



PLAN COMMISSION AMENDED

Wednesday, October 08, 2025 – 6:30 PM

Town Hall Meeting Room, 8348 Hickory Ave, Larsen, WI 54947

AGENDA

CALL TO ORDER

- A. Pledge of Allegiance
- B. Verification of Notice
- C. Meeting Roll

PUBLIC HEARING(S) AND/OR PUBLIC INFORMATION MEETINGS

- A. Plan Commission Public Hearing on an amendment to the Future Land Use Map of the Town of Clayton Comprehensive Plan 2040 submitted by Vierbicher on behalf of the Town of Clayton in the area immediately South of US Hwy 10 between Clayton Ave and Fairview Rd, being Tax ID #006-0347-01; Tax ID #006-0344; Tax ID #006-0345; and Tax ID #006-0339-06.
- B. Plan Commission Public Hearing on a Re-zoning Application submitted by Vierbicher on behalf of the Town of Clayton to re-zone Tax ID #006-0347-01; Tax ID #006-0344; Tax ID #006-0345; and Tax ID #006-0339-06 (immediately South of US Hwy 10 between Clayton Ave and Fairview Rd).

APPROVAL OF MINUTES

- A. Approval of the Minutes of the Wednesday, September 10, 2025 Plan Commission Meeting

OPEN FORUM – Public comments addressed to the Plan Commission

Individuals properly signed in may speak directly to the Plan Commission on non-repetitive Planning and Zoning matters whether on or not on the agenda. Commentators must wait to be called, must speak from the podium, directing their comments to the Commission. Comments must be orderly, and will be limited to a maximum of **2 minutes** per person. **Public comment is not permitted outside of this public comment period. Note:** The Commission's ability to act on or respond to the public comments is limited by Chapter 19, Wis. Stats. Please complete the "Request to Speak at Meeting" form located on the agenda/sign-in table and submit the form to the Town Clerk for in-person attendance.

CORRESPONDENCE

- A. Distribution of the September 2025 Building Inspection Report

DISCUSSION ITEMS (NO ACTION WILL BE TAKEN)

- A. Administrator's Report

BUSINESS

- A. Review/Recommendation: Plan Commission review & recommendation on an amendment to the Future Land Use Map of the Town of Clayton Comprehensive Plan 2040 submitted by Vierbicher on behalf of the Town of Clayton in the area immediately South of US Hwy 10 between Clayton Ave and Fairview Rd, being

Tax ID #006-0347-01; Tax ID #006-0344; Tax ID #006-0345; and Tax ID #006-0339-06.

- B. Review/Recommendation: Plan Commission review & recommendation on Resolution 2025-002 making a Recommendation to the Town Board of Supervisors regarding a Re-zoning Application submitted by Vierbicher on behalf of the Town of Clayton to re-zone Tax ID #006-0347-01; Tax ID #006-0344; Tax ID #006-0345; and Tax ID #006-0339-06 (immediately South of US Hwy 10 between Clayton Ave and Fairview Rd) from A-2 (General Agriculture District); I-1 (Light Industrial District); and B-3 (General Business District) to R-2 (Suburban Residential District), and R-4 (Multi-family Residential District).
- C. Review/Recommendation: Plan Commission review & recommendation on a Preliminary Plat Review Application submitted by Vierbicher for the division of Tax ID #006-0347-01; Tax ID #006-0344; Tax ID #006-0345; and Tax ID #006-0339-06 into 46 lots and 2 outlots intended for a combination of single-family residential & multi-family residential use.
- D. Review/Recommendation: Plan Commission review & recommendation on a Site Plan Review Application submitted by Excel Engineering Inc on behalf of Spark Development, LLC for a proposed multi-family residential development located on Tax ID #006-0328-02-02 (Eagle Heights Dr).
- E. Review/Recommendation: Plan Commission review & recommendation on a Concept Plan Review Application submitted by Vierbicher on behalf of Vander Heiden Family Limited Partnership for a proposed mixed-use development.

UPCOMING MEETING ATTENDANCE

- A. Plan Commission (6:30 pm start unless otherwise noted) - Nov 12; Dec 10; Jan 14
- B. Town Board (6:30 pm start unless otherwise noted) - Oct 15; Nov 5 & 19; Dec 3 & 17
- C. Town Board Budget Meeting - Oct 21 beginning at 1 pm

ADJOURNMENT

Respectfully submitted,

Dick Knapinski
Plan Commission Chair

Pursuant to Wisconsin Statute 19.84 (2) and (3) notice is hereby given to the public and the media that two or more members of any or all Boards, Commissions, and Committees of the Town of Clayton, may attend the meeting of the Plan Commission in order to gather information. For purposes of the Open Meetings Law only; attendance at a meeting by a quorum of members of the Town Boards, Commissions, and Committees constitutes a meeting of the Board, Commission, or Committee, pursuant to Badke Vs. Village Board of Village of Greendale, 173 Wis2d 553, 494 NW2d 408 (1993), and must be noticed as such, although it is not contemplated that any formal action by those bodies will be taken. The only business to be conducted is for Plan Commission action.

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, please call the Town Office at 920.836.2007.

This agenda has been posted at the following locations in the Town of Clayton:

1. The Town Hall Posting Board – 8348 Hickory Ave, Larsen, WI 54947
2. The Town's Web Page: --

**TOWN OF CLAYTON
NOTICE OF PUBLIC HEARING**

Notice is hereby given the Plan Commission of the Town of Clayton will hold a Public Hearing at 6:30 pm on Wednesday, October 8, 2025 in the Town Hall Meeting Room located at 8348 Hickory Ave, Larsen, WI 54947. The purpose of the Public Hearing is to receive public comment regarding the following Comprehensive Plan Amendment Application:

THE PETITIONER(S): Vierbicher on behalf of the Town of Clayton requests an amendment to the Future Land Use Map of the Town of Clayton Comprehensive Plan 2040 in the area immediately South of US Hwy 10 between Clayton Ave and Fairview Rd, being Tax ID #006-0347-01; Tax ID #006-0344; Tax ID #006-0345; and Tax ID #006-0339-06. The request is to amend the Future Land Use Map from 28.33 acres of Business Park use to approximately 16.78 acres Residential - Single and Duplex, approximately 8.45 acres Conservation and Green Space, and approximately 3.10 acres Medium and High Density Residential.

Copies of the Comprehensive Plan Amendment Application are available at the Town Hall or by contacting the Town Clerk at (920) 836-2007. The Plan Commission will take action and make a recommendation to the Town Board on October 8, 2025, after the Public Hearing. The Town Board will consider the Amendment at its regularly scheduled meeting at 6:30 pm on Wednesday, October 15, 2025. All interested parties and any objections to this request being granted will be heard at the Public Hearing. If you cannot attend the Public Hearing, you may submit written comments to the Town Clerk before 4:00 pm on the date of the Public Hearing.

Dated this 4th day of September, 2025
By: Kelsey Faust-Kubale, Clerk

Publish on Monday, September 8, 2025

Post on or before September 8, 2025

**TOWN OF CLAYTON
NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Plan Commission of the Town of Clayton will hold a Public Hearing at 6:30 PM on Wednesday, October 8, 2025, in the Town Hall Meeting Room located at 8348 Hickory Ave, Larsen, WI 54947. The purpose of the Public Hearing is to receive public comment regarding the following Re-zoning Application:

THE PETITIONER(s): Vierbicher on behalf of the Town of Clayton requests approval to re-zone Tax ID #006-0347-01; Tax ID #006-0344; Tax ID #006-0345; and Tax ID #006-0339-06 (immediately South of US Hwy 10 between Clayton Ave and Fairview Rd). The application is to re-zone the approximately 28.33 acres of the listed parcels from A-2 (General Agriculture District); I-1 (Light Industrial District); and B-3 (General Business District) to approximately 24.09 acres R-2 (Suburban Residential District), and approximately 4.29 acres R-4 (Multi-family Residential District).

Copies of the Re-zoning Application are available at the Town Hall, or by contacting the Town Clerk at (920) 836-2007. The Plan Commission will take action and make a recommendation to the Town Board on October 8, 2025, after the Public Hearing. The Town Board will consider the application at its regularly scheduled meeting at 6:30 pm on Wednesday, October 15, 2025. All interested parties and any objections to this request being granted will be heard at the Public Hearing. If you cannot attend the Public Hearing, you may submit written comments to the Town Clerk before 4:00 pm on the date of the Public Hearing.

Dated this 19th day of September, 2025
By: Kelsey Faust-Kubale, Clerk

Publish on Wednesday, September 24, 2025
and
Wednesday, October 1, 2025

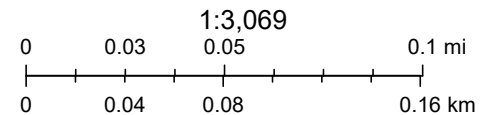
Post on or before September 24, 2025

ReZone Application - Vierbicher 1

Item B.



8/18/2025, 12:50:48 PM



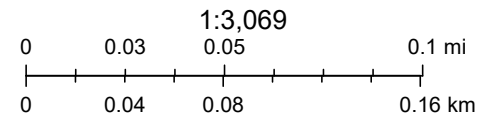
Winnebago County GIS, Nearmap, Imagery Date: April 2020

ReZone Application - Vierbicher 2

Item B.



8/18/2025, 12:51:13 PM



Winnebago County GIS, Nearmap, Imagery Date: April 2020



PLAN COMMISSION

Wednesday, September 10, 2025 – 6:30 PM

Item A.

Town Hall Meeting Room, 8348 Hickory Ave, Larsen, WI 54947

MINUTES

CALL TO ORDER – Chair Knapinski called the meeting to order at 6:30 pm

- A. Pledge of Allegiance
- B. Verification of Notice
- C. Meeting Roll

PRESENT

Chair Knapinski
Commissioner Haskell
Commissioner Nemecek
Commissioner Haase
Commissioner Hopkins

EXCUSED

Commissioner Ketter
Town Board Rep. Christianson

STAFF

Administrator Wisnefske
Clerk Faust-Kubale
Planner Jaworski
Code Administrator Kamke

APPROVAL OF MINUTES

- A. Approval of the Minutes of the Wednesday, August 13, 2025 Plan Commission Meeting

MOTION

Motion made by Commissioner Nemecek, **Seconded** by Commissioner Haase to approve the Minutes of the Wednesday, August 13, 2025 Plan Commission Meeting as presented.

Voting Yea: Chair Knapinski, Commissioner Haskell, Commissioner Nemecek, Commissioner Haase, Commissioner Hopkins

Motion carried 5-0.

OPEN FORUM – Public comments addressed to the Plan Commission

Mark Lesperance, 3373 Winnegamie Dr, Neenah WI 54956, spoke regarding flooding of his property he felt was caused by a neighboring property.

CORRESPONDENCE

- A. Distribution of the August 2025 Building Inspection Report

DISCUSSION ITEMS (NO ACTION WILL BE TAKEN)

- A. Administrator's Report

BUSINESS

- A. Review/Discussion: Plan Commission review & discussion on the potential impact to the Future Land Use Map of the Town of Clayton Comprehensive Plan 2040 and the Highway 10 Corridor with respect to possible new development projects.

DISCUSSION ITEM ONLY - NO ACTION TAKEN

UPCOMING MEETING ATTENDANCE

- A. Plan Commission (6:30 pm start unless otherwise noted) - Oct 8; Nov 12; Dec 10
- B. Town Board (6:30 pm start unless otherwise noted) - Sept 17; Oct 1 & 15; Nov 5 & 19

ADJOURNMENT

MOTION

Motion made by Commissioner Haskell, **Seconded** by Commissioner Nemecek to adjourn at 7:34 pm.

Voting Yea: Chair Knapinski, Commissioner Haskell, Commissioner Nemecek, Commissioner Haase, Commissioner Hopkins

Motion carried 5-0.

Respectfully submitted,

Kelsey Faust-Kubale
Town Clerk

INTERMUNICIPAL REPORT SEPTEMBER 2025 PERMITTING

DATE	PERMIT #	OWNER	ADDRESS	DESCRIPTION	CONTRACTOR	EST. PROJECT COST	PERMIT FEE	BLDING INSPECTOR FEE
TOWN OF CLAYTON PERMITS:								
9/8/2025	269-25-9B	PATRICK JENKINS	9353 BROAD MEADOWS	NSFD	PORTSIDE BUILDERS	\$ 465,000.00	\$ 1,233.90	\$ 987.12
9/8/2025	270-25-9E	PATRICK JENKINS	9353 BROAD MEADOWS	NSFD ELECT	SCHOMMER ELECT	\$ 17,750.00	\$ 722.60	\$ 578.08
9/8/2025	271-25-9H	PATRICK JENKINS	9353 BROAD MEADOWS	NSFD HVAC	KP HVAC	\$ 26,552.00	\$ 722.60	\$ 578.08
9/8/2025	272-25-9P	PATRICK JENKINS	9353 BROAD MEADOWS	NSFD PLUMB	HANSEN PLUMB	\$ 27,735.00	\$ 722.60	\$ 578.08
9/10/2025	273-25-9H	ROCKSOILD	8388 ST NORBERT	NSFD HVAC	MATTHEWS HVAC	\$ 10,000.00	\$ 537.00	\$ 429.60
9/10/2025	274-25-9P	ROCKSOILD	8388 ST NORBERT	NSFD PLUMB	INTEGRITY PLUMB	\$ 15,300.00	\$ 537.00	\$ 429.60
9/10/2025	275-25-9B	MCGUIRE PROPERTIES	2690&2692 PRINCETON	NEW DUPLEX	MARCUS MCGUIRE HOMES	\$ 450,000.00	\$ 1,512.75	\$ 1,210.20
9/10/2025	276-25-9B	MCGUIRE PROPERTIES	2657&2659 PRINCETON	NEW DUPLEX	MARCUS MCGUIRE HOMES	\$ 450,000.00	\$ 1,512.75	\$ 1,210.20
9/10/2025	277-25-9B	FRANK WESLEY	7377 MURRAY	REROOF	NICKOLS ROOFING	\$ 15,761.00	\$ 100.00	\$ 80.00
9/11/2025	278-25-9B	BLACK DIAMOND HOLDINGS	8397&8399 ST NORBERT	NEW DUPLEX	MARCUS MCGUIRE HOMES	\$ 450,000.00	\$ 1,458.00	\$ 1,166.40
9/15/2025	279-25-9B	TODD CHESLOCK	3612 ROYAL SIERRA	REROOF	PRESTIGE ROOFING	\$ 31,695.00	\$ 100.00	\$ 80.00
9/15/2025	280-25-9B	TOM KOPCZYK	3614 JADE TREE	REROOF	PRESTIGE ROOFING	\$ 34,800.00	\$ 100.00	\$ 80.00
9/16/2025	281-25-9B	ANGELA COENEN	9351 MEMORY	3-SEASONS ROOM	HOME FIRST INTERIORS	\$ 40,000.00	\$ 228.50	\$ 182.80
9/16/2025	282-25-8E	GE CHANG	9367 BROAD MEADOW	NSFD ELECT	HIPKE ELECT	\$ 33,536.00	\$ 948.30	\$ 758.64
9/16/2025	283-25-9E	GARY CUTLER	8179 CHALLENGER	ADDN ELECT	TWINS ELECT	\$ 8,000.00	\$ 247.50	\$ 198.00
9/16/2025	284-25-9H	GARY CUTLER	8179 CHALLENGER	ADDN HVAC	3RD GOSPEL HVAC	\$ 7,000.00	\$ 247.50	\$ 198.00
9/16/2025	285-25-9P	GARY CUTLER	8179 CHALLENGER	ADDN PLUMB	FOX CITIES PLUMB	\$ 10,000.00	\$ 247.50	\$ 198.00
9/16/2025	286-25-9E	JIM ANDREWS	7382 MURRAY	SERVICE	CUMINGS ELECT	\$ 3,100.00	\$ 150.00	\$ 120.00
9/16/2025	287-25-9E	MARY POWERS	7398 MURRAY	SERVICE	CUMINGS ELECT	\$ 3,100.00	\$ 150.00	\$ 120.00
9/16/2025	288-25-9E	CHARLEEN DAVIS	2924 RIDGEWAY	SERVICE	CR FOCHS	\$ 1,300.00	\$ 150.00	\$ 120.00
9/16/2025	289-25-9E	TRIDENT HOLDINGS	9063 CLAYTON UNIT #1	SOLAR INSTALL	APPLETON SOLAR	\$ 14,655.00	\$ 150.00	\$ 120.00
9/16/2025	290-25-9E	TRIDENT HOLDINGS	9063 CLAYTON UNIT #2	SOLAR INSTALL	APPLETON SOLAR	\$ 14,655.00	\$ 150.00	\$ 120.00
9/17/2025	292-25-9B	STEVE SPENCE	3155 WESTFIELD RIDGE	REROOF	SCHABEL EXTERIORS	\$ 38,542.00	\$ 100.00	\$ 80.00
9/17/2025	293-25-9E	THOMAS PHILLIP	2621 CTY JJ	SERVICE	CUMINGS ELECT	\$ 2,000.00	\$ 150.00	\$ 120.00
9/23/2025	294-25-9P	MCGUIRE PROPERTIES	2690&2692 PRINCETON	NSFD PLUMB	PERFORMANCE PLUMB	\$ 24,000.00	\$ 908.50	\$ 726.80
9/23/2025	295-25-9E	MCGUIRE PROPERTIES	2690&2692 PRINCETON	NSFD ELECT	BLACK-HAAK	\$ 20,000.00	\$ 908.50	\$ 726.80
9/23/2025	296-25-9H	MCGUIRE PROPERTIES	2690&2692 PRINCETON	NSFD HVAC	BLACK-HAAK	\$ 20,000.00	\$ 908.50	\$ 726.80
9/23/2025	297-25-9P	BLACK DIAMOND HOLDINGS	8397&8399 ST NORBERT	NSFD PLUMB	PERFORMANCE PLUMB	\$ 24,000.00	\$ 872.00	\$ 697.60
9/23/2025	298-25-9E	BLACK DIAMOND HOLDINGS	8397&8399 ST NORBERT	NSFD ELECT	BLACK-HAAK	\$ 20,000.00	\$ 872.00	\$ 697.60
9/23/2025	299-25-9H	BLACK DIAMOND HOLDINGS	8397&8399 ST NORBERT	NSFD HVAC	BLACK-HAAK	\$ 20,000.00	\$ 872.00	\$ 697.60
9/23/2025	300-25-9P	MCGUIRE PROPERTIES	2657&2659 PRINCETON	NSFD PLUMB	PERFORMANCE PLUMB	\$ 24,000.00	\$ 908.50	\$ 726.80
9/23/2025	301-25-9E	MCGUIRE PROPERTIES	2657&2659 PRINCETON	NSFD ELECT	BLACK-HAAK	\$ 20,000.00	\$ 908.50	\$ 726.80
9/23/2025	302-25-9H	MCGUIRE PROPERTIES	2657&2659 PRINCETON	NSFD HVAC	BLACK-HAAK	\$ 20,000.00	\$ 908.50	\$ 726.80
9/24/2025	303-25-9B	ARTHUR LADISH	7932 WHITE PETAL	NSFD	ARTHUR LADISH	\$ 969,000.00	\$ 1,459.20	\$ 1,167.36
9/24/2025	304-25-9E	ARTHUR LADISH	7932 WHITE PETAL	NSFD ELECT	BELL ELECT	\$ 41,495.00	\$ 872.80	\$ 698.24
9/24/2025	305-25-9H	ARTHUR LADISH	7932 WHITE PETAL	NSFD HVAC	BREWER HVAC	\$ 64,310.00	\$ 872.80	\$ 698.24
9/24/2025	306-25-9P	ARTHUR LADISH	7932 WHITE PETAL	NSFD PLUMB	SBS PLUMB	\$ 38,800.00	\$ 872.80	\$ 698.24
9/24/2025	307-25-9B	JIM JOHNSON	3628 ROYAL SIERRA	REROOF	PRESTIGE ROOFING	\$ 28,500.00	\$ 100.00	\$ 80.00
9/24/2025	308-25-9B	AMY WEISKOPF	3611 JADE TREE	REROOF	PRESTIGE ROOFING	\$ 22,700.00	\$ 100.00	\$ 80.00
9/24/2025	309-25-9B	BRAD HOLTZ	3387 VOYAGER	REROOF	SILVERCREST CONST	\$ 1,100.00	\$ 100.00	\$ 80.00
9/29/2025	310-25-9B	KORY KESHEMBERD	3223 FAIRVIEW	DETACHED GARAGE ELECT	KMILL ELECT	\$ 2,000.00	\$ 219.00	\$ 175.20
9/29/2025	311-25-9B	MICHAEL SCHMIDT	2694 CASSY	DETACHED GARAGE	SELF	\$ 67,000.00	\$ 267.00	\$ 213.60
9/29/2025	312-25-9B	RICK WATERS	8187 OAKWOOD	RAZE BUILDING	VALLEY CONST	\$ 5,750.00	\$ 100.00	\$ 80.00
9/29/2025	313-25-9E	KARI WEINHOLZER	2948 RIDGEWAY	SERVICE	CUMINGS ELECT	\$ 1,000.00	\$ 150.00	\$ 120.00
TOTALS						\$ 3,603,936.00	\$ 25,359.10	\$ 20,287.28
TOWN OF WINNECONNE PERMITS:								
9/10/2025	102-25-9B	ERVIN FISCHER	6671 LASLEY SHORE	REMODO	E2 INNOVATION	\$ 75,000.00	\$ 210.00	\$ 168.00
9/11/2025	103-25-9B	PAMELA WEIS	6876 WENTZEL SHORE	RAZE HOUSE	SELF	\$ 15,000.00	\$ 55.00	\$ 44.00
9/11/2025	104-25-9B	PAMELA WEIS	6876 WENTZEL SHORE	NSFD	SELF	\$ 450,000.00	\$ 500.00	\$ 400.00
9/11/2025		PAMELA WEIS	6876 WENTZEL SHORE	TOWN FEES	SELF	\$	\$ 610.00	\$
9/16/2025	105-25-9B	PAMELA VERSTOPPEN	514 MEMORIAL	SCREEN ROOM ADDN	SELF	\$ 8,000.00	\$ 165.00	\$ 132.00
9/16/2025	106-25-9B	ROD STOFFEL	7204 CLARK PT	RAZE SHED	HANK BONS	\$ 500.00	\$ 40.00	\$ 32.00
9/16/2025	107-25-9B	ROD STOFFEL	7204 CLARK PT	NEW SHED	TODD KRAUSE	\$ 50,000.00	\$ 160.20	\$ 128.16
9/24/2025	108-25-9B	GENE KUHN	6869 SUNSET TRAIL	ADDITION	JASON EHRMENTRAUT	\$ 200,000.00	\$ 306.40	\$ 245.12
9/24/2025	109-25-9B	MIKE MATHISON	7151 JACGUIS	FOUNDATION REPAIR	RAISE RITE	\$ 10,500.00	\$ 50.00	\$ 40.00
9/24/2025	110-25-9B	JOHN HERZFELDT	7266 CTY M	REROOF	SECURITY ROOFING	\$ 10,714.00	\$ 50.00	\$ 40.00
9/30/2025	111-25-9E	JAKE PETERSON	5151 CTY G	SOLAR INSTALL	EVERLIGHT SOLAR	\$ 27,127.00	\$ 60.00	\$ 48.00
9/30/2025	112-25-9H	NICK WEIS	6876 WENTZEL SHORE	NSFD HVAC	MARTENS HVAC	\$ 19,421.00	\$ 188.37	\$ 150.70
9/30/2025	113-25-9E	MIKE CHEVREMENT	5624 LASLEY POINT	BASEMENT REMOD ELECT	ECHO ELECT	\$ 8,000.00	\$ 67.20	\$ 53.76
TOTALS						\$ 874,262.00	\$ 2,462.17	\$ 1,481.74

MEMORANDUM

Business Item A

From: Administrator/Staff

To: Plan Commission

Re: Plan Commission review & recommendation on an amendment to the Future Land Use Map of the Town of Clayton Comprehensive Plan 2040 submitted by Vierbicher on behalf of the Town of Clayton in the area immediately South of US Hwy 10 between Clayton Ave and Fairview Rd, being Tax ID #006-0347-01; Tax ID #006-0344; Tax ID #006-0345; and Tax ID #006-0339-06

Please see the comments below from Code Administrator Kamke:

Comprehensive planning documents are created by communities for several reasons. Wisconsin Statutes require that any municipality looking to enforce land use controls such as zoning ordinances and land division regulations must have a comprehensive plan. Development of the Comprehensive Plan must have opportunities for residents to provide input. This plan then provides a measuring stick against which land use petitions are compared, ensuring the development within the community is consistent with the collective vision for the area. Outlined in the Comprehensive Plan is the Plan Commission's responsibility to review all proposed development against each element of the Plan, including the natural environment (wetlands, high ground water and bedrock, and soil limitations).

A plan is only as good as the data available when it is adopted, and new pressures will always arise. Plans and their parts (e.g. Future Land Use map) are therefore able to be amended. Criteria to consider for Comprehensive Plan amendments include adherence of the proposal to the identified goals, strategies, and policies of the whole Plan, and if amendments will achieve these larger overarching objectives. Also consider if the proposed amendment would better fit the predominant uses and development pattern of the area, as well as if conditions have sufficiently changed to warrant the proposed amendment change.

The area under consideration for amendment was identified as Clayton Business Park district under the Town's 2023 Comprehensive Plan. This district was created to accommodate the airport overlay development restrictions imposed by Outagamie County to areas surrounding the Appleton International Airport, designed to protect both the community and those using the airport services. While outside the AOD boundaries, the area under consideration for this proposal has some of the highest visibility lands in the Town, abutting the US Highway 10 corridor and associated on/off ramps. The Business Park district assignment was made to capitalize on that visibility and traffic light-controlled accessibility to the highway, which give heavy and longer vehicles safer access to the regional transportation network. The focus of this district is to prioritize regional businesses, professional and service-based offices, and related uses that attract people to and from the Friendship Trail.

