

****PUBLIC NOTICE****



PLANNING & ZONING COMMISSION

Monday, August 25, 2025 at 6:30 PM

City Hall | 3300 Corinth Parkway

View live stream: www.cityofcorinth.com/remotesession

AGENDA

A. CALL TO ORDER AND ANNOUNCE A QUORUM PRESENT

B. PLEDGE OF ALLEGIANCE

C. ESTABLISH VOTING MEMBERS AND DESIGNATE ALTERNATES

D. CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine and will be enacted in one motion. Should the Chair, a Commission Member, or any citizen desire discussion of any item, that item will be removed from the Consent Agenda and will be considered separately.

- [1.](#) Consider the approval of minutes for the Planning & Zoning Commission Special Session held on July 14, 2025.
- [2.](#) Consider the approval of minutes for the Planning & Zoning Commission Regular Session held on July 28, 2025.
- [3.](#) Consider and act on a request by the Applicant, Kairos Real Estate, for a Final Plat of Murillo Market Townhomes Project, being ± 2.158 acres located at the northeast corner of N. Corinth St and Shady Shores Rd.

E. BUSINESS AGENDA

- [4.](#) Conduct a Public Hearing to consider testimony and make a recommendation to City Council on a rezoning request by the Applicant, Ridinger Associates Inc., to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential (Detached) to a Planned Development with a base zoning district of SF-4 Single Family Residential (Detached) for the development of ± 54 lots on approximately ± 13.1 acres generally located at 2215 and 2217 Lake Sharon Drive.
- [5.](#) Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a request for a specific use permit by the Applicant, McAdams, to allow for a Private Car Wash and Fueling Station on approximately ± 16.3 acres located at 7701 S Stemmons Freeway.
- [6.](#) Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a City-initiated request to amend the City of Corinth Comprehensive Plan "Envision Corinth 2040" Master Thoroughfare Plan by realigning the Carpenter Lane Future Collector Roadway to connect Lake Sharon Drive to Corinth Parkway.

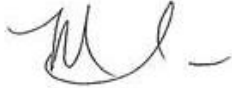
F. ADJOURNMENT

The Planning & Zoning Commission reserves the right to recess into executive or closed session to seek the legal advice of the City's attorney pursuant to Chapter 551 of the Texas Government Code on any matter posted on the

agenda. After discussion of any matters in closed session, any final action or vote taken will be public by the Commission.

As a majority of the Council Members of the City of Corinth may attend the above described meeting, this notice is given in accordance with Chapter 551 of the Texas Government Code. No official action will be taken by the City Council at this meeting.

I, the undersigned authority, do hereby certify that the meeting notice was posted on the bulletin board at City Hall of the City of Corinth, Texas, a place convenient and readily accessible to the general public at all times and said Notice was posted on the following date and time: **Friday, August 22, 2025 at 10:00 AM.**



Melissa Dailey, AICP, CEcD, CNU-A
Director of Community & Economic Development
City of Corinth, Texas

August 22, 2025
Date of Notice

Corinth City Hall is wheelchair accessible. Person with disabilities who plan to attend this meeting and who may need auxiliary aids or services such as interpreters for persons who are deaf, or hearing impaired, or readers of large print, are requested to contact the City Secretary's Office at 940-498-3200, or fax 940-498-7576 at least two (2) working days prior to the meeting so that appropriate arrangements can be made.

BRAILLE IS NOT AVAILABLE



MINUTES
PLANNING & ZONING COMMISSION
SPECIAL SESSION

Monday, July 14, 2025, at 6:30 PM

City Hall | 3300 Corinth Parkway

On the 14th day of July 2025 at 6:30 P.M., the Planning & Zoning Commission of the City of Corinth, Texas met in Special Session at the Corinth City Hall, located at 3300 Corinth Parkway, Corinth, Texas.

Commissioners Present:

Chair Alan Nelson

Vice-Chair Mark Klingele

Adam Guck

KatieBeth Bruxvoort

Rebecca Rhule

Staff Members Present:

Melissa Dailey, Director of Community and Economic Development

Matthew Lilly, Planner

Deep Gajjar, Planner

A. CALL TO ORDER AND ANNOUNCE A QUORUM PRESENT

Chair Nelson called the meeting to order at 6:30 PM.

B. PLEDGE OF ALLEGIANCE

C. ESTABLISH VOTING MEMBERS AND DESIGNATE ALTERNATES

E. BUSINESS AGENDA

1. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a rezoning request by the Applicant, Crestview Companies, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from C-2 Commercial to a Planned Development with a base zoning district of C-2 Commercial on approximately ±1.96 acres generally located at the northeast corner of FM 2181 and Parkridge Drive.

Matthew Lilly, Planner, provided an overview of the proposal and recommended approval as presented.

Commissioner Guck asked about existing sidewalks and if any changes were going to be made.

Lilly stated there is an existing sidewalk along Parkridge Drive and FM 2181 and that the sidewalk along FM 2181 would be shifted internal to the sight to provide additional buffering for pedestrians.

Vice-Chair Klingele asked what the distance was along FM 2181 between the entry driveway and the corner stoplight.

Lilly stated that he didn't have an exact distance, but that he believed it was approximately 250-300 feet and that its proximity was not considered an issue during the review process.

Commissioner Rhule asked what the requirements are for turn lanes on a six-lane road like FM 2181.

Lilly stated that a traffic threshold worksheet was completed for the project, and that the thresholds were not met to require a turn lane.

Commissioner Rhule asked if any exceptions or additional measures were taken to notify nearby residents aside from notifying the required property owners within 200 feet.

Lilly stated that the City does not send additional letters to residents outside of the 200 foot boundary but that notice of public hearing signs were posted on the site, a notice and the concept plan were posted on the City's website, and that a notice was published in the local newspaper as per state law.

Commissioner Rhule asked for confirmation that the City does nothing out of good measure to notify residents who are more than 200 feet away.

Lilly stated that Staff does what is required by state law.

Commissioner Guck asked if the Dairy Queen proposal was included with this application and if the adjacent residential properties had been notified of that proposal.

Lilly stated that this was a separate application and the residential properties had been notified.

Commissioner Rhule asked when public hearing notice signs were posted on a property.

Lilly stated that signs are posted a minimum of 15 days before the public hearing but on this particular property they had been posted for approximately a month.

Commissioner Rhule asked what information a citizen could view on the website at the time signs are posted on the property.

Lilly stated the website includes the public hearing notice along with the concept plan and landscape plan. He also stated that his phone number was included on the signs so he can answer the questions of anyone who calls and direct them to the information on the website if they need assistance.

Dalton Stogner, Crestview Companies, stated that they had worked through several changes with Staff including bringing the sidewalk along FM 2181 internal to the site. He stated that they had also spoken with the high school to get their input on the retail development for this site.

Chair Nelson asked if a fence or screening would be provided along the northern property line.

Stogner stated that a fence and shade trees would be provided along this boundary and that there would be no connection to the high school internal to the property.

Chair Nelson opened the Public Hearing at 6:45 P.M.

Brenda Contreras, 3309 Acropolis Drive, asked whether their vote would be considered even though they don't live within 200 feet.

Chair Nelson responded that their opinion was considered.

Chair Nelson closed the public hearing at 6:47 P.M.

Commissioner Guck made a motion to recommend approval as presented, seconded by Commissioner Klingele.

Motion passed: 5-for, 0-against.

2. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a request for a specific use permit by the Applicant, FM 2181 Corinth LLC, to allow for a Restaurant with Drive-through Service for Dairy Queen on approximately ± 1.14 acres generally located north of FM 2181, east of Parkridge Drive, and south of Lake Dallas High School.

Matthew Lilly, Planner, provided an overview of the proposal and recommended approval as presented.

Chair Nelson asked whether the drainage ditch on this property goes all the way toward the high school.

Lilly stated that the high school has an open drainage channel and that all drainage through the site will be diverted to the retention pond which outfalls under FM 2181 through an existing culvert.

Nelson asked about the board-on-board fence that will be constructed adjacent to the residential property fences on the east side of the lot.

Lilly stated that the developer will have to coordinate with the individual homeowners, but that ideally they would simply replace the existing fences.

Nelson asked if screening was being provided along the northern boundary.

Lilly stated there will be shade trees 30 foot on center and a 10-foot landscape buffer.

Commissioner Rhule asked who would be responsible for maintaining the fence.

Melissa Dailey, Director of Planning and Economic Development, stated that if necessary, language could be added to the SUP Ordinance clarifying maintenance responsibilities.

Commissioner Rhule stated that she would like the retention pond to be designed to allow animals who fall in to escape.

Chair Nelson asked how deep the retention pond would be.

Lilly stated that the pond had not yet been engineered.

Vice-Chair Klingele asked if the upstream runoff was also being considered for this pond.

Lilly stated these factors would be considered during the engineering phase to determine the final size of the pond.

Chair Nelson asked how large the drainage lines under the drive aisle would be.

Lilly stated that the Applicant could speak to this further.

Commissioner Guck asked what type of lighting would be installed on this site.

Lilly stated that the developer is required to submit a photometric plan for the lighting and that they cannot exceed a certain number of lumens at the property line.

Pann Sribhen, PSA Engineering, stated that lighting would be provided to not exceed zero lumens within five feet of the eastern property line. He stated that any lighting on the building would point down to prevent light shining onto the adjacent properties. He explained that two 48-inch pipes would be installed under the driveways to accommodate the drainage from the high school and that the retention pond would be designed to include a fountain, have a 3:1 slope so animals would not become trapped, and be enclosed by a wrought iron fence.

Chair Nelson asked what the average depth of the pond would be.

Sribhen stated that it would be approximately two and a half feet deep.

Commissioner Guck asked where the dumpsters would be located.

Sribhen stated the dumpsters would be located on the retail side of the property facing the high school.

Commissioner Rhule asked who would be responsible for maintaining the fence adjacent to the residential area.

Sribhen stated the fence would be located one foot inside of their property line so Dairy Queen would be responsible for maintaining the fence.

Commissioner Bruxvoort asked where the grease traps would be located.

Sribhen stated the grease traps would be under the kickoff lane of the drive through.

Chair Nelson asked for further clarification on the location of the grease trap manholes.

Sribhen pointed out on the concept plan where the manholes would be located.

Chair Nelson asked if the 10-foot sanitary sewer easement being shown beneath the detention pond was accurate.

Mr. Sribhen stated that the sewer line would be on the slope of the pond and would be deeper than the pond.

Chair Nelson opened the Public Hearing at 7:07 P.M.

Dylan Lang, 3202 Sparta Drive, indicated that he was against the proposal and asked how tall the signage would be.

Daniel Lee, 3307 Acropolis, stated he was concerned about the location since his property is located adjacent to the proposed development. He expressed concerns with the fencing, lighting, noise, loitering, and odors from the restaurant's dumpsters and grease traps.

Brenda Contreras, 3309 Acropolis Drive, indicated that she did not wish to speak but that she was against the proposal.

Chair Nelson closed the Public Hearing at 7:14 P.M.

Commissioner Guck asked if Staff could quickly go over the sign regulations.

Lilly stated that monument signs are typically capped at six feet in height but that they could go up to seven feet if certain additional design elements were met. He stated that the attached signs on the building could be backlit but that they would have to meet photometric requirements.

Commissioner Bruxvoort asked for clarification that if the commission voted to not approve the drive through that a restaurant without a drive through could be constructed by right under the existing zoning.

Lilly stated that the request was specific to the user, being Dairy Queen in this case, but that a restaurant without a drive through could be built by right.

Dailey clarified that the SUP would also be subject to the additional standards that had been discussed.

Commissioner Bruxvoort asked if they could ask for additional conditions.

Dailey confirmed that they could and clarified that additional coordination would be needed on the new screening fence to avoid having a one foot gap between fences that would be difficult to maintain.

Commissioner Rhule asked what would happen if some residents opted to replace the existing fence and others asked that the existing fence not be replaced.

Dailey stated that the City had success in the past working through these types of conflicts and that they would try to avoid having a fence against a fence.

Commissioner Bruxvoort expressed concerns with headlights from cars shining onto the adjacent residential properties.

Chair Nelson asked if the trees in the eastern buffer could be provided closer together to provide additional screening.

Lilly stated that because of the existing trees along this fence line it was difficult to identify exactly where new trees would be planted, but that other types of vertical plantings could be required.

Mr. Sribhen stated that they could provide pine needles along this fence which grow to twelve feet in height spaces four feet apart to create a green wall which headlights would not shine through.

Commissioner Guck stated that he was in favor of adding a provision requiring a vegetative screen in addition to the fence.

Dailey recommended that the condition stipulate an evergreen vegetative screen.

Commissioner Bruxvoort stated that she was concerned about traffic and the proximity to the high school and the potential for kids to be rambunctious after football games.

Commissioner Rhule stated that the Commission does take the quality of life of nearby residents into their decision and thanked Commissioner Bruxvoort for her question on the SUP change and clarifying that a restaurant without a drive through was allowed by right.

Commissioner Guck made a motion to recommend approval of SUP25-0001 conditional upon additional language being added for the inclusion of a evergreen vegetative screen in addition to the fence along the eastern side of the property, seconded by Vice-Chair Klingele.

Chair Nelson, Vice-Chair Klingele, Commissioner Rhule, and Commissioner Guck voted in favor of the motion. Commissioner Bruxvoort voted in opposition of the motion.

Motion passed: 4-for, 1-against.

3. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a city-initiated rezoning request to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, to rezone approximately ± 7.1 acres from I Industrial and C-2 Commercial to MX-C Mixed Use Commercial, with the subject properties being generally located at 7865 S Stemmons Freeway.

Melissa Dailey, Director of Planning and Economic Development, provided an overview of the proposed rezoning and recommended approval as presented.

Commissioner Guck asked if Staff had considered rezoning to SF-4 for this property.

Dailey stated that the small size of the parcel was not necessarily conducive to single family houses and this type of development would likely not be economically viable. She stated that Staff had looked at single family detached houses, but that the property owner requesting townhouses was seen to be a good transitional use that would also be more economically viable.

Commissioner Guck stated he was concerned with rezoning to MX-C as this would also allow for apartments.

Dailey stated that it could, but it would be hard to accommodate a high-density development with parking on this size property.

Commissioner Rhule stated that the City had existing single family developments that were similar in size so she did not believe this site was too small.

Dailey stated that it is not impossible but that it difficult to find a developer who will do small developments. She stated that the owners request for townhomes and direction from City Council were the reasons Staff was recommending MX-C zoning.

Commissioner Rhule stated that it was her understanding that townhomes would require more parking than single family homes.

Dailey stated that the townhomes would have garages.

Chair Nelson opened the Public Hearing at 7:31 P.M.

Chair Nelson closed the Public Hearing at 7:31 P.M.

Commissioner Guck stated that he understands the desire to rezone from Industrial, but that it was hard to understand what they were agreeing to for the use of the site with a straight rezoning to MX-C.

Chair Nelson asked what the zoning directly north was.

Dailey stated that this was a church which was zoned PD-32 with a base zoning Industrial.

Chair Nelson stated that he was concerned with MX-C becoming a one size fits all zoning.

Commissioner Guck stated that there was no way to no for sure how dense a future development would be.

Chair Nelson stated that any future developer would have to bring a concept to the Planning and Zoning Commission if the existing zoning remains.

Commissioner Guck stated that this was his preference.

Commissioner Bruxvoort stated that she had the same concerns but that she wanted to make sure they were not hamstringing the landowner from being able to do anything with the property, given that it could not be feasibly developed under the existing zoning.

Commissioner Guck stated that he felt it was reasonable for a prospective developer to prepare renderings for the Planning and Zoning Commission to review.

Commissioner Guck made a motion to recommend denial of ZMA25-0003 as presented, seconded by Vice-Chair Klingele.

Chair Nelson, Vice-Chair Klingele, Commissioner Rhule, and Commissioner Guck voted in favor of the motion. Commissioner Bruxvoort voted in opposition of the motion.

Motion passed: 4-for, 1-against.

4. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a city-initiated rezoning request to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, to rezone approximately ± 2.0 acres from I Industrial to MX-C Mixed Use Commercial, with the subject property being located at 5759 S I-35E.

Melissa Dailey, Director of Planning and Economic Development, provided an overview of the proposed rezoning and recommended approval as presented.

Commissioner Guck asked why the EDC has purchased this property and what the envisioned use was.

Daley stated that the City was concerned that the property was up for sale as an industrial property and there was potential for this property to be combined with the one to the south for a small mixed-use development.

Chair Nelson stated that he felt the MX-C zoning was more appropriate for this property given it's location and the surrounding zoning.

Chair Nelson opened the Public Hearing at 7:37 P.M.

Chair Nelson closed the Public Hearing at 7:37 P.M.

Vice-Chair Klingele made a motion to recommend approval of ZMA25-0001 as presented, seconded by Commissioner Guck.

Motion passed: 5-for, 0-against.

5. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a city-initiated rezoning request to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, to rezone approximately ± 1.0 acre from I Industrial to MX-C Mixed Use Commercial, with the subject property being located at 1218 N Corinth Street.

Melissa Dailey, Director of Planning and Economic Development, provided an overview of the proposed rezoning and recommended approval as presented.

Commissioner Guck asked what the order was for approving a 380 Agreement and if an agreement had already been approved.

Dailey stated that a 380 Agreement for this property and the adjacent city owned properties had been approved by the EDC and City Council four or five months before.

Chair Nelson opened the Public Hearing at 7:40 P.M.

Chair Nelson closed the Public Hearing at 7:40 P.M.

Commissioner Bruxvoort made a motion to recommend approval of ZMA25-0001 as presented, seconded by Commissioner Rhule.

Motion passed: 5-for, 0-against.

6. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a city-initiated request to amend multiple sections of the Unified Development Code, including UDC Subsection 1.02.02 – Planning and Zoning Commission, UDC Subsection 1.02.04 – Director of Planning, UDC Subsection 3.02.01 – Plat Processing Procedures, and UDC Subsection 3.03.02 – Preliminary Plat to revise formatting, allow for applicants to request multiple 30-day extensions of the time for plat approval, remove the requirement for a new application upon disapproval of a plat or subdivision plan application, and allow for administrative approval of preliminary plats.

Matthew Lilly, Planner, provided an overview of the proposed amendments to the UDC and recommended approval as presented.

Chair Nelson asked how much time would be saved with the administrative approval of preliminary plats and at which point the Planning and Zoning Commission would see the plat.

Lilly stated that as it currently stands, Staff has a designated submittal day for plats so that P&Z can meet and decide on the plat within 30 days. He explained that if the amendment were approved, Preliminary Plats could be submitted anytime, meaning an Applicant would not have to wait for a specific date to submit. He also stated that if there were not any discrepancies in the first review, Staff could move forward with approving the plat rather than waiting for the next P&Z meeting.

Dailey clarified that per state law, plat approval is essentially perfunctory, and the City is required to approve a plat if it meets all zoning and subdivision requirements. She stated that state law would apply the same whether it is administrative approval or P&Z approval. She explained that this would also avoid instances where preliminary plats are approved automatically if P&Z is unable to meet.

Commissioner Guck asked if preliminary plats approved by the Director would still be a matter of public record.

Lilly stated that plats are not published on the website, but all submittals are public record and can be requested by anyone.

Chair Nelson stated he was concerned with giving the Planning Director the ability to approve preliminary plats given they had previously seen developments that met all the requirements, but the commission did not like something about it such as the density. He stated that he felt they would be doing the developer a disservice by letting them to go deeper into the process before having an opportunity for the Commission to provide their input.

Dailey clarified that P&Z input on matters such as density comes at the zoning level and that a preliminary plat follows the approved zoning. She stated that if the preliminary plat meets the zoning, the plat cannot be denied per state law.

Chair Nelson stated that he understood they were required to approve the plat if it met the letter of the law, but that he was concerned about instances where a developer is trying to have a higher density than is allowed under the zoning.

Lilly clarified that in the case of a Planned Development (PD), the Planning and Zoning Commission would review and decide upon it before seeing the Preliminary Plat. He explained that whatever was approved in the PD would dictate the Preliminary Plat.

Commissioner Guck asked what would happen in instances where some of, but not all requirements are met.

Dailey stated that the plat was required to be approved, approved with conditions, or denied within 30 days of the submission. She explained that Staff would recommend denial for plats that are not meeting multiple requirements but that they would recommend approval with conditions if there are only a few discrepancies.

Commissioner Guck asked if the language of the amendment could be altered to allow staff to approve preliminary plats if all requirements are met but that preliminary plats that have complex conditions or need to be denied still go to the Planning & Zoning Commission for review.

Lilly explained that preliminary plats act as a guide to the construction plans and final plat. An applicant would need to address any conditions or comments that are on the Preliminary Plat prior to approval of

the Final Plat. He stated that staff is primarily looking at easements or labeling errors on plat reviews and that zoning and density concerns are not addressed at this stage. He stated that Staff did not have a concern with allowing the Planning Director to approve preliminary plats with conditions given that there are instances down the line where these conditions can be addressed.

Commissioner Guck asked if Staff could remember a recent plat that was recommended for denial and the reasons behind that denial.

Lilly stated that the plat that had been denied by the Commission at their previous meeting was recommended for denial given the number of comments that needed to be addressed and the complexity of that particular replat.

Chair Nelson asked for confirmation that PDs and concept plans would proceed the preliminary plat.

Lilly confirmed this.

Commissioner Rhule asked where workshops would fall into this process.

Lilly stated that workshops are held during the Planned Development review process, which proceeds the preliminary plat.

Chair Nelson opened the Public Hearing at 8:00 P.M.

Chair Nelson closed the Public Hearing at 8:00 P.M.

Commissioner Bruxvoort made a motion to recommend approval of ZTA25-0002 as presented, seconded by Commissioner Guck.

Chair Nelson, Commissioner Bruxvoort, and Commissioner Guck voted in favor of the motion. Vice-Chair Klingele and Commissioner Rhule voted in opposition of the motion.

Motion passed: 3-for, 2-against.

7. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a city-initiated request to amend Unified Development Code Section 3.05.19.A.4 to require the burial of utility lines within all new developments except as otherwise specified therein.

Deep Gajjar, Planner, provided an overview of the proposed amendment to the UDC and recommended approval as presented.

Chair Nelson asked if this amendment applies to new and existing commercial projects.

Gajjar stated that it applies to new and existing lines on commercial properties.

Chair Nelson opened the Public Hearing at 8:05 P.M.

Chair Nelson closed the Public Hearing at 8:05 P.M.

Commissioner Guck made a motion to recommend approval of ZTA25-0003 as presented, seconded by Vice-Chair Klingele.

Motion passed: 5-for, 0-against.

F. ADJOURNMENT

There being no further business before the Commission, the Regular Session was adjourned at 8:06 P.M.

MINUTES APPROVED THIS _____ DAY OF _____, 2025.

Alan Nelson, Planning and Zoning Commission Chairman



**MINUTES
PLANNING & ZONING COMMISSION
REGULAR SESSION**

Monday, July 28, 2025, at 6:30 PM

City Hall | 3300 Corinth Parkway

On the 28th day of July 2025 at 6:30 P.M., the Planning & Zoning Commission of the City of Corinth, Texas met in Regular Session at the Corinth City Hall, located at 3300 Corinth Parkway, Corinth, Texas.

Commissioners Present:

Chair Alan Nelson

Vice-Chair Mark Klingele

Adam Guck

Rebecca Rhule

Commissioners Absent:

KatieBeth Bruxvoort

Staff Members Present:

Matthew Lilly, Planner

Deep Gajjar, Planner

Sarah Rhodes, Planning Coordinator

A. CALL TO ORDER AND ANNOUNCE A QUORUM PRESENT

Chair Nelson called the meeting to order at 6:30 PM.

