



PLANNING COMMISSION MEETING

Clearlake City Hall Council Chambers
14050 Olympic Dr, Clearlake, CA

Tuesday, August 23, 2022

6:00 PM

The Planning Commission meetings are viewable in person in the Council Chambers, via livestreaming on the City's YouTube Channel (https://www.youtube.com/channel/UCTyifT_nKS-3woxEu1ilBXA) or "Lake County PEG TV Live Stream" at <https://www.youtube.com/user/LakeCountyPegTV/featured> and the public may participate through Zoom at the link listed below. The public can submit comments and questions in writing for Commission consideration by sending them to the Administrative Services Director/City Clerk at mswanson@clearlake.ca.us. To give the Planning Commission adequate time to review your questions and comments, please submit your written comments prior to 4:00 p.m. on the day of the meeting.

AGENDA

MEETING PROCEDURES: *All items on agenda will be open for public comments before final action is taken. Citizens wishing to introduce written material into the record at the public meeting on any item are requested to provide a copy of the written material to the Administrative Services Director/City Clerk prior to the meeting date so that the material may be distributed to the Planning Commission prior to the meeting. Speakers must restrict comments to the item as it appears on the agenda and stay within a three minutes time limit. The Mayor has the discretion of limiting the total discussion time for an item.*

AMERICANS WITH DISABILITY ACT (ADA) REQUESTS

If you need disability related modification, including auxiliary aids or services, to participate in this meeting, please contact Melissa Swanson, Administrative Services Director/City Clerk at the Clearlake City Hall, 14050 Olympic Drive, Clearlake, California 95422, phone (707) 994-8201, ext 106, or via email at mswanson@clearlake.ca.us at least 72 hours prior to the meeting, to allow time to provide for special accommodations.

AGENDA REPORTS

Staff reports for each agenda item are available for review at www.clearlake.ca.us. Any writings or documents pertaining to an open session item provided to a majority of the Planning Commission less than 72 hours prior to the meeting, shall be made available for public inspection on the City's website at www.clearlake.ca.us.

Zoom Link: <https://clearlakeca.zoom.us/j/81421134822>

A. ROLL CALL

B. PLEDGE OF ALLEGIANCE**C. ADOPTION OF THE AGENDA** *(This is the time for agenda modifications.)*

D. PUBLIC COMMENT: *This is the time for any member of the public to address the Planning Commission on any matter not on the agenda that is within the subject matter jurisdiction of the City. **The Brown Act, with limited exceptions, does not allow the Commission or staff to discuss issues brought forth under Public Comment.** The Commission cannot take action on non-agenda items. Concerns may be referred to staff or placed on the next available agenda. Please note that comments from the public will also be taken on each agenda item. Comments shall be limited to three (3) minutes per person.*

E. CONSENT AGENDA: *All items listed under the Consent Agenda are considered to be routine in nature and will be approved by one motion. There will be no separate discussion of these items unless a member of the Commission requests otherwise, or if staff has requested a change under Adoption of the Agenda, in which case the item will be removed for separate consideration. Any item so removed will be taken up following the motion to approve the Consent Agenda.*

1. Minutes of the August 9, 2022 Planning Commission Meeting

Recommended Action: Receive and file

F. PUBLIC HEARING

2. The Burns Valley Development Project was noticed and scheduled to go before the Planning Commission on Tuesday, August 23rd, 2022 at 6:00PM. However, Staff has continued this item to the Planning Commission Hearing on Tuesday, September 13th, 2022 at 6:00PM.

3. Gary Shimotsu, a representative of *Be April Importante (property owner)*, is applying for a Conditional Use Permit (CUP 2022-11) and associated environmental filing, Categorical Exemption (CE 2022-10) in accordance with Section 18-18.020 to allow the development and operation of a Residential Care Facility in the “MDR” Medium Density Residential Land Use District.

G. BUSINESS**H. CITY MANAGER AND COMMISSIONER REPORTS****I. FUTURE AGENDA ITEMS****J. ADJOURNMENT**

POSTED: August 17, 2022

BY:



Justin Sturgill, Building Inspector I/Permit Technician



PLANNING COMMISSION MEETING

Clearlake City Hall Council Chambers
14050 Olympic Dr, Clearlake, CA

Tuesday, August 09, 2022

6:00 PM

MINUTES

Zoom Link: <https://clearlakeca.zoom.us/j/86000111445>

A. ROLL CALL

PRESENT

Chair Lisa Wilson

Vice Chair Robert Coker

Commissioner Erin McCarrick

Commissioner Fawn Williams

Commissioner Terry Stewart

B. PLEDGE OF ALLEGIANCE

C. ADOPTION OF THE AGENDA

Motion made by Commissioner Williams, Seconded by Vice Chair Coker.

Voting Yea: Vice Chair Coker, Commissioner McCarrick, Commissioner Williams, Chair Wilson,
Commissioner Stewart

D. PUBLIC COMMENT:

There were no public comments.

E. CONSENT AGENDA:

Motion made by Commissioner Williams, Seconded by Commissioner Stewart.

Voting Yea: Vice Chair Coker, Commissioner McCarrick, Commissioner Williams, Chair Wilson,
Commissioner Stewart.

1. Minutes of the June 14th, 2022, Planning Commission Meeting

Recommended Action: Receive and file

2. The Planning Commission is being asked to make a determination of General Plan Consistency and environmental determination prior to the conveyance of real property by a government agency, pursuant to Government Code 65402. The assessor parcel number of the property is 010-031-010-000, and is commonly known as 6540 Old Highway 53, Clearlake, CA 95422.

F. PUBLIC HEARING

3. The Pregnancy Counseling Center of Ukiah, DBA Mendo Lake Women’s Clinic, has applied for a Conditional Use Permit (CUP 2022-13), Sign Permit (SGN 2022-04), and associated environmental filing Categorical Exemption (CE 2022-12) to authorize the operation of an outpatient clinic within an existing commercial building located at 14595 Olympic Drive, Suite C, Clearlake California 95422.

Assistant Planner Michael Taylor read the staff report.

Kathy Hoit spoke on behalf of the project.

Phil Skiles (Applicant's Contractor) spoke on behalf of the project.

Dave Hughes spoke on behalf of the project.

Motion made by Commissioner Williams, Seconded by Vice Chair Coker.

Voting Yea: Vice Chair Coker, Commissioner McCarrick, Commissioner Williams, Chair Wilson, Commissioner Stewart

G. BUSINESS

H. CITY MANAGER AND COMMISSIONER REPORTS

I. FUTURE AGENDA ITEMS

J. ADJOURNMENT

The meeting was adjourned at 6:54 pm.

BY:



Justin Sturgill, Building Inspector/Permit Technician



City of Clearlake
14050 Olympic Drive, Clearlake, California 95422
(707) 994-8201 Fax (707) 995-2653
www.clearlake.ca.us

August 15, 2022

RE: Burns Valley Development Project Environmental Analysis (CEQA-IS 2022-05) and Conditional Use Permit, CUP 2022-16 located at 14885 Burns Valley Road; Clearlake, CA 95422 further described as Assessor Parcel Number 010-026-40-000.

To Whom it May Concern,

This letter is regarding the above development. The project was notice and scheduled to go before the Planning Commission on Tuesday, August 23rd, 2022 at 6:00PM. **However, Staff has continued this item to the Planning Commission Hearing held on Tuesday, September 13th, 2022, at 6:00PM.**

Please do not hesitate to contact me with any questions or concerns you may have.

Sincerely,

Mark Roberts
Senior Planner



CITY OF CLEARLAKE

STAFF REPORT	
SUBJECT: Conditional Use Permit, CUP 2022-11 Categorical Exemption, CE 2022-10	MEETING DATE 8/23/2022 (Regular):
SUBMITTED BY: Mark Roberts and Michael Taylor - Planning Department	
PURPOSE OF REPORT: <input type="checkbox"/> Information only <input type="checkbox"/> Discussion <input checked="" type="checkbox"/> Action Item	
LOCATION: 14139 Konocti Street APN: 039-066-250-000 (APN: 039-066-24)	APPLICANT/OWNER: Gary Shimotsu (Applicant) Be April Importante (Owners)
ZONING: "MDR" Medium Density Residential	GENERAL PLAN: Medium Density Residential

WHAT IS BEING ASKED OF THE DEPARTMENT

Gary Shimotsu, representative of *Be April Importante (property owner)*, is applying for a Conditional Use Permit (CUP 2022-11) and associated environmental filing, Categorical Exemption (CE 2022-10) in accordance with Section 18-18.020 to allow the development and operation of a Residential Care Facility in the "MDR" Medium Density Residential Land Use District.

PROJECT SUMMARY

The Residential Care Facility would operate 24 hours - 7 days a week. There would be approximately two (2) shifts and each shift would have up to three (3) employees that would care for up to twelve (12) residents at any given time. The tables below, is the anticipated square footage of the proposed structures.

BUILDING # 1 – CARE FACILITY

ROOM	PROPOSED SQFT FOOTAGE
6 Patient Rooms (2 patients per room)	182.5 SQFT EA (1,095 SQFT total)
Laundry Room	149 SQFT
Staff Room	149 SQFT
Four - Full Bathrooms	101 SQFT EA (404 SQFT total)
½ bathroom	68 SQFT
Pantry Room	114 SQFT
Kitchen	272 SQFT
Living Room	775 SQFT
Office Room	326 SQFT
Medication Room	55 SQFT
Storage Room	68 SQFT
Visitation/Conference Room	100 SQFT
Washer/Dryer Room	31 SQFT
Gross Total Square Footage (include hallways, etc.)	+/- 4, 331 SQFT in total

BUILDING # 2 – ONSITE EMPLOYEE HOUSING

ROOM TYPE	PROPOSED SQFT FOOTAGE
Covered Entry	158 SQFT
Staff Bathroom	101 SQFT
Staff Bedroom # 1 (2 staff per room)	137 SQFT
Staff Bedroom # 2 (2 staff per room)	140 SQFT
Staff Break Room	109 SQFT
Supervisor suite with walk in closet and private bath	494 SQFT
Gross Total Square Footage (include hallways, etc.)	1,176 SQFT in total
Additional Onsite Improvements	
Onsite Parking	Ten (10) Parking Spaces, including two (2) ADA Complaint Parking Spaces
Two Patio/Gazebos	192 SQFT EA (384 SQFT Total)

Off-Street Parking/Access Improvements:

The parking lot design must comply with the *City’s Parking Design Standards* in terms of size, orientation, and access, as well as fulfill ADA requirements. The subject parcel is proposing three (3) points of access:

- One access/exit point (located eastern portion of Konocti Street) will lead into the designated parking area with seven (7) parking spaces, including two (2) ADA Complaint Spaces.

- The second and third access/entrance point is located on the western portion of Konocti Street and the southeast portion of Lupoyoma Street. This is a through and through access point.

Pursuant to Section 18-20.090 Parking Space Requirements of the Municipal Code, the applicant should provide one space per three beds, plus one space per three beds in shared living facilities. Therefore, the operation shall provide a minimum of ten parking spaces, not including ADA Complaint Parking Spaces.

- **Review/Analysis: The applicant is meeting the minimum parking requirements as they are providing a minimum of ten parking spaces and two ADA Complaint Parking Spaces.**

Exterior Lighting: The applicant has not provided a lighting plan at this time. Any new lighting will be subject to compliance with Section 18-20.120 of the Zoning Code regarding night sky preservation as well as the *City’s Lighting Standards*. Use permit conditions of approval requires the submittal and approval by staff of a detailed lighting plan that complies with these standards.

Trash/Recycling Containment: The applicant has submitted a Preliminary Trash Enclosure Design. The Preliminary Design appears to meet the required Design Guidelines in accordance with Section 18-20.070. Use permit conditions of approval requires the submittal and approval by staff of a Final Trash and Recycle Plan that complies with the City Municipal Code/Design Standards.

Signage: The applicant has not indicated any new signage for the facility. Use permit conditions of approval requires the submittal and approval by staff of a Final Signage Plan that complies with Section 18-21 (Sign Regulations) of the City’s Municipal Codes.

Landscaping: The applicant provided a Preliminary Landscape and Irrigation Plan for review. The preliminary Landscape and Irrigation Plan, appears to meet the requirements of the adopted Design Standards/Regulations. Use permit conditions of approval requires submittal of a Final Landscape and Irrigation Plan for review and approval prior to occupancy.

AGENCY AND PUBLIC REVIEW

A request for review (RFR) was distributed to various Federal, State, and local agencies for review/comment. The RFR was sent out on *May 11, 2022*, which allowed agencies to provide and submit comments no later than *May 31, 2022*. During the commenting period, the city did not receive any adverse comments/concerns.

The project was also sent out for Tribal Consultation in accordance with Section 21080.3.1(b) of the PRC, Consultation request under AB 52. This allows Tribal Organizations 30 days from the receipt of the notice to request Tribal Consultation. The city did not receive any comments and/or Tribal Consultation request regarding this project.

ENVIRONMENTAL SETTING

The parcel is irregular shaped and approximately 0.42 acres in size. The parcel is located approximately 775 feet from the intersection of Konocti Street/Lakeshore Drive and approximately 210 feet from the intersection of Konocti/Koloko Street. The surrounding Land Use Designation is “RR” Rural Residential with a General Plan of Medium Density Residential. Nearby development consists of vacant parcels and parcels developed with residential dwellings/mixed-uses.

GENERAL PLAN CONSISTENCY, AND ZONING AND DESIGN STANDARDS COMPLIANCE

General Plan Consistency: The General Plan identifies the project site for Medium Density Residential

GOAL LU 1: Grow a Sustainable Community:

- Objective LU 1.1: Maintain an appropriate mix of land uses.
 - *Policy LU 1.1.1: The City should grow contiguously to manage the efficiency of public services and municipal infrastructure provision, to maintain a compact and well-defined community form, and to oblige its fiscal responsibility.*
 - *Policy LU 1.1.3: Future development and redevelopment should be planned and implemented with appreciation for the physical environment and natural features of the community and with recognition of potential physical constraints to ensure appropriate siting of various types of development.*
 - *Policy LU 1.1.7: An assortment of housing types should be provided to meet community and regional housing needs and to fulfill objectives of choice and affordability.*

Zoning Ordinance Consistency/Regulations:

The proposed operation would involve the development and operation of a Residential Care Facility, which requires a Conditional Use Permit Pursuant to Section 18-18.020(e) of the City Municipal Code. Upon review of the submitted application, including agency review, staff has determined the proposed use in in conformance with all applicable regulations with the incorporated Conditions of Approval.

To grant a discretionary permit, the Director, Planning Commission, or City Council, the review authority, must find that the proposed use will not be detrimental to the health, safety or welfare of persons working or living at the site or within the vicinity.

The Director, Planning Commission or Council may deny the proposal or attach conditions as deemed necessary to secure the purposes of these regulations. Actions on use permits shall be justified by written findings, based on substantial evidence in view of the whole record (Section 18-28.040, Findings).

ENVIRONMENTAL REVIEW (CEQA)

Upon review, staff has determined the project to be Categorical Exempt from the California Environmental Quality Act (CEQA) in accordance with Section 15332 (Class 32) In-Fill Development Projects. A Class 32 consist of projects characterized as in-full development meeting the conditions described below.

- a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
 - **Analysis/Response:** *The project is located on a site designated for commercial/ residential uses and has a land use designation of “RR” – Rural Residential. The development primarily use would be used as residential care facility which is consistent with the general plan and land use designation upon securing a Conditional Use Permit pursuant to Section 18-18.020 of the City’s Municipal Codes.*

- b) The proposed development occurs within city limits on a project site of no more than five acres and substantially surrounded by urban uses.
 - **Analysis/Response:** *The project is proposed within the city limits on a site of less than five acres (project parcel is +/- 0.42 acres) in size and is surrounded with urban development.*

- c) The project site has no value as habitat for endangered, rare or threatened species.
 - **Analysis/Response:** *The project site was previously developed with a similar operation, and in 2017 over 90% of the infrastructure was destroyed by a fire. Therefore, it has no value for habitat for endangered, rare, or threatened species.*

- d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
 - **Analysis/Response:** *Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality as site was previous developed with a similar operation being proposed. Additionally, the surrounding area is developed with various uses, including but not limited to residential and commercial uses.*

- e) The site can be adequately served by all required utilities and public services.
 - **Analysis/Response:** *The project is served by all required utilities and public services, including water and sewer. The project was circulated to the Lake County Environmental Health, Lake County Special Districts, Clearlake Police Department, Lake County Fire Protection District, and the local water districts. The city did not receive any adverse comments. Conditions of Approval have been incorporated requiring the applicant to adhere to all applicable Federal, State and local agency requirements.*

LEGAL NOTICE & PUBLIC COMMENT

The public hearing was noticed at least ten (10) days in advance in an electronic publication of the Lake County Record Bee on August 13, 2022, and mailed (via USPS) to all surrounding property owners (including those who have requested to be notified in writing) within 300 feet of the subject parcel(s) as required pursuant to the Clearlake Municipal Code. All mailing address are drawn from the electronic database supplied by the Lake County Assessor Office Database. The City of Clearlake did not receive any written public concerns regarding the project.

MOTION/OPTIONS

1. Move to Adopt Resolution PC 2022-15, A Resolution of the Planning Commission of the City of Clearlake Approving Conditional Use Permit Application CUP 2022-11 & Categorical Exemption, CE 2022-10 for the development and operation of a Residential Care Facility located at 14139 Konocti Street, Clearlake, CA 95422, further described as Assessor Parcel Number 039-066-250-000 (APN 039-066-240-000)

2. Move to Deny Resolution PC 2022-15, and direct staff to prepare appropriate findings.

3. Move to continue the item and provide alternate direction to staff.

ATTACHMENTS

- 1) Resolution PC 2022-15 with Conditions of Approval
- 2) Application Packet with Proposed Architecture and Site Plan
- 3) Agency Comments

RESOLUTION No. PC 2022-15

**A Resolution of the Planning Commission
City of Clearlake, State of California
Approving Conditional Use Permit CUP 2022-11,
Categorical Exemption CE 2022-10
to allow the Development and Operation of an
Adult Residential Care Facility**

WHEREAS, Gary Shimotsu, representative of *Be April Importante (property owner)*, is applying for a Conditional Use Permit (CUP 2022-11) and associated environmental filing, Categorical Exemption (CE 2022-10) in accordance with Section 18-18.020 to allow the development and operation of a Residential Care Facility in the “MDR” Medium Density Residential Land Use District, and

WHEREAS, the following application have been made in accordance with Section 18-18.020 of the City Municipal Code, and;

WHEREAS, the application have been processed in accordance with the City’s Environmental Review Guidelines; and

WHEREAS, the project is Categorical Exempt from Environmental Review Pursuant to Article 19, Categorical Exemptions of the State of California Environment Quality Act (CEQA) Statute and Guidelines under Section 15332 (Class 32) In-Fill Development Projects; and

WHEREAS, adequate public noticing was made for the project in accordance with the Municipal Code; and

WHEREAS, the City’s Zoning designates the project site as “MDR” Medium Density Residential as conditioned, the proposed use and design would be consistent with the General Plan; and

WHEREAS, the General Plan designates the project site as “MDR” Medium Density Residential as conditioned, the proposed use and design would be consistent with the General Plan; and

WHEREAS, the project is subject to obtaining a conditional use permit from the Planning Commission in accordance with Section 18-18.020 of the City’s Municipal Code regarding a Residential Care Facility. Therefore, in accordance Section 18-18.020 of the Zoning Code regarding use permits, the Planning Commission finds that these uses as proposed will not be detrimental to the health, safety, convenience, or general welfare of persons residing or working in the vicinity, or injurious to the property, improvements or potential development in the vicinity with respect to aspects including, but not limited to, the following:

- a) The nature of the proposed site, including its size and shape, and the proposed size, shape, and arrangement of structures.
- b) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic and the adequacy of proposed off-street parking and loading,
- c) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor,
- d) Treatment given, as appropriate, to such aspects as landscaping, open spaces, parking areas, loading areas, service areas, lighting, and signs.

and;

WHEREAS, with the incorporated conditions of approval, referenced as Exhibit A herein, the project complies with the Clearlake Zoning Code.

NOW, THEREFORE, BE IT RESOLVED by the City of Clearlake – Planning Commission of the City of Clearlake that the project is hereby approved, subject to approved Conditions of Approval (Exhibit A).

PASSED AND ADOPTED on this 23rd day of August 2022 by the following vote:

ATTEST:

City of Clearlake Planning Commission Chair

City of Clearlake Clerk/Deputy Clerk

EXHIBIT A

**CITY OF CLEARLAKE CONDITIONS OF
APPROVAL
CONDITIONAL USE PERMIT CUP 2022-11
CATEGORICAL EXEMPTION CE 2022- 10**

RESIDENTIAL CARE FACILITY

Pursuant to the approval of the Planning Commission on August 23rd, 2022, there is hereby granted to **Be April Importante a Conditional Use Permit CUP 2022-11 & a Categorical Exemption, CE 2022-10** with the following conditions of approval to allow the development and operation of a Residential Care Facility located at **14139 Konocti Street, Clearlake, CA 95422 further described as APN: 039-066-25-000** (former APN: 039-066-24-000) is subject to the following terms and conditions of approval.

SECTION A: GENERAL CONDITIONS:

1. The use hereby permitted shall substantially conform to the Site Plan(s), and Project Description and any conditions of approval imposed by the above Conditional Use Permit as shown on the approved site plan for this action dated **August 23rd, 2022**.
2. **Prior to operation**, the permit holder shall meet and operate in full compliance with fire safety rules and regulations of the Lake County Fire Protection District.
3. **Prior to operation and/or development**, the applicant shall secure and maintain all required permits from the City of Clearlake (*Building Department, Planning and Public Works*), Lake County Fire Protection District, Lake County Air Quality Management District, Lake County Water Resources Department, Lake County Environmental Health Department, Lake County Special Districts, local water district and/or all applicable Federal, State and local agency permits.
 - *If said permit is from another agency other than the City of Clearlake, the applicant shall submit a copy of the permit(s) to verify they have fulfilled this requirement.*
4. **Prior to Operation**, the applicant shall apply and obtain a Business License from the City of Clearlake.
5. All graffiti shall be removed on any part of the property within 48 hours of its appearance.
6. The applicant shall always retain a copy of the approved conditions of approval on premises.
7. The operation shall not exceed the maximum occupancy as prescribed by the California Building Code.
8. Any modifications and/or additions to a use requiring use permit approval shall itself be subject to use permit approval. The addition of an allowed use to a premise occupied by a conditionally allowed use shall require use permit approval of the type required for the existing use. The Community Development Director shall determine when such an addition and/or change is of such a minor or incidental nature that the intent of these regulations can be met without further use permit control.
9. The operator shall be responsible to pay all sales, use, business and other applicable taxes, and all license, registration, and other fees and permits required under federal, state, and local laws.

10. The applicant is responsible for ensuring that all project workers including third party vendors are informed of, understand, and agree to abide by the approved plans and project conditions.
11. All conditions are necessary to protect the general health, safety and welfare of the public. If any condition of this entitlement is held to be invalid by a court, the whole entitlement shall be invalid. The Director specifically declares that it would not have approved this entitlement unless all of the conditions herein are held as valid.

SECTION B. AESTHETICS:

1. **Prior to building permit issuance and/or commencing construction**, the following shall be submitted for review and approval by the City:
 - Subject to Community Development Department approval an Exterior Lighting Plan. Lighting poles, if used, should not exceed 15 feet in height. All lighting shall be shield and directed downwards and adhere to all Federal, State and local agency requirements, including the dark-sky requirements found at <https://www.darksky.org/>. All lighting shall not project beyond the project parcel boundaries
 - Subject to Community Development Department approval a Final Signage Plan for all existing and proposed signs. The sign plan shall comply with the City’s Municipal Code/Design Requirements. No bunting strips, banners, flags, whirligigs or other attention-getting devices shall be displayed on site without Director approval.
 - Subject to Community Development Department approval a Landscaping and Irrigation Plans. Plans shall demonstrate compliance with the City’s Municipal Code regarding landscaping.
 - Subject to Community Development Department approval a detailed Trash Enclosure Plan. The plans shall show that the enclosure will be constructed of block with an attractive cap and the gates should incorporate solid metal materials painted to match the building colors. The gates should be mounted on separate posts mounted inside the enclosure. A hose bib should be located next to the enclosure for maintenance.
 - *Trash receptacles shall be located at convenient locations outside the establishment and operators of the business shall remove all trash daily.*
 - *All refuse generated by the facility shall be stored in the approved disposal/storage containers, and appropriately covered. Removal of waste shall be on a weekly basis to avoid excess waste. All trash receptacles/containers shall always remain covered to prevent fugitive odors and rodent infestation.*

SECTION C. AIR QUALITY:

1. Construction activities shall be conducted with adequate dust suppression methods, including watering during grading and construction activities to limit the generation of fugitive dust or other methods approved by the Lake County Air Quality Management District. Prior to initiating soil removing activities for construction purposes, the applicant shall pre-wet affected areas with at least 0.5 gallons of water per square yard of ground area to control dust.
2. Driveways, access roads and parking areas shall be surfaced in a manner so as to minimize dust. The applicant shall obtain all necessary encroachment permits for any work within the right-of-way. All improvement shall adhere to all applicable federal, State and local agency requirements.

3. Any disposal of vegetation removed as a result of lot clearing shall be lawfully disposed of, preferably by chipping and composting, or as authorized by the Lake County Air Quality Management District and the Lake County Fire Protection District.
4. During construction activities, the applicant shall remove daily accumulation of mud and dirt from any roads adjacent to the site.
5. All refuse generated by the facility shall be stored in approved disposal/storage containers, and appropriately covered. Removal of waste shall be on a weekly basis to avoid excess waste. All trash receptacles/containers shall remain covered at all times to prevent fugitive odors and rodent infestation. An odor control plan shall be submitted for review and approval by the City in accordance with the Zoning Code. Odor control shall be maintained to an acceptable level at all times.
6. Construction activities that involve pavement, masonry, sand, gravel, grading, and other activities that could produce airborne particulate should be conducted with adequate dust controls to minimize airborne emissions. A dust mitigation plan may be required should the applicant fail to maintain adequate dust controls.
7. If construction or site activities are conducted within Serpentine soils, a Serpentine Control Plan may be required. Any parcel with Serpentine soils must obtain proper approvals from LCAQMD prior to beginning any construction activities. Contact LCAQMD for more details.
8. All engines must notify LCAQMD prior to beginning construction activities and prior to engine use. Mobile diesel equipment used for construction and/or maintenance shall be in compliance with State registration requirements. All equipment units must meet Federal, State, and local requirements. All equipment units must meet RICE NESHAP/ NSPS requirements including proper maintenance to minimize airborne emissions and proper record-keeping of all activities, all units must meet the State Air Toxic Control Measures for CI engines and must meet local regulations.
9. Site development, vegetation disposal, and site operation shall not create nuisance odors or dust. During the site preparation phase, the district recommends that any removed vegetation be chipped and spread for ground cover and erosion control. Burning of debris/construction material is not allowed on commercial property, materials generated from the commercial operation, and waste material from construction debris, must not be burned as a means of disposal.
10. Significant dust may be generated from increase vehicle traffic if driveways and parking areas are not adequately surfaced. Surfacing standards should be included as a requirement in the use permit to minimize dust impacts to the public, visitors, and road traffic. At a minimum, the district recommends chip seal as a temporary measure for primary access roads and parking. Paving with asphaltic concrete is preferred and should be required for long term occupancy. All areas subject to semi-truck / trailer traffic should require asphaltic concrete paving or equivalent to prevent fugitive dust generation. Gravel surfacing may be adequate for low use driveways and overflow parking areas; however, gravel surfaces require more maintenance to achieve dust control, and permit conditions should require regular palliative treatment if gravel is utilized. White rock is not suitable for surfacing (and should be prohibited in the permit) because of its tendency to break down and create excessive dust. Grading and re-graveling roads should

utilizing water trucks, if necessary, reduce travel times through efficient time management and consolidating solid waste removal/supply deliveries, and speed limits.

11. Construction activities that involve pavement, masonry, sand, gravel, grading, and other activities that could produce airborne particulate should be conducted with adequate dust controls to minimize airborne emissions. A dust mitigation plan may be required should the applicant fail to maintain adequate dust controls.
12. All areas subject to semi-truck / trailer traffic should require asphaltic concrete paving or equivalent to prevent fugitive dust generation. Gravel surfacing may be adequate for low use driveways and overflow parking areas; however, gravel surfaces require more maintenance to achieve dust control, and permit conditions should require regular palliative treatment if gravel is utilized. White rock is not suitable for surfacing (and should be prohibited in the permit) because of its tendency to break down and create excessive dust. Grading and re-graveling roads should utilize water trucks if necessary, reduce travel times through efficient time management and consolidating solid waste removal/supply deliveries, and speed limits
13. Any demolition or renovation is subject to the Federal National Emissions Standard for Hazardous Air Pollutants (NESHAP) for asbestos in buildings requires asbestos inspections by a Certified Asbestos Consultant for all major renovations and all demolition. An Asbestos Notification Form with the Asbestos inspection report must be submitted to the district at least 14 days prior to beginning any demolition work. The applicant must contact the district for more details and proper approvals. Regardless of asbestos content or reporting requirements all demolition and renovation activities should use adequate water/ amended water to prevent dust generation and nuisance conditions.

SECTION D - CULTURAL/TRIBAL RESOURCES:

1. **During construction activities and/or ground disturbance**, if any subsurface archaeological remains are uncovered, all work shall be halted within 100 feet of the find and the applicant shall retain a qualified cultural resources consultant from the City's approved list of consultants to identify and investigate any subsurface historic remains and define their physical extent and the nature of any built features or artifact-bearing deposits. Significant historic cultural materials may include finds from the late 19th and early 20th centuries including structural remains, trash pits, isolated artifacts, etc.
2. The cultural resource consultant's investigation shall proceed into formal evaluation to determine their eligibility for the California Register of Historical Resources. This shall include, at a minimum, additional exposure of the feature(s), photo-documentation and recordation, and analysis of the artifact assemblage(s). If the evaluation determines that the features and artifacts do not have sufficient data potential to be eligible for the California Register, additional work shall not be required. However, if data potential exists – e.g., there is an intact feature with a large and varied artifact assemblage – it will be necessary to mitigate any Project impacts. Mitigation of impacts might include avoidance of further disturbance to the resources through Project redesign. If avoidance is determined to be infeasible, pursuant to CEQA Guidelines Section 15126.4(b)(3)(C), a data recovery plan, which makes provisions for adequately recovering the scientifically consequential information from and about the historical resource, shall be prepared and adopted prior to any excavation being undertaken. Such studies shall be deposited with the California Historical Resources Regional Information Center. Archeological sites known to contain human remains shall be treated in accordance with the provisions of Section 7050.5 Health and Safety Code. If an artifact must be removed during Project excavation or testing, curation may be an

appropriate mitigation. This language of this mitigation measure shall be included on any future grading plans and utility plans approved by the City for the Project.

3. If human remains are encountered, no further disturbance shall occur within 100 feet of the vicinity of the find(s) until the Lake County Coroner has made the necessary findings as to origin (California Health and Safety Code Section 7050.5). Further, pursuant to California Public Resources Code Section 5097.98(b) remains shall be left in place and free from disturbance until a final decision as to the treatment and disposition has been made. If the Lake County Coroner determines the remains to be Native American, the Native American Heritage Commission must be contacted within 24 hours. The Native American Heritage Commission must then identify the "most likely descendant(s)", which parties agree will likely be the Koi Nation based upon the Tribe's ancestral ties to the area and previous designation as MLD on projects in the geographic vicinity. The landowner shall engage in consultations with the most likely descendant (MLD). The MLD will make recommendations concerning the treatment of the remains within 48 hours as provided in Public Resources Code 5097.98.
4. The developer/landowner shall relinquish ownership of all sacred items, burial goods and all archaeological artifacts that are found on the project area to the Koi Nation for proper treatment and disposition.

SECTION E - GEOLOGY AND SOILS:

1. **Prior to any ground disturbance and/or operation (if applicable)**, the applicant shall submit Erosion Control and Sediment Plans to the Community Development Department for review and approval. *The project shall incorporate Best Management Practices (BMPs) consistent with the City Code and the State Storm Water Drainage Regulations to the maximum extent practicable to prevent and/or reduce discharge of all construction or post-construction pollutants into the local storm drainage system.*
2. **Prior to any ground disturbance (if applicable)**, the applicant shall submit and obtain a Grading Permit from the Community Development in accordance with the City of Clearlake Municipal code(s).
3. The applicant shall monitor the site during the rainy season including post-installation, application of BMPs, erosion control maintenance, and other improvements as needed. Said measures shall be maintained for life of the project and replace/repared when necessary.

