



PLANNING COMMISSION

Wednesday, May 07, 2025

Regular Meeting - 6:00 PM

City Hall – City Council Chambers

425 Webster Street, Colusa, CA 95932

AGENDA

The public may address the Commission on any agenda item during the Commission's discussion of that item, not to exceed three (3) minutes. We ask that the speaker kindly be recognized by the Planning Commission Chair before speaking and be limited to one comment, per item.

Chair – John Martin

Vice Chair – Jean-Pierre Cativiela

Commissioner – Sara Andreotii

Commissioner – Amy Schmidt

Commissioner – Thomas Roach

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

APPROVAL OF THE AGENDA

CONSENT CALENDAR - *Items on the Consent Calendar may be removed and discussed at the request of a Commission member.*

PUBLIC COMMENTS *The Planning Commission may read / address comments on any item concerning subject matter that is within the Planning Commission's jurisdiction. No action may be taken on items not posted on the agenda, other than to briefly respond, refer to staff, or to direct that an item be placed on a future agenda.*

PUBLIC HEARING

1. Use Permit—Rancho Colus Phase II 1717 Highway 20 (APN 002-120-029) to construct 48 residential units on 3.66 acres. The subject site contains a split zoning designation, with R-4-HD - General Apartment District-High Density Zoning on the eastern side, which contains Rancho Colusa Phase I, and MUB- Bridge Street Mixed Use on the eastern side that abuts Highway 20.

Recommendation: Open the Public Hearing and Commission to approve the project and adopt the required findings contained in the Resolution, subject to conditions of approval (**Attachment A**) and find the project is exempt from review under the California Environmental Quality Act pursuant to Section 15332 (In-fill Development).

PLANNING COMMISSION MATTERS *Discussion of current Planning Department projects.*

SELECTION OF OFFICERS - Chair, Vice-Chair and Secretary

FUTURE AGENDA ITEMS

ADJOURNMENT

A handwritten signature in blue ink, appearing to read "Shelly Kittle", is positioned above a horizontal line.

SHELLY KITTLE, CITY CLERK

Americans with Disabilities Act

In compliance with the Americans with Disabilities Act, persons requiring accommodations for a disability at a public meeting should notify the City Clerk at least 48 hours prior to the meeting at 530-458-4941 in order to allow the City sufficient time to make reasonable arrangements to accommodate participation in this meeting.

"This institution is an equal opportunity employer and provider"



City of Colusa California

STAFF REPORT

DATE: May 7, 2025
TO: Planning Commission
FROM: Jake Morley, Planning Consultant

AGENDA ITEM: Use Permit—Rancho Colus Phase II 1717 Highway 20 (APN 002-120-029) to construct 48 residential units on 3.66 acres. The subject site contains a split zoning designation, with R-4-HD - General Apartment District-High Density Zoning on the eastern side, which contains Rancho Colusa Phase I, and MUB- Bridge Street Mixed Use on the eastern side that abuts Highway 20.

Recommendation: Staff recommend that the Planning Commission approve the project and adopt the required findings contained in the resolution subject to conditions of approval (**Attachment A**) and find the project is exempt from review under the California Environmental Quality Act pursuant to Section 15332 (In-fill Development).

BACKGROUND:

The proposed project is a 3.66-acre site located at 1717 Highway 20, directly north of the Assembly of God church (see **Attachment B, Location/Aerial Photo**). The subject site contains a split zoning designation, with R-4-HD – General Apartment District-High Density Zoning on the eastern side which contains Rancho Colus Phase I, and MUB – Bridge Street Mixed Use on the eastern side that abuts Highway 20. Because the western portion of the site is in the MUB zoning district, a Use Permit approval is necessary to permit the construction of the project (**See Attachment C, Zoning Map**), while the housing on the eastern side of the property was by right.

Phase I of the project has already improved and contains a total of 48 units, with a mix of one-, two- and three-bedroom units, along with a manager unit, parking stalls and outdoor common area improvements. The common area contains raised gardens beds, community center, play structure, picnic area 74 parking stalls and trash enclosure (See **Attachment D – Applicants Project Description**).

The two new structures (Building 3 and 4) are proposed to have a total of 48 units, with a mix of one-, two- and three-bedroom units. The structures are placed in a manner where the front doors face each other and creates a common walk-up courtyard (See **Attachment E – Site Plan**). At 34-feet and 7-inches in height the structure will contain horizontal panels and composition shingle roofs (Sagewood). The structures and railings will be painted in five assorted colors (Sherwin

Williams – Oakmoss, Simplify Beige and Sundried Tomato, Brevity Brown and Greenblack) provide interest and to alleviate the massing of the building (See **Attachment F – Elevations**).

Pursuant to the Colusa General Plan, the total maximum number of units per acre is 20 which would permit up to 73 total units of the entire site. However, the applicant is invoking the right to utilize State Density Bonus Law (SDBL), which permits projects that guarantee the construction and occupancy of affordable units within the project to exceed local density restrictions and request concessions from the Colusa Municipal Code (CMC). In this instance, the applicant is proposing to increase the total number of units to 96 (new density of 26.2 units per acre).

ANALYSIS:

The California Department of Housing and Community Development (HCD) determines how much housing, at a variety of affordability levels, is needed for each region of the state through the Regional Housing Needs Allocation (RHNA) process. HCD then notifies local governments of their RHNA numbers, which are then adopted into each agencies Housing Element.

For the current cycle of 2020-2028 Housing Element, the following affordable units have been allocated to the City:

Income Limits	Total Units
Very Low	76 Units
Low	64 Units
Moderate	79 Units
Above Moderate	160 Units

Rancho Colus Phase II would bring to market a total of 48 Affordable units, of which 28 would be available at Very Low Income while 20 Low Income. These Affordable income levels mirror those as found in Rancho Colus Phase I. Phase I improvements include a 3,193 square foot community center, with a leasing office, computer stations, mail center, counseling office, great room with hospitality kitchen which can hold onsite events, restrooms and laundry facility. Outdoor amenities include a children's play structure, picnic/BBQ area, outdoor games, dog park and raised planter beds.

By utilizing SDBL, the applicant can have an 80 percent affordable bonus because the project is 100 percent affordable for Very Low- and Low-income brackets. Phase II contains 1.53 acres, based upon current zoning, up to 20 units would be permitted, or 30 total units. At 48 total units, the increase is 60 percent over permitted density and below the 80 percent allowed by SDBL.

As part of the project, the applicant is requesting two design concessions:

1. Reduction in parking from the CMC requirement of 1.5 stalls per unit to 1.3 stalls per unit.
2. Relief from CMC requirement that parking be covered.

Pursuant to the SDBL applicants are permitted to request parking reductions and design concessions as part of the process. There are no special findings that need to be made to permit approval of the request. However, local agencies can deny the request if the local agency can provide a parking analysis that was completed in the last seven years that illustrates that the area is impacted by the lack of parking and that the reduction would further burden parking in the study area. Such a study has not been completed.

As far as design concessions go, the local agency would have to prove that such a concession would not aid in the financial cost of constructing the affordable units. In this instance, the CMC notes that parking stalls need to be covered. Such an improvement would add to the cost of construction of the overall project and by granting the concession, it would aid in the ability to bring the units to the market.

Given the location of the project, which is approximately 0.20 miles from Town Country Center, a major commercial hub and that this portion of Highway 20 contains a Class II bicycle lane, the parking request to reduce the total of overall stalls from 144 to 123 can be supported (ratio of 1.5 to 1.3 stalls per unit). So, too can the relief from CMC that requires parking stalls to be covered (carport), as by removing such an improvement would directly benefit the financial ability to construct the units.

Regarding the site plan, the proposal would utilize the exiting curb cut and access point that benefits Phase I, with a row of new parking stalls on the southern portion of the site. Access then turns to the north to allow for additional stalls and terminates into a hammerhead/basketball court. The two new structures would be placed in a manner that allows them to also take advantage of Phase I improvements in a seamless manner. The structure placement also creates a courtyard with additional improvements and gathering places. Utilities are noted on the eastern side of Building 3 and 4 and screened. But HVAC systems and other wall mounted utilities are not noted on the site plan, therefore staff recommend a condition of approval to have such elements painted to match the structure and/or screened in the event they are visible from the public right of way.

Landscaping is proposed throughout the site, including small, medium, and large trees. Such trees are appropriately placed with larger trees placed in the parking lot, while smaller trees are used as accent and points of interest near structures and walkways. The landscape plan notes that at maturity, parking lot shade should be at 50% of the paved surface area. The landscape plans further note that the irrigation will be drip system, on timers and grouping of plants by water usages will be established. This note advances General Plan policies that discuss minimizing utilization of water resources, while also following AB 1881 (Water Conservation Act of 2006).

Lighting is proposed on both the structure and within the parking lot. Structure lighting is noted on the elevation around all sides of the structure. Details note that such lighting will be LED and directed downward, thereby being dark sky compliant. Parking lot lighting is also noted as LED and at pedestrian height of 16 feet, which also meets dark sky requirements.

REQUIRED FINDINGS FOR APPROVAL

GENERAL PLAN

The following General Plan Goals, Policies and Actions are applicable to the project:

Goal HSG-1: To provide a continuing supply of affordable housing to meet the needs of existing and future Colusa residents in all income categories.

Policy HSG 1.1: The City shall enforce its land use policies that allow residential growth to be accommodated with a variety of housing types within a range of densities.

Policy HSG 1.4: The City shall provide for future (long-term) regional housing needs by maintaining an adequate supply of developable land for all housing types and affordability levels.

Policy HSG 1.5: The City shall encourage the production of for-sale and rental housing units that will provide a variety of housing type, tenure and density—at all levels of affordability.

Policy HSG 1.6: The City shall promote more intensive residential development of vacant and underutilized land contiguous to existing development, particularly within walking distance of downtown Colusa, in order to reduce the cost of off-site improvements and create a compact City form.

Policy HSG 5.1: The City shall maintain sufficient capacity in the appropriate land use districts to allow for the Regional Housing Needs Allocation.

Policy HSG 5.2: The City shall maintain sufficient multi-family designated land use and zoning districts to provide sufficient capacity for the low- and very low-income housing needs.

Policy HSG 7.4: The City shall continue to encourage innovative housing types, site planning and mixed-use developments.

Policy LU 5.2: Development patterns shall extend primarily from Highways 20 and 45. To the extent feasible, initial phases of new developments shall begin as close as possible to existing urban areas.

Policy LU-6.1: Growth shall provide a strong diversified economic base and a reasonable balance between employment and housing for all income groups.

Policy LU-6.3: Growth shall be managed to ensure that adequate public facilities and services are planned for and provided in a manner that protects the public's health, safety, and welfare.

Policy CCD-2.4: New development shall ensure that public utilities are screened from view and do not detract from the surrounding environment.

Policy CCD-3.17: Parking lots shall not dominate street frontage, public spaces, or buildings.

Goal 6: To create distinctive community-gathering locations within new developments while maintaining connectivity to the entire community.

Policy CCD-6.1: New developments shall include community and neighborhood activity centers at appropriate locations that create recreational opportunities, encourage social interaction, and provide a sense of public space and centers for neighborhood activities.

Policy CCD-2.4: New development shall ensure that public utilities are screened from view and do not detract from the surrounding environment.

Policy CCD-3.15: The City shall include landscaping and use street trees in street rights-of-way to create a shaded environment in summer and to define the clear separation of uses.

Policy CCD-3.17: Parking lots shall not dominate street frontage, public spaces or buildings.

Goal PRC-9: To manage and protect the City's water resources.

Action PRC-9.3.a: As part of the development review process, the City will evaluate the incorporation of water conservation techniques in all new developments.

Goal PRC11: To reduce consumption of energy source in Colusa.

USE PERMIT

According to Colusa Municipal Code section 33.01 – Major Use Permits, the Planning Commission shall determine whether or not a project adequately meets adopted City standards based upon the following finding:

1. *That the establishment, maintenance or operation of the use or building applied for will not, under any circumstance of the particular case, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of such proposed use, and not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the city.*

The project provides additional affordable housing units and density in an area of the City that has accessible access to goods, services and employment opportunities (Goal HSG-1, Policy HSG 1.1, HSG 5.1). The project itself provides benefit for tenants by providing onsite parking, residential facilities such as a community center, play structure and raised garden beds. All of which will engage residence with enrichment activities, social connection while providing a sense of place and opportunities to learn, interact and play (CCD Goal-6, Policy-6.1).

The project has been conditioned to ensure utilizes are screened (CCD-2.4) and parking is placed in a manner to minimize its view from the public right of way (CCD-3.17). Landscaping is proposed in a variety of species which will introduce interest, seasonal colors while also softening the structure's appearance.

ENVIRONMENTAL REIVEW

The project has been determined to be categorically exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines Sections 15332 (Infill Development Projects). Consistent with this exemption, the project is less than five acres, surrounded by urban uses, and can be adequately served by all utilities and public services. The proposal is consistent with the General Plan policies and regulations for the MUB Mixed Use Bridge Street zoning district.

PUBLIC CONTACT

A 20-day public hearing notice was published in the Pioner Review on February 21, 2025 and a notice was also placed at the planning counter. A mailed notice was also sent to all properties that are within 300 feet of the project site.

At the March 19, 2025 Special Planning Commission Hearing, the item was opened during the public hearing and continued to May 7, 2025 Planning Commission hearing by request of the applicant.

BUDGET IMPACT: None Expected

ATTACHMENTS:

- A. Resolution
 - Exhibit I – Conditions of Approval
 - Exhibit II – Use Permit Plat
 - Exhibit III – Landscape Plat
- B. Location/Aerial Photo
- C. Zoning Map
- D. Applicant Project Description
- E. Site Plan
- F. Elevations

DISTRIBUTION

Planning Commission

Jake Morley, Consulting Planner

Phil Harvey, phil@kuchman.com

Gus Becerra, g.becerra@regionalha.org

Luke Watkins, lukewatkins@sbcglobal.net

Jim Stevens, jstevens@northstareng.com

Tom Smith, tsassocla@yahoo.com

RESOLUTION NO. 2025-__

**RESOLUTION OF THE CITY OF COLUSA PLANNING COMMISSION
APPROVING USE PERMIT RANCHO COLUSA PHASE II - AUTHORIZING THE
CONSTRUCTION OF AN 48-UNIT APARTMENT PROJECT AT 1717 HIGHWAY 20.
(Rancho Colusa Phase II)**

WHEREAS, a project has been submitted at a project site totaling approximately 3.66 acre (Portion of APN 002-120-029) located at 1717 Highway 20 within the city of Colusa, for the construction of additional 48 units, including other improvements such as parking, landscaping and site amenities (“Project”); and

WHEREAS, the site is zoned M-U-B – Bridge Street Mixed Use on the City’s zoning map and pursuant to Colusa Municipal Code (CMC) Appendix A – Article 44, Use Permit approval is necessary to permit multifamily dwelling projects; and

WHEREAS, the Planning Commission considered the Project, staff report and comments submitted at a noticed public hearing held on May 7, 2025; and

WHEREAS, the Project has been determined to be categorically exempt pursuant to the Guidelines for the California Environmental Quality Act, Section 15332 (Infill Development).

NOW THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Colusa as follows:

1. With regard to the Use Permit, the Planning Commission finds that:

The project provides additional affordable housing units and density in an area of the City that has accessible access to goods, services and employment opportunities (Goal HSG-1, HSG 1.1, HSG 5.1, HSG 1.6, HSG 1.4). The project itself provides benefit for tenants by providing onsite parking, residential facilities such as a community center, play structure and raised garden beds. All of which will engage residence with enrichment activities, social connection while providing a sense of place and opportunities to learn, interact and play (CCD Goal-6, CCD-6.1) while providing much-needed affordable housing units to aid the City in meeting its Regional Housing Needs Allocation. The structures will contain photovoltaic panels, aiding in the reduction of energy use for the site (PRC-11)

The project has been conditioned to ensure utilizes are screened (CCD-2.4) and parking is placed in a manner to minimize its view from the public right of way (CCD-3.17).

Landscaping is proposed in a variety of species which will introduce interest, seasonal colors while also softening the structure's appearance, and providing shade (CCD-3.15). Landscaping will utilize drip irrigation to minimize water usage and aid in conservation of resources (Goal PRC-9, PRC-9.a).

2. With regard to the California Environmental Quality Act, the Planning Commission Finds that:

The Project site is less than 5 acres in size and does not contain any biological resources. The site is surrounded by urban uses, has previously been disturbed and the site can adequately be served by all utilities and public services. That the proposal is consistent with General Plan policies and regulations for the M-U-B Mixed Use Bridge Street zoning district.

