam Burke, Mayor Pro Tem
- Scott Garber, Council Member
- Lindsey Rayl, Council Member
- Tina Henderson, Council Member
- Kelly Pickens, Council Member

Staff Members Present:

- Scott Campbell, City Manager
- Lana Wylie, City Secretary
- Patricia Adams, City Attorney
- Wendell Mitchell, Police Chief
- Lee Ann Bunselmeyer, Director of Finance & Strategic Services
- Glenn Barker, Director of Public Works
- Andrea Parker, Communications & Marketing Manager
- Sara Thornhill, Communications Specialist
- Brenton Copeland, Chief Technology Officer
- Presley Sequiera, Technology Services Project Manager

CALL TO ORDER

Mayor Heidemann called the Regular Session Meeting to order at 5:45 P.M.

WORKSHOP AGENDA

1. Receive a report, hold a discussion, and provide staff direction on transitioning the City Website from .com to .gov Domain.

The item was presented and discussed.

2. Receive a report and hold a discussion on H.B. 3186, Texas Youth Diversion and Early Intervention Act.

The item was presented and discussed.

3. Receive a presentation and hold a discussion on the Bike Plan and Complete Streets Program.

The item was not discussed and will be placed on a future agenda.

4. Discuss items on the Regular Session Agenda, including the consideration of Executive Session items.

No items for the Regular Session Agenda were discussed.

ADJOURN WORKSHOP

Mayor Heidemann recessed the Workshop Session at 6:03 P.M.

CALL TO ORDER, INVOCATION, PLEDGE OF ALLEGIANCE & TEXAS PLEDGE

Mayor Heidemann called the Regular Session Meeting to order at 6:07 P.M.

CITIZENS COMMENTS

Please limit your comments to three minutes. Comments about any of the Council agenda items are appreciated by the Council and may be taken into consideration at this time or during that agenda item. Council is prohibited from acting on or discussing items brought before them at this time.

Diane Beck - Folly Beach Drive, Lake Dallas/Hickory Creek

CONSENT AGENDA

All matters listed under the consent agenda are considered to be routine and will be enacted in one motion. Should the Mayor or a Council Member desire discussion of any item, that item will be removed from the Consent Agenda and will be considered separately.

1. Consider and act on minutes from the January 16, 2025, City Council Meeting.
2. Consider and act on a Resolution approving the Investment policy for the City of Corinth, Economic Development Corporation, Fire Control, Prevention and Emergency Services District and the Crime Control & Prevention District.
3. Consider and act on an Ordinance accepting an Access Easement comprised of approximately 0.108 acres and located on Property situated in the B.B.B. & C.R.R Survey, Abstract No. 153, being part of a tract of land conveyed to Long Lake Development, LLC (Document No. 2023-1193962); and authorize the City Manager to execute the necessary documents.
4. Consider and act on an Ordinance accepting the dedication in fee simple of approximately 0.417 Acres of R.O.W. situated in the B.B.B. & C.R.R Survey, Abstract No. 153, being part of a tract of land conveyed to Canyon Ranch – Corinth PC, from Canyon Ranch – Corinth PC; and authorize the City Manager to execute necessary documents.
5. Consider and act on an Ordinance accepting the dedication in fee simple of approximately 1.193 Acres of R.O.W. situated in the M.E.P. & P.P.R. Co. Survey, Abstract No. 915 and in B.B.B. & C.R.R Survey, Abstract No. 153, being part of a tract of land owned by Canyon Ranch – Corinth LP (Document No. 2024-113874), approving a right of way warranty deed conveying the land to the City; and authorize the City Manager to execute the necessary documents.
6. Consider and act on an Ordinance accepting the dedication in fee simple of approximately 0.756 Acres of R.O.W. situated in the M.E.P. & P.P.R. Co. Survey, Abstract No. 915 and in B.B.B. & C.R.R Survey, Abstract

No. 153, being part of a tract of land owned by Long Lake Development, LLC (Document No. 2023-1193962) and First Capital Texas LLC (Document No. 2024-59309), approving a right of way warranty deed conveying the land to the City; and authorize the City Manager to execute the necessary documents.

- 7. Consider and act on an Ordinance accepting a Force Main and Lift Station Easement comprised of approximately 1.106 acres for the Force Main and approximately 0.114 acres for the Lift Station on Property situated in the B.B.B. & C.R.R Survey, Abstract No. 153, being part of a tract of land conveyed to Long Lake Development, LLC, (Document No. 2023-1193962); and authorize the City Manager to execute the necessary documents.
- 8. Consider and act on an Ordinance accepting a Force Main Easement comprised of approximately 0.127 acres and located on Property situated in the B.B.B. & C.R.R Survey, Abstract No. 153, being part of a tract of land conveyed to Canyon Ranch – Corinth PC (Document No. 2024-113874); and authorize the City Manager to execute the necessary documents.

Motion made by Council Member Garber: I motion to approve. Seconded by Council Member Henderson.

Voting Yea: Mayor Pro Tem Burke, Council Member Garber, Council Member Rayl, Council Member Henderson, Council Member Pickens

BUSINESS AGENDA

- 9. Consider and act on an Ordinance of the City of Corinth, Texas, calling for a Joint General Election with Denton County to be held on Saturday, May 3, 2025, for the purpose of electing Council Members for Places 2 and 3, to serve as members of the Corinth City Council; and authorize the City Manager to execute the necessary documents to effectuate the intent of this Ordinance.

Motion made by Mayor Pro Tem Burke: I move to approve the Ordinance calling a General Election to be held on May 3, 2025 for the purpose of electing City Council Members for Places 2 and 3 to the Corinth City Council. Seconded by Council Member Pickens.

Voting Yea: Mayor Pro Tem Burke, Council Member Garber, Council Member Rayl, Council Member Henderson, Council Member Pickens

COUNCIL COMMENTS & FUTURE AGENDA ITEMS

The purpose of this section is to allow each Council Member the opportunity to provide general updates and/or comments to fellow Council Members, the public, and/or staff on any issues or future events. Also, in accordance with Section 30.085 of the Code of Ordinances, at this time, any Council Member may direct that an item be added as a business item to any future agenda.

EXECUTIVE SESSION**

In accordance with Chapter 551, Texas Government Code, Section 551.001, et seq., (the “Texas Open Meetings Act”), the City Council will recess into Executive Session (closed meeting) to discuss the following items. Any necessary final action or vote will be taken in public by the City Council in accordance with this agenda.

Section 551.071 - Legal Advice. (1) Private consultation with its attorney to seek advice about pending or contemplated litigation; and/or settlement offer; and/or (2) a matter in which the duty of the attorney to the government body under the Texas Disciplinary Rules of Professional Conduct of the State of Texas clearly conflict with Chapter 551.

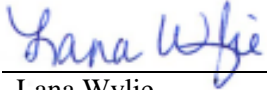
RECONVENE IN OPEN SESSION TO TAKE ACTION, IF NECESSARY, ON EXECUTIVE SESSION ITEMS

There was no Executive Session.

ADJOURN

Mayor Heidemann adjourned the Regular Session Meeting at 6:13 P.M.

Approved by the Council on the _____ day of _____ 2025.



Lana Wylie
City Secretary
City of Corinth, Texas

DRAFT



CITY OF CORINTH
Staff Report

| | | | |
|-------------------------|--|---------------|----------------------------|
| Meeting Date: | 2/20/2025 | Title: | Amendment Fire Equipment |
| Strategic Goals: | <input type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input type="checkbox"/> Attracting Quality Development | | |
| Owner Support: | <input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission | | |

Item/Caption

Consider and act on an Ordinance of the City of Corinth approving an amendment to the fiscal year 2024-2025 budget and annual program of services to carry forward unspent funds from the previous fiscal year for the purchase of fire equipment; and providing an effective date.

Item Summary/Background/Prior Action

The purchase of fire equipment was originally approved in the 2023-2024 budget. Funding was for the purchase of tools and equipment for the tiller truck and aftermarket costs for the battalion chief command vehicle. Due to delays in production, the tools and equipment were not delivered by the end of the previous fiscal year. These funds must be carried over to the current fiscal year to finalize the procurement of the equipment for a total of \$75,614.

Financial Impact

The Annual Program of Services was adopted on September 19, 2024, Ordinance 24-09-19-39 by the City Council.

The budget amendment proposes the reallocation of previously approved funds from the fiscal year 2023-2024 budget of \$75,614 from the General Fund Fire Services budget. This will enable the city to utilize the allocated funds effectively and fulfill the city’s commitment to the project.

Applicable Owner/Stakeholder Policy

Section 9.05 Supplemental Appropriations of the City Charter allows that “if during the fiscal year the City Manager certifies that there are revenues available in excess of those estimated in the budget or funds otherwise available in unencumbered reserves, the Council by ordinance may make supplemental appropriations for the year up to the amount of these available funds.”

Staff Recommendation/Motion

Staff recommends approval of the Ordinance amending the fiscal year 2024-2025 Annual Program of services to carry forward unspent funds from the previous fiscal year for the purchase of fire equipment.

**CITY OF CORINTH, TEXAS
ORDINANCE NO. 25-2-20-XX**

AN ORDINANCE OF THE CITY OF CORINTH, TEXAS APPROVING AN AMENDMENT TO ORDINANCE NO. 24-09-19-39 REGARDING THE FISCAL YEAR 2024-2025 CITY OF CORINTH BUDGET AND ANNUAL PROGRAM OF SERVICES TO PROVIDE FOR FUNDS TO CARRY FORWARD UNSPENT FUNDS FROM THE PREVIOUS FISCAL YEAR FOR THE PURCHASE OF FIRE EQUIPMENT; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Corinth is a home-rule municipality acting under its charter adopted by the electorate pursuant to Article XI, Section 5 of the Texas Constitution and Chapter 9 of the local Government Code; and

WHEREAS, the City Council adopted a budget and appropriated resources for the budget year beginning October 1, 2024, and ending September 30, 2025 by Ordinance No. 24-09-19-38; and

WHEREAS, the current adopted budget for fiscal year 2024-2025 does not have adequate funding to pay \$75,614 for the expenditure of funds for the purchase of fire equipment; and

WHEREAS, the City Council deems it appropriate and necessary to amend the budget to reflect expenditures from the General Fund Balance of \$75,614 for funds to carry forward unspent funds from the previous fiscal year for the purchase of fire equipment; and

WHEREAS, the City Council finds that this budget amendment is consistent with § 9.05 of the City Charter and the proposed change in the budget is for a municipal purpose;

NOW THEREFORE, THE CITY COUNCIL OF THE CITY OF CORINTH HEREBY ORDAINS:

SECTION I

The findings set forth in the above preamble to this Ordinance are true and correct.

SECTION II

Ordinance No. 24-09-19-39 the budget for the fiscal year beginning October 1, 2024, and ending September 30, 2025, shall be amended as follows:

Seventy-Five Thousand Six Hundred and Fourteen Dollars (\$75,614) shall be appropriated into the Expenditures Line Items for the General fund Fire Services budget.

The City of Corinth Budget and Annual Program of Services is hereby amended to increase the General Fund budget by **\$75,614** for the purchase of fire equipment. Further, the City Council affirms its approval of the expenditure of funds for the aforementioned purposes.

SECTION III

The City Secretary is hereby directed to attach a copy of this Ordinance to Ordinance No. 24-09-19-39.

SECTION IV

Pursuant to Section 102.009(d) of the Texas Local Government Code, the municipal budget officer is directed to file a true copy of this amendment with the Denton County Clerk. If the mayor objects to this ordinance, it shall be adopted by a majority of the entire City Council.

SECTION V

This Ordinance shall be in full force and effect after its passage, and it is so ordained.

PASSED AND APPROVED ON THIS THE 20TH DAY OF FEBRUARY 2025.

Bill Heidemann, Mayor

SEAL

ATTEST:

Lana Wylie, City Secretary

APPROVED AS TO FORM:

Patricia A. Adams, City Attorney



CITY OF CORINTH
Staff Report

| | | | |
|-------------------------|--|---------------|---------------------------|
| Meeting Date: | 2/20/2025 | Title: | Solid Waste Rate Increase |
| Strategic Goals: | <input type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input checked="" type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input type="checkbox"/> Attracting Quality Development | | |
| Owner Support: | <input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission | | |

Item/Caption

Consider and act on an Ordinance amending Section 52.07, Garbage Collection Fees, of the Corinth Code of Ordinances relating to charges for certain refuse and recycling services; providing that this ordinance shall be cumulative of all ordinances of the City of Corinth; providing a savings clause; and providing an effective date.

Item Summary/Background/Prior Action

On December 19, 2024, the City Council approved a seven-year contract with Community Waste Disposal for solid waste collection services. As part of this agreement, the City Council also approved the associated rates. The approved rates included utilizing an automated recycling service, which the City Council opted against implementing. Consequently, the rates need to be adjusted for the costs associated with rear-loading recycling services which results in a \$0.90 increase for residential customers, as reflected in the table below.

| Rate Description | Base Rate | Franchise Fee | Total Rate |
|------------------------------------|------------------|----------------------|-------------------|
| Residential Rate - Current | \$15.96 | \$1.20 | \$17.16 |
| Residential Rate - Proposed | \$16.86 | \$1.26 | \$18.12 |
| | | | |
| Senior Residential Rate - Current | \$14.35 | \$1.08 | \$15.43 |
| Senior Residential Rate - Proposed | \$15.25 | \$1.14 | \$16.39 |

Staff Recommendation/Motion

Staff recommends approval of the ordinance.

**CITY OF CORINTH, TEXAS
ORDINANCE NO. 25-02-20-XX**

AN ORDINANCE OF THE CITY OF CORINTH AMENDING SECTION 52.07 OF THE CORINTH CODE OF ORDINANCES RELATING TO CHARGES FOR CERTAIN REFUSE AND RECYCLING SERVICES; PROVIDING THAT THIS ORDINANCE SHALL BE CUMULATIVE OF ALL ORDINANCES; PROVIDING A SAVINGS CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Corinth is a home rule city acting under its charter adopted by the electorate pursuant to Article XI, Section 5 of the Texas Constitution and Chapter 9 of the Local Government Code; and

WHEREAS, the City Council of the City of Corinth deems it necessary to amend Section 52.07 of the Corinth Code of Ordinances to amend the rates for collection and disposition of certain garbage and refuse within the City;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CORINTH, TEXAS:

SECTION 1.

That subsection (A) of Section 52.07 of the Code of Ordinances of the City of Corinth, Texas is hereby amended to read as follows:

52.07 GARBAGE COLLECTION FEES.

(A) Fees for the collection of garbage and recycling from a residential unit are as follows:

| Collection | Fee |
|---|------------|
| Weekly pickup/recycling/on demand household hazardous waste pickup. | \$18.12 |
| Weekly pickup/recycling (Senior Citizens - 65 years) | \$16.39 |

SECTION 2.

That subsection (D)(3) and (D)(5) of Section 52.07 of the Code of Ordinances of the City of Corinth, Texas is hereby amended to read as follows:

“§ 52.07 GARBAGE COLLECTION FEES.

D(3) Front load container rates:

A fee of \$10.72 pickup will be charged for gates, locks and casters:

| Size/Pickup | 1xWeek | 2xWeek | 3xWeek | 4xWeek | 5xWeek | 6xWeek | Extra |
|-------------|--------|--------|--------|--------|--------|----------|-------|
| 2 Cu Yd | 93.88 | 180.92 | 246.71 | 297.66 | 374.34 | 497.32 | 72.08 |
| 3 Cu Yd | 105.22 | 202.18 | 272.75 | 327.13 | 427.36 | 545.48 | 74.62 |
| 4 Cu Yd | 152.26 | 296.47 | 410.43 | 530.42 | 644.93 | 769.33 | 77.17 |
| 6 Cu Yd | 193.56 | 316.89 | 446.69 | 588.84 | 698.98 | 698.98 | 82.26 |
| 8 Cu Yd | 231.52 | 516.13 | 588.51 | 768.72 | 953.24 | 1,137.31 | 85.28 |

D(5). Compactors:

| | |
|---|--------|
| 6 Cubic Yard Per Haul (Including Disposal) | 136.40 |
| 8 Cubic Yard Per Haul (Including Disposal) | 170.02 |
| 30 Cubic Yard Per Haul (Including Disposal) | 599.19 |
| 30 Cubic Yard Per Weekend Haul (Including Disposal) | 657.58 |
| 35 Cubic Yard Per Haul (Including Disposal) | 599.19 |
| 35 Cubic Yard Per Weekend Haul (Including Disposal) | 657.58 |
| 42 Cubic Yard Per Haul (Including Disposal) | 599.19 |
| 42 Cubic Yard Per Weekend Haul (Including Disposal) | 657.58 |

* These rates include disposal fees for a haul of four tons. There is an additional fee of \$90.03 per ton for loads exceeding four tons. Loads that exceed 54,000 lbs. will be charged an additional \$225.06 for each ton in excess of 54,000 lbs.”

**SECTION 3.
 CUMULATIVE CLAUSE**

This ordinance shall be cumulative of all provisions of ordinances of the City of Corinth, Texas, relating to garbage except where the provisions of this ordinance are in direct conflict with the provisions of such ordinances, in which event the conflicting provisions of such ordinances are hereby repealed.

**SECTION 4.
 SAVINGS CLAUSE**

It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs and sections of this ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this ordinance, since the same would have been enacted by the City Council without the inclusion in this ordinance of any such unconstitutional phrase, clause, sentence paragraph or section.

**SECTION 5.
EFFECTIVE DATE**

This ordinance shall become effective March 1, 2025

PASSED AND APPROVED ON THIS 20th DAY OF FEBRUARY 2025.

Bill Heidemann, Mayor

ATTEST:

Lana Wylie, City Secretary

APPROVED AS TO FORM:

Patricia A. Adams, City Attorney

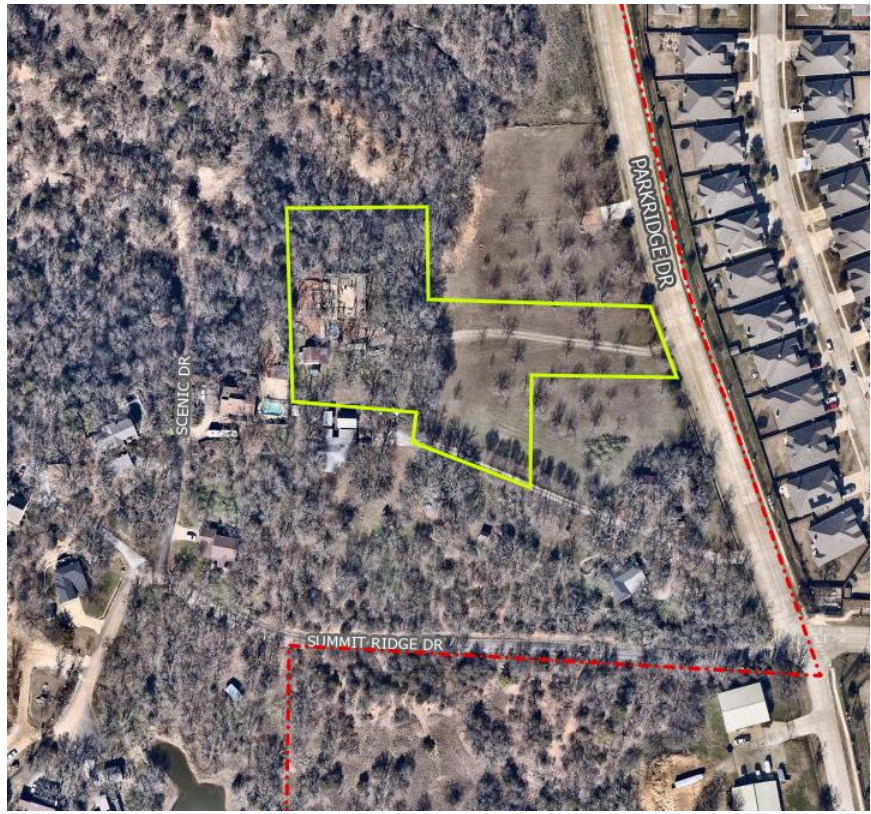


CITY OF CORINTH
Staff Report

| | | |
|-------------------------|---|---|
| Meeting Date: | 2/20/2025 | Title: ZAPD25-0001 - Planned Development Request: Honey Rock Hill (3408 Parkridge) |
| Strategic Goals: | <input checked="" type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development | |
| Owner Support: | <input checked="" type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission As the Planning & Zoning Commission meeting is taking place after the City Council agenda posting deadline, the Planning & Zoning Commission’s recommendation will be presented to the City Council at the time of the Public Hearing. | |

Item/Caption

Conduct a Public Hearing to consider testimony and act on a rezoning request by the Applicant, Brandon Chynoweth, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a base zoning district of SF-2 Single Family Residential for the development of two (2) lots on approximately ±2.188 acres of land located at 3408 Parkridge Drive. (Case No. ZAPD25-0001: Honey Rock Hill)



Aerial Location Map

Item Summary/ Background

The Honey Rock Hill is a two (2) lot single family development that will follow the present SF-2 zoning and is seeking a lone departure from the Zoning Dimensional Regulations of UDC 2.08.04 regarding minimum lot width.

A Replat for the subject property to consolidate both parcels into one platted lot was conditionally approved on February 26, 2024. However, the Applicant expressed the intent to subdivide the parcel into two lots. Upon an informal review of the proposed Replat, Staff informed the Applicant that the proposed lot configuration (Exhibit B – Concept Plan) would not meet the minimum lot width requirement at street frontage of 100’ outlined in UDC 2.08.04 for properties zoned SF-2 Single Family residential.

The Applicant chose to request a Planned Development with the lone departure of the minimum lot width to formalize the proposed lot configuration and subsequently will seek approval of the revised Replat from the Planning & Zoning Commission. The minimum lot width shall be generally consistent with the minimum lot widths Exhibit B – Concept Plan.

Because this proposed Planned Development would resolve a problem created by an unapproved subdivision of land, Staff supports the request.

Dimensional Standards

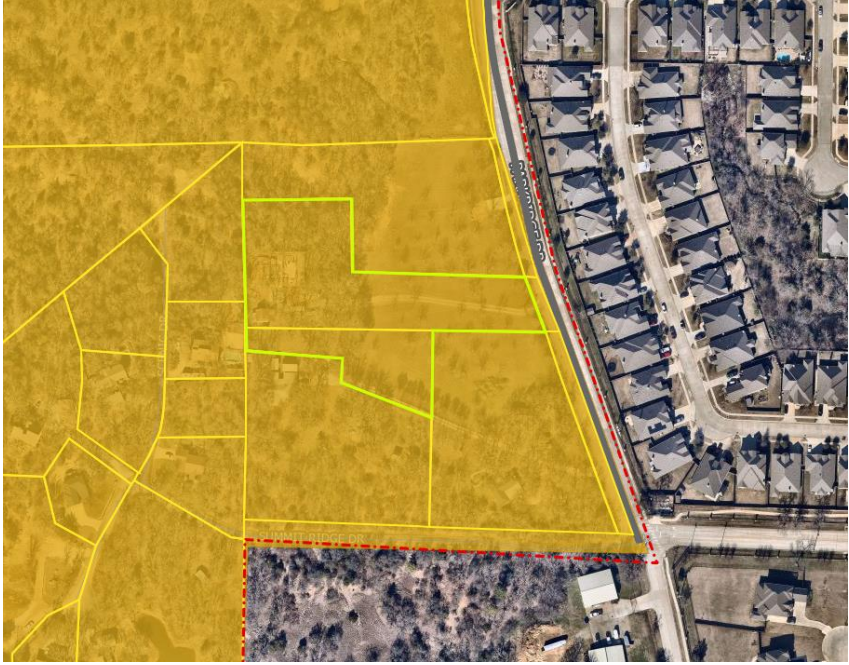
The following table shows that the lone modification to the SF-2 base zoning is for the minimum lot width:

| | SF-2 Base: | Dimensional Standards/Modification: |
|--|-----------------------|-------------------------------------|
| Front Yard Setback | 25’ | No Change |
| Side Yard Setback: Interior Lot | | |
| Corner Lot | 15’ 25’ | No Change |
| Rear Yard Setback | 20’ | No Change |
| Garage Setback | 25’ | No Change |
| Minimum Lot Area | 14,000 SF | No Change |
| Maximum Density | N/A | N/A |
| Minimum Lot Width: | 100’ at building line | 40’ at building line |
| Minimum Lot Depth | 110’ | No Change |
| Minimum Floor Area | 2,000 sq. ft. | No Change |
| Maximum Height (feet/stories) | | No Change |
| | 35’/2.5 | |

| | | |
|---------------------------------------|-----|-----------|
| Maximum Building Area (all buildings) | 30% | No Change |
|---------------------------------------|-----|-----------|

Compliance with the Comprehensive Plan

The rezoning request for the subject property is in accordance with the Land Use and Development Strategy designation, Mixed Residential, as set forth in the Envision Corinth 2040 Comprehensive Plan.



Specifically, the proposed Concept Plan design meets the overall intent of the principles outlined in the **Mixed Residential Land Use and Development Strategy*** (see below).

LAND USE AND DEVELOPMENT STRATEGY



MIXED RESIDENTIAL

Purpose and intent

- » New residential development that capitalizes on existing natural amenities of the land/property
- » Network of trails with access to the creeks, parks, schools, shopping, and civic destinations
- » Preserve majority of creek/floodplain or open space frontage for public access

Land use types and density

- » Range of single family from large lot, to patio homes, to townhomes and multi-family transitions to neighborhood commercial
- » Recreation related uses with access to parks and open space
- » Overall residential density of 6 to 10 units per acre

Design priorities

- » Connected streets (grid-like blocks under 600-ft average block face; max. block face to be 1,000 ft.)
- » Streets should maintain view corridors that focus on open space (which allows for both visual and physical access)

- » Network of connected parks and trails
- » Architectural design recommendations to ensure quality neighborhoods
- » Transparent fencing alongside parks and open space
- » Access to creeks, open space, and parks
- » Single loaded roads in strategic locations to maximize public access and frontage to creeks and open space

Sustainability priorities

- » Regional or neighborhood scale detention/drainage facilities that serve as amenities with trails, street and development frontages
- » Incorporate trails and sidewalks to maximize walking and biking to parks, schools, and neighborhood retail
- » Design of new streets and infrastructure to incorporate appropriate LID elements
- » Allow roof-top solar panels

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***Excerpt from 2040 Comprehensive Plan, page 47.**

Public Notice

Notice of the public hearing was provided in accordance with the City Ordinance and State Law by,

- Publication in the Denton Record-Chronicle
- Written public notices were mailed to the owners of all properties located within 200 feet of the subject property and to the Lake Dallas ISD.
- The Applicant posted a “Notice of Zoning Change” sign on the property.
- The Public Hearing notice was posted on the City’s Website.

Letters of Support/Protest

As of the date of this report, the City has received no letters of support and no letters of opposition from property owners within 200 feet of the subject property.

Planning and Zoning Commission Recommendation

As the Planning & Zoning Commission meeting is taking place after the City Council agenda posting deadline, the Planning & Zoning Commission’s recommendation will be presented to the City Council at the time of the Public Hearing.

Staff Recommendation

Staff recommends approval as presented.

Motion

“I move to approve Case No. ZAPD25-0001 – Honey Rock Hill Planned Development as presented and direct Staff to prepare an ordinance for the same for adoption at a future meeting.”

Alternative Actions by the City Council

The City Council may also,

- Approve with additional stipulations
- Continue the Public Hearing and table action on the request to a definitive or non-defined date
- Deny the request

Supporting Documentation

Attachment 1 – Honey Rock Hill Planned Development

- A. Exhibit A – Legal Description
- B. Exhibit B – PD Concept Plan
- C. Exhibit C – PD Design Statement
- D. Exhibit D – PD Development Standards

ZAPD25-0001

EXHIBIT A – LEGAL DESCRIPTION

WHEREAS Mark Brandon Chynoweth is the owner of a 2.188 acre tract of land situated in the M.E.P. & P.R.R. Co. Survey, Abstract No. 915, Denton County, Texas, and being a portion of Lot 1, Block 1 of Holman Addition, an addition to the City of Corinth, Denton County, Texas, according to the plat thereof recorded in Cabinet G, Page 8, Plat Records, Denton County, Texas (P.R.D.C.T.), and being a portion of Lot 2A, Block 1 of Holman Addition, an addition to the City of Corinth, Denton County, Texas, according to the plat thereof recorded in Cabinet I, Page 184, P.R.D.C.T., and being the same tracts of land as described by deed recorded under Instrument Number 2023-129443, Official Public Records, Denton County, Texas (O.P.R.D.C.T.);

BEGINNING at a 1/2 inch iron rod with cap stamped "Premier Surveying" found for corner being the northwest corner of said Lot 1, same point being the southwest corner of Lot 3, Block 1 of said Holman Addition (Cab. G, Pg. 8);

THENCE North 88 degrees 56 minutes 46 seconds East, a distance of 200.00 feet to an ell corner of said Lot 3, from which a 5/8 inch iron rod found bears South 48 degrees 55 minutes 17 seconds East at 0.47 feet;

THENCE South 01 degrees 03 minutes 14 seconds East, a distance of 140.00 feet to a 1/2 inch iron rod with cap stamped "Premier Surveying" found for corner being an ell corner of said Lot 3;

THENCE North 88 degrees 56 minutes 46 seconds East, a distance of 296.17 feet to a 5/8 inch iron rod with cap stamped "TNP" found for corner being in the west right-of-way line of Parkridge Drive as described by deed to the City of Corinth, recorded under Instrument Number 2011-82523, O.P.R.D.C.T., and being the beginning of a non-tangent curve to the left, having a radius of 1080.00 feet;

THENCE over and across said Lot 1, and with the west right-of-way line of said Parkridge Drive, through a central angle of 01 degrees 42 minutes 08 seconds, whose chord bears South 19 degrees 53 minutes 46 seconds East at 32.09 feet to a 5/8 inch iron rod with cap stamped "TNP" found for corner;

THENCE South 20 degrees 37 minutes 51 seconds East, continuing on over and across said Lot 1 and with the west right-of-way line of said Parkridge Drive, a distance of 52.68 feet to a "V" cut found in concrete for corner being in the north line of Lot 2B, Block 1 of said Holman Addition (Cab. I, Pg. 184);

THENCE South 88 degrees 56 minutes 46 seconds West, a distance of 188.14 feet to a 1/2 inch iron rod with cap stamped "KAZ" found for corner being the northwest corner of said Lot 2B and the northeast corner of said Lot 2A;

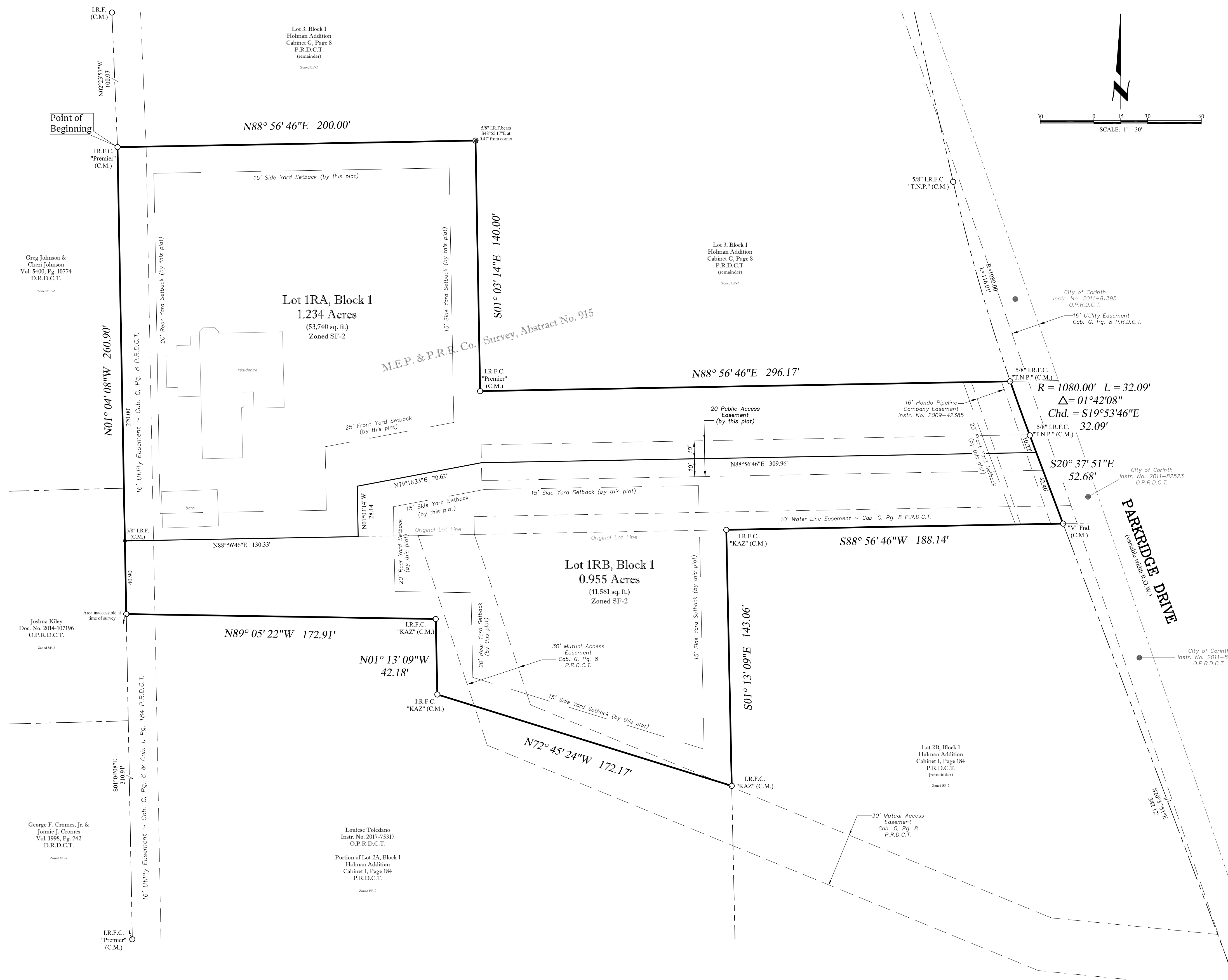
THENCE South 01 degrees 13 minutes 09 seconds East, with the west line of said Lot 2B and the east line of said Lot 2A, a distance of 143.06 feet to a 1/2 inch iron rod with cap stamped "KAZ" found for corner;

THENCE North 72 degrees 45 minutes 24 seconds West, over and across said Lot 2A, a distance of 172.17 feet to a 1/2 inch iron rod with cap stamped "KAZ" found for corner;

THENCE North 01 degrees 13 minutes 09 seconds West, over and across said Lot 2A, a distance of 42.18 feet to a 1/2 inch iron rod with cap stamped "KAZ" found for corner;

THENCE North 89 degrees 05 minutes 22 seconds West, over and across said Lot 2A, a distance of 172.91 feet to the southwest corner of said Chynoweth tract, same point being in the west line of said Lot 2A, and being 0.5 feet west of an existing fence line;

THENCE North 01 degrees 04 minutes 08 seconds West, passing at 40.90 feet a 5/8 inch iron rod found for the northwest corner of said Lot 2A and the southwest corner of said Lot 1, and continuing on for a total distance of 260.90 feet to the **POINT OF BEGINNING** and containing 2.188 acres of land;



CERTIFICATE OF APPROVAL

APPROVED this ____ day of _____, 2025
by the Planning and Zoning Commission of the City of Corinth, Texas.

Director, Planning and Development

City Secretary

STATE OF TEXAS §
COUNTY OF DENTON §

This is to certify that I, Thomas W. Mauk, a Registered Professional Land Surveyor of the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property made under my supervision on the ground.

PRELIMINARY

Thomas W. Mauk, R.P.L.S.
No. 5119

STATE OF TEXAS §
COUNTY OF DENTON §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Thomas W. Mauk, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ____ day of _____, 20____.