SECTION F- HAZARD/HAZARDOUS MATERIALS:

1. All hazardous waste shall not be disposed of on-site without review or permits from Environmental Health Department, the California Regional Water Control Board, and/or the Air Quality Board. Collected hazardous or toxic waste materials shall be recycled or disposed of through a registered waste hauler to an approved site legally authorized to accept such material.
2. The storage of potentially hazardous materials shall be located at least 100 feet from any existing water well. These materials shall not be allowed to leak into the ground or contaminate surface waters. Collected hazardous or toxic materials shall be recycled or disposed of through a registered waste hauler to an approved site legally authorized to accept such materials.
3. Any spills of oils, fluids, fuel, concrete, or other hazardous construction material shall be immediately cleaned up. All equipment and materials shall be stored in the staging areas away from all known waterways.

4. The storage of hazardous materials equals to or greater than fifty-five (55) gallons of a liquid, 500 pounds of a solid, or 200 cubic feet of compressed gas, then a Hazardous Materials Inventory Disclosure Statement/Business Plan shall be submitted and maintained in compliance with requirements of Lake County Environmental Health Division. Industrial waste shall not be disposed of on site without review or permit from Lake County Environmental Health Division or the California Regional Water Quality Control Board. The permit holder shall comply with petroleum fuel storage tank regulations if fuel is to be stored on site.
5. All equipment shall be maintained and operated in a manner that minimizes any spill or leak of hazardous materials. Hazardous materials and contaminated soil shall be stored, transported, and disposed of consistent with applicable local, state, and federal regulations
6. Hazardous Waste must be handled according to all Hazardous Waste Control Laws. Any generation of a hazardous waste must be reported to Lake County Environmental Health within thirty days.
7. All employees and/or staff members shall be properly trained in and utilize Personnel Protective Equipment in accordance with all federal, state and local regulations regarding handling any biological and/or chemical agents.
8. Hazardous waste must be handled according to all Hazardous Waste Control and Generator regulations. Waste shall not be disposed of onsite without review or permits from EHD, the California Regional Water Control Board, and/or the Air Quality Board. Collected hazardous or toxic waste materials shall be recycled or disposed of through a registered waste hauler to an approved site legally authorized to accept such material.

SECTION G -NOISE/VIBRATIONS:

1. All construction activities including engine warm-up shall be limited to weekdays and Saturday, between the hours of 7:00am and 7:00pm to minimize noise impacts on nearby residents.
2. Permanent potential noise sources such as, generators used for power shall be designed and located to minimize noise impacts to surrounding properties.
3. During construction noise levels shall not exceed 65 decibels within fifty (50) feet of any dwellings or transient accommodations between the hours of 7:00 AM and 6:00 PM. This threshold can be increased by the Building Inspector or City Engineer have approved an exception in accordance with Section 5-4.4(b)(1) of the City Code. An exception of up to 80 decibels may be approved within one hundred (100) feet from the source during daylight hours. Project is expected to result in less than significant impacts with regard to noise and vibration.

SECTION H– TRANSPORTATION & TRAFFIC:

1. **Prior to building permit issuance and/or commencing construction**, the following shall be submitted for review and approval by the City:
 - Subject to City Engineer approval, *Civil Site plans* identifying existing and proposed storm drains, drainage ditches, curbs, sidewalks, gutters, and striping, as regulated by the City’s

Design/Construction Standards, Off-Street Parking Regulations, and Parking Design Standards. Said design shall be found compliance with all other applicable local/federal/state laws (including ADA and CASP requirements). *Said improvements shall be along property frontage on Konocti Street and Lupoyoma Street.*

- 2. **Prior to operation**, all handicap parking areas, routes of travel, building access and bathrooms shall meet American with Disabilities Act (ADA) requirements and be subject to review and approval of a Certified Accessibility Access Specialist (CASp).
- 3. **Prior to any work and/or improvements within the right-of-way**, the applicant shall coordinate with the appropriate agency to apply for and obtain the required permit(s).

SECTION I -TIMING AND MONITORING

- 1. If the approved use permit is not established within one (1) year of the date of approval or such longer time as may be stipulated as a condition of approval, the use permit shall expire.
- 2. If a structure(s) or associated site development authorized by use permit is not issued building permits (if building permits are required) within three (3) years of the date of approval, the use permit shall expire.
- 3. The use permit may be transferred to new owners at the same location/use upon notifying the City Planning Department of said ownership transfer and upon the new owner’s written agreement to maintain all conditions of approval.
- 4. Any conditions established pursuant to these regulations shall be met before the use is established, except that the Director, Planning Commission or on appeal, the City Council, may establish a schedule for certain conditions to be met after establishment of the use. Continuance of the use shall then be contingent on complying with the schedule for meeting deferred conditions.
- 5. This Conditional Use Permit does not abridge or supersede the regulatory powers and permit requirements of any federal, state, or local agency requirements, which may retain a regulatory or advisory function as specified by statute or ordinance. The applicant shall obtain and maintained permits as may be required from each agency.
- 6. The applicant shall agree to indemnify, defend, and hold harmless the City or its agents, officers and employees from and against any and all claims, actions, demands or proceeding (*including damage, attorney fees, and court cost awards*) against the City or its agents, officers, or employees to attach, set aside, void, or annul an approval of the City, advisory agency, appeal board, or legislative body concerning the permit or entitlement when such action is brought within the applicable statute of limitations. In providing any defense under this Paragraph, the applicant shall use counsel reasonably acceptable to the City. The City shall promptly notify the applicant of any claim, action, demands or proceeding and the City shall cooperate fully in the defense. If the City fails to promptly notify the applicant of any claim, action, or proceeding, or if the City fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold the City harmless as to that action. The City may require that the applicant post a bond, in an amount determined to be sufficient, to satisfy the above indemnification and defense obligation. Applicant understands and acknowledges that City is under no obligation to defend any claim, action, demand or proceeding challenging the City's actions with respect to the permit or entitlement.

- 7. Upon written request received prior to expiration, the Community Development Director may grant renewals of use permit approval for successive periods of not more than one (1) year each.
 - *Approvals of such renewals shall be in writing and for a specific period.*
 - *Renewals may be approved with new or modified conditions upon a finding that the circumstances under which the use permit was originally approved have substantially changed.*
 - *Renewal of a use permit shall not require public notice or hearing unless the renewal is subject to new or modified conditions. To approve a renewal, the Community Development Director must make the findings required for initial approval.*

- 8. The Planning Commission may revoke or modify the use permit in the future if the Commission finds that the use to which the permit allows is detrimental to health, safety, comfort, general welfare of the public; constitutes a public nuisance; if the permit was obtained or is being used by fraud; and/or if one or more the conditions upon which a permit was granted are in noncompliance or have been violated. Applicant shall be notified of potential violations of the use permit prior to action taken by the Planning Commission.

- 9. Said Use Permits shall be subject to revocation or modification by the Planning Commission if the Commission finds that there has been:
 - a) *Noncompliance with any of the foregoing conditions of approval; or*
 - b) *The Planning Commission finds that the use for which this permit is hereby granted is so exercised as to be substantially detrimental to persons or property in the neighborhood of the use. Any such revocation shall be preceded by a public hearing noticed and heard pursuant to the City of Clearlake Municipal Code. 15.*

ACCEPTANCE

I have read and understand the foregoing Conditional Use Permit and agree to each term and condition of approval and/or mitigation measure(s) thereof.

TO BE COMPLETED BY APPLICANT/AUTHORIZED AGENT

Name Applicant or Authorized Agent
(Print Name)

Signature of Applicant/Authorized Agent

Date: _____

To be Completed by Authorized Staff Only:

_____ Staff Name	_____ Staff Signature
Date Project Approved: _____	

COPY



City of Clearlake

14050 Olympic Drive, Clearlake, California 95422
(707) 994-8201 Fax (707) 995-2653

CUP 2022-11
CE 2022-10

(Please type or print)
Planning Application

Type: ADMINISTRATIVE USE PERMIT
Project Name: CLEARLAKE CARE HOME
Assessor's Parcel #: 039-066-25

INITIAL FEES:	
Permit <u>CUP</u>	\$750. <u>00</u>
CEQA	
Receipt #	
Received By	
Date	

APPLICANT:

NAME: GARY SHIMOTSU, ARCHITECT
MAILING ADDRESS: PO BOX 160785
CITY: SACRAMENTO
STATE: CA ZIP: 95816
PRIMARY PHONE: 916 904-9872
EMAIL: spdracer27@yahoo.com
SIGNATURE: [Signature]

I declare under penalty of perjury that I am the owner of said property or have written authority from property owner to file this application. I certify that all of the submitted information is true and correct to the best of my knowledge and belief. I understand that any misrepresentation of submitted data may invalidate any approval of this application.

PROPERTY OWNER (IF NOT APPLICANT):

NAME: BE APRIL IMPORTANTE
MAILING ADDRESS: 16118 DESCANSO
CITY: SAN LORENZO
STATE: CA ZIP: 94580
PRIMARY PHONE: 510 329-3779
EMAIL: beaimportante@gmail.com
SIGNATURE: [Signature]

I declare under penalty of perjury that I am the owner of said property or have written authority from property owner to file this application. I certify that all of the submitted information is true and correct to the best of my knowledge and belief. I understand that any misrepresentation of submitted data may invalidate any approval of this application.

PROJECT LOCATION:

ADDRESS: 14139 KONOCTI STREET
PROPERTY SIZE: _____
PRESENT USE OF LAND: _____
WATER SUPPLY: _____
SEWER/SEPTIC: _____
FLOOD ZONE: _____

OFFICE ONLY:

ZONING: _____
GENERAL PLAN: _____
APPROVED: _____ DATE: _____
RELATED FILES: _____
NOTES: _____

DESCRIPTION OF PROJECT:

DUE TO FIRE, REBUILD A NEW ADULT RESIDENTIAL FACILITY (ARF) AND A NEW SEPARATE EMPLOYEE HOUSING BUILDING. A NEW FIRE ACCESS/TRASH/RECYCLE DRIVE ACCESS THAT RUNS FROM KONOCTI STREET TO LUPOYOMA STREET. NEW FIRE SPRINKLERS AND PHOTO VOLTIC SOLAR ON ROOF.

CITY OF CLEARLAKE

MAY 05 2022

RECEIVED

CITY OF CLEARLAKE

COPY

APPLICATION FORM FOR USE PERMITS

Name BE APRIL IMPORTANTE

Mailing Address 16118 DESCANSO, SAN LORENZO, CA 94578
Address City Zip Code

Telephone Number (510) 329-3779

Project Location 14139 KONOCTI STREET, CLEARLAKE, CA 94522

Assessor's Parcel Number 039-066-25

Project Description (Add additional pages if needed) DUE TO FIRE, REBUILD A NEW ADULT RESIDENTIAL FACILITY (ARF) AND A SEPARATE EMPLOYEE HOUSING BUILDING.

Owners Authorization:

I hereby authorize the City of Clearlake to process this application and to enter upon the property described on the site plan as reasonably necessary to evaluate the project. I also understand that if the application materials do not contain truthful and accurate information the processing may be delayed and any approval may be revoked.

[Signature] 5/5/2022
 Owner's Signature Date

I also authorize the agent identified below to file this application and to represent me in all matters concerning the application.

Agent's Name GARY SHIMOTSU, ARCHITECT

Agent's Address PO BOX 160785, SACRAMENTO, CA 95816

STAFF USE ONLY

DATE RECEIVED: _____ FEES: _____ RECEIPT # _____

FILE NUMBER: _____ INITIAL STUDY NUMBER: _____

EXISTING USE: _____ ZONE: _____

PUBLIC HEARING DATES: _____

PLANNING DIRECTOR _____ PLANNING COMMISSION

ENVIROMENTAL REVIEW: REQUIRED EXPEMPT (Sec. 153 _____, Class _____)

Supplemental Data for Use Permit

Please answer the following questions as thoroughly as possible. If questions do not apply to your project, please provide an explanation of why. Use separate sheets of paper if necessary. **IF YOU HAVE ANY QUESTIONS, PLEASE CONTACT THE CITY OF CLEARLAKE - PLANNING DIVISION.**

Description of objective of project and its operational characteristics:

Type of Business: ARF - ADULT RESIDENTIAL FACILITY

Product or service provided: HOME CARE FOR MENTALLY ILL ADULTS

Hours of operation: 24 HOURS Days of operation: 7 DAYS

Number of shifts (normal): 3 SHIFTS Number of shifts (peak): 1ST & 2ND SHIFTS

Employees per shift (normal): 2 Employees per shift (peak): 2

Number of deliveries per day: N/A Number of customer per day: 6

Number of pick-ups per day: N/A Lot size: 0.74 ACRES / 32,720 SQ. FT.

Number and type of company Vehicles: 2 Type of loading facilities: N/A
1 VAN, 1 SUV

Floor area of existing structures: 352 SQ. FT. Proposed building floor area: BUILDING 1 =
STORAGE SHED BUILDING 2 = 1,176 GSF 4,331 GSF

Number of existing parking spaces: 0 Number of proposed parking spaces: 10

Number of floors: 1 (STANDARD = 8, ACCESSIBLE = 2)

Additional relevant information: EXISTING 2-STORY STRUCTURE DESTROYED IN 2017 FIRE. ONLY AN EXISTING STORAGE SHED REMAINS AND WILL BE REHABILITATED AS NEEDED. BUILDING 1 HEIGHT IS AT 23'-4 1/4" MAX. BUILDING 2 HEIGHT IS AT 16'-6" MAX.

Supplemental Data Continued)

When do you anticipate starting construction?

FALL 2022

How long will construction take?

APPROXIMATELY 1-YEAR

What days/times will construction occur?

MONDAY - FRIDAY 7:00AM - 4:00PM

What type of construction equipment will be used?

UNKNOWN AT THIS TIME

How many truck/vehicle trips will be necessary for construction?

UNKNOWN AT THIS TIME

Will equipment be idling during construction?

UNKNOWN AT THIS TIME

Where will construction equipment be staged/stored?

ON SITE

Will any trees or vegetation be removed? If yes, please provide type and amounts.

EXISTING AND PROPOSED REMOVAL OF TREES IS INDICATED ON LANDSCAPE PLAN.

2

Supplemental Data (Continued)

How much grading is anticipated to occur and where?

SEE SITE PLAN FOR LOCATION OF THE GRADING.

CUT ≈ 1,200 CY, FILL ≈ 750 CY, EXPORT ≈ 450 CY

Will soil be imported or exported to/from the site? If so from where and what amount?

EXPORT 450 CY

Is trenching required? If yes, please provide location, dimensions and cubic yards.

SEE SITE PLAN FOR LOCATION TRENCHING.

How much water will be used for construction, operation and maintenance? What is the water source?

UNKNOWN AT THIS TIME. PROJECT WILL UTILIZE CITY WATER.

Describe how scenic views or vistas are impacted by the cultivation site.

N/A

What lighting is proposed for the project? Will areas be lit at night?

SITE POLE LIGHTING AT TWO PARKING AREAS WILL BE LIT AT NIGHT. EXTERIOR PATH LIGHTING IS ALSO PROPOSED.

What type of hazardous materials may and/or will occur on site? How will the hazardous material be disposed of?

N/A

Supplemental Data for (Continued)

Will this project result in the loss of forest land? If so, describe how many acres and what type of trees.

THIS PROJECT IS ON EXISTING CITY LOTS. SOME NATIVE TREES ARE PROPOSED TO BE REMOVED TO ACCOMMODATE BUILDINGS & PARKING AREAS.

How will dust, ash, smoke, fumes or odors generated by the cultivation site be managed?

N/A

Are there any water features (drainages, streams, creeks, lakes, rivers, vernal pools, wetlands, etc.) on-site or immediately adjacent to the project? If yes, will any work take place in or near them?

RETENTION PONDS ARE PROPOSED BY CIVIL PLAN FOR SEASONAL WATER RETENTION TILL WATER CAN PERCOLATE INTO SOILS.

Will there be a loss of any wetland or streamside vegetation? If yes, describe where, total area, and type of vegetation lost.

THIS IS NOT LOCATED IN A WETLAND AREA; PROPOSED VEGETATION IN RETENTION PONDS CAN TOLERATE VERY WET TO DRY SEASONAL MOISTURE CONDITIONS.

Describe and site or buildings have any archaeological or historical significance.

N/A

What are the slopes on project site?

TYPICAL 2:1 CUT & FILL SLOPES

Supplemental Data (Continued)

Describe the soils found at the site and their potential for landslides, erosion, lateral spreading, subsidence, liquefaction, or collapse.

UNKNOWN AT THIS TIME.

Describe methods to be taken to reduce greenhouse gases.

LANDSCAPE IS DESIGNED TO HAVE TREES SHADING HANDICAP/PARKING AREAS WHERE POSSIBLE WITHOUT INTERFERING WITH WALKS, CURBS/PARKING OR

Will solid waste be produced? If yes, how will it be disposed of? POWER LINES/UTILITIES.

YES. FOOD & PAPER SOLID WASTE WILL BE DISPOSED VIA WEEKLY GARBAGE PICK-UP.

YARD CLIPPINGS WILL BE DISPOSED VIA YARD WASTE PICK-UP. RECYCLING (PAPER, PLASTICS, GLASS) WILL BE DISPOSED VIA RECYCLING PICK-UP.

Will hazardous waste be produced? If yes, how will it be disposed of?

N/A.

How will vegetative waste be managed?

SEE COMMENT BELOW.

How will growth medium waste be managed?

SITE MAINTENANCE SERVICE SHOULD BE MANAGING AND REMOVING GRASS CLIPPINGS & OCCASIONAL SHRUB/TREE PRUNINGS & DISPOSING THEM IN LOCAL GREEN WASTE DISPOSAL SITE!

Will any material be taken to a landfill? If yes, which one and how much material is anticipated?

LANDSCAPE MAINTENANCE TRIMMING: GRASS - WEEKLY MAXIMUM CUTTINGS TO BE REMOVED FROM SITE & DISPOSED IN GREEN WASTE DISPOSAL SITE. TREE/SHRUB PRUNINGS WASTE MAY OCCUR EVERY FEW MONTHS DEPENDING ON SEASONAL GROWTH ARE TO BE REMOVED FROM SITE & DISPOSED IN GREEN WASTE DISPOSAL SITE.

5

Supplemental Data (Continued)

Describe risk of an explosion or release of hazardous substances in case of an accident.

NONE TO LOW RISK LEVEL.

Do portions of the cultivation site periodically flood?

NO

Describe the existing drainage patterns on the site and how they may be alternated and to what degree as a result of this project.

THE IMPERVIOUS AREA WILL BE INCREASED FROM THE PREVIOUSLY EXISTING BUILDINGS. THE NET INCREASE IN IMPERVIOUS AREA SHALL BE DETAINED AND TREATED IN THE DETENTION POND.

What Best Management Practices (BMP's) or measures will be implemented in order to prevent erosion and impacts to water quality?

DURING CONSTRUCTION, FIBER ROLLS, SILT FENCING, STANDARD CONSTRUCT ENTRANCES, CONCRETE WASHOUTS, ON-SITE MATERIALS WILL BE COVERED WHEN RAIN IS EXPECTED.

Is wastewater treatment required for the project? If yes, what is the source?

NO

Describe how this project is consistent with the City's General Plan and Zoning Ordinance.

PROJECT SITE IS IN MIX ZONE, ALLOWING USE OF MIX OF RESIDENTIAL & NON-RESIDENTIAL USES. BUILDING 1 IS INSTITUTIONAL AND BUILDING 2 IS RESIDENTIAL (EMPLOYEE HOUSING).

Describe the level and frequency of noise or vibration that will be generated from this project.

SOUND LEVELS WILL BE CONSISTENT WITH SOUND LIMITATIONS PER MUNICIPAL REQUIREMENTS.

6

Supplemental Data for Initial Study (Continued)

Describe what measures have been taken to maintain or improve level of service for the appropriate emergency services (Fire, Police, etc.).

AN EMERGENCY ACCESS/TRASH & RECYCLE ACCESS DRIVEWAY HAS BEEN ADDED TO WESTERN EDGE OF PROPERTY SPANNING FROM KONOCTI STREET TO LUYONNA STREET.

How is the site accessed?

PRIMARY ACCESS FROM KONOCTI STREET, SECONDARY ACCESS FOR EMPLOYEES FROM LUYONNA STREET.

Describe the amount of traffic the project will generate.

MINIMAL TRAFFIC AS THE EMPLOYEES LIVE ON SITE AND IN MOST CASES, RESIDENTS DO NOT HAVE PERSONAL VEHICLES.

Are there any road improvements that would be required? If yes, please provide specs (type of materials and dimensions).

NOT AT THIS TIME.

Describe if this project will result increased traffic hazards to motor vehicles, bicyclists, or pedestrians?

N/A

Are greenhouses or other accessory structures proposed? If yes, what are the dimensions of the structures and materials/colors they will be constructed out of?

TWO GAZEBOS ARE PROVIDED ON SITE TO MEET STATE OF CALIFORNIA ADULT RESIDENTIAL FACILITIES REGULATION SECTION 85087.2 (b).

What sources of energy will be used?

SOLAR ENERGY WILL BE SOURCED VIA SOLAR VOLTAGE PANELS ON ROOFS. ELECTRICAL POWER WILL BE SOURCED VIA CITY POWER GRID.

7



View 1: Looking west down Konocti Street, project site to the left.



View 2: Looking southwesterly towards project site, frontage along Konocti Street.



View 3: Looking south of project site. Proposed parking will be to the left. High grade of site at left center of photo.



View 4: Looking north, towards Konocti Street. High grade of project site to the right.



View 5: Looking south, from northeastern corner of project site. Highest grade on project site & proposed parking area.



View 6: Looking southwest, from northeastern corner of project site and proposed vehicle entry.



Aug 2, 2021 at 8:39:57 AM
Koloko St

View 7: Looking southwesterly, towards Lupoyoma Street. Proposed employee parking & trash enclosure beyond.



Aug 2, 2021 at 8:39:59 AM
Koloko St

View 8: Looking southwesterly, towards Lupoyoma Street. Building 2 (employee housing) will be located at left.



Aug 2, 2021 at 8:40:27 AM
Koloko St

View 9: Looking northwesterly, towards Konocti Street. Existing slab of burned down 2-story structure shown.



Aug 2, 2021 at 8:40:32 AM
Koloko St

View 10: Looking north, towards Konocti Street. Location is approximately at the center of the project site.



View 11: Looking south, west property line to the right. Existing slab and flatwork shown.



View 12: Looking southeasterly, the majority of project site is visible. Approximate location of emergency access entry



Aug 2, 2021 at 9:00:13 AM
Koloko St

View 13: Looking southeasterly, the highest grade of project site beyond car.



Aug 2, 2021 at 9:00:55 AM
Koloko St

View 14: Looking northeasterly, towards Konocti Street.



View 15: Looking east, highest grade beyond the car to the right.



View 16: Existing storage shed on project site to remain, with rehabilitation as needed.



View 17: Looking southwesterly, towards the southwestern corner of project site. Lupoyoma Street beyond.



View 18: Looking southeasterly, towards high grade on project site. Existing building slab in foreground.



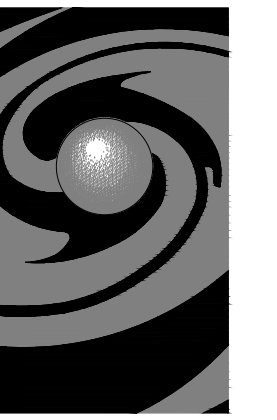
View 19: Looking north, towards Konocti Street. Proposed emergency access/trash access along the left property line.



View 20: Looking northeasterly, towards Konocti Street. Proposed parking will be beyond area of car shown.

CLEARLAKE CARE HOME

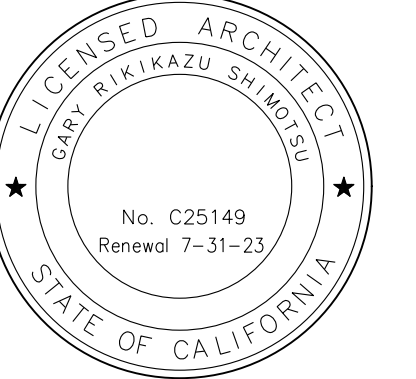
14139 KONOCTI STREET CLEARLAKE, CA 95422



SHIMOTSU

Gary Shimotsu, Architect
PO Box 160785
Sacramento, CA 95816
916-704-9872

Architect



These drawings and accompanying specifications as instruments of service are the exclusive property of the Architect and their use and publication shall be restricted to the original site for which they were prepared. Re-use, reproduction or publication by any method in whole or part is prohibited except by written permission from the Architect. Title to these plans and specifications shall remain with the Architect, without prejudice and visual contact with them shall constitute prima facie evidence of acceptance of these restrictions.
© 2022 GARY SHIMOTSU ARCHITECT

Consultant

Revisions

1	-	-
2	-	-

Key Plan

Project

CLEARLAKE CARE HOME
14139 KONOCTI STREET
CLEARLAKE, CALIFORNIA 95422

APN: 039-066-25

Drawing

COVER SHEET

Proj. No. 021-001 Sheet

Drawn -

Reviewed GRS

Date 04.03.22

AO.1

SYMBOL LEGEND

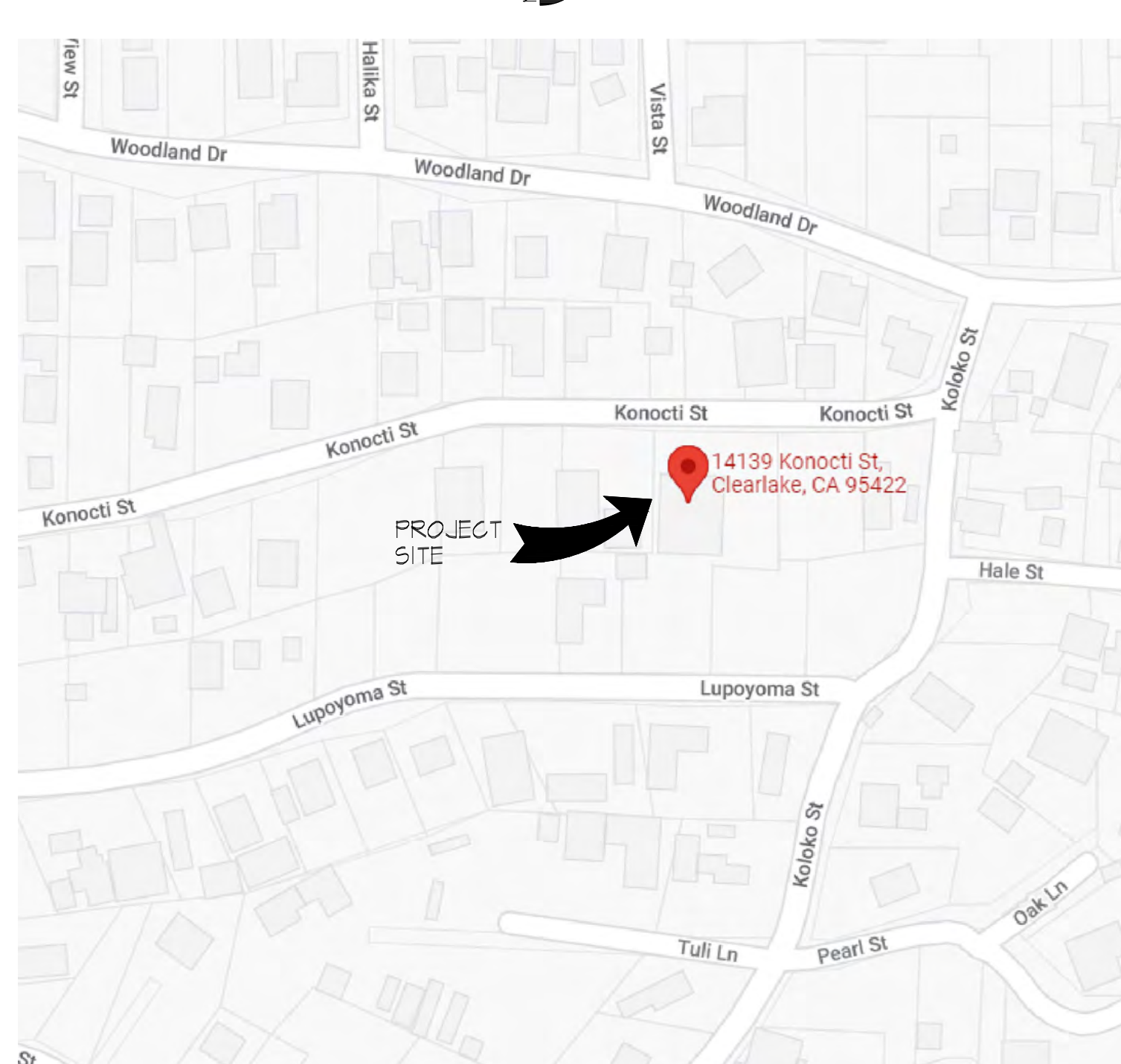
- WORK POINT, CONTROL POINT OR DATA POINT
- BUILDING SECTION
SECTION IDENTIFICATION
SHEET WHERE SECTION IS DRAWN
- ELEVATION
ELEVATION IDENTIFICATION
SHEET WHERE SECTION IS DRAWN
- DETAIL
DETAIL IDENTIFICATION
SHEET WHERE DETAIL IS DRAWN
- DIMENSIONS
DIMENSION POINT IS TO CENTER LINE TO DOORS AND WINDOWS
DIMENSION POINT IS TO FACE OF STUD, (FOS) AT WALLS
- DOOR TYPE
- WINDOW TYPE
- REVISION
CLOUD AROUND REVISION
REVISION NUMBER
- INTERIOR ELEVATIONS
ELEVATION IDENTIFICATION ARROWS INDICATE ELEVATION
SHEET WHERE ELEVATION IS DRAWN
- EXTERIOR ELEVATIONS
SCHEDULED FINISH

GENERAL NOTES

1. IN CASE OF DISCREPANCY CONCERNING DIMENSIONS, QUANTITIES, AND LOCATION THE CONTRACTOR AND/OR THE APPLICABLE SUBCONTRACTOR SHALL, IN WRITING, CALL TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES BETWEEN SPECIFICATIONS, PLANS, DETAILS, OR SCHEDULES. THE ARCHITECT WILL THEN INFORM THE CONTRACTOR AND/OR THE APPLICABLE SUB CONTRACTOR IN WRITING, WHICH DOCUMENT TAKES PRECEDENCE. THERE SHALL BE NO ADJUSTMENT TO THE COST OF THE WORK RESULTING FROM SUCH CLARIFICATION OF DISCREPANCIES.
2. FAILURE TO REPORT A CONFLICT IN THE CONTRACT DOCUMENTS SHALL BE DEEMED EVIDENCE THAT THE CONTRACTOR AND/OR THE APPLICABLE SUBCONTRACTOR HAS ELECTED TO PROCEED IN THE MORE EXPENSIVE MANNER.
3. THE CONTRACTOR AND/OR THE APPLICABLE SUBCONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS AND DIMENSIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT ABOUT CONDITIONS REQUIRING MODIFICATIONS BEFORE PROCEEDING WITH THE WORK.
4. DIMENSIONS:
 - A. IT SHALL BE THE CONTRACTOR'S AND/OR THE APPLICABLE SUBCONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS SHOWN ON THE ARCHITECTURAL DRAWINGS WITH RELATED REQUIREMENTS OF THE STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND LANDSCAPE DRAWINGS; NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
 - B. ALL DIMENSIONS SHOWN ARE F.O.S. (FACE OF STUD) UNLESS A CENTERLINE (LINE INTERRUPTED WITH ONE DOT) OR NOTED C IS SHOWN.
 - C. ALL DIMENSIONS ARE TO THE ROUGH UNLESS OTHERWISE SHOWN.
 - D. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BEFORE PROCEEDING WITH THE WORK.
5. PROVIDE ALL NECESSARY ANCHORAGE BLOCKING, BACKING AND FRAMING NOT NECESSARILY LIMITED TO THE INSTALLATION OF LIGHT FIXTURES, FIRE EXTINGUISHERS, TOILET ACCESSORIES, BRACKETS, HANDICAP EQUIPMENT AND TOILET PARTITIONS.
6. DOOR SIZES INDICATED ON DRAWINGS ARE OPENING DIMENSIONS; ALLOWANCES FOR THRESHOLDS, ETC. SHALL BE TAKEN FOR NET DOOR SIZES.
7. DETAILS MARKED TYPICAL (TYP.) SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE.
8. WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION ON THIS PROJECT.
9. FIRE SAFETY DURING CONSTRUCTION: 2016 CRC CHAPTER 33 REQUIRES CERTAIN SAFETY PROCEDURES BE FOLLOWED DURING NEW CONSTRUCTION. THE FIRE PREVENTION BUREAU WILL BE INSPECTING THE SITE IN ACCORDANCE WITH THIS ARTICLE.
10. FINAL APPROVAL IS DEPENDENT UPON FIELD INSPECTIONS AND/OR ANY NECESSARY ACCEPTANCE TESTS.
11. PROVIDE METAL ESCUTCHEON PLATE OVER ANNULAR SPACE CREATED BY THE PENETRATIONS OF A FIRE SPRINKLER.