B. PLEDGE OF ALLEGIANCE

C. ESTABLISH VOTING MEMBERS AND DESIGNATE ALTERNATES

D. CONSENT AGENDA

1. Consider the approval of minutes for the Planning & Zoning Commission Regular Session held on May 19, 2025.
2. Consider the approval of minutes for the Planning & Zoning Commission Regular Session held on June 26, 2025.
3. Consider and act on a request by the Applicant, Long Lake Development LLC, for a Replat of Lot 24 Block A, Lots 5-9 Block B, Lot 14 Block C, and Lot 1X Block F of the Long Lake Phase 1 Subdivision to create 6 residential lots, 2 X lots, and establish the Canyon Ranch Estates Subdivision, being ± 6.551 acres generally located east of Serendipity Hills Trail and North of Oak Bluff Drive.
4. Consider and act on a request by the Applicant, Kairos Real Estate, for a Final Plat for the Murillo Market Townhomes Project, being ± 2.158 acres located at Northeast corner of N. Corinth St and Shady Shores Rd. (Case No. PLAT25-0007)

5. Consider and act on a request by the Applicant, I-35E Millennium LP, for a Preliminary Plat for the Millennium Mixed Use Project, being ± 19.269 acres located at IH 35E, Corinth TX. (Case No. PLAT25- 0008)

Chair Nelson made a motion to approve the consent agenda as presented.

Vice Chair Klingele made a motion to pull Item number 3 from consent agenda, seconded by Commissioner Rhule.

Chair Nelson asked if the commission wanted to discuss or table this item.

Matthew Lilly, Planner, stated that the commission cannot table a plat and must approve or deny the item.

Vice Chair Klingele made a motion to deny Item number 3 of the consent agenda, seconded by Commissioner Rhule.

Motion passed unanimously: 4-for, 0-against

Chair Nelson made a motion to approve Items 1,2,4, and 5 from consent agenda, seconded by Commissioner Rhule.

Motion passed unanimously: 4-for, 0-against

E. BUSINESS AGENDA

6. Conduct a Public Hearing to consider testimony and make a recommendation to City Council on a rezoning request by the Applicant, Ridinger Associates Inc., to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential (Detached) to a Planned Development with a base zoning district of SF-4 Single Family Residential (Detached) for the development of ± 54 lots on approximately ± 13.1 acres generally located at 2215 and 2217 Lake Sharon Drive.

Matthew Lilly, Planner, provided an overview of the proposal and recommended approval with the condition that a minimum of 50% of residential lots provide a minimum 70 sq ft front porch.

Chair Nelson asked for confirmation that there was a total of 54 lots.

Lilly confirmed this.

Chair Nelson asked the density of the PD.

Lilly replied that it is 4.1 dwelling units per acre.

Commissioner Rhule asked how the development went from 46 lots on 10.61 acres to 54 lots on 13 acres.

Lilly said that developers spoke with property owners to the east and incorporated 3 more acres.

Commissioner Rhule asked what the original density of the development was.

Lilly stated that the density was originally 4.6 lots per acre.

Commissioner Rhule asked if the density was now 4.1 lots per acre.

Lilly confirmed it is.

Chair Nelson asked if the purpose of oversizing the lift station was to accommodate development to the west.

Lilly stated he believes the lift station would be designed to be easily upsized in the future.

Chair Nelson asked how the lot to the west would access the lift station.

Lilly stated it has not been determined yet.

Chair Nelson asked where the lift station is located.

Lilly stated it would be north of the retention pond.

Commissioner Rhule asked if a future street would potentially cut through the open space to connect to the west.

Lilly stated that only the sewer line would run under open space, and a street stub was being provided in the northwest corner to connect to the west.

Chair Nelson asked how the minimum lot size of 5,500 sf would be achieved with a minimum lot width of 50 ft, and a minimum lot depth is 100 ft.

Lilly stated the lot would have to either be longer or wider than the minimum standards to achieve the minimum lot size.

Chair Nelson asked for the lot dimensions of the property to the north, Terrace Oaks.

Lilly stated it is 50 feet.

Chair Nelson asked the lot dimensions of the property to the east.

Lilly stated they were also 50 feet.

Commissioner Rhule asked if the two previously mentioned properties have the same front setbacks as the PD.

Lilly stated that he does not know for sure but believes both are a little further back.

Chair Nelson asked if all drainage would go toward the retention pond in the southwest corner.

Lilly confirmed this.

Chair Nelson asked if it was a retention or detention pond.

Lilly stated it would be a retention pond.

Chair Nelson asked where the outflow of the pond would go.

Lilly stated that he does not have an exact answer but that he assumes it would flow into the Lake Sharon drainage as it is the low point.

Chair Nelson asked how drainage issues are being addressed on Lake Sharon Dr. and Post Oak Dr.

Lilly stated that the retention pond should help and that Public Works is working on a detention project on the Haislip Property.

Commissioner Rhule asked if the retention pond would have access for wildlife and children who may have fallen in to get out.

Lilly stated that Staff and the developer have not discussed those designs yet.

Reginald Rembert, Rembert Enterprises, introduced himself and made a presentation regarding the requested amendment.

Commissioner Guck asked for an estimate on square footage of the houses.

Rembert stated it is currently 1,500 square feet but offered to limit them to 1850-1900 square feet in exchange for removing the condition of 70 square foot porches.

Chair Nelson asked for confirmation that if they did 40 square foot front porches, if they would raise the minimum square footage from 1,500 to 1,800.

Rembert stated that if they raise their minimum square footage of the homes, they would like to get rid of the requirement to have 70 square foot front porches. Rembert stated that all houses, regardless of square footage, would have covered front porches.

Chair Nelson asked if the picture being shown depicted a 70 square foot front porch.

Rembert stated that it is not; it is likely a 40 or 50 square foot porch.

Chair Nelson asked if the image shown is the plan packet that would be used.

Rembert stated it is only one of eleven.

Chair Nelson asked if they have the others.

Rembert stated that he does not have all of them with him.

Chair Nelson asked if the other five do not have porches.

Rembert stated that all the homes have porches.

Commissioner Rhule asked if they were not in the PD.

Lilly stated that they are not a part of the PD which only includes representative images.

Rembert stated that four of the plans have large porches and that the size of porches varies based on the plans and elevations.

Commissioner Rhule asked the date of the traffic study that was used.

Lilly stated that it is a traffic threshold worksheet, which determines whether a full traffic study is needed.

Commissioner Rhule asked for confirmation that a traffic study was not completed.

Lilly provided clarification that a traffic threshold worksheet was used and is based upon engineering standard manual.

Commissioner Rhule asked if only data was used, rather than completing a traffic study.

Lilly confirmed this.

Commissioner Rhule asked Rembert to discuss the retention pond.

Rembert stated that the retention pond would have a fountain with retaining walls inside, surrounded by a metal fence. The retention pond design has not been fully completed but it would include amenities such as trees, trails, and likely benches.

Commissioner Rhule stated that the retention pond is along a major wildlife corridor. She stated she would like the pond to be designed to allow animals to get out.

Rembert stated that he would discuss with his engineers.

Jason Kilpatrick, Ridinger Associates, introduced himself and stated that they are going to try to avoid walls in the design of the retention pond. He stated they are going to try to make a maximum slope of 4:1 so that animals and people will be able to get out and that walls would be a last resort.

Commissioner Rhule stated that she would ask for it either way since it is a growing issue.

Kilpatrick agreed.

Chair Nelson asked for clarification about moving the lift station further west onto the adjacent property.

Kilpatrick stated that moving the lift station on the property to the west would be 2-2.5 feet lower and provide better access to the frontage along Lake Sharon Dr, but that they currently do not have the ability to put the lift station to the west as the property owner has not been contacted. He clarified that the lift station could still be located on their property.

Chair Nelson asked if the lift station would be underground.

Kilpatrick stated that most of the lift station would be underground but some elements, such as sensors, would be above ground.

Lilly stated that there is currently a requirement for plants to be provided around the elements above ground.

Chair Nelson asked for clarification that the above ground elements are not a pump station.

Lilly confirmed this.

Commissioner Rhule asked how much space the lift station takes up.

Kilpatrick stated it is typically 15 by 15 feet, with a single car drive so that City trucks can service it.

Chair Nelson asked if the lift station would flow upstream.

Kilpatrick confirmed that it would flow upstream towards Ashford Park.

Chair Nelson asked which street it would flow toward.

Kilpatrick stated it would flow toward the stub street.

Chair Nelson asked for confirmation that the stub street is the street in the middle of the conceptual plan.

Kilpatrick confirmed this. There would be a force main that takes wastewater north toward the stub street and then through Ashford Park where it would then gravity flow.

Chair Nelson asked if the wastewater would gravity flow once it gets to Ashford Park.

Kilpatrick confirmed this.

Commissioner Rhule asked where the heritage trees are located.

Kilpatrick stated there is one near the retention pond along Lake Sharon Dr., two in the open space north of the retention pond, and one in open space in the northeast corner of the subdivision.

Commissioner Rhule asked for an estimate on the amount of usable green space excluding the retention pond and the lift station.

Kilpatrick stated that he believes it is 2.03 acres of open space.

Commissioner Rhule stated that she would like to see more usable open space and suggested that the lot north of the green space in the northeast corner be converted to open space.

Rembert stated that he believes they currently have a lot of open space within this subdivision and are already meeting the ordinance for green space. He stated that they have already given up multiple lots for tree preservation.

Commissioner Rhule asked if they could create more open space with the bottom lot on the southeast corner.

Rembert stated he does not want to give up more lots for open space.

Commissioner Rhule stated she is looking for a compromise.

Rembert stated that he feels like they have already compromised with the lift station and planting trees in open space on 25 feet on center.

Chair Nelson stated that they could go back to SF-2.

Rembert stated that he believes they have exceeded expectations and would be preserving the view going down Lake Sharon Dr.

Commissioner Rhule stated they must be more selective because of the limited space Corinth has for more development and this is the reason for being asked to further compromise.

Rembert stated that he understands but as a developer it is difficult to remove another lot.

Chair Nelson opened the Public Hearing at 7:15 P.M.

Peter Farrell, 2475 Post Oak Dr., asked if a fence could be built between the development and his property and expressed concern about a pond on his property that has the tendency to overflow to the east during storms.

Don Glockel, 2101 Lake Sharon Dr., stated that he is not opposed to the subdivision. He expressed concerns with drainage, fencing, two-story homes that would look over onto his property, and the potential lift station built on his property which had not been discussed with him.

Joe Bednar, 2501 Post Oak Dr., stated he is not opposed to the development but expressed concerns with the retention pond, drainage, and recommends placing a fencing between his property and the development.

Johnny Crabtree, 1708 Post Oak Dr., stated he is not opposed to the development.

Chair Nelson closed the Public Hearing at 7:27 P.M.

Chair Nelson asked if the City engineer is aware of the site drainage issues.

Lilly stated that Glenn Barker, Director of Public Works, is aware but that he was not sure if Shield Engineering, the City's consulting engineer, was aware since they had not yet reviewed any engineering plans. He stated that the location of the retention pond is at a low point so it can collect excess water and resolve the drainage issues.

Chair Nelson asked why the lift station on a separate property has not been discussed with property owners.

Lilly stated that this location had been mentioned as a potential option but that the exact location had not yet been determined. He reiterated that the property owners' consent would be needed if they moved forward with this option.

Chair Nelson asked if the layout and PD was as far as the detail currently went.

Lilly confirmed this and stated that it is known that a lift station will be needed but exact details have not been worked out yet.

Commissioner Guck stated that drainage needed to be considered during the construction process.

Lilly stated that a stormwater prevention plan is required prior to construction.

Commissioner Rhule asked what would happen if the developer chose not to have a lift station after the Planning and Zoning Commission and City Council approved the PD.

Lilly stated that development could not happen since they don't have sewer and that regardless of the property the lift station is on, one is needed for this development.

Chair Nelson asked if there is a fence or screen required between the west side of the property and Mr. Glockel's property.

Lilly stated that he doesn't believe there is, but that Staff would not have an issue adding that as a condition.

Chair Nelson asked how the commission would know if their concerns would be considered if this PD was approved. He stated that he would like the PD to move forward but would like it to come back to the Planning and Zoning Commission to ensure it was being designed in a way that takes all the concerns into account.

Lilly stated that the developer is required to meet the iSWM requirements which would address the concerns with drainage. He stated that in the PD, there is currently language about how Staff are in the process of working with developers regarding the size of the lift station.

Chair Nelson asked if there would be any requirements for developers to present all this information to adjacent property owners.

Lilly stated the current meeting is all that is required.

Commissioner Rhule stated she has been personally affected by two different developments where developers and engineers said that her property would not be affected. Because of this she is not sure how comfortable she is with this PD.

Lilly stated that he is aware of her situation.

Commissioner Guck stated that the commission is in a tough spot since they are not aware how exactly the mitigation efforts for drainage will be addressed. He asked for confirmation that water and sewage regulations would dictate what would happen on this property.

Lilly confirmed this and that the developers would have to follow the same standards that every other development does.

Chair Nelson asked if the ordinance requires the property to be designed to accommodate the property owners to the west.

Lilly stated that it is required to not make the existing conditions worse. He stated that if drainage is coming into the site, it would need to be considered.

Chair Nelson stated he was asking about sanitation.

Lilly asked if Chair Nelson could repeat his question.

Chair Nelson asked how the design of the lift station would benefit the adjacent properties.

Lilly stated it would give an opportunity for the adjacent property owners to connect to the sewer system. He stated there is currently not a nearby sewer connection for these properties.

Chair Nelson asked if there is language in the PD that requires the developer to size the lift station to accommodate the adjacent property owners.

Lilly confirmed there is language in the PD discussing working with the City on sizing of the lift station.

Dale Ridinger, Ridinger Associates, stated that they will not adversely affect properties to the west since drainage flows east. He stated that the pond on Peter Farrell's property had been surveyed and that there would be a swell or pipe installed to collect water to bring it to the retention pond. He stated that the exact size of the retention pond is unknown at this time, but if the retention pond could be smaller and still meet requirements, they will provide more green space. He stated that the plan is to outlet the retention pond to the pipe that goes under Lake Sharon Dr. He stated that water will flow out of the retention pond at a pre-developed rate, as per the ordinance. He stated that there currently has not been an opportunity to discuss with an adjacent property owner about putting the lift station on his property, but they plan on speaking with him soon. He stated that there will have to be a lift station and if it's on their property, an easement will have to be provided for adjacent property owners.

Glockel stated if the lift station went on his property there would have to be an easement to get it back to the development. He stated that if they left the lift station on the development, they could install a pipe to his property using the existing ROW.

Rembert stated that they originally planned to put the lift station on their property, but the City had asked to upsize it, and specifics have not been discussed.

Ridinger stated that the details will be discussed.

Rembert stated that a lift station is required for this property and that it will remain on their property unless an agreement is made with the adjacent property owner.

Bednar stated that there is not any green space for drainage from the Farrell property to flow into the retention pond.

Vice-Chair Klingele asked if Bednar's property was in the top-left corner of the proposed PD concept.

Bednar stated that he believes that is the Farrell property.

Kilpatrick stated that they are planning on stopping the stub road 10 ft short and putting a drop inlet or pipe so that drainage from properties to the west and north can flow south.

Chair Nelson asked if drainage from the Terrace Oaks subdivision flows south.

Kilpatrick confirmed this and stated that their outflow drains to the stub road which is why they planned on putting a pipe or drop inlet there which would eventually get to the retention pond.

Chair Nelson asked if the northwest corner lot would be prone to flooding.

Kilpatrick stated that it probably won't because the discharge is far enough away.

Chair Nelson asked if they would need to get an easement to direct the outflow.

Kilpatrick stated they would not because it is already flowing toward the property. He stated that the discharge coming onto the development will flow toward the stub road and if there is development on the adjacent property there would already be pipes to connect to.

Chair Nelson stated that they can require a fence or a screen along the property.

Rembert stated that they do not have an issue with requiring a fence, and they planned on doing that already. He stated that the development cannot occur without a lift station, but they are willing to work with the City on upsizing. He stated that they are requesting the commission to waive the requirement for 70 sf front porches as it will hinder the project.

Chair Nelson asked if 70 sf front porches would stop the development.

Rembert stated it would because the builder would walk.

Chair Nelson stated they could get an architect to redesign.

Rembert stated that builders do not redesign a product for a specific subdivision. He stated that most builders they work with don't have 70 sf front porches.

Chair Nelson stated that they already have some plans that have the 70 sf front porch.

Commissioner Rhule stated that the front porch provides shade, preventing the sun from going directly into the window.

Commissioner Rhule stated that there are many assumptions being made and believes some more conversations need to occur before proceeding.

Lilly asked what assumptions there are concerns with.

Chair Nelson stated that it is issues the lift station and drainage.

Lilly stated that these issues come up with every development. He stated that it is not feasible for applicants to pay for engineering before getting zoning approval. He stated that applicants will have to meet all codes before getting approval from engineers and Public Works.

Commissioner Rhule stated she has concerns with adjacent property owners being affected and that conversations with the property owners had not been had prior to this application.

Commissioner Guck stated that it appears that Staff and developers are not in agreement about the front porch sf requirement. He asked why this requirement had been asked.

Lilly stated that Melissa Dailey, Director of Development Services, had asked for this, because it has been incorporated into recent PDs. He stated that Staff believe porches are an important element for these communities. He stated that Staff were deferring this decision to the Planning and Zoning Commission and City Council due to the disagreement between the applicant and Staff. He reiterated that a lift station is required to develop and would be designed to accommodate adjacent properties.

Commissioner Rhule stated that the commission represents Corinth's residents and tries to be thoughtful in all decisions.

Vice-Chair Klingele stated that his concern was not about the lift station, but rather that the lift station on another property had not been discussed with the owner prior to this meeting. He stated that he is concerned with drainage and does not want to exacerbate the issue.

Lilly stated that he understands the concern but believes that there were not any more assumptions being made with this PD than other PDs. He reiterated that the application is not at the stage where engineering occurs.

Commissioner Rhule made a motion to table the item to a future meeting with a condition that language be added requiring a fence along the western property line, seconded by Commissioner Guck.

Vice Chair Klingele recommended that Staff and the applicant discuss the porch requirement prior to the next meeting.

Motion passed unanimously: 4-for, 0-against

6. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a city-initiated request to amend multiple sections of the Unified Development Code, including UDC Subsection 2.07.03 – Use Chart, UDC Subsection 2.07.04.A.14 – Outside Display Standards, and UDC Subsection 5.02 – Words and Terms to differentiate and define temporary and permanent outside 1 display, to add these uses to the use chart, and to provide conditional development standards for these uses.

Lilly provided an overview of the proposal and recommended approval as presented.

Chair Nelson asked what determines the difference between temporary and permanent outside display.

Lilly stated that anytime it did not meet the temporary standards, it would be considered permanent. He stated that there is not a specific number of days for something to be considered permanent.

Chair Nelson opened and closed the Public Hearing at 8:06 PM.

Commissioner Rhule made a motion to recommend approval of Case No. ZTA25-0004, Outside Display UDC Text Amendments, as presented, seconded by Commissioner Guck.

Motion passed unanimously: 4-for, 0-against

7. Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a City-initiated request to amend Subsection 4.02.08.K – Hazardous Fences in High Density Areas of the Unified Development Code to prohibit barbed wire and other hazardous fencing.

Lilly provided an overview of the proposal and recommended approval as presented.

Vice-Chair Klingele asked if residential properties with animals would have to remove their barbed wire.

Lilly confirmed that they would not as this amendment only applies to commercial and industrial properties.

Commissioner Guck asked if there are other ways to deter someone from climbing a fence.

Lilly confirmed that there is, such as the fence at Corinth City Hall.

Chair Nelson opened and closed the Public Hearing at 8:10 PM.

Commissioner Guck made a motion to recommend approval of Case No. ZTA25-0005 Hazardous Fencing UDC Text Amendment, as presented, seconded by Commissioner Rhule.

Motion passed unanimously: 4-for, 0-against

F. ADJOURNMENT

There being no further business before the Commission, the Regular Session was adjourned at 8:11 P.M.

MINUTES APPROVED THIS _____ DAY OF _____, 2025.

Alan Nelson, Planning and Zoning Commission Chairman

DRAFT

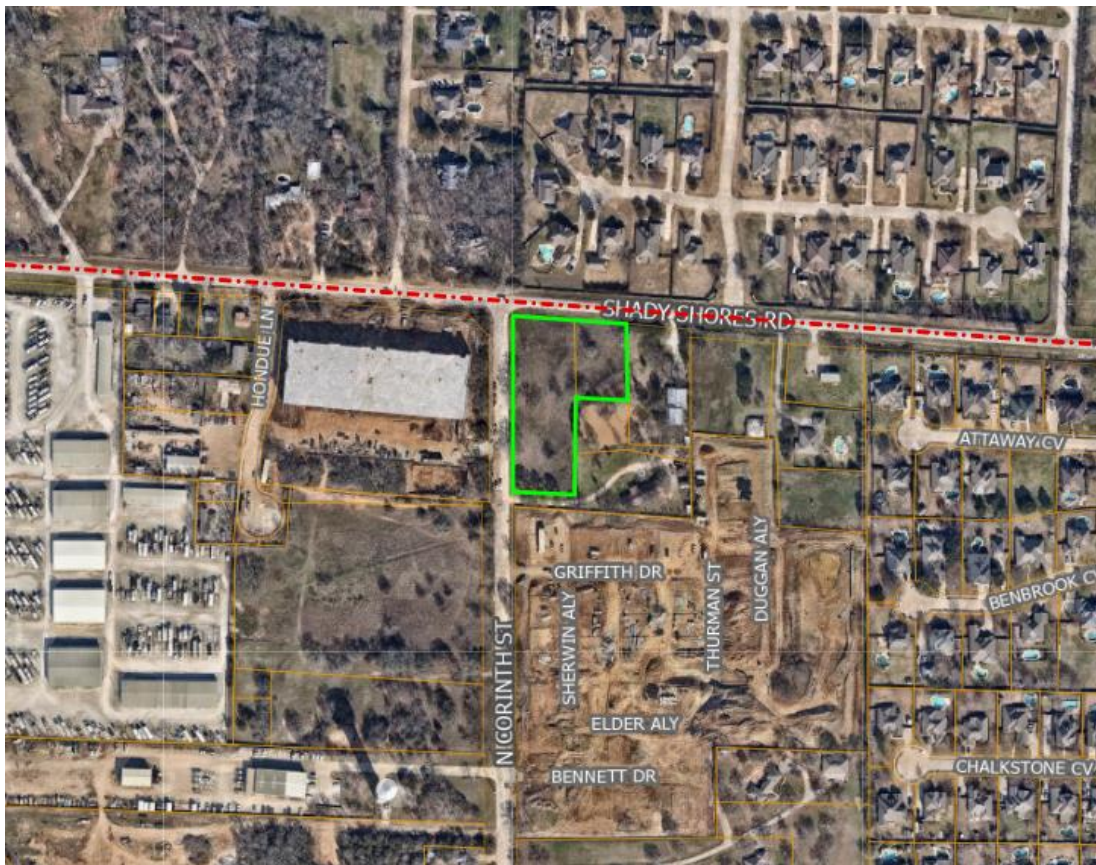


CITY OF CORINTH Staff Report

Meeting Date:	8/25/2025	Title:	PLAT25-0007: Murillo Market Final Plat
Strategic Goals:	<input type="checkbox"/> Resident Engagement <input type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development		

Item/Caption

Consider and act on a request by the Applicant, Kairos Real Estate, for a Final Plat of Murillo Market Townhomes Project, being ± 2.158 acres located at the northeast corner of N. Corinth St and Shady Shores Rd.



