



PLAN COMMISSION MEETING

Wednesday, May 10, 2023 at 6:30 PM

Town Hall Meeting Room, 8348 Hickory Ave, Larsen, WI 54947

AGENDA

CALL TO ORDER

- A. Pledge of Allegiance
- B. Verification of Notice
- C. Meeting Roll

PUBLIC COMMENT

- A. Public Comment on a Preliminary Plat Review Application submitted by McMahon Associates on behalf of Clayton Development Group, LLC. The Applicants are requesting approval of the Scholar Ridge Estates Preliminary Plat, dividing Tax ID #006-0617 (2689 County Rd II), Tax ID #006-0618, & Tax ID #006-0632 into 158 lots and 4 outlots intended for a combination of commercial/business, multi-family residential, two-family residential, & single-family residential uses.

APPROVAL OF MINUTES

- A. Approval of the minutes of the Wednesday, April 12, 2023 Plan Commission Meeting

OPEN FORUM – Public comments addressed to the Plan Commission

Individuals properly signed in may speak directly to the Plan Commission on non-repetitive Planning and Zoning matters whether on or not on the agenda. Commentators must wait to be called, must speak from the podium, directing their comments to the Commission. Comments must be orderly, and will be limited to a maximum of **2 minutes** per person. ***Public comment is not permitted outside of this public comment period.*** **Note:** The Commission's ability to act on or respond to the public comments is limited by Chapter 19, Wis. Stats. Please complete the "Request to Speak at Meeting" form located on the agenda/sign-in table and submit the form to the Town Clerk for in-person attendance.

CORRESPONDENCE

- A. Distribution of the April 2023 Building Inspection Report

BUSINESS

- A. Review/Recommendation: Plan Commission review & recommendation on a Preliminary Plat Review Application submitted by McMahon Associates on behalf of Clayton Development Group, LLC, for approval of the Scholar Ridge Estates Preliminary Plat, dividing Tax ID #006-0617 (2689 County Rd II), Tax ID #006-0618, & Tax ID #006-0632 into 158 lots and 4 outlots intended for a combination of commercial/business, multi-family residential, two-family residential, & single-family residential uses.

- B. Review/Recommendation: Plan Commission review & recommendation on a Certified Survey Map (CSM) Review Application submitted by CRL Surveying, LLC, on behalf of Kenneth Christian for approval of a CSM dividing Tax ID #006-0187-01 (4757 N Loop Rd) into two (2) lots.
- C. Review/Discussion: Plan Commission review & discussion on a Concept Plan Review Application submitted by Jeffrey Houts for a proposed personal storage facility/storage buildings condominium development on Tax ID #006-0895-07 (7568 Black Top Way).

UPCOMING MEETING ATTENDANCE

- A. Plan Commission - May 24; June 14 & 28; July 12
- B. Town Board - May 17; June 7 & 21; July 5 & 19

ADJOURNMENT

Respectfully submitted,

Dick Knapinski
Plan Commission Chair

Pursuant to Wisconsin Statute 19.84 (2) and (3) notice is hereby given to the public and the media that two or more members of any or all Boards, Commissions, and Committees of the Town of Clayton, may attend the meeting of the Plan Commission in order to gather information. For purposes of the Open Meetings Law only; attendance at a meeting by a quorum of members of the Town Boards, Commissions, and Committees constitutes a meeting of the Board, Commission, or Committee, pursuant to Badke Vs. Village Board of Village of Greendale, 173 Wis2d 553, 494 NW2d 408 (1993), and must be noticed as such, although it is not contemplated that any formal action by those bodies will be taken. The only business to be conducted is for Plan Commission action.

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, please call the Town Office at 920.836.2007.

This agenda has been posted at the following locations in the Town of Clayton:

- 1. The Town Hall Posting Board – 8348 CTR “T” Larsen, WI 54947
- 2. The Town’s Web Page: --

TOWN OF CLAYTON
Town Plan Commission Meeting Minutes
7:00 PM Wednesday, March 22, 2023
Town Hall Meeting Room, 8348 County Road T, Larsen, WI 54947

- I. Call to Order: Chair Knapinski called the meeting to order at 7:00 p.m.
 - A. Pledge of Allegiance
 - B. Verification of Notice
 - C. Verification of Meeting Roll

- a. Commissioners

Chair Knapinski	PRESENT
Commissioner Ketter	PRESENT
Commissioner Nemecek	PRESENT
Commissioner Dorow	EXCUSED
Commissioner Haskell	PRESENT
Commissioner VACANT	
Town Board Rep. Christianson	EXCUSED
- b. Staff

Administrator Wisnefske	PRESENT
Clerk Faust-Kubale	PRESENT
Planner Jaworski	PRESENT
Code Administrator Kussow	PRESENT

- II. Public Hearings:
 - A. Plan Commission Public Hearing on proposed batch text amendments to the Town of Clayton Zoning Ordinance including amendments to Division 13 of Article 7, Site Plan; Section 9.08-21, Land uses Generally Allowed within Zoning Districts, & Exhibit 8-1, Land Use Matrix; Division 8 of Article 8, Special Site Design Principles & Architectural Standards; Attachment B, Horizontal Site Design Requirements; Attachment C, Architectural Design Standards; Attachment D, Architectural & Landscape Design Zones; Attachment E, Landscape Design Standards; and Attachment F, Environmental & Energy Efficiency Guidelines.

NO COMMENTS – HEARING CLOSED AT 7:02 PM

- III. Approval of Minutes:
 - A. Approval of the minutes of the Wednesday, March 8, 2023 Plan Commission Meeting

MOTION:

Motion by Commissioner Ketter
Second by Commissioner Nemecek

Motion to approve the March 8, 2023 Plan Commission Meeting Minutes.

Motion carried by unanimous voice vote.

- B. Approval of the minutes of the Wednesday, March 22, 2023 Plan Commission Meeting

MOTION:

Motion by Commissioner Ketter
Second by Commissioner Nemecek

Motion to approve the March 22, 2023 Plan Commission Meeting Minutes.

Motion carried by unanimous voice vote.

IV. Open Forum – Town-related Matters not on the Plan Commission’s Agenda: **NONE**

V. Correspondence:

A. Distribution of the March 2023 Building Inspection Report.

VI. Business:

A. Review/Recommendation: Plan Commission review & recommendation on proposed batch text amendments to the Town of Clayton Zoning Ordinance as described in Agenda Item II-A.

MOTION:

Motion by Commissioner Nemecek
Second by Commissioner Haskell

Motion to recommend approval of the proposed batch text amendments to the Town of Clayton Zoning Ordinance as described in Agenda Item II-A.

Motion carried by unanimous voice vote.

B. Review/Discussion: Plan Commission review & discussion on the proposed presentation slides for the April 26, 2023 Comprehensive Plan Public Information Meeting.

NO ACTION TAKEN – DISCUSSION ITEM ONLY

VII. Upcoming Meeting Attendance

A. Annual Meeting of the Town’s Electors – April 18, 2023 7 pm

B. Annual Reorganizational Meeting – April 19, 2023 7 pm

C. Comprehensive Plan Public Information Meeting – April 26, 2023 5:30 pm to 7:00 pm

VIII. Adjournment

MOTION:

Motion by Commissioner Haskell
Second by Commissioner Nemecek

Motion to Adjourn the meeting at 7:44 pm.

Motion carried by unanimous voice vote.

Respectfully submitted,
Kelsey Faust-Kubale, Clerk

DRAFT

INTERMUNICIPAL REPORT APRIL 2023 PERMITTING

Item A.

DATE	PERMIT #	OWNER	ADDRESS	DESCRIPTION	CONTRACTOR	EST. PROJECT COST	PERMIT FEE	BLDING INSPECTOR FEE	TOWN	YEAR TO DATE SUMMARY			YEAR TO DATE TOTAL
										EST. PROJECT COST	PERMIT FEE	TOWN OF CLAYTON REVENUE	
TOWN OF CLAYTON PERMITS:													
4/3/2023	47-23-4B	MEGAN VESEL	2818 FAIRVIEW	GARAGE ADDN	SELF	\$ 20,000.00	\$ 212.32		Town of Clayton	\$ 6,093,493.00	\$ 16,331.08	\$ 16,331.08	\$ 23,864.33
4/5/2023	48-23-4B	SHANNON KROSTUE	8098 OAKWOOD	3 SEASONS ROOM	TRUFRAME	\$ 52,000.00	\$ 228.76		Town of Vinland	\$ 140,000.00	\$ 160.10	\$ 128.08	\$ 1,893.02
4/5/2023	49-23-4E	JOE PISCHKE	2570 FAIRVIEW	SERVICE UPGRADE	E2 INNOVATIONS	\$ 2,000.00	\$ 75.00		Town of Winneconne	\$ 124,955.00	\$ 837.40	\$ 669.92	\$ 6,744.17
4/17/2023	50-23-4H	LAUREN ZOLP	3207 WINNEGAMIE DR	HVAC REMOD	BLACK-HAAK	\$ 24,000.00	\$ 225.00		Town of Winchester	\$ 11,811.00	\$ 260.00	\$ 208.00	\$ 697.76
4/19/2023	51-23-4B	JESSE MAY	3623 JADETREE TERRACE	REMOD	SELF	\$ 40,000.00	\$ 211.00		Town of Dale	\$ 85,000.00	\$ 343.80	\$ 275.04	\$ 2,378.37
4/24/2023	52-23-4B	GEORGE RUDICH	7358 GREEN MEADOW	SUNROOM	SELF	\$ 60,000.00	\$ 111.00						
4/24/2023	53-23-4E	GEORGE RUDICH	7358 GREEN MEADOW	SUNROOM ELECT	TEAM SERVICE	\$ 3,000.00	\$ 93.00		Total	\$ 6,455,259.00	\$ 17,932.38	\$ 17,612.12	\$ 35,577.64
4/24/2023	54-23-4H	GEORGE RUDICH	7358 GREEN MEADOW	SUNROOM HVAC	MCM AIR	\$ 2,000.00	\$ 93.00						
4/26/2023	55-23-4B	NATIONAL LIGHTING	2586 W AMERICAN DR	NEW COMMERCIAL	CONSOLIDATED COST	\$ 5,755,493.00	\$ 14,707.00		Full Burden Wage	\$ 8,701.89			\$ 33,388.34
4/26/2023	56-23-4B	3RD GENERATION	8709 CLAYTON	CELL TOWER	US CELLULLAR	\$ 133,000.00	\$ 150.00						
4/26/2023	57-23-4B	STEVE HANSEN	3381 FAIRVIEW	REMOVE MOBILE HOME	SELF	\$	\$ 75.00		Net Profit (Loss)	\$ 8,910.23			\$ 2,189.30
4/26/2023	58-23-4E	JEFF PASCH	9036 CENTER	ELECT GAS LINE TO ABOVE GROUNG POOL	SELF	\$ 2,000.00	\$ 150.00						
				TOTALS		\$ 6,093,493.00	\$ 16,331.08						
TOWN OF VINLAND PERMITS:													
4/6/2023	18-23-4B	SCOTT HOWLLS	1934 INDIAN PT	ADDN	DUNCANS CONST	\$ 140,000.00	\$ 107.00	\$ 85.60					
4/6/2023	19-23-4E	SCOTT HOWLLS	1934 INDIAN PT	ELECT ADDN		\$ -	\$ 53.10	\$ 42.48					
				TOTALS		\$ 140,000.00	\$ 160.10	\$ 128.08					
TOWN OF WINNECONNE PERMITS:													
4/4/2023	41-23-4B	PETER KASUKOSKI	6832 WENTZEL SHORE	REROOF	B&L CONTRACTING	\$ 14,000.00	\$ 50.00	\$ 40.00					
4/4/2023	42-23-4B	RANDY WILKE	7182 WINDMILL	DETACHED GARAGE	WALTERS BUILDING	\$ 52,256.00	\$ 234.00	\$ 187.20					
4/4/2023	43-23-4H	LANA ECKLUND	5888 HARBOR SOUTH	FURANCE REPLACEMENT	MODERN HVAC	\$ 4,999.00	\$ 40.00	\$ 32.00					
4/10/2023	44-23-4B	TOM JACQUES	5133 ADAMS	DETACHED GARAGE	SELF	\$ 10,000.00	\$ 93.00	\$ 74.40					
4/12/2023	45-23-4B	RANDALL EIGENBERGER	6646 RUSTIC OAKS	FINISH BASEMENT	A-SQUARE BLDGS	\$ 31,000.00	\$ 188.00	\$ 150.40					
4/12/2023	46-23-4B	RANDALL EIGENBERGER	6646 RUSTIC OAKS	FINISH BASEMENT ELECT	DIERSEN ELECT	\$ 5,200.00	\$ 77.40	\$ 61.92					
4/12/2023	47-23-4H	RANDALL EIGENBERGER	6646 RUSTIC OAKS	FINISH BASEMENT HVAC	MCM AIR	\$ 2,900.00	\$ 77.40	\$ 61.92					
4/12/2023	48-23-4P	RANDALL EIGENBERGER	6646 RUSTIC OAKS	FINISH BASEMENT PLUMB	ALL AREA PLUMB	\$ 4,600.00	\$ 77.60	\$ 62.08					
				TOTALS		\$ 124,955.00	\$ 837.40	\$ 669.92					
TOWN OF WINCHESTER PERMITS:													
4/3/2023	8-23-4E	ANDREW DEVINE	5249 CTY II	SERVICE CHANGE	KMILL ELECT	\$ 2,000.00	\$ 130.00	\$ 104.00					
4/10/2023	9-23-4E	NICK ESPOSITO	5558 GRANDVIEW	GENERATOR INSTALL	ALL PHASE ELECT	\$ 9,811.00	\$ 130.00	\$ 104.00					
				TOTALS		\$ 11,811.00	\$ 260.00	\$ 208.00					
TOWN OF DALE PERMITS:													
4/17/2023	21-23-5B	RANDY WEYLAND	N1658 SHAKY LAKE	POLE BUILDING	CLEARY BLDGS	\$ 85,000.00	\$ 343.80	\$ 275.04					
				TOTALS		\$ 85,000.00	\$ 343.80	\$ 275.04					

Public Comment A & Business A

From: Administrator/Staff

To: Plan Commission

Re: Plan Commission review & recommendation on a Preliminary Plat Review Application submitted by McMahon Associates on behalf of Clayton Development Group, LLC, for approval of the Scholar Ridge Estates Preliminary Plat, dividing Tax ID #006-0617 (2689 County Rd II), Tax ID #006-0618, & Tax ID #006-0632 into 158 lots and 4 outlets intended for a combination of commercial/business, multi-family residential, two-family residential, & single-family residential uses.

Please see the below comments from Code Administrator Kussow:

Property Information Specific to Tax ID #'s 006-0617, 006-0618, & 006-0632:

1. **Specific Site Location:** The subject site is located on the property addressed 2689 County Rd II and the two parcels adjacent to the south. The subject site is adjacent to the south of the County Rd II/Martin Dr intersection and adjacent to the northeast of the Westridge Golf Course.
2. **Parcel Profile Reports** for each parcel are enclosed with this memo for your reference. Additional applicable property information not included in the Parcel Profile Report is described below:
 - a. The subject property is located in the Town's General Agriculture (A-2) District.
 - b. A small area in the northeast corner of Tax ID #006-0617, adjacent to County Rd II, is located in the County's Shoreland Zoning and General Agriculture (A-2) District. This is due to a navigable stream located on the north side of County Rd II.
 - c. There are two (2) "non-navigable" intermittent streams/drainage ways running through the subject property as identified on the preliminary plat:
 - i. Per the Town Subdivision Ordinance, the minimum environmental setback corridor for these streams is 25 – 45 ft, depending on the watershed size for each stream/drainage way.
 - ii. Winnebago County has no setback requirement for these intermittent streams/drainage ways.
 - d. A wetland delineation of the subject property was completed in October 2022 which identified five (5) small wetlands:
 - i. Four (4) small wetlands are within/near the northerly intermittent stream/drainage way on Tax ID #006-0617, within Lots 2 and 3, and Outlot 1 of the preliminary plat; and
 - ii. One (1) small wetland is in the southwest corner of Tax ID #006-0618, within Lots 45, 46, and 47 of the preliminary plat.
 - e. No portion of the subject property is located in a floodplain.
 - f. No portion of the subject property is located in located in Outagamie County Airport Zoning or an Airport Height Limitation Zone.
 - g. All of the subject property is located in the Fox West Sewer Service Area.
 - i. Tax ID # 006-0617 and Tax ID # 006-0618 are located in the Town of Clayton Sanitary District #1.
 - ii. Tax ID # 006-0632 is not located in a sanitary district; **A boundary amendment to the Town of Clayton Sanitary District #1 will be required to add Tax ID # 006-0632 to the sanitary district.**
 - h. The adopted "Highways 10 & 76 Corridor Land Use Master Plan" identifies the following proposed land use districts and features on the subject property:

- i. Tax ID #006-0617 = “Gateway Commercial & Retail” adjacent to County Rd II and “Medium and High Intensity Residential” throughout the remainder of the parcel.
- ii. Tax ID #006-0618 = “Medium and High Intensity Residential”
- iii. Tax ID #006-0632 = “Recreation and Conservation” in the eastern 1/3 and “Single & Two Family Residential” throughout the remainder of the parcel
- iv. Future roads are identified throughout the subject property, along parcel lines.
- v. A future on-road trail is identified along County Rd II, north of the subject property.
- vi. A future off-road trail is identified along the southerly intermittent stream/drainage way on Tax ID #006-0618 and along the west parcel line of Tax ID #006-0632.

This Master Plan was adopted as part of the Town Comprehensive Plan and serves as a more detailed future land use map for the Highways 10 and 76 corridor. This Master Plan Map is a supplement to and supersedes the Future Land Use Plan Map classifications.

- i. The PRELIMINARY/DRAFT Future Land Use Map of the updated 2023 Comprehensive Plan identifies the following future land use categories/designations on the subject property:
 - i. Tax ID #006-0617 = “Business” adjacent to County Rd II, “Neighborhood Center Mixed Use” near County Rd II and adjacent to the east parcel line, and “Medium and High Intensity Residential” throughout the remainder of the parcel.
 - ii. Tax ID #006-0618 = “Medium and High Intensity Residential” in the western 2/3, “Neighborhood Mixed Center” in the northeast corner, and “Recreation and Conservation” in the southeast corner of the parcel.
 - iii. Tax ID #006-0632 = “Residential – Single and Duplex”

This preliminary/draft Future Land Use Map has not yet been adopted by the Town.

- j. The PRELIMINARY/DRAFT Parks and Recreation Facilities Map of the updated 2023 Comprehensive Plan identifies “Future Town Parks or Greenspace” in the southeast corner of Tax ID #006-0618, a future on-road along County Rd II, north of the subject property, and “Future Off-Road Trail” along the southerly intermittent stream/drainage way on Tax ID #006-0618 and along the west parcel line of Tax ID #006-0632.

This preliminary/draft Parks and Recreation Facilities Map has not yet been adopted by the Town.

- k. Officially mapped road right-of-way/road extensions per the City of Neenah Official Street Map are identified along the west parcel lines of Tax ID #006-0617 and Tax ID #006-0618, along the common parcel line of Tax ID #006-0618 and Tax ID #006-0632, and through Tax ID #006-0632.
- l. The proposed commercial and residential (multi-family, condominium, and single-family) development is not allowed in the subject property’s General Agriculture (A-2) District. Therefore, rezoning of the subject property will be required in order for the proposed development to be allowed. The applicant has submitted a Re-Zoning Application which will be reviewed at a future Plan Commission meeting.
- m. The subject property is within extraterritorial plat review jurisdiction of the Village of Fox Crossing and City of Neenah.

3. Zoning of Surrounding Properties:

- a. North: R-1 (Rural Residential District) & I-1 (Light Industrial District)
- b. South: A-2 (General Agriculture District)
- c. East: A-2 (General Agriculture District)
- d. West: R-1 (Rural Residential District), A-2 (General Agriculture District), B-2 (Community Business District), & R-2 (Suburban Residential District)

Application Details:

McMahon Associates, on behalf of Clayton Development Group, LLC, requests approval of the Scholar Ridge Estates Preliminary Plat, dividing Tax ID #006-0617 (2689 County Rd II), Tax ID #006-0618, & Tax ID #006-0632 into 158 Lots and 4 Outlots intended for a combination of commercial/business, multi-family residential, two-family residential, & single-family residential uses. As part of this subdivision/development proposal, the applicant is proposing to rezone the

subject property to the Community Business (B-2) District, Multifamily Residential (R-4) District, Two-Family Residential (R-3) District, and Suburban Residential (R-2) District to accommodate the various uses and housing types as described in more detail below:

- Commercial/business uses are proposed on Lots 1 through 3, adjacent to County Rd II. These lots and Outlot 1 are proposed to be rezoned to the Community Business (B-2) District.
- Multi-family residential use is proposed on Lots 4 and 5. These lots are proposed to be rezoned to the Multifamily Residential (R-4) District.
- Two-family and single-family residential uses are proposed on Lots 6 through 17, Lots 27 through 30, and Lots 35 through 37. These lots and Outlot 2 are proposed to be rezoned to the Two-Family Residential (R-3) District.
- Single-family residential uses are proposed on Lots 18 through 26, Lot 31 through 34, and Lots 38 through 158. These lots and Outlots 3 and 4 are proposed to be rezoned to the Suburban Residential (R-2) District.
- All Outlots (Outlots 1 through 4) are proposed for stormwater management ponds and park/playground/recreation open space. All Outlots are proposed to be dedicated to the Town.

All proposed lots comply with the minimum lot dimensional requirements for each respective zoning district in which the lots are proposed to be rezoned.

Road Access:

Access to the subdivision is proposed via one (1) new road connecting to County Rd II, directly across from the existing Martin Dr north of County Rd II. An internal road network is proposed with:

- Three (3) road stubs for future road access to property adjacent to the east;
- Two (2) road stubs for future road access to property adjacent to the south; and
- One (1) road stub for future road access to the property adjacent to the west.

Wetlands:

As described earlier in this memo, a wetland delineation of the subject property was completed in October 2022 which identified five (5) small wetlands. One (1) small wetland is within Lots 45, 46, and 47 is proposed to be filled, which will require approval from the WisDNR.

Minimum Road Design Standards:

The applicant is requesting a variance to the Town’s Minimum Road Design Standards Policy. The Town’s Minimum Road Design Standards Policy requires:

- 21 inches of gravel base course or 18 inches of gravel base course if geogrid is installed below the pavement and shoulders; and
- 3.5 inches of compacted asphalt surface.

The applicant is requesting a variance to these standards to allow for:

- 12 inches of gravel base course with geogrid installed below the pavement and shoulders; and
- 4 inches of compacted asphalt surface.

Town Engineer’s Recommendation: The applicant should conduct soil borings and provide the Town a detailed geotechnical report with design calculations proving the proposed road design is suitable for the site. If the Town approves this request, the Town should require irrevocable financial commitment from the developer to cover the cost of road failure if road failure were to occur within 25 years after construction.

Environmental Setback Corridors (Sec. 7.10.04, Town Subdivision Ordinance):

Per the Town Subdivision Ordinance, 35 ft. environmental setback corridors shall be provided on each side of the intermittent streams on the subject property. The setbacks from these streams identified on the plat are not consistent with the Town’s requirement. Setbacks exceed the minimum environmental setback corridor in some most locations and do not meet the minimum environmental setback corridor in other locations.

Drainage & Stormwater Management (Sec. 7.10.05, Town Subdivision Ordinance):

Stormwater management and erosion control within the Town are regulated by Winnebago County. Drainage and stormwater management plans are required to be submitted to the Town for review and comment at the time of preliminary plat submittal. The applicant provided a Stormwater Management Plan prepared by McMahon dated April 26, 2023, but detailed drainage, grading, and storm sewer plans and profile drawings were not provided. The Town

Engineer will conduct a thorough review after detailed plans and profile drawings are provided. These plans shall be approved by the Town prior to final plat approval.

Construction of Public Improvements (Sec. 7.10.06, Town Subdivision Ordinance):

- The subdivider is required to install and construct all public improvements (e.g., roads, sewer, water, stormwater management facilities, trails, sidewalks, etc.). As a condition of final plat approval, the subdivider shall enter into a Public Improvement Agreement with the Town addressing items such as construction timelines, financial security, and other requirements as deemed necessary.

Sewage Disposal Systems (Sec. 7.10.07, Town Subdivision Ordinance):

The subdivision is proposed to be served by public sewer and water via the Town of Clayton Sanitary District #1. Tax ID # 006-0617 and Tax ID # 006-0618 are already located in the Town of Clayton Sanitary District #1, but Tax ID # 006-0632 is not located in a sanitary district. Therefore, a boundary amendment to the Town of Clayton Sanitary District #1 should be required to add Tax ID # 006-0632 to the sanitary district prior to final plat approval.

Dedications and Reservations (Sec. 7.10.08, Town Subdivision Ordinance):

- Pedestrian Trails: Any recreational trail(s) designated in an adopted Town plan shall be made part of the plat and either dedicated to the Town or reserved by the subdivider in locations and dimensions indicated on such plan.
 - The “Highways 10 & 76 Corridor Land Use Master Plan” identifies a future on-road along County Rd II, north of the subject property, and a future off-road trail along the southerly intermittent stream/drainage way on Tax ID #006-0618 and along the west parcel line of Tax ID #006-0632.

The preliminary plat identifies an 8 ft. wide public trail within the County Rd II right-of-way, north of Outlot 1 and along the east side of Marlo Drive which would run south from County Rd II to the southern boundary of the subject property.

- Dedication Requirements for Park, Playground, & Recreational Open Space:

1. The Town Subdivision Ordinance requires one of the following options in regard to dedication of park, playground, and recreational open space area(s):
 - Single-family zoning: 6% (3.49 acres)
 - Two-family zoning: 8% (0.93 acres)
 - Multiple-family zoning: 12% (2.55 acres)
 - **Total Dedication Requirement: 6.97 acres**
2. Fee in lieu of land dedication: In the event the Town Board deems a dedication is unsuitable, inadequate or inappropriate, a \$500 fee in lieu of dedication for each new dwelling unit shall be paid prior to issuance of a building permit.

The applicant is proposing to satisfy this requirement via dedication of the trail and all four (4) Outlots, which equals 7.48 acres.

It is staff’s opinion that the applicant’s proposed dedication is not acceptable since the majority of the area proposed to be dedicated will consist of stormwater ponds.

Staff Comments & Plan Commission/Town Board Direction:

Specific items/issues recommended to be reviewed by Plan Commission and Town Board:

1. Minimum Road Design Standards:
 - a. The applicant is requesting a variance to the Town’s Minimum Road Design Standards Policy.
 - b. Town Engineer’s Recommendation: The applicant should conduct soil borings and provide the Town a detailed geotechnical report with design calculations proving the proposed road design is suitable for the site. If the Town approves this request, the Town should require irrevocable financial commitment from the developer to cover cost of road failure if road failure were to occur within 25 years after construction.

