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AGENDA

PLANNING BOARD AND ZONING COMMISSION REGULAR MEETING TUESDAY, SEPTEMBER 13, 2022 BEGINNING AT 6:30 PM COUNCIL CHAMBERS CITY HALL

CALL TO ORDER AND ROLL CALL

APPROVAL OF MINUTES:

1. Approval of August 9, 2022 Regular Meeting Minutes

VISITOR OR PUBLIC COMMENT: (An opportunity for the Public to comment on any items not on tonight's agenda)

PUBLIC HEARINGS AND ACTION:

2. **Public Hearing - Request for a Planned Unit Development in the Columbia Falls Planning Jurisdiction:**

Mick Ruis is requesting a Planned Unit Development on behalf of HC 246 LLC in the Columbia Falls Zoning Jurisdiction. The property is located at 230 Highway 2 East in Columbia Falls and is described as Tract 1 of COS No. 3040 and Certificate of Survey No. 3778 all in Section 17, Township 30 North, Range 20 West, P.M.M., Flathead County. The applicant is proposing to construct a four story 65 unit hotel and is requesting the PUD in order to exceed the 45-foot height limit by five feet and reduce the landscape provisions of the large building and PUD standards.

- a. Adopt Staff Report CPUD-22-03 as Findings of Fact
- b. Recommend Approval of PUD, with conditions, to the City Council

ADJOURNMENT

Next Regular Planning Board Meeting – October 11, 2022

**CITY OF COLUMBIA FALLS
PLANNING BOARD MEETING MINUTES
HELD AUGUST 9TH, 2022**

REGULAR MEETING – 6:30 PM.

CALL TO ORDER AND ROLL CALL:

Chairman Vukonich called Meeting to order at 6:47 PM

PRESENT

Vukonich, Nelson, Smith, Byrd-Rinck, Lundgren, Duffy, Kavanagh, Singer

ABSENT

Shepard

Also present: City Manager Susan Nicosia, Contract Planner Eric Mulcahy, City Attorney Justin Breck, Fire Chief Karl Weeks, Lieutenant Gary Denham, Public Works Clerk/GIS Technician Caleb Sobczak.

APPROVAL OF MINUTES:

Approval of July 12th, 2022 Regular Meeting Minutes

Motion made by Smith to approve the July 12th, 2022 minutes as presented, Seconded by Singer. Motion carried with all present voting Aye: Vukonich, Nelson, Smith, Byrd-Rinck, Lundgren, Duffy, Kavanagh, Singer.

Chairman Vukonich addressed the audience, noting that the Board recognizes the large number in attendance. Public comment will be limited to 3 minutes per person so the Board may hear from everyone wishing to speak on tonight's agenda items.

VISITOR OR PUBLIC COMMENT: (An opportunity for the Public to comment on any items not on tonight's agenda)

Public Comment was opened at 6:56 PM.

Mayre Flowers speaking on behalf of Citizens for a Better Flathead, 135 S Main St Kalispell. Requesting annexation information to be posted on the city website, as well as the Extension of Services Plan and the 2018 review of the sewage treatment plant.

Clarence Taber, 24 Taber Ln, Columbia Falls. Did not vote for anyone on the Planning Board. Chairman Vukonich responded saying that they applied for the Board they are not voted in but appointed by County Commissioners and City Council.

PUBLIC HEARINGS AND ACTION:

Levang Zone Change: Chairman Vukonich read the hearing notice and asked for the staff report presentation. Contract Planner Eric Mulcahy: Request for a Zoning Map Amendment in the Columbia Falls Planning Jurisdiction, Loretta and Ronald Levang are requesting a zoning map amendment that will rezone a portion of their property from the existing CSAG-10 zoning to a CR-1 Zoning. The property is located at 435 Rogers in Columbia Falls and is described as Assessor's Tract 2B in Section 21, Township 30 North, Range 20 West, P.M.M., Flathead County (The rezoning only effects that portion of the property zoned CSAG-10 and not the portion that is unzoned or that has the Scenic Overlay). Growth Policy designates this property as Urban Residential but to go to higher densities it must be supported by city water and

sewer. CR-1 Suburban Residential matches the density requested. Request complies with the 12 findings of fact; staff is requesting approval of zone change.

Applicant Presentation and Public Comment 7:04 PM. Applicant Daniel Seliger 435 Rogers Rd Columbia Falls. Requesting zone change to perform family transfer to each of their children so they can live on the property. Existing septic systems on property, DEQ has approved use of these septic systems but they will have to drill another well.

No public comment for this agenda item.

Board discussion: Duffy wishes clarification that the zone change does not cover the unzoned sections of the property and will be a one and only application. Mulcahy; correct, about 1/3 of property is unzoned; the request is only to change the zoning on the portion that is currently zoned. It would not require any additional applications.

Motion to adopt Staff Report CZC-22-04 as Findings of Fact by Byrd-Rinck, seconded by Smith. Roll Call vote to Adopt Staff Report CZC-22-04 as Findings of Fact AYES: Vukonich, Nelson, Smith, Byrd-Rinck, Lundgren, Duffy, Kavanagh, Singer. NOES: None. ABSENT: Shepard. Motion passes.

Motion to recommend approval of zone change to City Council by Lundgren, seconded by Singer. Roll Call vote to Recommend approval of zone change to City Council AYES: Vukonich, Nelson, Smith, Byrd-Rinck, Lundgren, Duffy, Kavanagh, Singer. NOES: None. ABSENT: Shepard. Motion passes.

Chairman Vukonich asked for the staff report presentations on the River Highlands Request for a Zoning Map Amendment, a Planned Unit Development and a Subdivision in the Columbia Falls Zoning Jurisdiction. Mulcahy stated that all three staff reports will be presented in a single presentation with a single public hearing for all three requests:

Request for a Zoning Map Amendment in the Columbia Falls Planning Jurisdiction – Staff Report CZC-22-02:

James Barnett on behalf of River Highlands LLC is requesting a zoning map amendment in the Columbia Falls Zoning Jurisdiction. The property is currently zoned CR-3 (One Family Residential) and the applicant is proposing CR-4 (Urban Residential). Mulcahy presented the evaluation based on the 12 statutory criteria. Mulcahy stated that the staff report recommends approval of the zone change.

Request for a Planned Unit Development in the Columbia Falls Zoning Jurisdiction – CPUD-22-02:

James Barnett on behalf of River Highlands LLC is requesting a Planned Unit Development in the Columbia Falls Zoning Jurisdiction; the development is called River Highlands Apartments. Mulcahy noted that the project consists of 65 attached single family row houses, 390 apartment units and 10 row house units dedicated to the Northwest Montana Community Land Trust. The total unit count is 455 units on 49.1 acres gross for a density of 9.2 units per acre. The applicant is proposing 21.5 acres (43%) of the site as park and open space. With the project, the applicants are proposing to move River Road further east on Highway 2 and if supported by the MDOT the applicants would install a traffic signal at Highway 2 and River Road. Two deviations are requested with the PUD; the applicant is requesting to zoning deviations, one would allow an increase in height of ten feet allowing a portion of the apartment buildings to approach 45 feet in height and the second deviation would reduce the parking requirement from 2 spaces per unit down to 1.5 spaces per unit. Mulcahy presented the Evaluation Based on Statutory Criteria for each of the 14 categories. Mulcahy presented the Summary of Findings as well as the staff recommendation to approve the PUD overlay zone subject to 19 detailed conditions.

Request for a preliminary plat in the Columbia Falls Zoning Jurisdiction – Staff Report CPP-22-02:

James Barnett on behalf of River Highlands LLC is requesting a Subdivision in the Columbia Falls Zoning Jurisdiction. The subdivision will create 21 lots (17 residential and 4 open space lots). The subdivision will extend Municipal water and sewer services along with reconstructing River Road and incorporating a detached pedestrian path. The new roads within the project will be privately maintained but open to the public. The proposed subdivision is part of the zone change and PUD application for River Highlands Apartments. Mulcahy presented the Findings of Fact based on statutory criteria and Columbia Falls Subdivision Regulations Chapter 17.12.090 Impact Criteria. Mulcahy completed the presentation with the Summary of Findings and staff recommendation to approve the preliminary plat with 19 detailed conditions of approval.

Chairman Vukonich called for a recess at 7:45 PM.

Chairman Vukonich called meeting back to order at 7:51 PM.

Vukonich asked the Board if they had Questions for Staff: Kavanagh wondering max units for current CR-3 zone. Mulcahy CR-3 allows 7 dwelling units per acre, approximately 350 units. Kavanagh current zoning being single family and this development is primarily focused on multi-family. Mulcahy: Growth Policy looks at mix of other uses. Planned unit development tool allows the developer to utilize the multi-family more. Kavanagh in cluster development one building cannot exceed 10 units. Mulcahy: they are not utilizing the cluster development tool they are using the planned unit development tool. Clustering is not within urban residential zoning.

Vukonich: Staff Report item 10 character of the district, expand on summation for the large buildings being placed in this area. Mulcahy: disparity between areas current use and planned use. That is true of city growth in any direction; agricultural lands will have to be converted to an urban designation. Developers look to the Growth Policy set forth by the Planning Board and City Council to determine where there is potential for city growth. Vukonich seeks a greater understanding of the River Road improvements towards the Highway 2 intersection and the traffic that will go south towards Columbia Falls Stage and Kalispell. Mulcahy: traffic study did analysis of traffic patterns, 80% of traffic is going north into Columbia Falls. Vukonich, wondering does the height increase of 10 feet create the opportunity to build a 3rd floor. Mulcahy: they will still be able to have a 3rd floor without the height increase; it is to create a gabled look.

Kavanagh: has there been any feedback from MDOT in regards to traffic signal being warranted? Mulcahy reached out to them and has not gotten back to him yet. In his experience if the traffic impact study states that it meets those warrants the recommendations will be implemented but the City has no authority over the design and implementation in the MDOT's right of way. Kavanagh: approximately 150 spaces of on-street parking, is that including parking on River Road. Mulcahy said there is no parking on River Road.

Singer asked if there will be an elevator in the buildings. Mulcahy said he's not sure so he will let the applicant answer that question.

Duffy asked if the traffic light be built in Phase 1 of construction. Mulcahy's recommendation to the Board is that it be implemented in Phase 1. Vukonich asked if the project is approved will the City try to fast track MDOT to approve the traffic light. Mulcahy the traffic will need to be addressed as a requirement, all permits, MDOT and other, will have to be secured before they move forward.

Vukonich recalled in 2008, the extension of city services was going to be on the structure of the highway bridge now it is underground. Mulcahy noted it is a preference of the engineering firm; approval of this project does not prevent them from suspending services from the bridge. Depth of the bore is required to be 2 times the depth of the scour in a flooding event. There are existing bores under the Clark Fork River in Missoula, the Stillwater River in Kalispell, the Whitefish River and the Bigfork River. Polymer pipe is much improved than in the past. There was not the option of directional bore 50 or 60 years ago but now it is a design element the engineers are comfortable with.

Applicant presentation 8:14 PM: Mike Brodie, Civil Engineer on the project with WGM Group, 431 1st Ave W, Kalispell. Brodie reviewed the site plan noting that on the north end, 5 acres designated for conservation, park and road realignment. Not proposing any short-term rentals on the property but developer would not oppose if it is conditioned. Developer donating over an acre of land to the Northwest Montana Community Land Trust. Focusing this development on a lot of pedestrian access throughout the development and along River Road. Preferred by both the City Public Works Director and MDT to directional bore city services under Flathead River. Brodie noted that the City had a 3rd party engineer evaluate capacity and said that it was sufficient. Brodie went over plan to bore under the river and examples of other places that have done similar projects. Setbacks from river for the development are nearly at 300 feet for the entire development but the Planning Board can condition the 300-foot minimum if they consider that as a required condition. Storm water is a collaborative design to come up with the best way to manage storm water on the site. To answer Chairman Vukonich's question, they can build the buildings 3 stories without the height variance. Gables are a cosmetic choice that they believe adds to the residential architecture appearance and overall functionality. To answer

Singer's question, there will not be elevators in these buildings. Traffic Impact Study states that the intersection will require a signal to maintain the level of service at this intersection. Intersection will have to be moved to the east to accommodate site distance. Traffic engineer evaluated amount of traffic north versus south and the primary route would be along Highway 2 to get to Columbia Falls, Whitefish and Kalispell. Development will not function well without the signal and Mulcahy has conditioned it to be constructed in Phase 1, the developer is not trying to avoid this. Donation to Montana Land Trust is approximately 1 acre and supports 10 units.

Chairman Vukonich asked the Board if they had Questions for the applicant's representative: Nelson: donation to Community Land Trust in Phase 2, what if phase 2 does not happen. Likely will condition that it will be part of Phase 1. Applicant, intention wasn't that they will do that later it was in the area that was designated Phase 2 so it was scheduled for that time. Kavanagh wondering about parking and garages as well as building loading. Applicant, townhomes will each have a driveway and a garage. Goal was to reduce parking spaces not for a limiting of cost but to increase the amount of greenspace in the development. Overall, it comes to 1.75 parking spaces per unit. Kavanagh: expand on request to reduce fire lane width. Walking path is the fire lane, was at 20 feet. When presented to Columbia Falls Fire Chief Karl Weeks stated that it does not need to be 20 feet and with a variance can be reduced to 12 feet since there are entrances at either end and no need to turn around. To answer the previous question of building loading he does not remember the exact number of bedrooms in units but the L buildings are single bedrooms, doesn't believe there are any studios. They have not been fully designed yet. Vukonich, what is the developer doing to offset the increase in the density and loading? Applicant, development is congruent with the growth policy. Community benefits in this development include the improvement of River Road, the community park, river access and parking, the open space, the clubhouse for residents, and the bike paths along River Road and Highway 2.

Chairman Vukonich called for a recess at 8:34 PM.

Chairman Vukonich called meeting back to order at 8:44 PM

Public Hearing opened at 8:46 PM

Claire Reese, 4123 Columbia Falls Stage, Columbia Falls. Opposed to this development. Concerned about having to redrill her well. Development will impact the aquifer. Sees nothing about compensating them for having to redrill their wells. Second concern is that there needs to be a separate entrance for this development. In an emergency there are not enough exits. Concerned about parking spaces people will end up parking on River Road. Concerned about the ability for people to walk to work and there is no public transportation.

Larry Hoerner, 100 River Estates Drive, Columbia Falls. Opposed to this development. Native American artifacts and encampment on property to be developed. Is there anywhere else in Montana where they put a stop light on the end of a bridge that is frozen over in the winter.

Weston Martin, 70 Jackson Hill Trail, Columbia Falls. Opposed to this development. Construction coming off of bridge before light is installed. Lots of equipment and trucks will be a problem. Hopes the Board uses common sense and vote accordingly.

Kim Morisaki, Northwest Montana Community Land Trust, 1329 Bald Eagle Loop Kalispell. Land Trust provides affordable ownership for people in the Flathead Valley. Impossible to build single family home for less than \$350,000. Huge part of the workforce cannot qualify for that type of mortgage. Shortage of rental space. Nothing available for purchase or rent. Anyone can come and build million-dollar houses and that is what will happen if this development is denied. Supports this development.

Clarence Taber, 24 Taber Ln, Columbia Falls. First mistake when the zoning doughnut was accepted. Too much traffic with this development for accesses to Highway 2. This area has the worst infection of hawkweed in the County, before soil is tore up need to deal with that. Opposed to this development.

Chris Hartzell, PO Box 2354, Kalispell, will not publicly disclose physical address other than Badrock Rd and Highway 206 area. Read from his submitted letter to the Planning Board. Opposed to this development. Main points about

requirements the Board should seek if approved. Development fees to alleviate the deferred burden on residents and ensure developers pay for increased demand the development will have. Implement enhanced building requirements. Require safety enhancements for construction as well as a strict penalty clause if there is any contamination of the river.

Joy Gaddis, 24 River Falls Dr, Columbia Falls. May 4th 2022 Flathead County Sheriffs Office reported they are stretched too thin and 911 calls continue to spike. They did not respond to a drunk driver who had crashed into a guard rail. No one had spoken to the Badrock Fire Chief about the increase demand on the volunteer fire district until this project is annexed. According to national standards we are way down on police and fire. There have been 118 breaks in sewer lines under rivers since 2018. EPA estimates 1 break for every 100 feet of sewer that has gone under a river. What about everyone to the south of this sewer line. Opposed to this development.

Gary Hall, 140 Steppe Ln, Columbia Falls. Read letter he had previously submitted. Opposed to this development. Main points, this development will not benefit Columbia Falls. Will change character of community. Columbia Falls Stage and Middle Road have had numerous new houses and subdivision builds in the last few years. Scary to drive down Highway 2 with a traffic count of 17,881 cars per day. Always will be an inadequate and unsafe access to the highway. PUD states light will be installed if MDOT deems it is necessary and will be installed at buildout, way too late. 3000+ people a day use River Road. PUD states it is affordable housing, it is not affordable. Require a 2-million-dollar surety bond moving forward.

Jessie Johnston, 7210 Highway 2 E, Columbia Falls. Concerns if this development proceeds future developers will change zoning and join Columbia Falls up to the Heights. Agriculture affordability will disappear. A lot of grizzly bears at his property and there will be a lot of little kids in this development. Not legal entrance to FWP property and will be lots of kids going over there. Opposed to this development.

Johnny Alamilla, 2180 Tamarack Ln, Columbia Falls. Benefits will just be for people living on that side of the river. Zoning laws preserve what a community should be like and you are changing that. Opposed to this development.

Jacky Demongin, 4250 Columbia Falls Stage, Columbia Falls. Opposed to this development. Several items do not meet criteria and are based on an opinion. Suggests it complies with Growth Policy but projected growth is 3%. Development will increase population by 22%. Growth plan listed goal is not to overburden local services. Facilities already struggling with local population. Natural environment is threatened by this development. Will add congestion to our streets. Character of district will change drastically.

Kathleen Melee, 612 3rd Ave W, Columbia Falls. Concerned about annexation, referenced MT Code and stated that Annexation requires a vote. Does not see on website the City's annexation policies. Let citizens vote on annexation. Might need to change local government. Opposed to this development. Developer will keep money and build theme park.

Locke Ballard, 107 River Butte Dr, Columbia Falls. Opposed to this development. Probably wouldn't be built to 500-year storm conditions because they would not want to spend the money. 1% of this development is going to be housing for people that need it.

Angela Allen, 612 3rd Ave W, Columbia Falls. Opposed to this development. Adequate services and facilities are not available for this development. A lot of young people that would be in this development and would be coming to the High School, it is not safe on that road.

Nancy Dalley, 101 Steppe Ln, Columbia Falls. Opposed to this development. Deer and elk don't have anywhere to go. 40 house development just to the east, lots of additional traffic on route 2. Huge impact on school system, a lot of potential kids coming in. New roads will be privately maintained roads; can they make it a gated community and close it?

Debbie Evens, 1206 2nd Ave W, Columbia Falls. Opposed to this development. Already having issues making appointments. Population is growing fast. 1500 potential new people in this community.

Lucy Yeats, 315 Shooting Star Dr, Columbia Falls. Opposed to this development. Finding errors in the Findings of Fact. Area west of River Road is not the only area on the property with native vegetation. There is a high-pressure gas line on

the property. Growth Policy is not regulatory. Property is designated urban residential because the city wants someone to pay to put water and sewer across the river.

Keigh Smiley, 2950 Columbia Falls Stage, Columbia Falls. Opposed to this development. Not appropriate place for city to be proposing development. More complicated to develop than the west of town. Too much density for that location. Asking to change to CR-4, 2-8 units per acre and they are asking for 9.2 units per acre, already exceeding their adjustment.

Scot Schermerhorn 1042 Waters Edge Way, Columbia Falls. Opposed to this development. Traffic study was done in January, traffic is different in July and August. Congestion, too much density, not the right time not the right place. City growth needs to be reasonable. If they are going to Evergreen or downtown Kalispell they will be going down Columbia Falls Stage and that road is terrible. Is this what we want for the community?

