



PLAN COMMISSION

Wednesday, December 13, 2023 – 6:30 PM

Town Hall Meeting Room, 8348 Hickory Ave, Larsen, WI 54947

AGENDA

CALL TO ORDER

- A. Pledge of Allegiance
- B. Verification of Notice
- C. Meeting Roll

PUBLIC HEARING(S) AND/OR PUBLIC INFORMATION MEETINGS

- A. Public Hearing on a Conditional Use Application submitted by Utschig Inc on behalf of Last Time Realty LLC for a proposed heavy vehicle sales and rental development located adjacent to the west of 2615 West American Dr, specifically described as Tax ID #006-0341-02.
- B. Public Hearing on a Conditional Use Application submitted by Brandon Flees for a proposed retention pond residential accessory use located at 8375 Whispering Meadows Dr, specifically described as Tax ID #006-0566-04-09.

APPROVAL OF MINUTES

- A. Approval of the Minutes of the Wednesday November 8, 2023 Plan Commission Meeting

OPEN FORUM – Public comments addressed to the Plan Commission

Individuals properly signed in may speak directly to the Plan Commission on non-repetitive Planning and Zoning matters whether on or not on the agenda. Commentators must wait to be called, must speak from the podium, directing their comments to the Commission. Comments must be orderly, and will be limited to a maximum of **2 minutes** per person. **Public comment is not permitted outside of this public comment period. Note:** The Commission's ability to act on or respond to the public comments is limited by Chapter 19, Wis. Stats. Please complete the "Request to Speak at Meeting" form located on the agenda/sign-in table and submit the form to the Town Clerk for in-person attendance.

CORRESPONDENCE

- A. Distribution of the November 2023 Building Inspection Report

BUSINESS

- A. Review/Recommendation: Plan Commission review & recommendation on a Conditional Use Application submitted by Utschig Inc on behalf of Last Time Realty LLC for a proposed heavy vehicle sales and rental development located adjacent to the west of 2615 West American Dr, specifically described as Tax ID #006-0341-02.
- B. Review/Recommendation: Plan Commission review & recommendation on a Site Plan Application submitted by Utschig Inc on behalf of Last Time Realty LLC for a

proposed heavy vehicle sales and rental development located adjacent to the west of 2615 West American Dr, specifically described as Tax ID #006-0341-02.

- C. Review/Recommendation: Plan Commission review & recommendation on a Conditional Use Application submitted by Brandon Flees for a proposed retention pond residential accessory use located at 8375 Whispering Meadows Dr, specifically described as Tax ID #006-0566-04-09.

UPCOMING MEETING ATTENDANCE

- A. Plan Commission (6:30 pm start unless otherwise noted) - Jan 10; Feb 14; March 13
- B. Town Board (6:30 pm start unless otherwise noted) - Dec 20; Jan 3 & 17; Feb 7 & 21

ADJOURNMENT

Respectfully submitted,

Dick Knapinski
Plan Commission Chair

Pursuant to Wisconsin Statute 19.84 (2) and (3) notice is hereby given to the public and the media that two or more members of any or all Boards, Commissions, and Committees of the Town of Clayton, may attend the meeting of the Plan Commission in order to gather information. For purposes of the Open Meetings Law only; attendance at a meeting by a quorum of members of the Town Boards, Commissions, and Committees constitutes a meeting of the Board, Commission, or Committee, pursuant to Badke Vs. Village Board of Village of Greendale, 173 Wis2d 553, 494 NW2d 408 (1993), and must be noticed as such, although it is not contemplated that any formal action by those bodies will be taken. The only business to be conducted is for Plan Commission action.

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, please call the Town Office at 920.836.2007.

This agenda has been posted at the following locations in the Town of Clayton:

- 1. The Town Hall Posting Board – 8348 Hickory Ave, Larsen, WI 54947
- 2. The Town's Web Page: --

TOWN OF CLAYTON
NOTICE OF PUBLIC HEARING

Notice is hereby given that the Plan Commission of the Town of Clayton will hold a Public Hearing beginning at 6:30 pm on Wednesday, December 13, 2023 in the Town Office Meeting Room located at 8348 Hickory Ave, Larsen WI 54947. The purpose of the Public Hearing is to receive public comment regarding the following Conditional Use Application:

THE PETITIONER(S): Utschig Inc has submitted a Conditional Use Application on behalf of Last Time Realty LLC for a proposed heavy vehicle sales and rental development located adjacent to the west of 2615 West American Dr, specifically described as Tax ID # 006-0341-02.

Copies of the Conditional Use Application are available at the Town Hall, or by contacting the Town Clerk at (920) 836-2007. All interested parties and any objections to this request being granted will be heard at the Public Hearing. If you cannot attend the Public Hearing, you may submit written comments to the Town Clerk before 4:00 pm on the date of the Public Hearing.

Dated this 27th day of November, 2023
Kelsey Faust-Kubale, Clerk

Publish Wednesday, November 29, 2023
and
Wednesday, December 6, 2023

Post on or before November 29, 2023

TOWN OF CLAYTON
NOTICE OF PUBLIC HEARING

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THE PETITIONER(S): Brandon Flees has submitted a Conditional Use Application for a proposed retention pond residential accessory use located at 8375 Whispering Meadows Dr, specifically described as Tax ID # 006-0566-04-09.

Copies of the Conditional Use Application are available at the Town Hall, or by contacting the Town Clerk at (920) 836-2007. All interested parties and any objections to this request being granted will be heard at the Public Hearings. If you cannot attend the Public Hearings, you may submit written comments to the Town Clerk before 4:00 pm on the date of the Public Hearings.

Dated this 27th day of November, 2023
Kelsey Faust-Kubale, Clerk

Publish Wednesday, November 29, 2023
and
Wednesday, December 6, 2023

Post on or before November 29, 2023



PLAN COMMISSION

Wednesday, November 08, 2023 – 6:30 PM

Item A.

Town Hall Meeting Room, 8348 Hickory Ave, Larsen, WI 54947

MINUTES

CALL TO ORDER - Chair Knapinski called the meeting to order at 6:30 pm

- A. Pledge of Allegiance
- B. Verification of Notice
- C. Meeting Roll

PRESENT

Chair Knapinski
Commissioner Haskell
Commissioner Nemecek
Commissioner Ketter
Commissioner Hopkins
Town Board Rep. Christianson

EXCUSED

Commissioner Dorow

STAFF

Administrator Wisnefske
Clerk Faust-Kubale
Planner Jaworski

APPROVAL OF MINUTES

- A. Approval of the Minutes of the Wednesday October 11, 2023 Plan Commission Meeting

MOTION

Motion made by Commissioner Haskell, **Seconded** by Commissioner Nemecek to approve the Minutes of the Wednesday, October 11, 2023 Plan Commission Meeting.

Voting Yea: Chair Knapinski, Commissioner Haskell, Commissioner Nemecek, Commissioner Ketter, Commissioner Hopkins, Town Board Rep. Christianson

Motion carried 6-0.

OPEN FORUM – Public comments addressed to the Plan Commission - NONE

CORRESPONDENCE

- A. Distribution of the October 2023 Building Inspection Report

BUSINESS

- A. Review/Discussion: Plan Commission review & discussion on setting 2024 Commission goals and priority projects.

DISCUSSION ITEM ONLY - NO ACTION TAKEN

UPCOMING MEETING ATTENDANCE

- A. Plan Commission (6:30 pm start unless otherwise noted) - Dec 13; Jan 10; Feb 14
- B. Annual Electors Meeting - Nov 15 starting at 6 pm
- C. Clayton Sanitary District #1 Commission Meeting - Nov 15 **immediately following the Annual Electors Meeting**
- D. Town Board (6:30 pm start unless otherwise noted) - Nov 15 **(following Clayton Sanitary District #1 Commission Meeting)**; Dec 6 & 20; Jan 3 & 17

ADJOURNMENT

MOTION

Motion made by Commissioner Haskell, **Seconded** by Commissioner Ketter to adjourn at 7:34 pm.

Voting Yea: Chair Knapinski, Commissioner Haskell, Commissioner Nemecek, Commissioner Ketter, Commissioner Hopkins, Town Board Rep. Christianson

Motion carried 6-0.

Respectfully submitted,

Kelsey Faust-Kubale
Town Clerk

PERMIT SPREADSHEET REPORT NOVEMBER 2023

YEAR TO DATE SUMMARY

DATE	PERMIT #	OWNER	ADDRESS	DESCRIPTION	CONTRACTOR	EST. PROJECT COST	PERMIT FEE	BLDING INSPECTOR FEE	TOWN	EST. PROJECT COST	PERMIT FEE	TOWN OF CLAYTON REVENUE	YEAR TO DATE TOTAL	
TOWN OF CLAYTON PERMITS:										Town of Clayton	\$ 6,022,595.00	\$ 14,347.50	\$ 14,347.50	\$ 104,506.87
11/7/2023	221-23-11E	JOEL TESKY	2850 OAKRIDGE	NSFD ELECT	WATERS ELECT	\$ 20,000.00	\$ 529.50		Town of Vinland	\$ -	\$ -		\$ 1,893.02	
11/7/2023	222-23-11P	JOEL TESKY	2850 OAKRIDGE	NSFD PLUMB	SALMS PLUMB	\$ 36,000.00	\$ 529.50		Town of Winneconne	\$ 114,400.00	\$ 678.24	\$ 542.59	\$ 18,051.53	
11/7/2023	223-23-11H	JOEL TESKY	2850 OAKRIDGE	NSFD HVAC	PALISADES HVAC	\$ 24,875.00	\$ 529.50		Town of Winchester	\$ -	\$ 2,374.80	\$ 1,899.84	\$ 6,008.43	
11/7/2023	224-23-11B	DEREK LIEBHAUSER	2689 CTY II #8	NEW 12 UNIT APARTMENTS	RODAC CONSTRUCTION	\$ 1,132,149.00	\$ 2,366.80		Town of Dale	\$ 320,000.00	\$ 2,093.00	\$ 1,006.40	\$ 9,523.53	
11/7/2023	225-23-11B	DEREK LIEBHAUSER	2689 CTY II #9	NEW 12 UNIT APARTMENTS	RODAC CONSTRUCTION	\$ 1,132,179.00	\$ 2,366.80		Total	\$ 6,456,995.00	\$ 19,493.54	\$ 17,796.33	\$ 139,983.37	
11/8/2023	226-23-11B	DEREK LIEBHAUSER	2689 CTY II #10	NEW 12 UNIT APARTMENTS	RODAC CONSTRUCTION	\$ 1,132,179.00	\$ 2,366.80		Full Burden Wage	\$ 12,457.94			\$ 106,794.82	
11/8/2023	227-23-11B	DEREK LIEBHAUSER	2689 CTY II #11	NEW 12 UNIT APARTMENTS	RODAC CONSTRUCTION	\$ 1,132,179.00	\$ 2,366.80		Net Profit (Loss)	\$ 5,338.39			\$ 33,188.55	
11/8/2023	228-23-11B	DEREK LIEBHAUSER	2689 CTY II #12	NEW 12 UNIT APARTMENTS	RODAC CONSTRUCTION	\$ 1,132,176.00	\$ 2,366.80							
11/13/2023	229-23-11B	JJS LLC	7577 BLACKTOP WAY	CELL TOWER	NATIONAL TOWER	\$ 220,000.00	\$ 250.00							
11/13/2023	230-23-11B	AFFORDABLE CONTRACTING	2815 FOX VALLEY DR	SERVICE SITE LIGHTING	RICK STEFFENS ELECT	\$ 5,000.00	\$ 150.00							
11/13/2023	231-23-11H	DAVE BERGER	2527 CTY JJ	REPLACE FURNACE	BLACK-HAAK	\$ 4,000.00	\$ 75.00							
11/13/2023	232-23-11E	SCOTT KOCH	3671 EMERALD CROWN PKWY	REPLACE FURNACE	BLACK-HAAK	\$ 6,000.00	\$ 75.00							
11/14/2023	233-23-11B	DAVID TROTTER	7981 NICHOLE HEIGHTS	REROOF	O'DANNY BOYS BLDGS	\$ 26,000.00	\$ 75.00							
11/15/2023	234-23-11H	DAN VAN THIEL	8051 NICHOLE HEIGHTS	REPLACE FURNACE- A/C	MADERN HVAC	\$ 9,998.00	\$ 150.00							
11/27/2023	235-23-11E	AUDREY MAROHN	3140 FAIRVIEW	SERVICE	KMILL ELECT	\$ 2,000.00	\$ 75.00							
11/30/2023	236-23-11E	DUSTIN KRAFT	8071 GOLDEN PRIMROSE	SOLAR INSTALL	FOX VALLEY SOLAR	\$ 7,860.00	\$ 75.00							
				TOTALS		\$ 6,022,595.00	\$ 14,347.50							
TOWN OF VINLAND PERMITS:														
				TOTALS		\$ -	\$ -							
TOWN OF WINNECONNE PERMITS:														
11/15/2023	142-23-11H	KATHEE VANDER ZANDEN	6799 OLEN TR	PLUMB REMOD	BLACH-HAAK	\$ 2,000.00	\$ 45.00	\$ 36.00						
11/15/2023	143-23-11H	MIKE MEEKER	6751 CLOW	REPLACE FURNACE-A/C	OSHKOSH HVAC	\$ 11,800.00	\$ 80.00	\$ 64.00						
11/28/2023	144-23-11B	JIM BANECK	5175 N HARBOUR	REROOF	ARC CONTRACTING	\$ 21,500.00	\$ 50.00	\$ 40.00						
11/28/2023	145-23-11B	MICHAEL LOOMIS	5867 POINTE WEST	FOUNDATION REPAIR	RAISERITE	\$ 19,100.00	\$ 50.00	\$ 40.00						
11/30/2023	146-23-11E	LAUREL HUYVAERT	6659 LASLEY SHORE	NSFD ELECT	ZARDA ELECT	\$ 16,000.00	\$ 151.08	\$ 120.86						
11/30/2023	147-23-11H	LAUREL HUYVAERT	6659 LASLEY SHORE	NSFD HVAC	AB&E HVAC	\$ 24,000.00	\$ 151.08	\$ 120.86						
11/30/2023	148-23-11P	LAUREL HUYVAERT	6659 LASLEY SHORE	NSFD PLUMB	SBS PLUMB	\$ 20,000.00	\$ 151.08	\$ 120.86						
				TOTALS		\$ 114,400.00	\$ 678.24	\$ 542.59						
TOWN OF WINCHESTER														
11/15/2023		TOWN OF WINCHESTER	8522 PARKWAY LN	NEW COMMERCIAL ELECT			\$ 791.60	\$ 633.28						
									DOUBLE FEE PLUS PENALTY					
11/15/2023		TOWN OF WINCHESTER	8522 PARKWAY LN	NEW COMMERCIAL HVAC			\$ 791.60	\$ 633.28						
									DOUBLE FEE PLUS PENALTY					
11/15/2023		TOWN OF WINCHESTER	8522 PARKWAY LN	NEW COMMERCIAL PLUMB			\$ 791.60	\$ 633.28						
									DOUBLE FEE PLUS PENALTY					
				TOTALS		\$ -	\$ 2,374.80	\$ 1,899.84						
TOWN OF DALE														
11/13/2023	75-23-11B	JON TAPPE	W9282 HUNTERS	BASEMENT REMOD	GOLD STANDARD	\$ 20,000.00	\$ 390.00	\$ 312.00						
11/30/2023	76-23-11B	JOE GORGES		NSFD	JG BUILDING	\$ 300,000.00	\$ 868.00	\$ 694.40						
11/30/2023		JOE GORGES	CLOVERLEAF RD	TOWN FEES			\$ 835.00							
				TOTALS		\$ 320,000.00	\$ 2,093.00	\$ 1,006.40						

MEMORANDUM

Public Hearing A, Business Items A & B

From: Administrator/Staff
 To: Plan Commission
 Re: Public Hearing on a Conditional Use Application submitted by Utschig Inc on behalf of Last Time Realty LLC for a proposed heavy vehicle sales and rental development located adjacent to the west of 2615 West American Dr, specifically described as Tax ID #006-0341-02.

AND

Plan Commission review & recommendation on a Conditional Use Application submitted by Utschig Inc on behalf of Last Time Realty LLC for a proposed heavy vehicle sales and rental development located adjacent to the west of 2615 West American Dr, specifically described as Tax ID #006-0341-02.

AND

Plan Commission review & recommendation on a Site Plan Application submitted by Utschig Inc on behalf of Last Time Realty LLC for a proposed heavy vehicle sales and rental development located adjacent to the west of 2615 West American Dr, specifically described as Tax ID #006-0341-02.

Please find the below comments from Code Administrator Kussow:

Property Information Specific to Tax ID # 006-0341-02:

1. Specific Site Location: The subject site is located on the parcel adjacent to the west of the Kunes RV property addressed 2615 West American Dr. and south/southwest of West American Dr. from the Complete Fire Solutions property addressed 2630 West American Dr.
2. Parcel Profile Report is enclosed with this memo for your reference. Additional applicable property information not included in the Parcel Profile Report is described below:
 - a. The subject property is located in the Town's General Business (B-3) District.
 - b. There is one (1) "navigable" intermittent stream along the northwest lot line.
 - c. The portion of the property within 300 ft. of the intermittent stream is located in the shoreland and Winnebago County's General Business (B-3) District.
 - d. There is a delineated wetland along the northwest lot line near the intermittent stream.
 - e. No portion of the subject property is located in floodplain.
 - f. The approximate western half of the subject property is located in the Zone 3 Outagamie County Airport Overlay Zoning District and 1,009 ft. Airport Height Limitation Zone.
 - g. The subject property is located in the Fox West Sewer Service Area and Town of Clayton Sanitary District #1.
 - h. The Future Land Use Map of the Town Comprehensive Plan identifies the subject property as being located in the Tier 1 development tier and the "Business Park" future land use category.
 - i. The proposed "Heavy Vehicle Sales and Rental" land use is a Conditional Use in the subject property's General Business (B-3) District.
3. Zoning of Surrounding Properties:
 - a. North: B-3 (General Business District)
 - b. South: B-3 (General Business District)
 - c. East: B-3 (General Business District)
 - d. West: B-3 (General Business District)

Application Details:

The applicant is proposing a heavy vehicle sales and rental development to serve Valley Truck Leasing Inc., consisting of a 14,697 sq. ft. building with internal driveway/parking areas. One (1) driveway to West American Dr. is proposed. The submitted plans identify the current proposed Phase 1 of the development and a future Phase 2 which would include additional buildings and internal driveways/parking areas. Only Phase 1 is proposed at this time and this application is only for consideration of Phase 1. A "Future Building" addition is identified on the north side of the proposed building, but is not part of Phase 1 and this application. Per the October 24th letter from J.J. Toppins, President/Owner of Valley Truck Leasing, which is included with the application submittal, Valley Truck Leasing does not sell/rent/lease anything retail, and they "are a business-to-business truck & trailer provider for other businesses that either manufacture or transport goods."

Stormwater management is proposed to be directed to the existing regional stormwater pond located north of the subject property. Three (3) dry stormwater ponds are also proposed as part of Phase 1 development.

Phase 1 of this development requires a Conditional Use Permit and Site Plan approval by the Town.

Special Standards for Principal Land Uses:

Special standards for the "heavy vehicle sales and rental" land use are found in Sec. 9.08-291, as follows:

1. Outdoor display areas and other activity areas shall be located at least... 25 feet from a property in a commercial or mixed-use zoning district.

Rental/lease parking is proposed approximately 15 ft. +/- from the east property line and approximately 19 ft. +/- from the south property line. **It is staff's opinion that the parking area for rental/lease vehicles would not be considered an "outdoor display or other activity area", and such parking area would not be subject to the 25 ft. setback requirement per Sec. 9.08-291. If the Plan Commission/Town Board disagrees with this interpretation, the Town may require all parking to be located a minimum of 25 ft. from the property lines.**

Special Site Design Principles and Architectural Standards

The "heavy vehicle sales and rental" land use is subject to the special site design principles and architectural standards outlined in Division 8 of Article 8 of the Town Zoning Code of Ordinances. This section of the ordinance makes reference to the following attachments of the zoning code:

- Attachment B, Horizontal Site Design Standards
- Attachment C, Architectural Design Standards
- Attachment D, Architectural and Landscape Design Zones
- Attachment E, Landscape Design Standards
- Attachment F, Environmental and Energy Efficiency (E³) Guidelines

Per Attachment D, this property is located in the Tier 1 architectural and landscape design zone.

Horizontal Site Design Standards (Attachment B):**Driveways:**

- One (1) driveway to West American Dr. is proposed.
- Per Section A (1) (e), "driveways shall not exceed a maximum width of 36 feet at their juncture with the street pavement or 30 feet in width at the public right-of-way line."
- The proposed driveway is 75 ft. wide at its juncture with the street pavement and 40 ft. wide at the public right-of-way line, which does not comply with Section A (1) (e).

The applicant is requesting a waiver to this requirement. Justification for the requested waiver is described in the submitted application materials.

Stormwater and Erosion Control:

Stormwater management is proposed to be directed to the existing regional stormwater pond located north of the subject property. Three (3) dry stormwater ponds are also proposed as part of Phase 1 development. Stormwater management and erosion control plans require review and approval by the Town and Winnebago County. Since this development involves greater than 1 acre of land disturbance, erosion control and stormwater management approval by the Wisconsin Department of Natural Resources is also required.

Architectural Design Standards (Attachment C):

The subject property is located in the Tier 1 architectural design zone per Attachment D, Architectural and Landscape Design Zones.

Exterior Wall Materials:

The proposed exterior wall materials consist of:

- Architectural VEE RIB metal wall panel (zinc gray)
- Aluminum Composite Material (ACM) wall panel (bright red)
- Concrete Masonry Unit (CMU) block (dove gray & smokey mountain)

Attachment C requires 75% or more of all exterior wall surfaces to be covered with “acceptable exterior building materials.” “Acceptable exterior building materials” listed in Attachment C include the following:

- Clay or masonry brick
- Natural or manufactured stone
- Decorative concrete masonry (sealed) with color consistent with design theme.
- Poured-in-place, tilt-up or precast architectural concrete (shall have stone, texture or coating appearance consistent with design theme)
- Glass curtain walls (Note: Glass windows and doors are not considered glass curtain walls)
- Other materials as approved by the Town Board

The only proposed exterior wall material which is considered an “acceptable exterior building material” as listed in the Attachment C is the Concrete Masonry Unit (CMU) block. Architectural VEE RIB metal wall panel and Aluminum Composite Material (ACM) wall panel are not listed as “acceptable exterior building materials”. **Applicant is requesting the Town to approve Aluminum Composite Material (ACM) wall panel as an “acceptable exterior building material”. Applicant is also requesting the Town to waive/modify the 75% “acceptable exterior building materials” requirement to allow the building’s exterior materials as proposed.**

The proposed exterior materials do not comply with the requirements of Attachment C since Architectural VEE RIB metal wall panel and Aluminum Composite Material (ACM) wall panel are proposed to cover greater than 25% of all building sides (which are not considered “acceptable exterior building materials”). The applicant is proposing the following areas/percentages of exterior materials by side of building. Exterior material area/percentage calculations are further broken down between the “office portion” and “shop portion” for the west and east sides for consideration.

North side (facing West American Dr):

Total Wall Area (excl. windows/doors) = 2,244 sq. ft

- Proposed Exterior Wall Material(s):
 - Architectural VEE RIB metal wall panel (zinc gray): 2,244 sq. ft (100%)

- Percent Acceptable Exterior Building Materials = 0%

South side (facing STH 10):

Total Wall Area (excl. windows/doors) = 1,932 sq. ft

- Proposed Exterior Wall Material(s):
 - Architectural VEE RIB metal wall panel (zinc gray): 330 sq. ft (17.1%)
 - Aluminum Composite Material (ACM) wall panel (bright red): 360 sq. ft (18.6%)
 - Concrete Masonry Unit (CMU) block (dove gray & smokey mountain): 1,242 (64.3%)
- Percent Acceptable Exterior Building Materials = 64.3% CMU block (82.9% if ACM wall panel is approved as an “acceptable exterior building material)

West side:

Total Wall Area (excl. windows/doors) = 2,830 sq. ft

- Proposed Exterior Wall Material(s):
 - Architectural VEE RIB metal wall panel (zinc gray): 1,675 sq. ft (59.2%)
 - Aluminum Composite Material (ACM) wall panel (bright red): 72 sq. ft (2.5%)
 - Concrete Masonry Unit (CMU) block (dove gray & smokey mountain): 1,083 (38.3%)
- Percent Acceptable Exterior Building Materials = 38.3% CMU block (40.8% if ACM wall panel is approved as an “acceptable exterior building material)

West Side “Office Portion” Wall Area (excl. windows/doors) = 1,119 sq. ft.

- Proposed Exterior Wall Material(s):
 - Architectural VEE RIB metal wall panel (zinc gray): 156 sq. ft (13.9%)
 - Aluminum Composite Material (ACM) wall panel (bright red): 72 sq. ft (6.4%)
 - Concrete Masonry Unit (CMU) block (dove gray & smokey mountain): 891 (79.6%)
- Percent Acceptable Exterior Building Materials = 79.6% CMU block (86.1% if ACM wall panel is approved as an “acceptable exterior building material)

West Side “Shop Portion” Wall Area (excl. windows/doors) = 1,711 sq. ft.

- Proposed Exterior Wall Material(s):
 - Architectural VEE RIB metal wall panel (zinc gray): 1,519 sq. ft (88.8%)
 - Concrete Masonry Unit (CMU) block (dove gray & smokey mountain): 192 (11.2%)
- Percent Acceptable Exterior Building Materials = 11.2% CMU block

East side:

Total Wall Area (excl. windows/doors) = 2,851 sq. ft

- Proposed Exterior Wall Material(s):
 - Architectural VEE RIB metal wall panel (zinc gray): 1,675 sq. ft (58.8%)
 - Aluminum Composite Material (ACM) wall panel (bright red): 72 sq. ft (2.5%)
 - Concrete Masonry Unit (CMU) block (dove gray & smokey mountain): 1,104 (38.7%)
- Percent Acceptable Exterior Building Materials = 38.7% CMU block (41.2% if ACM wall panel is approved as an “acceptable exterior building material)

East Side “Office Portion” Wall Area (excl. windows/doors) = 1,140 sq. ft.

- Proposed Exterior Wall Material(s):
 - Architectural VEE RIB metal wall panel (zinc gray): 156 sq. ft (13.7%)

- Aluminum Composite Material (ACM) wall panel (bright red): 72 sq. ft (6.3%)
- Concrete Masonry Unit (CMU) block (dove gray & smokey mountain): 912 (80%)
- Percent Acceptable Exterior Building Materials = 80% CMU block (86.3% if ACM wall panel is approved as an “acceptable exterior building material”)

East Side “Shop Portion” Wall Area (excl. windows/doors) = 1,711 sq. ft.

- Proposed Exterior Wall Material(s):
 - Architectural VEE RIB metal wall panel (zinc gray): 1,519 sq. ft (88.8%)
 - Concrete Masonry Unit (CMU) block (dove gray & smokey mountain): 192 (11.2%)
- Percent Acceptable Exterior Building Materials = 11.2% CMU block

Applicant is requesting the Town to approve Aluminum Composite Material (ACM) wall panel as an “acceptable exterior building material”. Applicant is also requesting the Town to waive/modify the 75% “acceptable exterior building materials” requirement to allow the building’s exterior materials as proposed. Justification for the requested waiver is described in the submitted application materials. Attachment C allows the Town to waive/modify architectural design standards via the following provision:
“Should a particular parcel present an undue hardship or needs arise to mitigate adjoining land use impacts, the Town Board may modify provisions of these regulations so long as the intent is protected and such modifications are not utilized in significant fashion as to warrant revision.”

Roofing Materials:

The proposed roofing material is standing seam Acrylic Coated Galvalume metal roof panels. “Architectural metal roof panels” is listed as an acceptable roofing material per Sec. A. (1) (c).

Per Sec. A. (1) (c), the proposed roof material shall have a Solar Reflective Index (SRI) of 78 or higher. The SRI for the proposed roof material is 65 which does not comply with the Town’s SRI requirement. **Applicant is requesting a waiver to this requirement. Justification for the requested waiver is described in the submitted application materials.**

Sustainable Design:

Sec. A. (11) states: *“It is the intent of the Town of Clayton to encourage sustainable development and design. Sustainable design reduces dependency upon energy and impact on the environment while meeting development needs of the community. While certification to a specific environmental standard (e.g., LEED, Green Globe, Energy Star) is not required, the site plan review process will include review of a project’s adherence to Attachment F, Environmental and Energy Efficiency (E3) Guidelines, of this Chapter. Projects that aim to meet an established, specific environmental standard such as those named above are strongly encouraged.”*

Exceptions:

Attachment C allows the Town to waive/modify architectural design standards via the following provision:

“Should a particular parcel present an undue hardship or needs arise to mitigate adjoining land use impacts, the Town Board may modify provisions of these regulations so long as the intent is protected and such modifications are not utilized in significant fashion as to warrant revision.”

Landscape Design Standards (Attachment E):

The subject property is located in the Tier 1 landscape design zone per Attachment D, Architectural and Landscape Design Zones.

General Design Criteria:

A Landscape Plan was submitted which identifies 37% impervious surface area (63% green space) and the following landscaping materials:

- 34 evergreen trees (Colorado Blue Spruce)
- 70 medium deciduous shrubs (Red Prince Weigela)
- 20 medium evergreen shrubs (Pyramidal Thuja Arborvitae)
- 23 low deciduous shrubs (Goldflame Spirea)

Design Standards:

The following landscaping types are required per Attachment E:

- Parking Lot Landscaping
- Screening Requirements (i.e., screening around service, storage, and trash collection structures and areas)
- Building and Grounds Landscaping

Parking Lot Landscaping:

Per Sec. C (1) (b) 1), *“any off street parking area in excess of 5,000 square feet shall have landscaped areas equaling not less than 15 percent of the parking area intermittently placed within the parking area or within 10 feet of the parking area perimeter.”*

- Per the submitted plans, total parking space area equals 45,008 sq. ft.
- 6,751 sq. ft. of landscaped areas are required to be intermittently placed within the parking area or within 10 feet of the parking area perimeter.

It is staff’s opinion that the proposed plans meet the intent of this requirement via tree/shrub placement and grassed areas within the parking area and within 10 feet of the parking area perimeter.

Per Sec. C (1) (b) 3) a), Parking Lot Interior Landscaping, *“one deciduous or evergreen tree shall be planted in each planting island.”*

The Landscape Plan complies with this requirement.

Per Sec. C (1) (b) 3) b), Parking Lot Perimeter Landscaping, *“One (1) tall or medium deciduous or evergreen trees per 50 linear feet of parking lot perimeter shall be equally spaced around the perimeter of the parking lot.”*

The Landscape Plan proposes an adequate number of evergreen trees around the perimeter of the parking lot. However, the evergreen trees are not equally spaced around the perimeter of the parking lot, particularly on the southern side of the parking lot.

Screening Requirements:

Visual screening is required around refuse/recycling collection area. A 6 ft. tall concrete block wall with a solid vinyl gate and medium evergreen shrubs (5 ft. tall at time of planting/establishment) is proposed.

The Landscape Plan complies with this requirement.

Grounds Landscaping:

Per Sec. C. (1) (d) 1):

- *A minimum of 20 landscape points consisting of deciduous and evergreen trees shall be provided on a prorated basis for every 4,500 square feet of impervious surface area. Low deciduous trees shall not make up more than 50 percent (50%) of the total number of trees. Evergreen trees shall make up at least 15 percent (15%) of the total number of trees.*
 - Phase 1 requires 754 landscape points consisting of trees. The Landscape Plan proposes 1,020 landscape points consisting of trees.

- *A minimum of three (3) landscape points consisting of deciduous and/or evergreen shrubs shall be provided on a prorated basis for every 1,000 square feet of impervious surface area.*
 - Phase 1 requires 509 landscape points consisting of shrubs. The Landscape Plan proposes 519 landscape points consisting of shrubs.

The Landscape Plan complies with these requirements.

Building Landscaping:

Per Sec. C. (1) (d) 2), *“75% of all building sides must be landscaped with a variety of appropriate plant materials in a wood mulch or stone landscaping bed which is a minimum of 6’ wide measured from building façade.”*

The Landscape Plan does not comply with this requirement.

Ground Sign Landscaping:

Signage plans and ground sign landscaping plans were not submitted.

Modifications of Standards:

Sec. F states: *“The Town Board shall have the authority to waive or modify the requirements and standards of this section for good cause shown by the applicant. In lieu of any modification, a substitution of higher standards or inclusion of E3 components described in Attachment F can be required by the Town Board to offset any corresponding waiver or modification. Documentation of any modification shall be on file at the Town of Clayton and available for public review.”*

Environmental and Energy Efficiency (E³) Guidelines (Attachment F):

The E³ standard is strongly recommended, but not required. Per review of the application materials, the following E³ components are included in this development:

- Increase number of plants. The total number of trees and shrubs required for “grounds landscaping” exceeds minimum requirements
- Storm sewer piping. Only hard piping of stormwater directly off-site is proposed to the stormwater pond located north of the subject property which is anticipated to be approved by the Town & County.
- Minimize sprawl. Development is proposed within 1/8 mile of existing commercial development.
- Light Pollution. Proposed lighting is further reduced beyond current ordinance requirements.
- Minimize impervious surfaces. Proposed impervious surface percentage is less than 37% which is well below the maximum 70% requirement.

Outside Storage of Equipment, Products, and Materials (Sec. 9.08-208):

- Section 9.08-208 (a) (5) states: *“Outside storage shall not be located in a street yard adjacent to U.S. Highway 10... and West American Drive.”*
- “Street yard” is defined as: *“that area that extends across the front of a lot between the side lot lines from the front lot line to the front of the principal building.”* This means the area from the building to the U.S. Highway 10 right-of-way line and from the building to the West American Drive right-of-way line.
- Section 9.08-208 (c) (2) states: *“The Town Board shall have the authority to waive or modify the requirements... for good cause demonstrated by the applicant. If waiver or modification is granted, additional landscaping requirements may be applied to address buffering concerns.”*

Applicant is proposing outside storage of rental/lease trucks and trailers in the street yards adjacent to both U.S. Highway 10 and West American Drive. **Applicant is requesting a**

waiver to this requirement. Justification for the requested waiver is described in the submitted application materials.

Exterior Lighting (Sec. 9.08-210):

A revised lighting plan was submitted on December 7, 2023 identifying building-mounted and freestanding fixtures. The lighting plans comply with Sec. 9.08-210.

Comprehensive Plan Considerations:

- The Future Land Use Map of the Town Comprehensive Plan classifies this parcel as being in the “Business Park” future land use category.
- “Business Park” Future Land Use Category Description:
“Located along the north and south sides of USH 10, between STH 76 and Clayton Avenue, this district contains much of the visible property that fronts the USH 10 corridor. The accessibility and visibility of these lands is attractive to commercial land uses... Planned light industrial uses are also included in the Clayton Business Park North area primarily due to restrictions imposed on uses within the Airport Zoning Overlay. Examples could include warehousing, distribution centers, and light manufacturing...”

New businesses within this area should be regional in nature and require high-levels of access to the USH 10 and I-41 transportation corridors. New development driven solely by USH 10 traffic counts (i.e. car, boat, RV, trailer dealerships, etc.) shall be discouraged. Instead, high-value employment firms with professional offices, medical and dental facilities, and related uses that attract users to and from the Friendship Trail should be considered within this district.”

Please note that per §66.1001 (2m) (b) of Wisconsin Statutes states: *“A conditional use permit that may be issued by a political subdivision does not need to be consistent with the political subdivision's comprehensive plan.”*

Staff Comments, Basis of Decision, & Suggested Conditions:

Requested Waivers/Modifications & Outstanding Items/Issues:

Plan Commission/Town Board will need to consider and discuss the following requested waivers/modifications and outstanding items/issues:

1. Driveway Width Requirements:

Applicant is requesting a waiver/modification to allow a driveway exceeding maximum driveway width requirements.

- a. Per Attachment B, maximum driveway widths are 36 ft. at its juncture with the street pavement and 30 feet at the public right-of-way line.
- b. Proposed driveway to West American Dr is 75 ft. wide at its juncture with the street pavement and 40 ft. wide at the public right-of-way line.

Staff recommends granting the waiver/modification and allowing driveway as proposed.

2. Exterior Wall Material Requirements:

Applicant is requesting the Town to approve Aluminum Composite Material (ACM) wall panel as an “acceptable exterior building material”, and a waiver/modification to the 75% “acceptable exterior building materials” requirement.

- a. Per Attachment C, “Acceptable Exterior Building Materials” shall cover 75 percent or more of all exterior wall surfaces.

- b. Only proposed exterior building material which is listed as an “acceptable exterior building material” per Attachment C is Concrete Masonry Unit (CMU) block.
- c. Proposed building identifies the following percentages of “acceptable exterior building materials”:
 - i. North Side: 0%
 - ii. South Side: 64.3% (82.9% if ACM wall panel approved as “acceptable exterior building material”)
 - iii. West Side: 38.3% (40.8% if ACM wall panel approved as “acceptable exterior building material”)
 - iv. East Side: 38.7% (41.2% if ACM wall panel approved as “acceptable exterior building material”)

Staff recommends:

- Approving Aluminum Composite Material (ACM) wall panel as an “acceptable exterior building material”; and
- Denying request for waiver/modification to the 75% “acceptable exterior building materials” requirement due to property being in the Tier 1 development zone and high level of visibility from USH 10 and West American Dr. Extensive consideration of these requirements occurred during preparation/adoption of the Site Plan Review code amendments and Town Comprehensive Plan in 2022/2023.

3. Roofing Material Requirements:

Applicant is requesting a waiver/modification to the minimum 78 Solar Reflective Index (SRI) requirement for roofing material.

- a. Per Attachment C, roof materials shall have a Solar Reflective Index (SRI) of 78 or higher.
- b. Proposed roofing material’s SRI is 65.

Staff recommends denying waiver/modification request.

4. Parking Lot Perimeter Landscaping Requirements:

- a. Per Attachment E, one (1) tall or medium deciduous or evergreen trees per 50 linear feet or parking lot perimeter shall be equally spaced around the perimeter of the parking lot.
- b. An adequate number of evergreen trees around the perimeter of the parking lot is proposed. However, the evergreen trees are not equally spaced around the perimeter of the parking lot, particularly on the southern side of the parking lot.

Plan Commission will need to review and determine if the parking lot perimeter landscaping is acceptable as proposed, or if the applicant will need to revise the landscape plan to adequately address this requirement.

5. Building Landscaping:

- a. Per Attachment E, 75% of all building sides must be landscaped with a variety of appropriate plant materials in a wood mulch or stone landscaping bed which is a minimum of 6’ wide measured from building façade.
- b. 75% of all building sides are not landscaped due to overhead doors on the east and west sides of the building, and a planned future addition on the north side of the building.

Plan Commission will need to review and determine if the building landscaping is acceptable as proposed, or if the applicant will need to revise the landscape plan to adequately address this requirement.

6. Outside Storage of Equipment, Products, and Materials:

Applicant is requesting a waiver/modification to allow outside storage of rental/lease trucks and trailers in the street yards adjacent to both U.S. Highway 10 and West American Drive.

- a. Per Section 9.08-208, outside storage shall not be located in a street yard adjacent to U.S. Highway 10 and West American Drive.
 - b. Applicant is proposing outside storage of rental/lease trucks and trailers in the street yards adjacent to both U.S. Highway 10 and West American Drive.
7. Exterior Lighting:
Applicant has not submitted documentation verifying exterior lighting fixtures are certified by the International Dark-Sky Association (IDA) as dark sky compliant.
- a. Per Section 9.08-209, exterior lighting shall be certified by the International Dark-Sky Association (IDA) as dark sky compliant.

Basis of Decision:

Conditional Use:

The Town, in making its decision, shall consider the following factors:

1. the size of the parcel on which the proposed use will occur;
2. the presence of and compatibility with other uses on the subject property;
3. the location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses);
4. effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site;
5. the suitability of the subject property for the proposed use;
6. effects of the proposed use on the natural environment;
7. effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances;
8. effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts; and
9. any other factor that relates to the purposes of this chapter as set forth in s. 9.01-5 and other sections as may apply.

Please note that §62.23 (7) (de) of Wisconsin Statutes states:

- 2. a.: *“If an applicant for a conditional use permit meets or agrees to meet all of the requirements and conditions specified in the city ordinance or those imposed by the city zoning board, the city shall grant the conditional use permit. Any condition imposed must be related to the purpose of the ordinance and be based on substantial evidence.”*
- 2. b.: *“The requirements and conditions described under subd. 2. a. must be reasonable and, to the extent practicable, measurable and may include conditions such as the permit’s duration, transfer, or renewal. The applicant must demonstrate that the application and all requirements and conditions established by the city relating to the conditional use are or shall be satisfied, both of which must be supported by substantial evidence. The city’s decision to approve or deny the permit must be supported by substantial evidence.”*
- 1. b.: *“Substantial evidence” means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion.”*

It is staff’s opinion that the Conditional Use Permit may not be denied solely based on inconsistency with the Town Comprehensive Plan/Future Land Use category. Any denial shall be supported by “substantial evidence” pursuant to §62.23 (7) (de), Wisconsin Statutes.

Site Plan Review:

The Town, in making its decision, shall consider the following factors:

1. Effects of the project on traffic safety and efficiency and pedestrian circulation, both on-site and off-site;
2. Effects of the project on the natural environment;
3. Effects of the project on surrounding properties, including but not limited to operational considerations relating to hours of operation and creation of potential nuisances such as noise, odor, fumes, dust, and light;
4. Compliance with the Special Site Design Principles and Architectural Standards described in Division 8 of Article 8;
5. Compliance with other applicable requirements contained in this Chapter; and
6. Any other factors that relate to the purposes of this Chapter as set forth in section 9.01-05 and other applicable sections.

Staff Recommendation & Suggested Conditions:

If the Town determines that the driveway widths, exterior wall materials, roofing material, landscaping, outside storage of rental/lease trucks and trailers, and overall site plan are adequate, as proposed, it is staff's opinion that the Town may approve the conditional use permit and site plan.

The following are possible conditions of approval that may be relevant to ensure compliance with ordinance requirements:

1. This permit/approval is only for Phase 1 of this development. Any future addition(s)/expansion(s) of this use/development shall require a new Conditional Use Permit and Site Plan Review in accordance with the Town Zoning Ordinance.
2. The project shall comply with all applicable local, state, and federal codes/ordinances.
3. Outagamie County permit/approval for development in the Airport Overlay Zoning District shall be obtained prior to commencing construction.
4. Winnebago County and Wisconsin Department of Natural Resources permits/approvals for stormwater management and erosion control shall be obtained prior to commencing construction.
5. Any proposed signage shall comply with the applicable requirements of Article 12 and Attachment E of the Town Zoning Ordinance.
6. Any substantial changes and/or additions to the site plan and/or building plans shall be reviewed and approved by the Plan Commission and Town Board in accordance with the Town Zoning Ordinance. Determination of whether a change or addition is substantial shall be at the discretion of the Town Administrator.

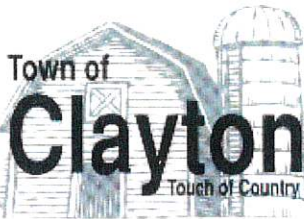
SUGGESTED MOTION(S)

Business Item A: *Motion to recommend approval of the Conditional Use Application submitted by Utschig Inc on behalf of Last Time Realty LLC with the condition that the proposed development obtain Site Plan Approval pursuant to Division 13 of Article 7 of the Town Zoning Ordinance, and shall comply with all conditions of any Site Plan approval.*

Business Item B: *Motion to recommend approval of the Site Plan Application submitted by Utschig Inc on behalf of Last Time Realty LLC with all listed Staff Recommendations & Conditions.*

Respectfully Submitted,
Kelsey

CONDITIONAL USE APPLICATION



8348 County Road T, Larsen WI 54947
Phone - 920-836-2007 Fax - 920-836-2026
Email - clerk@townofclayton.net Web Page - www.townofclayton.net

Property Owner(s): Last Time Reality, LLC - "JJ Toppins"
Address/Zip: N1565 Meadow Park Dr. Greenville, WI 54942
Phone: 920-841-9710 Fax: - E-Mail: jj@valleytruckleasingl.com

Applicant: Ltschig Inc.
Check: Architect Engineer Surveyor Attorney Agent Owner

Address/City/Zip: N1040 Craftsman Dr. Greenville WI, 54942
Phone: 920-757-0999 Fax: - E-Mail: tj@ltschiginco.com

Describe the reason for the Conditional Use: A place where new and used vehicles, such as heavy trucks and trailers, are offered for rent, sale lease, or exchange, or are taken in consignment. These vehicles will be repaired as a subordinate use.

Conditional Use Specifics: be repaired as a subordinate use.
No. of Lots: 1 Total Acreage: 10.68 Tax Key No.: 03410Z CSM 7607

Legal Description: PT NE & PT NW SE DESC AS LOT 2 OF CSM-7607
Current Zoning: B-3

I certify that the attached drawings are to the best of my knowledge complete and drawn in accordance with all Town of Clayton codes.

Applicant Signature: [Signature] Date: 11-7-2023

For Town Use Only

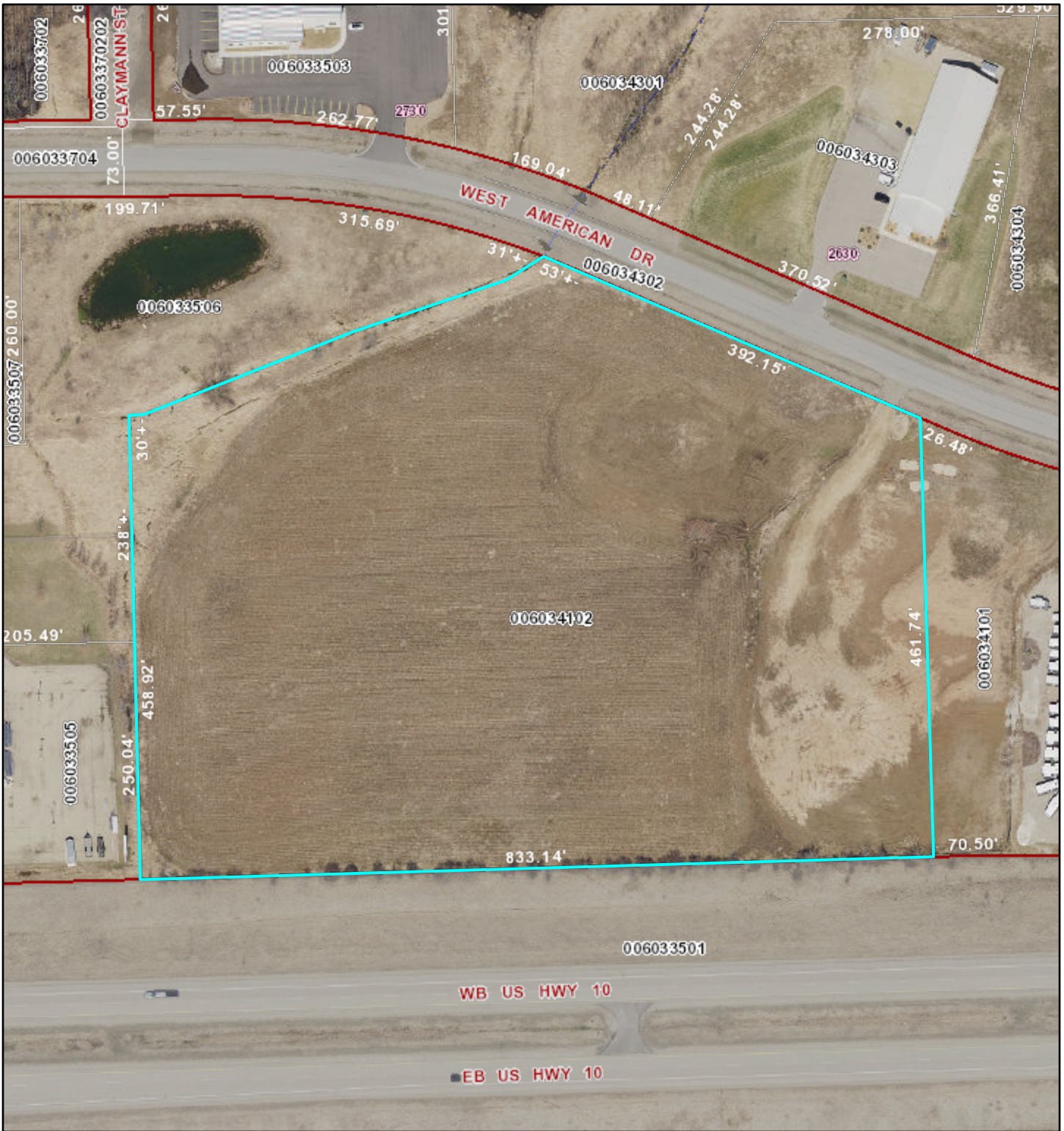
Fee (see Town Fee Schedule)

Fee: 8300 — Check # 21914 Receipt _____ Date 11/6/23
Date Received Complete 11/8/23 By [Signature] CUP No. _____
Review Meetings – Plan Comm _____ Town Board _____
Newspaper Publication Dates _____ & _____ Posting Date _____
300' Neighborhood Notice Distribution _____
Conditional Use is: Approved _____ Denied _____
Comments _____

Notes: 1. Please notify utility companies regarding your proposed development. 2. A Conditional Use approval does not constitute approval of a building permit or any required approval of a highway connection permit. 3. A Conditional Use Application & Fee must be submitted 20 working days prior to meeting.

Valley Truck Leasing CUP/SPR - Aerial Map 1

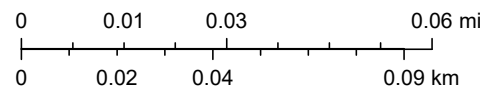
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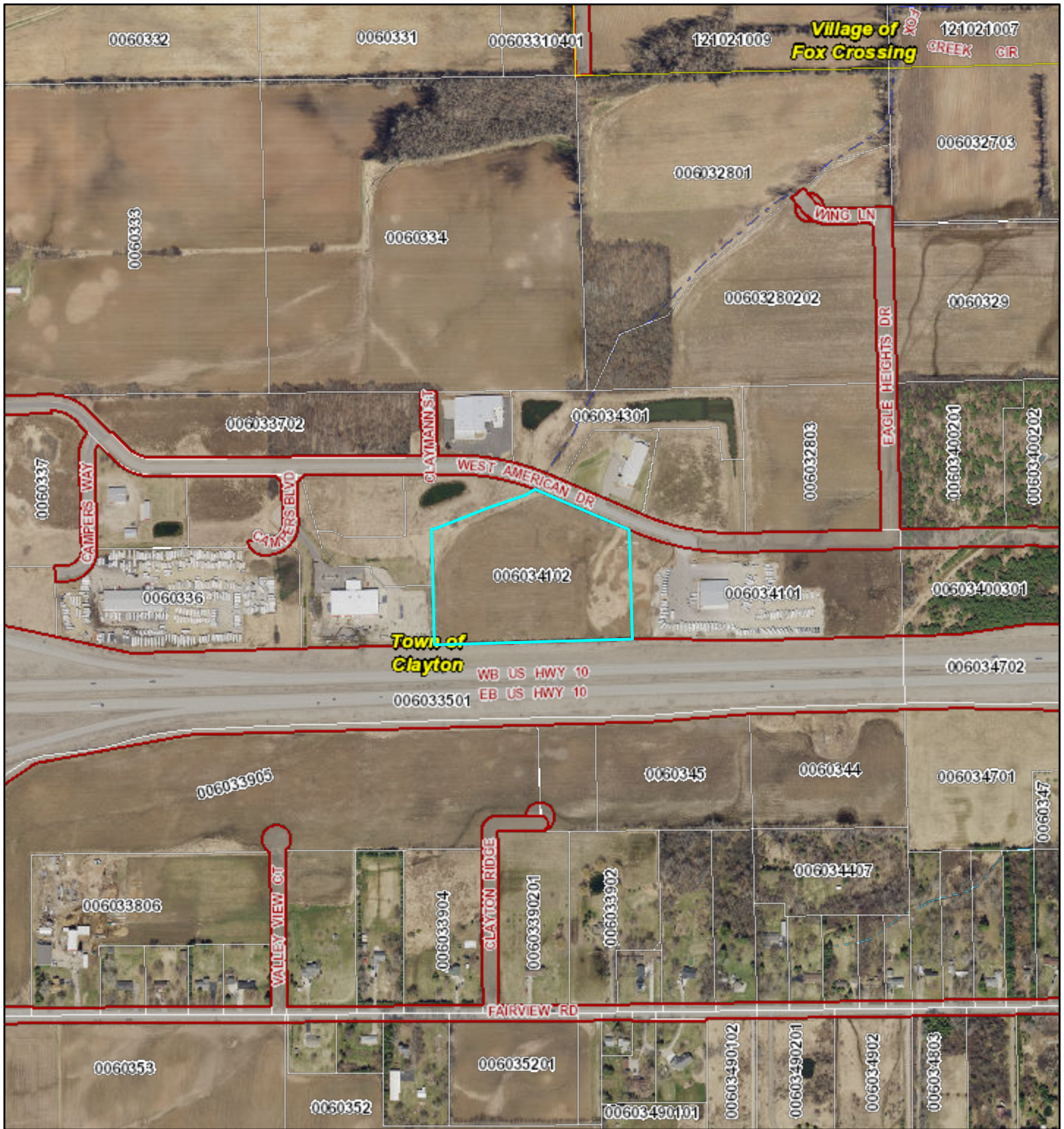
- | | |
|--------------------------------------|------------------------------------|
| Adjacent Counties | Navigable - Permanent (checked) |
| Lakes, Ponds and Rivers | Navigable - Intermittent (checked) |
| Navigable Waterways | Navigable - Stream (checked) |
| Navigable - Permanent (unchecked) | Tax Parcel Boundary |
| Navigable - Intermittent (unchecked) | Road ROW |
| Navigable - Stream (unchecked) | Municipal Boundary |



Winnebago County GIS, Imagery Date: April 2020











Valley Truck Leasing CUP/SPR - Aerial Map 2

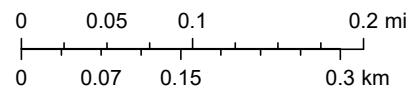
Item A.



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- | | |
|---|--|
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|  Lakes, Ponds and Rivers |  Navigable - Intermittent (checked) |
| Navigable Waterways | |
|  Navigable - Permanent (unchecked) |  Tax Parcel Boundary |
|  Navigable - Intermittent (unchecked) |  Road ROW |
|  Navigable - Stream (unchecked) |  Municipal Boundary |

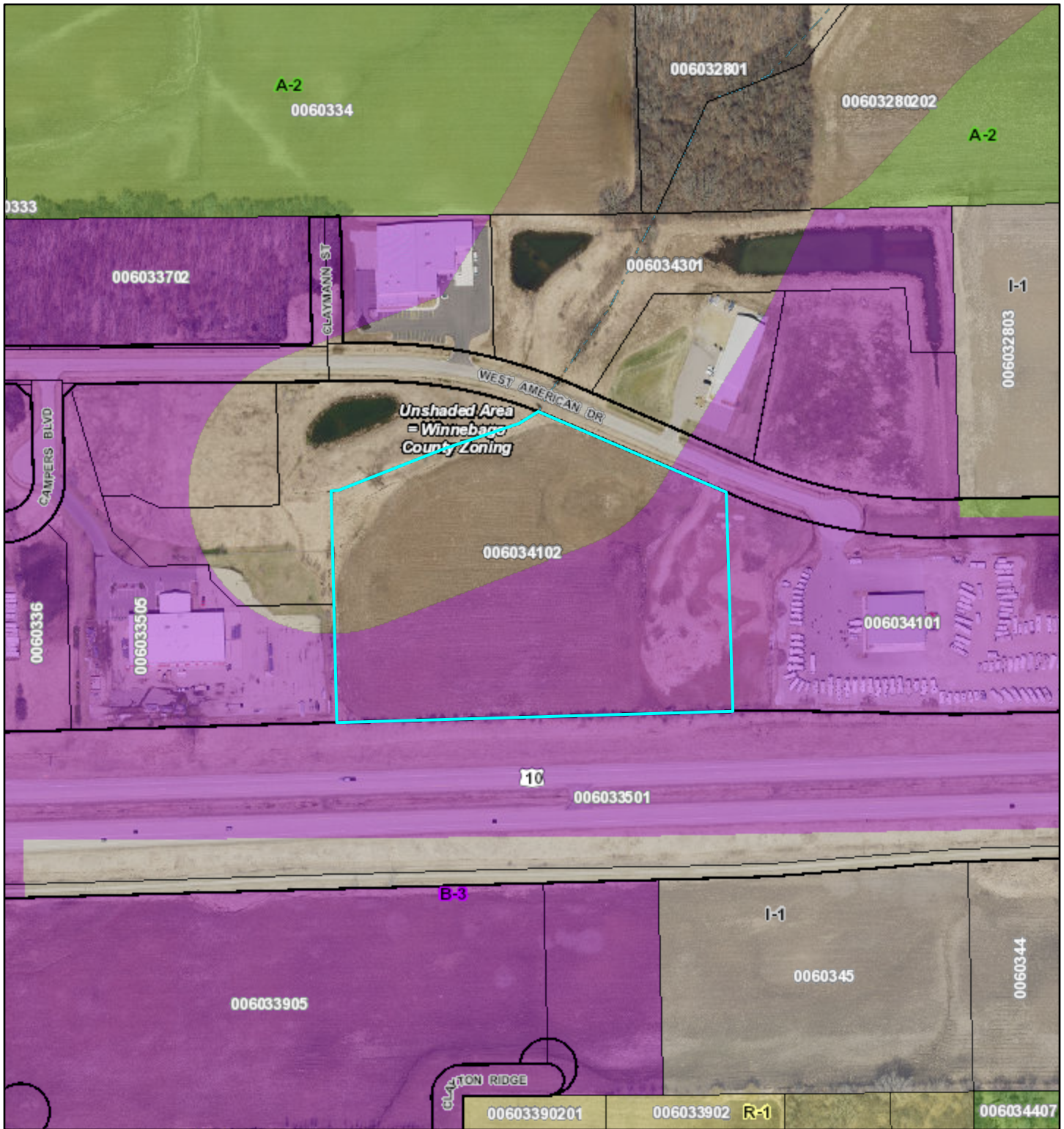


Winnebago County GIS, Imagery Date: April 2020

21

Valley Truck Leasing CUP/SPR - Town Zoning Map

Item A.



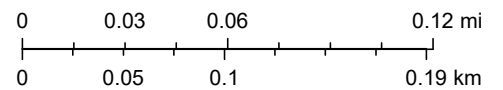
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District Code / Description

- A-1 - Agribusiness
- A-2 - General Agriculture
- R-1 - Rural Residential
- R-2 - Suburban Residential
- R-3 - Two-Family Residential
- R-4 - Multifamily Residential

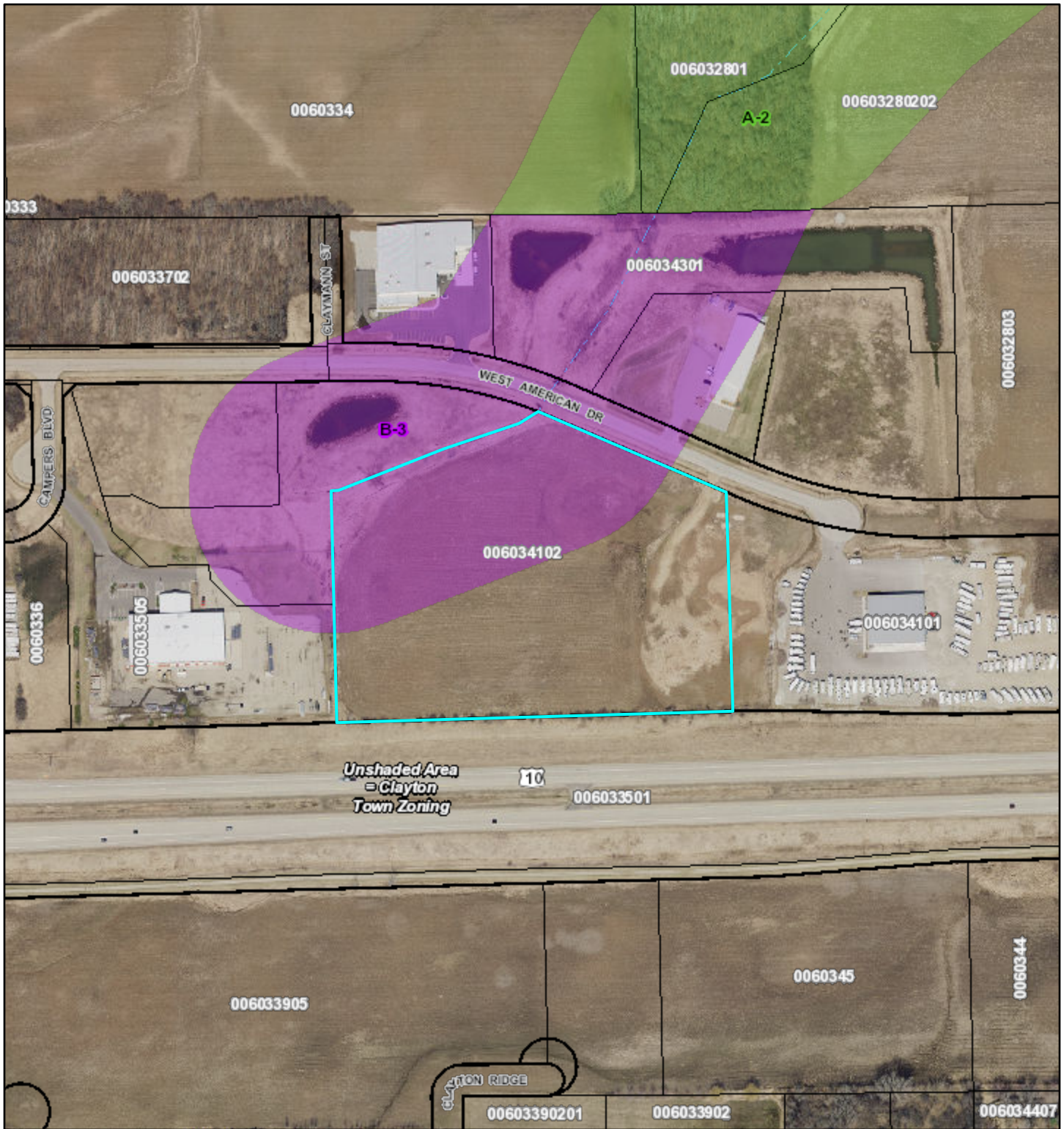
- R-8 - Manufactured Housing Community
- PDD - Planned Development
- B-1 - Local Service Business
- B-2 - Community Business
- B-3 - General Business
- P-I - Public Institutional
- I-1 - Light Industrial



Winnebago County GIS, Imagery Date: April 2020

Valley Truck Leasing CUP/SPR - County Zoning Map

Item A.



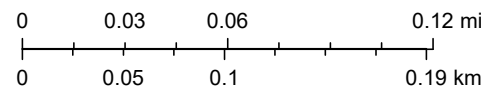
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District Code/Description

- R-1 - Rural Residential
- R-2 - Suburban Residential
- R-3 - Two-Family Residential
- R-4 - Multi-Family Residential
- R-8 - Manufactured/Mobile Home Community
- PDD - Planned Development District

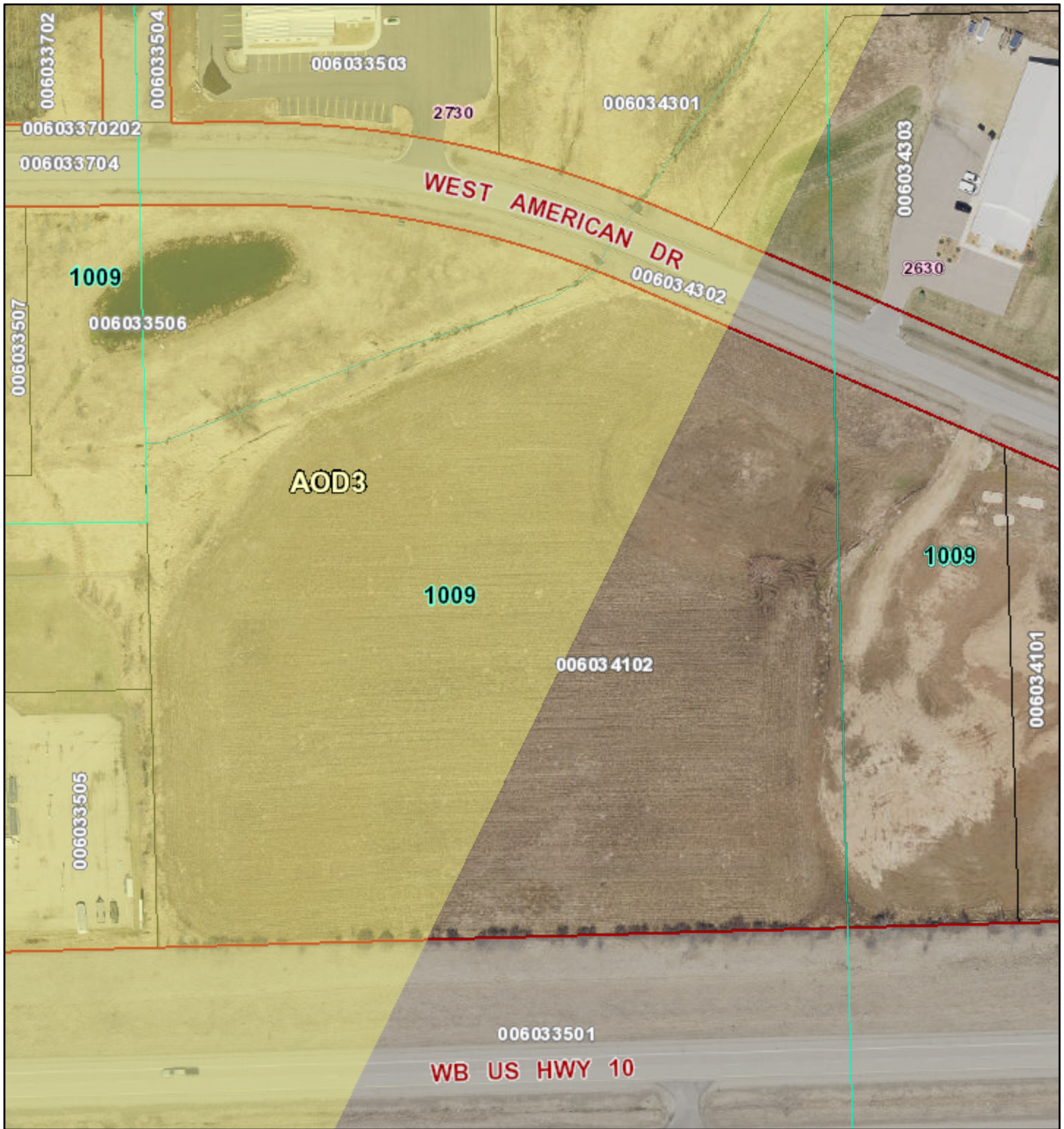
- B-1 - Local Service
- B-2 - Community Business
- B-3 - General Business
- I-1 - Light Industrial
- I-2 - Heavy Industrial
- A-1 - Agribusiness
- A-2 - General Agriculture



Winnebago County GIS, Imagery Date: April 2020

Valley Truck Leasing CUP/SPR - Airport Zoning Map

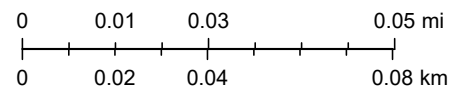
Item A.



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- | | | |
|--------------------------|--------------------------------|--------------------------|
| Adjacent Counties | AIR-2 | AOD3 |
| Tax Parcels | AIR-3 | AOD3A |
| Waterways | Appleton International Airport | Wittman Regional Airport |
| Road ROW | AOD1 | |
| Wittman Regional Airport | AOD2(A) | |
| AIR-1 | AOD2(B) | |



Winnebago County GIS, Imagery Date: April 2020



Site Plan Review Application
Town of Clayton

Mail: 8348 County Road T, Larsen, WI 54947
Phone: 920-836-2007 Fax: 920-836-2026
Email: administrator@townofclayton.net
Web Page: www.townofclayton.net

Contact Information

Arch. - Utschig - Jeremy Wesener
Civil - Civil Fox Engineering, LLC

Property Owner: Last Time Reality, LLC
Company: _____
Address: 11565 Meadow Park Drive
City/St/Zip: Greenville, WI 54942
Phone/Fax: 920-841-9710
Email: jj@Valleytruckleasing.com

Engineer/Architect: _____
Company: Utschig Inc.
Address: 11040 Craftsmen Dr.
City/St/Zip: Greenville, WI 54942
Phone/Fax: 920-757-0999
Email: tj@Utschig Inc. com

Property Information

Project Name: Valley Truck Leasing Inc.
Site Address: _____ Tax/Parcel ID: 006-034102 CSM 7607
Site Zoning: B-3
Surrounding Land Uses: North: B-3
South: State Highway
East: B-3
West: B-3

Proposed Use: Semi-Truck and Trailer Rental and Leasing Company
5-Locations w/ Appleton being VTL's Headquarters
Proposed Zoning: Commercial
Lot Size: 10.68 AC. Structure Size: 14,696.5 SF. Addition: 6,825 SF.
Project Schedule: Break Ground April 1st 2024 Occupancy Nov. 1st 2024

Submittal Fees and Requirements

See Application Checklist for Additional Information
Please make checks payable to the Town of Clayton

Fees ^{\$} 950 OK 61901 recd 11/2/23 9.157 over

- Fees are based on Actual Review Costs (See Fee Schedule) and will be determined prior to approval.
- Storm Water & Erosion Control fees are based on Winnebago County Zoning Department fee schedule.