- 2. Environmental Setback Corridors (Sec. 7.10.04, Town Subdivision Ordinance):
 - a. Per the Town Subdivision Ordinance, 35 ft. environmental setback corridors shall be provided on each side of the intermittent streams on the subject property.
 - b. The setbacks from these streams identified on the plat are not consistent with the Town’s requirement. Setbacks exceed the minimum environmental setback corridor in some locations and do not meet the minimum environmental setback corridor in other locations.
- 3. Drainage & Stormwater Management (Sec. 7.10.05, Town Subdivision Ordinance):
 - a. The applicant provided a Stormwater Management Plan prepared by McMahon dated April 26, 2023, but detailed drainage, grading, and storm sewer plans and profile drawings were not provided. The Town Engineer will conduct a thorough review after detailed plans and profile drawings are provided. These plans shall be approved by the Town prior to final plat approval.
- 4. Road, Sanitary Sewer, & Water Main Engineering Review:
 - a. Detailed road, sanitary sewer, and water main plans and profile drawings were not provided. The Town Engineer will conduct a thorough review after detailed plans and profile drawings are provided. These plans shall be approved by the Town prior to final plat approval.
- 5. Sewage Disposal Systems (Sec. 7.10.07, Town Subdivision Ordinance):
 - a. The subdivision is proposed to be served by public sewer and water via the Town of Clayton Sanitary District #1. **A boundary amendment to the Town of Clayton Sanitary District #1 should be required to add Tax ID # 006-0632 to the sanitary district prior to final plat approval.**
- 6. Dedications and Reservations (Sec. 7.10.08, Town Subdivision Ordinance):
 - a. The Town should review and discuss trail and Park/Playground/Recreational Open Space requirements vs. proposed dedications. Fee in lieu of land dedication is an option the Town may allow.

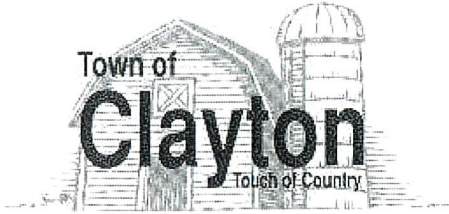
Plan Commission/Town Board Direction:

- 1. The preliminary plat shall be reviewed by the Plan Commission for conformance with the Town Subdivision Ordinance, Zoning Ordinance, and all other ordinances, rules, regulations, and the Town’s Comprehensive Plan.
- 2. The preliminary plat shall then be forwarded to the Town Board with a Plan Commission recommendation for approval or rejection. The Town Board is the approving authority for preliminary plats.
- 3. Within 90 days of filing the preliminary plat with the Town Clerk (i.e., on or before July 9, 2023), the Town Board shall approve, conditionally approve, or reject such plat in accordance with State Statute unless time is extended by written agreement with the subdivider. Failure of the Town Board to act within 90 days shall constitute an approval.
- 4. After preliminary plat approval, final plat review/approval by Plan Commission and Town Board will be required.

Suggested Motion:

A motion to recommend conditional approval of the preliminary plat with all Staff recommendations.

Respectfully Submitted,
Kelsey



**Preliminary Plat Review Application
(Submit 15 copies of Drawings)**

8348 County Road T – Larsen, WI 54947
Phone – 920-836-2007 Fax – 920-836-2026
Email – tocadmin@new.rr.com Web Page – www.townofclayton.net

Property Owner (s): Clayton Development Group, LLC

Address/Zip: 2065 American Drive, Suite A, Neenah, WI 54956

Phone: (920) 428-9451 Fax: _____ E-Mail: derek@groundedpropertygroup.com

Applicant: Doug Woelz, McMahon Associates

Check: Architect Engineer Surveyor Attorney Agent

Address/City/Zip: 1445 McMahon Drive, Neenah, WI 54956

Phone: (920) 751-4200 Fax: _____ E-Mail: dwoelz@mcmgrp.com

Plat Title: Scholar Ridge Estates

No. of Lots: 162 Total Acreage: 101.66 Tax Key No.: 0060617, 0060618, & 0060632

Legal Description: Legal description can be found on attached preliminary plat for

Scholar Ridge Estates. Zoning: R-2, R-3, R-4, B-1/B-2

Surveyor: Doug Woelz, McMahon Associates Registration No.: PLS - 2327

Address/City/Zip: 1445 McMahon Drive, Neenah, WI 54956

Phone: (920) 751-4200 Fax: _____ E-Mail: dwoelz@mcmgrp.com

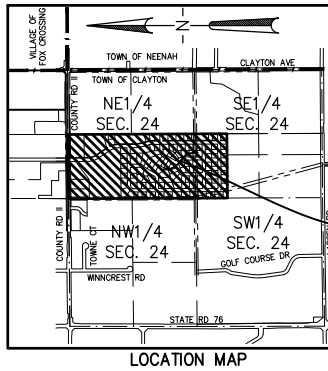
I certify that the attached drawings are to the best of my knowledge complete and drawn in accordance with all Town of Clayton codes.

Applicant Signature:  Date: 4/10/2023

**For Town Use Only
Fee (See Fee Schedule)**

Fee: _____	Acct No: _____	Receipt: _____	Date: _____
Date Rec'vd Complete: _____		By: _____	
Applic. No.: _____		Review Meeting _____	
History _____		Preliminary Plat is: Approved _____	
Approved with Condition _____		Denied _____	
Public Improvement Agreement Signed: Yes _____ No: _____			
10 Copies submitted to County: Yes _____ No: _____			
11" x 17" submitted: Yes _____ No: _____			
15 Copies submitted to Town: Yes _____ No: _____			
Comments: _____			

Notes: Please notify utility companies regarding your proposed development. CSM approval does not constitute approval of a building permit or any required approval of a highway connection permit. Preliminary Plat & Fee must be submitted 10 working days prior to meeting. **Submit 1 copy to City of Neenah (if in Extra Territorial Plat Review).**



PROJECT LOCATION

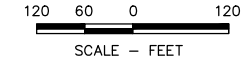
- LEGEND**
- 3/4" IRON REBAR FOUND
 - RECORDED BEARING AND/OR DISTANCE
 - SQUARE FEET
 - CERTIFIED LAND CORNER WINNEBAGO COUNTY
 - EXISTING STORM ENDWALL
 - EXISTING UTILITY VAULT
 - EXISTING MAILBOX
 - EXISTING POST
 - EXISTING SIGN
 - UTILITY POLE
 - UTILITY POLE W/GUY WIRE
 - TELEPHONE OR TELEVISION PEDESTAL
 - EXISTING BUILDING
 - EXISTING CONTOURS
 - EXISTING CULVERT WITH END SECTIONS
 - TREE OR BRUSH LINE
 - SOIL BORING LOCATION
 - TV CABLE TELEVISION - BURIED
 - G GAS MAIN
 - E ELECTRIC CABLE - BURIED
 - FO FIBER OPTIC CABLE - BURIED
 - EXISTING FENCE
 - DITCH LINE
 - PROPERTY LINE
 - RIGHT-OF-WAY LINE
 - SECTION LINE
 - EXISTING ASPHALT PAVEMENT
 - EXISTING GRAVEL
 - EXISTING CONCRETE PAVEMENT
 - WETLANDS AS DELINEATED BY DAVEL ENGINEERING & ENVIRONMENTAL, INC. TRAVIS STUCK DATED OCT. 25, 2022

PRELIMINARY PLAT
SCHOLAR RIDGE ESTATES
 ALL OF THE NORTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 AND THE NORTH 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24, TOWNSHIP 20 NORTH, RANGE 16 EAST, TOWN OF CLAYTON, WINNEBAGO COUNTY, WISCONSIN

OWNER/SUBDIVIDER
 CLAYTON DEVELOPMENT GROUP, LLC
 ATTN: DEREK LIEBHAUSER
 2065 AMERICAN DRIVE, SUITE A
 NEENAH, WI 54956
 (920) 428-9451

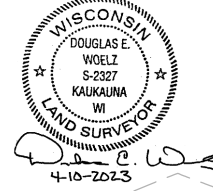
SURVEYOR:
 DOUGLAS E. WOELZ
 1445 MCMAHON DRIVE
 NEENAH, WI 54956
 (920) 751-4200

BEARINGS ARE REFERENCED TO THE NORTH LINE OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 20 NORTH, RANGE 16 EAST, WHICH BEARS N89°22'51"E PER THE WISCONSIN COUNTY COORDINATE SYSTEM AS PUBLISHED FOR WINNEBAGO COUNTY



OBJECTING AUTHORITIES:
 - DEPARTMENT OF ADMINISTRATION

APPROVING AUTHORITIES:
 - TOWN OF CLAYTON
 - VILLAGE OF FOX CROSSING
 - WINNEBAGO COUNTY PLANNING & ZONING



Jobbing: W:\PROJECTS\C1069\092300271\CADD\GIS\3D\Survey Documents\SUBDIVISION PLATS\Scholar Ridge Estates Preliminary Plat.dwg, sheet 1, Plot Date: 4/10/2023 5:03 PM, xref:scs###

Item A.

McMAHON
 McMAHON ASSOCIATES, INC.
 1445 MCMAHON DRIVE NEENAH, WI 54956
 Mailing: P.O. BOX 1025 NEENAH, WI 54956
 PH 920.751.4200 FAX 920.751.4288

McMahon Associates, Inc. provides its services under the terms of a contract. The instruments of service are retained by McMahon Associates, Inc. The information contained herein is for the use of the client only and is not to be used for any other purpose without the prior written consent of McMahon Associates, Inc.

NO.	DATE	REVISION

PRELIMINARY PLAT - SCHOLAR RIDGE ESTATES
 PART OF THE NORTHEAST 1/4 AND THE SOUTHWEST 1/4 OF SECTION 24, T20N, R16E,
 TOWN OF CLAYTON, WINNEBAGO COUNTY, WISCONSIN

SURVEYED	DRAWN
DEW	MJA

PROJECT NO.
 C1069 09-23-00271

DATE
 APRIL, 2023

SHEET NO.
 10 13

PRELIMINARY PLAT
SCHOLAR RIDGE ESTATES

ALL OF THE NORTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 AND THE NORTH 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 24, TOWNSHIP 20 NORTH, RANGE 16 EAST, TOWN OF CLAYTON, WINNEBAGO COUNTY, WISCONSIN

NOTES

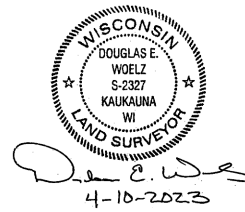
- THE SUBJECT PROPERTY IS CURRENTLY ZONED: A-2 GENERAL AGRICULTURAL
 - PROPOSED ZONING FOR THIS DEVELOPMENT:
 - (3 LOTS & 1 OUTLOT) LOTS 1 THRU 3 & OUTLOT 1 - LOCAL SERVICE BUSINESS (B-1) DISTRICT OR COMMUNITY BUSINESS (B-2) DISTRICT
 - (2 LOTS) LOTS 4 & 5 - MULTIFAMILY RESIDENTIAL (R-4) DISTRICT
 - (19 LOTS & 1 OUTLOT) LOTS 6 THRU 17, LOTS 27 THRU 30, LOTS 35 THRU 37 AND OUTLOT 2 - TWO-FAMILY RESIDENTIAL (R-3) DISTRICT
 - (134 LOTS & 2 OUTLOTS) LOTS 18 THRU 26, LOTS 31 THRU 34, LOTS 38 THRU 158 AND OUTLOTS 3 & 4 - SUBURBAN RESIDENTIAL (R-2) DISTRICT
 - TOTAL DEVELOPMENT = 158 LOTS & 4 OUTLOTS
 - FRONTYARD BUILDING SETBACKS TO BE 30 FEET FOR SUBURBAN & TWO-FAMILY RESIDENTIAL LOTS AND 40 FEET FOR MULTIFAMILY RESIDENTIAL LOTS
 - THE TOTAL AREA OF THIS DEVELOPMENT = 101.661 ACRES
 - NET SUBDIVIDED AREA = 81.485 ACRES
 - DEDICATED STREET AREA = 20.176 ACRES
 - LINEAL FEET OF STREETS = 14,197 LIN. FEET.
 - MINIMUM LOT REQUIREMENTS PER ZONING ORDINANCES (SEWERED LOTS):
 - (B-1) BUSINESS DISTRICT/(B-2) COMMUNITY BUSINESS DISTRICT
MINIMUM LOT SIZE = 15,000 S.F.
MINIMUM LOT WIDTH = 85 FEET
MINIMUM ROAD FRONTAGE = 75 FEET
 - (R-4) MULTIFAMILY RESIDENTIAL DISTRICT
MINIMUM LOT SIZE = 15,000 S.F.
MINIMUM LOT WIDTH = 120 FEET
MINIMUM ROAD FRONTAGE = 33 FEET
 - (R-3) TWO-FAMILY RESIDENTIAL DISTRICT
MINIMUM LOT SIZE (TWO FAMILY UNITS) = 10,000 S.F.
MINIMUM LOT WIDTH = 85 FEET
MINIMUM ROAD FRONTAGE = 33 FEET
 - (R-2) SUBURBAN RESIDENTIAL DISTRICT
MINIMUM LOT SIZE = 9,000 S.F.
MINIMUM LOT WIDTH = 65 FEET
MINIMUM ROAD FRONTAGE = 33 FEET
 - MINIMUM LOT SIZE WITHIN DEVELOPMENT = 10,537 S.F. (LOT 124)
 - MINIMUM LOT WIDTH WITHIN DEVELOPMENT = 80 FEET
 - MINIMUM ROAD FRONTAGE WITHIN DEVELOPMENT = 55.27 FEET (LOTS 32 & 33)
 - AVERAGE LOT SIZE (R-2) SUBURBAN RESIDENTIAL DISTRICT = 13,769 S.F.
 - AVERAGE LOT SIZE (R-3) TWO-FAMILY RESIDENTIAL DISTRICT = 16,473 S.F.
 - ALL EASEMENTS TO BE SHOWN ON THE FINAL PLAT.
 - SEE UTILITY PLANS FOR EXISTING AND PROPOSED UTILITIES.
 - ALL LOTS TO BE SERVICED BY PUBLIC SEWER AND WATER.
 - OUTLOTS TO BE OWNED AND MAINTAINED BY THE TOWN OF CLAYTON OR BY A HOME OWNERS ASSOCIATION.
 - PRIVATE RESTRICTIONS/COVENANTS TO BE FILED WITH THE FINAL PLAT.
 - A JURISDICTIONAL DETERMINATION/ARTIFICIAL WETLAND EXEMPTION REQUEST IS TO BE FILED WITH THE WISCONSIN DNR'S OFFICE TO ALLOW THE FILLING OF WETLAND AREAS SHOWN ON LOTS 45, 46 & 47 (WETLAND AREA IS LESS THAN 10,000 S.F.)
 - ANY AGRICULTURAL DRAIN TILE WHICH IS DISTURBED, CUT OR BROKEN AS PART OF THE DEVELOPMENT OF THE PLAT OR EXCAVATION FOR HOME CONSTRUCTION MUST BE REPAIRED AND/ OR RELOCATED TO ALLOW FOR THE DRAIN TILE TO CONTINUE DRAINING AS ORIGINALLY DESIGNED. THE COST OF THE REPAIR OR RELOCATION MUST BE BORNE BY THE PARTY OR HIS AGENT DAMAGING THE DRAIN.
 - THE LOCATION OF THE APPROXIMATE ORDINARY HIGH WATER MARK SHALL BE THE POINT ON THE BANK OF THE NAVIGABLE STREAM UP TO WHICH THE PRESENCE AND ACTION OF SURFACE WATER IS SO CONTINUOUS AS TO LEAVE A DISTINCTIVE MARK BY EROSION, DESTRUCTION OF TERRESTRIAL VEGETATION, OR OTHER RECOGNIZED CHARACTERISTICS.
 - ANY LAND BELOW THE ORDINARY HIGH WATER MARK OF A LAKE OR A NAVIGABLE STREAM IS SUBJECT TO THE PUBLIC TRUST IN NAVIGABLE WATERS THAT IS ESTABLISHED UNDER ARTICLE IX, SECTION 1, OF THE STATE CONSTITUTION.
 - RIGHT TO FARM COVENANT:
THE LOTS CREATED ON THIS MAP IS ADJACENT TO PROPERTIES THAT, AS OF THE DATE OF THIS DOCUMENT, ARE BEING USED FOR AGRICULTURAL PURPOSES. SOME INDIVIDUALS BELIEVE THAT THE ACTIVITIES ASSOCIATED WITH AGRICULTURAL USE CONSTITUTE A NUISANCE OR CONFLICT WITH THE QUIET ENJOYMENT OF THEIR PROPERTY. THIS STATEMENT IS INTENDED TO PROVIDE THIRD PARTIES WITH NOTICE THAT AGRICULTURAL ACTIVITIES MAY EXIST ON THE ADJACENT PROPERTIES.
- DRAINAGE EASEMENT RESTRICTIONS:**
THE FOLLOWING USES AND STRUCTURES ARE PROHIBITED WITHIN ALL DRAINAGE EASEMENTS: FILLING, GRADING AND EXCAVATING EXCEPT FOR CONSTRUCTION OF DRAINAGE WAYS AND DRAINAGE FACILITIES; THE CULTIVATION OF CROPS, FRUITS OR VEGETABLES; THE DUMPING OR DEPOSITING OF ASHES, WASTE, COMPOST OR MATERIALS OF ANY KIND; THE STORAGE OF VEHICLES, EQUIPMENT, MATERIALS OR PERSONAL PROPERTY OF ANY KIND; AND CONSTRUCTING, ERECTING OR MOVING ANY BUILDING OR STRUCTURE, INCLUDING FENCES, WITHIN THE DRAINAGE CASEMENT.
- MAINTENANCE OF DRAINAGE IMPROVEMENTS:**
MAINTENANCE OF DRAINAGE WAYS AND ASSOCIATED DRAINAGE IMPROVEMENTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS. WINNEBAGO COUNTY AND THE TOWN RETAIN THE RIGHT TO PERFORM MAINTENANCE OR REPAIRS. THE COST OF THE MAINTENANCE AND REPAIRS SHALL BE EQUALLY ASSESSED AMONG THE PROPERTY OWNERS. THE PURCHASE OF ANY LOT CONSTITUTES A WAIVER OF OBJECTION AND AGREEMENT TO PAY ANY SUCH ASSESSMENT WHICH SHALL BE PLACED ON THE TAX BILL AS A SPECIAL ASSESSMENT.
- DRAINAGE MAINTENANCE EASEMENT:**
WINNEBAGO COUNTY AND THE TOWN SHALL HAVE AN UNQUALIFIED RIGHT TO ENTER UPON ANY DRAINAGE EASEMENT OR OUTLOT FOR INSPECTION AND, IF NECESSARY, MAINTENANCE AND REPAIR OF THE DRAINAGE WAYS AND ASSOCIATED DRAINAGE IMPROVEMENTS.
- *ANY AGRICULTURAL DRAIN TILE WHICH IS DISTURBED, CUT OR BROKEN AS PART OF THE DEVELOPMENT OF THE PLAT OR EXCAVATION FOR HOME CONSTRUCTION MUST BE REPAIRED AND/ OR RELOCATED TO ALLOW FOR THE DRAIN TILE TO CONTINUE DRAINING AS ORIGINALLY DESIGNED. THE COST OF THE REPAIR OR RELOCATION MUST BE BORNE BY THE PARTY OR HIS AGENT DAMAGING THE DRAIN.*

PROPERTY DESCRIPTION: All of the Northwest 1/4 and the Southwest 1/4 of the Northeast 1/4 and the North 1/2 of the Northwest 1/4 of the Southeast 1/4 of Section 24, Township 20 North, Range 16 East, Town of Clayton, Winnebago County, Wisconsin containing 4,428,349 square feet (101.661 acres) of land more or less and described as follows:

Beginning at the North 1/4 corner of said Section 24; Thence N89°22'51"E, 1336.79 feet along the North line of the Northwest 1/4 of said Section 24 to the East line of the West 1/2 of said Northeast 1/4; Thence S00°15'17"E, 2648.34 feet along said East line to the Southeast corner thereof; Thence S00°12'30"E, 661.38 feet along the East line of the North 1/2 of the Northwest 1/4 of the Southeast 1/4 to the Southeast corner thereof; Thence S89°27'07"W, 1339.26 feet along the South line of the North 1/2 of the Northwest 1/4 of the Southeast 1/4 to the Southwest corner thereof; Thence N00°13'16"W, 660.00 feet along the West line of said Southeast 1/4 to the Center of said Section 24; Thence N00°11'52"W, 2648.07 feet along the West line of said Northeast 1/4 to the Point of Beginning.

NOTES:

- LAND DEDICATION REQUIREMENTS: (PARK, PLAYGROUND & RECREATION OPEN SPACE)
- SINGLE FAMILY ZONING - 6% LAND DEDICATION REQUIREMENT
TOTAL SINGLE FAMILY LOT AREA = 2,533,380 S.F. (58.158 ACRES)
LAND DEDICATION REQUIREMENT = 2,533,380 X .06 = 152,002.8 S.F. (3.49 ACRES)
- TWO FAMILY ZONING - 8% LAND DEDICATION REQUIREMENT
TOTAL TWO FAMILY LOT AREA = 505,765 S.F. (11.61 ACRES)
LAND DEDICATION REQUIREMENT = 505,765 X .08 = 40,461.2 S.F. (0.93 ACRES)
- MULTIPLE FAMILY ZONING - 12% LAND DEDICATION REQUIREMENT
TOTAL MULTIPLE FAMILY LOT AREA = 925,049 S.F. (21.24 ACRES)
LAND DEDICATION REQUIREMENT = 925,049 X .12 = 111,005.88 (2.55 ACRES)
- TOTAL LAND DEDICATION REQUIREMENT = 303,469.88 (6.97 ACRES)
LAND DEDICATION PROVIDED = 325,989 S.F. (7.48 ACRES)
TRAIL = 26,674 S.F. (0.61 ACRES)
 - OUTLOT 1 = 138,401 S.F. (3.17 ACRES)
 - OUTLOT 2 = 71,941 S.F. (1.65 ACRES)
 - OUTLOT 3 = 52,581 S.F. (1.21 ACRES)
 - OUTLOT 4 = 36,392 S.F. (0.84 ACRES)



Item A.
McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE WEEENAH, WI 53085
Mailing: P.O. BOX 1025 WEEENAH, WI 53085
PH 920.751.4200 FAX 920.751.4284

McMahon Associates, Inc. provides this form as an instrument of title. All instruments of title are retained by McMahon Associates, Inc. The user assumes the responsibility for the latest extent permitted by law. McMahon Associates, Inc. is not responsible for any reuse of or modification of this form without prior written consent by McMahon Associates, Inc.

NO.	DATE	REVISION

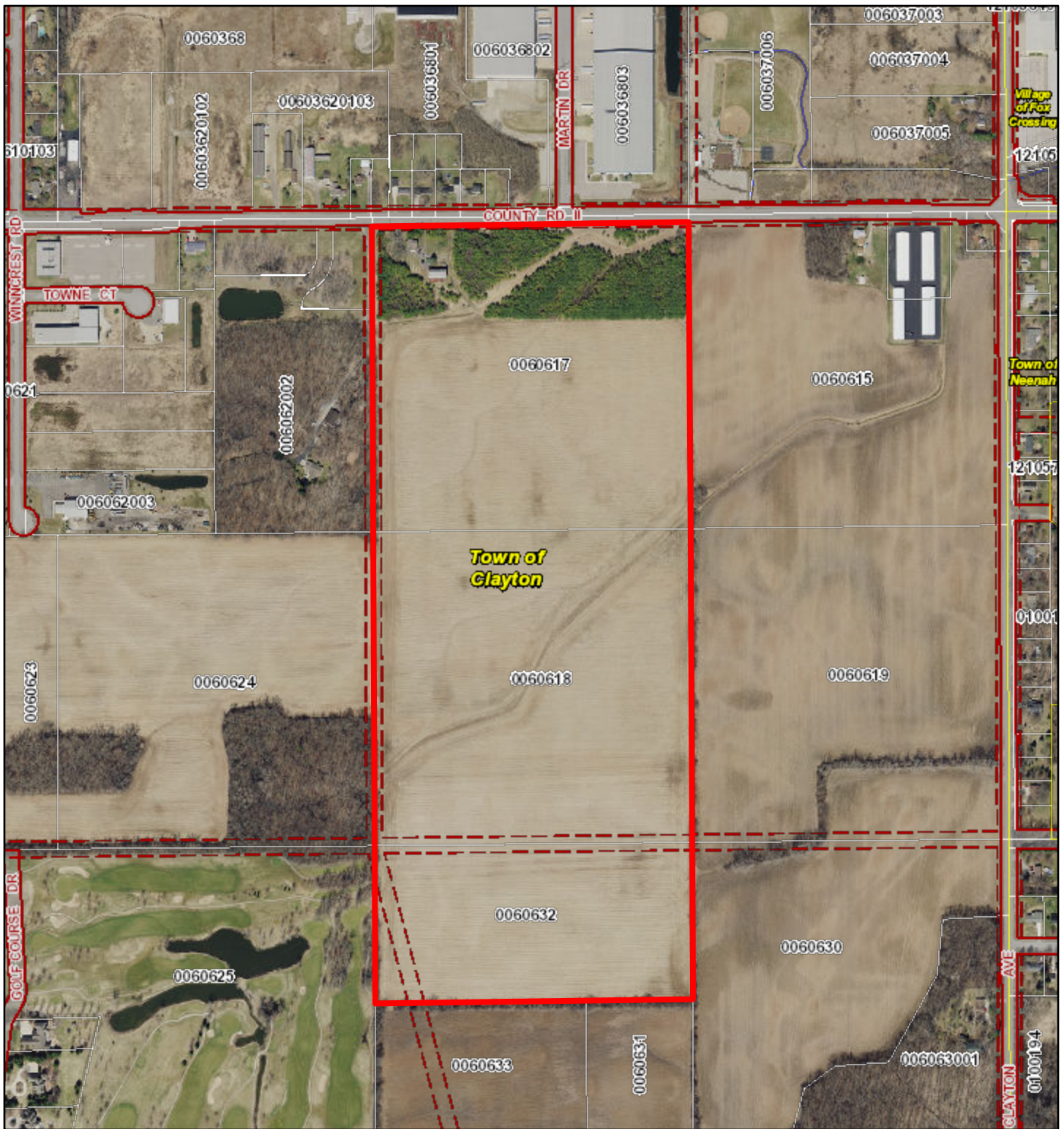
PRELIMINARY PLAT - SCHOLAR RIDGE ESTATES
PART OF THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF SECTION 24, T20N, R16E,
TOWN OF CLAYTON, WINNEBAGO COUNTY, WISCONSIN

SURVEYED DEW	DRAWN MJA
PROJECT NO. C1069 09-23-00271	
DATE APRIL, 2023	
SHEET NO. 2014	

W:\PROJECTS\C1069\092300271\CADD\Civil3D\Survey Documents\SUBDIVISION PLATS\Scholar Ridge Estates Preliminary Plat.dwg, sheet 2, Plot Date: 4/10/2023 5:03 PM, xrefs:###

Site Map 1-Clayton Development Group LLC

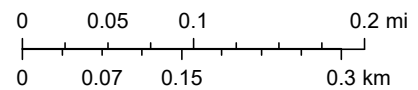
Item A.