Tom Countryman 208 Cardinal Ln, Kalispell. Opposed to this development. Pipes run under the river sooner or later will break. MDOT, DEQ and FWP work very slowly on approvals. Big buildings being built with no ladder truck or public safety considered.

Courtney Stone, 225 Rogers Rd, Columbia Falls. Opposed to this development. Responsible development should be focused in areas with existing infrastructure. New city not new development. Already struggling to provide basic safety. Opposed to putting water and sewer under the river. Elk will not be able to access the WMA if this subdivision is built.

Shirley Folkwein, 285 Shooting Star Dr, Columbia Falls. Passed out copy of her letter to the Board and Staff. Opposed to this development. Growth Policy does not reflect the wishes of the community and is not a regulatory document. Development does not reflect the neighborhoods character. There is a high-pressure pipeline on this property. No backdoor outlet to this development. Disaster waiting to happen. Not affordable housing.

Chairman Vukonich reminded Mrs. Folkwein of the time limit, addressed the audience and stated that Montana Statute allows Planning Boards and other boards to limit testimony to 3 minutes.

Lynne Ann Kogut, 256 Jayhawk Ln, Columbia Falls. Opposed to this development. Middle Road is not safe, and they are adding more people to that road. 49-acre development, concerned they are concentrating all residents to 26 acres. Gateway community to Glacier Park doesn't want to see 3-4 story buildings. Concerned about the reduction of fire lane to 12 feet.

Ron McLoy, 670 Homestake Trail, Columbia Falls. Opposed to this development. Concerned about the traffic, especially to the south. Traffic study missed impact of housing increase to the south of this area. River Road not designed to be main thoroughfare. Civil services are already strained.

Alicia Hilliard, 129 Toftum Ln, Columbia Falls. Opposed to this development. Traffic makes it difficult to walk or ride bikes on River Road and Columbia Falls Stage. River Road is accident prone and not designed for accessibility.

Martha King, 695 Eckelberry Dr, Columbia Falls. Opposed to this development. Still working on Highway 206, end of Columbia Falls Stage onto Highway 35 is unsafe. Everyone goes to Kalispell.

Abbe McClenahan, 540 Whispering Ridge Ln, Columbia Falls. Opposed to this development. Propose city complete the housing study that was delayed at the June 6th meeting to complete discussions on short-term rentals and revise a plan. Non-Montana residents shouldn't have short-term rentals. 455 units to equate to over 1000 people, 25% of the population of Columbia Falls. Size of project is inappropriate.

Bill McCallum, 1805 11th Ave W, Columbia Falls. Opposed to this development. Traffic is bumper to bumper already. Small area adding a lot of people.

Jacqui Fehlman, 334 8th St E, Columbia Falls. Opposed to this development. Concerned about increase in taxes to bore under the river and the maintenance of the pipe. Developer not providing very much affordable housing. CFAC should be cleaned up before they go under the river. Middle school should be finished first. Need to look at long term effects of what we already approved.

Meagan O'Bryant, 137 Scotch Pine Ln, Columbia Falls. Opposed to this development. Concerned about the electrical grid in a heat wave or cold snap. Evacuation from fire would cause gridlock on the road.

Nancy Paquette, 2559 Middle Road, Columbia Falls. Oppose this development. Only Robert Smith taking notes. Shouldn't rely on staff and what they choose to write.

Bill McAuliff 54 Middle View Trl, Columbia Falls. Opposed to this development. Volunteer with Bad Rock Fire, haven't heard a word, it is their district right now. Columbia Falls Fire District will not take it over until it is done. Has never seen stats and records and everything produced so badly.

Jill Johns, 1130 Nucleus Ave, Columbia Falls. Doesn't feel like she received sufficient proof that the affordable housing may come from the one acre donated and the smaller units. We will put all of the river protection that is 3 miles upstream at risk. Other rivers are tail waters not freestones and can't be relied on to contain water and sewer pipe. Do not put the Flathead River at risk.

Lee Shamp, 150 Red Barn Road, Columbia Falls. Opposed to this development. Gateway community for the outdoors, need to protect that, we are stewards to this area.

James Druyvestein, 4196 Columbia Falls Stage, Columbia Falls. Opposed to this development. Out of character with this area. Development will be the highest density anywhere in Columbia Falls. Don't cross river and annex in area. Snow plow removal will be harder with more roads.

Evon Heaser, 4196 Columbia Falls Stage, Columbia Falls. Dentist, patient load has become overwhelming in the past 6-8 months. All other medical, support and infrastructure services are strained. Stated Columbia Falls Mission Statement, believes this is unthoughtful planning. Pipe that is buried under the river will be changed. Is cost of units based off of Columbia Falls average income?

Cam Johnson, 222 Rogers Rd, Columbia Falls. Opposed to this development.

Lindsey Hromadka, 116 Lupfer Ave Unit B, Whitefish. Attorney representing the Upper Flathead Neighborhood Association. Client objects to the hearings being conducted together and short time limit on comments. Application is deficient and Staff Report fails to adequately address the issues raised by this development. This development does not comport with Zoning Regulation requirements. The zone change request does not comply with the Growth Policy. Development should be proposed in a multi-family zone not urban residential. Only 18% of people want growth on this side of the river. Staff Report relies on previous PUD approval of 150 units. 350 units with current zoning, don't think that accounts for open space requirements or roads and infrastructure requirements.

Chairman Vukonich addressed Ms. Hromadka informing her that her 3-minute comment period is up and she needs to step back from the podium.

Ms. Hromadka refused, said she had one more page to present.

Chairman Vukonich called an immediate recess, 10:23 PM.

Lieutenant Gary Denham spoke with Ms. Hromadka stating that if she did not leave the podium that she would be charged with disorderly conduct. Ms. Hromadka stated that she is not voluntarily leaving but she is leaving so she does not have to charge her clients for her ticket.

Chairman Vukonich called meeting back to order at 10:25 PM.

Manolo Victor, 354 Kelly Road, Columbia Falls. Opposed to this development. Lack of information we are getting. No proof or documentation that schools and utility services can support this development. Developers engineer did not have answer for the size of the units. Traffic Study needs to be done in July. Looks like the donated property for affordable housing is on the river.

Jessica Victor 354, Kelly Road, Columbia Falls. Opposed to this development. Schools are already pushed to the limits and this development will put more children into the school system. Need to have infrastructure in place first.

Martin Stoffel, 4096 Columbia Falls Stage, Columbia Falls. Opposed to this development. A lot of traffic on River Road and goes south to Kalispell. School bus driver, has hard and unsafe time getting on Highway 2 with a busload of kids. 1.6 parking spaces per unit is too low.

Zach Root, 170 River Road, Columbia Falls. Opposed to this development. In Growth Policy 82 percent of Columbia Falls residents were opposed to development east of the river. Industrial zones near the green box site and to the west of town should be rezoned towards housing. These areas have increased traffic capacity and city services and environmental impacts have already been made by industry.

Eleanor Smiley, 2950 Columbia Falls Stage, Columbia Falls. Opposed to this subdivision. More cars on the road are not the solution. Hawk weed infestation already in the meadow to be developed. Keep the Flathead River wild.

Kelsey Johnson, 222 Rogers Road, Columbia Falls. Opposed to this development. Registered nurse, 32 beds in emergency department that accommodate the entire valley. Medical facilities are bursting at the seams and cannot accommodate the current residents. Cannot accommodate childcare now without adding more residents.

Fred Haas, 4188 Columbia Falls Stage, Columbia Falls. Opposed to this development.

Susan Wheeler, 170 River Road, Columbia Falls. Lots of properties to the west of river not annexed into city. If city services are extended to this development, would you try and extend services to them? Affordable housing hasn't really been addressed in this project. Development of 5- 10 acre parcels would be more in line with the character of the neighborhood.

Vicki Brown, 385 Badrock Drive, Columbia Falls. Opposed to this development. In the Growth Plan 48% of people said that they valued the preservation of the small-town community feel of Columbia Falls. 1 breach/mistake will jeopardize the river.

Lori Gaye, 674 12th Ave WN, Columbia Falls. Opposed to this development. Council has a judiciary responsibility to protect the interests of the community. Board has not been transparent where the direction is headed; with no transparency expect negativity and rebellion.

Donald Dean, 463 Kokanee Bend Drive, Columbia Falls. Opposed to this development. How long can the sewage plant handle the capacity so you don't annex this area or any other? How many more pipes will go underneath the river? How many people are going to die at the intersection of Highway 2 before they put a light there? Haven't heard any answers to questions. Health and safety wasn't addressed properly.

Rick Prestbye, 3085 Middle Road, Columbia Falls. Opposed to this development.

Steve Wirt, 134 Alabama Drive, Whitefish. Opposed to this development. Flathead River is not the Whitefish River or the Stillwater River or the Clark Fork River. Keep the river pristine.

Jan Haag, 514 Trapline Trail, Columbia Falls. Opposed to this development. Already have increased bicyclists and RVs on little roads. Growth at the expense of people is wrong. Trailers will have to go through the development. Quality of life issue.

Justin Kuntz, 600 Whispering Ridge Lane, Columbia Falls. Opposed to this development. Volunteer with Badrock Fire Department. Last year 344 calls, the year before was 287, this year we are at 289. Columbia Falls Fire Department will supposedly take over this development if it goes through. What about the people that turn left on Highway 2? Adding traffic all around and we will be the ones that have to clean up the mess. Not good area for this development.

Mayre Flowers, 135 S. Main St, Kalispell. 3-minute time limit is not being equally applied and is unfair in this situation. City Council is the one that has the authority to grant whether sewer and water are extended. Requires that Council consider the effects on public health and safety, whether it is the best interest of the city and its residents and the available water in the proximity of infrastructure. Did not see application for annexation in packet. Hearing should be tabled until that information is provided to the public. Subdivision plat application is missing required information. Road safety issues. Submitted written packet to staff.

Shiloh Deitz, 1033 12th St W, Columbia Falls. Opposed to this development. Analysis on affordable housing for this development has a goal in mind as is not objective.

Connie Riley, 10 Crescent Circle, Columbia Falls. Opposed to this development. Sewer system, water system, the river or wildlife area will be ruined. Taxes have not been considered.

Lisa Crane, 2875 Witty Lane, Columbia Falls. Opposed to this development. Already a development on Meadowlake Boulevard and next to this proposed development. More people added to the town than just what will be added with this development. City cannot manage that amount of people added.

Bob Blackman, 123 River Butte Drive, Columbia Falls. Opposed to this development. Board needs to listen to fellow citizens.

Kathleen O'Hair, 162 Steppe Lane, Columbia Falls. Opposed to this development. Heard that the setback on the east side of the development is 13 feet. Not affordable housing. Could be too many dogs in a small confined area does not want to hear all the dogs.

Aaron Besser, 316 Sandbox Lane, Columbia Falls. Board is quasi-judicial board. Board should listen to their legal team.

Chairman Vukonich closed public comment at 11:03 PM and called for a recess.

Chairman Vukonich called the meeting back to order at 11:11 PM.

Motion to Adopt Staff Report CZC-22-03 (Zone Change) as Findings of Fact by Duffy, seconded by Singer.

Discussion began with Duffy stating that anytime they do a zone change they automatically approve a density change. Not comfortable with that. Engineering and technology with putting the service lines under the river has advanced and the risk factor goes down. Concerned about the lifestyle change for the people in the area. Planning Board did not write this plan and is not trying to sell this plan but they have to look at and consider what is being presented to them. Then they make an advisory statement to City Council.

Kavanagh stated that the audience speaks to the gravity of this development proposed. Can't say he is in agreement with some of the statements in the staff report. Proposes that they consider some amendments to these conditions. This development does promote congestion on some of the streets especially River Road. Not creating a better sight distance. Traffic signal installation will not alleviate the congestion created. A change from CR-3 and CR-4 zoning, though they are similar, does very much add density. In the Growth Policy we said limited multi-family and this development is primarily multi-family. Does not believe this is in step with the Growth Policy. Important that the PUD reflects the character and nature of the land and that is not the case here. Important for the public to know that the Findings of Fact need to reflect their decision.

Byrd-Rinck with this change the density of the development is higher than anywhere within city limits so the development belongs within the city limits. Does not propose any amendments.

Lundgren does not necessarily propose any amendments but is concerned about changing the zoning without knowing that it could be annexed into the city. Are we opening it up to large developments just by changing the zone? Does not want to increase the density if it not going to be annexed by the city.

Chairman Vukonich does not believe this project could go forward without annexation. Contract Planner Eric Mulcahy answered that he is correct; a requisite of getting city sewer and water is annexation. Mulcahy stated for the record there has been a lot of misquotes on the state law for annexation. When a person requests to annex their property there is not a public vote, it is a decision of the City Council. Provision in State Law 7-2-4601 Annexation by Petition states when an election is required and when it's not. When more than 50%, or in this case, 100%, of the people within the area request an annexation there is no vote. Chairman Vukonich asked Mulcahy if there is a submission by the applicant for annexation. Mulcahy said that there was a request for annexation on file but it has not gone to the City Council, pending the outcome of these hearings. The city does not want to annex this area and then have the project denied because you do not de-annex a property.

Smith opposes the zone change and will vote against it.

Singer: would have been nice to see all of the public involved when the Board was updating the Growth Policy and they created it as best as they could. Massive changes in the valley lately. Regardless of density if they change the zone now what will happen later. Growth Policy is just a guide. This is a very large project in the wrong spot.

Nelson: when we zoned across the river it was for urban density. Likes the project mostly but with a zone change this project is in the wrong place and is the wrong style.

Kavanagh made a motion to propose an amendment to the Findings of Fact Number 1: Note that this area was, per the Growth Policy, deemed suitable for 2-8 dwellings per acre and limited multi-family, primarily single family. Motion was seconded by Lundgren. Roll call vote to amend the Findings of Fact Number 1, AYES: Vukonich, Nelson, Smith, Byrd-Rinck, Lundgren, Duffy, Kavanagh, Singer. NOES: None. ABSENT: Shepard. Motion passes.

Kavanagh made a motion to propose an amendment to the Findings of Fact Number 2: The application does not sufficiently explain or explore how pedestrian and vehicular movement is being mitigated on the property. Seconded by Byrd-Rinck. Roll call vote to amend the Findings of Fact Number 2, AYES: Vukonich, Nelson, Smith, Byrd-Rinck, Lundgren, Duffy, Kavanagh, Singer. NOES: None. ABSENT: Shepard. Motion passes.

Chairman Vukonich, significant commentary from the Board members with issues over the Staff Report as Findings of Fact. Question to the board will we go item by item to make report palatable? Roll call vote to Adopt Staff Report CZC-22-03 (Zone Change) as Findings of Fact, AYES: None, NOES: Vukonich, Nelson, Smith, Byrd-Rinck, Lundgren, Duffy, Kavanagh, Singer ABSENT: Shepard. Motion does not pass.

Chairman Vukonich asked Staff if they still had to go through the other two items. Mulcahy answered that it would be the prudent thing to make the motions and perform the votes but based on the fact that the PUD and Preliminary Plat no longer reflect the densities of the underlying zoning you would not recommend approval of the findings.

Attorney Justin Breck confirmed for the Board that they should have discussion on the findings for the record.

Motion to deny the PUD Request based on the lack of the zone change to accommodate the PUD made by Smith. Seconded by Nelson.

Roll call vote to deny the PUD Request based on the lack of the zone change to accommodate the PUD, AYES: Vukonich, Nelson, Smith, Byrd-Rinck, Lundgren, Duffy, Kavanagh, Singer. NOES: None. ABSENT: Shepard. Motion passes.

Motion to deny Preliminary Plat Request based on that it is no longer compliant with the existing zoning on the property made by Kavanagh. Seconded by Singer. Roll call vote to deny Preliminary Plat Request based on that it is no longer compliant with the existing zoning on the property, AYES: Vukonich, Nelson, Smith, Byrd-Rinck, Lundgren, Duffy, Kavanagh, Singer. NOES: None. ABSENT: Shepard. Motion passes.

All three items will go forward to the City Council with the Planning Board's recommendation to deny all three items.

City Council hearing will be on August 29th 7:00 PM in the Junior High Cafetorium.

Motion to adjourn made by Smith. Seconded by Nelson.

ADJOURNMENT – Meeting duly adjourned at 11:49 PM

Chairman

Attest:

Public Works Clerk

CITY OF COLUMBIA FALLS
NOTICE OF PUBLIC HEARING

Item No.2.

The Columbia Falls City-County Planning Board will hold public hearings for the following items at their regular meeting on Tuesday, September 13, 2022 at 6:30 p.m. at the Council Chambers of City Hall, 130 6th Street West, Columbia Falls, Montana. The Columbia Falls City Council will hold a subsequent hearing on October 3, 2022 starting at 7:00 p.m. in the same location.

Request for a Planned Unit Development in the Columbia Falls Planning Jurisdiction:

Mick Ruis is requesting a Planned Unit Development on behalf of HC 246 LLC in the Columbia Falls Zoning Jurisdiction. The property is located at 230 Highway 2 East in Columbia Falls and is described as Tract 1 of COS No. 3040 and Certificate of Survey No. 3778 all in Section 17, Township 30 North, Range 20 West, P.M.M., Flathead County. The applicant is proposing to construct a four story 65 unit hotel and is requesting the PUD in order to exceed the 45-foot height limit by five feet and reduce the landscape provisions of the large building and PUD standards.

Interested persons are allowed to attend the hearing(s) in person or via ZOOM. Persons are encouraged to submit written comments prior to the meeting. Written comments carry the same weight as public testimony given during the hearing. Written comments may be sent to Columbia Falls City Hall, Attention: Barb Staalnd, City Clerk, 130 6th Street West, Room A, Columbia Falls, MT 59912 or via email: staalandb@cityofcolumbiafalls.com. For more information on the proposed Planned Unit Development, please call Eric Mulcahy, Columbia Falls City Planner at 755-6481. To obtain the ZOOM meeting registration, contact City Clerk Barb Staalnd via email or by calling (406) 892-4391 no later than 5:30 p.m. the day of the meeting.

DATED this 17th day of August, 2022

Susan Nicosia

Susan Nicosia, City Manager/Planning & Zoning Administrator
COLUMBIA FALLS CITY-COUNTY PLANNING BOARD

Publish: Daily Interlake Sunday August 28, 2022

**ZONE CHANGE REQUEST
COLUMBIA FALLS AREA ZONING JURISDICTION
RUIS HOLDING – STAYING AT THE RUIS - PLANNED UNIT DEVELOPMENT
CITY OF COLUMBIA FALLS STAFF REPORT # CPUD-22-03
September 6, 2022**

A report to the Columbia Falls City County Planning Board regarding a request for a Planned Unit Development overlay (PUD) on property zoned CB-2.

BACKGROUND INFORMATION

A. PETITIONERS

Ruis Holdings, LLC
P.O. Box 1928
Columbia Falls, MT 59912

B. PETITIONER'S TECHNICAL ASSISTANCE

Jackola Engineering and Architects
2250 Hwy 93 South
Kalispell, MT 59901
(406) 755-3208

C. LOCATION/DESCRIPTION

The property is located at 230 US Highway 2 East in Columbia Falls and is the location of the Glacier Inn Motel. The property is described as Tract 1 of COS No. 3040 and Certificate of Survey No. 3778 all in Section 17, Township 30 North, Range 20 West, P.M.M, Flathead County

D. REQUEST

The applicant is requesting a PUD overlay to develop a 65 room hotel on the site with a height of 50 feet and a reduction of landscaping from 15% as required in the large building standards to 7.5%. Hotels are considered a permitted use in the CB-2 Zoning District. However, as the building is over 10,000 square feet the Columbia Falls Zoning Ordinance requires a Conditional Use Permit under the "Large Building" standards (Chapter 18.428). As the PUD accomplishes the same review as a CUP with public notice, public hearings, and the review of the zoning criteria; and the PUD allows the applicant to request certain deviations in zoning standards, staff has determined the PUD as the best mechanism for the review of this particular project.