Goals strategies, and recommendations from the 2023 Plan related to business uses at USH 10/WIS 76:

- Facilitating the development of commercial (business park) and industrial (industrial park) land uses at the USH 10/WIS 76 interchange that provide services needed regionally,
- Creating an attractive environment for large-scale corporate and professional offices that can benefit from the visibility along the USH 10 corridor,
- Developing a unique brand for the 10/76 corridor area, to highlight key features of these locations in an effort to recruit developers.

Goals, strategies, and recommendations from the 2023 Plan related to new housing in the Town include:

- providing a range of new housing types that meet the needs of the Town's future population,
- locating future housing adjacent to services and amenities home buyers will find attractive,
- ensuring that adequate public greenspace is provided in the form of parks and trail corridors,
- planning out new Tier 1 housing development to create a set of diverse walkable urban and suburban neighborhoods,
- utilizing the tiered development system to guide 85% or more of new housing development into the Tier 1 areas where sewer and water services are available,
- providing ample opportunities for higher density attainable workforce and retiree housing development which matches market demands for urban living and allows for a variety of housing sizes and styles, and
- ensuring that mixed use developments contain a complementary mix of uses such as affordable residential housing types, retail, commercial, employment, civic, and entertainment uses in close proximity, even in the same building.

The Comprehensive Plan amendment requested by the applicant is to amend the Future Land Use map to change the area from Business Park to Residential (both single/duplex and medium/high densities) and designate parks and recreation category lands along the Friendship Trail / USH 10 right-of-way.

This proposal is consistent with the goal and intention to promote residential development within the Tier 1 area. It proposes to use existing utility access for sewer and water service, which is consistent with concentrating new development on areas with these services. These services also protect natural resources, since wetlands on the site indicate high water tables and poor-draining soils which are limitations for installation of private septic systems.

Amending the Future Land Use map would not further the Town's goal to develop this corridor land into a regional professional hub. A large portion of the Economic Development chapter of the Comprehensive Plan would need to be revised if this amendment is adopted.

Residential uses along a major thoroughfare like USH 10 are not consistent with the goals to provide housing in locations home buyers will find attractive. The proposal prioritizes single-family developments, which does not support the goal for a mix of housing types and higher density developments. While there is likely intent for new multifamily buildings on the lands adjacent to Clayton Avenue, a strictly residential

development in this area of the Town is not set up to be connected to other complementary mixed uses, like coffeeshops, bike repair shops, etc.

The Friendship Trail is adjacent to the property and provides a connection to the developing core of the Fox Valley area. The dedicated greenspaces in the proposal are almost entirely unbuildable lands best left fallow, as they are mostly protected wetlands with minimal development potential. These facts indicate that while this development plans to allow access to the existing Trail corridor, the proposal does not add usable public greenspace to the proposed neighborhood and therefore does not meet the goal of adequate public greenspace within residential developments.

This proposal aligns with and is closely tied to two other requests before the Plan Commission, being a rezone request and a preliminary plat review. Both of those requests require consistency with the adopted Comprehensive Plan to be eligible for approval and moving forward with the developments. A failed motion to amend the Comprehensive Plan will effectively remove a path to approval for those other agenda items.

SUGGESTED MOTION(S):

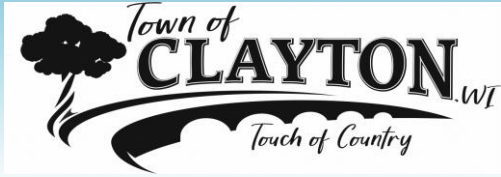
Motion to recommend approval of the amendment to the Future Land Use Map of the Town of Clayton Comprehensive Plan 2040 submitted by Vierbicher.

Motion to recommend denial of the amendment to the Future Land Use Map of the Town of Clayton Comprehensive Plan 2040 submitted by Vierbicher.

Respectfully Submitted,
Kelsey

Comprehensive Plan Amendment Application

Town of Clayton Town Hall
 8348 Hickory Ave
 Larsen, WI 54947
 Phone: 920-836-2007
 Email: administrator@claytonwinnebago.wi.gov
 Website: https://www.townofclayton.net/



Applicant:

Name Vierbicher - Brad Rymer

Street Address 400 Security Blvd

City Green Bay State WI Zip Code 54313

Phone 920-434-9670

E-mail brym@vierbicher.com

Property Owner:

Name: Town of Clayton

Address: 8348 Hickory Ave Larsen, WI 54947 Zip Code:

Phone: 920-836-2007 E-Mail: administrator@claytonwinnebago.wi.gov

Application Specifics:

Property Address: Clayton Ridge to Clayton Avenue Parcel Number: 006034701, 0060344, 0060345, 006033906

Current Future Land Use Designation: Business Park

Surrounding Land Uses - North: Parkland / Recreation Trail South: Single Family Residential East: Village of Fox Crossing West: Agriculture

Proposed Future Land Use Designation: Single Family and Multi Family residential

Reason for Proposed Change: Proposed development of undeveloped land adjacent to the recreational trail and State Highway 10 from Clayton Ridge to Clayton Avenue.

By the execution of this application, the applicant hereby authorizes the Town of Clayton or its agents to enter upon the property during the hours of 7:00 am to 7:00 pm daily for the purpose of inspection. Applicant grants the Town of Clayton or its agents permission to enter even if the applicant has posted this land against trespassing to Sec. 943.13 Wis. Stats. I swear that the statements contained in any papers or plans submitted herewith are true to the best of my knowledge and belief.

07/17/25

Signature

Today's Date

For Town Use Only

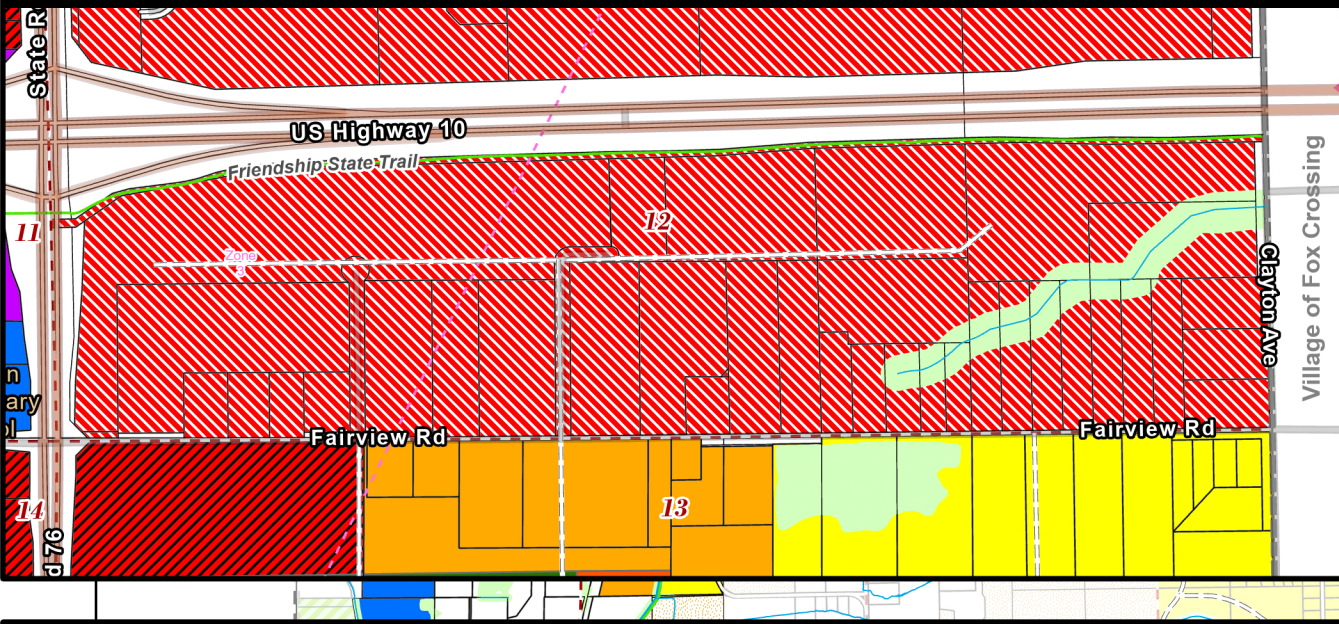
Fee (see Town Fee Schedule)		
Fee: _____	Check #: _____	Date: _____
Town Board _____		Received By: _____
Review Meetings - Plan Comm _____		
Application is:	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved with Condition <input type="checkbox"/> Denied

Town of Clayton

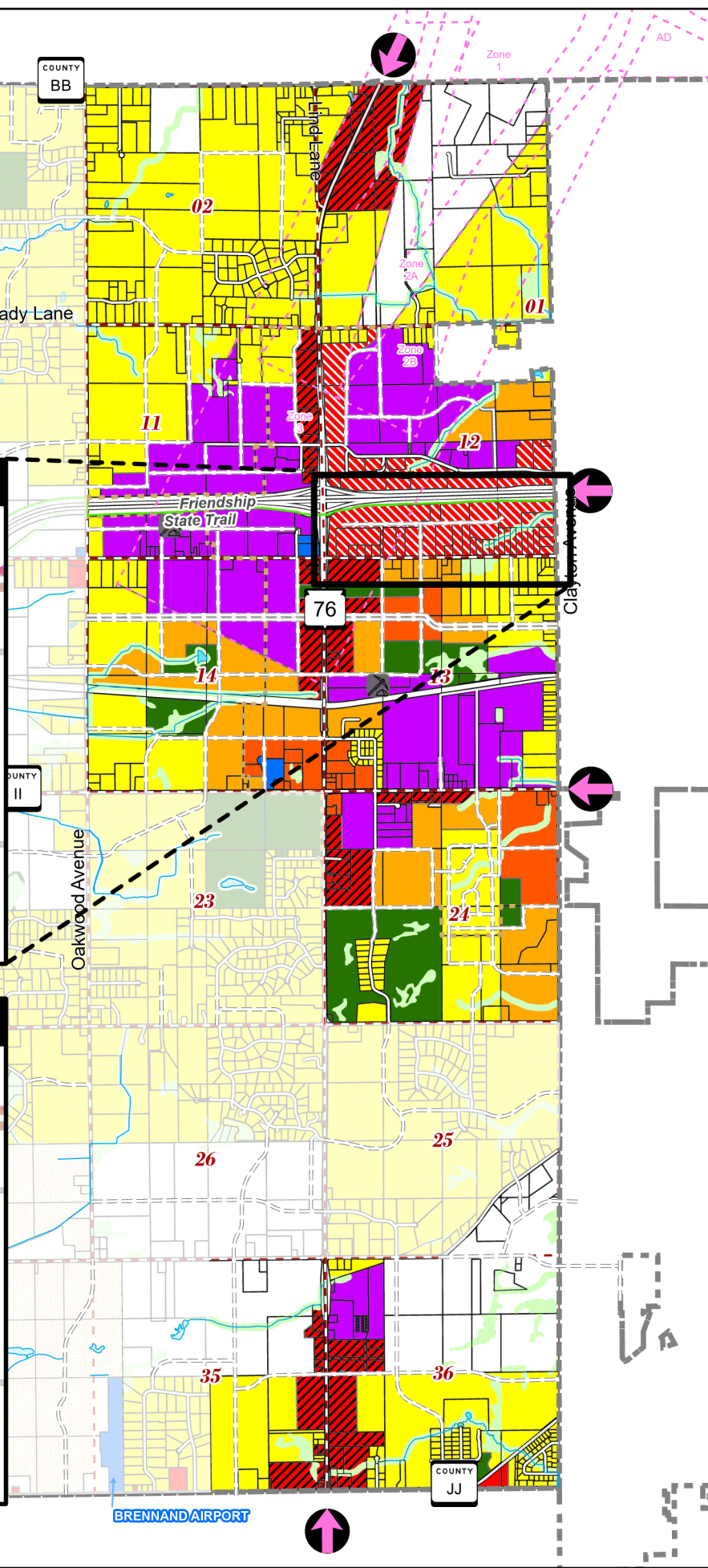
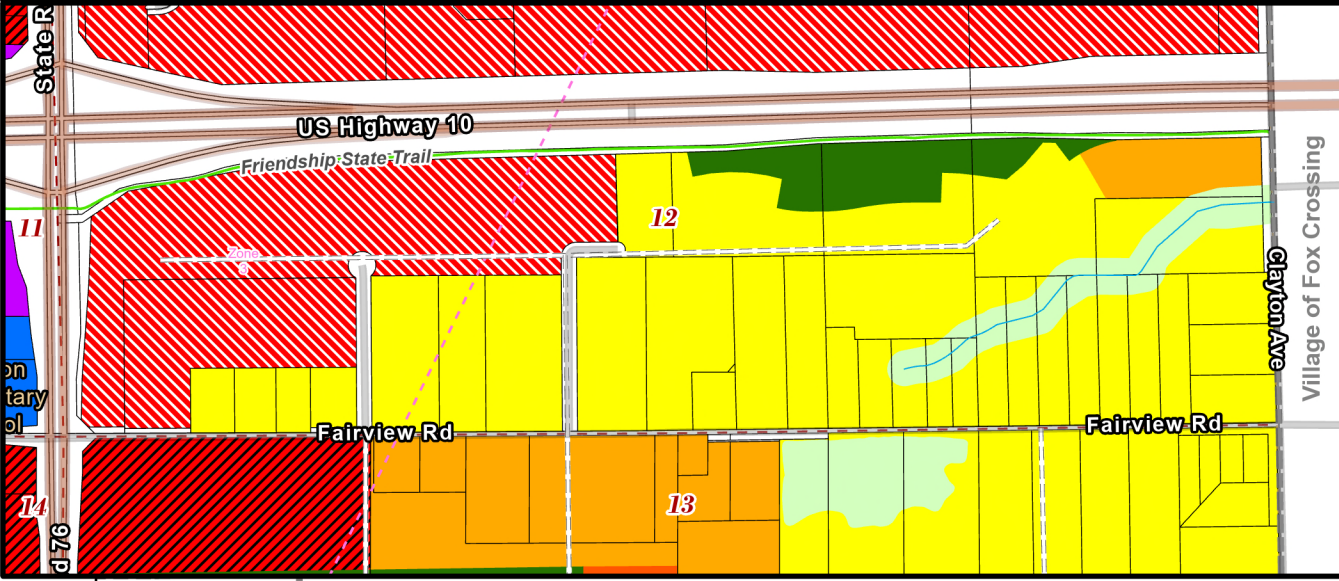
Winnebago County

Proposed Clayton Ridge Comp Plan Amendment

Existing Future Land Use (Adopted 2023)



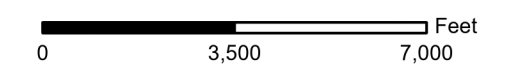
Proposed Clayton Ridge Future Land Use



- Agriculture/Rural
- Conservation/Greenspace
- DNR Property
- Working Lands
- Residential - Single and Duplex
- Medium and High Density Residential
- Neighborhood Center Mixed Use
- Business
- Business Park
- Gateway Commercial & Retail
- Light Industrial, Warehousing, and Distribution
- Utilities and Public Facilities
- Parks and Recreation
- Abandoned Landfill Site
- Open Water/Pond/Lake
- Non-Metallic Mining Sites
- Other Non-Metallic Mining Sites
- Cities, Towns, & Villages
- Sections
- Parcels
- Airport Zoning
- Town of Clayton Sanitary District #1
- Roads
- Future Roads
- Recreation Trails
- Navigable Waterways
- Commercial Gateways

NORTH

Cedar CORPORATION
Community Infrastructure Architecture
Environmental Services
800-472-7372
www.cedarcorp.com
Green Bay • Menomonie • Madison • Cedarburg



This base map was created with data from Winnebago County Planning Department who assumes no liability for the accuracy of this data and any use or misuse of its content is the responsibility of the user. Changes were made by Cedar Corporation under the direction of the Town of Clayton

Map Date: August 26, 2025

MEMORANDUM

Business Item B

From: Administrator/Staff
 To: Plan Commission
 Re: Plan Commission review & recommendation on a Re-zoning Application submitted by Vierbicher on behalf of the Town of Clayton to re-zone Tax ID #006-0347-01; Tax ID #006-0344; Tax ID #006-0345; and Tax ID #006-0339-06 (immediately South of US Hwy 10 between Clayton Ave and Fairview Rd) from A-2 (General Agriculture District); I-1 (Light Industrial District); and B-3 (General Business District) to R-2 (Suburban Residential District), and R-4 (Multi-family Residential District).

Please see the comments below from Code Administrator Kamke:

Site subject to this request are lands located south of the USH 10 right-of-way, west of Clayton Avenue and accessed by the planned new road, Clayton Ridge Rd. These parcels are 006034701, 0060344, 0060345, and 006033906, and all are current zoned I-1 Industrial. The proposal is to rezone ±28.38 acres from I-1 Industrial to approximately 24.09 acres of R-2 Single Family and Duplex Residential district and 4.29 acres to R-4 Multifamily Residential district.

Part of the parcel closest to Clayton Ave, 006034701, is adjacent to an intermittent stream and therefore subject to the Winnebago County Shoreland zoning ordinance. The property is within the Town's Tax Increment District #1, and within the Town's Sanitary District #1, so water and sewer utilities are available for these properties.

Rezone requests must be consistent with all applicable plans. If the prior request for an amendment to the Town's Comprehensive Plan was not recommended for approval, this rezone request is not consistent with the adopted plan and therefore should fail to be recommended for approval. The current zoning of the property matches the Business Park use designation on the Town's Future Land Use Map.

In allowing development within the Town, priority is generally given to highest and best use of the land, under the assumption that each property is likely only developed once. The TID was developed as a mixed-use tax generator device, commonly used to help spur additional development within the Town's TID boundary. The revenue from these properties contributes to a fund that offsets eligible development costs, including economic development that contribute to the Town's long-term goals.

If the amendment request was approved:

The property is adjacent to a regional trail that connects the town to the developing areas of the Fox Valley. The requested zoning of R-2 Single Family residential does allow for park uses, and allows the proposal to be flexible in where dedicated public spaces are created, and not designate by zoning district where those areas will be.

SUGGESTED MOTION(S):

Motion to recommend approval of the rezone application submitted by Vierbicher.

Motion to recommend denial of the rezone application submitted by Vierbicher.

Motion to recommend approval with conditions the rezone application submitted by Vierbicher.

Respectfully Submitted,
Kelsey

TOWN OF CLAYTON

PLAN COMMISSION RESOLUTION # 2025-002

RE-ZONING OF TAX ID #006-0347-01; TAX ID #006-0344; TAX ID #006-0345;
AND TAX ID #006-0339-06

The Plan Commission for the Town of Clayton has recommended [] Approval [] Denial of the following Re-zoning:

Owner: Town of Clayton

Applicant: Vierbicher

Location: Property immediately South of US Hwy 10 between Clayton Ave and Fairview Rd

Legal Description: Being a part of the Southeast ¼ of the Southeast ¼, Section 12, Township 20 North, Range 16 East; and being a part of the Southwest 1/4 of the Southeast 1/4, Section 12, Township 20 North, Range 16 East; and being a part of the Southeast 1/4 of the Southwest 1/4, Section 12, Township 20 North, Range 16 East, all in the Town of Clayton, County of Winnebago, Wisconsin.

Parcel Number: The properties are known as Tax ID #006-0347-01; Tax ID #006-0344; Tax ID #006-0345; and Tax ID #006-0339-06

Explanation: Applicant is requesting a Zoning Change from A-2 (General Agriculture District); I-1 (Light Industrial District); and B-3 (General Business District) to R-2 (Suburban Residential District), and R-4 (Multi-family Residential District).

Town Findings:

1. The Town does have an adopted land use plan.
2. The proposed zoning change does comply with the Town’s adopted Land Use Plan.
3. The proposed zoning change is consistent with the Town’s Future Land Use Plan.
4. The proposed zoning change is consistent with the existing land use pattern.

Signed: _____
Dick Knapinski, Plan Commission Chair

Date:

Attest: _____
Kelsey Faust-Kubale, Town Clerk

Date:

Notes: 1. Please notify utility companies regarding your proposed development. 2. A Re-Zoning approval does not constitute approval of a building permit or any required approval of a highway connection permit. 3. A Re-Zoning Application & Fee must be submitted 30 working days prior to meeting.

Comments: _____

Re-Zoning is: Approved Denied

300ft Neighborhood Notice Distribution: _____

Newspaper Publication Dates: _____ & _____

Posting Date: _____

Review Meetings - Plan Comm _____

Town Board _____

Date Received Complete: _____ By: VMK

Fee: \$500 Check #: 98102 Receipt #: _____

Date: 8/16/25 Applic. #: _____

Town Use Only Fee (see Town Fee Schedule)

Applicant Signature: _____

Date: 07/16/25

I certify that the attached drawings are to the best of my knowledge complete and drawn in accordance with all Town of Clayton codes.

Current Zoning: A-2, I-1 & B-3

Legal Description: _____ See attached plat

Number of Lots: 48 Total Acreage: 28.33 acres Tax Key Numbers: 006034701, 0060344, 0060345 & 006033906

RE-ZONING SPECIFICS

Describe the reason for the Re-Zoning: _____ proposed residential development

Phone: 920-434-9670 E-Mail: brym@vierbicher.com

Address: 400 Security Blvd Green Bay WI Zip Code: 54313

Name: Vierbicher - Brad Rymen

Check: Architect: _____ Engineer: Surveyor: Attorney: _____ Agent: Owner: _____

APPLICANT

E-mail: administrator@townofclayton.net

Phone: 920-836-2007

City: Larsen State: WI Zip Code: 54947

Street Address: 8348 Hickory Avenue

Name: Town of Clayton

PROPERTY OWNER



Town of Clayton Town Hall
8348 Hickory Ave
Larsen, WI 54947
Phone: 920-836-2007
Email: administrator@claytonwinnebago.gov
Website: <https://www.townofclayton.net/>

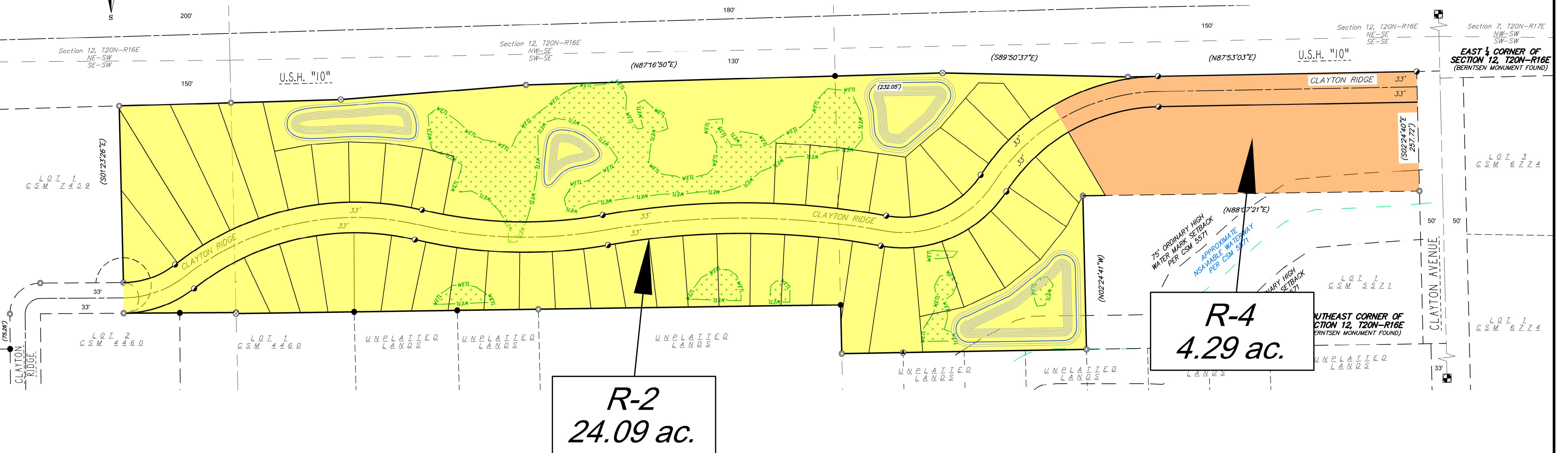
RE-ZONING APPLICATION

RECEIVED
AUG 05 2025

A Rezone Exhibit for CLAYTON RIDGE

ALL OF LOT 2, MAP NO. 7459, CERTIFIED SURVEY MAPS, DOCUMENT NO. 1784699, WINNEBAGO COUNTY RECORDS,
ALL OF LOT 2, MAP NO. 5571, CERTIFIED SURVEY MAPS, DOCUMENT NO. 1324302, WINNEBAGO COUNTY RECORDS,
PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 AND THE SOUTHWEST 1/4
1/4 OF THE SOUTHWEST 1/4 OF SECTION 12, T20N-R16E, TOWN OF CLAYTON, WINNEBAGO COUNTY, WISCONSIN.

