

****PUBLIC NOTICE****



CORINTH ECONOMIC DEVELOPMENT CORPORATION (CEDC)

Monday, April 05, 2021 at 6:00 PM

City Hall | 3300 Corinth Parkway

Pursuant to section 551.127, Texas Government Code, one or more board members or employees may attend this meeting remotely using videoconferencing technology. The videoconferencing technology can be accessed at www.cityofcorinth.com/remotesession. The video and audio feed of the videoconferencing equipment can be viewed and heard by the public at the address posted above as the location of the meeting. The city of Corinth is following the Centers for Disease Control guidelines for public meetings.

A. CALL TO ORDER, ROLL CALL, AND ANNOUNCE A QUORUM PRESENT

B. CITIZENS COMMENTS

In accordance with the Open Meetings Act, the Board is prohibited from acting on or discussing (other than factual responses to specific questions) any items brought before them at this time. Citizen's comments will be limited to three (3) minutes. Comments about any of the published agenda items are appreciated by the Board and maybe taken into consideration at this time or during that agenda item. All remarks and questions address to the Board shall be addressed to the Board as a whole and not to any individual members thereof. Section 30.041B Code of Ordinance of the City of Corinth.

C. CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine and will be enacted in one motion. Should the Chair, a Board Member, or any citizen desire discussion of any item, that item will be removed from the Consent Agenda and will be considered separately.

1. *Consider and act on minutes from the February 1, 2021 Meeting.*

D. BUSINESS AGENDA

1. *Consider and act on an application from Realty Capital Management, LLC requesting a change in zoning and submitting Planned Development District Regulations on behalf of the Corinth Economic Development Corporation in accordance with the terms of the Second Amended and Restated Chapter 380 Economic Development Incentive Agreement.*

E. BOARD COMMENTS & FUTURE AGENDA ITEMS

The purpose of this section is to allow each Board member the opportunity to provide general updates and/or comments to follow Board members, the public, and/or staff on any issues or future events. Also, in accordance with Section 30.085 of the Code of Ordinances, at this time, any Board member may direct that an item be added as a business item to any future agenda.

F. EXECUTIVE SESSION

If, during the course of the meeting, any discussion of any item on the agenda should need to be help in Executive or Closed Session for the Board to seek advice from the City Attorney as to the posted subject matter of this Board Meeting, the Board will convene in such Executive or Closed Session, in accordance with the provisions of the Government Code, Title 5, Subchapter D, Chapter 551, to consider one or more matters pursuant to the areas listed below.

After discussion of any matters in Executive Session, any final action or vote taken will be in public by the Board. The Board shall have the right at any time to seek legal advice in Executive Session from its Attorney on any agenda item, whether posted for Executive Session or not.

* **Section 551.071.** (1) Private consultation with its attorney to seek advice about pending or contemplated litigation; and/or settlement offer; and/or (2) a matter in which the duty of the attorney to the government body under the Texas Disciplinary Rules of Professional Conduct of the State of Texas clearly conflict with Chapter 551.

* **Section 551.072.** To deliberate the purchase, exchange, lease or value of real property if deliberation in an open meeting would have a detrimental effect on the position of the governmental body in negotiations with a third person.

* **Section 551.074.** To deliberate the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee; or to hear a complaint or charge against an officer or employee.

* **Section 551.087.** To deliberate or discuss regarding commercial or financial information that the governmental body seeks to have locate, stay, or expand in or near the territory of the governmental body and with which the governmental body is conducting economic development negotiations; or to deliberate the offer of a financial or other incentive to a business prospect.

A. PROJECT DAYLIGHT.

B. PROJECT AGORA.

G. RECONVENE IN OPEN SESSION TO TAKE ACTION, IF NECESSARY, ON EXECUTIVE SESSION ITEMS

H. ADJOURN

As a majority of the Council Members of the City of Corinth may attend the above described meeting, this notice is given in accordance with Chapter 551 of the Texas Government Code. No official action will be taken by the City Council at this meeting.

Posted on this 1st day of April, 2021 at 5:00 PM on the bulletin board at Corinth City Hall.



Jason Alexander, Director of Economic Development
City of Corinth, Texas

CORINTH ECONOMIC DEVELOPMENT CORPORATION
February 1, 2021

STATE OF TEXAS
COUNTY OF DENTON
CITY OF CORINTH

On this 1st day of February 2021, the Corinth Economic Development Corporation (CEDC) of the City of Corinth, Texas, met in Regular Session at 6:02 P.M. at Corinth City Hall, located at 3300 Corinth Parkway, Corinth, Texas. The meeting date, time, place and purpose as required by Title 5, Subtitle A, Chapter 551, Subchapter C, Section 551.041, Government Code, with the following members, to wit:

CEDC Board Members:

Brad Hinson – Secretary*
 Kimberly Karl – Director
 Jerry Blazewicz – Vice President
 Adam Guck – Director
 Grady Ray – President
 John Henderson – Director*
 Joan Mazza – Director

CEDC Board Members Absent:

None

Others Present:

Ann Podeszwa – TBG Partners
 Jonathan Dunbar – TBG Partners
 Walter Bandt – Bella Maca Restaurant
 Walter Bandt Jr.– Bella Maca Restaurant
 Bob Hart – City Manager
 Jason Alexander – Executive Director
 Lee Ann Bunselmeyer – Finance, Communications and Strategic Services Director
 Helen-Eve Beadle – Planning & Development Director
 Lana Wylie – City Secretary

*** Attended the meeting remotely using video conferencing technology.**

CALL TO ORDER:

President Ray called the meeting to order at 6:02 P.M.

CITIZENS COMMENTS:

In accordance with the Open Meetings Act, the Board is prohibited from acting on or discussing (other than factual responses to specific questions) any items brought before them at this time. Citizen's comments will

be limited to 3 minutes. Comments about any of the published agenda items are appreciated by the Board and may be taken into consideration at this time or during that agenda item. *All remarks and questions addressed to the Board shall be addressed to the Board as a whole and not to any individual member thereof. * Section 30.041B Code of Ordinance of the City of Corinth.

There were no Citizens Comments made.

CONSENT AGENDA:

- 1. **Consider and act on minutes from the January 11, 2021 meeting.**
- 2. **Consider and act on the Corinth Economic Development Corporation Financial Report for the period ending October 2020.**
- 3. **Consider and act on the Corinth Economic Development Corporation Financial Report for the period ending November 2020.**

Brad Hinson motioned to approve the Consent Agenda.

Seconded by Jerry Blazewicz.

AYES: Hinson, Karl, Blazewicz, Guck, Henderson, Mazza
NOES: None
ABSENT: None

MOTION CARRIED

BUSINESS:

- 1. **Receive a presentation from TBG Partners and hold a discussion on the design and construction plans for a signature community gathering space in Agora.**

Jason Alexander introduced Ann Podeszwa and Jonathan Dunbar with TBG Partners. Podeszwa and Dunbar presented the vision for the Commons at Agora, the signature open space to be developed as part of a mixed-use community across the street from City Hall. Alexander informed the Board of Directors that TBG Partners will meet with various groups beginning February 9, 2021. Alexander also said that the first meeting will include the Ambassador Group and Keep Corinth Beautiful And that the City will host town hall meetings in person and online on February 20th and February 23rd. Alexander finally said that the Board of Directors will have an opportunity to provide input into the design of the Commons at Agora on March 2, 2021. That meeting will include City Council, the Corinth Economic Development Corporation, the Planning & Zoning Commission and the Parks and Recreation Board.

- 2. **Consider and act on an application from Bella Maca (“Project Santiago”) requesting reimbursement from the Corinth Economic Development Corporation for signage and outdoor dining improvements pursuant to the Business Improvement Grant Program.**

Alexander presented an application for the Business Improvement Grant for the new Argentinian-Italian restaurant, Bella Maca. The owners, Walter Bandt and Walter Bandt Jr., estimated that aesthetic improvements including signage and an outdoor seating area would cost \$11,950.00. Alexander explained that the maximum reimbursable amount from the CEDC is \$5,975.00 under the grant program and provided a brief overview of their revenue projections. The vendor hopes to allow for 20-25 patrons to be seated in the outdoor seating area and has a targeted opening date of March 2021, if the grant is approved.

MOTION made by Joan Mazza to approve the reimbursement request for Bella Maca, not to exceed \$5,975.00, for signage and outdoor dining improvements pursuant to the Business Improvement Grant Program.

Seconded by Kimberly Karl.

AYES: Hinson, Karl, Blazewicz, Guck, Henderson, Mazza
NOES: None
ABSENT: None

MOTION CARRIED

REPORTS AND UPDATES:

1. Board Members

No comments were made.

2. Executive Director

Alexander reminded the Board of Directors the next meeting will be held in joint session with the City Council on March 2, 2021, with details to follow.

There was no closed session.

CLOSED SESSION:

If, during the course of the meeting, any discussion of any item on the agenda should need to be held in executive or closed session for the Board to seek advice from the City Attorney as to the posted subject matter of this Board Meeting, the Board will convene in such executive or closed session, in accordance with the provisions of the Government Code, Title 5, Subchapter D Chapter 551, to consider one or more matters pursuant to the following:

Section 551.071. (1) Private consultation with its attorney to seek advice about pending or contemplated litigation; and/or settlement offer; (2) and/or a matter in which the duty of the attorney to the government body under the Texas Disciplinary Rules of Professional Conduct of the State of Texas clearly conflicts with chapter 551.

Section 551.072. To deliberate the purchase, exchange, lease or value of real property if deliberation in an open meeting would have a detrimental effect on the position of the governmental body in negotiations with a third person.

Section 551.074. To deliberate the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee; or to hear a complaint or charge against an officer or employee.

Section 551.087. To deliberate or discuss regarding commercial or financial information that the governmental body has received from a business prospect that the governmental body seeks to have locate, stay, or expand in or near the territory of the governmental body and with which the governmental body is conducting economic development negotiations; or to deliberate the offer of a financial or other incentive to a business prospect.

A. PROJECT DAYLIGHT.

B. PROJECT SANTIAGO.

After discussion of any matters in executive session, any final action or vote taken will be in public by the Board. The Board shall have the right at any time to seek legal advice in Executive Session from its Attorney on any agenda item, whether posted for Executive Session or not.

Reconvene in open session to take action, if necessary, on closed session items.

ADJOURN:

There being no further business, President Ray adjourned the February 1st, 2021, Regular Session of the Corinth Economic Development Corporation at 6:57 P.M.

Grady Ray – President
Corinth Economic Development Corporation

Lana Wylie – City Secretary
Corinth Economic Development Corporation

Financial Impact

N/A.

Applicable Owner/Stakeholder Policy

Chapter 380 of the Texas Local Government Code.
Second Amended and Restated Chapter 380 Economic Development Incentive Agreement.

Staff Recommendation/Motion

Staff recommends that the Corinth Economic Development Corporation Board of Directors approve the request as presented.



CITY OF CORINTH

3300 Corinth Parkway · Corinth, Texas 76208 · (940) 498-3206 · (940) 498-7576 fax · www.cityofcorinth.com

Universal Application Form

All applications must be submitted with (1) a complete Universal Application Form, (2) a completed application checklist, and (3) all materials listed in the appropriate checklist. The Planning and Development Department staff is available to assist you in person at City Hall or by phone, please call 940-498-3206 for an appointment. Applications shall be processed based on the City's official submission dates.

