



CITY COUNCIL WORKSHOP AND REGULAR SESSION

Thursday, August 19, 2021 at 5:45 PM

City Hall | 3300 Corinth Parkway

Pursuant to section 551.127, Texas Government Code, one or more council members or employees may attend this meeting remotely using videoconferencing technology. The videoconferencing technology can be accessed at www.cityofcorinth.com/remotesession. The video and audio feed of the videoconferencing equipment can be viewed and heard by the public at the address posted above as the location of the meeting.

A. NOTICE IS HEREBY GIVEN of a Workshop and Regular Session of the Corinth City Council.

B. CALL TO ORDER

C. WORKSHOP AGENDA

1. Receive a report, hold a discussion, and provide staff direction on the Fiscal Year 2022 Annual Program of Services and Capital Improvement Program.
2. Receive a presentation on results from the Inflow & Infiltration study performed this year on the 3A wastewater basin.
3. Discuss Regular Meeting Items on Regular Session Agenda, including the consideration of closed session items as set forth in the Closed Session agenda items below.

D. ADJOURN WORKSHOP

E. CLOSED SESSION

The City Council will convene in such executive or closed session to consider any matters regarding any of the above agenda items as well as the following matters pursuant to Chapter 551 of the Texas Government Code. After discussion of any matters in closed session, any final action or vote taken will be public by the City Council. City Council shall have the right at any time to seek legal advice in Closed Session from its Attorney on any agenda item, whether posted for Closed Session or not.

Section 551.071. (1) Private consultation with its attorney to seek advice about pending or contemplated litigation; and/or settlement offer; and/or (2) a matter in which the duty of the attorney to the government body under the Texas Disciplinary Rules of Professional Conduct of the State of Texas clearly conflict with Chapter 551.

- a. Martinez v. City of Corinth Police Department, et al, Case 4:21-cv-00146-ALM (U.S. District Court - Eastern District).
- b. Robert B. Palmer and Sherry L. Palmer v. Derek William Kirkwood, et al, Civil Action No. 4:20-cv-688, United States District Court, Eastern District of Texas.
- c. C&JJ Investments, LLC v. City of Corinth, Cause No. 21-5053-431, (431st Judicial District, Denton County, Texas).
- d. The City of Corinth v. Ken Paxton, Attorney General, State of Texas, No. D-1-GN-21-003267 (419th Dist. Ct., Travis County, Tex.).

Section 551.087. To deliberate or discuss regarding commercial or financial information that the governmental body has received from a business prospect that the governmental body seeks to have locate, stay, or expand in or near the territory of the governmental body and with which the governmental body is conducting economic development negotiations; or to deliberate the offer of a financial or other incentive to a business project.

a. Project Agora.

F. RECONVENE IN OPEN SESSION TO TAKE ACTION, IF NECESSARY, ON CLOSED SESSION ITEMS

G. CALL TO ORDER, INVOCATION, PLEDGE OF ALLEGIANCE & TEXAS PLEDGE

H. CITIZENS COMMENTS

Please limit your comments to three minutes. Comments about any of the Council agenda items are appreciated by the Council and may be taken into consideration at this time or during that agenda item. Council is prohibited from acting on or discussing items brought before them at this time.

I. CONSENT AGENDA

All matters listed under the consent agenda are considered to be routine and will be enacted in one motion. Should the Mayor or a Councilmember desire discussion of any item, that item will be removed from the Consent Agenda and will be considered separately.

1. Consider and act on minutes from July 15, 2021 and August 5, 2021.
2. Consider and act on a Professional Services Agreement with Birkhoff Hendricks & Carter, L.L.P., for engineering services required to rehabilitate the tanks and valves at the Ground Storage Pump Station (Woods) and authorizing the City Manager to execute the necessary documents. Services are not to exceed \$76,000.
3. Consider and act on a contract with Institutform Technologies, LLC, for services required to clean and TV the 15" Inverted Siphons located north of the golf course and authorizing the City Manager to execute the necessary documents. Services are not to exceed \$97,358. This project is in conjunction with the CIPP of the wastewater piping under the golf course.

J. PUBLIC HEARING

4. Conduct a Public Hearing, consider testimony and take appropriate action on a rezoning request to amend the zoning classification on an approximate 20.859 acres of land within the H. Garrison Survey, Abstract No. 507, City of Corinth, Denton County, Texas. The property is generally located at the southwest corner of Interstate 35E and Corinth Parkway. An approximate 19.9863 acres of the tract is currently zoned as MX-C Mixed Use Commercial and an approximate .8727 acres of the tract does not currently have a zoning designation but is subject to the SF-1 zoning district regulations per the Unified Development Code. The proposed rezoning would result in the entire tract being designated as PD, Planned Development District with a base zoning of MX-C Mixed Use Commercial. (The Parkway District ZAPD21-0001)

1. Staff Presentation
2. Applicant Presentation
3. Public Hearing

4. Questions and Answers for Staff and Applicant

K. BUSINESS AGENDA

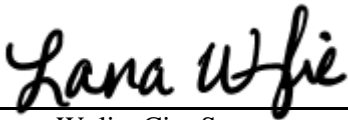
5. Consider and act on a Resolution of the City Council of the City of Corinth, Texas adopting a proposed FY22 municipal tax rate that will not exceed the voter-approval tax rate; calling a public hearing to be held on September 16, 2021 at Corinth City Hall at 7:00 p.m.; requiring publication of a Notice of Public Hearing on Tax Increase in accordance with state law; providing for the incorporation of premises; and providing an effective date.
6. Consider adoption of a resolution directing publication of notice of intention to issue certificates of obligation to provide funds for parks and recreation improvements, street improvements, municipal drainage improvements, and water and sewer improvements; and resolving other matters relating to the subject.

L. COUNCIL COMMENTS & FUTURE AGENDA ITEMS

The purpose of this section is to allow each Council Member the opportunity to provide general updates and/or comments to fellow Council Members, the public, and/or staff on any issues or future events. Also, in accordance with Section 30.085 of the Code of Ordinances, at this time, any Council Member may direct that an item be added as a business item to any future agenda.

M. ADJOURN

Posted on this 13th day of August 2021, at 11:30 A.M. on the bulletin board at Corinth City Hall.



Lana Wylie, City Secretary
City of Corinth, Texas

CITY OF CORINTH
Staff Report

Meeting Date:	8/19/2021	Title: Budget Workshop
Strategic Goals:	<input checked="" type="checkbox"/> Citizen Engagement <input checked="" type="checkbox"/> Proactive Government <input checked="" type="checkbox"/> Organizational Development	
Governance Focus:	<i>Sub-Ends:</i>	
	<input type="checkbox"/> Growing Community <input type="checkbox"/> Conveniently located <input checked="" type="checkbox"/> Delivers Outstanding Service <input type="checkbox"/> High-Quality Retail <input type="checkbox"/> High-Quality Restaurants <input type="checkbox"/> High-Quality Entertainment	
	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Customer <input type="checkbox"/> Stakeholder	
	<i>Decision:</i> <input checked="" type="checkbox"/> Governance Policy <input type="checkbox"/> Ministerial Function	
Owner Support:	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission Click to enter recommendation/decision of supporting group.	

Item/Caption

Receive a report, hold a discussion, and provide staff direction on the Fiscal Year 2022 Annual Program of Services and Capital Improvement Program.

Item Summary/Background/Prior Action

In compliance with the Charter requirement, the Fiscal Year 2022 budget was submitted to the Council by Friday, July 31, 2021 and can also be found on the City's website. This budget workshop is one of several for Council to deliberate on the Fiscal Year 2022 annual budget and to provide staff direction.

The City's budget development procedures are in conformance with State Law outlined in the Truth in Taxation process.

Applicable Owner/Stakeholder Policy

The City Charter, Section 9.02, requires that the City Manager be responsible for submitting an annual budget not later than sixty (60) days prior to the first day of the new fiscal year.

Staff Recommendation/Motion

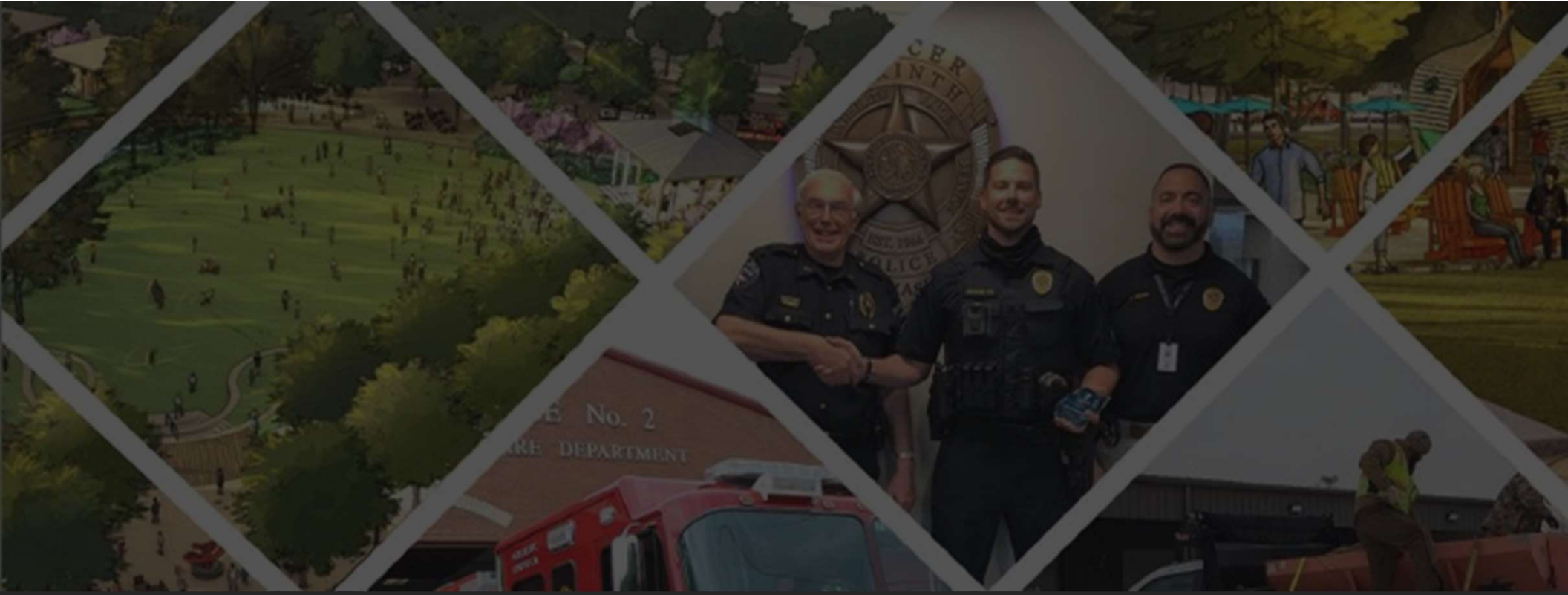
N/A



Annual Budget Overview

UTILITY FUND | STORM DRAINAGE FUNDS

August 19, 2021



Utility Fund Overview

Utility Billing | Engineering | Water | Wastewater | Garbage

Public Works Overview

Division	FTE	2021-2022
General Services	-	\$40,842
Water	9	7,864,602
Wastewater	9	4,681,513
	18	\$12,586,957



18

Employees

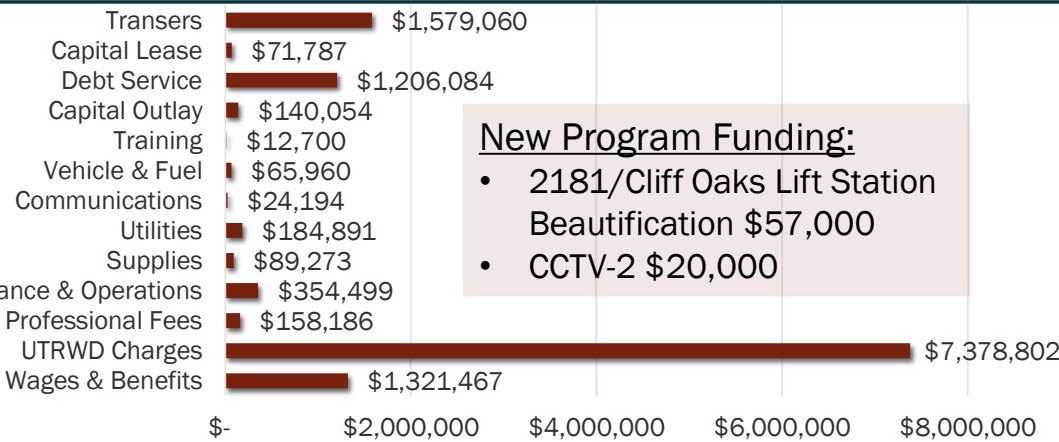
\$77k

New Program Funding

Goals For 2021-2022

- Develop fire hydrant/valve maintenance program.
- Integrate a leak detection plan with Cityworks for water mains per AMP.
- Complete interconnect with LCUMA.
- Inspect 1000 LF of Sanitary Sewer lines per month.
- Increase maintenance hole inspections to 60 per year, use Cityworks and collector to track inspections.
- Upgrade and replace commercial & residential meters that are 15 years or older.
- Meet State requirements for the City's public water system.
- Integrate pump replacement in lift stations that have pumps older than 20 years.
- Maintain a superior water rating with TCEQ.
- Implement the use of UT Network Software with GIS.
- Update Asset Inventory into Asset Tiger for assets greater than \$350.
- Complete APWA re-accreditation.
- Maintain nonrevenue water loss less than 15% of purchase water.

Department Budget



Engineering Overview

Division	FTE	2021-2022
Engineering	4.5	\$577,784



4.5

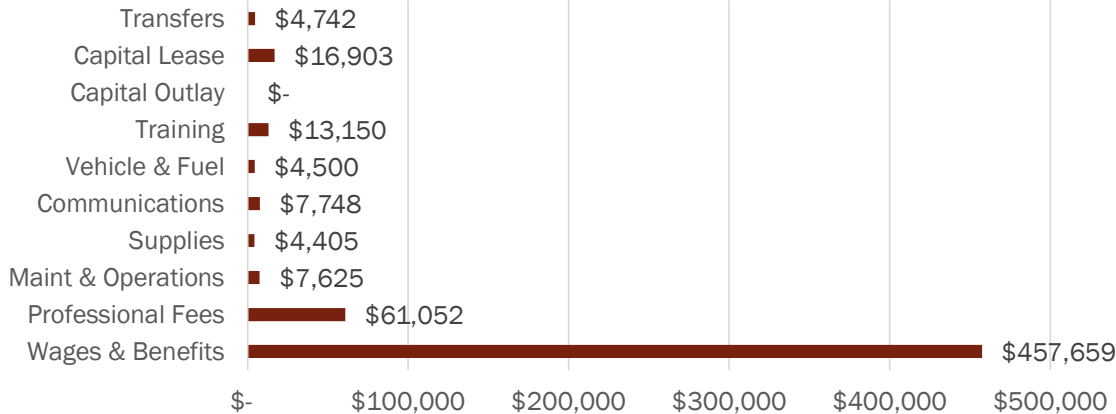
Employees



\$0k

New Program Funding

Department Budget



Goals For 2021-2022


- Begin Water, Wastewater, and Roadway Impact Fee Update.
- Begin Construction of ST18-01 Lake Sharon/Dobbs Road.
- Begin Construction of Lynchburg Creek Flood Mitigation Project (Red Oak & Amity Village).
- Inspect/Oversee Construction of Roundabout at Parkridge at Lake Sharon and Tower Ridge Extension from FM 2181.
- Begin Construction of ST19-01 Quail Run Realignment (Dobbs Rd. to I-35E).
- Begin Construction of Infrastructure Improvements for the Agora District.

New Program Funding:


- No new program funding.

Utility Customer Services Overview

Division	FTE	2021-22
Utility Billing	4	\$531,728
Garbage	-	1,006,817
	4	\$1,538,545



4
Employees

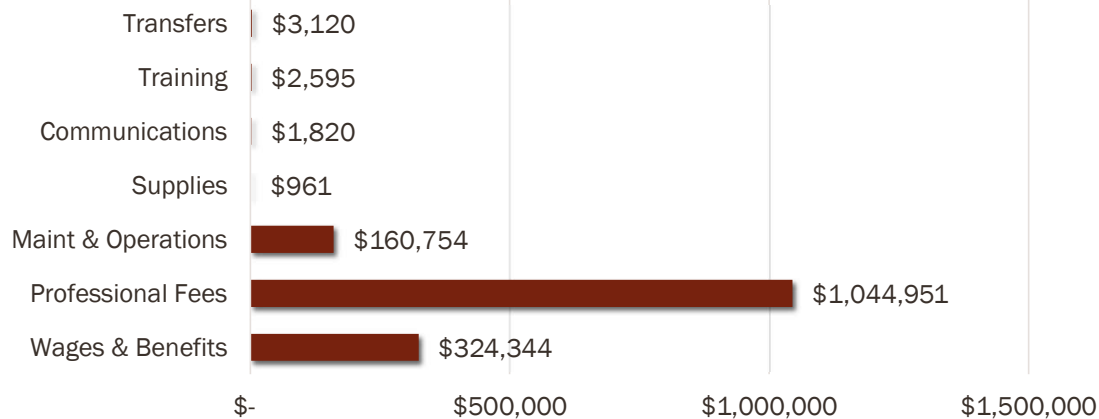


\$0k
New Program
Funding

Goals For 2021-2022

- Review and update Utility Billing policies and procedures.
- Update Utility Billing Code of Ordinances.
- Launch city-wide Budget Billing Program.
- Implement Utility Customer Usage Portal.

Department Budget

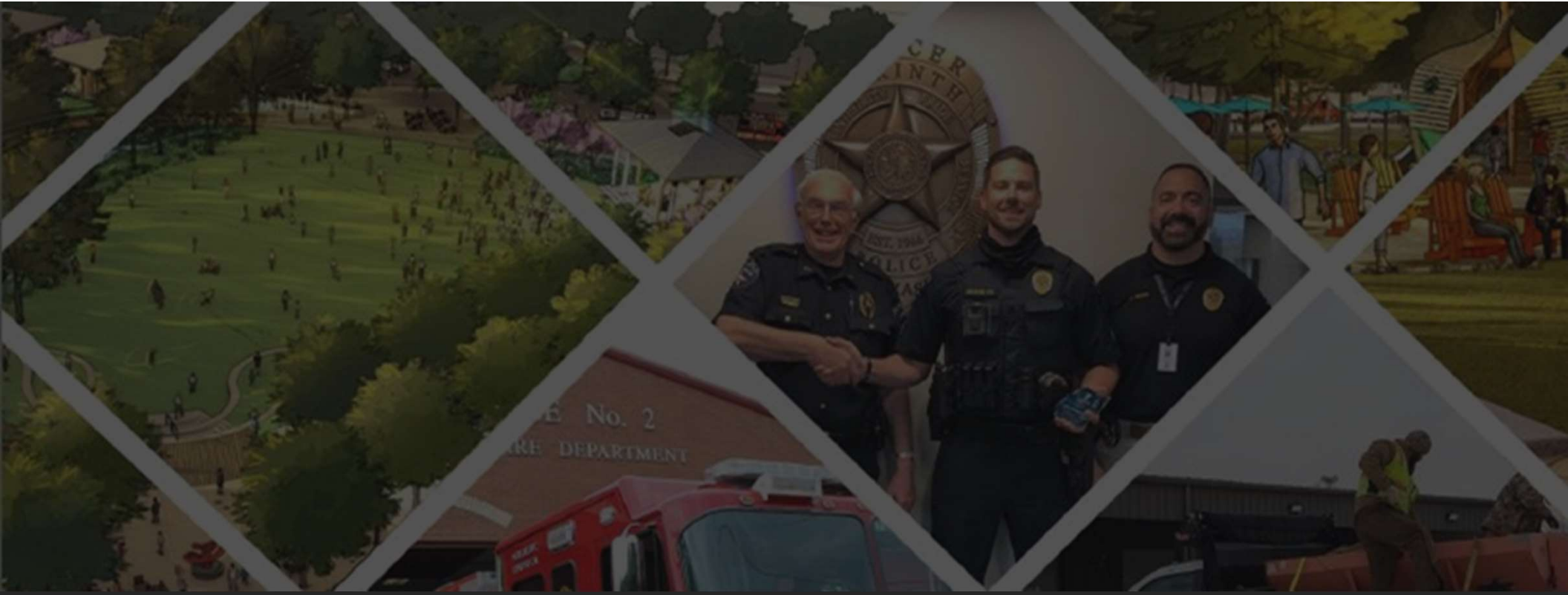


New Program Funding:

- No new program funding.

Utility Fund Financial Forecast

UTILITY FUND FINANCIAL FORECAST	2021 Estimate	2022 Proposed	2023 Projected	2024 Projected	2025 Projected	2026 Projected
Estimated Beginning Fund Balance Oct	3,447,655	3,608,647	3,687,890	3,898,814	3,989,430	4,039,933
Resources						
Water Charges - City	3,466,864	3,572,993	3,608,723	3,644,810	3,681,258	3,718,071
Water Charges - UTRWD	4,613,942	4,755,185	4,802,737	4,850,764	4,899,272	4,948,265
Disposal Charges - City	1,927,008	1,965,938	1,985,597	2,005,453	2,025,508	2,025,508
Disposal Charges - UTRWD	2,699,438	2,753,973	2,781,513	2,809,328	2,837,421	2,837,421
Garbage	971,628	1,000,777	1,030,800	1,061,724	1,093,576	1,126,383
Other Revenue	544,839	535,871	496,029	496,189	496,350	480,069
Transfers	294,772	197,792	197,794	197,796	197,798	197,800
Use of Fund Balance	-	-	-	-	-	114,026
Total Resources	14,518,491	14,782,529	14,903,193	15,066,064	15,231,183	15,447,543
Expenditures						
Operating Budget	14,357,499	14,626,286	14,668,269	14,947,248	15,152,480	15,419,343
New Program Funding		77,000	24,000	28,200	28,200	28,200
Future Funding Needs	-	-	-	-	-	-
Total Expenditures	14,357,499	14,703,286	14,692,269	14,975,448	15,180,680	15,447,543
Estimated Ending Fund Balance Sept	3,608,647	3,687,890	3,898,814	3,989,430	4,039,933	3,925,907
% of Total Expenditures	25.13%	25.08%	26.54%	26.64%	26.61%	25.41%
Policy Target	25.00%	25.00%	25.00%	25.00%	25.00%	25.00%



Stormwater Fund Overview

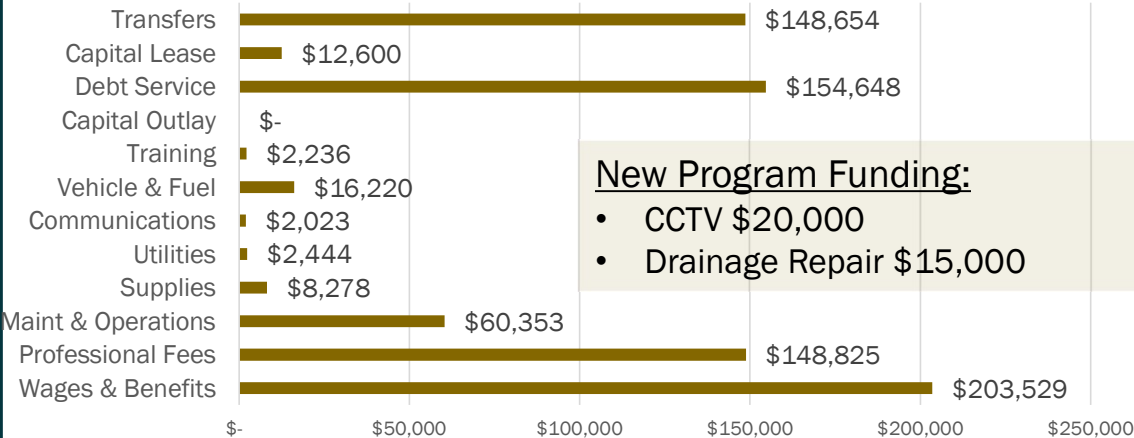
Stormwater Overview

Division	FTE	2021-22
Stormwater	3	\$759,810

3
Employees

\$35k
New Program Funding

Department Budget



Goals For 2021-2022

- Develop a dry weather screening program within Cityworks.
- Update the Stormwater Management Program (SWMP) online.
- Continue to meet or exceed TCEQ Storm Water Compliance Regulations and Best Management Practices (BMP's).
- Secure new mosquito abatement five-year contract.
- Continue public education campaign on preventing storm water pollution.
- Complete closed-circuit television of 8000 Linear Feet of drainage pipeline.
- Update Asset Inventory for assets greater than \$350.
- Use collector of Cityworks to track mowing, grading, and inspections.

Stormwater Fund Financial Forecast

STORM DRAINAGE FUND FINANCIAL FORECAST	2021 Estimate	2022 Proposed	2023 Projected	2024 Projected	2025 Projected	2026 Projected
Estimated Beginning Fund Balance Oct	278,243	284,359	284,996	291,834	257,220	204,608
Resources						
Storm Drainage Utility Fee	732,867	747,672	755,149	762,700	770,327	778,030
Pub. Impv. Inspections	5,000	10,200	10,302	10,405	10,509	10,614
Interest Income	400	2,575	2,601	2,627	2,654	2,681
Miscellaneous	-	-	-	-	-	-
Transfers	-	-	-	-	-	-
Use of Fund Balance	-	-	-	34,614	52,612	35,210
Total Resources	738,267	760,447	768,052	810,346	836,102	826,535
Expenditures						
Operating Budget	732,151	724,810	726,214	775,346	746,102	791,535
New Program Funding		35,000	35,000	35,000	35,000	35,000
Future Funding Needs						
Drainage HEO	-	-	-	-	55,000	-
Total Expenditures	732,151	759,810	761,214	810,346	836,102	826,535
Estimated Ending Fund Balance Sept	284,359	284,996	291,834	257,220	204,608	169,398
% of Total Expenditures	38.84%	37.51%	38.34%	31.74%	24.47%	20.49%
Policy Target	25.00%	25.00%	25.00%	25.00%	25.00%	25.00%

Questions?



CITY OF CORINTH
Staff Report



Meeting Date:	8/19/2021	Title:	3A Wastewater Basin I&I Study
Strategic Goals:	<input type="checkbox"/> Citizen Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development		
Governance Focus:	<i>Sub-Ends:</i>		
	<input type="checkbox"/> Growing Community <input type="checkbox"/> Conveniently located <input checked="" type="checkbox"/> Delivers Outstanding Service <input type="checkbox"/> High-Quality Retail <input type="checkbox"/> High-Quality Restaurants <input type="checkbox"/> High-Quality Entertainment		
	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Customer <input type="checkbox"/> Stakeholder		
	<i>Decision:</i> <input checked="" type="checkbox"/> Governance Policy <input type="checkbox"/> Ministerial Function		
Owner Support:	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission Click to enter recommendation/decision of supporting group.		

Item/Caption

Receive a presentation on results from the Inflow & Infiltration study performed this year on the 3A wastewater basin.

Item Summary/Background/Prior Action

During the recent rain events, the city received higher than normal inflows at the 3A Lift Station. Infiltration is an on-going challenge for any wastewater system and this study identified issues that will need to be corrected in the future.

Financial Impact

Project was currently funded via FY2021 CIP.

