

****PUBLIC NOTICE****



CITY COUNCIL REGULAR SESSION
Thursday, July 20, 2023 at 5:45 PM
City Hall | 3300 Corinth Parkway

Pursuant to section 551.127, Texas Government Code, one or more council members or employees may attend this meeting remotely using videoconferencing technology.

View live stream: www.cityofcorinth.com/remotesession

- A. NOTICE IS HEREBY GIVEN of a Regular Meeting of the Corinth City Council.
- B. CALL TO ORDER, INVOCATION, PLEDGE OF ALLEGIANCE & TEXAS PLEDGE
- C. EXECUTIVE SESSION**

In accordance with Chapter 551, Texas Government Code, Section 551.001, et seq., (the “Texas Open Meetings Act”), the City Council will recess into Executive Session (closed meeting) to discuss the following items. Any necessary final action or vote will be taken in public by the City Council in accordance with this agenda.

Section 551.071 - Legal Advice. (1) Private consultation with its attorney to seek advice about pending or contemplated litigation; and/or settlement offer; and/or (2) a matter in which the duty of the attorney to the government body under the Texas Disciplinary Rules of Professional Conduct of the State of Texas clearly conflict with Chapter 551.

Section 551.087 - Economic Development. To deliberate or discuss regarding commercial or financial information that the governmental body has received from a business prospect that the governmental body seeks to have locate, stay, or expand in or near the territory of the governmental body and with which the governmental body is conducting economic development negotiations; or to deliberate the offer of a financial or other incentive to a business project.

a. Project Agora

- D. RECONVENE IN OPEN SESSION TO TAKE ACTION, IF NECESSARY, ON EXECUTIVE SESSION ITEMS
- E. CITIZENS COMMENTS

Please limit your comments to three minutes. Comments about any of the Council agenda items are appreciated by the Council and may be taken into consideration at this time or during that agenda item. Council is prohibited from acting on or discussing items brought before them at this time.

- F. CONSENT AGENDA

All matters listed under the consent agenda are considered to be routine and will be enacted in one motion. Should the Mayor or a Council Member desire discussion of any item, that item will be removed from the Consent Agenda and will be considered separately.

- 1. Consider and act on an ordinance amending the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, by expanding the boundary of PD-61 to encompass Lots 1 and 2R of the Lake Vista Business Park Subdivision, currently zoned MX-C Mixed-Use Commercial, specifically to allow the Permitted Uses and Use Regulations enumerated by PD-61 on

approximately ±3.1 acres generally located on the north side of Lake Sharon Drive (formerly Dobbs Road), between I-35E and Mayfield Circle. (Case No. ZAPD23-0002 – PD-61 Boundary Amendment)

2. Consider and act on a resolution denying the Oncor Electric Delivery Company LLC application to amend its distribution cost recovery factor and update generation riders to increase distribution rates within the city.

G. PUBLIC HEARING

3. Conduct a Public Hearing to consider testimony and act on a rezoning request by the Applicant, Ridinger Associates, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a base zoning district of SF-4 Single Family Residential for the development of 69 single family lots on approximately ±20 acres generally located on the east side of Post Oak Drive, north of the Terrace Oaks Subdivision, and south of the Provence Subdivision. (Case No. ZAPD22-0008 – Hillside Corinth) **This item to be tabled to the August 17, 2023 City Council meeting.**
4. Conduct a Public Hearing to consider testimony and consider and act on an ordinance amending various subsections of Section 3 “Subdivision Regulations” regarding the dedication and maintenance of street lights. Case No. ZTA23-0001 – UDC Subdivision Regulations Amendments – Street Lights

H. BUSINESS AGENDA

5. Consider and act on a Site Plan request by the Applicant, Tate Braun, on behalf of the property owner, RCM Corinth Land, LLC, for the development of approximately ± 13 acres located at the southwest corner of Corinth Parkway and the I-35E service road to permit the construction of 312 multifamily units, limited ground floor retail, and related amenities. Case No. SPC23-0001: Parkway Lofts.
6. Consider and act on an Ordinance of the City of Corinth approving an amendment to the fiscal year 2022-2023 budget and annual program of services to provide for the expenditure of funds to purchase property to expand Tower Ridge Drive in the Roadway Impact Fee Fund; and providing an effective date.

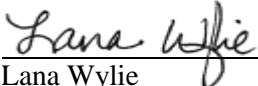
I. COUNCIL COMMENTS & FUTURE AGENDA ITEMS

The purpose of this section is to allow each Council Member the opportunity to provide general updates and/or comments to fellow Council Members, the public, and/or staff on any issues or future events. Also, in accordance with Section 30.085 of the Code of Ordinances, at this time, any Council Member may direct that an item be added as a business item to any future agenda.

J. ADJOURN

**The City Council reserves the right to recess into closed session at any time during the course of this meeting to discuss any of the matters posted on this agenda, as authorized by the Texas Open Meetings Act, Texas Government Code, Section 551.071, "Consultation with Attorney" for the purpose of receiving legal advice.

Posted on this 17th day of July 2023, at 5:00 P.M., on the bulletin board at Corinth City Hall.



Lana Wylie
City Secretary
City of Corinth, Texas



CITY OF CORINTH
Staff Report

Meeting Date:	7/20/2023	Title:	PD-61 Boundary Amendment
Strategic Goals:	<input type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development		
Owner Support:	<input checked="" type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission On May 22, 2023, the Planning & Zoning Commission unanimously recommended approval of the ZAPD23-0002- PD-61 Boundary Amendment application to the City Council as presented.		

Item/Caption

Consider and act on an ordinance amending the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, by expanding the boundary of PD-61 to encompass Lots 1 and 2R of the Lake Vista Business Park Subdivision, currently zoned MX-C Mixed-Use Commercial, specifically to allow the Permitted Uses and Use Regulations enumerated by PD-61 on approximately ±3.1 acres generally located on the north side of Lake Sharon Drive (formerly Dobbs Road), between I-35E and Mayfield Circle. (Case No. ZAPD23-0002 – PD-61 Boundary Amendment)



Location Map - Case No. ZAPD23-0002**Item Summary**

On June 15, 2023, the City Council conducted a Public Hearing, approved the request, and directed staff to prepare ordinance to expand the boundary of PD-61 by adding Lots 1 and 2R, of the Lake Vista Business Park Subdivision, depicted as Tract 2 in the exhibit above, to the area of PD-61. The purpose is to accommodate anticipated, future office/warehouse businesses on the two (2) lots. The current area of PD-61 consists of Lot 8R depicted as Tract 1. PD-61 as it currently exists was adopted on May 5, 2022 and is attached.

With this proposed amendment to PD-61, Tract 1 would be maintained as it is currently described in the PD, with all regulations and exhibits remaining unchanged. Tract 2 would only adopt the additional permitted uses and use regulations enumerated in PD-61, with all other regulations for the base MX-C district applying.

Staff Recommendation

Staff recommends approval of the ordinance as presented.

Proposed Motion

“I move to approve an ordinance amending the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, by expanding the boundary of PD-61 to encompass Lots 1 and 2R of the Lake Vista Business Park Subdivision, currently zoned MX-C Mixed-Use Commercial, specifically to allow the Permitted Uses and Use Regulations enumerated by PD-61 on approximately ±3.1 acres generally located on the north side of Lake Sharon Drive (formerly Dobbs Road), between I-35E and Mayfield Circle. (Case No. ZAPD23-0002 – PD-61 Boundary Amendment).”

Attachment 1 - Ordinance

**CITY OF CORINTH, TEXAS
ORDINANCE NO. 23-07-20-XX**

AMENDMENT TO PLANNED DEVELOPMENT DISTRICT #61

AN ORDINANCE OF THE CITY OF CORINTH, TEXAS, AMENDING THE CITY’S ZONING ORDINANCE AND THE “OFFICIAL ZONING DISTRICT MAP OF THE CITY OF CORINTH, TEXAS,” EACH BEING A PART OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF CORINTH, BY AMENDING THE ZONING CLASSIFICATION OF APPROXIMATELY ±0.93 ACRES OF LAND, LEGALLY DESCRIBED IN EXHIBIT “A,” ATTACHED HERETO AND INCORPORATED HEREIN (PROPERTY), FROM MX-C, MIXED USE COMMERCIAL TO PLANNED DEVELOPMENT 61 (“PD-61”) AND DESCRIBED AS TRACT 2 IN PD-61; PROVIDING A LEGAL DESCRIPTION FOR TRACT 2 (EXHIBIT “A”); PROVIDING AN EXHIBIT DEPICTING TRACTS 1 AND 2 (EXHIBIT “B”), PROVIDING ZONING AND PLANNED DEVELOPMENT STANDARDS FOR TRACT 2 (EXHIBIT “C”); BY DESCRIBING LOTS 8-11 OF THE LAKE VISTA BUSINESS PARK AS “TRACT 1;” PROVIDING FOR THE INCORPORATION OF PREMISES; PROVIDING FOR A PENALTY NOT TO EXCEED \$2,000 A DAY FOR EACH VIOLATION OF THE ORDINANCE AND A SEPARATE OFFENSE SHALL OCCUR ON EACH DAY THAT A VIOLATION OCCURS ON CONTINUES; PROVIDING A CUMULATIVE REPEALER CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS/CONFLICT CLAUSE; PROVIDING FOR PUBLICATION AND AN EFFECTIVE DATE.

WHEREAS, the City of Corinth, Texas has adopted Ordinance 13-05-02-08, which adopts a Unified Development Code of the City, which includes the Comprehensive Zoning Ordinance and which, in accordance with the City’s Comprehensive Plan, establishes zoning districts and adopts a Zoning Map; and

WHEREAS, on May 5, 2022, the City Council approved Ordinance No. 22-05-05-14, which rezoned approximately ±2.144 acres described as Lots 8-11, Lake Business Park from MX-C, Mixed Use Commercial to Planned Development 61 (“PD-61”), under the City’s Unified Development Code (“UDC”) and as designated on the City’s Zoning Map; and

WHEREAS, an authorized person having a proprietary interest in approximately ±0.93 acres legally described in Exhibit “A,” attached hereto, and depicted as Tract 2 on Exhibit “B,” attached hereto (the “Property”), has requested a change in the zoning classification from MX-C, Mixed Use Commercial to Planned Development District 61 (“PD-61”) under the UDC, subject to the Zoning and Planned Development Standards in Exhibit “C,” attached hereto; and

WHEREAS, the City Council and the Planning and Zoning Commission of the City of Corinth, having given the requisite notices by publication and otherwise, and each, held due hearings and

afforded a full and fair hearing to all the property owners generally, and to the persons interested and situated in the affected area and in the vicinity thereof; and

WHEREAS, the Planning and Zoning Commission has recommended approval of the requested change in zoning to the Property, and the City Council has determined that the Property has unique characteristics and that zoning through a planned development district is the most appropriate mechanism for zoning the Property, thus an amendment to the Comprehensive Zoning Ordinance and the Zoning Map of the City’s UDC, in accordance with the standards and specifications set forth herein, including without limitation the Zoning and Planned Development Standards set forth in **Exhibit “C”** should be approved; and

WHEREAS, the City Council considered the following factors in making a determination as to whether the requested change should be granted or denied: safety of the motoring public and pedestrians using the facilities in the area immediately surrounding the sites; safety from fire hazards and damages; noise producing elements and glare of the vehicular and stationary lights and effect of such lights on established character of neighborhoods; location, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street loading spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; effect on the over-crowding of the land; effect on the concentration of population, and effect on transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, the City Council further considered among other things the character of the proposed district and its peculiar suitability for particular use requested and the view to conserve the value of the buildings, and encourage the most appropriate use of the land throughout this City; and

WHEREAS, the City’s policy in creating or amending a planned development district is to incorporate and enhance to the fullest extent feasible the design and building materials standards that are integral to the City’s zoning regulations in all planned development districts; and

WHEREAS, the City Council finds that the requested amendment to the City’s Comprehensive Zoning Ordinance and Zoning Map to effect the change in zoning for the Property promotes the health and the general welfare, provides enhanced design and building material standards, provides adequate light and air, prevents the over-crowding of land, avoids undue concentration of population, and facilitates the adequate provision of transportation, water, sewerage, schools, parks and other public requirements; and the general health, safety and welfare of the community;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CORINTH, TEXAS:

**SECTION 1.
INCORPORATION OF PREMISES**

The above and foregoing recitals constitute legislative findings of the City Council, are true and correct and are incorporated into the body of this Ordinance for all purposes.

**SECTION 2.
LEGAL PROPERTY DESCRIPTION; AMENDMENT**

The Unified Development Code of the City of Corinth (“UDC”), which UDC includes the Comprehensive Zoning Ordinance that establishes zoning districts in accordance with the City’s Comprehensive Plan, and adopts the Zoning Map of the City of Corinth, is hereby amended to change the zoning classification on approximately ±0.93 acres of land, legally described on **Exhibit “A,”** attached hereto and incorporated herein, and depicted on **Exhibit “B,”** attached hereto and incorporated herein (the “Property”), from MX-C, Mixed Use Commercial to PD-Planned Development 61 (“PD-61”), subject to the regulations contained in this Ordinance and the UDC, each as amended from time to time, and the Zoning Map of the City is also hereby amended to reflect the new zoning classification for the Property.

**SECTION 3.
LAND USE REGULATIONS/ZONING MAP**

A. The Zoning and Planned Development Standards set forth in “**Exhibit C,**” attached hereto and made a part hereof for all purposes are hereby adopted and shall be adhered to in their entirety for the purposes of this PD-Planned Development zoning district with a base zoning of MX-C, Mixed Use Commercial. In the event of conflict between the provisions of “**Exhibit C**” and provisions of any other City zoning regulations, including without limitation the regulations governing MX-C, Mixed Use Commercial zoning district, **Exhibit “C**” shall control. Except in the event of a conflict as provided herein or as otherwise expressly provided herein, all UDC regulations shall apply to the Property and shall be cumulative.

B. The Zoning and Planned Development Standards and Planned Development district herein established for the Property has been adopted in accordance with the Comprehensive Plan for the purpose of promoting the health, safety, morals and the general welfare of the community. They have been designed, with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to provide adequate light and air; to prevent over-crowding of land; to avoid undue concentration of population; to provide enhanced design and building material standards, and to facilitate the adequate provision of transportation, water, sewerage, drainage and surface water, parks and other commercial needs and development of the community. They have been made after a full and complete public hearings with reasonable consideration among other things of the character of the district and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

C. If a change to this Ordinance, including without limitation, the Zoning and Planned Development Standards is requested for the Property, the request shall be processed in accordance with

the UDC and other development standards in effect at the time the change is requested for the proposed development and shall be subject to City Council approval, or as otherwise provided for in UDC Subsection 2.10.09, Minor PD Amendment or Adjustment, as amended.

D. The official Zoning Map of the City of Corinth, Texas shall be amended in accordance with this Ordinance to document the change in zoning for the Property from MX-C, Mixed Use Commercial to PD-Planned Development Zoning District with a Base Zoning Designation of MX-C, Mixed Use Commercial and identified as Lake Vista Business Park Planned Development District No. 61 (“PD-61”).

**SECTION 4.
REDESIGNATION OF AREA REZONED BY ORDINANCE NO. 22-05-05-14**

The area of land initially rezoned to Planned Development 61 (“PD-61”) by Ordinance No. 22-05-05-14 and depicted in **Exhibit “B”** shall be designated as **Tract “1”**.

**SECTION 5.
ANCILLARY CONCEPTUAL PLANS ADOPTED AS PART OF ORDINANCE NO. 22-05-05-14 TO REMAIN IN EFFECT FOR TRACT “1”**

All Ancillary Conceptual Plans adopted by Ordinance No. 22-05-05-14, applicable to **Tract “1”** shall remain in full force and effect but shall not apply to **Tract “2.”**

**SECTION 6.
CUMULATIVE REPEALER**

This Ordinance shall be cumulative of all other Ordinances and shall not repeal any of the provisions of such Ordinances except for those instances where there are direct conflicts with the provisions of this Ordinance. Ordinances, or parts thereof, in force at the time this Ordinance shall take effect and that are inconsistent with this Ordinance are hereby repealed to the extent that they are inconsistent with this Ordinance. Provided however, that any complaint, action, claim or lawsuit which has been initiated or has arisen under or pursuant to such other Ordinances on this date of adoption of this Ordinance shall continue to be governed by the provisions of such Ordinance and for that purpose the Ordinance shall remain in full force and effect.

**SECTION 7.
SEVERABILITY**

If any section, subsection, clause, phrase, or provision of this Ordinance, or the application thereof to any person or circumstance, shall to any extent be held by a court of competent jurisdiction to be invalid, void, or unconstitutional, the remaining sections, subsections, clauses, phrases, and provisions of this Ordinance, or the application thereof to any person or circumstance, shall remain in full force and effect and shall in no way be affected, impaired or invalidated.

**SECTION 8.
SAVINGS/CONFLICT**

In the event of a conflict between the provisions of this Ordinance and any other regulation or rule prescribed by charter, another ordinance, resolution or other authorization of the City, the provisions of this Ordinance shall control. Notwithstanding the foregoing, all rights and remedies of the City are expressly saved as to any and all complaints, actions, claims, or lawsuits, which have been initiated or have arisen under or pursuant to such conflicting Ordinance, or portion thereof, on the date of adoption of this Ordinance shall continue to be governed by the provisions of that Ordinance and for that purpose the conflicting Ordinance shall remain in full force and effect.

**SECTION 9.
PENALTY FOR VIOLATIONS**

Any person, firm, or corporation who intentionally, knowingly or recklessly violates any provision of this Ordinance or the Code of Ordinances, as amended hereby, shall be subject to a fine not to exceed the sum of five hundred dollars (\$500.00) for each offense, and each and every day any such offense shall continue shall be deemed to constitute a separate offense, provided, however, that in all cases involving violation of any provision of this Ordinance or Code of Ordinances, as amended hereby, governing the fire safety, zoning, or public health and sanitation shall be subject to a fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense, and each and every day any such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 10.
PUBLICATION/EFFECTIVE DATE**

This Ordinance shall take effect upon its publication as required by law. The City Secretary is directed to publish the caption and penalty of this Ordinance as required by the City Charter and state law.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF CORINTH THIS
20th DAY OF JULY, 2023.**

APPROVED:

Bill Heidemann, Mayor

ATTEST:

Lana Wylie, City Secretary

APPROVED AS TO FORM:

Patricia Adams, City Attorney

EXHIBIT "A"
LEGAL DESCRIPTION
TRACT 2

Approximately 0.39 acres being Lots 1 and 2R, Lake Business Park

EXHIBIT "B"
GRAPHIC DEPICTION OF TRACTS 1 AND 2



**EXHIBIT “C”
ZONING AND PLANNED DEVELOPMENT STANDARDS
TRACT 2**

A. Permitted Uses and Use Regulations

In Tract 2 of the PD-61 District, no building, or land shall be used, and no building shall be hereafter erected, reconstructed, enlarged, or converted unless otherwise provided for in the MX-C Mixed Use Commercial District regulations of the Unified Development Code or as otherwise permitted by this PD Ordinance. The Permitted Uses in the MX-C Mixed Use Commercial District as listed in Subsection 2.07.03 – Use Chart of the Unified Development Code shall be permitted in the PD-61 District, except as modified below.

1. **Performance Standard Applicable to All Uses.** The following performance standard shall apply to all Permitted Uses and any associated product or activities located within storage spaces, showroom, warehouse¹ areas, etc. shall not be noxious or offensive by reason of the emission of odor, dust, gas fumes, noise, or vibration. Any such use, product and/or activity shall be considered incompatible with the intent of the mixed use buildings and therefore prohibited.

2. **Additional Permitted Uses.** The following uses shall be in addition to those permitted in the MX-C District as listed in Subsection 2.07.03 – Use Chart:
 - a. Automobile Parts Store
 - b. Church or Other Place of Worship, not including Parsonage/Rectory
 - c. College, University or Trade School
 - d. Exterminating Company
 - e. Jewelry Manufacturing or Assembly
 - f. Light Assembly and Manufacturing Processes
 - g. Office/Commercial Flex Space
 - h. Online sales: web based
 - i. Pet daycare without outdoor runs
 - j. Pet Spa, Self- Serve
 - k. School, Career
 - l. Trailer Rental (Accessory Use)- indoor storage only
 - m. Woodworking and planning mill- indoor only
 - n. 3D printing

3. **Prohibited uses.** The following uses and activities shall be expressly prohibited:
 - a. Any use that generally produce dust, fumes, nuances, and noise or vibration in frequencies above the ambient level of noise in the adjacent areas.
 - b. Outdoor Storage
 - c. Outdoor Displays

¹ The term “warehouse” shall be apply as defined herein, and shall be a standalone term separate and distinct from the definition “ warehouse” as defined in UDC Section 5

4. **Use Definitions.** The following use definitions shall control development within PD-61 and supersede definitions contained in UDC Section 5 when in conflict:
- a. **Office/ Commercial Flex Space:** An establishment and/or building that provides its occupants the flexibility of utilizing the space. Space may be leased for either commercial (retail) and/or office with space available to accommodate storage (supplies and/or products), showroom, light assembly, and/or repair of items directly associated with the principal office or commercial use; such uses also include small business and trade contractors such as plumber, electrician, roofer, provided that storage of equipment and materials are completely contained within the flex space, storage, warehouse, showroom, and/or product space as applicable.
 - i. Office/Commercial Flex Space has storefront type windows in the office area of the space.
 - ii. The Principal Use shall occupy a minimum of 20% of the overall floor area per tenant space.
 - iii. Storage, product storage, showroom, warehouse or activity space may be permitted up to a maximum of 80% of the overall floor area per tenant space and shall be directly associated with the principal permitted office or commercial use provided that no use of such space is considered noxious or offensive by reason of the emission of odor, dust, gas fumes, noise or vibration.
 - b. **Storage:** A space that is accessory to the main use and is available for storing items, materials, fixtures, or furniture.
 - c. **Product storage:** A space that is available for storing items and products bought for resale to customers.
 - d. **Activity Space:** A space available to customers to receive structured instruction such as a yoga studio, coaching, knitting, and similar uses.
 - e. **Showroom:** A commercial building or tenant space in which products, goods, and/or materials are displayed for sale, including building materials, small appliances, lighting fixtures, and similar items.
 - f. **Warehouse:** A space that occupy a maximum of 80% of the building or tenant space used for storing material, products, tools, and light equipment before they are shipped to customers or used for production within the building or tenant space. The warehouse use described shall not cause any nuisances such as dust, noise, or odor with no heavy trucking activities or outdoor storage involved.
 - g. **Light Assembly and Manufacturing Processes:** As defined in Section 5 of the UDC, including and not limited to candle making, crystal engraving, toy assembly, gutter, windows treatment; or activities that do not use heavy equipment or long assembly lines.
 - h. **Commercial use:** An activity involving the sale of goods or services.
 - i. **Pet Daycare:** A short term care for pets which does not involve staying overnight. It only has indoors kennels and runs/play space.
 - j. **Trailer Rental:** A trailer that can be rented from private owners on daily, weekly. or monthly basis. Trailers shall be stored inside of the suite; outside storage is not permitted.
 - k. **3D printing:** A process of making three dimensional objects from computer created designs by using machines that use layers by layer (additive manufacturing) method to create 3D object.



CITY OF CORINTH Staff Report

Meeting Date:	7/20/2023	Title:	Denial Resolution – Oncor Rate Case
Strategic Goals:	<input type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input type="checkbox"/> Attracting Quality Development		
Owner Support:	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission		

Item/Caption

Consider and act on a resolution denying the Oncor Electric Delivery Company LLC application to amend its distribution cost recovery factor and update generation riders to increase distribution rates within the city.

Item Summary/Background/Prior Action

On June 30, 2023, Oncor Electric Delivery Company, LLC (“Oncor” or “Company”) filed an Application to Amend its Distribution Cost Recovery Factor (“DCRF”) and Update its Mobile Generation Riders to increase distribution rates within each of the cities in its service area. In the filing, the Company asserts it is seeking an increase in distribution revenues of approximately \$152.78 million. The Company is also seeking to update its Rider Mobile Generation and Rider Wholesale Mobile Generation to recover revenue related to mobile generation unit leasing and operation. The Rider would recover approximately \$1.07 million.

The resolution authorizes the City to join with the Steering Committee of Cities Served by Oncor (“OCSC”) to evaluate the filing, determine whether the filing complies with law, and if lawful, to determine what further strategy, including settlement, to pursue.

Purpose of the Resolution:

The purpose of the Resolution is to deny the DCRF application proposed by Oncor.

Explanation of “Be It Resolved” Paragraphs:

1. This section authorizes the City to participate with OCSC as a party in the Company’s DCRF filing, PUC Docket No. 55190.

2. This section authorizes the hiring of Lloyd Gosselink and consultants to review the filing, negotiate with the Company, and make recommendations to the City regarding reasonable rates. Additionally, it authorizes Cities to direct any necessary administrative proceedings or court litigation associated with an appeal of this application filed with the PUC.

3. This paragraph finds that the Company's application is unreasonable and should be denied.

4. This section states that the Company's current rates shall not be changed.

5. The Company will reimburse Cities for their reasonable rate case expenses. Legal counsel and consultants approved by Cities will submit monthly invoices that will be forwarded to Oncor for reimbursement.

6. This section recites that the Resolution was passed at a meeting that was open to the public and that the consideration of the Resolution was properly noticed.

7. This section provides that Oncor and counsel for OCSC will be notified of the City's action by sending a copy of the approved and signed Resolution to counsel.

Financial Impact

NA

Staff Recommendation/Motion

Staff recommends approval of the Resolution as presented.

RESOLUTION NO. _____

A RESOLUTION OF THE CITY OF CORINTH, TEXAS FINDING THAT ONCOR ELECTRIC DELIVERY COMPANY LLC’S APPLICATION TO AMEND ITS DISTRIBUTION COST RECOVERY FACTOR AND UPDATE GENERATION RIDERS TO INCREASE DISTRIBUTION RATES WITHIN THE CITY SHOULD BE DENIED; AUTHORIZING PARTICIPATION WITH THE STEERING COMMITTEE OF CITIES SERVED BY ONCOR; AUTHORIZING HIRING OF LEGAL COUNSEL; FINDING THAT THE CITY’S REASONABLE RATE CASE EXPENSES SHALL BE REIMBURSED BY THE COMPANY; FINDING THAT THE MEETING AT WHICH THIS RESOLUTION IS PASSED IS OPEN TO THE PUBLIC AS REQUIRED BY LAW; REQUIRING NOTICE OF THIS RESOLUTION TO THE COMPANY AND LEGAL COUNSEL.

WHEREAS, the City of Corinth, Texas (“City”) is an electric utility customer of Oncor Electric Delivery Company LLC. (“Oncor” or “Company”), and a regulatory authority with an interest in the rates and charges of Oncor; and

WHEREAS, the City is a member of the Steering Committee of Cities Served by Oncor (“OCSC”), a membership of similarly situated cities served by Oncor that have joined together to efficiently and cost effectively review and respond to electric issues affecting rates charged in Oncor’s service area; and

WHEREAS, on or about June 29, 2023, Oncor filed with the City an Application to Amend its Distribution Cost Recovery Factor and Update Mobile Generation Riders, PUC Docket No. 55190, seeking to increase electric distribution rates by approximately \$152.78 million and update Oncor’s Rider Mobile Generation and Rider Wholesale Mobile Generation to recover \$1.07 million related to mobile generation facilities; and

WHEREAS, all electric utility customers residing in the City will be impacted by this ratemaking proceeding if it is granted; and

WHEREAS, OCSC is coordinating its review of Oncor’s DCRF filing with designated attorneys and consultants to resolve issues in the Company’s application; and

WHEREAS, OCSC members and attorneys recommend that members deny the DCRF.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORINTH, TEXAS:

Section 1. That the City is authorized to participate with Cities in PUC Docket No. 55190.

Section 2. That subject to the right to terminate employment at any time, the City hereby authorizes the hiring of the law firm of Lloyd Gosselink and consultants to negotiate with the Company, make recommendations to the City regarding reasonable rates, and to direct any necessary administrative proceedings or court litigation associated with an appeal of this application filed with the PUC.

Section 3. That the rates proposed by Oncor to be recovered through its DCRF charged to customers located within the City limits, are hereby found to be unreasonable and shall be denied.

Section 4. That the Company shall continue to charge its existing rates to customers within the City.

Section 5. That the City’s reasonable rate case expenses shall be reimbursed in full by Oncor within 30 days of presentation of an invoice to Oncor.

Section 6. That it is hereby officially found and determined that the meeting at which this Resolution is passed is open to the public as required by law and the public notice of the time, place, and purpose of said meeting was given as required.

Section 7. That a copy of this Resolution shall be sent to J. Michael Sherburne, Vice President – Regulatory, Oncor Electric Delivery Company LLC, 1616 Woodall Rodgers Freeway, Dallas, Texas 75202; to Tab R. Urbantke, Hunton Andrews Kurth LLP, 1445 Ross Avenue, Suite 3700, Dallas, Texas 75202; and to Thomas L. Brocato, General Counsel to OCSC, at Lloyd Gosselink Rochelle & Townsend, 816 Congress Ave., Suite 1900, Austin, Texas 78701.

PASSED AND APPROVED this 20TH day of July , 2023.

Mayor

ATTEST:

City Secretary

APPROVED AS TO FORM:

City Attorney

From: Reginald Rembert <rembert1@tx.rr.com>
Sent: Monday, July 17, 2023 1:54 PM
To: John Webb
Subject: Hillside ZPD

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Mr. Webb,

I was told that there may not be enough council members in attendance for a super majority at the council meeting on Thursday July 20, 2023. I would like to request a tabling of the Hillside ZPD until August 17, 2023.

Please advise if this is OK.

Reginald Rembert
Rembert Enterprises, Inc.
214-213-5982



CITY OF CORINTH
Staff Report

Meeting Date:	7/20/2023	Title:	Hillside Corinth Planned Development (PD) Rezoning Request Case No. ZAPD22-0008
Strategic Goals:	<input type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development		
Owner Support:	<input checked="" type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission At their meeting on June 26, 2023, the Planning & Zoning Commission voted 4-0 to recommend denial of the Album Corinth PD application to the City Council.		

Item/Caption

Conduct a Public Hearing to consider testimony and act on a rezoning request by the Applicant, Ridinger Associates, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a base zoning district of SF-4 Single Family Residential for the development of 69 single family lots on approximately ±20 acres generally located on the east side of Post Oak Drive, north of the Terrace Oaks Subdivision, and south of the Provence Subdivision. (Case No. ZAPD22-0008 – Hillside Corinth) **This item to be tabled to the August 17, 2023 City Council meeting.**



Location Map - Case No. ZAPD22-0008

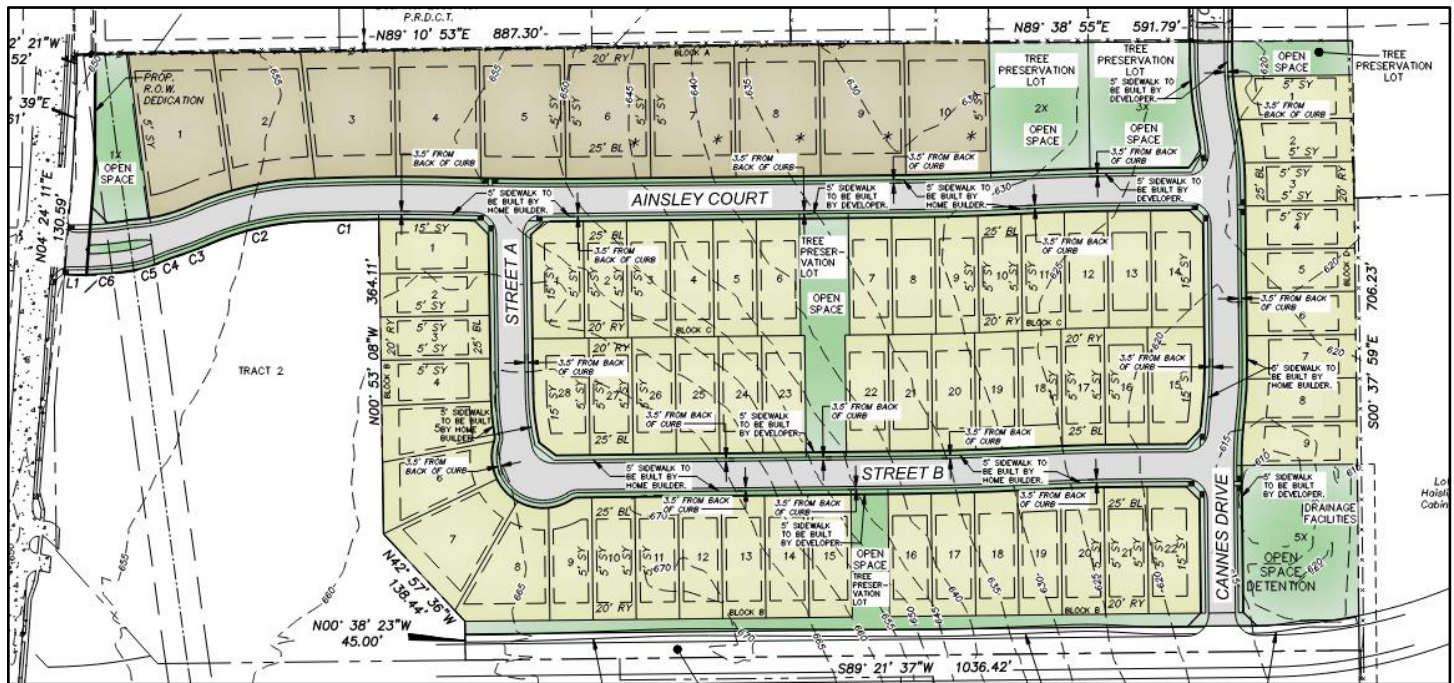
Item Summary/Background/Existing Conditions

The applicant is requesting the rezoning of approximately ±20 acres to a Planned Development (PD) District with a base Zoning District of SF-4 Single Family Residential for the future development of 69 single family detached lots in one (1) phase for a gross density of 3.46 dwelling units per acre (DU/A). The site is presently zoned SF-2 Single Family Residential, which requires a minimum lot size of 14,000 sq. ft. The property is primarily undeveloped with groves of large trees and a pond in the southeast corner, which is intended to be modified to serve as a drainage facility. Additionally, a gas line easement runs along the northwestern portion of the property adjacent to Post Oak Drive. The property is owned by Antioch Christian Fellowship of Corinth Texas Inc., and the existing 2 (two) buildings on site would be removed.

The site is bounded to the west by Post Oak Drive and vacant land zoned SF-2 Single Family Residential, depicted as Tract 2 on the Concept Plan. The northern boundary is adjacent to single family homes in the Provence Subdivision which is zoned SF-3 Single Family Residential (minimum lot size of 10,000 sq. ft). The properties to the south and southwest are composed of tracts of land zoned SF-2 Single Family Residential that are either undeveloped or contain a single-family dwelling. The area to the east is zoned PD-5 (base zoning of SF-2, SF-3, and SF-4) and contains a single-family dwelling and agricultural uses.

The property’s place type designation under the Comprehensive Plan’s Land Use and Development Strategy is “Neighborhood”, which envisions traditional neighborhood design in new developments with transitions to existing neighborhoods in respect to densities, screening, and buffering. The design and sustainability priorities of the Neighborhood place type designation include providing sidewalk and trail connections, and local area detention infrastructure that also serves as an amenity (including landscaping and trails) for the benefit of adding value to the development. To keep with these design priorities and enhance the character of the proposed development, the Applicant is integrating existing environmental features by committing to preserve trees within groves and linear open spaces.

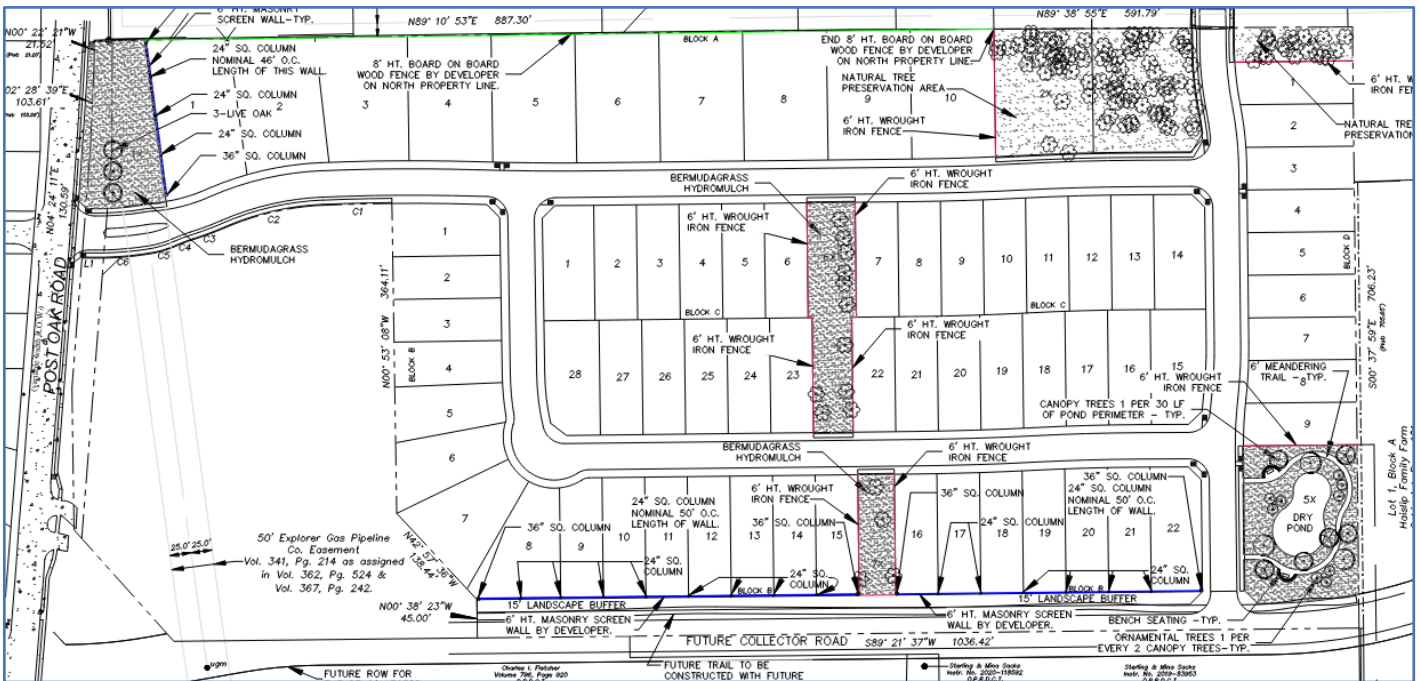
Please refer to Attachment 1 – PD Design Statement for the overall project proposal and detailed proposed development regulations.



Excerpt of Exhibit C – PD Concept Plan

The PD Concept Plan (Exhibit C) shows the overall layout and design of the site and provides a breakdown of lot dimensions. The proposed development will include 59 lots with a minimum lot area of 6,250 sq. ft. (minimum 50' wide and a minimum 120' deep), and ten (10) lots with a minimum lot area of 13,500 sq. ft. (minimum 95' wide and a minimum 120' deep) along the northern boundary of the property. Five (5) of the ten (10) larger lots will be restricted to one-story in height by deed restriction and within the PD. A note will also be placed on the Final Plat indicating this restriction on the subject lots. The purpose of the larger lots on the northern boundary is to provide an appropriate transition to the subdivision to the north as intended in the Comprehensive Plan. Additional restrictions to be applicable to all lots in the development include a provision that garage doors shall not extend in front of the home and that no more than two (2) garage doors or one (1) double garage door shall face the primary street on a front elevation, unless a third garage door is added as a "j-swing" door or may face a side street on a corner lot.

The Master Thoroughfare Plan, adopted within the Comprehensive Plan, identifies the future construction of a new Collector roadway (60' right-of-way width, with approximately 37 feet of driving lanes), for the purpose of extending Creekside Drive at Post Oak Drive eastward to Silver Meadow Lane. The Applicant has agreed to dedicate, at the time of Final Plat, a portion of right-of-way required for this future collector roadway. Per the Comprehensive Plan's mobility strategy, the aim of a comprehensive transportation network is to provide a variety of facilities both motorized and non-motorized modes of travel, with connections to destinations with special emphasis on education services, parks and open spaces.



Excerpt of Exhibit E – Conceptual Landscape and Screening Plan

The Conceptual Landscape and Screening Plans (Exhibit E) shows the overall layout and design of the landscaping and screening required for the site, including the location of open space/tree preservation and drainage lots, which are to be owned and maintained in perpetuity by a Homeowners' Association established for the subdivision. The Applicant is committing to preserving approximately 20% of total Healthy Protected Tree Caliper Inches on site in open space/tree preservation lots.

Regarding the proposed drainage facility on the southeast corner of the site, Attachment 1 – PD Design Statement contains specific standards related to the trail and landscaping planting rates in this area. Staff supports a provision included in the PD Design Statement that would permit the Applicant to count the perimeter land area containing the enhanced landscaping towards meeting a portion of the minimum Park and Trail Dedication requirements of UDC Subsection 3.05.10. The Applicant has informed Staff that the design of the drainage facility may not permit the installation of the

trail and enhanced landscaping. Thus, Staff cautions that the image shown above is conceptual and the project’s landscaping in this particular location may not materialize as depicted, if at all, and would not meet the intent of the Neighborhood Place Type in the Comprehensive Plan.

In terms of trails, the Active Transportation Plan identifies two (2) trails within the boundaries of the property: an eight (8) foot-wide sidepath along the east side of Post Oak Drive, and an eight (8) foot-wide sidepath along the boundary of the future collector roadway on the south side of the property. The Applicant will not be required to install the identified trails. The trails would be installed at the time Post Oak Drive is widened and the future collector road on the south is constructed. The Applicant will dedicate a Pedestrian Access Easement to allow the trail along the future collector to meander through a landscape buffer. Note, that while Staff and the Applicant agreed to defer the construction of the trails, the required landscaping in the landscape edge buffer on the southside of the property adjacent to the future collector roadway is to be installed at the time of construction of this subdivision. Staff is requesting this item (required landscaping shall be installed along the buffer at the time of residential development, and not at the time of future roadway/trail construction) be included as a condition of approval for this Planned Development request.

Additionally, masonry walls will be constructed along the lots siding to Post Oak Drive and those adjacent to the right-of-way dedicated for the future collector roadway. Ornamental tubular metal fencing will be installed along the common boundaries between open space lots and proposed single family lots within the development. Additionally, the Applicant will construct a board-on-board cedar fence, eight (8) feet in height along the northern property boundary. PD Design Statement contains an additional provision to ensure that no wood fence may be constructed behind or in front of tubular metal fencing, to protect community image.

The Applicant provided a Traffic Impact Worksheet (see Exhibit G – Traffic Impact Analysis Worksheet), though a full Traffic Impact Analysis is not required as the threshold to warrant a full Analysis was not met.

Applicant Requested Departures from the Unified Development Code (UDC) Provisions

As stated in the UDC, Section 2.06.03, the purpose of a PD District is to “... encourage quality and better development in the City by allowing flexibility in planning and development of projects . . .and permit new or innovative concepts in land utilization or diversification that could not be achieved through the traditional [base] zoning districts.” As such, the Applicant is requesting the following departures from the established UDC provisions, as well as additional provisions, to create a unique project. Note that the stated departures below are further described in Attachment 1 –PD Design Statement and include a justification for each request.

Proposed Dimensional Regulations			
Development Standards	Base Zoning SF-4	Hillside Corinth PD-XX	
Lot Sizes			
Minimum Lot Width at Building Line	70 feet	50 feet	95 feet
Minimum Front Yard Setback	25 feet	25 feet*	25 feet*
Minimum Side Yard Setback:			
Interior Lot	5 feet	5 feet	5 feet
Corner Lot	15 feet	15 feet	15 feet
Minimum Rear Yard Setback	20 feet	20 feet	20 feet
Minimum Lot Area	7,500 s.f.	6,250 s.f.	13,500 s.f.
Maximum Density	N/A	3.46 lots/acre	
Minimum Lot Depth	100 feet	100 feet	
Minimum Floor Area	1,500 s.f.	1,800 s.f.	
Maximum Building Area Coverage	30%	55%	

* The front setback may be reduced to a minimum of 15 feet for the following elements:

- 1) A “j-swing” garage provided the wall of the garage that faces the street contains a glass pane window with a minimum size of three feet by five feet and the height of the garage does not exceed one story.
- 2) An unenclosed front porch has a minimum dimension of seven feet in depth measured from stud to the front edge of the porch and a minimum width of 10 feet.

Compliance with the Comprehensive Plan

The 2040 Comprehensive Plan’s Land Use and Development Strategy designates the property as “Neighborhood.” This Place Type envisions traditional neighborhood design in new developments with transitions to existing neighborhoods in respect to densities, screening, and buffering. As designed, the project meets the intent of the Place Type by providing sidewalk and trail connections to promote walkability and bikeability, as well as local area detention infrastructure that serves as an amenity. Additionally, the project adheres to the guiding principle of the Comprehensive Plan by providing a complete, connected, and safe neighborhood with convenient access to services and a variety of housing that meets the needs of all ages and abilities.

Public Notice

Notice of the public hearing was provided in accordance with the City Ordinance and State Law by,

- Publication in the Denton Record-Chronicle
- Written public notices were mailed to the owners of all properties located within 200 feet of the subject property and to the Denton ISD.
- The Applicant posted a “Notice of Zoning Change” sign along Post Oak Drive.
- The Public Hearing notice was posted on the City’s Website.

Letters of Support/Protest

As of the date of this report, the City has received one (1) letter of support, eight (8) letters of opposition from the owners of five (5) properties located within 200 feet of the subject property in response to City’s mailed notification. It should be noted that the City received multiple letters of opposition from the owners of the same property. The letters in opposition represent 29.40% of the land area within 200 feet of the subject property.

Additionally, the City has received one (1) letter of support and one (1) letter of opposition the owners of properties located outside the 200-foot buffer from the subject property.

See Attachments 3 and 4 for Letters/Emails from Property Owners received.

Planning and Zoning Commission Recommendation

At their meeting on June 26, 2023, the Planning & Zoning Commission voted 4-0 to recommend denial of the Hillside PD application to the City Council.

Staff Stipulations

Should the City Council approve the rezoning request, Staff requests the following stipulations be included in the motion:

1. Amend PD Design Statement to include a provision requiring that the shade trees within the required 15’ landscape buffers adjacent to the future collector roadway (including along the Drainage X Lot) shall be installed by the Applicant at the time of subdivision construction, and not at time of roadway construction (see Attachment 1)

2. Amend Exhibit E – Conceptual Landscape and Screening Plans to show the required shade trees to be installed by the Applicant on the buffers on the south side of the property adjacent to the future collector roadway (including along the Drainage X Lot).
3. Amend PD Design Statement to include a stipulation that the Drainage facility X lot shall be amenitized at a minimum with enhanced landscaping and sitting area along the western boundary adjacent to the sidewalk to meet the intent of Neighborhood Place Type in Comprehensive Plan, in the event that the design of the facility does not permit the installation of landscape/hardscape as depicted in Exhibit E – Conceptual Landscape and Screening Plans.

Three-Fourths Affirmative City Council Vote Required

Per State Law and or the Unified Development Code (UDC), a three-fourths (3/4) affirmative vote of all members of the City Council (five [5] Councilmembers) shall be required to approve the rezoning request due to the following conditions being met:

1. The rezoning request has been protested by property owners, representing 20% or more of the land area within 200 feet of the exterior boundary of the area in the proposed amendment. (State Law and UDC)
2. The Planning & Zoning Commission recommended denial of the request. (UDC)

Possible Actions by the City Council

The City Council may,

- Approve as presented, with five (5) affirmative votes
- Approve with additional stipulations, with five (5) affirmative votes
- Continue the Public Hearing and table action on the request to a definitive or non-defined date, with a simple majority vote or
- Deny the request upon the receipt of four (4) or fewer affirmative votes

Supporting Documentation

Attachment 1 – PD Design Statement

- Exhibit A – Legal description
- Exhibit B – Proposed Zoning Map Change (SF-2 to PD with base zoning district of SF-4)
- Exhibit C – PD Concept Plan
- Exhibit D – Existing Site Conditions (include an aerial with project layout overlay)
- Exhibit E – Conceptual Landscape and Screening Plans
- Exhibit F – Elevations
- Exhibit G – Traffic Impact Analysis Worksheet
- Exhibit H – Existing Tree Coverage

Attachment 2 – Zoning Buffer Map

Attachment 3 – Letters/Emails from Property Owners – Inside the 200’ Buffer

Attachment 4 – Letters/Emails from Property Owners – Outside the 200’ Buffer

Attachment 5 – Draft June 26, 2023, Planning & Zoning Commission Minutes

ATTACHMENT 1:

APPLICANT

PD DESIGN STATEMENT

HILLSIDE CORINTH PLANNED DEVELOPMENT

PD DESIGN STATEMENT**SECTION 1 - OVERVIEW**

A. **PROJECT NAME/TITLE:** Hillside Corinth

B. **LIST OF OWNERS/DEVELOPERS:** Rembert Enterprises, Inc.

C. **PROJECT ACREAGE AND LOCATION:**

The project site is approximately 24.17 acres on the east side of the intersection of Post Oak Dr. and Creekside Dr. in the City of Corinth. The zoning request is for approximately 19.97 acres, a portion of Lot 1, Block A Antioch Fellowship Addition.

D. **PROJECT OVERVIEW:**

The proposed Hillside Corinth residential subdivision will be a quality neighborhood with 69 residential lots and 7 open space lots. The proposed lot types conform to the Future Land Use designation, and the subdivision will include sidewalk and right-of-way dedication for the future expansion of Post Oak Road and extension of Creekside Drive including trails.

E. **PROJECT DESCRIPTION:**

The proposed Planned Development (PD) is intended to provide for a quality development of a residential community taking advantage of the location and the concepts outlined in Envision Corinth 2040 Comprehensive Plan by promoting variation in single-family dwelling types (95' and 50' Lots) (See Exhibit "C" – Concept Plan), providing a network of common open spaces, preserving groves of mature trees, maintaining a density of 3.46 dwelling units per acre, and providing neighborhood scale detention facilities that serve as amenities with and street frontage.

The current zoning of the property is SF-2 and we are intending to rezone the property as a PD with a base of SF-4. The purpose of this PD is to allow a transition between SF-3 to the north in the Provence subdivision and PD-39 to the south and east in the Terrace Oaks subdivision.

SECTION 2: USES AND AREA REGULATIONS

A. **DEVELOPMENT REGULATIONS:**

The following "Development Regulations" represent special development regulations, and specific departures or modifications, as well as waivers from the regulations outlined in Unified Development Code (UDC) in order to permit the unique design and afford flexibility and innovation of design that require certain departures from the SF-4 regulations to create the residential project as presented in Exhibit C – PD Concept Plan and other associated plans as presented in "Supporting Documents" contained in Appendix A.

1) Permitted Uses and Use Regulations

All Permitted Uses in the SF-4 Zoning, as listed in Subsection 2.07.03 of the Unified Development Code shall be permitted in the PD-XX District.

2) Dimensional Regulations

The Dimensional Regulations described in Section 2.08.04 of the Unified Development Code, Ordinance No.13-05-02-08, for the base zoning district SF-4 Single Family Residential (Detached) shall apply, except as modified below:

Dimensional Regulations UDC Section 2.08 shall be modified from the base zoning district of SF-4 to **permit two (2) lot types, single-family residential lot widths** and shall comply with the requirements identified in **Table A**, below.

Table A – Dimensional Requirements

Dimensional Regulations (Deviations) Table A			
	Base	Hillside	
	Zoning	Corinth	
Development Standards	SF-4	PD-XX	
Lot Sizes			
Minimum Lot Width at Building Line	70 feet	50 feet	95 feet
Minimum Front Yard Setback	25 feet	25 feet*	25 feet*
Minimum Side Yard Setback: Interior Lot	5 feet	5 feet	5 feet
Corner Lot	15 feet	15 feet	15 feet
Minimum Rear Yard Setback	20 feet	20 feet	20 feet
Minimum Lot Area	7500 s.f.	6250 s.f.	13,500 s.f.
Maximum Density	N/A	3.46 Lots/Acre	
Minimum Lot Depth	100 feet	100 feet	
Minimum Floor Area	1500 s.f.	1800 s.f.	
Maximum Building Area Coverage	30%	55%	

- * The front setback may be reduced to a minimum of 15 feet for the following elements:
- 1) A “j-swing” garage provided the wall of the garage that faces the street contains a glass pane window with a minimum size of three feet by five feet and the height of the garage does not exceed one story.
 - 2) An unenclosed front porch has a minimum dimension of seven feet in depth measured from stud to the front edge of the porch and a minimum width of 10 feet.

Base Modified Standards

- Air conditioning units may be installed in side yards.
- The total number of single-family lots shall not exceed 69 units
- Maximum building area coverage shall be exclusive of sidewalks, driveways, and accessory structures.
- Five (5) residential lots along the northern property line, as identified in Exhibit C – PD Concept Plan, shall be restricted to one-story. Developer shall include this restriction in HOA CCRs and Final Plat

Justification:

The proposed standards and “Dimensional Regulations” vary from the SF-4 base standards to provide transition between adjacent properties and a variety of options in lot/house sizes.

3) Accessory Building and Uses

UDC Section 2.07.07 Accessory Building and Uses shall apply.

4) Landscaping Regulations

UDC Section 2.09.01 B.2 shall apply, with the additional provision that the future trail to be installed with the future construction of Creekside Drive may be located within the required landscape edge buffer, provided that a 5' Pedestrian Access Easement is established in the Subdivision Plat..

Justification:

This departure is to allow the option to provide a more natural looking area adjacent to open space and attempt to maintain additional existing trees where possible.

5) Tree Preservation Regulations

UDC Section 2.09.02 shall apply. Additionally, the Developer/HOA agrees to preserve and perpetually maintain approximately 20% of all existing healthy protected caliper inches on site. These trees will be preserved in lots to be designated as Open Space/Tree Preservation lots, to serve as passive recreation areas for residents of the development. Open Space/Tree Preservation Lots shall be owned and maintained in perpetuity by the HOA. Open Space/Tree Preservation Lots shall not be sold or otherwise conveyed.

Justification:

The proposed standards and Tree Preservation outlined ensure additional healthy protected trees (as identified by a registered arborist) will be saved in HOA maintained open space.

6) Vehicular Parking Regulations

UDC Section 2.09.03. Vehicular Parking Regulations shall apply.

7) Garages

UDC Section 2.09.03.B shall apply with front entry garages being allowed.

8) Building Façade Material Standards.

UDC Section 2.09.04 Building Façade Material Standards shall apply.

9) Park and Trail Land Dedication

UDC Section 3.05.10 which requires that Park and Trail dedication for Residentially Zoned Property to be provided at a rate of 1 acre per/50 DU and/or fees-in-lieu of, shall apply, with the following additional provisions:

- a) The flat perimeter land area of a detention facility on an X lot may be included in the calculation to meet the requirements of this section. To be considered towards meeting the requirements of this subsection, the facility shall be designed based on the following criteria:
 - i) Wet detention areas shall be improved to include a six foot (6') meandering trail around the perimeter that includes defined landscaped pockets to include sitting areas with benches, pedestrian decorative lighting, shade trees (at a rate of one (1) tree per thirty (30) linear feet of trail) and ornamental trees (at a rate of one (1) tree per every two (2) shade trees provided) located at intervals along the trail. In addition, the landscape pockets shall

- include a half circle of landscape plantings behind each bench. The pond shall include a fountain feature.
- ii) Dry detention areas shall be improved to include a six foot (6') meandering trail around the perimeter that includes defined landscaped pockets to include sitting areas with benches, pedestrian decorative lighting, shade trees (at a rate of one (1) tree per thirty (30) linear feet of trail) and ornamental trees (at a rate of one (1) tree per every two (2) shade trees provided) located at intervals along the trail. In addition, the landscape pockets shall include a half circle of landscape plantings behind each bench. Additionally, Bald Cypress trees may be planted within the bottom of the basin and these trees may be used to satisfy any required tree mitigation, subject to Engineering approval of tree plantings within the basin.
 - iii) Alternative perimeter design may be considered by the Director of Development Services at the time of Subdivision Construction Plans approval based on best planning, engineering, and landscape architecture practices to achieve a similar intent of items i. and ii. above.

10) Lighting and Glare Regulations

UDC Section 2.09.07 shall apply.

11) Sign Regulations

UDC Section 4.01 shall apply.

12) Fence and Screening Regulations

UDC Section 4.02 shall apply, except as modified below:

- a) When a key lot has two (2) front yards and a house is constructed facing one (1) of the two (2) front yards, a fence constructed on the second front yard shall be constructed at the building line. Fences in front of the building line will not be permitted on either front yard of the key lot.

Additionally, fences installed on lots adjacent to internal open space shall be constructed of tubular metal (wrought iron) and installed by the Developer. Where tubular metal fence is in place, a wood fence may not be constructed behind or in front of the tubular metal fence. Prior to the acceptance of the subdivision and prior to the issuance of any residential building permits, the developer shall install a cedar, board-on-board, eight (8') foot in height, along the northern property line of Lots 1-10, Block A. The metal support posts shall face to the south. Masonry screening walls adjacent to existing arterial and future collector roadways, as identified in Exhibit E – Conceptual Landscape and Screening Plans shall be installed by the developer prior to the acceptance of the subdivision and prior to the issuance of any residential building permits and shall not extend beyond the front setback line of adjacent lots. The subdivision plat shall reflect a five (5) foot wide maintenance easement in each residential lot with masonry fence to permit the maintenance of the screening and fencing.

13) Other

a) Street Design

UDC Section 3.05.13 shall apply. Sidewalks shall be located and installed per the City's UDC. The trail along Post Oak Drive will be constructed by the City of Corinth with the Post Oak Drive Expansion Project.

b) Stormwater Detention Basin Design

Existing pond on-site shall be modified to accommodate developed detention design in Lot 5X, as identified in Exhibit C – Concept Plan, and will be designed per the City’s Drainage Standards.

c) Single Story Home lot restrictions.

Developer will deed restrict per Zoning, Record Plat, and HOA CCRs five (5) residential lots along the Provence property line. Single family restricted lots are identified on Exhibit C.

d) Garage Doors

The garage door(s) shall not extend in front of the home. No more than two (2) single garage doors or one (1) double garage door shall face the primary street on a front elevation. A third garage door may be located as a “j-swing” door or may face a side street on a corner lot.

B. OTHER DEVELOPMENT CONSIDERATIONS:**1) Platting**

Remainder of Lot 1, Block A, Antioch Fellowship Addition will be included with plat of subdivision but is not part of PD-XX

2) Phasing.

The proposed development will be constructed as a single phase. Anticipate starting the preliminary platting, engineering, and construction process immediately upon approval of the requested zoning change.

3) Impacts.

- a. Traffic Impact Assessment** – Not required due to size of project per Traffic Impact Memo submitted with application.
- b. Drainage/Stormwater Management** – Storm drainage improvements will be designed and constructed in accordance with the City’s published criteria. All storm improvements are intended to be public and will be dedicated to the City upon completion, except for detention facilities that will be maintained by the HOA.
- c. Floodplain/Wetland** – There are no floodplain or wetlands present on the site.
- d. Utilities** – Water and sanitary sewer will be constructed to provide service to all lots within the development in accordance with the City’s published criteria. All water and sanitary sewer are intended to be public and will be dedicated to the City upon completion of construction.

SECTION 3 – BACKGROUND INFORMATION**A. EXISTING SITE CONDITIONS**

The site is currently being used for a large residential estate(s) and/or agricultural purposes. It is accessed via an existing mutual access easement along Post Oak Dr. The following is a brief description of the existing physical characteristics of the site which are depicted on the attached Exhibit D – Existing Site Conditions.

The project site is bound by Post Oak Drive on the west, Provence subdivision on the north, two undeveloped tracts of land to the south, and a large tract of land currently being used for agricultural purposes to the east. The project is surrounded by single-family residential zoning on all four sides which includes SF-3, PD-10, SF-2 (across Post Oak and current site of Antioch Christian Fellowship), PD-39, PD-57, and PD-5.

The subject site does not contain floodplain according to FEMA maps, wetland, or streams. The site has approximately 4.373 acres of healthy tree canopy coverage (Exhibit D – Existing Site Conditions and Exhibit H – Existing Tree Coverage). The existing topography shows a high point near the middle of the site near the southern property line that primarily drops to the east, south, and west.

The subject site includes several structural that will be removed as part of development of the proposed single-family lots. The franchise utilities and public utilities currently serving those structures will be relocated as part of development going in proposed street right-of-way or easements.

B. CURRENT ZONING

The site is currently zoned SF-2 which permits a range of uses by right including among Single Family Detached Dwellings, Licensed Child-Care Home, Church or Other Place of Worship, Country Club, Gas or Oil Well Production, Police or Fire Station, etc.



Source: Source: [Corinth GIS Zoning Map](#)

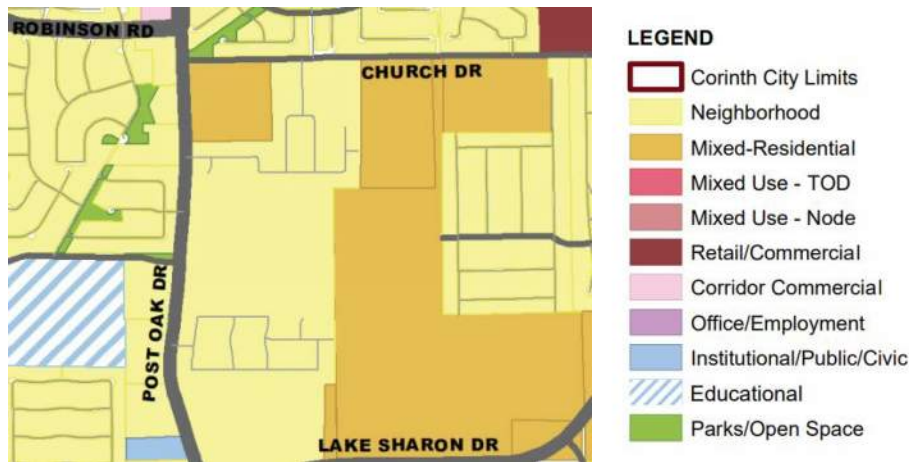
The existing zoning on the subject site permits the following:

Existing SF-2 Dimensional Regulations	
Minimum Front Yard Setback	25 feet
Minimum Side Yard Setback: Interior Lot	15 feet
Corner Lot	25 feet
Minimum Rear Yard Setback	20 feet

Minimum Lot Area	14000 s.f.
Minimum Lot Depth	110 feet
Maximum Density	N/A
Minimum Lot Width	100 feet
Minimum Floor Area	2000 s.f
Maximum Building Area Coverage	30%

C. FUTURE LAND USE

The Future Land Use Map shows this site as “Neighborhood”. The proposed “PD” aligns with this plan.



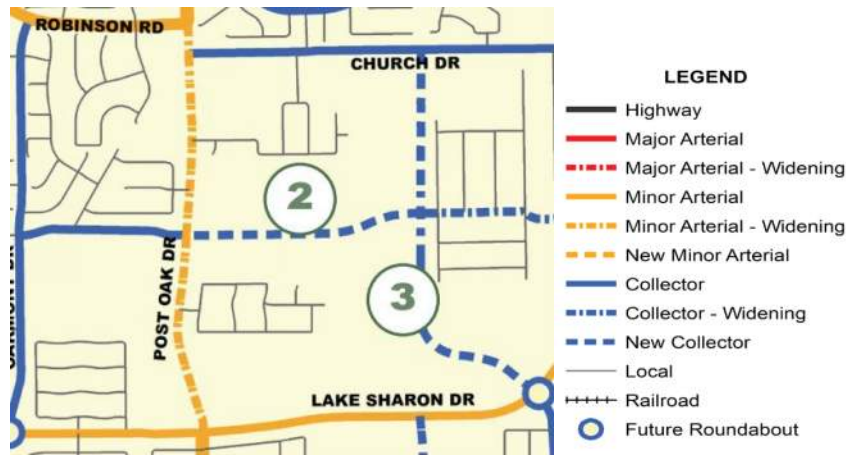
Source: [Envision Corinth 2040 Comprehensive Plan \(Adopted July 2020\)](#)

1. Strategic Focus Areas

The subject site is not located in a Strategic Focus Area identified by Envision Corinth 2040 Comprehensive Plan.

2. Mobility – Master Thoroughfare Plan

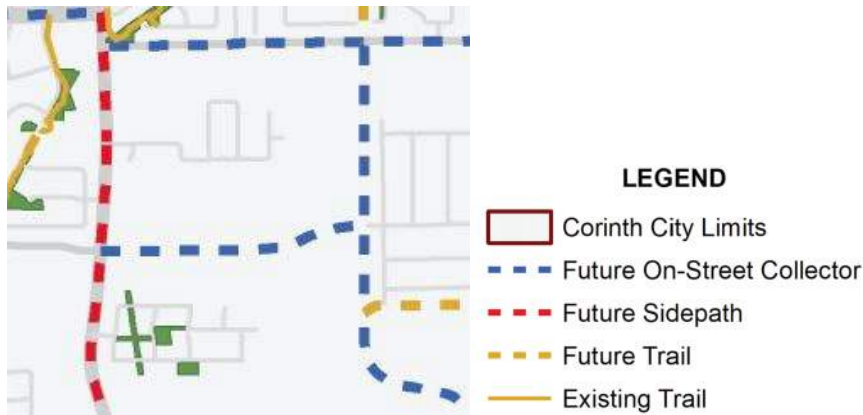
The Master Thoroughfare Plan calls for a continuation of Creekside Drive, identified as a Collector, half along the southern property line and a future widening of Post Oak Drive. Exhibit C – PD Concept Plan shows the proposed continuation of Creekside Drive and allows for the widening of Post Oak Drive. Right-of-way dedication for Post Oak and continuation of Creekside Drive will be made at the time of platting.



Source: [Envision Corinth 2040 Comprehensive Plan - Master Thoroughfare Plan \(Adopted July 2020\)](#)

3. Mobility – Active Transportation Plan

The Active Transportation Plan calls for a Future On-Street Collector along the continuation of Creekside Drive and a Sidepath along Post Oak Drive. The future Collector will be constructed when the southern property develops or the city acquires the necessary ROW and it is our understanding that the proposed Sidepath along Post Oak will occur with the planned widening.



D. PARK, RECREATION AND OPEN SPACE MASTER PLAN

There are no parks designated on this property, but there are 7 Open Space lots including treed areas that are intended to be used similar to a passive park by the residents. All open space areas shall be owned and maintained by the HOA.

**Old Town Surveying, LLC****Professional Land Surveyors**

810 Office Park Circle, Ste. 130, Lewisville, TX 75057

Ph. 469-293-8079 info@oldtownsurveying.com

TFRN Number: 10194611

EXHIBIT "A"
Hillside of Corinth
19.971 Acres

BEING a 19.971 Acre portion of Lot 1, Block A of Antioch Fellowship Addition, an Addition to the City of Corinth, Denton County, Texas, according to the map or plat thereof filed for record under Document Number 2016-128 Plat Records, Denton County, Texas (P.R.D.C.T.), and being more particularly described as follows:

BEGINNING at 1/2 inch iron rod with cap stamped "Kern" found for corner being the southeast corner of said Lot 1, same point being the northeast corner of a tract of land described by deed to Sterling and Mina Sacks, recorded under Instrument Number 2019-83953, Official Public Records, Denton County, Texas (O.P.R.D.C.T.), same point being in the west line of Lot 1, Block A of Haislip Family Farm, an addition to the City of Corinth, Denton County, Texas, according to the plat thereof recorded in Cabinet I, Page 181, P.R.D.C.T.;

THENCE South 89 degrees 21 minutes 37 seconds West, with the north line of said Sacks tract, a distance of 1036.42 feet to a 1/2 inch iron rod with blue cap stamped "*OLD TOWN SURVEYING*" (OTS) set for corner, from which the southwest corner of said Lot 1, Block A, Antioch Fellowship Addition bears South 89 degrees 21 minutes 37 seconds West at 356.82 feet;

THENCE North 00 degrees 38 minutes 23 seconds West, over and across said Lot 1, Block A of Antioch Fellowship Addition, a distance of 45.00 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for corner;

THENCE North 42 degrees 57 minutes 36 seconds West, over and across said Lot 1, Block A of Antioch Fellowship Addition, a distance of 138.44 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for corner;

THENCE North 00 degrees 53 minutes 08 seconds West, over and across said Lot 1, Block A of Antioch Fellowship Addition, a distance of 364.11 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for the beginning of a non-tangent curve to the left, having a radius of 2444.48 feet;

THENCE over and across said Lot 1, Block A of Antioch Fellowship Addition and with said curve to the left, through a central angle of 01 degrees 54 minutes 07 seconds, whose chord bears South 88 degrees 28 minutes 59 seconds West at 81.14 feet, an arc length of 81.14 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for the beginning of a curve to the left, having a radius of 325.00 feet;

THENCE over and across said Lot 1, Block A of Antioch Fellowship Addition and with said curve to the left, through a central angle of 21 degrees 00 minutes 28 seconds, whose chord bears South 77 degrees 01 minute 28 seconds West at 118.50 feet, an arc length of 119.16 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for the beginning of curve to the right, having a radius of 375.00 feet;

THENCE over and across said Lot 1, Block A of Antioch Fellowship Addition and with said curve to the right, through a central angle of 06 degrees 02 minutes 30 seconds, whose chord bears South 69 degrees 32 minutes 50 seconds West at 39.52 feet, an arc length of 39.54 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for the beginning of a curve to the left, having a radius of 190.50 feet;

THENCE over and across said Lot 1, Block A of Antioch Fellowship Addition and with said curve to the left, through a central angle of 06 degrees 28 minutes 41 seconds, whose chord bears South 69 degrees 19 minutes 45 seconds West at 21.53 feet, an arc length of 21.54 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for the beginning of a curve to the right, having a radius of 124.50 feet;

THENCE over and across said Lot 1, Block A of Antioch Fellowship Addition and with said curve to the right, through a central angle of 14 degrees 29 minutes 22 seconds, whose chord bears South 73 degrees 20 minutes 05 seconds West at 31.40 feet, an arc length of 31.48 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for the beginning of a curve to the right, having a radius of 379.50 feet;

THENCE over and across said Lot 1, Block A of Antioch Fellowship Addition and with said curve to the right, through a central angle of 09 degrees 49 minutes 45 seconds, whose chord bears South 85 degrees 29 minutes 39 seconds West at 65.02 feet, an arc length of 65.10 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for corner;

THENCE North 89 degrees 35 minutes 28 seconds West, over and across said Lot 1, Block A of Antioch Fellowship Addition, a distance of 15.66 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for corner being in the east right-of-way line of Post Oak Road;

THENCE North 04 degrees 24 minutes 11 seconds East, with the east right-of-way line of said Post Oak Road, a distance of 130.59 feet to a 1/2 inch iron rod with cap stamped "KAZ" found for corner;

THENCE North 02 degrees 28 minutes 39 seconds East, with the east right-of-way line of said Post Oak Road, a distance of 103.61 feet to a 1/2 inch iron rod with blue cap stamped "KAZ" found for corner;

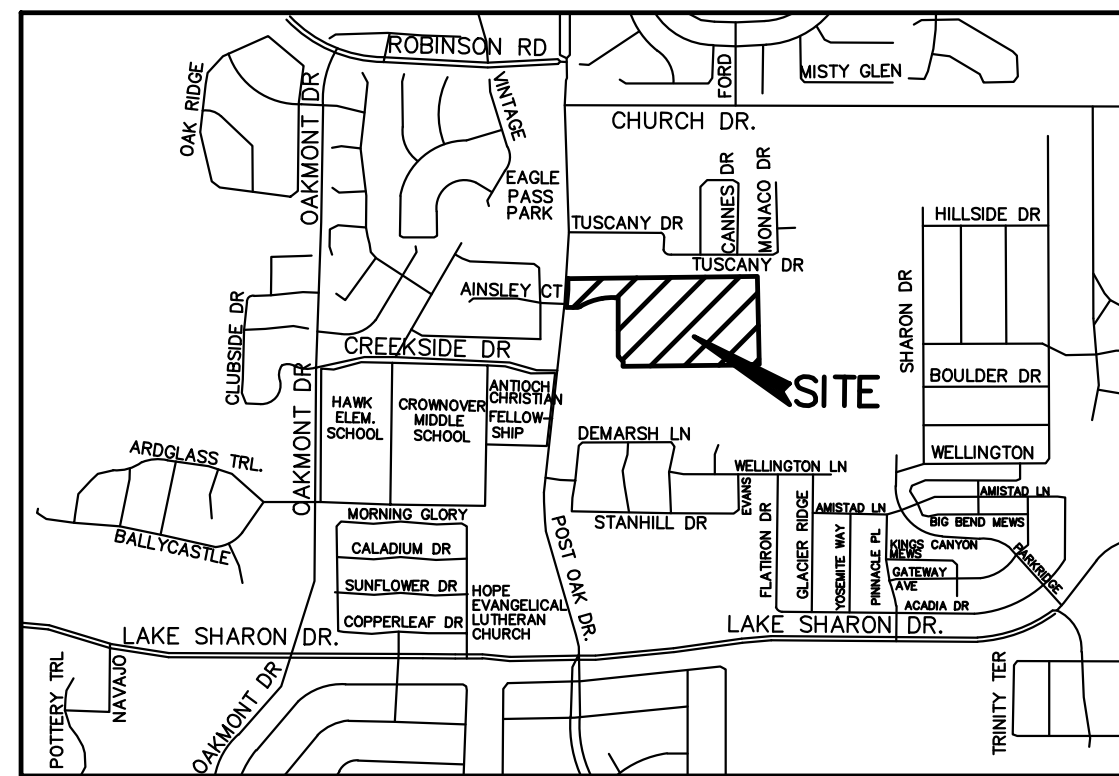
THENCE North 00 degrees 22 minutes 21 seconds West, with the east right-of-way line of said Post Oak Road, a distance of 21.52 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for corner being the northwest corner of said Lot 1, Block A of Antioch Fellowship Addition;

THENCE North 89 degrees 10 minutes 53 seconds East, passing at 17.17 feet a 1/2 inch iron rod with cap stamped "RPLS 4561" found for the southwest corner of Provence, an addition to the City of Corinth, Denton County, Texas, according to the plat thereof recorded under Document Number 2009-197, P.R.D.C.T., and continuing on for a total distance of 887.30 feet to a point from which a 1/2 inch iron rod found bears South 48 degrees 26 minutes 27 seconds East at 0.90 feet;

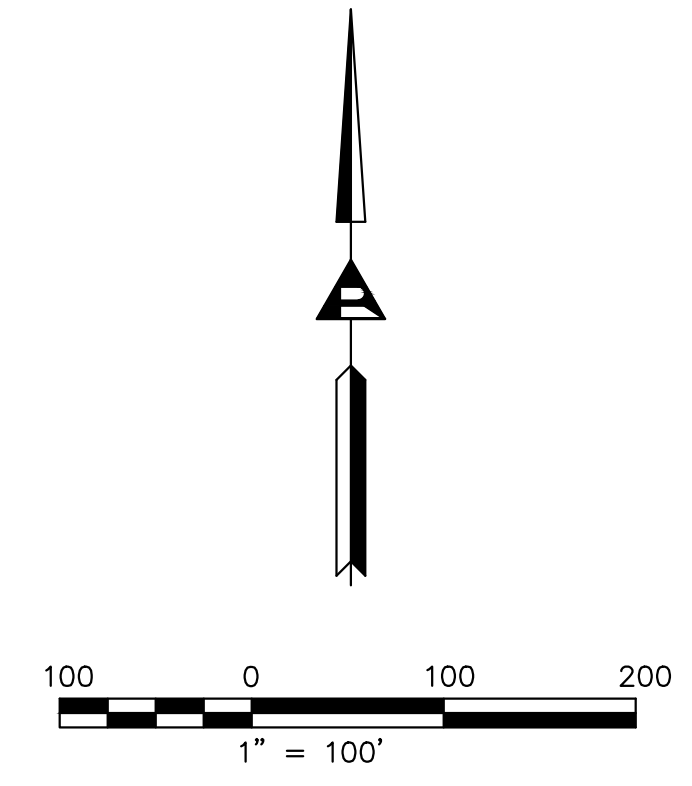
THENCE North 89 degrees 38 minutes 55 seconds East, passing at 170.28 feet a 1/2 inch iron rod with cap stamped “RPLS 4561” found, and continuing on for a total distance of 591.79 feet to a 1/2 inch iron rod with blue cap stamped “OTS” set for corner being an ell corner of Lot 2R, Block E, Provence, an addition to the City of Columbus, Denton County, Texas, according to the plat thereof recorded under Document Number 2016-96, P.R.D.C.T., same point being the northeast corner of said Lot 1, Block A, Antioch Fellowship Addition;

Section G, Item 3.