Plan of Operation

- Letter describing the business

Site Plan, Architectural Plan, Utility Plan (if applicable), Landscaping Plan

- Meets the requirements of the Town's Zoning Code of Ordinances Article 7, Division 13
- Meets the requirements of the Town's Subdivision Ordinance
- Submit 1 Hard Copy w/application and email an 11 x 17 copy

Signatures

By the execution of this application, applicant hereby authorizes the Town of Clayton or its agents to enter upon the property during the hours of 7:00 AM to 7:00 PM daily for the purpose of inspection. Applicant grants the Town of Clayton or its agents even if applicant has posted this land against trespassing pursuant to Sec. 943.13 Wis. Stats.

Signature: [Signature] Pres.

Date: 11-1-2023



November 22, 2023

Town of Clayton
8348 Hickory Ave
Larsen, WI 54947

Attn: Kelley Wisnefke

Re: Valley Truck Leasing

Kelley,

Valley Truck Leasing is submitting our revised plans/documents consisting of two (2) 24x36 drawings, two (2) 11x17 color drawings. Note: per your email dated November 9, 2023, the following numbered items 1, 2, 5, and 6 have been addressed on the revised submitted plans.

We are asking the Town of Clayton's planning commission to consider granting a waiver on the (3) items below that did not meet town ordinances.

#3 – Exterior wall materials do not comply with the requirements of attachment C, Architectural Design Standards, of the Town Zoning Ordinance:

North elevation is Valley Truck Leasing's future expansion wall which will be ordered with an expandable end wall frame. The projection for the future expansion is 5 years or less. At the time of expansion, we would be agreeable to have the same amount of masonry that matches the shop east and west elevations. The south elevation, if the ACM panel would be acceptable, our wall surface would be at 74.5%. The east and west office only elevations without ACM panel are 75.5%, including ACM panel 81%. Shop east and west elevations have a total of 13% acceptable building materials. It is the intent of the owner to develop Phase II per the preliminary site plan C2.0. Once the buildings have been built, driving east on West American Drive it will be hard to see the shop. Traveling west on American Drive, based on the narrow width from the building's east elevation to the east parking lot along with the additional evergreen landscape and the angle of West American Drive, it would be difficult to see the shop's east elevation. Valley Truck Leasing's design is compatible and consistent with adjacent properties, and we would ask the planning commission to waive to 75% exterior wall surface requirements on the shop portion only.

#4 – Documentation on the Solar Reflective Index (SRI) for the proposed roof material shall be provided; SRI shall be 78 or higher on roof slopes less than or equal to 2:12:

Our proposed roof slope is ½:12 using Acrylic Coated Galvalume. Using the Varco Pruden low slope color information chart (attached) our panel would have a SRI rating of 65 which is 20% less than the target 78. The only color that would qualify would be Cool Cotton White-93. The estimated upcharge for Cool Cotton White would be \$22,000.00 including custom painting the roof ridge caps that do not come in Cool Cotton White from the factory.

Note: No other building currently in the park has anything other than what we are proposing thus we would be fitting in with surrounding facilities.

#7 – Outside storage of equipment, products, and material:

Along West American Drive, if you take into consideration Valley Truck Leasing's future addition and extend a line east from its north building line, we are talking about a total of four (4) stalls along the east parking lot. We have added additional evergreen trees to create a natural vision screen for these (4) stalls. Along US Highway 10 we have added additional evergreen trees at both the west and east straight-line parking lots to create a natural vision screen. We centered the south parking lot landscape island on the buildings south elevation which will allow vehicles traveling on US10 a better view of Valley Truck Leasing's south elevation. The parking stalls both to the west and east of the buildings SW and SE corner extensions are for tractor and straight truck display. There will be no material or semi-trailers stored in this area and if business is good, very minor tractor/straight trucks will be parking in those stalls.

Thank you for considering the attached items and I look forward to discussing in more detail with the Planning Commission at the December meeting.

Respectfully Submitted,

T.J. Utschig
President
Utschig, Inc.





2 NORTH ELEVATION
A2.1 1/8" = 1'-0"



1 SOUTH ELEVATION
A2.1 1/8" = 1'-0"



3 EAST ELEVATION
A2.1 1/8" = 1'-0"



4 WEST ELEVATION
A2.1 1/8" = 1'-0"



PROPOSED NEW BUILDING FOR:
VALLEY TRUCK LEASING
AMERICAN DRIVE, APPLETON, WI
ELEVATIONS

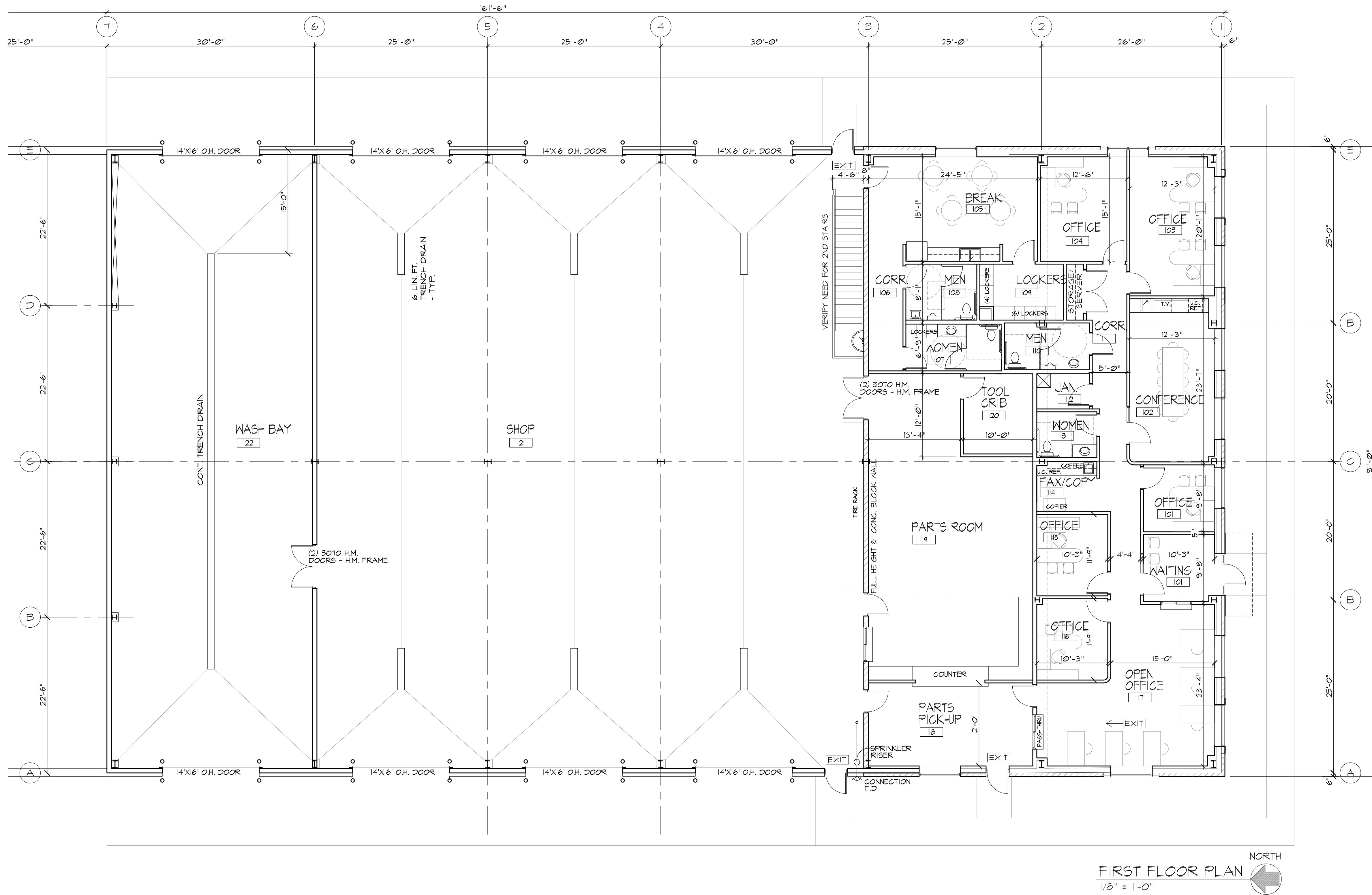
No.	Date	Description

Page Information

Drawn By	Approved By
JJW	Checker
Project No.	Date
20-000	00/00/18
Sheet No.	

A2.1

10/24/2023 2:28:21 PM



FIRST FLOOR PLAN
1/8" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

PROPOSED NEW BUILDING FOR:
VALLEY TRUCK LEASING
 AMERICAN DRIVE, NEENAH WI 54956
FIRST FLOOR PLAN

No.	Date	Description

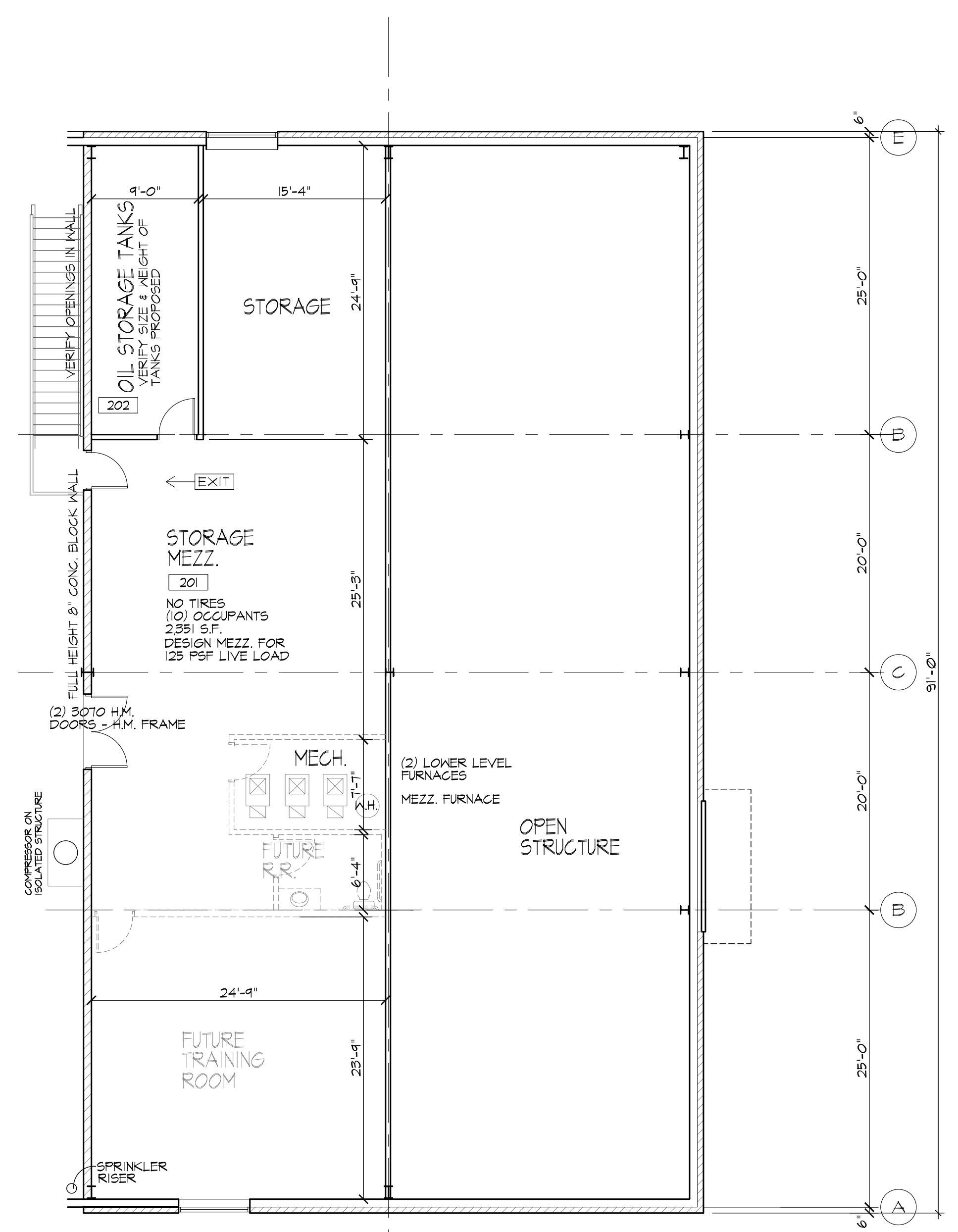
Page Information

Drawn By EAF	Approved By JJW
Project No. 23-2491	Date 10/31/23
Sheet No.	

A101



PHONE: 920.757.0999 N1040 CRAFTSMEN DRIVE
FAX: 920.757.1015 GREENVILLE, WI 54942



MEZZANINE PLAN
1/8" = 1'-0" NORTH

PRELIMINARY = NOT FOR CONSTRUCTION

PROPOSED NEW BUILDING FOR:
VALLEY TRUCK LEASING
AMERICAN DRIVE, NEENAH WI 54956
MEZZANINE PLAN

No.	Date	Description

Page Information

Drawn By EAF	Approved By JJW
Project No. 23-2491	Date 10/31/23
Sheet No.	

A102

WE ARE REQUESTING THE VILLAGE TO APPROVE THE EXTERIOR ELEVATIONS WITH LESS THAN 75% ACCEPTABLE PRIMARY ELEVATION MATERIALS, SINCE THE VILLAGE HAS THE AUTHORITY TO ALLOW A DECREASE IN THOSE MATERIALS. WE FEEL WE MEET THE ARCHITECTURAL DESIGN INTENT OF THE ORDINANCE SINCE OUR SOUTH (FRONT) ELEVATION IS DIVERSE WITH (2) TYPES OF METAL WALL PANEL, & (2) TYPES OF MASONRY. THE EAST & WEST ELEVATIONS HAVE MASONRY AT THE BASE, AND OVERHEAD DOORS TAKE UP ABOUT HALF OF THE WALLS AS ALLOWED BY ZONING. THE PRIMARY FUNCTION OF THE BUILDING IS SERVICE RELATED WHICH REQUIRED THE OVERHEAD DOORS.
 THANK YOU FOR YOUR CONSIDERATION.

Attachment C

**TOWN OF CLAYTON
 ARCHITECTURAL DESIGN STANDARDS FOR
 COMMERCIAL, OFFICE, INDUSTRIAL, MULTI-FAMILY AND
 INSTITUTIONAL DEVELOPMENT**

A. Architectural Design Standards

(1) General Design Criteria.

(a) Architectural Design Zones. Architectural design zones have been applied to the Town of Clayton to encourage appropriate development standards for regional, and community uses. Each of these zones encourages compatibility with adjacent properties that result in a positive impact on the community. Refer to Architectural Zone map for Zone A and Zone B locations. Business Fringe Zone are those properties that are identified on the Town's comprehensive land-use map as commercial, office, industrial, multi-family and institutional use, but are not located in Zone A or Zone B.

(b) Architectural Design Intent. One dominant material and theme shall be selected based upon its own natural integrity.

- Additional materials shall maintain the building theme and accentuate the dominant material.
- Materials shall convey permanence, substance, durability, timelessness and restraint, with low maintenance.
- Sustainable design principles and conservation of natural raw materials by utilizing renewable and or recycled materials.
- Building size and massing will be compatible with other structures on adjoining properties.
- Proposed building materials and colors shall be compatible with materials and colors of adjoining properties.
- Mechanical equipment that will be readily visible when viewed at ground level from other properties or from major public ways shall be softened by screening or covered in a manner that forms an integral part of the building design.
- Architectural design features shall be a part of the design that may include distinctive main building entrance features as well as reduction of apparent size of long facades by introduction of offsets, roof lines, cornice lines, or change of materials.

(c) Acceptable Roofing Materials. For roof construction provide any of the following roofing systems or materials consistent with the design theme of the building:

- Asphalt, fiber-cement, slate or wood shingles on sloped roofs.
- Architectural metal roof panels on sloped roofs or fascia.
- Roof materials shall have a Solar Reflective Index (SRI) of 29 or higher on roof slopes of greater than 2:12, or an SRI index of 78 or higher on roof slopes less than or equal to 2:12.
- Vegetated roofs that meet all applicable codes are also permitted.

(d) Acceptable Exterior Building Materials. It is the intent to create a high level of aesthetic development and to promote a positive community and regional influence. A primary (dominant) material shall be used with up to two additional secondary (accent) materials to present a consistent design theme. Proposed building materials and colors shall be compatible with materials and colors of adjoining properties. All exterior walls may be constructed with any of the following materials in the minimum amounts stated under the architectural design zone for the building:

- Clay or masonry brick
- Natural or manufactured stone

- Decorative concrete masonry (sealed) with color consistent with design theme.
- Poured-in-place, tilt-up or precast architectural concrete (shall have stone, texture or coating appearance consistent with design theme)
- Glass curtain walls
- Other materials as approved

(e) Temporary Exterior Wall Exemption. For buildings where a future addition is planned, it is not the intention of this section to limit growth within the community by requiring temporary exterior walls to be constructed of higher (acceptable) quality materials. Temporary exemption shall not exceed 10 years after original occupancy. For other than the primary street facade(s), the following materials may be considered as exceptions for temporary exterior walls:

- Non-decorative exposed concrete block where block is painted and maintained in a color consistent with the building design theme and dominant material.
- Non-flat metal panels.
- Stucco system.
- Other material as approved.

Zone "A".

(a) Exterior Materials. Acceptable Exterior Building Materials shall cover 75 percent or more of all wall surfaces. In those areas deemed to be of limited exposure to the general public, percentages may be lowered so long as the intent of this provision is maintained.

For those uses that require the location of exposed overhead or ceiling doors, and not allow for the aggregate percentages to be achieved, acceptable building materials may be lowered to accommodate their necessity. The Town Board has the authority to approve additional landscaping, acceptable material in other areas, screening, environmental and energy efficiency provisions, a reduction in the number of doors and building location within the parcel to maintain the aesthetic value of the area.

(b) Roofing Materials. For roof slopes greater than 1/2 to 12, provide any of the listed acceptable roofing materials as defined in this section.

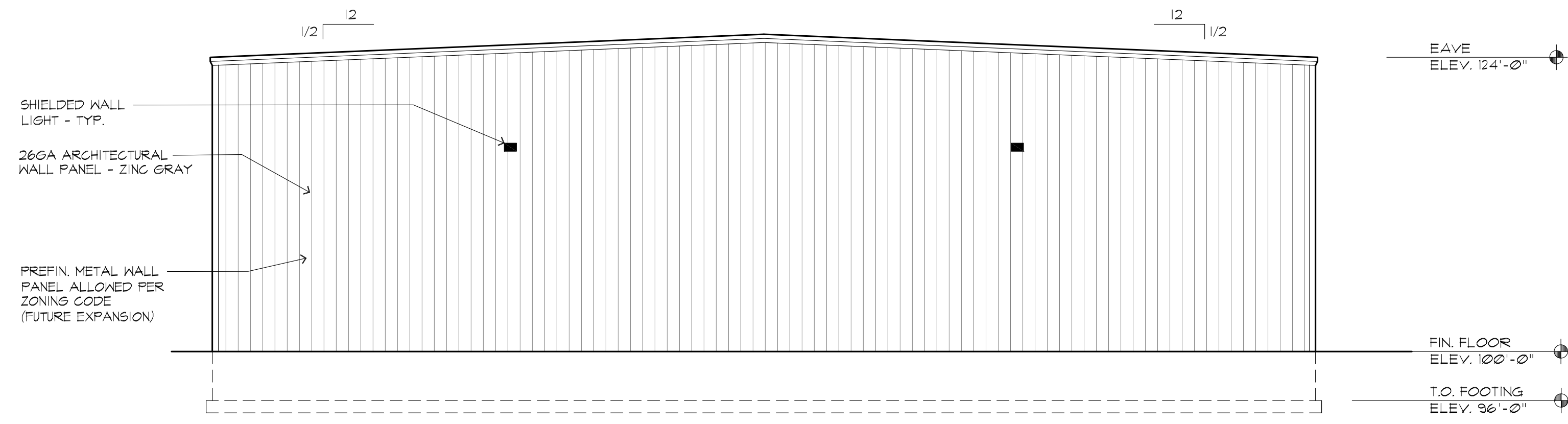
(c) Height. Heights of new structures may be no more than three (3) stories directly adjacent to residentially zoned property in addition to requirements of the zoning district and State of Wisconsin Department of Safety and Professional Services. Exception: Public and semi-public hospitals, institutions, schools or public utilities.

Zone "B".

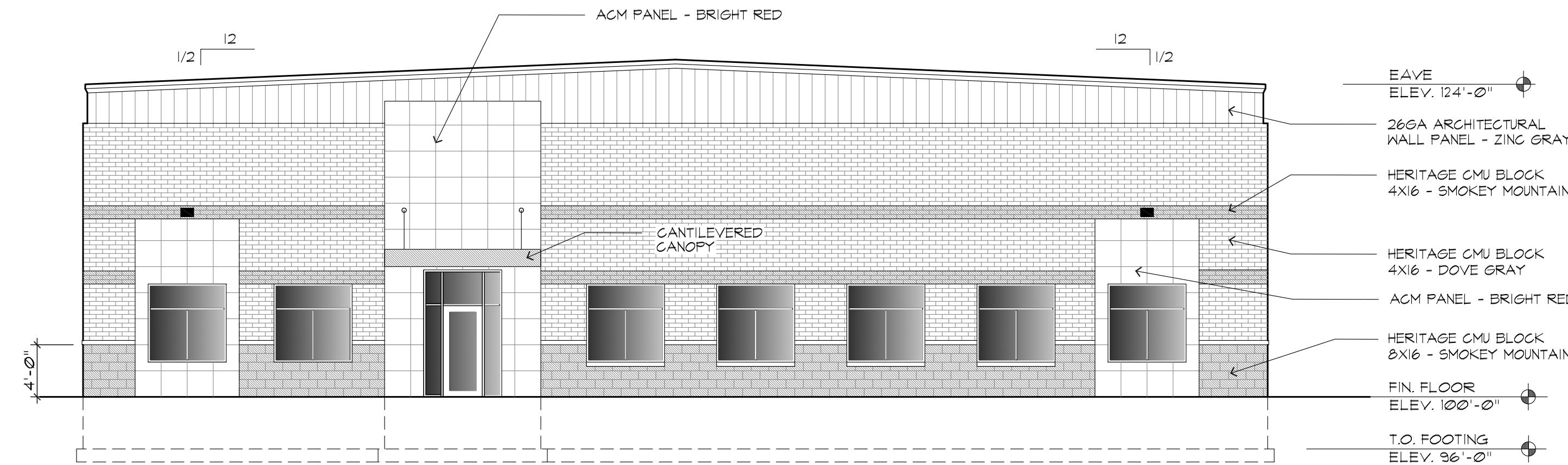
(a) Exterior Materials. Acceptable Exterior Building Materials shall cover 50 percent or more of wall surfaces facing a front yard setback, public street or highway; 33 percent or more of wall surfaces facing a side-yard setback; and 20 percent of more of wall surfaces facing a rear-yard setback. Those areas deemed to be of limited exposure to the general public percentages may be lowered so long as the intent of this provision is maintained.

For those uses that require the location of exposed overhead or ceiling doors, and not allow for the aggregate percentages to be achieved, acceptable building materials may be lowered to accommodate their necessity. The Town Board has the authority to approve additional landscaping, acceptable material in other areas, screening, environmental and energy efficiency provisions, a reduction in the number of doors and building location within the parcel to maintain the aesthetic value of the area.

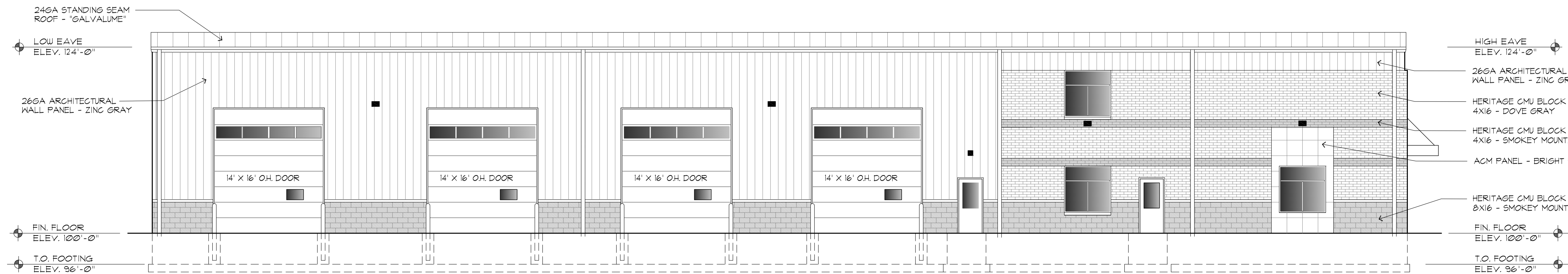
(b) Roofing Materials. For roof slopes greater than 1/2 to 12, provide any of the listed acceptable roofing materials as defined in this section.



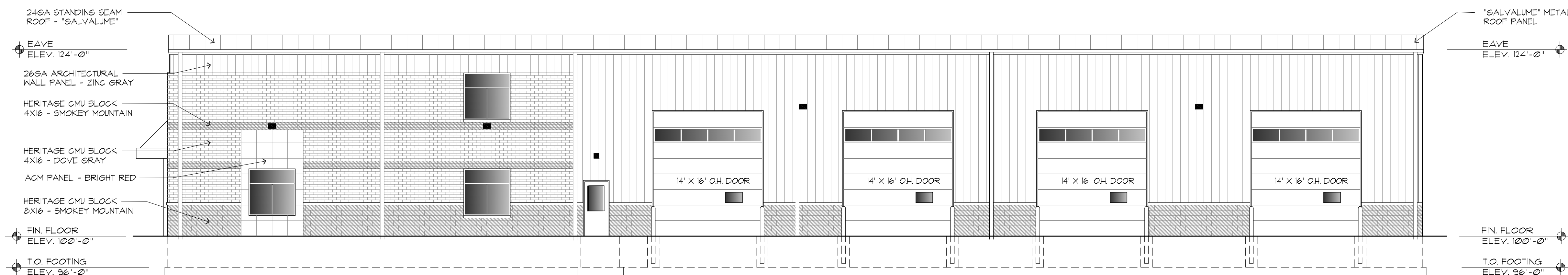
NORTH ELEVATION
 1/8" = 1'-0"



SOUTH ELEVATION
 1/8" = 1'-0"



WEST ELEVATION
 1/8" = 1'-0"



EAST ELEVATION
 1/8" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

PROPOSED NEW BUILDING FOR:
 VALLEY TRUCK LEASING

AMERICAN DRIVE, NEENAH WI 54956

BUILDING ELEVATIONS

No.	Date	Description

Page Information

Drawn By	Approved By
EAF	JJW
Project No.	Date
23-2491	10/31/23
Sheet No.	

A201

Item B.

UTSCHIG
 DESIGN · CONSTRUCTION · DEVELOPMENT
Your Construction Solution!

PHONE: 920.757.0999
 N1040 CRAFTSMEN DRIVE
 GREENVILLE, WI 54942
 FAX: 920.757.1015



11040 CRAFTSMEN DRIVE
GREENVILLE, WI 54942
PHONE: 920.757.0999
FAX: 920.757.1015

PROPOSED NEW BUILDING FOR:
VALLEY TRUCK LEASING INC.
CLAYTON, WISCONSIN

EXISTING CONDITIONS

Description
Date
No.

Page Information

Drawn By: C.J.F. Approved By: C.J.F.
Project No.: 23-2491 Date: 10/30/2023
Sheet No.

C1.0

CIVIL GENERAL NOTES

1. SURVEY WAS PERFORMED BY CIVIL FOX ENGINEERING, LLC JUNE 2023
2. SURVEY IS IN WISCONSIN COUNTY COORDINATE SYSTEM-WINNEBAGO COUNTY
3. SURVEY VERTICAL DATUM NAVD 88
4. THIS SURVEY DOES NOT GUARANTEE THE EXISTENCE/NON-EXISTENCE, SIZE, TYPE OR LOCATION OF UNDERGROUND UTILITIES. UTILITIES SHOWN ARE BASED ON ABOVEGROUND UTILITY STRUCTURES (I.E. VALVES, MANHOLES, ETC.), AND AVAILABLE UTILITY MAPS AND PLANS.
5. UNLESS OTHERWISE INDICATED, ALL EXISTING STRUCTURES AND FACILITIES SHALL REMAIN.
6. PROVIDE TURF, AS SPECIFIED TO ALL DISTURBED AREAS NOT RECEIVING PAVEMENTS, CURBS, SIDEWALKS, BUILDINGS, OR LANDSCAPING, WITHIN THE LIMITS OF CONSTRUCTION.
7. NO LAND DISTURBING ACTIVITIES SHALL TAKE PLACE UNTIL ALL TEMPORARY SOIL EROSION DEVICES ARE INSTALLED.
8. ALL GRADE TRANSITIONS BETWEEN NEW AND EXISTING SHALL BE SMOOTH AND GRADUAL WITH NO SHARP OR ABRUPT CHANGES.
9. COORDINATE THE WORK OF ALL TRADES-VERIFY ALL FIELD CONDITIONS, QUANTITIES AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE PROMPTLY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
10. EXECUTE ALL WORK WITH CARE AS TO PROTECT FROM DAMAGE ADJACENT EXISTING FEATURES TO REMAIN. ANY SUCH DAMAGE SHALL BE REPAIRED OR REPLACED TO MATCH THE ORIGINAL CONDITION AS APPROVED BY THE ARCHITECT.
11. UNLESS REFERRED TO, OR INDICATED AS "EXISTING", ALL WORK SHOWN ON THESE DRAWINGS SHALL BE CONSIDERED AS NEW AND PROVIDED UNDER THIS CONTRACT.
12. FINISHED GRADE OF TOPSOIL (AFTER COMPACTION) SHALL BE 1/2" TO 1" BELOW TOP OF ABUTTING PAVEMENTS, SIDEWALKS, AND CURBING.
13. NO DISTURBANCE SHALL OCCUR OUTSIDE OF SITE LIMITS.
14. GENERAL CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER AND MUNICIPALITY PRIOR TO ANY LAND DISTURBANCE OUTSIDE THE CONSTRUCTION LIMITS.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING WORK IN RIGHT OF WAY PERMITS.
16. NO HAZARDOUS MATERIALS WILL BE STORED ONSITE.
17. FOR LEGEND AND ABBREVIATIONS SEE SHEET T100.
18. FOR EROSION CONTROL PLAN AND NOTES SEE SHEET C5.0 AND C5.1

SITE DESCRIPTION

PT NE SW & PT NW SE DESC AS LOT 2 OF CSM-7607 TOWN OF CLAYTON, WINNEBAGO COUNTY, WISCONSIN
TAX PARCEL ID NUMBER: 006034102
ZONING: B3 GENERAL BUSINESS

LEGEND

DESCRIPTION	EXISTING	PROPOSED
CONTOUR MAJOR	500	500
CONTOUR MINOR	499	499
SANITARY SEWER	— S — S —	— S — S —
STORM SEWER	— STH — STH —	— STH — STH —
WATER MAIN	— W — W —	— W — W —
PROPERTY LINE	— P — P —	— P — P —
SILT FENCE	— S — S —	— S — S —
GRADING LIMIT	— G — G —	— G — G —
SPOT ELEVATION	EL: 100.00	EL: 100.00
HEAVY DUTY ASPHALT	[Pattern]	[Pattern]
LIGHT DUTY ASPHALT	[Pattern]	[Pattern]
CONCRETE	[Pattern]	[Pattern]
DELINEATED WETLAND	[Pattern]	[Pattern]



Know what's below.
Call before you dig.





11040 CRAFTSMEN DRIVE
GREENVILLE, WI 54942
PHONE: 920.751.0999
FAX: 920.751.1015

SITE DATA PHASE 1

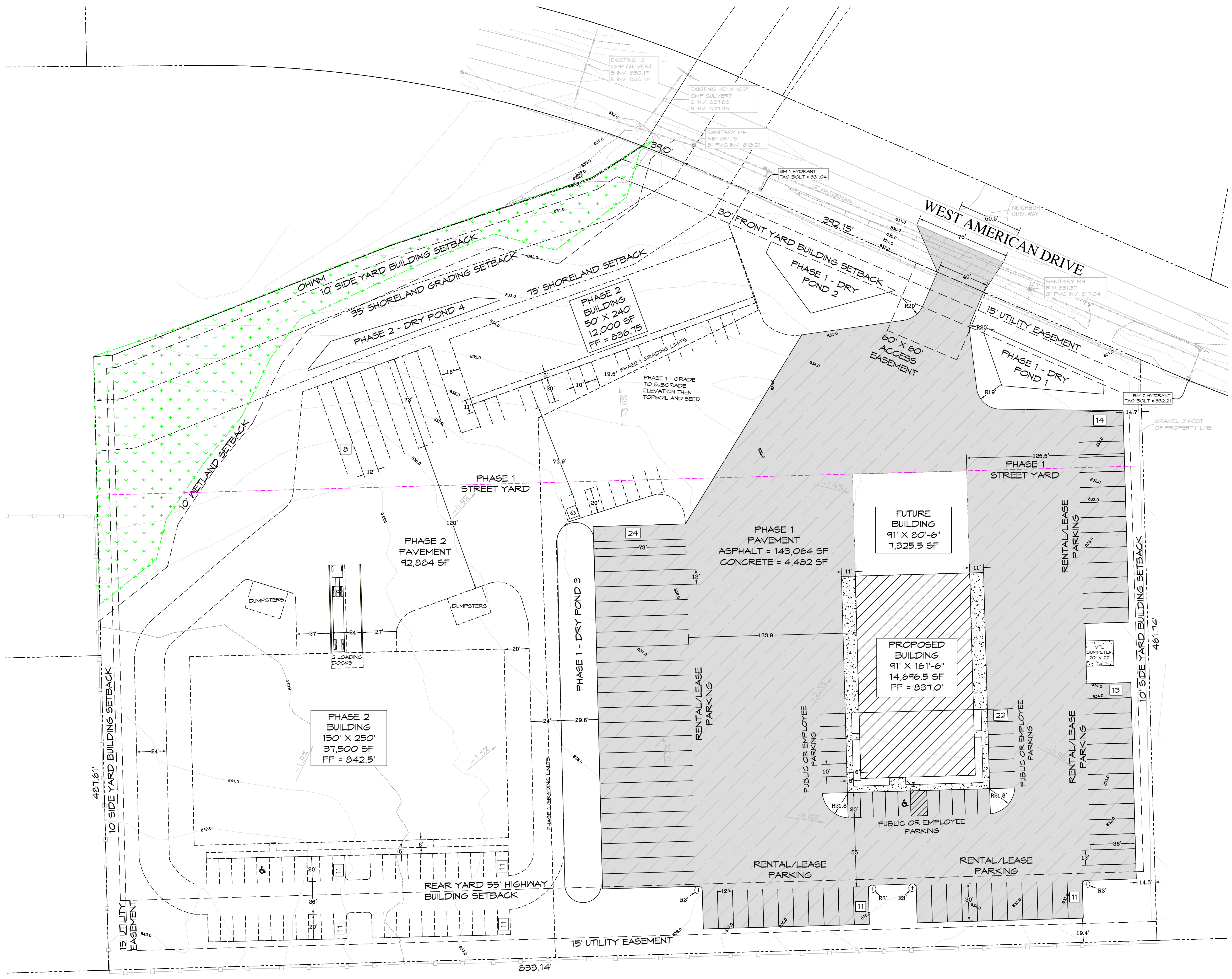
TOTAL AREA =	463,490 SQ FT
BUILDING AREA* =	22,022 SQ FT (04.75%)
PAVED AREAS =	147,546 SQ FT (31.83%)
TOTAL BUILDING & PAVED =	169,568 SQ FT (36.59%)
GREEN SPACE =	293,922 SQ FT (63.41%)

*FUTURE BUILDING AREA INCLUDED IN PHASE 1 FOR LANDSCAPE CALCULATIONS

PHASE 1 & PHASE 2 AREAS

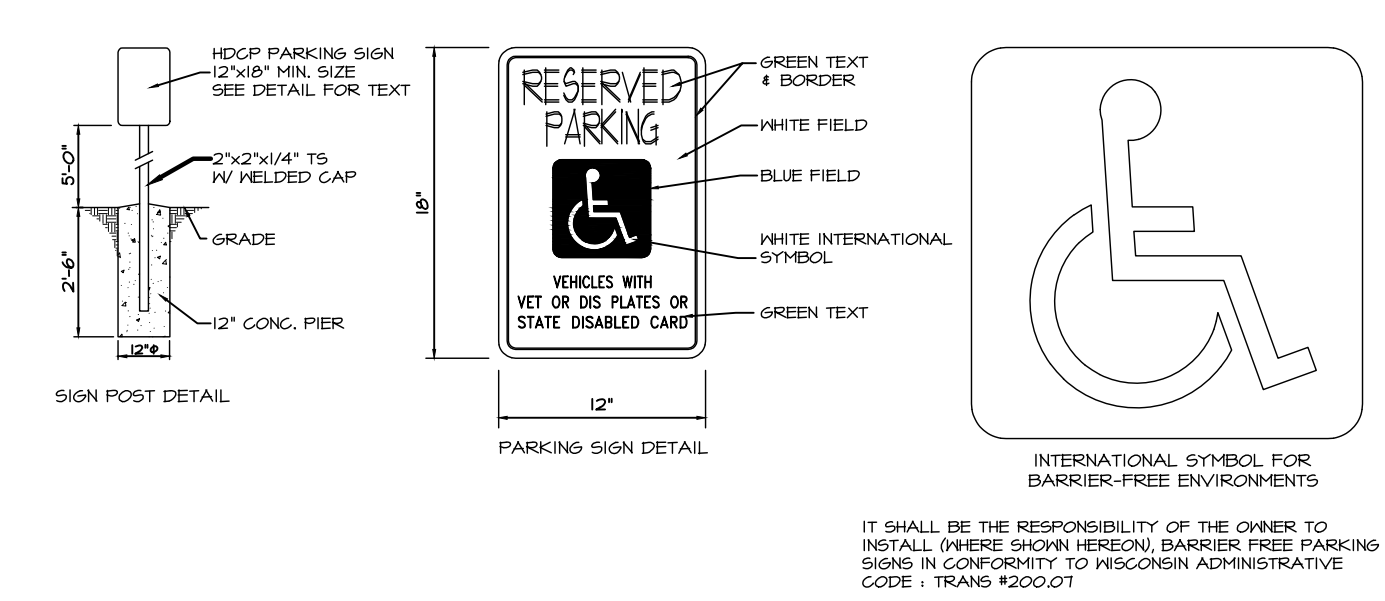
BUILDING AREA =	71,522 SQ FT (15.43%)
PAVED AREAS =	240,430 SQ FT (51.87%)
TOTAL BUILDING & PAVED =	311,952 SQ FT (67.31%)
GREEN SPACE =	151,538 SQ FT (32.69%)

NOTE:
ALL AREAS DESIGNATED AS "GREEN SPACE" SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS



BENCHMARKS

LABEL	ELEVATION	DESCRIPTION
BM 1	831.04	NW HYDRANT TAG BOLT
BM 2	832.21	NE HYDRANT TAG BOLT



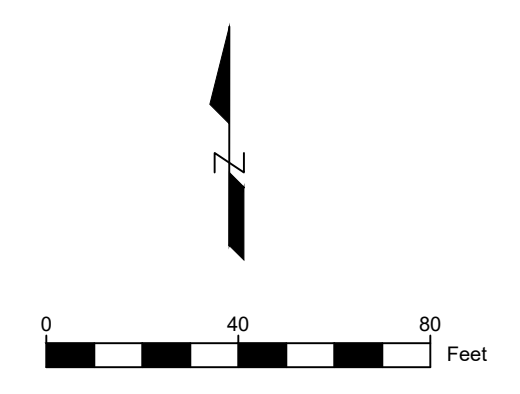
NOTE 1: HANDICAP SIGN LOCATION

2 HANDICAP SIGN
C2.0 NTS

LEGEND

DESCRIPTION	EXISTING	PROPOSED
CONTOUR MAJOR	500	500
CONTOUR MINOR	499	499
SANITARY SEWER	STM	STM
STORM SEWER	STM	STM
WATER MAIN	W	W
PROPERTY LINE	S	S
SILT FENCE	S	S
GRADING LIMIT	S	S
SPOT ELEVATION	EL: 100.00	EL: 100.00
HEAVY DUTY ASPHALT	HA	HA
LIGHT DUTY ASPHALT	LA	LA
CONCRETE	CO	CO
DELINEATED WETLAND	W	W

1 OVERALL SITE PLAN
C2.0 1" = 40'-0"



PROPOSED NEW BUILDING FOR:
VALLEY TRUCK LEASING INC.
CLAYTON, WISCONSIN

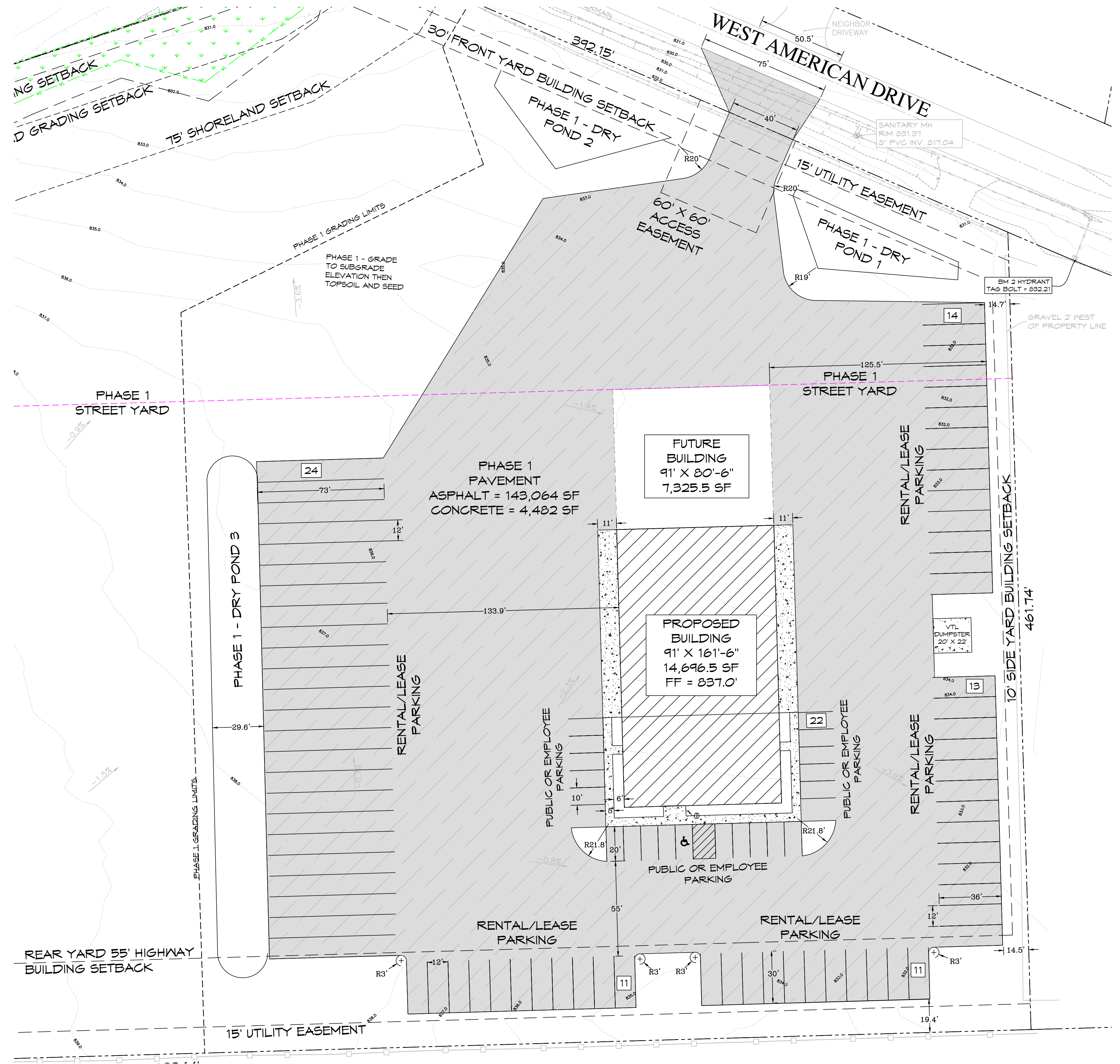
OVERALL SITE PLAN

No.	Date	Description

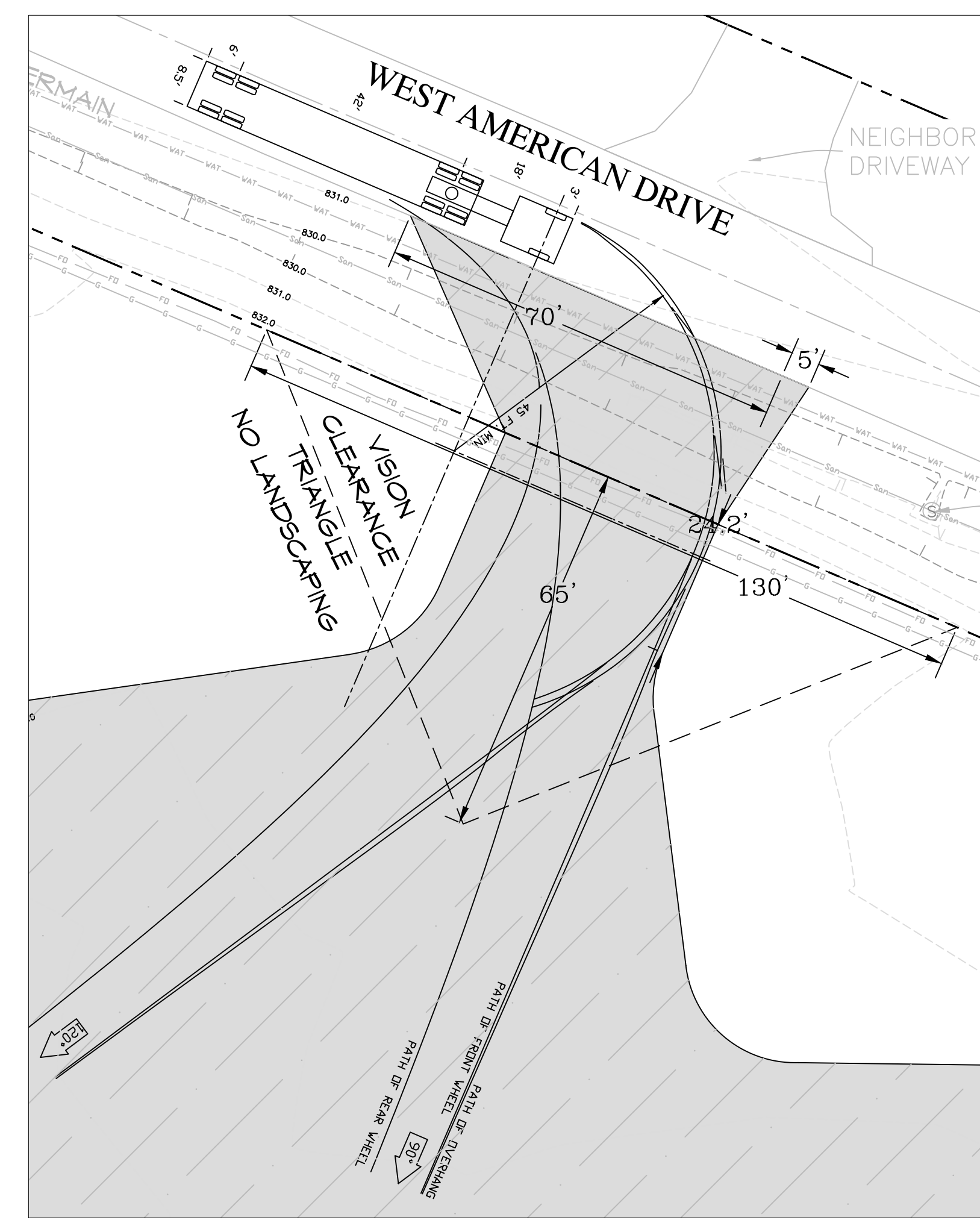
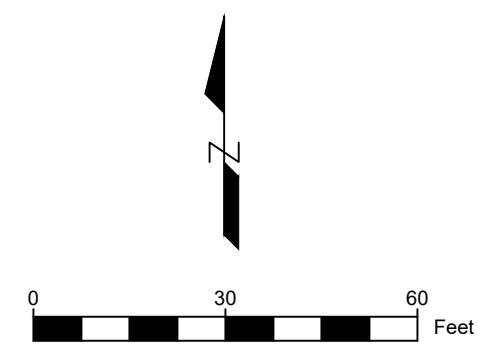
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Project No. 23-2491	Date 10/30/2023
Sheet No.	

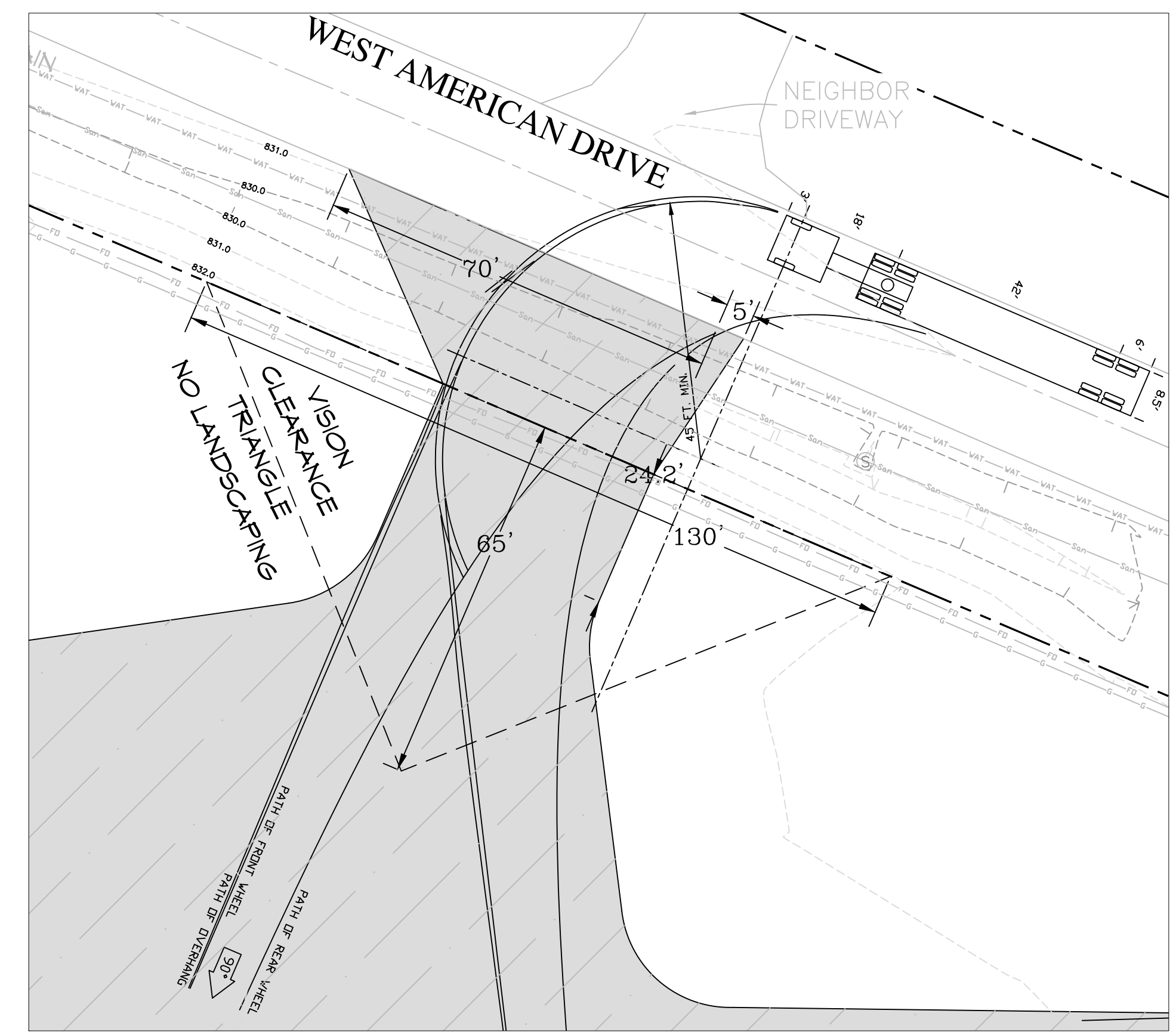
C2.0



1 PHAE 1 SITE PLAN
C2.1 1" = 30'-0"



2 PROPOSED ACCESS FROM WEST
C2.0 1" = 20'-0"



3 PROPOSED ACCESS FROM EAST
C2.0 1" = 20'-0"



Know what's below.
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PROPOSED NEW BUILDING FOR:
VALLEY TRUCK LEASING INC.

CLAYTON, WISCONSIN

PHASE 1 SITE PLAN

No.	Date	Description

Page Information

Drawn By CJF	Approved By CJF
Project No. 23-2491	Date 10/30/2023
Sheet No.	

No.	
Date	
Description	

Page Information

Drawn By	CJF	Approved By	CJF
Project No.	23-2491	Date	10/30/2023
Sheet No.			

C3.0

UTILITY NOTES:

CONTRACTOR SHALL LOCATE ALL BURIED FACILITIES PRIOR TO EXCAVATING. THIS PLAN MAY NOT CORRECTLY OR COMPLETELY SHOW ALL BURIED UTILITIES.

THE CONTRACTOR SHALL VERIFY ALL STAKING AND FIELD LAYOUT AGAINST THE PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTING THE WORK AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH DEPARTMENT OF SAFETY & PROFESSIONAL SERVICES, CHAPTER SPS 382, FOR LATERAL CONSTRUCTION AND CLEANOUT LOCATIONS.

THE CONTRACTOR SHALL COORDINATE WITH PROVIDER FOR ELECTRIC, GAS, AND TELECOMMUNICATION SERVICE CONNECTION AND RELOCATIONS.

PIPE LENGTHS ARE MEASURED TO CENTER OF STRUCTURE. ENDWALLS ARE INCLUDED IN PIPE LENGTH. CONFIRM DOWNSPOUT LOCATIONS WITH ARCHITECTURAL DRAWINGS.

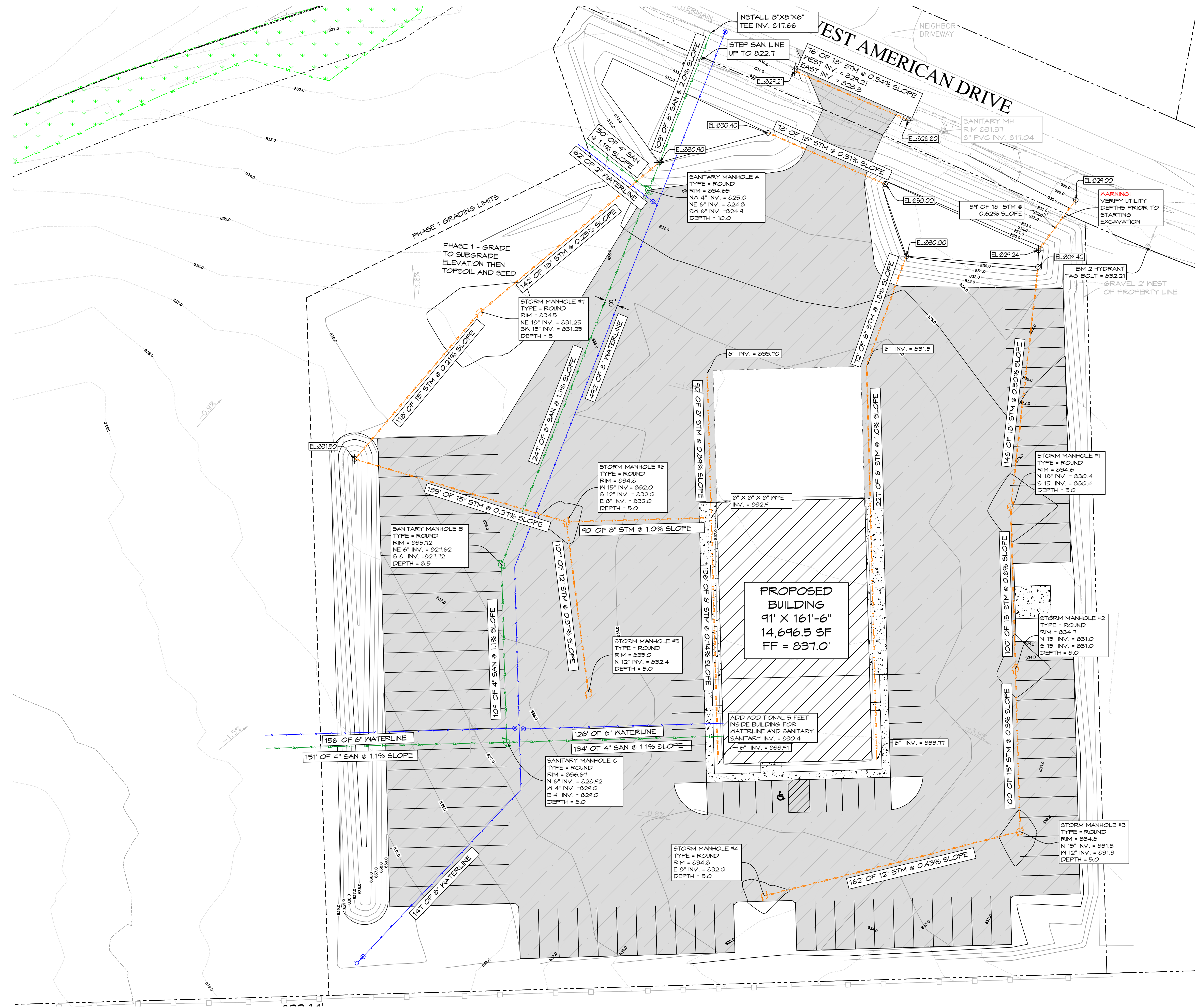
WATERLINE PIPE SHALL BE PVC C900 DR10, WITH MINIMUM OF 18 GAUGE, INSULATED (BLUE), SINGLE-CONDUCTOR COPPER TRACER WIRE, OR EQUIVALENT, PER SPS 382.36

SANITARY SEWER PIPE SHALL BE PVC SCHEDULE 40, WITH MINIMUM OF 18 GAUGE, INSULATED (GREEN), SINGLE-CONDUCTOR COPPER TRACER WIRE, OR EQUIVALENT, PER SPS 382.36 (1)(D)10.A

STORM SEWER (STM) PIPE SHALL BE PVC SDR(35), REINFORCED CONCRETE CLASS III, OR HDPE, ASHTO M 294, TYPE S WITH SOIL TIGHT JOINTS, WITH MINIMUM OF 18 GAUGE, INSULATED (BROWN), SINGLE-CONDUCTOR COPPER TRACER WIRE, OR EQUIVALENT, PER SPS 382.36 (1)(D)10.A.

WARNING!

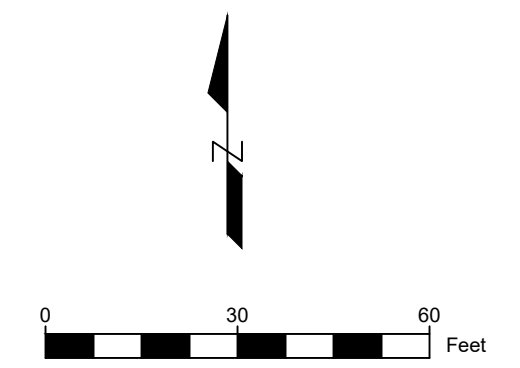
VERIFY UTILITY DEPTHS PRIOR TO STARTING EXCAVATION



LEGEND

DESCRIPTION	EXISTING	PROPOSED
CONTOUR MAJOR	500	500
CONTOUR MINOR	499	499
SANITARY SEWER	SAN	SAN
STORM SEWER	STM	STM
WATER MAIN	W	W
PROPERTY LINE	- - -	- - -
SILT FENCE	- - -	- - -
GRADING LIMIT	- - -	- - -
SPOT ELEVATION	EL: 100.00	EL: 100.00
HEAVY DUTY ASPHALT	[Pattern]	[Pattern]
LIGHT DUTY ASPHALT	[Pattern]	[Pattern]
CONCRETE	[Pattern]	[Pattern]
DELINEATED WETLAND	[Pattern]	[Pattern]