Thursday, March 18, 2021


APPLICATION TYPE			(Box 1 of 8)
Zoning Related Applications	Subdivision Related Applications		Miscellaneous Applications
<input type="checkbox"/> Reinstate Nonconforming Rights	<input type="checkbox"/> Preliminary Plat	<input type="checkbox"/> Comprehensive Plan Amendment	
<input type="checkbox"/> Zoning Map Amendment (Rezoning)	<input type="checkbox"/> Final Plat	<input type="checkbox"/> Fence Variance	
<input checked="" type="checkbox"/> PD, Planned Development Zoning Map Amendment (Rezoning)	<input type="checkbox"/> Minor Plat	<input type="checkbox"/> Sign Building Permit	
<input type="checkbox"/> Specific Use Permit	<input type="checkbox"/> Replat	<input type="checkbox"/> Sign Building Permit (Conditional)	
<input type="checkbox"/> Administrative Decision Appeal	<input type="checkbox"/> Amending Plat	<input type="checkbox"/> Sign Variance	
<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Conveyance Plat	<input type="checkbox"/> Unified Sign Plan	
<input type="checkbox"/> Zoning Special Exception	<input type="checkbox"/> Plat Vacation		
<input type="checkbox"/> Zoning Vested Rights	<input type="checkbox"/> Engineering Construction Plan		
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Park/Trail Dedication		
<input type="checkbox"/> Alternative Compliance	<input type="checkbox"/> Subdivision Waiver		
	<input type="checkbox"/> Proportionality Appeal		
	<input type="checkbox"/> Subdivision Vested Rights		
APPLICANT INFORMATION			(Box 2 of 8)
Applicant Name: Realty Capital Management, LLC		Company: Same	
Address: 909 Lake Carolyn Parkway, Suite 150			
City/State/Zip: Irving, Texas 75039			
Contact Number: 469-533-4125 Secondary No.: 469-533-4100			
Email: agray@realtycapital.com			
Project Name: Parkway at the District			
POINT-OF-CONTACT INFORMATION			(Box 3 of 8)
Name: Austin Gray		Company: Realty Capital Management, LLC	
Contact Number: 469-533-4125			
Email: agray@realtycapital.com			
PROPERTY OWNER INFORMATION			(Box 4 of 8)
Owner's Name: Corinth Economic Development Corp.		Company: Same	
Address: 3300 Corinth Parkway			
City/State/Zip: Corinth, Texas 76208			
Contact Number: 940-498-3295		Secondary No: 940-882-2524	
Email: jason.alexander@cityofcorinth.com			
SUBJECT PROPERTY INFORMATION			(Box 5 of 8)



CITY OF CORINTH

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Item 1.

Address: Stemmons Freeway and 2003 Corinth Parkway	
Parcel Tax ID#: 261856, 62053 and 62034	
Legal Description: A0507A H. GARRISON, TR 17A(PT), 16.378 ACRES; A0507A H. GARRISON, TR 18(PT), 1.82 ACRES, OLD DCAD TR #1D; and A0507A H. GARRISON, TR 19, 1.7983 ACRES, OLD DCAD TR #3B	Block Lot: 18(PT), 17A(PT) and 19
Subdivision Name: Click or tap here to enter text.	
BILL FEES TO (Box 6 of 8)	
Choose an item.	
Name: Austin Gray	Company: Realty Capital Management, LLC
Address: 909 Lake Carolyn Parkway, Suite 150	
City/State/Zip: Irving, Texas 75039	
Contact Number: 469-533-4125	
Contact Email: agray@realtycapital.com	
PROPERTY OWNER CONSENT/ AGENT AUTHORIZATION (Box 7 of 8)	
<p>By my signature, I hereby affirm that I am the property owner of record, or if the applicant is an organization or business entity, that authorization has been granted to represent the owner, organization or business in this application. I certify that the preceding information is complete and accurate, and it is understood that I agree to the application being requested for this property. Additionally, my signature below indicates my awareness of the fee required at the time of the application submittal and any additional fees as noted in the City's fee schedule. This fee is non-refundable even in the event of application withdrawal. I have the power to authorize and hereby grant permission for City of Corinth officials to enter the property on official business as part of the application process.</p> <p>By signing this form, the owner of the property authorizes the City of Corinth to begin proceeding in accordance with the process for the type of application indicated on this application. The owner/applicant further requests a Waiver of Right to 30-Day Action. The owner acknowledges that submission of an application does not in any way obligate the City to approve the application, and, that although City staff may make certain recommendations regarding this application, the decision-making authority may not follow that recommendation and may make a final decision that does not conform to the staff's recommendation.</p> <p>We, the undersigned, being owners of subject real property, do hereby authorize:</p>	
Printed Name: Realty Capital Management, LLC	
Address: 909 Lake Carolyn Parkway, Suite 150	
...to act as our Agent in the matter of this request. The term agent shall be construed to mean any lessee, developer, option holder, or authorized individual who is authorized to act in behalf of the owner(s) of said property.	
<u>SIGNATURES OF ALL PROPERTY OWNERS</u>	
Printed Name: Bob Hart	
Signature: 	



CITY OF CORINTH

3300 Corinth Parkway · Corinth, Texas 76208 · (940) 498-3206 · (940) 498-7576 fax · www.cityofcorinth.com

Address: 3300 Corinth Parkway, Corinth, Texas 76208

Printed Name: Grady Ray

Signature: *Grady Ray*

Address: 3300 Corinth Parkway, Corinth, Texas 76208

Printed Name: Click or tap here to enter text.

Signature:

Address: Click or tap here to enter text.

NOTARY (Box 8 of 8)

STATE OF TEXAS §
 COUNTY OF Denton §

BEFORE ME, the undersigned authority in and for Denton County, Texas, on this day personally appeared Grady Ray / Bob Hart, known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that he/she is CEOC Chair / Manager and that he/she is authorized to execute the foregoing instrument for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the 18th day of March, 2021.

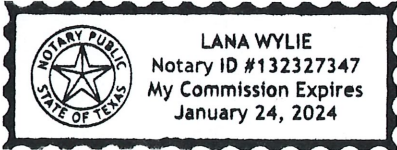
Lana Wylie

 Notary Public in and for the State of Texas

Lana Wylie

 Type or Print Notary's Name

My Commission Expires: 01/24/2024



STAFF USE ONLY BELOW

[Empty dashed box for date application]

\$ [Empty box for fees paid]

[Empty box for date fees paid]

FEES PAID

DATE FEES PAID



CITY OF CORINTH

3300 Corinth Parkway · Corinth, Texas 76208 · (940) 498-3206 · (940) 498-7576 fax · www.cityofcorinth.com

Item 1.



ISSUE DATE:
April 1, 2021

A DEVELOPMENT BY:
REALTY CAPITAL MANAGEMENT, LP
909 Lake Carolyn Parkway
Irving, TX 75039
469-533-4100

PLANNING BY:
Roaring Brook Development Co.
1701 Northwest Hwy, Ste 28
Grapevine, TX. 76051
817.706.8353

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DEVELOPMENT NARRATIVE

REALTY CAPITAL MANAGEMENT, LLC,
377
DEVELOPMENT NARRATIVE

Director of Planning
Helen-Eve Lieberman
City of Corinth
3300 Corinth Parkway
Corinth, Texas 76208

Re: Parkway District Planned Development
Corinth, Texas

Director of Planning,

At the request of the Corinth Economic Development Corporation, Realty Capital Management presents the following mixed-use project, Parkway District. Located at the southwest corner of I-35E and Corinth Parkway, the development is a unique, landmark project that will act as a catalyst for the area and surrounding properties, and set the standard for the greater transit-oriented development. The project would include neighborhood retail, composed primarily of sit-down restaurants, a hotel, higher density urban lofts, and a trail system that ties into the existing trail network around Corinth. Our design intent is to connect a central, linear “parkway”/green space from the intersection of I-35E and Corinth Parkway (where the restaurants are), through the middle of the project to the southern end where it connects to the trail and park improvements along Lynchburg Creek. As outlined in the Planned Development Zoning, the project is proposed to be divided into four unique character areas described below:

Area A: Restaurants and retail

Area B: Hotel and retail

Area C: Class A residential lofts and office or retail.

Area D: Townhomes

Area E: Open space and recreation

The City of Corinth has embarked on a mission to make Corinth a more distinct, walkable community, and we are confident the Parkway District aligns with the shared interests of City Council and Economic Development Corporation, and will become a destination in central Corinth.

Sincerely,

Tim Coltart
Managing Director
Realty Capital Management

Cc: Jason Alexander
Director of Economic Development

MIXED-USE PROJECTS BY REALTY CAPITAL

LAKESIDE DFW, FLOWER MOUND, TX



MIXED-USE PROJECTS BY REALTY CAPITAL

THE VENUE, NORTH RICHLAND HILLS, TX



THE VILLAGE, COLLEYVILLE, TX



ADMINISTRATION

SECTION 2: ADMINISTRATION

A) Applicability

The requirements of these Standards are mandatory and all development on land located within the boundaries of the Planned Development District must adhere to the rules and regulations set forth herein.

Except as specified in this PD, MX-C uses requiring an SUP under the UDC shall also require an SUP under this planned development ordinance unless specifically exempted in the Permitted Use Table.

B) Conflicting Regulations

Except as provided by these Standards, development within the Planned Development District is governed by City regulations. For any issues, regulations, or standards not directly or indirectly addressed by this Planned Development ordinance as written at the time of development for each tract, the UDC shall control. Building codes, life safety codes, and Federal and State regulations shall take precedence where a standard requires actions that are in conflict with this Planned Development ordinance.

E) Site Plan Conformance

The Applicant may submit a Site Plan for the entire PD District or any portion thereof, and may develop the Planned Development District in any order.

If the Site Plan is in Substantial Conformance to the Concept Plan, in accordance with UDC Section 2.10.08.B.2, a public hearing on a Site Plan is not required, and the Site Plan may be approved administratively.

C) Concept Plan

The Planned Development standards contained herein shall constitute the submittal of the PD Design Statement and the PD Concept Plan in accordance with Section 2.10.09 of the UDC.

The PD Concept Plan (See Figure 3.1) is, by definition, conceptual in nature, and the final site plan(s) may differ from the image depicted in Figure 3.1. Site Plans deviating from the PD Concept Plan shall be evaluated in accordance with the standards established in Section 2.10.09.D of the Corinth UDC.

F. Substantial Conformance:

Substantial Conformance shall mean that the Site Plans submitted are consistent with the standards and regulations contained herein, and any deviations from the figures and illustrations contained herein shall not differ by more than the ranges permitted in Section 2.10.09.D.1. of the Corinth UDC.

D) Permitted Uses

The Permitted Use Table (See Table 3.1) lists the permitted and prohibited uses within the Planned Development. The Permitted Uses shall include all the current permitted uses under the existing MX-C zoning uses listed in the Corinth UDC, plus residential uses as restricted herein.

G. Site Plan Non-conformance

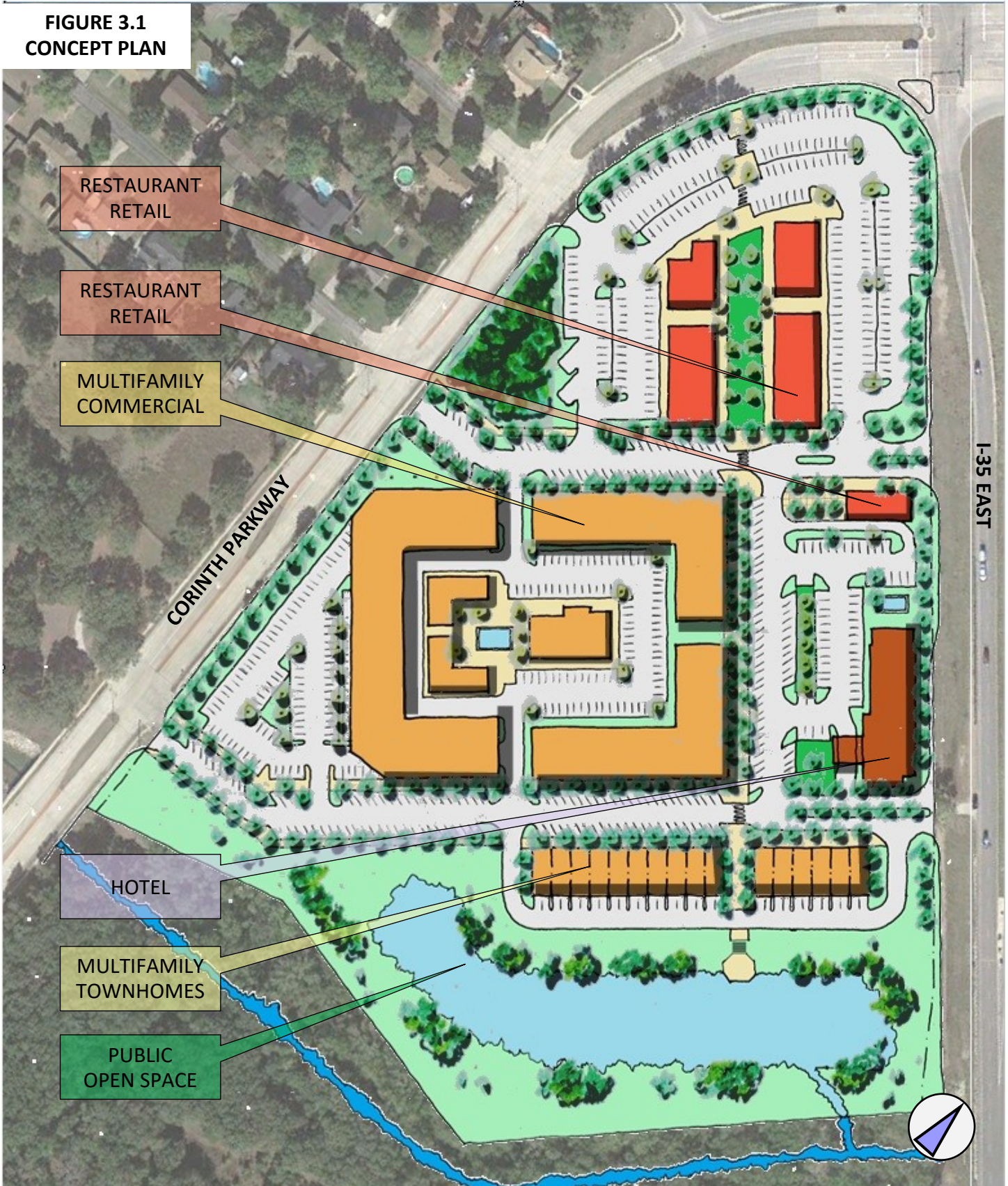
If the Site Plan is not in Substantial Conformance to the Concept Plan, then the Site Plan shall be subject to approval by the Planning and Zoning Commission and the City Council prior to applying for site construction and building permits as prescribed in Section 2.10.09.D.2. of the Corinth UDC. Minor PD Amendments or Minor PD Adjustments shall not constitute non-conformance, and minor adjustments may be approved administratively.