THE FOREGOING RESOLUTION WAS ADOPTED by the Planning Commission of the City of Colusa at its meeting held on May 7, 2025, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Planning Commission, Chair

Planning Commission Secretary

EXHIBIT I
CONDITIONS OF APPROVAL
Use Permit - Rancho Colus Phase II

1. Use Permit Rancho Colusa Phase II authorizes 48-unit multi-family residential project at 1717 Highway 20, in general accord with "Site Plan to Accompany Use Permit - Rancho Colus Phase II and in compliance with all other conditions of approval.
2. This approval is valid for a period of three (3) years from the date of approval, during which time the rights granted must be exercised.
3. All development shall comply with all other State and local Code provisions, including those of the City of Colusa. The permittee is responsible for contracting these offices to verify the need for compliance. This includes, but not limited to any grading permits, encroachment permits, or Fire Department or Police Department signage and striping, authorization or other needs.
4. All portions of the job site shall be maintained in an organized and professional manner. All trash, debris, construction scraps and broken/deteriorated machinery shall be removed from the job site by the end of each week.
5. A six-foot tall, chain link construction fence shall be installed in a manner to prohibit the ability from existing tenants (Phase I) and the public, from entering the active portion of the job site. At the end of each day of work, the fence and access points shall be secured and locked in a manner that prohibits unauthorized individuals from accessing the job site.
6. All approved building plans and permits shall note that wall-mounted utilities and roof or wall penetrations including vent stacks, utility boxes, exhaust vents, gas meters, similar equipment, shall be screened by appropriate materials and colors. All parapet caps and other metal flashings shall be painted, consistent with approved building colors. Adequate screening shall be verified by City Staff prior to the issuance of a certificate of occupancy.
7. Site landscaping shall be generally consistent with the Landscape Plan in general accord with "Landscape Plan to Accompany Use Permit – Rancho Colus Phase II". All landscaping shall be on drip irrigation system with timers. Nursery stakes shall be removed from trees, which will be installed with two tree stakes and contain a loop material holding the trees to the stakes.
8. All exterior lighting, including those mounted on structures, in parking lots or common areas shall be shielded downwards from adjacent properties.
9. The improvement plans for this Project shall be prepared by a California Registered Civil Engineer and shall be approved by the City Engineer
10. Prior to receiving a Certificate of Occupancy, the applicant and City shall enter into a Density Housing Agreement as required Government Code section 65915. Such an agreement will be recorded on the parcel or parcels in which the designated affordable dwelling units will be constructed, which shall run with the land.

11. Costs of all plan checking and field inspections related to onsite and offsite improvements shall be the responsibility of the developer. Plan check fees shall be paid at the time the plans are submitted, and inspection fees shall be paid prior to the field inspection.
12. Applicant shall confirm from the California Department of Transportation (Caltrans) that the encroachment permit for Phase I is applicable/valid for Phase II. If not, the applicant shall obtain a new Caltrans encroachment permit if necessary.
13. Provide evidence through a Water Study or Pressure Study or similar, confirming that fire suppression/sprinklers on 3rd floor are adequate.
14. Provide evidence through a Water Study or verification with the Colusa Fire Department demonstrating a minimum of 1000 gpm available at hydrants on site.
15. Provide evidence to the satisfaction of the Colusa Fire Department of a Fire access evacuation plan.
16. The construction plans shall be modified to include roof access to Structures 3 and 4. Roof access shall be designed in conjunction with Colusa Fire Department comments and needs and may include an aluminum roof access ladder or other means. Access to the roof shall be in two different locations for each structure, to provide dual access in the event one is inaccessible.
17. Applicant shall provide a Storm Drain Study or Calculations demonstrating that the onsite storm water detention facility is adequate to handle improvements in Phase II.
18. City requests that developers attempt to obtain a secondary emergency all weather access from the site.
19. Phase II to pay fair share of future traffic signal light at the intersection of Highway 20 and Wescott Road (ARCO Project).
20. This project consents to annexing into the City-wide Community Facilities District (CFD).
21. The developer shall be responsible for all actions of his contractors, and subcontractors until such time as the improvements have been accepted by the City.
22. The developer shall designate in writing before starting work, an authorized representative who shall have complete authority to represent and to act for the developer. Such written authorization shall be provided to the City. Said authorized representatives shall be present at the site of the work at all times while work is actually in progress on the development. During periods when work is suspended, arrangements acceptable to the City shall be made for any emergency work, which may be required.
23. It shall be the applicant's responsibility to ensure that all requirements of any other law or agency of the State of California and any other governmental entity, applicable to this development, shall be met.

Grading

24. The following shall be submitted to the City Engineer for approval, prior to the issuance of a grading permit:
- a. A master drainage plan and report that covers the interim and permanent drainage solutions shall be submitted and approved by the City Engineer, prior to submitting any civil design plans. The drainage report shall address each phase and any interim solutions for that phase, and an overall masterplan. The report shall include hydrologic and hydraulic calculations, and consideration of the 10 yr and 100 yr return flow periods. The report and calculations shall be stamped by a Registered Civil Engineer registered in the State of California.
 - b. A grading and drainage plans for each phase, shall be designed to meet the requirements of the Colusa Municipal Codes and City Engineer. Plans shall include provisions for permanent erosion and sediment control. Estimated quantities of excavation and embankment shall be noted on the plans.
 - c. A temporary erosion and sediment control plan shall be included with any phase of work, If grading will not be completed by October 15 or is scheduled to start prior to April 15, a winterization plan shall be included for all work on that phase, with the developer responsible for implementation and maintenance of the winterization plan.
 - d. Water, wastewater, and utility improvements.
 - e. Two (2) copies of the SWPPP Monitoring Program and Inspection Plan including the WDID and NOI and Filing with the State Water Board.
 - f. Drainage calculations prepared in accordance with the Colusa Municipal Codes and City Engineer.
 - g. A geotechnical investigation report with recommendations pertinent to the facilities being proposed, including site preparation and engineered fill, on-grade, asphalt concrete pavements, and retaining walls, and building pad construction
 - h. Engineer's estimate of probable construction cost.
 - i. The plan shall include sufficient topographic information on adjacent parcels. The statement "I hereby state that all improvements have been substantially constructed as presented on these plans" shall appear on the site grading and drainage plan and shall be signed by a registered civil engineer. The erosion control plan shall include, but not limited to, inlet filters and stabilized construction site access.
 - j. Offsite improvement plans.
 - k. Plan check fees.
25. All grading performed shall conform to the City Ordinance, Chapter 70 of the Uniform Building Code, and as recommended in the Soils/Geotechnical Report with review and approval by the City Engineer.
26. Onsite grading shall be limited to the locations shown on the approved plans or on subsequent City approvals. All grading shall be suspended when winds reach 20 miles per hour or greater.
27. All abandoned irrigation lines and wells, trees (except those to be preserved), and obstructions in the project site shall be removed and properly disposed of from the site during grading operations. Proper backfill and compaction of voids shall be subsequently accomplished to provide protection against settlement.

28. It is the contractor's responsibility to use watering, dust fences, or other methods as directed by the City, to control dust throughout the construction operation.
29. All grading construction debris materials shall be removed and disposed of offsite prior to any excavation or fill operations. The developer or his agents or employees shall be responsible for removal and cleanup of any spill on public streets during his entire grading operations.
30. FEMA Map study showing that the proposed improvements meet the current city minimum elevations above the FEMA floodplain.

Sewer

31. Sanitary sewer facilities shall be designed and constructed at the developer's expense in accordance with the City of Colusa Subdivision Standards, as approved by the City Engineer. The developer shall construct and pay for sewer lines to tie in from the west to Wescott Road. Developer may be required to upgrade the sewer pumping station located along Wescott Road which transmits the effluent from this area to the City Municipal wastewater treatment plant.
32. The method of sewage and waste disposal shall be by means of the City's collection and disposal system. All sewer system improvements shall meet or exceed the City's standards and the necessary separation between water mains and sanitary sewers shall be maintained as required by the State Department of Health, as directed by the City.
33. Sewer connection and impact fees shall be paid with the issuance of a building permit and shall be those in effect at the time the permit is issued, excepting therefrom any special development agreements which may or may not adjust the fees.

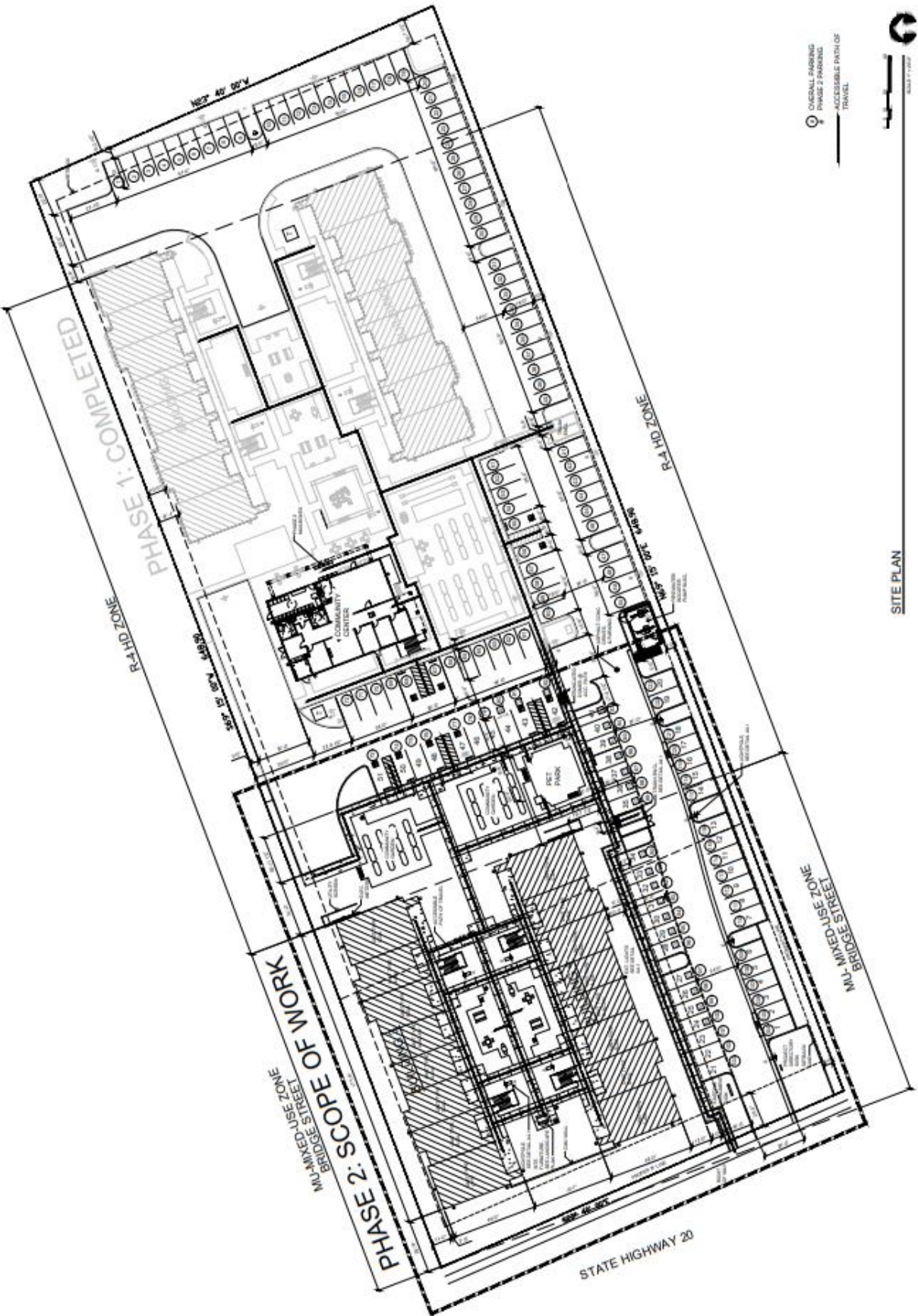
Water

34. Water facilities shall be designed and constructed at the developer's expense in accordance with the City of Colusa Subdivision Standards, as directed by the City Engineer, and as proposed by the City Water Master Plan
35. The developer shall install onsite and offsite mains, fire hydrants, and water meters in conformance with the City Subdivision Standards.

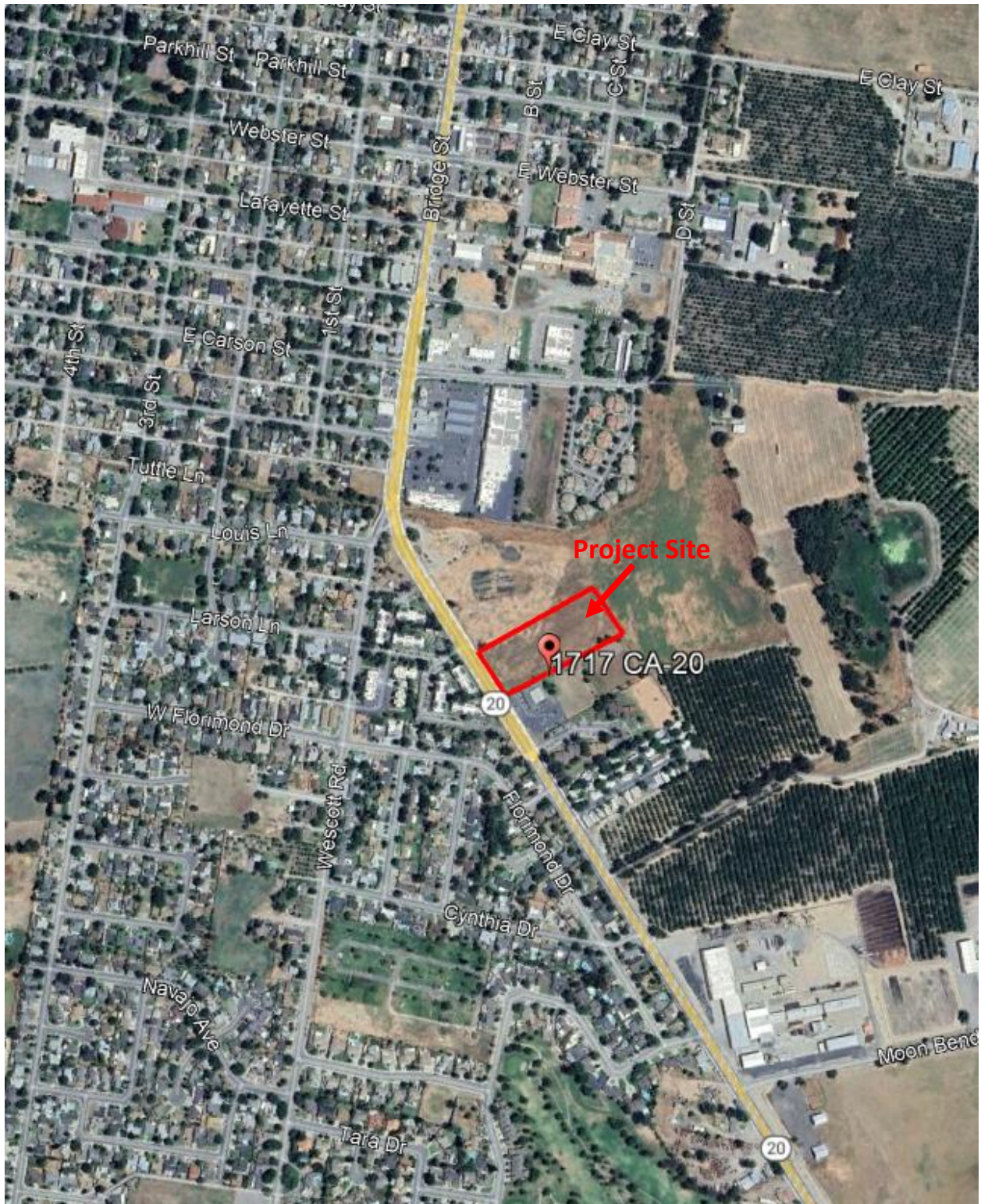
Drainage

36. The project shall not increase runoff onto adjacent lands which are not owned by the developer, unless they are part of the master grading plan of the project. But in no case will the completed project discharge higher rates of runoff from the ultimate buildout boundary. Drainage calculations shall be completed and presented in a drainage analysis to the City Engineer for approval prior to issuance of grading permit. The drainage system design shall integrate, to the greatest extent feasible, techniques to minimize offsite runoff and maximize infiltration from not only large infrequent storms, but from small, frequent storms and irrigation.
37. Both onsite and offsite storm drainage facilities shall be designed and constructed in accordance with the City of Colusa Subdivision Standards, as approved by the City Engineer.
38. The developer shall install the required drainage facilities concurrently with the rough grading operations or provide an interim drainage and erosion control plan, and construct interim improvements with prior approval from the City Engineer. Such improvements shall mitigate any potential flooding and erosion adversely affecting adjacent properties and public right-of-way.
39. The developer shall comply with the National Pollutant Discharge Elimination System (NPDES) requirements, as covered in the State of California General Permit for Storm Water Discharges