Aerial Location Map

Item Summary/Background/Prior Action

The purpose of this Final plat is to establish a subdivision consisting of 50 townhouse lots. The subject property is zoned MX-C, Mixed Use Commercial.

Murillo Market has made major design changes to their site layout, primarily to address drainage concerns. These revisions significantly impacted the previously reviewed preliminary plans and also resulted in significant modifications to the Final

Plat. Because of this, the Final Plat was Denied by the Planning and Zoning Commission on July 28th. Since then, the Developer has revised the Final Plat and resubmitted the Plat on August 11th.

Staff Recommendation

The Development Review Committee and the city's consulting engineering firm, Shield Engineering, have reviewed this Final Plat. Based on the deficiencies identified during the review process as noted on Attachment 1, Staff is recommending approval subject to the condition that the Applicant satisfactorily address all the comments from Staff and the requirements of Unified Development Code (UDC) Subsection 3.03.03.I, Final Plat Criteria for Approval, which requires that a plat conform to the city's application checklists and UDC regulations, as well as the standard conditions required by UDC Subsection 3.03.03 H.4 and the additional conditions outlined by Staff, which are enumerated below:

- a. All covenants required by ordinances have been reviewed and approved by the City.
- b. On-site easements and rights-of-way have been dedicated and filed of record and properly described and noted on the Final Plat.
- c. All required abandonments of public rights-of-way or easements that must be approved by the City Council and the abandonment ordinance numbers shown on the plat.
- d. Abandonment documents for all other easements not requiring City Council approval have been filed of record and properly described and noted on the plat.
- e. Staff is authorized to approve any additions and/or alterations to the easements, dedications, and plat notes included in the Final Plat.
- f. Address all comments from Staff as noted in the attached Final Plat documents.
- g. Address the requirements of Unified Development Code (UDC) Subsection 3.03.03.I, Final Plat Criteria for Approval

Applicable Policy/Ordinance

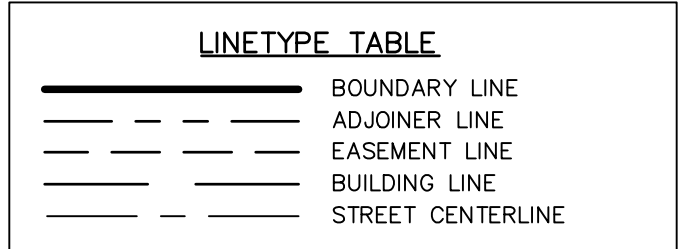
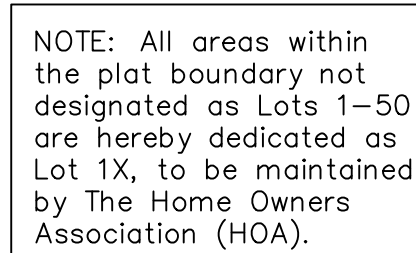
- Unified Development Code
- Texas Local Government Code

Motion

"I move to conditionally approve Case No. PLAT25-0007 – Murillo Market Final Plat subject to the Applicant addressing all Staff comments and satisfying the conditions outlined in UDC Subsection 3.03.03.H.4."

Attachments

1. Proposed Final Plat with Staff comments.

TYPICAL LOT DETAILS

OWNER:
MIGUEL ANGEL MURILLO
ANTONIO MURILLO
2214 EVERGREEN COVE
CORINTH, TEXAS 76208
CONTACT: MIGUEL ANGEL MURILLO

JOB NO.: 25-0406		PEISER & MANKIN SURVEYING, LLC		SHEET	
DATE: 05/02/2025		www.peisersurveying.com			
FIELD DATE: 05/01/2025					
SCALE: 1" = 40'					
FIELD: A.R.M.		1612 HART STREET		Texas Society of Professional Surveyors	
DRAWN: J.B.W.		SUITE 201		OF	
CHECKED: T.R.M.		SOUTHLAKE, TEXAS 76092		1	
		817-481-1806 (O)		MORTGAGE	
		tmankin@peisersurveying.com		FIRM No. 100999-00	
				Member Since 1977	

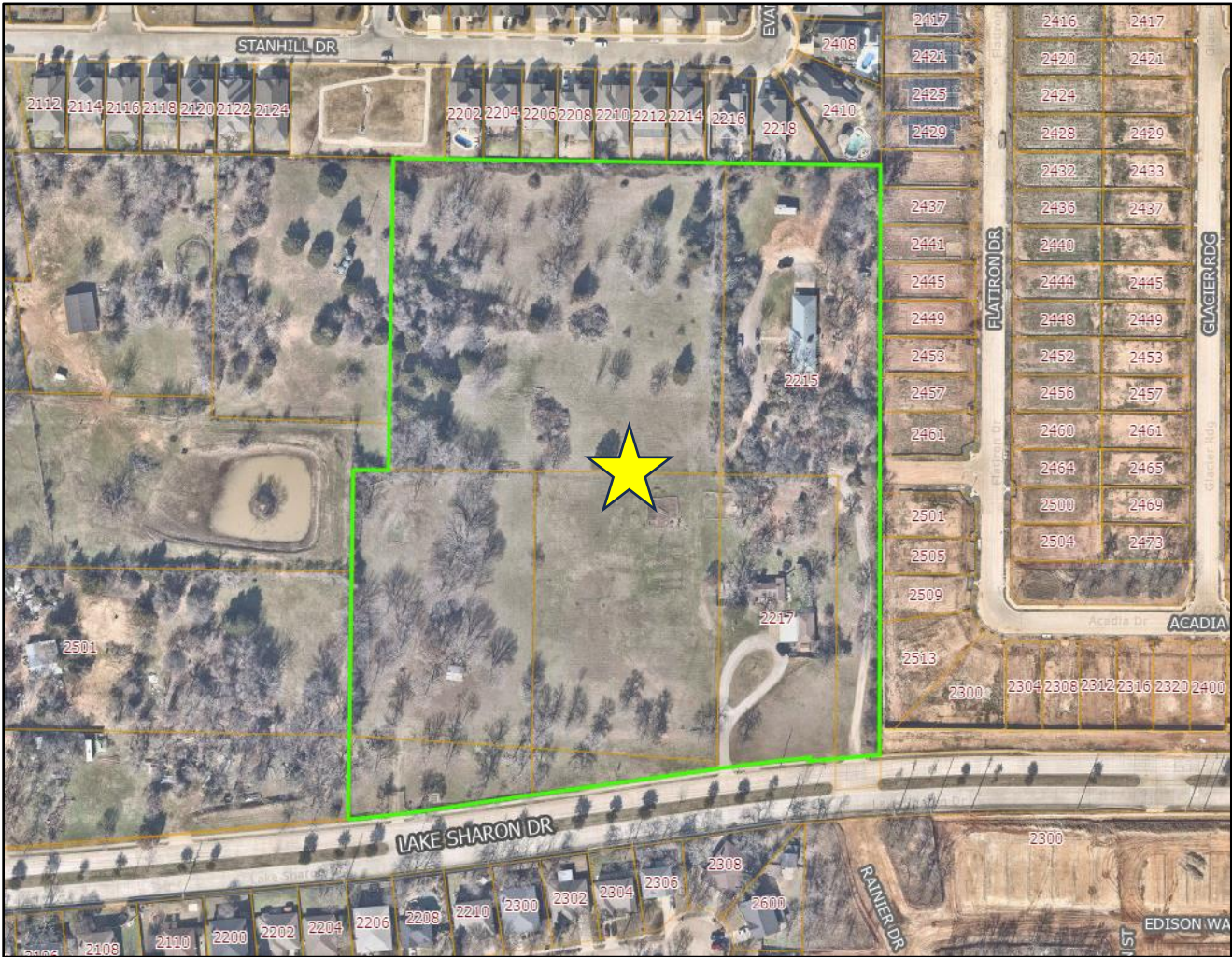


CITY OF CORINTH
Staff /Report

Meeting Date:	8/25/2025	Title:	Pearl’s Place Planned Development (PD) Rezoning Request (Case No. ZAPD25-0003)
Strategic Goals:	<div><input type="checkbox"/> Resident Engagement <input type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development</div> <div><input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development</div>		

Item/Caption

- Conduct a Public Hearing to consider testimony and make a recommendation to City Council on a rezoning request by the Applicant, Ridinger Associates Inc., to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential (Detached) to a Planned Development with a base zoning district of SF-4 Single Family Residential (Detached) for the development of ±54 lots on approximately ±13.1 acres generally located at 2215 and 2217 Lake Sharon Drive.

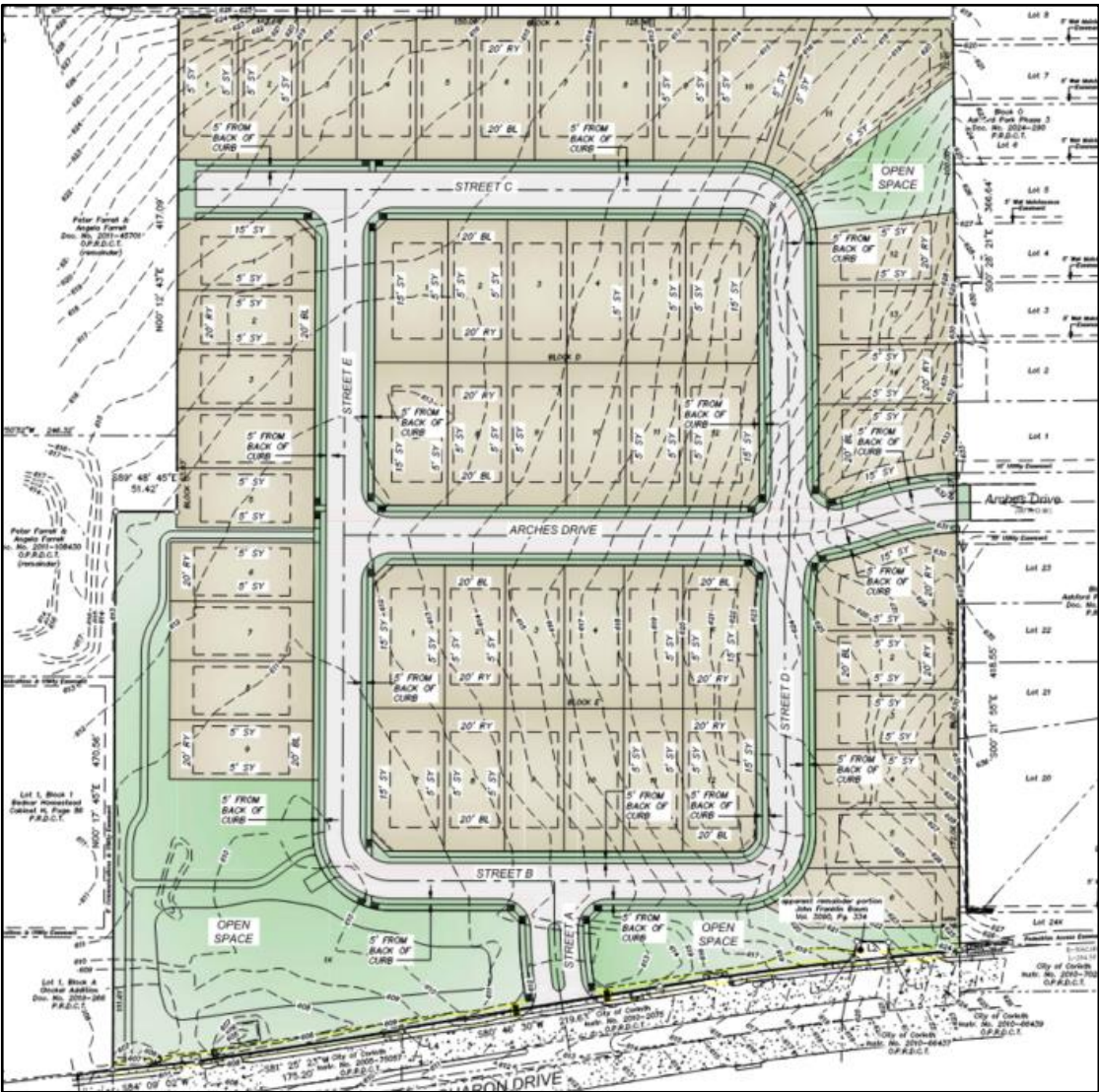


Location Map - Case No. ZAPD25-003

Item Summary/ Background

The Applicant is requesting approval of a Planned Development (PD) rezoning for the development of ±13.1 acres for the construction of ±54 single family detached dwellings on individually platted lots. The subject site for proposed Pearl’s Place Planned Development is currently zoned SF-2 Single Family Residential and is located on the north side of Lake Sharon Drive, directly south of the Terrace Oaks subdivision, and west of the Ashford Park subdivision. There are 2 existing residential structures located on the property and several accessory structures. The property is bordered by single family planned developments with base zonings of SF-4 to the north and east, a residential subdivision zoned SF-4 south, and large lot residential properties zoned SF-2 to the west. The Ashford Park development (PD-57 with base zoning of SF-4) borders the subject site to the east offers 30’ and 50’ Lots. The Terrace Oaks PD (PD-39 with base zoning of SF-4) borders the subject site to the east and south, with only the southern portion of this PD (Area A) being developed at this time. PD-39 also includes a range of lot types, including 40’ - 49’, 50’ - 59’, 60’ - 69’, and 70’ - 79’ Lots, with the majority being 50’ - 59’ lots.

The proposed base zoning district for Pearl’s Place would consist of SF-4, Single Family Residential (Detached). The development will provide all 50’ wide lots with a minimum lot size of 5,500 square feet and gross density of 4.13 dwelling units per acre.



Pearl’s Place Conceptual Landscape Plan

The development proposes Single Family lots that are 50’ wide and designed with front entry garages. The Builder shall be required to install a shade tree within the parkway, the area between the sidewalk and curb, and an ornamental tree in the front yard of each residential lot. Additionally, front yard and common open space lot landscaping shall utilize drought-tolerant, native vegetation in keeping with Texas SmartScape principles. Several open space areas have been incorporated into the proposed development and have been strategically located to preserve 4 out of 5 of the existing heritage trees on site. Amenities planned in the open spaces include trails, enhanced landscaped areas with benching, lighting in strategic locations, and a retention (wet) pond adjacent to Lake Sharon Drive.

The landscape design includes shade trees within the public right-of-way (within the landscape strip between curb and sidewalk) to create a tree-lined parkway. The location of Street Trees was requested by Staff as a design enhancement to create a more walkable and inviting streetscape.

Other unique design aspects of this PD are listed below:

- A 2-car garage and 2-car driveway will be provided for each dwelling unit
- The developer has agreed to preserve a minimum of 10% CI of Healthy Protected Trees with the current Preservation depicting a goal of 16.6%
- The concept plan includes 2.1 acres of open space (16% of the site’s gross acreage)
- Each façade (excluding doors and windows) shall consist only of masonry, stucco construction materials and/or fiber- reinforced cementitious board
- Garage doors with decorative hardware, glass inserts, and sconces shall be required for all lots.
- The existing sidewalk along Lake Sharon Drive shall be replaced with a 10’ wide trail with plantings provided between the trail and curb to act as a buffer for pedestrians
- The Developer has agreed to coordinate with the City on sizing their lift station so that properties to the west can connect in the future

Dimensional Standards

As stated in the UDC, Subsection 2.06.03, the purpose of a PD District is to “... encourage quality and better development in the city by allowing flexibility in planning and development projects... and permit new or innovative concepts in land utilization and or diversification that could not be achieved through the traditional [base] zoning districts.”

The following table provides a summary of dimensional standards that either deviate from the current UDC regulations or are offered as additional provisions to create an innovative and unique project. These modifications are in keeping with the Envision 2040 Comprehensive Plan Land Use and Development Strategies for the Neighborhood Land Use and promote “Traditional Neighborhood Design and New Urbanism Concepts”.

	SF-4 Base	Dimensional Standards/Modifications
		50’ Lots
Minimum Front Yard Setback	25 feet	10 feet / 20 feet (1&2)
Minimum Side Yard Setback:		
Interior Lot	5 feet	5 feet (3)
Corner Lot	15 feet	10 feet (3&4)
Minimum Rear Yard Setback	20 feet	20 feet

Minimum Lot Area	7,500 s.f.	5,500 s.f.
Maximum Density	N/A	N/A
Minimum Lot Width at Building Line	70 feet	50 feet
Minimum Lot Depth	100 feet	100 feet
Minimum Floor Area	1,500 s.f.	1,500 s.f.
Maximum Building Area Coverage	30%	55% (5)

- 1) Covered front porches and other building elements excluding garages shall have a minimum front setback of 10 feet.
- 2) Garages shall have a minimum front setback of 20 feet.
- 3) Air conditioning units may be installed within side yard setbacks.
- 4) Corner lot setback only applicable to side yards adjacent to ROW.
- 5) Maximum building area coverage shall be exclusive of sidewalks, driveways, and accessory structures

**Proposed standards are further described in the attached Pearl’s Place PD Design Statement and include justification statements for the requests.*

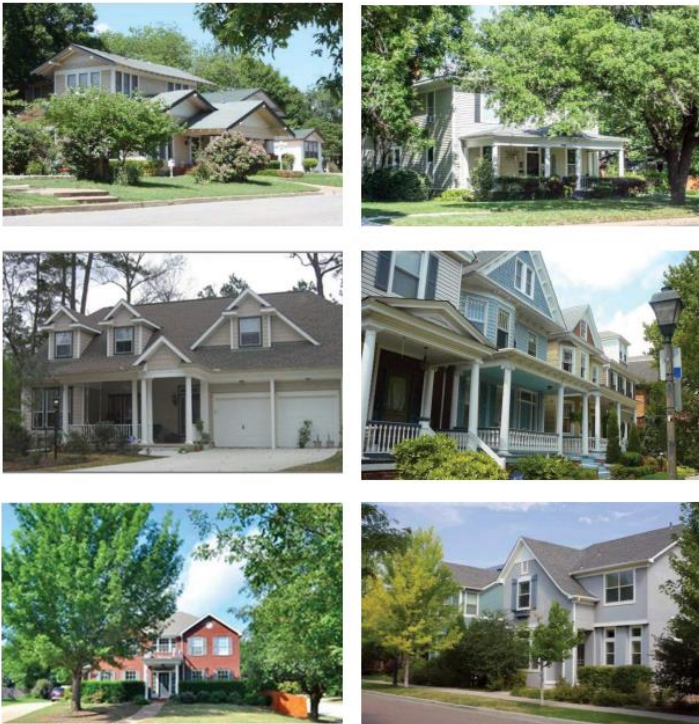
Compliance with the Comprehensive Plan

The rezoning request for the subject property is in accordance with the Land Use and Development Strategy designation, Neighborhood, as set forth in the Envision Corinth 2040 Comprehensive Plan.



Specifically, the proposed Concept Plan design meets the overall intent of the principles outlined in the **Neighborhood Land Use and Development Strategy*** (see below).

ENVISION CORINTH 2040 COMPREHENSIVE PLAN
LAND USE AND DEVELOPMENT STRATEGY



NEIGHBORHOOD

Purpose and intent

- » To maintain the character and quality of existing neighborhoods
- » Ensure that property values of existing neighborhoods stay stable through focus on maintenance, code enforcement, and neighborhood improvements (pocket parks, sidewalk connections to schools, entry features, etc.)

Land use types and density

- » Based on existing neighborhood layout and context
- » Appropriate transitions to existing neighborhoods with respect to densities, screening, and buffering within new neighborhoods

Design priorities

- » Maintain existing street network, parks, and open space
- » Provide additional sidewalk and trail connections where feasible

- » Vehicular and pedestrian connections to new adjoining neighborhoods and to schools and parks
- » Any new development should examine Traditional Neighborhood Design or New Urbanism concepts

Sustainability priorities

- » Focus on local area detention infrastructure that also serves as amenities (landscaping, trails, and building frontages) for the benefit of adding value to the development
- » Connections to regional trails, parks, and adjoining neighborhood retail
- » New neighborhoods to focus on walkability and bikeability
- » Design of new streets and infrastructure to incorporate appropriate LID elements
- » Allow roof-top solar panels

***Excerpt from 2040 Comprehensive Plan, page 47.**

Public Notice

Notice of the public hearing was provided in accordance with the City Ordinance and State Law by,

- Publication in the Denton Record-Chronicle
- Written public notices were mailed to the owners of all properties located within 200 feet of the subject property and to Lake Dallas ISD.
- The Applicant posted several “Notice of Zoning Change” signs around the perimeter of the site.
- The Public Hearing notice was posted on the City’s Website.

Letters of Support/Protest

As of the date of this report, the City has received no letters of support and three (3) letters of opposition from property owners within 200 feet of the proposed rezoning, with two of the letters coming from the same property. Letters received after this date will be presented to the Planning & Zoning Commission at the time of Public Hearing. See Attachment 2 – 200’ Buffer Exhibit and Correspondence from Property Owners

Staff Recommendation

Staff recommends approval with the added condition that a minimum of 50% of residential lots provide a minimum 70 sq ft front porch. Staff feel that front porches are an important element of Traditional Neighborhood Design that serve both aesthetic and functional purposes by providing a space in which residents can interact with their neighbors and community.

Motion

“I move to recommend approval of Case No. ZAPD25-0003 – Pearl’s Place Planned Development with the added condition that a minimum of 50% of residential lots provide a minimum 70 sq ft front porch.

Alternative Actions by the Planning and Zoning Commission

The Planning and Zoning Commission may also,

- Recommend approval with additional stipulations
- Continue the Public Hearing and table action on the request to a definitive or non-defined date
- Recommend denial of the request

Supporting Documentation

Attachment 1 – Pearl’s Place PD Exhibits

- A. Exhibit A – Legal Description
- B. Exhibit B – Existing Conditions
- C. Exhibit C – PD Design Statement
- D. Exhibit D – PD Development Standards
- E. Exhibit E – PD Concept Plan
- F. Exhibit F – PD Conceptual Landscape Plan
- G. Exhibit G – Preliminary Tree Preservation Plan
- H. Exhibit H – Representative Product Types

Attachment 2 – 200-foot Zoning Buffer Exhibit and Correspondence from Property Owners



Old Town Surveying, LLC
Professional Land Surveyors

810 Office Park Circle, Ste. 130, Lewisville, TX 75057
Ph. 469-293-8079 info@oldtownsurveying.com
TFRN Number: 10194611

Section E, Item 4.