2/2/2023, 2:32:52 PM

1:7,111

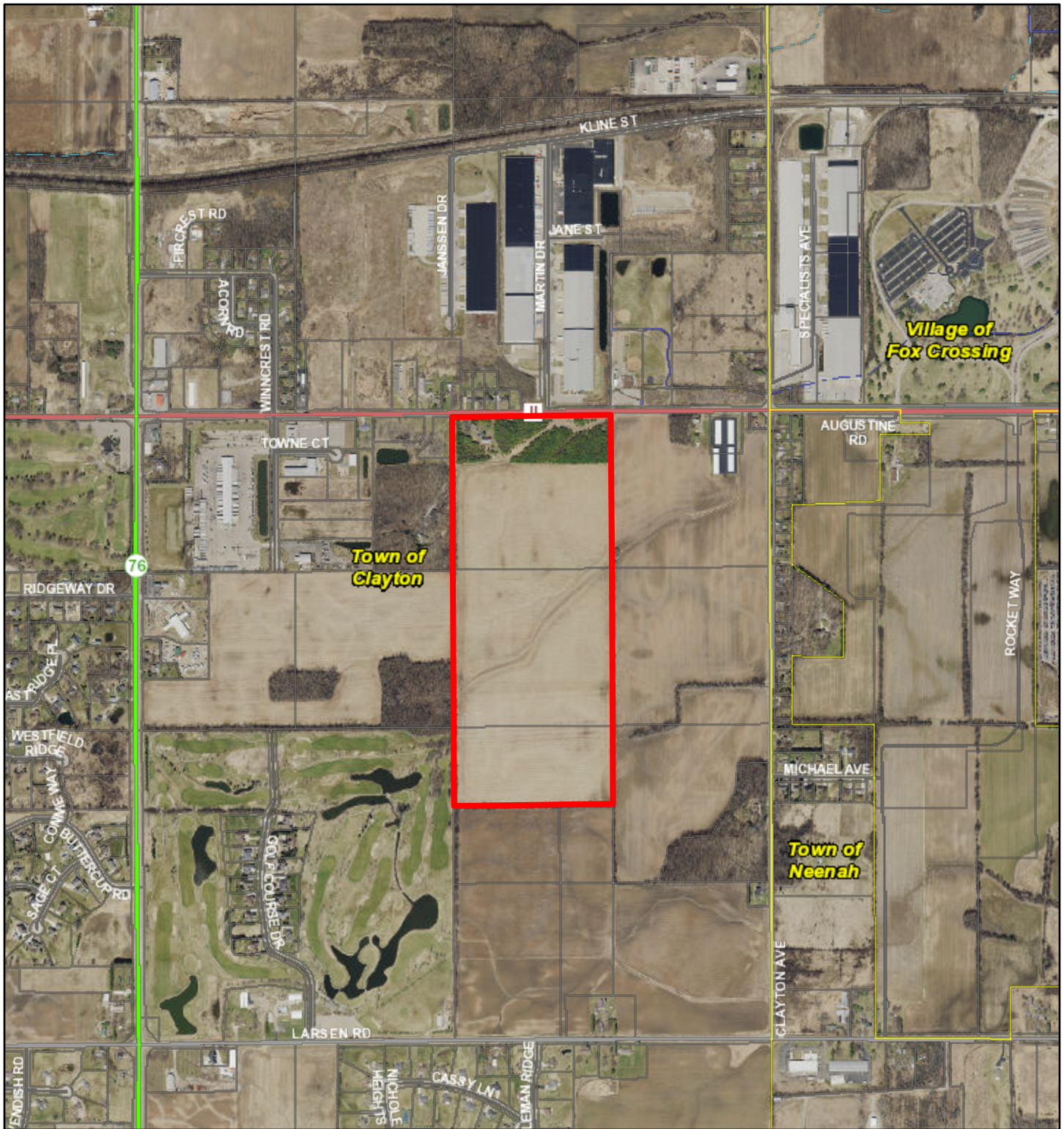
- Official Mapped ROW Extension
- Adjacent Counties
- Lakes, Ponds and Rivers
- Navigable Waterways**
- Navigable - Permanent (unchecked)
- Navigable - Intermittent (unchecked)
- Navigable - Stream (unchecked)
- Navigable - Permanent (checked)
- Navigable - Intermittent (checked)
- Navigable - Stream (checked)
- Tax Parcel Boundary
- Road ROW



Winnebago County GIS, Imagery Date: April 2020

Site Map 2-Clayton Development Group LLC

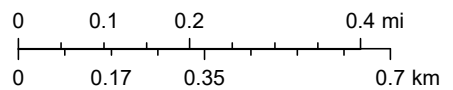
Item A.



2/2/2023, 2:33:55 PM

1:14,223

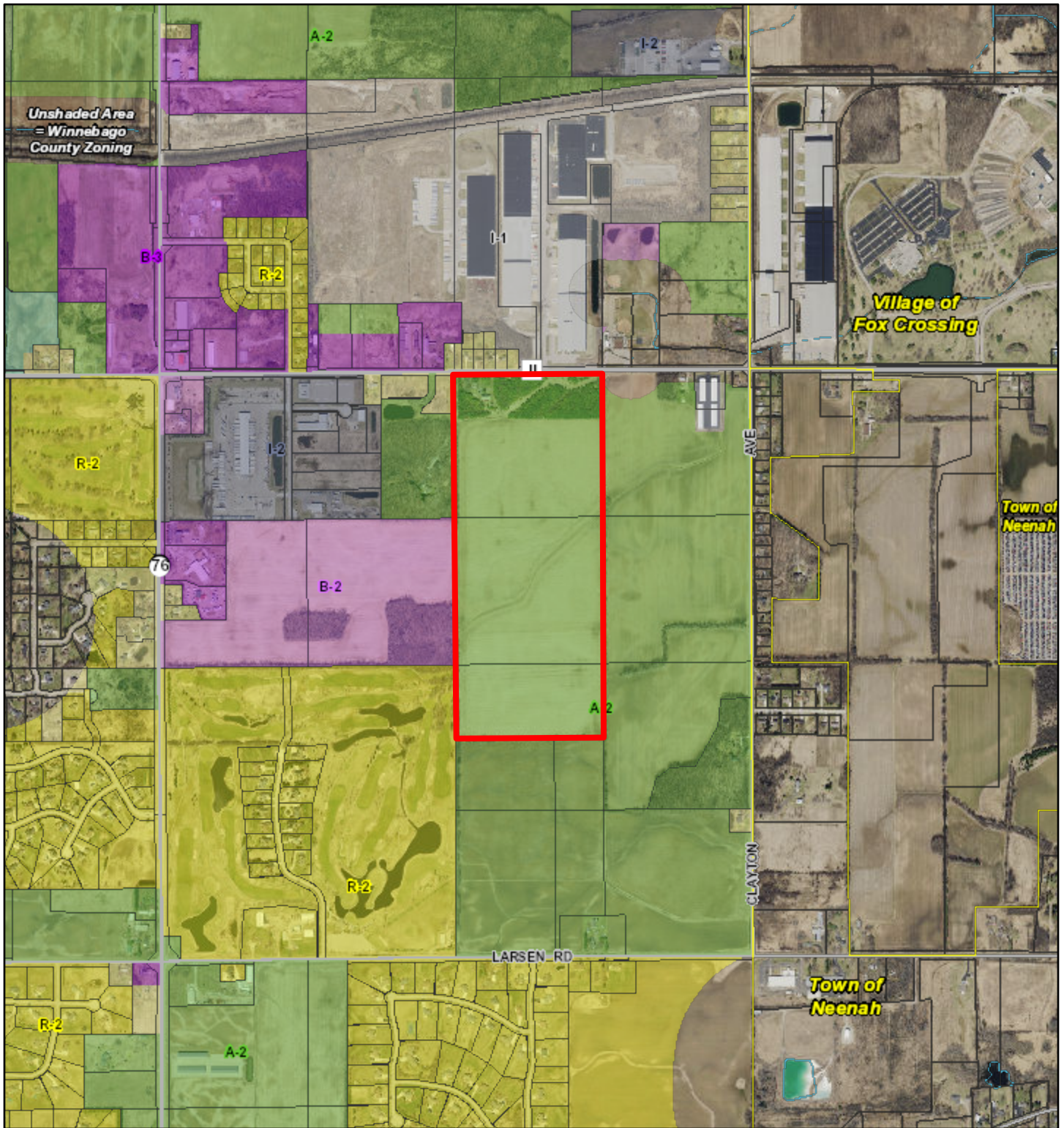
- Adjacent Counties
- Lakes, Ponds and Rivers
- Navigable Waterways**
- Navigable - Permanent (unchecked)
- Navigable - Intermittent (unchecked)
- Navigable - Stream (unchecked)
- Navigable - Permanent (checked)
- Navigable - Intermittent (checked)
- Navigable - Stream (checked)
- Tax Parcel Boundary
- Local Road
- County Road



Winnebago County GIS, Imagery Date: April 2020

Zoning Map-Clayton Development Group LLC

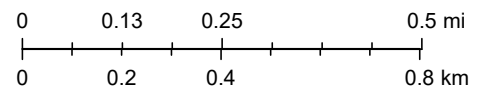
Item A.



2/2/2023, 3:11:22 PM

1:15,223

District Code / Description	 R-4 - Multifamily Residential
 A-1 - Agribusiness	 R-8 - Manufactured Housing Community
 A-2 - General Agriculture	 PDD - Planned Development
 R-1 - Rural Residential	 B-1 - Local Service Business
 R-2 - Suburban Residential	 B-2 - Community Business
 R-3 - Two-Family Residential	 B-3 - General Business



Winnebago County GIS, Imagery Date: April 2020

Parcel Profile Report for 0060617

Item A.

Real Estate Property & Tax Information

[Interactive Map](#)

This tax information was compiled on THURSDAY, MAY 4, 2023

[More Details](#)

Mailing Address:

**CLAYTON DEVELOPMENT GROUP LLC
2065 AMERICAN DR STE A
NEENAH WI 54956**

Owner(s):

CLAYTON DEVELOPMENT GROUP LLC

Tax Parcel Number:

0060617

Tax District:

[006-TOWN OF CLAYTON](#)

Acres:

40.00

School District:

3892-NEENAH JOINT SCHOOL DISTRICT

[Interactive Map](#)

Assessed Values

[More Assessment Details](#)

Land:

\$69,300

Improvements:

\$182,600

Total:

\$251,900

Site Address(es):

**2689 COUNTY RD II
NW NE 40.00 A.**

Buyer/Recorder Information for a complete legal description, see **NEENAH WI 54956**

Document Number:

1900006

Public Land Survey System (PLSS) Information

[Interactive Map](#)

Physical Location(s):

NW 1/4, NE 1/4 of Section 24, T.20N. - R.16E., TOWN OF CLAYTON

General Zoning Information

District:	Description:	Jurisdiction:	
A-2	GENERAL AGRICULTURE DISTRICT	TOWN OF CLAYTON	Interactive Map
A-2	GENERAL AGRICULTURE DISTRICT	WINNEBAGO COUNTY	Interactive Map
Extraterritorial:		Shoreland:	
VILLAGE OF FOX CROSSING		ALL OR A PORTION OF THIS PROPERTY IS LOCATED IN THE SHORELAND AREA	Interactive Map

Navigable Stream and Surface Water Drainage Information

[Interactive Map](#)

Classification:	Source:	Type:	Surface Water Drainage Dist:
NON-NAVIGABLE - INTERMITTENT (CHECKED)	USGS QUAD MAP	INTERMITTENT	NONE

Airport Zoning and Height Limitation Information

[Interactive Map](#)

Airport:	District(s):	Elevation Range:	Height Limitation(s):	Building Height:
NONE		838 - 870	NONE	

County Floodplain and FEMA Special Flood Hazard Area (SFHA) Information

[Interactive Map](#)

County District:	SFHA Zone:	SFHA Zone Type:	FIRM Panel:	Map Effective Date:
NONE	ZONE X	OUTSIDE FLOODPLAIN	55139C0100E	MARCH 17, 2003
Letter of Map Change (LOMC) Type:		Documents:	Effective Date:	

Wisconsin Wetland Inventory Information

[Interactive Map](#)

Area Code:	Area Description:	Source:
NONE		



Parcel Profile Report for 0060617

Item A.



Parcel Profile Report for 0060617

Item A.

Future Land Use Planning Information

County Use:	Municipal Planning Authority:	Municipal Use:
NON-RESIDENTIAL	TOWN OF CLAYTON	BUSINESS (COMMERCIAL & INDUSTRIAL)
PUBLIC/INSTITUTIONAL	TOWN OF CLAYTON	TRANSPORTATION

Elevation Information (NAVD88, US Survey Feet)

[Interactive Map](#)

Range:	Elevation Change:	Average:
838 - 870	32	854

Soil Survey Information

[Interactive Map](#)

Symbol:	Name:	Drainage Class:	Farmland Class:	Hydrologic Group:
HrB	Hortonville silt loam, 2 to 6 percent slopes	Well drained	II	C
KnB	Kewaunee silt loam, 2 to 6 percent slopes	Well drained	II	C
MaA	Manawa silty clay loam, 0 to 3 percent slopes	Somewhat poorly drained	II	D
MtA	Mosel silt loam, 0 to 3 percent slopes	Somewhat poorly drained	II	C/D

Election Information

Type:	District:	Voting Ward:
WINNEBAGO COUNTY BOARD OF SUPERVISORS	29	2
Supervisor:	Polling Place:	
RACHEL A. YOUNGQUIST	CLAYTON MUNICIPAL BUILDING 8348 COUNTY RD. T	

2010 United States Census Bureau Information

State and County FIPS code(s):	Tract:	Block:	Total Population:
55 139	002300	2019	59

Historical Photography Information

Flight Year:	File Name:
1941	AIW-2B-6-41.tif
1957	AIW-1T-85-57.tif
1975	2016-75.tif
1981	I-3-81.tif

Special Casing Area Requirements for Arsenic Information

[Casing Map](#)

Special well casing depth area for Winnebago County - effective October 1, 2004	More Details
--	------------------------------



Parcel Profile Report for 0060617

Item A.



Parcel Profile Report for 0060618

Item A.

Real Estate Property & Tax Information

[Interactive Map](#)

This tax information was compiled on THURSDAY, MAY 4, 2023

[More Details](#)

Mailing Address: CLAYTON DEVELOPMENT GROUP LLC 2065 AMERICAN DR STE A NEENAH WI 54956	Owner(s): CLAYTON DEVELOPMENT GROUP LLC	Tax Parcel Number: 0060618
---	---	--------------------------------------

Tax District: 006-TOWN OF CLAYTON	Acres: 40.00
--	------------------------

School District: 3892-NEENAH JOINT SCHOOL DISTRICT	Interactive Map
--	---------------------------------

Assessed Values	More Assessment Details
-----------------	---

Land: \$6,000	Improvements: \$0	Total: \$6,000
-------------------------	-----------------------------	--------------------------

Site Address(es): NO SITE ADDRESS ASSIGNED	Document Number: 1900006
Easement(s) (if any): (For a complete legal description, see recorded document): SW NE 40.00 A.	

Public Land Survey System (PLSS) Information

[Interactive Map](#)

Physical Location(s): SW 1/4, NE 1/4 of Section 24, T.20N. - R.16E., TOWN OF CLAYTON
--

General Zoning Information

District: A-2	Description: GENERAL AGRICULTURE DISTRICT	Jurisdiction: TOWN OF CLAYTON	Interactive Map
Extraterritorial: VILLAGE OF FOX CROSSING	Shoreland: NONE	Interactive Map	

Navigable Stream and Surface Water Drainage Information

[Interactive Map](#)

Classification: NON-NAVIGABLE - INTERMITTENT (CHECKED)	Source: USGS QUAD MAP	Type: INTERMITTENT	Surface Water Drainage Dist: NONE
--	---------------------------------	------------------------------	---

Airport Zoning and Height Limitation Information

[Interactive Map](#)

Airport: NONE	District(s):	Elevation Range: 846 - 868	Height Limitation(s): NONE	Building Height:
-------------------------	--------------	--------------------------------------	--------------------------------------	------------------

County Floodplain and FEMA Special Flood Hazard Area (SFHA) Information

[Interactive Map](#)

County District: NONE	SFHA Zone: ZONE X	SFHA Zone Type: OUTSIDE FLOODPLAIN	FIRM Panel: 55139C0100E	Map Effective Date: MARCH 17, 2003
Letter of Map Change (LOMC) Type:	Documents:	Effective Date:		

Wisconsin Wetland Inventory Information

[Interactive Map](#)

Area Code: NONE	Area Description:	Source:
---------------------------	-------------------	---------



Parcel Profile Report for 0060618

Item A.



Parcel Profile Report for 0060618

Item A.

Future Land Use Planning Information

County Use:	Municipal Planning Authority:	Municipal Use:
NON-RESIDENTIAL	TOWN OF CLAYTON	BUSINESS (COMMERCIAL & INDUSTRIAL)
PUBLIC/INSTITUTIONAL	TOWN OF CLAYTON	TRANSPORTATION

Elevation Information (NAVD88, US Survey Feet)

[Interactive Map](#)

Range:	Elevation Change:	Average:
846 - 868	22	857

Soil Survey Information

[Interactive Map](#)

Symbol:	Name:	Drainage Class:	Farmland Class:	Hydrologic Group:
HrB	Hortonville silt loam, 2 to 6 percent slopes	Well drained	II	C
KnB	Kewaunee silt loam, 2 to 6 percent slopes	Well drained	II	C
MaA	Manawa silty clay loam, 0 to 3 percent slopes	Somewhat poorly drained	II	D

Election Information

Type:	District:	Voting Ward:
WINNEBAGO COUNTY BOARD OF SUPERVISORS	29	2
Supervisor:	Polling Place:	
RACHEL A. YOUNGQUIST	CLAYTON MUNICIPAL BUILDING 8348 COUNTY RD. T	

2010 United States Census Bureau Information

State and County FIPS code(s):	Tract:	Block:	Total Population:
55 139	002300	2019	59

Historical Photography Information

Flight Year:	File Name:
1941	AIW-2B-6-41.tif
1957	AIW-1T-85-57.tif
1975	2016-75.tif
1981	I-3-81.tif

Special Casing Area Requirements for Arsenic Information

[Casing Map](#)

Special well casing depth area for Winnebago County - effective October 1, 2004	More Details
--	------------------------------



Parcel Profile Report for 0060618

Item A.



Parcel Profile Report for 0060632

Item A.

Real Estate Property & Tax Information

[Interactive Map](#)

This tax information was compiled on THURSDAY, MAY 4, 2023

[More Details](#)

Mailing Address: CLAYTON DEVELOPMENT GROUP LLC 2065 AMERICAN DR STE A NEENAH WI 54956	Owner(s): CLAYTON DEVELOPMENT GROUP LLC	Tax Parcel Number: 0060632
Tax District: 006-TOWN OF CLAYTON	Acres: 20.00	
School District: 3892-NEENAH JOINT SCHOOL DISTRICT	Interactive Map	
Assessed Values	More Assessment Details	
Land: \$4,000	Improvements: \$0	Total: \$4,000
Site Address(es): NO SITE ADDRESS ASSIGNED	Document Number: 1900006	
Estate Property Description (for legal description, see recorded document): N1/2 NW SE 20.00 A.		

Public Land Survey System (PLSS) Information

[Interactive Map](#)

Physical Location(s): NW 1/4, SE 1/4 of Section 24, T.20N. - R.16E., TOWN OF CLAYTON
--

General Zoning Information

District:	Description:	Jurisdiction:	Interactive Map
A-2	GENERAL AGRICULTURE DISTRICT	TOWN OF CLAYTON	
Extraterritorial:	Shoreland:		Interactive Map
VILLAGE OF FOX CROSSING	NONE		

Navigable Stream and Surface Water Drainage Information

[Interactive Map](#)

Classification:	Source:	Type:	Surface Water Drainage Dist:
NONE			NONE

Airport Zoning and Height Limitation Information

[Interactive Map](#)

Airport:	District(s):	Elevation Range:	Height Limitation(s):	Building Height:
NONE		844 - 874	NONE	

County Floodplain and FEMA Special Flood Hazard Area (SFHA) Information

[Interactive Map](#)

County District:	SFHA Zone:	SFHA Zone Type:	FIRM Panel:	Map Effective Date:
NONE	ZONE X	OUTSIDE FLOODPLAIN	55139C0100E	MARCH 17, 2003
Letter of Map Change (LOMC) Type:	Documents:		Effective Date:	

Wisconsin Wetland Inventory Information

[Interactive Map](#)

Area Code:	Area Description:	Source:
NONE		



Parcel Profile Report for 0060632

Item A.



Parcel Profile Report for 0060632

Item A.

Future Land Use Planning Information

County Use:	Municipal Planning Authority:	Municipal Use:
PUBLIC/INSTITUTIONAL	TOWN OF CLAYTON	TRANSPORTATION
RESIDENTIAL	TOWN OF CLAYTON	RESIDENTIAL - SINGLE AND TWO FAMILY

Elevation Information (NAVD88, US Survey Feet)

[Interactive Map](#)

Range:	Elevation Change:	Average:
844 - 874	30	859

Soil Survey Information

[Interactive Map](#)

Symbol:	Name:	Drainage Class:	Farmland Class:	Hydrologic Group:
HrB	Hortonville silt loam, 2 to 6 percent slopes	Well drained	II	C
KnB	Kewaunee silt loam, 2 to 6 percent slopes	Well drained	II	C
MaA	Manawa silty clay loam, 0 to 3 percent slopes	Somewhat poorly drained	II	D

Election Information

Type:	District:	Voting Ward:
WINNEBAGO COUNTY BOARD OF SUPERVISORS	29	2
Supervisor:	Polling Place:	
RACHEL A. YOUNGQUIST	CLAYTON MUNICIPAL BUILDING 8348 COUNTY RD. T	

2010 United States Census Bureau Information

State and County FIPS code(s):	Tract:	Block:	Total Population:
55 139	002300	2019	59

Historical Photography Information

Flight Year:	File Name:
1941	AIW-2B-7-41.tif
1957	AIW-1T-85-57.tif
1975	2016-75.tif
1981	I-3-81.tif

Special Casing Area Requirements for Arsenic Information

[Casing Map](#)

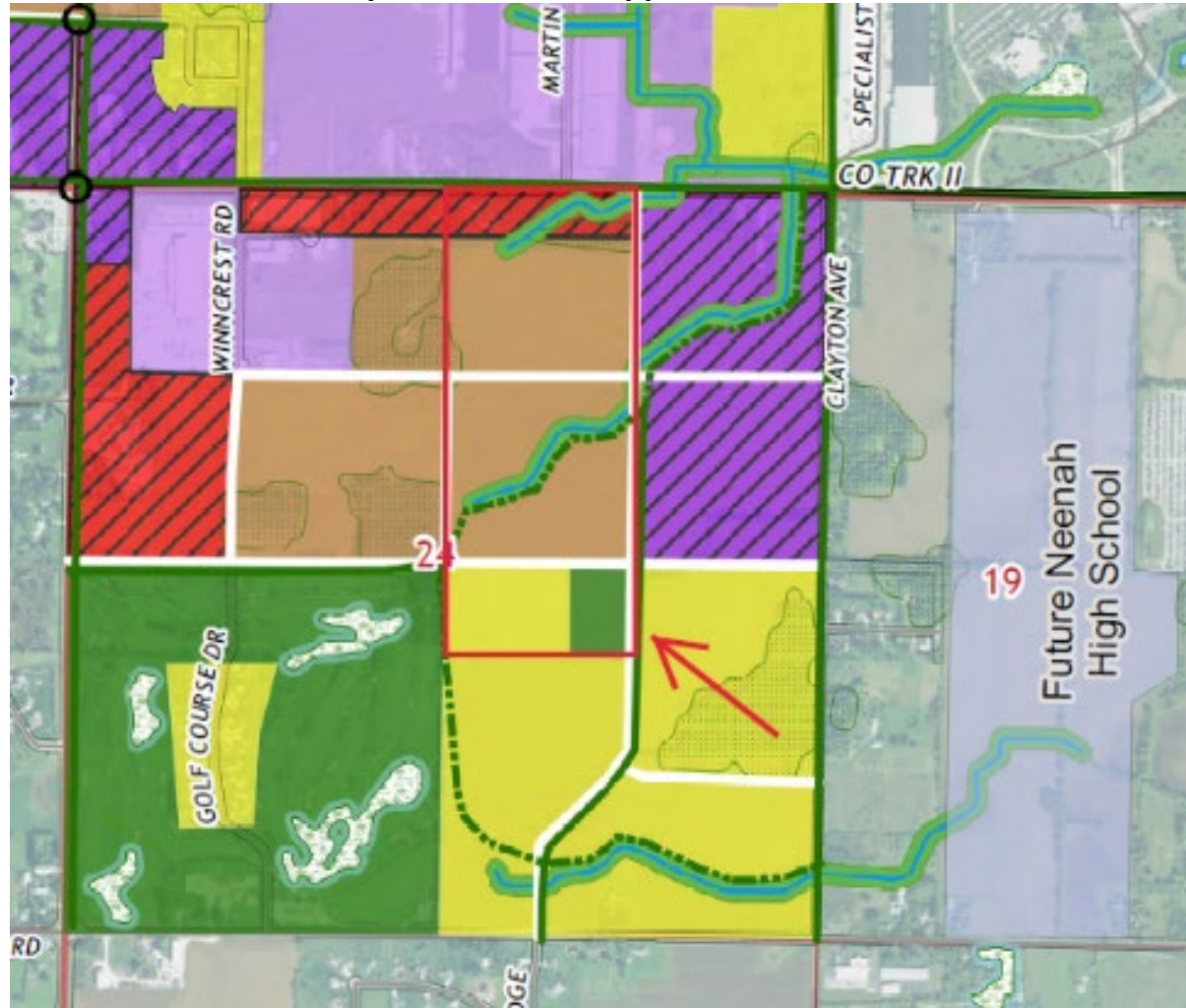
Special well casing depth area for Winnebago County - effective October 1, 2004	More Details
--	------------------------------



Parcel Profile Report for 0060632

Item A.