Staff Recommendation/Motion

No action required

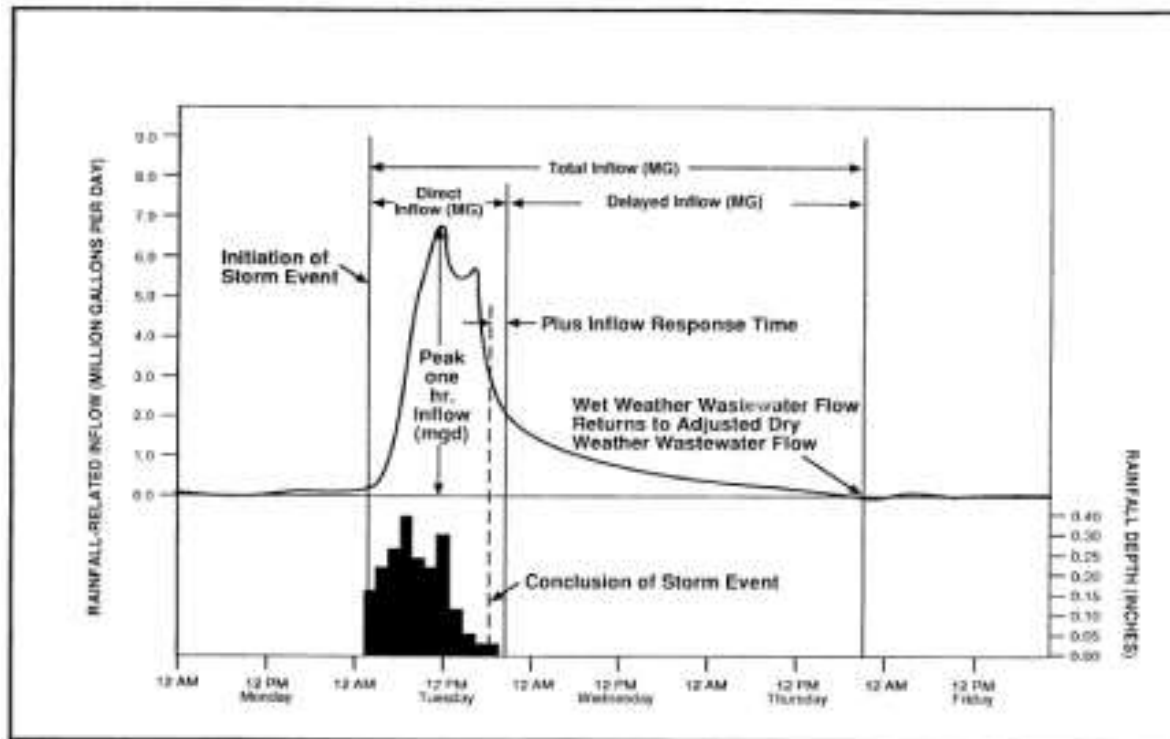


3A Wastewater Basin I&I Study



What is I&I

- Inflow & Infiltration
- Inflow is the added water that is seen in the collection system while the rain event is happening
- Infiltration is the added water that is seen for hours after a rain event



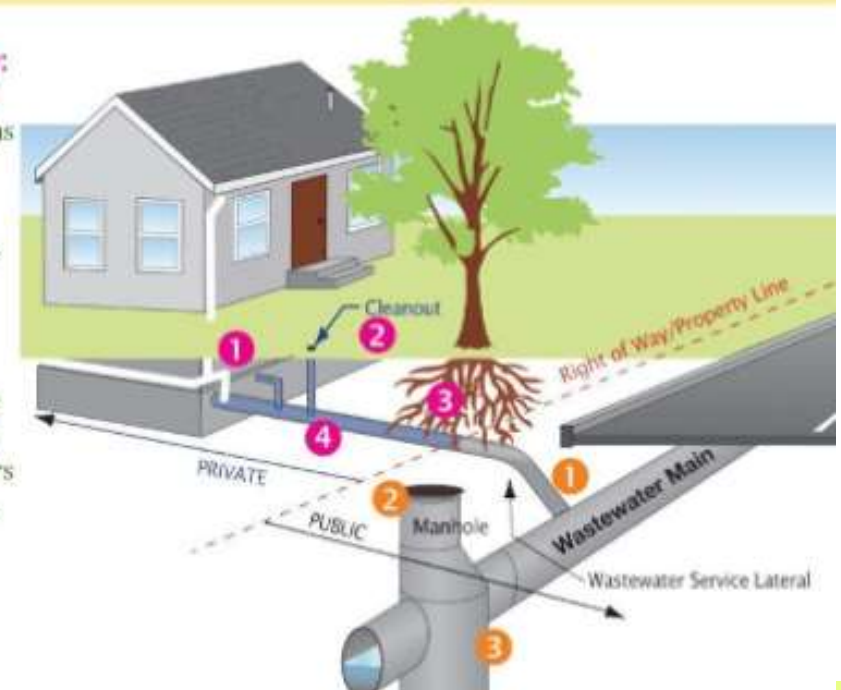
Common areas where inflow and infiltration occur

On Private Property:

1. Improper foundation or roof drain connections
2. Uncapped cleanout
3. Root intrusion
4. Breaks or open joints in service lateral

In Public System:

1. Breaks or open joints in lateral or main pipes
2. Faulty manhole covers
3. Open joints or cracks in service chamber



Cost of I&I

- Approx. \$1.25 per 1000 gallons
- UTRWD O&M cost and Capital Charges Increase because of needed expansions for treatment of I&I
- EPA average Dry weather Gallons Per Person 100 gpp
- EPA average Wet weather Gallons Per Person 250 gpp
- The 3A Basin had 275/391 gpp

The entire City has an average of 604,712 gallons of estimated I&I During a rain event

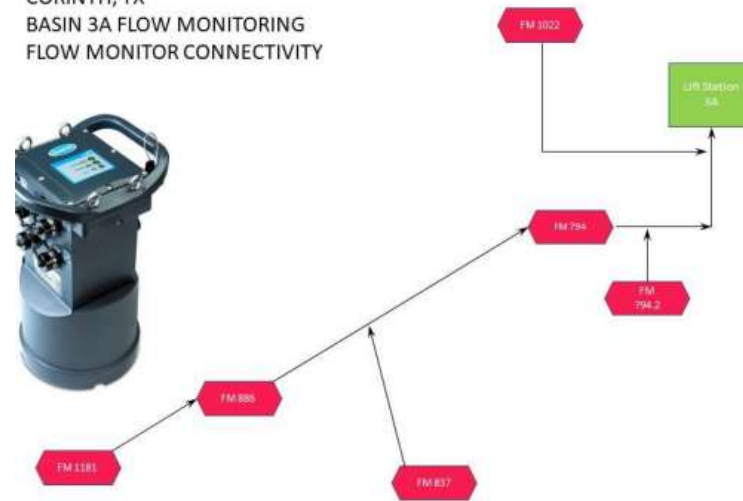
*$604712/1000) * 1.25 = \$756$ per wet weather day*

80 (average # days of rain) \times $\$756 = \$60,471$ estimated annual cost for sending rainwater (inflow) to UTRWD; There is an additional $\$9k$ a month of dry weather infiltration

3A Basin I&I Study

- The team noticed lift station pump times were significantly higher during rain events (Indication of Inflow)
- Collect flows from select areas within the 3A Basin
- Find the major source of I&I within the 3ABasin.
- Project cost \$35k

CORINTH, TX
BASIN 3A FLOW MONITORING
FLOW MONITOR CONNECTIVITY



Section C, Item 2.



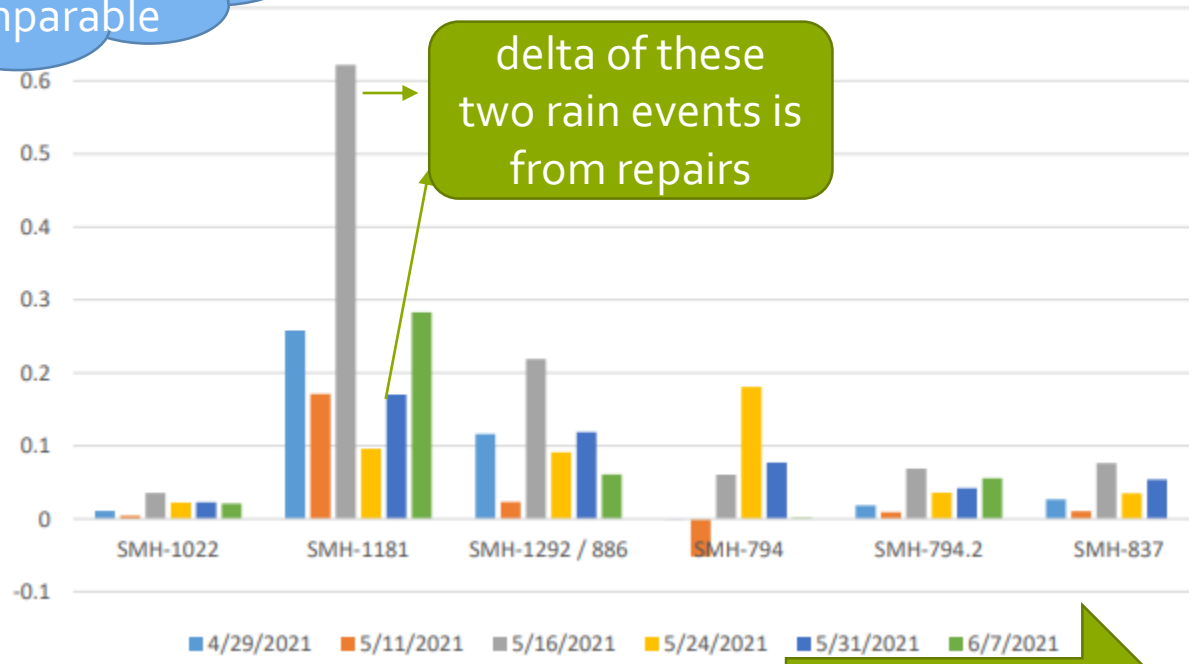
Rain events 5/16 and 5/31 in inches were comparable

Results

- Dry weather infiltration estimates are approx. 166.2 gpm entering the 3A lift station. (\$300/day)
- Wet weather 3A Basin infiltration went as high as 1,100,000 to 420,000 gallons per event. (up to \$1,375 per event)
- The team found an abandoned sewer line that the cap failed.

Repair saved up to \$552.5 for the 5/31 event

Wet weather net rain I/I totals in MG



delta of these two rain events is from repairs

Rain events after repair

Inflow & Infiltration Identification

Step 1: Figure out if you have an inflow and infiltration issue



LIFT STATION

Runs for longer than normal or has frequent starts or stops after rain events.



PIPES BACKUP

manholes spill wastewater onto roads or green space.



FLOW SPIKES

Wastewater treatment plants see significant spikes in flow.

Step 2: Methods used to identify I&I Issues:



FLOW MONITORING



MANHOLE INSPECTIONS



SMOKE TESTING

\$50/1500 feet



DYE TESTING



CCTV OR ELECTROSCAN

\$250/1000 feet

Step 3: Potential next steps:



Identify Problem Areas



Isolate High I&I

and



Replace Covers



Grout Joints



Line Manhole



Fix Cleanout Caps



Disconnect Roof Drains



Eliminate Cross Connections



Fix Cleanout Caps



Disconnect Roof Drains



Eliminate Cross Connections



CIPP



Dig & Replace



Chemical Grouting

MOVING FORWARD

- The City will purchase smart manhole meters to conduct I&I study internally
 - \$5000 per meter
- I&I Meters will lead to smoke testing
- Smoke testing will lead to camera inspections.
- Develop CIP for next 10 years
- Track results by developing an I&I Dashboard & Tracking

CITY OF CORINTH
Staff Report

Meeting Date:	8/9/2021	Title: Minutes Approval of Meeting Minutes
Strategic Goals:	<input type="checkbox"/> Citizen Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development	
Governance Focus:	<i>Sub-Ends:</i>	
	<input type="checkbox"/> Growing Community <input type="checkbox"/> Conveniently located <input checked="" type="checkbox"/> Delivers Outstanding Service <input type="checkbox"/> High-Quality Retail <input type="checkbox"/> High-Quality Restaurants <input type="checkbox"/> High-Quality Entertainment	
	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Customer <input type="checkbox"/> Stakeholder	
	<i>Decision:</i> <input checked="" type="checkbox"/> Governance Policy <input type="checkbox"/> Ministerial Function	
Owner Support:	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission <u>N/A</u>	

Item/Caption

Consider and act on minutes from July 15, 2021 and August 5, 2021.

Item Summary/Background/Prior Action

Attached are the minutes, in draft form, and are not considered official until formally approved by the City Council.

Staff Recommendation/Motion

Staff recommends approval of the minutes.



**CITY COUNCIL WORKSHOP & REGULAR SESSION,
CRIME CONTROL & PREVENTION DISTRICT, FIRE
CONTROL, PREVENTION AND EMERGENCY MEDICAL
SERVICES DISTRICT - MINUTES**

Thursday, July 15, 2021 at 5:30 PM

City Hall | 3300 Corinth Parkway

**STATE OF TEXAS
COUNTY OF DENTON
CITY OF CORINTH**

On this, the 15th day of July 2021, the City Council of the City of Corinth, Texas, met in Workshop & Regular Session at the Corinth City Hall at 5:30 P.M., located at 3300 Corinth Parkway, Corinth, Texas. The meeting date, time, place, and purpose as required by Title 5, Subtitle A, Chapter 551, Subchapter C, Section 551.041, Government Code, with the following members to wit:

Council Members Present:

Bill Heidemann, Mayor
Sam Burke, Mayor Pro Tem
Scott Garber, Council Member
Steve Holzwarth, Council Member
Tina Henderson, Council Member
Kelly Pickens, Council Member

Staff Members Present:

Bob Hart, City Manager
Lana Wylie, City Secretary
Patricia Adams, Messer – Fort – McDonald
Jerry Garner, Police Chief
Michael Ross, Fire Chief
Chad Thiessen, Assistant Fire Chief
Lee Ann Bunselmeyer, Finance, Communications & Strategic Services Director
Helen-Eve Beadle, Planning & Development Director
Glenn Barker, Public Works Director
Elise Back, Economic Development Director
George Marshall, City Engineer
Michelle Mixell, Planning Manager
Miguel Inclan, Planner
Shea Rodgers, Chief Technology Officer
Brenton Copeland, Technology Services Manager
James Trussell, Multi-Media Video Production Intern
Katherine Lindsey, Assistant to the City Manager/Deputy City Secretary
Lance Stacy, City Marshal
Toby Sims, Police Officer

CALL TO ORDER

Mayor Heidemann called the Workshop Session to order at 5:30 P.M.

WORKSHOP AGENDA

1. Receive a report and hold discussions on the Public Works Department.

The item was presented and discussed.

2. Receive a presentation on the activity for SPAN for 2020.

The item was presented and discussed.

3. Discuss Regular Meeting Items on Regular Session Agenda, including the consideration of closed session items as set forth in the Closed Session agenda items below.

There was no discussion on regular agenda items.

Mayor Heidemann recessed the Workshop Session at 6:02 P.M. and immediately convened into Closed Session.

CLOSED SESSION

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- a. Agenda Item S7.

Mayor Heidemann recessed the Closed Session at 7:08 P.M. and adjourned the Workshop Session at 7:09 P.M.

RECONVENE IN OPEN SESSION TO TAKE ACTION, IF NECESSARY, ON CLOSED SESSION ITEMS

NOTICE IS HEREBY GIVEN of a meeting of the City of Corinth Crime Control and Prevention District.

CALL TO ORDER

Mayor Heidemann called the Crime Control District meeting to order at 7:11 P.M.

BUSINESS AGENDA

1. Consider and act on minutes from January 28, 2021.
Motion made by Garber to approve as presented. Seconded by Burke.
Voting Yea: Burke, Garber, Heidemann, Holzwarth, Henderson, Pickens
2. Hold a public hearing on the fiscal year 2021-2022 Proposed Budget for the City of Corinth Crime Control and Prevention District.

The item was presented and discussion followed.

Mayor Heidemann opened the Public Hearing at 7:18 P.M. and closed the hearing at 7:18 P.M. No comments were made.

3. Consider and act on the fiscal year 2021-2022 budget for the City of Corinth Crime Control and Prevention District.

Motion made by Garber to approve the Crime Control District 2021-2022 budget as presented.

Seconded by Henderson.

Voting Yea: Burke, Garber, Heidemann, Holzwarth, Henderson, Pickens

4. Receive a report and hold discussions on the Police Department operational activity.

The item was presented and discussed.

Resident Kristine Nader of 2209 Valderamma Lane asked Chief Garner to confirm if Corinth was the 15th safest city in Texas.

Chief Garner confirmed, based on studies, one study confirmed this statistic.

ADJOURN

Mayor Heidemann adjourned the Crime Control District meeting at 7:33 P.M.

NOTICE IS HEREBY GIVEN of a meeting of the Fire Control, Prevention, and Emergency Management District.

CALL TO ORDER

Mayor Heidemann called the Fire Control, Prevention, and Emergency Services District meeting to order at 7:33 P.M.

BUSINESS AGENDA

1. Consider and act on minutes from January 28, 2021.

Motion made by Garber to approve as presented. Seconded by Burke.

Voting Yea: Burke, Garber, Heidemann, Holzwarth, Henderson, Pickens

2. Hold a public hearing on an order of the Board of the Fire Control, Prevention, and EMS District establishing rules for the adoption of the Fire Control, Prevention, and EMS District Budget and establishing the fiscal year.

The item was presented and discussion followed.

Mayor Heidemann opened the Public Hearing at 7:36 P.M., and closed the hearing at 7:38 P.M.

One resident inquired with a question from the Crime Control and Prevention District, as documented above.

3. Consider and act on an Order of the Board of the Corinth Fire Control, Prevention, and EMS District establishing rules for the adoption of the Fire Control, Prevention, and EMS District Budget and establishing the fiscal year.

The item was presented and discussion followed.

Motion made by Burke to approve Order 21-01 as presented. Seconded by Pickens.

Voting Yea: Burke, Garber, Heidemann, Holzwarth, Henderson, Pickens

4. Hold a public hearing on the fiscal year 2021-2022 Proposed Budget for the Fire Control, Prevention & EMS District.

The item was presented and discussion followed.

Mayor Heidemann opened the Public Hearing at 7:43 P.M. and closed the hearing at 7:47 P.M.

Denise Wetzel-Robino of 1006 Meadows Dr. inquired about the capital outlay transfers. Ms. Bunselmeyer responded.

5. Consider and act on the fiscal year 2021-2022 budget for the Fire Control, Prevention, and Emergency Management Services District.

Motion made by Garber to approve the Fire Control, Prevention, and Emergency Services District 2021-2022 budget. Seconded by Henderson.

Voting Yea: Burke, Garber, Heidemann, Holzwarth, Henderson, Pickens

6. Receive a report and hold discussions on the impact, efficiency, and effectiveness of the fire control, prevention, and emergency medical services programs.

The item was presented and discussed.

ADJOURN

Mayor Heidemann adjourned the Crime Control District meeting at 8:00 P.M.

NOTICE IS HEREBY GIVEN of a Regular Session meeting of the City Council.

CALL TO ORDER, INVOCATION, PLEDGE OF ALLEGIANCE & TEXAS PLEDGE

Mayor Heidemann called the Regular Session meeting to order at 8:00 P.M.

CITIZENS COMMENTS

Please limit your comments to three minutes. Comments about any of the Council agenda items are appreciated by the Council and may be taken into consideration at this time or during that agenda item. Council is prohibited from acting on or discussing items brought before them at this time.

There were no comments made.

CONSENT AGENDA

All matters listed under the consent agenda are considered to be routine and will be enacted in one motion. Should the Mayor or a Councilmember desire discussion of any item, that item will be removed from the Consent Agenda and will be considered separately.

1. Consider and act on minutes from July 1, 2021.
2. Consider and act on the SPAN Transportation contract for transportation services for senior citizen and Denton County Veterans for fiscal year 2021-2022, authorizing the City Manager to execute the necessary documents.
3. Consider and act on the Fiscal Year 2022 Annual Budget for the City of Corinth Crime Control and Prevention District.

- 4. Consider and act on the fiscal year 2021-2022 budget for the Fire Control, Prevention, and Emergency Management Services District.
- 5. Consider approval of an Interlocal Agreement with Denton County for the collection of property taxes for the City of Corinth.

Motion made by Garber approve as presented. Seconded by Burke.
 Voting Yea: Burke, Garber, Holzwarth, Henderson, Pickens

PUBLIC HEARING

- 6. Consider and take action to rename Dobbs Road between Quail Run Drive and I-35E Frontage Road to Lake Sharon Drive, to be known as the 3600 to 4000 blocks of Lake Sharon Drive.

The item was presented and discussed.

Mayor Heidemann opened the Public Hearing at 8:07 P.M. and closed at 8:07 P.M.

There were no comments made.

Motion made by Henderson to approve the name change as presented. Seconded by Pickens.
 Voting Yea: Burke, Garber, Holzwarth, Henderson, Pickens

- 7. Conduct a Public Hearing to consider testimony and take action on a rezoning request to amend the zoning classification from PD-6 Planned Development District, Ordinance No. 87-12-17-24, for Two Family Garden Homes, Townhomes, and Neighborhood Shopping and PD 24 Planned Development District, Ordinance No. 99-12-16-45 for Two Family Garden Homes to PD Planned Development District with a base zoning district of MF-1 Multi-Family Residential, on approximately 24.595 acres of land within the A.H. Serren Survey, Abstract No. 1198 and the B. Merchant Survey, Abstract No. 800, City of Corinth, Denton County, Texas. The property is generally located at the northwest corner of Lake Sharon Drive and Oakmont Drive and east of FM 2499. (Avilla Fairways PD ZAPD20-0004)

- 1. Staff Presentation
- 2. Applicant Presentation
- 3. Public Hearing
- 4. Take Action

The item was presented and discussed. The developer stated they have down zoned this property with the proposed development.

Mayor Heidemann opened the Public Hearing at 9:06 P.M. and closed the hearing at 11:03 P.M.

The following residents spoke in opposition of the item:

- Alan Nelson - 1910 Vintage Drive
- Dale Walker - 1105 Ballycastle Ln
- Tom Tevis - 2047 Fair Oaks Circle
- Teresa Goughan - 1400 Ballycastle Ln
- Alfred Goughan - 1400 Ballycastle Ln
- Ron Gajewski - 1315 Ardglass Trail
- Donita Billings - 1108 Ballycastle Ln
- Lindsey Rayl - 1412 Park Palisades
- Frankie Sanford - 1105 Ardglass Trail
- Tiffany Sanford - 1105 Ardglass Trail

Shawn-Marie Hale - 1303 Ballycastle Ln
 Greg Minear - 1226 Ballycastle Ln
 Jose Alma Guzman - 1712 Morning Glory Dr
 KatieBeth Bruxvoort - 1405 Ballycastle
 Andrew Bruxvoort - 1405 Ballycastle Ln
 Thomas & Joni Dudley - 1002 Ballycastle Ln
 Gabriel Silva - 1222 Ballycastle Ln
 Joseph Novak - 1302 Ballycastle Ln
 Michelle del Carpio - 2506 Blue Holly Dr
 Mark Vernon - 1624 Redwood Dr
 Kathy B. Sloan - 1626 Oak Ridge Dr
 Amy Conine - 1705 Goshawk Ln
 Kristine Nader - 2209 Valderamma Ln
 Mark Jaskulske - 1731 Vintage Dr
 Gregory Gatzke - 1622 Birch Ln
 Totiro Clark - 1408 Ballycastle Ln
 Kathy Folger - 1637 Ash Ln
 Wendy Dixon - 1925 Wickersham Ln
 Aaron Petty - 1402 Ballycastle Ln
 Sue Wood - 1006 Ballycastle Ln
 Veronica Minear - 1226 Ballycastle Ln
 Jaz Uk - 2208 Valderamma Ln
 John Malloy - 1632 Oak Ridge
 Christy Sessions – 2905 Sioux Ct
 Michael Hunt – 1309 Ballycastle Ln

The following residents did not wish to speak but opposed the item:

Doyle Hunt - 1104 Ardglass Trail
 Kenneth Bryan - 1648 Ash Ln
 Lori Spellman - 1525 Ash Ln
 Robert Novinsky - 2212 Redrock Dr
 Vicki Davis - 1704 Nightingale Ln
 Tricia Coon - 1700 Morning Glory Dr
 Rita Falk - 1629 Nightingale Ln
 R.B - 1626 Nightingale Ln
 Don Finn - 1104 Ardglass Trail
 Grady Booken - 1732 Timber Ridge Circle
 George Van Horn - 1305 Woodlake Dr
 Jackie Russell - 1707 Tealwood Ln
 Rafat Haddad - 1820 Andover Ln
 Steve and Cindy Richardson - 1102 Ballycastle Ln
 Jeff Wickstron - 2200 Valderamma Ln
 Kim Hale - 1303 Ballycastle Ln
 Jacki Tevis - 2047 Fair Oaks Circle
 D Russell Sloan - 1626 Oak Ridge Dr
 David Hoffman - 1805 Tealwood Ln

The developer addressed the City Council related to comments from residents.

Motion made by Garber to deny the zoning request, Seconded by Holzwarth.
 Voting Yea: Burke, Garber, Holzwarth, Henderson, Pickens

FAILED

COUNCIL COMMENTS & FUTURE AGENDA ITEMS

The purpose of this section is to allow each Council Member the opportunity to provide general updates and/or comments to fellow Council Members, the public, and/or staff on any issues or future events. Also, in accordance with Section 30.085 of the Code of Ordinances, at this time, any Council Member may direct that an item be added as a business item to any future agenda.

Burke urged residents to engage and stay engaged with the city.

Garber shared the process Planning and Zoning, Planning and Development, and developers are required to follow

Holzwarth shared that he is honored to live in Corinth.

Henderson thanked residents for attending and staff for their efforts.

Pickens thanked staff for their efforts and appreciated residents who contacted and trusted her regarding the development.

Heidemann thanked the Public Works Department, Police, Fire, and staff for their work.

ADJOURN

Mayor Heidemann adjourned the Regular Session at 11:32 P.M.

AYES: All

Meeting adjourned.

Approved by Council on the _ day of _ 2021.

Lana Wylie, City Secretary
City of Corinth, Texas



CITY COUNCIL REGULAR SESSION MEETING - MINUTES

Thursday, August 05, 2021 at 5:30 PM

City Hall | 3300 Corinth Parkway

STATE OF TEXAS COUNTY OF DENTON CITY OF CORINTH

On this, the 5th day of August 2021, the City Council of the City of Corinth, Texas, met in Workshop & Regular Session at the Corinth City Hall at 5:30 P.M., located at 3300 Corinth Parkway, Corinth, Texas. The meeting date, time, place, and purpose as required by Title 5, Subtitle A, Chapter 551, Subchapter C, Section 551.041, Government Code, with the following members to wit:

Council Members Present:

Bill Heidemann, Mayor
Sam Burke, Mayor Pro Tem
Scott Garber, Council Member
Steve Holzwarth, Council Member
Tina Henderson, Council Member
Kelly Pickens, Council Member

Staff Members Present:

Bob Hart, City Manager
Lana Wylie, City Secretary
Jerry Drake, Messer – Fort – McDonald
Jerry Garner, Police Chief
Michael Ross, Fire Chief
Chad Thiessen, Assistant Fire Chief
Lee Ann Bunselmeyer, Finance, Communications & Strategic Services Director
Helen-Eve Beadle, Planning & Development Director
Glenn Barker, Public Works Director
Elise Back, Economic Development Director
George Marshall, City Engineer
Michelle Mixell, Planning Manager
Miguel Inclan, Planner
Shea Rodgers, Chief Technology Officer
Brenton Copeland, Technology Services Manager
James Trussell, Multi-Media Video Production Intern
Katherine Lindsey, Assistant to the City Manager/Deputy City Secretary
Lance Stacy, City Marshal

CALL TO ORDER

Mayor Heidemann called the meeting to order at 5:30 P.M.

WORKSHOP AGENDA

1. Re-interview candidate for the first alternate position on the Planning and Zoning Commission. The City Council interviewed Rebecca Rhule for the Planning and Zoning Commission.

2. Receive a report, hold a discussion, and provide staff direction on the Fiscal Year 2022 Annual Program of Services and Capital Improvement Program.

The item was presented and discussed.

3. Discuss Regular Meeting Items on Regular Session Agenda, including the consideration of closed session items as set forth in the Closed Session agenda items below.
There was no discussion on the Regular Meeting agenda items.

ADJOURN WORKSHOP

Mayor Heidemann adjourned the Workshop Session at 6:25 P.M. and convened into Closed Session.

CALL TO ORDER, INVOCATION, PLEDGE OF ALLEGIANCE & TEXAS PLEDGE

Mayor Heidemann called the Regular Session Meeting to order at 6:42 P.M.

PROCLAMATIONS AND PRESENTATIONS

1. Keep Corinth Beautiful recognized as a Gold Star Affiliate of Keep Texas Beautiful.
Mayor Heidemann presented the Gold Star Affiliate Award to the Keep Corinth Beautiful Board.

CITIZENS COMMENTS

Please limit your comments to three minutes. Comments about any of the Council agenda items are appreciated by the Council and may be taken into consideration at this time or during that agenda item. Council is prohibited from acting on or discussing items brought before them at this time.

There were no Citizen Comments made.

CONSENT AGENDA

All matters listed under the consent agenda are considered to be routine and will be enacted in one motion. Should the Mayor or a Councilmember desire discussion of any item, that item will be removed from the Consent Agenda and will be considered separately.

2. Consider authorizing the City Manager to execute an Interlocal Cooperation Agreement for Dobbs Road Reconstruction Project for 30% Design by and among the City of Lake Dallas, the City of Corinth, and the Town of Shady Shores; and providing an effective date.
3. Consider and act on a Resolution of the City Council of the City of Corinth, Texas, approving a negotiated settlement between the Atmos Cities Steering Committee (“ACSC”) and Atmos Energy Corp., Mid-Tex Division regarding the company’s 2021 rate review mechanism filing; declaring existing rates to be unreasonable; adopting tariffs that reflect rate adjustments consistent with the negotiated settlement; finding the rates to be set by the attached settlement tariffs to be just and reasonable and in the public interest; approving an attached exhibit establishing a benchmark for pensions and retiree medical benefits; approving an attached exhibit regarding amortization of regulatory liability; requiring the company to reimburse ACSC’s reasonable ratemaking expenses; determining that this resolution was passed in accordance with the requirements of the Texas open meetings act; adopting a savings clause; declaring an effective date; and requiring delivery of this resolution to the company and the ACSC’s legal counsel.

Motion made by Garber to approve the Consent Agenda as presented. Seconded by Pickens.
Voting Yea: Burke, Garber, Henderson, Holzwarth, Pickens

BUSINESS AGENDA

- 4. Consider and act upon an Alternative Compliance Application for Tree Preservation for a Single-Family Residential Lot on ±.56 acres, located at 2205 Pinnell Court in The Bluffs at Pinnell Pointe Subdivision. (Pinnell Court AC21-0012)

Motion made by Garber to approve the Alternative Compliance Application as presented and authorizing the removal of protected trees and granting the recommended exemptions as outlined in this report, the accompanying Tree Preservation Plan, and Alternative Compliance Worksheet. Seconded by Pickens.

Voting Yea: Burke, Garber, Holzwarth, Henderson, Pickens

- 5. Consider and act upon an Alternative Compliance-Tree Preservation Application for the removal of Protected Trees (6+ caliper inches), including the replanting and payment-of-fee-in-lieu-of replanting of mitigation trees located on ±82.92 acres within the Ashford Park residential subdivision consisting of 455 residential lots and numerous common open space lots generally located north of Lake Sharon Drive at the terminus of Parkridge Drive, and south of Valley View Drive, west of North Corinth Street, east of Evans Road, and south of Church Drive. (AC21-0008 Ashford Park Alternative Compliance – Tree Preservation)

Motion made by Burke to approve the Alternative Compliance application for tree removal/preservation for Ashford Park, as presented and providing for a fee-in-lieu of replanting of \$135,000.00 and for discretionary authority to the department director to assess fees for additional mitigation and unforeseen removal. Seconded by Pickens.

