



ROOM A | 130 6TH STREET WEST
COLUMBIA FALLS, MT 59912

PHONE (406) 892-4391
FAX (406) 892-4413

**CITY COUNCIL REGULAR MEETING
AGENDA
MONDAY, OCTOBER 03, 2022
COUNCIL CHAMBERS CITY HALL**

FINANCE COMMITTEE – 6:30 P.M

(Barnhart, Robinson, Shepard)

Regular Meeting available via ZOOM. Please contact City Clerk Barb Staalnd at staalandb@cityofcolumbiafalls.com or by calling (406) 892-4391 before 6:00 PM on the day of the meeting to register for the ZOOM link.

REGULAR MEETING – 7:00 P.M.

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

APPROVAL OF AGENDA

CONSENT AGENDA:

1. Approval of Claims - October 3, 2022 - \$79,952.07
2. Approval of September 30, 2022 Payroll - \$107,083.53
3. Approval of September 19, 2022 Regular City Council Meeting Minutes
4. Approval of September 26, 2022 Special Workshop Meeting Minutes

APPOINTMENTS:

5. Appointment - Kelly Hamilton, City Council through December 31, 2023

VISITORS/PUBLIC COMMENT (Items not on agenda)

6. Trey Rice - Eagle Scout Project - Columbus Park

PUBLIC HEARINGS:

7. Public Hearing - Planned Unit Development:

Request for a Planned Unit Development in the Columbia Falls Planning Jurisdiction:

Mick Ruis is requesting a Planned Unit Development on behalf of HC 246 LLC in the Columbia

Falls Zoning Jurisdiction. The property is located at 230 Highway 2 East in Columbia Falls and is described as Tract 1 of COS No. 3040 and Certificate of Survey No. 3778 all in Section 17, Township 30 North, Range 20 West, P.M.M., Flathead County. The applicant is proposing to construct a four story 65 unit hotel and is requesting the PUD in order to exceed the 45-foot height limit by five feet and reduce the landscape provisions of the large building and PUD standards.

A. Adopt Staff Report CPUD-22-03 as Findings of Fact

B. Approve PUD (Final Action - Ordinances)

NEW BUSINESS:

- 8. Request for Water Service/Main Extension** - Mr. Dobson has submitted a Request for Water Service for Lot 6, Block 9, Traceys Aluminum City Subdivision in Section 4, Township 30 N, Range 20 West, P.M.M. Flathead County, more commonly known as 1281 14th Street EN

ORDINANCES / RESOLUTIONS:

- 9. First Reading - Ordinance # 821 - Approving a PUD in the Columbia Falls Zoning Area**

An Ordinance of the City Council of the City of Columbia Falls, Montana, Amending the Columbia Falls Zoning Map to Allow the Development of a Planned Unit Development (PUD) Overlay at 230 Highway 2 East described as Tract 1 of COS No. 3040 and COS No. 3778 in Section 17, Township 30 North, Range 20 West, P.M.M., Flathead County, Montana

REPORTS / BUSINESS FROM MAYOR & COUNCIL

CITY MANAGER REPORT

Project Updates

CITY ATTORNEY REPORT

MISCELLANEOUS

- 10.** Correspondence

ADJOURN

Next Scheduled Meetings:

City Council – Regular Meeting, **October 17, 2022** – 7:00 PM

Planning Board – TBD

09/30/22
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CITY OF COLUMBIA FALLS
Claim Approval List
For the Accounting Period: 9/22

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* ... Over spent expenditure

Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
43668		3112 406 CLEANING OF COLUMBIA FALLS	3,600.00						
	243	09/28/22 FAC-SEP JANITORIAL SERVICE	3,600.00			1000 411200	399		101000
		Total for Vendor:	3,600.00						
43667		3061 406 INNOVATIVE SOLUTIONS LLP	1,658.18						
	092222	09/22/22 POOL-REPLACE BOILER BALL VALVE	1,658.18			1000 460445	366		101000
		Total for Vendor:	1,658.18						
43633		2677 ALFA LAVAL, INC.	333.22						
	282052659	09/12/22 SWR-HYD FLUID 1 GAL	333.22			5310 430600	240		101000
		Total for Vendor:	333.22						
43651		1664 AUTOGLASS WASH AND WAX LLC	275.00						
	08276	09/14/22 STRS-02' FORD WINDSHIELD REPLC	275.00			2500 430200	361		101000
		Total for Vendor:	275.00						
43659		999999 BINGER, JANET	270.87						
		REFUND WATER OVERPMT							
	092622	09/26/22 WTR-OVERPMT REFUND 07227	270.87			5210 214010			101000
		Total for Vendor:	270.87						
43624		3028 CENTURYLINK - BUSINESS SERVICES	320.57						
	601577136	09/15/22 COMP-8/15/22-9/15/22	320.57			1000 410580	345		101000
		Total for Vendor:	320.57						
43625	E	997 CENTURYLINK - ELECTRONIC PAY	791.22						
		SEPTEMBER 2022							
	091822	09/18/22 CRTS-9/19/22-10/18/22	32.44			1000 410360	345		101000
	091822	09/18/22 PD-9/19/22-10/18/22	131.07			1000 420100	345		101000
	091822	09/18/22 FD-9/19/22-10/18/22	65.45			1000 420400	345		101000
	091822	09/18/22 POOL-9/19/22-10/18/22	65.45			1000 460445	345		101000
	091822	09/18/22 STRTS-9/19/22-10/18/22	134.41			2500 430200	345		101000
	091822	09/18/22 WTR-9/19/22-10/18/22	205.51			5210 430500	345		101000
	091822	09/18/22 SWR-9/19/22-10/18/22	156.89			5310 430600	345		101000
		Total for Vendor:	791.22						

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Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
43623		14 CITY OF COLUMBIA FALLS	4,613.09						
	092222	09/22/22 FAC-8/16-9/16/22	252.20			1000 411200	342		101000
	092222	09/22/22 FD-8/16-9/16/22	39.63			1000 420400	342		101000
	092222	09/22/22 PRKS-8/16-9/16/22	3,834.59			1000 460400	342		101000
	092222	09/22/22 POOL-8/16-9/16/22	207.47			1000 460445	342		101000
	092222	09/22/22 STRS-8/16-9/16/22	97.33			2500 430200	342		101000
	092222	09/22/22 WTR-8/16-9/16/22	70.92			5210 430500	342		101000
	092222	09/22/22 SWR-8/16-9/16/22	110.95			5310 430600	342		101000
		Total for Vendor:	4,613.09						
43635		1797 DEPARTMENT OF ADMINISTRATION	54.63						
	SITSD50648	09/15/22 PD-ITSD/EMAIL 8/1-8/31/22	54.63			1000 420100	355		101000
		Total for Vendor:	54.63						
43631		532 DON "K" CHEVROLET	1,068.08						
2020		DODGE DURANGO HEATING SYSTEM REPAIR							
	269719/1	09/13/22 PD-2020 DURANGO HEATING REPA	1,068.08			1000 420100	361		101000
		Total for Vendor:	1,068.08						
43666		3182 EFFICIENT SERVICES	4,025.00						
		IRRIGATION AT CITY HALL AND FIRE HALL							
	000055	10/03/22 FAC-CITY HALL IRRIGATION FINAL	2,550.00*			4000 411200	930		101000
	000056	10/03/22 FAC-FIRE HALL IRRIGATION FINAL	1,475.00*			4000 411200	930		101000
		Total for Vendor:	4,025.00						
43645		3104 FIRST CALL COMPUTER SOLUTIONS,	1,700.00						
		OCTOBER IT SERVICES							
	83119	10/01/22 COMP-OCTOBER IT SERVICES	1,700.00			1000 410580	355		101000
		Total for Vendor:	1,700.00						
43640		3113 GLOBAL ARCHIVES INC	166.32						
	22032621	09/25/22 WTR-MONTHLY STORAGE AS BUILT	83.16			5210 430500	363		101000
	22032621	09/25/22 SWR-MONTHLY STORAGE AS BUILT	83.16			5310 430600	363		101000
		Total for Vendor:	166.32						

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		Invoice #/Inv Date/Description	Line \$		PO #	Fund Org Acct	Object	Proj	Account	
43646		1455 GRAINGER	11.26							
	9445058697	09/14/22 SWR-VAC TRUCK PARTS	11.26			5310 430600	232		101000	
		Total for Vendor:	11.26							
43637		3095 GREAT NORTHERN LOCK AND SAFE	250.00							
	10792	09/15/22 WTR-REKEY BLUE LOCKS	250.00			5210 430500	220		101000	
		Total for Vendor:	250.00							
43660		999999 HAKONSSON, JARON	12.62							
	REFUND WATER OVERPMT									
	092622	09/26/22 WTR-OVERPMT REFUND 06131	12.62			5210 214010			101000	
		Total for Vendor:	12.62							
43663		2806 HANSON'S HARDWARE	117.74							
	603049	09/15/22 WTR-BRS BALL VALVE	31.98			5210 430500	240		101000	
	603020	09/13/22 PRKS-BATTERIES FOR CLOCK FALLS	12.99			1000 460400	220		101000	
	603008	09/12/22 WTR-SCRATCH BRUSH/ MISC SCREWS	6.48			5210 430500	240		101000	
	603054	09/15/22 STRS-MISC SCREWS BY EACH	2.34			2500 430200	240		101000	
	603048	09/15/22 STRS-INV STRIP PAINT	10.99			2500 430200	220		101000	
	603005	09/12/22 STRS-ADHESIVE/FOAM BRUSH	16.98			2500 430200	240		101000	
	603139	09/23/22 WTR-12' BLADE	35.98			5210 430500	220		101000	
		Total for Vendor:	117.74							
43630		1119 HDR ENGINEERING, INC.	23,794.24							
	WWTP AND SWERE IMPROVEMENTS (ARPA) PROJECT INV#6 JULY 31 TO AUG 27-22									
	1200463028	09/16/22 WWTP & Swr Improvement Pro	22,794.01			5310 430600	930		101000	
	1200463020	09/16/22 WWTP-TASK ORDER #8 SCADA	1,000.23			5310 430600	354		101000	
		Total for Vendor:	23,794.24							
43649		2849 J2 BUSINESS PRODUCTS	523.41							
	1209389-0	09/08/22 FAC-CITY HALL CLEANING SUPP	391.52			1000 411200	224		101000	
	1209282-0	09/14/22 CRT-COLOR PAPER	28.20			1000 410360	210		101000	
	1209282-1	09/15/22 CRT-COLOR PAPER	39.28			1000 410360	210		101000	
	1211940-0	09/15/22 FIN-PAGE DIVIDERS/TABS	10.48			1000 410500	210		101000	
	1211940-0	09/15/22 WTR-PAGE DIVIDERS/TABS	10.47			5210 430500	210		101000	
	1211940-0	09/15/22 SWR-PAGE DIVIDERS/TABS	10.48			5310 430600	210		101000	

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	1213838-0	09/21/22 WTR-PENS	10.99			5210 430500	210		101000
	1213838-0	09/21/22 SWR-PENS	10.99			5310 430600	210		101000
	1213838-0	09/21/22 FIN-PENS	11.00			1000 410500	210		101000
		Total for Vendor:	523.41						
43655		3140 KUBWATER RESOURCES, INC	6,298.41						
	11329	09/27/22 SWR-DEWATERING POLY	6,298.41			5310 430600	221		101000
		Total for Vendor:	6,298.41						
43638		2047 LAURIE'S DELI	40.17						
	082522	08/25/22 FD-INTERVIEWS	40.17			1000 420400	220		101000
		Total for Vendor:	40.17						
43654		1080 LES SCHWAB TIRE CENTER	44.99						
	488854	09/19/22 SWR-VAC TRUCK FLAT REPAIR	44.99			5310 430600	361		101000
		Total for Vendor:	44.99						
43644		2595 MACON SUPPLY, INC	75.00						
	095484	09/20/22 STRS-14"x1/8"x1" BLADES	75.00			2500 430200	220		101000
		Total for Vendor:	75.00						
43636		1493 MAHUGH FIRE & SAFETY	109.50						
	103160	08/30/22 PD-INSPECT,CERTIFY EXTING, VAL	109.50			1000 420100	399		101000
		Total for Vendor:	109.50						
43634		282 MONTANA DEPT. OF LABOR &	108.00						
	090222	09/09/22 POOL-#28360 BOILER CERT FEE	36.00			1000 460445	390		101000
	090222	09/09/22 FAC-#25473 BOILER CTY HL BASEM	36.00			1000 411200	390		101000
	090222	09/09/22 FAC-#25474 BOILER CTY HL BASEM	36.00			1000 411200	390		101000
		Total for Vendor:	108.00						
43629		149 MONTANA MAGISTRATES ASSOCIATION	200.00						
	081622	08/16/22 CRTS-DUES FY 07/22 TO 06/30/23	200.00			1000 410360	335		101000
		Total for Vendor:	200.00						

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		Invoice #/Inv Date/Description	Line \$		PO #	Fund Org Acct	Object	Proj		Account
43662		722 MORRISON-MAIERLE, INC.	22,212.17							
		12TH AVE IMPROVEMENTS, ROADWAY OVERLAY PROJECTS , 5TH AVE EN WATER MAIN REPLACEMENT, BUSINESS DISTRICT SIDE WALKS AND PARKING IMPROVEMENTS. ON CALL SVCS								
		000221749 09/13/22 12TH AVE W IMPROVEMENTS	5,250.41			2959 470300	930			101000
		000221727 09/13/22 STRS-ROADWAY OVERLAY PROJE	5,855.12			4040 430200	950			101000
		000221736 09/13/22 BIZ DISTRICT PARKNG & SIDEW	6,157.18			2310 470300	931			101000
		000221754 09/13/22 WTR- ON CALL ENGINEER SVC	294.00			5210 430500	354			101000
		000221754 09/13/22 SWR- ON CALL ENGINEER SVC	294.00			5310 430600	354			101000
		000221738 09/13/22 5TH AVE EN WATER MAIN PROJE	4,361.46			5210 430500	930			101000
		Total for Vendor:	22,212.17							
43642		2707 MOUNTAIN ALARM	100.75							
		ALARM MONITORING 10/1-10/31/22								
		3061179 10/01/22 FAC-CITY HALL OCT 2022	47.35			1000 411200	366			101000
		3060088 10/01/22 FAC-FD OCT 2022	53.40			1000 411200	366			101000
		Total for Vendor:	100.75							
43652		52 NAPA AUTO PARTS	308.35							
		019855 09/15/22 STRS-BATTERY+CORE RTN	170.99			2500 430200	232			101000
		019855 09/15/22 STRS-JB WELD KWIK WELD	8.99			2500 430200	240			101000
		020408 09/20/22 STRS-SPARK PLUG	3.29			2500 430200	232			101000
		020543 09/21/22 STRS-PLUG RTN/ SPARK PLUG	3.21			2500 430200	232			101000
		020278 09/19/22 SWR-06' COLORADO OIL FILTER	4.00			5310 430600	232			101000
		020248 09/19/22 SWR-06' COLORADO U JOINTS	5.84			5310 430600	232			101000
		020236 09/19/22 SWR-06' COLORADO U JOINTS	27.97			5310 430600	232			101000
		020236 09/19/22 SWR-06' COLORADO OIL	70.68			5310 430600	231			101000
		019492 09/13/22 SWR-5W30 OIL	13.38			5310 430600	231			101000
		Total for Vendor:	308.35							
43643		2168 NORTH CENTRAL LABORATORIES	360.54							
		476163 09/12/22 SWR - DEIONIZED WTR	360.54			5310 430600	222			101000
		Total for Vendor:	360.54							

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43648		2816 O'REILLY AUTO PARTS	64.96						
	405788	09/09/22 SWR-JB WELD SYRINGE	9.99			5310 430600	240		101000
	407480	09/22/22 STRS-MOTOR OIL	54.97			2500 430200	231		101000
		Total for Vendor:	64.96						
43647		3085 ORTHOPEDIC REHAB INC	200.00						
ACCT#32956									
	13791	09/16/22 FD-PRE-EMPLOYMENT SCREENINGS	200.00			1000 420400	390		101000
		Total for Vendor:	200.00						
43632		3100 PEDROS PROPERTIES	300.00						
	2022-090	09/07/22 PRKS-SAND VOLYBALL @ COLUMBU	300.00			4010 460400	930		101000
		Total for Vendor:	300.00						
43641		1828 RBM LUMBER, INC.	55.80						
REPAIR VANDALISM AT KRECK RIVER SIDE PARK.									
	107263	09/25/22 PRKS-REPAIR @ KRECK PARK	55.80			1000 460400	240		101000
		Total for Vendor:	55.80						
43656		2769 RESPONSE EQUIPMENT SPECIALISTS,	176.00						
2020 RAM INTERIOR DETAIL									
	5019	09/22/22 PD-2020 RAM INTERIOR DETAIL	176.00			1000 420100	361		101000
		Total for Vendor:	176.00						
43657		999999 RICE, THAD	58.86						
REFUND WATER OVERPAYMENT									
	092622	09/26/22 WTR-OVERPMT REFUND 07100	58.86			5210 214010			101000
		Total for Vendor:	58.86						
43627		999999 ROSS, RON	24.98						
CLEANING WIPES CITY HALL AND FIRE HALL									
	092122	09/21/22 FAC-CLEANING WIPES	24.98			1000 411200	220		101000
		Total for Vendor:	24.98						

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43653		1042 SANDS SURVEYING, INC.	2,082.50						
	36260	09/21/22 P/Z-ROUTINE SRVS 8/23-9/14/22	2,082.50			1000 411000	399		101000
		Total for Vendor:	2,082.50						
43639		2600 SENSIT TECHNOLOGIES	1,098.43						
	0333374-IN	09/15/22 FD-SENSIT GOLD REPAIR	1,098.43			1000 420400	360		101000
		Total for Vendor:	1,098.43						
43628		862 SUCCESSFUL SIGNS AND AWARDS	35.00						
	74586	09/14/22 CNCL-COUNCILMAN KARPER GIFT	35.00			1000 410100	220		101000
		Total for Vendor:	35.00						
43664		3068 SUPERIOR LAND & LAWN CARE LLC	300.00						
		LAWN MOWING 8/1, 8/15, 8/29/22							
	2010062404	09/07/22 FD-LAWN MOWING STA #42	300.00			1000 420400	399		101000
		Total for Vendor:	300.00						
43665		2699 THE MAIL ROOM, INC	137.72						
	D111599	09/26/22 PD-MAIL SRVS 9/13-9/23/22	12.37			1000 420100	310		101000
	D111599	09/26/22 FIN-MAIL SRVS 9/13-9/23/22	13.18			1000 410500	310		101000
	D111599	09/26/22 WTR-MAIL SRVS 9/13-9/23/22	37.82			5210 430500	310		101000
	D111599	09/26/22 SWR-MAIL SRVS 9/13-9/23/22	37.82			5310 430600	310		101000
	D111599	09/26/22 CRT-MAIL SRVS 9/13-9/23/22	34.78			1000 410360	310		101000
	D111599	09/26/22 PLN-MAIL SRVS 9/13-9/23/22	1.75			1000 411000	310		101000
		Total for Vendor:	137.72						
43661		1623 THE UPS STORE #4515	83.90						
		TRACKING #1ZWA36710387599160 - 20.72							
		TRACKING #1ZWA36714291973530 - 41.55							
		TRACKING #1ZWA36710354448223 - 21.63							
	092022	09/20/22 CNCL-KARPER GIFT SHIPPING	20.72			1000 410100	220		101000
	092122	09/21/22 FD-RETURN SHIPPING	41.55			1000 420400	310		101000
	092222	09/22/22 SWR-VAC TRUCK PART RETURN	21.63			5310 430600	310		101000
		Total for Vendor:	83.90						

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43626	E	1218 VERIZON WIRELESS	1,245.44						
	9915737475	09/12/22 ADMIN-8/13-9/12/22	22.43			1000 410400	345		101000
	9915737475	09/12/22 FIN-8/13-9/12/22	22.46			1000 410500	345		101000
	9915737475	09/12/22 FIRE-8/13-9/12/22	60.39			1000 420400	345		101000
	9915737475	09/12/22 FAC-8/13-9/12/22	12.43			1000 411200	345		101000
	9915737475	09/12/22 STRT-8/13-9/12/22	78.72			2500 430200	345		101000
	9915737475	09/12/22 PD-8/13-9/12/22	747.25			1000 420100	345		101000
	9915737475	09/12/22 WTR-8/13-9/12/22	150.88			5210 430500	345		101000
	9915737475	09/12/22 SWR-8/13-9/12/22	101.16			5310 430600	345		101000
	9915737475	09/12/22 CRT-8/13-9/12/22	49.72			1000 410360	345		101000
		Total for Vendor:	1,245.44						
43650		84 WESTERN BUILDING CENTER	419.44						
	1556368	09/19/22 FD-SAW BLADES	76.00			1000 420400	220		101000
	4701190	09/01/22 PRKS-KRECK VANDALISM REPAIR	142.88			1000 460400	240		101000
	4702204	09/12/22 PRKS-SAND VOLLEY BALL CRT	176.60			4010 460400	930		101000
	4702266	09/13/22 STRS-PLASTIC CUTTER TOOL	4.99			2500 430200	240		101000
	4702664	09/15/22 STRS-SPRAY STRIPING PAINT	18.97			2500 430200	240		101000
		Total for Vendor:	419.44						
43658		999999 WOEHLE, TERESA	225.71						
	REFUND WATER DEPOSIT								
	092622	09/26/22 WTR-DEPOSIT REFUND 08174.04	225.71			5210 214010			101000
		Total for Vendor:	225.71						
		# of Claims	46	Total:	79,952.07	# of Vendors	44		
		Total Electronic Claims			2,036.66				
		Total Non-Electronic Claims			77915.41				

09/30/22
10:33:55

CITY OF COLUMBIA FALLS
Fund Summary for Claims
For the Accounting Period: 9/22

Page: 9 of 10
Report ID: AP110

Fund/Account	Amount
1000 GENERAL FUND	
101000 CASH/CASH EQUIVALENTS	\$19,312.27
2310 TAX INCREMENT DISTRICT FUND	
101000 CASH/CASH EQUIVALENTS	\$6,157.18
2500 SPECIAL STREET MAINTENANCE DISTRICT FUND	
101000 CASH/CASH EQUIVALENTS	\$956.18
2959 EDA	
101000 CASH/CASH EQUIVALENTS	\$5,250.41
4000 CAPITAL PROJECTS FUND - Building	
101000 CASH/CASH EQUIVALENTS	\$4,025.00
4010 CAPITAL PROJECTS FUND - Parks	
101000 CASH/CASH EQUIVALENTS	\$476.60
4040 CAPITAL PROJECTS FUND - Street	
101000 CASH/CASH EQUIVALENTS	\$5,855.12
5210 WATER ENTERPRISE FUND	
101000 CASH/CASH EQUIVALENTS	\$6,117.71
5310 SEWER ENTERPRISE FUND	
101000 CASH/CASH EQUIVALENTS	\$31,801.60
Total:	\$79,952.07

09/30/22
10:33:55

CITY OF COLUMBIA FALLS
Claim Approval Signature Page
For the Accounting Period: 9 / 22

