

\*\*\*\*PUBLIC NOTICE\*\*\*\*



**CITY COUNCIL SPECIAL WORKSHOP SESSION**  
**Thursday, November 14, 2024 at 5:45 PM**  
**City Hall | 3300 Corinth Parkway**

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- A. NOTICE IS HEREBY GIVEN** of a Special Workshop Session of the Corinth City Council.
- B. CALL TO ORDER**
- C. WORKSHOP AGENDA**
  - 1. Conduct a workshop and hold an informal discussion on a rezoning request by the Applicant, 2200 Corinth Holdings LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family to MX-C Mixed Use Commercial on approximately ±6.3 acres located at 2200 FM 2181. (2200 FM 2181 Rezoning to MX-C)
  - 2. Conduct a workshop and hold an informal discussion on the proposed Canyon Lake Ranch Planned Development on approximately ±107 acres located at 2950 FM 2181.
- D. ADJOURN WORKSHOP**

Posted on this 11<sup>th</sup> day of November 2024, at 5:00 P.M., on the bulletin board at Corinth City Hall.

A handwritten signature in cursive script that reads "Lana Wylie".

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Lana Wylie  
City Secretary  
City of Corinth, Texas

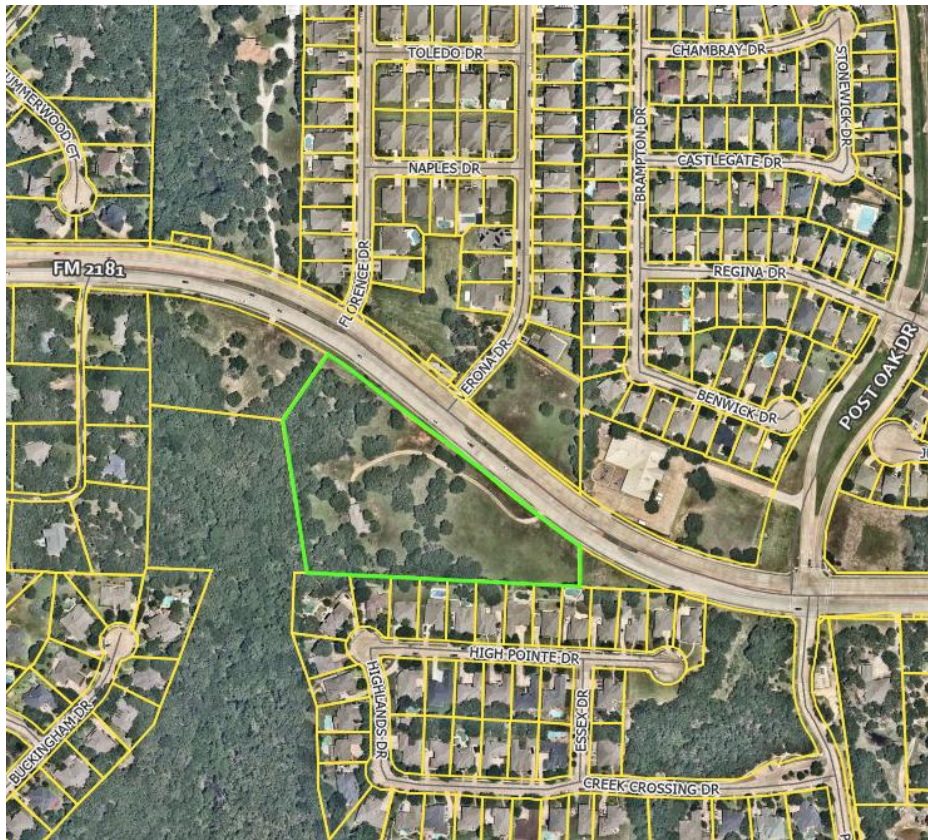


**CITY OF CORINTH  
Staff Report**

<b>Meeting Date:</b>	11/14/2024	<b>Title:</b>	WS – 2200 FM 2181 Rezoning to MX-C
<b>Strategic Goals:</b>	<input type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input type="checkbox"/> Attracting Quality Development		
<b>Owner Support:</b>	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission		

**Item/Caption**

Conduct a workshop and hold an informal discussion on a rezoning request by the Applicant, 2200 Corinth Holdings LLC, to amend the Zoning Ordinance and Zoning Map of the City of Corinth, each being a part of the Unified Development Code, from SF-2 Single Family to MX-C Mixed Use Commercial on approximately ±6.3 acres located at 2200 FM 2181. (2200 FM 2181 Rezoning to MX-C )



**Location Map**

**Item Summary/Background**

The Applicant, 2200 Corinth Holdings LLC, has submitted a request to rezone the property depicted above from SF-2 Single Family Residential to MX-C Mixed Use Commercial. The purpose of this workshop meeting is to review the application site and elements and requirements of the MX-C zoning district with the City Council and receive feedback.