Voting Yea: Garber, Holzwarth, Henderson

- 6. Consider and act on and Interlocal Agreement with the City of Lake Dallas for police services; authorizing the City Manager to execute the Agreement; and providing an effective date.

Motion made by Garber to approve the Agreement with Lake Dallas for police services and authorizing the City Manager to execute the agreement. Seconded by Burke.

Voting Yea: Burke, Garber, Holzwarth, Henderson, Pickens

- 7. Consider and act on an ordinance of the City Council of the City of Corinth, Texas, amending chapter 33, “boards, commissions and departments”, of title iii, “administration”, of the code of ordinances of the City of Corinth by amending section 33.03, “term of office”, to provide for amendments related to the membership on the Keep Corinth Beautiful Commission; providing for the incorporation of premises; providing a cumulative repealer clause; providing severability; and providing an effective date.

Motion made by Garber to approve Ordinance No. 21-08-05-21 amending chapter 33, boards and commissions, section 33.03 term of office, increasing the number of members from seven to nine. Seconded by Pickens.

Voting Yea: Burke, Garber, Holzwarth, Henderson, Pickens

- 8. Consider and act on nominations, appointments, resignations, and removal of board members for the Planning & Zoning Commission.

Motion made by Garber to appoint Billy Rousell III as Place 3 Commissioner and Rebecca Rhule to Second Alternate for the Planning and Zoning Commission. Seconded by Burke.

Voting Yea: Burke, Garber, Holzwarth, Henderson, Pickens

COUNCIL COMMENTS & FUTURE AGENDA ITEMS

The purpose of this section is to allow each Council Member the opportunity to provide general updates and/or comments to fellow Council Members, the public, and/or staff on any issues or future events. Also, in accordance with Section 30.085 of the Code of Ordinances, at this time, any Council Member may direct that an item be added as a business item to any future agenda.

Council Member Pickens expressed her appreciation for the Planning and Development’s efforts with tree preservation.

City Manager Hart reminded the City Council of the Board Appreciation Dinner on August 26th, the TML conference in Houston Oct. 6-8, LC Committee appointments, and Chairman Scallon’s appreciation to the City Council for supporting Keep Corinth Beautiful.

CLOSED SESSION

The City Council will convene in such executive or closed session to consider any matters regarding any of the above agenda items as well as the following matters pursuant to Chapter 551 of the Texas Government Code. After discussion of any matters in closed session, any final action or vote taken will be public by the City Council. City Council shall have the right at any time to seek legal advice in Closed Session from its Attorney on any agenda item, whether posted for Closed Session or not.

Section 551.072. To deliberate the purchase, exchange, lease, or value of real property if deliberations in an open meeting would have a detrimental effect on the position of the governmental body in negotiations with a third person.

- a. Approximately 1.747 acres, more or less, and legally described as Lots 1, 2, & 3, Block B of F & H Addition in the J Bates Survey, Abstract 204 and J.P. Walton Survey, Abstract 1389, City of Corinth, Denton County Texas. (JH)
- b. Approximately 2.036 acres, more or less, and legally described as Lot 1, Block A of F & H Addition in the J Bates Survey, Abstract 204 and J.P. Walton Survey, Abstract 1389, City of Corinth, Denton County Texas.

RECONVENE IN OPEN SESSION TO TAKE ACTION, IF NECESSARY, ON CLOSED SESSION ITEMS

Mayor Heidemann recessed the Closed Session at 6:35 P.M.

ADJOURN

Mayor Heidemann adjourned the meeting at 7:28 PM.

AYES: All

Meeting adjourned.

Approved by Council on the _____ day of _____ 2021.

Lana Wylie, City Secretary
City of Corinth, Texas

CITY OF CORINTH

Staff Report



Meeting Date:	8/19/2021	Title:	Contract Rehab Two Ground Storage Tanks (Woods)
Strategic Goals:	<input type="checkbox"/> Citizen Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development		
Governance Focus:	<i>Sub-Ends:</i>		
	<input type="checkbox"/> Growing Community <input type="checkbox"/> Conveniently located <input checked="" type="checkbox"/> Delivers Outstanding Service <input type="checkbox"/> High-Quality Retail <input type="checkbox"/> High-Quality Restaurants <input type="checkbox"/> High-Quality Entertainment		
	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Customer <input type="checkbox"/> Stakeholder		
	<i>Decision:</i> <input type="checkbox"/> Governance Policy <input checked="" type="checkbox"/> Ministerial Function		
Owner Support:	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission Click to enter recommendation/decision of supporting group.		

Item/Caption

Consider and act on a Professional Services Agreement with Birkhoff Hendricks & Carter, L.L.P., for engineering services required to rehabilitate the tanks and valves at the Ground Storage Pump Station (Woods) and authorizing the City Manager to execute the necessary documents. Services are not to exceed \$76,000.

Item Summary/Background/Prior Action

The two tanks at the Ground Storage Pump Station (Woods) require new coating and structural repairs to prolong their useful life. This maintenance will extend useful life to 2042.

Financial Impact

Project is currently funded via FY2021 CIP.

Staff Recommendation/Motion

Staff is recommending approval of the professional services agreement for engineering services to provide specifications, bid documents, quality control during construction, and record drawings.

PROFESSIONAL ENGINEERING SERVICES AGREEMENT

THIS AGREEMENT is made and entered into by and between the **City of Corinth, Texas**, hereinafter referred to as "City", and **Birkhoff, Hendricks & Carter, L.L.P.**, hereinafter referred to as "Engineer", to be effective from and after the date as provided herein.

WITNESSETH:

WHEREAS, the City desires to engage the services of the Engineer to complete engineering design and provide surveying services for the ***Ground Storage Reservoir Nos. 1 and 2 Rehabilitation***, hereinafter referred to as the "Project"; and

WHEREAS, the Engineer desires to render such engineering design services for the City under the terms and conditions provided herein.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That for and in consideration of the covenants contained herein, and for the mutual benefits to be obtained hereby, the parties hereto agree as follows:

I. Employment of the Engineer

The City hereby agrees to retain the Engineer to perform professional engineering services in connection with the Project; Engineer agrees to perform such services in accordance with the terms and condition of this Agreement.

II. Scope of Services

The parties agree that Engineer shall perform such services as are set forth and described in Exhibit "A", which is attached hereto and thereby made a part of this Agreement. The parties understand and agree that deviations or modifications, in the form of written changes may be authorized from time to time by the City.

III. Schedule of Work

The Engineer agrees to commence services immediately upon execution of this Agreement, and to proceed diligently with said service to completion as described in the Completion Schedule attached hereto as Exhibit "B" and thereby made a part of this Agreement.

IV. Compensation and Method of Payment

The parties agree that Engineer shall be compensated for all services provided pursuant to this Agreement in the amount and manner described and set forth in the Payment Schedule attached hereto as Exhibit "C" and thereby made a part of this Agreement. Engineer further agrees that it will prepare and present such monthly progress reports and itemized statements as are described in said Exhibit "C". City agrees to pay invoices upon receipt.

V. Insurance

Engineer agrees to procure and maintain for the duration of the contract Professional Liability Insurance, Worker's Compensation, General Liability and Automobile Insurance.

VI. Assignment and Subletting

The Engineer agrees that neither this Agreement nor the services to be performed hereunder will be assigned or sublet, without the prior written consent of the City. The Engineer further agrees that the assignment or subletting of any portion or feature of the work or materials required in the performance of this Agreement shall not relieve the Engineer from its full obligations to the City as provided by this Agreement.

VII. Audits and Records

The Engineer agrees that at any time during normal business hours and as often as City may deem necessary, Engineer shall make available to representatives of the City for examination all of its records with respect to all matters covered by this Agreement, and will permit such representatives of the City to audit, examine, and make excerpts or transcripts from such records, and to make audits of all contracts, invoices, materials, payrolls, records of personnel, conditions of employment and other data relating to all matters covered by this Agreement, all for a period of one year from the date of final settlement of this Agreement or for such other or longer period, if any, as may be required by applicable statute or other lawful requirement.

VIII. Contract Termination

The parties agree that City or the Engineer shall have the right to terminate this Agreement without cause upon thirty (30) days written notice to the other. In the event of such termination without cause, Engineer shall deliver to City all finished or unfinished documents, data, studies, surveys, drawings, maps, models, reports photographs or other items prepared by Engineer in connection with this Agreement. Engineer shall be entitled to compensation for any and all services completed to the satisfaction of City in accordance with the provisions of this Agreement prior to termination.

IX. Engineer's Opinion of Cost

The parties recognize and agree that any and all opinions of cost prepared by Engineer in connection with the Project represent the best judgment of Engineer as a design professional familiar with the construction industry, but that the Engineer does not guarantee that any bids solicited or received in connection with the Project will not vary from the opinion by the Engineer.

X. Ownership of Documents

Original drawings, specifications and reports are the property of the Engineer; however, the Project is the property of the City. City shall be furnished with such reproductions of drawings, specifications and reports. Upon completion of the services or any earlier termination of this Agreement under Article VIII, Engineer will revise drawings to reflect changes made during construction as reported by the City and contractor, and he will furnish the City with one complete set of reproducible, two sets of record prints, and electronic files.

XI. Complete Contract

This Agreement, including the exhibits hereto numbered "A" through "C" constitutes the entire agreement by and between the parties regarding the subject matter hereof.

XII. Mailing of Notices

Unless instructed otherwise in writing, Engineer agrees that all notices or communications to City permitted or required under this Agreement shall be addressed to City at the following address:

Mr. Glenn Barker
Director of Public Works
City of Corinth
3300 Corinth Parkway
Corinth, Texas 76208

City agrees that all notices or communications to Engineer permitted or required under this Agreement shall be addressed to Engineer at the following address:

John W. Birkhoff, P.E.
Birkhoff, Hendricks & Carter, L.L.P.
11910 Greenville Ave., #600
Dallas, Texas 75243
Phone: (214) 361-7900

All notices or communications required to be given in writing by one party or the other shall be considered as having been given to the addressee on the date such notice or communication is posted by the sending party.

XIII. Texas Board of Professional Land Surveying Contact Information

Recipients of professional land surveying services under this agreement may direct complaints regarding such services to the Texas Board of Professional Land Surveying, 12100 Park 35 Circle, Building A, Suite 156, MC 230, Austin, TX 78753, Phone (512) 239-5263, Fax (512) 239-5253.

XIV. Contract Amendments

This Agreement may be amended only by the mutual agreement of the parties expressed in writing.

XV. Effective Date

This Agreement shall be effective from and after execution by both parties hereto.

WITNESS OUR HANDS AND SEALS on the date indicated below.

CITY OF CORINTH, TEXAS

**BIRKHOFF, HENDRICKS & CARTER, L.L.P.
TBPE FIRM NO. 526**

By: _____

By: John W. Birkhoff
John W. Birkhoff, P.E., Partner

Date: _____

Date: 8/9/2021

ATTEST

ATTEST

By: _____

By: Andrew M. H.

EXHIBIT “A”
ENGINEERING SERVICES
FOR
GROUND STORAGE RESERVOIR NOS. 1 AND 2 REHABILITATION

PART 1: PRELIMINARY DESIGN

Provide engineering services to prepare specifications and bidding documents for the Repaint of the Ground Storage Reservoir No. 1 and 2 Rehabilitation.

- 1) Complete topographic surveys at the sites to identify current conditions, locate existing fence, locate access, at the site.
- 2) Complete site visit to the site to visually see site and determine working constraints.
- 3) Prepare preliminary plan sheets for Ground Storage Reservoir No. 1 and 2 Site. Plans will include site plan, photo sheet, aerial photograph sheets, and any details determined from site visit and field surveys.
- 4) Prepare specifications for abrasive blasting & coating the interior and exterior of the Ground Storage Reservoirs Nos 1 and 2. Specifications will include requirement for containment system including roof bonnet.
- 5) Set up for Reservoir 1 interior to be overcoated with bid item for complete blast and paint in event burst blast reveals failed paint system.
- 6) Include in specifications the following enhancements:

Reservoir No. 1 Enhancements:

- a) Replace exterior ladder and cage and replace with new ladders meeting OSHA requirements and extending from ground level to the roof. Ladder will include Honeywell Glide Sol Loc fall protection system and ladder gates
- b) Extend handrail on to encompass the level control target access point and add 45-degree wings to match reservoir
- c) Replace steel access hatch cover with aluminum access hatch.

- d) Enlarge center vent outlet to 36 inches and construct an aluminum combination vent access port.
- e) Remove three vents not located at apex of reservoir. Plate over with ¼ inch plate
- f) Remove pipe insulation on single pipe and have provision to complete corrosion repairs that are found.
- g) Install new sample port and remove various threaded water spigot.
- h) Include tie off points at hatch and at combination access port and vent.
- i) Install new level target.
- j) Attempt to downturn overflow 45 degrees and aim to splash pad.

Reservoir No. 2 Enhancements

- a) Replace exterior ladder and cage and replace with new ladders meeting OSHA requirements and extending from ground level to the roof. Ladder will include Honeywell Glide Sol Loc fall protection system and ladder gates
- b) Replace interior ladder with ladder meeting OSHA requirements.
- c) Remove piping from well to roof of reservoir. Leave blind flanges in place in the event there is need to reconnect.
- d) Enlarge center vent outlet to 36 inches and construct an aluminum combination vent access port.
- e) Install new sample port and remove various threaded water spigot.
- f) Include tie off points at hatch and at combination access port and vent
- g) Install new level target.
- h) Attempt to downturn overflow 45 degrees and aim to splash pad.
- i) Develop bracing plan to correct seven rafters that are not vertical.
- j) Have provisions for contractor to work around operation antennae.
- k) Have provision to remove abandon antennae.

Site Enhancements

- a) Provision to replace selected yard valves (Additive Alternate in Bid Schedule)
- b) Construct new flex base access drive from gate to pump station.
- c) Regrade northwest of reservoir 2 to keep water flowing east.
- d) Construct sidewalk along southeast side of reservoir 2 adjacent to fence where ground is eroding between grade beam and fence.

- e) Paint light standards and replace fixtures with LED fixtures. City to confirm electrical service to each is operational.
 - f) Provision to remove abandon chlorine building enclosure. (Additive Alternate in Bid Schedule)
 - g) Reservoir mixers (Additive Alternate in Bid Schedule)
- 7) Submit Preliminary Plans, Technical Specifications, and Competitive Low Proposal Requirements in electronic format to the City for review.
- 8) Meet with the City to discuss preliminary plans and specifications.

PART 2: FINAL DESIGN

- A. Revise and finalize Preliminary Plan Sheets, Specifications, and Competitive Low Proposal Requirements, incorporating City comments.
- B. Formulate opinion of probable construction cost based on final plans.
- C. Prepare final bid documents including bid proposal forms, construction plans, specifications and front-end contract documents. Front end contract documents will be provided by City.
- D. Submit 95% Plans, Technical Specifications, Proposal and Bid Schedule, and Competitive Low Proposal Requirements in electronic format to the City for review.

PART 3: ADDITIONAL SERVICES

A. SEALED COMPETITIVE PROPOSALS (BID PHASE)

- 1) Submit one set of Final Plans, Technical Specifications, Bid Schedule, and Competitive Low Proposal (bidding) Documents in PDF format to the City for their use in electronically advertising and distributing documents.
- 2) BHC will send Notice of Proposal to painting contractors.
- 3) Assist City during opening of proposals.
- 4) Check references provided for all proposal packages received.
- 5) Review submittal and compile material, and check if requested information was submitted at time of bid, complete in spreadsheet.

- 6) Follow-up with each proposer that did not submit full package and request missing data, if allowed by City Purchasing Department.
- 7) Provide spreadsheet to City selection committee of data received, reference comments and original submittal data for evaluation.
- 8) Assist selection committee in selection process.

B. CONSTRUCTION PHASE

- 1) Attend City's Pre-Construction Conference at City Facilities.
- 2) No paper copies of the conformed plans will be issued. All documents will be in PDF format for construction purposes.
- 3) Review shop drawings and other submittal information which the Contractor submits. This review is for the benefit of the Owner and covers only general conformance with information given by the Contract Documents. The contractor is to review and stamp their approval on submittals prior to submitting to the Engineer. Review of shop drawing submissions is solely for their conformance with the design intent and conformance with information given in the construction documents. Birkhoff, Hendricks & Carter L.L.P. shall not be responsible for any aspects of a shop drawing submission that affect or are affected by the means, methods, techniques, sequences and operation of construction, safety precautions and programs incidental thereto, all of which are the Contractors responsibility. Electronic copy of shop drawings in which no exceptions, or make corrections noted are taken by Birkhoff, Hendricks & Carter L.L.P. will be provided to the City. All shop drawings will be completed electronically in PDF format.
- 4) Provide written responses to requests for information or clarification.
- 5) Accompany the City during their final inspection of the project. This will include climbing the tank.
- 6) The design engineer will visit the site as requested by the City. These visits specifically exclude any responsibility by the Engineer for job safety or means and methods of construction.
- 7) BHC will prepare and process changes orders as required.
- 8) Monthly pay requests will be prepared by BHC and submitted to the City for payment.

SUMMARY OF BASIC SERVICES

Preparation of Bidding Documents (Lump Sum)	\$33,000.00
Total Amount for Basic Services	\$33,000.00

SUMMARY OF ADDITIONAL SERVICES

Bidding	\$7,000.00
Construction.....	\$15,000.00
Quality Control during construction	\$20,000.00
Record Drawings	\$1,000.00
Total Amount for Additional Services	\$43,000.00
TOTAL:	<u>\$76,000.00</u>

Payments are to be made monthly based on percent complete as determined by Birkhoff, Hendricks & Carter, L.L.P. Invoices shall include a breakdown of costs by task, a summary of billings to date of invoice for each task, and the balance remaining for each task (as well as the total contract remaining). City agrees to pay within 30-days upon receipt.

CITY OF CORINTH

Staff Report



Meeting Date:	8/19/2021	Title:	Contract Inverted Siphon Inspection and Cleaning
Strategic Goals:	<input type="checkbox"/> Citizen Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development		
Governance Focus:	<i>Sub-Ends:</i> <input type="checkbox"/> Growing Community <input type="checkbox"/> Conveniently located <input checked="" type="checkbox"/> Delivers Outstanding Service <input type="checkbox"/> High-Quality Retail <input type="checkbox"/> High-Quality Restaurants <input type="checkbox"/> High-Quality Entertainment <hr/> <i>Focus:</i> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Customer <input type="checkbox"/> Stakeholder <hr/> <i>Decision:</i> <input type="checkbox"/> Governance Policy <input checked="" type="checkbox"/> Ministerial Function		
Owner Support:	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission <u>N/A</u>		

Item/Caption

Consider and act on a contract with Institutform Technologies, LLC, for services required to clean and TV the 15" Inverted Siphons located north of the golf course and authorizing the City Manager to execute the necessary documents. Services are not to exceed \$97,358. This project is in conjunction with the CIPP of the wastewater piping under the golf course.

Item Summary/Background/Prior Action

Staff has identified a portion of the wastewater line under the golf course that appears to have excessive infiltration and inflow. The project is step one in the CIPP of the wastewater piping under the golf course that has been discussed with FY2022 budget.

Financial Impact

Project is currently funded via FY2021 CIP.

Staff Recommendation/Motion

Staff is recommending approval of the contract for cleaning and inspecting the inverted siphon.

August 9, 2021

ACES#: AAJA-XLRIAJ

Mr. Gary Parker
City of Corinth
3300 Corinth Pkwy
Corinth TX, 76208

Buyboard Proposal

Project Name: **City of Corinth, TX – Oakmont to Metering Station 15” Sanitary Sewer Siphons Clean/CCTV for Maintenance and Assessment**

INSITUFORM TECHNOLOGIES, LLC herein proposes to furnish a Proposal for all labor, materials, equipment, and services necessary to TV and clean the referenced project.

ASSUMPTIONS AND QUALIFICATIONS

This pricing is based on the best available information at the time of this proposal. It is understood that the work to be completed in this proposal will include cleaning the lines by removing all loose debris, dewatering and flow control, completing TV assessment, and provide video where TV is completed to assist with sewer condition assessment.

Water shall be provided at no cost to Insituform Technologies, LLC for all construction phases of this project. The Owner shall furnish Insituform Technologies, LLC with required water meters and pay all associated fees, deposits, and charges. Insituform Technologies, LLC will follow all required backflow prevention and metering procedures.

Cleaning crews will be NASSCO PACP compliant (Pipeline Assessment and Certification Program) version 6.0 or greater.

The City of Corinth will provide access to all manholes, permits if necessary, tax-exempt certificate, and disposal site for debris. Should any point repairs, partial collapses, or protruding objects exist that cannot be addressed with conventional cleaning equipment, or it is determined that additional cleaning may compromise the integrity of the host pipe, then alternate items may be necessary or added to the rehab phase of the project.

- Special:
1. Water shall be provided as noted above.
 2. No bonding is included in the pricing. Allow an additional 1.5% if necessary.
 3. Insituform will attempt to expose as much of the pipe as possible during televising and after cleaning. Insituform will use plugs to isolate the flow in the adjacent line while working on the other line. No bypassing is included in this phase. Defects creating surcharged conditions that cannot be removed may need to be repaired prior to further TV/Cleaning efforts.
 4. In the unlikely event that equipment gets lodged in the collection system through no fault of the crews, the City will provide excavation services to retrieve the equipment at no cost to Insituform or by alternate proposal pricing as necessary.

PROPOSAL PRICING

PAY ITEM NO.	DESCRIPTION	QTY	U/M	UNIT PRICE	ESTIMATED AMOUNT
1	Mobilization	1	LS	\$5,500.00	\$5,500.00
2	Clean and TV 15" Siphons	2,560	LF	\$26.80	\$68,608.00
3	Pipeline Dewatering	10	DAY	\$1,250.00	\$12,500.00
4	Plug Rental 8"-15" (Per Plug)	20	DAY	\$225.00	\$4,500.00
5	Pipe or Other Confined Space Man Entry Safety Systems	5	DAY	\$1,250.00	\$6,250.00
TOTAL					\$97,358.00

Note: A Tax-Exempt certificate will need to be provided prior to mobilization.

PROPOSAL INCLUSIONS

The prices stated in this proposal include:

1. Mobilizations and demobilization.
2. Pipeline cleaning to include normal debris and deposits only unless mechanical means are necessary to remove roots/grease.
3. Dewatering with use of flow-through plugs.
4. PACP pipe rating, inspection reports, and videos.
5. Confined space safe entry practices.
6. One-year standard construction warranty.
7. Certificate of insurance with a standard coverage.

PROPOSAL EXCLUSIONS

Not included in the prices stated in this estimate are costs associated with the items listed below. These items, if needed or found to be applicable, would be provided by **INSITUFORM TECHNOLOGIES, LLC** at your additional cost; or would be furnished by others, at your direction, at no cost to **INSITUFORM TECHNOLOGIES, LLC**:

- a) Additional mobilizations and/or setups may apply due to point repairs, obstruction removals, or delays out of our control.
- b) Project permits and/or local licenses.
- c) Bypass pumping.
- d) State and local sales and/or use taxes on the value of the project. If you are exempt, please submit the appropriate documentation.
- e) Additional premiums for special insurance coverage(s) demanded by you or other parties particular to this project.
- f) Performance and Payment Bond not included. This is available upon request, but if required please add 1.5% to the total project cost.
- g) If any hazardous or toxic materials are encountered during the project, the Owner will be responsible for the removal and disposal of the materials.
- h) Manual operation of any pumping and/or metering stations.
- i) Water from fire hydrants within a convenient distance from each cleaning site location.
- j) Legal dumpsite for debris resulting from pipes cleaning.
- k) Manhole installation, modification, and/or replacement.

PROPOSAL TERMS AND CONDITIONS

- a) Limits of Liability. In consideration of **INSITUFORM TECHNOLOGIES, LLC**'s agreement to maintain no less than \$5,000,000 of comprehensive general liability insurance in the form required by the Contract, **INSITUFORM TECHNOLOGIES, LLC**'s liability to the Owner for any matter covered by such insurance will be limited to the extent of such insurance and the Owner will indemnify and hold **INSITUFORM TECHNOLOGIES, LLC** harmless from any third party claims covered by such insurance to the extent such claims exceed the limits of such insurance. Neither party shall be liable to the other for consequential damages relating to the contract. In case of conflict between this provision and any other provision in the Contract as ultimately executed, this provision shall govern and prevail.
- b) LIMITED WARRANTY. IN LIEU OF ALL OTHER EXPRESSED, IMPLIED AND/OR STATUTORY WARRANTIES, INCLUDING WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE, CONTRACTOR AGREES TO CORRECT ANY DEFECTS IN THE MATERIALS OR SERVICES PROVIDED BY CONTRACTOR WHICH ARE BROUGHT TO THE ATTENTION OF CONTRACTOR WITHIN ONE YEAR FOLLOWING COMPLETION OF CONTRACTOR'S WORK, PROVIDED OWNER AFFORDS CONTRACTOR SUITABLE ACCESS AND WORKING CONDITIONS TO ACCOMPLISH SUCH CORRECTION.
- c) MUTUAL RELEASE OF CONSEQUENTIAL DAMAGES. Neither party shall be liable to the other for consequential damages relating to or arising out of the Contract.
- d) PROPOSAL SUBJECT TO NEGOTIATION OF OTHER STANDARD TERMS OF AGREEMENT. This proposal is subject to agreement of the parties on other terms and conditions as are customary in contracts of this nature.
- e) Quantities are estimated. Unit prices apply for actual invoice and payment.
- f) Payments are due at net within thirty days of invoice. Final payment is due within thirty days of completion of project.
- g) Monthly progress partial payments may be requested for the value of work in progress or completed, including materials secured and on site.
- h) Prices stated are in effect for thirty days from the date of this proposal. The acceptance period may be extended at the sole option of **INSITUFORM TECHNOLOGIES, LLC**.
- i) Conflicts. In case of conflict between the provision of the aforesaid paragraphs and any other provision in the Contract as ultimately executed the provisions as set forth above shall govern and prevail.

OFFERED BY:

ACCEPTED BY:

INSITUFORM TECHNOLOGIES, LLC

Timothy R. Peterie

SIGNATURE **DATE**

TIMOTHY R. PETERIE
BUSINESS DEVELOPMENT MANAGER

NAME

REVIEWED BY:
ANDY OZMENT
AREA MANAGER

TITLE

ORGANIZATION

cc: Glenn Barker (COC)
Ben Hawkins
Kodiak O'Ravez

CITY OF CORINTH
Staff Report



Meeting Date:	8/19/2021	Title:	The Parkway District (PD Zoning)
Strategic Goals:	<input checked="" type="checkbox"/> Citizen Engagement <input type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development		
Governance Focus:	<i>Sub-Ends:</i> <input checked="" type="checkbox"/> Growing Community <input checked="" type="checkbox"/> Conveniently located <input type="checkbox"/> Delivers Outstanding Service <input checked="" type="checkbox"/> High-Quality Retail <input checked="" type="checkbox"/> High-Quality Restaurants <input checked="" type="checkbox"/> High-Quality Entertainment		
	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input checked="" type="checkbox"/> Customer <input type="checkbox"/> Stakeholder		
	<i>Decision:</i> <input checked="" type="checkbox"/> Governance Policy <input type="checkbox"/> Ministerial Function		

Item/Caption

Conduct a Public Hearing, consider testimony and take appropriate action on an Ordinance amending the zoning designation on an approximate 20.859 acres of land within the H. Garrison Survey, Abstract No. 507, City of Corinth, Denton County, Texas. The property is generally located at the southwest corner of Interstate 35E and Corinth Parkway. An approximate 19.9863 acres of the tract is currently zoned as MX-C Mixed Use Commercial and an approximate .8727 acres of the tract does not currently have a zoning designation but is subject to the SF-1 zoning district regulations per the Unified Development Code. The proposed rezoning would result in the entire tract being designated as PD, Planned Development District with a base zoning of MX-C Mixed Use Commercial. (The Parkway District ZAPD21-0001)

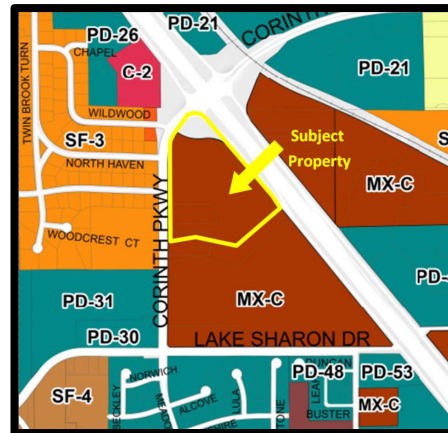
Item Summary/Background/Prior Action

I. Item Summary:

The Applicant, Realty Capital Management, LP is proposing **The Parkway District** as a ±20.859 acre Mixed Use Development located at the southwest corner of Interstate Highway 35E (IH 35E) and Corinth Parkway. The site is relatively flat, treed, with Lynchburg Creek traversing the southern boundary. The existing zoning is Mixed Use Commercial (MX-C) and the proposed zoning request maintains the base zoning district of MX-C and provides for Planned Development District (PD) zoning to deliver allowances that will benefit the city in regard to specific desires and in turn address the developer’s needs. Development Standards shall comply with the City’s Unified Development Code (UDC) or as outlined in **The Parkway District Planned Development Standards, Exhibit C**.



Aerial Image, City of Corinth GIS



Existing Zoning Map, City of Corinth GIS

II. Background:

The Parkway District is another catalyst piece in the City’s Mixed Use Transit Oriented Development. In 2018 the City of Corinth began the process of drafting a Strategic Plan, *Embracing the Future, Corinth 2030*, with the assistance of community and business volunteers. The committee and City Council adopted a vision statement for Corinth:

“A growing community that is conveniently located, delivers outstanding services, engages its residents, and provides a good mix of high quality retail, restaurant and entertainment.”