TAX PARCEL: 006033906, 0060345,
0060344 AND 006034701
FIELDWORK COMPLETED: 07/09/25




LEGAL DESCRIPTION

ALL OF LOT 2, MAP NO. 7459, CERTIFIED SURVEY MAPS, DOCUMENT NO. 1784699, WINNEBAGO COUNTY RECORDS, ALL OF LOT 2, MAP NO. 5571, CERTIFIED SURVEY MAPS, DOCUMENT NO. 1324302, WINNEBAGO COUNTY RECORDS, PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 12, T20N-R16E, TOWN OF CLAYTON, WINNEBAGO COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SECTION 12, T20N-R16E; THENCE N01°21'11"W, 1250.37 FEET ALONG THE EAST LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 12; THENCE S88°38'49"W, 50.00 FEET TO THE POINT OF BEGINNING; THENCE S88°57'00"W, 623.63 FEET ALONG A NORTHERLY LINE OF LOT 2, MAP NO. 5571, CERTIFIED SURVEY MAPS, DOCUMENT NO. 1324302, WINNEBAGO COUNTY RECORDS; THENCE N88°47'28"W, 400.27 FEET ALONG A NORTHERLY LINE OF SAID LOT 2; THENCE S88°20'22"W, 899.99 FEET ALONG A NORTHERLY LINE OF SAID LOT 2; THENCE N85°28'37"E, 400.83 FEET; THENCE N88°20'27"E, 478.92 FEET ALONG A NORTHERLY LINE OF LOT 2, MAP NO. 7459, CERTIFIED SURVEY MAPS, DOCUMENT NO. 1784699, WINNEBAGO COUNTY RECORDS, AND ITS EXTENSION; THENCE N01°23'19"W, 381.59 FEET ALONG A WESTERLY LINE OF SAID LOT 2, ALSO BEING AN EASTERLY LINE OF LOT 1 OF SAID CERTIFIED SURVEY MAP NO. 7459; THENCE 103.67 FEET ALONG THE RIGHT OF WAY OF CLAYTON RIDGE, ALSO A WESTERLY LINE OF SAID LOT 2 BEING AN ARC OF A 33.00 FOOT RADIUS CURVE TO THE RIGHT WHOSE LONG CHORD BEARS S00°19'53"E, 66.00 FEET; THENCE N89°40'06"E, 242.75 FEET ALONG THE SOUTH LINE OF SAID LOT 2; THENCE S01°23'26"E, 2.19 FEET ALONG THE WEST LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 12; THENCE N89°11'02"E, 1305.47 FEET; THENCE S01°22'18"E, 104.55 FEET ALONG THE WEST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4; THENCE N89°01'18"E, 528.37 FEET ALONG A SOUTHERLY LINE OF SAID LOT 2 OF SAID CERTIFIED SURVEY MAP 5571; THENCE N01°20'55"W, 331.83 FEET ALONG AN EASTERLY LINE OF SAID LOT 2, ALSO BEING A WESTERLY LINE OF SAID LOT 1 OF SAID CERTIFIED SURVEY MAP 5571; THENCE N89°12'21"E, 727.03 FEET ALONG A SOUTHERLY LINE OF SAID LOT 2, ALSO BEING A NORTHERLY LINE OF SAID LOT 1; THENCE N01°21'11"W, 257.96 FEET ALONG AN EASTERLY LINE OF SAID LOT 2, ALSO BEING THE WESTERLY RIGHT OF WAY OF NORTH CLAYTON AVENUE TO THE POINT OF BEGINNING.

PARCEL CONTAINS 1,234,208 SQUARE FEET / 28.33 ACRES, MORE OR LESS.

 planners engineers advisors	Drafted by: NDK Checked by: MRA Job #: 240145 Date: 07/11/2025 Rev: MM/DD/YYYY Rev: MM/DD/YYYY Rev: MM/DD/YYYY	SURVEYED FOR: LANDMARK REAL ESTATE AND DEVELOPMENT Drawing No. P-2662	SURVEYED BY: Vierbicher Associates, Inc. 400 Security Blvd, Ste 1 Green Bay, WI 54313 (920) 434-9670	SHEET 1 OF 1
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MEMORANDUM

Business Item C

From: Administrator/Staff
 To: Plan Commission
 Re: Plan Commission review & recommendation on a Preliminary Plat Review Application submitted by Vierbicher for the division of Tax ID #006-0347-01; Tax ID #006-0344; Tax ID #006-0345; and Tax ID #006-0339-06 into 46 lots and 2 outlots intended for a combination of single-family residential & multi-family residential use.

Please see the comments below from Code Administrator Kamke:

The subject site is located south of the USH 10 right-of-way, and is parcels 006034701, 0060344, 0060345, and 006033906. Current zoning of the lands include are I-1 Industrial. A rezone request was heard prior to this item on the agenda, proposing rezone to R-2 Single Family district and R-4 Multifamily district. The site is within the Town of Clayton TID #1, Clayton Sanitary District #1. Being a proposed new plat for residential, development in this area would count towards the maximums allowed for new residential within the TID #1 boundary.

The Town of Clayton has a Subdivision Ordinance that governs the review of land divisions and plats. Within this ordinance, section 7.10.14. documents the minimum information required for a preliminary plat submission. This ordinance requires consistency with the Comprehensive Plan and Future Land Use Map, as well as Zoning ordinance and map. If either request ahead of this failed on an approval recommendation, the preliminary plat is not consistent with all Town regulations and cannot be approved.

Stormwater management plans – Section 7.10.05(4) requires stormwater management plans to be submitted “for review and comment at the time of preliminary plat submittal for major subdivisions...”. No plans were received beyond the site plan designating the stormwater pond locations.

The Town identified the need to require greenspace and public access lands like parks, playgrounds, and pedestrian walkways. The areas proposed for dedication to the Town are largely unbuildable lots, dominated by delineated wetlands protected by environmental regulations. It would be recommended to require more greenspace and usable land for the public dedication for parks and recreation areas of this potential new neighborhood.

From the Zoning Ordinance perspective, the lots meet area and dimensional standards. There are some concerns about the buildable area on some of the lots. Accounting for setbacks and unbuildable area of documented wetlands, lots 39, 32, 31, and 25 seem realistically unbuildable. Additionally, lots 11, 12, and 29-30 are also impacted by delineated wetlands.

Recommended actions:

If Comprehensive Plan amendment request and/or rezone request were not approved, it is recommend to reject this plat.

If both the Comprehensive Plan amendment and the rezone request were recommended for approval, this plat would still be recommended for denial. The recommended changes to the plat are large enough to no longer be considered substantially consistent with the original plans. By statute, final plats are entitled to approval if they are substantially consistent with approved preliminary plats.

Conditions to consider:

1. Additional lands are dedicated to the public for park space. A concept plan for those park areas would be required as well.
2. Lots impacted by wetland delineations are redrawn to minimize limitations to future property owners and their use of the property.
3. Mixed use zoning is considered to create walkable neighborhoods with services and business opportunities.

SUGGESTED MOTION(S):

Motion to recommend approval of the preliminary plat review application submitted by Vierbicher.

Motion to recommend denial of the preliminary plat review application submitted by Vierbicher.

Motion to recommend approval with conditions the preliminary plat review application submitted by Vierbicher.

Respectfully Submitted,
Kelsey

Preliminary Plat Review Application

Submit 11"x17" PDF; 1 full-sized PDF; & 1 full-sized Hard Copy

Town of Clayton Town Hall
 8348 Hickory Ave
 Larsen, WI 54947
 Phone: 920-836-2007
 Email: administrator@claytonwinnebago.wi.gov
 Website: https://www.townofclayton.net/



Property Owner(s)

Address: 8348 Hickory Avenue, Larsen, WI Zip Code: 54947

Phone: _____ E-Mail: _____

Applicant:

Check: Architect: _____ Engineer: _____ Surveyor: Attorney: _____ Agent:

Name: Steven M. Bieda and Brad Rymer

Address: 400 Security Blvd. Ste 1 Zip Code: 54313

Phone: (920)434-9670 E-Mail: sbie@vierbicher.com & brym@vierbicher.com

Plat Title:

Number of Lots: 48 Total Acreage: 28.33 Acres Tax Key Number: 006034701, 0060344, 0060345 & 00603390

Legal Description: See attached Plat caption and Surveyors Certificate Zoning: A-2, I-1 and B-3

Surveyor: Steven M. Bieda Registration #: PLS-2275

Address: 400 Security Blvd. Ste 1, Green Bay, WI Zip Code: 54313

Phone: 920-434-9670 E-Mail: sbie@vierbicher.com

I certify that the attached drawings are to the best of my knowledge complete and drawn in accordance with all Town of Clayton codes.

07/14/25

Signature

Today's Date

For Town Use Only

Fee (see Town Fee Schedule)

Fee: \$1000 + \$1200 (int) Check #: 97799 Receipt: _____ Date: 7/14/25

Date Received Complete: 7/14/25 By: [Signature] Applic. #: _____

Review Meeting _____ History _____

Preliminary Plat is: Approved Approved with Condition Denied

Public Improvement Agreement Signed: Yes No

10 Copies submitted to County: Yes No 11" x 17" submitted: Yes No

15 Copies submitted to Town: Yes No

Comments: _____

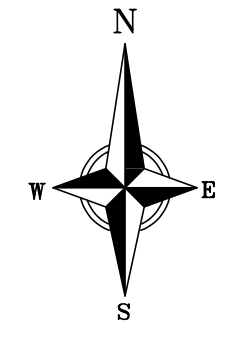
Notes: Please notify utility companies regarding your proposed development. CSM approval does not constitute approval of a building permit or any required approval of a highway connection permit. Preliminary Plat & Fee must be submitted 30 working days prior to meeting.

© Vierbicher Associates, Inc.

BEARING REFERENCE TO THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 12, T20N-R16E, ASSUMED TO BE N01°21'11"W... THE COUNTY MONUMENTS USED IN THIS SURVEY ARE SHOWN AND THEIR TIES HAVE BEEN FOUND AND VERIFIED AND/OR WINNEBAGO COUNTY PLANNING AND LAND SERVICES HAS BEEN NOTIFIED OF ANY DISCREPANCIES.

SURVEY LEGEND

- FOUND 1" # IRON PIPE
FOUND 2" # IRON PIPE
FOUND 3/4" # IRON ROD
FOUND NAIL
WINNEBAGO COUNTY MONUMENT AS NOTED
SET 2.38" X 18" IRON PIPE WITH CAP WEIGHING 3.65 LBS/LIN FT
INDICATES RECORDED AS

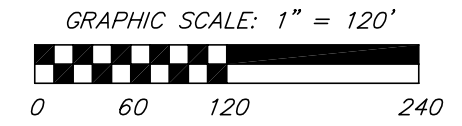


- WETLAND SETBACK
NO ACCESS LINE
30' BUILDING SETBACK (UNLESS NOTED)
12' UTILITY EASEMENT (UNLESS NOTED)
DELINEATED WETLANDS BY GEORGE AND HOLD SOIL CONSULTANTS IN JULY OF 2025.

ALL OTHER LOT CORNERS MARKED WITH A 1.32" (O.D.) X 18" IRON PIPE WEIGHING 1.68 LBS/LIN. FOOT. ALL LINEAR MEASUREMENTS HAVE BEEN MADE TO THE NEAREST HUNDRETH OF A FOOT.

APPROVING / OBJECTING AGENCIES

TOWN OF CLAYTON
WINNEBAGO COUNTY PLANNING COMMISSION
WISCONSIN DEPARTMENT OF ADMINISTRATION



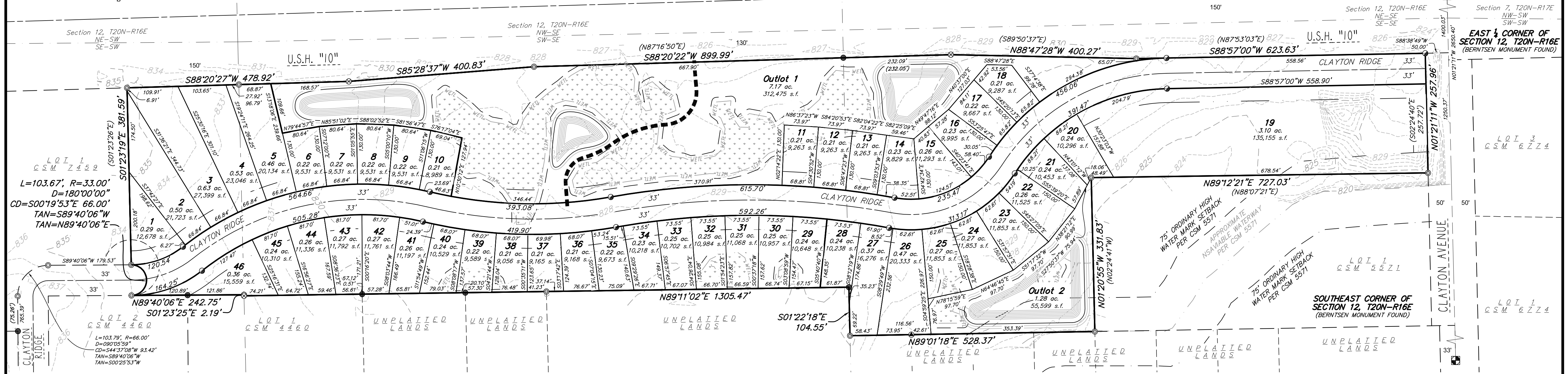
DEVELOPER

LANDMARK REAL ESTATE AND DEVELOPMENT
320 MAIN AVENUE
DEPERE, WI 54115
920-621-4929

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.
Certified _____, 20____
Department of Administration



TAX PARCEL: 006033906, 0060345, 0060344 AND 006034701
FIELDWORK COMPLETED: 07/09/25

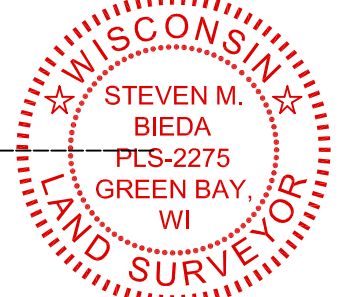


SURVEYOR'S CERTIFICATE

I, STEVEN M. BIEDA, PROFESSIONAL LAND SURVEYOR, PLS-2275, HEREBY CERTIFY: THAT IN FULL COMPLIANCE WITH THE PROVISIONS OF CHAPTER 236, WISCONSIN STATUTES, AND THE SUBDIVISION REGULATIONS OF THE TOWN OF CLAYTON, VILLAGE OF FOX CROSSING AND THE WINNEBAGO COUNTY PLANNING COMMISSION AND UNDER THE DIRECTION OF THE OWNERS LISTED HEREON, I HAVE SURVEYED, DIVIDED AND MAPPED "CLAYTON RIDGE", AND THAT SUCH PLAT CORRECTLY REPRESENTS ALL EXTERIOR BOUNDARIES AND THE SUBDIVISION OF THE LAND SURVEYED; AND IS ALL OF LOT 2, MAP NO. 7459, CERTIFIED SURVEY MAPS, DOCUMENT NO. 1784699, WINNEBAGO COUNTY RECORDS, ALL OF LOT 2, MAP NO. 5571, CERTIFIED SURVEY MAPS, DOCUMENT NO. 1324302, WINNEBAGO COUNTY RECORDS, PART OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 12, T20N-R16E, TOWN OF CLAYTON, WINNEBAGO COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:

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PARCEL CONTAINS 1,234,208 SQUARE FEET / 28.33 ACRES, MORE OR LESS. ROAD DEDICATION CONTAINS 136,339 SQUARE FEET / 3.13 ACRES, MORE OR LESS. PARCEL IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.



STEVEN M. BIEDA
PLS-2275
GREEN BAY, WI
JULY 17TH, 2025

CERTIFICATE OF THE WINNEBAGO COUNTY PLANNING COMMISSION
APPROVED FOR THE WINNEBAGO COUNTY PLANNING COMMISSION THIS ____ DAY OF _____, 20____

WINNEBAGO PLANNING DIRECTOR

CERTIFICATE OF THE TOWN OF CLAYTON
APPROVED FOR THE TOWN OF CLAYTON THIS ____ DAY OF _____, 20____

TOWN CLERK

CERTIFICATE OF THE WINNEBAGO COUNTY TREASURER
AS DULY ELECTED WINNEBAGO COUNTY TREASURER, I HEREBY CERTIFY THAT THE RECORDS IN OUR OFFICE SHOW NO UNREDEEMED TAXES AND NO UNPAID OR SPECIAL ASSESSMENTS AFFECTING ANY OF THE LANDS INCLUDED IN THIS PLAT AS OF THE DATES LISTED BELOW.

WINNEBAGO COUNTY TREASURER DATE

CERTIFICATE OF THE TOWN OF CLAYTON TREASURER
AS DULY ELECTED TOWN OF CLAYTON TREASURER, I HEREBY CERTIFY THAT THE RECORDS IN OUR OFFICE SHOW NO UNREDEEMED TAXES AND NO UNPAID OR SPECIAL ASSESSMENTS AFFECTING ANY OF THE LANDS INCLUDED IN THIS PLAT AS OF THE DATES LISTED BELOW.

TOWN TREASURER DATE

NOTES

THE PROPERTY OWNERS, AT THE TIME OF CONSTRUCTION, SHALL IMPLEMENT THE APPROPRIATE SOIL EROSION CONTROL METHODS OUTLINED IN THE WISCONSIN CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS (AVAILABLE FROM THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES) TO PREVENT SOIL EROSION. HOWEVER, IF AT THE TIME OF CONSTRUCTION THE TOWN HAS ADOPTED A SOIL EROSION CONTROL ORDINANCE, IT SHALL GOVERN OVER THIS REQUIREMENT. THIS PROVISION APPLIES TO ANY GRADING, CONSTRUCTION, OR INSTALLATION-RELATED ACTIVITIES.

NO IMPROVEMENTS OR STRUCTURES ARE ALLOWED BETWEEN THE RIGHT OF WAY LINE AND THE HIGHWAY SETBACK LINE. IMPROVEMENTS AND STRUCTURES INCLUDE, BUT ARE NOT LIMITED TO SIGNS, PARKING AREAS, DRIVEWAYS, WELLS, SEPTIC SYSTEMS, DRAINAGE FACILITIES, BUILDINGS AND RETAINING WALLS. IT IS EXPRESSLY INTENDED THAT THIS RESTRICTION IS FOR THE BENEFIT OF THE PUBLIC AS PROVIDED IN SECTION 236.293, WISCONSIN STATUTES, AND SHALL BE ENFORCEABLE BY THE DEPARTMENT OF TRANSPORTATION OR ITS ASSIGNS. CONTACT THE WISCONSIN DEPARTMENT OF TRANSPORTATION DISTRICT OFFICE FOR MORE INFORMATION. THE PHONE NUMBER MAY BE OBTAINED BY CONTACTING YOUR COUNTY HIGHWAY DEPARTMENT.

THE LOTS OF THIS LAND DIVISION MAY EXPERIENCE NOISE AT LEVELS EXCEEDING THE LEVELS IN S. TRANS 405.04 TABLE 1. THESE LEVELS ARE BASED ON FEDERAL STANDARDS. THE DEPARTMENT OF TRANSPORTATION IS NOT RESPONSIBLE FOR ABATING NOISE FROM EXISTING STATE TRUNK HIGHWAYS OR CONNECTING HIGHWAYS, IN THE ABSENCE OF ANY INCREASE BY THE DEPARTMENT TO THE HIGHWAYS THROUGH-LANE CAPACITY.

DRAINAGE EASEMENTS ARE TO THE TOWN OF CLAYTON.

OUTLOTS 1 AND 2 IS DEDICATED TO THE TOWN OF CLAYTON FOR STORMWATER AND PARK PURPOSES.

ANY LAND BELOW THE ORDINARY HIGH WATER MARK OF A LAKE OR A NAVIGABLE STREAM IS SUBJECT TO THE PUBLIC TRUST IN NAVIGABLE WATERS THAT IS ESTABLISHED UNDER ARTICLE IX, SECTION 1, OF THE STATE CONSTITUTION.

RESTRICTIVE COVENANTS

THE LAND ON ALL SIDE AND REAR LOT LINES OF ALL LOTS SHALL BE GRADED BY THE LOT OWNER AND MAINTAINED BY THE ABUTTING PROPERTY OWNERS TO PROVIDE FOR ADEQUATE DRAINAGE OF SURFACE WATER.

EACH LOT OWNER SHALL GRADE THE PROPERTY TO CONFORM TO THE ADOPTED SIDEWALK GRADE ELEVATION AND MAINTAIN SAID ELEVATION FOR FUTURE SIDEWALKS.

GRADING ACTIVITIES WITHIN WETLAND SETBACKS AND WETLAND SETBACKS AREAS ARE RESTRICTED UNLESS AMENDMENT IS APPROVED BY THE WINNEBAGO COUNTY PLANNING COMMISSION, OR GRADING IS COMPLETED AS PART OF AN APPROVED GRADING AND STORMWATER MANAGEMENT PLAN.

LOTS 10-13, 24-26, 29-33, 38-40 AND OUTLOTS 1 AND 2 CONTAINS DELINEATED WETLANDS. THE WETLAND SETBACK INCLUDES DELINEATED WETLANDS, ALL LAND WITHIN 10-30 FEET OF LESS SUSCEPTIBLE WETLANDS, ALL LAND WITHIN 50 FEET OF MODERATELY SENSITIVE WETLANDS, AND ALL LAND WITHIN 75 FEET OF HIGHLY SENSITIVE WETLANDS. DEVELOPMENT AND LAND DISTURBING ACTIVITIES ARE RESTRICTED IN THE WETLAND SETBACK UNLESS AMENDMENTS ARE APPROVED BY THE WINNEBAGO COUNTY PLANNING COMMISSION AND THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES.

A WINNEBAGO COUNTY HIGHWAY DEPARTMENT ACCESS PERMIT MUST BE OBTAINED PRIOR TO ANY CONSTRUCTION OF A NEW STREET/ROAD CONNECTION OR DRIVEWAY TO A COUNTY TRUNK HIGHWAY.

ACCESS RESTRICTION

AS OWNER, I HEREBY RESTRICT LOT 1, 2, 3, 4, 5 AND OUTLOT 1, SO THAT NO OWNER, POSSESSOR, USER, LICENSEE, OR OTHER PERSON MAY HAVE ANY RIGHT OF DIRECT VEHICULAR INGRESS FROM OR EGRESS TO ANY HIGHWAY LYING WITHIN THE RIGHT OF WAY OF U.S.H. #10, AS SHOWN ON THE LAND DIVISION MAP. IT IS EXPRESSLY INTENDED THAT THIS RESTRICTION CONSTITUTE A RESTRICTION FOR THE BENEFIT OF THE PUBLIC AS PROVIDED IN S.236.293, WISCONSIN STATUTES AND SHALL BE ENFORCEABLE BY THE DEPARTMENT OR ITS ASSIGNS.

CERTIFICATE OF THE VILLAGE OF FOX CROSSING

APPROVED FOR THE VILLAGE OF FOX CROSSING THIS ____ DAY OF _____, 20____.

VILLAGE PRESIDENT

VILLAGE CLERK

OWNER'S CERTIFICATE

AS OWNERS, I HEREBY CERTIFY THAT I CAUSED THE LAND DESCRIBED ON "CLAYTON RIDGE" TO BE SURVEYED, DIVIDED, MAPPED AND DEDICATED AS REPRESENTED HEREON. I ALSO CERTIFY THAT THIS PLAT IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION:

TOWN OF CLAYTON
VILLAGE OF FOX CROSSING
WINNEBAGO COUNTY PLANNING COMMISSION
DEPARTMENT OF ADMINISTRATION

LANDMARK REAL ESTATE AND DEVELOPMENT

PERSONALLY CAME BEFORE ME THIS ____ DAY OF _____, 20____. THE ABOVE NAMED OWNERS, TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC MY COMMISSION EXPIRES _____
COUNTY, WISCONSIN

STATE OF WISCONSIN]
] SS
COUNTY OF _____]

UTILITY EASEMENT PROVISIONS

AN EASEMENT FOR ELECTRIC, NATURAL GAS, AND COMMUNICATIONS SERVICE IS HEREBY GRANTED BY:

LANDMARK REAL ESTATE AND DEVELOPMENT, GRANTOR, TO WISCONSIN PUBLIC SERVICE CORPORATION, A WISCONSIN CORPORATION, GRANTEE.

THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, TO CONSTRUCT, INSTALL, OPERATE, REPAIR, MAINTAIN AND REPLACE FROM TIME TO TIME, FACILITIES USED IN CONNECTION WITH OVERHEAD AND UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRIC ENERGY, NATURAL GAS, TELEPHONE AND CABLE TV FACILITIES FOR SUCH PURPOSES AS THE SAME IS NOW OR MAY HEREAFTER BE USED, ALL IN, OVER, UNDER, ACROSS, ALONG AND UPON THE PROPERTY SHOWN WITHIN THOSE AREAS ON THE PLAT DESIGNATED AS "UTILITY EASEMENT" AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, WHETHER PUBLIC OR PRIVATE, TOGETHER WITH THE RIGHT TO INSTALL SERVICE CONNECTIONS UPON, ACROSS, WITHIN AND BENEATH THE SURFACE OF EACH LOT TO SERVE IMPROVEMENTS, THEREON, OR ON ADJACENT LOTS; ALSO THE RIGHT TO TRIM OR CUT DOWN TREES, BRUSH AND ROOTS AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY FOR ALL SUCH PURPOSES. THE GRANTEEES AGREE TO RESTORE OR CAUSE TO HAVE RESTORED, THE PROPERTY, AS NEARLY AS IS REASONABLY POSSIBLE, TO THE CONDITION EXISTING PRIOR TO SUCH ENTRY BY THE GRANTEEES OR THEIR AGENTS. THIS RESTORATION, HOWEVER, DOES NOT APPLY TO THE INITIAL INSTALLATION OF SAID UNDERGROUND AND/OR ABOVE GROUND ELECTRIC FACILITIES, NATURAL GAS FACILITIES, OR TELEPHONE AND CABLE TV FACILITIES OR TO ANY TREES, BRUSH OR ROOTS WHICH MAY BE REMOVED AT ANY TIME PURSUANT TO THE RIGHTS HEREIN GRANTED. STRUCTURES SHALL NOT BE PLACED OVER GRANTEEES' FACILITIES OR IN, UPON OR OVER THE PROPERTY WITHIN THE LINES MARKED "UTILITY EASEMENT" WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEEES. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE SUBDIVIDED PROPERTY SHALL NOT BE ALTERED BY MORE THAN SIX INCHES WITHOUT WRITTEN CONSENT OF GRANTEEES. THIS UTILITY EASEMENT PROVISION DOES NOT PREVENT OR PROHIBIT OTHERS FROM UTILIZING OR CROSSING THE UTILITY EASEMENT(S) ARE NON-EXCLUSIVE.