The hotel is proposed with four stories and 54,112 square feet of total hotel space. The footprint of the building is 13,209 square feet. The hotel will sit on the western side of the property with the parking on the east side of the property.

Zoning Deviations requested with the PUD:

Height – The CB-2 zoning district has a maximum height requirement of 45-feet (Chapter 18.336.040.E). The requested deviation would allow the building to be 50-feet in height measured from the lowest adjacent grade to the peak of the roof.

Perimeter Landscape Buffering - Chapter 18.428.070.D.1 of the Large Building Standards requires a 10-foot-wide landscape buffer on the north, west, and east property boundaries. The applicant is requesting a three foot buffer on these sides and frontage.

Overall Landscaping Requirement - Chapter 18.428.070.B of the Large Building Standards requires 15% of the site be landscaped. To meet the requirement the applicant would need 7,240 square feet of landscaping. The applicant is requesting a deviation to 7.5% or 3,620 square feet of landscaping.

These deviations will be discussed further in this report.

The PUD overlay¹ is intended to be a flexible tool that can be applied to an existing zone in order to encourage a more efficient use of land and public services by allowing, under certain circumstances, a more flexible means of land development than is otherwise generally allowed by the underlying zone. In order for a tract to be eligible for a PUD designation, it must contain a minimum of 2 acres. The PUD overlay allows deviations from the underlying standards of the zone (height, setback, density, parking, etc.) when it can be shown by the applicant that negative impacts have been addressed and the resulting design is equal to or superior to what would have been allowed under the existing zone.

E. REASON FOR REQUEST

The proposed PUD complies with the basic land use category of the underlying zoning classification (CB-2). However, because the Hotel is greater than 10,000 square feet the City requires a Conditional Use Permit (CUP) for compliance with the Large Building Standards and public participation process provided by the CUP. The PUD review will substitute for the CUP review for the hotel project as it allows the City to review for the Large Building Standards and allow for the public participation in the process. The PUD mechanism was chosen over the CUP because it also allows the City and the public to review the deviations requested in the application process.

F. EXISTING LAND USE

The subject property is currently the site of the Glacier Inn Motel which sits to the rear of the property. Approximately 20 years ago there was a restaurant in the location presently contemplated for the new Hotel but it was removed. The existing hotel will remain on the property. The property is Zoned CB-2 (General Business) and is located in proximity to other commercial uses along the Highway 2 corridor and the Nucleus Avenue Central Business District.

G. ADJACENT ZONING AND LAND USE:

North	CB-2	RV Park, Fitness Center, and Landscape business (temporary use permit)
South	CB-2	The Glacier Inn Hotel and residential
East	CB-2	Office, OHS' Auto Body and residential
West	CB-2	Marantette Park

¹ PUD district is defined in Title 18 as: "A district to encourage a more efficient use of land and public services by allowing, under certain circumstances, a more flexible means of land development than is otherwise generally permissible under lot-by-lot restrictions."

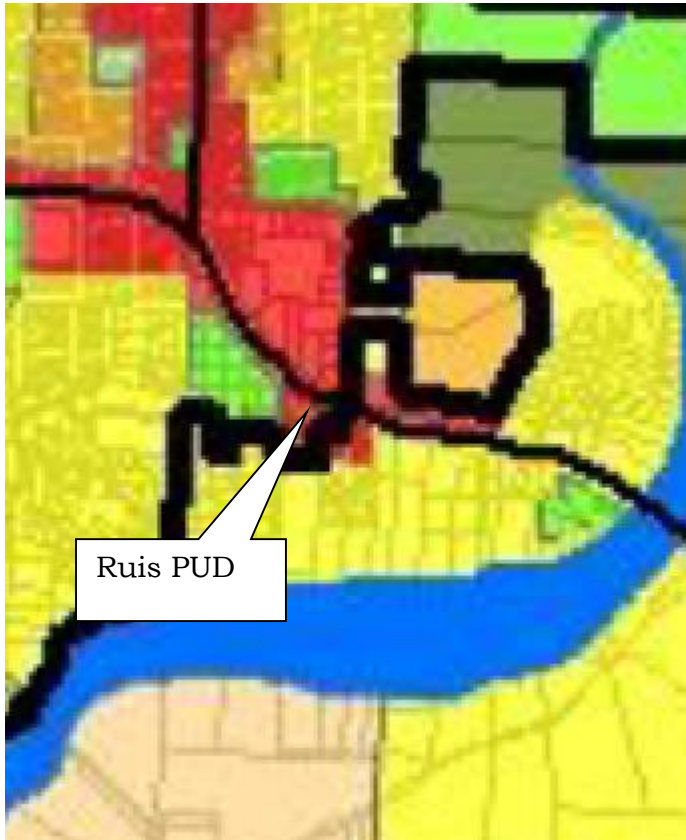


Source – Flathead County GIS

H. GROWTH POLICY DESIGNATION

The Growth Policy map shows the property is within the Commercial designation.

Figure 2



Excerpt from the 2019 Columbia Falls Growth Policy Map

I. UTILITIES/SERVICES

The property is located inside the City limits of Columbia Falls.

<u>Water</u>	Columbia Falls Municipal Water
<u>Sewer</u>	Columbia Falls Municipal Sewer
<u>Fire Protection</u>	Columbia Falls City Fire Department
<u>Police Protection</u>	Columbia Falls City Police
<u>Electricity</u>	Flathead Electric

J. LOT SIZE DETAILS

The site proposed for the hotel is approximately 1.10 acres in size according to the site plan. The PUD is a portion of the holding which is approximately 1.67 acres in size. The CB-2 zoning district does not have a minimum lot size requirement and typically does not have setback requirements except when abutting residential zoned properties. However, since the property meets the large building criteria, it is subject to a 10-foot landscape buffer around the perimeter and this is one of the deviations the applicant is requesting.

EVALUATION BASED ON STATUTORY CRITERIA

This request is reviewed pursuant to the criteria set forth in Section 76-2-304, M.C.A.; and as stated by the Montana Supreme Court; Chapters 18.348, Planned Unit Development Standards, and Chapter 18.428, Large Building Standards of the Columbia Falls Area Zoning Ordinance. The following findings are made:

1. Conformity to the Large Building Criteria as required in Columbia Falls Zoning Ordinance Section 18.428.

1. Facades and Exterior Walls:

- A. The building is greater than 60-feet in length and the applicants have incorporated numerous recess and projections along the façade of the building in both the front and rear to comply with these standards. On the west side of the building, the projections occur on the second, third and fourth floors.
- B. All four sides of the building have windows and architectural elements such as windows, balconies, doors, textural changes in siding materials, changes in building height, and covered main entrance.
- C. The proposed building uses stone and vertical board and baton siding along with color and other textural changes.

2. Roofs and Parapets:

- A. The applicant proposes a modern appearance with flat rooflines. To address the roof requirements, the design projects portions of the roof line vertically to avoid a single plane. The applicant is not utilizing parapets in the design but instead using large overhangs with corbels which substitutes the architectural interest of a parapet. There will be no roof top units (RTU) on the building. Most of the mechanical will be housed inside the building and/or in the ceilings. The conference facility will have a RTU but it will be screened by the parapet or similar screening structures.
- B. N/A
- C. N/A
- D. The roof appears to have minimum three-foot overhang
- E. N/A
- F. The roof has numerous planes.
- G. The applicant is requesting a deviation from the CB-2 height standards of 45-feet. The applicant is requesting the maximum height of the hotel be 50-feet. The applicant states that the increased height “allows more articulation of the building façade” which I interpret to mean the articulation of the roof line. The Hotel project went through the Columbia Falls Site Review process with the City departments and Karl Weeks, Columbia Falls Fire Chief, reviewed the height deviation from a health and safety standpoint. As the hotel will be fully sprinkled, the fire department will have access to the roof by a man door and the Columbia Falls Fire Department has a ladder truck to access the roof and upper floors of this building, the Fire Chief concurred with the height deviation.

Staff is recommending approval of the height deviation.

3. Entrance:

The main entrance to the structure utilizes a covered entry for visual interest and for the practicality of protecting guests from the weather while checking in and out of the facility. The covered entry is attached to the building and also supported by three posts in the mountain lodge/craftsman style of architecture.

4. *Materials and Color:*

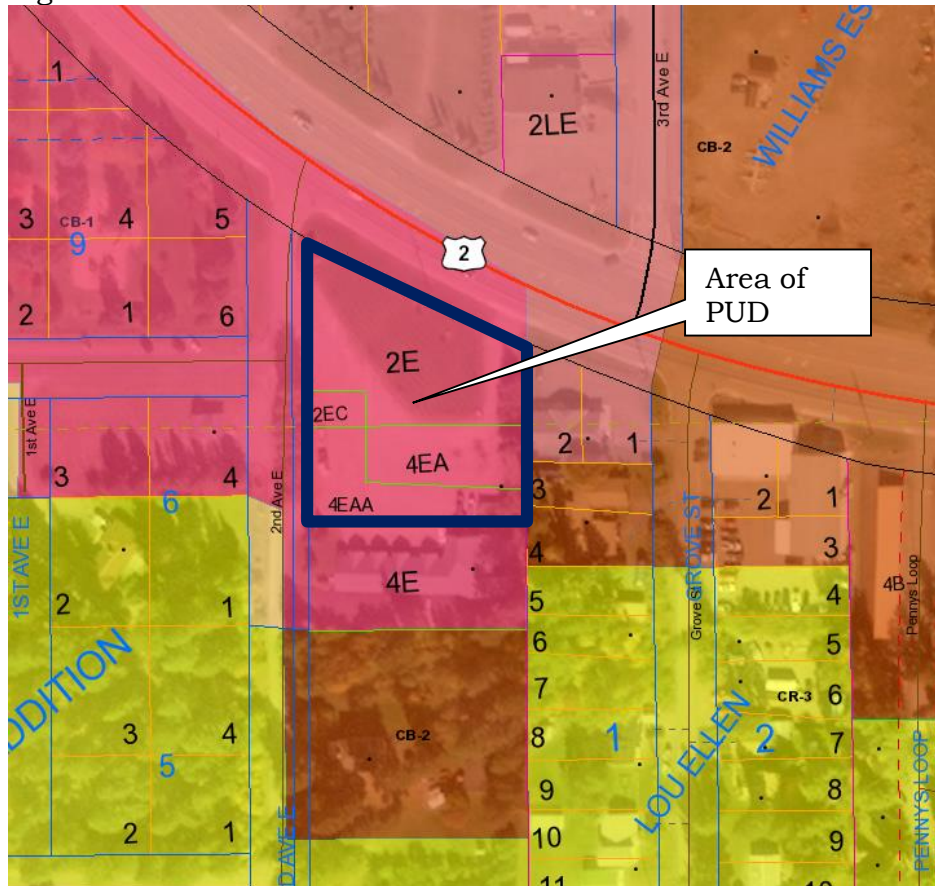
- A. Although still in the conceptual stage, exterior materials are vertical board and baton siding, stone accents, color changes from what appears to be natural wood to a black or dark gray siding. Final siding details will be reviewed by staff at the building permit level. (See color rendering in the application materials.)
- B. The applicant proposes that the roof trusses and framing will come from Western Building Center and that the owner plans to use as much local labor and material as possible.
- C. The color of the structure is earth tone browns reflecting that of the wood materials.
- D. The trim compliments the wall colors and is not bright.
- E. The applicant is not proposing any concrete block, tilt-up concrete, or smooth faced steel.

5. *Landscaping:*

- A. The site has approximately 1.1 acres (48,269 square feet) of land within the PUD. The large building standards require 15% of the site or 7,240 square feet of the site to be landscaped. The applicant states that they are showing 4,863 square feet which is 10% of the site as landscaped area.

The reduction in landscaping is one of the deviations requested by the applicant. The applicants are requesting a reduction to 7.5% (3,620 square feet) of the site as landscaping just in case they need some additional room for circulation around the site. The applicant points to the commercial nature of the development and neighborhood where many of the buildings are constructed to the lot line by either building or parking lot. This is due to the fact that the CB-2 zone has a zero setback when abutting other commercial zoned lands as this property does.

Figure 3



Columbia Falls Zoning Map (The shades of red are CB-1 and CB-2 zoning designation)

- B. The applicant proposes 7.5% of the site as landscape area and is requesting a deviation to the 15% requirements. Although we have granted deviations to the landscaping requirement in the CB-4 (Downtown Business Zone) we have not granted this deviation in the CB-2 zone. The Cedar Creek Lodge for example provided 33% landscape area. The Columbia Falls Growth Policy points to landscaping along the Highway corridor as a priority and with the adjacent City park and some of the new buildings like the new Ace Hardware providing landscaping, it is difficult to support a deviation to this request.

For this reason, staff cannot support the deviation from the 15% landscaping requirements.

- C. The existing landscaping is limited to a stand of ponderosas on the west boundary, a large lawn area and some smaller evergreens along the eastern property boundary. The applicants will have a walkway circling the building with linkage to the sidewalks on Highway 2 and the parking area. Presently we have a very schematic landscaping plan that does not indicate the plant mix or irrigation system. Staff will recommend a condition of approval that requires City Manager approval of the detailed landscape plan prior to issuance of the occupancy permit. Staff can work with the applicant and the time of year to ensure that the approved landscaping plan is implemented through a developer's agreement.
- D. The regulations require that large buildings on sites of less than 30 acres provide a 10-foot landscape buffer around the perimeter of the site. The intent of this standard is to provide some buffering and mitigate some of the shadowing effect on adjacent uses.

The applicants situated the building to the northwest side of the lot which is the street frontage of Second Avenue East and Highway 2. There will be sidewalk and boulevard on the Second Ave frontage and there is 30 feet of boulevard along the highway frontage. The neighbors to the east are at the zero lot line but the applicant is separating the hotel from the neighbor to the east with the hotel parking lot. The existing Glacier Inn sits to the south. The building does not crowd neighboring buildings and there is a large boulevard along the Highway 2 frontage.

Staff is recommending approval of this deviation.

- E. The parking lots have six to ten foot landscape islands at the ends of the parking aisles and intermittently every eight to nine spaces. The parking lots do not contain 30 or more continuous spaces. All of the parking areas are curbed. The amount of landscaping in the parking lots is addressed in the overall deviation to landscaping of the site.
6. *Parking Lot:*
- A. The site plan for the hotel shows a seven foot wide sidewalk along the south and east side of the building and connecting to the sidewalk along Highway 2. A new five foot sidewalk will be constructed along Second Avenue where currently there is none.
 - B. The hotel walkway will connect to the new Second Avenue sidewalk and the Highway 2 sidewalk. From Second Avenue, hotel guests can connect to the Highway 2 sidewalk and walk to businesses along Highway 2 or walk two blocks over to the Nucleus Avenue Business District.
 - C. The landscape islands will visually and physically segment the parking lot as required by code.
 - D. The applicant does not propose any parking aisles greater than 30 spaces in length as required by code.
 - E. The applicant has segmented the parking area so that the parking lot is separated by landscape islands
 - F. No traffic calming (such as speed bumps or round-about) is proposed. The ITE Trip General Manual provides projected traffic counts for a number of uses. The Manual has a trip generation for Hotels but the study results looked at Hotels as those with sleeping quarters, restaurants/bars, and banquet/convention facilities. As the proposed hotel does not have a restaurant or bar, the following counts might be somewhat higher than actual traffic counts but they do provide some approximation to the projected traffic volumes.

	Trip/Day/Room	Peak AM Trips/hr	Peak PM Trips/hr
Weekday	8.17	0.52	0.61
Saturday	8.19		
Sunday	5.95		

With 65 rooms there are an estimated 531 trips per weekday associated with the Hotel. The peak AM hours will see 33 vehicle trips during a week day and the peak PM hour will see 40 vehicle trips. A trip is defined as an end, so when you arrive at the hotel that is one trip and when you leave that is a second trip.

The proposed traffic should have minimal impact on Second Avenue and Highway 2

- G. The applicants are proposing 68 parking stalls within the project. The zoning regulations require one stall per room and one stall per two employees

on shift. With 65 rooms and six employees on shift, the proposed park of 68 stalls meets the zoning requirement.

7. *Snow Storage.*

The applicant provided a site plan that indicates snow storage on the center landscape island. Once that becomes full, the applicant will need to truck snow off site.

8. *Lighting*

- A. At this point in time we do not have a sign package or lighting information for the Hotel use which is typical for projects at this stage. Not many developers would go to the expense to design all of the building details when they don't know if they have approval to construct the building. The City of Columbia Falls requires all applicants to fill out a sign application and receive a sign permit from the City prior to erecting any signage. The City staff will review the sign permit application for compliance with the standards of the Columbia Falls Zoning Regulations prior to issuing a sign permit.
- B. The sign package and lighting information will be reviewed with the building plans for compliance with full shields and/or opaque shields for direct lights to walks, entrances and parking areas.
- C. As the lighting is close to the residentially zoned property to the south, maximum height of the parking lot lights will be 18 feet.

9. *Pedestrian Circulation*

- A. There is a wide public sidewalk on the north side of the property within the MDOT right-of-way. Currently there is no sidewalk on Second Avenue East. The developer will install a five foot sidewalk along Second Avenue East. To save the existing ponderosas on the west side of the project, the applicant is proposing a portion of the sidewalk be constructed along the curb. Public Works Staff reviewed the request and agreed with the request as long as the applicant is aware that they are responsible for snow removal along the sidewalk.
- B. The applicant is providing a seven foot concrete walk from the main entrance of the Hotel to the parking lot and the Highway 2 sidewalk. From this point pedestrians can move along the existing sidewalks to businesses along Highway 2 and Nucleus.
- C. The applicant is providing a seven foot walkway along the front of the building which seems adequate to move guests from the parking area to the hotel lobby.
- D. A pedestrian crossing using stamped asphalt pavers will be installed where the eight foot walk crosses the internal loop driveway in front of the hotel.
- E. There are no bicycle lanes proposed with the project. There is a bicycle lane along the Highway 2 corridor but nothing along Second Avenue West. The applicant is showing bicycle parking at the entrance to the hotel.
- F. Hotels parking lots typically have the trash receptacle at the entrance of the hotel.

10. *Community Space*

- A. The applicant is not providing park or open space with this project. The property is directly across Second Avenue from Marantette Park which is a city maintained park. A short walk to the east is FW&P's Teakettle Fishing access. Half a mile north along the 3rd Ave E bikepath is River's Edge Park.

11. *Trash and receiving*

- A. The applicant's site plan is showing a trash enclosure in the southwest corner of the parking lot. The applicant does not provide detail on the enclosure but those details can be reviewed at the time of building permit.
- B. The developer is not proposing a loading dock for the hotel as laundry will be handled within the facility and there will be little food service with only the continental breakfast.
- C. No outdoor storage is proposed for the hotel use.

2. Does the requested zone comply with the Growth Policy?

The Hotel and PUD comply with the Columbia Falls Growth Policy.

The Columbia Falls Growth Policy provides the following:

Chapter 4 Land Use – Commercial

- Goal #1 Balanced commercial development providing convenient access to a broad selection of goods and services.
- Goal #2 Columbia Falls as a gateway community to Glacier National Park and the surrounding recreational assets which provide the traveler and residents a broad array of retail businesses, services, and accommodations. Columbia Falls should continue to support business and services catering to the visitor as well as the local resident.
- Goal #4 US Highway 2 provides the east and west entrances to Columbia Falls. Good signage, delineated access, and maintained landscaping are critical to a positive impression of the community.
- Policy 1.c. Utilize Planned Unit Developments as a tool to ensure that commercial areas provide appropriate buffers to adjacent residential areas and that all planned uses are compatible.
- Policy 4.b. Encourage the use of innovative land use regulations to achieve a pleasing community entrance.
- Policy 4.c. Landscape highway frontage and parking lots, to enhance development sites and soften visual impacts of development

Chapter 7 Urban Design/Historic and Cultural Facilities

- Recommendations 2. Continue to develop a program including incentives, regulations or community awareness to encourage rehabilitation of or removal of underutilized buildings.