THENCE South 00 degrees 37 minutes 59 seconds East, passing the southwest corner of said Lot 2R, and continuing on for a total distance of 706.23 feet to the **POINT OF BEGINNING** and containing 19.971 acres of land, more or less.

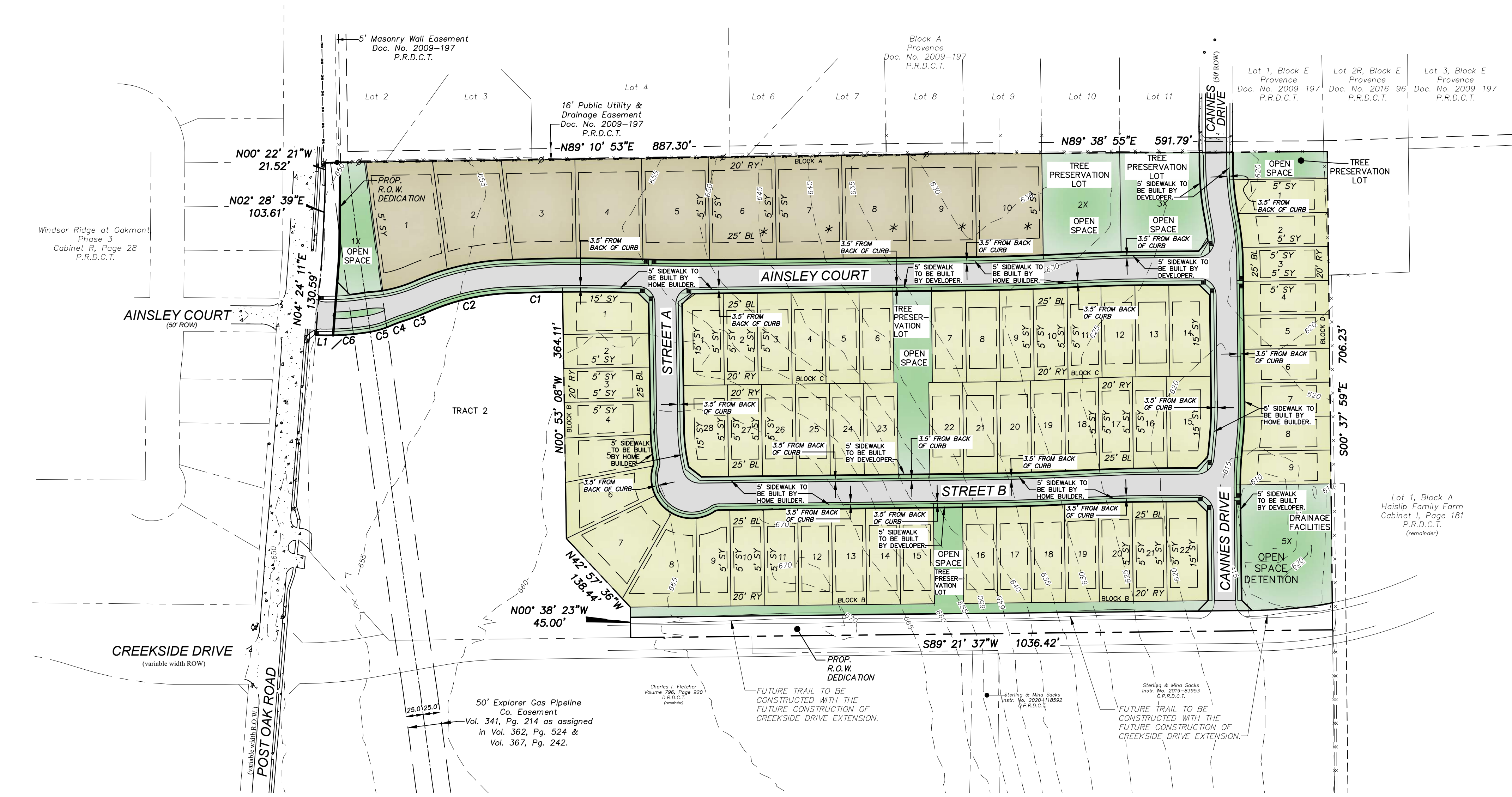


VICINITY MAP: NOT TO SCALE



No.	Date	Revisions	App.

Ridger Associates, Inc.
 Civil Engineers - Planners
 Firm No. 1969
 550 S. Edmonds Lane, Suite 101
 Lewisville, Texas 75067
 Tel. No. (972) 353-8000
 Fax No. (972) 353-8011



SITE DATA SUMMARY	
EXISTING ZONING	SF-2
PROPOSED ZONING	PD (SF-4 BASE)
FUTURE LAND USE	NEIGHBORHOOD
GROSS AREA	19.971 ACRES
INTERNAL ROW	3.57 ACRES
POST OAK ROW DEDICATION	0.14 ACRES
COLLECTOR ROW	0.72 ACRES
IMPERVIOUS AREA	2.99 ACRES
% IMPERVIOUS	14.97%
DENSITY	3.46 LOTS/AC
OPEN SPACE AREA	2.46 ACRES
% OPEN SPACE	12.32%
LOT SUMMARY	
50' X 120'	59
95' X 120'	10
TOTAL RESIDENTIAL LOT COUNT	69
OPEN SPACE/TREE PRESERVATION LOTS	7

* DENOTES RESTRICTED TO ONE-STORY

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	N89°35'28"W	15.66'

CURVE TABLE				
CURVE #	RADIUS	LENGTH	DELTA	CHORD
C1	2448.48'	81.14'	1°54'07"	S88°28'59"W 81.14'
C2	325.00'	119.16'	21°00'28"	S77°01'49"W 118.50'
C3	375.00'	39.54'	6°02'30"	S69°32'50"W 39.52'
C4	190.50'	21.54'	6°28'41"	S69°19'45"W 21.53'
C5	124.50'	31.48'	14°29'22"	S73°20'05"W 31.40'
C6	379.50'	65.10'	9°49'45"	S85°29'39"W 65.02'

LEGEND

50' LOTS

95' LOTS

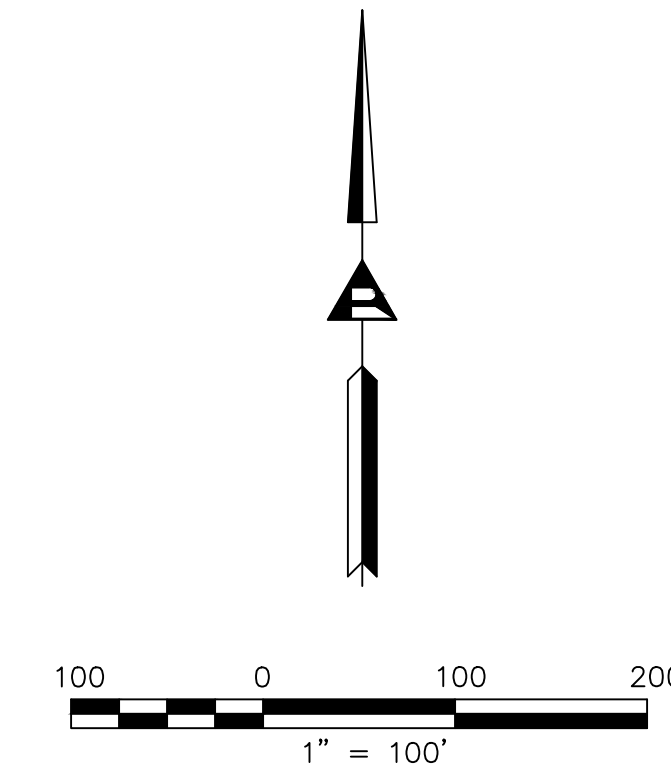
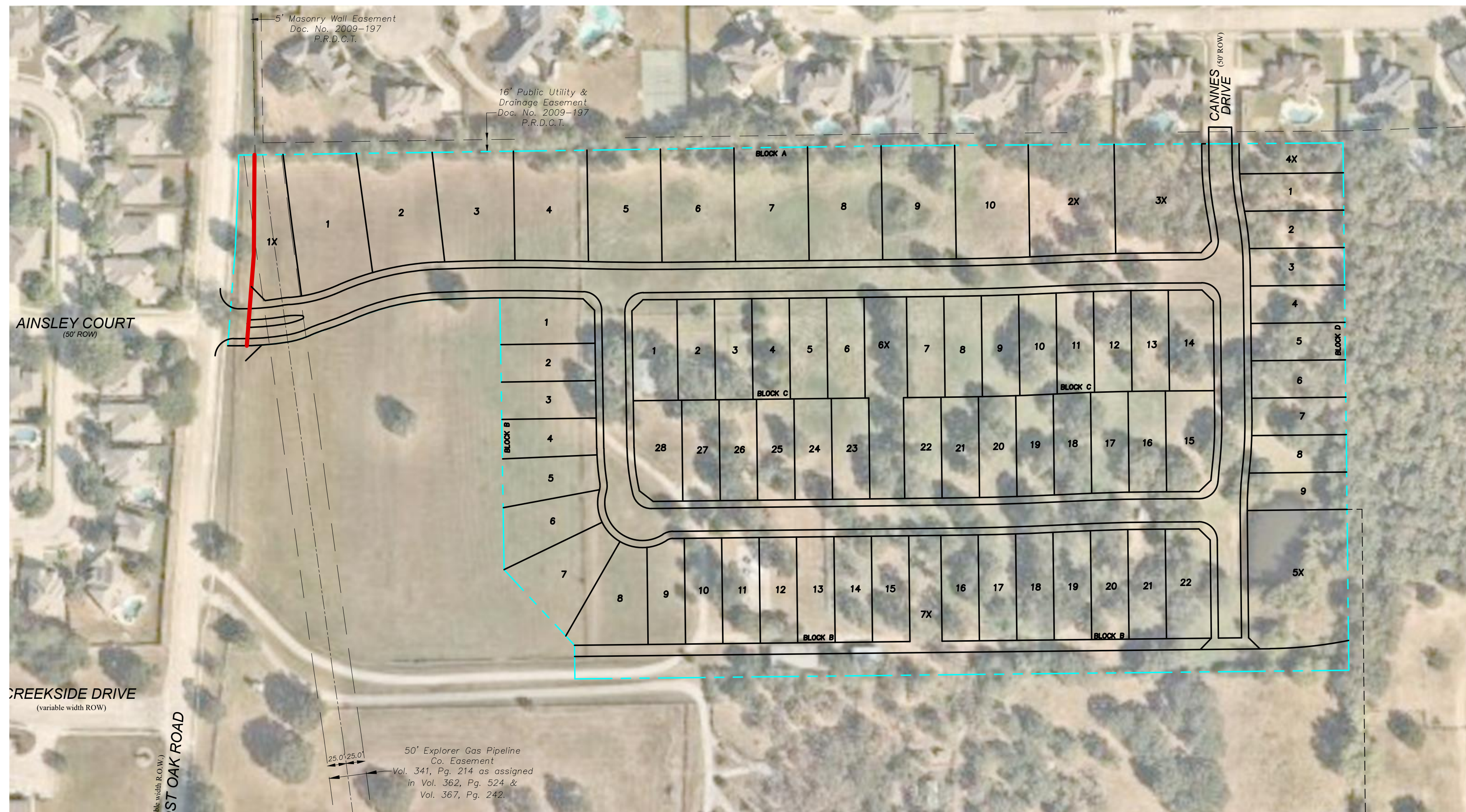
NOTE:
 1.) ALL OPEN SPACE LOTS AND TREE PRESERVATION LOTS TO BE OWNED AND MAINTAINED IN PERPETUITY BY THE HOMEOWNERS ASSOCIATION.

HILLSIDE OF CORINTH SUBDIVISION
 CORINTH, TEXAS
EXHIBIT C
 PD CONCEPT PLAN

Scale: 1" = 100'
 Designed by: LDR
 Drawn by: JRK
 Checked by: JRK
 Date: JUNE 20, 2023
 Project No. 035-034

SHEET
 1 OF 1

Case No. ZAPD22-0008



No.	Date	Revisions	App.

Ridinger
Associates, Inc.
Civil Engineers - Planners

Firm No. 1969
550 S. Edmonds Lane, Suite 101
Lewisville, Texas 75067

Tel. No. (972) 353-8000
Fax No. (972) 353-8011

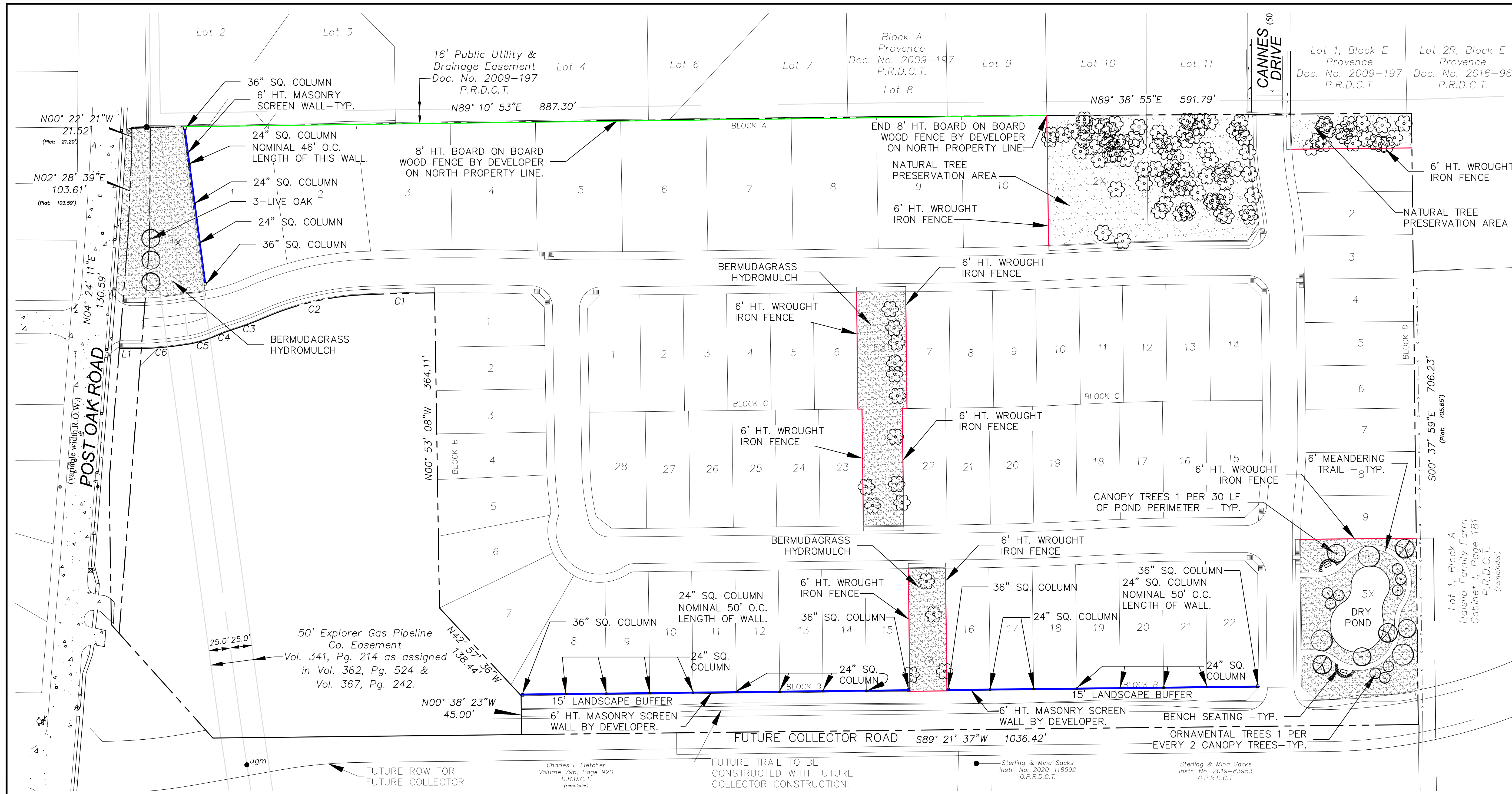
HILLSIDE OF CORINTH
SUBDIVISION
CORINTH, TEXAS

EXHIBIT D
EXISTING SITE
CONDITIONS

EXHIBIT D-EXISTING SITE
CONDITIONS
FOR
HILLSIDE OF CORINTH
RESIDENTIAL SUBDIVISION
Being 69 Residential Lots & 7 X-Lots
19.971 acres Situated in the
Wm. Garrison Survey, Abstract No. 508
in the
City of Corinth
Denton County, Texas
Case No. ZAPD22-0008

Scale: 1" = 100'
Designed by: LDR
Drawn by: JRK
Checked by: JRK
Date: JUNE 8, 2023
Project No. 035-034

SHEET
1 OF 1



No.	Date	Revisions	App.
No.2	6/08/23	PER CITY COMMENTS	
No.1	5/19/23	PER CITY COMMENTS	

Ridinger Associates, Inc.
 Civil Engineers - Planners
 Firm No. 1969
 550 S. Edwards Lane, Suite 101
 Lewisville, Texas 75067
 Tel. No. (972) 353-8000
 Fax No. (972) 353-8011

HILLSIDE OF CORINTH SUBDIVISION
 CORINTH, TEXAS

EXHIBIT E CONCEPTUAL LANDSCAPE PLAN

- GENERAL LANDSCAPE NOTES**
- All landscape areas are to be received within .1' of proposed finish grade and free from all trash and debris.
 - All trees are to be planted in pits twice the diameter of the tree ball and no deeper than the depth of the ball. Scarify all tree pit sides prior to planting. All trees are to be planted plumb and at or slightly above finish grade. All tree pits are to have a 3" watering saucer formed around the perimeter of the pit. All tree pits are to be top dressed with a 2" layer of shredded hardwood mulch. Stake and / or guy trees only at the direction of the landscape architect.
 - Rotovate the existing soil of all planting beds to a minimum depth of 6". Add a 3" layer of premium compost as supplied by Living Earth Technology and till into the top 3" of the existing soil. Install all shrubs 1" above finish grade and fertilize with Agri-form slow release fertilizer tablets at the manufacturer's recommended rates of application. Top dress all planting beds with a 2" layer of shredded hardwood mulch.
 - All planting beds not formed by a concrete curb or sidewalk are to edged with Steel Edging (1/8"x4" painted green) or an approved equal. All edging stakes are to be placed to the inside of the bed and the top of the edging is to be no less than 1" and no more than 1.5" above proposed finish grade.
 - All turf areas are to be hydromulch Bermudagrass, unless otherwise noted on the plan.
 - Hydromulch with Bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. If installation occurs between September 1 and April 1, all hydromulch areas to be Winter Ryegrass at a rate of four (4) pounds per thousand square feet. Contractor shall be required to re-hydromulch with Bermudagrass the following growing season.
 - All sodded areas are to receive common bermuda sod laid parallel to the contour of the land. All sod on slopes greater than 1:4 is to be pinned with 1"x12" wooden stakes. All sod is to be laid with tight joints and with all joints staggered. Roll all sod with a water ballast lawn roller upon installation and fertilize with a complete fertilizer (13-13-13) at the rate of 1.5# actual nitrogen per 1000 square feet. Water all sod thoroughly.
 - All irrigation meter(s) are to be by utility contractors as per local codes. Irrigation sleeves to be installed by licensed irrigation contractor as per the plan.
 - All irrigation controllers are to have mini-click freeze and rain stats installed as per manufacturer's recommendations.
 - All irrigation sleeves to be by licensed irrigation contractor. All sleeves to be PVC schedule 40 with 90 degree elbows on both ends with extensions protruding 18" above proposed finish grade.
 - All turf and planting beds to be zoned separately. All planting bed heads to be on 12" pop-up risers. All turf heads to be on 4" pop-up risers. All valves to be plastic valves. All equipment to be Rainbird or approved equal.
 - All mainline and lateral line to have a minimum of 12" of cover and to be SDR (class 200) pipe.
 - Quantities shown on plant list are landscape architect's estimate only and should be verified prior to bidding. Contractor shall be responsible for bidding and providing quantity of plants required at spacing designated for bed sizes and configurations shown on the plans regardless of quantities designated on plant list.

- IRRIGATION NOTES:**
- All landscaped areas shall be irrigated with an irrigation system capable of providing the proper amount of water for the particular for the particular type of plant material used. Irrigation will be provided by an underground sprinkler system, or a subterranean drip drip system as approved by the City Arborist.
 - Automatic underground irrigation system shall be equipped with freeze guard set at 38 degrees F.
- PLANT LIST**
 3- LIVE OAK / Quercus virginiana / 3" cal. / 7' ht. /5' sp. /container grown
 BERMUDAGRASS / Cynodon dactylon / Hydromulch
 NOTE: Plantings shown on lot 5X are schematic and are shown to reflect required rates of trail and dry pond plantings to be installed by developer upon construction of the project.
- TREE PRESERVATION**
 Project shall comply with Tree Preservation Ordinance under Unified Development Code Subsection 2.09.02.
 Lots 2X, 3X, 4X, 5X, 6X and 7X are to be owned and maintained by the HOA as designated Open Space and Tree Preservation lots.
- LANDSCAPE TABULATIONS**
 LANDSCAPE EDGE:
 Arterial Street (Post Oak Road) 62'-95' Edge Provided / Trees 25' o.c. Provided
 Collector Street required plantings not shown pending final road alignment and grading.

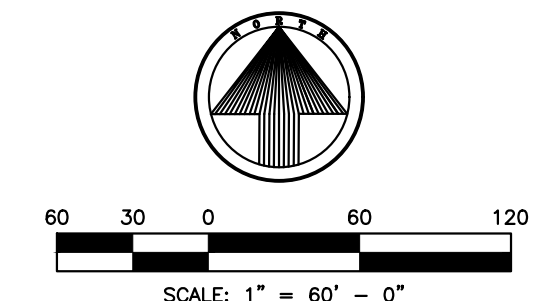
☁ DENOTES EXISTING TREE TO BE PRESERVED.

FENCE/WALL LEGEND

	6' HT. MASONRY SCREEN WALL
	6' HT. WROUGHT IRON FENCE
	8' HT. BOARD ON BOARD WOOD FENCE

ST. CLAIR DESIGN GROUP, INC.
 Landscape Architecture
 P. O. Box 1239
 Dallas, Texas 75225
 T. 214-454-9934

DATE REVISION: June 9, 2023
 DESIGN BY: JBS
 CHECKED BY: SCDC
 DATE: APRIL 7, 2023



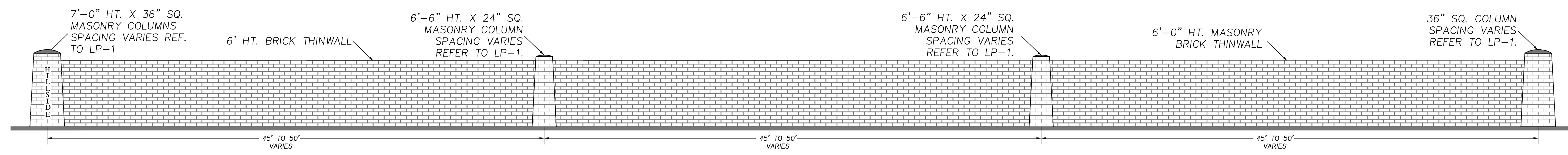
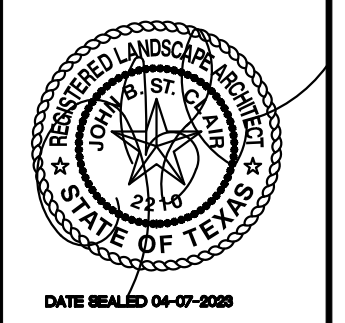
HILLSIDE OF CORINTH RESIDENTIAL SUBDIVISION
 Being 69 Residential Lots & 7 X-Lots
 19.971 acres Situated in the
 Wm. Garrison Survey, Abstract No. 508
 in the
 City of Corinth
 Denton County, Texas
 Case No. ZAPD22-0008

Scale: 1"=60'-0"
 Designed by: JBS
 Drawn by: JBS
 Checked by: SCDC
 Date: APRIL 7, 2023
 Project No. 035-034

SHEET
LP-1

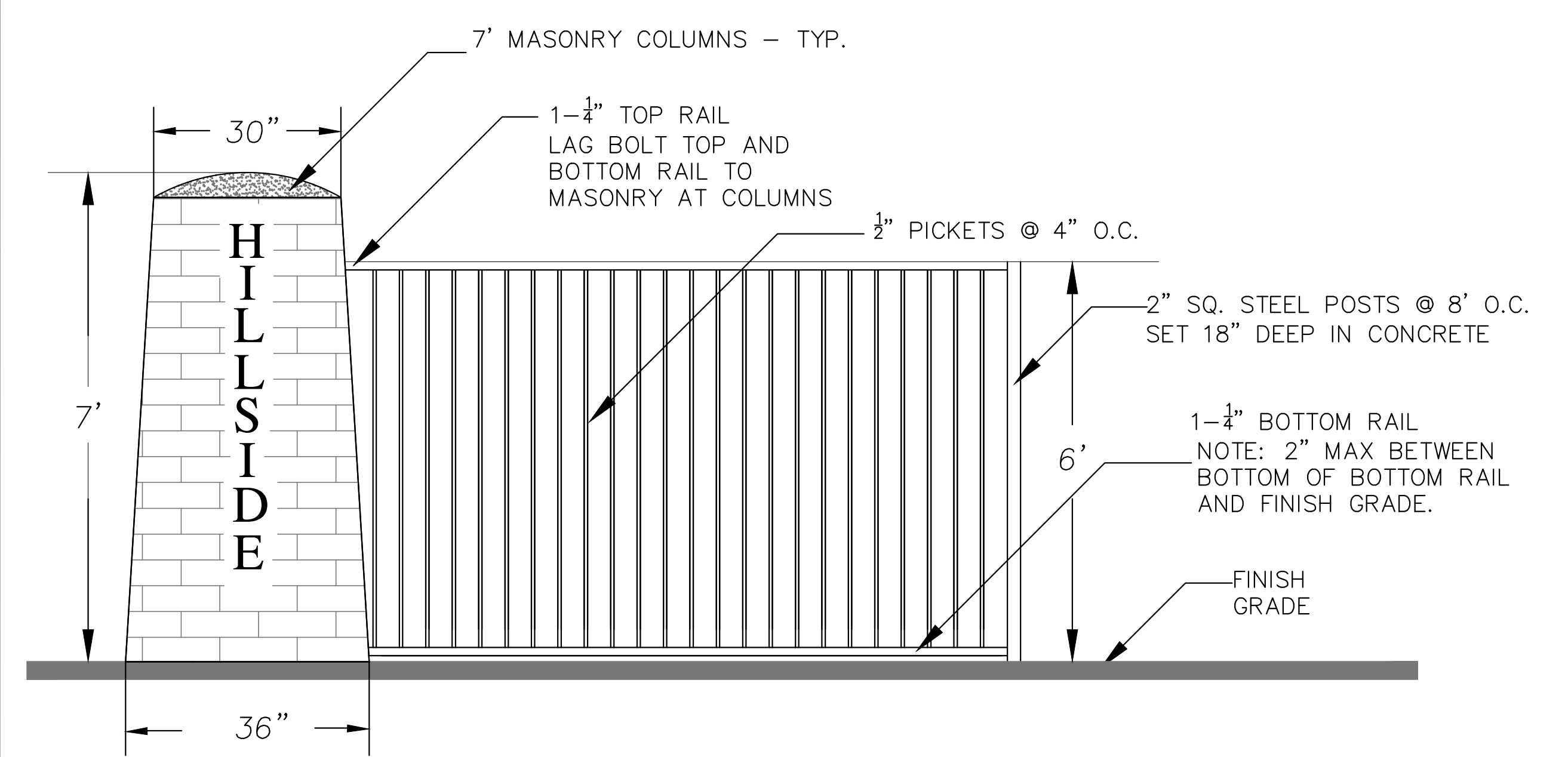
No.	Date	Revisions	App.
No.1	10/21/22	PER CITY COMMENTS	

Ridinger Associates, Inc.
 Civil Engineers - Planners
 Firm No. 1969
 550 S. Edmonds Lane, Suite 101
 Lewisville, Texas 75067
 Tel. No. (972) 353-8000
 Fax No. (972) 353-8011



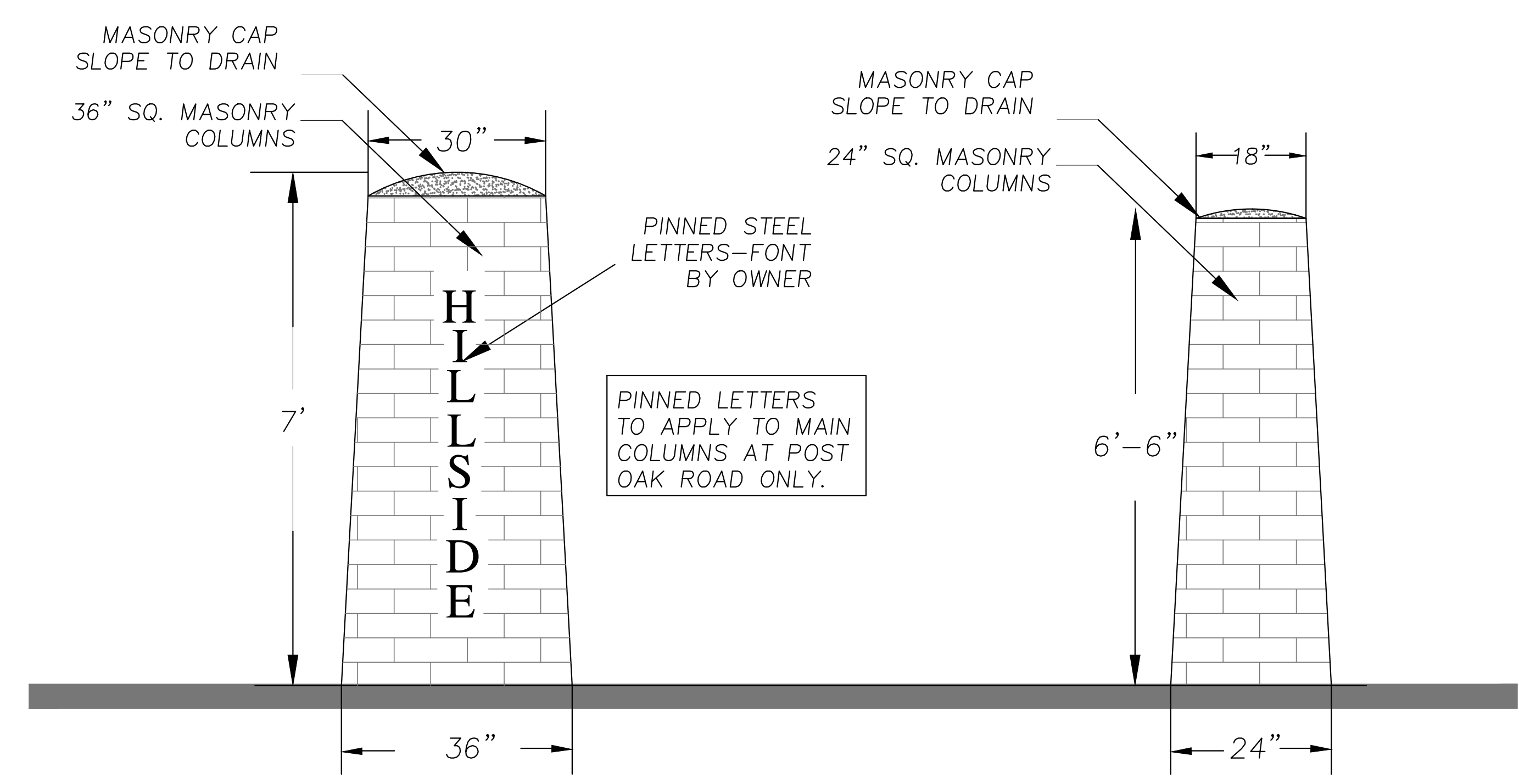
BRICK THINWALL AND COLUMN DETAIL

NOT TO SCALE



6' HT. FLAT TOP IRON FENCE AT COLUMN DETAIL

NOT TO SCALE



COLUMN DETAIL

NOT TO SCALE

ST. CLAIR DESIGN GROUP, INC.
 Landscape Architecture
 P. O. Box 1259
 Dallas, Texas 75225
 T: 214-454-9204
 DESIGNED BY: JBS
 DRAWN BY: JBS
 CHECKED BY: SCODG
 DATE: APRIL 7, 2023

HILLSIDE OF CORINTH
 RESIDENTIAL SUBDIVISION
 Being 69 Residential Lots & 7 X-Lots
 19.971 acres Situated in the
 Wm. Garrison Survey, Abstract No. 508
 in the
 City of Corinth
 Denton County, Texas
 Case No. ZAPD22-0008

HILLSIDE OF CORINTH
 SUBDIVISION
 CORINTH, TEXAS

EXHIBIT E
 LANDSCAPE PLAN
 DETAILS

Scale: NOT TO SCALE
 Designed by: JBS
 Drawn by: JBS
 Checked by: SCODG
 Date: APRIL 7, 2023
 Project No. 035-034

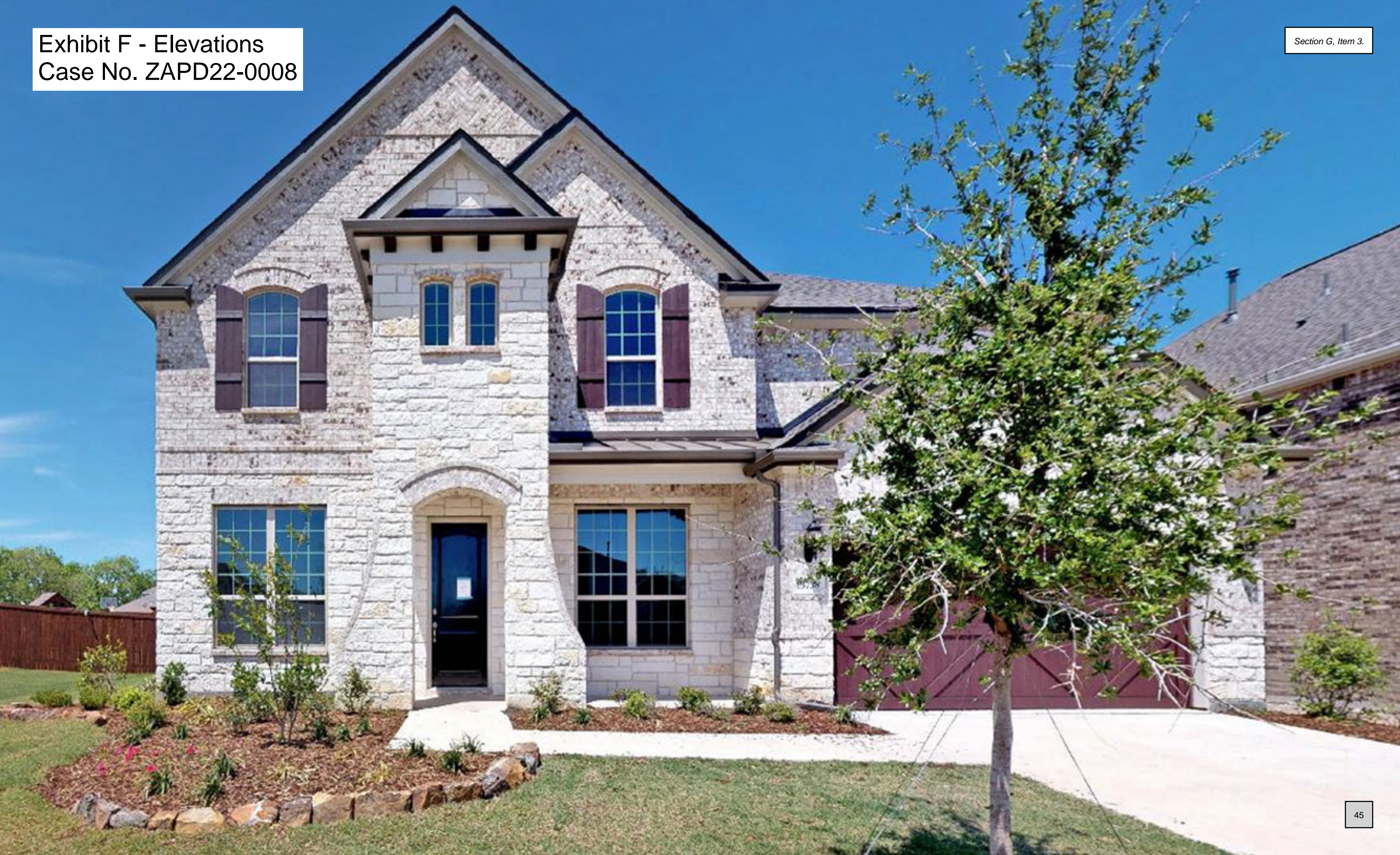
SHEET
LP-2

Exhibit F - Elevations
Case No. ZAPD22-0008

Section G, Item 3.











CITY OF CORINTH

Traffic Impact Analysis

Project Name: Click or tap here to enter text.

Threshold Worksheet

The City of Corinth's Unified Development Code provides that a Traffic Study may be required with preliminary plat applications. *If the proposed development exceeds one or more of the three threshold criteria listed below, a traffic study will be required to be submitted with the preliminary plat application.* Otherwise, for projects that do not exceed any of the three criteria, a Traffic Study Threshold Worksheet must be submitted and approved by the City's Engineer *prior to submittal* of the preliminary plat application. Please describe in detail your evaluation of each criteria listed below. Additional sheets may be attached if necessary.

Criteria #1: The development exceeds parking 100 spaces average per driveway.

There are no designated parking spaces for the development outside of private driveways, so there are less than 100 spaces per driveway.

of homes = 69

Criteria #2: Any driveway or roadway in the development is projected to serve 1000 or more vehicles per day.*

According to the 11th Edition of the ITE Trip Generation Manual,
Daily Trips = $e^{(0.92 \times \ln(\# \text{ of houses}) + 2.62)}$ = 717 trips, which is less than 1,000.

Criteria #3: Any driveway in the development is projected to serve 100 ingress vehicles or more in the design hour.*

Max Peak Hour trips = $e^{(0.94 \times \ln(\# \text{ of houses}) + 0.27)}$ = 70, which is less than 100.

* Unless approved otherwise, trip generation rates should be based on the most recent edition of the Institute of Transportation Engineers (ITE) *Trip Generation Manual*.

I hereby certify that this project does not exceed any of the three threshold criteria shown above and therefore the development would not warrant a Traffic Study in accordance with Section 3.05.04.(D) Traffic Impact Analysis of the Unified Development Code of the City of Corinth.

John Halter
Design Engineer's Signature

9/19/2023
Date

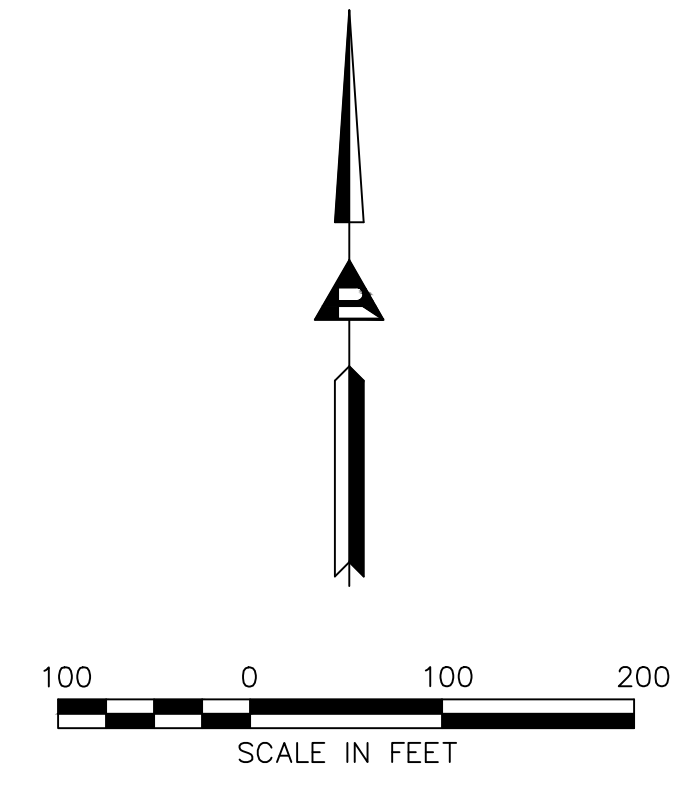
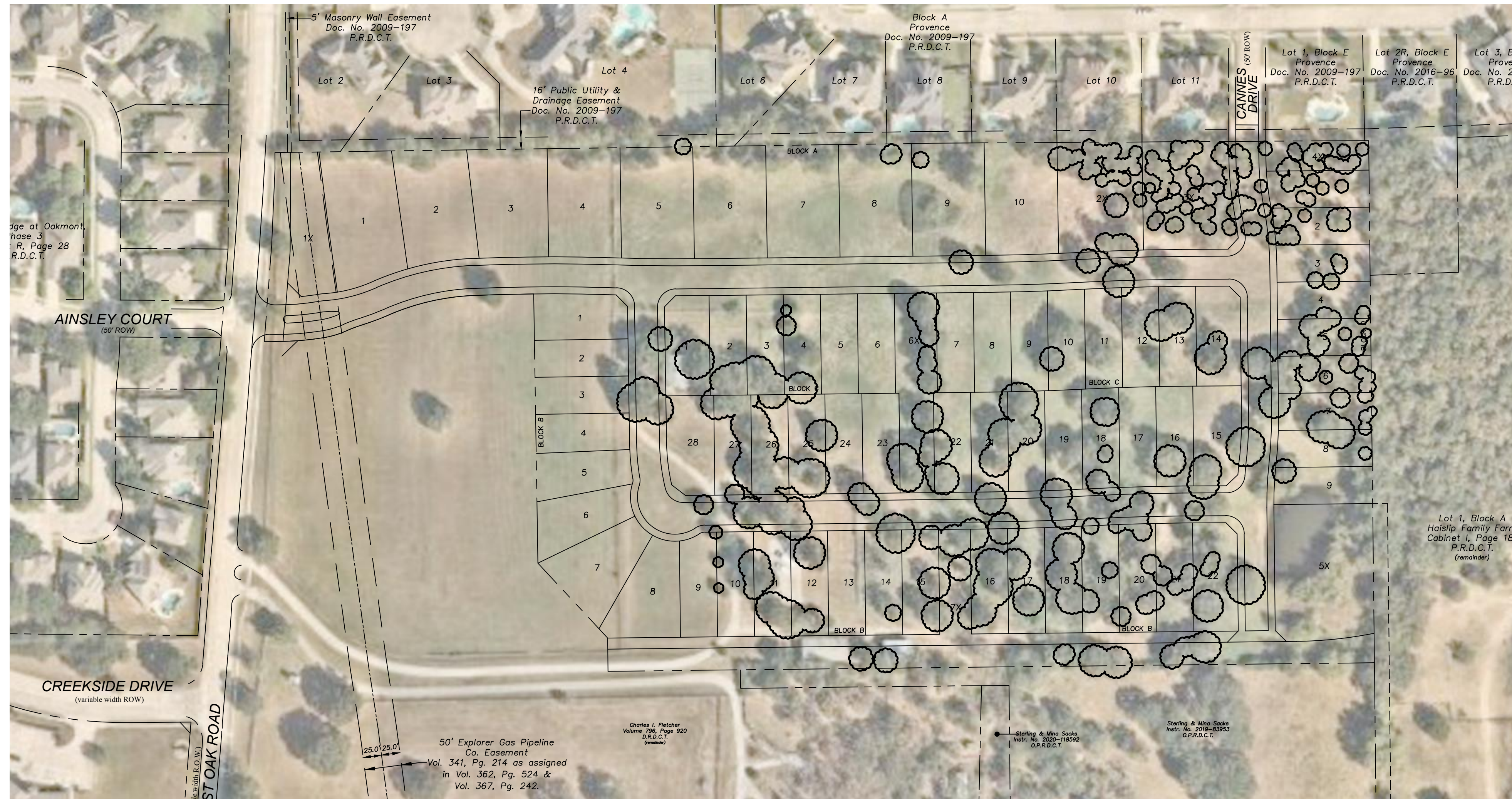
Jacob Halter 140914
Print Name & License Number

Kimley-Horn & Associates, Inc. F-928
Firm & Registration Number

For City Use Only: The requirement for a Traffic Study with this submittal is hereby waived:

Name: _____

Title: _____ Date: _____



TREE COVERAGE	
LOT AREA	869,852 S.F. 19.971 AC.
TREE AREA	190,500 S.F. 4.373 AC.
COVERAGE	21.90%

ONLY TREES DEEMED TO BE IN HEALTHY CONDITION BY REGISTERED LICENSED ARBORIST INCLUDED.

No.	Date	Revisions	App.

Ridinger Associates, Inc.
 Civil Engineers - Planners
 Firm No. 1869
 550 S. Edmonds Lane, Suite 101
 Lewisville, Texas 75067
 Tel. No. (972) 353-8000
 Fax No. (972) 353-8011

HILLSIDE OF CORINTH SUBDIVISION
 CORINTH, TEXAS

EXHIBIT H
 EXISTING TREE COVERAGE

EXHIBIT H
EXISTING TREE COVERAGE
 FOR
HILLSIDE OF CORINTH
 RESIDENTIAL SUBDIVISION
 Being 69 Residential Lots & 7 X-Lots
 19.971 acres Situated in the
 Wm. Garrison Survey, Abstract No. 508
 in the
 City of Corinth
 Denton County, Texas
 Case No. ZAPD22-0008

Scale:	1" = 100'
Designed by:	LDR
Drawn by:	JRK
Checked by:	JRK
Date:	JUNE 8, 2023
Project No.:	035-034

SHEET
 1 OF 1



ATTACHMENT 2:

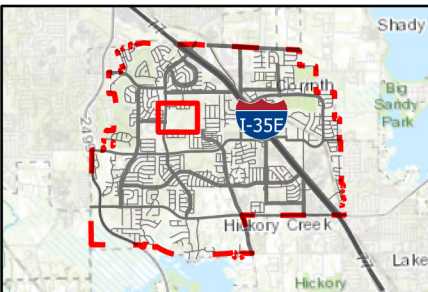
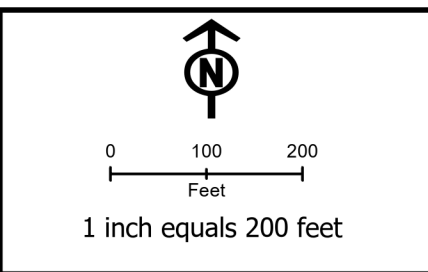
200 FT ZONING BUFFER MAP

Proposed Zoning Change

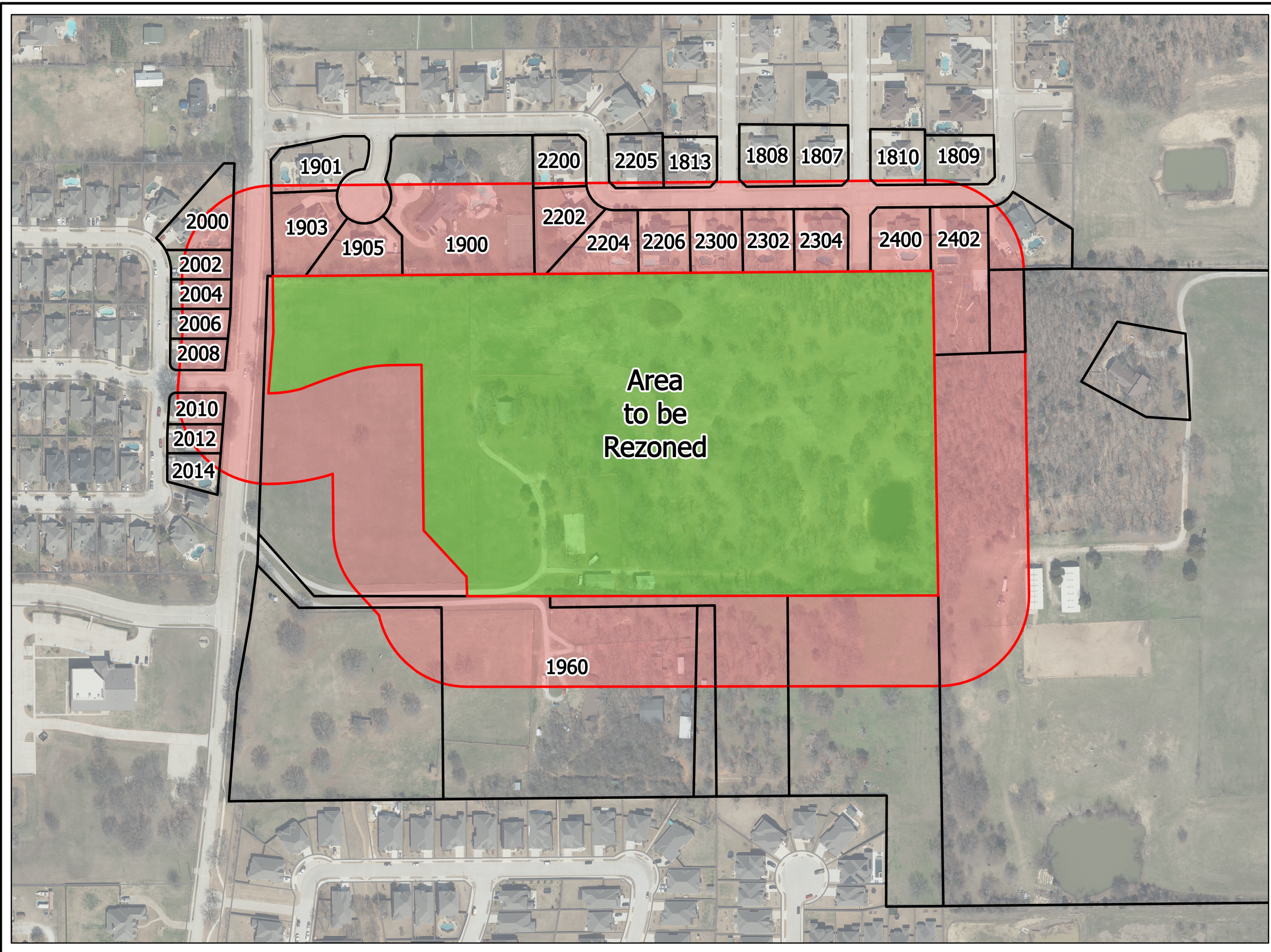
Hillside of Corinth
 PD (ZAPD22-0008)

- Property to be Rezoned
- Properties within 200 ft of area proposed to be rezoned from SF-2 Single Family to a Planned Development (PD) with a base zoning district of SF-4 Single Family

6/7/2023



This map is the property of the City of Corinth, and is not to be reproduced by any means, mechanical or digital, without written consent of the City. This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





ATTACHMENT 3:

**LETTERS/EMAILS FROM PROPERTY OWNERS –
INSIDE THE 200 FT BUFFER**

RECEIVED JUN 16 2023

BY: *mb*



Planning and Zoning Commission Meeting
Date: **MONDAY, June 26, 2023, at 6:30 P.M.**

City Council Regular Meeting
Date: **THURSDAY, July 20, 2023, at 6:30 P.M.** * (see below for additional information)

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208. The meetings will be broadcast live at <https://www.cityofcorinth.com/remotesession>.

PUBLIC HEARING NOTICE

Dear Property Owner:

On Monday, June 26, 2023, at 6:30 PM, the City of Corinth Planning & Zoning Commission will conduct a public hearing on the item listed below. Should the Planning & Zoning Commission make a recommendation, the Corinth City Council will conduct a public hearing on Thursday, July 20, 2023, at 6:30 PM and consider acting on the item listed below. The meetings will be held at the Corinth City Hall, 3300 Corinth Pkwy, Corinth, Texas 76208.

- A request by the Applicant, Ridinger Associates, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a base zoning district of SF-4 Single Family Residential for the development of 69 single family lots on approximately ±20 acres generally located on the east side of Post Oak Drive, north of the Terrace Oaks Subdivision, and south of the Provence Subdivision. (Case No. ZAPD22-0008 – Hillside of Corinth)

*The July 20, 2023, City Council Public Hearing will only be held should the Planning & Zoning Commission make a recommendation on June 26, 2023. Additional information regarding this request and meeting date updates can be found on the Upcoming Public Hearings page of the City of Corinth website at: <https://www.cityofcorinth.com/development-services/page/upcoming-public-hearings>

As a property owner within two hundred (200) feet of this property, you are invited to attend this meeting in-person and voice your opinion at the public hearing (please note you are not required to attend).

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I am writing in (Check as applicable) Support: Opposition: of the proposal.

Name/Address/City: **(REQUIRED)**
Antioch Christian Fellowship of Corinth, TX Inc.
2020 POST OAK Drive
Corinth, TX 76210
(Please Print)

Signature: **(REQUIRED)**
By: *Christopher J. Rymer*
(Signature)
ITS: Lead Pastor

JUN 21 2023

BY: *ms*

Opposition to the Hillside Development

June 18, 2023

To All Those Concerned,

I am writing in opposition to the proposed housing development located off of Post Oak Dr., Hillside of Corinth Project (Case No. ZAPD22-0008).

My reason for opposition of this proposal is due to the planned thoroughfare on the south side of the development. Consider that roughly 2,000 feet south of the "desired" thoroughfare sits an existing four-lane access (Lake Sharon Dr.). In addition, approximately 2,000 feet north of the "desired" thoroughfare already sits a two-lane thoroughfare (Church Dr.) and about 150 feet further north sits another third thoroughfare (Robinson Dr.). This proposed thoroughfare is unnecessary and a misuse of city development resources.

The plan for an additional thoroughfare is not justified, and the future planned use of eminent domain of multiple property owners, is an abuse of power for a road that is neither needed nor wanted by the RESIDENTS of Corinth.

To reiterate, there is no need for an additional road for this development since 3 major east-west thoroughfares already exist within a distance of less than a mile along Post Oak Dr.

Let us keep Corinth a community of homes and families and not an urban city in need of a honey-comb network of roads and high-density housing.

SIGNED: *Heather Bacon*

NAME: *Heather Bacon*

ADDRESS: *1960 Post Oak Dr
Corinth, TX
76210*

RECEIVED
JUN 21 2023
BY: MR

Opposition to the Hillside Development

June 18, 2023

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SIGNED: 

NAME: Sterling Sacks

ADDRESS: 1713 Birch Ln. Corinth TX 76210

RECEIVED
JUN 16 2023

Section G, Item 3.



Planning and Zoning Commission Meeting
Date: MONDAY, June 26, 2023, at 6:30 P.M.

City Council Regular Meeting
Date: THURSDAY, July 20, 2023, at 6:30 P.M. * (see below for additional information)

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208. The meetings will be broadcast live at <https://www.cityofcorinth.com/remotesession>.

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writing in (Check as applicable) Support: Opposition: of the proposal.

It will create even more traffic jams and delays.

Address/City: (REQUIRED)

Signature: (REQUIRED)

Rhonda Grillo

(Please Print)

R Grillo

(Signature)



Planning and Zoning Commission Meeting
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I am writing in (Check as applicable) Support: Opposition: of the proposal.

The proposed design does not match the adjacent Provence properties.

Name/Address/City: **(REQUIRED)**

Signature: **(REQUIRED)**

Tim Schlottman / 1903 Durane Ct, Corinth
(Please Print)

[Signature]
(Signature)

RECEIVED
JUN 15 2023
BY: *mb*



Planning and Zoning Commission Meeting
Date: **MONDAY, June 26, 2023, at 6:30 P.M.**

City Council Regular Meeting
Date: **THURSDAY, July 20, 2023, at 6:30 P.M.** * (see below for additional information)

RECEIVED
JUN 20 2023
BY: *mb*

Section G, Item 3.

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I am writing in (Check as applicable) Support: Opposition: of the proposal.
See letter attached

Name/Address/City: **(REQUIRED)**

Signature: **(REQUIRED)**

*Heather Bacon, 1960 Post Oak Dr
Corinth, TX*
(Please Print)

Heather Bacon
(Signature)

RECEIVED
JUN 20 2023BY: *ms*

June 20, 2023

City of Corinth
Planning and Zoning Commission
Development Services Department
3300 Corinth Parkway
Corinth, Texas 76208

Dear Members of the Planning and Zoning Commission:

We are writing in opposition to the proposed housing development located on Post Oak Drive (Case No. ZAPD22-0008-Hillside of Corinth).

My sister, Paige Almond, and I own the two parcels of property located at 1960 Post Oak Drive and believe the value of our property will be significantly decreased by the proposed development plan.

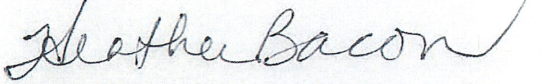
We are protesting the development for the following reasons:

1. **Disproportionate Future Collector Road Costs:** We were working with the applicant, Rembert Enterprises Inc. (represented in the current proposal by Ridinger Associates) (the Applicant) along with the property owner directly to the East of us, and the Antioch Baptist Church under separate contracts to sell our properties to Rembert Enterprises for its future development of the three properties. Rembert Enterprises subsequently broke the contract with us and the owner to the East of us but has apparently continued its contract with the Antioch Baptist Church. Under the original proposed plan which was previously submitted to the City of Corinth, all three parties would share in the cost of the future collector road that runs from West to East between the three properties as shown in the Master Plan for the City of Corinth. Under the Applicant's new proposed plan, the Applicant has moved the future collector road and has overburdened our property by not participating in the cost of the future road. We believe this would result in significant additional costs to us and decrease the value of our property.
2. **Lot Size:** The proposed development plan requests that the zoning be changed from SF-2 to SF-4. This lot size is too small relative to the already developed neighborhoods to the north and south of the proposed development and does not conform with the size of the lots in those neighborhoods. We believe this will significantly decrease the value of our property and surrounding properties.
3. **Privacy:** Our land has been a horse farm for over 50 years. While we know development cannot be stopped altogether, building a dense neighborhood directly adjacent to our property will significantly reduce its value as a horse farm to any future potential buyer. Building a privacy wall that is only 6 feet high will not provide adequate privacy for our farm. Proposing a privacy fence that is 8 feet high on the north side of the property but only 6 feet high to the south of the property (our side) is not equitable treatment to us. We believe lack of privacy will significantly decrease the value of our property.

We are strongly opposed to the development for the reasons outlined above and request that the Planning and Zoning Commission of the City of Corinth consider the information above in making their decision and deny approval of the proposed plan.

If you have questions, please do not hesitate to contact me at 512-695-0044 or our representative Joe Priske at jpriske@priskedevelopment.com.

Sincerely,

A handwritten signature in cursive script that reads "Heather Bacon". The signature is written in black ink and is positioned above the typed name.

Heather Bacon
Co-owner of 1960 Post Oak Drive

Cc: Joe Priske, Priske Development

RECEIVED
JUN 20 2023
BY: *mf*

Section G, Item 3.

Opposition to the Hillside Development

June 18, 2023

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SIGNED: *Mina Sacks*

NAME: *MIANA SACKS*

ADDRESS: *1713 BIRCH LN.
CORINTH, TX 76210*



Planning and Zoning Commission Meeting
Date: **MONDAY, June 26, 2023, at 6:30 P.M.**

RECEIVED
JUN 26 2023
Section G, Item 3.

City Council Regular Meeting
Date: **THURSDAY, July 20, 2023, at 6:30 P.M.** * (see below for additional information)

BY: *M&*

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I am writing in (Check as applicable) Support: Opposition: of the proposal.

The plot has housing to the West, North, South and they are building to the EAST OF IT. I've seen all kinds of animals use that green space. To build there would impact them and make them a nuisance to housing. You are going to do what you want to do no matter how this pretend concern about my thoughts are on this. I mean money has been spent and exchanged hands - but I still say no!

Name/Address/City: **(REQUIRED)**

Signature: **(REQUIRED)**

SAM GARLAND, 2012 LEDGESTONE DR, CORINTH TX
(Please Print)

76210

[Handwritten Signature]
(Signature)



Planning and Zoning Commission Meeting
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I am writing in (Check as applicable) Support: Opposition: of the proposal.

Planning & Zoning Commission =

Thank you for the opportunity to express my opinion. The proposed design does not match up well with my neighborhood - Provence.

Sincerely,

Name/Address/City: **(REQUIRED)**

Signature: **(REQUIRED)**

DAVID BYRNE / 1104 TUSCANY DR / CORINTH
(Please Print)

David Byrne
(Signature)



Planning and Zoning Commission Meeting
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I am writing in (Check as applicable) Support: Opposition: of the proposal.

Planning & Zoning Commission - I appreciate the opportunity to voice my opinion. The proposed zoning design does not fit well with my neighborhood which is in the Provence subdivision.

Sincerely, Janice Faris

Name/Address/City: **(REQUIRED)**

Signature: **(REQUIRED)**

Janice Faris, 2204 Tuscan Drive, Corinth
(Please Print)

Janice Faris
(Signature)



Planning and Zoning Commission Meeting
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JUN 21 2023
Section G, Item 3.

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BY: *Md*

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I am writing in (Check as applicable) Support: Opposition: of the proposal.

PLANNING AND ZONING COMMISSION:
THANK YOU FOR THE OPPORTUNITY TO EXPRESS
MY OPINION. THE PROPOSED DESIGN DOES NOT MATCH
UP WELL WITH PROVENCE NEIGHBORHOOD
WHICH IS THE NEIGHBORHOOD THAT I LIVE IN.

Name/Address/City: (REQUIRED) SINCERELY, Signature: (REQUIRED)

NANCY BYRDE / 2204 TUSLANY DR. NANCY BYRDE
(Please Print) CORINTH, TX 76210 (Signature)



ATTACHMENT 4:

**LETTERS/EMAILS FROM PROPERTY OWNERS –
OUTSIDE THE 200 FT BUFFER**

Aaron Layman
2302 Rosegill Dr.
Corinth, TX 76210

July 12, 2023

To City of Corinth Development Services, Michelle Mixell, City Council:

RE: Case No. ZAPD22-0008 – Hillside of Corinth

I am writing you to confirm my support of Hillside development project and the zoning amendment request. After reviewing the concept plan and supporting documents, it is clear that this is a sensible development. It also contains long-term economic benefits for the city. The project balances concerns of adjoining property owners while also maintaining the general character of the surrounding community.

I attended the planning and zoning hearing where some residents, primarily residents in Provence backing to proposed new homes, voiced their concerns about their views being compromised. I'm still trying to wrap my head around the horrors that must be keeping some people up at night knowing some middle-class families might have an opportunity to purchase a single-family home in Corinth within a hundred feet of some else's back yard.

As for the adjoining property owners who are concerned about having a portion of their property used for a potential future road, this seems to be a case of short-term greed overriding the concerns of the city or other surrounding residents. It sounds like the developer offered these property owners reasonable compensation, and they chose to hold out for more money. That's certainly their choice, but it doesn't mean the city or other Corinth residents have to feel sorry for them.

As a resident of Terrace Oaks, I was in favor of the original Hillside proposal when it included a larger footprint, bridging the gap between Provence and Terrace Oaks. It's a shame that deal didn't work out because Corinth could certainly use more quality homes and thoughtful development in general. Now we are looking at a downsized, but still beneficial proposal from the developer.

The math on the Hillside project is clear. The Hillside project would take roughly 20 acres of non-productive land which is currently being wiped from the tax rolls every year and bring it into productive use. This perfectly reasonable development would provide Corinth with 69 new homes for Corinth families. It would also add more than \$35 million in taxable property to the area tax base. **Hillside is a win-win scenario for the city of Corinth and the surrounding community in terms of economic development.**

The city should not be swayed by the ill-founded or self-centered concerns of a few residents when weighing the long-term benefits provided to the broader community and the city. The Hillside project provides an opportunity to fill a large hole in the current tax base of Corinth. The tax-exempt land slated for the project has gone essentially unused for years, wiping millions of dollars from the tax base.

It's no secret why some of the adjoining owners in Provence are happy with the views they currently enjoy...all of the other property owners in Corinth are subsidizing those views! One property owner's exemption becomes part of the other residential homeowners' assessment and tax increase. That is the reality of the current Texas property tax system in its current structure.

I would encourage City Council to approve the request for zoning amendment along with Hillside project. It checks most of the boxes in terms of sensible development. It also serves the long-term interests of most Corinth residents and the city.

Sincerely,



Aaron Layman

JUN 22 2023

BY: MR

Opposition to the Hillside Development

June 18, 2023

To All Those Concerned,

I am writing in opposition to the proposed housing development located off of Post Oak Dr., Hillside of Corinth Project (Case No. ZAPD22-0008).

My reason for opposition of this proposal is due to the planned thoroughfare on the south side of the development. Consider that roughly 2,000 feet south of the "desired" thoroughfare sits an existing four-lane access (Lake Sharon Dr.). In addition, approximately 2,000 feet north of the "desired" thoroughfare already sits a two-lane thoroughfare (Church Dr.) and about 150 feet further north sits another third thoroughfare (Robinson Dr.). This proposed thoroughfare is unnecessary and a misuse of city development resources.

The plan for an additional thoroughfare is not justified, and the future planned use of eminent domain of multiple property owners, is an abuse of power for a road that is neither needed nor wanted by the RESIDENTS of Corinth.

To reiterate, there is no need for an additional road for this development since 3 major east-west thoroughfares already exist within a distance of less than a mile along Post Oak Dr.

Let us keep Corinth a community of homes and families and not an urban city in need of a honey-comb network of roads and high-density housing.

SIGNED:

A Reynolds Todd R

NAME:

Todd + Ashley Reynolds

ADDRESS:

1710 Birch Lane
Corinth, TX 76210



ATTACHMENT 5:

**DRAFT JUNE 26, 2023, PLANNING & ZONING
COMMISSION MINUTES**



MINUTES
PLANNING & ZONING COMMISSION
REGULAR SESSION

Monday, June 26, 2023, at 6:30 PM

City Hall | 3300 Corinth Parkway

On the 26th day of June 2023, the Planning & Zoning Commission of the City of Corinth, Texas, met in Regular Session at the Corinth City Hall at 6:30 P.M., located at 3300 Corinth Parkway, Corinth, Texas.

Commissioners Present:

- Rebecca Rhule
Adam Guck
Bradford Harrold
Crystin Jones

Commissioners Absent:

- Chair Alan Nelson
Vice Chair Mark Klingele
KatieBeth Bruxvoort

Staff Members Present:

- Michelle Mixell, Planning Manager
Miguel Inclan, Planner
Matthew Lilly, Development Services Coordinator

A. CALL TO ORDER AND ANNOUNCE A QUORUM PRESENT

Acting Chair Rebecca Rhule called the meeting to order at 6:30 PM.

B. ESTABLISH VOTING MEMBERS AND DESIGNATE ALTERNATES

Commissioners Harrold and Jones were designated as voting member.

C. PLEDGE OF ALLEGIANCE

D. CONSENT AGENDA

- 1. Consider the approval of minutes for the Planning & Zoning Commission Regular Session held on May 22, 2023.
2. Consider and act on a request by the applicant, Tate Braun, on behalf of the owner, Realty Capital, for a Preliminary Plat of the Parkway District Subdivision, being approximately ±20.858 acres situated in the H. Garrison Survey, Abstract No. 507. The property is generally located north of Lake Sharon Drive, west of I-35E and east of Corinth Parkway. (Case No. PP23-0002 – Parkway District)

Motion to approve consent agenda by Commissioner Guck, seconded by Commissioner Harrold.

Motion passed unanimously: 4-for, 0-against.

E. CLOSED SESSION

The Planning & Zoning Commission will recess into executive or closed session to consider the following matters pursuant to Chapter 551 of the Texas Government Code. After discussion of any matters in closed session, any final action or vote taken will be public by the Commission.

1. Item F.4: Case No. ZAPD22-0008 – Hillside Corinth Planned Development

The Planning & Zoning Commission moved into closed session at 6:32 PM.

E. RECONVENE INTO REGULAR SESSION

The Planning & Zoning Commission reconvened at 6:48 PM.

F. BUSINESS AGENDA

4. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a rezoning request by the Applicant, Ridinger Associates, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential to a Planned Development with a base zoning district of SF-4 Single Family Residential for the development of 69 single family lots on approximately ±20 acres generally located on the east side of Post Oak Drive, north of the Terrace Oaks Subdivision, and south of the Provence Subdivision. (Case No. ZAPD22-0008 – Hillside Corinth)

Acting Chair Rhule addressed the concerns noted in several of the letters received by the City regarding the collector street along the southern boundary of the proposed development and clarified that the agenda item listed would only be addressing the rezoning request. She explained that the collector road would be examined at the time of platting and would not be included in the decision of the Commission on the rezoning request.

Miguel Inclan, Planner, presented the item and recommended that the request be approved with the added stipulations that the PD Design Statement be amended to include a provision requiring that the trees on the required 15-foot landscape buffer adjacent to the future collector roadway be installed by the Applicant at the time of subdivision construction, the Conceptual Landscape and Screening Plans be amended to include said trees, and the PD Design Statement be amended to include a stipulation that the drainage facility X lot be amenitized at a minimum with enhanced landscaping and a sitting area along the western boundary of said X lot adjacent to the sidewalk to meet the intent of the Neighborhood Place Type in the Comprehensive Plan in the event that the design of the facility does not permit the installation of landscape/hardscape as depicted in Exhibit E – Conceptual Landscape and Screening Plans.

Acting Chair Rhule asked how the proposed rezoning would benefit the City.

Inclan explained that the proposed increase in density would allow 3.46 lots per acre rather than the 3.11 lots per acre permitted under the existing SF-2 zoning district. He stated that increasing the density allowed for the incorporation of additional open space and tree preservations areas around the development that may not have been accomplished under the conventional zoning.

Reginald Rembert, Rembert Enterprises, provided a presentation to the Commission. He gave a brief background on his company and previous developments in the area and stated that their goal was to create a unique community that would be compatible with the adjacent neighborhoods. Additionally, he provided an

overview of several elements of the development including site challenges, fencing and screening, and estimated home values. He stated that they held a neighborhood meeting in September of 2022 and attempted to address the concerns of the surrounding property owners by incorporating larger lots and additional tree preservation areas adjacent to the Provence Subdivision.

Commissioner Guck asked how the increase in building area from the SF-4 base zoning district would function given the overall reduction in lot size.

Rembert stated that larger houses on smaller lots was the desired product in the current housing market but reiterated that the lots directly adjacent to the Provence subdivision would be larger.

Commissioner Harrold asked how many residents attended the neighborhood meeting.

Rembert stated that approximately 30-40 people attended the neighborhood meeting, but that this had also included residents from the Terrace Oaks subdivision given that the proposal had been larger at that time.

Acting Chair Rhule asked what the major concerns raised at the neighborhood meeting were and what concessions were agreed to as a result.

Rembert stated that the main concern was privacy and that they had attempted to alleviate this concern by constructing an 8-foot board-on-board privacy fence adjacent to the Provence Subdivision, including additional tree preservation areas and larger lots along this boundary, and deed restricting five of these lots to be single-story houses.

Acting Chair Rhule asked what the target demographic was for the proposed development.

Rembert stated there was not necessarily a target demographic but that the price point was within the desired range of the current housing market.

Commissioner Harrold asked if the Applicant had spoken with any of the property owners with larger lots on the west side of Post Oak Drive further south of the proposal.

Rembert stated that he had not specifically reached out to these residents given the distance from the proposed development but that he had spoken with one of these residents whose concerns had primarily revolved around traffic. He explained that the proposal had passed all traffic studies which were reviewed by Staff and stated that the site will have two points of access with a third point of access in the future upon the expansion of Creekside Drive.

Commissioner Guck asked how the Applicant would accommodate Staff's recommended stipulations in their proposal.

Rembert stated that they would do their best to accommodate all of Staff's requests but would not be able to finalize the design around the drainage pond until the detention area was fully engineered.

Acting Chair Rhule opened the Public Hearing 7:14 PM.

Richard Weir, 2008 Ledgestone Drive, was in favor of the proposal.

David Byrne, 2204 Tuscany Drive, stated that he was opposed to the proposal due to the increased density and stated that he had spoken with all of the property owners in Provence who would be directly adjacent to the proposed development, all of whom were in opposition of the proposal.

Nancy Byrne, 2204 Tuscany Drive, was in opposition of the proposal.

Janice Faris, 2204 Tuscany Drive, stated that she was in opposition of the proposal.

Sterling Sacks, 1713 Birch Lane, stated that he was the owner of the property to the southeast of the proposed development and was against the proposal due to the proposed collector road. Sacks stated that he felt the proposed collector road was unnecessary and recommended that any future plan for the collector road be eliminated and the 2040 Comprehensive Plan be repealed.

Amy Henson, 2400 Tuscany Drive, was in opposition of the proposal.

Stepan Perfilev, 2402 Tuscany Drive, stated that he was generally not against development but was opposed to this particular developer.

Jared Dale, 2807 Goodnight Trail, stated that he was against the proposal due to the proposed collector road and felt that it was unnecessary.

Joe Priske, 723 Crystal Mountain Road, stated that he was representing the owners of the Fletcher property to the south of the proposed development. He expressed concerns with the accuracy of the traffic analysis that was performed and wanted to confirm that the developer would pay their share of the proposed collector road to ensure that his clients would not be overburdened by the construction of this road in the future.

Steve Prachniak, 1711 Birch Lane, stated that he was in opposition to the proposed development specifically due to the increased density of the proposal and increases in traffic.

Acting Chair Rhule closed the Public Hearing 7:32 PM.

Acting Chair Rhule asked if drainage from this site onto surrounding properties was a concern.

Inclan explained that the UDC and adopted Engineering Standards stipulate that existing drainage conditions be maintained or improved.

Acting Chair Rhule asked if Staff could speak to the results of the traffic analysis.

Inclan explained that a Traffic Threshold Worksheet was reviewed by Staff, and due to the proposal not exceeding any of the three criteria as defined in the worksheet that would have necessitated a full Traffic Impact Analysis, it was determined that a full TIA was not warranted.

Commissioner Jones asked how many houses would have been permitted under the existing SF-2 zoning.

Inclan explained that he did not have an exact number but that the proposed density for the development was 3.46 dwelling units per acre where the existing permitted density of the SF-2 District was 3.11 dwelling units per acre.

Acting Chair Rhule asked if the Applicant had the ability to change the density or number of lots during the platting process.

Webb stated that the plat would have to be in conformance with the PD Ordinance.

Inclan reiterated this.

Commissioner Harrold made a motion to recommend denial of the request from SF-2 to SF-4 due to it being incompatible with the City's Comprehensive Plan with reduced dwelling units per acre, seconded by Commissioner Guck.

Motion passed unanimously: 4-for, 0-against.

5. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a request to amend various subsection of Section 3 "Subdivision Regulations" regarding the dedication and maintenance of streetlights. (Case No. ZTA23-0001 – UDC Subdivision Regulations Amendments – Street Lights)

John Webb, Director of Development Services, presented the item and recommended that the requested amendments be approved as presented.

Acting Chair Rhule opened the Public Hearing at 7:42 PM. There were no speakers.

Acting Chair Rhule closed the Public Hearing 7:43 PM.

Commissioner Guck made a motion to recommend approval as presented, seconded by Commissioner Harrold.

Motion passed unanimously: 4-for, 0-against.

G. DIRECTORS REPORT

Director Webb informed the Commission that the Album PD was approved by the City Council at their previous meeting and that in the coming months Staff would be presenting amendments to several portions of the UDC to address changes from the State Legislature and the market.

Acting Chair Rhule asked if there would be any ordinances related to short term rentals.

Director Webb stated that there were no planned updates to address short term rentals at that time.

Commissioner Jones asked when the streetlights along Lake Sharon would be turned back on given that the construction of the roundabout had been completed.

Director Webb stated that he would reach out to Public Works to resolve this issue.

H. ADJOURNMENT

There being no further business before the Commission, the meeting was adjourned at 7:47 PM.

MINUTES APPROVED THIS _____ DAY OF _____, 2023.

Alan Nelson, Planning and Zoning Commission Chairman

DRAFT



CITY OF CORINTH
Staff Report

Meeting Date:	7/20/2023	Title:	UDC Subdivision Ord Amendments – Street Light
Strategic Goals:	<input type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input type="checkbox"/> Attracting Quality Development		
Owner Support:	<input checked="" type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission On June 26, 2023, the Planning and Zoning Commission conducted a Public Hearing and recommended approval by a vote of 4-0.		