1 UTILITY PLAN
C3.0 1" = 30'-0"



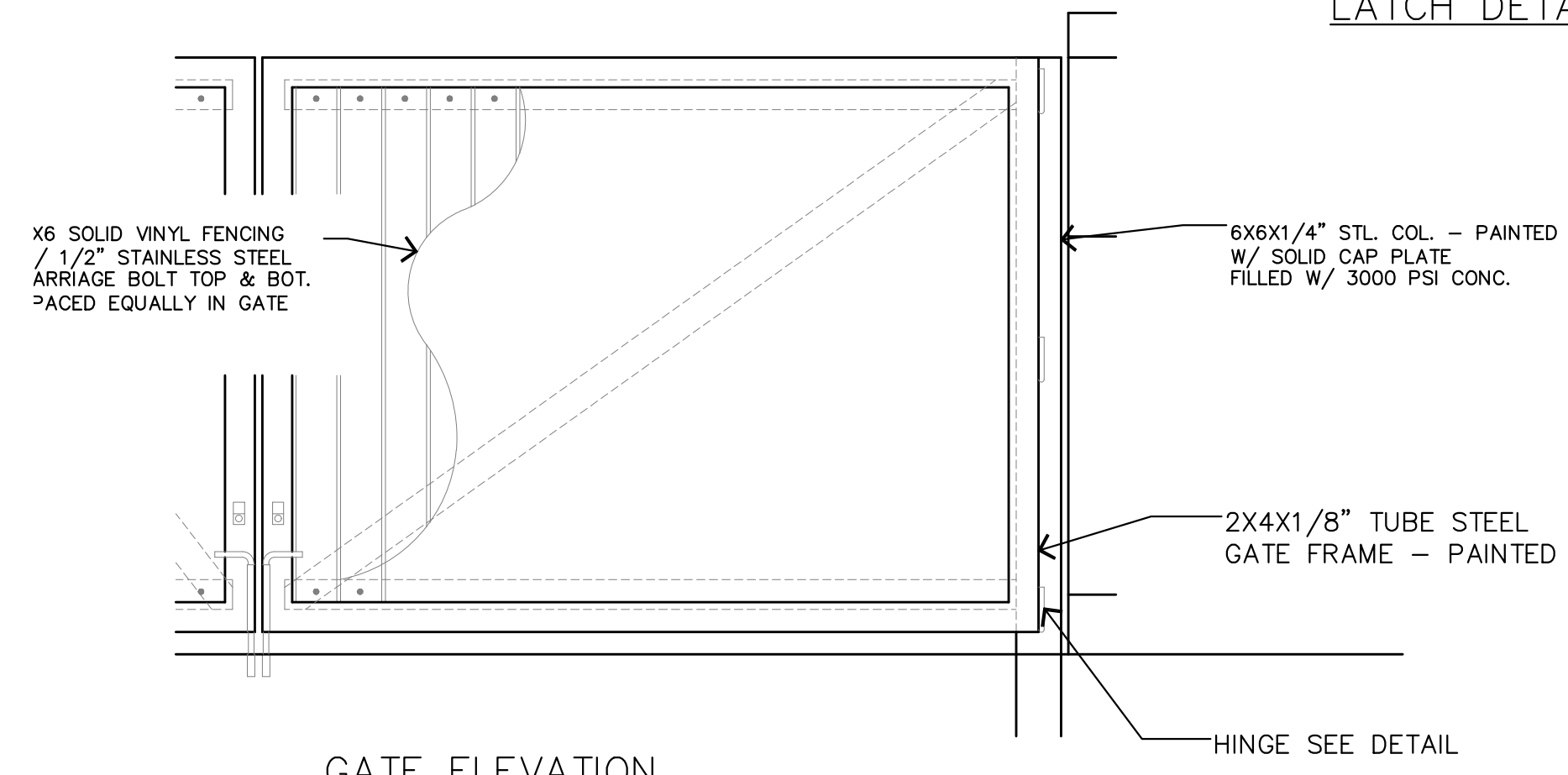
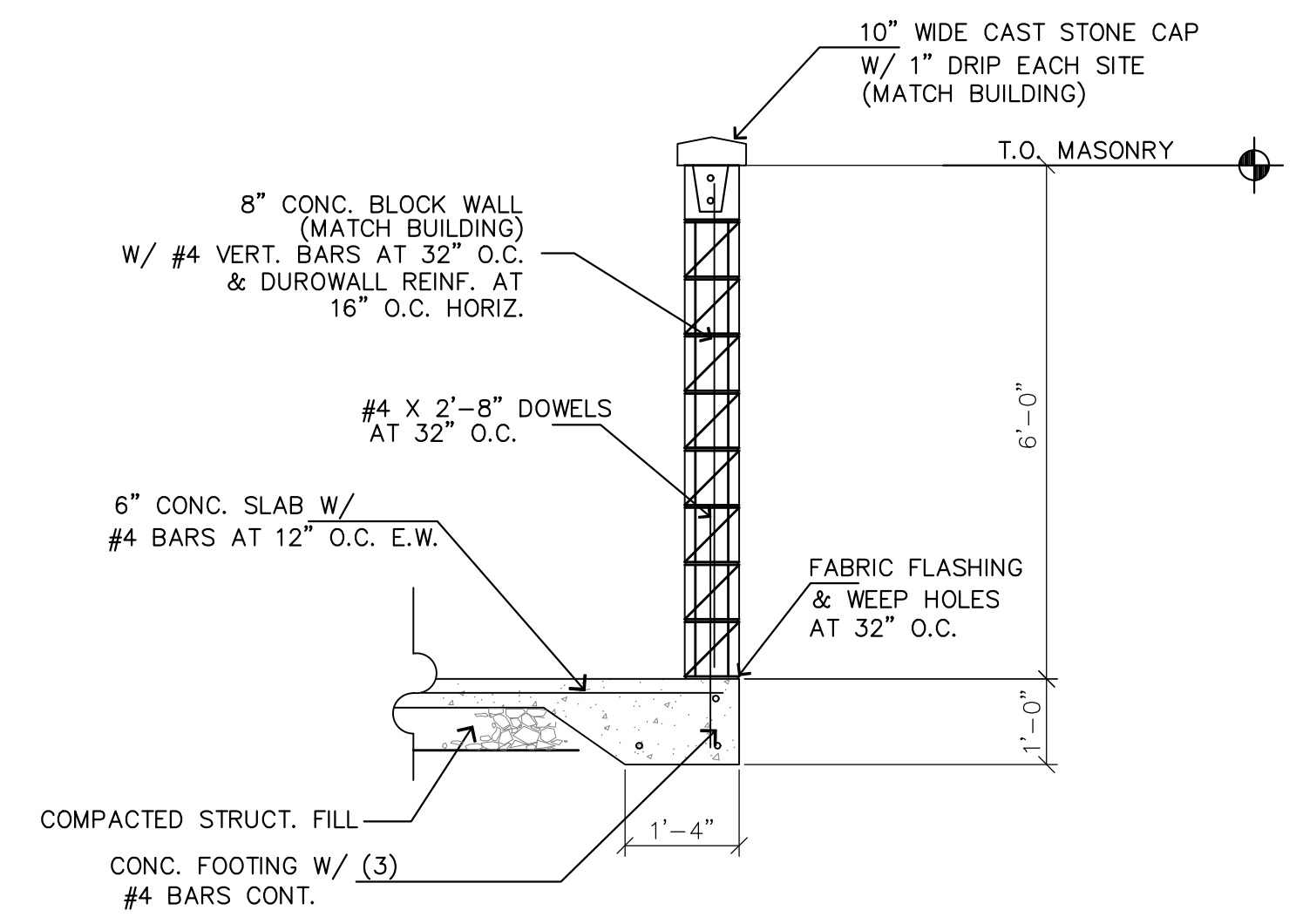
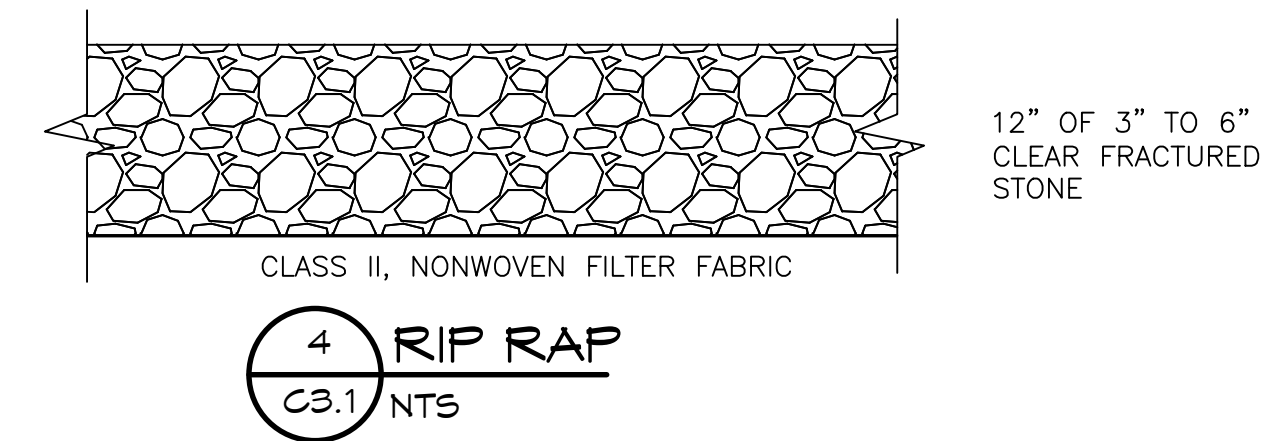
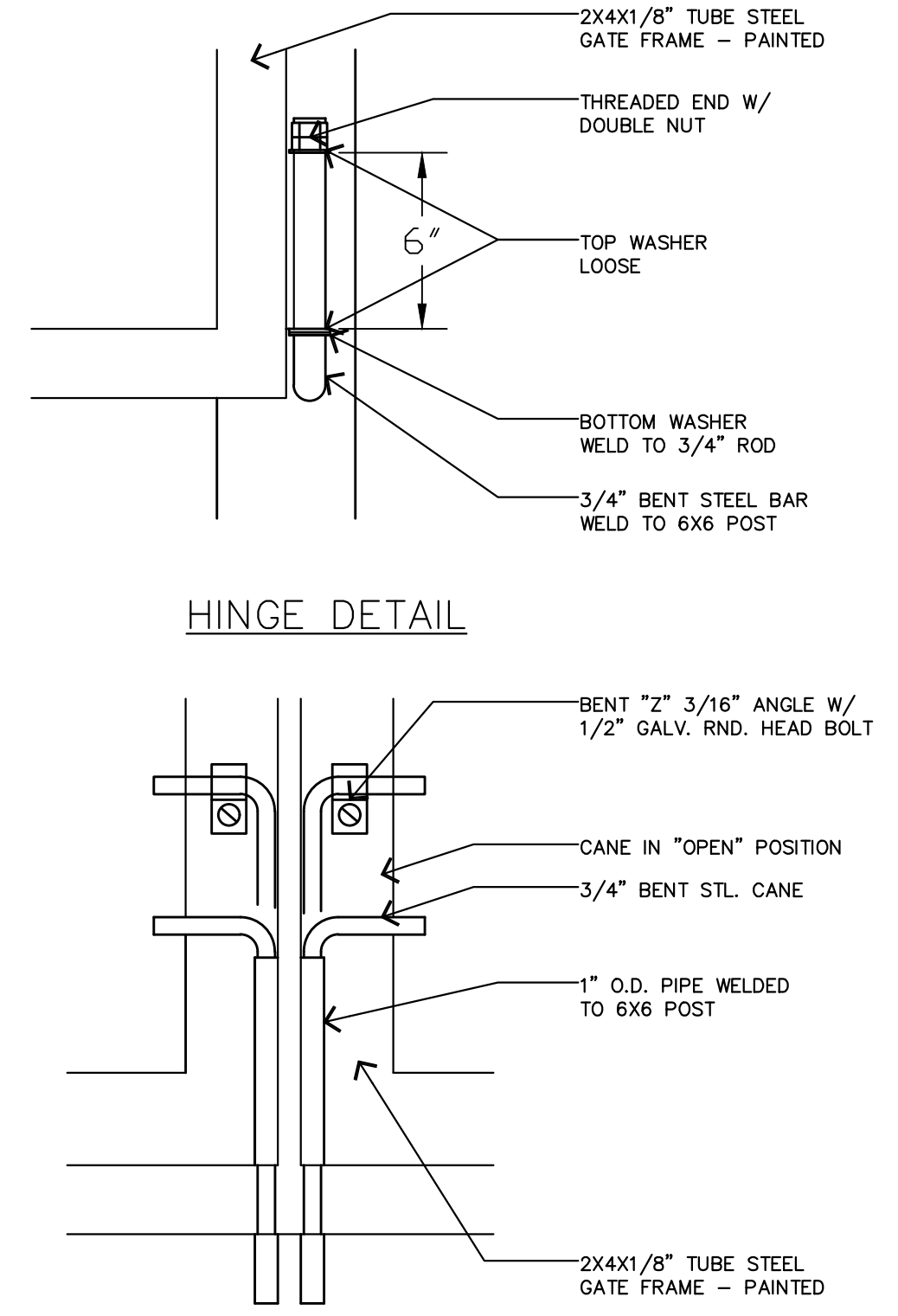
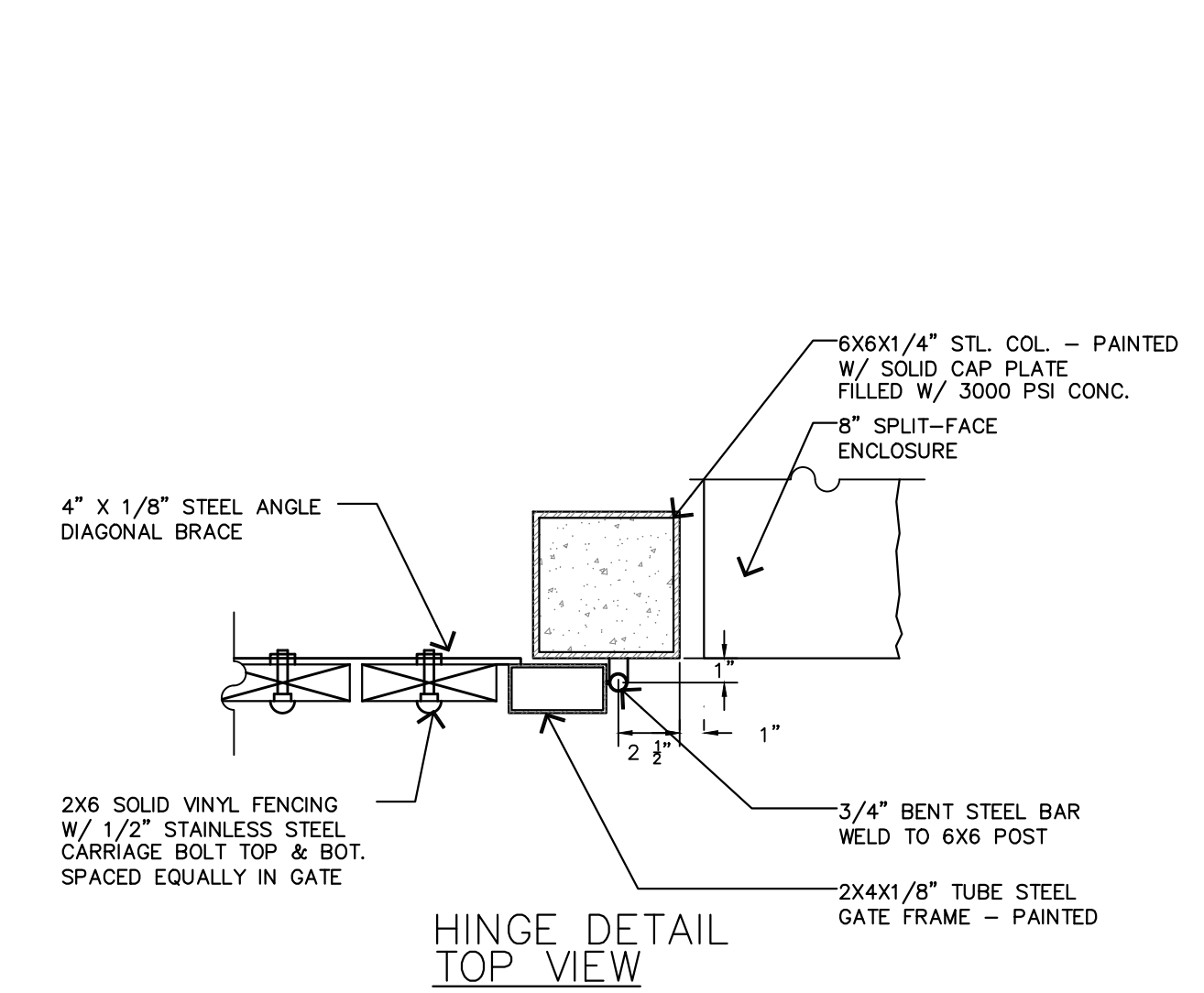
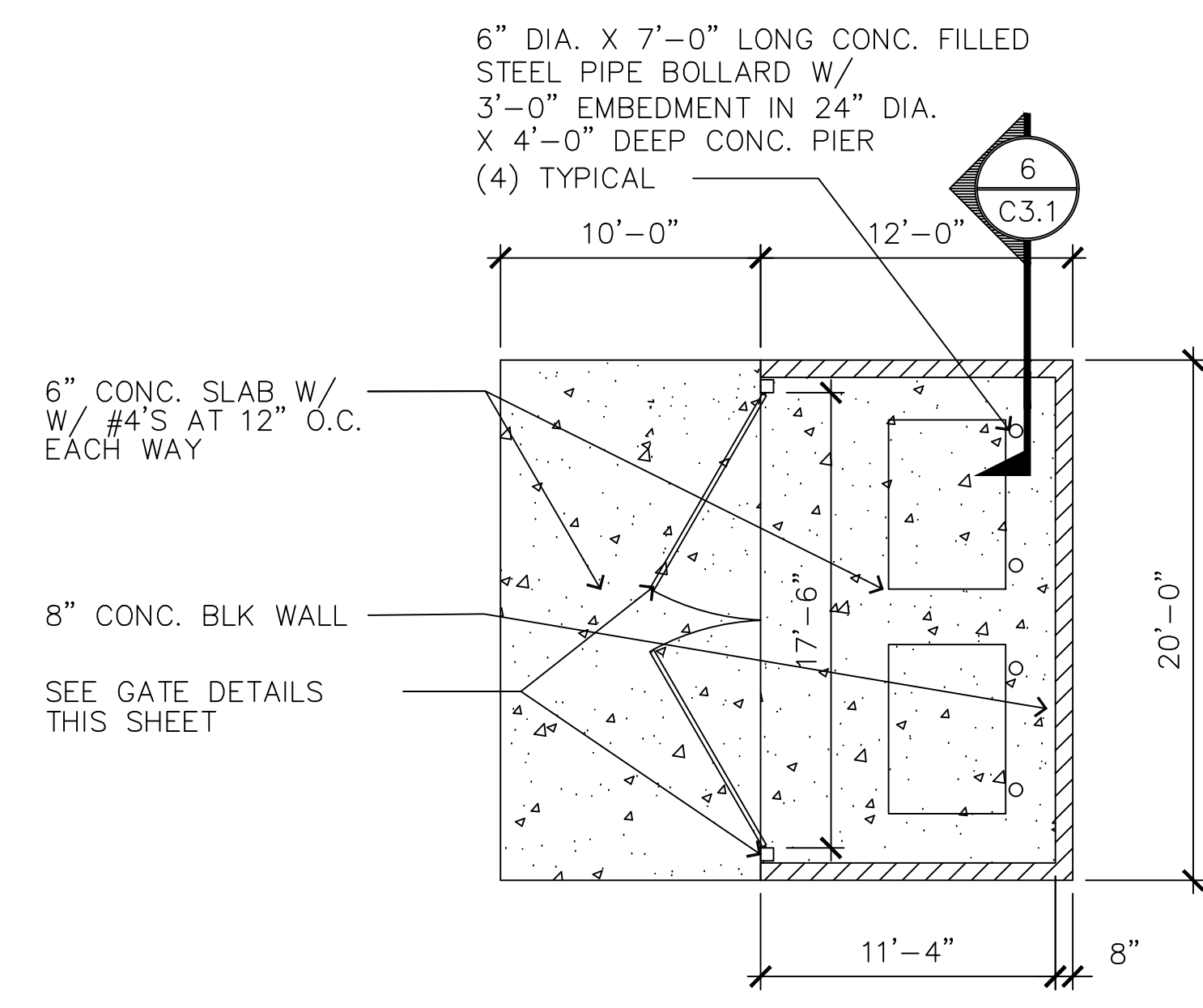
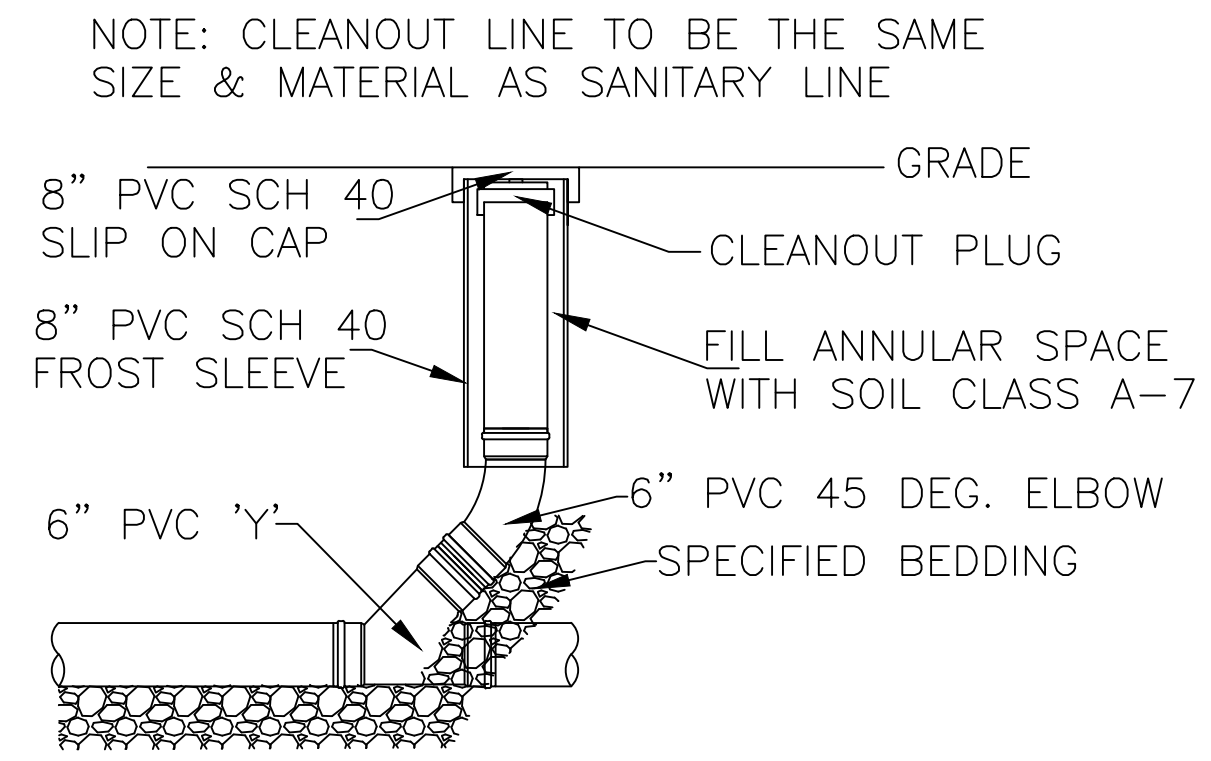
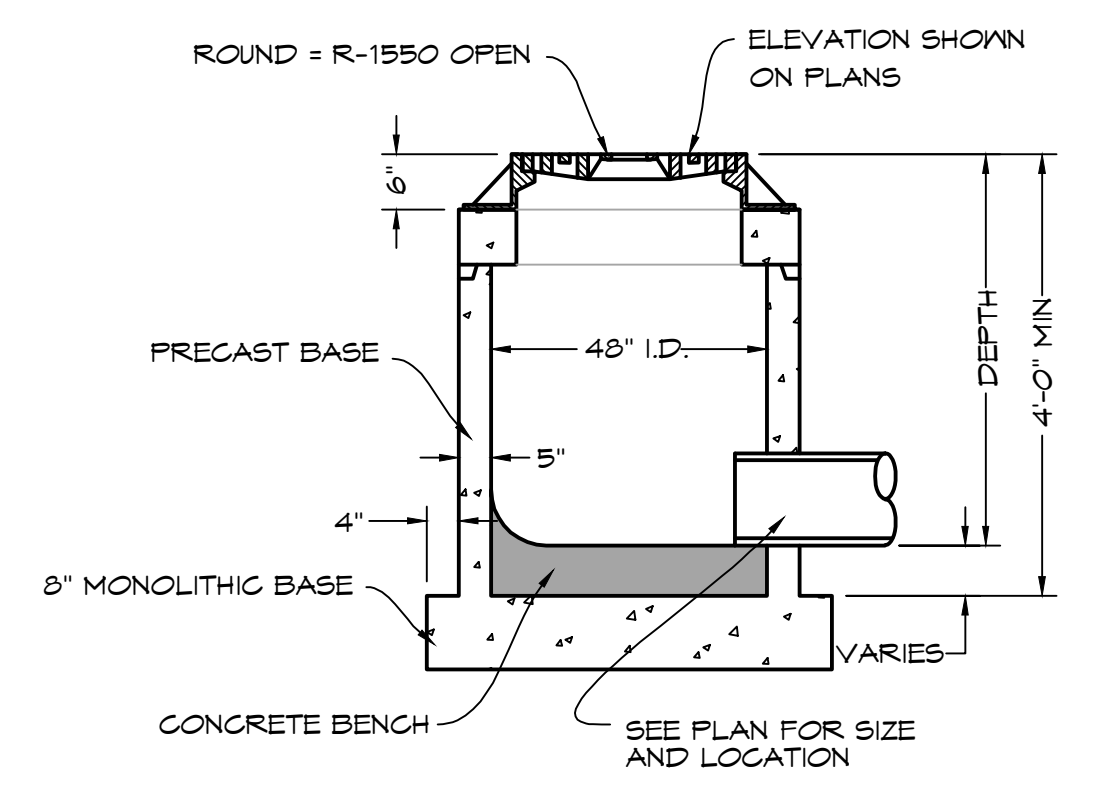
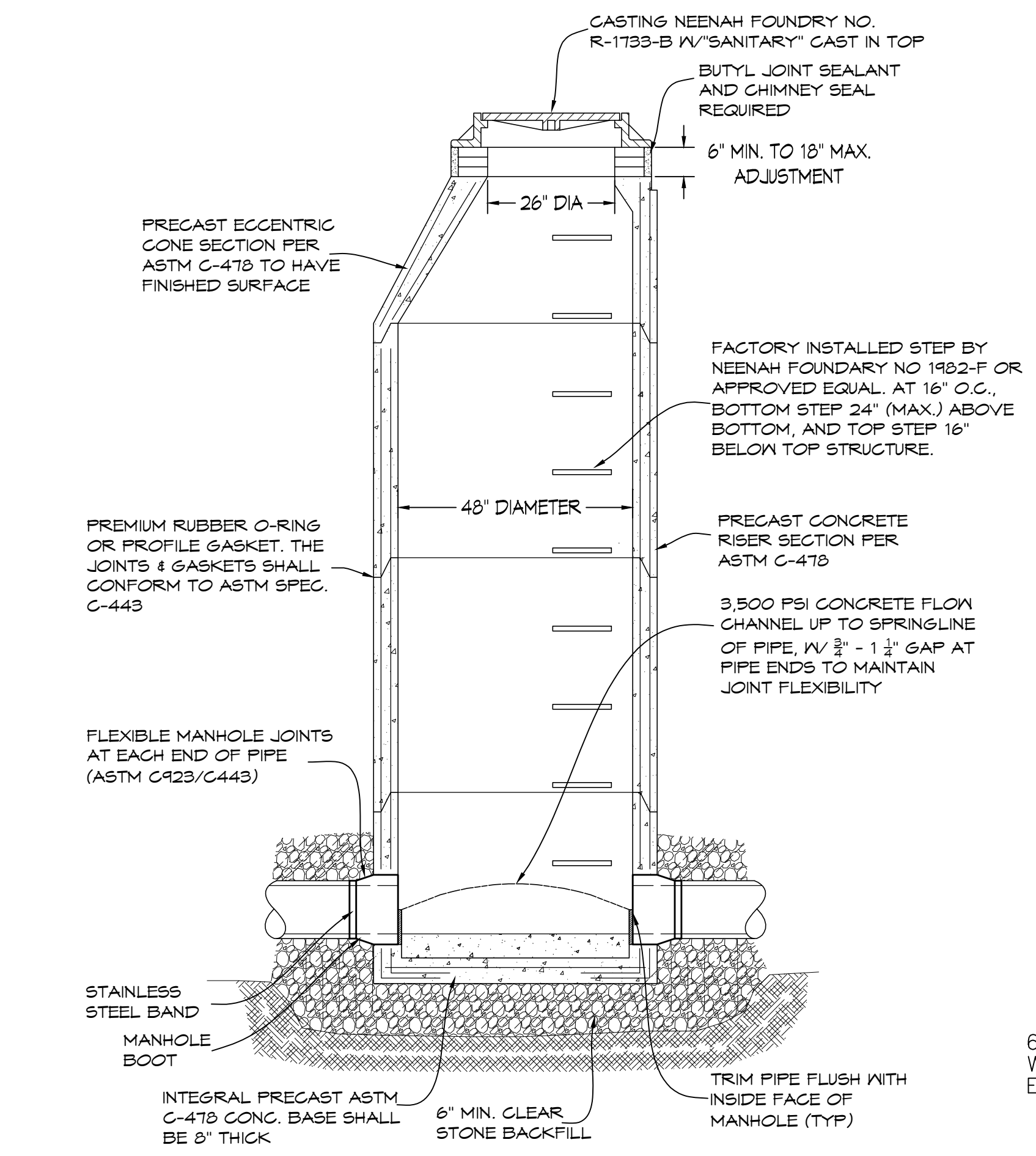
No.	Date	Description

Page Information

Drawn By C.J.F. Approved By C.J.F.

Project No. 23-2491 Date 10/30/2023

Sheet No.



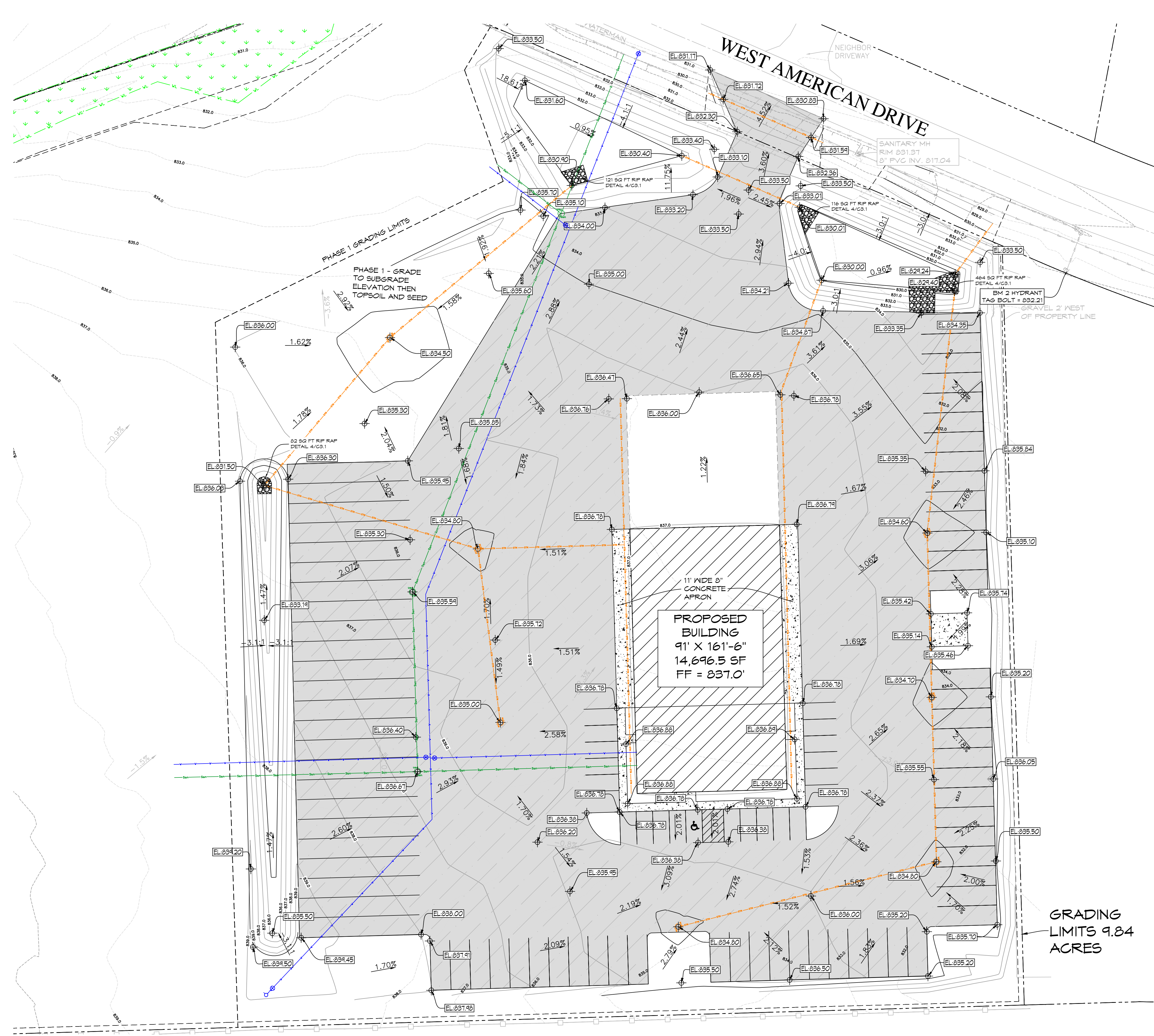
GATE ELEVATION NOT TO SCALE

No.	Date	Description

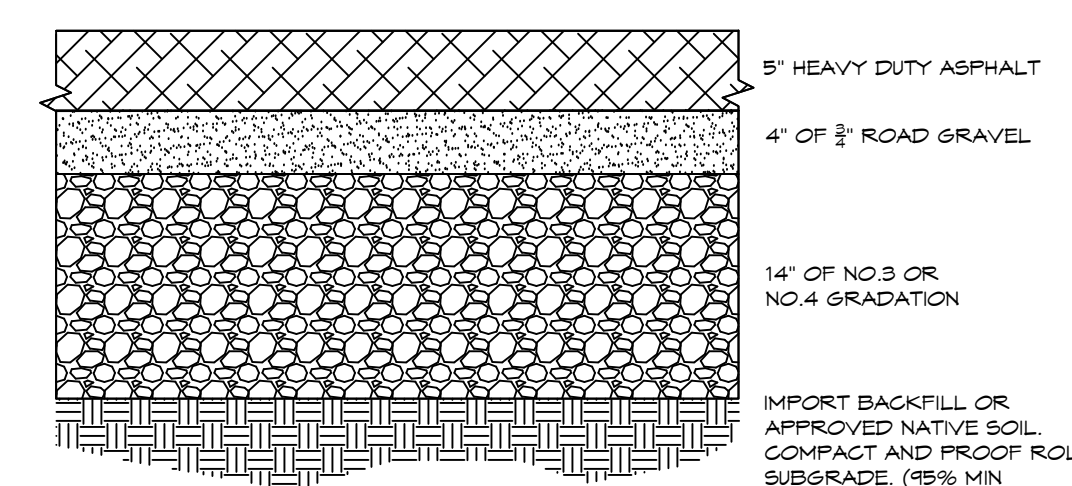
Page Information

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Project No. 23-23-2491	Date 10/30/2023
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C4.0

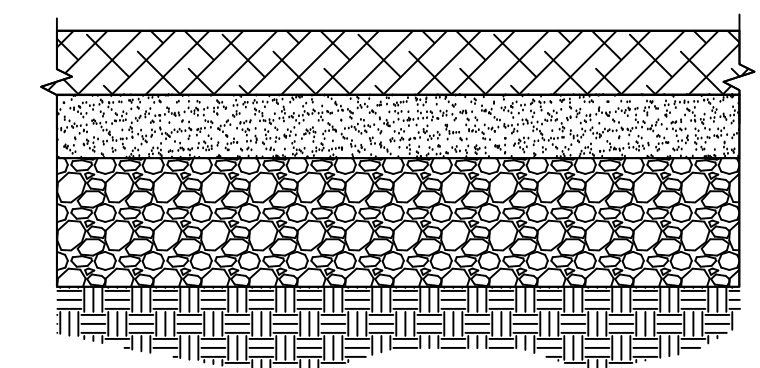


1 GRADING PLAN
C4.0 1" = 30'-0"



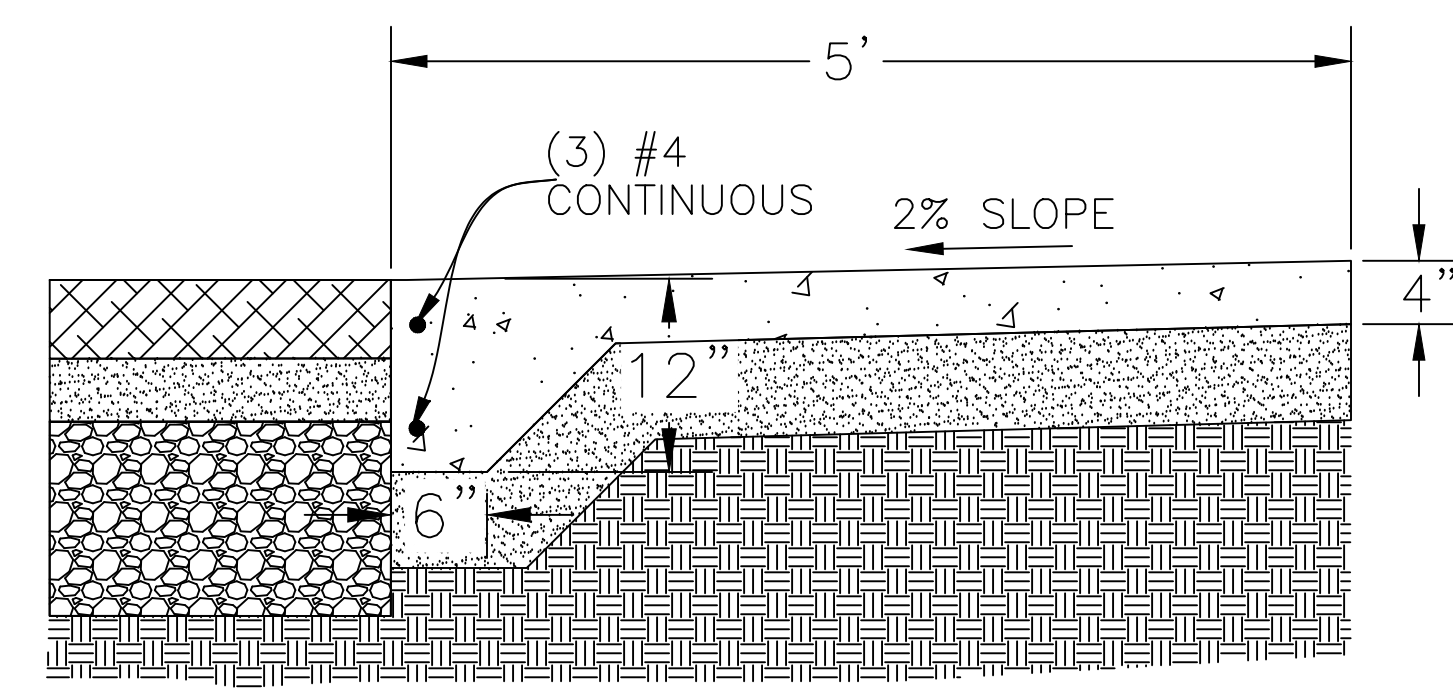
GENERAL CONSTRUCTION NOTES:
1. SITE PREPARATION: REMOVE ALL ORGANIC AND UN-COMPACTED MATERIAL BEFORE PLACING SUBGRADE.
2. HEAVY DUTY ASPHALT TO CONSIST OF 2" ASPHALT SURFACE AND 3" BINDER

2 HEAVY DUTY ASPHALT
C4.0 NTS



GENERAL CONSTRUCTION NOTES:
1. SITE PREPARATION: REMOVE ALL ORGANIC AND UN-COMPACTED MATERIAL BEFORE PLACING SUBGRADE.
2. LIGHT DUTY ASPHALT TO CONSIST OF 1.5" ASPHALT SURFACE AND 1.5" BINDER

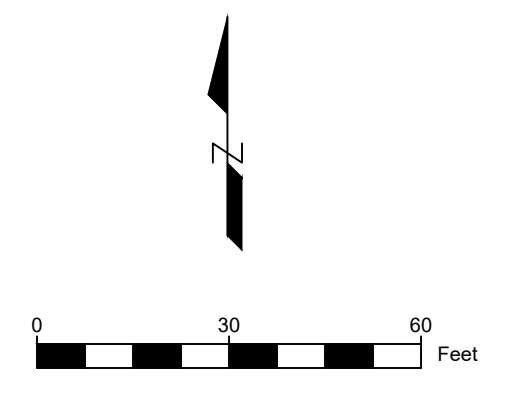
3 LIGHT DUTY ASPHALT
C4.0 NTS



4 TYP. THICKENED EDGE SIDEWALK
C4.0 NTS

LEGEND

DESCRIPTION	EXISTING	PROPOSED
CONTOUR MAJOR	500	500
CONTOUR MINOR	499	499
SANITARY SEWER	SS	SS
STORM SEWER	STH	STH
WATER MAIN	W	W
PROPERTY LINE	---	---
SILT FENCE	---	---
GRADING LIMIT	---	---
SPOT ELEVATION	EL. 100.00	EL. 100.00
HEAVY DUTY ASPHALT	---	---
LIGHT DUTY ASPHALT	---	---
CONCRETE	---	---
DELINEATED WETLAND	---	---



GRADING LIMITS 9.84 ACRES



11040 CRAFTSMEN DRIVE
GREENVILLE, WI 54942
PHONE: 920.751.0999
FAX: 920.751.1015

PROPOSED NEW BUILDING FOR:
VALLEY TRUCK LEASING INC.
CLAYTON, WISCONSIN

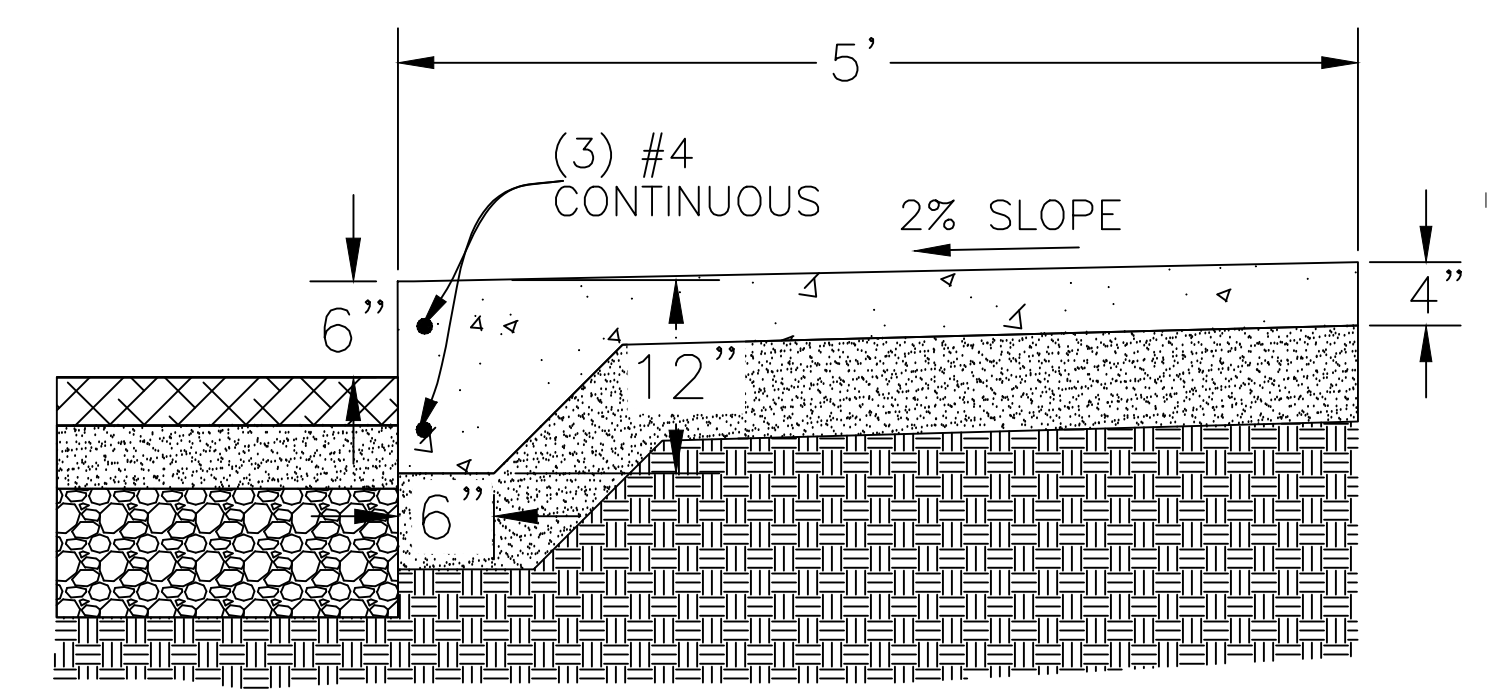
FUTURE GRADING PLAN

No.	Date	Description

Page Information

Drawn By: C.J.F. Approved By: C.J.F.
 Project No.: 23-2491 Date: 10/30/2023
 Sheet No.:

C4.1



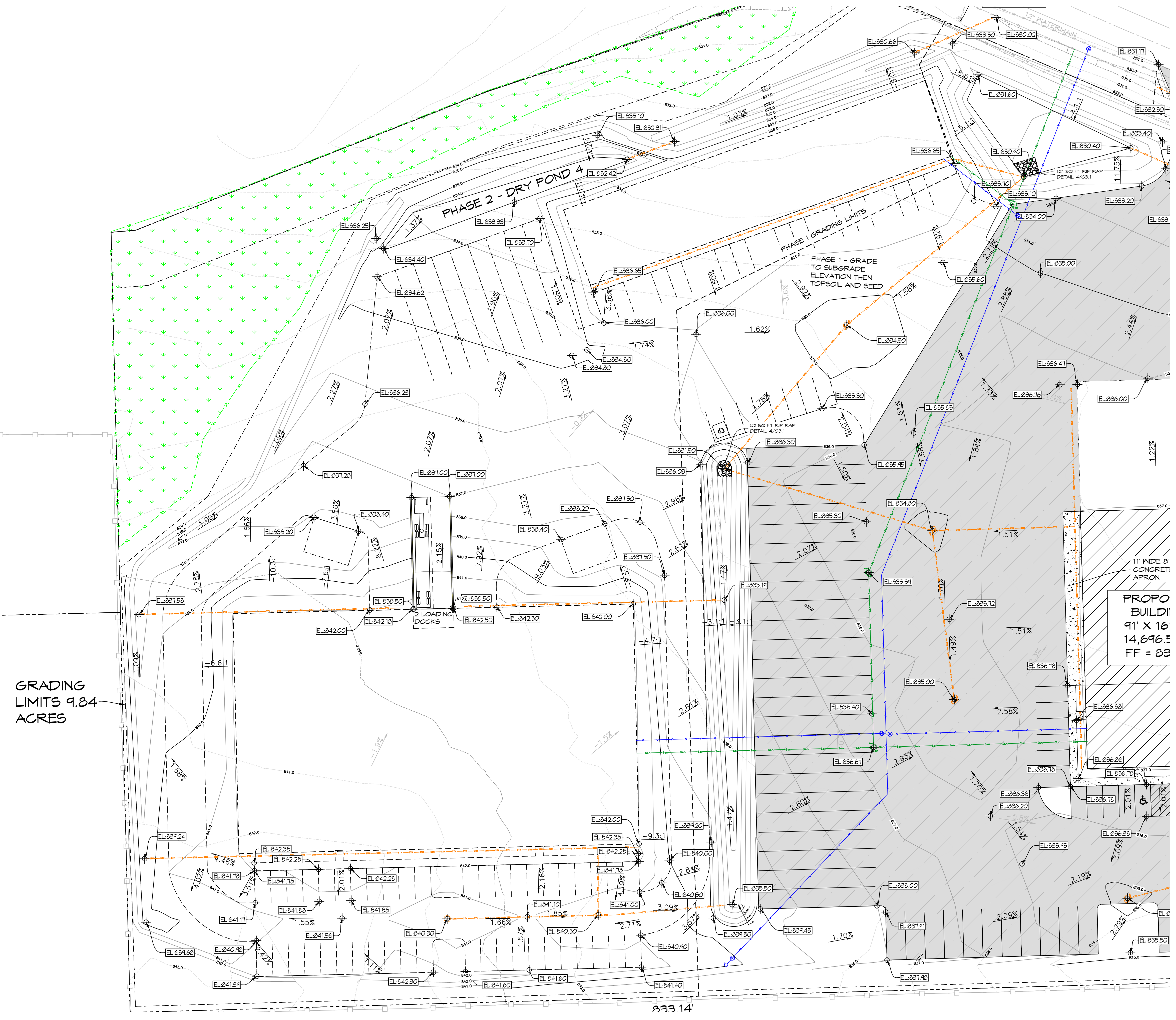
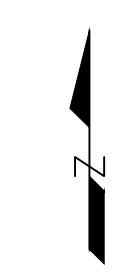
2 TYP. THICKENED EDGE SIDEWALK
C4.1 NTS

LEGEND

DESCRIPTION	EXISTING	PROPOSED
CONTOUR MAJOR	500	500
CONTOUR MINOR	499	499
SANITARY SEWER	— S—S—	— S—S—
STORM SEWER	— STH—STH—	— STH—STH—
WATER MAIN	— W—W—	— W—W—
PROPERTY LINE	— P—P—	— P—P—
SILT FENCE	— S—S—	— S—S—
GRADING LIMIT	— G—G—	— G—G—
SPOT ELEVATION	EL. 100.00	EL. 100.00
HEAVY DUTY ASPHALT	— H—H—	— H—H—
LIGHT DUTY ASPHALT	— L—L—	— L—L—
CONCRETE	— C—C—	— C—C—
DELINEATED WETLAND	— W—W—	— W—W—



Know what's below.
Call before you dig.



GRADING LIMITS 9.84 ACRES

1 FUTURE GRADING PLAN
C4.1 1" = 30'-0"

PROPO BUILD
91' X 16
14,696.5
FF = 83



PHONE: 920.757.0999 FAX: 920.757.1015
11040 CRAFTSMEN DRIVE GREENVILLE, WI 54942

PROPOSED NEW BUILDING FOR:
VALLEY TRUCK LEASING INC.

CLAYTON, WISCONSIN

EROSION CONTROL PLAN

SEQUENCE OF CONSTRUCTION

- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS. RESPONSIBLE PARTS OF APPLICABLE PERMITS ARE AS FOLLOWS:
- WINNEBAGO COUNTY EROSION CONTROL PERMIT - CIVIL FOX ENGINEERS, LLC
 - WINNEBAGO COUNTY STORMWATER PERMIT - CIVIL FOX ENGINEERS, LLC
 - TOWN OF CLAYTON CHUTE RIGHT-OF-WAY PERMIT - EXCAVATING CONTRACTOR
 - TOWN OF CLAYTON CHUTE BUILDING PERMIT - UTSCHIG, INC.
 - WDRR NO1 PERMIT - CIVIL FOX ENGINEERS, LLC
 - STATE OF WISCONSIN BUILDING PERMITS - UTSCHIG, INC.
1. FLAG WORK LIMITS, APRIL 2024
 - 2.1. INSTALL TRACKING PAD¹
 - 2.2. INSTALL 1,640 LF OF SILT FENCE²
 - 2.3. INSTALL FILTER SOCK⁴ AS NEEDED
 - 2.4. INSTALL TEMPORARY DITCH CHECKS³
 - 2.5. INSTALL INLET PROTECTION⁶
 3. STRIP TOPSOIL WITHIN THE PROPOSED SITE, APRIL 2024
 4. INITIAL GRADING, APRIL 2024
 - 4.1. TRANSPORT SURPLUS SOIL & STOCKPILE⁵
 5. ROUGH & FINAL GRADING, STABILIZE WITH CONCRETE OR GRAVEL, AUGUST 2024
 6. INSTALL TOPSOIL ON SLOPES⁵ AND PERMANENT SEEDING⁵ NO LATER THAN OCTOBER 30, 2024
 7. STABILIZE LAWN AND DITCH AREAS NO LATER THAN ONE (1) WEEK AFTER FINAL GRADE IS ESTABLISHED, NO LATER THAN OCTOBER 30, 2024
 8. TOPSOIL CRITICAL AREAS AND ESTABLISH VEGETATION, WATER, IF NECESSARY, TO ESTABLISH HEALTHY AND WELL-ROOTED VEGETATION. DO NOT REMOVE TEMPORARY MEASURES UNTIL FINAL STABILIZATION HAS OCCURRED.
 9. TEMPORARY STABILIZATION OF LAWN AND DITCH AREAS IF WEATHER DOES NOT PERMIT THE PROPOSED SCHEDULE TO BE FOLLOWED.
- NOTE: TO BE CONSERVATIVE WHEN CALCULATING THE SEDIMENT DISCHARGE RATES, THE SCHEDULE DATES OCCUR DURING THE WETTEST TIME OF THE YEAR. THE DATES PROVIDED ARE APPROXIMATE AND SUBJECT TO WEATHER CONDITIONS AND OVERALL PROJECT SCHEDULE. SEVERAL WORK ITEMS AS LISTED ABOVE MAY OCCUR SIMULTANEOUSLY WITH OTHERS.

CONSTRUCTION SITE EROSION CONTROL NOTES

1. TRACKING PAD DETAIL 1/C5.1
2. SILT FENCE DETAIL 2/C5.1
3. IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER, STABILIZE STOCKPILES WITH TEMPORARY SEEDING OF GRASS AT A RATE OF 1 BUSHEL PER ACRE AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE DETAIL 1/C5.1
4. PERMANENT SEED ACCORDING TO DETAIL 3/C5.1. INSTALL FILTER SOCK AT TOE OF SLOPE AT LOCATIONS SHOWN IN THE EROSION CONTROL PLAN, ACCORDING TO DETAIL 4/C5.1
5. FILTER SOCK AS DITCH CHECK ACCORDING TO DETAIL 4/C5.1
6. INLET PROTECTION DETAIL 5/C5.1. INSTALL INLET PROTECTION DOWNSTREAM ON ALLEGIANCE COURT FROM THE PROPOSED PROJECT SITE. (TYPE D SERIES INLET PROTECTION)
7. SLOPES STEEPER THAN 4:1 INSTALL MULCH NETTING DETAIL 6/C5.1
8. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE
9. MAKE PROVISIONS FOR WATERING WITHIN THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 1 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
10. PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH MNR TECHNICAL STANDARD T1001. GROUNDWATER DEWATERING IS SUBJECT TO A WASTEWATER DISCHARGE PERMIT AND DNR HIGH CAPACITY WELL APPROVAL IF CUMULATIVE PUMP CAPACITY IS GREATER THAN 10 GPM.
11. INSPECTIONS SHALL BE MADE EVERY SEVEN (7) DAYS, OR WITHIN 24 HOURS OF A RAINFALL EVENT OF 0.50 INCHES OR GREATER. ANY PRACTICES THAT ARE DAMAGED OR NOT WORKING PROPERLY SHALL BE REPAIRED BY THE END OF THE DAY AND RECORDED IN THE RECORDS BINDER. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED A HEIGHT OF ONE-HALF THE HEIGHT OF THE STRUCTURE. IN ADDITION, THE FOLLOWING MEASURE SHALL BE TAKEN:
 - 11.1. ALL SEEDED AREAS WILL BE RE-SEEDING AND MULCHED AS NECESSARY ACCORDING TO THE SPECIFICATIONS IN THE PLANNED PRACTICES TO MAINTAIN A VIGOROUS, DENSE VEGETATED COVER
 - 11.2. REMOVE SILT FENCE AND TEMPORARY STRUCTURES ONLY AFTER FINAL STABILIZATION AND VEGETATIVE COVER IS ESTABLISHED
 - 11.3. AVOID THE USE OF FERTILIZERS AND PESTICIDES IN OR ADJACENT TO CHANNELS OR DITCHES
 - 11.4. CONSTRUCTION AND WASTE MATERIALS SHALL BE PROPERLY DISPOSED
 - 11.5. PHASE 1 TO BE 10% STABILIZED PRIOR TO STARTING EXCAVATION FOR PHASE 2

NOTE:

PHASE 1 TO BE AT 70% STABILIZATION PRIOR TO STARTING PHASE 2 GRADING. NO PHASE 2 IMPERVIOUS IS PROPOSED AT THIS TIME.

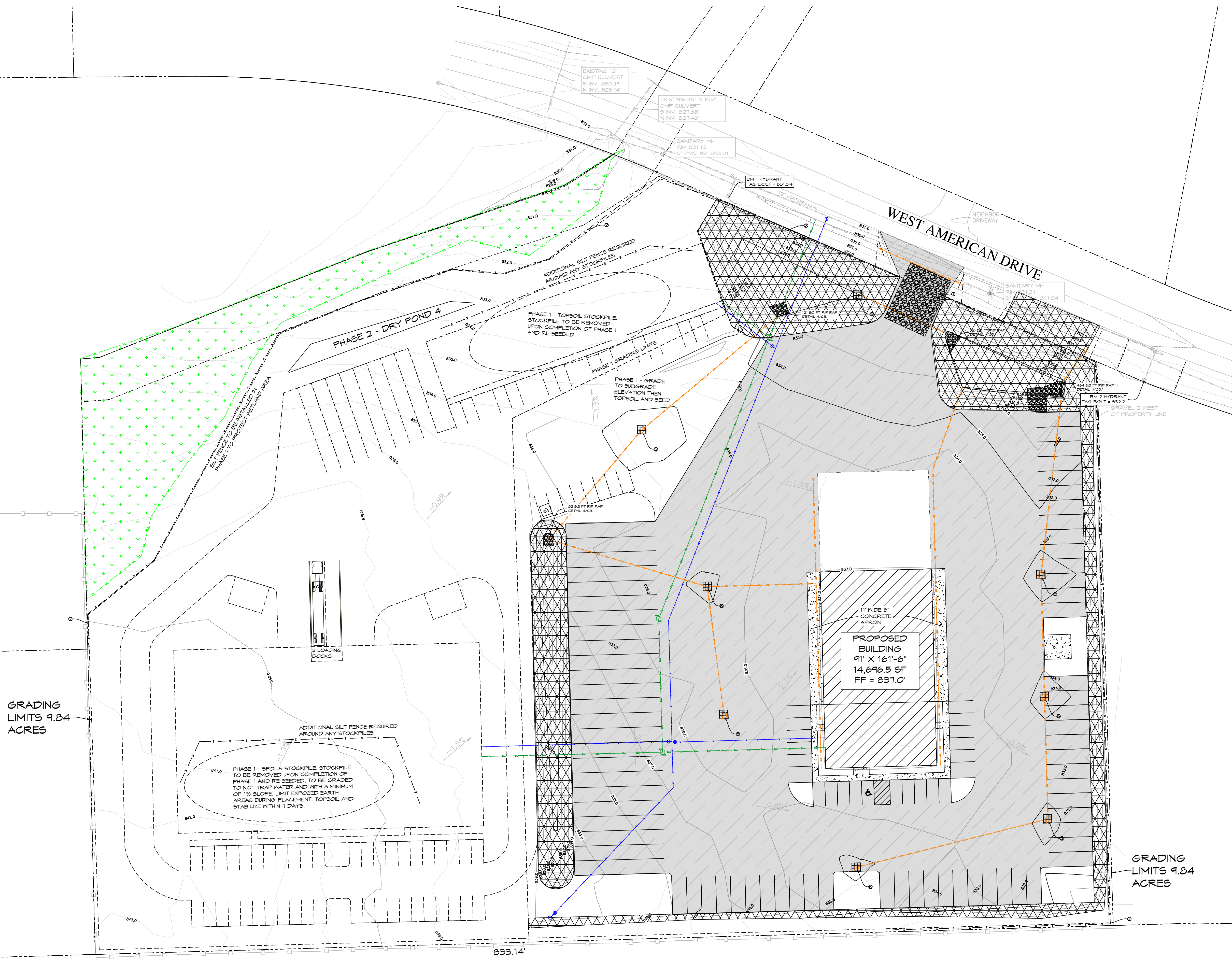
IF GRADING OF SPOILS IN PHASE 2 OCCURS DURING PHASE 1, LIMIT BARE SOIL EXPOSURE AND STABILIZE WITHIN 7 DAYS.

EROSION CONTROL LEGEND

- 500 499 — EXISTING CONTOURS
- 500 499 — PROPOSED CONTOURS
- [Pattern] TRACKING PAD¹
- [Pattern] MULCH NETTING⁷
- [Pattern] DELINEATED WETLAND
- S — SILT FENCE²
- D — BAILE DIVERSION
- FS — FILTER SOCK⁴
- — STORM LATERAL
- — PROPERTY LINE
- [Pattern] INLET PROTECTION⁶

No.	Date	Description

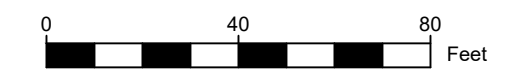
Page Information



1 EROSION CONTROL PLAN
C5.0 1" = 40'-0"



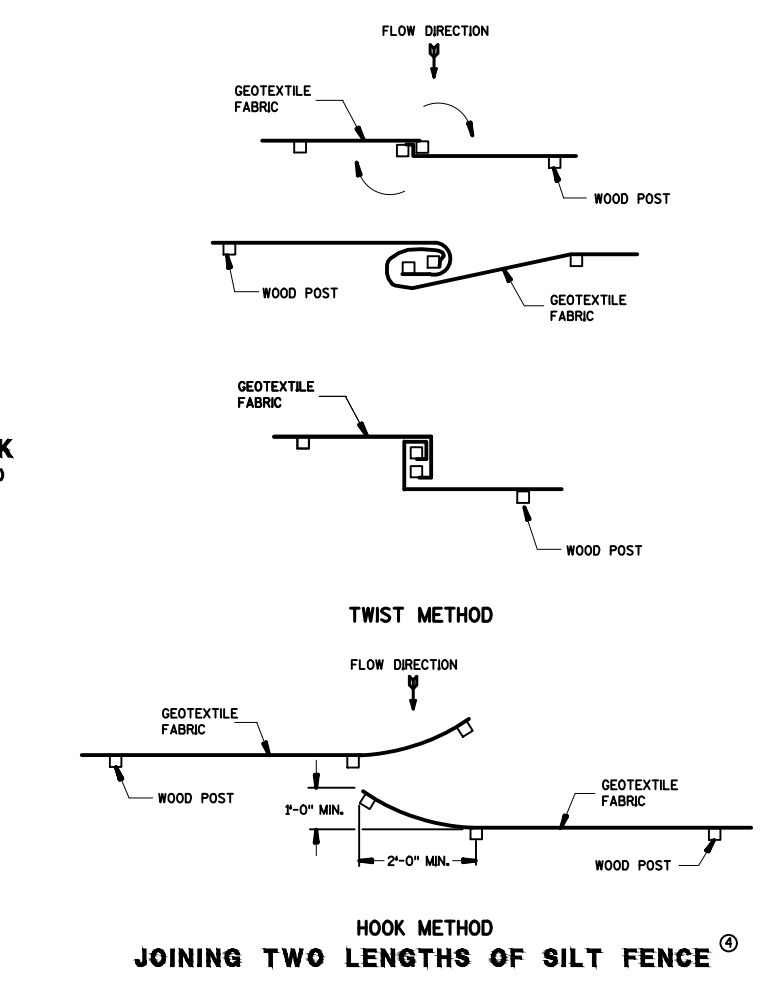
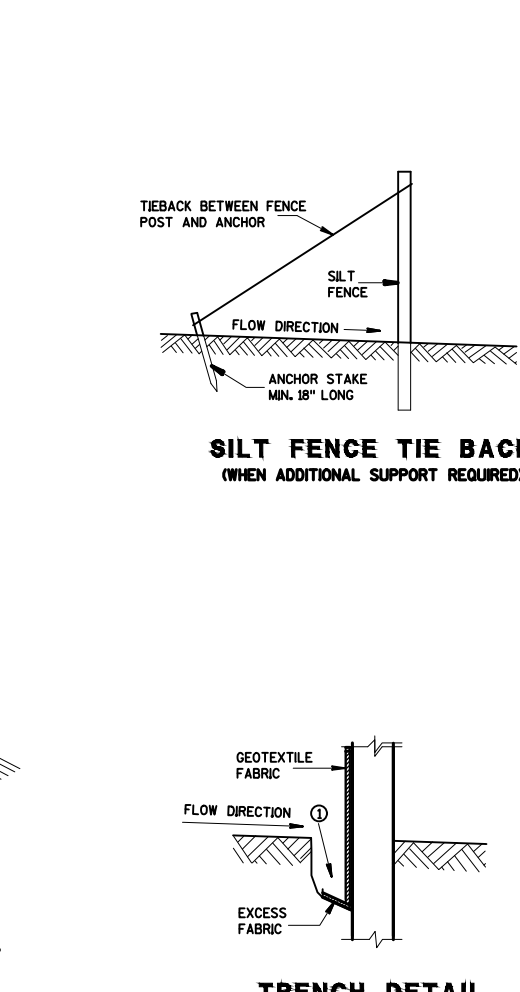
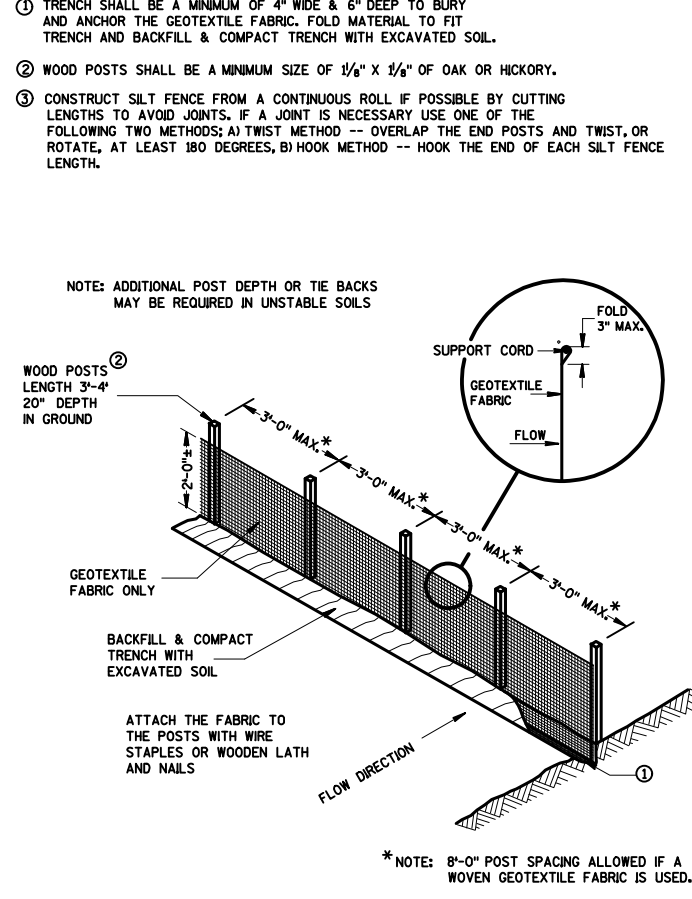
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Project No. 23-2491	Date 10/30/2023
Sheet No.	

C5.0

GENERAL NOTES



SEEDING DATES: CENTRAL PLANTING ZONE

TIME PERIOD	DATES	TYPE OF SEEDING
SPRING	5/1 THROUGH 6/15	PERMANENT
SUMMER	6/16 THROUGH 7/14	TEMPORARY*
LATE SUMMER	7/15 THROUGH 8/10	PERMANENT
FALL	8/11 THROUGH 10/31	TEMPORARY*
LATE FALL	11/1 THROUGH SNOW COVER	DORMANT
WINTER	SNOW COVER THROUGH SPRING SEEDING	FROST SEED NOT ALLOWED

MATERIALS
IF NO SOIL TEST IS AVAILABLE, APPLY A MINIMUM OF 150 POUNDS OF 20-10-10 FERTILIZER PER ACRE. THIS IS EQUIVALENT TO 30 POUNDS NITROGEN (N), 15 POUNDS PHOSPHATE (P₂O₅), AND 15 POUNDS POTASH (K₂O) PER ACRE. APPLY TWO TONS/AC OF 80-89 LIME OR EQUIVALENT.

LIME QUALITY TONS/AC

40-49	3.9
50-59	3.2
60-69	2.7
70-79	2.3
80-89	1.9
100+	1.6

PERMANENT AND DORMANT SEEDING MIX

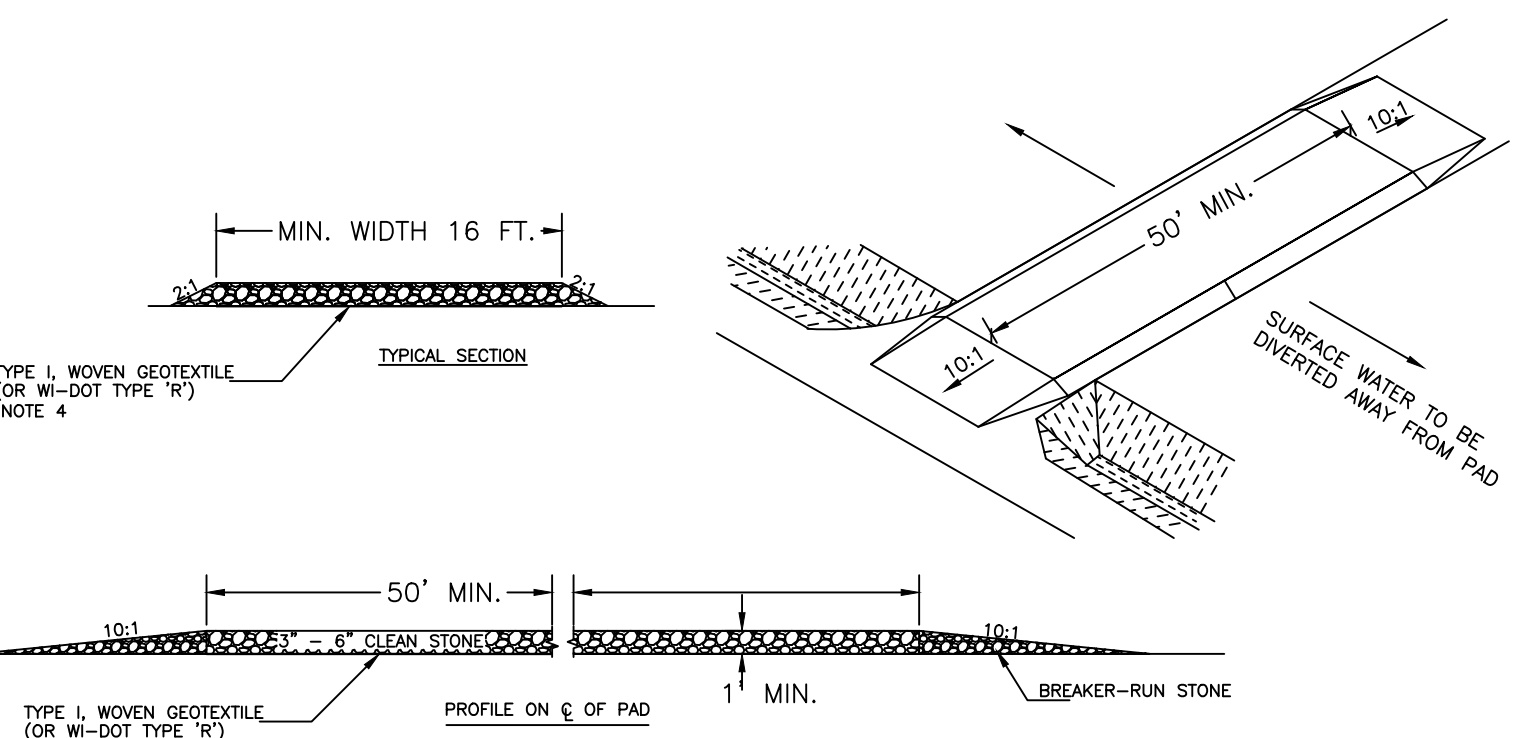
SEEDING MIX	MINIMUM PURE LIVE SEED (PLS) RATE PER ACRE	TOTAL POUNDS OF SEED NEEDED
SPERMATOPHYTES	15.0	11
ALFALFA	7	5
TIMOTHY	3	2

TEMPORARY SEEDING OPTIONS

- SELECT ONE OF THE FOLLOWING SPECIES FOR TEMPORARY COVER IF:
1) THE REQUIRED SEEDS OR PLANT STOCK ARE NOT AVAILABLE OR THE NORMAL PERMANENT SEEDING PERIOD FOR THE SPECIES HAS PASSED.
2) TRIAZINE HERBICIDE CARRYOVER WILL NOT ALLOW ESTABLISHMENT OF PERMANENT COVER IMMEDIATELY.

- MULCHING**
BELOW IS A SUMMARY OF SOIL CONSERVATION PRACTICE STANDARD 1058 - MULCHING FOR CONSTRUCTION SITES. PLEASE SEE CFS 1058 FOR COMPLETE DETAILS.
SITE PREPARATION
SOIL SURFACE SHALL BE PREPARED PRIOR TO THE APPLICATION OF MULCH IN ORDER TO ACHIEVE THE DESIRED PURPOSE AND TO ENSURE OPTIMUM CONTACT BETWEEN SOIL AND MULCH. ALL AREAS TO BE MULCHED SHALL BE REASONABLY FREE OF RILLS AND GULLIES.

- MATERIALS**
MULCH SHALL CONSIST OF NATURAL BIODEGRADABLE MATERIAL SUCH AS PLANT RESIDUE (INCLUDING BUT NOT LIMITED TO STRAW AND HAY), OR OTHER EQUIVALENT MATERIALS OF SUFFICIENT DIMENSION (DEPTH OR THICKNESS) AND DURABILITY TO ACHIEVE THE INTENDED EFFECT FOR THE REQUIRED TIME PERIOD.
POLYPROPYLENE PLASTIC, OR BIODEGRADABLE NETTING - APPLY PLASTIC NETTING OVER MULCH APPLICATION AND STAPLE ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
TACKIFIER - TACKIFIERS SHALL BE SPRAYED IN CONJUNCTION WITH MULCH OR IMMEDIATELY AFTER THE MULCH HAS BEEN PLACED. TACKIFIERS MUST BE SELECTED FROM THOSE THAT MEET THE WISDOT EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PALL). ASPHALT BASED PRODUCTS SHALL NOT BE APPLIED.
TACKIFIERS SHALL BE APPLIED AT THE FOLLOWING MINIMUM APPLICATION RATES PER ACRE:
- LATEX-BASE: MAX 15 GALLONS OF ADHESIVE (OR THE MANUFACTURER'S RECOMMENDED RATE WHICH EVER IS GREATER) AND A MINIMUM OF 250 POUNDS OF RECYCLED NEWSPRINT (PULP) AS A TRACER WITH 375 GALLONS OF WATER.
- GUAR GUM MIX: 50 POUNDS OF DRY ADHESIVE (OR THE MANUFACTURER'S RECOMMENDED RATE WHICH EVER IS GREATER) AND A MINIMUM OF 250 POUNDS OF RECYCLED NEWSPRINT (PULP) AS A TRACER WITH 1,300 GALLONS OF WATER.
- OTHER TACKIFIERS (HYDROPHILIC POLYMERS) MIX 100 POUNDS OF DRY ADHESIVE (OR THE MANUFACTURER'S RECOMMENDED RATE WHICH EVER IS GREATER) AND A MINIMUM OF 250 POUNDS OF RECYCLED NEWSPRINT (PULP) AS A TRACER WITH 1,300 GALLONS OF WATER.



VOLUME OF STONE ---- 45.5 TONS.
VOLUME OF STONE ---- 35 CU.YD.

- TRACKING PAD SHALL BE INSTALLED PRIOR TO CONSTRUCTION TRAFFIC.
- TRACKING PAD SHALL BE INSTALLED TO THE FULL WIDTH OF THE EGRESS POINT.
- TRACKING PAD SHALL BE 3" - 4" STONE WITH LESS THAN 10% FINES.
- APPROACHES TO PADS MAY BE BREAKER-RUN STONE.
- WHERE SATURATED CONDITIONS ARE EXPECTED, PAD SHALL BE UNDERLAIN BY TYPE I, WOVEN GEOTEXTILE (WI-DOT TYPE 'R').
- SURFACE WATER SHALL BE DIVERTED AWAY FROM TRACKING PAD OR CONVEYED THROUGH WITH A CULVERT.
- ALL OUTGOING CONSTRUCTION TRAFFIC MUST USE TRACKING PAD. IF ANOTHER EXIST IS USED, IT SHALL BE INSTALLED A TRACKING PAD AT THAT LOCATION.

1 TRACKING PAD
NTS

- NOTES:**
- THE GEOTEXTILE FABRIC SHALL BE PLACED IN THE EXCAVATED TRENCH, BACKFILLED, AND COMPACTED TO THE EXISTING GROUND SURFACE.
 - WOODEN SUPPORT POSTS SHALL BE A MINIMUM DIMENSION OF 1-1/8" x 1-1/8" AIR OR HLN DRIED OF HICKORY OR OAK AND 4 FEET LONG. STEEL POSTS SHALL BE STUDDED "T" OR "U" TYPE WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAL FOOT AND 5 FEET LONG. POST SPACING SHALL BE A MAXIMUM OF 8 FEET FOR WOVEN FABRIC AND 3 FEET FOR NON-WOVEN FABRIC.
 - THE GEOTEXTILE FABRIC SHALL BE ATTACHED DIRECTLY TO THE UPSLOPE SIDE OF WOODEN POSTS WITH 0.5 INCH STAPLES IN AT LEAST 3 PLACES, OR WITH WOODEN LATH AND NAILS. ATTACHMENT TO STEEL POSTS WILL BE BY WIRE FASTENERS OR 50 POUND PLASTIC TIE STRAPS ON THE UPSLOPE SIDE.
 - THE GEOTEXTILE FABRIC SHALL CONSIST OF EITHER WOVEN OR NON-WOVEN POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE OR POLYVINYLIDENE CHLORIDE. NON-WOVEN FABRIC MAY BE NEEDLE PUNCHED, HEAT BONDED, RESIN BONDED, OR COMBINATIONS THEREOF. ALL FABRIC SHALL MEET THE FOLLOWING REQUIREMENTS:

TEST REQUIREMENT

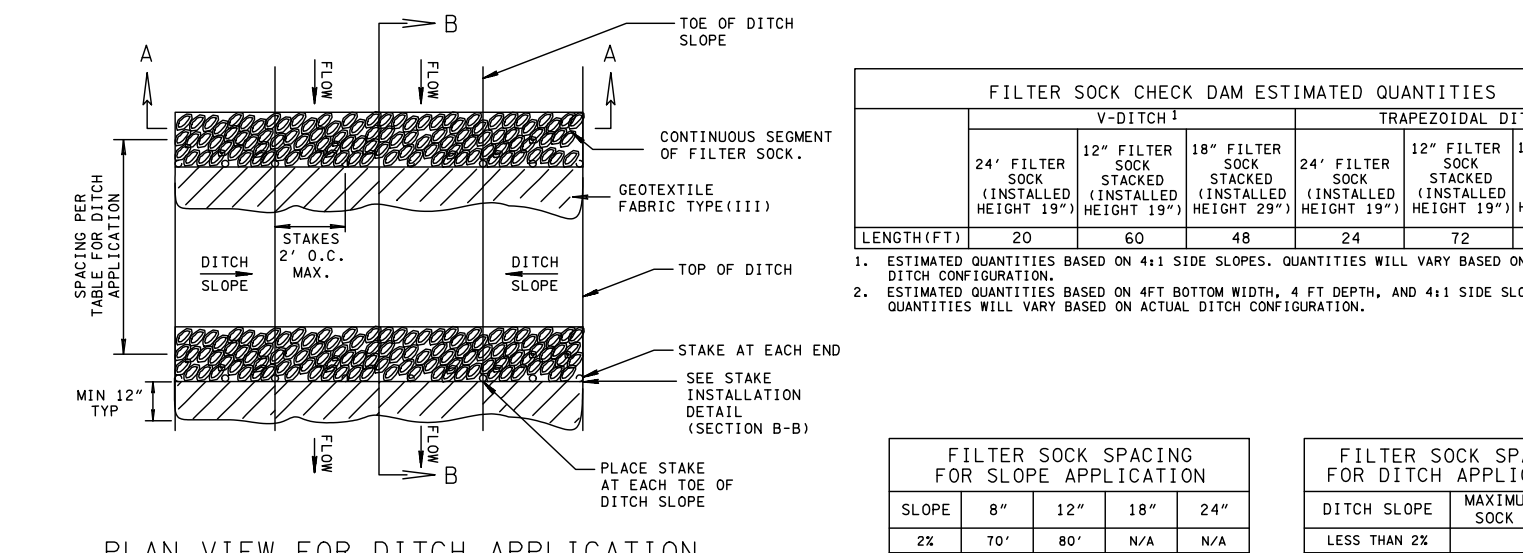
METHOD	VALUE
ASTM D 4832	120 LBS.
ASTM D 4832	100 LBS.
ASTM D 4751	NO. 30
ASTM D 4401	0.05 SEC
ASTM D 4401	0.135 SEC OR 10 gpm/Az Ft at 50 min constant head.
ASTM D 4555	70%

* ALL NUMERICAL VALUES REPRESENT MINIMUM/AVERAGE/RANGE VALUES. (FOR EXAMPLE, THE AVERAGE OF MINIMUM TEST RESULTS ON ANY ROLL IN A LOT SHOULD MEET OR EXCEED THE MINIMUM SPECIFIED VALUES).