Page: 10 of 10
Report ID: AP100A

Council Meeting Date: 10/03/2022

Claims Submitted to Council: \$ 79,952.07

Claims Denied/Withheld by Council Finance Committee: \$ _____ Claim #'s: _____

Prepared By: Shawn Bates, Finance Director

Shawn Bates

Approved by Susan M. Nicosia, City Manager

Susan Nicosia

City Council to Approve by motion on consent agenda

The following claims are significant:

Morrison-Maierle Inc. - \$22,212.17 Project engineering for On-call services, 12th Ave W, Roadway overlay and 5th Ave EN
water main. (Fund 2310, 2959, 4040, 5210 & 5310)
HDR Engineering Inc. - \$23,794.24 WWTP Sewer improvements engineering (Fund 5310)

The remaining claims are routine. Please let me know if you have any questions.
Shawn

09/29/22
15:21:42

CITY OF COLUMBIA FALLS
Payroll Summary For Payrolls from 09/30/22 to 09/30/22

Page: 1 of 2
Report ID: P130

Total for Payroll Checks

	Employee	Employer	Amount
ADDL HOURS (Additional)	0.00		11,637.18
COMA HOURS (Comp Time Accumulated)	23.25		
COMP HOURS (Comp Time Used)	13.75		318.37
J001 HOURS (CLOTH ALLOW)	0.00		500.00
OVER HOURS (Overtime)	60.25		2,819.13
PERS HOURS (Personal Time Used)	48.00		1,631.00
REG HOURS (Regular Time)	2,089.50		64,298.25
SHFN HOURS (Shift B)	252.00		504.00
SHFQ HOURS (OVT B)	28.00		84.00
SICK HOURS (Sick Time)	170.50		6,571.77
VACA HOURS (Vacation Time Used)	137.75		4,019.79
GROSS PAY	92,383.49	0.00	
NET PAY	65,001.28	0.00	
CHILD SUPPORT P	413.07	0.00	
CITY OF COLUMBI	20.00	0.00	
FIT	9,808.40	0.00	
MEDICARE	1,339.54	1,339.54	
MT ST FIRE ASSO	31.17	0.00	
P.E.R.S.	4,855.31	5,512.90	
PERS/FURS	333.48	447.55	
PERS/POLICE	2,215.60	3,547.41	
SIT	4,513.00	0.00	
SOCIAL SECURITY	3,852.64	3,852.64	
UNEMPL. INSUR.	0.00	505.36	
WORKERS' COMP	0.00	3,249.50	
CHARLES SCHWAB	1,771.72	0.00	
CHASE	163.23	0.00	
FIRST INTERSTAT	2,542.55	0.00	
FREEDOM BANK	3,049.11	0.00	
GLACIER BANK KA	5,480.42	0.00	
GLACIER BANK/CF	17,805.82	0.00	
GLACIER BANK/WF	3,734.73	0.00	
PARKSIDE CR U	15,507.04	0.00	
THREE RIVERS	1,223.17	0.00	
USAA FEDERAL	2,044.10	0.00	
USBANK.	2,832.93	0.00	
VALLEY BANK KAL	100.00	0.00	
VERIDIAN CREDIT	400.00	0.00	
WELLS FARGO	3,943.51	0.00	
WFISH CR UNION	4,402.95	0.00	
FIT/SIT BASE	84,979.10	0.00	
MEDICARE BASE	92,383.49	0.00	
PERS BASE	89,193.91	0.00	
SOC SEC BASE	62,139.52	0.00	
UN BASE	91,883.49	0.00	
WC BASE	90,943.74	0.00	
Total		18,454.90	

Payroll 9/30/22
\$ 107,083.53
Bart Staaland

09/29/22
15:21:42

CITY OF COLUMBIA FALLS
Payroll Summary For Payrolls from 09/30/22 to 09/30/22

Page: 2 of 2
Report ID: P130

Total Payroll Expense (Gross Pay + Employer Contributions): 110,838.39

Check Summary

Payroll Checks Prev. Out. \$156,789.64
Payroll Checks Issued \$464.24
Payroll Checks Redeemed \$0.00
Payroll Checks Outstanding \$157,253.88
Electronic Checks \$106,619.29

Deductions Accrued	Carried Forward From Previous Month	Deduction Checks Issued	Difference	Liab Account
-----	-----	-----	-----	-----
Social Security 7705.28		7705.28		212260
Medicare 2679.08		2679.08		212260
P.E.R.S. 10368.21		10368.21		212270
Unempl. Insur. 505.36	3451.61		3956.97	212210
Workers' Comp 3249.50	19610.74		22860.24	212220
FIT 9808.40		9808.40		212260
SIT 4513.00		4513.00		212260
AFLAC-PRETAX 0.00				212230
NATIONWIDE/EMP 0.00				212280
Teamsters dues 0.00				212310
PERS/Police 5763.01		5763.01		212240
NATIONWIDE/CITY 0.00				212280
AFLAC-POSTTAX 0.00				212230
PERS/FURS 781.03		781.03		212275
MT ST FIRE ASSO 31.17		31.17		212315
HEALTHINS/PRE 0.00				212400
CITY OF COLUMBI 20.00		20.00		212450
UNUM LIFE INS. 0.00				212400
FLEX ALLEGIANCE 0.00				212285
CHILD SUPPORT 0.00				212330
CHILD SUPPORT P 413.07		413.07		212330
WA CHILD SUPPOR 0.00				212330
FOP 0.00				212335
FLEX DEP CARE 0.00				212285
Total Ded. 45837.11	23062.35	42082.25	26817.21	

**** Carried Forward column only correct if report run for current period.

**CITY OF COLUMBIA FALLS
CITY COUNCIL REGULAR MEETING MINUTES
HELD SEPTEMBER 19, 2022**

FINANCE COMMITTEE – 6:30 P.M.

Exit Conference with independent external auditor, Tana Doyle, Doyle & Associates for the City's 2020-21 Fiscal Year Financial and Compliance Audit. Council learned that the City received the highest audit opinion and there were no audit findings.

REGULAR MEETING – 7:00 P.M.

Mayor Barnhart called the meeting to order at 7:00 p.m.

ROLL CALL: Councilor Fisher, Councilor Lovering, Councilor Piper, Councilor Robinson, Councilor Shepard and Mayor Barnhart.

Also present: City Manager Nicosia, City Clerk Staaland, City Attorney Breck, Fire Chief Weeks and Police Chief Peters.

PLEDGE OF ALLEGIANCE

APPROVAL OF AGENDA:

Councilor Robinson made motion to approve the agenda, seconded by Councilor Piper and the motion carried.

CONSENT AGENDA:

Councilor Lovering motioned to approve the Consent Agenda noting all claims appeared to be in order, seconded by Councilor Piper with Council voting as follows. Ayes: Piper, Robinson, Shepard, Fisher, Lovering and Barnhart.

Approval of Claims - September 19, 2022 - \$111,421.61

Approval of September 16, 2022 Payroll - \$136,623.90

Approval of September 6, 2022 Regular City Council Meeting Minutes

Approval of MT DOT STEP Contract for 2023 and Authorize City Manager and Police Chief to Execute

Approve Teamsters' Local 2 Collective Bargaining Agreement, July 1, 2022 - June 30, 2025 and Authorize City Manager to execute

Approval of City Manager 22 - 23 FY Contract and authorize Mayor to sign

VISITORS/PUBLIC COMMENT (Items not on agenda)

Gary Hall, resides at 140 Steppe Lane said he was in attendance to acknowledge Doug Karper and his years of service to the community.

APPOINTMENTS:

Appointment - Volunteer Firefighter Kris Ledbeter

Fire Chief Weeks said Kris Ledbeter has been to several trainings as an observer and has passed the background check as well as a physical examination. Chief Weeks and City Manager Nicosia recommend approval of Kris Ledbeter as a Fire Department probationary member.

Councilor Piper motioned to appoint Kris Ledbeter as Probationary Volunteer Firefighter, seconded by Councilor Fisher and the motion carried.

City Clerk Staalnd administered Oath of Office to Mr. Ledbeter.

NOTICE OF PUBLIC HEARINGS/PUBLIC HEARINGS:

Mayor Barnhart read the notice of hearing:

Notice of Public Hearing - October 3, 2022 - Planned Unit Development:

Mick Ruis is requesting a Planned Unit Development on behalf of HC 246 LLC in the Columbia Falls Zoning Jurisdiction. The property is located at 230 Highway 2 East in Columbia Falls and is described as Tract 1 of COS No. 3040 and Certificate of Survey No. 3778 all in Section 17, Township 30 North, Range 20 West, P.M.M., Flathead County. The applicant is proposing to construct a four story 65 unit hotel and is requesting the PUD in order to exceed the 45-foot height limit by five feet and reduce the landscape provisions of the large building and PUD standards.

NEW BUSINESS:

Call for Bids - FEMA Public Assistance Project - River's Edge Park

City Manager Nicosia reported this project generally consists of repairing the flood damage at River's Edge Park including restoration of approximately 400 lf of the gravel access road, repair and restoration of gravel and paved pedestrian paths, repair and re-anchoring of the wooden plank bridge, debris removal and river bank repair. The bid opening will be Tuesday Oct. 11, 2022 and brought forward to council at the Oct. 17th council meeting for award. Staff recommends approval.

Councilor Piper motioned to call for bids for the FEMA Public Assistance Project at River's Edge Park, seconded by Councilor Fisher and the motion passed.

Council Vacancy - Appointment Process

Mayor Barnhart said Council has 30 days to replace Doug Karper's vacant council position. Mayor Barnhart said he was happy to see the amount of interest in the vacant council position. Mayor Barnhart asked City Attorney Breck if the discussion should be an open or closed meeting. City Attorney Breck replied the meeting should be open to the public. Mayor Barnhart asked Council how they want to proceed. Councilor Shepard said he was concerned with some of the letters not actually being a letters; he would have liked to see more information about each applicant. Fisher said he agreed with Shepard with the submitted letters of interest. Council discussed holding a special workshop meeting on the following Monday, August 26th to further review the applicants. After council discussion, it was determined that the City Clerk would email essay questions to each applicant and request them back by Friday to be included into the public meeting packet for the Monday, Sept. 26, 2022 meeting.

ORDINANCES / RESOLUTIONS:

Second and Final Reading Ordinance #819 Amending the Zoning Map:

An Ordinance of the City Council of the City of Columbia Falls, Montana, Amending the Columbia Falls Zoning Map from CSAG-5 Suburban Agricultural to CR-1 Suburban Residential at 435 Rogers Road Further Described as the Zoned Portion of Assessor's Tract 2B (The Area West of the Bluff) in Section 16, Township 30 North, Range 20 West, P.M.M., Flathead County, Montana.

Councilor Shepard motioned to approve the Final Reading of Ordinance # 819, seconded by Councilor Lovering with council voting as follows. Ayes: Robinson, Shepard, Fisher, Lovering, Piper and Barnhart.

Resolution # 1883: Adopting the Budget for the 2022-23 Fiscal Year:

A Resolution of the City Council of the City of Columbia Falls, Montana, Adopting the Budget for the City for the Fiscal Year Commencing on July 1, 2022 and Ending June 30, 2023, Approving Appropriations for each Fund of the City of Columbia Falls.

Mayor Barnhart thanked staff for their hard work on putting the budget together.

Councilor Shepard made motion to adopt Resolution # 1883, seconded by Councilor Robinson with council voting as follows. Ayes: Shepard, Fisher, Lovering, Piper, Robinson and Barnhart.

Resolution # 1884: Adopting a Fee Schedule and Procedures for Requesting Public Records:

A Resolution of the City Council of the City of Columbia Falls Setting a Fee Schedule For Copies and Research of Public Records and Establishing Procedures For Requesting Public Records from the City of Columbia Falls. City Manager Nicosia said staff put the policy together to more efficiently process the public information requests. City staff is currently handling more requests and more detailed information and in some cases, one person is requesting the same information from more than one employee at the same time. Nicosia noted that having this policy in place will facilitate the requests in a more efficient manner.

Councilor Shepard motioned to approve Resolution # 1884, seconded by Councilor Lovering.

Councilor Fisher inquired about the 25/50 cents per copy pricing and the reference to blank employee on the form. Nicosia replied the hourly rate will be for the employee doing the research and the per page rate is for routine or non-routine rates. Nicosia noted that the form prepared by the City Clerk follows the language in the policy.

Motion passed with Council voting as follows: Ayes: Fisher, Lovering, Piper, Robinson, Shepard and Barnhart.

REPORTS / BUSINESS FROM MAYOR & COUNCIL

Councilor Robinson inquired about the corner on 4th Ave. W and Talbot Road; people are using the path as a road. Nicosia responded the City has removed trees and painted bicycles on the path, along with police enforcement on the issue; the path is in the transportation plan to potentially square the road.

Councilor Lovering noticed a water leak on 7th St. E. and 1st Ave. E. on Sunday. Nicosia responded it was a service line at the house on the corner. Public Works staff identified it Sunday as an old galvanized service line that is now repaired. Mayor Barnhart asked if the city crew replaced the entire service from the house to the main or just a section. Nicosia said she is uncertain of how the repair was completed and she will follow up with the Public Works Director.

Councilor Lovering inquired about Emergency Ordinance # 820 adopted at the last meeting and asked if the City was in compliance. Nicosia replied in the area of the bear activity, the City has bear proof containers. Nicosia noted that Evergreen picks up downtown garbage on Mondays and the City Park staff is picking up garbage every day. Mayor Barnhart asked if the businesses are in compliance with the ordinance. Nicosia said

the City has received a couple complaints that have been accelerated to the Police Department. Mayor Barnhart said he has a neighbor that has a dumpster that nothing has been done with and would like to see them notified of the Emergency Ordinance. Nicosia said Public Works Director Hanley was going to inquire with Evergreen Disposal to see if they can swap routes due to bear activity. Chief Peters said they have talked to approximately six residents and they have been very responsive. Lovering said there is a video at the Highline apartments showing bear activity. Nicosia said the apartment building owners have installed an alarm system and an electric fence around the dumpsters and are looking into bear proof containers. The City has put up cameras at River's Edge Park and Kreck Park. Shepard asked if the compost company has been contacted, the smell coming from the compost area is unbelievable. Mayor Barnhart said they are in the process of building covered areas. Nicosia said they are working directly with DEQ and Fish Wildlife and Parks. Piper said Smiths dumpster site is terrible and they have not changed anything since the Ordinance went into effect.

Mayor Barnhart said the budget section in the minutes was an excellent explanation and would like to see it out to the public. Mayor Barnhart also said the mowing of tall grass is looking good around town.

CITY MANAGER REPORT

Nicosia reported on the EPA update for the CFAC site. EPA has revised the schedule to delay the release of the clean up proposal to spring of 2023. They will have the record of decision in 2023 after that they will start negotiating with all parties. In 2025 and 2026 they will do the remedial design with remedial action in 2027-2028.

Nicosia reported that both ARPA Contracts for water and wastewater have been signed.

Nicosia reported that the City is reviewing the 1st Ave West ROW between 9th and 8th Street West. O'Brien Byrd has approached the city about revising the right of way on 1st Ave. W. to make the area safer. Nicosia noted that this street is also a sea of asphalt as a portion of Glacier Bank parking area is actually in the right of way as well as O'Brien's parking. The City received a formal request to give up about 10 feet of right of way adjacent to the Coop building to make that area safer. The owners are willing to pay for half of curb, cutter and sidewalk installation from O'Brien's up to 8th Street W. The City is in the process of looking to see what is under the requested 10 feet of right of way. If public utilities such as water main, gas or other utility lines are present in the 10', the ROW will have to remain as is currently.

Nicosia reported that there was a Raise Grant kickoff meeting and they informed us it would be 3-6 months before the City receives a final contract. The FHWA personnel inquired if the City wanted to pass our \$10 m through MDOT and we indicated we would not as the State would add a 13.42% (\$1.3m) indirect overhead rate.

Project Updates continued –The pickleball court was delayed while waiting for materials. Sand volleyball is coming along and the City thanks Pedro's for donating their equipment and labor. The street crew is out working on patching and painting streets. Mayor Barnhart added Nathan Riley was very helpful with the sand volleyball court; he cared about the project and made sure it was done correctly.

Chief Peters said the formal review of traffic signage on 1st Ave E has been completed and the report submitted to the Street Crew for installation. The City will need to put some no parking signs on the shoulder of the hill as well. Chief Peters added that the Police Department has been enforcing the bear ordinance and

residents have been active with compliance. We are starting to see a slowdown in traffic as tourists vacate. The flashing signs in the school zones have made a huge difference.

MISCELLANEOUS

August Police Department Activity Report

August Fire Department Activity

Financial Report - June 2022

Correspondence

ADJOURN:

Councilor Lovering motioned to adjourn, seconded by Councilor Robinson. The meeting adjourned at 7:58 p.m.

Mayor Barnhart

City Clerk

**CITY COUNCIL WORKSHOP
MINUTES
MONDAY, SEPTEMBER 26, 2022**

ROLL CALL: Mayor Barnhart called the meeting to order at 6:30 p.m. Present: Fisher, Lovering, Piper, Robinson, Shepard, Barnhart. Also present: City Manager Susan Nicosia

PLEDGE OF ALLEGIANCE

VISITORS/PUBLIC COMMENT (Items not on agenda) – None

COUNCIL REVIEW AND CONSIDERATION OF COUNCIL CANDIDATES

1. Council Review and Consideration of Council Applicants - Completed Applicant Questionnaires in Alphabetical Order

Mayor Barnhart expressed appreciation for the considerable interest in the vacant position noting that the City has not received 9 applicants with past openings. Council concurred. Council discussed how to move the selection forward and Robinson recommended each Council member state their top 2-3 candidates. Lovering asked if it mattered to the Council if the applicant indicated whether or not they would run for election at the end of the term. Robinson stated that it did not matter to her at this time due to her experience as an elected official and that the decision to run for each election was heartfelt. Council each gave their top candidates with Hamilton, Biel and Peacock moving forward. Council continued with their top 2 then top 1 with Kelly Hamilton receiving the majority. Mayor Barnhart reported that the Council will formally vote on the appointment of Hamilton to complete Councilman Karper's remaining term on Monday, October 3, 2022.

ADJOURN: Meeting adjourned at 6:45 p.m.

Mayor

Attest:

City Clerk

2ND STE

2ND AVE E

3RD AVE E

3RD STE

Legend

-  Drain
-  Bathroom
-  8' Fence
-  Angled Parking
-  Volleyball
-  Pickle Ball
-  Picnic Tables
-  Grass
-  Road

0 25 50 100 Feet

CITY OF COLUMBIA FALLS
NOTICE OF PUBLIC HEARING

Item No.7.

The Columbia Falls City-County Planning Board will hold public hearings for the following items at their regular meeting on Tuesday, September 13, 2022 at 6:30 p.m. at the Council Chambers of City Hall, 130 6th Street West, Columbia Falls, Montana. The Columbia Falls City Council will hold a subsequent hearing on October 3, 2022 starting at 7:00 p.m. in the same location.

Request for a Planned Unit Development in the Columbia Falls Planning Jurisdiction:

Mick Ruis is requesting a Planned Unit Development on behalf of HC 246 LLC in the Columbia Falls Zoning Jurisdiction. The property is located at 230 Highway 2 East in Columbia Falls and is described as Tract 1 of COS No. 3040 and Certificate of Survey No. 3778 all in Section 17, Township 30 North, Range 20 West, P.M.M., Flathead County. The applicant is proposing to construct a four story 65 unit hotel and is requesting the PUD in order to exceed the 45-foot height limit by five feet and reduce the landscape provisions of the large building and PUD standards.

Interested persons are allowed to attend the hearing(s) in person or via ZOOM. Persons are encouraged to submit written comments prior to the meeting. Written comments carry the same weight as public testimony given during the hearing. Written comments may be sent to Columbia Falls City Hall, Attention: Barb Staalnd, City Clerk, 130 6th Street West, Room A, Columbia Falls, MT 59912 or via email: staalandb@cityofcolumbiafalls.com. For more information on the proposed Planned Unit Development, please call Eric Mulcahy, Columbia Falls City Planner at 755-6481. To obtain the ZOOM meeting registration, contact City Clerk Barb Staalnd via email or by calling (406) 892-4391 no later than 5:30 p.m. the day of the meeting.

DATED this 17th day of August, 2022

Susan Nicosia

Susan Nicosia, City Manager/Planning & Zoning Administrator
COLUMBIA FALLS CITY-COUNTY PLANNING BOARD

Publish: Daily Interlake Sunday August 28, 2022

**ZONE CHANGE REQUEST
COLUMBIA FALLS AREA ZONING JURISDICTION
RUIS HOLDING – STAYING AT THE RUIS - PLANNED UNIT DEVELOPMENT
CITY OF COLUMBIA FALLS STAFF REPORT # CPUD-22-03
September 6, 2022
AS AMENDED BY THE PLANNING BOARD ON SEPT 13, 2022**

A report to the Columbia Falls City County Planning Board regarding a request for a Planned Unit Development overlay (PUD) on property zoned CB-2.

BACKGROUND INFORMATION

A. PETITIONERS

Ruis Holdings, LLC
P.O. Box 1928
Columbia Falls, MT 59912

B. PETITIONER'S TECHNICAL ASSISTANCE

Jackola Engineering and Architects
2250 Hwy 93 South
Kalispell, MT 59901
(406) 755-3208

C. LOCATION/DESCRIPTION

The property is located at 230 US Highway 2 East in Columbia Falls and is the location of the Glacier Inn Motel. The property is described as Tract 1 of COS No. 3040 and Certificate of Survey No. 3778 all in Section 17, Township 30 North, Range 20 West, P.M.M, Flathead County

D. REQUEST

The applicant is requesting a PUD overlay to develop a 65 room hotel on the site with a height of 50 feet and a reduction of landscaping from 15% as required in the large building standards to 7.5%. Hotels are considered a permitted use in the CB-2 Zoning District. However, as the building is over 10,000 square feet the Columbia Falls Zoning Ordinance requires a Conditional Use Permit under the "Large Building" standards (Chapter 18.428). As the PUD accomplishes the same review as a CUP with public notice, public hearings, and the review of the zoning criteria; and the PUD allows the applicant to request certain deviations in zoning standards, staff has determined the PUD as the best mechanism for the review of this particular project.

The hotel is proposed with four stories and 54,112 square feet of total hotel space. The footprint of the building is 13,209 square feet. The hotel will sit on the western side of the property with the parking on the east side of the property.

Zoning Deviations requested with the PUD:

Height – The CB-2 zoning district has a maximum height requirement of 45-feet (Chapter 18.336.040.E). The requested deviation would allow the building to be 50-feet in height measured from the lowest adjacent grade to the peak of the roof.

Perimeter Landscape Buffering - Chapter 18.428.070.D.1 of the Large Building Standards requires a 10-foot-wide landscape buffer on the north, west, and east

property boundaries. The applicant is requesting a three foot buffer on these sides frontage.

Overall Landscaping Requirement - Chapter 18.428.070.B of the Large Building Standards requires 15% of the site be landscaped. To meet the requirement the applicant would need 7,240 square feet of landscaping. The applicant is requesting a deviation to 7.5% or 3,620 square feet of landscaping.

These deviations will be discussed further in this report.