The Plan outlined several goals and objectives to guide the city’s future, notably “attracting residential and non-residential development.” “Create a diversity and an increase in tax base by attracting new commercial developments and higher density residential housing using a variety of housing types (townhomes, live-work units, etc.) to provide a transition between the single family homes and commercial developments.”

Strategies and actions were identified as priorities to be implemented in five years. Of those, the creation of a Tax Increment Reinvestment Zone (TIRZ) and use its bonding capacity to invest in infrastructure projects to use as an incentive to promote private investment in a high-quality built environment. The TIRZ was formed in September of 2019 and the reinvestment monies will be used for improvements, one of which, is the community amphitheater/park across from city hall. Additionally, the TIRZ money will be used for roadway improvements in and around the Transit Oriented Development (TOD). The subject property is in the TIRZ and development imagery is illustrated in the following conceptual renderings.

Based on the Strategic Plan, the City began working with developers and landowners advancing the Plan’s goals. In June of 2019, the City purchased ±18.198 acres at the southwest corner of Interstate Highway 35E (IH 35E) and Corinth Parkway and the property is now owned by the Economic Development Corporation (EDC). The former police station parcel (±1.7983 acres) that is located along Corinth Parkway was transferred to the EDC and the EDC now owns the TXDOT surplus ROW (±.8727 acres) at the immediate corner of I 35E and Corinth Parkway. The assembly of parcels totals approximately 20.859 acres. In October of 2020, the Corinth EDC amended the Chapter 380 Economic Development Incentive Agreement with Realty Capital Management, LP which outlines performance requirements such as minimum restaurant square footages, hotel brands, park improvements, and exterior building materials for the developer. The partnership will result in a high-quality showcase development for the City of Corinth.





In July of 2020 after a year-long public input process the *Envision Corinth 2040 Comprehensive Plan*, was adopted by City Council. The Plan outlines recommended land uses for the City’s future growth. The subject property’s Land Use Place Type is “Mixed Use Transit Oriented Development” (Mixed-Use TOD).” Mixed-Use TOD provides for a variety of development strategies and the ones applicable to this tract include:

- Develop character and context benefitting a new downtown with a range of urban residential, retail, and office uses
- Become a destination for day and evening dining, entertainment, and community festivals and events
- 4-6 stories to allow for higher intensity mix of uses in response to market demand
- Allow mixed-use by right
- Parking to be accommodated in parking structures
- Density based on a street grid that is dense and walkable
- Connection to adjoining uses such as the community college, City Hall, and the regional trail network
- Density should not have a density max but be driven by the market, height, and design standards
- Streetscape improvements with bulb-outs, wide sidewalks, and trees
- Provide small scale greens and plazas that can activate adjoining uses

MIXED-USE TOD

Purpose and intent

- » To maximize the development of a mixed-use, regional center in conjunction with a commuter rail stop on the DCTA line at Corinth Parkway and Interstate 35E
- » To develop character and context befitting a new downtown with a range of urban residential, retail, and office uses
- » To become a destination for day and evening dining, entertainment, and community festivals and events

Land use types and density

- » 4 – 6 stories (scale, height, fenestration) to allow for higher intensity mix of uses in response to market demand
- » Allow mixed-use by right (residential and commercial uses)
- » Parking to be accommodated in parking structures
- » Density based on a street grid that is dense and walkable
- » Connections to adjoining uses such as the community college, City Hall and the regional trail network.
- » Overall neighborhood density should not have a density max but be driven by the market, height and design standards

Design priorities

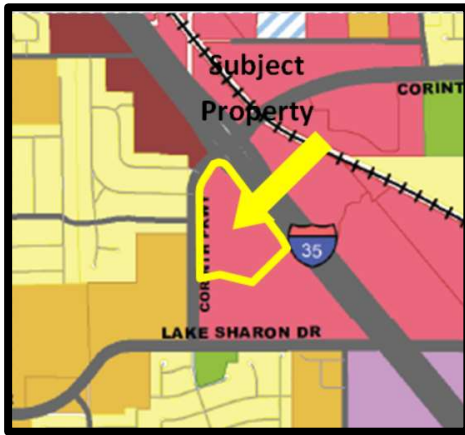
- » To meet the design goals for the TOD vision
- » Streetscape improvements with bulb-outs, wide sidewalks, and trees
- » Provide smaller scale greens and plazas that can activate adjoining uses
- » Implement TOD station to catalyze private development

Sustainability priorities

- » Focus on regional detention infrastructure to maximize compact, walkable blocks
- » Connections to regional trails and parks
- » Focus on Low Impact Development (LID) principles that fit an urban context such as bioswales in public spaces, roof-top gardens, seamless links to regional and local transit (with a trolley or other local connector service)
- » Allow roof-top solar panels



Envision Corinth 2040 Comprehensive Plan- Land Use Place Types



LEGEND

- Corinth City Limits
- Neighborhood
- Mixed-Residential
- Mixed Use - TOD
- Mixed Use - Node
- Retail/Commercial
- Corridor Commercial
- Office/Employment
- Institutional/Public/Civic
- Educational
- Parks/Open Space

Envision Corinth 2040 Comprehensive Plan- Land Use Map



LEGEND

- Highway
- Major Arterial
- Major Arterial - Widening
- Minor Arterial
- Minor Arterial - Widening
- New Minor Arterial
- Collector
- Collector - Widening
- New Collector
- Local
- Railroad
- Future Roundabout

Envision Corinth 2040 Comprehensive Plan- Thoroughfare Plan

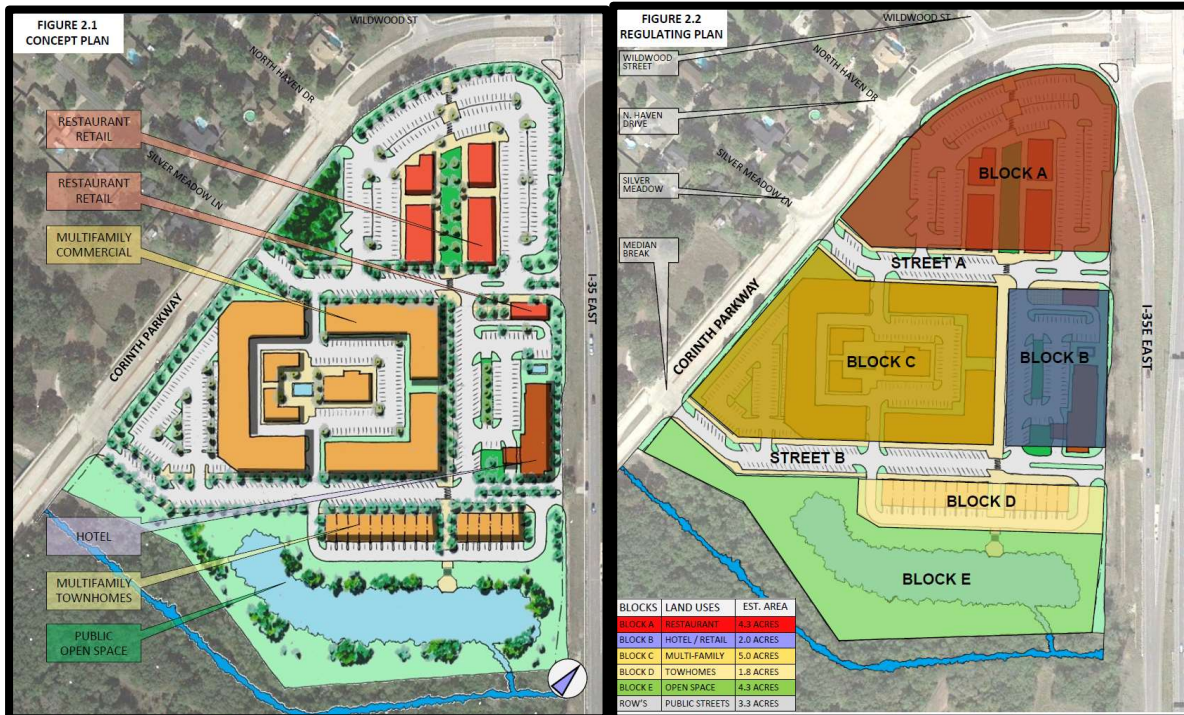


LEGEND

- Corinth City Limits
- Future On-Street Collector
- Future Sidepath
- Future Trail
- Existing Trail
- Mountain Bicycling Area
- Public & Private Parks
- Railroad
- Highway
- Major/Minor Arterial
- Collector
- Local

Envision Corinth 2040 Comprehensive Plan- Active Transportation Plan

A. Concept Plan. The proposed PD is categorized into five (5) land use blocks that include sit down restaurants, an 80 guest-room hotel, higher density urban lofts, townhomes, and park/open space. A trail system will be provided along the exterior of the development and a heavily landscaped pedestrian promenade is proposed to connect the northeast corner of the property, through the interior of the development, and to the trail/park/open space along Lynchburg Creek. Reference **Figure 2.1 Concept Plan, Exhibit B.**



B. Regulating Plan. The Regulating Plan and land use summary below outline the general land uses for the PD. Reference **Figure 2.2 Regulating Plan of Exhibit C, Land Use Regulations.**

BLOCK	LAND USES	ACREAGE
A	Restaurants/Commercial Minimum of 20K SF floor area	±4.3 Acres
B	Hotel/Retail- up to 6 stories/85' 80 Guest room minimum with a lobby, bar/lounge, covered seating adjacent to pool One pad site permitted for a coffee shop with drive through service	±2.0 Acres
C	Multi-Family-up to 5 stories/75' 327 unit maximum Average unit size required 825 SF & minimum efficiency 550 SF Unit mix anticipated as 10 % efficiency, 60% 1 bedroom, & 30% 2 bedroom Commercial (2,500 SF Min.)	±5.0 Acres
D	Townhomes- up to 25 units Minimum 1,200 SF floor area	±1.8 Acres
E	Open Space/Park 6' concrete trail from Corinth Pkwy. To IH 35E, benches and usable open space	±4.3 Acres
ROW	Public Streets	±3.3 Acres

Detailed permitted uses and development standards are outlined in **Tables 2.1** and **2.2** of **Exhibit C, Land Use Regulations**.

C. Access, Transportation and Parking. Staff has worked with the Applicant to provide for a safe and accessible development plan. **Figure 3.1** of the **Land use Regulations, Exhibit C**, identifies the street system, ingress/egress locations, alleys, and firelanes. Street A will align with the existing street west of Corinth Parkway, Silver Meadow Lane and Street B will line up with the existing median opening on Corinth Parkway, south of Silver Meadow Lane. The drive off Corinth Parkway into Block A will align with North Haven Drive. Streets A and B will intersect at I 35E as right-in and right-out access only.

The site is served by IH 35E as a Highway and Corinth Parkway as a Minor Arterial as outlined in the Master Thoroughfare Plan of the Comprehensive Plan. A Traffic Impact Analysis (TIA) is not required for rezoning property. The Applicant and City Engineer have identified locations for deceleration lanes along the IH 35E frontage road, aligned with adjacent roadways and median openings along Corinth Parkway, provided for internal accessibility, and visibility requirements. The existing roadway system and the proposed Concept Plan adequately serve the site and surrounding areas.

The PD **Street Standards** in **Section 3** of the **Land Use Regulations, Exhibit C** delineates additional regulations for the property. Each street section is specific to a location in the development. Angled parking and head-in parking is utilized to serve the development while providing for pedestrian access and landscaping features.

Parking for the development is broken down for the following ratios:

TABLE 5.1 MINIMUM REQUIRED PARKING	
OCCUPANCY / USE	MINIMUM REQUIRED PARKING
General Retail	1 space per 250 sq ft
General Office	1 space per 350 sq ft
Restaurants	1 space per 100 sq ft
Urban Lofts	1.45 spaces per Dwelling Unit
Townhomes	2 enclosed garage spaces per Unit
Hotel	1 spaces per guestroom plus 5% for staff

The PD Concept Plan provides the following parking counts:

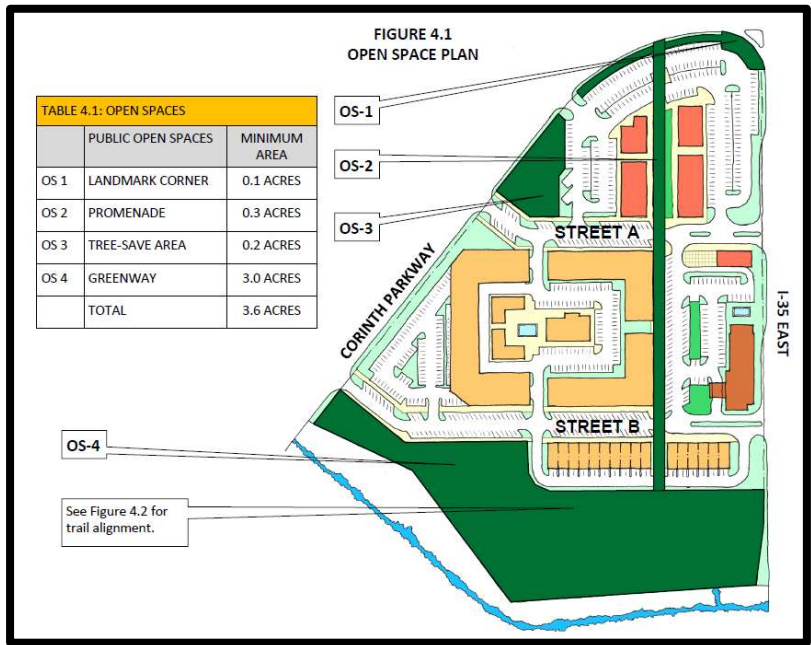
TABLE 5.3 PARKING TABULATION (See Figure 3.2 for Land Use Inventory Acreage)							
Quantities are estimates and do not represent minimum or maximum units.	BLOCKS					LAND USE TOTALS	PARKING REQUIRED
	A	B	C	D	E		
URBAN RESIDENTIAL LOFTS (# OF UNITS) ESTIMATED UNIT COUNT & UNIT MIX: EFFICIENCY 10%, 1 BEDROOM 60%; 2 BEDROOM 30%,			327			327	474
TOWNHOMES				25			50
HOTEL (ESTIMATED GUESTROOMS)		80				80	84
RESTAURANTS (ESTIMATED AREA)	20,000	2,000				22,000	220
OFFICE (ESTIMATED AREA)		0	2,500			2,500	8
TOTAL REQUIRED PARKING	200	104	474	50	0		836
PARKING PROVIDED SHALL MEET OR EXCEED THE REQUIRED PARKING.							

Municipalities rely on industry advisory standards for parking ratios and the *Institute of Traffic Engineer’s Parking Generation Manual, 5th Edition* recommends the following parking ratios for suburban multifamily (mid-rise between three and 10 stories):

- Dense Multi-Use Urban 1.2 spaces per unit (within and not within ½ mile of rail transit)
- General Urban/Suburban (standalone MF) 1.5 spaces per unit (within ½ mile of rail transit)
- General Urban/Suburban (standalone MF) 1.7 spaces per unit (not within ½ mile of rail transit)

The proposed PD is well within ½ mile of a future rail stop and the overall allowance for shared parking through all of the Blocks provides adequate spaces as proposed at 1.45 spaces per unit for the Multifamily component.

D. Parks, Trees, and Open Space Standards. The PD proposes a walkable and connected environment within the site and linked to other features in the community. The minimum overall open space to be provided is no less than 10% of the PD district. The restaurant block connects the northeast corner of the property to the restaurant courtyards with a promenade that extends to the southern block that is open space/park land. The promenade includes trees, pedestrian lighting, paved walks, and is outlined in **Section 4** of the **Land Use Regulations, Exhibit C**.



A **Tree Save Area** in Open Space 3 is provided at the intersection of Corinth Parkway and Street A and will serve as a buffer to the existing residential neighborhood to the west.

Landscape Buffers shall be provided as:

Location	Buffer Details
Block A, Corinth Parkway	15' wide minimum, trees 50' OC, shrubs, ornamental grasses and/or stone wall of 30" high
Block C, Corinth Parkway	20' wide minimum, trees 50' OC, shrubs, ornamental grasses and/or stone wall of 30" high
Block A, IH 35E	10' wide minimum and an average of 12' wide
Block B, IH 35E	15' wide minimum and trees 50' OC
Block D, IH 35E	15' wide minimum and trees 50' OC
Parking lot screening	30" high continuous shrubbery screen or wall

Trees shall be provided for within the development as follows:

TABLE 4.2: MINIMUM TREE PLANTING TABLE	
LOCATION	MINIMUM TREE PLANTING
STREETS	1 TREE/50' MAXIMUM SPACING
PARKING LOTS	1 TREE / 10 PARKING SPACES
OS 1	4 TREES MINIMUM
OS-2	PLANTING PER PARAGRAPH 5.1.D
OS-3	NO ADDITIONAL PLANTING REQUIRED
OS-4	PLANTING PER PARAGRAPH 5.1.F

Tree Planter specifications will be a minimum of 4'6" in parking lots and along streets. The PD standards include extensive tree planting, landscaping, and the development will be exempt from the tree preservation regulations in the City's UDC.

E. Pedestrian Walkways. The development will provide a system on connecting walkways, promenades, and trails per the following plan found in **Section 4 of the Land Use Regulations, Exhibit C.**

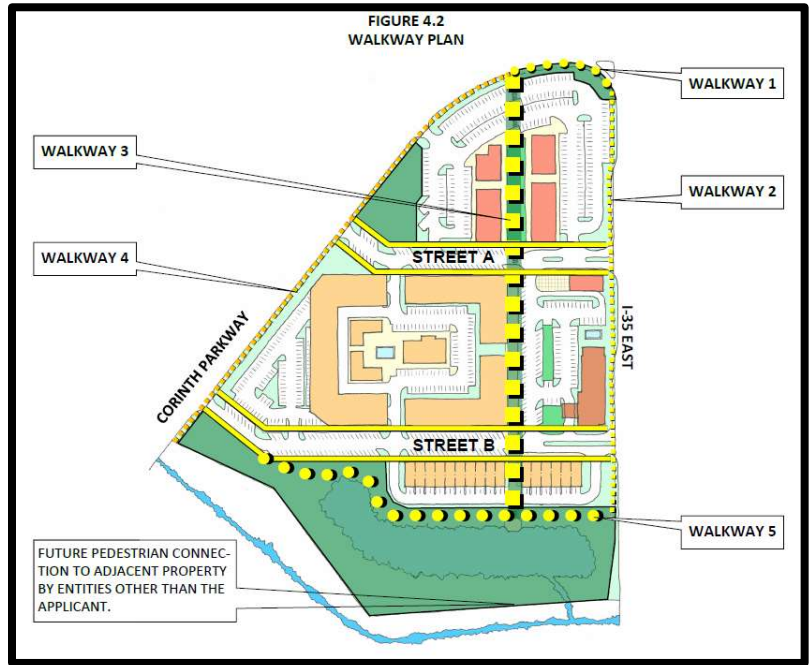


TABLE 4.3: TRAILS AND SIDEWALKS				
	OPEN SPACES	MINIMUM WIDTH	LEGEND	
WALKWAY 1	SIDEWALK CONNECTING I-35E INTERSECTION WITH OS-2 WALKWAY	5'	●●●●●●●●	
WALKWAY 2	REQUIRED SIDEWALK ADJACENT TO I-35E	5'	●●●●●●●●	
WALKWAY 3	PROMENADE FROM CORINTH PARKWAY TO OS-4	12'	■●●●●●	
WALKWAY 4	EXISTING SIDEWALK ON CORINTH PARKWAY	NA	●●●●●●●●	
WALKWAY 5	GREENWAY WALKWAY FROM CORINTH PARKWAY TO I-35E	6'	●●●●●●	
	SIDEWALKS ON STREET A AND STREET B	5'	—————	

F. Architectural Standards. The Parkway District is proposing unique and quality architectural materials and features. Elevations (Façade A) visible from streets require higher standards while interior facades (Façade B) allow material flexibility. The architectural standards are summarized below and detailed in **Section 6 of the Land Use Regulations, Exhibit C.**

Windows shall be recessed 3” from masonry building façades.	
AC/mechanical equipment shall not be located between a façade and any public street	
3 step stucco is permitted, and cementitious siding is permitted on Façade B	
Neutral colors are proposed for walls	
Commercial storefronts shall consist of a minimum of 50% glass of the ground floor commercial frontage. The glass area shall include jams, heads, and sills for windows. Storefront windows shall have bulkheads not less than 18” above FF and not greater than 36” above FF. (Does not apply to Block C and A&B)	
Block C upper floors (Multifamily)	25% of units will have balconies
Building Elevation C1 (Multifamily)	Ground floor, Street A, minimum of 50% shall have stoops and front doors opening onto the public street and access may be provided from the sidewalk or an interior corridor.

Building Elevation C2 (Multifamily)	Ground floor, Street B, shall have a minimum of 50% of stoops and front doors opening onto public street.
Block D (Townhomes)	<p>Individual entry doors fronting on Street B. Front facades shall have minimum of two of the following:</p> <ul style="list-style-type: none"> • Elevated stoop • Front porch • Covered portico • Recessed entry <p>Units shall have carriage style garage doors facing public open space. Roof pitches shall be not less than 8:12.</p>

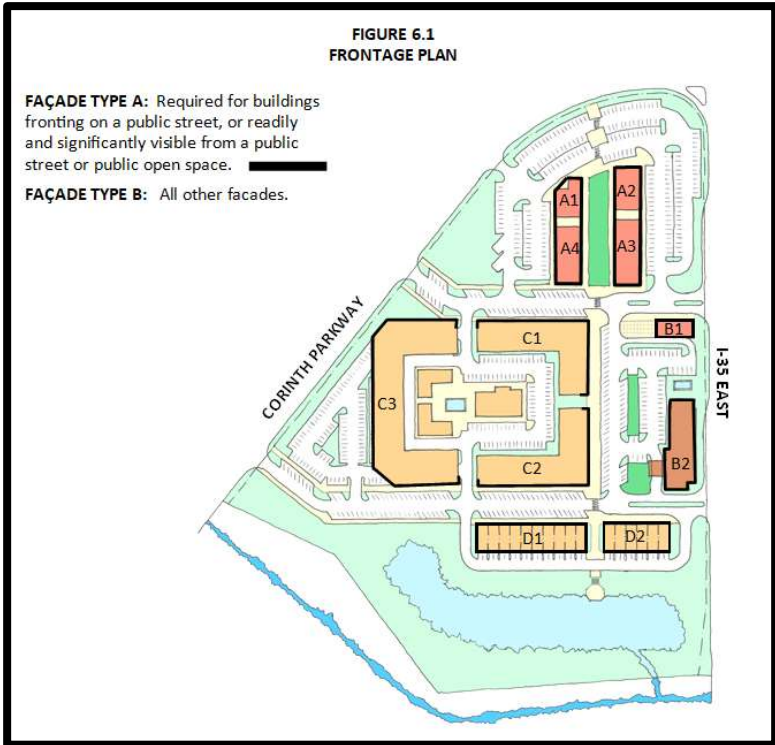
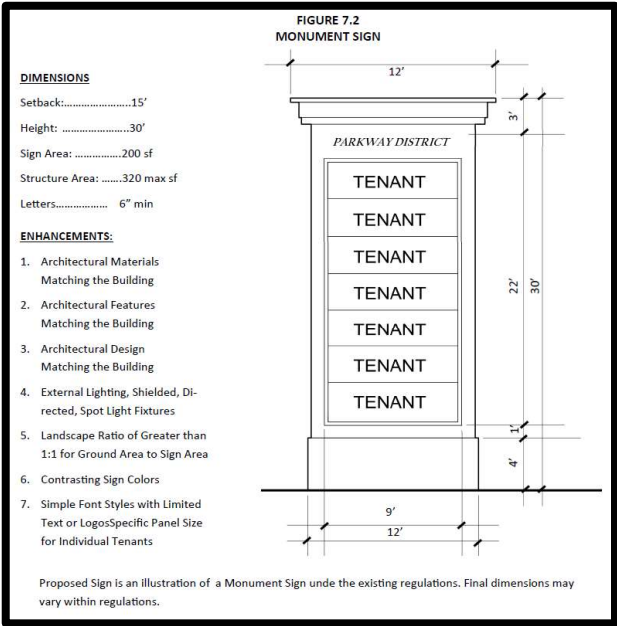
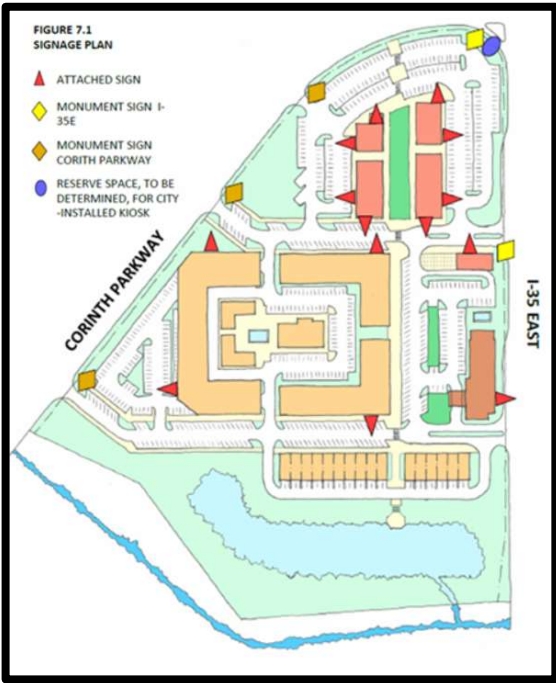


TABLE 6.1 MATERIAL BUILDING STANDARDS		
ITEM	FAÇADE A	FAÇADE B
FAÇADE MATERIALS - GROUND FLOOR		
GROUND FL MASONRY, MINIMUM	90% CLASS 1**	90% CLASS 2**
FAÇADE MATERIALS - 2ND FLOOR AND ABOVE FLOOR		
MASONRY MINIMUM	90% CLASS 1**	90% CLASS 2**
CEMENTIOUS SIDING, maximum	10% *	n/a
METAL, maximum	10%	10%
WOOD, maximum	10%	10%
EIFS, maximum	10%	10%
EXPOSED CMU	N	N
EXPOSED AGGREGATE	N	N
* Cementitious Siding permitted on recessed balconies in addition to minimum percentage.		
** Corinth UDC Section 5.02.214: Masonry Construction — as modified by Paragraph 6.G		
Class 1: Masonry Construction shall include the following exterior construction materials: fired brick, natural and manufactured stone, granite, and marble, plus 3-step Stucco.		
Class 2: Masonry Construction shall include the following exterior construction materials: all Class 1 Masonry Construction, architectural concrete block, 3-step stucco process, and tilt wall concrete panels, plus cementitious siding.		
Class 3: Masonry Construction shall include the following exterior construction materials: all Class 1 Masonry Construction, Class 2 Masonry Construction, EIFS, and sealed and painted concrete block.		

G. Signage. Signage for the development shall comply with the Unified Development Code (UDC) and through the following standards that are outlined in **Section 7 of The Parkway District Land Use Regulations, Exhibit C**. Signage proposed will complement the development.



H. 200-Foot Notification Boundary Exhibit and Letters/Emails in Support/Opposition. At the time of packet publication, no letters or emails in support or opposition had been received from the property owners within the 200 foot notification area. One email outside of the notification boundary has been received in opposition to the zoning change.

I. Neighborhood Meeting. As provided for in Section 2.10.09., of the UDC, the Applicant of a Planned Development rezoning is strongly encouraged (*though not required by City ordinance*) to conduct a neighborhood meeting with homeowners within the vicinity of the rezoning request.

The developer, Realty Capital Management, LP conducted a neighborhood meeting on July 22, 2021 to introduce the project to the surrounding landowners. 13 residents attended the informational meeting, and the proposal was well received.

J. Compliance with City Development Regulations (Non Zoning Related).

Stormwater, Floodplain, and Wetland Management. The Federal Emergency Management Agency (FEMA) updated the Corinth floodplain maps in 2020 and numerous homes west of the subject property (Amity Village) were mapped into the floodplain. The City applied for grant funding for drainage improvements and are currently in a 60-90 day review of the environmental assessment. Staff anticipates environmental clearance and upon receipt of the grant money engineering design and subsequent construction efforts will begin to remove those properties from the floodplain. This development will not compound the drainage issues upstream. Nor will it create drainage issues downstream.

The Parkway District property is proposing to reclaim floodplain and detain on site. Detailed engineering design of the drainage system will be required prior to release for construction. A drainage assessment will be submitted to prove that they have no negative impact upstream, adjacent, and downstream of their development. This assessment will identify the possibility of an increased flowrate, increased water surface elevation, and erosive water velocity. This is where the City will require measures to mitigate impact. The City through the Federal Emergency Management Agency (FEMA) has specific regulations that restrict and allow under specific circumstances development within the floodplain. These regulations are detailed in the [City’s Code of Ordinances, Section 152 Floodplain Damage Prevention](#). The City is the delegated responsibility to adopt and enforce regulations designed to minimize flood losses.

In summary, prior to detailed design approval, the engineering team will require the developer and their engineer to confirm/prove that they are in conformance with all of the codes listed in the Unified Development Code Section 3.05.03.A., as follows (and linked [here](#) for reference).

- The Transportation Plan;
- The Drainage Design Manual of the department of public works;
- The Standard Construction Details of the department of public works;
- The Texas Uniform Traffic Control Device Manual;
- North Central Texas Council of Governments Standard Specifications for Construction of Public Works;
- American Association of State Highway Transportation Officials Design Manual;
- Texas Health Code;
- City of Corinth Engineering Standards Manual (ESM);
- Texas Water Code;
- Master Drainage Plans;
- Floodplain Ordinance;
- Erosion Control Ordinance;
- Stormwater Management Plan; and
- All other codes and ordinances of the City.