Town of Clayton
Hwys 10/76
Corridor Land Use
Master Plan (2040)
Winnebago County, Wisconsin

Legend

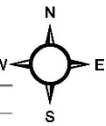
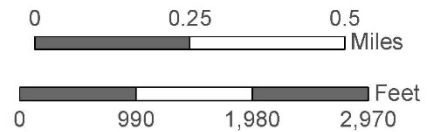
- Section
- Future Roads
- Existing Trails
- Railroad
- Woodland
- DNR Wetland
- Water Features
- Conservation/Drainage Way

- Proposed Land Use Districts**
- Single & Two Family Residential
 - Medium or High Intensity Residential
 - Clayton Business Park
 - Gateway Commercial & Retail
 - Neighborhood Center Mixed Use
 - Light Industrial, Warehousing, and Distribution
 - Utilities & Public Facilities
 - Recreation & Conservation
 - Current Non-Metallic Mine
 - Proposed Regional Stormwater Facilities
 - Intersection Safety Improvements

- Future Trails**
- Off-Road
 - On-Road
- Outagamie County Airport**
- Zoning Class**
- Zone 1
 - Zone 2A
 - Zone 2B
 - Zone 3
- Airport Buffer**
- 5,000 ft. Buffer
 - 10,000 ft. Buffer

ROAD CLASSIFICATION

- | | |
|------------------|-----------------|
| Expressway | Local Connector |
| Secondary Hwy | Local Road |
| Ramp | 4WD |
| Interstate Route | US Route |
| | State Route |



MEMORANDUM

Business Item B

From: Administrator/Staff
 To: Plan Commission
 Re: Plan Commission review & recommendation on a Certified Survey Map (CSM) Review Application submitted by CRL Surveying, LLC, on behalf of Kenneth Christian for approval of a CSM dividing Tax ID #006-0187-01 (4757 N Loop Rd) into two (2) lots.

Please find the below notes from Code Administrator Kussow:

After review of the attached CSM dividing PIN 006-0187-01 (4757 N Loop Rd) into two (2) lots, I have the following comments:

1. The subject property is located in the Rural Residential (R-1) District.
2. The subject property does not contain any shorelands, floodplain, or mapped wetlands.
3. The subject property is not subject to Winnebago County zoning jurisdiction.
4. The subject property is not subject to Airport Zoning.
5. The subject property is not located in a sanitary district or sewer service area (SSA).
6. The minimum lot requirements for the R-1 District are as follows:
 - a. Minimum Lot Size: 43,000 sq. ft.
 - b. Minimum Lot Width: 200 ft.
 - c. Minimum Road Frontage: 33 ft. for single-family residential use or 200 ft. for nonresidential use.

The proposed lots comply with all applicable requirements of the R-1 District.

7. A new driveway may be allowed for access to Lot 2 per the Town Access Control Ordinance.
8. The CSM complies with all requirements of the Town Subdivision Ordinance, except the “right to farm” notice is not included on the CSM.

It is Staff’s opinion that the CSM may be approved, subject to the following condition:

1. The following “right to farm” notice shall be added to the CSM prior to final approval and recording of the CSM: *“The lot(s) created in this certified survey map are adjacent to property that, as of the date of this document, are being used for agricultural purposes. Some individuals believe that the activities associated with the agricultural use constitute a nuisance or conflict with their quiet enjoyment of their property. This statement is intended to provide third parties with notice that agricultural activities may exist on the adjacent property.”*

Suggested Motion:

A motion to recommend conditional approval of the CSM with the “right to farm” language to be added per Staff’s recommendation.

Respectfully Submitted,
 Kelsey

Town of Clayton

Item B.

CERTIFIED SURVEY MAP REVIEW APPLICATION

Mail: 8348 CTR "T" - Larsen, WI 54947
Phone - 920-836-2007 Fax - 920-836-2026

Email - administrator@townofclayton.net Web Page - www.townofclayton.net

Property Owner (s): Kenneth Cristian
Address/Zip: 4757 Northloop Rd
Phone: 920-944-5120 Fax: _____ E-Mail: _____

Applicant: CRL Surveying LLC (Craig Loey)
Check: Architect _____ Engineer _____ Surveyor Attorney _____ Agent _____ Owner _____

Address/City/Zip: W2241 Manley Rd, Hortonville, WI 54944
Phone: 920-422-2879 Fax: _____ E-Mail: _____

Describe the reason for the Certified Survey Map: split lot off for daughter

Survey Specifics:

No. of Lots: 2 Total Acreage: 4.56 Tax Key No.: 006018701

Legal Description: lot 2 CSM 6204
Zoning: RR

Surveyor: Craig Loey Registration No.: 2940

Address/City/Zip: W2241 Manley Rd, Hortonville, WI 54944

Phone: 920-422-2879 Fax: _____ E-Mail: 6B3632@aol.com

I certify that the attached drawings are to the best of my knowledge complete and drawn in accordance with all Town of Clayton codes

Applicant Signature: _____

Date: _____

For Town Use Only (See Fee Schedule)

Review Fee: 350- Map Deposit Fee*: 250 Check #: 3401 Date: 3/29/23

*Map Deposit fee is fully refundable if a recorded copy of the approved document is submitted to the Town within 90 days of the Town Board approval.

Received of: _____ Refund to: _____

Date Rec'd Complete: _____ By: _____

Review Meetings - Plan Comm _____ Town Board _____

C.S.M. is: Approved _____ Approved with Condition _____ Denied _____

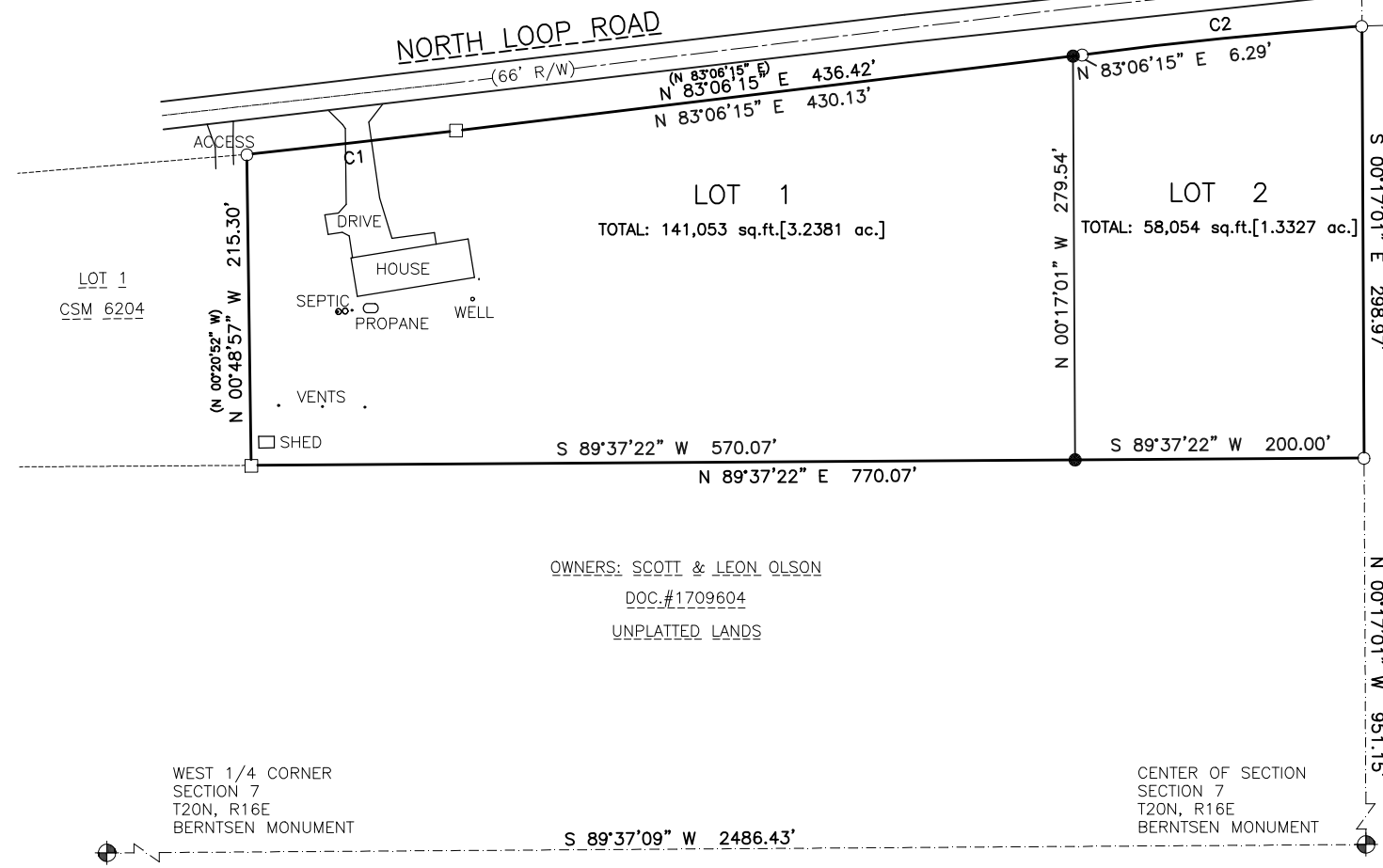
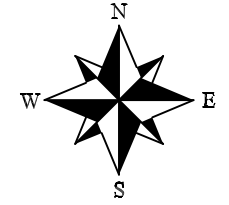
Recorded Document Submittal Deadline (90 days from TB Approval): _____

Notes: 1. Please notify utility companies regarding your proposed development. 2. CSM approval does not constitute approval of a building permit or any required approval of a highway connection permit. 3. CSM & Fee must be submitted 20 working days prior to meeting.

CERTIFIED SURVEY MAP NO.

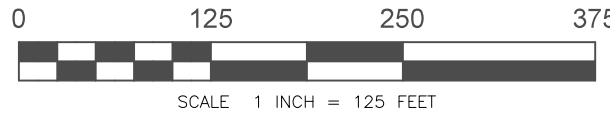
ALL OF LOT 2 OF CERTIFIED SURVEY MAP 6204 BEING PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 7, TOWNSHIP 20 NORTH, RANGE 16 EAST, TOWN OF CLAYTON, WINNEBAGO COUNTY, WISCONSIN.

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	9435.19'	145.64'	145.64'	N 83°32'47" E	0°53'04"
C2	3187.68'	194.72'	194.69'	N 84°06'12" E	3°30'00"



OWNERS: SCOTT & LEON OLSON
DOC.#1709604
UNPLATTED LANDS

- LEGEND**
- ⊕ SECTION CORNER
 - 3/4" REBAR FOUND
 - 1" IRON PIPE FOUND
 - 1" x 24" IRON PIPE SET WEIGHING 1.13 LBS./LIN. FT.
 - () RECORDED AS



NORTH IS REFERENCED TO THE SOUTH LINE OF THE NORTHWEST 1/4 OF SECTION 7, TOWNSHIP 20 NORTH, RANGE 16 EAST, TOWN OF CLAYTON, WINNEBAGO COUNTY, WISCONSIN WHICH BEARS S 89°37'09" W PER THE WINNEBAGO COUNTY COORDINATE SYSTEM.



CERTIFIED SURVEY MAP NO. _____

ALL OF LOT 2 OF CERTIFIED SURVEY MAP 6204 BEING PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 7, TOWNSHIP 20 NORTH, RANGE 16 EAST, TOWN OF CLAYTON, WINNEBAGO COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

I, CRAIG LOCY, PROFESSIONAL WISCONSIN LAND SURVEYOR, CERTIFY THAT I HAVE SURVEYED, DIVIDED AND MAPPED AT THE DIRECTION OF KENNETH CHRISTIAN, ALL OF LOT 2 OF CERTIFIED SURVEY MAP 6204 BEING PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 7, TOWNSHIP 20 NORTH, RANGE 16 EAST, TOWN OF CLAYTON, WINNEBAGO COUNTY, WISCONSIN MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER OF SECTION 7, TOWNSHIP 20 NORTH, RANGE 16 EAST; THENCE ALONG THE EAST LINE OF THE NORTHWEST 1/4 OF SAID SECTION 7, NORTH 00 DEGREES 17 MINUTES 01 SECONDS WEST, 951.15 FEET TO THE POINT OF BEGINNING; THENCE WEST ALONG THE SOUTH LINE OF LOT 2 OF CERTIFIED SURVEY MAP 6204 RECORDED IN THE OFFICE OF THE WINNEBAGO COUNTY REGISTER OF DEEDS AS DOCUMENT NUMBER 1458415, SOUTH 89 DEGREES 37 MINUTES 22 SECONDS WEST, 770.07 FEET; THENCE NORTH ALONG THE WEST LINE OF LOT 2 OF SAID CERTIFIED SURVEY MAP 6204, NORTH 00 DEGREES 48 MINUTES 57 SECONDS WEST, 215.30 FEET; THENCE EAST ALONG A CURVE OF THE SOUTH RIGHT OF WAY OF NORTH LOOP ROAD ON AN ARC OF 145.64 FEET, WITH A RADIUS OF 9435.19 FEET, AND A CHORD LENGTH OF 145.64 FEET AND A BEARING OF NORTH 83 DEGREES 32 MINUTES 47 SECONDS EAST; THENCE CONTINUING ALONG THE RIGHT OF WAY OF NORTH LOOP ROAD, NORTH 83 DEGREES 06 MINUTES 15 SECONDS EAST, 436.42 FEET; THENCE CONTINUING ALONG A CURVE OF THE SOUTH RIGHT OF WAY OF NORTH LOOP ROAD ON AN ARC OF 194.72 FEET, WITH A RADIUS OF 3187.68 FEET, AND A CHORD LENGTH OF 194.69 FEET AND A BEARING OF NORTH 84 DEGREES 06 MINUTES 12 SECONDS EAST; THENCE SOUTH ALONG THE EAST LINE OF THE NORTHWEST 1/4, SOUTH 00 DEGREES 17 MINUTES 01 SECONDS EAST, 298.97 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 199,107 SQUARE FEET [4.5709 ACRES]. SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

I FURTHER CERTIFY THAT THE WITHIN MAP IS A TRUE AND CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LANDS SURVEYED AND THE DIVISION OF THE LAND AND THAT I HAVE FULLY COMPLIED WITH 236.34 OF WISCONSIN STATE STATUTES AND THE WINNEBAGO COUNTY AND TOWN OF CLAYTON SUBDIVISION AND PLATTING REGISTRATIONS IN SURVEYING AND MAPPING OF THE SAME.

DATED THE 16th DAY OF FEBRUARY, 2023.

 CRAIG LOCY #2940
 CRL SURVEYING, LLC.
 N2241 MANLEY ROAD
 HORTONVILLE, WI 54944

NOTES:

1. THIS CSM IS ALL OF TAX PARCEL NUMBER'S: 006018701.
2. THE PROPERTY OWNER'S OF RECORD IS: CAROLINE AND KENNETH CHRISTIAN.
3. THIS CSM IS WHOLLY CONTAINED WITHIN THE PROPERTY DESCRIBED IN THE FOLLOWING RECORDED INSTRUMENT: DOCUMENT NUMBER 1489935.
4. ALL BUILDING SETBACKS AND OTHER LAND USE REQUIREMENTS SHOULD BE VERIFIED BY THE TOWN OF CLAYTON AND THE WINNEBAGO COUNTY PLANNING AND ZONING DEPARTMENT PRIOR TO ANY CONSTRUCTION OR OTHER LAND USE ACTIVITY.
5. SITE ADDRESS: 4757 NORTH LOOP ROAD



920. 422. 2829

CERTIFIED SURVEY MAP NO. _____

ALL OF LOT 2 OF CERTIFIED SURVEY MAP 6204 BEING PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 7, TOWNSHIP 20 NORTH, RANGE 16 EAST, TOWN OF CLAYTON, WINNEBAGO COUNTY, WISCONSIN.

TOWN BOARD APPROVAL:

THIS CERTIFIED SURVEY MAP WAS APPROVED BY THE TOWN OF CLAYTON BOARD OF SUPERVISORS ON THIS THE _____ DAY OF _____, 2023.

TOWN CHAIRPERSON DATE

TOWN CLERK DATE

TOWN TREASURERS CERTIFICATE:

I, BEING DULY APPOINTED, QUALIFIED AND ACTING TREASURER OF THE TOWN OF CLAYTON, DO HEREBY CERTIFY THAT THE RECORDS IN MY OFFICE SHOW NO UNREDEEMED TAX SALES AND NO UNPAID TAXES OR

SPECIAL ASSESSMENTS AS OF THIS THE _____ DAY OF _____, 2023, AFFECTING THE LANDS INCLUDED IN THIS CERTIFIED SURVEY MAP.

TOWN TREASURER DATE

WINNEBAGO COUNTY PLANNING AND ZONING COMMITTEE CERTIFICATE:

PURSUANT TO THE LAND SUBDIVISION REGULATIONS OF THE COUNTY OF WINNEBAGO, WISCONSIN, ALL THE REQUIREMENTS FOR APPROVAL HAVE BEEN FULFILLED. THIS MINOR SUBDIVISION WAS APPROVED BY THE

WINNEBAGO COUNTY PLANNING AND ZONING COMMITTEE ON THIS THE _____ DAY OF _____, 2023.

CHAIRMAN, PLANNING AND ZONING COMMITTEE

WINNEBAGO COUNTY TREASURERS CERTIFICATE:

I, BEING DULY ELECTED, QUALIFIED AND ACTING TREASURER OF THE COUNTY OF WINNEBAGO, DO HEREBY CERTIFY THAT THE RECORDS IN MY OFFICE SHOW NO UNREDEEMED TAX SALES AND NO UNPAID TAXES OR SPECIAL

ASSESSMENTS AS OF THIS THE _____ DAY OF _____, 2023, AFFECTING THE LANDS INCLUDED IN THIS CERTIFIED SURVEY MAP.

COUNTY TREASURER DATE



CERTIFIED SURVEY MAP NO. _____

ALL OF LOT 2 OF CERTIFIED SURVEY MAP 6204 BEING PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 7, TOWNSHIP 20 NORTH, RANGE 16 EAST, TOWN OF CLAYTON, WINNEBAGO COUNTY, WISCONSIN.

OWNER'S CERTIFICATE:

AS OWNERS, WE HEREBY CERTIFY THAT WE CAUSED THE LAND ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED, AND MAPPED AS REPRESENTED ON THIS MAP. WE ALSO CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION: WINNEBAGO COUNTY AND THE TOWN OF CLAYTON, WI.

CAROLINE CHRISTIAN

KENNETH CHRISTIAN

STATE OF WISCONSIN)
SS
WINNEBAGO COUNTY)

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2023 THE ABOVE NAMED PERSONS KNOWN TO ME TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGE THE SAME.

NOTARY PUBLIC

MY COMMISSION EXPIRES _____



Business Item C

From: Administrator/Staff
 To: Plan Commission
 Re: Plan Commission review & discussion on a Concept Plan Review Application submitted by Jeffrey Houts for a proposed personal storage facility/storage buildings condominium development on Tax ID #006-0895-07 (7568 Black Top Way).

Please see the below comments from Code Administrator Kussow:

Property Information Specific to Tax ID # 006-0895-07:

1. Specific Site Location: The subject parcel is located on the property addressed 7568 Black Top Way, adjacent to the east of the existing “Man Caves” development.
2. Parcel Profile Report is enclosed with this memo for your reference. Additional applicable property information not included in the Parcel Profile Report is described below:
 - a. The subject property is located in the Town’s General Agriculture (A-2) District.
 - b. The subject property is not located in any sanitary district or sewer service area.
 - c. No portion of the subject parcel area is located in the shorelands or floodplain and therefore, the subject property is not subject to County zoning jurisdiction.
 - d. A wetland delineation was completed in 2017 which identified one (1) 664 sq. ft. wetland in the southeast corner of the subject property, southeast of the existing stormwater pond.
 - e. No portion of the subject property is located in Outagamie County Airport Zoning or an Airport Height Limitation Zone.
 - f. The Town’s Comprehensive Plan/Future Land Use Plan classifies this parcel as being in the “Business/Light Industrial/Planned Unit Development” future land use category/designation.
 - g. The PRELIMINARY/DRAFT Future Land Use Map of the updated 2023 Comprehensive Plan identifies this parcel as being in the “Light Industrial, Warehousing, and Distribution” future land use category/designation. This preliminary/draft Future Land Use Map has not yet been adopted by the Town.
 - h. The proposed “personal storage facility” development/land use is a Conditional Use in the subject property’s A-2 District. Therefore, the proposed development may be allowed with a Conditional Use Permit.
3. Zoning of Surrounding Properties:
 - a. North: A-2 (General Agriculture District)
 - b. South: B-2 (Community Business District)
 - c. East: A-2 (General Agricultural District)
 - d. West: I-1 (Light Industrial District)

Application Details:

Jeffrey Houts is proposing a personal storage facility/storage buildings condominium development on Tax ID #006-0895-07 (7568 Black Top Way). The proposed development would be classified as a “Personal Storage Facility” land use which is a Conditional Use in the subject property’s A-2 District. Per the Town Zoning Code the following permits/approvals are required for this development:

- Conditional Use Permit
- Site Plan Review
- Zoning Permit(s)

Per the submitted plans, a total of 48 private storage units/buildings are proposed, consisting of 32 – 40’ x 40’ buildings and 16 – 44’ x 80’ buildings.

Special Standards for Principal Land Uses:

Special standards for the “personal storage facility land use are found in Sec. 9.08-418, as described below:

- (a) Minimum lot area. The lot on which a personal storage facility is located shall be at least one acre in size.
- (b) Access. The access to a cubicle shall not open directly onto a public road right-of-way.
- (c) Surfacing of travelways. Driveways, interior aisles, and walkways shall be concrete or asphaltic concrete, except as may be allowed in this subsection. Consistent with the procedures and requirements of Article 7 of this chapter, the Plan Commission may allow gravel surfaces as a special exception and require, as a condition of approval, additional buffer yard and landscaping requirements deemed necessary to provide adequate screening between this use and adjoining properties.
- (d) Storage of prohibited substances. No cubicle shall be used to store explosives, toxic substances, hazardous materials, or radioactive materials.
- (e) Uses. Only uses that are accessory to storage shall occur. No portion of the site shall be used for fabrication, repair, or any similar use or for human habitation.
- (f) Design. The personal storage facility shall be designed so as to minimize adverse visual impacts on nearby properties. The color, exterior materials, and orientation of proposed buildings and structures shall complement existing and anticipated development in the surrounding area. A personal storage facility in a commercial zoning district shall meet the special architectural requirements in division 8 of this article.
- (g) Fencing of outdoor storage area. An area used for outdoor storage of operational vehicles, watercraft, and the like shall be enclosed by a security fence.
- (h) Setback of outdoor storage area. Outdoor storage areas shall comply with the building setback standards for the zoning district in which the use is located.

Special Site Design Principles and Architectural Standards

The development will need to comply with the following code sections associated with Site Plan Review:

- Article 8, Division 8, Special Site Design Principles and Architectural Standards
- Attachment B, Horizontal Site Design Standards
- Attachment C, Architectural Design Standards
- Attachment D, Architectural and Landscape Design Zones (“Tier 1” per Attachment D)
- Attachment E, Landscape Design Standards
- Attachment F, Environmental and Energy Efficiency (E3) Guidelines

Final, detailed plans will be required to determine/confirm compliance with Site Plan Review Requirements.

Upon initial review, the exterior building materials will not comply with the Architectural Design Standards for properties in the Tier 1 architectural design zone, which requires 75% or more of all exterior wall surfaces to be covered with the following identified “acceptable exterior building materials:

- Clay or masonry brick
- Natural or manufactured stone
- Decorative concrete masonry (sealed) with color consistent with design theme.
- Poured-in-place, tilt-up, or precast architectural concrete (shall have stone, texture, or coating appearance consistent with design theme)
- Glass curtain walls (Note: Glass windows and doors are not considered glass curtain walls)
- Other materials as approved by the Town Board.

Attachment C also states:

- In those areas deemed to be of limited exposure to the general public, percentages may be decreased so long as the intent of this provision is maintained. Additional limitation to public view may be achieved by building location, orientation, additional landscaping or additional screening.
- For those uses that require the location of exposed overhead or coiling doors, and not allow for the aggregate percentages to be achieved, acceptable building materials may be decreased to accommodate their necessity for the building use, so long as the intent of this provision is maintained. The Town Board has the authority to approve additional landscaping, acceptable material in other areas, screening, environmental and energy efficiency provisions, a reduction in the number of doors and building location within the parcel to maintain the aesthetic value of the area and maintain the intent of this provision.

Comprehensive Plan Considerations:

- The Town’s Comprehensive Plan/Future Land Use Plan classifies this parcel as being in the “Business/Light Industrial/Planned Unit Development” future land use category/designation.

The proposed development appears to be consistent with the “Business/Light Industrial/Planned Unit Development” future land use category/designation.

Plan Commission/Town Board Direction:

No formal recommendation or decision is needed for this application. The purpose of this application is for the Plan Commission and Town Board to preliminarily review a development, identify concerns/issues, and provide direction or recommendations to the applicant.

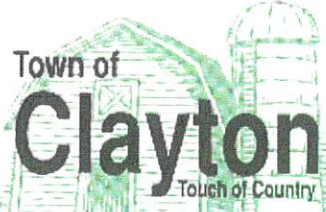
Specific items to consider and discuss with the applicant are:**1. Architectural Design Standards (Attachment C):**

- The subject property is in the “Tier 1” architectural design zone per Attachment D, Architectural and Landscape Design Zones.
- Attachment C requires “Acceptable Exterior Building Materials” to cover 75% or more of all exterior wall surfaces:
- “Acceptable exterior building materials” listed in Section A. (1) (d) include the following:
 - Clay or masonry brick
 - Natural or manufactured stone
 - Decorative concrete masonry (sealed) with color consistent with design theme.
 - Poured-in-place, tilt-up, or precast architectural concrete (shall have stone, texture, or coating appearance consistent with design theme)
 - Glass curtain walls (Note: Glass windows and doors are not considered glass curtain walls)
 - Other materials as approved by the Town Board.
- Attachment C also states:
 - In those areas deemed to be of limited exposure to the general public, percentages may be decreased so long as the intent of this provision is maintained. Additional limitation to public view may be achieved by building location, orientation, additional landscaping or additional screening.
 - For those uses that require the location of exposed overhead or coiling doors, and not allow for the aggregate percentages to be achieved, acceptable building materials may be decreased to accommodate their necessity for the building use, so long as the intent of this provision is maintained. The Town Board has the authority to approve additional landscaping, acceptable material in other areas, screening, environmental and energy efficiency provisions, a reduction in the number of doors and building location within the parcel to maintain the aesthetic value of the area and maintain the intent of this provision.

2. Landscape Design Standards (Attachment E):

- The subject property is in the “Tier 1” architectural design zone per Attachment D, Architectural and Landscape Design Zones.
- Buffer yard landscaping is required along the north lot line since the property adjacent to the north residential is designated in the Town Comprehensive Plan for future single and/or two-family residential purposes.
 - Since this is a commercial development, the buffer yard shall be a minimum of 20 ft. wide.
 - Landscaping materials within the buffer yard shall comply with Attachment E requirements.
- Parking lot landscaping, grounds landscaping, building landscaping, and ground sign landscaping in compliance with Attachment E will be required.