THE GRANT OF EASEMENT SHALL BE BINDING UPON AND INURE TO THE BENEFIT OF THE HEIRS, SUCCESSORS AND ASSIGNS OF ALL PARTIES HERETO.

vierbicher
planners | engineers | advisors



Drafted by: NDK
Checked by: MRA
Job #: 240145
Date: 07/17/2025
Rev: 08/06/2025
Rev: MM/DD/YYYY
Rev: MM/DD/YYYY

SURVEYED FOR:
LANDMARK REAL ESTATE
AND DEVELOPMENT
Drawing No. P-2662

SURVEYED BY:
Vierbicher Associates, Inc.
400 Security Blvd, Ste 1
Green Bay, WI 54313
(920) 434-9670

SHEET
1 OF 1

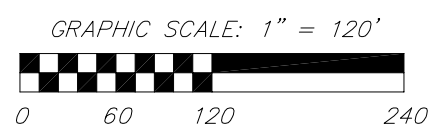
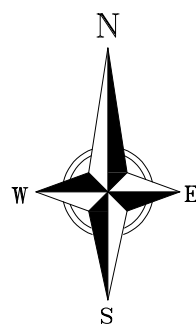
06 Aug 2025 - 11:16 G:\Garot\Reifers LLC\240145 Clayton Ave Winnebago Co\CADD\240145 Plat 080505.dwg By: ntkv

SITE SURVEY

ALL OF LOT 2, MAP NO. 7459, CERTIFIED SURVEY MAPS, DOCUMENT NO. 1784699, WINNEBAGO COUNTY RECORDS, ALL OF LOT 2, MAP NO. 5571, CERTIFIED SURVEY MAPS, DOCUMENT NO. 1324302, WINNEBAGO COUNTY RECORDS, PART OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 AND THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 12, T20N-R16E, TOWN OF CLAYTON, WINNEBAGO COUNTY, WISCONSIN.

BEARING REFERENCE TO THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 12, T20N-R16E, ASSUMED TO BE N01°21'11"W

THE COUNTY MONUMENTS USED IN THIS SURVEY ARE SHOWN AND THEIR RES HAVE BEEN FOUND AND VERIFIED AND/OR WINNEBAGO COUNTY PLANNING AND LAND SERVICES HAS BEEN NOTIFIED OF ANY DISCREPANCIES.



TAX PARCEL: 006033906, 0060345, 0060344 AND 006034701
FIELDWORK COMPLETED: 07/09/25

SURVEY LEGEND

- FOUND 1" Ø IRON PIPE
- FOUND 3/4" Ø IRON ROD
- FOUND NAIL
- WINNEBAGO COUNTY MONUMENT AS NOTED
- SET 2.38" X 18" IRON PIPE WITH CAP WEIGHING 3.65 LBS/LIN FT
- () INDICATES RECORDED AS

TOPOGRAPHIC LINEWORK LEGEND

- EXISTING CHAIN LINK FENCE
- UE—UE— EXISTING UNDERGROUND ELECTRIC LINE
- OHE—OHE— EXISTING OVERHEAD ELECTRIC LINE
- SAN—SAN— EXISTING SANITARY SEWER LINE (SIZE NOTED)
- ST—ST— EXISTING STORM SEWER LINE (SIZE NOTED)

- 820— EXISTING MAJOR CONTOUR
- 818— EXISTING MINOR CONTOUR
- WETLAND SETBACK
- WETLAND SYMBOLS: DELINEATED WETLANDS BY GEORGE AND HOLDT SOIL CONSULTANTS IN JULY OF 2025.
- EXISTING ASPHALT SURFACE
- EXISTING GRAVEL SURFACE

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING SIGN
- EXISTING POST
- ▭ EXISTING ENDWALL
- ▭ EXISTING STORM RECTANGLE MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- ▭ EXISTING UNDEFINED UTILITY VAULT
- ▭ EXISTING ELECTRICAL PEDESTAL
- EXISTING UTILITY POLE
- ↑ EXISTING DOWN GUY

NOTES

DIGGER'S HOTLINE HAD BEEN CALLED ON THIS PROJECT ON JUNE 6TH, 2025 WITH TICKET NUMBERS 20252316513, 20252316597, 20252316611 AND 20252316765. VIERBICHER ASSOCIATES, INC. ACCEPTS NO RESPONSIBILITY FOR EXISTING UTILITIES NOT MARKED BY DIGGER'S HOTLINE.

ELEVATIONS ARE REFERENCED TO THE NAVD 88 BENCHMARK DATUM.

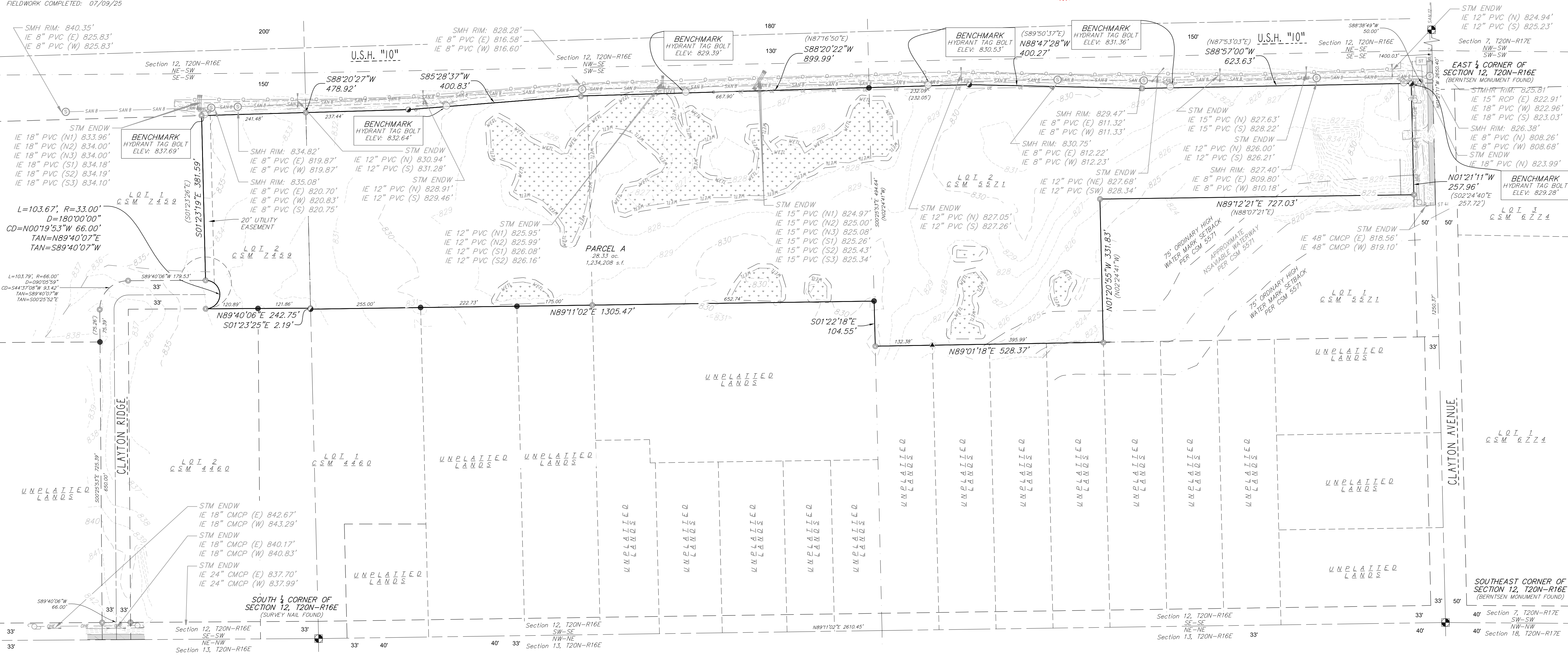
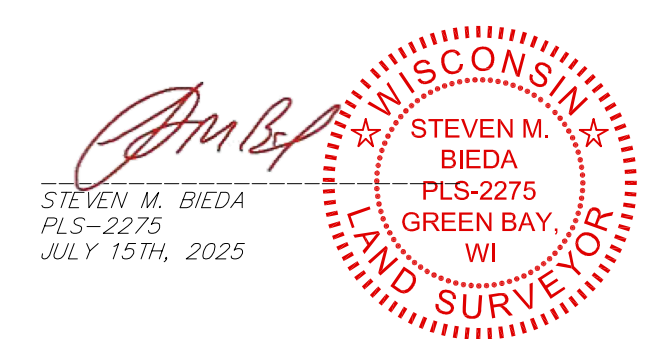
SURVEYOR'S CERTIFICATE

I, STEVEN M. BIEDA, PROFESSIONAL LAND SURVEYOR, PLS-2275, DO HEREBY CERTIFY THAT THE FOREGOING SURVEY WAS EXECUTED UNDER MY DIRECTION AND CONTROL; THAT SAID SURVEY MEETS THE MINIMUM STANDARDS FOR PROPERTY SURVEYS OF THE WISCONSIN ADMINISTRATIVE CODE (AE-7); AND THAT THE MAP HEREON IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

ALL OF LOT 2, MAP NO. 7459, CERTIFIED SURVEY MAPS, DOCUMENT NO. 1784699, WINNEBAGO COUNTY RECORDS, ALL OF LOT 2, MAP NO. 5571, CERTIFIED SURVEY MAPS, DOCUMENT NO. 1324302, WINNEBAGO COUNTY RECORDS, PART OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 AND THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 12, T20N-R16E, TOWN OF CLAYTON, WINNEBAGO COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SECTION 12, T20N-R16E; THENCE N01°21'11"W, 1250.37 FEET ALONG THE EAST LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 12; THENCE S88°38'49"W, 50.00 FEET TO THE POINT OF BEGINNING; THENCE S88°57'00"W, 623.63 FEET ALONG A NORTHERLY LINE OF LOT 2, MAP NO. 5571, CERTIFIED SURVEY MAPS, DOCUMENT NO. 1324302, WINNEBAGO COUNTY RECORDS; THENCE N88°47'28"W, 400.27 FEET ALONG A NORTHERLY LINE OF SAID LOT 2; THENCE S88°20'22"W, 899.99 FEET ALONG A NORTHERLY LINE OF SAID LOT 2; THENCE N85°28'37"E, 400.83 FEET; THENCE N88°20'22"E, 478.92 FEET ALONG A NORTHERLY LINE OF LOT 2, MAP NO. 7459, CERTIFIED SURVEY MAPS, DOCUMENT NO. 1784699, WINNEBAGO COUNTY RECORDS, AND ITS EXTENSION; THENCE N01°23'19"W, 381.59 FEET ALONG A WESTERLY LINE OF SAID LOT 2, ALSO BEING AN EASTERLY LINE OF LOT 1 OF SAID CERTIFIED SURVEY MAP NO. 7459; THENCE 103.67 FEET ALONG THE RIGHT OF WAY OF CLAYTON RIDGE, ALSO A WESTERLY LINE OF SAID LOT 2 BEING AN ARC OF A 33.00 FOOT RADIUS CURVE TO THE RIGHT WHOSE LONG CHORD BEARS S00°19'53"E, 66.00 FEET; THENCE N89°40'06"E, 242.75 FEET ALONG THE SOUTH LINE OF SAID LOT 2; THENCE S01°23'25"E, 2.19 FEET ALONG THE WEST LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 12; THENCE N89°11'02"E, 1305.47 FEET; THENCE S01°22'18"E, 104.55 FEET ALONG THE WEST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 12; THENCE N89°10'18"E, 528.37 FEET ALONG A SOUTHERLY LINE OF SAID LOT 2 OF SAID CERTIFIED SURVEY MAP 5571; THENCE N01°20'55"W, 331.83 FEET ALONG AN EASTERLY LINE OF SAID LOT 2, ALSO BEING A WESTERLY LINE OF SAID LOT 1 OF SAID CERTIFIED SURVEY MAP 5571; THENCE N89°12'21"E, 727.03 FEET ALONG A SOUTHERLY LINE OF SAID LOT 2, ALSO BEING A NORTHERLY LINE OF SAID LOT 1; THENCE N01°21'11"W, 257.96 FEET ALONG AN EASTERLY LINE OF SAID LOT 2, ALSO BEING THE WESTERLY RIGHT OF WAY OF NORTH CLAYTON AVENUE TO THE POINT OF BEGINNING.

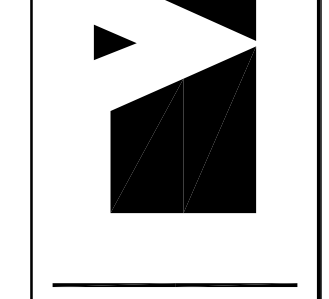
PARCEL CONTAINS 1,234,208 SQUARE FEET / 28.33 ACRES, MORE OR LESS.
PARCEL IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.



SURVEYED BY:
Vierblicher Associates, Inc.
400 Security Blvd, Ste 1
Green Bay, WI 54313
(920) 434-9670

SURVEYED FOR:
CLIENT: GAROT ROFFERS
OWNER: CLAYTON AVE
8989 CLAYTON AVE
CLAYTON, WINNEBAGO
DRAWING NO. S-4024

Job #: 240145
Date: 07/15/2025
Rev:
Drafted By: NDK
Checked By: MRA



vierblicher | engineers | advisors
planners

MEMORANDUM

Business Item D

From: Administrator/Staff
 To: Plan Commission
 Re: Plan Commission review & recommendation on a Site Plan Review Application submitted by Excel Engineering Inc on behalf of Spark Development, LLC for a proposed multi-family residential development located on Tax ID #006-0328-02-02 (Eagle Heights Dr).

Please see the comments below from Code Administrator Kamke:

Site details:

Parcel ID: 006-03280202 with zoning of R-4 multi-family residential district. The use of a multi-family residential building of more than 9 units is a conditional use in this district and also requires the submission of a site plan application. This property was the subject of a Conditional Use Permit request and approval in April 2025. Per 9.07-60, an approved Conditional Use Permit runs with the land and is binding on all subsequent property owners. However, Site Plan approvals are specific to the applicant.

The Site Plan review process looks at the effects of the proposal on traffic safety, the natural environment, and on surrounding properties relative to creation of potential nuisances from the proposal. Compliance with the ordinance design standards and other applicable requirements is also required.

The subject property is within the Clayton Sanitary District #1 area, and so a suggested condition of approval is requiring the connection to these utilities. The site is within the Town's Tax Increment District #1, but any residential development done without new platting of land does not count towards the maximums set forth in the TID document and Wisconsin Statutes. The site is within the jurisdiction of the East Central Wisconsin Regional Planning Commission for their review of the project against all documents contributing to the Areawide Water Quality Management Plan. A determination letter of conformity with those plans and regulations for this project was obtained from ECWRPC on September 30, 2025. The site has an intermittent stream along the northwest property line, and therefore the Winnebago County Shoreland ordinance may apply. The applicant had a public hearing with the County Planning & Zoning Committee on this request on September 30, 2025.

This proposal is for six new 12-unit buildings (72 units), each with one garage space and a second dedicated parking space in front of each garage door (144 spaces). Plans indicate an additional 74 standard parking spaces, and 5 accessible parking spaces for a total of 223 spaces. Ordinance standards require 2 spaces per unit (144), one additional space for every six units (+12=156), plus a sliding scale for accessible spaces, with at least one being van accessible. For standard space requirements of 151-200, 6 accessible spaces are required, making the total spaces 161. The proposed parking exceeds the overall minimums, but a suggested condition of approval is conversion of stalls to meet the minimum accessibility standard.

The site is within the Tier 1 Development Zone. Tier 1 requires at least 75% or more of the exterior wall surfaces to be covered by acceptable exterior building materials as defined Attachment C. The proposed plans for fiber cement siding and shakes does meet this requirement, and plans should be updated to reflect a change to this acceptable material from previous plans for vinyl siding. Roofing materials must be of acceptable materials and have a Solar Reflective Index number of 29 or higher (per the plans with pitch of 5:12).

The grounds landscaping plans meet the minimum requirements in both point totals as they relate to the impervious surface standards, and in the type percentage ratios (deciduous to evergreen to smaller shrub type landscaping).

Building landscaping has plans for both sides of the buildings that do not have paved parking spaces/garage access. The ordinance standard is for 75% of all building sides to be landscaped with appropriate materials. However, since there is no soil or landscape areas available where there are garage accesses, the submitted plans may be considered to meet the intent of the ordinance. Section F. of Attachment E gives the Town Board the authority to modify the requirements of the landscape design standards.

A lighting plan for the site was not submitted; all exterior lighting must be Dark Sky Certified as required by 9.08-210.

Suggested conditions of approval:

1. A site plan agreement shall be entered into between the landowner and the Town, per 9.07-182.
2. Stormwater and erosion control plans must meet the requirements set forth by Winnebago County and the State of Wisconsin, as applicable.
3. The project must connect to the available utilities, including sewer and water lines.
4. Convert some of the standard spaces to accessible space size to meet the minimum of 6 accessible spaces required.
5. Solar Reflective Index values for roofing materials must be submitted prior to building permit issuance. SRI values must be at least 29 or higher.
6. Landscaping must be installed within six (6) months of the building occupancy.
7. Lighting plan meeting the Dark Sky Certification standards must be submitted and reviewed for compliance before building permit issuance.

SUGGESTED MOTION(S):

Motion to recommend approval of the site plan review application submitted by Excel Engineering.

Motion to recommend denial of the site plan review application submitted by Excel Engineering.

Motion to recommend approval with conditions the site plan review application submitted by Excel Engineering.

Respectfully Submitted,
Kelsey

SITE PLAN APPLICATION

<p>Town of Clayton Town Hall 8348 Hickory Ave Larsen, WI 54947 Phone: 920-836-2007 Email: administrator@claytonwinnebago.wi.gov Website: https://www.townofclayton.net/</p>		<p><i>Office Use Only</i></p> Date: _____ / _____ /20____ Paid: \$ _____ <input type="checkbox"/> Check <input type="checkbox"/> Cash <input type="checkbox"/> Credit/Debit Card By: Please make checks payable to: TOWN OF CLAYTON Receipt #: _____
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SUBMITTAL FEES & REQUIREMENTS

Site Plans:	·Meets the requirements of the Town's Zoning Code (Pages 94-97 & 224-225) ·Meets the requirements of the Town's Subdivision Ordinance (can be found on the Town's website) ·Submit 1 Hard Copy with application and email an 11 x 17 copy
Fees:	See Town Fee Schedule
Plan of Operation:	·Letter describing the business

PROPERTY INFORMATION

Parcel ID / Tax Key No.: 006- 03280202	Current Zoning R-4
Site Address / Location: SW Corner of proposed Eagle Heights Dr. & Wing Ln.	
Current Land Use: Vacant	Proposed Land Use: Multi-family residential development.
Lot Size/Total Acreage: 14.06	Project Schedule: Late fall 2025

APPLICANT	PROPERTY OWNER (IF NOT THE SAME)
-----------	----------------------------------

Name Spark Development, LLC - Derek Liebhauser Street Address 2065 American Drive Suite A City Neenah State WI Zip Code 54956 Phone 920-428-9451 E-mail derek@sparkdevco.com	Name Town of Clayton - Kelly Wisnefske Street Address 8348 Hickory Avenue City Larsen State WI Zip Code 54947 Phone 920-836-2007 E-mail administrator@claytonwinnebago.wi.gov
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BUILDER	ENGINEER
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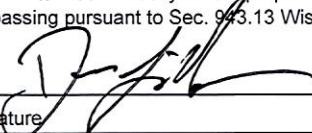
Name TBD Street Address _____ City _____ State _____ Zip Code _____ Phone _____ E-mail _____	Name Excel Engineering Inc - Grant Duchac Street Address 100 Camelot Dr City Fond du Lac State WI Zip Code 54935 Phone 920-926-9800 E-mail grant.duchac@excelengineer.com
--	---

SURVEYOR	<i>Office Use Only</i>
----------	------------------------

Name Excel Engineering Inc - Ryan Wilgreen Street Address 100 Camelot Dr City Fond du Lac State WI Zip Code 54935 Phone 920-926-9800 E-mail ryan.wilgreen@excelengineer.com	Newspaper Publication Dates: _____ & _____ Posting Date: _____ 300ft Neighborhood Notice Completed On: _____ Re-Zoning is: <input type="checkbox"/> Approved <input type="checkbox"/> Denied Comments: _____
---	--

APPLICANT ACKNOWLEDGEMENT & SIGNATURE

By the execution of this application, applicant hereby authorizes the Town of Clayton or its agents to enter upon the property during the hours of 7:00 AM to 7:00 PM daily for the purpose of inspection. Applicant grants the Town of Clayton or its agents even if applicant has posted this land against trespassing pursuant to Sec. 943.13 Wis. Stats.

 _____ Signature	9-8-25 _____ Today's Date
---	---------------------------------

September 8, 2025

Project Narrative

Project: Spark Development – Multi-Family Development
Eagle Heights Dr
Town of Clayton

Spark Development LLC is requesting site plan review and approval for a new multi-family development located at the southwest corner of Eagle Heights Dr & Wing Ln (vacant parcel 00603280202) in the Town of Clayton. The property was recently zoned to R-4 to allow for the development and a Conditional Use Permit for the proposed project is also in place. The proposed multi-family use will complement the existing multi-family residential use (Clayton Crossing Apartments) immediately east of the proposed development site and provide a buffer between the commercial/business uses to the south and future residential development that may occur to the north.

The property area is 14.06 acres, and the area of site disturbance is proposed at 10.1 acres. The development will consist of (6) 12-unit buildings and include a 1-stall garage per unit. All buildings will be 2-stories. A stand-alone maintenance building and mail room building is also proposed.

Exterior building materials consist of fiber cement siding, fiber cement shakes, vinyl windows, asphalt shingles, and aluminum fascia, soffit, gutters, and downspouts. A waste enclosure is proposed on the northeast portion of the site and contain a sufficient number of waste bins to conveniently accommodate all trash and waste generated by the proposed use. The waste enclosure materials will be comprised of masonry products. Landscape plantings will be provided in accordance with the Town requirements, in an approach which ensures species resiliency and complimentary aesthetics. Site lighting will be provided in a fashion that provides appropriate lighting for safety with building mounted lighting, consistent with the Legacy Park Apartments by Spark Development

Access to development will be via (2) driveways from Eagle Heights Dr. In addition to garage parking for each unit (72 spaces), an additional 144 surface parking spaces (including 5 handicap accessible) are proposed for a total of 216 spaces.

Public streets, regional stormwater facilities and municipal sanitary sewer and water are in place and were constructed to serve this and adjacent properties. The connection to sewer and water are off Wing Lane on the north side of the property. Private interceptors will serve the development.

Post-construction stormwater management is provided with a regional wet pond north of Wing Lane. Site drainage is diverted to the public right-of-way which then drains directly to the regional pond.

On-site wetlands have been delineated and will be protected as shown on the development plans.

EAGLE HEIGHTS APARTMENTS

NEENAH, WISCONSIN

ISG PROJECT # 23-28987



PROJECT GENERAL NOTES	
A.	ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS, WHICH INCLUDE, BUT ARE NOT LIMITED TO, THE OWNER - CONTRACTOR AGREEMENT, THE PROJECT MANUAL (WHICH INCLUDES GENERAL AND SUPPLEMENTARY CONDITIONS AND SPECIFICATIONS), DRAWINGS OF ALL DISCIPLINES AND ALL ADDENDA, MODIFICATIONS AND CLARIFICATIONS ISSUED BY THE ARCHITECT / ENGINEER.
B.	CONTRACT DOCUMENTS SHALL BE ISSUED TO ALL SUBCONTRACTORS BY THE GENERAL CONTRACTOR IN COMPLETE SETS IN ORDER TO ACHIEVE THE FULL EXTENT AND COMPLETE COORDINATION OF ALL WORK. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND CORRELATING QUANTITIES AND DIMENSIONS.
C.	WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
D.	FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT / ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
E.	DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPE OF DETAILING REQUIRED THROUGHOUT THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO DETAILS SHOWN. WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, NOTIFY ARCHITECT / ENGINEER BEFORE PROCEEDING WITH THE WORK.
F.	ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED ACCORDING TO MANUFACTURERS' INSTRUCTIONS. IN CASE OF DISCREPANCIES BETWEEN MANUFACTURERS' INSTRUCTIONS AND THE CONTRACT DOCUMENTS, NOTIFY ARCHITECT / ENGINEER BEFORE PROCEEDING WITH THE WORK.
G.	LARGE-SCALE, MORE SPECIFIC DETAILS TAKE PRECEDENCE OVER SMALLER-SCALE, LESS SPECIFIC DETAILS AND INFORMATION. MORE STRINGENT REQUIREMENTS FOR CODE, PRODUCTS AND INSTALLATION TAKE PRECEDENCE OVER LESS STRINGENT REQUIREMENTS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
H.	PROVIDE CONTINUOUS SEALANT AROUND ALL MATERIALS AT ALL INTERIOR AND EXTERIOR WALL PENETRATIONS. REFER TO SPECIFICATIONS FOR APPROPRIATE SEALANT.
I.	ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID GALVANIC CORROSION.
J.	SEAL ALL OPENINGS IN WALLS, FLOORS, CEILINGS, AND ROOFS, AROUND DUCTS, PIPES, VENTS, TRAPS, CONDUIT AND ALL OTHER PENETRATIONS WITH FIRE STOPPING AS SPECIFIED AND REQUIRED BY CODES. IF FIRE STOPPING IS NOT REQUIRED AT PENETRATIONS PER CODE, SEAL WITH CONTINUOUS SEALANT.
K.	PROVIDE TEMPORARY WALLS, ENCLOSURES, DUST SHIELDS AND WALK-OFF MATS AS REQUIRED TO SEPARATE DEMOLITION AND CONSTRUCTION FROM EXISTING BUILDING.
L.	PROVIDE BRACING AND SHORING AS REQUIRED TO PROTECT EXISTING STRUCTURE TO REMAIN. PROVIDE SECURE AND WEATHERPROOF ENCLOSURE OF TEMPORARY OPENINGS IN EXTERIOR WALLS. PROTECT ALL BUILDING COMPONENTS FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION.
M.	RESTORE ALL EXISTING AREAS AFFECTED BY DEMOLITION AND RELATED NEW CONSTRUCTION TO THEIR ORIGINAL CONDITION, INCLUDING BUT NOT LIMITED TO WALLS, FLOORS, AND CEILINGS AND THEIR ASSOCIATED FINISHES.
N.	PROVIDE SOLID WALL BACKING WITH METAL OR FIRE-RETARDANT WOOD BLOCKING BEHIND DOOR HARDWARE SUCH AS WALL STOPS, BUMPERS, HOLD OPENS, ETC. AND AT ALL ITEMS REQUIRING FASTENING THROUGH GYP BD. TO BLOCKING.
O.	RENDERED IMAGES MAY NOT BE AN ACCURATE REPRESENTATION OF BUILDING CONDITIONS. REFER TO PLANS AND DETAILS CONTAINED WITHIN FOR SCOPE OF WORK.