Item/Caption

Conduct a Public Hearing to consider testimony and consider and act on an ordinance amending various subsections of Section 3 “Subdivision Regulations” regarding the dedication and maintenance of street lights. Case No. ZTA23-0001 – UDC Subdivision Regulations Amendments – Street Lights

Item Summary/Background/Prior Action

In 2020, the City hired a consulting firm to conduct a field audit of the street lights in the city to determine if it would be beneficial for the city to obtain ownership and maintenance of the lights, which were installed and maintained by Oncor. The initial assessment indicated that that the city could realize a beneficial rate of return after four (4) years. In September, 2021 several sections of the UDC were amended regarding developers to construct and dedicate the streetlights to the city. Other sections were amended regarding inspections and related fees for new installations. Other “housekeeping” items were amended which should remain.

As new residential subdivisions were being planned and constructed, the developers indicated concerns regarding additional costs imposed on them by Oncor which previously did not charge for the lights.

At this time, it has been determined to not pursue the ownership and maintenance of streetlights.

Relevant sections of Section 3 “Subdivision Regulations” regarding street lights to be amended to reflect pre-2021 standards are,

- Section 3.04.06.B.1.a – remove terms regarding street lighting systems
- Section 3.05.07.I – delete this subsection regarding dedication of street lighting systems
- Section 3.05.13.A.1 – remove references to street lighting systems
- Section 3.05.13.C.2 – delete this subsection regarding dedication of street lighting systems
- Section 3.05.19.C.6 – delete this subsection regarding the dedication of street lighting systems

Public Notice

Notice of the public hearing was provided in accordance with the City Ordinance and State Law by,

- Publishment in the Denton Record-Chronicle
- The Public Hearing notice was posted on the City’s Website

Staff Recommendation

Staff recommends approval of the ordinance as submitted

Motion

“I move to approve an ordinance amending various subsections of Section 3 “Subdivision Regulations” regarding the dedication and maintenance of street lights.

Attachments

1. Planning and Zoning Commission Minutes
2. Draft Ordinance

**Excerpt of Planning and Zoning Commission Minutes
June 26, 2023**

5. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a request to amend various subsection of Section 3 “Subdivision Regulations” regarding the dedication and maintenance of streetlights. (Case No. ZTA23-0001 – UDC Subdivision Regulations Amendments – Street Lights)

John Webb, Director of Development Services, presented the item and recommended that the requested amendments be approved as presented.

Acting Chair Rhule opened the Public Hearing at 7:42 PM. There were no speakers.

Acting Chair Rhule closed the Public Hearing 7:43 PM.

Commissioner Guck made a motion to recommend approval as presented, seconded by Commissioner Harrold.

Motion passed unanimously: 4-for, 0-against.

**CITY OF CORINTH, TEXAS
ORDINANCE NO. 23-07-20-XX**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF CORINTH, TEXAS, AMENDING VARIOUS SUBSECTIONS OF SECTION 3, “SUBDIVISION REGULATIONS”, OF THE CITY’S UNIFIED DEVELOPMENT CODE TO REPEAL REFERENCES TO THE DEDICATION OF STREET LIGHTING SYSTEMS TO THE CITY UPON FINAL ACCEPTANCE OF PUBLIC IMPROVEMENTS; PROVIDING FOR THE INCORPORATION OF PREMISES; PROVIDING FOR AMENDMENTS; PROVIDING A CUMULATIVE REPEALER CLAUSE; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, on July 2, 2020, the City of Corinth entered into an agreement with Tanko Streetlighting, Inc. (“Tanko”) to conduct a street light ownership audit of street lighting systems throughout the City; and

WHEREAS, as a result of this audit, on September 2, 2021, the City Council adopted Ordinance No. 21-09-02-23 requiring dedication of street lighting systems directly to the City to be managed by the City rather than third party utility providers; and

WHEREAS, upon the receipt of numerous development applications for new single family residential subdivisions in the City after adopting Ordinance No. 21-09-02-23, City staff determined that City ownership of street lighting systems on public streets and in public rights-of-way through the City is not in the best interest of the City due to service provider costs that had been unforeseen at the time of the 2020 audit; and

WHEREAS, after holding a public hearing and receiving public comment, the City Council has determined to amend the Subdivision Regulations of the City’s Unified Development Code to remove requirements for the dedication of street lighting systems and that these amendments serve the health, safety and welfare of the public.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CORINTH, TEXAS:

SECTION 1
INCORPORATION OF PREMISES

The above and foregoing recitals are found to be true and correct and are incorporated into the body of this Ordinance for all purposes.

SECTION 2
AMENDMENTS

2.01 Subparagraph 1 of Subsection A, “Requirements”, of Section 3.01.05, “Improvements Required”, of Subsection 3.01, “General Provisions”, of Section 3, “Subdivision Regulations”, of

the Unified Development Code of the City of Corinth, Texas is hereby amended as follows with all other provisions of Section 3.01.05 not herein expressly amended to remain in full force and effect:

3.01.05. – Improvements Required

A. Requirements

“1. The subdivider shall furnish, install and/or construct the Public Improvements (water and wastewater systems, and the street and drainage facilities) necessary for the proper development of the subdivision in accordance with all state and federal laws, and all City ordinances and regulations.”

- (a) All such facilities and systems shall be designed and constructed in accordance with the City’s Engineering Standards Manual, and any other standards, specifications, and drawings as may be hereafter adopted by the City Council.”

2.02 Subparagraph (1)(a) of Subsection B, “Public Works Inspection Fees”, of Section 3.04.06, “Inspection, Maintenance, and Acceptance of Public Improvements”, of Subsection 3.04, “Construction Plans & Procedures”, of Section 3, “Subdivision Regulations”, of the Unified Development Code of the City of Corinth, Texas are hereby amended as follows with all other provisions of Section 3.04.06 not herein expressly amended to remain in full force and effect:

3.04.06. – Inspection, Maintenance, and Acceptance of Public Improvements

...

B. Public Works Inspection Fees

“1. Fee Standards for Public and Private Infrastructure.

- a. The Developer shall be charged an inspection fee which shall be established in the City's Master Fee Schedule as a percentage of the total construction cost of the public and private infrastructure, including without limitation, storm drains, water, wastewater, grading, retaining walls, erosion control, and streets in each Subdivision or development.”

2.03 Section 3.05.07, “Easements and Dedications”, of Subsection 3.05, “Subdivision Design Standards”, of Section 3, “Subdivision Regulations”, of the Unified Development Code of the City of Corinth, Texas is hereby amended to delete Subparagraph I, “Dedication of Street Lighting Systems.”

2.04 Subparagraph (1) of Subsection A, “General” of Section 3.05.13, “Streets”, of Subsection 3.05, “Subdivision Design Standards”, of Section 3, “Subdivision Regulations”, of the Unified Development Code of the City of Corinth, Texas is hereby amended as follows with all other provisions of Section 3.05.13 (A) not herein expressly amended to remain in full force and effect:

3.05.13. – Streets

A. General

“1. The property owner shall assure that the Subdivision is served by adequate streets and shall be responsible for the costs of Right-of-Way, and street improvements, in accordance with the policies and standards set forth in this Section and the City’s Subdivision Regulations.”

2.05 Subsection C, “Street Right-of-Way Dedication” of Section 3.05.13, “Streets”, of Subsection 3.05, “Subdivision Design Standards”, of Section 3, “Subdivision Regulations”, of the Unified Development Code of the City of Corinth, Texas is hereby amended to delete Subparagraph (2).

2.06 Subparagraph C, “Street Lighting”, of Section 3.05.19, “Miscellaneous”, of Subsection 3.05, “Subdivision Design Standards”, of Section 3, “Subdivision Regulations”, of the Unified Development Code of the City of Corinth, Texas is hereby amended to read in its entirety as follows with all other provisions of Section 3.05.19 not herein expressly amended to remain in full force and effect:

...

“C. Street Lighting.

1. Street Lighting System means the base, pole, arm, and light fixture of each street lighting system, as well as all electrical components of such system.
2. Street lighting shall conform to the latest edition of the Illuminating Engineering Society Handbook.
3. Round tapered standards with bracket arms shall be used and lighting levels, as recommended, shall be provided for very light traffic in residential areas, medium traffic on Collector Streets, and heavy traffic on Arterial Street.
4. In no instance shall the spacing between street lights exceed six hundred (600) feet.
5. Cost of installation of street lighting shall be borne by the Developer.”

SECTION 3
CUMULATIVE REPEALER

This Ordinance shall be cumulative of all other Ordinances of the City of Corinth and shall not repeal any of the provisions of such Ordinances except for those instances where there are direct conflicts with the provisions of this Ordinance or where expressly repealed hereby. Ordinances or parts thereof in force at the time this Ordinance shall take effect and that are inconsistent with this Ordinance are hereby repealed to the extent that they are inconsistent with this Ordinance.

SECTION 4
SEVERABILITY

If any section, subsection, clause, phrase, or provision of this Ordinance, or the application thereof to any person or circumstance, shall to any extent be held by a court of competent jurisdiction to be invalid, void, or unconstitutional, the remaining sections, subsections, clauses, phrases, and provisions of this Ordinance, or the application thereof to any person or circumstance, shall remain in full force and effect and shall in no way be affected, impaired or invalidated.

SECTION 5
SAVINGS/CONFLICT

In the event of a conflict between the provisions of this Ordinance and any other regulation or rule prescribed by charter, another ordinance, resolution or other authorization of the City, the provisions of this ordinance shall control. Notwithstanding the foregoing, all rights and remedies of the City are expressly saved as to any and all complaints, actions, claims, or lawsuits, which have been initiated or have arisen under or pursuant to such conflicting Ordinance, or portion thereof, on the date of adoption of this Ordinance shall continue to be governed by the provisions of that Ordinance and for that purpose the conflicting Ordinance shall remain in full force and effect.

SECTION 6
EFFECTIVE DATE

This Ordinance shall take effect upon its date of passage.

DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF CORINTH, TEXAS on this the 20th day of July 2023.

APPROVED:

Bill Heidemann, Mayor
City of Corinth, Texas

ATTEST:

Lana Wylie, City Secretary
City of Corinth, Texas

APPROVED AS TO FORM AND LEGALITY:

Patricia A. Adams, City Attorney



CITY OF CORINTH
Staff Report

Meeting Date:	7/20/2023	Title:	Parkway Lofts Site Plan
Strategic Goals:	<input type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development		
Owner Support:	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission N/A		

Item/Caption

Consider and act on a Site Plan request by the Applicant, Tate Braun, on behalf of the property owner, RCM Corinth Land, LLC, for the development of approximately ± 13 acres located at the southwest corner of Corinth Parkway and the I-35E service road to permit the construction of 312 multifamily units, limited ground floor retail, and related amenities. Case No. SPC23-0001: Parkway Lofts.



Location Map

Background/Prior Action

1. The ±21-acre Parkway District Planned Development (PD-59) was initially approved on August 19, 2021. Subsequently, in September 2022, the PD was amended to reorient/reconfigure the multifamily buildings within Block C to be adjacent to Corinth Parkway (September 15, 2022, Minor PD Amendment). Then again, in July 2023, the PD was amended to adjust the boundaries and land area of Blocks B and D and to delete roof pitch standards as

The private drives will provide shared access to the future phases of development including the hotel/retail and restaurant parcels. The ±4.8-acre open space lot (Lot 3X) is designed as a wet detention pond with fountains and a shaded overlook sitting area amenity with a perimeter trail, several pockets of tree preservation, and a dog park to serve as a common area for the entire development.

The Parkway Lofts Site Plan does not include the remaining three (3) tracts that, together with the parcels included in this Site Plan, cover the overall Parkway District. The three remaining tracts which will not be developed at this time, will support a 1.6-acre Hotel/Retail site (Lot 3), 20,000 square feet of restaurant uses on approximately ± 4 acres (Lot 4), and an area of approximately ±0.46 acres of a Tree Preserve (Lot 4X).

All required parking for the uses on Lot 4 and Lot 3 will be provided on the respective lots though shared parking is permissible among commercial lots per PD-59.

Key Features of the Site Plan include:

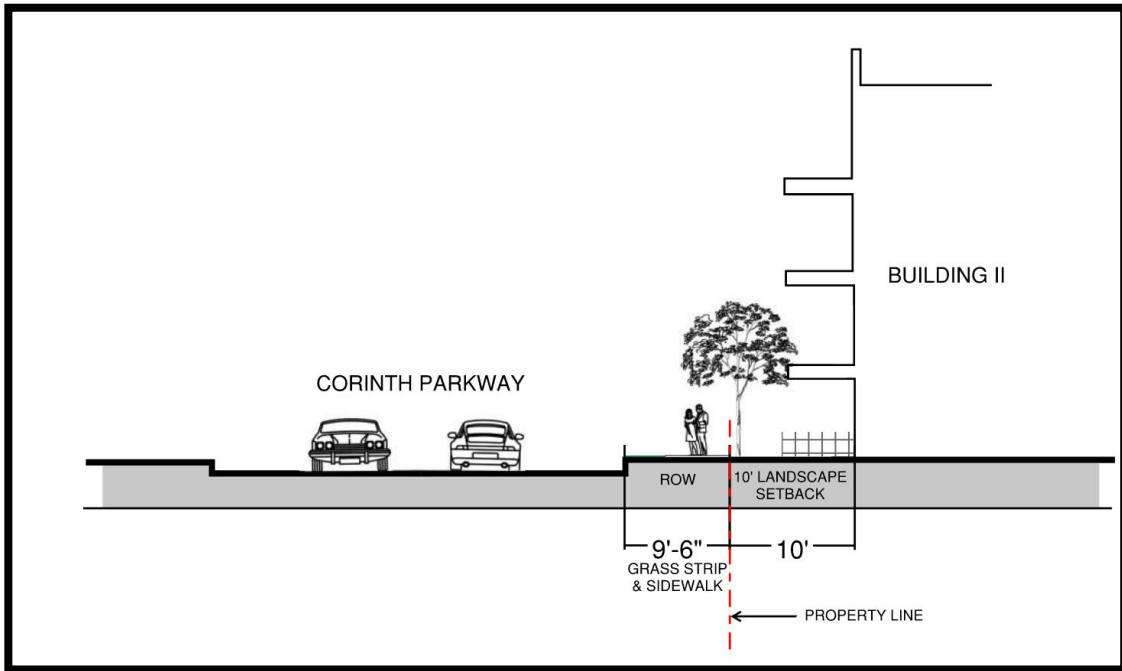
4-Story Multifamily Apartments & 2,500 Square Foot Ground-floor Retail

- 293 multifamily units within two, 4-story buildings with exterior balconies. Ground-floor units have private patios with metal ornamental fencing fronting on to Corinth Parkway and both east-west internal private drives.



Rendering: 4-story Building #1 at corner of Promenade and northern-most private drive (east & north facades) – Looking southwest from northernmost internal drive (see attached Elevation Sheets for details).

The cross-section below shows a view of Building #2 looking northeast on Corinth Parkway. This reflects the reorientation of the buildings and reduced setback along Corinth Parkway.



Cross-Section of Corinth Parkway looking northeast

Townhome Style Multifamily Buildings

- 19 multifamily units within three, 2-story buildings with exterior ground-floor patios fronting onto the southernmost east-west private drive with the rear of the buildings served by an alley and private garages.



Rendering: 2-Story Multifamily (front elevation)

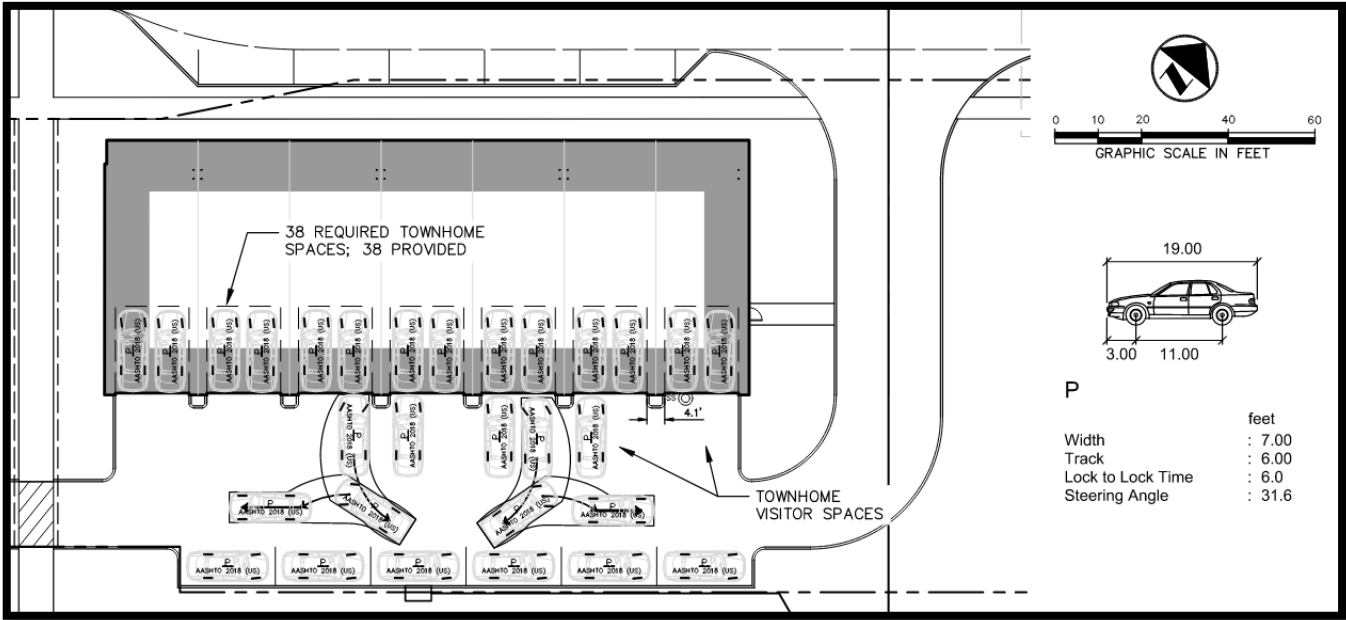


Trail located adjacent to stormwater pond perimeter (rear elevation)

- Project unit mix includes the following:

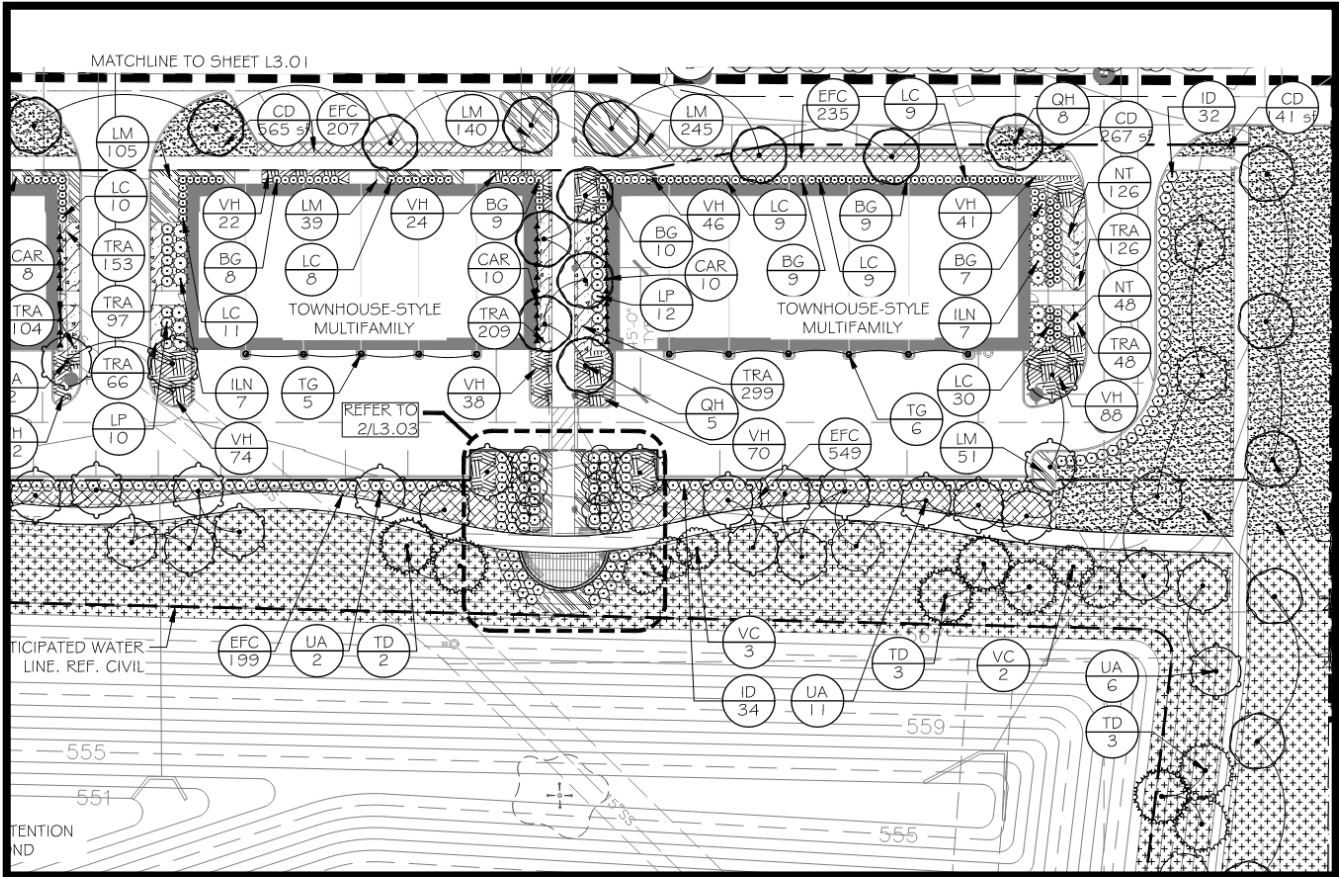
UNIT TYPE	APARTMENTS			TOTAL	TOWNHOME STYLE MF
	STUDIO	A - 1B/1B	B - 2B/2B		2B/2.5B
AVERAGE NET SF	580 SF	737 SF	1147 SF	1498 SF	1801 SF
		917 SF			
# OF UNITS	31	175	87	293	19
% OF MIX	10%	60%	30%	100%	100%

- Two, east-west internal private drives designed with on-street parking (angled and parallel) lined with sidewalks and shade trees (originally depicted as public streets in PD-59). The design of certain spaces have been altered to add a small triangular area adjacent to the planting strip to afford the Street Trees a greater area to increase survivability. In such instances, the parking space is sufficient to support a greater than average vehicle length, but will not accommodate a standard sized pick-up without potentially extending out into the fire lane.
- Ground-floor units are designed with private patio spaces and/or yard areas enclosed with metal fencing and landscaped along the streetscape and private drives (see attached detailed Landscape Plan sheets).
- On-street parking along the east-west drives is being utilized by the 293 units within the 4-story multifamily buildings to meet minimum parking requirements as permitted by PD-59 Section 5.D. for one platted lot (Lot 1).
- Parking for the 4-story multifamily buildings (Buildings #1 and #2) is located (1) surrounding the club house/pool amenity and is generally hidden from view by Buildings #1 and #2 and from public streets, (2) along both sides of the east-west private drives, and (3) along an alley to the rear townhouse-style multifamily buildings (buildings #3, #4, and #5). The “autoturn” exhibit (shown below) illustrates the parking movement between head-in parking behind each unit and the parallel parking along the alley. (see attachments for full size exhibit).



Autoturn Exhibit – Alley Parking (head-in behind units and parallel along alley)

- Pedestrian promenade includes a 12' wide treelined sidewalk linking the 4-story and 2-story sections of the site and terminating behind the 2-story buildings at the wet detention pond overlook amenity.
- Concrete trail with public pedestrian access easement extends through the open space (Lot 3X) and links to the proposed trail of the adjacent Corinth Groves project and meanders north around the perimeter of the wet detention pond to the overlook shaded sitting area at the rear of the 2-story townhouse-style multifamily buildings and continues west to the dog park and out to Corinth Parkway.
- Architectural design of the buildings is generally in keeping with the language of materials listed in Section 6 Architectural Standards PD-59. Note that the language of Section 6 of PD-59 is permissive in terms of the type of materials facing the public streets (see attachments for detailed Elevations).
- Clubhouse and pool amenities are centrally located to the rear of Buildings #1 and #2



Detail of Promenade Overlook Amenity
“Shade structure/sitting area overlooking wet pond and fountains”

Financial Impact

The entire project is subject to a Chapter 380 Agreement.

Applicable Policy/Ordinance

Parkway District Planned Development Ordinance (PD-59) as amended.

Staff Recommendation

Staff recommends conditional approval of SPC23-0001 Parkway Lofts Site Plan subject to the following:

1. Approval of Final Engineering/Construction plans by the City Engineer prior to the issuance of a building permit;
2. Approval of a Final Plat and the associated Property Owner Association and Protective Covenants for the Parkway District inclusive of Lots 1, 1X, 2, 2X, 3, 3X, 4, and 4X, prior to the issuance of a building permit;
3. Approval of the Landscape Plan for design and plant material with the acknowledgement that additional review and approval of hardscape, irrigation, and vertical elements at time of engineering/construction plan review and prior to the issuance of a building permit;
4. Approval of the Photometric Plan for compliance with UDC Subsection 2.09.07, Lighting and Glare, prior to the issuance of a building permit;
5. Approval of Architectural Standards as outlined in PD-59 Section 6 prior to the issuance of a building permit;
6. Approval of signage for the project is subject to a separate application process with review and approval by the Building Division. Any sign location or imagery noted on the Site Plan or associated plans with this application is for illustration purposes only and does not constitute approval.
7. Address minor remaining technical items on the Site Plan and Landscape Plan as follows:
 - a. Reduce length of the nose on both medians on private internal drives at I-35

ATTACHMENTS:

1. Site Plan
2. Landscape Plan
3. Cross-Section of Corinth Parkway/Streetscape/Building Façade
4. Autoturn Parking Exhibit – Parking in Alley to rear of 2-story multifamily
5. Renderings
6. Elevations
7. Photometric Plan
8. Planned Development #59

**PARKWAY LOFTS SITE PLAN
CASE NO. SPC23-0001
ATTACHMENT 1: SITE PLAN**

BUILDING DATA

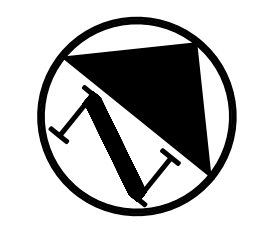
	BLDG 1	BLDG 2	BLDG 3	BLDG 4	BLDG 5	CLUBHOUSE
BLDG HEIGHT	45' - 8"	45' - 8"	24' - 4"	24' - 4"	24' - 4"	22' - 8"
# OF STORIES	4	4	2	2	2	1
DWELLING UNITS	171	122	6	6	7	0

BUILDING GROSS AREA

BLDG #	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	TOTAL
BLDG 1	57,285 SF	56,332 SF	56,332 SF	56,332 SF	226,281 SF
BLDG 2	36,067 SF	36,633 SF	36,633 SF	36,633 SF	145,966 SF
BLDG 3	7,164 SF	7,164 SF	-	-	14,328 SF
BLDG 4	7,164 SF	7,164 SF	-	-	14,328 SF
BLDG 5	8,672 SF	7,500 SF	-	-	16,172 SF
CLUBHOUSE	6,086 SF	-	-	-	6,086 SF
TOTAL	122,438 SF	114,793 SF	92,965 SF	92,965 SF	423,161 SF

UNIT DATA TABLE

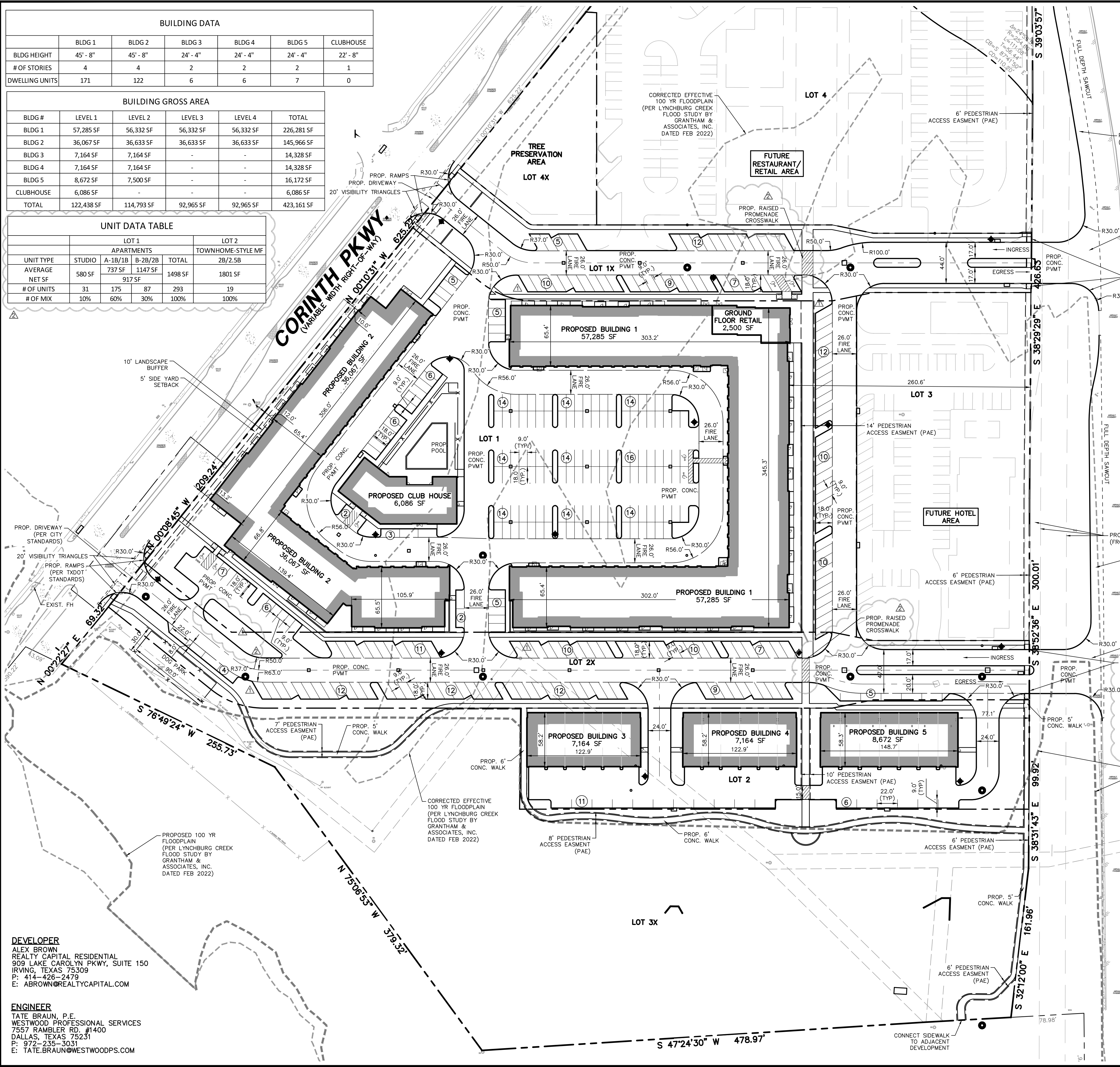
UNIT TYPE	LOT 1			TOTAL	LOT 2
	STUDIO	A-1B/1B	B-2B/2B		
AVERAGE NET SF	580 SF	737 SF	1147 SF	1498 SF	1801 SF
# OF UNITS	31	175	87	293	19
# OF MIX	10%	60%	30%	100%	100%



LEGEND

- BL BOLLARD
- EM ELECTRIC METER
- PP POWER POLE
- LS LIGHT STANDARD
- WM WATER METER
- WV WATER VALVE
- ICV IRRIGATION CONTROL VALVE
- FWD FIRE HYDRANT
- CO CLEANOUT
- MH MANHOLE
- TSC TRAFFIC SIGNAL CONTROL
- TSP TRAFFIC SIGNAL POLE
- TELE TELEPHONE BOX
- FL FLOOD LIGHT
- FP FLAG POLE
- TS TRAFFIC SIGN
- IRS 1/2-INCH IRON ROD
- (C.M.) W/TRAPEZOIDAL "K" CAP SET
- FENCE CONTROLLING MONUMENT
- PROPERTY LINE
- COORDINATE DESIGNATION
- PROPOSED FENCE
- FIRE LANE
- PEDESTRIAN ACCESS EASEMENT (PAE)

ALL DIMENSIONS ARE TO FACE-OF-CURB UNLESS OTHERWISE NOTED



SITE DATA SUMMARY CHART		
SITE DATA SUMMARY	REQUIRED	PROVIDED
EXISTING ZONING	PD-59 - MIXED USE COMMERCIAL	
GROSS SITE AREA	14.764 AC / 643,120 SF	
NUMBER OF PROVIDED LOTS	5 LOTS TOTAL (LOT 1, 2, 1X, 2X, 3X)	
BUILDING COVERAGE (LOT 1)	MAXIMUM 90%	37.9% / 93,531 SF
BUILDING COVERAGE (LOT 2)	MAXIMUM 75%	37.7% / 23,000 SF

PARKING DATA		
	REQUIRED	PROVIDED
APARTMENTS	1.45 * # OF LOFTS (293) = 425	SURFACE PARKING SPACES 351
RETAIL	(2,500 SF) AT 1 SPACE/250 = 10 SPACES	HC PARKING SPACES 8
		TUCK UNDER GARAGE SPACES 78
	SUBTOTAL	437
TOWNHOME-STYLE MULTI-FAMILY	2 * # OF TOWNHOMES (19) = 38	TOWNHOMES GARAGE SPACES 38
	SUBTOTAL	38
	TOTAL	475

LOT DATA						
LOCATION	LOT 1	LOT 2	LOT 1X	LOT 2X	LOT 3X	
USE	RETAIL & MULTI-FAMILY	MULTI-FAMILY	OPEN SPACE	OPEN SPACE	OPEN SPACE	
SITE AREA	5.658 AC (246,452 SF)	1.401 AC (61,049 SF)	1.174 AC (51,139 SF)	1.768 AC (77,014 SF)	4.828 AC (210,314 SF)	
TOTAL BUILDING FOOTPRINT	2,147 AC (93,531 SF)	0,528 AC (23,000 SF)	0	0	0	
FLOOR AREA RATIO	0.379	0.377	0	0	0	

ISSUED FOR PRELIMINARY PRICING PURPOSES ONLY
(SUBJECT TO REVISION PRIOR TO CONSTRUCTION)

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NO.	DATE	REVISION
07/07/2023		SITE PLAN UPDATES
06/21/2023		SITE PLAN UPDATES

Pacheco Koch
a Westwood company
7557 RAMBLER ROAD SUITE 1400
DALLAS, TX 75231
972.235.3031

SITE PLAN
PARKWAY LOFTS
LOTS 1, 2, 1X, 2X, & 3X (14.764 ACRES)
PART OF PARKWAY DISTRICT ADDITION
CITY OF CORINTH, DENTON COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
TBB	JBG	FEB 2022	1"=50'			SP1.1

PRELIMINARY
NOT FOR CONSTRUCTION

THIS DOCUMENT IS ISSUED FOR THE PURPOSE OF SCHEMATIC REVIEW ONLY AND IS NOT INTENDED FOR PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES.

PLANS PREPARED UNDER THE DIRECT SUPERVISION OF TATE B. BRAUN, P.E. TEXAS REGISTRATION NO. 131167 DATE: 02/22/2022

TX REG. ENGINEERING FIRM F-469
TX REG. SURVEYING FIRM LS-10008000

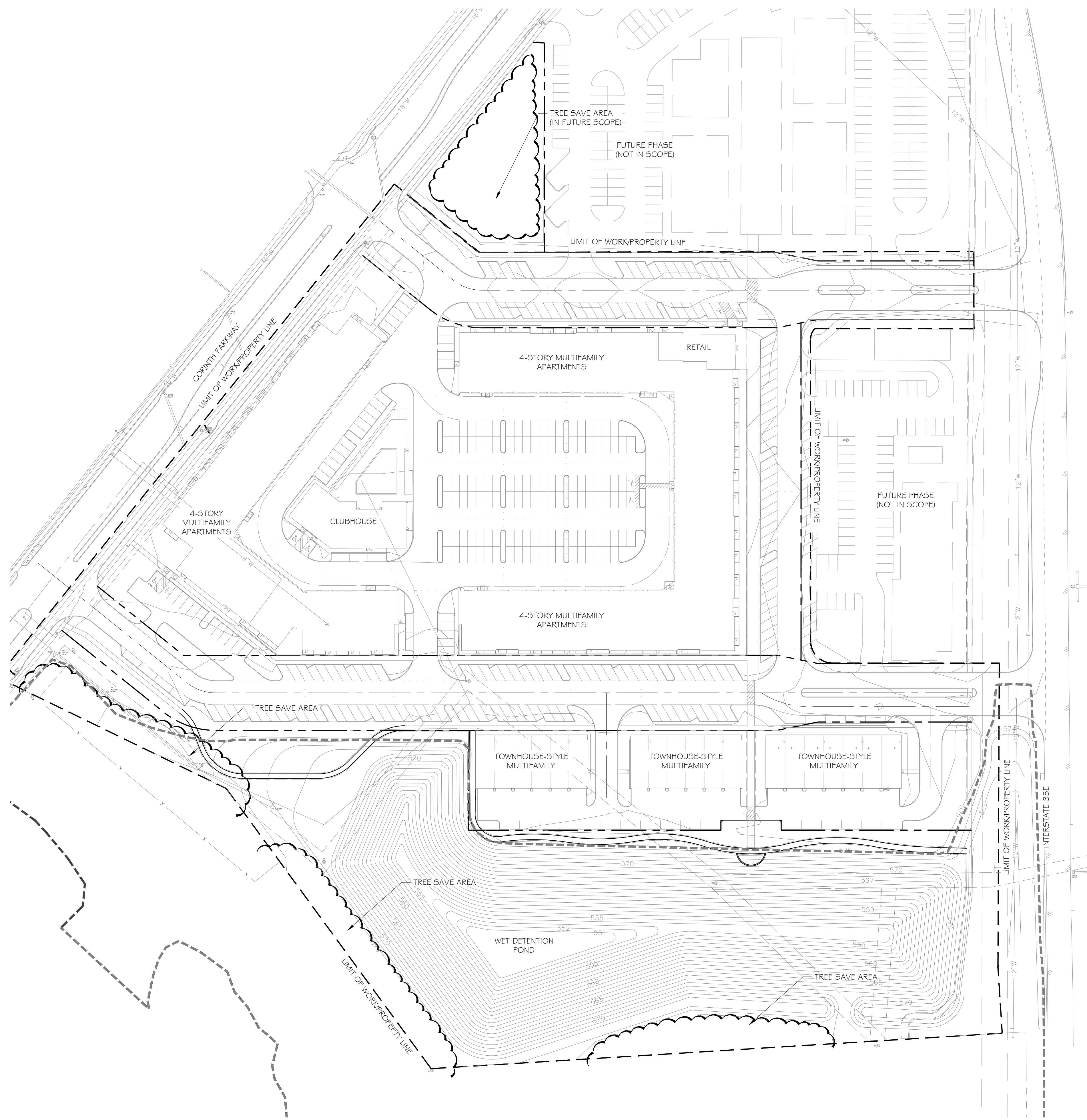
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M:\VWG-52\5299-22.2185P.DWG
2018\5299-22.2185P.DWG

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PARKWAY LOFTS - CASE NO. SPC23-0007

PARKWAY LOFTS SITE PLAN
CASE NO. SPC23-0001
ATTACHMENT 2: LANDSCAPE PLAN



TREE MITIGATION NOTES

1. CERTIFIED ARBORIST:
 - A. SHALL BE APPROVED BY OWNER AND MUST BE ISA CERTIFIED. ARBORIST TO PROVIDE DIRECTION FOR TREE PRESERVATION, AS WELL AS, DOCUMENTING AND INSURING GUIDELINES AND REGULATIONS CONFORM TO STANDARDS. CERTIFIED ARBORIST TO CONFER WITH OWNER'S ARBORIST TO PROPERLY PRESERVE TREE. IN CASE OF DISCREPANCY BETWEEN ARBORISTS THE OWNER SHALL MAKE FINAL DECISIONS REGARDING TREE PRESERVATION. PRIOR TO BID MUST VISIT SITE TO NOTE ALL TREE PRESERVATION PARAMETERS. MUST BE ONSITE DURING THE DURATION OF THE CONTRACT WHERE WORK INFRINGES UPON THE DRIPLINE OF THE TREE.
 - B. PROCEDURES REQUIRED PRIOR TO CONSTRUCTION: THE FOLLOWING PROCEDURES SHALL BE FOLLOWED ON ALL TYPES OF CONSTRUCTION PROJECTS.
 - A. DURING PRE-CONSTRUCTION, TREES TO BE REMOVED SHOULD BE REMOVED FROM THE SITE IN A MANNER TO AVOID INJURY TO REMAINING TREES, INCLUDING THE REMOVAL OF STUMPS AND/OR ROOT SYSTEMS. HEAVY EQUIPMENT SHALL NOT ENCROACH ON THE ROOT SYSTEMS OF TREES TO BE RETAINED OR OTHER TREES OF HIGH VALUE. IF NECESSARY, TREES SHOULD BE REMOVED MANUALLY WITH CHAIN SAWS, AND STUMPS SHOULD BE GROUND OUT INSTEAD OF USING HEAVY EQUIPMENT.
 - B. CRITICAL ROOT ZONES SHALL BE ESTABLISHED AND MAINTAINED FOR ALL TREES TO BE CONSERVED ON A CONSTRUCTION SITE. THIS AREA MAY BE ADJUSTED FOR EXISTING BUILDINGS, WALKWAYS, AND ROADS BY PERMISSION OF OWNER. BARRICADES SHALL BE 4 FOOT HIGH ORANGE VINYL CONSTRUCTION FENCE OR CHAINLINK FENCE, SIGNS, IN ENGLISH AND SPANISH SHALL BE PLACED VISIBLE FROM ALL DIRECTIONS, ALONG THE FENCE TO INFORM WORKERS OF THE PURPOSE OF THE BOUNDARY. THE BARRIER AND PROPER SIGNAGE SHALL BE INSTALLED PRIOR TO ANY SITE PREPARATION AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT. EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILDUP WITHIN THE TREE DRIP LINE. APPLY 4 INCHES OF COURSE MULCH WITHIN PROTECTION AREAS TO HELP REDUCE MOISTURE STRESS AND REDUCE MAINTENANCE.
 - C. WHERE EXCAVATIONS ARE PERFORMED WITHIN THE ROOT ZONE OF TREES, TRENCHING SHOULD BE PERFORMED MANUALLY, OR BY USING A VIBRATORY FLOW, DIRECTIONAL BORER, OR BY AIR SPADING. BACKHOES SHALL NOT BE USED TO RIP ROOTS AT CONSIDERABLE DISTANCES FROM THE POINT OF EXCAVATION. WHEN TRENCHING OR MODIFICATION TRENCHING OF THE ROOT ZONE ENCROACHES HEAVILY ONTO ESTABLISHED TREES, A ROOT PRUNING METHOD SHOULD BE EMPLOYED WHERE THE ROOTS ARE EXPOSED AND TRIMMED WITH PROPER PRUNING TOOLS SEVERAL INCHES TO THE SIDE OF THE TRENCH BORDERING THE TRUNK OF THE AFFECTED TREE. TEARING OF ROOTS IS TO BE AVOIDED. SUPPLEMENTAL IRRIGATION SHALL START IF NEEDED. ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH TO THE SOIL AND SEALED USING LAC-BLAST. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL AS SOON AS POSSIBLE (I.E. WITHIN THE SAME WORKDAY). IF ROOTS ARE NOT BACKFILLED WITHIN THIS TIME, THEY SHALL BE COVERED WITH ORGANIC MATERIAL SUCH AS COMPOSTED MULCH TO A DEPTH OF 4 INCHES, WHICH WILL REDUCE TEMPERATURE AND MINIMIZE WATER LOSS DUE TO EVAPORATION. IN AREAS WHERE RETAINING WALLS OR OTHER RAISED STRUCTURES FORM A CLOSED BORDER AROUND THE ROOT SYSTEM IS TO BE REMOVED, ANY ROOTS THAT ARE INJURED DURING THE REMOVAL PROCESS OF THE RETAINING WALL SHOULD BE PROPERLY PRUNED AND SEALED AS PREVIOUSLY DESCRIBED ABOVE. EXPOSED ROOTS MUST BE COVERED DURING THE SAME WORKDAY WITH SOIL, MULCH OR OTHER ORGANIC MATERIAL. THE USE OF A SILT FENCE OR OTHER TEMPORARY SOIL RETENTION MATERIAL SHOULD BE USED TO INSURE THAT ROOTS REMAIN COVERED UNTIL THE RECONSTRUCTION OF THE NEW WALL.
 - D. ALL TREES DIRECTLY ADJACENT TO BUILDINGS SHOULD BE PRUNED FOR CANOPY RAISING TO PROVIDE A MINIMUM OF 4 TO 6 FEET OF CLEARANCE OVER THE BUILDINGS AS WELL AS CANOPY REDUCTION PRUNING TO PROVIDE A MINIMUM OF 2 FEET CLEARANCE AWAY FROM THE SIDES OF BUILDINGS. A CERTIFIED ARBORIST SHOULD ASSESS EACH TREE FOR PRUNING NEEDS PRIOR TO THE CONSTRUCTION TO MAKE APPROPRIATE RECOMMENDATIONS. THE ARBORIST SHOULD ALSO REINSPECT EACH TREE TO INSURE PROPER PRUNING TECHNIQUE AND/OR BEST MANAGEMENT PRACTICES WERE USED IN PRUNING FOR CLEARANCE.
2. THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE SUBJECT TO THE REQUIREMENTS OF THE CITY ORDINANCE.
 - A. MATERIAL STORAGE: NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.
 - B. EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT SHALL BE CLEANED OR OTHER LIQUIDS DEPOSITED OR ALLOWED TO FLOW OVERLAND WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF A PROTECTED TREE. THIS INCLUDES, WITHOUT LIMITATION, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR SIMILAR MATERIALS.
 - C. TREE ATTACHMENTS: NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY PROTECTED TREE.
 - D. VEHICULAR TRAFFIC: NO VEHICULAR AND/OR CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING SHALL TAKE PLACE WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE OTHER THAN ON EXISTING STREET PAVEMENT. THIS RESTRICTION DOES NOT APPLY TO SINGLE INCIDENT ACCESS WITHIN THE CRITICAL ROOT ZONE FOR PURPOSES OF CLEARING UNDERBRUSH, ESTABLISHING THE BUILDING PAD AND ASSOCIATED LOT GRADING, VEHICULAR TRAFFIC NECESSARY FOR ROUTINE UTILITY MAINTENANCE, EMERGENCY RESTORATION OF UTILITY SERVICE, OR ROUTINE MOWING OPERATIONS.
 - E. GRADE CHANGES: NO GRADE CHANGES SHALL BE ALLOWED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE UNLESS ADEQUATE CONSTRUCTION METHODS ARE APPROVED BY THE LANDSCAPE ARCHITECT.
 - F. IMPERVIOUS PAVING: NO PAVING WITH ASPHALT, CONCRETE OR OTHER IMPERVIOUS MATERIALS THAT MAY REASONABLY BE EXPECTED TO KILL A TREE SHALL BE PLACED WITHIN THE LIMITS OF CRITICAL ROOT ZONE OF A PROTECTED TREE EXCEPT AS OTHERWISE ALLOWED IN THE CITY ORDINANCE.
3. PROHIBITED ACTIVITIES IN DRIP-LINE: NO HEAVY EQUIPMENT, INCLUDING BUT NOT LIMITED TO TRUCKS, TRACTORS, TRAILERS, BULLDOZERS, BOBCAT TRACTORS, TRENCHERS, COMPRESSORS, AND HOISTS, SHALL BE ALLOWED INSIDE THE DRIP-LINE OF ANY PROTECTED TREE ON ANY CONSTRUCTION SITE WITHOUT THE SPECIFIC APPROVAL OF THE LANDSCAPE ARCHITECT.
4. TREES THAT WERE PREVIOUSLY IRRIGATED SHALL BE IRRIGATED DURING CONSTRUCTION. THEY SHALL RECEIVE A MIN. OF ONE INCH OF WATER PER WEEK FROM THE COMBINATION OF RAINFALL AND IRRIGATION. TREES WITH ROOT-DAMAGE SHALL RECEIVE TWO INCHES OF WATER PER WEEK FROM COMBINATION OF RAINFALL AND IRRIGATION.
5. CONTRACTOR RESPONSIBLE FOR ANY DAMAGE TO TREES THAT ARE TO REMAIN. CONTRACTOR TO INSTALL NEW TREE OF EQUIVALENT SIZE IF DAMAGED DURING CONSTRUCTION.

TREE PRESERVATION LEGEND



NOTE:
PER PD-59: TREE SAVE AREAS SHALL BE SUBJECT TO PROTECTION DURING CONSTRUCTION, LIMITED GRADING WITHIN THE DRIPLINE OF PRESERVED TREES AND PROHIBITING CONSTRUCTION TRAFFIC AND STAGING WITHIN TREE SAVE AREAS. TREE SAVE AREAS SHALL PRESERVE NATURAL GRADE PER UDC.

NOTE:
PER PD-59: "SINCE THIS IS PREDOMINANTLY RECLAIMED LAND, MOST TREES WILL NEED TO BE REPLACED WITH NEWLY PLANTED TREES, CONSEQUENTLY, THE PD DISTRICT SHALL BE EXEMPT FROM THE TREE PRESERVATION ORDINANCE 2.09.02"

INTERIM REVIEW
THESE DOCUMENTS ARE INTENDED FOR INTERIM REVIEW ONLY AND NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION.
REGISTERED LANDSCAPE ARCHITECT
TRICK & WHEELER
TEXAS REGISTRATION NUMBER 2225

ISSUED FOR PRELIMINARY PRICING PURPOSES ONLY
(SUBJECT TO REVISION PRIOR TO CONSTRUCTION)
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NO.	DATE	ISSUE
6	07/11/2023	CITY SITE PLAN RESUBMITTAL
5	06/21/2023	CITY SITE PLAN RESUBMITTAL
4	06/13/2023	CITY SITE PLAN SUBMITTAL
3	04/28/2023	DD SUBMITTAL
2	02/15/2023	CITY RESUBMITTAL
1	01/31/2023	CITY SUBMITTAL

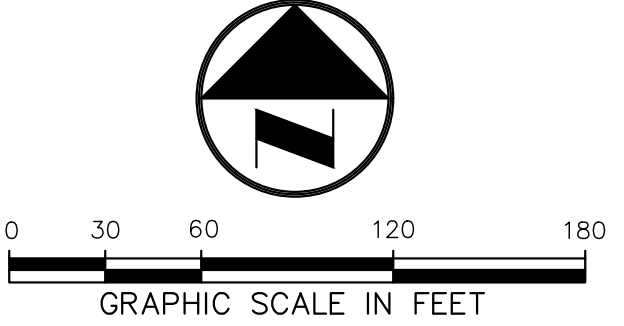
Pacheco Koch 7557 RAMBLER ROAD SUITE 1400
DALLAS, TX 75231
972.235.3031
a Westwood company

OVERALL TREE MITIGATION PLAN
PARKWAY LOFTS
LOTS 1, 2, 3, 4, 1X, 2X, 3X, & 4X
PARKWAY DISTRICT ADDITION (20.859 ACRES)
CITY OF CORINTH, DENTON COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
SRR	SRR	JULY 2023	AS SHOWN			L1.00

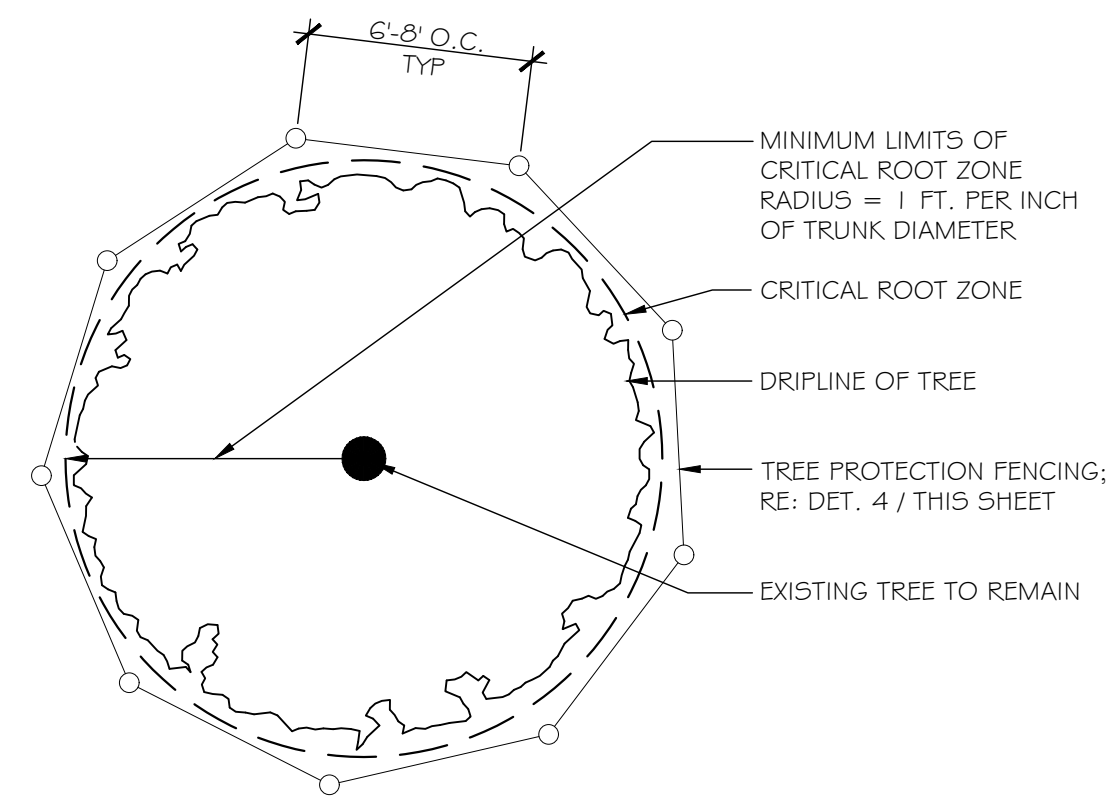
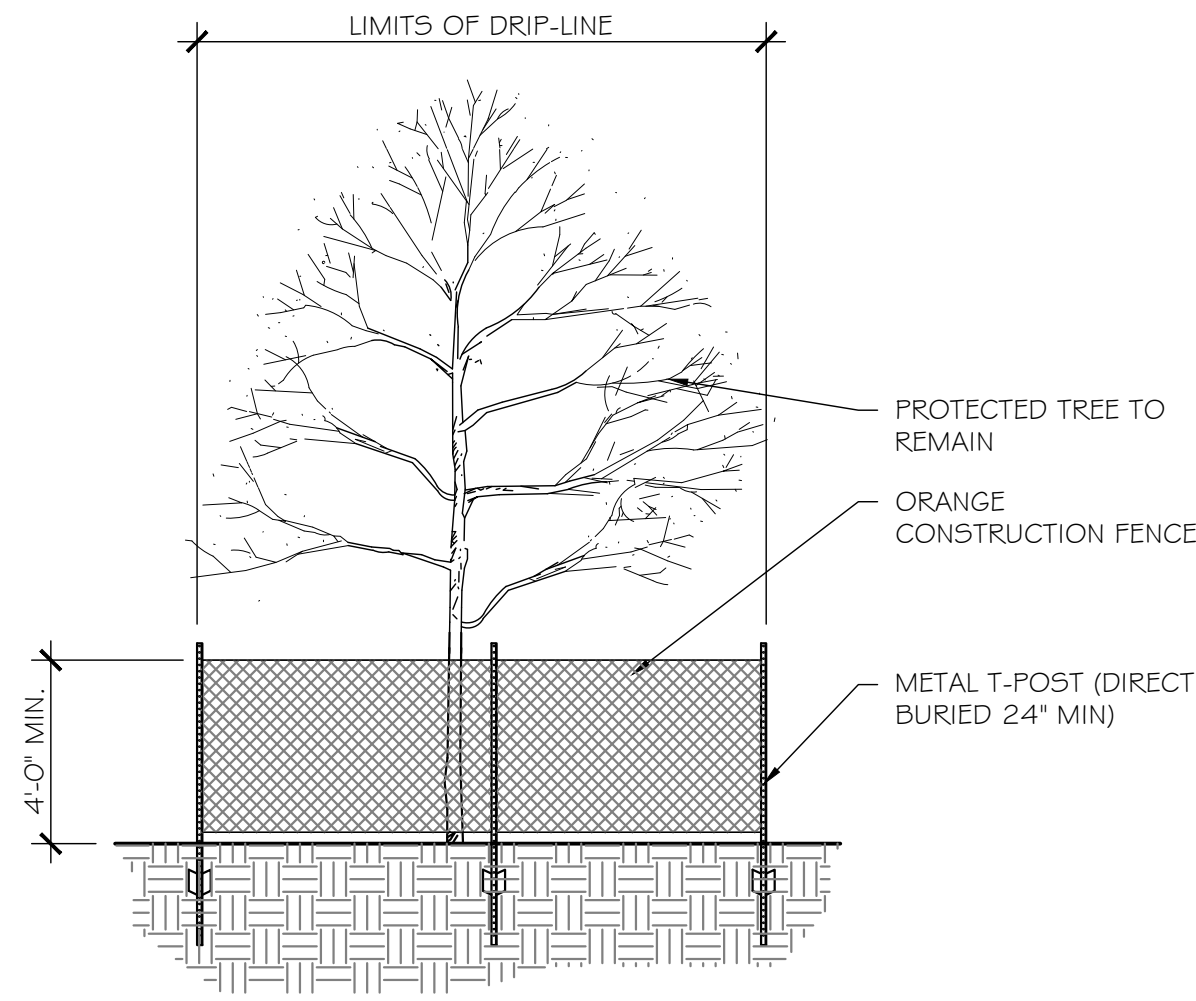
OVERALL TREE MITIGATION PLAN

1" = 60'-0"



TX REG. ENGINEERING FIRM F-469
TX REG. SURVEYING FIRM LS-10008000

NOT FOR CONSTRUCTION



NOTE: TREE PROTECTION FENCING SHALL BE PLACED AT OR BEYOND THE DRIP LINE OR CRITICAL ROOT ZONE, WHICHEVER IS GREATER.

1 TREE PROTECTION FENCING
3/4" = 1'-0"

2 TREE PROTECTION FENCING - PLAN VIEW
N.T.S

INTERIM REVIEW
THESE DOCUMENTS ARE INTENDED FOR INTERIM REVIEW ONLY AND NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION.
REGISTERED LANDSCAPE ARCHITECT
TRICKI A. WILKINS
TEXAS REGISTRATION NUMBER 2225

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5	06/21/2023	CITY SITE PLAN RESUBMITTAL
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3	04/28/2023	DD SUBMITTAL
2	02/15/2023	CITY RESUBMITTAL
1	01/31/2023	CITY SUBMITTAL
NO.	DATE	ISSUE

NO.	DATE	REVISION

Pacheco Koch a Westwood company
7557 RAMBLER ROAD SUITE 1400
DALLAS, TX 75231
972.235.3031

TREE PROTECTION DETAILS
PARKWAY LOFTS
LOTS 1, 2, 3, 4, 1X, 2X, 3X, &4X
PARKWAY DISTRICT ADDITION (20.859 ACRES)
CITY OF CORINTH, DENTON COUNTY, TEXAS

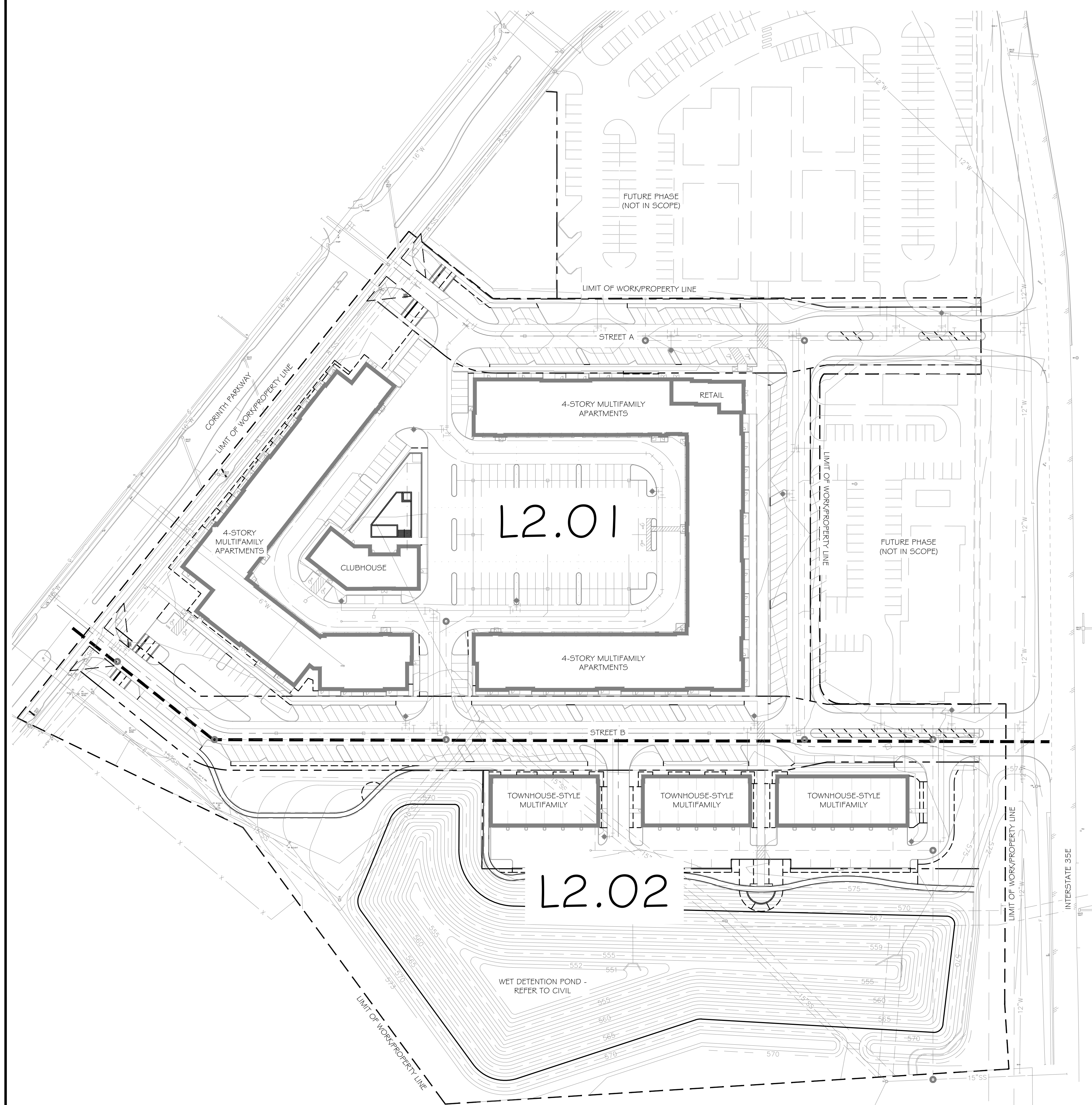
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
SRR	SRR	JULY 2023	AS SHOWN			L1.01

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	DETAIL
1	STEEL EDGING	4/L3.04
2	POOL ENCLOSURE FENCE: ALUMINUM FENCE AND SWING GATE, AMERISTAR, 4' HT.	1/L2.04
3	5' X 5' TREE WELL AND GRATE	5/L2.04
4	12" CONCRETE MOW CURB	4/L2.04
5	ANOVA; BEACON HILL RECYCLED PLASTIC 6' CONTOUR BENCH	1/L2.05
6	ENHANCED PAVING; BELGARD CONCRETE PAVERS; PRODUCT: ORIGINS. COLOR: LUEDERS GRAY	2/L2.04
7	POND AERATION FOUNTAIN - 8400JF FOUNTAIN BY KASCO	1/L2.11
8	TREX TRANSCEND COMPOSITE DECKING; COLOR: SPICED RUM	1/L2.10
9	OVERHEAD STRUCTURE - LANDSCAPE FORMS 16X16 UPFIT, COLOR: BLACK	2/L2.06
10	ANOVA TUSCANY THERMORY BAR HEIGHT CHAIR	1/L2.06
11	ANOVA ALUMINUM PLANTER, 24"H X 20"W X 60"L RIMMED PLANTER	1/L2.09
12	BBQ GAS GRILL AND OUTDOOR KITCHEN, NOT IN CONTRACT, TO BE DETAILED BY POOL DESIGN BUILDER	
13	ADMIRAL FURNITURE; DESTIN CAST ALUMINUM DEEP SEATING CUSHION 3 PIECE SECTIONAL SET. COLOR: TBD	1/L2.07
14	POOL BUBBLER FOUNTAINS, BY POOL DESIGN/BUILDER CONTRACTOR	
15	WET CHAISE LOUNGE; SIGNATURE CHAISE DEEP	3/L2.07
16	POOL DECK CHAISE LOUNGES, ADMIRAL FURNITURE, OASIS CHAISE LOUNGE WITH SIDE SHIELD	2/L2.07
17	ADMIRAL FURNITURE; KEY WEST CLUB CHAIR	2/L2.09
18	ADMIRAL FURNITURE; SQUARE ALUMINUM COFFEE TABLE, 26.5"L X 26.5"W X 17.5"H	2/L2.08
19	ADMIRAL FURNITURE; DESTIN CAST ALUMINUM DEEP SEATING COFFEE TABLE, 54"L X 33"W X 18"H	3/L2.08
20	ADMIRAL FURNITURE; SQUARE ALUMINUM COCKTAIL TABLE; 18"L X 18"W X 17.5"H	1/L2.08
21	30" HT. MAX. LIMESTONE BLOCK WALL	7/L2.04
22	30" HT. MAX. LIMESTONE BLOCK WALL WITH PIN MOUNT LETTERING FOR MONUMENT SIGN	7/L2.04
23	BOARD ON BOARD WOOD POOL EQUIPMENT FENCE, 6' HT.	6/L2.04
24	CONCRETE PAD	
25	ANOVA EXPOSITION RECEPTABLE/RECYCLER WITH SIDE DOOR	2/L2.05
26	ARTIFICIAL TURF, TURF HUB, PACIFIC PLAY, LEVEL 2 - PET FRIENDLY	2/L2.10
27	PEDESTRIAN LIGHTING, SEA SIDE BOLLARD BY NLS LIGHTING, COLOR: SILVER	2/L2.11
28	DOG PARK FENCE: ALUMINUM FENCE AND SWING GATE, AMERISTAR, 5' HT.	1/L2.04

LAYOUT & DIMENSION GENERAL NOTES

- WRITTEN DIMENSIONS SHALL GOVERN OVER SCALED DIMENSIONS.
- ALL IMPROVEMENTS SHALL BE STAKED IN THE FIELD BY THE CONTRACTOR AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION OR INSTALLATION. NOTIFICATION SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO REVIEW.
- CONTRACTOR SHALL VERIFY ALL UTILITIES SHOWN ON THE PLANS AS WELL HAVE THE SITE UTILITIES LOCATED ON THE GROUND PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. IN THE EVENT THAT THE CONTRACTOR DISCOVERS AN UNDERGROUND UTILITY THAT IS NOT REPRESENTED WITHIN THE CONSTRUCTION DOCUMENTS OR AS MARKED ON THE SITE, HE SHALL IMMEDIATELY CONTACT THE OWNERS REPRESENTATIVE TO DETERMINE NEXT STEPS PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN THE AREA OF THE NEWLY DISCOVERED UNDERGROUND UTILITY.
- THE CONTRACTOR SHALL EXAMINE THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AND DETAILS.
- ALL DIMENSIONS ARE TO BACK OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
- HANDICAP RAMPS TO BE LOCATED AND INSTALLED AS SHOWN IN DRAWINGS. CONTRACTOR SHALL ENSURE THAT ALL TASIADA GUIDELINES ARE FOLLOWED.
- REINFORCEMENT SHALL BE PROVIDED IN THE CONCRETE IMPROVEMENTS AS SHOWN WITHIN THE CONSTRUCTION DETAILS AND SPECIFICATIONS AND SHALL BE INSTALLED CONTINUOUS THROUGH CONTROL JOINTS, AND PER DETAIL DRAWINGS FOR THE EXPANSION JOINTS.
- EXPANSION JOINT AND CONTROL JOINT SPACING SHALL BE LOCATED AS SHOWN ON PLANS AND DETAILS.
- CONTRACTOR SHALL PROVIDE AN EXPANSION JOINT WHERE PROPOSED CONCRETE MEETS EXISTING WALKS OR CURBS.
- GRADING IMPROVEMENTS HAVE BEEN DESIGNED WITH THE INTENT OF THE FOLLOWING GUIDELINES:
 - ALL WALKS SHALL HAVE A MAXIMUM GROSS SLOPE OF 2% IN THE DIRECTION OF THE DOWNHILL SIDE.
 - THE RUNNING SLOPE OF THE WALKS SHALL BE NO GREATER THAN 5%.
 - ALL GRADES SHALL BE FINISHED TO A SMOOTH, FLOWING CONTOUR, MAINTAINING FLOW PATTERNS THAT ALLOW THE WATER TO FLOW FROM PLANTED AREAS, ACROSS PAVED AREAS TO DRAINAGE COLLECTION POINTS AS DEPICTED IN THE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION ACTIVITIES FOR THE PROJECT. ACCUMULATION OF STANDING WATER WILL NOT BE PERMITTED.
- THE CONTRACTOR IS TO LOCATE, DOCUMENT, AND PROTECT ALL CONTROL BENCH MARKS THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
- ALL QUANTITIES PROVIDED ARE TO BE VERIFIED AND ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- IF DISCREPANCIES WITH PLAN AND MATERIAL/FURNISHING SCHEDULE SHOULD OCCUR, THE CONTRACTOR IS RESPONSIBLE TO VERIFY WITH LANDSCAPE ARCHITECT, PRIOR TO START OF CONSTRUCTION.