This being only the second hotel constructed in Columbia Falls, it is anticipated that a hotel use will help capture some of the thousands of tourists that travel through Columbia Falls on the way to Glacier Park but have, in the past, stayed in Whitefish or Kalispell where they frequent those City's restaurants and businesses. Secondly, having a second hotel in Columbia Falls will provide out of town business persons doing business in Columbia Falls additional options to stay in the City. Lastly, having a second hotel will allow traveling sports teams to stay in the City during tournaments and for the City to capture this economic benefit.

3. Is the requested zone designed to lessen congestion in the streets?

The parcel is located immediately adjacent Highway 2 which is a four lane US Highway. Curb and sidewalk will be added to Second Avenue East by the applicant as part of this approval. The transportation network is well suited for the Hotel use at this site.

4. Will the requested zone secure safety from fire, panic, and other dangers?

The project was reviewed by the Columbia Falls Fire Chief at site review and he is satisfied with the basic site plan. Items such as sprinkling, hose connections, and hydrant will be reviewed at the time of building plan review. The property has good access to City streets and the interior parking/driving lanes provides good access for emergency vehicles. The fire department did specify that the parking lots will need to meet turning radius for fire trucks.

5. Will the requested change promote the health and general welfare?

The site is located well outside of any floodplains, wildland urban interface or other hazards. The subject property is zoned CB-2 which anticipates hotel use and the project will connect to municipal sewer and water services.

6. Will the requested zone provide for adequate light and air?

The site is zoned CB-2 and for most buildings the General Commercial district does not require setbacks when located adjacent to other commercial zoned properties and this Commercial District does not have a maximum lot coverage. However, because the project is over 10,000 square feet in size it is subject to landscape buffers and a minimum 15% landscape area.

Because the City's Long Range Planning document supports landscaping along the Highway corridor and because we have not granted previous deviations to landscaping in the CB-2 zone, Staff is not in support of the landscape deviation. The applicant is also requesting a deviation to the 10 foot buffer. Because the applicants have sited the building in the northwest corner of the site and away from neighboring structures, staff is recommending approval of the buffer deviation. (See discussion 1.5.B & D. of this report for deviation).

7. Will the requested zone prevent the overcrowding of land?

The property is zoned CB-2 (General Business) and this zoning designation anticipates intense commercial uses. The CB-2 anticipates supermarkets, bank buildings, office space, lumber yards, restaurants, box stores, etc. The CB-2 zone does not require setbacks from other commercial properties and there is no maximum lot coverage in this commercial district. Given the performance standards and discussion in Criteria #6 above, the project will not overcrowd the property.

8. Will the requested zone avoid undue concentration of people?

As stated previously the existing zoning anticipates large concentrations of people. The infrastructure is available to address the use and associated guests of the hotel.

9. Will the requested zone facilitate the adequate provision of transportation, water, sewerage, schools, parks and other public requirements?

The property is located along a major arterial street (Highway 2). Second Avenue East will be upgraded to provide curb, gutter, and sidewalk. The project will connect to municipal sewer and water services.

There is a sewer main that runs directly underneath the proposed hotel. This sewer main will need to be relocated around the building and the applicants are proposing the route in the MDOT right-of-way. According to Chris Hanley, City Public Works Director, the sewer main is running at the minimum grade and lengthening it could cause issues unless it is converted to a force main or a lift station is installed. Final

engineering will be reviewed and approved by the City and the City's independent engineer for compliance with DEQ Circular 2.

Item No.2.

Water service to the property also runs under the proposed hotel site. As part of the City's infrastructure policy, a new water main will be extended to the eastern boundary of the property with the preferred alignment in the Highway 2 right-of-way. The Fire Chief stated that a fire hydrant will have to be installed near the east end of the property.

The commercial use does not generate school children but the hotel use may benefit the school when it hosts meets or tournaments as the visiting school will not have to travel for accommodations.

The project is adjacent to a City park and the pedestrian access will allow visitors of the hotel easy access to the park area.

10. Does the requested zone give reasonable consideration to the peculiar suitability of the property for particular uses?

The proposed PUD does give consideration to the CB-2 zoning as it proposes a use that is permitted in the underlying zoning. The land conditions, proximity to adequate roads, services and utilities make this area suitable for the proposed commercial use.

11. Does the requested zone give reasonable consideration to the character of the district?

The character of the neighborhood is commercial with nearby services, cafes, parks and other businesses. The property fronts on US Highway 2 which provides access to Glacier National Park. This is an ideal location for a hotel use.

12. Will the new zoning affect property values?

The subject property has been a small hotel site for decades. The property used to have a restaurant as well. The addition of a new 65 room hotel will fit with the neighboring commercial use and Highway frontage. There should be no negative impacts to property values from the hotel building.

13. Will the requested zone encourage the most appropriate use of the land throughout the municipality?

The property is zoned CB-2 (General Business) which is the zoning district the City has designated for Hotel use. The site in question is within walking distance of the Nucleus Avenue commercial district and it is presumed that guests of the hotel will walk to restaurants and retail business on Nucleus Avenue providing economic benefits to these business owners.

SUMMARY

The PUD request conforms to the Columbia Falls City Growth Policy, and complies with most of the "Large Building" standards, except those requested for deviation. Items such as detailed landscaping, signage, and building finish will be reviewed for conformance with the large building standards at the building permit review stage. The project will be fully served by

Municipal services. The requested PUD allowing Hotel development is consistent with neighboring commercial uses and character of the neighborhood.

RECOMMENDATION

Staff recommends that the Columbia Falls City-County Planning Board and Zoning Commission adopt Columbia Falls Planning Office Staff Report #CPUD-22-03 as Findings of Fact and recommend approval of the requested PUD subject to the following conditions:

1. The Ruis Holding PUD will allow the following deviations:
 - a. Building Height – The maximum building height is 48-feet at the top of the gable.
 - b. Landscape Buffer - The projection on the west side of the building (approximately 35-feet) may encroach within five feet of the western property boundary.

Staff is not recommending approval of the deviation to the 15% landscaping.
2. The City Council Approves the PUD application of less than 2 acres
3. The project shall be built in substantial compliance with the submitted “Staying at the Ruis Hotel” application and all accompanying drawings, as prepared by Jackola Engineering and Architecture except as modified by these conditions.
4. The fire department shall approve the turning radius of the parking lots along with any new fire hydrant placement. The applicant shall provide access to the roof by a man door approved by the Fire Chief
5. Public Works requires the sewer main and water service be moved to the Highway right-of-way or other approved location. Public Works and MT DEQ will approve the sewer and water main specifications.
6. Landscaping and landscaping features will generally follow the PUD plan with the understanding that the PUD plan is not a detailed Landscaping Plan. The applicants shall provide the City Manager a detailed Landscape plan, in compliance with the landscape provisions of the “Large Building Standards”. The landscape plan shall be approved and the landscaping installed prior to the issuance of an occupancy permit. If, due to weather, the landscaping cannot be completed prior to occupancy, the applicant may enter into a developer’s agreement with the City of Columbia Falls and provide a security (bond or letter of credit) in the amount of 125% of the landscape improvements. The security amount will be determined by actual bid or licensed engineer. The developer’s agreement will not be for longer than six months.
7. The developer of the hotel shall install curb, gutter and sidewalk for the frontage along Second Avenue East. The applicant may run a portion of the sidewalk along the curb in order to preserve the Ponderosa trees on the west side of the property.
8. The City staff will review the sign permit application for compliance with the standards of the Columbia Falls Zoning Regulations prior to issuing a sign permit.
9. Any RTU will be screened by the parapet or similar screening so that it is not visible from the public.
10. The lighting details will be reviewed at the building permit stage to ensure that they comply with the 18-foot height standards and that all lighting has full cut off and/or opaque shields.
11. All conditions of the PUD shall be complied with prior to the issuance of the occupancy permit or otherwise addressed as provided for in this PUD.



RUIS HOLDINGS STAYING AT THE RUIS

PUD APPLICATION
230 HIGHWAY 2 EAST
COLUMBIA FALLS, MT 59912

DATE JULY 1, 2022

JACKOLA ENGINEERING & ARCHITECTURE, PC
2250 HIGHWAY 93 SOUTH
KALISPELL, MT 59901 PHONE (406) 755-3208

TECHNICAL CONTRIBUTORS

01

PUD APPLICATION

REZA GOLAMPOR, PE
rgolampor@jackola.com

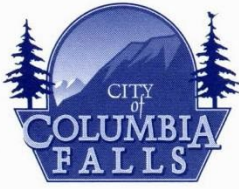
Civil Engineer | PUD Narrative
and Document Preparation

02

PM OVERSIGHT

SHANE JACKOLA, PE
shane@jackola.com

Principal in Charge



Planning Department

130 6TH STREET WEST
ROOM A
COLUMBIA FALLS, MT 59912

PHONE (406) 892-4391

FAX (406) 892-4413

APPLICATION FOR PLANNED UNIT DEVELOPMENT (PUD)

Project Name: Staying at the Ruis
 Name of Applicant: Ruis Holdings
 Mailing Address: P.O. Box 1928
 City/State/Zip: Columbia Falls, MT 59912 Phone: (619) 889-7749
 Name and address of owner if different than applicant:
 Name: Same
 Mail Address: _____
 City/State/Zip: _____ Phone: _____
 Technical Assistance: _____
 Mail Address: _____
 City/State/Zip: _____ Phone: _____

If there are others who should be notified during the review process, please list those.

PETITIONER TECHNICAL ASSISTANCE: Jackola Engineering & Architecture (406) 755-3208
2250 Hwy 93 South, Kalispell, MT 59901

Check One:

- ☒ ■ Initial PUD Proposal
☐ Amendment to an existing PUD

Property Address: 230 Highway 2 East

Total Area of Property: 48,200 square feet (1.106 ac)

Legal description including section, township, range: _____

County Tracts T-1 of COS 3040 and COS 3778, S.17, T30N, R20W

The present zoning of the above property is: CB-1, Application Pending for CB-2

Please provide the following information in a narrative format with supporting drawings or other format as needed: (SEE FOLLOWING NARRATIVE)



NARRATIVE

PLEASE PROVIDE THE FOLLOWING INFORMATION IN A NARRATIVE FORMAT WITH SUPPORTING DRAWINGS OR ANOTHER FORMAT AS NEEDED:

1) An overall description of the goals and objectives for the development of the project

The subject property includes two existing parcels (T-1 of COS 3040 and parcel as defined on COS 3778). T-2 of COS 3040 contains the Glacier Inn Motel and is not part of this PUD application but is part of the pending zone change.

All three parcels are zoned CB-1. Motels/hotels are not allowed by rights in CB-1 zoning. The ordinances for CB-1 do not include a conditional use permit for hotels/motels. The in-process zone change request would allow the owner to construct a new hotel on the vacant property, and bring the existing motel structure into zoning conformance.

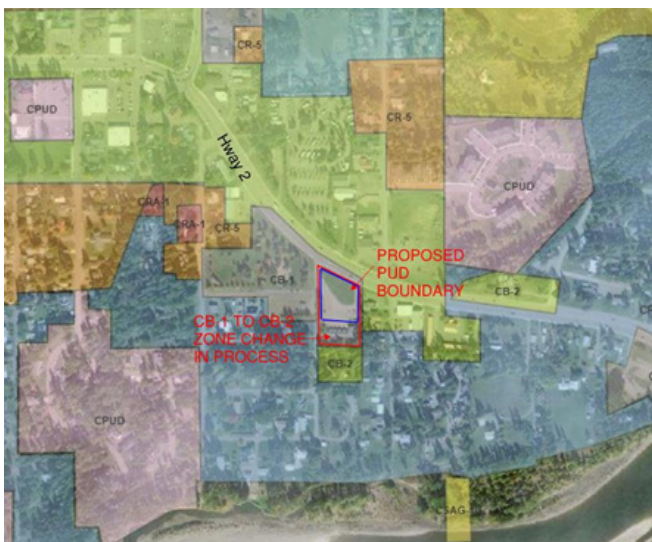


FIGURE 1- LOCATION MAP & SURROUNDING ZONING

The proposed hotel to be allowed under this PUD application is anticipated to be up to 65 rooms to serve a mid-scale extended-stay market. This would attract tourists to the area to set up a base in

Columbia Falls to tour the Park and the rest of the Valley. It also would be useful for contract workers coming to the valley for a period of time as a place to stay without taking away or competing with long-term rentals. The all-suite style will have kitchenettes in the units to attract these occupants, but will also encourage the use of the existing restaurants and retail options in the Columbia Falls core area, as there is no on-site restaurant or retail planned for the development.

2) In cases where the development will be executed in increments, a schedule showing the time within phases will be completed.

This PUD application applies to the development of a new hotel in one phase. The project is planned to begin construction as soon as planning and building department approvals can be obtained.

3) The extent to which the plan departs from zoning and subdivision regulations including but not limited to density, setbacks and use, and the reasons why such departures are or are not deemed to be in the public interest.

Assuming the pending zone change to CB-2 is successful, the only departure from the base zoning anticipated is to increase the height limit. It is requested to allow the building to be up to 50' in height as defined in the Zoning Regulations to allow more articulation of the building façade and parapet. This articulation is a request of the large building provisions (18.428.030) and would be in the public interest as a result of the design flexibility it affords. It also would allow more screening of roof mounted equipment, another request of the large building provisions (18.428.040), though complete

PUD NARRATIVE CON'T (3)

screening will be difficult from the west since hill will have drivers looking down on the development.

The proposed project will also need to comply with the large building requirements, per the *City of Columbia Falls February 2020 Zoning Code, Chapter 18.428.070*. The project meets the majority of these regulations with the following exceptions:

The proposed project will also need to comply with the large building requirements, per the *City of Columbia Falls February 2020 Zoning Code, Chapter 18.428.070*. The project meets the majority of these regulations with the following exceptions:

Deviation from minimum landscape area requirement as noted on 18.428.070(2)(4)(5). Referenced code requires landscape area not to be less than 15 percent of the total lot area and shall include the retention of existing native vegetation to the maximum extent possible.

We request the 15% landscape requirement, the parking area percentage, and perimeter buffer areas of these provisions be modified to be smaller as noted on the provided preliminary site plan. As a commercial project on the highway corridor and on a small redevelopment site, the expectation is commercial development. Indeed, standard zoning regulations allow zero lot lines. The two lots in this PUD application abut other commercial zones and are not adjacent to residentially zoned lots, limiting the impact on local residents. Our opinion is it benefits the community from an infrastructure and tax perspective to have higher density in the urban zone, along commercial corridors, and on redevelopment lots already served by roads and utilities. The buffer section appears to be written for large sites and lists 10 feet for sites 30 acres

and less. The base CB-2 zone allows zero lot lines for the reasons listed above. This development proposes 3' along the east line and no public right of way setback on Highway 2 and 2nd Avenue East. There will be boulevard landscaping installed at the owner's expense along 2nd Avenue East as noted on the site plan. A large landscape buffer already exists in the highway corridor, varying from 20' to almost 35' in width.

The intent is to preserve the existing mature evergreen trees located on the southwest side of the property, and appropriate measures will be taken to preserve the trees from damage during the construction activities. The landscape plan will incorporate a mix of indigenous and native plants including a minimum of 50% evergreen plants as required.

Exceptions to the Large Building Provisions 18.428.110 and 120: We believe the walkways shown on the preliminary site plan meet the intent of this section by connecting the existing Highway 2 walkway to 2nd Avenue East via an owner-provided sidewalk through the development. The proposed walkway is 7' in width and will also connect the building access point to the surrounding community to encourage patrons to explore the adjacent park and commercial corridor on foot. The proposed plan does not meet all the detailed requirements of this section due to the small site and the fact that public walkways will be available on the two adjoining rights of way. No bicycle lanes are shown, but a plan is provided for bicycle racks near the entrance. The plan is to provide landscaping and a seating area near the entrance for a limited community space. The size of the lot does not encourage more, and Marantette Park across the street affords much better and ample community



PUD NARRATIVE CON'T (3)

space for hotel patron benefit and use.

Pedestrian amenities provided per provision
18.428.120



OUTDOOR SEATING BENCH PROVIDED TO ENJOY OPEN SPACE



BICYCLE RACKS PROVIDED FOR FANS OF BACKROAD BICYCLE TOURS AND PEDAL BIKE TOURS AS SOURCES OF TOURISM

4) The nature and extent of the common open space in the project and the provisions for maintenance and conservation of the common open space; and the adequacy of the amount and function of the open space in terms of land use, densities and dwelling types proposed in the plan.

The provision of open spaces for this project is established primarily for landscaping and pedestrian access to public sidewalks. The open space provided for this development is appropriate and proportionate to the scale and character of an urban commercial development indicated by its size, density, location, and topography.

For the proposed development, the common areas outside the building structure tie into new street improvements, and pedestrian path networks provide a choice of routes. The project has immediate safe access to the adjacent public streets, and existing and proposed new sidewalks along the adjacent streets will connect the site's common area along the proposed building. A bicycle rack will be installed

to accommodate the increasing trend of nature adventurers on bicycles. (See Figure 2)

The site open space area for this development is intended to easily connect hotel patrons to the existing Columbia Falls Commercial core, tourist attractions, and Marantette Park across the street. The hotel staff and contract maintenance will maintain all landscape and open space provided.

The site is within the urban growth boundary of the City of Columbia Falls and has access to many services. Therefore, the density proposed can be accommodated in this setting because it was anticipated in the Columbia Falls Growth Policy.

5) The manner in which services will be provided such as water, sewer, storm water management, school, roads, traffic management, pedestrian access, recreational facilities and other applicable services and utilities.

The proposed development will facilitate the adequate provision of transportation, water, sewer, school, parks, and other public requirements as they already exist for this urban redevelopment site. The development is located in the urban setting where the population density is anticipated in the Columbia Falls Growth Policy. This growth is anticipated to utilize the city's current infrastructure, including sewer and water, thus limiting impact on the city infrastructure.

Presently, both city water and sewer are available at the subject parcels. The mains will be extended or rerouted adequately to serve the proposed hotel. Stormwater will be retained and disposed of on-site, per City requirements. Paved parking areas

PUD NARRATIVE CON'T (5)

will direct stormwater to low points, collect into a proposed open channel, and be directed to drywells for dispersion.

UTILITIES/SERVICES

Water: City of Columbia Falls
 Sewer: City of Columbia Falls
 Fire Protection: Badrock Volunteer Fire Department
 Police Protection: City of Columbia Falls
 Street Maintenance: City of Columbia Falls
 Electricity: Flathead Electric
 Natural Gas: Northwestern Energy

The roadways adjacent to the development adequately meet the needs of CB-2 zoning allowable uses. Highway 2 is a principal arterial and 2nd Avenue East is a collector street. The arterial road corridor has a sidewalk provided on both sides; on 2nd Avenue East a sidewalk shall be built to provide ease of pedestrian access.

The proposed commercial development of the subject property is likely to have little to no negative impact on local schools other than to contribute significantly to the tax base and will contribute additional users to community parks and the commercial core. Marantette Park is located next to the project site with easy access for the public and the development occupants. River's Edge Park is less than a mile from the proposed development. The Columbia Falls ImaginELF Library is about one mile distant.



MARANTETTE PARK



RIVER'S EDGE PARK



PROJECT SITE ACCESS VIA 2ND AVENUE SOUTH



PROJECT SITE ACCESS VIA HIGHWAY 2



SITE ACCESS AT CORNER OF 2ND AVENUE SOUTH & HWY 2

PUD NARRATIVE CON'T (6)

6) The relationship, beneficial or adverse, of the planned unit development project upon the neighborhood in which it is proposed to be established.

The project is expected to facilitate further growth and provide possible additional opportunities for commercial uses of the highway corridor. The proposed PUD will not result in the displacement of any resident, people, or population because the existing land for this PUD is a redevelopment of of a previous commercial use, since demolished.