Notary Public in and for the State of Texas

OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS §
COUNTY OF DENTON §

WHEREAS Mark Brandon Chynoweth is the owner of a 2.188 acre tract of land situated in the M.E.P. & P.R.R. Co. Survey, Abstract No. 915, Denton County, Texas, and being a portion of Lot 1, Block 1 of Holman Addition, an addition to the City of Corinth, Denton County, Texas, according to the plat thereof recorded in Cabinet G, Page 8, Plat Records, Denton County, Texas (P.R.D.C.T.), and being a portion of Lot 2A, Block 1 of Holman Addition, an addition to the City of Corinth, Denton County, Texas, according to the plat thereof recorded in Cabinet I, Page 184, P.R.D.C.T., and being the same tracts of land as described by deed recorded under Instrument Number 2023-129443, Official Public Records, Denton County, Texas (O.P.R.D.C.T.);

BEGINNING at a 1/2 inch iron rod with cap stamped "Premier Surveying" found for corner being the northwest corner of said Lot 1, same point being the southwest corner of Lot 3, Block 1 of said Holman Addition (Cab. G, Pg. 8);

THENCE North 88 degrees 56 minutes 46 seconds East, a distance of 200.00 feet to an ell corner of said Lot 3, from which a 5/8 inch iron rod found bears South 48 degrees 55 minutes 17 seconds East at 0.47 feet;

THENCE South 01 degrees 03 minutes 14 seconds East, a distance of 140.00 feet to a 1/2 inch iron rod with cap stamped "Premier Surveying" found for corner being an ell corner of said Lot 3;

THENCE North 88 degrees 56 minutes 46 seconds East, a distance of 296.17 feet to a 5/8 inch iron rod with cap stamped "TNP" found for corner being in the west right-of-way line of Parkridge Drive as described by deed to the City of Corinth, recorded under Instrument Number 2011-82523, O.P.R.D.C.T., and being the beginning of a non-tangent curve to the left, having a radius of 1080.00 feet;

THENCE over and across said Lot 1, and with the west right-of-way line of said Parkridge Drive, through a central angle of 01 degrees 42 minutes 08 seconds, whose chord bears South 19 degrees 53 minutes 46 seconds East at 32.09 feet to a 5/8 inch iron rod with cap stamped "TNP" found for corner;

THENCE South 20 degrees 37 minutes 51 seconds East, continuing on over and across said Lot 1 and with the west right-of-way line of said Parkridge Drive, a distance of 52.68 feet to a "V" cut found in concrete for corner being in the north line of Lot 2B, Block 1 of said Holman Addition (Cab. I, Pg. 184);

THENCE South 88 degrees 56 minutes 46 seconds West, a distance of 188.14 feet to a 1/2 inch iron rod with cap stamped "KAZ" found for corner being the northwest corner of said Lot 2B and the northeast corner of said Lot 2A;

THENCE South 01 degrees 13 minutes 09 seconds East, with the west line of said Lot 2B and the east line of said Lot 2A, a distance of 143.06 feet to a 1/2 inch iron rod with cap stamped "KAZ" found for corner;

THENCE North 72 degrees 45 minutes 24 seconds West, over and across said Lot 2A, a distance of 172.17 feet to a 1/2 inch iron rod with cap stamped "KAZ" found for corner;

THENCE North 01 degrees 13 minutes 09 seconds West, over and across said Lot 2A, a distance of 42.18 feet to a 1/2 inch iron rod with cap stamped "KAZ" found for corner;

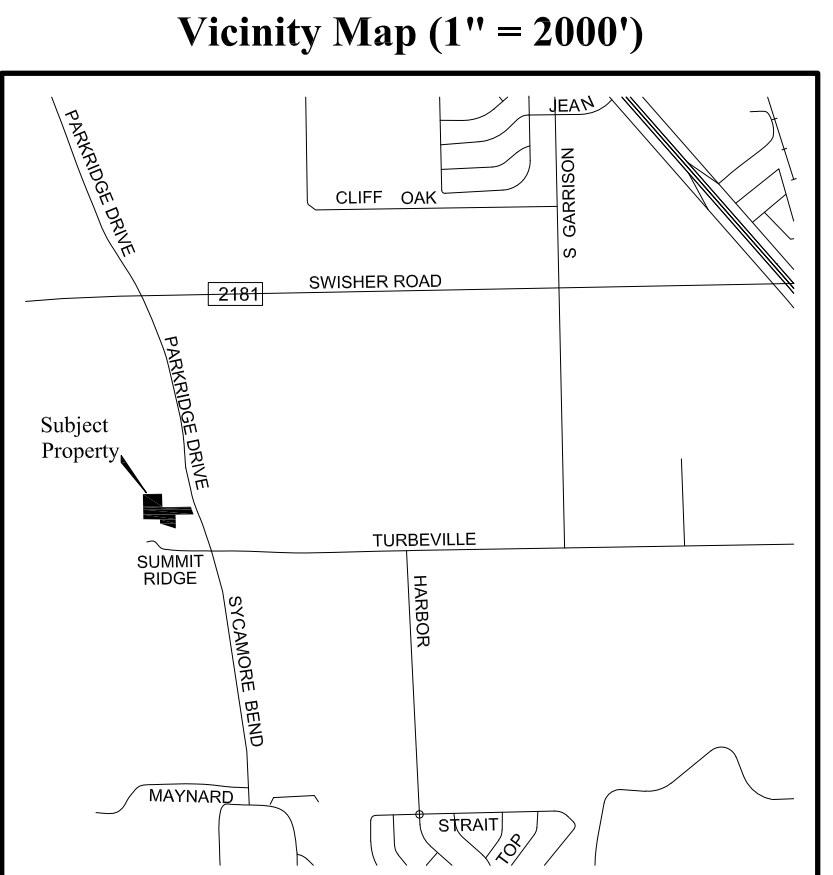
THENCE North 89 degrees 05 minutes 22 seconds West, over and across said Lot 2A, a distance of 172.91 feet to the southwest corner of said Chynoweth tract, same point being in the west line of said Lot 2A, and being 0.5 feet west of an existing fence line;

THENCE North 01 degrees 04 minutes 08 seconds West, passing at 40.90 feet a 5/8 inch iron rod found for the northwest corner of said Lot 2A and the southwest corner of said Lot 1, and continuing on for a total distance of 260.90 feet to the POINT OF BEGINNING and containing 2.188 acres of land;

and designated herein as **LOTS 1RA & 1RB, BLOCK 1 OF HOLMAN ADDITION** to the City of Corinth, Texas, and whose name is subscribed hereto, hereby dedicate to the public use forever by fee simple title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, parks, and trails, and to the public use forever easements for sidewalks, storm drainage facilities, floodways, water mains, wastewater mains and other utilities, and any other property necessary to serve the plat and to implement the requirements of the platting ordinances, rules, and regulations thereon shown for the purpose and consideration therein expressed.

WITNESS my hand this ____ day of _____, 2025.

By: _____
Mark Brandon Chynoweth, Owner



- NOTES:**
- Bearings and coordinates shown hereon are based on the Texas State Plane Coordinate System, North Central Zone 4302, NAD83 (U.S. Feet).
 - The purpose of this replat is to create a 2 lots of record from a previously platted Lot and a portion of a platted Lot conveyed by deed.
 - Selling a portion of this addition by metes and bounds is a violation of City ordinance and state law and is subject to fines and withholding of utilities and building permits.
 - It is my opinion that the property described herein is not within the 100-year flood zone area according to the Federal Emergency Management Agency Flood Insurance Rate Map Community-Panel No. 48143-0535-C, present Effective Date of map April 18, 2011, herein property situated within Zone "X" (Unshaded).
 - This plat was prepared using title commitment provided by client (Title Resources File No. 2434279). Blanket Style Easements recorded in Vol. 328, Pg. 409, Vol. 460, Pg. 169, Vol. 548, Pg. 566 & Vol. 557, Pg. 515 include the subject tract.

OWNER
Mark Brandon Chynoweth
627 Brookstone Dr.
Irving, TX 75039
Ph. 214.687.2074

SURVEYOR
Old Town Surveying, LLC
Professional Land Surveyors
830 Office Park Circle, Suite 130, Lewisville, Texas, 75057
Ph. 469-261-8079 info@oldtownsurveying.com
FERN Number: 1019611

**ZAPD25-0001:
EXHIBIT B - Concept Plan**

being all of Lot 1, Block 1 of Holman Addition, Cabinet G, Page 8, P.R.D.C.T. & a portion of Lot 2A, Block 1 of Holman Addition, Cabinet I, Page 184, P.R.D.C.T. M.E.P. & P.R.R. Co. Survey, Abstract Number 915, City of Corinth, Denton County, Texas
-- Revised: January 31, 2025 --

FOR DENTON COUNTY USE ONLY

FOR DENTON COUNTY USE ONLY

FOR DENTON COUNTY USE ONLY

EXHIBIT “C”
PD DESIGN STATEMENT

A. PROJECT ACREAGE AND LOCATION

The proposed Honey Rock Hill Planned Development is located at 3408 Parkridge Drive. The property consists of approximately 2.188 acres. The property is currently zoned SF-2. There is an existing house structure located on the property that is currently being renovated. The property is bounded to the north, west, and south by large lot developments zoned SF-2 Single Family Residential, and to the east by the Town of Hickory Creek.



B. EXISTING CONDITIONS

The subject property is located within the Holman Addition Subdivision, which was originally platted in 1987, then replatted in 1994. At some point since that time, Lot 2 of the Holman Addition was subdivided without a formal Replat being approved. Therefore, the subject property subject to the rezoning consists of all of Lot 1 and a landlocked portion of Lot 2 of the Holman Addition

Subdivision, as shown below:



Subject Property: Lot 1 is northern lot, portion of Lot 2 subject to rezoning is southern parcel

C. PROJECT OVERVIEW / DESCRIPTION

The Honey Rock Hill is a two (2) lot single family development that will follow the present SF-2 zoning and is seeking a lone departure from the Zoning Dimensional Regulations of UDC 2.08.04 regarding minimum lot width.

A Replat for the subject property to consolidate both parcels into one platted lot was conditionally approved on February 26, 2024. However, the Applicant expressed the intent to subdivide the parcel into two lots. Upon an informal review of the proposed Replat, Staff informed the Applicant that the proposed lot configuration (Exhibit B – Concept Plan) would not meet the minimum lot width requirement at street frontage of 100’ outlined in UDC 2.08.04 for properties zoned SF-2 Single Family residential.

The Applicant chose to request a Planned Development with the lone departure of the minimum lot width to formalize the proposed lot configuration and subsequently will seek approval of the revised Replat from the Planning & Zoning Commission. The minimum lot width shall be generally consistent with the minimum lot widths Exhibit B – Concept Plan.

The Future Land Use designation for this property is Neighborhood. The purpose and intent of Neighborhood is to maintain the character and quality of existing neighborhoods and ensure property values of existing neighborhoods stay stable through focus on maintenance, code enforcement, and neighborhood improvements (pocket parks, sidewalk connections to schools, entry features, etc.).

**EXHIBIT “D”
PLANNED DEVELOPMENT STANDARDS**

SECTION 1: PURPOSE AND BASE DISTRICT

A. Purpose

The regulations set forth herein provide development standards for single family residential uses within the Honey Rock Hill Planned Development District (PD). The boundaries of the PD are identified by metes and bounds on the Legal Description, Exhibit “A” to this Ordinance, and the Property shall be developed in accordance with these regulations and the Planned Development “PD” Concept Plan as depicted on Exhibit “B”. Any use that is not expressly authorized herein is expressly prohibited in this PD.

B. Base District

In this PD, the “SF-2” Single-Family Residential District (Detached) regulations of the Corinth Unified Development Code (UDC), Ordinance No. 13-05-02-08, as amended, shall apply to the Property except as modified herein. If a change to the PD Concept Plan is requested, the request shall be processed in accordance with the UDC and development standards in effect at the time the change is requested for the proposed development per the Planned Development Amendment Process.

SECTION 2 – USES AND AREA REGULATIONS

A. Purpose

The Honey Rock Hill Planned Development is intended to provide a quality residential development utilizing the location and concepts outlined in the Envision Corinth 2040 Comprehensive Plan. The development includes 2 Single-Family Detached lots, as set forth in Exhibit “B” –Concept Plan.

B. Permitted Uses and Use Regulations

In the proposed PD, no building, or lands shall be used, and no building shall be hereafter erected, reconstructed, enlarged, or converted unless otherwise provided for in the SF-2 Single Family Residential District (Detached) regulations of the UDC or otherwise permitted by this PD Ordinance. Permitted Uses in the SF-2, Single Family Residential (Detached) District, as listed in Subsection 2.07.03 of the UDC, shall be permitted in the proposed PD District. The residential building layout shall be in general conformance with the PD Concept Plan shown in Exhibit “B” attached hereto.

C. Dimensional Regulations

UDC Subsection 2.08.04 Residential Dimensional Regulations Chart for the SF-2 Single Family Residential (Detached) District shall apply, except as modified in Table A – Dimensional Requirements below:

Table A – Dimensional Requirements:

| | SF-2 Base: | Dimensional Standards/Modification: |
|--|------------|-------------------------------------|
| Front Yard Setback | 25’ | No Change |
| Side Yard Setback: Interior Lot | | |
| Corner Lot | 15’ 25’ | No Change |

| | | |
|--|-----------------------|----------------------|
| Rear Yard Setback | 20' | No Change |
| Garage Setback | 25' | No Change |
| Minimum Lot Area | 14,000 SF | No Change |
| Maximum Density | N/A | N/A |
| Minimum Lot Width: | 100' at building line | 40' at building line |
| Minimum Lot Depth | 110' | No Change |
| Minimum Floor Area | 2,000 sq. ft. | No Change |
| Maximum Height (feet/stories) | | No Change |
| | 35'/2.5 | |
| Maximum Building Area (all buildings) | 30% | No Change |

Justification: These departures from the base district in subsection 2.08.04 are necessary to provide to ensure that both lots meet a minimum lot frontage requirement and avoid leaving a landlocked parcel.

D. Development Standards

Except as otherwise set forth, the Development Standards of Subsection 2.04.02, SF-2, Single Family Residential (Detached) of Subsection 2.04, “Residential Zoning Districts” of the UDC, for the SF-2 Single Family District (Detached) and all other requirements of the UDC shall apply to development within the proposed Honey Rock Hill Planned Development.

1. **UDC Subsection 2.07.07 Accessory Buildings and Uses** shall apply, as may be amended.
2. **UDC Subsection 2.09.01 Landscaping Regulations for Attached, and Detached Single Family Developments** shall apply, as may be amended.
3. **UDC Subsection 2.09.02 Tree Preservation** shall apply, as may be amended.
4. **UDC Subsection 2.09.03 Vehicular Parking Regulations and Pedestrian Oriented Street Design** shall apply, as may be amended.
5. **UDC Subsection 2.04.04.C.2 Garage Regulations** shall apply, as may be amended.
6. **UDC Subsection 2.09.04 Building Façade Material Standards** shall apply, as may be amended.
7. **UDC Subsection 2.09.05 Residential Adjacency Standards** shall apply, as may be amended.
8. **UDC Subsection 2.09.06 Nonresidential Architectural Standards** shall apply, as may be amended.
9. **UDC Subsection 2.09.07 Lighting and Glare Regulations** shall apply, as may be amended.
10. **UDC Subsection 4.01 Sign Regulations** shall apply, as may be amended.
11. **UDC Subsection 3.05.05 Alley Standards** shall apply, as may be amended.

12. **UDC Subsection 3.05.09 Lot Standards** shall apply, as may be amended.
13. **UDC Subsection 3.05.10 Park and Trail Dedication** requires that Park and Trail dedication for Residentially Zoned Property be provided at a rate of 1 acre per/50 DU and/or fees-in-lieu-of or combination shall apply, as may be amended.
14. **UDC Subsection 4.02 Fence and Screening Regulations** shall apply, as may be amended.

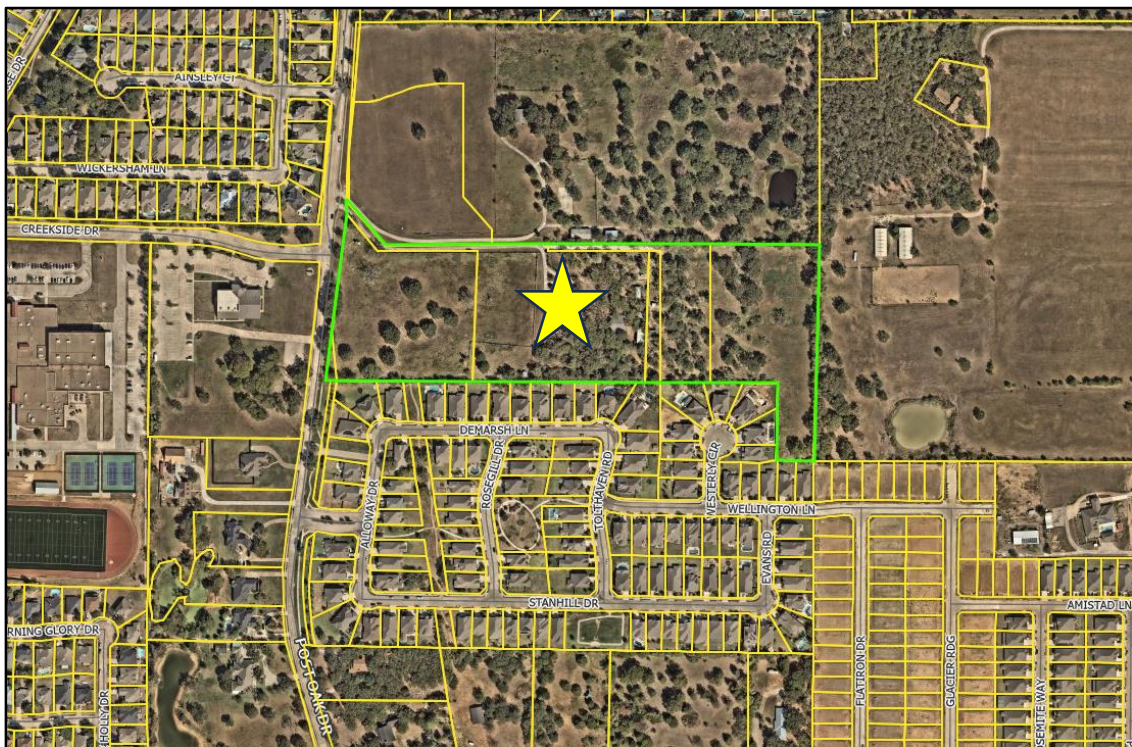


CITY OF CORINTH Staff Report

| | | | |
|-------------------------|---|---------------|---|
| Meeting Date: | 2/20/2025 | Title: | Saddlebrook Planned Development (PD) Rezoning Request (Case No. ZAPD24-0010) |
| Strategic Goals: | <input type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development | | |
| Owner Support: | <input checked="" type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission The Planning and Zoning Commission are set to hear this item on February 17, 2025, and provide a recommendation to the City Council. Because the Planning & Zoning Commission meeting is taking place after the City Council agenda posting deadline, the Planning & Zoning Commission’s recommendation will be presented to the City Council at the time of the Public Hearing. | | |

Item/Caption

Conduct a Public Hearing to consider testimony and act on a rezoning request by the Applicant, Bridge Tower Homes LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a base zoning district of SF-4 Single Family Residential for the development of ±97 lots on approximately ±17 acres located at 1960 Post Oak Drive. (Case No. ZAPD24-0010 Saddlebrook Planned Development)



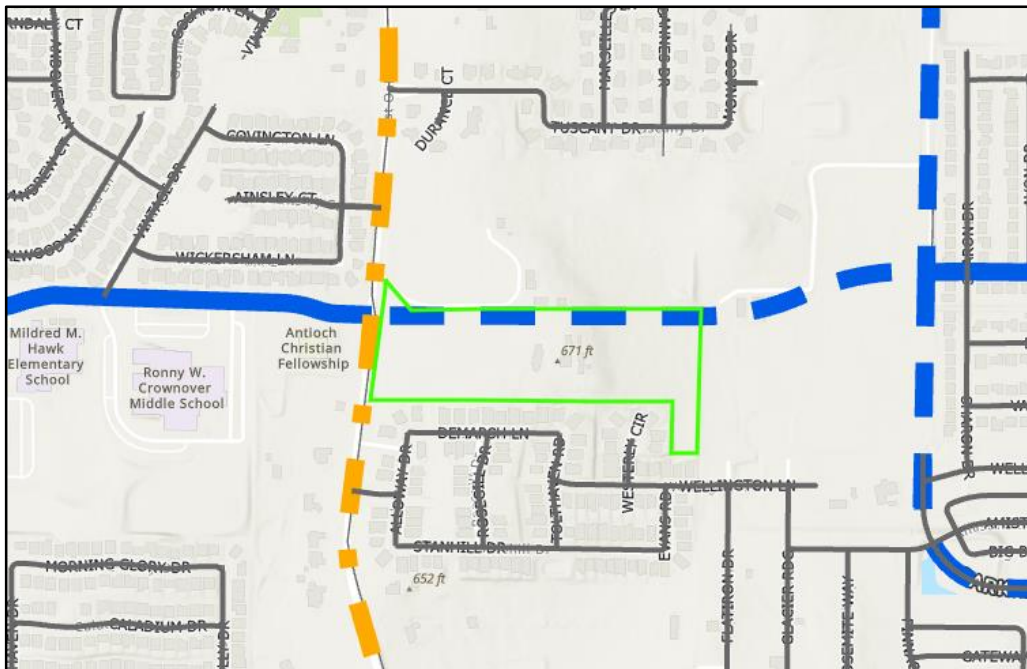
Location Map - Case No. ZAPD24-0010

Item Summary/ Background

The Applicant is requesting approval of a Planned Development (PD) rezoning for the development of ±17 acres for the construction of ±97 single family detached dwellings on individually platted lots. The proposed Saddlebrook Planned Development is located on the east side of Post Oak Drive and directly north of the Terrace Oaks subdivision. The property consists of approximately 16.77 acres and is currently zoned SF-2 Single Family Residential. There is an existing residential structure located in the center of the property and several accessory structures. The property is bordered by single family planned developments to the north, east, and south, and the Antioch Christian Fellowship to the west and north. The Hillside development (PD-67 with base zoning of SF-4) borders the subject site to the north and is set to begin construction in the coming weeks. PD-67 offers a mix of lot types including 95' Lots along the northern edge and 50' Lots throughout the rest of the site. The Terrace Oaks PD (PD-39 with base zoning of SF-4) borders the subject site to the east and south, with only the southern portion of this PD (Area A) being developed at this time. PD-39 also includes a range of lot types, including 40'- 49', 50'- 59', 60'- 69', and 70'- 79' Lots, with the majority being 50'- 59' lots.

The proposed base zoning district for Saddlebrook would consist of SF-4, Single Family Residential (Detached). The development will provide a mix of lot sizes with the following minimums: “30’s” (30-foot-wide detached home lots) – minimum lot size of 3,000 square feet, and “45’s” (45-foot-wide detached home lots) – minimum lot size of 4,750 square feet. The development will provide 60 30-foot lots and 37 45-foot lots with a gross density of 5.78 dwelling units per acre.

The Envision Corinth 2040 Comprehensive Plan Master Thoroughfare Plan Mobility and Strategy identifies a new Collector Street and a 6’-10’ sidewalk/trail to be located through the subject site, as shown below.



The Saddlebrook PD Concept includes this new collector street along the northern boundary of the subject site as well as a trail along the northern side of this street. The extension of Creekside Drive is envisioned to eventually connect with Parkridge Drive to the east which will in turn provide access to Church Drive to the north and Lake Sharon Drive to the south. This added street grid system will improve access to the site and the surrounding existing and entitled subdivisions including Hillside, Ashford Park, and Terrace Oaks, and relieve traffic from

Post Oak Rd by provided additional outlets. The street will be designed as a complete street to accommodate vehicle traffic with traffic calming features, pedestrians and bicycle traffic. The extended Creekside Drive will include protected parallel parking along the southern side, street trees located between the sidewalks and curbs, and will potentially incorporate shared bike lanes as part of the City’s current mobility master planning initiative. These design components, in addition to the new four-way stop planned at the intersection of Creekside Drive and Post Oak Drive, will act as traffic calming measures and will serve to slow traffic speeds.

Given that this development will be constructing the entirety of the Creekside Drive extension adjacent to their property, and because the Hillside development is already entitled and is in the process of being graded, certain elements of the road extension as it pertains to final grade and alignment will be determined at the time of Civil Design. As such, language has been included in the PD Design Statement allowing for certain flexibility regarding the final design of the collector road should the construction of the Hillside development necessitate minor changes or if additional right of way is obtained from the Antioch Church property to the north.



Saddlebrook Conceptual Landscape Plan

The development proposes Single Family lots that are 45’ wide designed with front-entry garages while the 30’ wide Cottage Home Lots are alley served. The Cottage Home Lots in particular are designed following the principles of new urbanism with shorter front yard setbacks, usable front porches, protected on-street parking, and alley served garages. Several open space areas have been incorporated into the proposed development, including a central tree preservation area, a linear green along the 30’ gas easement, and open space areas for the retention (wet) pond adjacent to Post Oak Dr and the detention (dry) pond in the southeast corner of the site. Additionally, an approximately 20’ – 30’ wide landscape strip will be provided along much of the southern property line to act as an additional buffer to the existing Terrace Oaks Subdivision and a 15’ wide landscape strip will be provided between the collector road and the cottage lots fronting onto this road. Amenities planned in the open spaces include several different trails, enhanced landscaped areas with benching, and lighting in strategic locations.

The landscape design includes shade trees within the public right-of-way (within the landscape strip between curb and sidewalk) to create a tree-lined parkway. The location of Street Trees was requested by Staff as a design

enhancement to create a more walkable and inviting streetscape. Other enhancements to the street design include the addition of bulb-out areas to promote traffic calming and enhance the overall aesthetic of the streetscape.

Other unique design aspects of this PD are listed below:

- A 2-car garage and 2-car driveway will be provided for each dwelling unit with an additional 62 protected on-street parking spaces being provided throughout the site.
- The developer has agreed to preserve a minimum of 20% CI of Healthy Protected Trees.
- The concept plan includes 4.11 acres of open space (25% of the site’s gross acreage).
- Cottage style garage doors and awnings/roof overhangs above the garage doors shall be required for all front-loaded lots.
- 100% of lots are required to have a 70 square foot minimum front porch.
- Trail extension planned to connect south with existing trail in Terrace Oaks within the gas easement.
- A play area that incorporates play equipment that is nature-based design

Dimensional Standards

As stated in the UDC, Subsection 2.06.03, the purpose of a PD District is to “... encourage quality and better development in the city by allowing flexibility in planning and development projects... and permit new or innovative concepts in land utilization and or diversification that could not be achieved through the traditional [base] zoning districts.”

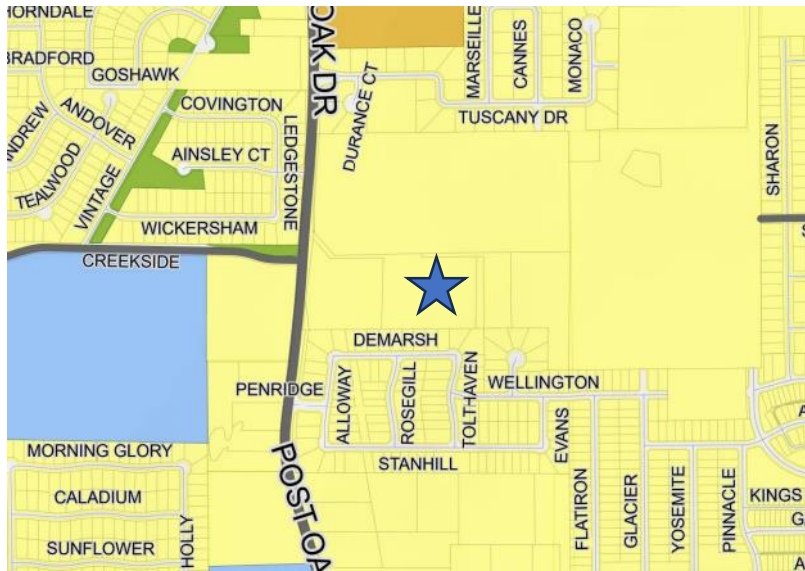
The following table provides a summary of dimensional standards that either deviate from the current UDC regulations or are offered as additional provisions to create an innovative and unique project. These modifications are in keeping with the Envision 2040 Comprehensive Plan Land Use and Development Strategies for the Neighborhood Land Use and promote “Traditional Neighborhood Design and New Urbanism Concepts”.

| | SF-4 Base: | Dimensional Standards/Modification: | |
|--|---------------|-------------------------------------|--------------------|
| | | 30’ Lots | 45’ Lots |
| Front Yard Setback | 25’ | 7.5’ | 10-20’ |
| Side Yard Setback: | | | |
| Interior Lot | 5’ | Min 0’, Min | 5’ |
| Corner Lot | 15’ | Cumulative 6’ | 10’ |
| | | 10’ | |
| Rear Yard Setback | 20’ | 5’ | 10’ |
| Garage Setback | 25’ | 20’ | 20’ |
| Minimum Lot Area | 7,500 SF | 3,000 SF | 4,750 SF |
| Maximum Density | N/A | N/A | N/A |
| Minimum Lot Width: | | | |
| | 70’ | 30’ | 45’ |
| Minimum Lot Depth | 100’ | 90’ | 98’ (115’ typical) |
| Minimum Floor Area | 1,500 sq. ft. | 1,300 sq. ft. | 1,500 sq. ft. |
| Maximum Height (feet/stories) | 35’/2.5 | 35’ / 2.5 | 35’ / 2.5 |
| Maximum Building Area (all buildings) | 30% | 70% | 70% |

**Proposed standards are further described in the attached Saddlebrook PD Design Statement and include justification statements for the requests.*

Compliance with the Comprehensive Plan

The rezoning request for the subject property is in accordance with the Land Use and Development Strategy designation, Neighborhood, as set forth in the Envision Corinth 2040 Comprehensive Plan.



Specifically, the proposed Concept Plan design meets the overall intent of the principles outlined in the **Neighborhood Land Use and Development Strategy*** (see below).



NEIGHBORHOOD

Purpose and intent

- » To maintain the character and quality of existing neighborhoods
- » Ensure that property values of existing neighborhoods stay stable through focus on maintenance, code enforcement, and neighborhood improvements (pocket parks, sidewalk connections to schools, entry features, etc.)

Land use types and density

- » Based on existing neighborhood layout and context
- » Appropriate transitions to existing neighborhoods with respect to densities, screening, and buffering within new neighborhoods

Design priorities

- » Maintain existing street network, parks, and open space
- » Provide additional sidewalk and trail connections where feasible

- » Vehicular and pedestrian connections to new adjoining neighborhoods and to schools and parks
- » Any new development should examine Traditional Neighborhood Design or New Urbanism concepts

Sustainability priorities

- » Focus on local area detention infrastructure that also serves as amenities (landscaping, trails, and building frontages) for the benefit of adding value to the development
- » Connections to regional trails, parks, and adjoining neighborhood retail
- » New neighborhoods to focus on walkability and bikeability
- » Design of new streets and infrastructure to incorporate appropriate LID elements
- » Allow roof-top solar panels

***Excerpt from 2040 Comprehensive Plan, page 47.**

Public Notice

Notice of the public hearing was provided in accordance with the City Ordinance and State Law by,

- Publication in the Denton Record-Chronicle
- Written public notices were mailed to the owners of all properties located within 200 feet of the subject property and to the Denton ISD.
- The Applicant posted several “Notice of Zoning Change” signs around the perimeter of the site.
- The Public Hearing notice was posted on the City’s Website.

Letters of Support/Protest

As of the date of this report, the City has received four (4) letters of support and sixteen (16) letters of opposition. Of the letters of opposition, thirteen (13) of these have been received from properties within 200 ft of the subject site, with the remaining three (3) letters coming from properties outside of the 200 ft buffer. Letters received after this date will be presented to the City Council at the time of Public Hearing. See Attachment 2 – 200’ Buffer Exhibit and Correspondence from Property Owners

The number of written protests received from property owners exceeds 20 percent of the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area. As such, the Texas Local Government Code (Section 211.006) and the UDC Section 2.10.4.G.2 require an affirmative vote of three-fourths (3/4) of the governing body for the proposed amendment to be effective.

Planning and Zoning Commission Recommendation

The Planning and Zoning Commission are set to hear this item on February 17, 2025, and provide a recommendation to the City Council. Because the Planning & Zoning Commission meeting is taking place after the City Council agenda posting deadline, the Planning & Zoning Commission’s recommendation will be presented to the City Council at the time of the Public Hearing.

Staff Recommendation

Staff recommends approval as presented.

Motion

“I move to approve Case No. ZAPD24-0010 – Saddlebrook Planned Development as presented and direct Staff to prepare an ordinance for adoption at a future meeting.

Supporting Documentation

Attachment 1 – Saddlebrook PD Ordinance and Associated Exhibits

- A. Exhibit A – Legal Description
- B. Exhibit B – Existing Conditions
- C. Exhibit C – PD Design Statement
- D. Exhibit D – PD Development Standards
- E. Exhibit E – PD Concept Plan
- F. Exhibit F – PD Conceptual Landscape Plan
- G. Exhibit G – Tree Protection Plan
- H. Exhibit H – Representative Product Types
- I. Exhibit I – Water and Sewer Will Serve Letter

Attachment 2 – 200-foot Zoning Buffer Exhibit and Correspondence from Property Owners

**ATTACHMENT 1:
SADDLEBROOK DRAFT ORDINANCE AND
PD DOCUMENTS**

A. PROJECT NAME/TITLE: Saddlebrook

B. LIST OF OWNERS/DEVELOPERS:

- **Owner-** The current property owners of the proposed Saddlebrook site are Heather Bacon and Paige Almond for front 10.3 acres parcel and Madison Trust FBO Joni Waverka for rear 6.4 acre parcel
- **Developer-** Bridge Tower Homes

Bridge Tower Homes is a vertically integrated real estate firm focused on residential real estate, disciplined in acquisition, Entitlement, site development and construction of homes. It was founded in 2013 to provide high quality homes and communities for families and individuals. Its headquarter is located in Dallas, Texas with operations all over Texas, North Carolina, and Tennessee. Their mission is to elevate the resident experience by providing exceptional homes and communities that meet the evolving needs of current and future residents. Bridge Tower has entitled, developed and constructed a wide range of products ranging from alley loaded to front loaded Townhome, Duplex and detached Single Family Homes.



FIELD NOTE DESCRIPTION**16.770 ACRE TRACT**

BEING a tract of land situated in the W.C. GARRISON SURVEY, ABSTRACT NO. 508, and the D.A. WARE SURVEY, ABSTRACT NO. 1580, Denton County, Texas and being all that tract of land conveyed to Heather Allison Bacon and Paige Almond Fletcher according to the document filed of record in Document No. 2022-71102, Deed Records, Denton County, Texas (D.R.D.C.T.), being described as a part of that tract of land conveyed to Charles I. Fletcher, as recorded in Document No. 2004-91956, (D.R.D.C.T.), all those tracts referred to as Tract 1, Tract 2 and Tract 3, conveyed to Madison Trust Custodian Fbo Joni Waverka, according to the document filed of record in Document No. 2024-69914, (D.R.D.C.T.) and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod with a yellow plastic cap found in the east line of Post Oak Drive, a 60 foot right of way according to the document filed of record in Volume 5254, Page 4843, Deed Records, Denton County, Texas, for the common northwest corner of Terrace Oaks, Phase One, an addition to the Town of Corinth, Denton County, Texas according to the plat filed of record in Document No. 2017-59, Plat Records, Denton County, Texas and being the common southwest corner of said Bacon/Fletcher tract.

THENCE Northeasterly, with the east line of said right of way, the following four (4) courses and distances:

North 07 degrees 05 minutes 39 seconds East, a distance of 13.87 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner of this tract.

North 04 degrees 35 minutes 41 seconds East, a distance of 494.59 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner of this tract.

North 85 degrees 56 minutes 53 seconds East, a distance of 12.05 feet to a 5/8 inch iron rod found for corner of this tract.

North 02 degrees 27 minutes 00 seconds East, a distance of 69.59 feet to a 1/2 inch iron found for the northwest corner of an Easement Estate tract described as the above mentioned Tract 3, for the southwest corner of Antioch Fellowship Addition, an addition to the Town of Corinth, Denton County, Texas according to the plat filed of record in Document No. 2016-128, Plat Records, Denton County, Texas, (P.R.D.C.T.) same being the common most northerly northwest corner of the above mentioned Bacon/Fletcher tract.

THENCE South 41 degrees 47 minutes 50 seconds East, with the south line of said ANTIOCH FELLOWSHIP ADDITION, a common north line of said Easement Estate and Bacon/Fletcher tracts, a distance of 176.12 feet to a 1/2 inch iron rod found for a common corner of said tracts.