K. Compliance with the Comprehensive Plan. The rezoning request for the subject property, as presented, is in accordance with the “Land Use and Development Strategy” designations, Mixed-Use Transit Oriented Development (MU-TOD), and the concepts outlined in the Master Thoroughfare Plan and Active Transportation Plan as set forth in the "Envision Corinth 2040" Comprehensive Plan. Additionally, the proposed PD meets the intent and goals of the Strategic Plan.

L. Public Notices. Notice of the public hearing was published in the July 10, 2021, edition of the Denton Record-Chronicle. Written public notices were mailed to all property owners located within 200 feet of the subject property proposed for the zoning change on July 9, 2021.

M. Supporting Documents.
Proposed PD 59 Zoning Ordinance
200 Foot Boundary of Public Hearing Notification
Strategic Plan, [Embracing the Future, Corinth 2030](#)
Comprehensive Plan, [Envision Corinth 2040 Comprehensive Plan](#)

N. Planning & Zoning Commission Recommendation.
The Planning & Zoning Commission unanimously (5-0) recommended the PD zoning for City Council approval at their July 26, 2021 meeting.

Financial Impact

N/A

Staff Recommendation/Motion

The application as presented complies with the Comprehensive Plan, the proposed uses and development standards are suitable in this location, and the existing transportation infrastructure is satisfactory. Further, the development will be required to comply with the City’s development regulations.

The Planning & Zoning Commission recommends the PD zoning for City Council approval.

Staff recommends approval as presented.

**CITY OF CORINTH, TEXAS
ORDINANCE NO. 21-8-19-22**

PARKWAY DISTRICT PLANNED DEVELOPMENT DISTRICT #59

AN ORDINANCE OF THE CITY OF CORINTH, TEXAS, AMENDING THE CITY’S COMPREHENSIVE PLAN, SPECIFICALLY THE COMPREHENSIVE ZONING ORDINANCE AND THE “OFFICIAL ZONING DISTRICT MAP OF THE CITY OF CORINTH, TEXAS,” EACH BEING A PART OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF CORINTH, BY AMENDING THE ZONING CLASSIFICATION FOR THE PROPERTY DESCRIBED IN EXHIBIT “A”, ATTACHED HERETO AND INCORPORATION HEREIN, TO REZONE FROM MX-C, MIXED USE COMMERCIAL AN APPROXIMATELY 19.9863 ACRES AND TO ZONE AN APPROXIMATE .8727 ACRES OF LAND CURRENTLY WITHOUT A ZONING DESIGNATION AND BEING SUBJECT TO THE SF-1 SINGLE FAMILY RESIDENTIAL (DETACHED) ZONING DISTRICT REGULATIONS PER THE UNIFIED DEVELOPMENT CODE TO PD-PLANNED DEVELOPMENT ZONING DISTRICT WITH A BASE ZONING DESIGNATION OF MX-C, MIXED USE COMMERCIAL ON APPROXIMATELY 20.859 ACRES OF LAND WITHIN THE H. GARRISON SURVEY, ABSTRACT NO. 507, CITY OF CORINTH, DENTON COUNTY, TEXAS AND IDENTIFIED AS THE PARKWAY DISTRICT PLANNED DEVELOPMENT DISTRICT NO. 59 (“PD-59”); PROVIDING FOR THE INCORPORATION OF PREMISES; PROVIDING A LEGAL PROPERTY DESCRIPTION (EXHIBIT “A”); APPROVING A PLANNED DEVELOPMENT CONCEPT PLAN (EXHIBIT “B”); APPROVING PLANNED DEVELOPMENT LAND USE REGULATIONS (EXHIBIT “C”); PROVIDING FOR A PENALTY NOT TO EXCEED \$2,000 A DAY FOR EACH VIOLATION OF THE ORDINANCE AND A SEPARATE OFFENSE SHALL OCCUR ON EACH DAY THAT A VIOLATION OCCURS ON CONTINUES; PROVIDING A CUMULATIVE REPEALER CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING FOR PUBLICATION; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Corinth, Texas, adopted Ordinance No. 13-05-02-08, which established a Unified Development Code of the City, including the Comprehensive Zoning Ordinance and the “Official Zoning District Map of the City of Corinth, Texas,” (the “Zoning Map”), in accordance with the City’s Comprehensive Plan; and

WHEREAS, the Property described in Exhibit “A” (the “Property”) is comprised of an approximate 19.9863 acres currently zoned as MX-C, Mixed Use Commercial (“MX-C”) and .877 acres of land which has no adopted zoning designation but is subject to the regulations of the SF-1 Single Family Residential Zoning District (SF-1) (the combined total acreage of the Property being approximately 20.859 acres); and

WHEREAS, an authorized person having a proprietary interest in the Property has requested an Amendment to the Comprehensive Zoning Ordinance and the Zoning Map to change the zoning classification of the Property to PD-Planned Development zoning district, to be specifically identified as “The Parkway District Planned Development District No. 59” (“PD-59”), with a base zoning designation of MX-C, Mixed Use Commercial under the City's Unified Development Code; and

WHEREAS, the City Council and the Planning and Zoning Commission of the City of Corinth gave the requisite notices by publication and otherwise and afforded a full and fair hearing to all property owners generally, and to the persons interested and situated in the affected area and in the vicinity thereof; and

WHEREAS, the City Council has determined that the Property has unique characteristics and that zoning through a planned development district is the most appropriate mechanism for zoning the Property, thus an amendment to the Comprehensive Zoning Ordinance and the Zoning Map of the City’s Unified Development Code, in accordance with the Land Use Regulations set forth in Exhibit “C”, should be approved; and

WHEREAS, the City Council considered the following factors in making a determination as to whether the requested change should be granted or denied: safety of the motoring public and pedestrians using the facilities in the area immediately surrounding the sites; safety from fire hazards and damages; noise producing elements and glare of the vehicular and stationary lights and effect of such lights on established character of neighborhoods; location, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street loading spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; effect on the over-crowding of the land; effect on the concentration of population, and effect on transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, the City Council further considered among other things the character of the proposed district and its peculiar suitability for particular use requested and the view to conserve the value of the buildings, and encourage the most appropriate use of the land throughout this City; and

WHEREAS, the City Council finds that the requested Amendment to the Comprehensive Zoning Ordinance and Zoning Map to effect the change in zoning for the Property promotes the health and the general welfare, provides the Property with adequate light and air, prevents over-crowding of land, avoids undue population concentration, and facilitates the adequate provision of transportation, water, sewerage, schools, parks and other public requirements; as well as the general health, safety and welfare of the community;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CORINTH, TEXAS:

**SECTION 1.
INCORPORATION OF PREMISES**

The above and foregoing recitals are found to be true and correct and are incorporated into the body of this Ordinance for all purposes.

**SECTION 2
LEGAL PROPERTY DESCRIPTION; AMENDMENT**

That Ordinance No. 13-05-02-08, adopting the Unified Development Code of the City of Corinth (“UDC”), including the Comprehensive Zoning Ordinance that establishes zoning districts in accordance with the City’s Comprehensive Plan and the Zoning Map of the City of Corinth, is hereby amended to rezone approximately 19.9863 acres currently zoned as MX-C, Mixed Use Commercial (“MX-C”) and to zone .877 acres of land which has no adopted zoning designation but is subject to the regulations of the SF-1 Single Family Residential Zoning District (SF-1) (the combined total acreage of the Property being approximately 20.859 acres) to change the zoning classification on an approximate 20.859 acre tract of land described in "Exhibit A" attached hereto and incorporated herein (the “Property”), from MX-C, Mixed Use Commercial and a parcel without a zoning designation subject to SF-1 Single Family Residential (Detached) zoning district to a PD-Planned Development zoning district with a base zoning designation of MX-C, Mixed Use Commercial and identified as The Parkway District Planned Development District No. 59 (“PD-59”), and the Zoning Map of the City is also hereby amended to reflect the new zoning classification for the Property.

**SECTION 3.
PLANNED DEVELOPMENT CONCEPT PLAN**

The Planned Development Concept Plan for the Property as set forth in “**Exhibit B**” (the “**Concept Plan**”), a copy of which is attached hereto and incorporated herein, is hereby approved.

**SECTION 4.
LAND USE REGULATIONS**

- A. The Zoning and Land Use Regulations set forth in “**Exhibit C**” attached hereto and made a part hereof for all purposes are hereby adopted and shall be adhered to in their entirety for the purposes of this PD-Planned Development zoning district with a base zoning designation MX-C, Mixed Use Commercial. In the event of conflict between the provisions of “**Exhibit C**” and provisions of any other City zoning regulations, including without limitation the regulations governing the MX-C, Mixed Use Commercial zoning district, the provisions of “**Exhibit C**” shall control.
- B. That the zoning regulations and district herein established have been adopted in accordance with the Comprehensive Plan for the purpose of promoting the health, safety, morals and

the general welfare of the community. They have been designed, with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to provide adequate light and air; to prevent overcrowding of land; to avoid undue concentration of population; and to facilitate the adequate provision of transportation, water, sewerage, drainage and surface water, parks and other commercial needs and development of the community. They have been made after a full and complete hearing with reasonable consideration among other things of the character of the district and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community

- C. The Concept Plan (**Exhibit “B”**) and the Land Use Regulations (**Exhibit “C”**) shall control the use and development of the Property, and all building permits and development requests shall be in accordance with applicable City ordinances, the PD Concept Plan and Land Use Regulations. The PD Concept Plan and Land Use Regulations shall remain in effect as set forth herein unless amended by the City Council.

If a change to the Concept Plan, is requested, the request shall be processed in accordance with the development standards in effect at the time the change is requested for the proposed development and may be subject to City Council approval.

**SECTION 5.
PENALTY FOR VIOLATIONS**

Any person, firm, or corporation who intentionally, knowingly or recklessly violates any provision of this Ordinance or the Code of Ordinances, as amended hereby, shall be subject to a fine not to exceed the sum of five hundred dollars (\$500.00) for each offense, and each and every day any such offense shall continue shall be deemed to constitute a separate offense, provided, however, that in all cases involving violation of any provision of this Ordinance or Code of Ordinances, as amended hereby, governing the fire safety, zoning, or public health and sanitation shall be subject to a fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense.

**SECTION 6.
SEVERABILITY**

The provisions of the Ordinance are severable. However, in the event this Ordinance or any procedure provided in this Ordinance becomes unlawful, or is declared or determined by a judicial, administrative or legislative authority exercising its jurisdiction to be excessive, unenforceable, void, illegal or otherwise inapplicable, in whole or in part, the remaining and lawful provisions shall be of full force and effect and the City shall promptly promulgate new revised provisions in compliance with the authority’s decisions or enactment.

**SECTION 7.
CUMULATIVE REPEALER**

This Ordinance shall be cumulative of all other Ordinances and shall not repeal any of the provisions of such Ordinances except for those instances where there are direct conflicts with the provisions of this Ordinance. Ordinances, or parts thereof, in force at the time this Ordinance shall take effect and that are inconsistent with this Ordinance are hereby repealed to the extent that they are inconsistent with this Ordinance. Provided however, that any complaint, action, claim or lawsuit which has been initiated or has arisen under or pursuant to such other Ordinances on this date of adoption of this Ordinance shall continue to be governed by the provisions of such Ordinance and for that purpose the Ordinance shall remain in full force and effect.

**SECTION 8.
SAVINGS**

All rights and remedies of the City of Corinth, Texas are expressly saved as to any and all violations of the provisions of any other ordinance affecting zoning for the Property which have secured at the time of the effective date of this ordinance; and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such ordinances same shall not be affected by this Ordinance but may be prosecuted until final disposition by the court.

**SECTION 9.
EFFECTIVE DATE**

This ordinance shall become effective after approval and publication as provided by law. The City Secretary is directed to publish the caption and penalty of this ordinance two times.

DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF CORINTH THIS 19th DAY OF AUGUST, 2021.

APPROVED:

Bill Heidemann, Mayor

ATTEST:

Lana Wylie, City Secretary

APPROVED AS TO FORM:

Patricia Adams, City Attorney

EXHIBIT "A"
LEGAL DESCRIPTION

BEING 20.859 acres of land located in the H. GARRISON SURVEY, Abstract No. 507, City of Corinth, Denton County, Texas, and being a portion of the tract of land conveyed to the Town of Corinth, by the deed recorded in Volume 608, Page 158, of the Deed Records of Denton County, Texas, and all of the tract of land conveyed to Corinth Economic Development Corporation, by the deed recorded in Instrument No. 2019-69270, of the Official Public Records of Denton County, Texas, and all of the tract of land conveyed to the City of Corinth, by the deed recorded in Document No. 2021-69324, of the Official Public Records of Denton County, Texas. Said 20.859 acres of land being more particularly described by metes and bounds as follows:

BEGINNING at a ½" iron rod found lying in the Southwest right-of-way line of Interstate Highway No. 35 E and the North boundary line of the tract of land conveyed to Minerva Partners, Ltd., by the deed recorded in Instrument No. 2004-163301, of the official Public Records of Denton County, Texas;

THENCE along the Southeasterly and South boundary line of said Corinth Economic Development Corporation Tract and the Town of Corinth Tract, with the North line of said Minerva Partners, Ltd. Tract, as follows:

S 47° 56' 03" W 93.62 feet, to a ½" iron rod marked "Brittain & Crawford" set;
S 47° 23' 48" W 478.92 feet, to a point on top of a manhole;

THENCE N 75° 06' 37" W 379.31 feet, to a ½" iron rod found;

THENCE S 76° 45' 21" W 255.77 feet, to a ½" iron rod marked "Brittain & Crawford" set at the Southwest corner of aforesaid Town of Corinth Tract, lying in the East right-of-way line of S. Corinth Street;

THENCE along the current West boundary line of said Town of Corinth Tract, the West boundary line of said Corinth Economic Development Corporation Tract, and the East right-of-way line of S. Corinth Street, as follows:

N 00° 21' 58" E 69.60 feet, to a ½" iron rod marked "Brittain & Crawford" set;

N 00° 23' 50" E 12.76 feet, to a ½" iron rod marked "Brittain & Crawford" set;

N 00° 10' 08" W 196.46 feet, to a ½" iron rod found at the Northwest corner of said Town of Corinth Tract and the Southwest corner of said Corinth Economic Development Corporation Tract;

N 00° 11' 53" W 625.17 feet, to a ½" iron rod found marked "R.P.L.S. 5687" at the beginning of a curve to the right;

NORTHEASTERLY 301.43 feet, along said curve to the right, having a radius of 510.00 feet, a central angle of 33° 51' 50", and a chord bearing N 16° 50' 08" E 297.06 feet, to a ½" iron rod marked "X" in concrete found at the end of said curve;

S 55° 16' 33" E 5.70 feet, to a ½" iron rod marked "Brittain & Crawford" set being the Southwest corner of the aforesaid tract of land conveyed to the City of Corinth, at the beginning of a curve to the right;

THENCE NORTHEASTERLY 142.10 feet, along said curve to the right, having a radius of 500.00 feet, a central angle of 16° 17' 10", and a chord bearing N 42° 55' 54" E 141.62 feet, to a ½" iron rod marked "Brittain & Crawford" set at the end of said curve and the beginning of another curve to the right, at the intersection of the East right-of-way line of S. Corinth Street and the Southwest right-of-way line of aforesaid Interstate Highway No. 35 E;

THENCE SOUTHEASTERLY 149.06 feet, along said curve to the right, having a radius of 95.00 feet, a central angle of 89° 54' 00, and a chord bearing S 83° 58' 36" E 134.23 feet, to a ½" iron rod marked "Brittain & Crawford" set at the end of said curve;

THENCE S 39° 01' 57" E 185.37 feet, along the Northeast boundary line of said City of Corinth Tract and the Southwest right-of-way line of Interstate Highway No. 35 E, to a ½" iron rod found marked "G&A" at the Southeast corner of said City of Corinth Tract;

THENCE continuing along the Northeast boundary line of said Corinth Economic Development Corporation Tract and the Southwest right-of-way line of Interstate Highway No. 35 E, as follows:

S 38° 29' 57" E 426.54 feet, to a Texas Department of Transportation monument found;

S 38° 51' 31" E 300.05 feet, to a ½" iron rod marked "G&A" found;

S 38° 33' 18" E 99.88 feet, to a Texas Department of Transportation monument found;

S 32° 12' 06" E 161.99 feet, to the POINT OF BEGINNING containing 20.859 acres (908,620 square feet) of land.

EXHIBIT "B"
CONCEPT PLAN

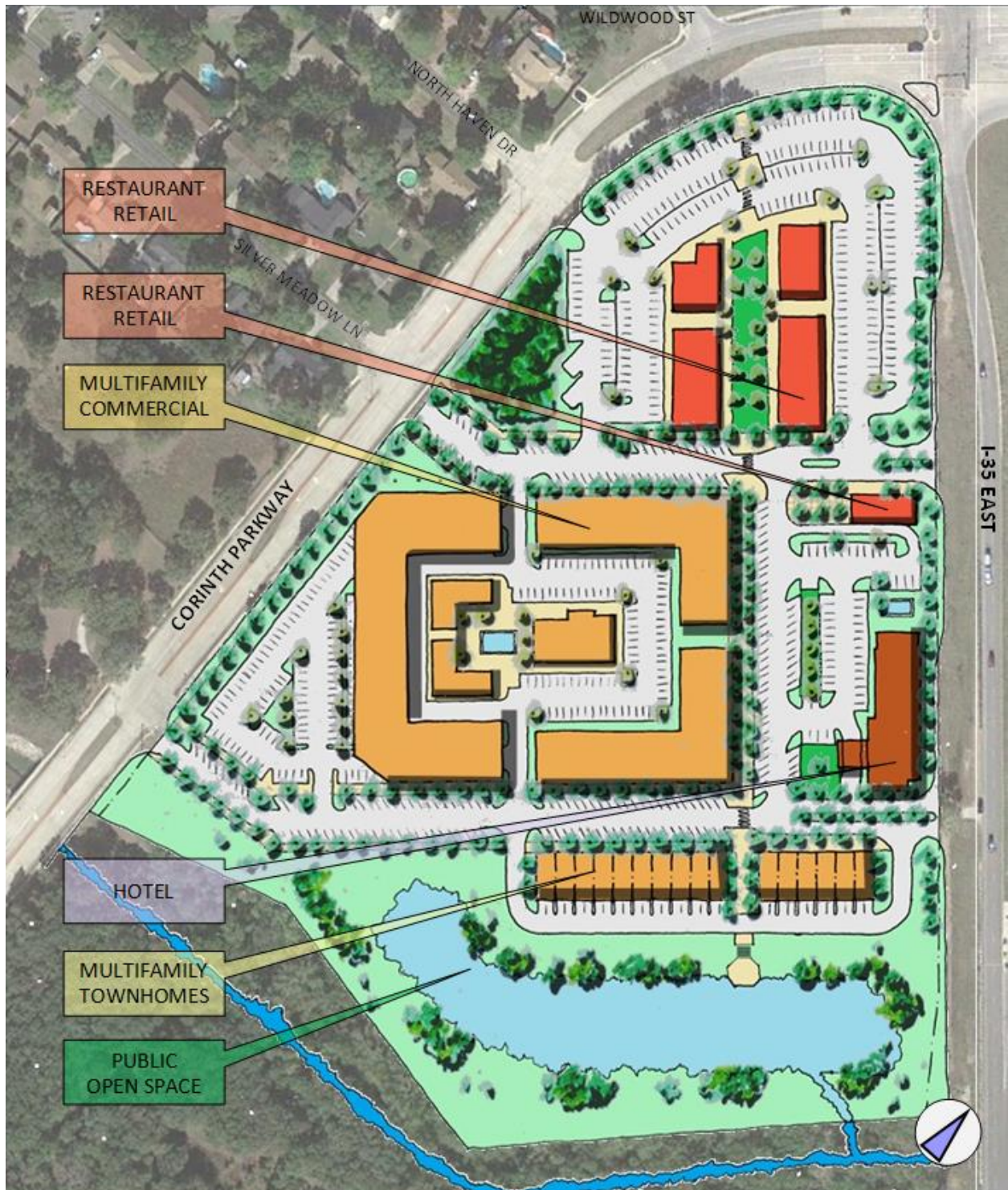
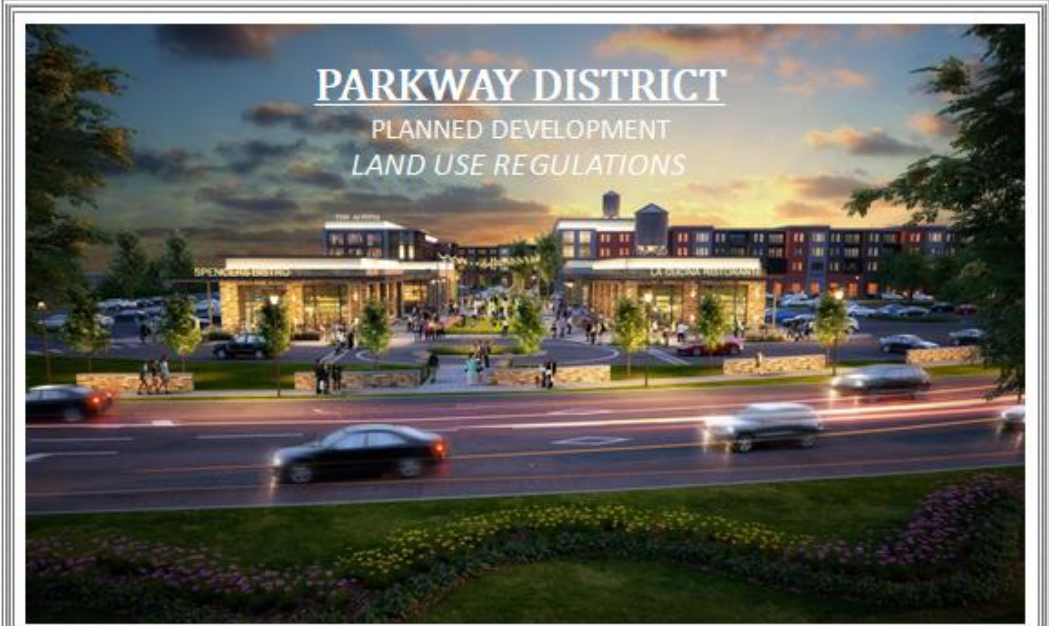


EXHIBIT "C"
LAND USE REGULATIONS



ISSUE DATE:
July 23, 2021

A DEVELOPMENT BY:
REALTY CAPITAL MANAGEMENT, LP
909 Lake Carolyn Parkway
Irving, TX 75039
469-533-4100

PLANNING BY:
Roaring Brook Development Co.
1701 Northwest Hwy, Ste 28
Grapevine, TX. 76051
817.706.8353

PARKWAY DISTRICT MIXED-USE DEVELOPMENT
CORINTH, TX

TABLE OF CONTENTS

SECTION 1	Administration
SECTION 2	General Regulations
SECTION 3	Streets Standards
SECTION 4	Parks and Open Space Standards
SECTION 5	Parking Standards
SECTION 6	Architecture Standards
SECTION 7	Signage Standards

SECTION 1: ADMINISTRATION

A) Applicability

The requirements of these Standards are mandatory and all development on land located within the boundaries of the Planned Development District must adhere to the rules and regulations set forth herein.

UDC, plus residential uses as restricted herein.

Except as specified in this PD, MX-C uses requiring an SUP under the UDC shall also require an SUP under this planned development ordinance unless specifically exempted in the Permitted Use Table.

B) Conflicting Regulations

Except as provided by these Standards, development within the Planned Development District is governed by City regulations. For any issues, regulations, or standards not directly or indirectly addressed by this Planned Development ordinance as written at the time of development for each tract, the UDC shall control. Building codes, life safety codes, and Federal and State regulations shall take precedence where a standard requires actions that are in conflict with this Planned Development ordinance.

E) Site Plan Conformance

The Applicant may submit a Site Plan for the entire PD District or any portion thereof, and may develop the Planned Development District in any order.

If the Site Plan is in Substantial Conformance to the Concept Plan, in accordance with UDC Section 2.10.08.B.2, the Site Plan may be approved administratively as set forth below.

C) Concept Plan

The Planned Development standards contained herein shall constitute the submittal of the PD Design Statement and the PD Concept Plan in accordance with Section 2.10.09 of the UDC.

F. Substantial Conformance:

Substantial Conformance shall mean that the Site Plans submitted are consistent with the standards and regulations contained herein, and any deviations from the figures and illustrations contained herein shall not differ by more than the ranges permitted in Section 2.10.09.D. of the Corinth UDC, and may be approved administratively.

The PD Concept Plan (See Figure 2.1) is, by definition, conceptual in nature, and the final site plan(s) may differ from the image depicted in Figure 2.1. Site Plans varying from the PD Concept Plan shall be evaluated in accordance with the standards provided for in Section 2.10.09.D of the Corinth UDC.

G. Site Plan Non-conformance

If the Site Plan is not in Substantial Conformance to the Concept Plan, then the Site Plan shall be subject to approval by the Planning and Zoning Commission and the City Council prior to applying for site construction and building permits as prescribed in Section 2.10.09.D.2. of the Corinth UDC. Minor PD Amendments or Minor PD Adjustments shall not constitute non-conformance, and minor adjustments may be approved administratively.

D) Permitted Uses

The Permitted Use Table (See Table 2.1) lists the permitted and prohibited uses within the Planned Development. The Permitted Uses shall include all the current permitted uses under the existing MX-C zoning uses listed in the Corinth

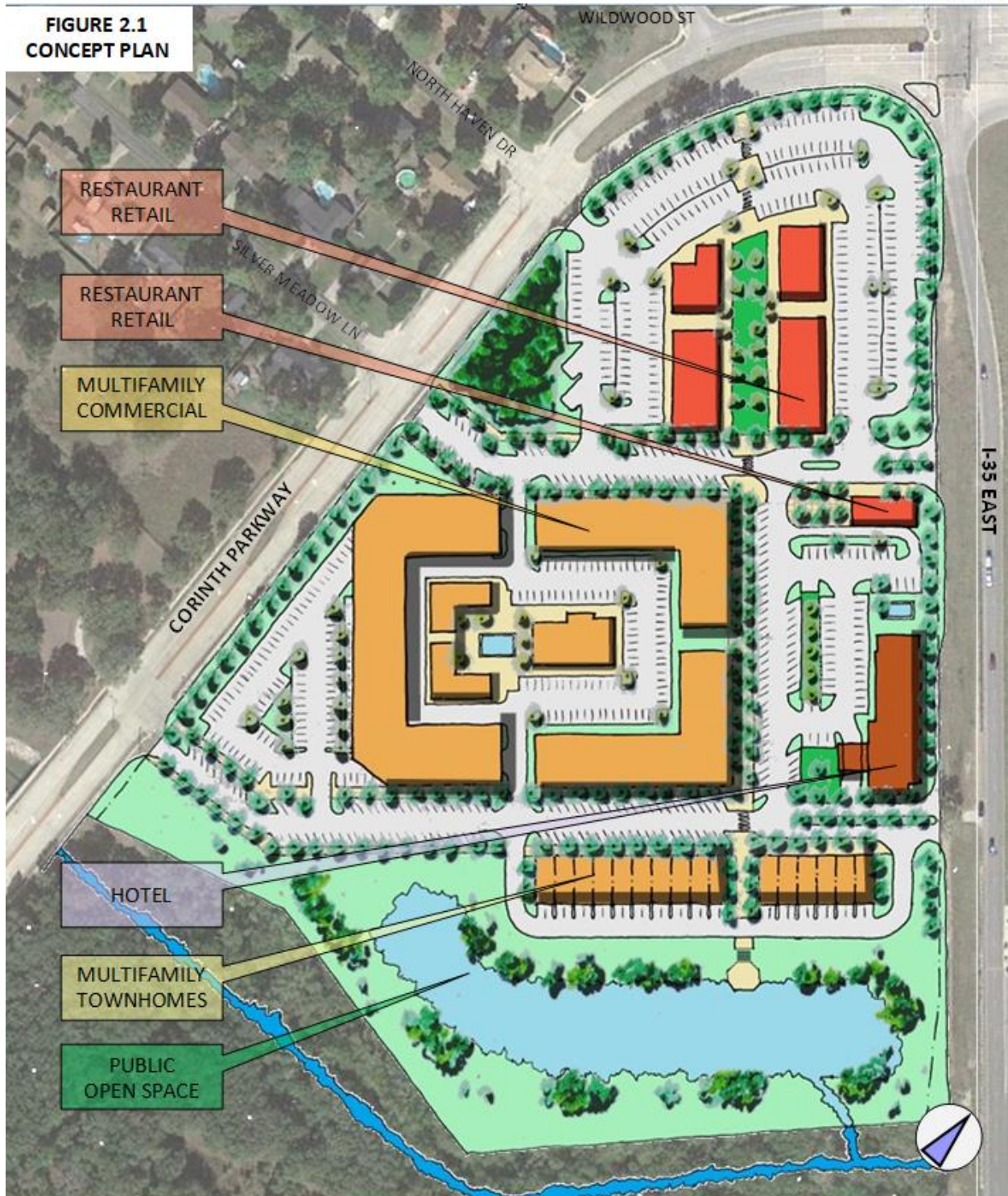
SECTION 2: GENERAL REGULATIONS

- A. General: The following tables and illustrations identify general regulations for all Blocks within the Planned Development District.
- B. The Regulating Plan in Figure 2.2, Permitted Use Table in Table 2.1, Concept Plan in Figure 2.1 and associated standards and the other sections of the Planned Development ordinance govern the following components of the development.
 - 1. See Table 2.2 for Lot Development Standards that define the minimum and maximum lot areas and/or dimensions.
 - 2. See Section 3 for allowable vehicular ingress and egress from the Planned Development District.
 - 3. See Section 3 for street standards within the Planned Development District.
 - 4. See Section 4 for Open Space, walkways, landscape, and tree standards.
 - 5. See Section 5 for Parking on-street, off-street and garage parking standards.
 - 6. See Section 6 for Architectural and building façade standards.
 - 7. See Section 7 for Signage standards.
- C. Regulating Plan Block A
 - 1. Block A: The area of Block A shall include approximately 4.3 acres, and shall include certain open spaces described in Section 4 herein, plus a minimum of 20,000 SF of restaurant floor area. Restaurants shall offer dine-in seating and full-meal entrees. No residential uses are permitted.
- D. Regulating Plan Block B
 - 1. Block B: The area of Block B shall include approximately 2.0 acres, and shall include a location for non-residential uses such as hospitality or retail.
 - 2. Full Service Hotel shall comply with Section 2.07.04.A.24 for Full Service hotels except as amended herein.
 - 3. Select Service Hotel, an additional use not included in the Corinth UDC, shall comply with Limited Service hotels, except as amended below:
 - a. The hotel shall provide a lobby with seating adjacent to the check-in area.
 - b. The hotel shall provide a bar or lounge area in addition to the lobby.
 - c. The hotel shall provide a covered seating area adjacent to the pool of at least 300 SF.
 - d. The hotel shall have a minimum of 80 guest rooms.
- E. Regulating Plan Block C
 - 1. Block C shall contain primarily Urban Residential dwelling units. See Table 2.1 for the maximum number of dwelling units permitted. The area shall include approximately 5 acres.
 - 2. Block C shall contain a minimum 2,500 square feet of commercial use on the ground floor of the multifamily building.
 - 3. The location and arrangement of parking and recreational amenities may differ from the Concept Plan provided that the building, or buildings, conform to the development standards of the Planned Development District.
 - 4. Residential units shall meet the following minimum areas: Efficiency units 550 sf; Average unit size 825 sf. An estimate of unit breakdown is shown on Table 5.3 as 10% efficiency units, 60% 1 bedroom units, and 30% 2 bedroom units.
- F. Regulating Plan Block D:
 - 1. Block D: The area of Block D contains Townhomes that may be attached, zero-lot line, detached, or may include multiple homes constructed on a single lot. Townhomes shall front onto Street B. Townhomes shall have a minimum of 1,200 sf. The area shall include approximately 1.8 acres.
- G. Block E
 - 1. Block E: The area of Block E shall contain a concrete walkway from Corinth Parkway to I-35E ROW, open space, wet detention, floodplain, and floodway. The area of Block E shall include approximately 4.3 acres, and may include some surface parking above the floodplain elevation for public use.