EXHIBIT "A"

13.060 Acre Tract

**William Wilson Survey, Abstract Number 1383 &
Brooks Beall Survey, Abstract Number 58
City of Corinth, Denton County, Texas**

BEING a 13.060 acre tract of land situated in the William Wilson Survey, Abstract Number 1383 and the Brooks Beall Survey, Abstract Number 58, Denton County, Texas, and being all those certain tracts of land described by deed to Hickory Creek Real Estate, LLC, recorded under Instrument Number 2023-84501, Official Public Records, Denton County, Texas (O.P.R.D.C.T.), and being all those certain tracts of land described by deed to Susie & Doc's Real Estate Company, LLC, recorded under Instrument Numbers 2019-115279, 2019-115280, 2019-115281 and 2019-115282, O.P.R.D.C.T., and being a portion of that certain tract of land described by deed to Johnny and Carrie Crabtree, recorded in Volume 5377, Page 1823, Deed Records, Denton County, Texas, and being a portion of that certain tract of land described by deed to John Franklin Baum, recorded in Volume 3090, Page 334, D.R.D.C.T., and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found for corner being the northeast corner of the herein described tract, same point being the northeast corner of said Hickory Creek Real Estate Tract 1, and being the southeast corner of Lot 25, Block 2 of Terrace Oaks Phase One, an addition to the City of Corinth, Denton County, Texas, according to the plat recorded under Document Number 2017-59, Plat Records, Denton County, Texas (P.R.D.C.T.), same point being in the west line of Lot 8, Block O of Ashford Park Phase 3, an addition to the City of Corinth, Denton County, Texas, according to the plat recorded under Document Number 2024-290, P.R.D.C.T.;

THENCE South 00 degrees 28 minutes 21 seconds East, with the west line of said Ashford Park Phase 3, a distance of 366.64 feet to a point from which a 1/2 inch iron rod found bears North 29 degrees 29 minutes 21 seconds West at 1.06 feet;

THENCE South 00 degrees 21 minutes 55 seconds East, continuing on with the west line of said Ashford Park Phase 3, a distance of 418.55 feet to a 1/2 inch iron rod found for corner being the southwest corner of Lot 24X, of said Ashford Park Phase 3, same point being the southeast corner of said Hickory Creek Real Estate Tract 2, and being the northwest corner of a tract of land described by deed to the City of Corinth, recorded under Instrument Number 2010-70295, O.P.R.D.C.T., same point being the northeast corner of a tract of land described by deed to the City of Corinth, recorded under Instrument Number 2010-66439, O.P.R.D.C.T., and being the beginning of a non-tangent curve to the left, having a radius of 3042.00 feet;

(continued)

THENCE with the north right-of-way line of Lake Sharon Drive as described by said City of Corinth tract (Instr. No. 2010-66439), and with said curve to the left, through a central angle of 01 degrees 01 minutes 01 seconds, whose chord bears South 84 degrees 59 minutes 52 seconds West at 60.19 feet, an arc length of 60.19 feet to the northeast corner of a tract of land described by deed to the City of Corinth, recorded under Instrument Number 2010-66437, O.P.R.D.C.T., same point being the northwest corner of said City of Corinth tract (Instr. No. 2010-66437), and being the southwest corner of said Hickory Creek Real Estate Tract 2, from which a 1/2 inch iron rod found bears North 14 degrees 46 minutes 43 seconds West at 0.54 feet;

THENCE North 00 degrees 25 minutes 20 seconds East, a distance of 12.37 feet to a 1/2 inch iron rod found for corner being in the north line of said Baum tract, same point being the southeast corner of said Susie & Doc's tract (Instr. No. 2019-115282);

THENCE North 88 degrees 59 minutes 06 seconds West, with the south line of said Susie & Doc's tract (Instr. No. 2019-115282), a distance of 26.67 feet to a 1/2 inch iron rod found for corner being the apparent northwest corner of said Baum tract, same point being the northeast corner of said Susie & Doc's tract (Instr. No. 2019-115281);

THENCE South 10 degrees 52 minutes 34 seconds West, a distance of 16.17 feet to a 1/2 inch iron rod with blue cap stamped "OLD TOWN SURVEYING" (OTS) set for corner being the southeast corner of said Susie & Doc's tract (Instr. No. 2019-115281), same point being the northwest corner of said City of Corinth tract (Instr. No. 2010-66437), and being the northeast corner of a tract of land described by deed to the City of Corinth, recorded under Instrument Number 2010-2075, O.P.R.D.C.T., and being the beginning of a non-tangent curve to the left, having a radius of 3042.00 feet;

THENCE with the north right-of-way line of said Lake Sharon Drive as described by said City of Corinth deed (Instr. No. 2010-2075), and with said curve to the left, through a central angle of 03 degrees 05 minutes 42 seconds, whose chord bears South 82 degrees 19 minutes 21 seconds West at 164.30 feet, an arc length of 164.32 feet to a 1/2 inch iron rod found for corner;

THENCE South 80 degrees 46 minutes 30 seconds West, continuing on with the north right-of-way line of said Lake Sharon Drive as described by said City of Corinth tract (Instr. No. 2010-2075), a distance of 219.63 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for corner being the southwest corner of said Susie & Doc's tract (Instr. No. 2019-115281), same point being in the east line of said Crabtree tract;

THENCE South 00 degrees 09 minutes 32 seconds West, with the east line of said Crabtree tract and the west line of said City of Corinth tract (Instr. No. 2010-2075), a distance of 2.04 feet to a "X" set in concrete for corner being the northeast corner of a tract of land described by deed to the City of Corinth, recorded under Instrument Number 2005-75057, O.P.R.D.C.T.;

THENCE South 81 degrees 25 minutes 23 seconds West, with the north right-of-way line of said Lake Sharon Drive as described by said City of Corinth deed (Instr. No. 2005-75057), a distance of 175.20 feet to a "X" set in concrete for corner;

THENCE South 84 degrees 09 minutes 02 seconds West, continuing on with the north right-of-way line of said Lake Sharon Drive as described by said City of Corinth deed (Instr. No. 2005-75057), a distance of 70.69 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for corner being in the west line of said Crabtree tract, same point being the northwest corner of said City of Corinth tract (Instr. No. 2005-75057), and being the northeast corner of a tract of land described by deed to the City of Corinth, recorded under Instrument Number 2010-64259, O.P.R.D.C.T., same point being the southeast corner of a tract of land described by deed to the City of Corinth, recorded under Instrument Number 2019-19351, O.P.R.D.C.T.;

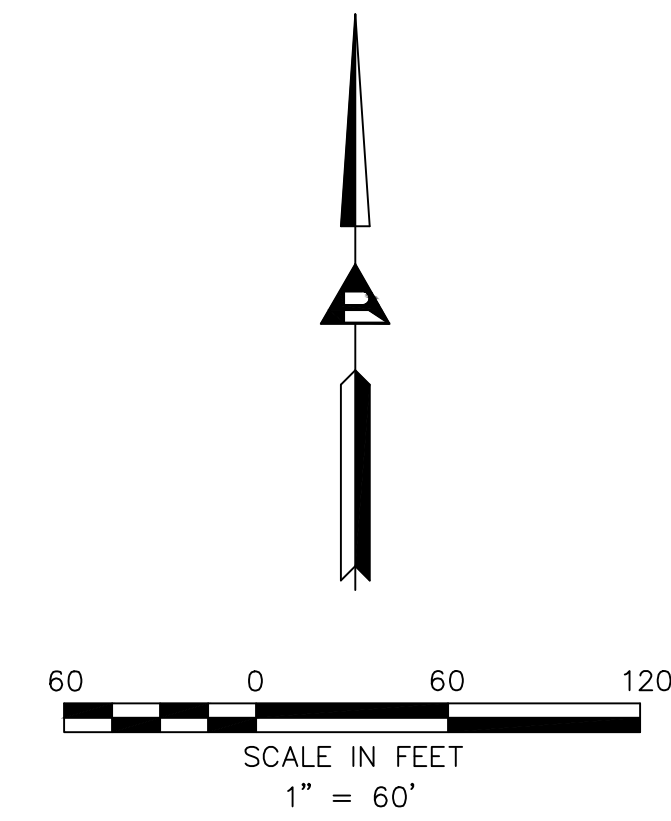
(continued)

THENCE North 00 degrees 17 minutes 45 seconds East, passing at 0.83 feet a 1/2 inch iron rod found for the southeast corner of Lot 1, Block A, Glockel Addition, an addition to the City of Corinth, Denton County, Texas, according to the plat recorded under Document Number 2019-266, P.R.D.C.T., and continuing on for a total distance of 470.56 feet to a “T-Post” in concrete found for corner being the northwest corner of said Crabtree tract, same point being an ell corner of a tract of land described by deed to Peter Farrell and Angela Farrell, recorded under Instrument Number 2011-108430, O.P.R.D.C.T.;

THENCE South 89 degrees 48 minutes 45 seconds East, with the north line of said Crabtree tract and a south line of said Farrell tract, a distance of 51.42 feet to a 1/2 inch iron rod found for corner being the most easterly southeast corner of said Farrell tract, same point being the southwest corner of said Susie & Doc’s tract (Instr. No. 2019-115279);

THENCE North 00 degrees 12 minutes 43 seconds East, passing a 1/2 inch iron rod found for the northeast corner of said Farrell tract, and continuing on for a total distance of 417.09 feet to a 1/2 inch iron rod with blue cap stamped “OTS” set for corner being the northwest corner of said Susie & Doc’s tract (Instr. No. 2019-115279), same point being the northeast corner of a tract of land described by deed to Peter Farrell and Angela Farrell, recorded under Instrument Number 2011-45701, O.P.R.D.C.T., and being in the south line of Lot CA-5, of said Block 2, Terrace Oaks Phase One;

THENCE South 89 degrees 52 minutes 11 seconds East, with the south line of said Block 2, Terrace Oaks Phase One, passing a 1/2 inch iron rod found for the northeast corner of said Susie & Doc’s tract (Instr. No. 2019-115279) and the northwest corner of said Hickory Creek Real Estate Tract 1 at 442.64 feet, and continuing on for a total distance of 651.69 feet to the **POINT OF BEGINNING** and containing 13.060 acres of land, more or less.



TREE COVERAGE		
LOT AREA	568,910 S.F.	13.06 AC.
TREE AREA	124,967 S.F.	2.87 AC.
COVERAGE	21.97%	

EXHIBIT H
EXISTING TREE COVERAGE
FOR
CORINTH
RESIDENTIAL SUBDIVISION
Being 54 Residential Lots & 3 X-Lots
13.060 acres Situated in the
Wm. Wilson Survey, Abstract No. 1383 &
Brooks Beall Survey, Abstract No. 58
in the
City of Corinth
Denton County, Texas

[illegible]

EXHIBIT "C"**PD DESIGN STATEMENT****SECTION 1 - OVERVIEW**

A. **PROJECT NAME/TITLE:** Pearl's Place

B. **LIST OF OWNERS/DEVELOPERS:** Rembert Enterprises, Inc.

C. **PROJECT ACREAGE AND LOCATION:**

The project site is approximately 13.06 acres on the north side of Lake Sharon Drive in the City of Corinth. The zoning request is for approximately 13.06 acres, Watson Addition.

D. **PROJECT OVERVIEW:**

The proposed Pearl Place residential subdivision will be a quality neighborhood with 54 residential lots and 3 rather large open space lots. The proposed lot types conform to the Future Land Use designation, and the subdivision will include sidewalk and right-of-way dedication including a trails.

E. **PROJECT DESCRIPTION:**

The proposed Planned Development (PD) is intended to provide for a quality development of a residential community taking advantage of the location and the concepts outlined in Envision Corinth 2040 Comprehensive Plan by promoting single-family dwelling types (50' Lots) (See Exhibit "C" – Concept Plan), providing a network of open spaces, preserving some mature trees, maintaining a density of 4.12 dwelling units per acre, and providing neighborhood scale retention facilities that serve as amenities with street frontage.

The current zoning of the property is SF-2 and we are intending to rezone the property as a PD with a base of SF-4.

SECTION 2 – BACKGROUND INFORMATION

A. **EXISTING SITE CONDITIONS**

The site is currently being used for a large residential estate(s) and/or agricultural purposes. It is accessed via Lake Sharon Oak Dr., and Ashford Park addition. The following is a brief description of the existing physical characteristics of the site which are depicted on the attached Exhibit X – Existing Site Conditions.

The project site is bound by Terance Oaks addition to the north, Ashford Park subdivision on the east, two undeveloped tracts of land to the west, and Lake Sharon Drive to the south. The project is surrounded by single-family residential zoning on 3 sides which includes SF-2, PD-39 (SF-4) and PD-57 (SF-4)

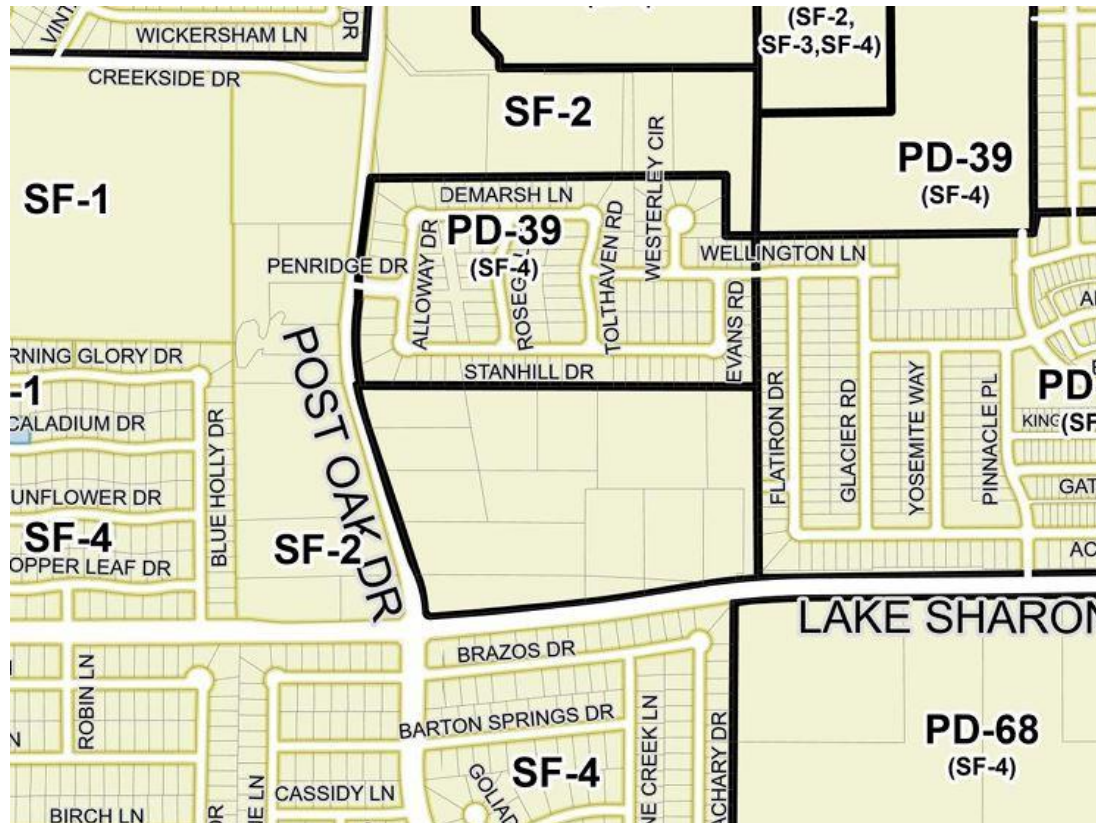
The subject site does not contain floodplain according to FEMA maps, wetland, or streams.

The subject site includes several structures that will be removed as part of development of the proposed single-family lots. The franchise utilities and public utilities currently serving those

structures will be relocated as part of development going in proposed street right-of-way or easements.

B. CURRENT ZONING

The site is currently zoned SF-2 which permits a range of uses by right including among Single Family Detached Dwellings, Licensed Child-Care Home, Church or Other Place of Worship, Country Club, Gas or Oil Well Production, Police or Fire Station, etc.



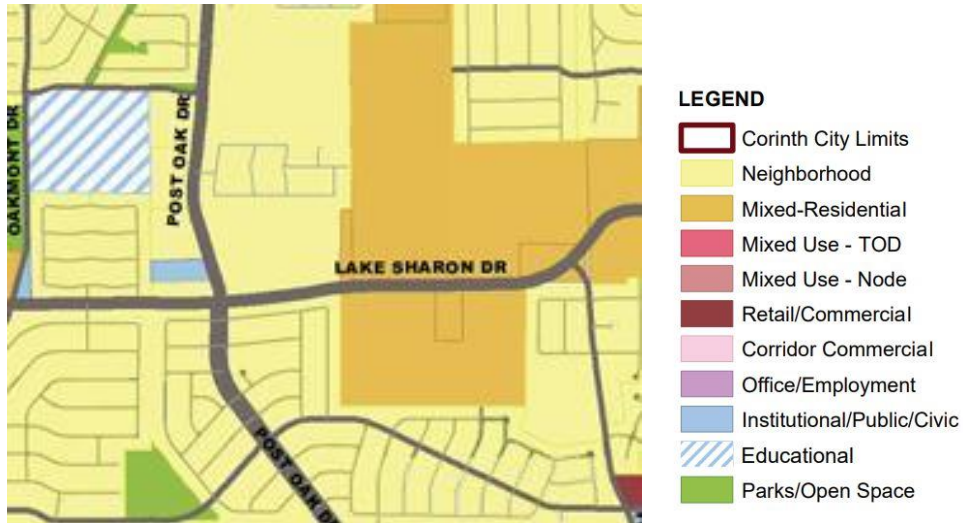
Source: Source: [Corinth GIS](#) Zoning Map

The existing zoning on the subject site permits the following:

Existing SF-2 Dimensional Regulations	
Minimum Front Yard Setback	25 feet
Minimum Side Yard Setback: Interior Lot	15 feet
Corner Lot	25 feet
Minimum Rear Yard Setback	20 feet
Minimum Lot Area	14000 s.f.
Minimum Lot Depth	110 feet
Maximum Density	N/A
Minimum Lot Width	100 feet
Minimum Floor Area	2000 s.f.
Maximum Building Area Coverage	30%

C. FUTURE LAND USE

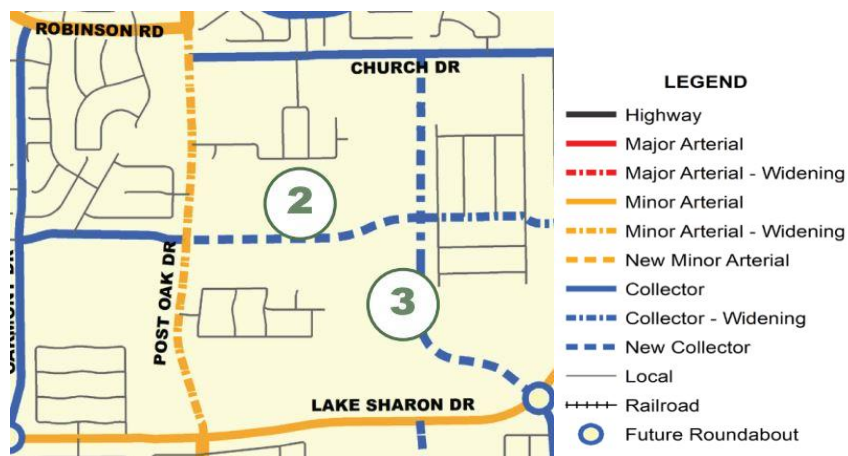
The Future Land Use Map shows this site as “Neighborhood”. The proposed “PD” aligns with this plan.



Source: [Envision Corinth 2040 Comprehensive Plan \(Adopted July 2020\)](#)

1. Strategic Focus Areas

The subject site is not located in a Strategic Focus Area identified by Envision Corinth 2040 Comprehensive Plan.

2. Mobility – Master Thoroughfare Plan

Source: [Envision Corinth 2040 Comprehensive Plan - Master Thoroughfare Plan \(Adopted July 2020\)](#)

3. Mobility – Active Transportation Plan



D. PARK, RECREATION AND OPEN SPACE MASTER PLAN

There are no parks designated on this property, but there are 2 inviting Open Space lots along Lake Sharon Drive and another internal Open Space Lot. All open space areas shall be owned and maintained by the HOA.

EXHIBIT “D”
PLANNED DEVELOPMENT STANDARDS

SECTION 1: PURPOSE AND BASE DISTRICT

A. Purpose

The regulations set forth herein provide development standards for single family residential uses within the Pearl’s Place Planned Development District (PD). The boundaries of the PD are identified by metes and bounds on the Legal Description, Exhibit “A” to this Ordinance, and the Property shall be developed in accordance with these regulations and the Planned Development “PD” Concept Plan as depicted on Exhibit “E” and associated Ancillary Concept Plans. Any use that is not expressly authorized herein is expressly prohibited in this PD.

B. Base District

In this PD, the “SF-4” Single-Family Residential District (Detached) regulations of the Corinth Unified Development Code (UDC), Ordinance No. 13-05-02-08, as amended, shall apply to the Property except as modified herein. If a change to the Planned Development Standards, PD Concept Plan, and/or associated Ancillary Concept Plans is requested, the request shall be processed in accordance with the UDC and development standards in effect at the time the change is requested per the Planned Development Amendment Process.

SECTION 2 – USES AND AREA REGULATIONS

A. Permitted Uses and Use Regulations

In the proposed PD, no building, or lands shall be used, and no building shall be hereafter erected, reconstructed, enlarged, or converted unless otherwise provided for in the SF-4 Single Family Residential District (Detached) regulations of the UDC or otherwise permitted by this PD Ordinance. Permitted Uses in the SF-4, Single Family Residential (Detached) District, as listed in Subsection 2.07.03 of the UDC, shall be permitted in the proposed PD District. The residential building layout shall be in general conformance with the PD Concept Plan shown in Exhibit “E” attached hereto.

B. Dimensional Regulations

The Dimensional Regulations described in Section 2.08.04 of the Unified Development Code, Ordinance No.13-05-02-08, for the base zoning district SF-4 Single Family Residential (Detached) shall apply, except as modified below:

Table A – Dimensional Requirements

	SF-4 Base	Dimensional Standards/Modifications
		50’ Lots
Minimum Front Yard Setback	25 feet	10 feet / 20 feet (1&2)
Minimum Side Yard Setback:		
Interior Lot	5 feet	5 feet (3)
Corner Lot	15 feet	10 feet (3&4)
Minimum Rear Yard Setback	20 feet	20 feet
Minimum Lot Area	7,500 s.f.	5,500 s.f.
Maximum Density	N/A	N/A

Minimum Lot Width at Building Line	70 feet	50 feet
Minimum Lot Depth	100 feet	100 feet
Minimum Floor Area	1,500 s.f	1,500 s.f.
Maximum Building Area Coverage	30%	55% (5)

- 1) Covered front porches and other building elements excluding garages shall have a minimum front setback of 10 feet.
- 2) Garages shall have a minimum front setback of 20 feet.
- 3) Air conditioning units may be installed within side yard setbacks.
- 4) Corner lot setback only applicable to side yards adjacent to ROW.
- 5) Maximum building area coverage shall be exclusive of sidewalks, driveways, and accessory structures

C. Development Standards

Except as otherwise set forth, the Development Standards of Subsection 2.04.04, SF-4, Single Family Residential (Detached) of Subsection 2.04, “Residential Zoning Districts” of the UDC, for the SF-4 Single Family District (Detached and all other requirements of the UDC shall apply to development within the proposed PD, Pearl’s Place.