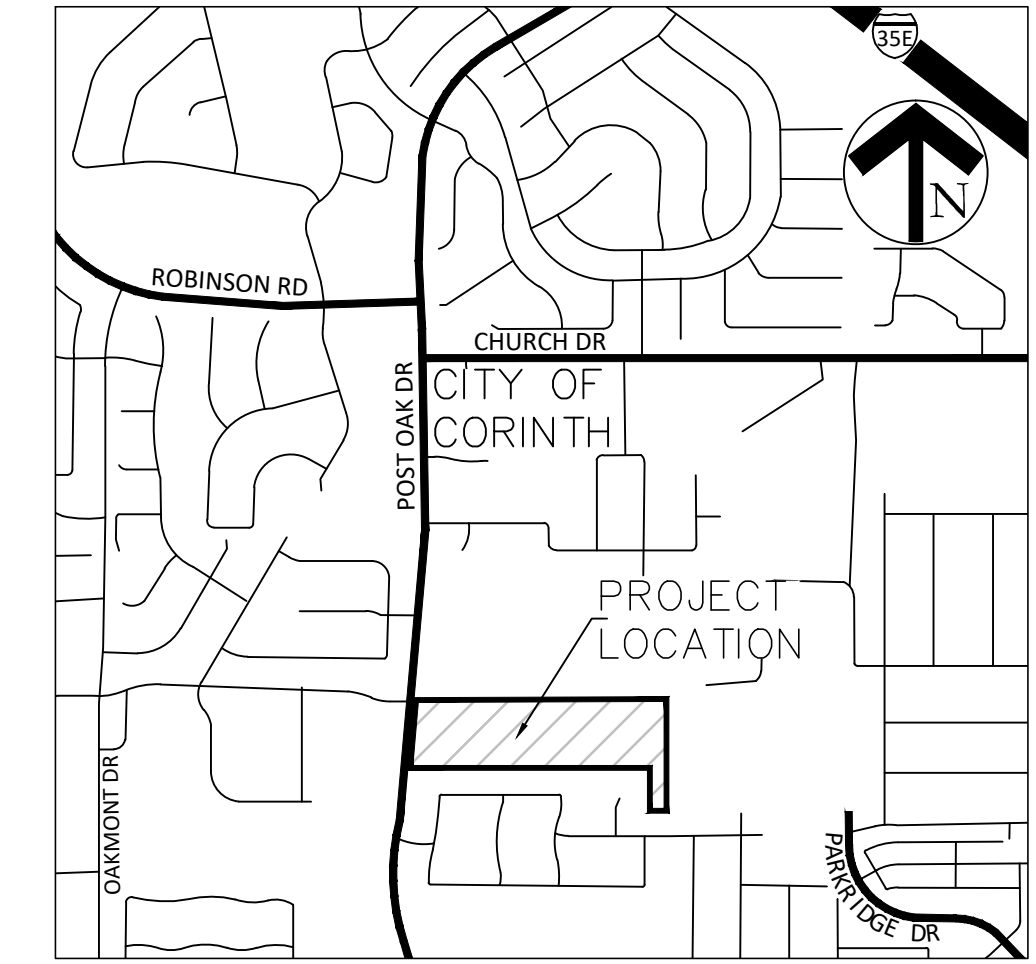
THENCE, N 89° 20' 20" E, with the south line of said Antioch Fellowship Addition, a distance of 1392.97 feet to a 1/2" iron rod found in the west line of Lot 1, Block A, Haislip Family Farm, an addition to the Town of Corinth, Denton County, Texas according to the plat filed of record in Cabinet I, Page 181 (P.R.D.C.T.), and being the southeast corner of said Antioch Fellowship Addition and common northeast corner of the above-mentioned Tract 1.

THENCE, S 00° 40' 02" E, with said west line, a distance of 696.79 feet to at a 1/2" iron rod found for the most westerly northwest corner of Ashford Park, Phase 3, an addition to the Town of Corinth, Denton County, Texas according to the plat filed of record in Document No. 2024-290, Plat Records, Denton County, Texas, (P.R.D.C.T.) same being common with the most easterly northeast corner of the above-mentioned Terrace Oaks, Phase One, and common southeast corner of said Tract 1.

THENCE, S 89° 59' 55" W, with a north line of said Terrace Oaks, a distance of 121.43 feet to a 1/2" iron rod found at an interior "ell" corner of said Terrace Oaks and common with the most southerly southwest corner of said Tract 1.

THENCE, N 00° 00' 56" E, with the east line of said Terrace Oaks, a distance of 247.47 feet to a 1/2" iron rod with yellow plastic cap stamped "JVC", set for the most northerly northeast of said Terrace Oaks and being an interior "ell" corner of said Tract 1.

THENCE, S 89° 30' 06" W, with the north line of said Terrace Oaks, a distance of 1453.39 feet to the **POINT OF BEGINNING** and containing 16.770 acres of land.



VICINITY MAP
1" = 2000'

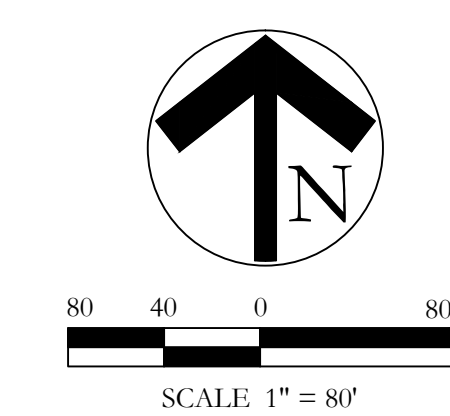


EXHIBIT B
Existing Site Conditions and
Existing Tree Cover to be Preserved
CANYON CREEK
CITY OF CORINTH, DENTON COUNTY, TEXAS

TOTAL RESIDENTIAL LOTS 96
 TOTAL OPEN SPACE 12
 TOTAL GROSS ACRES 16.770
OUT OF THE
WILLIAM C. GARRISON SURVEY, ABSTRACT No. 508

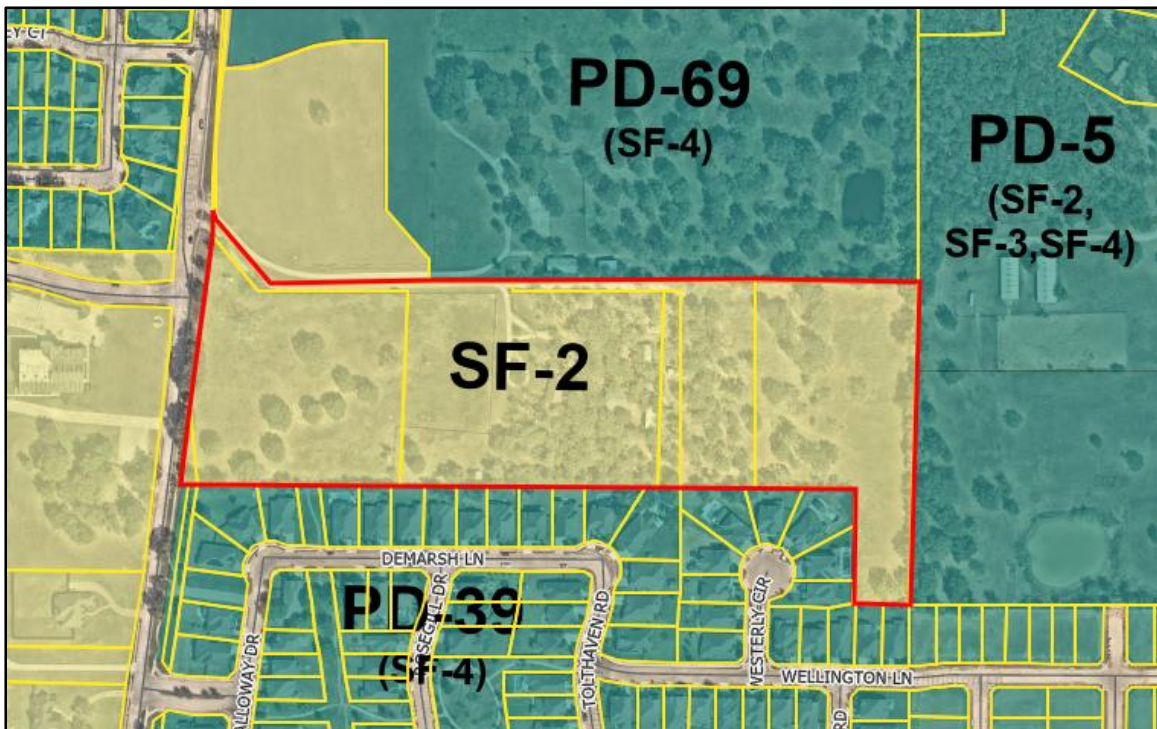
APPLICANT
BRIDGE TOWER GP
 5430 LBJ Freeway, Suite 1050
 Dallas, Texas 75240
 Phone: 469-936-1695
 Contact: Shaivali Desai

Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite. 1200
 Plano, Texas 75074
 Phone: 972-201-3100
 Contact: Tom Dayton, PE

EXHIBIT “C”
PD DESIGN STATEMENT

A. PROJECT ACREAGE AND LOCATION

The proposed Saddlebrook Planned Development is located on the east side of Post Oak Drive at the Creekside Dr. intersection. The property consists of approximately 16.77 acres. The property is currently zoned SF-2. There is an existing house structure located on the property, as well as a couple of existing sheds. The southern property boundary is bordered by an existing single family subdivision (Terrace Oaks), zoned PD-39 and the northern property boundary is bordered by future Creekside Drive and PD-69 (Hillside at Corinth) and undeveloped land. The eastern property boundary is vacant and zoned PD-5. Post Oak Drive runs along the whole length of the western property boundary.



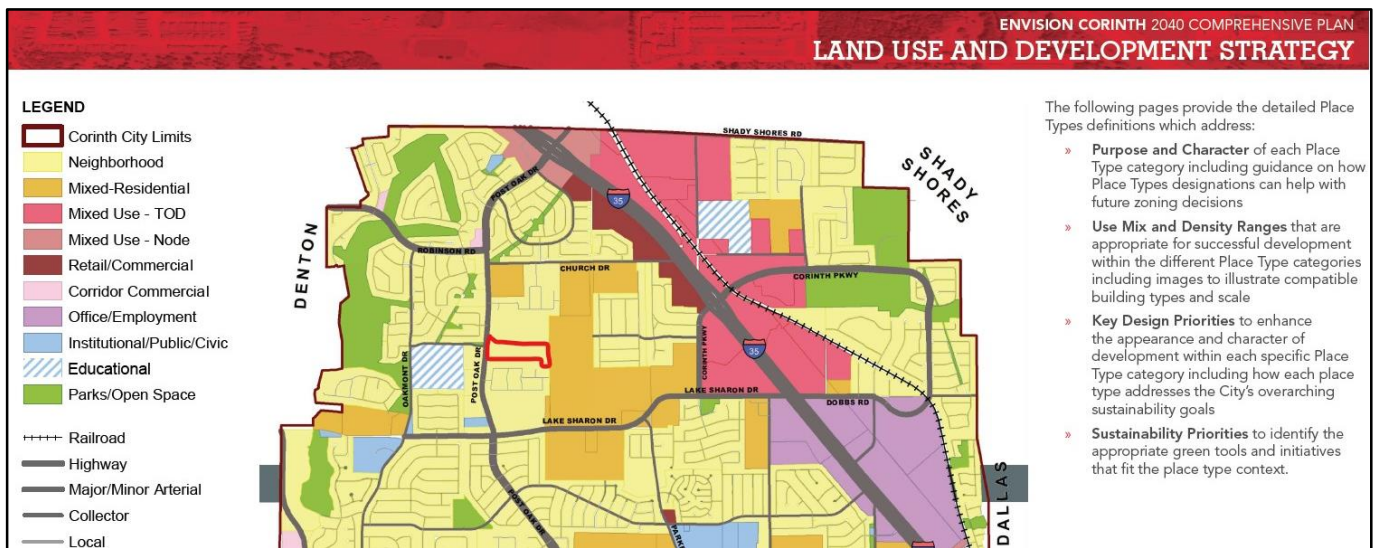
B. EXISTING SITE CONDITIONS (see Exhibit “B” for Existing Conditions)

The property is currently used for residential and agricultural purposes. Below is a brief description of the existing physical characteristics of the property.

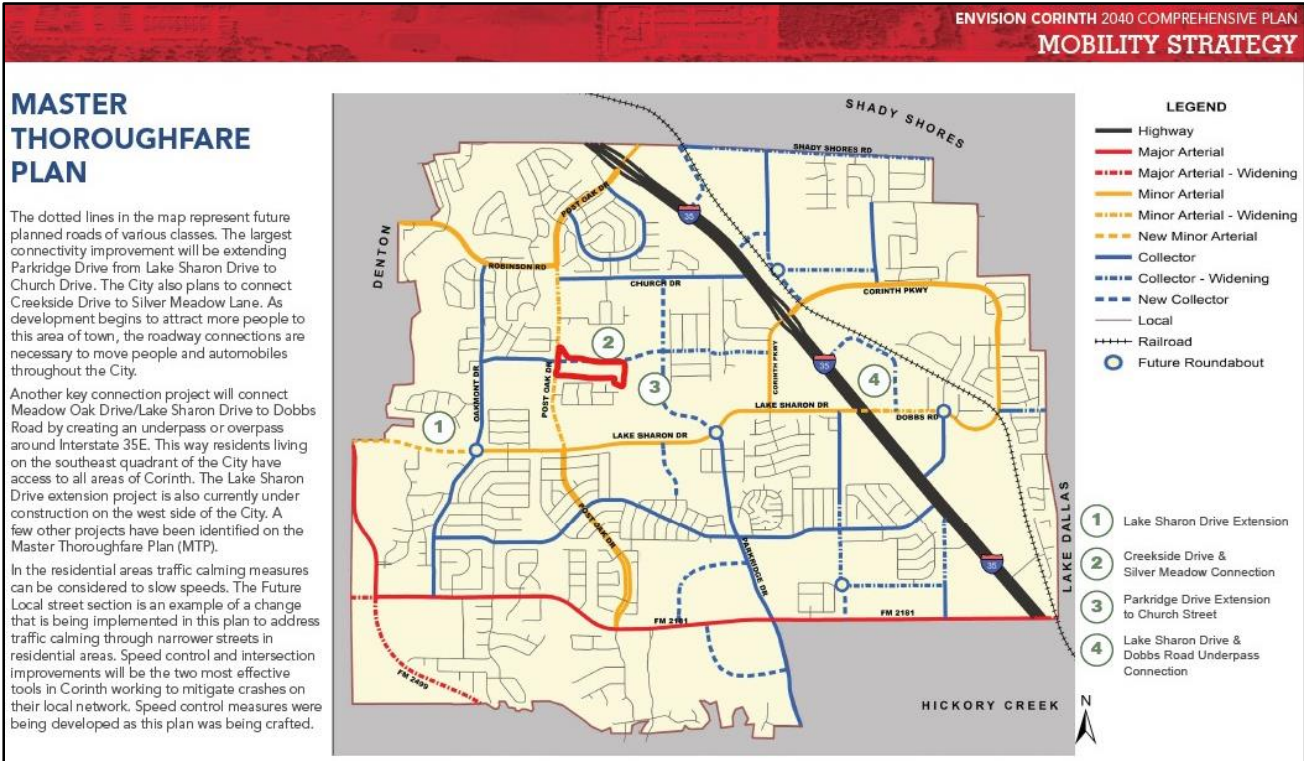
1. Elevations & Slope Analysis - The highest point of the property is generally located in the northern middle portion of the property and has an approximate elevation of 669. The site then slopes downward east, west & south from this high point. The approximate lowest elevation at the west property line is 647. The approximate lowest elevation at the south property line is 616 and the approximate lowest elevation at the east property line is 610.
2. Soil Characteristics - The soil characteristics of the property are typical of those found in North Texas, specifically those found in the City of Corinth. Most of the property is comprised of Gasil fine sandy loam.
3. Tree Cover - Portions of the property are “heavily treed”.

4. Floodplain/Drainage/Wetlands/Pond - None of the property is located within a floodplain. Detention ponds are anticipated near Post Oak Drive to handle runoff to the west and the southeast corner of the property to handle runoff to the east. This will be further analyzed and sized during final design of Civil Plans. There is one healthy Heritage Tree (41") located in the middle-west of the property that will be removed. There is also another dead Heritage Tree that is located in the Creekside Dr. ROW that will be removed.
5. Other - There is an existing 50' gas easement running from the existing Terrace Oaks subdivision up through the proposed development to the future Creekside Drive right of way. This gas easement will be preserved as open space. If this gas line is inactive and can be abandoned, then the line will be removed during construction and the easement will be abandoned with the Final Plat.

In accordance with the Envision 2040 Comprehensive Plan, adopted in 2020, the site is identified as Neighborhood per the Land Use and Development Strategy with the purpose and intent of maintaining the character and quality of existing neighborhoods and ensuring property values of existing neighborhoods stay stable through focus on maintenance, code enforcement, and neighborhood improvements (pocket parks, sidewalk connections to schools, entry features, etc.). The land use types and density envisioned are based on existing neighborhood layout and context and will provide appropriate transitions to existing neighborhoods. Design priorities are maintaining existing street network, parks and open space and providing additional sidewalk and trail connections where feasible. Additionally, sustainable priorities include focusing on local area detention infrastructure that also serves as an amenity for the benefit of adding value to the development.



Additionally, the Envision Corinth 2040 Comprehensive Plan Master Thoroughfare Plan Mobility and Strategy identifies a new Collector Street and a 6' sidewalk/trail to be located on the South side of Creekside through the subject site. The plan further notes that traffic calming measures be considered in order to slow traffic.



In coordination with the City Staff and adjacent landowners the Saddlebrook Concept plan shows the extension of Creekside Drive (Collector Street) along the northern boundary of the site. This will improve access to the site as well as contribute to the overall master thoroughfare plan and vision of Corinth. The extension of Creekside Drive will provide additional mobility and access for the upcoming Hillside Corinth development to the north.

C. PROJECT OVERVIEW / DESCRIPTION

The Saddlebrook Planned Development will be a single-family residential development that will provide a thriving community, promoting lot size variety and tree preservation.

The Future Land Use designation for this property is Neighborhood. The purpose and intent of Neighborhood is to maintain the character and quality of existing neighborhoods and ensure property values of existing neighborhoods stay stable through focus on maintenance, code enforcement, and neighborhood improvements (pocket parks, sidewalk connections to schools, entry features, etc.).

Saddlebrook will accommodate a trail connection at the existing Terrace Oaks subdivision, as well as, through the community and along the proposed collector roadway (Creekside Drive), in accordance with the City’s Transportation Plan.

The proposed base zoning district for Saddlebrook shall consist of SF-4, Single Family Residential (Detached). In an effort to promote a variety of housing options and housing products for future/existing Corinth residents, the Saddlebrook Planned Development will provide a mix of lot sizes. Saddlebrook Planned Development lot mix will consist of two (2) different lot size categories with the following minimums: “30’s” (30-foot-wide detached home lots) – minimum lot size of 3,000 square feet, and “45’s” (45-foot-wide detached home lots) – minimum lot size of 4,750 squarefeet.

The Saddlebrook Planned Development will provide the City of Corinth’s market with new residential, detached, single-family homes with a maximum gross density of approximately 5.78 dwelling units per acre as presented in Exhibit “E” – PD Concept Plan. This development will provide a great opportunity for a variety of new residents searching for a high-quality home in Corinth.

EXHIBIT “D”
PLANNED DEVELOPMENT STANDARDS

SECTION 1: PURPOSE AND BASE DISTRICT

A. Purpose

The regulations set forth herein provide development standards for single family residential uses within the Saddlebrook Planned Development District (PD). The boundaries of the PD are identified by metes and bounds on the Legal Description, Exhibit “A” to this Ordinance, and the Property shall be developed in accordance with these regulations and the Planned Development “PD” Concept Plan as depicted on Exhibit “E” and associated Ancillary Concept Plans. Any use that is not expressly authorized herein is expressly prohibited in this PD. The regulations set forth herein.

B. Base District

In this PD, the “SF-4” Single-Family Residential District (Detached) regulations of the Corinth Unified Development Code (UDC), Ordinance No. 13-05-02-08, as amended, shall apply to the Property except as modified herein. If a change to the PD Concept Plan, and/or associated Ancillary Concept Plans is requested, the request shall be processed in accordance with the UDC and development standards in effect at the time the change is requested for the proposed development per the Planned Development Amendment Process.

SECTION 2 – USES AND AREA REGULATIONS

A. Purpose

The Saddlebrook Planned Development is intended to provide a quality residential development utilizing the location and concepts outlined in the Envision Corinth 2040 Comprehensive Plan by promoting variation in single-family dwelling types and lot sizes to create a “traditional neighborhood development” following new urbanist concepts while respecting the larger lot transitions of the existing surrounding neighborhoods. The development includes approximately 97 Single-Family Detached lots, as set forth in Exhibit “E” – PD Concept Plan, providing views and access to common open spaces including a large central green space designed to preserve a large grove of existing mature trees. The preserved tree area will have natural slopes ranging from 10-25%. The remarkable topography of the preserved area will facilitate the six-foot (6’) trail system that will meander through the trees and will provide a natural amenity for the community to enjoy.

B. Permitted Uses and Use Regulations

In the proposed PD, no building, or lands shall be used, and no building shall be hereafter erected, reconstructed, enlarged, or converted unless otherwise provided for in the SF-4 Single Family Residential District (Detached) regulations of the UDC or otherwise permitted by this PD Ordinance. Permitted Uses in the SF-4, Single Family Residential (Detached) District, as listed in Subsection 2.07.03 of the UDC, shall be permitted in the proposed PD District. The residential building layout shall be in general conformance with the PD Concept Plan shown in Exhibit “E” attached hereto.

C. Dimensional Regulations

UDC Subsection 2.08.04 Residential Dimensional Regulations Chart for the SF-4 Single Family Residential (Detached) District shall apply, except as modified in Table A – Dimensional Requirements below:

Table A – Dimensional Requirements:

| | SF-4 Base: | Dimensional Standards/Modification: | |
|--|----------------------|--|--------------------|
| | | 30' Lots | 45' Lots |
| Front Yard Setback | 25' | 7.5' | 20'/10' (1 &2) |
| Side Yard Setback: Interior Lot | 5' | Min 0', Min Cumulative 6' 10'(3) | 5' 10'(3) |
| Corner Lot | 15' | | |
| Rear Yard Setback | 20' | 20' | 15' |
| Garage Setback | 25' | 20' (rear entry)(4) | 20' (2) |
| Minimum Lot Area | 7,500 SF | 3,000 SF | 4,750 SF |
| Maximum Density | N/A | N/A | N/A |
| Minimum Lot Width: | 70' at building line | 30' | 45' |
| Minimum Lot Depth | 100' | 90' (105' typical) | 98' (115' typical) |
| Minimum Floor Area | 1,500 sq. ft. | 1,300 sq. ft. | 1,500 sq. ft. |
| Maximum Height (feet/stories) | | | |
| | 35'/2.5 | 35' / 2.5 | 35' / 2.5 |
| Maximum Building Area (all buildings) | 30% | 70% | 70% |

- (1) 10' Minimum Setback for the Front Porch
- (2) 20' Garage Setback on Front Entry Units.
- (3) Corner Lot is the lot where Lot sides to street ROW only.
- (4) Alley loaded 30' corner Lot to have minimum 18' garage setback.

Justification: These departures from the base district in subsection 2.04 are necessary to provide for the proposed product and are commonly found throughout the Dallas-Fort Worth Metroplex. These departures will also allow the property to be developed in accordance with the overall density outlined in the Envision Corinth 2040 Comprehensive Plan.

D. Development Standards

Except as otherwise set forth, the Development Standards of Subsection 2.04.04, SF-4, Single Family Residential (Detached) of Subsection 2.04, “Residential Zoning Districts” of the UDC, for the SF-4 Single Family District (Detached and all other requirements of the UDC shall apply to development within the proposed PD, Saddlebrook.

1. **UDC Subsection 2.07.07 Accessory Buildings and Uses** shall apply, as may be amended.
2. **UDC Subsection 2.09.01 Landscaping Regulations for Attached, and Detached Single Family Developments** shall apply, except as modified below:
 - a. Subsection 2.09.01.B.2.B.(a) and (b) **Required Landscaping and Location of Trees** shall be modified to require, at a minimum, the number, size, and location of Shade Trees for 30’ Home Lots and 45’ Home Lots as depicted in Exhibit “F” – Conceptual Landscape Plan (where Shade Trees are shown within lots, within the right-of-way, and within Common Open Space X-Lots). The exact location and type of species of said Shade Trees shall be further defined in the detailed Landscape Plan to be submitted with Civil Plans. The detailed Landscape Plan shall serve as a guide for the Builder and City Staff during construction by identifying the species to be planted along each street as well as standards for Shade Trees to be located within the public right-of-way (in the “Parkway,” where Parkway is defined as the five foot (5’) or wider landscaped area between the sidewalk and curb), and as located within the respective Lots fronting onto common open space X-Lots (where Shade Trees as shown to be located along the sidewalk/trail). Shade Trees shall be located 30’ on center within the aforementioned parkway.
 - i. The Builder shall be responsible for the installation of the Shade Trees associated with each 30’ and 45’ Lots as described above and depicted on Exhibit “F”— Conceptual Landscape Plan and as shall be further deigned on the Landscape Plans at time of the Civil Plans as noted above. This shall include Shade Trees to be located in the Parkway adjacent to each lot (front and side frontage) and trees shown within the lot or common open space lot, where applicable. The installation of the shade trees shall be satisfied prior to issuance of Certificate of Occupancy/Building Final.
 - ii. The Developer shall be responsible for installing Shade Trees within all “Parkway” locations that abut common open space lots and along Creekside Drive and shall be further defined in the Landscape Plan to be submitted at time of Civil Plan).
 - iii. 30’ and 45’ Homes shall be subject to the minimum landscape requirements including shrubs and ornamental tree(s) as set forth in Subsection 2.09.01.B. – Requirements for Single Family Attached and Detached Lots except as noted above whereby the required Shade Trees shall be permitted (and shall be required) to be located within the Parkway (departure from B.(b)(1) location of trees) and with the exception that landscape in all front yards shall be consistent with the principles and recommendations of Texas SmartScape landscaping.
 - b. All landscaping and Shade Trees within the Parkway, along Creekside Drive, and within the common open space X-Lots shall be maintained by the Homeowners Association in perpetuity.
 - c. Front yard and common open space lot landscaping shall utilize drought-tolerant, native vegetation in keeping with Texas SmartScape principles.

3. **UDC Subsection 2.09.02 Tree Preservation shall apply, except as modified below:**
 - a. The Applicant has agreed to preserve a minimum of 20.1% of the total Healthy Protected Tree caliper inches on site within Common Open Space Lots (X-Lots) as generally depicted on Exhibit “F”—Conceptual Landscape Plan and Tree Preservation Plan which currently depicts a preservation rate of 26.8% as a goal. Recognizing this commitment, 1.79 acres of the Tree Preservation area shall be counted towards satisfying the minimum required Trail and Land Dedication Requirements of UDC Subsection 3.05.10. provided that a minimum 20.1% percentage of Healthy Protected Tree caliper inches are preserved in perpetuity within the Common Open Space Lots (X-Lots) as referenced herein for minimum preservation and as confirmed at the time of Civil Construction Plans with the submittal of the formal Tree Preservation/Mitigation Plan documents.

4. **UDC Subsection 2.09.03 Vehicular Parking Regulations and Pedestrian Oriented Street Design shall apply, except as modified below:**
 - a. Two car garage spaces shall be provided to accommodate off-street parking requirements for single family dwellings.
 - b. On-Street parking shall be provided as generally depicted in **Exhibit “E”—PD Concept Plan** and **Exhibit “F”—Conceptual Landscape Plan**.
 - c. Typical Street Sections are presented in Exhibit “E” – PD Concept Plan and depict the location of on-street parking spaces, curbs, parkways, street trees, sidewalks, and minimum front yard setbacks.

5. **UDC Subsection 2.04.04.C.2 Garage Regulations shall apply, except as modified below:**
 - a. The garage door(s) shall have a minimum setback of 20 feet. No more than two (2) single garage doors or one (1) double garage door shall face the primary street on a front elevation. In conjunction with this standard is the minimum/maximum primary façade setback requirement of 10’(minimum) to 20’(maximum) which requires the front porch and/or front façade of the home to define the streetscape.
 - b. Driveway width shall be a minimum of 11 feet wide and a maximum of 16 feet wide and may widen to a maximum width of 18’ past the inner edge of the sidewalk. If the driveway is less than 16’ in width, the curb shall be designed with a rolled curb.
 - c. For any dwelling on a lot less than 45’ in width (Typical 30’ Lot) at the front building setback line, the garage shall be accessed by the alley
 - d. Garage doors facing the public street shall be decorative with either hardware and/or glass inserts. Additionally, sconces shall be provided as an architectural amenity along with the decorative doors. Alley served garage doors are not subject to this provision.
 - e. The following are examples of decorative garage doors that generally comply with this section.



6. **UDC Subsection 2.09.04 Building Façade Material Standards** shall apply, except as modified below:

- a. Exterior wall materials – Each façade (excluding doors and windows) shall consist only of masonry construction materials and/or fiber- reinforced cementitious board as presented in Exhibit “G”— Representative Product Types.
- b. Each building shall include at least four of the following architectural elements; however, a Covered Front Porch shall be required for each front façade for all lots (min. 70 square feet).
 - i. Metal roof accents;
 - ii. Dormers;
 - iii. Offsets within each building (a minimum 5 feet to receive credit);
 - iv. Covered Front Porches (a minimum of 7' depth & seventy (70) square feet in size, including the front door entrance area);
 - v. Stoops (a minimum of 2 feet tall by 4 feet wide);
 - vi. Varied roof height in building (a minimum of 10-foot difference)
 - vii. Sconce lighting;
 - viii. Decorative banding or molding;
 - ix. Awnings or canopies – awning or roof overhang over garage door shall be required for all front-loaded lots as generally shown on Exhibit “G” – Representative Elevation Imagery
 - x. Front porch columns;
 - xi. Bay windows; and
 - xii. Shutters

7. **UDC Subsection 2.09.05 Residential Adjacency Standards** shall apply.
8. **UDC Subsection 2.09.06 Nonresidential Architectural Standards** shall apply.
9. **UDC Subsection 2.09.07 Lighting and Glare Regulations** shall apply.
10. **UDC Subsection 4.01 Sign Regulations** shall apply.
11. **UDC Subsection 3.05.05 Alley Standards** shall apply.
 - a. Typical Alley Section – see Exhibit “E” – PD Concept Plan
12. **UDC Subsection 3.05.09 Lot Standards** shall apply, except that 30’ Lots fronting onto Common Open Space X-lots, with rear entry access provided by an alley, shall be allowed, as shown in Exhibit “E”.

Justification:

This departure from subsection 3.05.09 of the UDC is necessary to provide a unique design with additional landscaping while continuing to achieve an overall density consistent with the Envision Corinth 2040 Comprehensive Plan. This departure also allows for additional landscaped open space.

13. **UDC Subsection 3.05.10 Park and Trail Dedication** requires that Park and Trail dedication for Residentially Zoned Property be provided at a rate of 1 acre per/50 DU and/or fees-in-lieu-of or combination shall apply, except as modified below:
 - a. Exhibit “E” shows 4.11 acres of common open space land to be owned and maintained in perpetuity by the Homeowners Association. Of that area, 1.91 acres shall satisfy the requirement of Subsection 3.05.10. Amenities within the common open space lots include site furnishing and associated enhanced landscaping located along sidewalks and trails.
 - b. Existing Healthy Protected Trees and any required Mitigation Trees to be replanted within common open space lots shall be preserved in perpetuity and cared for by the Homeowner’s Association.
 - c. Trails, sidewalks, and amenities located within the common open space (X-lots) shall be maintained and replaced in kind in the event of removal, disrepair, and/or destruction as provided for the restrictive covenants. The details of such ownership and maintenance obligation shall be set forth in the covenants and shall be recorded prior to recording of the Final Plat
 - i. Developer shall construct a minimum six foot (6’) wide trail system, which may meander between the public right-of-way and the common open space lots along Creekside Drive(X-lots) and a five foot (5’) wide trail system through 50’ gas easement (with gas company’s permission) as generally depicted in Exhibit “F”—Conceptual Landscape Plan. Where a sidewalk or trail meanders outside of the public right-of-way and into the common open space lots (X-lots), a public pedestrian access easement shall be provided permitting public access along the pedestrian trail system.
 - d. Trails shall utilize lighting in strategic locations in line with best practices. Location of lighting to be ultimately determined at the time of full landscape plan submittal.
 - e. The western wet retention area shall be improved with walkway/sidewalk to the North and South of it. It should have at least 1 defined landscape pocket to include sitting area with benches, lighting and shrub bed. The pond shall include a fountain feature.




- f. The eastern dry detention area shall be improved with five-foot (5') meandering trail on 2 sides that include defined landscape pockets to include sitting area with benches, lighting ornamental grass and shrub bed. Shade trees and ornamental trees provided along the trail may count towards mitigation credits. The flat bottom of the basin shall be kept manicured, maintained, and in a condition that will not promote standing water. Mitigation trees such as bald cypress may be planted in clusters in strategic locations within the basin area to create small groves and shade around the edges of the pond, provided no trees interfere with the function of the pond as determined at the time of Civil review.
- g. A nature-based design playground shall be installed within the common open space, with final design to be determined at time of Landscape/Hardscape Plan with the Civil Plan Set.

Justification:

These departures from subsection 3.05.10 of the UDC are necessary to allow the developer to provide inclusive open space that promotes active outdoor experiences for all residents of the City of Corinth.

14. UDC Subsection 4.02 Fence and Screening Regulations shall apply, except as modified below and further depicted on Exhibit “F” – Conceptual Landscape Plan:

- a. A 6'-0" in height masonry-wall with 7'-0" in height masonry columns, with columns spaced every other lot corner and at wall ends, shall be provided as shown on Exhibit “F”.
- b. The following standards shall apply to fencing as noted on Exhibit “F” – Conceptual Landscape Plan and further outlined below:

-  6'-0" HT. MASONRY SCREENING WALL WITH 7'-0" HT. MASONRY COLUMNS AT WALL TERMINATION; BY DEVELOPER
-  6'-0" HT. ORNAMENTAL METAL FENCE WITH 7'-0" HT. MASONRY COLUMNS AT FENCE TERMINATION; BY DEVELOPER
-  6'-0" HT. ORNAMENTAL METAL FENCE; BY BUILDER

SECTION 3: OTHER DEVELOPMENT CONSIDERATIONS

A. Representative Product Type

- 1. Exhibit “G” provides a representation of the home model types to be constructed in the Saddlebrook Planned Development according to dwelling type: 30' Lot and 45' Lot

B. Sidewalks

- 1. Sidewalk shall be provided by home builders during construction of the home with the exception of sidewalks and trails noted along and within the Common Open Space Lots which shall be installed by the Developer

C. Authorization for Sanitary Sewer service

- 1. Per previous coordination with the City of Corinth, the west half of the proposed development will sewer to Post Oak Drive and then north in an existing sanitary sewer system. The east half of the

proposed development will sewer to the southeast and into an existing sanitary sewer manhole within the new Meritage development. Written authorization and an easement will be needed from the existing property owner to the east. The alignment of the offsite sanitary sewer easement shall be referenced on the Preliminary Plat for Saddlebrook as an off-site improvement and dedicated at the time of Civil Plan approval by plat or separate instrument and recorded in the records of the Denton County Clerk.

D. Creekside Drive

1. Creekside Drive is on the City's Master Thoroughfare Plan (MTP) and is being proposed to be constructed solely by the applicant. The rights-of-way shall be referenced on the Preliminary Plat for the Saddlebrook plat as off-site improvements and dedicated at the time of Civil Plan approval by plat or separate instrument and recorded in the records of the Denton County Clerk.
2. Should it be determined at the time of civil design that alterations to the north side of Creekside Drive are necessary to accommodate additional retaining walls or other infrastructure, the design of Creekside Drive may be modified to reduce the northern trail width to a minimum of six-feet (6') and reduce the landscape strip width to a minimum of six-feet (6') between the trail and curb as generally depicted on the alternative Collector Road cross-section included on the Concept Plan – Exhibit "E". This design alteration shall only be permitted should it be determined by the City's Engineer that the proposed eight-foot (8') wide trail cannot be reasonably accommodated, and the trail shall be maximized in width up to 8' as possible.
3. The design and construction of the Creekside Drive shall be in accordance with the typical as depicted on both the Concept Plan - Exhibit "E" and Conceptual Landscape Plan – Exhibit "F" which includes the installation of Shade Trees within the Parkway.