VICINITY MAP

NOT TO SCALE



PROJECT DIRECTORY

OWNER
BE APRIL IMPORTANTE
1618 DESCANSO
SAN LORENZO, CA 94580
TEL. (510) 329-3779
beaimportante@gmail.com

LANDSCAPE DESIGNER
LANDSCAPE DESIGN SOLUTIONS
3471 BUENA VISTA DRIVE
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landesolpg@gmail.com

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GRASS VALLEY, CA 95945
TEL. (530) 432-4818
KEVIN NELSON
k2@nelsonengineer.com

INSPECTIONS

ARCHITECT/ENGINEER INSPECTIONS
IN ADDITION TO INSPECTIONS BY THE BUILDING AUTHORITIES & TESTING LABS, THE ARCHITECT/ENGINEERS WILL INSPECT THE ITEMS LISTED BELOW. THE CONTRACTOR SHALL REQUEST ALL INSPECTIONS (USING THE ARCHITECT INSPECTION REQUEST FORM) FROM THE ARCHITECT AT LEAST 72 HOURS IN ADVANCE OF THE REQUIRED INSPECTION. IF CORRECTIVE ACTION IS REQUIRED, ALLOW FOR RE-INSPECTION OF THE CORRECTED WORK BEFORE PROCEEDING.

- PLUMBING UNDERGROUND
- ELECTRICAL UNDERGROUND
- FOOTING & EMBEDS
- PLUMBING ROUGH-IN
- MECHANICAL ROUGH-IN
- ELECTRICAL ROUGH-IN
- FRAMING/SHEAR NAILING
- FINAL PLUMBING/MECHANICAL
- FINAL ELECTRICAL
- FINAL ARCHITECTURAL

PROJECT DATA

PROJECT SCOPE NARRATIVE

THE PROJECT CONSISTS OF THE DESIGN AND RE-CONSTRUCTION OF A PREVIOUS RESIDENTIAL CARE FACILITY THAT WAS DESTROYED IN THE 2017 SULPHUR FIRE IN CLEARLAKE, CA. THE PROJECT WILL BE REQUIRED TO MEET CURRENT BUILDING CODE AND IS INTENDED TO IMPROVE ENERGY EFFICIENCY.

THE REDESIGN WILL CONSIST OF CHANGING THE EXISTING 2-STORY STRUCTURES TO TWO NEW 1-STORY STRUCTURES FOR A TOTAL OF APPROXIMATELY 5,000 SQUARE FEET; THE ADDITION OF A FIRE SPRINKLER SYSTEM; THE ADDITION OF A FIRE ACCESS ROAD FROM KONOCTI STREET TO LUPOYOMA STREET, AND THE REMOVAL OF THE LARGE WOODEN DECKS AND BALCONIES, RAMPS, AND STAIRS.

LEGAL DESCRIPTION

ONE PARCEL COMPRISED OF PARCELS A AND C, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID LAKE COUNTY ON MAY 12, 1983 IN BOOK 23 OF PARCEL MAPS AT PAGE 38, PURSUANT TO "NOTICE OF MERGER OF CONTIGUOUS PARCELS", RECORDED OCTOBER 7, 1989 AS INSTRUMENT NO. 99-011953, LAKE COUNTY RECORDS. PARCELS B AND C AS SHOWN ON A MAP FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID LAKE COUNTY ON MAY 12, 1983, IN BK. 23 OF PM, AT PG. 38.

GOVERNING CODES

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA GREEN BLDG STANDARDS

MUNICIPAL REVIEW

CITY OF CLEARLAKE PLANNING AND BUILDING DEPARTMENT, LAKE COUNTY FIRE PROTECTION DISTRICT

ZONING

RR DISTRICT, RURAL RESIDENTIAL

SITE AREA

0.74 ACRE
32,220 SF

BUILDING AREA

BUILDING 1: 4,331 GSF
BUILDING 2: 1,176 GSF

LOT COVERAGE AREA IMPERVIOUS AREA:

CONSTRUCTION TYPE

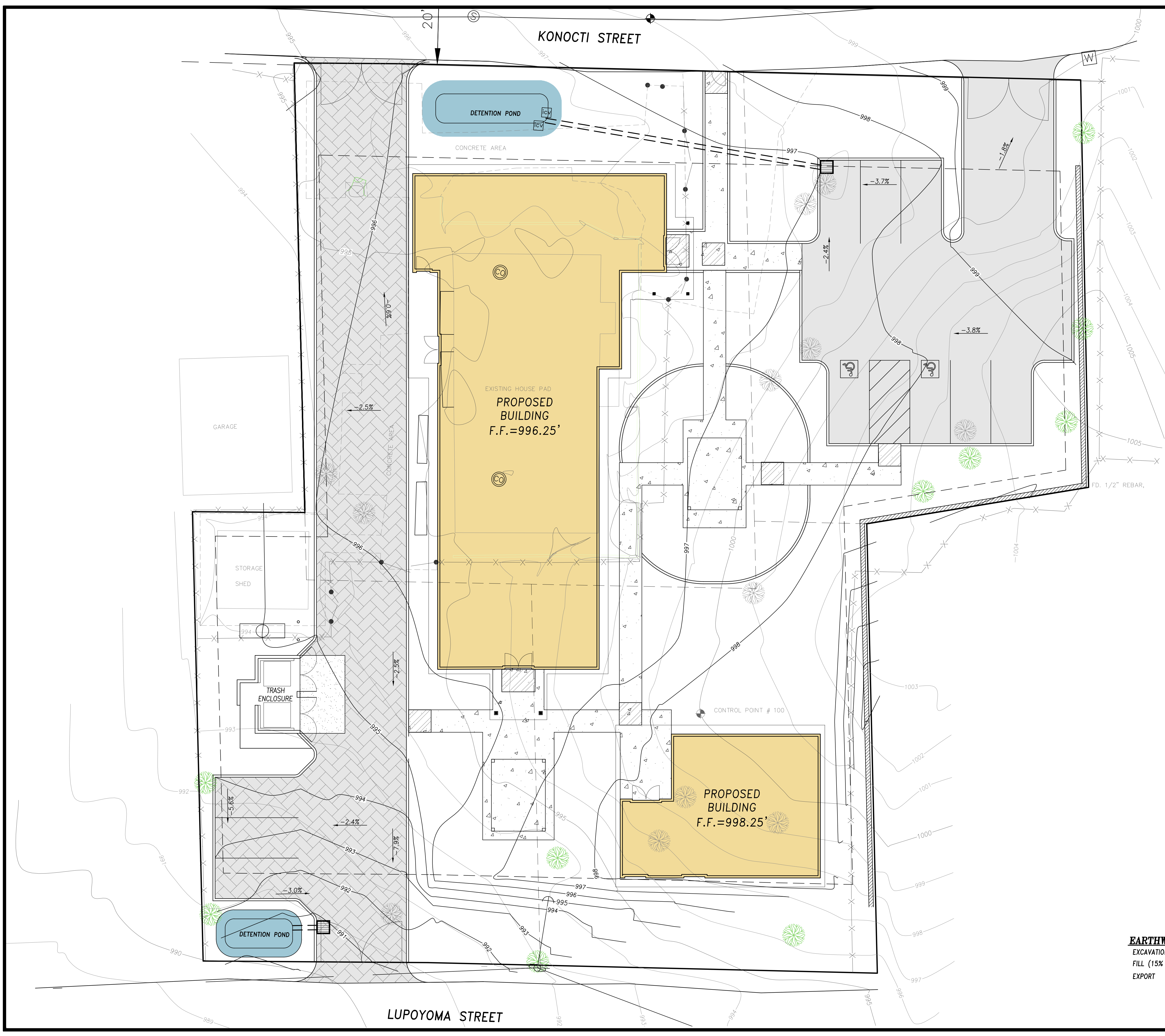
BUILDING 1: TYPE V-A
BUILDING 2: TYPE V-A

BUILDING HEIGHT

BUILDING 1:
BUILDING 2:

OCCUPANCY

BUILDING 1 AND 2: R-4



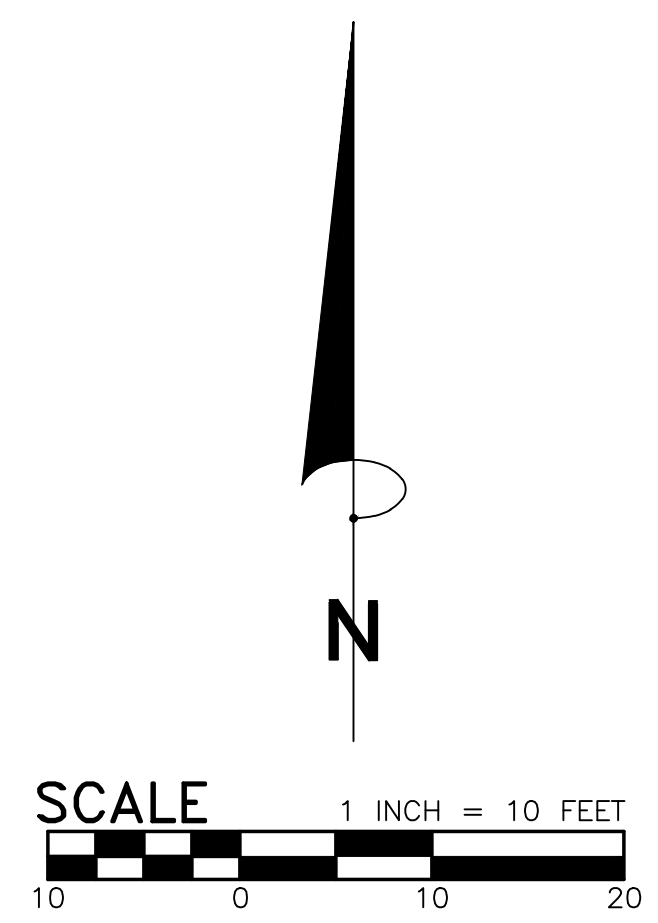
- LEGEND**
- 2670 ——— EXISTING CONTOUR
 - PROPERTY LINE
 - PROPOSED RETAINING WALL (MAX 6')
 - 🌳 EXISTING TREES
 - 🏠 PROPOSED HOUSE
 - 🛣️ PROPOSED ASPHALT DRIVEWAY
 - 🧱 PROPOSED TURF BLOCK FIRE LANE
 - 🛣️ EXISTING ASPHALT
 - 🏠 EXISTING CONCRETE
 - 🪵 EXISTING WOOD DECK
 - 🚰 EXISTING DRAINAGE
 - 🔗 EXISTING CHAINLINK FENCE
 - ⓧ EXISTING WIRE FENCE
 - (W) EXISTING WATER
 - (SS) EXISTING SEWER
 - (ELEC) EXISTING ELECTRICAL
 - (XSD) EXISTING STORM DRAIN PIPE
 - ⦿ FOUND MONUMENT w. TAG
 - 🏠 PROPOSED TRUNCATED DOMES
 - ADA PATH OF TRAVEL
 - 🏠 PROPOSED LANDING AREA (MIN. 5'x5')
(NOT TO EXCEED 2% IN ANY DIRECTION, CONTRACTOR TO VERIFY)

SITE STATISTICS:

DESCRIPTION	SQUARE FOOTAGE	PERCENTAGE TO BE DEMOLISHED
BUILDING COVERAGE TO BE DEMO'D (Existing)	2,405 s.f.	17.9%
BUILDING COVERAGE (Proposed)	5,774 s.f.	14.5%
TURFLOCK (Proposed)	4,665 s.f.	10.0%
PAVEMENT AREA (Proposed)	3,235 s.f.	8.5%
CONCRETE CURBS, WALKWAYS & WALLS	2,735 s.f.	0%
GRAVEL AREA	0 s.f.	49.1%
NATURAL AREA/OPEN SPACE per Sec. 4.2.10	15,811 s.f.	100.0%
TOTALS:	32,220 S.F.	

EARTHWORK QUANTITIES:

EXCAVATION	=	1,200	CY
FILL (15% SHRINK)	=	750	CY
EXPORT	=	450	CY

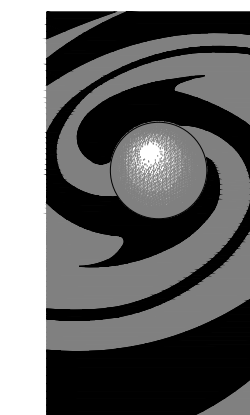


SITE PLAN FOR:
CLEARLAKE CARE HOME
14139 KONOCTI COURT
A.P.N. 039-066-025
COUNTY OF LAKE CALIFORNIA

NO.	REVISIONS	DATE	DESIGNED: K/JN	DRAWN: KZN	CHECKED BY: K/JN	DATE: April 14, 2022	PROJECT No.: 22-158	DWG. NAME: 22-158 Konocti Ct. Topology

NELSON ENGINEERING
Civil Engineering, Surveying, & Land Planning
14028 Camas Court
Penas Valley, CA 95946
e-mail: k@nelsonengineer.com
www.nelsonengineer.com

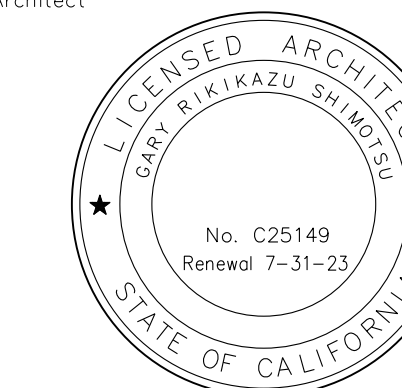
1 OF 1



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Consultant

Revisions



Key Plan

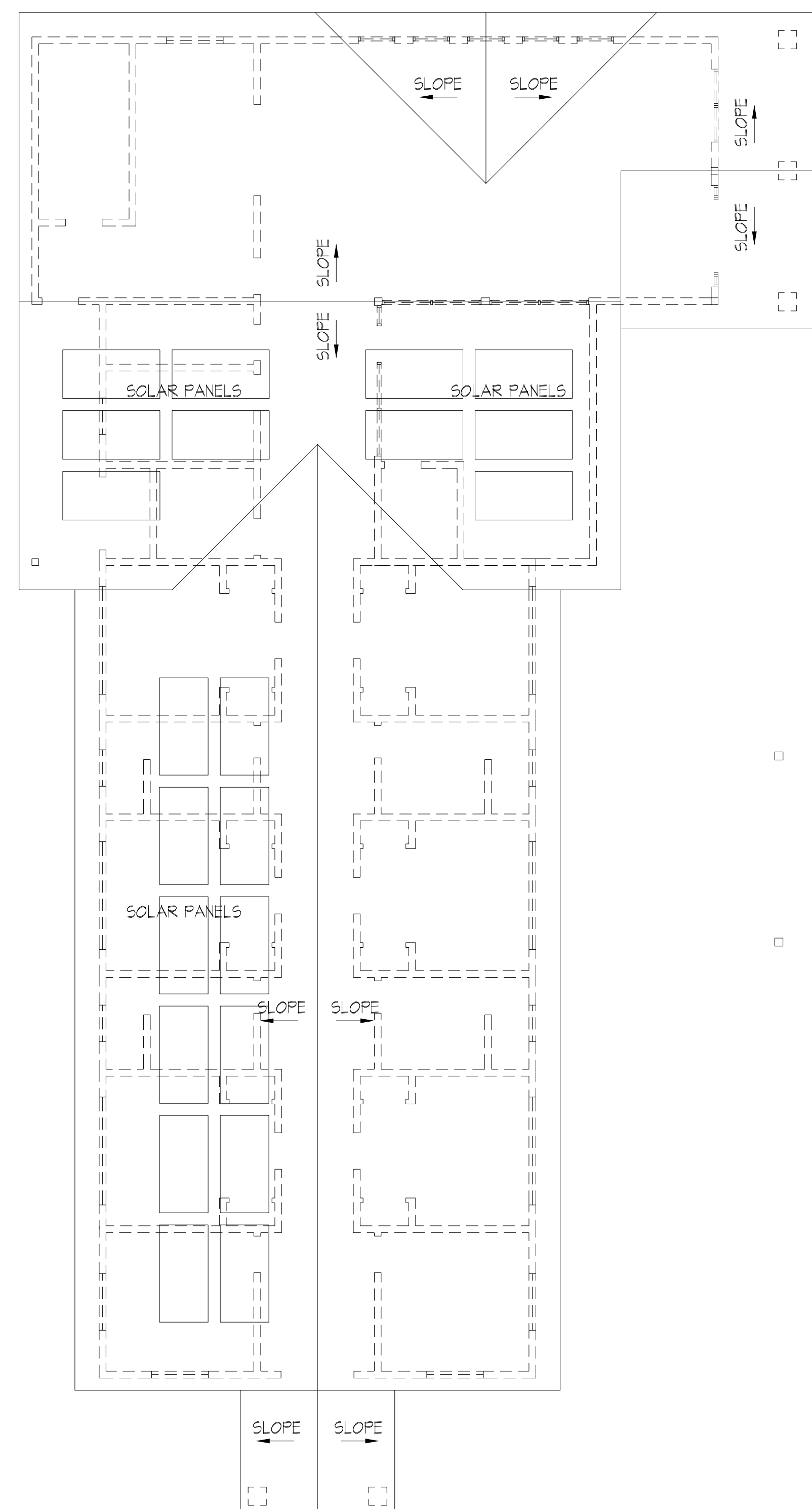
Project
CLEARLAKE CARE HOME
 14139 KONOCTI STREET
 CLEARLAKE, CALIFORNIA 95422

APN: 039-066-25

Drawing
FLOOR PLAN
ROOF PLAN
 BUILDING 1

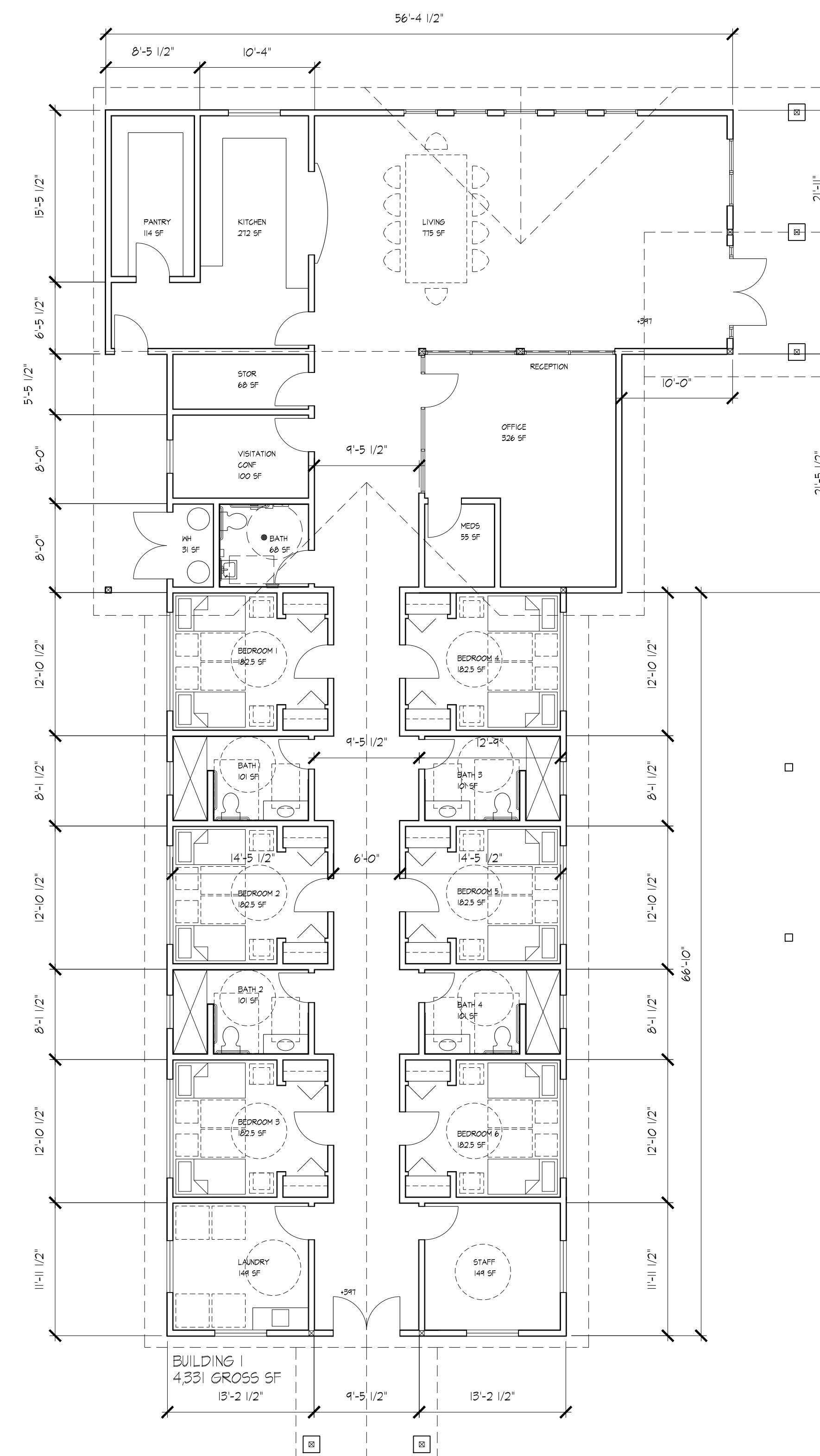
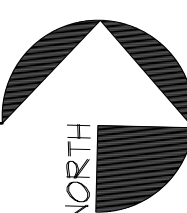
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 Reviewed GRS
 Date 04.03.22

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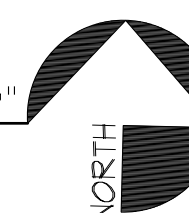
2 ROOF PLAN
 BUILDING 1

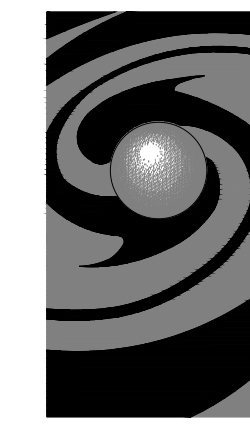
1/8" = 1'-0"



1 FLOOR PLAN
 BUILDING 1

1/8" = 1'-0"

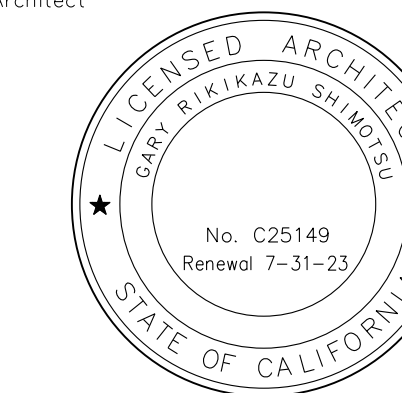




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Revisions

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△	-	-

Key Plan

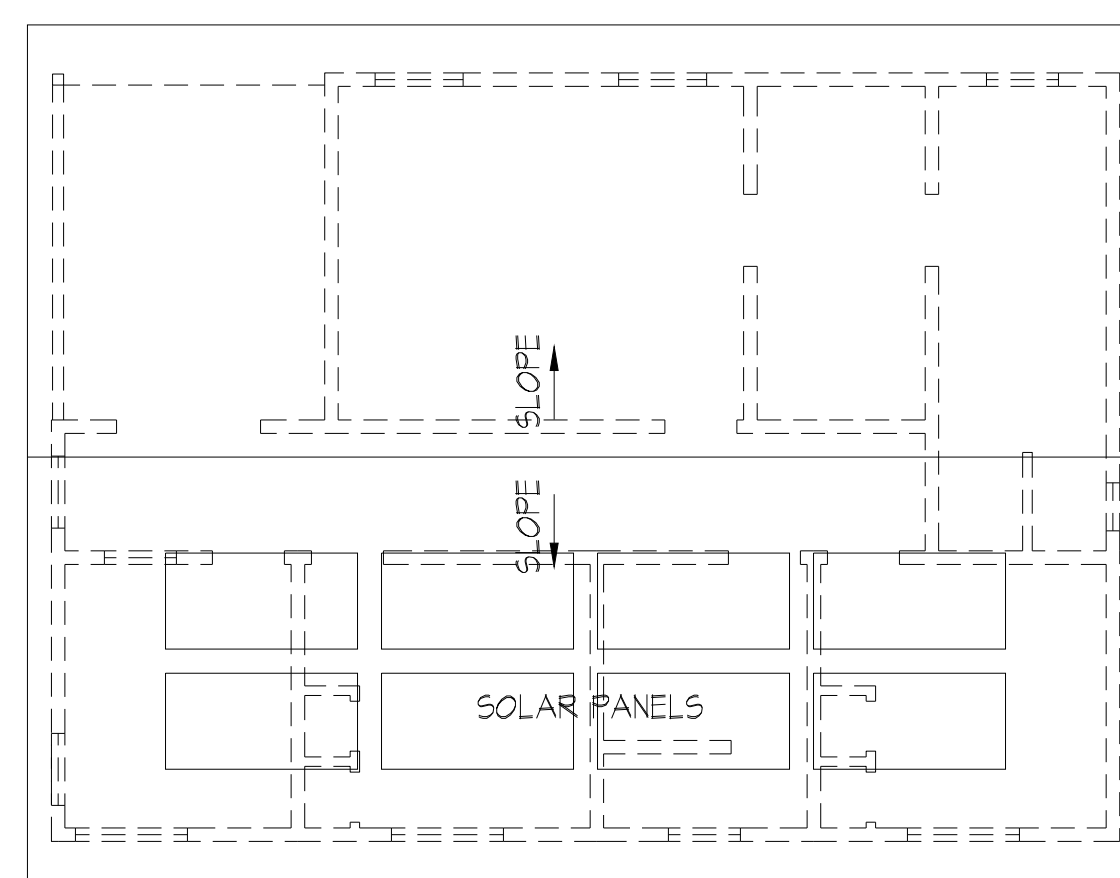
Project
 CLEARLAKE CARE HOME
 14139 KONOCTI STREET
 CLEARLAKE, CALIFORNIA 95422

APN: 039-066-25

Drawing
 FLOOR PLAN
 ROOF PLAN
 BUILDING 2

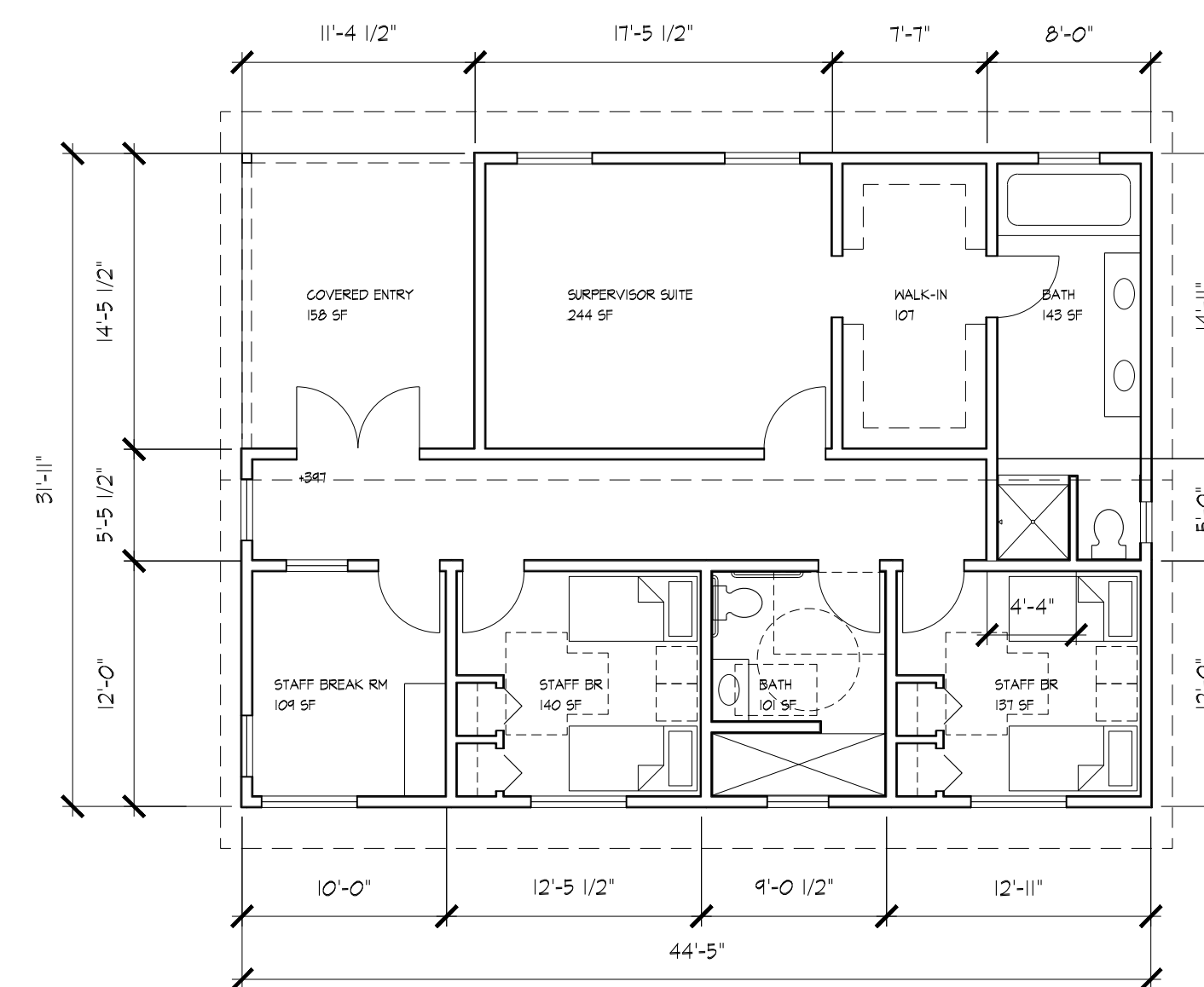
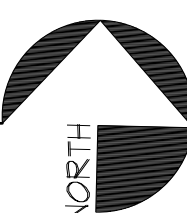
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 Reviewed GRS
 Date 04.03.22

A2.2



2 ROOF PLAN
 BUILDING 1

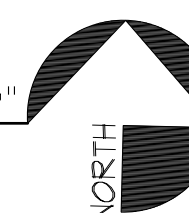
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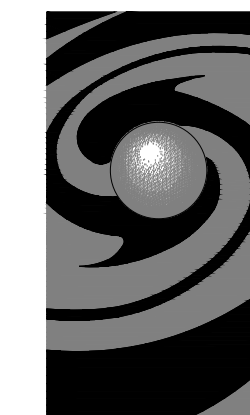


BUILDING 2 - STAFF
 1,176 GROSS SF

1 FLOOR PLAN
 BUILDING 2

1/8" = 1'-0"