The PUD overlay¹ is intended to be a flexible tool that can be applied to an existing zone in order to encourage a more efficient use of land and public services by allowing, under certain circumstances, a more flexible means of land development than is otherwise generally allowed by the underlying zone. In order for a tract to be eligible for a PUD designation, it must contain a minimum of 2 acres. The PUD overlay allows deviations from the underlying standards of the zone (height, setback, density, parking, etc.) when it can be shown by the applicant that negative impacts have been addressed and the resulting design is equal to or superior to what would have been allowed under the existing zone.

E. REASON FOR REQUEST

The proposed PUD complies with the basic land use category of the underlying zoning classification (CB-2). However, because the Hotel is greater than 10,000 square feet the City requires a Conditional Use Permit (CUP) for compliance with the Large Building Standards and public participation process provided by the CUP. The PUD review will substitute for the CUP review for the hotel project as it allows the City to review for the Large Building Standards and allow for the public participation in the process. The PUD mechanism was chosen over the CUP because it also allows the City and the public to review the deviations requested in the application process.

F. EXISTING LAND USE

The subject property is currently the site of the Glacier Inn Motel which sits to the rear of the property. Approximately 20 years ago there was a restaurant in the location presently contemplated for the new Hotel but it was removed. The existing hotel will remain on the property. The property is Zoned CB-2 (General Business) and is located in proximity to other commercial uses along the Highway 2 corridor and the Nucleus Avenue Central Business District.

G. ADJACENT ZONING AND LAND USE:

North	CB-2	RV Park, Fitness Center, and Landscape business (temporary use permit)
South	CB-2	The Glacier Inn Hotel and residential
East	CB-2	Office, OHS' Auto Body and residential
West	CB-2	Marantette Park

¹ PUD district is defined in Title 18 as: "A district to encourage a more efficient use of land and public services by allowing, under certain circumstances, a more flexible means of land development than is otherwise generally permissible under lot-by-lot restrictions."

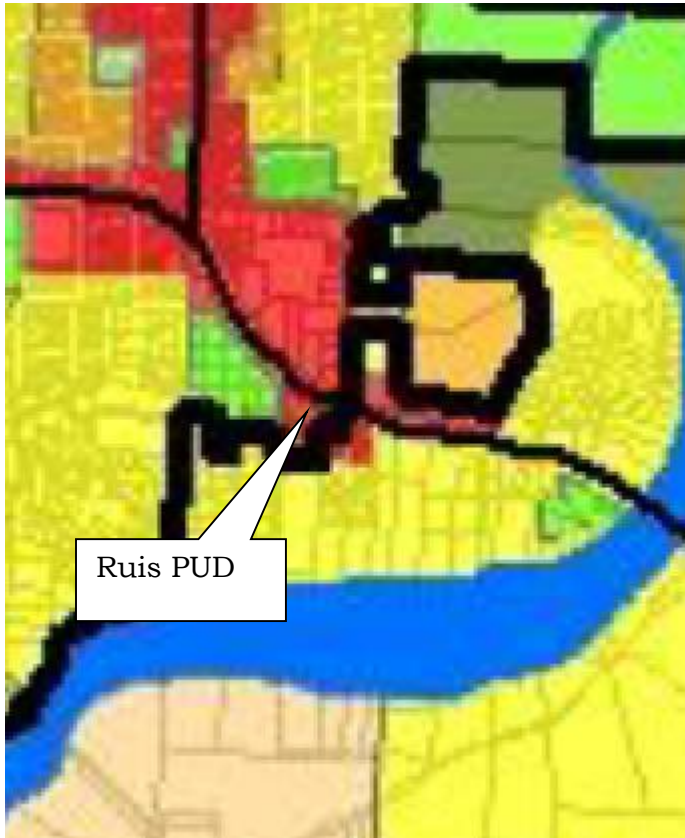


Source – Flathead County GIS

H. GROWTH POLICY DESIGNATION

The Growth Policy map shows the property is within the Commercial designation.

Figure 2



Excerpt from the 2019 Columbia Falls
Growth Policy Map

I. UTILITIES/SERVICES

The property is located inside the City limits of Columbia Falls.

<u>Water</u>	Columbia Falls Municipal Water
<u>Sewer</u>	Columbia Falls Municipal Sewer
<u>Fire Protection</u>	Columbia Falls City Fire Department
<u>Police Protection</u>	Columbia Falls City Police
<u>Electricity</u>	Flathead Electric

J. LOT SIZE DETAILS

The site proposed for the hotel is approximately 1.10 acres in size according to the site plan. The PUD is a portion of the holding which is approximately 1.67 acres in size. The CB-2 zoning district does not have a minimum lot size requirement and typically does not have setback requirements except when abutting residential zoned properties. However, since the property meets the large building criteria, it is subject to a 10-foot landscape buffer around the perimeter and this is one of the deviations the applicant is requesting.

EVALUATION BASED ON STATUTORY CRITERIA

This request is reviewed pursuant to the criteria set forth in Section 76-2-304, M.C.A.; and as stated by the Montana Supreme Court; Chapters 18.348, Planned Unit Development Standards, and Chapter 18.428, Large Building Standards of the Columbia Falls Area Zoning Ordinance. The following findings are made:

1. Conformity to the Large Building Criteria as required in Columbia Falls Zoning Ordinance Section 18.428.

1. Facades and Exterior Walls:

- A. The building is greater than 60-feet in length and the applicants have incorporated numerous recess and projections along the façade of the building in both the front and rear to comply with these standards. On the west side of the building, the projections occur on the second, third and fourth floors.
- B. All four sides of the building have windows and architectural elements such as windows, balconies, doors, textural changes in siding materials, changes in building height, and covered main entrance.
- C. The proposed building uses stone and vertical board and baton siding along with color and other textural changes.

2. Roofs and Parapets:

- A. The applicant proposes a modern appearance with flat rooflines. To address the roof requirements, the design projects portions of the roof line vertically to avoid a single plane. The applicant is not utilizing parapets in the design but instead using large overhangs with corbels which substitutes the architectural interest of a parapet. There will be no roof top units (RTU) on the building. Most of the mechanical will be housed inside the building and/or in the ceilings. The conference facility will have a RTU but it will be screened by the parapet or similar screening structures.
- B. N/A
- C. N/A
- D. The roof appears to have minimum three-foot overhang
- E. N/A
- F. The roof has numerous planes.
- G. The applicant is requesting a deviation from the CB-2 height standards of 45-feet. The applicant is requesting the maximum height of the hotel be 50-feet. The applicant states that the increased height “allows more articulation of the building façade” which I interpret to mean the articulation of the roof line. The Hotel project went through the Columbia Falls Site Review process with the City departments and Karl Weeks, Columbia Falls Fire Chief, reviewed the height deviation from a health and safety standpoint. As the hotel will be fully sprinkled, the fire department will have access to the roof by a man door and the Columbia Falls Fire Department has a ladder truck to access the roof and upper floors of this building, the Fire Chief concurred with the height deviation.

Staff is recommending approval of the height deviation.

3. Entrance:

The main entrance to the structure utilizes a covered entry for visual interest and for the practicality of protecting guests from the weather while checking in and out of the facility. The covered entry is attached to the

building and also supported by three posts in the mountain lodge/craftsman style of architecture.

Item No.7.

4. *Materials and Color:*

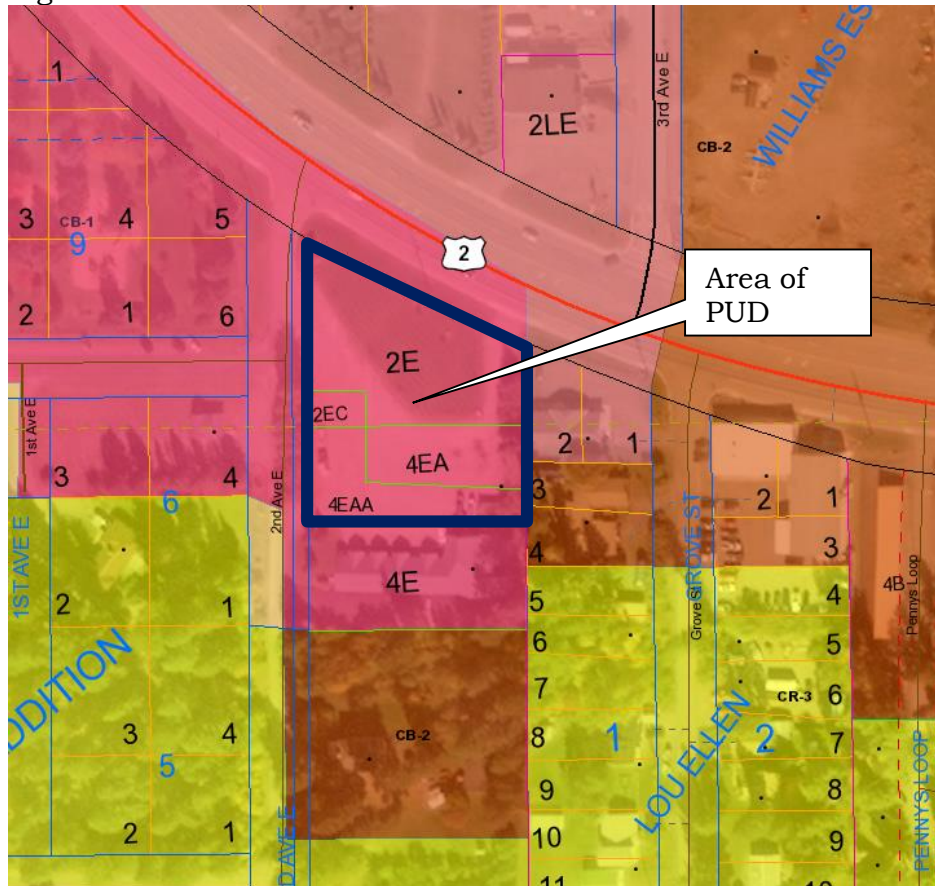
- A. Although still in the conceptual stage, exterior materials are vertical board and baton siding, stone accents, color changes from what appears to be natural wood to a black or dark gray siding. Final siding details will be reviewed by staff at the building permit level. (See color rendering in the application materials.)
- B. The applicant proposes that the roof trusses and framing will come from Western Building Center and that the owner plans to use as much local labor and material as possible.
- C. The color of the structure is earth tone browns reflecting that of the wood materials.
- D. The trim compliments the wall colors and is not bright.
- E. The applicant is not proposing any concrete block, tilt-up concrete, or smooth faced steel.

5. *Landscaping:*

- A. The site has approximately 1.1 acres (48,269 square feet) of land within the PUD. The large building standards require 15% of the site or 7,240 square feet of the site to be landscaped. The applicant states that they are showing 4,863 square feet which is 10% of the site as landscaped area.

The reduction in landscaping is one of the deviations requested by the applicant. The applicants are requesting a reduction to 7.5% (3,620 square feet) of the site as landscaping just in case they need some additional room for circulation around the site. The applicant points to the commercial nature of the development and neighborhood where many of the buildings are constructed to the lot line by either building or parking lot. This is due to the fact that the CB-2 zone has a zero setback when abutting other commercial zoned lands as this property does.

Figure 3



Columbia Falls Zoning Map (The shades of red are CB-1 and CB-2 zoning designation)

- B. The applicant proposes 7.5% of the site as landscape area and is requesting a deviation to the 15% requirements. Although we have granted deviations to the landscaping requirement in the CB-4 (Downtown Business Zone) we have not granted this deviation in the CB-2 zone. The Cedar Creek Lodge for example provided 33% landscape area. The Columbia Falls Growth Policy points to landscaping along the Highway corridor as a priority and with the adjacent City park and some of the new buildings like the new Ace Hardware providing landscaping, it is difficult to support a deviation to this request.

For this reason, staff cannot support the deviation from the 15% landscaping requirements.

- C. The existing landscaping is limited to a stand of ponderosas on the west boundary, a large lawn area and some smaller evergreens along the eastern property boundary. The applicants will have a walkway circling the building with linkage to the sidewalks on Highway 2 and the parking area. Presently we have a very schematic landscaping plan that does not indicate the plant mix or irrigation system. Staff will recommend a condition of approval that requires City Manager approval of the detailed landscape plan prior to issuance of the occupancy permit. Staff can work with the applicant and the time of year to ensure that the approved landscaping plan is implemented through a developer's agreement.
- D. The regulations require that large buildings on sites of less than 30 acres provide a 10-foot landscape buffer around the perimeter of the site. The

intent of this standard is to provide some buffering and mitigate some of the shadowing effect on adjacent uses.

The applicants situated the building to the northwest side of the lot which is the street frontage of Second Avenue East and Highway 2. There will be sidewalk and boulevard on the Second Ave frontage and there is 30 feet of boulevard along the highway frontage. The neighbors to the east are at the zero lot line but the applicant is separating the hotel from the neighbor to the east with the hotel parking lot. The existing Glacier Inn sits to the south. The building does not crowd neighboring buildings and there is a large boulevard along the Highway 2 frontage.

Staff is recommending approval of this deviation.

- E. The parking lots have six to ten foot landscape islands at the ends of the parking aisles and intermittently every eight to nine spaces. The parking lots do not contain 30 or more continuous spaces. All of the parking areas are curbed. The amount of landscaping in the parking lots is addressed in the overall deviation to landscaping of the site.

6. *Parking Lot:*

- A. The site plan for the hotel shows a seven foot wide sidewalk along the south and east side of the building and connecting to the sidewalk along Highway 2. A new five foot sidewalk will be constructed along Second Avenue where currently there is none.
- B. The hotel walkway will connect to the new Second Avenue sidewalk and the Highway 2 sidewalk. From Second Avenue, hotel guests can connect to the Highway 2 sidewalk and walk to businesses along Highway 2 or walk two blocks over to the Nucleus Avenue Business District.
- C. The landscape islands will visually and physically segment the parking lot as required by code.
- D. The applicant does not propose any parking aisles greater than 30 spaces in length as required by code.
- E. The applicant has segmented the parking area so that the parking lot is separated by landscape islands
- F. No traffic calming (such as speed bumps or round-about) is proposed. The ITE Trip General Manual provides projected traffic counts for a number of uses. The Manual has a trip generation for Hotels but the study results looked at Hotels as those with sleeping quarters, restaurants/bars, and banquet/convention facilities. As the proposed hotel does not have a restaurant or bar, the following counts might be somewhat higher than actual traffic counts but they do provide some approximation to the projected traffic volumes.

	Trip/Day/Room	Peak AM Trips/hr	Peak PM Trips/hr
Weekday	8.17	0.52	0.61
Saturday	8.19		
Sunday	5.95		

With 65 rooms there are an estimated 531 trips per weekday associated with the Hotel. The peak AM hours will see 33 vehicle trips during a week day and the peak PM hour will see 40 vehicle trips. A trip is defined as an end, so when you arrive at the hotel that is one trip and when you leave that is a second trip.

The proposed traffic should have minimal impact on Second Avenue and Highway 2

- G. The applicants are proposing 68 parking stalls within the project. zoning regulations require one stall per room and one stall per two employees on shift. With 65 rooms and six employees on shift, the proposed parking of 68 stalls meets the zoning requirement.

7. *Snow Storage.*

The applicant provided a site plan that indicates snow storage on the center landscape island. Once that becomes full, the applicant will need to truck snow off site.

8. *Lighting*

- A. At this point in time we do not have a sign package or lighting information for the Hotel use which is typical for projects at this stage. Not many developers would go to the expense to design all of the building details when they don't know if they have approval to construct the building. The City of Columbia Falls requires all applicants to fill out a sign application and receive a sign permit from the City prior to erecting any signage. The City staff will review the sign permit application for compliance with the standards of the Columbia Falls Zoning Regulations prior to issuing a sign permit.
- B. The sign package and lighting information will be reviewed with the building plans for compliance with full shields and/or opaque shields for direct lights to walks, entrances and parking areas.
- C. As the lighting is close to the residentially zoned property to the south, maximum height of the parking lot lights will be 18 feet.

9. *Pedestrian Circulation*

- A. There is a wide public sidewalk on the north side of the property within the MDOT right-of-way. Currently there is no sidewalk on Second Avenue East. The developer will install a five foot sidewalk along Second Avenue East. To save the existing ponderosas on the west side of the project, the applicant is proposing a portion of the sidewalk be constructed along the curb. Public Works Staff reviewed the request and agreed with the request as long as the applicant is aware that they are responsible for snow removal along the sidewalk.
- B. The applicant is providing a seven foot concrete walk from the main entrance of the Hotel to the parking lot and the Highway 2 sidewalk. From this point pedestrians can move along the existing sidewalks to businesses along Highway 2 and Nucleus.
- C. The applicant is providing a seven foot walkway along the front of the building which seems adequate to move guests from the parking area to the hotel lobby.
- D. A pedestrian crossing using stamped asphalt pavers will be installed where the eight foot walk crosses the internal loop driveway in front of the hotel.
- E. There are no bicycle lanes proposed with the project. There is a bicycle lane along the Highway 2 corridor but nothing along Second Avenue West. The applicant is showing bicycle parking at the entrance to the hotel.
- F. Hotels parking lots typically have the trash receptacle at the entrance of the hotel.

10. *Community Space*

- A. The applicant is not providing park or open space with this project. The property is directly across Second Avenue from Marantette Park which is a

city maintained park. A short walk to the east is FW&P's Teakettle Fish access. Half a mile north along the 3rd Ave E bikepath is River's Edge Park.

11. *Trash and receiving*

- A. The applicant's site plan is showing a trash enclosure in the southwest corner of the parking lot. The applicant does not provide detail on the enclosure but those details can be reviewed at the time of building permit.
- B. The developer is not proposing a loading dock for the hotel as laundry will be handled within the facility and there will be no little food service. ~~with only the continental breakfast.~~
- C. No outdoor storage is proposed for the hotel use.

2. Does the requested zone comply with the Growth Policy?

The Hotel and PUD comply with the Columbia Falls Growth Policy.

The Columbia Falls Growth Policy provides the following:

Chapter 4 Land Use – Commercial

- Goal #1 Balanced commercial development providing convenient access to a broad selection of goods and services.
- Goal #2 Columbia Falls as a gateway community to Glacier National Park and the surrounding recreational assets which provide the traveler and residents a broad array of retail businesses, services, and accommodations. Columbia Falls should continue to support business and services catering to the visitor as well as the local resident.
- Goal #4 US Highway 2 provides the east and west entrances to Columbia Falls. Good signage, delineated access, and maintained landscaping are critical to a positive impression of the community.
- Policy 1.c. Utilize Planned Unit Developments as a tool to ensure that commercial areas provide appropriate buffers to adjacent residential areas and that all planned uses are compatible.
- Policy 4.b. Encourage the use of innovative land use regulations to achieve a pleasing community entrance.
- Policy 4.c. Landscape highway frontage and parking lots, to enhance development sites and soften visual impacts of development

Chapter 7 Urban Design/Historic and Cultural Facilities

- Recommendations 2. Continue to develop a program including incentives, regulations or community awareness to encourage rehabilitation of or removal of underutilized buildings.

This being only the second hotel constructed in Columbia Falls, it is anticipated that a hotel use will help capture some of the thousands of tourists that travel through Columbia Falls on the way to Glacier Park but have, in the past, stayed in Whitefish or Kalispell where they frequent those City's restaurants and businesses. Secondly, having a second hotel in Columbia Falls will provide out of town business persons doing business in Columbia Falls additional options to stay in the City. Lastly, having a second hotel will allow traveling sports teams to stay in the City during tournaments and for the City to capture this economic benefit.

3. Is the requested zone designed to lessen congestion in the streets?

The parcel is located immediately adjacent Highway 2 which is a four lane US Highway. Curb and sidewalk will be added to Second Avenue East by the applicant as part of this approval. The transportation network is well suited for the Hotel use at this site.

4. Will the requested zone secure safety from fire, panic, and other dangers?

The project was reviewed by the Columbia Falls Fire Chief at site review and he is satisfied with the basic site plan. Items such as sprinkling, hose connections, and hydrant will be reviewed at the time of building plan review. The property has good access to City streets and the interior parking/driving lanes provides good access for emergency vehicles. The fire department did specify that the parking lots will need to meet turning radius for fire trucks.

5. Will the requested change promote the health and general welfare?

The site is located well outside of any floodplains, wildland urban interface or other hazards. The subject property is zoned CB-2 which anticipates hotel use and the project will connect to municipal sewer and water services.

6. Will the requested zone provide for adequate light and air?

The site is zoned CB-2 and for most buildings the General Commercial district does not require setbacks when located adjacent to other commercial zoned properties and this Commercial District does not have a maximum lot coverage. However, because the project is over 10,000 square feet in size it is subject to landscape buffers and a minimum 15% landscape area.

Because the City's Long Range Planning document supports landscaping along the Highway corridor and because we have not granted previous deviations to landscaping in the CB-2 zone, Staff is not in support of the landscape deviation. The applicant is also requesting a deviation to the 10 foot buffer. Because the applicants have sited the building in the northwest corner of the site and away from neighboring structures, staff is recommending approval of the buffer deviation. (See discussion 1.5.B & D. of this report for deviation).

7. Will the requested zone prevent the overcrowding of land?

The property is zoned CB-2 (General Business) and this zoning designation anticipates intense commercial uses. The CB-2 anticipates supermarkets, bank buildings, office space, lumber yards, restaurants, box stores, etc. The CB-2 zone does not require setbacks from other commercial properties and there is no maximum lot coverage in this commercial district. Given the performance standards and discussion in Criteria #6 above, the project will not overcrowd the property.

8. Will the requested zone avoid undue concentration of people?

As stated previously the existing zoning anticipates large concentrations of people. The infrastructure is available to address the use and associated guests of the hotel.

9. Will the requested zone facilitate the adequate provision of transportation, water, sewerage, schools, parks and other public requirements?

The property is located along a major arterial street (Highway 2). Second Avenue East will be upgraded to provide curb, gutter, and sidewalk. The project will connect to municipal sewer and water services.

There is a sewer main that runs directly underneath the proposed hotel. This sewer main will need to be relocated around the building and the applicants are proposing the route in the MDOT right-of-way. According to Chris Hanley, City Public Works Director, the sewer main is running at the minimum grade and lengthening it could cause issues unless it is converted to a force main or a lift station is installed. Final engineering will be reviewed and approved by the City and the City's independent engineer for compliance with DEQ Circular 2.

Water service to the property also runs under the proposed hotel site. As part of the City's infrastructure policy, a new water main will be extended to the eastern boundary of the property with the preferred alignment in the Highway 2 right-of-way. The Fire Chief stated that a fire hydrant will have to be installed near the east end of the property.

The commercial use does not generate school children but the hotel use may benefit the school when it hosts meets or tournaments as the visiting school will not have to travel for accommodations.

The project is adjacent to a City park and the pedestrian access will allow visitors of the hotel easy access to the park area.

10. Does the requested zone give reasonable consideration to the peculiar suitability of the property for particular uses?

The proposed PUD does give consideration to the CB-2 zoning as it proposes a use that is permitted in the underlying zoning. The land conditions, proximity to adequate roads, services and utilities make this area suitable for the proposed commercial use.

11. Does the requested zone give reasonable consideration to the character of the district?

The character of the neighborhood is commercial with nearby services, cafes, parks and other businesses. The property fronts on US Highway 2 which provides access to Glacier National Park. This is an ideal location for a hotel use.