GENERAL REGULATIONS

3.1: General Development Standards

- A. General: The following tables and illustrations identify general regulations for all Blocks within the Planned Development District.
- B. The Regulating Plan and associated standards and the other sections of the Planned Development ordinance govern the following components of the development.
1. See Table 3.2 for Lot Development Standards that define the minimum and maximum lot areas and/or dimensions.
 2. See Section 4 for allowable vehicular ingress and egress from the Planned Development District.
 3. See Section 4 for street standards within the Planned Development District.
 4. See Section 5 for Open Space, walkways and tree standards.
 5. See Section 6 for Parking on-street, off-street and garage parking standards;
 6. See Section 7 for Architectural and building façade standards;
 7. See Section 8 for Signage standards.
- C. Regulating Plan Block A
1. Block A: The area of Block A shall include approximately 4.3 acres, and shall include certain open spaces described in Section 5 herein, plus a minimum of 3 restaurant pad sites. No residential uses are permitted.
- D. Regulating Plan Block B
1. Block B: The area of Block B shall include approximately 2.0 acres, and shall include a location for non-residential uses such as hospitality or retail.
 2. Full Service Hotel shall comply with Section 2.07.04.A.24 for Full Service hotels except as amended herein.
 3. Select Service Hotel shall comply with Section 2.07.04.A.24 for Limited Service hotels except as amended below:
 - a. The hotel shall provide a lobby with seating adjacent to the check-in area.
 - b. The hotel shall provide a bar or lounge area in addition to the lobby.
 - c. The hotel shall provide a covered seating area adjacent to the pool of at least 300 SF.
 - d. The hotel shall have a minimum of 80 guest rooms.
- E. Regulating Plan Block C
1. Block C shall contain primarily Urban Residential dwelling units. See Table 3.1 for the maximum number of dwelling units permitted. The area shall include approximately 5 acres.
 2. Block C shall contain a minimum 2500 square feet of commercial use on the ground floor of the multifamily building.
 3. The location and arrangement of parking and recreational amenities may differ from the Concept Plan provided that the building, or buildings, conform to the development standards of the Planned Development District.
- F. Regulating Plan Block D:
1. Block D: The area of Block D contains Townhomes that may be attached, zero-lotline, detached, or may include multiple homes constructed on a single lot. Townhomes shall front onto Street B. The area shall include approximately 1.8 acres.
- G. Block E
1. Block E: The area of Block E shall contain a concrete trail from Corinth Parkway to I-35E ROW, open space, wet detention, floodplain, and floodway. The area of Block E shall include approximately 4.3 acres, and may include some surface parking above the floodplain elevation for public use.
- H. Modified Regulations (See Table 3.3)
1. Although Section 2.10.09.C.2.b.vii requires a list of all proposed special development regulations that modify any City ordinance regulations or referenced standards (enumerated below), the list of proposed modifications to the City's regulations in Table 3.3 primarily addresses zoning regulations. Other regulatory conflicts may not be included in the list of modifications. Such omissions to the list of modifications in subsequent Site Plan applications shall constitute a Minor PD Amendment in accordance with Section 2.10.09.D.1. of the Corinth UDC.
 - *The Drainage Design Manual Section 153.01 of the Code;*
 - *The Transportation Plan;*
 - *The Standard Construction Details of the department of public works;*
 - *City of Corinth Engineering Standards Manual (ESM);*
 - *Master Drainage Plans;*
 - *Floodplain Ordinance;*
 - *Erosion Control Ordinance;*
 - *Stormwater Management Plan; and*
 - *All other codes and ordinances of the City.*

**FIGURE 3.1
CONCEPT PLAN**



**FIGURE 3.2
REGULATING PLAN**

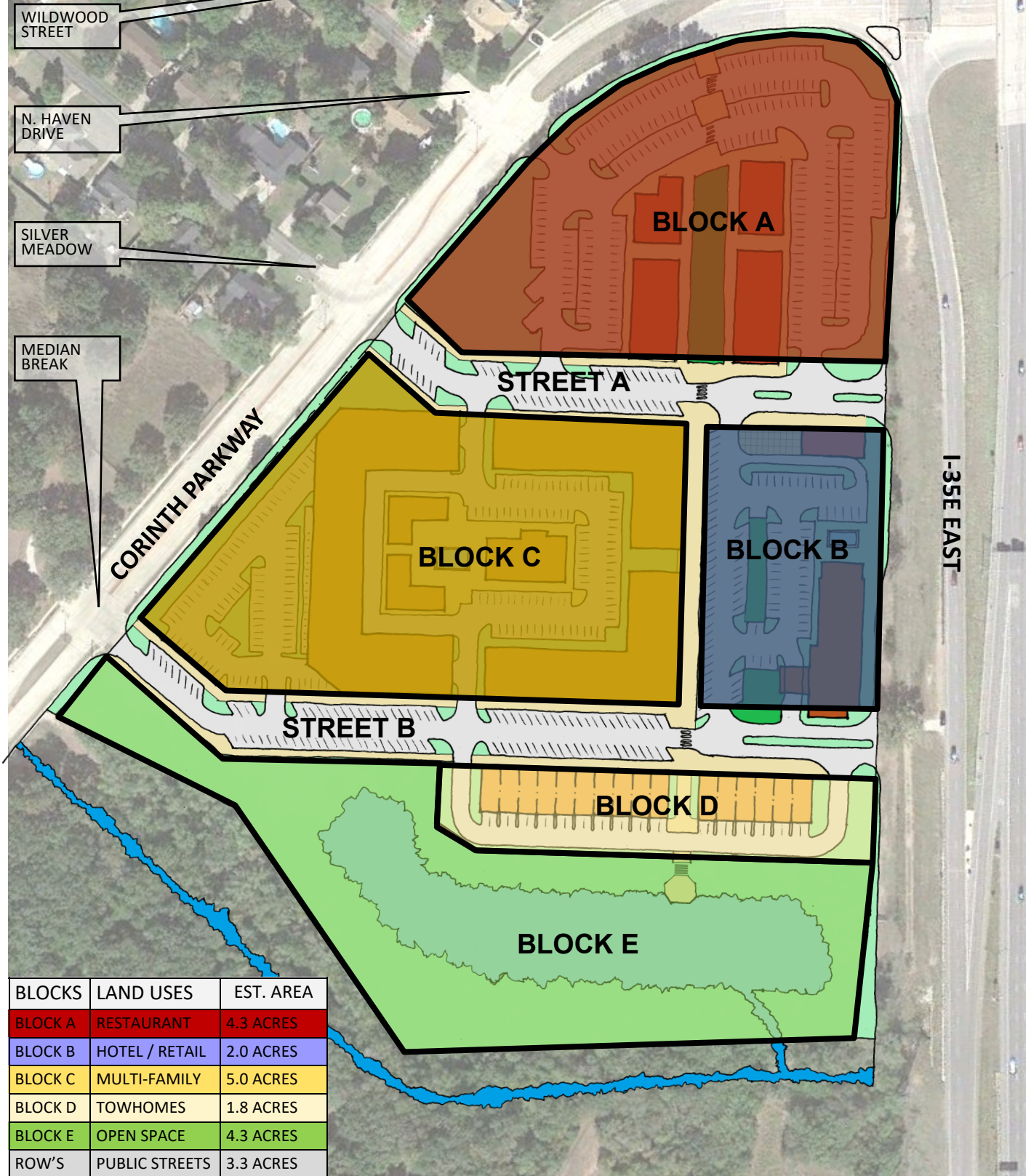


TABLE 3.1 PERMITTED USE TABLE

Legend for Use Chart		BLOCK A: RESTAURANTS	BLOCK B: HOTEL / RETAIL	BLOCK C: MULTIFAMILY	BLOCK D: TOWNHOMES	BLOCK E: OPEN SPACE	NOTES Note 1: Block D shall have no more than 25 Townhomes Note 2: Block C shall have no more than 327 dwelling units. Note 3: Single Family Townhomes are individually platted lots or a single lot Note 4: Multifamily includes multiple attached dwelling units on a single platted lot. Note 5: Block C and Block D: Commercial use shall be located on the ground floor of a multi-story building. Note 6: Full Service and Select Service Hotels are permitted uses in Block B. Limited Service Hotels are a prohibited use. See Section 3, Block B regulations for definitions.
P	Use is permitted in district indicated						
	Use is prohibited in district indicated						
S	Use is permitted in district upon approval of a 2.10.10. Specific Use Permit						
#	Use is permitted (or permitted by SUP) if the use complies with conditional development standards or limitations in the corresponding numeric end note in 2.07.04. Conditional Development Standards.						
§	Reference for Future Reference						

Residential Uses

Dwelling, Single Family (detached)				P		Note 1, 3
Dwelling, Single Family (attached - townhouse)				P		Note 1, 3
Dwelling, Multi-Family			P	P		Note 2, 4

Nonresidential Uses

Antique Shop	P	P	P			Note 5
Art Gallery or Museum		P	P			Note 5
Bank or Financial Institution		P	P			Note 5
Barber, Beauty Shop or Personal Services		P	P			Note 5
Book Store	P	P	P			Note 5
Business Services	P	P	P			Note 5
Caterer or Wedding Service	P	P				Only as part of restaurant or hotel facility
Concrete Batching Plant, Temporary	P-7	P-7	P-7	P-7		
Dance, Music, or Drama Studio	P	P				
Educational Services Office	P	P	P			Note 5
Farmer's Market	P	P			P	
Food Truck	P-23	P-23			P	
Home Based Business			P	P		
Hotel, Full-Service or Select Service		P				Note 6: 'Full' and 'Select' permitted, 'Limited Service' prohibited
Massage Therapy, Licensed		P	P			Note 5

TABLE 3.1 PERMITTED USE TABLE CONTINUED							
Legend for Use Chart		BLOCK A: RESTAURANTS	BLOCK B: HOTEL / RETAIL	BLOCK C: MULTIFAMILY	BLOCK D: TOWNHOMES	BLOCK E: OPEN SPACE	NOTES
P	Use is permitted in district indicated						<p>Note 1: Block D shall have no more than 25 Townhomes</p> <p>Note 2: Block C shall have no more than 327 dwelling units.</p> <p>Note 3: Single Family Townhomes are individually platted lots or a single lot.</p> <p>Note 4: Multifamily includes multiple attached dwelling units on a single platted lot.</p> <p>Note 5: Block C and Block D: Commercial use shall be located on the ground floor of a multi-story building.</p> <p>Note 6: Full Service and Select Service Hotels are permitted uses in Block B. Limited Service Hotels are a prohibited use. See Section 3, Block B regulations for definitions.</p>
	Use is prohibited in district indicated						
S	Use is permitted in district upon approval of a 2.10.10. Specific Use Permit						
#	Use is permitted (or permitted by SUP) if the use complies with conditional development standards or limitations in the corresponding numeric end note in 2.07.04. Conditional Development Standards.						
§	Reference for Future Reference						

Nonresidential Uses Continued

Medical Clinic		P				
Movie Picture Theatre	P	P				Ancillary use only
Office, Professional, Medical, or Business		S	P			Note 5
Photographer's or Artist's Studio/Film Processing		P	P	P		Note 5
Photovoltaic Systems (Attached)	P	P	P	P		
Printing/Duplication Shop or Mailing Center		P	P			Note 5
Public Building	P	P	P			Note 5
Parking Garage	P	P	P			
Restaurant without Drive-through Service	P	P	P			Note 5
Restaurant with Drive-through Service		P				Coffee shop or similar establishment only
Retail Stores and Shops	P	P	P			Note 5
Temporary Building for New Construction	P-18	P-18	P-18	P-18	P-	
Tower/Antenna: TV, Radio, Microwave, Telephone, or Cellular	S	S	S	S		Co-Location with architectural feature required.
Wedding Chapel, Reception Facility, Special Events Center	P	P				Only as part of a restaurant or hotel facility.