SHEET INDEX	
SHEET #	SHEET TITLE
GENERAL	
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G1-21	CODE DATA AND CODE DATA PLAN
ARCHITECTURAL	
A1-01	WALL TYPES AND NOTES
A1-03	EXTERIOR WALL TYPES AND HORIZONTAL ASSEMBLIES
A1-21	FIRST FLOOR PLAN
A1-22	SECOND FLOOR PLAN
A1-31	FIRST FLOOR REFLECTED CEILING PLAN
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A1-41	FIRST FLOOR FINISH PLAN AND FINISH SCHEDULE
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A1-51	ENLARGED UNIT AND BALCONY PLANS
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A2-11	EXTERIOR ELEVATIONS
A3-11	BUILDING SECTIONS
A3-21	WALL SECTIONS
A4-11	DOOR SCHEDULE, DOOR AND FRAME TYPES



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PROJECT


EAGLE HEIGHTS APARTMENTS

NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	23-28987
FILE NAME	28987 ARCH R22.RVT
DRAWN BY	SLD
DESIGNED BY	MAC
REVIEWED BY	MAC
ORIGINAL ISSUE DATE	09/05/25
CLIENT PROJECT NO.	

PROJECT INDEX:

OWNER: HEIGHTS APARTMENTS DEREK LIEBHAUSER (920) 428-9451	PROJECT ADDRESS: EAGLE HEIGHTS APARTMENTS NEENAH, WISCONSIN 54956	MANAGING OFFICE:  PROJECT MANAGER: TOM LEMKUIL EMAIL: TOM@LEMKUILARCHDESIGNS.COM
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TITLE

TITLE SHEET, SHEET INDEX, PROJECT GENERAL NOTES

SHEET

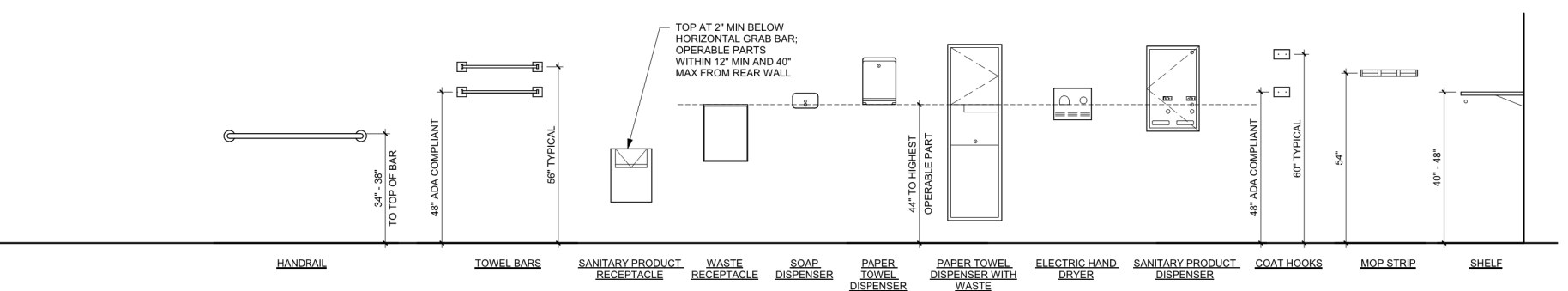
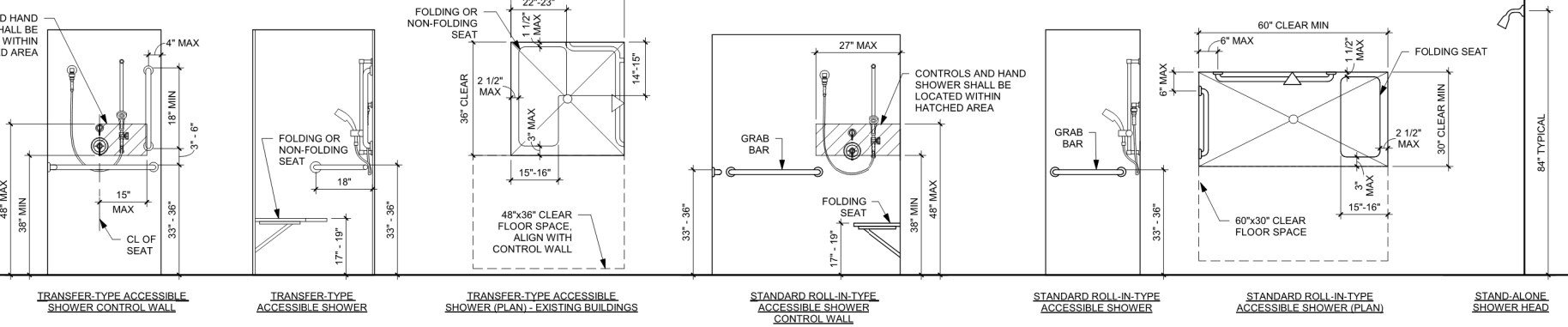
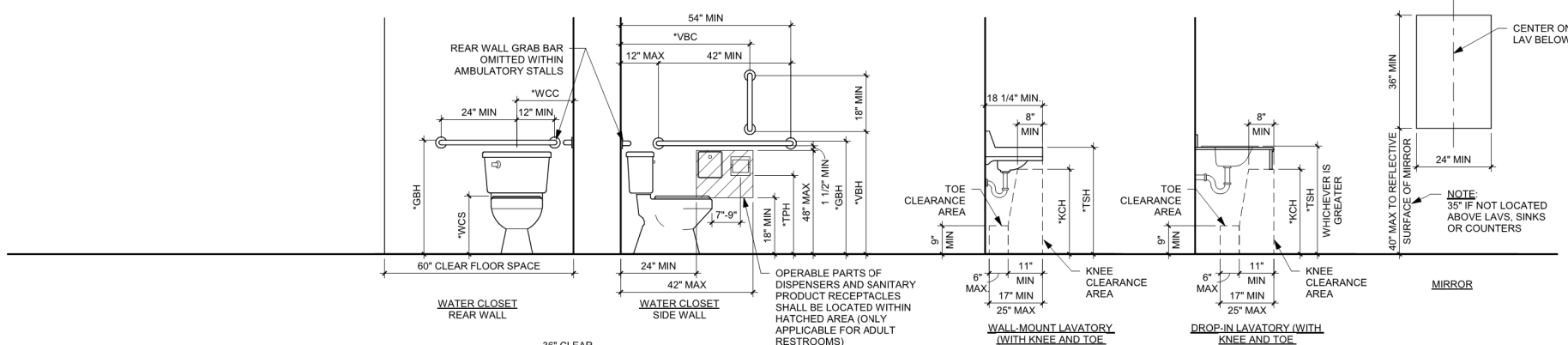
G1-10



MOUNTING HEIGHTS AND STANDARDS

FIXTURE CLEARANCES

DESCRIPTION	FIXTURE GROUPS (PER AGE RANGE)		
	R1 ADULTS (>12 YR)		R2
	A ACCESSIBLE	S STANDARD	3-4 YR
*WCC WATER CLOSET CENTER LINE	16" - 18"	16" - 18"	12"
*WCS WATER CLOSET SEAT HEIGHT	17" - 19"	17" - 19"	11" - 12"
*TPH TOILET TISSUE DISPENSER HEIGHT	18" - 48"	18" - 48"	14"
*GBH GRAB BAR HEIGHT	33" - 36"	NA	18" - 20"
*VBH VERTICAL GRAB BAR HEIGHT	39" - 41"	NA	21" - 30"
*VBC VERTICAL GRAB BAR CENTERLINE	39" - 41"	NA	34" - 36"
*URH URINAL RIM HEIGHT	17"	24"	11" - 12"
*TSH TOP OF SINK OR COUNTER HEIGHT	34"	34"	31"
*KCH KNEE CLEARANCE HEIGHT	27"	27"	24"
*HDH HIGH DRINKING FOUNTAIN SPOUT HEIGHT	38" - 43"	38" - 43"	30" - 43"
*LDH LOW DRINKING FOUNTAIN SPOUT HEIGHT	36"	36"	30"
*DSD DRINKING FOUNTAIN SPOUT DEPTH	5"	5"	3 1/2"



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PROJECT

EAGLE HEIGHTS APARTMENTS

NEENAH WISCONSIN

REVISION SCHEDULE

DATE	DESCRIPTION	BY

PROJECT NO. 23-28987
 FILE NAME 28987 ARCH R22.RVT
 DRAWN BY SLD
 DESIGNED BY MAC
 REVIEWED BY MAC
 ORIGINAL ISSUE DATE 03/29/24

CLIENT PROJECT NO.

ABBREVIATIONS

# POUND OR NUMBER	ENCL ENCLOSURE	LB POUND	RTE REFER TO ELEVATION
@ ACCUSTICAL CEILING PANEL	ETHL ETHYLENE PROPYLENE DIENE MONOMER	LLH LONG LEG HORIZONTAL	RTU ROOF TOP UNIT
ACP ACCUSTICAL CEILING PANEL	EPX EPOXY	LLV LONG LEG VERTICAL	SA SUPPLY AIR
ACT ACCUSTICAL CEILING TILE	EQ EQ	LVV LONG LEG VERTICAL	SC SEALED CONCRETE
ADA AMERICANS WITH DISABILITIES ACT	EQUIP EQUIPMENT	LVT LUXURY VINYL TILE	SF SQUARE FOOT
ADD ADDENDUM	ETC ET CETERA	MATL MATERIAL	SM SURFACE MOUNTED SPECIFICATION
ADSL ADDITIONAL	EWATER ELECTRIC WATER COOLER	MAX MAXIMUM	SPEC SPECIFICATION
ADJ ADJACENT	EWC ELECTRIC WATER COOLER	MCH MECHANICAL	SS SOLID SURFACE
AFF ABOVE FINISH FLOOR	EXP EXPANSION EXPOSED	MCH MECHANICAL ELECTRICAL PLUMBING	SSTL STAINLESS STEEL
AFG ABOVE FINISHED GRADE	EXT EXTERIOR	MEZZ MEZZANINE	STD STANDARD
AHU AIR HANDLING UNIT	FA FRESH AIR	MFR MANUFACTURER	STN STONE
ALT ALTERNATE	FA FRESH AIR	MN MINIMUM	STOR STORAGE
ALUM ALUMINUM	FAAP FIRE ALARM ANNUNCIATOR PANEL	MISC MISCELLANEOUS	SUSP SUSPENDED
APPROX APPROXIMATELY	FACP FIRE ALARM CONTROL PANEL	NO NO	SV SHEET VINYL
ARCH ARCHITECTURAL	FBO FURNISHED BY OTHERS	NO MASONRY OPENING	SY SQUARE YARDS
AWP ACCUSTICAL WALL PANEL	FD FLOOR DRAIN	MTD MOUNTED	T&G TONGUE AND GROOVE
B BASE	FE FIRE EXTINGUISHER	MTL METAL	TEMP TEMPERATURE AND PRESSURE
BD BOARD	FEC FIRE EXTINGUISHER CABINET	MULL MULLION	T&P TACK BOARD
BL BROADLOOM CARPET	FF FLOOR FINISH	NA NOT APPLICABLE	T&D TO BE DETERMINED
BLDG BUILDING	FFB FINISHED FLOOR ELEVATION	NTS NOT TO SCALE	TEC TECTUM
BO BOTTOM OF OR BY OWNER	FRP FIBERGLASS REINFORCED PLASTIC	OC ON CENTER	TEL TELEPHONE
BR BRICK	FRZ FREEZER	OCBW ON CENTER EACH WAY	TEMP TEMPERATURE
BRG BEARING	FS FLOOR SINK	OD OUTSIDE DIAMETER	TER TERRAZZO
BSMT BASEMENT	FT FOOT OR FEET	OH OVERHEAD	TO TOP OF
C CONDUIT	FTD FOOTING	CH OVERHEAD DOOR	TOF TOP OF FOOTING
CFB COLD FORMED STEEL	GA GAUGE	CL OVERALL LENGTH	TOL TOP OF LEDGE
CG CORNER GUARD	GALV GALVANIZED	OPR OVERFLOW ROOF DRAIN	TOW TOP OF WALL
CIP CAST IN PLACE CONCRETE	GEN GENERAL CONTRACTOR	OSB ORIENTED STRAND BOARD	TR TAMPER RESISTANT
CL CENTERLINE	GFCI GROUND FAULT CIRCUIT INTERRUPT	PC PHOTO CELL POLISHED CONCRETE	TS TUBE STEEL (THRESHOLD) / TRANSITION STRIP
CLG CEILING	GND GROUND	PLAM PLASTIC LAMINATE	TV TELEVISION
CM CORRUGATED METAL	GND GROUND	PWP PLASTIC LAMINATE WALL PANEL	TYP TYPICAL
CMU CONCRETE MASONRY UNIT	GP GP	PNT PAINT	UG UNDERGROUND
CO CLEANOUT	HD HUB DRAIN	PNT-HE EPOXY PAINT	UH UNIT HEATER
CONC CONCRETE	HOW HOT DIP GALVANIZED	PNT-HE POLYURETHANE POLYISOCYANURATE	UNT UNLESS NOTED OTHERWISE
CONF CONFERENCE	HOW HOW	PNT-HE POLYURETHANE POLYISOCYANURATE	VCT VINYL COMPOSITE TILE
CONT CONTINUOUS	HRM HORIZONTAL	PRV POWER ROOF VENTILATOR	VERT VERTICAL
CPT CARPET	HRZ HORIZONTAL	PVC POLYVINYL CHLORIDE	VF VINYL FLOOR
CR CHAR RAIL	HS HOLLOW METAL	QT QUARRY TILE	VF VERIFY IN FIELD
CRK CRACK	HT HEIGHT	QTZ QUARTZ	VTR VENT THROUGH ROOF
CT CURTAIN	HAC HEATING VENTILATION AND AIR CONDITIONING	RA RETURN AIR	VWP VENEER WALL PANEL
CY CUBIC YARD	IG ISOLATED GROUND	RB RESILIENT BASE	WV WITH
DA DEMOLITION	IMP INSULATED METAL PANEL	RBR REFLECTED CEILING PLAN	WO WITHOUT
DF DRINKING FOUNTAIN	INFO INFO	REF REFLECTED CEILING PLAN	WC WATER CLOSET
DH DOOR HOLDER (MAGNETIC)	INSUL INSULATION	REF REFLECTED CEILING PLAN	WCG WALL COVERING
DI DIA	INT INTERIOR	REF REQUIRED	WF WINDOW FILM
DLS DIMENSIONAL LETTER SIGNAGE	J JOINT BEARING ELEVATION	RES RESINOUS FLOOR	WG WALL GUARD
EA EACH	JST JOIST	REV REVISION / REVISED	WH WALL HYDRANT
EC ELECTRICAL CONTRACTOR	KES KITCHEN EQUIPMENT SUPPLIER	ROW / RW RIGHT OF WAY	WHR WATER HEATER
EAH EXTERIOR INSULATION FINISH SYSTEM	KEV KEVIN	WWF WET FLOOR	WP WEATHERPROOF
EFC EXHAUST FAN	KW KILOWATT	WTF WINDY TREATMENT	WT WOOD TREATMENT
EFS EXTERIOR INSULATION FINISH SYSTEM	LAV LAVATORY	WTF WET FLOOR	WTF WET FLOOR
ELEC ELECTRICAL		WTF WET FLOOR	WTF WET FLOOR
ELEV ELEVATION			
EMERG EMERGENCY			

MATERIALS KEY

	BATT INSULATION
	BRICK
	CONCRETE (SECTION)
	CMU (SECTION)
	EARTH
	GRANULAR FILL
	GRAVEL
	GYPSON BOARD OR SHEATHING
	RIGID INSULATION
	PLYWOOD
	SAND
	STEEL
	SYNTHETIC STUCCO
	WOOD
	SPRAY IN PLACE INSULATION

TAGS AND SYMBOLS

SECTION

SECTION NUMBER: A1-11

SHEET NUMBER: 1

ELEVATION NUMBER

ELEVATION NUMBER: 1

SHEET NUMBER: 1

1 DENOTES ANNOTATION IS REFERENCING ANOTHER VIEW

DETAIL CALLOUT

DETAIL NUMBER: A1-11

SHEET NUMBER: 1

AREA OF DETAIL: 1

DRAWING TITLE

1 VIEW NAME

1/8" = 1'-0"

ELEVATION

LEVEL 1

100'-0"

NEW CONSTRUCTION GRIDS

KEYNOTE TAG: 3

DOOR NUMBERS: 101

WALL TYPE: M12

SHEAR WALL TYPE: SW1

SLAB TYPE: SL#

CEILING, FLOOR, OR ROOF ASSEMBLY TYPE: F1

WINDOW TYPE: AL15

EQUIPMENT TYPE: A

FLOOR MATERIAL TYPE: F FN#

MATERIAL TYPE: FN#

CASEWORK TAG

CDS CATALOG NUMBER FROM NORTH AMERICAN ARCHITECTURAL WOODWORK STANDARDS (NAAWS)

(IF "M" IS INCLUDED SEE NOTE BELOW FOR DESCRIPTION OF MODIFICATION)

NOMINAL WIDTH

NOMINAL DEPTH

NOMINAL HEIGHT

DESCRIPTION OF MODIFICATION FROM CDS CATALOG

FRAMING TAG

MEMBER SIZE

NUMBER OF STUDS

CAMBER SIZE

REACTION, TYPICAL BOTH ENDS

MOMENT CONNECTION SYMBOL

M1

*REFER TO MOMENT CONNECTION DETAILS

FOOTING STEP

LEDGE STEP

FOOTING & LEDGE STEP

BEAM SPLICE SYMBOL

PIER TYPE

P1

FOOTING TYPE

F1

FOUNDATION WALL TYPE

FDN1

DIRECTION OF INSTALL

SPOT ELEVATION

??? 100'-0"

DESCRIPTION ELEVATION

CAP PLATE

CP#

COLUMN TYPE

CP#

BASE PLATE

BP#

WELD SYMBOL

*REFER TO AMERICAN WELD SYMBOL STANDARDS

1/4" 2-12 NOTES

TITLE

MOUNTING HEIGHTS, ABBREVIATIONS AND SYMBOLS

SHEET

G1-11

Item D.



GENERAL CODE DATA

Occupancy Type - R2 / U (GARAGES)
 Building Type - VB
 Sprinklered
 Allowable Area - 21,000
 Actual Area - 17,640

TOTAL NUMBER OF UNITS LOCATED ON SITE AFTER CONSTRUCTION COMPLETED: 144 TOTAL

NUMBER OF TYPE A UNITS ON SITE = 3 *IF BUILDINGS CONSTRUCTED AND OCCUPIED AT DIFFERENT PHASES, AT NO TIME SHOULD THERE BE LESS THE 2% OF TYPE A UNITS TOTAL ON SITE

CODE DATA PLAN KEY

⊗ EXIT

FBI 1-HOUR FIRE BARRIER

FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING. SUCH IDENTIFICATION SHALL:

1. BE LOCATED IN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACES
2. BE LOCATED WITHIN 15 FEET OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION, AND
3. INCLUDE LETTERING NOT LESS THAN 3 INCHES IN HEIGHT WITH A MINIMUM 3/8" STROKE IN A CONTRASTING COLOR INCORPORATING THE SUGGESTED WORDING "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS" OR OTHER SIMILAR WORDING.

FIRE SUPPRESSION NOTES
(NEW SPRINKLER SYSTEM)

THROUGHOUT AREA OF WORK, PROVIDE A NEW NFPA 13 FIRE SUPPRESSION (SPRINKLER) SYSTEM. THE LICENSED AUTOMATIC SPRINKLER SYSTEM DESIGNER / INSTALLER SHALL FIELD VERIFY ALL CONDITIONS PRIOR TO BID. THE NFPA 13R SPRINKLER SYSTEM SHALL BE DESIGNED, INSTALLED, AND TESTED BY A LICENSED AUTOMATIC SPRINKLER SYSTEM DESIGNER / INSTALLER AND SHALL MEET ALL APPLICABLE CODE REQUIREMENTS. THE LICENSED AUTOMATIC SPRINKLER SYSTEM DESIGNER SHALL PROVIDE AUTOMATIC SPRINKLER SYSTEM DESIGN DOCUMENTS AND SHALL SUBMIT THEM TO ALL APPLICABLE JURISDICTIONS AND AUTHORITIES AND SHALL PROCURE ALL NECESSARY PERMITS. SPRINKLER DESIGNER / INSTALLER SHALL PAY ALL NECESSARY PERMITTING FEES.

DESIGN OF NEW NFPA 13R SPRINKLER SYSTEM SHALL BE BASED ON, BUT NOT LIMITED TO THE FOLLOWING CRITERIA:

1. COMPLY WITH NFPA 13R AND ALL OTHER APPLICABLE CODES.
2. DESIGN SPRINKLER HEAD LAYOUT TO PROVIDE ADEQUATE COVERAGE PER CODE REQUIREMENTS.
3. DESIGN SPRINKLER HEAD AND PIPING LAYOUT INCLUDING ALL DROPS, ARM-OVERS AND MAIN PIPES TO AVOID DIFFUSERS, LIGHT FIXTURES, MECHANICAL WORK, PLUMBING WORK, ELECTRICAL WORK, NEW CONSTRUCTION WORK AND ALL OTHER WORK AND COMPONENTS IN THE CONTRACT.
4. PROVIDE PROPER COVERAGE IN CONCEALED SPACES AS REQUIRED PER CODE.
5. ALL SPRINKLER PIPING AND COMPONENTS SHALL BE CONCEALED ABOVE CEILINGS AND WITHIN WALLS.
6. ALL SPRINKLER HEADS TO BE INSTALLED IN ACUSTICAL CEILING TILE SHALL BE INSTALLED IN CENTER OF TILE.

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PROJECT

EAGLE HEIGHTS APARTMENTS

NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

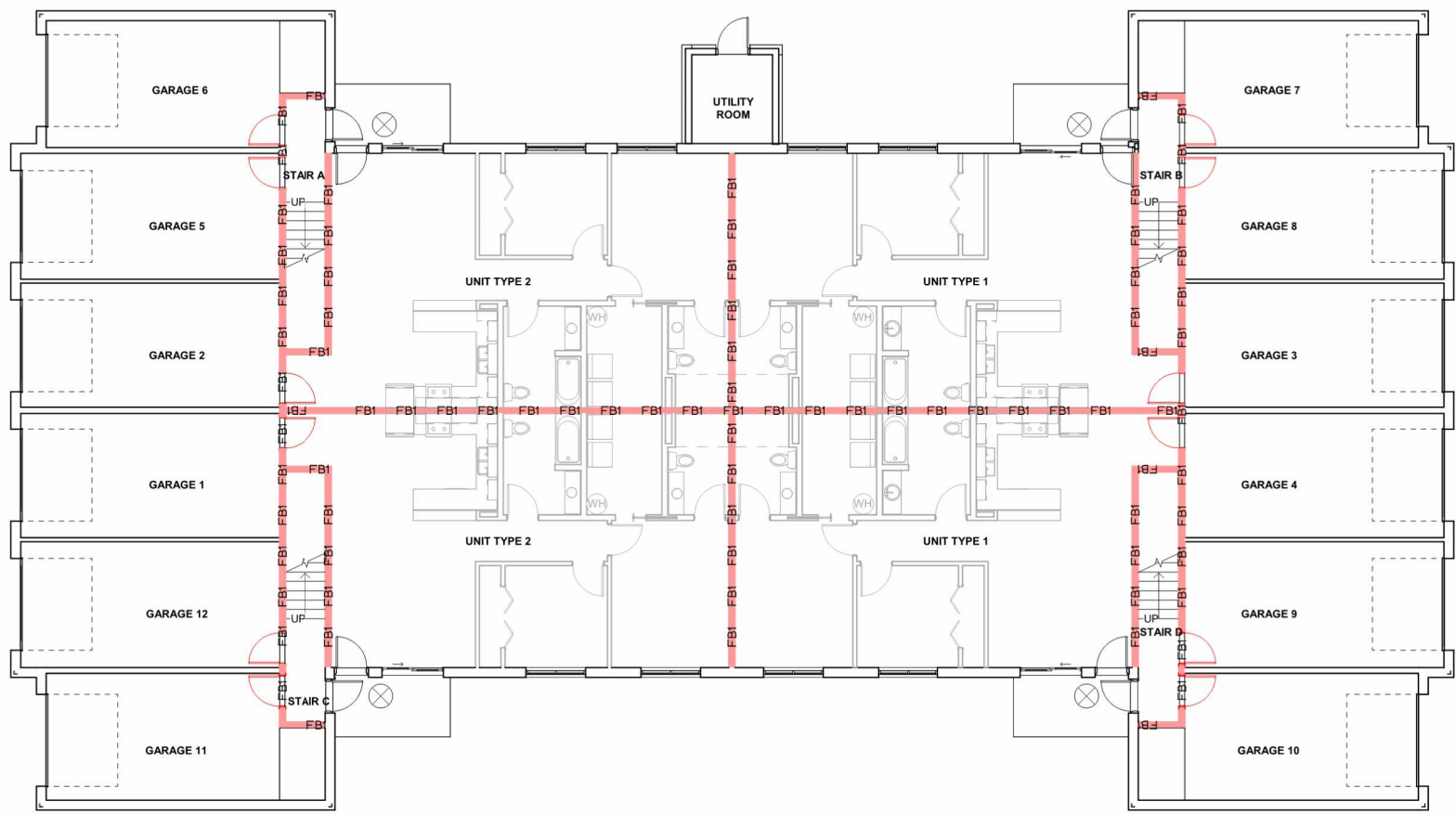
PROJECT NO.	23-28987
FILE NAME	28987 ARCH R22.RVT
DRAWN BY	SLD
DESIGNED BY	MAC
REVIEWED BY	MAC
ORIGINAL ISSUE DATE	03/29/24
CLIENT PROJECT NO.	