INTERIM REVIEW
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 REGISTERED LANDSCAPE ARCHITECT
 TRISH A. HUBBARD
 TEXAS REGISTRATION NUMBER 2225

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NO.	DATE	ISSUE
6	07/11/2023	CITY SITE PLAN RESUBMITTAL
5	06/21/2023	CITY SITE PLAN RESUBMITTAL
4	06/13/2023	CITY SITE PLAN SUBMITTAL
3	04/28/2023	DD SUBMITTAL
2	02/15/2023	CITY RESUBMITTAL
1	01/31/2023	CITY SUBMITTAL

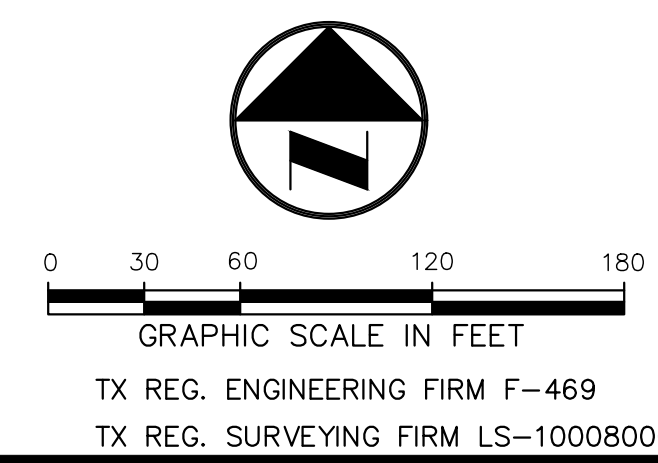
NO.	DATE	REVISION

Pacheco Koch 7557 RAMBLER ROAD SUITE 1400
 DALLAS, TX 75231
 972.235.3031
 a Westwood company

OVERALL LAYOUT PLAN
PARKWAY LOFTS
LOTS 1, 2, 3, 4, 1X, 2X, 3X, & 4X
 PARKWAY DISTRICT ADDITION (20.859 ACRES)
CITY OF CORINTH, DENTON COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
SRR	SRR	JULY 2023	AS SHOWN			L2.00

1 OVERALL LAYOUT PLAN
 1" = 60'-0"



TX REG. ENGINEERING FIRM F-469
 TX REG. SURVEYING FIRM LS-10008000

NOT FOR CONSTRUCTION

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	DETAIL
1	STEEL EDGING	4/L3.04
2	POOL ENCLOSURE FENCE: ALUMINUM FENCE AND SWING GATE, AMERISTAR, 4' HT.	1/L2.04
3	5' X 5' TREE WELL AND GRATE	5/L2.04
4	12" CONCRETE MOW CURB	4/L2.04
5	ANOVA; BEACON HILL RECYCLED PLASTIC 6' CONTOUR BENCH	1/L2.05
6	ENHANCED PAVING; BELGARD CONCRETE PAVERS; PRODUCT: ORIGINS. COLOR: LUEDERS GRAY	2/L2.04
7	POND AERATION FOUNTAIN - 8400JF FOUNTAIN BY KASCO	1/L2.11
8	TREX TRANSCEND COMPOSITE DECKING; COLOR: SPICED RUM	1/L2.10
9	OVERHEAD STRUCTURE - LANDSCAPE FORMS 16X16 UPFIT, COLOR: BLACK	2/L2.06
10	ANOVA TUSCANY THERMORY BAR HEIGHT CHAIR	1/L2.06
11	ANOVA ALUMINUM PLANTER, 24" X 20" W X 60" L RIMMED PLANTER	1/L2.09
12	BBQ GAS GRILL AND OUTDOOR KITCHEN, NOT IN CONTRACT, TO BE DETAILED BY POOL DESIGN BUILDER	
13	ADMIRAL FURNITURE; DESTIN CAST ALUMINUM DEEP SEATING CUSHION 3 PIECE SECTIONAL SET. COLOR: TBD	1/L2.07
14	POOL BUBBLER FOUNTAINS, BY POOL DESIGN/BUILDER CONTRACTOR	
15	WET CHAISE LOUNGE; SIGNATURE CHAISE DEEP	3/L2.07
16	POOL DECK CHAISE LOUNGES, ADMIRAL FURNITURE, OASIS CHAISE LOUNGE WITH SIDE SHELF	2/L2.07
17	ADMIRAL FURNITURE; KEY WEST CLUB CHAIR	2/L2.09
18	ADMIRAL FURNITURE; SQUARE ALUMINUM COFFEE TABLE, 26.5" L X 26.5" W X 17.5" H	2/L2.08
19	ADMIRAL FURNITURE; DESTIN CAST ALUMINUM DEEP SEATING COFFEE TABLE, 54" L X 33" W X 18" H	3/L2.08
20	ADMIRAL FURNITURE; SQUARE ALUMINUM COCKTAIL TABLE; 18" L X 18" W X 17.5" H	1/L2.08
21	30" HT. MAX. LIMESTONE BLOCK WALL	7/L2.04
22	30" HT. MAX. LIMESTONE BLOCK WALL WITH PIN MOUNT LETTERING FOR MONUMENT SIGN	7/L2.04
23	BOARD ON BOARD WOOD POOL EQUIPMENT FENCE, 6' HT.	6/L2.04
24	CONCRETE PAD	
25	ANOVA EXPOSITION RECEPTABLE/RECYCLER WITH SIDE DOOR	2/L2.05
26	ARTIFICIAL TURF, TURF HUB, PACIFIC PLAY, LEVEL 2 - PET FRIENDLY	2/L2.10
27	PEDESTRIAN LIGHTING, SEA SIDE BOLLARD BY NLS LIGHTING, COLOR: SILVER	2/L2.11
28	DOG PARK FENCE: ALUMINUM FENCE AND SWING GATE, AMERISTAR, 5' HT.	1/L2.04

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 REGISTERED LANDSCAPE ARCHITECT
 TRICK & WILHELM
 TEXAS REGISTRATION NUMBER 2225

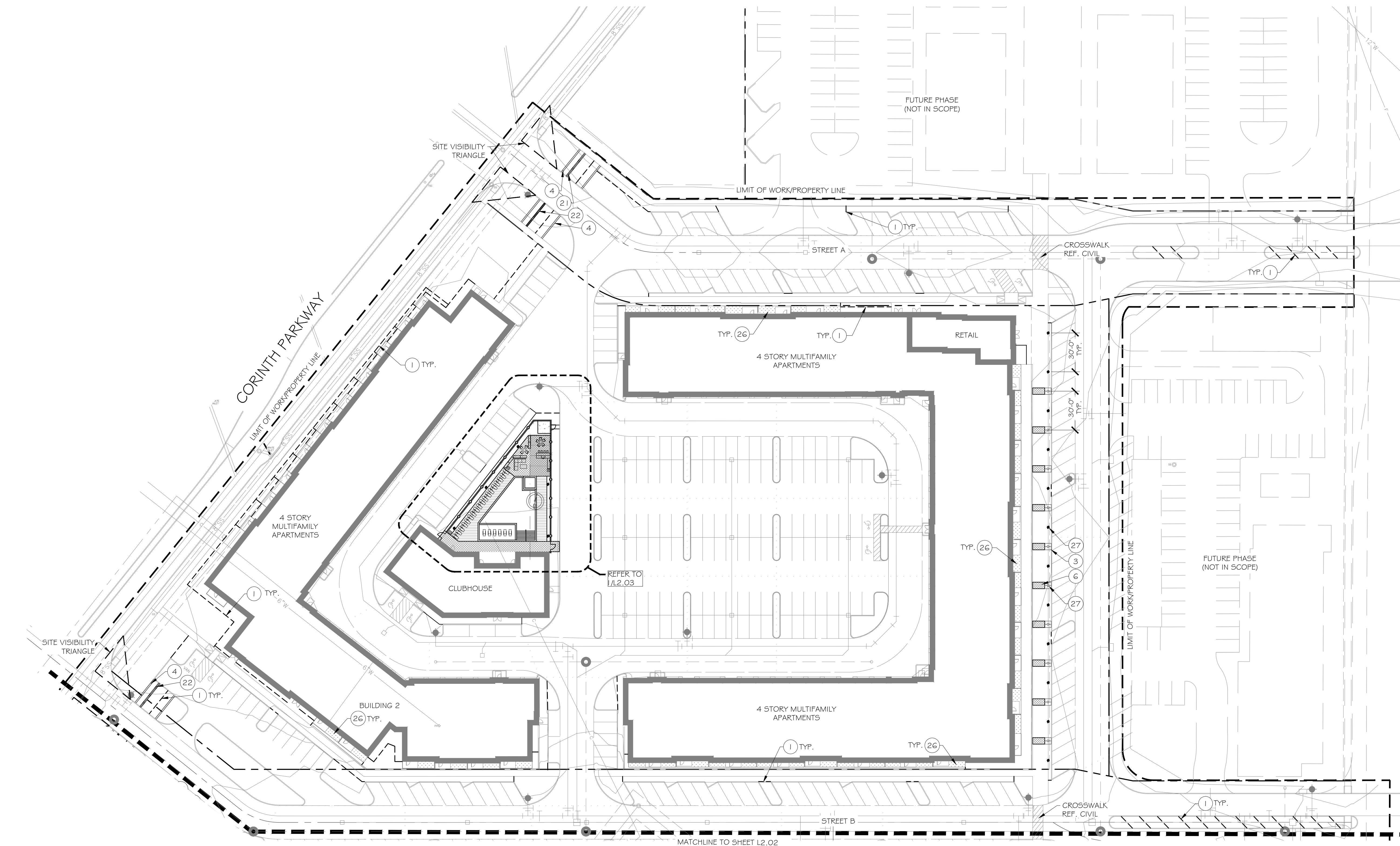
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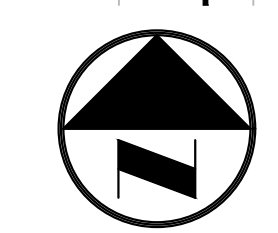
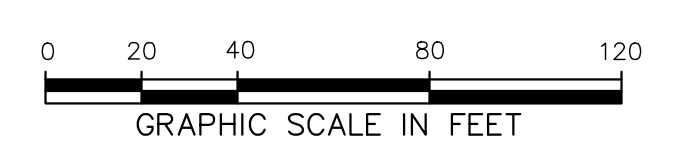
Pacheco Koch 7557 RAMBLER ROAD SUITE 1400
 DALLAS, TX 75231
 a Westwood company 972.235.3031

**LAYOUT PLAN
 PARKWAY LOFTS
 LOTS 1, 2, 3, 4, 1X, 2X, 3X, & 4X
 PARKWAY DISTRICT ADDITION (20.859 ACRES)
 CITY OF CORINTH, DENTON COUNTY, TEXAS**

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
SRR	SRR	JULY 2023	AS SHOWN			L2.01



1 LAYOUT PLAN
 1" = 40'-0"

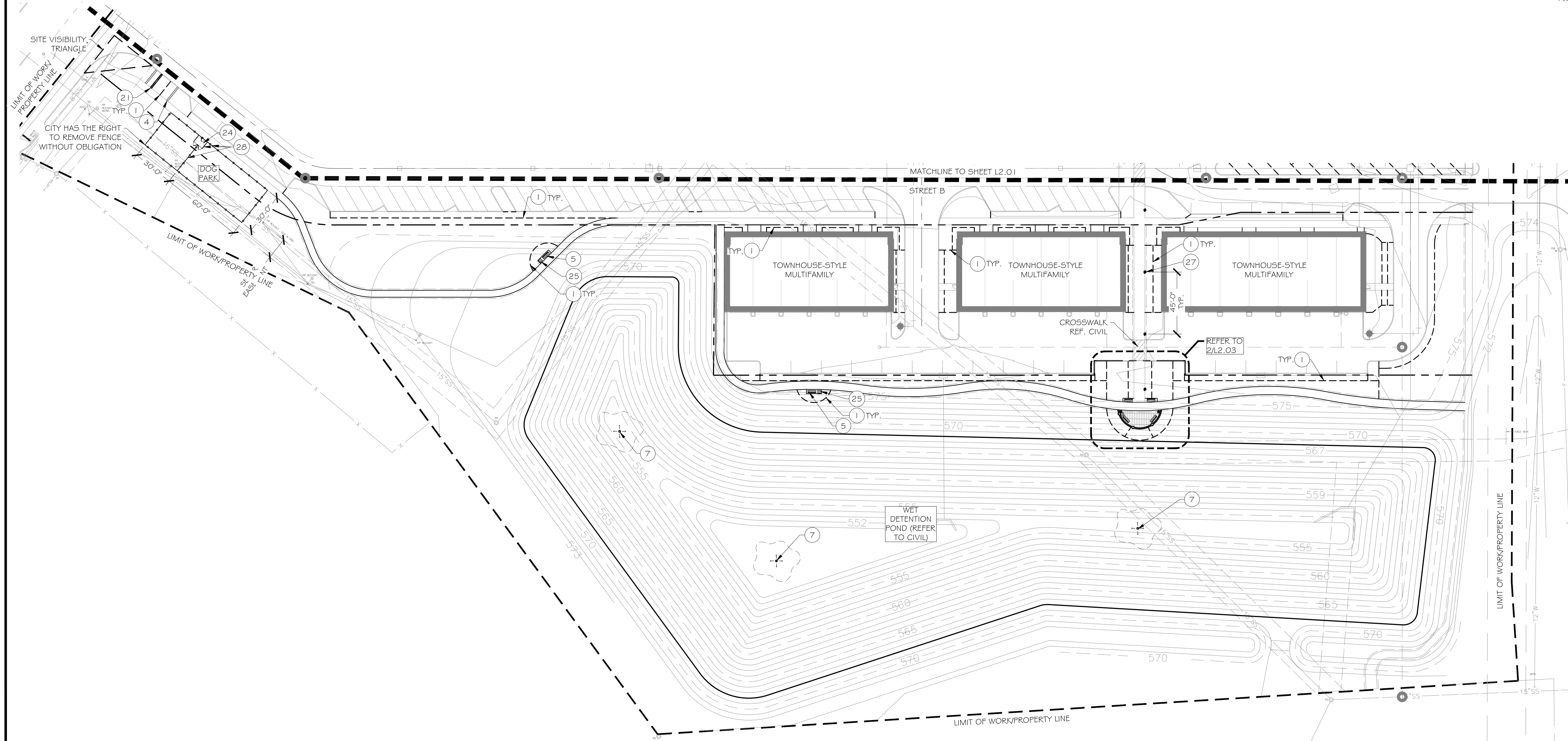


TX REG. ENGINEERING FIRM F-469
 TX REG. SURVEYING FIRM LS-10008000

NOT FOR CONSTRUCTION

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	DETAIL	SYMBOL	DESCRIPTION	DETAIL
1	STEEL EDGING	4/L3.04	15	WET CHAISE LOUNGE; SIGNATURE CHAISE DEEP	3/L2.07
2	POOL ENCLOSURE FENCE: ALUMINUM FENCE AND SWING GATE, AMERISTAR, 4' HT.	1/L2.04	16	POOL DECK CHAISE LOUNGES, ADMIRAL FURNITURE, OASIS CHAISE LOUNGE WITH SIDE SHELF	2/L2.07
3	5' X 5' TREE WELL AND GRATE	5/L2.04	17	ADMIRAL FURNITURE; KEY WEST CLUB CHAIR	2/L2.09
4	12" CONCRETE MOW CURB	4/L2.04	18	ADMIRAL FURNITURE; SQUARE ALUMINUM COFFEE TABLE, 26.5"L X 26.5"W X 17.5"H	2/L2.08
5	ANOVA; BEACON HILL RECYCLED PLASTIC 6' CONTOUR BENCH	1/L2.05	19	ADMIRAL FURNITURE; DESTIN CAST ALUMINUM DEEP SEATING COFFEE TABLE, 54"L X 33"W X 18"H	3/L2.08
6	ENHANCED PAVING; BELGARD CONCRETE PAVERS; PRODUCT: ORIGINS. COLOR: LUEDERS GRAY	2/L2.04	20	ADMIRAL FURNITURE; SQUARE ALUMINUM COCKTAIL TABLE; 18"L X 18"W X 17.5"H	1/L2.08
7	POND AERATION FOUNTAIN - 8400JF FOUNTAIN BY KASCO	1/L2.11	21	30" HT. MAX. LIMESTONE BLOCK WALL	7/L2.04
8	TREX TRANSCEND COMPOSITE DECKING; COLOR: SPICED RUM	1/L2.10	22	30" HT. MAX. LIMESTONE BLOCK WALL WITH PIN MOUNT LETTERING FOR MONUMENT SIGN	7/L2.04
9	OVERHEAD STRUCTURE - LANDSCAPE FORMS 16X16 UPFIT, COLOR: BLACK	2/L2.06	23	BOARD ON BOARD WOOD POOL EQUIPMENT FENCE, 6' HT.	6/L2.04
10	ANOVA TUSCANY THERMORY BAR HEIGHT CHAIR	1/L2.06	24	CONCRETE PAD	
11	ANOVA ALUMINUM PLANTER, 24"H X 20"W X 60"L RIMMED PLANTER	1/L2.09	25	ANOVA EXPOSITION RECEPTABLE/RECYCLER WITH SIDE DOOR	2/L2.05
12	BBQ GAS GRILL AND OUTDOOR KITCHEN, NOT IN CONTRACT, TO BE DETAILED BY POOL DESIGN BUILDER		26	ARTIFICIAL TURF, TURF HUB, PACIFIC PLAY, LEVEL 2 - PET FRIENDLY	2/L2.10
13	ADMIRAL FURNITURE; DESTIN CAST ALUMINUM DEEP SEATING CUSHION 3 PIECE SECTIONAL SET. COLOR: TBD	1/L2.07	27	PEDESTRIAN LIGHTING, SEA SIDE BOLLARD BY NLS LIGHTING, COLOR: SILVER	2/L2.11
14	POOL BUBBLER FOUNTAINS, BY POOL DESIGN/BUILDER CONTRACTOR		28	DOG PARK FENCE: ALUMINUM FENCE AND SWING GATE, AMERISTAR, 5' HT.	1/L2.04



INTERSTATE 35E

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 TRICK A. WILKIE
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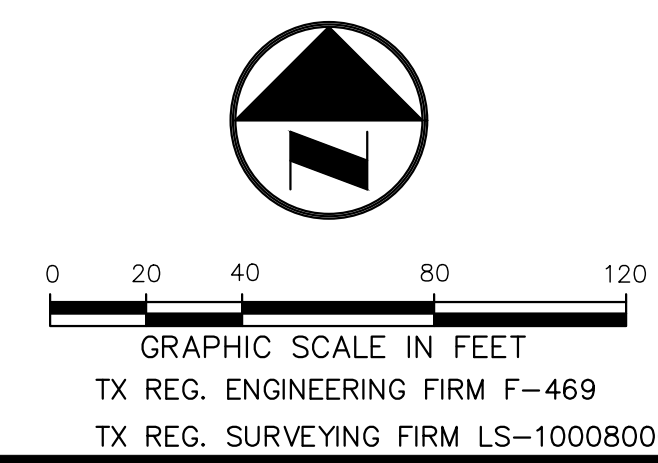
NO.	DATE	REVISION

Pacheco Koch
 a Westwood company
 7557 RAMBLER ROAD SUITE 1400
 DALLAS, TX 75231
 972.235.3031

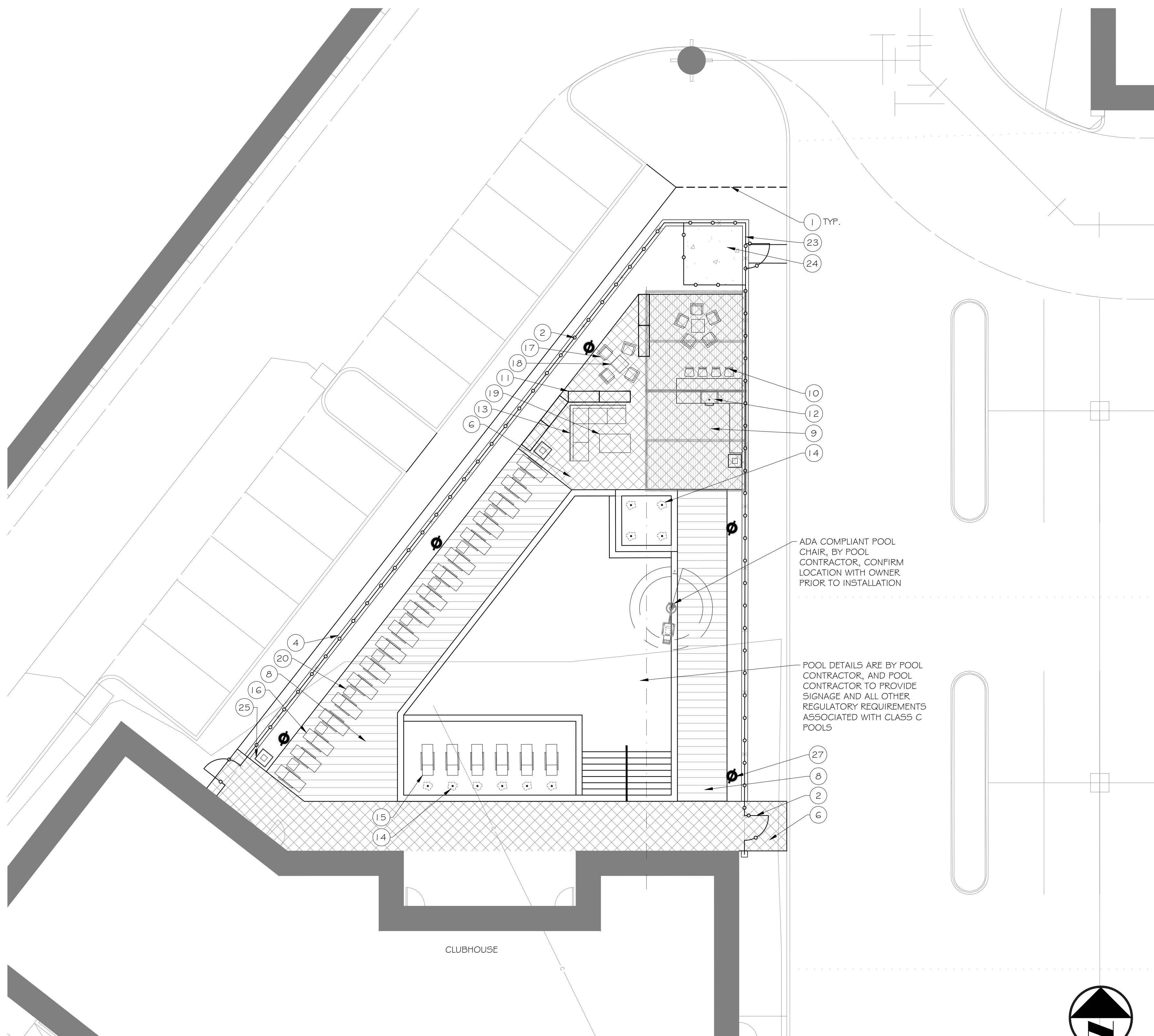
LAYOUT PLAN
PARKWAY LOFTS
LOTS 1, 2, 3, 4, 1X, 2X, 3X, & 4X
 PARKWAY DISTRICT ADDITION (20.859 ACRES)
 CITY OF CORINTH, DENTON COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
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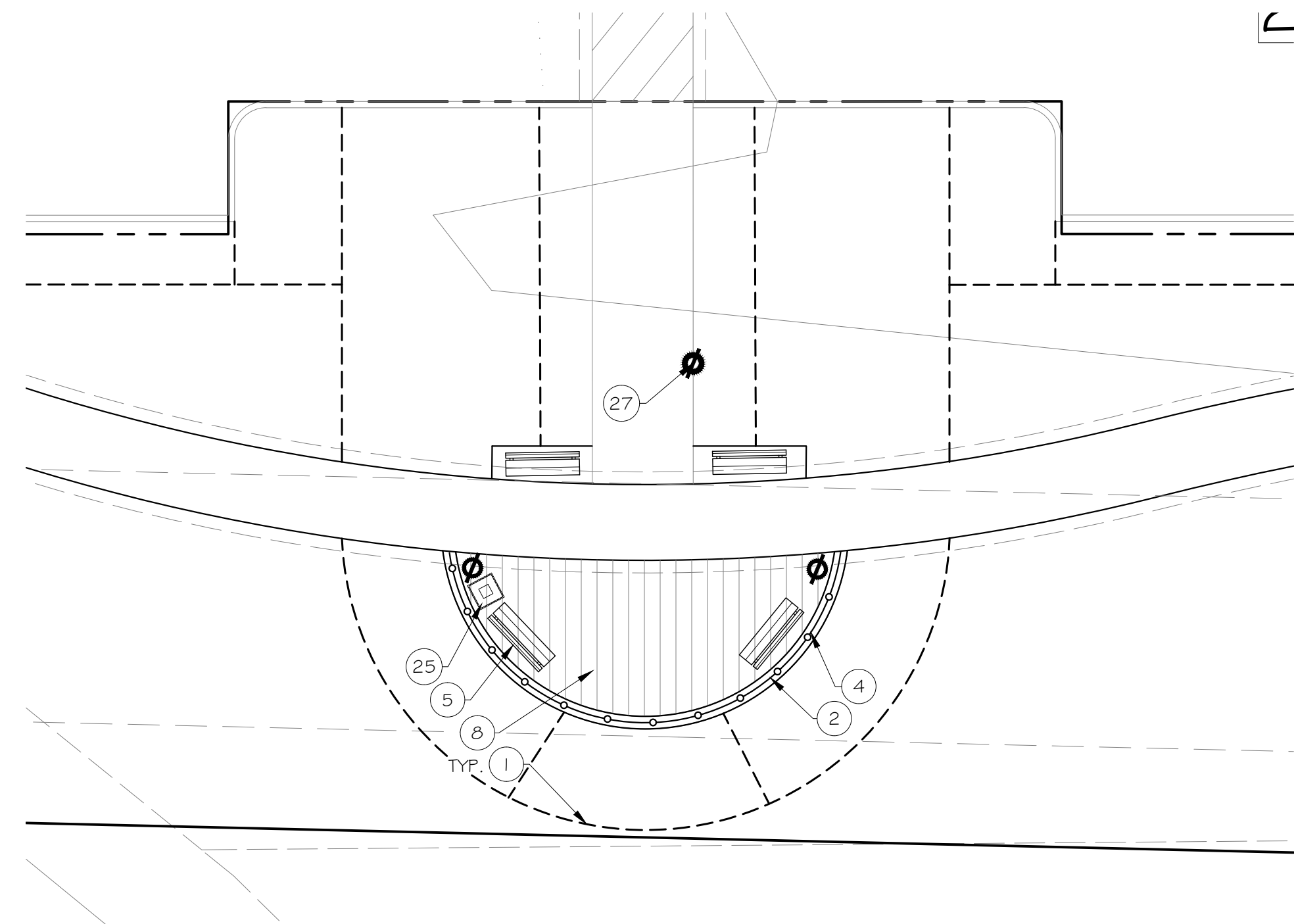
1 LAYOUT PLAN
 1" = 40'-0"



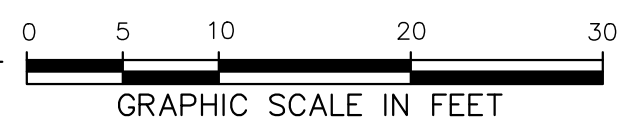
NOT FOR CONSTRUCTION



1 POOL ENLARGEMENT PLAN
1" = 10'-0"



2 OVERLOOK ENLARGEMENT PLAN
1" = 10'-0"



REFERENCE NOTES SCHEDULE

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6	ENHANCED PAVING; BELGARD CONCRETE PAVERS; PRODUCT: ORIGINS. COLOR: LUEDERS GRAY	2/L2.04
7	POND AERATION FOUNTAIN - 8400JF FOUNTAIN BY KASCO	1/L2.11
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28	DOG PARK FENCE: ALUMINUM FENCE AND SWING GATE, AMERISTAR, 5' HT.	1/L2.04

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REGISTERED LANDSCAPE ARCHITECT
TRICKA A. WILKINS
TEXAS REGISTRATION NUMBER 2225

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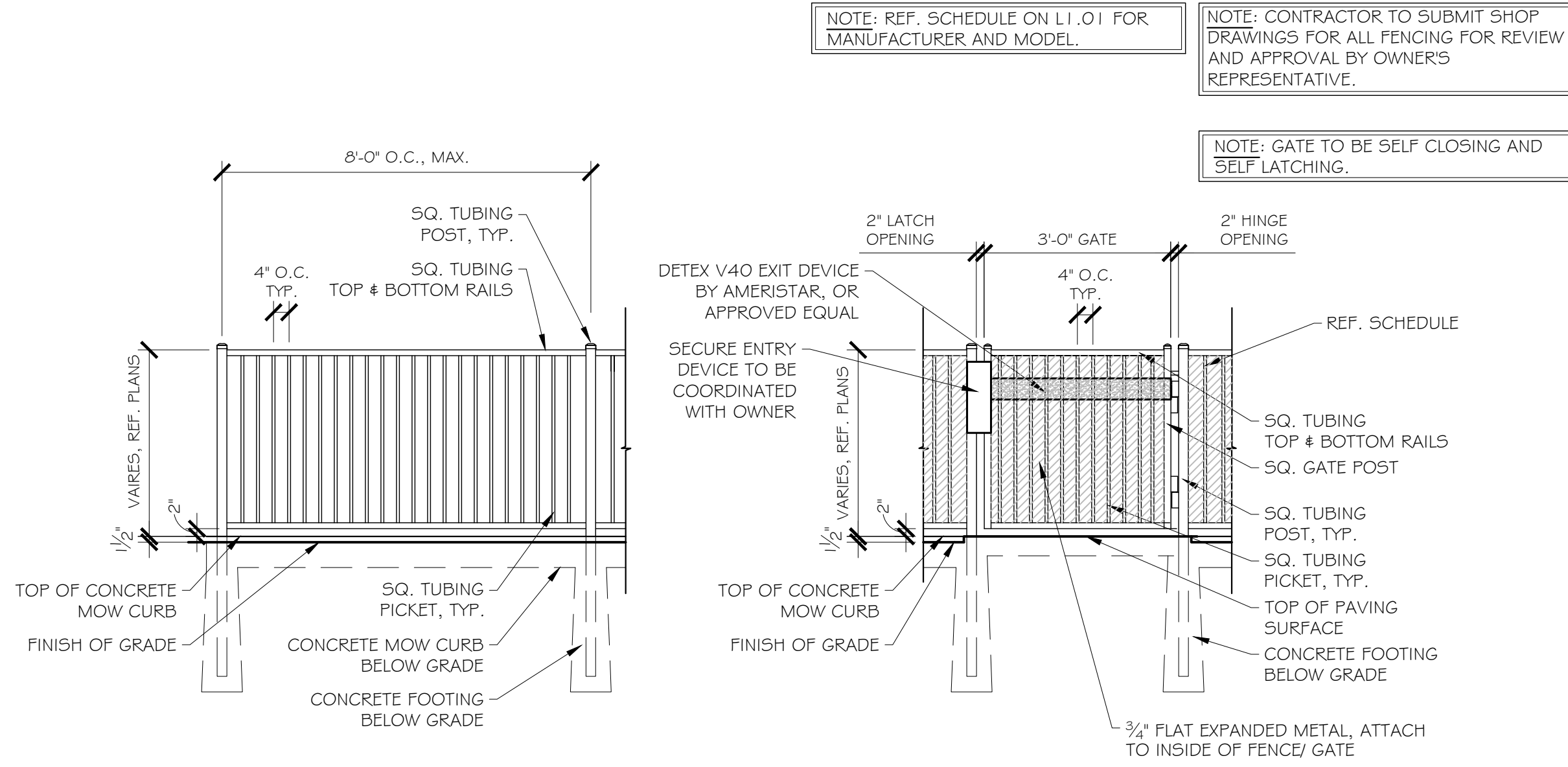
NO. DATE REVISION
Pacheco Koch 7557 RAMBLER ROAD SUITE 1400
a Westwood company DALLAS, TX 75231
972.235.3031

ENLARGEMENT PLANS
PARKWAY LOFTS
LOTS 1, 2, 3, 4, 1X, 2X, 3X, & 4X
PARKWAY DISTRICT ADDITION (20.859 ACRES)
CITY OF CORINTH, DENTON COUNTY, TEXAS

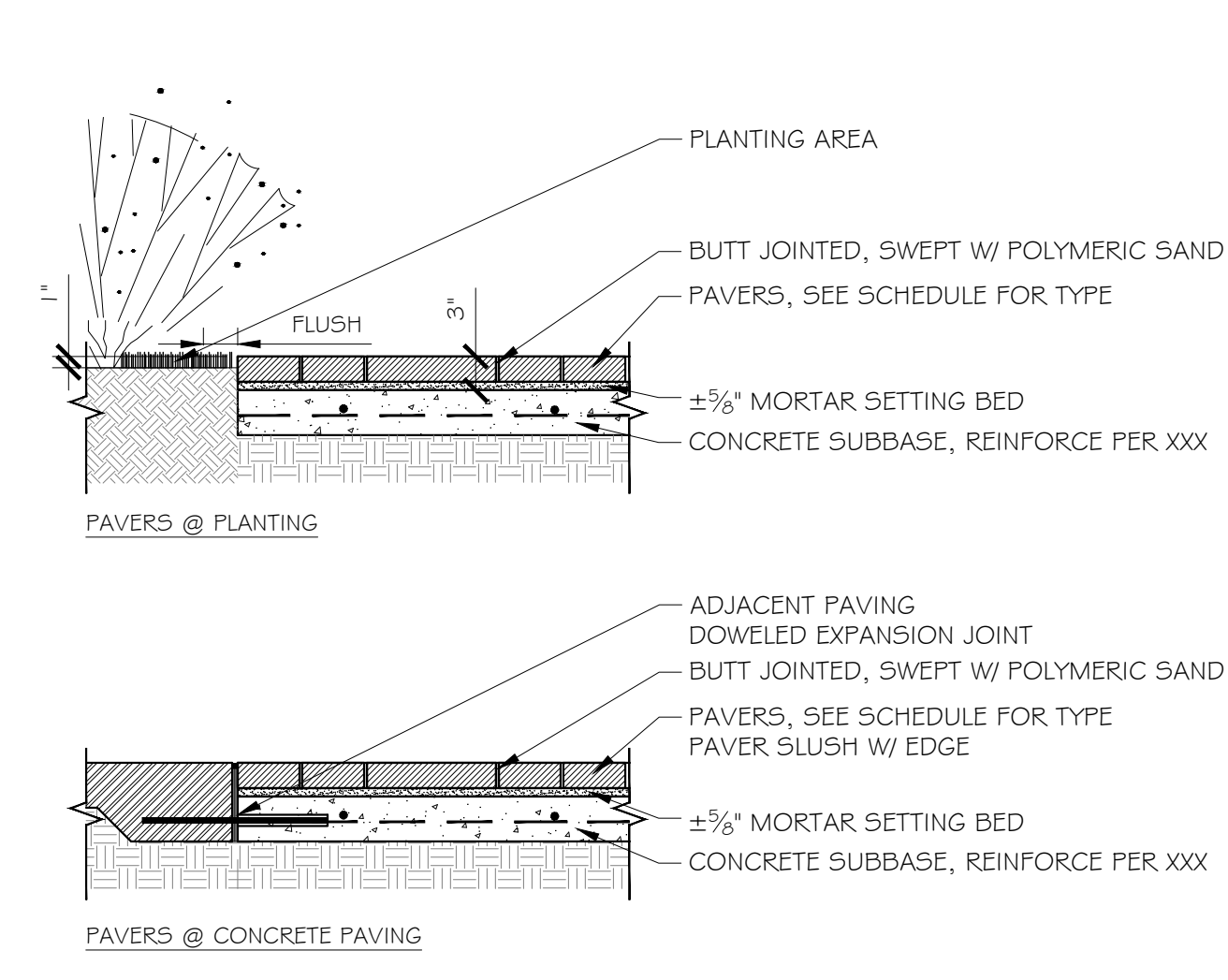
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SRR	SRR	JULY 2023	AS SHOWN			L2.03

TX REG. ENGINEERING FIRM F-469
TX REG. SURVEYING FIRM LS-10008000

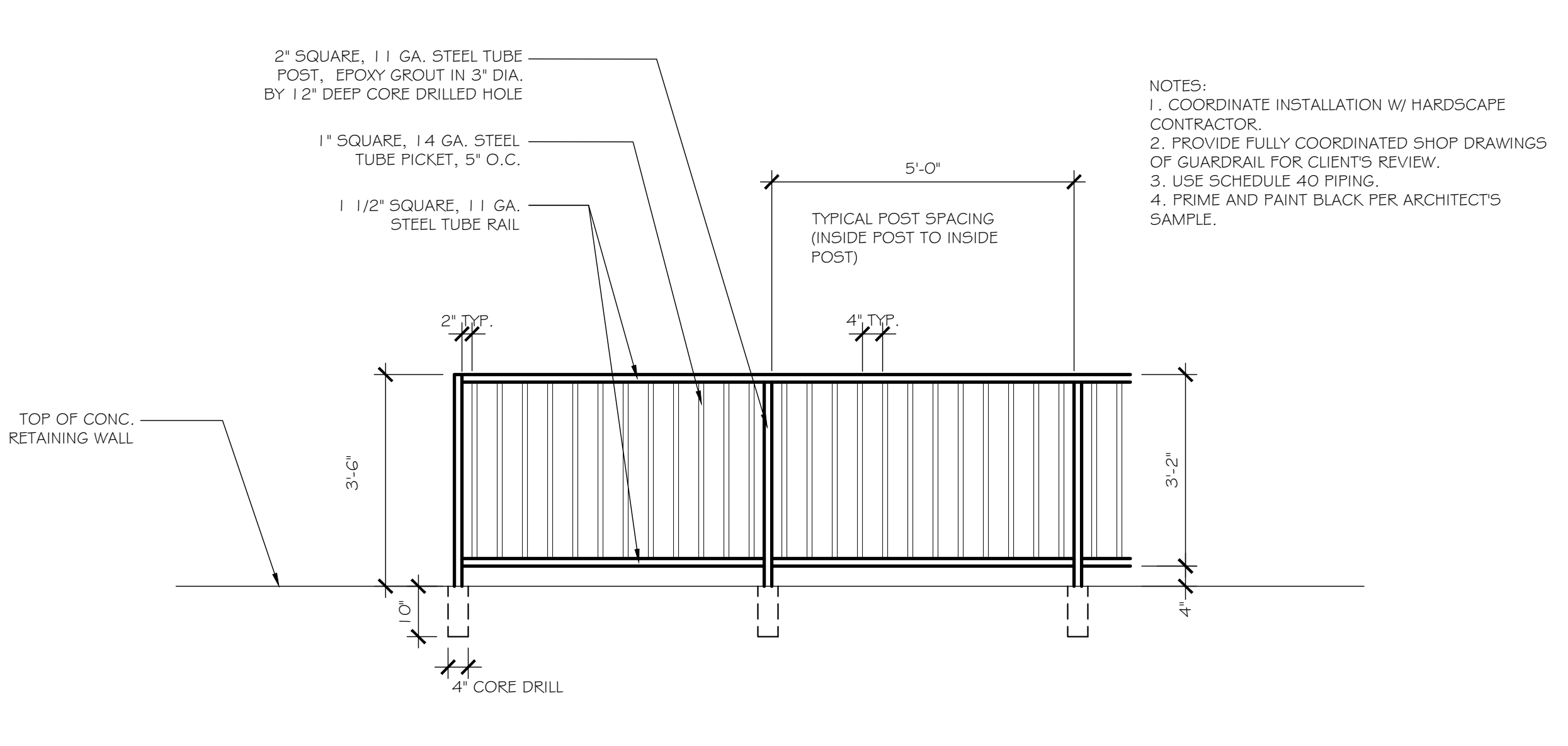
NOT FOR CONSTRUCTION



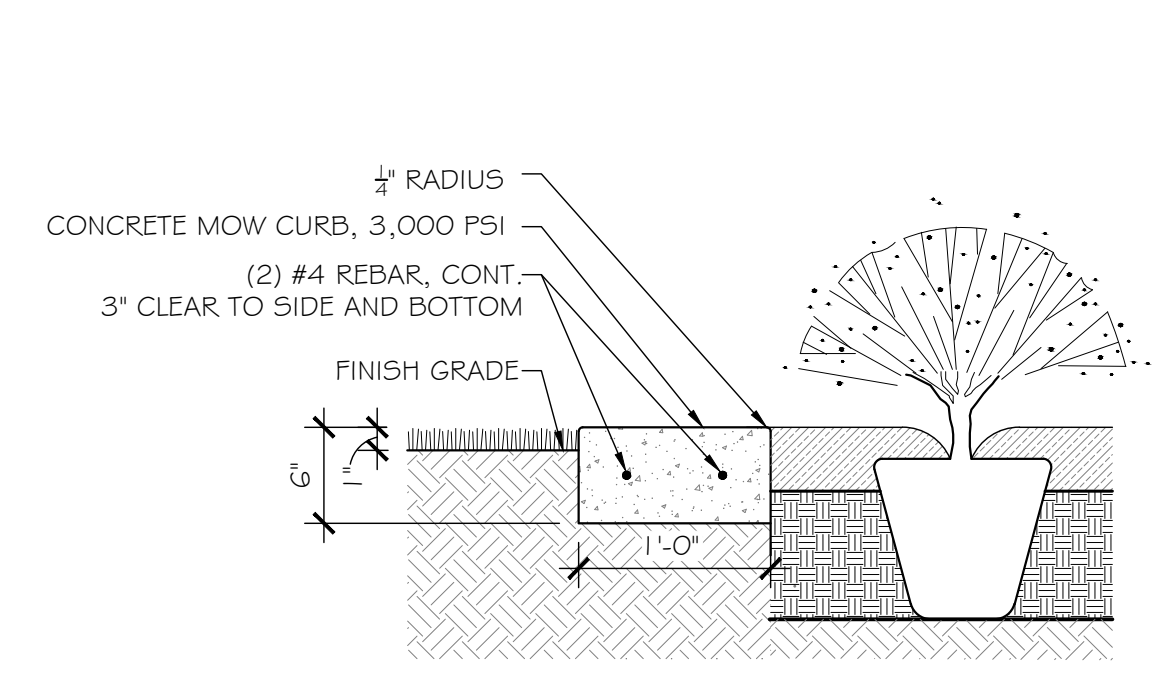
1 STEEL FENCE AND GATE
NTS



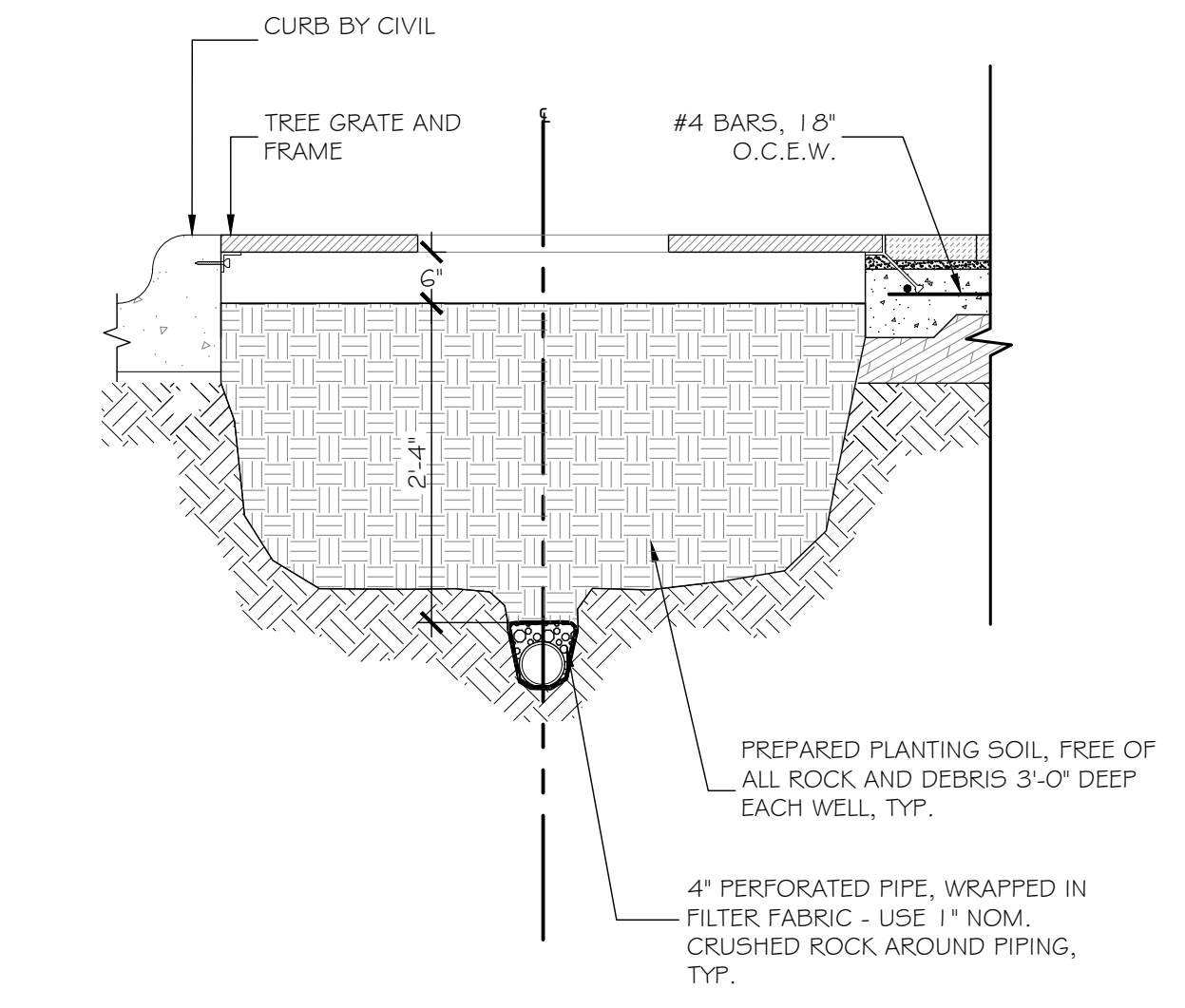
2 PAVERS - PEDESTRIAN ON CONCRETE
3/4" = 1'-0"



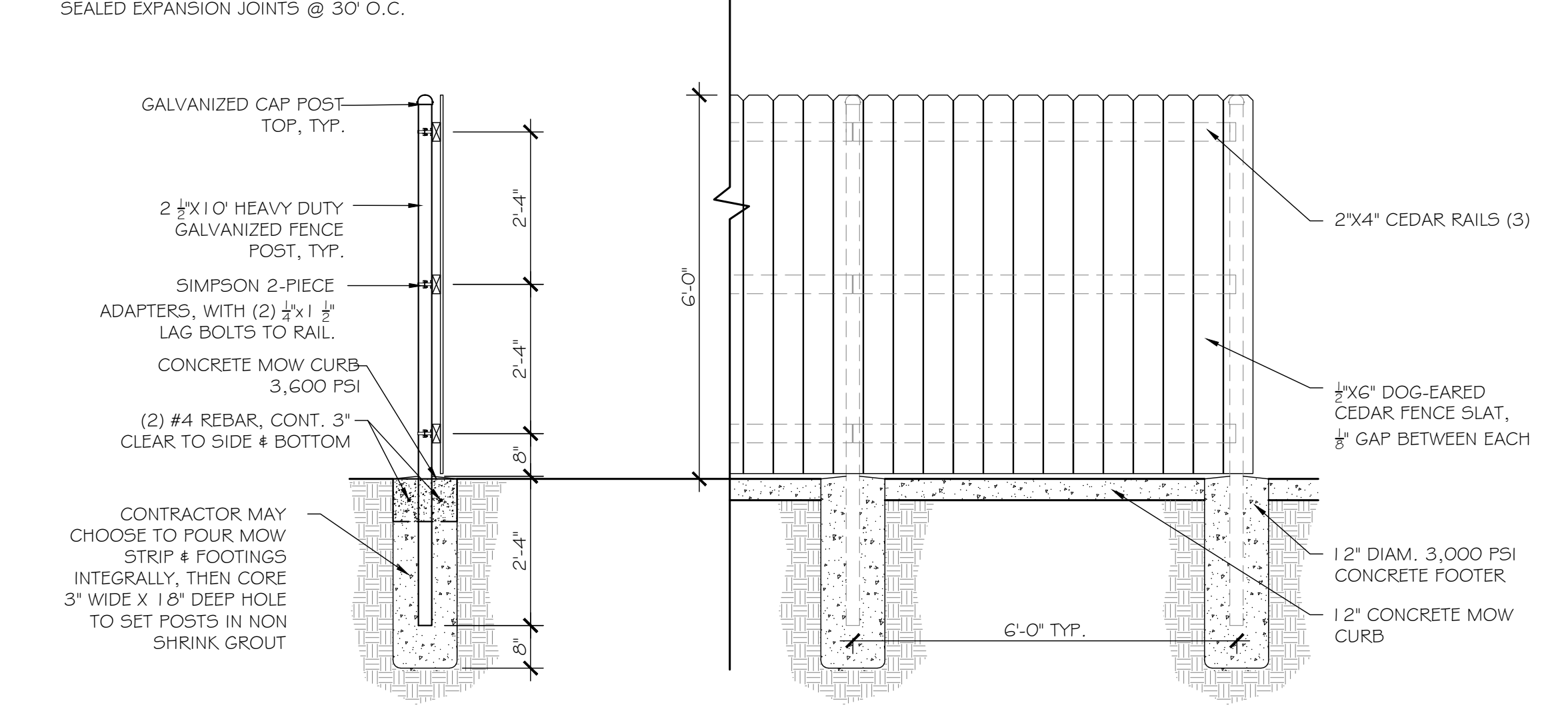
3 GUARDRAIL FENCE ON WALL
1/2" = 1'-0"



4 12" CONCRETE MOW CURB
1" = 1'-0"

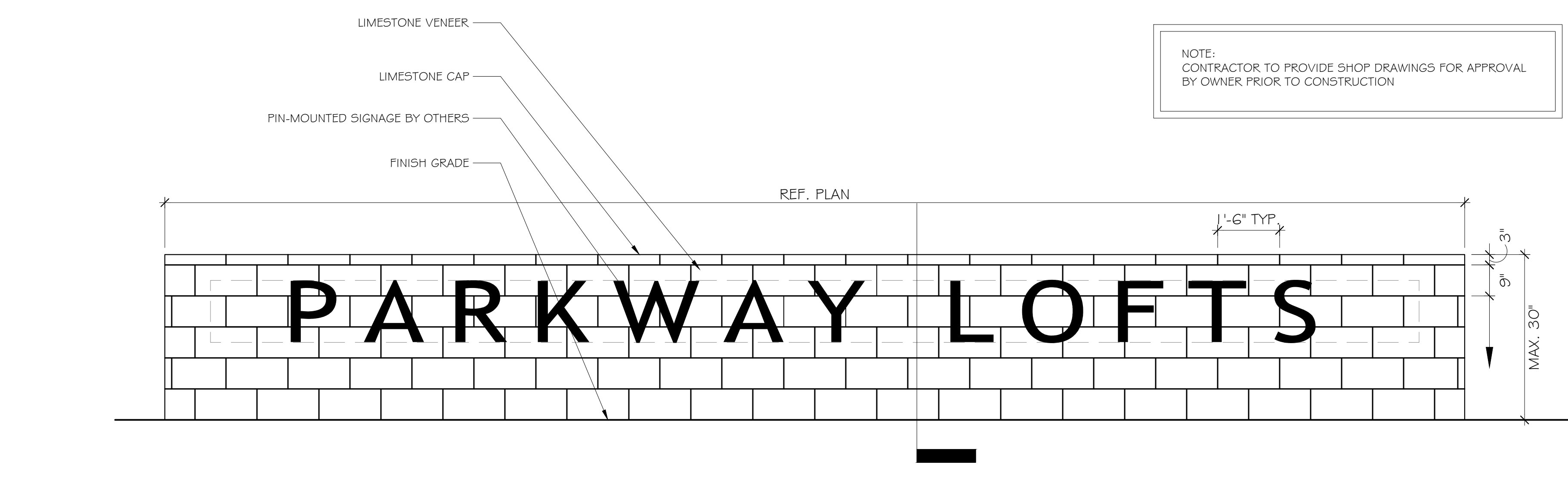


5 PAVER & TREE GRATE SECTION
3/4" = 1'-0"



6 6' CEDAR FENCE - AT POOL ENCLOSURE
1/2" = 1'-0"

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REGISTERED LANDSCAPE ARCHITECT
TRICKA A. WALKER
TEXAS REGISTRATION NUMBER 2225



7 SIGN - ELEVATION (ILLUSTRATIVE PURPOSES ONLY. N.I.C.)
1/2" = 1'-0"

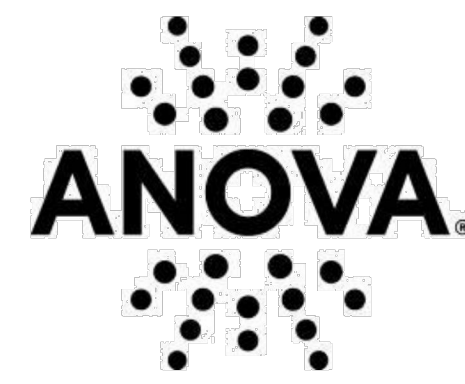
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1	01/31/2023	CITY SUBMITTAL

NO. DATE REVISION
Pacheco Koch 7557 RAMBLER ROAD SUITE 1400
a Westwood company DALLAS, TX 75231
972.235.3031

HARDSCAPE DETAILS
PARKWAY LOFTS
LOTS 1, 2, 3, 4, 1X, 2X, 3X, & 4X
PARKWAY DISTRICT ADDITION (20.859 ACRES)
CITY OF CORINTH, DENTON COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
SRR	SRR	JULY 2023	AS SHOWN			L2.04



211 North Lindbergh Blvd.
St. Louis, MO 63141
800.231.1327 tel. | 314.754.0835 fax
specify@anovafurnishings.com

BH1880R — Beacon Hill Recycled Plastic 6' Contour Bench

6' contour bench with recycled plastic and aluminum planks and cast-iron armrests and legs.

Material

The 6' contour bench is composed of 1" x 3.5" (1" x 4" nominal dimensions) recycled plastic seat and back planks, aluminum accent planks, cast-iron armrests and legs and steel under supports. The armrests have individual right end and left end orientations. The bench is 77.43" long and will support 200 lbs. per linear foot.

The bench is designed to be portable for flexibility in placement or surface mounted using pre-drilled .5" diameter holes in feet to prevent movement. Mounting hardware is not included.

The planks are made of 95% recycled content by weight and are impervious to moisture and corrosion, do not require the application of sealants or preservatives, and will never need painting or staining throughout the product's life.

Finish

Rust-proof aluminum and rust-resistant primed steel and cast-iron components feature a fade-resistant powder coating. Treated components exceed the industry standard by 34% in testing by independent sources.

Color

See website or sales representative for color choices.

Assembly

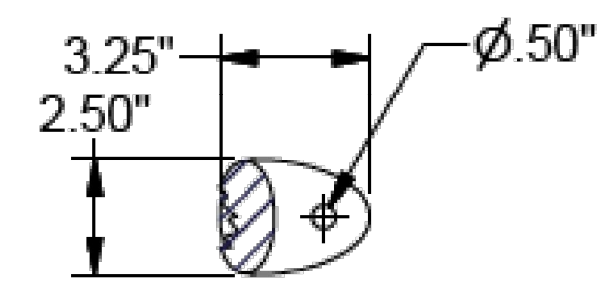
The bench ships fully assembled and ready for use. Assembly includes stainless steel hardware.

Maintenance

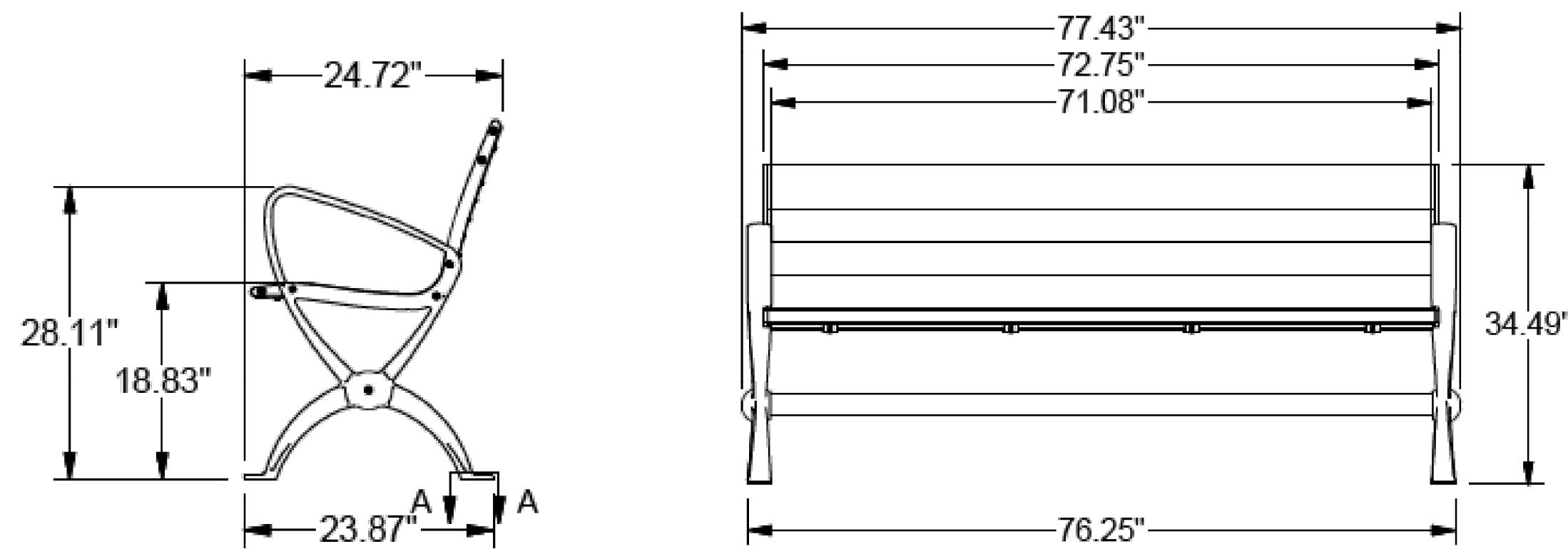
The product is virtually maintenance-free and requires only periodic cleaning with a sponge and a solution of mild detergent and water to remove surface dirt. Do not clean with solvent or petroleum base products.

Warranty

20-year limited structural warranty on recycled plastic; 3-year finish warranty on powder coated steel, aluminum and cast-iron components against rusting, peeling, chipping, cracking, mold and mildew from the date of purchase. See full details on multi-year warranties for components at www.anovafurnishings.com/warranty.aspx.



SECTION A-A
4X FOOT MOUNT



7/28/2021

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P-MU-PARI-98



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anovafurnishings.com

LEX33 — Exposition Receptacle/Recycler with Side Door

33-gallon steel slat receptacle with side door, bonnet top, plastic liner, rubber feet and optional decals (when specified)

Material

The receptacle is 42.11" tall and is composed of heavy-duty, 7-gauge steel front and back panels and 12-gauge steel side panels with a .75" gap horizontal slotted pattern. The receptacle features a built-in bonnet top with 7.63" tall by 23.30" wide front and back openings and 5.08" tall by 18" wide openings on the sides. The front door panel opens on a continuous geared hinge and comes standard with a tamper-resistant cam lock and set of two keys; also available with a keyless thumb-turn cam lock.

Optional decals are available: "Bottles/Cans" with recycling logo, "Mixed Recycling" with recycling logo, "Paper" with recycling logo or "Trash" decal—custom decals also available. Specify black or white lettering. Decal placement will be centered at the top of the door. Decals will be factory installed and must be specified at the time of order.

The receptacle is designed to be portable for flexibility in placement or surface mounted using pre-drilled holes inside base to prevent movement. The rubber feet are adjustable to assist in leveling the receptacle. The reusable plastic liner is made of high-density polyethylene. Mounting hardware is not included.

Finish

Fade-resistant, powder coated steel is protected by a state-of-the-art primer proven to prevent rusting. Treated components exceed the industry standard by 34% in testing by independent sources.

Color

See website or sales representative for color choices.

Assembly

The receptacle ships fully assembled and ready for use.

Maintenance

The product is virtually maintenance-free and requires only periodic cleaning with a sponge and a mild detergent and water solution to remove surface dirt. Do not clean with solvent or petroleum base products.

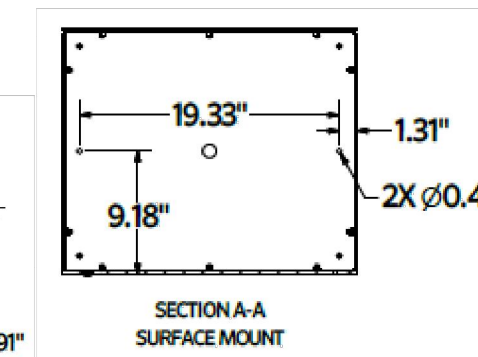
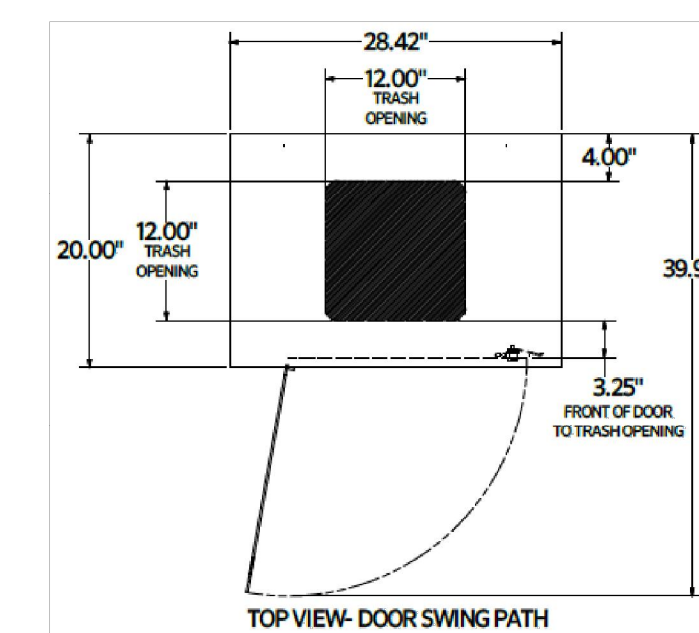
Warranty

20-year limited structural warranty with 7-year finish warranty against fading; 3-year finish warranty on powder coated steel components against rusting, peeling, chipping, cracking, mold, mildew and defects in materials and/or workmanship. See full details on multi-year warranties for components at www.anovafurnishings.com/warranty.



Replacement Parts

- Black Plastic Liner R-DOM2005
- Trash Decal White DEC2000
- Trash Decal Black DEC2002
- Paper Decal w/Logo White DEC2004
- Paper Decal w/Logo Black DEC2006
- Bottles/Cans w/Logo White DEC2008
- Bottles/Cans w/Logo Black DEC2010
- Mixed Recycling w/Logo White DEC5000
- Mixed Recycling w/Logo Black DEC5002



SHIPPING INFORMATION

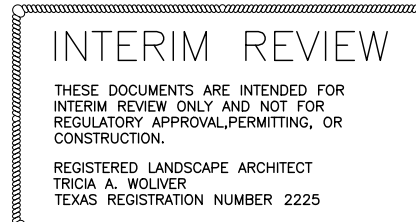
Unit Weight	Unit Shipping Wt. UPS	Unit Shipping Wt. Truck (1+ Units)	Unit Ship Size w/Pallet	Max Units Per Pallet	Pallet Size/Wt. (32" x 48")	Total No. Pkgs.	Shipping Class
155 lbs.	N/A	168 lbs./unit	42.10 cu. ft.	1	50 lbs.	1	150

7/7/2020

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Made in U.S.A

P-MU-PARI-100



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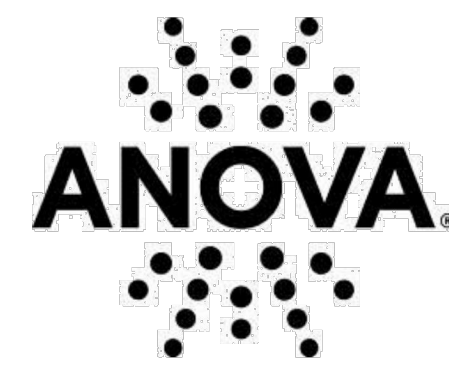
NO.	DATE	ISSUE
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3	04/28/2023	DD SUBMITTAL
2	02/15/2023	CITY RESUBMITTAL
1	01/31/2023	CITY SUBMITTAL

Pacheco Koch
a Westwood company
7557 RAMBLER ROAD SUITE 1400
DALLAS, TX 75231
972.235.3031

FURNISHING SPEC DETAILS
PARKWAY LOFTS
LOTS 1, 2, 3, 4, 1X, 2X, 3X, & 4X
PARKWAY DISTRICT ADDITION (20.859 ACRES)
CITY OF CORINTH, DENTON COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
SRR	SRR	JULY 2023	AS SHOWN			L2.05

TX REG. ENGINEERING FIRM F-469
TX REG. SURVEYING FIRM LS-10008000



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St. Louis, MO 63141
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specify@anovafurnishings.com
anovafurnishings.com

T2245T- Tuscany Thermory® Bar Height Chair

Bar height chair with Thermory planks and steel frame and legs

Material

The chair is composed of 0.75" x 3.5" Thermory seat and back planks with 14-gauge steel frame and legs. Planks are attached to the frame using stainless steel hardware. The chair is 42.83" tall and designed to support 200 lbs. per linear foot.

The chair frame and legs are made square tubular steel; legs feature a footrest for comfort and plastic foot glides to help protect your floors.

Low-maintenance Thermory is made from thermally-modified North American White Ash—a sustainably-harvested and renewable temperate hardwood. It is an environmentally-friendly hardwood and a great alternative to commonly used tropical rainforest hardwoods because of its dimensional stability and Class 1 durability (25+ years). Thermory has a lower carbon footprint than tropical hardwoods.

Finish

Fade-resistant, powder coated steel frame features a state-of-the-art primer proven to prevent rusting. Treated components exceed the industry standard by 34% in testing by independent sources.

Thermory is a lustrous chocolate brown color when new and will naturally age to uniform silver/gray over time. The color-changing process begins immediately and varies with the amount of UV-exposure.

Color

See website or sales representative for color choices.

Assembly

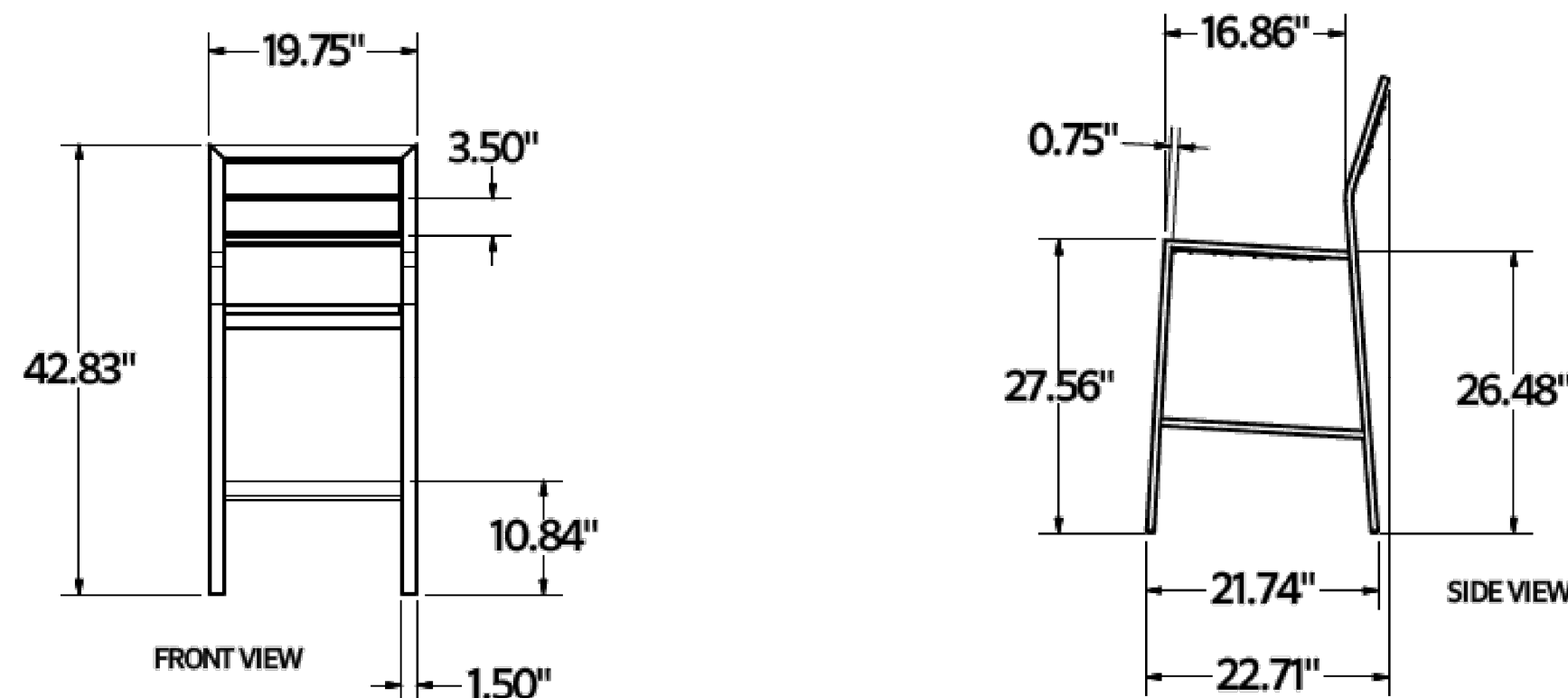
The chair ships fully assembled and ready for use.

Maintenance

Clean with mild soap and water. Let dry thoroughly. To maintain original color, regularly apply standard deck oil, such as Cutek® Extreme Wood Protection Oil.

Warranty

10-year limited structural warranty from the date of purchase. See full details on multi-year warranties for components at www.anovafurnishings.com/warranty.aspx.



SHIPPING INFORMATION

Unit Weight	Unit Shipping Wt. UPS	Unit Shipping Wt. Truck (1+ Units)	Unit Ship Size w/Pallet	Max Units Per Pallet	Pallet Size/Wt. (48" x 48")	Total No. Pkgs.	Shipping Class
35 lbs.	N/A	45 lbs.	38 cu. ft.	2	50 lbs.	1	250

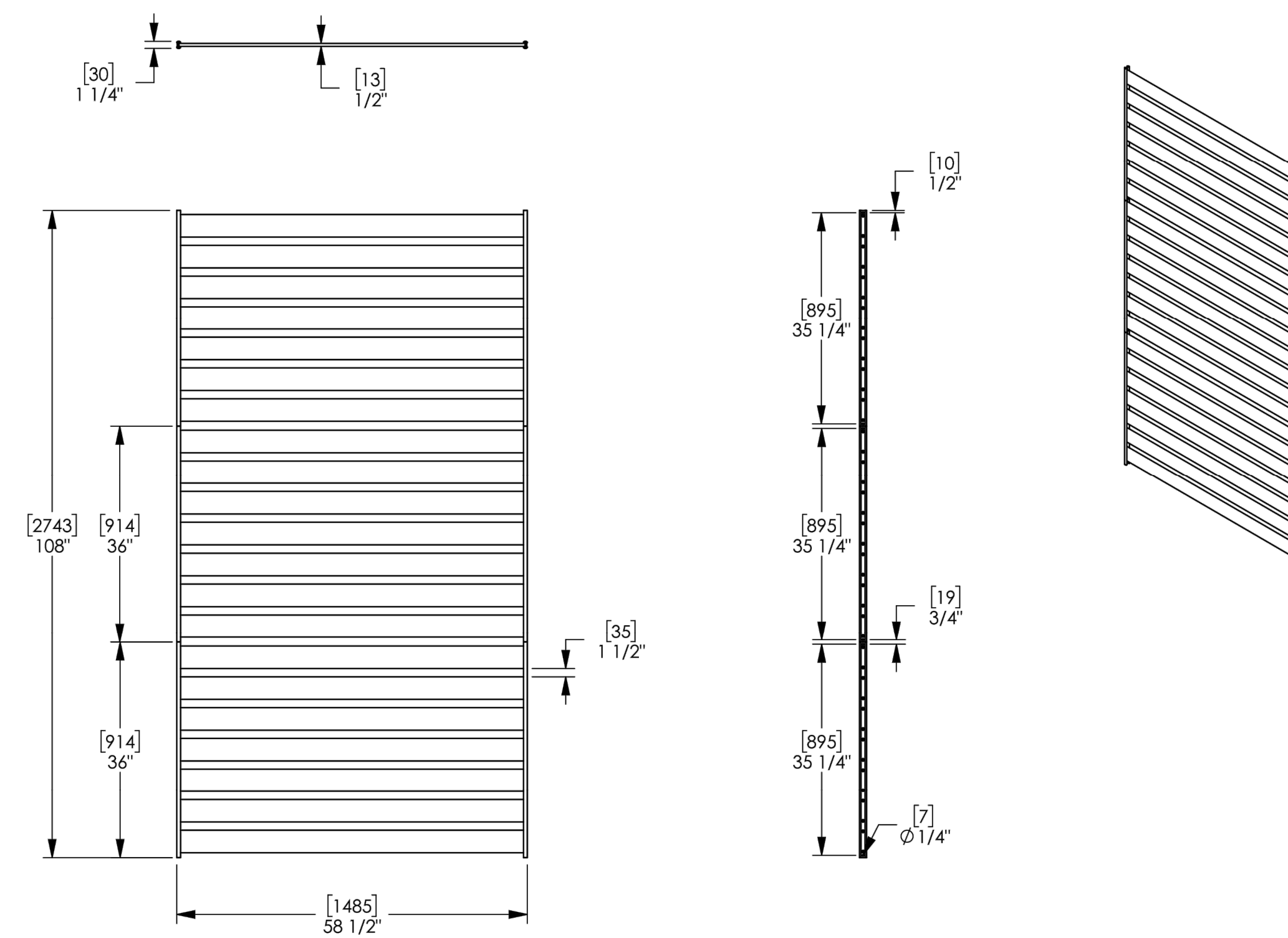
12/27/2017

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Made in USA of US and imported parts.

Upfit slat wall panel, 108in ht
Product Drawing

Date: 12/4/2018
www.landscapeforms.com Ph: 800.521.2546

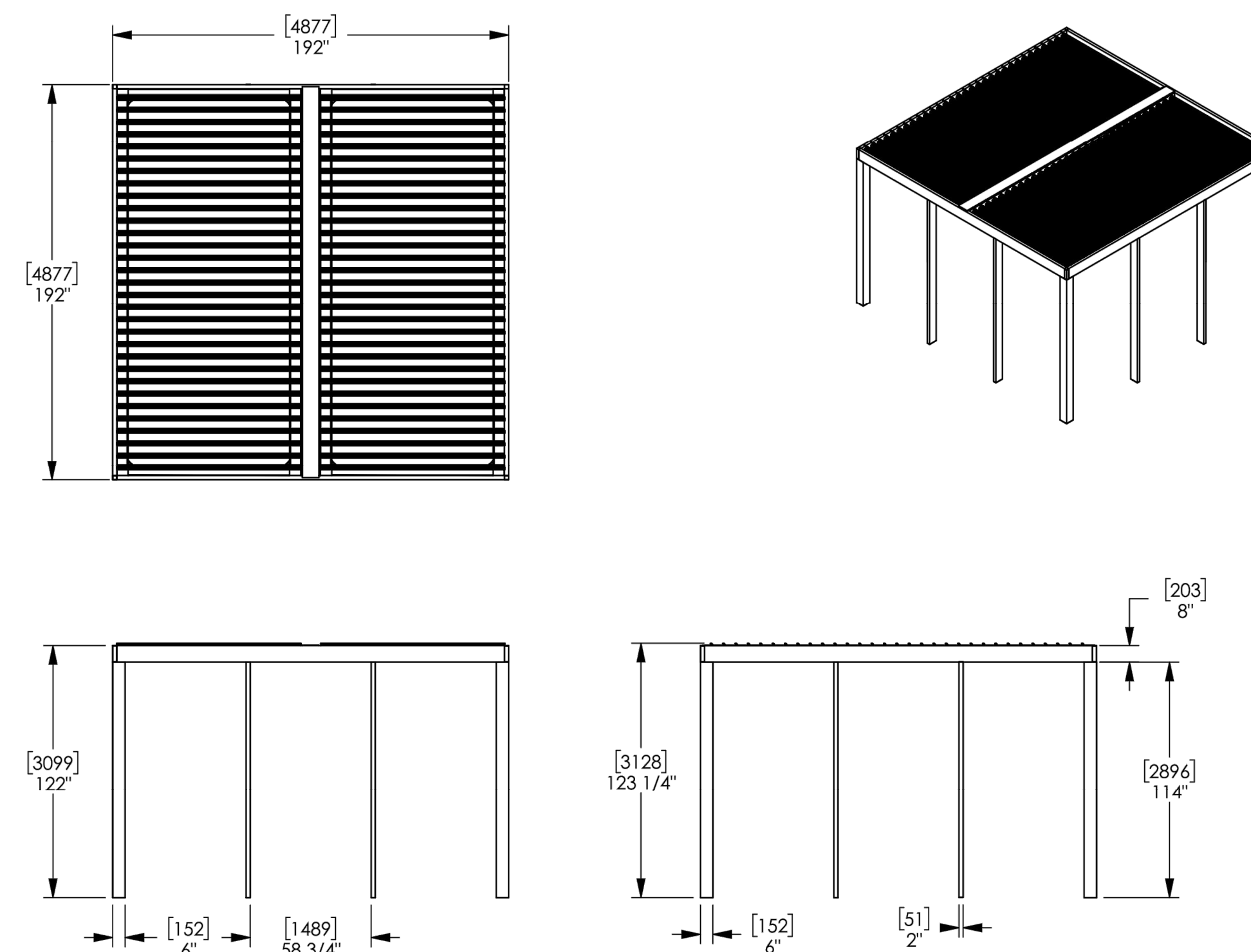


landscapeForms Drawing: AS0011 Dimensions are in inches (mm)

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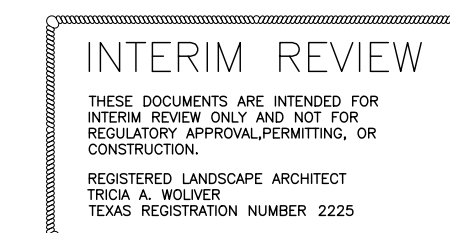
Upfit Structure, 16ft x 16ft x 122in ht, louvered roof
Product Drawing

Date: 12/04/2018
www.landscapeforms.com Ph: 800.521.2546



landscapeForms Drawing: AS0002 Dimensions are in inches (mm)

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1	01/31/2023	CITY SUBMITTAL

Pacheco Koch a Westwood company
7557 RAMBLER ROAD SUITE 1400
DALLAS, TX 75231
972.235.3031

FURNISHING SPEC DETAILS
PARKWAY LOFTS
LOTS 1, 2, 3, 4, 1X, 2X, 3X, &4X
PARKWAY DISTRICT ADDITION (20.859 ACRES)
CITY OF CORINTH, DENTON COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
SRR	SRR	JULY 2023	AS SHOWN			L2.06

Umbrellas & Bases



Accessories



Destin SW3801-SEC Cast Aluminum Deep Seating Cushion 3 Piece Sectional Set

The Destin SW3801-SEC Cast Aluminum Deep Seating Cushion 3 Piece Sectional Set blends modern and industrial sensibility into one striking design. Informed by mid-century design elements, Destin features a low back and smart, linear frame. Crafted in powder-coated aluminum in a hand-brushed finish. Available in a number of premiere deep seating cushion fabrics seen on Sunbrella's website.

Categories Destin Collection, Sectionals
Tags Deep Seating, Sectionals, Sofas

Description

The Destin SW3801-SEC Cast Aluminum Deep Seating Cushion 3 Piece Sectional Set blends modern and industrial sensibility into one striking design. Informed by mid-century design elements, Destin features a low back and smart, linear frame. Crafted in powder-coated aluminum in a hand-brushed finish. Available in a number of premiere deep seating cushion fabrics seen on Sunbrella's website.