TABLE 3.2 LOT STANDARDS

	Block A	Block B	Block C	Block D	Block E
Open Space (Yard) Dimensions					
Minimum Front Yard Setback	0'	0'	5'	0'	N/A
Landscape Buffer, I-35E ROW	15' average	15' min	N/A	15' min	15' min
Landscape Buffer, Corinth Parkway	10'	N/A	20'	N/A	20'
Landscape Buffer, Streets A & B	0'	0'	0'	0'	0'
Minimum Side Yard Setback:					
Interior Lot	0'	0'	5'	0'	N/A
Corner Lot	0'	0'	5'	10'	N/A
Minimum Rear Yard Setback	0'	0'	5'	3' or 20' ¹	N/A
Lot Dimensions					
Minimum Lot Area	4,000 sq. ft.	4,000 sq. ft.	40,000 sq. ft.	1,980 sq. ft.	N/A
Minimum Lot Width	50'	50'	150'	22'	N/A
Minimum Lot Depth	80'	80'	150'	60'	N/A
Structure Height					
Maximum Height (stories/feet)	2½ Stories/40' or SUP (1)	6 Stories/85' or SUP (1)	5 Stories/75' or SUP	3 Stories/ 35' or SUP	N/A
Building Area Coverage					N/A
Maximum Building Area (all buildings)	90%	90%	90%	75%	N/A

¹: To insure that townhomes have either adequate parking or no parking adjacent to the alley.

TABLE 3.3 TABLE OF PLANNED DEVELOPMENT DEVIATIONS FROM BASE ZONING

REFERENCE	ITEM DESCRIPTION	PD Standard
2.09.02.A.2	All Residential requires an SUP	Permitted Use in Blocks C & D
2.09.02.A.2.a	Residential land use cannot exceed 10% of the entire MX-C zoning area	Permitted Use in Blocks C & D
2.09.02.B.2.iii	Multifamily must comply with MF-3 regulations: 2 stories, 2700 SF/Dwelling Unit	Comply with PD regulations contained herein
2.07.03. Use Chart	Permitted Uses: SUP or prohibited uses	
	Business Services	Permitted Use
	Hotel, Full or Limited	Full service & Select Service Permitted Use as defined in PD; Limited service prohibited.
	Park, Playground, or Community Center	Permitted Use in Block E
	Public Parking Garage	Structured garage required
2.09.01.B.1	Multifamily Buffers	As amended below:
2.09.01.A.1a.i.(a)	20' to I-35E and Corinth Parkway, landscape buffer	Corinth Parkway: 10'/20'; I-35E: 15'
2.09.01.B.1.k.i	20' at front and rear of all buildings, setback	0', 5', & 10' to public Street A & B ROW's
2.09.01.B.1.l.i	15' at sides of all buildings, setback	0' to adjacent lots
2.09.01.A.3.a	Site Landscape: 10% of the overall land area must be landscaped open space	Floodplain shall count, some areas shall be preserved as natural.
2.09.01.D.3	Detention: To receive the 10% credit on FAR, detention must include factors:	Detention qualifies as open space per Open Space standards in Section 5.

TABLE 3.3 TABLE OF PLANNED DEVELOPMENT DEVIATIONS FROM BASE ZONING CONTINUED






2.09.01.D.3.a	Surrounded by streets	Where feasible
2.09.01.D.3.c	Slopes maximum 4:1	Retaining walls are permitted subject to engineering design.
2.09.02	Trees	
2.09.01.B.2.b.(1)	Street Trees: Not permitted within the ROW	Permitted, with root barrier
2.09.01.A.2.d.i	Trees must be 5' min from curb w/o root barrier	2.5' minimum with root barrier
2.09.02.B.1	Tree Survey, Tree Protection Plan, Tree Mitigation Plan required	Mitigation Requirement subject to the Developer Agreement
2.09.02.K.3	\$150/caliper inch for fee in lieu of replacement	Mitigation Requirement subject to the Developer Agreement
2.09.03	Parking	
2.09.03.E.22	Restaurant: 1/3 seats	1/100 SF, gross area
2.09.03.J Chart	60° Angled Parking 20' deep	18' deep
2.09.01.A.7.a.i	Parking Garages require 18' buffer to ROW	5' Street A 5' to Street B
2.09.04	Materials	
2.09.04.A.2.a	MF: 85% min Class 1 masonry (brick/stone) on 1st & 2nd floors, 50% upper floors. Any single façade must be 50% minimum masonry or stucco.	As amended herein
2.09.04.D.5	Cementitious siding may be approved	Permitted per Table 7.1
2.09.06.A.2	Use the same materials on all 4 sides	Cementitious siding permitted on side and rear façades and balconies.
2.07.04.A.24.	Limited Service Hotels, Minimum standards required	Limited Service prohibited
2.07.04.A.24.a	SUP Required	Limited Service prohibited.
2.07.04.A.24.k	4 story maximum	6 stories max, maximum height per Table 3.2
	Windows shall be recessed from the wall 3" minimum	Waive Requirement, See Section 7 for alternative compliance.
3.05.04, Table 23	Access Management requires a minimum of 300' separation between drives.	300' minimum spacing except that North Haven Drive and Silver Meadow Lane are separated by only approximately 275' and the proposed drives align with those streets.
3.05.04, Table 23	Access Management requires 100' between driveways along Streets A and B; it also requires stacking distances within parking lots accessing local streets of 50' to 75'.	Section 3.05.04 should not apply to the PD District because Streets A and B function as internal parking lot drives, and the entire PD District functions as a single, integrated commercial development. Streets serve only those land uses within the PD District and do not serve any other lots.
3.05.07 F	Construction within Floodplain restricted	Limited surface parking may be included in reclaimed floodplain areas to serve open space.
3.05.10	Park land dedication of 1 acre per 50 units required.	Park dedication subject to the Developer Agreement.
3.05.12.C.4	One foot separation required between sidewalks and lot lines.	0' of separation with 1' pedestrian maintenance easement

STREETS STANDARDS

4: General Thoroughfare Standards

- A. General: The Parkway District development is based on an urban block structure. The streets defining the blocks are permitted some flexibility to accommodate final site plan design. The tables and illustrations identify standards for streets, parkways, sidewalks, and street trees.
- B. Conceptual Vehicular Street Network (See Figure 4.1): The Figure illustrates the proposed street network within the Planned Development District.
- C. The maximum number of access drives to the site from Corinth Parkway is 3 ingress/egress drives.
 - 1. Drive 1 shall align with North Haven Drive.
 - 2. Drive 2 (Street A) shall align with Silver Meadow Lane.
 - 3. Drive 3 (Street B) shall align with the median break south of Silver Meadow Lane.
- D. The maximum number of access drives to the site from I-35E is 2 ingress drives.
 - 1. Drive 4 (Street A) shall be located beyond the "Access Denial" zone established by TXDOT.
 - 2. Drive 5 (Street B) shall meet or exceed the required 250' minimum spacing from Street A established by TXDOT .
- E. Fire Lanes, access drives, access locations, loading zones, and turning radii, shall be subject to review and approval in each Site Plan application.
- F. Driveway spacing off Streets A and B shall not be less than 36'. Driveway spacing from perimeter arterials shall not be less than 30'.
- G. Curves on Streets A and B shall not have a centerline radius of curvature less than 50'.
- H. Residential Alley: See Figure 4.5.
- I. Fire Lanes: Subject to Fire Dept approval at Site Plan application.
- J. Access drive configuration from the I-35-E frontage road and the driveway access from Streets A and B shall be subject to City review and approval.
- K. Crosswalks at Streets A & B adjacent to the promenade (Walkway 2) shall be raised to the height of the top of the curb.

**FIGURE 4.1
STREET PLAN**

-  STREET ROW
-  ALLEY ROW
-  FULL ACCESS INGRESS/EGRESS
-  RIGHT-IN / RIGHT-OUT
-  FIRE LANE

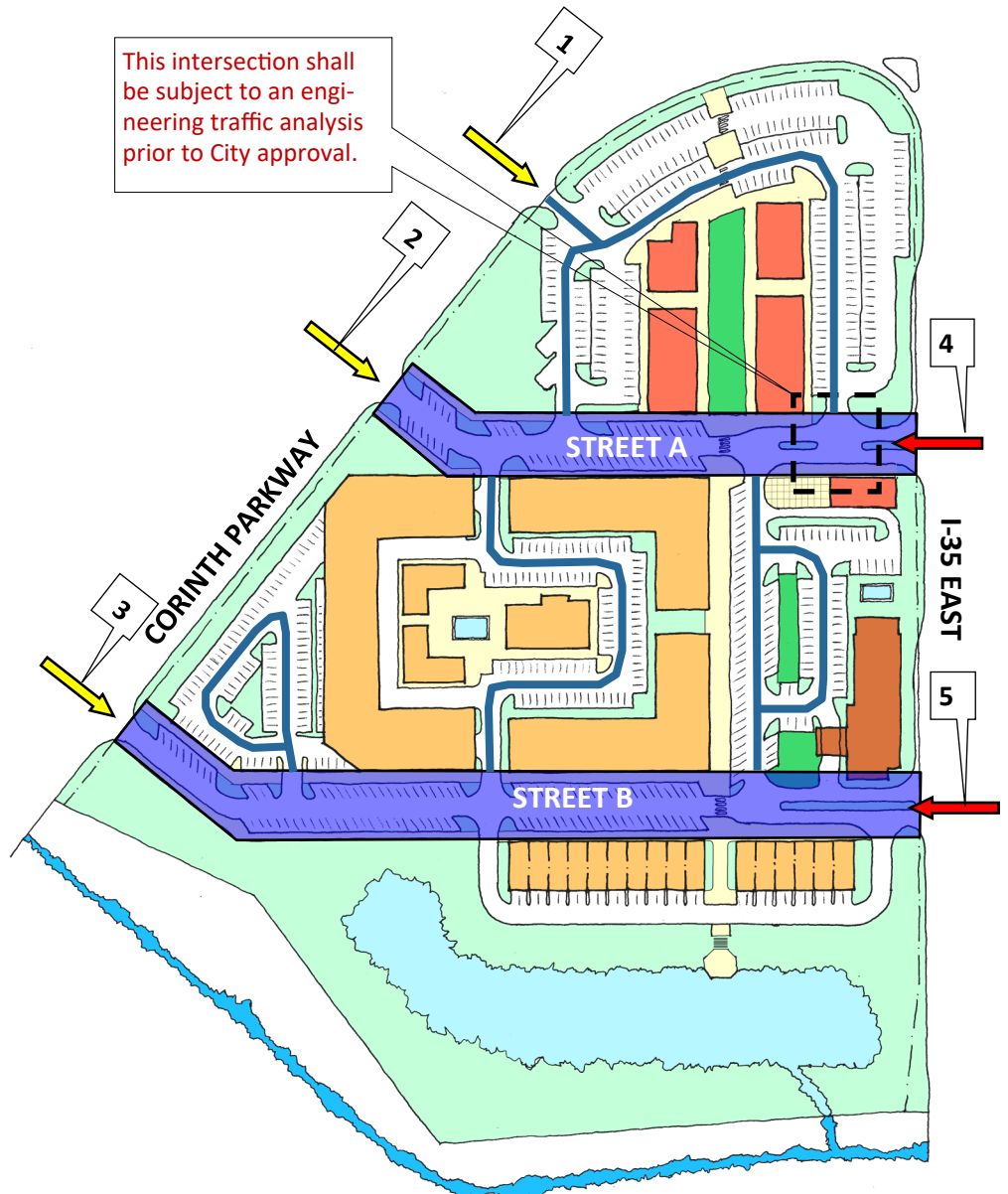
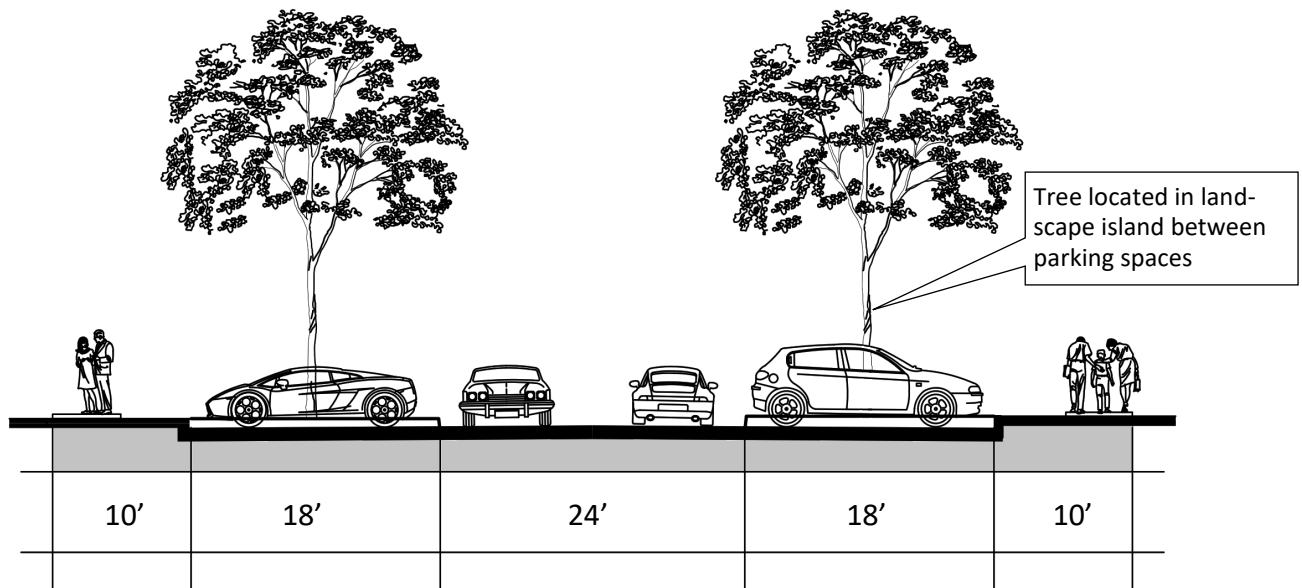
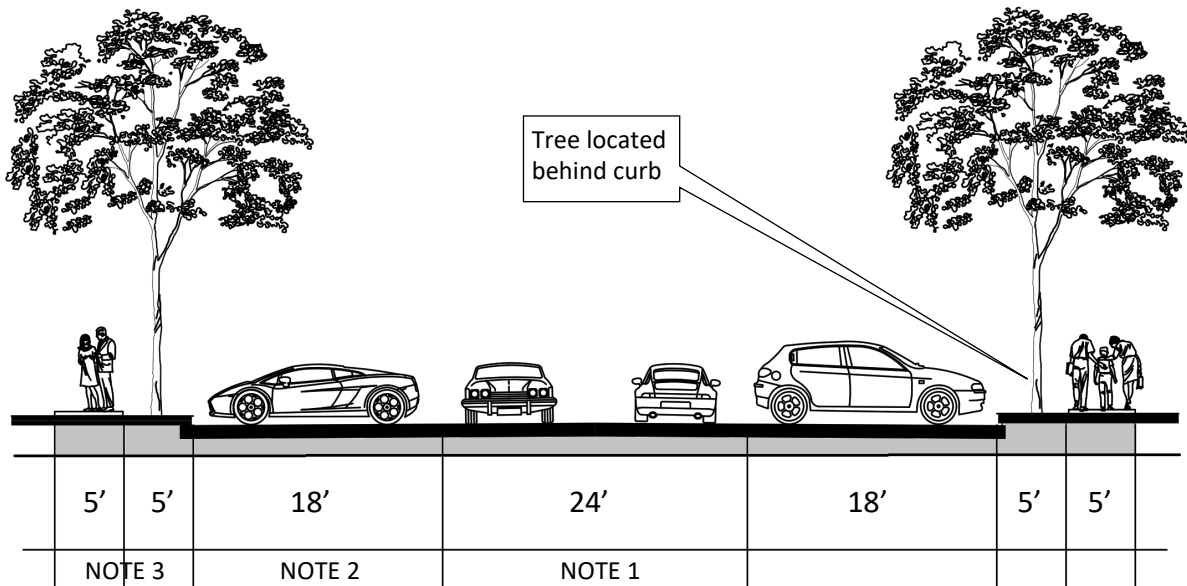