No adverse impacts on the surrounding area are anticipated as a result of excessive noise, illumination, glare, dust, smoke, or vibration, or from emissions of noxious materials, pollution of waterways or groundwater, or interference with radio or television signals. All surrounding parcels have existing commercial zoning.

This requested rezoning will help facilitate similar developments to complement the surrounding uses. The current proposed hotel development along with the associated road improvements and infrastructure will support similar development. Conserving, enhancing, and expanding existing available lands conserves resources and the value

of existing buildings in the immediate neighborhood of the project. The hotel type proposed will lessen pressure on existing long-term rentals; resulting in a benefit to the community.

Uses permitted under the CB-2 zoning and this PUD would, add value to the existing surrounding properties and could provide symbiotic uses. The requested rezoning aligns with the goals of the Growth Policy and correlates with the existing commercial corridor and adjacent commercial core development.

7) How the plan provides reasonable consideration to the character of the neighborhood and the peculiar suitability of the property for the proposed use.

The subject property is adjacent to Highway 2 which is predominantly zoned with CB-2 throughout this portion of the corridor. The use of a PUD is particularly suitable for the project site location due to its full exposure to the tourism industry and the design flexibility the PUD provisions afford.

The rezoning of these lots with the PUD application request brings consistency to the zones contained within the surrounding parcels and will match the intended zoning set forth in the *City of Columbia Falls*



PROJECT SITE LOCATION ADJACENT TO HIGHWAY 2 IS SUITABLE FOR FULL EXPOSURE FOR THE TOURISM INDUSTRY

PUD NARRATIVE CON'T (7)

Growth Policy for this corridor. The pending rezoning makes all of the subject property CB-2 which allows for the ease of development of the property and promotes complementary development to the existing neighborhood. The location of the site adjacent to State Highway 2 promotes the image of the city as a tourism destination as outlined in the *City Growth Management Policy*.

8) *Where there are more intensive uses or incompatible uses planned within the project or on the project boundaries, how will the impacts of those uses be mitigated.*

The proposal is consistent with the general purposes of the Ordinance as set forth under 18.336 CB-2 which includes, but is not limited to promoting the health, safety, and welfare of the communities of the City of Columbia Falls. This use will encourage additional use of existing city parks and commercial areas.

The requested PUD for the proposed development gives reasonable consideration to the character of the district. In the recent city public survey of 2018/19, a majority of the city residents supported the continuing development of tourism-related businesses such as hotels within the city limits. See *Figure 3*. The proposed development is considered most suitable due to its location in the direct view shed of travelers along Highway 2, and the historic motel on the site.

9) *How the development will further the goals, policies and objectives of the Columbia Falls Growth Policy.*

The development of this project will foster and encourage growth in the City of Columbia Falls in a major transportation corridor, served by existing

municipal facilities and services.

The CB-2 business district is designated for a wide range of commercial activities including businesses serving the needs of the traveling public and tourism. The proposed hotel complies with the CB-2 land use designation of the intended promotional uses as described in the *City of Columbia Falls Growth Policy (2019)*. The proposed location of the hotel uses the advantage of the traffic volume and high visibility along the Highway 2 corridor and is consistent with such a commercial corridor and surrounding areas. This PUD will allow design flexibility to maximize the visual impact of this development.

6) In the last decade, tourist related business has started to locate in Columbia Falls, these businesses include, guide services, glacier park concessionaires, hotel, hostels, etc. Do you support the continued development of these businesses?

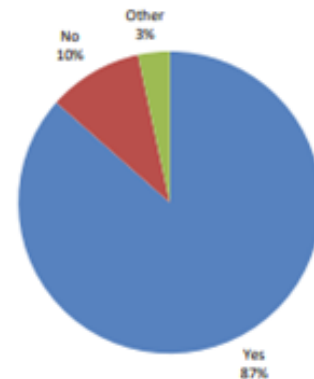


FIGURE 3: THE INTENDED PROMOTIONAL USES AS DESCRIBED IN THE CITY OF COLUMBIA FALLS GROWTH POLICY 2019

10) *Include site plans, drawings and schematics with supporting narratives where needed that include the following information:*

The proposed site layout reflects careful consideration of safety and efficiency, a thoughtful building structure location, and appropriate relation of space inside and outside the building for the intended use and structural features.

PUD NARRATIVE CON'T (10)

In particular:

- » Travel lanes, parking, and service areas provide safe and convenient access to the project facilities; and for service and emergency vehicles.
- » Vehicular access to adjacent streets from parking and service areas is designed to channel traffic from and to such areas in a manner promoting safe traffic flow using existing approaches.
- » Onsite walkways form a safe and convenient path for pedestrian use, connecting them to public sidewalks.
- » Landscape areas and other open spaces are in relation to the proposed structure and are intended to assure a desirable design and provide access to and around the building.

a. Total acreage and present zoning classifications;

48,200 square feet (1.106 ac), CB-1, pending CB-2 application

b. Zoning classification of all adjoining properties;

CB-2 zone to the south, east, and north; CB-1 zone to the northwest; and CR-3 zone on the southeast and southwest, not adjacent to PUD parcels.

c. Density in dwelling units per gross acre;

Not applicable for CB-2 zoning.

d. Location, size, height, and number of stories for buildings and uses proposed for buildings;

Building height = 50+/- feet
Number of stories = 4 floors
Use: Hotel

e. Layout and dimensions of streets, parking areas, pedestrian walkways, and surfacing.

See attachment.

f. Vehicle, emergency and pedestrian access, traffic circulation and control;

Site plan provided.

g. Location, size, height, color, and materials of signs;

There are currently two signages for this site, one at the current entrance at the corner of

2nd Avenue E and Highway 2, this entrance will be removed as part of the new development. The other sign is located at the current site driveway approach on Highway 2. Both signs will be replaced with new signs to meet the required city signage standards. Both signs will have a clear opening between the height of 3 to 7 feet to avoid obstruction within the city Clear Vision standards. The exact design, height, size, color, and materials of the proposed signages will conform to the *City of Columbia Falls Sign Ordinance*.

h. Location and height of fencing and/or screening.

The existing fence along the east property line will remain or be enhanced with screening around the trash enclosure, typically 6' tall per the site plan.

i. Location and type of landscaping

The proposed landscape areas are shown on the attached Site Plan with estimated total green coverage. A full landscape plan with a table of plant types, size, and height will be submitted to the planning department along with other plans submitted for review and final approval.

j. Location and type of open space and common areas;

See site plan

k. Proposed maintenance of common areas and open space;

Managed by Ownership and management company including snow removal.

l. Property boundary locations and setback lines;

The property boundary lines are reflected in the attached Site Plan.
The setbacks in CB-2 are 0 (zero) setback.

m. Special design standards, materials, and/or colors;

The proposed building design to meet the large Building requirements from the *City of Columbia Falls February 2020 Zoning Code, Chapter 18.428*. The building structure materials and colors will be submitted during the building permit review.

The outdoor lighting is to be reviewed at the building permit stage to ensure compliance with the city planning standards and all lighting has full cut-off and/or opaque shields.



PUD NARRATIVE CON'T (10)

- n. *Proposed schedule of completions and phasing of the development, if applicable;*

The project will be developed during one phase development; the construction will take place as soon as planning and building department approval can be obtained.

- o. *Covenants, conditions, and restrictions;*

Not Applicable

- p. *Any other information that may be deemed relevant and appropriate to allow for adequate review.*

See attached plans and other supplementary information.

End of Narrative

The signing of this application signifies that the aforementioned information is true and correct and grants approval for the City of Columbia Falls staff to be present on the property for routine monitoring and inspection during the review process.

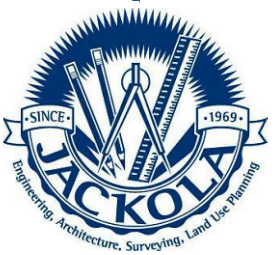
Applicant Signature

Date





MAKE IT PERSONAL.



SITE SUMMARY:

PUD REQUEST ON COS 3778, TRACT 1 COS 3040
EXISTING MOTEL ON TRACT 2 COS 3040

ADDRESS:
230 HIGHWAY 2 EAST
COLUMBIA FALLS, MT. 59912

TOTAL ACREAGE OF PUD REQUEST - 1.11 AC.

ZONE REQUEST: CB-1 TO CB-2 GENERAL BUSINESS
(APPLICATION PENDING FOR CB-2)

PROPOSED MINIMUM SETBACKS:

FRONT-	0
SIDE-	0
SIDE CORNER-	0
REAR-	0

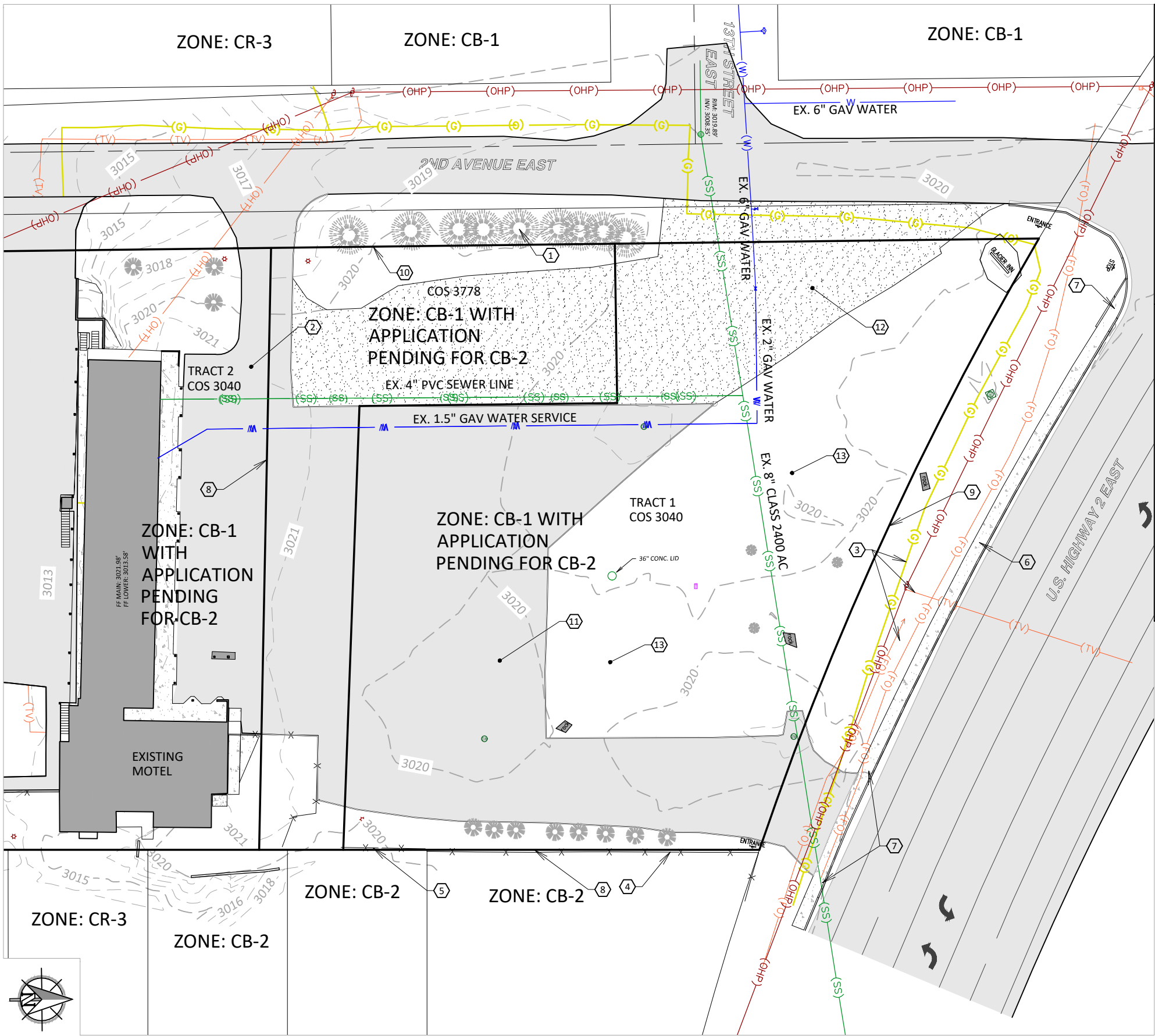
KEYNOTES:



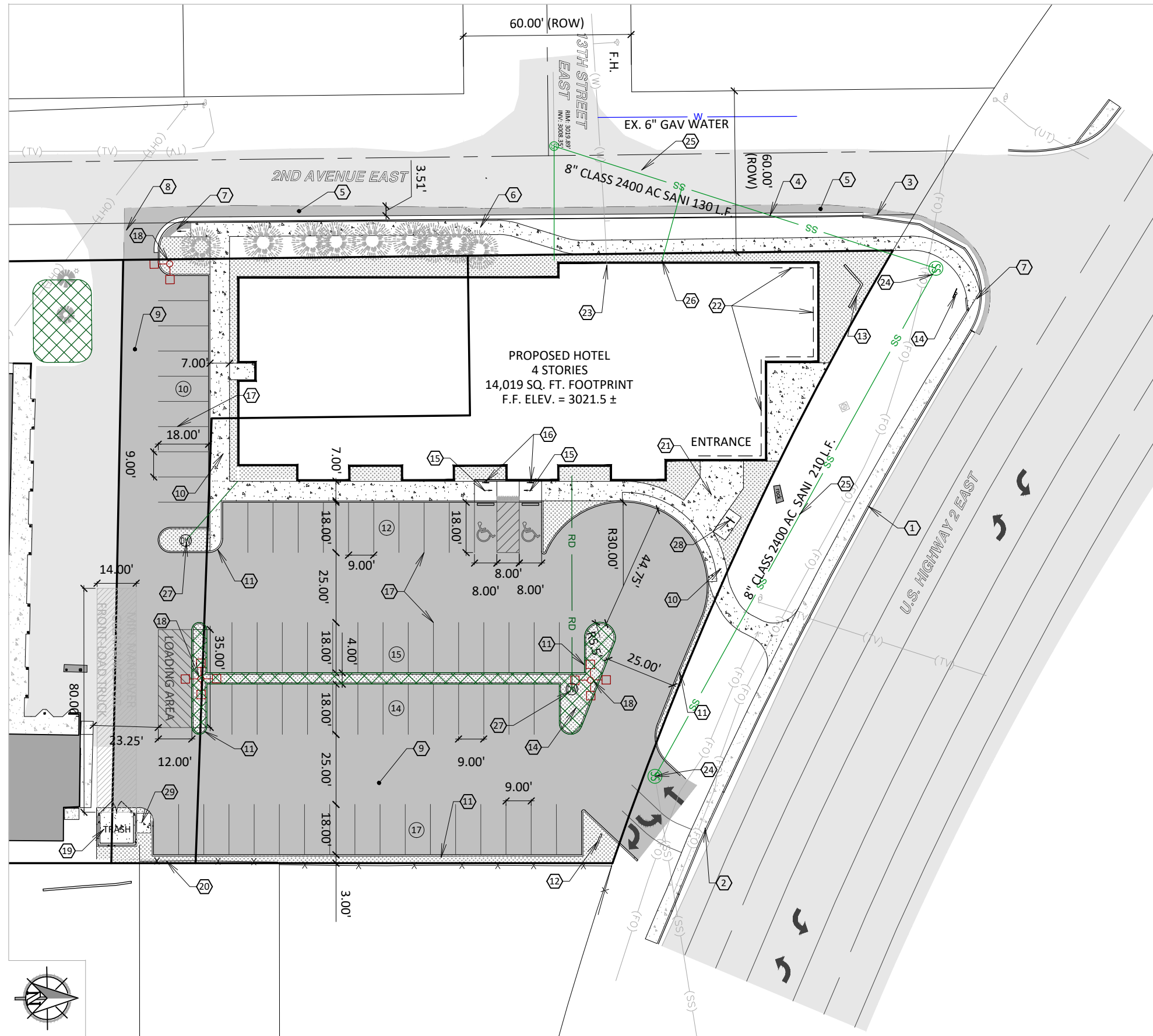
1. EXISTING TREES.
2. EXISTING ASPHALT SURFACE TO REMAIN AND TO BE RESURFACED AS NEEDED TO MEET GRADING OF NEW.
3. EXISTING DRY UTILITY LINES TO REMAIN.
4. EXISTING SPLIT RAIL FENCE TO REMAIN.
5. EXISTING 6' HIGH SCREEN FENCE TO REMAIN.
6. EXISTING CONCRETE SIDEWALK TO REMAIN.
7. EXISTING ADA RAMP TO REMAIN.
8. EXISTING PROPERTY LINE.
9. EXISTING ROW ON US HIGHWAY 2 EAST.
10. ROW FOR 2ND AVE. EAST.
11. EXISTING ASPHALT SURFACE.
12. EXISTING GRAVEL SURFACE.
13. EXISTING GRASS SURFACE.

GENERAL NOTES:

1. SOME EXISTING WATER AND SANITARY SEWER LINES ARE FROM CITY OF COLUMBIA FALL UTILITY MAP.



EXISTING SITE PLAN



KEYNOTES: #

1. EXISTING FRONTAGE TO REMAIN, NO CHANGES.
2. EXISTING ENTRANCE TO BE UPDATED WITH TURNING LANES AND MARKERS.
3. EXISTING CURB AND GUTTER TO REMAIN AND MATCH NEW.
4. NEW CURB AND GUTTER TO MATCH EXISTING.
5. NEW PAVEMENT SECTION FROM SAWCUT TO CURB AND GUTTER.
6. NEW 5' CONCRETE SIDEWALK FOR ROADWAY IMPROVEMENT.
7. NEW ADA PEDESTRIAN RAMP FOR NEW SIDEWALK.
8. ENTRANCE IMPROVED WITH NEW PAVEMENT AND CURB AND GUTTER.
9. NEW PAVEMENT SECTION FOR PARKING AREA.
10. NEW 7' WIDE CONCRETE SIDEWALK.
11. NEW STANDARD CURB FOR PARKING LOT.
12. NEW MONUMENT SIGN.
13. NEW MONUMENT SIGN. MUST MEET COCF SIGN VISION CLEARANCE REQUIREMENTS.
14. RELOCATED STOP SIGN PER CITY DETAILS.
15. HANDICAP FLARE RAMP.
16. ADA PARKING SIGN.
17. PARKING STRIPING.
18. NEW LIGHT POLE BASE.
19. TRASH ENCLOSURE, WITH GATE.
20. EXTEND 6' HIGH SCREEN FENCING.
21. CONCRETE DROP-OFF AREA WITH FLARED LANDING.
22. BUILDING SIGNAGE POTENTIAL LOCATIONS.
23. NEW WATER SERVICE LINE FOR DOMESTIC AND FIRE.
24. NEW SANITARY SEWER MANHOLES.
25. NEW RELOCATED 8" SANITARY SEWER LINES.
26. NEW SANITARY SEWER SIDE SERVICE LINE.
27. DRYWELL FOR ROOF DRAIN.
28. 5 STALL BIKE RACK.
29. TRANSFORMER PAD.

	BUILDING OUTLINE
	PAVING/PARKING ASPHALT
	SIDEWALK/PATH CONCRETE
	PROPOSED LANDSCAPE AREAS
	PROPOSED SNOW STORAGE AREAS

SITE SUMMARY:

TOTAL BUILDING SQUARE FOOTAGE = 59,290± SQ. FT.