12. Will the new zoning affect property values?

The subject property has been a small hotel site for decades. The property used to have a restaurant as well. The addition of a new 65 room hotel will fit with the neighboring commercial use and Highway frontage. There should be no negative impacts to property values from the hotel building.

13. Will the requested zone encourage the most appropriate use of the land throughout the municipality?

The property is zoned CB-2 (General Business) which is the zoning district the City has designated for Hotel use. The site in question is within walking distance of the Nucleus Avenue commercial district and it is presumed that guests of the hotel will walk to restaurants and retail business on Nucleus Avenue providing economic benefits to these business owners.

The PUD request conforms to the Columbia Falls City Growth Policy, and complies with most of the “Large Building” standards, except those requested for deviation. Items such as detailed landscaping, signage, and building finish will be reviewed for conformance with the large building standards at the building permit review stage. The project will be fully served by Municipal services. The requested PUD allowing Hotel development is consistent with the neighboring commercial uses and character of the neighborhood.

RECOMMENDATION

Staff recommends that the Columbia Falls City-County Planning Board and Zoning Commission adopt Columbia Falls Planning Office Staff Report #CPUD-22-03 as Findings of Fact and recommend approval of the requested PUD subject to the following conditions:

1. The Ruis Holding PUD will allow the following deviations:
 - a. Building Height – The maximum building height is 48-feet at the top of the gable.
 - b. Landscape Buffer - The projection on the west side of the building (approximately 35-feet) may encroach within five feet of the western property boundary.

Staff is not recommending approval of the deviation to the 15% landscaping.

2. The City Council Approves the PUD application of less than 2 acres
3. The project shall be built in substantial compliance with the submitted “Staying at the Ruis Hotel” application and all accompanying drawings, as prepared by Jackola Engineering and Architecture except as modified by these conditions.
4. The fire department shall approve the turning radius of the parking lots along with any new fire hydrant placement. The applicant shall provide access to the roof by a man door approved by the Fire Chief
5. Public Works requires the sewer main and water service be moved to the Highway right-of-way or other approved location. Public Works and MT DEQ will approve the sewer and water main specifications.
6. Landscaping and landscaping features will generally follow the PUD plan with the understanding that the PUD plan is not a detailed Landscaping Plan. The applicants shall provide the City Manager a detailed Landscape plan, in compliance with the landscape provisions of the “Large Building Standards”. The landscape plan shall be approved and the landscaping installed prior to the issuance of an occupancy permit. If, due to weather, the landscaping cannot be completed prior to occupancy, the applicant may enter into a developer’s agreement with the City of Columbia Falls and provide a security (bond or letter of credit) in the amount of 125% of the landscape improvements. The security amount will be determined by actual bid or licensed engineer. The developer’s agreement will not be for longer than six months.
7. The developer of the hotel shall install curb, gutter and sidewalk for the frontage along Second Avenue East. The applicant may run a portion of the sidewalk along the curb in order to preserve the Ponderosa trees on the west side of the property.
8. The City staff will review the sign permit application for compliance with the standards of the Columbia Falls Zoning Regulations prior to issuing a sign permit.
9. Any RTU will be screened by the parapet or similar screening so that it is not visible from the public.

10. The lighting details will be reviewed at the building permit stage to ensure that they comply with the 18-foot height standards and that all lighting has full cut off and/or opaque shields.
11. All conditions of the PUD shall be complied with prior to the issuance of the occupancy permit or otherwise addressed as provided for in this PUD.
12. The owner shall install a tree buffer on the entire length of the west side of the building visible to Marantette Park.



RUIS HOLDINGS STAYING AT THE RUIS

PUD APPLICATION
230 HIGHWAY 2 EAST
COLUMBIA FALLS, MT 59912

DATE JULY 1, 2022

JACKOLA ENGINEERING & ARCHITECTURE, PC
2250 HIGHWAY 93 SOUTH
KALISPELL, MT 59901 PHONE (406) 755-3208

TECHNICAL CONTRIBUTORS

01

PUD APPLICATION

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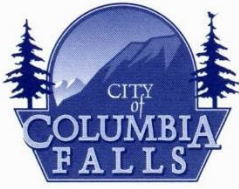
Civil Engineer | PUD Narrative
and Document Preparation

02

PM OVERSIGHT

SHANE JACKOLA, PE
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Principal in Charge



Planning Department

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COLUMBIA FALLS, MT 59912

PHONE (406) 892-4391

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APPLICATION FOR PLANNED UNIT DEVELOPMENT (PUD)

Project Name: Staying at the Ruis
 Name of Applicant: Ruis Holdings
 Mailing Address: P.O. Box 1928
 City/State/Zip: Columbia Falls, MT 59912 Phone: (619) 889-7749
 Name and address of owner if different than applicant:
 Name: Same
 Mail Address: _____
 City/State/Zip: _____ Phone: _____
 Technical Assistance: _____
 Mail Address: _____
 City/State/Zip: _____ Phone: _____

If there are others who should be notified during the review process, please list those.

PETITIONER TECHNICAL ASSISTANCE: Jackola Engineering & Architecture (406) 755-3208
2250 Hwy 93 South, Kalispell, MT 59901

Check One:

- ☒ ■ Initial PUD Proposal
☐ Amendment to an existing PUD

Property Address: 230 Highway 2 East
 Total Area of Property: 48,200 square feet (1.106 ac)
 Legal description including section, township, range: _____
 County Tracts T-1 of COS 3040 and COS 3778, S.17, T30N, R20W

The present zoning of the above property is: CB-1, Application Pending for CB-2

Please provide the following information in a narrative format with supporting drawings or other format as needed: (SEE FOLLOWING NARRATIVE)



NARRATIVE

PLEASE PROVIDE THE FOLLOWING INFORMATION IN A NARRATIVE FORMAT WITH SUPPORTING DRAWINGS OR ANOTHER FORMAT AS NEEDED:

1) An overall description of the goals and objectives for the development of the project

The subject property includes two existing parcels (T-1 of COS 3040 and parcel as defined on COS 3778). T-2 of COS 3040 contains the Glacier Inn Motel and is not part of this PUD application but is part of the pending zone change.

All three parcels are zoned CB-1. Motels/hotels are not allowed by rights in CB-1 zoning. The ordinances for CB-1 do not include a conditional use permit for hotels/motels. The in-process zone change request would allow the owner to construct a new hotel on the vacant property, and bring the existing motel structure into zoning conformance.

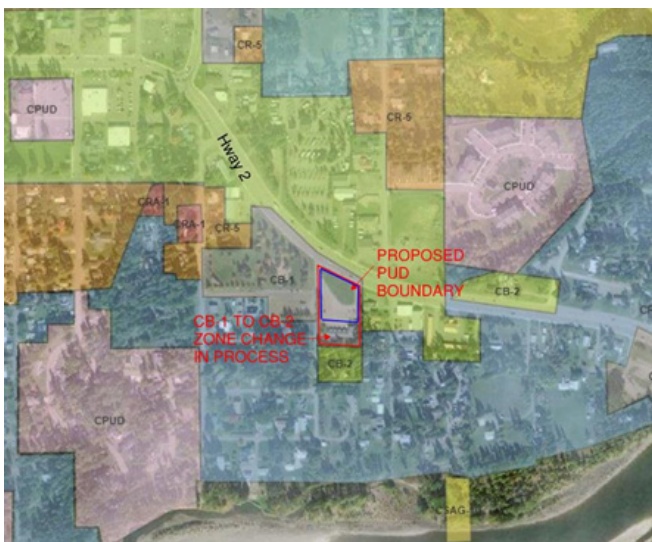


FIGURE 1- LOCATION MAP & SURROUNDING ZONING

The proposed hotel to be allowed under this PUD application is anticipated to be up to 65 rooms to serve a mid-scale extended-stay market. This would attract tourists to the area to set up a base in

Columbia Falls to tour the Park and the rest of the Valley. It also would be useful for contract workers coming to the valley for a period of time as a place to stay without taking away or competing with long-term rentals. The all-suite style will have kitchenettes in the units to attract these occupants, but will also encourage the use of the existing restaurants and retail options in the Columbia Falls core area, as there is no on-site restaurant or retail planned for the development.

2) In cases where the development will be executed in increments, a schedule showing the time within phases will be completed.

This PUD application applies to the development of a new hotel in one phase. The project is planned to begin construction as soon as planning and building department approvals can be obtained.

3) The extent to which the plan departs from zoning and subdivision regulations including but not limited to density, setbacks and use, and the reasons why such departures are or are not deemed to be in the public interest.

Assuming the pending zone change to CB-2 is successful, the only departure from the base zoning anticipated is to increase the height limit. It is requested to allow the building to be up to 50' in height as defined in the Zoning Regulations to allow more articulation of the building façade and parapet. This articulation is a request of the large building provisions (18.428.030) and would be in the public interest as a result of the design flexibility it affords. It also would allow more screening of roof mounted equipment, another request of the large building provisions (18.428.040), though complete

PUD NARRATIVE CON'T (3)

screening will be difficult from the west since hill will have drivers looking down on the development.

The proposed project will also need to comply with the large building requirements, per the *City of Columbia Falls February 2020 Zoning Code, Chapter 18.428.070*. The project meets the majority of these regulations with the following exceptions:

The proposed project will also need to comply with the large building requirements, per the *City of Columbia Falls February 2020 Zoning Code, Chapter 18.428.070*. The project meets the majority of these regulations with the following exceptions:

Deviation from minimum landscape area requirement as noted on 18.428.070(2)(4)(5). Referenced code requires landscape area not to be less than 15 percent of the total lot area and shall include the retention of existing native vegetation to the maximum extent possible.

We request the 15% landscape requirement, the parking area percentage, and perimeter buffer areas of these provisions be modified to be smaller as noted on the provided preliminary site plan. As a commercial project on the highway corridor and on a small redevelopment site, the expectation is commercial development. Indeed, standard zoning regulations allow zero lot lines. The two lots in this PUD application abut other commercial zones and are not adjacent to residentially zoned lots, limiting the impact on local residents. Our opinion is it benefits the community from an infrastructure and tax perspective to have higher density in the urban zone, along commercial corridors, and on redevelopment lots already served by roads and utilities. The buffer section appears to be written for large sites and lists 10 feet for sites 30 acres

and less. The base CB-2 zone allows zero lot lines for the reasons listed above. This development proposes 3' along the east line and no public right of way setback on Highway 2 and 2nd Avenue East. There will be boulevard landscaping installed at the owner's expense along 2nd Avenue East as noted on the site plan. A large landscape buffer already exists in the highway corridor, varying from 20' to almost 35' in width.

The intent is to preserve the existing mature evergreen trees located on the southwest side of the property, and appropriate measures will be taken to preserve the trees from damage during the construction activities. The landscape plan will incorporate a mix of indigenous and native plants including a minimum of 50% evergreen plants as required.

Exceptions to the Large Building Provisions 18.428.110 and 120: We believe the walkways shown on the preliminary site plan meet the intent of this section by connecting the existing Highway 2 walkway to 2nd Avenue East via an owner-provided sidewalk through the development. The proposed walkway is 7' in width and will also connect the building access point to the surrounding community to encourage patrons to explore the adjacent park and commercial corridor on foot. The proposed plan does not meet all the detailed requirements of this section due to the small site and the fact that public walkways will be available on the two adjoining rights of way. No bicycle lanes are shown, but a plan is provided for bicycle racks near the entrance. The plan is to provide landscaping and a seating area near the entrance for a limited community space. The size of the lot does not encourage more, and Marantette Park across the street affords much better and ample community



PUD NARRATIVE CON'T (3)

space for hotel patron benefit and use.

Pedestrian amenities provided per provision
18.428.120



OUTDOOR SEATING BENCH PROVIDED TO ENJOY OPEN SPACE



BICYCLE RACKS PROVIDED FOR FANS OF BACKROAD BICYCLE TOURS AND PEDAL BIKE TOURS AS SOURCES OF TOURISM

4) The nature and extent of the common open space in the project and the provisions for maintenance and conservation of the common open space; and the adequacy of the amount and function of the open space in terms of land use, densities and dwelling types proposed in the plan.

The provision of open spaces for this project is established primarily for landscaping and pedestrian access to public sidewalks. The open space provided for this development is appropriate and proportionate to the scale and character of an urban commercial development indicated by its size, density, location, and topography.

For the proposed development, the common areas outside the building structure tie into new street improvements, and pedestrian path networks provide a choice of routes. The project has immediate safe access to the adjacent public streets, and existing and proposed new sidewalks along the adjacent streets will connect the site's common area along the proposed building. A bicycle rack will be installed

to accommodate the increasing trend of nature adventurers on bicycles. (See Figure 2)

The site open space area for this development is intended to easily connect hotel patrons to the existing Columbia Falls Commercial core, tourist attractions, and Marantette Park across the street. The hotel staff and contract maintenance will maintain all landscape and open space provided.

The site is within the urban growth boundary of the City of Columbia Falls and has access to many services. Therefore, the density proposed can be accommodated in this setting because it was anticipated in the Columbia Falls Growth Policy.

5) The manner in which services will be provided such as water, sewer, storm water management, school, roads, traffic management, pedestrian access, recreational facilities and other applicable services and utilities.

The proposed development will facilitate the adequate provision of transportation, water, sewer, school, parks, and other public requirements as they already exist for this urban redevelopment site. The development is located in the urban setting where the population density is anticipated in the Columbia Falls Growth Policy. This growth is anticipated to utilize the city's current infrastructure, including sewer and water, thus limiting impact on the city infrastructure.

Presently, both city water and sewer are available at the subject parcels. The mains will be extended or rerouted adequately to serve the proposed hotel. Stormwater will be retained and disposed of on-site, per City requirements. Paved parking areas

PUD NARRATIVE CON'T (5)

will direct stormwater to low points, collect into a proposed open channel, and be directed to drywells for dispersion.

UTILITIES/SERVICES

Water: City of Columbia Falls
 Sewer: City of Columbia Falls
 Fire Protection: Badrock Volunteer Fire Department
 Police Protection: City of Columbia Falls
 Street Maintenance: City of Columbia Falls
 Electricity: Flathead Electric
 Natural Gas: Northwestern Energy

The roadways adjacent to the development adequately meet the needs of CB-2 zoning allowable uses. Highway 2 is a principal arterial and 2nd Avenue East is a collector street. The arterial road corridor has a sidewalk provided on both sides; on 2nd Avenue East a sidewalk shall be built to provide ease of pedestrian access.

The proposed commercial development of the subject property is likely to have little to no negative impact on local schools other than to contribute significantly to the tax base and will contribute additional users to community parks and the commercial core. Marantette Park is located next to the project site with easy access for the public and the development occupants. River's Edge Park is less than a mile from the proposed development. The Columbia Falls ImaginELF Library is about one mile distant.



MARANTETTE PARK



RIVER'S EDGE PARK



PROJECT SITE ACCESS VIA 2ND AVENUE SOUTH



PROJECT SITE ACCESS VIA HIGHWAY 2



SITE ACCESS AT CORNER OF 2ND AVENUE SOUTH & HWY 2

PUD NARRATIVE CON'T (6)

6) The relationship, beneficial or adverse, of the planned unit development project upon the neighborhood in which it is proposed to be established.

The project is expected to facilitate further growth and provide possible additional opportunities for commercial uses of the highway corridor. The proposed PUD will not result in the displacement of any resident, people, or population because the existing land for this PUD is a redevelopment of of a previous commercial use, since demolished.

No adverse impacts on the surrounding area are anticipated as a result of excessive noise, illumination, glare, dust, smoke, or vibration, or from emissions of noxious materials, pollution of waterways or groundwater, or interference with radio or television signals. All surrounding parcels have existing commercial zoning.

This requested rezoning will help facilitate similar developments to complement the surrounding uses. The current proposed hotel development along with the associated road improvements and infrastructure will support similar development. Conserving, enhancing, and expanding existing available lands conserves resources and the value

of existing buildings in the immediate neighborhood of the project. The hotel type proposed will lessen pressure on existing long-term rentals; resulting in a benefit to the community.

Uses permitted under the CB-2 zoning and this PUD would, add value to the existing surrounding properties and could provide symbiotic uses. The requested rezoning aligns with the goals of the Growth Policy and correlates with the existing commercial corridor and adjacent commercial core development.

7) How the plan provides reasonable consideration to the character of the neighborhood and the peculiar suitability of the property for the proposed use.

The subject property is adjacent to Highway 2 which is predominantly zoned with CB-2 throughout this portion of the corridor. The use of a PUD is particularly suitable for the project site location due to its full exposure to the tourism industry and the design flexibility the PUD provisions afford.

The rezoning of these lots with the PUD application request brings consistency to the zones contained within the surrounding parcels and will match the intended zoning set forth in the *City of Columbia Falls*



PROJECT SITE LOCATION ADJACENT TO HIGHWAY 2 IS SUITABLE FOR FULL EXPOSURE FOR THE TOURISM INDUSTRY

PUD NARRATIVE CON'T (7)

Growth Policy for this corridor. The pending rezoning makes all of the subject property CB-2 which allows for the ease of development of the property and promotes complementary development to the existing neighborhood. The location of the site adjacent to State Highway 2 promotes the image of the city as a tourism destination as outlined in the *City Growth Management Policy*.

8) *Where there are more intensive uses or incompatible uses planned within the project or on the project boundaries, how will the impacts of those uses be mitigated.*

The proposal is consistent with the general purposes of the Ordinance as set forth under 18.336 CB-2 which includes, but is not limited to promoting the health, safety, and welfare of the communities of the City of Columbia Falls. This use will encourage additional use of existing city parks and commercial areas.

The requested PUD for the proposed development gives reasonable consideration to the character of the district. In the recent city public survey of 2018/19, a majority of the city residents supported the continuing development of tourism-related businesses such as hotels within the city limits. See *Figure 3*. The proposed development is considered most suitable due to its location in the direct view shed of travelers along Highway 2, and the historic motel on the site.

9) *How the development will further the goals, policies and objectives of the Columbia Falls Growth Policy.*

The development of this project will foster and encourage growth in the City of Columbia Falls in a major transportation corridor, served by existing

municipal facilities and services.

The CB-2 business district is designated for a wide range of commercial activities including businesses serving the needs of the traveling public and tourism. The proposed hotel complies with the CB-2 land use designation of the intended promotional uses as described in the *City of Columbia Falls Growth Policy (2019)*. The proposed location of the hotel uses the advantage of the traffic volume and high visibility along the Highway 2 corridor and is consistent with such a commercial corridor and surrounding areas. This PUD will allow design flexibility to maximize the visual impact of this development.

6) *In the last decade, tourist related business has started to locate in Columbia Falls, these businesses include, guide services, glacier park concessionaires, hotel, hostels, etc. Do you support the continued development of these businesses?*

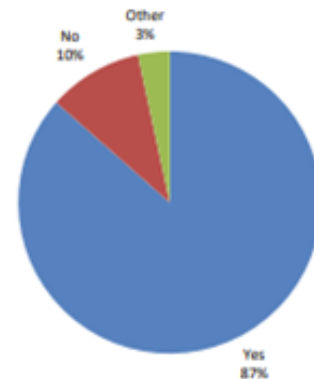


FIGURE 3: THE INTENDED PROMOTIONAL USES AS DESCRIBED IN THE CITY OF COLUMBIA FALLS GROWTH POLICY 2019

10) *Include site plans, drawings and schematics with supporting narratives where needed that include the following information:*

The proposed site layout reflects careful consideration of safety and efficiency, a thoughtful building structure location, and appropriate relation of space inside and outside the building for the intended use and structural features.

PUD NARRATIVE CON'T (10)

In particular:

- » Travel lanes, parking, and service areas provide safe and convenient access to the project facilities; and for service and emergency vehicles.
- » Vehicular access to adjacent streets from parking and service areas is designed to channel traffic from and to such areas in a manner promoting safe traffic flow using existing approaches.
- » Onsite walkways form a safe and convenient path for pedestrian use, connecting them to public sidewalks.
- » Landscape areas and other open spaces are in relation to the proposed structure and are intended to assure a desirable design and provide access to and around the building.

a. Total acreage and present zoning classifications;

48,200 square feet (1.106 ac), CB-1, pending CB-2 application

b. Zoning classification of all adjoining properties;

CB-2 zone to the south, east, and north; CB-1 zone to the northwest; and CR-3 zone on the southeast and southwest, not adjacent to PUD parcels.

c. Density in dwelling units per gross acre;

Not applicable for CB-2 zoning.

d. Location, size, height, and number of stories for buildings and uses proposed for buildings;

Building height = 50+/- feet
Number of stories = 4 floors
Use: Hotel

e. Layout and dimensions of streets, parking areas, pedestrian walkways, and surfacing.

See attachment.

f. Vehicle, emergency and pedestrian access, traffic circulation and control;

Site plan provided.

g. Location, size, height, color, and materials of signs;

There are currently two signages for this site, one at the current entrance at the corner of

2nd Avenue E and Highway 2, this entrance will be removed as part of the new development. The other sign is located at the current site driveway approach on Highway 2. Both signs will be replaced with new signs to meet the required city signage standards. Both signs will have a clear opening between the height of 3 to 7 feet to avoid obstruction within the city Clear Vision standards. The exact design, height, size, color, and materials of the proposed signages will conform to the *City of Columbia Falls Sign Ordinance*.

h. Location and height of fencing and/or screening.

The existing fence along the east property line will remain or be enhanced with screening around the trash enclosure, typically 6' tall per the site plan.

i. Location and type of landscaping

The proposed landscape areas are shown on the attached Site Plan with estimated total green coverage. A full landscape plan with a table of plant types, size, and height will be submitted to the planning department along with other plans submitted for review and final approval.

j. Location and type of open space and common areas;

See site plan

k. Proposed maintenance of common areas and open space;

Managed by Ownership and management company including snow removal.

l. Property boundary locations and setback lines;

The property boundary lines are reflected in the attached Site Plan.
The setbacks in CB-2 are 0 (zero) setback.

m. Special design standards, materials, and/or colors;

The proposed building design to meet the large Building requirements from the *City of Columbia Falls February 2020 Zoning Code, Chapter 18.428*. The building structure materials and colors will be submitted during the building permit review.

The outdoor lighting is to be reviewed at the building permit stage to ensure compliance with the city planning standards and all lighting has full cut-off and/or opaque shields.



PUD NARRATIVE CON'T (10)

- n. *Proposed schedule of completions and phasing of the development, if applicable;*

The project will be developed during one phase development; the construction will take place as soon as planning and building department approval can be obtained.

- o. *Covenants, conditions, and restrictions;*

Not Applicable

- p. *Any other information that may be deemed relevant and appropriate to allow for adequate review.*

See attached plans and other supplementary information.

End of Narrative

The signing of this application signifies that the aforementioned information is true and correct and grants approval for the City of Columbia Falls staff to be present on the property for routine monitoring and inspection during the review process.

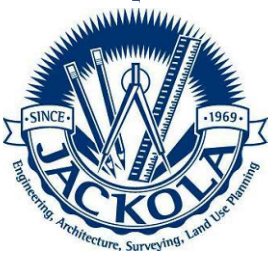
Applicant Signature

Date





MAKE IT PERSONAL.