- 3. Vehicular Circulation/Emergency Services Consideration:** The Town should carefully review and consider vehicular connectivity between this development and the existing Man Caves development adjacent to the west for emergency services purposes.



Concept Plan Review Application
(Submit 15 copies of Drawings)

8348 County Road T, Larsen WI 54947
Phone - 920-836-2007 Fax - 920-836-2026

Email - clerk@townofclayton.net Web Page - www.townofclayton.net

Property Owner (s): Jeffrey Houts
 Address/Zip: 7568 Black Top Way
 Phone: 920-370-7640 Fax: — E-Mail: jhmotonit@gmail.com
 Applicant: Jeffrey Houts
 Check: Architect Engineer Surveyor Attorney Agent Owner
 Address/City/Zip: " " "
 Phone: " " " Fax: — E-Mail: " "
 Describe the reason for the Concept Plan: Storage Buildings (Condo)

Project/Survey Specifics:

Type: CSM Commercial Industrial Residential Other
 Total Acreage: 14 Tax Key No.: 006 089507
 Existing Zoning: _____ Proposed Zoning: _____

I certify that the attached drawings are to the best of my knowledge complete and drawn in accordance with all Town of Clayton codes.

Applicant Signature: Jeffrey Houts Date: 3-30-2023

For Town Use Only
Commercial/Industrial Fee (\$175 Base)

Residential Fee (\$275 (0-40 acres)) Fee: <u>8175.00</u> ^{ok} Acct No: <u>1528</u> Receipt: <u>9.144</u> Date: <u>3/30/23</u> Date Rec'vd Complete: <u>3/30/23</u> By: <u>KLU</u>	Residential Fee (\$525 (40 acres plus)) Date Rec'vd Complete: <u>3/30/23</u> By: <u>KLU</u> Applic. No.: _____ Review Meeting _____ History _____ Concept is: Approved _____ Approved with Condition _____ Denied _____ Comments: _____ _____ _____
--	---

Notes: Please notify utility companies regarding your proposed development. Concept approval does not constitute approval of a building permit or any required approval of a highway connection permit. Concept & Fee must be submitted 10 working days prior to meeting.

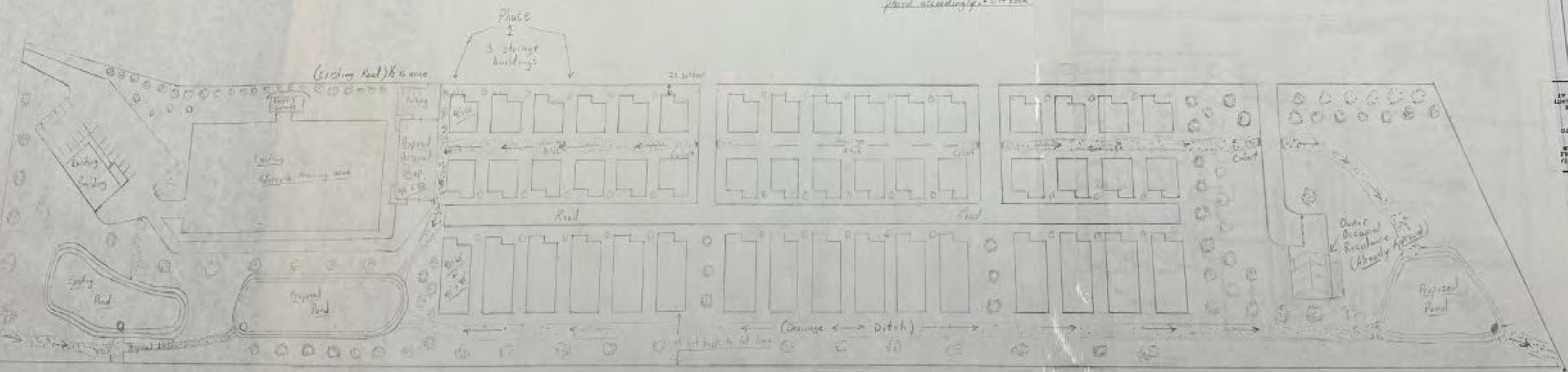
Proposed Storage Condos / Cousins Safety

7563 Shick Top Way
Nashua, NH 03056

Jeff Hunt (603) 878-9610

→ Driving Direction

Existing Rental Business will be
placed accordingly. * 5.14.2008



Item C.

STORAGE BUILDING MULTI-UNIT DEVELOPMENT BLACK TOP WAY NEENAH, WISCONSIN

Contact:

Jeff Hauts (920) 370-7640

OUTLINE SPECIFICATION

GENERAL CONDITIONS

THIS PLAN AND SPECIFICATION ARE INTENDED TO GIVE A DESCRIPTION OF THE WORK. HOWEVER, THE ALL CONTRACTORS SHALL VISIT THE SITE TO VERIFY EXISTING CONDITIONS AND ACCESS TO THE WORK AREA. THERE SHALL BE NO DEVIATIONS FROM THE PLANS AND SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. THE CONTRACTOR IS TO CLARIFY ANY DISCREPANCIES WITH THE OWNER PRIOR TO BEGINNING WORK.

THE CONTRACTOR SHALL FURNISH ALL LABOR MATERIAL (INCLUDING TAXES) AND EQUIPMENT AS NECESSARY TO COMPLETE THE WORK. THE BUILDING PERMIT SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR. ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS, INCLUDING THE REQUIREMENTS ANSI A117.1-2009 ARE HEREBY MADE A PART OF THESE SPECIFICATIONS AND SHALL BE COMPLIED WITH RELATIVE TO WORK UNDER THIS CONTRACT.

THE CONTRACTOR AND/OR OWNER SHALL PROVIDE MARKED ACCESSIBLE PARKING STALLS NO LESS THAN 8' WIDE (FOR CAR) AND 11' WIDE (FOR VAN) X 20' LONG WITH 6' WIDE MINIMUM ACCESS AISLES ON BOTH SIDES. SPACES SHALL BE MARKED WITH PAVEMENT MARKINGS AND A SIGN COMPLYING WITH ANSI A117.1-2009 SECTION 703.6.3.1. ACCESSIBLE ROUTE FROM THE MARKED STALL TO THE PRIMARY BUILDING ENTRANCE SHALL BE OF THE SHORTEST PRACTICAL ROUTE AND HAVE A SLOPE NO GREATER THAN 1:48. PROVIDE ACCESSIBLE STALLS AT A RATIO OF ONE STALL PER 25 STALLS. SEE IBC2015 CHAPTER 11 AND ANSI A117.1-2009 FOR COMPLETE INFORMATION.

CONTACT "DIGGER'S HOTLINE" PRIOR TO ANY EXCAVATION WORK.

REFERENCE TO MATERIALS OR SYSTEMS HEREIN BY NAME MAKE OR CATALOG NUMBER IS INTENDED TO ESTABLISH A STANDARD OF QUALITY AND STYLE, AND NOT TO LIMIT COMPETITION AND THE WORDS "OR APPROVED EQUIVALENT" ARE IMPLIED FOLLOWING EACH BRAND NAME, "OR APPROVED EQUIVALENT" MATERIALS SHALL BE APPROVED BY THE OWNER/DESIGNER PRIOR TO ACCEPTANCE FOR USE.

SHOP DRAWINGS FOR ALL STRUCTURAL ITEMS SHALL BE SUBMITTED TO THE DESIGNER FOR APPROVAL. SHOP DRAWINGS AND SAMPLES FOR FINISHES AND NON-STRUCTURAL ITEMS ARE TO BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO INSTALLATION. ALL SHOP DRAWINGS SHALL BE REVIEWED AND STAMPED BY THE CONTRACTOR PRIOR TO SUBMITTING FOR APPROVAL.

DESIGN LIVE LOADS:

GROUND SNOW LOAD	35 PSF
WIND LOAD	115 MPH
MAIN FLOOR LIVE LOAD	250 PSF

SITE WORK / EXCAVATION

WORK TO PREPARE THE AREA FOR NEW FOUNDATIONS, CONCRETE APRONS AND FLOORS. NO TOPSOIL IS TO BE LEFT UNDER PAVED AREAS, BUILDING AREAS, OR FUTURE BUILDING AREAS. TOPSOIL IS THE PROPERTY OF THE OWNER; THE DISPOSAL OF SURPLUS IS TO BE DETERMINED BY THE OWNER. ANY OTHER UNSUITABLE MATERIAL WILL BE TRUCKED OFF THE SITE TO A SUITABLE DISPOSAL AREA.

PROVIDE EXCAVATION AND TRENCHING AS REQUIRED FOR FOUNDATION WORK AS SHOWN ON THE PLANS. ANY REQUIRED CUTS OR SUBSOIL EXCAVATION WILL BE ACCOMPLISHED TO MAINTAIN FINISH ELEVATIONS SHOWN. IMPORTED FILL TO BE PLACED IN 6" LIFTS COMPACTED TO 95% PROCTOR. PROVIDE LAST LIFT OF GRANULAR MATERIAL FOR THE INTERIOR FLOOR.

FOUNDATION TRENCH OR PIPING TRENCH BACKFILL INSIDE OF BUILDING OR UNDER DRIVE AND WALK AREAS IS TO BE GRANULAR MATERIAL. INCLUDE ALL ROUGH GRADING OF SITE. ADJACENT PUBLIC ROAD SURFACES ARE TO BE KEPT FREE FROM TRACKED MUD AND DIRT.

CONCRETE

DESIGN AND CONSTRUCTION OF ALL CAST-IN-PLACE CONCRETE WORK SHALL CONFORM TO ACI 318 AND CRSI STANDARDS.

DESIGN MIXES SHALL BE IN ACCORDANCE WITH ASTM C94.

- 1) STRENGTH TO BE MINIMUM 3,500 PSI AT 28 DAYS FOR FOOTINGS AND WALLS.
- 2) STRENGTH TO BE MINIMUM 3,500 PSI AT 28 DAYS FOR SLABS ON GRADE.
- 3) STRENGTH TO BE MINIMUM 4,000 PSI AT 28 DAYS FOR COLUMNS, BEAMS AND STRUCTURAL SLABS.
- 4) SLUMP SHALL NOT EXCEED 4 INCHES.
- 5) ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED WITH 4-7% AIR CONTENT. NO ADMIXTURES SHALL BE USED WITHOUT APPROVAL OF THE DESIGNER.
- 6) MAXIMUM AGGREGATE SIZE FOR FOOTING TO BE 1 1/2"
- 7) MAXIMUM AGGREGATE SIZE FOR ALL OTHER WORK TO BE 3/4"

ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60. THICKNESS OF CONCRETE COVER OVER REINFORCEMENT SHALL BE NOT LESS THAN 3" WHERE CONCRETE IS DEPOSITED AGAINST THE GROUND WITHOUT THE USE OF FORMS AND NOT LESS THAN 1 1/2" IN ALL OTHER LOCATIONS. ALL REINFORCING SHALL BE LAPPED 36 DIAMETERS FOR UP TO #6 BARS, 60 DIAMETERS FOR #1 TO #10 BARS OR AS NOTED ON THE DRAWINGS AND EXTENDED AROUND CORNERS WITH CORNER BARS. PLACING AND DETAILING OF STEEL REINFORCING AND REINFORCING SUPPORTS SHALL BE IN ACCORDANCE WITH CRSI AND ACI MANUAL AND STANDARD PRACTICES. THE REINFORCEMENT SHALL NOT BE PAINTED AND MUST BE FREE OF GREASE/OIL, DIRT OR DEER RUST WHEN PLACED IN THE WORK. IF USED, ALL WELDED WIRE FABRIC SHALL MEET THE REQUIREMENT OF ASTM A185, AND SHALL BE PLACED IN CENTER OF SLAB UNLESS INDICATED OTHERWISE.

LUMBER

ROUGH LUMBER SHALL BE GRADED AND STAMPED WITH STRUCTURAL DESIGN VALUES. ALL OTHER LUMBER SPF CONSTRUCTION #2 OR BETTER. ALL WOOD BASE PLATES IN CONTACT WITH CONCRETE, MASONRY, GROUND OR EXPOSED TO THE WEATHER TO BE P.P.T. LUMBER (NON-ARSENIC).

CONFORM TO FASTENING SCHEDULE 2304.10.1 IN IBC2015

ENGINEERED WOOD TRUSSES

PROVIDE WOOD TRUSSES DESIGNED BY WISCONSIN LICENSED ENGINEER. INCLUDE STAMPED AND SEALED DRAWINGS LISTING ALL LOADINGS, AND TEMPORARY AND PERMANENT BRACING. PER IBC 2015 2303.4.1.2 THE BRACING OF WOOD TRUSSES SHALL COMPLY TO THEIR APPROPRIATE ENGINEERED DESIGN. PER IBC 2015 2303.4.6, ALSO CONFORM TO IBC SECTIONS 2302.4.1, AND 2303.4.5; VERIFY THAT THE DESIGN, MANUFACTURE AND QUALITY ASSURANCE OF METAL-PLATE-CONNECTED WOOD TRUSSES SHALL BE IN ACCORDANCE WITH TPI-1.

SIDING

PROVIDE PRE-FINISHED RIBBED METAL PANEL AS SPECIFIED IN CONTRACT WITH OWNER; AS SUPPLIED BY 'FABRALL', 'McELROY', 'CENTRAL STATES', OR EQUAL. PROVIDE ALL APPROPRIATE TRIMS AND ACCESSORIES.

ROOFING

PROVIDE PRE-FINISHED RIBBED METAL PANEL AS SPECIFIED IN CONTRACT WITH OWNER; AS SUPPLIED BY 'FABRALL', 'McELROY', 'CENTRAL STATES', OR EQUAL. PROVIDE ALL APPROPRIATE TRIMS AND ACCESSORIES. APPLY COMPATIBLE FLASHING AT CURBS, VENTS, PIPES, AND DRAINS, ETC., AS PER MANUFACTURER. DO NOT USE ASPHALTIC COMPOUNDS.

SEALANTS

CAULK AROUND ALL DOORS, VENT OPENINGS, WHERE DIFFERENT MATERIALS MEET, ROOF OPENINGS, EAVES, SOFFITS, JOINTS, AROUND PLUMBING FIXTURES, COUNTERTOPS, DOORFRAMES, ETC. AND AS REQUIRED FOR A WATERTIGHT CONNECTION. PROVIDE CAULK PER MANUFACTURERS RECOMMENDATIONS. CAULK TO BE INSTALLED AFTER FINISH IS APPLIED TO SURFACES PER MANUFACTURER.

DOORS AND FRAMES

FURNISH AND INSTALL ALL DOOR ASSEMBLIES AS INDICATED ON THE PLANS ALONG WITH ALL HARDWARE INDICATED AND THAT MAY BE REQUIRED FOR A COMPLETE JOB. ALL DOORS SHALL OPERATE SMOOTHLY WITHOUT BINDING, AND BE INSTALLED PLUMB AND TRUE. ALL HARDWARE SHALL FIT PROPERLY AND BE ADJUSTED AS REQUIRED.

FINISH HARDWARE

ALL FINISH HARDWARE SHALL BE AS REQUIRED TO MEET REQUIREMENTS OF ANSI A117.1-2009.

PROVIDE HARDWARE AS EQUAL TO:
SCHLAGE AL SERIES LOCKSETS, SATURN LEVER
LCN CLOSERS

HAGER HINGES 1279 OR BBI279

HAGER WALL STOP

RESSE THRESHOLD S4LA (NO HIGHER THAN 1/2" WITH BEVELED EDGES AS PER ANSI A117.1-2009 SECTION 303.3)

REESE WEATHERSTRIP

REESE SWEEP

OVERHEAD DOORS

PROVIDE COMMERCIAL TYPE SECTIONAL OVERHEAD DOOR WITH ALL ATTACHMENTS, FITTINGS AND TRIM. FURNISH AND INSTALL COMMERCIAL TYPE OPERATOR WITH PUSH BUTTON CONTROL.

FLOOR FINISHES

EXPOSED CONCRETE FLOOR OR AS SELECTED BY OWNER.

HALL FINISHES

RIBBED METAL LINER PANEL, 29 GA, WITH ALL APPROPRIATE TRIMS. SCREW FASTEN AS PER MANUFACTURER'S INSTRUCTIONS. 3/4" OSB IN 4'X8' SHEETS. 1/2" GYPSUM BOARD INSIDE TOILET ROOM; COAT WITH SHERWIN-WILLIAMS PRO-INDUSTRIAL PRE-CATALYZED WATER BASED EPOXY PAINT AS AN ALTERNATIVE TO HARD SURFACE MATERIALS OTHERWISE REQUIRED WITHIN 24" OF TOILETS OR URINALS; INSTALL 4" VINYL BASE.

PAINTING

MOST FINISH MATERIALS ARE FACTORY FINISHED; TOUCH-UP AS NECESSARY. PRIME AND PAINT DOORS IF NOT FACTORY PRE-FINISHED.

FIRE EXTINGUISHERS

FURNISH AND INSTALL EXTINGUISHERS PER N.F.P.A. MOUNT FIRE EXTINGUISHER NO HIGHER THAN 48" ABOVE FINISH FLOORS UNLESS LOCAL REGULATIONS REQUIRE DIFFERENT HEIGHT. ALL FIRE EXTINGUISHERS AND CABINETS TO MEET THE REQUIREMENTS OF ANSI A117.1-2009.

PLUMBING WORK

ALL PLUMBING WORK SHALL BE PERFORMED BY A LICENSED MASTER PLUMBER IN ACCORDANCE WITH STATE AND LOCAL CODES. PLUMBING PLANS ARE NOT A PART OF THIS PLAN SET.

HEATING AND VENTILATION WORK

ALL HVAC WORK SHALL BE PERFORMED IN ACCORDANCE WITH STATE AND LOCAL CODES. SEPARATE PLANS SHALL BE SUBMITTED FOR REVIEW. HVAC PLANS ARE NOT A PART OF THIS PLAN SET.

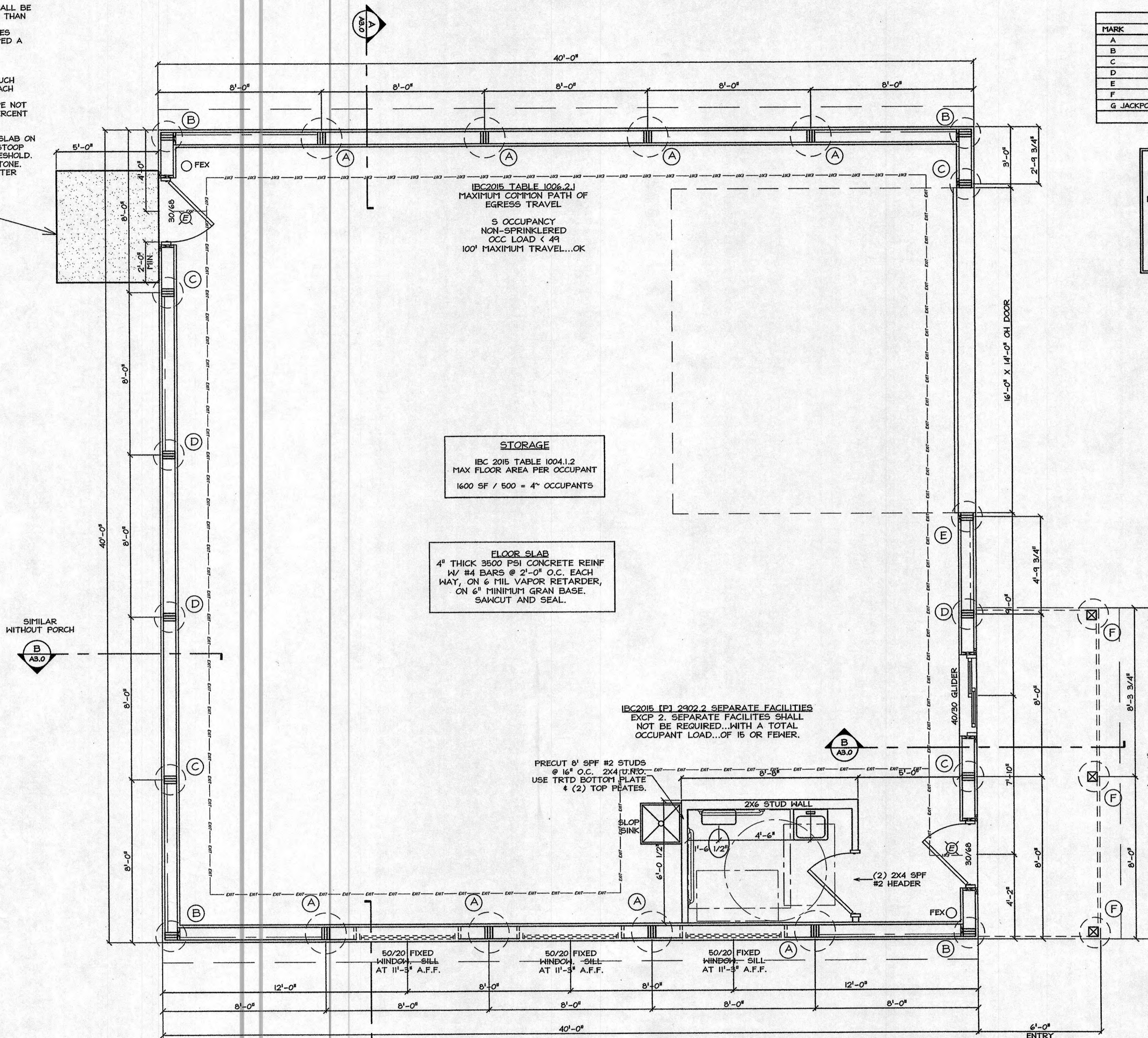
ELECTRICAL WORK

EXIT DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. PROVIDE TYPE WITH 90 MINUTE CONTINUED ILLUMINATION IN EVENT OF LINE POWER LOSS. CONFORM TO IBC1015 1006.4 - PROVIDE ONE (1) STAMPED, SIGNED AND SEALED PHOTOMETRIC CALCULATIONS FOR THE JOBSITE THAT DEMONSTRATE THAT THE PROPOSED EMERGENCY LIGHTING WILL PROVIDE AN INITIAL ILLUMINATION OF AT LEAST AN AVERAGE OF 1.0 FOOT-CANDLE, AND MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE. PHOTOMETRIC CALCULATIONS SHALL BE PROVIDED THAT DEMONSTRATE THE MAXIMUM TO MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40:1 IS NOT EXCEEDED. THE ELECTRICAL WORK IS NOT A PART OF THIS PLAN SET.

IBC2015 1604.4
 THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5 PERCENT FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF WALL. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING.

IBC2015 1010.5
 PROVIDE A FLOOR OR LANDING ON EACH SIDE OF A DOOR. SUCH FLOOR OR LANDING SHALL BE AT THE SAME ELEVATION ON EACH SIDE OF THE DOOR. LANDING SHALL BE LEVEL EXCEPT FOR EXTERIOR LANDINGS, WHICH ARE PERMITTED TO HAVE A SLOPE NOT TO EXCEED .25 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT SLOPE).

PROVIDE MINIMUM 5'-0" X 5'-6" X 5" THICK EXTERIOR STOOP SLAB ON 2" RIGID INSUL (R-10) EXTENDED 12" BEYOND SLAB. SLOPE STOOP SLAB AWAY FROM BUILDING AT 2%. ALLOW NO STEP AT THRESHOLD. UNDERFILL FOR STOOP TO BE 8" OF FREE-DRAINING CLEAR STONE. GRADE SO AS NOT TO ALLOW ACCUMULATION OF SURFACE WATER UNDER THE STOOP SLAB.



COLUMN & FOOTING SCHEDULE		
MARK	SIZE	FOOTING
A	3-PLY 2X8 SYP #1 X 22'	24" X 10" THICK UNREINF CONC
B	3-PLY 2X8 SYP #1 X 22'	18" X 10" THICK UNREINF CONC
C	3-PLY 2X8 SYP #1 X 25'	18" X 10" THICK UNREINF CONC
D	3-PLY 2X8 SYP #1 X 27'	18" X 10" THICK UNREINF CONC
E	3-PLY 2X8 SYP #1 X 28'	18" X 10" THICK UNREINF CONC
F	6X6 SYP #2 X 14'	18" X 10" THICK UNREINF CONC
G	JACKPOST 3-PLY 2X8 SYP #1 X 8'	-

GENERAL NOTES:
 IT IS THE CONTRACTOR(S) RESPONSIBILITY TO VERIFY ALL CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK. FAILURE TO DO SO IN THE EVENT OF CONFLICT WITH ANY PART OF THE PLAN SET IS NOT GROUNDS FOR ANY CHARGE FOR EXTRA WORK. DIMENSIONS ARE TO ROUGH FRAMING, UNLESS NOTED OTHERWISE (U.N.O.). INTERIOR FINISH OF WALLS AND CEILING IS 29 GA. RIBBED LINER PANEL, U.N.O. ALL FLOORS ARE EXPOSED SEALED CONCRETE.

BUILDINGS MAY BE CONSTRUCTED AS "RIGHTS" OR "LEFTS" (MIRROR IMAGE) AS THE OWNER'S OPTION.

ANSI A117.1-2003 SEC 309
 OPERABLE PARTS AND CONTROLS OF DOORS SHALL BE OPERABLE WITH THE USE OF ONE HAND AND NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THESE PARTS OR CONTROLS SHALL BE OPERABLE WITH NO MORE THAN 5 POUNDS REQUIRED TO ACTIVATE THEM. CLEAR FLOOR SPACE AND REACH RANGES SHALL COMPLY WITH SECTION 306 AND 308.

FEX PROVIDE FIRE EXTINGUISHERS IN ACCORDANCE WITH IBC2015 SECTION 906 AND NFPA 10

STORAGE
 IBC 2015 TABLE 1004.1.2
 MAX FLOOR AREA PER OCCUPANT
 1600 SF / 500 = 4" OCCUPANTS

FLOOR SLAB
 4" THICK 3600 PSI CONCRETE REINF
 W/ #4 BARS @ 2'-0" O.C. EACH WAY, ON 6" MIL VAPOR RETARDER, ON 6" MINIMUM GRAN BASE. SAWCUT AND SEAL.

IBC2015 (P) 2902.2 SEPARATE FACILITIES
 EXCP 2. SEPARATE FACILITIES SHALL NOT BE REQUIRED...WITH A TOTAL OCCUPANT LOAD...OF 15 OR FEWER.

PRECAST 8' SPF #2 STUDS @ 16" O.C. 2X4 U.N.O. USE TRTD BOTTOM PLATE & (2) TOP PLATES.