FIGURE 4.2
URBAN COMMERCIAL STREET SECTIONS WEST OF OS-2

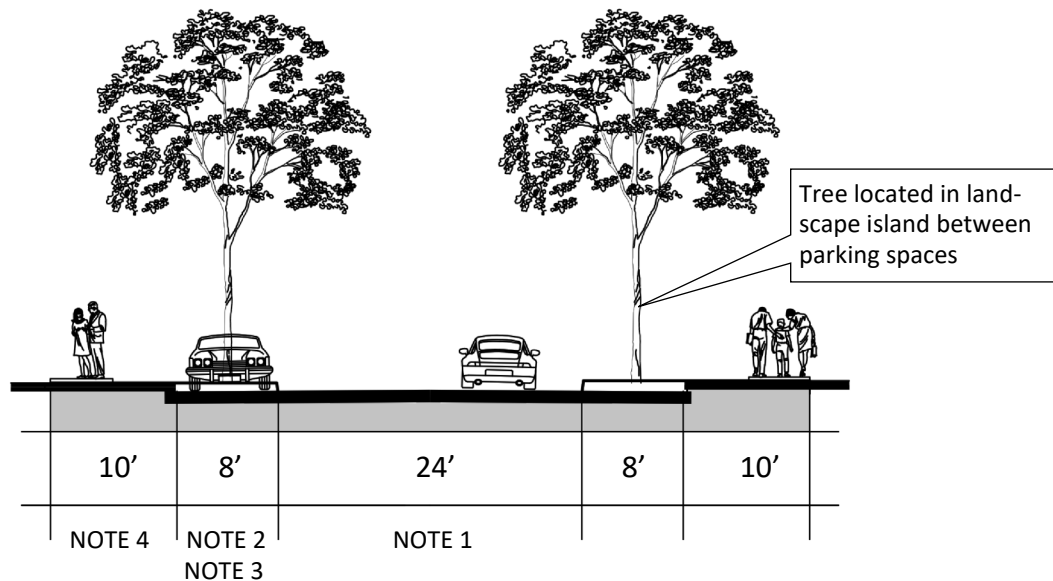
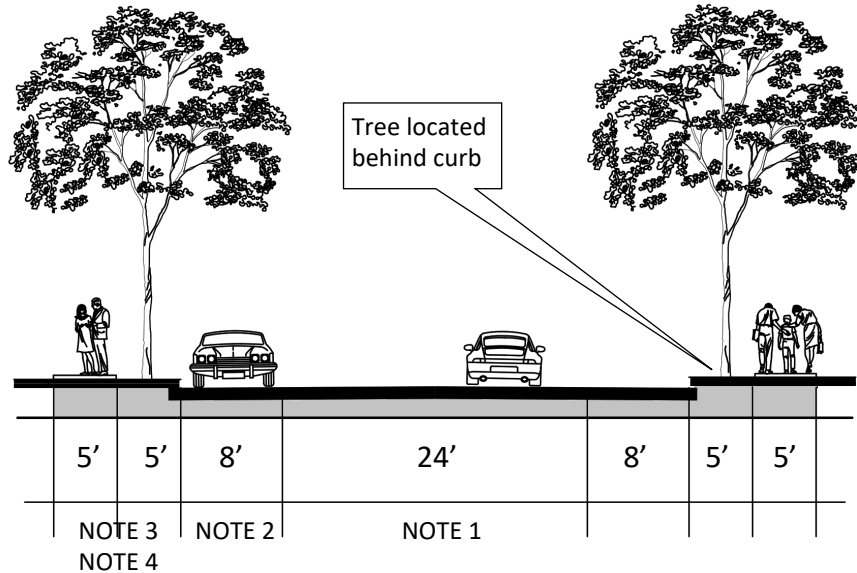
Street Classification	Minimum R.O.W.	Roadway Width (Overall to Front of Curb)	Number of Lanes and Width	Parking	Number of Parkways and Width
Urban Commercial 1	80'	60'	2—12'	Head-in	2—10'



- NOTE 1: Minimum width of travel lanes is 24'. If adjacent to buildings 4 or more stories in height, minimum width is 26'
- NOTE 2: Head-in or angled-in parking spaces are permitted. See Figure 6.1 for parking space dimensions. On-street parking may be located along all or any portion of the length of the street.
- NOTE 3: Street Trees may be located behind the curb or in landscape islands between parking spaces. See Section 5 for Street Tree planting standards. Dimension is a minimum depth.
- NOTE 4: Sidewalks are required within the right-of-way and shall be a minimum of 5' in width.
- NOTE 5: Inflections in street direction may be treated as corners (minimum 50' centerline radius) versus curves (250' radius).
- NOTE 6: Minimum interior turning radius is 26'.

FIGURE 4.3
URBAN RESIDENTIAL STREET SECTIONS WEST OF OS-2

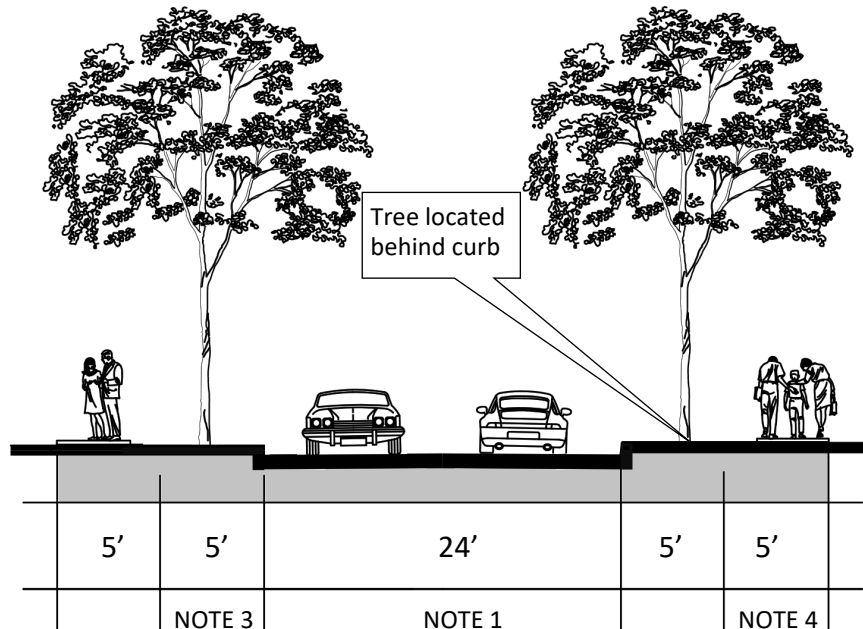
Street Classification	Minimum R.O.W.	Roadway Width (Overall to Front of Curb)	Number of Lanes and Width	Parking	Number of Parkways and Width
Urban Residential	60'	40'	2—12'	Parallel	2—10'



- NOTE 1: Minimum width of travel lanes is 24'. If adjacent to buildings 4 or more stories in height, minimum width is 26'
- NOTE 2: Head-in or angled-in parking spaces are permitted. See Figure 6.1 for parking space dimensions. On-street parking may be located along all or any portion of the length of the street.
- NOTE 3: Street Trees may be located behind the curb or in landscape islands between parking spaces. See Section 5 for Street Tree planting standards. Dimension is a minimum depth.
- NOTE 4: Sidewalks are required within the right-of-way and shall be a minimum of 5' in width.
- NOTE 5: Inflections in street direction may be treated as corners (minimum 50' centerline radius) versus curves (250' radius).
- NOTE 6: Minimum interior turning radius is 26'.

FIGURE 4.4
URBAN COMMERCIAL ALTERNATE STREET SECTION WEST OF OS-2

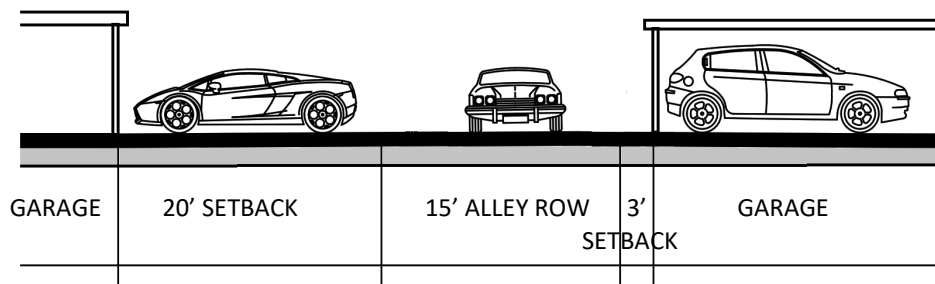
Street Classification	Minimum R.O.W.	Roadway Width (Overall to Front of Curb)	Number of Lanes and Width	Parking	Number of Parkways and Width
Urban Commercial Alt	44'	24'	2—12'	None	2—10'



NOTE 1: Minimum width of travel lanes is 24'. If adjacent to buildings 4 or more stories in height, minimum width is 26'
 NOTE 2: Head-in or angled-in parking spaces are **not permitted**.
 NOTE 3: Street Trees shall be located behind the curb. See Section 5 for Street Tree planting standards.
 NOTE 4: Sidewalks are required within the right-of-way and shall be a minimum of 5' in width.