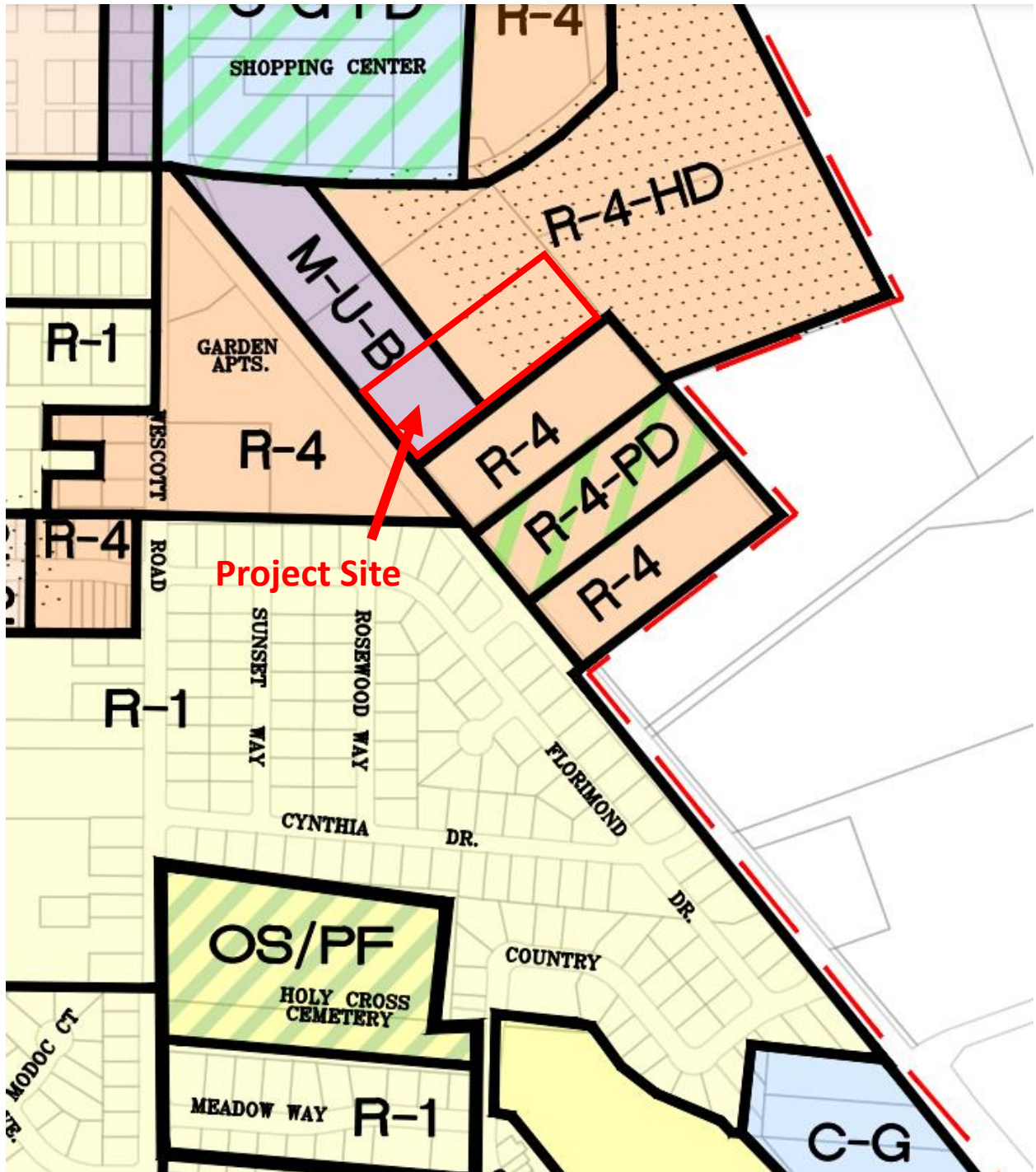
Associated with Construction Activity. A Notice of Intent must be filed with the State Water Resources Control Board (SWRCB) prior to the onset of construction. A Storm Water Pollution Prevention Plan (SWPPP) Monitoring Program and Inspection Plan must be prepared and submitted to the City Engineer for approval, at the same time as the Improvement Plans for this project. The developer will solely be responsible for implementation of the SWPPP, Monitoring Program and Inspection Plan during construction.



17



1717 Highway 20



ZONING DISTRICTS

R-1	SINGLE-FAMILY RESIDENCE DISTRICT
R-2	TWO-FAMILY RESIDENCE DISTRICT
R-3	NEIGHBORHOOD APARTMENT DISTRICT
R-4	GENERAL APARTMENT DISTRICT
C-N	NEIGHBORHOOD BUSINESS DISTRICT
C-G	GENERAL COMMERCIAL DISTRICT
C-H	HIGHWAY SERVICE COMMERCIAL DISTRICT

ZONING DISTRICTS

M-1	LIGHT INDUSTRIAL DISTRICT
M-2	GENERAL INDUSTRIAL DISTRICT
M-L	LIMITED INDUSTRIAL DISTRICT
P-D	PLANNED DEVELOPMENT DISTRICT
P-F	PUBLIC FACILITIES DISTRICT
O-S	OPEN SPACE DISTRICT
F-W	FLOODWAY DISTRICT

Rancho Colus Phase 2

PROPOSAL DESCRIPTION

1. Overview

The Regional Housing Authority and Sage Housing Group, LLC proposes to construct Rancho Colus Phase 2 project, a 48-unit affordable apartment home community on a parcel of 1.53 acres at 1717 State Highway 20 (portion of APN 002-120-029-000) in Colusa. The project is the second phase of the Rancho Colus Apartments and will be developed on the west side of the overall 3.66 acre project site project adjacent to State Highway 20. The community will consist of one, two, and three-bedroom units in two residential buildings and outdoor amenity spaces. The overall design of the buildings will be similar to Rancho Colus Phase 1 and Phase 2 will share the existing community building developed with Phase 1. The project seeks Site and Design Review from the City of Colusa.

2. Justification

With the development of Rancho Colus Phase 1 project provided a prime opportunity for the development of an affordable apartment community within the City of Colusa with 48 affordable units, a manager unit, and community center with site amenities. Rancho Colus Phase 2 will further enhance the availability of affordable housing to the city with an additional 48 units bringing the entire Rancho Colus site to a total of 96 affordable apartments. Located near services, educational facilities, commercial developments, and employment opportunities, the site affords access to the surrounding area and the City of Colusa.

3. Site Characteristics

The Rancho Colus Phase 2 site is 1.53 acres of the overall 3.66 acre Rancho Colus site of which 2.13 acres are occupied by Rancho Colus Phase 1. The property is generally rectangular in shape with overall dimensions of 277.52 ft by 245.68 ft with the area of 1.53 acres. The site is level and well-drained and a preliminary grading plan is provided with the application.

4. Surrounding Uses

Surrounding land uses consist of vacant farm land to the north and east, a religious facility to the south, and multi-family housing to the west across SR 20.

5. Land Use Designation

The site is zoned HD on the east with a strip of Mixed-Use land use designation along the California State Route 20 on the west side of the property. All of the development proposed with the exception of the access drive will be on the HD land use designated area of the site.

6. Site Density Allowed per AB 744

As identified on the site affordability chart below, both Phase 1 and Phase 2 of Rancho Colus include 100% affordability plus a manager's unit.

RANCHO COLUS PHASE 1			
Unit Type	AMI	Number	Percent
1 bedrm units	30% AMI	12	
2 bedrm units	30% AMI	6	
3 bedrm unit	30% AMI	1	
2 bedrm units	50% AMI	5	
3 bedrm units	50% AMI	4	
Total Very Low Income Units		28	57.14%
2 bedrm units	60% AMI	13	
3 bedrm units	60% AMI	7	
Total Low Income Units		20	40.82%
3 bedrm unit	Manager's Unit	1	2.04%
Total Units Phase 1		49	100.00%
RANCHO COLUS PHASE 2			
Unit Type	AMI	Number	Percent
1 bedrm units	30% AMI	12	
2 bedrm units	30% AMI	6	
3 bedrm units	30% AMI	1	
2 bedrm units	50% AMI	5	
3 bedrm units	50% AMI	4	
Total Very Low Income Units		28	58%
2 bedrm units	60% AMI	12	
3 bedrm units	60% AMI	8	
Total Low Income Units		20	41.67%
Total Units Phase 2		48	100.00%
TOTAL UNITS ON ENTIRE SITE		97	

As defined in AB 744 this allows for an 80% density bonus. This allows 36 units per acre for a total of 132 units allowable while the project proposes a total of 97 units consisting of 96 affordable units plus one manager's unit. The following density chart includes the number of units allowed per the 20 units per acre density in the City of Colusa HD zone and the number of units allowed with the 36 units per acre density bonus allowed per AB 744.

RANCHO COLUS SITE DENSITY CHART						
	Site Area (acres)	Density per City Code	Number of Units per City Code	Units per AB 744 80% Density Bonus	Number of units allowed Density Bonus	Number of Units Provided
Phase 1	2.13	20	43	36	77	49
Phase 2	1.53	20	31	36	55	48
Total Site	3.66		73		132	97

State Bonus Law is being utilized the project is able to request up to three concessions from local land use regulations. For Rancho Colus Phase 1 and Phase 2 is requestion the following concessions the project is seeking relief:

1. Reduction in parking from the City of Colusa code requirement of 1.5 parking spaces per multifamily unit to 1 parking space per multifamily unit.
2. Relief from covered parking requirement as required in the City of Colusa Zoning Code.

7. Proposed Project

The proposed project is a 48-unit, affordable apartment community with a mix of one, two, and three-bedroom residential units in two buildings that are three stories in height. The residential buildings are located opposite each other with the lengths of the buildings running east and west in order to maximize the south roof exposure to provide maximum photovoltaic panel area. The apartment buildings are separated by 74 ft to reduce the shading of the PV panels from one building on the site to another building. This separation also provides major outdoor space for amenities as well as area for LID measures for storm drainage.

8. Amenities

Rancho Colus Phase 2 will share the 3,193 sf community center from Phase 1 with leasing office, computer stations, mail center, counseling office, great room with hospitality kitchen, restrooms, and a laundry facility. Outdoor amenities will include a children's play area, barbeque areas, outdoor tables and seating, outdoor game areas, raised planter beds for residents, and fruit trees.

9. Access and Circulation

Vehicle access to the property will be from SR 20 with the existing driveway on the west side of the overall property. Parking will be located along the access in the development area of the project. Pedestrian access to the development site from SR 20 is provided by a sidewalk that runs from SR 20 to the Community Center area with designated pathways to all buildings and areas of the site.

10. Parking

City of Colusa code requires 1.5 parking spaces per unit for multifamily housing projects. With an overall unit count of 97 on the total Rancho Colus site that would require a total of 146 parking spaces with 74 parking spaces for the 49 units in Rancho Colus Phase 1 and 72 parking spaces for the 48 units in Rancho Colus Phase 2. As identified above the project is requesting a concession under AB 744 to reduce the parking required to 1 parking space per unit on both Phase 1 and Phase 2 sites. The parking reduction per unit and totals are defined below. Note that the project would park above the 1 space per unit which would require a total of 89 a parking spaces while the project is providing a total of 123 parking spaces for a ratio of 1.35 parking spaces total on the site.

Phase 1 Parking Requirement per AB 744:

<i>Unit Type</i>	<i>Area Media Income</i>	<i>Parking Requirement per AB 744 1 space/unit</i>
8 - 1 bedrm units	30% AMI	8 parking spaces
6 – 2 bedrm units	30% AMI	6 parking spaces
1 – 3 bedrm unit	30% AMI	1 parking space
5 – 2 bedrm units	50% AMI	5 parking spaces
4 – 3 bedrm units	50% AMI	4 parking spaces
13 – 2 bedrm units	60% AMI	13 parking spaces
7 – 3 bedrm units	60% AMI	7 parking spaces
1 – 3 bedrm unit	Manager's Unit	1 parking space
TOTAL REQUIRED:		45 parking spaces
TOTAL PROVIDED:		72 parking space Phase 1

Phase 2 Parking Requirement per AB 744:

<i>Unit Type</i>	<i>Area Media Income</i>	<i>Parking Requirement per AB 744 1 space/unit</i>
8 - 1 bedrm units	30% AMI	8 parking spaces
6 – 2 bedrm units	30% AMI	6 parking spaces
1 – 3 bedrm unit	30% AMI	1 parking space
5 – 2 bedrm units	50% AMI	5 parking spaces

4 – 3 bedrm units	50% AMI	4 parking spaces
13 – 2 bedrm units	60% AMI	13 parking spaces
7 – 3 bedrm units	60% AMI	7 parking spaces

TOTAL REQUIRED: 44 parking spaces

TOTAL PROVIDED: 51 parking spaces

PARKING REQUIRED ENTIRE SITE AB 744: 89 parking spaces

PARKING PROVIDED ON ENTIRE SITE: 123 parking spaces

PARKING RATIO ON ENTIRE SITE: 1.3 spaces per unit

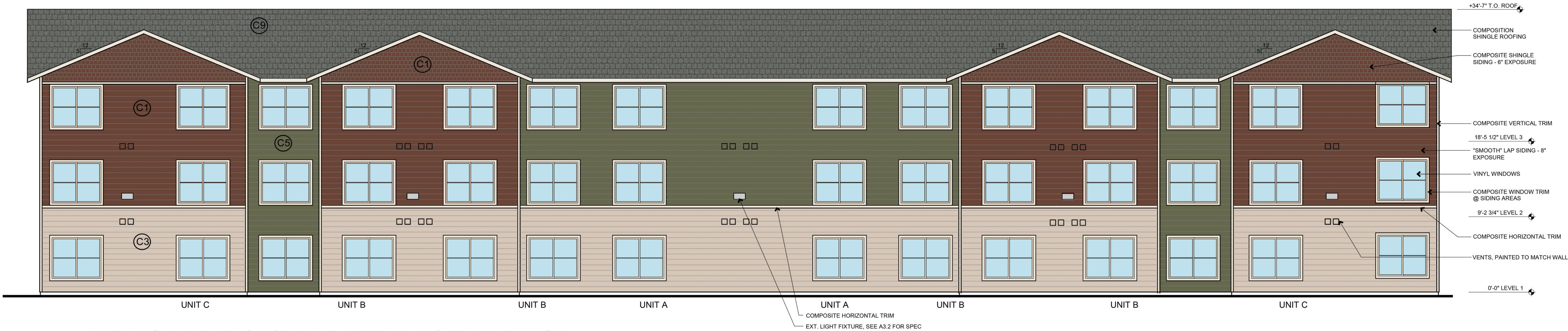
11. Architectural Concept

The design concept for the proposed project will be repetitive of Rancho Colus Phase 1 which utilizes buildings with simple forms with contemporary architecture. Low sloping gable roofs are used to maximize the area for the solar panels on the roof of each building to meet the solar panel area requirement per the California Energy Code. The exterior finish material will be horizontal board siding with color blocking to help reduce the mass the buildings. A major component of the project design is the use of exterior walkways and balconies to articulate the front façade. The residential unit buildings are one-unit deep to provide cross ventilation for all residents. Unit plans are included in the project exhibits. The access to each unit is from the interior courtyard area between the building with the walkways and balconies forming a “front porch” concept to each unit from the courtyard. This unique design provides active outdoor areas for residents overseeing the courtyard areas and allowing for gathering spaces for residents that are visible for safety. The project will utilize bands of materials including fiber cement board with a light base to articulate the building surfaces and to provide pedestrian scale to the buildings. Metal tube railings painted to contrast with the surrounding building colors and balcony elements on the apartment structures provide visually interest to the overall design. Throughout the project, natural colors are proposed with light beige plaster, beige plaster, white trim, and dark brown plaster and add interest to the overall composition.

Landscaping is designed to complement the buildings and make a positive contribution to the overall aesthetics of the site. HVAC units will be screened from sight and low-profile landscaping, including screen shrubs, are planned for the development to provide CPTED planting requirements and be compatible with the bio-swale condition. The planting design will utilize a variety of Mediterranean-style, native, drought-tolerant, and low-fuel species to create layers of color and text to complement the architecture style and setting. Fruit trees are included in the landscape design for the use of residents and large shade trees are provided throughout the site. Shade trees are provided throughout the project for sun protection in the parking area and landscape areas to reduce heat island effect during hot summer months.