SITE SUMMARY:

PUD REQUEST ON COS 3778, TRACT 1 COS 3040
EXISTING MOTEL ON TRACT 2 COS 3040

ADDRESS:
230 HIGHWAY 2 EAST
COLUMBIA FALLS, MT. 59912

TOTAL ACREAGE OF PUD REQUEST - 1.11 AC.

ZONE REQUEST: CB-1 TO CB-2 GENERAL BUSINESS
(APPLICATION PENDING FOR CB-2)

PROPOSED MINIMUM SETBACKS:

FRONT-	0
SIDE-	0
SIDE CORNER-	0
REAR-	0

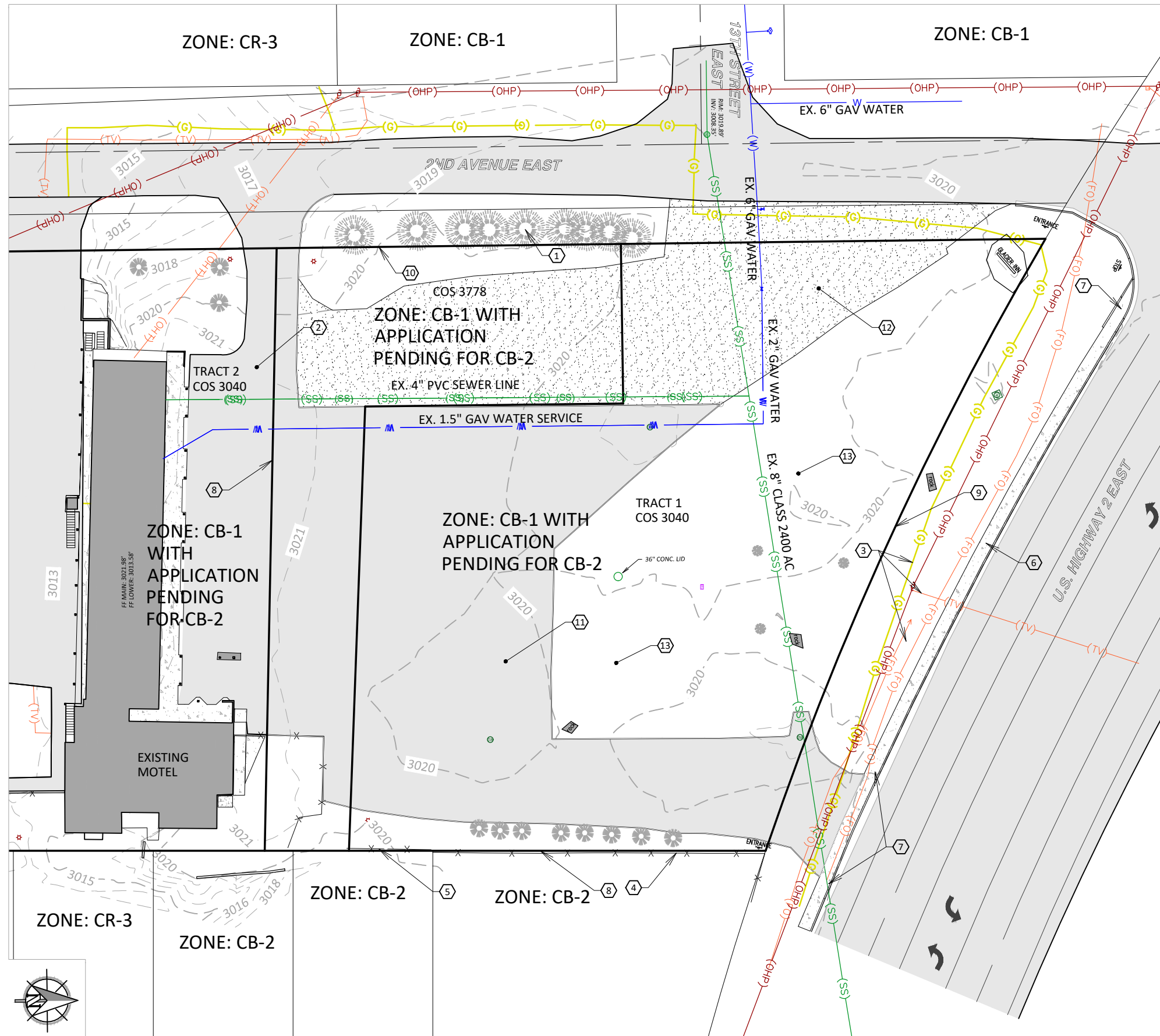
KEYNOTES:



1. EXISTING TREES.
2. EXISTING ASPHALT SURFACE TO REMAIN AND TO BE RESURFACED AS NEEDED TO MEET GRADING OF NEW.
3. EXISTING DRY UTILITY LINES TO REMAIN.
4. EXISTING SPLIT RAIL FENCE TO REMAIN.
5. EXISTING 6' HIGH SCREEN FENCE TO REMAIN.
6. EXISTING CONCRETE SIDEWALK TO REMAIN.
7. EXISTING ADA RAMP TO REMAIN.
8. EXISTING PROPERTY LINE.
9. EXISTING ROW ON US HIGHWAY 2 EAST.
10. ROW FOR 2ND AVE. EAST.
11. EXISTING ASPHALT SURFACE.
12. EXISTING GRAVEL SURFACE.
13. EXISTING GRASS SURFACE.

GENERAL NOTES:

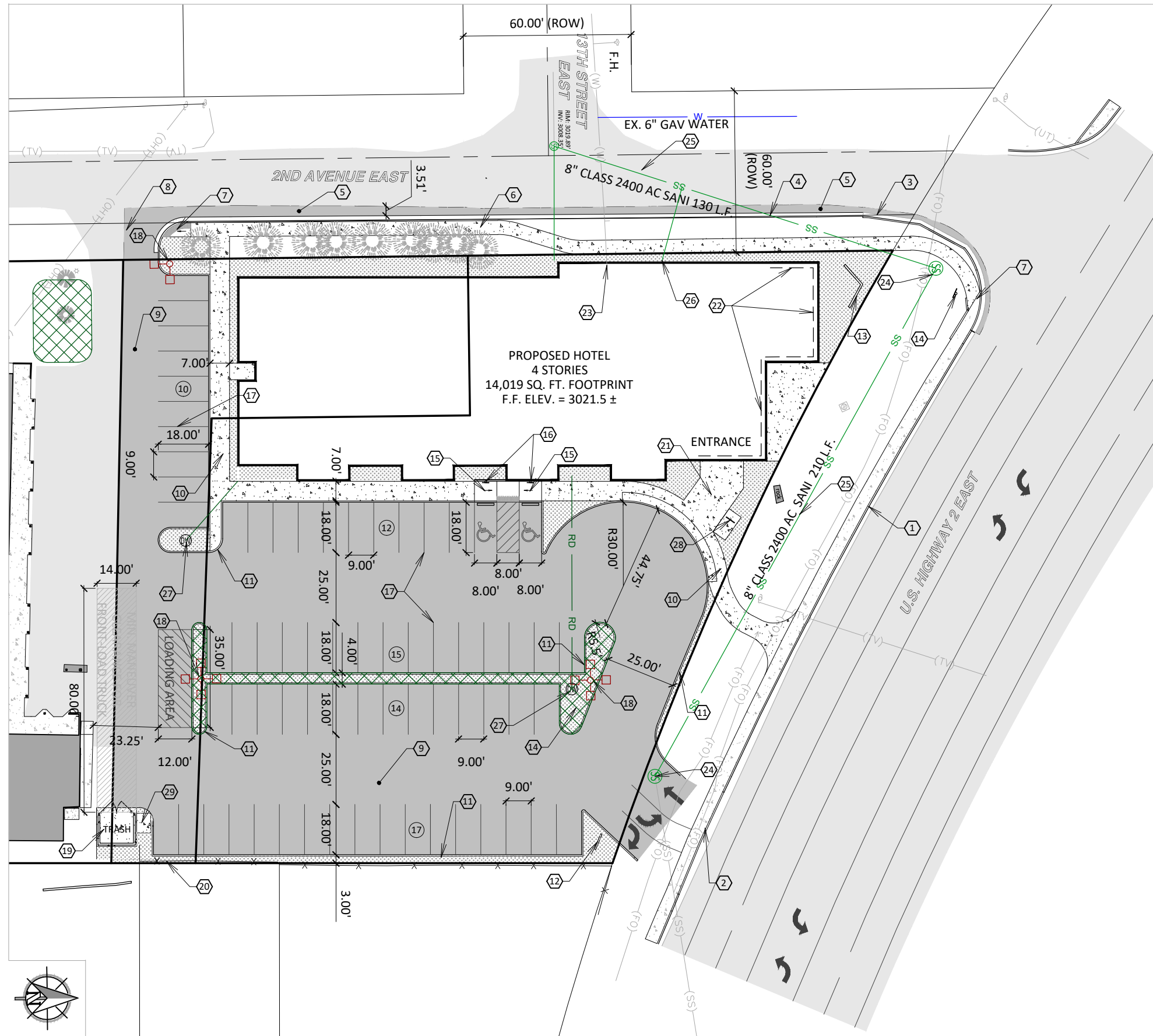
1. SOME EXISTING WATER AND SANITARY SEWER LINES ARE FROM CITY OF COLUMBIA FALL UTILITY MAP.



STAYING AT THE RUIS

COLUMBIA FALLS, MONTANA

2250 HWY 93 SOUTH, KALISPELL, MT. 55901 PHONE: 406-755-3208 WEB PAGE: www.jackola.com
07/01/22



KEYNOTES: #

1. EXISTING FRONTAGE TO REMAIN, NO CHANGES.
2. EXISTING ENTRANCE TO BE UPDATED WITH TURNING LANES AND MARKERS.
3. EXISTING CURB AND GUTTER TO REMAIN AND MATCH NEW.
4. NEW CURB AND GUTTER TO MATCH EXISTING.
5. NEW PAVEMENT SECTION FROM SAWCUT TO CURB AND GUTTER.
6. NEW 5' CONCRETE SIDEWALK FOR ROADWAY IMPROVEMENT.
7. NEW ADA PEDESTRIAN RAMP FOR NEW SIDEWALK.
8. ENTRANCE IMPROVED WITH NEW PAVEMENT AND CURB AND GUTTER.
9. NEW PAVEMENT SECTION FOR PARKING AREA.
10. NEW 7' WIDE CONCRETE SIDEWALK.
11. NEW STANDARD CURB FOR PARKING LOT.
12. NEW MONUMENT SIGN.
13. NEW MONUMENT SIGN. MUST MEET COCF SIGN VISION CLEARANCE REQUIREMENTS.
14. RELOCATED STOP SIGN PER CITY DETAILS.
15. HANDICAP FLARE RAMP.
16. ADA PARKING SIGN.
17. PARKING STRIPING.
18. NEW LIGHT POLE BASE.
19. TRASH ENCLOSURE, WITH GATE.
20. EXTEND 6' HIGH SCREEN FENCING.
21. CONCRETE DROP-OFF AREA WITH FLARED LANDING.
22. BUILDING SIGNAGE POTENTIAL LOCATIONS.
23. NEW WATER SERVICE LINE FOR DOMESTIC AND FIRE.
24. NEW SANITARY SEWER MANHOLES.
25. NEW RELOCATED 8" SANITARY SEWER LINES.
26. NEW SANITARY SEWER SIDE SERVICE LINE.
27. DRYWELL FOR ROOF DRAIN.
28. 5 STALL BIKE RACK.
29. TRANSFORMER PAD.

	BUILDING OUTLINE
	PAVING/PARKING ASPHALT
	SIDEWALK/PATH CONCRETE
	PROPOSED LANDSCAPE AREAS
	PROPOSED SNOW STORAGE AREAS

SITE SUMMARY:

TOTAL BUILDING SQUARE FOOTAGE = 59,290± SQ. FT.

TOTAL NUMBER OF HOTEL ROOMS = 65 UNITS

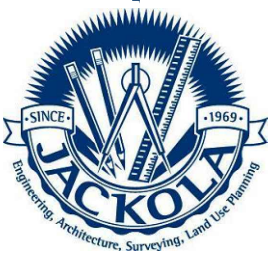
PARKING SUMMARY:

PARKING REQUIRED =
1.0 SPACES PER UNIT
65 UNITS x 1.0 = **65 STALLS**
EMPLOYEES:
1.0 SPACE PER 2 EMPLOYEES (6 EMPLOYEES)
1 x 3 = **3 STALLS**
ADA PARKING REQUIRED = 2 WITH 1 VAN ACCESSIBLE SPACES
ADA PARKING PROVIDED = 2 WITH 1 VAN ACCESSIBLE SPACES

TOTAL PARKING REQUIRED - **68 STALLS**
TOTAL PARKING PROVIDED - **68 STALLS**

LANDSCAPING SUMMARY:

LANDSCAPING REQUIRED = 15% OF LOT AREA
AREA REQUIRED = 48,269± x 0.15 = 7,240± SF
LANDSCAPING SHOWN = 4,863± SF = 10.0% PUD REQUEST FOR 7.5%



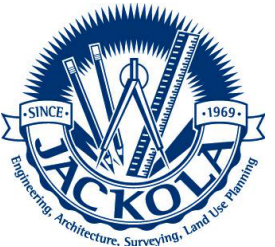
STAYING AT THE RUIIS

COLUMBIA FALLS, MONTANA

PRELIMINARY SITE AND UTILITY PLAN

1" = 40'

C1.10



RUIS HOLDINGS

STAYING AT THE RUIS

COLUMBIA FALLS, MONTANA



DISCOVERY SHEET LIST
D0.00 TITLE SHEET
C1.00 EXISTING SITE PLAN
C1.10 PRELIMINARY SITE AND UTILITY PLAN
D2.00 LEVEL 1 FLOOR PLAN
D2.10 LEVEL 2 FLOOR PLAN
D2.20 LEVEL 3 FLOOR PLAN
D2.30 LEVEL 4 FLOOR PLAN
D3.00 ROOF PLAN
D4.00 ELEVATIONS
D4.10 ELEVATIONS
D5.00 BUILDING SECTIONS
D6.00 FOUNDATION PLAN
D7.00 LEVEL 1 FRAMING
D7.10 LEVEL 2 FRAMING
D7.20 LEVEL 3 FRAMING
D7.30 LEVEL 4 FRAMING
D8.00 ROOF FRAMING
TOTAL BUILDING SQFT:
+/- 54,112 SQFT

STAYING AT THE RUIS

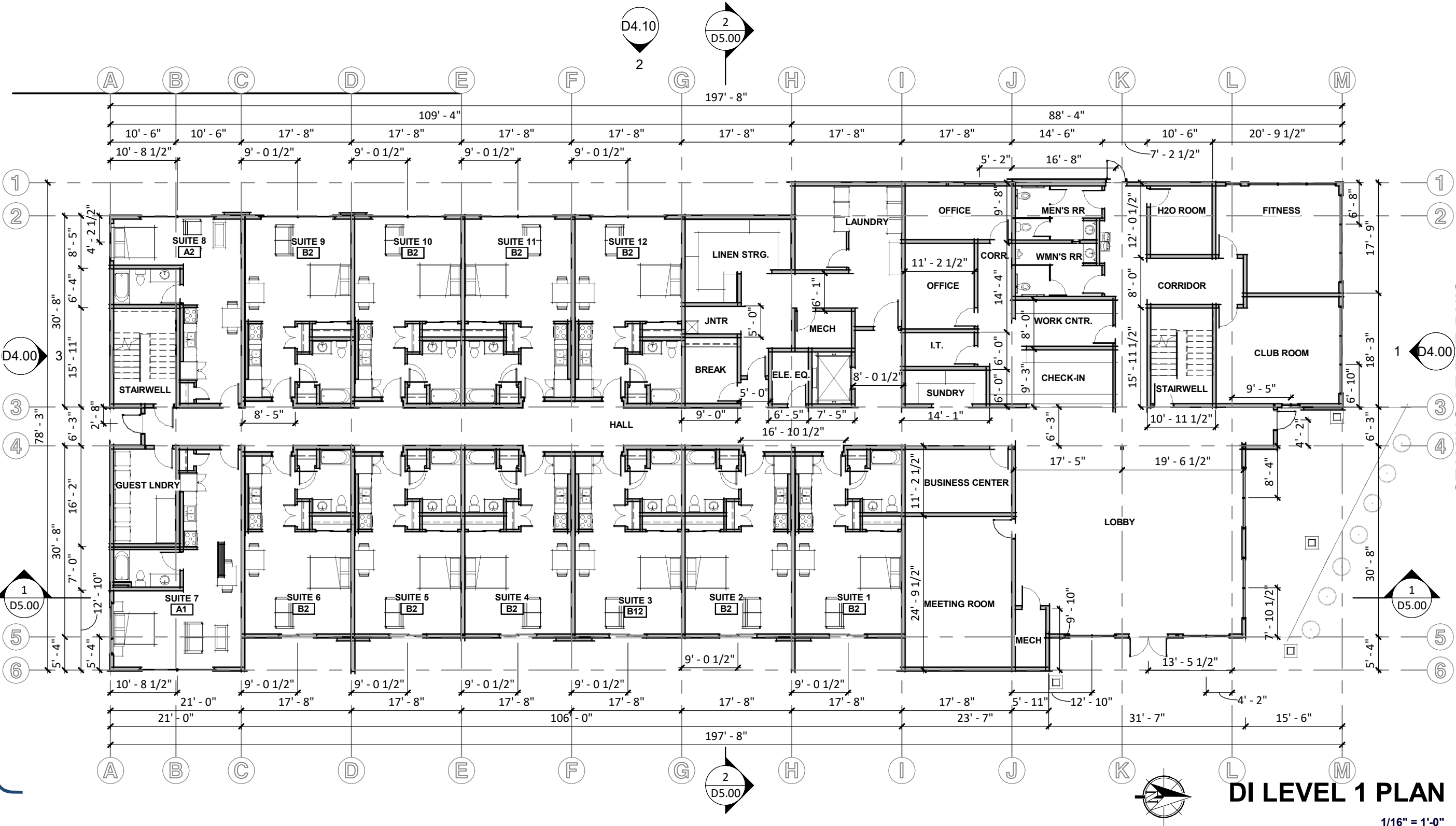
COLUMBIA FALLS, MONTANA

TITLE SHEET

07/14/2022



FIRST FLOOR UNIT TOTAL:		
TYPE:	SQFT:	COUNT:
STUDIO A1	538 SF	1
STUDIO A2	431 SF	1
STUDIO B2	496 SF	10
TOTAL FIRST FLOOR UNITS:		12



STAYING AT THE RUIIS

COLUMBIA FALLS, MONTANA

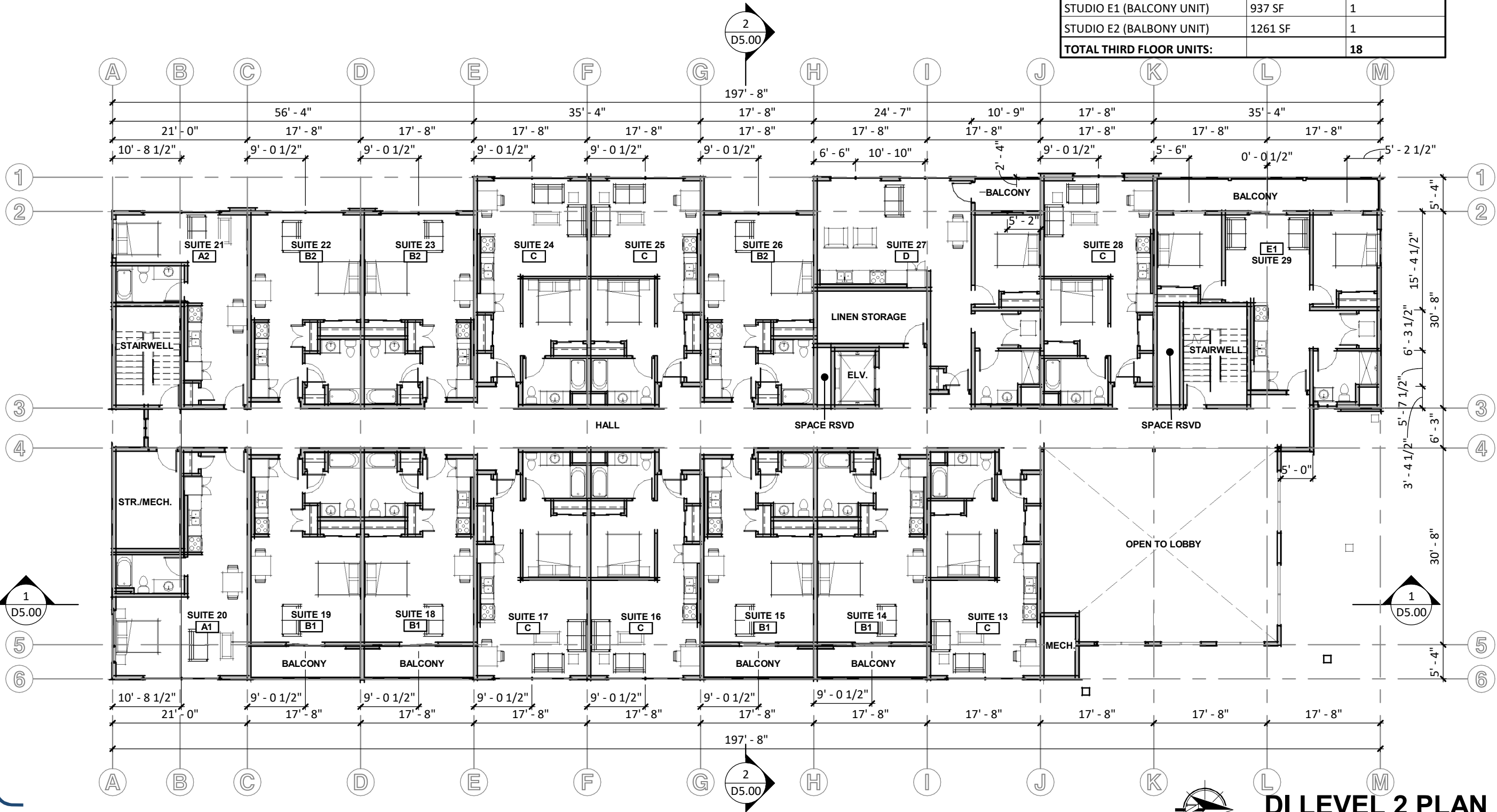
DI LEVEL 1 PLAN

1/16" = 1'-0"

2250 HWY 93 SOUTH, KALISPELL, MT. 59901 PHONE: 406-755-3208 WEB PAGE: www.jackola.com
07/14/2022



SECOND FLOOR UNIT TOTAL:		
TYPE:	SQFT:	COUNT:
STUDIO A1	538 SF	1
STUDIO A2	431 SF	1
STUDIO B1 (BALCONY UNIT)	562 SF	4
STUDIO B2	496 SF	3
STUDIO C	572 SF	6
STUDIO D (BALCONY UNIT)	870 SF	1
STUDIO E1 (BALCONY UNIT)	937 SF	1
STUDIO E2 (BALCONY UNIT)	1261 SF	1
TOTAL THIRD FLOOR UNITS:		18