FIGURE 4.5
RESIDENTIAL ALLEY SECTION

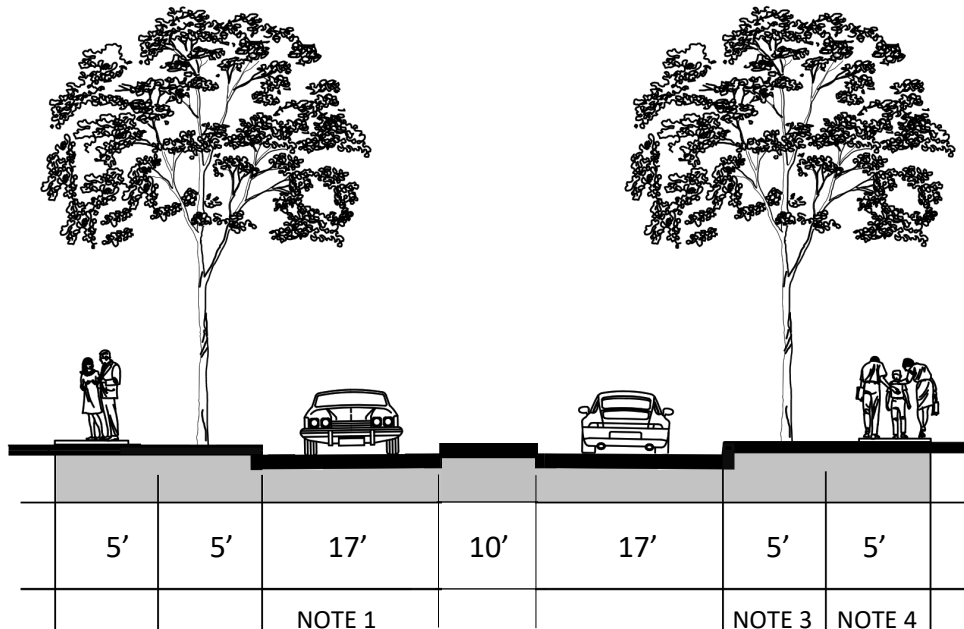
Street Classification	Minimum R.O.W.	Roadway Width (Overall Paving width)	Number of Lanes and Width	Parking	Number of Parkways and Width
Residential Alley	15'	15'	1—15'	None	NA



Residential Alley to be used only with Single Family lots. Multifamily shall use standard fire lanes.

FIGURE 4.6
URBAN COMMERCIAL ALTERNATIVE EAST OF OS-2 CONNECTING TO I-35E FRONTAGE ROAD

Street Classification	Minimum R.O.W.	Roadway Width (Overall to Front of Curb)	Number of Lanes and Width	Parking	Number of Parkways and Width
Urban Commercial Alt	64'	16' each way	2—16'	None	2—10'



NOTE 1: Minimum width of travel lanes is 16' F-F or 17' B-B. Width does not require additional width adjacent to buildings 4 stories or taller.

NOTE 2: Head-in or angled-in parking spaces are not permitted.

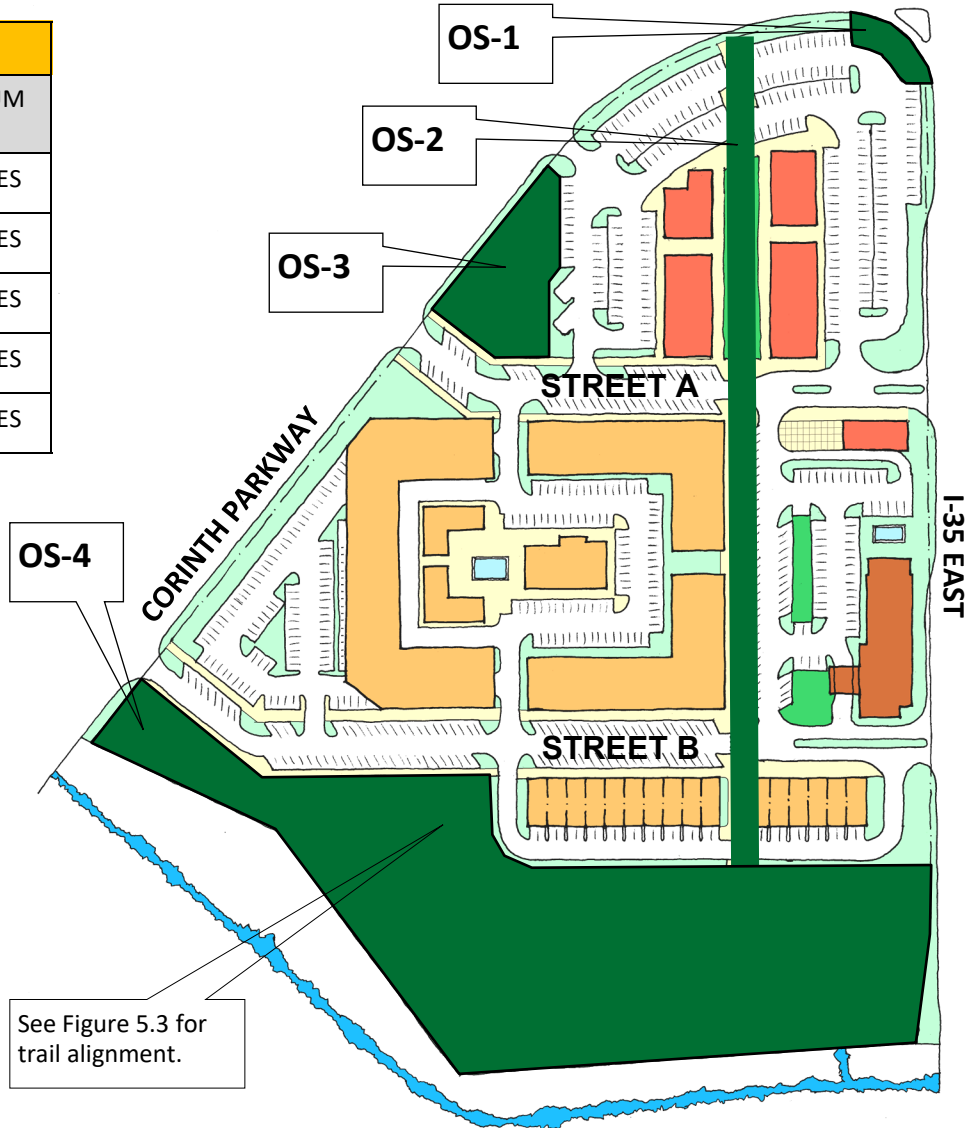
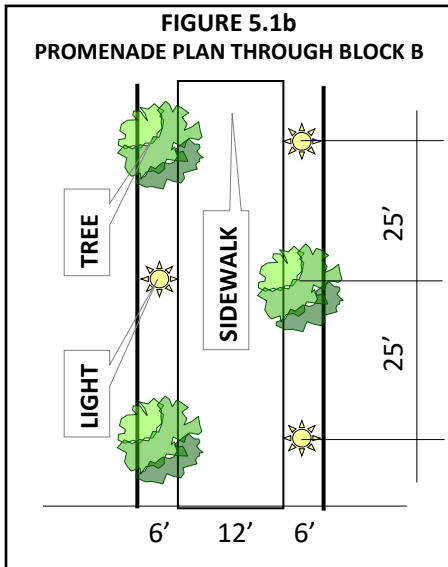
NOTE 3: Street Trees shall be located behind the curb. See Section 5 for Street Tree planting standards.

NOTE 4: Sidewalks are required within the right-of-way and shall be a minimum of 5' in width.

PARKS AND OPEN SPACE STANDARDS

**FIGURE 5.1a
OPEN SPACE PLAN**

TABLE 5.1: OPEN SPACES		
	PUBLIC OPEN SPACES	MINIMUM AREA
OS 1	LANDMARK CORNER	0.1 ACRES
OS 2	PROMENADE	0.3 ACRES
OS 3	TREE-SAVE AREA	0.2 ACRES
OS 4	GREENWAY	3.0 ACRES
	TOTAL	3.6 ACRES



5.1: Parks & Open Space Standards

- A. **General:** The Planned Development District provides both public and private open space in order to insure adequate outdoor recreational and aesthetic amenities for the residents. Private open space is not included in open space tabulations. The Public Open Spaces shall equal or exceed 10% of the gross area of the Planned Development District.
- B. **The Public Open Space** shall consist of a number of outdoor spaces that shall comply with the minimum standards and requirements herein. The following open spaces labelled as OS 1 through OS 3 are public open spaces owned and maintained privately but open to the public. OS 4 may be maintained by the City.
- C. **OS 1 Landmark Corner:** The Landmark Corner shall be located in Block A and shall be contiguous to the intersection of Corinth Parkway and I-35E ROW. It shall be a minimum of 0.1 acres. OS 1 shall connect to a walkway that connects the crosswalk at the intersection of Corinth Parkway and I-35E ROW to OS 2. An area shall be allocated for the use of the City to install signage, by entities other than Applicant, in coordination with the Applicant's Site Plan process.
- D. **OS 2 Restaurant Promenade:** The Restaurant Promenade shall be adjacent to the proposed restaurant pads. The open space shall include a minimum of 0.3 acres and trees planted at the rate of 1 tree for every 900 SF. OS 2 shall be a minimum of 24 feet in width.

SECTION 5

- E. **OS 3 Tree Save Area:** The open space shall include a tree-save area within the open space area. OS 3 shall be a minimum of 0.2 acres. Unprotected trees and undergrowth may be cleared to create a more park-like atmosphere. Monument signage is permitted within OS 3.
- F. **OS 4 Greenway:** The Greenway shall include a pedestrian trail with benches, and may include a detention area, a tree-save area, and perimeter trees along the private parking lot boundary at the rate of 1 tree for each 30' buffering the boundary between Block D and the open space. Trees may be clustered. The detention area may include retaining walls. The detention area shall be privately maintained.

G. Landscape Buffers

1. **Corinth Parkway, Block A:** Trees planted approximately 50' o.c. Shrubbery or ornamental grasses planted as a continuous screen to a mature height of approximately 3' and/or a stone wall to a minimum height of 3' matching the stone and the detailing of the stone wall on Block C.
2. **Corinth Parkway, Block C:** Berm averaging a height of 30 inches, Trees planted at the rate of one tree for every 50' but trees may be planted in clusters. Shrub-

bery or ornamental grasses planted at the rate of one 3 gallon shrub every 20' but may be planted in clusters; a minimum of 500 SF ground cover. Provide a stone wall on at least 25% of the frontage with a minimum average height of 30". Stonework to match the stone wall on Block A.

3. **Corinth Parkway, Block E: NA**
4. **I-35E, Block A:** Provide a sidewalk complying with the trail plan, plant trees approximately 50' o.c., provided they do not interfere with the waterline easement.
5. **I-35E, Block B:** Provide a sidewalk complying with the trail plan, plant trees approximately 50' o.c., provided they do not interfere with the waterline easement. Plant shrubbery as a continuous hedge to a minimum height of 3' at maturity.
6. **I-35E, Block D:** Provide a sidewalk complying with the trail plan, plant trees approximately 50' o.c., provided they do not interfere with the waterline easement.
7. **I-35E, Block E: NA**

5.2: Trees

- A. **General:** The Planned Development District shall have preserved trees in the Tree-Save areas and newly planted trees in the street ROW's, in the parks and open spaces, and in the parking lots.
- B. **Tree Inventory:** The urban format of the development necessarily requires re-creating a new tree canopy that conforms to the development pattern of buildings, streets, urban parks and trails. A tree inventory shall be required with each site plan application, covering the proposed area of improvement and grading.
- C. **Species:** Acceptable tree species and other planting material shall comply with species approved by the City.
- D. **Minimum Size:** The minimum size trunk diameter of newly planted trees shall be 3" (three inches).
- E. **Minimum Tree Planter:** The minimum size for a tree planter, whether a parking lot island or a street tree planting well, shall be 4'-6" in width and a minimum of 32 square feet. A root barrier shall be required adjacent to public streets. A smaller tree well may be approved by staff upon review and approval of plans, details, and specifications.
- F. **Tree-save areas** shall be subject to protection during construction, limiting grading within the dripline of preserved trees and prohibiting construction traffic and staging within tree-save areas. Tree-save areas shall preserve natural grade.