INSTRUCTIONS SHALL BE MADE EVERY SEVEN (7) DAYS, OR WITHIN 24 HOURS OF A RAINFALL EVENT OF 0.50 INCH OR GREATER. ANY PROCESSES THAT ARE DAMAGED OR NOT WORKING PROPERLY SHALL BE REPAIRED BY THE END OF THE DAY AND RECORDED IN THE RECORD BOOK. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED A HEIGHT OF ONE-HALF THE HEIGHT OF THE STRUCTURE. IN ADDITION, THE FOLLOWING MEASURES SHALL BE TAKEN:
1. ALL SEED AREAS WILL BE RE-SEEDING AND MULCHED AS NECESSARY ACCORDING TO THE PLANNED PREPARATIONS.
2. REMOVE SILT FENCE AND TEMPORARY STRUCTURES ONLY AFTER CONSTRUCTION AND VEGETATION COVER IS ESTABLISHED. AVOID TO CHURN UP SOILS.
3. AVOID THE USE OF FERTILIZERS AND PESTICIDES IN OR AROUND CONSTRUCTION AND WASTE MATERIALS SHALL BE PROPERLY DISPOSED.

This drawing based on Wisconsin Department of Transportation Standard Detail Drawing 8 E 9-6.

2 SILT FENCE
NTS



TRAPEZOIDAL DITCH

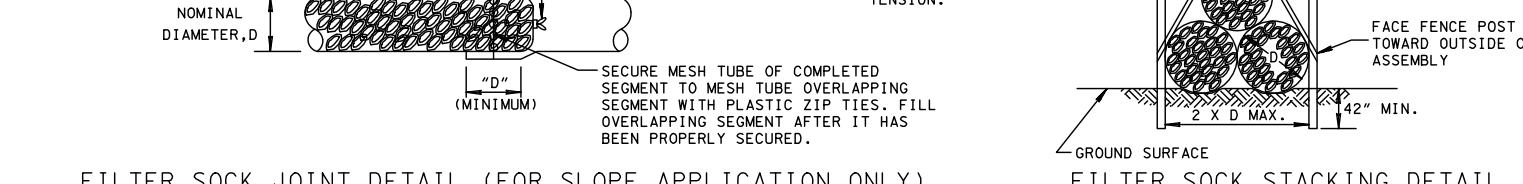
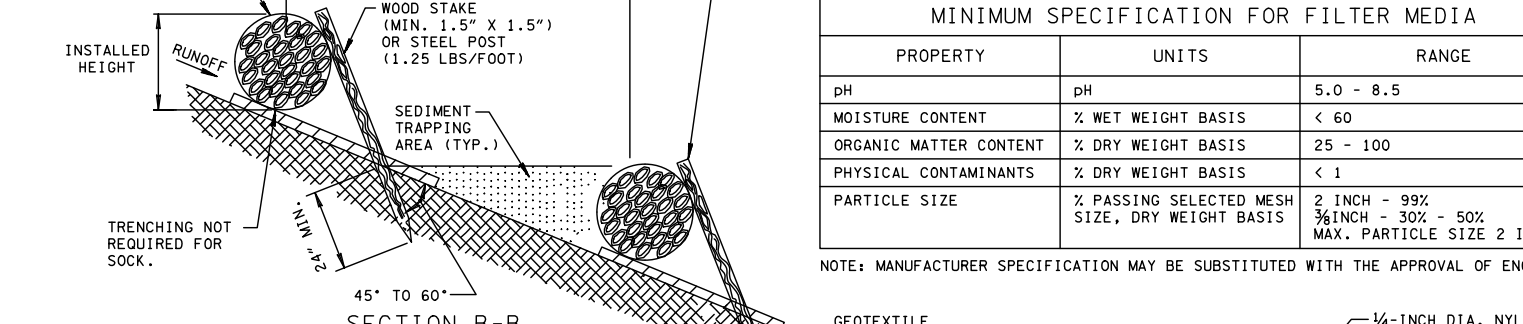
LENGTH (FT)	24" FILTER SOCKS (INSTALLED)	18" FILTER SOCKS (INSTALLED)	12" FILTER SOCKS (INSTALLED)
20	60	48	24
40	120	96	48
60	180	144	72
80	240	192	96

SOCK HEIGHTS INSTALLED

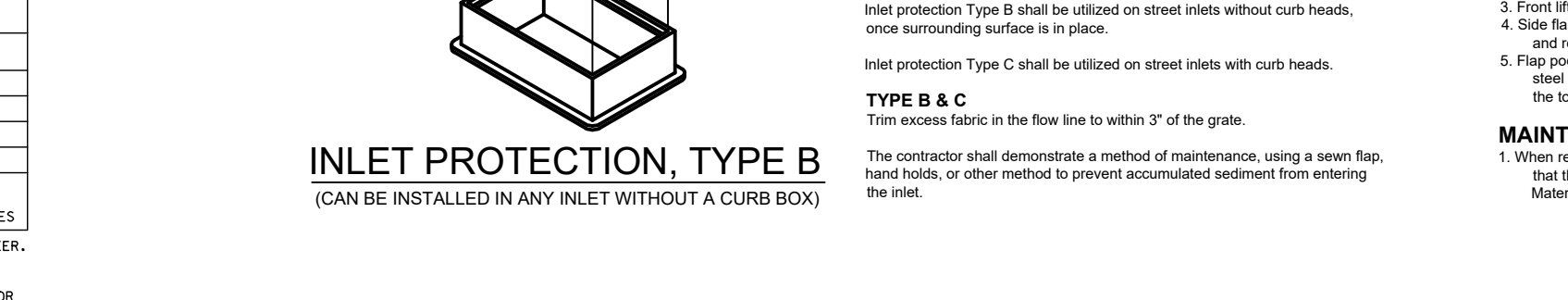
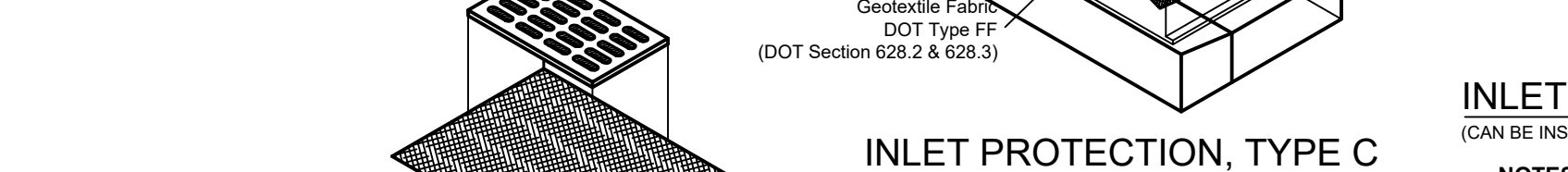
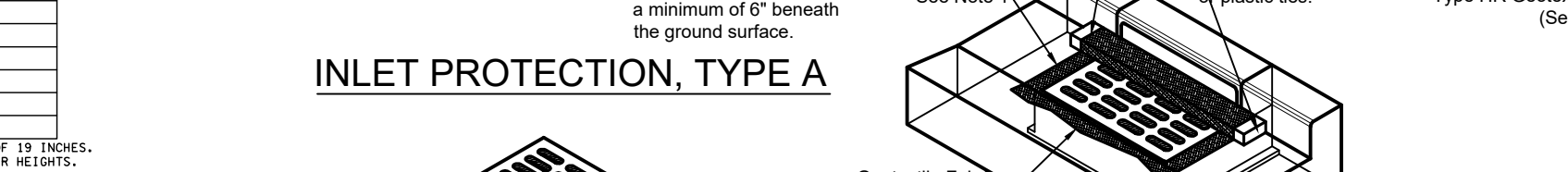
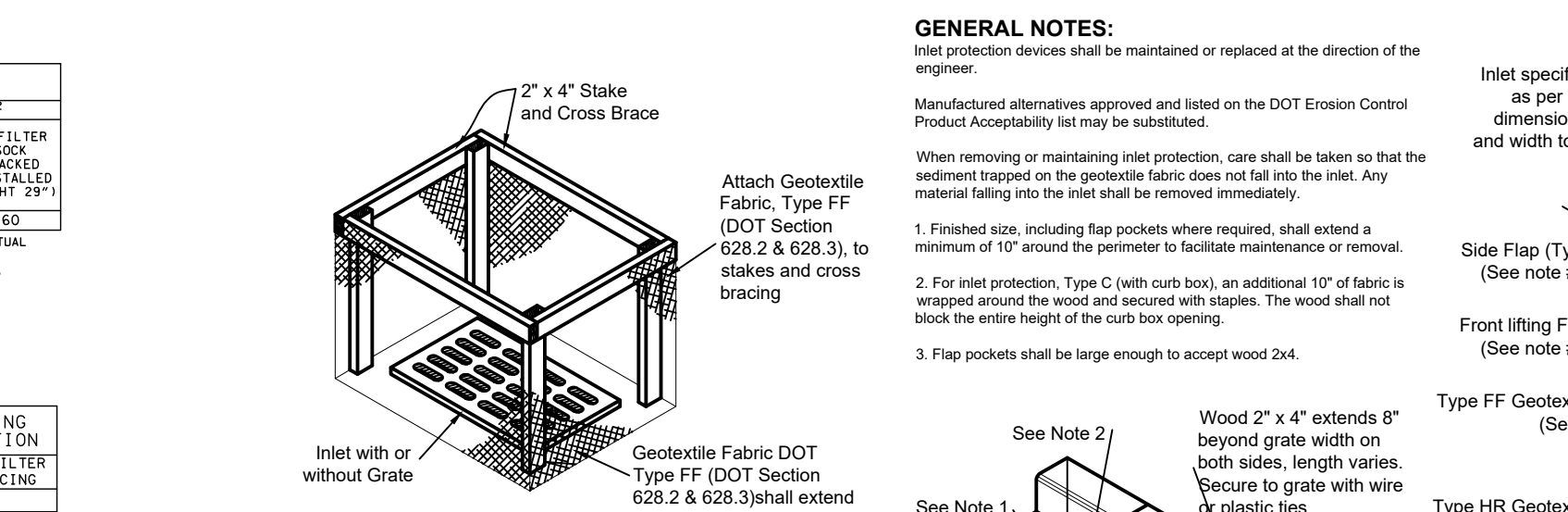
NOMINAL DIAMETER, D	INSTALLED HEIGHT OF SINGLE SOCK	INSTALLED HEIGHT OF STACKED SOCKS
8"	6.5"	N/A
12"	9.5"	13"
18"	14.5"	19"
24"	19"	26"

MINIMUM SPECIFICATION FOR FILTER MEDIA

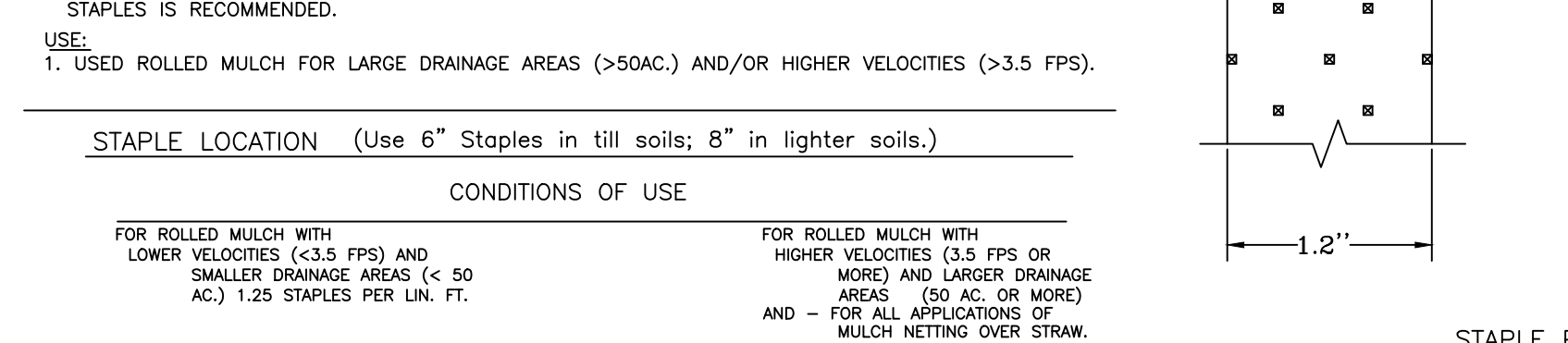
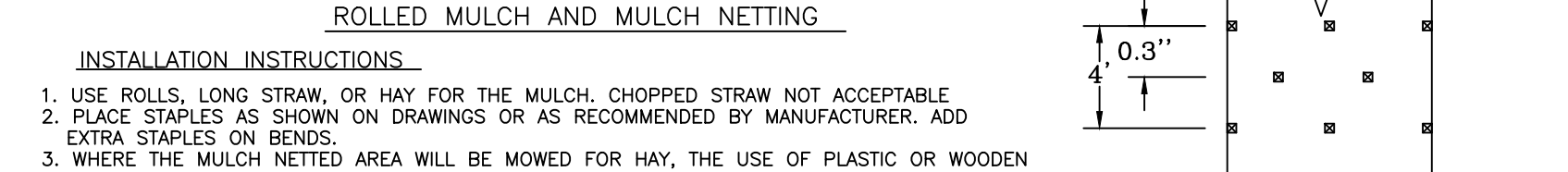
PROPERTY	UNITS	RANGE
MOISTURE CONTENT	% WET WEIGHT BASIS	4 - 60
ORGANIC MATTER CONTENT	% DRY WEIGHT BASIS	25 - 100
PHYSICAL CONTAMINANTS	% DRY WEIGHT BASIS	2 - 1
PARTICLE SIZE	% PASSING SELECTED MESH	2 - 1
	SIZE, DRY WEIGHT BASIS	2 - 1/2 INCH - 99% 3/16 INCH - 100% - 50% MAX. PARTICLE SIZE 2 INCHES



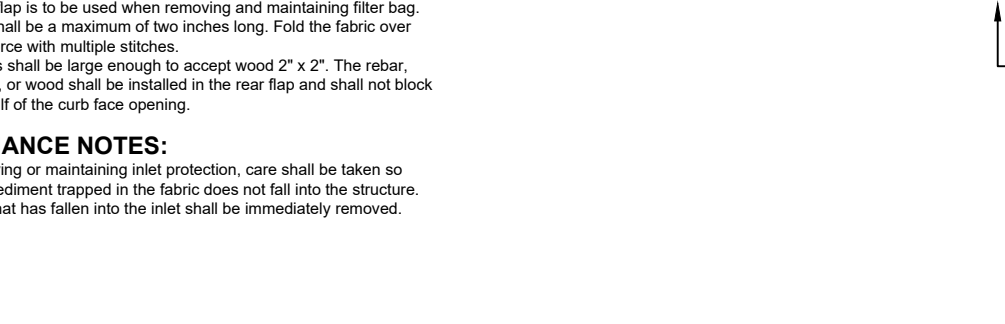
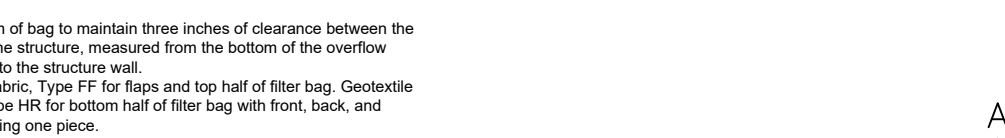
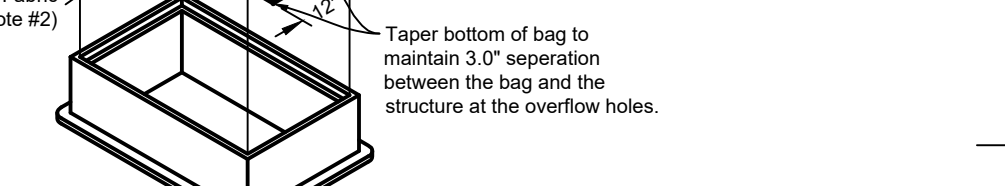
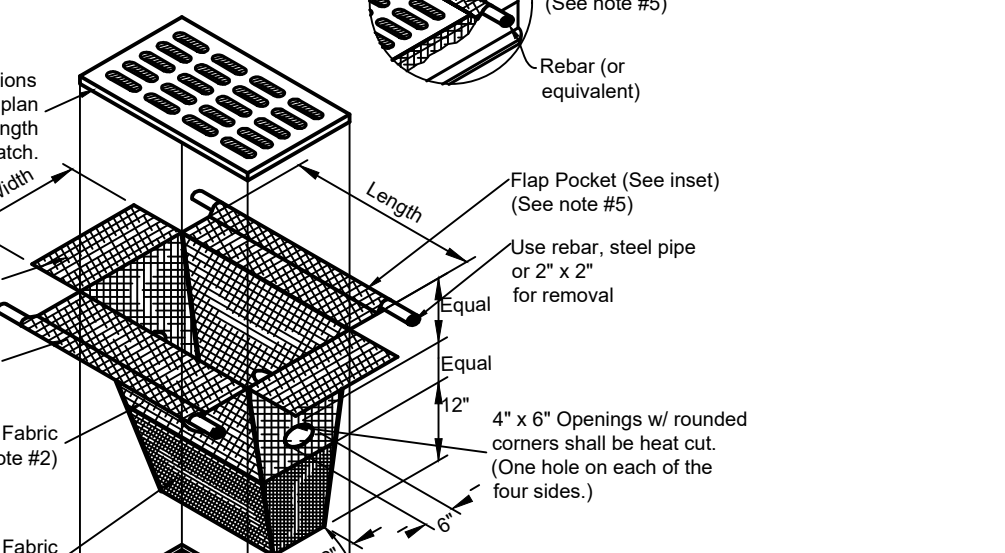
4 FILTER SOCK
NTS



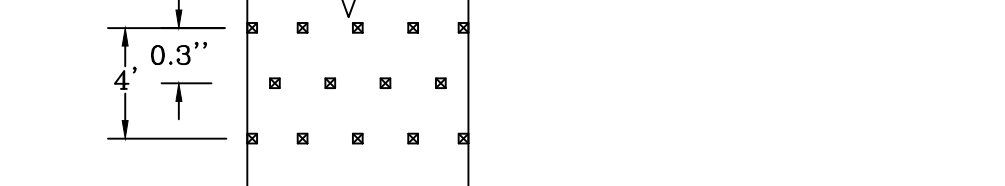
5 INLET PROTECTION
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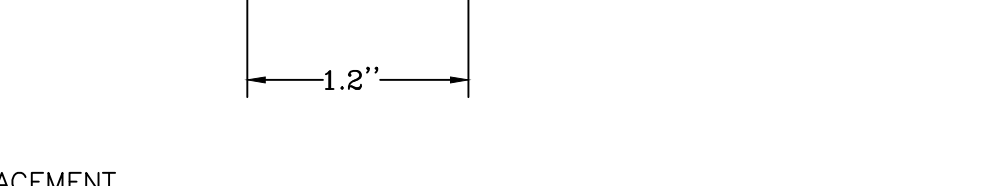
6 MULCH NETTING
NTS



3 SEEDING PLAN
NTS



7 STRAW BALE BARRIER
NTS



REVISIONS

No.	Date	Description
1	05/09/2023	REVISED TEMP SEDIMENT TRAP DETAIL

Page Information

Drawn By	CJF	Approved By	CJF
Project No.	23-2491	Date	10/30/2023
Sheet No.			

Site Plan, Landscape Plan, & Lighting Plan

2024 Valley Truck Leasing Building

Town of Clayton

Winnebago County

November 2023

Revised November 21, 2023

Prepared for:

Utschig Inc.

N1040 Craftsman Drive

Greenville, WI 54942

Contact: TJ Utschig

Phone: (920) 757-0999

Email: TJ@UtschigInc.com

Prepared by:

Clark Fox, P.E.

Civil Fox Engineering, LLC

1730 East. Sylvan Avenue

Appleton, WI 54915

Phone: (920) 419-5904



CIVIL FOX
ENGINEERING, LLC

Valley Truck Leasing
Site Plan

Table of Contents

1.0 Introduction 1
 1.1 Project Contacts
2.0 Construction Phases..... 1
3.0 Landscape Plan..... 2
4.0 Lighting Plan..... 2
5.0 Driveway Access Variance Request..... 3
 5.1 Surrounding Driveway Widths at Road Edge4
6.0 Street Yard Setback Variance Request.....4

- Appendix A – Site Plan Application
- Appendix B – Landscape Plan
- Appendix C – Lighting Plan
- Appendix D – Owner Statement
- Appendix E – Solar Reflective Index

- Attachment – Proposed New Building for Valley Truck Leasing
- Attachment – Valley Truck Leasing Stormwater Management Plan & Erosion Control Plan



1730 East Sylvan Avenue
 Appleton, WI 54915
 www.civil-fox.com
 Phone: (920)419-5904

Site Plan Narrative

1.0 Introduction

Valley Truck Leasing, Inc. (VTL) is owned by JJ Toppins. VTL desires to construct a building for their truck leasing business. A total of one new building is being proposed currently, with a future building addition, two future buildings and a future parking area. The proposed construction is located on West American Drive in the Town of Clayton, Winnebago County, Wisconsin (Parcel # 006034102; NE-SW & NW-SE, Section 12, T20N R16E).

VTL proposes to operate a business at the proposed site. The hours of operation would be from 7AM to 9PM Monday through Friday and closed on Saturday and Sunday. Additional hours may be required as needed. VTL currently has approximately 15 employees on staff. Outside storage will consist of rental or lease trucks and trailers. All work-related vehicles will be parked in the proposed shop.

1.1 Project Contacts

Owner: Valley Truck Leasing, Inc. – JJ Toppins
 Phone: (920) 757-9453, Email: JJ@valleytruckleasingnl.com
 Civil Engineer: Civil Fox Engineering, LLC - Clark Fox, P.E.
 Phone: (920) 419-5904, Email: Clark@civil-fox.com
 Architect: Utschig Inc. – Jeremy Wesener
 Phone (920) 757-0999, Email: Jeremy.Wesener@utschiginc.com
 General Contractor: Utschig Inc. – Jason Techlin
 Phone (920) 757-0999, Email: JTechlin@utschiginc.com

2.0 Construction Phases

Proposed

- Construct a 14,697 square foot building with a pitched roof that is sloped to the west and east and will connect to the existing stormwater pipe system. The structure will not have basements.
- Construct an asphalt driveway and parking that will cover 143,905 square feet.
- Construct a 4,482 square foot concrete area for sidewalks, aprons, and dumpster pad.
- Construct a Stormwater Management System (SMS) that consists of surface inlets within the driveway area that discharge stormwater to the existing road ditch that discharges to an existing regional pond. The SMS is designed to collect runoff from both phases of construction.
- Dimensional Requirements:

- Lot area – 463,490 ft²
- Building area – 22,022 ft² (Includes future addition)
- Parking/driveway area – 143,905 ft²
- Concrete for sidewalks – 4,482 ft²
- Total impervious area – 170,409 ft²
- 22 Parking spaces provided.
- Front lot width – 392 feet
- Front yard setback from structure – 30 feet
- West side yard setback from structure – 10 feet
- East side yard setback from structure – 10 feet
- Rear yard setback from structure – 55 feet
- Lot coverage 36.77%
- Building maximum height –24 feet at eave height

Future

- Construct a 12,000 square foot building with a pitched roof that is sloped to the north and south and will connect to the existing stormwater system, via underground stormwater pipes. The structure will not have a basement.
- Construct a 37,500 square foot building with a pitched roof that is sloped to the north and south and will connect to the existing stormwater system, via underground stormwater pipes. The structure will not have a basement.
- Add additional parking and driveways will be 92,884 square feet of impervious included in the SMS.
- Future lot coverage will be 67.49%

3.0 Landscape Plan

Currently there are no trees on site. The following additional tree plantings are proposed:

- Tree Schedule
 - Thirty-Four (34) Colorado Blue Spruce as required by zoning ordinance.
- Shrub Schedule
 - Twenty-Three (23) Goldflame Spirea, Seventy (70) Red Prince Weigela, and Twenty (20) Pyramidal Thuja Arboritae.
- Lawn Seeding: Areas to be seeded into lawn will be seeded with a shade tolerant Kentucky bluegrass.
- Installation and Certification: Within 30 days of the installation of the planting and lawn seeding Valley Truck Leasing will submit written certification to the Village of Little Chute administrator that healthy plant materials were properly installed in accordance with the Approved landscape plan.
- Maintenance: The owner of Valley Truck Leasing shall be responsible for protecting, maintaining, and repairing all components of the landscaping plan.

The schedule for installation of the Landscape Plan is shown on the Site Development Description and Schedule.

4.0 Lighting Plan

The proposed Lighting Plan contains the following elements:

- Cut sheets of the fixtures: See Appendix D.
 - Fixtures identified as A and B on the Lighting Plan, mounted on the building – twelve (12) LED Wallpacks, mounted at 18 feet on the proposed building. Includes cutoff glare shield.
 - Fixtures identified as C and C on the Lighting Plan, mounting on 25-foot poles. – five (5) LED lights. Includes cutoff glare shield.
- Scale plot plan Graphic representation of proposed luminaries showing lighting distribution at all angles. Distribution is shown in footcandles.

5.0 Driveway Access Variance Request

Sec. A. (1) (e) of Attachment B - Width. Minimum driveway widths of 24 feet are required. Driveways shall not exceed a maximum width of 36 feet at their juncture with the street pavement or 30 feet in width at the public right-of-way line.

The proposed driveway width of 75 feet at the juncture with the street pavement and 40 feet in width at the public right-of-way line. The proposed driveway will allow semi-trucks to safely turn into the site. The proposed driveway favors the west side to allow semi-trucks to turn into the site when coming from the west without having to swing into oncoming traffic to successfully make the turn into the driveway. Appendix E has the proposed driveway along with the code required driveway shown in red. The turning radius of the semi would go onto the road shoulder and outside the code required driveway width.

There are three main criteria that a variance applicant must satisfy: unnecessary hardship, a unique property limitation and no harm to the public interest.

Unnecessary hardship: An unnecessary hardship of being unable to safely have semi-trucks and trailers entering or exiting the facility would greatly impact Valley Truck Leasing as it is a primary source of business. Literal enforcement of the zoning code would be an unnecessary burdensome by creating an unsafe situation.

Unique property limitation: No property limitation is applicable other than the driveway width set forth in the Town of Clayton Code of Ordinances. The driveway width creates a circumstance that is beyond the control of the applicant.

No harm to the public interest: Approving the variance would be in the public's interest as it would increase the safety of the public. An average of 12-15 semi-trucks and trailers will enter an exit the site a day. Having the proposed driveway access will minimize any traffic conflicts with the public. As the area surrounding the proposed site develops it would be expected that traffic will increase. Therefore, it would be in the

public's interest to approve the variance request which would not harm the neighboring properties or the public interest at large.

5.1 Surrounding Driveway Widths at Road Edge

1. Quiet woods RV - 9042 Campers Way - Straight In 46 foot wide.
2. Corcoran Glass and Paint (west neighbor) – 2825 Campers Blvd. – Straight In 43 foot wide.
3. Envision Ink – 2730 West American Drive – 90-Degree 68 foot wide.
4. Complete Fire Solutions (north neighbor) – 2630 American Dr. – 50' with radii.
5. Kunes Fox Valley RV (east neighbor) – 2615 American Dr. – 60' measured as a straight line.

6.0 Street Yard Setback Variance Request

Street yard is defined as: "that area that extends across the front of a lot between the side lot lines from the front lot line to the front of the principal building." We would like to propose the street yard setback only be for West American Drive as that would be our front yard. We would also like to request the line be from the future building. These requests are since rental and lease trucks and trailers are being considered outside storage. We would disagree with trucking and trailers being outside storage. Due to the fact the proposed building is for a truck leasing business it would be detrimental to limit the space they can park there rental and lease truck and trailers. Additional landscaping has been added to screen the parking areas. Additional there is a fence along the highway 10 road that has large brush that would act as screening as well.

Appendix A
Site Plan Application





Site Plan Review Application
Town of Clayton

Mail: 8348 County Road T, Larsen, WI 54947
Phone: 920-836-2007 Fax: 920-836-2026
Email: administrator@townofclayton.net
Web Page: www.townofclayton.net

Contact Information

Arch. - Utschig - Jeremy Wesener
Civil - Civil Fox Engineering, LLC

Property Owner: Last Time Reality, LLC
Company: _____
Address: N1565 Meadow Park Drive
City/St/Zip: Greenville, WI 54942
Phone/Fax: 920-841-9710
Email: lj@valleytruckleasing.com

Engineer/Architect: _____
Company: Utschig Inc.
Address: 11040 Craftsmen Dr.
City/St/Zip: Greenville, WI 54942
Phone/Fax: 920-757-0999
Email: tj@Utschig Inc. com

Property Information

Project Name: Valley Truck Leasing Inc.
Site Address: _____ Tax/Parcel ID: 006-03410Z CSM 7607
Site Zoning: B-3
Surrounding Land Uses: North: B-3
South: State Highway
East: B-3
West: B-3

Proposed Use: Semi-Truck and Trailer Rental and Leasing Company
5-Locations w/ Appleton being VTL's Headquarters
Proposed Zoning: Commercial
Lot Size: 10.68 AC. Structure Size: 14,696.5 SF. Addition: 6,825 SF.
Project Schedule: Break Ground April 1st 2024 Occupancy Nov. 1st 2024

Submittal Fees and Requirements

See Application Checklist for Additional Information
Please make checks payable to the Town of Clayton

Fees

- Fees are based on Actual Review Costs (See Fee Schedule) and will be determined prior to approval.
- Storm Water & Erosion Control fees are based on Winnebago County Zoning Department fee schedule.

Plan of Operation

- Letter describing the business

Site Plan, Architectural Plan, Utility Plan (if applicable), Landscaping Plan

- Meets the requirements of the Town's Zoning Code of Ordinances Article 7, Division 13
- Meets the requirements of the Town's Subdivision Ordinance
- Submit 1 Hard Copy w/application and email an 11 x 17 copy

Signatures

By the execution of this application, applicant hereby authorizes the Town of Clayton or its agents to enter upon the property during the hours of 7:00 AM to 7:00 PM daily for the purpose of inspection. Applicant grants the Town of Clayton or its agents even if applicant has posted this land against trespassing pursuant to Sec. 943.13 Wis. Stats.

Signature: _____

Date: _____

Appendix B
Landscaping Plan



TREE & SHRUB REQUIREMENTS			
TYPE	MIN. SIZE	PTS.	REMARKS
TALL OR MEDIUM HEIGHT DECIDUOUS TREE	2 1/2" DIA.	30	(AS REQUIRED BY ZONING ORDINANCE)
LOW HEIGHT DECIDUOUS TREE	1 1/2" DIA.	10	
EVERGREEN TREE	6" TALL	30	
TALL OR MEDIUM HEIGHT SHRUB	24" HEIGHT	5	
LOW HEIGHT SHRUB	18" HEIGHT	3	

PARKING AREA LANDSCAPING
 1 TREE PER 5,000 SF PARKING AREA
 (PLACED 10' FROM ASPHALT)

LANDSCAPE REQUIREMENTS
 A MINIMUM OF 20 LANDSCAPE POINTS CONSISTING OF EVERGREEN & DECIDUOUS TREE FOR EVERY 4,500 SF. OF IMPERVIOUS SURFACE AREA.
 PHASE 1 IMPERVIOUS SURFACE = 16,956.5 SF
 16,956.5 / 4,500 = 3.77 X 20 = 76.0 POINTS REQUIRED

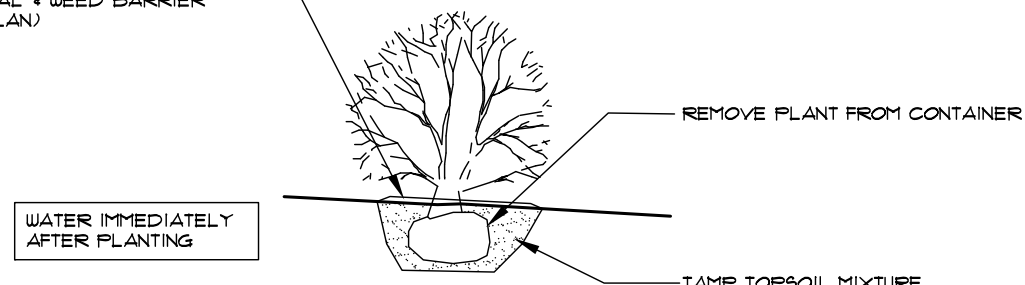
LANDSCAPE SHRUB SCHEDULE						
DESCRIPTION	TYPE	ABBREVIATION	QTY.	SIZE	PTS.	PTS. TOTAL
① GOLDFLAME SPIREA		G.S.	23	18" MIN.	3	69
② RED PRINCE LIEBIGELA		R.P.W.	70	24" MIN.	5	350
③ PYRAMIDAL THUJA ARBORVITAE		P.T.A.	20	5' MIN.	5	100
						519

LANDSCAPE TREE SCHEDULE						
DESCRIPTION	TYPE	ABBREVIATION	QTY.	SIZE	PTS.	PTS. TOTAL
④ COLORADO BLUE SPRUCE	TALL OR MEDIUM HEIGHT DECIDUOUS TREE	C.B.S.	34	MIN. 4" HIGH PLANTING HT.	30	1020
						(AS REQUIRED BY ZONING ORDINANCE)

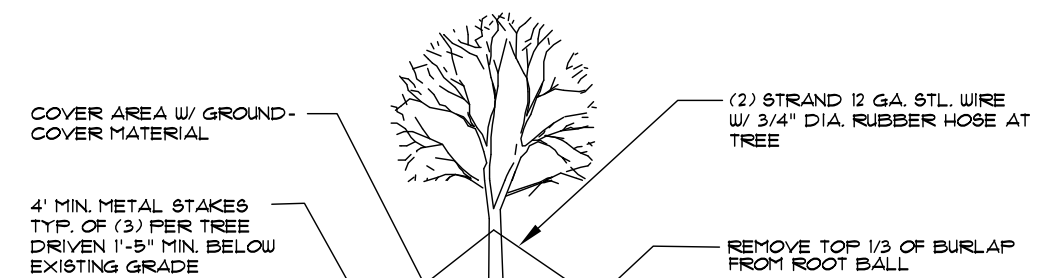
ALL PLANTING AREAS TO HAVE PLASTIC EDGING WHERE NEEDED AND COVERED WITH SHREDDED BARK (OR LANDSCAPE STONE) AS REQUIRED BY TOWN ZONING CODE

SEED MIX
 20% RUGBY II KENTUCKY BLUEGRASS
 20% NEW GLADE KENTUCKY BLUEGRASS
 20% ASPEN KENTUCKY BLUEGRASS
 20% BLUE MOON KENTUCKY BLUEGRASS
 15% BLUE CHIP KENTUCKY BLUEGRASS
 5% STATESMAN PERENNIAL RYE GRASS

COVER AREA W/ GROUND COVER MATERIAL & WEED BARRIER (SEE PLAN)



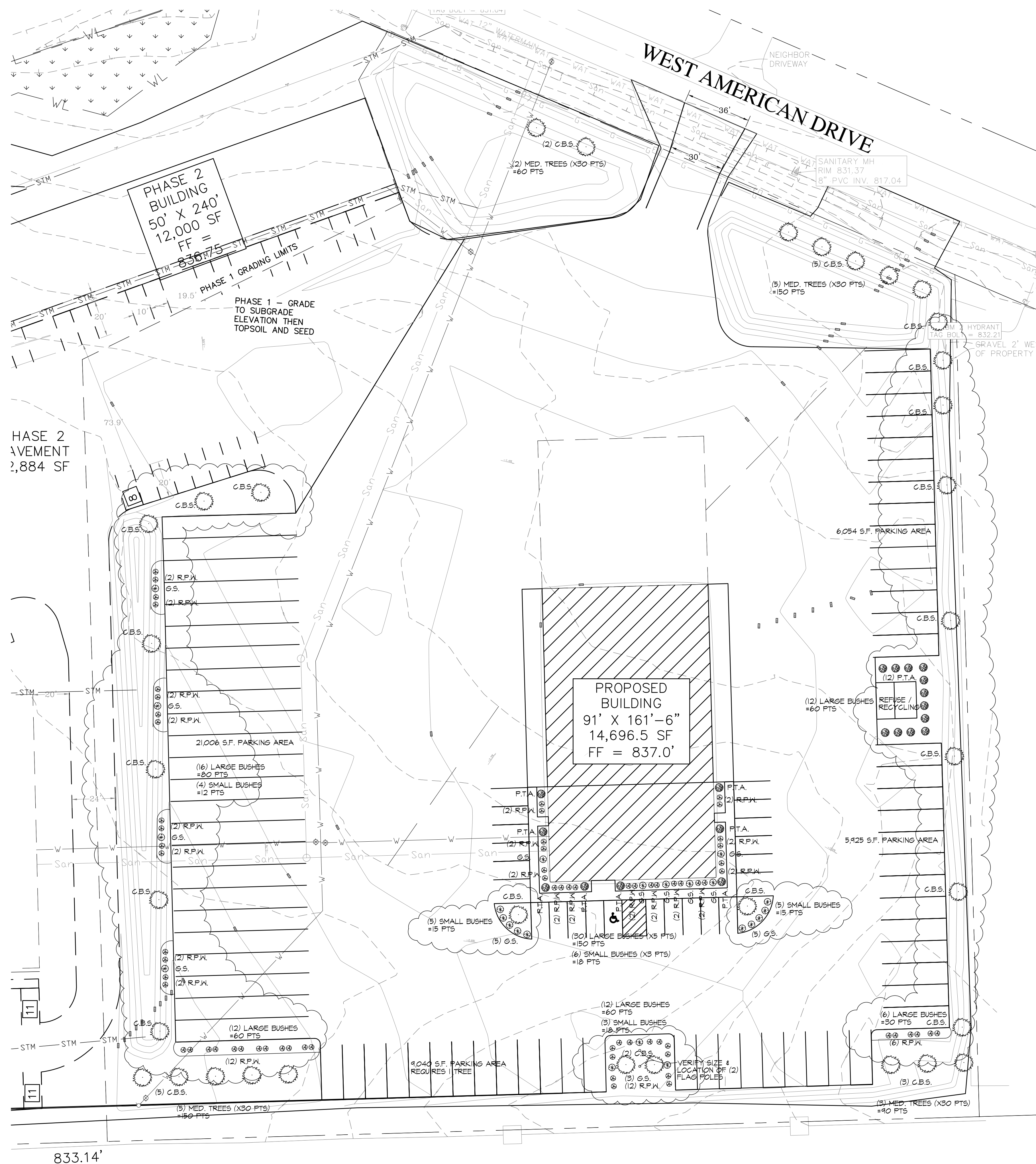
SHRUB/TREE PLANTING DETAIL



TREE PLANTING DETAIL

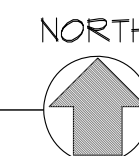
PLANTING REQUIREMENTS

ROW PLANTINGS
 (1) DECIDUOUS TREE MIN. 40' SPACING
 W/ (6) SHRUBS PER TREE
 PERIMETER PLANTINGS TO BE INSTALLED AT BUILDING FRONTAGE



833.14'

LANDSCAPE PLAN
 1" = 30'-0"



PROPOSED NEW BUILDING FOR:
VALLEY TRUCK LEASING
 AMERICAN DRIVE, NEENAH WI 54956
LANDSCAPE PLAN

No.	Date	Description

Page Information

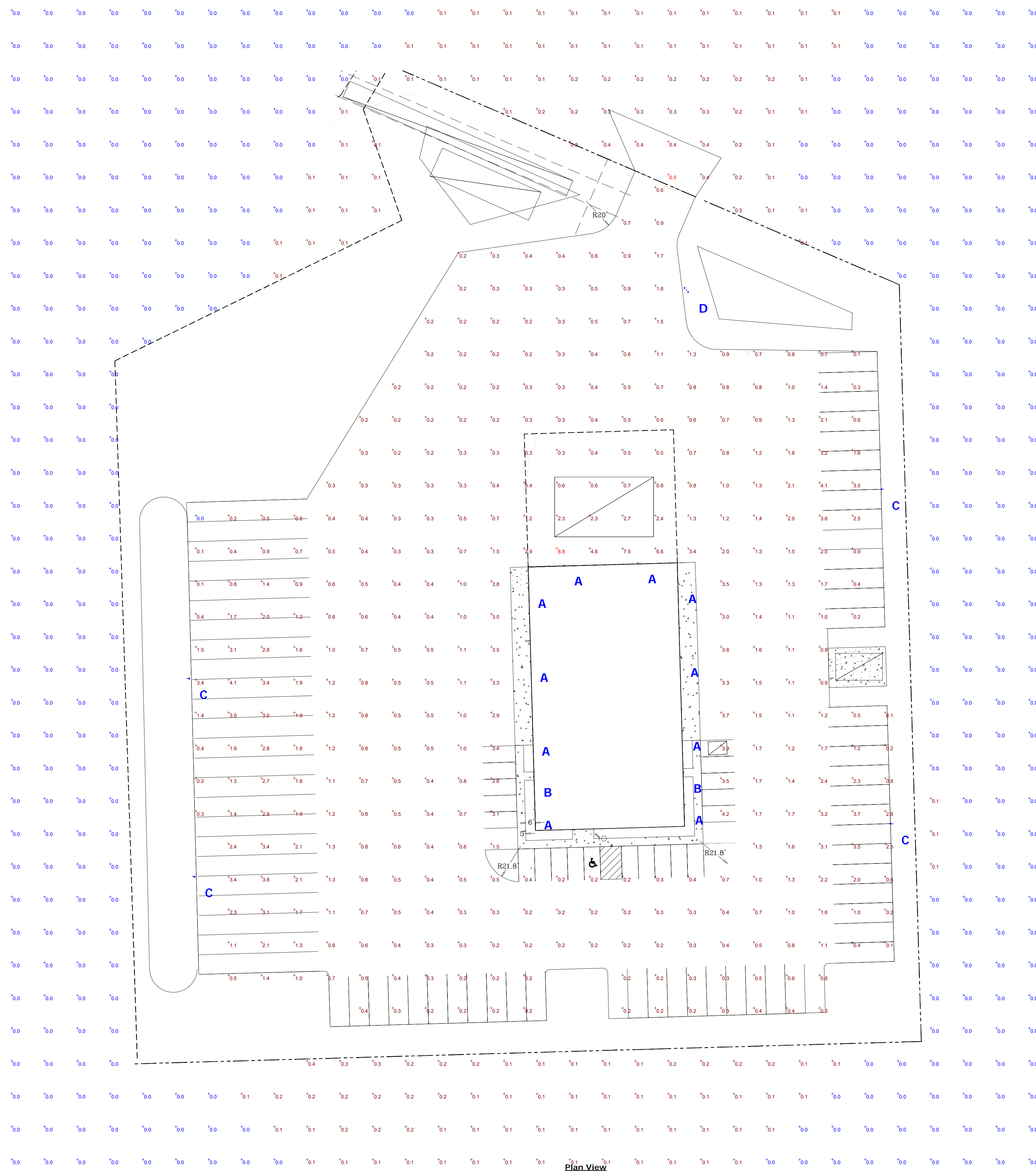
Drawn By: EAF
 Approved By: JJW
 Project No.: 23-2491
 Date: 11/17/23
 Sheet No.

L100

Item B.
UTSCHIG
 DESIGN · CONSTRUCTION · DEVELOPMENT
Your Construction Solution!
 PHONE: 920.757.0999
 FAX: 920.757.1015
 N1040 CRAFTSMEN DRIVE
 GREENVILLE, WI 54942

Appendix C
Lighting Site Plan





Plan View
Scale - 1" = 35ft

Schedule				
Symbol	Label	Quantity	Catalog Number	Wattage
	A	10	SLIM17FAFC100_4K at 0% CCT Setting	102.77
	B	2	SLIM17FA15ADJ_4K	13.98
	C	4	RSX4 LED P6 40K R4 MVOLT IS HS - 25' SQ STEEL POLE WITH TENON, BASE 2' ABOVE GRADE	545.66
	D	1	TWIN RSX4 LED P6 40K R4 MVOLT IS HS - 25' SQ STEEL POLE WITH BULL HORN, BASE 2' ABOVE GRADE	1091.32

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
AREA OUTSIDE OF PARKING LOT	+	0.0 fc	0.5 fc	0.0 fc	N/A	N/A
PARKING LOT	+	1.1 fc	8.8 fc	0.0 fc	N/A	N/A



Color: Bronze

Weight: 3.0 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	0.13A
208V	0.07A
240V	0.06A
277V	0.05A
Input Watts	14.2/14/14.2W

LED Info

Watts	15W
Color Temp	3000K/4000K/5000K
Color Accuracy	70 CRI
L70 Lifespan	100,000 Hours
Lumens	1761/1904/1852 lm
Efficacy	124/136.2/130.3 lm/W

Technical Specifications

Field Adjustability

Field Adjustable:

Color temperature selectable by 3000K, 4000K and 5000K

Compliance

UL Listed:

Suitable for wet locations

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80

IP Rating:

Ingress protection rating of IP65 for dust and water

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.

DLC Product Code: PL0MVJ0V62Q3

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Wattage Equivalency:

Equivalent to 70W Metal Halide

LED Characteristics

LEDs:

Long-life, high-efficiency, surface-mount LEDs

Electrical

Driver:

Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.13A, 208V: 0.07A, 240V: 0.06A, 277V: 0.05A

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

Photocell:

120-277V Integrated button photocell included.

Construction

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

Ambient Temperature :

Max Power Temp Rating: 50°C (122°F)
Middle Power Temp Rating: 50°C (122°F)
Low Power Temp Rating: 50°C (122°F)

Housing:

Precision die-cast aluminum housing and door frame

Lens:

Polycarbonate lens

Mounting:

Hinged wiring access and conduit entries on the back, sides, top and bottom make installation a snap

Cut Off:

Adjustable from 0° (full cutoff) to 90°. 7 settings at 15° each.

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

Other

Note:

All values are typical (tolerance +/- 10%)

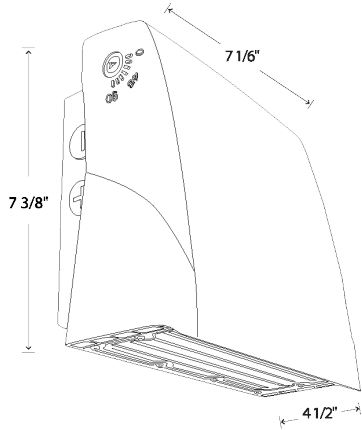
5 Yr Limited Warranty:

The RAB 5-year, limited warranty covers light output, driver performance and paint finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



Features

- Selectable CCT
- Adjustable cutoff
- Integrated photocell
- 0-10V dimming, standard

Ordering Matrix

Family	Wattage	Style
SLIM17FA	15	ADJ

15 = 15W
30 = 30W

ADJ = Angle Adjustable



Color: Bronze

Weight: 10.6 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	1.00A
208V	0.60A
240V	0.50A
277V	0.40A
Input Watts	102/102.8/101W

LED Info

Watts	100W
Color Temp	3000K/4000K/5000K
Color Accuracy	80 CRI
L70 Lifespan	100,000 Hours
Lumens	12833/14984/13166 lm
Efficacy	125.8/145.8/130.4 lm/W

Technical Specifications

Field Adjustability

Field Adjustable:

Color temperature selectable by 3000K, 4000K and 5000K

Compliance

UL Listed:

Suitable for wet locations

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80

IP Rating:

Ingress protection rating of IP65 for dust and water

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.

DLC Product Code: PLUXLTH10KVV

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Wattage Equivalency:

Equivalent to 400W Metal Halide

LED Characteristics

LEDs:

Long-life, high-efficiency, surface-mount LEDs

Electrical

Driver:

Constant Current, Class 1, 120-277V, 50/60 Hz, 120V: 1.00A, 208V: 0.60A, 240V: 0.50A, 277V: 0.40A

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

Photocell:

120-277V selectable photocell that can be turned on and off.

Construction

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

Ambient Temperature :

Max Power Temp Rating: 50°C (122°F)
Middle Power Temp Rating: 50°C (122°F)
Low Power Temp Rating: 50°C (122°F)

Housing:

Precision die-cast aluminum housing and door frame

Lens:

Polycarbonate lens

Mounting:

Hinged wiring access and conduit entries on the back, sides, top and bottom make installation a snap

Cut Off:

Full cutoff (0°)

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

Other

Note:

All values are typical (tolerance +/- 10%)

5 Yr Limited Warranty:

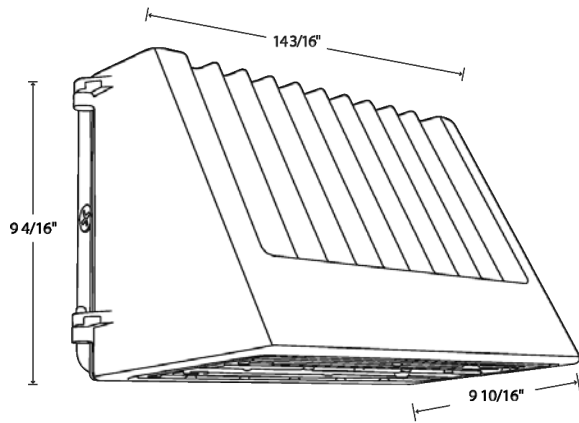
The RAB 5-year, limited warranty covers light output, driver performance and paint finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Technical Specifications (continued)

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



Features

- Selectable CCT
- Full cutoff
- Selectable on/off photocell
- 0-10V dimming, standard

Ordering Matrix

Family	Style	Wattage
SLIM17FA	FC	100

FC = Full cutoff
100 = 100W
120 = 120W
150 = 150W



RSX4 LED Area Luminaire

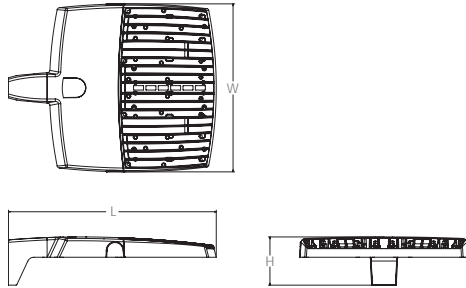


Catalog Number	Item B.
Notes	
Type	

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

EPA (ft²@0°):	0.69 ft ² (0.07 m ²)
Length:	30.9" (78.5 cm) (SPA mount)
Width:	25.0" (63.5 cm)
Height:	3.0" (7.6 cm) Main Body 7.2" (18.4 cm) Arm
Weight (max):	65 lbs (29.5 kg)



Introduction

The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX4 delivers 40,000 to 70,000 lumens allowing it to replace up to (2) 1000W HID luminaires.

The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral slipfitter and other mounting configurations are available.

ds Design Select options indicated by this color background.



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect. *See ordering tree for details

Ordering Information

EXAMPLE: RSX4 LED P6 40K R3 MVOLT SPA DDBXD

RSX4 LED					
Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting
RSX4 LED	P1 P2 P3 P4 P5 P6	30K 3000K 40K 4000K 50K 5000K	R2 Type 2 Wide R3 Type 3 Wide R3S Type 3 Short R4 Type 4 Wide R4S Type 4 Short R5 Type 5 Wide ¹ R5S Type 5 Short ¹ AFR Automotive Front Row AFRR90 Automotive Front Row Right Rotated AFRL90 Automotive Front Row Left Rotated	MVOLT (120V-277V) ² HVOLT (347V-480V) ³ XVOLT (277V-480V) ⁴ (use specific voltage for options as noted) 120 ³ 277 ⁵ 208 ³ 347 ⁵ 240 ³ 480 ⁵	SPA Square pole mounting (3.0" min. SQ pole for 1 at 90° and 2 at 180°) RPA Round pole mounting (3.0" min. dia. RND pole for 1 at 90°, 2 at 180°, 3 at 120°) ESPA Required for mounting RSX4 in 2,3,4 at 90°. Requires 3.5" min. square pole for mounting 2, 3, 4 at 90°. Requires 3.0" min. square pole for 1 at 90°. ⁵ ERPA Required for mounting RSX4 in 2,3,4 at 90°. Requires 3.2" min. dia. round pole for 2, 3, 4 at 90°. Requires 3.0" min. dia. round pole for mounting 1 at 90°, 2 at 180°, 3 at 120°. ⁵ MA Mast arm adaptor (fits 2-3/8" OD horizontal tenon) IS Adjustable slipfitter (fits 2-3/8" OD tenon) ⁷ WBA Wall bracket ¹ WBASC Wall bracket with surface conduit box AASP Adjustable tilt arm square pole mounting ⁷ AARP Adjustable tilt arm round pole mounting ⁷ AAWB Adjustable tilt arm with wall bracket ⁷ AAWSC Adjustable tilt arm wall bracket and surface conduit box ⁷

Options	Finish
<p>Shipped Installed</p> <p>HS House-side shield⁸</p> <p>PE Photocontrol, button style^{9,10}</p> <p>PER7 Seven-wire twist-lock receptacle only (no controls)^{10, 11, 12}</p> <p>SF Single fuse (120, 277, 347)⁵</p> <p>DF Double fuse (208, 240, 480)⁵</p> <p>SPD20KV 20KV Surge pack (10KV standard)</p> <p>FAO Field adjustable output¹⁰</p> <p>DMG 0-10V dimming extend out back of housing for external control (control ordered separate)¹⁰</p> <p>DS Dual switching^{10,13}</p>	<p>DDBXD Dark Bronze</p> <p>DBLXD Black</p> <p>DNAXD Natural Aluminum</p> <p>DWHXD White</p> <p>DBBTXD Textured Dark Bronze</p> <p>DBLTXD Textured Black</p> <p>DNATXD Textured Natural Aluminum</p> <p>DWHGXD Textured White</p>
<p>Shipped Installed</p> <p>*Standalone and Networked Sensors/Controls (factory default settings, see table page 9)</p> <p>NLTAIR2 PIRHN nLight AIR generation 2, with Networked Bi-Level motion/ambient sensor^{10, 14, 15, 16}</p> <p>BAA Buy America(n) Act Compliant</p> <p>CCE Coastal Construction¹⁷</p> <p>*Note: NLTAIR2 PIRHN with nLight Air can be used as a standalone dimming sensor with out-of-box settings or as a wireless networked solution. See factory default settings table. Sensor coverage pattern is affected when luminaire is tilted.</p> <p>Shipped Separately (requires some field assembly)</p> <p>EGS External glare shield⁸</p> <p>EGFV External glare full visor (360° around light aperture)⁸</p> <p>BS Bird spikes¹⁸</p>	

Ordering Information

Item B.

Accessories

Ordered and shipped separately.

RSX4HS U	RSX4 House side shield (includes 4 shields)
RSX4HSAFRR U	RSX4 House side shields for AFR rotated optics (includes 4 shields)
RSX4EGS (FINISH) U	External glare shield (specify finish)
RSX4EGFV (FINISH) U	External glare full visor (specify finish)
RSXRPA (FINISH) U	RSX Universal round pole adaptor plate (specify finish)
RSXWBA (FINISH) U	RSX WBA wall bracket (specify finish) ¹
RSXSCB (FINISH) U	RSX Surface conduit box (specify finish, for use with WBA, WBA not included)
DLL127F 1.5 JU	Photocell -SSL twist-lock (120-277V) ¹⁹
DLL347F 1.5 CULJU	Photocell -SSL twist-lock (347V) ¹⁹
DLL480F 1.5 CULJU	Photocell -SSL twist-lock (480V) ¹⁹
DSHORT SBK U	Shorting cap ¹⁹

NOTES

- Any Type 5 distribution, is not available with WBA.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- HVOLT driver operates on any line voltage from 347-480V (50/60 Hz).
- XVOLT driver operates on any line voltage from 277V-480V (50/60 Hz). XVOLT not available with fusing (SF or DF) and not available with PE or PEX.
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Required for mounting RSX4 in configurations of 2, 3 and 4 at 90°
- Maximum tilt is 90° above horizontal.
- It can be ordered as an accessory.
- Requires MVOLT or 347V.
- Two or more of the following options cannot be combined including PE, DMG, PER7, FAO, DS and NLTAIR2 PIRHN. (Exception: PE and FAO can be combined; also PE and DMG can be combined.)
- Compatible with standard twist-lock photocells for dusk to dawn operation or advanced control nodes that provide 0-10V dimming

- Wire 4/Wire 5 wired to dimming leads on driver. Wire 6/Wire 7 capped inside luminaire. Twistlock photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- For units with option PER7, the mounting must be restricted to +/- 45° from horizontal aim per ANSI C136.10-2010.
- DS requires (2) separately switched circuits. DS provides 50/50 fixture operation via (2) different sets of leads using (2) drivers/sets. DS only available with packages P4, P5, P6, P7 and P8.
- Must be ordered with PIRHN.
- Must be ordered with NLTAIR2. For additional information on PIRHN visit [here](#).
- Requires MVOLT or HVOLT.
- CCE option not available with WBA, WBASC, AASP, AARP, AAWB, AAWBC, EGS, EGFV and BS.
- Must be ordered with fixture for factory pre-drilling.
- Requires luminaire to be specified with PER7 option. Ordered and shipped as a separate line item from Acuity Brands Controls.

External Shields



House Side Shield (HS)



External Glare Shield (EGS)

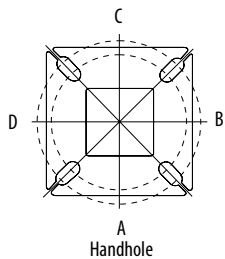


External 360 Full Visor (EGFV)

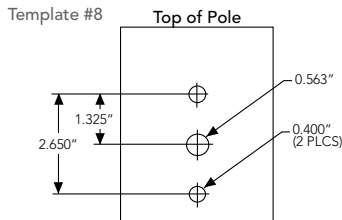
Pole/Mounting Information

Accessories including bullhorns, cross arms and other adapters are available on pages 5-8. For the complete line of accessories available, visit the accessories tab at Lithonia's Outdoor Poles and Arms product page. Click here to visit [Accessories](#).

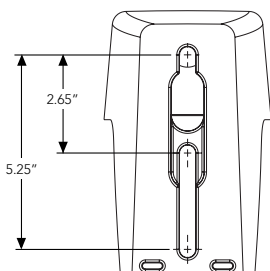
HANDHOLE ORIENTATION



RSX POLE DRILLING



RSX STANDARD ARM, EXTENDED ARM AND ADJUSTABLE ARM



Round Tenon Mount - Pole Top Slipfitters

Tenon O.D.	RSX Mounting	Single	2 @ 180	2 @ 90	3 @ 120	3 @ 90	4 @ 90
2 - 3/8"	RPA, ERPA, AARP	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 320	AS3-5 390	AS3-5 490
2 - 7/8"	RPA, ERPA, AARP	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	RPA, ERPA, AARP	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

Drill Side Location by Configuration Type

Drilling Template	Mounting Option	Single	2 @ 180	2 @ 90	3 @ 120	3 @ 90	4 @ 90
	Head Location	Side B	Side B & D	Side B & C	Round Pole Only	Side B, C & D	Side A, B, C & D
#8	Drill Nomenclature	DM19AS	DM28AS	DM29AS	DM32AS	DM39AS	DM49AS

RSX4 - Luminaire EPA

*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

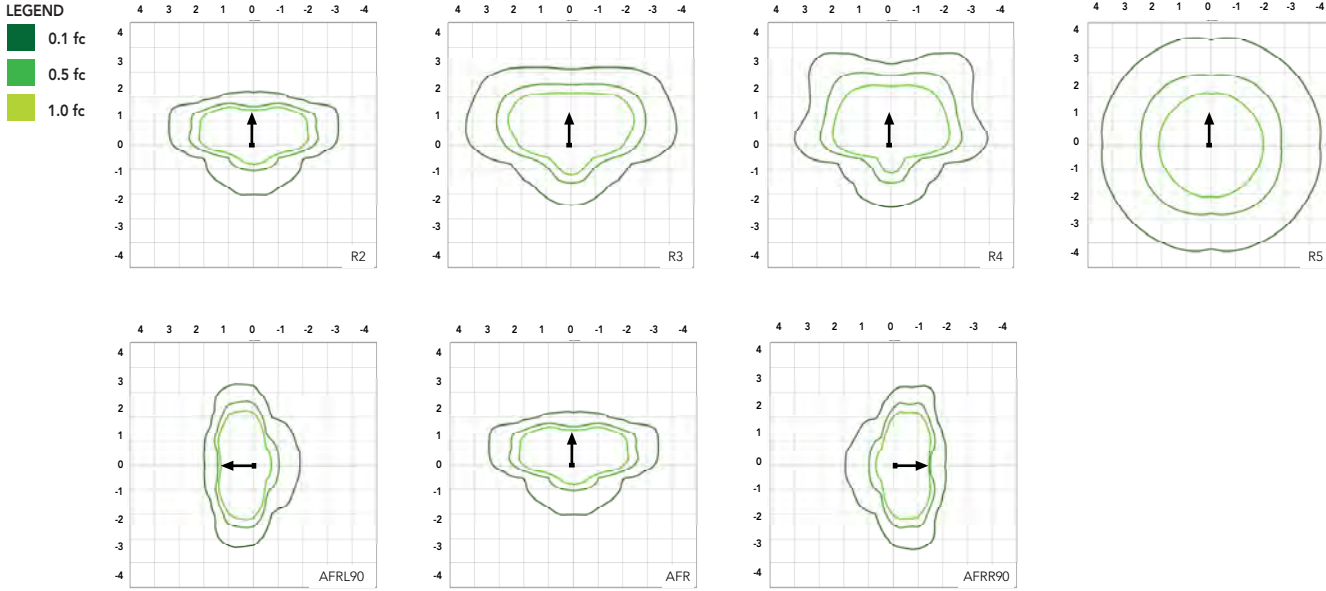
Fixture Quantity & Mounting Configuration	Single	2 @ 90	2 @ 180	3 @ 90	3 @ 120	4 @ 90	2 Side by Side	3 Side by Side	4 Side by Side
SPA - Square Pole Adaptor	0.69	1.34	1.36	1.80	2.00	2.66	1.39	2.08	2.78
RPA - Round Pole Adaptor	0.72	1.39	1.47	1.88	2.09	2.77	1.44	2.16	2.87
MA - Mast Arm Adaptor	0.66	1.28	1.20	1.69	1.87	2.51	1.32	1.98	2.64
ESPA/ERPA - Extended Arm Square/Round Pole	0.74	1.44	1.57	1.96	2.18	2.88	1.48	2.23	2.97
IS - Integral Slipfitter AARP/AASP - Adjustable Arm Square/Round Pole	0°	0.69	1.34	1.36	1.80	2.00	2.66	1.39	2.08
	10°	1.13	2.05	2.22	3.10	2.91	4.01	2.26	3.39
	20°	1.91	3.14	3.57	4.84	4.26	6.23	3.82	5.73
	30°	3.23	4.70	5.70	7.25	6.52	9.31	6.46	9.69
	40°	4.71	6.04	7.96	9.37	9.04	12.04	9.42	14.13
	45°	5.46	6.72	9.10	10.47	10.31	13.40	10.92	16.38
	50°	5.58	7.29	9.51	11.46	10.93	14.56	11.16	16.74
	60°	5.81	8.50	10.35	13.44	12.41	16.89	11.62	17.43
	70°	6.13	9.29	10.98	14.92	13.50	18.57	12.26	18.39
	80°	6.28	9.88	11.47	15.86	14.22	19.72	12.56	18.84
90°	6.43	10.17	11.78	16.26	14.56	20.33	12.86	19.29	

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [RSX Area homepage](#).

Item B.

Isofootcandle plots for the RSX4 LED P6 40K. Distances are in units of mounting height (40').



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-50°C (32-122°F).

Ambient	Ambient	Lumen Multiplier
0°C	32°F	1.05
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97
45°C	113°F	0.96
50°C	122°F	0.95

Electrical Load

Performance Package	System Watts (W)	Current (A)					
		120V	208V	240V	277V	347V	480V
P1	275W	2.34	1.38	1.22	1.08	0.83	0.62
P2	320W	2.60	1.56	1.37	1.22	0.97	0.71
P3	369W	3.08	1.79	1.57	1.39	1.09	0.80
P4	431W	3.61	2.11	1.88	1.76	1.24	0.90
P5	483W	3.97	2.28	1.99	1.74	1.36	0.98
P6	546W	4.48	2.55	2.21	1.93	1.54	1.12

Projected LED Lumen Maintenance

Operating Hours	50,000	75,000	100,000
Lumen Maintenance Factor	>0.97	>0.95	>0.92

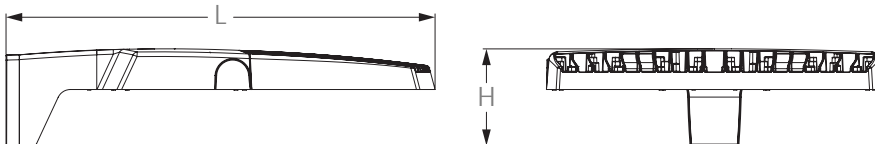
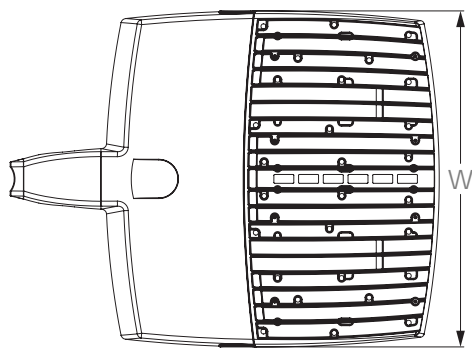
Values calculated according to IESNA TM-21-11 methodology and valid up to 40°C.