1. **UDC Subsection 2.07.07 Accessory Buildings and Uses** shall apply.
2. **UDC Subsection 2.09.01 Landscaping Regulations for Attached, and Detached Single Family Developments** shall apply, except as modified below:
 - a. Subsection 2.09.01.B.2.B.(a) and (b) **Required Landscaping and Location of Trees** shall be modified to require, at a minimum of 2 front yard trees, 1 of the front yard trees to be a shade tree planted in the Right-of-Way and 1 an ornamental tree planted in the front yard of the residential lot. The exact location and type of species of said Shade Trees shall be further defined in the detailed Landscape Plan to be submitted with Civil Plans. The detailed Landscape Plan shall serve as a guide for the Builder and City Staff during construction by identifying the species to be planted along each street as well as standards for Shade Trees to be located within the public right-of-way (in the “Parkway,” where Parkway is defined as the five foot (5’) or wider landscaped area between the sidewalk and curb). Shade Trees shall be located 25’-on-center within the parkway adjacent to common opens space lots as depicted on Exhibit “F” – Conceptual Landscape Plan.
 - i. The Builder shall be responsible for the installation of the Shade Trees and Ornamental Trees associated with each 50’ Lot as described above and shall be further deigned on the Landscape Plans at time of the Civil Plans as noted above. This shall include Shade Trees located in the Parkway adjacent to each lot (front and side frontage). The installation of the shade trees shall be satisfied prior to the issuance of the Certificate of Occupancy/Building Final.
 - ii. The Developer shall be responsible for installing Shade Trees and landscaping within all “Parkway” locations that abut common open space lots and Lake Sharon Drive as generally depicted on Exhibit “F”— Conceptual Landscape Plan and shall be further defined in the Landscape Plan to be submitted at time of Civil Plans.
 - iii. 50’ Lots shall be subject to the minimum landscape requirements including shrubs and ornamental tree(s) as set forth in Subsection 2.09.01.B. – Requirements for Single Family

Attached and Detached Lots except as noted above whereby the required Shade Trees shall be permitted (and shall be required) to be located within the Parkway and with the exception that landscape in all front yards shall be consistent with the principles and recommendations of Texas SmartScape landscaping.

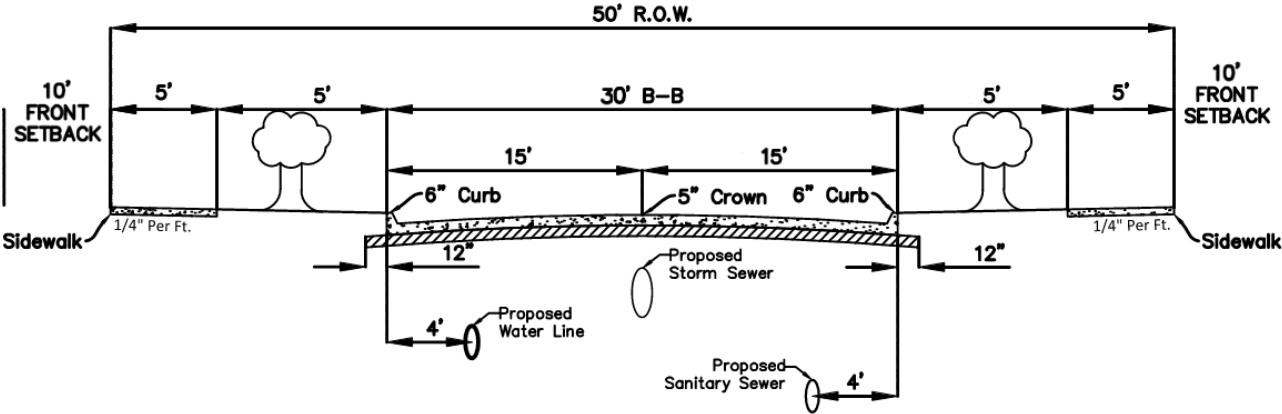
- b. All landscaping and Shade Trees within the Parkway, along Lake Sharon Drive, and within the common open space X-Lots shall be maintained by the Homeowners Association in perpetuity.
 - c. Front yard and common open space lot landscaping shall utilize drought-tolerant, native vegetation in keeping with Texas SmartScape principles.
3. **UDC Subsection 2.09.02 Tree Preservation** shall apply, except as modified below:
- a. The mitigation requirements of UDC Subsection 2.09.02 shall be satisfied by the preservation of a minimum of 10% of caliper inches of existing protected trees including four (4) heritage trees within common open space areas as generally depicted on Exhibit “F” – Conceptual Landscape Plan and Exhibit “G” – Preliminary Tree Preservation Plan which currently depicts a preservation rate of 16.6% as a goal. In lieu of the remaining Tree Mitigation, the City and Developer shall work towards designing the lift station such that it is sized to accommodate future connections from adjacent properties to the west.
 - b. Any existing healthy protected tree that is designated as preserved on the final Tree Preservation/Mitigation plan included with the approved Civil Construction Plans and is later required to be removed as a result of construction or other development activities shall be mitigated at a rate of 5:1.
4. **UDC Subsection 2.09.03 Vehicular Parking Regulations** shall apply.
5. **UDC Subsection 2.04.04.C.2 Garage Regulations** shall apply, except as modified below:
- a. Garage doors shall have a minimum setback of 20 feet and shall not extend in front of the home. No more than two (2) single garage doors or one (1) double garage door shall face the primary street on a front elevation. In conjunction with this standard is the minimum primary façade setback requirement of 10’ (minimum) which requires the front porch and/or front façade of the home to define the streetscape rather than the garage.
 - b. Driveway widths shall be a minimum of 11 feet wide and a maximum of 16 feet wide and may widen to a maximum width of 18’ past the inner edge of the sidewalk. If a driveway is less than 16’ in width, the curb shall be designed with a rolled curb.
 - c. Garage doors facing public streets shall be decorative, incorporating hardware and glass inserts. Additionally, sconces shall be provided as an architectural amenity along with the decorative doors.
6. **UDC Subsection 2.09.04 Building Façade Material Standards** shall apply, except as modified below:
- a. Exterior wall materials – Each façade (excluding doors and windows) shall consist only of masonry, stucco construction materials and/or fiber- reinforced cementitious board as presented in Exhibit “H”— Representative Elevations.
 - b. Repetition Home Requirement – There is no Repetition Requirement for the home builder.
 - c. Each building shall include at least four of the following architectural elements.

- i. Metal roof accents
 - ii. Dormers
 - iii. Offsets within each building (a minimum of 5 feet to receive credit)
 - iv. Covered Front Porches (a minimum of 7' depth & seventy (70) square feet in size, including the front door entrance area)
 - v. Stoops (a minimum of 2 feet tall by 4 feet wide)
 - vi. Sconce lighting
 - vii. Decorative banding or molding
 - viii. Awnings or canopies
 - ix. Front porch columns
 - x. Bay windows
 - xi. Shutters
7. **UDC Subsection 2.09.05 Residential Adjacency Standards** shall apply.
 8. **UDC Subsection 2.09.06 Nonresidential Architectural Standards** shall apply.
 9. **UDC Subsection 2.09.07 Lighting and Glare Regulations** shall apply.
 10. **UDC Subsection 3.05.10 Park and Trail Dedication** requires that Park and Trail dedication for Residentially Zoned Property be provided at a rate of 1 acre per/50 DU and/or fees-in-lieu-of or combination shall apply, except as modified below:
 - a. Exhibit "E" – PD Concept Plan shows 2.10 acres of common open space land to be owned and maintained in perpetuity by the Homeowners Association. Of that area, 1.08 acres shall satisfy the requirement of Subsection 3.05.10. Amenities within the common open space lots include site furnishing and associated enhanced landscaping located along sidewalks and trails.
 - i. Pedestrian access easements shall be provided to encompass all common open space lots
 - b. Existing Healthy Protected Trees and any required Mitigation Trees to be replanted within common open space lots shall be preserved in perpetuity and cared for by the Homeowner's Association.
 - c. A six foot (6") meandering trail within the southwestern common open space lot shall be provided that includes defined landscaped pockets to include sitting areas with benches, pedestrian decorative lighting, shade trees (at a rate of one (1) tree per thirty (30) linear feet of trail) and ornamental trees (at a rate of one (1) tree per every two (2) shade trees provided) located at intervals along the trail as generally depicted on Exhibit "F" – Conceptual Landscape Plan. In addition, the landscape pockets shall include a half circle of landscape plantings behind each bench. The wet retention pond within this common open space lot shall include a fountain feature.
 - d. The Developer shall remove the existing 4' sidewalk along Lake Sharon Drive and construct a new 10' wide trail with landscaping between the edge of curb and trail as generally depicted on Exhibit "F" – Conceptual Landscape Plan.

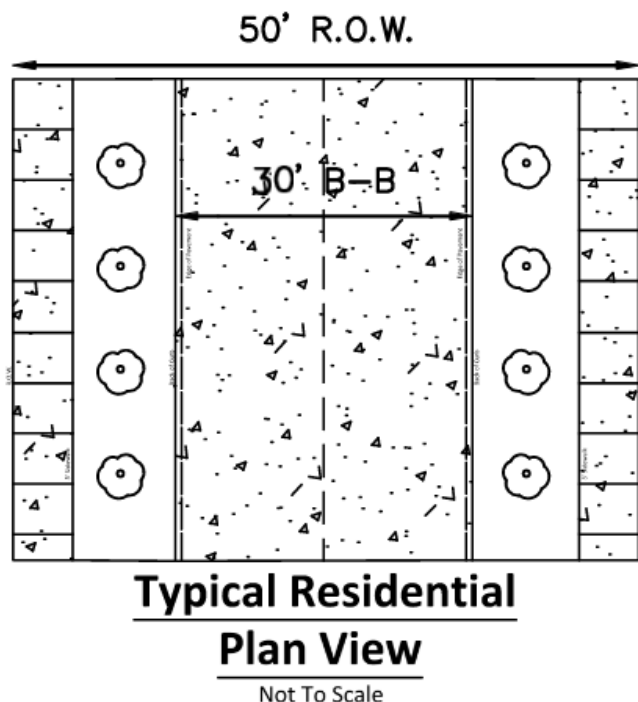
- e. Trails, sidewalks, and amenities located within the common open space (X-lots) shall be maintained and replaced in kind in the event of removal, disrepair, and/or destruction as provided for the restrictive covenants. The details of such ownership and maintenance obligation shall be set forth in the covenants and shall be recorded prior to recording of the Final Plat
- f. Trails shall utilize lighting in strategic locations in line with best practices. Location of lighting to be ultimately determined at the time of full landscape plan submittal.

11. **UDC Subsection 3.05.12 Sidewalks and Subsection 3.05.13 Streets** shall apply except as modified below:

- a. Typical Residential section below and depict permitted street widths and the location of curbs, parkways, street trees, sidewalks, and minimum front yard setbacks



**Typical Residential
Section View**



12. **UDC Subsection 4.01 Sign Regulations** shall apply.
13. **UDC Subsection 4.02 Fence and Screening Regulations** shall apply, except as modified below:
 - a. **UDC Subsection 4.02.11.E – Residential Construction Abuts a Collector or an Arterial Street** shall not apply.
 - b. When a key lot has two (2) front yards and a house is constructed facing one (1) of the two (2) front yards, a fence constructed on the second front yard shall be constructed at the building line. Fences in front of the building line shall not be permitted in either front yard of a key lot.
 - c. Fences installed on lots adjacent to internal open space shall be constructed of tubular metal (wrought iron) and installed by the Developer. Where tubular metal fencing is in place, a wood fence may not be constructed behind or in front of the tubular metal fence.
 - d. The final plat shall reflect a 5' maintenance easement in each residential lot with a masonry fence to permit the maintenance of the screening and fencing. All masonry screening walls shall be owned and maintained by the HOA.

SECTION 3: OTHER DEVELOPMENT CONSIDERATIONS

A. Access Management

1. The developer shall be responsible for the construction of all improvements associated with the extension of Arches Drive.
2. The developer shall be responsible for the construction of a left turn lane and median opening on

Lake Sharon Drive to access the site. Existing shade trees within the median of Lake Sharon Drive required to be removed for the construction of the left turn lane shall be replaced with minimum 3" caliper inch shade trees within the median, with the final locations of these shade trees to be determined by Public Works.

B. Sidewalks

1. Sidewalks shall be installed by the home builder during the construction of each home with the exception of sidewalks and trails noted along and within the Common Open Space Lots and along Lake Sharon Drive which shall be installed by the Developer.

C. Lift Station

1. Opaque evergreen vegetative screening shall be installed by the developer around the perimeter of the lift station enclosure and shown on landscape plans at time of civil construction drawings.

D. Phasing

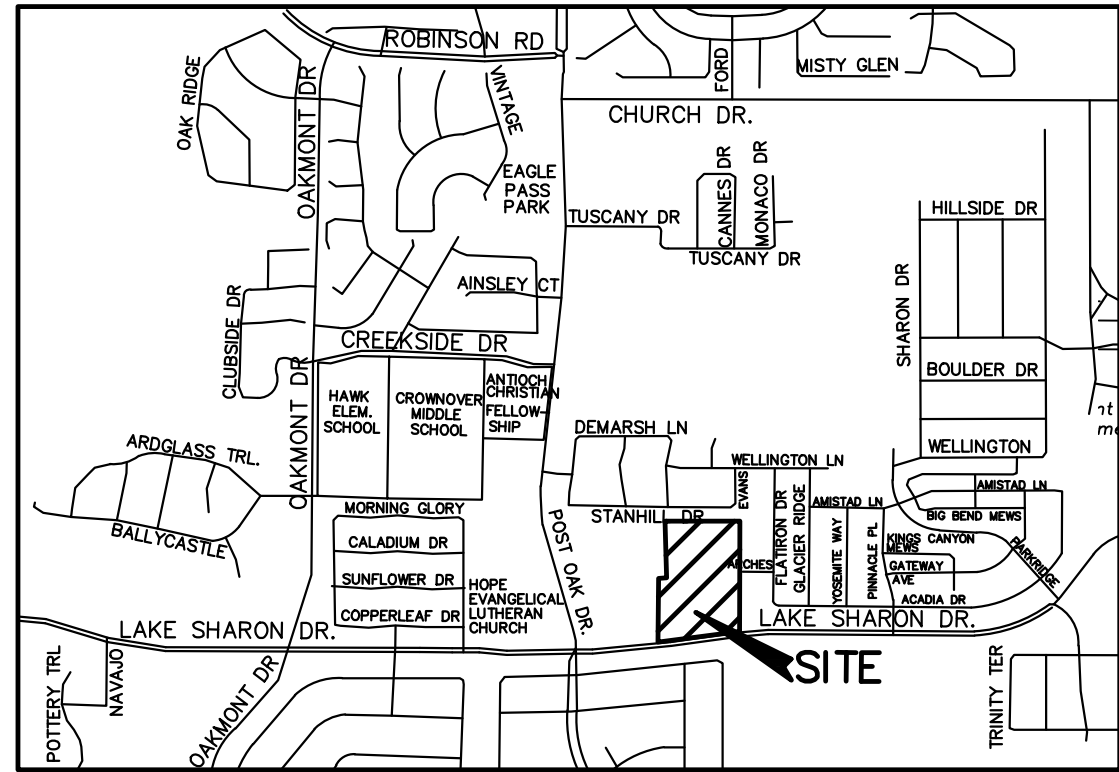
1. The proposed development will be constructed as a single phase.

E. Traffic

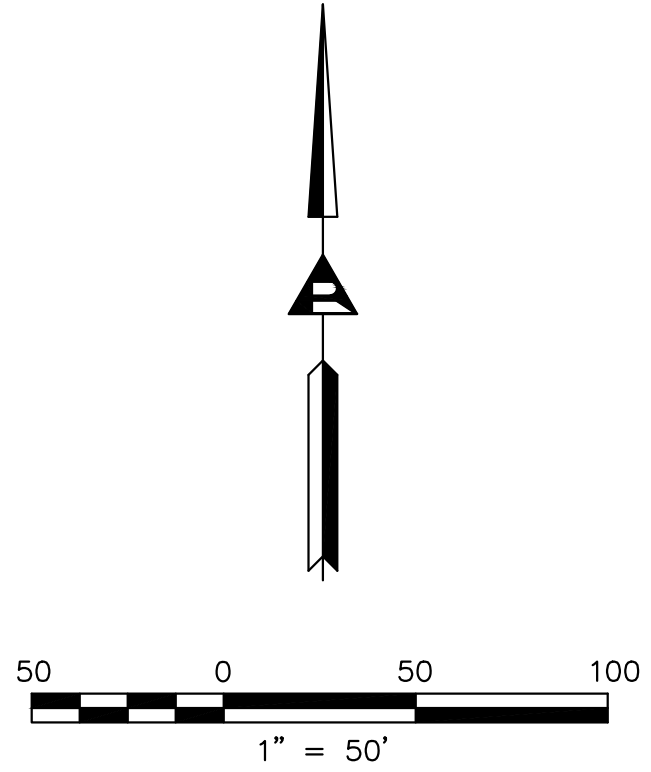
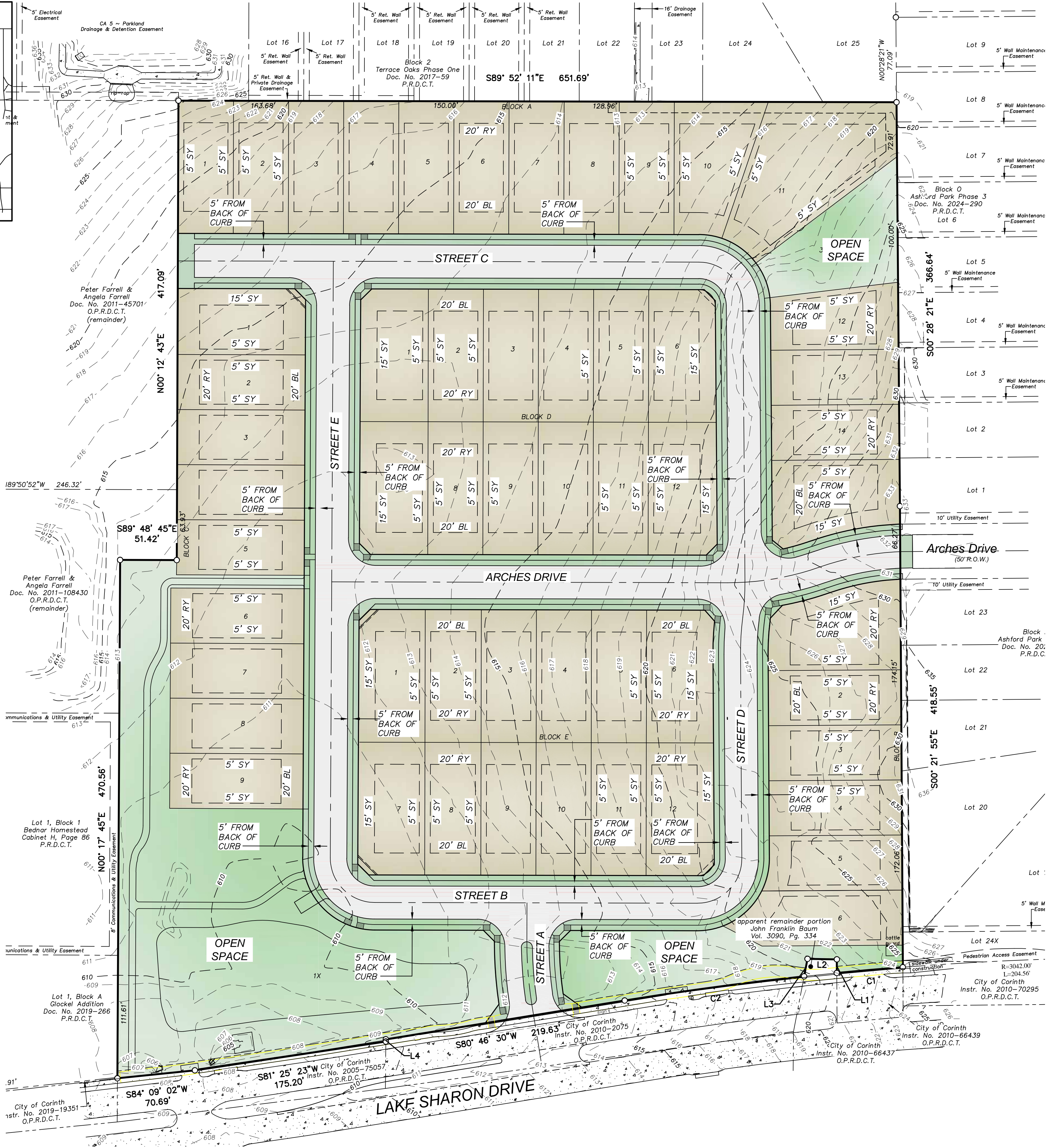
1. A TIA is not required per the Traffic Threshold Worksheet.

F. Utility Infrastructure/Floodplain and Drainage

1. Water and sanitary sewer improvements will be constructed to provide service to all lots within the development in accordance with the City's published criteria. All water and sanitary sewer improvements are intended to be public and will be dedicated to the City upon completion of construction.
2. Franchise Utilities will be installed within a 10' Franchise Utility Easement along the front of all residential lots.
3. Storm drainage improvements will be designed and constructed in accordance with the City's published criteria. All storm improvements are intended to be public and will be dedicated to the City upon completion, excluding retention facilities that will be owned and maintained by the HOA.
4. There are no floodplains or wetlands present on the site.



VICINITY MAP: NOT TO SCALE



SITE DATA SUMMARY	
EXISTING ZONING	SF-2
PROPOSED ZONING	PD (SF-4 BASE)
FUTURE LAND USE	NEIGHBORHOOD
GROSS AREA	13.060 ACRES
INTERNAL ROW	2.908 ACRES
NET AREA	13.060 ACRES
IMPERVIOUS AREA	1.777 ACRES
% IMPERVIOUS	13.61%
DENSITY	4.13 LOTS/AC
OPEN SPACE AREA	2.10 ACRES
% OPEN SPACE	16.08%
LOT SUMMARY	
MIN. 50' X 120'	44
MIN. 50' X 115'	10
TOTAL LOT COUNT	54

LEGEND	
	LOTS
	OPEN SPACE
	PAVEMENT

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	N00°25'20"E	12.33'
L2	N88°59'06"W	26.67'
L3	S10°52'34"W	16.17'
L4	S00°09'32"W	2.04'

CURVE TABLE				
CURVE #	RADIUS	LENGTH	DELTA	CHORD
C1	3042.00'	60.19'	1°08'01"	S84°59'52"W 60.19'
C2	3042.00'	164.32'	3°05'42"	S82°19'21"W 164.30'

Ridger Associates, Inc.