PARKWAY DISTRICT MIXED-USE DEVELOPMENT
CORINTH, TX

SECTION 2

**FIGURE 2.1
CONCEPT PLAN**



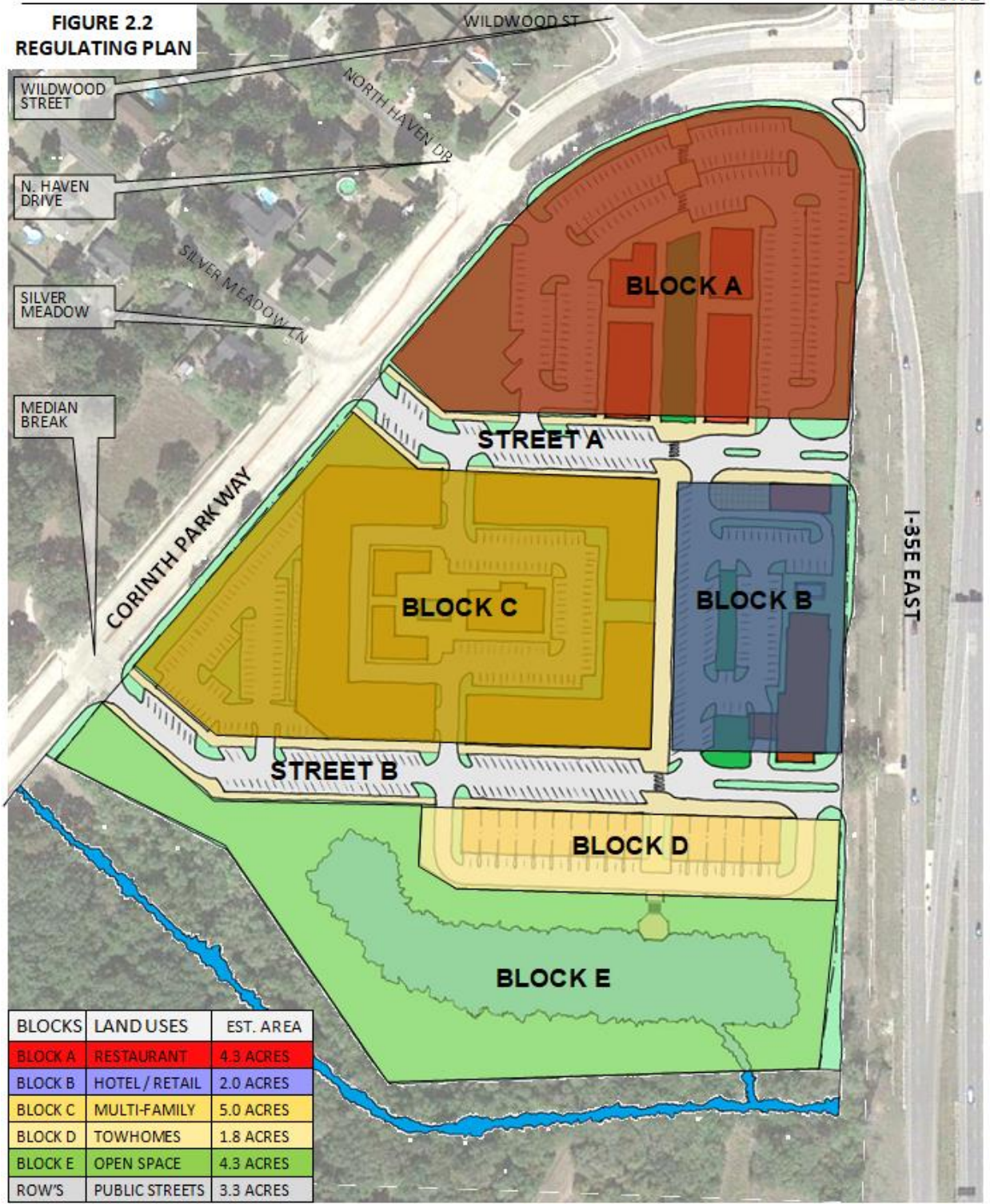
Planning by
Roaring Brook Development Co

REALTY CAPITAL MANAGEMENT, LLC
Dallas, TX

PARKWAY DISTRICT MIXED-USE DEVELOPMENT
 CORINTH, TX

SECTION 2

**FIGURE 2.2
 REGULATING PLAN**



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PARKWAY DISTRICT MIXED-USE DEVELOPMENT
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SECTION 2

TABLE 2.1 PERMITTED USE TABLE							
Legend for Use Chart		BLOCK A: RESTAURANTS	BLOCK B: HOTEL / RETAIL	BLOCK C: MULTIFAMILY	BLOCK D: TOWNHOMES	BLOCK E: OPEN SPACE	NOTES Note 1: Block D shall have no more than 25 Townhomes Note 2: Block C shall have no more than 327 dwelling units. Note 3: Single Family Townhomes are individually platted lots or a single lot Note 4: Multifamily includes multiple attached dwelling units on a single platted lot. Note 5: Block C and Block D: Commercial use shall be located on the ground floor of a multi-story building. Note 6: Full Service and Select Service Hotels are permitted uses in Block B. Limited Service Hotels are a prohibited use. See Section 2, Block B regulations for definitions.
P	Use is permitted in district indicated						
	Use is prohibited in district indicated						
S	Use is permitted in district upon approval of a 2.10.10. Specific Use Permit						
	Use is permitted (or permitted by SUP) if the use complies with conditional development standards or limitations in 2.07.04. Conditional Development Standards.						
§	Reference for Future Reference						
Residential Uses							
	Dwelling, Single Family (detached)			P		Note 1, 3	
	Dwelling, Single Family (attached - townhouse)			P		Note 1, 3	
	Dwelling, Multi-Family			P	P	Note 1, 2, 4	
Nonresidential Uses							
	Antique Shop	P	P	P			Note 5
	Art Gallery or Museum		P	P			Note 5
	Bank or Financial Institution		P	P			Note 5
	Barber, Beauty Shop or Personal Services		P	P			Note 5
	Book Store	P	P	P			Note 5
	Business Services	P	P	P			Note 5
	Caterer or Wedding Service	P	P				Only as part of restaurant or hotel facility
	Concrete Batching Plant, Temporary	P-C	P-C	P-C	P-C		
	Dance, Music, or Drama Studio	P	P				
	Educational Services Office	P	P	P			Note 5
	Farmer's Market	P	P			P	
	Food Truck	P-C	P-C			P	
	Home Based Business			P	P		
	Hotel, Full-Service or Select Service		P				Note 6: 'Full' and 'Select' permitted, 'Limited Service' prohibited
	Massage Therapy, Licensed		P	P			Note 5

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TABLE 2.1 PERMITTED USE TABLE CONTINUED							
Legend for Use Chart		BLOCK A: RESTAURANTS	BLOCK B: HOTEL / RETAIL	BLOCK C: MULTIFAMILY	BLOCK D: TOWNHOMES	BLOCK E: OPEN SPACE	NOTES
P	Use is permitted in district indicated						<p>Note 1: Block D shall have no more than 25 Townhomes</p> <p>Note 2: Block C shall have no more than 327 dwelling units.</p> <p>Note 3: Single Family Townhomes are individually platted lots or a single lot.</p> <p>Note 4: Multifamily includes multiple attached dwelling units on a single plat-ted lot.</p> <p>Note 5: Block C and Block D: Commer-cial use shall be located on the ground floor of a multi-story building.</p> <p>Note 6: Full Service and Select Service Hotels are permitted uses in Block B. Limited Service Hotels are a prohibited use. See Section 2, Block B regulations for definitions.</p>
	Use is prohibited in district indicated						
S	Use is permitted in district upon approval of a 2.10.10. Specific Use Permit						
	Use is permitted (or permitted by SUP) if the use complies with conditional development standards or limitations in 2.07.04. Conditional Development Standards.						
§	Reference for Future Reference						
Nonresidential Uses Continued							
	Medical Clinic		P				
	Movie Picture Theatre	P	P				Ancillary use only
	Office, Professional, Medical, or Business		S	P			Note 5
	Photographer's or Artist's Studio/Film Pro-cessing		P	P	P		Note 5
	Photovoltaic Systems (Attached)	P	P	P	P		
	Printing/Duplication Shop or Mailing Center		P	P			Note 5
	Public Building	P	P	P			Note 5
	Parking Garage	P	P	P			
	Restaurant without Drive-through Service	P	P	P			Note 5
	Restaurant with Drive-through Service (coffee shop pad site or similar establishment)		P				Maximum one stand alone coffee shop pad site or similar establishment only, or one in-line coffee shop within main structure.
	Restaurant with Drive-through Service		S				Maximum one stand alone pad site or one in-line within main structure other than coffee shop.
	Retail Stores and Shops	P	P	P			Note 5
	Temporary Building for New Construction	P-C	P-C	P-C	P-C	P-C	
	Tower/Antenna: TV, Radio, Microwave, Tele-phone, or Cellular	S	S	S	S		Co-Location with architectural feature required.
	Wedding Chapel, Reception Facility, Special Events Center	P	P				Only as part of a restaurant or hotel fac-ility.

PARKWAY DISTRICT MIXED-USE DEVELOPMENT
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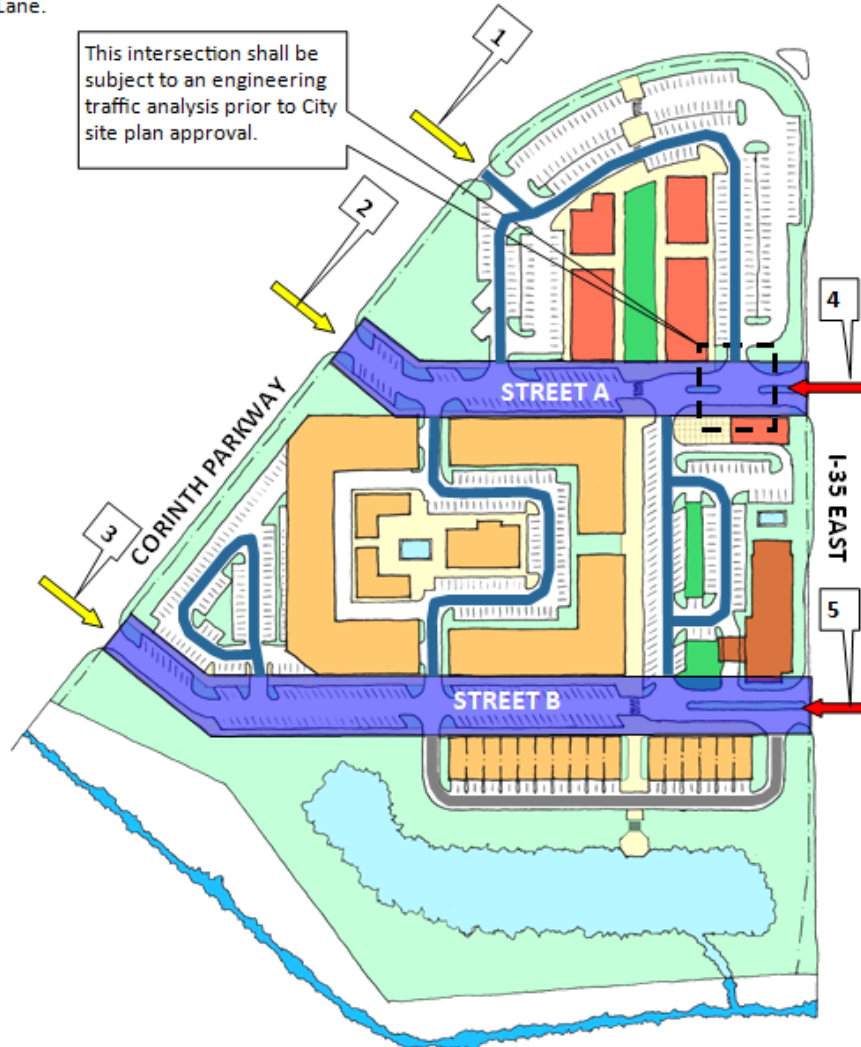
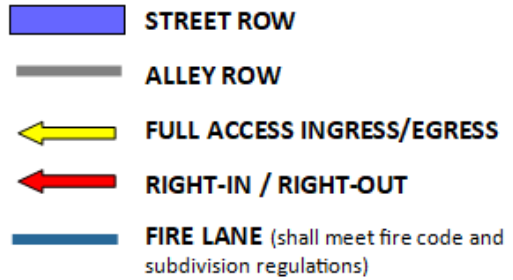
TABLE 2.2 LOT DEVELOPMENT STANDARDS					
	Block A	Block B	Block C	Block D	Block E
Open Space (Yard) Dimensions					
Minimum Front Yard Setback	0'	0'	5'	0'	N/A
Landscape Buffer, I-35E ROW	See Section 4.1G for buffer standards				
Landscape Buffer, Corinth Parkway	See Section 4.1G for buffer standards				
Landscape Buffer, Streets A & B	0'	0'	0'	0'	N/A
Minimum Side Yard Setback:					
Interior Lot	0'	0'	5'	0'	N/A
Corner Lot	0'	0'	5'	10'	N/A
Minimum Rear Yard Setback	0'	0'	5'	3'	N/A
Minimum Alley Garage Door Setback				3' or 20' ¹	
Lot Dimensions					
Minimum Lot Area	4,000 sq. ft.	4,000 sq. ft.	40,000 sq. ft.	1,980 sq. ft.	N/A
Maximum Single Family Lot Area				3,000 sq. ft.	
Minimum Lot Width	50'	50'	150'	22'	N/A
Minimum Lot Depth	80'	80'	150'	60'	N/A
Structure Height					
Maximum Height (stories/feet)	2½ Stories/40' or SUP	6 Stories/85' or SUP	5 Stories/75' or SUP	3 Stories/ 38' or SUP	N/A
Building Area Coverage					
Maximum Building Area (all buildings)	90%	90%	90%	75%	N/A

¹: To ensure that townhomes have either adequate parking or no parking adjacent to the alley.

SECTION 3: STREET STANDARDS

- A. General: The Parkway District development is based on an urban block structure. The streets defining the blocks are permitted some flexibility to accommodate final site plan design. The tables and illustrations identify standards for streets, parkways, sidewalks, and street trees.
- B. Conceptual Vehicular Street Network (See Figure 3.1): The Figure illustrates the proposed street network within the Planned Development District.
- C. The maximum number of access drives to the site from Corinth Parkway is 3 ingress/egress drives.
 1. Drive 1 shall align with North Haven Drive.
 2. Drive 2 (Street A) shall align with Silver Meadow Lane.
 3. Drive 3 (Street B) shall align with the existing median break south of Silver Meadow Lane.
- D. The maximum number of access drives to the site from I-35E is 2 ingress drives.
 1. Drive 4 (Street A) shall be located beyond the "Access Denial" zone established by TXDOT.
 2. Drive 5 (Street B) shall meet or exceed the required 250' minimum spacing from Street A established by TXDOT.
- E. Fire Lanes, access drives, access locations, loading zones, and turning radii, shall be subject to review and approval in each Site Plan application.
- F. Driveway spacing off Streets A and B shall not be less than 36'. Driveway spacing from perimeter arterials shall not be less than 30'.
- G. Curves on Streets A and B shall not have a centerline radius of curvature less than 50'.
- H. Residential Alley: See Figure 3.5.
- I. Fire Lanes: Subject to Fire Dept approval at Site Plan application.
- J. Access drive configuration from the I-35-E frontage road and the driveway access from Streets A and B shall be subject to City review and approval.
- K. Crosswalks at Streets A & B adjacent to the promenade (Walkway 2) shall be raised to the height of the top of the curb.

**FIGURE 3.1
STREET PLAN**

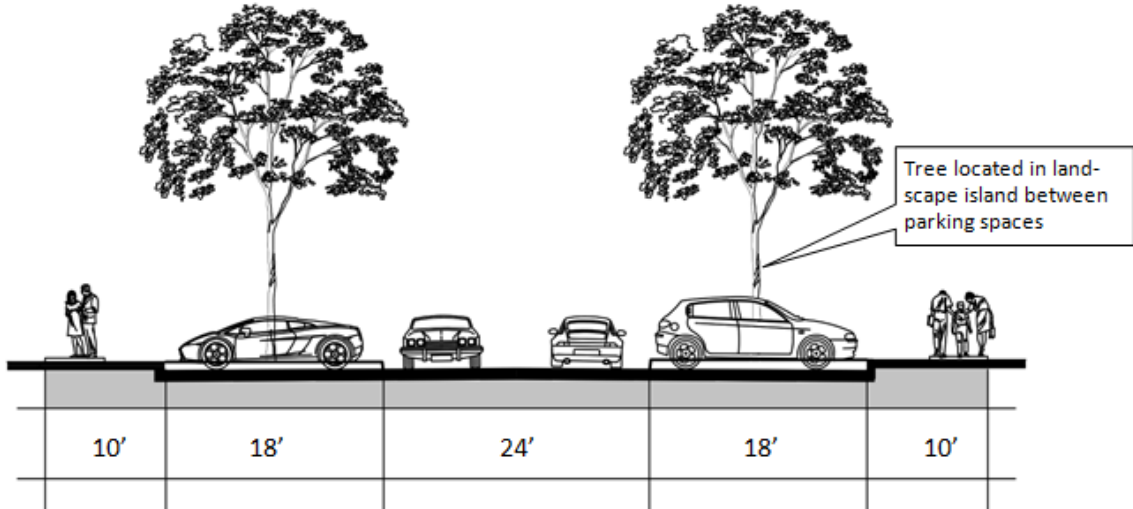
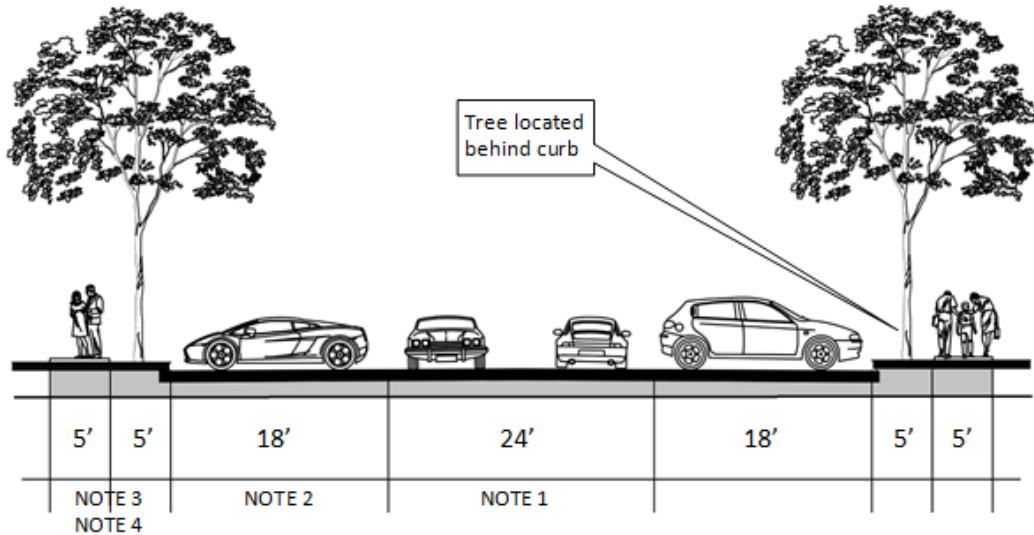


PARKWAY DISTRICT MIXED-USE DEVELOPMENT
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FIGURE 3.2
URBAN COMMERCIAL STREET SECTIONS WEST OF OS-2; STREET A & STREET B

Street Classification	Minimum R.O.W.	Roadway Width (Overall to Front of Curb)	Number of Lanes and Width	Parking	Number of Parkways and Width
Urban Commercial 1	80'	60'	2—12'	Head-in	2—10'



- NOTE 1: Minimum width of travel lanes is 24'. If adjacent to buildings 4 or more stories in height, minimum width is 26'
- NOTE 2: Angled-in parking spaces are permitted. See Figure 5.1 for parking space dimensions. On-street parking may be located along all or any portion of the length of the street.
- NOTE 3: Street Trees may be located behind the curb or in landscape islands between parking spaces. See Section 4 for Street Tree planting standards. Dimension shown indicates the minimum width for tree planting.
- NOTE 4: Sidewalks are required within the right-of-way and shall be a minimum of 5' in width.
- NOTE 5: Inflections in street direction may be treated as corners (minimum 50' centerline radius) versus curves (250' radius).
- NOTE 6: Minimum interior turning radius is 26'.

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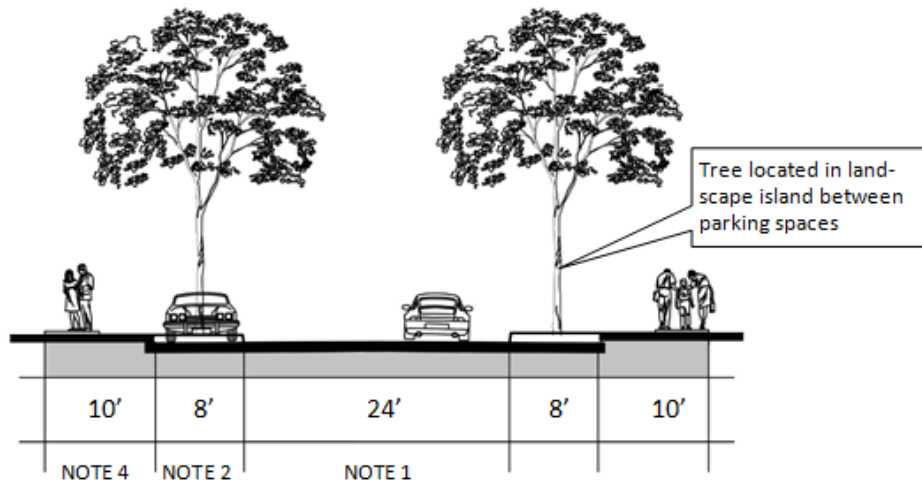
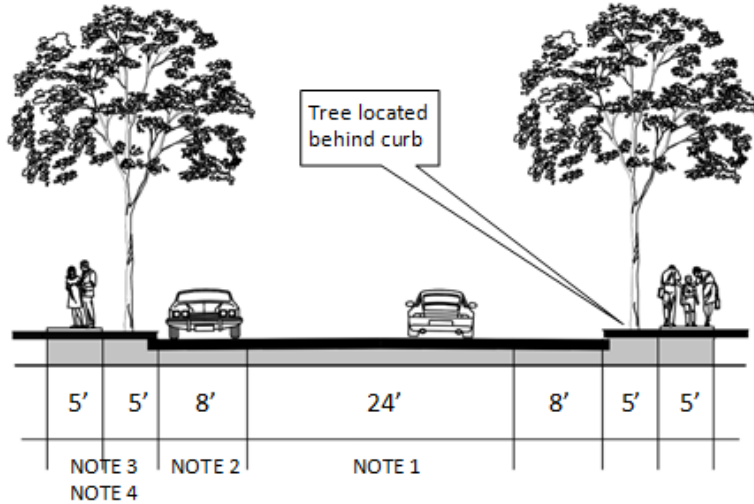
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PARKWAY DISTRICT MIXED-USE DEVELOPMENT
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SECTION 3

FIGURE 3.3
URBAN RESIDENTIAL STREET SECTIONS WEST OF OS-2, STREET A & STREET B

Street Classification	Minimum R.O.W.	Roadway Width (Overall to Front of Curb)	Number of Lanes and Width	Parking	Number of Parkways and Width
Urban Residential	60'	40'	2—12'	Parallel	2—10'



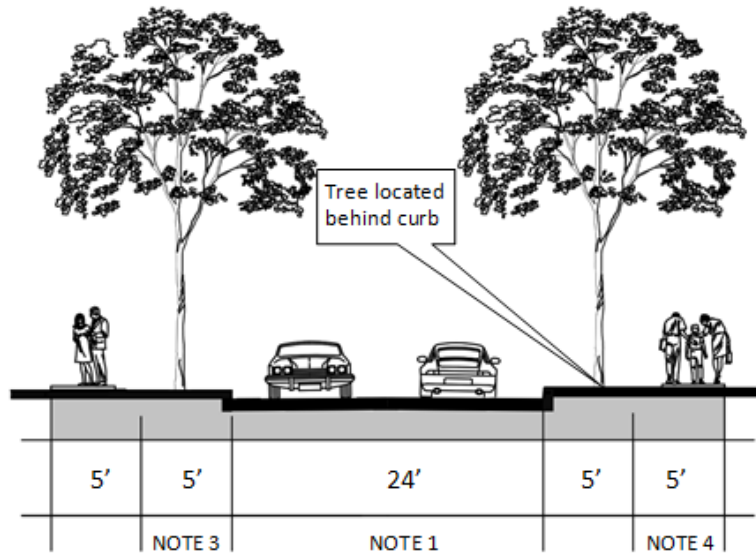
- NOTE 1: Minimum width of travel lanes is 24'. If adjacent to buildings 4 or more stories in height, minimum width is 26'
- NOTE 2: Parallel parking spaces are permitted. See Figure 5.1 for parking space dimensions. On-street parking may be located along all or any portion of the length of the street.
- NOTE 3: Street Trees may be located behind the curb or in landscape islands between parking spaces. See Section 4 for Street Tree planting standards. Dimension shown indicates the minimum width for tree planting.
- NOTE 4: Sidewalks are required within the right-of-way and shall be a minimum of 5' in width.
- NOTE 5: Inflections in street direction may be treated as corners (minimum 50' centerline radius) versus curves (250' radius).
- NOTE 6: Minimum interior turning radius is 26'.

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FIGURE 3.4
URBAN COMMERCIAL ALTERNATE STREET SECTION WEST OF OS-2

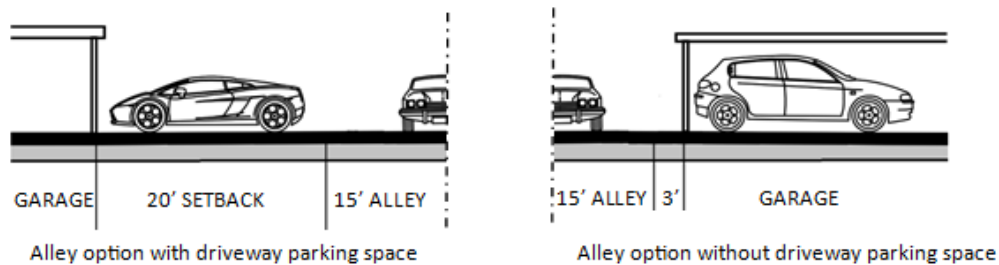
Street Classification	Minimum R.O.W.	Roadway Width (Overall to Front of Curb)	Number of Lanes and Width	Parking	Number of Parkways and Width
Urban Commercial Alt	44'	24'	2—12'	None	2—10'



- NOTE 1: Minimum width of travel lanes is 24'. If adjacent to buildings 4 or more stories in height, minimum width is 26'
- NOTE 2: On-street parking spaces are not permitted.
- NOTE 3: Street Trees shall be located behind the curb. See Section 4 for Street Tree planting standards.
- NOTE 4: Sidewalks are required within the right-of-way and shall be a minimum of 5' in width.