CODE DATA AND CODE DATA PLAN

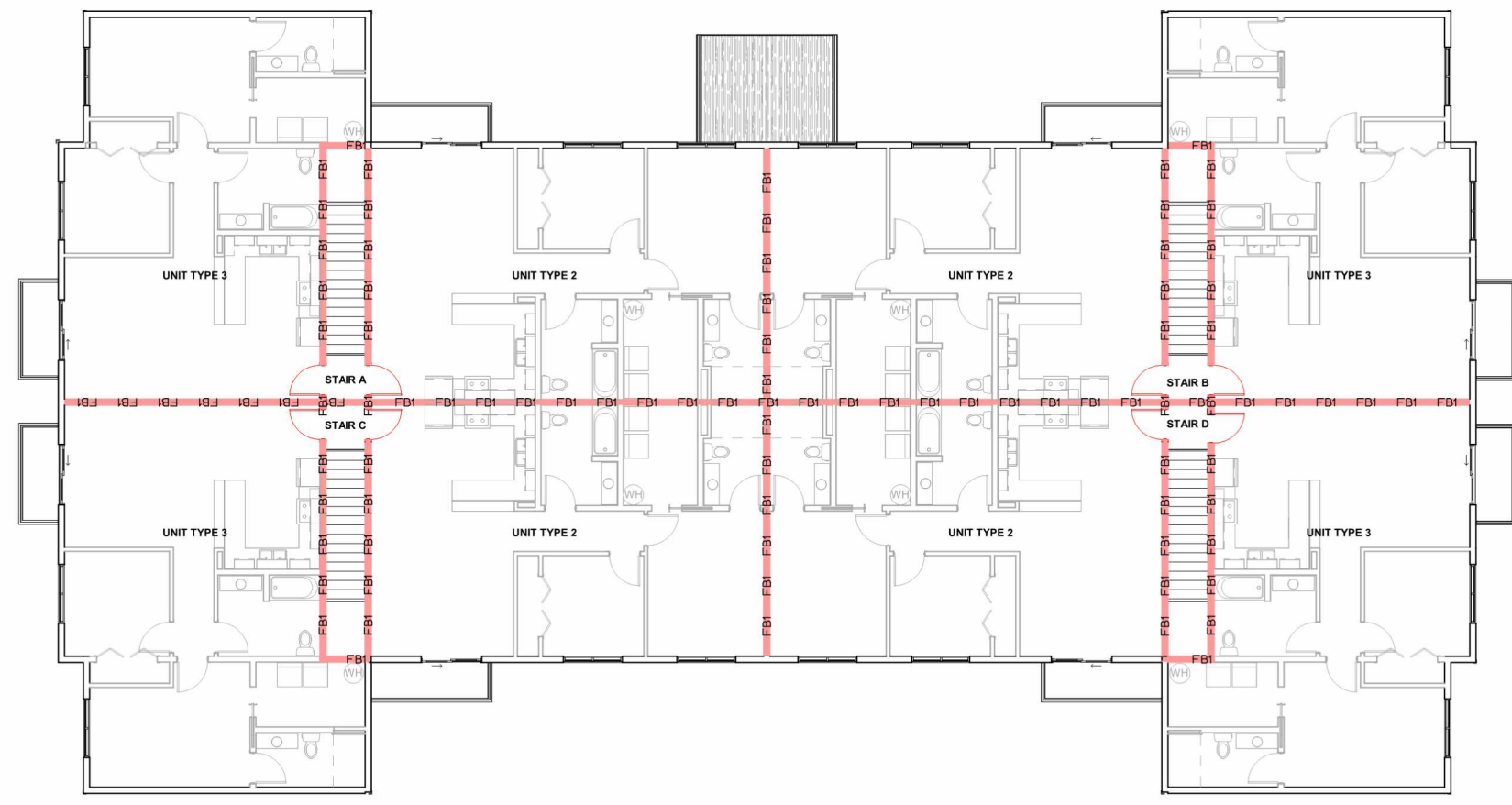
SHEET

G1-21

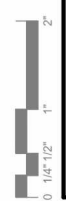
33



1 FIRST FLOOR CODE DATA PLAN
1/8" = 1'-0"



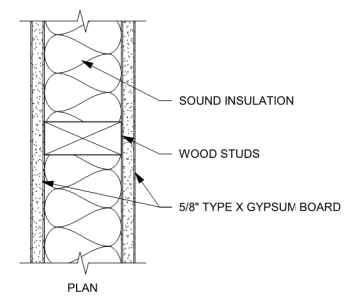
2 SECOND FLOOR CODE DATA PLAN
1/8" = 1'-0"





GENERAL ASSEMBLY NOTES:

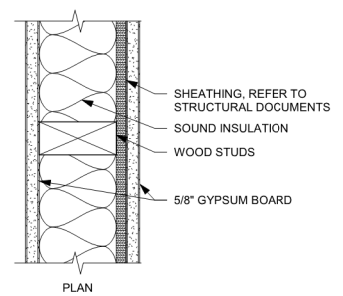
- A. NOT ALL ASSEMBLY TYPES LISTED APPLY TO THIS PROJECT. REFER TO FLOOR PLANS FOR LOCATIONS AND ADDITIONAL NOTES.
 - B. LIGHT GAUGE STEEL FRAMING MEMBER DESIGNATION SYSTEM: (REFER TO STRUCTURAL NOTES)
 - 600S125-54 (EQUIVALENT TO 6" x 16 GAUGE STUD OR JOIST WITH 1 1/4" FLANGES)
 - MINIMUM BASE METAL THICKNESS IN MILS. EXAMPLE - .054 = 54 MILS)
 - 18 = 25 GAUGE 43 = 18 GAUGE
 - 27 = 22 GAUGE 54 = 16 GAUGE
 - 30 = 20 GAUGE (DRYWALL) 68 = 14 GAUGE
 - 33 = 20 GAUGE (STRUCTURAL) 97 = 12 GAUGE
 - FLANGE WIDTH (1/100 INCHES): EXAMPLE - 125 = 1.25"
 - STYLE: S = STUD OR JOIST SECTION (WITH FLANGE STIFFENERS) = []
 - T = TRACK SECTION = []
 - U = CHANNEL SECTION (STUDS WITHOUT FLANGE STIFFENERS) = []
 - F = FURRING CHANNEL = []
 - Z = ZEE SECTION = []
 - MEMBER DEPTH (1/100 INCHES): EXAMPLE - 600 = 6"
 - C. IN ALL WET AREAS SUCH AS SHOWERS AND TUBS, INSTALL CEMENT-BASED BACKER BEHIND AREAS SCHEDULED TO RECEIVE TILE FINISH.
 - D. PROVIDE A MINIMUM OF MOISTURE-RESISTANT GYPSUM BOARD ON ALL RESTROOM WALLS AND OTHER AREAS SCHEDULED TO RECEIVE FRP OR TILE FINISH.
 - E. ALL PARTITIONS CONTAINING PLUMBING OR HAVING AN EXTERIOR FACE SHALL BE INSULATED.
 - F. REFERENCE FINISH PLANS FOR ADDITIONAL FINISHES NOT INDICATED ON PARTITION TYPES.
 - G. INCLUDE PAINTABLE ACOUSTIC SEALANT AT ALL TERMINATIONS AND PENETRATIONS FOR ALL NON RATED ASSEMBLIES. TYPICAL BOTH SIDES OF ASSEMBLY.
 - H. PROVIDE FIRE-TREATED WOOD OR STEEL BACKING FOR ALL WALL-MOUNTED FINISH CARPENTRY, ARCHITECTURAL WOODWORK, TOILET PARTITIONS, ACCESSORIES AND OTHER SIMILAR ITEMS.
 - I. WOOD FRAMING MEMBERS IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
 - J. REFER TO STRUCTURAL DOCUMENTS FOR SHEAR WALL CRITERIA.
 - K. ALL NON-RATED WALLS TO BE CONSTRUCTED FULL HEIGHT TO THE UNDERSIDE OF FLOOR OR ROOF STRUCTURE ABOVE UNLESS NOTED OTHERWISE.
 - L. PROVIDE DOUBLE TOP PLATES AT ALL WOOD LOAD BEARING WALLS.
 - M. NON LOAD BEARING METAL STUD WALLS SHALL HAVE A SLOTTED TOP TRACK FOR DEFLECTION. FINISHES / SUBSTRATES SHALL NOT BE FASTENED TO THE TOP TRACK.
 - N. PROVIDE 1" GAP FOR DEFLECTION ALLOWANCE BETWEEN WALL FINISH, SUBSTRATE, AND STRUCTURE ABOVE. TYPICAL UNLESS NOTED OTHERWISE ON STRUCTURAL DOCUMENTS.
 - O. COLD FORMED FRAMING DESIGNED BY FRAMING CONTRACTOR; REFER TO STRUCTURAL NOTES FOR COMPONENTS AND CLADDING DESIGN REQUIREMENTS.
- ADDITIONAL NOTES FOR FIRE-RATED ASSEMBLIES:**
- P. ALL ASSEMBLIES NOTED TO BE FIRE-RESISTANCE RATED SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE REFERENCED FIRE RESISTANCE TEST. ANY PROPRIETARY PRODUCTS REQUIRED BY FIRE RATED ASSEMBLIES AS INDICATED ON THE DRAWINGS ARE APPROVED.
 - Q. ALTERNATE MATERIALS AND ASSEMBLIES MUST BE APPROVED BY THE ARCHITECT PRIOR TO COMMENCING WORK.
 - R. HIGHER FIRE-RATED ASSEMBLIES SHALL BE CONSTRUCTED BEFORE LOWER (OR NON-RATED) ASSEMBLIES.
 - S. ALL FIRE-RATED WALLS TO BE CONSTRUCTED FULL HEIGHT FROM TOP OF UNFINISHED FLOOR TO UNDERSIDE OF STRUCTURE ABOVE.
 - T. INCLUDE SEALANT, MATERIALS, AND/OR ASSEMBLIES AT ALL TERMINATIONS AND PENETRATIONS WHICH MAINTAIN THE FIRE-RESISTANCE RATING. TYPICAL BOTH SIDES OF ASSEMBLY.
 - U. REFER TO IBC CHAPTER 7, TABLE "MINIMUM EQUIVALENT THICKNESS OF BEARING OR NONBEARING CONCRETE MASONRY WALLS" FOR CALCULATED FIRE-RESISTANCE RATING.



WALL TYPE	STUD DESIGNATION	SPACING	MAX. HEIGHT (5 PSF, L/240)	SOUND TRANSMISSION (STC)	FIRE RATING / UL DESIGN
<E2>	2x2	16"			
<E4>	2x4	16"			
<E6>	2x6	16"			
<E8>	2x8	16"			

NOTES:

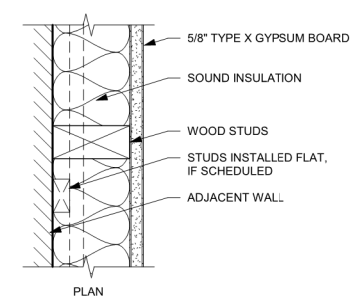
WALL TYPE E (WOOD STUD PARTITION)
NOT TO SCALE



WALL TYPE	STUD DESIGNATION	SPACING	MAX. HEIGHT (5 PSF, L/240)	SOUND TRANSMISSION (STC)	FIRE RATING / UL DESIGN
<ES2>	2x2	16"			
<ES4>	2x4	16"			
<ES6>	2x6	16"			
<ES8>	2x8	16"			

NOTES:

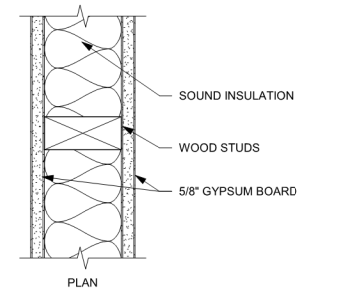
WALL TYPE ES (WOOD STUD PARTITION)
NOT TO SCALE



WALL TYPE	STUD DESIGNATION	SPACING	MAX. HEIGHT (5 PSF, L/240)	SOUND TRANSMISSION (STC)	FIRE RATING / UL DESIGN
<F1>	1x2 (FLAT)	16"			
<F2>	2x2	16"			
<F4>	2x4	16"			
<F6>	2x6	16"			
<F8>	2x8	16"			

NOTES:

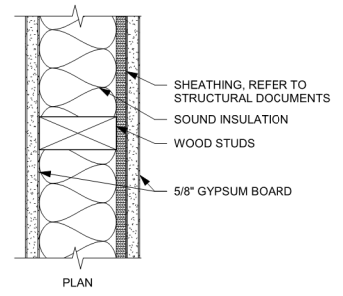
WALL TYPE F (WOOD STUD FURRING)
NOT TO SCALE



WALL TYPE	STUD DESIGNATION	SPACING	MAX. HEIGHT (5 PSF, L/240)	SOUND TRANSMISSION (STC)	FIRE RATING / UL DESIGN
<G2>	2x2	16"			1 HOUR / U305
<G4>	2x4	16"			1 HOUR / U305
<G6>	2x6	16"			1 HOUR / U305
<G8>	2x8	16"			1 HOUR / U305

NOTES:

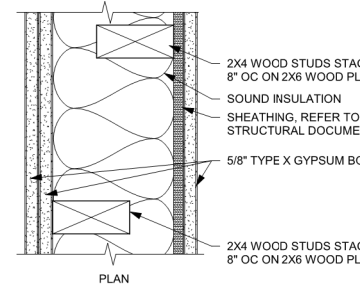
WALL TYPE G (WOOD STUD PARTITION)
NOT TO SCALE



WALL TYPE	STUD DESIGNATION	SPACING	MAX. HEIGHT (5 PSF, L/240)	SOUND TRANSMISSION (STC)	FIRE RATING / UL DESIGN
<GS2>	2x2	16"			1 HOUR / U305
<GS4>	2x4	16"			1 HOUR / U305
<GS6>	2x6	16"			1 HOUR / U305
<GS8>	2x8	16"			1 HOUR / U305

NOTES:

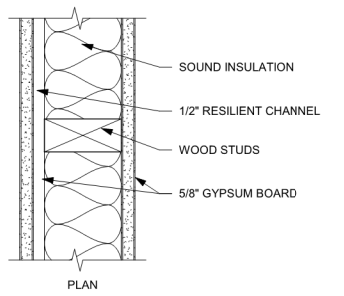
WALL TYPE GS (WOOD STUD PARTITION)
NOT TO SCALE



WALL TYPE	STUD DESIGNATION	SPACING	MAX. HEIGHT (5 PSF, L/240)	SOUND TRANSMISSION (STC)	FIRE RATING / UL DESIGN
<R4>	2x4			STC 50	WP 3380

NOTES:

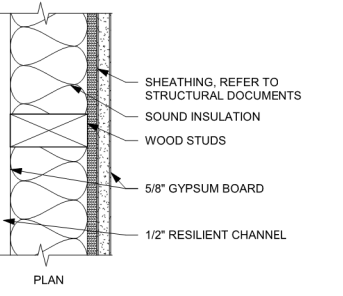
WALL TYPE R (WOOD STUD PARTITION)
NOT TO SCALE



WALL TYPE	STUD DESIGNATION	SPACING	MAX. HEIGHT (5 PSF, L/240)	SOUND TRANSMISSION (STC)	FIRE RATING / UL DESIGN
<H2>	2x2	16"		STC 50	1 HOUR / U305
<H4>	2x4	16"		STC 50	1 HOUR / U305
<H6>	2x6	16"		STC 50	1 HOUR / U305
<H8>	2x8	16"		STC 50	1 HOUR / U305

NOTES:

WALL TYPE H (WOOD STUD PARTITION)
NOT TO SCALE



WALL TYPE	STUD DESIGNATION	SPACING	MAX. HEIGHT (5 PSF, L/240)	SOUND TRANSMISSION (STC)	FIRE RATING / UL DESIGN
<HS2>	2x2	16"		STC 50	1 HOUR / U305
<HS4>	2x4	16"		STC 50	1 HOUR / U305
<HS6>	2x6	16"		STC 50	1 HOUR / U305
<HS8>	2x8	16"		STC 50	1 HOUR / U305

NOTES:

WALL TYPE HS (WOOD STUD PARTITION)
NOT TO SCALE

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PROJECT

EAGLE HEIGHTS APARTMENTS

NEENAH WISCONSIN

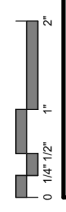
REVISION SCHEDULE		
DATE	DESCRIPTION	BY

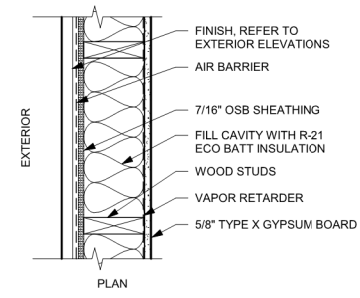
PROJECT NO.	23-28987
FILE NAME	28987 ARCH R22.RVT
DRAWN BY	SLD
DESIGNED BY	MAC
REVIEWED BY	MAC
ORIGINAL ISSUE DATE	03/29/24
CLIENT PROJECT NO.	

TITLE

WALL TYPES AND NOTES

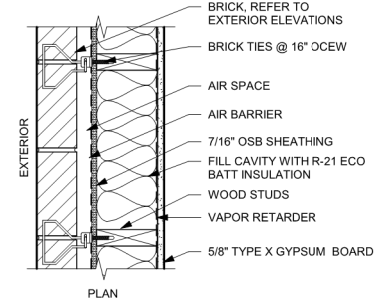
SHEET





WALL TYPE	STUD DESIGNATION	SPACING	FIRE RATING / UL DESIGN
X1	2x6	16"	

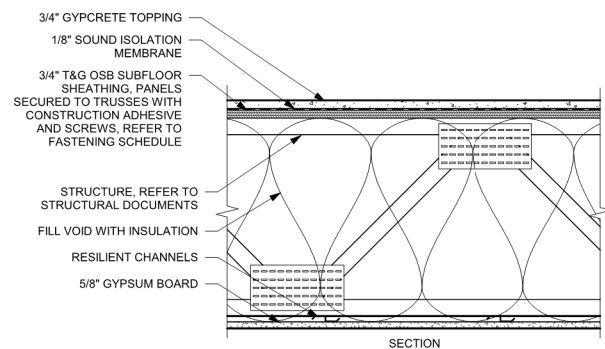
EXTERIOR WALL TYPE
NOT TO SCALE



WALL TYPE	STUD DESIGNATION	SPACING	FIRE RATING / UL DESIGN
X15	2x6	16"	

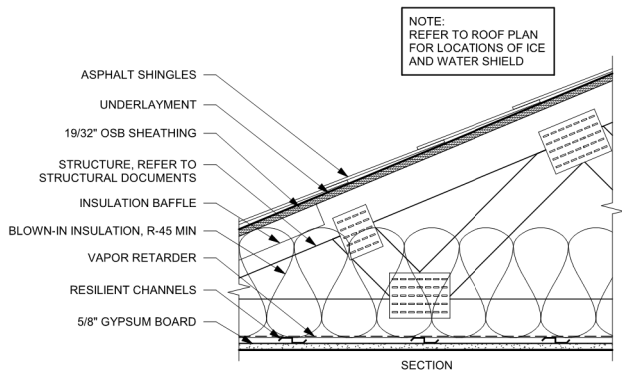
NOTES:
1. WEEPS @ 24" OC, 8" MINIMUM ABOVE GRADE
2. WEEP VENTS AT TOP OF WALL CAVITY

EXTERIOR WALL TYPE
NOT TO SCALE



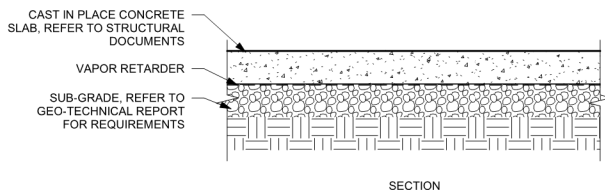
FIRE RATING: 1 HOUR
UL DESIGN: UL L563
SOUND RATING: STC 60 - 64
IMPACT RATING: IIC 50+

FLOOR/CEILING ASSEMBLY F2
NOT TO SCALE



FIRE RATING: 1 HOUR
UL DESIGN: UL P522

ROOF/CEILING ASSEMBLY R5
NOT TO SCALE



SLAB ON GRADE ASSEMBLY SL1
NOT TO SCALE

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PROJECT

EAGLE HEIGHTS APARTMENTS

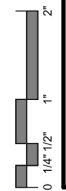
NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	23-28987
FILE NAME	28987 ARCH R22.RVT
DRAWN BY	SLD
DESIGNED BY	MAC
REVIEWED BY	MAC
ORIGINAL ISSUE DATE	03/29/24
CLIENT PROJECT NO.	


TITLE
EXTERIOR WALL TYPES AND HORIZONTAL ASSEMBLIES

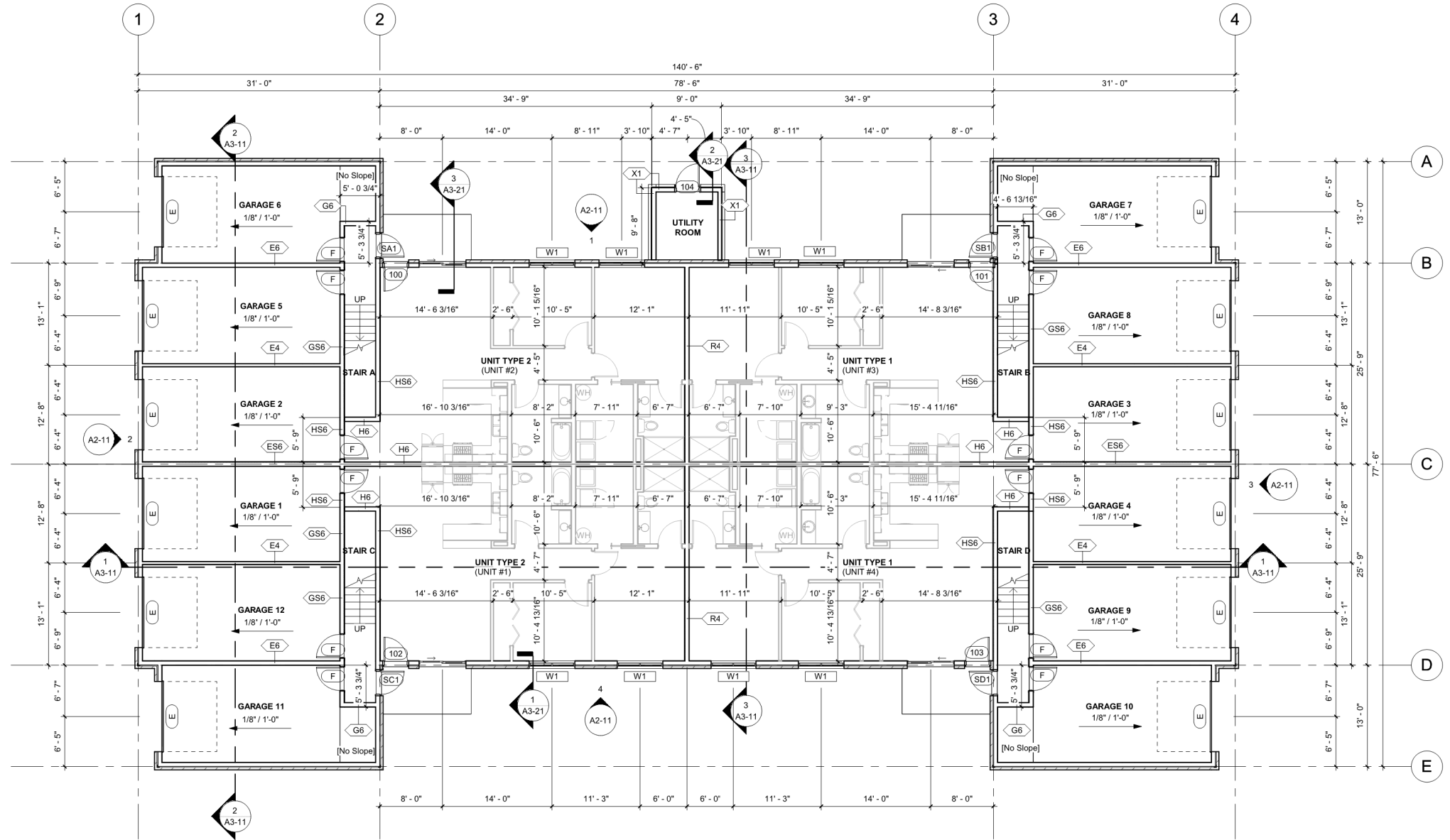
SHEET
A1-03



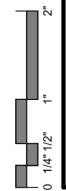
SHEET NOTES
 A. CONTRACTOR TO COORDINATE ALL MECHANICAL AND ELECTRICAL SYSTEMS

Item D.