EXTERIOR COLOR SCHEDULE

C1	LAP SIDING 1 & SHINGLE SIDING SW 6068 BREVITY BROWN SHERWIN WILLIAMS	C6	DOORS SW 7585 SUN DRIED TOMATO SHERWIN WILLIAMS
C2	NOT USED	C7	VINYL DOOR AND WINDOW FRAMES TAN
C3	SIDING 2 AND TRIM SW 6085 SIMPLY BEIGE SHERWIN WILLIAMS	C8	RAILINGS, COLUMNS AND STAIR FRAME SW 6964 GREENBLACK SHERWIN WILLIAMS
C4	FASCIA & TRIM SW 6085 SIMPLY BEIGE SHERWIN WILLIAMS	C9	COMPOSITE SHINGLE ROOF SAGEWOOD
C5	SIDING 3 SW 6180 OAKMOSS SHERWIN WILLIAMS		



BUILDING 3 (BUILDING 4 SIMILAR) - TYPE 1 - NORTH ELEVATION

SCALE 3/16" = 1'-0"



BUILDING 3 (BUILDING 4 SIMILAR) - TYPE 1 - SOUTH ELEVATION

SCALE 3/16" = 1'-0"

RANCHO COLUS APARTMENTS - PHASE 2

1717 State Highway 20, Colusa, California

BUILDING 3 & 4 - NORTH & SOUTH ELEVATIONS

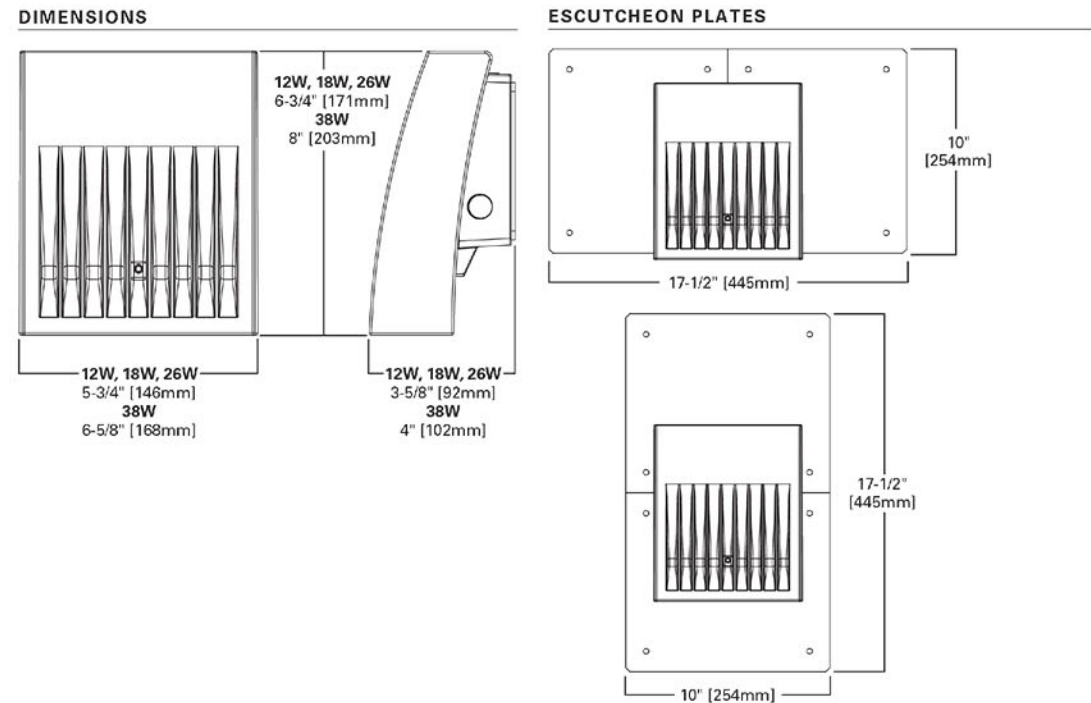


A3.1

1-2-2025



EXT. BUILDING LIGHT FIXTURE



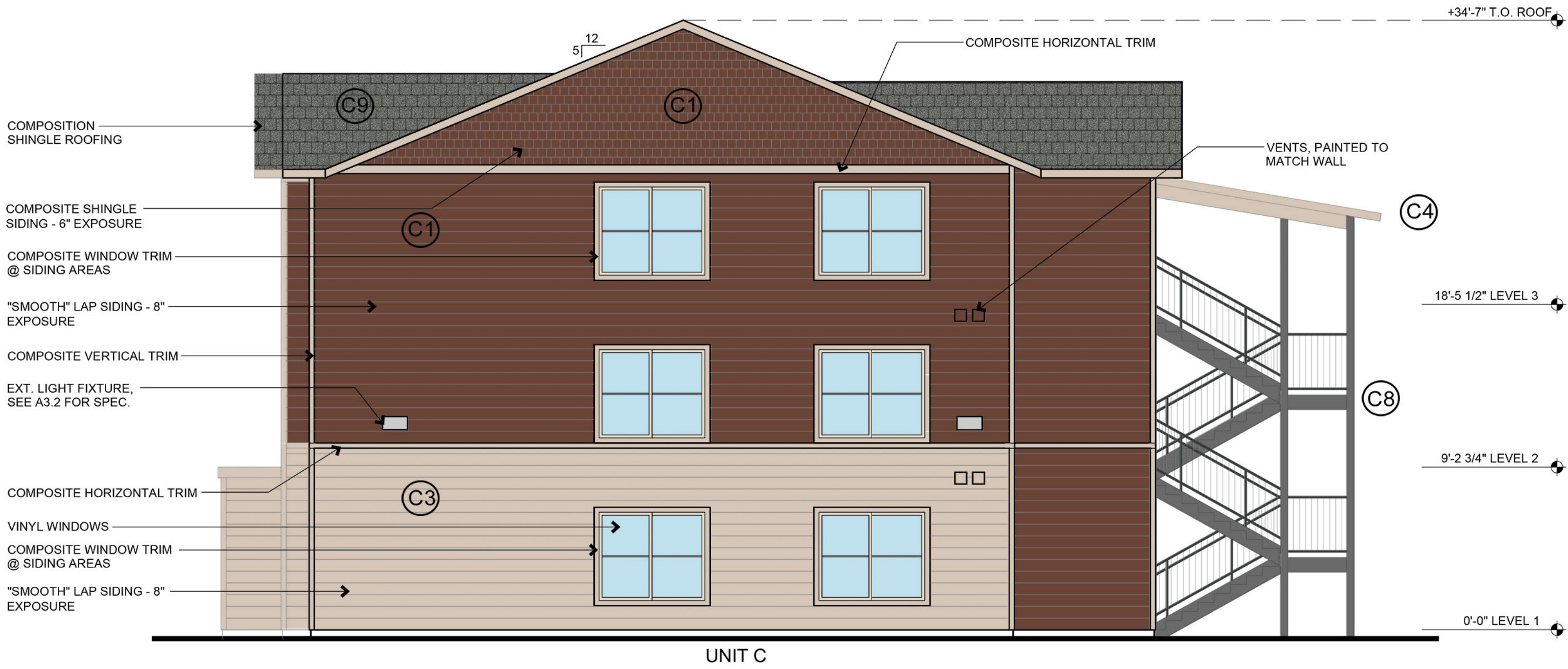
EXT. LIGHTING FIXTURE SPECIFICATION

LOCATIONS SHOWN ON SITE PLAN A1.1, EXTERIOR ELEVATIONS A3.1, A3.2

NOT TO SCALE

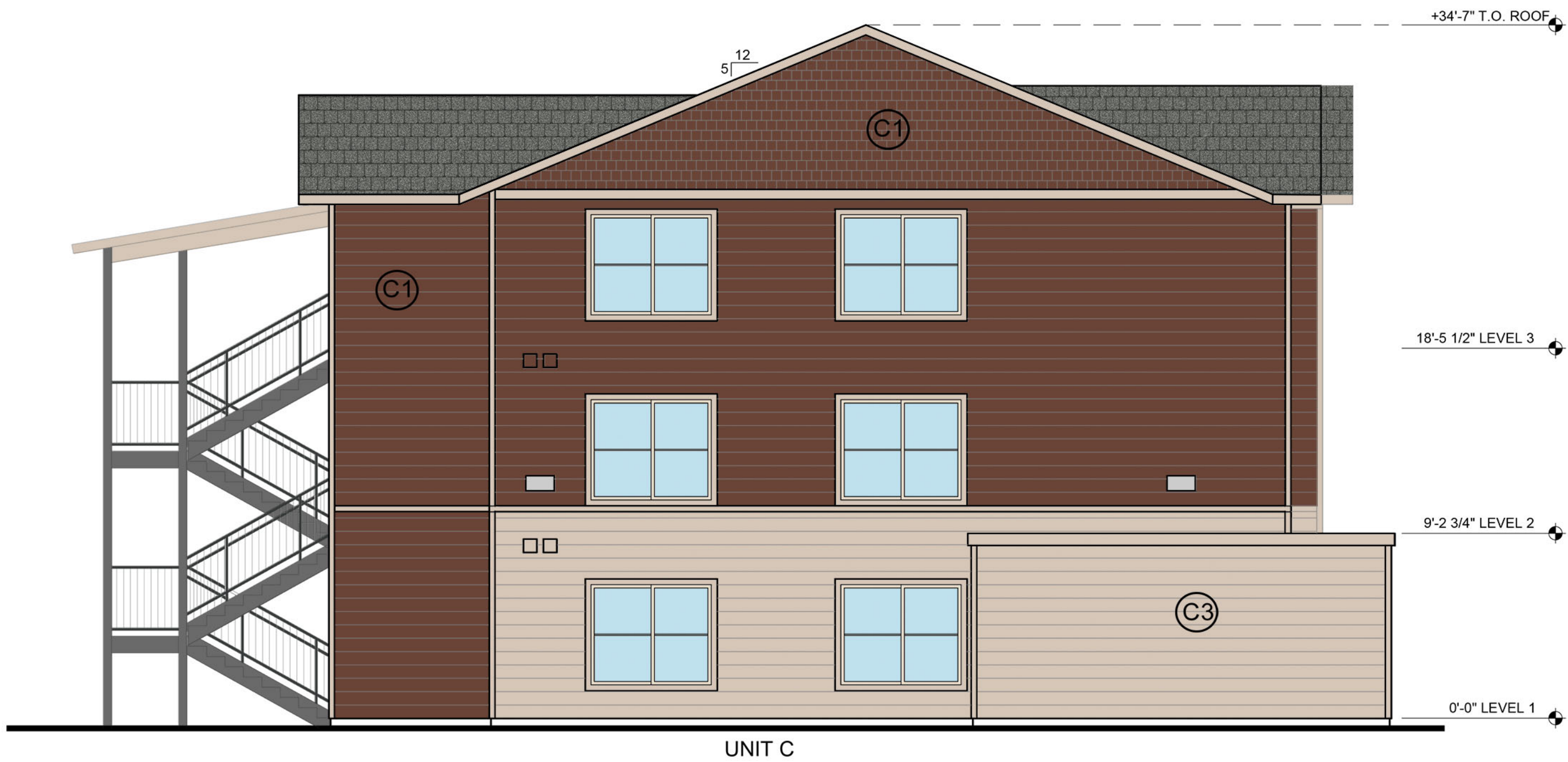
EXTERIOR COLOR SCHEDULE

C1	LAP SIDING 1 & SHINGLE SIDING SW 6068 BREVITY BROWN SHERWIN WILLIAMS	C6	DOORS SW 7585 SUN DRIED TOMATO SHERWIN WILLIAMS
C2	NOT USED	C7	VINYL DOOR AND WINDOW FRAMES TAN
C3	SIDING 2 AND TRIM SW 6085 SIMPLIFY BEIGE SHERWIN WILLIAMS	C8	RAILINGS, COLUMNS AND STAIR FRAME SW 6964 GREENBLACK SHERWIN WILLIAMS
C4	FASCIA & TRIM SW 6085 SIMPLIFY BEIGE SHERWIN WILLIAMS	C9	COMPOSITE SHINGLE ROOF SAGEWOOD
C5	SIDING 3 SW 6190 OAKMOSS SHERWIN WILLIAMS		



BUILDING 3 (BUILDING 4 SIMILAR) - TYPE 1 - WEST ELEVATION

SCALE 3/16" = 1'-0"



BUILDING 3 (BUILDING 4 SIMILAR) - TYPE 1 - EAST ELEVATION

SCALE 3/16" = 1'-0"