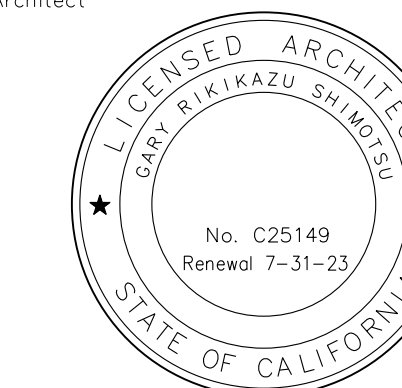




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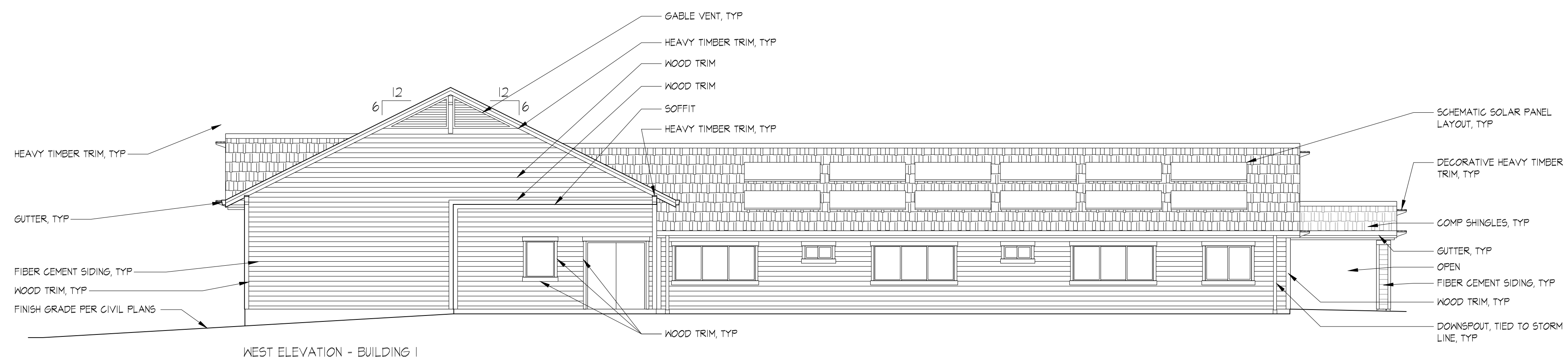
Project
CLEARLAKE CARE HOME
14139 KONOCTI STREET
CLEARLAKE, CALIFORNIA 95422

APN: 039-066-25

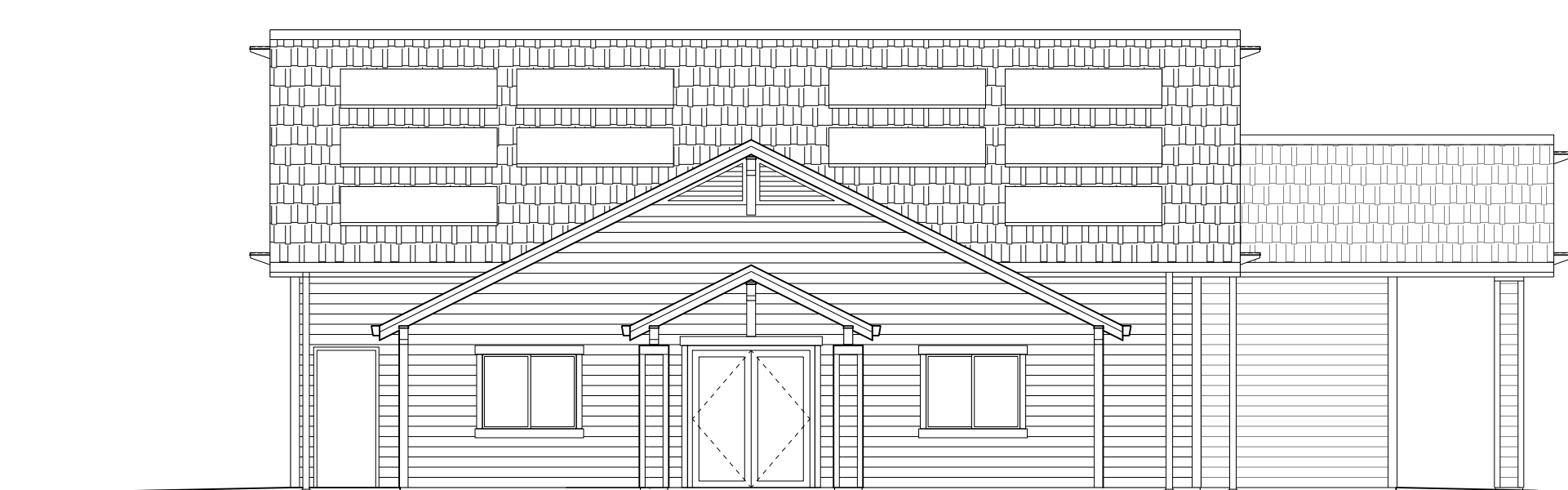
Drawing
EXTERIOR ELEVATIONS
BUILDING 1

Proj. No. 021-001 Sheet
Drawn -
Reviewed GRS
Date 04.03.22

A4.1



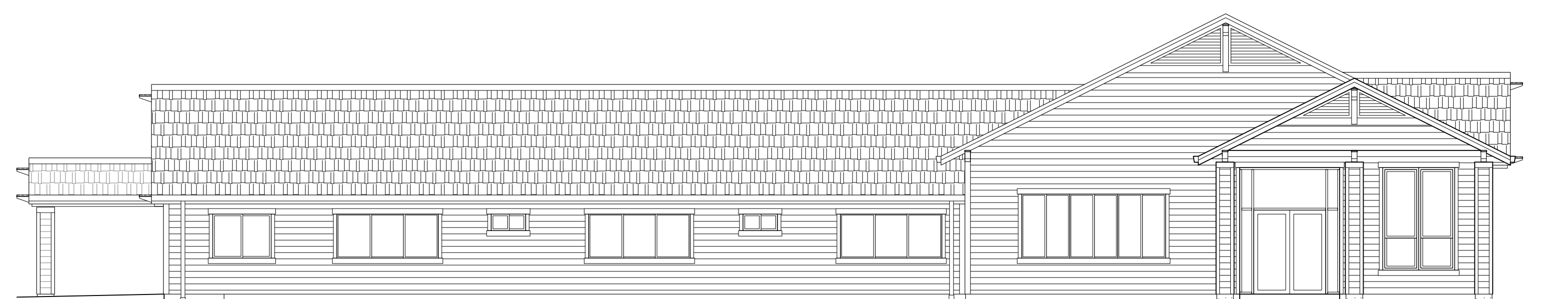
WEST ELEVATION - BUILDING 1



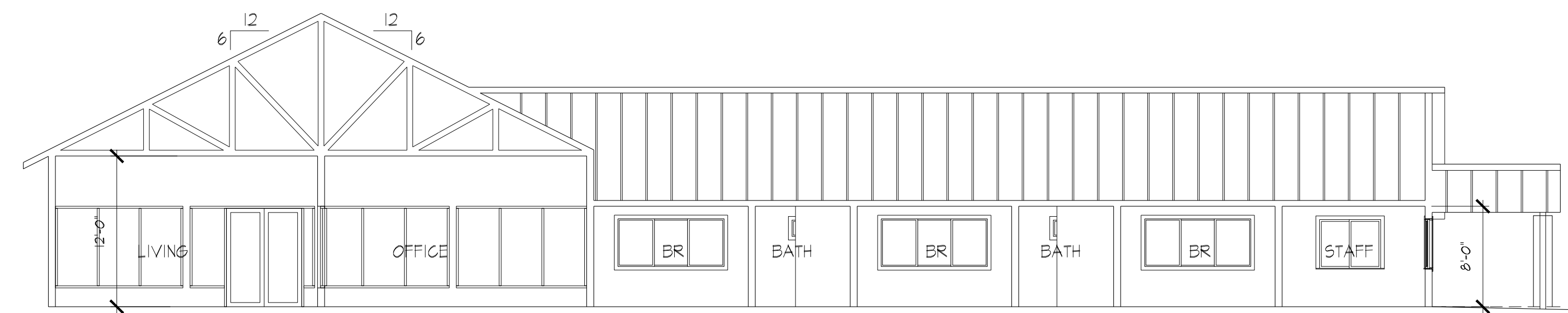
SOUTH ELEVATION - BUILDING 1



NORTH ELEVATION - BUILDING 1



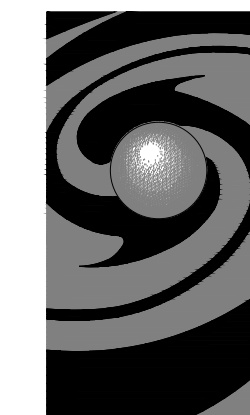
EAST ELEVATION - BUILDING 1



PRELIM SECTION

1 EXT ELEVATIONS - BLDG 1

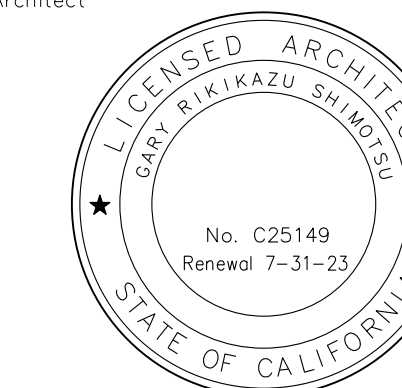
1/8" = 1'-0"



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Revisions

1	-	-
2	-	-

Key Plan

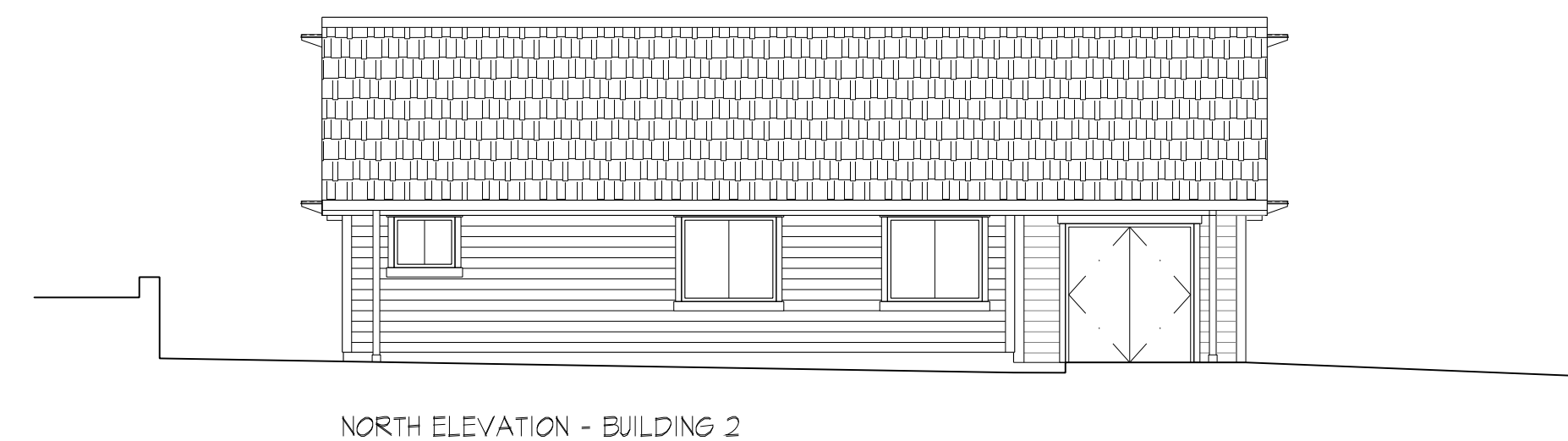
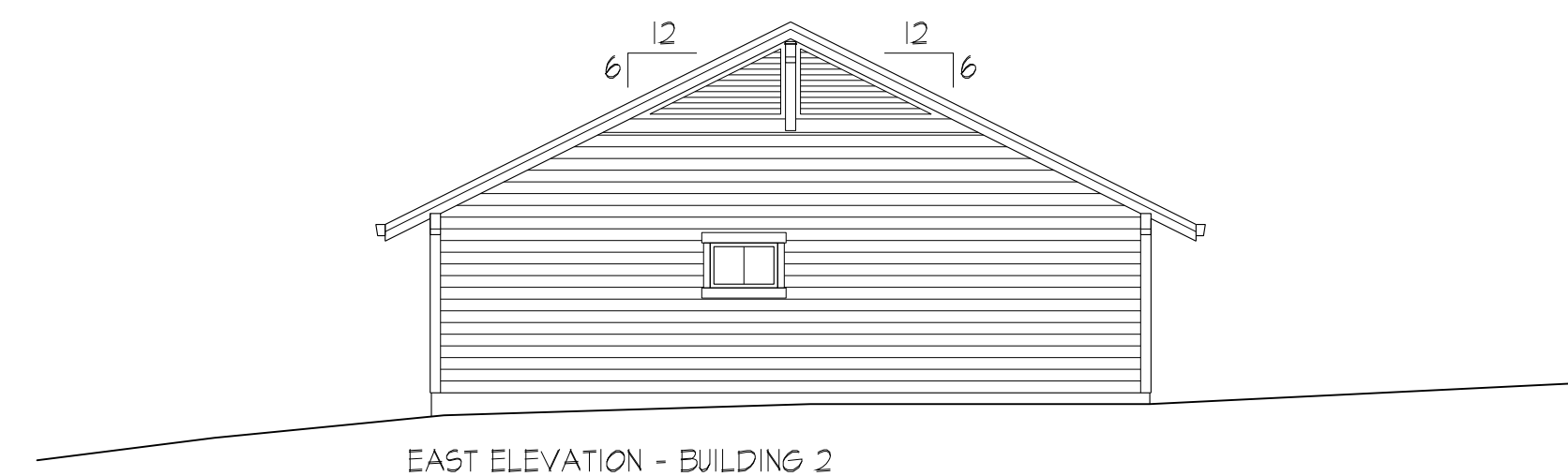
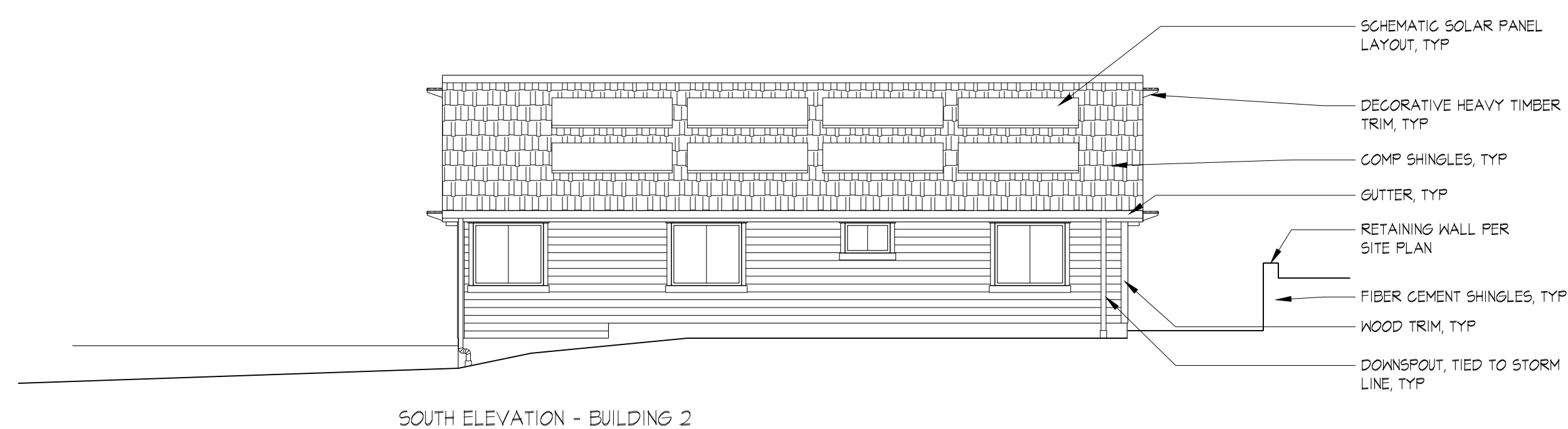
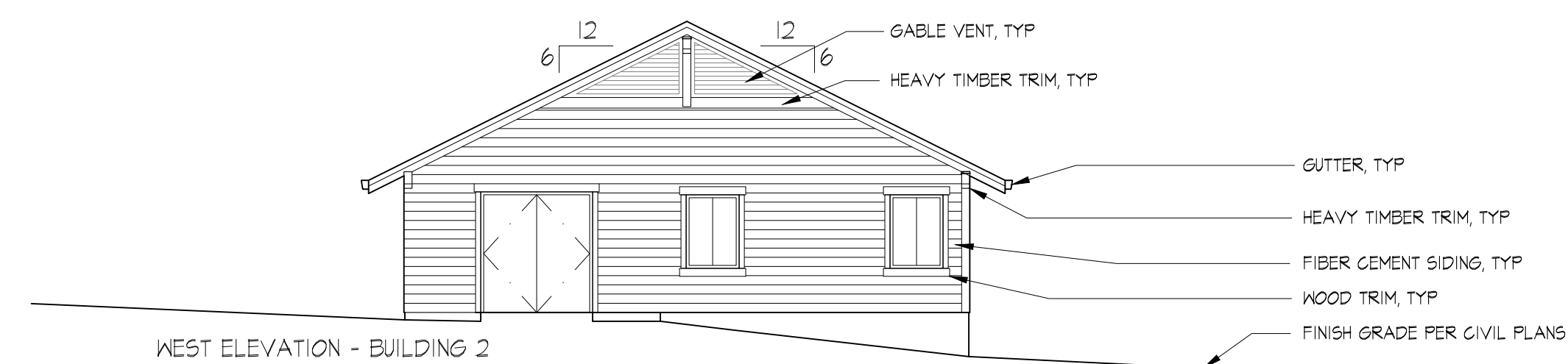
Project
CLEARLAKE CARE HOME
14139 KONOCTI STREET
CLEARLAKE, CALIFORNIA 95422

APN: 039-066-25

Drawing
EXTERIOR ELEVATIONS
BUILDING 2

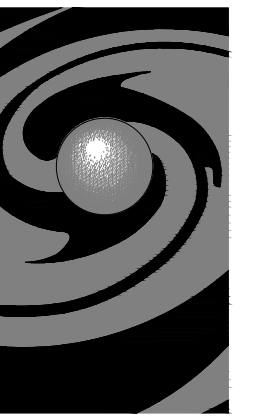
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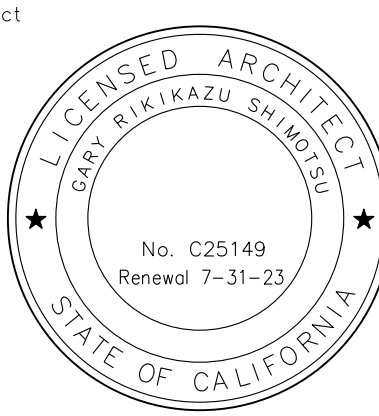
1 EXT ELEVATIONS - BLDG 2

1/8" = 1'-0"



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Revisions

1	-	-
2	-	-

Key Plan

Project
CLEARLAKE CARE HOME
14139 KONOCTI STREET
CLEARLAKE, CALIFORNIA 95422

APN: 039-066-25

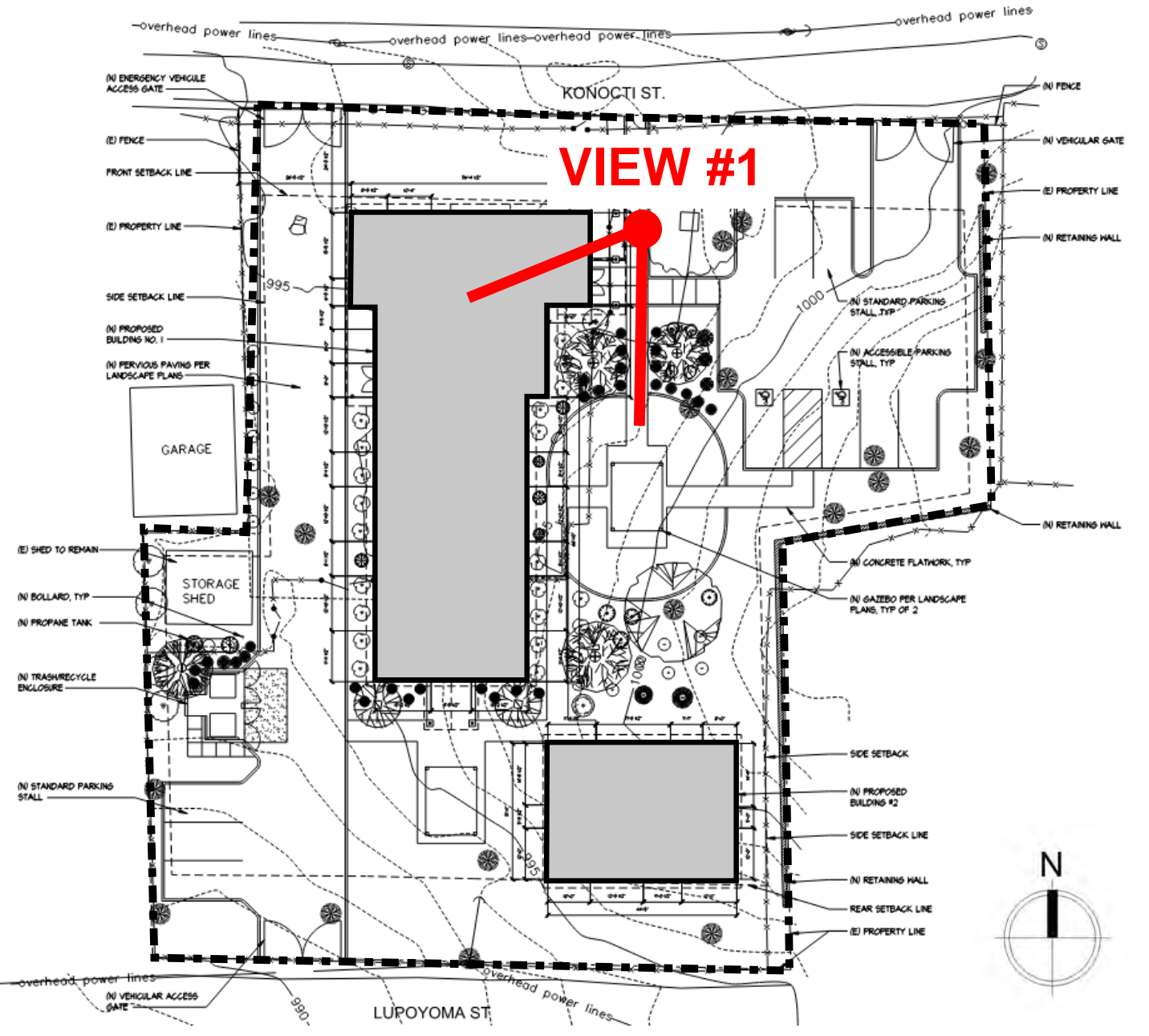
Drawing
3D RENDERINGS

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Reviewed GRS	
Date 04.03.22	

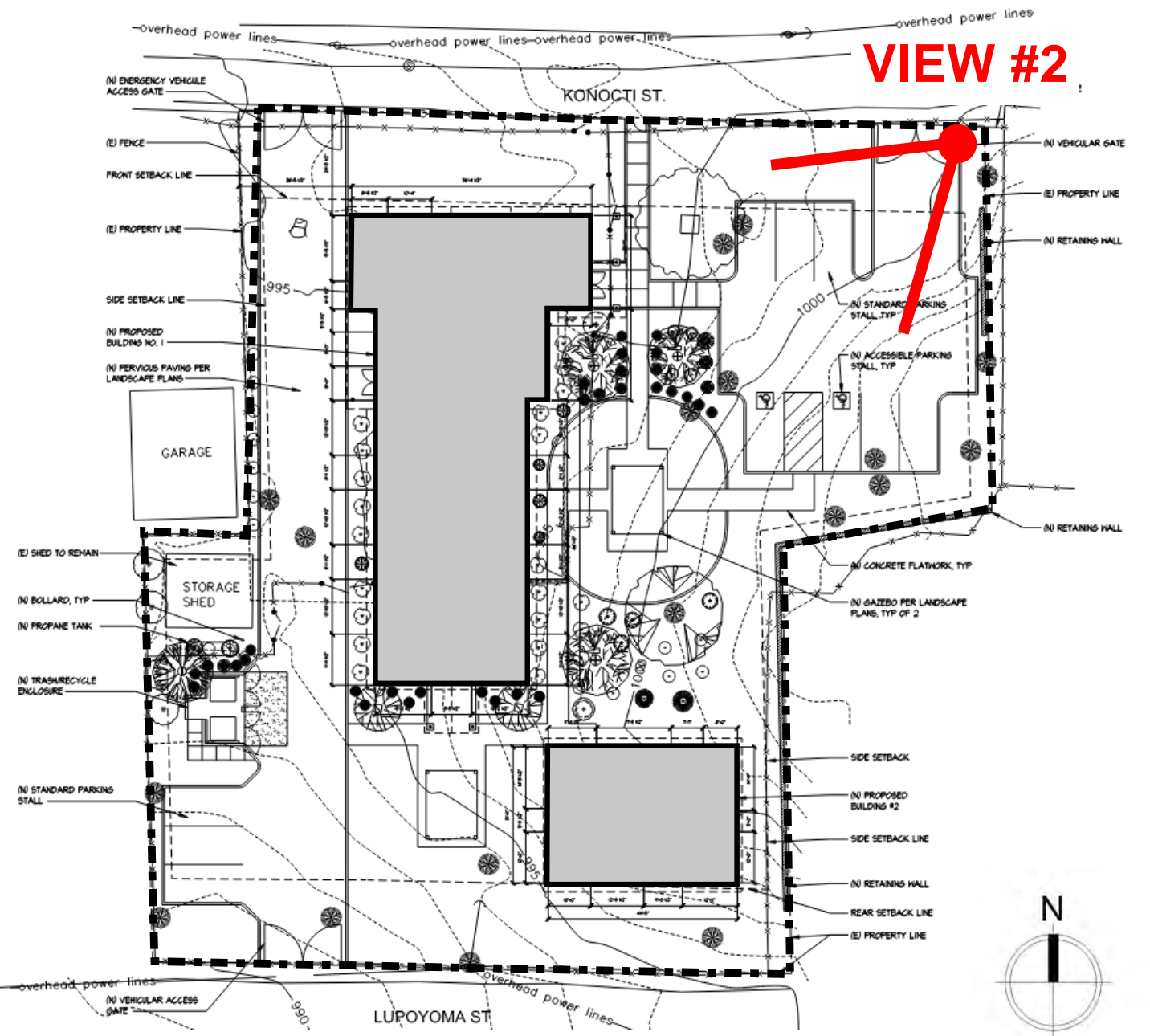
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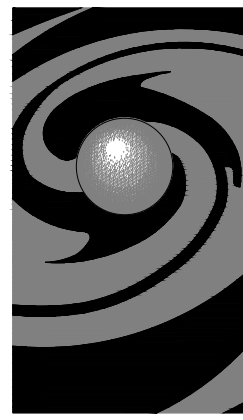


VIEW #1



VIEW #2

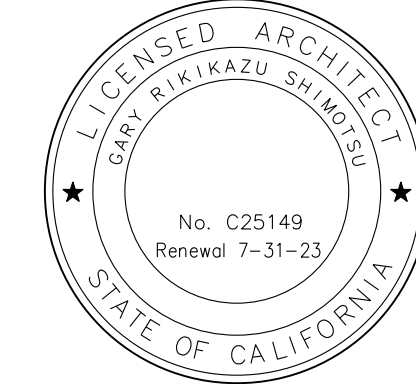




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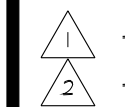
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Revisions