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Distribution Type	30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
			Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P1	275W	R2	36,231	3	0	3	132	39,806	3	0	3	145	39,806	3	0	3	145
		R3	36,151	3	0	5	131	39,719	3	0	5	144	39,719	3	0	5	144
		R3S	37,066	3	0	4	135	40,724	3	0	4	148	40,724	3	0	4	148
		R4	36,656	3	0	5	133	40,274	3	0	5	146	40,274	3	0	5	146
		R4S	35,409	3	0	4	129	38,903	3	0	4	141	38,903	3	0	4	141
		R5	36,955	5	0	4	134	40,602	5	0	5	148	40,602	5	0	5	148
		R5S	37,144	5	0	3	135	40,809	5	0	3	148	40,809	5	0	3	148
		AFR	36,231	3	0	3	132	39,806	3	0	3	145	39,806	3	0	3	145
		AFRR90	36,818	3	0	3	134	40,451	3	0	3	147	40,451	3	0	3	147
		AFRL90	37,146	3	0	3	135	40,812	3	0	3	148	40,812	3	0	3	148
P2	320W	R2	41,215	3	0	3	129	45,282	4	0	3	141	45,282	4	0	3	141
		R3	41,125	3	0	5	128	45,183	4	0	5	141	45,183	4	0	5	141
		R3S	42,165	3	0	4	132	46,327	4	0	4	145	46,327	4	0	4	145
		R4	41,699	3	0	5	130	45,814	4	0	5	143	45,814	4	0	5	143
		R4S	40,280	3	0	4	126	44,255	4	0	4	138	44,255	4	0	4	138
		R5	42,039	5	0	5	131	46,188	5	0	5	144	46,188	5	0	5	144
		R5S	42,253	5	0	3	132	46,423	5	0	4	145	46,423	5	0	4	145
		AFR	41,215	3	0	3	129	45,282	4	0	3	141	45,282	4	0	3	141
		AFRR90	41,883	3	0	3	131	46,016	4	0	3	144	46,016	4	0	3	144
		AFRL90	42,256	3	0	3	132	46,426	4	0	3	145	46,426	4	0	3	145
P3	369W	R2	45,968	4	0	3	124	50,504	4	0	3	137	50,504	4	0	3	137
		R3	45,867	4	0	5	124	50,393	4	0	5	136	50,393	4	0	5	136
		R3S	47,028	4	0	5	127	51,669	4	0	5	140	51,669	4	0	5	140
		R4	46,508	4	0	5	126	51,097	4	0	5	138	51,097	4	0	5	138
		R4S	44,925	4	0	4	122	49,358	4	0	4	134	49,358	4	0	4	134
		R5	46,887	5	0	5	127	51,514	5	0	5	139	51,514	5	0	5	139
		R5S	47,126	5	0	4	128	51,777	5	0	4	140	51,777	5	0	4	140
		AFR	45,968	4	0	3	124	50,504	4	0	3	137	50,504	4	0	3	137
		AFRR90	46,713	4	0	3	126	51,323	4	0	3	139	51,323	4	0	3	139
		AFRL90	47,129	4	0	3	128	51,780	4	0	3	140	51,780	4	0	3	140
P4	431W	R2	50,558	4	0	3	117	55,547	4	0	4	129	55,547	4	0	4	129
		R3	50,447	4	0	5	117	55,426	4	0	5	129	55,426	4	0	5	129
		R3S	51,724	4	0	5	120	56,829	4	0	5	132	56,829	4	0	5	132
		R4	51,152	4	0	5	119	56,200	4	0	5	131	56,200	4	0	5	131
		R4S	49,411	4	0	4	115	54,287	4	0	5	126	54,287	4	0	5	126
		R5	51,569	5	0	5	120	56,658	5	0	5	132	56,658	5	0	5	132
		R5S	51,832	5	0	4	120	56,947	5	0	4	132	56,947	5	0	4	132
		AFR	50,558	4	0	3	117	55,547	4	0	4	129	55,547	4	0	4	129
		AFRR90	51,378	4	0	3	119	56,448	4	0	4	131	56,448	4	0	4	131
		AFRL90	51,836	4	0	3	120	56,951	4	0	4	132	56,951	4	0	4	132
P5	483W	R2	56,313	4	0	4	116	61,870	4	0	4	128	61,870	4	0	4	128
		R3	56,190	4	0	5	116	61,735	4	0	5	128	61,735	4	0	5	128
		R3S	57,612	4	0	5	119	63,297	4	0	5	131	63,297	4	0	5	131
		R4	56,974	4	0	5	118	62,597	4	0	5	129	62,597	4	0	5	129
		R4S	55,035	4	0	5	114	60,467	4	0	5	125	60,467	4	0	5	125
		R5	57,439	5	0	5	119	63,107	5	0	5	131	63,107	5	0	5	131
		R5S	57,732	5	0	4	119	63,429	5	0	4	131	63,429	5	0	4	131
		AFR	56,313	4	0	4	116	61,870	4	0	4	128	61,870	4	0	4	128
		AFRR90	57,226	4	0	4	118	62,873	4	0	4	130	62,873	4	0	4	130
		AFRL90	57,736	4	0	4	119	63,433	4	0	4	131	63,433	4	0	4	131
P6	546W	R2	62,633	4	0	4	115	68,814	4	0	4	126	68,814	4	0	4	126
		R3	62,496	4	0	5	115	68,664	4	0	5	126	68,664	4	0	5	126
		R3S	64,078	4	0	5	117	70,402	4	0	5	129	70,402	4	0	5	129
		R4	63,369	4	0	5	116	69,623	4	0	5	128	69,623	4	0	5	128
		R4S	61,213	4	0	5	112	67,254	4	0	5	123	67,254	4	0	5	123
		R5	63,886	5	0	5	117	70,191	5	0	5	129	70,191	5	0	5	129
		R5S	64,212	5	0	4	118	70,549	5	0	4	129	70,549	5	0	4	129
		AFR	62,633	4	0	4	115	68,814	4	0	4	126	68,814	4	0	4	126
		AFRR90	63,649	4	0	4	117	69,930	4	0	4	128	69,930	4	0	4	128
		AFRL90	64,216	4	0	4	118	70,553	4	0	4	129	70,553	4	0	4	129

RSX4 with Round Pole Adapter (RPA)

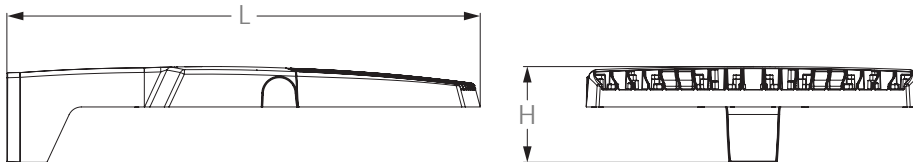
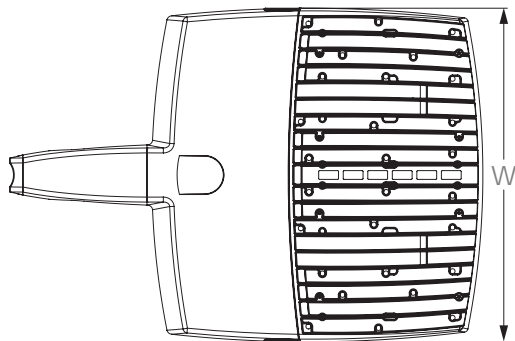


NOTE:
RPA - Round Pole mount can also be used to mount on square poles by omitting the round pole adapter plate shown here.



Length: 31.9" (81.0 cm)
Width: 25.0" (63.5 cm)
Height: 3.0" (7.6 cm) Main Body
7.2" (18.3 cm) Arm

RSX4 with Extended Arm Square or Round Pole (ESPA or ERPA)



NOTE:
RPA - Round Pole mount can also be used to mount on square poles by omitting the round pole adapter plate shown here.

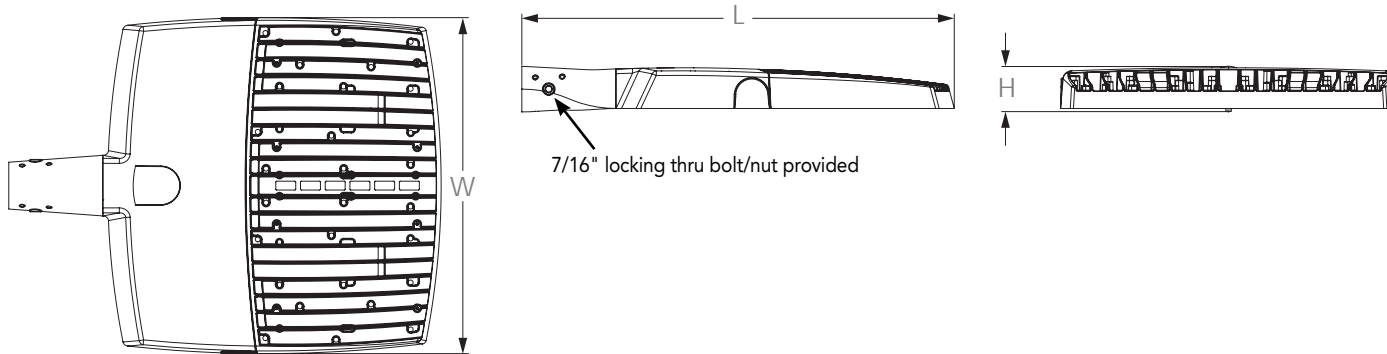


Length: 35.5" (90.2 cm) **ERPA**
34.5" (87.6 cm) **ESPA**
Width: 25.0" (63.5 cm)
Height: 3.0" (7.6 cm) Main Body
7.2" (18.3 cm) Arm

Notes

ESPA: Required for mounting RSX4 in 2,3,4 at 90°. Requires 3.0" min. square pole for 1 at 90°.
ERPA: Required for mounting RSX4 in 2,3,4 at 90°. Requires 3.0" min. dia. round pole for mounting 1 at 90°, 2 at 180°, 3 at 120°.

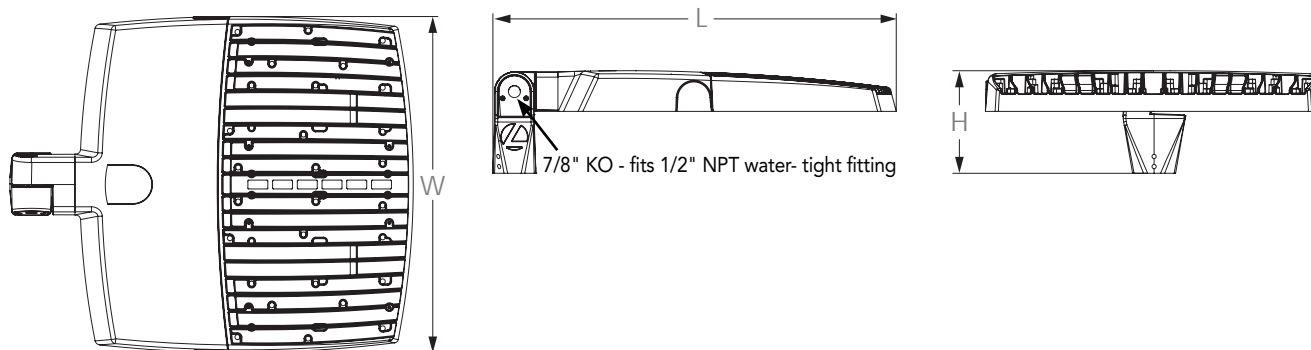
RSX4 with Mast Arm Adapter (MA)



Length: 32.2" (81.8 cm)
 Width: 25.0" (63.5 cm)
 Height: 3.0" (7.6 cm) Main Body
 3.4" (18.6 cm) Arm

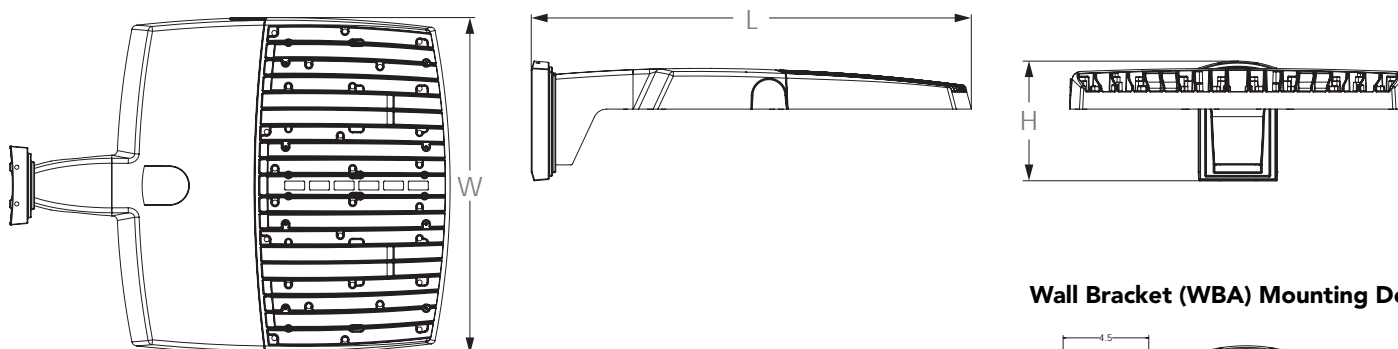
Notes: MA mount requires minimum horizontal tenon length of 6" when mounting RSX4 in configurations of 2, 3 and 4 at 90°.

RSX4 with Adjustable Slipfitter (IS)



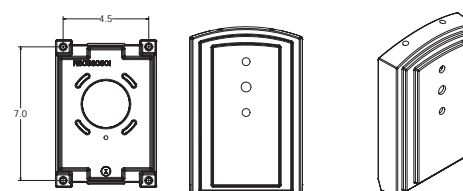
Length: 30.0" (76.2 cm)
 Width: 25.0" (63.5 cm)
 Height: 3.0" (7.6 cm) Main Body
 7.6" (19.3 cm) Arm

RSX4 with Wall Bracket (WBA)

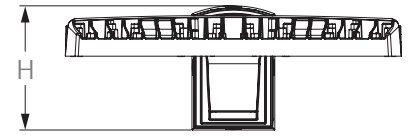
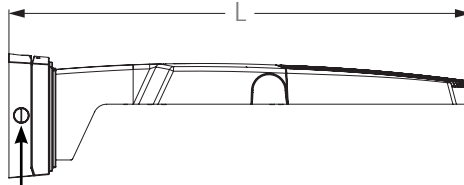
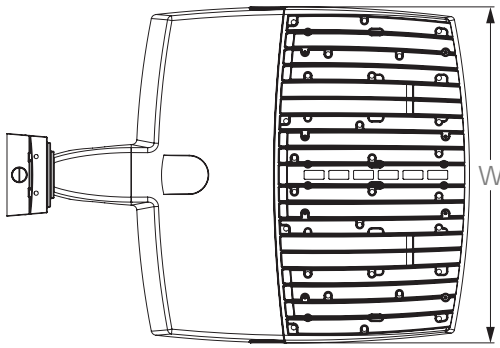


Length: 32.7" (83.1 cm)
 Width: 25.0" (63.5 cm)
 Height: 3.0" (7.6 cm) Main Body
 8.9" (22.6 cm) Arm

Wall Bracket (WBA) Mounting Detail



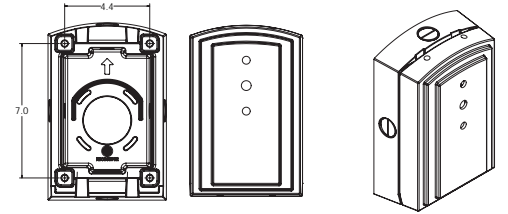
RSX4 with Wall Bracket with Surface Conduit Box (WBASC)



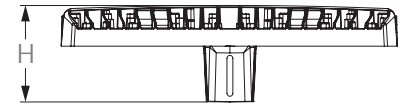
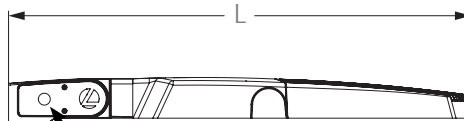
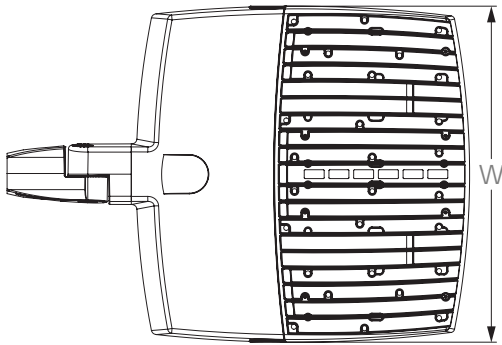
3/4" NPT taps with plugs - Qty (4) provided

Length: 34.4" (87.4 cm)
 Width: 25.0" (63.5 cm)
 Height: 3.0" (7.6 cm) Main Body
 9.2" (23.4 cm) Arm

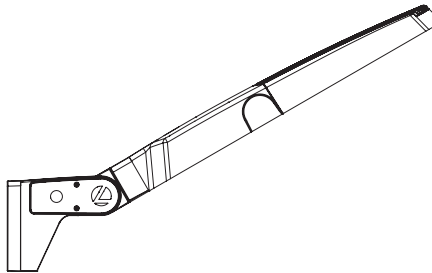
Surface Conduit Box (SCB) Mounting Detail



RSX4 with Adjustable Tilt Arm - Square or Round Pole (AASP or AARP)



7/8" KO - fits 1/2" NPT water-tight fitting



NOTE:
 RPA - Round Pole mount can also be used to mount on square poles by omitting the round pole adapter plate shown here.



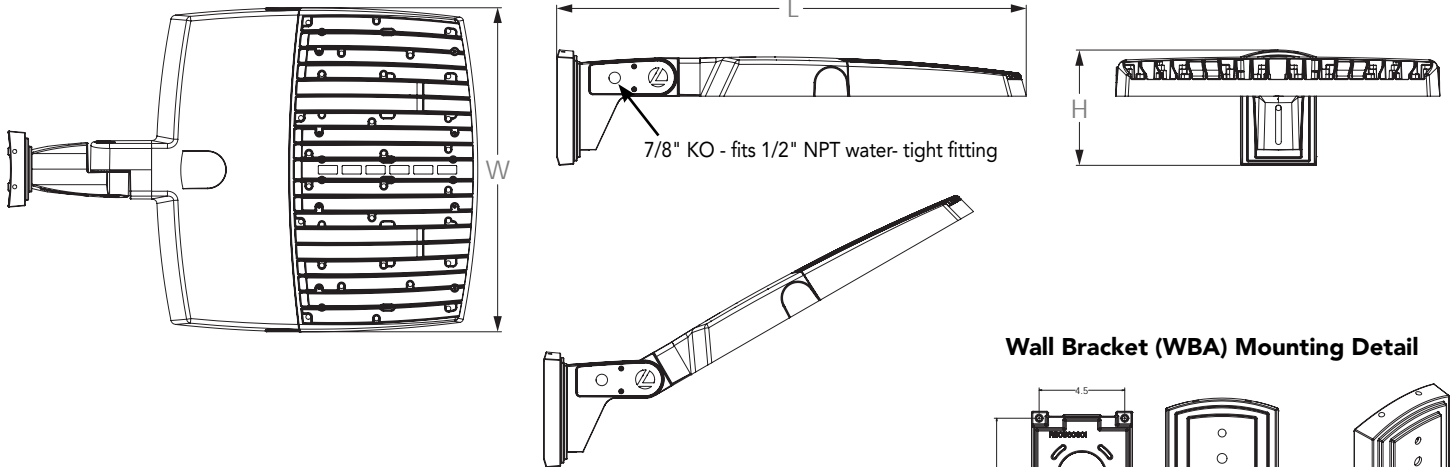
Length: 34.4" (87.4 cm) **AASP**
 35.4" (89.9 cm) **AARP**
 Width: 25.0" (63.5 cm)
 Height: 3.0" (7.6 cm) Main Body
 7.2" (18.3 cm) Arm

Notes

AASP: Requires 3.0" min. square pole for 1 at 90°. (Note: Limited to 30° maximum tilt angle for qty. 2, 3 and 4 at 90° pole top configurations)

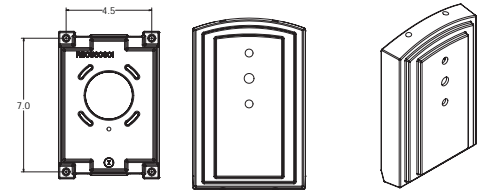
AARP: Requires 3.0" min. dia. round pole for mounting 1 at 90°, 2 at 180°, 3 at 120°. (Note: Limited to 30° maximum tilt angle for qty. 2, 3 and 4 at 90° pole top configurations)

RSX4 with Adjustable Tilt Arm with Wall Bracket (AAWB)

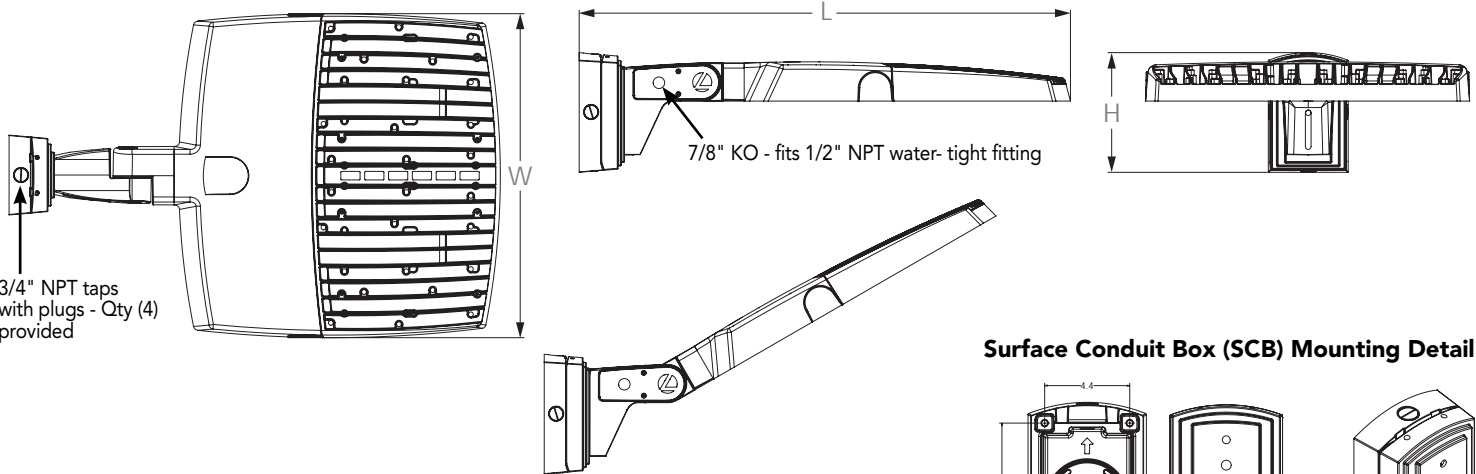


Length: 36.2" (91.9 cm)
 Width: 25.0" (63.5 cm)
 Height: 3.0" (7.6 cm) Main Body
 8.9" (22.6 cm) Arm

Wall Bracket (WBA) Mounting Detail

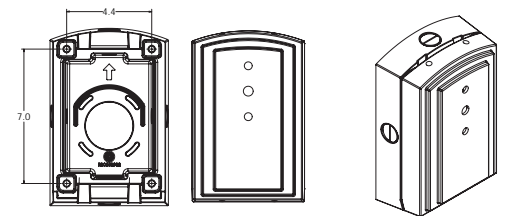


RSX4 with Adjustable Tilt Arm with Wall Bracket and Surface Conduit Box (AAWSC)

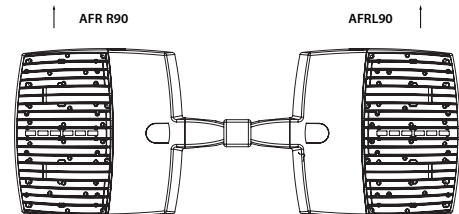


Length: 37.9" (96.3 cm)
 Width: 25.0" (63.5 cm)
 Height: 3.0" (7.6 cm) Main Body
 9.2" (23.4 cm) Arm

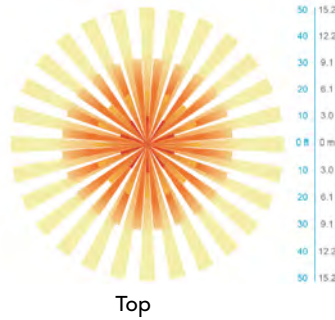
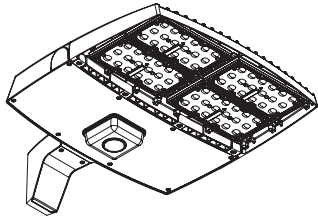
Surface Conduit Box (SCB) Mounting Detail



Automotive Front Row - Rotated Optics (AFR L90/R90)



PIRHN nLight Sensor Coverage Pattern
nLight PIRHN



Motion Sensor Default Settings - Option PIRHN						
Option	Dimmed State (unoccupied)	High Level (when occupied)	Photocell Operation	Dwell Time (occupancy time delay)	Ramp-up Time (from unoccupied to occupied)	Ramp-down Time (from occupied to unoccupied)
PIRHN	Approx. 30% Output	100% Output	Enabled @ 1.5FC	7.5 minutes	3 seconds	5 minutes

*Note: PIRHN default settings including photocell set-point, high/low dim rates, and occupancy sensor time delay are all configurable using the Clarity Pro App.

FEATURES & SPECIFICATIONS

INTENDED USE

The RSX LED area family is designed to provide a long-lasting, energy-efficient solution for the one-for-one replacement of existing metal halide or high pressure sodium lighting. The RSX4 delivers 40,000 to 70,000 lumens and is ideal for replacing 1000W and (2) 1000W HID pole-mounted luminaires in parking lots and other area lighting applications.

CONSTRUCTION

The RSX LED area luminaire features a rugged die-cast aluminum main body that uses heat-dissipating fins and flow-through venting to provide optimal thermal management that both enhances LED performance and extends component life. Integral "no drill" mounting arm allows the luminaire to be mounted on existing pole drillings, greatly reducing installation labor. The light engines and housing are sealed against moisture and environmental contaminants to IP66. The low-profile design results in a low EPA, allowing pole optimization. Vibration rated per ANSI C136.31: 3G Mountings: SPA, RPA, MA, IS, AASP, AARP, ESPA and ERPA rated for 3G vibration. 1.5G Mountings: WBA, WBASC, AAWB and AAWSC rated for 1.5G vibration.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures superior adhesion as well as a minimum finish thickness of 3 mils. The result is a high-quality finish that is warrantied not to crack or peel.

COASTAL CONSTRUCTION (CCE)

Optional corrosion resistant construction is engineered with added corrosion protection in materials and/or pre-treatment of base material under super durable paint. Provides additional corrosion protection for applications near coastal areas. Finish is salt spray tested to over 5,000 hours per ASTM B117 with scribe rating of 10. Additional lead-times apply.

OPTICS

Precision acrylic refractive lenses are engineered for superior application efficiency, distributing the light to where it is needed most. Available in short and wide pattern distributions including Type 2, Type 3, Type 3S, Type 4, Type 4S, Type 5, Type 5S, AFR (Automotive Front Row) and AFR rotated AFR90 and ARFL90.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted on metal-core circuit boards and aluminum heat sinks to maximize heat dissipation. Light engines are IP66 rated. LED lumen maintenance is >L92/100,000 hours. CCT's of 3000K, 4000K and 5000K (minimum 70 CRI) are available. Fixtures ship standard with 0-10v dimming driver. Class 1 electronic drivers ensure system power factor >90% and THD <20%. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

STANDARD CONTROLS

The RSX LED area luminaire has a wide assortment of control options. Dusk to dawn controls include MVOLT and 347V button-type photocells and NEMA twist-lock photocell receptacles.

nLIGHT AIR CONTROLS

The RSX LED area luminaire is also available with nLight® AIR which can be used for simple motion occupancy dimming or for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing with photocontrol functionality and is suitable for mounting heights up to 40 feet. No commissioning is required when using factory default settings that provide basic stand-alone motion occupancy dimming that is switched on and off with a built-in photocell. See chart above for motion sensor default out-of-box settings. For more advanced wireless functionality, such as group dimming, nLight AIR can be commissioned using a smartphone and the easy-to-use CLAIRITY app. nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found [here](#).

INSTALLATION

Integral "no-drill" mounting arm allows for fast, easy mounting using existing pole drillings. Select the "SPA" option for square poles and the "RPA" option to mount to round poles. Note that the RPA mount can also be used for mounting to square poles by omitting the RPA adapter plate. Select the "MA" option to attach the luminaire to a 2.3/8" horizontal mast arm or the "IS" option for an adjustable slipfitter that mounts on a 2 3/8" OD tenon. The adjustable slipfitter has an integral junction box offering easy installation. Can be tilted up to 90° above horizontal. Additional mountings are available including a wall bracket, adjustable tilt arm for direct-to-pole and wall and a surface conduit box for wall mount applications.

LISTINGS

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only. U.S Patent No. D882,146S and U.S Patent No. 11,085,619 B2

BUY AMERICAN ACT

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Appendix D Owner Statement





October 24th, 2023

To whom it may concern;

My name is J.J. Toppins, 2nd generation owner of Valley Truck Leasing Inc. National Lease (VTL). VTL was started in 1955 by my parents, John & Betty Toppins. We are a truck & trailer rental & leasing company that does business with other businesses, primarily operate in Wisconsin, but our equipment runs all over the U.S. and into Canada. My son Jesse Toppins, who has 17 years with VTL & another long-term coworker Greg Christie, who has 22 years with VTL, are inline to be my successors within the next 5 years.

My father came home from the war, married my mother, and with the help of his father they opened Fox Valley Truck Service Inc. (FVT) in 1948. Both FVT & VTL started their humble beginnings at 2138 W. Wisconsin Ave, Appleton, now a pool & spa store. In 1974 both companies were relocated to 3103 W. Wisconsin Ave, Appleton. FVT was a GMC, Volvo, and Isuzu Truck dealer until 2002. At that time the GMC light duty vehicle franchise was sold to John Bergstrom and the Volvo franchise was sold to Rodger Kriete, the Mack dealer in Milwaukee. We retained the GMC medium duty franchise and Isuzu franchise. During the same time as we were downsizing FVT my parents were in the process of selling the land & buildings to the Mills brothers of Mills Fleet Farm, which is now the current location of the Appleton Fleet Farm.

In 2002 we relocated to 5668 Neubert Road, Appleton, and is our current location. In 2008 & 2009 when the government bailed out GM our GMC medium duty franchise was a causality of the bailout like Pontiac, Oldsmobile and Saturn. FVT is still an ISUZU dealer.

In 2012 I bought out my two older brothers in both VTL & FVT. At that same time, I sold 50% of FVT to Mark Arft, a long-time coworker, and I maintained 100% sole proprietorship of VTL. In 2020 I sold my 50% of FVT to Mark and he is now the sole proprietor of FVT. Since the split of the two companies in 2020 they have grown in different directions, and where sharing the same location was once beneficial it is now a hindrance. And this is why I am looking to move VTL to its own location.



VTL is not a dealer of any kind & we do not have any Wisconsin licenses to sell anything retail, therefore no showroom is necessary for VTL's business. As I mentioned before, we are a business-to-business truck & trailer provider for other businesses that either manufacture or transport goods. VTL has four other locations that are located in Brillion, Fond du Lac, Sheboygan and Stevens Point. Our Appleton location is our home office or headquarters. VTL provides mechanical service for the equipment we rent and lease. At our proposed location on American Drive, we would be doing the same repairs and maintenance on our equipment. We are projecting we will have 15 to 20 employees at this location with an average annual wage of \$68,000 with full benefit package.

Thank you for your time and consideration to approve VTL as a new tenant in your great community.

Sincerely,

A handwritten signature in black ink, appearing to read "J.J. Toppins".

J.J. Toppins
President and Owner
Valley Truck Leasing, Inc NL

Appendix E Solar Reflective Index



COLORS AND FINISHES

STANDARD WALL, TRIM & ROOF COLORS

Varco Pruden uses high quality paint systems designed to provide long-term performance and protection. Each coating is formulated with thoroughly researched, tested and field proven pretreatments, primers, resins and pigments that can meet your design and performance requirements.

This paint system combines ceramic pigmentation with polyvinylidene fluoride for superior, long-lasting performance. PVDF finishes are respected for their durability, resistance and color retention. Our KXL finishes are warranted for up to 25 years.



Cool Artic White



Cool Egyptian White



Cool Sierra Tan



Cool Granite Gray



Cool Zinc Gray



Cool Straw Gold



Cool Dark Bronze



Cool Colonial Red



Cool Hemlock Green



Cool Leaf Green



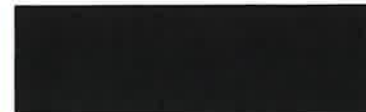
Cool Bermuda Green



Cool Cobalt Blue



Cool Imperial Blue



Cool Ebony (trim only)



Acrylic Coated Galvalume *

Colors printed on this page may not exactly match actual panel colors. Please request panel swatches for true color match.

Wall panel colors for Panel Rib, RPR, Tech Four & Vee Rib. Roof panel colors for Panel Rib Roof, SSR and 26 & 24 ga. Deck-Liner. Deck-Liner panel colors are limited to 24 & 26 ga. 22 & 28 ga. Deck-Liner is available in Polyester Interior White only. Panel Rib Panel Liner is available in SMP Cool Cotton White only.

*Acrylic Coated Galvalume® is an option for SSR, Panel Rib Roof or Wall & Deck-Liner.

LONG-TERM BEAUTY, UNMATCHED PROTECTION, COOL COLOR PERFORMANCE AND SUPERIOR QUALITY.

70% PVDF finishes meet both Kynar 500® and Hylar 5000® specifications. All colors shown approximate actual paint colors as accurately as possible. Actual paint colors may vary. Colors in this guide are for reference only. Varco Pruden Buildings reserves the right to change color offerings shown here without notice. Painted metal samples are available.

Custom color matching is available through Varco Pruden. Orders with custom colors are subject to special pricing and delivery considerations. For SLR II colors, see selection card #6020.

PHYSICAL AND PERFORMANCE PROPERTIES ON COATED STEEL ¹		
Specular Gloss at 60°	ASTM D 523 ⁽²⁾	25-35
Pencil Hardness	ASTM D 3363	F-2H
T-Bend ⁽³⁾	ASTM D 4145	2T; No pick off
Adhesion	ASTM D 3359	Reverse impact 1/16" crosshatch; No adhesion loss
Humidity Resistance 100% humidity @ 95° F	ASTM D 2247 ASTM D 714	Passes 1500 hours No #8 blisters
Reverse Impact	ASTM D 2794	3.0 x metal thickness, no cracking or adhesion loss
Salt Spray Resistance 5% salt fog @ 95° F	ASTM B 117	Passes 1000 hours less than 1/8" avg. creepage from scribe. None or few #8 blisters
South Florida Exposure 10 yrs. @ 45°	ASTM D 2244 ASTM D 4214	Max 5 fade Max 8 chalk
Dry Film Thickness	ASTM D 1400	0.20 mil primer; 0.75 mil topcoat
Acid Resistance	ASTM D 1308	10% muratic acid 24 hours — no effect; 20% muratic acid 18 hours — no effect
Acid Rain Test	Kesternich SO ₂	15 cycles min. DIN 50018, no objectionable color change
Alkali Resistance	ASTM D 1308	10%, 25% NaOH, 1 hour; no effect

Includes G90 hot dip galvanized and Galvalume 2. American Society for Testing and Materials. 3. Fracturing or rupturing of substrate will rupture coatings. Heavy gauge and clad steel substrates impose limitations on formability. KXL coatings are generally flexible beyond the point of substrate rupture.

VP COOL COLOR INFORMATION							
Color Name & Code	Solar Reflectance ¹	Thermal Emittance ²	SRI ³	LEED 2.2 Low Slope Initial SRI>or=78	LEED 4.0 Low Slope Initial SRI>or=82	LEED 2.2 Steep Slope Initial SRI>or=29	LEED 4.0 Steep Slope Initial SRI>or=29
Acrylic Coated Galvalume (no code)	0.68	0.30	65	No	No	Yes	Yes
Cool Arctic White - BN5W183B	0.64	0.84	76	No	No	Yes	Yes
Cool Bermuda Green - BN5G176B	0.30	0.84	29	No	No	Yes	No
Cool Cobalt Blue - BN5L148B	0.33	0.84	33	No	No	Yes	No
Cool Colonial Red - BN5R143B	0.34	0.85	35	No	No	Yes	No
Cool Cotton White - BN5W184B	0.76	0.84	93	Yes	Yes	Yes	Yes
Cool Dark Bronze - BN5N239B	0.32	0.84	32	No	No	Yes	No
Cool Ebony - BN5B114B	0.30	0.84	29	No	No	Yes	No
Cool Egyptian White - BN5I137B	0.63	0.83	74	No	No	Yes	Yes
Cool Granite Gray - BN5A221B	0.55	0.84	63	No	No	Yes	Yes
Cool Hemlock Green - BN5G175B	0.34	0.85	35	No	No	Yes	No
Cool Imperial Blue - BN5L149B	0.30	0.84	29	No	No	Yes	No
Cool Leaf Green - BN5G174B	0.30	0.85	30	No	No	Yes	No
Cool Sierra Tan - BN5N235B	0.49	0.84	55	No	No	Yes	Yes
Cool Straw Gold - BN5I136B	0.61	0.84	72	No	No	Yes	Yes
Cool Zinc Gray - BN5A222B	0.37	0.85	39	No	No	Yes	Yes

Authorized Independent Testing Laboratory Results: 1 = AITL ASTM C1549 CRRR Tested Lab Results. 2 = AITL ASTM C1371 CRRR Tested Lab Results. 3 = AITL ASTM E1980 CRRR Tested Lab Results. (Low Slope < 2:12; Steep Slope >2:12)

Note: All panels formed from light gauge metal may exhibit waviness, also known as "Oil Canning," commonly occurring in, but not restricted to, flat portions of a panel. This inherent characteristic is not a defect of material and is not cause for rejection.
 • Kynar 500® is a registered trademark of Arkema.
 • Hylar 5000® is a registered trademark of Solvay Solexis.
 • Galvalume® is a registered trademark of BIEC International, Inc.

Site Plan, Landscape Plan, & Lighting Plan

2024 Valley Truck Leasing Building

Town of Clayton

Winnebago County

November 2023

Revised November 21, 2023

Prepared for:

Utschig Inc.

N1040 Craftsman Drive

Greenville, WI 54942

Contact: TJ Utschig

Phone: (920) 757-0999

Email: TJ@UtschigInc.com

Prepared by:

Clark Fox, P.E.

Civil Fox Engineering, LLC

1730 East. Sylvan Avenue

Appleton, WI 54915

Phone: (920) 419-5904



CIVIL FOX
ENGINEERING, LLC

Valley Truck Leasing

Site Plan

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1.1 Project Contacts	
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3.0 Landscape Plan.....	2
4.0 Lighting Plan.....	2
5.0 Driveway Access Variance Request.....	3
5.1 Surrounding Driveway Widths at Road Edge	4
6.0 Street Yard Setback Variance Request.....	4

- Appendix A – Site Plan Application
- Appendix B – Landscape Plan
- Appendix C – Lighting Plan
- Appendix D – Owner Statement
- Appendix E – Solar Reflective Index

- Attachment – Proposed New Building for Valley Truck Leasing
- Attachment – Valley Truck Leasing Stormwater Management Plan & Erosion Control Plan



1730 East Sylvan Avenue
 Appleton, WI 54915
 www.civil-fox.com
 Phone: (920)419-5904

Site Plan Narrative

1.0 Introduction

Valley Truck Leasing, Inc. (VTL) is owned by JJ Toppins. VTL desires to construct a building for their truck leasing business. A total of one new building is being proposed currently, with a future building addition, two future buildings and a future parking area. The proposed construction is located on West American Drive in the Town of Clayton, Winnebago County, Wisconsin (Parcel # 006034102; NE-SW & NW-SE, Section 12, T20N R16E).

VTL proposes to operate a business at the proposed site. The hours of operation would be from 7AM to 9PM Monday through Friday and closed on Saturday and Sunday. Additional hours may be required as needed. VTL currently has approximately 15 employees on staff. Outside storage will consist of rental or lease trucks and trailers. All work-related vehicles will be parked in the proposed shop.

1.1 Project Contacts

Owner: Valley Truck Leasing, Inc. – JJ Toppins
 Phone: (920) 757-9453, Email: JJ@valleytruckleasingnl.com
 Civil Engineer: Civil Fox Engineering, LLC - Clark Fox, P.E.
 Phone: (920) 419-5904, Email: Clark@civil-fox.com
 Architect: Utschig Inc. – Jeremy Wesener
 Phone (920) 757-0999, Email: Jeremy.Wesener@utschiginc.com
 General Contractor: Utschig Inc. – Jason Techlin
 Phone (920) 757-0999, Email: JTechlin@utschiginc.com

2.0 Construction Phases

Proposed

- Construct a 14,697 square foot building with a pitched roof that is sloped to the west and east and will connect to the existing stormwater pipe system. The structure will not have basements.
- Construct an asphalt driveway and parking that will cover 143,905 square feet.
- Construct a 4,482 square foot concrete area for sidewalks, aprons, and dumpster pad.
- Construct a Stormwater Management System (SMS) that consists of surface inlets within the driveway area that discharge stormwater to the existing road ditch that discharges to an existing regional pond. The SMS is designed to collect runoff from both phases of construction.
- Dimensional Requirements:

- Lot area – 463,490 ft²
- Building area – 22,022 ft² (Includes future addition)
- Parking/driveway area – 143,905 ft²
- Concrete for sidewalks – 4,482 ft²
- Total impervious area – 170,409 ft²
- 22 Parking spaces provided.
- Front lot width – 392 feet
- Front yard setback from structure – 30 feet
- West side yard setback from structure – 10 feet
- East side yard setback from structure – 10 feet
- Rear yard setback from structure – 55 feet
- Lot coverage 36.77%
- Building maximum height –24 feet at eave height

Future

- Construct a 12,000 square foot building with a pitched roof that is sloped to the north and south and will connect to the existing stormwater system, via underground stormwater pipes. The structure will not have a basement.
- Construct a 37,500 square foot building with a pitched roof that is sloped to the north and south and will connect to the existing stormwater system, via underground stormwater pipes. The structure will not have a basement.
- Add additional parking and driveways will be 92,884 square feet of impervious included in the SMS.
- Future lot coverage will be 67.49%

3.0 Landscape Plan

Currently there are no trees on site. The following additional tree plantings are proposed:

- Tree Schedule
 - Thirty-Four (34) Colorado Blue Spruce as required by zoning ordinance.
- Shrub Schedule
 - Twenty-Three (23) Goldflame Spirea, Seventy (70) Red Prince Weigela, and Twenty (20) Pyramidal Thuja Arboritae.
- Lawn Seeding: Areas to be seeded into lawn will be seeded with a shade tolerant Kentucky bluegrass.
- Installation and Certification: Within 30 days of the installation of the planting and lawn seeding Valley Truck Leasing will submit written certification to the Village of Little Chute administrator that healthy plant materials were properly installed in accordance with the Approved landscape plan.
- Maintenance: The owner of Valley Truck Leasing shall be responsible for protecting, maintaining, and repairing all components of the landscaping plan.

The schedule for installation of the Landscape Plan is shown on the Site Development Description and Schedule.

4.0 Lighting Plan

The proposed Lighting Plan contains the following elements:

- Cut sheets of the fixtures: See Appendix D.
 - Fixtures identified as A and B on the Lighting Plan, mounted on the building – twelve (12) LED Wallpacks, mounted at 18 feet on the proposed building. Includes cutoff glare shield.
 - Fixtures identified as E and F on the Lighting Plan, mounting on 25-foot poles. – five (5) LED lights. Includes cutoff glare shield.
- Scale plot plan Graphic representation of proposed luminaries showing lighting distribution at all angles. Distribution is shown in footcandles.
- Revisions include removing bullhorns and adjustable arms. Fixtures will be bolted to the pole and be shining straight down. IDA logo is shown on the top center of the cut sheet.

5.0 Driveway Access Variance Request

Sec. A. (1) (e) of Attachment B - Width. Minimum driveway widths of 24 feet are required. Driveways shall not exceed a maximum width of 36 feet at their juncture with the street pavement or 30 feet in width at the public right-of-way line.

The proposed driveway width of 75 feet at the juncture with the street pavement and 40 feet in width at the public right-of-way line. The proposed driveway will allow semi-trucks to safely turn into the site. The proposed driveway favors the west side to allow semi-trucks to turn into the site when coming from the west without having to swing into oncoming traffic to successfully make the turn into the driveway. Appendix E has the proposed driveway along with the code required driveway shown in red. The turning radius of the semi would go onto the road shoulder and outside the code required driveway width.

There are three main criteria that a variance applicant must satisfy: unnecessary hardship, a unique property limitation and no harm to the public interest.

Unnecessary hardship: An unnecessary hardship of being unable to safely have semi-trucks and trailers entering or exiting the facility would greatly impact Valley Truck Leasing as it is a primary source of business. Literal enforcement of the zoning code would be an unnecessary burdensome by creating an unsafe situation.

Unique property limitation: No property limitation is applicable other than the driveway width set forth in the Town of Clayton Code of Ordinances. The driveway width creates a circumstance that is beyond the control of the applicant.

No harm to the public interest: Approving the variance would be in the public's interest as it would increase the safety of the public. An average of 12-15 semi-trucks and trailers will enter an exit the site a day. Having the proposed driveway access will

minimize any traffic conflicts with the public. As the area surrounding the proposed site develops it would be expected that traffic will increase. Therefore, it would be in the public's interest to approve the variance request which would not harm the neighboring properties or the public interest at large.

5.1 Surrounding Driveway Widths at Road Edge

1. Quiet woods RV - 9042 Campers Way - Straight In 46 foot wide.
2. Corcoran Glass and Paint (west neighbor) – 2825 Campers Blvd. – Straight In 43 foot wide.
3. Envision Ink – 2730 West American Drive – 90-Degree 68 foot wide.
4. Complete Fire Solutions (north neighbor) – 2630 American Dr. – 50' with radii.
5. Kunes Fox Valley RV (east neighbor) – 2615 American Dr. – 60' measured as a straight line.

6.0 Street Yard Setback Variance Request

Street yard is defined as: “that area that extends across the front of a lot between the side lot lines from the front lot line to the front of the principal building.” We would like to propose the street yard setback only be for West American Drive as that would be our front yard. We would also like to request the line be from the future building. These requests are since rental and lease trucks and trailers are being considered outside storage. We would disagree with trucking and trailers being outside storage. Due to the fact the proposed building is for a truck leasing business it would be detrimental to limit the space they can park there rental and lease truck and trailers. Additional landscaping has been added to screen the parking areas. Additional there is a fence along the highway 10 road that has large brush that would act as screening as well.

Appendix A **Site Plan Application**





Site Plan Review Application
Town of Clayton

Mail: 8348 County Road T, Larsen, WI 54947
Phone: 920-836-2007 Fax: 920-836-2026
Email: administrator@townofclayton.net
Web Page: www.townofclayton.net

Contact Information

Arch. - Utschig - Jeremy Wesener
Civil - Civil Fox Engineering, LLC

Property Owner: Last Time Reality, LLC
Company: _____
Address: N1565 Meadow Park Drive
City/St/Zip: Greenville, WI 54942
Phone/Fax: 920-841-9710
Email: lj@valleytruckleasing.com

Engineer/Architect: _____
Company: Utschig Inc.
Address: 11040 Craftsmen Dr.
City/St/Zip: Greenville, WI 54942
Phone/Fax: 920-757-0999
Email: tj@Utschig Inc. com

Property Information

Project Name: Valley Truck Leasing Inc.
Site Address: _____ Tax/Parcel ID: 006-03410Z CSM 7607
Site Zoning: B-3
Surrounding Land Uses: North: B-3
South: State Highway
East: B-3
West: B-3

Proposed Use: Semi-Truck and Trailer Rental and Leasing Company
5-Locations w/ Appleton being VTL's Headquarters
Proposed Zoning: Commercial
Lot Size: 10.68 AC. Structure Size: 14,696.5 SF. Addition: 6,825 SF.
Project Schedule: Break Ground April 1st 2024 Occupancy Nov. 1st 2024

Submittal Fees and Requirements

See Application Checklist for Additional Information
Please make checks payable to the Town of Clayton

Fees

- Fees are based on Actual Review Costs (See Fee Schedule) and will be determined prior to approval.
- Storm Water & Erosion Control fees are based on Winnebago County Zoning Department fee schedule.

Plan of Operation

- Letter describing the business

Site Plan, Architectural Plan, Utility Plan (if applicable), Landscaping Plan

- Meets the requirements of the Town's Zoning Code of Ordinances Article 7, Division 13
- Meets the requirements of the Town's Subdivision Ordinance
- Submit 1 Hard Copy w/application and email an 11 x 17 copy

Signatures

By the execution of this application, applicant hereby authorizes the Town of Clayton or its agents to enter upon the property during the hours of 7:00 AM to 7:00 PM daily for the purpose of inspection. Applicant grants the Town of Clayton or its agents even if applicant has posted this land against trespassing pursuant to Sec. 943.13 Wis. Stats.

Signature: _____

Date: _____

Appendix B
Landscaping Plan



TREE & SHRUB REQUIREMENTS			
TYPE	MIN. SIZE	PTS.	REMARKS
TALL OR MEDIUM HEIGHT DECIDUOUS TREE	2 1/2" DIA.	30	(AS REQUIRED BY ZONING ORDINANCE)
LOW HEIGHT DECIDUOUS TREE	1 1/2" DIA.	10	
EVERGREEN TREE	6" TALL	30	
TALL OR MEDIUM HEIGHT SHRUB	24" HEIGHT	5	
LOW HEIGHT SHRUB	18" HEIGHT	3	

PARKING AREA LANDSCAPING
 1 TREE PER 5,000 SF PARKING AREA
 (PLACED 10' FROM ASPHALT)

LANDSCAPE REQUIREMENTS
 A MINIMUM OF 20 LANDSCAPE POINTS CONSISTING OF EVERGREEN & DECIDUOUS TREE FOR EVERY 4,500 SF. OF IMPERVIOUS SURFACE AREA.
 PHASE 1 IMPERVIOUS SURFACE = 16,956.5 SF
 16,956.5 / 4,500 = 3.77 X 20 = 76.0 POINTS REQUIRED

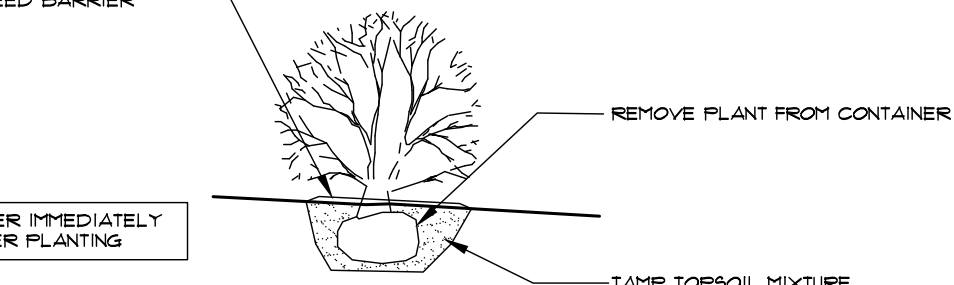
LANDSCAPE SHRUB SCHEDULE							
DESCRIPTION	TYPE	ABBREVIATION	QTY.	SIZE	PTS.	PTS. TOTAL	REMARKS
④ GOLDFLAME SPIREA		G.S.	23	18" MIN.	3	69	
⑤ RED PRINCE LIEBIGELA		R.P.W.	70	24" MIN.	5	350	
⑥ PYRAMIDAL THUJA ARBORVITAE		P.T.A.	20	5' MIN.	5	100	
						510	

LANDSCAPE TREE SCHEDULE							
DESCRIPTION	TYPE	ABBREVIATION	QTY.	SIZE	PTS.	PTS. TOTAL	REMARKS
⑦ COLORADO BLUE SPRUCE	TALL OR MEDIUM HEIGHT DECIDUOUS TREE	C.B.S.	34	MIN. 4" HIGH PLANTING HT.	30	1020	(AS REQUIRED BY ZONING ORDINANCE)

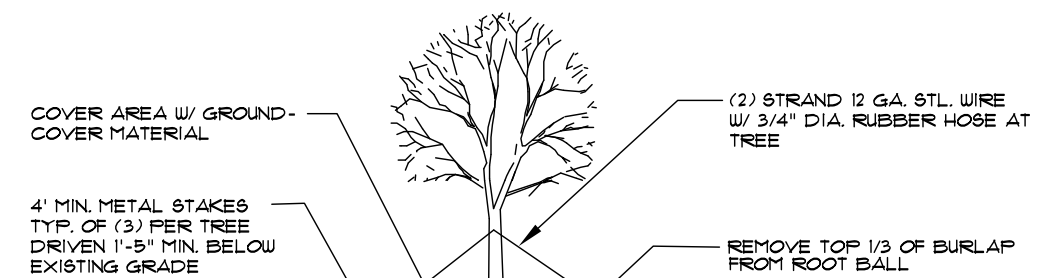
ALL PLANTING AREAS TO HAVE PLASTIC EDGING WHERE NEEDED AND COVERED WITH SHREDDED BARK (OR LANDSCAPE STONE) AS REQUIRED BY TOWN ZONING CODE

SEED MIX
 20% RUGBY II KENTUCKY BLUEGRASS
 20% NEW GLADE KENTUCKY BLUEGRASS
 20% ASPEN KENTUCKY BLUEGRASS
 20% BLUE MOON KENTUCKY BLUEGRASS
 15% BLUE CHIP KENTUCKY BLUEGRASS
 5% STATESMAN PERENNIAL RYE GRASS

COVER AREA W/ GROUND COVER MATERIAL & WEED BARRIER (SEE PLAN)



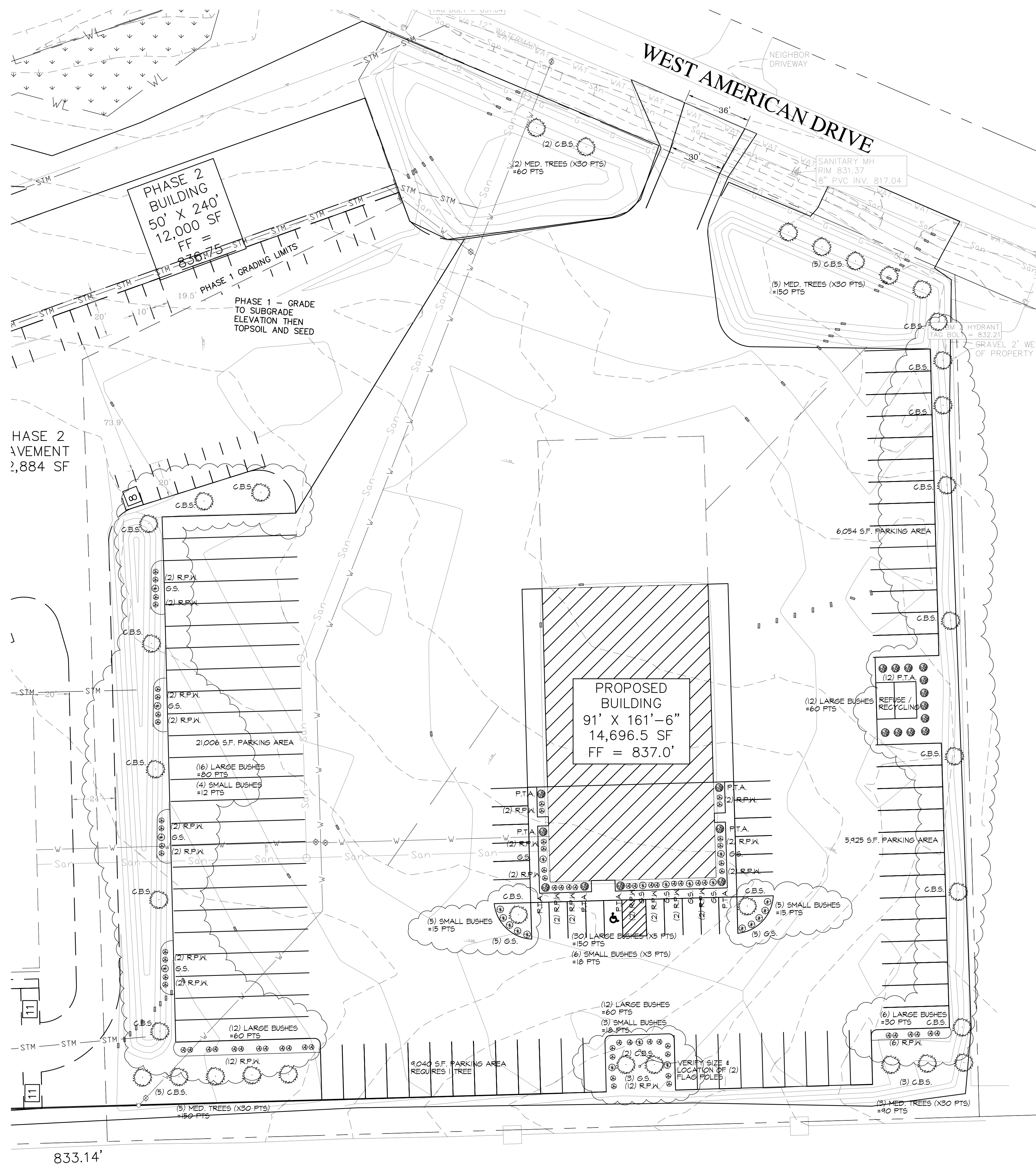
SHRUB/TREE PLANTING DETAIL



TREE PLANTING DETAIL

PLANTING REQUIREMENTS

ROW PLANTINGS
 (1) DECIDUOUS TREE MIN. 40' SPACING
 W/ (6) SHRUBS PER TREE
 PERIMETER PLANTINGS TO BE INSTALLED AT BUILDING FRONTAGE



PROPOSED NEW BUILDING FOR:
VALLEY TRUCK LEASING
 AMERICAN DRIVE, NEENAH WI 54956
LANDSCAPE PLAN

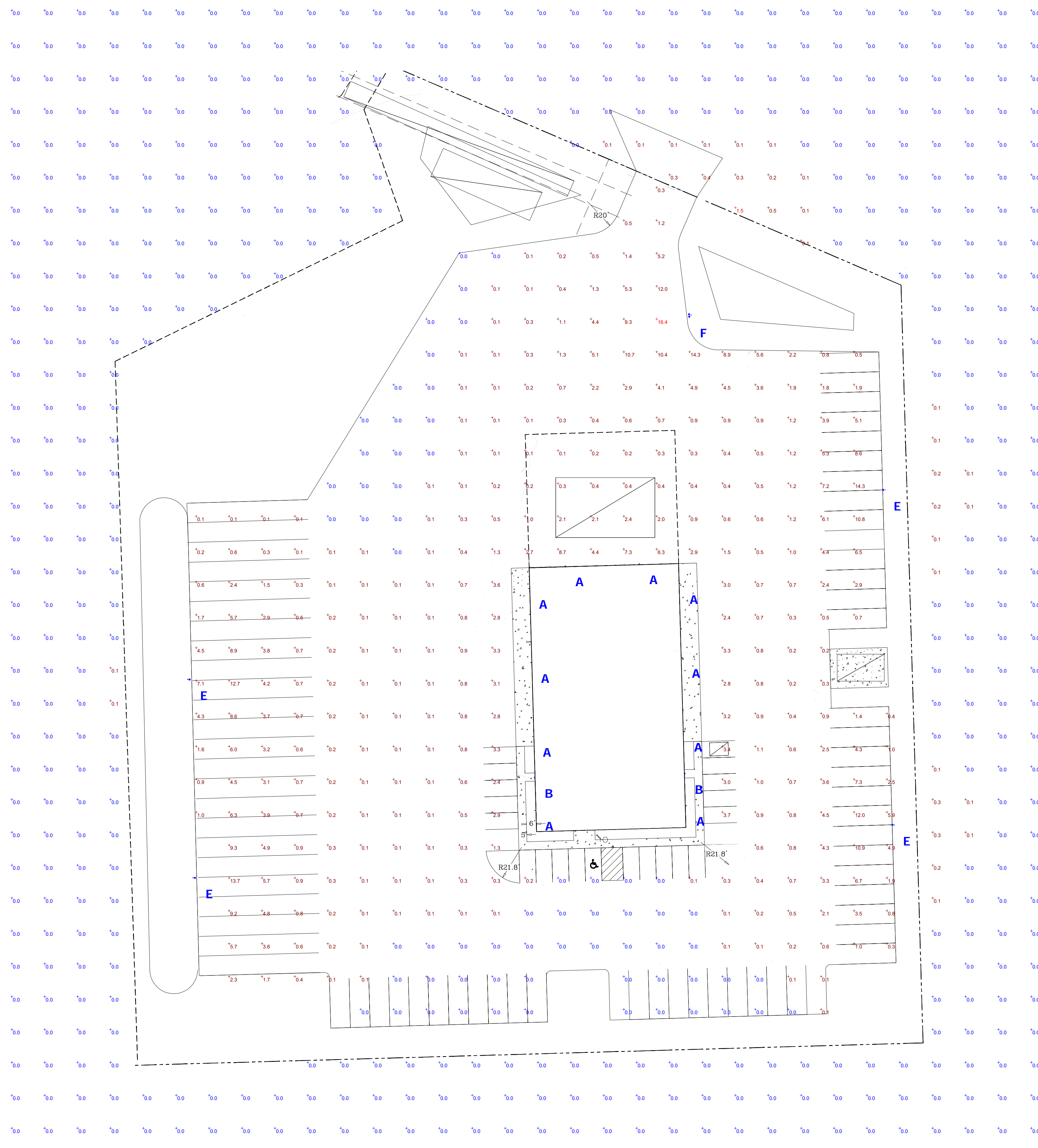
No.	Date	Description

Page Information

Drawn By: EAF
 Approved By: JJW
 Project No.: 23-2491
 Date: 11/17/23
 Sheet No.

Appendix C
Lighting Site Plan





Plan View
Scale - 1" = 35ft

Schedule				
Symbol	Label	Quantity	Catalog Number	Wattage
	A	10	SLIM17FAFC100_4K at 0% CCT Setting	102.77
	B	2	SLIM17FA15ADJ_4K	13.98
	E	4	RSX4 LED P6 40K R4 MVOLT IS HS - 25' SQ STEEL POLE, BASE 2' ABOVE GRADE	545.66
	F	1	TWIN RSX4 LED P6 40K R4 MVOLT SPA HS - 25' SQ STEEL POLE BASE 2' ABOVE GRADE	1091.32

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
AREA OUTSIDE OF PARKING LOT	+	0.0 fc	1.5 fc	0.0 fc	N/A	N/A
PARKING LOT	+	1.7 fc	16.4 fc	0.0 fc	N/A	N/A



Color: Bronze

Weight: 3.0 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	0.13A
208V	0.07A
240V	0.06A
277V	0.05A
Input Watts	14.2/14/14.2W

LED Info

Watts	15W
Color Temp	3000K/4000K/5000K
Color Accuracy	70 CRI
L70 Lifespan	100,000 Hours
Lumens	1761/1904/1852 lm
Efficacy	124/136.2/130.3 lm/W

Technical Specifications

Field Adjustability

Field Adjustable:

Color temperature selectable by 3000K, 4000K and 5000K

Compliance

UL Listed:

Suitable for wet locations

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80

IP Rating:

Ingress protection rating of IP65 for dust and water

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.

DLC Product Code: PL0MVJQV62Q3

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Wattage Equivalency:

Equivalent to 70W Metal Halide

LED Characteristics

LEDs:

Long-life, high-efficiency, surface-mount LEDs

Electrical

Driver:

Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.13A, 208V: 0.07A, 240V: 0.06A, 277V: 0.05A

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

Photocell:

120-277V Integrated button photocell included.

Construction

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

Ambient Temperature :

Max Power Temp Rating: 50°C (122°F)
Middle Power Temp Rating: 50°C (122°F)
Low Power Temp Rating: 50°C (122°F)

Housing:

Precision die-cast aluminum housing and door frame

Lens:

Polycarbonate lens

Mounting:

Hinged wiring access and conduit entries on the back, sides, top and bottom make installation a snap

Cut Off:

Adjustable from 0° (full cutoff) to 90°. 7 settings at 15° each.

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

Other

Note:

All values are typical (tolerance +/- 10%)

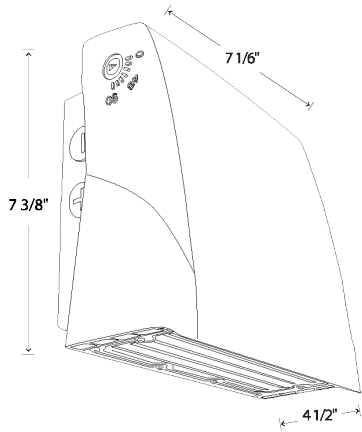
5 Yr Limited Warranty:

The RAB 5-year, limited warranty covers light output, driver performance and paint finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



Features

- Selectable CCT
- Adjustable cutoff
- Integrated photocell
- 0-10V dimming, standard

Ordering Matrix

Family	Wattage	Style
SLIM17FA	15	ADJ

15 = 15W
30 = 30W

ADJ = Angle Adjustable



Color: Bronze

Weight: 10.6 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	1.00A
208V	0.60A
240V	0.50A
277V	0.40A
Input Watts	102/102.8/101W

LED Info

Watts	100W
Color Temp	3000K/4000K/5000K
Color Accuracy	80 CRI
L70 Lifespan	100,000 Hours
Lumens	12833/14984/13166 lm
Efficacy	125.8/145.8/130.4 lm/W

Technical Specifications

Field Adjustability

Field Adjustable:

Color temperature selectable by 3000K, 4000K and 5000K

Compliance

UL Listed:

Suitable for wet locations

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80

IP Rating:

Ingress protection rating of IP65 for dust and water

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.

DLC Product Code: PLUXLTH10KVV

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Wattage Equivalency:

Equivalent to 400W Metal Halide

LED Characteristics

LEDs:

Long-life, high-efficiency, surface-mount LEDs

Electrical

Driver:

Constant Current, Class 1, 120-277V, 50/60 Hz, 120V: 1.00A, 208V: 0.60A, 240V: 0.50A, 277V: 0.40A

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

Photocell:

120-277V selectable photocell that can be turned on and off.

Construction

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

Ambient Temperature :

Max Power Temp Rating: 50°C (122°F)
Middle Power Temp Rating: 50°C (122°F)
Low Power Temp Rating: 50°C (122°F)

Housing:

Precision die-cast aluminum housing and door frame

Lens:

Polycarbonate lens

Mounting:

Hinged wiring access and conduit entries on the back, sides, top and bottom make installation a snap

Cut Off:

Full cutoff (0°)

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

Other

Note:

All values are typical (tolerance +/- 10%)

5 Yr Limited Warranty:

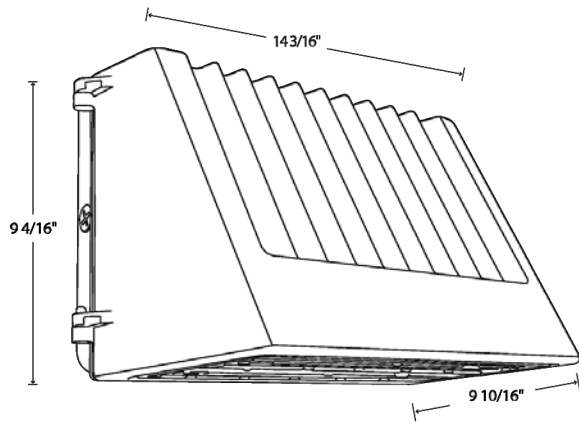
The RAB 5-year, limited warranty covers light output, driver performance and paint finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Technical Specifications (continued)

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



Features

- Selectable CCT
- Full cutoff
- Selectable on/off photocell
- 0-10V dimming, standard

Ordering Matrix

Family	Style	Wattage
SLIM17FA	FC	100

FC = Full cutoff
100 = 100W
120 = 120W
150 = 150W



RSX4 LED Area Luminaire

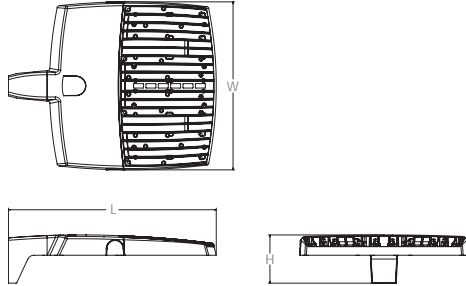


Catalog Number	Item B.
Notes	
Type	

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

EPA (ft²@0°):	0.69 ft ² (0.07 m ²)
Length:	30.9" (78.5 cm) (SPA mount)
Width:	25.0" (63.5 cm)
Height:	3.0" (7.6 cm) Main Body 7.2" (18.4 cm) Arm
Weight (max):	65 lbs (29.5 kg)



Introduction

The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX4 delivers 40,000 to 70,000 lumens allowing it to replace up to (2) 1000W HID luminaires.

The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral slipfitter and other mounting configurations are available.



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect. *See ordering tree for details

ds Design Select options indicated by this color background.

Ordering Information

EXAMPLE: RSX4 LED P6 40K R3 MVOLT SPA DDBXD

RSX4 LED					
Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting
RSX4 LED	P1 P2 P3 P4 P5 P6	30K 3000K 40K 4000K 50K 5000K	R2 Type 2 Wide R3 Type 3 Wide R3S Type 3 Short R4 Type 4 Wide R4S Type 4 Short R5 Type 5 Wide ¹ R5S Type 5 Short ¹ AFR Automotive Front Row AFRR90 Automotive Front Row Right Rotated AFRL90 Automotive Front Row Left Rotated	MVOLT (120V-277V) ² HVOLT (347V-480V) ³ XVOLT (277V-480V) ⁴ (use specific voltage for options as noted) 120 ³ 277 ⁵ 208 ³ 347 ⁵ 240 ³ 480 ⁵	SPA Square pole mounting (3.0" min. SQ pole for 1 at 90° and 2 at 180°) RPA Round pole mounting (3.0" min. dia. RND pole for 1 at 90°, 2 at 180°, 3 at 120°) ESPA Required for mounting RSX4 in 2,3,4 at 90°. Requires 3.5" min. square pole for mounting 2, 3, 4 at 90°. Requires 3.0" min. square pole for 1 at 90°. ⁵ ERPA Required for mounting RSX4 in 2,3,4 at 90°. Requires 3.2" min. dia. round pole for 2, 3, 4 at 90°. Requires 3.0" min. dia. round pole for mounting 1 at 90°, 2 at 180°, 3 at 120°. ⁵ MA Mast arm adaptor (fits 2-3/8" OD horizontal tenon) IS Adjustable slipfitter (fits 2-3/8" OD tenon) ⁷ WBA Wall bracket ¹ WBASC Wall bracket with surface conduit box AASP Adjustable tilt arm square pole mounting ⁷ AARP Adjustable tilt arm round pole mounting ⁷ AAWB Adjustable tilt arm with wall bracket ⁷ AAWSC Adjustable tilt arm wall bracket and surface conduit box ⁷

Options	Finish
<p>Shipped Installed</p> <p>HS House-side shield⁸</p> <p>PE Photocontrol, button style^{9,10}</p> <p>PER7 Seven-wire twist-lock receptacle only (no controls)^{10, 11, 12}</p> <p>SF Single fuse (120, 277, 347)⁵</p> <p>DF Double fuse (208, 240, 480)⁵</p> <p>SPD20KV 20KV Surge pack (10KV standard)</p> <p>FAO Field adjustable output¹⁰</p> <p>DMG 0-10V dimming extend out back of housing for external control (control ordered separate)¹⁰</p> <p>DS Dual switching^{10,13}</p>	<p>DDBXD Dark Bronze</p> <p>DBLXD Black</p> <p>DNAXD Natural Aluminum</p> <p>DWHXD White</p> <p>DDBTXD Textured Dark Bronze</p> <p>DBLTXD Textured Black</p> <p>DNATXD Textured Natural Aluminum</p> <p>DWHGXD Textured White</p>
<p>Shipped Installed</p> <p>*Standalone and Networked Sensors/Controls (factory default settings, see table page 9)</p> <p>NLTAIR2 PIRHN nLight AIR generation 2, with Networked Bi-Level motion/ambient sensor^{10, 14, 15, 16}</p> <p>BAA Buy America(n) Act Compliant</p> <p>CCE Coastal Construction¹⁷</p> <p>*Note: NLTAIR2 PIRHN with nLight Air can be used as a standalone dimming sensor with out-of-box settings or as a wireless networked solution. See factory default settings table. Sensor coverage pattern is affected when luminaire is tilted.</p> <p>Shipped Separately (requires some field assembly)</p> <p>EGS External glare shield⁸</p> <p>EGFV External glare full visor (360° around light aperture)⁸</p> <p>BS Bird spikes¹⁸</p>	



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Lithonia RSX4 LED
Rev. Pa
99

Ordering Information

Item B.