TOTAL NUMBER OF HOTEL ROOMS = 65 UNITS

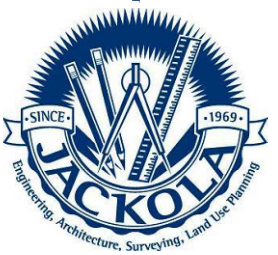
PARKING SUMMARY:

PARKING REQUIRED =
1.0 SPACES PER UNIT
65 UNITS x 1.0 = **65 STALLS**
EMPLOYEES:
1.0 SPACE PER 2 EMPLOYEES (6 EMPLOYEES)
1 x 3 = **3 STALLS**
ADA PARKING REQUIRED = 2 WITH 1 VAN ACCESSIBLE SPACES
ADA PARKING PROVIDED = 2 WITH 1 VAN ACCESSIBLE SPACES

TOTAL PARKING REQUIRED - **68 STALLS**
TOTAL PARKING PROVIDED - **68 STALLS**

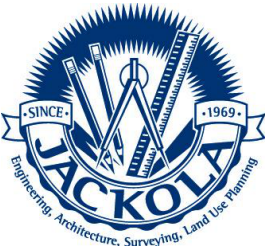
LANDSCAPING SUMMARY:

LANDSCAPING REQUIRED = 15% OF LOT AREA
AREA REQUIRED = 48,269± x 0.15 = 7,240± SF
LANDSCAPING SHOWN = 4,863± SF = 10.0% PUD REQUEST FOR 7.5%



STAYING AT THE RUIIS

COLUMBIA FALLS, MONTANA



RUIS HOLDINGS

STAYING AT THE RUIS

COLUMBIA FALLS, MONTANA



DISCOVERY SHEET LIST
D0.00 TITLE SHEET
C1.00 EXISTING SITE PLAN
C1.10 PRELIMINARY SITE AND UTILITY PLAN
D2.00 LEVEL 1 FLOOR PLAN
D2.10 LEVEL 2 FLOOR PLAN
D2.20 LEVEL 3 FLOOR PLAN
D2.30 LEVEL 4 FLOOR PLAN
D3.00 ROOF PLAN
D4.00 ELEVATIONS
D4.10 ELEVATIONS
D5.00 BUILDING SECTIONS
D6.00 FOUNDATION PLAN
D7.00 LEVEL 1 FRAMING
D7.10 LEVEL 2 FRAMING
D7.20 LEVEL 3 FRAMING
D7.30 LEVEL 4 FRAMING
D8.00 ROOF FRAMING
TOTAL BUILDING SQFT:
+/- 54,112 SQFT

STAYING AT THE RUIS

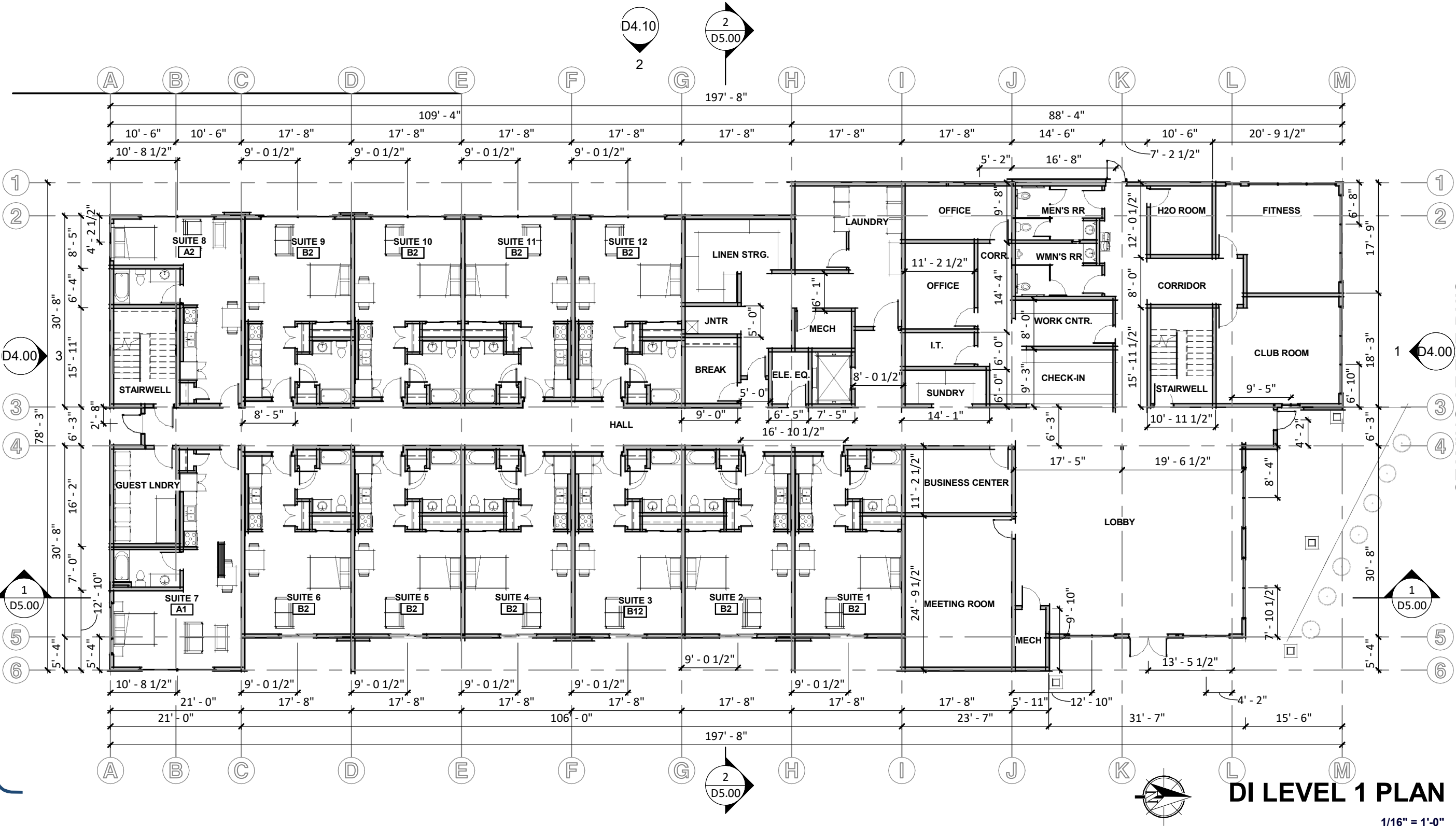
COLUMBIA FALLS, MONTANA

TITLE SHEET

07/14/2022



FIRST FLOOR UNIT TOTAL:		
TYPE:	SQFT:	COUNT:
STUDIO A1	538 SF	1
STUDIO A2	431 SF	1
STUDIO B2	496 SF	10
TOTAL FIRST FLOOR UNITS:		12



STAYING AT THE RUIIS

COLUMBIA FALLS, MONTANA

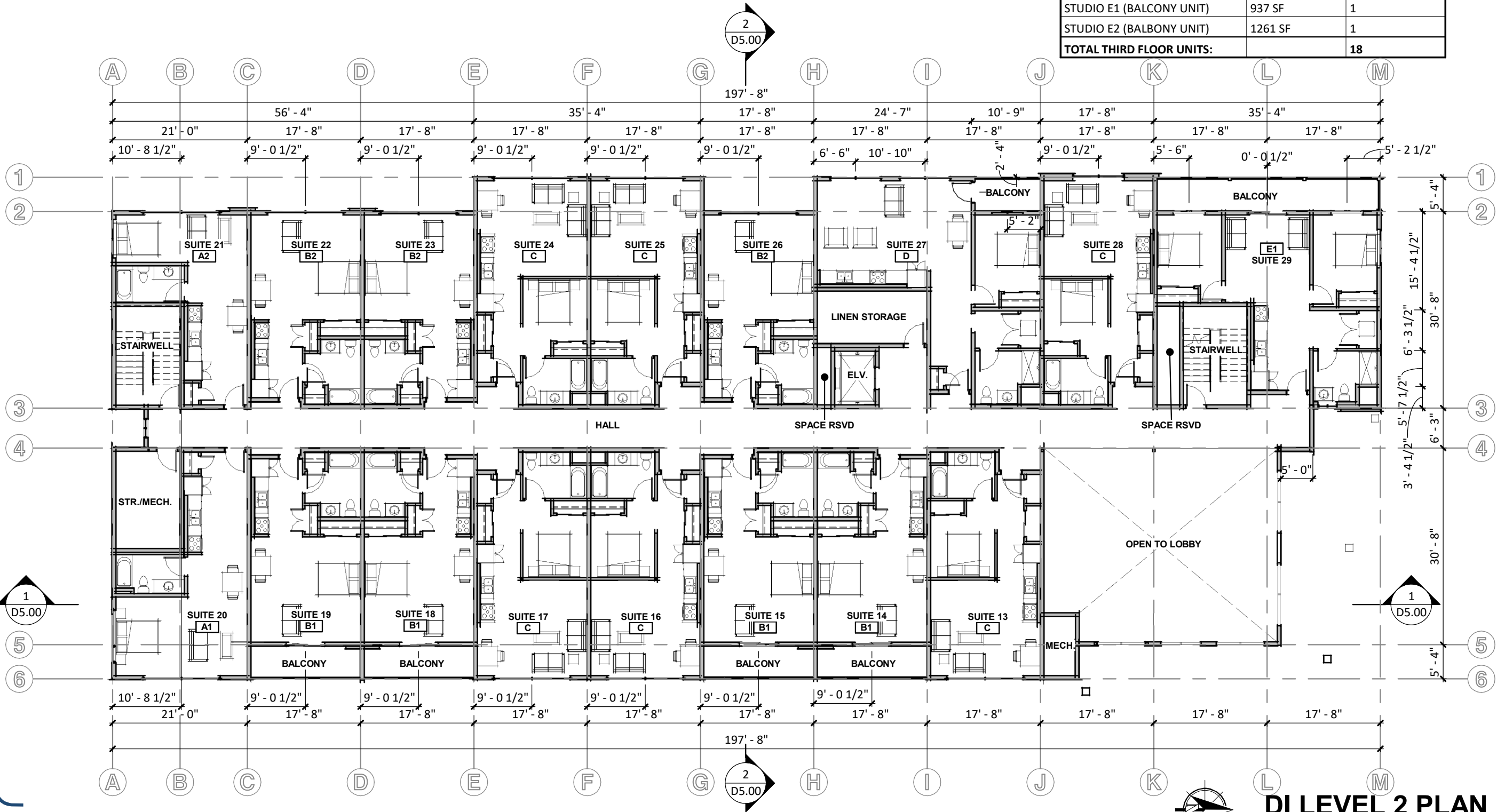
DI LEVEL 1 PLAN

1/16" = 1'-0"

2250 HWY 93 SOUTH, KALISPELL, MT. 59901 PHONE: 406-755-3208 WEB PAGE: www.jackola.com
07/14/2022



SECOND FLOOR UNIT TOTAL:		
TYPE:	SQFT:	COUNT:
STUDIO A1	538 SF	1
STUDIO A2	431 SF	1
STUDIO B1 (BALCONY UNIT)	562 SF	4
STUDIO B2	496 SF	3
STUDIO C	572 SF	6
STUDIO D (BALCONY UNIT)	870 SF	1
STUDIO E1 (BALCONY UNIT)	937 SF	1
STUDIO E2 (BALCONY UNIT)	1261 SF	1
TOTAL THIRD FLOOR UNITS:		18



STAYING AT THE RUIS

COLUMBIA FALLS, MONTANA

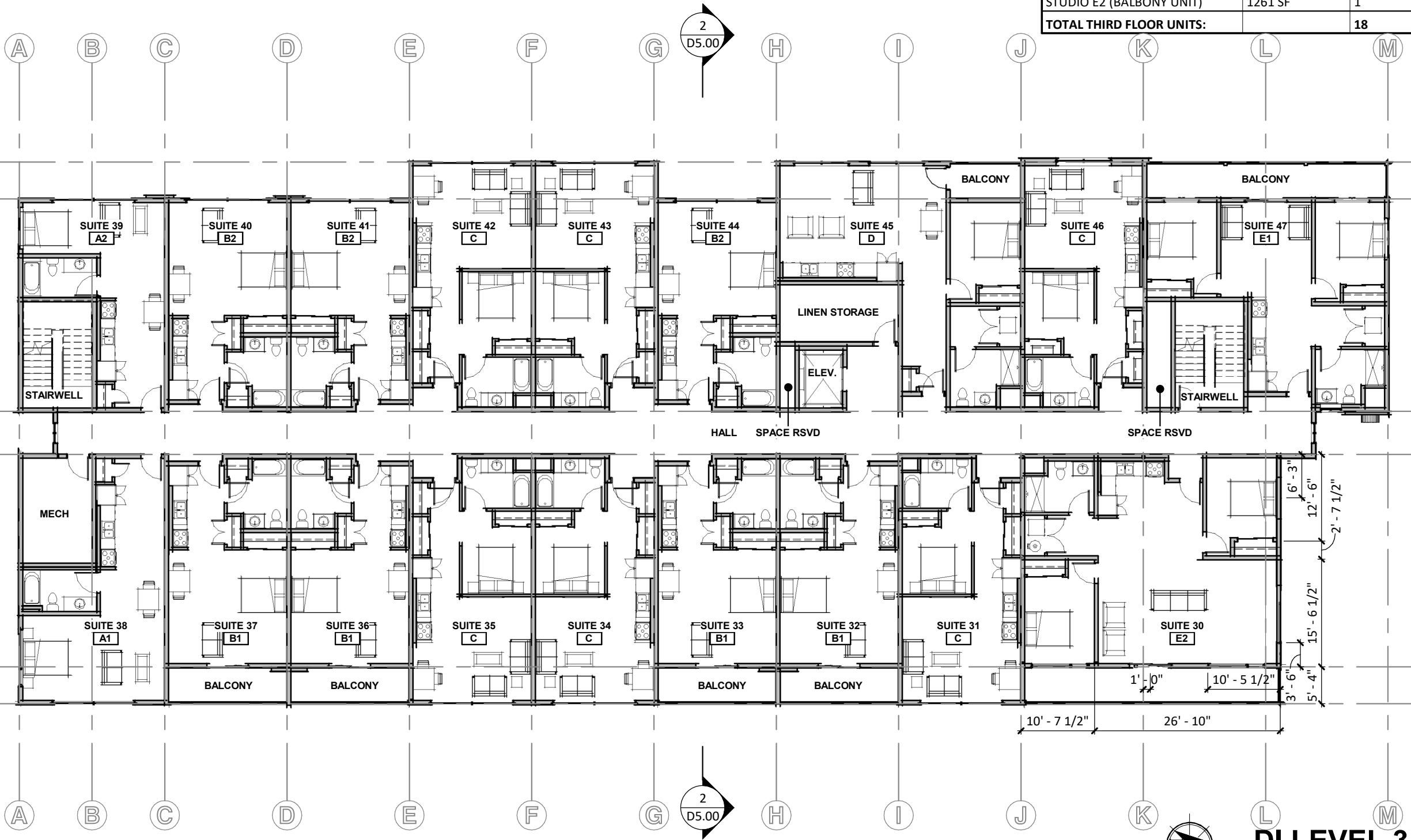
DI LEVEL 2 PLAN

1/16" = 1'-0"

07/14/2022

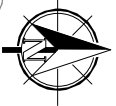


SECOND FLOOR UNIT TOTAL:		
TYPE:	SQFT:	COUNT:
STUDIO A1	538 SF	1
STUDIO A2	431 SF	1
STUDIO B1 (BALCONY UNIT)	562 SF	4
STUDIO B2	496 SF	3
STUDIO C	572 SF	6
STUDIO D (BALCONY UNIT)	870 SF	1
STUDIO E1 (BALCONY UNIT)	937 SF	1
STUDIO E2 (BALCONY UNIT)	1261 SF	1
TOTAL THIRD FLOOR UNITS:		18



STAYING AT THE RUIS

COLUMBIA FALLS, MONTANA

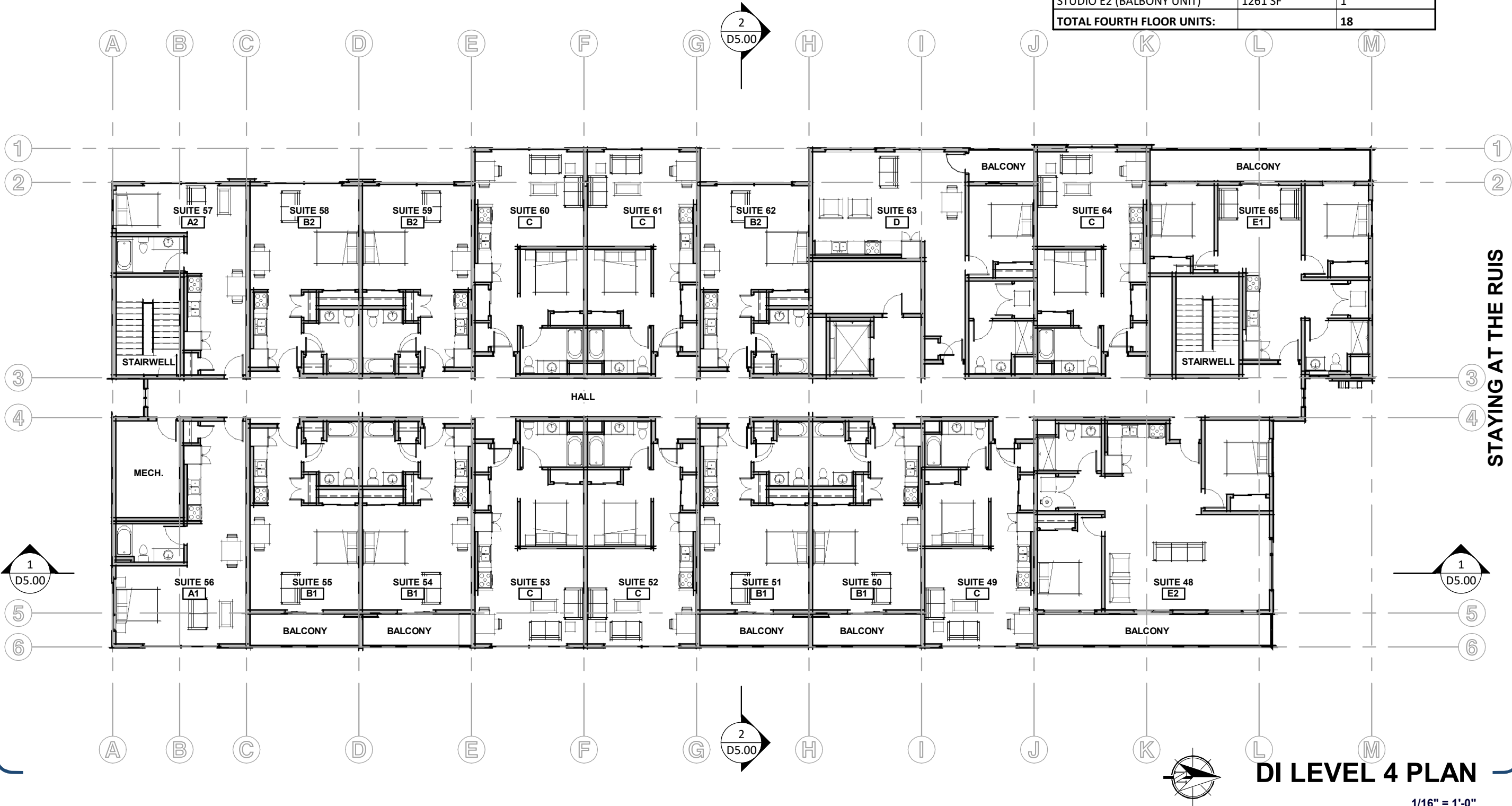


DI LEVEL 3 PLAN

1/16" = 1'-0"



FOURTH FLOOR UNIT TOTAL:		
TYPE:	SQFT:	COUNT:
STUDIO A1	538 SF	1
STUDIO A2	431 SF	1
STUDIO B1 (BALCONY UNIT)	562 SF	4
STUDIO B2	496 SF	3
STUDIO C	572 SF	6
STUDIO D1 (BALCONY UNIT)	870 SF	1
STUDIO E1 (BALCONY UNIT)	937 SF	1
STUDIO E2 (BALCONY UNIT)	1261 SF	1
TOTAL FOURTH FLOOR UNITS:		18