Key Plan

Project
CLEARLAKE CARE HOME
14139 KONOCTI STREET
CLEARLAKE, CALIFORNIA 95422

APN: 039-066-25

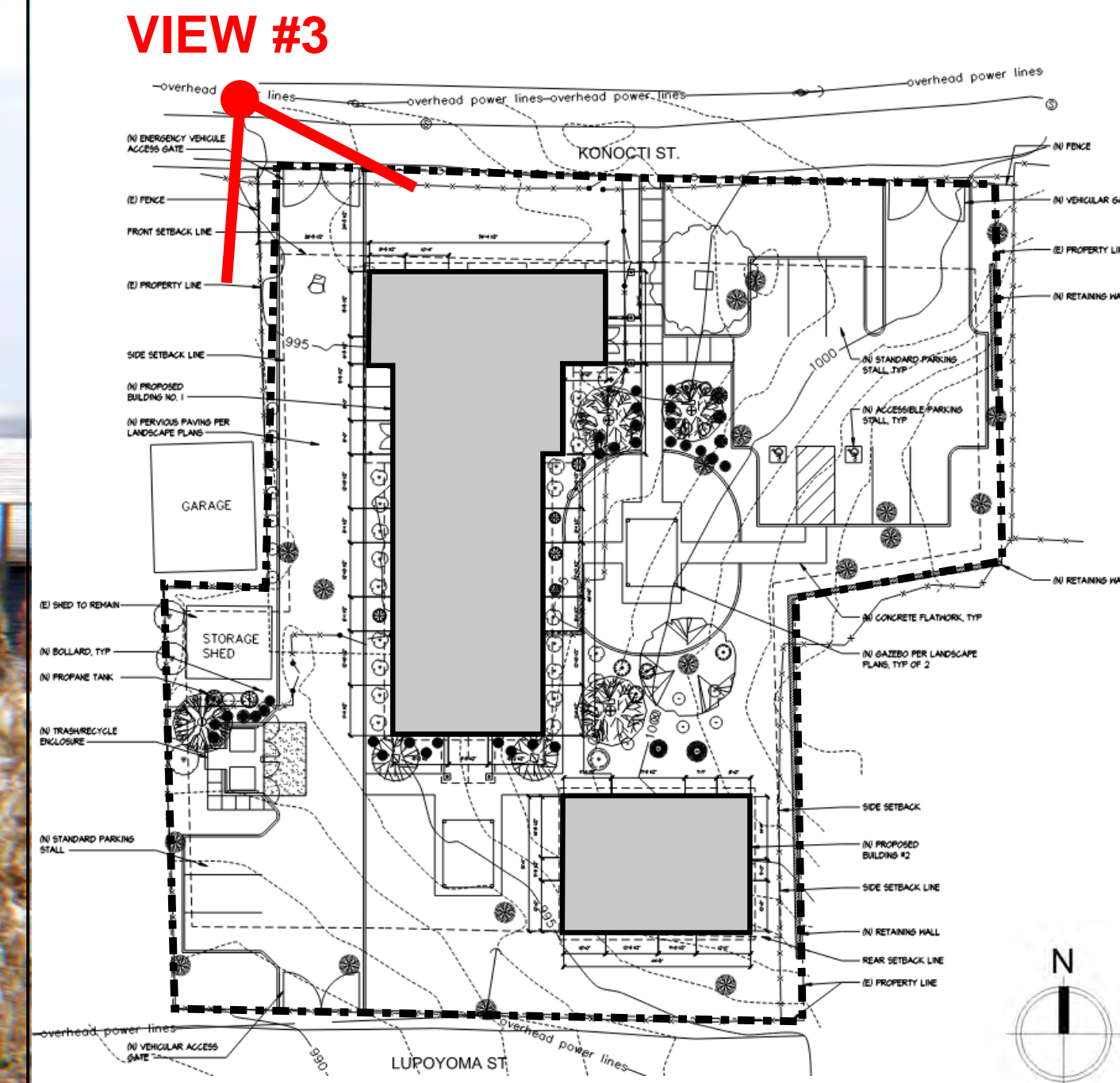
Drawing
3D RENDERINGS

Proj. No. 021-001
Drawn -
Reviewed GRS
Date 04.03.22

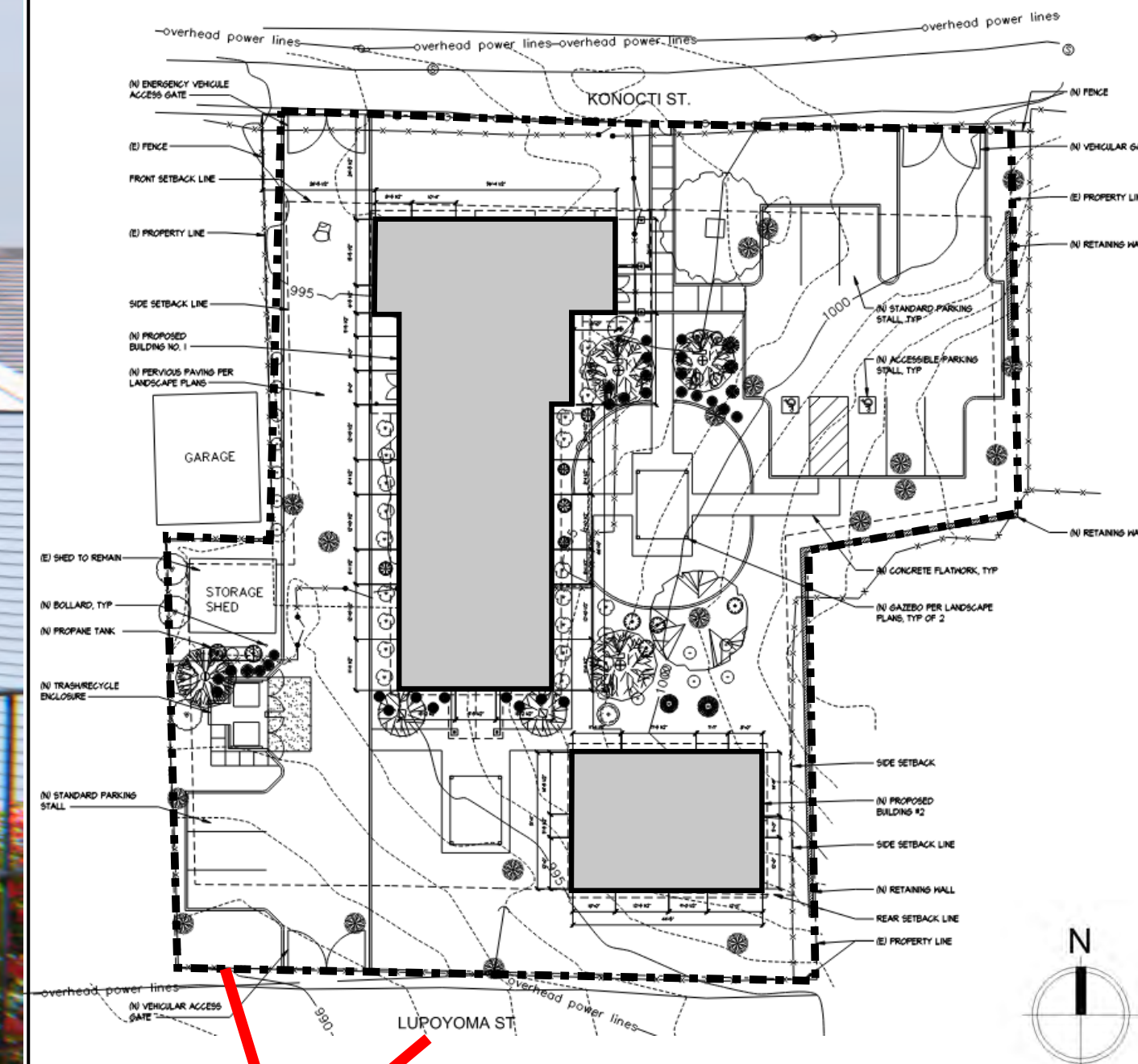
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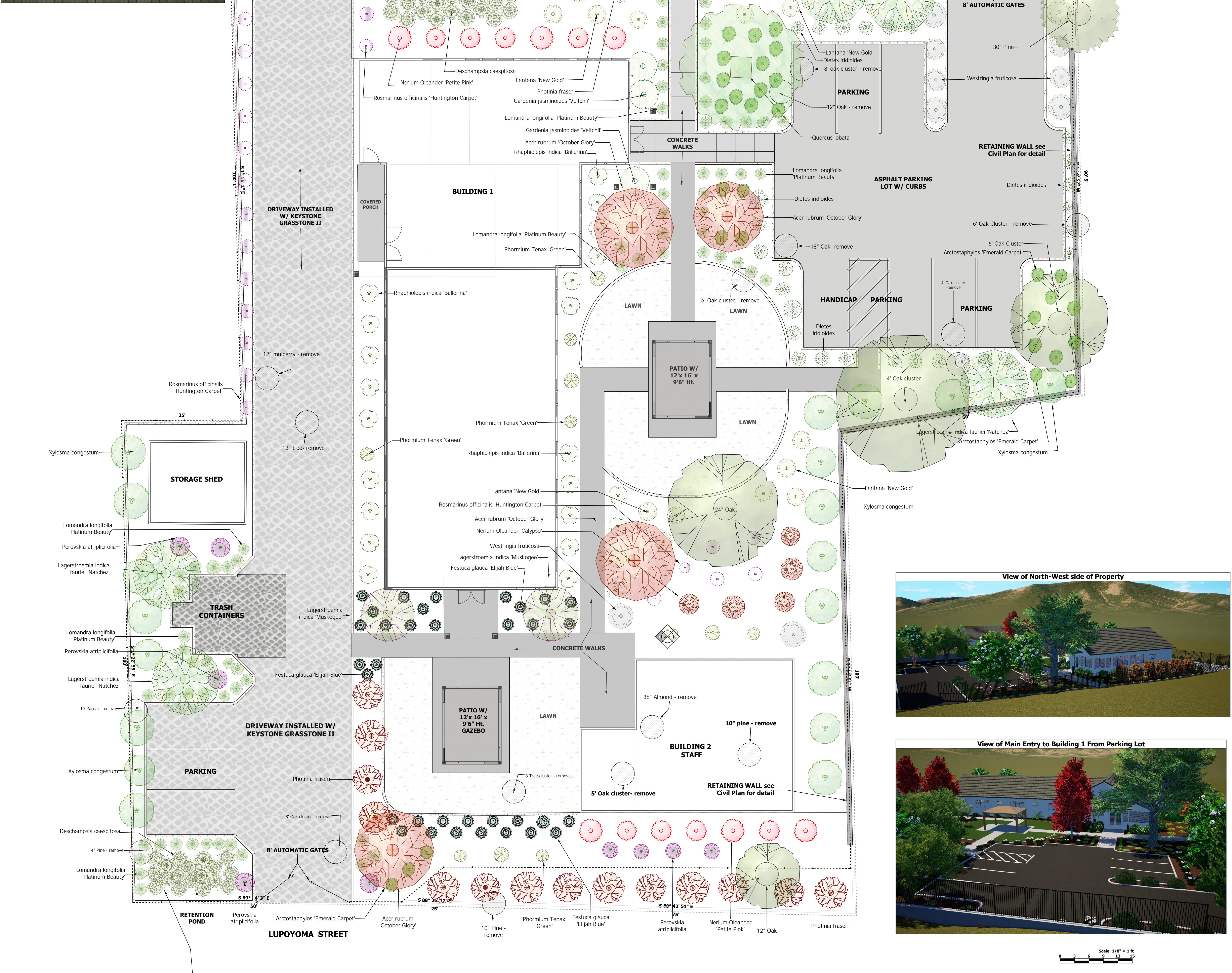
VIEW #3



VIEW #4



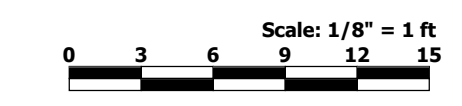
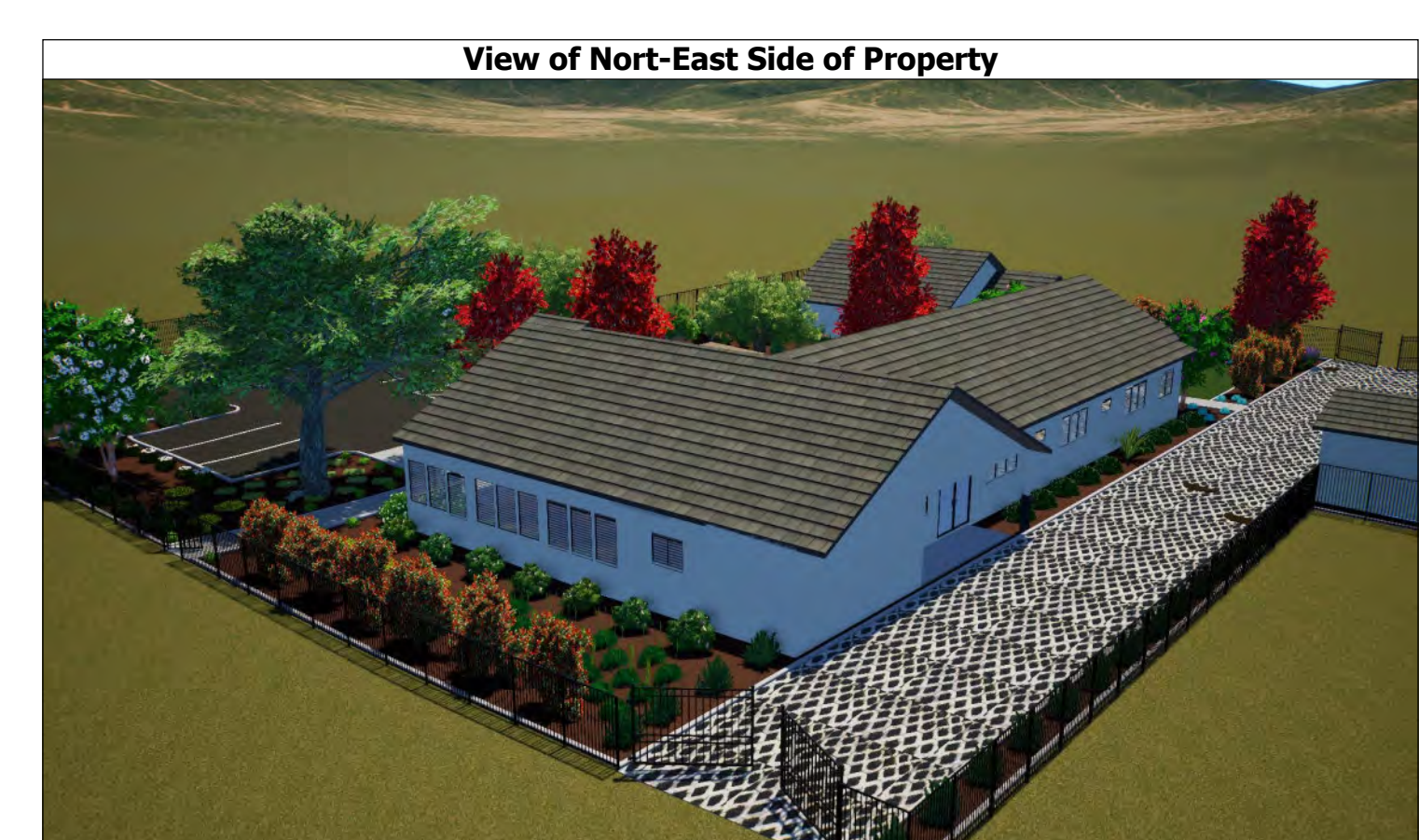
VIEW #4



PLANT LEGEND table with columns: Symbol, Botanical Name, Common Name, Qty, Size, Water. Lists various plants like Acer rubrum, Artemisia, Deschampsia, etc.

* NOTE: ALL PLANTS MAY NOT BE AVAILABLE AT PLANTING TIME. CONSULT WITH LANDSCAPE DESIGNER, LANDSCAPE CONTRACTOR OR NURSERY PROFESSIONAL FOR SUITABLE SUBSTITUTIONS COMPLIANT TO WUCOLS LOW OR MED WATER REQUIREMENTS

PLANTING NOTES section with numbered instructions (01) through (14) regarding field verification, materials, and installation.



CLEARLAKE ADULT INDEPENDENT LIVING FACILITY 14139 KNOOCTT STREET CLEARLAKE CA 95422

REVISED: 4/11/2022 DATE

LANDSCAPE PLAN AREA & SCOPE

1 OF 1 PAGE

1/8" = 1' 0" SCALE



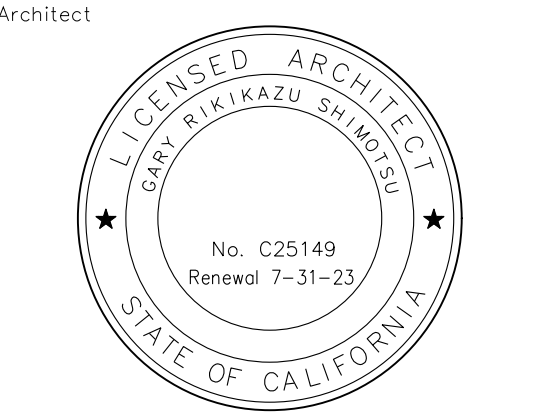
CLEARLAKE CARE HOME

14139 KONOCTI STREET CLEARLAKE, CA 95422



SHIMOTSU

Gary Shimotsu, Architect
PO Box 160785
Sacramento, CA 95816
916-704-9872



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Consultant

Revisions		
1	-	-
2	-	-

Key Plan

Project
CLEARLAKE CARE HOME
14139 KONOCTI STREET
CLEARLAKE, CALIFORNIA 95422

AFN: 039-066-25

Drawing
COVER SHEET

Proj. No. 021-001	Sheet
Drawn -	AO.1
Reviewed GRS	
Date 04.03.22	

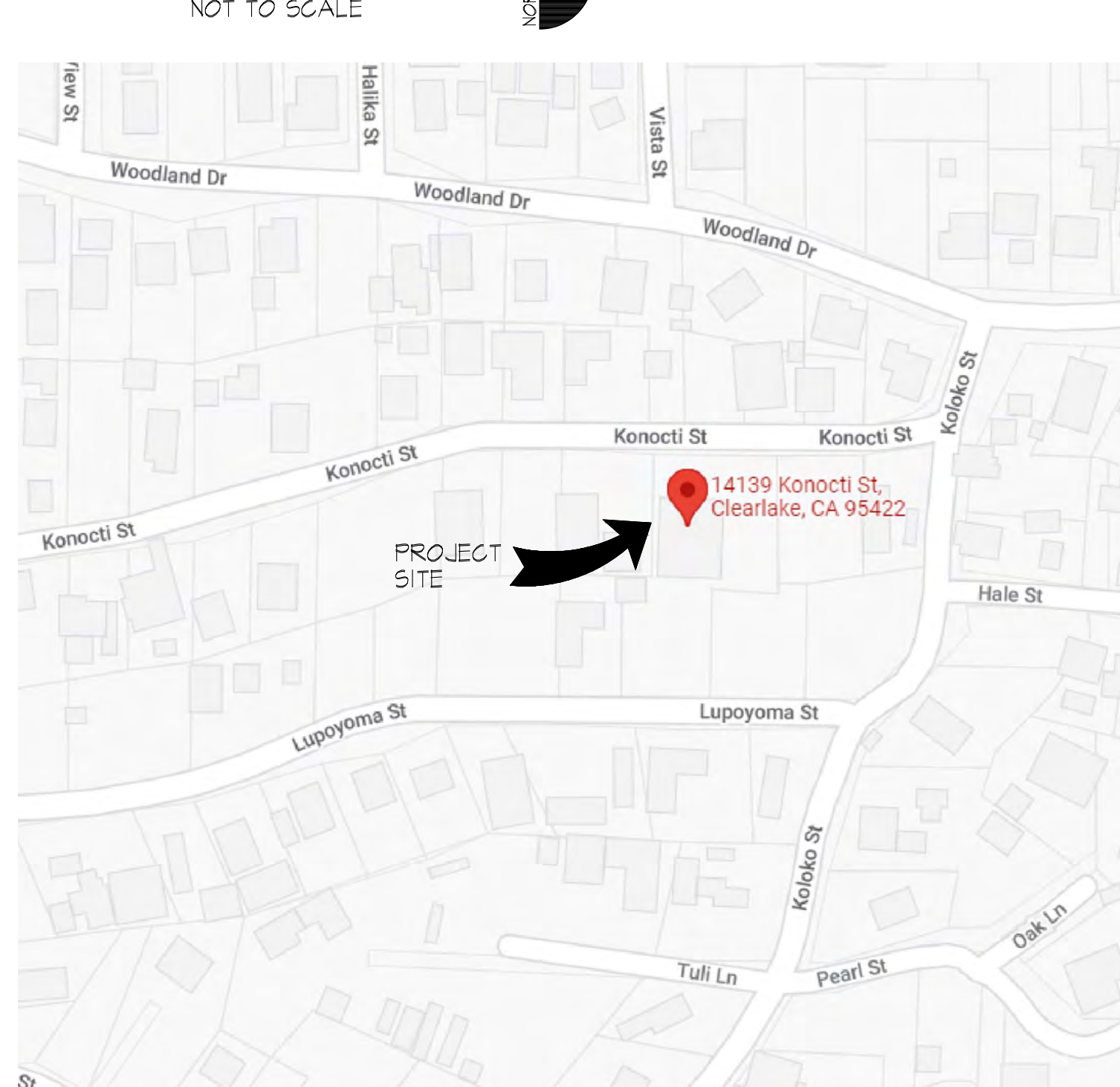
SYMBOL LEGEND

- WORK POINT, CONTROL POINT OR DATA POINT
- BUILDING SECTION
SECTION IDENTIFICATION
SHEET WHERE SECTION IS DRAWN
- ELEVATION
ELEVATION IDENTIFICATION
SHEET WHERE SECTION IS DRAWN
- DETAIL
DETAIL IDENTIFICATION
SHEET WHERE DETAIL IS DRAWN
- DIMENSIONS
DIMENSION POINT IS TO CENTER LINE TO DOORS AND WINDOWS
DIMENSION POINT IS TO FACE OF STUD, (FOS) AT WALLS
- DOOR TYPE
- WINDOW TYPE
- REVISION
CLOUD AROUND REVISION
REVISION NUMBER
- INTERIOR ELEVATIONS
ELEVATION IDENTIFICATION ARROWS INDICATE ELEVATION
SHEET WHERE ELEVATION IS DRAWN
- EXTERIOR ELEVATIONS
SCHEDULED FINISH

GENERAL NOTES

1. IN CASE OF DISCREPANCY CONCERNING DIMENSIONS, QUANTITIES, AND LOCATION THE CONTRACTOR AND/OR THE APPLICABLE SUBCONTRACTOR SHALL, IN WRITING, CALL TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES BETWEEN SPECIFICATIONS, PLANS, DETAILS, OR SCHEDULES. THE ARCHITECT WILL THEN INFORM THE CONTRACTOR AND/OR THE APPLICABLE SUB CONTRACTOR IN WRITING, WHICH DOCUMENT TAKES PRECEDENCE. THERE SHALL BE NO ADJUSTMENT TO THE COST OF THE WORK RESULTING FROM SUCH CLARIFICATION OF DISCREPANCIES.
2. FAILURE TO REPORT A CONFLICT IN THE CONTRACT DOCUMENTS SHALL BE DEEMED EVIDENCE THAT THE CONTRACTOR AND/OR THE APPLICABLE SUBCONTRACTOR HAS ELECTED TO PROCEED IN THE MORE EXPENSIVE MANNER.
3. THE CONTRACTOR AND/OR THE APPLICABLE SUBCONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS AND DIMENSIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT ABOUT CONDITIONS REQUIRING MODIFICATIONS BEFORE PROCEEDING WITH THE WORK.
4. DIMENSIONS:
 - A. IT SHALL BE THE CONTRACTOR'S AND/OR THE APPLICABLE SUBCONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS SHOWN ON THE ARCHITECTURAL DRAWINGS WITH RELATED REQUIREMENTS OF THE STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND LANDSCAPE DRAWINGS; NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
 - B. ALL DIMENSIONS SHOWN ARE F.O.S. (FACE OF STUD) UNLESS A CENTERLINE (LINE INTERRUPTED WITH ONE DOT) OR NOTED C IS SHOWN.
 - C. ALL DIMENSIONS ARE TO THE ROUGH UNLESS OTHERWISE SHOWN.
 - D. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BEFORE PROCEEDING WITH THE WORK.
5. PROVIDE ALL NECESSARY ANCHORAGE BLOCKING, BACKING AND FRAMING NOT NECESSARILY LIMITED TO THE INSTALLATION OF LIGHT FIXTURES, FIRE EXTINGUISHERS, TOILET ACCESSORIES, BRACKETS, HANDICAP EQUIPMENT AND TOILET PARTITIONS.
6. DOOR SIZES INDICATED ON DRAWINGS ARE OPENING DIMENSIONS; ALLOWANCES FOR THRESHOLDS, ETC. SHALL BE TAKEN FOR NET DOOR SIZES.
7. DETAILS MARKED TYPICAL (TYP.) SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE.
8. WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION ON THIS PROJECT.
9. FIRE SAFETY DURING CONSTRUCTION: 2016 CRC CHAPTER 33 REQUIRES CERTAIN SAFETY PROCEDURES BE FOLLOWED DURING NEW CONSTRUCTION. THE FIRE PREVENTION BUREAU WILL BE INSPECTING THE SITE IN ACCORDANCE WITH THIS ARTICLE.
10. FINAL APPROVAL IS DEPENDENT UPON FIELD INSPECTIONS AND/OR ANY NECESSARY ACCEPTANCE TESTS.
11. PROVIDE METAL ESCUTCHEON PLATE OVER ANNULAR SPACE CREATED BY THE PENETRATIONS OF A FIRE SPRINKLER.

VICINITY MAP



PROJECT DATA

PROJECT SCOPE NARRATIVE
THE PROJECT CONSISTS OF THE DESIGN AND RE-CONSTRUCTION OF A PREVIOUS RESIDENTIAL CARE FACILITY THAT WAS DESTROYED IN THE 2017 SULPHUR FIRE IN CLEARLAKE, CA. THE PROJECT WILL BE REQUIRED TO MEET CURRENT BUILDING CODE AND IS INTENDED TO IMPROVE ENERGY EFFICIENCY.

THE REDESIGN WILL CONSIST OF CHANGING THE EXISTING 2-STORY STRUCTURES TO TWO NEW 1-STORY STRUCTURES FOR A TOTAL OF APPROXIMATELY 5,000 SQUARE FEET; THE ADDITION OF A FIRE SPRINKLER SYSTEM; THE ADDITION OF A FIRE ACCESS ROAD FROM KONOCTI STREET TO LUPOYOMA STREET, AND THE REMOVAL OF THE LARGE WOODEN DECKS AND BALCONIES, RAMPS, AND STAIRS.

LEGAL DESCRIPTION
ONE PARCEL COMPRISED OF PARCELS A AND C, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID LAKE COUNTY ON MAY 12, 1983 IN BOOK 23 OF PARCEL MAPS AT PAGE 38, PURSUANT TO "NOTICE OF MERGER OF CONTIGUOUS PARCELS", RECORDED OCTOBER 7, 1989 AS INSTRUMENT NO. 99-011953, LAKE COUNTY RECORDS. PARCELS B AND C AS SHOWN ON A MAP FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID LAKE COUNTY ON MAY 12, 1983, IN BK. 23 OF PM, AT PG. 38.

GOVERNING CODES
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA GREEN BLDG STANDARDS

MUNICIPAL REVIEW CITY OF CLEARLAKE PLANNING AND BUILDING DEPARTMENT, LAKE COUNTY FIRE PROTECTION DISTRICT

ZONING RR DISTRICT, RURAL RESIDENTIAL

SITE AREA 0.74 ACRE
32,220 SF

BUILDING AREA BUILDING 1: 4,331 GSF
BUILDING 2: 1,176 GSF

LOT COVERAGE AREA IMPERVIOUS AREA:

CONSTRUCTION TYPE BUILDING 1: TYPE V-A
BUILDING 2: TYPE V-A

BUILDING HEIGHT BUILDING 1:
BUILDING 2:

OCCUPANCY BUILDING 1 AND 2: R-4

PROJECT DIRECTORY

OWNER
BE APRIL IMPORTANTE
1618 DESCANSO
SAN LORENZO, CA 94580
TEL. (510) 329-3779
beaimportante@gmail.com

LANDSCAPE DESIGNER
LANDSCAPE DESIGN SOLUTIONS
3471 BUENA VISTA DRIVE
SHINGLE SPRINGS, CA 95682
TEL. (916) 532-6395
FRISCOLLA GIBSON
landesolpg@gmail.com

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NELSON ENGINEERING
159 SOUTH AUBURN STREET
GRASS VALLEY, CA 95945
TEL. (530) 432-4818
KEVIN NELSON
k2@nelsonengineer.com

INSPECTIONS

ARCHITECT/ENGINEER INSPECTIONS
IN ADDITION TO INSPECTIONS BY THE BUILDING AUTHORITIES & TESTING LABS, THE ARCHITECT/ENGINEERS WILL INSPECT THE ITEMS LISTED BELOW. THE CONTRACTOR SHALL REQUEST ALL INSPECTIONS (USING THE ARCHITECT INSPECTION REQUEST FORM) FROM THE ARCHITECT AT LEAST 72 HOURS IN ADVANCE OF THE REQUIRED INSPECTION. IF CORRECTIVE ACTION IS REQUIRED, ALLOW FOR RE-INSPECTION OF THE CORRECTED WORK BEFORE PROCEEDING.

- PLUMBING UNDERGROUND
- ELECTRICAL UNDERGROUND
- FOOTING & EMBEDS
- PLUMBING ROUGH-IN
- MECHANICAL ROUGH-IN
- ELECTRICAL ROUGH-IN
- FRAMING/SHEAR NAILING
- FINAL PLUMBING/MECHANICAL
- FINAL ELECTRICAL
- FINAL ARCHITECTURAL

SHEET INDEX

A0.1	COVER SHEET
-	EXISTING SURVEY
-	CIVIL PLAN
A1.1	SITE PLAN
A2.1	BUILDING 1, FLOOR PLAN AND ROOF PLAN
A2.2	BUILDING 2, FLOOR PLAN AND ROOF PLAN
A4.1	BUILDING 1, EXTERIOR ELEVATIONS
A4.2	BUILDING 2, EXTERIOR ELEVATIONS
A5.1	3D RENDERINGS
A5.2	3D RENDERINGS
A5.3	3D RENDERINGS
-	LANDSCAPE PLAN

DEFERRED SUBMITTALS

FIRE ALARM PLANS
FIRE SPRINKLER PLANS
ALL FIRE AND LIFE SAFETY SYSTEMS.

OWNER:
 BE APRIL IMPORTANTE
 18060 MEE;LAND AVENUE
 HAYWARD, CALIFORNIA 94541
ASSESSOR'S PARCEL NUMBER:
 039-066-25

SITE ADDRESS:
 14139 KONOCTI ROAD, CLEARLAKE, CA.95422

ZONING:
 "RR" DISTRICT, RURAL RESIDENTIAL

WATER SUPPLY:
 GOLDEN STATE WATER DISTRICT

SEWAGE DISPOSAL:
 LAKE COUNTY SPECIAL DISTRICTS

FIRE PROTECTION:
 LAKE COUNTY FIRE PROTECTION DISTRICT

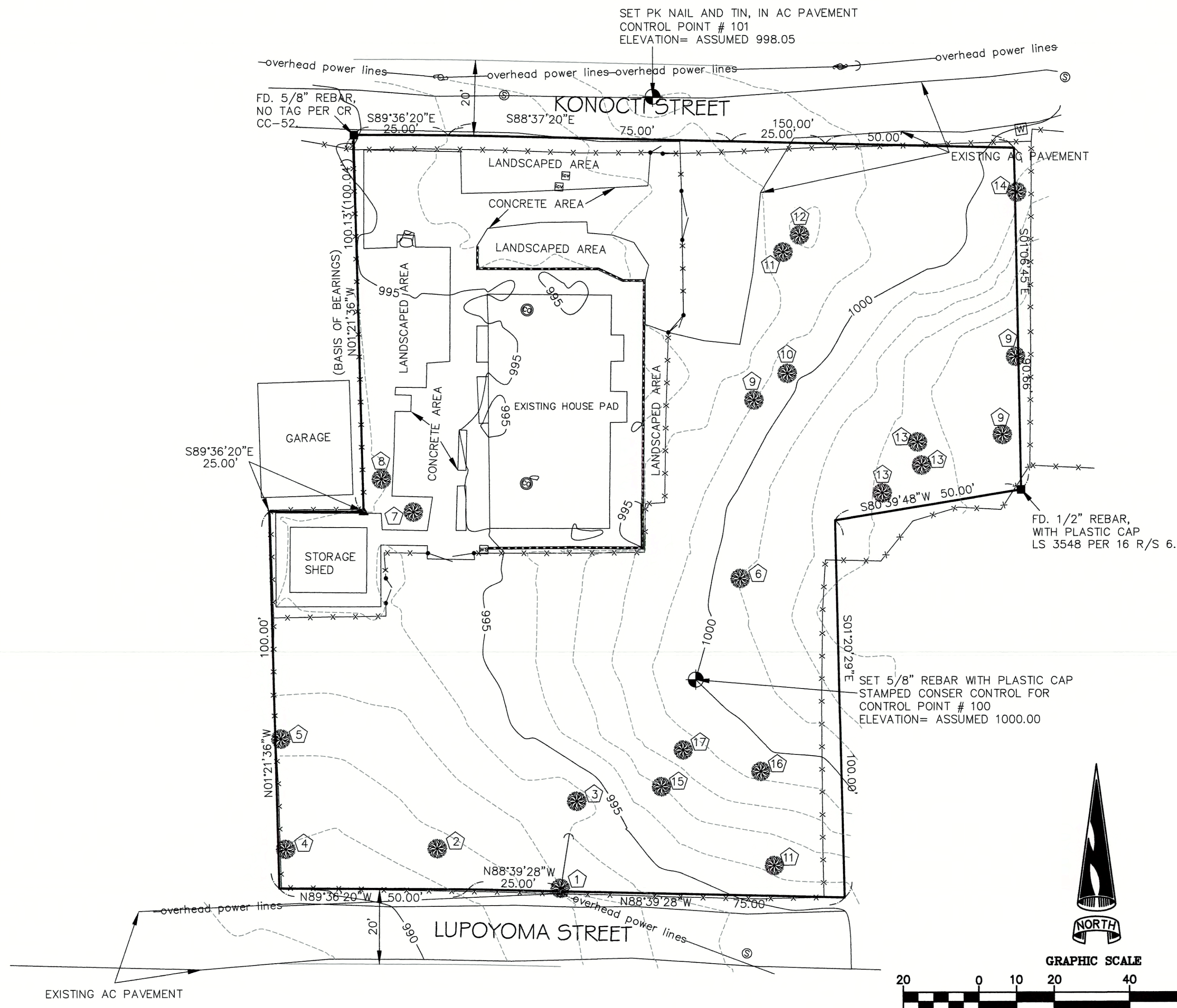
SURVEYOR:
 MICHAEL S. CONSER PLS 8383

- LEGEND:**
- x-x-x- INDICATES FENCE
 - ⊕ INDICATES POWER POLE
 - ⊙ INDICATES SEWER MAN HOLE
 - Ⓜ INDICATES WATER METER
 - INDICATES GUY ANCHOR
 - Ⓜ INDICATES IRRIGATION CONTROL VAULT
 - Ⓜ INDICATES WATER SPIGOT
 - ⊙ INDICATES 2 INCH SEWER CLEANOUT
 - ⊙ INDICATES TREE
 - Ⓜ INDICATES STUMP
 - INDICATES RETAINING WALL
 - INDICATES GATE POST
 - ▲ INDICATES FOUND 5/8" REBAR WITH PLASTIC CAP RCE 26920 PER CORNER RECORD CC-52 ON FILE WITH THE LAKE COUNTY SURVEYOR'S OFFICE.
 - INDICATES FOUND MONUMENT AS NOTED

TREE TABLE	
#	
1	10" PINE
2	8 FOOT OAK CLUSTER
3	8 FOOT TREE CLUSTER
4	14" PINE
5	10" ACACIA
6	24" OAK
7	12" TREE
8	12" MULBERRY
9	6 FOOT OAK CLUSTER
10	18" OAK
11	12" OAK
12	8 FOOT OAK CLUSTER
13	4 FOOT OAK CLUSTER
14	30" PINE
15	5 FOOT OAK CLUSTER
16	10" PINE
17	36" ALMOND

FLOOD PLAIN NOTE:
 ACCORDING TO THE FLOOD INSURANCE RATE MAP DATED SEPT. 30, 2005 THE SITE IS LOCATED IN THE ZONE "X" AREA DETERMINED TO BE AREAS OF MINIMAL FLOODING. (06033C0684 "D", COUNTY OF LAKE COMMUNITY NO. 060714).

NOTE:
 THERE ARE SEVERAL PVC PIPES OF DIFFERENT SIZES WITHIN THE HOUSE PAD AREA THAT ARE NOT SHOWN ON THIS SURVEY.
 BEARINGS AND DISTANCES SHOWN ARE RECORD PER CORNER RECORD CC-52.