FIGURE 3.5
RESIDENTIAL ALLEY SECTION

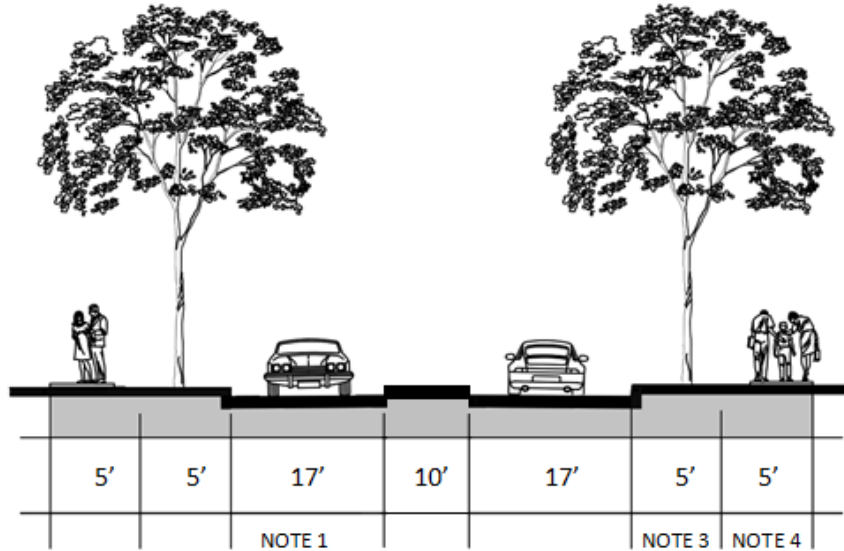
Street Classification	Minimum R.O.W.	Roadway Width (Overall Paving width)	Number of Lanes and Width	Parking	Number of Parkways and Widths
Residential Alley	15'	15'	1—15'	None	NA



Residential Alley to be used only with Single Family/TH lots. Multifamily shall use standard fire lanes.

FIGURE 3.6
URBAN COMMERCIAL ALTERNATIVE EAST OF OS-2 CONNECTING TO I-35E FRONTAGE ROAD

<i>Street Classification</i>	<i>Minimum R.O.W.</i>	<i>Roadway Width (Overall to Front of Curb)</i>	<i>Number of Lanes and Width</i>	<i>Parking</i>	<i>Number of Parkways and Width</i>
Urban Commercial Alt	64'	16' each way	2—16'	None	2—10'



NOTE 1: Minimum width of travel lanes is 16' F-F or 17' B-B. Width does not require additional width adjacent to buildings 4 stories or taller.

NOTE 2: On-street parking spaces are not permitted.

NOTE 3: Street Trees shall be located behind the curb. See Section 4 for Street Tree planting standards.

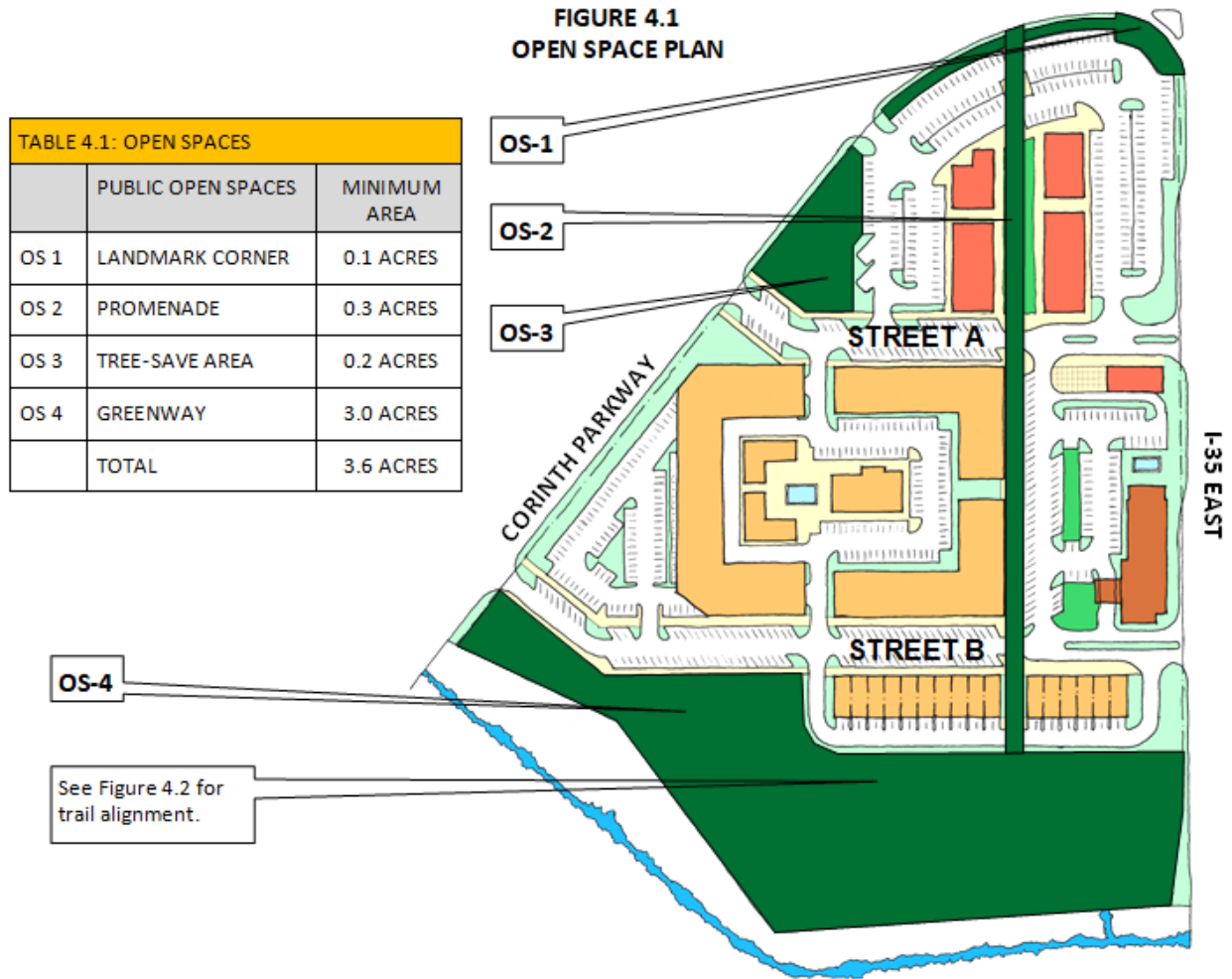
NOTE 4: Sidewalks are required within the right-of-way and shall be a minimum of 5' in width.

SECTION 4: PARKS AND OPEN SPACE STANDARDS

4.1 General Park and Open space standards

- A. **General:** The Planned Development District provides both public and private open space in order to ensure adequate outdoor recreational and aesthetic amenities for the residents. Private open space is not included in open space tabulations. The Public Open Spaces shall equal or exceed 10% of the gross area of the Planned Development District.
- B. **The Public Open Space** shall consist of a number of outdoor spaces that shall comply with the minimum standards and requirements herein. The following open spaces labelled as OS 1 through OS 3 are public open spaces owned and maintained privately but open to the public. OS 4 shall be public but may be owned and maintained privately or publicly.

- C. **OS 1 Landmark Corner:** The Landmark Corner shall be located in Block A and shall be contiguous to the intersection of Corinth Parkway and I-35E ROW. It shall be a minimum of 0.1 acres. OS 1 shall provide a walkway that connects the crosswalk at the intersection of Corinth Parkway and I-35E ROW to OS 2. An area shall be allocated for the use of the City to install signage, by entities other than Applicant, in coordination with the Applicant's Site Plan process.
- D. **OS 2 Promenade:** The Promenade shall extend from the northern boundary of Block A to the southern boundary of Block D, excluding parking lots and street ROW's. Within Block A, OS-2 shall include the restaurant courtyard which may contain outdoor dining areas and shall contain a minimum of 4 canopy trees, pedestrian lighting, paved walkways,



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and visual access to outdoor dining areas. Within Block C, OS-2 shall be a minimum of 24' in width with a minimum of 12' of pavement and shall include a double row of trees spaced approximately 30' on staggered centers, and shall also include pedestrian lighting spaced a maximum of 60' on center. Within Block D, OS-2 shall include a walkway 8' minimum in width and pedestrian lighting and shall pass between the residential units to connect with the walkway in OS-4.

- E. **OS 3 Tree Save Area:** The open space shall include a tree-save area within the open space area. OS 3 shall be a minimum of 0.2 acres. Unprotected trees and undergrowth may be cleared to create a more park-like atmosphere. Monument signage is permitted within OS 3.
- F. **OS 4 Greenway:** The Greenway shall include a pedestrian walkway with benches, a minimum of 10,000 sf of land accessible from the walkway with slopes less than 5%, and may include a detention area, and a tree-save area. Developer shall use best efforts to preserve existing trees along the floodway and within Block E during the floodplain reclamation construction. Perimeter trees may be placed along the alley/parking lot boundary at the rate of 1 tree for each 30' buffering the boundary between Block D and OS-4. Trees may be clustered. The detention area may include retaining walls.

G. Landscape Buffers

1. Corinth Parkway, Block A: Minimum width shall be 15'. Trees shall be planted at the rate of 50' o.c. Shrubbery or ornamental grasses shall be planted as a continuous screen to a mature height of approximately 30" and/or a stone wall to a minimum height of 30" matching the stone and the detailing of the stone wall on Block C.
2. Corinth Parkway, Block C: Minimum width shall be 20'. A berm averaging a height of 30 inches, shall be planted with trees planted at the rate of one tree for every 50' but trees may be planted in clusters. Shrubbery or ornamental grasses planted at the rate of one 3 gallon shrub every 20' but may be planted in clusters; a minimum of 500 SF ground cover. Provide a stone wall on at least 25% of the frontage with a minimum average height of 30". Stonework to match the stone wall on Block A.
3. Corinth Parkway, Block E: No buffer shall be required.
4. I-35E, Block A: Minimum width shall be 10' and average width shall be 12'. The sidewalk shall comply with the walkway plan, trees shall be planted approximately 50' o.c., provided they do not interfere with the waterline easement, or with visibility triangles.
5. I-35E, Block B: Minimum width shall be 15'. Sidewalk shall comply with the walkway plan, trees shall be planted approximately 50' o.c., provided they do not interfere with the waterline easement or the visibility

triangles. Plant shrubbery as a continuous hedge to a minimum height of 3' at maturity adjacent to parking.

6. I-35E, Block D: Sidewalk shall comply with the walkway plan, trees shall be planted approximately 50' o.c., provided they do not interfere with the waterline easement. Trees may be clustered.
7. I-35E, Block E: No buffer shall be required.
8. Buffers adjacent to parking lots shall include a continuous shrubbery screen or wall to a minimum height of 30"

4.2: Trees

- A. **General:** The Planned Development District shall have preserved trees in the Tree-Save areas and newly planted trees in the street ROW's, in the parks and open spaces, and in the parking lots.
- B. **Tree Inventory:** The urban format of the development necessarily requires re-creating a new tree canopy that conforms to the development pattern of buildings, streets, urban parks and walkways. Since this is predominantly reclaimed land, most trees will need to be replaced with newly planted trees, consequently, the PD District shall be exempt from the Tree Preservation Ordinance 2.09.02.
- C. **Species:** Acceptable tree species and other planting material shall comply with species approved by the UDC.
- D. **Minimum Size:** The minimum size trunk diameter of newly planted trees shall be 3" (three inches).
- E. **Minimum Tree Planter:** The minimum size for a tree planter, whether a parking lot island or a street tree planting well, shall be 4'-6" in width. A root barrier shall be required adjacent to public streets. A smaller tree well may be approved by staff upon review and approval of plans, details, and specifications.
- F. **Tree-save areas** shall be subject to protection during construction, limiting grading within the dripline of preserved trees and prohibiting construction traffic and staging within tree-save areas. Tree-save areas shall preserve natural grade per UDC.

TABLE 4.2: MINIMUM TREE PLANTING TABLE	
LOCATION	MINIMUM TREE PLANTING
STREETS	1 TREE/50' MAXIMUM SPACING
PARKING LOTS	1 TREE / 10 PARKING SPACES
OS 1	4 TREES MINIMUM
OS-2	PLANTING PER PARAGRAPH 5.1.D
OS-3	NO ADDITIONAL PLANTING REQUIRED
OS-4	PLANTING PER PARAGRAPH 5.1.F

PARKWAY DISTRICT MIXED-USE DEVELOPMENT
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FIGURE 4.2
WALKWAY PLAN

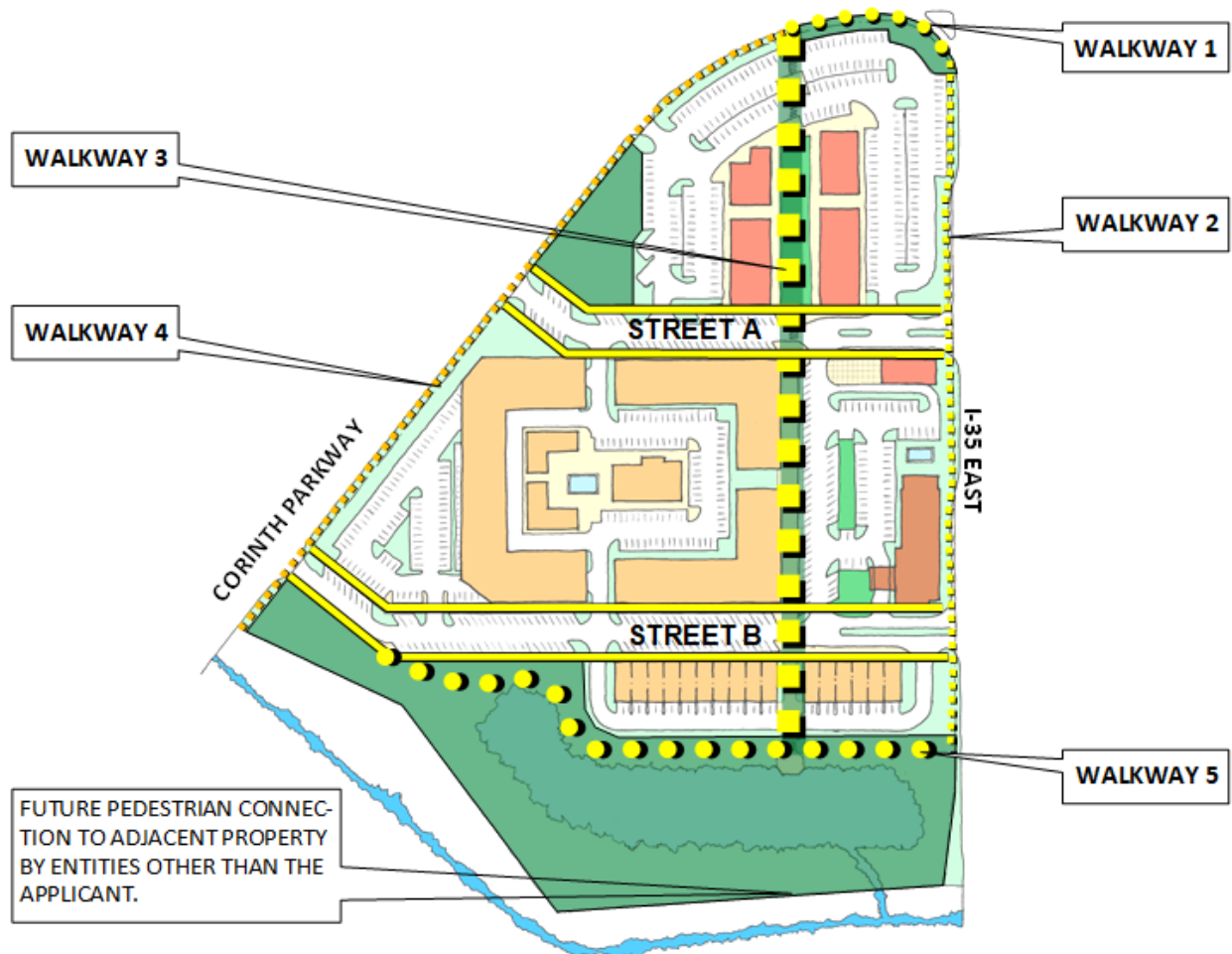


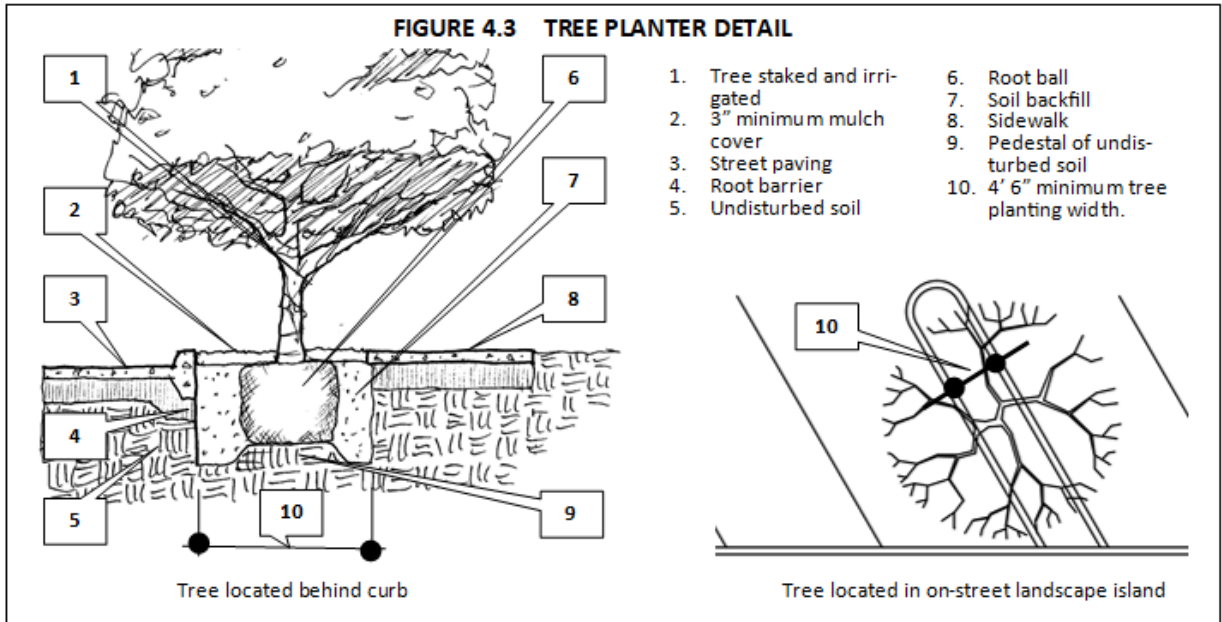
TABLE 4.3: TRAILS AND SIDEWALKS			
	OPEN SPACES	MINIMUM WIDTH	LEGEND
WALKWAY 1	SIDEWALK CONNECTING I-35E INTERSECTION WITH OS-2 WALKWAY	5'	●●●●●●●●
WALKWAY 2	REQUIRED SIDEWALK ADJACENT TO I-35E	5'	●●●●●●●●
WALKWAY 3	PROMENADE FROM CORINTH PARKWAY TO OS-4	12'	■ ■ ■ ■ ■ ■ ■ ■
WALKWAY 4	EXISTING SIDEWALK ON CORINTH PARKWAY	NA	●●●●●●●●
WALKWAY 5	GREENWAY WALKWAY FROM CORINTH PARKWAY TO I-35E	6'	●●●●●●
	SIDEWALKS ON STREET A AND STREET B	5'	—————

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SECTION 4



SECTION 5: PARKING STANDARDS

- A. Parking spaces for persons with disabilities shall be provided in the number and with such dimensions as are required by the Texas Accessibility Standards.
- B. The parking requirement may be reduced by the Planning and Development Director upon the submittal of a parking demand calculation by a licensed Texas Engineer.
- C. Dimensions. The minimum required dimensions of parking spaces and aisles shall be as indicated in this Section 5, Table 5.2.
- D. On-Street Parking: On-street parking may be counted toward required parking. No on-street parking space may be counted toward more than one platted lot, without submitting a shared parking study and a shared parking agreement for approval.
- E. Parking may be shared across commercial blocks.
- F. Covered Parking: Carports shall comply with the regulations governing building materials. Carports of metal construction are permitted, but may not be located within sight of public streets, or anywhere within Block D.
- G. Structured Parking: The parking facility may be visible from public streets provided that building materials conform to Section 6 of these standards. Glass shall not be required, but walls shall be designed to screen parked cars to a height of 42 inches above each finished floor level.
- H. Parking Lot Trees: Trees shall be planted in surface parking lots in accordance with Table 4.2.

TABLE 5.1 MINIMUM REQUIRED PARKING	
OCCUPANCY / USE	MINIMUM REQUIRED PARKING
General Retail	1 space per 250 sq ft
General Office	1 space per 350 sq ft
Restaurants	1 space per 100 sq ft
Urban Lofts	1.45 spaces per Dwelling Unit
Townhomes	2 enclosed garage spaces per Unit
Hotel	1 spaces per guestroom plus 5% for staff

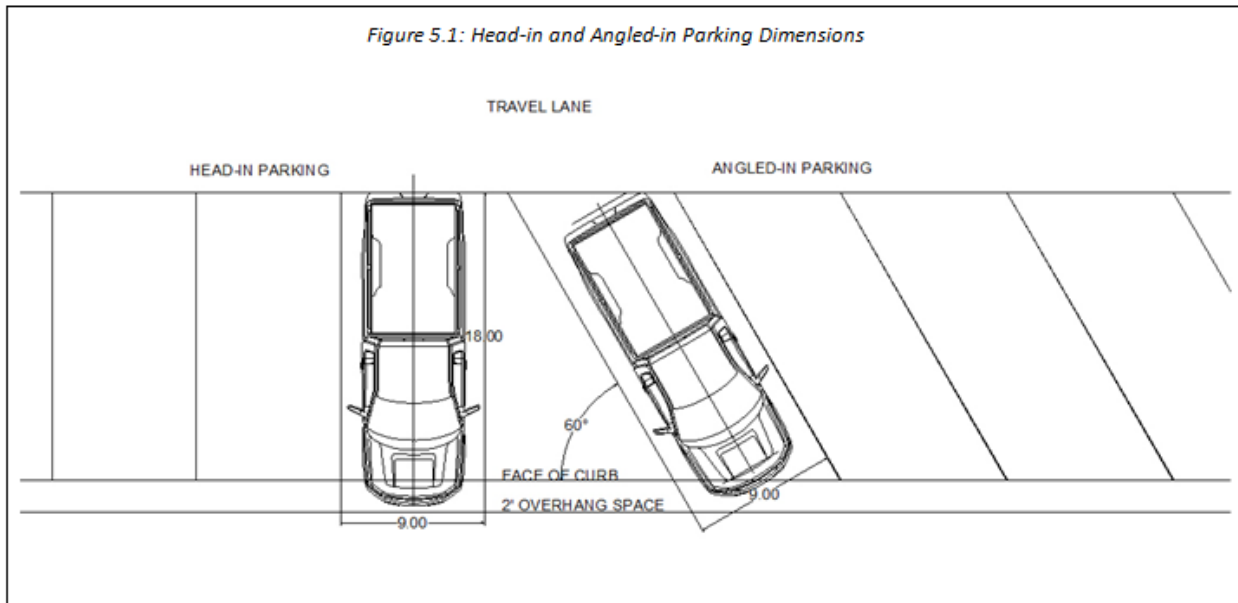
TABLE 5.2 PARKING STANDARDS		
PARKING TYPE	PARKING STANDARD	COMMENT
ON-STREET PARKING:		
Parallel Parking:	8' x 22' min	From Face of Curb
Angled-in Parking	See Figure 6.1	Angle = 60° from Curb
Head-in Parking	9' x 18'	Angle = 90° from Curb
PARKING LOTS		
Parking Space, Typical	9' x 18'	Accessible spaces comply w ADA
Aisle Width	24' min	
Landscape Requirements		1 tree per 10 spaces average
Tandem Spaces	9' x 18'	Only behind associated garage space for same tenant
GARAGES		
"Tuck-under" Garage Spaces	9' x 20' Min	Within Building Envelope
Tuck-under" Garage Doors		Garage Doors Required
Carport Spaces	9' x 18'	Not readily visible from public street

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TABLE 5.3 PARKING TABULATION (See Figure 3.2 for Land Use Inventory Acreage)							
Quantities are estimates and do not represent minimum or maximum units.	BLOCKS					LAND USE TOTALS	PARKING REQUIRED
	A	B	C	D	E		
URBAN RESIDENTIAL LOFTS (# OF UNITS) ESTIMATED UNIT COUNT & UNIT MIX: EFFICENCY 10%, 1 BEDROOM 60%; 2 BEDROOM 30%,			327			327	474
TOWNHOMES				25			50
HOTEL (ESTIMATED GUESTROOMS)		80				80	84
RESTAURANTS (ESTIMATED AREA)	20,000	2,000				22,000	220
OFFICE (ESTIMATED AREA)		0	2,500			2,500	8
TOTAL REQUIRED PARKING	200	104	474	50	0		836

PARKING PROVIDED SHALL MEET OR EXCEED THE REQUIRED PARKING.



SECTION 6: ARCHITECTURAL STANDARDS

- A. General: The following general regulations for all Blocks within the Planned Development District.
- B. The purpose of the architectural and building regulations is to establish the highest development standards fronting public streets, and to allow greater flexibility where the buildings are not visible to the public.
- C. Since the Planned Development standards do not include detailed engineering plans, any architectural elements that are required by engineering due to grading, such as retaining walls or stem walls, shall be permitted, and shall be brick or stone where visible. Retaining walls shall be engineered per UDC.
- D. If an exterior material is not addressed in Table 6.1, or if a new material is proposed, the material may be submitted to the Planning and Development Director for an evaluation. If it complies with the UDC, it may be approved administratively.
- E. Windows shall be recessed 3" from the wall plane in brick or stone masonry walls. In stucco walls, windows shall have a minimum half inch projecting trim around the head, sill, and jambs.
- F. Street Frontage
1. No vehicular gates, carports, or perimeter fences are permitted to obstruct the flow of traffic on Street A or Street B. Carports, garage doors, and parking lots shall not be located between the building and the street ROW. Carports will only be permitted on the internal areas of Block C and immediately west of the main structure. Carports will not be permitted on the 1st row of parking along Corinth Parkway.
 2. AC equipment and other mechanical equipment shall not be located between the building façade and any public street ROW.
 3. Block C Upper Floors shall provide a minimum of 25% of the residential units with balconies.
 4. Façade materials shall comply with Table 6.1.
- G. Materials: Three Step Stucco shall be included in Class 1 materials, which shall not include synthetic stucco or EIFS except for decorative trim. Cementitious Siding shall be included in Class 2 materials.
- H. The color palette for building walls that are not composed of brick or stone shall be neutral colors such as cream, taupe, white or earthen colors, unless approved administratively per UDC. This color palette shall not apply to signage.
- I. Commercial Storefronts shall include a minimum of 50% glass of the ground floor commercial frontage. The wall area shall be calculated by multiplying the length of the building frontage by the height from the finished interior floor to the finished ceiling. The glass area shall include window jambs, window heads, and window sills. Storefront windows shall have bulkheads beneath the windows not less than 18" above finished floor and not greater than 36" above finished floor. This paragraph shall apply to commercial space in Block C; it shall not apply to restaurants or hotels in Blocks A & B.
- J. BUILDING C1 (Figure 6.1): Ground floor residential units fronting Street A shall have a minimum of 50% of ground floor residential units with stoops and front doors opening onto the public street although primary access by be either from the sidewalk or from an interior corridor. The 4th floor located at the corner of Street A and the promenade (Walkway 2) shall include specialty architectural treatment: this may include additional glass, an identifying tower, an articulated roofline, or other signature treatment.
- K. BUILDING C2 (Figure 6.1): Ground floor residential units fronting Street B shall have a minimum of 50% of ground floor residential units with stoops and front doors opening onto the public street.
- L. Residential units in Block D shall have individual entry doors fronting on Street B. Front facades shall at least two of the following architectural features: 1) Elevated stoop, 2) Front Porch, 3) Covered Portico, 4) Recessed entry alcove.
- M. Residential Units in Block D shall have carriage style garage doors on any garages facing a public open space.
- N. Residential Units in Block D shall have roof pitches not less than 8:12 Pitch.
- O. Wall and ground utilities shall be screened from street view with landscaping or fencing.
- P. Fire Safety Notes
1. Any building 6,000sqft or greater, all multi-living (more than 2) facilities, and A2 with an occupant load exceeding 100 people must be sprinklered and monitored with a fire alarm system.
 2. Any building that is under 6,000sqft, divided into suites will require Fire Alarm Coverage.
 3. Parking garage must have stand-pipe and may be require to be sprinklered.
 4. All buildings may require Emergency Radio Responder Communication Coverage.
 5. Fire lanes must be a minimum of 24ft wide and a minimum of 26ft wide for buildings or facilities exceeding three stories in height and shall not have fewer than 2 means of fire apparatus access to each structure.

PARKWAY DISTRICT MIXED-USE DEVELOPMENT
CORINTH, TX

SECTION 6

TABLE 6.1 MATERIAL BUILDING STANDARDS		
ITEM	FACADE A	FACADE B
FACADE MATERIALS - GROUND FLOOR		
GROUND FL MASONRY, MINIMUM	90% CLASS 1**	90% CLASS 2**
FACADE MATERIALS - 2ND FLOOR AND ABOVE FLOOR		
MASONRY MINIMUM	90% CLASS 1**	90% CLASS 2**
CEMENTIOUS SIDING, maximum	10% *	n/a
METAL, maximum	10%	10%
WOOD, maximum	10%	10%
EIFS, maximum	10%	10%
EXPOSED CMU	N	N
EXPOSED AGGREGATE	N	N
* Cementitious Siding permitted on recessed balconies in addition to minimum percentage.		
** Corinth UDC Section 5.02.214: Masonry Construction—as modified by Paragraph 6.G		
Class 1: Masonry Construction shall include the following exterior construction materials: fired brick, natural and manufactured stone, granite, and marble, plus 3-step Stucco .		
Class 2: Masonry Construction shall include the following exterior construction materials: all Class 1 Masonry Construction, architectural concrete block, 3-step stucco process, and tilt wall concrete panels, plus cementitious siding .		
Class 3: Masonry Construction shall include the following exterior construction materials: all Class 1 Masonry Construction, Class 2 Masonry Construction, EIFS, and sealed and painted concrete block.		