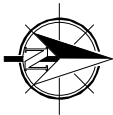
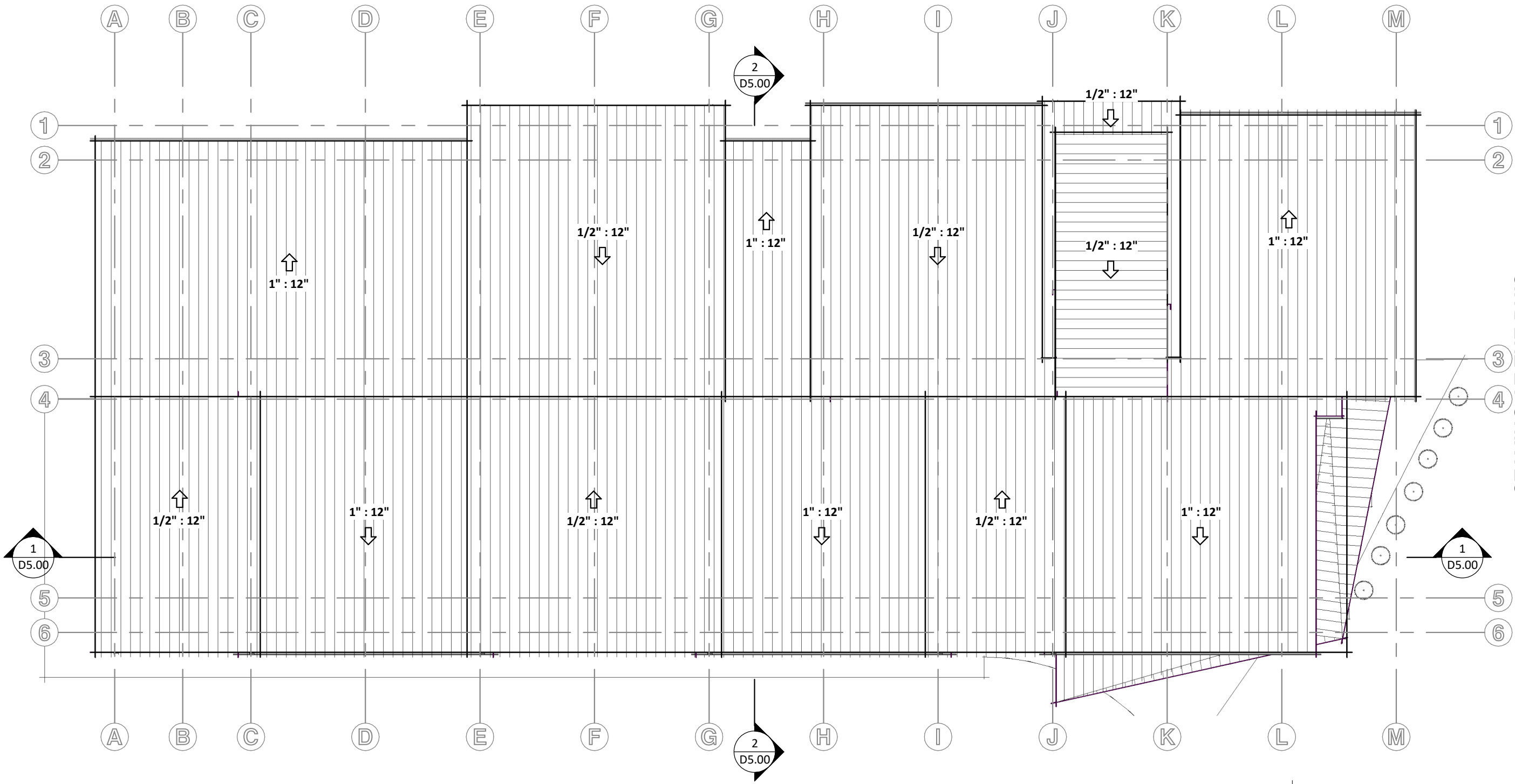


STAYING AT THE RUIS

COLUMBIA FALLS, MONTANA

DI LEVEL 4 PLAN

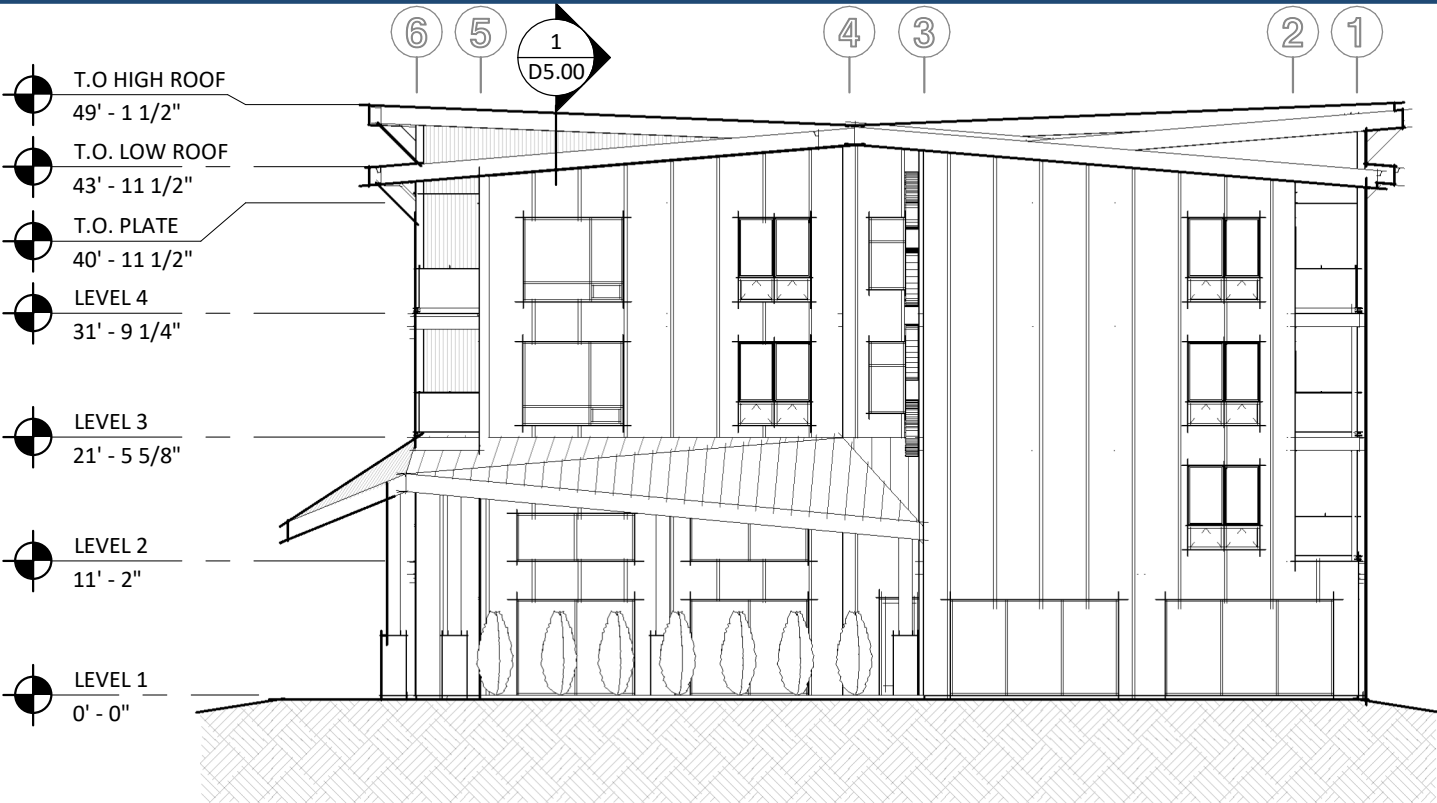
1/16" = 1'-0"



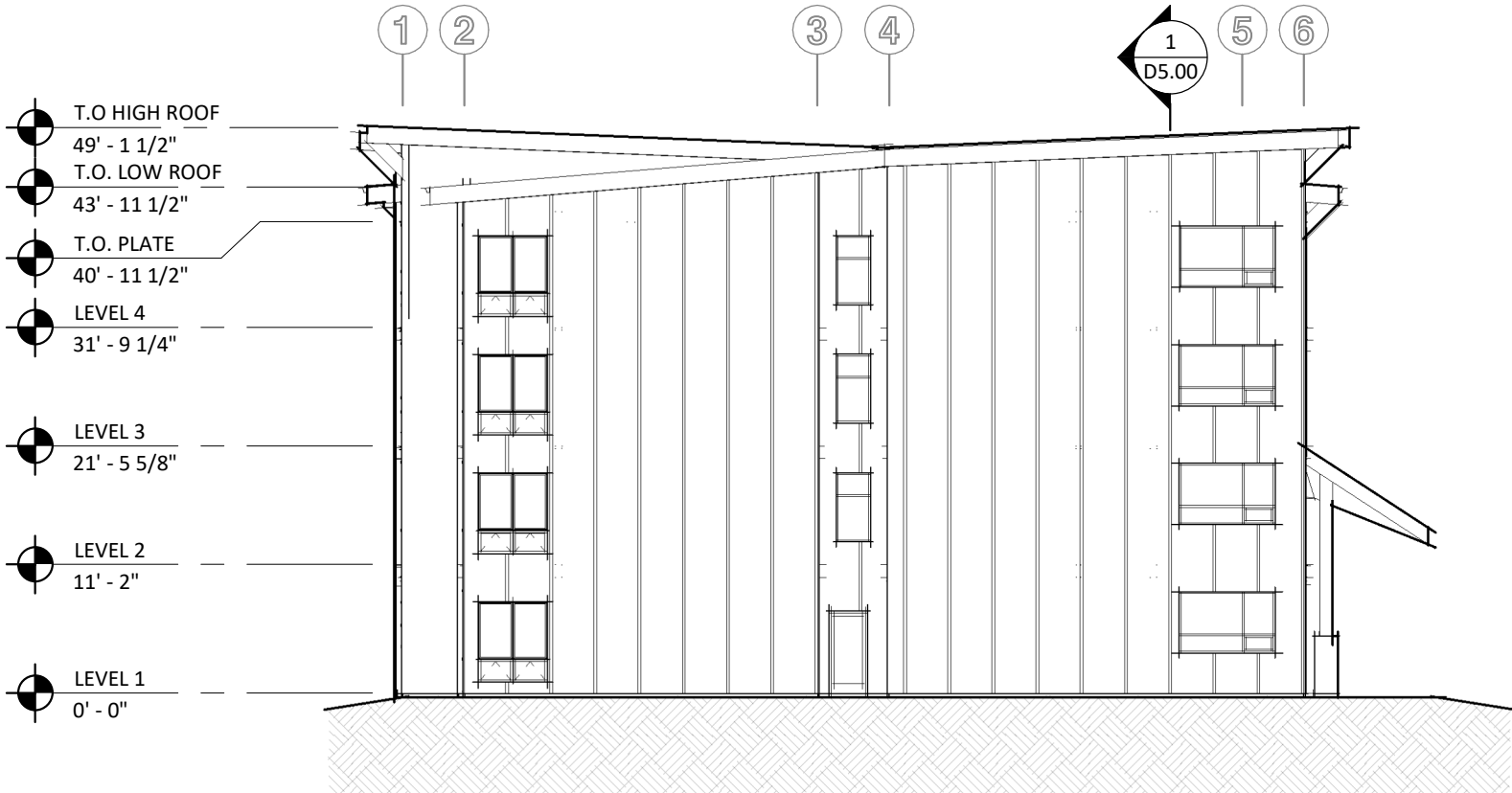
ROOF PLAN

1/16" = 1'-0"

COLUMBIA FALLS, MONTANA



NORTH ELEVATION DI
1/16" = 1'-0"



SOUTH ELEVATION DI
1/16" = 1'-0"

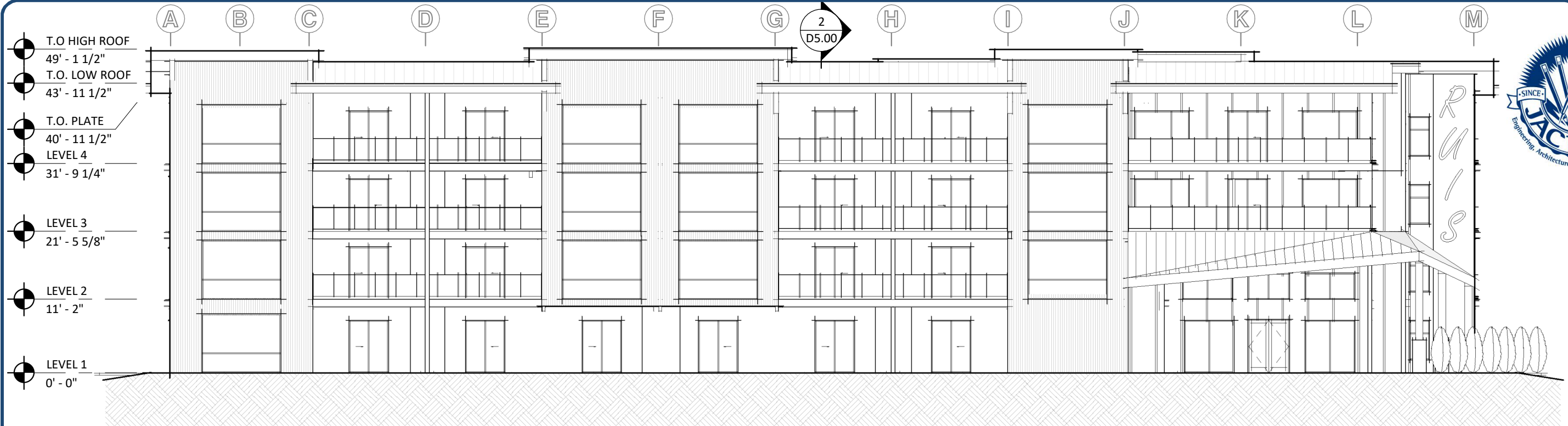
STAYING AT THE RUIIS

COLUMBIA FALLS, MONTANA

ELEVATIONS

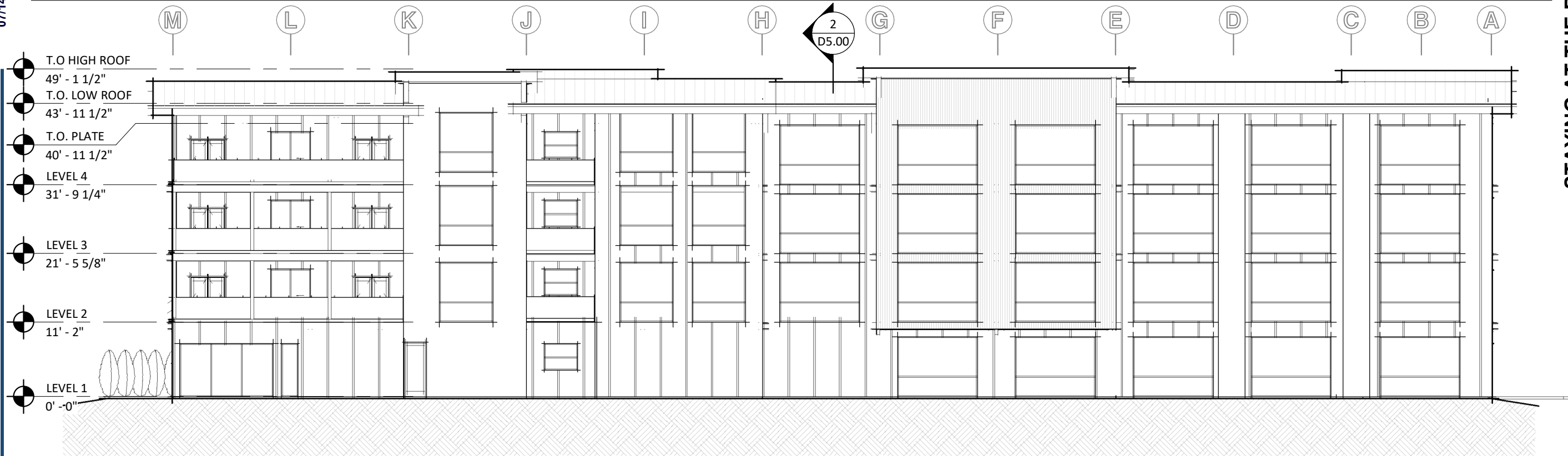
1/16" = 1'-0"

2250 HWY 93 SOUTH, KALISPELL, MT. 59901 PHONE: 406-755-3208 WEB PAGE: www.jackola.com
07/14/2022



EAST ELEVATION DI

1/16" = 1'-0"



WEST ELEVATION DI

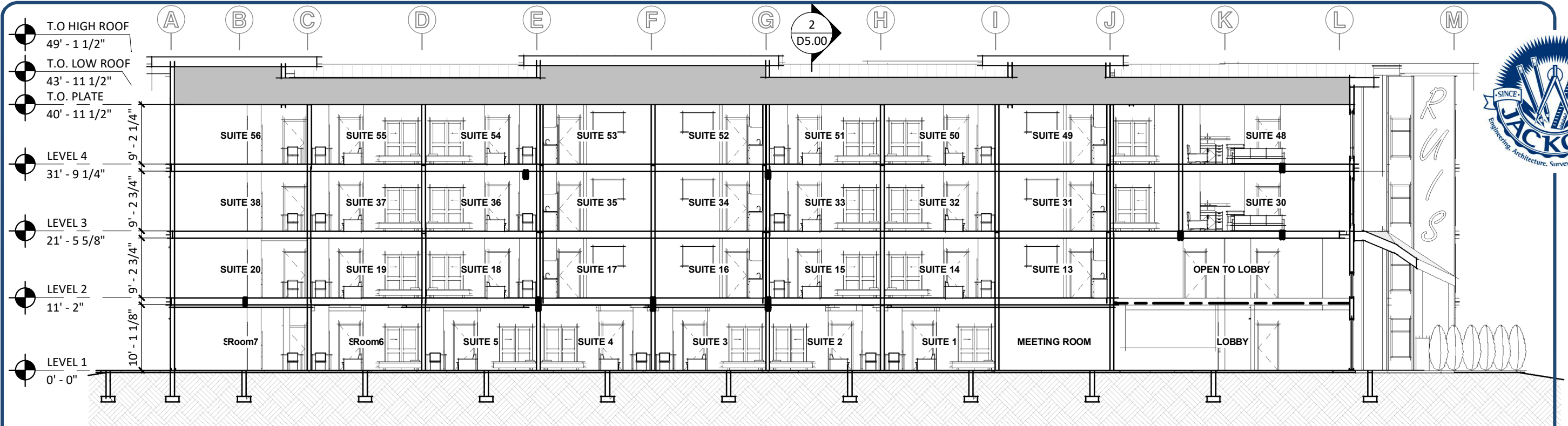
1/16" = 1'-0"