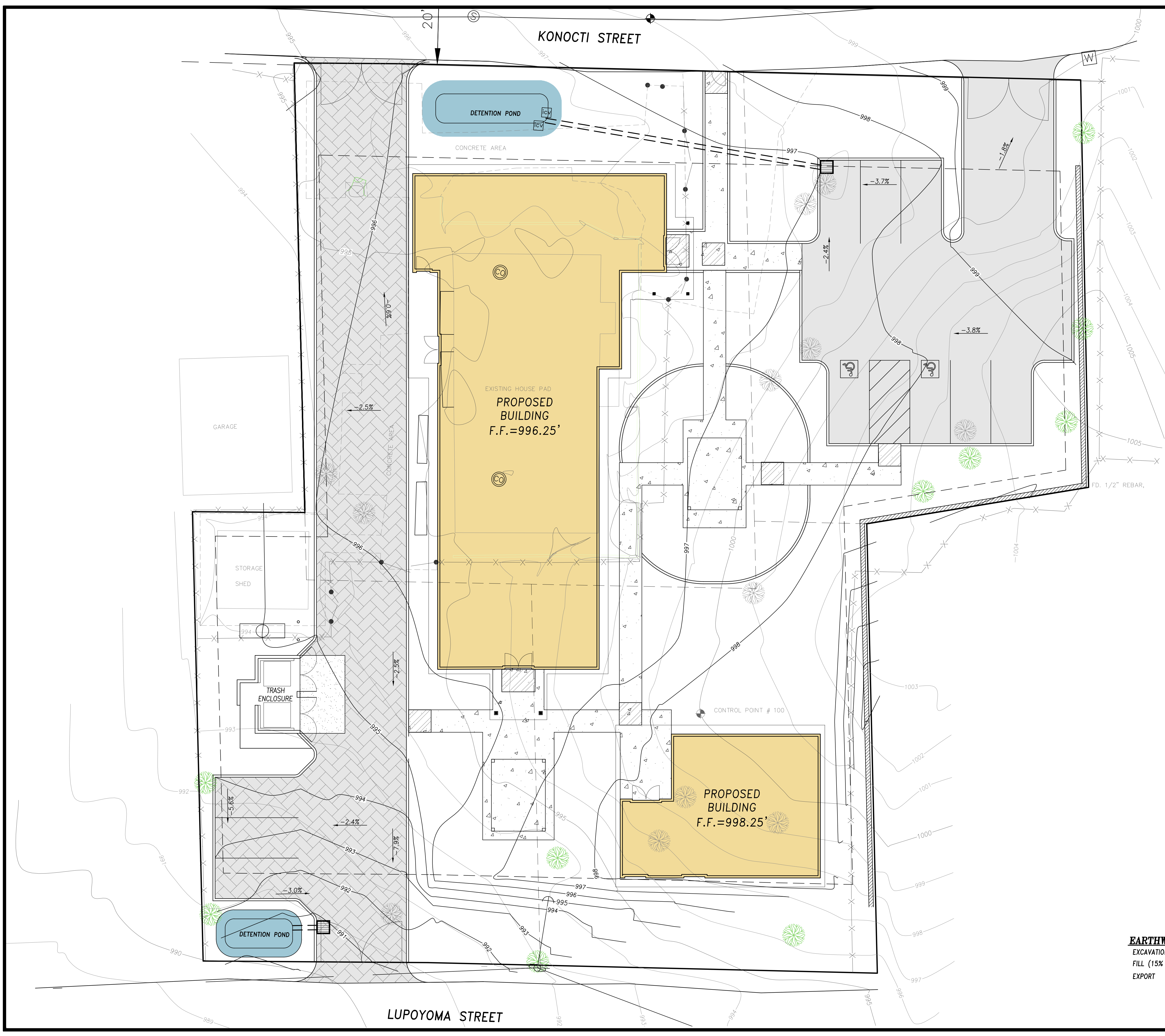
TOPOGRAPHICAL SURVEY
 FOR
BE APRIL IMPORTANTE

ONE PARCEL COMPRISED OF PARCELS A AND C, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID LAKE COUNTY ON MAY 12, 1983 IN BOOK 23 OF PARCEL MAPS AT PAGE 38, PURSUANT TO "NOTICE OF MERGER OF CONTIGUOUS PARCELS", RECORDED OCTOBER 7, 1999 AS INSTRUMENT NO. 99-017953, LAKE COUNTY RECORDS. PARCELS B AND C AS SHOWN ON A MAP FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID LAKE COUNTY ON MAY 12, 1983, IN BK. 23 OF PM, AT PG. 38.
 CITY OF CLEARLAKE, COUNTY OF LAKE, CALIFORNIA

CONSER
 Land Surveying

650 SOUTH MAIN STREET
 LAKEPORT, CALIFORNIA 95453
 PHONE (707) 263-5512
 FAX (707) 263-0455

JOB NO. 20-119
ACAD FILE TOPO
DESIGNED C3
CAD BY C3
CHECKED C1
DATE 1-14-20
SHEET
NO. 1 OF 1 SHEETS



LEGEND

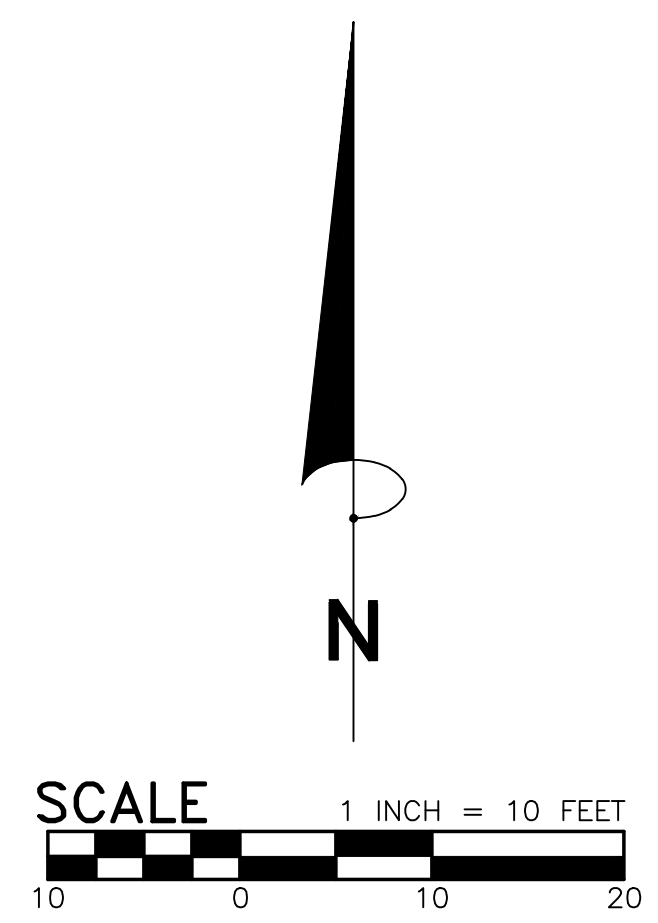
- 2670 — EXISTING CONTOUR
- PROPERTY LINE
- PROPOSED RETAINING WALL (MAX 6')
- ☀️ EXISTING TREES
- PROPOSED HOUSE
- PROPOSED ASPHALT DRIVEWAY
- PROPOSED TURF BLOCK FIRE LANE
- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING WOOD DECK
- EXISTING DRAINAGE
- EXISTING CHAINLINK FENCE
- EXISTING WIRE FENCE
- (W) EXISTING WATER
- (SS) EXISTING SEWER
- (ELEC) EXISTING ELECTRICAL
- (X SD) EXISTING STORM DRAIN PIPE
- ⊗ FOUND MONUMENT w. TAG
- PROPOSED TRUNCATED DOMES
- ADA PATH OF TRAVEL
- PROPOSED LANDING AREA (MIN. 5'x5') (NOT TO EXCEED 2% IN ANY DIRECTION, CONTRACTOR TO VERIFY)

SITE STATISTICS:

DESCRIPTION	SQUARE FOOTAGE	PERCENTAGE TO BE DEMOLISHED
BUILDING COVERAGE TO BE DEMO'D (Existing)	2,405 s.f.	17.9%
BUILDING COVERAGE (Proposed)	5,774 s.f.	14.5%
TURFLOCK (Proposed)	4,665 s.f.	10.0%
PAVEMENT AREA (Proposed)	3,235 s.f.	8.5%
CONCRETE CURBS, WALKWAYS & WALLS	2,735 s.f.	0%
GRAVEL AREA	0 s.f.	49.1%
NATURAL AREA/OPEN SPACE per Sec. 4.2.10	15,811 s.f.	100.0%
TOTALS:	32,220 S.F.	

EARTHWORK QUANTITIES:

EXCAVATION	=	1,200	CY
FILL (15% SHRINK)	=	750	CY
EXPORT	=	450	CY



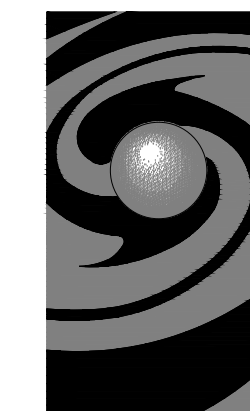
SITE PLAN FOR:
CLEARLAKE CARE HOME
14139 KONOCTI COURT
 A.P.N. 039-066-025
 COUNTY OF LAKE CALIFORNIA

DESIGNED: K/JN
 DRAWN: KZN
 CHECKED BY: K/JN
 DATE: April 14, 2022
 PROJECT No.: 22-158
 DWG. NAME: 22-158 Konocti Ct. Topology

NELSON ENGINEERING
 Civil Engineering, Surveying, & Land Planning
 14028 Camas Court
 Penn Valley, CA 95946
 (530) 432-4818
 e-mail: k@nelsonengineer.com
 www.nelsonengineer.com

NO. REVISIONS

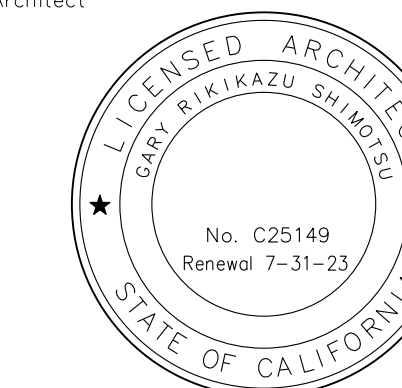
1 OF 1



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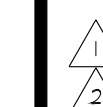
Architect



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Consultant

Revisions



Key Plan

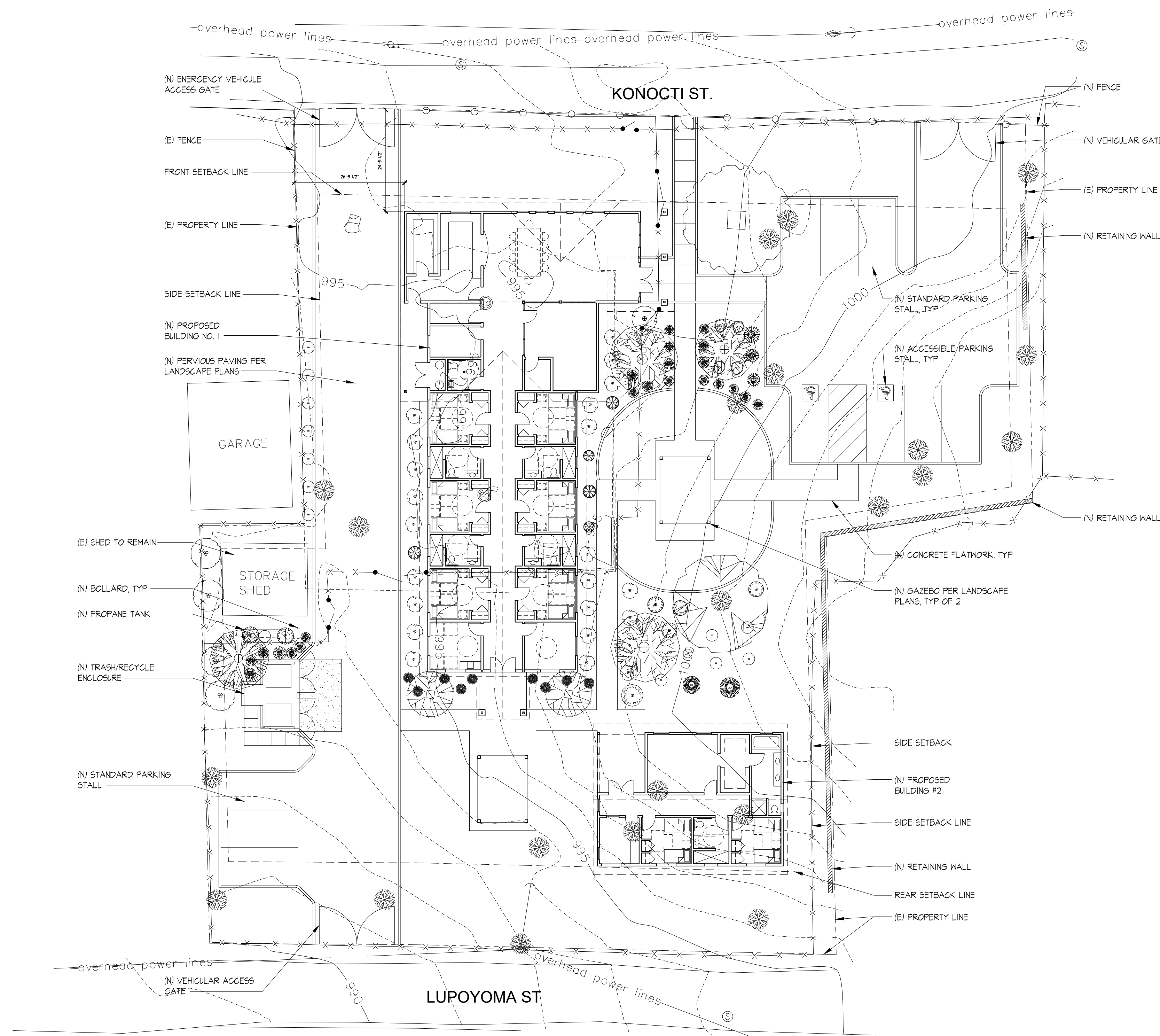
Project
CLEARLAKE CARE HOME
14139 KONOCTI STREET
CLEARLAKE, CALIFORNIA 95422

APN: 039-066-25

Drawing
SITE PLAN

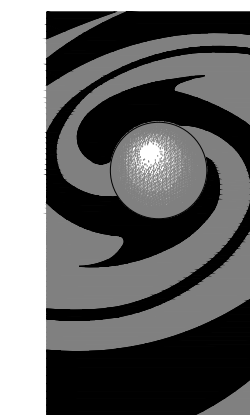
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Drawn -
Reviewed GRS
Date 04.03.22

A.I.I



1 SITE PLAN / FLOOR PLAN

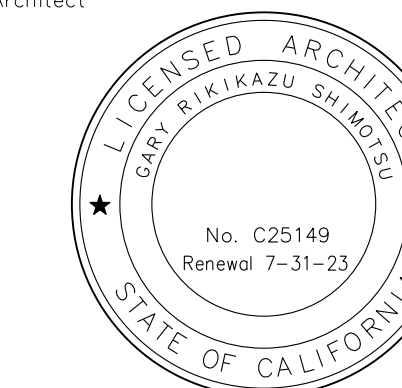
1" = 16'-0"
NORTH



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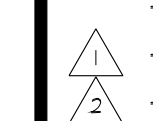
Architect



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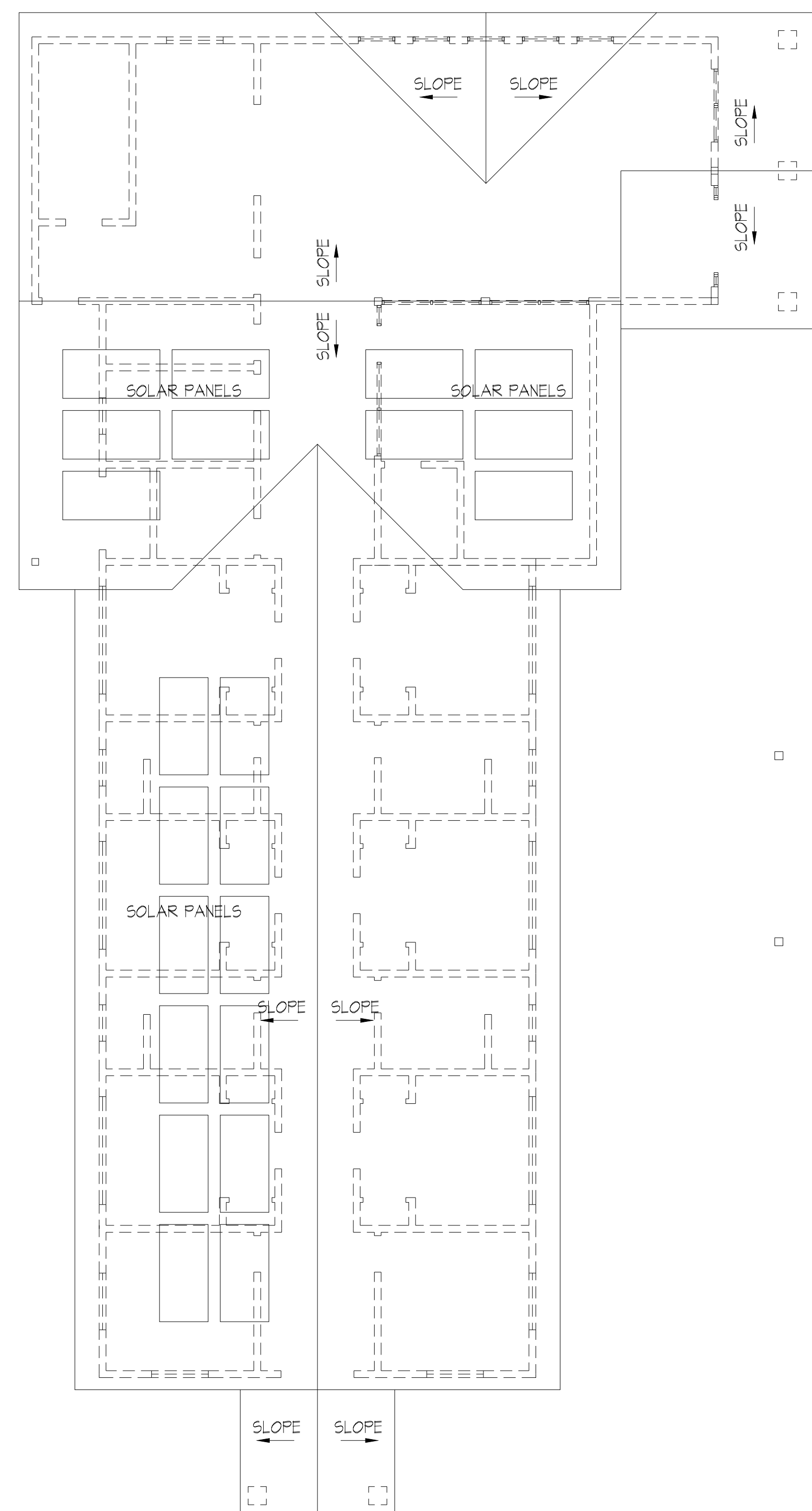
Project
CLEARLAKE CARE HOME
14139 KONOCTI STREET
CLEARLAKE, CALIFORNIA 95422

APN: 039-066-25

Drawing
FLOOR PLAN
ROOF PLAN
BUILDING 1

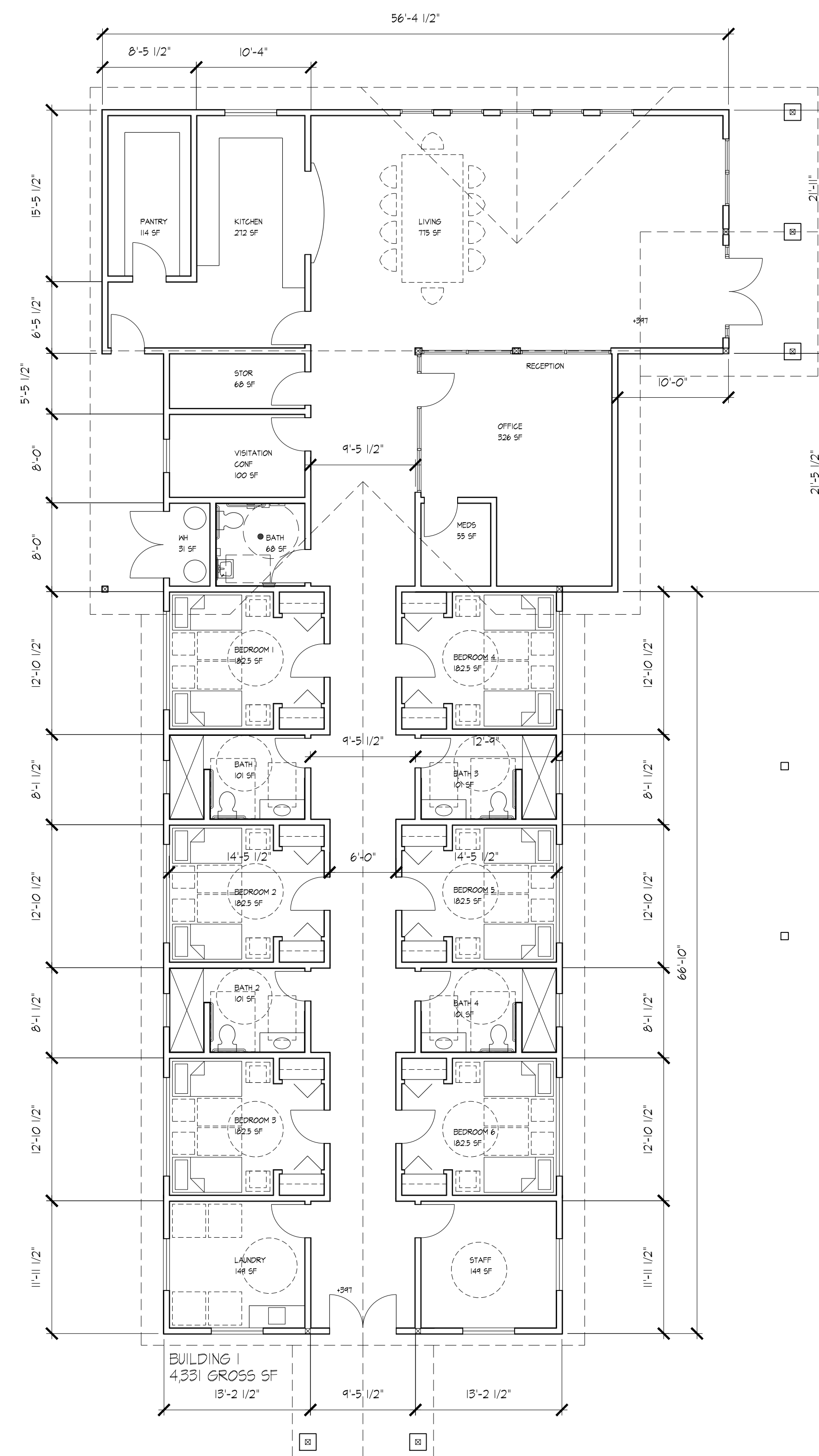
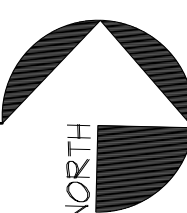
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Date 04.03.22

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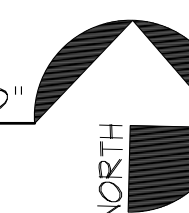
2 ROOF PLAN
BUILDING 1

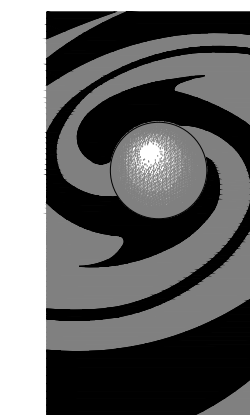
1/8" = 1'-0"



1 FLOOR PLAN
BUILDING 1

1/8" = 1'-0"

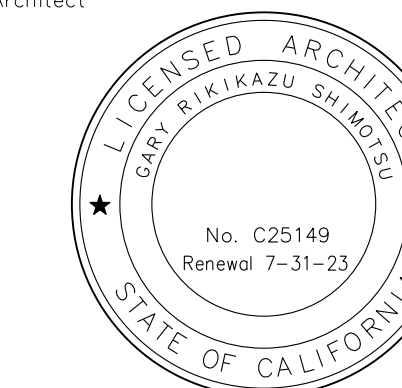




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Revisions

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△	-	-

Key Plan

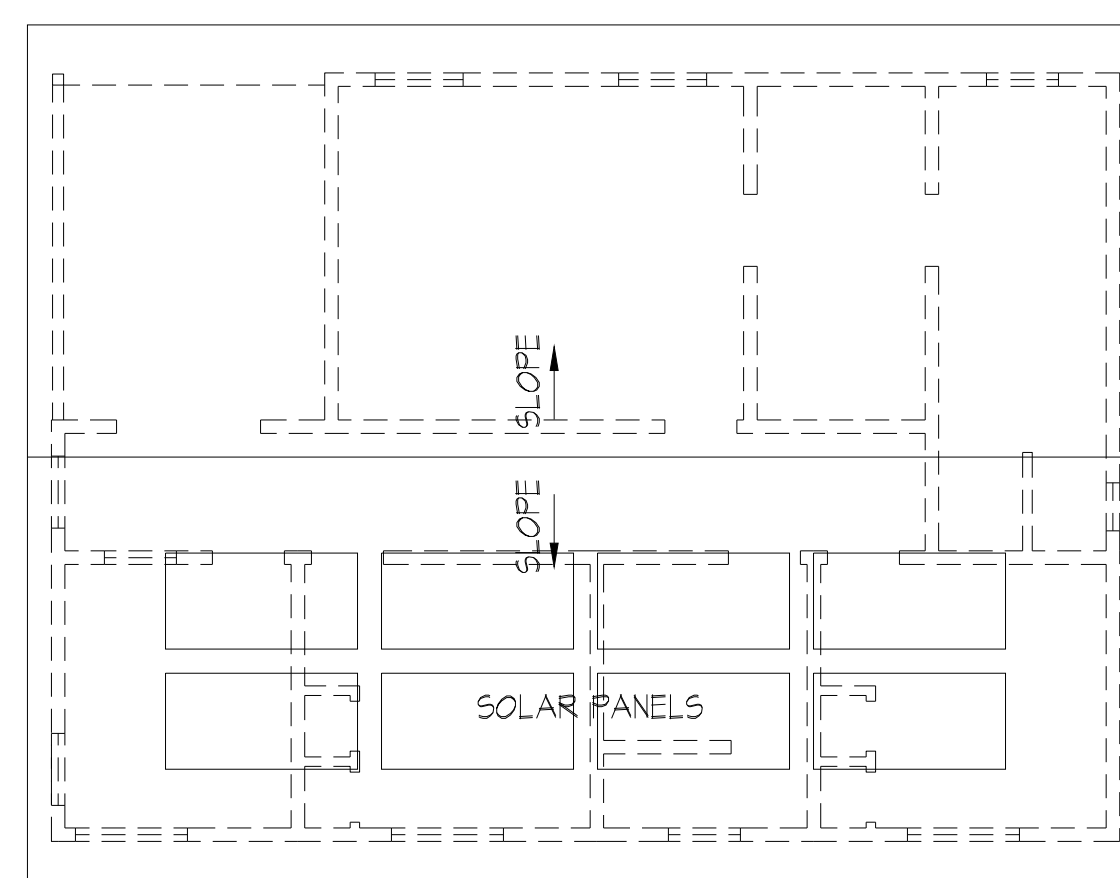
Project
CLEARLAKE CARE HOME
14139 KONOCTI STREET
CLEARLAKE, CALIFORNIA 95422

APN: 039-066-25

Drawing
FLOOR PLAN
ROOF PLAN
BUILDING 2

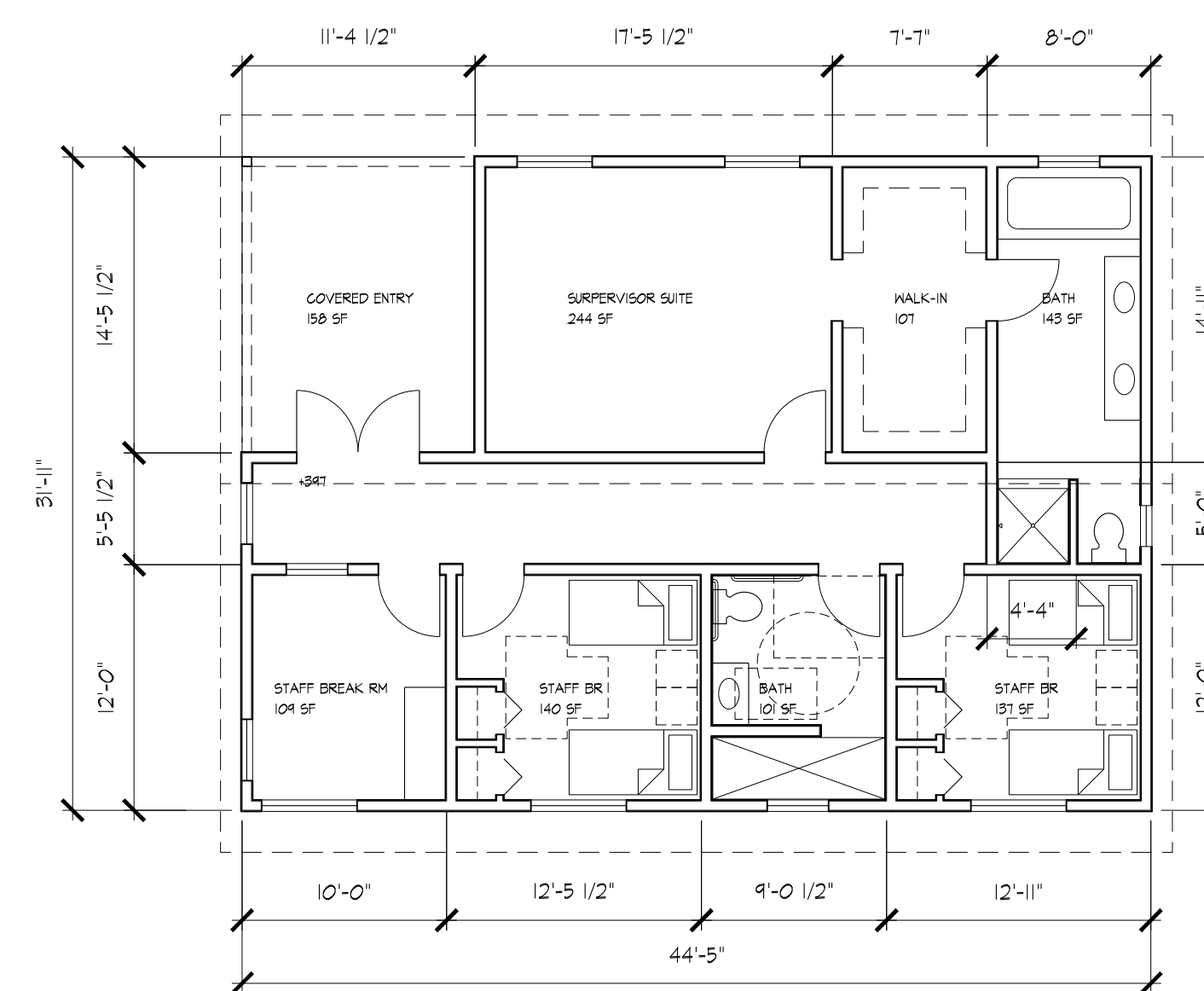
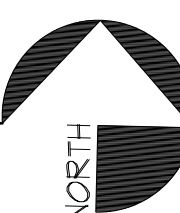
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Reviewed	GRS	
Date	04.03.22	

A2.2



2 ROOF PLAN
BUILDING 1

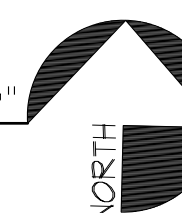
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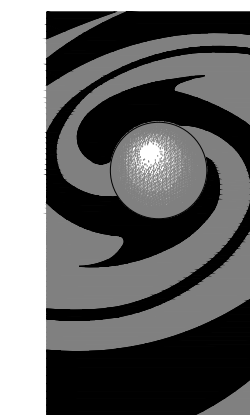