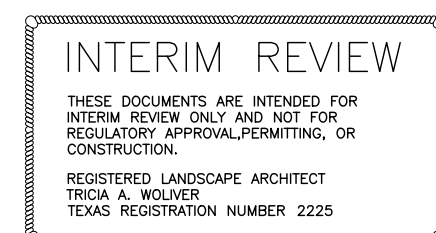
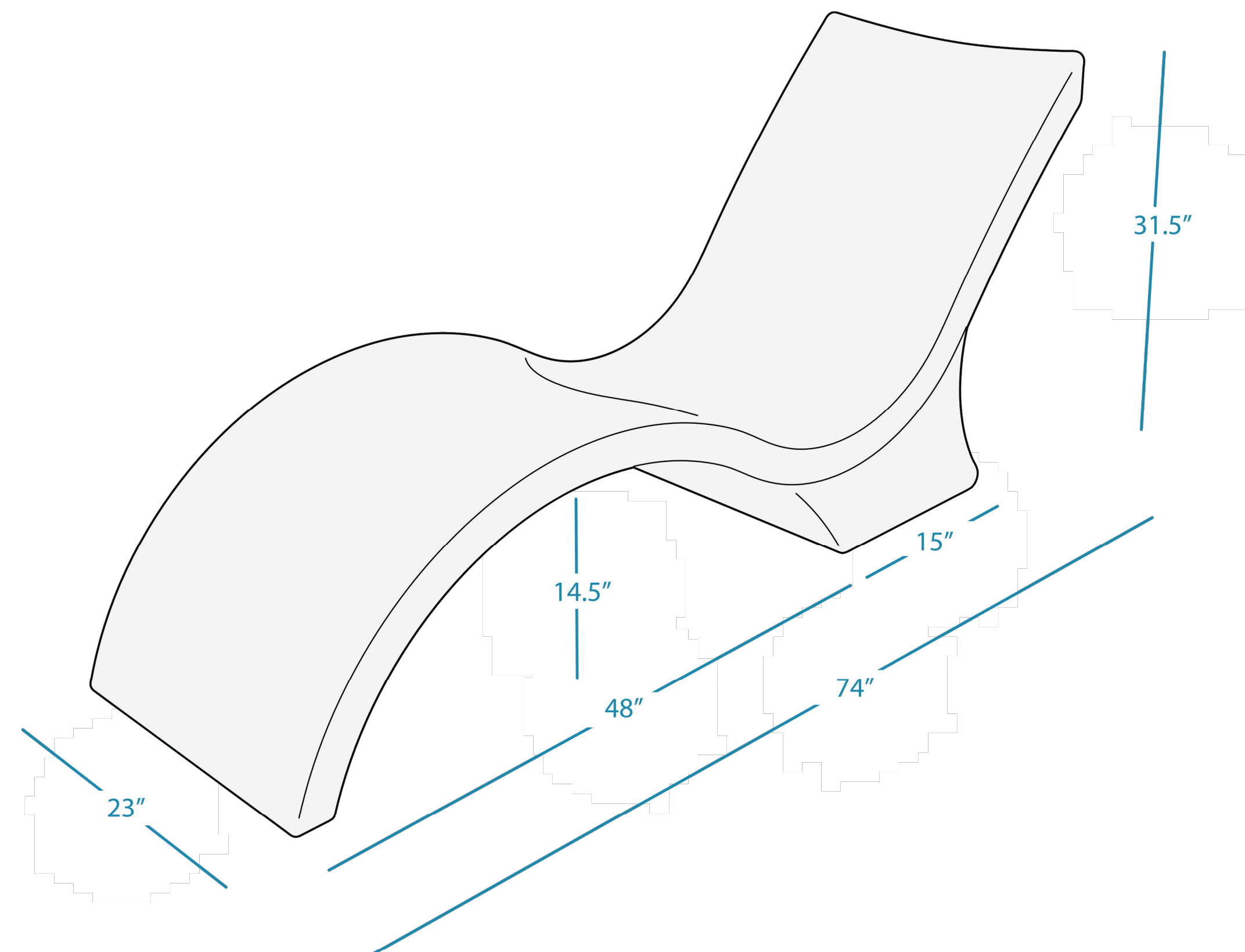
Height: 31"
Width: 91"
Length: 91"
Depth: 35"
Seat Height: 18"
Arm Height: 28"
Weight: 152 lbs.
Stacking: No
Material: Frame - Cast Aluminum / Cushion - Sunbrella Upholstery Fabric Filled With Dacron Wrapped High-Density Foam

Included In Set:
SW3801-LAF - Left Arm Facing Loveseat
SW3801-RAF - Right Arm Facing Loveseat
SW3801-CR - Corner Unit

SIGNATURE

CHAISE DEEP
SPECIFICATIONS

DESIGNED FOR UP TO 15" OF WATER
WEIGHT EMPTY: 60 LBS | WEIGHT FULL: 270 LBS



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1	01/31/2023	CITY SUBMITTAL

Pacheco Koch 7557 RAMBLER ROAD SUITE 1400
DALLAS, TX 75231
972.235.3031
a Westwood company

FURNISHING SPEC DETAILS
PARKWAY LOFTS
LOTS 1, 2, 3, 4, 1X, 2X, 3X, &4X
PARKWAY DISTRICT ADDITION (20.859 ACRES)
CITY OF CORINTH, DENTON COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
SRR	SRR	JULY 2023	AS SHOWN			L2.07

1 SECTIONAL COUCH

NTS

P-MU-PAR1-108



MADE WITH PRIDE IN THE U.S.A.

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CJ-OA50 Oasis Chaise Lounge with Side Shelf

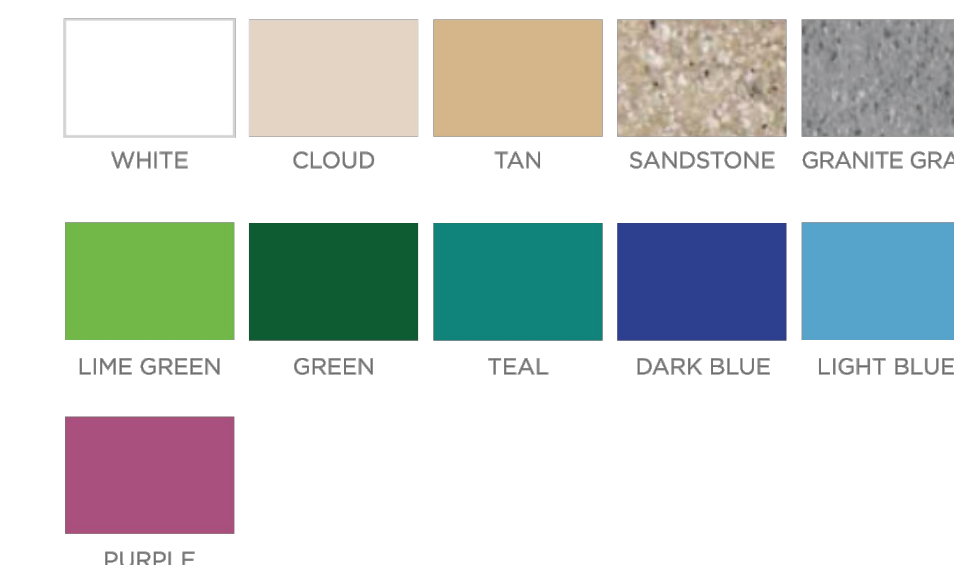


PRODUCT DETAILS
<ul style="list-style-type: none"> Contract-grade welded aluminum frame Tiger brand powder coating frame Faux teak wood arms The tables have a tempered Ceramic-coated glass top Durable outdoor Sunbrella fabric Batylite Textelene for chaise lounge.
PRODUCT SPECIFICATIONS
<ul style="list-style-type: none"> W-84cm/33" D-203cm/80" H-34cm/14"

FEATURES

- Designed for up to 15 inches of water
- Perfect for residential or commercial use
- Built to withstand the sun, weather, and chemicals of any pool or outdoor environment
- Compatible with all pool types, including vinyl
- Crafted of a high-quality, UV16 rated resin, color stabilized for up to 16,000 hours of direct sunlight
- Easy application via threaded plug system
- Contoured for comfort with a sleek, eye-catching design

AVAILABLE COLORS



2 POOL DECK CHAISE LOUNGE

NTS

P-MU-PAR1-99

3 WET CHAISE LOUNGE

NTS

P-MU-PAR1-104



888.749.5336 | ledgeloungers.com

Rev 02.01.19

TX REG. ENGINEERING FIRM F-469
TX REG. SURVEYING FIRM LS-10008000

NOT FOR CONSTRUCTION

Umbrellas & Bases



Accessories

Umbrellas & Bases



Accessories



Q

51818ALN Square Aluminum Cocktail Table

Enjoy sophisticated cocktails or conversation over the 51818ALN Square Aluminum Cocktail Table. Sturdy, clean lines and contemporary patterned tabletop details streamline style. Available in 18" & 26.5" Table Tops.

Categories Luxe Collection, Occasional Tables, Tables
Tags Aluminum Tables, Cocktail Tables, End Tables



Q

52626ALN Square Aluminum Coffee Table

Our 52626ALN Square Aluminum Coffee Table is built to stand strong against tropical weather conditions and is effortlessly paired with many of our seating options. Designers may select among a variety of finishes to complete their outdoor seating arrangement.

Categories Coffee Tables, Luxe Collection, Tables
Tags Aluminum Tables, Coffee Tables

Description

Enjoy sophisticated cocktails or conversation over the 51818ALN Square Aluminum Cocktail Table. Sturdy, clean lines and contemporary patterned tabletop details streamline style. Available in 18" & 26.5" Table Tops.

Height: 17.5"
Width: 18" or 26.5"
Depth: 18" or 26.5"
Stacking: No
Material: Frame – Aluminum / Top – Laser Cut Aluminum

1 COCKTAIL TABLE
NTS

P-MU-PAR1-105

Description

Our 52626ALN Square Aluminum Coffee Table is built to stand strong against tropical weather conditions and is effortlessly paired with many of our seating options. Designers may select among a variety of finishes to complete their outdoor seating arrangement.

Height: 17.5"
Width: 26.5"
Depth: 26.5"
Stacking: No
Material: Frame – Aluminum / Top – Laser Cut Aluminum

2 SQUARE COFFEE TABLE
NTS

P-MU-PAR1-106

Umbrellas & Bases



Accessories



Q

Destin SW3801-CT Cast Aluminum Deep Seating Coffee Table

Transitional lines and a beautiful driftwood finish define our Destin collection. The Destin SW3801-CT Cast Aluminum Deep Seating Coffee Table blends modern and industrial sensibility into one striking design, featuring a slat table top and linear frame, crafted in powder-coated aluminum with a hand-brushed finish.

Categories Coffee Tables, Destin Collection, St. Simmons Collection, Tables
Tags Deep Seating, Driftwood, Tables

Description

Transitional lines and a beautiful driftwood finish define our Destin collection. The Destin SW3801-CT Cast Aluminum Deep Seating Coffee Table blends modern and industrial sensibility into one striking design, featuring a slat table top and linear frame, crafted in powder-coated aluminum with a hand-brushed finish.

Height: 18"
Width: 54"
Depth: 33"
Weight: 38 lbs.
Stacking: No
Material: Frame – Cast Aluminum

3 DEEP COFFEE TABLE
NTS

P-MU-PAR1-107

INTERIM REVIEW
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REGISTERED LANDSCAPE ARCHITECT
TRICKI A. WILKIE
TEXAS REGISTRATION NUMBER 2225

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NO.	DATE	REVISION

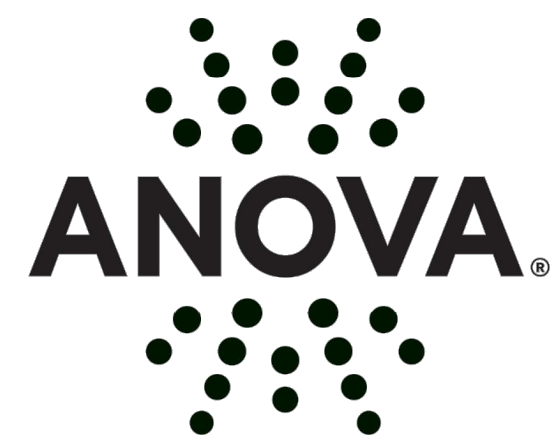
Pacheco Koch
a Westwood company
7557 RAMBLER ROAD SUITE 1400
DALLAS, TX 75231
972.235.3031

FURNISHING SPEC DETAILS
PARKWAY LOFTS
LOTS 1, 2, 3, 4, 1X, 2X, 3X, &4X
PARKWAY DISTRICT ADDITION (20.859 ACRES)
CITY OF CORINTH, DENTON COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
SRR	SRR	JULY 2023	AS SHOWN			L2.08

TX REG. ENGINEERING FIRM F-469
TX REG. SURVEYING FIRM LS-10008000

NOT FOR CONSTRUCTION



Contact Us:
800.231.1327
specify@anovafurnishings.com

PLART242060A – 24”H x 20”W x 60”L Rectangular Rimmed Aluminum Planter

24”H x 20”W x 60”L Rectangular aluminum planter with rimmed edge and drain holes.

Material

The 24” tall planter is made from formed, marine-grade 5052 aluminum sheet metal and is 20” wide and 60” long on the outside walls of the planter. The planter’s top edge is formed over creating a 1” rimmed edge and the bottom comes standard with slotted drain holes that are 0.75” x 1.75” and placed at an average of 12” on center. Includes optional Planter Lift and Level Kit for use on uneven surfaces. Optional Filler Bags are available that reduce the amount of soil needed.

Finish

Rust-proof aluminum features a fade-resistant powder coating. Treated components exceed the industry standard by 34% in testing by independent sources.

Colors

See website or sales representative for color choices.

Assembly

Ships fully assembled and ready for use.

Maintenance

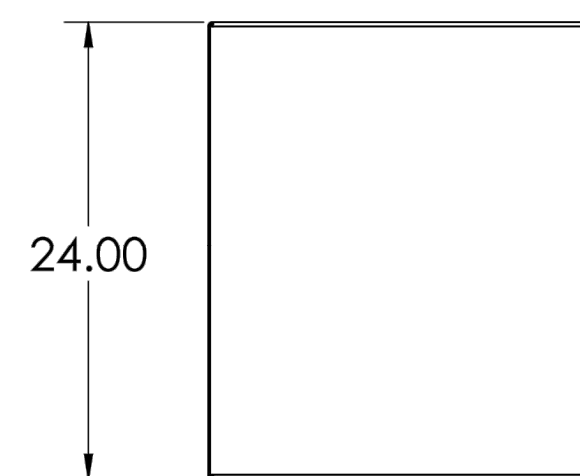
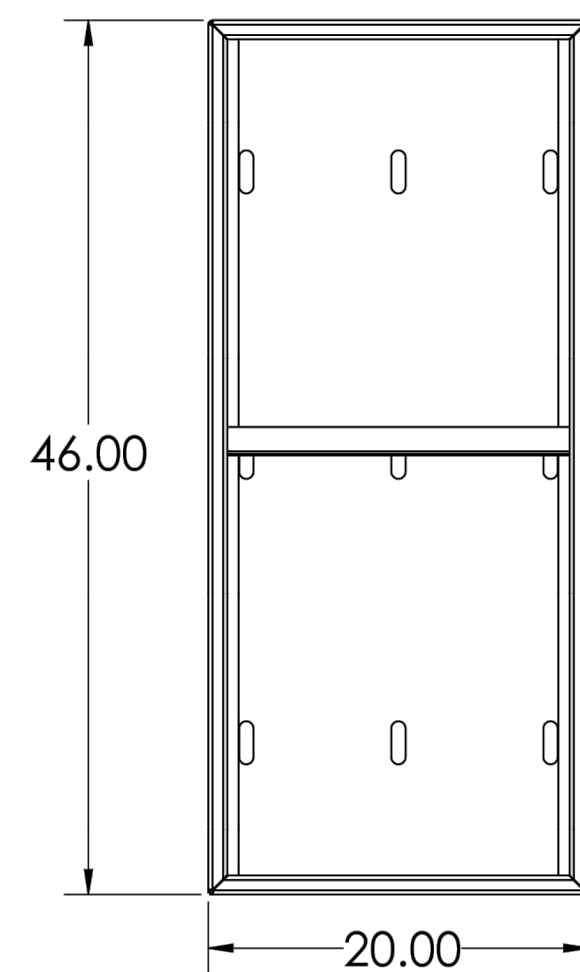
The product is virtually maintenance-free and requires only periodic cleaning with a solution of mild detergent and water to remove surface dirt. Do not clean with solvent or petroleum base products.

Warranty

20-year limited structural warranty with 3-year finish warranty from the date of purchase. See full details on multi-year warranties for components at www.anovafurnishings.com/warranty.aspx.

Accessories:
Small Filler Bag
Large Filler Bag

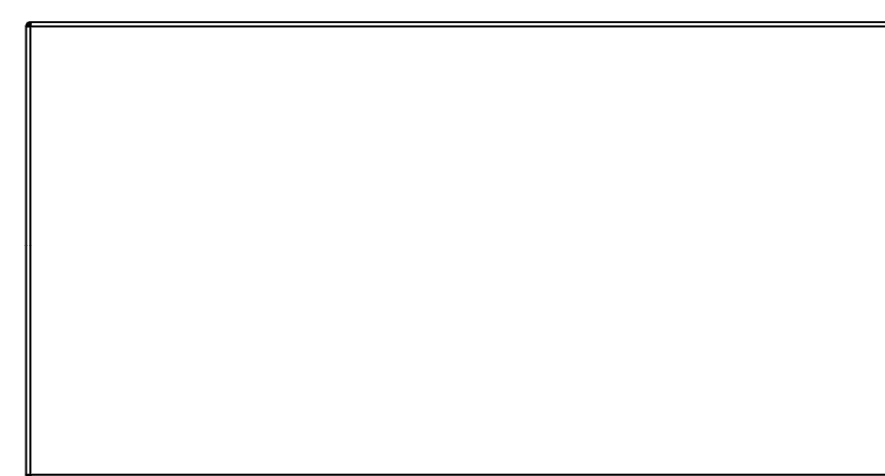
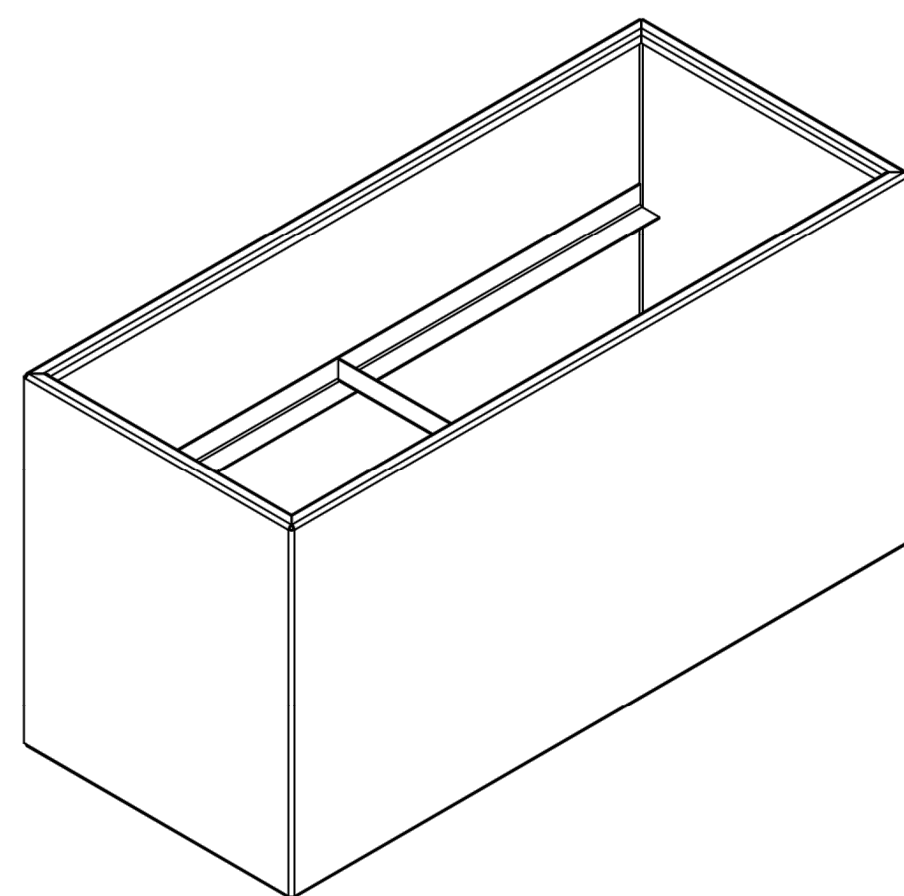
PLBGS
PLBGL



4/29/2022

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KEY WEST CLUB CHAIR

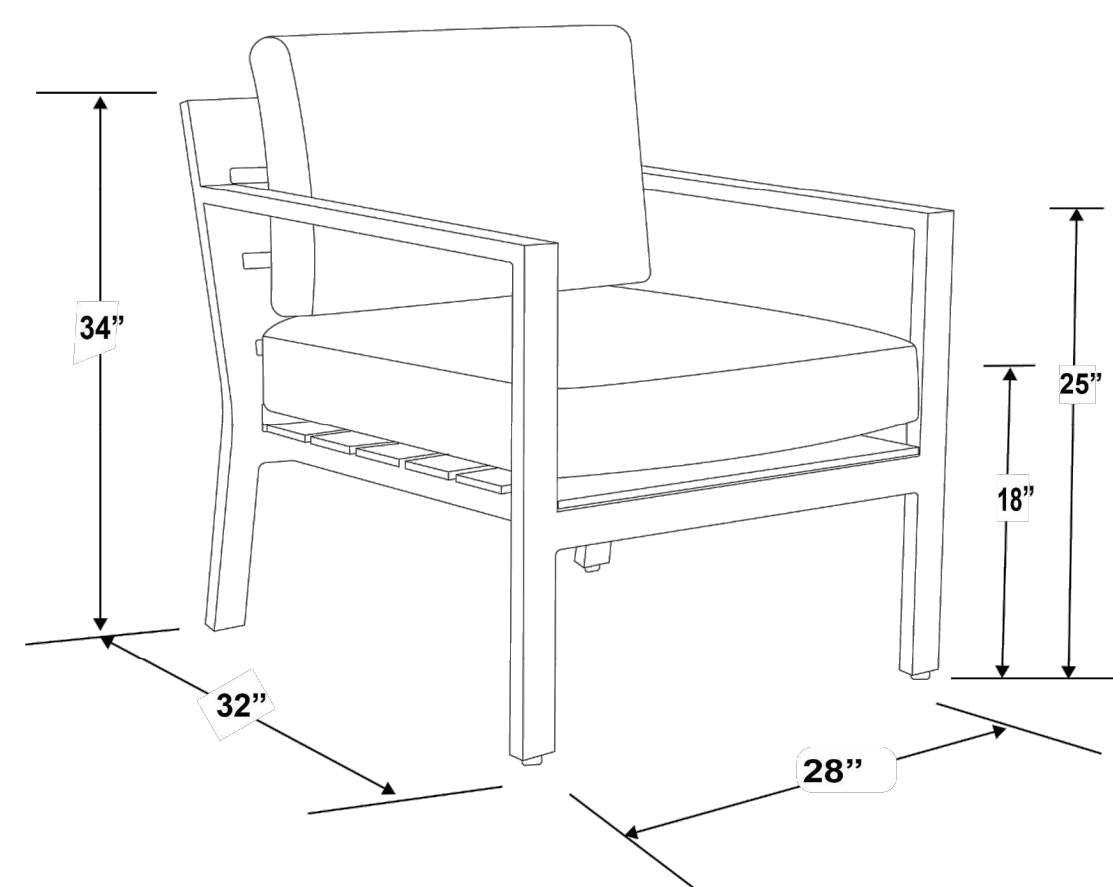
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REGISTERED LANDSCAPE ARCHITECT
TRICIA A. WILBIE
TEXAS REGISTRATION NUMBER 2225

SPECS

- Width: 28"
- Depth: 32"
- Height: 34"
- Arm Height: 25"
- Seat Height: 18"
- Weight: 35 lbs
- Fully welded, scratch-resistant powder-coated aluminum frame in Graphite finish.
- Adjustable Feet.
- Commercial Quality Construction.
- Weather resistant, high-resiliency foam cushions.
- Stocked in Premium Sunbrella fabric in Cast Pumice.
- Custom Cushions available in approx. 4 weeks.
- Standard 54" fabric COM yardage required: 3 yards.



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1	01/31/2023	CITY SUBMITTAL

Pacheco Koch 7557 RAMBLER ROAD SUITE 1400
DALLAS, TX 75231
972.235.3031
a Westwood company

FURNISHING SPEC DETAILS
PARKWAY LOFTS
LOTS 1, 2, 3, 4, 1X, 2X, 3X, &4X
PARKWAY DISTRICT ADDITION (20.859 ACRES)
CITY OF CORINTH, DENTON COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
SRR	SRR	JULY 2023	AS SHOWN			L2.09

1 RAISED PLANTER
NTS

P-MU-PAR1-103

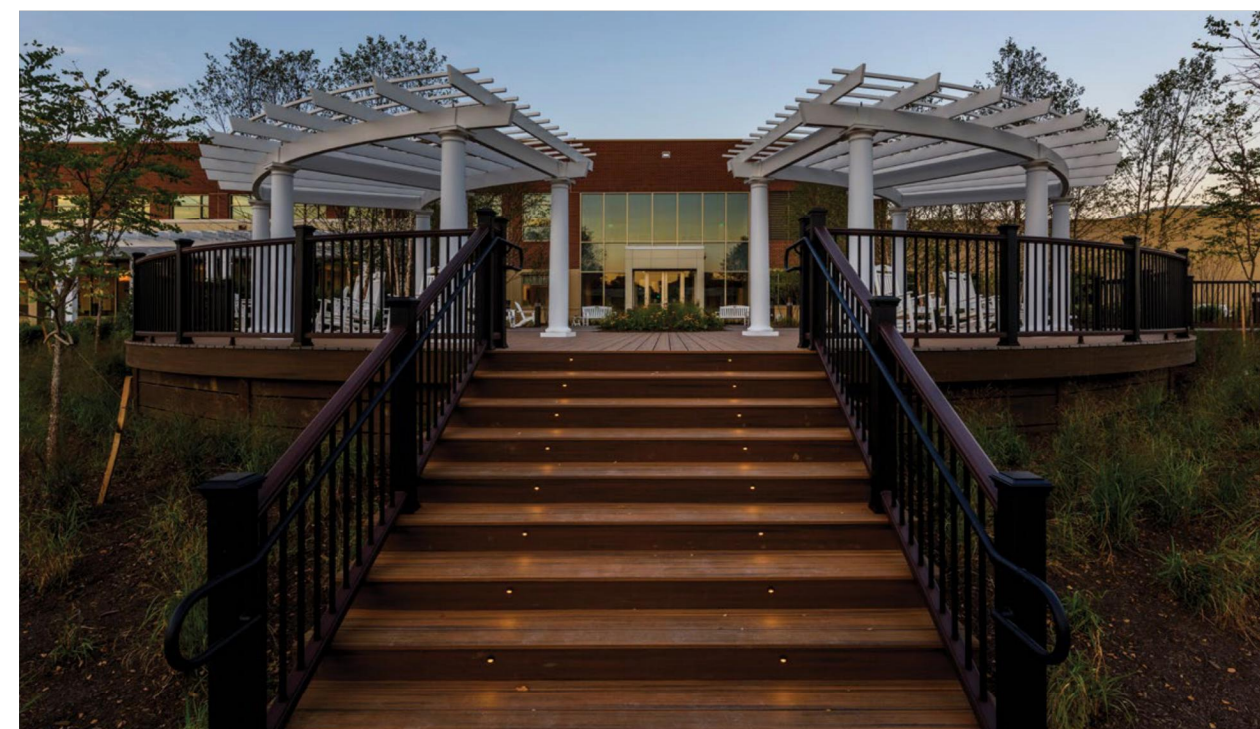
2 SEATING CHAIR
NTS

P-MU-PAR1-109

TX REG. ENGINEERING FIRM F-469
TX REG. SURVEYING FIRM LS-10008000

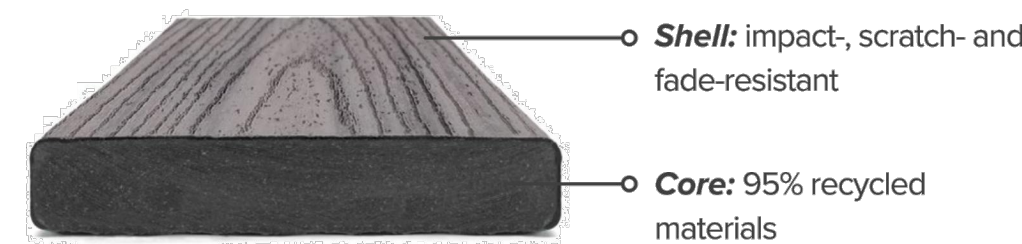
NOT FOR CONSTRUCTION

Trex Transcend®



PREMIUM HIGH-PERFORMANCE DECKING & FASCIA

Trex Transcend® decking and Trex® Fascia are wood thermoplastic composite lumber (WTCL) boards with an integrated shell that covers the boards on the top surface and sides. The integrated shell consists of a proprietary surface formulation that produces a natural, wood-like grain pattern finish. An alternative to naturally durable hardwood lumber, Transcend Decking and Fascia are ICC-ES E-1000 certified to be a minimum of 95.4% recycled content of wood fiber and polyethylene by weight.



DECKING

FASCIA



FEATURES	DECKING BOARDS		FASCIA BOARDS	
	1" x 6"	2" x 6"	8"	12"
Actual Dimensions - Standard	.94" x 5.5"	1.3" x 5.5"	.56" x 7.25"	.56" x 11.375"
Actual Dimensions - Metric	24 mm x 140 mm	33 mm x 140 mm	14 mm x 184 mm	14 mm x 288 mm
Available Lengths - Standard	12', 16', 20'	12', 16', 20'	12'	12'
Available Lengths - Metric	365 cm, 487 cm, 609 cm	365 cm, 487 cm, 609 cm	365 cm	365 cm
Grooved Edge	X			
Square Edge	X	X	X	X
Transcend Tropicals	X	X	X	X
Transcend Earth Tones	X		X	X
Weight per Lineal Foot	2.4 lbs	3.6 lbs	2.0 lbs	3.3 lbs

1 TREX DECKING
NTS

P-MU-PAR-1-110



PACIFIC PLAY

SKU: PACIFIC-PLAY

Diversity is the benchmark feature of all 3D Wave shaped yarn blades. This turf is both remarkably comfortable to the touch and stoically retains its shape after footfall. It's soft yet durable, making it the best of both worlds. Featuring our revolutionary ProFlo drainage, a specially formulated fully permeable clear backing providing up to 4 times the drainage of a normal polyurethane backing.



- Pile Height: 1 3/8"
- Face Weight: 60 oz
- Total Weight: 87 oz
- Yarn Color: Field/Olive
- Thatch Color: Brown/Green
- Yarn Material: Monofilament Polyethylene (PE)
- Thatch Material: Texturize PE
- Primary Backing Material: 9oz Dual Layer
- Secondary Coating Material: 20oz Permeable Polyurethane
- Turf Bind: >10 lbs.
- Machine Gauge: 3/8"
- Infill Ratio: 1-2 lbs
- Roll Width: 15' feet
- Drain Rate: >100 inch per hour
- Warranty: 15 year

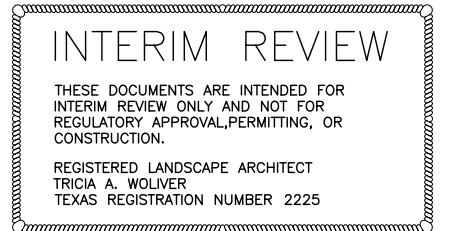
Recommended Use: Moderate to High Traffic



FEATURES

- CoolFlo Technology - Yarn shape increases airflow and lowers surface temperature
- Durable yarn shape creates stronger fiber strength
- UV stabilized yarns to resist fading from the sun
- Non-flammable, anti-acid yarn resistant to chemical attack

View this product in detail online at www.turfhub.com/product/pacific-play/



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Pacheco Koch
a Westwood company
7557 RAMBLER ROAD SUITE 1400
DALLAS, TX 75231
972.235.3031

FURNISHING SPEC DETAILS
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CITY OF CORINTH, DENTON COUNTY, TEXAS

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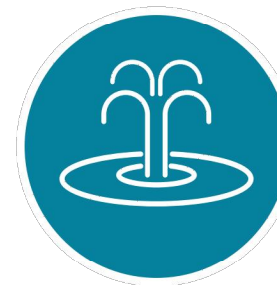
NEXT DAY SHIPPING! • ALWAYS IN-STOCK!
1.800.383.8229 • WWW.TURFHUB.COM

2 ARTIFICIAL TURF
NTS

P-MU-PAR-1-112

TX REG. ENGINEERING FIRM F-469
TX REG. SURVEYING FIRM LS-10008000

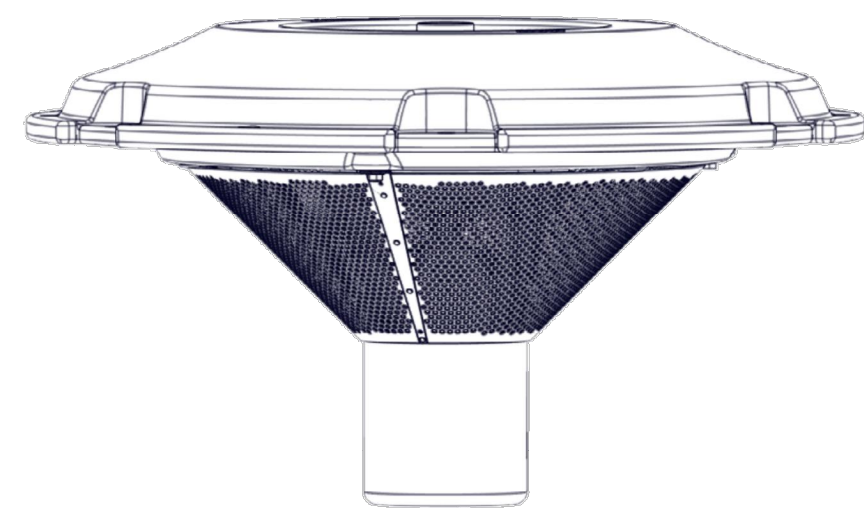
NOT FOR CONSTRUCTION



8400JF FOUNTAIN

OVERVIEW

- Complete package includes motor unit, control panel, float with screens, mooring lines, cable, five interchangeable nozzles.
- Cable is UL, CSA & NEC rated for underwater use.
- Total package Listed by ETL to UL/CSA standards.
- Intake near surface allows for shallow operation
- Saltwater compatible
- Packaged for convenient shipping
- Optional lighting available



Dimensions
 Float diameter: 37.5"
 Unit height with float: 21.5"

FLOAT

- UV-resistant polyethylene
- Single-piece float
- Series 300 stainless steel hardware
- Series 300 stainless steel bottom screen
- Three 50' braided nylon mooring ropes

FOUNTAIN COMPONENTS

- Custom thermoplastic impeller
- UV-resistant thermoplastic cone and fountain housing
- Series 300 stainless steel hardware
- Five thermoplastic nozzles
- Twist on/off nozzles for easy pattern changes

POWER CABLE

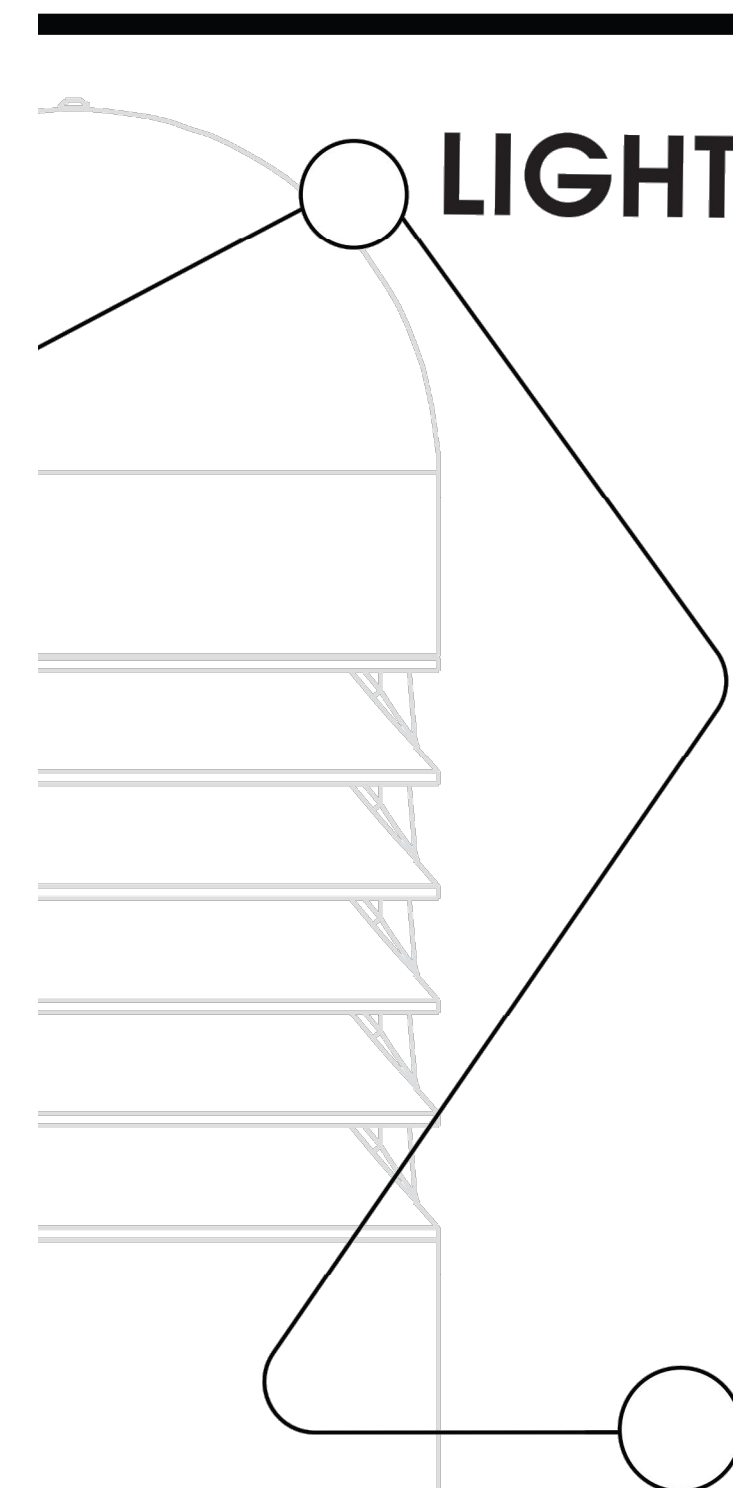
- 3 wire (L1, L2, G)
- Quick Disconnect standard on 12+ AWG cords (otherwise optional)
- Stainless steel strain relief on 12+ AWG cords
- 6' flex sleeving protection standard (optional for entire cord length)

MOTOR UNIT

- 2HP, 208-240Vac operating voltage range, single phase
- 1750 RPM
- Oil cooled
- Continuous duty rated
- 17mm top and 20mm bottom bearings
- Thermal overload protection
- Fully unitized heavy-duty carbon-ceramic mechanical seal
- Series 300 stainless steel can
- Engineering grade thermoplastic top
- Sacrificial anode installed on 316 stainless shaft

CONTROL PANEL

- UL 508 Listed
- UL type 3R/4X thermoplastic enclosure
- 20 amp breaker
- Human-rated GFCI protection
- Surge protector
- 24-hour mechanical fountain timer
- Terminal block wiring
- 24-hour mechanical timer for optional lighting
- 4-wire power required (L1, L2, N, G)



PHOTOMETRICS / APPLICATIONS

PHOTOMETRIC FILE NAME:
 SSD-4-6R-SL90-16L-7-50K-L-UNV.IES

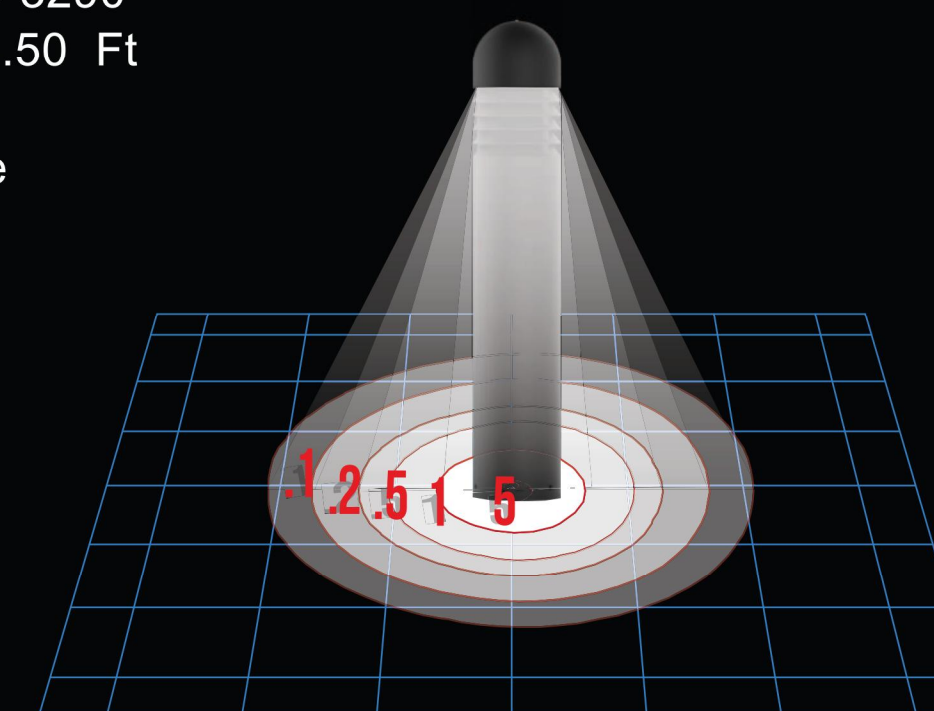
DESCRIPTIVE INFORMATION (From Photometric File):
 NLS LIGHTING LLC
 White aluminum housing, inner frosted lens, set of 5 louvers, 4 White LEDs



+ PERFORMANCE

TEMPLATE SPECIFICATION

Horizontal Footcandles
 Scale: 1 Inch = 10 Ft.
 Light Loss Factor = 1.00
 Lumens Per Lamp = N.A.
 (absolute photometry)
 Luminaire Lumens = 3290
 Mounting Height = 3.50 Ft
 Watts = 35
 Arrangement: Single



INTERIM REVIEW
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 REGISTERED LANDSCAPE ARCHITECT
 TRICIA A. WILSON
 TEXAS REGISTRATION NUMBER 2225

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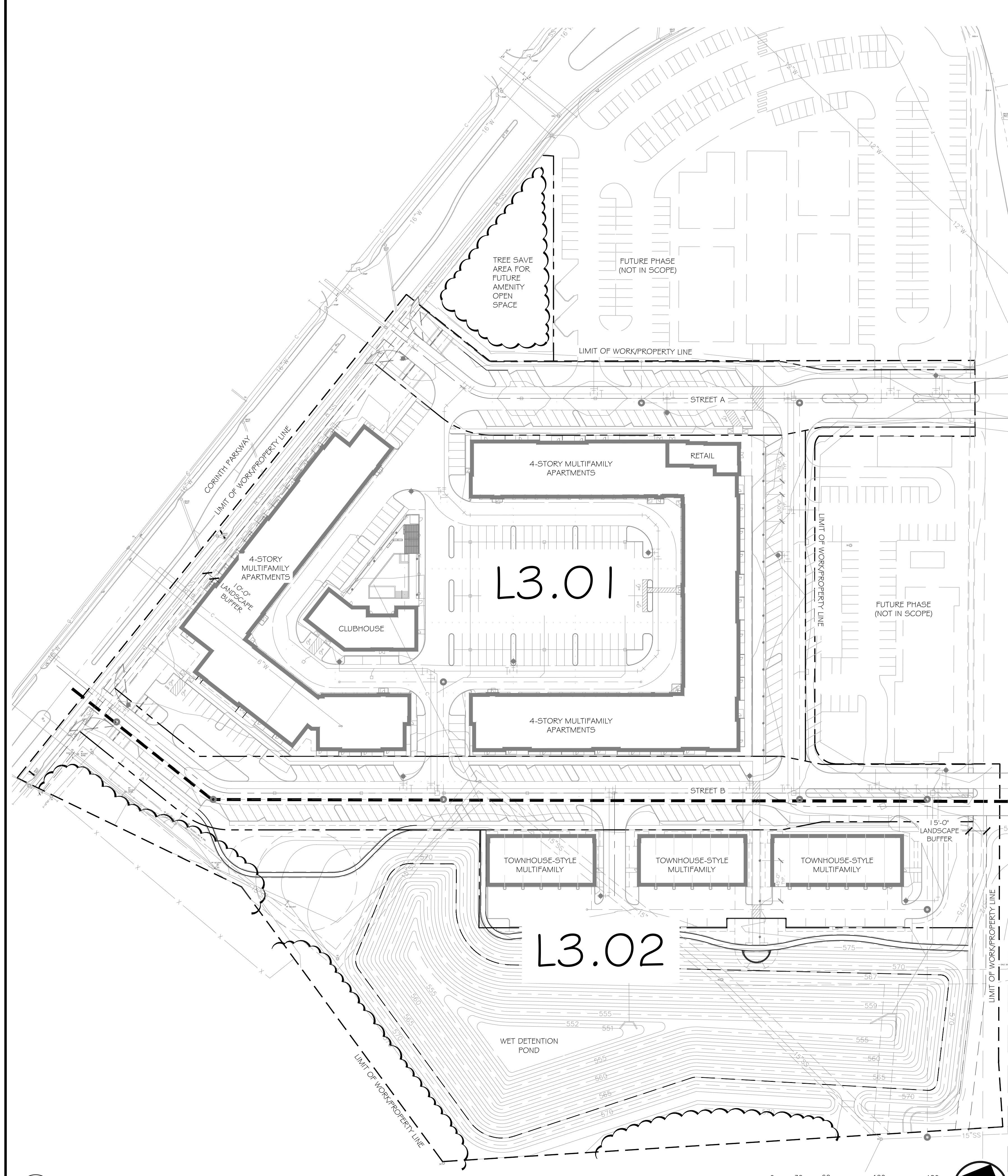
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LOTS 1, 2, 3, 4, 1X, 2X, 3X, & 4X
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CITY OF CORINTH, DENTON COUNTY, TEXAS

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Kasco

8400JF FOUNTAIN CUT SHEET
 800 Deere Rd. Prescott, WI 54021 | 715.262.4488 | sales@kascomarine.com | kascomarine.com



PLANTING GENERAL NOTES

- ALL PLANTS SHALL BE SET OUT FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- FINE GRADING SHALL BE PERFORMED IN ALL AREAS TO BE LANDSCAPED. FINE GRADING SHALL INCLUDE THE REMOVAL OF DEBRIS, ROCKS, ETC. FROM THE SITE AND INSURE POSITIVE DRAINAGE IN ALL AREAS.
- THE CONTRACTOR SHALL LOCATE ALL UTILITIES AND EASEMENTS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES DURING THE COURSE OF CONSTRUCTION.
- WRITTEN DIMENSIONS SHALL GOVERN OVER SCALED DIMENSIONS.
- THE CONTRACTOR SHALL REFER TO THE SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS ASSOCIATED WITH THE LANDSCAPE AND ACCESSORIES.
- ALL PLANT MATERIALS SHALL MEET ANSI Z60.1 STANDARDS FOR CALIPER, HEIGHT AND ROOT BALL SIZE. ANY MATERIALS THAT DO NOT MEET OR EXCEED SUCH STANDARDS SHALL BE REJECTED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- BALLED AND BURLAPPED TREES SHALL HAVE THE TOP HALF OF THE WIRE BASKET REMOVED. THE BURLAP SHALL BE REMOVED TO THE GREATEST EXTENT POSSIBLE, USING A KNIFE TO CUT AND REMOVE THE BOTTOM HALF UNDER THE WIRE BASKET THAT REMAINS.
- QUANTITIES ARE SHOWN FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES

NOTE:

AN IRRIGATION SYSTEM WILL BE DESIGNED, INSTALLED, AND FUNCTIONAL PRIOR TO THE APPROVAL OF THE CERTIFICATE OF OCCUPANCY.

THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, ESTABLISHMENT, AND PERFORMANCE OF THE PLANT MATERIALS.

PLANT SCHEDULE (FOR FULL SCHEDULE SEE SHEET L3.04)

TREES	QTY	BOTANICAL / COMMON NAME
QMA	37	QUERCUS MACROCARPA BURR OAK
QH	86	QUERCUS VIRGINIANA 'HIGH RISE' HIGH RISE LIVE OAK
TD	54	TAXODIUM DISTICHUM BALD CYPRESS
UA	64	ULMUS PARVIFOLIA 'ALLEE' ALLEE ELM
ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME
CCF	30	CERCIS CANADENSIS 'FOREST PANSY' TM FOREST PANSY REDBUD
VC	8	VITEX AGNIUS-CASTUS 'SHOAL CREEK' CHASTE TREE
SHRUBS	QTY	BOTANICAL / COMMON NAME
BG	77	BUXUS X 'GLENCOE' CHICAGOLAND GREEN BOXWOOD
ID	403	ILEX CORNUTA 'DWARF BURFORD' DWARF BURFORD HOLLY
ILN	55	ILEX X 'NELLIE R STEVENS' NELLIE STEVENS HOLLY
LC	291	LEUCOPHYLLUM CANDIDUM 'COMPACTA' DWARF TEXAS SAGE
L52	110	LIGUSTRUM SINENSE 'SUNSHINE' SUNSHINE CHINESE PRIVET
LP	110	LOROPETALUM CHINENSE 'PIFA' 5 RED RED CHINESE FRINGE FLOWER
SEP	178	SETCREASEA PURPUREA PURPLE HEART
TG	16	TAXUS X MEDIA 'STONEHENGE SKINNY' STONEHENGE SKINNY YEW
VINE/ESPALIER	QTY	BOTANICAL / COMMON NAME
CAR	52	CAMPFIS RADICANS TRUMPET CREEPER
GROUND COVERS	QTY	BOTANICAL / COMMON NAME
EFC	2,467	ELONYMUS FORTUNEI 'COLORATUS' COLORATUS PURPLE WINTERCREEPER
LM	2,387	LIRIOPE MUSCARI 'BIG BLUE' LILY TURF
NT	3,861	NASSELLA TENUISSIMA MEXICAN FEATHER GRASS
SS	870	SEASONAL COLOR SEASONAL COLOR
TRA	8,346	TRACHELOSPERMUM ASIATICUM ASIAN JASMINE
VH	1,148	VERBENA X HYBRIDA 'HOMESTEAD' PURPLE SPREADER GARDEN VERBENA
SOD/SEED	QTY	BOTANICAL / COMMON NAME
CD	36,243 SF	CYNODON DACTYLON BERMUDA GRASS
NS	128,388 SF	NATIVE AMERICAN SEED MIX

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 REGISTERED LANDSCAPE ARCHITECT
 TRACY A. WILSON
 TEXAS REGISTRATION NUMBER 2225

LANDSCAPE REQUIREMENTS - CITY OF CORINTH, TX			
PARKWAY LOFTS			
ZONING : PD-59 (MX-C, MIXED USE COMMERCIAL BASE DISTRICT)			
TOTAL LOT SIZE: APPROXIMATELY 15 ACRES			
PD REQUIREMENTS		COMMENTS	
PER THE MIXED USE COMMERCIAL BASE DISTRICT, REQUIREMENTS FOR LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF CORINTH CODE OF ORDINANCES FOR THE SIZE AND TYPE OF USE PROPOSED.		SECTION 2.09.01 OF CITY OF CORINTH UNIFIED DEVELOPMENT	
GENERAL LANDSCAPE REQUIREMENTS -			
PARKING LOT INTERIOR			
TEN (10) SQ. FT. FOR EACH PARKING SPACE OR FRACTION THEREOF	REQUIRED	PROVIDED	COMMENTS
ONE (1), 3" CALIPER, CANOPY TREE OR ONE (1) ORNAMENTAL TREE FOR EVERY TEN (10) PARKING SPACES OR FRACTION THEREOF	YES	YES	
R.O.W LANDSCAPE BUFFER			
10 FT LANDSCAPE BUFFER ALONG CORINTH PARKWAY AND 15 FT BUFFER ALONG I-35E, PER PD-59 AND CORRESPONDANCE WITH CITY OF CORINTH (FEBRUARY 2023)	REQUIRED	PROVIDED	COMMENTS
ONE (1) SHADE TREE PER 50 LINEAR FEET	YES	YES	ADJACENT TO PUBLIC R.O.W
1 SHRUB PER 20 LINEAR FEET			
EVERGREEN VEHICULAR SCREEN WHERE PARKING LOTS, DRIVES, AND ACCESS EASEMENTS ABUT THE LANDSCAPE EDGE			
STREET A - NORTH SIDE: 470 LF / 50 = 10 TREES	10 TREES	10 TREES	
STREET A - SOUTH SIDE: 470 LF / 50 = 10 TREES	10 TREES	10 TREES	
STREET B - NORTH SIDE: 780 LF / 50 = 16 TREES	16 TREES	16 TREES	LENGTH NOT INCLUDING HOTEL LOT; OUT OF SCOPE
STREET B - SOUTH SIDE: 960 LF / 50 = 20 TREES	20 TREES	20 TREES	
CORINTH STREET: 10' BUFFER, 600 LF / 50 = 12 TREES	12 TREES	12 TREES	
I-35E FRONTAGE: 15' BUFFER, 350 LF / 50 = 7 TREES	7 TREES	7 TREES	
PRIVATE DETENTION PONDS			
FOUNTAIN AERATION FEATURE, GATHERING AMENITY SPACE AT END OF PROMENADE, PEDESTRIAN LIGHTING.	YES	YES*	*REFER TO ELECTRICAL PLANS FOR FULL LIGHTING DESIGN.
THE USE OF ARTIFICIAL PLANTS OR TURF ARE EXPRESSLY PROHIBITED FOR COMPLIANCE WITH IN THIS UDC	YES	YES	SEE SECTION 2.09.01. B1-D
USE OF DROUGHT TOLERANT PLANTS ARE ENCOURAGED TO MEET THE REQUIREMENTS OF THIS UDC	YES	YES	

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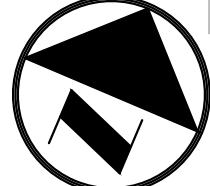
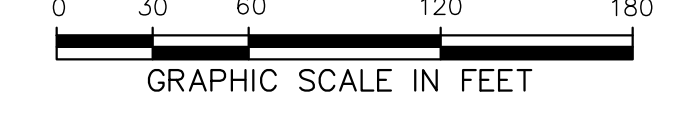
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Pacheco Koch a Westwood company
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OVERALL PLANTING PLAN
PARKWAY LOFTS
LOTS 1, 2, 3, 4, 1X, 2X, 3X, & 4X
 PARKWAY DISTRICT ADDITION (20.859 ACRES)
 CITY OF CORINTH, DENTON COUNTY, TEXAS

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OVERALL PLANTING PLAN
 1" = 60'-0"



TX REG. ENGINEERING FIRM F-469
 TX REG. SURVEYING FIRM LS-10008000

NOT FOR CONSTRUCTION

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LS2	110	LIGUSTRUM SINENSE 'SUNSHINE' SUNSHINE CHINESE PRIVET
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 TRICA A. WHEELER
 TEXAS REGISTRATION NUMBER 2225

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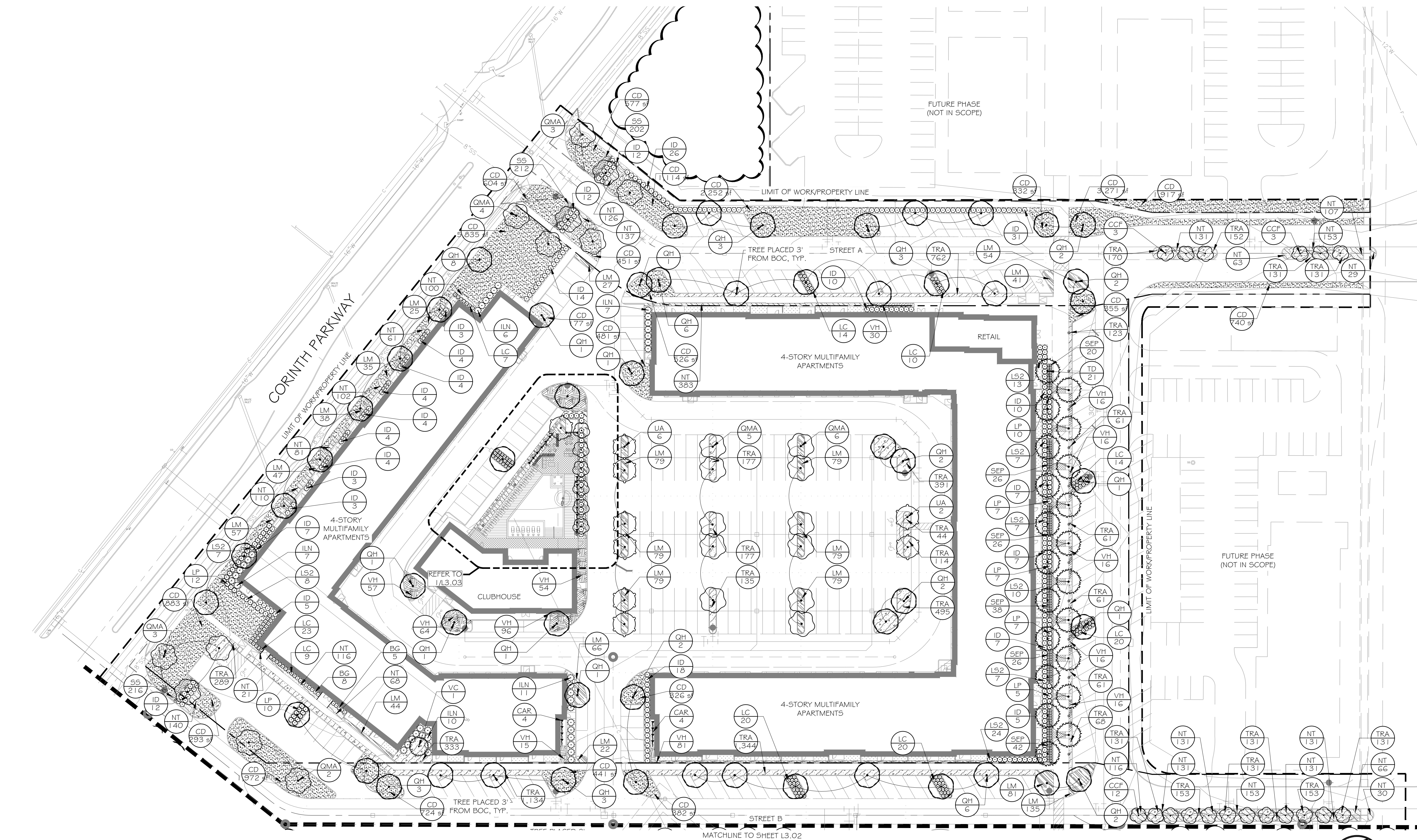
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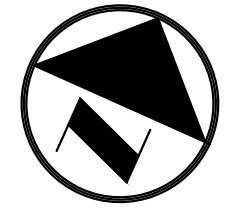
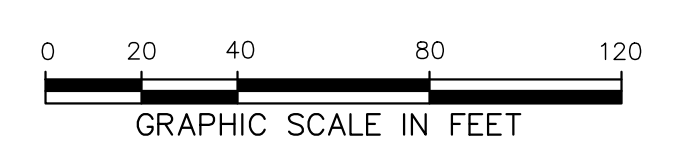
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PLANTING PLAN
PARKWAY LOFTS
 LOTS 1, 2, 3, 4, 1X, 2X, 3X, & 4X
 PARKWAY DISTRICT ADDITION (20.859 ACRES)
 CITY OF CORINTH, DENTON COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
SRR	SRR	JULY 2023	AS SHOWN			L3.01

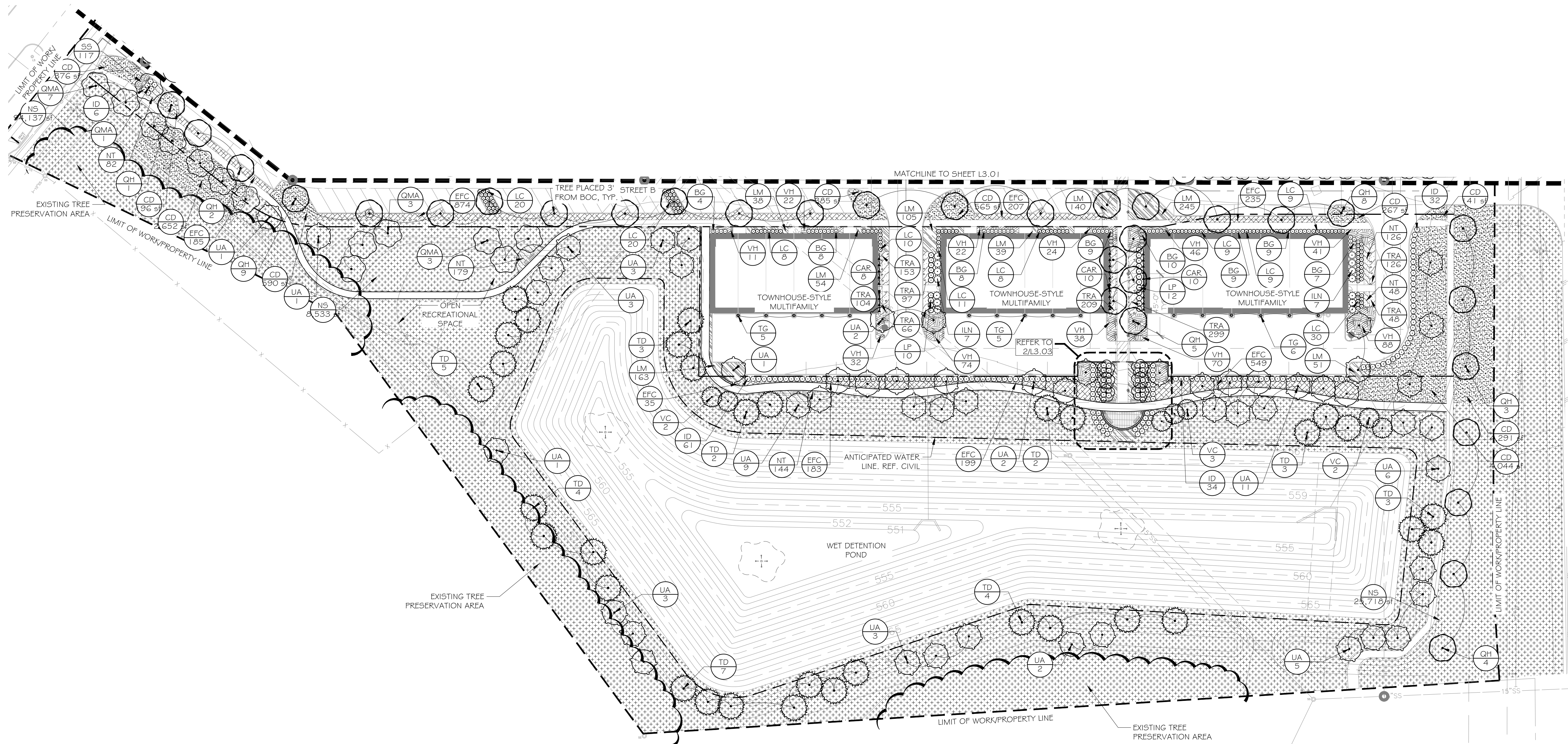


PLANTING PLAN
 1" = 40'-0"



TX REG. ENGINEERING FIRM F-469
 TX REG. SURVEYING FIRM LS-10008000

NOT FOR CONSTRUCTION



INTERIM REVIEW
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 REGISTERED LANDSCAPE ARCHITECT
 TRICK & WHEELER
 TEXAS REGISTRATION NUMBER 2225

1 PLANTING PLAN
 1" = 40'-0"

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	SEP	QTY	BOTANICAL / COMMON NAME
QMA	37	QUERCUS MACROCARPA BURR OAK	SEP	178	SETCREASEA PURPUREA PURPLE HEART
QH	86	QUERCUS VIRGINIANA 'HIGH RISE' HIGH RISE LIVE OAK	TG	16	TAXUS X MEDIA 'STONEHENGE SKINNY' STONEHENGE SKINNY YEW
TD	54	TAXODIUM DISTICHUM BALD CYPRESS	VINE/ESPALIER CAR	QTY 52	BOTANICAL / COMMON NAME CAMPSIS RADICANS TRUMPET CREEPER
UA	64	ULMUS PARVIFOLIA 'ALLEE' ALLEE ELM	GROUND COVERS EFC	QTY 2,467	BOTANICAL / COMMON NAME EUONYMUS FORTUNEI 'COLORATUS' COLORATUS PURPLE WINTERCREEPER
ORNAMENTAL TREES CCF	30	BOTANICAL / COMMON NAME CERCIS CANADENSIS 'FOREST PANSY' TM FOREST PANSY REDBUD	LM	2,387	LIRIOPE MUSCARI 'BIG BLUE' LILY TURF
VC	8	VITEX AGNUS-CASTUS 'SHOAL CREEK' CHASTE TREE	NT	3,861	NASSELLA TENUISSIMA MEXICAN FEATHER GRASS
SHRUBS BG	QTY 77	BOTANICAL / COMMON NAME BUXUS X 'GLENCOE' CHICAGOLAND GREEN BOXWOOD	SS	870	SEASONAL COLOR SEASONAL COLOR
ID	403	ILEX CORNUTA 'DWARF BURFORD' 'DWARF BURFORD HOLLY'	TRA	8,346	TRACHELOSPERMUM ASIATICUM ASIAN JASMINE
ILN	55	ILEX X 'NELLIE R STEVENS' NELLIE STEVENS HOLLY	VH	1,148	VERBENA X HYBRIDA 'HOMESTEAD' PURPLE SPREADER GARDEN VERBENA
LC	291	LEUCOPHYLLUM CANDIDUM 'COMPACTA' DWARF TEXAS SAGE	SOD/SEED CD	QTY 36,243 SF	BOTANICAL / COMMON NAME CYNODON DACTYLON BERMUDA GRASS
L52	110	LIGUSTRUM SINENSE 'SUNSHINE' SUNSHINE CHINESE PRIVET	NS	128,388 SF	NATIVE AMERICAN SEED MIX
LP	110	LOROPETALUM CHINENSE 'PIFA' S RED' RED CHINESE FRINGE FLOWER			

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NO.	DATE	REVISION
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5	06/21/2023	CITY SITE PLAN RESUBMITTAL
4	06/13/2023	CITY SITE PLAN SUBMITTAL
3	04/28/2023	DD SUBMITTAL
2	02/15/2023	CITY RESUBMITTAL
1	01/31/2023	CITY SUBMITTAL

NO.	DATE	REVISION

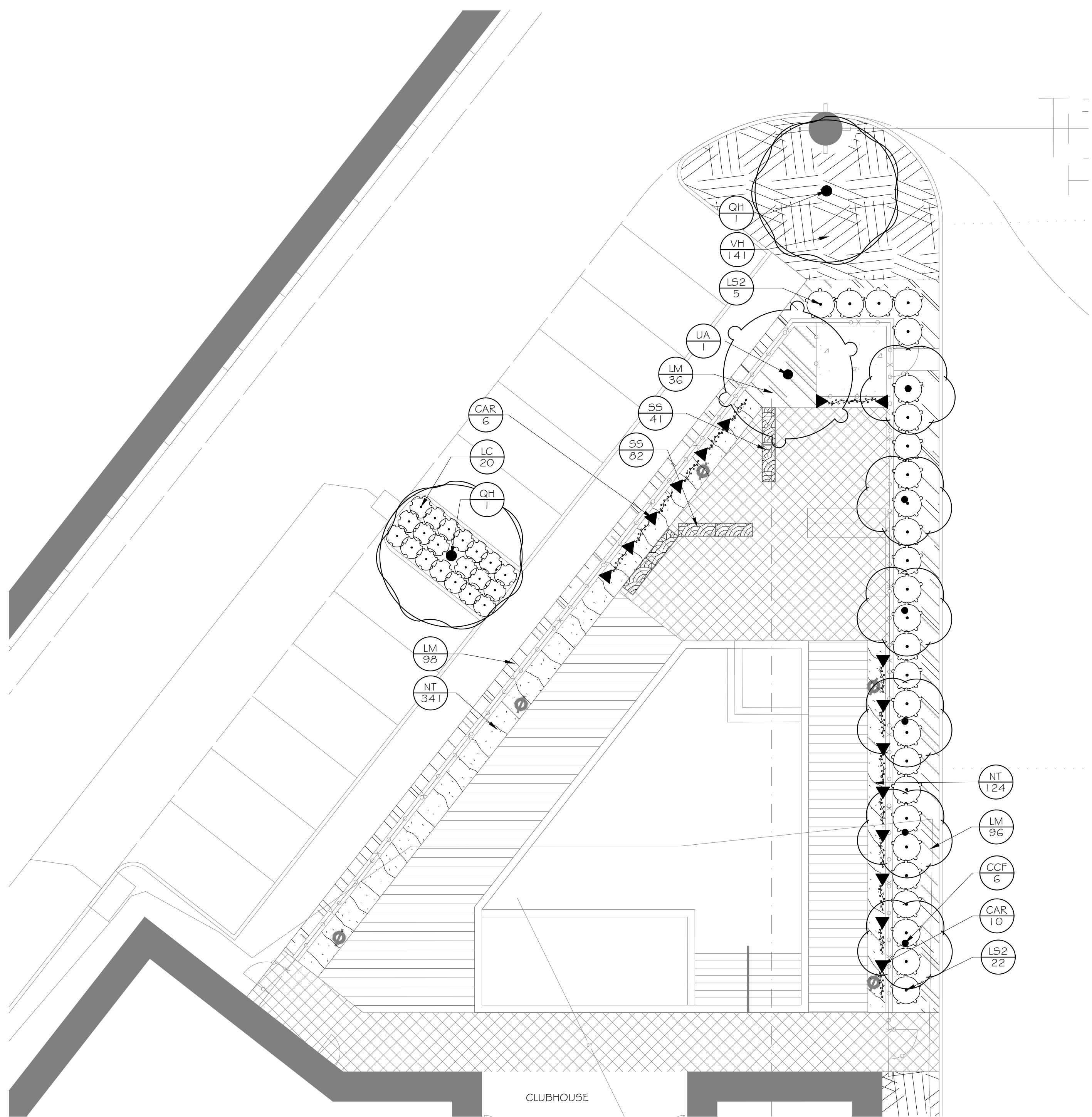
Pacheco Koch
 a Westwood company
 7557 RAMBLER ROAD SUITE 1400
 DALLAS, TX 75231
 972.235.3031

PLANTING PLAN
PARKWAY LOFTS
LOTS 1, 2, 3, 4, 1X, 2X, 3X, & 4X
 PARKWAY DISTRICT ADDITION (20.859 ACRES)
 CITY OF CORINTH, DENTON COUNTY, TEXAS

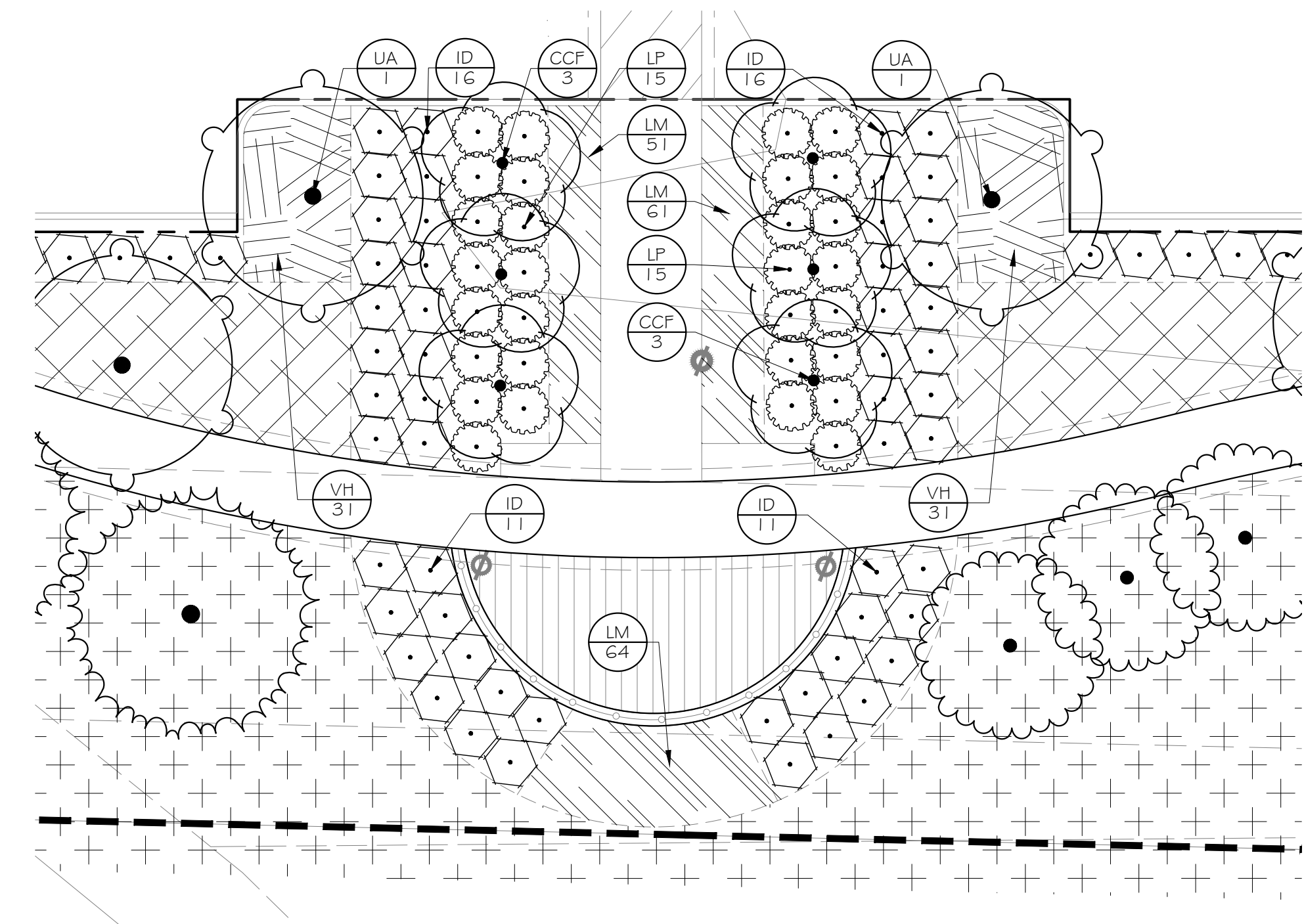
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TX REG. ENGINEERING FIRM F-469
 TX REG. SURVEYING FIRM LS-10008000

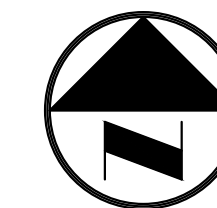
NOT FOR CONSTRUCTION



1 POOL ENLARGEMENT PLAN
1" = 10'-0"



2 OVERLOOK ENLARGEMENT PLAN
1" = 10'-0"



PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME
GMA	37	QUERCUS MACROCARPA BURR OAK
QH	86	QUERCUS VIRGINIANA 'HIGH RISE' HIGH RISE LIVE OAK
TD	54	TAXODIUM DISTICHUM BALD CYPRESS
UA	64	ULMUS PARVIFOLIA 'ALLEE' ALLEE ELM
ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME
CCF	30	CERCIS CANADENSIS 'FOREST PANSY' TM FOREST PANSY REDBUD
VC	8	VITEX AGNUS-CASTUS 'SHOAL CREEK' CHASTE TREE
SHRUBS	QTY	BOTANICAL / COMMON NAME
BG	77	BUXUS X 'GLENCOE' CHICAGOLAND GREEN BOXWOOD
ID	403	ILEX CORNUTA 'DWARF BURFORD' DWARF BURFORD HOLLY
ILN	55	ILEX X 'NELLIE R STEVENS' NELLIE STEVENS HOLLY
LC	291	LEUCOPHYLLUM CANDIDUM 'COMPACTA' DWARF TEXAS SAGE
LS2	110	LIGUSTRUM SINENSE 'SUNSHINE' SUNSHINE CHINESE PRIVET
LP	110	LOROPETALUM CHINENSE 'PIPA'S RED' RED CHINESE FRINGE FLOWER
SEP	178	SETOCREASEA PURPUREA PURPLE HEART
TG	16	TAXUS X MEDIA 'STONEHENGE SKINNY' STONEHENGE SKINNY YEW
VINE/ESPALIER	QTY	BOTANICAL / COMMON NAME
CAR	52	CAMPISIS RADICANS TRUMPET CREEPER
GROUND COVERS	QTY	BOTANICAL / COMMON NAME
EFC	2,467	ELIONYMUS FORTUNEI 'COLORATUS' COLORATUS PURPLE WINTERCREEPER
LM	2,387	LIRIOPE MUSCARI 'BIG BLUE' LILY TURF
NT	3,861	NASSELLA TENUISSIMA MEXICAN FEATHER GRASS
SS	870	SEASONAL COLOR SEASONAL COLOR
TRA	8,346	TRACHELOSPERMUM ASIATICUM ASIAN JASMINE
VH	1,148	VERBENA X HYBRIDA 'HOMESTEAD' PURPLE SPREADER GARDEN VERBENA
SOD/SEED	QTY	BOTANICAL / COMMON NAME
CD	36,243 SF	CYNODON DACTYLON BERMUDA GRASS
N5	128,388 SF	NATIVE AMERICAN SEED MIX

2023-07-06 16:54

INTERIM REVIEW
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REGISTERED LANDSCAPE ARCHITECT
TRICK A. WILHELM
TEXAS REGISTRATION NUMBER 2225

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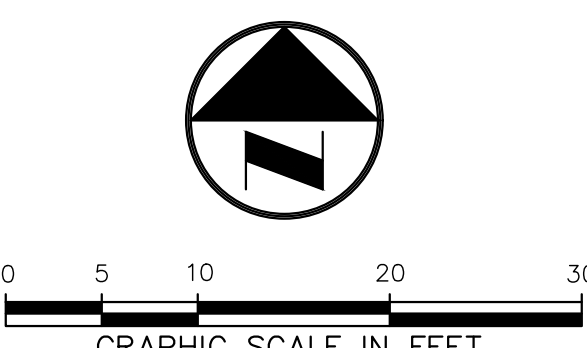
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1	01/31/2023	CITY SUBMITTAL