Civil Engineers - Planners

Firm No. 1969
550 S. Edwards Lane, Suite 101
Lewisville, Texas 75067

Tel. No. (972) 353-8000
Fax No. (972) 353-8011

PEARL PLACE SUBDIVISION CORINTH, TEXAS

EXHIBIT E PD CONCEPT PLAN

Scale: 1" = 50'

Designed by: LDR

Drawn by: MAB

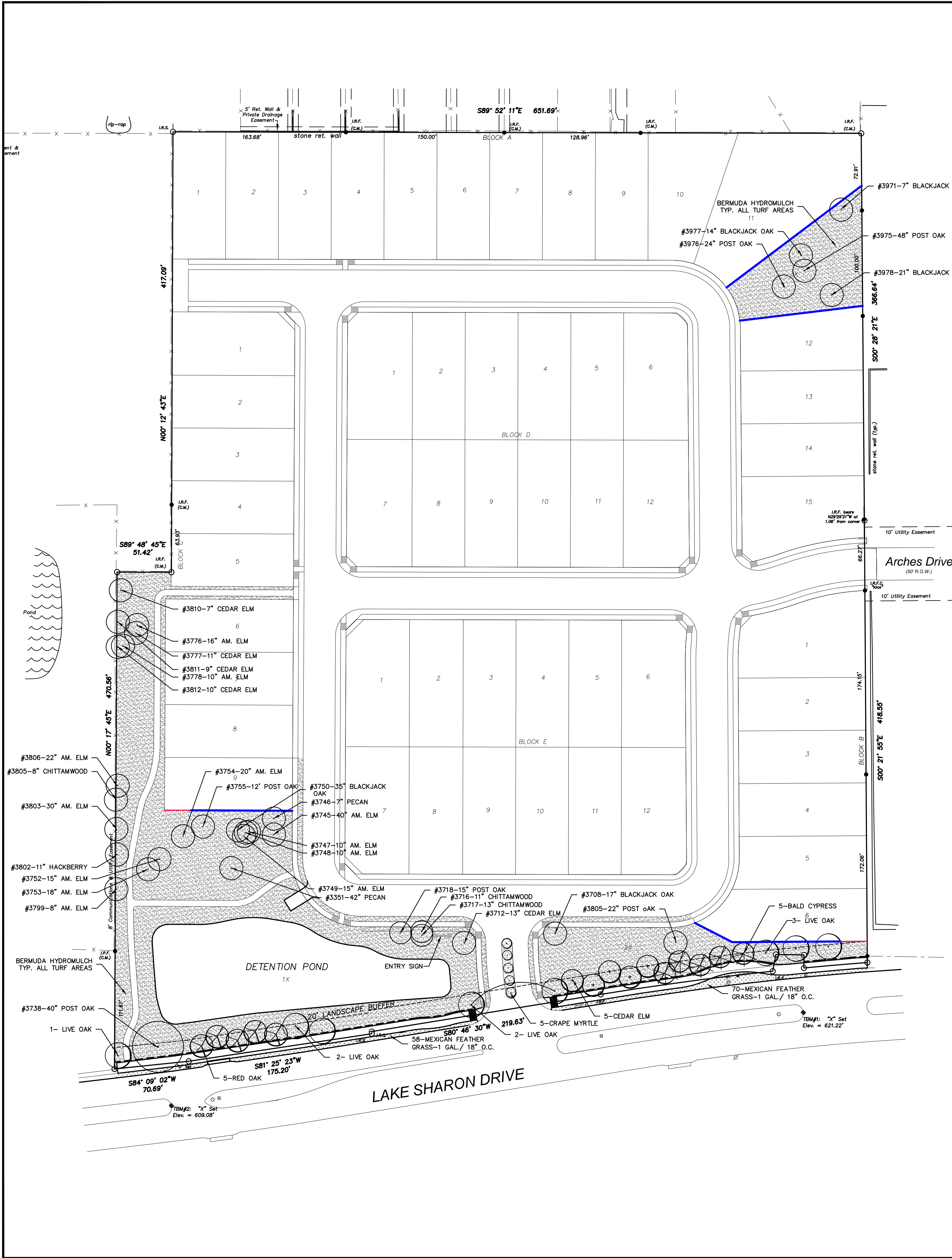
Checked by: JRK

Date: JUNE 17, 2025

Project No. 035-037

SHEET 1 OF 1

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GENERAL LANDSCAPE NOTES

1. All landscape areas are to be received within .1' of proposed finish grade and free from all trash and debris.
2. All trees are to be planted in pits twice the diameter of the tree ball and no deeper than the depth of the ball. Scarify all tree pit sides prior to planting. All trees are to be planted plumb and at or slightly above finish grade. All tree pits are to have a 3" watering saucer formed around the perimeter of the pit. All tree pits are to be top dressed with a 2" layer of shredded hardwood mulch. Stake and / or guy trees only at the direction of the landscape architect.
3. Rotovate the existing soil of all planting beds to a minimum depth of 6". Add a 3" layer of premium compost as supplied by Living Earth Technology and till into the top 3" of the existing soil. Install all shrubs 1" above finish grade and fertilize with Agri-form slow release fertilizer tablets at the manufacturer's recommended rates of application. Top dress all planting beds with a 2" layer of shredded hardwood mulch.
4. All planting beds not formed by a concrete curb or sidewalk are to edged with Steel Edging (1/8"x4" painted green) or an approved equal. All edging stakes are to be placed to the inside of the bed and the top of the edging is to be no less than 1" and no more than 1.5" above proposed finish grade.
5. All turf areas are to be hydromulch Bermudagrass, unless otherwise noted on the plan.
6. Hydromulch with Bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. If installation occurs between September 1 and April 1, all hydromulch areas to be Winter Ryegrass at a rate of four (4) pounds per thousand square feet. Contractor shall be required to re-hydromulch with Bermudagrass the following growing season.
7. All sodded areas are to receive common bermuda sod laid parallel to the contour of the land. All sod on slopes greater than 1:4 is to be pinned with 1"x1"x12" wooden stakes. All sod is to be laid with tight joints and with all joints staggered. Roll all sod with a water balast lawn roller upon installation and fertilize with a complete fertilizer (13-13-13) at the rate of 1.5# actual nitrogen per 1000 square feet. Water all sod thoroughly.

PLANT LIST

- 8- LIVE OAK / Quercus virginiana / 3" cal. / 7' ht. /5' sp. /container grown
- 5- RED OAK / Quercus shumardii / 3" cal. / 7' ht. /5' sp. /container grown
- 5- CEDAR ELM / ulmus crassifolia / 3" cal. / 7' ht. /5' sp. /container grown
- 5- BALD CYPRESS / taxodium distichum / 3" cal. / 7' ht. /5' sp. /container grown
- 5-CRAPE MYRTLE / trachelospermum indica 'Natchez' / 15 Gal. /3 trunks /in bloom
- 128-MEXICAN FEATHER GRASS / Nassalla tenuissima / 1 Gal. / 18" O. C.
- BERMUDAGRASS / Cynodon dactylon / Hydromulch

LANDSCAPE TABULATIONS

PERIMETER LANDSCAPE:

LANDSCAPE EDGE:

LAKE SHARON ROAD MINOR ARTERIAL: 20' LANDSCAPE EDGE REQUIRED
20' Landscape Edge Provided
LAKE SHARON ROAD FRONTAGE: 780 LF LESS 40 LF ACCESS = 680 LF
FRONTAGE TREES: 680/30 = 23 CANOPY TREES REQUIRED / 23 CANOPY TREES BY DEVELOPER PROVIDED.
NATIVE PLANTING (MEXICAN FEATHER GRASS) PROVIDED BETWEEN 10' TRAIL AND LAKE SHARON DRIVE.

FRONT YARD LANDSCAPE REQUIREMENTS:

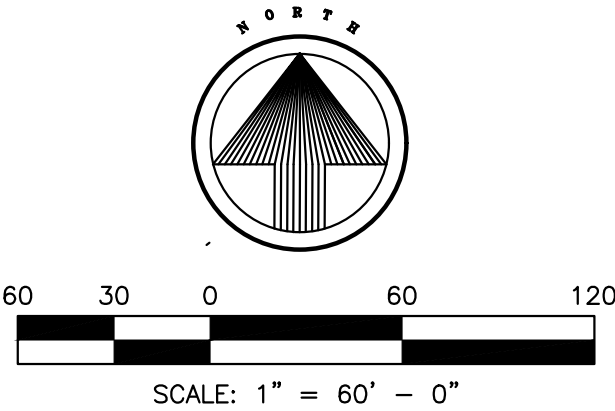
Required front yard shade trees 25' O. C. shall be provided by develper within the
5' Landscape Parkway between the curb and sidewalk within the R.O.W.
Shade trees shall be provided by developer within the 5' Landscape Parkway adjacent to open space areas and the sides of lots facing the R.O.W.
All required site trees to be equipped with tree bubbler irrigation system.

NOTE: ALL REQUIRED TREES IN FRONT YARD, SIDE TARD AND SIDE YARDS FACING THE R.O.W. TO BE INSTALLED BY DEVELOPER UPON COMPLETION OF CONSTRUCTION. INDIVIDUAL RESIDENTIAL LOT TREES REQUIRED BY ORDINANCE TO BE INSTALLED BY BUILDER UPON COMPLETION OF CONSTRUCTION.

8. All irrigation meter(s) are to be by utility contractors as per local codes. Irrigation sleeves to be installed by licensed irrigation contractor as per the plan.
9. All irrigation controllers are to have mini-click freeze and rain stats installed as per manufacturer's recommendations.
10. All irrigation sleeves to be by licensed irrigation contractor. All sleeves to be PVC schedule 40, with 90 degree elbows on both ends with extensions protruding 18" above proposed finish grade.
11. All turf and planting beds to be zoned separately. All planting bed heads to be on 12" pop-up risers. All turf heads to be on 4" pop-up risers. All valves to be plastic valves. All equipment to be Rainbird or approved equal.
12. All mainline and lateral line to have a minimum of 12" of cover and to be SDR (class 200) pipe.
13. Quantities shown on plant list are landscape architect's estimate only and should be verified prior to bidding. Contractor shall be responsible for bidding and providing quantity of plants required at spacing designated for bed sizes and configurations shown on the plans regardless of quantities designated on plant list.

IRRIGATION NOTES:

1. All landscaped areas shall be irrigated with an irrigation system capable of providing the proper amount of water for the particular for the particular type of plant material used. Irrigation will be provided by an underground sprinkler system, or a subterranean drip drip system as approved by the City Arborist.
2. Automatic underground irrigation system shall be equipped with freeze guard set at 38 degrees F.



⊙ DENOTES EXISTING TREE TO BE PRESERVED.

FENCE/WALL LEGEND	
	6' HT. METAL FENCE
	6' HT. MASONRY SCREEN WALL

ST. CLAIR DESIGN GROUP, INC.

Landscape Architecture

P. O. Box 12519
Dallas, Texas 75225
T: 214-454-9934

DESIGN BY: JBS
DRAWN BY: JBS
CHECKED BY: SCOG
DATE: MAY 27, 2025

DATE SEALED 06/02/25

PEARL PLACE
RESIDENTIAL SUBDIVISION
*Being 54 Residential Lots & 2 X-Lots
13.060 acres Situated in the
Wm. Wilson Survey, Abstract No. 1383 &
Brooks Beall Survey, Abstract No. 58
in the
City of Corinth
Denton County, Texas*

Ridinger
Associates, Inc.
Civil Engineers - Planners

Firm No. 1969
550 S. Edwards Lane, Suite 101
Lewisville, Texas 75067

Tel. No. (972) 353-8000
Fax No. (972) 353-8011

No.	Date	Revisions	App.
No. 1	5/27/25	PER CITY COMMENTS	

PEARL PLACE
SUBDIVISION
CORINTH, TEXAS

EXHIBIT F
CONCEPTUAL
LANDSCAPE PLAN


Scale: 1" = 60'-0"

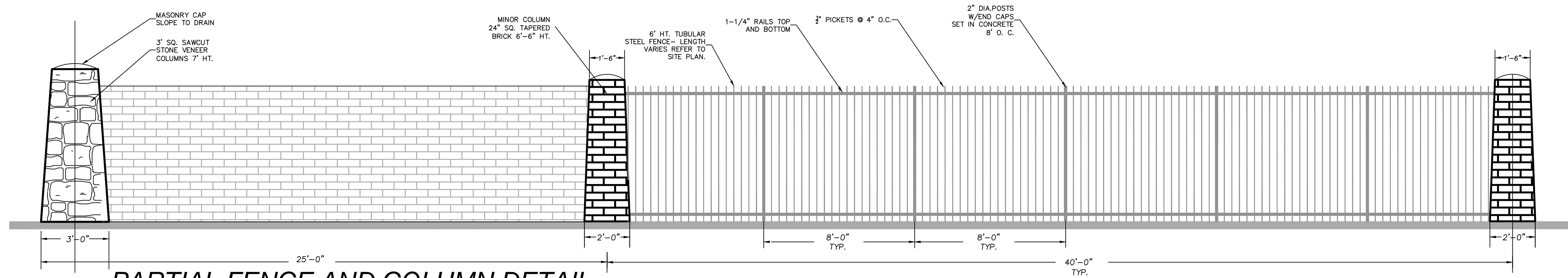
Designed by: JBS
Drawn by: JBS
Checked by: SCOG
Date: MAY 27, 2025
Project No. 035-037

SHEET
LP-1

52

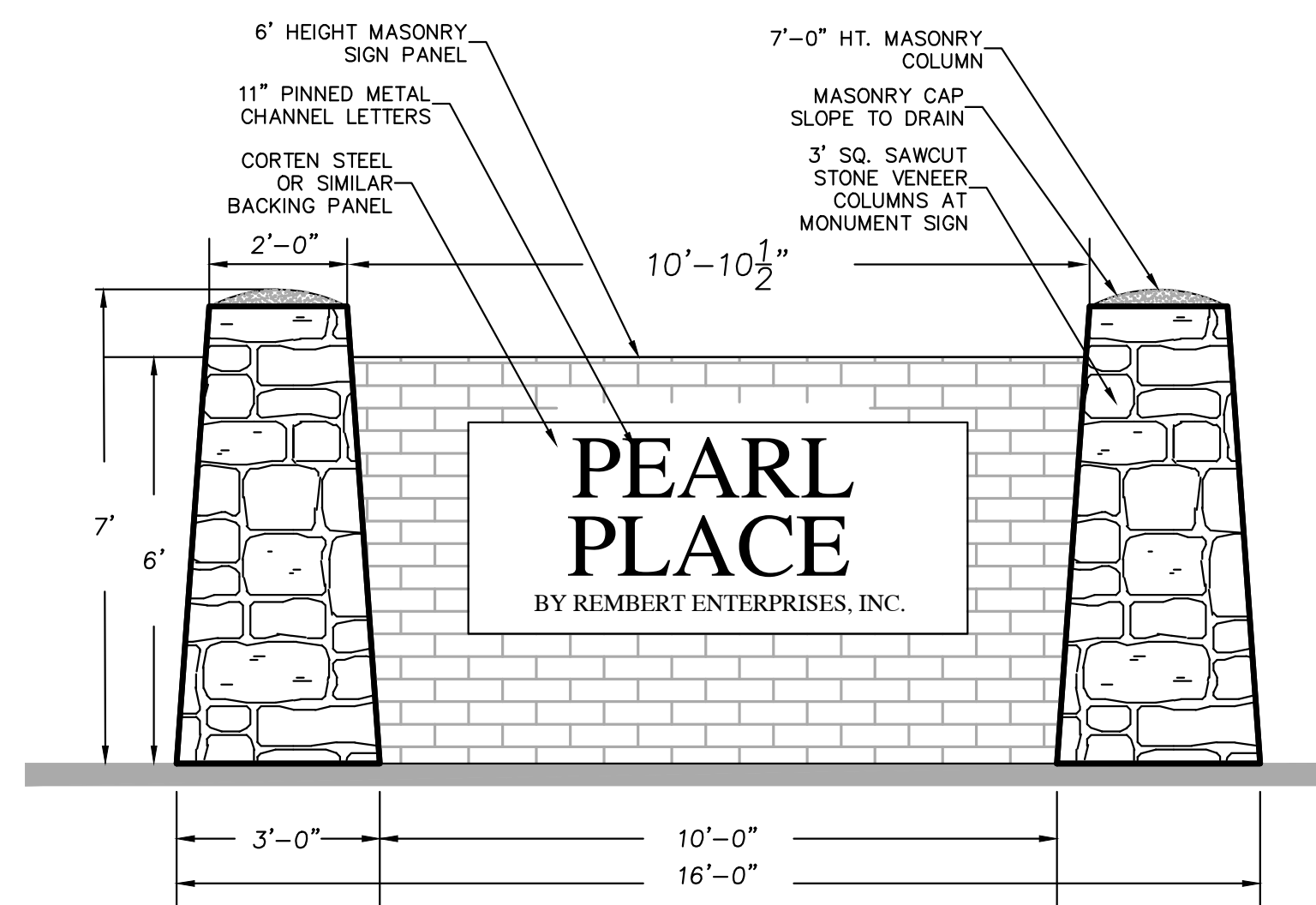
**Ridinger
Associates, Inc.**
Civil Engineers - Planners

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550 S. Edmonds Lane, Suite 101
Lewisville, Texas 75067
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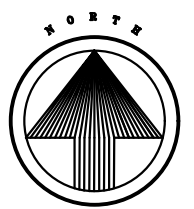
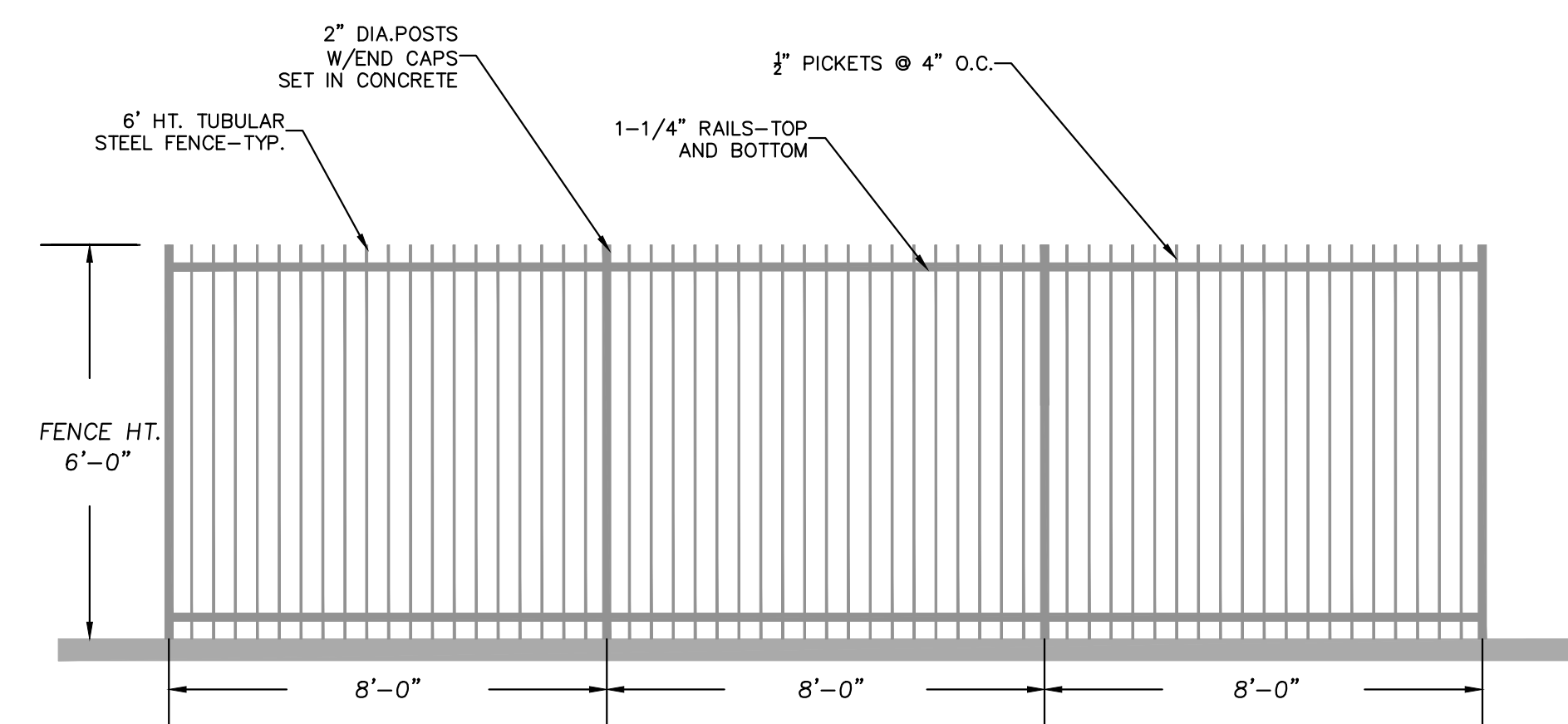
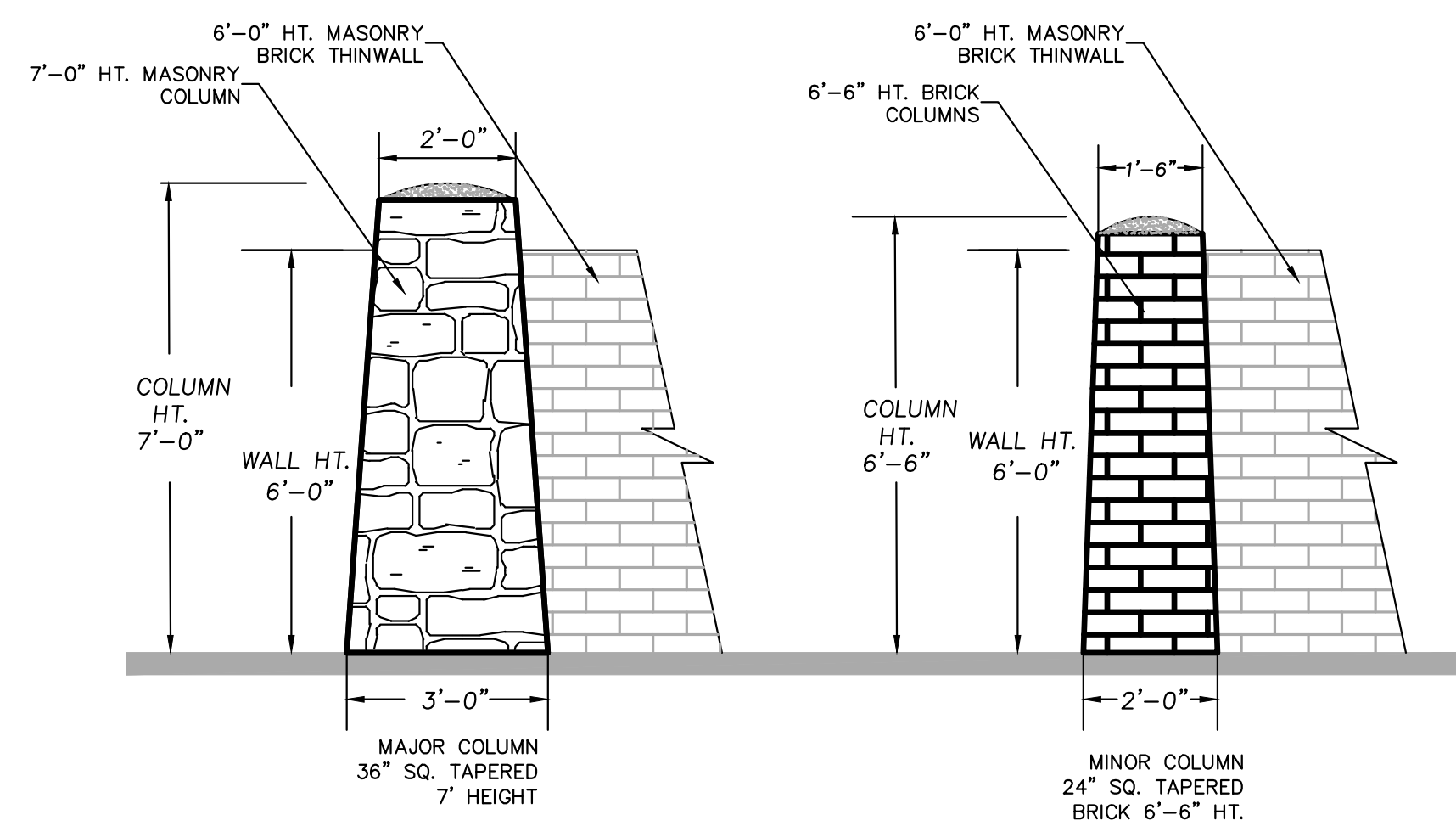
PARTIAL FENCE AND COLUMN DETAIL

NOT TO SCALE



SIGNAGE AND FENCE DETAIL

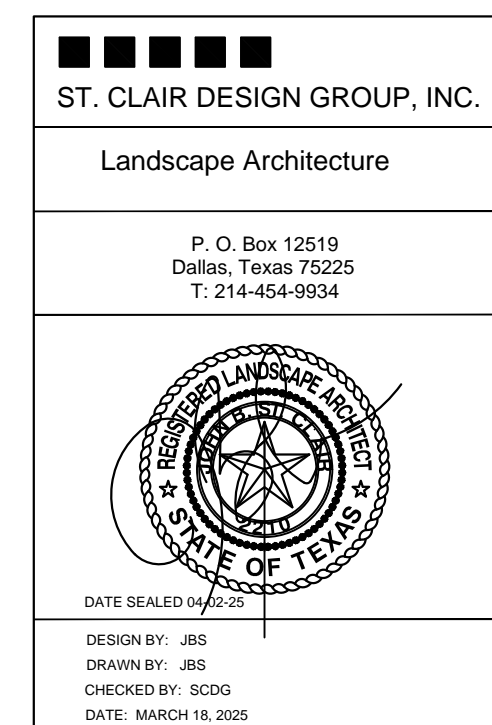
NOT TO SCALE



60 30 0 60 120

SCALE: 1" = 60' - 0"

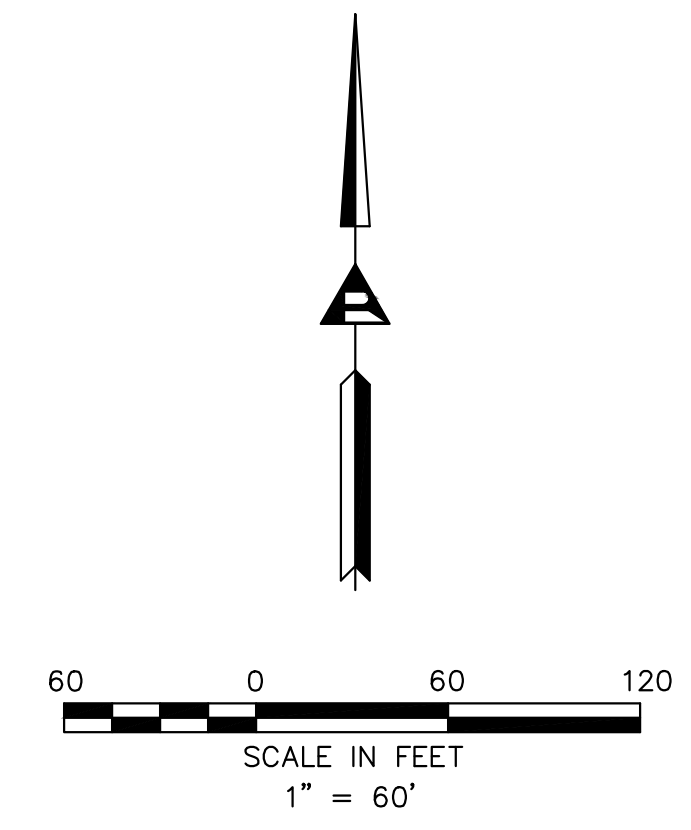
Note: Signage details are for reference only and shall comply with UDC Section 4.01.