**Important Items to Consideration During the Workshop**

1. The Workshop meeting is not a public hearing. The purpose of the meeting is to allow the Applicant the opportunity to provide an overview of the elements of the application and receive feedback from the Commission.
2. Members of the City Council are encouraged to offer comments, ask questions, and express any concerns but should not indicate how they would vote on the request at a future public hearing.

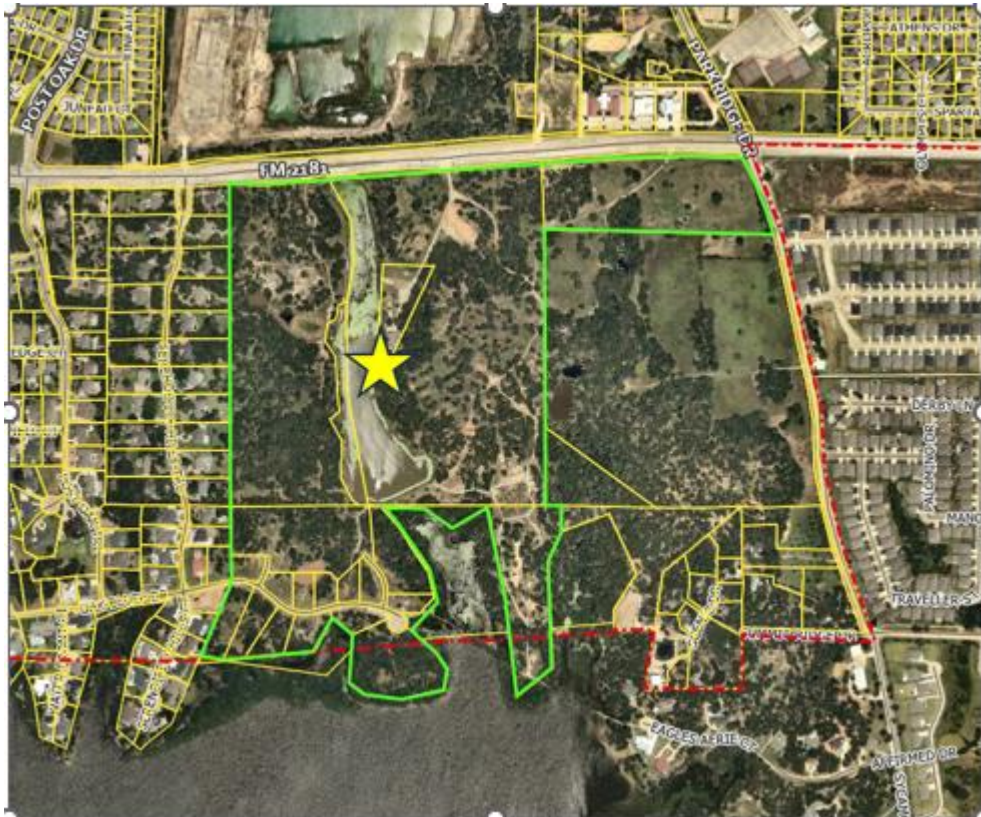


# CITY OF CORINTH Staff Report

<b>Meeting Date:</b>	11/14/2024	<b>Title:</b>	WS   Canyon Lake Ranch Planned Development
<b>Strategic Goals:</b>	<input type="checkbox"/> Resident Engagement <input checked="" type="checkbox"/> Proactive Government <input type="checkbox"/> Organizational Development <input type="checkbox"/> Health & Safety <input type="checkbox"/> Regional Cooperation <input type="checkbox"/> Attracting Quality Development		
<b>Owner Support:</b>	<input type="checkbox"/> Planning & Zoning Commission <input type="checkbox"/> Economic Development Corporation <input type="checkbox"/> Parks & Recreation Board <input type="checkbox"/> TIRZ Board #2 <input type="checkbox"/> Finance Audit Committee <input type="checkbox"/> TIRZ Board #3 <input type="checkbox"/> Keep Corinth Beautiful <input type="checkbox"/> Ethics Commission		

**Item/Caption**

Conduct a workshop and hold an informal discussion on the proposed Canyon Lake Ranch Planned Development on approximately ±107 acres located at 2950 FM 2181.