E. Phasing

1. This property will be developed in one (1) phase.

F. Utility Infrastructure/Floodplain and Drainage

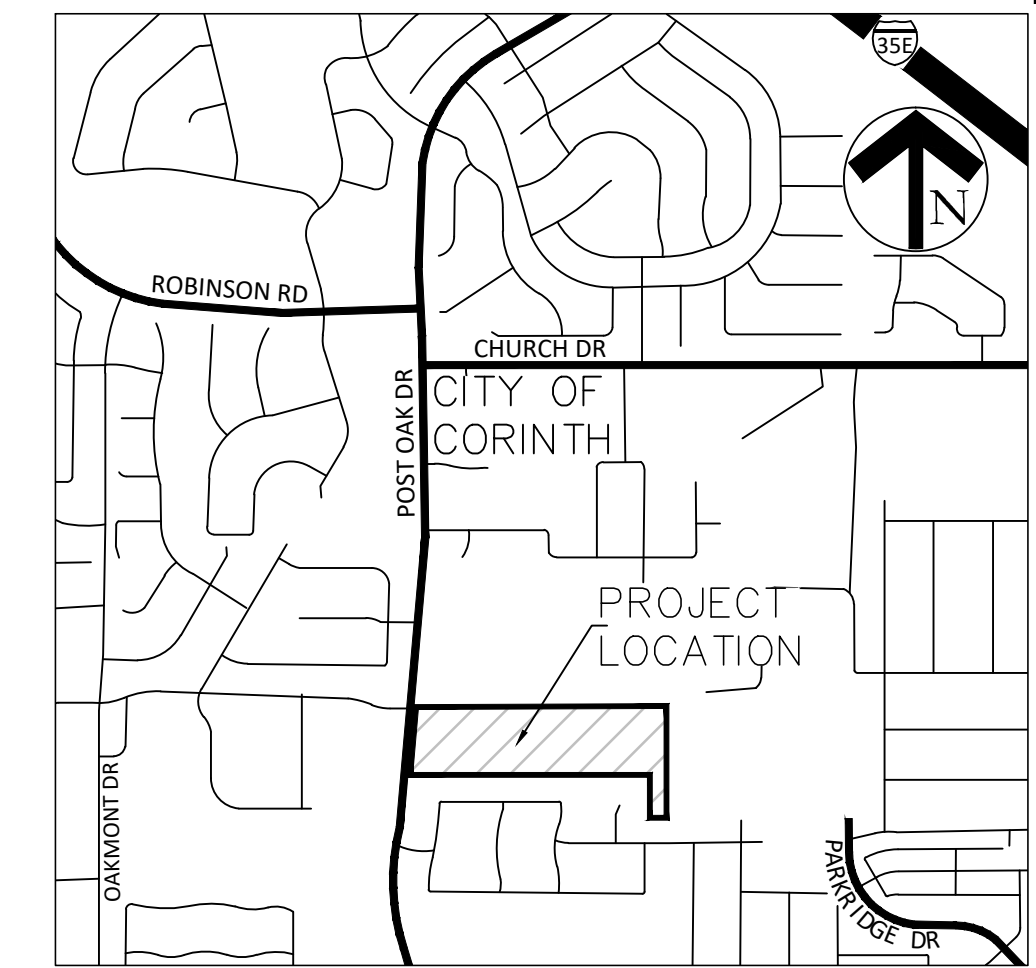
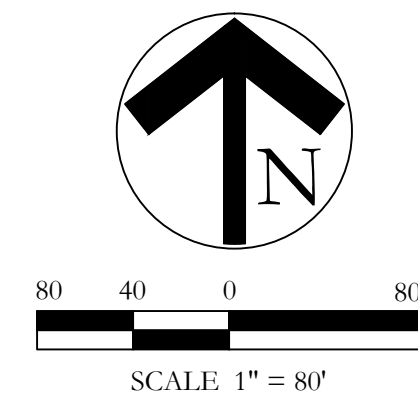
1. Electric, Gas, and Telecom utilities will all be installed in a 7.5' Franchise Utility Easement which shall be dedicated along all street/alley ROW and within a 5' Franchise Utility Easement along the side yard where necessary.
2. There is no floodplain on this property. There is a small offsite sanitary sewer easement in the southeast corner required to serve the east half of the proposed development. Any proposed drainage will not affect the protected tree groves shown in the Tree Preservation Plan.

WINDSOR RIDGE AT OAKMONT PH-III
DOCUMENT NO. 99-R0111373
P.R.D.C.T.

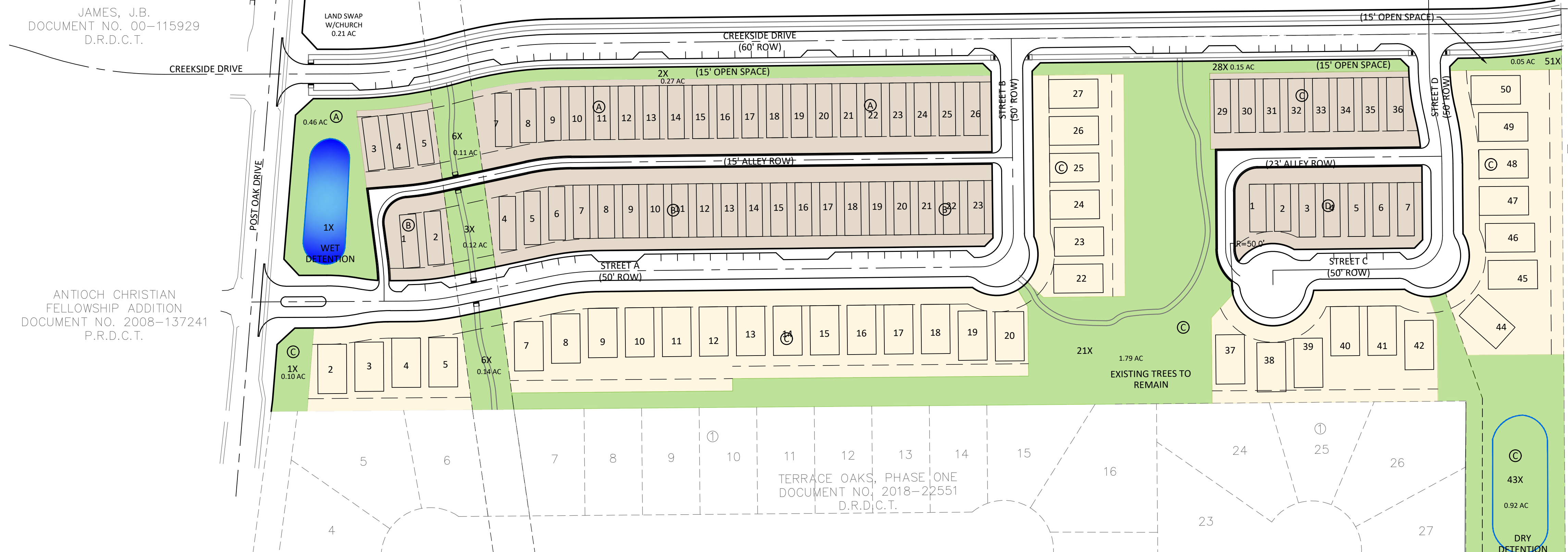
JAMES, J.B.
DOCUMENT NO. 00-115929
D.R.D.C.T.

ANTIOCH CHRISTIAN FELLOWSHIP ADDITION
DOCUMENT NO. 2008-137241
P.R.D.C.T.

ANTIOCH FELLOWSHIP ADDITION
DOC. NO. 2016-128
P.R.D.C.T.
ANTIOCH CHRISTIAN FELLOWSHIP
OF CORINTH TEXAS, INC.
DOCUMENT NO. 2024-47086
D.R.D.C.T.



VICINITY MAP
1" = 2000'



HAISLIP FAMILY FARM
DOCUMENT NO. 2006-94306
P.R.D.C.T.

| Site Summary Table | | |
|---|------------|-------------|
| Description | Quantity | Units |
| Proposed Base Zoning | | PD-XX |
| Land Use Designation | | Residential |
| Gross Acreage | 16.770 | AC |
| Net Acreage | 14.980 | AC |
| Proposed Lots | | |
| Proposed 30' Lots | 60 | UNIT |
| Proposed 45' Lots | 37 | UNIT |
| Total Proposed Lots | 97 | UNIT |
| Total Proposed Net Open Space Lots | 11 | LOT |
| Area of Net Undeveloped Open Space | 1.79 | AC |
| Area of Net Open Space | 4.11 | AC |
| Percentage of Open Space | 25% | % |
| Area of Required Landscaping Provided | 2.32 | AC |
| 30' Lots Minimum Floor Area | 1,300 | SF. |
| 45' Lots Minimum Floor Area | 1,500 | SF. |
| Maximum Building Height | 35/2 - 1/2 | FT |
| Required Parking (2 Per Lot) - 192 Spaces | | |
| Driveway/Street Parking Provided | 256 | UNIT |
| Garage Parking (2 Per Unit) | 194 | UNIT |
| Total Parking | 450 | UNIT |
| Start of Construction (Month/Year) | | |

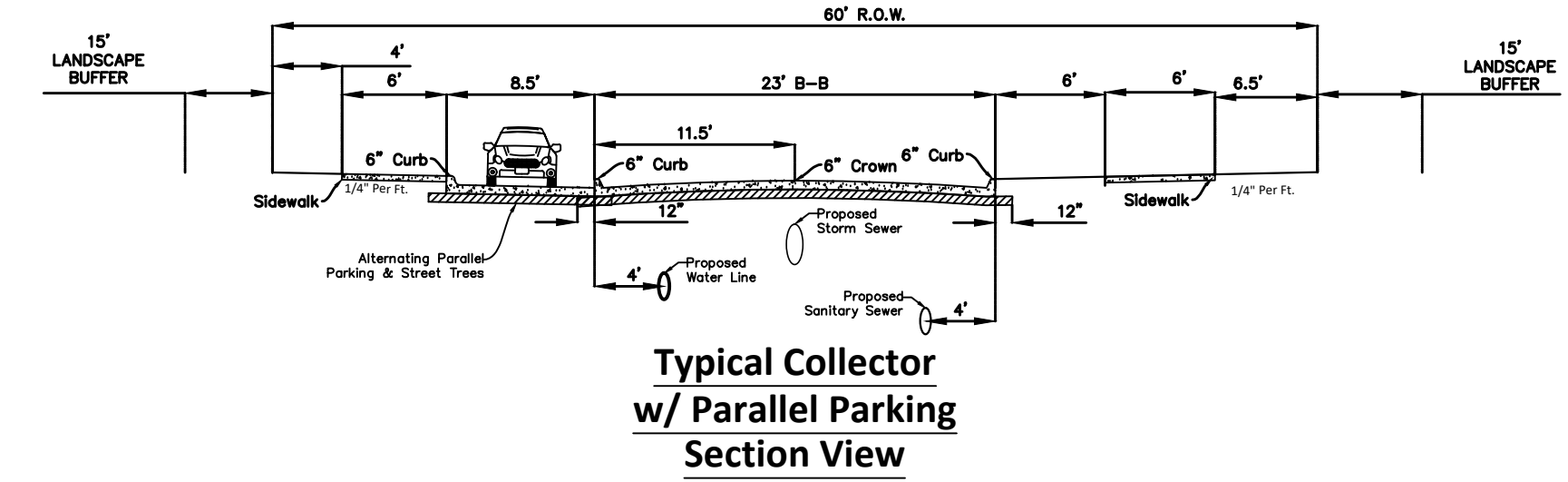
EXHIBIT E - PD CONCEPT PLAN
SADDLEBROOK
CITY OF CORINTH, DENTON COUNTY, TEXAS

TOTAL RESIDENTIAL LOTS 97
TOTAL OPEN SPACE 11
TOTAL GROSS ACRES 16.770

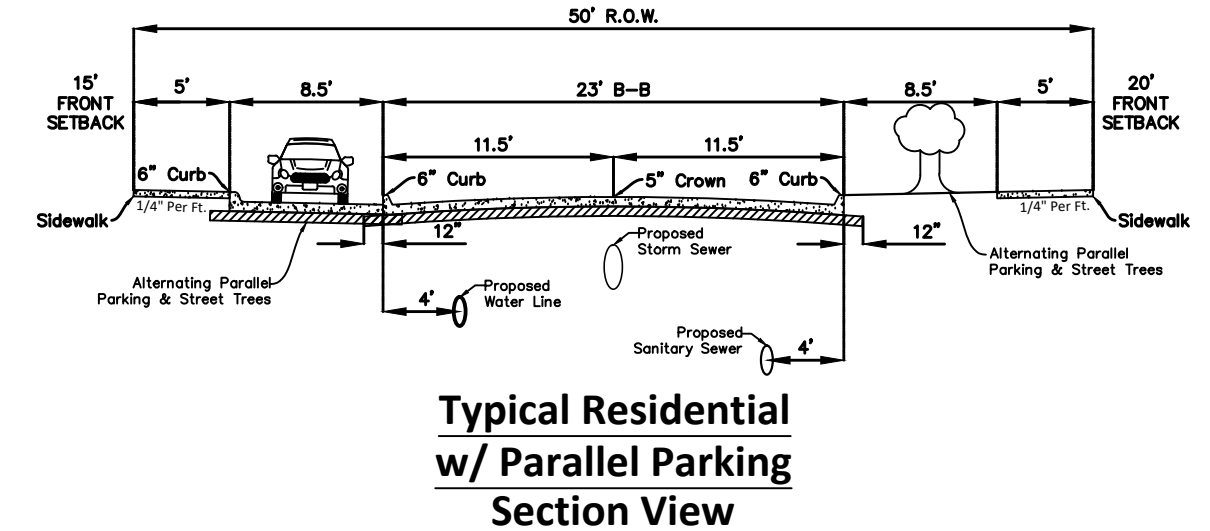
OUT OF THE
WILLIAM C. GARRISON SURVEY, ABSTRACT No. 508

Applicant
Bridge Tower Homes, LLC
5430 LBJ Freeway, Suite 1050
Dallas, Texas 75240
Phone: 469-936-1695
Contact: Shaivali Desai

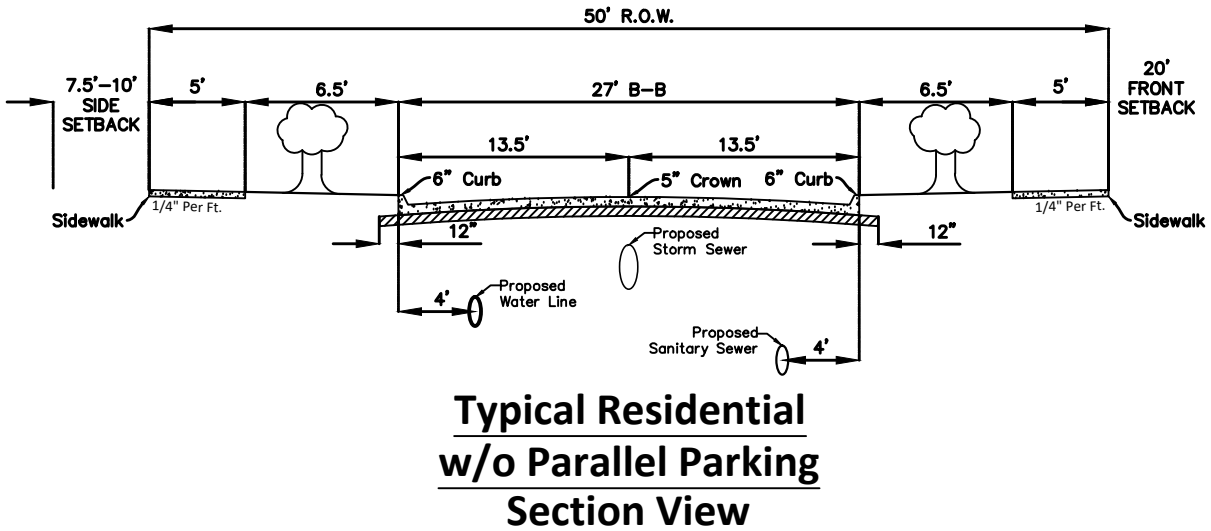
Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972-201-3100
Contact: Tom Dayton, PE



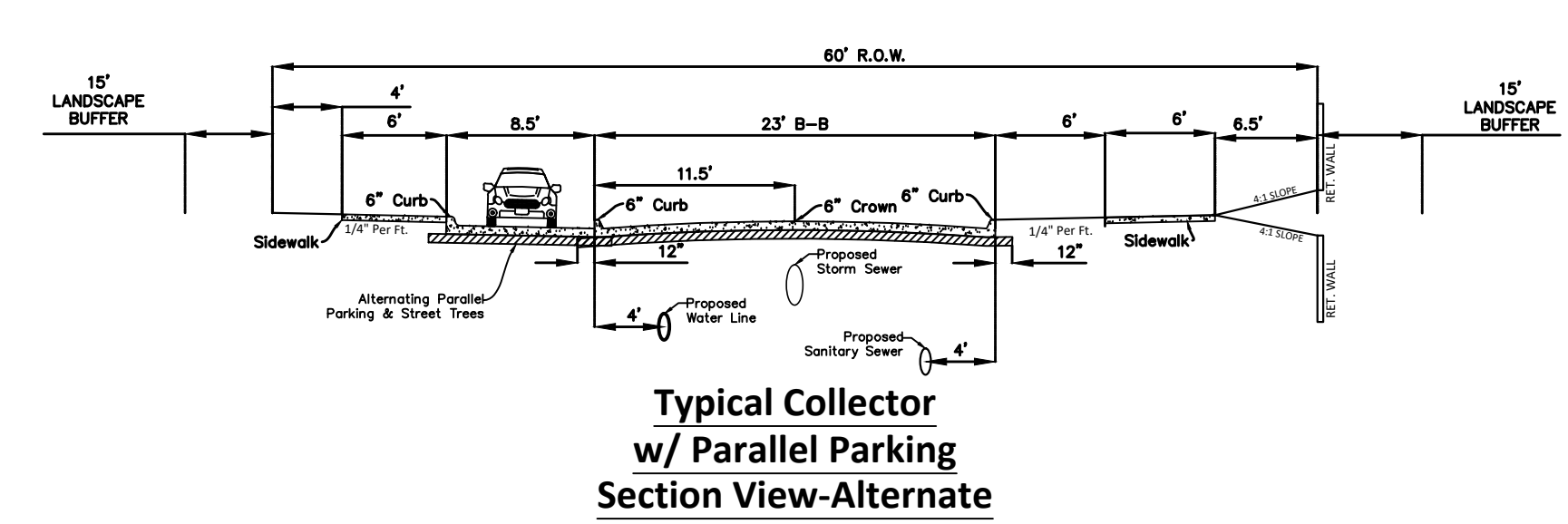
Typical Collector
w/ Parallel Parking
Section View



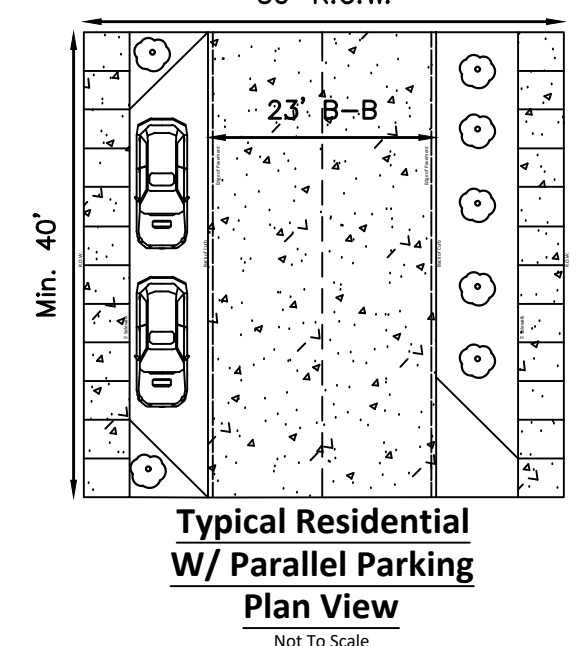
Typical Residential
w/ Parallel Parking
Section View



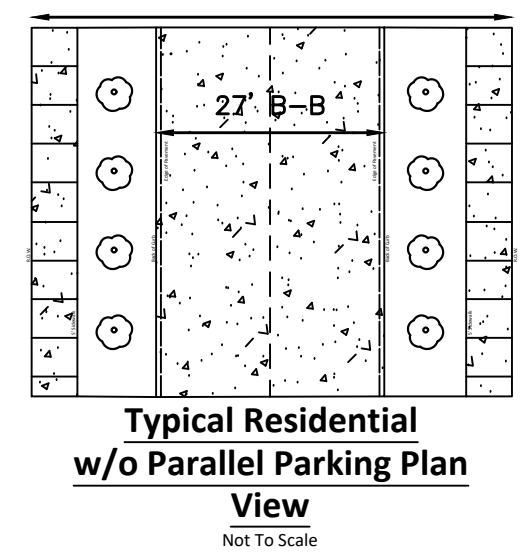
Typical Residential
w/o Parallel Parking
Section View



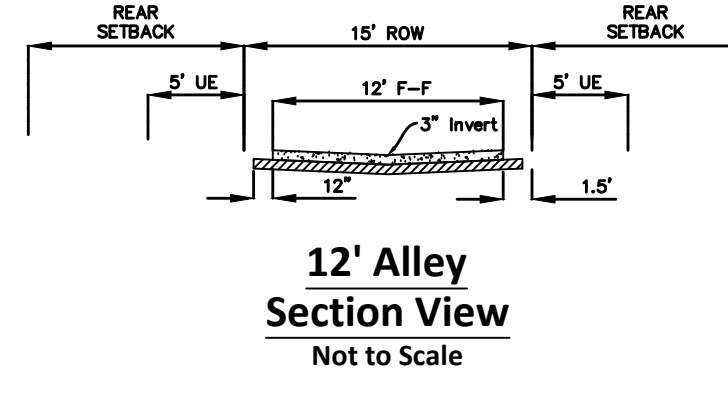
Typical Collector
w/ Parallel Parking
Section View-Alternate



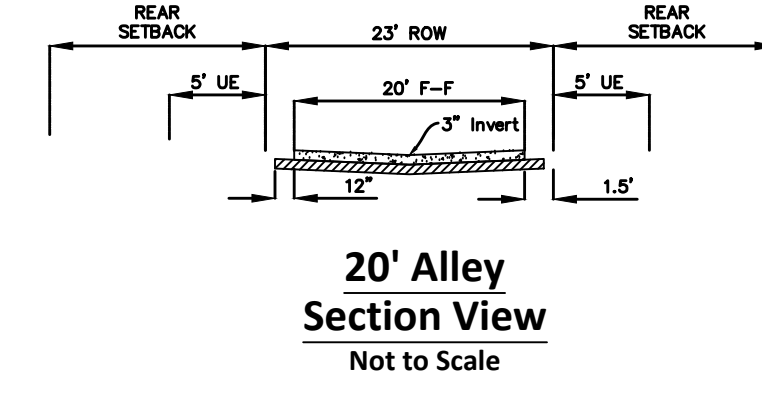
Typical Residential
w/ Parallel Parking
Plan View



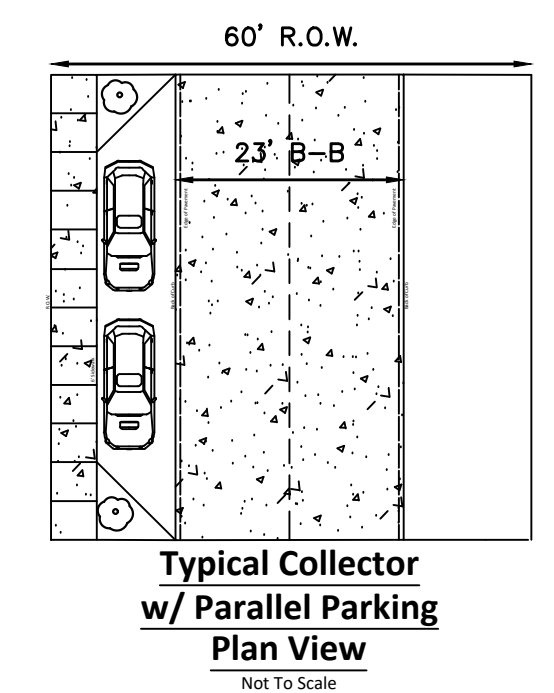
Typical Residential
w/o Parallel Parking
Plan View



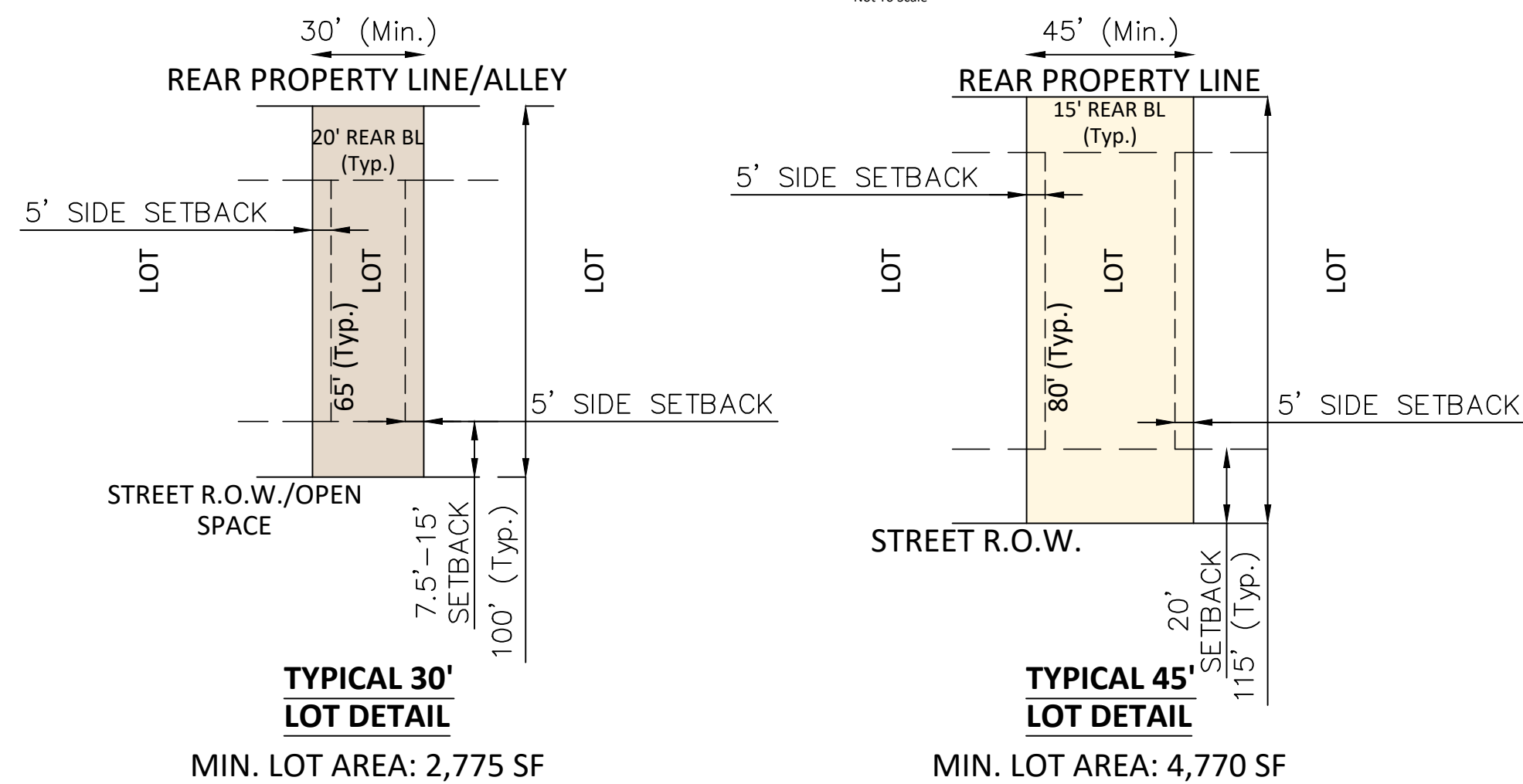
12' Alley
Section View
Not to Scale



20' Alley
Section View
Not to Scale



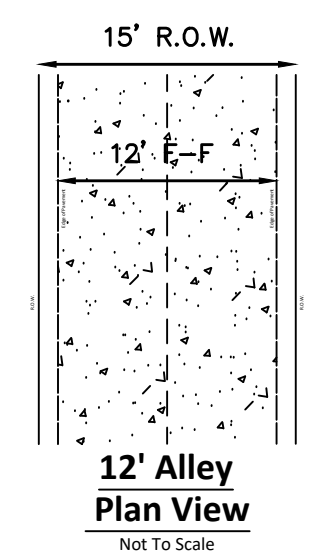
Typical Collector
w/ Parallel Parking
Plan View



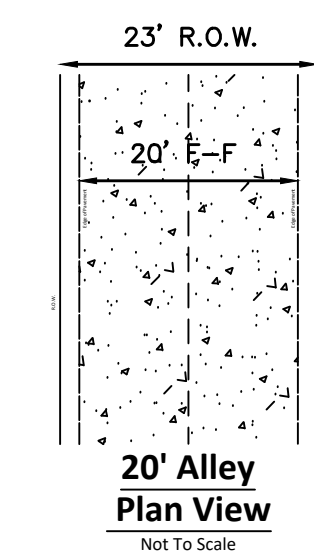
TYPICAL 30'
LOT DETAIL
MIN. LOT AREA: 2,775 SF

TYPICAL 45'
LOT DETAIL
MIN. LOT AREA: 4,770 SF

- 30'X100' LOT
- 45'X115' LOT
- GREEN/OPEN SPACE



12' Alley
Plan View
Not to Scale

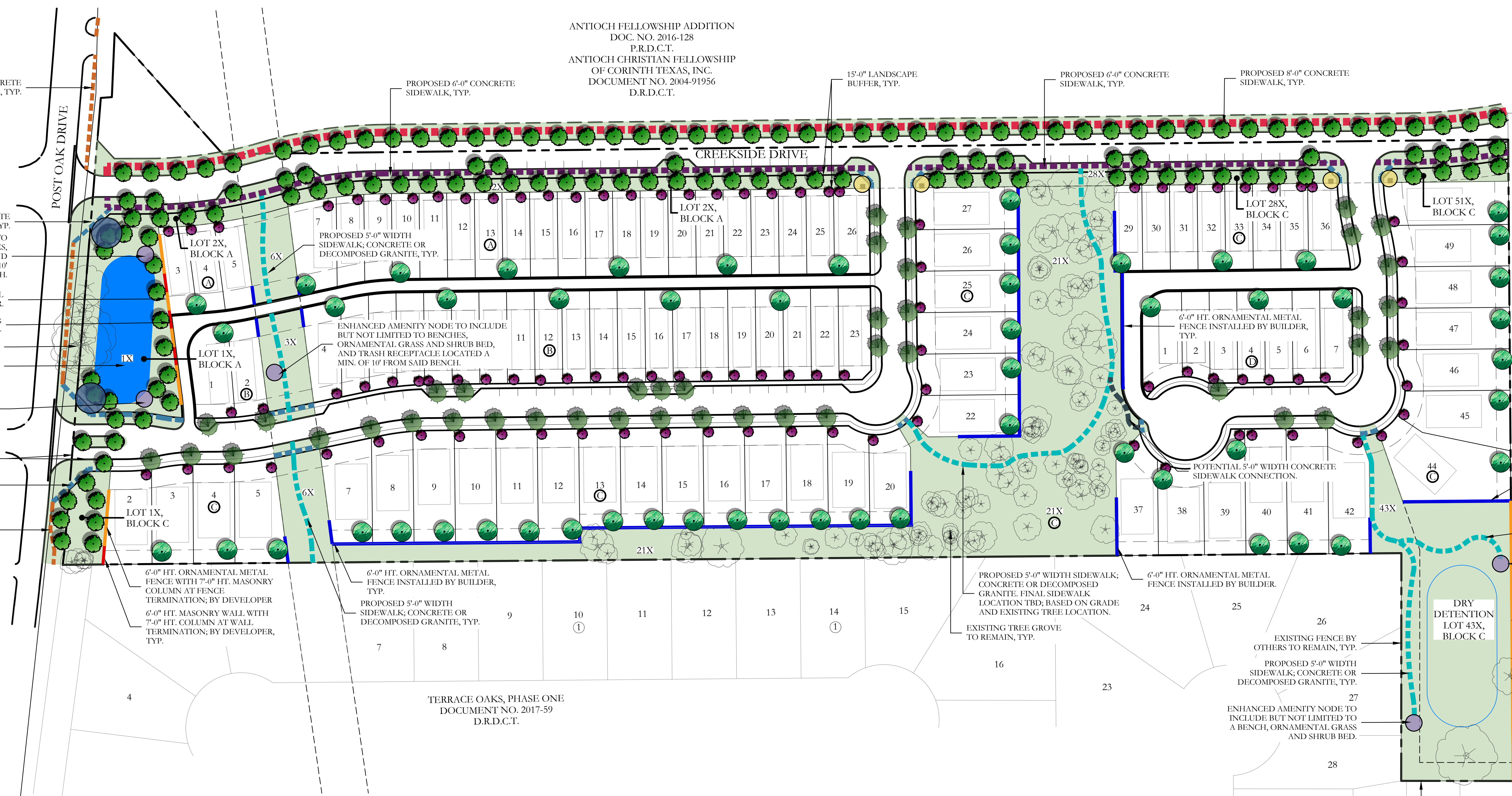


20' Alley
Plan View
Not to Scale

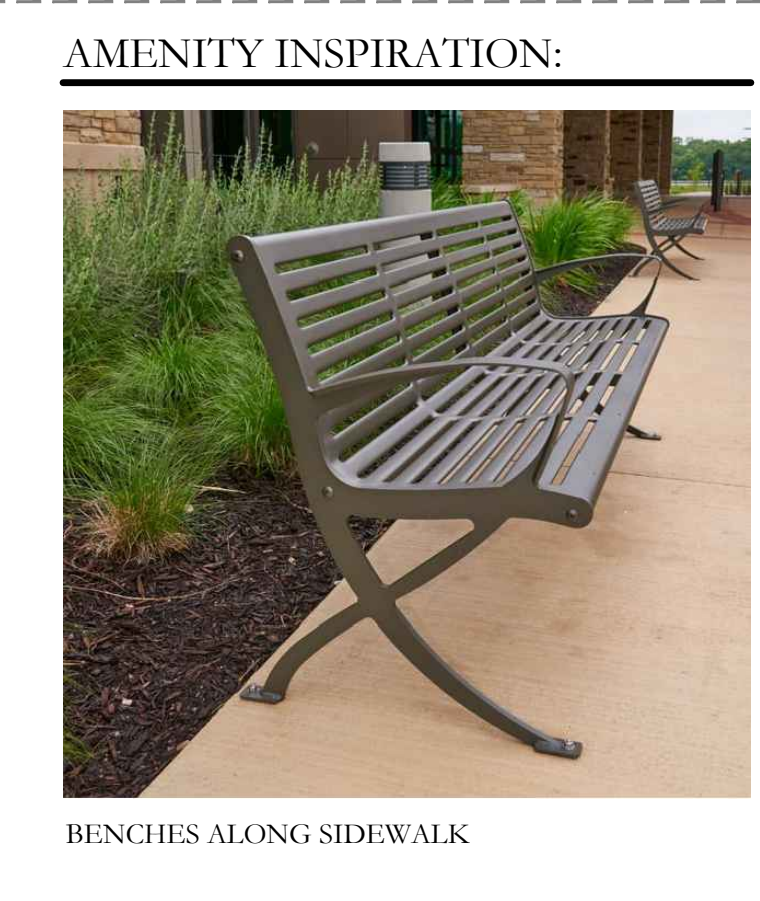
| PRODUCT | UNITS | ACCESS | % OF UNITS |
|----------------|-----------|--------|------------|
| 30'X100' (TYP) | 60 | REAR | 62 |
| 45'X115' (TYP) | 37 | FRONT | 38 |
| TOTAL | 97 | - | 100 |

ANTIOCH FELLOWSHIP ADDITION
DOC. NO. 2016-128
P.R.D.C.T.
ANTIOCH CHRISTIAN FELLOWSHIP
OF CORINTH TEXAS, INC.
DOCUMENT NO. 2004-91956
D.R.D.C.T.

J.B. JAMES
DOCUMENT NO.
94-00058956
D.R.D.C.T.



NOTE: REFER TO TREE SURVEY FOR EXACT LOCATION OF ALL EXISTING TREES TO REMAIN.



CALLOUTS LEGEND:

| | | | |
|--|--|--|---|
| | 6'-0" HT. MASONRY SCREENING WALL WITH 7'-0" HT. MASONRY COLUMNS AT WALL TERMINATION; BY DEVELOPER. | | 8'-0" WIDTH CONCRETE SIDEWALK. |
| | 6'-0" HT. ORNAMENTAL METAL FENCE WITH 7'-0" HT. MASONRY COLUMNS AT FENCE TERMINATION; BY DEVELOPER. | | 6'-0" WIDTH CONCRETE SIDEWALK. |
| | 6'-0" HT. ORNAMENTAL METAL FENCE; BY BUILDER. | | 5'-0" WIDTH CONCRETE SIDEWALK. |
| | MAIN ENTRY SIGN MONUMENT. | | 5'-0" WIDTH SIDEWALK CONCRETE OR DECOMPOSED GRANITE. |
| | 10'-0" HT. MASONRY LOGO COLUMN | | POTENTIAL 5'-0" WIDTH CONCRETE SIDEWALK CONNECTION. |
| | ENHANCED AMENITY NODE TO INCLUDE BUT NOT LIMITED TO BENCH, ORNAMENTAL GRASS AND SHRUB BED, AND TRASH RECEPTACLE LOCATED A MIN. OF 10' FROM SAID BENCH. | | EXISTING 5'-0" WIDTH CONCRETE SIDEWALK TO REMAIN. |
| | OPEN SPACE | | 3" CALIPER SHADE TREE; SPECIES TBD. BASED OFF CITIES RECOMMENDED PLANT MATERIAL LIST; INSTALLED BY DEVELOPER. |
| | | | 3" CALIPER SHADE TREE; SPECIES TBD. BASED OFF CITIES RECOMMENDED PLANT MATERIAL LIST; INSTALLED BY BUILDER. |
| | | | PRIVATE LOT 3" CALIPER SHADE TREE. INSTALLED BY BUILDER. |
| | | | PRIVATE LOT 2" CALIPER ORNAMENTAL TREE; INSTALLED BY BUILDER. |

LANDSCAPE PROVIDED:

POST OAK DRIVE

A. 1 - 3" CAL SHADE TREE / 30 LF OF LANDSCAPE EDGE
257 LF / 30 LF = 856 - 3" CAL SHADE TREES REQUIRED.
PROVIDED: 8 EXISTING TREES TO REMAIN
1 - 3" CAL SHADE TREE
TOTAL: 9 TREES ALONG POST OAK DRIVE

B. 1 - 3" CAL SHADE TREE / 30 LF OF SCREEN WALL
267.40 LF / 30 LF = 891 - 3" CAL SHADE TREES REQUIRED.
PROVIDED: 9 - 3" CAL SHADE TREE.