LANDSCAPE DETAILS
PEARL PLACE
RESIDENTIAL SUBDIVISION
Being 54 Residential Lots & 2 X-Lots
13.060 acres Situated in the
Wm. Wilson Survey, Abstract No. 1383 &
Brooks Beall Survey, Abstract No. 58
in the
City of Corinth
Denton County, Texas

Scale:
Designed by:
Drawn by:
Checked by:
Date: MARCH 18, 2025
Project No. 035-037

SHEET
P-2



LEGEND






-  PROTECTED TREE TO BE PRESERVED
-  APPROXIMATE CANOPY EXTENT OF PROTECTED TREES TO BE PRESERVED
-  HERITAGE TREE TO BE REMOVED
-  PROTECTED TREE TO BE REMOVED
-  UNPROTECTED TREE TO BE REMOVED

EXHIBIT G
PRELIMINARY TREE
PRESERVATION PLAN
FOR
CORINTH
RESIDENTIAL SUBDIVISION
Being 54 Residential Lots & 3 X-Lots
13.060 acres Situated in the
Wm. Wilson Survey, Abstract No. 1383 &
Brooks Beall Survey, Abstract No. 58
in the
City of Corinth
Denton County, Texas

No.	Date	Revisions	App.

**Ridinger
Associates, Inc.**
Civil Engineers - Planners

Firm No. 1969
550 S. Edmonds Lane, Suite 101
Lewisville, Texas 75067

Tel. No. (972) 353-8000
Fax No. (972) 353-8011

PEARL PLACE
SUBDIVISION
CORINTH, TEXAS

EXHIBIT G
PRELIMINARY TREE
PRESERVATION PLAN

Scale:	1" = 60'
Designed by:	LDR
Drawn by:	JRK
Checked by:	JRK
Date:	JUNE 17, 2025
Project No.	035-037

SHEET
TPP-1

TAG#	SPECIES	DBH	RAD	ONPY/SO/F COND	NOTES	STATUS	PRESERVE/REMOVE	TAG#	SPECIES	DBH	RAD	ONPY/SO/F COND	NOTES	STATUS	PRESERVE/REMOVE	TAG#	SPECIES	DBH	RAD	ONPY/SO/F COND	NOTES	STATUS	PRESERVE/REMOVE	TAG#	SPECIES	DBH	RAD	ONPY/SO/F COND	NOTES	STATUS	PRESERVE/REMOVE
3704	POST OAK QUERCUS STELLATA	24	30	2826 GOOD		PROTECTED	REMOVE	3812	CEADAR ELM ULMUS CRASSIFOLIA	10	10	314 FAIR		PROTECTED	PRESERVE	3822	AMERICAN ELM ULMUS AMERICANA	13	5	78.5 POOR		UNPROTECTED	REMOVE	5236	DEAD	DEAD	DEAD	DEAD	DEAD	DEAD	DEAD
3705	POST OAK QUERCUS STELLATA	22	15	706.5 GOOD		PROTECTED	PRESERVE	3813	AMERICAN ELM ULMUS AMERICANA	30	15	706.5 FAIR		PROTECTED	REMOVE	3823	AMERICAN ELM ULMUS AMERICANA	21	15	706.5 POOR	MULTITRUNK	UNPROTECTED	REMOVE	5237	POST OAK QUERCUS STELLATA	24	20	1256 GOOD		PROTECTED	REMOVE
3706	HACKBERRY CELTIS OCCIDENTALIS	35	20	1256 FAIR		UNPROTECTED	REMOVE	3814	PEAR (BRADFORD) PYRUS CALLERYANA	10	10	314 FAIR		PROTECTED	REMOVE	3824	POST OAK QUERCUS STELLATA	15	10	314 POOR		UNPROTECTED	REMOVE	5238	POST OAK QUERCUS STELLATA	22	30	2826 GOOD		PROTECTED	REMOVE
3707	HACKBERRY CELTIS OCCIDENTALIS	25	15	706.5 FAIR		PROTECTED	REMOVE	3815	HACKBERRY CELTIS OCCIDENTALIS	12	5	78.5 FAIR		UNPROTECTED	REMOVE	3825	EASTERN RED EDAR JUNIPERUS VIRGINIANA	14	10	314 GOOD		PROTECTED	REMOVE	5239	EASTERN RED EDAR JUNIPERUS VIRGINIANA	7	5	78.5 GOOD		PROTECTED	REMOVE
3708	BLACK JACK OAK QUERCUS MARLANDICA	17	15	706.5 FAIR		PROTECTED	PRESERVE	3816	CEADAR ELM ULMUS CRASSIFOLIA	9	5	78.5 FAIR		PROTECTED	REMOVE	3826	POST OAK QUERCUS STELLATA	10	10	314 GOOD		PROTECTED	REMOVE	5240	POST OAK QUERCUS STELLATA	22	20	1256 FAIR		PROTECTED	REMOVE
3709	POST OAK QUERCUS STELLATA	17	15	706.5 GOOD		PROTECTED	REMOVE	3818	HACKBERRY CELTIS OCCIDENTALIS	13	10	314 FAIR		UNPROTECTED	REMOVE	3827	POST OAK QUERCUS STELLATA	10	10	314 GOOD		PROTECTED	REMOVE	5241	BLACK JACK OAK QUERCUS MARLANDICA	7	5	78.5 FAIR		PROTECTED	REMOVE
3710	BLACK JACK OAK QUERCUS MARLANDICA	15	10	314 FAIR		PROTECTED	REMOVE	3819	EASTERN RED EDAR JUNIPERUS VIRGINIANA	13	5	78.5 GOOD		PROTECTED	REMOVE	3828	POST OAK QUERCUS STELLATA	16	10	314 GOOD		PROTECTED	REMOVE	5242	POST OAK QUERCUS STELLATA	10	10	314 FAIR		PROTECTED	REMOVE
3711	POST OAK QUERCUS STELLATA	17	15	706.5 FAIR		PROTECTED	REMOVE	3820	AMERICAN ELM ULMUS AMERICANA	20	10	314 GOOD		PROTECTED	REMOVE	3829	POST OAK QUERCUS STELLATA	10	10	314 GOOD		PROTECTED	REMOVE	5243	DEAD	DEAD	DEAD	DEAD	DEAD	DEAD	DEAD
3712	CEADAR ELM ULMUS CRASSIFOLIA	13	15	706.5 GOOD		PROTECTED	PRESERVE	3821	AMERICAN ELM ULMUS AMERICANA	9	5	78.5 GOOD	MULTITRUNK	PROTECTED	REMOVE	3830	POST OAK QUERCUS STELLATA	22	20	1256 GOOD	MULTITRUNK	PROTECTED	REMOVE	5244	EASTERN RED EDAR JUNIPERUS VIRGINIANA	7	5	78.5 GOOD		PROTECTED	REMOVE
3713	POST OAK QUERCUS STELLATA	18	15	706.5 GOOD		PROTECTED	REMOVE	3822	AMERICAN ELM ULMUS AMERICANA	8	5	78.5 GOOD		PROTECTED	REMOVE	3831	POST OAK QUERCUS STELLATA	22	30	2826 POOR	DECJUNE	UNPROTECTED	REMOVE	5245	BLACK JACK OAK QUERCUS MARLANDICA	18	10	314 GOOD	MULTITRUNK	PROTECTED	REMOVE
3714	POST OAK QUERCUS STELLATA	15	10	314 GOOD		PROTECTED	REMOVE	3823	AMERICAN ELM ULMUS AMERICANA	14	10	314 GOOD		PROTECTED	REMOVE	3832	POST OAK QUERCUS STELLATA	30	30	2826 GOOD	MULTITRUNK	PROTECTED	REMOVE	5246	POST OAK QUERCUS STELLATA	8	5	78.5 FAIR		PROTECTED	REMOVE
3715	HACKBERRY CELTIS OCCIDENTALIS	8	5	78.5 GOOD		UNPROTECTED	REMOVE	3824	EASTERN RED EDAR JUNIPERUS VIRGINIANA	7	5	78.5 GOOD		PROTECTED	REMOVE	3833	POST OAK QUERCUS STELLATA	18	10	314 GOOD	MULTITRUNK	PROTECTED	REMOVE	5247	POST OAK QUERCUS STELLATA	7	10	314 FAIR		PROTECTED	REMOVE
3716	CHITTAMWOOD SIDEROXYLON LANUNGOSUM	11	10	314 GOOD		PROTECTED	PRESERVE	3825	EASTERN RED EDAR JUNIPERUS VIRGINIANA	15	10	314 GOOD		PROTECTED	REMOVE	3834	BLACK JACK OAK QUERCUS MARLANDICA	15	10	314 GOOD		PROTECTED	REMOVE	5248	POST OAK QUERCUS STELLATA	8	10	314 FAIR		PROTECTED	REMOVE
3717	CHITTAMWOOD SIDEROXYLON LANUNGOSUM	13	10	314 FAIR	MULTITRUNK	PROTECTED	REMOVE	3826	AMERICAN ELM ULMUS AMERICANA	10	10	314 GOOD		PROTECTED	REMOVE	3835	POST OAK QUERCUS STELLATA	30	20	1256 FAIR		PROTECTED	REMOVE	5249	POST OAK QUERCUS STELLATA	14	15	706.5 GOOD		PROTECTED	REMOVE
3718	POST OAK QUERCUS STELLATA	15	10	314 GOOD		PROTECTED	REMOVE	3827	AMERICAN ELM ULMUS AMERICANA	9	10	314 GOOD		PROTECTED	REMOVE	3836	POST OAK QUERCUS STELLATA	24	20	1256 GOOD		PROTECTED	REMOVE	5250	POST OAK QUERCUS STELLATA	7	15	706.5 GOOD		PROTECTED	REMOVE
3719	HACKBERRY CELTIS OCCIDENTALIS	20	15	706.5 GOOD	MULTITRUNK	UNPROTECTED	REMOVE	3828	EASTERN RED EDAR JUNIPERUS VIRGINIANA	17	5	78.5 GOOD		PROTECTED	REMOVE	3837	POST OAK QUERCUS STELLATA	21	20	1256 GOOD		PROTECTED	REMOVE	5251	POST OAK QUERCUS STELLATA	30	30	2826 GOOD		PROTECTED	REMOVE
3720	HACKBERRY CELTIS OCCIDENTALIS	14	10	314 GOOD		UNPROTECTED	REMOVE	3829	EASTERN RED EDAR JUNIPERUS VIRGINIANA	19	10	314 GOOD		PROTECTED	REMOVE	3838	POST OAK QUERCUS STELLATA	22	30	2826 GOOD		PROTECTED	REMOVE	5252	EASTERN RED EDAR JUNIPERUS VIRGINIANA	6	5	78.5 GOOD		PROTECTED	REMOVE
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3722	CEADAR ELM ULMUS CRASSIFOLIA	8	10	314 GOOD		PROTECTED	REMOVE	3831	EASTERN RED EDAR JUNIPERUS VIRGINIANA	14	5	78.5 GOOD		PROTECTED	REMOVE	3840	POST OAK QUERCUS STELLATA	17	20	1256 GOOD		PROTECTED	REMOVE	5254	POST OAK QUERCUS STELLATA	14	10	314 GOOD		PROTECTED	REMOVE
3723	POST OAK QUERCUS STELLATA	24	20	1256 GOOD		PROTECTED	REMOVE	3832	EASTERN RED EDAR JUNIPERUS VIRGINIANA	17	10	314 GOOD		PROTECTED	REMOVE	3841	POST OAK QUERCUS STELLATA	40	25	1962.5 GOOD	MULTITRUNK	HERITAGE	REMOVE	5301	POST OAK QUERCUS STELLATA	22	20	1256 GOOD		PROTECTED	REMOVE
3724	POST OAK QUERCUS STELLATA	28	20	1256 GOOD		PROTECTED	REMOVE	3833	EASTERN RED EDAR JUNIPERUS VIRGINIANA	14	5	78.5 GOOD		PROTECTED	REMOVE	3842	BLACK JACK OAK QUERCUS MARLANDICA	18	15	706.5 GOOD	MULTITRUNK	PROTECTED	REMOVE	5302	POST OAK QUERCUS STELLATA	20	20	1256 GOOD		PROTECTED	REMOVE
3725	BOISD'ARC MAQUILA POMIFERA	26	20	1256 FAIR		UNPROTECTED	REMOVE	3834	EASTERN RED EDAR JUNIPERUS VIRGINIANA	12	5	78.5 GOOD		PROTECTED	REMOVE	3843	BLACK JACK OAK QUERCUS MARLANDICA	12	10	314 GOOD		PROTECTED	REMOVE	5303	POST OAK QUERCUS STELLATA	26	20	1256 GOOD	MULTITRUNK	PROTECTED	REMOVE
3726	POST OAK QUERCUS STELLATA	10	10	314 FAIR		PROTECTED	REMOVE	3835	EASTERN RED EDAR JUNIPERUS VIRGINIANA	14	5	78.5 GOOD		PROTECTED	REMOVE	3844	EASTERN RED EDAR JUNIPERUS VIRGINIANA	20	10	314 GOOD		PROTECTED	REMOVE	5304	DEAD	DEAD	DEAD	DEAD	DEAD	DEAD	DEAD
3727	POST OAK QUERCUS STELLATA	12	15	706.5 FAIR		PROTECTED	REMOVE	3836	EASTERN RED EDAR JUNIPERUS VIRGINIANA	14	5	78.5 GOOD		PROTECTED	REMOVE	3845	RED OAK QUERCUS STELLATA	28	10	314 GOOD		PROTECTED	REMOVE	5305	POST OAK QUERCUS STELLATA	20	20	1256 GOOD		PROTECTED	REMOVE
3728	CEADAR ELM ULMUS CRASSIFOLIA	30	20	1256 GOOD	MULTITRUNK	PROTECTED	REMOVE	3837	EASTERN RED EDAR JUNIPERUS VIRGINIANA	12	5	78.5 FAIR		PROTECTED	REMOVE	3846	POST OAK QUERCUS STELLATA	24	10	314 GOOD	MULTITRUNK	PROTECTED	REMOVE	5306	CEADAR ELM ULMUS CRASSIFOLIA	8	15	706.5 GOOD		PROTECTED	REMOVE
3729	POST OAK QUERCUS STELLATA	10	15	706.5 GOOD		PROTECTED	REMOVE	3838	EASTERN RED EDAR JUNIPERUS VIRGINIANA	15	10	314 FAIR		PROTECTED	REMOVE	3847	POST OAK QUERCUS STELLATA	22	10	314 GOOD		PROTECTED	REMOVE	5307	POST OAK QUERCUS STELLATA	33	30	2826 GOOD	MULTITRUNK	PROTECTED	REMOVE
3730	POST OAK QUERCUS STELLATA	15	15	706.5 GOOD		PROTECTED	REMOVE	3839	AMERICAN ELM ULMUS AMERICANA	24	15	706.5 GOOD		PROTECTED	REMOVE	3848	EASTERN RED EDAR JUNIPERUS VIRGINIANA	7	10	314 GOOD		PROTECTED	REMOVE	5308	POST OAK QUERCUS STELLATA	24	20	1256 GOOD		PROTECTED	REMOVE
3731	POST OAK QUERCUS STELLATA	15	15	706.5 GOOD		PROTECTED	REMOVE	3840	HACKBERRY CELTIS OCCIDENTALIS	7	5	78.5 POOR		UNPROTECTED	REMOVE	3849	POST OAK QUERCUS STELLATA	14	15	706.5 GOOD	MULTITRUNK	PROTECTED	REMOVE	5309	POST OAK QUERCUS STELLATA	8	15	706.5 FAIR		PROTECTED	REMOVE
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3733	POST OAK QUERCUS STELLATA	20	15	706.5 GOOD		PROTECTED	REMOVE	3842	AMERICAN ELM ULMUS AMERICANA	24	10	314 GOOD		PROTECTED	REMOVE	3851	AMERICAN ELM ULMUS AMERICANA	8	10	314 POOR		UNPROTECTED	REMOVE	5311	POST OAK QUERCUS STELLATA	24	20	1256 POOR	DECJUNE	UNPROTECTED	REMOVE
3734	POST OAK QUERCUS STELLATA	16	20	1256 GOOD		PROTECTED	REMOVE	3843	BLACK JACK OAK QUERCUS MARLANDICA	28	15	706.5 GOOD	MULTITRUNK	PROTECTED	REMOVE	3852	POST OAK QUERCUS STELLATA	11	10	314 GOOD		PROTECTED	REMOVE	5312	POST OAK QUERCUS STELLATA	21	20	1256 GOOD	MULTITRUNK	PROTECTED	REMOVE
3735	AMERICAN ELM ULMUS AMERICANA	16	25	1962.5 GOOD		PROTECTED	REMOVE	3844	BLACK JACK OAK QUERCUS MARLANDICA	8	5	78.5 GOOD		PROTECTED	REMOVE	3853	HACKBERRY CELTIS OCCIDENTALIS	10	10	314 GOOD		UNPROTECTED	REMOVE	5313	HACKBERRY CELTIS OCCIDENTALIS	8	10	314 GOOD		UNPROTECTED	REMOVE
3736	POST OAK QUERCUS STELLATA	14	20	1256 GOOD		PROTECTED	REMOVE	3845	BLACK JACK OAK QUERCUS MARLANDICA	8	5	78.5 GOOD		PROTECTED	REMOVE	3854	HACKBERRY CELTIS OCCIDENTALIS	10	10	314 GOOD		UNPROTECTED	REMOVE	5314	POST OAK QUERCUS STELLATA	7	10	314 GOOD		PROTECTED	REMOVE
3737	POST OAK QUERCUS STELLATA	40	10	314 GOOD		PROTECTED	REMOVE	3846	BLACK JACK OAK QUERCUS MARLANDICA	12	10	314 GOOD		PROTECTED	REMOVE	3855	HACKBERRY CELTIS OCCIDENTALIS	9	10	314 GOOD		UNPROTECTED	REMOVE	5315	CEADAR ELM ULMUS CRASSIFOLIA	12	10	314 GOOD	MULTITRUNK	PROTECTED	REMOVE
3738	POST OAK QUERCUS STELLATA	43	25	1962.5 GOOD	HERITAGE	PRESERVE	REMOVE	3847	BLACK JACK OAK QUERCUS MARLANDICA	12	10	314 GOOD		PROTECTED	REMOVE	3856	POST OAK QUERCUS STELLATA	7	10	314 GOOD		PROTECTED	REMOVE	5316	POST OAK QUERCUS STELLATA	20	20	1256 GOOD		PROTECTED	REMOVE
3739	AMERICAN ELM ULMUS AMERICANA	14	15	706.5 GOOD		PROTECTED	REMOVE	3848	BLACK JACK OAK QUERCUS MARLANDICA	9	10	314 GOOD		PROTECTED	REMOVE	3857	BLACK JACK OAK QUERCUS MARLANDICA	6	5	78.5 GOOD		PROTECTED	REMOVE	5317	CEADAR ELM ULMUS CRASSIFOLIA	9	30	2826 POOR	LEANING	UNPROTECTED	REMOVE
3740	HACKBERRY CELTIS OCCIDENTALIS	12	20	1256 GOOD		UNPROTECTED	REMOVE	3849	BLACK JACK OAK QUERCUS MARLANDICA	9	10	314 GOOD		PROTECTED	REMOVE	3858	POST OAK QUERCUS STELLATA	15	10	314 GOOD		PROTECTED	PRESERVE	5318	CEADAR ELM ULMUS CRASSIFOLIA	9	6	113.04 GOOD		PROTECTED	REMOVE
3741	HACKBERRY CELTIS OCCIDENTALIS	15	15	706.5 GOOD		UNPROTECTED	REMOVE	3850	BLACK JACK OAK QUERCUS MARLANDICA	12	5	78.5 GOOD		PROTECTED	REMOVE	3859	BLACK JACK OAK QUERCUS MARLANDICA	21	10	314 GOOD	MULTITRUNK	PROTECTED	PRESERVE								
3742	HACKBERRY CELTIS OCCIDENTALIS	12	15	706.5 POOR		UNPROTECTED	REMOVE	3851	EASTERN RED EDAR JUNIPERUS VIRGINIANA	12	5	78.5 GOOD		PROTECTED	REMOVE	3860	POST OAK QUERCUS STELLATA	19	15	706.5 GOOD	MULTITRUNK	PROTECTED	PRESERVE								
3743	HACKBERRY CELTIS OCCIDENTALIS	14	15	706.5 GOOD	MULTITRUNK	UNPROTECTED	REMOVE	3852	EASTERN RED EDAR JUNIPERUS VIRGINIANA	14	10	314 GOOD		PROTECTED	REMOVE	3861	POST OAK QUERCUS STELLATA	15	15	706.5 GOOD		PROTECTED	PRESERVE								
3744	AMERICAN ELM ULMUS AMERICANA	24	15	706.5 GOOD	MULTITRUNK	PROTECTED	REMOVE	3853	EASTERN RED EDAR JUNIPERUS VIRGINIANA	18	10	314 GOOD		PROTECTED	REMOVE	3862	POST OAK QUERCUS STELLATA	12	10	314 GOOD		PROTECTED	PRESERVE								
3745	AMERICAN ELM ULMUS AMERICANA	40	20	1256 GOOD	HERITAGE	PRESERVE	REMOVE	3854	EASTERN RED EDAR JUNIPERUS VIRGINIANA	16	10	314 POOR		PROTECTED	REMOVE	3863	BLACK JACK OAK QUERCUS MARLANDICA	7	5	78.5 GOOD		PROTECTED	PRESERVE								
3746	PECAN CARAYALLINOINENINIS	7	10	314 GOOD		PROTECTED	PRESERVE	3855	EASTERN RED EDAR JUNIPERUS VIRGINIANA	12	5	78.5 GOOD		PROTECTED	REMOVE	3864	PECAN CARAYALLINOINENINIS	15	10	314 GOOD		PROTECTED	PRESERVE								
3747	AMERICAN ELM ULMUS AMERICANA	10	10	314 GOOD		PROTECTED	PRESERVE	3856	HACKBERRY CELTIS OCCIDENTALIS	12	10	314 GOOD		UNPROTECTED	REMOVE	3865	PECAN CARAYALLINOINENINIS	11	10	314 GOOD		PROTECTED	PRESERVE								
3748	AMERICAN ELM ULMUS AMERICANA	10	10	314 GOOD		PROTECTED	PRESERVE	3857	HACKBERRY CELTIS OCCIDENTALIS	15	10	314 GOOD		UNPROTECTED	REMOVE	3866	PECAN CARAYALLINOINENINIS	35	20	1256 GOOD		PROTECTED	REMOVE								
3749	AMERICAN ELM ULMUS AMERICANA	15	10	314 GOOD	MULTITRUNK	PROTECTED	PRESERVE	3858	OTTONWOOD POPULUS DELTOIDES	8	5	78.5 GOOD		UNPROTECTED	REMOVE	3867	PECAN CARAYALLINOINENINIS	14	10	314 POOR		UNPROTECTED	REMOVE								
3750	BLACK JACK OAK QUERCUS MARLANDICA	35	20	1256 GOOD		PROTECTED	PRESERVE	3859	OTTONWOOD POPULUS DELTOIDES	7	5	78.5 GOOD		UNPROTECTED	REMOVE	3868															

EXHIBIT H - REPRESENTATIVE ELEVATIONS



EXHIBIT H - REPRESENTATIVE ELEVATIONS



EXHIBIT H - REPRESENTATIVE ELEVATIONS



EXHIBIT H - REPRESENTATIVE ELEVATIONS



EXHIBIT H - REPRESENTATIVE ELEVATIONS



EXHIBIT H - REPRESENTATIVE ELEVATIONS

Section E, Item 4.