**Location Map**

**Item Summary/Background**

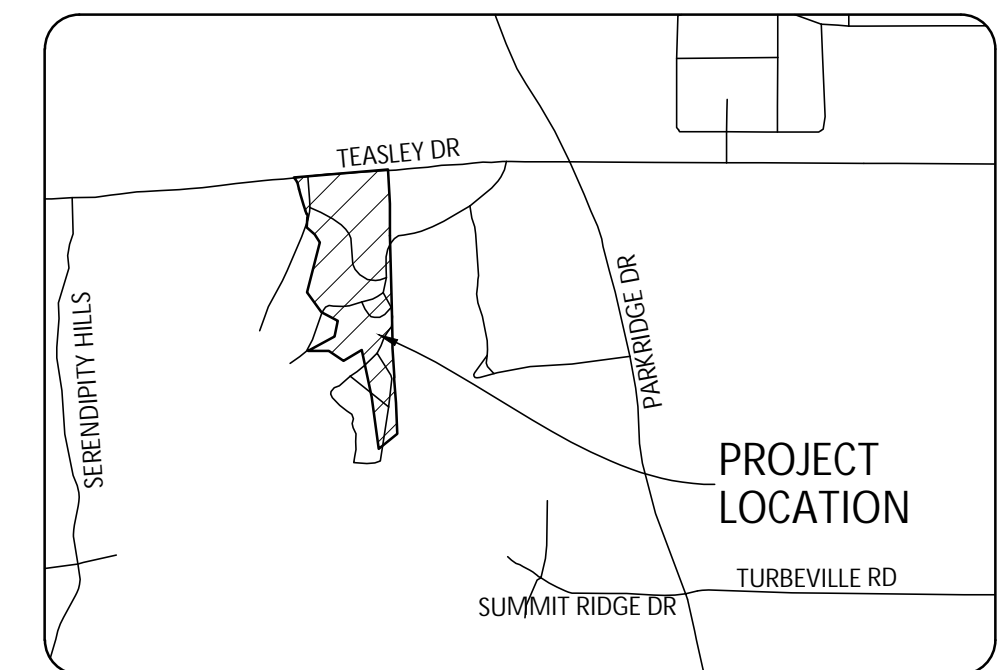
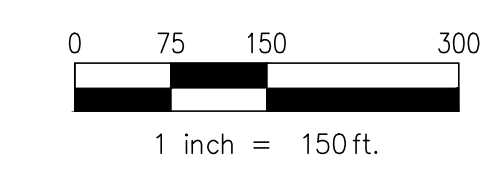
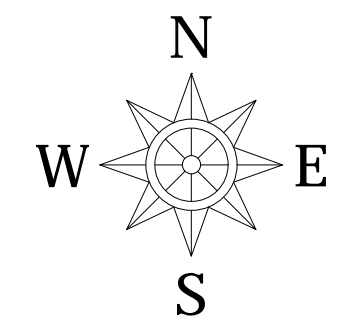
The developer/property owner, Michael Ingle, has submitted a rezoning request to establish a Planned Development District for a mixed-use development on the properties depicted above. The property at the southwest corner of Parkridge Dr and FM 2181 is currently zoned C-2 Commercial, with the remaining properties being zoned PD-36 which has base zoning districts of SF-3 Single Family Residential and C-2 Commercial. The purpose of this workshop meeting with the City Council is to receive feedback on the attached preliminary concept plan for the subject site.