1 FIRST FLOOR PLAN
 1/8" = 1'-0"



9/5/2025 11:01:54 AM

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PROJECT
EAGLE HEIGHTS APARTMENTS
 NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 23-28987
 FILE NAME 28987 ARCH R22.RVT
 DRAWN BY SLD
 DESIGNED BY MAC
 REVIEWED BY MAC
 ORIGINAL ISSUE DATE 03/29/24
 CLIENT PROJECT NO.

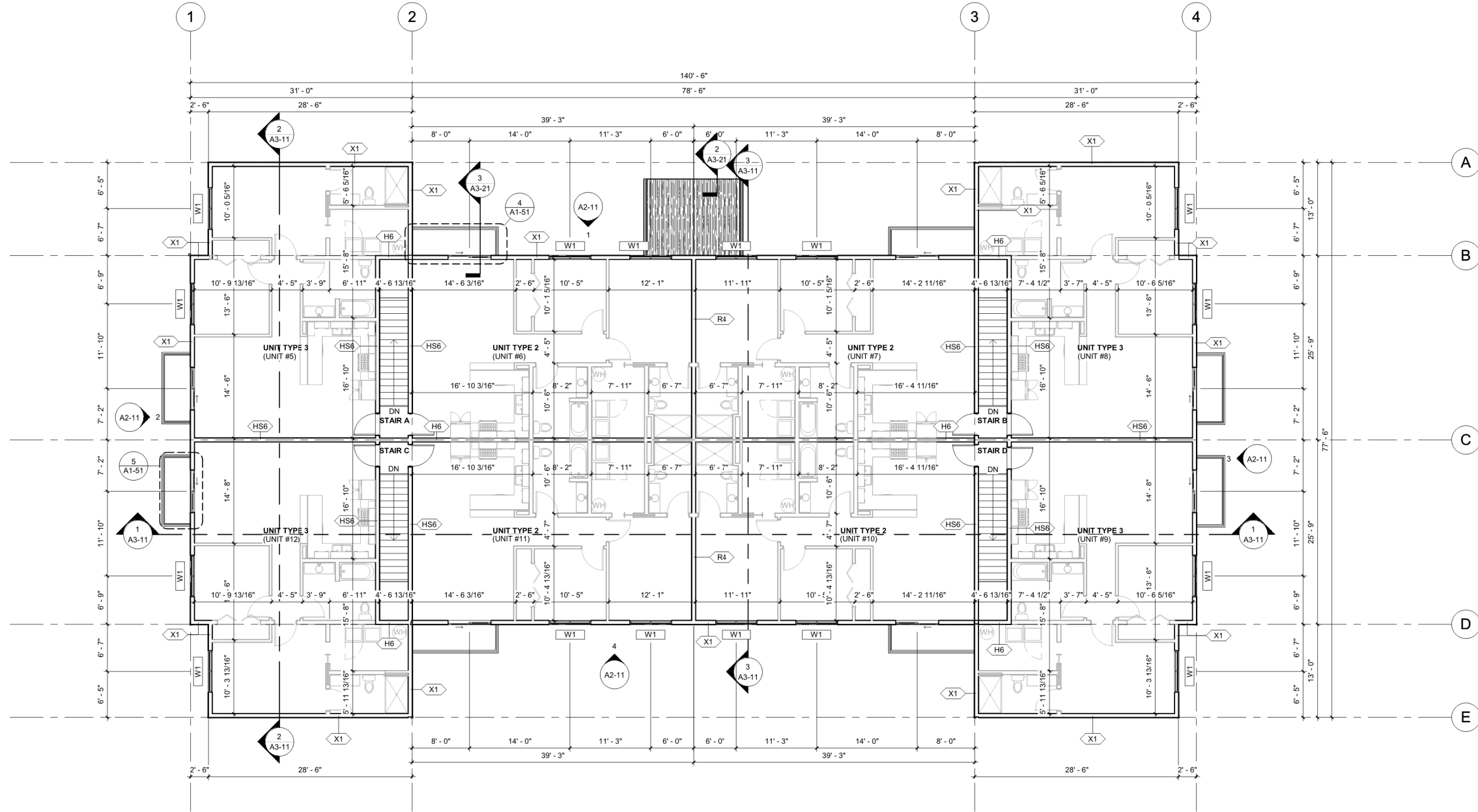
TITLE
FIRST FLOOR PLAN

SHEET
A1-21

SHEET NOTES
 A. CONTRACTOR TO COORDINATE ALL MECHANICAL AND ELECTRICAL SYSTEMS



Item D.



1 SECOND FLOOR PLAN
 1/8" = 1'-0"

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PROJECT

EAGLE HEIGHTS APARTMENTS

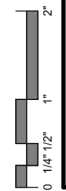
NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	23-28987
FILE NAME	28987 ARCH R22.RVT
DRAWN BY	SLD
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REVIEWED BY	MAC
ORIGINAL ISSUE DATE	03/29/24
CLIENT PROJECT NO.	

TITLE
SECOND FLOOR PLAN

SHEET
A1-22



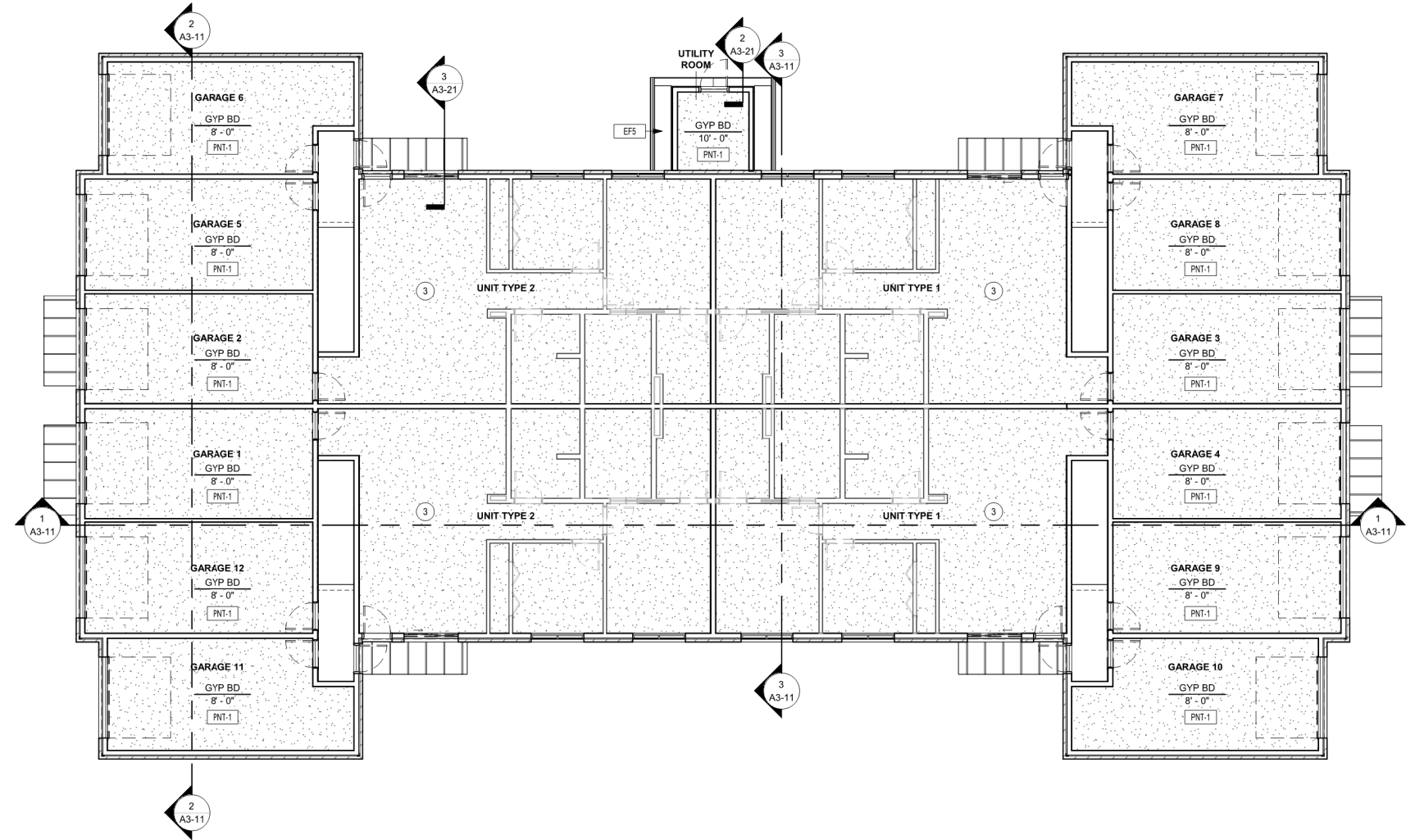


SHEET NOTES

A. CONTRACTOR TO COORDINATE ALL MECHANICAL AND ELECTRICAL SYSTEMS

KEYNOTE LEGEND

3 REFER TO ENLARGED UNIT REFLECTED CEILING PLANS FOR DETAILS



1 FIRST FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"



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PROJECT

EAGLE HEIGHTS APARTMENTS

NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	23-28987
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REVIEWED BY	MAC
ORIGINAL ISSUE DATE	03/29/24
CLIENT PROJECT NO.	

TITLE

FIRST FLOOR REFLECTED CEILING PLAN

SHEET

A1-31

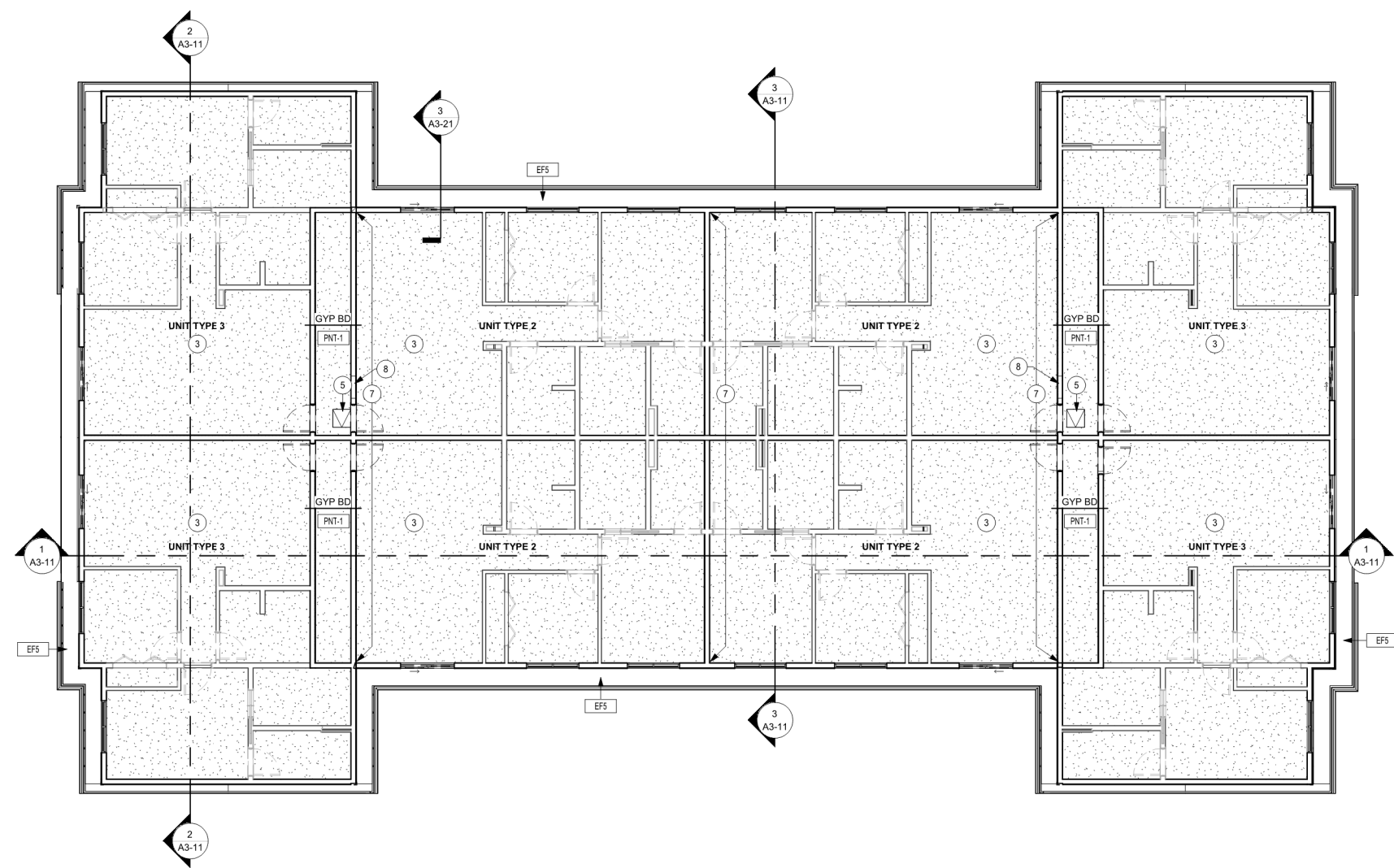


SHEET NOTES

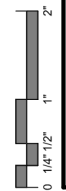
A. CONTRACTOR TO COORDINATE ALL MECHANICAL AND ELECTRICAL SYSTEMS

KEYNOTE LEGEND

3 REFER TO ENLARGED UNIT REFLECTED CEILING PLANS FOR DETAILS
 5 ACCESS HATCH THROUGH CEILING SPACE, COORDINATE LOCATION WITH ROOF TRUSSES
 7 FULLY SEALED DRAFT STOPPING WALL ABOVE
 8 30" X 30" VERTICAL ACCESS PANEL ABOVE



1 SECOND FLOOR REFLECTED CEILING PLAN
 1/8" = 1'-0"



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PROJECT

EAGLE HEIGHTS APARTMENTS

NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	23-28987
FILE NAME	28987 ARCH R22.RVT
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ORIGINAL ISSUE DATE	03/29/24
CLIENT PROJECT NO.	

TITLE
SECOND FLOOR REFLECTED CEILING PLAN

SHEET
A1-32

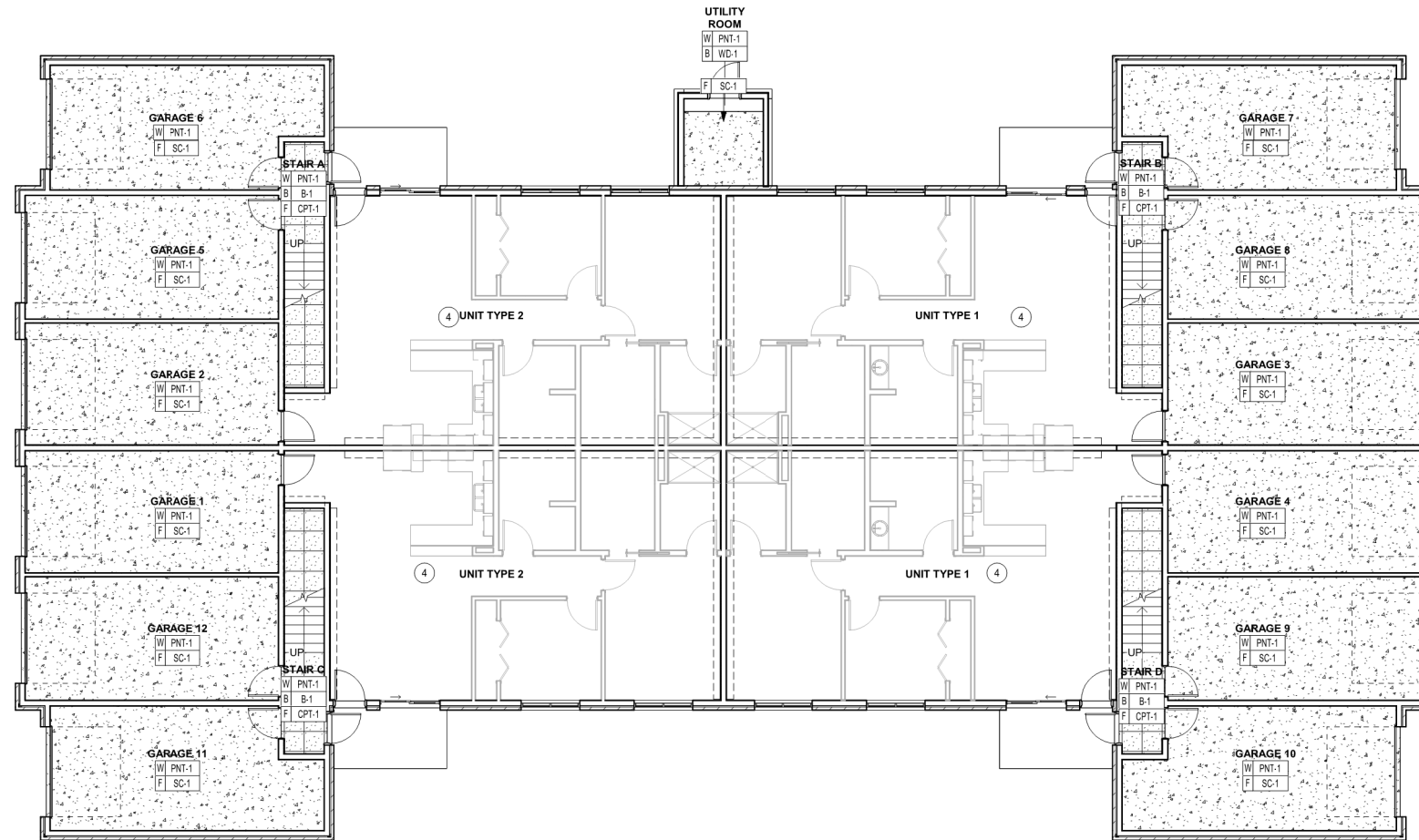
INTERIOR FINISH SCHEDULE						
MARK	MATERIAL TYPE	MANUFACTURER	MODEL / SIZE	COLOR	ADDITIONAL INFORMATION	COMMENTS
CEILING						
PNT-1	PAINT					
FLOOR						
CPT-1	CARPET	J&J	PASSAGES 12' BROADLOOM			GLUE DIRECT
CPT-2	CARPET	ENGINEERED FLOORS	AIRWAVES PLUS 12' BROADLOOM			INCLUDE CARPET PAD
SC-1	SEALED CONCRETE					
SV-1	SHEET VINYL	PROVIDENT	PROVIDENT CIVIC 12 MIL			
MISCELLANEOUS						
WD-1	CABINET		STYLE : SHAKER	WHITE		
SOLID SURFACE						
SS-1	SOLID SURFACE					
WALL						
PNT-1	PAINT					
WALL BASE						
B-1	WOOD					

KEYNOTE LEGEND	
4	REFER TO ENLARGED UNIT FINISH PLANS FOR DETAILS

ROOM / FINISH TAG	
ROOM #	
C CEILING	
W WALL	
B BASE	
F FLOOR	
FINISHES LISTED IN ROOM TAG APPLY TO ALL ELEMENTS IN ROOM, UNLESS NOTED OTHERWISE	
THE FOLLOWING SYMBOL APPLIES TO FINISHES DIFFERENT FROM THOSE NOTED IN ROOM TAG:	
FINISH	
THE FOLLOWING SYMBOL INDICATES: "REFER TO ELEVATIONS" FOR ADDITIONAL FINISH INFORMATION	
RTE	



Item D.



1 FIRST FLOOR FINISH PLAN
1/8" = 1'-0"

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PROJECT

EAGLE HEIGHTS APARTMENTS

NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	23-28987
FILE NAME	28987 ARCH R22.RVT
DRAWN BY	SLD
DESIGNED BY	MAC
REVIEWED BY	MAC
ORIGINAL ISSUE DATE	03/29/24
CLIENT PROJECT NO.	

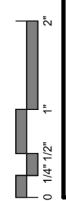
TITLE

FIRST FLOOR FINISH PLAN AND FINISH SCHEDULE

SHEET

A1-41

40



KEYNOTE LEGEND
 4 REFER TO ENLARGED UNIT FINISH PLANS FOR DETAILS

ROOM / FINISH TAG

ROOM NAME
 ROOM #
 C CEILING
 W WALL
 B BASE
 F FLOOR

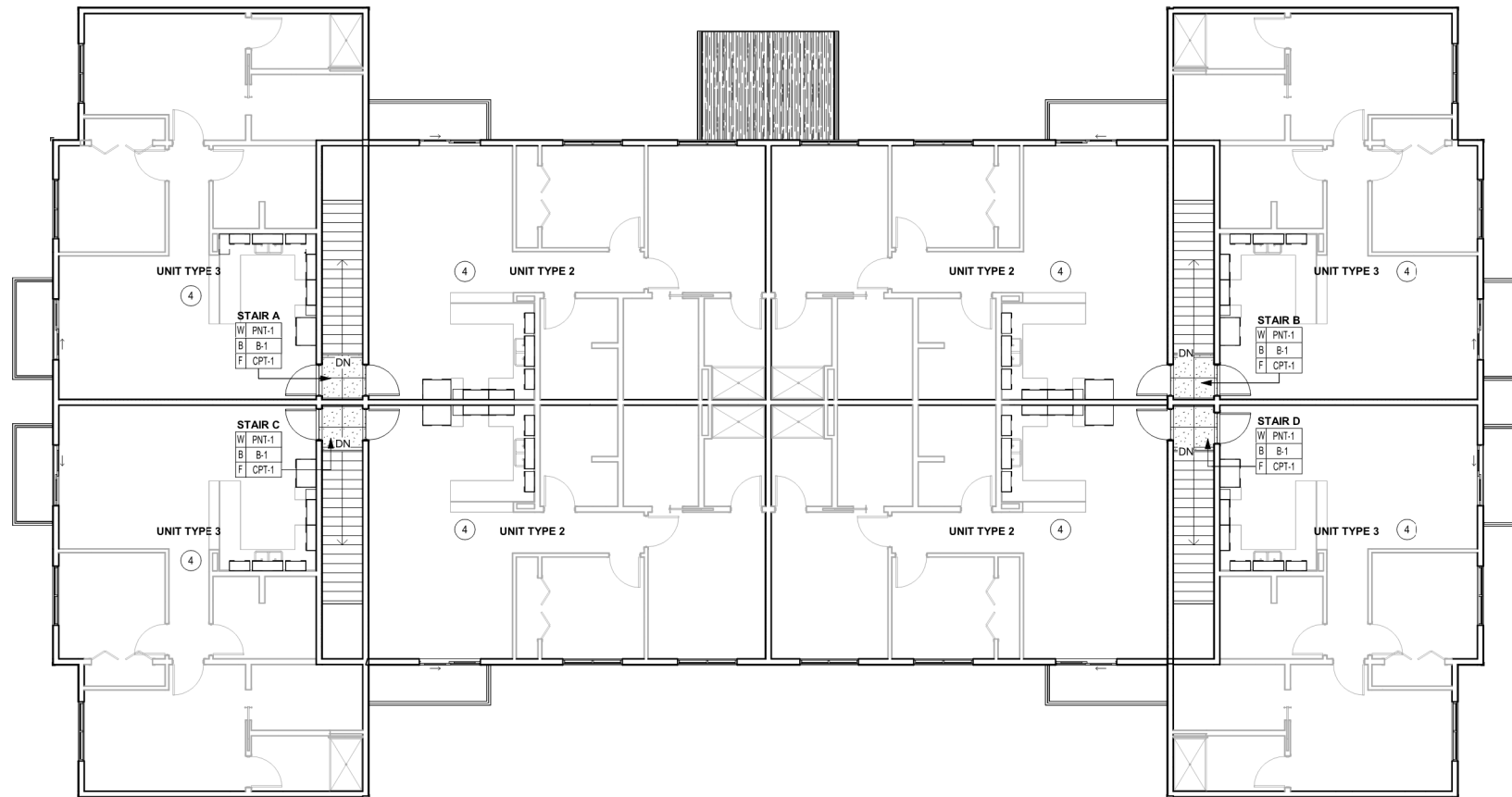
FINISHES LISTED IN ROOM TAG APPLY TO ALL ELEMENTS IN ROOM, UNLESS NOTED OTHERWISE

THE FOLLOWING SYMBOL APPLIES TO FINISHES DIFFERENT FROM THOSE NOTED IN ROOM TAG:
 FINISH

THE FOLLOWING SYMBOL INDICATES: "REFER TO ELEVATIONS" FOR ADDITIONAL FINISH INFORMATION
 RTE



Item D.



1 SECOND FLOOR FINISH PLAN
 1/8" = 1'-0"

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PROJECT

EAGLE HEIGHTS APARTMENTS

NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

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DESIGNED BY	MAC
REVIEWED BY	MAC
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CLIENT PROJECT NO.	