TABLE 5.2: MINIMUM TREE PLANTING TABLE	
LOCATION	MINIMUM TREE PLANTING
STREETS	1 TREE/50' MAXIMUM SPACING
PARKING LOTS	1 TREE / 12 PARKING SPACES
OS 1	4 TREES MINIMUM
OS-2	2 ROWS OF TREES, 50' MAXIMUM SPACING ON EACH ROW
OS-3	NO ADDITIONAL PLANTING REQUIRED
OS-4	PLANTING PER PARAGRAPH 5.1.F

**FIGURE 5.2
WALKWAY PLAN**

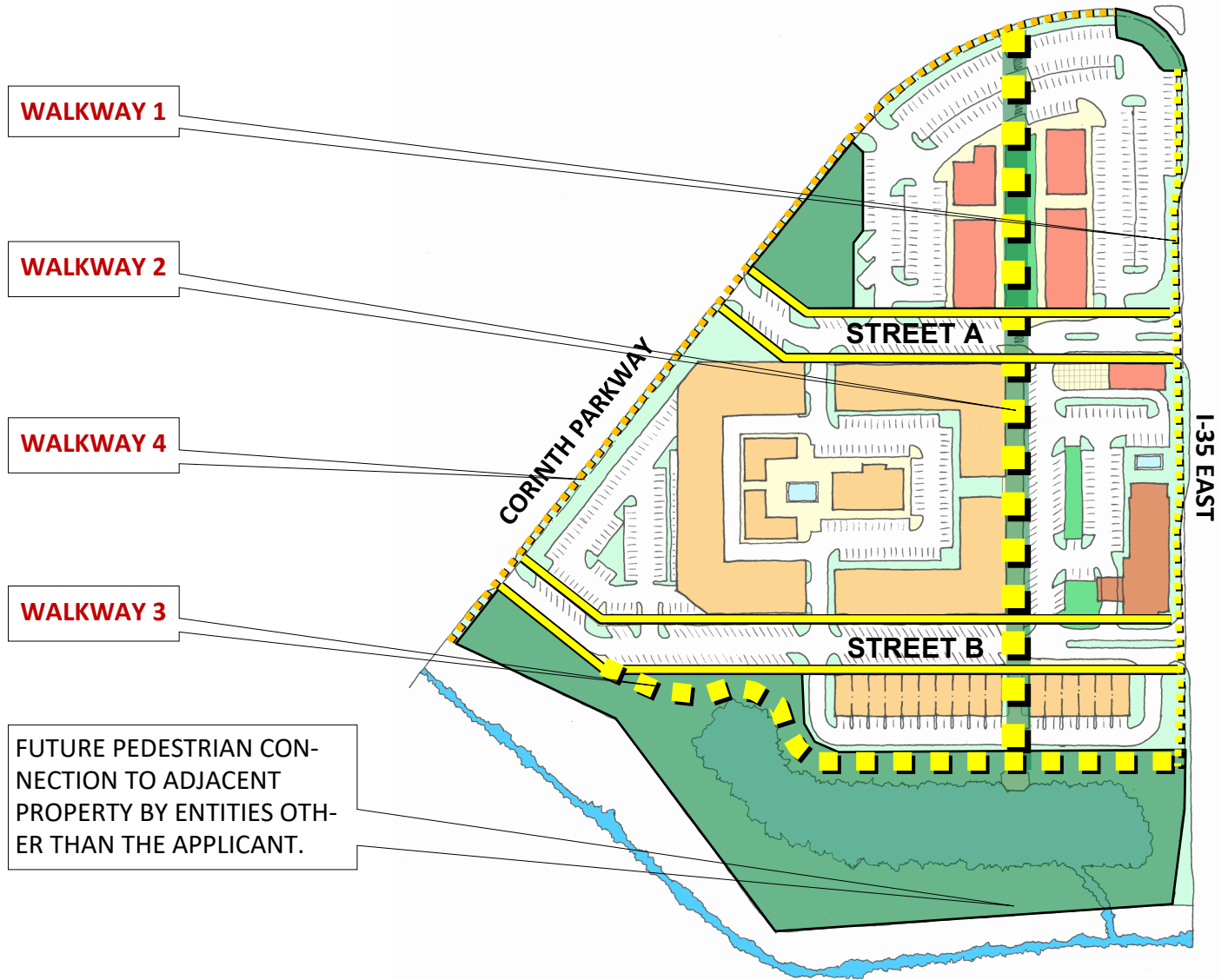
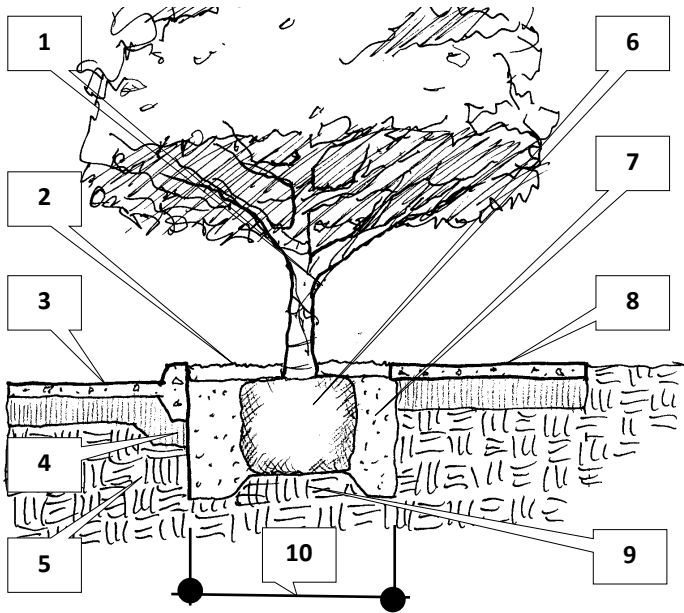


TABLE 5.3: TRAILS AND SIDEWALKS

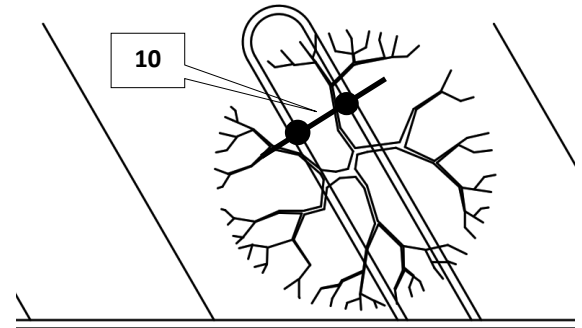
	OPEN SPACES	MINIMUM WIDTH	LEGEND
WALKWAY 1	REQUIRED SIDEWALK ADJACENT TO I-35E	5'	
WALKWAY 2	PROMENADE FROM CORINTH PARKWAY TO OS-4	12'	
WALKWAY 3	GREENWAY TRAIL FROM CORINTH PARKWAY TO I-35E	6'	
WALKWAY 4	EXISTING SIDEWALK ON CORINTH PARKWAY	NA	
	SIDEWALKS ON STREET A AND STREET B	5'	

FIGURE 5.3 TREE PLANTER DETAIL



Tree located behind curb

- 1. Tree staked and irrigated
- 2. 3" minimum mulch cover
- 3. Street paving
- 4. Root barrier
- 5. Undisturbed soil
- 6. Root ball
- 7. Soil backfill
- 8. Sidewalk
- 9. Pedestal of undisturbed soil
- 10. 4' 6" minimum tree planting width.



Tree located in on-street landscape island

PARKING STANDARDS

6: REQUIRED PARKING STANDARDS

The number of required parking spaces shall be determined as follows:

- A. Parking spaces for persons with disabilities shall be provided in the number and with such dimensions as are required by the Texas Accessibility Standards.
- B. The parking requirement may be reduced upon a submittal of a parking demand calculation by a licensed Texas Engineer.
- C. Dimensions. The minimum required dimensions of parking spaces and aisles shall be as indicated in this Section 6, Table 6.2.
- D. On-Street Parking: On-street parking may be counted toward required parking. No on-street parking space may be counted toward more than one platted lot, without submitting a shared parking study for approval.
- E. Parking may be shared across blocks.
- F. Covered Parking: Carports shall comply with the regulations governing building materials. Carports of metal construction are permitted, but may not be located within sight of public streets, or anywhere within Block D.
- G. Structured Parking: The parking facility may be visible from public streets provided that building materials conform to Section 7 of these standards. Glass shall not be required, but walls shall be designed to conceal parked cars to a height of 42 inches above each finished floor level.
- H. Parking Lot Trees: Trees shall be planted in surface parking lots in accordance with Table 5.2.

TABLE 6.1 MINIMUM REQUIRED PARKING	
OCCUPANCY / USE	MINIMUM REQUIRED PARKING
General Retail	1 space per 250 sq ft
General Office	1 space per 350 sq ft
Restaurants	1 space per 100 sq ft
Urban Lofts	1.45 spaces per Dwelling Unit
Townhomes	2 enclosed garage spaces per Unit
Hotel	1 spaces per guestroom plus 5% for staff

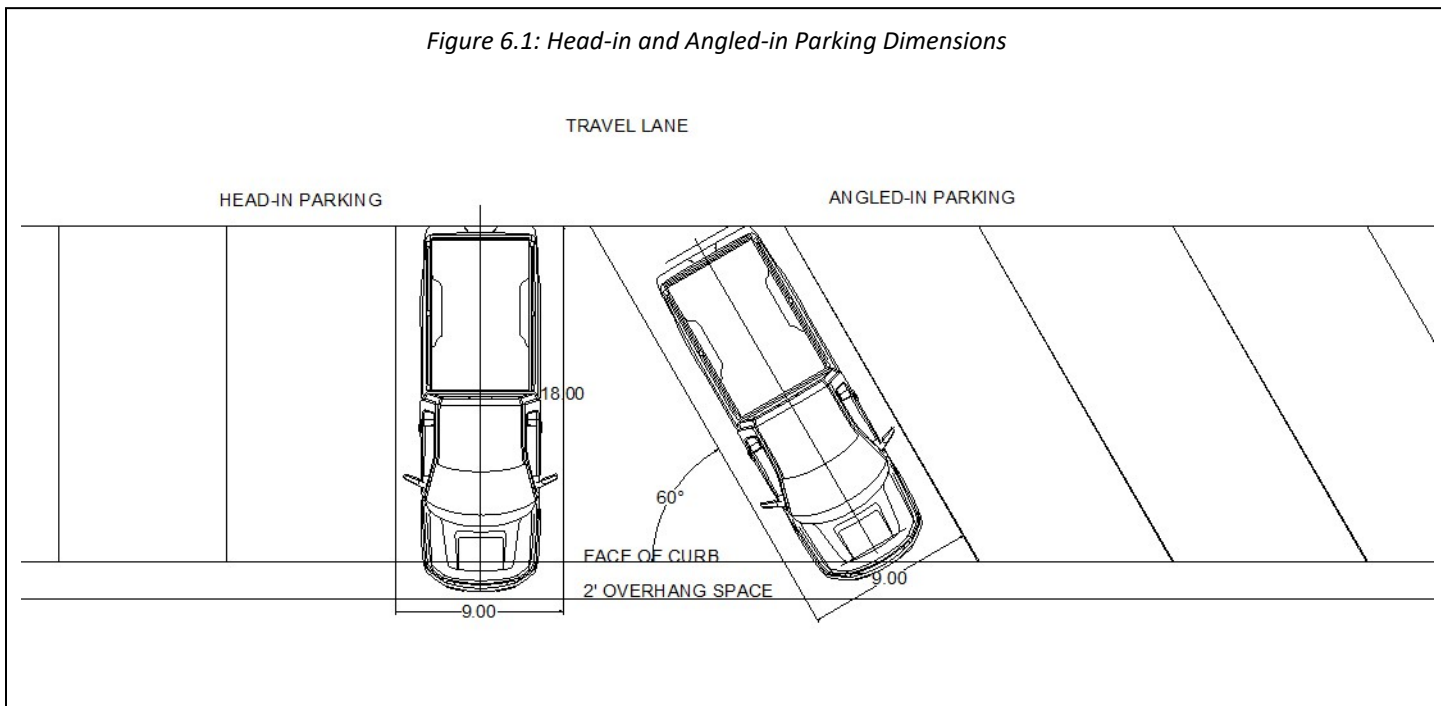
TABLE 6.2 PARKING STANDARDS		
PARKING TYPE	PARKING STANDARD	COMMENT
ON-STREET PARKING:		
Parallel Parking:	8' x 22' min	From Face of Curb
Angled-in Parking	See Figure 6.1	Angle = 60° from Curb
Head-in Parking	9' x 18'	Angle = 90° from Curb
PARKING LOTS		
Parking Space, Typical	9' x 18'	Accessible spaces comply w ADA
Aisle Width	24' min	
Landscape Requirements		1 tree per 12 spaces average
Tandem Spaces	9' x 18'	Only behind associated garage space for same tenant
GARAGES		
"Tuck-under" Garage Spaces	9' x 20' Min	Within Building Envelope
"Tuck-under" Garage Doors		Garage Doors Required
Carport Spaces	9' x 18'	Not readily visible from public street