**Important Items to Consideration During the Workshop**

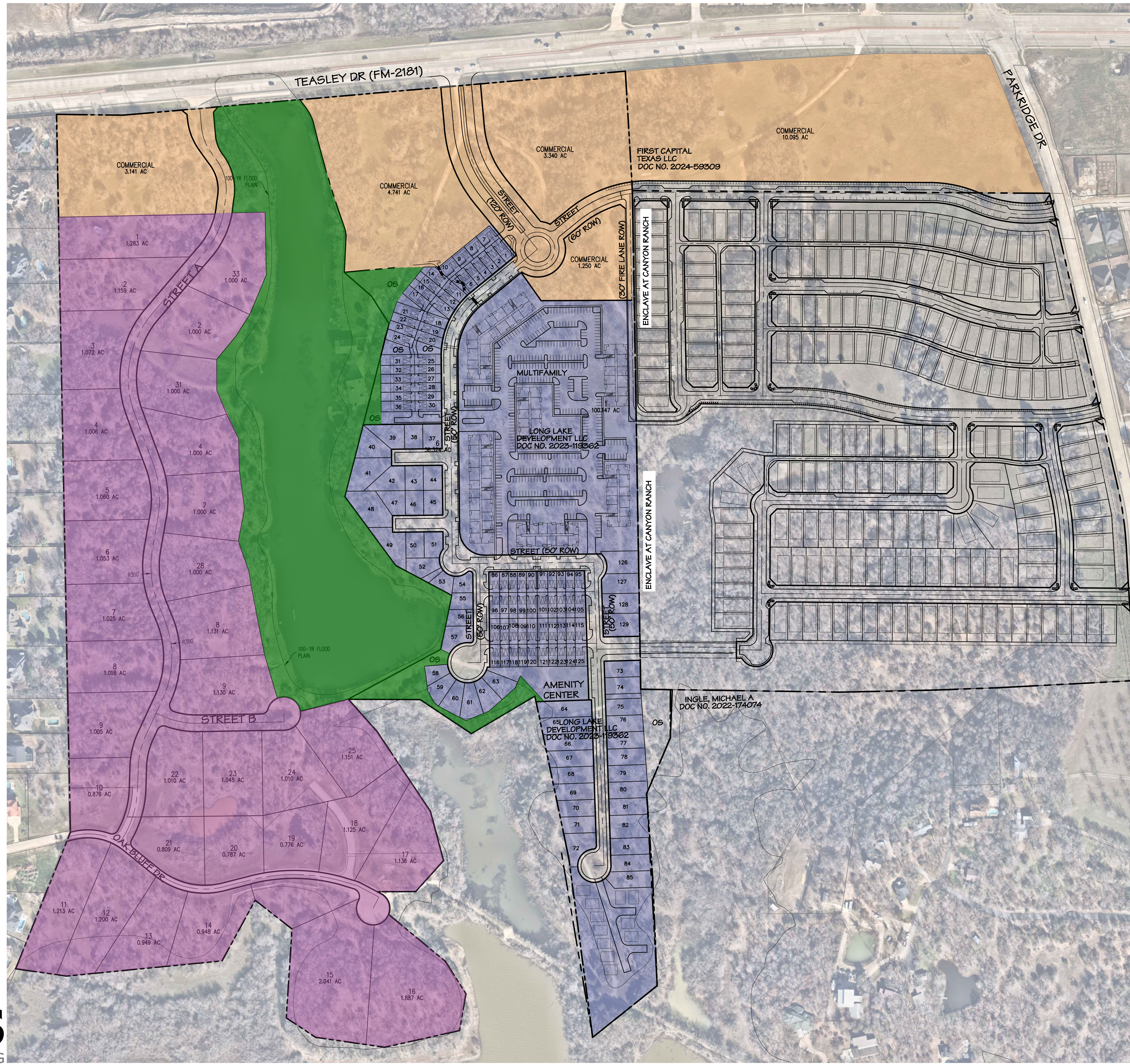
1. The Workshop meeting is not a public hearing. The purpose of the meeting is to allow the developer the opportunity to provide an overview of the elements of the proposal and receive feedback from the City Council.
2. Members of the City Council are encouraged to offer comments, ask questions, and express any concerns but should not indicate how they would vote on the proposal at a future public hearing.

**Attachments**

1. Concept Plan



Vicinity Map



LEGEND

- Proposed Subdistrict C - SF2 (amended)
- Proposed Subdistrict B MX-C - MF/TH
- Proposed Subdistrict A MX-C - Commercial
- Proposed Open Space

CONCEPT PLAN - KEY MAP

**LONG LAKE**

IN THE CITY OF CORINTH, DENTON COUNTY, TEXAS  
M.E.P. & P.R.R. SURVEY ABSTRACT NO. 915  
1,746,646 Sq. Ft./40.097 Ac.

ENGINEER / SURVEYOR/  
Spiars Engineering, Inc.  
765 Custer Road, Suite 100  
Plano, TX 75075  
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Drawing: C:\2024\_08\524-052 Long Lake\CD\01\01\03 - Concept Plan.dwg Saved By: Bmurdal Save Time: 9/19/2024 7:31:59 AM Plotted by: Bmurdal Plot Date: 9/19/2024 7:36 AM