Accessories

Ordered and shipped separately.

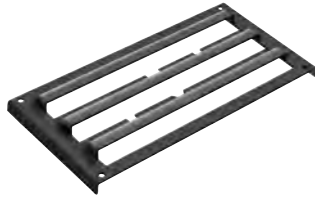
RSX4HS U	RSX4 House side shield (includes 4 shields)
RSX4HSAFRR U	RSX4 House side shields for AFR rotated optics (includes 4 shields)
RSX4EGS (FINISH) U	External glare shield (specify finish)
RSX4EGFV (FINISH) U	External glare full visor (specify finish)
RSXRPA (FINISH) U	RSX Universal round pole adaptor plate (specify finish)
RSXWBA (FINISH) U	RSX WBA wall bracket (specify finish) ¹
RSXSCB (FINISH) U	RSX Surface conduit box (specify finish, for use with WBA, WBA not included)
DLL127F 1.5 JU	Photocell -SSL twist-lock (120-277V) ¹⁹
DLL347F 1.5 CULJU	Photocell -SSL twist-lock (347V) ¹⁹
DLL480F 1.5 CULJU	Photocell -SSL twist-lock (480V) ¹⁹
DSHORT SBK U	Shorting cap ¹⁹

NOTES

- Any Type 5 distribution, is not available with WBA.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- HVOLT driver operates on any line voltage from 347-480V (50/60 Hz).
- XVOLT driver operates on any line voltage from 277V-480V (50/60 Hz). XVOLT not available with fusing (SF or DF) and not available with PE or PEX.
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Required for mounting RSX4 in configurations of 2, 3 and 4 at 90°
- Maximum tilt is 90° above horizontal.
- It can be ordered as an accessory.
- Requires MVOLT or 347V.
- Two or more of the following options cannot be combined including PE, DMG, PER7, FAO, DS and NLTAIR2 PIRHN. (Exception: PE and FAO can be combined; also PE and DMG can be combined.)
- Compatible with standard twist-lock photocells for dusk to dawn operation or advanced control nodes that provide 0-10V dimming

- Wire 4/Wire 5 wired to dimming leads on driver. Wire 6/Wire 7 capped inside luminaire. Twistlock photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- For units with option PER7, the mounting must be restricted to +/- 45° from horizontal aim per ANSI C136.10-2010.
- DS requires (2) separately switched circuits. DS provides 50/50 fixture operation via (2) different sets of leads using (2) drivers/sets. DS only available with packages P4, P5, P6, P7 and P8.
- Must be ordered with PIRHN.
- Must be ordered with NLTAIR2. For additional information on PIRHN visit [here](#).
- Requires MVOLT or HVOLT.
- CCE option not available with WBA, WBASC, AASP, AARP, AAWB, AAWBC, EGS, EGFV and BS.
- Must be ordered with fixture for factory pre-drilling.
- Requires luminaire to be specified with PER7 option. Ordered and shipped as a separate line item from Acuity Brands Controls.

External Shields



House Side Shield (HS)



External Glare Shield (EGS)

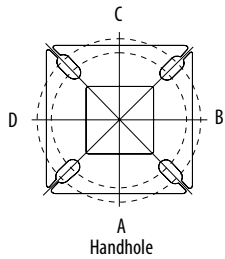


External 360 Full Visor (EGFV)

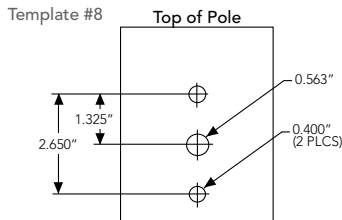
Pole/Mounting Information

Accessories including bullhorns, cross arms and other adapters are available on pages 5-8. For the complete line of accessories available, visit the accessories tab at Lithonia's Outdoor Poles and Arms product page. Click here to visit [Accessories](#).

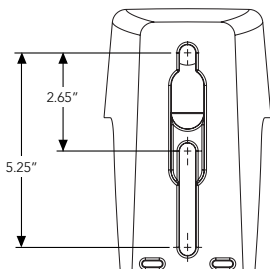
HANDHOLE ORIENTATION



RSX POLE DRILLING



RSX STANDARD ARM, EXTENDED ARM AND ADJUSTABLE ARM



Round Tenon Mount - Pole Top Slipfitters

Tenon O.D.	RSX Mounting	Single	2 @ 180	2 @ 90	3 @ 120	3 @ 90	4 @ 90
2 - 3/8"	RPA, ERPA, AARP	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 320	AS3-5 390	AS3-5 490
2 - 7/8"	RPA, ERPA, AARP	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	RPA, ERPA, AARP	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

Drill Side Location by Configuration Type

Drilling Template	Mounting Option	Single	2 @ 180	2 @ 90	3 @ 120	3 @ 90	4 @ 90
	Head Location	Side B	Side B & D	Side B & C	Round Pole Only	Side B, C & D	Side A, B, C & D
#8	Drill Nomenclature	DM19AS	DM28AS	DM29AS	DM32AS	DM39AS	DM49AS

RSX4 - Luminaire EPA

*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

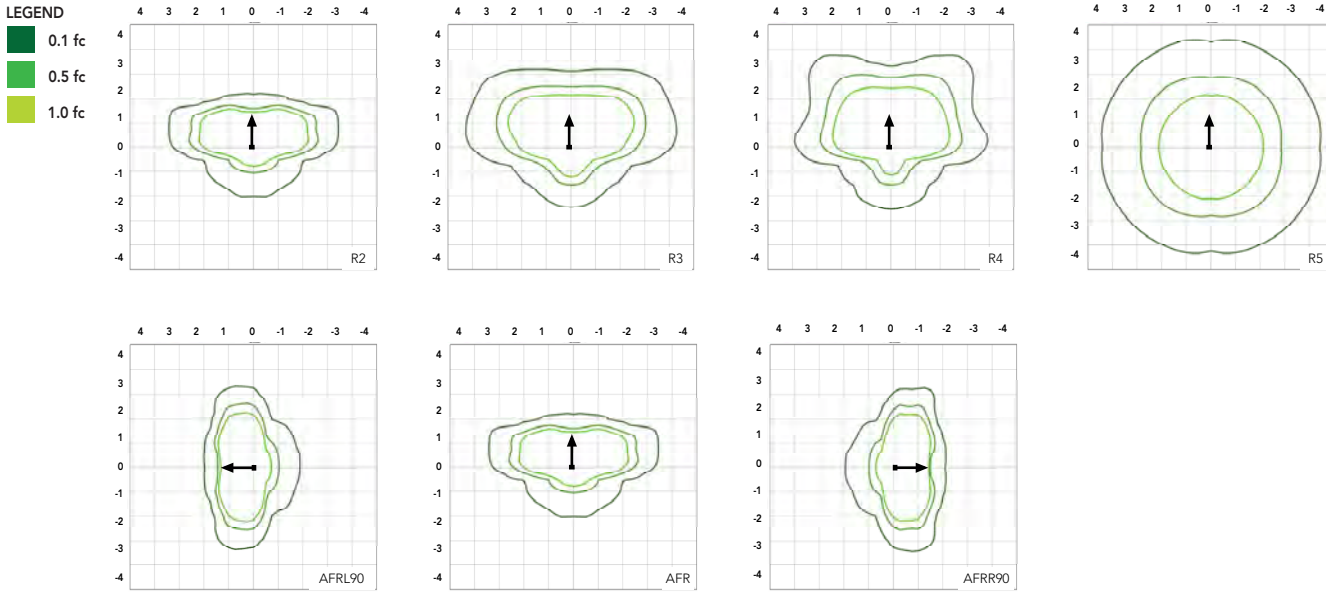
Fixture Quantity & Mounting Configuration	Single	2 @ 90	2 @ 180	3 @ 90	3 @ 120	4 @ 90	2 Side by Side	3 Side by Side	4 Side by Side
SPA - Square Pole Adaptor	0.69	1.34	1.36	1.80	2.00	2.66	1.39	2.08	2.78
RPA - Round Pole Adaptor	0.72	1.39	1.47	1.88	2.09	2.77	1.44	2.16	2.87
MA - Mast Arm Adaptor	0.66	1.28	1.20	1.69	1.87	2.51	1.32	1.98	2.64
ESPA/ERPA - Extended Arm Square/Round Pole	0.74	1.44	1.57	1.96	2.18	2.88	1.48	2.23	2.97
IS - Integral Slipfitter AARP/AASP - Adjustable Arm Square/Round Pole	0°	0.69	1.34	1.36	1.80	2.00	2.66	1.39	2.08
	10°	1.13	2.05	2.22	3.10	2.91	4.01	2.26	3.39
	20°	1.91	3.14	3.57	4.84	4.26	6.23	3.82	5.73
	30°	3.23	4.70	5.70	7.25	6.52	9.31	6.46	9.69
	40°	4.71	6.04	7.96	9.37	9.04	12.04	9.42	14.13
	45°	5.46	6.72	9.10	10.47	10.31	13.40	10.92	16.38
	50°	5.58	7.29	9.51	11.46	10.93	14.56	11.16	16.74
	60°	5.81	8.50	10.35	13.44	12.41	16.89	11.62	17.43
	70°	6.13	9.29	10.98	14.92	13.50	18.57	12.26	18.39
	80°	6.28	9.88	11.47	15.86	14.22	19.72	12.56	18.84
90°	6.43	10.17	11.78	16.26	14.56	20.33	12.86	19.29	

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [RSX Area homepage](#).

Item B.

Isofootcandle plots for the RSX4 LED P6 40K. Distances are in units of mounting height (40').



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-50°C (32-122°F).

Ambient	Ambient	Lumen Multiplier
0°C	32°F	1.05
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97
45°C	113°F	0.96
50°C	122°F	0.95

Electrical Load

Performance Package	System Watts (W)	Current (A)					
		120V	208V	240V	277V	347V	480V
P1	275W	2.34	1.38	1.22	1.08	0.83	0.62
P2	320W	2.60	1.56	1.37	1.22	0.97	0.71
P3	369W	3.08	1.79	1.57	1.39	1.09	0.80
P4	431W	3.61	2.11	1.88	1.76	1.24	0.90
P5	483W	3.97	2.28	1.99	1.74	1.36	0.98
P6	546W	4.48	2.55	2.21	1.93	1.54	1.12

Projected LED Lumen Maintenance

Operating Hours	50,000	75,000	100,000
Lumen Maintenance Factor	>0.97	>0.95	>0.92

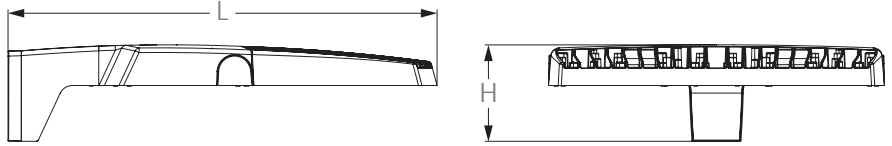
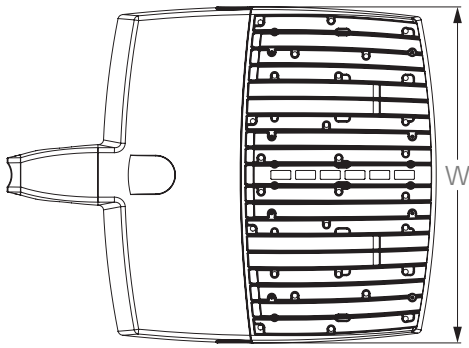
Values calculated according to IESNA TM-21-11 methodology and valid up to 40°C.

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Distribution Type	30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
			Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P1	275W	R2	36,231	3	0	3	132	39,806	3	0	3	145	39,806	3	0	3	145
		R3	36,151	3	0	5	131	39,719	3	0	5	144	39,719	3	0	5	144
		R3S	37,066	3	0	4	135	40,724	3	0	4	148	40,724	3	0	4	148
		R4	36,656	3	0	5	133	40,274	3	0	5	146	40,274	3	0	5	146
		R4S	35,409	3	0	4	129	38,903	3	0	4	141	38,903	3	0	4	141
		R5	36,955	5	0	4	134	40,602	5	0	5	148	40,602	5	0	5	148
		R5S	37,144	5	0	3	135	40,809	5	0	3	148	40,809	5	0	3	148
		AFR	36,231	3	0	3	132	39,806	3	0	3	145	39,806	3	0	3	145
		AFRR90	36,818	3	0	3	134	40,451	3	0	3	147	40,451	3	0	3	147
		AFRL90	37,146	3	0	3	135	40,812	3	0	3	148	40,812	3	0	3	148
P2	320W	R2	41,215	3	0	3	129	45,282	4	0	3	141	45,282	4	0	3	141
		R3	41,125	3	0	5	128	45,183	4	0	5	141	45,183	4	0	5	141
		R3S	42,165	3	0	4	132	46,327	4	0	4	145	46,327	4	0	4	145
		R4	41,699	3	0	5	130	45,814	4	0	5	143	45,814	4	0	5	143
		R4S	40,280	3	0	4	126	44,255	4	0	4	138	44,255	4	0	4	138
		R5	42,039	5	0	5	131	46,188	5	0	5	144	46,188	5	0	5	144
		R5S	42,253	5	0	3	132	46,423	5	0	4	145	46,423	5	0	4	145
		AFR	41,215	3	0	3	129	45,282	4	0	3	141	45,282	4	0	3	141
		AFRR90	41,883	3	0	3	131	46,016	4	0	3	144	46,016	4	0	3	144
		AFRL90	42,256	3	0	3	132	46,426	4	0	3	145	46,426	4	0	3	145
P3	369W	R2	45,968	4	0	3	124	50,504	4	0	3	137	50,504	4	0	3	137
		R3	45,867	4	0	5	124	50,393	4	0	5	136	50,393	4	0	5	136
		R3S	47,028	4	0	5	127	51,669	4	0	5	140	51,669	4	0	5	140
		R4	46,508	4	0	5	126	51,097	4	0	5	138	51,097	4	0	5	138
		R4S	44,925	4	0	4	122	49,358	4	0	4	134	49,358	4	0	4	134
		R5	46,887	5	0	5	127	51,514	5	0	5	139	51,514	5	0	5	139
		R5S	47,126	5	0	4	128	51,777	5	0	4	140	51,777	5	0	4	140
		AFR	45,968	4	0	3	124	50,504	4	0	3	137	50,504	4	0	3	137
		AFRR90	46,713	4	0	3	126	51,323	4	0	3	139	51,323	4	0	3	139
		AFRL90	47,129	4	0	3	128	51,780	4	0	3	140	51,780	4	0	3	140
P4	431W	R2	50,558	4	0	3	117	55,547	4	0	4	129	55,547	4	0	4	129
		R3	50,447	4	0	5	117	55,426	4	0	5	129	55,426	4	0	5	129
		R3S	51,724	4	0	5	120	56,829	4	0	5	132	56,829	4	0	5	132
		R4	51,152	4	0	5	119	56,200	4	0	5	131	56,200	4	0	5	131
		R4S	49,411	4	0	4	115	54,287	4	0	5	126	54,287	4	0	5	126
		R5	51,569	5	0	5	120	56,658	5	0	5	132	56,658	5	0	5	132
		R5S	51,832	5	0	4	120	56,947	5	0	4	132	56,947	5	0	4	132
		AFR	50,558	4	0	3	117	55,547	4	0	4	129	55,547	4	0	4	129
		AFRR90	51,378	4	0	3	119	56,448	4	0	4	131	56,448	4	0	4	131
		AFRL90	51,836	4	0	3	120	56,951	4	0	4	132	56,951	4	0	4	132
P5	483W	R2	56,313	4	0	4	116	61,870	4	0	4	128	61,870	4	0	4	128
		R3	56,190	4	0	5	116	61,735	4	0	5	128	61,735	4	0	5	128
		R3S	57,612	4	0	5	119	63,297	4	0	5	131	63,297	4	0	5	131
		R4	56,974	4	0	5	118	62,597	4	0	5	129	62,597	4	0	5	129
		R4S	55,035	4	0	5	114	60,467	4	0	5	125	60,467	4	0	5	125
		R5	57,439	5	0	5	119	63,107	5	0	5	131	63,107	5	0	5	131
		R5S	57,732	5	0	4	119	63,429	5	0	4	131	63,429	5	0	4	131
		AFR	56,313	4	0	4	116	61,870	4	0	4	128	61,870	4	0	4	128
		AFRR90	57,226	4	0	4	118	62,873	4	0	4	130	62,873	4	0	4	130
		AFRL90	57,736	4	0	4	119	63,433	4	0	4	131	63,433	4	0	4	131
P6	546W	R2	62,633	4	0	4	115	68,814	4	0	4	126	68,814	4	0	4	126
		R3	62,496	4	0	5	115	68,664	4	0	5	126	68,664	4	0	5	126
		R3S	64,078	4	0	5	117	70,402	4	0	5	129	70,402	4	0	5	129
		R4	63,369	4	0	5	116	69,623	4	0	5	128	69,623	4	0	5	128
		R4S	61,213	4	0	5	112	67,254	4	0	5	123	67,254	4	0	5	123
		R5	63,886	5	0	5	117	70,191	5	0	5	129	70,191	5	0	5	129
		R5S	64,212	5	0	4	118	70,549	5	0	4	129	70,549	5	0	4	129
		AFR	62,633	4	0	4	115	68,814	4	0	4	126	68,814	4	0	4	126
		AFRR90	63,649	4	0	4	117	69,930	4	0	4	128	69,930	4	0	4	128
		AFRL90	64,216	4	0	4	118	70,553	4	0	4	129	70,553	4	0	4	129

RSX4 with Round Pole Adapter (RPA)

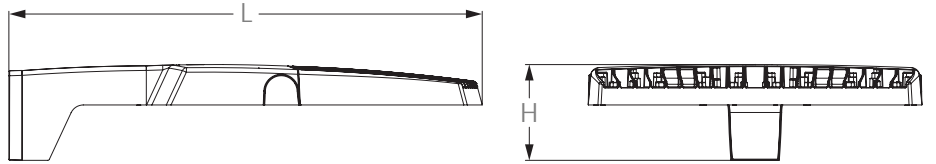
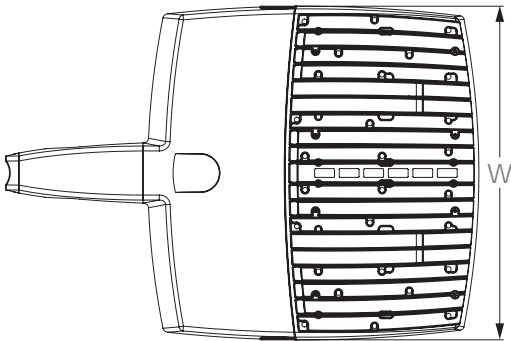


NOTE:
RPA - Round Pole mount can also be used to mount on square poles by omitting the round pole adapter plate shown here.



Length: 31.9" (81.0 cm)
Width: 25.0" (63.5 cm)
Height: 3.0" (7.6 cm) Main Body
7.2" (18.3 cm) Arm

RSX4 with Extended Arm Square or Round Pole (ESPA or ERPA)



NOTE:
RPA - Round Pole mount can also be used to mount on square poles by omitting the round pole adapter plate shown here.

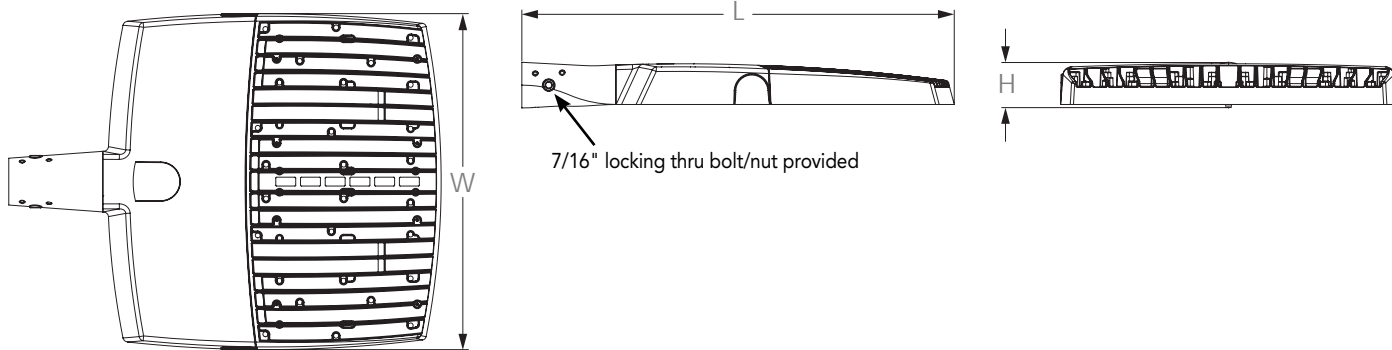


Length: 35.5" (90.2 cm) **ERPA**
34.5" (87.6 cm) **ESPA**
Width: 25.0" (63.5 cm)
Height: 3.0" (7.6 cm) Main Body
7.2" (18.3 cm) Arm

Notes

ESPA: Required for mounting RSX4 in 2,3,4 at 90°. Requires 3.0" min. square pole for 1 at 90°.
ERPA: Required for mounting RSX4 in 2,3,4 at 90°. Requires 3.0" min. dia. round pole for mounting 1 at 90°, 2 at 180°, 3 at 120°.

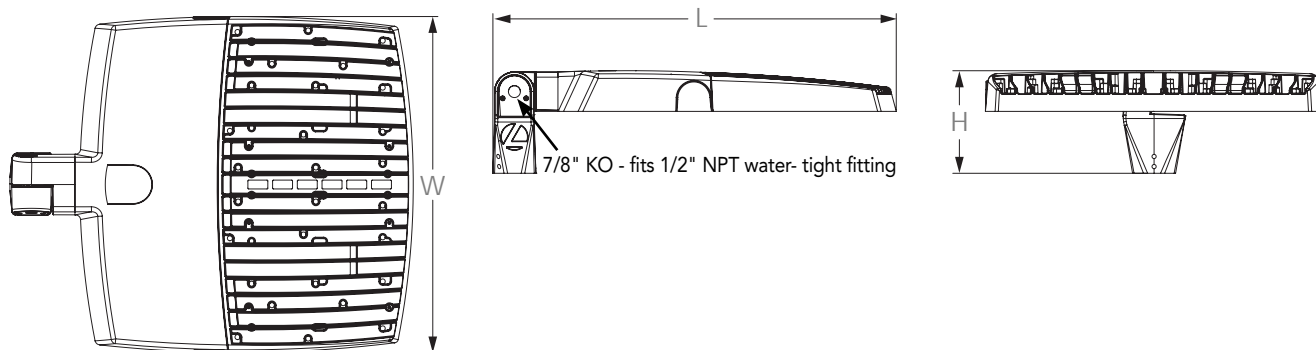
RSX4 with Mast Arm Adapter (MA)



Length: 32.2" (81.8 cm)
 Width: 25.0" (63.5 cm)
 Height: 3.0" (7.6 cm) Main Body
 3.4" (18.6 cm) Arm

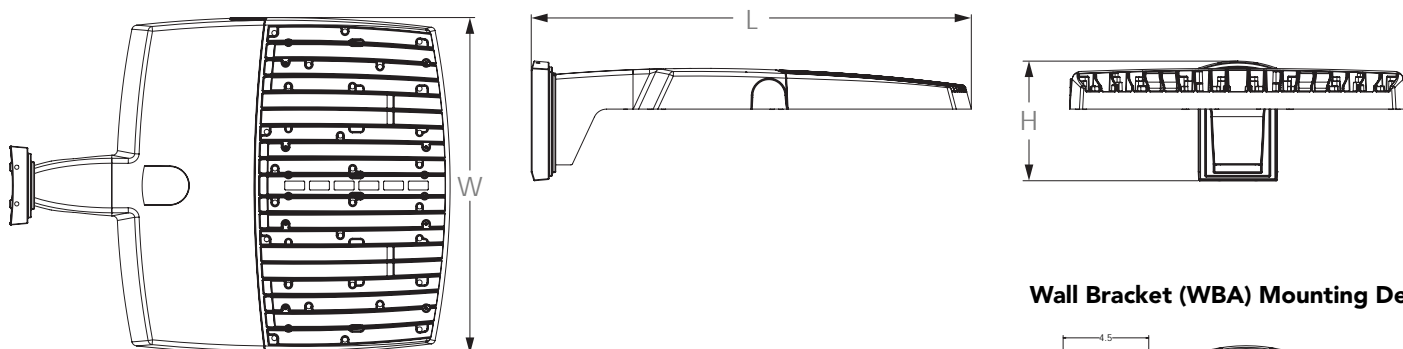
Notes: MA mount requires minimum horizontal tenon length of 6" when mounting RSX4 in configurations of 2, 3 and 4 at 90°.

RSX4 with Adjustable Slipfitter (IS)



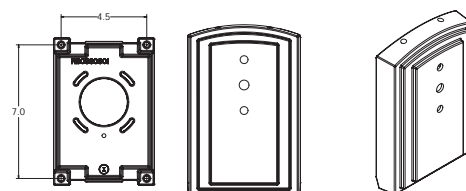
Length: 30.0" (76.2 cm)
 Width: 25.0" (63.5 cm)
 Height: 3.0" (7.6 cm) Main Body
 7.6" (19.3 cm) Arm

RSX4 with Wall Bracket (WBA)

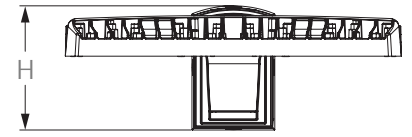
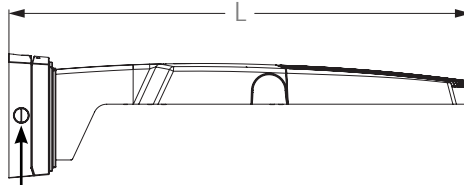
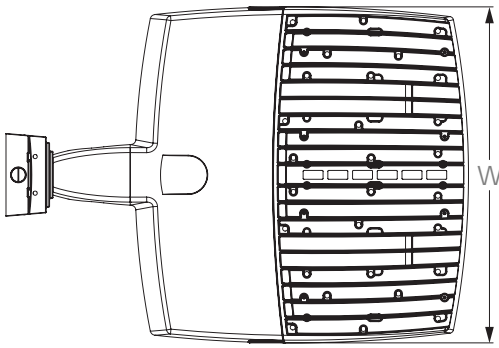


Length: 32.7" (83.1 cm)
 Width: 25.0" (63.5 cm)
 Height: 3.0" (7.6 cm) Main Body
 8.9" (22.6 cm) Arm

Wall Bracket (WBA) Mounting Detail



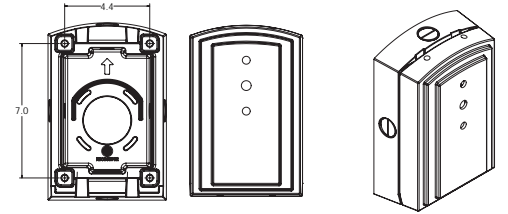
RSX4 with Wall Bracket with Surface Conduit Box (WBASC)



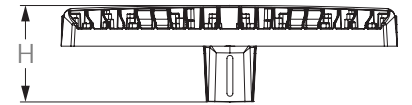
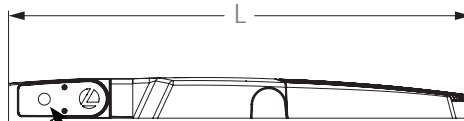
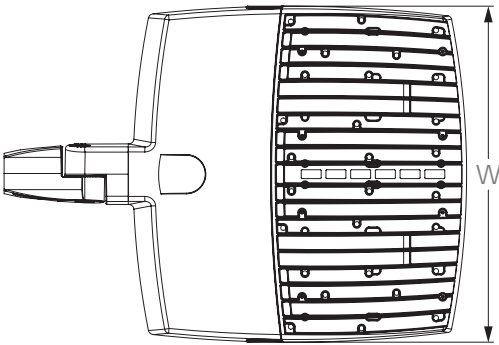
3/4" NPT taps with plugs - Qty (4) provided

Length: 34.4" (87.4 cm)
 Width: 25.0" (63.5 cm)
 Height: 3.0" (7.6 cm) Main Body
 9.2" (23.4 cm) Arm

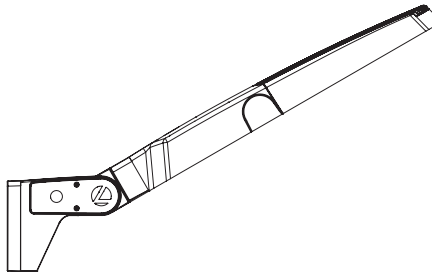
Surface Conduit Box (SCB) Mounting Detail



RSX4 with Adjustable Tilt Arm - Square or Round Pole (AASP or AARP)



7/8" KO - fits 1/2" NPT water-tight fitting



Length: 34.4" (87.4 cm) **AASP**
 35.4" (89.9 cm) **AARP**
 Width: 25.0" (63.5 cm)
 Height: 3.0" (7.6 cm) Main Body
 7.2" (18.3 cm) Arm

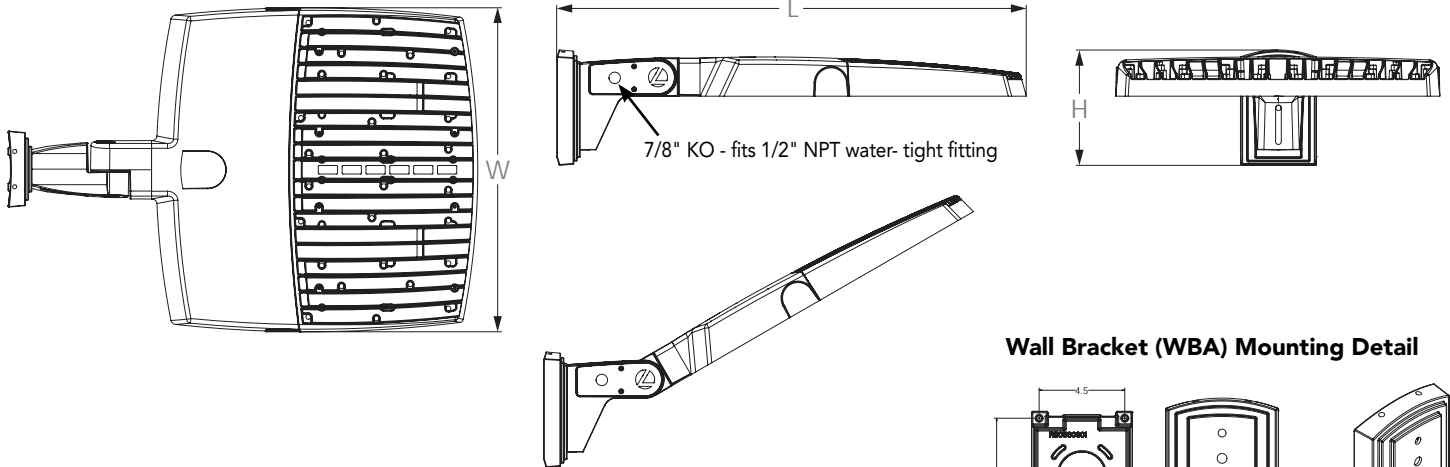
NOTE:
 RPA - Round Pole mount can also be used to mount on square poles by omitting the round pole adapter plate shown here.



Notes

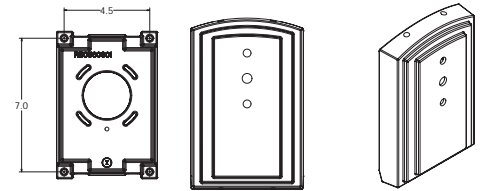
AASP: Requires 3.0" min. square pole for 1 at 90°. (Note: Limited to 30° maximum tilt angle for qty. 2, 3 and 4 at 90° pole top configurations)
 AARP: Requires 3.0" min. dia. round pole for mounting 1 at 90°, 2 at 180°, 3 at 120°. (Note: Limited to 30° maximum tilt angle for qty. 2, 3 and 4 at 90° pole top configurations)

RSX4 with Adjustable Tilt Arm with Wall Bracket (AAWB)

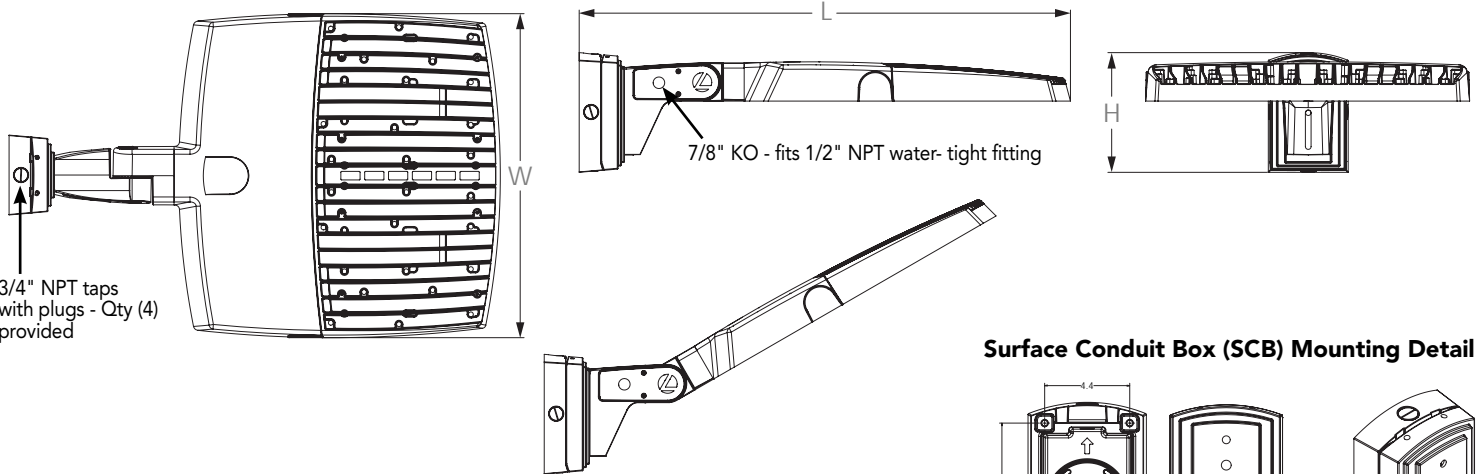


Length: 36.2" (91.9 cm)
 Width: 25.0" (63.5 cm)
 Height: 3.0" (7.6 cm) Main Body
 8.9" (22.6 cm) Arm

Wall Bracket (WBA) Mounting Detail

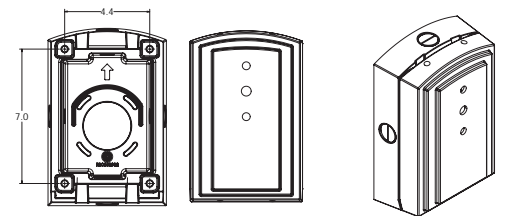


RSX4 with Adjustable Tilt Arm with Wall Bracket and Surface Conduit Box (AAWSC)

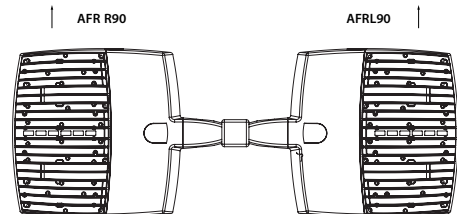


Length: 37.9" (96.3 cm)
 Width: 25.0" (63.5 cm)
 Height: 3.0" (7.6 cm) Main Body
 9.2" (23.4 cm) Arm

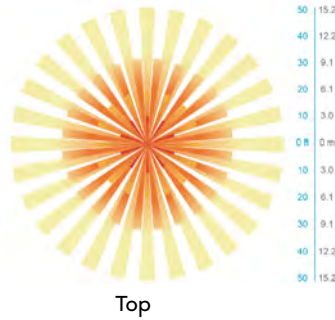
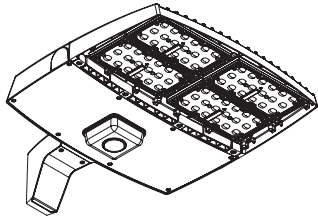
Surface Conduit Box (SCB) Mounting Detail



Automotive Front Row - Rotated Optics (AFR L90/R90)



PIRHN nLight Sensor Coverage Pattern
nLight PIRHN



Motion Sensor Default Settings - Option PIRHN						
Option	Dimmed State (unoccupied)	High Level (when occupied)	Photocell Operation	Dwell Time (occupancy time delay)	Ramp-up Time (from unoccupied to occupied)	Ramp-down Time (from occupied to unoccupied)
PIRHN	Approx. 30% Output	100% Output	Enabled @ 1.5FC	7.5 minutes	3 seconds	5 minutes

*Note: PIRHN default settings including photocell set-point, high/low dim rates, and occupancy sensor time delay are all configurable using the Clarity Pro App.

FEATURES & SPECIFICATIONS

INTENDED USE

The RSX LED area family is designed to provide a long-lasting, energy-efficient solution for the one-for-one replacement of existing metal halide or high pressure sodium lighting. The RSX4 delivers 40,000 to 70,000 lumens and is ideal for replacing 1000W and (2) 1000W HID pole-mounted luminaires in parking lots and other area lighting applications.

CONSTRUCTION

The RSX LED area luminaire features a rugged die-cast aluminum main body that uses heat-dissipating fins and flow-through venting to provide optimal thermal management that both enhances LED performance and extends component life. Integral "no drill" mounting arm allows the luminaire to be mounted on existing pole drillings, greatly reducing installation labor. The light engines and housing are sealed against moisture and environmental contaminants to IP66. The low-profile design results in a low EPA, allowing pole optimization. Vibration rated per ANSI C136.31: 3G Mountings: SPA, RPA, MA, IS, AASP, AARP, ESPA and ERPA rated for 3G vibration. 1.5G Mountings: WBA, WBASC, AAWB and AAWSC rated for 1.5G vibration.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures superior adhesion as well as a minimum finish thickness of 3 mils. The result is a high-quality finish that is warrantied not to crack or peel.

COASTAL CONSTRUCTION (CCE)

Optional corrosion resistant construction is engineered with added corrosion protection in materials and/or pre-treatment of base material under super durable paint. Provides additional corrosion protection for applications near coastal areas. Finish is salt spray tested to over 5,000 hours per ASTM B117 with scribe rating of 10. Additional lead-times apply.

OPTICS

Precision acrylic refractive lenses are engineered for superior application efficiency, distributing the light to where it is needed most. Available in short and wide pattern distributions including Type 2, Type 3, Type 3S, Type 4, Type 4S, Type 5, Type 5S, AFR (Automotive Front Row) and AFR rotated AFR90 and ARFL90.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted on metal-core circuit boards and aluminum heat sinks to maximize heat dissipation. Light engines are IP66 rated. LED lumen maintenance is >L92/100,000 hours. CCT's of 3000K, 4000K and 5000K (minimum 70 CRI) are available. Fixtures ship standard with 0-10v dimming driver. Class 1 electronic drivers ensure system power factor >90% and THD <20%. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

STANDARD CONTROLS

The RSX LED area luminaire has a wide assortment of control options. Dusk to dawn controls include MVOLT and 347V button-type photocells and NEMA twist-lock photocell receptacles.

nLIGHT AIR CONTROLS

The RSX LED area luminaire is also available with nLight® AIR which can be used for simple motion occupancy dimming or for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing with photocontrol functionality and is suitable for mounting heights up to 40 feet. No commissioning is required when using factory default settings that provide basic stand-alone motion occupancy dimming that is switched on and off with a built-in photocell. See chart above for motion sensor default out-of-box settings. For more advanced wireless functionality, such as group dimming, nLight AIR can be commissioned using a smartphone and the easy-to-use CLAIRITY app. nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found [here](#).

INSTALLATION

Integral "no-drill" mounting arm allows for fast, easy mounting using existing pole drillings. Select the "SPA" option for square poles and the "RPA" option to mount to round poles. Note that the RPA mount can also be used for mounting to square poles by omitting the RPA adapter plate. Select the "MA" option to attach the luminaire to a 2.3/8" horizontal mast arm or the "IS" option for an adjustable slipfitter that mounts on a 2 3/8" OD tenon. The adjustable slipfitter has an integral junction box offering easy installation. Can be tilted up to 90° above horizontal. Additional mountings are available including a wall bracket, adjustable tilt arm for direct-to-pole and wall and a surface conduit box for wall mount applications.

LISTINGS

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only. U.S Patent No. D882,146S and U.S Patent No. 11,085,619 B2

BUY AMERICAN ACT

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Appendix D Owner Statement





October 24th, 2023

To whom it may concern;

My name is J.J. Toppins, 2nd generation owner of Valley Truck Leasing Inc. National Lease (VTL). VTL was started in 1955 by my parents, John & Betty Toppins. We are a truck & trailer rental & leasing company that does business with other businesses, primarily operate in Wisconsin, but our equipment runs all over the U.S. and into Canada. My son Jesse Toppins, who has 17 years with VTL & another long-term coworker Greg Christie, who has 22 years with VTL, are inline to be my successors within the next 5 years.

My father came home from the war, married my mother, and with the help of his father they opened Fox Valley Truck Service Inc. (FVT) in 1948. Both FVT & VTL started their humble beginnings at 2138 W. Wisconsin Ave, Appleton, now a pool & spa store. In 1974 both companies were relocated to 3103 W. Wisconsin Ave, Appleton. FVT was a GMC, Volvo, and Isuzu Truck dealer until 2002. At that time the GMC light duty vehicle franchise was sold to John Bergstrom and the Volvo franchise was sold to Rodger Kriete, the Mack dealer in Milwaukee. We retained the GMC medium duty franchise and Isuzu franchise. During the same time as we were downsizing FVT my parents were in the process of selling the land & buildings to the Mills brothers of Mills Fleet Farm, which is now the current location of the Appleton Fleet Farm.

In 2002 we relocated to 5668 Neubert Road, Appleton, and is our current location. In 2008 & 2009 when the government bailed out GM our GMC medium duty franchise was a causality of the bailout like Pontiac, Oldsmobile and Saturn. FVT is still an ISUZU dealer.

In 2012 I bought out my two older brothers in both VTL & FVT. At that same time, I sold 50% of FVT to Mark Arft, a long-time coworker, and I maintained 100% sole proprietorship of VTL. In 2020 I sold my 50% of FVT to Mark and he is now the sole proprietor of FVT. Since the split of the two companies in 2020 they have grown in different directions, and where sharing the same location was once beneficial it is now a hindrance. And this is why I am looking to move VTL to its own location.



VTL is not a dealer of any kind & we do not have any Wisconsin licenses to sell anything retail, therefore no showroom is necessary for VTL's business. As I mentioned before, we are a business-to-business truck & trailer provider for other businesses that either manufacture or transport goods. VTL has four other locations that are located in Brillion, Fond du Lac, Sheboygan and Stevens Point. Our Appleton location is our home office or headquarters. VTL provides mechanical service for the equipment we rent and lease. At our proposed location on American Drive, we would be doing the same repairs and maintenance on our equipment. We are projecting we will have 15 to 20 employees at this location with an average annual wage of \$68,000 with full benefit package.

Thank you for your time and consideration to approve VTL as a new tenant in your great community.

Sincerely,

A handwritten signature in black ink, appearing to read "J.J. Toppins".

J.J. Toppins
President and Owner
Valley Truck Leasing, Inc NL

Appendix E Solar Reflective Index



COLORS AND FINISHES

STANDARD WALL, TRIM & ROOF COLORS

Varco Pruden uses high quality paint systems designed to provide long-term performance and protection. Each coating is formulated with thoroughly researched, tested and field proven pretreatments, primers, resins and pigments that can meet your design and performance requirements.

This paint system combines ceramic pigmentation with polyvinylidene fluoride for superior, long-lasting performance. PVDF finishes are respected for their durability, resistance and color retention. Our KXL finishes are warranted for up to 25 years.



Cool Artic White



Cool Egyptian White



Cool Sierra Tan



Cool Cotton White

Cool Granite Gray



Cool Zinc Gray



Cool Straw Gold



Cool Dark Bronze



Cool Colonial Red



Cool Hemlock Green



Cool Leaf Green



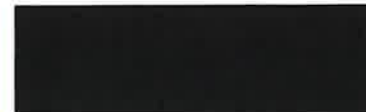
Cool Bermuda Green



Cool Cobalt Blue



Cool Imperial Blue



Cool Ebony (trim only)



Acrylic Coated Galvalume *

Colors printed on this page may not exactly match actual panel colors. Please request panel swatches for true color match.

Wall panel colors for Panel Rib, RPR, Tech Four & Vee Rib. Roof panel colors for Panel Rib Roof, SSR and 26 & 24 ga. Deck-Liner. Deck-Liner panel colors are limited to 24 & 26 ga. 22 & 28 ga. Deck-Liner is available in Polyester Interior White only. Panel Rib Panel Liner is available in SMP Cool Cotton White only.

*Acrylic Coated Galvalume® is an option for SSR, Panel Rib Roof or Wall & Deck-Liner.

LONG-TERM BEAUTY, UNMATCHED PROTECTION, COOL COLOR PERFORMANCE AND SUPERIOR QUALITY.

70% PVDF finishes meet both Kynar 500® and Hylar 5000® specifications. All colors shown approximate actual paint colors as accurately as possible. Actual paint colors may vary. Colors in this guide are for reference only. Varco Pruden Buildings reserves the right to change color offerings shown here without notice. Painted metal samples are available.

Custom color matching is available through Varco Pruden. Orders with custom colors are subject to special pricing and delivery considerations. For SLR II colors, see selection card #6020.

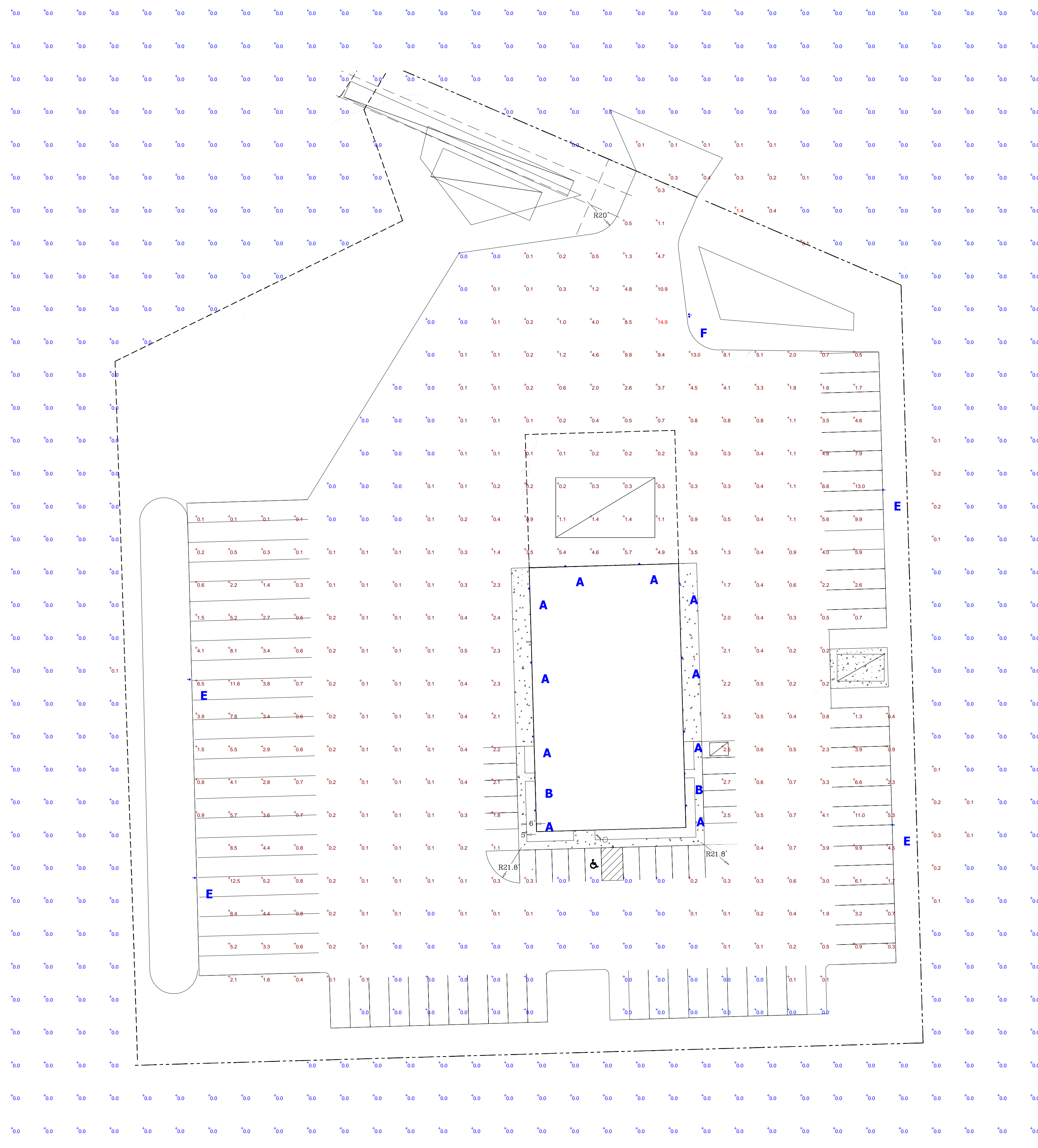
PHYSICAL AND PERFORMANCE PROPERTIES ON COATED STEEL ¹		
Specular Gloss at 60°	ASTM D 523 ⁽²⁾	25-35
Pencil Hardness	ASTM D 3363	F-2H
T-Bend ⁽³⁾	ASTM D 4145	2T; No pick off
Adhesion	ASTM D 3359	Reverse impact 1/16" crosshatch; No adhesion loss
Humidity Resistance 100% humidity @ 95° F	ASTM D 2247 ASTM D 714	Passes 1500 hours No #8 blisters
Reverse Impact	ASTM D 2794	3.0 x metal thickness, no cracking or adhesion loss
Salt Spray Resistance 5% salt fog @ 95° F	ASTM B 117	Passes 1000 hours less than 1/8" avg. creepage from scribe. None or few #8 blisters
South Florida Exposure 10 yrs. @ 45°	ASTM D 2244 ASTM D 4214	Max 5 fade Max 8 chalk
Dry Film Thickness	ASTM D 1400	0.20 mil primer; 0.75 mil topcoat
Acid Resistance	ASTM D 1308	10% muratic acid 24 hours — no effect; 20% muratic acid 18 hours — no effect
Acid Rain Test	Kesternich SO ₂	15 cycles min. DIN 50018, no objectionable color change
Alkali Resistance	ASTM D 1308	10%, 25% NaOH, 1 hour; no effect

Includes G90 hot dip galvanized and Galvalume 2. American Society for Testing and Materials. 3. Fracturing or rupturing of substrate will rupture coatings. Heavy gauge and clad steel substrates impose limitations on formability. KXL coatings are generally flexible beyond the point of substrate rupture.

VP COOL COLOR INFORMATION							
Color Name & Code	Solar Reflectance ¹	Thermal Emittance ²	SRI ³	LEED 2.2 Low Slope Initial SRI>or=78	LEED 4.0 Low Slope Initial SRI>or=82	LEED 2.2 Steep Slope Initial SRI>or=29	LEED 4.0 Steep Slope Initial SRI>or=29
Acrylic Coated Galvalume (no code)	0.68	0.30	65	No	No	Yes	Yes
Cool Arctic White - BN5W183B	0.64	0.84	76	No	No	Yes	Yes
Cool Bermuda Green - BN5G176B	0.30	0.84	29	No	No	Yes	No
Cool Cobalt Blue - BN5L148B	0.33	0.84	33	No	No	Yes	No
Cool Colonial Red - BN5R143B	0.34	0.85	35	No	No	Yes	No
Cool Cotton White - BN5W184B	0.76	0.84	93	Yes	Yes	Yes	Yes
Cool Dark Bronze - BN5N239B	0.32	0.84	32	No	No	Yes	No
Cool Ebony - BN5B114B	0.30	0.84	29	No	No	Yes	No
Cool Egyptian White - BN5I137B	0.63	0.83	74	No	No	Yes	Yes
Cool Granite Gray - BN5A221B	0.55	0.84	63	No	No	Yes	Yes
Cool Hemlock Green - BN5G175B	0.34	0.85	35	No	No	Yes	No
Cool Imperial Blue - BN5L149B	0.30	0.84	29	No	No	Yes	No
Cool Leaf Green - BN5G174B	0.30	0.85	30	No	No	Yes	No
Cool Sierra Tan - BN5N235B	0.49	0.84	55	No	No	Yes	Yes
Cool Straw Gold - BN5I136B	0.61	0.84	72	No	No	Yes	Yes
Cool Zinc Gray - BN5A222B	0.37	0.85	39	No	No	Yes	Yes

Authorized Independent Testing Laboratory Results: 1 = AITL ASTM C1549 CRRR Tested Lab Results. 2 = AITL ASTM C1371 CRRR Tested Lab Results. 3 = AITL ASTM E1980 CRRR Tested Lab Results. (Low Slope < 2:12; Steep Slope >2:12)

Note: All panels formed from light gauge metal may exhibit waviness, also known as "Oil Canning," commonly occurring in, but not restricted to, flat portions of a panel. This inherent characteristic is not a defect of material and is not cause for rejection.
 • Kynar 500® is a registered trademark of Arkema.
 • Hylar 5000® is a registered trademark of Solvay Solexis.
 • Galvalume® is a registered trademark of BIEC International, Inc.



Plan View
Scale - 1" = 35ft

Schedule				
Symbol	Label	Quantity	Catalog Number	Wattage
	A	10	WPX3 LED 30K MVOLT	70.97
	B	2	WPX1 LED P1 30K MVOLT	11.49
	E	4	RSX4 LED P6 30K R4 SPA HS - 25' SQ STL POLE, BASE 2' ABOVE GRADE	545.66
	F	1	TWIN RSX4 LED P6 30K R4 SPA HS - 25' SQ STL POLE, BASE 2' ABOVE GRADE	1091.32

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
AREA OUTSIDE OF PARKING LOT	+	0.0 fc	1.4 fc	0.0 fc	N/A	N/A
PARKING LOT	+	1.5 fc	14.9 fc	0.0 fc	N/A	N/A



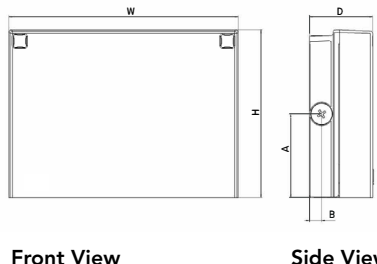
WPX LED Wall Packs



Catalog Number	Item B.
Notes	
Type	

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications



Luminaire	Height (H)	Width (W)	Depth (D)	Side Conduit Location		Weight
				A	B	
WPX1	8.1" (20.6 cm)	11.1" (28.3 cm)	3.2" (8.1 cm)	4.0" (10.3 cm)	0.6" (1.6 cm)	6.1 lbs (2.8kg)
WPX2	9.1" (23.1 cm)	12.3" (31.1 cm)	4.1" (10.5 cm)	4.5" (11.5 cm)	0.7" (1.7 cm)	8.2 lbs (3.7kg)
WPX3	9.5" (24.1 cm)	13.0" (33.0 cm)	5.5" (13.7 cm)	4.7" (12.0 cm)	0.7" (1.7 cm)	11.0 lbs (5.0kg)

Introduction

The WPX LED wall packs are energy-efficient, cost-effective, and aesthetically appealing solutions for both HID wall pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,550 to 9,200 lumens with a wide, uniform distribution.

The WPX full cut-off solutions fully cover the footprint of the HID glass wall packs that they replace, providing a neat installation and an upgraded appearance. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Photocell and emergency egress battery options make WPX ideal for every wall mounted lighting application.

Ordering Information

EXAMPLE: WPX2 LED 40K MVOLT DDBXD

Series	Color Temperature	Voltage	Options	Finish
WPX1 LED P1	30K 3000K	MVOLT 120V - 277V	(blank) None	DDBXD Dark bronze
WPX1 LED P2	40K 4000K	347 347V ³	E4WH Emergency battery backup, CEC compliant (4W, 0°C min) ²	DWHXD White
WPX2 LED	50K 5000K		E14WC Emergency battery backup, CEC compliant (14W, -20°C min) ²	DBLXD Black
WPX3 LED			PE Photocell ³	Note : For other options, consult factory.

Note: The lumen output and input power shown in the ordering tree are average representations of all configuration options. Specific values are available on request.

- NOTES**
- All WPX wall packs come with 6kV surge protection standard, except WPX1 LED P1 package which comes with 2.5kV surge protection standard. Add SPD6KV option to get WPX1 LED P1 with 6kV surge protection. Sample nomenclature: WPX1 LED P1 40K MVOLT SPD6KV DDBXD
 - Battery pack options only available on WPX1 and WPX2.
 - Battery pack options not available with 347V and PE options.

FEATURES & SPECIFICATIONS

INTENDED USE

The WPX LED wall packs are designed to provide a cost-effective, energy-efficient solution for the one-for-one replacement of existing HID wall packs. The WPX1, WPX2 and WPX3 are ideal for replacing up to 150W, 250W, and 400W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution. WPX is rated for -40°C to 40°C.

CONSTRUCTION

WPX feature a die-cast aluminum main body with optimal thermal management that both enhances LED efficacy and extends component life. The luminaires are IP66 rated, and sealed against moisture or environmental contaminants.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs and LED lumen maintenance of L90/100,000 hours. Color temperature (CCT) options of 3000K, 4000K and 5000K with minimum CRI of 70. Electronic drivers ensure system power factor >90% and THD <20%. All luminaires have 6kV surge protection (Note: WPX1 LED P1 package comes with a standard surge protection rating of 2.5kV. It can be ordered with an optional 6kV surge protection). All photocell (PE) operate on MVOLT (120V - 277V) input.

Note: The standard WPX LED wall pack luminaires come with field-adjustable drive current feature. This feature allows tuning the output current of the LED drivers to adjust the lumen output (to dim the luminaire).

INSTALLATION

WPX can be mounted directly over a standard electrical junction box. Three 1/2 inch conduit ports on three sides allow for surface conduit wiring. A port on the back surface allows poke-through conduit wiring on surfaces that don't have an electrical junction box. Wiring can be made in the integral wiring compartment in all cases. WPX is only recommended for installations with LEDs facing downwards.

LISTINGS

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. IP66 Rated. DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.



Electrical Load

Luminaire	Input Power (W)	120V	208V	240V	277V	347V
WPX1 LED P1	11W	0.09	0.05	0.05	0.04	0.03
WPX1 LED P2	24W	0.20	0.12	0.10	0.09	0.07
WPX2	47W	0.39	0.23	0.20	0.17	0.14
WPX3	69W	0.58	0.33	0.29	0.25	0.20

Projected LED Lumen Maintenance

Data references the extrapolated performance projections in a 25°C ambient, based on 6,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	50,000	75,000	100,000
Lumen Maintenance Factor	>0.94	>0.92	>0.90

Lumen Output

Luminaire	Color Temperature	Lumen Output
WPX1 LED P1	3000K	1,537
	4000K	1,568
	5000K	1,602
WPX1 LED P2	3000K	2,748
	4000K	2,912
	5000K	2,954
WPX2	3000K	5,719
	4000K	5,896
	5000K	6,201
WPX3	3000K	8,984
	4000K	9,269
	5000K	9,393

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-50°C (32-122°F).

Ambient	Ambient	Lumen Multiplier
0°C	32°F	1.05
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

HID Replacement Guide

Luminaire	Equivalent HID Lamp	WPX Input Power
WPX1 LED P1	100W	11W
WPX1 LED P2	150W	24W
WPX2	250W	47W
WPX3	400W	69W

Emergency Egress Battery Packs

The emergency battery backup is integral to the luminaire — no external housing or back box is required. The emergency battery will power the luminaire for a minimum duration of 90 minutes and deliver minimum initial output of 550 lumens. Both battery pack options are CEC compliant.

Battery Type	Minimum Temperature Rating	Power (Watts)	Controls Option	Ordering Example
Standard	0°C	4W	E4WH	WPX2 LED 40K MVOLT E4WH DDBXD
Cold Weather	-20°C	14W	E14WC	WPX2 LED 40K MVOLT E14WC DDBXD

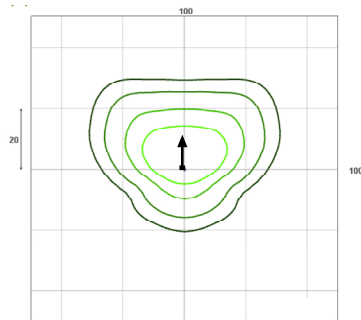
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting [WPX LED](#) homepage. Tested in accordance with IESNA LM-79 and LM-80 standards

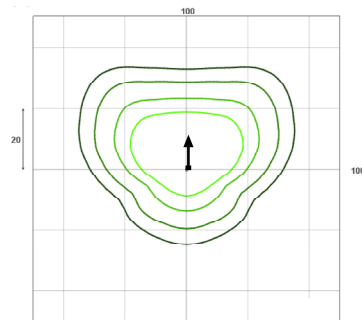
LEGEND

- 0.1 fc
- 0.2 fc
- 0.5 fc
- 1.0 fc

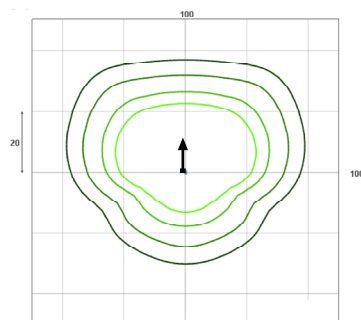
WPX1 LED P1



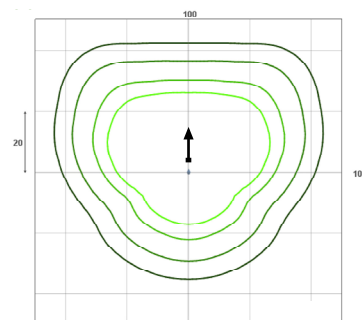
WPX1 LED P2



WPX2 LED



WPX3 LED



Mounting Height = 12 Feet.



RSX4 LED Area Luminaire

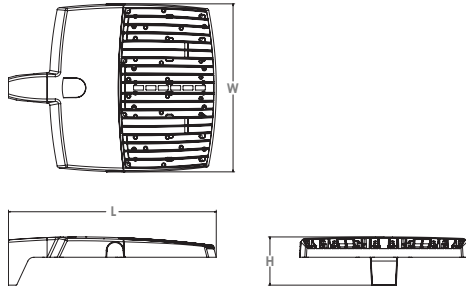


Catalog Number	Item B.
Notes	
Type	

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

EPA (ft ² @0°):	0.69 ft ² (0.07 m ²)
Length:	30.9" (78.5 cm) (SPA mount)
Width:	25.0" (63.5 cm)
Height:	3.0" (7.6 cm) Main Body 7.2" (18.4 cm) Arm
Weight (max):	65 lbs (29.5 kg)



Introduction

The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX4 delivers 40,000 to 70,000 lumens allowing it to replace up to (2) 1000W HID luminaires.

The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral slipfitter and other mounting configurations are available.



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect.
*See ordering tree for details

ds Design Select options indicated by this color background.

Ordering Information

EXAMPLE: RSX4 LED P6 40K R3 MVOLT SPA DDBXD

RSX4 LED					
Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting
RSX4 LED	P1	30K 3000K	R2 Type 2 Wide	MVOLT (120V-277V) ²	SPA Square pole mounting (3.0" min. SQ pole for 1 at 90° and 2 at 180°)
	P2	40K 4000K	R3 Type 3 Wide	HVOLT (347V-480V) ³	RPA Round pole mounting (3.0" min. dia. RND pole for 1 at 90°, 2 at 180°, 3 at 120°)
	P3	50K 5000K	R3S Type 3 Short	XVOLT (277V-480V) ⁴	ESPA Required for mounting RSX4 in 2,3,4 at 90°. Requires 3.5" min. square pole for mounting 2, 3, 4 at 90°. Requires 3.0" min. square pole for 1 at 90°. ⁵
	P4		R4 Type 4 Wide	(use specific voltage for options as noted)	ERPA Required for mounting RSX4 in 2,3,4 at 90°. Requires 3.2" min. dia. round pole for 2, 3, 4 at 90°. Requires 3.0" min. dia. round pole for mounting 1 at 90°, 2 at 180°, 3 at 120°. ⁵
	P5		R4S Type 4 Short		MA Mast arm adaptor (fits 2-3/8" OD horizontal tenon)
	P6		R5 Type 5 Wide ¹		IS Adjustable slipfitter (fits 2-3/8" OD tenon) ⁷
			R5S Type 5 Short ¹		WBA Wall bracket ¹
			AFR Automotive Front Row		WBASC Wall bracket with surface conduit box
			AFRR90 Automotive Front Row Right Rotated	AASP Adjustable tilt arm square pole mounting ⁷	
			AFRL90 Automotive Front Row Left Rotated	AARP Adjustable tilt arm round pole mounting ⁷	
				AAWB Adjustable tilt arm with wall bracket ⁷	
				AAWSC Adjustable tilt arm wall bracket and surface conduit box ⁷	

Options	Finish
<p>Shipped Installed</p> <p>HS House-side shield ⁸</p> <p>PE Photocontrol, button style ^{9,10}</p> <p>PER7 Seven-wire twist-lock receptacle only (no controls) ^{10, 11, 12}</p> <p>SF Single fuse (120, 277, 347) ⁵</p> <p>DF Double fuse (208, 240, 480) ⁵</p> <p>SPD20KV 20KV Surge pack (10KV standard)</p> <p>FAO Field adjustable output ¹⁰</p> <p>DMG 0-10V dimming extend out back of housing for external control (control ordered separate) ¹⁰</p> <p>DS Dual switching ^{10,13}</p>	<p>DDBXD Dark Bronze</p> <p>DBLXD Black</p> <p>DNAXD Natural Aluminum</p> <p>DWHXD White</p> <p>DBBTXD Textured Dark Bronze</p> <p>DBLTXD Textured Black</p> <p>DNATXD Textured Natural Aluminum</p> <p>DWHGXD Textured White</p>
<p>Shipped Installed</p> <p>*Standalone and Networked Sensors/Controls (factory default settings, see table page 9)</p> <p>NLTAIR2 PIRHN nLight AIR generation 2, with Networked Bi-Level motion/ambient sensor ^{10, 14, 15, 16}</p> <p>BAA Buy America(n) Act Compliant</p> <p>CCE Coastal Construction ¹⁷</p> <p>*Note: NLTAIR2 PIRHN with nLight Air can be used as a standalone dimming sensor with out-of-box settings or as a wireless networked solution. See factory default settings table. Sensor coverage pattern is affected when luminaire is tilted.</p> <p>Shipped Separately (requires some field assembly)</p> <p>EGS External glare shield ⁸</p> <p>EGFV External glare full visor (360° around light aperture) ⁸</p> <p>BS Bird spikes ¹⁸</p>	



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Lithonia RSX4 LED
Re

Ordering Information

Item B.

Accessories

Ordered and shipped separately.

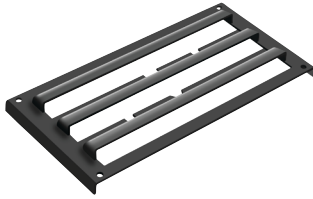
RSX4HS U	RSX4 House side shield (includes 4 shields)
RSX4HSAFRR U	RSX4 House side shields for AFR rotated optics (includes 4 shields)
RSX4EGS (FINISH) U	External glare shield (specify finish)
RSX4EGFV (FINISH) U	External glare full visor (specify finish)
RSXRPA (FINISH) U	RSX Universal round pole adaptor plate (specify finish)
RSXWBA (FINISH) U	RSX WBA wall bracket (specify finish) ¹
RSXSCB (FINISH) U	RSX Surface conduit box (specify finish, for use with WBA, WBA not included)
DLL127F 1.5 JU	Photocell -SSL twist-lock (120-277V) ¹⁹
DLL347F 1.5 CULJU	Photocell -SSL twist-lock (347V) ¹⁹
DLL480F 1.5 CULJU	Photocell -SSL twist-lock (480V) ¹⁹
DSHORT SBK U	Shorting cap ¹⁹

NOTES

- Any Type 5 distribution, is not available with WBA.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- HVOLT driver operates on any line voltage from 347-480V (50/60 Hz).
- XVOLT driver operates on any line voltage from 277V-480V (50/60 Hz). XVOLT not available with fusing (SF or DF) and not available with PE or PEX.
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Required for mounting RSX4 in configurations of 2, 3 and 4 at 90°
- Maximum tilt is 90° above horizontal.
- It can be ordered as an accessory.
- Requires MVOLT or 347V.
- Two or more of the following options cannot be combined including PE, DMG, PER7, FAO, DS and NLTAIR2 PIRHN. (Exception: PE and FAO can be combined; also PE and DMG can be combined.)
- Compatible with standard twist-lock photocells for dusk to dawn operation or advanced control nodes that provide 0-10V dimming

- Wire 4/Wire 5 wired to dimming leads on driver. Wire 6/Wire 7 capped inside luminaire. Twistlock photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- For units with option PER7, the mounting must be restricted to +/- 45° from horizontal aim per ANSI C136.10-2010.
- DS requires (2) separately switched circuits. DS provides 50/50 fixture operation via (2) different sets of leads using (2) drivers/sets. DS only available with packages P4, P5, P6, P7 and P8.
- Must be ordered with PIRHN.
- Must be ordered with NLTAIR2. For additional information on PIRHN visit [here](#).
- Requires MVOLT or HVOLT.
- CCE option not available with WBA, WBASC, AASP, AARP, AAWB, AAWBC, EGS, EGFV and BS.
- Must be ordered with fixture for factory pre-drilling.
- Requires luminaire to be specified with PER7 option. Ordered and shipped as a separate line item from Acuity Brands Controls.