CREEKSIDE DRIVE - NORTH

A. 1 - 3" CAL SHADE TREE / 30 LF OF LANDSCAPE EDGE
1,509 LF / 30 LF = 503 - 3" CAL SHADE TREES REQUIRED.
PROVIDED: 50 - 3" CAL SHADE TREE.

CREEKSIDE DRIVE - SOUTH

A. 1 - 3" CAL SHADE TREE / 30 LF OF LANDSCAPE EDGE
1,525 LF / 30 LF = 508 - 3" CAL SHADE TREES REQUIRED.
PROVIDED: 51 - 3" CAL SHADE TREE.

INTERNAL SOUTH ENTRY DRIVE

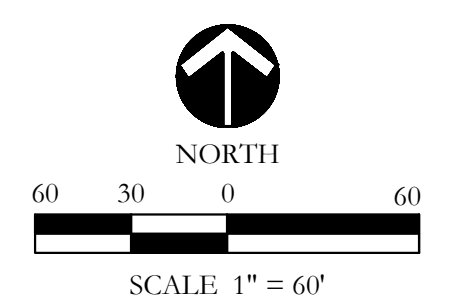
A. 1 - 3" CAL SHADE TREE / 30 LF OF LANDSCAPE EDGE
120 LF / 30 LF = 4 - 3" CAL SHADE TREES REQUIRED.
PROVIDED: 4 - 3" CAL SHADE TREE.

ADDITIONAL TREES SHOWN

A. PROVIDED: 20 - ADDITIONAL 3" CAL SHADE TREES NOT COUNTING TOWARDS REQUIRED LANDSCAPE SHOWN.

EXHIBIT F
CONCEPTUAL LANDSCAPE PLAN

NOTE: ALL PLANS SHOWN HEREIN ARE CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE.

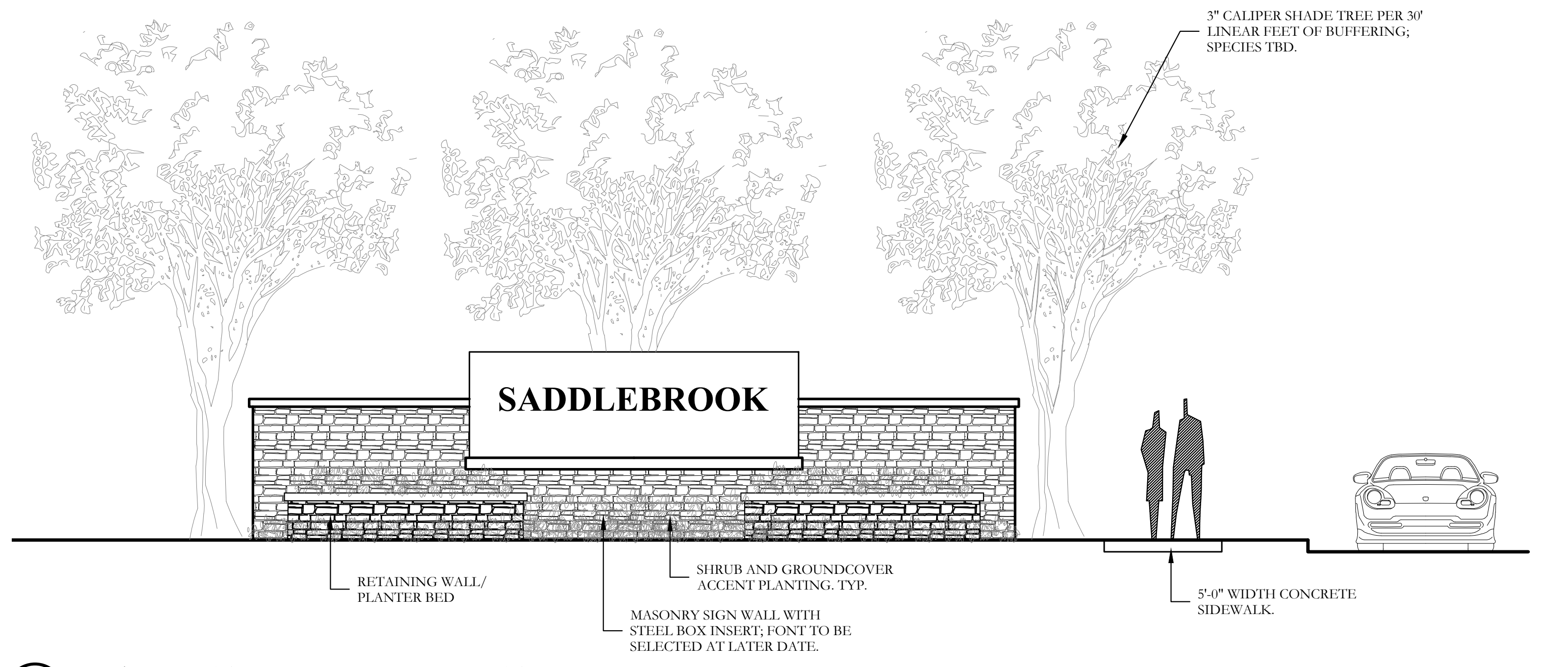


SADDLEBROOK / CONCEPTUAL SCREENING AND BUFFERING

City of Corinth, Denton County, Texas

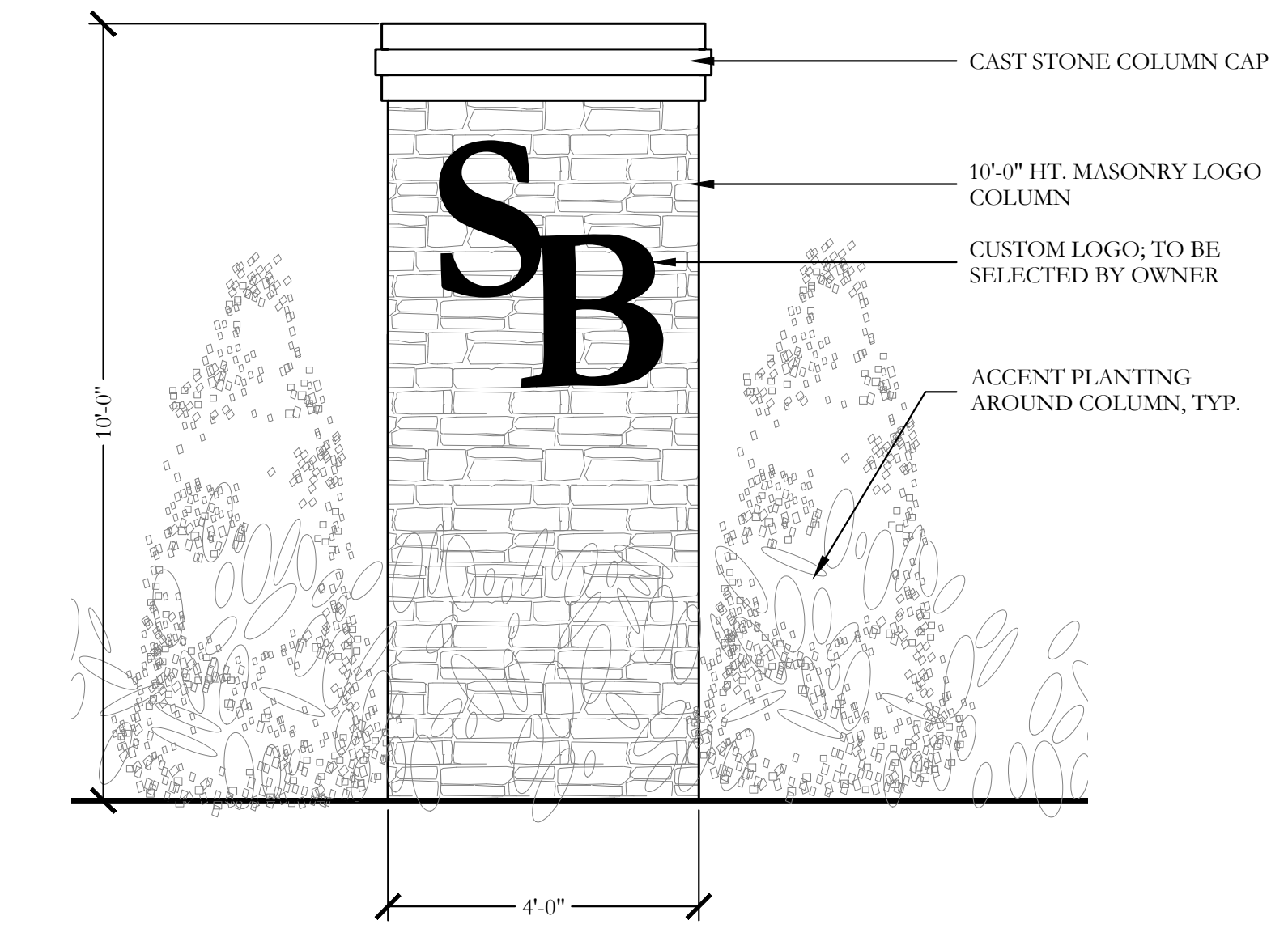
SHEET 1 OF 2
City Submittal 02-11-2025

JOHNSON VOLK CONSULTING
 TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



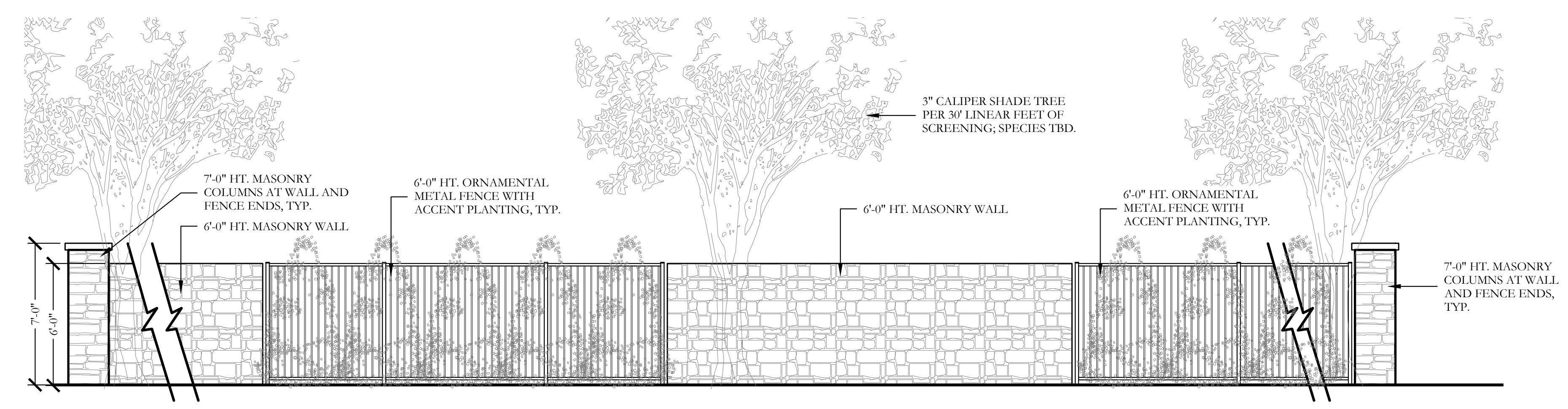
1 MAIN ENTRY SIGN MONUMENT ELEVATION

SCALE: 1/4" = 1'-0"



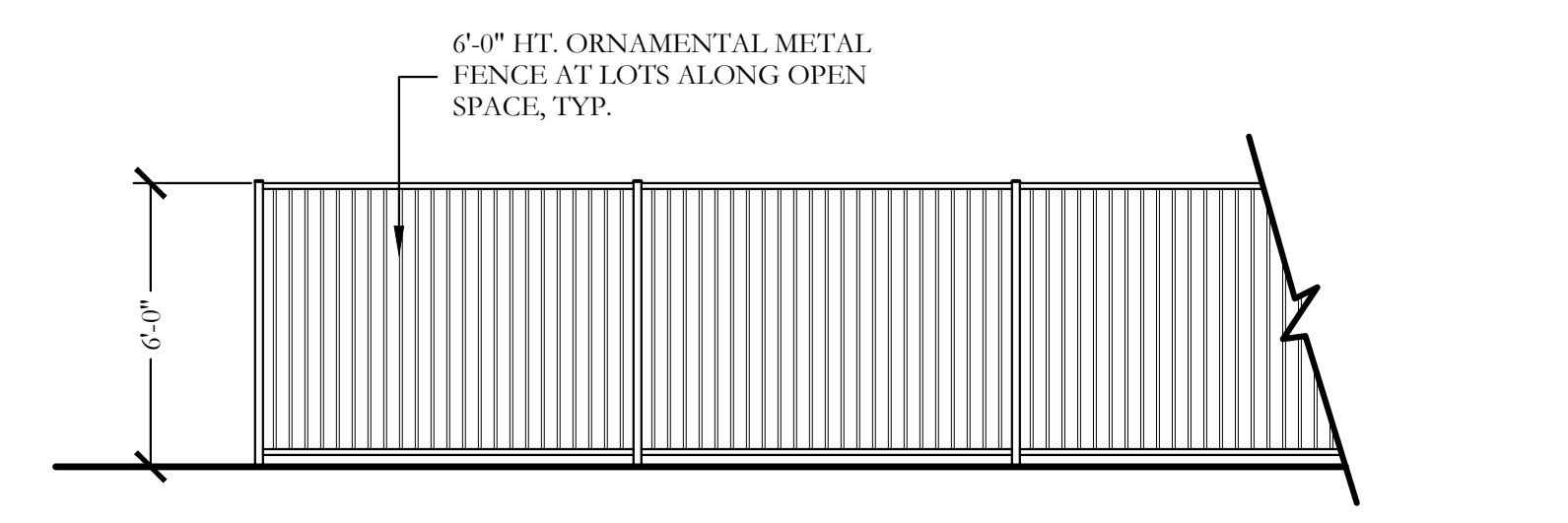
3 10'-0" HT. MASONRY LOGO COLUMN ELEVATION

SCALE: 1/2" = 1'-0"



2 6'-0" HT. MASONRY WALLS AND 6'-0" ORN. METAL FENCE ALONG POST OAK DRIVE ELEVATION

SCALE: 1/4" = 1'-0"



4 6'-0" HT. ORN. METAL FENCE ALONG OPEN SPACES ELEVATION

SCALE: 1/4" = 1'-0"

NOTE: SIGNAGE IMAGES ARE FOR REFERENCE ONLY AND SHALL COMPLY WITH UDC SECTION 4.01

SADDLEBROOK / CONCEPTUAL SCREENING AND BUFFERING

City of Corinth, Denton County, Texas

EXHIBIT F
CONCEPTUAL LANDSCAPE PLAN

NOTE: ALL PLANS SHOWN HEREIN ARE CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE.



ANTIOCH FELLOWSHIP ADDITION
DOC. NO. 2016-128 ; P.R.D.C.T.
ANTIOCH CHRISTIAN FELLOWSHIP
OF CORINTH TEXAS, INC.
DOCUMENT NO. 2004-91956 ; D.R.D.C.T.

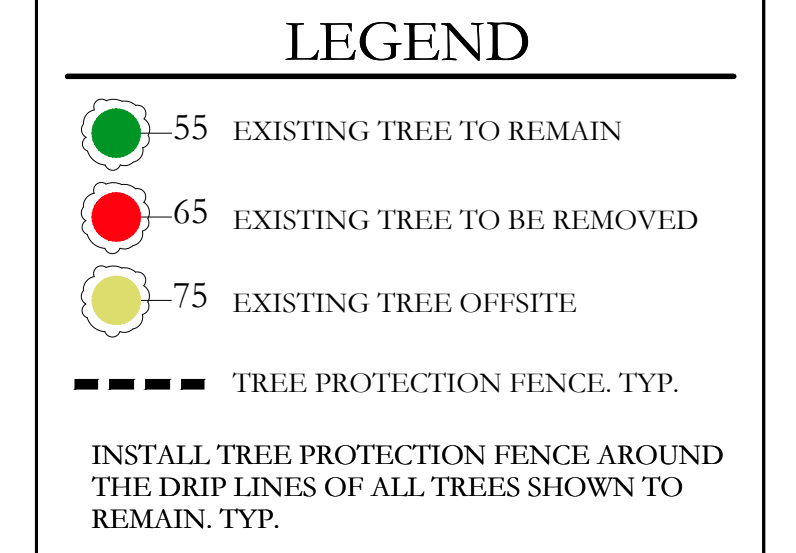
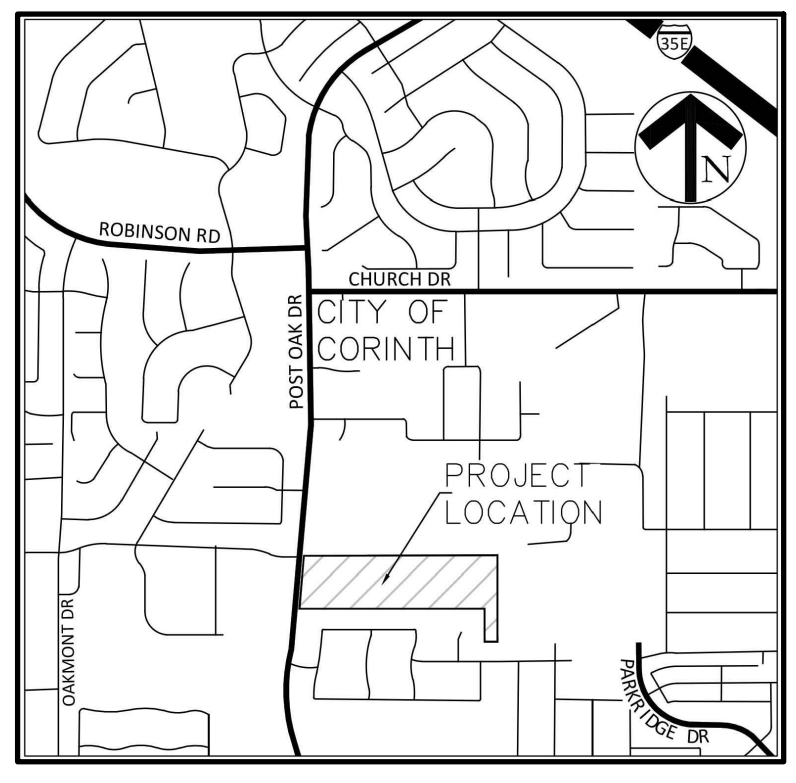
TERRACE OAKS, PHASE ONE
DOCUMENT NO. 2017-59
D.R.D.C.T.

| | | |
|---|---|---------------------------|
| 7646 | 7647 | 5424 |
| Total CI | Total Column | |
| Total CI On Site | 5,370 | Total "CI" and offsite |
| Total CI Off Site | 0 | |
| Total CI Protected | 4,716 | Total "CI" "Protection" |
| Total CI Protected & Preserved | 1,294 | Total "CI" "Pro. & Pre" |
| "Preserved" Saved | 26.9% | = TCIP / TCIP |
| Total CI Protected Removed | 3,422 | = TCIP / TCIP |
| Total CI Preserved (Including Un-protected) | 1,480 | Total "CI" "Preserved" |
| Total Credit | 3,422 | Total "CI" "Credit" |
| Total Mitigation | 4,362 | Total "CI" "Mitigation" |
| Crowe Mitigation | 1,623 | "Crowe" Mit. |
| Bonus Credit 0.5:1 CI for all Groves | 600 | = 0.5 * Total If in Grove |
| Public ROW Credits (20% within ROW) | 21,200 | = 100% * Total |
| Thoroughfare Credit | 485 | if |
| Mitigation Subtotal | 365 | = 10 * 18 = 180 |
| Standard Construction Credit | 375 | = 10 * 37.5 = 375 |
| Net Mitigation | 165 | = 10 * 16.5 = 165 |
| Min. Heritage Tree Mitigation | 83 | |
| Mitigation Amount Required | with 37% Reduction, Grove & ROW Credit, No Mitigation | |
| | \$/D | \$ 150.00 |
| | Developer Oves City | \$ 12,300.00 |

| | |
|-----|--|
| Yes | Applicant Satisfies Requirement for Grove Credit |
| Yes | Applicant Satisfies Requirement for ROW Credit |
| Yes | Applicant Satisfies Requirement for Thoroughfare |

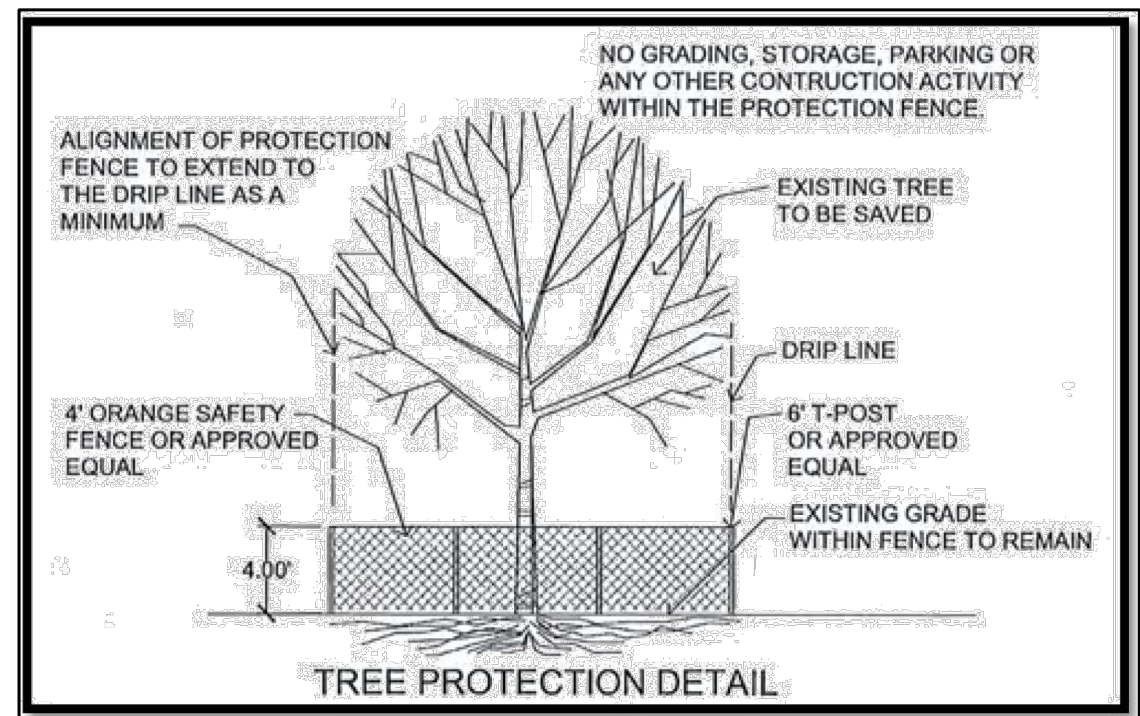
I, Cody Johnson
herby certify that this document has been prepared by me, a Registered Landscape Architect or Certified Arborist. I have verified and concur with the calculations shown herein. This document as submitted is accurate and complete to meet the standards set forth in the Unified Development Code 2.09.02.02. Tree Preservation as amended most recently on Oct No. 20-10-20-07.

| Heritage Tree # | ID# | CI | Species | Botanical | Condition | Protection | Preserved | Additional Credits | CI Protected & Preserved | Mitigation Preserved | Credit | Mitigation Removed | Mitigation | Heritage Tree Required Mitigation | Tree Value Removed \$ |
|-----------------|------|------|-----------|------------------|-----------|------------|--------------|--------------------|--------------------------|----------------------|--------|--------------------|------------|-----------------------------------|-----------------------|
| 1721 | 1721 | 41.3 | Oak, Post | Quercus stellata | Healthy | Protected | Un-Protected | 0 | 0 | 0 | 0 | 4 | 165 | 83 | \$ (24,700.00) |
| 1722 | 1722 | 43.3 | Oak, Post | Quercus stellata | Healthy | Protected | Un-Protected | 0 | 0 | 0 | 0 | 0 | 0 | 0 | \$ |



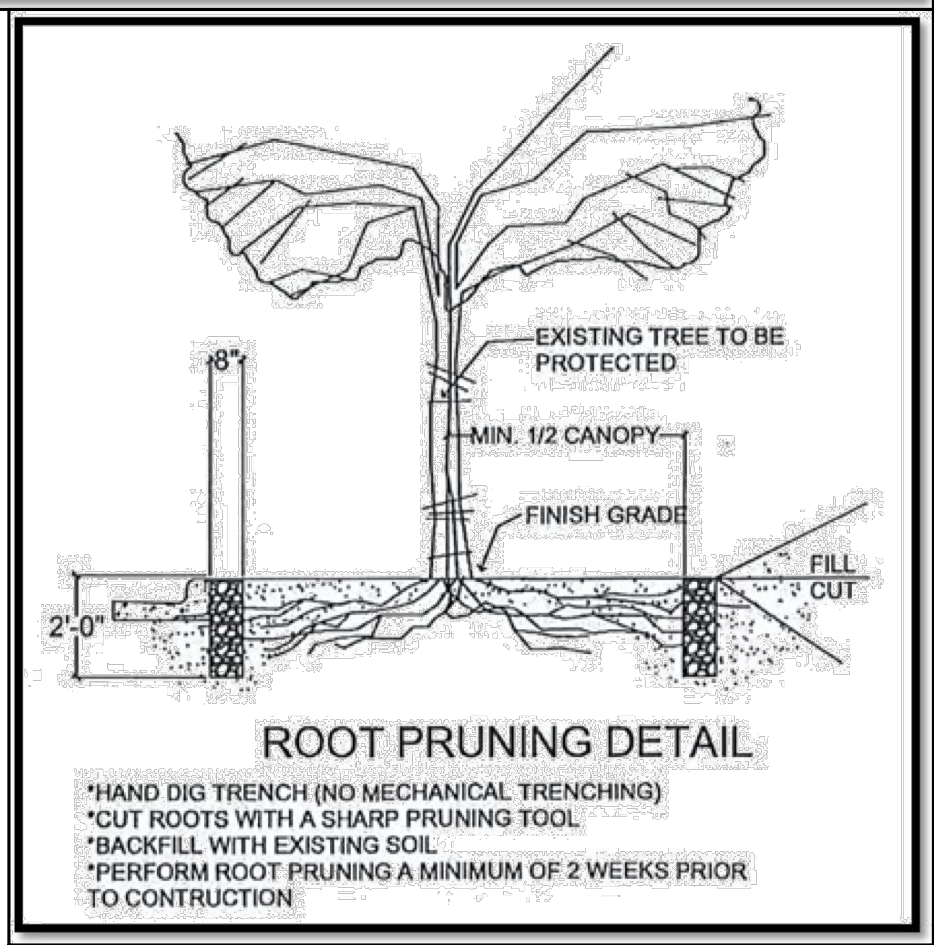
TREE PROTECTION NOTES

- EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. ORANGE COATED CHAINLINK FENCING (MIN. 4'-0" HEIGHT) SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES OR TREE GROUPS TO REMAIN. PARKING OF VEHICLES OR PERFORMING WORK WITHIN THESE AREAS OTHER THAN SHOWN ON THE PLAN, WILL NOT BE ALLOWED. THE TREE PROTECTION SHALL REMAIN DURING CONSTRUCTION. OTHER TREE PROTECTION MEASURES SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARDS AND ORDINANCES.
- DISPOSAL OF ANY WASTE MATERIAL SUCH AS, BUT NOT LIMITED TO, PAINT, ASPHALT, OIL SOLVENTS, CONCRETE, MORTAR, ETC. WITHIN THE CANOPY AREA OF THE EXISTING TREES SHALL NOT BE ALLOWED.
- NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO FILL OR EXCAVATION OF ANY NATURE SHALL OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED, UNLESS THERE IS A SPECIFIED WELL OR RETAINING WALL SHOWN ON THE GRADING PLAN.
- NO MATERIALS SHALL BE STORED WITHIN THE DRIP LINE AREA OF A TREE TO BE PRESERVED.



CITY OF CORINTH NOTES

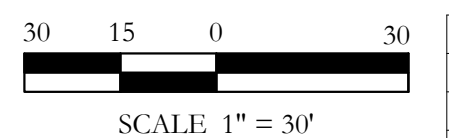
- SAVED HEALTHY PROTECTED TREE BASE CREDIT (SLIDING SCALE), WHEN 15.1% OR MORE TOTAL HEALTHY PROTECTED TREE CI IS PRESERVED ON PROPERTY, A SLIDING SCALE CREDIT MAY BE APPLIED TO REWARD CONTEXT SENSITIVE DESIGN THAT EFFECTIVELY INCORPORATES PROTECTED TREE AND HABITAT PRESERVATION. HEALTHY PROTECTED TREES RATED WITH A CONDITION OF GOOD OR EXCELLENT ARE ELIGIBLE FOR SLIDING SCALE CREDIT. PROTECTED TREES PRESERVED AND NOTED IN FAIR CONDITION MAY BE CATEGORIZED AS A "HEALTHY PROTECTED TREE" PROVIDED THAT A STATEMENT OF SUSTAINED VIABILITY IS INCLUDED IN THE TREE SURVEY AS DETERMINED BY A CERTIFIED ARBORIST AND/OR REGISTERED LANDSCAPE ARCHITECT AND MAY RECEIVE SLIDING SCALE CREDIT.
 - "BONUS CREDIT WHERE GROVES AND HABITAT POCKETS AND/OR CORRIDORS OF HEALTHY PROTECTED TREES ARE PRESERVED, AN ADDITIONAL 0.5:1 CREDIT MAY BE CONSIDERED AT THE DISCRETION OF THE DIRECTOR OF PLANNING (AND ADDED TO EACH PROTECTED TREE CI CATEGORY) WHERE INNOVATIVE AND ENVIRONMENTALLY SENSITIVE DESIGN IS DEMONSTRATED THROUGH THE PRESERVATION OF STANDS OF TREES, HERITAGE TREES (40 CI+), AND ENVIRONMENTALLY SENSITIVE HABITAT THAT IS INCORPORATED INTO THE OVERALL PROJECT DESIGN AND WHEN SUCH TREE PRESERVE AREAS HAVE BEEN INCLUDED WITHIN OTHERWISE BULDBLE AREAS OF THE SITE. THE BONUS CREDIT MAY BE APPLIED FOR PROTECTED TREES SAVED WITHIN OTHERWISE BULDBLE AREAS (E.G., OUTSIDE OF FLOODPLAIN).
 - LANDSCAPING REQUIREMENTS CREDITS: WHERE 20.1% OR MORE OF TOTAL HEALTHY PROTECTED TREE CI ARE PRESERVED ON A PROPERTY, AND WHERE CANOPY SHADE TREES AS DESIGNED IN TABLE 2.09.01.01 AS REQUIRED TO BE PLANTED WITHIN LANDSCAPE EDGE BUFFERS, RESIDENTIAL ADJACENCY BUFFERS, OR AS PART OF A LANDSCAPE PLAN FOR DETENTION/RETENTION BASINS (THAT HAVE BEEN APPROVED TO SATISFY "PARK AND/OR TRAIL" LAND AND LOCATED WITHIN DEEDED COMMON OPEN SPACE), LANDSCAPE CREDITS FOR SHADE TREES PLANTED (AT LEAST 3" CI) MAY BE OFFERED TO OFF-SET MITIGATION REQUIREMENTS.
 - PUBLIC RIGHT-OF-WAY CREDITS: WHEN 20.1% OR MORE OF TOTAL HEALTHY PROTECTED TREE CI ARE PRESERVED, THE SAME PERCENTAGE OF PROTECTED TREES PRESERVED MAY BE CREDITED AGAINST THE CI REMOVED WITHIN THE PUBLIC RIGHT-OF-WAY WHEN PROTECTED TREE PRESERVATION AREAS HAVE BEEN INCLUDED WITHIN OTHERWISE BULDBLE AREAS OF THE SITE.
 - CREDIT EQUAL TO THE REPLACEMENT RATE (TABLE 16-A) FOR ANY PROTECTED TREE REQUIRED TO BE REMOVED DUE TO CITY REQUIRED STREET CONNECTION AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN, AS MAY BE AMENDED. SUCH CREDIT MAY BE OFFERED AT THE DISCRETION OF PLANNING DIRECTOR IF (1) 20.1% OR MORE CI ARE OF THE TOTAL PROTECTED TREES ON SITE ARE PRESERVED AND (2) WHEN THE OVERALL PROJECT DESIGN INCORPORATES THE PRINCIPLES OF CONSERVATION OR CONTEXT SENSITIVE DESIGN.
 - STANDARD DEDUCTION CREDITS: THE PURPOSE OF THE STANDARD DEDUCTION CREDIT IS TO REWARD PRESERVATION EFFORTS WHERE A CERTAIN BASE PERCENTAGE OF HEALTHY PROTECTED TREE CI ARE PRESERVED ON SITE AND EFFECTIVELY INCORPORATED INTO OVERALL SITE DESIGN BY CREATING A FEATURE SUCH AS COMMON OPEN SPACE OR GREEN SPACE AND DEMONSTRATING CONSERVATION AND CONTEXT SENSITIVE DESIGN. THE DEDUCTION CREDIT SHALL BE CALCULATED AS FOLLOWS WHEN THE SAVED BASE OF PROTECTED TREES CI IS GREATER THAN 10% THEN THE REMAINING MITIGATION MAY BE REDUCED BY AN ADDITIONAL 10% E.G., IF THE BASE PERCENTAGE (%) SAVED = 25% THEN THE MITIGATION MAY BE REDUCED BY (25% + 10%) = 35% OF THE REMAINING MITIGATION REQUIREMENTS. AFTER APPLICABLE CREDITS ABOVE ARE APPLIED, WITH THE EXCEPTION OF MITIGATION REQUIRED FOR HERITAGE TREES REMOVED WHICH IS CAPPED AT 50% CREDIT AS NOTED IN SUBSECTION 2.09.02.G.4. ABOVE.



APPLICANT:
BRIDGE TOWER GP
5430 LBJ FREEWAY, SUITE 1050
DALLAS, TEXAS 75240
PH. (469) 936-1695
CONTACT: SHAIWALI DESAI

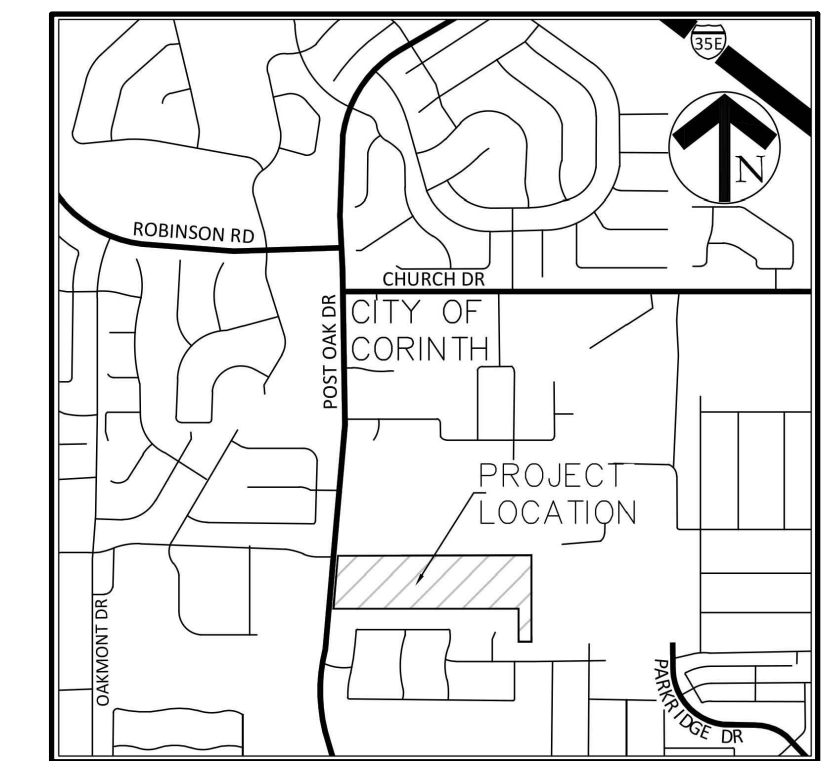
CIVIL ENGINEER:
JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. (972) 201-3100
CONTACT: TOM DAYTON, PE

LANDSCAPE ARCHITECT:
JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. (972) 201-3100
CONTACT: CODY JOHNSON, RLA, ASLA, LI



ANTIOCH FELLOWSHIP ADDITION
DOC. NO. 2016-128; P.R.D.C.T.
ANTIOCH CHRISTIAN FELLOWSHIP
OF CORINTH TEXAS, INC.
DOCUMENT NO. 2004-91956; D.R.D.C.T.