FLOOR PLAN
 SCALE 3/8" = 1'-0"

CADREY INCI
 design consultants manage
 po box 985 fond du lac, wi 54936
 phone: 920-924-0110 fax: 920-924-0227
 design88@cds.net

OWNER
 JJJ2, LLC
 1411 W WISCONSIN AVE
 APPLETON, WI 54914

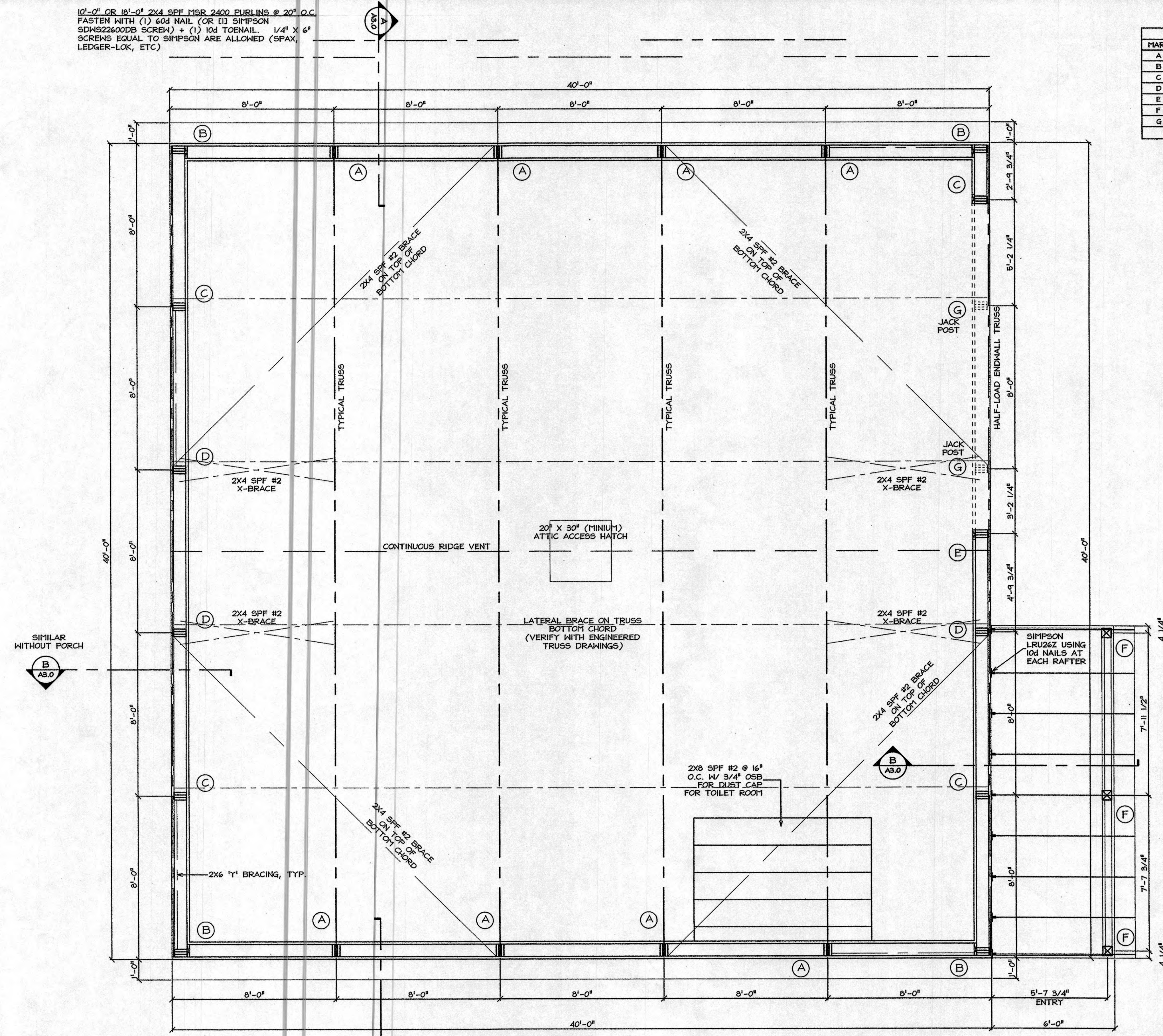
PROJECT
 HEATED STORAGE BUILDING
 MULTI-UNIT DEVELOPMENT
 BLACKTOP WAY
 NEENAH, WI 54956

DATE
 OCT 26, 2018

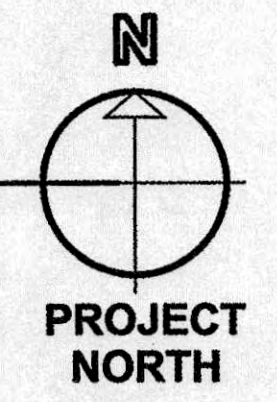
REVISIONS

copyright © 2018
PROJECT
 18173
PAGE
 A1.0

10'-0" OR 18'-0" 2X4 SPF MSR 2400 PURLINS @ 20" O.C.
 FASTEN WITH (1) 60d NAIL (OR (1) SIMPSON
 SDMS22600DB SCREW) + (1) 10d TOENAIL. 1/4" X 6"
 SCREWS EQUAL TO SIMPSON ARE ALLOWED (SPAX,
 LEDGER-LOK, ETC)



FRAMING PLAN
 SCALE 3/8" = 1'-0"



COLUMN & FOOTING SCHEDULE		
MARK	SIZE	FOOTING
A	3-PLY 2X8 SYP #1 X 20'-4"	24"Ø X 10" THICK UNREINF CONC
B	3-PLY 2X8 SYP #1 X 20'-4"	18"Ø X 10" THICK UNREINF CONC
C	3-PLY 2X8 SYP #1 X 23'-4"	18"Ø X 10" THICK UNREINF CONC
D	3-PLY 2X8 SYP #1 X 23'-3"	18"Ø X 10" THICK UNREINF CONC
E	3-PLY 2X8 SYP #1 X 26'-4"	18"Ø X 10" THICK UNREINF CONC
F	6X6 SYP #2 X 12'-4"	18"Ø X 10" THICK UNREINF CONC
G	3-PLY 2X8 SYP #1 X 8'	-

VERIFY ALL COLUMN LENGTHS BEFORE ORDERING

GENERAL NOTES:
 IT IS THE CONTRACTOR(S) RESPONSIBILITY TO
 VERIFY ALL CONDITIONS AND DIMENSIONS
 BEFORE BEGINNING WORK. FAILURE TO DO SO,
 IN THE EVENT OF CONFLICT WITH ANY PART OF
 THE PLAN SET IS NOT GROUNDS FOR ANY
 CHARGE FOR EXTRA WORK.
 DIMENSIONS ARE TO ROUGH FRAMING, UNLESS
 NOTED OTHERWISE (U.N.O.).
 INTERIOR FINISH OF WALLS AND CEILING IS 29
 GA. RIBBED LINER PANEL, U.N.O.
 ALL FLOORS ARE EXPOSED SEALED CONCRETE.

CADREX INC.
 design • consult • manage
 po box 983 fond du lac, wi 54936
 phone: 920-924-0110 fax: 920-924-0227
 design88@cds.net

OWNER
 JJJ2, LLC
 1911 W WISCONSIN AVE
 APPLETON, WI 54914

PROJECT
 HEATED STORAGE BUILDING
 MULTI-UNIT DEVELOPMENT
 BLACKTOP WAY
 NEENAH, WI 54956

DATE
OCT 26, 2018
 REVISIONS

copyright © 2018
PROJECT
 18173
PAGE
 A2.0

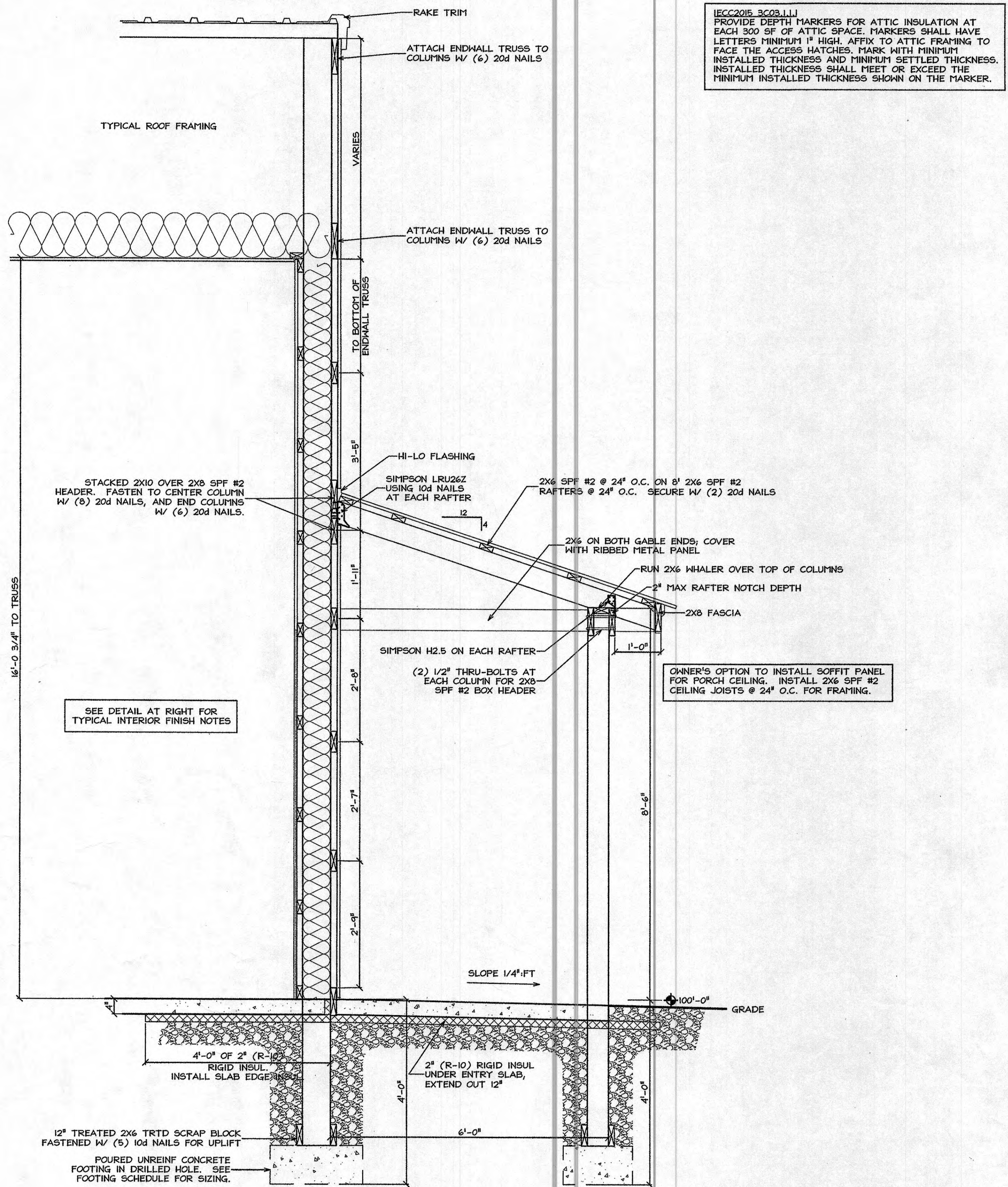
IBC2015 1804.4
 THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE
 SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN
 5 PERCENT FOR A MINIMUM DISTANCE OF 10 FEET MEASURED
 PERPENDICULAR TO THE FACE OF WALL. IMPERVIOUS SURFACES
 WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A
 MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING.

IBC2015 1010.5
 PROVIDE A FLOOR OR LANDING ON EACH SIDE OF A DOOR. SUCH
 FLOOR OR LANDING SHALL BE AT THE SAME ELEVATION ON EACH
 SIDE OF THE DOOR. LANDING SHALL BE LEVEL EXCEPT FOR
 EXTERIOR LANDINGS, WHICH ARE PERMITTED TO HAVE A SLOPE NOT
 TO EXCEED .25 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT
 SLOPE).

PROVIDE MINIMUM 5'-0" X 5'-6" X 5" THICK EXTERIOR STOOP SLAB ON
 2" RIGID INSUL (R-10); SEE DETAILS AND DIMENSIONS ON PLANS, IF
 ANY. UNDER FILL TO BE 10" OF FREE-DRAINING CLEAR STONE.
 GRADE SO AS NOT TO ALLOW ACCUMULATION OF SURFACE WATER
 UNDER THE STOOP SLAB.

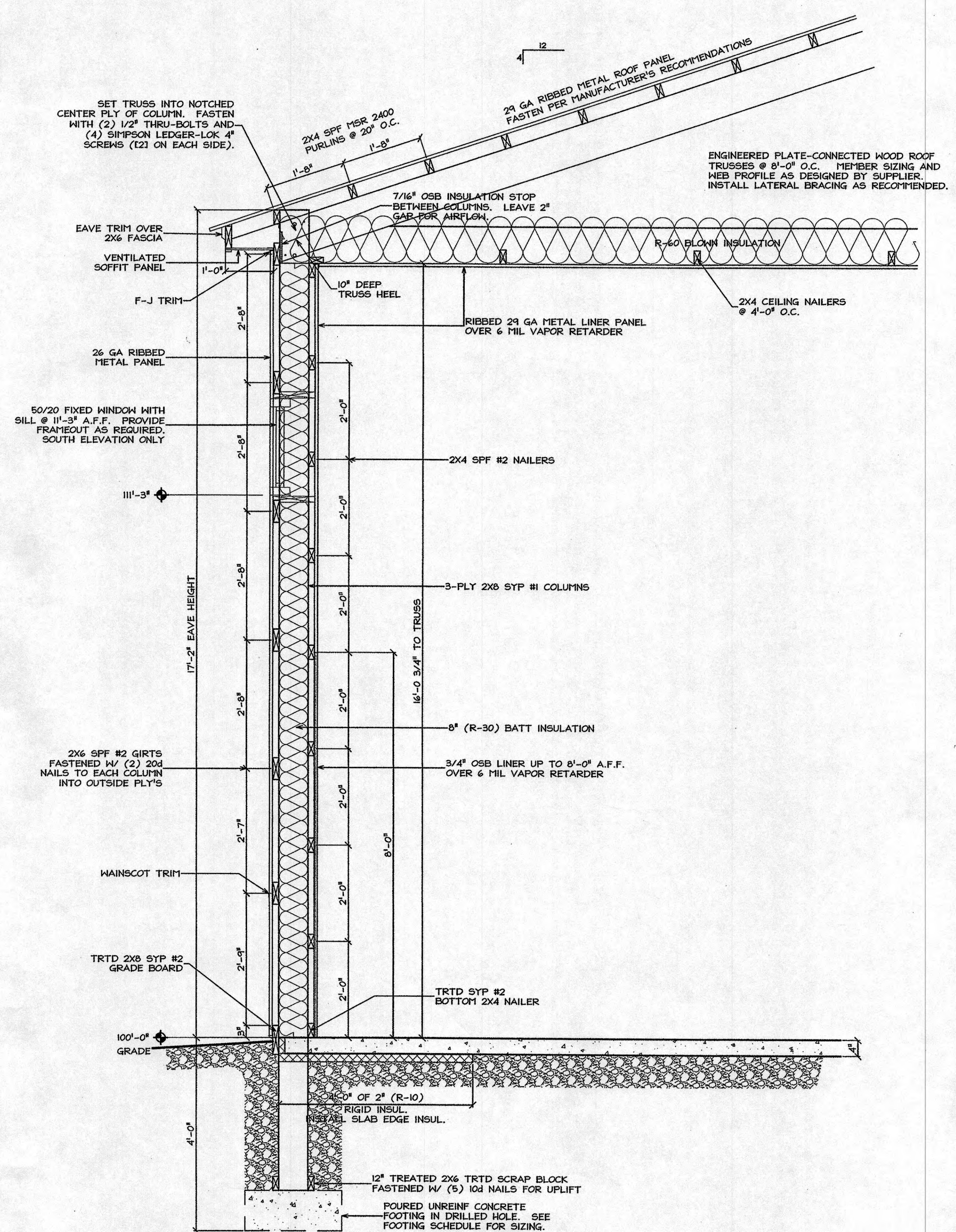
18'-0" 2X4 SPF #2 FLAT @ 24" O.C.
 FASTEN WITH (2) 16d NAILS PER RAFTER.
 CONTRACTOR'S OPTION TO USE 10' LENGTHS.

SIMILAR
 WITHOUT PORCH



IECC2015 3C03.1.1.1
 PROVIDE DEPTH MARKERS FOR ATTIC INSULATION AT EACH 300 SF OF ATTIC SPACE. MARKERS SHALL HAVE LETTERS MINIMUM 1\"/>

SECTION B
 SCALE 3/4\"/>



SECTION A
 SCALE 3/4\"/>

CADREX INC.
 design • consult • manage
 po box 983 fond du lac, wi 54936
 phone: 920-924-0110 fax: 920-924-0227
 design88@tds.net

OWNER

JLJ2, LLC
 1911 W WISCONSIN AVE
 APPLETON, WI 54914

PROJECT

HEATED STORAGE BUILDING
 MULTI-UNIT DEVELOPMENT
 BLACKTOP WAY
 NEENAH, WI 54956

DATE
 OCT 26, 2018

REVISIONS

copyright © 2018

PROJECT
 18173

PAGE
 A3.0

CADREX INC.
 design • consult • manage
 po box 983 fond du lac, wi 54936
 phone: 920-924-0110 fax: 920-924-0227
 design88@cds.net

OWNER
 JJJ2, LLC
 1911 W WISCONSIN AVE
 APPLETON, WI 54914

PROJECT
 HEATED STORAGE BUILDING
 MULTI-UNIT DEVELOPMENT
 BLACKTOP WAY
 NEEHAH, WI 54956

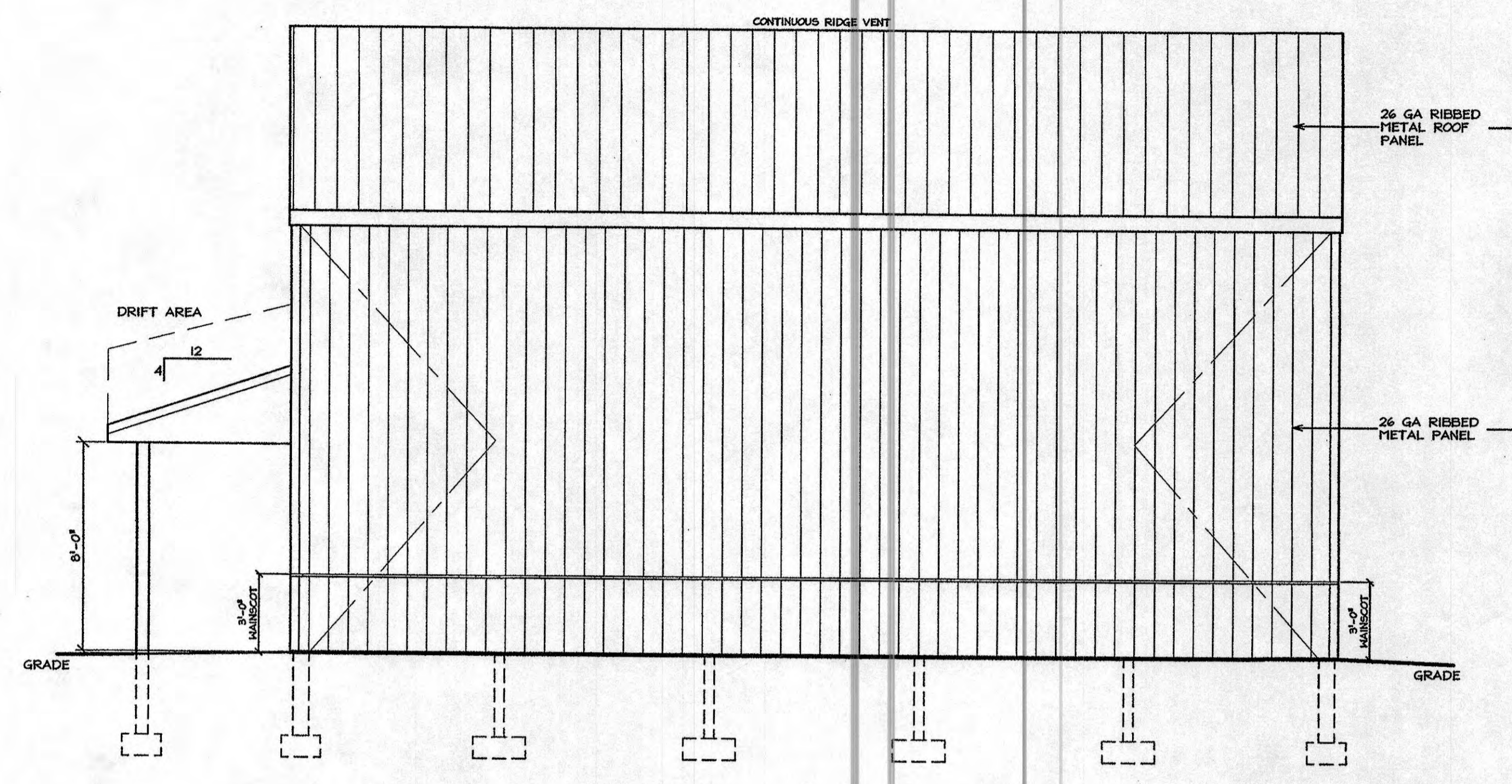
DATE
 OCT 26, 2018

REVISIONS

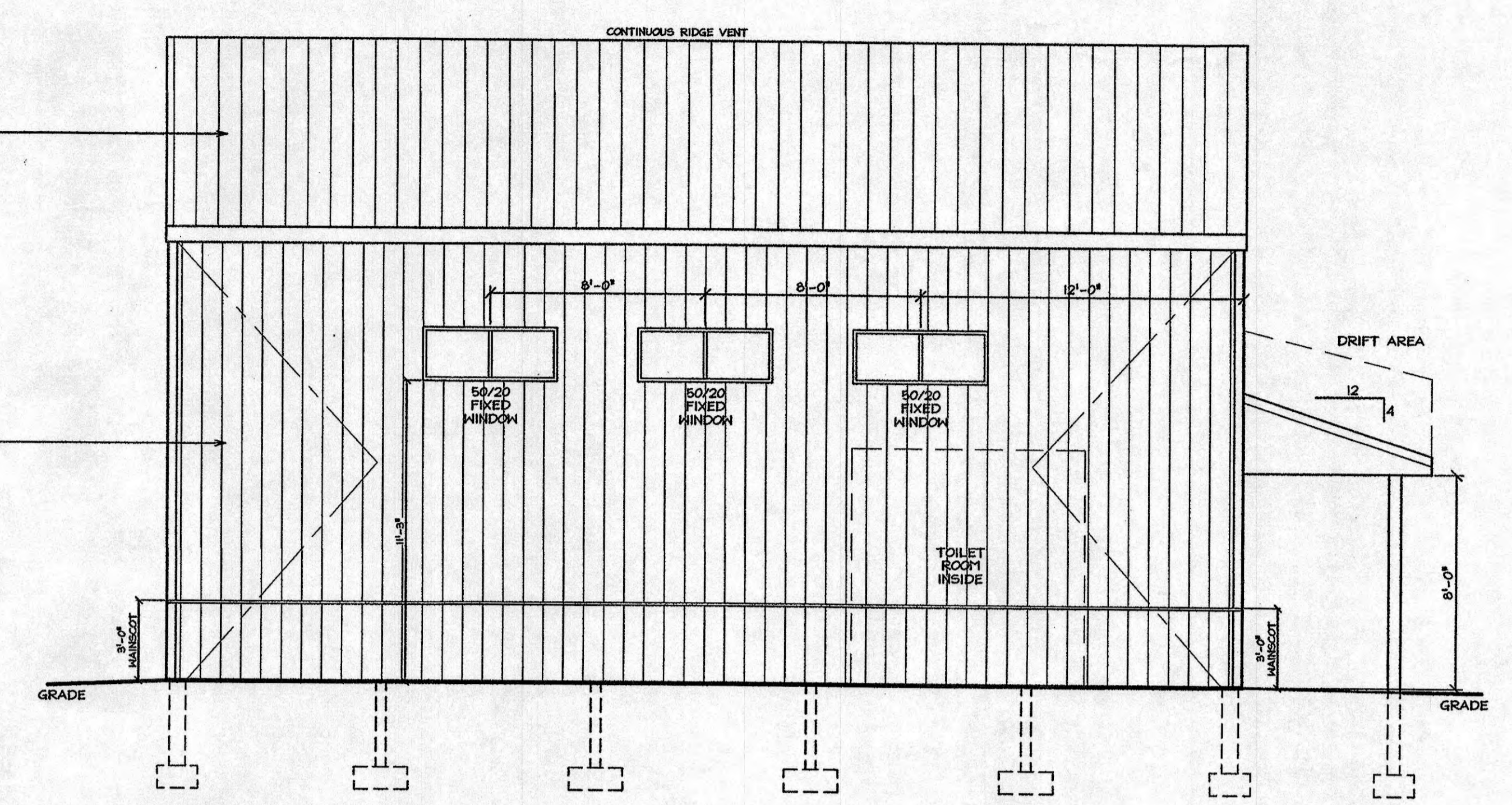
copyright © 2018

PROJECT
 18173

PAGE
 A4.0



NORTH ELEVATION
 SCALE 1/4" = 1'-0"

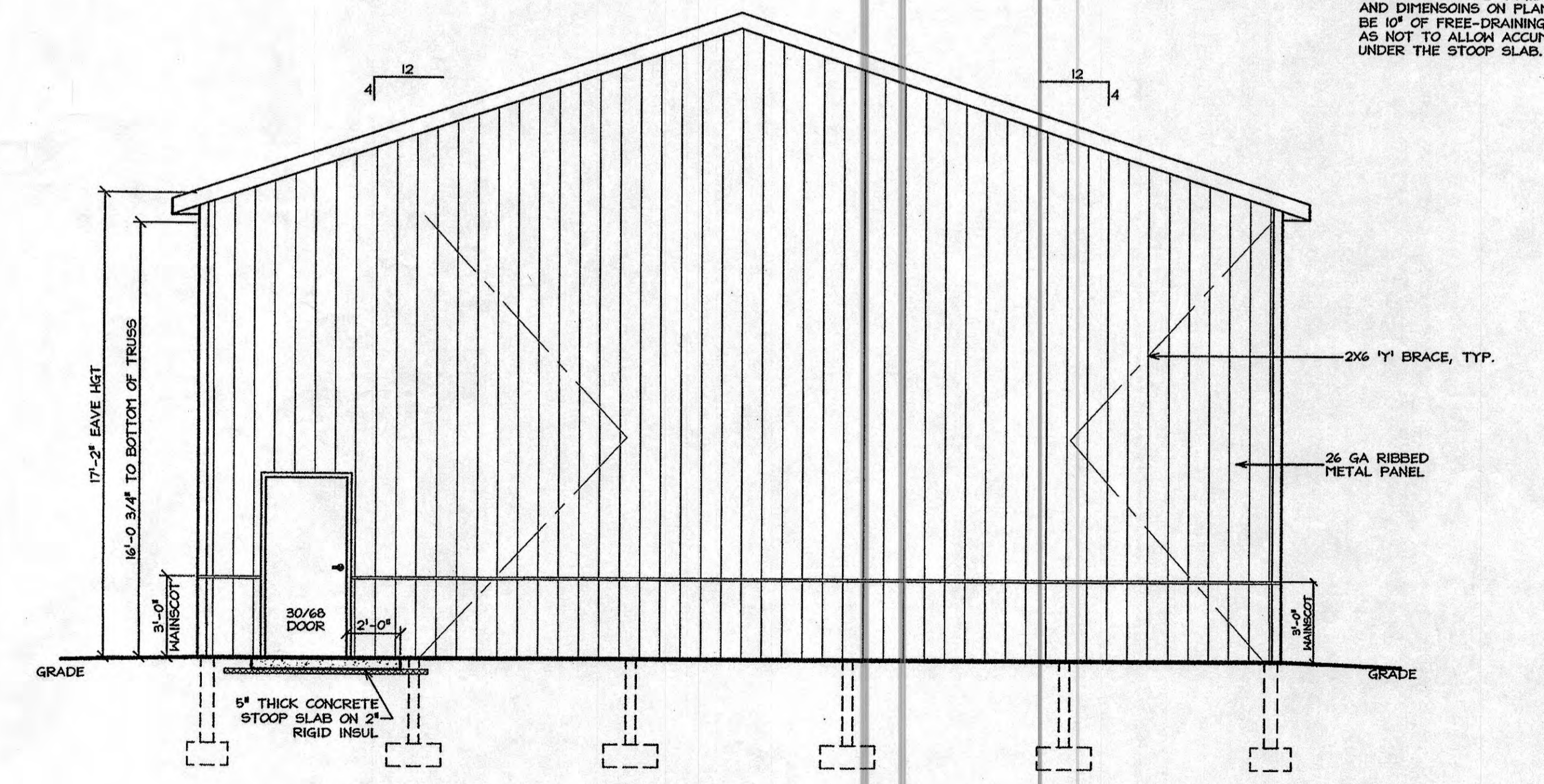


SOUTH ELEVATION
 SCALE 1/4" = 1'-0"