STAYING AT THE RUIS

COLUMBIA FALLS, MONTANA

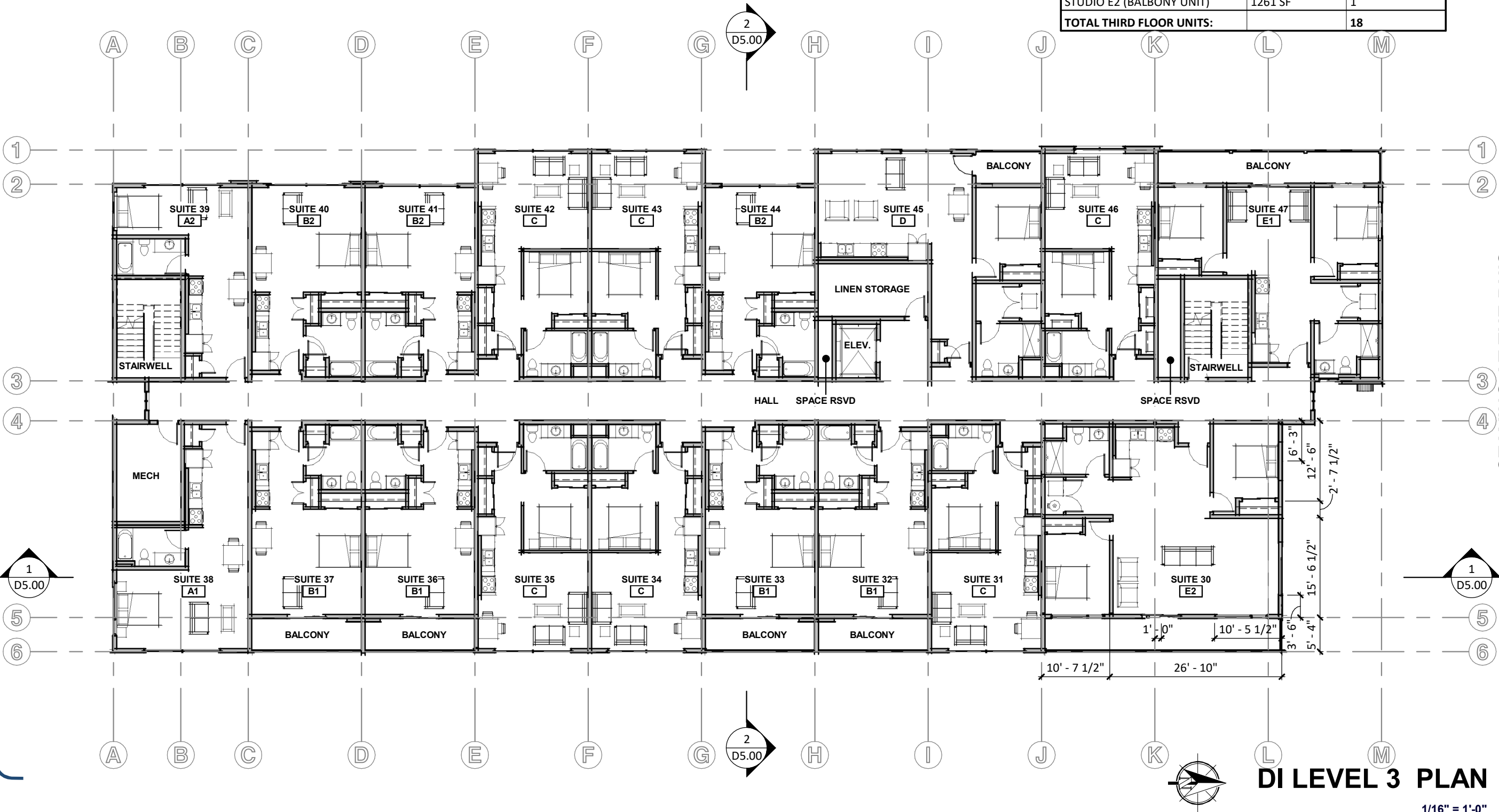
DI LEVEL 2 PLAN

1/16" = 1'-0"

07/14/2022



SECOND FLOOR UNIT TOTAL:		
TYPE:	SQFT:	COUNT:
STUDIO A1	538 SF	1
STUDIO A2	431 SF	1
STUDIO B1 (BALCONY UNIT)	562 SF	4
STUDIO B2	496 SF	3
STUDIO C	572 SF	6
STUDIO D (BALCONY UNIT)	870 SF	1
STUDIO E1 (BALCONY UNIT)	937 SF	1
STUDIO E2 (BALCONY UNIT)	1261 SF	1
TOTAL THIRD FLOOR UNITS:		18



STAYING AT THE RUIS

COLUMBIA FALLS, MONTANA

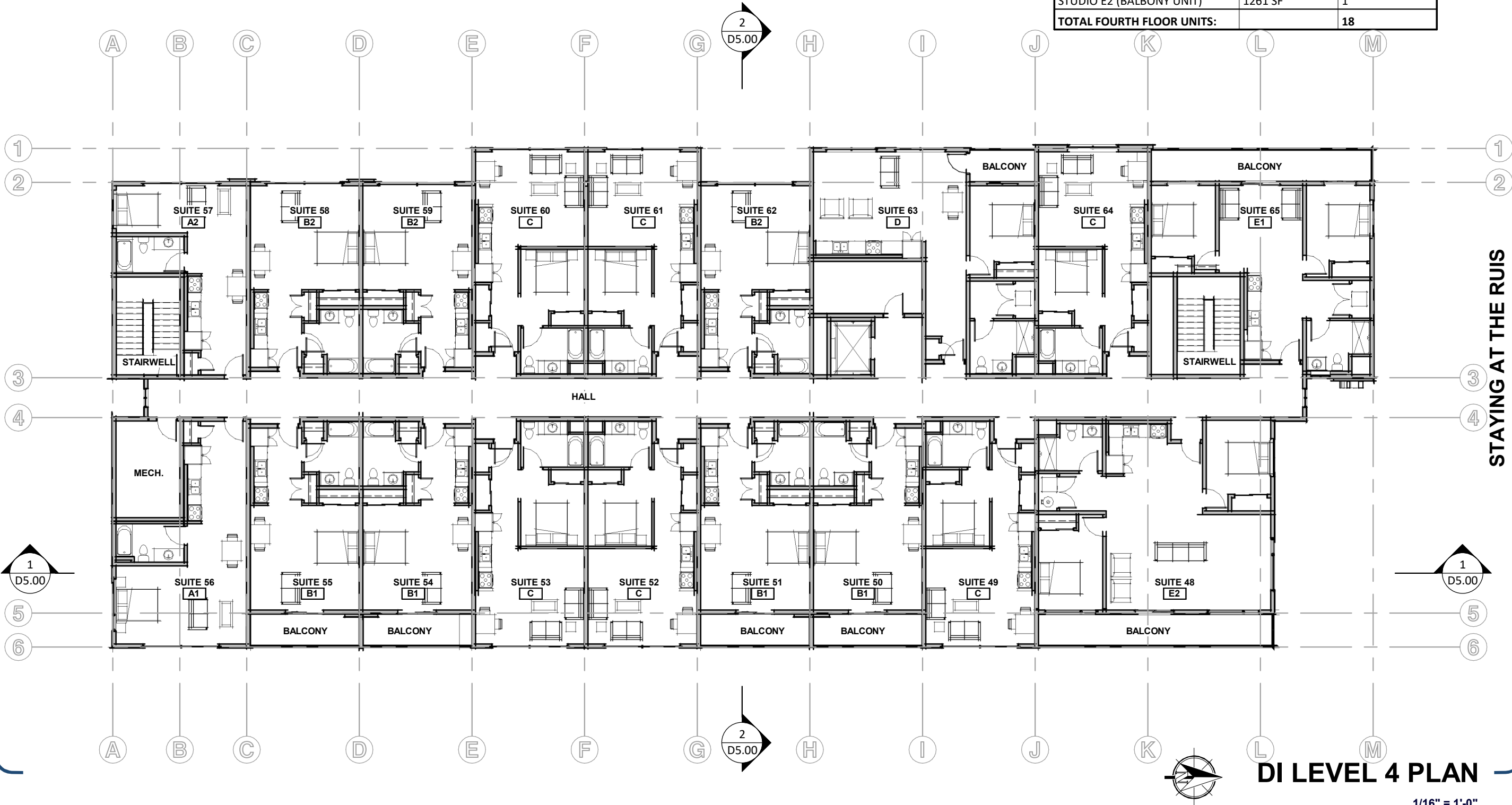


DI LEVEL 3 PLAN

1/16" = 1'-0"



FOURTH FLOOR UNIT TOTAL:		
TYPE:	SQFT:	COUNT:
STUDIO A1	538 SF	1
STUDIO A2	431 SF	1
STUDIO B1 (BALCONY UNIT)	562 SF	4
STUDIO B2	496 SF	3
STUDIO C	572 SF	6
STUDIO D1 (BALCONY UNIT)	870 SF	1
STUDIO E1 (BALCONY UNIT)	937 SF	1
STUDIO E2 (BALCONY UNIT)	1261 SF	1
TOTAL FOURTH FLOOR UNITS:		18

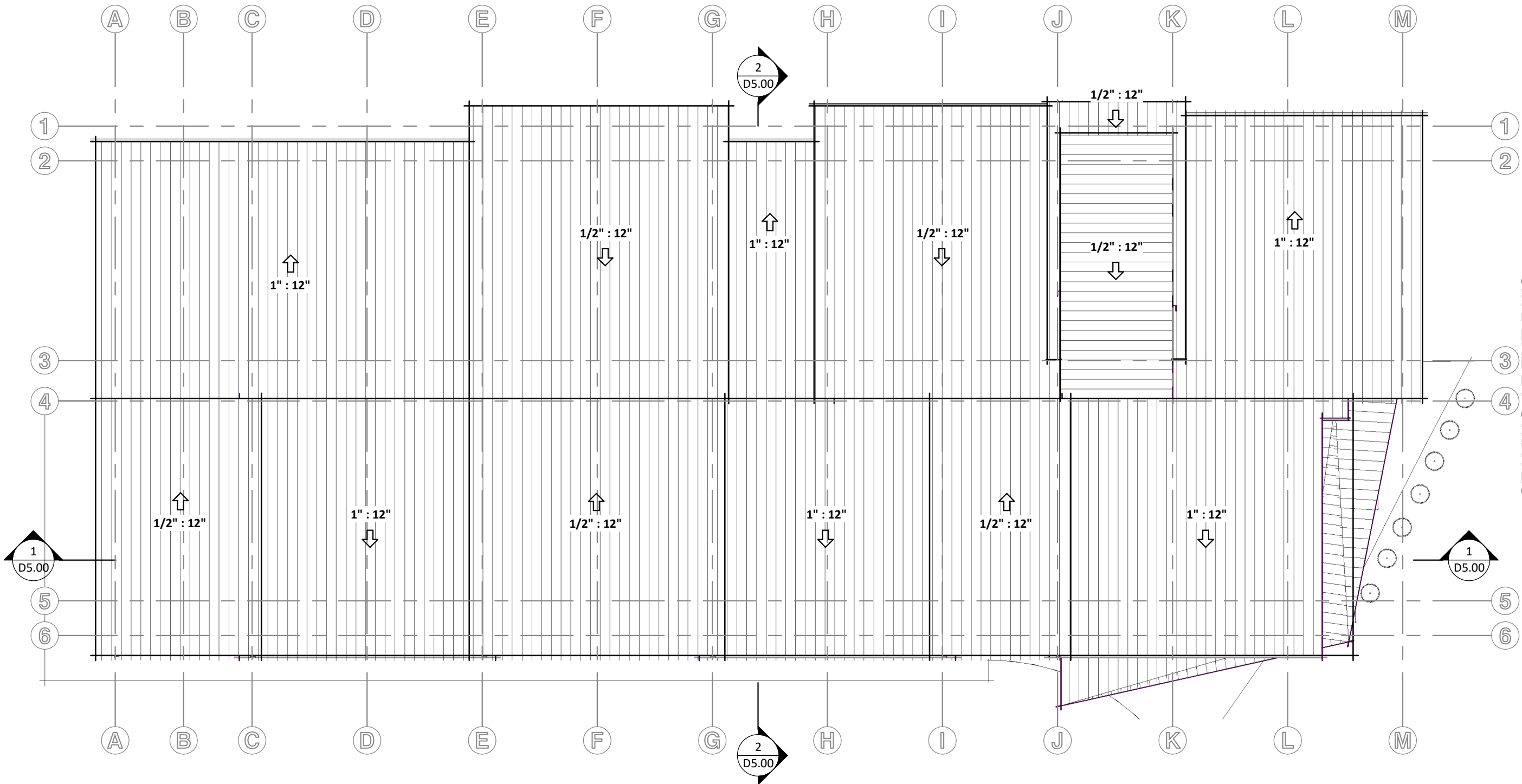


STAYING AT THE RUIS

COLUMBIA FALLS, MONTANA

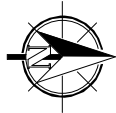
DI LEVEL 4 PLAN

1/16" = 1'-0"



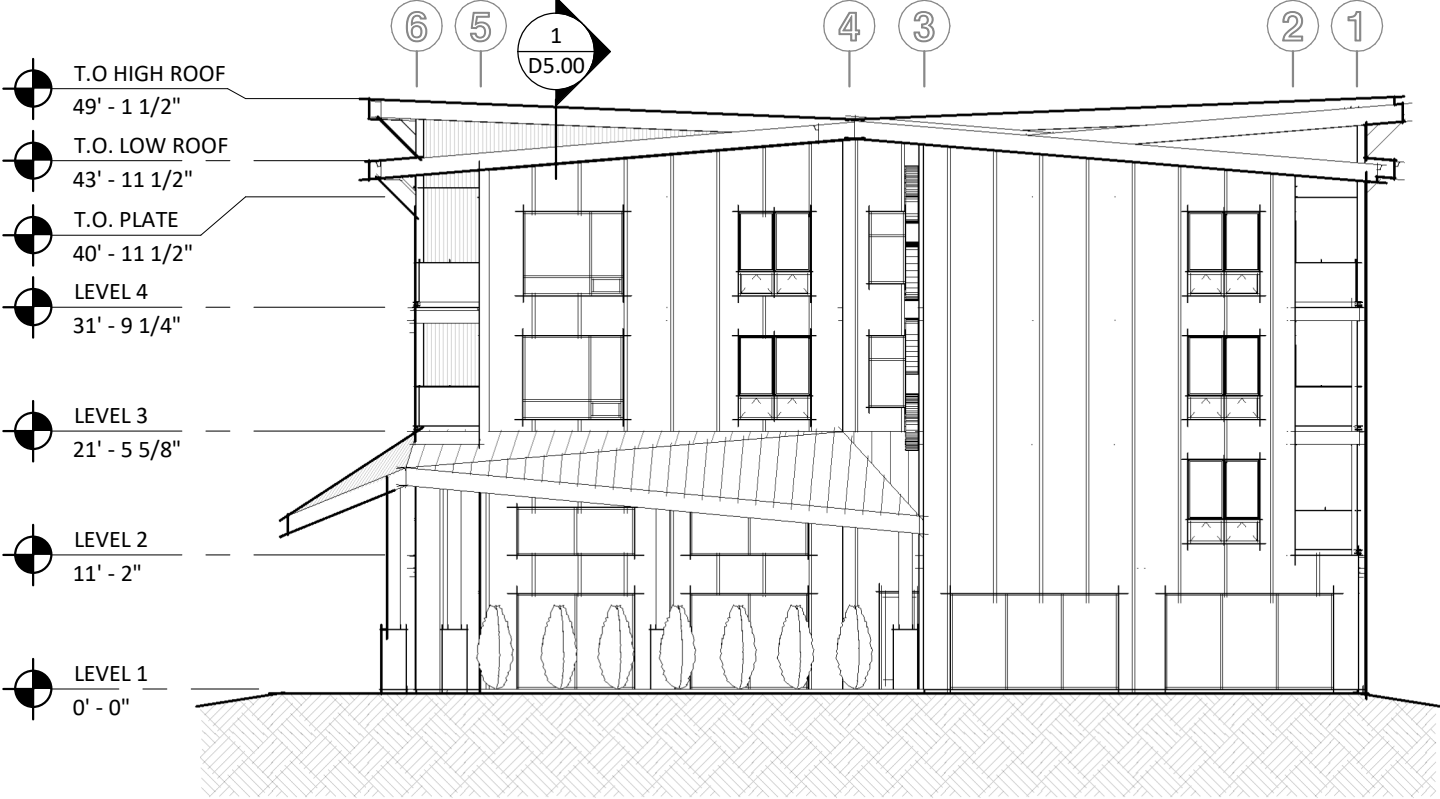
STAYING AT THE RUIS

COLUMBIA FALLS, MONTANA

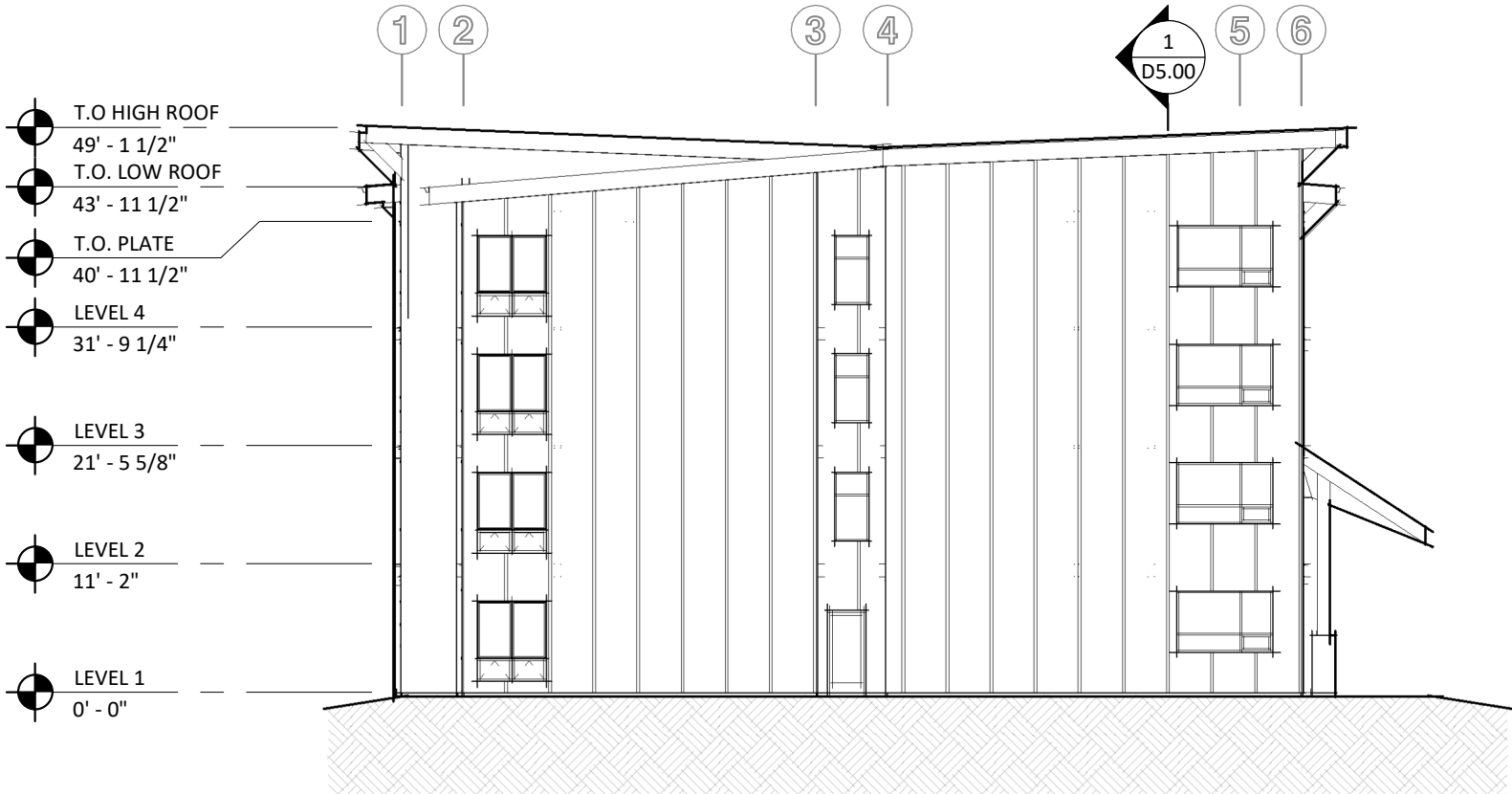


ROOF PLAN

1/16" = 1'-0"



NORTH ELEVATION DI
1/16" = 1'-0"



SOUTH ELEVATION DI
1/16" = 1'-0"

STAYING AT THE RUIIS

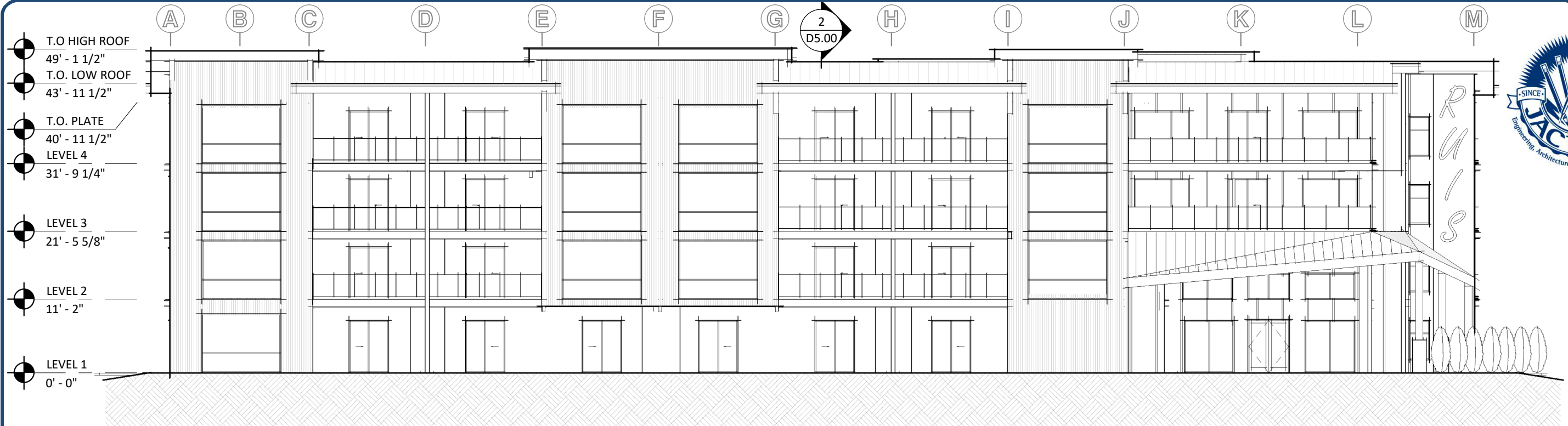
COLUMBIA FALLS, MONTANA

ELEVATIONS

1/16" = 1'-0"