TERRACE OAKS, PHASE ONE
DOCUMENT NO. 2017-59
D.R.D.C.T.

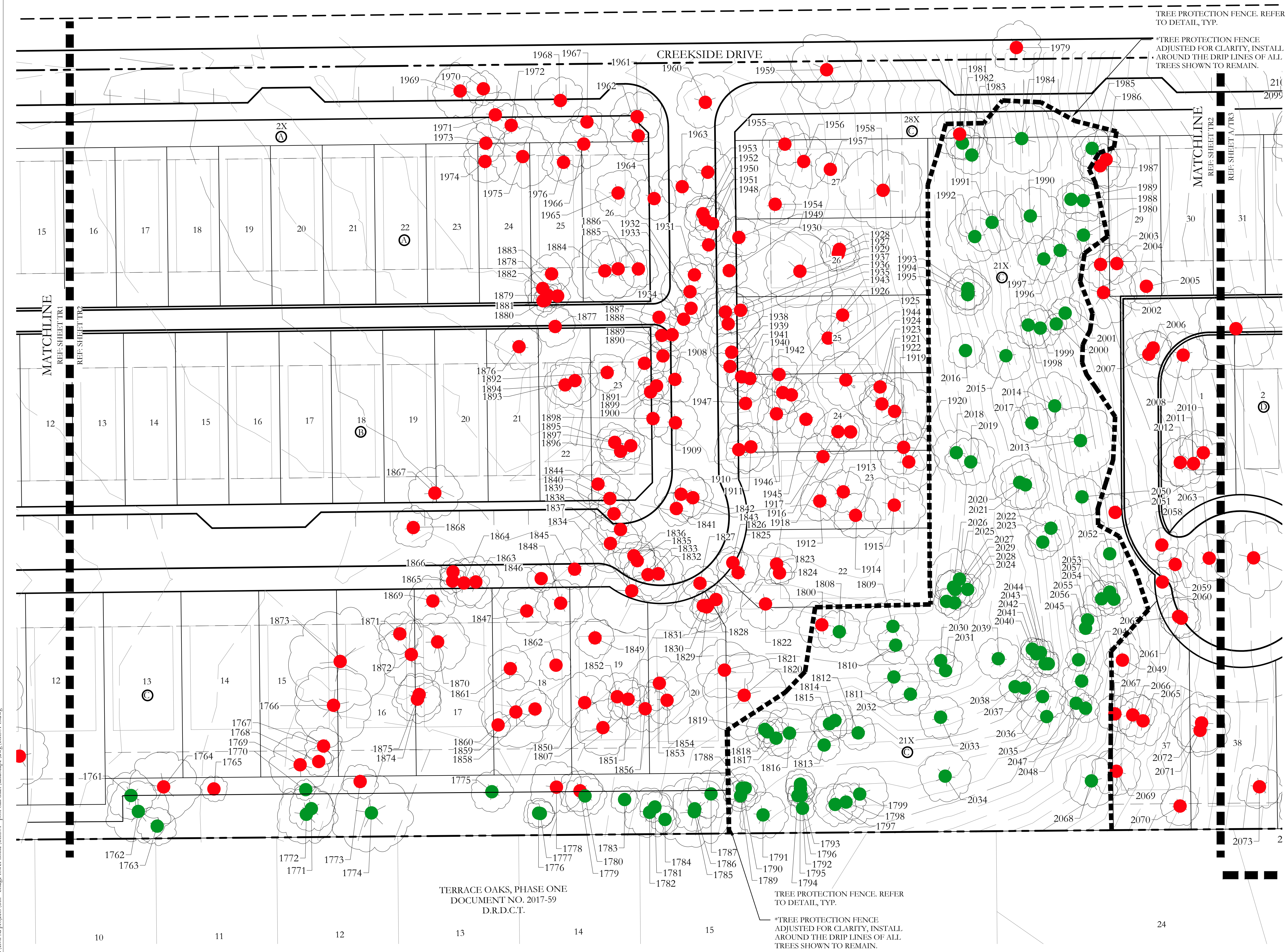


LOCATION MAP
NOT TO SCALE

LEGEND

- 55 EXISTING TREE TO REMAIN
- 65 EXISTING TREE TO BE REMOVED
- 75 EXISTING TREE OFFSITE
- TREE PROTECTION FENCE, TYP.

INSTALL TREE PROTECTION FENCE AROUND THE DRIP LINES OF ALL TREES SHOWN TO REMAIN. TYP.



TREE PROTECTION FENCE. REFER TO DETAIL, TYP.

*TREE PROTECTION FENCE ADJUSTED FOR CLARITY, INSTALL AROUND THE DRIP LINES OF ALL TREES SHOWN TO REMAIN.

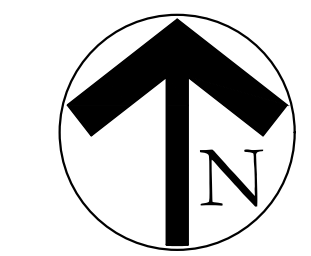
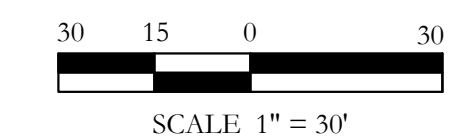
TREE PROTECTION FENCE. REFER TO DETAIL, TYP.

*TREE PROTECTION FENCE ADJUSTED FOR CLARITY, INSTALL AROUND THE DRIP LINES OF ALL TREES SHOWN TO REMAIN.

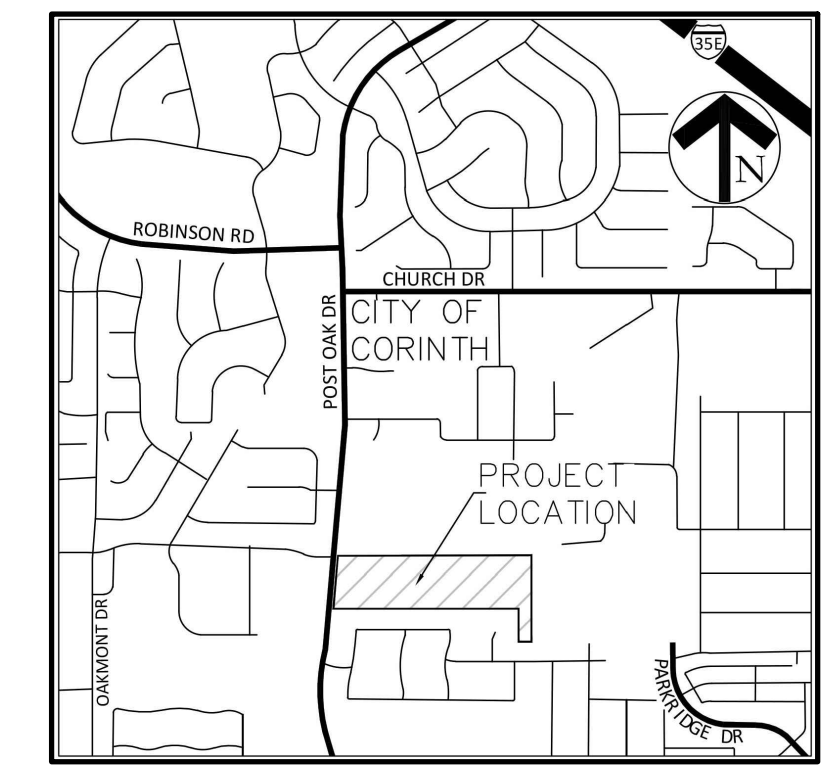
APPLICANT:
BRIDGE TOWER GP
5430 LBJ FREEWAY, SUITE 1050
DALLAS, TEXAS 75240
PH. (469) 936-1695
CONTACT: SHAWALI DESAI

CIVIL ENGINEER:
JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. (972) 201-3100
CONTACT: TOM DAYTON, PE

LANDSCAPE ARCHITECT:
JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. (972) 201-3100
CONTACT: CODY JOHNSON, RLA, ASLA, LI



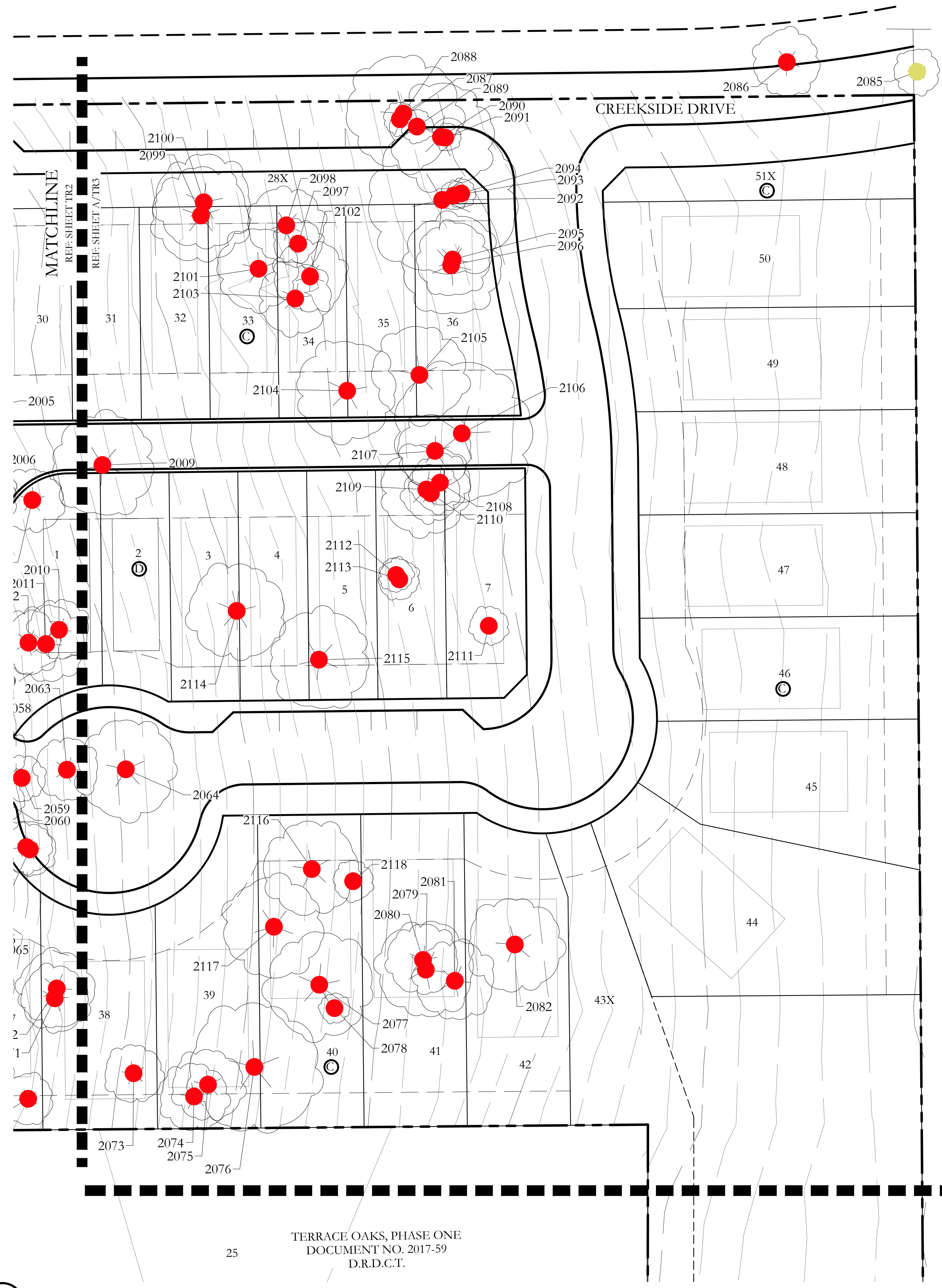
P:\civil_3\projects\lhb - bridge tower home\lhb501 - post oak tract\landscape\dwg\lhb501.mxd



LOCATION MAP
NOT TO SCALE

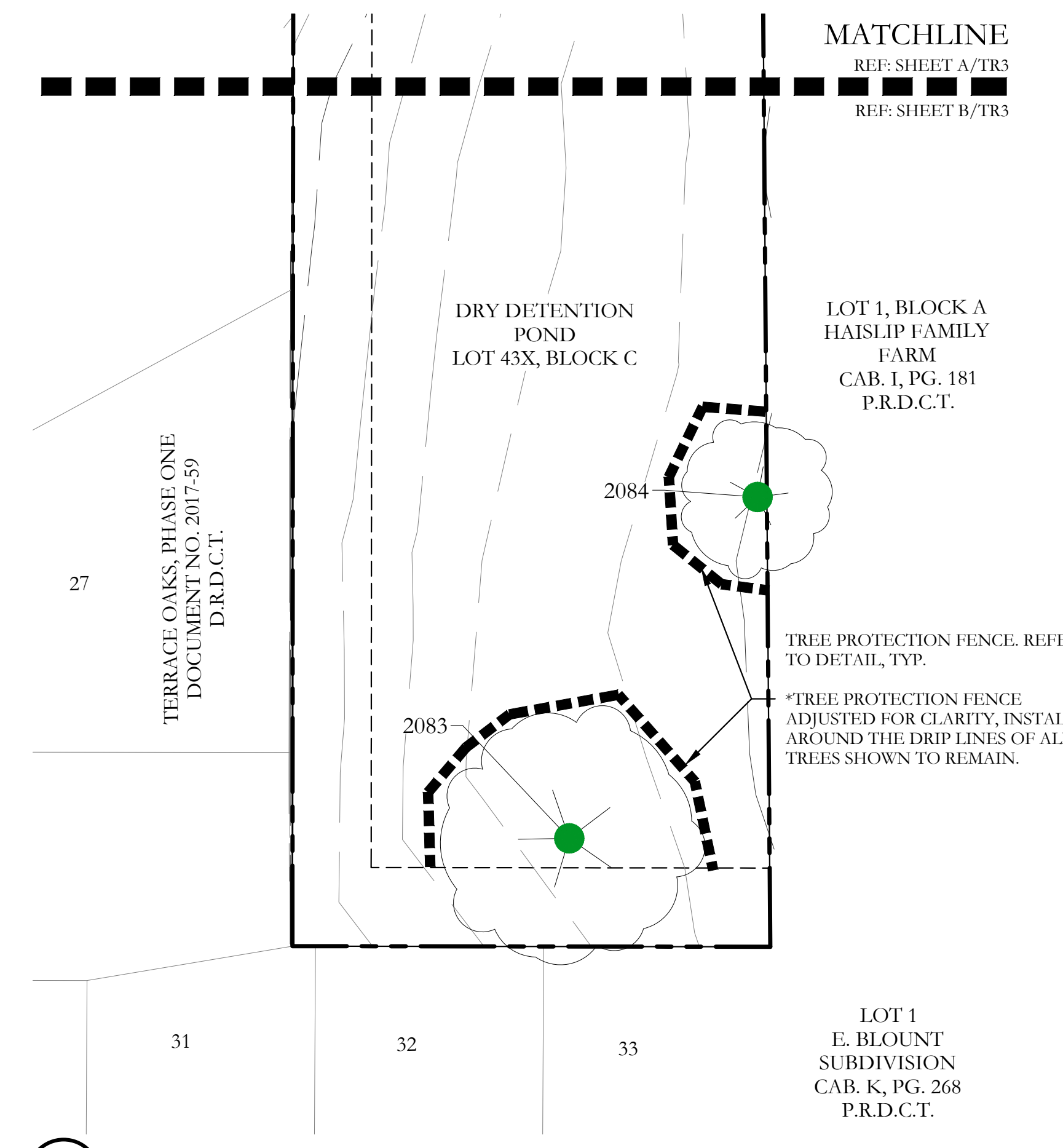
LEGEND

- 55 EXISTING TREE TO REMAIN
 - 65 EXISTING TREE TO BE REMOVED
 - 75 EXISTING TREE OFFSITE
 - TREE PROTECTION FENCE, TYP.
- INSTALL TREE PROTECTION FENCE AROUND THE DRIP LINES OF ALL TREES SHOWN TO REMAIN, TYP.



LOT 1, BLOCK A
 HAISLIP FAMILY FARM
 CAB. I, PG. 181
 P.R.D.C.T.

MATCHLINE
 REF: SHEET A/TR3
 REF: SHEET B/TR3



MATCHLINE
 REF: SHEET A/TR3
 REF: SHEET B/TR3

LOT 1, BLOCK A
 HAISLIP FAMILY FARM
 CAB. I, PG. 181
 P.R.D.C.T.

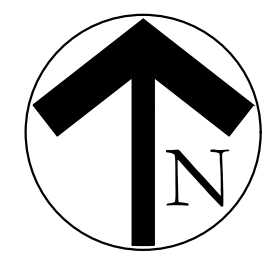
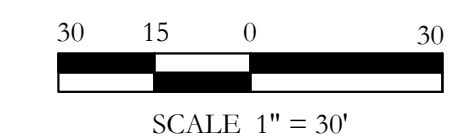
TREE PROTECTION FENCE. REFER TO DETAIL, TYP.
 *TREE PROTECTION FENCE ADJUSTED FOR CLARITY, INSTALL AROUND THE DRIP LINES OF ALL TREES SHOWN TO REMAIN.

LOT 1
 E. BLOUNT SUBDIVISION
 CAB. K, PG. 268
 P.R.D.C.T.

APPLICANT:
 BRIDGE TOWER GP
 5430 IBJ FREEWAY, SUITE 1050
 DALLAS, TEXAS 75240
 PH. (469) 936-1695
 CONTACT: SHAAVALI DESAI

CIVIL ENGINEER:
 JOHNSON VOLK CONSULTING
 704 CENTRAL PARKWAY EAST, SUITE 1200
 PLANO, TEXAS 75074
 PH. (972) 201-3100
 CONTACT: TOM DAYTON, PE

LANDSCAPE ARCHITECT:
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 704 CENTRAL PARKWAY EAST, SUITE 1200
 PLANO, TEXAS 75074
 PH. (972) 201-3100
 CONTACT: CODY JOHNSON, RLA, ASLA, LI



E:\civil_3\projects\lhb - bridge tower home\lhb501 - post oak tract\landscape\dwg\lhb501.nxd.dwg

A

B

Table with 16 columns: ID#, CI, Species, Botanical, Condition, Protection, Preserved, Additional Credits, CI Protected & Preserved, Multiplier Preserved, Credit, Multiplier Removed, Mitigation, Heritage Tree Required Mitigation, Tree Value Removed \$. Rows 1714-1829.

Table with 16 columns: ID#, CI, Species, Botanical, Condition, Protection, Preserved, Additional Credits, CI Protected & Preserved, Multiplier Preserved, Credit, Multiplier Removed, Mitigation, Heritage Tree Required Mitigation, Tree Value Removed \$. Rows 1830-1948.

F:\env_3\projects\hh_1\img\tree\landscap_img\hh01_r.dwg

Table with 16 columns: ID#, CI, Species, Botanical, Condition, Protection, Preserved, Additional Credits, CI Protected & Preserved, Multiplier Preserved, Credit, Multiplier Removed, Mitigation, Heritage Tree Required Mitigation, Tree Value Removed \$. Rows 1949-2059.

Table with 16 columns: ID#, CI, Species, Botanical, Condition, Protection, Preserved, Additional Credits, CI Protected & Preserved, Multiplier Preserved, Credit, Multiplier Removed, Mitigation, Heritage Tree Required Mitigation, Tree Value Removed \$. Rows 2060-2118, Total.

F:\envi_3\projects\hbi - bridge tower home\hbi501 - post oak tree\landscape\img\hbi501_r.dwg

45' WIDE LOTS





30' WIDE LOTS

Section H, Item 5.





September 9, 2024

Novita Ochoa
Cedar Hollow
5430 LBJ Fwy, Suite 1050
Dallas, Texas 75240

Subject: Water and Sewer Utilities for Cedar Hollow

Dear Novita,

This letter serves as a confirmation that the City of Corinth intends to provide water and sewer services to the following development:

- Cedar Hollow, located at 1960 Post Oak Drive, in Corinth, TX.

Public Works has evaluated the sewer system and has determined that adequate capacity exists. The Developer project will need to:

1. Comply will applicable Codes and the City of Corinth's Engineer Specifications, and
2. Pay applicable Permitting and the Water and Wastewater Tapping Connection Fees.
Please see the City of Corinth's Schedule of Charges for details.

Please understand that this letter is given as a courtesy to the developer and is not a binding contract. The City of Corinth looks forward to working with you and providing service to your development. If you have any additional questions, please feel free to contact me at 940-498-7512.

Sincerely,

Tristan Cisco

Tristan Cisco
Engineering Project Manager



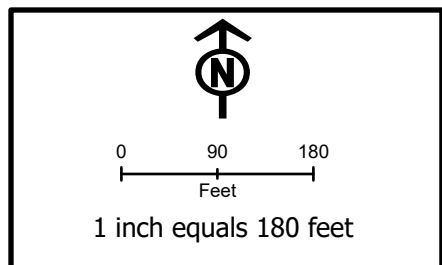
**ATTACHMENT 2:
200 FT ZONING BUFFER MAP AND LETTERS FROM
PROPERTY OWNERS**

Proposed Zoning Change

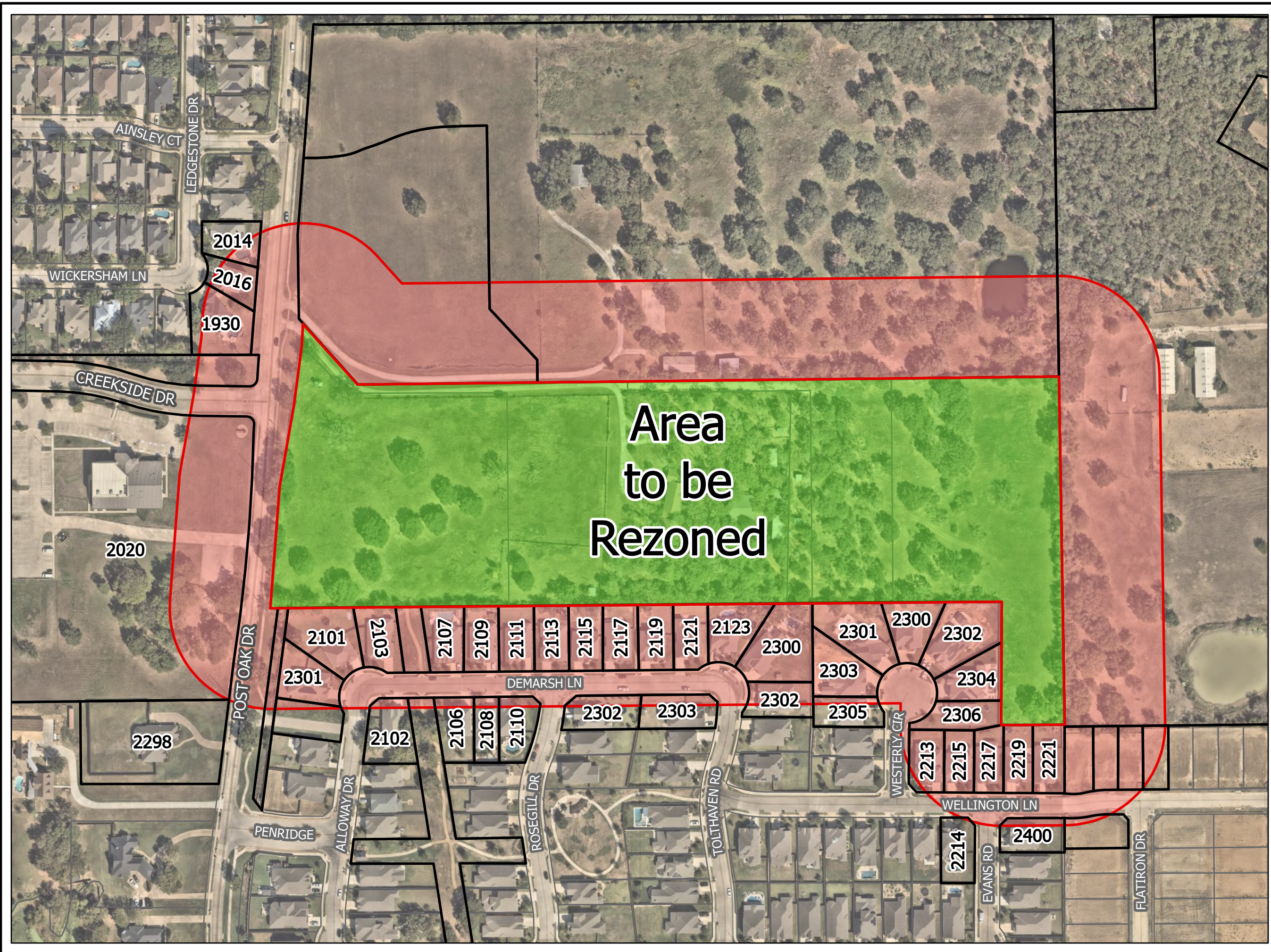
Saddlebrook PD (ZAPD24-0010)

- Area to be Rezoned
- Properties within 200 ft of area proposed to be rezoned from SF-2 Single Family to a Planned Development (PD) with a base zoning district of SF-4 Single Family.

1/7/2025



This map is the property of the City of Corinth, and is not to be reproduced by any means, mechanical or digital, without written consent of the City. This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





Planning and Zoning Commission Meeting

Date: **MONDAY, February 17, 2025 at 6:30 P.M. (DATE CHANGE)***

Section H, Item 5.

City Council Regular Meeting

Date: **THURSDAY, February 20, 2025 at 6:30 P.M.**

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208. The meetings will be broadcast live at <https://www.cityofcorinth.com/remotesession>.

PUBLIC HEARING NOTICE

Dear Property Owner:

The date of the Planning & Zoning Commission Public Hearing for the item listed below has been changed as follows: On Monday, February 17, 2025, at 6:30 PM, the City of Corinth Planning & Zoning Commission will conduct a public hearing on the item listed below. Should the Planning & Zoning Commission make a recommendation, the Corinth City Council will conduct a public hearing on Thursday, February 20, 2025, at 6:30 PM and consider acting on the item listed below. The meetings will be held at the Corinth City Hall, 3300 Corinth Pkwy, Corinth, Texas 76208.

- A request by the Applicant, Bridge Tower Homes LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a base zoning district of SF-4 Single Family Residential for the development of ±97 lots on approximately ±17 acres located at 1960 Post Oak Drive. (Case No. ZAPD24-0010 Saddlebrook Planned Development)

***Please note that the date change is for the Planning & Zoning Commission public hearing only. The City Council public hearing date as previously noticed remains the same. Letters of support or opposition already received will be considered for the new public hearing date.**

Additional information regarding this request can be found on the Upcoming Public Hearings page of the City of Corinth website at: <https://www.cityofcorinth.com/planning-development/page/upcoming-public-hearings>

As a property owner within two hundred (200) feet of the area to be rezoned, you are invited to attend this meeting in-person and voice your opinion at the public hearing (please note you are not required to attend).

Additionally, your opinion regarding the request described above may be expressed by notation on this form or by letter. You may support or oppose this request; your opposition will be considered a protest. Signed written comments must be received by the City of Corinth Planning and Development Department at 3300 Corinth Parkway, Corinth, Texas 76208 (3 days prior to public hearing). Signed comments may be scanned and sent by email to Melissa Dailey, Director of Community and Economic Development, at planning@cityofcorinth.com. Additionally, if you have any questions regarding this request, you may call 940-498-3262 for assistance.

I am writing in (Check as applicable) Support ~~Opposition~~ of the proposal. I AM Robert Haislip, owner & resident of the property All Along the eastern boundary of this Proposed Saddlebrook Development. It is AN IMAGINATIVE concept plan which will Add Ambiance To the Neighborhood AND enhance Property Values. However, I AM concerned that the steep down Hill west to east Topography of this Tract, AS well as the Rembert Enterprises' Hillside of Corinth Subdivision next door will Result in chronic Flooding of my Land unless the City supervises the engineering of Adequate underground drainage Across my Property for both of their SURFACE RUN OFF AND WASTE WATER.

Name/Address/City: (REQUIRED)

Robert W. Haislip
2455 Silvermeadow Ln
Corinth, TX 76210 (Please Print)

Signature: (REQUIRED)

Robert W. Haislip
(Signature)



Planning and Zoning Commission Meeting

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I am writing in (Check as applicable) Support: Opposition: of the proposal.

We support the rezoning of 1960 Post Oak Road because we like Bridge Tower Homes LLC's plan for a family-oriented community that preserves green spaces. We also are in favor of the farmhouse aesthetic which is in keeping with the country feel of Corinth and the property's legacy as a horse farm.

Name/Address/City: **(REQUIRED)**

Heather Bacon
Paige Almond
(Please Print)

Signature: **(REQUIRED)**

Heather Bacon
Paige Almond
(Signature)



Planning and Zoning Commission Meeting
Date: **MONDAY, January 27, 2025 at 6:30 P.M.**

City Council Regular Meeting
Date: **THURSDAY, February 20, 2025 at 6:30 P.M. * (see below for additional information)**

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208. The meetings will be broadcast live at <https://www.cityofcorinth.com/remotesession>.

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***The February 20, 2025, City Council Public Hearing will only be held should the Planning & Zoning Commission make a recommendation on January 27, 2025.** Additional information regarding this request can be found on the Upcoming Public Hearings page of the City of Corinth website at: <https://www.cityofcorinth.com/planning-development/page/upcoming-public-hearings>

As a property owner within two hundred (200) feet of the area to be rezoned, you are invited to attend this meeting in-person and voice your opinion at the public hearing (please note you are not required to attend).

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I am writing in (Check as applicable) Support: Opposition: of the proposal.

Name/Address/City: **(REQUIRED)**
Antioch Christian Fellowship
2020 Post Oak Drive Corinth, TX 76210
(Please Print)

Signature: **(REQUIRED)**

(Signature)
LEAD PASTOR

February 5, 2025

Attn: City Manager or City Planner
P & Z Committee

I am in favor of the proposed Bridge Tower Property development off Post Oak. Corinth and the surrounding area need housing that people can afford. The majority of potential residents cannot save for a down payment for a home even when two people work in a family. Neither can most afford taxes.

Thank you for your consideration.

Joni Waverka
230 Waterview Ct
Hickory Creek, TX 75065



Planning and Zoning Commission Meeting
Date: **MONDAY, January 27, 2025 at 6:30 P.M.**

Section H, Item 5.

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- A request by the Applicant, Bridge Tower Homes LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a base zoning district of SF-4 Single Family Residential for the development of ±96 lots on approximately ±17 acres located at 3650 Corinth Pkwy. (Case No. ZAPD24-0010 Saddlebrook Planned Development)

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I am writing in (Check as applicable) Support: Opposition: of the proposal.

See attached letter.

Name/Address/City: **(REQUIRED)**

Signature: **(REQUIRED)**

Patrick A. Cameron
(Please Print)

(Signature)

Property Owner 2101 Pensark Ln

Patrick A. Cameron
2101 Demarsh Ln
Corinth, TX 76210
patrickcameron82@gmail.com
440-570-9104

January 23, 2025

Corinth Planning & Zoning Commission
3300 Corinth Parkway
Corinth, TX 76208

Subject: Opposition to Proposed Ordinance Change (ZAPD24-0010) - Rezoning from SF-2 to SF-4

Dear Members of the Commission,

As a proud resident of Corinth, I deeply appreciate the thoughtful planning and zoning decisions that have preserved the character, safety, and livability of our community. However, I am writing to express my strong opposition to the proposed ordinance change to rezone the area from SF-2 (Single Family Residential) to SF-4 (Single Family Residential). I believe this change would have several negative impacts on our city, including compromising the community's character, reducing meaningful park and public space availability, and leading to the unnecessary destruction of native trees and open green spaces.

The existing SF-2 zoning has been instrumental in maintaining Corinth's family-friendly, spacious, and suburban appeal. Transitioning to SF-4—allowing higher housing density, smaller lot sizes, and reduced setbacks—would fundamentally alter the aesthetic and atmosphere of our neighborhoods. Increased density would likely lead to overcrowded areas, greater traffic congestion, and additional strain on public infrastructure, ultimately diminishing the livability and sense of community that residents value.

Furthermore, I urge the Commission to view this rezoning proposal as an opportunity to prioritize the development of meaningful and functional community spaces. The current concept plan includes open spaces that, unfortunately, offer limited value to residents, such as retention basins, unconnected gravel trails, and small, fragmented areas. Instead, I encourage the incorporation of thoughtfully designed parks, trails, playgrounds, pools, and other shared recreational areas that genuinely serve the needs of the community.

These types of community spaces are not just desirable amenities— they are essential. They foster social connections, encourage active lifestyles, and help preserve the natural beauty of Corinth, ensuring our neighborhoods remain vibrant and welcoming for current and future residents. Without these spaces, we risk losing the qualities that make Corinth such a special place to live.

I respectfully request that this letter be included in the public record for the upcoming hearing on this matter. Thank you for taking the time to consider the perspectives of your constituents. I am hopeful that, together, we can uphold the values and vision that define our community.

Sincerely,
Patrick A. Cameron



 Outlook

From: Michael Wheelock
Sent: Monday, January 20, 2025 12:17 PM
To: City Secretary <City.Secretary@cityofcorinth.com>
Subject: Bridge Tower Housing proposal off Post Oak

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

I would like to strongly oppose the variance requests and plat plan submitted for development by Bridge Tower housing. The variance requests are much too aggressive and go against the community Corinth has and continues to develop.

Having a house that backs up to the proposed development, I have no illusion that the property will remain undeveloped. I know it will be developed in the near future, but it is important Corinth partner with a developer that looks out for more than just its own best interests and the community as well.

I wish my regards to be read at the next P&Z meeting.

Michael Wheelock

2107 Demarsh Lane



Planning and Zoning Commission Meeting
Date: **MONDAY, January 27, 2025 at 6:30 P.M.**

City Council Regular Meeting
Date: **THURSDAY, February 20, 2025 at 6:30 P.M. * (see below for additional information)**

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208. The meetings will be broadcast live at <https://www.cityofcorinth.com/remotesession>.

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I am writing in (Check as applicable) Support: Opposition: of the proposal.

proposed neighborhood is not equivalent to surrounding neighborhoods and will decrease property values.

Name/Address/City: (REQUIRED)

Signature: (REQUIRED)

Debra Lynn Ince
(Please Print)
2108 Demarsh Ln.
Corinth

Debra Lynn Ince
(Signature)



Planning and Zoning Commission Meeting
Date: MONDAY, February 17, 2025 at 6:30 P.M. (DATE CHANGE)*

Section H, Item 5.

City Council Regular Meeting
Date: THURSDAY, February 20, 2025 at 6:30 P.M.

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I am writing in (Check as applicable) Support: Opposition: of the proposal.

the style of homes Bridge Tower plans is not even close to the value of homes surrounding + will no doubt reduce the value of the neighbouring homes significantly. the small homes planned should match the Hillside project. This project is not at all going to provide positivity to the neighbouring communities or city.

Name/Address/City: (REQUIRED)

Signature: (REQUIRED)

Kristen Mitchell

Kristen Mitchell

(Please Print)

(Signature)



Planning and Zoning Commission Meeting
Date: **MONDAY, January 27, 2025 at 6:30 P.M.**

Section H, Item 5.

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I am writing in (Check as applicable) Support: Opposition: of the proposal.

We staunchly oppose the request by Bridge Tower Homes to amend the zoning ordinance and zoning map for this above referenced property. Such a change would build small population dense homes that do not align with current properties in the proximity. Nearby high density developments already in place support there is no need for such a change. We believe any development on that property should match or exceed neighboring developments in lot size and home quality as to not negatively affect property values. Additionally we believe the current local infrastructure would not support another high density development and would diminish the quality and appeal of the community and the City of Corinth.

RK

Name/Address/City: **(REQUIRED)**

Signature: **(REQUIRED)**

Ryan and Jenna Kennedy - 2113 Demarsh Ln, Corinth
(Please Print)

(Signature)



Opposition to Rezoning Proposal for 1960 Post Oak Drive

From Alison Bertran

Date Mon 12/23/2024 1:06 PM

To Melissa Dailey <Melissa.Dailey@cityofcorinth.com>; Planners <Planning@cityofcorinth.com>

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Melissa Dailey & Planning Division,

My name is Alison Bertran and my husband, Peter, and son, Aaron, and I live at 2114 Stanhill Drive, at the intersection of Post Oak and Lake Sharon in Corinth. I am writing to formally express my concerns regarding the proposed rezoning of 1960 Post Oak Drive to allow for smaller, high-density residential lots. This proposal presents significant challenges related to financial impacts, infrastructure strain, and community safety.

Key Concerns

1. High-Density Development and Traffic Issues

The proposed lots include 40-foot lots for homes bordering our property and 30-foot lots for “garden-style” homes. This level of density is much higher than what exists in Terrace Oaks or the new development to the north. Increased population density raises several key issues:

- All traffic from this development will enter and exit within a school zone on Post Oak Drive, an area already struggling with congestion during peak hours. Adding more vehicles will exacerbate traffic flow problems and create additional safety risks for students and families.
- The high-density layout does not match the character of existing developments, which feature larger lots and lower-density housing.