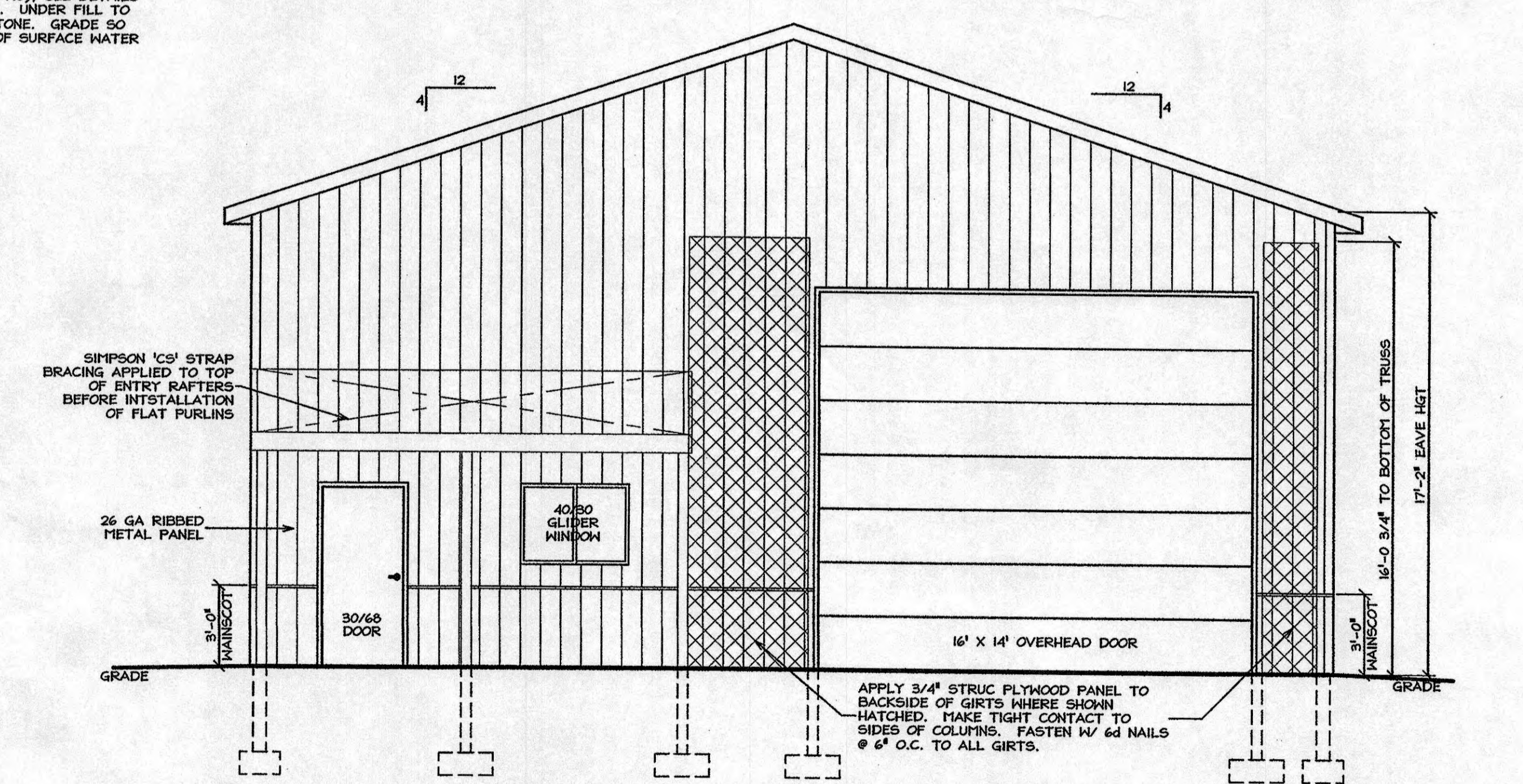
IBC2015 1904.4
 THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5 PERCENT FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF WALL. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING.

IBC2015 1010.5
 PROVIDE A FLOOR OR LANDING ON EACH SIDE OF A DOOR. SUCH FLOOR OR LANDING SHALL BE AT THE SAME ELEVATION ON EACH SIDE OF THE DOOR. LANDINGS SHALL BE LEVEL EXCEPT FOR EXTERIOR LANDINGS, WHICH ARE PERMITTED TO HAVE A SLOPE NOT TO EXCEED .25 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT SLOPE).

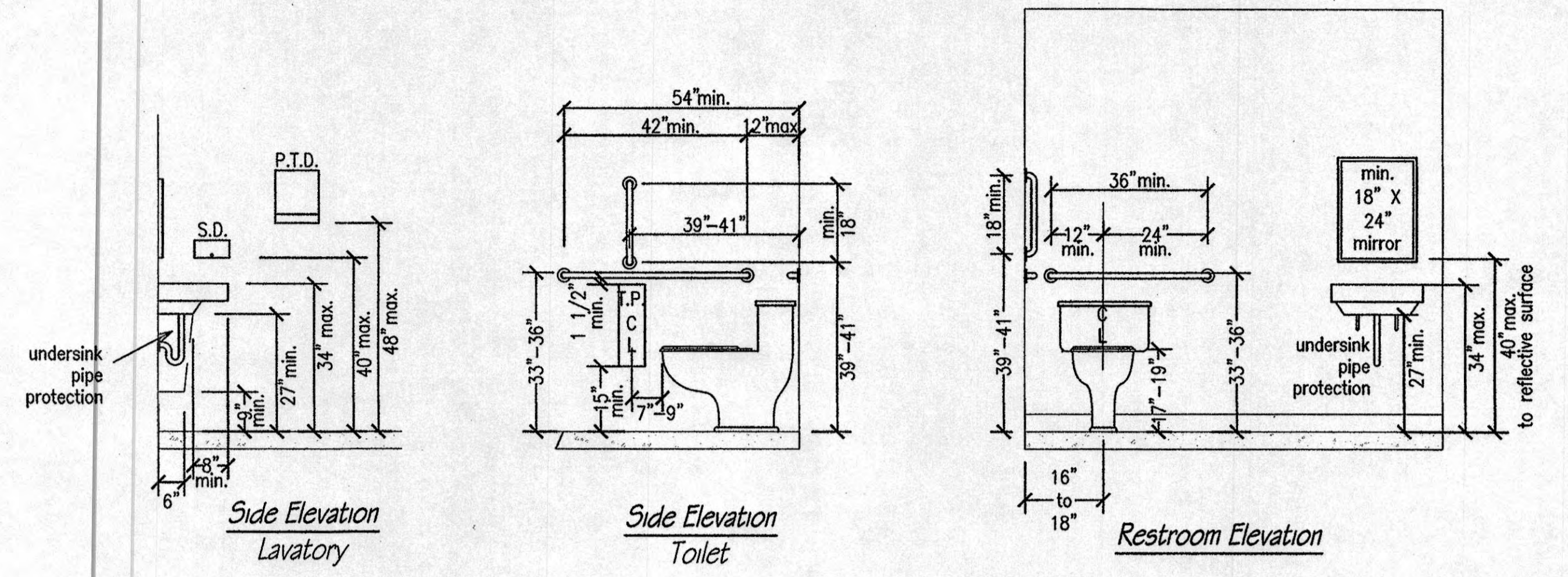
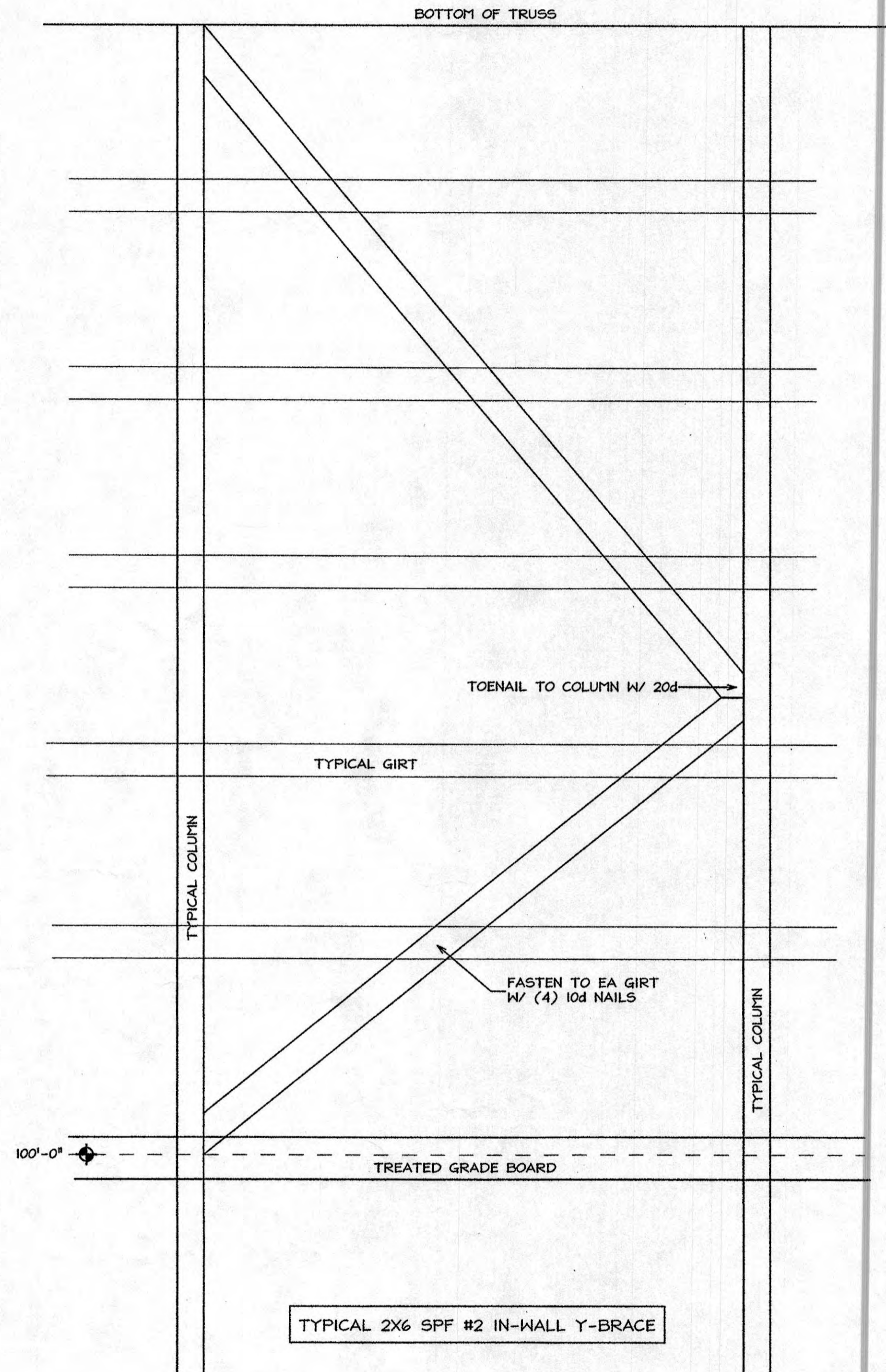
PROVIDE MINIMUM 6'-0" X 5'-0" X 6" THICK EXTERIOR STOOP SLAB ON 2" RIGID INSUL (R-7.5). SEE DETAILS AND DIMENSIONS ON PLANS, IF ANY. UNDER FILL TO BE 10" OF FREE-DRAINING CLEAR STONE. GRADE SO AS NOT TO ALLOW ACCUMULATION OF SURFACE WATER UNDER THE STOOP SLAB.



WEST ELEVATION
 SCALE 1/4" = 1'-0"



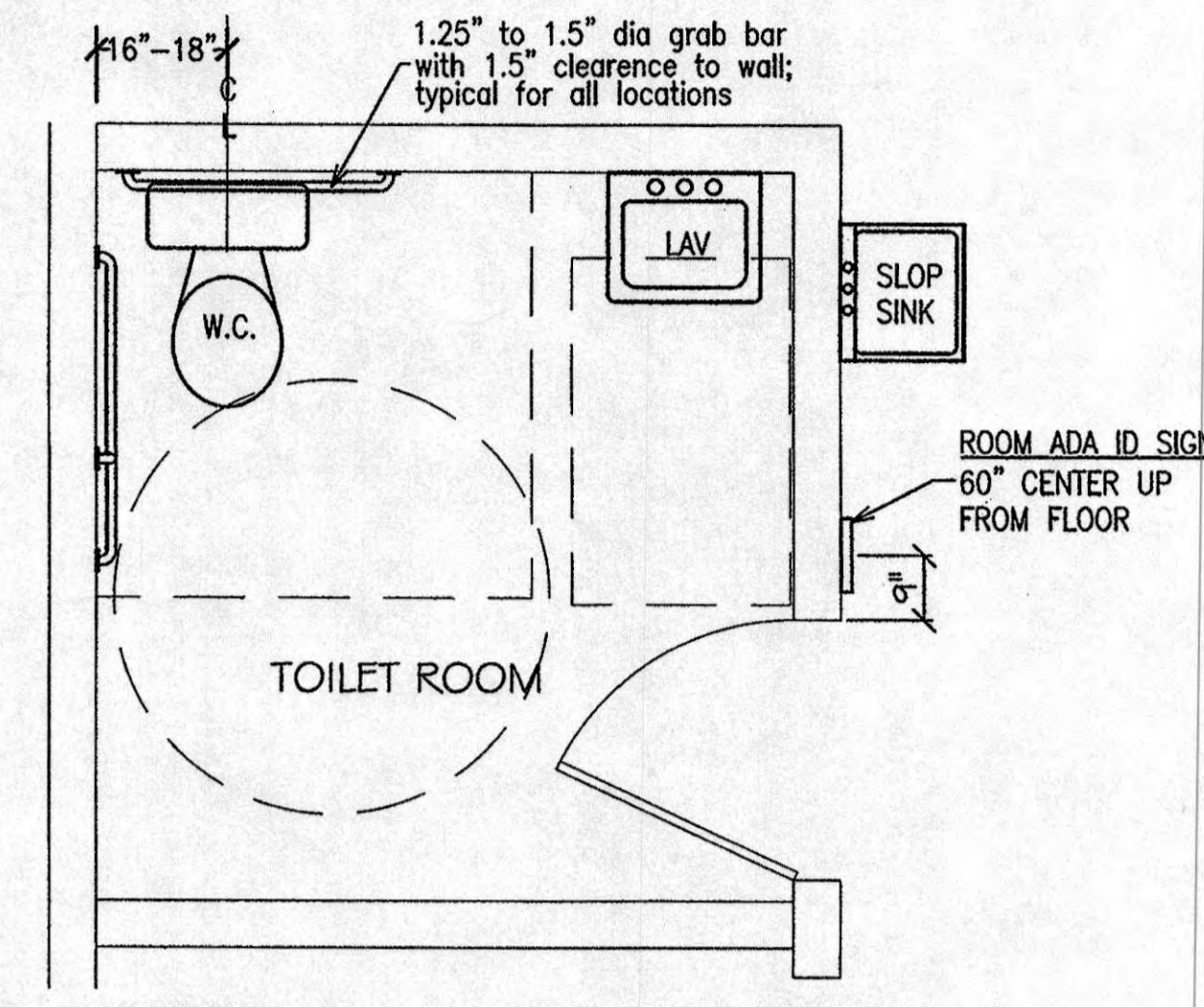
EAST ELEVATION
 SCALE 1/4" = 1'-0"



INTERIOR FINISH
 -CEILING SHALL HAVE A SMOOTH, HARD, NON-ABSORBENT FINISH
 -THE ENTIRE FLOOR SHALL HAVE A SMOOTH, HARD, NON-ABSORBENT SURFACE THAT EXTENDS UPWARD ONTO THE WALL 4" MIN (WALL BASE).
 -WALLS WITHIN 24" OF A TOILET SHALL HAVE A SMOOTH, HARD, NON-ABSORBENT SURFACE 48" MIN. ABOVE THE FLOOR. (THE MATERIAL USED SHALL NOT BE ADVERSELY AFFECTED BY MOISTURE.)

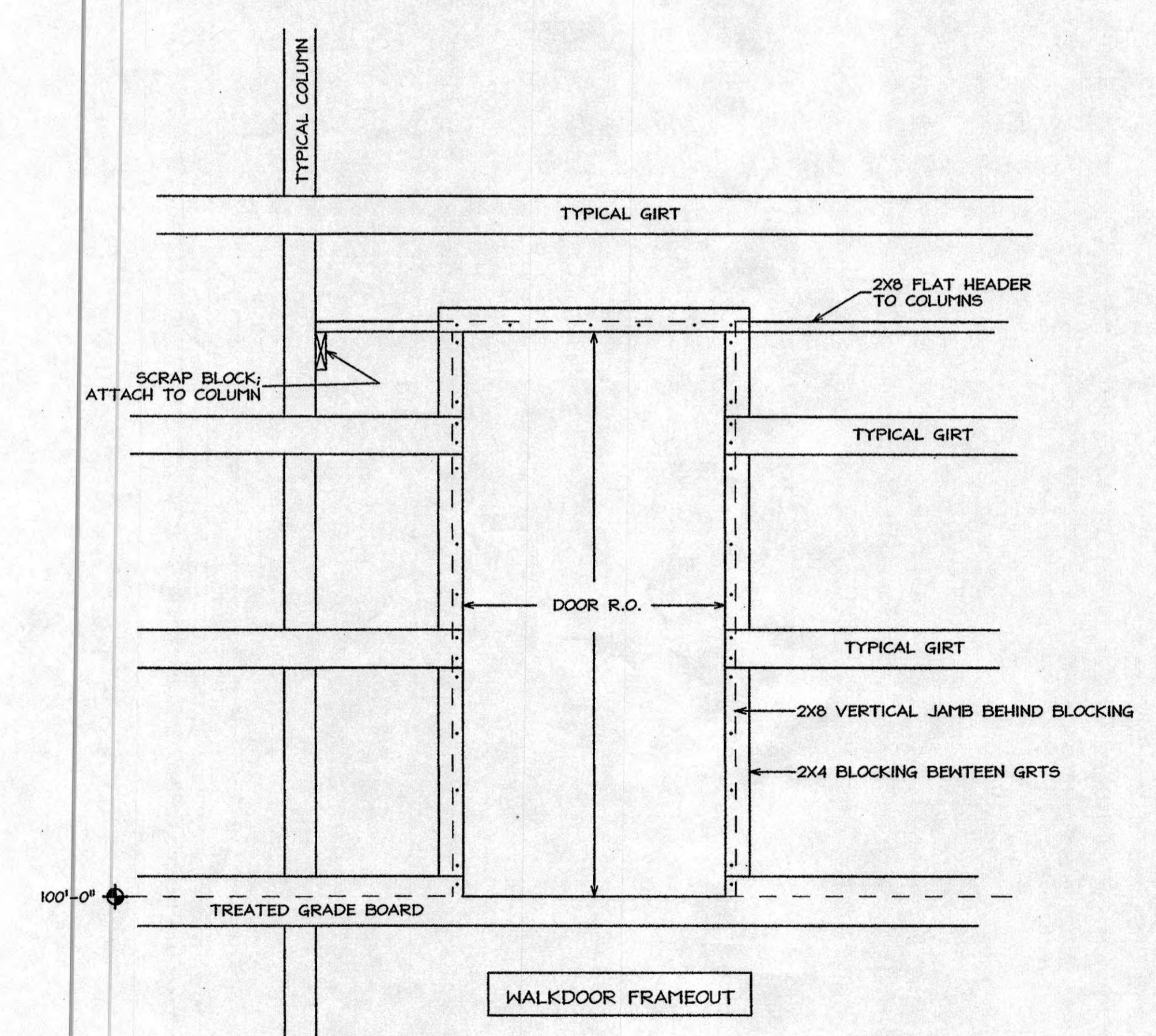
P.T.D. PAPER TOWEL DISPENSER
 T.P. TOILET PAPER HOLDER
 S.D. SOAP DISPENSER
 CL CENTER LINE
 W.C. WATER CLOSET
 MIN. MINIMUM

STANDARD TOILET ROOM CLEARENCES
 ROOM SIZE AND FIXTURE LAYOUT ON PLAN WILL DIFFER

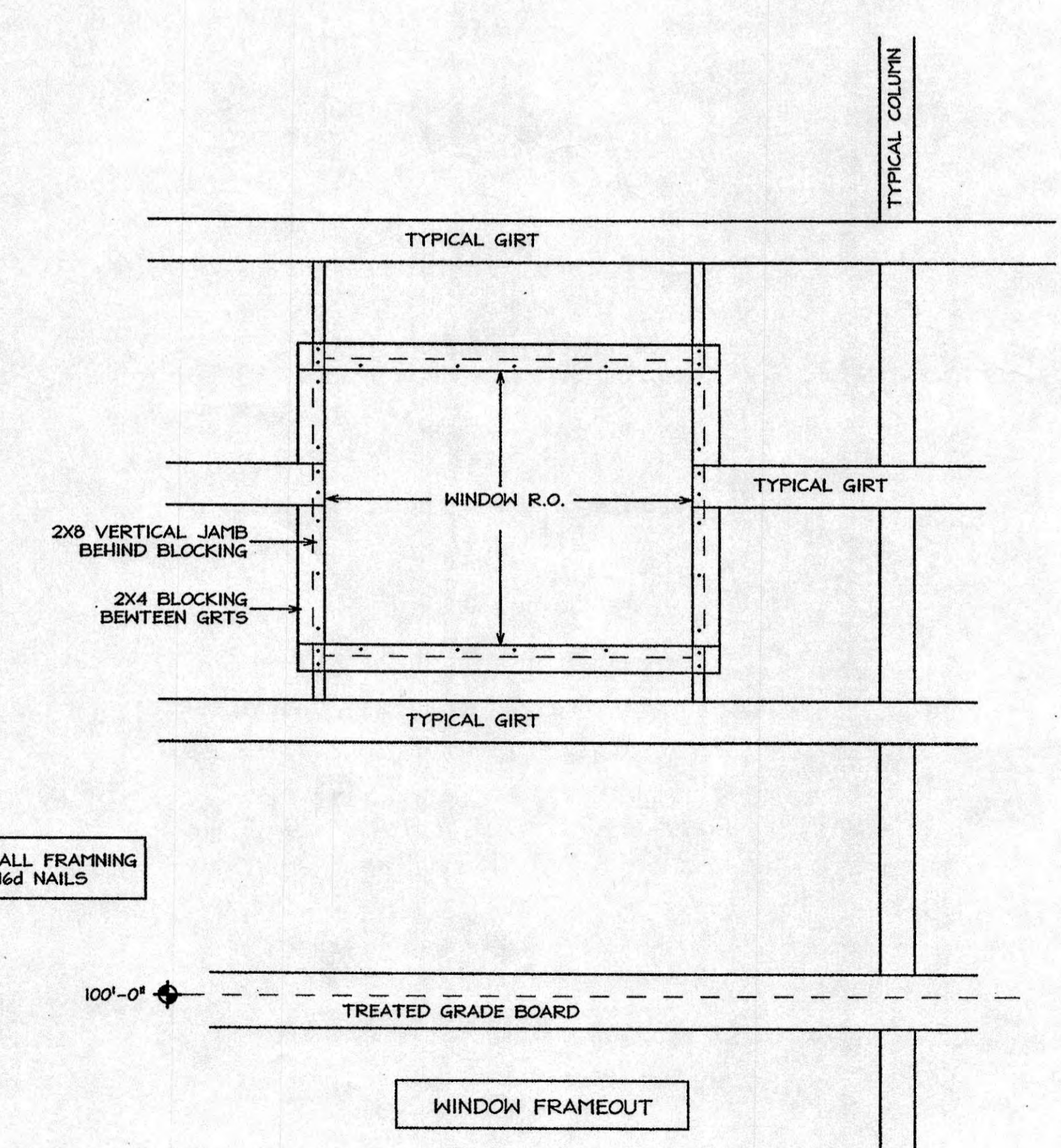


CLEAR FLOOR SPACE @ FIXTURES:
 60"x59" AT FLOOR MOUNTED WATER CLOSETS
 60"x56" AT WALL MOUNTED WATER CLOSETS
 30"x48" AT LAVATORY

NOTE:
 IBC2009 1109.2.1.7
 DOORS TO UNISEX RESTROOMS SHALL BE SECURABLE FROM WITHIN THE ROOM



ATTACH ALL FRAMING W/ 16d NAILS



CADREI INC.
 d e s i g n c o n s u l t m a n a g e
 po box 983 fond du lac, wi 54936
 phone: 920-924-0110 fax: 920-924-0227
 design88@tds.net