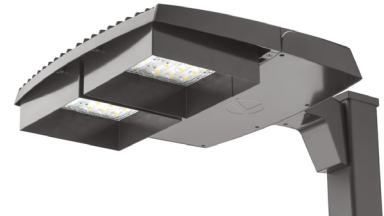
External Shields



House Side Shield (HS)



External Glare Shield (EGS)

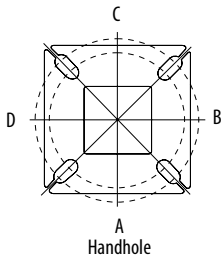


External 360 Full Visor (EGFV)

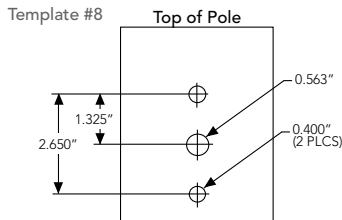
Pole/Mounting Information

Accessories including bullhorns, cross arms and other adapters are available on pages 5-8. For the complete line of accessories available, visit the accessories tab at Lithonia's Outdoor Poles and Arms product page. Click here to visit [Accessories](#).

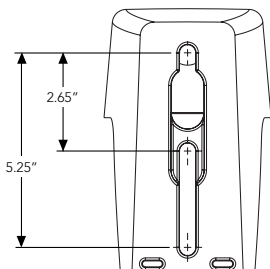
HANDHOLE ORIENTATION



RSX POLE DRILLING



RSX STANDARD ARM, EXTENDED ARM AND ADJUSTABLE ARM



Round Tenon Mount - Pole Top Slipfitters

Tenon O.D.	RSX Mounting	Single	2 @ 180	2 @ 90	3 @ 120	3 @ 90	4 @ 90
2 - 3/8"	RPA, ERPA, AARP	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 320	AS3-5 390	AS3-5 490
2 - 7/8"	RPA, ERPA, AARP	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	RPA, ERPA, AARP	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

Drill Side Location by Configuration Type

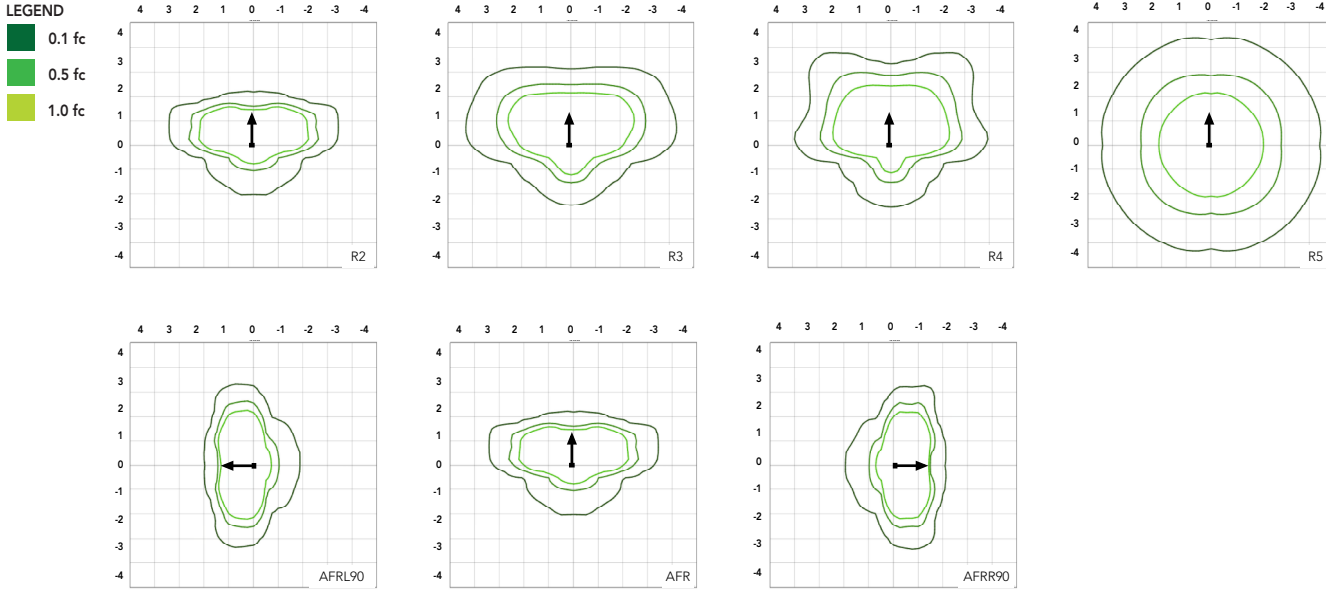
Drilling Template	Mounting Option	Single	2 @ 180	2 @ 90	3 @ 120	3 @ 90	4 @ 90
	Head Location	Side B	Side B & D	Side B & C	Round Pole Only	Side B, C & D	Side A, B, C & D
#8	Drill Nomenclature	DM19AS	DM28AS	DM29AS	DM32AS	DM39AS	DM49AS

RSX4 - Luminaire EPA

*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single	2 @ 90	2 @ 180	3 @ 90	3 @ 120	4 @ 90	2 Side by Side	3 Side by Side	4 Side by Side
SPA - Square Pole Adaptor	0.69	1.34	1.36	1.80	2.00	2.66	1.39	2.08	2.78
RPA - Round Pole Adaptor	0.72	1.39	1.47	1.88	2.09	2.77	1.44	2.16	2.87
MA - Mast Arm Adaptor	0.66	1.28	1.20	1.69	1.87	2.51	1.32	1.98	2.64
ESPA/ERPA - Extended Arm Square/Round Pole	0.74	1.44	1.57	1.96	2.18	2.88	1.48	2.23	2.97
IS - Integral Slipfitter AARP/AASP - Adjustable Arm Square/Round Pole	0°	0.69	1.34	1.36	1.80	2.00	2.66	1.39	2.08
	10°	1.13	2.05	2.22	3.10	2.91	4.01	2.26	3.39
	20°	1.91	3.14	3.57	4.84	4.26	6.23	3.82	5.73
	30°	3.23	4.70	5.70	7.25	6.52	9.31	6.46	9.69
	40°	4.71	6.04	7.96	9.37	9.04	12.04	9.42	14.13
	45°	5.46	6.72	9.10	10.47	10.31	13.40	10.92	16.38
	50°	5.58	7.29	9.51	11.46	10.93	14.56	11.16	16.74
	60°	5.81	8.50	10.35	13.44	12.41	16.89	11.62	17.43
	70°	6.13	9.29	10.98	14.92	13.50	18.57	12.26	18.39
	80°	6.28	9.88	11.47	15.86	14.22	19.72	12.56	18.84
90°	6.43	10.17	11.78	16.26	14.56	20.33	12.86	19.29	

Isofootcandle plots for the RSX4 LED P6 40K. Distances are in units of mounting height (40').



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-50°C (32-122°F).

Ambient	Ambient	Lumen Multiplier
0°C	32°F	1.05
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97
45°C	113°F	0.96
50°C	122°F	0.95

Electrical Load

Performance Package	System Watts (W)	Current (A)					
		120V	208V	240V	277V	347V	480V
P1	275W	2.34	1.38	1.22	1.08	0.83	0.62
P2	320W	2.60	1.56	1.37	1.22	0.97	0.71
P3	369W	3.08	1.79	1.57	1.39	1.09	0.80
P4	431W	3.61	2.11	1.88	1.76	1.24	0.90
P5	483W	3.97	2.28	1.99	1.74	1.36	0.98
P6	546W	4.48	2.55	2.21	1.93	1.54	1.12

Projected LED Lumen Maintenance

Operating Hours	50,000	75,000	100,000
Lumen Maintenance Factor	>0.97	>0.95	>0.92

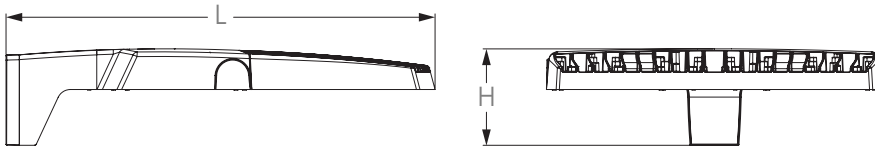
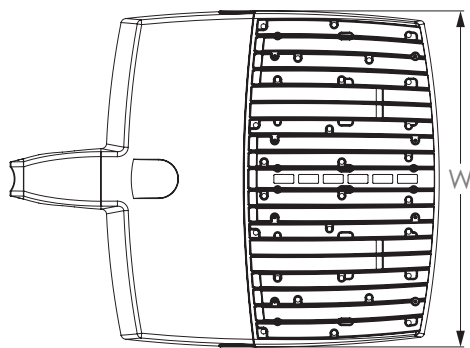
Values calculated according to IESNA TM-21-11 methodology and valid up to 40°C.

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Distribution Type	30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
			Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P1	275W	R2	36,231	3	0	3	132	39,806	3	0	3	145	39,806	3	0	3	145
		R3	36,151	3	0	5	131	39,719	3	0	5	144	39,719	3	0	5	144
		R3S	37,066	3	0	4	135	40,724	3	0	4	148	40,724	3	0	4	148
		R4	36,656	3	0	5	133	40,274	3	0	5	146	40,274	3	0	5	146
		R4S	35,409	3	0	4	129	38,903	3	0	4	141	38,903	3	0	4	141
		R5	36,955	5	0	4	134	40,602	5	0	5	148	40,602	5	0	5	148
		R5S	37,144	5	0	3	135	40,809	5	0	3	148	40,809	5	0	3	148
		AFR	36,231	3	0	3	132	39,806	3	0	3	145	39,806	3	0	3	145
		AFRR90	36,818	3	0	3	134	40,451	3	0	3	147	40,451	3	0	3	147
		AFRL90	37,146	3	0	3	135	40,812	3	0	3	148	40,812	3	0	3	148
P2	320W	R2	41,215	3	0	3	129	45,282	4	0	3	141	45,282	4	0	3	141
		R3	41,125	3	0	5	128	45,183	4	0	5	141	45,183	4	0	5	141
		R3S	42,165	3	0	4	132	46,327	4	0	4	145	46,327	4	0	4	145
		R4	41,699	3	0	5	130	45,814	4	0	5	143	45,814	4	0	5	143
		R4S	40,280	3	0	4	126	44,255	4	0	4	138	44,255	4	0	4	138
		R5	42,039	5	0	5	131	46,188	5	0	5	144	46,188	5	0	5	144
		R5S	42,253	5	0	3	132	46,423	5	0	4	145	46,423	5	0	4	145
		AFR	41,215	3	0	3	129	45,282	4	0	3	141	45,282	4	0	3	141
		AFRR90	41,883	3	0	3	131	46,016	4	0	3	144	46,016	4	0	3	144
		AFRL90	42,256	3	0	3	132	46,426	4	0	3	145	46,426	4	0	3	145
P3	369W	R2	45,968	4	0	3	124	50,504	4	0	3	137	50,504	4	0	3	137
		R3	45,867	4	0	5	124	50,393	4	0	5	136	50,393	4	0	5	136
		R3S	47,028	4	0	5	127	51,669	4	0	5	140	51,669	4	0	5	140
		R4	46,508	4	0	5	126	51,097	4	0	5	138	51,097	4	0	5	138
		R4S	44,925	4	0	4	122	49,358	4	0	4	134	49,358	4	0	4	134
		R5	46,887	5	0	5	127	51,514	5	0	5	139	51,514	5	0	5	139
		R5S	47,126	5	0	4	128	51,777	5	0	4	140	51,777	5	0	4	140
		AFR	45,968	4	0	3	124	50,504	4	0	3	137	50,504	4	0	3	137
		AFRR90	46,713	4	0	3	126	51,323	4	0	3	139	51,323	4	0	3	139
		AFRL90	47,129	4	0	3	128	51,780	4	0	3	140	51,780	4	0	3	140
P4	431W	R2	50,558	4	0	3	117	55,547	4	0	4	129	55,547	4	0	4	129
		R3	50,447	4	0	5	117	55,426	4	0	5	129	55,426	4	0	5	129
		R3S	51,724	4	0	5	120	56,829	4	0	5	132	56,829	4	0	5	132
		R4	51,152	4	0	5	119	56,200	4	0	5	131	56,200	4	0	5	131
		R4S	49,411	4	0	4	115	54,287	4	0	5	126	54,287	4	0	5	126
		R5	51,569	5	0	5	120	56,658	5	0	5	132	56,658	5	0	5	132
		R5S	51,832	5	0	4	120	56,947	5	0	4	132	56,947	5	0	4	132
		AFR	50,558	4	0	3	117	55,547	4	0	4	129	55,547	4	0	4	129
		AFRR90	51,378	4	0	3	119	56,448	4	0	4	131	56,448	4	0	4	131
		AFRL90	51,836	4	0	3	120	56,951	4	0	4	132	56,951	4	0	4	132
P5	483W	R2	56,313	4	0	4	116	61,870	4	0	4	128	61,870	4	0	4	128
		R3	56,190	4	0	5	116	61,735	4	0	5	128	61,735	4	0	5	128
		R3S	57,612	4	0	5	119	63,297	4	0	5	131	63,297	4	0	5	131
		R4	56,974	4	0	5	118	62,597	4	0	5	129	62,597	4	0	5	129
		R4S	55,035	4	0	5	114	60,467	4	0	5	125	60,467	4	0	5	125
		R5	57,439	5	0	5	119	63,107	5	0	5	131	63,107	5	0	5	131
		R5S	57,732	5	0	4	119	63,429	5	0	4	131	63,429	5	0	4	131
		AFR	56,313	4	0	4	116	61,870	4	0	4	128	61,870	4	0	4	128
		AFRR90	57,226	4	0	4	118	62,873	4	0	4	130	62,873	4	0	4	130
		AFRL90	57,736	4	0	4	119	63,433	4	0	4	131	63,433	4	0	4	131
P6	546W	R2	62,633	4	0	4	115	68,814	4	0	4	126	68,814	4	0	4	126
		R3	62,496	4	0	5	115	68,664	4	0	5	126	68,664	4	0	5	126
		R3S	64,078	4	0	5	117	70,402	4	0	5	129	70,402	4	0	5	129
		R4	63,369	4	0	5	116	69,623	4	0	5	128	69,623	4	0	5	128
		R4S	61,213	4	0	5	112	67,254	4	0	5	123	67,254	4	0	5	123
		R5	63,886	5	0	5	117	70,191	5	0	5	129	70,191	5	0	5	129
		R5S	64,212	5	0	4	118	70,549	5	0	4	129	70,549	5	0	4	129
		AFR	62,633	4	0	4	115	68,814	4	0	4	126	68,814	4	0	4	126
		AFRR90	63,649	4	0	4	117	69,930	4	0	4	128	69,930	4	0	4	128
		AFRL90	64,216	4	0	4	118	70,553	4	0	4	129	70,553	4	0	4	129

RSX4 with Round Pole Adapter (RPA)

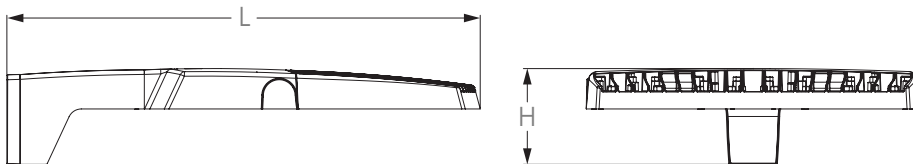
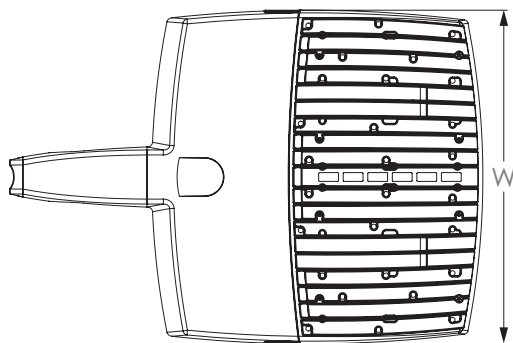


NOTE:
RPA - Round Pole mount can also be used to mount on square poles by omitting the round pole adapter plate shown here.



Length: 31.9" (81.0 cm)
Width: 25.0" (63.5 cm)
Height: 3.0" (7.6 cm) Main Body
7.2" (18.3 cm) Arm

RSX4 with Extended Arm Square or Round Pole (ESPA or ERPA)



NOTE:
RPA - Round Pole mount can also be used to mount on square poles by omitting the round pole adapter plate shown here.

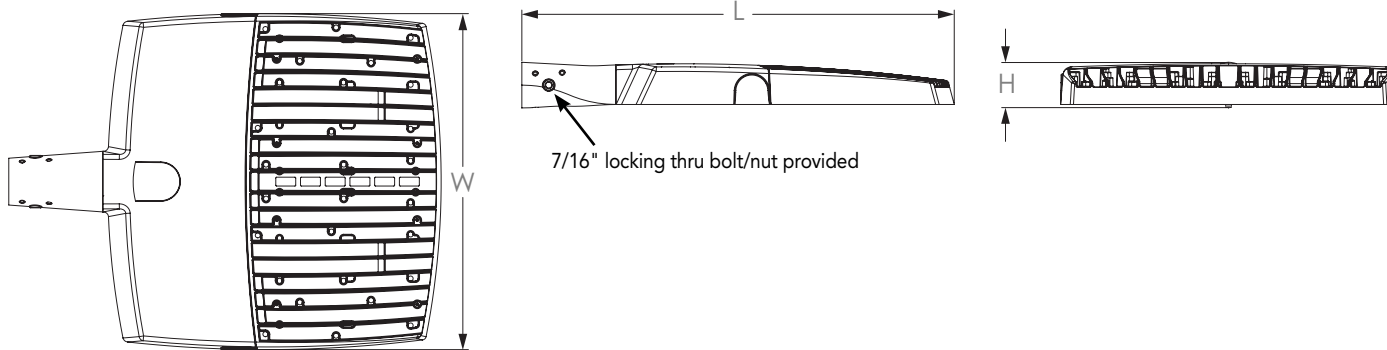


Length: 35.5" (90.2 cm) **ERPA**
34.5" (87.6 cm) **ESPA**
Width: 25.0" (63.5 cm)
Height: 3.0" (7.6 cm) Main Body
7.2" (18.3 cm) Arm

Notes

ESPA: Required for mounting RSX4 in 2,3,4 at 90°. Requires 3.0" min. square pole for 1 at 90°.
ERPA: Required for mounting RSX4 in 2,3,4 at 90°. Requires 3.0" min. dia. round pole for mounting 1 at 90°, 2 at 180°, 3 at 120°.

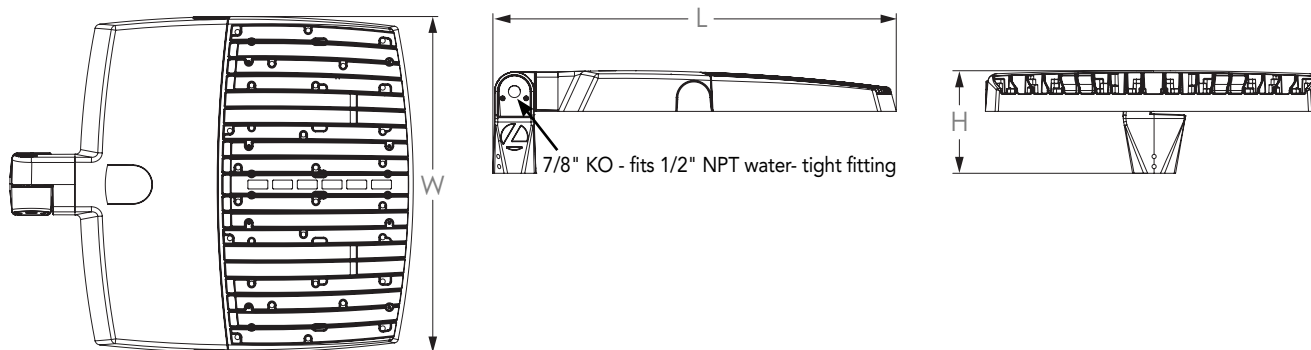
RSX4 with Mast Arm Adapter (MA)



Length: 32.2" (81.8 cm)
 Width: 25.0" (63.5 cm)
 Height: 3.0" (7.6 cm) Main Body
 3.4" (18.6 cm) Arm

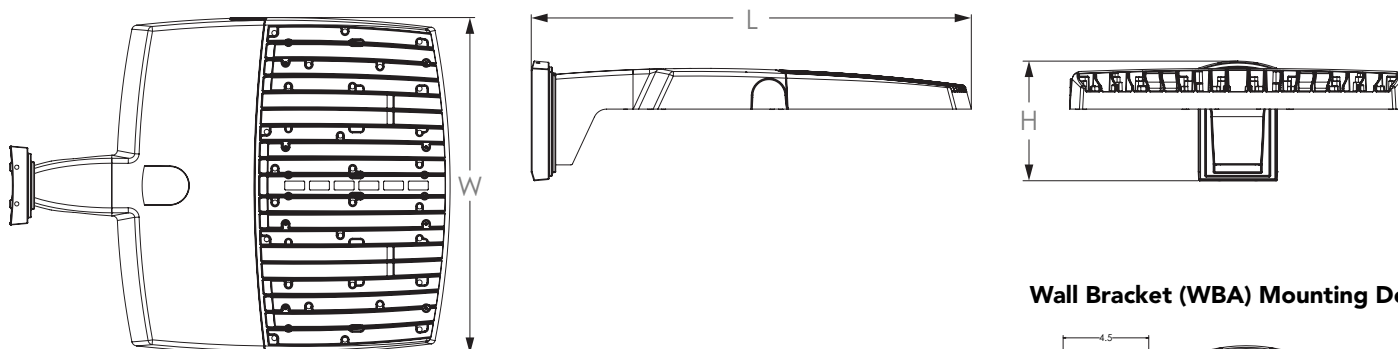
Notes: MA mount requires minimum horizontal tenon length of 6" when mounting RSX4 in configurations of 2, 3 and 4 at 90°.

RSX4 with Adjustable Slipfitter (IS)



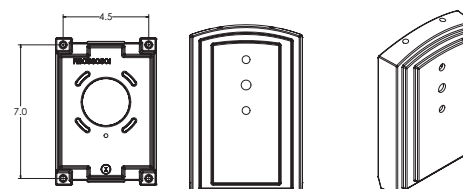
Length: 30.0" (76.2 cm)
 Width: 25.0" (63.5 cm)
 Height: 3.0" (7.6 cm) Main Body
 7.6" (19.3 cm) Arm

RSX4 with Wall Bracket (WBA)

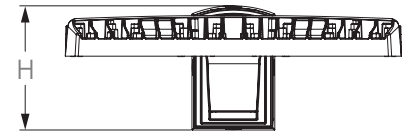
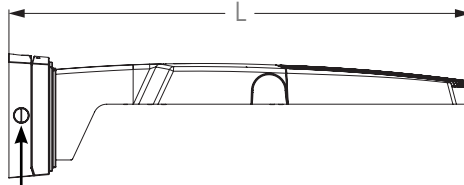
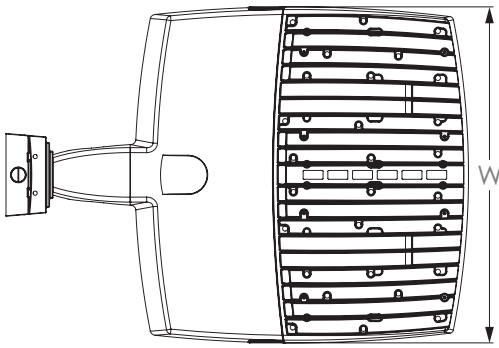


Length: 32.7" (83.1 cm)
 Width: 25.0" (63.5 cm)
 Height: 3.0" (7.6 cm) Main Body
 8.9" (22.6 cm) Arm

Wall Bracket (WBA) Mounting Detail



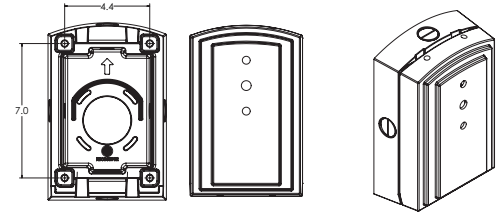
RSX4 with Wall Bracket with Surface Conduit Box (WBASC)



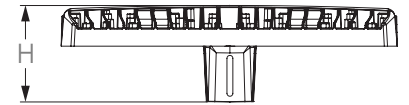
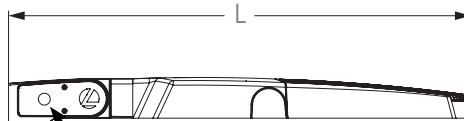
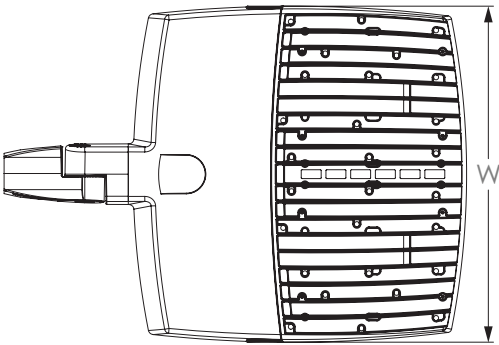
3/4" NPT taps with plugs - Qty (4) provided

Length: 34.4" (87.4 cm)
 Width: 25.0" (63.5 cm)
 Height: 3.0" (7.6 cm) Main Body
 9.2" (23.4 cm) Arm

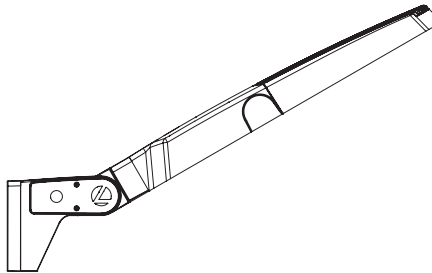
Surface Conduit Box (SCB) Mounting Detail



RSX4 with Adjustable Tilt Arm - Square or Round Pole (AASP or AARP)



7/8" KO - fits 1/2" NPT water-tight fitting



NOTE:
 RPA - Round Pole mount can also be used to mount on square poles by omitting the round pole adapter plate shown here.



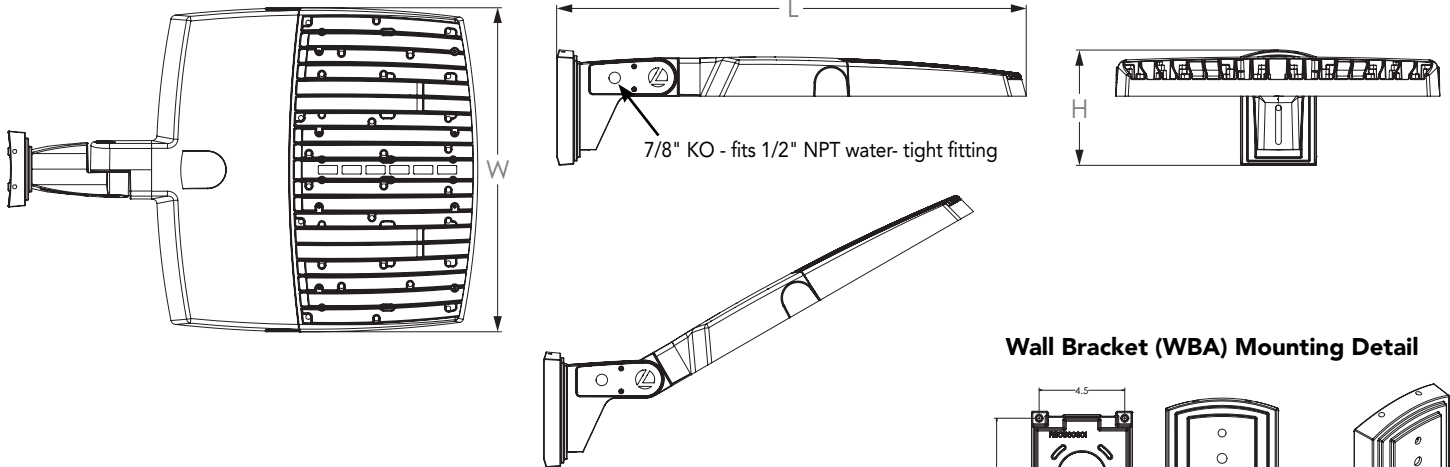
Length: 34.4" (87.4 cm) **AASP**
 35.4" (89.9 cm) **AARP**
 Width: 25.0" (63.5 cm)
 Height: 3.0" (7.6 cm) Main Body
 7.2" (18.3 cm) Arm

Notes

AASP: Requires 3.0" min. square pole for 1 at 90°. (Note: Limited to 30° maximum tilt angle for qty. 2, 3 and 4 at 90° pole top configurations)

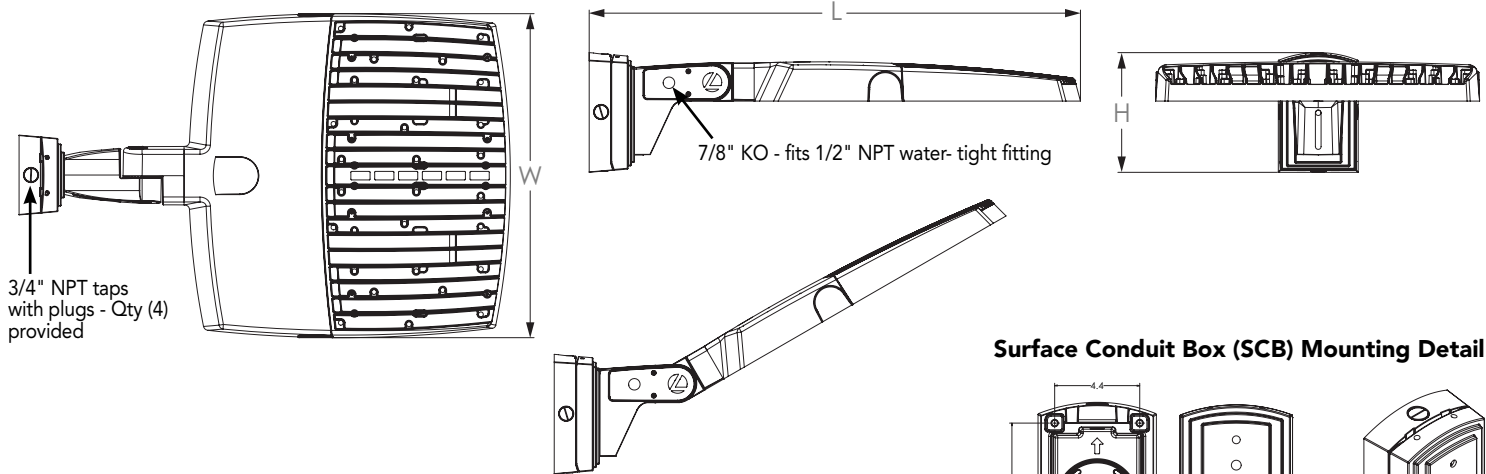
AARP: Requires 3.0" min. dia. round pole for mounting 1 at 90°, 2 at 180°, 3 at 120°. (Note: Limited to 30° maximum tilt angle for qty. 2, 3 and 4 at 90° pole top configurations)

RSX4 with Adjustable Tilt Arm with Wall Bracket (AAWB)



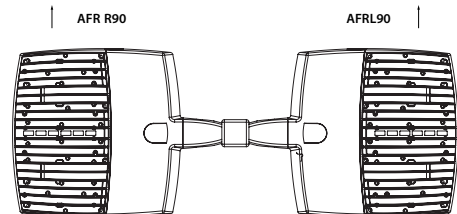
Length: 36.2" (91.9 cm)
 Width: 25.0" (63.5 cm)
 Height: 3.0" (7.6 cm) Main Body
 8.9" (22.6 cm) Arm

RSX4 with Adjustable Tilt Arm with Wall Bracket and Surface Conduit Box (AAWSC)

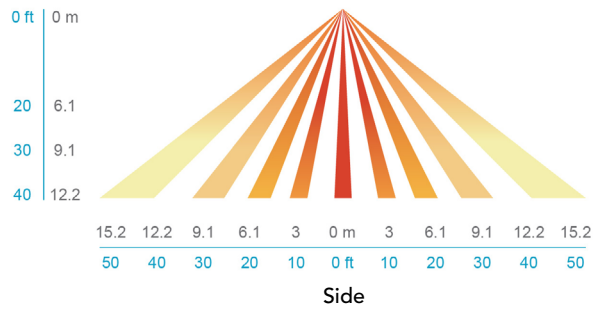
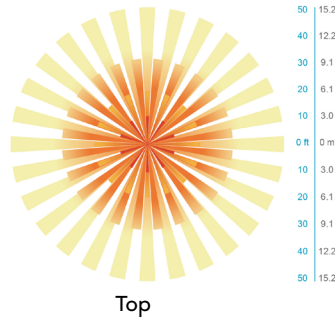
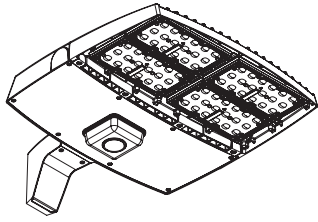


Length: 37.9" (96.3 cm)
 Width: 25.0" (63.5 cm)
 Height: 3.0" (7.6 cm) Main Body
 9.2" (23.4 cm) Arm

Automotive Front Row - Rotated Optics (AFR L90/R90)



PIRHN nLight Sensor Coverage Pattern
nLight PIRHN



Motion Sensor Default Settings - Option PIRHN						
Option	Dimmed State (unoccupied)	High Level (when occupied)	Photocell Operation	Dwell Time (occupancy time delay)	Ramp-up Time (from unoccupied to occupied)	Ramp-down Time (from occupied to unoccupied)
PIRHN	Approx. 30% Output	100% Output	Enabled @ 1.5FC	7.5 minutes	3 seconds	5 minutes

*Note: PIRHN default settings including photocell set-point, high/low dim rates, and occupancy sensor time delay are all configurable using the Clarity Pro App.

FEATURES & SPECIFICATIONS

INTENDED USE

The RSX LED area family is designed to provide a long-lasting, energy-efficient solution for the one-for-one replacement of existing metal halide or high pressure sodium lighting. The RSX4 delivers 40,000 to 70,000 lumens and is ideal for replacing 1000W and (2) 1000W HID pole-mounted luminaires in parking lots and other area lighting applications.

CONSTRUCTION

The RSX LED area luminaire features a rugged die-cast aluminum main body that uses heat-dissipating fins and flow-through venting to provide optimal thermal management that both enhances LED performance and extends component life. Integral "no drill" mounting arm allows the luminaire to be mounted on existing pole drillings, greatly reducing installation labor. The light engines and housing are sealed against moisture and environmental contaminants to IP66. The low-profile design results in a low EPA, allowing pole optimization. Vibration rated per ANSI C136.31: 3G Mountings: SPA, RPA, MA, IS, AASP, AARP, ESPA and ERPA rated for 3G vibration. 1.5G Mountings: WBA, WBASC, AAWB and AAWSC rated for 1.5G vibration.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures superior adhesion as well as a minimum finish thickness of 3 mils. The result is a high-quality finish that is warrantied not to crack or peel.

COASTAL CONSTRUCTION (CCE)

Optional corrosion resistant construction is engineered with added corrosion protection in materials and/or pre-treatment of base material under super durable paint. Provides additional corrosion protection for applications near coastal areas. Finish is salt spray tested to over 5,000 hours per ASTM B117 with scribe rating of 10. Additional lead-times apply.

OPTICS

Precision acrylic refractive lenses are engineered for superior application efficiency, distributing the light to where it is needed most. Available in short and wide pattern distributions including Type 2, Type 3, Type 3S, Type 4, Type 4S, Type 5, Type 5S, AFR (Automotive Front Row) and AFR rotated AFR90 and ARFL90.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted on metal-core circuit boards and aluminum heat sinks to maximize heat dissipation. Light engines are IP66 rated. LED lumen maintenance is >L92/100,000 hours. CCT's of 3000K, 4000K and 5000K (minimum 70 CRI) are available. Fixtures ship standard with 0-10v dimming driver. Class 1 electronic drivers ensure system power factor >90% and THD <20%. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

STANDARD CONTROLS

The RSX LED area luminaire has a wide assortment of control options. Dusk to dawn controls include MVOLT and 347V button-type photocells and NEMA twist-lock photocell receptacles.

nLIGHT AIR CONTROLS

The RSX LED area luminaire is also available with nLight® AIR which can be used for simple motion occupancy dimming or for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing with photocontrol functionality and is suitable for mounting heights up to 40 feet. No commissioning is required when using factory default settings that provide basic stand-alone motion occupancy dimming that is switched on and off with a built-in photocell. See chart above for motion sensor default out-of-box settings. For more advanced wireless functionality, such as group dimming, nLight AIR can be commissioned using a smartphone and the easy-to-use CLAIRITY app. nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found [here](#).

INSTALLATION

Integral "no-drill" mounting arm allows for fast, easy mounting using existing pole drillings. Select the "SPA" option for square poles and the "RPA" option to mount to round poles. Note that the RPA mount can also be used for mounting to square poles by omitting the RPA adapter plate. Select the "MA" option to attach the luminaire to a 2.3/8" horizontal mast arm or the "IS" option for an adjustable slipfitter that mounts on a 2 3/8" OD tenon. The adjustable slipfitter has an integral junction box offering easy installation. Can be tilted up to 90° above horizontal. Additional mountings are available including a wall bracket, adjustable tilt arm for direct-to-pole and wall and a surface conduit box for wall mount applications.

LISTINGS

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only. U.S Patent No. D882,146S and U.S Patent No. 11,085,619 B2

BUY AMERICAN ACT

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

MEMORANDUM

Public Hearing B, Business Item C

From: Administrator/Staff
 To: Plan Commission
 Re: Public Hearing on a Conditional Use Application submitted by Brandon Flees for a proposed retention pond residential accessory use located at 8375 Whispering Meadows Dr, specifically described as Tax ID #006-0566-04-09.

AND

Plan Commission review & recommendation on a Conditional Use Application submitted by Brandon Flees for a proposed retention pond residential accessory use located at 8375 Whispering Meadows Dr, specifically described as Tax ID #006-0566-04-09.

Please find the below comments from Code Administrator Kussow:

Property Information Specific to Tax ID # 006-0566-0409:

1. Specific Site Location: The subject site is addressed 8375 Whispering Meadows Dr, located at the southern end of Whispering Meadows Dr.
2. Parcel Profile Report is enclosed with this memo for your reference. Additional applicable property information not included in the Parcel Profile Report is described below:
 - a. The subject property is located in the Town's Suburban Residential (R-2) District.
 - b. There are no wetland or floodplain concerns.
 - c. No portion of the subject property is located within shoreland and therefore, the subject property is not subject to Winnebago County zoning jurisdiction.
 - d. The subject property is not subject to Outagamie County Airport Zoning.
 - e. The subject property is not located in any sanitary district or sewer service area.
3. Zoning of Surrounding Properties:
 - a. North: R-2 (Suburban Residential District)
 - b. South: A-2 (General Agriculture District); R-2 (Suburban Residential District) to the southwest
 - c. East: R-2 (Suburban Residential District)
 - d. West: A-2 (General Agriculture District)

Application Details:

The applicant is proposing a 3,825 sq. ft. (7,876 cu. ft.) private retention pond for the purpose of retaining stormwater in an area of recurring ponding on the subject property. The subject property is a residential lot containing a single-family residence. The proposed pond is located in the rear of the residence. The parcel adjacent to the north is a vacant residential lot and the parcel adjacent to the west is a vacant agricultural cropland lot.

Special Standards for Principal Land Uses:

Special standards for the "pond" accessory use are found in Sec. 9.08-472, which states: "Ponds shall comply with the Town of Clayton's ordinance for artificial ponds."

The proposed pond plans were reviewed by Matt Stephan, P.E, Cedar Corporation, for compliance with the Town's Pond Ordinance (Town Ordinance 2022-002). Per Matt Stephan's review, **the proposed pond plans comply with the Town's Pond Ordinance and are approvable with the following concerns:**

1. **Point discharge onto a neighboring property may create adverse conditions. We recommend coordination with the neighbor on discharge location or make use of a level spreader type of diffuser prior to draining to neighboring property.**

2. **Applicant should be aware that a DNR Pond General Permit 3500-144 and Winnebago County stormwater management/erosion control permit(s) may be required.**

Staff Comments, Basis of Decision, and Staff Recommendation, & Suggested Conditions:

Staff Comments:

The proposed pond complies with all Town Zoning Ordinance and Town Pond Ordinance requirements.

Basis of Decision:

Conditional Use:

The Town, in making its decision, shall consider the following factors:

1. the size of the parcel on which the proposed use will occur;
2. the presence of and compatibility with other uses on the subject property;
3. the location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses);
4. effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site;
5. the suitability of the subject property for the proposed use;
6. effects of the proposed use on the natural environment;
7. effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances;
8. effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts; and
9. any other factor that relates to the purposes of this chapter as set forth in s. 9.01-5 and other sections as may apply.

Staff Recommendation & Suggested Conditions:

Staff recommends approval of the conditional use permit.

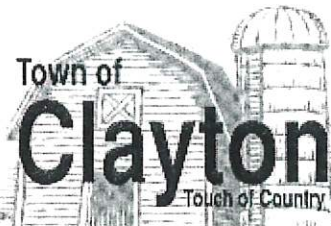
The following are possible conditions of approval that may be relevant:

1. The project shall comply with all applicable local, state, and federal codes/ordinances. Applicant should be aware that a Wisconsin Department of Natural Resources (WisDNR) Pond General Permit 3500-144 and Winnebago County stormwater management/erosion control permit(s) may be required for this project. It is the applicant's responsibility to comply with any applicable WisDNR and Winnebago County permit/approval requirements and obtain any required WisDNR and Winnebago County permits/approvals prior to commencing construction.
2. Applicant should be aware that point discharge of water from the pond onto a neighboring property may create adverse conditions. The Town recommends coordination with the neighbor on discharge location or make use of a level spreader type of diffuser prior to draining to neighboring property.
3. Any substantial changes, additions, and/or expansions to the pond shall be reviewed and approved by the Plan Commission and Town Board in accordance with the Town of Clayton Zoning Ordinance and the Town of Clayton Pond Ordinance (Town of Clayton Ordinance 2022-002). Determination of whether a change or addition is substantial shall be at the discretion of the Town Administrator.

SUGGESTED MOTION

Motion to recommend approval of the Conditional Use Application submitted by Brandon Flees with all listed Staff Recommendations & Conditions.

Respectfully Submitted,
Kelsey



CONDITIONAL USE APPLICATION

Item C.

8348 County Road T, Larsen WI 54947
Phone - 920-836-2007 Fax - 920-836-2026
Email - clerk@townofclayton.net Web Page - www.townofclayton.net

Property Owner(s): Brandon & Kelly Flees
Address/Zip: 8375 Whispering Meadows Drive, Larsen WI 54947
Phone: 715-213-5328 Fax: E-Mail: brandonflees@yahoo.com

Applicant: Brandon Flees

Check: Architect ___ Engineer ___ Surveyor ___ Attorney ___ Agent ___ Owner X

Address/City/Zip: 8375 Whispering Meadows Drive Larsen WI 54947

Phone: 715-213-5328 Fax: E-Mail: brandonfleese@yahoo.com

Describe the reason for the Conditional Use: Retention Pond to control and retain storm water

Conditional Use Specifics:

No. of Lots: 1 Total Acreage: 7.3 Tax Key No.: Parcel 00605660409

Legal Description:

Current Zoning: R2

I certify that the attached drawings are to the best of my knowledge complete and drawn in accordance with all Town of Clayton codes.

Applicant Signature: [Signature] Date:

For Town Use Only

Fee (see Town Fee Schedule)

Fee: \$300 - Check # 23048 Receipt 1.158 Date 11/13/23

Date Received Complete 11/13/23 By [Signature] CUP No.

Review Meetings - Plan Comm ___ Town Board ___

Newspaper Publication Dates ___ & ___ Posting Date ___

300' Neighborhood Notice Distribution ___

Conditional Use is: Approved ___ Denied ___

Comments ___

Notes: 1. Please notify utility companies regarding your proposed development. 2. A Conditional Use approval does not constitute approval of a building permit or any required approval of a highway connection permit. 3. A Conditional Use Application & Fee must be submitted 20 working days prior to meeting.

Conditional Use – Pond Request – revision 11-22-23

8375 Whispering Meadows Drive, Larsen WI 54947

Purpose Statement:

The intended purpose of this pond is to direct and retain stormwater that is currently accumulating on along the West side of the property in order to avoid large pooling and potential damage to the home. Overflow from the pond will flow into the West drainage ditch. Photos below are from the last three rainstorms.

10-14-23



10-24-23

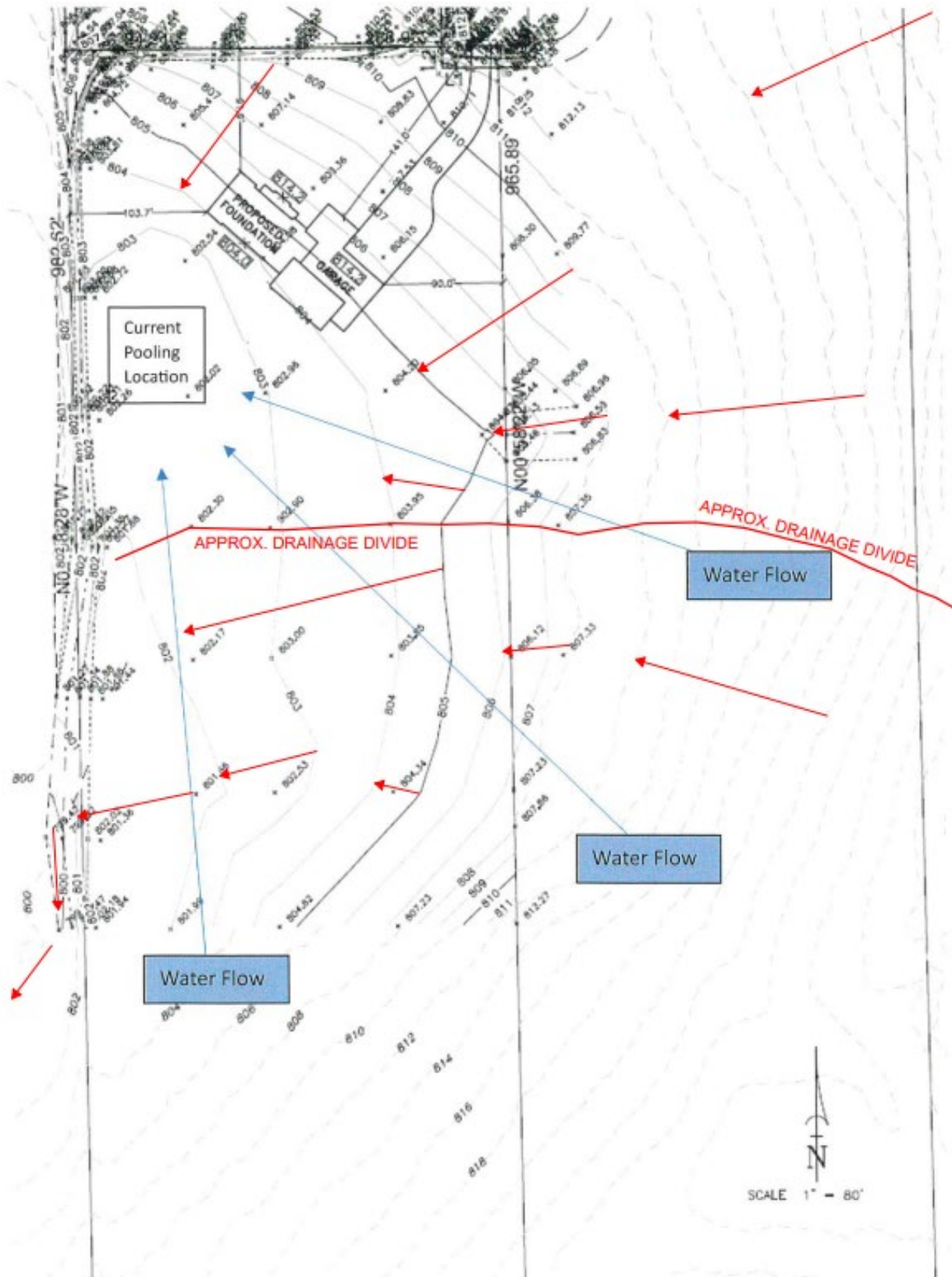


11-8-23

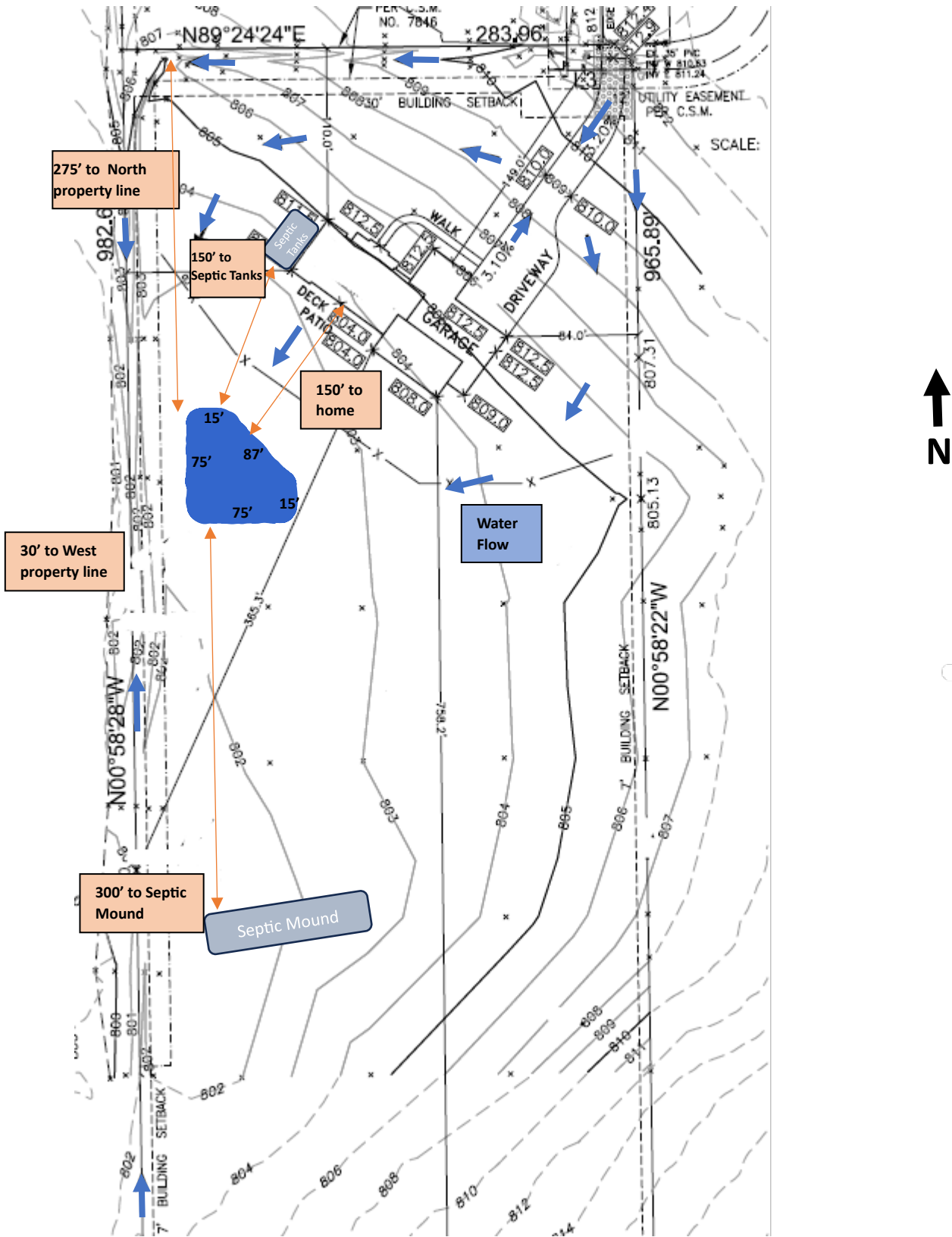


Site Topography:

Item C.



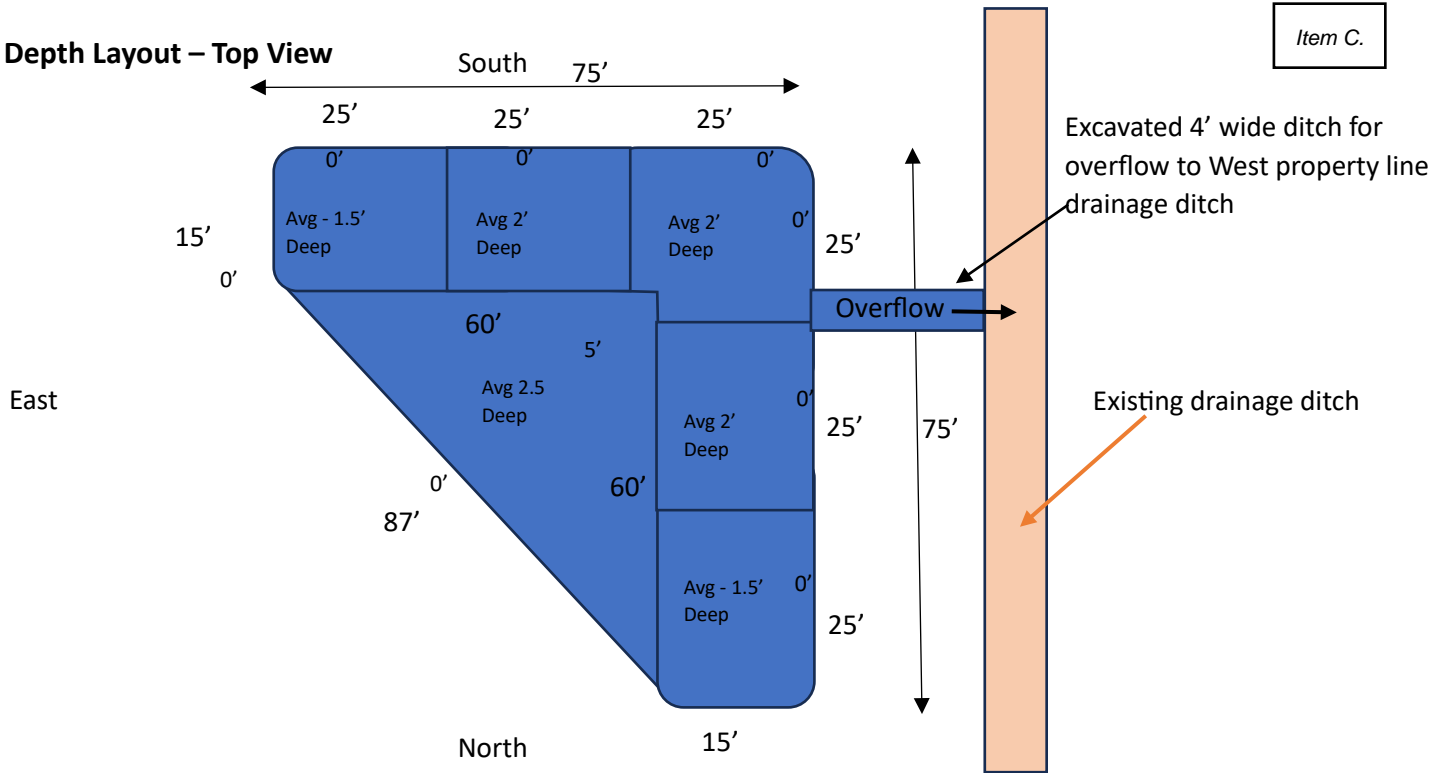
Site Plan



Operation and Maintenance:

Weekly perimeter and water quality checks, removal of debris and growth of unwanted vegetation. Embankment and perimeter will be kept in tact and mowed. Flow into pond will be monitored as well as pond level and biological growth. Sediment will be removed as needed. Excess water will be directed to drainage ditch by use of excavated trench. Will work with local pond contractor for annual maintenance.

Pond Depth Layout – Top View



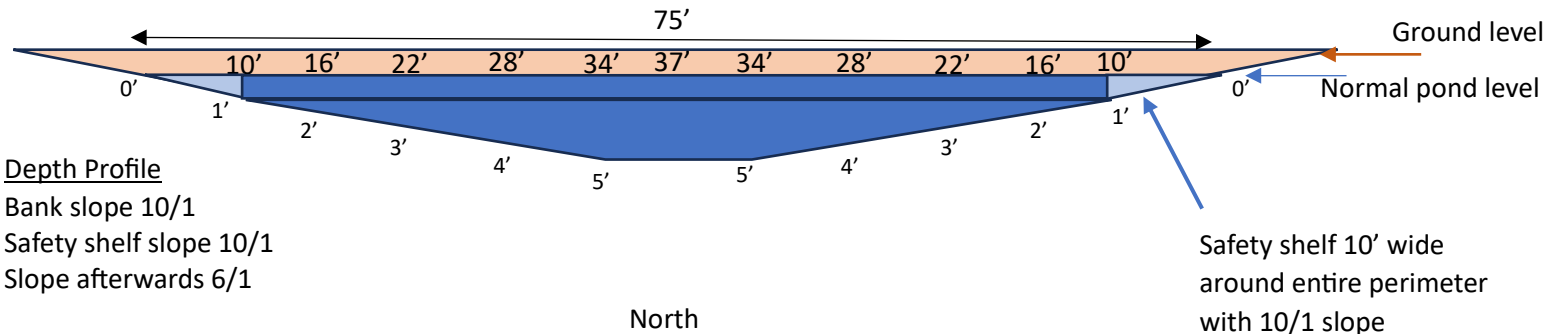
Volume Calculations (each section's depth is the average depth)

$$(15 \times 25 \times 1.5) + (15 \times 25 \times 2) + (15 \times 25 \times 2) + (15 \times 25 \times 2) + (15 \times 25 \times 1.5) + (60 \times 60 \times 2.5) / 2 = 7,876 \text{ ft}^3 \text{ or } 292 \text{ yards}^3$$

$$\text{Area} = (75 \times 15) + (60 \times 15) + (60 \times 60) / 2 = 3,825 \text{ ft}^2$$

Side Elevation

No embankment or above grade dikes/berms.



Bank Materials & Construction:

Bank materials will consist of existing compacted earth/soil and vegetation. There will be no above grade embankment to allow storm water to run into collection pond. Pond overflow will be directed into ditch along West property line. Construction will be accomplished through use of skid steer. Erosion control will consist of silt fencing along perimeter of worksite. Water that may fill the pond during construction will be pumped from location to drainage ditch along west edge of property as needed.

Parcel Profile Report for 00605660409

Real Estate Property & Tax Information

[Interactive Map](#)

This tax information was compiled on THURSDAY, NOVEMBER 2, 2023

[More Details](#)

Mailing Address:
**FLEES, BRANDON
 FLEES, KELLY
 3679 EMERALD CROWN PARKWAY
 NEENAH WI 54956**

Owner(s):
**FLEES, BRANDON
 FLEES, KELLY**

Tax Parcel Number:
00605660409

Tax District:
006-TOWN OF CLAYTON

Acres:
7.34

School District:
3892-NEENAH JOINT SCHOOL DISTRICT

[Interactive Map](#)

Assessed Values

[More Assessment Details](#)

Land:
 \$36,000

Improvements:
 \$140,500

Total:
 \$207,000

Legal Property Description (for a complete legal description, see recorded document):
**8375 WHISPERING MEADOWS DR LARSEN WI 54947
 PT SE NW DESC AS LOT 21 OF CSM-7846 7.34 A.**

Document Number:
1872722

Public Land Survey System (PLSS) Information

[Interactive Map](#)

Physical Location(s):
SE 1/4, NW 1/4 of Section 21, T.20N. - R.16E., TOWN OF CLAYTON

General Zoning Information

District:	Description:	Jurisdiction:
R-2	SUBURBAN RESIDENTIAL DISTRICT	TOWN OF CLAYTON

[Interactive Map](#)

Extraterritorial:	Shoreland:
NONE	NONE

[Interactive Map](#)

Navigable Stream and Surface Water Drainage Information

[Interactive Map](#)

Classification:	Source:	Type:	Surface Water Drainage Dist:
NONE			NONE

Airport Zoning and Height Limitation Information

[Interactive Map](#)

Airport:	District(s):	Elevation Range:	Height Limitation(s):	Building Height:
NONE		802 - 824	NONE	

County Floodplain and FEMA Special Flood Harazard Area (SFHA) Information

[Interactive Map](#)

County District:	SFHA Zone:	SFHA Zone Type:	FIRM Panel:	Map Effective Date:
NONE	ZONE X	OUTSIDE FLOODPLAIN	55139C0100E	MARCH 17, 2003
Letter of Map Change (LOMC) Type:	Documents:	Effective Date:		

Wisconsin Wetland Inventory Information

[Interactive Map](#)

Area Code:	Area Description:	Source:
NONE		



Parcel Profile Report for 00605660409



Parcel Profile Report for 00605660409

Future Land Use Planning Information		
County Use: AGRICULTURAL AND RURAL	Municipal Planning Authority: TOWN OF CLAYTON	Municipal Use: AGRICULTURE/RURAL RESIDENTIAL

Elevation Information (NAVD88, US Survey Feet) Interactive Map		
Range: 802 - 824	Elevation Change: 22	Average: 813

Soil Survey Information Interactive Map			
Symbol:	Name:	Drainage Class:	Farmland Class: Hydrologic Group:
CeB	Casco loam, 2 to 6 percent slopes	Somewhat excessively drained	III B
CeC2	Casco loam, 6 to 12 percent slopes, eroded	Somewhat excessively drained	IV B
FsB	Fox silt loam, 2 to 6 percent slopes	Well drained	II B
FsC2	Fox silt loam, 6 to 12 percent slopes, eroded	Well drained	III B
KyA	Korobago silt loam, 0 to 3 percent slopes	Somewhat poorly drained	II C/D
MtA	Mosel silt loam, 0 to 3 percent slopes	Somewhat poorly drained	II C/D
We	Wauseon silt loam	Very poorly drained	III C/D

Election Information		
Type: WINNEBAGO COUNTY BOARD OF SUPERVISORS	District: 36	Voting Ward: 8
Supervisor: <u>HOWARD MILLER</u>	Polling Place: CLAYTON MUNICIPAL BUILDING 8348 COUNTY RD. T	

2010 United States Census Bureau Information			
State and County FIPS code(s): 55 139	Tract: 002300	Block: 1076	Total Population: 118

Historical Photography Information	
Flight Year:	File Name:
1941	<u>AIW-2B-56-41.tif</u>
1957	<u>AIW-1T-133-57.tif</u>
1975	<u>2016-75.tif</u>
1981	<u>H-3-81.tif</u>

Special Casing Area Requirements for Arsenic Information Casing Map	
Special well casing depth area for Winnebago County - effective October 1, 2004	More Details



Parcel Profile Report for 00605660409



Date	11/20/2023 REVISED 11/22/2023
To	Kelly Wisnefske, Town Administrator, Town of Clayton
From	Matt Stephan, P.E.
Subject	Flees Pond – Engineering Review

REVIEWED REVISED SUBMITTAL INFORMATION AND TALKED TO BRANDON FLEES REGARDING THE POND, LAYOUT, DESIGN. INFORMED THERE WILL BE NO BERM CONSTRUCTED HOLDING WATER. MATT STEPHAN - 11/22/23

Cedar Corporation was asked to provide an engineering review for the above referenced project regarding a private stormwater pond.

APPROVABLE WITH CONCERNS IN BOXES BELOW.

Items reviewed are unstamped Conditional Use Application dated 11/13/2023 with revision made 11/16/2023. The application and revision are attached for reference.

The application was reviewed for conformance with Attachment A to Ordinance 2022-002, *An Ordinance Establishing Requirements for the Creation and Maintenance of Artificial Ponds, Ditches and Dikes in the Town of Clayton.*

We offer the following comments regarding our review:

On the Application, please elaborate on the anticipated results expected from the construction of the pond.

SECTION 4 OF THE ORDINANCE:

1. Setbacks:

a. *No part of an artificial pond or dike, including the embankment for the retention of water shall be created or enlarged within 25 feet of a property line.....*

✓ No dike, berm or embankment detail has been included with the application packet. It appears that the edge of the normal water surface is located 30’ from the property line. Embankment details with elevations and slopes need to be submitted for review.

OK - PER REVISED PLAN 11/22/23 - NO EMBANKMENT PLANNED.

b. *No part of an artificial pond or dike, including the embankment for the retention of water, with an embankment height of 36 inches or more above grade shall be created or enlarged within 50 feet of a property line....*

✓ No dike, berm or embankment detail has been included with the application packet. It appears that the edge of the normal water surface is located 30’ from the property line. Embankment details with elevations and slopes need to be submitted for review.

Embankment height may require a greater setback if height of embankment is greater than 36-inches. OK - PER REVISED PLAN 11/22/23 - NO EMBANKMENT PLANNED.

2. Slopes:

- ✓ Pond bottom slope proposed at 7:1 to 8:1. Allowable slope is as steep as 3:1. Slope is OK.
OK

3. Safety Shelf:

... Ponds greater than 3,600 square feet shall have a minimum shelf of 10 feet not less than 12" below the ordinary high water mark.

- ✓ The proposed pond is submitted with a 3,825 sf normal water surface footprint. The pond needs to provide a 10 foot wide safety shelf.
OK - PER REVISED PLAN 11/22/23, 10' safety shelf called out on typical cross section.

4. Artificial Ponds or Dikes Over 10,000 Cubic Feet:

The creation or enlargement of any artificial pond or dike resulting in greater than 10,000 cubic feet of water capacity shall require plans prepared by a State of Wisconsin licensed civil engineer.

- ✓ Not applicable as we calculate the pond as submitted to hold 7,035 cf of water. The requirements of Section 4.4 may be triggered based on additional information regarding the berm and volume increase above the normal water surface. This will be re-evaluated with submittal of additional berm/embankment information.
OK - PER REVISED PLAN 11/22/23, NO BERM FAILURE CONCERNS, NO 10,000 CF OF VOLUME.
- ✓ No dike, berm or embankment detail has been included with the application packet. It appears that the edge of the normal water surface is located 30' from the property line. Embankment details with elevations and slopes need to be submitted for review.
OK - PER REVISED PLAN 11/22/23 - NO EMBANKMENT PLANNED.

8. Embankment:

- ✓ The applicant needs to provide embankment details with anticipated soil types used for the embankment. Topsoil shall not be used for embankment and clear stone is not a permissible embankment material.
Outlet structure details shall be provided along with details of an emergency spillway (length, height, elevations, scour protection, etc.) Note: the emergency spillway should safely provide capacity for the 100-year storm event.

OK - PER REVISED PLAN 11/22/23 - NO EMBANKMENT PLANNED.

Point discharge onto a neighboring property may create adverse conditions. We recommend coordination with the neighbor on discharge location or make use of a level spreader type of diffuser prior to draining to neighboring property.

SECTION 5 OF THE ORDINANCE:

2. Permit Submittals:

- c. *Site topography with one-foot contour intervals and the direction and flow of the surface water on the site.*

One foot contours were provided for the applicants property. Flow direction on site were not accurately portrayed on the property. (See Approximate Flow Directions in markup of original submittal attached)

For use in evaluating the pond and in reviewing outlet structures and emergency spillway, the whole drainage basin draining to the pond should be identified and submitted. This can be done using the County GIS System and On-line contours.

OK - PER REVISED PLAN 11/22/23 - NO EMBANKMENT PLANNED, NO OUTLET STRUCTURE.

- d. *Cross sections of the pond, ditch or dike every 25 feet showing the embankment, channel and depth along with the estimated volume and flow of water in cubic feet per second for a 25 year return rainfall for a watercourse.*

This information needs to be submitted. Note, from our review of the pond with 7:1 slope of the pond bottom, we find the pond will be approximately 3.5-feet deep in the middle vs the 5-foot depth noted in the application. (See Volume Attachment in markup of original submittal attached.)

OK - REVISED PLAN 11/22/23. Revised plan has a standard cross section.

- e. *Embankment materials and methods of construction including erosion and sedimentation control.*

OK - PER REVISED PLAN 11/22/23.

Show erosion control practices on the plans. Provide more detailed embankment materials with soil types and classifications to be used. Provide method of compaction of embankment materials. OK - No embankment to review. Revision states silt fence will be used.

- i. *Received permits as needed from other County, State or Federal agencies or utility companies.*

Applicant should be aware that a DNR Pond General Permit 3500-144 will likely be needed. Check with County for any required County Permits.

One foot contours were provided for the applicants property. Flow direction on site were not accurately portrayed on the property. For use in evaluating the pond and in reviewing outlet structures and emergency spillway, the whole drainage basin draining to the pond should be identified and submitted. This can be done using the County GIS System and On-line contours.

OK - No embankment or outlet structure to model or review.

8375 Whispering Meadows Drive, Larsen WI 54947

Purpose Statement:

The intended purpose of this pond is to direct and retain stormwater that is currently accumulating on along the West side of the property in order to avoid large pooling and potential damage to the home. Overflow from the pond will flow into the West drainage ditch. Photos below are from the last three rainstorms.