BUILDING 2 - STAFF
1,176 GROSS SF

1 FLOOR PLAN
BUILDING 2

1/8" = 1'-0"

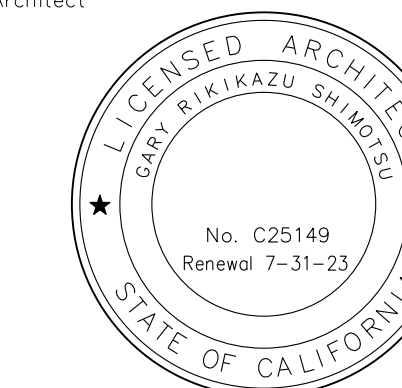




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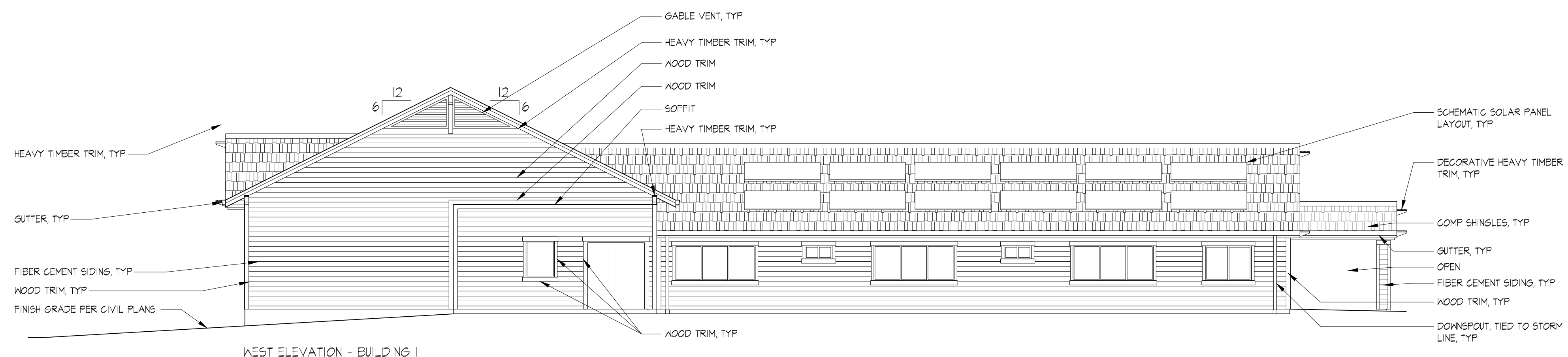
Project
CLEARLAKE CARE HOME
14139 KONOCTI STREET
CLEARLAKE, CALIFORNIA 95422

APN: 039-066-25

Drawing
EXTERIOR ELEVATIONS
BUILDING 1

Proj. No. 021-001 Sheet
Drawn -
Reviewed GRS
Date 04.03.22

A4.1



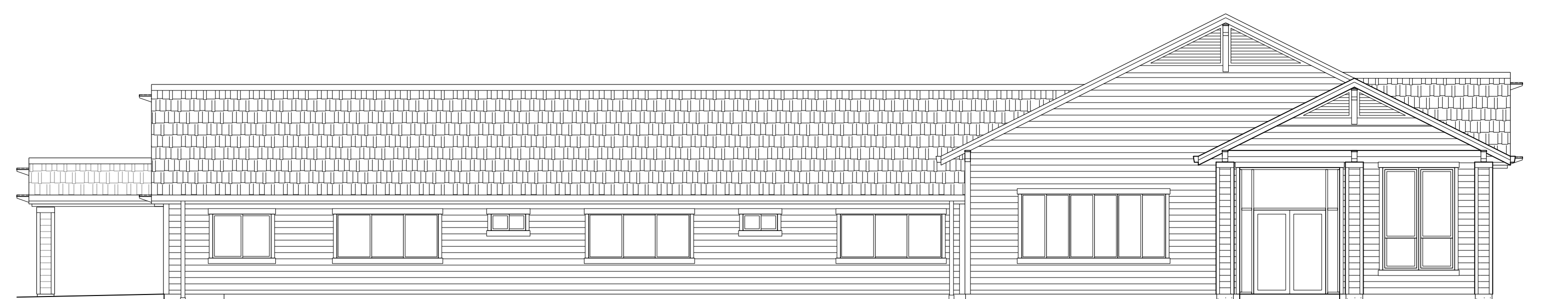
WEST ELEVATION - BUILDING 1



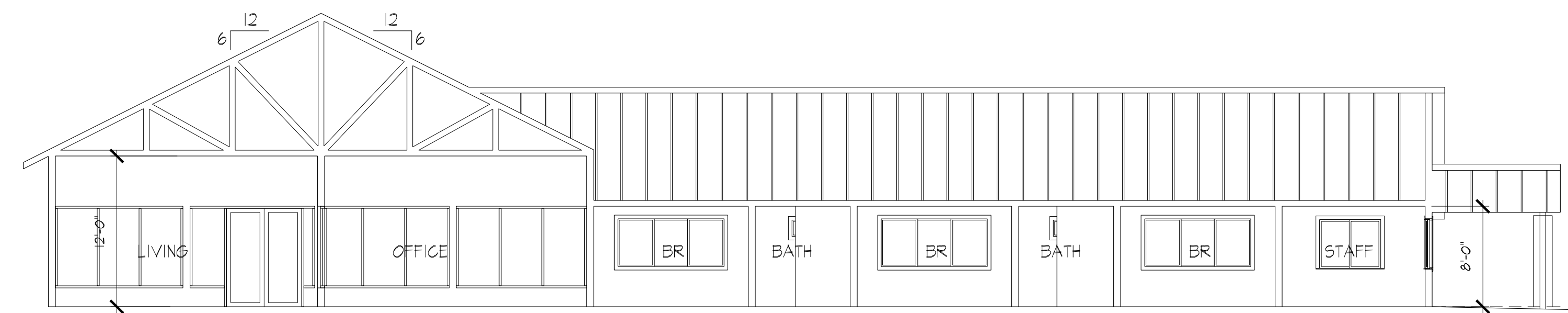
SOUTH ELEVATION - BUILDING 1



NORTH ELEVATION - BUILDING 1



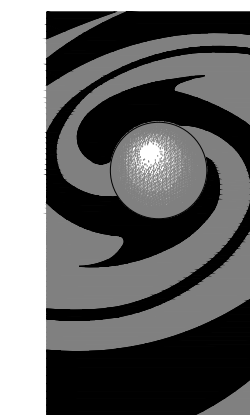
EAST ELEVATION - BUILDING 1



PRELIM SECTION

1 EXT ELEVATIONS - BLDG 1

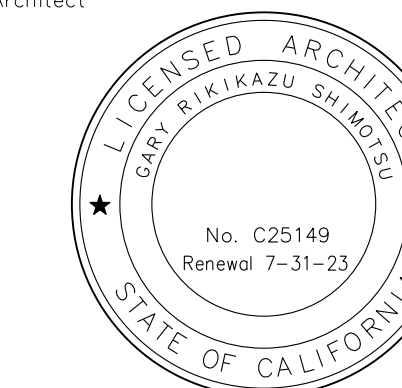
1/8" = 1'-0"



SHIMOTSU

Gary Shimotsu, Architect
PO Box 160785
Sacramento, CA 95816
916-704-9872

Architect



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Consultant

Revisions

△	-	-
△	-	-

Key Plan

Project

CLEARLAKE CARE HOME
14139 KONOCTI STREET
CLEARLAKE, CALIFORNIA 95422

APN: 039-066-25

Drawing

EXTERIOR ELEVATIONS
BUILDING 2

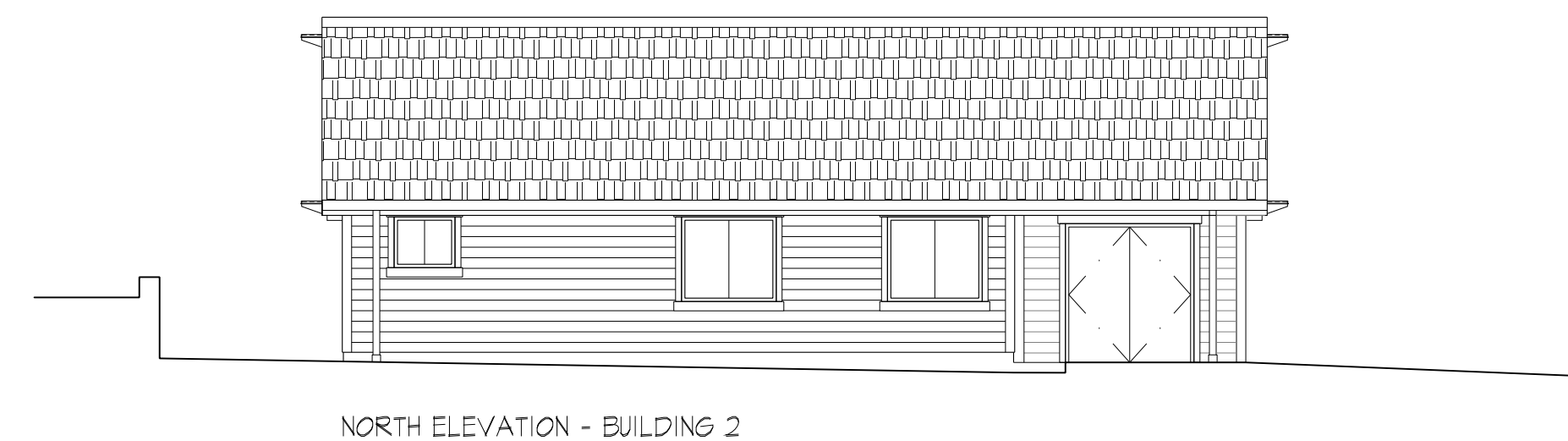
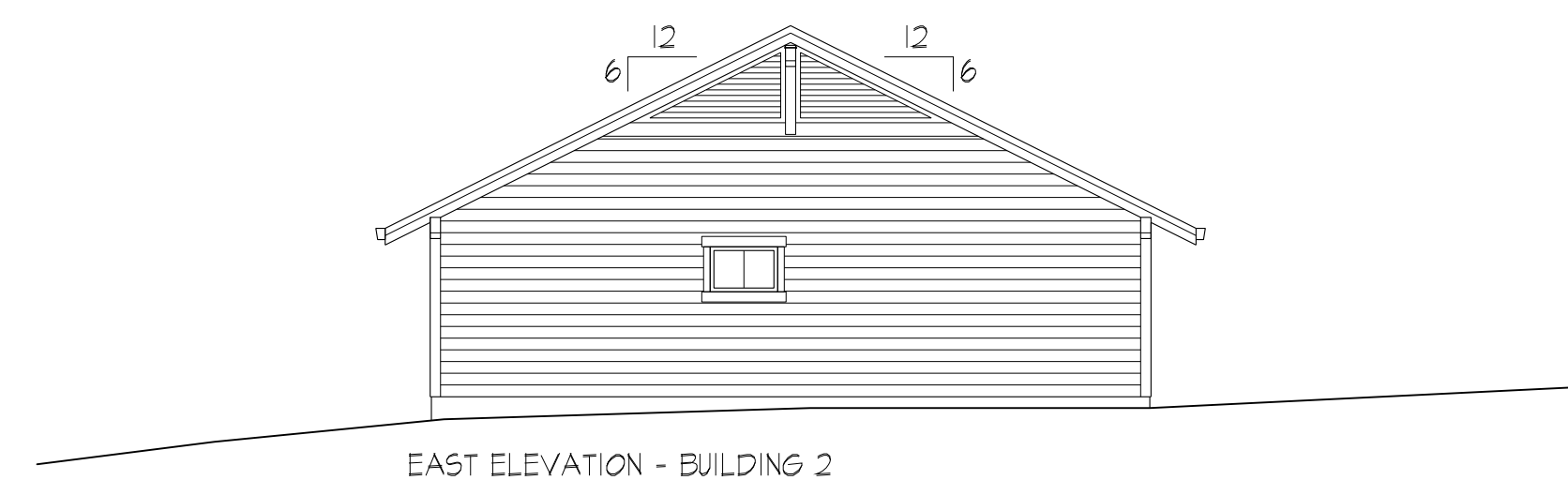
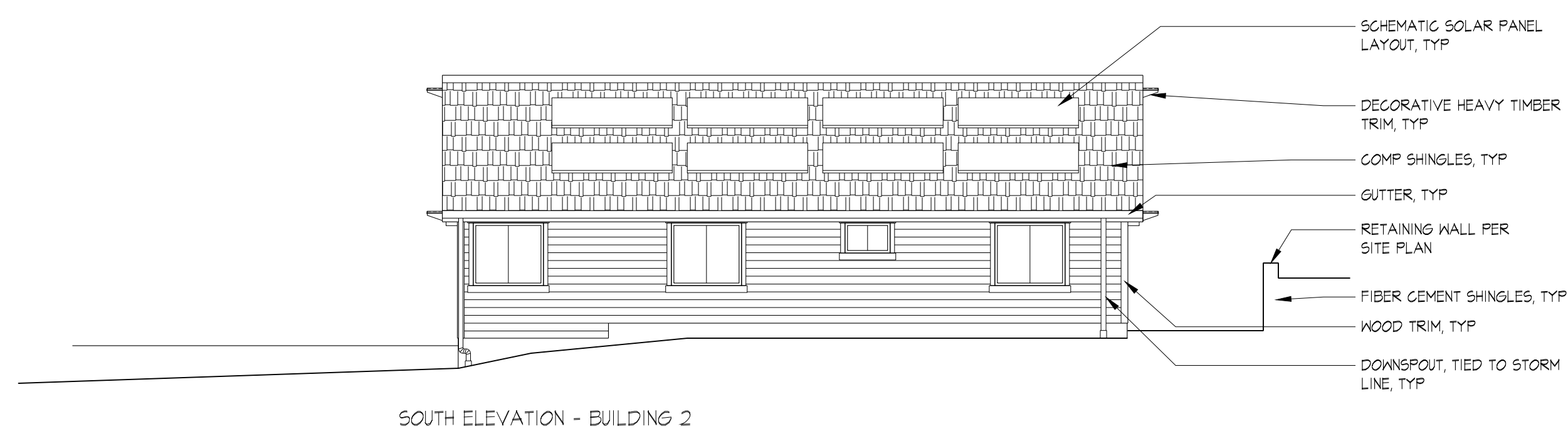
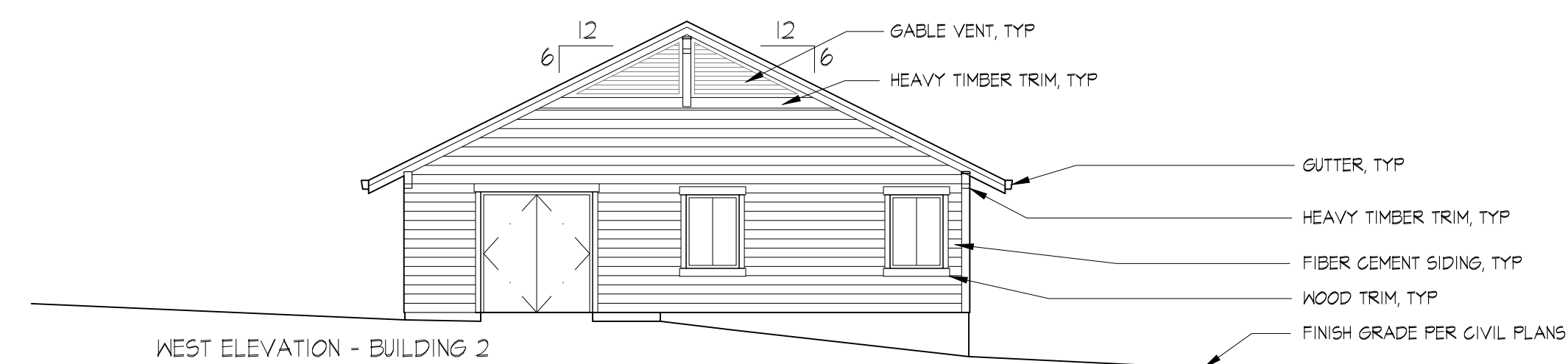
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Drawn -

Reviewed GRS

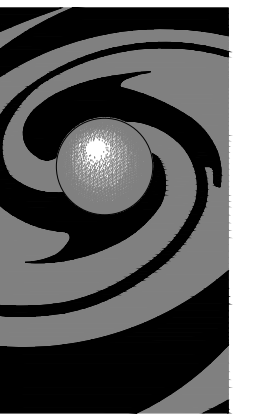
Date 04.03.22

A4.2



1 EXT ELEVATIONS - BLDG 2

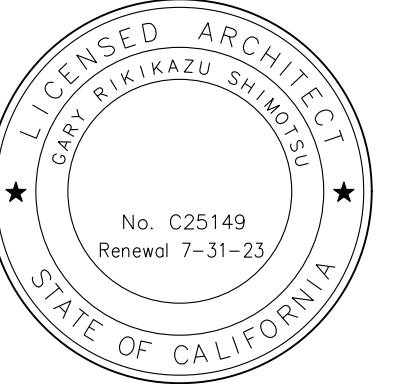
1/8" = 1'-0"



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Revisions

1	-	-
2	-	-

Key Plan

Project
CLEARLAKE CARE HOME
14139 KONOCTI STREET
CLEARLAKE, CALIFORNIA 95422

APN: 039-066-25

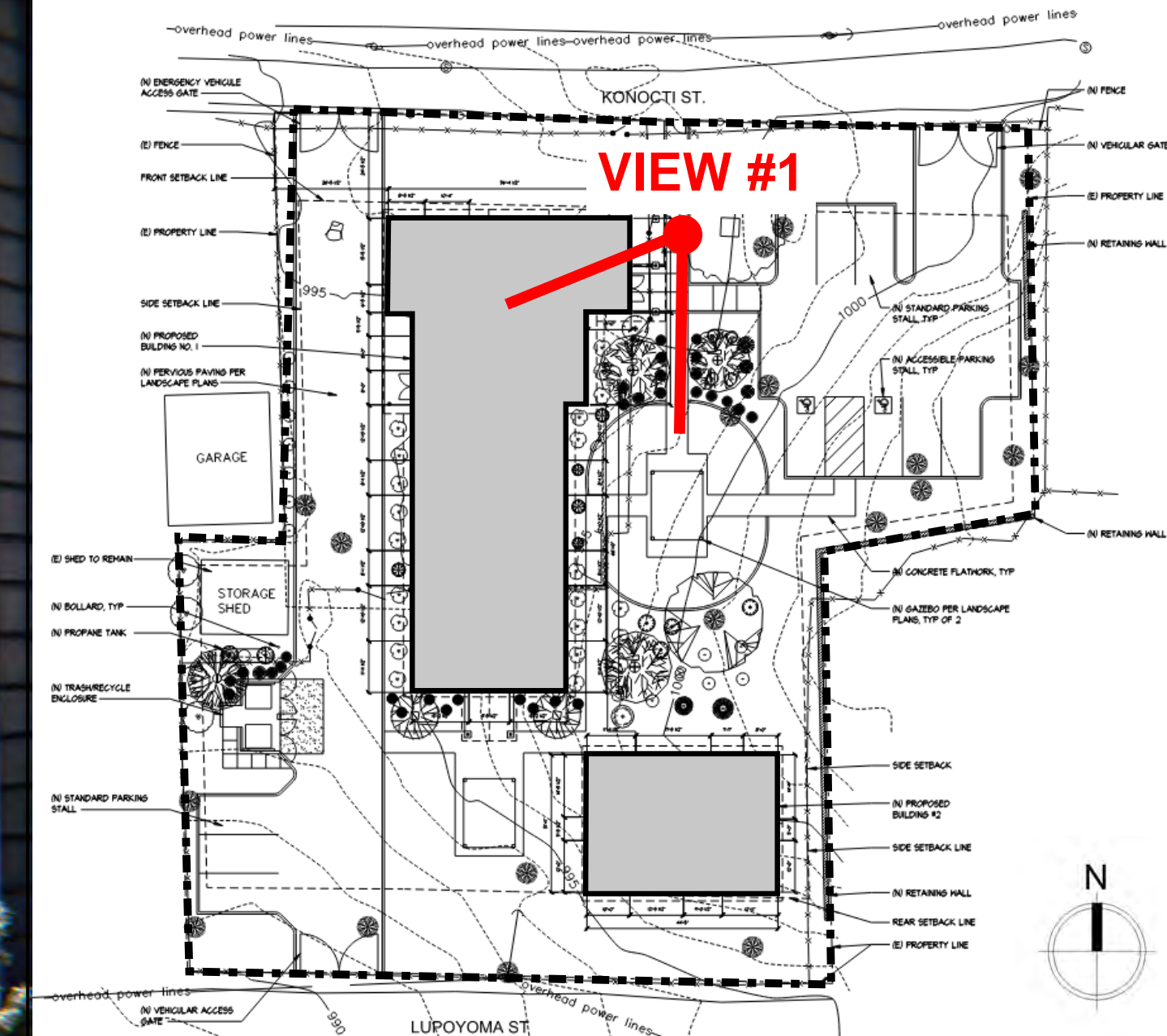
Drawing
3D RENDERINGS

Proj. No. 021-001	Sheet
Drawn	
Reviewed GRS	
Date 04.03.22	

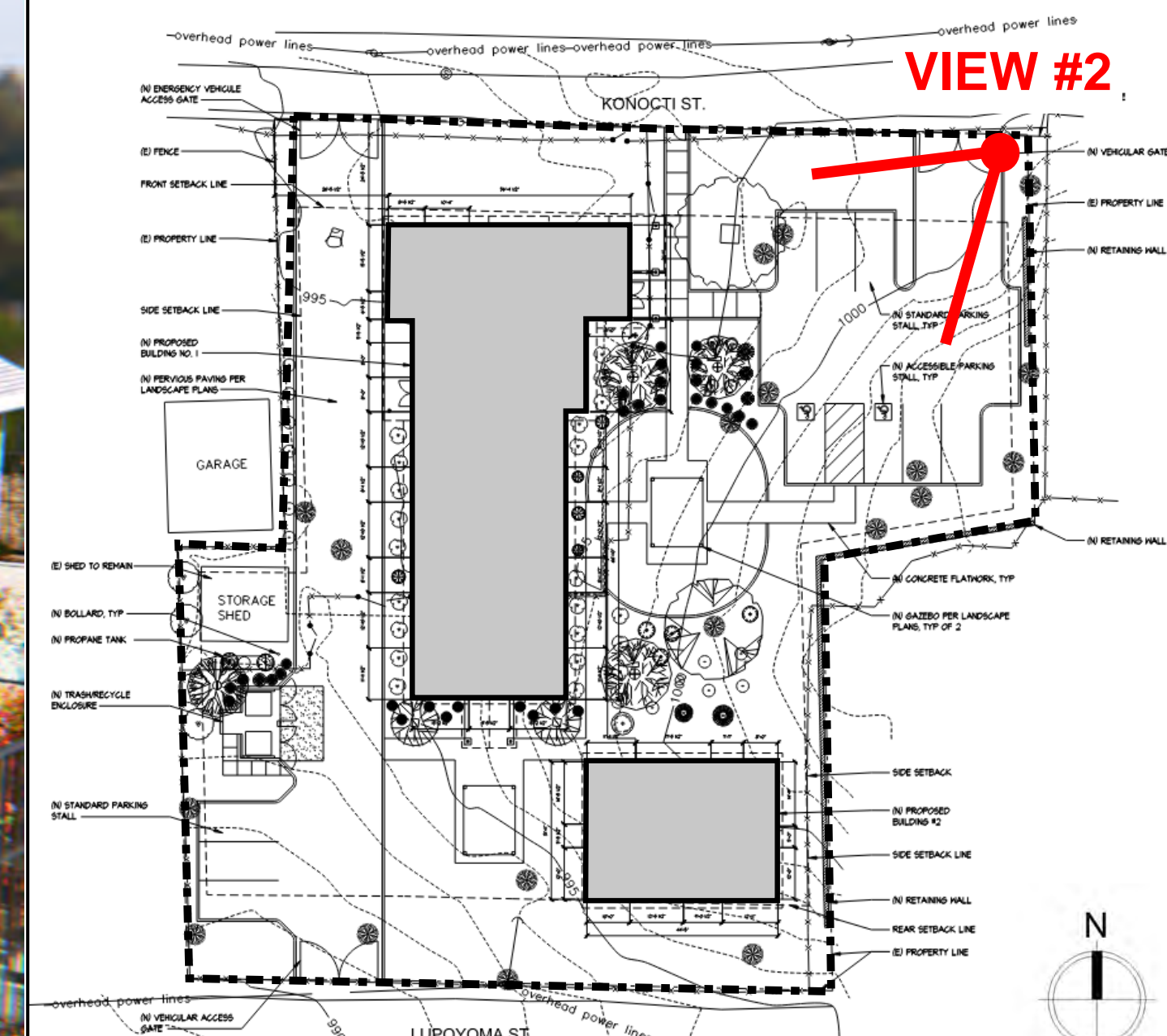
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VIEW #1



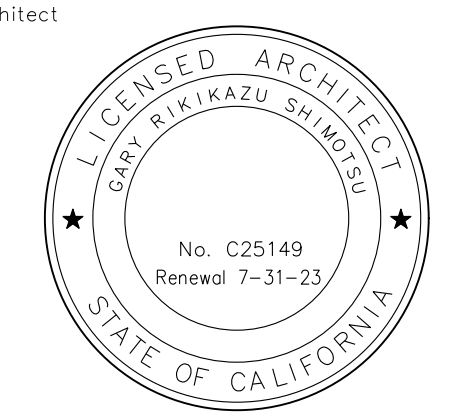
VIEW #2





SHIMOTSU

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916-704-9872



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Consultant

Revisions

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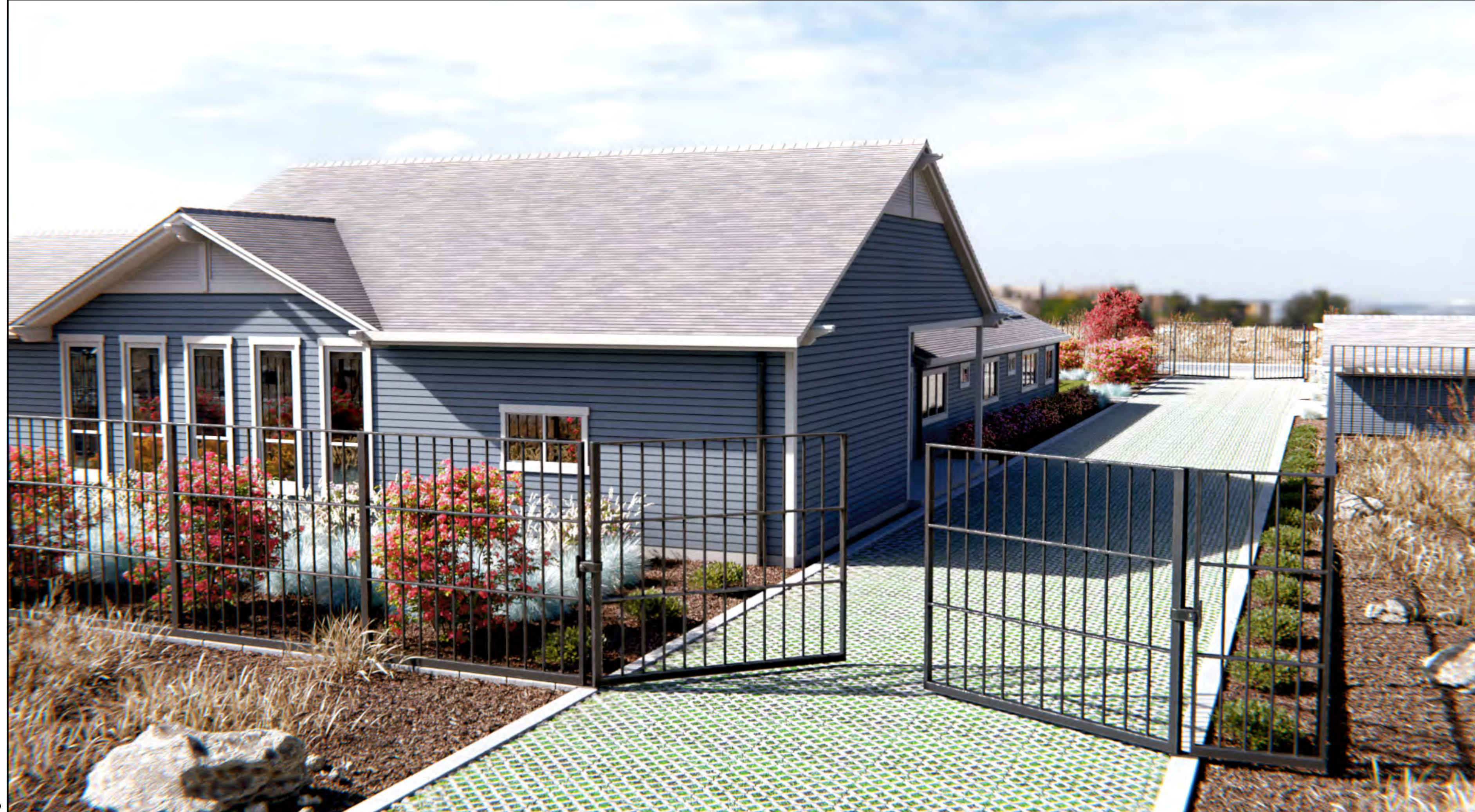
Key Plan

Project
CLEARLAKE CARE HOME
14139 KONOCTI STREET
CLEARLAKE, CALIFORNIA 95422

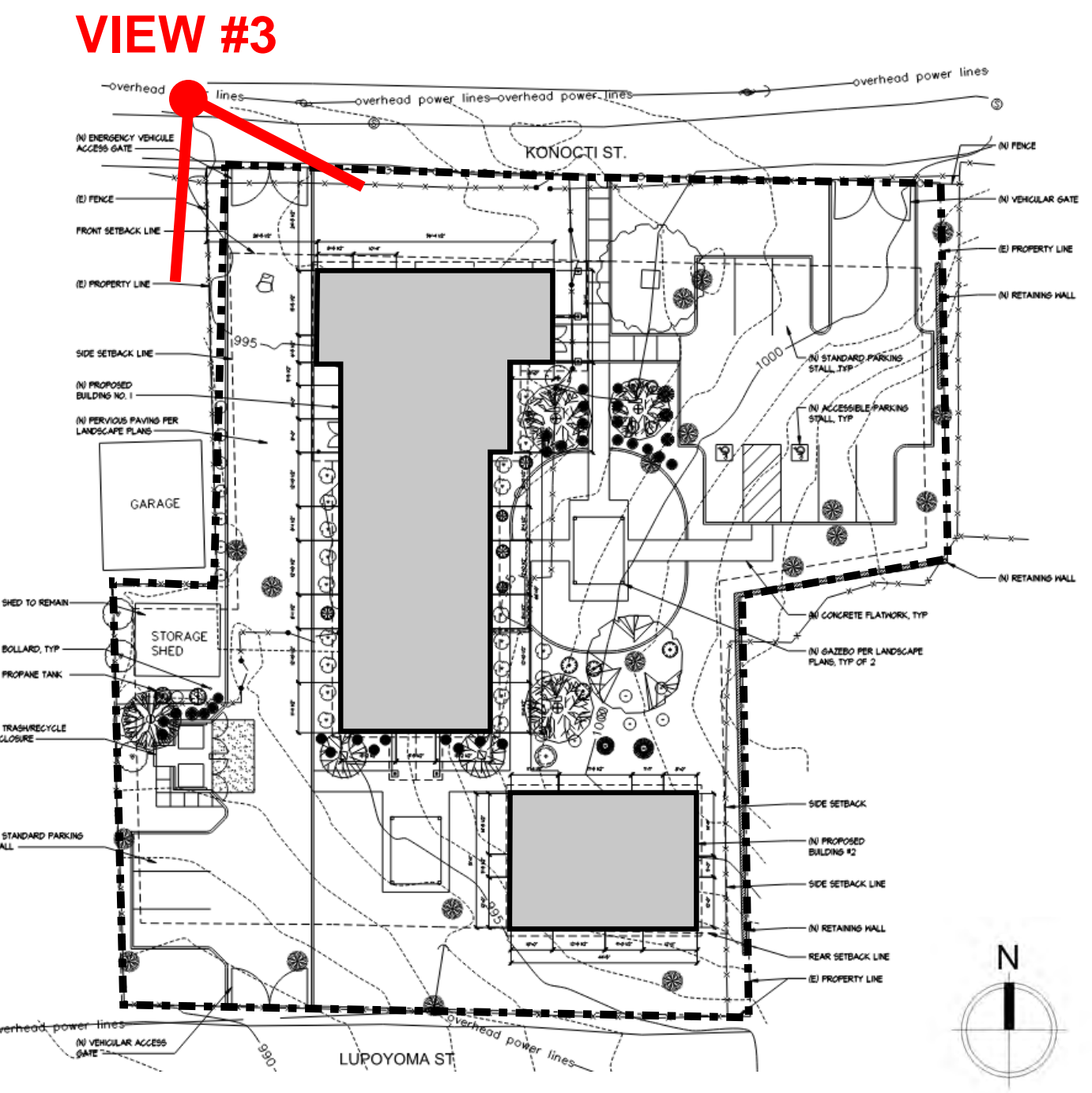
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Drawing
3D RENDERINGS