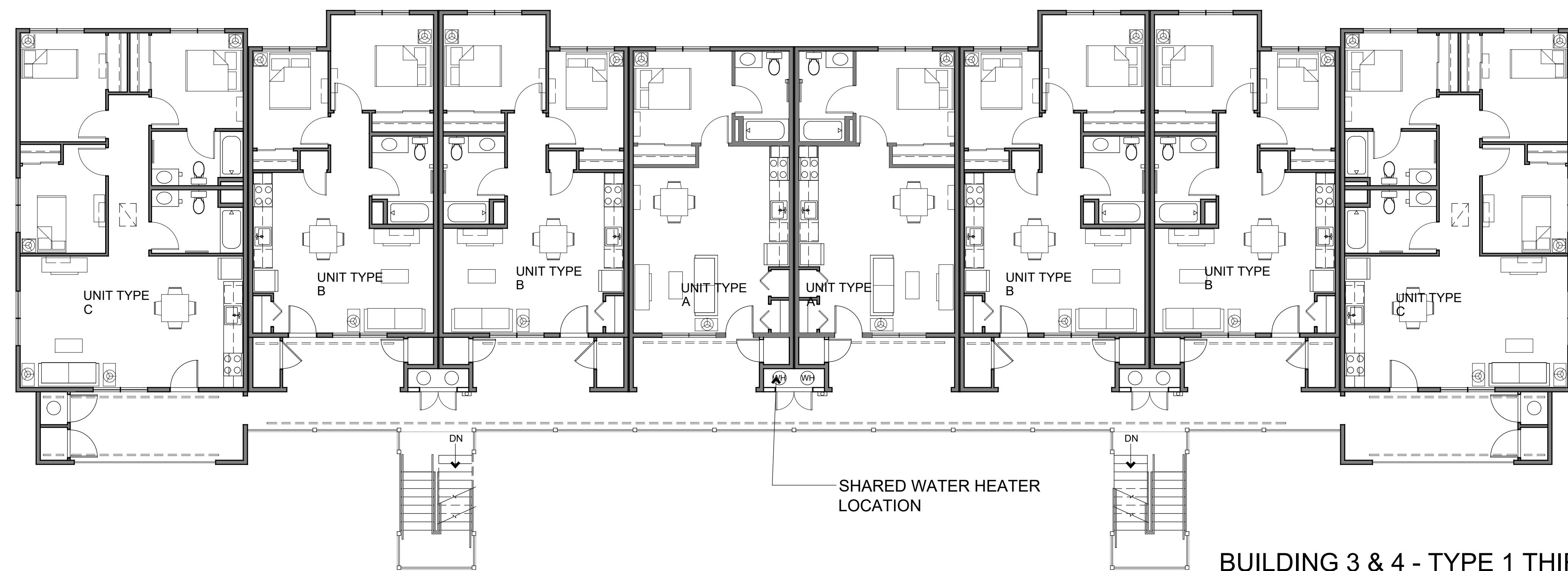
RANCHO COLUS APARTMENTS - PHASE 2

1717 State Highway 20, Colusa, California

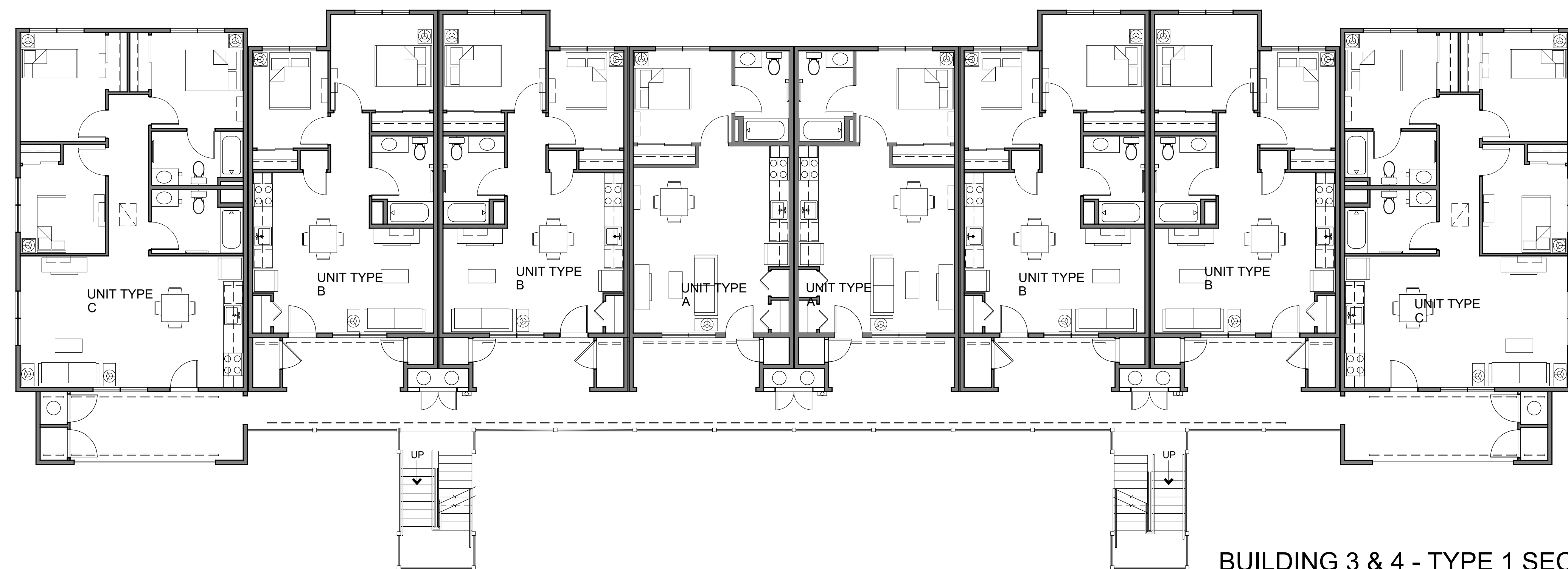
BUILDING 3 & 4 - EAST & WEST ELEVATIONS



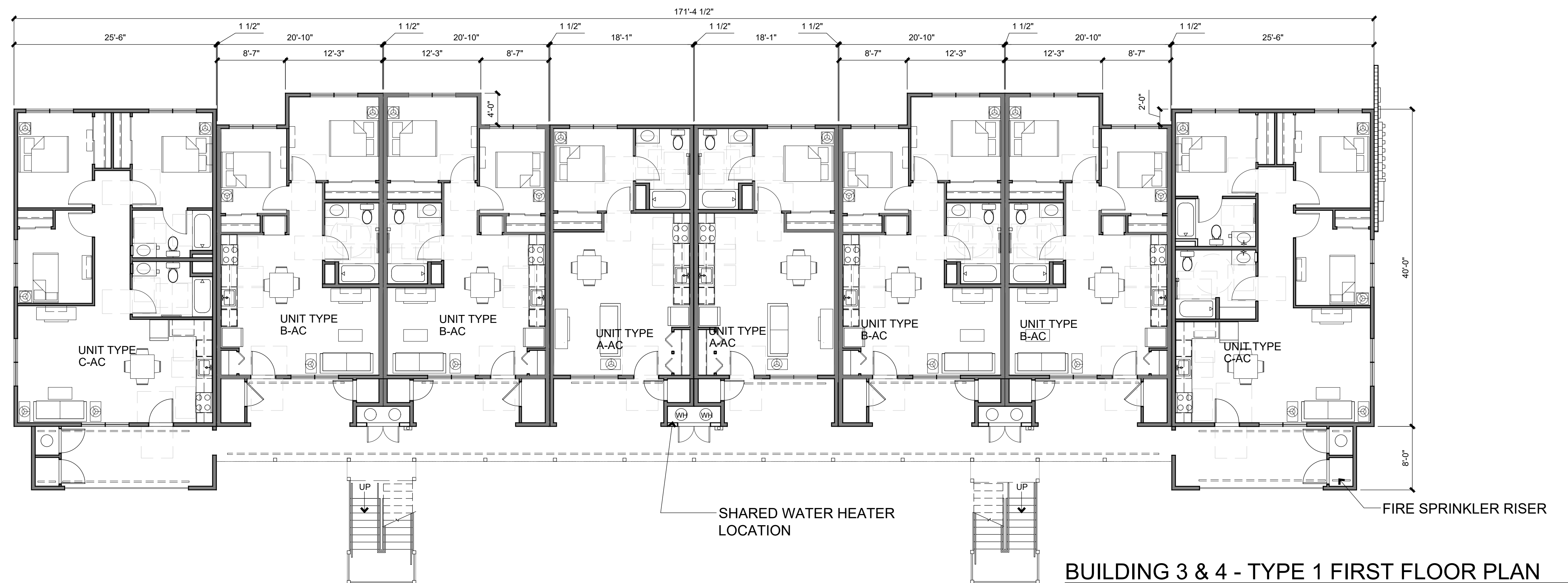
A3.2



BUILDING 3 & 4 - TYPE 1 THIRD FLOOR PLAN



BUILDING 3 & 4 - TYPE 1 SECOND FLOOR PLAN

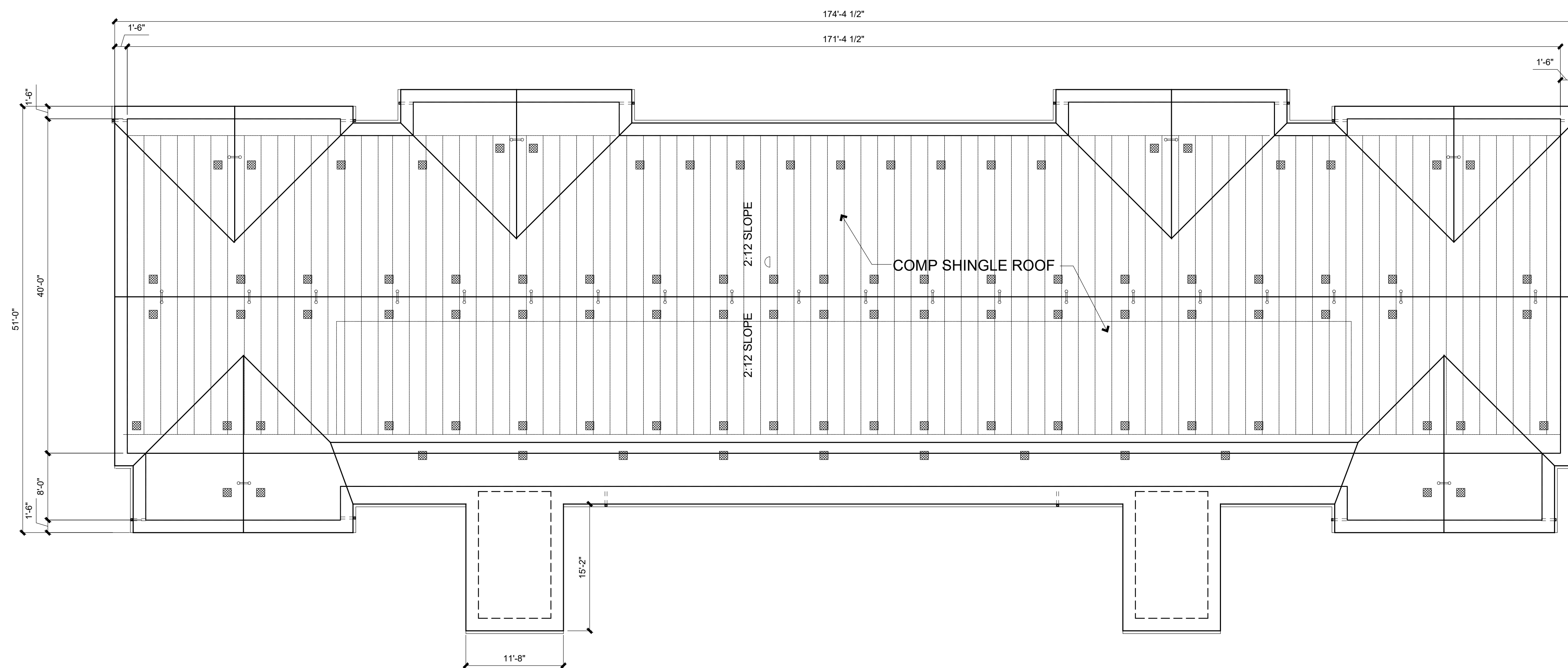


BUILDING 3 & 4 - TYPE 1 FIRST FLOOR PLAN

RANCHO COLUS APARTMENTS - PHASE 2

1717 State Highway 20, Colusa, California

BUILDING 3 & 4 - TYPE 1 - FLOOR PLANS

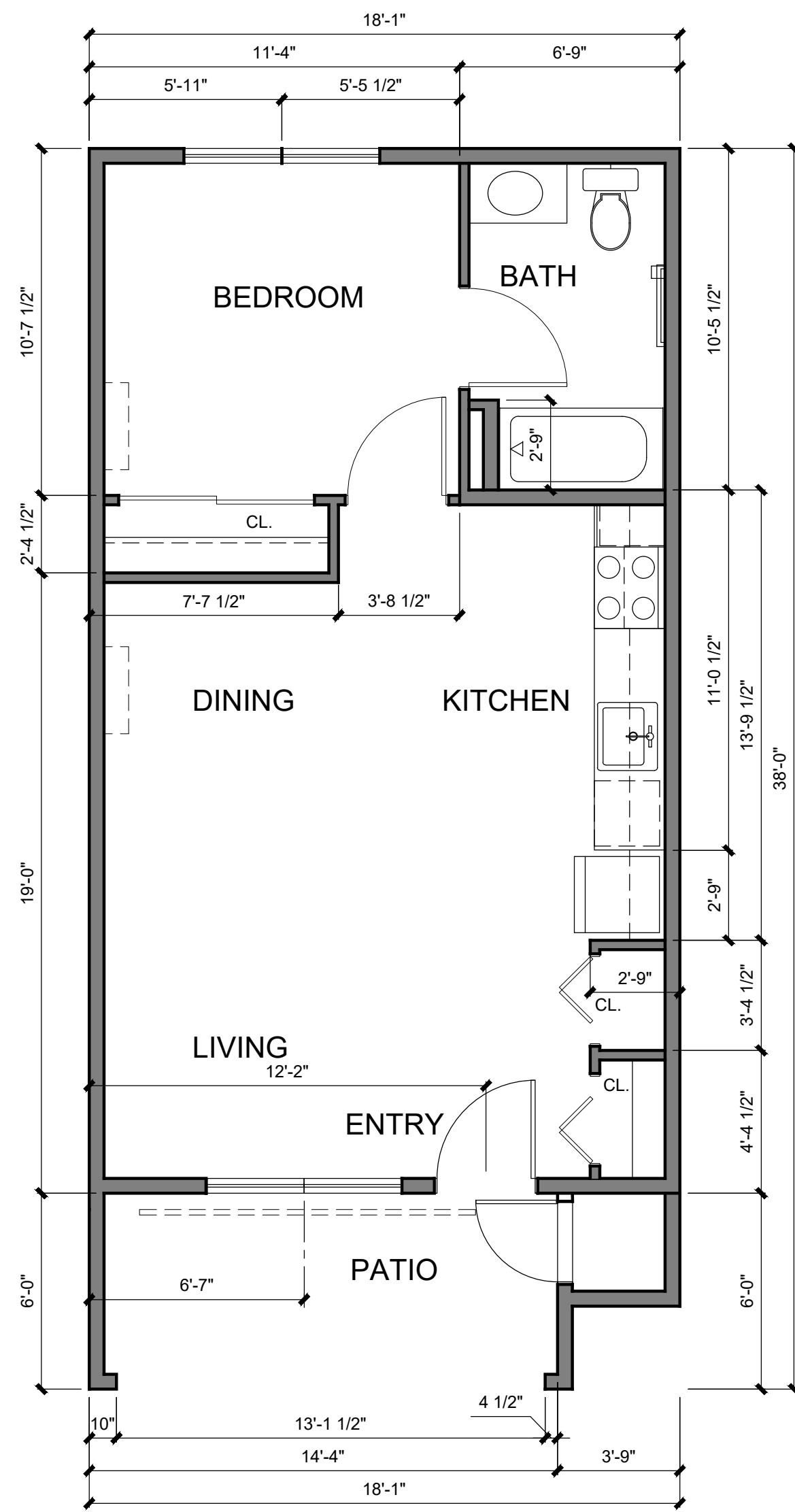


BUILDING 3 & 4 - TYPE 1 ROOF PLAN

RANCHO COLUS APARTMENTS - PHASE 2

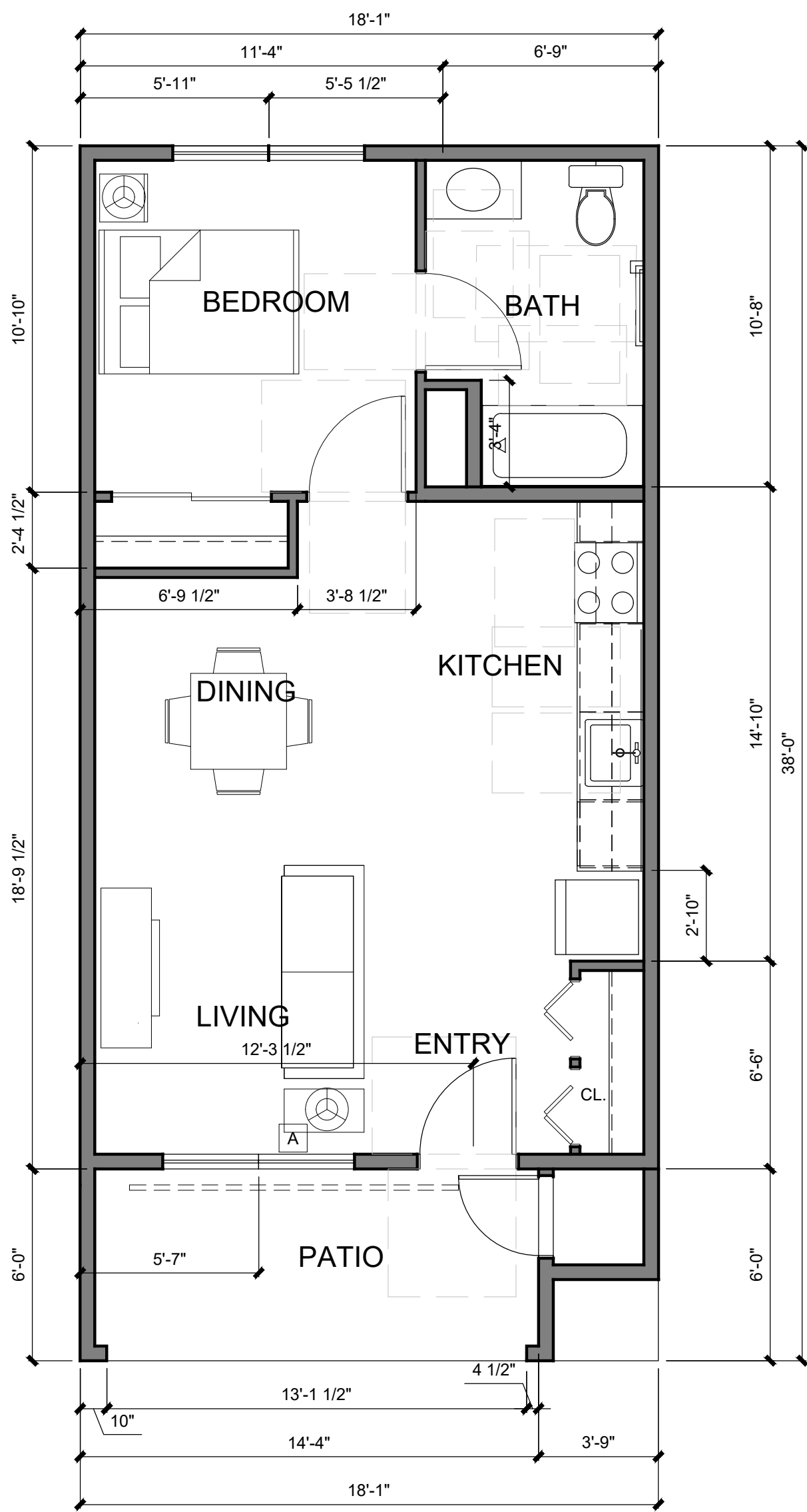
1717 State Highway 20, Colusa, California

BUILDING 3 & 4 - * TYPE 1 - FLOOR PLANS



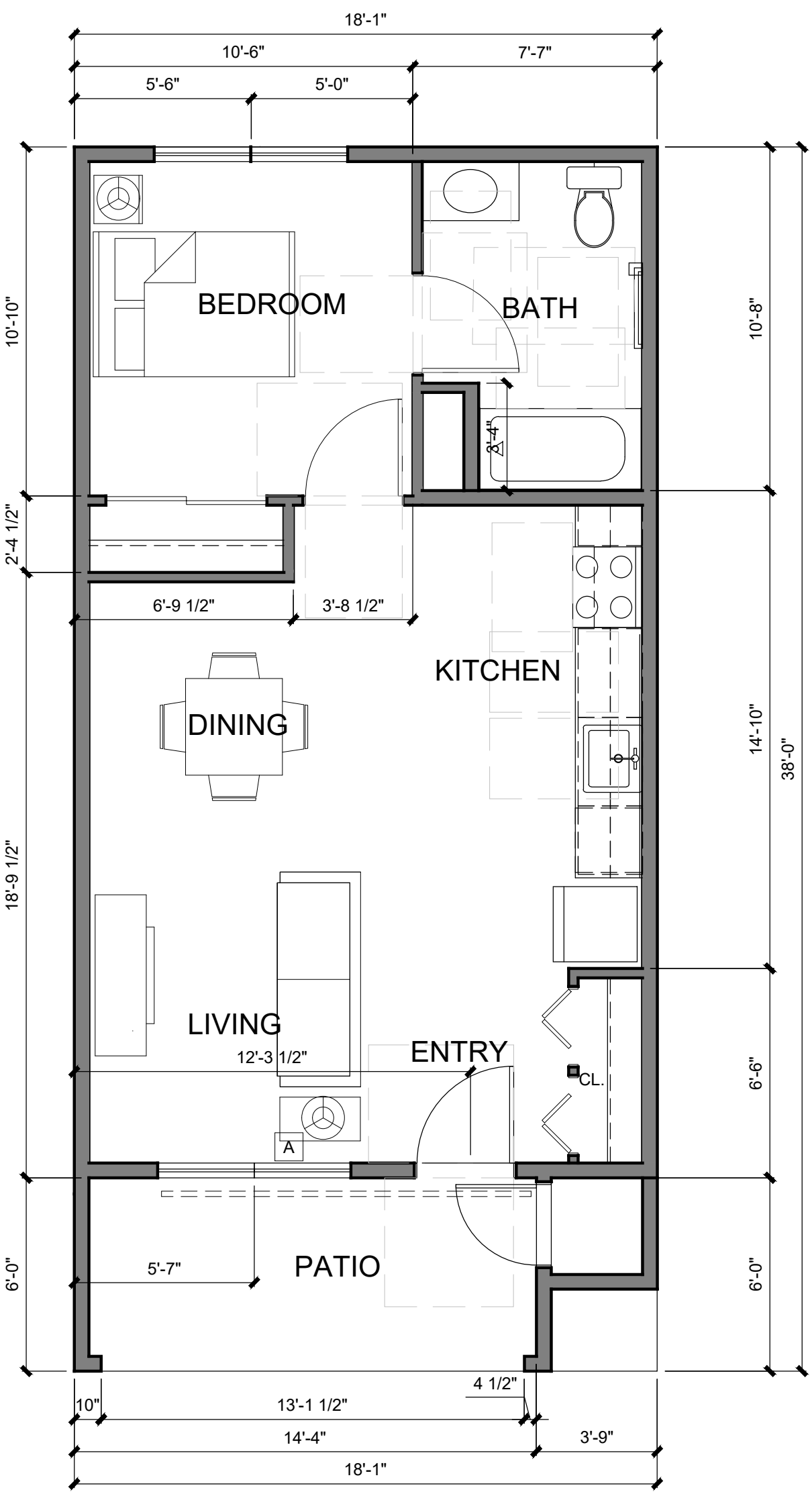
UNIT A - 1 BEDROOM / 1 BATH

LIVING: 579 SF.
STORAGE: 23 SF.
PATIO: 86 SF.
SCALE 1/4" = 1'-0"