OWNER
 JJJ2, LLC
 1911 W WISCONSIN AVE
 APPLETON, WI 54914

PROJECT
 HEATED STORAGE BUILDING
 MULTI-UNIT DEVELOPMENT
 BLACKTOP WAY
 NEENAH, WI 54956

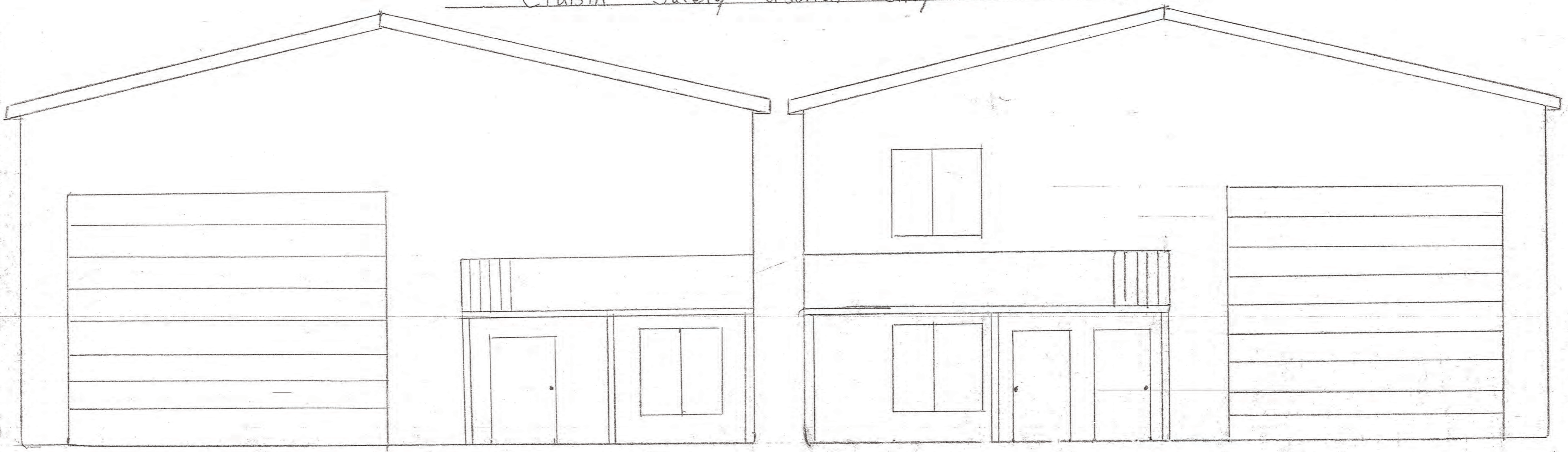
DATE	OCT 26, 2018
REVISIONS	
copyright © 2018	
PROJECT	18173
PAGE	A5.0

Front (West side)

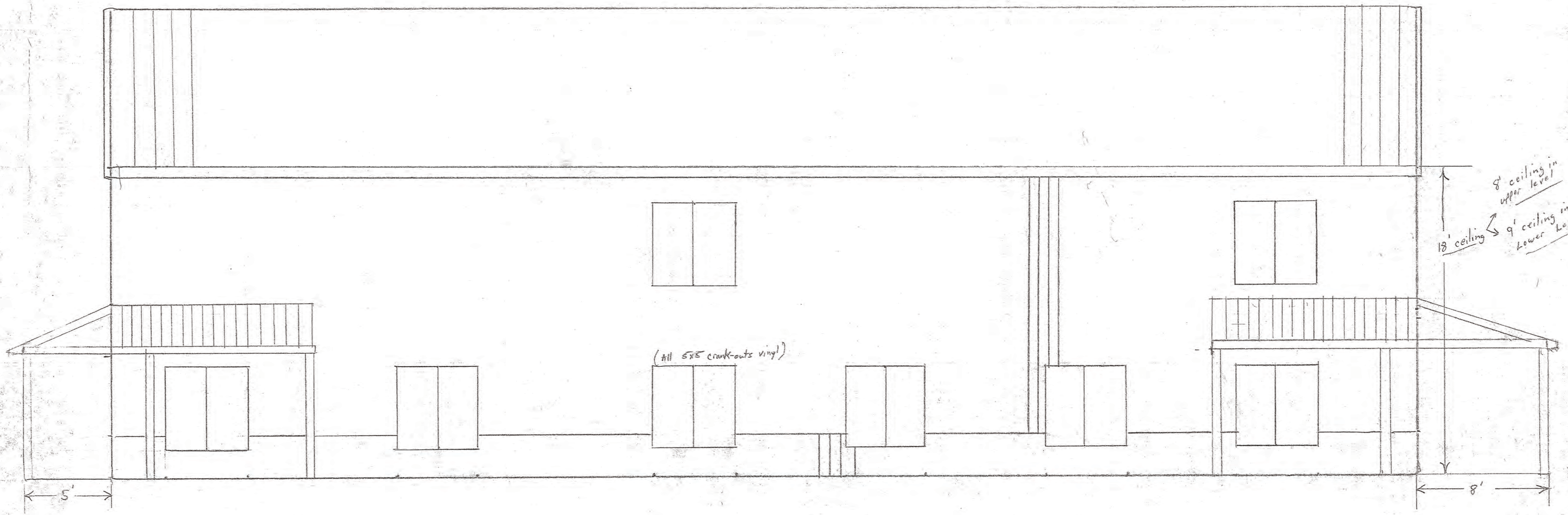
Back (East side)

3 inches = 10 feet
Item C.

Cruisin Safely Personal Shop

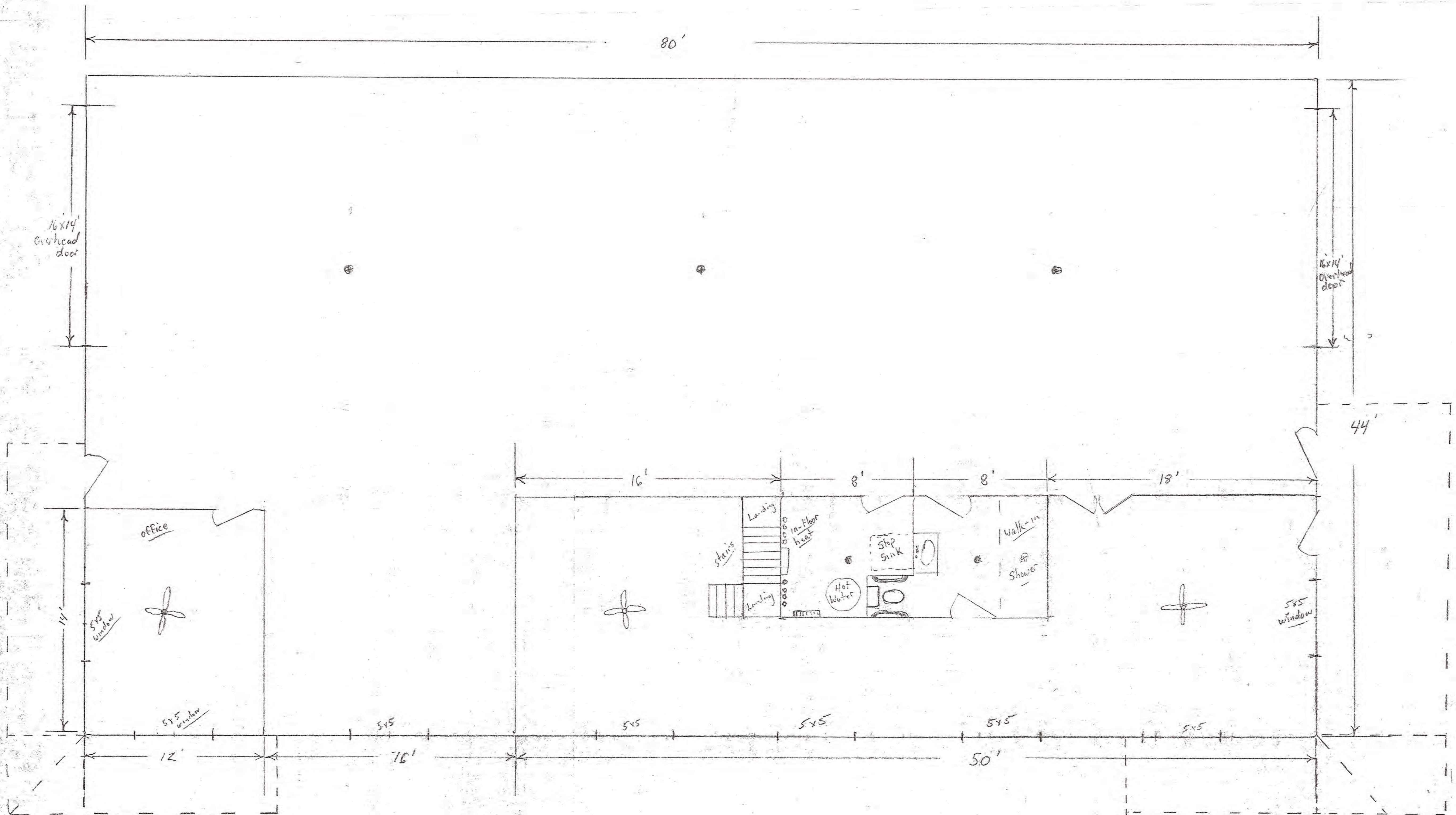


Side view (South side)



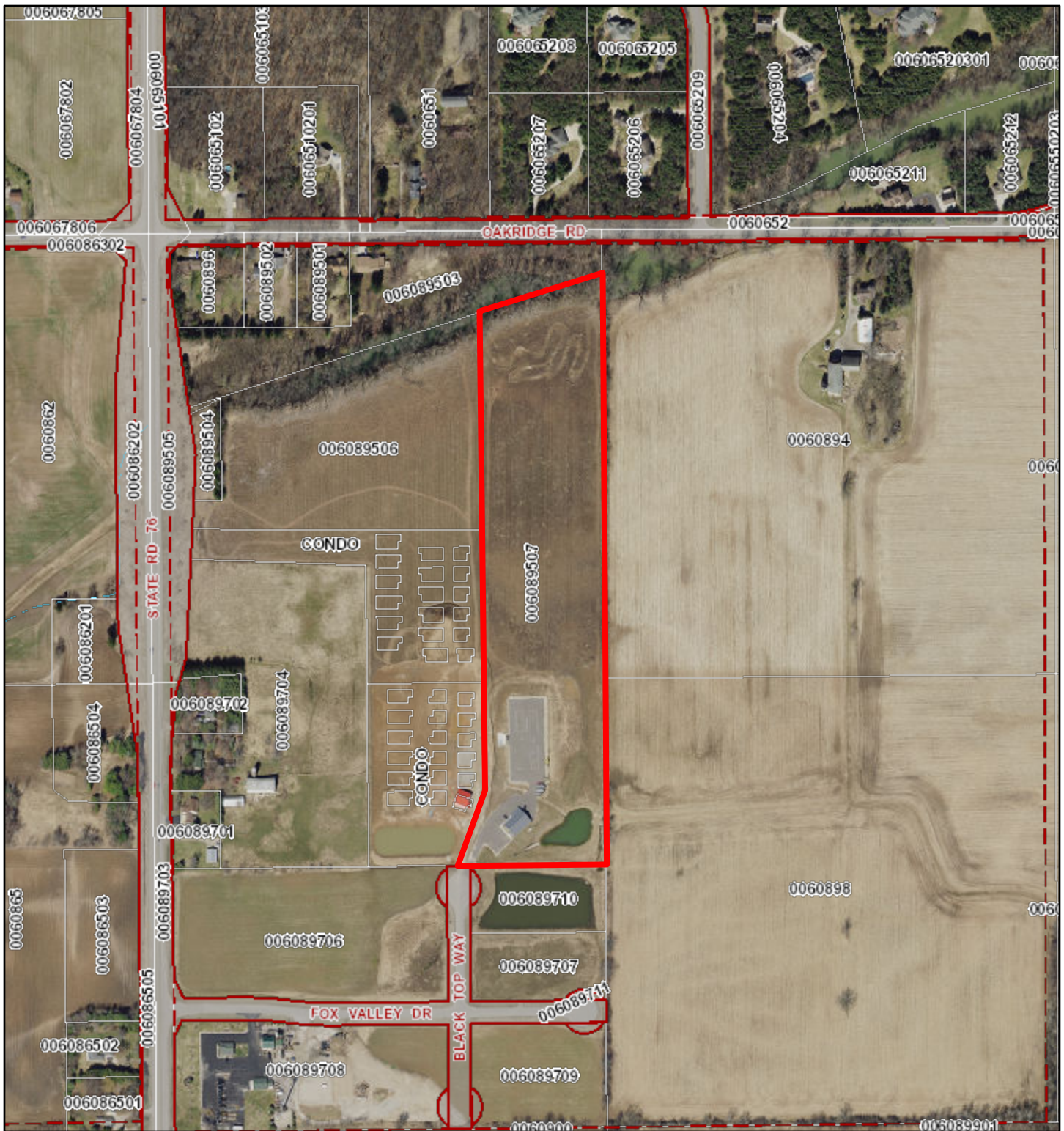
Cruisin Safely Personal Shop

3 inches = 10 Ft.



Houts CPR App Site Map

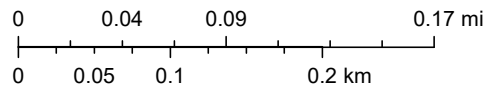
Item C.



5/5/2023, 9:39:36 AM

1:4,975

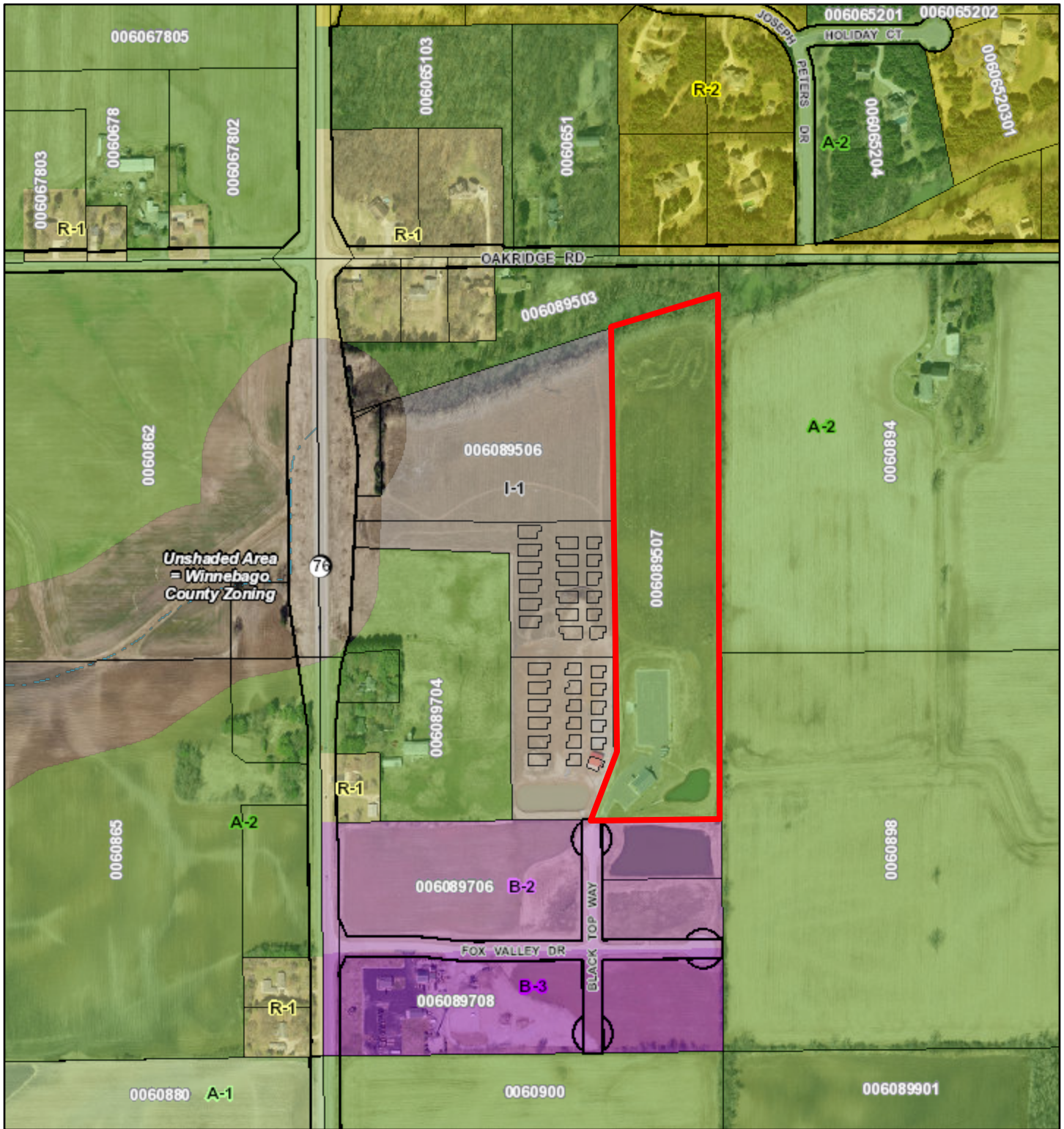
- Official Mapped ROW Extension
- Adjacent Counties
- Lakes, Ponds and Rivers
- Navigable - Stream (unchecked)
- Navigable - Permanent (checked)
- Navigable - Intermittent (checked)
- Navigable - Stream (checked)
- Navigable - Intermittent (unchecked)
- Tax Parcel Boundary
- Road ROW



Winnebago County GIS, Imagery Date: April 2020

Houts CPR App Zoning Map

Item C.



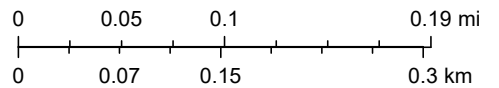
5/5/2023, 9:37:32 AM

1:5,604

District Code / Description

- A-1 - Agribusiness
- A-2 - General Agriculture
- R-1 - Rural Residential
- R-2 - Suburban Residential
- R-3 - Two-Family Residential

- R-4 - Multifamily Residential
- R-8 - Manufactured Housing Community
- PDD - Planned Development
- B-1 - Local Service Business
- B-2 - Community Business
- B-3 - General Business



Winnebago County GIS, Imagery Date: April 2020

Parcel Profile Report for 006089507

Item C.

Real Estate Property & Tax Information

[Interactive Map](#)

This tax information was compiled on THURSDAY, MAY 4, 2023

[More Details](#)

Mailing Address: CRUISIN SAFELY MOTORCYCLE DRIVING INST LLC 7568 BLACK TOP WAY NEENAH WI 54956	Owner(s): CRUISIN SAFELY MOTORCYCLE DRIVING INST LLC	Tax Parcel Number: 006089507
Tax District: 006-TOWN OF CLAYTON		Acres: 14.00
School District: 3892-NEENAH JOINT SCHOOL DISTRICT		Interactive Map
Assessed Values		More Assessment Details
Land: \$77,200	Improvements: \$200,000	Total: \$277,200
Site Address(es): 7568 BLACK TOP WAY	Complete legal description, see Parcel Data for details. NEENAH WI 54956 PT NW NW & PT SW NW DESC AS LOT 2 OF CSM-7052 14.00	Document Number: 1771730

Public Land Survey System (PLSS) Information

[Interactive Map](#)

Physical Location(s): NW 1/4, NW 1/4 of Section 36, T.20N. - R.16E., TOWN OF CLAYTON SW 1/4, NW 1/4 of Section 36, T.20N. - R.16E., TOWN OF CLAYTON

General Zoning Information

District: A-2	Description: GENERAL AGRICULTURE DISTRICT	Jurisdiction: TOWN OF CLAYTON	Interactive Map
Extraterritorial: CITY OF NEENAH	Shoreland: NONE		Interactive Map

Navigable Stream and Surface Water Drainage Information

[Interactive Map](#)

Classification: NONE	Source:	Type:	Surface Water Drainage Dist: NONE
--------------------------------	---------	-------	---

Airport Zoning and Height Limitation Information

[Interactive Map](#)

Airport: NONE	District(s):	Elevation Range: 826 - 850	Height Limitation(s): NONE	Building Height:
-------------------------	--------------	--------------------------------------	--------------------------------------	------------------

County Floodplain and FEMA Special Flood Hazard Area (SFHA) Information

[Interactive Map](#)

County District: NONE	SFHA Zone: ZONE X	SFHA Zone Type: OUTSIDE FLOODPLAIN	FIRM Panel: 55139C0095E	Map Effective Date: MARCH 17, 2003
Letter of Map Change (LOMC) Type:	Documents:	Effective Date:		

Wisconsin Wetland Inventory Information

[Interactive Map](#)

Area Code: NONE	Area Description:	Source:
Activity: WETLAND DELINEATION REPORT CONFIRMATION	Docket Number: WIC-NE-2017-71-03550	Action Date: 2017/11/16



This report was created for use by the Winnebago County Geographic Information System project. Any other use/application of this information is the responsibility of the user and such use/application is at their own risk. Winnebago County disclaims all liability regarding fitness of the information for any use other than Winnebago County business.

Parcel Profile Report for 006089507

Item C.



Parcel Profile Report for 006089507

Item C.

Future Land Use Planning Information

County Use:	Municipal Planning Authority:	Municipal Use:
AGRICULTURAL AND RURAL	TOWN OF CLAYTON	AGRICULTURE/RURAL RESIDENTIAL

Elevation Information (NAVD88, US Survey Feet)

[Interactive Map](#)

Range:	Elevation Change:	Average:
826 - 850	24	838

Soil Survey Information

[Interactive Map](#)

Symbol:	Name:	Drainage Class:	Farmland Class:	Hydrologic Group:
KnB	Kewaunee silt loam, 2 to 6 percent slopes	Well drained	II	C
KoC2	Kewaunee silty clay loam, 6 to 12 percent slopes, eroded	Well drained	III	D
KyA	Korobago silt loam, 0 to 3 percent slopes	Somewhat poorly drained	II	C/D
MtA	Mosel silt loam, 0 to 3 percent slopes	Somewhat poorly drained	II	C/D
Pg	Pits, gravel		VIII	
We	Wauseon silt loam	Very poorly drained	III	C/D

Election Information

Type:	District:	Voting Ward:
WINNEBAGO COUNTY BOARD OF SUPERVISORS	29	3
Supervisor:	Polling Place:	
RACHEL A. YOUNGQUIST	CLAYTON MUNICIPAL BUILDING 8348 COUNTY RD. T	

2010 United States Census Bureau Information

State and County FIPS code(s):	Tract:	Block:	Total Population:
55 139	002300	2034	148

Historical Photography Information

Flight Year:	File Name:
1941	AIW-2B-8-41.tif
1957	AIW-1T-87-57.tif
1975	2016-75.tif
1981	I-4-81.tif

Special Casing Area Requirements for Arsenic Information

[Casing Map](#)

Special well casing depth area for Winnebago County - effective October 1, 2004

[More Details](#)



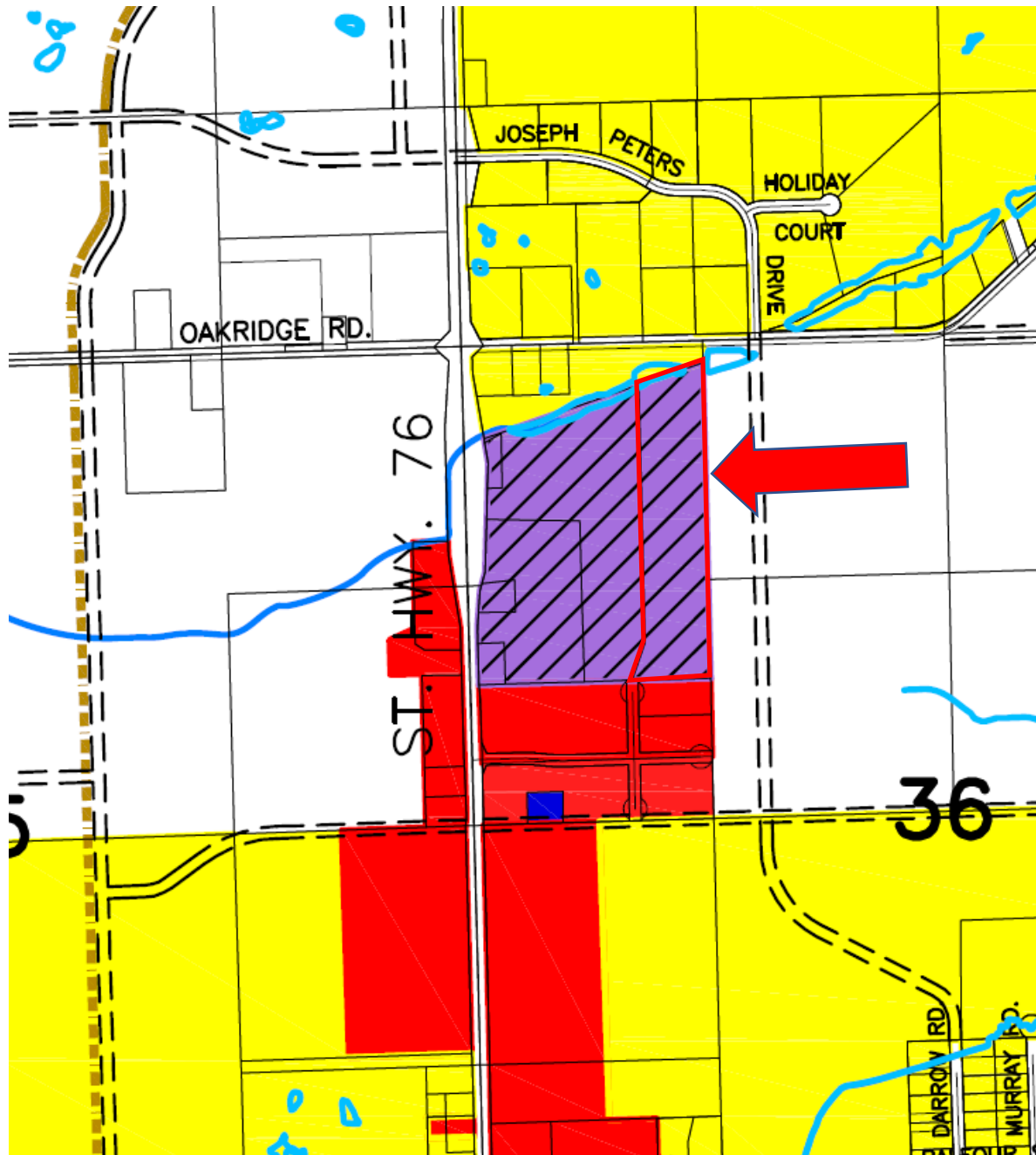
Parcel Profile Report for 006089507

Item C.



Town of Clayton

Future Land Use Plan



- Agriculture/Open Space
- Agriculture/Rural Residential
- Conservation & Greenspace
- Working Lands
- Residential - Single and Duplex
- Residential Planned Unit Development
- Multi-Family Residential
- Manufactured Housing Community
- Business
- Business Planned Unit Development
- Business / Light Industrial
- Business / Light Industrial / Planned Unit Development
- Non-Metallic Mining Sites
- Utilities and Public Facilities
- Recreation and Conservation
- Abandoned Landfill Site
- Open Water/Pool/Lakes
- Recreational Trails
- Future Roads
- Conservation/Drainage Way