NO.	DATE	REVISION

Pacheco Koch
a Westwood company
7557 RAMBLER ROAD SUITE 1400
DALLAS, TX 75231
972.235.3031

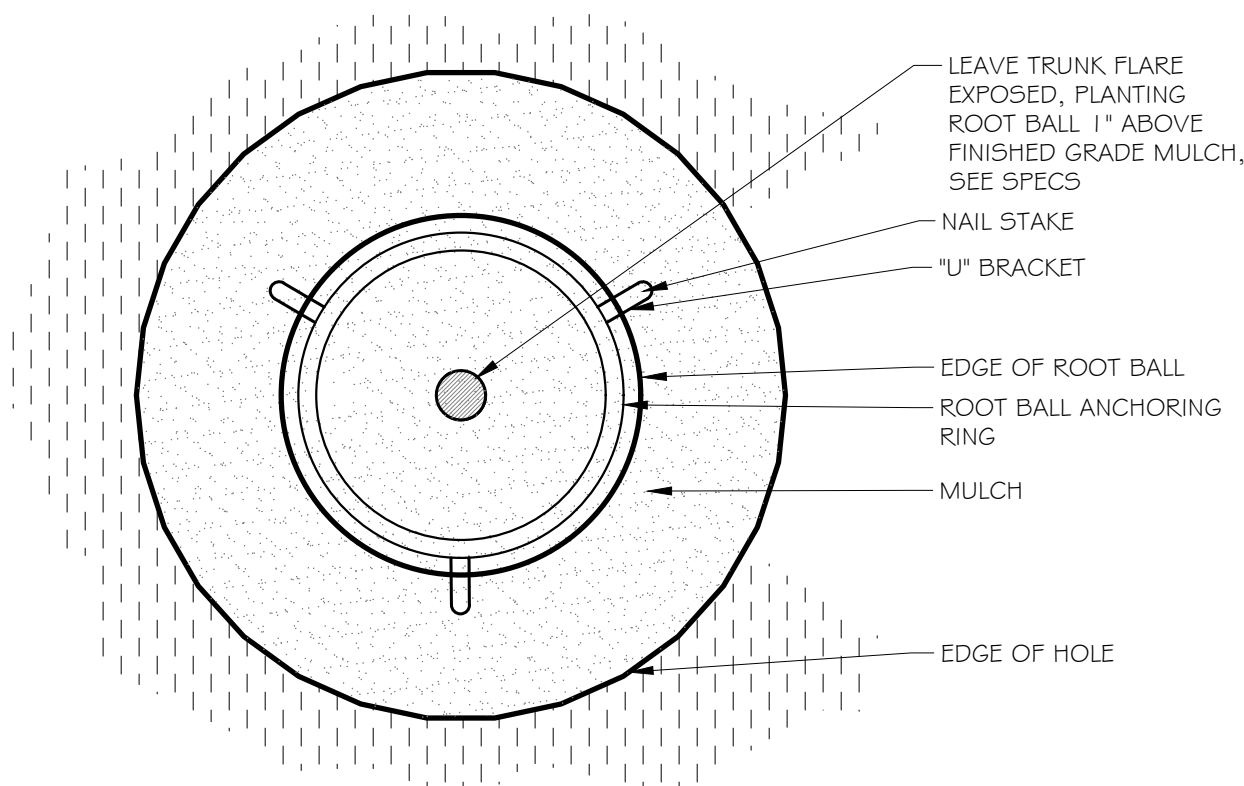
ENLARGEMENT PLANTING PLANS
PARKWAY LOFTS
LOTS 1, 2, 3, 4, 1X, 2X, 3X, & 4X
PARKWAY DISTRICT ADDITION (20.859 ACRES)
CITY OF CORINTH, DENTON COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
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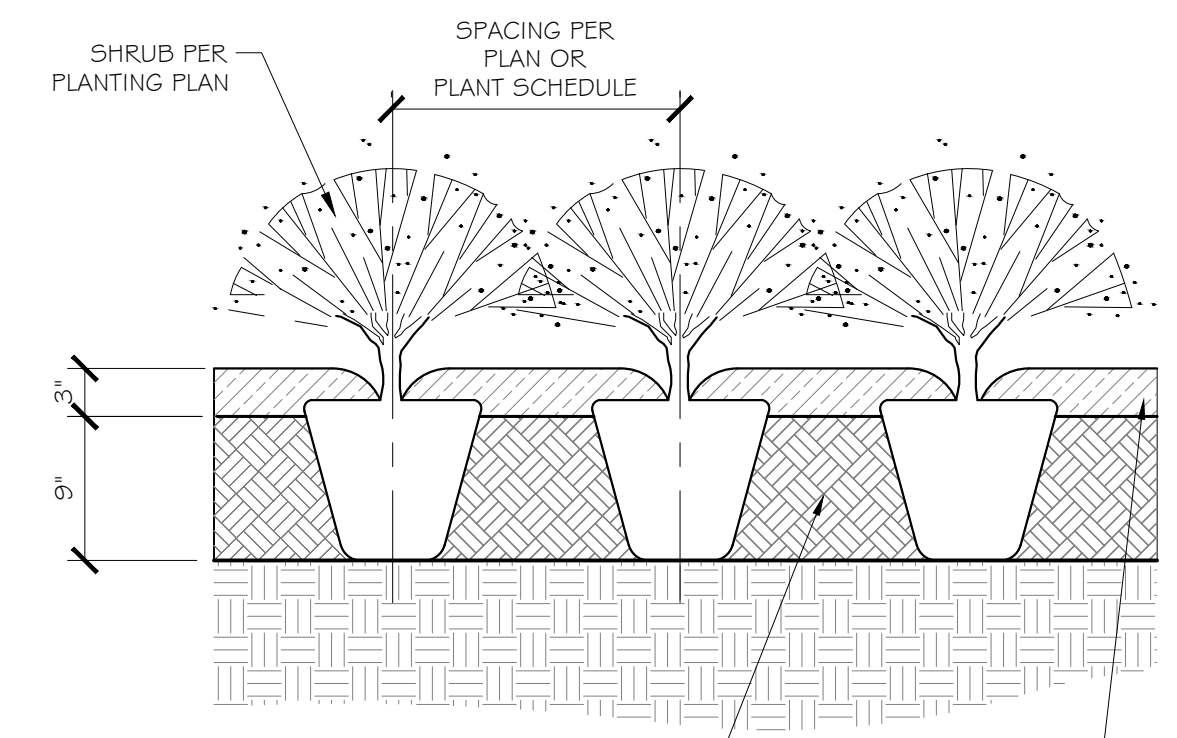


TX REG. ENGINEERING FIRM F-469
TX REG. SURVEYING FIRM LS-10008000

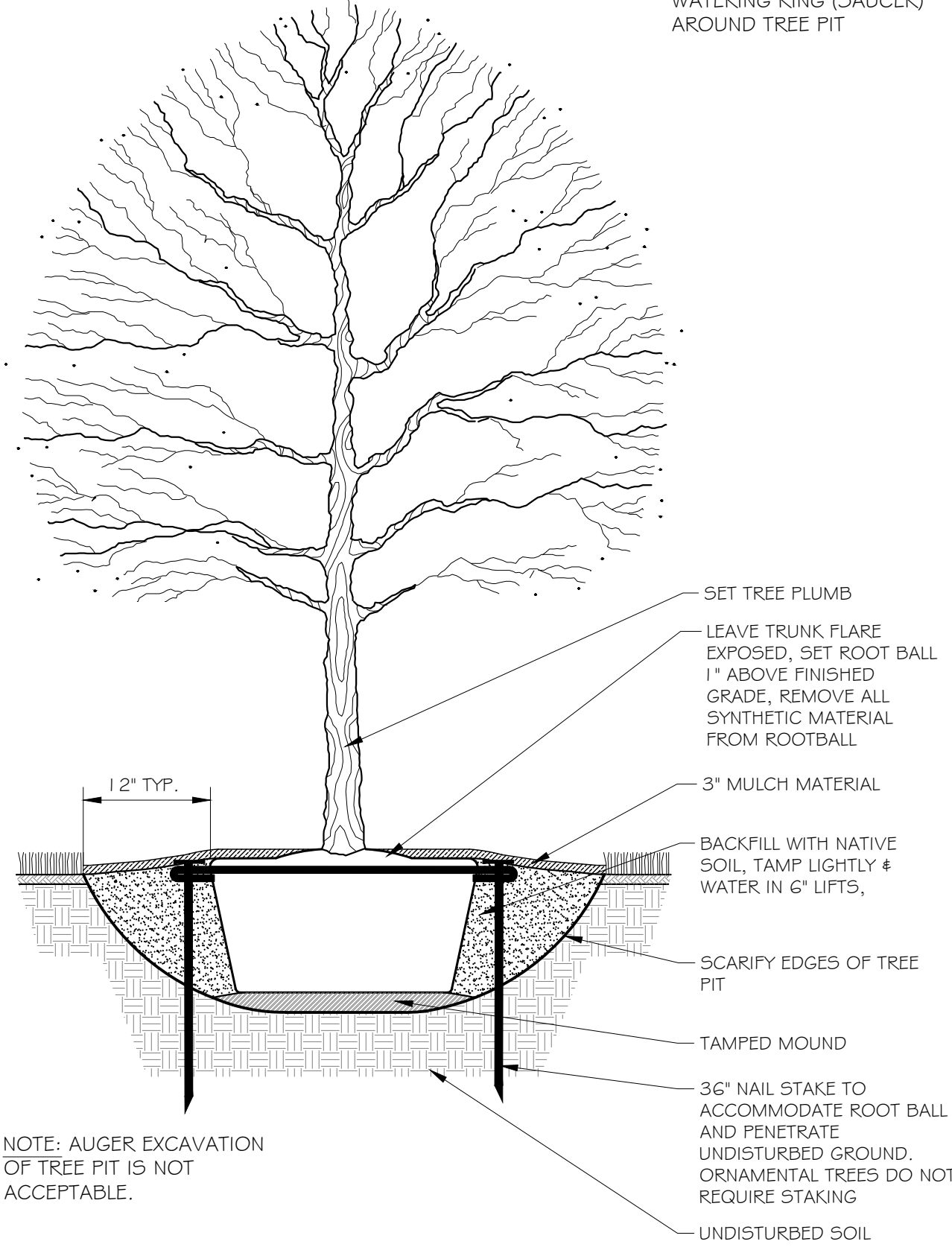
NOT FOR CONSTRUCTION



NOTE: DO NOT CREATE WATERING RING (SAUCER) AROUND TREE PIT

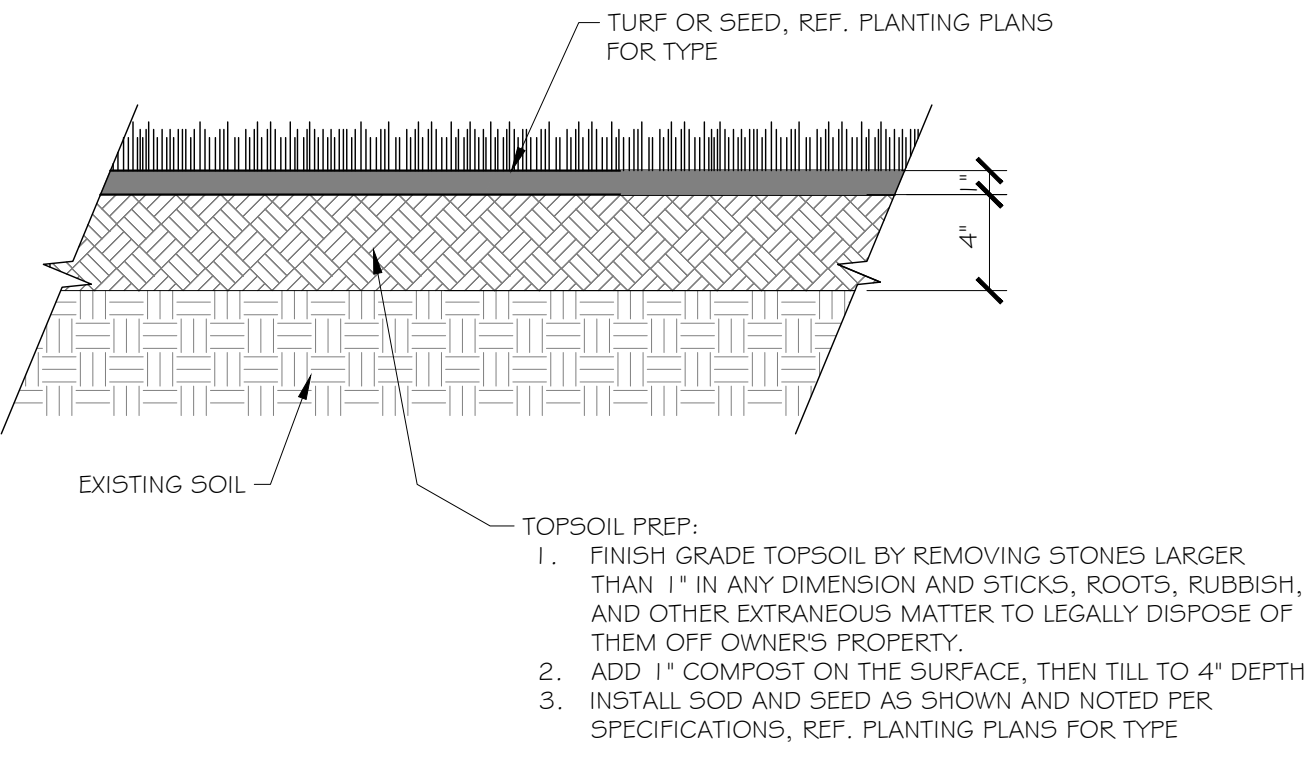


- PLANTING SOIL IN SHRUB BEDS:
- EXCAVATE EXISTING SOILS 4" BELOW ADJACENT CURB OR SIDEWALK.
 - ADD 3" COMPOST & TILL INTO 6" EXISTING SOILS, CREATING 9" PLANTING SOIL.
 - ADD 3" MULCH AFTER PLANTING



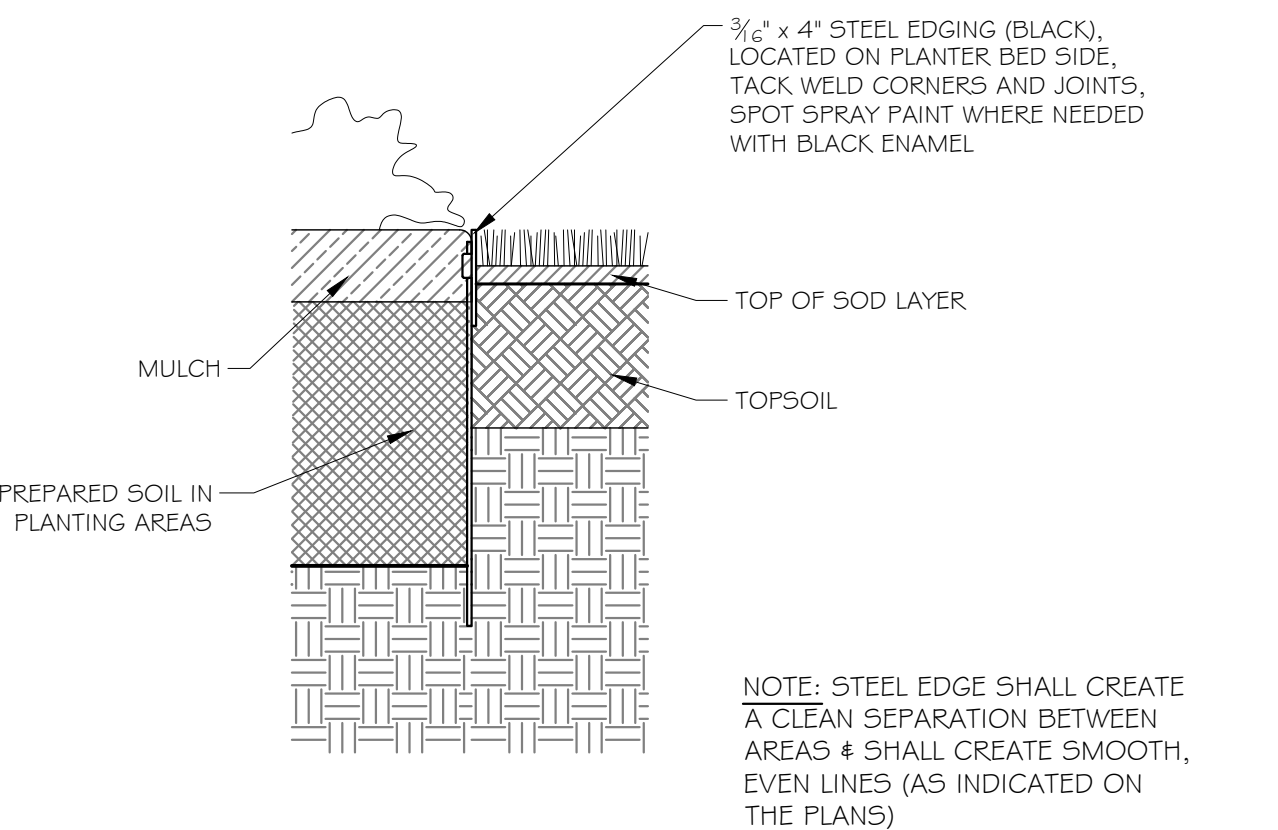
NOTE: AUGER EXCAVATION OF TREE PIT IS NOT ACCEPTABLE.

2 TYP. SHRUB PLANTING
1" = 1'-0"



3 SOIL PROFILE FOR SOD & SEED
1 1/2" = 1'-0"

1 CANOPY TREE W/ UNDERGROUND STAKES
3/4" = 1'-0"



4 STEEL EDGING AT PLANTING
1 1/2" = 1'-0"

PLANT SCHEDULE

2023-07-06 16:54

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE/COND.	REMARKS	
	QMA	37	QUERCUS MACROCARPA BURR OAK	4" CAL / CONT	SINGLE, STRAIGHT LEADER, MATCHING	
	QH	86	QUERCUS VIRGINIANA 'HIGH RISE' HIGH RISE LIVE OAK	4" CAL / CONT	SINGLE, STRAIGHT LEADER, MATCHING	
	TD	54	TAXODIUM DISTICHUM BALD CYPRESS	4" CAL / CONT	SINGLE, STRAIGHT LEADER, MATCHING	
	UA	64	ULMUS PARVIFOLIA 'ALLEE' ALLEE ELM	4" CAL / CONT	SINGLE, STRAIGHT LEADER, MATCHING	
ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE/COND.	REMARKS	
	CCF	30	CERCIS CANADENSIS 'FOREST PANSY' TM FOREST PANSY REDBUD	3" CAL. / CONT.	SINGLE, STRAIGHT LEADER, MATCHING	
	VC	8	VITEX AGNUS-CASTUS 'SHOAL CREEK' CHASTE TREE	3" CAL. / CONT.	MULTI-TRUNK, FULL, MATCHING	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	REMARKS
	BG	77	BUXUS X 'GLENCOE' CHICAGOLAND GREEN BOXWOOD	5 GAL	36" o.c.	FULL, MATCHING
	ID	403	ILEX CORNUTA 'DWARF BURFORD' DWARF BURFORD HOLLY	5 GAL	48" o.c.	FULL, MATCHING
	ILN	55	ILEX X 'NELLIE R STEVENS' NELLIE STEVENS HOLLY	7 GAL	72" o.c.	FULL, MATCHING
	LC	291	LEUCOPHYLLUM CANDIDUM 'COMPACTA' DWARF TEXAS SAGE	3 GAL	36" o.c.	FULL, MATCHING
	LS2	110	LIGUSTRUM SINENSE 'SUNSHINE' SUNSHINE CHINESE PRIVET	5 GAL	48" o.c.	FULL, MATCHING
	LP	110	LOROPETALUM CHINENSE 'PIPA'S RED' RED CHINESE FRINGE FLOWER	5 GAL	48" o.c.	FULL, MATCHING
	SEP	178	SECREASEA PURPUREA PURPLE HEART	3 GAL	24" o.c.	FULL, MATCHING
	TG	16	TAXUS X MEDIA 'STONEHENGE SKINNY' STONEHENGE SKINNY YEW	5 GAL	24" o.c.	FULL, MATCHING
VINE/ESPALIER	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	REMARKS
	CAR	52	CAMPISIS RADICANS TRUMPET CREEPER	5 GAL	60" o.c.	FULL, MATCHING
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	REMARKS
	EFC	2,467	EUONYMUS FORTUNEI 'COLORATUS' COLORATUS PURPLE WINTERCREEPER	4"POT	18" o.c.	FULL, MATCHING
	LM	2,387	LIRIOPE MUSCARI 'BIG BLUE' LILY TURF	1 GAL	18" o.c.	FULL, MATCHING
	NT	3,861	NASSELLA TENUISSIMA MEXICAN FEATHER GRASS	1 GAL	12" o.c.	FULL, MATCHING
	SS	870	SEASONAL COLOR SEASONAL COLOR	4"POT	8" o.c.	FULL, MATCHING
	TRA	8,346	TRACHELOSPERMUM ASIATICUM ASIAN JASMINE	1 GAL	12" o.c.	FULL, MATCHING
	VH	1,148	VERBENA X HYBRIDA 'HOMESTEAD' PURPLE SPREADER GARDEN VERBENA	1 GAL	24" o.c.	FULL, MATCHING
SOD/SEED	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	REMARKS
	CD	36,243 5F	CYNODON DACTYLON BERMUDA GRASS	SOD		SOLID, ROLLED TIGHT, SAND FILLED JOINTS, 100% WEED, PEST AND DISEASE FREE
	NS	128,388 5F	NATIVE AMERICAN SEED MIX	SEED		

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Pacheco Koch a Westwood company
7557 RAMBLER ROAD SUITE 1400 DALLAS, TX 75231 972.235.3031

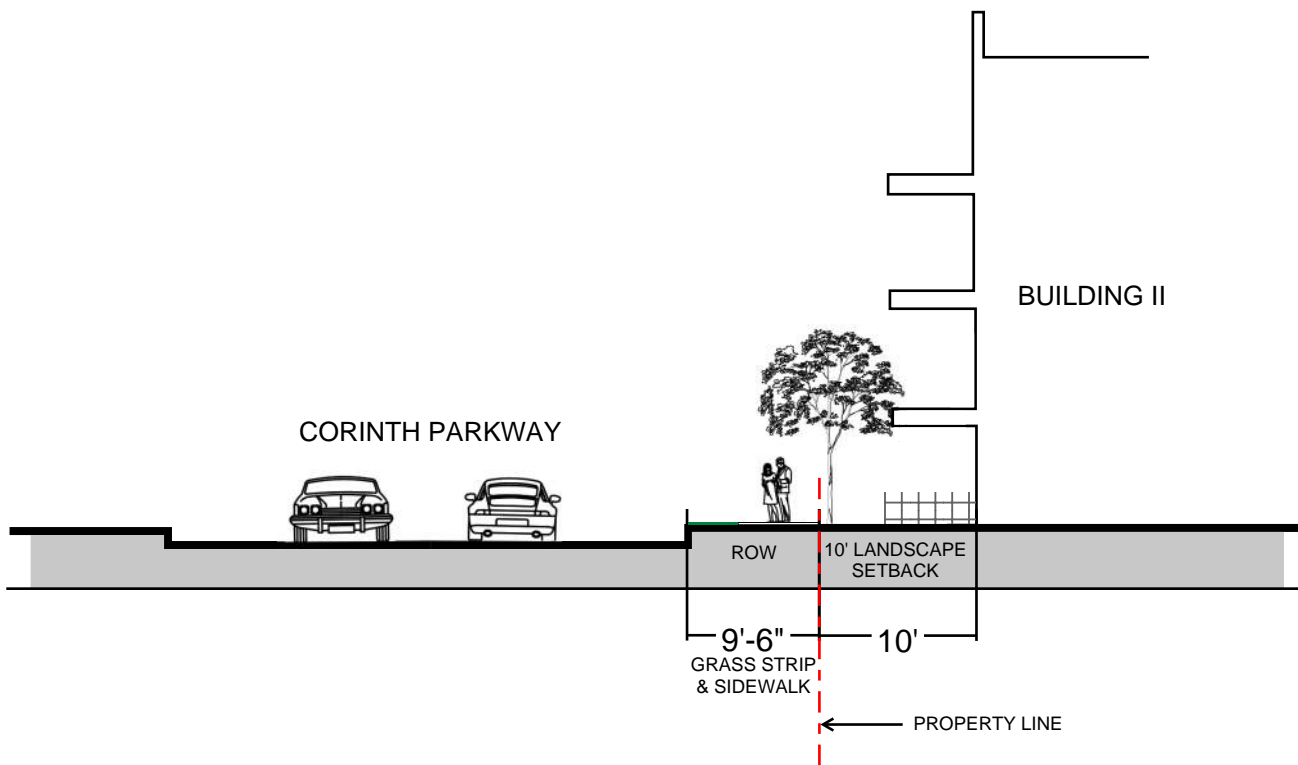
PLANTING DETAILS
PARKWAY LOFTS
LOTS 1, 2, 3, 4, 1X, 2X, 3X, & 4X
PARKWAY DISTRICT ADDITION (20.859 ACRES)
CITY OF CORINTH, DENTON COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
SRR	SRR	JULY 2023	AS SHOWN			L3.04

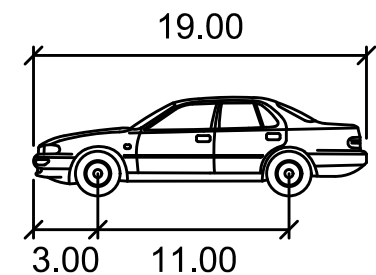
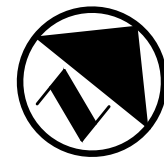
TX REG. ENGINEERING FIRM F-469
TX REG. SURVEYING FIRM LS-10008000

NOT FOR CONSTRUCTION

PARKWAY LOFTS SITE PLAN
CASE NO. SPC23-0001
ATTACHMENT 3: CROSS-SECTION OF CORINTH
PARKWAY/STREETScape/BUILDING FAÇADE



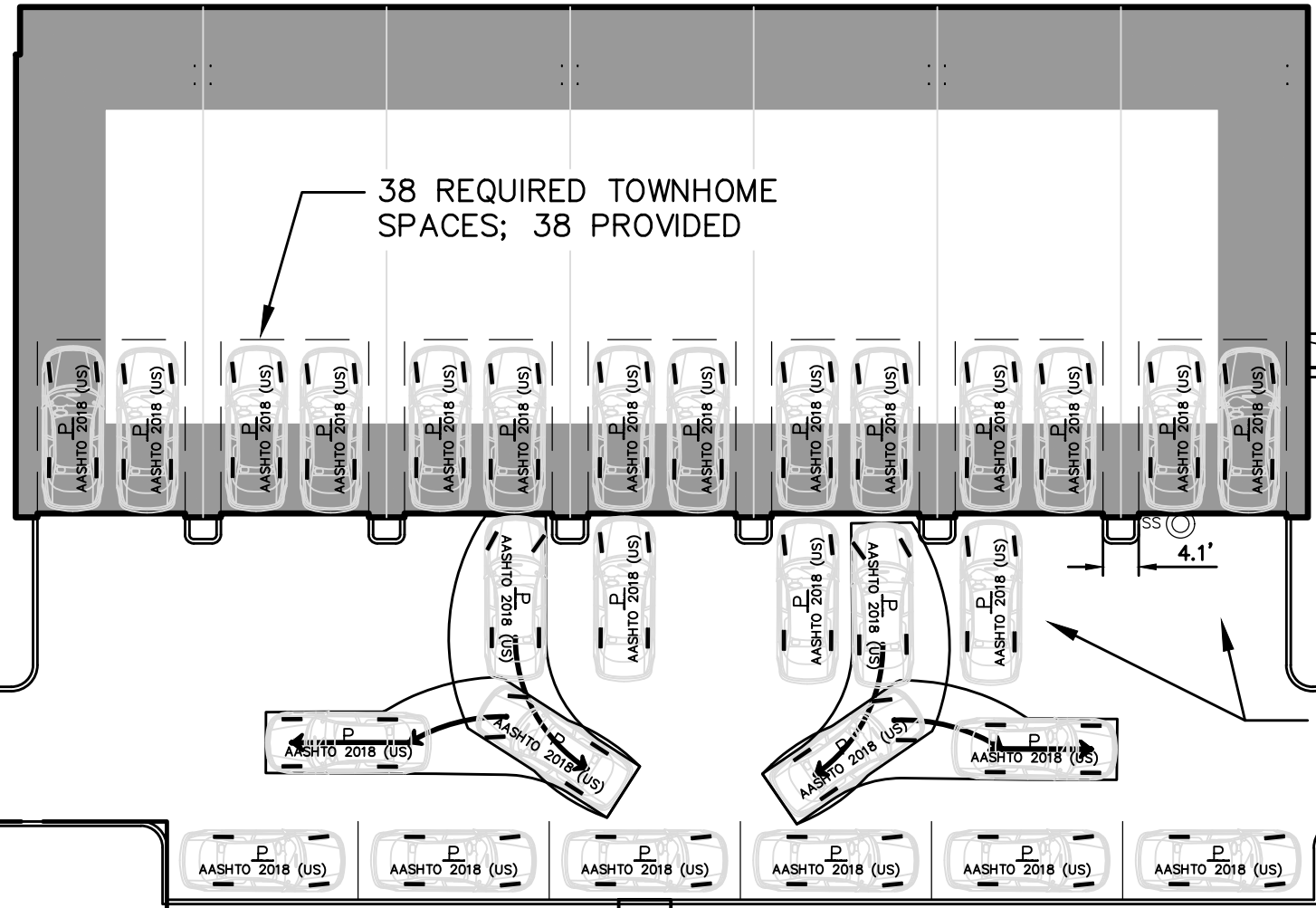
PARKWAY LOFTS SITE PLAN
CASE NO. SPC23-0001
ATTACHMENT 4: AUTOTURN PARKING EXHIBIT –
PARKING IN ALLEY TO REAR OF 2-STORY
MULTIFAMILY



P

	feet
Width	: 7.00
Track	: 6.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.6

38 REQUIRED TOWNHOME SPACES; 38 PROVIDED



TOWNHOME VISITOR SPACES

TOP OF POND

EXHIBIT 'A'
TOWNHOME PARKING



7557 RAMBLER ROAD SUITE 1400
DALLAS, TX 75231
972.235.3031

DRAWN BY ESW	CHECKED BY TBB	SCALE 1"=20'	DATE 06/19/2023	JOB NUMBER 5299-22.218
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ESWALLACE 6/19/2023 4:35 PM
M:\DWG-52\5299-22.218\DWG\CIVIL C3D 2018\PKCE EXHIBITS.DWG

PARKWAY LOFTS

**PARKWAY LOFTS SITE PLAN
CASE NO. SPC23-0001
ATTACHMENT 5: RENDERINGS**

CONCEPT PACKAGE

**CORINTH
MULTIFAMILY**

CORINTH

TX

JUNE 09, 2023

**5G STUDIO
COLLABORATIVE**



5GSTUDIO.COM

1217 MAIN STREET | SUITE 500

DALLAS | TX

75202

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VIEW OF UPDATED PRIVACY WOOD FENCE AT GROUND LEVEL

CORINTH MULTIFAMILY

CONCEPTUAL RENDERINGS

CORINTH | TX





Section H, Item 5.



VIEW OF UPDATED PRIVACY WOOD FENCE AT GROUND LEVEL / CLOSE- UP

CORINTH MULTIFAMILY

CONCEPTUAL RENDERINGS

CORINTH | TX

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5GSTU 128

APRIL 12, 2023

1217 Main Street | suite 500 | Dallas | TX | 75202









**5G STUDIO
ARCHITECTURE**

1217 MAIN st.
Suite 500
Dallas, TX 75202
214 670 0050

**PARKWAY LOFTS SITE PLAN
CASE NO. SPC23-0001
ATTACHMENT 6: ELEVATIONS**



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 414.426.2479 | Alex Brown
 abrown@realtycapital.com

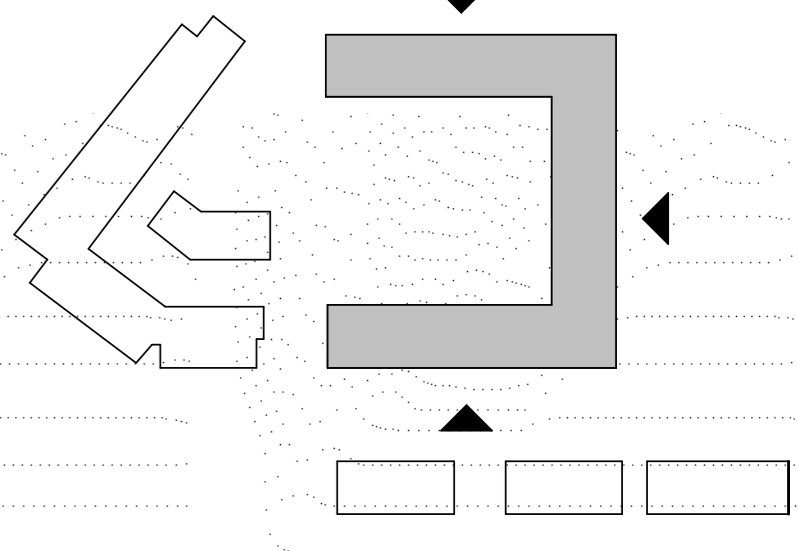
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 972.619.5770 | Chris Sutton
 chris@suttonetridge.com



REV.	DATE	ISSUE TITLE

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Parkway Lofts
BUILDING I - ELEVATIONS

Material Percentages: Building I
South Elevation: Class 1

Material	Percentage	Total	
Brick	76%	100%	Masonry
Stucco	24%		
Total (%)	100%	100%	

Material Percentages: Building I
East Elevation: Class 1

Material	Percentage	Total	
Brick	75%	93%	Masonry
Stucco	17%		
Cementitious Siding	7%	7%	
Total (%)	100%	93%	

Material Percentages: Building I
North Elevation: Class 1

Material	Percentage	Total	
Brick	78%	94%	Masonry
Stucco	16%		
Cementitious Siding	6%	6%	
Total (%)	100%	94%	



3 Building I - Elevation - South
 1/16" = 1'-0"



2 Building I - Elevation - East
 1/16" = 1'-0"



1 Building I - Elevation - North
 1/16" = 1'-0"



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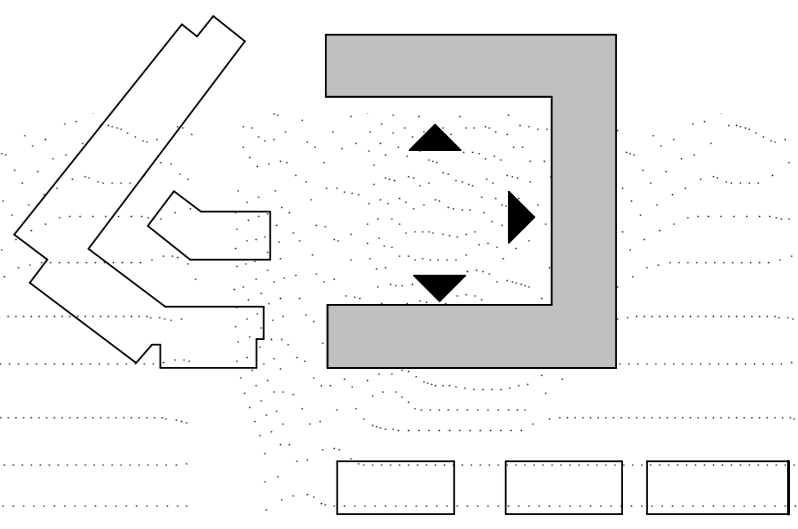
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 josh.jezek@westwoodps.com

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 5600 Tennyson Pkwy Suite 240 Plano, TX 75024
 972.619.5770 | Chris Sutton
 chris@suttonetridge.com



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Parkway Lofts

BUILDING I - ELEVATIONS

Material Percentages: Building I
Courtyard South Elevation: Class 2

Material	Percentage	Total	
Brick	22%	47%	Masonry
Stucco	26%		
Cementitious Siding	47%	53%	
Cementitious Panel	6%		
Total (%)	100%	100%	

Material Percentages: Building I
Courtyard West Elevation: Class 2

Material	Percentage	Total	
Brick	24%	49%	Masonry
Stucco	25%		
Cementitious Siding	45%	51%	
Cementitious Panel	6%		
Total (%)	100%	100%	

Material Percentages: Building I
Courtyard North Elevation: Class 2

Material	Percentage	Total	
Brick	23%	66%	Masonry
Stucco	43%		
Cementitious Siding	31%	34%	
Cementitious Panel	3%		
Total (%)	100%	100%	



3 Building I - Elevation - Courtyard South
 1/16" = 1'-0"



2 Building I - Elevation - Courtyard West
 1/16" = 1'-0"



1 Building I - Elevation - Courtyard North
 1/16" = 1'-0"



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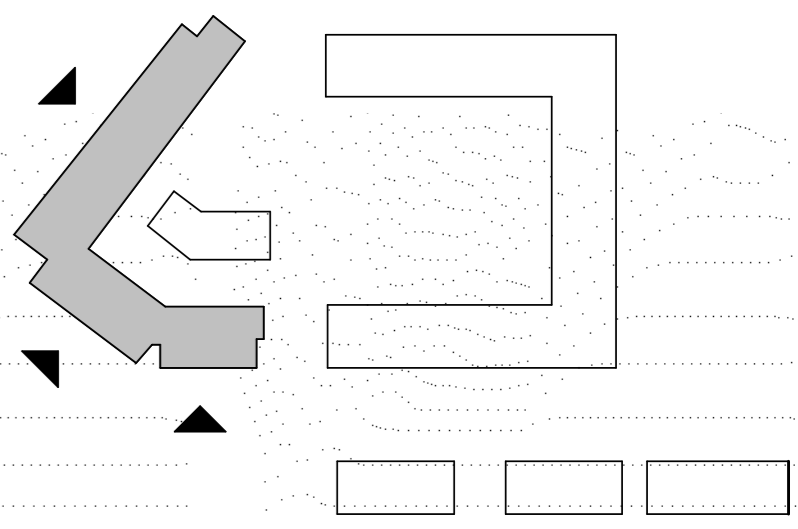
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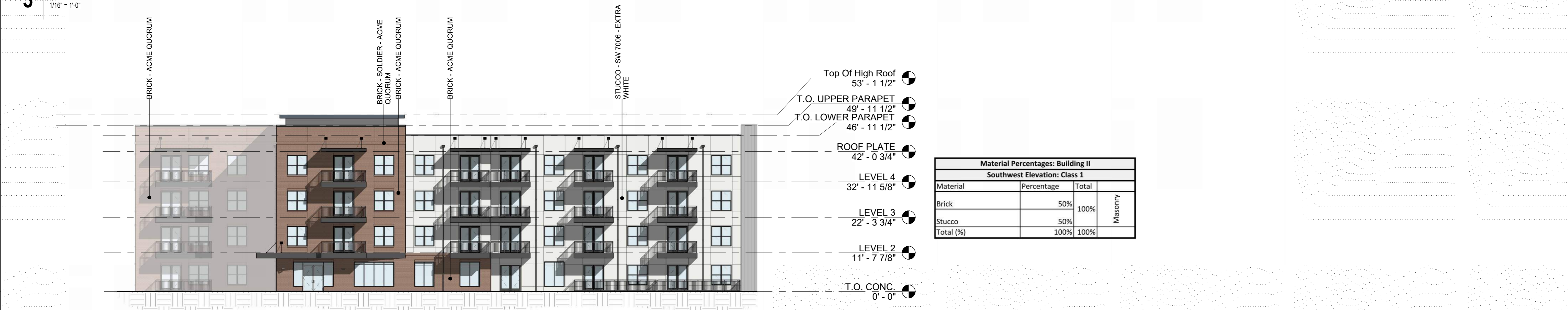
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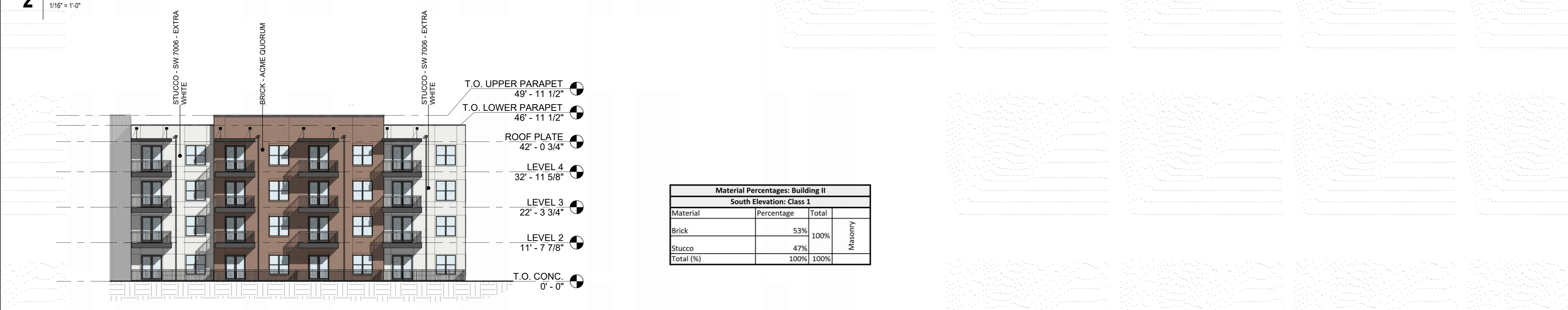
Parkway Lofts
BUILDING II - ELEVATIONS



3 Building II - Elevation - Northwest
 1/16" = 1'-0"



2 Building II - Elevation - Southwest
 1/16" = 1'-0"



1 Building II - Elevation - South
 1/16" = 1'-0"



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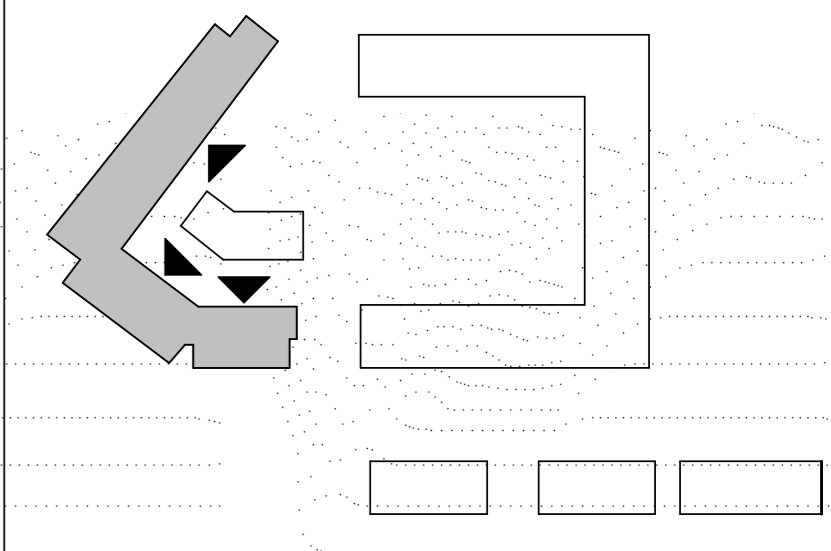
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Parkway Lofts

BUILDING II - ELEVATIONS

AMF105 PROJECT NUMBER 13 SHEET NUMBER

- T.O. UPPER PARAPET 49' - 11 1/2"
- T.O. LOWER PARAPET 46' - 11 1/2"
- ROOF PLATE 42' - 0 3/4"
- LEVEL 4 32' - 11 5/8"
- LEVEL 3 22' - 3 3/4"
- LEVEL 2 11' - 7 7/8"
- T.O. CONC. 0' - 0"

Material Percentages: Building II			
Courtyard North Elevation: Class 2			
Material	Percentage	Total	
Brick	23%	54%	Masonry
Stucco	31%		
Cementitious Siding	46%	46%	
Total (%)	100%	100%	

3 Building II - Elevation - Courtyard North
 1/16" = 1'-0"



Material Percentages: Building II			
Courtyard Northeast Elevation: Class 2			
Material	Percentage	Total	
Brick	21%	58%	Masonry
Stucco	37%		
Cementitious Siding	42%	42%	
Total (%)	100%	100%	

2 Building II - Elevation - Courtyard Northeast
 1/16" = 1'-0"



Material Percentages: Building II			
Courtyard East Elevation: Class 2			
Material	Percentage	Total	
Brick	27%	53%	Masonry
Stucco	26%		
Cementitious Siding	47%	47%	
Total (%)	100%	100%	

1 Building II - Elevation - Courtyard East
 1/16" = 1'-0"



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Material Percentages: Building III
West Elevation: Class 1

Material	Percentage	Total	
Brick	100%	100%	Masonry
Total (%)	100%	100%	

Material Percentages: Building III
East Elevation: Class 1

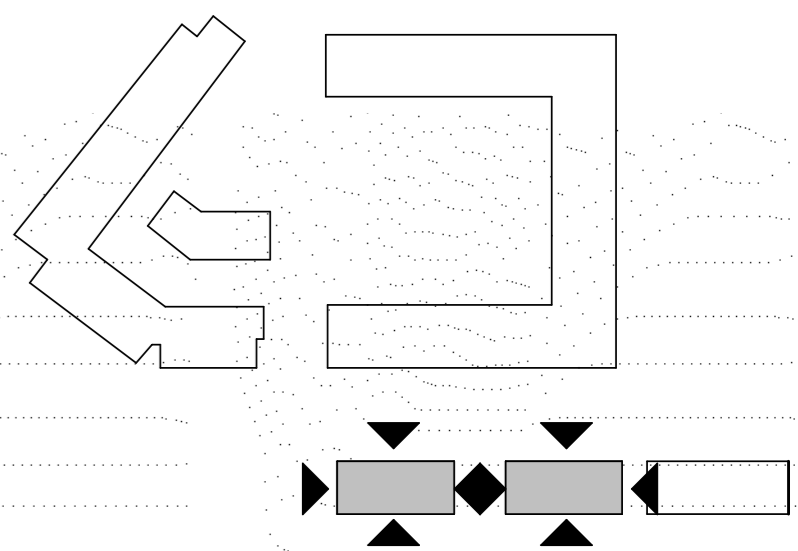
Material	Percentage	Total	
Brick	100%	100%	Masonry
Total (%)	100%	100%	

Material Percentages: Building III
South Elevation: Class 1

Material	Percentage	Total	
Brick	48%	78%	Masonry
Stucco	30%		
Cementitious Panel	22%	22%	
Total (%)	100%	100%	

Material Percentages: Building III
North Elevation: Class 1

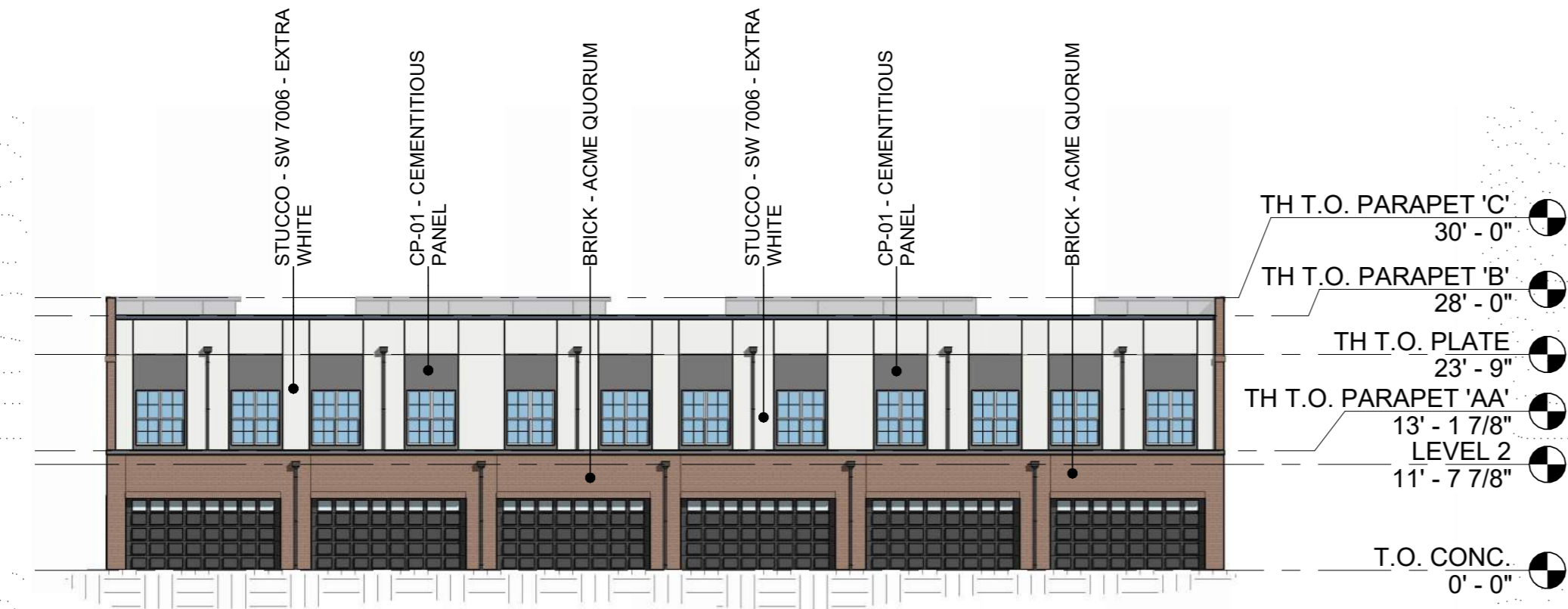
Material	Percentage	Total	
Brick	63%	75%	Masonry
Stucco	12%		
Cementitious Panel	25%	25%	
Total (%)	100%	100%	



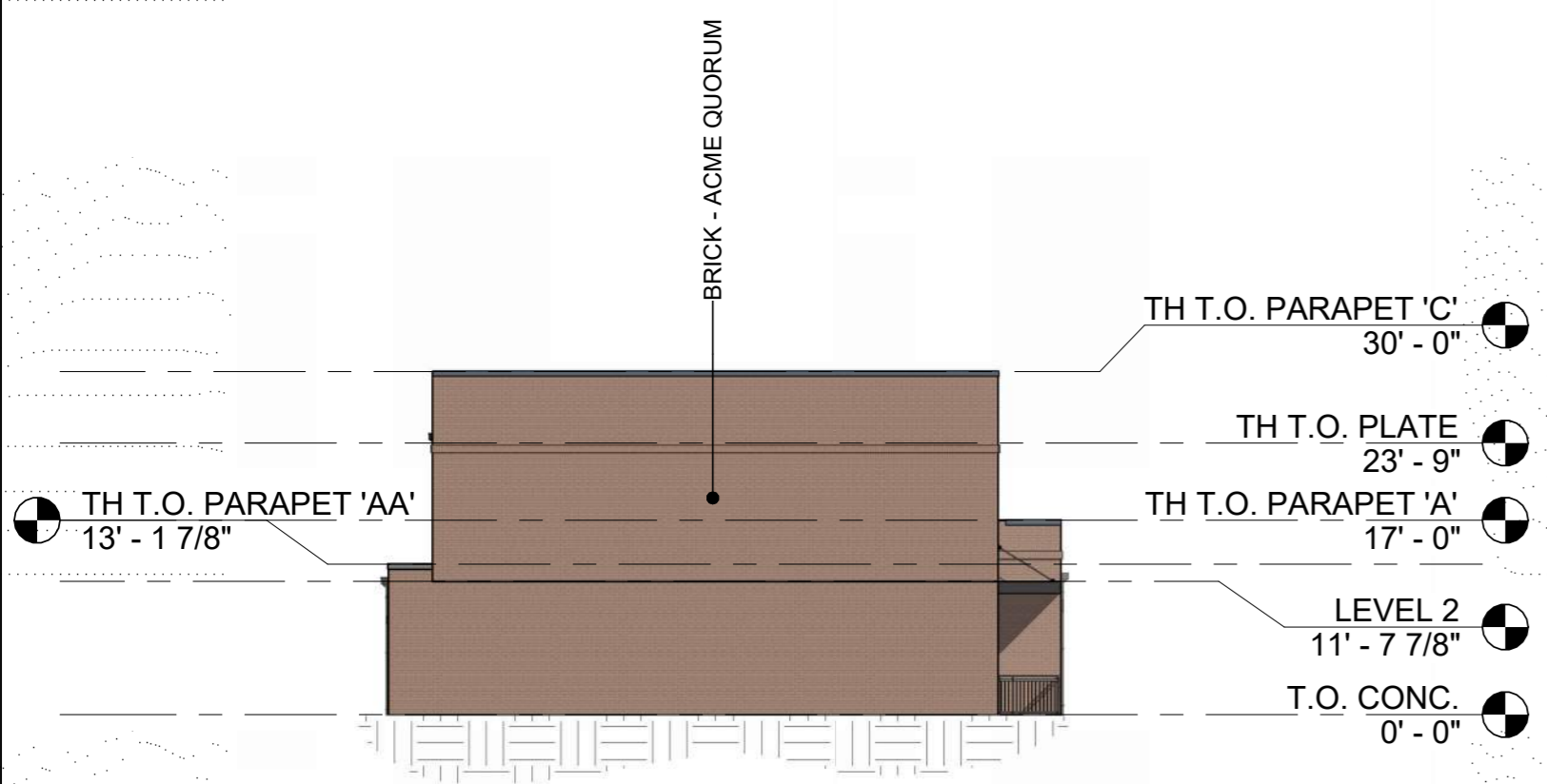
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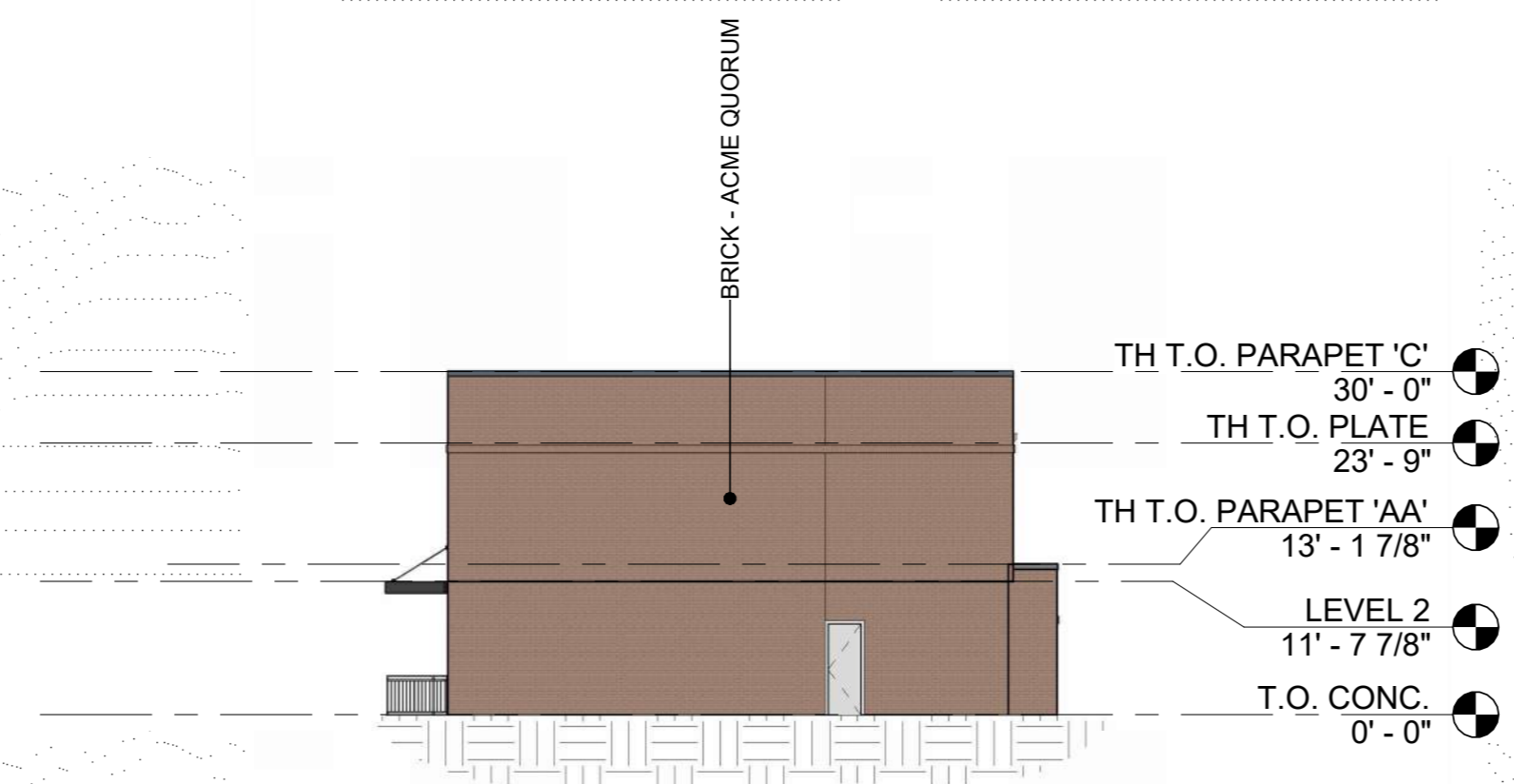
Parkway Lofts
BUILDING III - ELEVATIONS



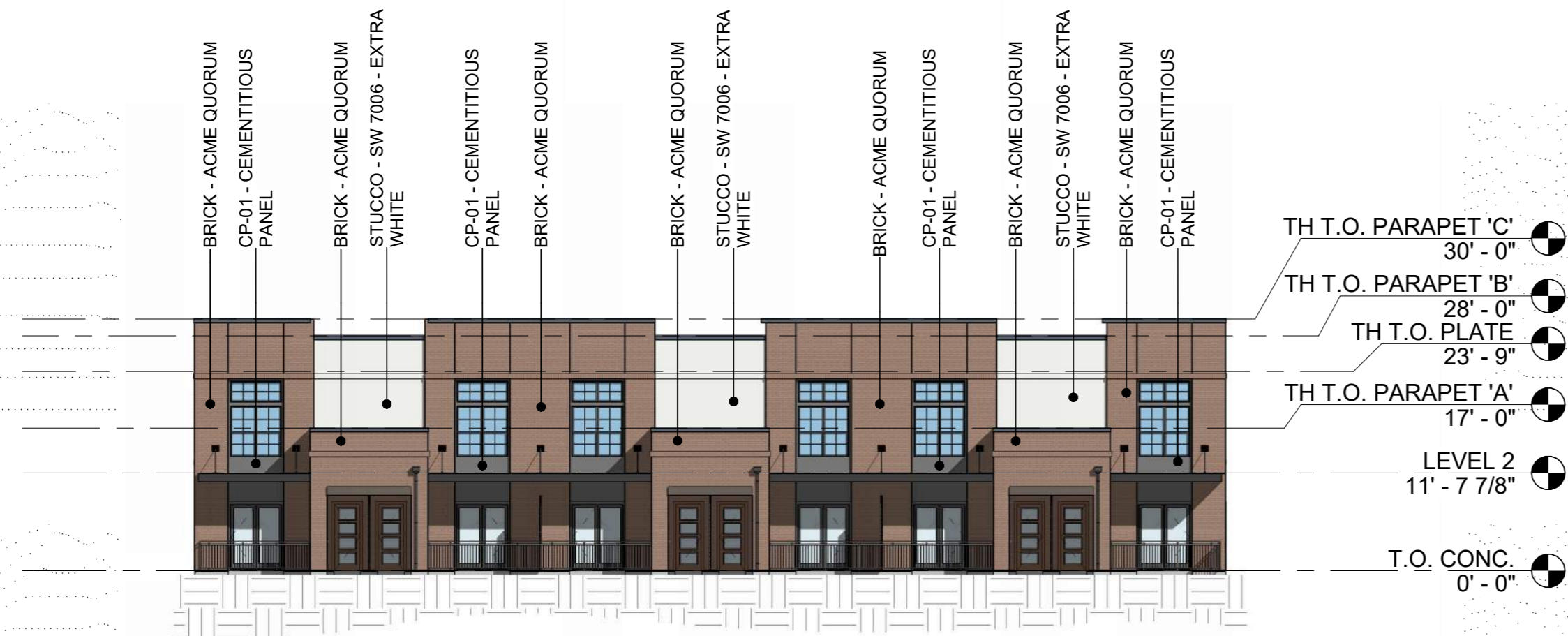
4 Building III - Elevation - South
 1/16" = 1'-0" BUILDING #3 & #4



2 Building III - Elevation - East
 1/16" = 1'-0" BUILDING #3 & #4



3 Building III - Elevation - West
 1/16" = 1'-0" BUILDING #3 & #4



1 Building III - Elevation - North
 1/16" = 1'-0" BUILDING #3 & #4

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Material Percentages: Building IV
West Elevation: Class 1

Material	Percentage	Total	
Brick	100%	100%	Masonry
Total (%)	100%	100%	

Material Percentages: Building IV
East Elevation: Class 1

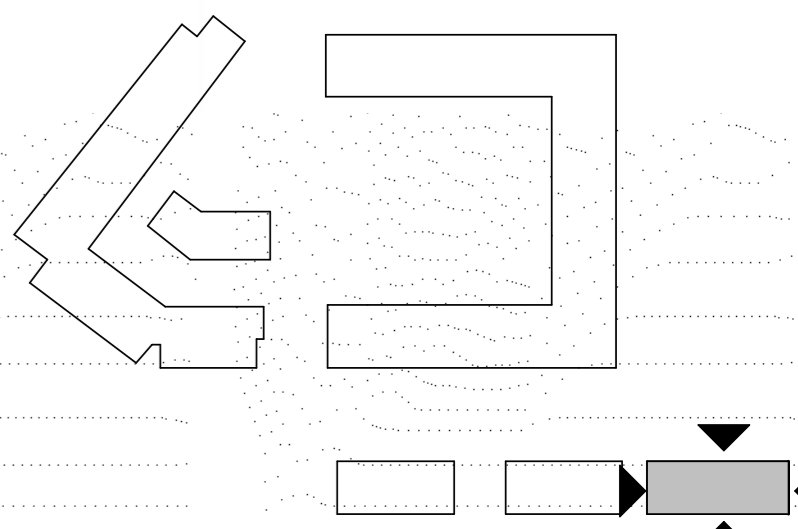
Material	Percentage	Total	
Brick	100%	100%	Masonry
Total (%)	100%	100%	

Material Percentages: Building IV
South Elevation: Class 1

Material	Percentage	Total	
Brick	43%	73%	Masonry
Stucco	29%		
Cementitious Panel	27%	27%	
Total (%)	100%	100%	

Material Percentages: Building IV
North Elevation: Class 1

Material	Percentage	Total	
Brick	63%	75%	Masonry
Stucco	13%		
Cementitious Panel	25%	25%	
Total (%)	100%	100%	



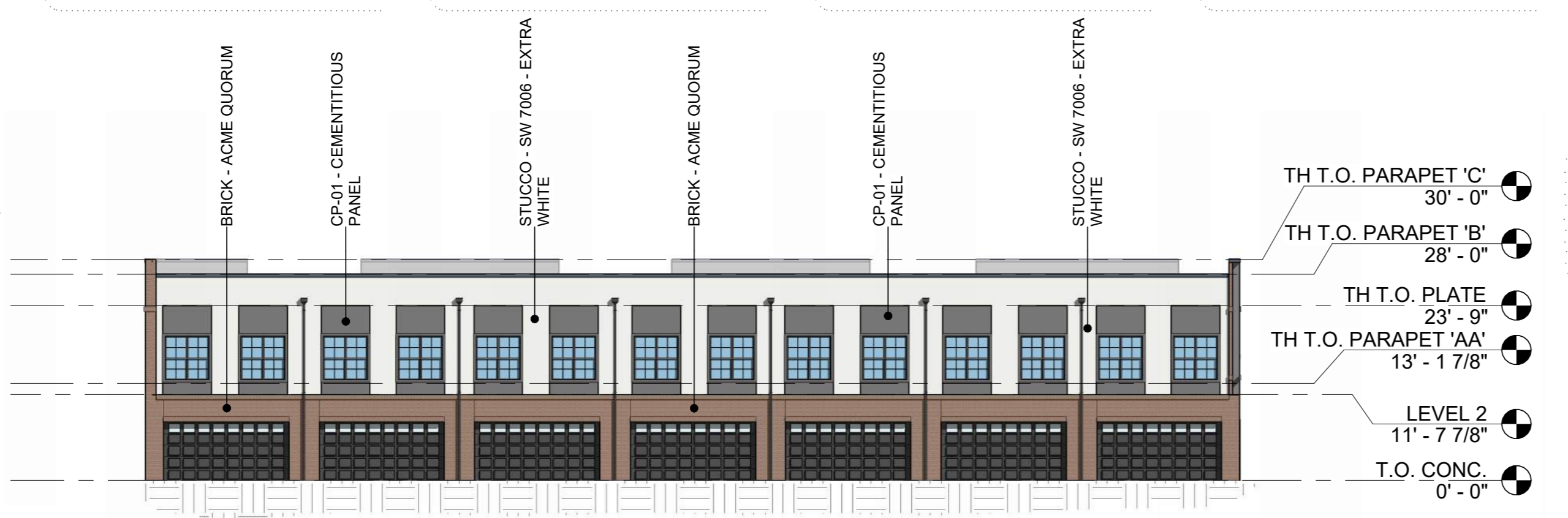
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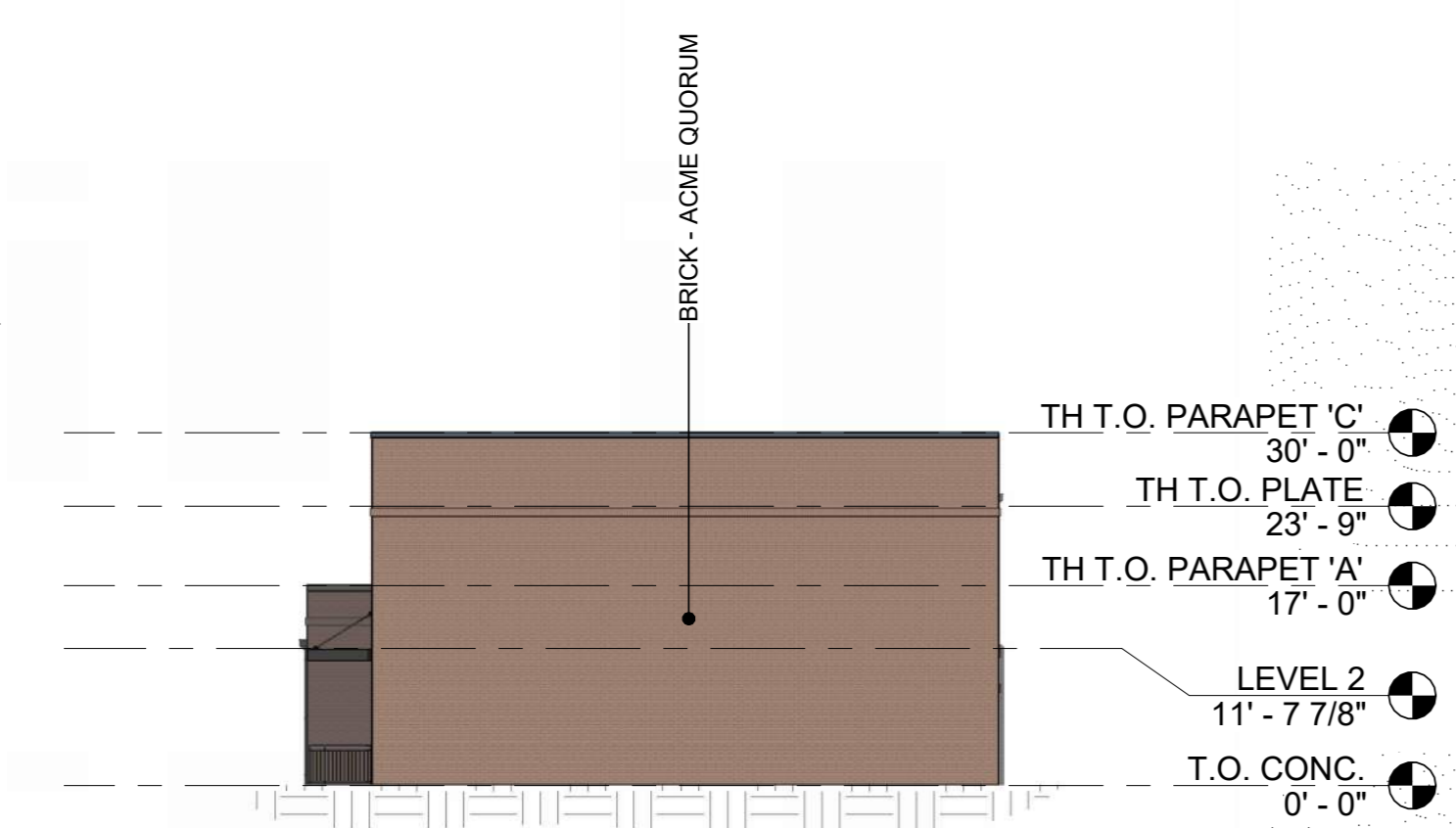
Parkway Lofts

BUILDING IV - ELEVATIONS

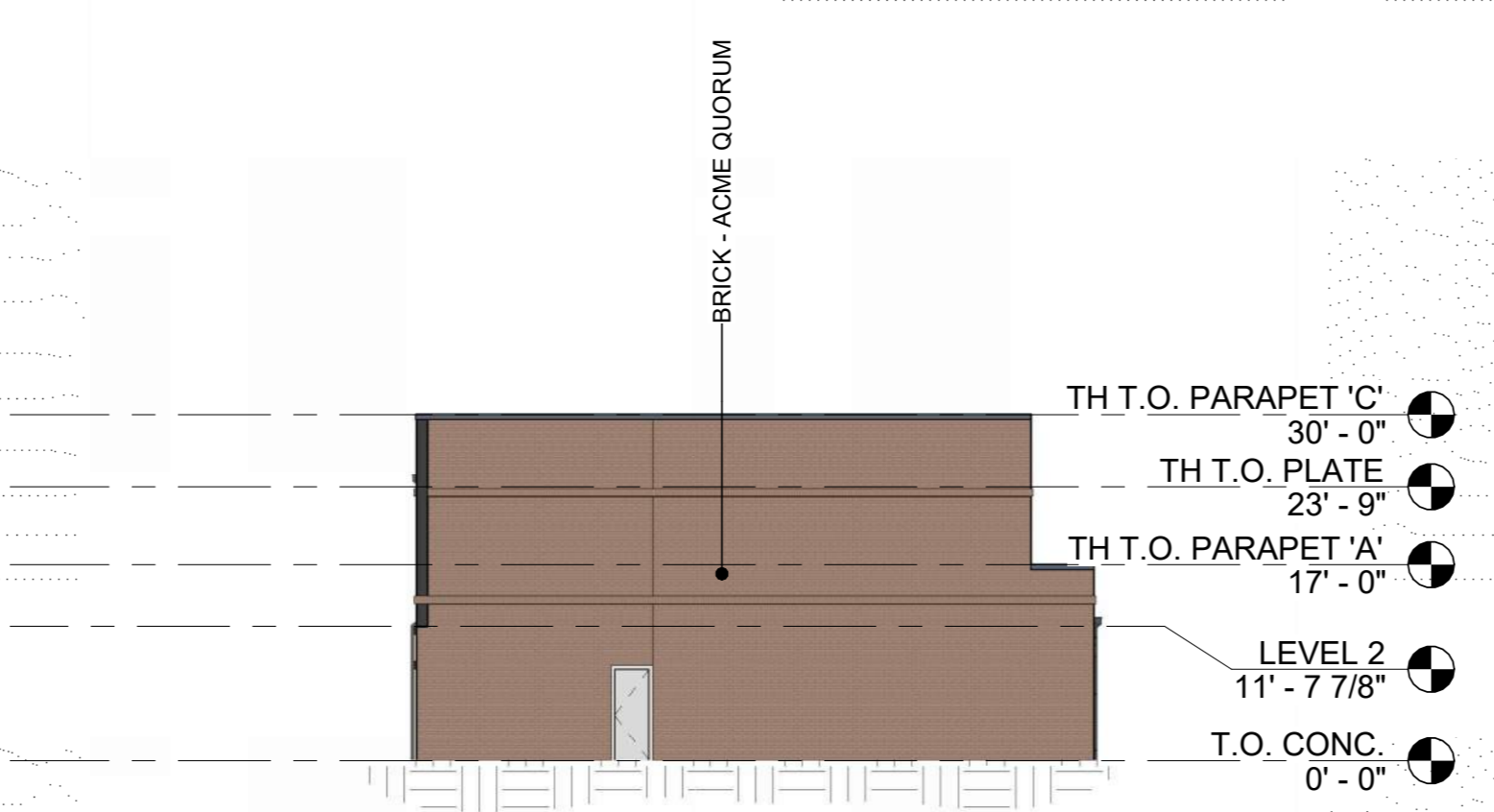
AMF105 PROJECT NUMBER 15 SHEET NUMBER



4 Building IV - Elevation - South
 1/16" = 1'-0"



3 Building IV - Elevation - West
 1/16" = 1'-0"



2 Building IV - Elevation - East
 1/16" = 1'-0"



1 Building IV - Elevation - North
 1/16" = 1'-0"



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Material Percentages: Clubhouse			
East Elevation: Class 1			
Material	Percentage	Total	
Brick	68%	81%	Masonry
Stucco	13%		
Cementitious Panel	19%	19%	
Total (%)	100%	100%	

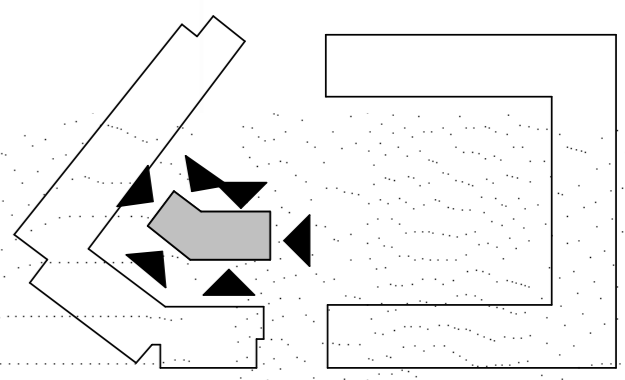
Material Percentages: Clubhouse			
North Elevation: Class 1			
Material	Percentage	Total	
Brick	54%	70%	Masonry
Stucco	15%		
Cementitious Panel	30%	30%	
Total (%)	100%	100%	

Material Percentages: Clubhouse			
Northeast Elevation: Class 1			
Material	Percentage	Total	
Brick	57%	72%	Masonry
Stucco	15%		
Cementitious Panel	28%	28%	
Total (%)	100%	72%	

Material Percentages: Clubhouse			
West Elevation: Class 1			
Material	Percentage	Total	
Brick	56%	69%	Masonry
Stucco	13%		
Cementitious Panel	31%	31%	
Total (%)	100%	100%	

Material Percentages: Clubhouse			
Southwest Elevation: Class 1			
Material	Percentage	Total	
Brick	53%	67%	Masonry
Stucco	15%		
Cementitious Panel	33%	33%	
Total (%)	100%	100%	

Material Percentages: Clubhouse			
South Elevation: Class 1			
Material	Percentage	Total	
Brick	59%	74%	Masonry
Stucco	15%		
Cementitious Panel	26%	26%	
Total (%)	100%	100%	



REV.	DATE	ISSUE TITLE

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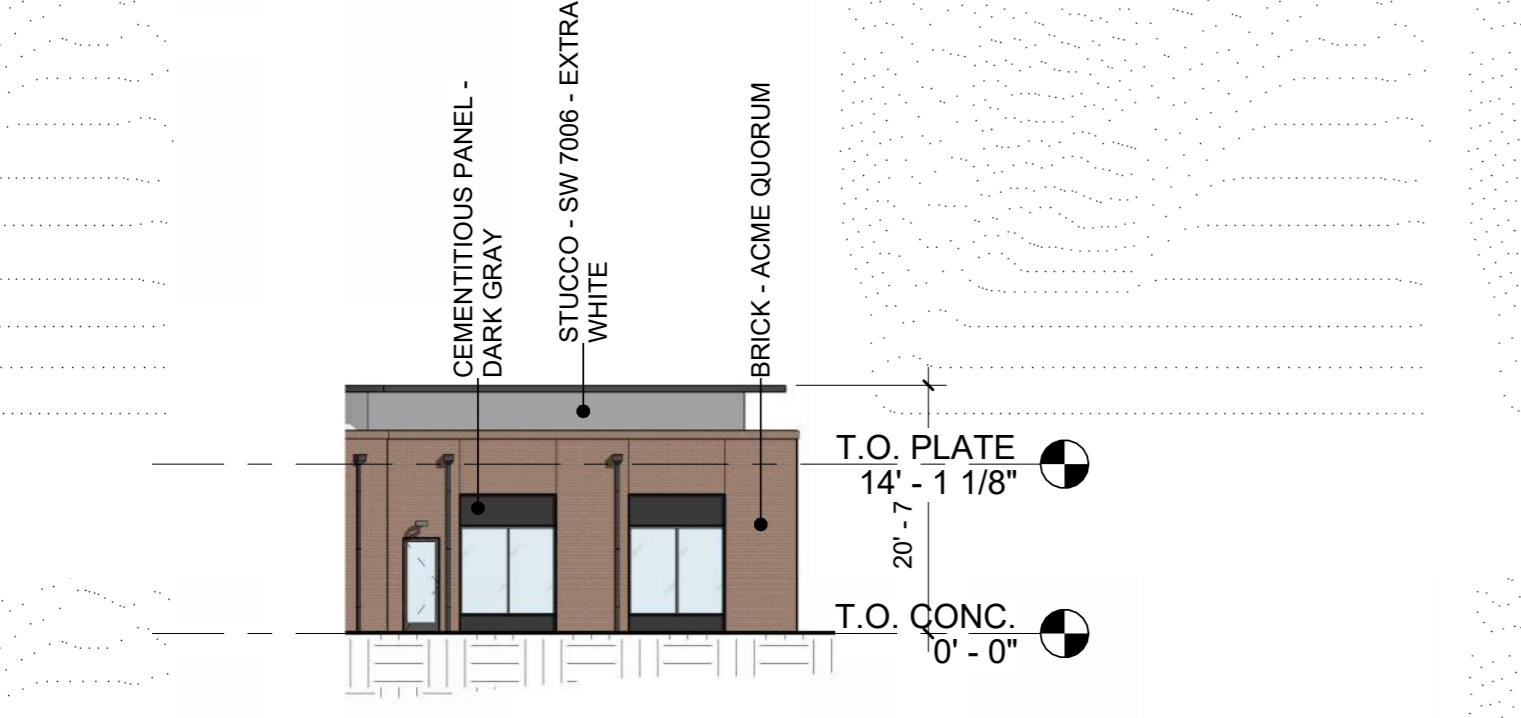
Parkway Lofts
CLUBHOUSE - ELEVATIONS



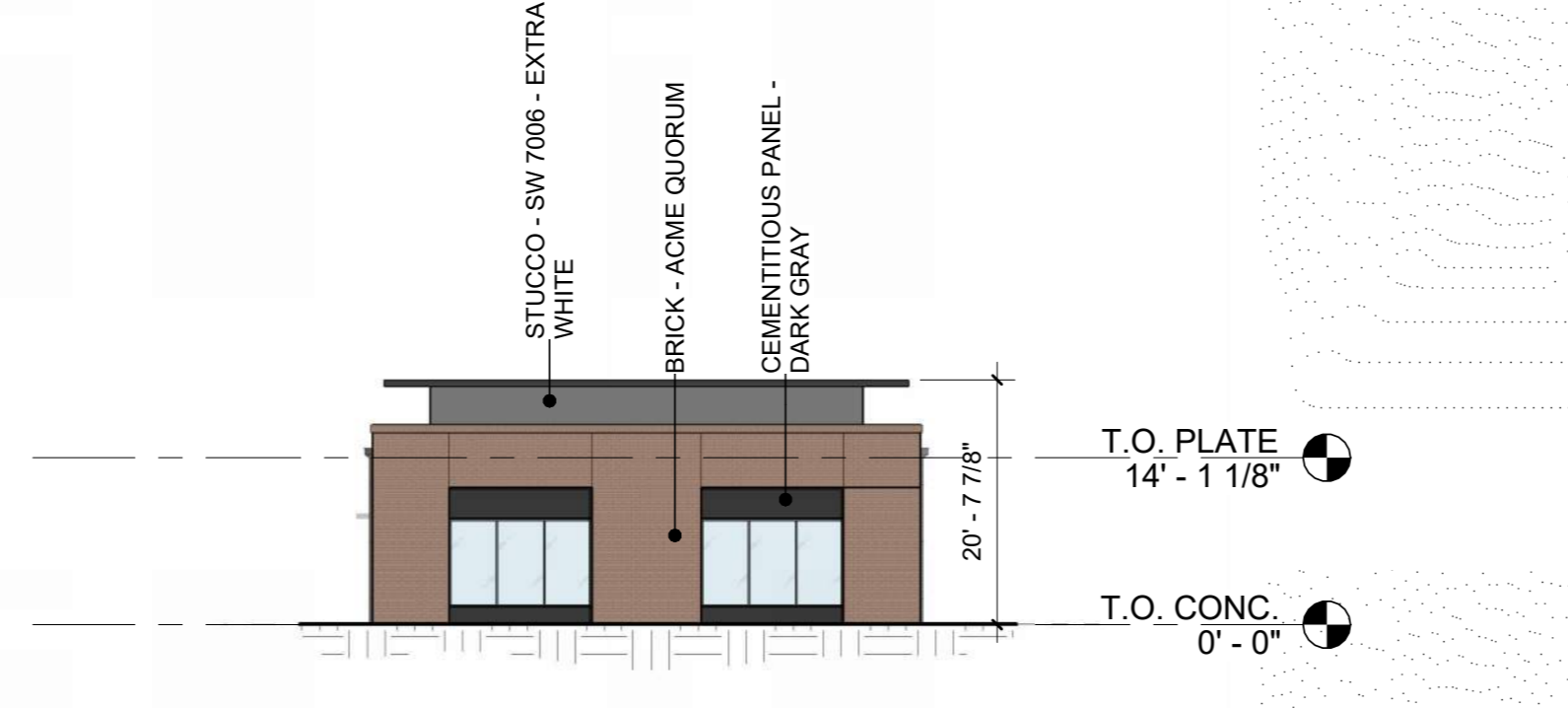
6 Clubhouse - Elevation - East
 1/16" = 1'-0"



5 Clubhouse - Elevation - North
 1/16" = 1'-0"



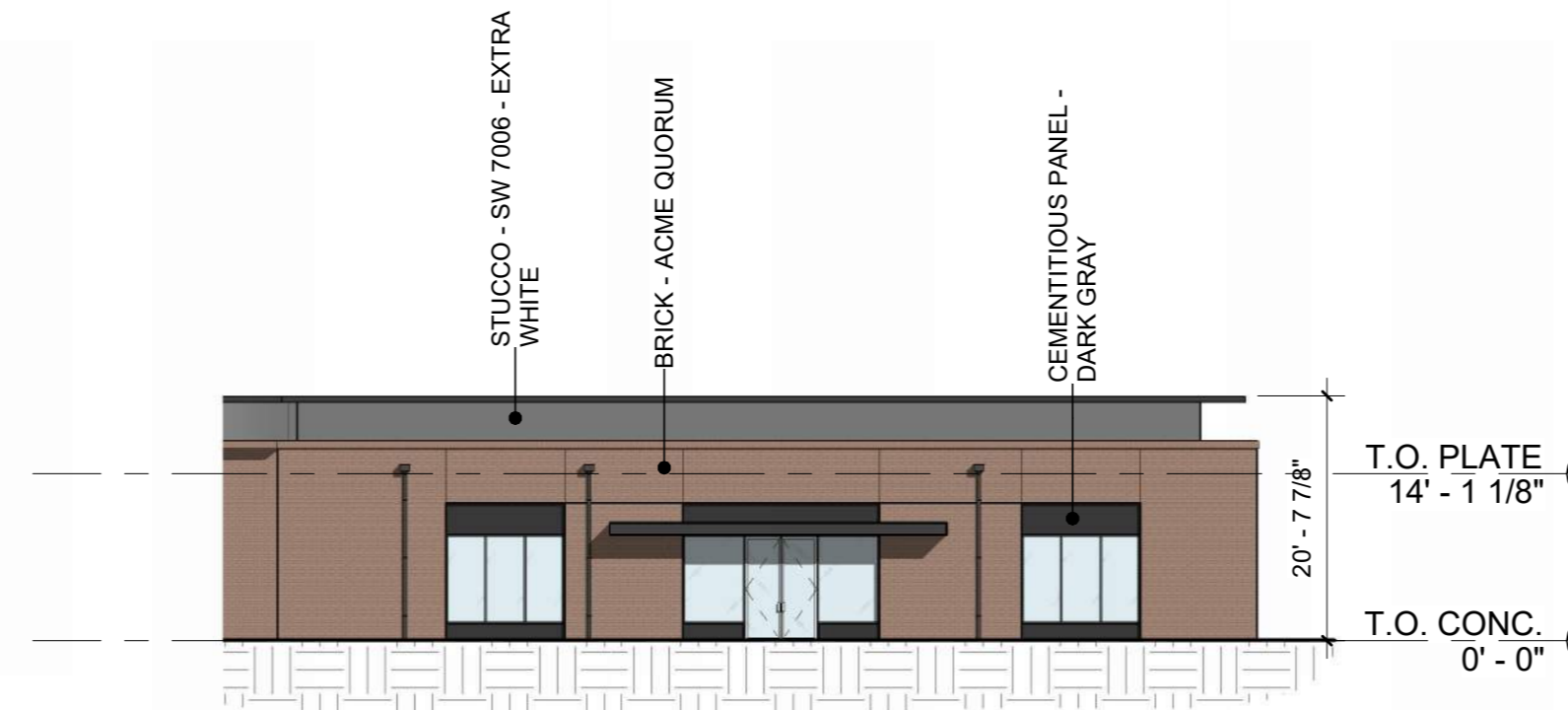
4 Clubhouse - Elevation - Northeast
 1/16" = 1'-0"



3 Clubhouse - Elevation - West
 1/16" = 1'-0"



2 Clubhouse - Elevation - Southwest
 1/16" = 1'-0"



1 Clubhouse - Elevation - South
 1/16" = 1'-0"

PARKWAY LOFTS SITE PLAN
CASE NO. SPC23-0001
ATTACHMENT 7: PHOTOMETRIC PLAN



GENERAL LIGHTING NOTES

- PHOTOMETRICS WERE PROVIDED BY SUTTON ENGINEERING LLC AND ARE FOR REFERENCE ONLY. CONTACT MARK TOUSANT (MTOUSSANT@HOSSELYPS.COM) AT HOSSELY LIGHTING FOR ADDITIONAL INFORMATION.
- ALTERNATE FIXTURES FOR SITE LIGHTING NOT ALLOWED. ANY ALTERNATE FIXTURES INSTALLED SHALL REQUIRE ADDITIONAL PHOTOMETRICS (PROVIDED BY THE ELECTRICAL CONTRACTOR) AND FIELD MEASUREMENTS OF FC TO CONFIRM ALTERNATE FIXTURES MEET CITY REQUIREMENTS. ALL COSTS ASSOCIATED WITH MEETING CITY REQUIREMENTS WITH ALTERNATE FIXTURE SHALL BE AT THE COST OF THE INSTALLING ELECTRICAL CONTRACTOR.