UNIT A-AC 1 BEDROOM / 1 BATH

LIVING: 579 SF.
STORAGE: 23 SF.
PATIO: 86 SF.
SCALE 1/4" = 1'-0"



'DA' UNIT A 1 BEDROOM / 1 BATH

BUILDING 3: 104
BUILDING 4: 113
SCALE 1/4" = 1'-0"

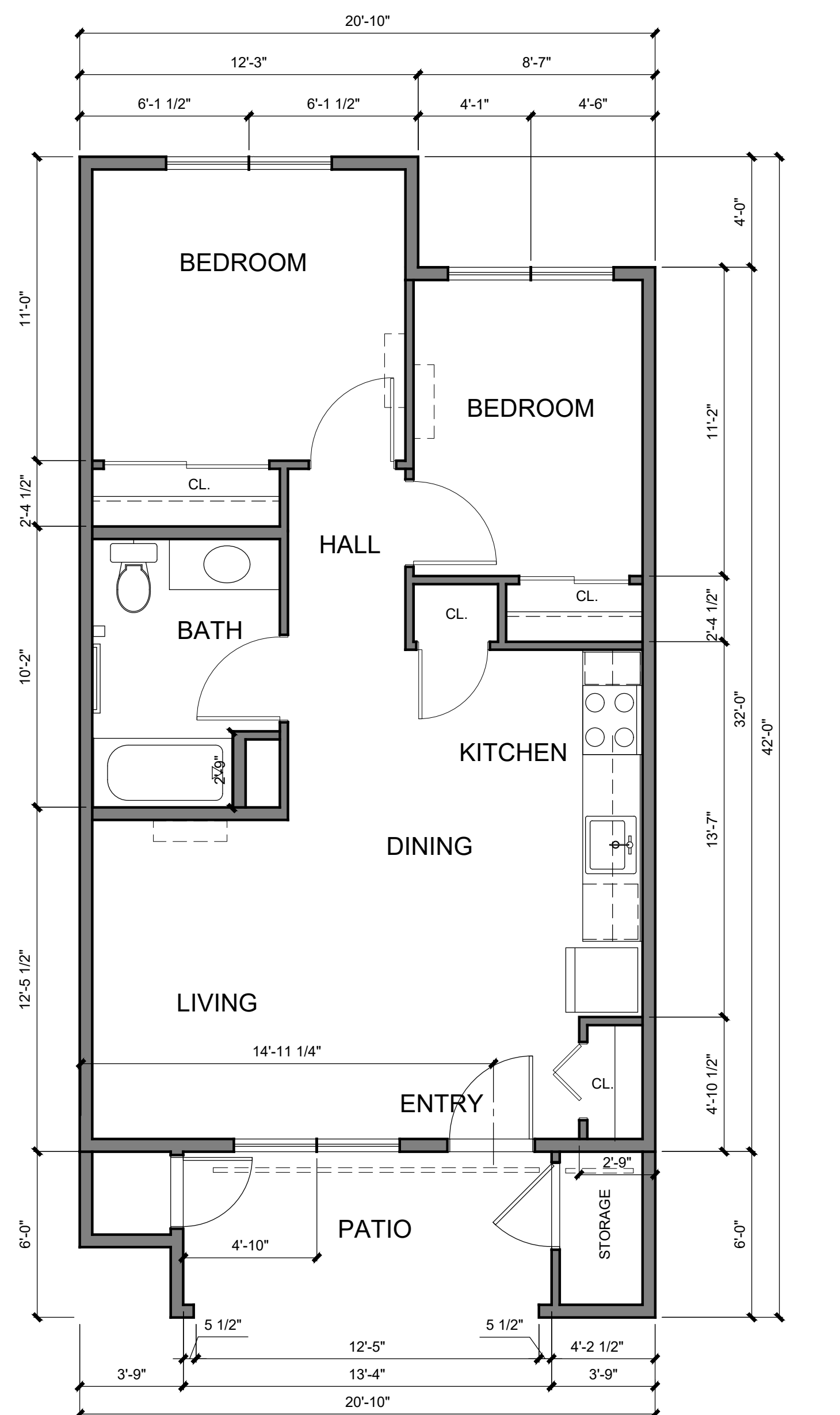
RANCHO COLUS APARTMENTS - PHASE 2

1717 State Highway 20, Colusa, California

UNIT TYPE A



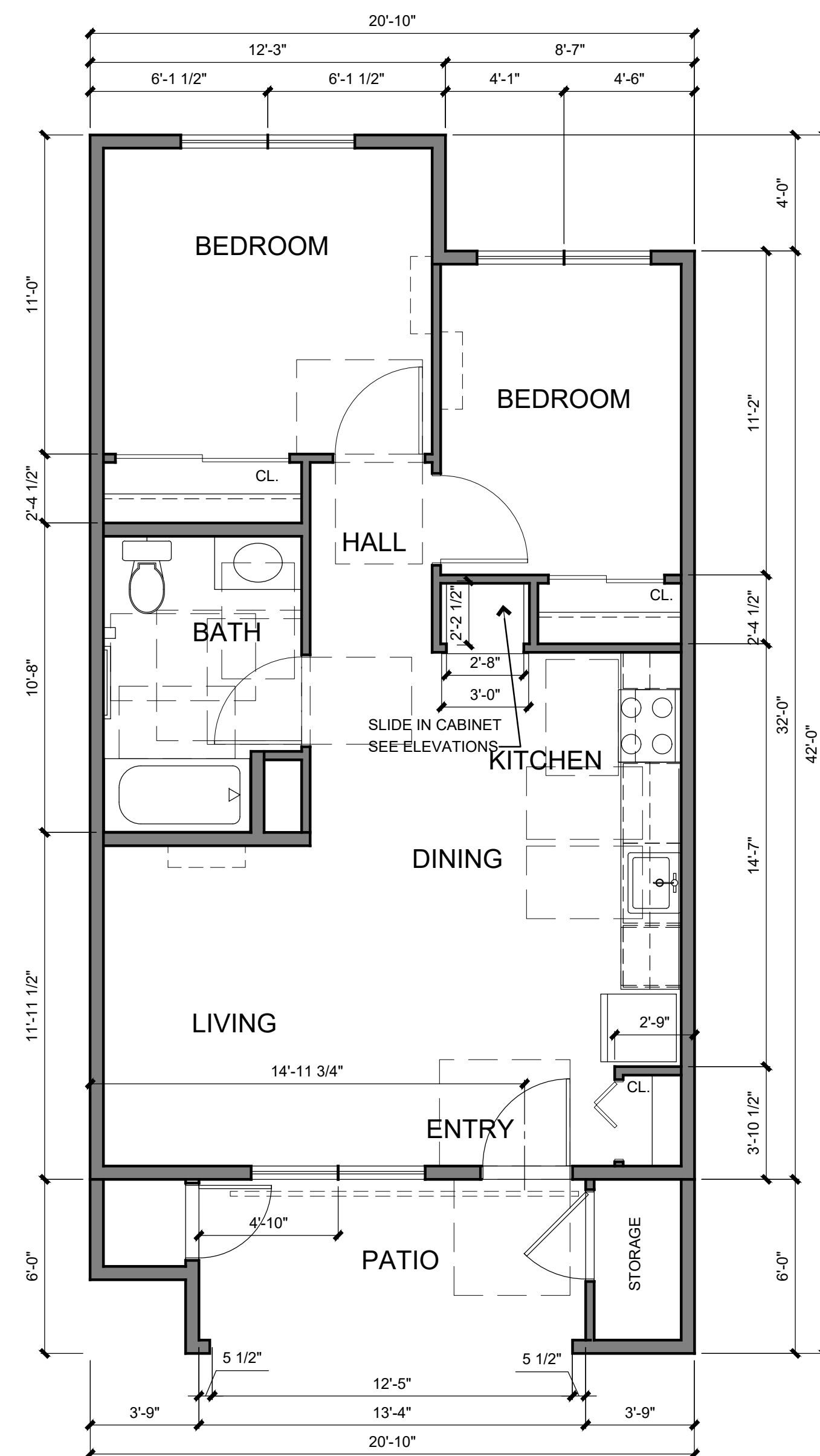
A2.3



UNIT B1 - 2 BEDROOM / 1 BATH

LIVING: 716 SF.
STORAGE: 23 SF.
WH STORAGE: 23 S.F.
PATIO: 80 S.F.

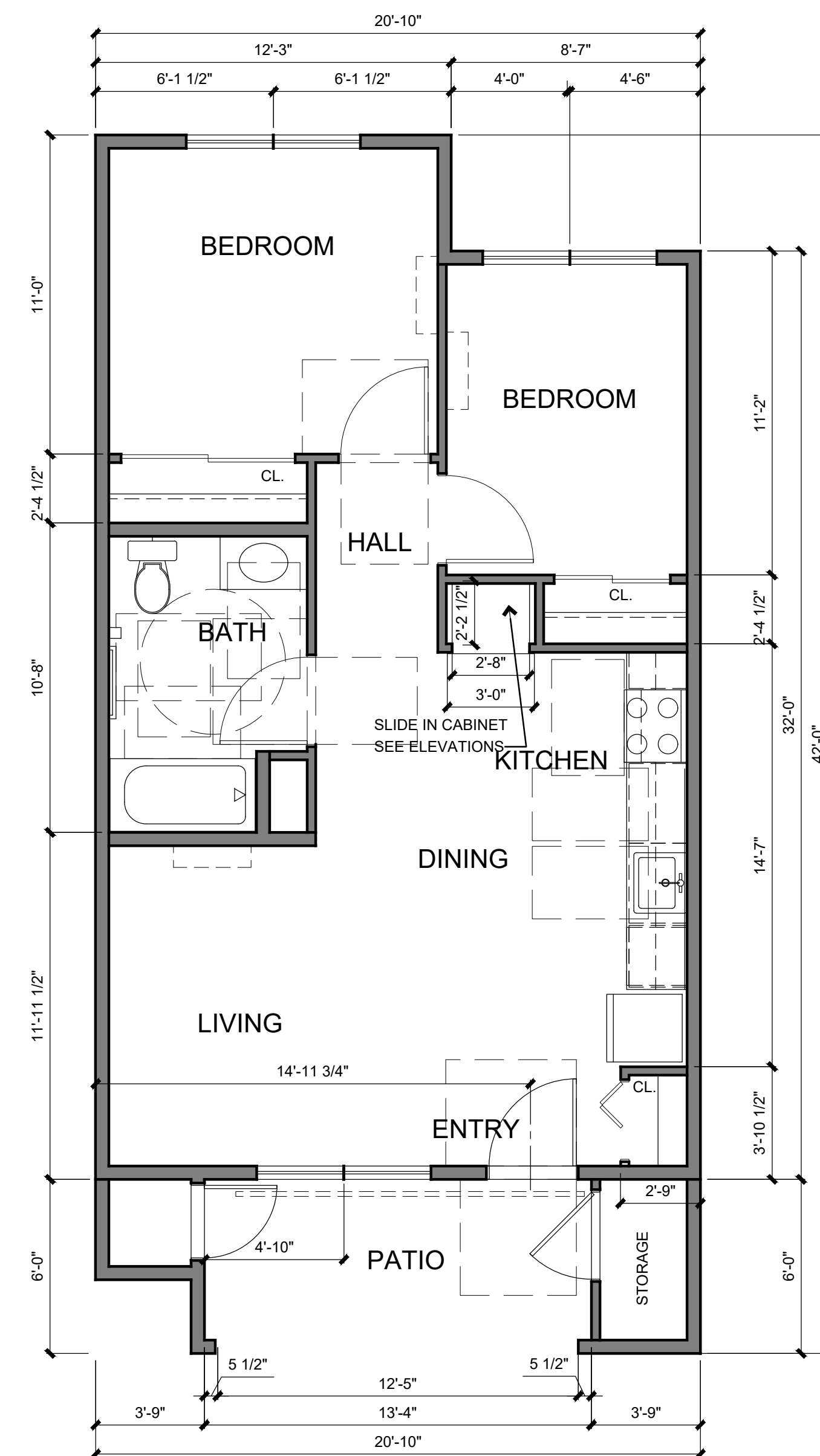
SCALE 1/4" = 1'-0"



UNIT B1-AC 2 BEDROOM / 1 BATH

LIVING: 687 SF.
STORAGE: 20 SF.
WH STORAGE: 20 S.F.
PATIO: 70 S.F.

SCALE 1/4" = 1'-0"



UNIT B1 'DA' 1 BEDROOM / 1 BATH

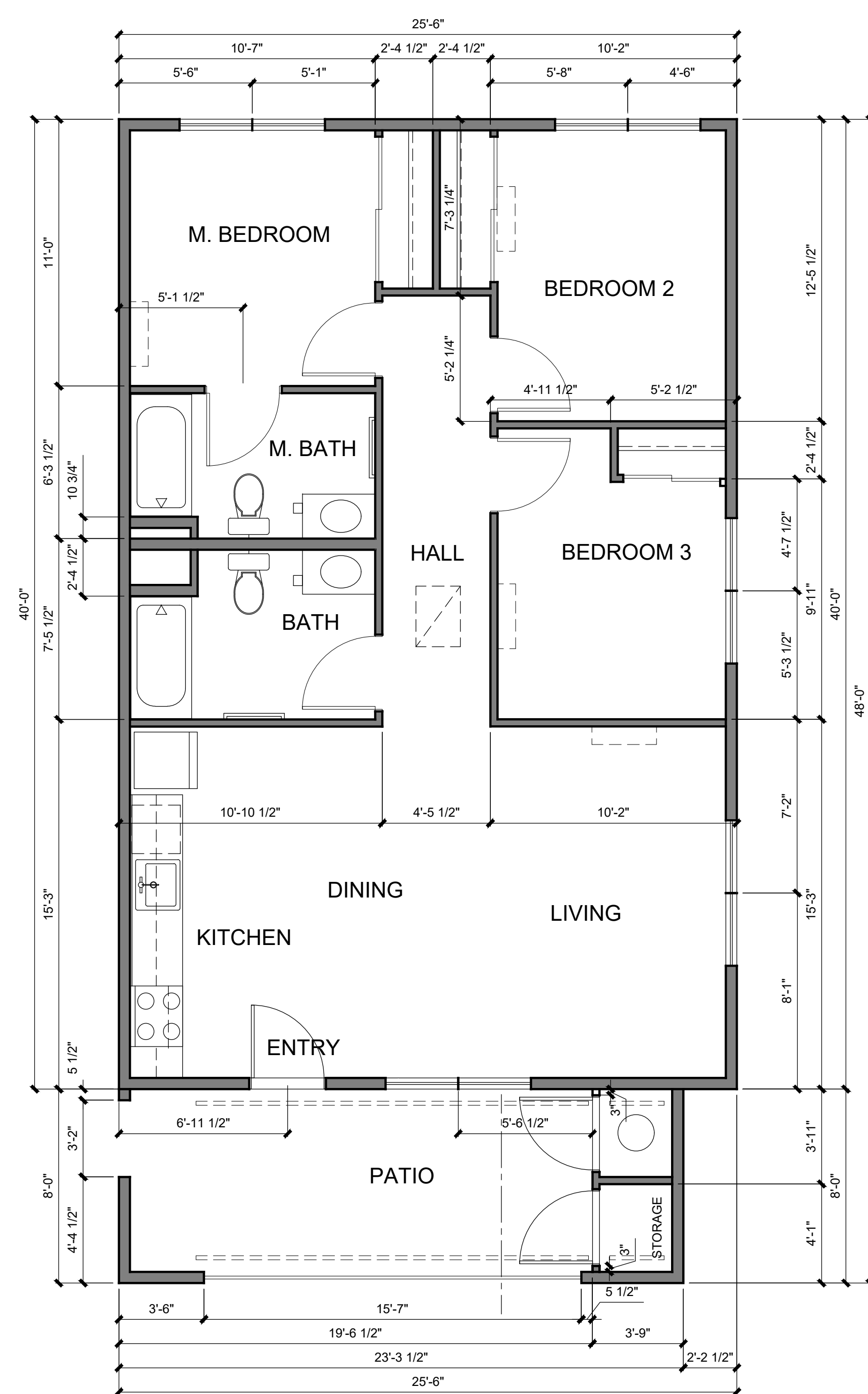
BUILDING 3: 102, 106, 107
BUILDING 4: 110, 114, 115

SCALE 1/4" = 1'-0"