Examples of townhome stoops

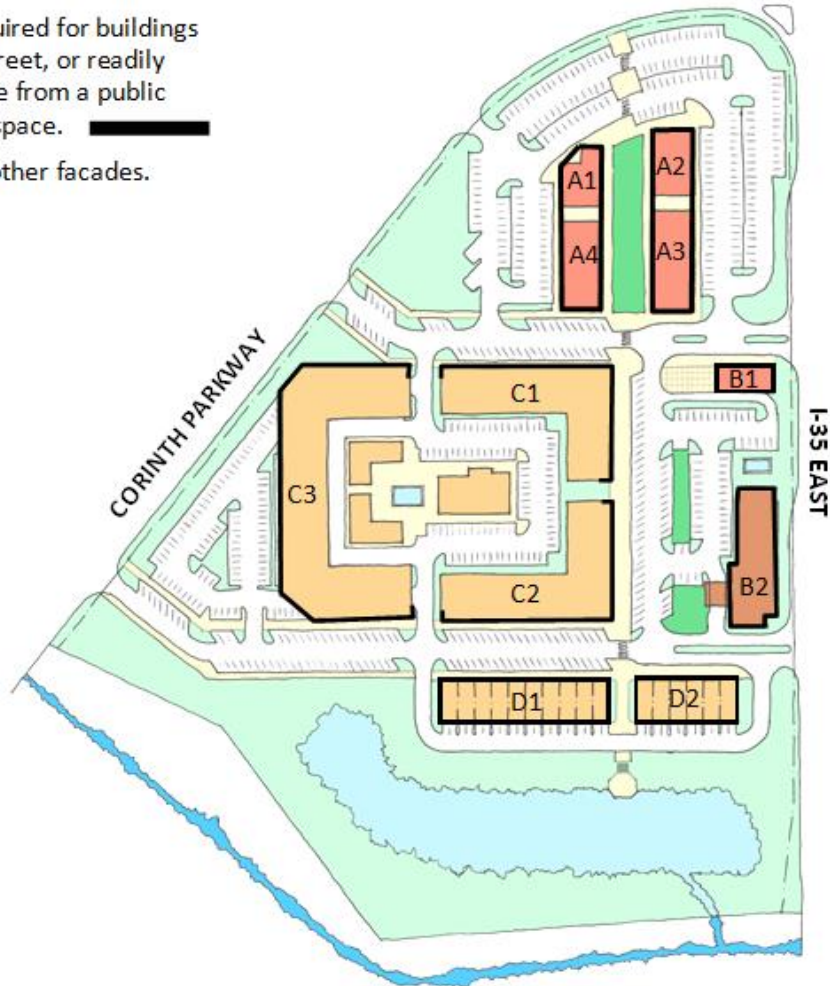
Planning by
Roaring Brook Development Co

REALTY CAPITAL MANAGEMENT, LLC
Dallas, TX

**FIGURE 6.1
FRONTAGE PLAN**

FAÇADE TYPE A: Required for buildings fronting on a public street, or readily and significantly visible from a public street or public open space. ██████████

FAÇADE TYPE B: All other facades.







SECTION 7: SIGNAGE STANDARDS

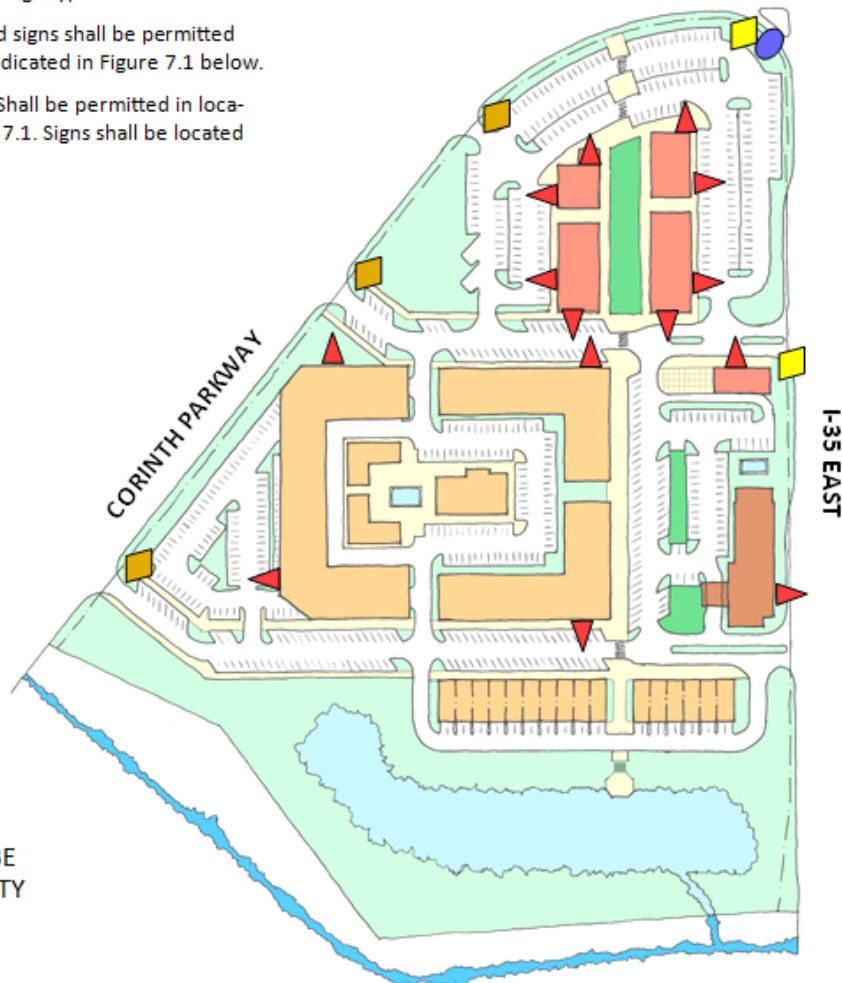
- A. General: The following identify general regulations for all Blocks within the Parkway District Planned Development.
- B. The Parkway District Planned Development shall comply with the Corinth sign regulations as established in Section 4.01 of the UDC, except as described below.
- C. For the purpose of signage regulation, all businesses within the PD District shall be considered as residing on a single lot; all signs referring to businesses with the Parkway District shall be considered on-premise signs.
- D. Parkway District Planned Development fronting Corinth Parkway or I-35E may consist of multiple businesses, and may include the following signage types.
 - 1. Attached Signs: Attached signs shall be permitted on building facades as indicated in Figure 7.1 below.
 - 2. Monument Signs I-35E: Shall be permitted in locations indicated in Figure 7.1. Signs shall be located

with a minimum 10' setback from Corinth Parkway and I-35E ROW, shall not exceed 30' in height, and the smallest rectangle encompassing the lettering shall not exceed 300 square feet. See Figure 7.2 of proposed Monument Sign.

- 3. Monument Signs Corinth Parkway: Shall be permitted in locations indicated in Figure 7.1. Signs shall be located with a minimum 10' setback from Corinth Parkway and I-35E ROW, shall not exceed 15' in height, and the smallest rectangle encompassing the lettering shall not exceed 120 square feet.

**FIGURE 7.1
SIGNAGE PLAN**

-  ATTACHED SIGN
-  MONUMENT SIGN I-35E
-  MONUMENT SIGN CORINTH PARKWAY
-  RESERVE SPACE, TO BE DETERMINED, FOR CITY-INSTALLED KIOSK



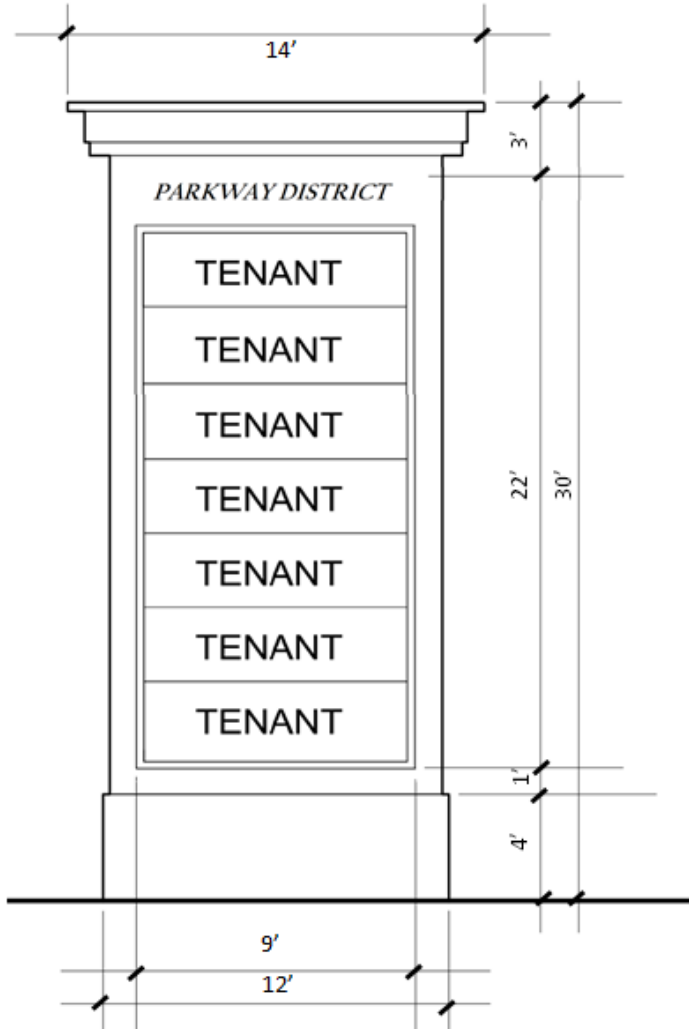
**FIGURE 7.2
 MONUMENT SIGN**

DIMENSIONS

- Setback:.....15'
- Height:30'
- Sign Area:200 sf
- Structure Area:320 max sf
- Letters..... 6" min

ENHANCEMENTS:

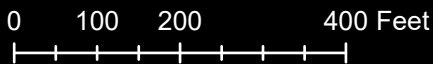
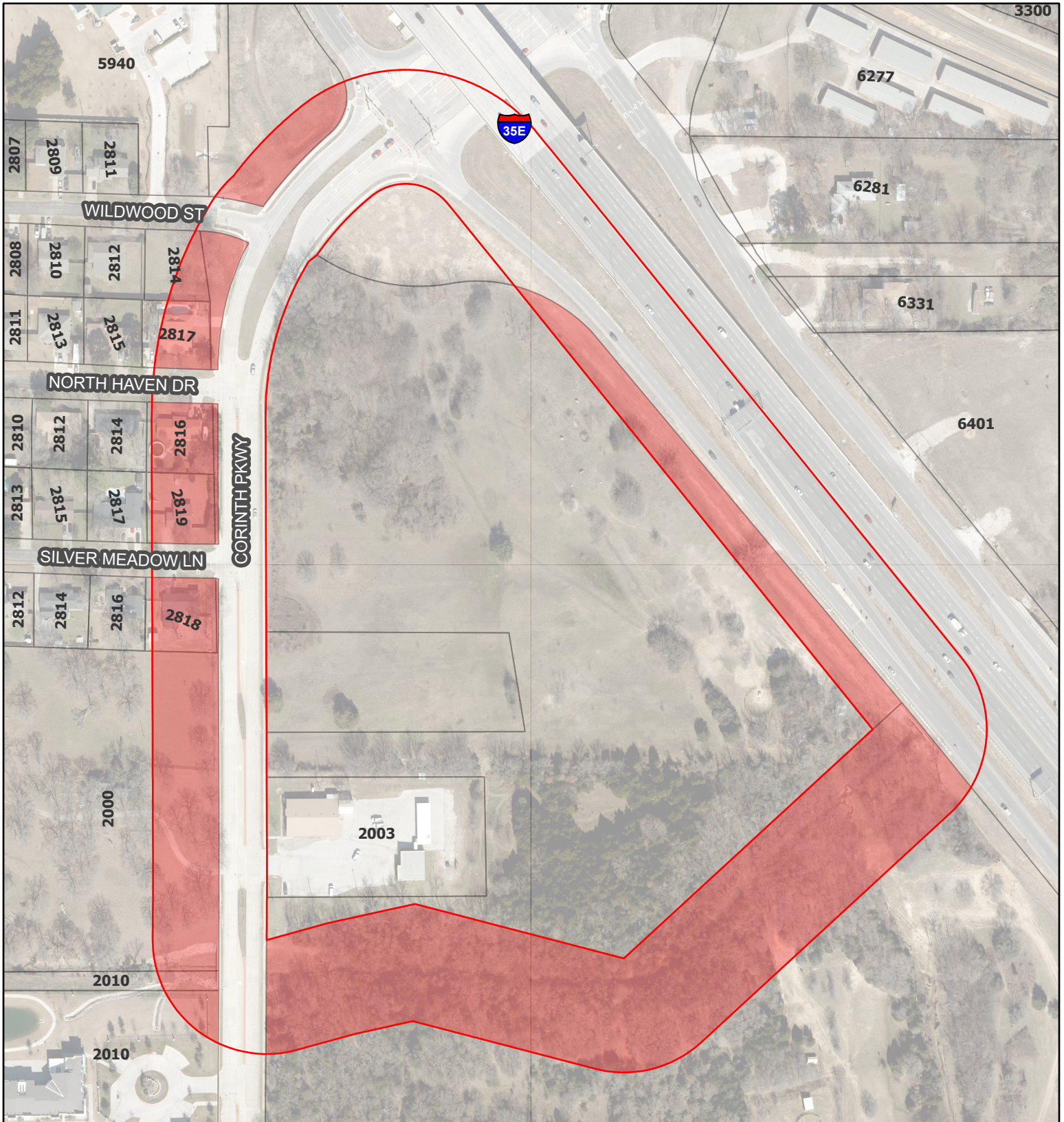
1. Architectural Materials
 Matching the Building
2. Architectural Features
 Matching the Building
3. Architectural Design
 Matching the Building
4. External Lighting, Shielded, Di-
 rected, Spot Light Fixtures
5. Landscape Ratio of Greater than
 1:1 for Ground Area to Sign Area
6. Contrasting Sign Colors
7. Simple Font Styles with Limited
 Text or Logos Specific Panel Size
 for Individual Tenants



Proposed Sign is an illustration of a Monument Sign under the existing regulations. Final dimensions may vary within regulations.

Public Hearing - Notification Exhibit

Per Section 2.10.05 E 2 b of the City of Corinth Unified Development Code and Section 211.006 of the Texas Local Government Code: Property owners of parcels located within 200 feet of a property applying for a Rezoning shall be notified by mail.



Legend

Property within 200 ft. of Subject 200 ft. Buffer

CITY OF CORINTH
Staff Report

Meeting Date:	8/19/2021	Title:	Budget Overview Workshop
Strategic Goals:	<input type="checkbox"/> Citizen Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development		
Governance Focus:	<i>Sub-Ends:</i>		
	<input type="checkbox"/> Growing Community <input type="checkbox"/> Conveniently located <input checked="" type="checkbox"/> Delivers Outstanding Service <input type="checkbox"/> High-Quality Retail <input type="checkbox"/> High-Quality Restaurants <input type="checkbox"/> High-Quality Entertainment		
	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Customer <input type="checkbox"/> Stakeholder		
	<i>Decision:</i> <input type="checkbox"/> Governance Policy <input checked="" type="checkbox"/> Ministerial Function		
Owner Support:	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission N/A		

Item/Caption

Consider and act on a Resolution of the City Council of the City of Corinth, Texas adopting a proposed FY22 municipal tax rate that will not exceed the voter-approval tax rate; calling a public hearing to be held on September 16, 2021 at Corinth City Hall at 7:00 p.m.; requiring publication of a Notice of Public Hearing on Tax Increase in accordance with state law; providing for the incorporation of premises; and providing an effective date.

Item Summary/Background/Prior Action

The Truth-in-Taxation publication notices must be calculated based on the highest possible rate the City Council may consider. The rate the City Council finally adopts *can be lower* than the proposed and published rate, but *it cannot exceed* it without undergoing the required posting requirements and timeframes. This agenda item is to establish the highest possible tax rate for the City Council to consider.

The public hearing on the proposed tax rate is to be held in the City Council Chambers at Corinth City Hall, 3300 Corinth Parkway in Corinth, Texas 76208 on September 16, 2021 at 7:00 p.m. The public hearing will not be held until at least seven (7) days after notice of the public hearing has been published in the Denton Record Chronicle, a newspaper having general circulation within the City, in the form of the *Notice of Public Hearing on Tax Increase* for City of Corinth.

Proposed Tax Rate	\$.56700 per \$100 valuation
Preceding Year’s Tax Rate	\$.57817 per \$100 valuation
No New Revenue Tax Rate	\$.54826 per \$100 valuation
De Minimis Tax Rate	\$.57772 per \$100 valuation
Voter Approval Tax Rate	\$.58503 per \$100 valuation

The FY22 Proposed Budget was submitted to City Council on July 31, 2021 as required by the City Charter. The proposed budget is also available online on the City's website www.cityofcorinth.com.

Applicable Owner/Stakeholder Policy

Chapter 26 of the Texas Tax Code, as amended by the Texas Legislature in the 86th Legislative Session, requires the City Council to have a record vote establishing a public hearing date on the municipal property tax rate.

Staff Recommendation/Motion

Proposed Motion to publish a Proposed Tax Rate of \$0.57817 which exceeds the No New Revenue Tax Rate of \$0.54826:

I move to approve a resolution placing a proposal on the September 16, 2021 Council Agenda to consider a FY 2022 property tax rate of \$.57817, per one hundred dollars (\$100) of valuation, which exceeds the no-new-revenue tax rate of \$0.54826 and the de minimis tax rate of \$0.57772, but does not exceed the voter-approval tax rate of \$0.58503, and to set the public hearing on the proposal to consider approving the tax rate for Thursday, September 16 at 7:00 p.m. at Corinth City Hall at 3300 Corinth Parkway, Corinth, Texas 76208.

**CITY OF CORINTH, TEXAS
RESOLUTION NO. 21-08-19-22**

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORINTH, TEXAS ADOPTING A PROPOSED FY22 MUNICIPAL TAX RATE THAT WILL NOT EXCEED THE VOTER-APPROVAL TAX RATE; CALLING A PUBLIC HEARING TO BE HELD ON SEPTEMBER 16, 2021 AT CORINTH CITY HALL AT 7:00 P.M.; REQUIRING PUBLICATION OF A NOTICE OF PUBLIC HEARING ON TAX INCREASE IN ACCORDANCE WITH STATE LAW; PROVIDING FOR THE INCORPORATION OF PREMISES; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, chapter 26 of the Texas Tax Code, as amended by the Texas Legislature in the 86th Legislative Session, requires the City Council to have a record vote establishing one public hearing date on the FY22 municipal property tax rate; and

WHEREAS, the City Council desires to consider adopting a proposed tax rate of \$0.57817, which will not exceed the voter-approval; and

WHEREAS, the City has calculated the voter-approval rate and the de minimis tax rate, and the proposed tax rate does not exceed the voter-approval rate; and

WHEREAS, the City Council has determined it necessary to adopt this Resolution to set a public hearing on the proposed tax rate.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORINTH, TEXAS:

SECTION 1. That the foregoing recitals are hereby found to be true and correct findings of the City of Corinth, Texas, and are fully incorporated into the body of this resolution.

SECTION 2. The City Council hereby approves the placement of an item on the September 16, 2021 City Council public meeting agenda to vote on a proposed tax rate of \$0.57817 per \$100 valuation that will not exceed the voter-approval tax rate of \$0.58503, but will exceed the de minimis rate of \$0.57772.

SECTION 3. The City Council hereby calls a public hearing on the proposed tax rate to be held in the City Council Chambers at Corinth City Hall, 3300 Corinth Parkway in Corinth, Texas 76208 on September 16, 2021, at 7:00 p.m. The public hearing will not be held until at least seven (7) days after notice of the public hearing has been published in the *Denton Record Chronicle*, a newspaper having general circulation within the City, in the form of the Notice Of Public Hearing on Tax Increase for City of Corinth, which can be found in Exhibit A attached to this resolution, made a part hereof for all purposes. Notice of public hearing will also be posted continuously for at least seven (7) days prior to the date of the public hearing on the tax rate and at least seven (7) days prior to the vote on the proposed tax rate on the City's webpage at www.cityofcorinth.com. The City Manager, or his designee, is hereby directed to publish said notice in accordance with

this Resolution and in accordance with Tex. Tax Code §26.06, et seq. At the public hearing, the City Council will afford adequate opportunity for both proponents and opponents of the tax rate to present their views.

SECTION 4. This Resolution shall become effective immediately upon its passage and approval at a regular meeting of the City Council of the City of Corinth, Texas on this the 19th day of August 2021, at which meeting a quorum was present and the meeting was held in accordance with the provisions of Tex. Gov't Code §551.001, *et seq.* The City Secretary is hereby directed to record this resolution and the vote on the proposal to place the item for a public hearing on the September 16, 2021, City Council agenda.

PASSED AND APPROVED this the 19^h day of August 2021.

Bill Heidemann, Mayor

ATTEST:

BY: _____
Lana Wylie, City Secretary

APPROVED AS TO FORM:

BY: _____
Patricia A. Adams, City Attorney

<u>Council Member</u>	<u>Voted For</u>	<u>Voted Against</u>
Bill Heidemann, Mayor	_____	_____
Sam Burke, Mayor Pro Tem	_____	_____
Scott Garber	_____	_____
Steve Holzwarth	_____	_____
Tina Henderson	_____	_____
Kelly Pickens	_____	_____

EXHIBIT A
NOTICE OF 2021 TAX YEAR PROPOSED PROPERTY TAX RATE

CITY OF CORINTH
Staff Report

Meeting Date:	8/19/2021	Title:	Notice of Intent
Strategic Goals:	<input type="checkbox"/> Citizen Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development		
Governance Focus:	<i>Sub-Ends:</i>		
	<input checked="" type="checkbox"/> Growing Community <input type="checkbox"/> Conveniently located <input checked="" type="checkbox"/> Delivers Outstanding Service <input type="checkbox"/> High-Quality Retail <input type="checkbox"/> High-Quality Restaurants <input type="checkbox"/> High-Quality Entertainment		
	<i>Focus:</i> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Customer <input type="checkbox"/> Stakeholder		
	<i>Decision:</i> <input type="checkbox"/> Governance Policy <input checked="" type="checkbox"/> Ministerial Function		
Owner Support:	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission N/A		

Item/Caption

Consider adoption of a resolution directing publication of notice of intention to issue certificates of obligation to provide funds for parks and recreation improvements, street improvements, municipal drainage improvements, and water and sewer improvements; and resolving other matters relating to the subject.

Item Summary/Background/Prior Action

This provides the Notice of Intention to Issue City of Corinth Certificates of Obligation, as required by state law. To issue the certificates for the Capital Improvement Program for the current fiscal year, the City Council must adopt the attached "Intent to Sell" resolution at least 30 days prior to the sale. The notice will be published on August 24 and August 31, 2021.

The certificates are being sold for an amount not to exceed \$4.5 million in bond proceeds for

- (i) Constructing and improving streets, roads, alleys and sidewalks, and related utility relocation, drainage, signalization, landscaping, lighting and signage and including acquiring land and interests in land.
- (ii) Constructing and equipping municipal drainage improvements, including flood control and flood mitigation improvements and acquiring land.
- (iii) Constructing, acquiring, installing and equipping additions, extensions and improvements to the City’s waterworks and sewer system.
- (iv) Acquiring, constructing, installing and equipping park and recreational improvements in the City.
- (v) Paying legal, fiscal, engineering and architectural fees in connection with these projects.

The timeline for the issue is:

August 19, 2021	Council adopts "Intent to Sell" resolution
August 24, 2021	1st Notice of Intent Published
August 31, 2021	2nd Notice of Intent Published
October 13, 2021	Receive Ratings & Insurance Bids
October 21, 2021	Receive Pricing
October 21, 2021	Council Passes Ordinance Authorizing Issuance of Certificate of Obligation's
November 18, 2021	Certificate Closing & Delivery of Funds to the City

Staff Recommendation/Motion

Move approval of the resolution directing publication of notice of intention to issue certificates of obligation not to exceed \$5 million to provide funds for parks and recreational improvements, street improvements, municipal drainage improvements, and water and sewer improvements; and resolving other matters relating to the subject.

RESOLUTION NO. _____

**RESOLUTION DIRECTING PUBLICATION OF NOTICE
OF INTENTION TO ISSUE COMBINATION TAX AND REVENUE
CERTIFICATES OF OBLIGATION**

WHEREAS, this City Council deems it advisable to give notice of intention to issue certificates of obligation of the City of Corinth, Texas, as hereinafter provided; and

WHEREAS, it is hereby officially found and determined that the meeting at which this Resolution was passed, was open to the public and public notice of the time, place, and purpose of said meeting was given, all as required by Chapter 551, Texas Government Code.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORINTH, TEXAS:

Section 1. Attached hereto as Exhibit A is a form of the Notice of Intention to issue Combination Tax and Revenue Certificates of Obligation, the form and substance of which is hereby adopted and approved.

Section 2. The City Secretary shall cause said notice to be published in substantially the form attached hereto, in a newspaper, as defined by Subchapter C, Chapter 2051, Texas Government Code, of general circulation in the area of said City, once a week for two consecutive weeks, the date of the first publication thereof to be before the 45th day before the date tentatively set for the adoption of the ordinances authorizing the issuance of such certificates of obligation as shown in said notice.

Section 3. The City Secretary shall cause said notice to be posted in substantially the form attached hereto, on the City’s internet website for at least 45 days before the date tentatively set for the adoption of the ordinances authorizing the issuance of such certificates of obligation as shown in said notice.

Section 4. That all costs to be reimbursed pursuant to this Resolution will be preliminary expenditures or capital expenditures; the proposed Certificates of Obligation shall be issued within 18 months of the later of (i) the date the original expenditures are paid or (ii) the date on which the property, with respect to which such expenditures were made, is placed in service; and the foregoing notwithstanding, the Certificates of Obligation will not be issued pursuant to this Resolution on a date that is more than three years after the date any expenditure which is to be reimbursed is paid.

Section 5. The City Council hereby authorizes and directs the Mayor, City Manager, City Secretary, Director of Finance and all other officers, employees and agents of the City, in consultation with the City Attorney, if necessary, to do and perform all such acts and to execute, acknowledge and deliver in the name and on behalf of the City such documents, agreements, certificates and other instruments, whether or not mentioned in this Resolution, as may be necessary or desirable in order to carry out the terms, provisions and actions provided for in this Resolution and in connection with the issuance of the Certificates of Obligation

Section 6. This Resolution shall become effective immediately upon adoption.

(Execution page follows.)

PASSED, APPROVED AND EFFECTIVE _____.

ATTEST:

Mayor

City Secretary

[CITY SEAL]

NOTICE OF INTENTION TO ISSUE
COMBINATION TAX AND REVENUE CERTIFICATES OF OBLIGATION

NOTICE IS HEREBY GIVEN that the City Council of the City of Corinth, Texas, at its meeting to commence at 5:45 P.M. on October 21, 2021, at its regular meeting place in the City Hall, 3300 Corinth Parkway, Corinth, Texas, or telephonically at the dial-in number and access code published on the City's website in the event such meeting may not be held in person, tentatively proposes to adopt an ordinance authorizing the issuance of interest bearing certificates of obligation, in one or more series, in an amount not to exceed \$4,500,000, for paying all or a portion of the City's contractual obligations incurred in connection with:

- (i) constructing and improving streets, roads, alleys and sidewalks, and related utility relocation, drainage, signalization, landscaping, lighting and signage and including acquiring land and interests in land therefor;
- (ii) constructing and equipping municipal drainage improvements, including flood control and flood mitigation improvements and acquiring land therefor;
- (iii) constructing, acquiring, installing and equipping additions, extensions and improvements to the City's waterworks and sewer system;
- (iv) acquiring, constructing, installing and equipping park and recreational improvements in the City; and
- (v) paying legal, fiscal, engineering and architectural fees in connection with these projects.

The City proposes to provide for the payment of such certificates of obligation from the levy and collection of ad valorem taxes in the City as provided by law, and from a limited pledge of surplus revenues of the City's waterworks and sewer system, remaining after payment of all operation and maintenance expenses thereof, and all debt service, reserve, and other requirements in connection with all of the City's revenue bonds or other obligations (now or hereafter outstanding), which are payable from all or any part of the net revenues of the City's waterworks and sewer system. The certificates of obligation are to be issued, and this notice is given, under and pursuant to the provisions of Texas Local Government Code, Subchapter C of Chapter 271 ("Chapter 271").

In accordance with the provisions of Chapter 271, the following information has been provided by the City:

- (a) The principal amount of all outstanding debt obligations of the City is \$58,215,000;
- (b) The current combined principal and interest required to pay all outstanding debt obligations of the City on time and in full is \$74,941,694;
- (c) The maximum principal amount of the certificates of obligation to be authorized is \$4,500,000;
- (d) The estimated combined principal and interest required to pay the certificates of obligation to be authorized on time and in full is \$5,792,957;
- (e) The estimated interest rate for the certificates of obligation to be authorized is 3.00%; and
- (f) The maximum maturity date of the certificates of obligation to be authorized is February 15, 2041.

The City has not designated any of its outstanding debt listed above as self-supporting for purposes of Chapter 271.

CITY OF CORINTH, TEXAS