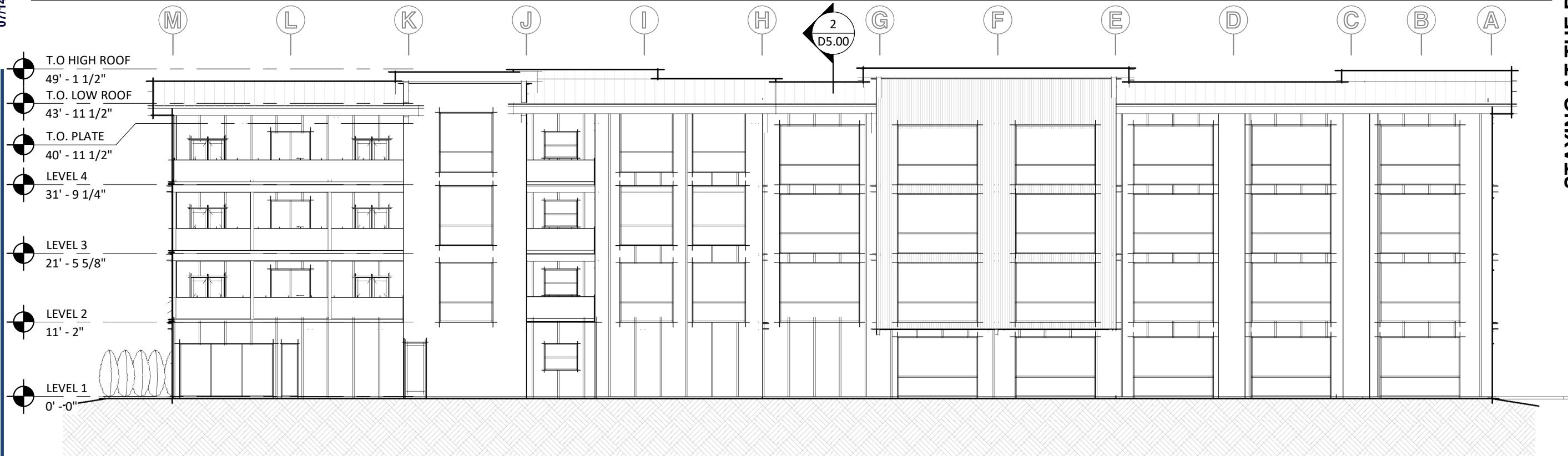
2250 HWY 93 SOUTH, KALISPELL, MT. 59901 PHONE: 406-755-3208 WEB PAGE: www.jackola.com

07/14/2022



EAST ELEVATION DI

1/16" = 1'-0"



WEST ELEVATION DI

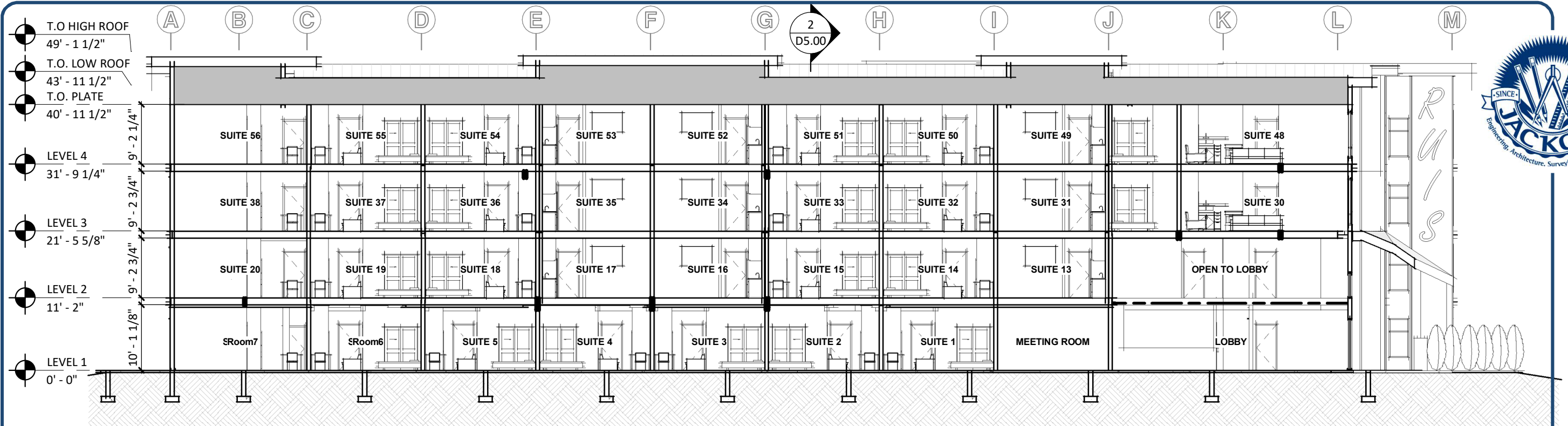
1/16" = 1'-0"

STAYING AT THE RUIIS

COLUMBIA FALLS, MONTANA

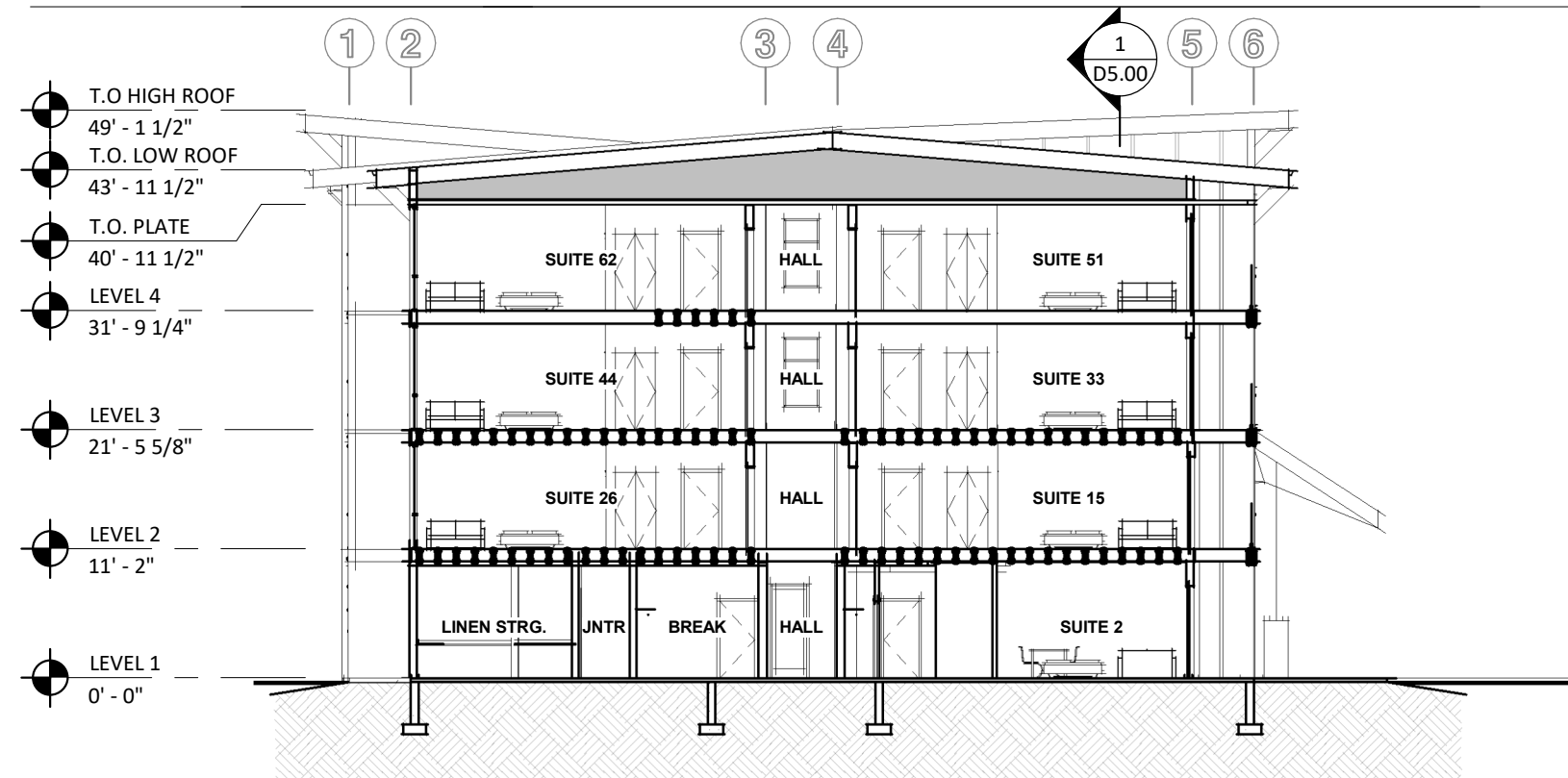
ELEVATIONS

1/16" = 1'-0"



LONGITUDINAL SECTION

1/16" = 1'-0"



TRANSVERSE SECTION

1/16" = 1'-0"

STAYING AT THE RUIIS

COLUMBIA FALLS, MONTANA

BUILDING SECTIONS

1/16" = 1'-0"



Planning Department

130 6TH STREET WEST
ROOM A
COLUMBIA FALLS, MT 59912

PHONE (406) 892-4391

FAX (406) 892-4413

Item No.7.

August 22, 2022

Re: Public hearing notice for a Planned Unit Development for 230 Highway 2 East.

Dear Adjacent Property Owner:

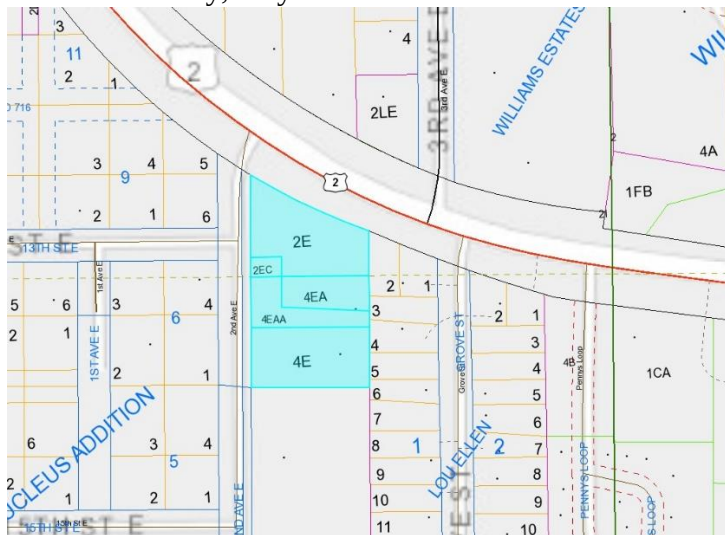
Our records indicate that you are the owner of property within 150-feet of the proposed project.

As the Planning Staff for the Columbia Falls Planning Jurisdiction, I am writing to provide you with notice of public hearings for a Planned Unit Development application. The applicant is proposing to construct a four story 65 unit hotel and is requesting the PUD in order to exceed the 45-foot height limit by five feet and reduce the landscape provisions of the large building and PUD standards.

If you have questions or comments concerning this matter, please call, visit or write me at City Hall. For written comment to be included in the Planning Board packet, it needs to be submitted to the City Clerk, 130 6th Street West, Columbia Falls, MT 59912 no later than Thursday September 8th, 2022 or by email: staalandb@cityofcolumbiafalls.com. Written or emailed comments may be provided up to 5:00 pm on the day of the hearing; it will just be emailed and/or passed out at the hearing.

Sincerely,

Eric H. Mulcahy, City Planner



CITY OF COLUMBIA FALLS
NOTICE OF PUBLIC HEARING

The Columbia Falls City-County Planning Board will hold public hearings for the following items at their regular meeting on Tuesday, September 13, 2022 at 6:30 p.m. at the Council Chambers of City Hall, 130 6th Street West, Columbia Falls, Montana. The Columbia Falls City Council will hold a subsequent hearing on October 3, 2022 starting at 7:00 p.m. in the same location.

Request for a Planned Unit Development in the Columbia Falls Planning Jurisdiction:

Mick Ruis is requesting a Planned Unit Development on behalf of HC 246 LLC in the Columbia Falls Zoning Jurisdiction. The property is located at 230 Highway 2 East in Columbia Falls and is described as Tract 1 of COS No. 3040 and Certificate of Survey No. 3778 all in Section 17, Township 30 North, Range 20 West, P.M.M., Flathead County. The applicant is proposing to construct a four story 65 unit hotel and is requesting the PUD in order to exceed the 45-foot height limit by five feet and reduce the landscape provisions of the large building and PUD standards.

Interested persons are allowed to attend the hearing(s) in person or via ZOOM. Persons are encouraged to submit written comments prior to the meeting. Written comments carry the same weight as public testimony given during the hearing. Written comments may be sent to Columbia Falls City Hall, Attention: Barb Staaland, City Clerk, 130 6th Street West, Room A, Columbia Falls, MT 59912 or via email: staalandb@cityofcolumbiafalls.com. For more information on the proposed Planned Unit Development, please call Eric Mulcahy, Columbia Falls City Planner at 755-6481. To obtain the ZOOM meeting registration, contact City Clerk Barb Staaland via email or by calling (406) 892-4391 no later than 5:30 p.m. the day of the meeting.

No. 28845

CITY OF COLUMBIA FALLS
NOTICE OF PUBLIC HEARING
The Columbia Falls City-County Planning Board will hold public hearings for the following items at their regular meeting on Tuesday, September 13, 2022 at 6:30 p.m. at the Council Chambers of City Hall, 130 6th Street West, Columbia Falls, Montana. The Columbia Falls City Council will hold a subsequent hearing on October 3, 2022 starting at 7:00 p.m. in the same location.

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email: staalandb@cityofcolumbiafalls.com. For more information on the proposed Planned Unit Development, please call Eric Mulcahy, Columbia Falls City Planner at 755-6481. To obtain the ZOOM meeting registration, contact City Clerk Barb Staaland via email or by calling (406) 892-4391 no later than 5:30 p.m. the day of the meeting.
DATED this 17th day of August, 2022

Susan Nicosia
Susan Nicosia, City
Manager/Planning & Zoning Administrator
COLUMBIA FALLS CITY-
COUNTY PLANNING BOARD

August 28, 2022
MNAXLP

STATE OF MONTANA

FLATHEAD COUNTY

AFFIDAVIT OF PUBLICATION

RICHELLE ROONEY BEING DULY

SWORN, DEPOSES AND SAYS: THAT SHE IS THE LEGAL CLERK OF THE **DAILY INTER LAKE** A DAILY NEWSPAPER OF GENERAL CIRCULATION, PRINTED AND PUBLISHED IN THE CITY OF KALISPELL, IN THE COUNTY OF FLATHEAD, STATE OF MONTANA, AND THAT **NO. 28845**

LEGAL ADVERTISEMENT WAS PRINTED AND PUBLISHED IN THE REGULAR AND ENTIRE ISSUE OF SAID PAPER, AND IN EACH AND EVERY COPY THEREOF ON THE DATES OF AUGUST 28, 2022.

AND THE RATE CHARGED FOR THE ABOVE PRINTING DOES NOT EXCEED THE MINIMUM GOING RATE CHARGED TO ANY OTHER ADVERTISER FOR THE SAME PUBLICATION, SET IN THE SAME SIZE TYPE AND PUBLISHED FOR THE SAME NUMBER OF INSERTIONS.

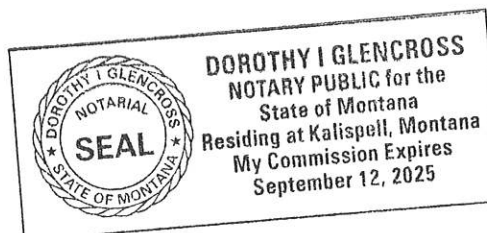
Richelle Rooney

Subscribed and sworn to
Before me this, August 29, 2022.

Dorothy I. Glencross

Dorothy I. Glencross

Notary Public for the State of Montana
Residing in Kalispell
My commission expires 9/12/2025



September 6, 2022

Members of Columbia Falls City County Planning Board
130 6th St W
Columbia Falls, MT 59912

RECEIVED

Item No.7.

SEP 09 2022

CITY OF COLUMBIA FALLS

Re: Planned Unit Development for 230 Hwy 2 East Columbia Falls MT

As a property owner on 16th street (2 blocks below Glacier Motel) I am opposed to this development

I am unable to attend the scheduled meeting on Sept 13, as I am recovering from a triple bypass.

Reasons for opposition

1. This lot is not large enough for a 65 unit 4 story hotel
2. It exceeds the maximum height limit by 5 feet
3. East side Buffer reduced from 10 feet to 3 feet - which indicates that the pine trees will be removed
4. Deviation from minimal parking area in the preliminary site plan, indicates that the hotel patrons or employees will be using Marantette parking area and leave no room for locals to park
5. Minimal community area if the Marantette parking is used by hotel patrons. This is a very active park by locals
6. This area is used by everyone to walk their dogs all around the neighborhood and traffic will endanger the dogs
7. Traffic is funneled using 2nd avenue. This new hotel will be funneling traffic onto the highway through its own entrance/exit and traffic is already an issue trying to make left turns onto oncoming highway 2
8. Mick Ruis continuously requests numerous variances and zoning changes even after approvals by the City and we end up stuck with unacceptable changes to our streets.
9. We already have 200% traffic increase to our street (16th street) from the Cedar Loop Development and with this hotel it will become even more dangerous as patrons will try to go around the residential area to avoid traffic exiting.

Let him build it on the River Road property

D. Darby
2016th St East
Columbia Falls, MT 59912

City of Columbia Falls
Planning Department
130 6th Street West
Columbia Falls, MT 59912

SEP 09 2022

CITY OF COLUMBIA FALLS

Dear ~~Editor~~ City Council

I am writing to add my voice (along with hundreds, perhaps thousands) to the proposed development on River Road. To name a few of the monstrosities that Mayor Mick of Ruis-ville has made happen was the Cedar Creek Hotel because we "needed" it. But this, like all of his boring buildings it is 3 stories and from the third level you have a good view of the swimming pool below (city public pool) and pedophiles can see the children below. Another thing, the hotel has eliminated the kids' winter sledding hill.

Next, where the Bandit used to be is the Gunsight - you guessed it - 3 stories and condos - no more Bandit.

Then there's another 3-story condo building next to the Columbia bar, previously part of the merc. store.

Then where the Dahl Building used to be is probably the most hideous of all - 3-story condos only.

Now, as proposed will cover the entire block from 6th to 5th bordering Nucleus. Oh dear, 3-stories and more condos.

Last, at least for the time being is the huge development on River Road.

Has any one checked with the Fish and Department? This open space habitat for deer, fox, geese, elk, pheasant and wild turkeys. This new construction will push them out and where will ^{they} be pushed to? The highway.

Isn't it about time for mayor mick to cool his jets and ^{you} hold up on issuing more permits - enough already!! This town can't afford or support any more!! You ask for public comment and then pay no attention - listen to us or not. Live here.

year round, not just in the summer when it usually doesn't snow. Also I'm not sure if people know that Ruiz is not "from here", he's from southern California - explains alot doesn't it?

Now a new 4-story hotel - we DO NOT need or want it! Why don't you listen?!!

Marsha Palmer

153 Hellman Lane

Columbia Falls, MT 59912

Barb Staalnd

From: Judy Territo <judyterrito@gmail.com>
Sent: Thursday, September 8, 2022 12:50 PM
To: staalndb@cityofcolumbiafalls.com
Subject: Public comment regarding 230 Hwy 2 E
Attachments: 230 Hwy 2 East - Public comment.pdf

Attached is my letter of opposition to the changes to the requested PUD. Please consider this as 2 opposing points of view since the letter is from both my husband and myself.

Thank you.

Judy Territo
(406)212-0098

**Chuck & Judy Territo
PO Box 644
Columbia Falls, MT 59912
406-212-0098 (cell)**

RECEIVED
SEP 06 2022
CITY OF COLUMBIA FALLS

September 8, 2022

RE: 230 Hwy 2 East & requested change

Dear Mr. Mulcahy:

My husband and I own the property directly east to the address above (270 Hwy 2 East). We both strongly oppose the request to change the PUD to exceed the 45-foot height limit and the reduction of the landscape provision again changing the PUD standards.

When we built our building we had to adhere to all the PUD standards. A standard is a standard and should be honored in all situations. No exceptions should be made because of status & standings with the City Council.

This area is full of residences and the Marantette Park and is not appropriate for a full size hotel.

We also opposed the changing of CB-1 to a CB-2. The Council seems to allow any changes Mr. Ruis seems to want without regard to the citizens of Columbia Falls. The 2 buildings he has built on Nucleus Avenue & the apartment building just off of Nucleus are an eyesore and should never have been allowed.

Thank you for your "NO" vote on September 13th.

Judy Territo
**Judy Territo
406-890-5311**

Chuck Territo
**Chuck Territo
406-212-0098**

Barb Staaland

From: Dee Brown <mtbrowns@yahoo.com>
Sent: Wednesday, September 7, 2022 6:34 PM
To: staalandsb@cityofcolumbiafalls.com
Subject: Ruis hotel proposal

RECEIVED
SEP 08 2022
CITY OF COLUMBIA FALLS

There has always been a hotel there, I get it. Mr. Ruis, however, wants to change planning in order to accomplish a 'bigger, spiffier' hotel for the site. Why? If he was going to actually be the proprietor I could understand but like all of his previous properties in town it's an attitude of 'buy, build, flip'. Let's stop this attitude that takes advantage of small neighborhoods in town and morphs it into something unrecognizable. Perhaps it's time for him to conform, rather than the city rolling over and conforming to his wishes.

Thanks for your due diligence on this. I could go on and on about taxpayers picking up the bill for added protection, parking at the park across the road, safety issues with misalignment of roads in the area, etc.

Like I said a few years ago, please put a covenant on these properties to not flip them to VRBOs or nightly rentals like is being done uptown. We will never have affordable properties in town until it becomes standard practice.

Thanks,
Dee Brown
1550 Riparian Drive property owner

RECEIVED

SEP 07 2022

CITY OF COLUMBIA FALLS

September 6, 2022

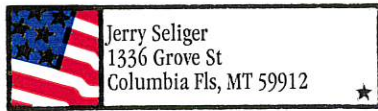
TO: Members of the Columbia Falls City-County Planning Board

RE: Planned Unit Development for 230 Hwy 2 East, Columbia Falls, Montana

AS AN ADJACENT PROPERTY OWNER, WE ARE OPPOSED TO THIS DEVELOPMENT

1. The applicant is proposing to construct a 65 unit 4 story hotel on an area of 1.106 acres.
2. This lot is not large enough for a 65 unit 4 story hotel.
3. Exceed the maximum height limit by 5' to 50'
4. East side buffer reduced from 10' to 3' – meaning the pine trees will be removed.
5. Highway buffer reduced from 10' to ZERO.
6. Deviation from 15% landscape area to very minimal – almost nothing.
7. Deviation from minimal parking area (see details in preliminary site plan) – meaning hotel patrons or employees will be parking at Marantette Park parking area.
8. Deviation from 2nd Ave E buffer – from 10' to ZERO.
9. No bicycle path.
10. Minimal community area – the plan is to utilize the Marantette Park for Hotel patrons use.
11. Does our fire department have the ability to reach the top floor of a 4 story hotel or will we need to purchase a bigger ladder truck?
12. Currently traffic from Glacier Inn primarily uses 2nd Ave. The new hotel will primarily be funneling traffic onto the highway through its own entrance/exit. Traffic is already an issue with Grove St/3rd Ave not aligning – now you would be adding one more entrance/exit along with 2nd Ave and Iron Fitness. A HUGE SAFETY ISSUE
13. Mick Ruis continues to request numerous variance and zoning changes to construct what HE wants for the City of Columbia Falls. What is the purpose of having a Growth Policy with guidelines if the Planning and Zoning Board and the City Council continue to approve whatever Mick Ruis requests. WHAT ABOUT WHAT THE CITIZENS OF COLUMBIA FALLS WANT!