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Symbol	Label	Qty	Arrangement	Manufacturer & Part Number	LLF	Lum. Lumens
	S	26	Single	ANP BVA2001-E030LDS-T2-30K (derated from 4K IES file)	0.860	3480
	2-P4	2	Back-Back	BEACON VP-ST-2-72L-210-3K7-4W (x2 @ 180 degrees)	0.900	22547
	P5	16	Single	BEACON VP-ST-2-72L-210-3K7-4W-BC	0.900	20360
	PT1	3	Single	BEACON SLD-36L-80-3K7-4W	0.900	6812
	PT2	7	Single	BEACON SLD-36L-80-3K7-4W-BC	0.900	4433
	W2	6	Single	BEACON RWL1-48L-35-3K7-3-U	0.900	4545
	W3	9	Single	BEACON RWL2-160L-65-3K7-3-U	0.900	9281
	W4	25	Single	BEACON RWL2-160L-65-3K7-4-U	0.900	9098

Label	CalcType	Units	PtSpclr	PtSpctb	Avg	Max	Min	Avg/Min	Max/Min	Description
Grade_Planar	Illuminance	Fc	10	10	1.13	8.0	0.0	N.A.	N.A.	Readings taken at 0'-0" AFG
Pool	Illuminance	Fc	5	5	8.50	11.9	5.5	1.55	2.16	Readings taken at 0'-0" AFG
Center Parking Lot & Drive Area	Illuminance	Fc			2.23	6	1	2.23	6.00	Readings taken at 0'-0" AFG
Dog Park	Illuminance	Fc			1.82	3	1	1.82	3.00	Readings taken at 0'-0" AFG
Perimeter Parking Lot & Drives	Illuminance	Fc			2.36	5	0	N.A.	N.A.	Readings taken at 0'-0" AFG
South Parking Lot & Drive Area	Illuminance	Fc			2.34	4	1	2.34	4.00	Readings taken at 0'-0" AFG
South Pathway	Illuminance	Fc			1.76	4	1	1.76	4.00	Readings taken at 0'-0" AFG

- NOTES:**
- Fixture Mounting Heights (MH) are indicated next to each fixture.
 - All fixtures labeled with "alt" indicates an alternative fixture different from what was listed in the fixture schedule received was used in this calculation
 - All fixtures labeled with "ph" indicates that another fixture's IES file was used as a placeholder due to unavailable IES files from the specified Manufacturer.
 - Interior reflectances 80/50/20; exterior reflectances 20% UON.
 - Quantity (QTY) indicated on HLA Luminaire Schedule is for what is included in this calculation study only - Not final counts.
 - Contractor to verify exact fixture quantities and fixture run lengths before ordering.

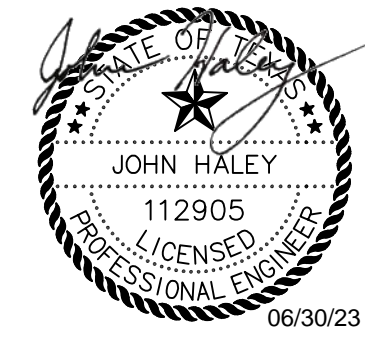
The intent of this calculation report is to show estimated light levels of the given lighting layout. It is provided using Fixture Photometrics (IES files) furnished by the Manufacturers. The Manufacturer is responsible for the validity, integrity, and organization of IES files. The use of this calculation report for any other purpose is not authorized by Hosseley Lighting Associates.

RESERVED FOR REVIEWERS NOTES

REV#	DATE	ISSUE TITLE
06.08.23		Photometrics Issue
06.21.23		Issue for Permit
06.30.23		Photometrics Issue

Parkway Lofts

SITE PLAN - PHOTOMETRICS



AMF105 PROJECT NUMBER **E101.02** SHEET NUMBER

1 SITE PLAN - PHOTOMETRICS
 1" = 50'-0"

PARKWAY LOFTS SITE PLAN
CASE NO. SPC23-0001
ATTACHMENT 8: PLANNED DEVELOPMENT #59



**PARKWAY DISTRICT
PLANNED DEVELOPMENT NO. 59
BASE ZONING DISTRICT: MX-C MIXED USE
COMMERCIAL
ORDINANCE NO. 21-08-19-22
(ADOPTED 8-19-2021)**

AMENDED BY:

- **PDA22-0004: MINOR PD AMENDMENT REORIENTING BUILDING LAYOUT, REDUCING NUMBER OF PRIVATE RECREATION BUILDINGS TO RELOCATE AND ADD PARKING, RECONFIGURING OPEN SPACE AREAS, AND ADJUSTING LOCATION OF ACCESS POINTS (APPROVED BY STAFF 9-15-2022)**
- **PDA23-0004: MINOR PD AMENDMENT RECONFIGURING THE AREA AND BOUNDARIES OF VARIOUS BLOCKS AND ELIMINATING ROOF PITCH REQUIREMENT IN BLOCK D (APPROVED BY STAFF 7-10-2023)**

**CITY OF CORINTH, TEXAS
ORDINANCE NO. 21-08-19-22**

PARKWAY DISTRICT PLANNED DEVELOPMENT DISTRICT #59

AN ORDINANCE OF THE CITY OF CORINTH, TEXAS, AMENDING THE CITY’S COMPREHENSIVE PLAN, SPECIFICALLY THE COMPREHENSIVE ZONING ORDINANCE AND THE “OFFICIAL ZONING DISTRICT MAP OF THE CITY OF CORINTH, TEXAS,” EACH BEING A PART OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF CORINTH, BY AMENDING THE ZONING CLASSIFICATION FOR THE PROPERTY DESCRIBED IN EXHIBIT “A”, ATTACHED HERETO AND INCORPORATION HEREIN, TO REZONE FROM MX-C, MIXED USE COMMERCIAL AN APPROXIMATELY 19.9863 ACRES AND TO ZONE AN APPROXIMATE .8727 ACRES OF LAND CURRENTLY WITHOUT A ZONING DESIGNATION AND BEING SUBJECT TO THE SF-1 SINGLE FAMILY RESIDENTIAL (DETACHED) ZONING DISTRICT REGULATIONS PER THE UNIFIED DEVELOPMENT CODE TO PD-PLANNED DEVELOPMENT ZONING DISTRICT WITH A BASE ZONING DESIGNATION OF MX-C, MIXED USE COMMERCIAL ON APPROXIMATELY 20.859 ACRES OF LAND WITHIN THE H. GARRISON SURVEY, ABSTRACT NO. 507, CITY OF CORINTH, DENTON COUNTY, TEXAS AND IDENTIFIED AS THE PARKWAY DISTRICT PLANNED DEVELOPMENT DISTRICT NO. 59 (“PD-59”); PROVIDING FOR THE INCORPORATION OF PREMISES; PROVIDING A LEGAL PROPERTY DESCRIPTION (EXHIBIT “A”); APPROVING A PLANNED DEVELOPMENT CONCEPT PLAN (EXHIBIT “B”); APPROVING PLANNED DEVELOPMENT LAND USE REGULATIONS (EXHIBIT “C”); PROVIDING FOR A PENALTY NOT TO EXCEED \$2,000 A DAY FOR EACH VIOLATION OF THE ORDINANCE AND A SEPARATE OFFENSE SHALL OCCUR ON EACH DAY THAT A VIOLATION OCCURS ON CONTINUES; PROVIDING A CUMULATIVE REPEALER CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING FOR PUBLICATION; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Corinth, Texas, adopted Ordinance No. 13-05-02-08, which established a Unified Development Code of the City, including the Comprehensive Zoning Ordinance and the “Official Zoning District Map of the City of Corinth, Texas,” (the “Zoning Map”), in accordance with the City’s Comprehensive Plan; and

WHEREAS, the Property described in Exhibit “A” (the “Property”) is comprised of an approximate 19.9863 acres currently zoned as MX-C, Mixed Use Commercial (“MX-C”) and .877 acres of land which has no adopted zoning designation but is subject to the regulations of the SF-1 Single Family Residential Zoning District (SF-1) (the combined total acreage of the Property being approximately 20.859 acres); and

WHEREAS, an authorized person having a proprietary interest in the Property has requested an Amendment to the Comprehensive Zoning Ordinance and the Zoning Map to change the zoning classification of the Property to PD-Planned Development zoning district, to be specifically identified as “The Parkway District Planned Development District No. 59” (“PD-59”), with a base zoning designation of MX-C, Mixed Use Commercial under the City's Unified Development Code; and

WHEREAS, the City Council and the Planning and Zoning Commission of the City of Corinth gave the requisite notices by publication and otherwise and afforded a full and fair hearing to all property owners generally, and to the persons interested and situated in the affected area and in the vicinity thereof; and

WHEREAS, the City Council has determined that the Property has unique characteristics and that zoning through a planned development district is the most appropriate mechanism for zoning the Property, thus an amendment to the Comprehensive Zoning Ordinance and the Zoning Map of the City’s Unified Development Code, in accordance with the Land Use Regulations set forth in Exhibit “C”, should be approved; and

WHEREAS, the City Council considered the following factors in making a determination as to whether the requested change should be granted or denied: safety of the motoring public and pedestrians using the facilities in the area immediately surrounding the sites; safety from fire hazards and damages; noise producing elements and glare of the vehicular and stationary lights and effect of such lights on established character of neighborhoods; location, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street loading spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; effect on the overcrowding of the land; effect on the concentration of population, and effect on transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, the City Council further considered among other things the character of the proposed district and its peculiar suitability for particular use requested and the view to conserve the value of the buildings, and encourage the most appropriate use of the land throughout this City; and

WHEREAS, the City Council finds that the requested Amendment to the Comprehensive Zoning Ordinance and Zoning Map to effect the change in zoning for the Property promotes the health and the general welfare, provides the Property with adequate light and air, prevents overcrowding of land, avoids undue population concentration, and facilitates the adequate provision of transportation, water, sewerage, schools, parks and other public requirements; as well as the general health, safety and welfare of the community;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CORINTH, TEXAS:

**SECTION 1.
INCORPORATION OF PREMISES**

The above and foregoing recitals are found to be true and correct and are incorporated into the body of this Ordinance for all purposes.

**SECTION 2
LEGAL PROPERTY DESCRIPTION; AMENDMENT**

That Ordinance No. 13-05-02-08, adopting the Unified Development Code of the City of Corinth (“UDC”), including the Comprehensive Zoning Ordinance that establishes zoning districts in accordance with the City’s Comprehensive Plan and the Zoning Map of the City of Corinth, is hereby amended to rezone approximately 19.9863 acres currently zoned as MX-C, Mixed Use Commercial (“MX-C”) and to zone .877 acres of land which has no adopted zoning designation but is subject to the regulations of the SF-1 Single Family Residential Zoning District (SF-1) (the combined total acreage of the Property being approximately 20.859 acres) to change the zoning classification on an approximate 20.859 acre tract of land described in "Exhibit A" attached hereto and incorporated herein (the “Property”), from MX-C, Mixed Use Commercial and a parcel without a zoning designation subject to SF-1 Single Family Residential (Detached) zoning district to a PD-Planned Development zoning district with a base zoning designation of MX-C, Mixed Use Commercial and identified as The Parkway District Planned Development District No. 59 (“PD-59”), and the Zoning Map of the City is also hereby amended to reflect the new zoning classification for the Property.

**SECTION 3.
PLANNED DEVELOPMENT CONCEPT PLAN**

The Planned Development Concept Plan for the Property as set forth in “**Exhibit B**” (the “**Concept Plan**”), a copy of which is attached hereto and incorporated herein, is hereby approved.

**SECTION 4.
LAND USE REGULATIONS**

- A. The Zoning and Land Use Regulations set forth in “**Exhibit C**” attached hereto and made a part hereof for all purposes are hereby adopted and shall be adhered to in their entirety for the purposes of this PD-Planned Development zoning district with a base zoning designation MX-C, Mixed Use Commercial. In the event of conflict between the provisions of “**Exhibit C**” and provisions of any other City zoning regulations, including without limitation the regulations governing the MX-C, Mixed Use Commercial zoning district, the provisions of “**Exhibit C**” shall control.
- B. That the zoning regulations and district herein established have been adopted in accordance with the Comprehensive Plan for the purpose of promoting the health, safety, morals and

the general welfare of the community. They have been designed, with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to provide adequate light and air; to prevent overcrowding of land; to avoid undue concentration of population; and to facilitate the adequate provision of transportation, water, sewerage, drainage and surface water, parks and other commercial needs and development of the community. They have been made after a full and complete hearing with reasonable consideration among other things of the character of the district and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community

- C. The Concept Plan (**Exhibit “B”**) and the Land Use Regulations (**Exhibit “C”**) shall control the use and development of the Property, and all building permits and development requests shall be in accordance with applicable City ordinances, the PD Concept Plan and Land Use Regulations. The PD Concept Plan and Land Use Regulations shall remain in effect as set forth herein unless amended by the City Council.

If a change to the Concept Plan, is requested, the request shall be processed in accordance with the development standards in effect at the time the change is requested for the proposed development and may be subject to City Council approval.

**SECTION 5.
PENALTY FOR VIOLATIONS**

Any person, firm, or corporation who intentionally, knowingly or recklessly violates any provision of this Ordinance or the Code of Ordinances, as amended hereby, shall be subject to a fine not to exceed the sum of five hundred dollars (\$500.00) for each offense, and each and every day any such offense shall continue shall be deemed to constitute a separate offense, provided, however, that in all cases involving violation of any provision of this Ordinance or Code of Ordinances, as amended hereby, governing the fire safety, zoning, or public health and sanitation shall be subject to a fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense.

**SECTION 6.
SEVERABILITY**

The provisions of the Ordinance are severable. However, in the event this Ordinance or any procedure provided in this Ordinance becomes unlawful, or is declared or determined by a judicial, administrative or legislative authority exercising its jurisdiction to be excessive, unenforceable, void, illegal or otherwise inapplicable, in while in part, the remaining and lawful provisions shall be of full force and effect and the City shall promptly promulgate new revised provisions in compliance with the authority’s decisions or enactment.

**SECTION 7.
CUMULATIVE REPEALER**

This Ordinance shall be cumulative of all other Ordinances and shall not repeal any of the provisions of such Ordinances except for those instances where there are direct conflicts with the provisions of this Ordinance. Ordinances, or parts thereof, in force at the time this Ordinance shall take effect and that are inconsistent with this Ordinance are hereby repealed to the extent that they are inconsistent with this Ordinance. Provided however, that any complaint, action, claim or lawsuit which has been initiated or has arisen under or pursuant to such other Ordinances on this date of adoption of this Ordinance shall continue to be governed by the provisions of such Ordinance and for that purpose the Ordinance shall remain in full force and effect.

**SECTION 8.
SAVINGS**

All rights and remedies of the City of Corinth, Texas are expressly saved as to any and all violations of the provisions of any other ordinance affecting zoning for the Property which have secured at the time of the effective date of this ordinance; and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such ordinances same shall not be affected by this Ordinance but may be prosecuted until final disposition by the court.

**SECTION 9.
EFFECTIVE DATE**

This ordinance shall become effective after approval and publication as provided by law. The City Secretary is directed to publish the caption and penalty of this ordinance two times.

DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF CORINTH THIS 19th DAY OF AUGUST, 2021.

APPROVED:

Bill Heidemann, Mayor

ATTEST:

Lana Wylie, City Secretary

APPROVED AS TO FORM:

Patricia Adams, City Attorney



EXHIBIT "A"
LEGAL DESCRIPTION

BEING 20.859 acres of land located in the H. GARRISON SURVEY, Abstract No. 507, City of Corinth, Denton County, Texas, and being a portion of the tract of land conveyed to the Town of Corinth, by the deed recorded in Volume 608, Page 158, of the Deed Records of Denton County, Texas, and all of the tract of land conveyed to Corinth Economic Development Corporation, by the deed recorded in Instrument No. 2019-69270, of the Official Public Records of Denton County, Texas, and all of the tract of land conveyed to the City of Corinth, by the deed recorded in Document No. 2021-69324, of the Official Public Records of Denton County, Texas. Said 20.859 acres of land being more particularly described by metes and bounds as follows:

BEGINNING at a ½" iron rod found lying in the Southwest right-of-way line of Interstate Highway No. 35 E and the North boundary line of the tract of land conveyed to Minerva Partners, Ltd., by the deed recorded in Instrument No. 2004-163301, of the official Public Records of Denton County, Texas;

THENCE along the Southeasterly and South boundary line of said Corinth Economic Development Corporation Tract and the Town of Corinth Tract, with the North line of said Minerva Partners, Ltd. Tract, as follows:

S 47° 56' 03" W 93.62 feet, to a ½" iron rod marked "Brittain & Crawford" set;
S 47° 23' 48" W 478.92 feet, to a point on top of a manhole;

THENCE N 75° 06' 37" W 379.31 feet, to a ½" iron rod found;

THENCE S 76° 45' 21" W 255.77 feet, to a ½" iron rod marked "Brittain & Crawford" set at the Southwest corner of aforesaid Town of Corinth Tract, lying in the East right-of-way line of S. Corinth Street;

THENCE along the current West boundary line of said Town of Corinth Tract, the West boundary line of said Corinth Economic Development Corporation Tract, and the East right-of-way line of S. Corinth Street, as follows:

N 00° 21' 58" E 69.60 feet, to a ½" iron rod marked "Brittain & Crawford" set;

N 00° 23' 50" E 12.76 feet, to a ½" iron rod marked "Brittain & Crawford" set;

N 00° 10' 08" W 196.46 feet, to a ½" iron rod found at the Northwest corner of said Town of Corinth Tract and the Southwest corner of said Corinth Economic Development Corporation Tract;

N 00° 11' 53" W 625.17 feet, to a ½" iron rod found marked "R.P.L.S. 5687" at the beginning of a curve to the right;

NORTHEASTERLY 301.43 feet, along said curve to the right, having a radius of 510.00 feet, a central angle of 33° 51' 50", and a chord bearing N 16° 50' 08" E 297.06 feet, to a ½" iron rod marked "X" in concrete found at the end of said curve;

S 55° 16' 33" E 5.70 feet, to a ½" iron rod marked "Brittain & Crawford" set being the Southwest corner of the aforesaid tract of land conveyed to the City of Corinth, at the beginning of a curve to the right;

THENCE NORTHEASTERLY 142.10 feet, along said curve to the right, having a radius of 500.00 feet, a central angle of 16° 17' 10", and a chord bearing N 42° 55' 54" E 141.62 feet, to a ½" iron rod marked "Brittain & Crawford" set at the end of said curve and the beginning of another curve to the right, at the intersection of the East right-of-way line of S. Corinth Street and the Southwest right-of-way line of aforesaid Interstate Highway No. 35 E;

THENCE SOUTHEASTERLY 149.06 feet, along said curve to the right, having a radius of 95.00 feet, a central angle of 89° 54' 00, and a chord bearing S 83° 58' 36" E 134.23 feet, to a ½" iron rod marked "Brittain & Crawford" set at the end of said curve;

THENCE S 39° 01' 57" E 185.37 feet, along the Northeast boundary line of said City of Corinth Tract and the Southwest right-of-way line of Interstate Highway No. 35 E, to a ½" iron rod found marked "G&A" at the Southeast corner of said City of Corinth Tract;

THENCE continuing along the Northeast boundary line of said Corinth Economic Development Corporation Tract and the Southwest right-of-way line of Interstate Highway No. 35 E, as follows:

S 38° 29' 57" E 426.54 feet, to a Texas Department of Transportation monument found;

S 38° 51' 31" E 300.05 feet, to a ½" iron rod marked "G&A" found;

S 38° 33' 18" E 99.88 feet, to a Texas Department of Transportation monument found;

S 32° 12' 06" E 161.99 feet, to the POINT OF BEGINNING containing 20.859 acres (908,620 square feet) of land.

EXHIBIT "B"
CONCEPT PLAN

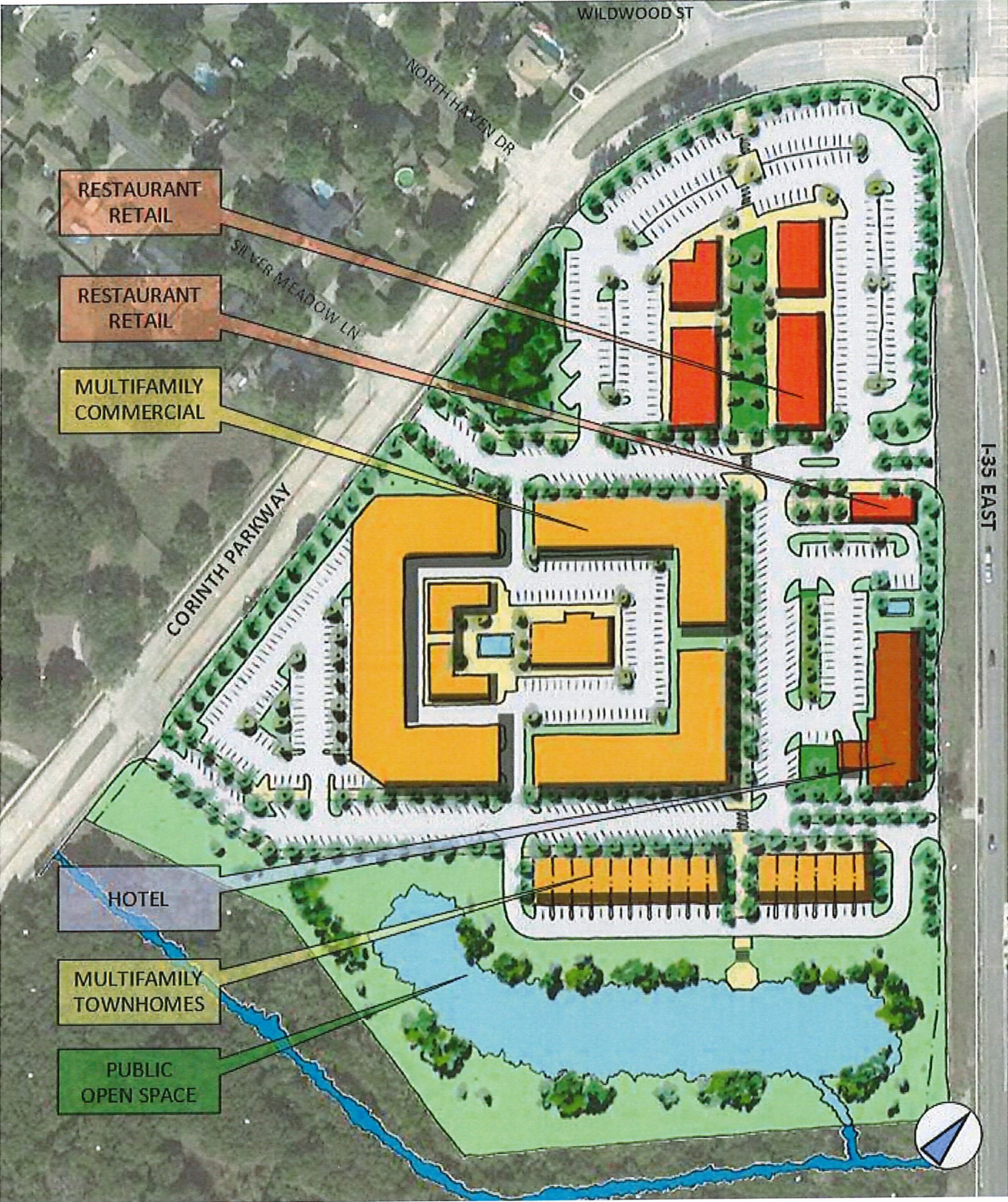
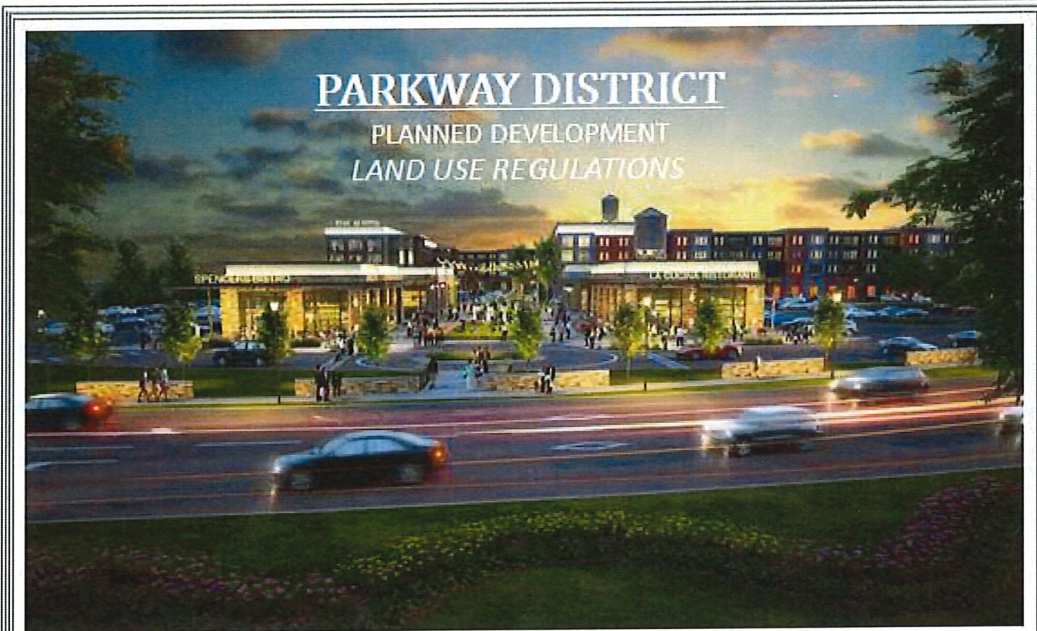


EXHIBIT "C"
LAND USE REGULATIONS



ISSUE DATE:
July 23, 2021

A DEVELOPMENT BY:
REALTY CAPITAL MANAGEMENT, LP
909 Lake Carolyn Parkway
Irving, TX 75039
469-533-4100

PLANNING BY:
Roaring Brook Development Co.
1701 Northwest Hwy, Ste 28
Grapevine, TX. 76051
817.706.8353

PARKWAY DISTRICT MIXED-USE DEVELOPMENT
CORINTH, TX

TABLE OF CONTENTS

SECTION 1	Administration
SECTION 2	General Regulations
SECTION 3	Streets Standards
SECTION 4	Parks and Open Space Standards
SECTION 5	Parking Standards
SECTION 6	Architecture Standards
SECTION 7	Signage Standards

SECTION 1: ADMINISTRATION

A) Applicability

The requirements of these Standards are mandatory and all development on land located within the boundaries of the Planned Development District must adhere to the rules and regulations set forth herein.

UDC, plus residential uses as restricted herein.

Except as specified in this PD, MX-C uses requiring an SUP under the UDC shall also require an SUP under this planned development ordinance unless specifically exempted in the Permitted Use Table.

B) Conflicting Regulations

Except as provided by these Standards, development within the Planned Development District is governed by City regulations. For any issues, regulations, or standards not directly or indirectly addressed by this Planned Development ordinance as written at the time of development for each tract, the UDC shall control. Building codes, life safety codes, and Federal and State regulations shall take precedence where a standard requires actions that are in conflict with this Planned Development ordinance.

E) Site Plan Conformance

The Applicant may submit a Site Plan for the entire PD District or any portion thereof, and may develop the Planned Development District in any order.

If the Site Plan is in Substantial Conformance to the Concept Plan, in accordance with UDC Section 2.10.08.B.2, the Site Plan may be approved administratively as set forth below.

C) Concept Plan

The Planned Development standards contained herein shall constitute the submittal of the PD Design Statement and the PD Concept Plan in accordance with Section 2.10.09 of the UDC.

F. Substantial Conformance:

Substantial Conformance shall mean that the Site Plans submitted are consistent with the standards and regulations contained herein, and any deviations from the figures and illustrations contained herein shall not differ by more than the ranges permitted in Section 2.10.09.D. of the Corinth UDC, and may be approved administratively.

The PD Concept Plan (See Figure 2.1) is, by definition, conceptual in nature, and the final site plan(s) may differ from the image depicted in Figure 2.1. Site Plans varying from the PD Concept Plan shall be evaluated in accordance with the standards provided for in Section 2.10.09.D of the Corinth UDC.

G. Site Plan Non-conformance

If the Site Plan is not in Substantial Conformance to the Concept Plan, then the Site Plan shall be subject to approval by the Planning and Zoning Commission and the City Council prior to applying for site construction and building permits as prescribed in Section 2.10.09.D.2. of the Corinth UDC. Minor PD Amendments or Minor PD Adjustments shall not constitute non-conformance, and minor adjustments may be approved administratively.

D) Permitted Uses

The Permitted Use Table (See Table 2.1) lists the permitted and prohibited uses within the Planned Development. The Permitted Uses shall include all the current permitted uses under the existing MX-C zoning uses listed in the Corinth

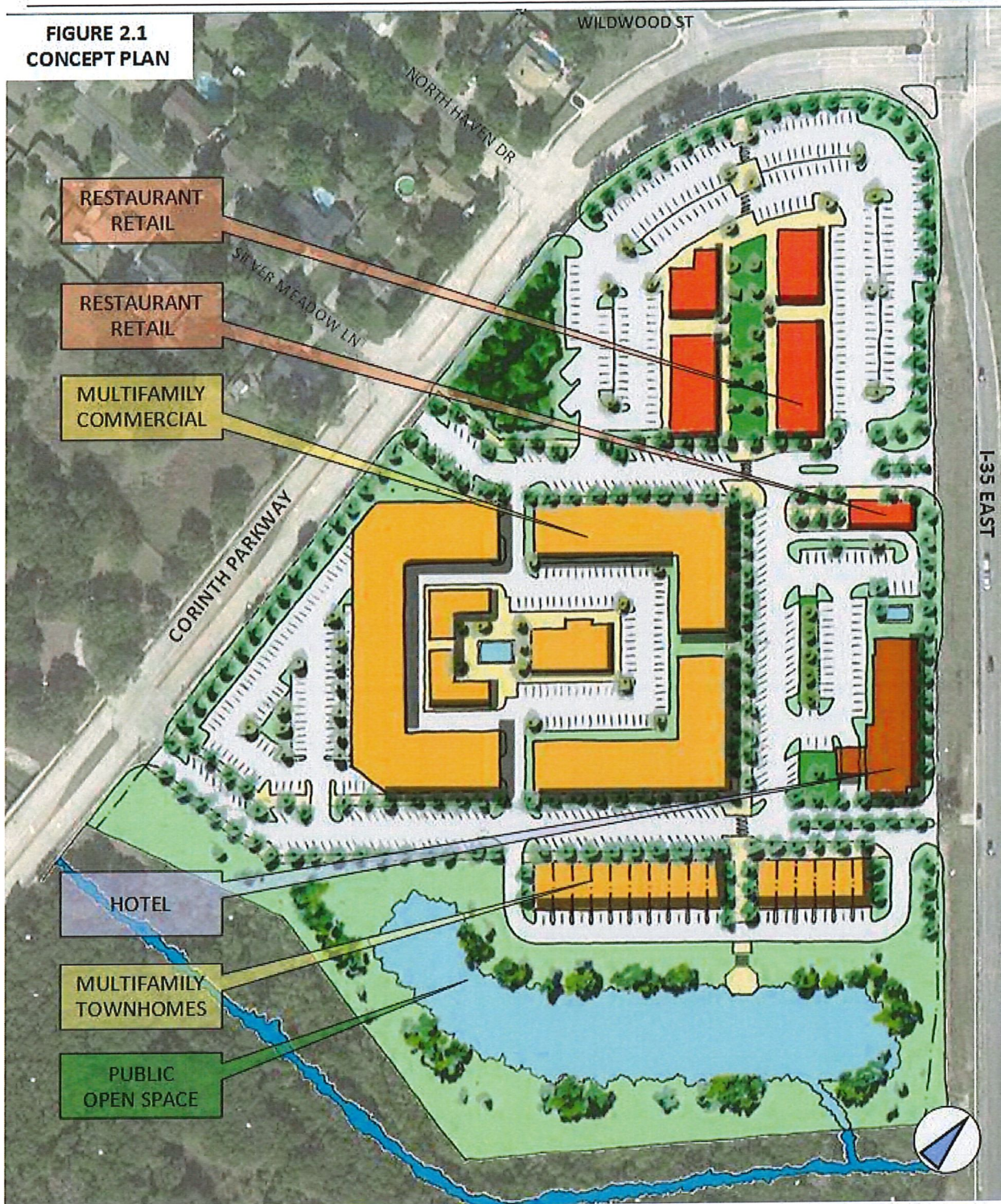
SECTION 2: GENERAL REGULATIONS

- A. General: The following tables and illustrations identify general regulations for all Blocks within the Planned Development District.
- B. The Regulating Plan in Figure 2.2, Permitted Use Table in Table 2.1, Concept Plan in Figure 2.1 and associated standards and the other sections of the Planned Development ordinance govern the following components of the development.
1. See Table 2.2 for Lot Development Standards that define the minimum and maximum lot areas and/or dimensions.
 2. See Section 3 for allowable vehicular ingress and egress from the Planned Development District.
 3. See Section 3 for street standards within the Planned Development District.
 4. See Section 4 for Open Space, walkways, landscape, and tree standards.
 5. See Section 5 for Parking on-street, off-street and garage parking standards.
 6. See Section 6 for Architectural and building façade standards.
 7. See Section 7 for Signage standards.
- C. Regulating Plan Block A
1. Block A: The area of Block A shall include approximately 4.3 acres, and shall include certain open spaces described in Section 4 herein, plus a minimum of 20,000 SF of restaurant floor area. Restaurants shall offer dine-in seating and full-meal entrees. No residential uses are permitted.
- D. Regulating Plan Block B
1. Block B: The area of Block B shall include approximately 2.0 acres, and shall include a location for non-residential uses such as hospitality or retail.
 2. Full Service Hotel shall comply with Section 2.07.04.A.24 for Full Service hotels except as amended herein.
 3. Select Service Hotel, an additional use not included in the Corinth UDC, shall comply with Limited Service hotels, except as amended below:
 - a. The hotel shall provide a lobby with seating adjacent to the check-in area.
 - b. The hotel shall provide a bar or lounge area in addition to the lobby.
 - c. The hotel shall provide a covered seating area adjacent to the pool of at least 300 SF.
 - d. The hotel shall have a minimum of 80 guest rooms.
- E. Regulating Plan Block C
1. Block C shall contain primarily Urban Residential dwelling units. See Table 2.1 for the maximum number of dwelling units permitted. The area shall include approximately 5 acres.
 2. Block C shall contain a minimum 2,500 square feet of commercial use on the ground floor of the multifamily building.
 3. The location and arrangement of parking and recreational amenities may differ from the Concept Plan provided that the building, or buildings, conform to the development standards of the Planned Development District.
 4. Residential units shall meet the following minimum areas: Efficiency units 550 sf; Average unit size 825 sf. An estimate of unit breakdown is shown on Table 5.3 as 10% efficiency units, 60% 1 bedroom units, and 30% 2 bedroom units.
- F. Regulating Plan Block D:
1. Block D: The area of Block D contains Townhomes that may be attached, zero-lot line, detached, or may include multiple homes constructed on a single lot. Townhomes shall front onto Street B. Townhomes shall have a minimum of 1,200 sf. The area shall include approximately 1.8 acres.
- G. Block E
1. Block E: The area of Block E shall contain a concrete walkway from Corinth Parkway to I-35E ROW, open space, wet detention, floodplain, and floodway. The area of Block E shall include approximately 4.3 acres, and may include some surface parking above the floodplain elevation for public use.

PARKWAY DISTRICT MIXED-USE DEVELOPMENT
CORINTH, TX

SECTION 2

FIGURE 2.1
CONCEPT PLAN



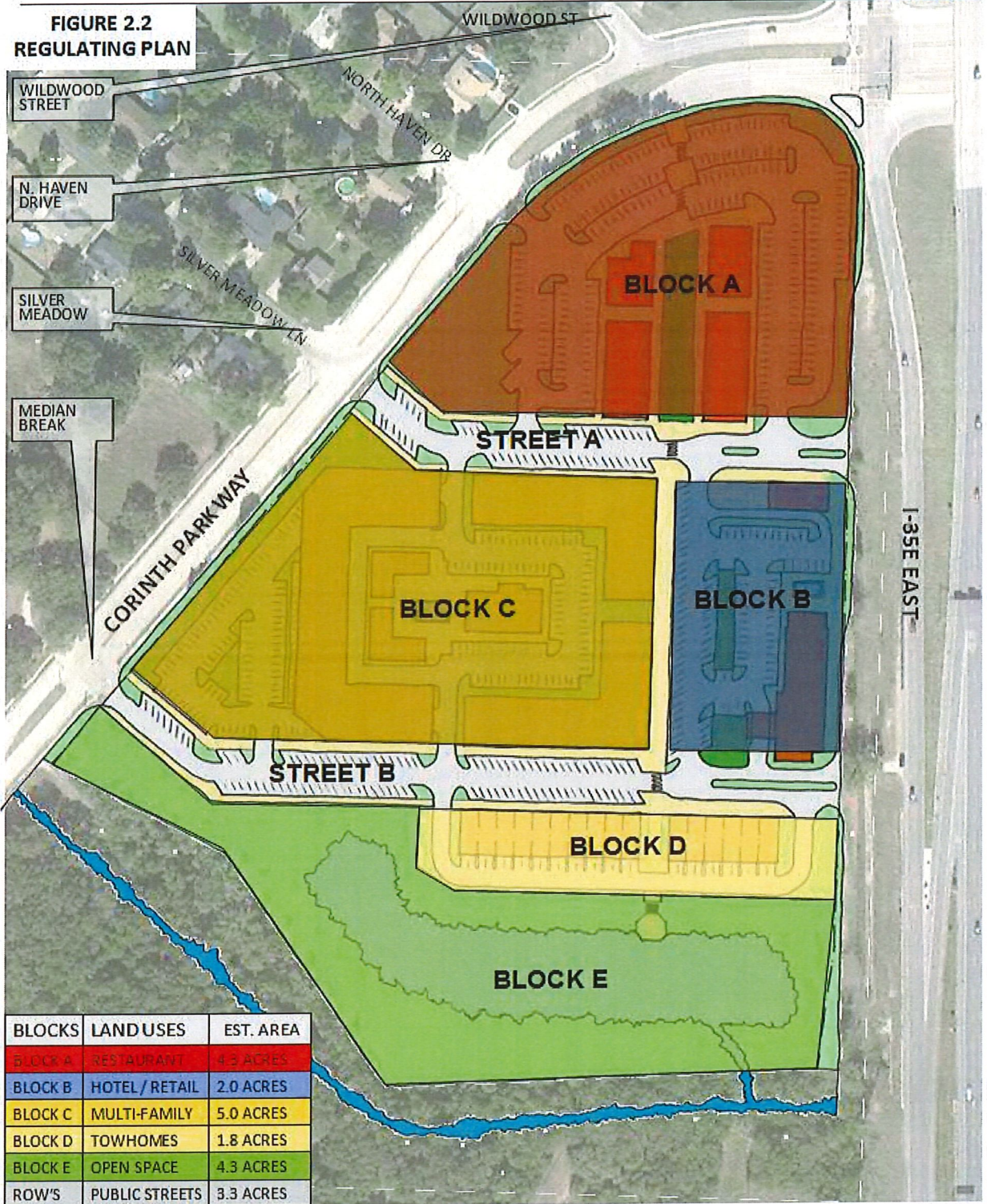
Planning by
Roaring Brook Development Co

REALTY CAPITAL MANAGEMENT, LLC
Dallas, TX

PARKWAY DISTRICT MIXED-USE DEVELOPMENT
CORINTH, TX

SECTION 2

**FIGURE 2.2
REGULATING PLAN**



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Roaring Brook Development Co

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Dallas, TX

PARKWAY DISTRICT MIXED-USE DEVELOPMENT
CORINTH, TX

SECTION 2

TABLE 2.1 PERMITTED USE TABLE							
Legend for Use Chart		BLOCK A: RESTAURANTS	BLOCK B: HOTEL / RETAIL	BLOCK C: MULTIFAMILY	BLOCK D: TOWNHOMES	BLOCK E: OPEN SPACE	NOTES Note 1: Block D shall have no more than 25 Townhomes Note 2: Block C shall have no more than 327 dwelling units. Note 3: Single Family Townhomes are individually platted lots or a single lot Note 4: Multifamily includes multiple attached dwelling units on a single platted lot. Note 5: Block C and Block D: Commercial use shall be located on the ground floor of a multi-story building. Note 6: Full Service and Select Service Hotels are permitted uses in Block B. Limited Service Hotels are a prohibited use. See Section 2, Block B regulations for definitions.
P	Use is permitted in district indicated						
	Use is prohibited in district indicated						
S	Use is permitted in district upon approval of a 2.10.10. Specific Use Permit						
	Use is permitted (or permitted by SUP) if the use complies with conditional development standards or limitations in 2.07.04. Conditional Development Standards.						
§	Reference for Future Reference						
Residential Uses							
	Dwelling, Single Family (detached)				P	Note 1, 3	
	Dwelling, Single Family (attached - townhouse)				P	Note 1, 3	
	Dwelling, Multi-Family			P	P	Note 1, 2, 4	
Nonresidential Uses							
	Antique Shop	P	P	P			Note 5
	Art Gallery or Museum		P	P			Note 5
	Bank or Financial Institution		P	P			Note 5
	Barber, Beauty Shop or Personal Services		P	P			Note 5
	Book Store	P	P	P			Note 5
	Business Services	P	P	P			Note 5
	Caterer or Wedding Service	P	P				Only as part of restaurant or hotel facility
	Concrete Batching Plant, Temporary	P-C	P-C	P-C	P-C		
	Dance, Music, or Drama Studio	P	P				
	Educational Services Office	P	P	P			Note 5
	Farmer's Market	P	P			P	
	Food Truck	P-C	P-C			P	
	Home Based Business			P	P		
	Hotel, Full-Service or Select Service		P				Note 6: 'Full' and 'Select' permitted, 'Limited Service' prohibited
	Massage Therapy, Licensed		P	P			Note 5

PARKWAY DISTRICT MIXED-USE DEVELOPMENT
CORINTH, TX

SECTION 2

TABLE 2.1 PERMITTED USE TABLE CONTINUED						
Legend for Use Chart	BLOCK A: RESTAURANTS	BLOCK B: HOTEL / RETAIL	BLOCK C: MULTIFAMILY	BLOCK D: TOWNHOMES	BLOCK E: OPEN SPACE	NOTES
P Use is permitted in district indicated						<p>Note 1: Block D shall have no more than 25 Townhomes</p> <p>Note 2: Block C shall have no more than 327 dwelling units.</p> <p>Note 3: Single Family Townhomes are individually platted lots or a single lot.</p> <p>Note 4: Multifamily includes multiple attached dwelling units on a single platted lot.</p> <p>Note 5: Block C and Block D: Commercial use shall be located on the ground floor of a multi-story building.</p> <p>Note 6: Full Service and Select Service Hotels are permitted uses in Block B. Limited Service Hotels are a prohibited use. See Section 2, Block B regulations for definitions.</p>
Use is prohibited in district indicated						
S Use is permitted in district upon approval of a 2.10.10. Specific Use Permit						
Use is permitted (or permitted by SUP) if the use complies with conditional development standards or limitations in 2.07.04. Conditional Development Standards.						
§ Reference for Future Reference						
Nonresidential Uses Continued						
Medical Clinic		P				
Movie Picture Theatre	P	P				Ancillary use only
Office, Professional, Medical, or Business		S	P			Note 5
Photographer's or Artist's Studio/Film Processing		P	P	P		Note 5
Photovoltaic Systems (Attached)	P	P	P	P		
Printing/Duplication Shop or Mailing Center		P	P			Note 5
Public Building	P	P	P			Note 5
Parking Garage	P	P	P			
Restaurant without Drive-through Service	P	P	P			Note 5
Restaurant with Drive-through Service (coffee shop pad site or similar establishment)		P				Maximum one stand alone coffee shop pad site or similar establishment only, or one in-line coffee shop within main structure.
Restaurant with Drive-through Service		S				Maximum one stand alone pad site or one in-line within main structure other than coffee shop.
Retail Stores and Shops	P	P	P			Note 5
Temporary Building for New Construction	P-C	P-C	P-C	P-C	P-C	
Tower/Antenna: TV, Radio, Microwave, Telephone, or Cellular	S	S	S	S		Co-Location with architectural feature required.
Wedding Chapel, Reception Facility, Special Events Center	P	P				Only as part of a restaurant or hotel facility.

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Roaring Brook Development Co

REALTY CAPITAL MANAGEMENT, LLC
Dallas, TX

PARKWAY DISTRICT MIXED-USE DEVELOPMENT
CORINTH, TX

SECTION 2

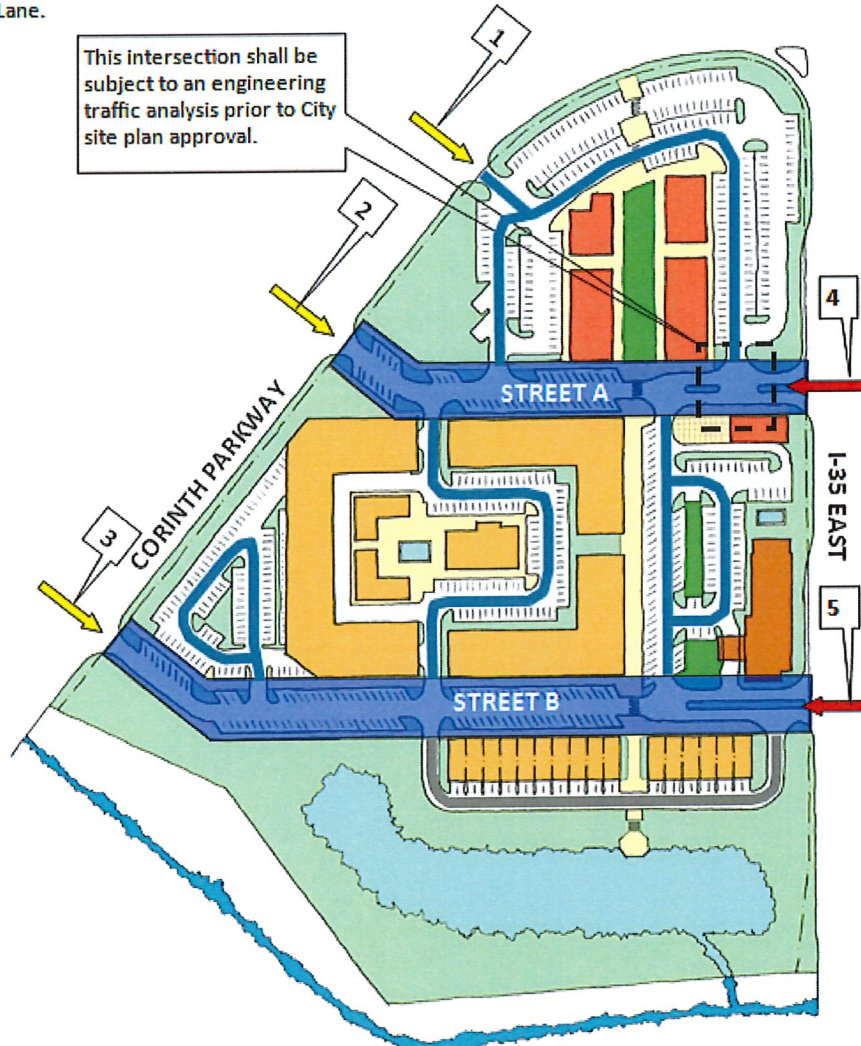
TABLE 2.2 LOT DEVELOPMENT STANDARDS					
	Block A	Block B	Block C	Block D	Block E
Open Space (Yard) Dimensions					
Minimum Front Yard Setback	0'	0'	5'	0'	N/A
Landscape Buffer, I-35E ROW	See Section 4.1G for buffer standards				
Landscape Buffer, Corinth Parkway	See Section 4.1G for buffer standards				
Landscape Buffer, Streets A & B	0'	0'	0'	0'	N/A
Minimum Side Yard Setback:					
Interior Lot	0'	0'	5'	0'	N/A
Corner Lot	0'	0'	5'	10'	N/A
Minimum Rear Yard Setback	0'	0'	5'	3'	N/A
Minimum Alley Garage Door Setback				3' or 20' ¹	
Lot Dimensions					
Minimum Lot Area	4,000 sq. ft.	4,000 sq. ft.	40,000 sq. ft.	1,980 sq. ft.	N/A
Maximum Single Family Lot Area				3,000 sq. ft.	
Minimum Lot Width	50'	50'	150'	22'	N/A
Minimum Lot Depth	80'	80'	150'	60'	N/A
Structure Height					
Maximum Height (stories/feet)	2½ Stories/40' or SUP	6 Stories/85' or SUP	5 Stories/75' or SUP	3 Stories/ 38' or SUP	N/A
Building Area Coverage					
Maximum Building Area (all buildings)	90%	90%	90%	75%	N/A
1: To ensure that townhomes have either adequate parking or no parking adjacent to the alley.					

SECTION 3: STREET STANDARDS

- A. General: The Parkway District development is based on an urban block structure. The streets defining the blocks are permitted some flexibility to accommodate final site plan design. The tables and illustrations identify standards for streets, parkways, sidewalks, and street trees.
- B. Conceptual Vehicular Street Network (See Figure 3.1): The Figure illustrates the proposed street network within the Planned Development District.
- C. The maximum number of access drives to the site from Corinth Parkway is 3 ingress/egress drives.
 1. Drive 1 shall align with North Haven Drive.
 2. Drive 2 (Street A) shall align with Silver Meadow Lane.
 3. Drive 3 (Street B) shall align with the existing median break south of Silver Meadow Lane.
- D. The maximum number of access drives to the site from I-35E is 2 ingress drives.
 1. Drive 4 (Street A) shall be located beyond the "Access Denial" zone established by TXDOT.
 2. Drive 5 (Street B) shall meet or exceed the required 250' minimum spacing from Street A established by TXDOT.
- E. Fire Lanes, access drives, access locations, loading zones, and turning radii, shall be subject to review and approval in each Site Plan application.
- F. Driveway spacing off Streets A and B shall not be less than 36'. Driveway spacing from perimeter arterials shall not be less than 30'.
- G. Curves on Streets A and B shall not have a centerline radius of curvature less than 50'.
- H. Residential Alley: See Figure 3.5.
- I. Fire Lanes: Subject to Fire Dept approval at Site Plan application.
- J. Access drive configuration from the I-35-E frontage road and the driveway access from Streets A and B shall be subject to City review and approval.
- K. Crosswalks at Streets A & B adjacent to the promenade (Walkway 2) shall be raised to the height of the top of the curb.

FIGURE 3.1
STREET PLAN

-  STREET ROW
-  ALLEY ROW
-  FULL ACCESS INGRESS/EGRESS
-  RIGHT-IN / RIGHT-OUT
-  FIRE LANE (shall meet fire code and subdivision regulations)

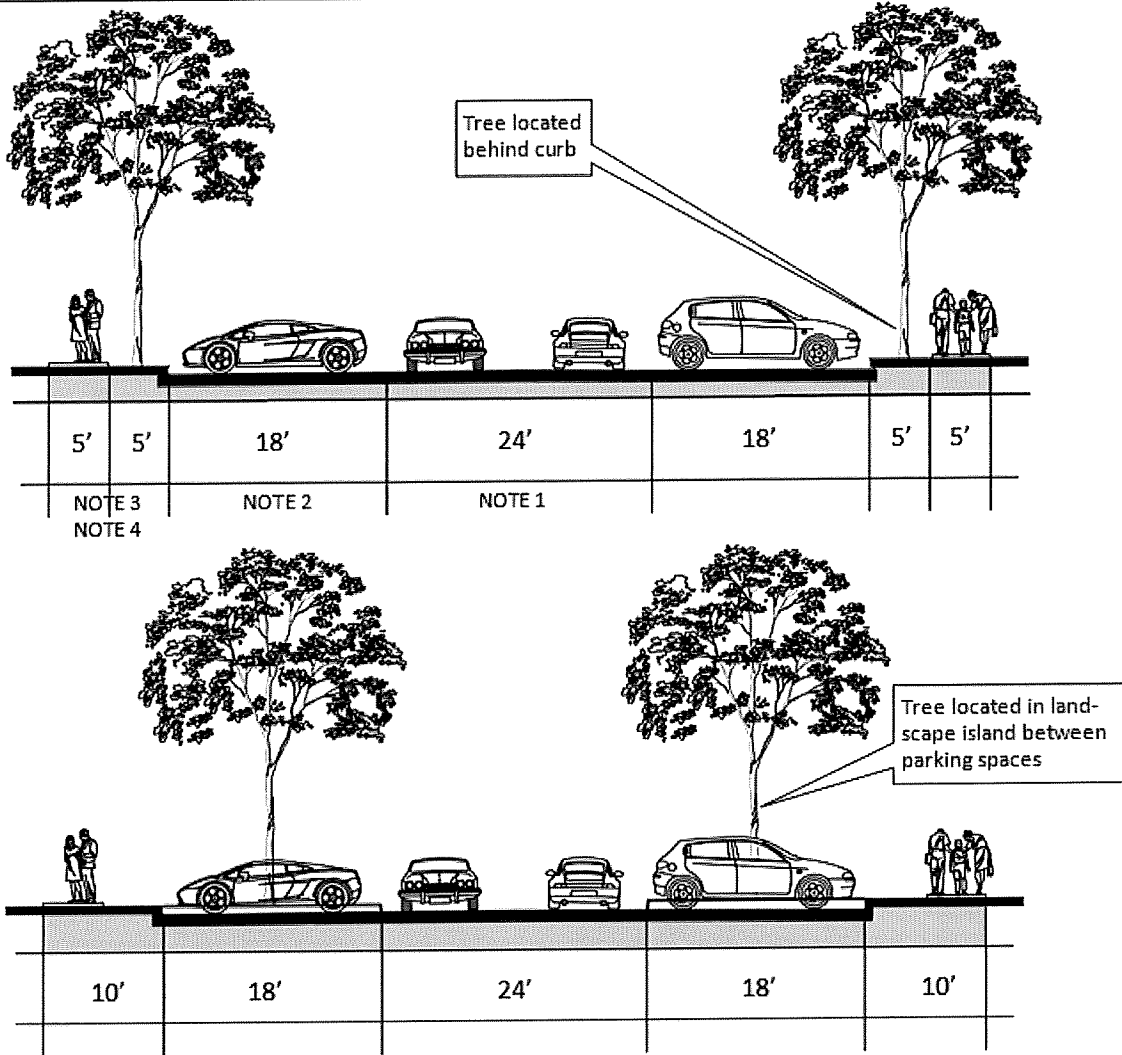


PARKWAY DISTRICT MIXED-USE DEVELOPMENT
CORINTH, TX

SECTION 3

FIGURE 3.2
URBAN COMMERCIAL STREET SECTIONS WEST OF OS-2; STREET A & STREET B

Street Classification	Minimum R.O.W.	Roadway Width (Overall to Front of Curb)	Number of Lanes and Width	Parking	Number of Parkways and Width
Urban Commercial 1	80'	60'	2—12'	Head-in	2—10'



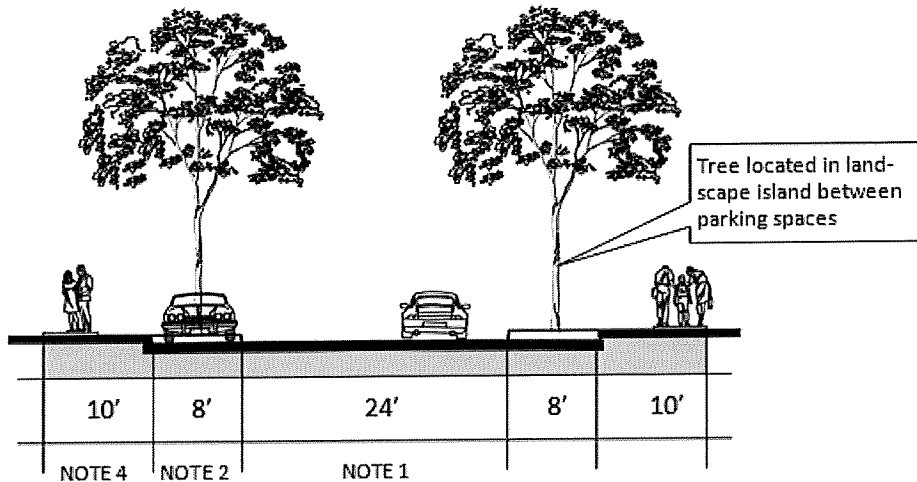
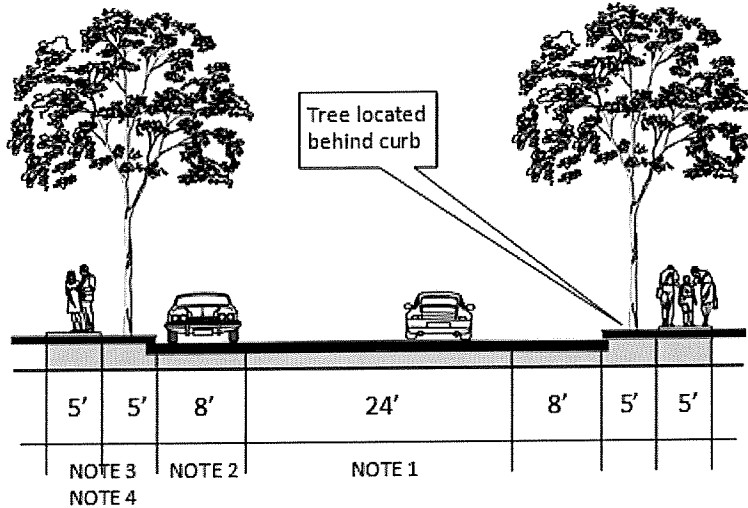
- NOTE 1: Minimum width of travel lanes is 24'. If adjacent to buildings 4 or more stories in height, minimum width is 26'
- NOTE 2: Angled-in parking spaces are permitted. See Figure 5.1 for parking space dimensions. On-street parking may be located along all or any portion of the length of the street.
- NOTE 3: Street Trees may be located behind the curb or in landscape islands between parking spaces. See Section 4 for Street Tree planting standards. Dimension shown indicates the minimum width for tree planting.
- NOTE 4: Sidewalks are required within the right-of-way and shall be a minimum of 5' in width.
- NOTE 5: Inflections in street direction may be treated as corners (minimum 50' centerline radius) versus curves (250' radius).
- NOTE 6: Minimum interior turning radius is 26'.

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FIGURE 3.3
URBAN RESIDENTIAL STREET SECTIONS WEST OF OS-2, STREET A & STREET B

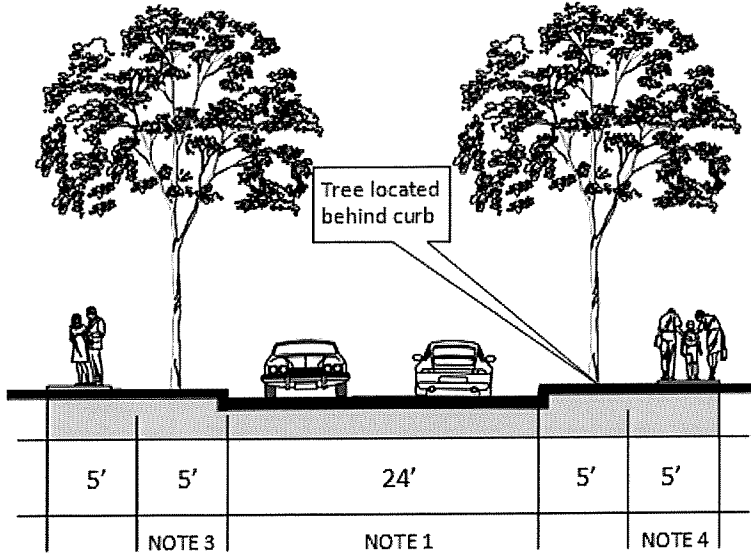
Street Classification	Minimum R.O.W.	Roadway Width (Overall to Front of Curb)	Number of Lanes and Width	Parking	Number of Parkways and Width
Urban Residential	60'	40'	2—12'	Parallel	2—10'



- NOTE 1: Minimum width of travel lanes is 24'. If adjacent to buildings 4 or more stories in height, minimum width is 26'
- NOTE 2: Parallel parking spaces are permitted. See Figure 5.1 for parking space dimensions. On-street parking may be located along all or any portion of the length of the street.
- NOTE 3: Street Trees may be located behind the curb or in landscape islands between parking spaces. See Section 4 for Street Tree planting standards. Dimension shown indicates the minimum width for tree planting.
- NOTE 4: Sidewalks are required within the right-of-way and shall be a minimum of 5' in width.
- NOTE 5: Inflections in street direction may be treated as corners (minimum 50' centerline radius) versus curves (250' radius).
- NOTE 6: Minimum interior turning radius is 26'.

FIGURE 3.4
URBAN COMMERCIAL ALTERNATE STREET SECTION WEST OF OS-2

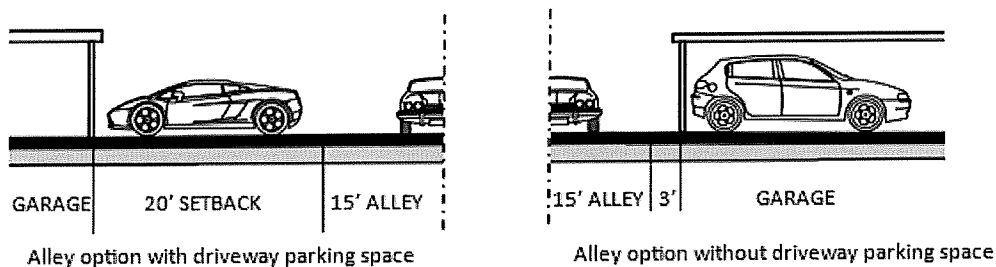
Street Classification	Minimum R.O.W.	Roadway Width (Overall to Front of Curb)	Number of Lanes and Width	Parking	Number of Parkways and Width
Urban Commercial Alt	44'	24'	2—12'	None	2—10'



- NOTE 1: Minimum width of travel lanes is 24'. If adjacent to buildings 4 or more stories in height, minimum width is 26'
- NOTE 2: On-street parking spaces are not permitted.
- NOTE 3: Street Trees shall be located behind the curb. See Section 4 for Street Tree planting standards.
- NOTE 4: Sidewalks are required within the right-of-way and shall be a minimum of 5' in width.

FIGURE 3.5
RESIDENTIAL ALLEY SECTION

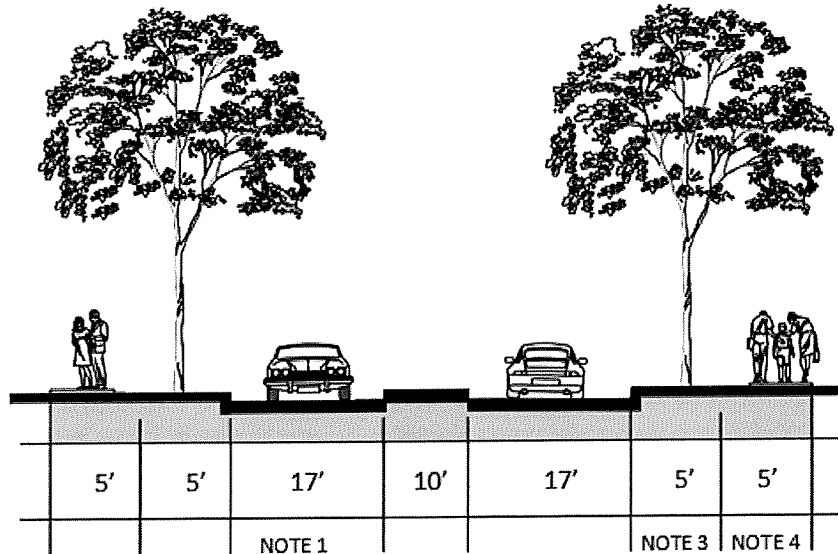
Street Classification	Minimum R.O.W.	Roadway Width (Overall Paving width)	Number of Lanes and Width	Parking	Number of Parkways and Widths
Residential Alley	15'	15'	1—15'	None	NA



Residential Alley to be used only with Single Family/TH lots. Multifamily shall use standard fire lanes.

FIGURE 3.6
URBAN COMMERCIAL ALTERNATIVE EAST OF OS-2 CONNECTING TO I-35E FRONTAGE ROAD

Street Classification	Minimum R.O.W.	Roadway Width (Overall to Front of Curb)	Number of Lanes and Width	Parking	Number of Parkways and Width
Urban Commercial Alt	64'	16' each way	2—16'	None	2—10'



- NOTE 1: Minimum width of travel lanes is 16' F-F or 17' B-B. Width does not require additional width adjacent to buildings 4 stories or taller.
- NOTE 2: On-street parking spaces are not permitted.
- NOTE 3: Street Trees shall be located behind the curb. See Section 4 for Street Tree planting standards.
- NOTE 4: Sidewalks are required within the right-of-way and shall be a minimum of 5' in width.