RANCHO COLUS APARTMENTS - PHASE 2

1717 State Highway 20, Colusa, California

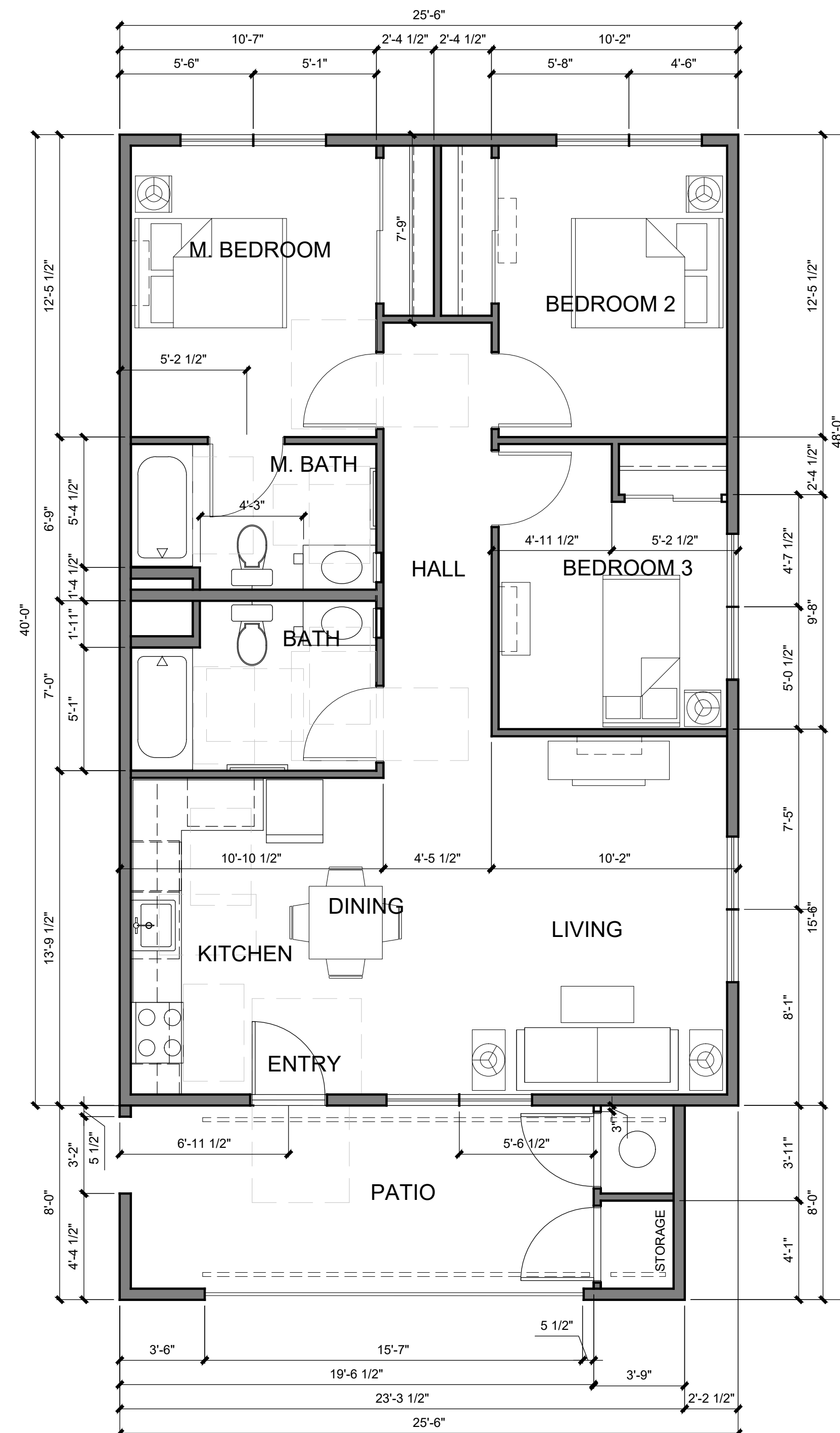
UNIT TYPE B



UNIT C - 3 BEDROOM / 2 BATH

LIVING: 1020 S.F.
STORAGE: 16 S.F.
WATER HEATER: 14 S.F.
PATIO: 156 SF.

SCALE 1/4" = 1'-0"

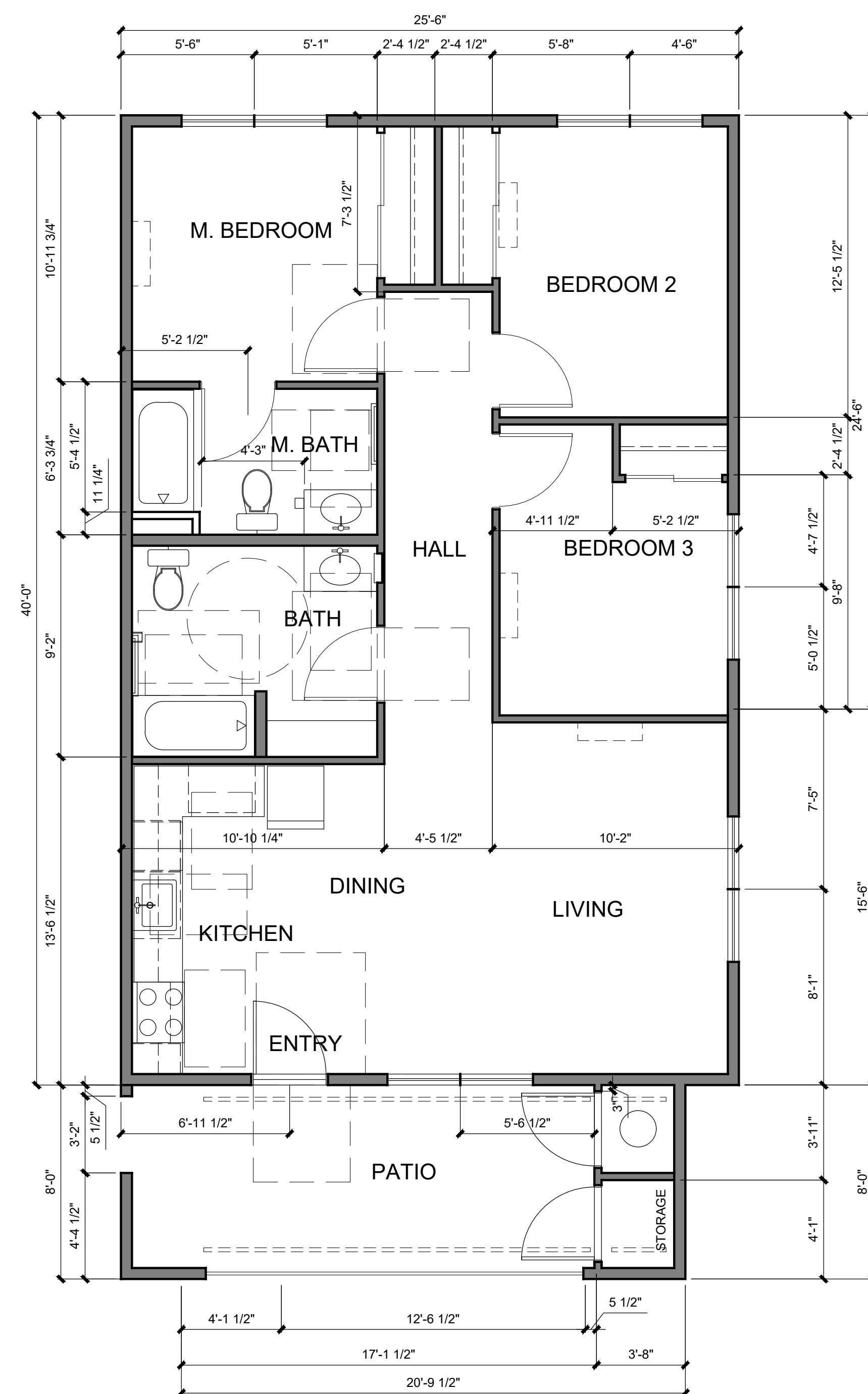


UNIT C-AC - 3 BEDROOM / 2 BATH (ADAPTABLE)

LIVING: 1020 S.F.
STORAGE: 16 S.F.
WATER HEATER: 14 S.F.
PATIO: 156 SF.

SCALE 1/4" = 1'-0"

BUILDING 1: 108
BUILDING 2: 116



UNIT C-DA - 3 BEDROOM / 2 BATH (ACCESSIBLE)

LIVING: 1020 S.F.
STORAGE: 16 S.F.
WATER HEATER: 14 S.F.
PATIO: 156 SF.

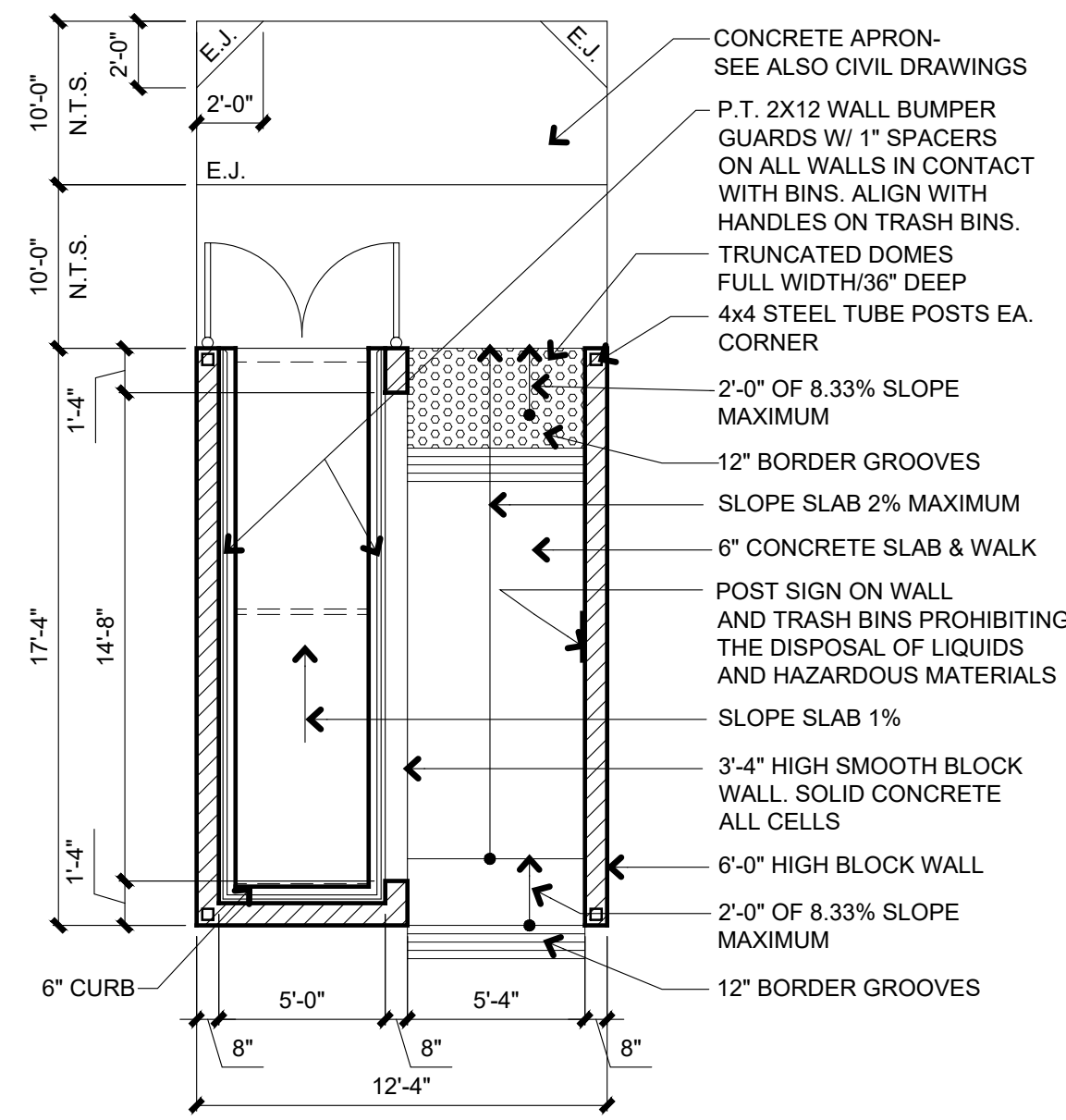
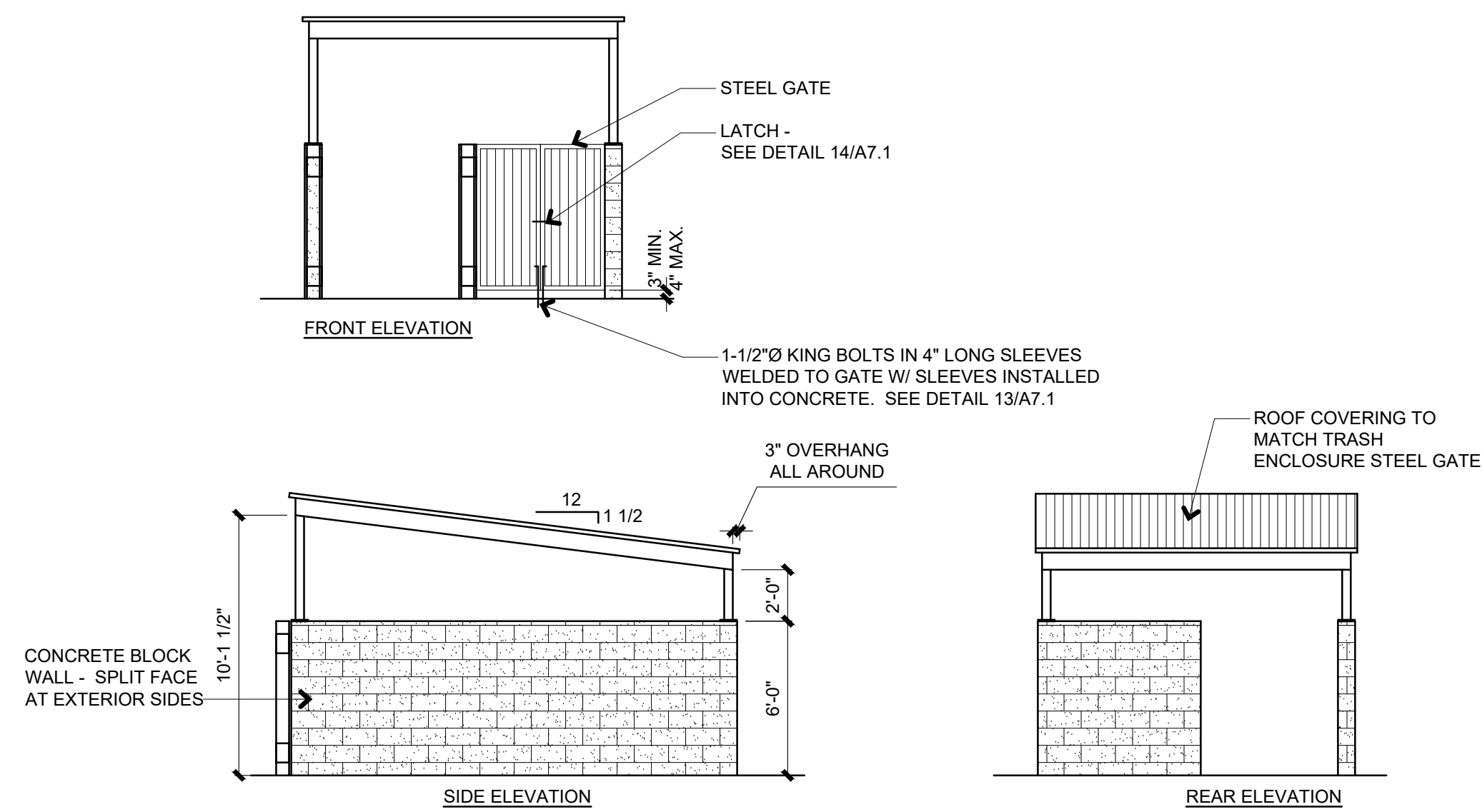
SCALE 1/4" = 1'-0"

BUILDING 3: 108
BUILDING 4: 116

RANCHO COLUS APARTMENTS - PHASE 2

1717 State Highway 20, Colusa, California

UNIT TYPE C



TRASH ENCLOSURE

LOCATIONS SHOWN ON SITE PLAN A1.1

SCALE 3/16" = 1'-0"

SITE LIGHTING

LOCATIONS SHOWN ON SITE PLAN A1.1

NOT TO SCALE



RSX1 LED
Area Luminaire



Specifications

EPA (E-WOP): 0.57 ft² (0.05 m²)

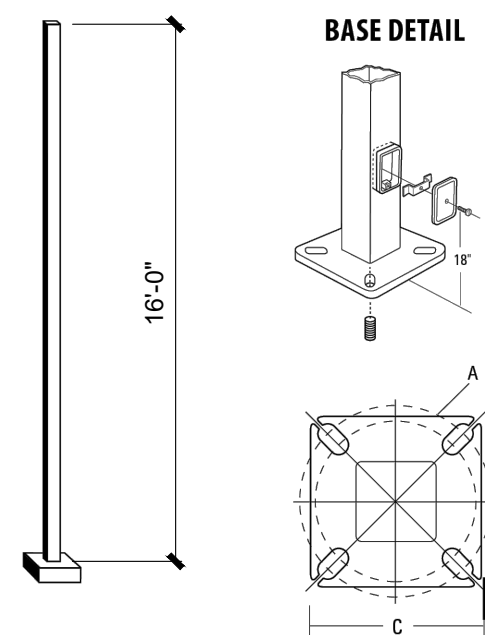
Length: 21.8" (55.4 cm) (SPA mount)