TABLE 6.3 PARKING TABULATION (See Figure 3.2 for Land Use Inventory Acreage)

Quantities are estimates and do not represent minimum or maximum units.	BLOCKS					LAND USE TOTALS	PARKING REQUIRED
	A	B	C	D	E		
URBAN RESIDENTIAL LOFTS (# OF UNITS) ESTIMATED UNIT COUNT & UNIT MIX: EFFICIENCY AND 1 BEDROOM 60%; 2 BEDROOM 35%, 3 BEDROOM 5%.			327			327	475
TOWNHOMES				25			50
HOTEL (ESTIMATED GUESTROOMS)		80				80	84
RESTAURANTS (ESTIMATED AREA)	20,000	3,000				23,000	230
OFFICE (ESTIMATED AREA)		0	2,500			2,500	8
TOTAL REQUIRED PARKING	200	114	483	50	0		847

PARKING PROVIDED SHALL MEET OR EXCEED THE REQUIRED PARKING.

Figure 6.1: Head-in and Angled-in Parking Dimensions



ARCHITECTURAL STANDARDS

SECTION 7: ARCHITECTURAL STANDARDS

General Standards Applicable to All Zones

- A. General: The following general regulations for all Blocks within the Planned Development District.
- B. The purpose of the architectural and building regulations is to establish the highest development standards fronting public streets, and to allow greater flexibility where the buildings are not visible to the public.
- C. Since the Planned Development standards do not include detailed engineering plans, any architectural elements that are required by engineering due to grading, such as retaining walls or stem walls, shall be permitted, and shall be brick or stone where visible.
- D. If an exterior material is not addressed in the table, or if a new material falls into a prohibited category but should be permitted, the material may be submitted to DRC for an evaluation. If it is deemed appropriate, it may be approved administratively, **subject to deed restrictions by the EDC.**
- E. Windows shall be recessed 3" from the wall plane in brick or stone masonry walls. In stucco walls, windows shall have a minimum half inch projecting trim around the head, sill, and jambs.
- F. Street Frontage
1. No vehicular gates, carports, or perimeter fences are permitted to obstruct the flow of traffic on Street A or Street B.
 2. AC equipment and other mechanical equipment shall not be located between the building façade and any public street ROW.
 3. Block C Upper Floors shall provide a minimum of 25% of the residential units with balconies.
 4. Façade materials shall comply with Figure 7.1.
- G. Materials: Three Step Stucco shall be included in Class 1 materials, which shall not include synthetic stucco or EIFS except for decorative trim. Cementitious Siding shall be included in Class 2 materials.
- H. The color palette for building walls that are not composed of brick or stone shall be neutral colors such as cream, taupe, white or earthen colors, unless approved administratively by City Staff. This color palette shall not apply to signage.
- I. Commercial Storefront shall include a minimum of 50% glass of the ground floor commercial frontage. The wall area shall be calculated by multiplying the length of the building frontage by the height from the finished interior floor to the finished ceiling. The glass area shall include window jambs, window heads, and window sills. Storefront windows shall have bulkheads beneath the windows not less than 18" above finished floor and not greater than 36" above finished floor. This paragraph **shall apply to commercial space in Block C; it shall not apply to restaurants or hotels.**
- J. **BUILDING C1: Ground floor residential units fronting Street A shall have a minimum of 50% of ground floor residential units with stoops and front doors opening onto the public street although primary access may be either from the sidewalk or from an interior corridor. The 4th floor located at the corner of Street A and the promenade (Walkway 2) shall include specialty architectural treatment: this may include additional glass, an identifying tower, an articulated roofline, or other signature treatment.**
- K. **BUILDING C2: Ground floor residential units fronting Street B shall have a minimum of 50% of ground floor residential units with stoops and front doors opening onto the public street.**
- L. Residential units in Block D shall have individual entry doors fronting on Street B. Front facades shall at least one of the following architectural features: 1) Elevated stoop, 2) Front Porch, 3) Covered Portico, 4) Recessed entry alcove.
- M. Residential Units in Block D shall have carriage style garage doors on any garages facing a public open space.
- N. Residential Units in Block D shall have roof pitches not less than 5:12 Pitch.
- O. Fire Safety Notes
1. Any building 6,000sqft or greater, all multi-living (more than 2) facilities, and A2 with an occupant load exceeding 100 people must be sprinklered and monitored with a fire alarm system.
 2. Any building that is under 6,000sqft and is suited will require Fire Alarm Coverage.
 3. Parking garage must have stand-pipe and may be required to be sprinklered.
 4. All buildings may require Emergency Radio Responder Communication Coverage.
 5. Fire lanes must be a minimum of 24ft wide and a minimum of 26ft wide for buildings or facilities exceeding 30ft or three stories in height and shall not have fewer than 2 means of fire apparatus access to each structure.

TABLE 7.1 MATERIAL BUILDING STANDARDS

ITEM	FACADE A	FACADE B
FACADE MATERIALS - GROUND FLOOR		
GROUND FL MASONRY, MINIMUM	90% CLASS 1**	90% CLASS 2**
FACADE MATERIALS - 2ND FLOOR AND ABOVE FLOOR		
MASONRY MINIMUM	90% CLASS 1**	90% CLASS 2**
CEMENTIOUS SIDING, maximum	10% *	n/a
METAL, maximum	10%	10%
WOOD, maximum	10%	10%
EIFS, maximum	10%	10%
EXPOSED CMU	N	N
EXPOSED AGGREGATE	N	N

* Cementitious Siding permitted on recessed balconies in addition to minimum percentage.

** Corinth UDC Section 5.02.214: Masonry Construction—**as modified by Paragraph 7.G**

Class 1: Masonry Construction shall include the following exterior construction materials: fired brick, natural and manufactured stone, granite, and marble, **plus 3-step Stucco**.

Class 2: Masonry Construction shall include the following exterior construction materials: all Class 1 Masonry Construction, architectural concrete block, 3-step stucco process, and tilt wall concrete panels, **plus cementitious siding**.

Class 3: Masonry Construction shall include the following exterior construction materials: all Class 1 Masonry Construction, Class 2 Masonry Construction, EIFS, and sealed and painted concrete block.

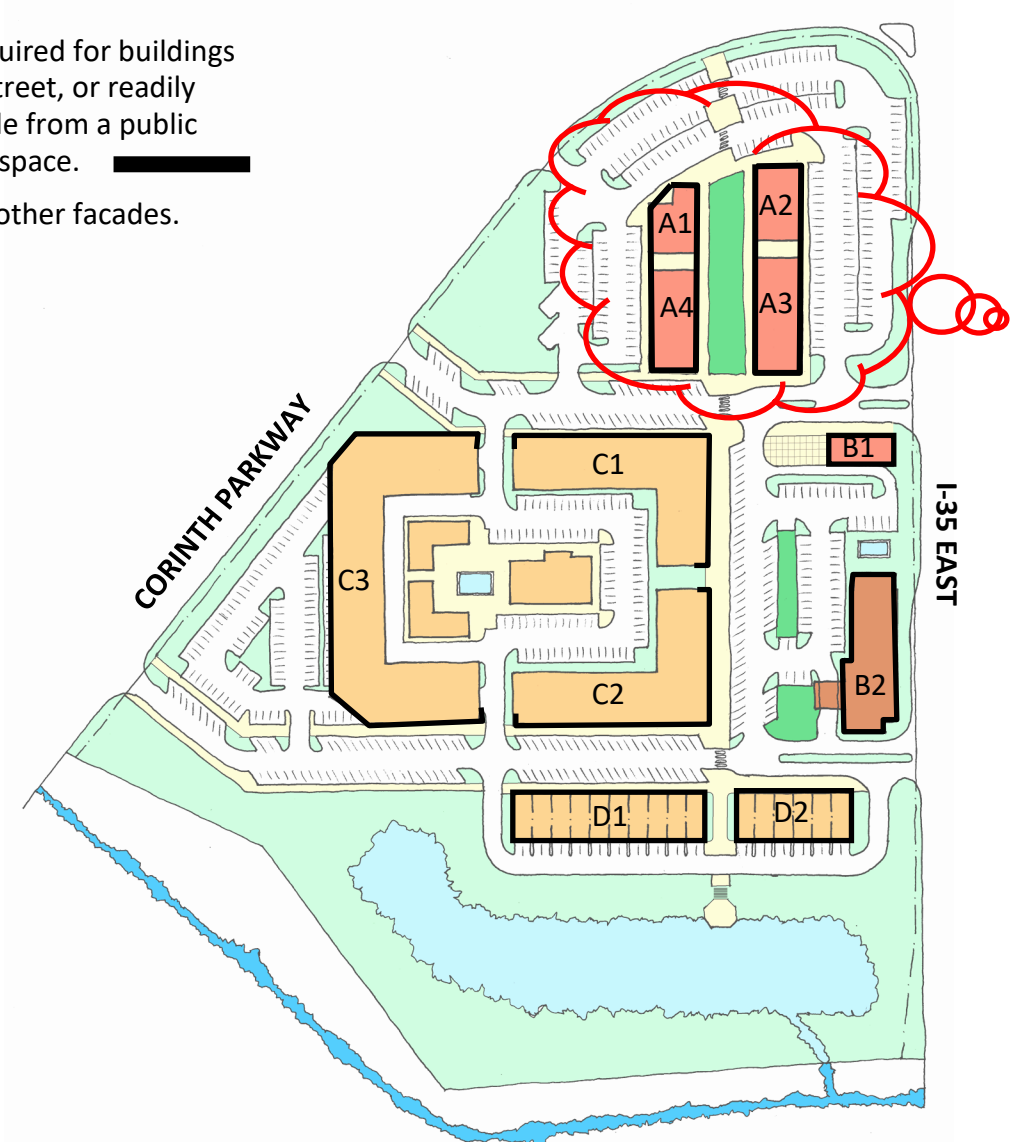


Examples of townhome stoops

**FIGURE 7.1
FRONTAGE PLAN**

FAÇADE TYPE A: Required for buildings fronting on a public street, or readily and significantly visible from a public street or public open space. ■■■■■

FAÇADE TYPE B: All other facades.



SIGNAGE STANDARDS

SECTION 8

SECTION 8: SIGNAGE STANDARDS

- A. General: The following identify general regulations for all Blocks within the Parkway District Planned Development.
- B. The Parkway District Planned Development shall comply with the Corinth sign regulations as established in Section 4.01 of the UDC, except as described below.
- C. For the purpose of signage regulation, all businesses within the PD District shall be considered as residing on a single lot; all signs referring to businesses with the Parkway District shall be considered on-premise signs.
- D. Parkway District Planned Development fronting Corinth Parkway or I-35E may consist of multiple businesses, and may include the following signage types.
 1. Attached Signs: Attached signs shall be permitted on building facades as indicated in Figure 8.1 below.
 2. Monument Signs I-35E: Shall be permitted in locations indicated in Figure 8.1. Signs shall be located with a minimum 10' setback from Corinth Parkway and I-35E ROW, shall not exceed 40' in height, and the smallest rectangle encompassing the lettering shall not exceed 120 square feet.
 3. Monument Signs Corinth Parkway: Shall be permitted in locations indicated in Figure 8.1. Signs shall be located with a minimum 10' setback from Corinth Parkway and I-35E ROW, shall not exceed 18' in height, and the smallest rectangle encompassing the lettering shall not exceed 120 square feet.

**FIGURE 8.1
SIGNAGE PLAN**

-  ATTACHED SIGN
-  MONUMENT SIGN I-35E
-  MONUMENT SIGN CORINTH PARKWAY
-  RESERVE SPACE, TO BE DETERMINED, FOR CITY-INSTALLED KIOSK