SECTION 4: PARKS AND OPEN SPACE STANDARDS

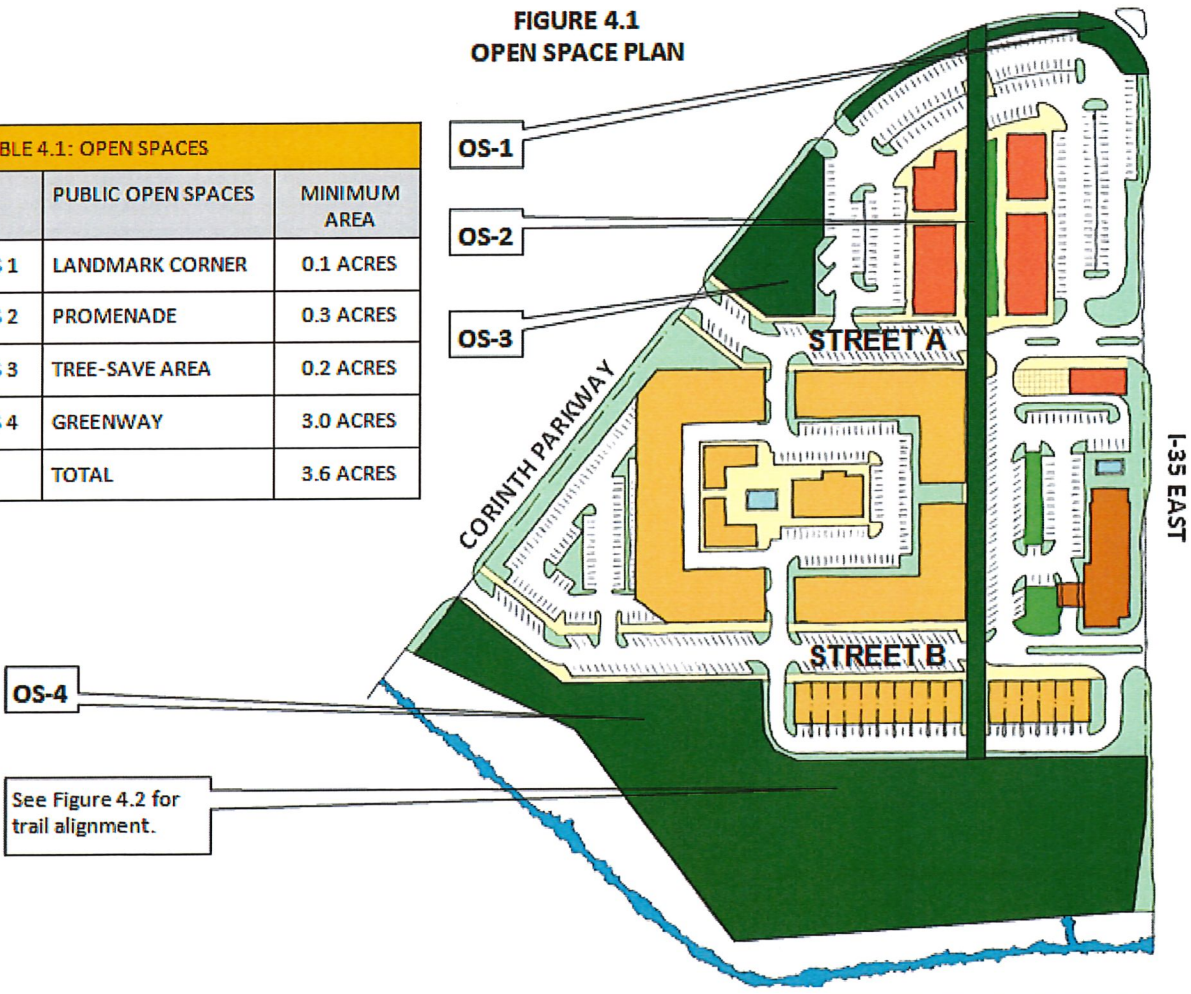
4.1 General Park and Open space standards

- A. **General:** The Planned Development District provides both public and private open space in order to ensure adequate outdoor recreational and aesthetic amenities for the residents. Private open space is not included in open space tabulations. The Public Open Spaces shall equal or exceed 10% of the gross area of the Planned Development District.
- B. **The Public Open Space** shall consist of a number of outdoor spaces that shall comply with the minimum standards and requirements herein. The following open spaces labelled as OS 1 through OS 3 are public open spaces owned and maintained privately but open to the public. OS 4 shall be public but may be owned and maintained privately or publicly.

- C. **OS 1 Landmark Corner:** The Landmark Corner shall be located in Block A and shall be contiguous to the intersection of Corinth Parkway and I-35E ROW. It shall be a minimum of 0.1 acres. OS 1 shall provide a walkway that connects the cross-walk at the intersection of Corinth Parkway and I-35E ROW to OS 2. An area shall be allocated for the use of the City to install signage, by entities other than Applicant, in coordination with the Applicant's Site Plan process.
- D. **OS 2 Promenade:** The Promenade shall extend from the northern boundary of Block A to the southern boundary of Block D, excluding parking lots and street ROW's. Within Block A, OS-2 shall include the restaurant courtyard which may contain outdoor dining areas and shall contain a minimum of 4 canopy trees, pedestrian lighting, paved walkways,

**FIGURE 4.1
OPEN SPACE PLAN**

TABLE 4.1: OPEN SPACES		
	PUBLIC OPEN SPACES	MINIMUM AREA
OS 1	LANDMARK CORNER	0.1 ACRES
OS 2	PROMENADE	0.3 ACRES
OS 3	TREE-SAVE AREA	0.2 ACRES
OS 4	GREENWAY	3.0 ACRES
	TOTAL	3.6 ACRES



SECTION 4

and visual access to outdoor dining areas. Within Block C, OS-2 shall be a minimum of 24' in width with a minimum of 12' of pavement and shall include a double row of trees spaced approximately 30' on stagger centers, and shall also include pedestrian lighting spaced a maximum of 60' on center. Within Block D, OS-2 shall include a walkway 8' minimum in width and pedestrian lighting and shall pass between the residential units to connect with the walkway in OS-4.

- E. **OS 3 Tree Save Area:** The open space shall include a tree-save area within the open space area. OS 3 shall be a minimum of 0.2 acres. Unprotected trees and undergrowth may be cleared to create a more park-like atmosphere. Monument signage is permitted within OS 3.
- F. **OS 4 Greenway:** The Greenway shall include a pedestrian walkway with benches, a minimum of 10,000 sf of land accessible from the walkway with slopes less than 5%, and may include a detention area, and a tree-save area. Developer shall use best efforts to preserve existing trees along the floodway and within Block E during the floodplain reclamation construction. Perimeter trees may be placed along the alley/parking lot boundary at the rate of 1 tree for each 30' buffering the boundary between Block D and OS-4. Trees may be clustered. The detention area may include retaining walls.

G. Landscape Buffers

- 1. Corinth Parkway, Block A: Minimum width shall be 15'. Trees shall be planted at the rate of 50' o.c. Shrubbery or ornamental grasses shall be planted as a continuous screen to a mature height of approximately 30" and/or a stone wall to a minimum height of 30" matching the stone and the detailing of the stone wall on Block C.
- 2. Corinth Parkway, Block C: Minimum width shall be 20'. A berm averaging a height of 30 inches, shall be planted with trees planted at the rate of one tree for every 50' but trees may be planted in clusters. Shrubbery or ornamental grasses planted at the rate of one 3 gallon shrub every 20' but may be planted in clusters; a minimum of 500 SF ground cover. Provide a stone wall on at least 25% of the frontage with a minimum average height of 30". Stonework to match the stone wall on Block A.
- 3. Corinth Parkway, Block E: No buffer shall be required.
- 4. I-35E, Block A: Minimum width shall be 10' and average width shall be 12'. The sidewalk shall comply with the walkway plan, trees shall be planted approximately 50' o.c., provided they do not interfere with the waterline easement, or with visibility triangles.
- 5. I-35E, Block B: Minimum width shall be 15'. Sidewalk shall comply with the walkway plan, trees shall be planted approximately 50' o.c., provided they do not interfere with the waterline easement or the visibility

triangles. Plant shrubbery as a continuous hedge to a minimum height of 3' at maturity adjacent to parking.

- 6. I-35E, Block D: Sidewalk shall comply with the walkway plan, trees shall be planted approximately 50' o.c., provided they do not interfere with the waterline easement. Trees may be clustered.
- 7. I-35E, Block E: No buffer shall be required.
- 8. Buffers adjacent to parking lots shall include a continuous shrubbery screen or wall to a minimum height of 30"

4.2: Trees

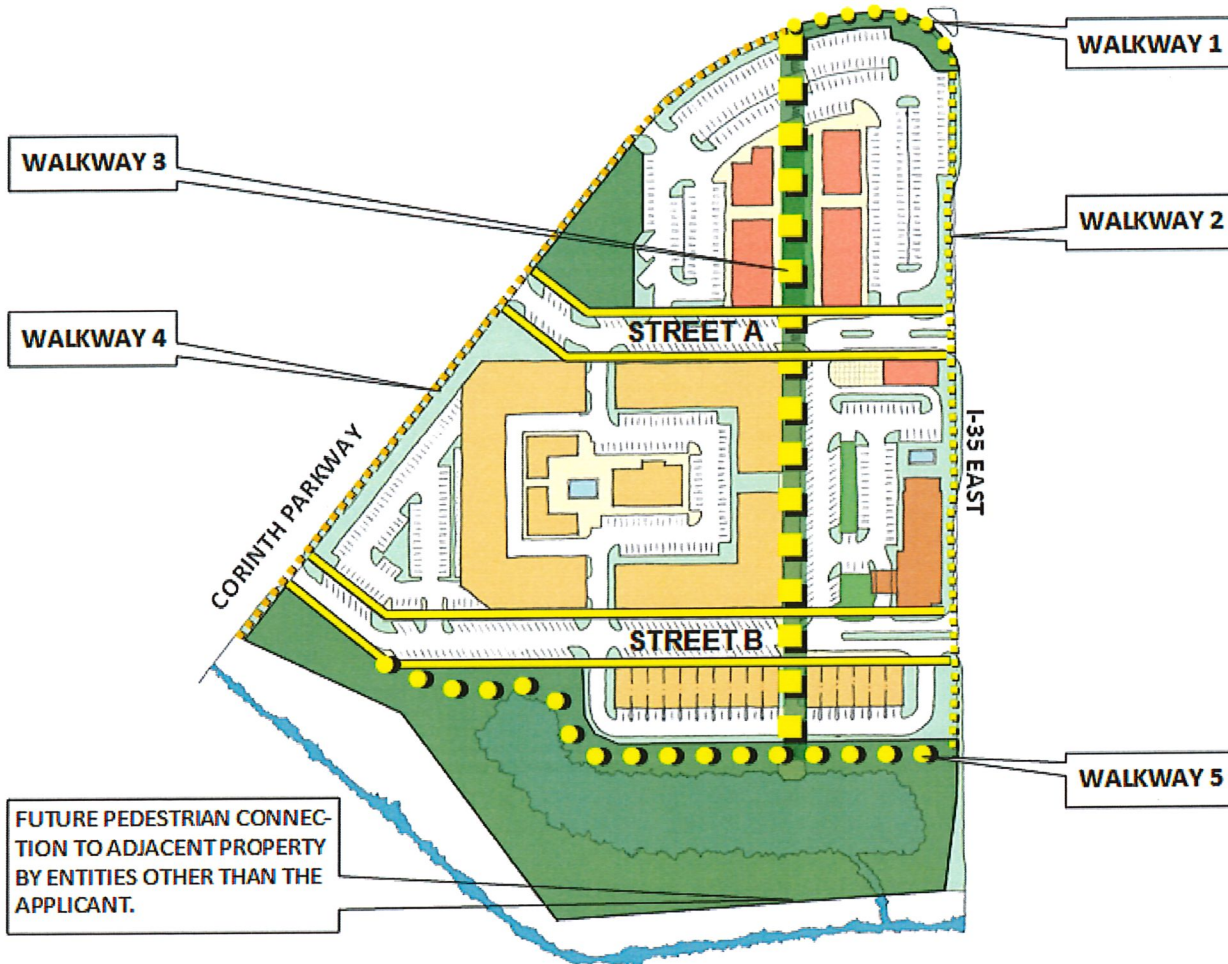
- A. **General:** The Planned Development District shall have preserved trees in the Tree-Save areas and newly planted trees in the street ROW's, in the parks and open spaces, and in the parking lots.
- B. **Tree Inventory:** The urban format of the development necessarily requires re-creating a new tree canopy that conforms to the development pattern of buildings, streets, urban parks and walkways. Since this is predominantly reclaimed land, most trees will need to be replaced with newly planted trees, consequently, the PD District shall be exempt from the Tree Preservation Ordinance 2.09.02.
- C. **Species:** Acceptable tree species and other planting material shall comply with species approved by the UDC.
- D. **Minimum Size:** The minimum size trunk diameter of newly planted trees shall be 3" (three inches).
- E. **Minimum Tree Planter:** The minimum size for a tree planter, whether a parking lot island or a street tree planting well, shall be 4'-6" in width. A root barrier shall be required adjacent to public streets. A smaller tree well may be approved by staff upon review and approval of plans, details, and specifications.
- F. **Tree-save areas** shall be subject to protection during construction, limiting grading within the dripline of preserved trees and prohibiting construction traffic and staging within tree-save areas. Tree-save areas shall preserve natural grade per UDC.

TABLE 4.2: MINIMUM TREE PLANTING TABLE	
LOCATION	MINIMUM TREE PLANTING
STREETS	1 TREE/50' MAXIMUM SPACING
PARKING LOTS	1 TREE / 10 PARKING SPACES
OS 1	4 TREES MINIMUM
OS-2	PLANTING PER PARAGRAPH 5.1.D
OS-3	NO ADDITIONAL PLANTING REQUIRED
OS-4	PLANTING PER PARAGRAPH 5.1.F

PARKWAY DISTRICT MIXED-USE DEVELOPMENT
CORINTH, TX

SECTION 4

**FIGURE 4.2
WALKWAY PLAN**

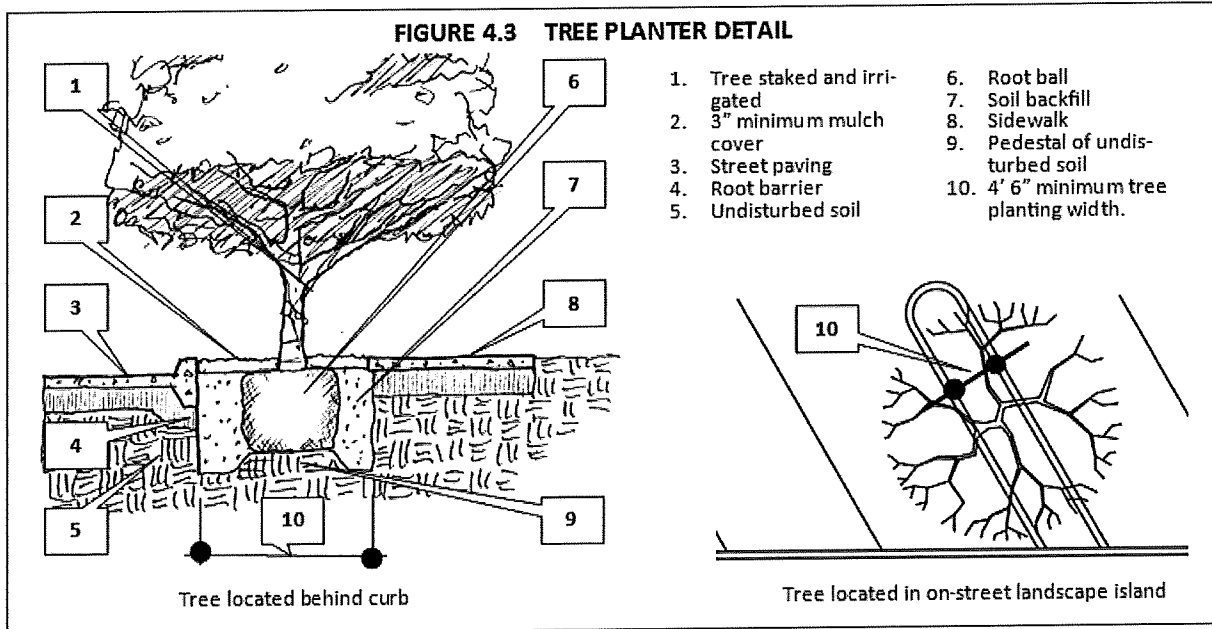


FUTURE PEDESTRIAN CONNECTION TO ADJACENT PROPERTY BY ENTITIES OTHER THAN THE APPLICANT.

TABLE 4.3: TRAILS AND SIDEWALKS			
	OPEN SPACES	MINIMUM WIDTH	LEGEND
WALKWAY 1	SIDEWALK CONNECTING I-35E INTERSECTION WITH OS-2 WALKWAY	5'	●●●●●●●●
WALKWAY 2	REQUIRED SIDEWALK ADJACENT TO I-35E	5'	●●●●●●●●
WALKWAY 3	PROMENADE FROM CORINTH PARKWAY TO OS-4	12'	■ ■ ■ ■ ■ ■ ■ ■
WALKWAY 4	EXISTING SIDEWALK ON CORINTH PARKWAY	NA	●●●●●●●●
WALKWAY 5	GREENWAY WALKWAY FROM CORINTH PARKWAY TO I-35E	6'	●●●●●●
	SIDEWALKS ON STREET A AND STREET B	5'	—————

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SECTION 5: PARKING STANDARDS

- A. Parking spaces for persons with disabilities shall be provided in the number and with such dimensions as are required by the Texas Accessibility Standards.
- B. The parking requirement may be reduced by the Planning and Development Director upon the submittal of a parking demand calculation by a licensed Texas Engineer.
- C. Dimensions. The minimum required dimensions of parking spaces and aisles shall be as indicated in this Section 5, Table 5.2.
- D. On-Street Parking: On-street parking may be counted toward required parking. No on-street parking space may be counted toward more than one platted lot, without submitting a shared parking study and a shared parking agreement for approval.
- E. Parking may be shared across commercial blocks.
- F. Covered Parking: Carports shall comply with the regulations governing building materials. Carports of metal construction are permitted, but may not be located within sight of public streets, or anywhere within Block D.
- G. Structured Parking: The parking facility may be visible from public streets provided that building materials conform to Section 6 of these standards. Glass shall not be required, but walls shall be designed to screen parked cars to a height of 42 inches above each finished floor level.
- H. Parking Lot Trees: Trees shall be planted in surface parking lots in accordance with Table 4.2.

TABLE 5.1 MINIMUM REQUIRED PARKING	
OCCUPANCY / USE	MINIMUM REQUIRED PARKING
General Retail	1 space per 250 sq ft
General Office	1 space per 350 sq ft
Restaurants	1 space per 100 sq ft
Urban Lofts	1.45 spaces per Dwelling Unit
Townhomes	2 enclosed garage spaces per Unit
Hotel	1 spaces per guestroom plus 5% for staff

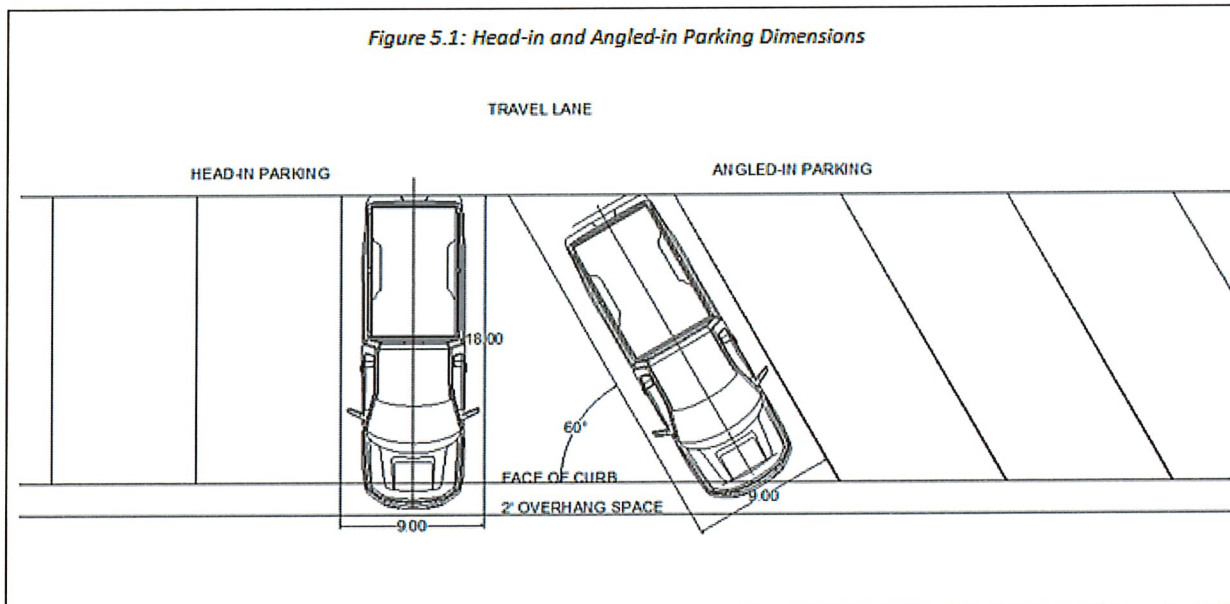
TABLE 5.2 PARKING STANDARDS		
PARKING TYPE	PARKING STANDARD	COMMENT
ON-STREET PARKING:		
Parallel Parking:	8' x 22' min	From Face of Curb
Angled-in Parking	See Figure 6.1	Angle = 60° from Curb
Head-in Parking	9' x 18'	Angle = 90° from Curb
PARKING LOTS		
Parking Space, Typical	9' x 18'	Accessible spaces comply w ADA
Aisle Width	24' min	
Landscape Requirements		1 tree per 10 spaces average
Tandem Spaces	9' x 18'	Only behind associated garage space for same tenant
GARAGES		
"Tuck-under" Garage Spaces	9' x 20' Min	Within Building Envelope
Tuck-under" Garage Doors		Garage Doors Required
Carport Spaces	9' x 18'	Not readily visible from public street

PARKWAY DISTRICT MIXED-USE DEVELOPMENT
CORINTH, TX

SECTION 5

TABLE 5.3 PARKING TABULATION (See Figure 3.2 for Land Use Inventory Acreage)							
Quantities are estimates and do not represent minimum or maximum units.	BLOCKS					LAND USE TOTALS	PARKING REQUIRED
	A	B	C	D	E		
URBAN RESIDENTIAL LOFTS (# OF UNITS) ESTIMATED UNIT COUNT & UNIT MIX: EFFICIENCY 10%, 1 BEDROOM 60%; 2 BEDROOM 30%,			327			327	474
TOWNHOMES				25			50
HOTEL (ESTIMATED GUESTROOMS)		80				80	84
RESTAURANTS (ESTIMATED AREA)	20,000	2,000				22,000	220
OFFICE (ESTIMATED AREA)		0	2,500			2,500	8
TOTAL REQUIRED PARKING	200	104	474	50	0		836

PARKING PROVIDED SHALL MEET OR EXCEED THE REQUIRED PARKING.



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SECTION 6: ARCHITECTURAL STANDARDS

- A. General: The following general regulations for all Blocks within the Planned Development District.
- B. The purpose of the architectural and building regulations is to establish the highest development standards fronting public streets, and to allow greater flexibility where the buildings are not visible to the public.
- C. Since the Planned Development standards do not include detailed engineering plans, any architectural elements that are required by engineering due to grading, such as retaining walls or stem walls, shall be permitted, and shall be brick or stone where visible. Retaining walls shall be engineered per UDC.
- D. If an exterior material is not addressed in Table 6.1, or if a new material is proposed, the material may be submitted to the Planning and Development Director for an evaluation. If it complies with the UDC, it may be approved administratively.
- E. Windows shall be recessed 3" from the wall plane in brick or stone masonry walls. In stucco walls, windows shall have a minimum half inch projecting trim around the head, sill, and jambs.
- F. Street Frontage
1. No vehicular gates, carports, or perimeter fences are permitted to obstruct the flow of traffic on Street A or Street B. Carports, garage doors, and parking lots shall not be located between the building and the street ROW. Carports will only be permitted on the internal areas of Block C and immediately west of the main structure. Carports will not be permitted on the 1st row of parking along Corinth Parkway.
 2. AC equipment and other mechanical equipment shall not be located between the building façade and any public street ROW.
 3. Block C Upper Floors shall provide a minimum of 25% of the residential units with balconies.
 4. Façade materials shall comply with Table 6.1.
- G. Materials: Three Step Stucco shall be included in Class 1 materials, which shall not include synthetic stucco or EIFS except for decorative trim. Cementitious Siding shall be included in Class 2 materials.
- H. The color palette for building walls that are not composed of brick or stone shall be neutral colors such as cream, taupe, white or earthen colors, unless approved administratively per UDC. This color palette shall not apply to signage.
- I. Commercial Storefronts shall include a minimum of 50% glass of the ground floor commercial frontage. The wall area shall be calculated by multiplying the length of the building frontage by the height from the finished interior floor to the finished ceiling. The glass area shall include window jambs, window heads, and window sills. Storefront windows shall have bulkheads beneath the windows not less than 18" above finished floor and not greater than 36" above finished floor. This paragraph shall apply to commercial space in Block C; it shall not apply to restaurants or hotels in Blocks A & B.
- J. BUILDING C1 (Figure 6.1): Ground floor residential units fronting Street A shall have a minimum of 50% of ground floor residential units with stoops and front doors opening onto the public street although primary access may be either from the sidewalk or from an interior corridor. The 4th floor located at the corner of Street A and the promenade (Walkway 2) shall include specialty architectural treatment: this may include additional glass, an identifying tower, an articulated roofline, or other signature treatment.
- K. BUILDING C2 (Figure 6.1): Ground floor residential units fronting Street B shall have a minimum of 50% of ground floor residential units with stoops and front doors opening onto the public street.
- L. Residential units in Block D shall have individual entry doors fronting on Street B. Front facades shall at least two of the following architectural features: 1) Elevated stoop, 2) Front Porch, 3) Covered Portico, 4) Recessed entry alcove.
- M. Residential Units in Block D shall have carriage style garage doors on any garages facing a public open space.
- N. Residential Units in Block D shall have roof pitches not less than 8:12 Pitch.
- O. Wall and ground utilities shall be screened from street view with landscaping or fencing.
- P. Fire Safety Notes
1. Any building 6,000sqft or greater, all multi-living (more than 2) facilities, and A2 with an occupant load exceeding 100 people must be sprinklered and monitored with a fire alarm system.
 2. Any building that is under 6,000sqft, divided into suites will require Fire Alarm Coverage.
 3. Parking garage must have stand-pipe and may be require to be sprinklered.
 4. All buildings may require Emergency Radio Responder Communication Coverage.
 5. Fire lanes must be a minimum of 24ft wide and a minimum of 26ft wide for buildings or facilities exceeding three stories in height and shall not have fewer than 2 means of fire apparatus access to each structure.

PARKWAY DISTRICT MIXED-USE DEVELOPMENT
CORINTH, TX

SECTION 6

TABLE 6.1 MATERIAL BUILDING STANDARDS

ITEM	FACADE A	FACADE B
FACADE MATERIALS - GROUND FLOOR		
GROUND FL MASONRY, MINIMUM	90% CLASS 1**	90% CLASS 2**
FACADE MATERIALS - 2ND FLOOR AND ABOVE FLOOR		
MASONRY MINIMUM	90% CLASS 1**	90% CLASS 2**
CEMENTIOUS SIDING, maximum	10% *	n/a
METAL, maximum	10%	10%
WOOD, maximum	10%	10%
EIFS, maximum	10%	10%
EXPOSED CMU	N	N
EXPOSED AGGREGATE	N	N

* Cementitious Siding permitted on recessed balconies in addition to minimum percentage.
 ** Corinth UDC Section 5.02.214: Masonry Construction—as modified by Paragraph 6.G
 Class 1: Masonry Construction shall include the following exterior construction materials: fired brick, natural and manufactured stone, granite, and marble, **plus 3-step Stucco**.
 Class 2: Masonry Construction shall include the following exterior construction materials: all Class 1 Masonry Construction, architectural concrete block, 3-step stucco process, and tilt wall concrete panels, **plus cementitious siding**.
 Class 3: Masonry Construction shall include the following exterior construction materials: all Class 1 Masonry Construction, Class 2 Masonry Construction, EIFS, and sealed and painted concrete block.



Examples of townhome stoops

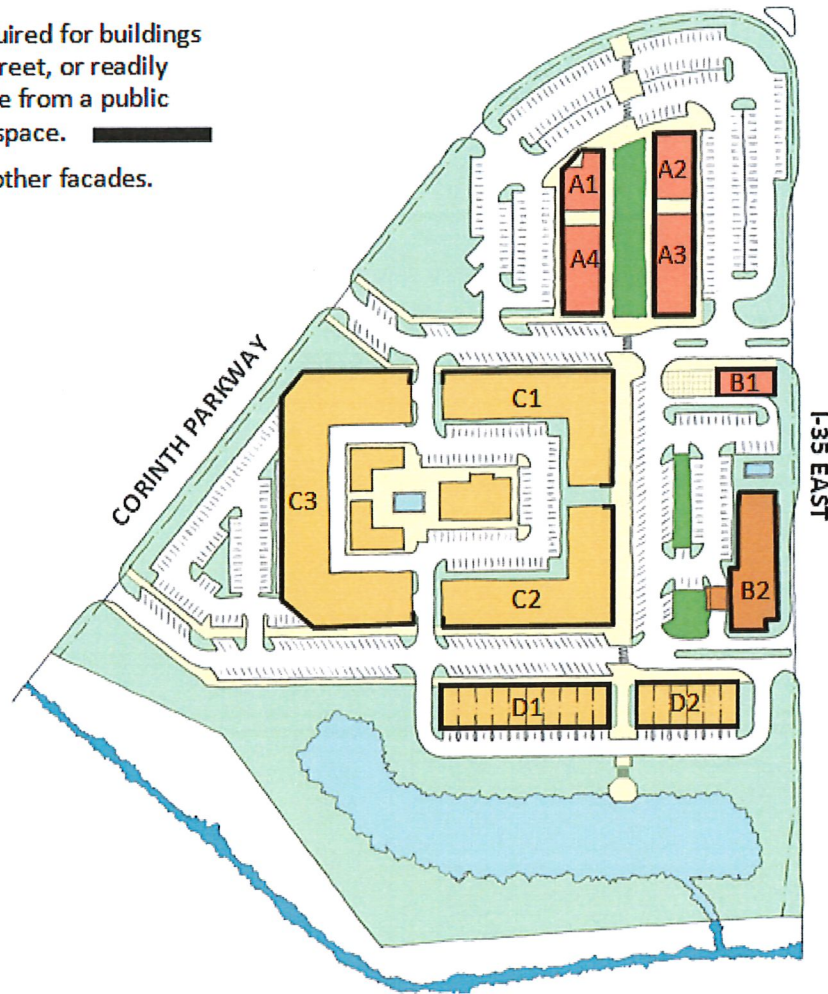
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**FIGURE 6.1
FRONTAGE PLAN**

FAÇADE TYPE A: Required for buildings fronting on a public street, or readily and significantly visible from a public street or public open space. ██████████

FAÇADE TYPE B: All other facades.







SECTION 7: SIGNAGE STANDARDS

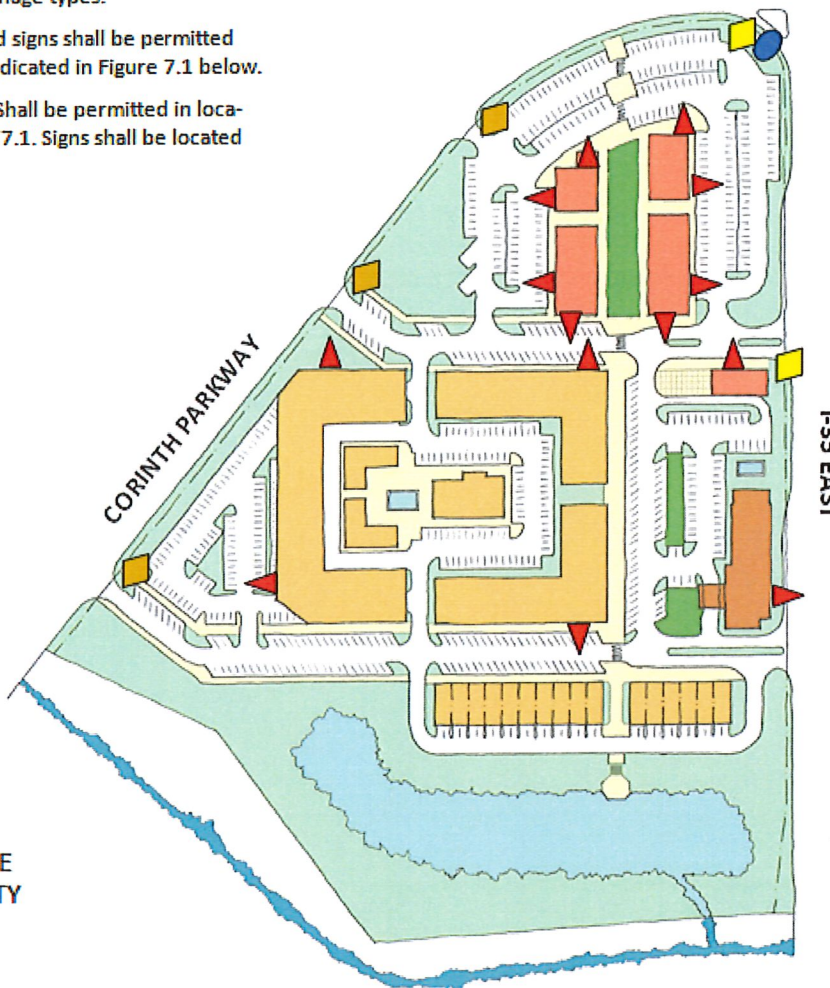
- A. General: The following identify general regulations for all Blocks within the Parkway District Planned Development.
- B. The Parkway District Planned Development shall comply with the Corinth sign regulations as established in Section 4.01 of the UDC, except as described below.
- C. For the purpose of signage regulation, all businesses within the PD District shall be considered as residing on a single lot; all signs referring to businesses with the Parkway District shall be considered on-premise signs.
- D. Parkway District Planned Development fronting Corinth Parkway or I-35E may consist of multiple businesses, and may include the following signage types.
 - 1. Attached Signs: Attached signs shall be permitted on building facades as indicated in Figure 7.1 below.
 - 2. Monument Signs I-35E: Shall be permitted in locations indicated in Figure 7.1. Signs shall be located

with a minimum 10' setback from Corinth Parkway and I-35E ROW, shall not exceed 30' in height, and the smallest rectangle encompassing the lettering shall not exceed 300 square feet. See Figure 7.2 of proposed Monument Sign.

- 3. Monument Signs Corinth Parkway: Shall be permitted in locations indicated in Figure 7.1. Signs shall be located with a minimum 10' setback from Corinth Parkway and I-35E ROW, shall not exceed 15' in height, and the smallest rectangle encompassing the lettering shall not exceed 120 square feet.

**FIGURE 7.1
SIGNAGE PLAN**

-  ATTACHED SIGN
-  MONUMENT SIGN I-35E
-  MONUMENT SIGN CORINTH PARKWAY
-  RESERVE SPACE, TO BE DETERMINED, FOR CITY-INSTALLED KIOSK



**FIGURE 7.2
MONUMENT SIGN**

DIMENSIONS

Setback:.....15'

Height:30'

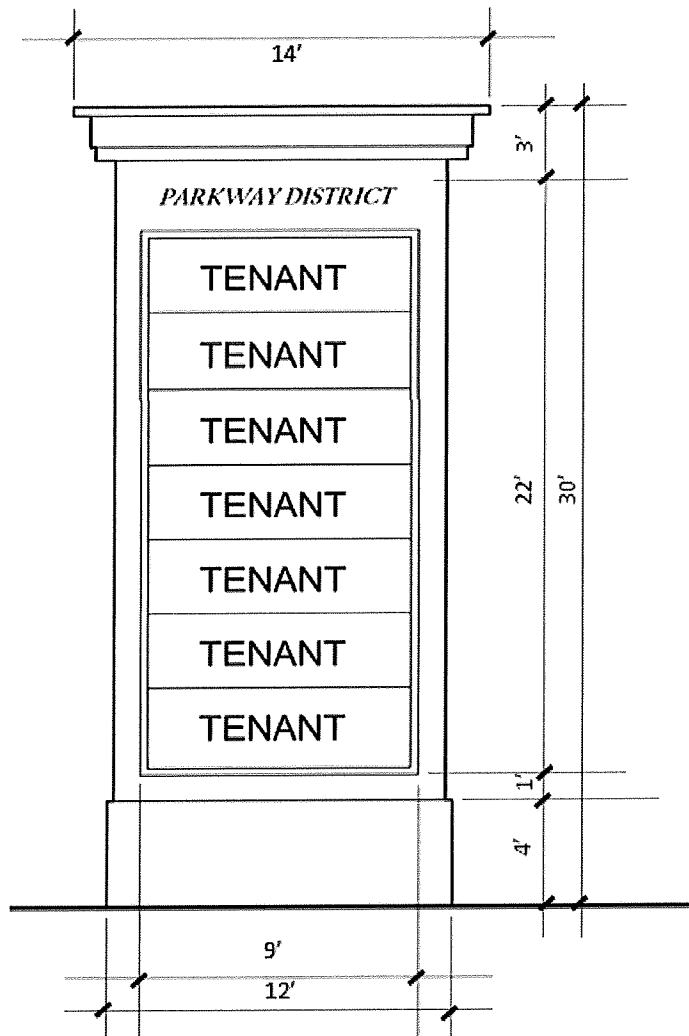
Sign Area:200 sf

Structure Area:320 max sf

Letters..... 6" min

ENHANCEMENTS:

1. Architectural Materials
Matching the Building
2. Architectural Features
Matching the Building
3. Architectural Design
Matching the Building
4. External Lighting, Shielded, Directed, Spot Light Fixtures
5. Landscape Ratio of Greater than 1:1 for Ground Area to Sign Area
6. Contrasting Sign Colors
7. Simple Font Styles with Limited Text or Logos Specific Panel Size for Individual Tenants



Proposed Sign is an illustration of a Monument Sign under the existing regulations. Final dimensions may vary within regulations.



OFFICIAL USE:
Case Number: PDA22-0004
Fees Paid: N/A

Site Address (Attach Location Map): See attached

Approved PD: PD-59 Parkway District Mixed Use Planned Development (ZAPD21-0001)

Name (Applicant/Authorized Agent): Realty Capital Partners and City of Corinth

Applicant Signature: _____ *[Handwritten Signature]*

Minor PD, Planned Development Amendment Application*

In accordance with UDC Section 2.10.09.D.1., The Director of Development Services may administratively approve or defer to City Council a Minor PD Amendment and Adjustment to the Planned Development Ordinance.

* Please also complete and attach a [Universal Planning Application](#).

APPLICANT MODIFICATION/AMENDMENT REQUEST - Amend PD-59 - Parkway District Mixed Use Planned Development District as originally approved by City Council on 8/19/21. Specifically, amend Figure 2.1 Concept Plan and Figure 2.2 Regulating Plan (see attached revised exhibits) to reconfigure the Urban Residential Multifamily Building(s) and associated parking layout to:

- (1) reorient the western most building to front along Corinth Parkway while maintaining a minimum of 10' landscape edge buffer, including the removal of the berm as referenced in 4.2.G.2
- (2) reduce the number of private recreation buildings (internal to the urban residential wrap) in order to relocate and add surface parking
- (3) eliminate the open space area (initially shown breaking up the massing of the buildings along the proposed promenade) to create one continuous façade along the promenade,
- (4) adjust the location of interior access points along Streets A and B to serve the new building layout which includes reconfiguration of on-street parking.

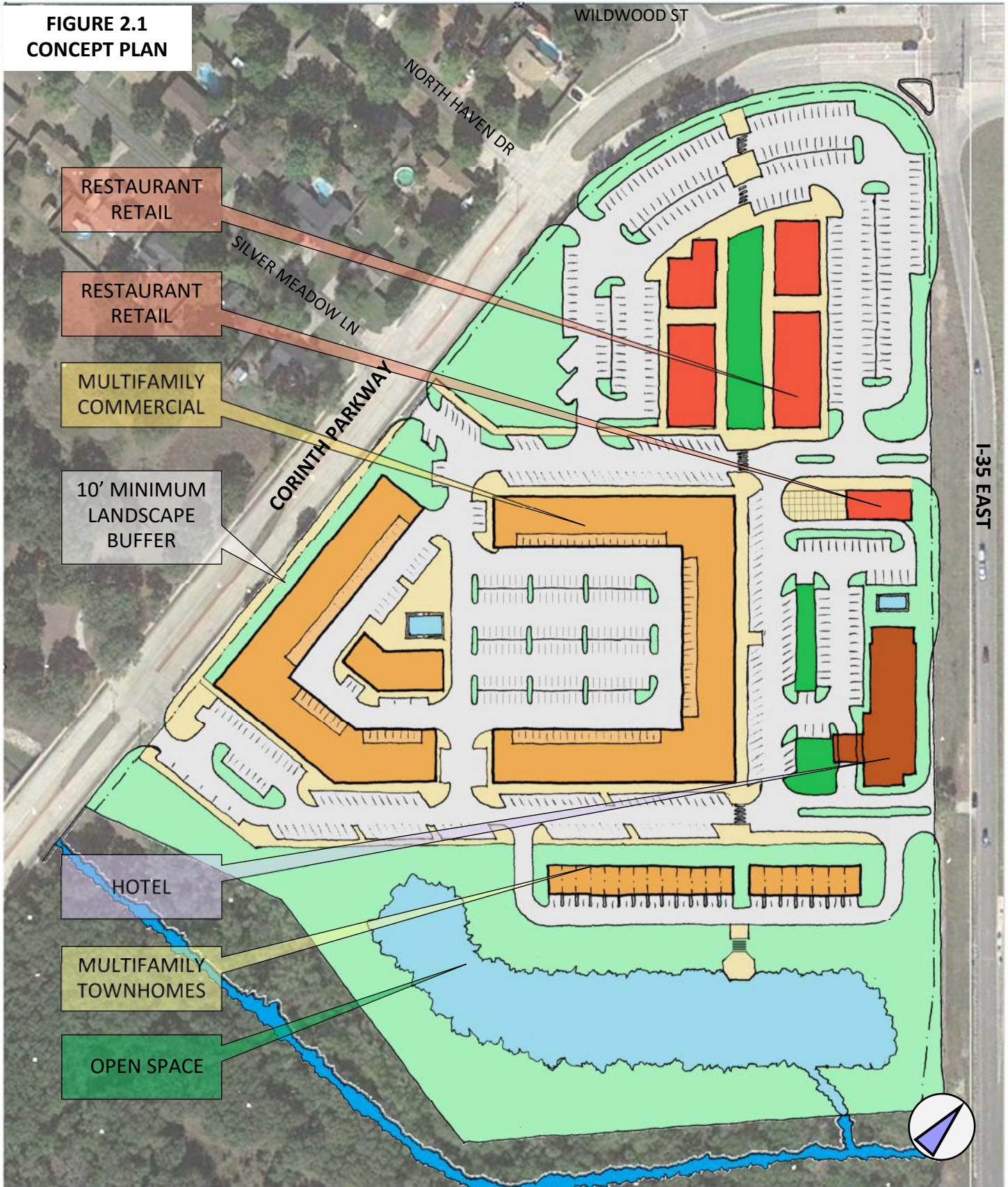
Staff Comments/Conditions:

The design of Streets A and B shall be in accordance with the cross-sections presented in Section 3 of the approved PD-59. The location of surface parking and the interior drive access points near to the intersections with Corinth Parkway will be reevaluated to reflect best practices for access management and to create a "complete street" with sidewalks, shade trees, and the overall design as presented Section 3. The ownership of Streets A and B, whether public or private, will be determined at time of Site Plan application.

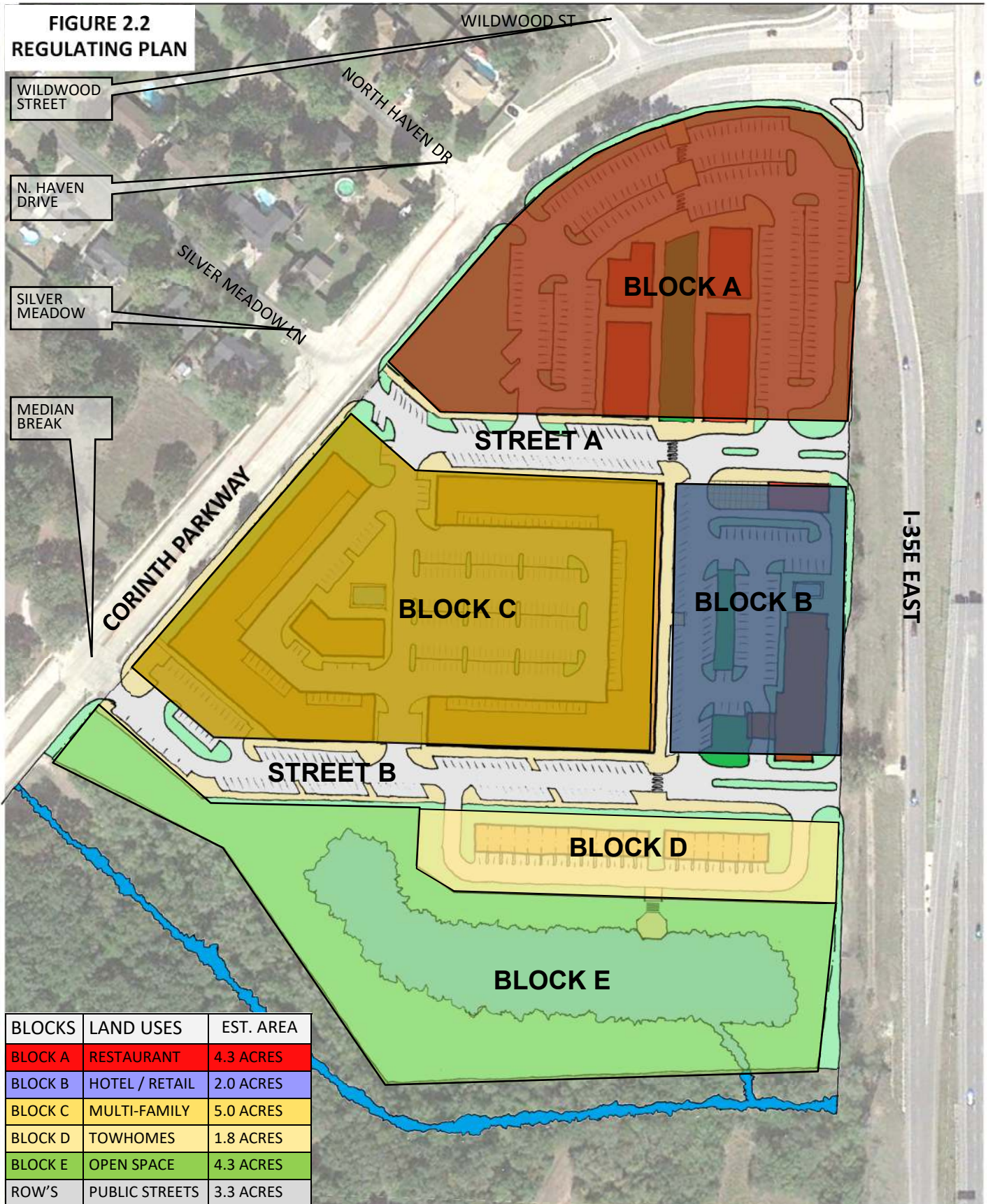
Approved/Denied:
John S Webb

 Approved Digital Signature
John Webb, AICP,
Director of Development Services
 Date: September 15, 2022

**FIGURE 2.1
CONCEPT PLAN**



**FIGURE 2.2
REGULATING PLAN**





OFFICIAL USE:
Case Number: PDA23- 0004
Fees Paid: N/A

Site Address (Attach Location Map): See attached

Approved PD: PD-59 Parkway District Mixed Use Planned Development (ZAPD21-0001)

Name (Applicant/Authorized Agent): Tim Coltart

Applicant Signature:

[Handwritten signature and yellow redaction bar]

Minor PD, Planned Development Amendment Application*

In accordance with UDC Section 2.10.09.D.1., The Director of Development Services may administratively approve or defer to City Council a Minor PD Amendment and Adjustment to the Planned Development Ordinance.

* Please also complete and attach a [Universal Application](#).

APPLICANT MODIFICATION/AMENDMENT REQUEST - Amend PD-59 - Parkway District Mixed Use Planned Development District as originally approved by City Council on 8/19/21, and as amended by Minor PD Amendment PDA22-0004, approved by Staff on 9/15/22.

Specifically, this Minor PD Amendment amends Figure 2.2 Regulating Plan (see attached revised exhibit) to reconfigure the area and boundaries of various Blocks as depicted in the Parkway District Preliminary Plat (attached). The amended Block areas are as follows:

- a. Block A:
 - i. Restaurant approximately ± 4.01 acres (Preliminary Plat Lot 4)
 - ii. Open Space approximately ± 0.46 acres (Preliminary Plat Lot 4X)
- b. Block B: Hotel/Retail approximately ± 1.61 acres (Preliminary Plat Lot 3)
- c. Block C: Multifamily approximately ± 5.59 acres (Preliminary Plat Lot 1)
- d. Block D: Townhomes approximately ± 1.40 acres (Preliminary Plat Lot 2)
- e. Block E: Open Space approximately ± 4.82 acres (Preliminary Plat Lot 3X)
- f. Private Drives: approximately ± 1.17 (Preliminary Plat Lot 1X) and ± 1.76 (Preliminary Plat Lot 2X)

Staff Comments/Conditions:

A Property Owners Association shall be established, which shall encompass all lots identified in the Preliminary Plat of the Parkway District subdivision. The Covenants, Conditions, and Restrictions (CCRs) document shall be provided to the City of Corinth for review and approval prior to submitting any Final Plat to the City for approval. The CCRs shall be recorded by the County Clerk prior to or concurrently to the recording of the first Final Plat for the subdivision.

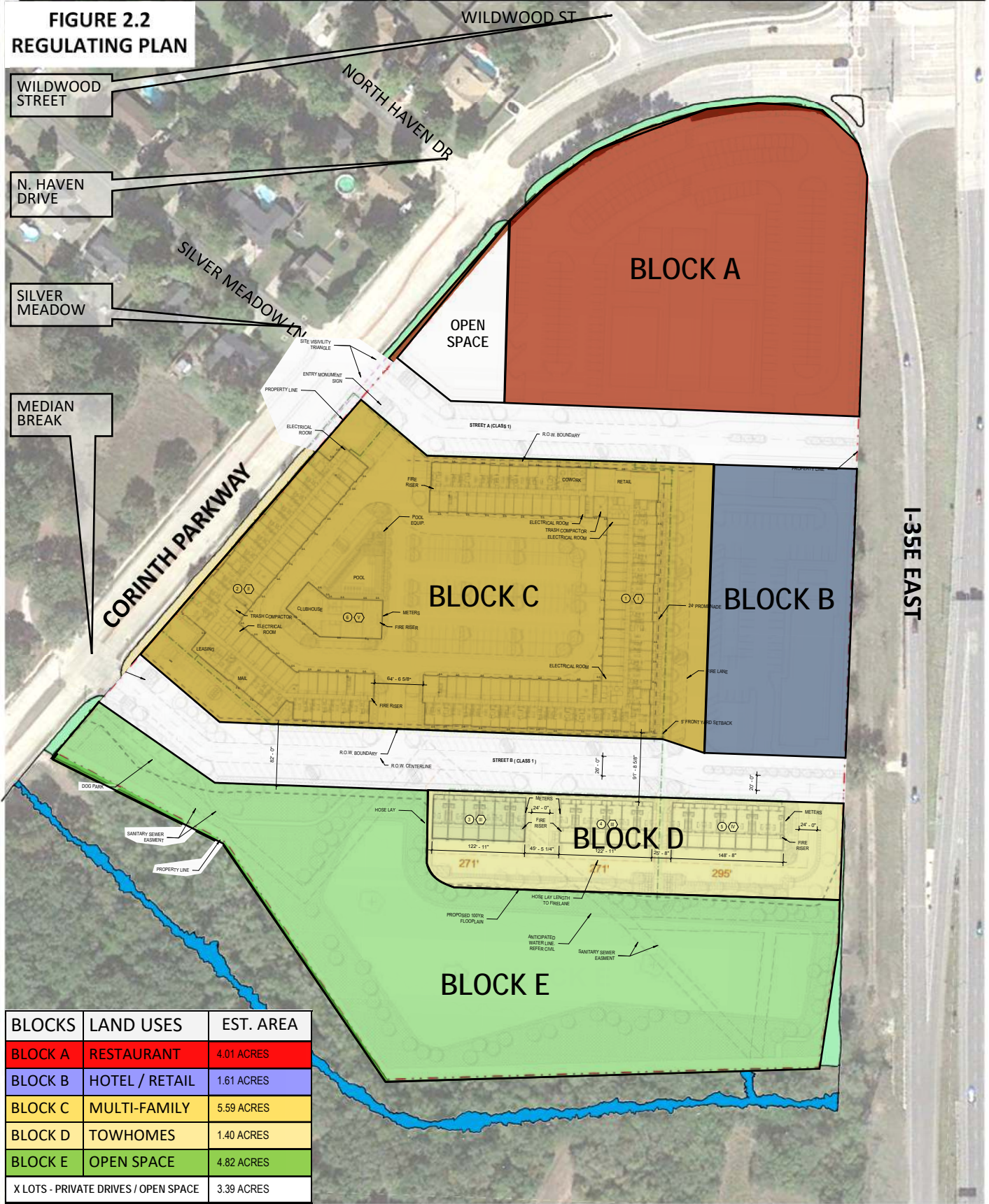
Additionally, the Applicant's comment on the attached sheet 8 regarding Section 6: Architectural Standards., Item N. is hereby by amended/deteled by this document as shown in excerpt below.

Approved/Denied:
J. S. Webb

John Webb, AICP,
Director of Development Services
Date: 07-10-2023

- doors on any garages facing a public open space.
- N. ~~Residential Units in Block D shall have roof pitches not less than 8:12 Pitch.~~ As discussed with John Webb, the development team proposes to eliminate requirement N. so residential units in Block D are more compatible with warehouse style multifamily buildings in Block C. Additionally, eliminating this pitched roof requirement will create clear sight lines across the site.
- O. Wall and ground utilities shall be screened from street view with landscaping or fencing.
- P. Fire Safety Notes
 - 1. Any building 6,000sqft or greater, all multi-living (more

**FIGURE 2.2
REGULATING PLAN**



BLOCKS	LAND USES	EST. AREA
BLOCK A	RESTAURANT	4.01 ACRES
BLOCK B	HOTEL / RETAIL	1.61 ACRES
BLOCK C	MULTI-FAMILY	5.59 ACRES
BLOCK D	TOWHOMES	1.40 ACRES
BLOCK E	OPEN SPACE	4.82 ACRES
X LOTS - PRIVATE DRIVES / OPEN SPACE		3.39 ACRES

BLOCK 4
122.24'

WILDWOOD ST.
(60' RIGHT-OF-WAY)

LOT 31
BLOCK 3
(ZONED C-1:
COMMERCIAL)

(ZONED SF-3: SINGLE
FAMILY RESIDENTIAL)

LOT 1
BLOCK 3

**NORTH
HAVEN DRIVE**
(60' RIGHT-OF-WAY)

(ZONED SF-3: SINGLE
FAMILY RESIDENTIAL)

LOT 20, BLOCK 2
CORINTH SHORES
ESTATES

LOT 1
BLOCK 2

**SILVER
MEADOW
LANE**
(60' RIGHT-OF-WAY)

LOT 1
BLOCK 1

(ZONED SF-3: SINGLE
FAMILY RESIDENTIAL)

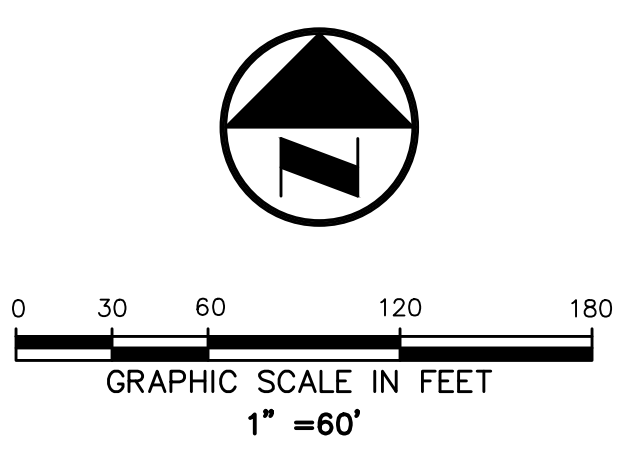
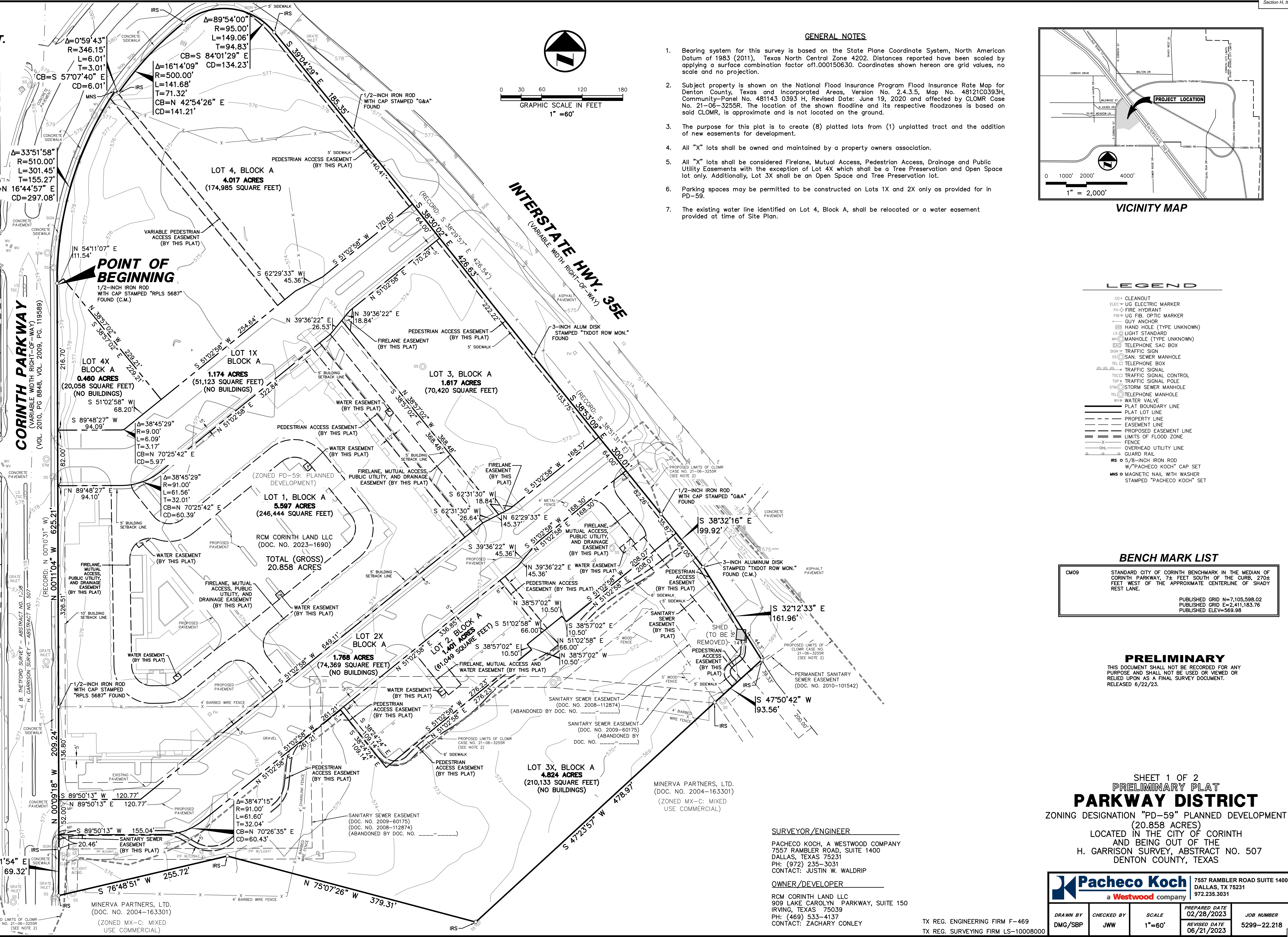
TIMBER RIDGE SF, LTD.
(DOC. NO. 2022-65473)

(ZONED PD-60: PLANNED
DEVELOPMENT)

J. B. THEFTORD SURVEY - ABSTRACT NO. 1,208
H. GARRISON SURVEY - ABSTRACT NO. 507

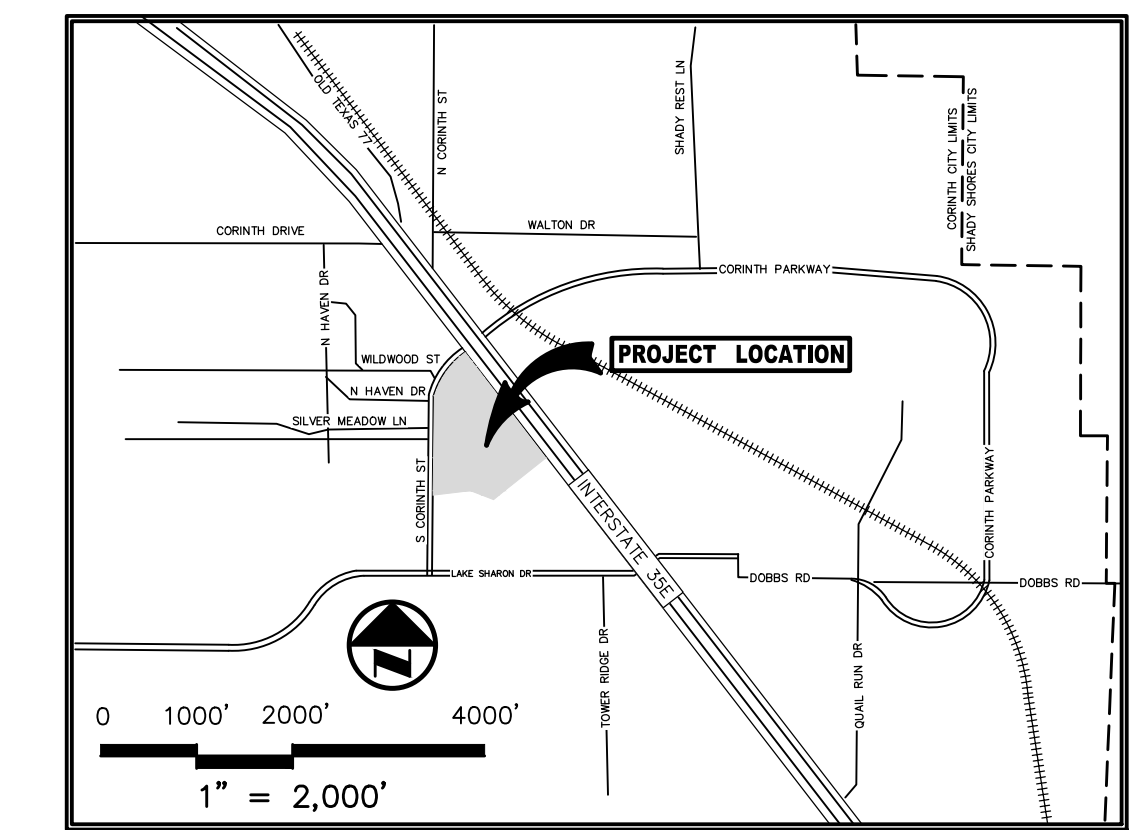
MINERVA PARTNERS, LTD.
(DOC. NO. 2004-163301)

(ZONED MX-C: MIXED
USE COMMERCIAL)



GENERAL NOTES

- 1. Bearing system for this survey is based on the State Plane Coordinate System, North American Datum of 1983 (2011), Texas North Central Zone 4202. Distances reported have been scaled by applying a surface combination factor of 1.000150630. Coordinates shown here are grid values, no scale and no projection.
- 2. Subject property is shown on the National Flood Insurance Program Flood Insurance Rate Map for Denton County, Texas and Incorporated Areas, Version No. 2.4.3.5, Map No. 48121C0393H, Community-Panel No. 481143 0393 H, Revised Date: June 19, 2020 and affected by CLOMR Case No. 21-06-3255R. The location of the shown floodline and its respective floodzones is based on said CLOMR, is approximate and is not located on the ground.
- 3. The purpose for this plat is to create (8) platted lots from (1) unplatted tract and the addition of new easements for development.
- 4. All "X" lots shall be owned and maintained by a property owners association.
- 5. All "X" lots shall be considered Firelane, Mutual Access, Pedestrian Access, Drainage and Public Utility Easements with the exception of Lot 4X which shall be a Tree Preservation and Open Space lot only. Additionally, Lot 3X shall be an Open Space and Tree Preservation lot.
- 6. Parking spaces may be permitted to be constructed on Lots 1X and 2X only as provided for in PD-59.
- 7. The existing water line identified on Lot 4, Block A, shall be relocated or a water easement provided at time of Site Plan.



VICINITY MAP

LEGEND

- CO = CLEANOUT
- ELEC = UG ELECTRIC MARKER
- PH = FIRE HYDRANT
- FB = UG FIB. OPTIC MARKER
- GA = GUY ANCHOR
- HH = HAND HOLE (TYPE UNKNOWN)
- LS = LIGHT STANDARD
- MH = MANHOLE (TYPE UNKNOWN)
- TS = TELEPHONE SAC BOX
- TR = TRAFFIC SIGN
- SS = SAN. SEWER MANHOLE
- TE = TELEPHONE BOX
- WV = WATER VALVE
- TS = TRAFFIC SIGNAL
- TSC = TRAFFIC SIGNAL CONTROL
- TSP = TRAFFIC SIGNAL POLE
- STM = STORM SEWER MANHOLE
- TEL = TELEPHONE MANHOLE
- PLAT BOUNDARY LINE
- PLAT LOT LINE
- PROPERTY LINE
- EASEMENT LINE
- PROPOSED EASEMENT LINE
- LIMITS OF FLOOD ZONE
- FENCE
- GUARD RAIL
- OVERHEAD UTILITY LINE
- IRS = 5/8-INCH IRON ROD WITH CAP STAMPED "G&A" FOUND
- MNS = MAGNETIC NAIL WITH WASHER STAMPED "PACHECO KOCH" SET

BENCH MARK LIST

CM09	STANDARD CITY OF CORINTH BENCHMARK IN THE MEDIAN OF CORINTH PARKWAY, 7 1/2 FEET SOUTH OF THE CURB, 270± FEET WEST OF THE APPROXIMATE CENTERLINE OF SHADY REST LANE.	PUBLISHED GRID N=7,105,598.02 PUBLISHED GRID E=2,411,183.76 PUBLISHED ELEV=569.98
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PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT. RELEASED 6/22/23.

SHEET 1 OF 2
PRELIMINARY PLAT
PARKWAY DISTRICT
ZONING DESIGNATION "PD-59" PLANNED DEVELOPMENT (20.858 ACRES)
LOCATED IN THE CITY OF CORINTH AND BEING OUT OF THE H. GARRISON SURVEY, ABSTRACT NO. 507 DENTON COUNTY, TEXAS

SURVEYOR/ENGINEER

PACHECO KOCH, A WESTWOOD COMPANY
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
PH: (972) 235-3031
CONTACT: JUSTIN W. WALDRIP

OWNER/DEVELOPER

RCM CORINTH LAND LLC
909 LAKE CAROLYN PARKWAY, SUITE 150
IRVING, TEXAS 75039
PH: (469) 533-4137
CONTACT: ZACHARY CONLEY

TX REG. ENGINEERING FIRM F-469
TX REG. SURVEYING FIRM LS-10008000

	7557 RAMBLER ROAD SUITE 1400 DALLAS, TX 75231 972.235.3031				
DRAWN BY DMG/SBP	CHECKED BY JWW	SCALE 1"=60'	PREPARED DATE 02/28/2023	REVISED DATE 06/21/2023	JOB NUMBER 5299-22.218

SPHILLIPS 6:58 AM
K:\WORK\5299-22.218\DWG\SURVEY.C3D 2018\5299-22.218PP_REV1.DWG

PRELIMINARY PLAT-PARKWAY DISTRICT

SECTION 6: ARCHITECTURAL STANDARDS

- A. General: The following general regulations for all Blocks within the Planned Development District.
- B. The purpose of the architectural and building regulations is to establish the highest development standards fronting public streets, and to allow greater flexibility where the buildings are not visible to the public.
- C. Since the Planned Development standards do not include detailed engineering plans, any architectural elements that are required by engineering due to grading, such as retaining walls or stem walls, shall be permitted, and shall be brick or stone where visible. Retaining walls shall be engineered per UDC.
- D. If an exterior material is not addressed in Table 6.1, or if a new material is proposed, the material may be submitted to the Planning and Development Director for an evaluation. If it complies with the UDC, it may be approved administratively.
- E. Windows shall be recessed 3" from the wall plane in brick or stone masonry walls. In stucco walls, windows shall have a minimum half inch projecting trim around the head, sill, and jambs.
- F. Street Frontage
 - 1. No vehicular gates, carports, or perimeter fences are permitted to obstruct the flow of traffic on Street A or Street B. Carports, garage doors, and parking lots shall not be located between the building and the street ROW. Carports will only be permitted on the internal areas of Block C and immediately west of the main structure. Carports will not be permitted on the 1st row of parking along Corinth Parkway.
 - 2. AC equipment and other mechanical equipment shall not be located between the building façade and any public street ROW.
 - 3. Block C Upper Floors shall provide a minimum of 25% of the residential units with balconies.
 - 4. Façade materials shall comply with Table 6.1.
- G. Materials: Three Step Stucco shall be included in Class 1 materials, which shall not include synthetic stucco or EIFS except for decorative trim. Cementitious Siding shall be included in Class 2 materials.
- H. The color palette for building walls that are not composed of brick or stone shall be neutral colors such as cream, taupe, white or earthen colors, unless approved administratively per UDC. This color palette shall not apply to signage.
- I. Commercial Storefronts shall include a minimum of 50% glass of the ground floor commercial frontage. The wall area shall be calculated by multiplying the length of the

building frontage by the height from the finished interior floor to the finished ceiling. The glass area shall include window jambs, window heads, and window sills. Storefront windows shall have bulkheads beneath the windows not less than 18" above finished floor and not greater than 36" above finished floor. This paragraph shall apply to commercial space in Block C; it shall not apply to restaurants or hotels in Blocks A & B.

- J. BUILDING C1 (Figure 6.1): Ground floor residential units fronting Street A shall have a minimum of 50% of ground floor residential units with stoops and front doors opening onto the public street although primary access by be either from the sidewalk or from an interior corridor. The 4th floor located at the corner of Street A and the promenade (Walkway 2) shall include specialty architectural treatment: this may include additional glass, an identifying tower, an articulated roofline, or other signature treatment.
- K. BUILDING C2 (Figure 6.1): Ground floor residential units fronting Street B shall have a minimum of 50% of ground floor residential units with stoops and front doors opening onto the public street.
- L. Residential units in Block D shall have individual entry doors fronting on Street B. Front facades shall at least two of the following architectural features: 1) Elevated stoop, 2) Front Porch, 3) Covered Portico, 4) Recessed entry alcove.
- M. Residential Units in Block D shall have carriage style garage doors on any garages facing a public open space.
- N. ~~Residential Units in Block D shall have roof pitches not less than 8:12 Pitch.~~ As discussed with John Webb, the development team proposes to eliminate requirement N. so residential units in Block D are more compatible with warehouse style multifamily buildings in Block C. Additionally, eliminating this pitched roof requirement will create clear sight lines across the site.
- O. Wall and ground utilities shall be screened from street view with landscaping or fencing.
- P. Fire Safety Notes
 - 1. Any building 6,000sqft or greater, all multi-living (more than 2) facilities, and A2 with an occupant load exceeding 100 people must be sprinklered and monitored with a fire alarm system.
 - 2. Any building that is under 6,000sqft, divided into suites will require Fire Alarm Coverage.
 - 3. Parking garage must have stand-pipe and may be require to be sprinklered.
 - 4. All buildings may require Emergency Radio Responder Communication Coverage.
 - 5. Fire lanes must be a minimum of 24ft wide and a minimum of 26ft wide for buildings or facilities exceeding three stories in height and shall not have fewer than 2 means of fire apparatus access to each structure.



CITY OF CORINTH
Staff Report

Meeting Date:	7/20/2023	Title:	Budget Amendment - Property Purchase for Tower Ridge Dr Expansion
Strategic Goals:	<input type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input type="checkbox"/> Attracting Quality Development		
Owner Support:	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission N/A		

Item/Caption

Consider and act on an Ordinance of the City of Corinth approving an amendment to the fiscal year 2022-2023 budget and annual program of services to provide for the expenditure of funds to purchase property to expand Tower Ridge Drive in the Roadway Impact Fee Fund; and providing an effective date.

Item Summary/Background/Prior Action

In 2020, the Council adopted the City’s Master Throughfare Plan, which included the expansion of Tower Ridge Drive. Furthermore, the plan called for the project costs to be offset by impact fees; this purchase of property is impact fee eligible. The property purchase will facilitate the expansion project; however, the budget did not include sufficient funding to complete the property purchase.

Financial Impact

The budget amendment proposes the use of fund balance of \$330,000 from the Roadway Impact Fee Fund. The projected year end fund balance for the Roadway Impact Fee Fund is \$825,598.

Applicable Owner/Stakeholder Policy

Section 9.05 Supplemental Appropriations of the City Charter allows that “if during the fiscal year the City Manager certifies that there are revenues available in excess of those estimated in the budget or funds otherwise available in unencumbered reserves, the Council by ordinance may make supplemental appropriations for the year up to the amount of these available funds.”

Staff Recommendation/Motion

Staff recommends approval of the Ordinance amending the fiscal year 2022-23 Annual Program of services for the expenditure of funds to pay for the property purchase.

ORDINANCE NO. 23-07-20-

AN ORDINANCE OF THE CITY OF CORINTH, TEXAS APPROVING AN AMENDMENT TO ORDINANCE NO. 22-09-22-33 REGARDING THE FISCAL YEAR 2022-2023 CITY OF CORINTH BUDGET AND ANNUAL PROGRAM OF SERVICES TO PROVIDE FOR EXPENDITURES OF FUNDS TO PAY FOR THE PURCHASE OF PROPERTY, AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Corinth is a home-rule municipality acting under its charter adopted by the electorate pursuant to Article XI, Section 5 of the Texas Constitution and Chapter 9 of the local Government Code; and

WHEREAS, the City Council adopted a budget and appropriated resources for the budget year beginning October 1, 2022, and ending September 30, 2023 by Ordinance No. 22-09-22-33; and

WHEREAS, the current adopted budget for fiscal year 2022-2023 does not have adequate funding to pay \$330,000 for the purchase of property to expand Tower Ridge Drive in the Roadway Impact Fee Fund; and

WHEREAS, the City Council deems it appropriate and necessary to amend the budget to reflect expenditures from the Roadway Impact Fee Fund Balance of \$330,000 for the purchase of property; and

WHEREAS, the City Council finds that this budget amendment is consistent with § 9.05 of the City Charter and the proposed change in the budget is for a municipal purpose;

NOW THEREFORE, THE CITY COUNCIL OF THE CITY OF CORINTH HEREBY ORDAINS:

SECTION I

The findings set forth in the above preamble to this Ordinance are true and correct.

SECTION II

Ordinance No. 22-09-22-33 the budget for the fiscal year beginning October 1, 2022, and ending September 30, 2023, shall be amended as follows:

Three Hundred and Thirty Thousand Dollars (\$330,000) shall be appropriated into the Expenditures Line Items for the Roadway Impact Fee Fund.

The City of Corinth Budget and Annual Program of Services is hereby amended to increase the Roadway Impact Fee Fund budget by **\$330,000** for property purchase to expand Tower Ridge Drive. Further, the City Council affirms its approval of the expenditure of funds for the aforementioned purposes.

SECTION III

The City Secretary is hereby directed to attach a copy of this Ordinance to Ordinance No. 22-09-22-33.

SECTION IV

Pursuant to Section 102.009(d) of the Texas Local Government Code, the municipal budget officer is directed to file a true copy of this amendment with the Denton County Clerk. If the mayor objects to this ordinance, it shall be adopted by a majority of the entire City Council.

SECTION V

This Ordinance shall be in full force and effect after its passage, and it is so ordained.

PASSED AND APPROVED ON THIS THE 20TH DAY OF JULY 2023.

SEAL

Bill Heidemann, Mayor

ATTEST:

Lana Wylie, City Secretary

APPROVED AS TO FORM AND LEGALITY:

Patricia Adams, City Attorney