Width: 13.3" (33.8 cm)

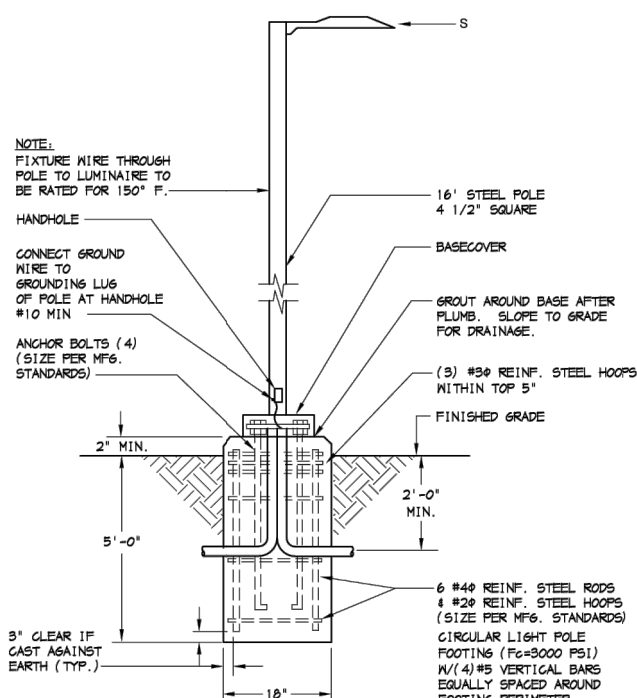
Height: 3.0" (7.6 cm) Main Body
7.2" (18.4 cm) Arm

Weight: 22.0 lbs (10.0 kg) (SPA mount)

PARKING LIGHT FIXTURE



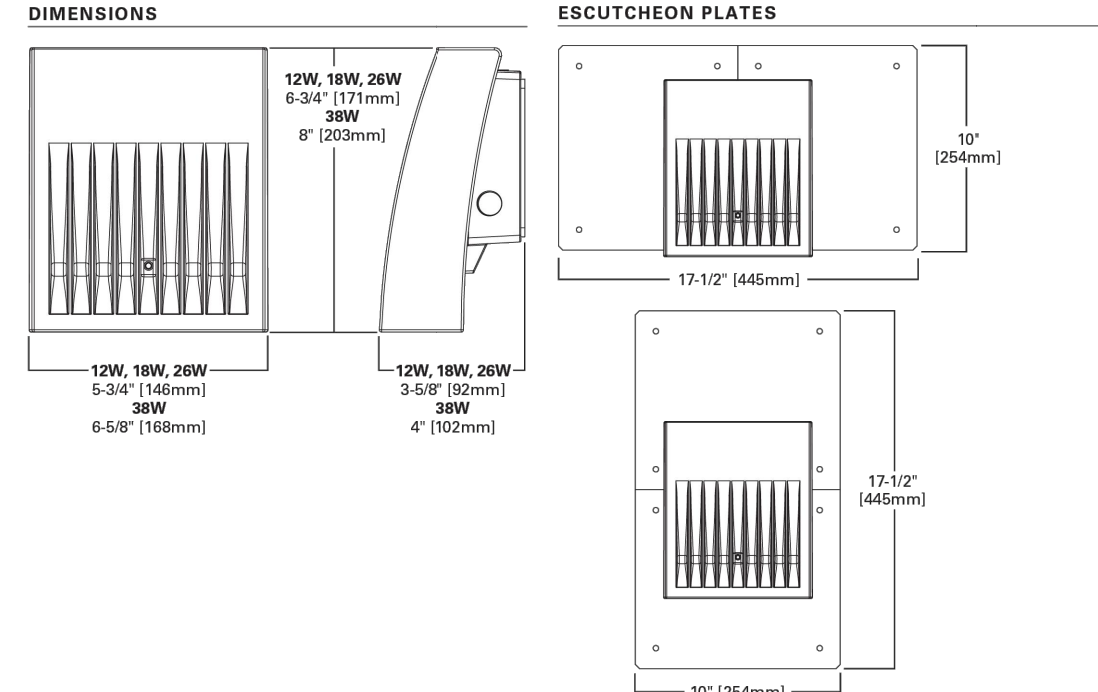
CONNECTION TO BASE



CONCRETE BASE



EXT. BUILDING LIGHT FIXTURE



RANCHO COLUS APARTMENTS - PHASE 2

1717 State Highway 20, Colusa, California

SITE LIGHTING - DETAILS

RANCHO COLUS APARTMENTS - PHASE 2

1717 STATE HIGHWAY 20
COLUSA, CALIFORNIA



VICINITY MAP



PROJECT SUMMARY

PROJECT	RANCHO COLUS APARTMENTS		
LOCATION	CITY OF COLUSA		
JURISDICTION	002-120-029 (PORTION)		
APN			
SITE AREA	66,646.8 S.F.	(1.53 ACRES)	
ZONING PER CITY OF COLUSA	R-4-HD RESIDENTIAL APTS. & MU MIXED-USE ALONG BRIDGE STREET		
DWELLING UNITS			
1 BEDROOM UNITS	12	25%	
2 BEDROOM UNITS	24	50%	
3 BEDROOM UNITS	12	25%	
TOTAL DWELLING UNITS	48	UNITS	
ACCESSIBLE UNITS TCAC SEC. 10325.1.7.K			
ACCESSIBLE UNITS (15%)	8	UNITS	
ADAPTABLE UNITS:			
(ALL GROUND LEVEL UNITS- ACCESSIBLE UNITS)	8	UNITS	
COMMUNICATION FEATURES (10%)	5	UNITS	

SITE DENSITY

	SITE AREA (ACRES)	DENSITY PER CITY CODE, # OF UNITS/ACRE	NUMBER OF UNITS ALLOWED WITH CITY DENSITY	DENSITY PER AB 744 WITH 80% DENSITY BONUS FOR 36 UNITS/ACRE	NUMBER OF UNITS ALLOWED WITH AB 744 BONUS	NUMBER OF UNITS PROVIDED
PHASE 1	2.13	20	43	36	77	49
PHASE 2	1.53	20	31	36	55	48
TOTALS	3.66		73		132	97

PARKING SUMMARY

PHASE 1 PARKING PER UNIT AB744		
UNIT TYPE	AREA MEDIAN INCOME (AMI)	PARKING REQ. PER AB744
8 - 1 BEDRM UNITS	30% AMI	1 SPACE/UNIT
6 - 2 BEDRM UNITS	30% AMI	8 PARKING SPACES
1 - 3 BEDRM UNIT	30% AMI	6 PARKING SPACES
5 - 2 BEDRM UNITS	50% AMI	1 PARKING SPACE
4 - 3 BEDRM UNITS	50% AMI	5 PARKING SPACES
13 - 2 BEDRM UNITS	60% AMI	4 PARKING SPACES
7 - 3 BEDRM UNITS	60% AMI	13 PARKING SPACES
1 - 3 BEDRM UNIT	MANAGER'S UNIT	7 PARKING SPACES
		1 PARKING SPACE
TOTAL REQUIRED: 45 PARKING SPACES		
TOTAL PROVIDED: 72 PARKING SPACES		
PHASE 2 PARKING PER UNIT AB744		
UNIT TYPE	AREA MEDIAN INCOME (AMI)	PARKING REQ. PER AB744
8 - 1 BEDRM UNITS	30% AMI	1 SPACE/UNIT
6 - 2 BEDRM UNITS	30% AMI	8 PARKING SPACES
1 - 3 BEDRM UNIT	30% AMI	6 PARKING SPACES
5 - 2 BEDRM UNITS	50% AMI	1 PARKING SPACE
4 - 3 BEDRM UNITS	50% AMI	5 PARKING SPACES
13 - 2 BEDRM UNITS	60% AMI	4 PARKING SPACES
7 - 3 BEDRM UNITS	60% AMI	13 PARKING SPACES
TOTAL REQUIRED: 44 PARKING SPACES		
TOTAL PROVIDED: 51 PARKING SPACES		
PARKING REQ. ON ENTIRE SITE AB 744: 89 SPACES		
PARKING PROVIDED ON ENTIRE SITE: 123 SPACES		
PARKING RATION ON ENTIRE SITE: 1.38 SPACES PER UNIT		

PHASE 2 PARKING PROVIDED	
PARKING FOR RESIDENTS	46
ACCESSIBLE SPACES	
(PER SEC. 11B-233.3.1.1 & 11B-208.2.3.1 = 5%)	3
ADDITIONAL PARKING (SEC. 11B-208.2.3.2 = 2%)	1
PARKING FOR GUESTS, EMPLOYEES & OTHER NON-RESIDENTS (SEC. 11B208.2.2.3)	
TOTAL FULL SIZE PARKING PROVIDED	51

TOTAL PARKING PROVIDED:	51 SPACES
PARKING RATIO	1.06 SPACES PER UNIT

EV CAPABLE PARKING REQUIRED:	
EV CAPABLE (SEC 4.106.4.2.2) 40%	21
TOTAL NUMBER OF EVCS PARKING SPACES REQUIRED	21

EV CAPABLE PARKING PROVIDED	
EV CAPABLE ACCESSIBLE EVCS (11B-228.3.2.1)	
VAN ACCESSIBLE	1
STANDARD ACCESSIBLE	1
AMBULATORY	1
EV CAPABLE AVAILABLE FOR USE BY ALL RESIDENTS	18
TOTAL NUMBER OF EVCS CAPABLE PARKING SPACES PROVIDED	21

PROJECT DIRECTORY

DEVELOPER	SUTTER COMMUNITY AFFORDABLE HOUSING ATTENTION: GUS BECERRA 1455 BUTTE HOUSE ROAD YUBA CITY, CA 95993 (530) 871-0220 ext. 113 EMAIL: g.becerra@regionalha.org
DEVELOPER	SAGE HOUSING GROUP LLC ATTENTION: LUKE WATKINS 2745 PORTAGE BAY EAST DAVIS, CA 95616 (530) 400-2927 EMAIL: lukewatkins@sbcglobal.net
ARCHITECT	KUCHMAN ARCHITECTS PC ATTENTION: PHIL HARVEY 2203 13TH STREET SACRAMENTO, CA 95818 PHONE: (916) 447-3436 FAX: (916) 447-3466 EMAIL: phil@kuchman.com
CIVIL	NORTHSTAR ATTENTION: JIM STEVENS 111 MISSION RANCH BLVD, SUITE 100 CHICO, CA 95926 PHONE: (530) 893-1600 EMAIL: JSTEVENS@NORTHSTARENG.COM
LANDSCAPE ARCHITECT	TOM SMITH ASSOCIATES ATTENTION: TOM SMITH 6921 ROSVILLE ROAD SACRAMENTO, CA 95842 PHONE: (916) 349-7376 EMAIL: tsassocia@yahoo.com

SHEET INDEX

ARCHITECTURAL	
A0.0	COVER SHEET
A1.1	SITE PLAN
A2.1	BUILDING 3 & 4 FLOOR PLAN
A2.2	BUILDING 3 & 4 ROOF PLAN
A2.3	UNIT TYPE A
A2.4	UNIT TYPE B
A2.5	UNIT TYPE C
A3.1	BUILDING 3 & 4 TYPE 1 EXTERIOR ELEVATIONS
A3.2	BUILDING 3 & 4 TYPE 1 EXTERIOR ELEVATIONS
A4.1	SITE LIGHTING & DETAILS
CIVIL	
SHEET 1 OF 1	PRELIMINARY GRADING PLAN
LANDSCAPE	
L1	PRELIMINARY LANDSCAPE PLAN

BUILDING AREA SUMMARY

	UNIT TYPES A-AC, A 1 BD/1BA	B-AC, B 2 BD/1BA	C-AC, C 3 BD/2BA	EXISTING C-AC, C 3 BD/2BA	TOTAL UNITS PER BLDG	TOTAL UNIT / BLDG SQ. FT.	TOTAL COVERED WALKWAY	TOTAL INTERIOR AND COVERED WALKWAY
LIVING SQ. FT STORAGE SQ. FT. WH/CLOSET SQ. FT. PATIO SQ. FT (COVERED)	579 13 - 87	716 36 - 81	920 14 16 156	EXISTING EXISTING EXISTING				
BUILDING & TYPE								
BUILDING 3 - TYPE 1	6	12	6		24	19,071	1,328	20,399
BUILDING 4 - TYPE 1	6	12	6		24	19,071	1,328	20,399
TOTAL RATIO	12 25%	24 50%	12 25%		24 100%	38,142	2,656	40,798
EXISTING COMMUNITY CENTER				1	1	EXISTING	EXISTING	EXISTING
EXISTING COMMUNITY CENTER - UPPER LEVEL						EXISTING	-	EXISTING

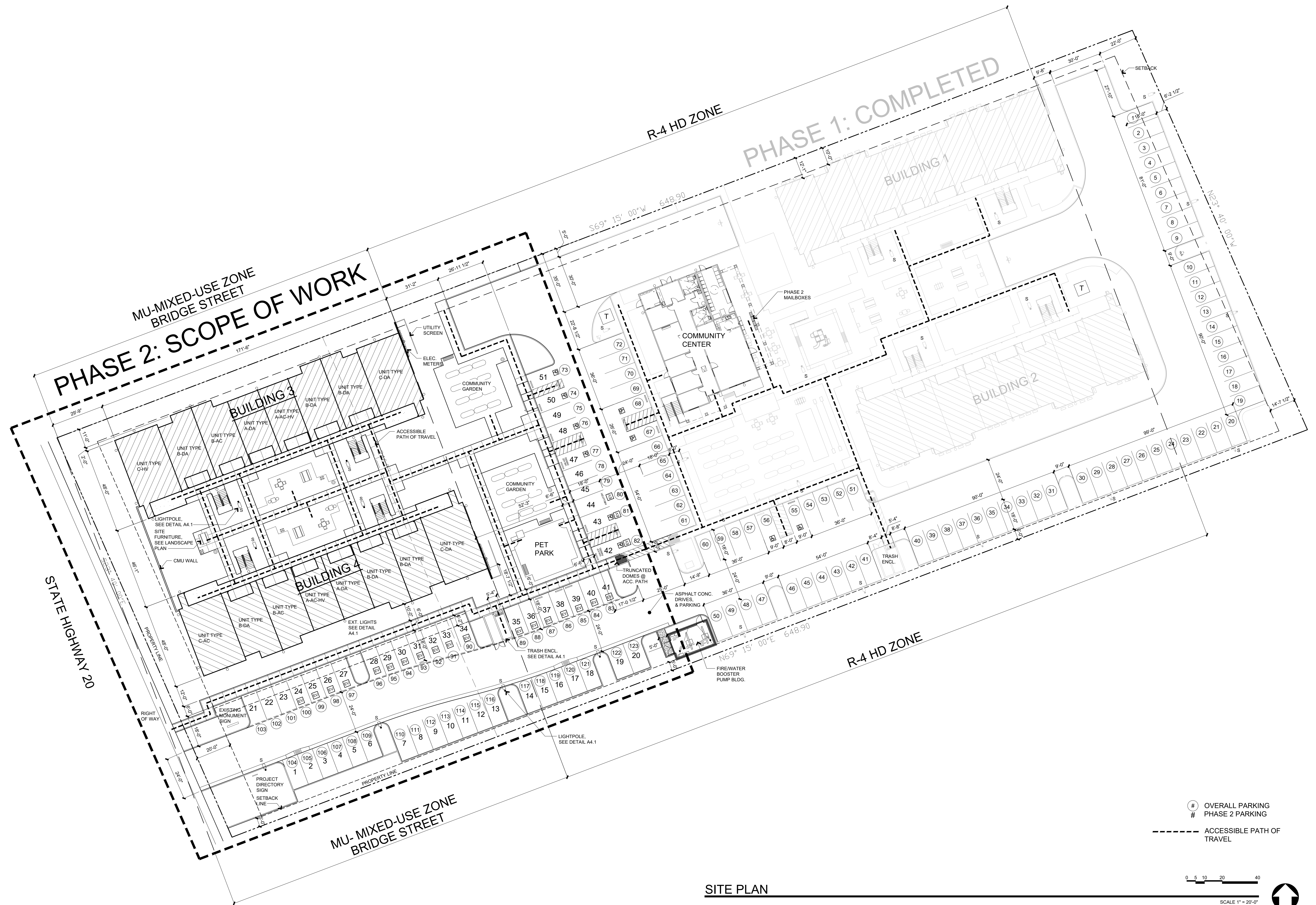
RANCHO COLUS APARTMENTS - PHASE 2

1717 State Highway 20, Colusa, California

COVER SHEET



A0.0



RANCHO COLUS APARTMENTS - PHASE 2

1717 State Highway 20, Colusa, California

SITE PLAN



A1.1

1-2-2025