Sincerely,
Judy del Perry
406 - 253-8781



September 6, 2022

TO: Members of the Columbia Falls City-County Planning Board

RE: Planned Unit Development for 230 Hwy 2 East, Columbia Falls, Montana

RECEIVED
SEP 07 2022
CITY OF COLUMBIA FALLS

AS AN ADJACENT PROPERTY OWNER, WE ARE OPPOSED TO THIS DEVELOPMENT

1. [REDACTED]
2. [REDACTED]
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From: DC Darby <dcdisneydarby@gmail.com>
Sent: Tuesday, September 6, 2022 10:20 AM
To: staalandb@cityofcolumbiafalls.com
Subject: Planned Unit Development for 230 Hwy 2 East Columbia Falls MT

Re: Planned Unit Development for 230 Hwy 2 East Columbia Falls MT

As a property owner on 16th street (2 blocks below Glacier Motel) I am opposed to this development

I am unable to attend the scheduled meeting on Sept 13, as I am recovering from a triple bypass.

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Let him build it on the River Road property

Barb Staaland

From: Betty Kroger <bltkroger@gmail.com>
Sent: Tuesday, September 6, 2022 4:28 PM
To: staaladb@cityofcolumbiafalls.com
Subject: Ruiz petition

It appears that the petitioner is not considering the inconvenience to potential renters, in not considering there needs for parking. Are these low income apartments that will be affordable? We again do not have the infrastructure in the city of Columbia Falls. Our county commissioners have shown no support for the sheriff dept. for funding. We are not in support of the request.

Sent from my iPad=

Barb Staaland

From: Melody Ward <melodyward90@gmail.com>
Sent: Sunday, September 11, 2022 8:17 PM
To: staalamb@cityofcolumbiafalls.com
Subject: Opposition to Ruis Hotel Project

RECEIVED
SEP 12 2022
CITY OF COLUMBIA FALLS

Columbia Falls Planning Board

RE: Ruis Hotel Project

We are writing in opposition to the proposed hotel by Mr. Ruis.

The submitted design of a 4-story hotel is completely out of character with the traditional buildings in Columbia Falls. A smaller, modest hotel would better suit the site Mr. Ruis has selected. We are also concerned that a deviation from the current zoning building height restriction, will lead to more requests for the same deviation approval. Will he also request a deviation later for the location of the existing motel?

We are also concerned with his request to reduce the amount of landscaping the current zoning dictates. The landscaping will help keep a friendly environment consistent to our town. We would encourage the board to continue to uphold these restrictions along the Highway 2 corridor.

There is also concern that sufficient parking has not been planned for. If there is 1 parking space per room and 1 for every 2 staff on shift, where will they put the snow come winter? Granted they may not be fully booked, if they are, where will people park? The street? The parking lot for Marantette Park? Along the highway? It also appears that an assumption has been made that staff will carpool to work. That is something that we have rarely seen done in Columbia Falls.

The drafted plan for the rooms indicates that they will all have a kitchenette which will encourage long term stays at the hotel. Is there a limit to the length of stay allowed? We would not want this to turn into something similar to the Outlaw Inn in Kalispell.

In short, this project is completely out of character for our area and the board should deny all requests for zoning deviations.

Sincerely

Gerald & Melody Ward

Barb Staaland

From: Hilarey Benda <hilareybenda@gmail.com>
Sent: Sunday, September 11, 2022 9:52 PM
To: staalandb@cityofcolumbiafalls.com
Subject: OPPOSITION LETTER: PUBLIC HEARING 09/13/2022, 6:30PM

RECEIVED
SEP 12 2022
CITY OF COLUMBIA FALLS

To: Members of the Columbia Falls City-County Planning Board
Re: Planned Unit Development for 230 Hwy. 2 East, Columbia Falls, MT 59912

I write today as an adjacent property owner who is opposed to the planned unit development at 230 Hwy. 2 East in Columbia Falls, Montana.

Listed below are the reasons for my opposition:

- 1) The proposed lot of 1.106 acres is too small for construction of a 65-unit, four-story hotel.
- 2) Construction of this building exceeds the maximum height limit while also reducing the East side buffer, which will lead to Pine trees being cut down.
- 3) There will be no Highway buffer and decreased landscape.
- 4) Overcrowded parking area and increased traffic congestion.
- 5) No bike path.
- 6) Taking community resources away by utilizing Marantette Park for overflow hotel parking.
- 7) Increased noise having a 65-unit hotel adjacent to my home.
- 8) Increased safety issues for vehicles and pedestrians from the added congestion and increased traffic.

In summation, I am **OPPOSED** to the construction of the planned unit development at 230 Hwy. 2 East in Columbia Falls, Montana.

Sincerely,

Hilarey Benda
1420 Grove Street
Columbia Falls, MT 59912

CALL TO ORDER AND ROLL CALL:**Smith called Meeting to order at 6:32 PM****PRESENT**

Smith, Nelson, Byrd-Rinck, Lundgren, Shepard (via Zoom), Singer (via Zoom)

ABSENT

Vukonich, Duffy, Kavanagh

Also present: City Manager Susan Nicosia, Contract Planner Eric Mulcahy, City Attorney Justin Breck, Public Works Clerk/GIS Technician Caleb Sobczak

APPROVAL OF MINUTES:

Approval of August 9th, 2022 Regular Meeting Minutes

Motion made by Nelson to approve the August 9th, 2022 minutes as presented, Seconded by Lundgren. Motion carried with all present voting Aye: Smith, Nelson, Byrd-Rinck, Lundgren, Shepard, Singer

VISITOR OR PUBLIC COMMENT: (An opportunity for the Public to comment on any items not on tonight's agenda)

No public comment.

PUBLIC HEARINGS AND ACTION:

Acting Chairman Smith read the Planned Unit Development hearing notice: Mick Ruis is requesting a Planned Unit Development on behalf of HC 246 LLC in the Columbia Falls Zoning Jurisdiction. The property is located at 230 Highway 2 East in Columbia Falls and is described as Tract 1 of COS No. 3040 and Certificate of Survey No. 3778 all in Section 17, Township 30 North, Range 20 West, P.M.M., Flathead County. The applicant is proposing to construct a four story 65-unit hotel and is requesting the PUD in order to exceed the 45-foot height limit by five feet and reduce the landscape provisions of the large building and PUD standards.

Contract Planner Eric Mulcahy presented Staff Report # CPUD-22-03 to the Board reviewing each of the Findings of Fact. Mulcahy noted that the applicant was requesting two deviations: 45' Height to 50' to allow for roof articulation and Perimeter landscape buffering reduction from 10' to 3'. The Staff report recommended approval of the height deviation but not the landscaping deviation. Staff recommended approval of the PUD with 11 Conditions.

Acting Chairman Smith asked the Board if they had any questions for staff. Shepard had a question for staff wondering how long Columbia Falls has had a height restriction. Staff answered that the first regulations are referenced in 1955 but the current regulations have been in place since 1989. Mulcahy noted that height limits have since increased in Whitefish and Kalispell with the addition of equipment such as ladder trucks, fire sprinkling and modern building materials.

Smith asked how many parking spaces are provided. Mulcahy noted that the applicant is proposing 68 parking spaces which comply with the parking requirements for the hotel. Smith also wondered if these will be long term rentals. Eric Mulcahy answered that it is a hotel so they will be short term rentals.

Byrd-Rinck asked if this could be considered a VRBO. Mulcahy answered no, it is a hotel it is intended to operate like other hotels.

Lundgren asked how many parking spaces we normally require. Mulcahy answered 1 space per unit and 1 space per 2 employees on shift.

Singer, how large are the units? Mulcahy, mostly 1-bedroom but there are 2-bedroom units. The applicant can answer that question better.

Acting Chairman Smith asked if the applicant wished to report to the Board at 6:49 PM. Shane Jackola with Jackola Engineering stated he was present to represent the applicant. He stated that they are in agreement with staff's recommendations.

Acting Chairman Smith asked if the Board had any questions for the applicant. Singer asked her original questions on what size are the units. Mr. Jackola stated that they are mostly studios with a few 1-bedroom units and a handful of 2-bedroom units. All units are extended stay units and have a kitchenette in the room. Singer asked if there will be an office on site like a hotel lobby check-in. Yes, there will be a drop-off, a lobby, a check-in, a fitness room and laundry just like a regular hotel. Singer, remembers reading that there will be a continental style breakfast. To Mr. Jackola's knowledge the applicant is not committed to serving breakfast, the intent is for people to go out to eat or use the kitchenettes. Singer asked if there are elevators. Jackola indicated that there is one elevator in the building. Singer wondered if the elevator is the reason, they are asking for the extra 5 feet of height. Mr. Jackola said yes, with an elevator you need to have an area of refuge on the top for anyone working on the elevator, this is part of the reason. The other part of the height increase is it allows them to articulate the roof line instead of just a flat roof.

No other questions were asked of the applicant's technical representative.

Acting Chairman Smith opened the Public Hearing at 6:53 PM.

Jana Iverson, 412 2nd Avenue W, Columbia Falls. She stated that she was under the assumption that this was an apartment building not a hotel due to the newspaper article. Mulcahy said that he does not know what was in the newspaper but the application that was submitted said hotel as well as the staff report.

Hannah Hill, 1013 E 7th Street, Whitefish, representing the owner, stated that the applicant is proposing a hotel. Daily Interlake noted that Ruis would be offering extended work-force housing if needed, for traveling nurses or teachers for example, and that is why they wanted to put kitchenettes in; it will be built and operated as a hotel. Lundgren noted that the original hotel is going to be used for employee housing and the new project has always been and will be a hotel. Mulcahy said that the applicant verified that they are using it for their workers but it is still a hotel and will operate it as one.

Lori Gaye, 674 12th Avenue WN, Columbia Falls. Question regarding traveling nurses and teachers staying there, it is not a hotel it is long-term housing needs, conflicting with the hotel. Mulcahy answered that in any hotel there are no regulations that specify length of stay or that customers can't stay for longer periods. Mulcahy noted that there are hotels all over the Flathead that rent out for longer periods but it is still a hotel and operates as one.

Vicki Brown 385 Badrock Drive, Columbia Falls. Stated that she feels deceived by this application as she was at the July meeting where the zoning change was requested and this 65-unit hotel is more than she contemplated. Understands the need for a hotel and understands that the zoning allows for a hotel but it seems like there is always a request for variances. Zoning parameters are there for a reason and planning should look at the planned structures so that they fit. This planned structure does not, stop approving variances. Approve this building only when it conforms to zoning parameters.

Will Hammerquist, 57 Cedar Pointe Loop, Columbia Falls. Everything is coming in with a variance. Spends a lot of time at the adjacent park and does not want people throwing rooftop parties when he is there with his kids. The parking does not add up when some rooms are double rooms, employee parking was not included. Pedestrian issue, needs overpass for pedestrians to get across Highway 2. Sees this as a degradation to Marantette Park, everyone will just use the park. T

Debbie Evans, 1206 2nd Avenue W, Columbia Falls. Opposes the asking of variances. Lives by Cedar Creek Lodge and they get a lot of human traffic enjoying the river. A lot of these people are under the influence and they could go into the park where the kids are and she does not like that. Wondering if this will turn into a permanent residence later on.

Lori Gaye, 674 12th Avenue WN, Columbia Falls. Curious in the last 5 years have the number of variance requests increased? City Attorney Justin Breck answered no they have not increased. Ms. Gaye also wondered why have the standards and rules if they are never going to enforce them? Breck answered that this is what the due process is for, variances are allowed if approved by the board. Ms. Gaye stated that it seems that the plans are approved with little variances and as they proceed more variances come in. Variances seem to be getting bigger with every build. Understands there has to be growth but we are losing the small-town spirit.

Rick Burrell, 117 Larch Hill Drive, Columbia Falls. The proposed hotel does not fit in to the surroundings. There will be more than 1 vehicle per unit especially if they are long-term. Wants to see the current Ruis project finished before another is started. Opposed to the current plan, it needs to be scaled down. It will start out as one thing and will change to something else.

Clarence Taber, 24 Taber Lane, Columbia Falls. Does this building front Highway 2? Mulcahy answered yes. Taber, is it within city limits? Mulcahy, yes. Taber, does it have a basement of any kind? Mulcahy, not on the plans. Taber, the old restaurant had a basement. Taber, does the back of the building face the west? Breck requested that Mr. Taber address his comments to the Board as we are in the middle of a public hearing. Nelson answered that the west side of the building is the back. Taber stated that he would like to see it front the highway so you do not block the view of the mountains.

Judy Del Perry, 1425 Grove Street, Columbia Falls. It will be almost impossible to get out of Highway 2 especially in tourist season. With the County growing and more tourists traffic is getting worse. With variances the parking lot will be 3 feet from her neighbor's house.

Jana Iverson, 412 2nd Avenue W, Columbia Falls. Columbia Falls being called little Whitefish or Helena. This should show the council something of what the people feel. A 4-story building there is a waste and he will flip it. Reconsider this proposal.

Judy Del Perry, 1425 Grove Street, Columbia Falls. Staff is not agreeing with landscape variance then there would not be enough parking area.

Clarence Taber, 24 Taber Lane, Columbia Falls. Could favor this if the building could front the highway, stay within required heights and could put a basement in so it is not as tall.

Acting Chairman Smith closed the Public Hearing at 7:19 PM

Nelson question for City Manager Susan Nicosia with the resort tax every property owner in Columbia Falls would be getting a tax refund? Nicosia answered in the affirmative.

Chris Peterson, 80 13th St E, Columbia Falls. Not opposed to hotel but is making a proposal that the landscaping have a buffer of trees so when you are at the Veterans' Wall you are not looking into the windows of a hotel. His suggestion is that you require some sort of a buffer between the hotel and Highway 2 so we can extend those trees out.

Lundgren made a motion for an amendment that they require 10 more parking spaces for employees. Mulcahy answered that the Board does not have the ability to do that as the applicant is meeting the hotel parking standards and the Board cannot require them to have more parking than required in the regulations.

Shepard proposed a motion to amend the Conditions to require a buffer of trees on the west side of the building to the north of the existing ponderosas that extends the entire length of the back of the building. Mulcahy stated that this can be done by the Board. You can add additional buffering or landscaping. If you follow the recommendation to require the 15% of landscaping, the owner will have to shrink the building to accommodate the additional 7.5%. Motion seconded by Nelson. Motion carried with voice vote, all voting aye.

Motion made by Byrd-Rinck to adopt Staff Report # CPUD-22-03 as Findings of Fact with amendment. Seconded by Shepard. A roll call vote was performed. Ayes: Nelson, Lundgren, Shepard, Singer. Nays: Smith, Byrd-Rinck. Absent: Vukonich, Duffy, Kavanagh. Motion passes with a 4 to 2 vote.

Motion made to recommend approval of PUD with 12 conditions to City Council by Nelson. Seconded by Lundgren. A roll call vote was performed Ayes: Nelson, Lundgren, Shepard, Singer. Nays: Smith, Byrd-Rinck. Absent: Vukonich, Duffy, Kavanagh. Motion passes with a 4 to 2 vote.

ADJOURNMENT – Meeting duly adjourned at 7:30 PM

Chairman

Attest:

Public Works Clerk

CITY OFCOLUMBIA FALLS
REQUEST FOR WATER/SEWER SERVICE

DATE: September 30, 2022

OWNER NAME: D'Aign James Dobson

ADDRESS: PO Box 2673

Columbia Falls, MT 59912-2673

LEGAL DESCRIPTION: Assessor # 0415050, Lot 6, Block 9, Traceys Aluminum City
Subdivision, in Section 4, Township 30 N, Range 20 W, P.M.M., Flathead County, more
commonly known as 1281 14th Street E.N.

DESCRIPTION OF SERVICE REQUEST: Water Service – approximately 280 lf of 6” water
main and related infrastructure including one fire hydrant.

The undersigned owner is hereby requesting the Water and/or Sewer Service as described above
and agrees to submit the required Waiver of Protest to Annexation and Waiver of Protest to
Creation of Special Improvement Districts. Owner further agrees to construct the required
infrastructure pursuant to MT DEQ and Columbia Falls Public Works Standards.

Owner Signature

Date

To be completed by City:

Date Extension(s) approved by City Council:

Date approved by MT DEQ:

Date of Final Acceptance by City:

FIRST READING

ORDINANCE NO.821

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF COLUMBIA FALLS, MONTANA, AMENDING THE COLUMBIA FALLS ZONING MAP TO ALLOW THE DEVELOPMENT OF A PLANNED UNIT DEVELOPMENT (PUD) OVERLAY AT 230 HIGHWAY 2 EAST DESCRIBED AS TRACT 1 OF COS NO. 3040 AND COS NO. 3778 IN SECTION 17, TOWNSHIP 30 NORTH, RANGE 20 WEST, P.M.M., FLATHEAD COUNTY, MONTANA.

WHEREAS, Mick Ruis on behalf of HC 246 LLC, owner of the real property, has requested an amendment to the Columbia Falls zoning map to allow the development of a Planned Unit Development (PUD) overlay on property zoned CB-2 General Business located at 230 Highway 2 East described as Tract 1 of COS No. 3040 and COS No. 3778 in Section 17, Township 30 North, Range 20 West, P.M.M., Flathead County, Montana.

WHEREAS, the Columbia Falls Planning Department, on September 6, 2022, in Staff Report CPUD-22-03, recommended approval of the requested Planned Unit Development (PUD), subject to certain conditions; and

WHEREAS, said request was considered by the Columbia Falls City-County Planning Board in a public hearing at its regularly scheduled meeting on September 13, 2022, at which the Board adopted Staff Report CPUD-22-03, as amended, and recommended approval of the Planned Unit Development (PUD) subject to certain conditions as shown in Exhibit A; and

WHEREAS, a hearing on the Planned Unit Development (PUD) was held by the City Council of the City of Columbia Falls, Montana, at its regular meeting on Monday, October 3, 2022, after said hearing was advertised according to law; and at said hearing on said date, the City Council considered the recommendation of the Planning Board, the report of the Columbia Falls Planning Office, together with any and all comments filed or voiced with respect to said change; and

WHEREAS, the City Council has determined that the PUD request, subject to certain conditions, is in the best interest of the City and that the unique character of the property justified approval of a PUD of less than two acres.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF COLUMBIA FALLS, MONTANA AS FOLLOWS:

Section One. Findings of Fact: That the Columbia Falls Planning Office Report #CPUD-22-03, dated September 6 2022 and as amended by the Planning Board on

September 13, 2022, is hereby adopted by the Council as findings of fact with respect to said PUD request.

Section Two. Change in Zoning Classification: That the requested Planning Unit Development (PUD) overlay on property presently zoned CB-2 General Business will allow a building height of 50' feet to provide an articulated roofline at 230 Highway 2 East described as Tract 1 of COS No. 3040 and COS No. 3778 in Section 17, Township 30 North, Range 20 West, P.M.M., Flathead County, Montana.

Section Three. All documents included in the site plan and the recommendation of the Columbia Falls Planning Office is hereby incorporated by reference and the Conditions are shown in Exhibit A.

Section Four. The Council finds that the proposal complies with Chapter 18.428 of the Columbia Falls Area Zoning Regulations, and that the height deviation results in a more attractive building, allowing for architecture.

Section Five. Inconsistent Provisions: All ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section Six. Severability: The provisions of this Ordinance are severable. If any provision of this Ordinance is held invalid, such invalidity shall not affect other provisions or applications of this Ordinance which can be given effect without the invalid provision.

Section Seven. Effective Date: This Ordinance shall become effective thirty (30) days after its final passage and approval by the City Council of the City of Columbia Falls, Montana.

PASSED AND APPROVED BY THE CITY COUNCIL OF COLUMBIA FALLS, MONTANA THIS ____ DAY OF OCTOBER, 2022, THE COUNCIL VOTING AS FOLLOWS:

AYES:
NOES:
ABSENT:

City Clerk

APPROVED BY THE MAYOR OF COLUMBIA FALLS, MONTANA THIS ____ DAY OF OCTOBER, 2022.

Mayor

ATTEST:

City Clerk

EXHIBIT A

1. The Ruis Holding PUD will allow the following deviations:
 - a. Building Height – The maximum building height is 48-feet at the top of the gable.
 - b. Landscape Buffer - The projection on the west side of the building (approximately 35-feet) may encroach within five feet of the western property boundary.

Staff is not recommending approval of the deviation to the 15% landscaping.
2. The City Council Approves the PUD application of less than 2 acres
3. The project shall be built in substantial compliance with the submitted “Staying at the Ruis Hotel” application and all accompanying drawings, as prepared by Jackola Engineering and Architecture except as modified by these conditions.
4. The fire department shall approve the turning radius of the parking lots along with any new fire hydrant placement. The applicant shall provide access to the roof by a man door approved by the Fire Chief
5. Public Works requires the sewer main and water service be moved to the Highway right-of-way or other approved location. Public Works and MT DEQ will approve the sewer and water main specifications.
6. Landscaping and landscaping features will generally follow the PUD plan with the understanding that the PUD plan is not a detailed Landscaping Plan. The applicants shall provide the City Manager a detailed Landscape plan, in compliance with the landscape provisions of the “Large Building Standards”. The landscape plan shall be approved and the landscaping installed prior to the issuance of an occupancy permit. If, due to weather, the landscaping cannot be completed prior to occupancy, the applicant may enter into a developer’s agreement with the City of Columbia Falls and provide a security (bond or letter of credit) in the amount of 125% of the landscape improvements. The security amount will be determined by actual bid or licensed engineer. The developer’s agreement will not be for longer than six months.
7. The developer of the hotel shall install curb, gutter and sidewalk for the frontage along Second Avenue East. The applicant may run a portion of the sidewalk along the curb in order to preserve the Ponderosa trees on the west side of the property.
8. The City staff will review the sign permit application for compliance with the standards of the Columbia Falls Zoning Regulations prior to issuing a sign permit.
9. Any RTU will be screened by the parapet or similar screening so that it is not visible from the public.
10. The lighting details will be reviewed at the building permit stage to ensure that they comply with the 18-foot height standards and that all lighting has full cut off and/or opaque shields.
11. All conditions of the PUD shall be complied with prior to the issuance of the occupancy permit or otherwise addressed as provided for in this PUD.

12. The owner shall install a tree buffer on the entire length of the west side of the building visible to Marantette Park.

**CITY OF COLUMBIA FALLS
CORRESPONDENCE LIST
COUNCIL MEETING
Oct. 3, 2022**

09/16/2022 – Letter from DEQ RE: failure to Report Monitoring Results for MPDES permit: COLUMBIA FALLS WWTP, MT 0020036

09/27/2022 – Letter from Gary Hall congratulating Kelly Hamilton as the new Councilmember.

09/29/2022 – Glacier National Park-Public Scoping for an environmental assessment on proposed Westslope Cutthroat Trout and Bull Trout Preservation at Gunsight Lake.