STAYING AT THE RUIIS

COLUMBIA FALLS, MONTANA

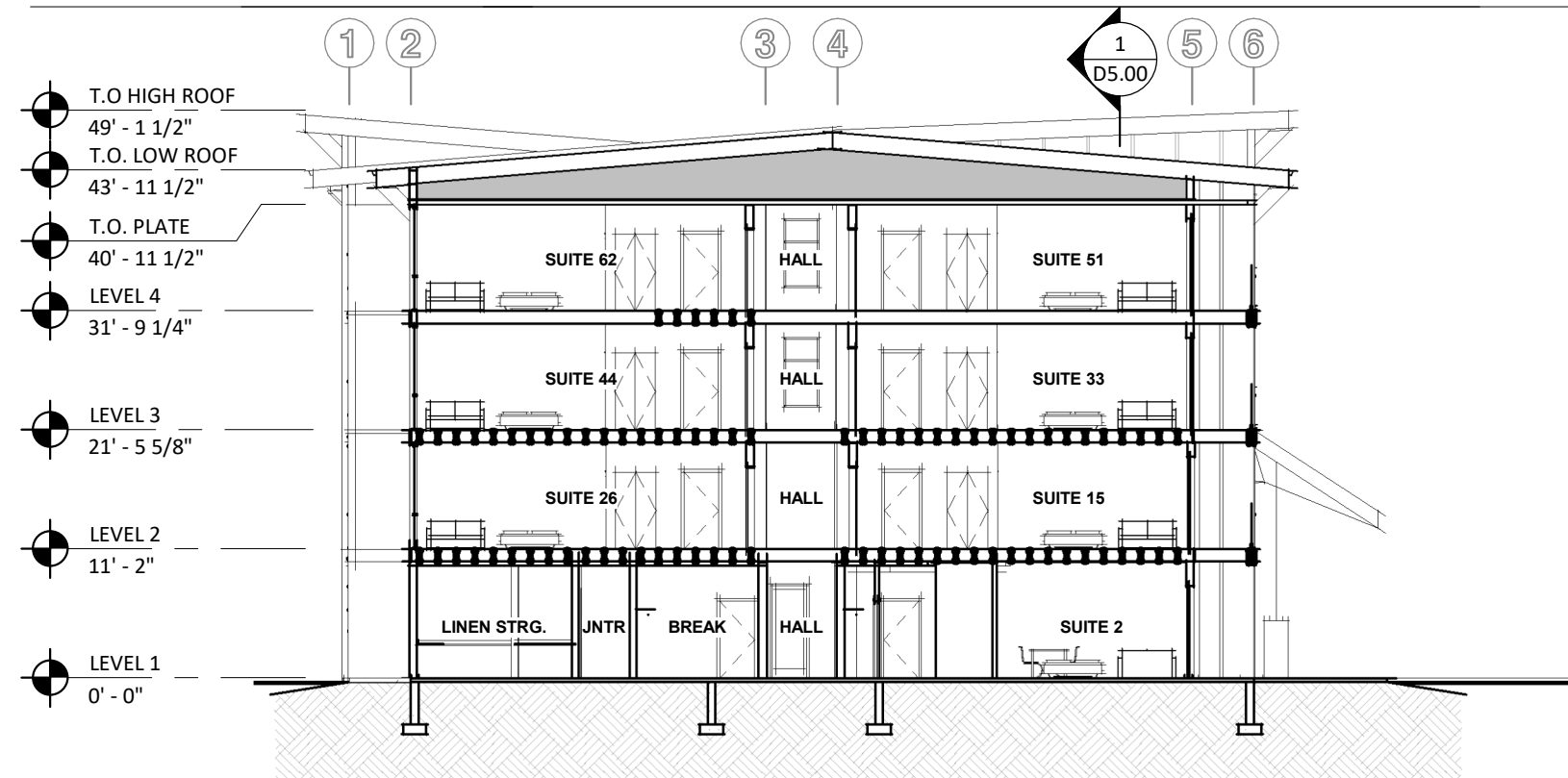
ELEVATIONS

1/16" = 1'-0"



LONGITUDINAL SECTION

1/16" = 1'-0"



TRANSVERSE SECTION

1/16" = 1'-0"

STAYING AT THE RUIIS

COLUMBIA FALLS, MONTANA

BUILDING SECTIONS

1/16" = 1'-0"



130 6TH STREET WEST
ROOM A
COLUMBIA FALLS, MT 59912

Planning Department

PHONE (406) 892-4391

FAX (406) 892-4413

Item No.2.

August 22, 2022

Re: Public hearing notice for a Planned Unit Development for 230 Highway 2 East.

Dear Adjacent Property Owner:

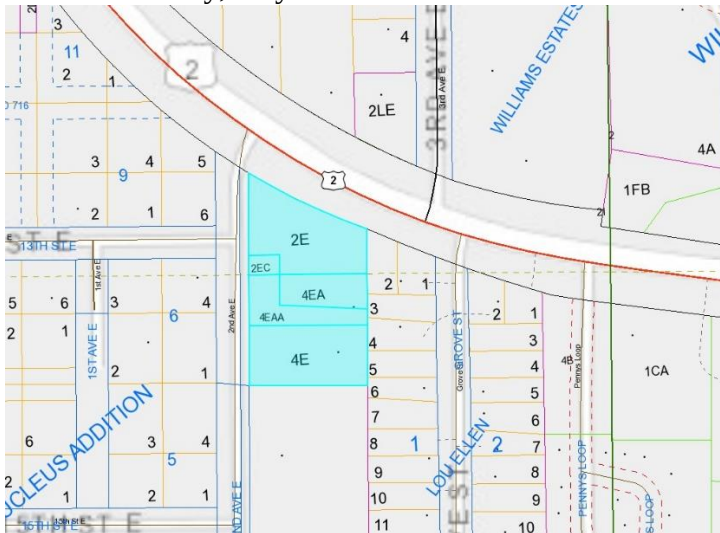
Our records indicate that you are the owner of property within 150-feet of the proposed project.

As the Planning Staff for the Columbia Falls Planning Jurisdiction, I am writing to provide you with notice of public hearings for a Planned Unit Development application. The applicant is proposing to construct a four story 65 unit hotel and is requesting the PUD in order to exceed the 45-foot height limit by five feet and reduce the landscape provisions of the large building and PUD standards.

If you have questions or comments concerning this matter, please call, visit or write me at City Hall. For written comment to be included in the Planning Board packet, it needs to be submitted to the City Clerk, 130 6th Street West, Columbia Falls, MT 59912 no later than Thursday September 8th, 2022 or by email: staalandb@cityofcolumbiafalls.com. Written or emailed comments may be provided up to 5:00 pm on the day of the hearing; it will just be emailed and/or passed out at the hearing.

Sincerely,

Eric H. Mulcahy, City Planner



CITY OF COLUMBIA FALLS
NOTICE OF PUBLIC HEARING

The Columbia Falls City-County Planning Board will hold public hearings for the following items at their regular meeting on Tuesday, September 13, 2022 at 6:30 p.m. at the Council Chambers of City Hall, 130 6th Street West, Columbia Falls, Montana. The Columbia Falls City Council will hold a subsequent hearing on October 3, 2022 starting at 7:00 p.m. in the same location.

Request for a Planned Unit Development in the Columbia Falls Planning Jurisdiction:

Mick Ruis is requesting a Planned Unit Development on behalf of HC 246 LLC in the Columbia Falls Zoning Jurisdiction. The property is located at 230 Highway 2 East in Columbia Falls and is described as Tract 1 of COS No. 3040 and Certificate of Survey No. 3778 all in Section 17, Township 30 North, Range 20 West, P.M.M., Flathead County. The applicant is proposing to construct a four story 65 unit hotel and is requesting the PUD in order to exceed the 45-foot height limit by five feet and reduce the landscape provisions of the large building and PUD standards.

Interested persons are allowed to attend the hearing(s) in person or via ZOOM. Persons are encouraged to submit written comments prior to the meeting. Written comments carry the same weight as public testimony given during the hearing. Written comments may be sent to Columbia Falls City Hall, Attention: Barb Staaland, City Clerk, 130 6th Street West, Room A, Columbia Falls, MT 59912 or via email: staalandb@cityofcolumbiafalls.com. For more information on the proposed Planned Unit Development, please call Eric Mulcahy, Columbia Falls City Planner at 755-6481. To obtain the ZOOM meeting registration, contact City Clerk Barb Staaland via email or by calling (406) 892-4391 no later than 5:30 p.m. the day of the meeting.

No. 28845

CITY OF COLUMBIA FALLS
NOTICE OF PUBLIC HEARING
The Columbia Falls City-County Planning Board will hold public hearings for the following items at their regular meeting on Tuesday, September 13, 2022 at 6:30 p.m. at the Council Chambers of City Hall, 130 6th Street West, Columbia Falls, Montana. The Columbia Falls City Council will hold a subsequent hearing on October 3, 2022 starting at 7:00 p.m. in the same location.

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email: staalandb@cityofcolumbi falls.com. For more information on the proposed Planned Unit Development, please call Eric Mulcahy, Columbia Falls City Planner at 755-6481. To obtain the ZOOM meeting registration, contact City Clerk Barb Staaland via email or by calling (406) 892-4391 no later than 5:30 p.m. the day of the meeting.
DATED this 17th day of August, 2022

Susan Nicosia
Susan Nicosia, City
Manager/Planning & Zoning Administrator
COLUMBIA FALLS CITY-
COUNTY PLANNING BOARD

August 28, 2022
MNAXLP

STATE OF MONTANA

FLATHEAD COUNTY

AFFIDAVIT OF PUBLICATION

RICHELLE ROONEY BEING DULY

SWORN, DEPOSES AND SAYS: THAT SHE IS THE LEGAL CLERK OF THE **DAILY INTER LAKE** A DAILY NEWSPAPER OF GENERAL CIRCULATION, PRINTED AND PUBLISHED IN THE CITY OF KALISPELL, IN THE COUNTY OF FLATHEAD, STATE OF MONTANA, AND THAT **NO. 28845**

LEGAL ADVERTISEMENT WAS PRINTED AND PUBLISHED IN THE REGULAR AND ENTIRE ISSUE OF SAID PAPER, AND IN EACH AND EVERY COPY THEREOF ON THE DATES OF AUGUST 28, 2022.

AND THE RATE CHARGED FOR THE ABOVE PRINTING DOES NOT EXCEED THE MINIMUM GOING RATE CHARGED TO ANY OTHER ADVERTISER FOR THE SAME PUBLICATION, SET IN THE SAME SIZE TYPE AND PUBLISHED FOR THE SAME NUMBER OF INSERTIONS.

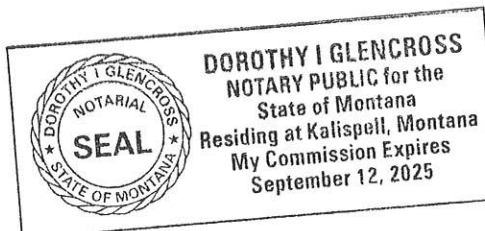
Richelle Rooney

Subscribed and sworn to
Before me this, August 29, 2022.

Dorothy I. Glencross

Dorothy I. Glencross

Notary Public for the State of Montana
Residing in Kalispell
My commission expires 9/12/2025



September 6, 2022

Members of Columbia Falls City County Planning Board
130 6th St W
Columbia Falls, MT 59912

RECEIVED

Item No.2.

SEP 09 2022

CITY OF COLUMBIA FALLS

Re: Planned Unit Development for 230 Hwy 2 East Columbia Falls MT

As a property owner on 16th street (2 blocks below Glacier Motel) I am opposed to this development

I am unable to attend the scheduled meeting on Sept 13, as I am recovering from a triple bypass.

Reasons for opposition

1. This lot is not large enough for a 65 unit 4 story hotel
2. It exceeds the maximum height limit by 5 feet
3. East side Buffer reduced from 10 feet to 3 feet - which indicates that the pine trees will be removed
4. Deviation from minimal parking area in the preliminary site plan, indicates that the hotel patrons or employees will be using Marantette parking area and leave no room for locals to park
5. Minimal community area if the Marantette parking is used by hotel patrons. This is a very active park by locals
6. This area is used by everyone to walk their dogs all around the neighborhood and traffic will endanger the dogs
7. Traffic is funneled using 2nd avenue. This new hotel will be funneling traffic onto the highway through its own entrance/exit and traffic is already an issue trying to make left turns onto oncoming highway 2
8. Mick Ruis continuously requests numerous variances and zoning changes even after approvals by the City and we end up stuck with unacceptable changes to our streets.
9. We already have 200% traffic increase to our street (16th street) from the Cedar Loop Development and with this hotel it will become even more dangerous as patrons will try to go around the residential area to avoid traffic exiting.

Let him build it on the River Road property

D. Darby
2016th St East
Columbia Falls, MT 59912

City of Columbia Falls
Planning Department
130 6th Street West
Columbia Falls, MT 59912

SEP 09 2022

CITY OF COLUMBIA FALLS

Dear ~~Editor~~ City Council

I am writing to add my voice (along with hundreds, perhaps thousands) to the proposed development on River Road. To name a few of the monstrosities that Mayor Mick of Ruis-ville has made happen was the Cedar Creek Hotel because we "needed" it. But this, like all of his boring buildings it is 3 stories and from the third level you have a good view of the swimming pool below (city public pool) and pedophiles can see the children below. Another thing, the hotel has eliminated the kids' winter sledding hill.

Next, where the Bandit used to be is the Gunsight - you guessed it - 3 stories and condos - no more Bandit.

Then there's another 3-story condo building next to the Columbia bar, previously part of the merc. store.

Then where the Dahl Building used to be is probably the most hideous of all - 3-story condos only.

Now, as proposed will cover the entire block from 6th to 5th bordering Nucleus. Oh dear, 3-stories and more condos.

Last, at least for the time being is the huge development on River Road.

Has any one checked with the Fish and Department? This open space habitat for deer, fox, geese, elk, pheasant and wild turkeys. This new construction will push them out and where will ^{they} be pushed to? The highway.

Isn't it about time for mayor mick to cool his jets and ^{you} hold up on issuing more permits - enough already!! This town can't afford or support any more!! You ask for public comment and then pay no attention - listen to us or not. Live here.

year round, not just in the summer when it usually doesn't snow. Also I'm not sure if people know that Ruiz is not "from here", he's from southern California - explains alot doesn't it?

Now a new 4-story hotel - we DO NOT need or want it! Why don't you listen?!!

Marsha Palmer

153 Hellman Lane

Columbia Falls, MT 59912

Barb Staalnd

From: Judy Territo <judyterrito@gmail.com>
Sent: Thursday, September 8, 2022 12:50 PM
To: staalndb@cityofcolumbiafalls.com
Subject: Public comment regarding 230 Hwy 2 E
Attachments: 230 Hwy 2 East - Public comment.pdf

Attached is my letter of opposition to the changes to the requested PUD. Please consider this as 2 opposing points of view since the letter is from both my husband and myself.

Thank you.

Judy Territo
(406)212-0098

**Chuck & Judy Territo
PO Box 644
Columbia Falls, MT 59912
406-212-0098 (cell)**

RECEIVED
SEP 06 2022
CITY OF COLUMBIA FALLS

September 8, 2022

RE: 230 Hwy 2 East & requested change

Dear Mr. Mulcahy:

My husband and I own the property directly east to the address above (270 Hwy 2 East). We both strongly oppose the request to change the PUD to exceed the 45-foot height limit and the reduction of the landscape provision again changing the PUD standards.

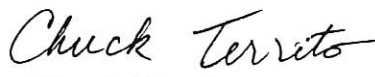
When we built our building we had to adhere to all the PUD standards. A standard is a standard and should be honored in all situations. No exceptions should be made because of status & standings with the City Council.

This area is full of residences and the Marantette Park and is not appropriate for a full size hotel.

We also opposed the changing of CB-1 to a CB-2. The Council seems to allow any changes Mr. Ruis seems to want without regard to the citizens of Columbia Falls. The 2 buildings he has built on Nucleus Avenue & the apartment building just off of Nucleus are an eyesore and should never have been allowed.

Thank you for your "NO" vote on September 13th.


**Judy Territo
406-890-5311**


**Chuck Territo
406-212-0098**

Barb Staaland

From: Dee Brown <mtbrowns@yahoo.com>
Sent: Wednesday, September 7, 2022 6:34 PM
To: staalandsb@cityofcolumbiafalls.com
Subject: Ruis hotel proposal

RECEIVED
SEP 08 2022
CITY OF COLUMBIA FALLS

There has always been a hotel there, I get it. Mr. Ruis, however, wants to change planning in order to accomplish a 'bigger, spiffier' hotel for the site. Why? If he was going to actually be the proprietor I could understand but like all of his previous properties in town it's an attitude of 'buy, build, flip'. Let's stop this attitude that takes advantage of small neighborhoods in town and morphs it into something unrecognizable. Perhaps it's time for him to conform, rather than the city rolling over and conforming to his wishes.

Thanks for your due diligence on this. I could go on and on about taxpayers picking up the bill for added protection, parking at the park across the road, safety issues with misalignment of roads in the area, etc.

Like I said a few years ago, please put a covenant on these properties to not flip them to VRBOs or nightly rentals like is being done uptown. We will never have affordable properties in town until it becomes standard practice.

Thanks,
Dee Brown
1550 Riparian Drive property owner

RECEIVED

SEP 07 2022

CITY OF COLUMBIA FALLS

September 6, 2022

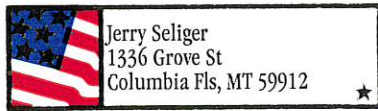
TO: Members of the Columbia Falls City-County Planning Board

RE: Planned Unit Development for 230 Hwy 2 East, Columbia Falls, Montana

AS AN ADJACENT PROPERTY OWNER, WE ARE OPPOSED TO THIS DEVELOPMENT

1. The applicant is proposing to construct a 65 unit 4 story hotel on an area of 1.106 acres.
2. This lot is not large enough for a 65 unit 4 story hotel.
3. Exceed the maximum height limit by 5' to 50'
4. East side buffer reduced from 10' to 3' – meaning the pine trees will be removed.
5. Highway buffer reduced from 10' to ZERO.
6. Deviation from 15% landscape area to very minimal – almost nothing.
7. Deviation from minimal parking area (see details in preliminary site plan) – meaning hotel patrons or employees will be parking at Marantette Park parking area.
8. Deviation from 2nd Ave E buffer – from 10' to ZERO.
9. No bicycle path.
10. Minimal community area – the plan is to utilize the Marantette Park for Hotel patrons use.
11. Does our fire department have the ability to reach the top floor of a 4 story hotel or will we need to purchase a bigger ladder truck?
12. Currently traffic from Glacier Inn primarily uses 2nd Ave. The new hotel will primarily be funneling traffic onto the highway through its own entrance/exit. Traffic is already an issue with Grove St/3rd Ave not aligning – now you would be adding one more entrance/exit along with 2nd Ave and Iron Fitness. A HUGE SAFETY ISSUE
13. Mick Ruis continues to request numerous variance and zoning changes to construct what HE wants for the City of Columbia Falls. What is the purpose of having a Growth Policy with guidelines if the Planning and Zoning Board and the City Council continue to approve whatever Mick Ruis requests. WHAT ABOUT WHAT THE CITIZENS OF COLUMBIA FALLS WANT!

Sincerely,
Judy del Perry
406 - 253-8781



September 6, 2022

TO: Members of the Columbia Falls City-County Planning Board

RE: Planned Unit Development for 230 Hwy 2 East, Columbia Falls, Montana

RECEIVED
SEP 07 2022
CITY OF COLUMBIA FALLS

AS AN ADJACENT PROPERTY OWNER, WE ARE OPPOSED TO THIS DEVELOPMENT

1. [REDACTED]
2. [REDACTED]
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4. East side buffer reduced from 10' to 3' – meaning the pine trees will be removed.
5. Highway buffer reduced from 10' to ZERO.
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From: DC Darby <dcdisneydarby@gmail.com>
Sent: Tuesday, September 6, 2022 10:20 AM
To: staalandb@cityofcolumbiafalls.com
Subject: Planned Unit Development for 230 Hwy 2 East Columbia Falls MT

Re: Planned Unit Development for 230 Hwy 2 East Columbia Falls MT

As a property owner on 16th street (2 blocks below Glacier Motel) I am opposed to this development

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Let him build it on the River Road property

Barb Staalnd

From: Betty Kroger <bltkroger@gmail.com>
Sent: Tuesday, September 6, 2022 4:28 PM
To: staalndb@cityofcolumbiafalls.com
Subject: Ruiz petition

It appears that the petitioner is not considering the inconvenience to potential renters, in not considering there needs for parking. Are these low income apartments that will be affordable? We again do not have the infrastructure in the city of Columbia Falls. Our county commissioners have shown no support for the sheriff dept. for funding. We are not in support of the request.

Sent from my iPad=