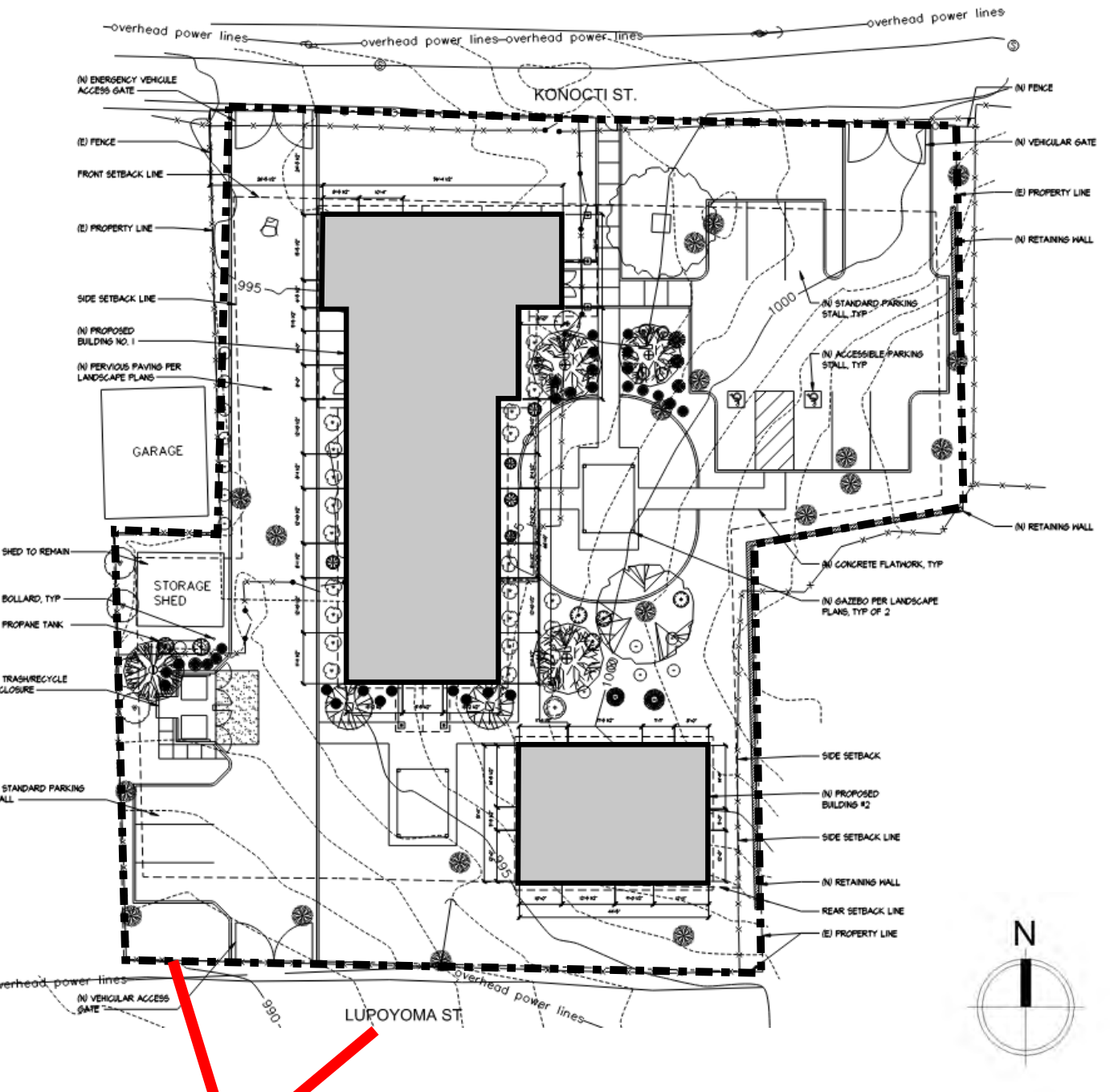
Proj. No.	021-001	Sheet	
Drawn			A5.2
Reviewed	GRS		
Date	04.03.22		



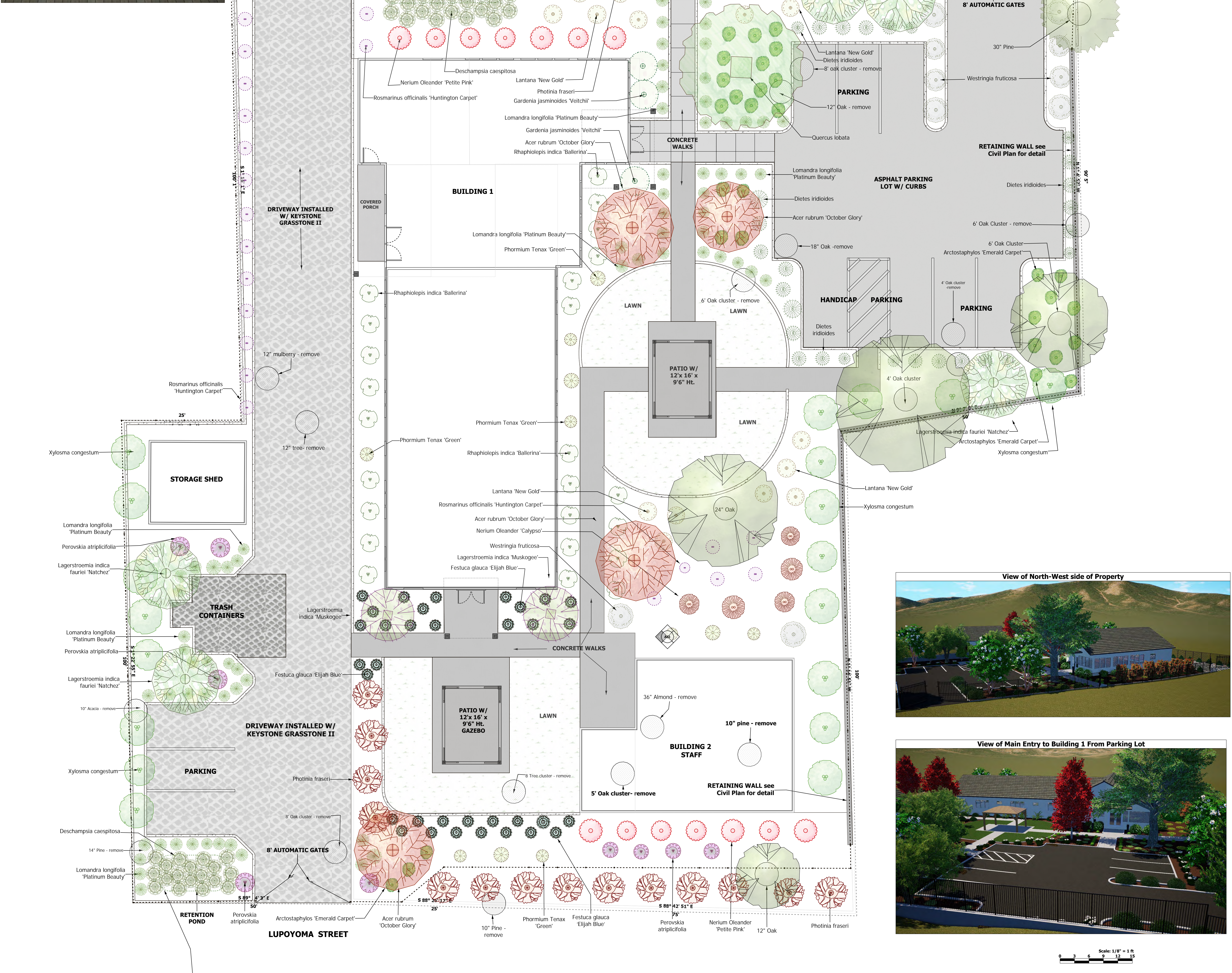
VIEW #3



VIEW #4



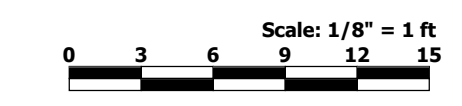
VIEW #4



PLANT LEGEND table with columns: Symbol, Botanical Name, Common Name, Qty, Size, Water. Lists various plants like Acer rubrum, Artemisia, Deschampsia, etc.

* NOTE: ALL PLANTS MAY NOT BE AVAILABLE AT PLANTING TIME. CONSULT WITH LANDSCAPE DESIGNER, LANDSCAPE CONTRACTOR OR NURSERY PROFESSIONAL FOR SUITABLE SUBSTITUTIONS COMPLIANT TO LOCAL, STATE AND FEDERAL LAWS, CODES AND ORDINANCES.

PLANTING NOTES (1) PLANS ARE DIAGRAMMATIC... (2) ALL PLANT MATERIALS SHALL MEET SIZE SPECIFICATIONS... (3) CONTRACTOR SHALL... (4) AFTER PLANTING IS COMPLETE... (5) PLANTING PITS SHALL BE... (6) SOIL AMENDMENTS SHALL BE... (7) ALL FIVE GALLON AND LARGER TREES... (8) PLANTING PITS SHALL BE... (9) PLANTING PITS SHALL BE... (10) CONTRACTOR SHALL... (11) LANDSCAPE DESIGNER SHALL NOT BE HELD RESPONSIBLE...



CLEARLAKE ADULT INDEPENDENT LIVING FACILITY 14139 KNOOCTI STREET CLEARLAKE CA 95422

REVISED: 4/11/2022 DATE

LANDSCAPE PLAN AREA & SCOPE

1 OF 1 PAGE

1/8" = 1' 0" SCALE



Mark Roberts

From: Lori Baca <Lori.Baca@lakecountyca.gov>
Sent: Tuesday, May 17, 2022 3:46 PM
To: Mark Roberts
Subject: RE: RFR (request for review) for CUP 2022-11

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Mark,

The property located at 14139 Konocti Street in Clearlake is an actively billed sewer account within the Lake County Sanitation District. The proposed new construction (or rebuild) will not require additional Sewer Capacity Expansion Fees, however, an additional lateral may need to be stubbed in (responsibility of the Developer) to service the additional building. The Developer should contact our office directly for more information regarding the additional lateral.

Once the construction is complete a Facility Check by our staff will help determine the bi-monthly billing rates.

Happy Tuesday!

Lori A. Baca
Customer Service Supervisor
Lori.Baca@lakecountyca.gov
Office Number (707) 263-0119
Fax (707) 263-3836



From: Mark Roberts [mailto:mroberts@clearlake.ca.us]
Sent: Wednesday, May 11, 2022 12:06 PM
Subject: [SUSPICIOUS MESSAGE] RFR (request for review) for CUP 2022-11
Importance: High

This Message contains suspicious characteristics and has originated outside your organization. This message appears to be from an individual who works for the County, but does not come from a County address.

Good Morning,

You are receiving this email to have the opportunity to review and provide comments on the proposed development below. The applicant is requesting approval of a Conditional Use Permit (Per 18-19.020 of the Municipal Code) to allow the development and operation of a large residential care facility. The facility would operate 24 hours day, 7 days a week. There would be approximately three shifts, which would entail up to 2-3 employees per shift. **Please note: in approximately**

2017/2018, the operation was devastated by a structural fire. All development will occur within the previously disturbed/development area. The development consists of the following. **Please refer to the enclosed application packet with plans for full scope of work.**

- **Building 1 (Care Facility): +/- 4, 331 SQFT in total**
 - o Six rooms (2 patient to a room) – Each room is +/- 182.5 SQFT
 - o Laundry Room: 149 SQFT in size
 - o Staff room: 149 SQFT in size
 - o 4 full baths: 101 SQFT Each
 - o 1 – ½ bath: 68 SQFT in size
 - o Pantry: 114 SQFT in size
 - o Kitchen: 272 SQFT in size
 - o Living room: 775 SQFT in size
 - o Office: 326 SQFT in size
 - o Medication Room: 55 SQFT in size
 - o Store: 68 SQFT in size
 - o Visitation/Conference Room: 100 SQFT in size

- **Building 2 (Onsite Employees): 1,176 SQFT**
 - o Covered Entry: 158 SQFT in size
 - o Supervisor suite/room with walk in closet
 - : 244 SQFT in size
 - 107 SQFT in size walk in closet
 - o Full bath 148 SQFT in size
 - o Staff Bedroom # 1: 137 SQFT in size
 - o Staff Bedroom # 2: 140 SQFT in size
 - o Staff Break Room: 109 SQFT in size

If you need additional information and/or have questions, please let me know.

Sincerely,

Mark



Mark Roberts | Senior Planner
City of Clearlake
14050 Olympic Drive | Clearlake, CA 95422
707-994-8201

Mark Roberts

From: PGE Plan Review <PGEPlanReview@pge.com>
Sent: Tuesday, May 17, 2022 11:06 AM
To: Mark Roberts
Subject: RE: RFR (request for review) for CUP 2022-11
Attachments: Initial_Response_Letter_5-17-2022.pdf

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Mark,

Thank you for submitting the CUP 2022-11 plans. The PG&E Plan Review Team is currently reviewing the information provided. Should this project have the potential to interfere with PG&E’s facilities, we intend to respond to you with project specific comments on or prior to the provided deadline. Attached is some general information when working near PG&E facilities that must be adhered to when working near PG&E’s facilities and land rights.

This email and attachment does not constitute PG&E’s consent to use any portion of PG&E’s land rights for any purpose not previously conveyed. If there are subsequent modifications made to your design, we ask that you resubmit the plans to the email address listed below.

If you have any questions regarding our response, please contact the PG&E Plan Review Team at pgeplanreview@pge.com.

Thank you,



Pacific Gas and Electric Company
Plan Review Team
Email: pgeplanreview@pge.com

From: Mark Roberts <mroberts@clearlake.ca.us>
Sent: Wednesday, May 11, 2022 12:06 PM
Subject: RFR (request for review) for CUP 2022-11
Importance: High

*******CAUTION: This email was sent from an EXTERNAL source. Think before clicking links or opening attachments.*******

Good Morning,

You are receiving this email to have the opportunity to review and provide comments on the proposed development below. The applicant is requesting approval of a Conditional Use Permit (Per 18-19.020 of the Municipal Code) to allow the development and operation of a large residential care facility. The facility would operate 24 hours day, 7 days a week. There would be approximately

three shifts, which would entail up to 2-3 employees per shift. **Please note: in approximately 2017/2018, the operation was devastated by a structural fire. All development will occur within the previously disturbed/development area.** The development consists of the following. **Please refer to the enclosed application packet with plans for full scope of work.**

- **Building 1 (Care Facility): +/- 4, 331 SQFT in total**
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 - o Staff Bedroom # 1: 137 SQFT in size
 - o Staff Bedroom # 2: 140 SQFT in size
 - o Staff Break Room: 109 SQFT in size

If you need additional information and/or have questions, please let me know.

Sincerely,

Mark



Mark Roberts | Senior Planner
City of Clearlake
 14050 Olympic Drive | Clearlake, CA 95422
 707-994-8201

May 17, 2022

Mark Roberts
City of Clear Lake
14050 Olympic Drive
Clearlake, CA 95422

Ref: Gas and Electric Transmission and Distribution

Dear Mark,

Thank you for submitting CUP 2022-11 plans for our review. PG&E will review the submitted plans in relationship to any existing Gas and Electric facilities within the project area. If the proposed project is adjacent/or within PG&E owned property and/or easements, we will be working with you to ensure compatible uses and activities near our facilities.

Attached you will find information and requirements as it relates to Gas facilities (Attachment 1) and Electric facilities (Attachment 2). Please review these in detail, as it is critical to ensure your safety and to protect PG&E's facilities and its existing rights.

Below is additional information for your review:

1. This plan review process does not replace the application process for PG&E gas or electric service your project may require. For these requests, please continue to work with PG&E Service Planning: https://www.pge.com/en_US/business/services/building-and-renovation/overview/overview.page.
2. If the project being submitted is part of a larger project, please include the entire scope of your project, and not just a portion of it. PG&E's facilities are to be incorporated within any CEQA document. PG&E needs to verify that the CEQA document will identify any required future PG&E services.
3. An engineering deposit may be required to review plans for a project depending on the size, scope, and location of the project and as it relates to any rearrangement or new installation of PG&E facilities.

Any proposed uses within the PG&E fee strip and/or easement, may include a California Public Utility Commission (CPUC) Section 851 filing. This requires the CPUC to render approval for a conveyance of rights for specific uses on PG&E's fee strip or easement. PG&E will advise if the necessity to incorporate a CPUC Section 851 filing is required.

This letter does not constitute PG&E's consent to use any portion of its easement for any purpose not previously conveyed. PG&E will provide a project specific response as required.

Sincerely,

Plan Review Team
Land Management



Attachment 1 – Gas Facilities

There could be gas transmission pipelines in this area which would be considered critical facilities for PG&E and a high priority subsurface installation under California law. Care must be taken to ensure safety and accessibility. So, please ensure that if PG&E approves work near gas transmission pipelines it is done in adherence with the below stipulations. Additionally, the following link provides additional information regarding legal requirements under California excavation laws: <https://www.usanorth811.org/images/pdfs/CA-LAW-2018.pdf>

1. **Standby Inspection:** A PG&E Gas Transmission Standby Inspector must be present during any demolition or construction activity that comes within 10 feet of the gas pipeline. This includes all grading, trenching, substructure depth verifications (potholes), asphalt or concrete demolition/removal, removal of trees, signs, light poles, etc. This inspection can be coordinated through the Underground Service Alert (USA) service at 811. A minimum notice of 48 hours is required. Ensure the USA markings and notifications are maintained throughout the duration of your work.
2. **Access:** At any time, PG&E may need to access, excavate, and perform work on the gas pipeline. Any construction equipment, materials, or spoils may need to be removed upon notice. Any temporary construction fencing installed within PG&E's easement would also need to be capable of being removed at any time upon notice. Any plans to cut temporary slopes exceeding a 1:4 grade within 10 feet of a gas transmission pipeline need to be approved by PG&E Pipeline Services in writing PRIOR to performing the work.
3. **Wheel Loads:** To prevent damage to the buried gas pipeline, there are weight limits that must be enforced whenever any equipment gets within 10 feet of traversing the pipe.

Ensure a list of the axle weights of all equipment being used is available for PG&E's Standby Inspector. To confirm the depth of cover, the pipeline may need to be potholed by hand in a few areas.

Due to the complex variability of tracked equipment, vibratory compaction equipment, and cranes, PG&E must evaluate those items on a case-by-case basis prior to use over the gas pipeline (provide a list of any proposed equipment of this type noting model numbers and specific attachments).

No equipment may be set up over the gas pipeline while operating. Ensure crane outriggers are at least 10 feet from the centerline of the gas pipeline. Transport trucks must not be parked over the gas pipeline while being loaded or unloaded.

4. **Grading:** PG&E requires a minimum of 36 inches of cover over gas pipelines (or existing grade if less) and a maximum of 7 feet of cover at all locations. The graded surface cannot exceed a cross slope of 1:4.
5. **Excavating:** Any digging within 2 feet of a gas pipeline must be dug by hand. Note that while the minimum clearance is only 12 inches, any excavation work within 24 inches of the edge of a pipeline must be done with hand tools. So to avoid having to dig a trench entirely with hand tools, the edge of the trench must be over 24 inches away. (Doing the math for a 24 inch



wide trench being dug along a 36 inch pipeline, the centerline of the trench would need to be at least 54 inches [$24/2 + 24 + 36/2 = 54$] away, or be entirely dug by hand.)

Water jetting to assist vacuum excavating must be limited to 1000 psig and directed at a 40° angle to the pipe. All pile driving must be kept a minimum of 3 feet away.

Any plans to expose and support a PG&E gas transmission pipeline across an open excavation need to be approved by PG&E Pipeline Services in writing PRIOR to performing the work.

6. Boring/Trenchless Installations: PG&E Pipeline Services must review and approve all plans to bore across or parallel to (within 10 feet) a gas transmission pipeline. There are stringent criteria to pothole the gas transmission facility at regular intervals for all parallel bore installations.

For bore paths that cross gas transmission pipelines perpendicularly, the pipeline must be potholed a minimum of 2 feet in the horizontal direction of the bore path and a minimum of 12 inches in the vertical direction from the bottom of the pipe with minimum clearances measured from the edge of the pipe in both directions. Standby personnel must watch the locator trace (and every ream pass) the path of the bore as it approaches the pipeline and visually monitor the pothole (with the exposed transmission pipe) as the bore traverses the pipeline to ensure adequate clearance with the pipeline. The pothole width must account for the inaccuracy of the locating equipment.

7. Substructures: All utility crossings of a gas pipeline should be made as close to perpendicular as feasible ($90^\circ \pm 15^\circ$). All utility lines crossing the gas pipeline must have a minimum of 12 inches of separation from the gas pipeline. Parallel utilities, pole bases, water line 'kicker blocks', storm drain inlets, water meters, valves, back pressure devices or other utility substructures are not allowed in the PG&E gas pipeline easement.

If previously retired PG&E facilities are in conflict with proposed substructures, PG&E must verify they are safe prior to removal. This includes verification testing of the contents of the facilities, as well as environmental testing of the coating and internal surfaces. Timelines for PG&E completion of this verification will vary depending on the type and location of facilities in conflict.

8. Structures: No structures are to be built within the PG&E gas pipeline easement. This includes buildings, retaining walls, fences, decks, patios, carports, septic tanks, storage sheds, tanks, loading ramps, or any structure that could limit PG&E's ability to access its facilities.

9. Fencing: Permanent fencing is not allowed within PG&E easements except for perpendicular crossings which must include a 16 foot wide gate for vehicular access. Gates will be secured with PG&E corporation locks.

10. Landscaping: Landscaping must be designed to allow PG&E to access the pipeline for maintenance and not interfere with pipeline coatings or other cathodic protection systems. No trees, shrubs, brush, vines, and other vegetation may be planted within the easement area. Only those plants, ground covers, grasses, flowers, and low-growing plants that grow unsupported to a maximum of four feet (4') in height at maturity may be planted within the easement area.



11. Cathodic Protection: PG&E pipelines are protected from corrosion with an “Impressed Current” cathodic protection system. Any proposed facilities, such as metal conduit, pipes, service lines, ground rods, anodes, wires, etc. that might affect the pipeline cathodic protection system must be reviewed and approved by PG&E Corrosion Engineering.

12. Pipeline Marker Signs: PG&E needs to maintain pipeline marker signs for gas transmission pipelines in order to ensure public awareness of the presence of the pipelines. With prior written approval from PG&E Pipeline Services, an existing PG&E pipeline marker sign that is in direct conflict with proposed developments may be temporarily relocated to accommodate construction work. The pipeline marker must be moved back once construction is complete.

13. PG&E is also the provider of distribution facilities throughout many of the areas within the state of California. Therefore, any plans that impact PG&E’s facilities must be reviewed and approved by PG&E to ensure that no impact occurs which may endanger the safe operation of its facilities.



Attachment 2 – Electric Facilities

It is PG&E's policy to permit certain uses on a case by case basis within its electric transmission fee strip(s) and/or easement(s) provided such uses and manner in which they are exercised, will not interfere with PG&E's rights or endanger its facilities. Some examples/restrictions are as follows:

1. Buildings and Other Structures: No buildings or other structures including the foot print and eave of any buildings, swimming pools, wells or similar structures will be permitted within fee strip(s) and/or easement(s) areas. PG&E's transmission easement shall be designated on subdivision/parcel maps as "**RESTRICTED USE AREA – NO BUILDING.**"
2. Grading: Cuts, trenches or excavations may not be made within 25 feet of our towers. Developers must submit grading plans and site development plans (including geotechnical reports if applicable), signed and dated, for PG&E's review. PG&E engineers must review grade changes in the vicinity of our towers. No fills will be allowed which would impair ground-to-conductor clearances. Towers shall not be left on mounds without adequate road access to base of tower or structure.
3. Fences: Walls, fences, and other structures must be installed at locations that do not affect the safe operation of PG&E's facilities. Heavy equipment access to our facilities must be maintained at all times. Metal fences are to be grounded to PG&E specifications. No wall, fence or other like structure is to be installed within 10 feet of tower footings and unrestricted access must be maintained from a tower structure to the nearest street. Walls, fences and other structures proposed along or within the fee strip(s) and/or easement(s) will require PG&E review; submit plans to PG&E Centralized Review Team for review and comment.
4. Landscaping: Vegetation may be allowed; subject to review of plans. On overhead electric transmission fee strip(s) and/or easement(s), trees and shrubs are limited to those varieties that do not exceed 10 feet in height at maturity. PG&E must have access to its facilities at all times, including access by heavy equipment. No planting is to occur within the footprint of the tower legs. Greenbelts are encouraged.
5. Reservoirs, Sumps, Drainage Basins, and Ponds: Prohibited within PG&E's fee strip(s) and/or easement(s) for electric transmission lines.
6. Automobile Parking: Short term parking of movable passenger vehicles and light trucks (pickups, vans, etc.) is allowed. The lighting within these parking areas will need to be reviewed by PG&E; approval will be on a case by case basis. Heavy equipment access to PG&E facilities is to be maintained at all times. Parking is to clear PG&E structures by at least 10 feet. Protection of PG&E facilities from vehicular traffic is to be provided at developer's expense AND to PG&E specifications. Blocked-up vehicles are not allowed. Carports, canopies, or awnings are not allowed.
7. Storage of Flammable, Explosive or Corrosive Materials: There shall be no storage of fuel or combustibles and no fueling of vehicles within PG&E's easement. No trash bins or incinerators are allowed.



8. Streets and Roads: Access to facilities must be maintained at all times. Street lights may be allowed in the fee strip(s) and/or easement(s) but in all cases must be reviewed by PG&E for proper clearance. Roads and utilities should cross the transmission easement as nearly at right angles as possible. Road intersections will not be allowed within the transmission easement.

9. Pipelines: Pipelines may be allowed provided crossings are held to a minimum and to be as nearly perpendicular as possible. Pipelines within 25 feet of PG&E structures require review by PG&E. Sprinklers systems may be allowed; subject to review. Leach fields and septic tanks are not allowed. Construction plans must be submitted to PG&E for review and approval prior to the commencement of any construction.

10. Signs: Signs are not allowed except in rare cases subject to individual review by PG&E.

11. Recreation Areas: Playgrounds, parks, tennis courts, basketball courts, barbecue and light trucks (pickups, vans, etc.) may be allowed; subject to review of plans. Heavy equipment access to PG&E facilities is to be maintained at all times. Parking is to clear PG&E structures by at least 10 feet. Protection of PG&E facilities from vehicular traffic is to be provided at developer's expense AND to PG&E specifications.

12. Construction Activity: Since construction activity will take place near PG&E's overhead electric lines, please be advised it is the contractor's responsibility to be aware of, and observe the minimum clearances for both workers and equipment operating near high voltage electric lines set out in the High-Voltage Electrical Safety Orders of the California Division of Industrial Safety (<https://www.dir.ca.gov/Title8/sb5g2.html>), as well as any other safety regulations. Contractors shall comply with California Public Utilities Commission General Order 95 (http://www.cpuc.ca.gov/gos/GO95/go_95_startup_page.html) and all other safety rules. No construction may occur within 25 feet of PG&E's towers. All excavation activities may only commence after 811 protocols has been followed.

Contractor shall ensure the protection of PG&E's towers and poles from vehicular damage by (installing protective barriers) Plans for protection barriers must be approved by PG&E prior to construction.

13. PG&E is also the owner of distribution facilities throughout many of the areas within the state of California. Therefore, any plans that impact PG&E's facilities must be reviewed and approved by PG&E to ensure that no impact occurs that may endanger the safe and reliable operation of its facilities.

Mark Roberts

From: Ahart, Keith <KAhart@gswater.com>
Sent: Wednesday, May 11, 2022 2:44 PM
To: Mark Roberts
Subject: RE: RFR (request for review) for CUP 2022-11

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Mark,

I am hopeful that we can get the Fire Sprinkler requirements sooner rather than later as the process if improvements are required can take a fair amount of time to work through.

Thank you for the opportunity to comment.

Keith Ahart

Operations Superintendent
Golden State Water Company
Clearlake CSA
(707) 994-0930
kahart@gswater.com

From: Mark Roberts <mroberts@clearlake.ca.us>
Sent: Wednesday, May 11, 2022 1:59 PM
To: Ahart, Keith <KAhart@gswater.com>
Subject: RE: RFR (request for review) for CUP 2022-11

Hi Keith,

Thank you for your comments. Fire Sprinklers will be required as they have to adhere to the 2019 CA building codes.. However, they are not required to submit those plans as they are not applying for their building permit until the use permit has been processed.

Mark

From: Ahart, Keith <KAhart@gswater.com>
Sent: Wednesday, May 11, 2022 1:53 PM
To: Mark Roberts <mroberts@clearlake.ca.us>
Subject: RE: RFR (request for review) for CUP 2022-11

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Good Afternoon,

The water main on Konocti St is 2" steel. I have concerns related to the ability of the existing water infrastructure to provide adequate flow for a fire sprinkler system for a building that size. Assuming fire sprinklers are required. I did not see any mention of fire sprinklers on the enclosed documents. We will need to know the combined (Building 1 & Building 2) fire flow requirements if they are required. We have an application process that will need to be followed as we get further along in the process. That process will identify what, if any, improvements are required to adequately serve the new facilities.

Thank you,

Keith Ahart

Operations Superintendent
Golden State Water Company
Clearlake CSA
(707) 994-0930
kahart@gswater.com

From: Mark Roberts <mroberts@clearlake.ca.us>
Sent: Wednesday, May 11, 2022 12:06 PM
Subject: RFR (request for review) for CUP 2022-11
Importance: High

EXTERNAL EMAIL

Good Morning,

You are receiving this email to have the opportunity to review and provide comments on the proposed development below. The applicant is requesting approval of a Conditional Use Permit (Per 18-19.020 of the Municipal Code) to allow the development and operation of a large residential care facility. The facility would operate 24 hours day, 7 days a week. There would be approximately three shifts, which would entail up to 2-3 employees per shift. **Please note: in approximately 2017/2018, the operation was devastated by a structural fire. All development will occur within the previously disturbed/development area.** The development consists of the following. **Please refer to the enclosed application packet with plans for full scope of work.**

- **Building 1 (Care Facility): +/- 4, 331 SQFT in total**
 - o Six rooms (2 patient to a room) – Each room is +/- 182.5 SQFT
 - o Laundry Room: 149 SQFT in size
 - o Staff room: 149 SQFT in size
 - o 4 full baths: 101 SQFT Each
 - o 1 – ½ bath: 68 SQFT in size
 - o Pantry: 114 SQFT in size
 - o Kitchen: 272 SQFT in size
 - o Living room: 775 SQFT in size
 - o Office: 326 SQFT in size
 - o Medication Room: 55 SQFT in size
 - o Store: 68 SQFT in size
 - o Visitation/Conference Room: 100 SQFT in size

- **Building 2 (Onsite Employees): 1,176 SQFT**

- Covered Entry: 158 SQFT in size
- Supervisor suite/room with walk in closet
 - : 244 SQFT in size
 - 107 SQFT in size walk in closet
- Full bath 148 SQFT in size
- Staff Bedroom # 1: 137 SQFT in size
- Staff Bedroom # 2: 140 SQFT in size
- Staff Break Room: 109 SQFT in size

If you need additional information and/or have questions, please let me know.

Sincerely,

Mark



Mark Roberts | *Senior Planner*
City of Clearlake
14050 Olympic Drive | Clearlake, CA 95422
707-994-8201