2. Incomplete Drainage Plan and Risk of Increased Issues

The builder has yet to finalize a drainage plan or provide clarity on the retention pond located on the eastern side of the property. Critical unanswered questions include:

- Will the retention pond be a permanent water feature, and how steep will the grade be?
- How will this drainage plan address the ongoing (and significant) issues already affecting Terrace Oaks?

Terrace Oaks has long struggled with drainage challenges, and adding more density without a clear and robust plan risks exacerbating these problems. Currently, the cost of resolving drainage issues has fallen on the HOA, further burdening existing homeowners.

3. Financial Impact on Existing Property Values

Allowing smaller homes with siding-only exteriors, as proposed, is inconsistent with the all-brick

homes in Terrace Oaks and surrounding communities. This shift to lower-cost construction and materials undermines the area's higher-end aesthetic and will directly decrease property values for homeowners who purchased their homes as long-term investments.

4. Infrastructure Strain

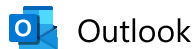
Higher population density places additional demands on local infrastructure, including roads, utilities, and public services. This development will already lead to overcrowding, increased wear on infrastructure, and potentially higher costs for taxpayers to fund necessary upgrades. Allowing it to rezone with smaller lots, and thereby further increase the residential population even more, is unthinkable.

Request for Reconsideration

I respectfully urge the Planning and Zoning Commission to reconsider this rezoning proposal. The financial risks to current homeowners, unresolved drainage issues, increased traffic concerns, and lack of alignment with surrounding developments make this proposal incompatible with the needs and character of our community.

Thank you for your time and thoughtful consideration of these concerns. Please feel free to contact me at _____ should you wish to discuss this further or require additional information.

Sincerely,
Alison Bertran
2114 Stanhill Drive
Corinth, TX 76210



Saddlebrook Development

From Carolyn Richter <princesssp@aol.com>
Date Tue 1/7/2025 10:37 PM
To Melissa Dailey <Melissa.Dailey@cityofcorinth.com>
Cc Planners <Planning@cityofcorinth.com>

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To whom it may concern,

I am writing about the new Saddlebrook development by Bridge Tower homes that is being proposed to be built behind our home. I live at 2117 Demarsh Ln. in the Terrace Oaks community. We had our meeting earlier this evening with the builder. Very disheartened to learn after the meeting and we asked how much the homes would be selling for to look on their website and find that they are a rental only developer. And all the homes would be rented and not sold.

This does not seem to be a fit for our development and the surrounding developments, including the one being built right next to theirs.

Please let us know if you plan to have any further meetings regarding the approval of this project. We would like to express our disapproval of this development being approved. I am also very disappointed with what I feel is the builder being dishonest during the meeting and not fully disclosing what their development entailed.

Thank you.

Carolyn and Michael Richter



Planning and Zoning Commission Meeting
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I am writing in (Check as applicable) Support: Opposition: of the proposal.

The proposal (CASE NO. ZAPD 24-0010) by Bridge Tower Homes does not meet the requirements of the zoning of SF2 for this property and the designation of "Neighborhood" with compliance with the 2040 Comprehensive Plan of the City of Corinth, TX. (see attached page for additional)

Name/Address/City: **(REQUIRED)**

CARL MALKIEWICZ
2123 DEMARSH LN
CORINTH, TX 76210

(Please Print)

Signature: **(REQUIRED)**

Carl Malkiewicz
(Signature)

PAGE 1 of *2*

* The proposal (ZAPD24-0010 has a density of 5.6 - 17 acres with 96 lots). This density is not consistent with the Terrace Oaks Development which is directly to the south, that has a density of 3.4 (31 acres with 108 lots). In addition, the Hillside of Corinth Development (ZAPD23-0006) that is currently under construction that also has a density of 3.4 (31 acres with 108 lots).

* The Hillside of Corinth Proposal was reviewed in August 2023 and the original proposal was reject by the City Council. The key factor for that rejection was the alignment of parcels along the north edge of the development to more closely match those of the Provence neighborhood to the north, plus addition requirements to ensure that new developments provide transition to existing neighborhoods in respect to densities, screening, and buffering.

* The proposal from Bridge Tower shows imagery of proposed home that do not include any brick on these homes. This approach would not provide for architectural designs that are consistent with existing neighborhoods on Post Oak Road and the surrounding areas.

* There is no drainage plan provided in the proposal, however the Zoning Board and City Council should be made aware that the existing elevation near the center of the proposed development site is 671 ft. and the slopes quickly to the south and east. My lot is Block 1, Lot 15 and my foundation elevation is 651 ft. The developer of Terrace Oaks (Meritage Home) provided a retaining wall across the rear of lots 13,14, 15 and 16 and others have flooding during heavy rain. Meritage Homes will accept no responsibility for this problem and home owners are left to try and deal with it. During April of 2024, Denton County had 8.43 inches of rain which is about 5 more inches that normal, based on 30 years of records. To say the least, it was extremely difficult keeping flood water from the runoff from entering my inground pool. One of my neighbors was not as lucky and I believe the City should require a "Performance Bond" be provided by the developer. The proposed retention pond will not work and the site needs extensive dirt work to eliminate this problem.

Carl Malkiewicz *Carl Malkiewicz*

2123 Demarsh Ln
Corinth, TX 76210

From: Kevin V
Sent: Monday, December 23, 2024 11:43 PM
To: Melissa Dailey; Planners
Subject: Concerns Regarding Proposed High-Density Development on 1960 Post Oak Drive

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Melissa Dailey & Planning Division,

My name is Kevin Vensel, and my wife, Pranavi, and I live at 2213 Wellington Ln, at the intersection of Post Oak and Lake Sharon in Corinth. I am writing to formally express my concerns regarding the proposed rezoning of 1960 Post Oak Drive, which would allow for smaller, high-density residential lots. This proposal presents significant challenges related to financial impacts, infrastructure strain, and community safety.

1. ****High-Density Development and Traffic:****

The proposed 40-foot and 30-foot lots will create an unacceptably high population density. This density is out of character with the established neighborhoods of Terrace Oaks and surrounding areas, which feature larger lots and a more spacious feel. More importantly, the increased traffic generated by this development will funnel directly into a school zone on Post Oak Drive. This road already experiences significant congestion during peak hours, and adding more vehicles will exacerbate existing traffic flow problems and endanger students and families.

2. ****Inadequate Drainage Plan:****

The developer's incomplete drainage plan is a major concern. Terrace Oaks has a history of drainage problems that have placed a financial burden on our HOA. Adding more homes without a clear and comprehensive plan to manage increased runoff will inevitably worsen these issues.

Specifically, I request clarification on the following:

- * Retention Pond: Will the proposed retention pond be a permanent water feature? What will the grade of the pond be, and how will this impact surrounding properties?
- * Mitigation of Existing Issues: How will the drainage plan address the existing drainage problems that have plagued Terrace Oaks for years?

3. ****Negative Impact on Property Values:****

The proposed construction of smaller homes with siding-only exteriors is a significant departure from the all-brick homes that define Terrace Oaks and contribute to its higher-end aesthetic. Introducing lower-cost construction will inevitably undermine property values for existing homeowners who have invested in this community.

4. ****Strain on Infrastructure:****

Increased population density will place a considerable strain on our existing infrastructure, including roads, utilities, and public services. This will likely result in:

- * Further traffic congestion and road deterioration.
- * Increased burden on utilities, potentially leading to service disruptions.
- * Higher costs for taxpayers to fund necessary infrastructure upgrades.

****Request for Reconsideration:****

I urge the Planning and Zoning Commission to reconsider this rezoning proposal. The potential for decreased property values, unresolved drainage problems, increased traffic congestion, and the development's incompatibility with the character of our community make it an unsuitable project for this location.

I request that the Commission prioritize the well-being and concerns of existing residents and deny this proposal in its current form.

Sincerely,
Kevin Vensel



Planning and Zoning Commission Meeting
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I am writing in (Check as applicable) Support: Opposition: of the proposal.

Name/Address/City: **(REQUIRED)**

Signature: **(REQUIRED)**

Jack McCann

(Please Print)

Jack McCann

(Signature)



Planning and Zoning Commission Meeting
Date: **MONDAY, February 17, 2025 at 6:30 P.M. (DATE CHANGE)***

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I am writing in (Check as applicable) Support: Opposition: of the proposal.

Based on the developer's proposed plans, we strongly oppose this development. The density / tiny lots and cheap all-siding construction do not remotely compare to the surrounding neighborhoods.

Name/Address/City: (REQUIRED)

Aaron Shapiro, 2301 Westerly
(Please Print)

Signature: (REQUIRED)

(Signature)



Planning and Zoning Commission Meeting
Date: MONDAY, January 27, 2025 at 6:30 P.M.

Section H, Item 5.

City Council Regular Meeting
Date: THURSDAY, February 20, 2025 at 6:30 P.M. * (see below for additional information)

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208. The meetings will be broadcast live at <https://www.cityofcorinth.com/remotesession>.

PUBLIC HEARING NOTICE

Dear Property Owner:

On Monday, January 27, 2025, at 6:30 PM, the City of Corinth Planning & Zoning Commission will conduct a public hearing on the item listed below. Should the Planning & Zoning Commission make a recommendation, the Corinth City Council will conduct a public hearing on Thursday, February 20, 2025, at 6:30 PM and consider acting on the item listed below. The meetings will be held at the Corinth City Hall, 3300 Corinth Pkwy, Corinth, Texas 76208.

- A request by the Applicant, Bridge Tower Homes LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a base zoning district of SF-4 Single Family Residential for the development of ±96 lots on approximately ±17 acres located at 3650 Corinth Pkwy. (Case No. ZAPD24-0010 Saddlebrook Planned Development)

*The February 20, 2025, City Council Public Hearing will only be held should the Planning & Zoning Commission make a recommendation on January 27, 2025. Additional information regarding this request can be found on the Upcoming Public Hearings page of the City of Corinth website at: <https://www.cityofcorinth.com/planning-development/page/upcoming-public-hearings>

As a property owner within two hundred (200) feet of the area to be rezoned, you are invited to attend this meeting in-person and voice your opinion at the public hearing (please note you are not required to attend).

Additionally, your opinion regarding the request described above may be expressed by notation on this form or by letter. You may support or oppose this request; your opposition will be considered a protest. Signed written comments must be received by the City of Corinth Planning and Development Department at 3300 Corinth Parkway, Corinth, Texas 76208 (3 days prior to public hearing). Signed comments may be scanned and sent by email to Melissa Dailey, Director of Community and Economic Development, at planning@cityofcorinth.com. Additionally, if you have any questions regarding this request, you may call 940-498-3262 for assistance.

I am writing in (Check as applicable) Support: Opposition: of the proposal. *Opposed!*

See attached letter. This is a bad idea for this parcel of land, and the general community. The city should not encourage or facilitate the financialization of single-family homes.

Name/Address/City: (REQUIRED)

Signature: (REQUIRED)

Aaron Layman / 2302 Aregill Dr. / Corinth
(Please Print)

Aaron Layman
(Signature)

To: Melissa Dailey & City of Corinth Planning Division

From: Aaron Layman

RE: Saddlebrook, Bridge Tower Proposal

January 20 2025

I am writing to formally express my objection to the Bridge Tower Homes development proposal and their request for amending the zoning requirement on the property at 1960 Post Oak Drive. The higher-density proposal does not fit with the adjacent neighborhoods, and it will put additional strain on community infrastructure and resources when we don't need it.

The small lots and generally unattractive designs proposed by Bridge Tower might make for decent future rental stock. That's precisely what we don't need on this parcel of land. The current SF-2 designation for the property is the right zoning for the land as it provides continuity and character for existing and future residents while maintaining stable property values.

The city of Corinth has several multifamily projects and ample housing supply coming to market to meet the needs of residents. It doesn't need a glorified rental community advertised as something different. Available infrastructure and schools are already under pressure trying to keep up with existing development. The higher density proposal in this case just creates additional problems and stress without improving the character of the community.

Looking at the Bridge Tower website (Their other website), I think it's pretty clear what the company is about. The Saddlebrook proposal by Bridge Tower Homes is just another iteration of the financialization of housing. To put it in plain English:

It's. About. The. Money!!!

I would encourage the Planning Division and City Council to reject the current proposal and the request for amended zoning. The **city of Corinth should not be in the business of promoting or facilitating the financialization of single-family homes**, not when local residents are already struggling with housing affordability.

Sincerely,

Aaron Layman

Financialization Nation – It’s About the Money.



Bridge Tower is a leading vertically-integrated real estate investment company focused on U.S. residential real estate, featuring a passionate team of experienced professionals disciplined in acquisition, development, construction, property management, and leasing.

Launched in 2013, Bridge Tower was an early mover in the Single Family for Rent ("SFR") asset class, initially acquiring properties through short sales, court house steps, and MLS listings. As the market evolved, Bridge Tower expanded operations in 2015 to include Build-to-Rent ("BTR") communities and bulk portfolio acquisitions, ultimately becoming one of the largest fully-integrated SFR & BTR platforms.

Bridge Tower's comprehensive vertical integration and specialized investment focus guarantees maximum efficiency, competitive pricing, and stakeholder satisfaction throughout the entire investment cycle. Bridge Tower stands out in as one of the few sponsors offering a full suite of in-house services.

4,500
UNITS ACQUIRED, BUILT & UNDER CONSTRUCTION

\$1.5B
DEPLOYED IN REAL ESTATE INVESTMENTS SINCE 2013

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OPEN INVESTMENT OPPORTUNITIES

At Bridge Tower, our Funds and Direct Investments are designed to offer investors flexible and accessible real estate investment opportunities. These opportunities are carefully curated to target a diverse range of real assets, including emerging markets and high-potential sectors. With a focus on transparency, liquidity, and growth potential; our investments aim to deliver competitive risk adjusted returns to our investors.

Bridge Tower provides the expertise, resources, and support needed to navigate the complexities of the market. Partner with us to create wealth through our strategically managed real estate investments.

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TARGETED AVERAGE ANNUAL INVESTOR RETURNS

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TARGETED AVERAGE ANNUAL CASH DISTRIBUTION



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A private real estate investment opportunity tailored for the moderate risk investor who desires both passive income and asset appreciation within a single venture. This Fund's approach centers around, acquisition, development, and managing single-family residences in strong growth markets.

Target Returns (Annualized): 15% – 30%

Objective: Income + Growth

Hold Period: 5+ Years

IRR: 18%+

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SINGLE PROJECT OPPORTUNITIES

Planning and Zoning Commission and City Council

Melissa Dailey, Director of Community and Economic Development

This letter is in protest of the planned Zoning change; ZAPD24-0010: Saddlebrook Planned Development:

As a resident of Terrace Oaks for the last 5 years I've seen the growth of the city expand to the point where infrastructure cannot consistently keep up with the proposed build site, and this proposal is no exception.

In a review of the Bridge Tower Homes plans for the property located North of Terrace Oaks at 1960 Post Oak Dr in Corinth, issue we have are as follows;

- 1) The lots that boarder Terrace oaks proposed by Bridge Tower Homes are 40ft Lots whereas the homes along this area in Terrace oaks are 70 ft lots.
The lots for the "Garden style" homes are 30ft Lots. Concern here the High Density of the Development will cause multiple issue;
 - a) Two new Traffic entrances will all enter and exit within a school zone further exacerbating the traffic concerns on post Oak with the addition of the possibility of ~200 vehicles at a point where post oak necks down to 2 lanes.
 - b) The "high Density" layout does not fit within the Homes already built in Terrace Oaks as well as the new Development going into the new property development to the North.
- 2) The builder had not finalized a Drainage plan and the concern is the density could affect the already unacceptable drainage Issues we are fighting withing Terrace Oaks, with no one being held responsible for the cost to remedy them, it has fallen back on the HOA and residence to resolve at considerable cost to both.
- 3) The proposal is for all of the homes to be siding only homes, with NO brick exterior, which does not provide the look of all the other communities surrounding it, providing a lower end home, at the expense of the surrounding all brick homes once billed as a higher end community.

Ralph & Debra Jansen
2309 Tolthaven Rd.



Debra Jansen

To: Melissa Daily

25 January 2025

Director of Community and Economic Development

3300 Corinth Parkway

Corinth, Texas 76208

From: Richard and Karen Haas

2309 Westerly Circle

Corinth, Texas 76210

Director Daily:

My wife and I live in the Terrace Oaks HOA off Post Oak near the corner of Creekside and Post Oak. We are opposed to the proposal of Bridge Tower Homes LLC request to change from SF-2 to SF-4 Single Family Residential for their proposed Saddlebrook development. Our reasoning follows:

1. The density of 97 homes on 17 acres is not consistent with all the homes in this part of Corinth and Denton. Existing homes have mainly brick exteriors on reasonably sized lots, not a large number of "shotgun" homes close together.
2. WATER Our water pressure is borderline acceptable. I understand the proposed new water tower will not be available until 2028. 97 new homes on the 17 acre site will cause water problems we don't need.
3. TRAFFIC Post Oak carries considerable traffic. There is a Grade School and a Junior High School on Creekside. School traffic is a problem at times. The two exits/entrances into Saddlebrook will only add to that problem
4. Other growth in the area. Meritage Homes has not completed the new sub-division to our east. There is another sub-division underway just next to the Saddlebrook property to the north. And south of Lake Sharon/Post Oak intersection is another very large sub-division under construction on the south side of Lake Sharon. All those add to the WATER and TRAFFIC issues.

We are not against Corinth improving itself. We just believe SF-2 is the proper zoning for the Saddlebrook property.

Thank you,

Richard L. Haas
Karen S. Haas



Planning and Zoning Commission Meeting

Date: **MONDAY, February 17, 2025 at 6:30 P.M. (DATE CHANGE)***

City Council Regular Meeting

Date: **THURSDAY, February 20, 2025 at 6:30 P.M.**

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208. The meetings will be broadcast live at <https://www.cityofcorinth.com/remotesession>.

PUBLIC HEARING NOTICE

Dear Property Owner:

The date of the Planning & Zoning Commission Public Hearing for the item listed below has been changed as follows: On Monday, February 17, 2025, at 6:30 PM, the City of Corinth Planning & Zoning Commission will conduct a public hearing on the item listed below. Should the Planning & Zoning Commission make a recommendation, the Corinth City Council will conduct a public hearing on Thursday, February 20, 2025, at 6:30 PM and consider acting on the item listed below. The meetings will be held at the Corinth City Hall, 3300 Corinth Pkwy, Corinth, Texas 76208.

- A request by the Applicant, Bridge Tower Homes LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a base zoning district of SF-4 Single Family Residential for the development of ±97 lots on approximately ±17 acres located at 1960 Post Oak Drive. (Case No. ZAPD24-0010 Saddlebrook Planned Development)

***Please note that the date change is for the Planning & Zoning Commission public hearing only. The City Council public hearing date as previously noticed remains the same. Letters of support or opposition already received will be considered for the new public hearing date.**

Additional information regarding this request can be found on the Upcoming Public Hearings page of the City of Corinth website at: <https://www.cityofcorinth.com/planning-development/page/upcoming-public-hearings>

As a property owner within two hundred (200) feet of the area to be rezoned, you are invited to attend this meeting in-person and voice your opinion at the public hearing (please note you are not required to attend).

Additionally, your opinion regarding the request described above may be expressed by notation on this form or by letter. You may support or oppose this request; your opposition will be considered a protest. Signed written comments must be received by the **City of Corinth Planning and Development Department at 3300 Corinth Parkway, Corinth, Texas 76208 (3 days prior to public hearing)**. Signed comments may be scanned and sent by email to **Melissa Dailey, Director of Community and Economic Development, at planning@cityofcorinth.com**. Additionally, if you have any questions regarding this request, you may call 940-498-3262 for assistance.

I am writing in (Check as applicable) Support: Opposition: of the proposal.

I oppose rezoning request by Bridge Tower Homes of 17 acres along Post Oak Dr to SF4. To many home in a condensed area, in the middle of a school zone on a two lane road. I see no benefit to the surrounding communities.

Name/Address/City: **(REQUIRED)**

Signature: **(REQUIRED)**

Frank Burgos

(Please Print)

Frank Burgos

(Signature)



Planning and Zoning Commission Meeting
Date: **MONDAY, January 27, 2025 at 6:30 P.M.**

City Council Regular Meeting
Date: **THURSDAY, February 20, 2025 at 6:30 P.M. * (see below for additional information)**

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208. The meetings will be broadcast live at <https://www.cityofcorinth.com/remotesession>.

PUBLIC HEARING NOTICE

Dear Property Owner:

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- A request by the Applicant, Bridge Tower Homes LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a base zoning district of SF-4 Single Family Residential for the development of ±96 lots on approximately ±17 acres located at 3650 Corinth Pkwy. (Case No. ZAPD24-0010 Saddlebrook Planned Development)

***The February 20, 2025, City Council Public Hearing will only be held should the Planning & Zoning Commission make a recommendation on January 27, 2025.** Additional information regarding this request can be found on the Upcoming Public Hearings page of the City of Corinth website at: <https://www.cityofcorinth.com/planning-development/page/upcoming-public-hearings>

As a property owner within two hundred (200) feet of the area to be rezoned, you are invited to attend this meeting in-person and voice your opinion at the public hearing (please note you are not required to attend).

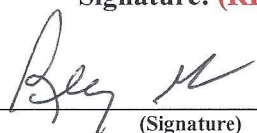
Additionally, your opinion regarding the request described above may be expressed by notation on this form or by letter. You may support or oppose this request; your opposition will be considered a protest. Signed written comments must be received by the **City of Corinth Planning and Development Department at 3300 Corinth Parkway, Corinth, Texas 76208 (3 days prior to public hearing)**. Signed comments may be scanned and sent by email to **Melissa Dailey, Director of Community and Economic Development, at planning@cityofcorinth.com**. Additionally, if you have any questions regarding this request, you may call 940-498-3262 for assistance.

I am writing in (Check as applicable) Support: Opposition: of the proposal.

Name/Address/City: **(REQUIRED)**

Signature: **(REQUIRED)**

Reginald Renbert 1909 Post Oak
(Please Print)


(Signature)



CITY OF CORINTH
Staff Report

| | | |
|-------------------------|---|---|
| Meeting Date: | 2/20/2025 | Title: UDC Text Amendment: Subsection 3.05.16 Drainage and Storm Water – Retention Pond (ZTA25-0003) |
| Strategic Goals: | <input type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development | |
| Owner Support: | <input checked="" type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission As the Planning & Zoning Commission meeting is taking place after the City Council agenda posting deadline, the Planning & Zoning Commission’s recommendation will be presented to the City Council at the time of the Public Hearing. | |

Item/Caption

Conduct a Public Hearing to consider testimony and act on a city-initiated request to amend Unified Development Code (UDC) Subsection 3.05.16 – Drainage and Storm Water to add a requirement for drainage basins to be designed as retention ponds when located between a building and a street, and/or completely bounded by streets, and/or viewable from a public space. (Case No. ZTA25-0003)

Item Summary/Background/Prior Action

The Unified Development Code and the City’s Engineering Standards Manual currently permit the construction of detention (dry) or retention (wet) drainage basins (ponds) in new developments within the City of Corinth. While Staff has worked closely with developers over the past few years to enhance the appearance and useability of detention ponds (e.g. Ashford Park Phase 1), retention ponds provide greater aesthetic appeal and improve the city’s environmental health (e.g. Ashford Park Phase 2).

Staff is proposing to modify UDC Subsection 3.05.16 A.5 (Drainage Facilities) to read as follows [new text in bold red font]:

5. Drainage Facilities. Drainage Facilities shall be provided and construction by the Developer in accordance with the requirements within this Section 3.05.16. Drainage and Storm Water and the City’s Code of Ordinances. **Drainage facilities located between a building and a street, and/or completely bounded by streets, and/or viewable from a public space shall be designed as retention ponds. Any conflicting adopted regulation or standard, including but not limited to the Unified Development Code or the City’s Engineering Standards Manual, shall be superseded by this provision.**

Financial Impact

N/A

Public Notice

Notice of the public hearing was provided in accordance with the City Ordinance and State Law by,

- Publication in the Denton Record-Chronicle
- The Public Hearing notice was posted on the City’s Website

Staff Recommendation

Staff recommends approval of the proposed amendment as presented.

Motion

I move to recommend approval of Case No. ZTA25-0003 as presented and direct Staff to prepare an ordinance for adoption at a future meeting.

Alternative Actions by the City Council

The City Council may also:

- Approve with additional stipulations
- Continue the Public Hearing and table action on the request to a definitive or non-defined date
- Deny the request



CITY OF CORINTH
Staff Report

| | | |
|-------------------------|---|---|
| Meeting Date: | 2/20/2025 | Title: UDC Text Amendment: Subsection 3.05.19.C – Street Lighting (ZTA25-0002) |
| Strategic Goals: | <input type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development | |
| Owner Support: | <input checked="" type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission As the Planning & Zoning Commission meeting is taking place after the City Council agenda posting deadline, the Planning & Zoning Commission’s recommendation will be presented to the City Council at the time of the Public Hearing. | |

Item/Caption

Conduct a Public Hearing to consider testimony and act on a city-initiated request to amend Unified Development Code (UDC) Subsection 3.05.19 C –Pedestrian Lighting, to add a new spacing maximum and amend the existing lighting standards. (Case No. ZTA25-0002)

Item Summary/Background/Prior Action

The Unified Development Code currently requires a maximum spacing of 600 feet and lacks specifications as to the type of post and luminaire to be used, resulting in inconsistencies throughout developments in the City. The spacing requirements also result in lack of proper illumination which decreases safety.

Staff seeks to address the lack of illumination in city streets by adopting a maximum spacing of 250 feet with exceptions in specific cases as listed in the proposed amendments below. Additionally, Staff seeks to ensure that future pedestrian lighting is oriented by requiring that poles do not exceed a height of fifteen feet (15’).

Staff is proposing to modify UDC Subsection 3.05.19 C, Street Lighting, to read as follows [new text in bold red font; removed text crossed out]:

1. Street Lighting System means the base, pole, arm, and light fixture of each street lighting system, as well as all electrical components of such system. **Where the term Pedestrian Light is not expressly written in this or any other provision of the Unified Development Code, the term Street Light shall refer to and be defined as a Pedestrian Light Fixture.**
2. Street lighting shall conform to the latest edition of the Illuminating Engineering Society Handbook.
3. ~~Round tapered standards with bracket arms shall be used and lighting levels, as recommended, shall be provided for very light traffic in residential areas, medium traffic on Collector Streets, and heavy traffic on Arterial Street.~~ **All Street Lights installed within the City shall be Pedestrian Light Fixtures. Pedestrian Light Fixture pole height shall not exceed 15’.**

4. ~~In no instance shall the spacing between street lights exceed six hundred (600) feet.~~ Pedestrian Light Fixtures shall be installed at each corner of an intersection. Spacing shall not exceed a distance of two hundred fifty feet (250'). Pedestrian light fixtures shall be installed in the parkway (space between curb and sidewalk). Closer spacing may be required for additional safety lighting at horizontal and vertical curves, median openings, school crosswalks, bridge approaches, historically high accident locations, and potential roadway and pedestrian safety hazards. The Director of Planning, or their designee, may approve spacing greater than two hundred fifty feet (250') when determined that the intent of this section is satisfied and/or proposed lighting may cause light pollution.
5. Cost of installation of street lighting shall be borne by the Developer.
6. The Developer shall include a proposed lighting plan showing location and type of fixtures in compliance with this Section as part of the Civil Engineering Construction Plans and shall be reviewed by the Planning Division subject to the approval of the Director of Planning.

Financial Impact

N/A

Public Notice

Notice of the public hearing was provided in accordance with the City Ordinance and State Law by,

- Publication in the Denton Record-Chronicle
- The Public Hearing notice was posted on the City’s Website

Staff Recommendation

Staff recommends approval of the proposed amendment as presented.

Motion

“I move to recommend approval of Case No. ZTA25-0002 as presented and to direct Staff to prepare an ordinance for the same for adoption at a future meeting.”

Alternative Actions by the City Council

The City Council may also:

- Approve with additional stipulations
- Continue the Public Hearing and table action on the request to a definitive or non-defined date
- Deny the request



CITY OF CORINTH
Staff Report

| | | |
|-------------------------|---|---|
| Meeting Date: | 2/20/2025 | Title: UDC Text Amendments – Fenestration and Tree Preservation Text Amendment MX-C Regulations (ZTA25-0001) |
| Strategic Goals: | <input type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development | |
| Owner Support: | <input checked="" type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission As the Planning & Zoning Commission meeting is taking place after the City Council agenda posting deadline, the Planning & Zoning Commission’s recommendation will be presented to the City Council at the time of the Public Hearing. | |

Item/Caption

Conduct a Public Hearing to consider testimony and act on a city-initiated request to amend Unified Development Code (UDC) Subsections 2.06.02.M – Architectural Standards and 2.06.02 N - Tree Preservation and Landscaping. (Case No. ZTA25-0001)

Item Summary/Background/Prior Action

Request A – UDC Subsection 2.06.02.M - Architectural Standards

Fenestration is defined as the arrangement of openings in a building's exterior facade, such as doors, windows, and skylights. The current MX-C code requires Fenestration on the ground floor of all new buildings, without distinction as to whether the ground floor contains commercial space or is entirely for residential use. The proposed amendment clarifies that Fenestration Standards would only apply to new buildings with commercial space on the ground floor, as it significantly impacts the overall design and curb appeal of the commercial space, creating a focal point for the building and passing foot traffic.

Staff is requesting that UDC 2.06.02 M be amended to read as follows (new text in bold red font):

FENESTRATION for **Ground Floor Commercial** - All new buildings with **Ground Floor Commercial** facades fronting on publicly accessible streets or other public spaces (except alleys) shall have openings and transparent (not mirrored) glazing that together constitute not less than sixty (60) percent of the horizontal length of each structure between the height of three (3) feet and eight (8) feet above the sidewalk.

Request B – UDC Subsection 2.06.02.N - Tree preservation and Landscaping

The MX-C zoning states that protected trees are defined as 20 caliper inches or greater, and the 20 CI relates to both mitigation fees and preservation credits. Other zoning districts recognize protected trees as 6 caliper inches or greater. The MX-C standard recognizes that the higher level of development in these districts tend to create more of a challenge in preserving trees. However, the existing MX-C zoning relating to preservation credits for 20 CI or greater

does not incentivize developers to preserve trees between 6 CI and 20 CI. The proposed text amendment would clarify that trees between 6 CI and 20 CI are not subject to mitigation but qualify to receive preservation credits.

Staff is requesting that the first paragraph of UDC 2.06.02 N be amended to read as follows (old text shown with strikethrough, new text in bold red font):

~~For purposes of this district, protected trees shall be defined as twenty (20) caliper inches or more and shall supersede the definition in Section 2.09.02 for Tree, Protected. All other provisions in Section 2.09.02 shall apply.~~

For purposes of this district, the regulations contained in UDC 2.09.02 G.3 (Mitigation Requirements for Protected Trees Removed) shall only be applicable for protected trees – as defined in UDC 2.09.02 C.19 (Tree, Protected) – measuring 20.1 caliper inches or greater. All other provisions of UDC 2.09.02 shall apply.

Financial Impact

N/A

Public Notice

Notice of the public hearing was provided in accordance with the City Ordinance and State Law by,

- Publishment in the Denton Record-Chronicle
- The Public Hearing notice was posted on the City’s Website

Staff Recommendation

Staff recommend approval of the proposed amendment as presented.

Motion

“I move to recommend approval of Case No. ZTA25-0001 as presented.”

Alternative Actions by the City Council

The City Council may also,

- Approval with additional stipulations
- Continue the Public Hearing and table action on the request to a definitive or non-defined date
- Deny the request



CITY OF CORINTH
Staff Report

| | | | |
|-------------------------|---|---------------|--|
| Meeting Date: | 2/20/2025 | Title: | TREE2025-0005: Oxford at the Boulevard Phase 2 Tree Removal Permit |
| Strategic Goals: | <input type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development | | |
| Owner Support: | <input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission Tree Removal Permits are not subject to consideration by advisory bodies. | | |

Item/Caption

Consider and act on approving a Tree Removal Permit for the Oxford at the Boulevard Phase 2 development project located at the northwest corner of Lake Sharon Drive and Corinth Parkway. (Case No. TREE2025-0005: Oxford at the Boulevard Phase 2)



Aerial Location Map

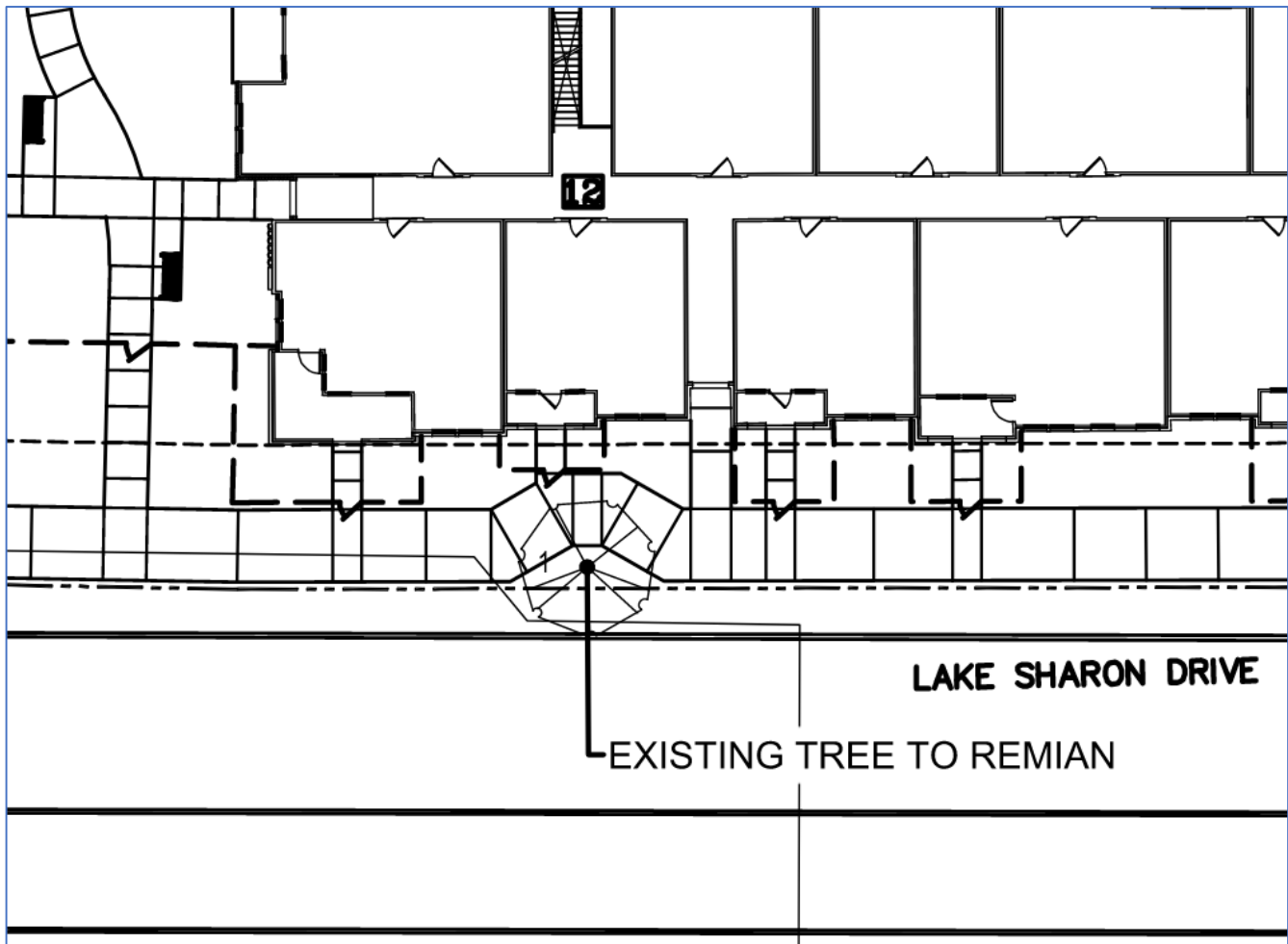
Item Summary/ Background

The Applicant is seeking approval of a Tree Removal Permit for the construction of a 172-unit expansion (Phase 2) of the Oxford at the Boulevard multifamily development. No waivers are being requested by the Applicant.

This Permit requires City Council approval due to the percentage of protected trees preserved being zero. Per UDC 2.09.02 F[6] – Tree Removal Permit Review and Approval Process, “... Any Tree Removal Permit Application for Property that is ‘undeveloped land proposed for new development or redevelopment’ that does not propose to preserve at least 10% of Healthy Protected Tree CI on site shall require City Council review and approval.”