EXHIBIT H - REPRESENTATIVE ELEVATIONS



Proposed Zoning Change

Pearl's Place PD (ZAPD25-0003)

-  Area to be Rezoned
-  Properties within 200 ft of area to be rezoned from SF-2 Single Family to a Planned Development (PD) with a base zoning district of SF-4 Single Family.

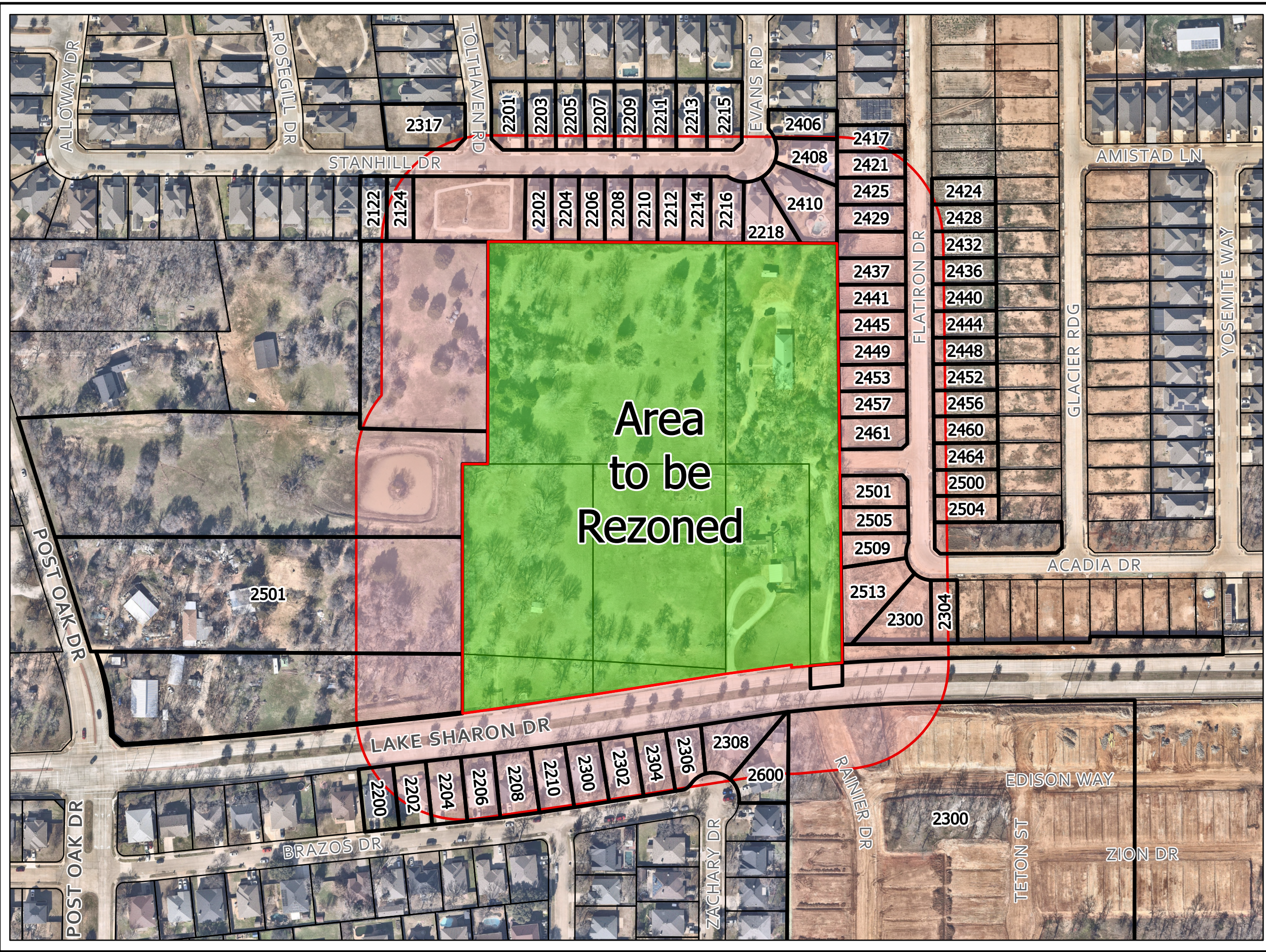


0 85 170
Feet

1 inch equals 170 feet



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Planning and Zoning Commission Meeting
Date: **MONDAY, August 25, 2025 at 6:30 P.M. (DATE CHANGE)**

City Council Regular Meeting
Date: **THURSDAY, September 4, 2025 at 6:30 P.M. (DATE CHANGE)***

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208. The meetings will be broadcast live at <https://www.cityofcorinth.com/remotesession>.

PUBLIC HEARING NOTICE

Dear Property Owner:

On Monday, July 28, 2025 the Corinth Planning & Zoning Commission held a Public Hearing and tabled the item listed below to a future meeting. On Monday, August 25, 2025, at 6:30 PM, the City of Corinth Planning & Zoning Commission will conduct a public meeting on the item listed below. Should the Planning & Zoning Commission make a recommendation, the Corinth City Council will conduct a public hearing on Thursday, September 4, 2025, at 6:30 PM and consider acting on the item listed below. The meetings will be held at the Corinth City Hall, 3300 Corinth Pkwy, Corinth, Texas 76208.

- A request by the Applicant, Ridinger Associates Inc., to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential (Detached) to a Planned Development with a base zoning district of SF-4 Single Family Residential (Detached) for the development of ±54 lots on approximately ±13.1 acres generally located at 2215 and 2217 Lake Sharon Drive.

*The September 4, 2025, City Council Public Hearing will only be held should the Planning & Zoning Commission make a recommendation on August 25, 2025. Additional information regarding this request can be found on the Upcoming Public Hearings page of the City of Corinth website at: <https://www.cityofcorinth.com/planning-development/page/upcoming-public-hearings>

As a property owner within two hundred (200) feet of the area to be rezoned, you are invited to attend this meeting in-person and voice your opinion at the public hearing (please note you are not required to attend).

Additionally, your opinion regarding the request described above may be expressed by notation on this form or by letter. You may support or oppose this request; your opposition will be considered a protest. Signed written comments must be received by the City of Corinth Planning and Development Department at 3300 Corinth Parkway, Corinth, Texas 76208 (3 days prior to public hearing). Signed comments may be scanned and sent by email to Melissa Dailey, Director of Community and Economic Development, at planning@cityofcorinth.com. Additionally, if you have any questions regarding this request, you may call 940-498-3262 for assistance.

I am writing in (Check as applicable) Support: ☐ Opposition: ☒ of the proposal.

I oppose of changing the zone to SF-4.
There is already a planned development on the south side of Lake Sharon Dr being built. Table this a few years and come back to it when that development is complete.

Name/Address/City: (REQUIRED)

Chase Therrien
2429 Flatiron Dr, Corinth, Tx 76210
(Please Print)

Signature: (REQUIRED)

(Signature)



Planning and Zoning Commission Meeting
Date: **MONDAY, July 28, 2025 at 6:30 P.M.**

City Council Regular Meeting
Date: **THURSDAY, August 21, 2025 at 6:30 P.M. * (see below for additional information)**

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208. The meetings will be broadcast live at <https://www.cityofcorinth.com/remotesession>.

PUBLIC HEARING NOTICE

Dear Property Owner:

On Monday, July 28, 2025, at 6:30 PM, the City of Corinth Planning & Zoning Commission will conduct a public hearing on the item listed below. Should the Planning & Zoning Commission make a recommendation, the Corinth City Council will conduct a public hearing on Thursday, August 21, 2025, at 6:30 PM and consider acting on the item listed below. The meetings will be held at the Corinth City Hall, 3300 Corinth Pkwy, Corinth, Texas 76208.

- A request by the Applicant, Ridinger Associates Inc., to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family Residential (Detached) to a Planned Development with a base zoning district of SF-4 Single Family Residential (Detached) for the development of ± 54 lots on approximately ± 13.1 acres generally located at 2215 and 2217 Lake Sharon Drive.

*The August 21, 2025, City Council Public Hearing will only be held should the Planning & Zoning Commission make a recommendation on July 28, 2025. Additional information regarding this request can be found on the Upcoming Public Hearings page of the City of Corinth website at: <https://www.cityofcorinth.com/planning-development/page/upcoming-public-hearings>

As a property owner within two hundred (200) feet of the area to be rezoned, you are invited to attend this meeting in-person and voice your opinion at the public hearing (please note you are not required to attend).

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I am writing in (Check as applicable) Support: ☒ Opposition: ☒ of the proposal.

I oppose the SF-4 Single Family zoning.

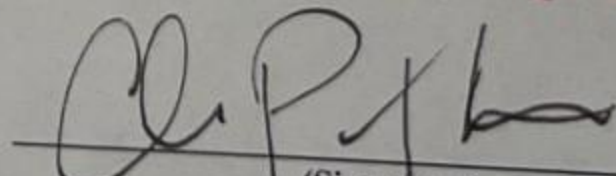
Name/Address/City: **(REQUIRED)**

Chase Therrien

2429 FlatIron Dr, Corinth, Tx 76210

(Please Print)

Signature: **(REQUIRED)**


(Signature)



Planning and Zoning Commission Meeting
Date: **MONDAY, July 28, 2025 at 6:30 P.M.**

City Council Regular Meeting
Date: **THURSDAY, August 21, 2025 at 6:30 P.M.** * (see below for additional information)

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208. The meetings will be broadcast live at <https://www.cityofcorinth.com/remotesession>.

PUBLIC HEARING NOTICE

Dear Property Owner:

On Monday, July 28, 2025, at 6:30 PM, the City of Corinth Planning & Zoning Commission will conduct a public hearing on the item listed below. Should the Planning & Zoning Commission make a recommendation, the Corinth City Council will conduct a public hearing on Thursday, August 21, 2025, at 6:30 PM and consider acting on the item listed below. The meetings will be held at the Corinth City Hall, 3300 Corinth Pkwy, Corinth, Texas 76208.

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As a property owner within two hundred (200) feet of the area to be rezoned, you are invited to attend this meeting in-person and voice your opinion at the public hearing (please note you are not required to attend).

Additionally, your opinion regarding the request described above may be expressed by notation on this form or by letter. You may support or oppose this request; your opposition will be considered a protest. Signed written comments must be received by the City of Corinth Planning and Development Department at 3300 Corinth Parkway, Corinth, Texas 76208 (**3 days prior to public hearing**). Signed comments may be scanned and sent by email to Melissa Dailey, Director of Community and Economic Development, at planning@cityofcorinth.com. Additionally, if you have any questions regarding this request, you may call 940-498-3262 for assistance.

I am writing in (Check as applicable) Support: ☐ Opposition: ☒ of the proposal.

Both my husband, Paul Michelson and myself, Tammy Michelson, strongly oppose having homes built behind us. We were told when we bought our house that builders do not build on less than 20 acres of land and this lot is nowhere near 20 acres.

Name/Address/City: **(REQUIRED)**

Signature: **(REQUIRED)**

Tammy Michelson

(Please Print)

Paul Michelson

2445 Flatiron Dr.

(Signature)



CITY OF CORINTH
Staff Report

Meeting Date:	8/25/2025	Title:	CoServ Private Car Wash and Fueling Station Specific Use Permit (SUP25-0002)
Strategic Goals:	<input type="checkbox"/> Resident Engagement <input type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input type="checkbox"/> Attracting Quality Development		

Item/Caption

Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a request for a specific use permit by the Applicant, McAdams, to allow for a Private Car Wash and Fueling Station on approximately ±16.3 acres located at 7701 S Stemmons Freeway.



Aerial Location Map

Item Summary/Background

The subject site, which has a zoning of Industrial, is the current location of the CoServ training yard where technicians train to work on overhead lines and equipment. In conjunction with several other proposed improvements to the CoServ Campus, the training yard is being relocated to the adjacent parcel to the northeast and a new private car wash and fueling station are proposed to be constructed on the subject site.

The Applicant is requesting that a specific use permit be granted for the Private Car Wash and Feuling Station. A fueling station with a car wash is permitted within the Industrial district by a Specific Use Permit if the use complies with the following conditional development standards listed in UDC Subsection 2.07.04.A.10.

- a. Allowed by Specific Use Permit.
- b. Gasoline pumps, pump islands, canopies, or car washes, where adjacent to property zoned as single family residential uses shall maintain a minimum setback of at least one hundred twenty-five feet (125').
- c. The hours of any car wash operation may be limited when located adjacent to property zoned for single family residential uses.
- d. No exterior illumination (either direct or indirect) shall cross a residential property line nor be a nuisance to traffic.
- e. No outside/outdoor vending machines, such as soda, video rental, or newspaper vending machines, are permitted.
- f. Gasoline pump islands shall not be located nearer than eighteen (18) feet to the street right-of-way or to any adjacent property line.
- g. Underground fuel tanks shall not be located under designated fire lanes.
- h. A fuel truck maneuvering schematic shall be submitted for City review and approval with the Site Plan prior to issuance of a building permit.
- i. All filling or service station, and car wash canopies shall be designed and built with a sloped, mansard roof or similar style. Filling or service station and car wash canopies with flat roofs shall not be permitted. The columns supporting such canopies shall be encased with brick, stone, or other similar material that matches the primary building.
- j. Vent stacks and pipes shall be placed so they are not visible from any adjacent street. Screening may be achieved with adequate landscaping, subject to City approval.

Compliance with the Comprehensive Plan

The request for a specific use permit for a Private Car Wash and Feuling Station for the CoServ Campus is in accordance with the Land Use & Development Strategy designation of Office/Employment.

Public Notice

Notice of the public hearing was provided in accordance with the City Ordinance and State Law by,

- Publication in the Denton Record-Chronicle.
- Written public notices were mailed to the owners of all properties located within 200 feet of the subject property.
- The Public Hearing notice was posted on the City's Website.

Letters of Support/Protest

As of the date of this report, the City has received no letters of support or opposition from property owners within 200 feet of the subject property. Letters received after this date will be presented to the Commission at the time of Public Hearing. See Attachment 2 – 200 ft Buffer Map and Correspondence from Property Owners

Staff Recommendation

Staff recommends approval as presented.

Motion

“I move to recommend approval of Case No. SUP25-0002 as presented.”

Alternative Actions by the Planning and Zoning Commission

The Planning and Zoning Commission may also,

- Recommend approval with additional stipulations
- Continue the Public Hearing and table action on the request to a definitive or non-defined date
- Recommend denial of the request

Attachments

1. Conceptual Site Plan
2. 200 ft Buffer Map and Correspondence from Property Owners

Exist Building
150,063 sqft
FF 587.00

Car Wash

FUELING
STATION

GAS
TANKS

GRAPHIC SCALE
0 20 40 80
1 inch = 40 ft.



Coserv
Car Wash and Fueling Station
Concept Plan V2

City of Corinth
Denton County, Texas





The John R. McAdams
Company, Inc.
4400 State Highway 121, Suite 800
Lewisville, Texas 75056
972.436.9712
201 Country View Drive
Roanoke, Texas 76262
940.240.1012
TBPE: 19762 TBPLS: 10194440
www.mcadamsco.com

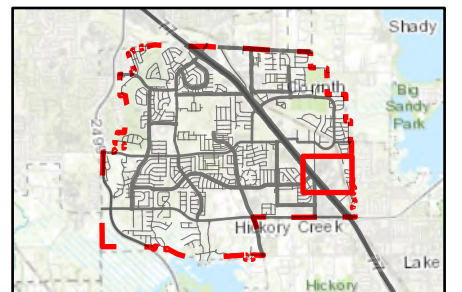
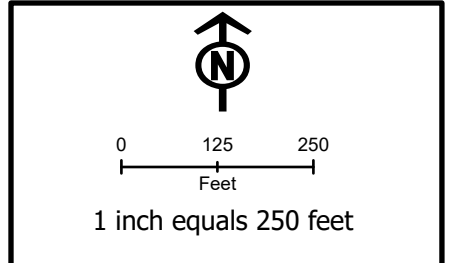
Job No. CSV23001 Date: July 11, 2025 By: NW
Z:\ZDrive\Projects\CSV\CSV23001\04-Production\Engineering\EXHIBITS\CSV23001.02
Concept Plan\CSV23001.02 Concept Plan V2.dwg

This concept plan is intended for conceptual
developmental use and shall not be interpreted
as an official or submitted document. All aerial
and map images were obtained from best
available information. This plan is subject to
change.

Proposed Specific Use Permit

CoServ SUP Request (SUP25-0002)

-  Property requesting Specific Use Permit
-  Properties within 200 ft of area requesting a Specific Use Permit for a Private Car Wash and Fueling Station



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CITY OF CORINTH
Staff Report

Meeting Date:	8/25/2025	Title:	Comprehensive Plan Amendment – Master Thoroughfare Plan
Strategic Goals:	<input type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input checked="" type="checkbox"/> Attracting Quality Development		

Item/Caption

Conduct a Public Hearing to consider testimony and make a recommendation to the City Council on a City-initiated request to amend the City of Corinth Comprehensive Plan “Envision Corinth 2040” Master Thoroughfare Plan by realigning the Carpenter Lane Future Collector Roadway to connect Lake Sharon Drive to Corinth Parkway.



Location Map Case No. CPA23-0001

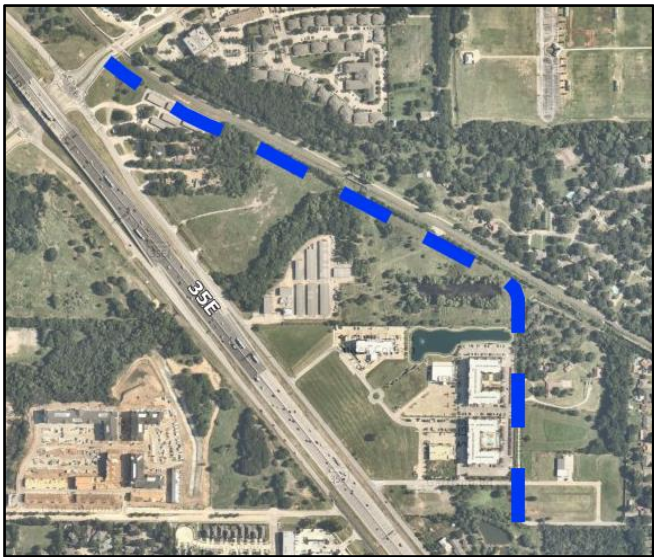
Item Summary

The purpose of this request is to amend the Master Thoroughfare Plan component of the Envision Corinth 2040 Comprehensive Plan to realign the future Collector Roadway that is proposed to extend from the current terminus of Carpenter Lane to the I-35E Service Road. The new alignment would have the Carpenter Lane extension continue northwest past Lynchburg Creek to intersect with Corinth Parkway just south of the existing railroad crossing.

The image on the left below depicts the existing alignment of the proposed Carpenter Lane extension in the 2040 Envision Corinth Comprehensive Plan which curves to intersect with the I-35E Service Road. The image on the right depicts the proposed realignment of the Carpenter Lane extension to intersect with Corinth Parkway. Staff is recommending that the future Carpenter Lane extension be realigned as depicted above as this alignment will provide a more functional connection between Downtown Corinth and the Mixed-Use developments to the south.



Existing Carpenter Lane Alignment



Proposed Carpenter Lane Realignment

Public Notice

Notice of the public hearing was provided in accordance with the City Ordinance and State Law by,

- Publication in the Denton Record-Chronicle
- The Public Hearing notice was posted on the City’s Website.

Staff Recommendation

Staff recommends approval of the request as presented.

Motion

“I move to recommend approval of the request to amend the City of Corinth Comprehensive Plan “Envision Corinth 2040” Master Thoroughfare Plan by realigning the Carpenter Lane Future Collector Roadway to connect Lake Sharon Drive to Corinth Parkway.”

Alternative Actions by the Planning and Zoning Commission

The Planning and Zoning Commission may also,

- Recommend approval with additional stipulations

- Continue the Public Hearing and table action on the request to a definitive or non-defined date
- Recommend denial of the request