10-14-23



10-24-23

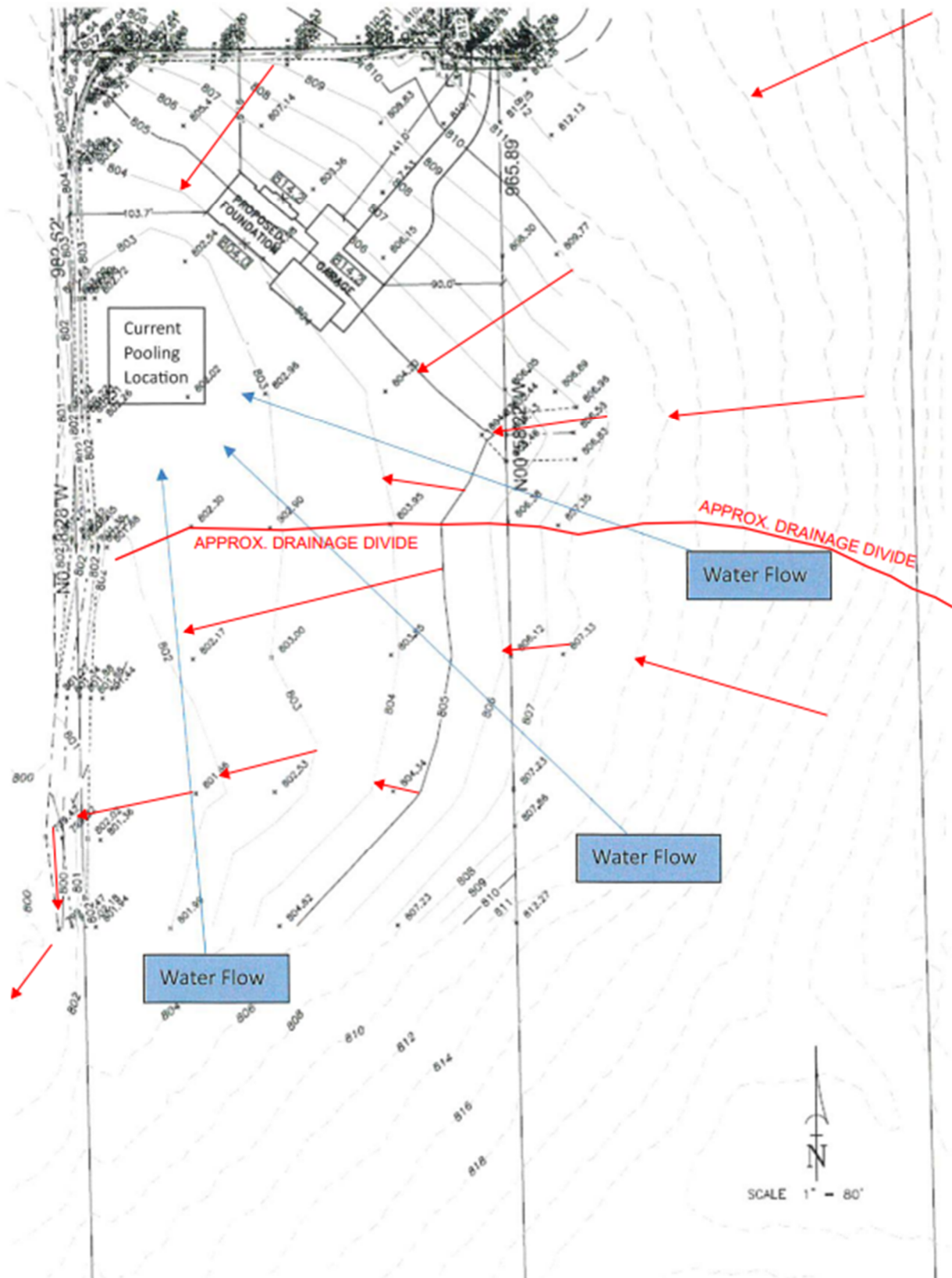


11-8-23



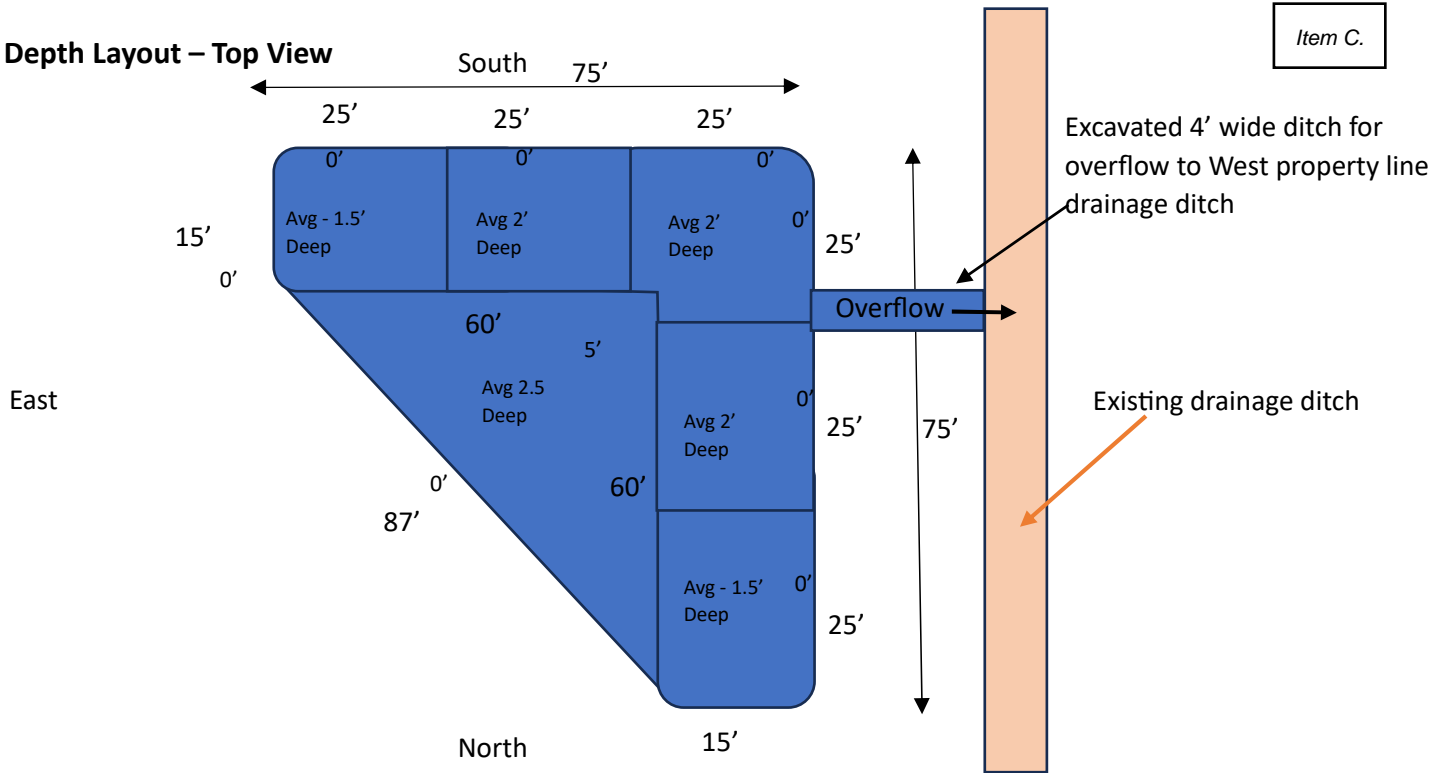
Site Topography:

Item C.



REV. 11/22/23 2

Pond Depth Layout – Top View



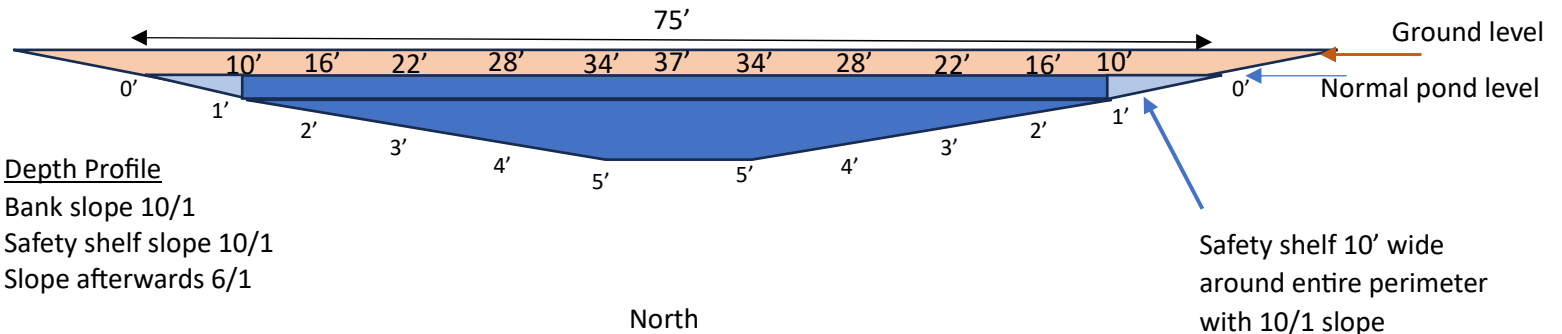
Volume Calculations (each section's depth is the average depth)

$$(15 \times 25 \times 1.5) + (15 \times 25 \times 2) + (15 \times 25 \times 2) + (15 \times 25 \times 2) + (15 \times 25 \times 1.5) + (60 \times 60 \times 2.5) / 2 = 7,876 \text{ ft}^3 \text{ or } 292 \text{ yards}^3$$

$$\text{Area} = (75 \times 15) + (60 \times 15) + (60 \times 60) / 2 = 3,825 \text{ ft}^2$$

Side Elevation

No embankment or above grade dikes/berms.



Depth Profile

Bank slope 10/1

Safety shelf slope 10/1

Slope afterwards 6/1

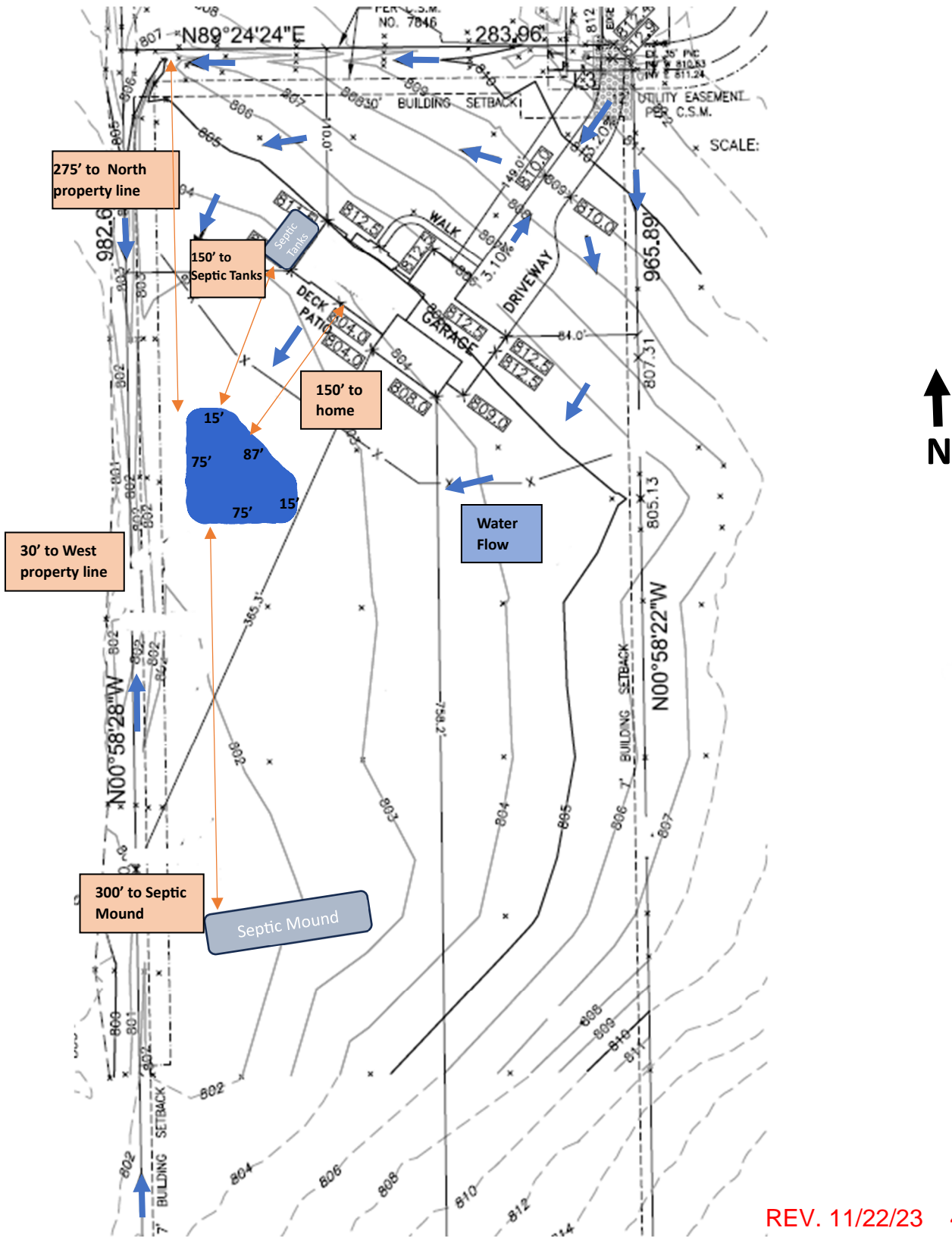
Safety shelf 10' wide around entire perimeter with 10/1 slope

Bank Materials & Construction:

Bank materials will consist of existing compacted earth/soil and vegetation. There will be no above grade embankment to allow storm water to run into collection pond. Pond overflow will be directed into ditch along West property line. Construction will be accomplished through use of skid steer. Erosion control will consist of silt fencing along perimeter of worksite. Water that may fill the pond during construction will be pumped from location to drainage ditch along west edge of property as needed.

REV. 11/22/23 3

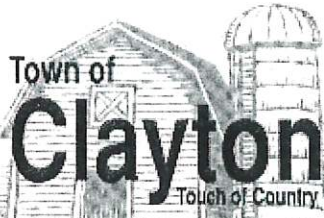
Site Plan



REV. 11/22/23 4

Operation and Maintenance:

Weekly perimeter and water quality checks, removal of debris and growth of unwanted vegetation. Embankment and perimeter will be kept in tact and mowed. Flow into pond will be monitored as well as pond level and biological growth. Sediment will be removed as needed. Excess water will be directed to drainage ditch by use of excavated trench. Will work with local pond contractor for annual maintenance.



CONDITIONAL USE APPLICATION

Item C.

8348 County Road T, Larsen WI 54947
Phone - 920-836-2007 Fax - 920-836-2026
Email - clerk@townofclayton.net Web Page - www.townofclayton.net

Original Submittal with Cedar Markups

Property Owner(s): Brandon & Kelly Flees
Address/Zip: 8375 Whispering Meadows Drive, Larsen WI 54947
Phone: 715-213-5328 Fax: E-Mail: brandonflees@yahoo.com

Applicant: Brandon Flees

Check: Architect ___ Engineer ___ Surveyor ___ Attorney ___ Agent ___ Owner X

Address/City/Zip: 8375 Whispering Meadows Drive Larsen WI 54947

Phone: 715-213-5328 Fax: E-Mail: brandonfleese@yahoo.com

Describe the reason for the Conditional Use: Retention Pond to control and retain storm water

Conditional Use Specifics:

No. of Lots: 1 Total Acreage: 7.3 Tax Key No.: Parcel 00605660409

Legal Description:

Current Zoning: R2

I certify that the attached drawings are to the best of my knowledge complete and drawn in accordance with all Town of Clayton codes.

Applicant Signature: [Signature] Date:

For Town Use Only

Fee (see Town Fee Schedule)

Fee: \$300 - Check # 23048 Receipt 1.158 Date 11/13/23
Date Received Complete 11/13/23 By [Signature] CUP No.
Review Meetings - Plan Comm Town Board
Newspaper Publication Dates & Posting Date
300' Neighborhood Notice Distribution
Conditional Use is: Approved Denied
Comments

Notes: 1. Please notify utility companies regarding your proposed development. 2. A Conditional Use approval does not constitute approval of a building permit or any required approval of a highway connection permit. 3. A Conditional Use Application & Fee must be submitted 20 working days prior to meeting.

Conditional Use – Pond Request

8375 Whispering Meadows Drive, Larsen WI 54947

Purpose Statement:

The intended purpose of this pond is to direct and retain stormwater that is currently accumulating on along the West side of the property in order to avoid large pooling and potential damage to the home. Photos below are from the last three rainstorms.

10-14-23



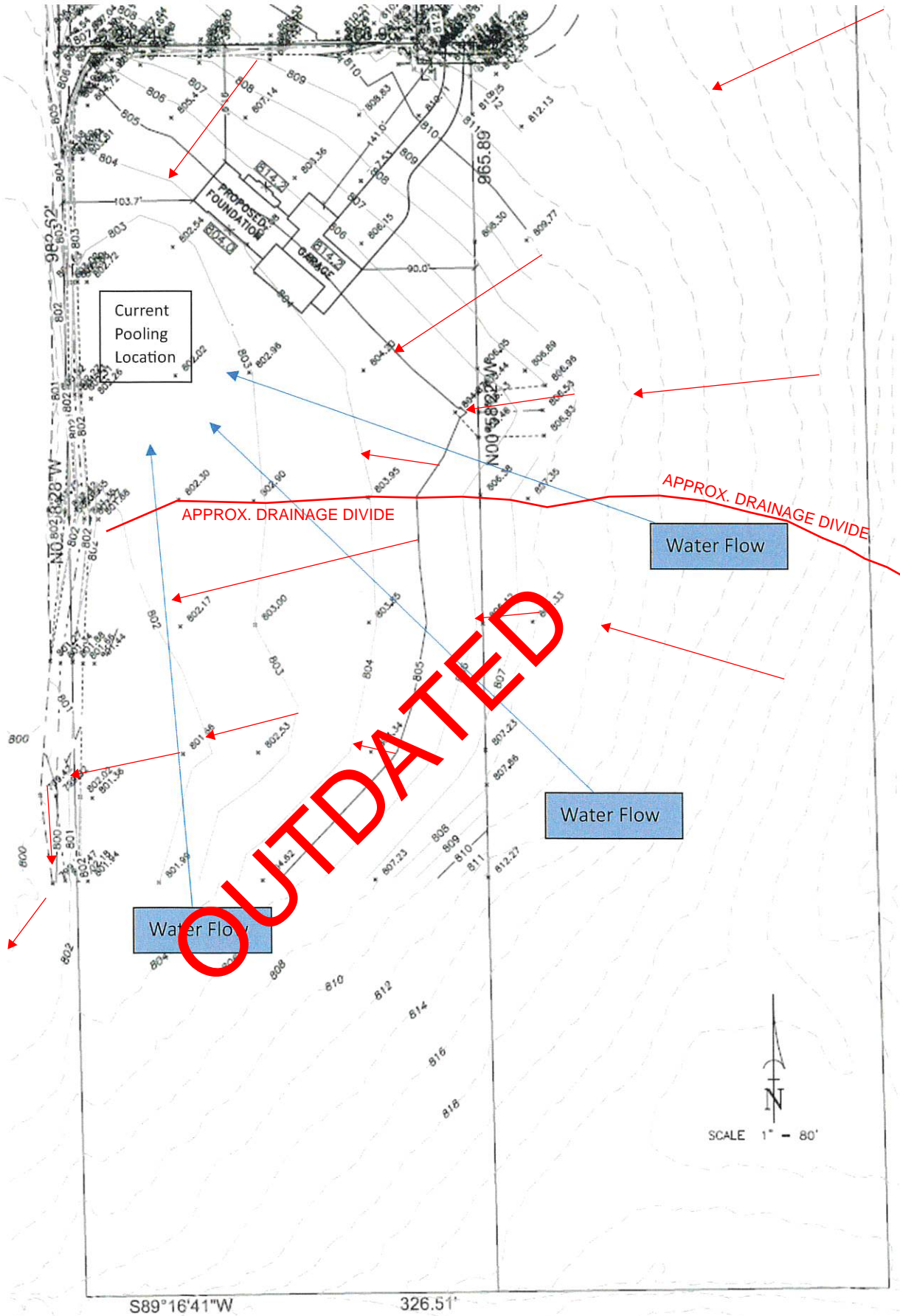
10-24-23



11-8-23



APPROXIMATE FLOW DIRECTIONS



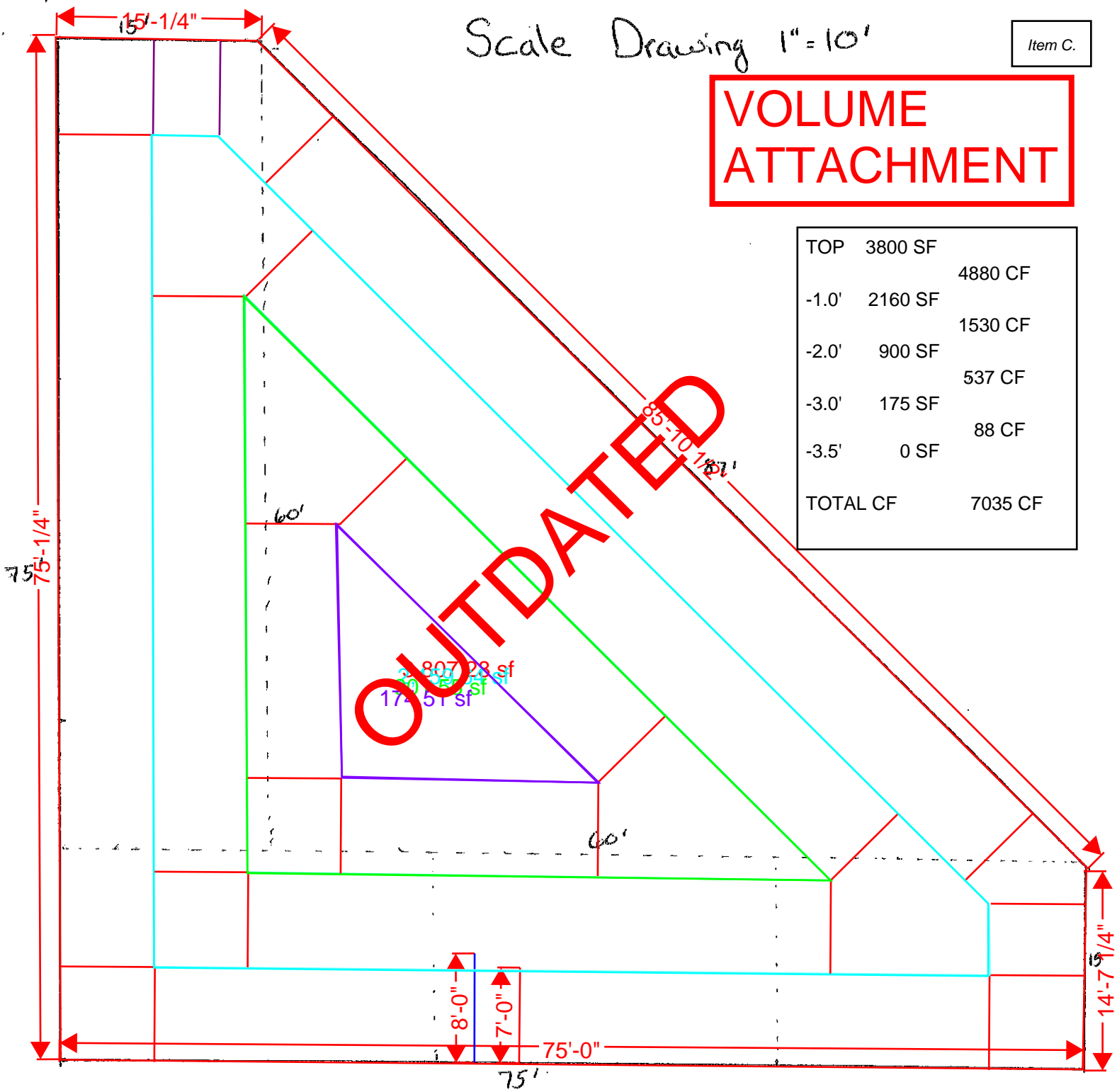
Scale Drawing 1" = 10'

Item C.

VOLUME ATTACHMENT

TOP	3800 SF	4880 CF
-1.0'	2160 SF	1530 CF
-2.0'	900 SF	537 CF
-3.0'	175 SF	88 CF
-3.5'	0 SF	
TOTAL CF		7035 CF

OUTDATED

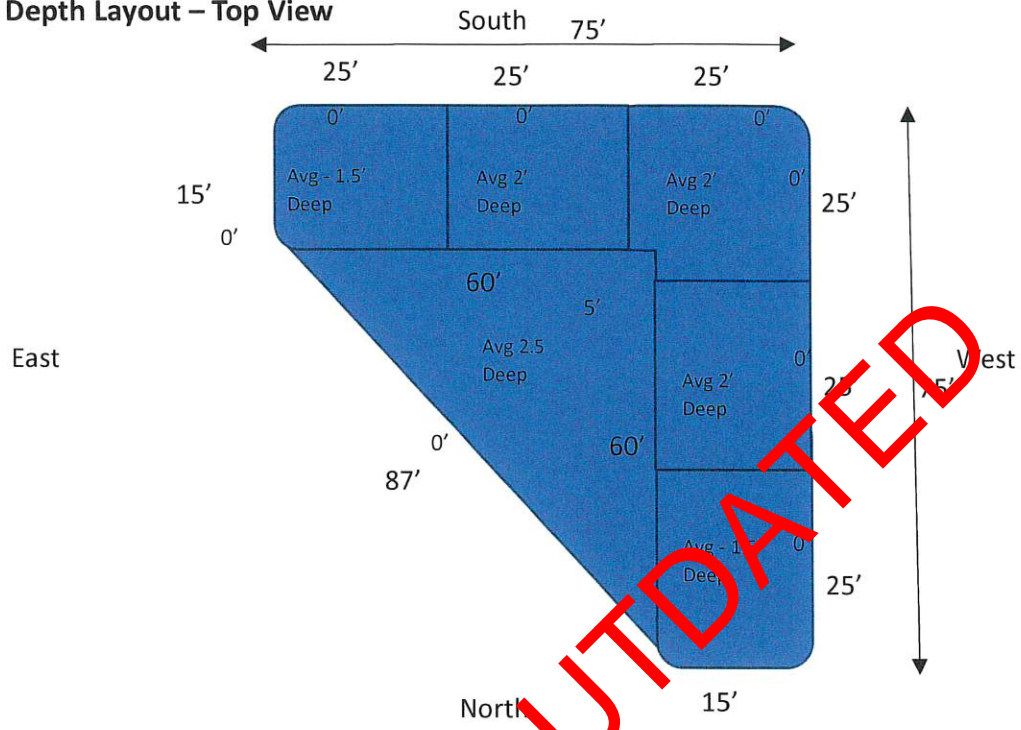


$$\text{Area} = (75 \times 15) + (60 \times 15) + \frac{1}{2}(60 \times 60) = 3,825 \text{ ft}^2$$

$$\text{Volume} = 7,876 \text{ ft}^3 \text{ or } 292 \text{ Yards}^3$$

ORIG-4

Pond Depth Layout – Top View



OUTDATED

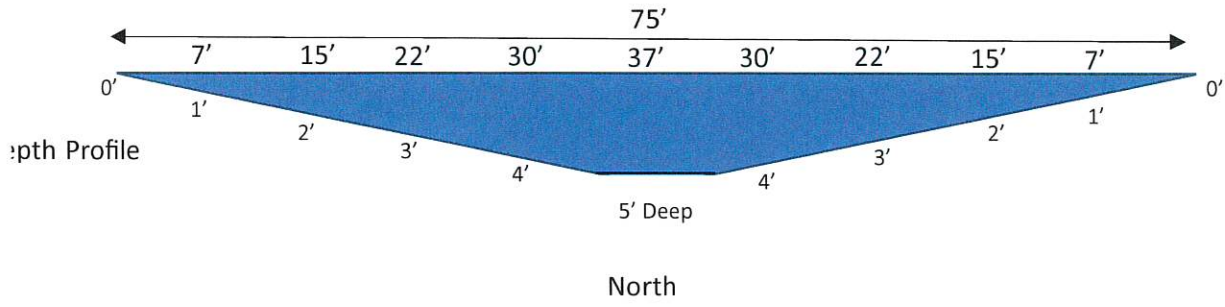
Volume Calculations (each section's depth is the average depth)

$$(15 \times 25 \times 1.5) + (15 \times 25 \times 2) + (15 \times 25 \times 2) + (15 \times 25 \times 2) + (15 \times 25 \times 1.5) + (60 \times 60 \times 2.5)/2 = 7,876 \text{ ft}^3 \text{ or } 292 \text{ yards}^3$$

$$\text{Area} = (75 \times 15) + (60 \times 15) + (60 \times 60)/2 = 3,825 \text{ ft}^2$$

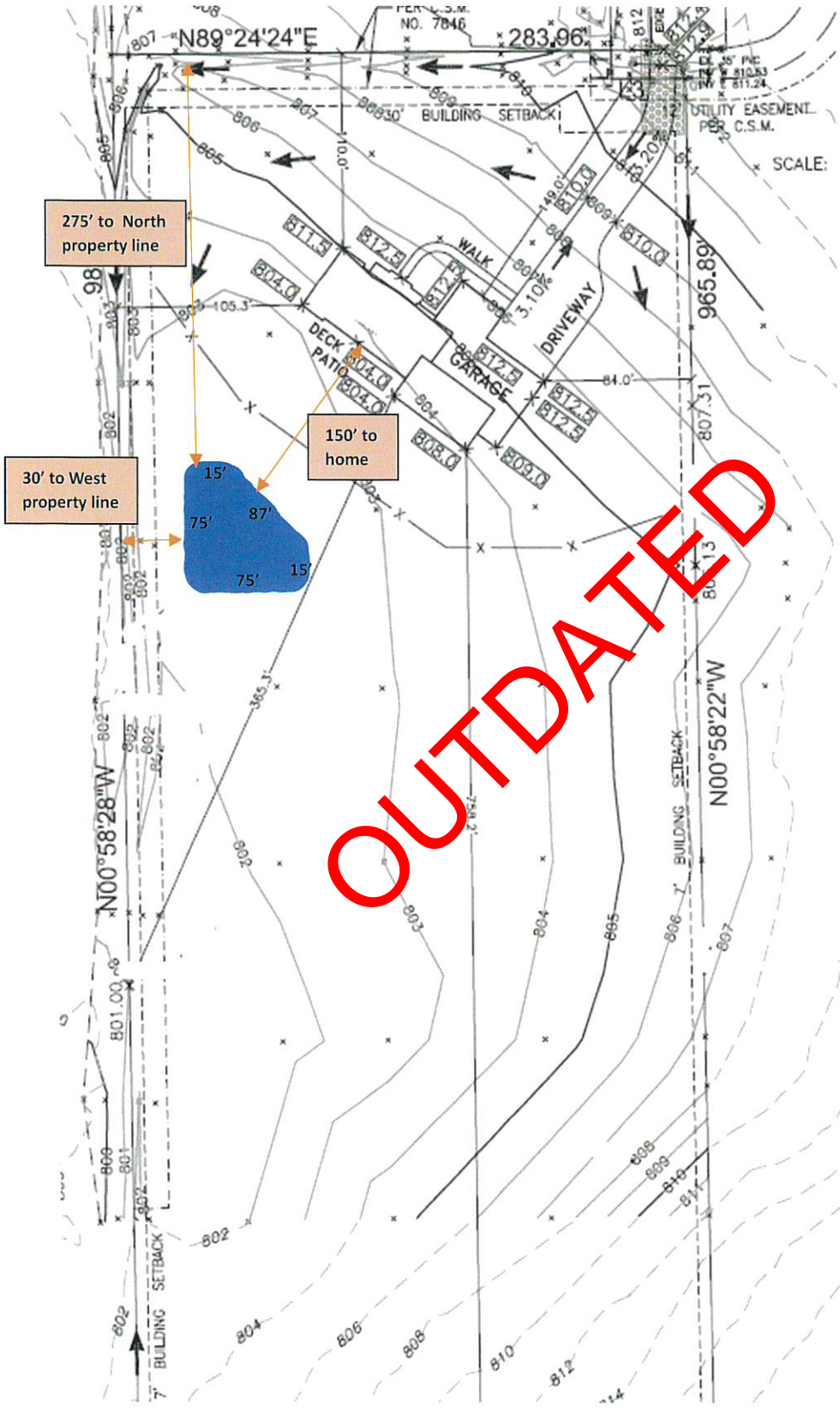
Side Elevation

5' drop in elevation over 37.5' or 1' drop every ~8' to max depth of 5' in center



Embankment Materials & Construction:

Embankment materials will consist of existing earth/soil along with clear stone. Construction will be accomplished through use of skid steer. Water that may fill the pond during construction will be pumped from location to drainage ditch along west edge of property as needed.



Operation and Maintenance:

ORIG-6

Weekly perimeter and water quality checks, removal of debris and growth of unwanted vegetation. Embankment and perimeter will be kept in tact and mowed. Flow into pond will be monitored as well as pond level and biological growth. Sediment will be removed as needed. Excess water will be directed to drainage ditch. Will work with local pond contractor for annual maintenance.

Parcel Profile Report for 00605660409

Real Estate Property & Tax Information

[Interactive Map](#)

This tax information was compiled on THURSDAY, NOVEMBER 2, 2023

[More Details](#)

Mailing Address:
**FLEES, BRANDON
 FLEES, KELLY
 3679 EMERALD CROWN PARKWAY
 NEENAH WI 54956**

Owner(s):
**FLEES, BRANDON
 FLEES, KELLY**

Tax Parcel Number:
00605660409

Tax District:
006-TOWN OF CLAYTON

Acres:
7.34

School District:
3892-NEENAH JOINT SCHOOL DISTRICT

[Interactive Map](#)

Assessed Values

[More Assessment Details](#)

Land:
 \$36,000

Improvements:
 \$140,500

Total:
 \$207,000

Legal Property Description (for a complete legal description, see recorded document):
**8375 WHISPERING MEADOWS DR LARSEN WI 54947
 PT SE NW DESC AS LOT 21 OF CSM-7846 7.34 A.**

Document Number:
1872722

Public Land Survey System (PLSS) Information

[Interactive Map](#)

Physical Location(s):
SE 1/4, NW 1/4 of Section 21, T.20N. - R.16E., TOWN OF CLAYTON

General Zoning Information

District:	Description:	Jurisdiction:
R-2	SUBURBAN RESIDENTIAL DISTRICT	TOWN OF CLAYTON

[Interactive Map](#)

Extraterritorial:	Shoreland:
NONE	NONE

[Interactive Map](#)

Navigable Stream and Surface Water Drainage Information

[Interactive Map](#)

Classification:	Source:	Type:	Surface Water Drainage Dist:
NONE			NONE

Airport Zoning and Height Limitation Information

[Interactive Map](#)

Airport:	District(s):	Elevation Range:	Height Limitation(s):	Building Height:
NONE		802 - 824	NONE	

County Floodplain and FEMA Special Flood Harazard Area (SFHA) Information

[Interactive Map](#)

County District:	SFHA Zone:	SFHA Zone Type:	FIRM Panel:	Map Effective Date:
NONE	ZONE X	OUTSIDE FLOODPLAIN	55139C0100E	MARCH 17, 2003
Letter of Map Change (LOMC) Type:	Documents:	Effective Date:		

Wisconsin Wetland Inventory Information

[Interactive Map](#)

Area Code:	Area Description:	Source:
NONE		

ORIG-7



Parcel Profile Report for 00605660409

ORIG-8



Parcel Profile Report for 00605660409

Future Land Use Planning Information		
County Use: AGRICULTURAL AND RURAL	Municipal Planning Authority: TOWN OF CLAYTON	Municipal Use: AGRICULTURE/RURAL RESIDENTIAL

Elevation Information (NAVD88, US Survey Feet) Interactive Map		
Range: 802 - 824	Elevation Change: 22	Average: 813

Soil Survey Information Interactive Map			
Symbol:	Name:	Drainage Class:	Farmland Class: Hydrologic Group:
CeB	Casco loam, 2 to 6 percent slopes	Somewhat excessively drained	III B
CeC2	Casco loam, 6 to 12 percent slopes, eroded	Somewhat excessively drained	IV B
FsB	Fox silt loam, 2 to 6 percent slopes	Well drained	II B
FsC2	Fox silt loam, 6 to 12 percent slopes, eroded	Well drained	III B
KyA	Korobago silt loam, 0 to 3 percent slopes	Somewhat poorly drained	II C/D
MtA	Mosel silt loam, 0 to 3 percent slopes	Somewhat poorly drained	II C/D
We	Wauseon silt loam	Very poorly drained	III C/D

Election Information		
Type: WINNEBAGO COUNTY BOARD OF SUPERVISORS	District: 36	Voting Ward: 8
Supervisor: <u>HOWARD MILLER</u>	Polling Place: CLAYTON MUNICIPAL BUILDING 8348 COUNTY RD. T	

2010 United States Census Bureau Information			
State and County FIPS code(s): 55 139	Tract: 002300	Block: 1076	Total Population: 118

Historical Photography Information	
Flight Year:	File Name:
1941	<u>AIW-2B-56-41.tif</u>
1957	<u>AIW-1T-133-57.tif</u>
1975	<u>2016-75.tif</u>
1981	<u>H-3-81.tif</u>

Special Casing Area Requirements for Arsenic Information Casing Map	
Special well casing depth area for Winnebago County - effective October 1, 2004	More Details

ORIG-9



This report was created for use by the Winnebago County Geographic Information System project. Any other use/application of this information is the responsibility of the user and such use/application is at their own risk. Winnebago County disclaims all liability regarding fitness of the information for any use other than Winnebago County business.

Parcel Profile Report for 00605660409

ORIG-10



This report was created for use by the Winnebago County Geographic Information System project. Any other use/application of this information is the responsibility of the user and such use/application is at their own risk. Winnebago County disclaims all liability regarding fitness of the information for any use other than Winnebago County business.

Conditional Use – Pond Request

8375 Whispering Meadows Drive, Larsen WI 54947

Revised Pond Documentation 11-16-2023

Purpose Statement:

The intended purpose of this pond is to direct and retain stormwater that is currently accumulating on along the West side of the property in order to avoid large pooling and potential damage to the home. Photos below are from the last three rainstorms.

10-14-23



10-24-23

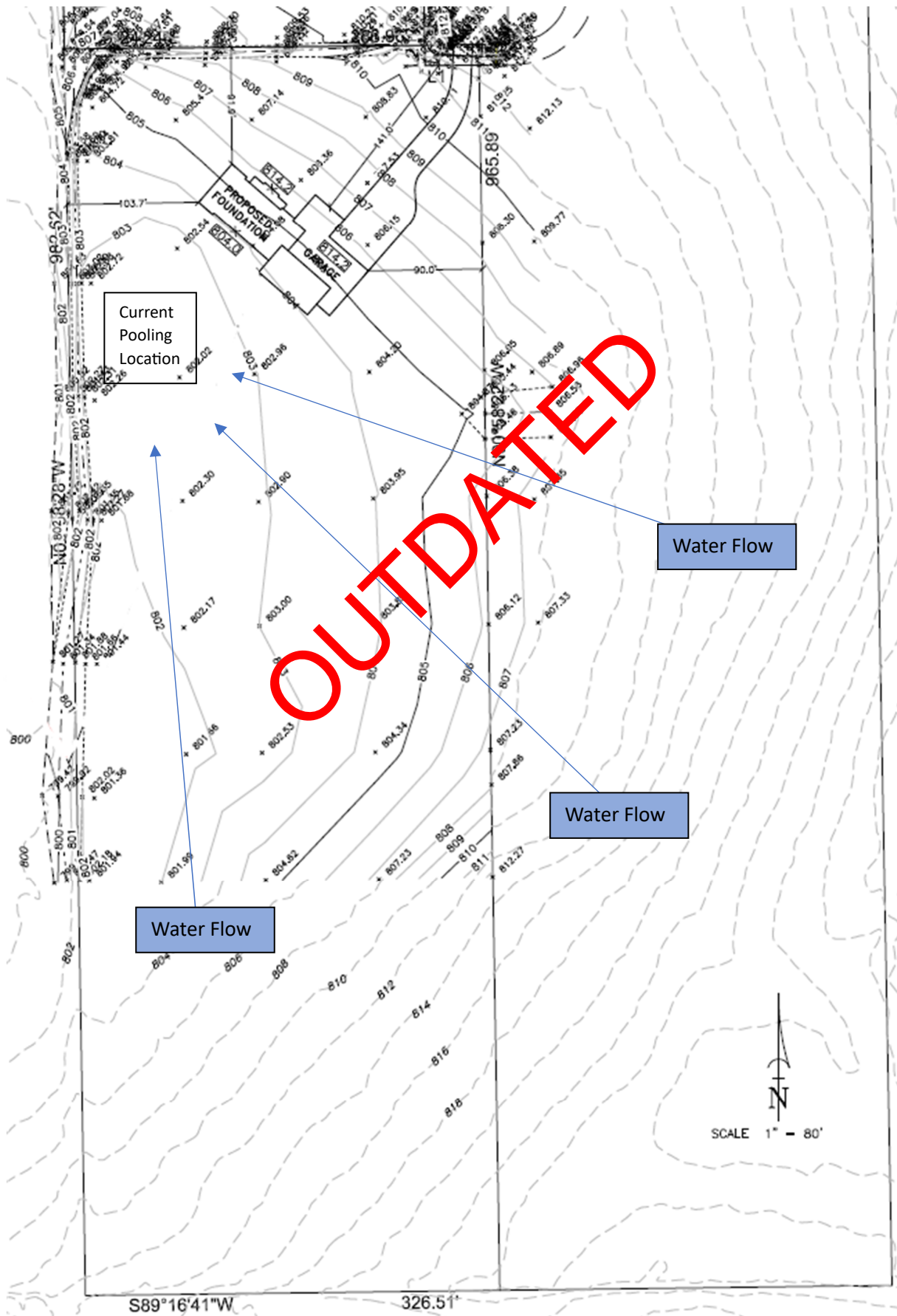


11-8-23



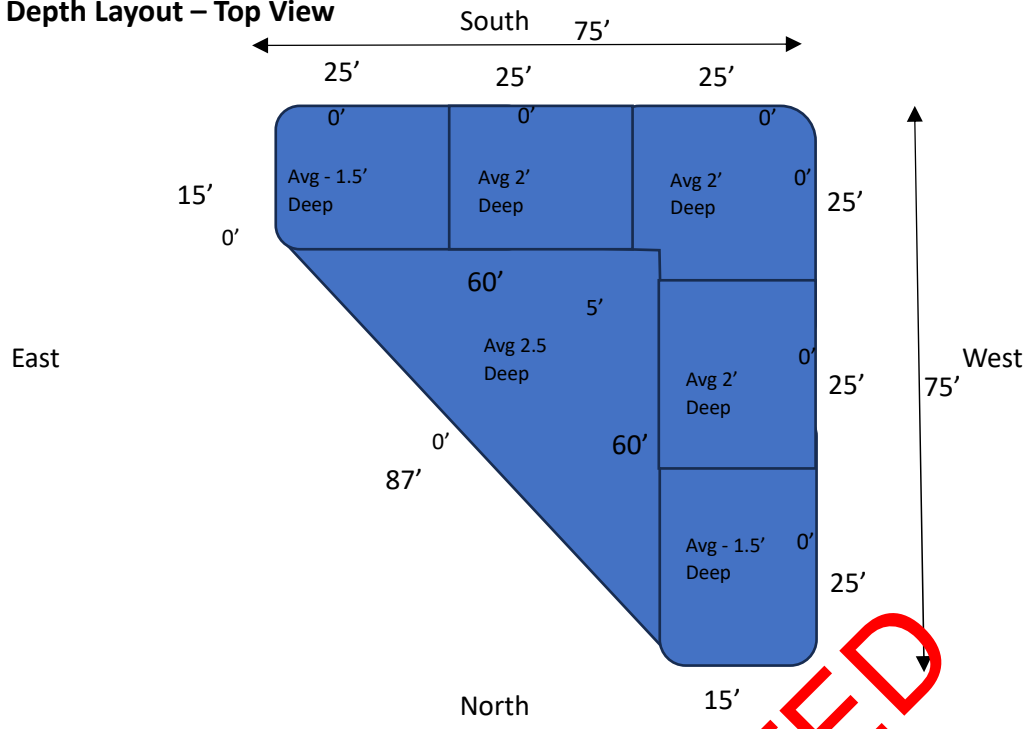
Site Topography:

Item C.



R-2

Pond Depth Layout – Top View



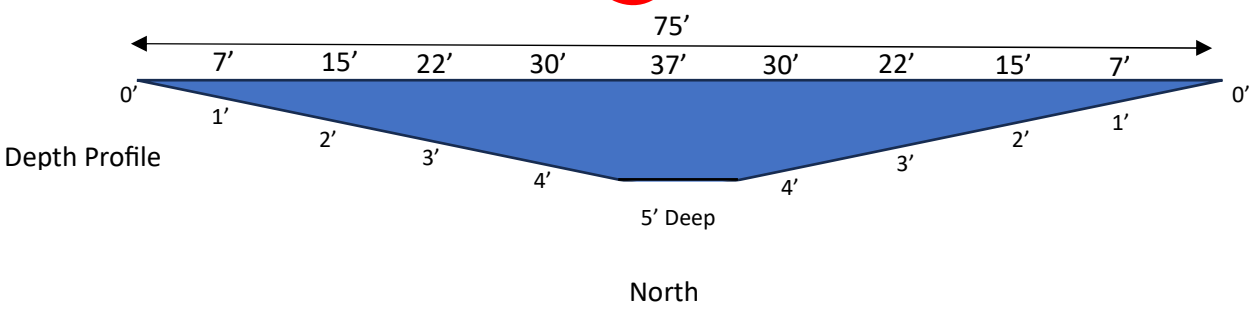
Volume Calculations (each section's depth is the average depth)

$$(15 \times 25 \times 1.5) + (15 \times 25 \times 2) + (15 \times 25 \times 2) + (15 \times 25 \times 2) + (15 \times 25 \times 1.5) + (60 \times 60 \times 2.5) / 2 = 7,876 \text{ ft}^3 \text{ or } 292 \text{ yards}^3$$

$$\text{Area} = (75 \times 15) + (60 \times 15) + (60 \times 60) / 2 = 3,825 \text{ ft}^2$$

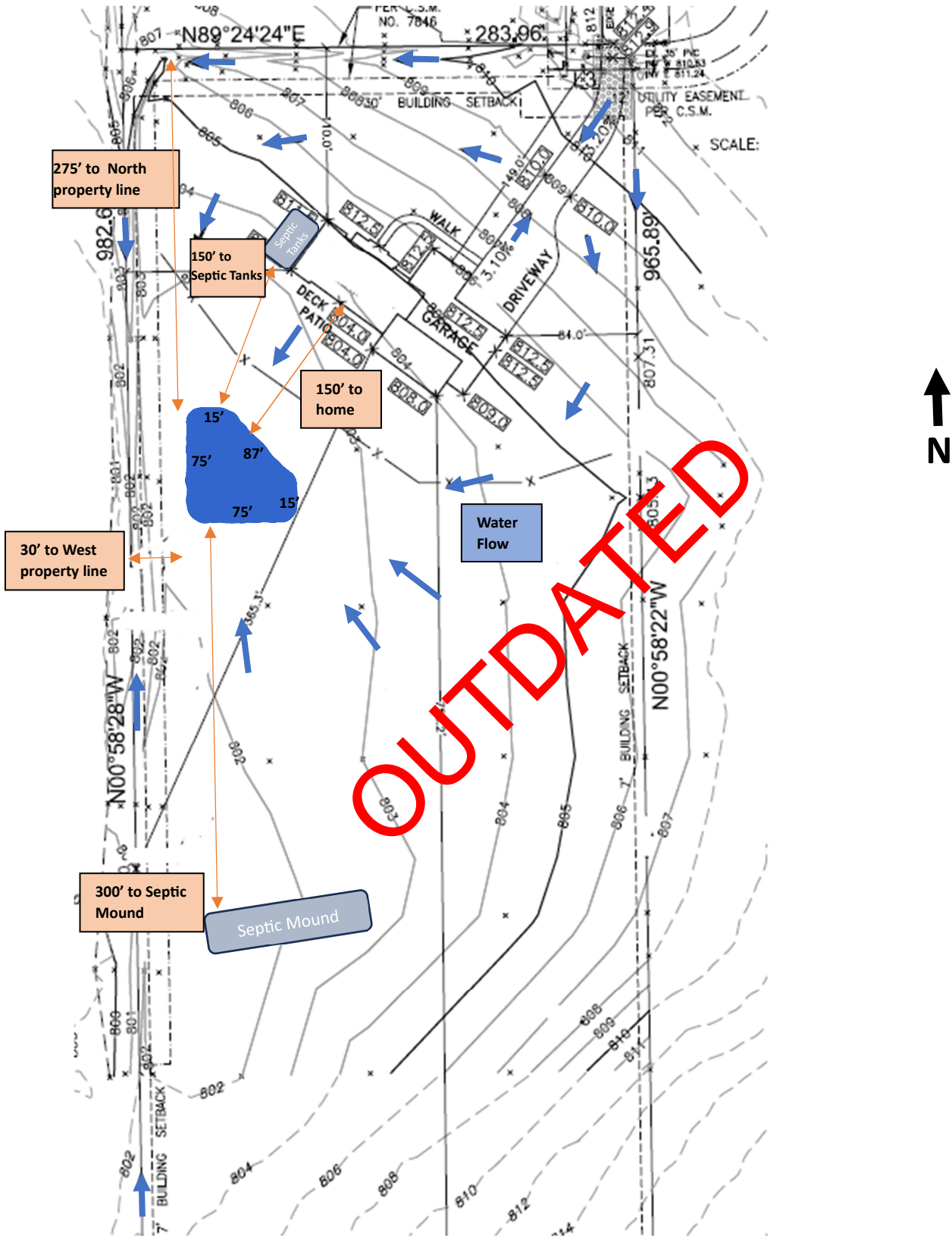
Side Elevation

Slope of pond - 5' drop in elevation over 37.5' or 1' drop every ~8' to max depth of 5' in center



Bank Materials & Construction:

Bank materials will consist of existing earth/soil along with clear stone and vegetation. There will be no above grade embankment to allow storm water to run into collection pond. Construction will be accomplished through use of skid steer. Water that may fill the pond during construction will be pumped from location to drainage ditch along west edge of property as needed.



Operation and Maintenance:

Weekly perimeter and water quality checks, removal of debris and growth of unwanted vegetation. Embankment and perimeter will be kept in tact and mowed. Flow into pond will be monitored as well as pond level and biological growth. Sediment will be removed as needed. Excess water will be directed to drainage ditch. Will work with local pond contractor for annual maintenance.

TOWN OF CLAYTON ORDINANCE 2022-002

AN ORDINANCE REPEALING ORDINANCE 2014-003 AND RECREATING ORDINANCE 2022-002 ESTABLISHING REQUIREMENTS FOR THE CREATION AND MAINTENANCE OF ARTIFICIAL PONDS, DITCHES AND DIKES IN THE TOWN OF CLAYTON

WHEREAS, The Town Board For the Town of Clayton, County of Winnebago, State of Wisconsin, has Enacted a Town Ordinance Establishing Requirements for the Creation and Maintenance of Artificial Ponds, Ditches and Dikes in the Town of Clayton; and

WHEREAS, The Town Board For the Town of Clayton, County of Winnebago, State of Wisconsin, has enacted a Zoning Code of Ordinances for the Town of Clayton; and

WHEREAS, The Town Board for the Town of Clayton, County of Winnebago, State of Wisconsin, understands that the Town Ordinance Establishing Requirements for the Creation and Maintenance of Artificial Ponds, Ditches and Dikes in the Town of Clayton is in conflict with the Town's Zoning Code of Ordinances; and

WHEREAS, The Town Board for the Town of Clayton, County of Winnebago, State of Wisconsin, believes that any Ordinance adopted by the Town Board should not conflict with any other Ordinance adopted by the Town Board; and

WHEREAS, The Town Board for the Town of Clayton, County of Winnebago, State of Wisconsin, wishes to amend the Town's Ordinance Establishing Requirements for the Creation and Maintenance of Artificial Ponds, Ditches and Dikes in the Town of Clayton so as to eliminate any conflict with the Town's Zoning Code of Ordinances; and:

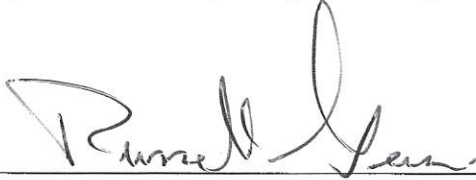
WHEREAS, The Town Board for the Town of Clayton, County of Winnebago, State of Wisconsin, has prepared Attachment A to this document amending the Town's Ordinance Establishing Requirements for the Creation and Maintenance of Artificial Ponds, Ditches and Dikes in the Town of Clayton so as to eliminate any conflict with the Town's Zoning Code of Ordinances; and

NOW, THEREFORE BE IT ORDAINED THAT, the Town Board of the Town of Clayton, County of Winnebago, State of Wisconsin, does hereby rescind the Town's Ordinance establishing Requirements for the Creation and Maintenance of

Artificial Ponds, Ditches and Dikes in the Town of Clayton and does recreate the Town's Ordinance Establishing Requirements for the Creation and Maintenance of Artificial Ponds, Ditches and Dikes in the Town of Clayton as shown on Attachment A of this document.

Vote: Yes: 5 No: 0

Adopted this 20th, day of April, 2022 by the Town Board of the Town of Clayton



Russell Geise, Chair

ATTEST:



Kelsey Faust-Kubale, Clerk

Attachment A to Ordinance 2022-002

AN ORDINANCE ESTABLISHING REQUIREMENTS FOR THE CREATION AND MAINTENANCE OF ARTIFICIAL PONDS, DITCHES AND DIKES IN THE TOWN OF CLAYTON

Amended this 20th, day of April, 2022 by the Town Board of the Town of Clayton

SECTION 1. INTRODUCTION:

1. Authority:

This ordinance is adopted pursuant to authority conferred by Chapter 60, Wis. Stats.

SECTION 2. DEFINITIONS:

1. Artificial Pond:

An impoundment of water excavated by creating a depression in the ground that accumulates diffused surface water or groundwater or an impoundment of water created by diking banks on the ground that accumulates diffused surface water or groundwater. Artificial ponds shall not include any navigable lake, stream or impoundment under the jurisdiction of the Wisconsin Department of Natural Resources pursuant to Chapter 30, Wis. Stats.

2. Artificial Ditch:

A watercourse with a definite channel and banks created by excavating a ditch or diking banks. Artificial ditch shall not include any navigable lake, stream or impoundment under the jurisdiction of the Wisconsin Department of Natural Resources pursuant to Chapter 30, Wis. Stats.

3. Artificial Dike:

A waterbody or watercourse created by constructing an embankment through some combination of excavating, dredging or depositing fill which results in the retention or detention of water.

4. Enlargement:

Any increases in the surface area or depth of an artificial pond, ditch or dike, or any extension or increase in the cross section of an artificial ditch or dike.

5. Maintenance:

Affirmative actions to maintain water quantity and quality including but not limited to algae control through chemical or mechanical means, removal of silt, aeration, bank stabilization, weed control and the like.

6. Garden Pond:

A manmade body of water with an area of less than 100 square feet of water not needed for stormwater management purposes.

SECTION 3. APPLICABILITY OF REGULATIONS:

- 1. This ordinance shall not apply to any pond, ditch or dike approved by the Town in connection with a required drainage plan and drainage improvements for a land division, subdivision, or site plan, or any pond, ditch or dike approved by any federal, state or county agency in connection with agricultural use.
- 2. Except as provided in subparagraph 1, no artificial pond, ditch or dike shall hereafter be created, enlarged or extended except in conformity with the regulations and requirements of this ordinance. Existing ponds shall not be subject to these regulations unless enlarged as defined in Section 2.
- 3. This ordinance shall not apply to Garden Ponds as defined in Section 2.

SECTION 4. GENERAL REQUIREMENTS:

1. Setbacks:

- a. No part of an artificial pond or dike, including the embankment for the retention of water, shall be created or enlarged within 25 feet of a property line or habitable building or within 50 feet of a public right-of-way or on-site sewage system.
- b. No part of an artificial pond or dike, including the embankment for the retention of water, with an embankment height of 36 inches or more above grade shall be created or enlarged within 50 feet of a property line or habitable building or on-site sewage system or within 50 feet of a public right-of-way.

2. Slopes:

No artificial pond or dike shall be created, enlarged or extended with bottom slopes greater than 3 to 1. The embankment side slope above to the water surface shall provide a 4 to 1 slope to the shelf of the pond.

3. Safety Shelf:

Ponds shall have a safety shelf based on the water surface area of the pond. Ponds from 1,000 square feet to 3,600 square feet shall have a minimum shelf of five feet not less than 12 inches below the ordinary high water mark. Ponds greater than 3,600 square feet shall have a minimum shelf of 10 feet not less than 12 inches below the ordinary high water mark.

4. Artificial Ponds or Dikes Over 10,000 Cubic Feet:

The creation or enlargement of any artificial pond or dike resulting in greater than 10,000 cubic feet of water capacity shall require plans prepared by a State of Wisconsin licensed civil engineer. The plans shall address seepage, liners, landscaping, subsidence, embankment strength, surface water drainage in the pool area, erosion control and be certified by the engineer.

5. Diversion of Water onto Adjacent Lands Prohibited:

No artificial pond, ditch or dike shall be created or maintained such that water is diverted onto or set back upon adjacent properties through seepage or overflow.

6. Landscaping:

The perimeter of any artificial pond or dike shall be landscaped and seeded within 30 days after completion of excavation, within the active growing season. The full cross section of any artificial ditch shall be seeded within 30 days after completion of excavation, within the active growing season.

7. Swimming:

Ponds used for swimming shall comply with the Town of Clayton Swimming Pool Ordinance.

8. Embankment:

All embankments must be constructed of quality earthen material that does not include deleterious material including, but not limited to, muck, stumps, debris, compost or other material that is structurally unsound and prone to failure. The applicant is encouraged to retain a geotechnical engineer to evaluate proposed embankment materials. The applicant is to research whether a Dam permit, as regulated by the Wisconsin Department of Natural Resources through Chapter NR 333 or State Statute Chapter 31, is required.

SECTION 5. ADMINISTRATION:**1. Permits:**

No artificial pond, ditch or dike requiring a Condition Use Permit may hereafter be created, enlarged or extended without a permit obtained from the Town Board of the Town of Clayton. Winnebago County may also require a conditional use permit.

2. Permit Submittals:

Application for a permit shall be made in writing and shall include the following information.

- a. Name and address of property owner.
- b. A statement about the purpose of the artificial pond, ditch or dike.
- c. Site topography with one-foot contour intervals and the direction and flow of the surface water on the site.
- d. Cross sections of the pond, ditch or dike every 25 feet showing the embankment, channel and depth along with the estimated volume and flow of water in cubic feet per second for a 25 year return rainfall for a watercourse.
- e. Embankment materials and methods of construction including erosion and sedimentation control.

f. A site plan of the property drawn to scale showing the exact location, size and dimensions of the artificial pond, ditch or dike and the location of any buildings, right of way, easements (drainage, utility, access, etc.) and on-site sewage disposal systems on the subject property and adjacent properties with distances between the artificial pond, ditch or dike and right-of-way lines, property lines and buildings. For artificial ponds and dikes over 10,000 cubic feet, a certification by a State of Wisconsin civil engineer is required.

g. Determination of navigability for any watercourse or waterbody, and location of any wetland within 300 feet of the proposed pond, ditch or dike. For wetlands adjacent to the proposed construction area, a delineation is required.

h. Operation and Maintenance measures for water quantity and quality.

i. Received permits as needed from other County, State or Federal agencies or utility companies.

3. Permit Approvals:

The Town Board may approve, conditionally approve or deny a permit. The Town Board shall take action to approve, conditionally approve or deny the application within 60 days of submittal and shall state in writing any condition of approval or reasons for denial. No public notice or hearing is required but the Town Board action shall be taken in public session as part of a previously prepared agenda.

4. Permit Application Review Fee:

A permit application fee shall be paid for all ponds to the Town Clerk at the time of permit application submittal. A permit granted after work has begun will double the base permit (see the Fee Schedule for Permit costs).

5. Violations:

It shall be a violation of this ordinance to create, enlarge, or extend Any artificial pond, ditch or dike without a permit. It shall be a violation of this ordinance to maintain an artificial pond, ditch or dike such that water is diverted onto or set upon adjacent properties through seepage or overflow.

6. Remedies:

Compliance with the provisions of this ordinance may be enforced by appropriate fines and penalties or by suit by the Town.

7. Penalties:

Any person who violates any provision of this ordinance or any order issued hereunder shall, upon conviction, forfeit not more than two hundred dollars (\$200.00) together with the cost of prosecution. Each day that a violation exists shall constitute a separate offense.

8. Appeals:

Any person aggrieved by a decision of the Town Board may, within 30 days after the decision commence an action seeking the remedy available in Article 7 of the Town Zoning Code of Ordinances.

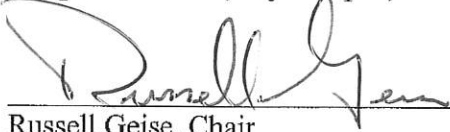
9. Severability:

It is declared to be the legislative intent that should any provision or part of this ordinance be declared invalid by a court of competent jurisdiction, such decision shall not affect the validity of this ordinance in its entirety or any part thereof, other than that so declared to be invalid.

10. Effective Date:


This ordinance shall be effective after adoption by the Town Board of Supervisors of the Town of Clayton and after publication.

Adopted this 20th, day of April, 2022 by the Town Board of the Town of Clayton



Russell Geise, Chair

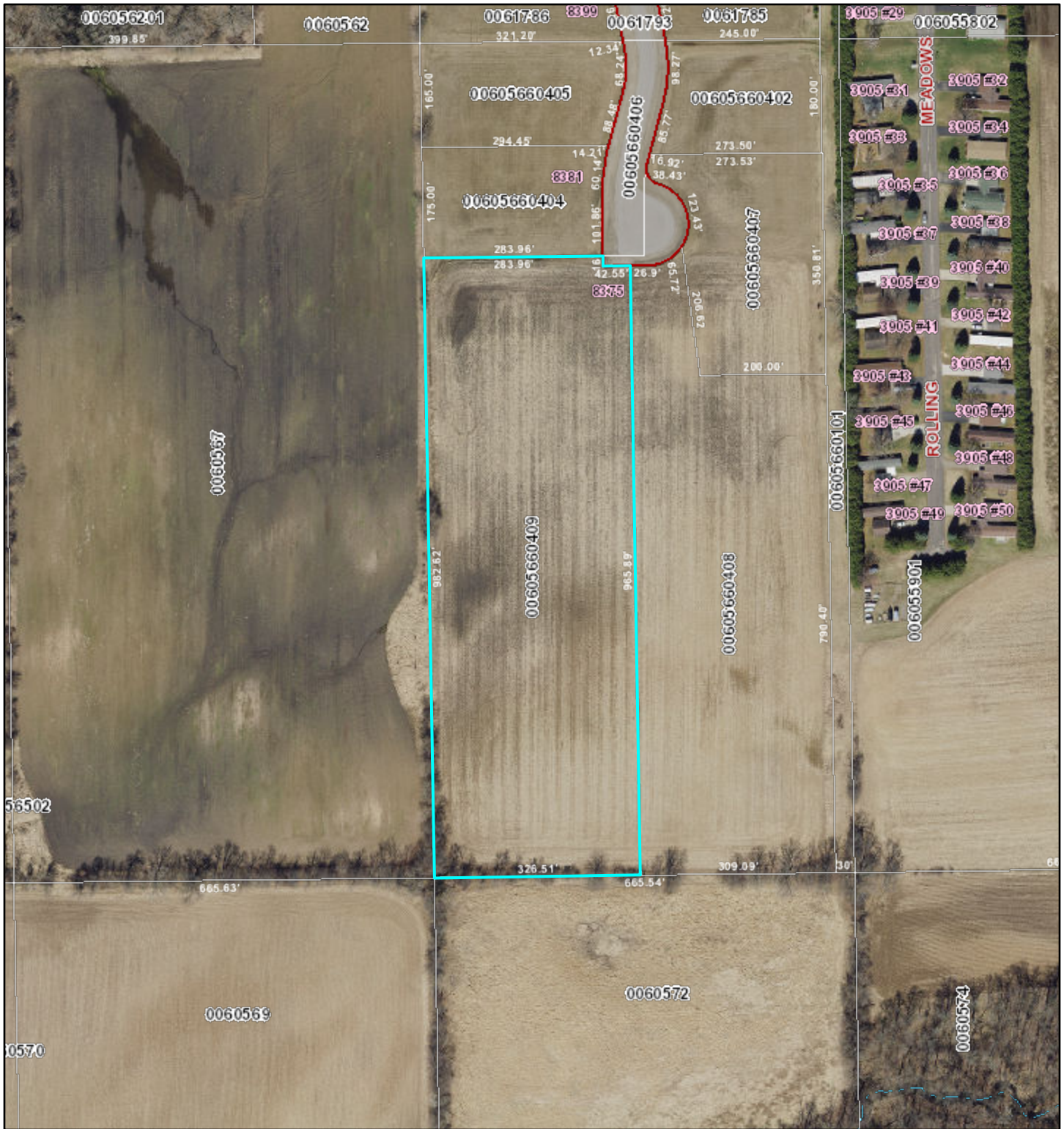
ATTEST:



Kelsey Faust-Kubale, Clerk

Flees Pond CUP - Aerial Map 1

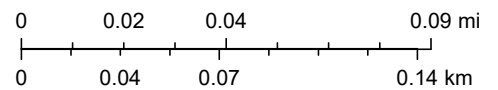
Item C.



11/28/2023, 12:48:39 PM

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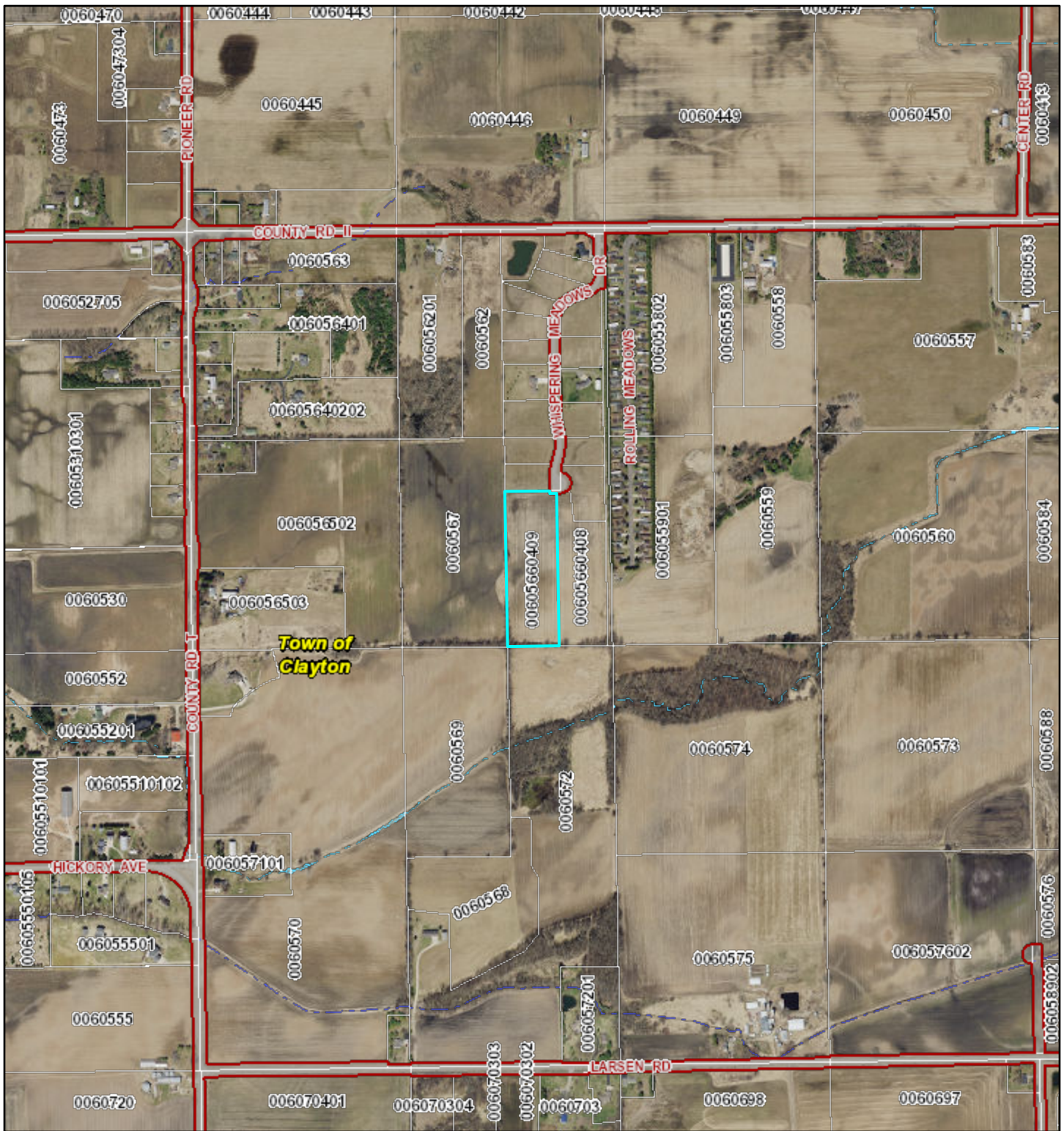
- Adjacent Counties
- Lakes, Ponds and Rivers
- Navigable Waterways**
- Navigable - Permanent (unchecked)
- Navigable - Intermittent (unchecked)
- Navigable - Stream (unchecked)
- Navigable - Permanent (checked)
- Navigable - Intermittent (checked)
- Navigable - Stream (checked)
- Tax Parcel Boundary
- Road ROW
- Municipal Boundary



Winnebago County GIS, Imagery Date: April 2020











Flees Pond CUP - Aerial Map 2

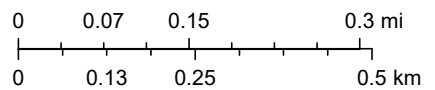
Item C.



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- | | |
|---|--|
|  Adjacent Counties |  Navigable - Permanent (checked) |
|  Lakes, Ponds and Rivers |  Navigable - Intermittent (checked) |
| Navigable Waterways | |
|  Navigable - Permanent (unchecked) |  Tax Parcel Boundary |
|  Navigable - Intermittent (unchecked) |  Road ROW |
|  Navigable - Stream (unchecked) |  Municipal Boundary |



Winnebago County GIS, Imagery Date: April 2020

Flees Pond CUP - Town Zoning Map

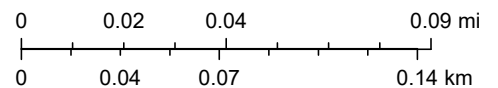
Item C.



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1:2,673

- | District Code / Description | |
|-------------------------------|--------------------------------------|
| A-1 - Agribusiness | R-8 - Manufactured Housing Community |
| A-2 - General Agriculture | PDD - Planned Development |
| R-1 - Rural Residential | B-1 - Local Service Business |
| R-2 - Suburban Residential | B-2 - Community Business |
| R-3 - Two-Family Residential | B-3 - General Business |
| R-4 - Multifamily Residential | P-I - Public Institutional |
| | I-1 - Light Industrial |



Winnebago County GIS, Imagery Date: April 2020