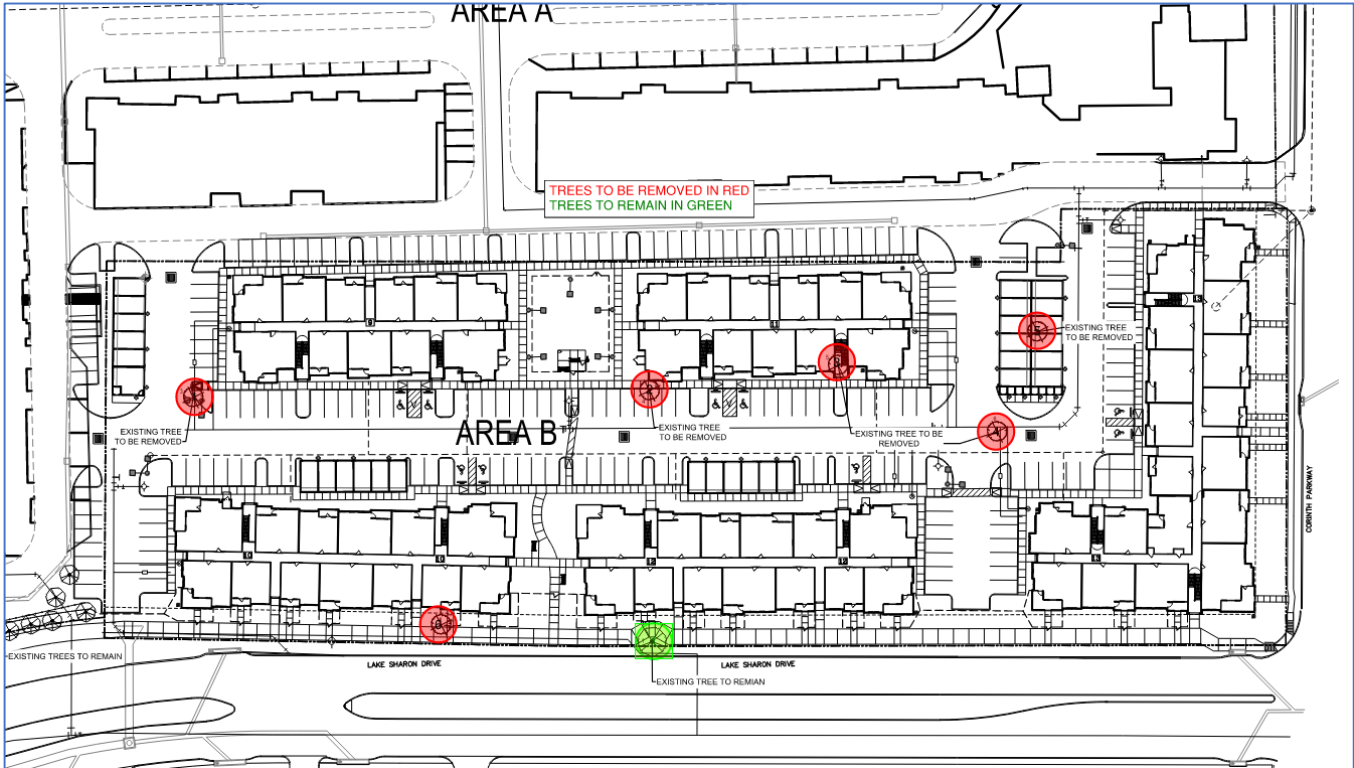
The property is zoned under Planned Development No. 31 – Oxford at the Boulevard, which was approved in March 2023. A Site Plan for the Phase 2 project has been approved subject to approval of the Civil Engineering Construction Plans. As part of the Site Plan and Civil Engineering Construction Plan review process, Applicants are required to provide Tree Survey and Tree Protection Plan for review.

The Tree Survey (Exhibit A) shows that there are 6 protected trees and one unprotected tree on the Phase 2 boundary. The unprotected tree is a 16-caliper inch cottonwood tree. The Applicant’s team designed their building and trail to ensure that the unprotected tree remains on the property, as shown on the excerpt below from Exhibit A – Tree Survey.



Excerpt from Tree Survey

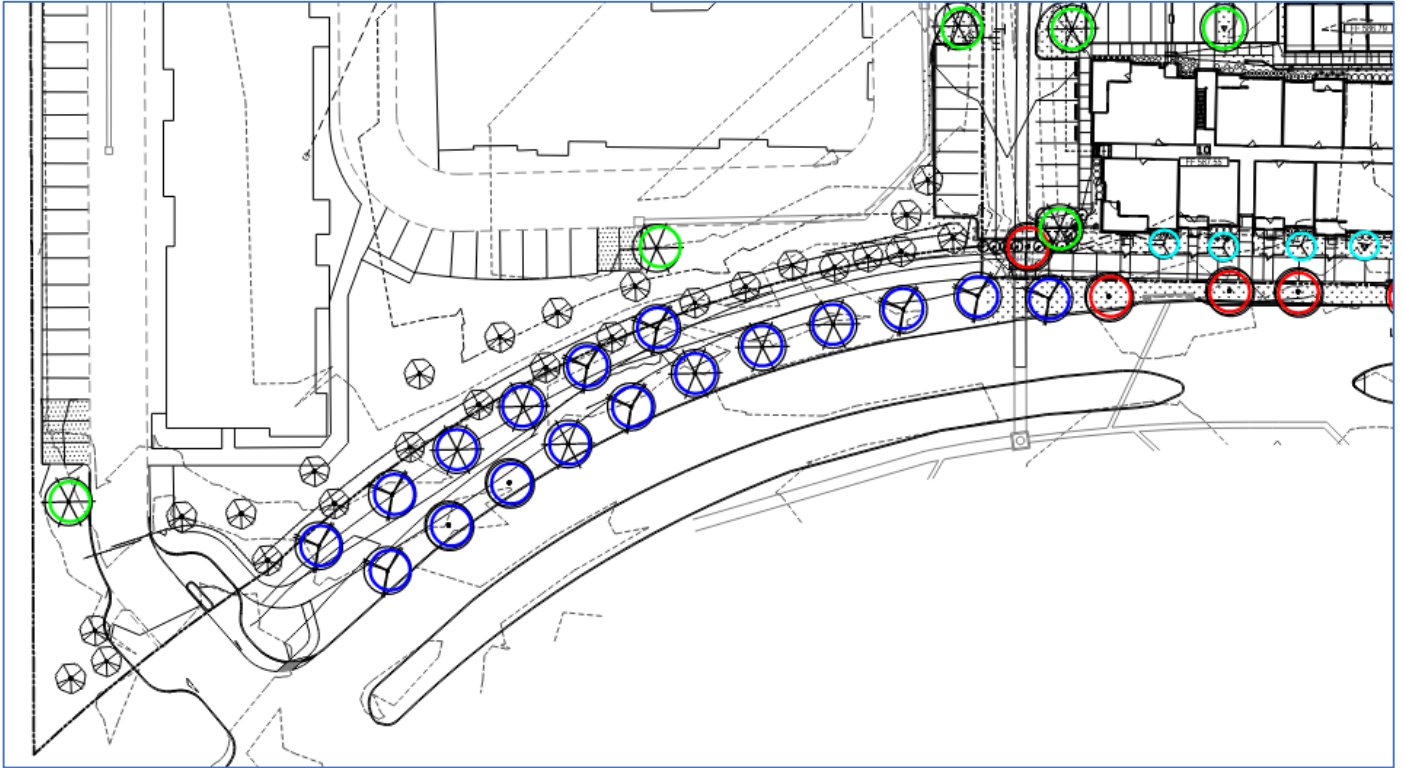
The remaining 6 trees are located in areas where removal is necessary for the installation of utility infrastructure, fire lanes, and buildings as shown in the PD-31 Concept Plan, the approved Site Plan, and Civil Engineering Construction Plans (see excerpt below from Tree Survey).



Excerpt from Tree Survey

Because the unprotected tree being preserved does not count towards preservation percentage, the percentage of protected trees preserved within the Phase 2 boundary is zero. As required by UDC 2.09.02 F[6] – Tree Removal Permit Review and Approval Process: “... Any Tree Removal Permit Application for Property that is ‘undeveloped land proposed for new development or redevelopment’ that does not propose to preserve at least 10% of Healthy Protected Tree CI on site shall require City Council review and approval.”

The resulting mitigation for the six protected trees being removed totals 50 caliper inches (see Exhibit C – Tree Removal Permit Worksheet). The Applicant is proposing to mitigate the 50 caliper inches by planting 17 3-caliper inch trees totaling 51 caliper inches, as shown in Exhibit B – Tree Planting Plan (mitigation trees shown in blue in the image below). The mitigation trees are being planted in addition to all other trees required by the Landscape Ordinance and the Planned Development Ordinance.



Excerpt from Tree Planting Plan

Staff Recommendation

Staff recommends approval as presented.

Motion

“I move to approve Tree Permit No. TREE2025-0005 – Oxford at the Boulevard Phase 2, as presented.”

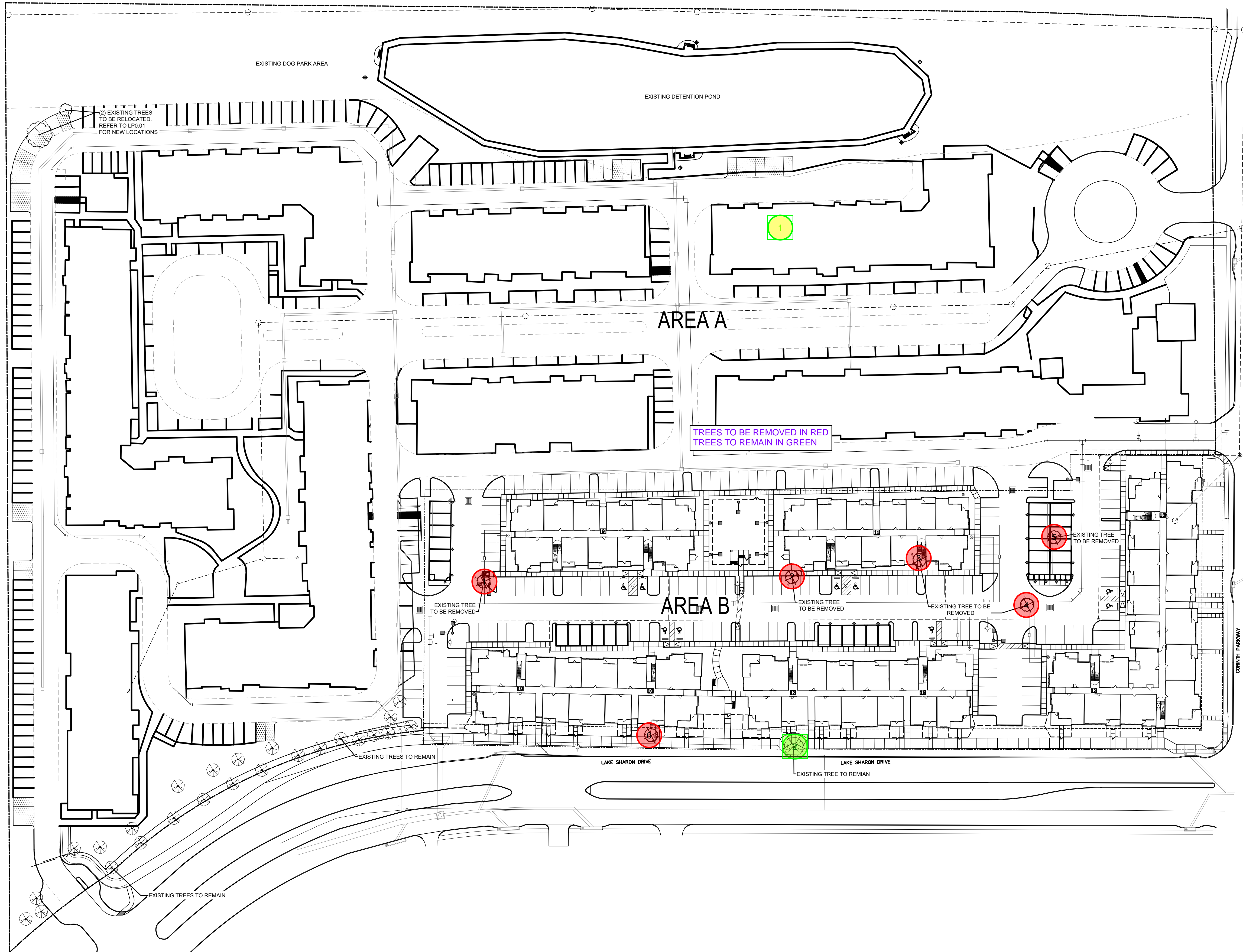
Alternative Actions by the City Council

The City Council may also,

- Approve with additional stipulations
- Deny the permit

Supporting Documentation

- A. Exhibit A – Tree Survey
- B. Exhibit B – Tree Planting Plan
- C. Exhibit C – Tree Permit Worksheet

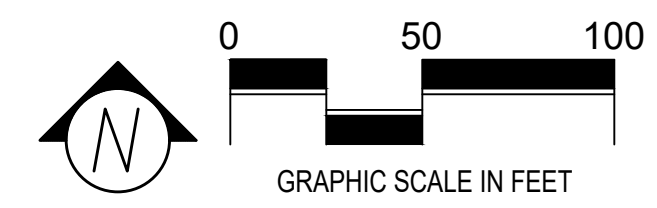


TREES TO BE REMOVED IN RED
TREES TO REMAIN IN GREEN

| TREE # | TREE SIZE (DBH) | COMMON NAME | SCIENTIFIC NAME | SAVE/REMOVE | PROTECTED | MITIGATION |
|--------|-----------------|---------------|-------------------|-------------|-----------|------------|
| 1 | 16 | COTTONWOOD | POPULUS DELTOIDES | SAVE | NO | |
| 2 | 10 | ASH | FRAXINUS | REMOVE | YES | 10 |
| 3 | 8 | BRADFORD PEAR | PYRUS CALLERYANA | REMOVE | YES | 8 |
| 4 | 8 | BRADFORD PEAR | PYRUS CALLERYANA | REMOVE | YES | 8 |
| 5 | 8 | BRADFORD PEAR | PYRUS CALLERYANA | REMOVE | YES | 8 |
| 6 | 8 | BRADFORD PEAR | PYRUS CALLERYANA | REMOVE | YES | 8 |
| 7 | 8 | BRADFORD PEAR | PYRUS CALLERYANA | REMOVE | YES | 8 |
| | 66 | | | | | 50 |

LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE RELOCATED



1 TREE SURVEY / PRESERVATION PLAN

SCALE: 1"=50'-0"

ISSUES:

- 08-11-23 SITE PLAN SUBMITTAL

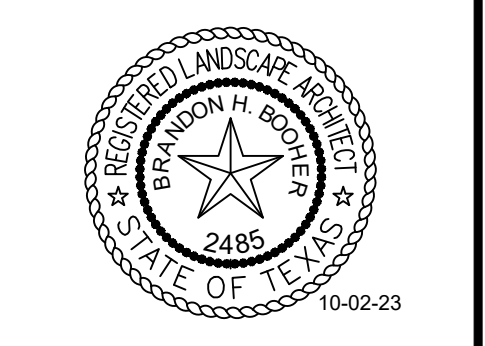
REVISIONS:

- 10-02-23 PER CITY COMMENTS
- 12-22-23 PER CITY COMMENTS
- 01-12-24 PER CITY COMMENTS
- 03-06-24 PER CITY COMMENTS
- 04-30-24 PER CITY COMMENTS
- 06-07-24 PER CITY COMMENTS

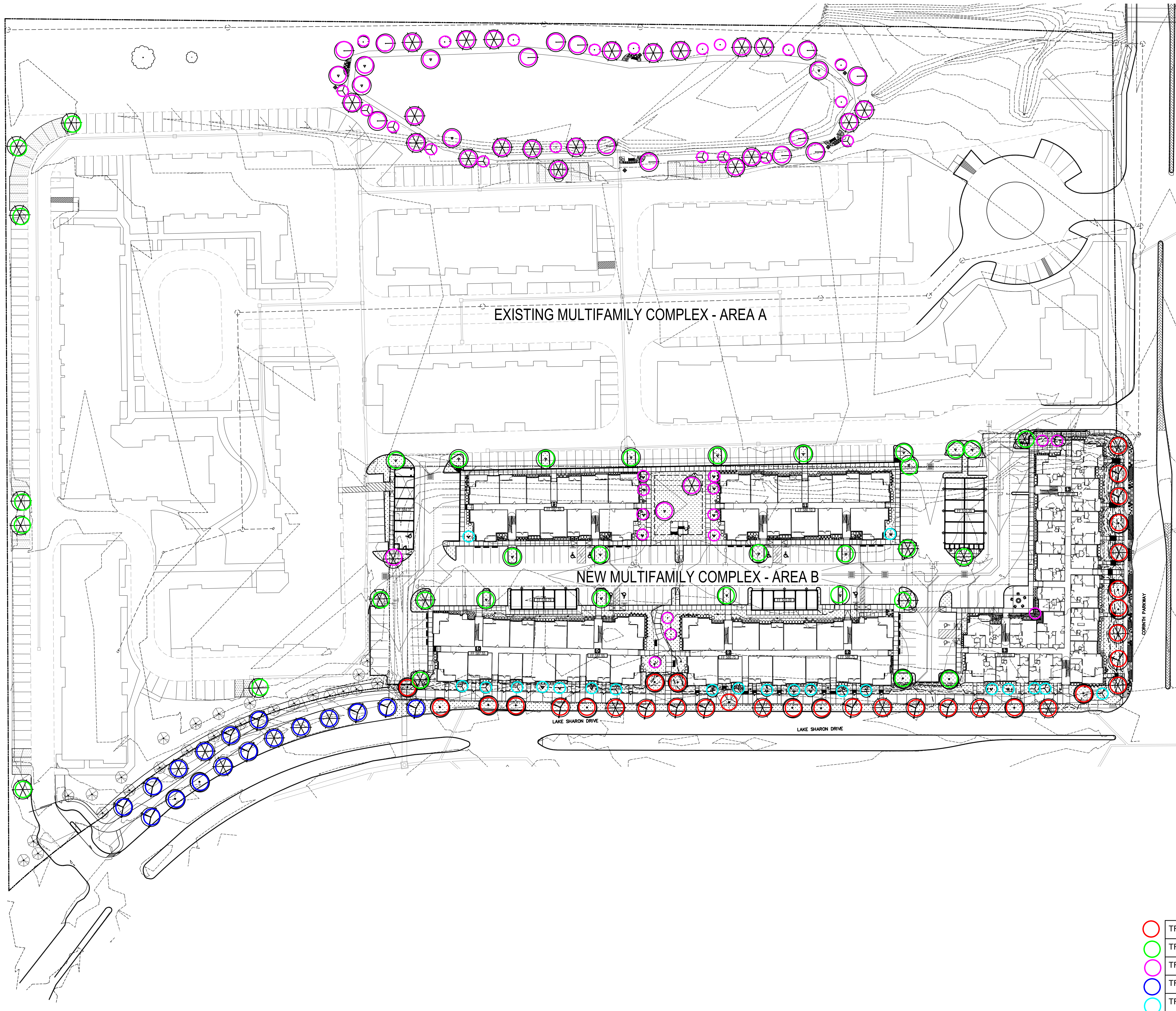
CLIENT:
Cross Architects
879 Junction Dr.
Allen, TX 75013

OXFORD AT THE BOULEVARD
CORINTH, TEXAS

mgt
landscape architects
MEEKS DESIGN GROUP, INC.
1755 N. COLLINS BLVD., SUITE 300
RICHARDSON, TX 75080
PH (972) 690-7474
F (972) 690-7878



SITE PLAN SUBMITTAL
OXFORD AT THE BOULEVARD
CORINTH, TEXAS
JOB NUMBER: CRO-2316
TREE SURVEY / PRESERVATION PLAN



LANDSCAPE REQUIREMENTS - AREA A

PLAN MEETS OR EXCEEDS THE FOLLOWING CRITERIA:

WET RETENTION POND REQUIREMENTS

REQUIRED: 1 SHADE TREE FOR EVERY 30 L.F. OF DETENTION POND LENGTH
 1,145 L.F. / 30 L.F. = 38 SHADE TREES
 1 ORNAMENTAL TREE FOR EVERY 2 SHADE TREES 38.2/2 = 19.1

PROVIDED: 38 SHADE TREES AND 20 ORNAMENTAL TREES

LANDSCAPE REQUIREMENTS - AREA B

PLAN MEETS OR EXCEEDS THE FOLLOWING CRITERIA:

SITE DATA (AREA B)

LOT AREA: 195,906 S.F. (4.50 ACRES)
 BUILDING AREA: 78,445 S.F.
 OPEN SPACE: 41,467 S.F.

SITE LANDSCAPE REQUIREMENTS

REQUIRED: (1) SHADE TREE FOR EVERY 1,000 S.F. OF OPEN SPACE
 OPEN SPACE: 41,467 S.F. / 1,000 S.F. = 41.47 TREES

PROVIDED: (42+) SHADE TREES

RIGHT OF WAY LANDSCAPE EDGE REQUIREMENTS

REQUIRED: (1) SHADE TREE FOR EVERY 30 L.F. OF STREET FRONTAGE.
 A CONTINUOUS HEDGE FOR HEADLIGHT SCREENING (WHERE APPLICABLE)

CORINTH PARKWAY: 283.6 L.F.
 (9.5) SHADE TREES
 LAKE SHARON DRIVE: 768 L.F.
 (25.6) SHADE TREES

PROVIDED:
 CORINTH PARKWAY: (10) SHADE TREES
 LAKE SHARON DRIVE: (25) SHADE TREES AND (1) EXISTING TREE

PARKING LOT REQUIREMENTS

REQUIRED: TWENTY (20 S.F.) SQUARE FEET OF LANDSCAPING FOR EACH PARKING SPACE SHALL BE PROVIDED WITHIN THE PAVED BOUNDARIES INCLUDING ONE (1) SHADE TREE OR ORNAMENTAL TREE FOR EVERY 10 PARKING SPACES.
 259 PARKING SPACES X 20 S.F. = 5,180 S.F.
 259 PARKING SPACES / 10 = 25.9 TREES

PROVIDED: 5,180+ S.F. OF LANDSCAPE AREAS
 26+ TREES IN PARKING AREAS

8% PRIVATE RECREATION

8% OF THE GROSS COMPLEX (AREAS A AND B) TO BE PRIVATE RECREATION.

AREAS A AND B = 852,504 S.F. X .08 = 68,200 S.F.

AREA B=
 PRIVATE COURTYARD W/ FIREPIT: 1,145 S.F.
 DOG PARK: 3,825 S.F.
 PRIVATE COURTYARD W/ SEATING: 2,170 S.F.

MEANDERING DOG PARK ALONG LAKE SHARON DRIVE IS REQUIRED FOR PARK AND TRAIL DEDICATION: 4,503 S.F.

AREA A=
 DOG PARK: 16,000 S.F.
 POND WITH TRAIL/SEATING: 72,000 S.F.

TOTAL = 95,140 S.F.

- TREE PLANTED TO SATISFY LANDSCAPE EDGE REQUIREMENTS
- TREE PLANTED TO SATISFY INTERIOR PARKING LOT REQUIREMENTS
- TREE PLANTED TO SATISFY SITE LANDSCAPE REQUIREMENTS
- TREE PLANTED TO SATISFY TREE MITIGATION
- TREE PLANTED TO SATISFY GROUND FLOOR UNIT REQUIREMENT

ISSUES:

| | | |
|---|----------|---------------------|
| ○ | 08-11-23 | SITE PLAN SUBMITTAL |
| ○ | | |
| ○ | | |

REVISIONS:

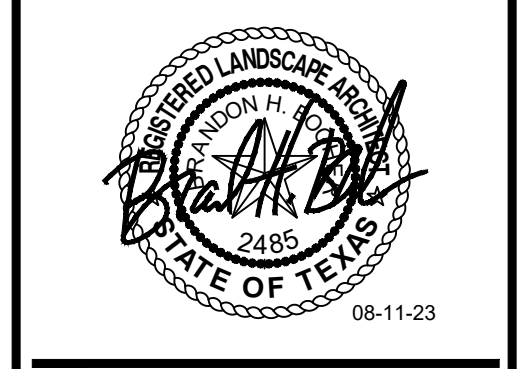
| | | |
|---|----------|-------------------|
| △ | 10-02-23 | PER CITY COMMENTS |
| △ | 12-22-23 | PER CITY COMMENTS |
| △ | 01-12-24 | PER CITY COMMENTS |
| △ | 03-08-24 | PER CITY COMMENTS |
| △ | 04-30-24 | PER CITY COMMENTS |
| △ | 06-07-24 | PER CITY COMMENTS |
| △ | 01-28-25 | PER CITY COMMENTS |

CLIENT:
 Cross Architects
 879 Junction Dr.
 Allen, TX 75013

OXFORD AT THE BOULEVARD

CORINTH, TEXAS

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 MEEKS DESIGN GROUP, INC.
 1755 N. COLLINS BLVD., SUITE 300
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 PH (972) 690-7474
 F (972) 690-7878




SITE PLAN SUBMITTAL

OXFORD AT THE BLVD


CORINTH, TEXAS

JOB NUMBER: CRO-2316

CITY - LANDSCAPE PLAN

| | | | |
|--|---|---|----------------|
|  | | Application for Tree Removal Permit - Worksheet UNDEVELOPED LAND PROPOSED FOR NEW DEVELOPMENT | |
| Required Attachments: <ol style="list-style-type: none"> 1. Universal Application 2. Tree Survey (prepared by a Registered Landscape Architect or Certified Arborist) 3. Tree Protection/Mitigation Plan (must show the utility easements superimposed over the tree survey exhibit) | | | |
| Tree Survey & Tree Protection/Mitigation Plan | | | |
| A. Tree Survey: Identify total number of "Protected Trees" located on site. A Protected Tree is defined as having a trunk caliper of six inches (6") or more, measured 4'6" above natural grade. Survey shall be prepared by a Registered Landscape Architect or Certified Arborist . Trees excluded from the Protected Tree Definition are listed in UDC Section 2.09.02.C.24 | | | |
| B. Tree Protection/Mitigation Plan: Such Protected Tree preservation shall become a part of the approved Site Plan/Landscape Plan subject to zoning enforcement, shall remain in effect for perpetuity and shall be required to be maintained as part of a POA or HOA bylaws unless amended as allowed by applicable law. Calculate and graphically show the following: | | Number of Trees | Caliper Inches |
| a. Total Protected Trees to be removed from site | | 6 | 50 |
| b. Total Protected Trees to be preserved on site (see UDC Section 2.09.02.G.4 Table 16-B for additional credits for healthy protected tree preservation efforts) | | 0 | 0 |
| Total Trees (a + b): | | 6 | 50 |
| Mitigation is required at applicable replacement rates based on the following size categories: | | | |
| Size of Protected Tree CI | CI Replacement Rate Per CI Removed | Number of Trees | Caliper Inches |
| 6" – 20" | 1:1 | 6 | 50 |
| 20.1" – 30" | 1.5:1 | N/A | N/A |
| 30.1" – 40" | 2.5:1 | N/A | N/A |
| 40.1" + | 4:1 | N/A | N/A |
| Subtotal Mitigation: | | | 50 |
| Credits for Healthy Protected Tree Preservation Efforts (Review Section 2.09.02 G.4): | | | |
| The following Credit Sliding Scale is intended to encourage the preservation of Protected Trees and wildlife habitat through the thoughtful incorporation of such into the overall design of a site. Credits are offered based on the percentage of total Healthy Protected Tree CI preserved on the Property AND preserved in deeded open space lots to remain in perpetuity and cared for by the HOA and/or POA as applicable. Such credits may also be applied to mixed use, multi-family, and non-residential developments where Healthy Protected Tree(s) are preserved and incorporated into the overall site design in a manner that is "context sensitive" and furthers sustainability of natural areas and habitat within park greens, plazas, linear connections, or other such common site amenities that serve to support a gathering space(s) within a development. Note that a 50% credit is the maximum that may be applied to off-set required mitigation resulting from a Heritage Tree removed. Additionally, credits shall not be offered for Healthy Protected Trees located within utility easements and/or drainage easements, or when trees will be required to be removed based on a drainage study. However, credits may be considered for Healthy Protected Trees located within drainage easements provided that no underground and/or surface structures and other appurtenances are located or proposed. In such instances, where such credits may be offered, the CI of the Healthy Protected Trees to be preserved shall not be included in the calculation of the "Saved Healthy Protected Tree Base Credit" percentage as outlined, below. Healthy Protected Trees preserved within the Floodplain may be considered for credit provided that the area is not to be disturbed, will remain in a natural state, and is incorporated as a natural feature and amenity as part of the site design. | | | |
| Saved Healthy Protected Tree Base Credit: | | | Caliper Inches |
| Select one from Options 1, 2, or 3, based on applicability | | | |
| 1 | Saved Healthy Protected Tree Base Credit (Fixed rate up to 10%): Offered at a rate of 1:1 (1 CI credit for every 1 CI preserved) when up to 10% of the total Healthy Protected Tree CI are preserved on site. Healthy Protected Trees rated good or excellent are eligible for credit as provided in this Section. Protected Trees preserved and noted in fair condition may be categorized as a "Healthy Protected Tree" provided that a statement of sustained viability is included in the Tree Survey as determined by a Certified Arborist and/or Registered Landscape Architect and may receive a 1:1 credit. | Credit (up to 10%) | N/A |

| | | | | |
|--|---|--|-------------------------------|------------------------------|
| 2 | <p>Saved Healthy Protected Tree Base Credit (Fixed rate 10.1% to 15%): Offered at a rate of 1.5:1 (1.5 CI credit for every 1 CI preserved) when a minimum of 10.1% to 15% of the total Healthy Protected Tree CI are preserved on site. Healthy Protected Trees are eligible for credit. Protected Trees preserved and noted in fair condition may be categorized as a "Healthy Protected Tree" provided that a statement of sustained viability is included in the Tree Survey as determined by a Certified Arborist and/or Registered Landscape Architect and may receive a 1.5:1 credit.</p> | <p>Credit (up to 15%)</p> | <p>N/A</p> | |
| <p>Saved Healthy Protected Tree Base Credit (Sliding Scale): When 15.1% or more total Healthy Protected Tree CI is preserved on Property, a sliding scale credit may be applied to reward context sensitive design that effectively incorporates Protected Tree and habitat preservation. Healthy Protected Trees rated with a condition of good or excellent are eligible for sliding scale credit. Protected Trees preserved and noted in fair condition may be categorized as a "Healthy Protected Tree" provided that a statement of sustained viability is included in the Tree Survey as determined by a Certified Arborist and/or Registered Landscape Architect and may receive sliding scale credit.</p> | | | | |
| <p>Size of Protected Tree CI</p> | | <p>Credit Offered to Off-Set CI Replacement</p> | <p>Number of Trees</p> | <p>Caliper Inches</p> |
| <p>6" – 12"</p> | | <p>2:1</p> | <p>N/A</p> | <p>N/A</p> |
| <p>12.1" – 20"</p> | | <p>3:1</p> | <p>N/A</p> | <p>N/A</p> |
| <p>20.1" – 30"</p> | | <p>3.5:1</p> | <p>N/A</p> | <p>N/A</p> |
| <p>30.1" – 40"</p> | | <p>4:1</p> | <p>N/A</p> | <p>N/A</p> |
| <p>40.1" +</p> | | <p>5:1</p> | <p>N/A</p> | <p>N/A</p> |
| <p>Subtotal Credit:</p> | | | <p>0</p> | <p>0</p> |
| <p>Other Credits Available (if applicable)</p> | | | | <p>Caliper Inches</p> |
| <p>CONFIRM ELIGIBILITY PRIOR TO COMPLETING SECTIONS BELOW</p> | | | | |
| <p>Bonus Credit: Where groves and habitat pockets and/or corridors of healthy Protected Trees are preserved, an additional 0.5:1 credit may be considered at the discretion of the Director of Planning (and added to each Protected Tree CI Category) where innovative and environmentally sensitive design is demonstrated through the preservation of stands of trees, Heritage Trees (40 CI+), and environmentally sensitive habitat that is incorporated into the overall project design and when such tree preserve areas have been included within otherwise buildable areas of the site. The bonus credit may be applied for Protected Trees saved within otherwise buildable areas (e.g., outside of floodplain).</p> | <p>Credit (0.5 x CI of trees preserved in eligible areas mentioned in this section)</p> | <p>N/A</p> | | |
| <p>Credit for Healthy Protected Tree "species/types" less than 6 CI: When 20.1% or more total Protected Trees CI on site are saved on the Property within designated common open space lots, a credit of 1:1 may be offered for trees that are preserved within a tree stand and/or tree grove even though such Protected Trees measure less than the 6 CI Protected Tree threshold.</p> | <p>Credit (add CI of all trees less than 6" and shown on survey to be preserved on site)</p> | <p>N/A</p> | | |
| <p>Landscaping Requirements Credits: Where 20.1% or more of total Healthy Protected Tree CI are preserved on a Property, and where Canopy Shade Trees as designated in Table 15 of Section 2.09.01 required to be planted within Landscape Edge Buffers, Residential Adjacency buffers, or as part of a landscape plan for detention/retention basins (that have been approved to satisfy "park and/or trail" land and located within deeded common open space), landscape credits for Shade Trees planted (at least 3" CI) may be offered to off-set mitigation requirements.</p> | <p>Credit (equal to total CI of eligible landscape trees)</p> | <p>N/A</p> | | |
| <p>Public Right-of-Way Credits: When 20.1% or more of total Healthy Protected Tree CI are preserved, the same percentage of Protected Trees preserved may be credited against the CI removed within the public right-of-way when Protected Tree Preservation Areas have been included within otherwise buildable areas of the site.</p> | <p>Credit (% of preserved protected trees)</p> | <p>N/A</p> | | |

| | | |
|---|--|---|
| <p>Credit equal to the replacement rate (Table 16-A) for any Protected Tree required to be removed due to City required street connection as shown on the adopted Master Thoroughfare plan, as may be amended. Such credit may be offered at the discretion of Planning Director if (1) 20.1 % or more CI are of the total Protected Trees on site are preserved and (2) when the overall project design incorporates the principles of conservation or context sensitive design.</p> | <p>Credit (equal to replacement rate per tree)</p> | <p>N/A</p> |
| <p>Building Footprint: When 20.1% or more of total Healthy Protected Tree CI are preserved on site and effectively incorporated into overall site design (by creating a feature such as common open space or green space and demonstrating conservation and context sensitive design), the CI of Protected Trees located within the building footprint of a non-residential building may be excluded from the mitigation requirements at the discretion of City Council. This exclusion shall require Alternative Compliance Approval in consideration of furthering economic development and promoting the principles outlined in the Comprehensive Plan. Note that Heritage Trees shall not be eligible for mitigation exclusion.</p> | | <p>N/A</p> |
| <p>Subtotal Credits:</p> | | <p>770</p> |
| <p>Standard Deduction Credit: The purpose of the Standard Deduction Credit is to reward preservation efforts where a certain base percentage of Healthy Protected Tree CI are preserved on site and effectively incorporated into overall site design by creating a feature such as common open space or green space and demonstrating conservation and context sensitive design. The deduction credit shall be calculated as follows: When the saved base of Protected Trees CI is greater than 10% then the remaining mitigation may be reduced by an additional 10% e.g., if the base percentage (%) saved = 25% then the mitigation may be reduced by (25% + 10%) = 35% of the remaining mitigation requirements after applicable credits above are applied, <u>with the exception of mitigation required for Heritage Trees removed which is capped at 50% credit as noted in Subsection 2.09.02.G.4. above.</u></p> | <p>Credit (Subtotal Mitigation – Subtotal Credits * Preservation Percentage plus 10%)</p> | <p>Caliper Inches N/A</p> |
| <p>Total Credits:</p> | | <p>0</p> |
| <p>Total Required Mitigation (Subtotal Mitigation – Total Credits):</p> | | <p>50</p> |
| <p>C. Staff may approve the following options for tree mitigation (may include a combination of options 1 and 2)</p> | | |
| <p>Option 1 – Replacement Trees: Plant replacement trees in accordance with Subsection 2.09.02 of the Unified Development Code.</p> | <p>Caliper Inches: N/A</p> | <p>Number of Trees Planted: N/A</p> |
| <p>Option 2 – Fee-in-lieu-of Replanting: Where is not practical to replant all or a portion of required mitigation CI due to site constraints, the Applicant may pay a “fee-in-lieu of replanting”.</p> | <p>Caliper Inches: 17</p> | <p>Fee-in-lieu-of Amount*: 50</p> |
| <p>Total:</p> | | <p>0 0</p> |
| <p>*Reference City of Corinth Fee Schedule</p> | | |
| <p>Applicant Name and Signature: <i>JUSTIN SWARTZ</i></p> | <p>Property Location & Legal Description: <i>OXFORD AT THE BOULEVARD LOT 1 & 2X, BLOCK A</i></p> | |
| <p>Calculations and attached Exhibits were completed by a Registered Landscape Architect or Certified Arborist</p> | | |
| <p>Name: <i>BRANDON BOOHER</i></p> | <p>Signature/Seal: </p> | |