TITLE
SECOND FLOOR FINISH PLAN

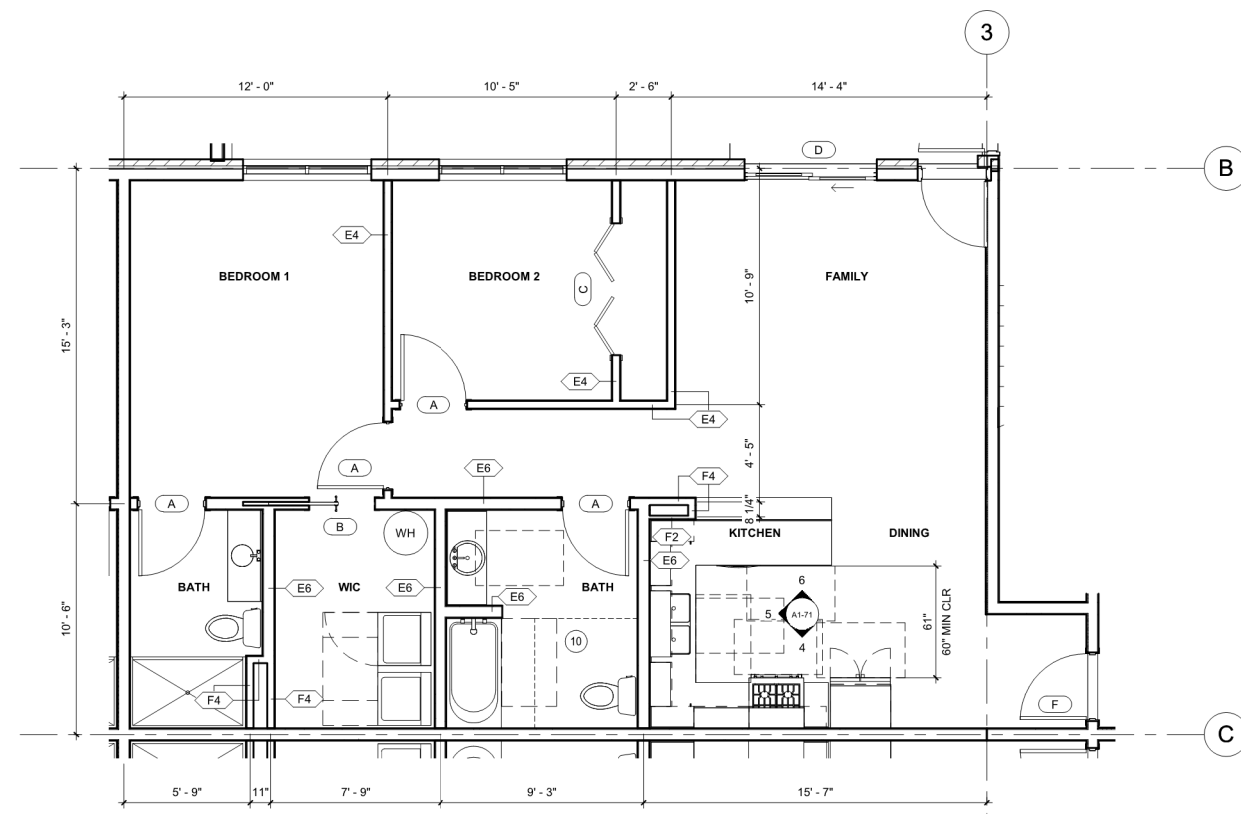
SHEET
A1-42



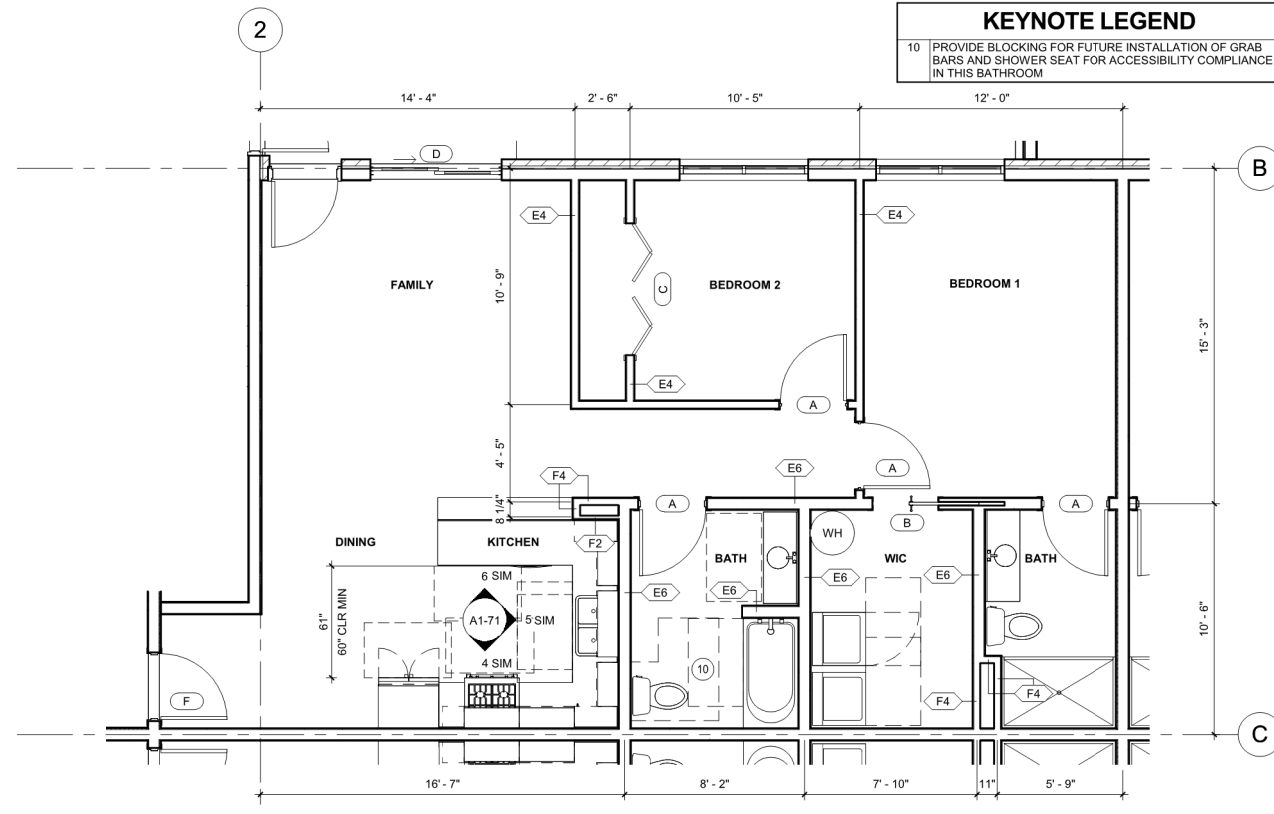


KEYNOTE LEGEND

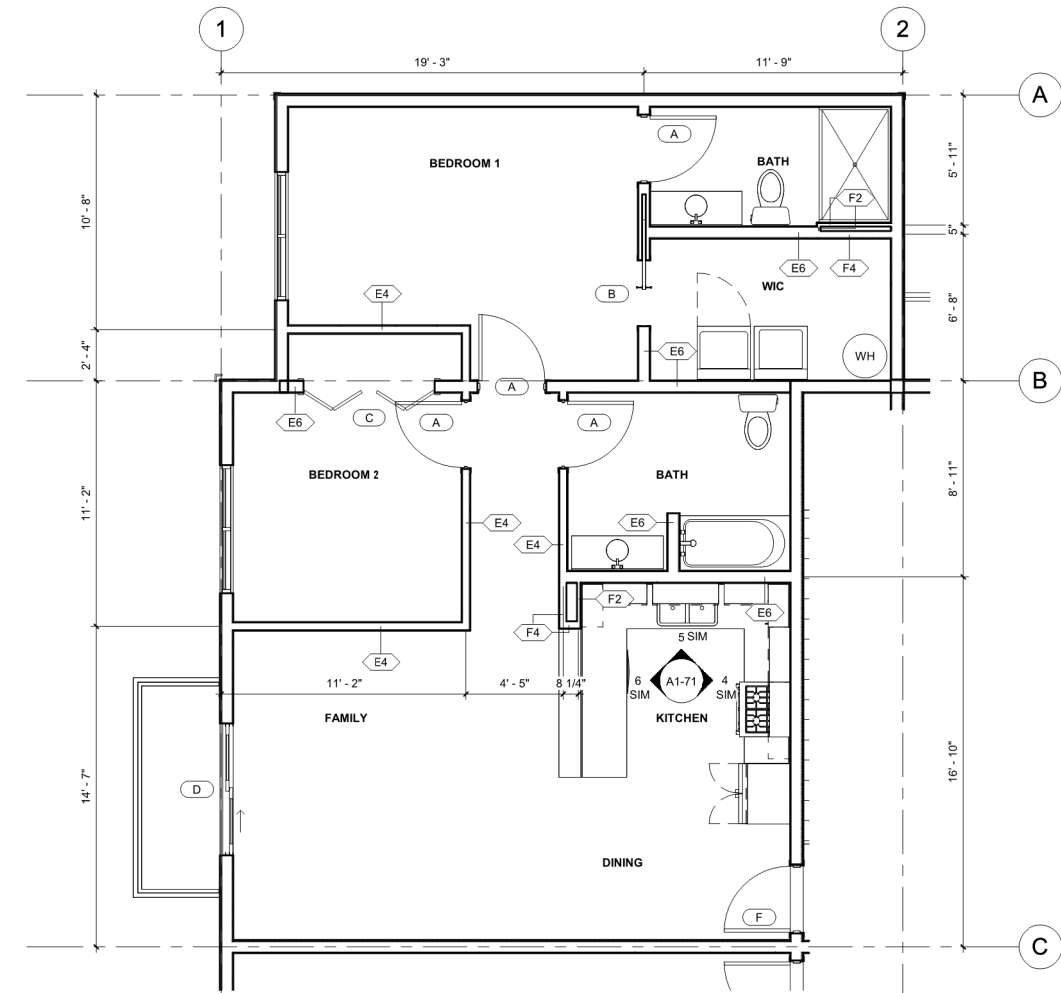
10 PROVIDE BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS AND SHOWER SEAT FOR ACCESSIBILITY COMPLIANCE IN THIS BATHROOM



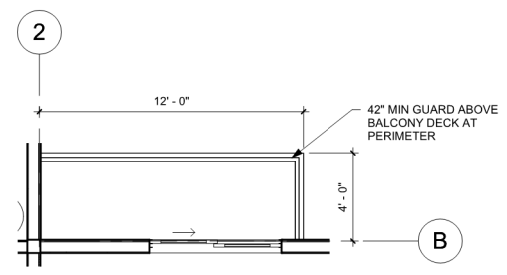
1 UNIT TYPE 1 - 2 BEDROOM
1/4" = 1'-0"



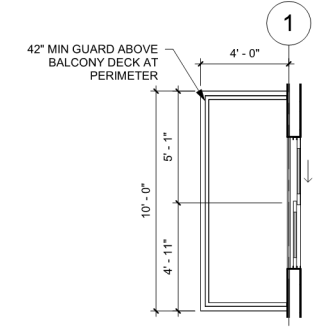
2 UNIT TYPE 2 - 2 BEDROOM
1/4" = 1'-0"



3 UNIT TYPE 3 - 2 BEDROOM
1/4" = 1'-0"



4 ENLARGED BALCONY A
1/4" = 1'-0"



5 ENLARGED BALCONY B
1/4" = 1'-0"

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PROJECT

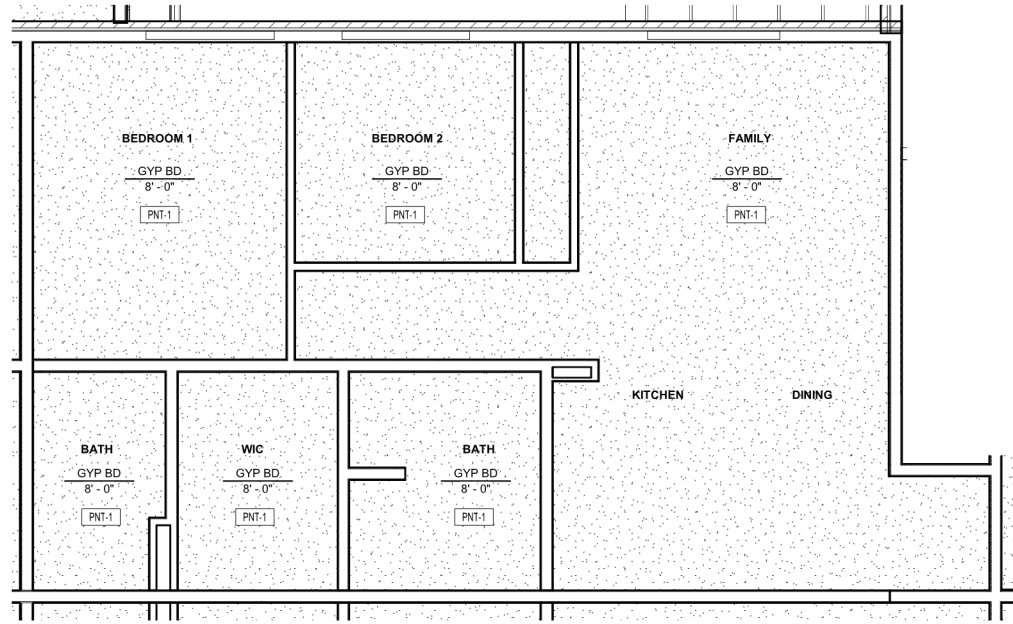
EAGLE HEIGHTS APARTMENTS

NEENAH WISCONSIN

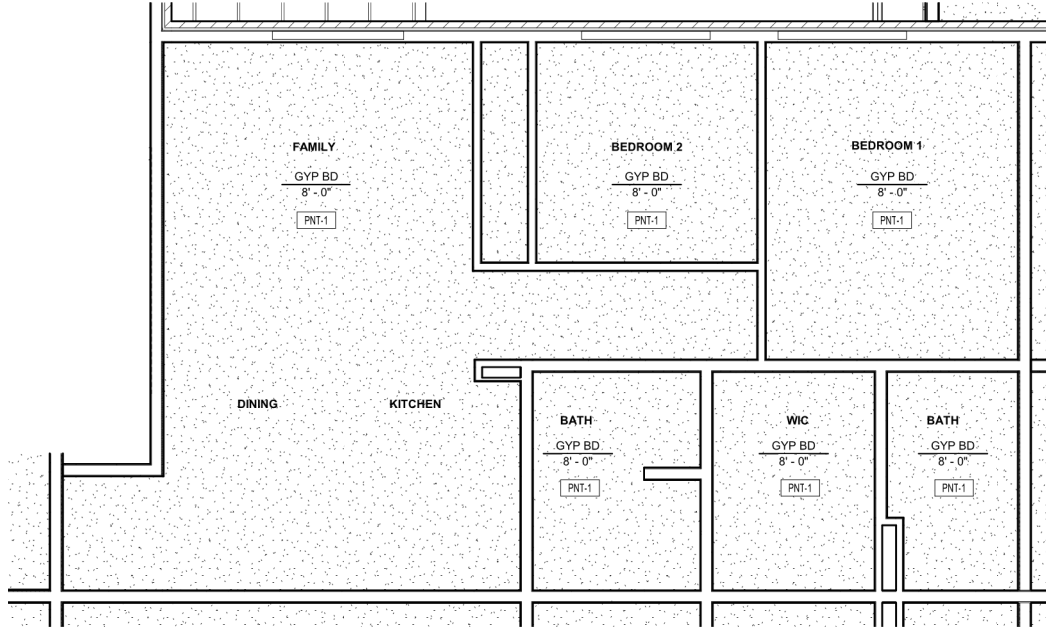
REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	23-28987
FILE NAME	28987 ARCH R22.RVT
DRAWN BY	SLD
DESIGNED BY	MAC
REVIEWED BY	MAC
ORIGINAL ISSUE DATE	03/29/24
CLIENT PROJECT NO.	

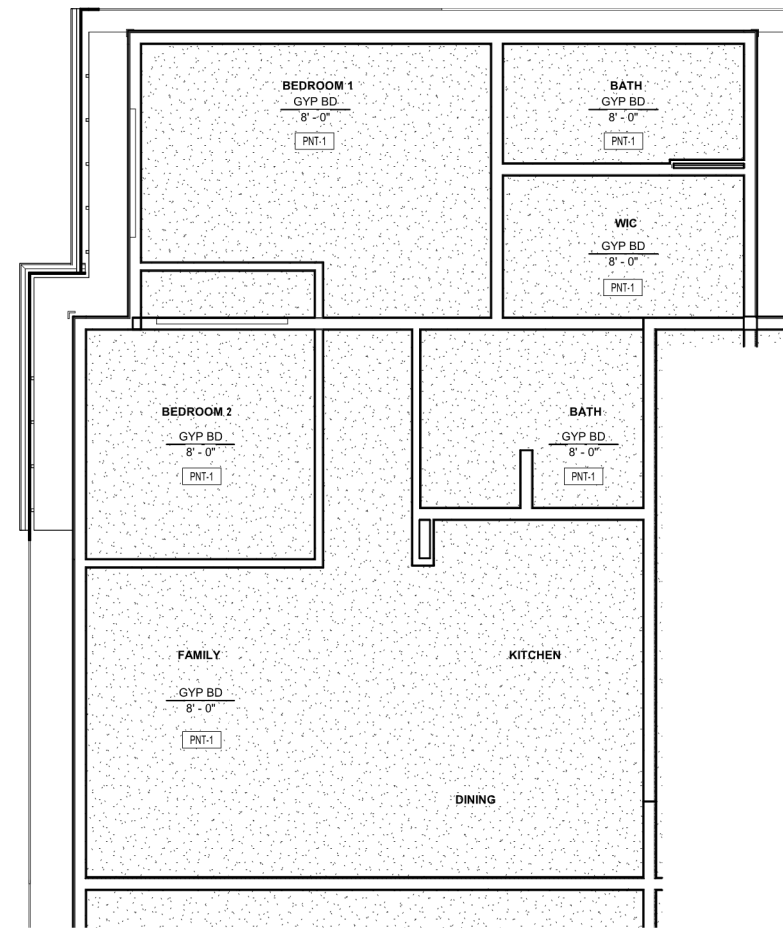
ENLARGED UNIT AND BALCONY PLANS



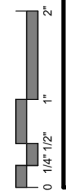
1 UNIT TYPE 1 - RCP
1/4" = 1'-0"



2 UNIT TYPE 2 - RCP
1/4" = 1'-0"



3 UNIT TYPE 3 - RCP
1/4" = 1'-0"



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PROJECT

EAGLE HEIGHTS APARTMENTS

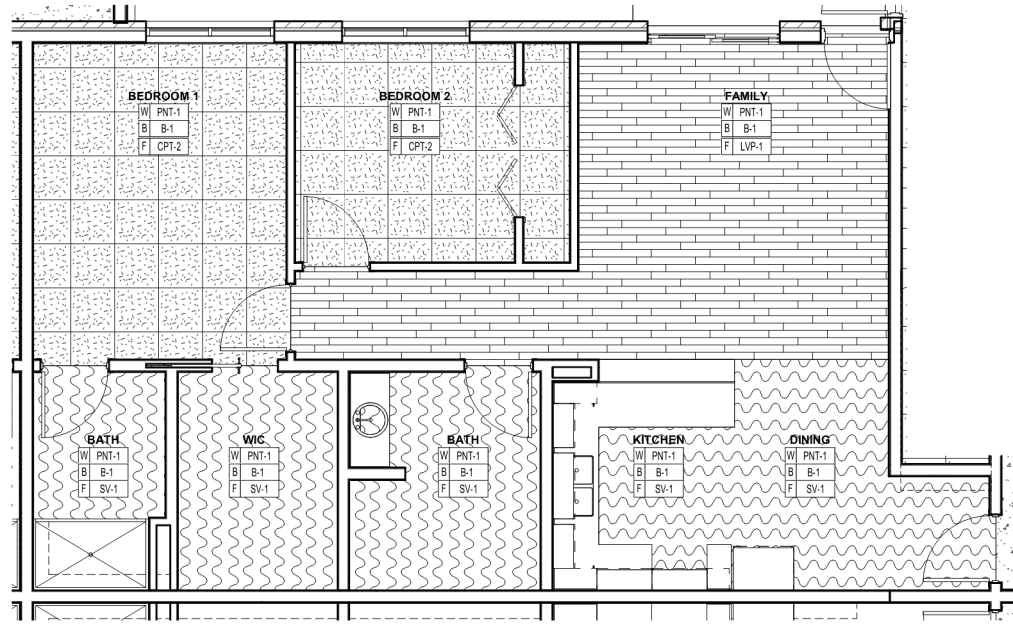
NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

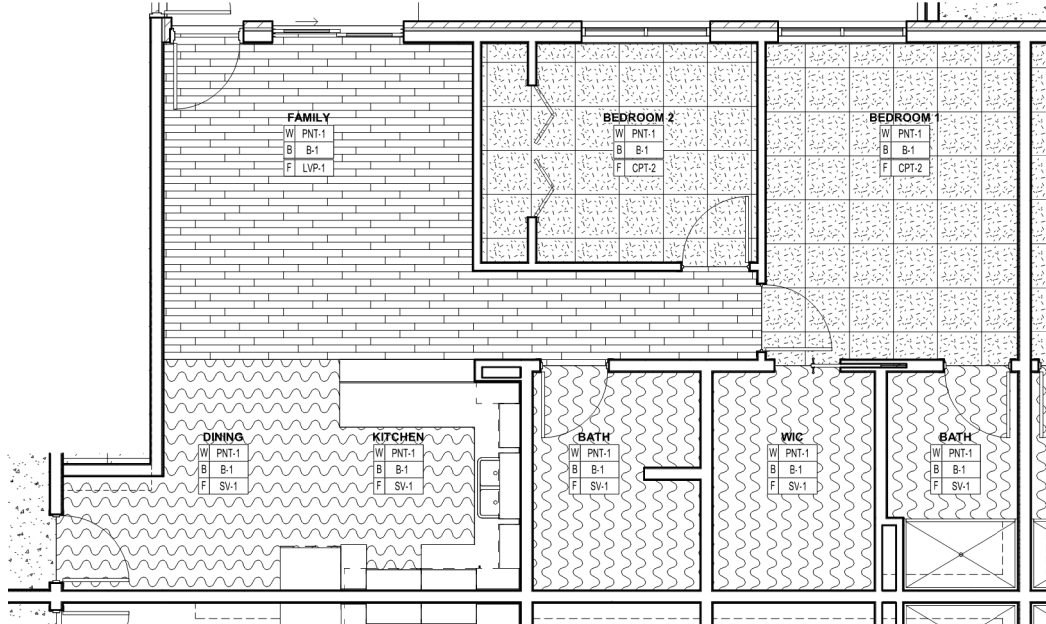
PROJECT NO.	23-28987
FILE NAME	28987 ARCH R22.RVT
DRAWN BY	SLD
DESIGNED BY	MAC
REVIEWED BY	MAC
ORIGINAL ISSUE DATE	03/29/24
CLIENT PROJECT NO.	

TITLE
ENLARGED UNIT REFLECTED CEILING PLAN

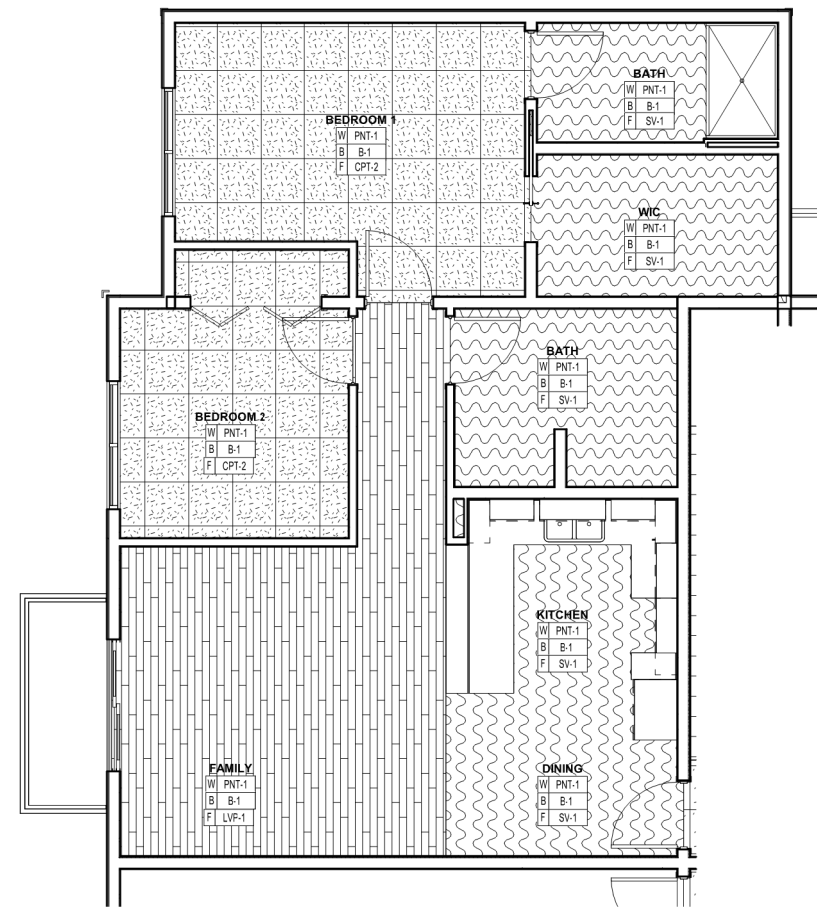
SHEET
A1-61



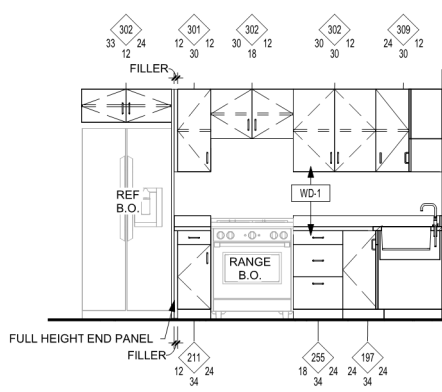
1 UNIT TYPE 1 FINISH PLAN - (TYPE A)
1/4" = 1'-0"



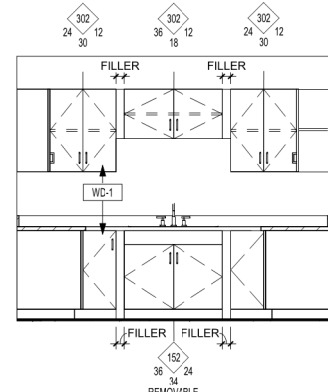
2 UNIT TYPE 2 FINISH PLAN - (TYPE B)
1/4" = 1'-0"



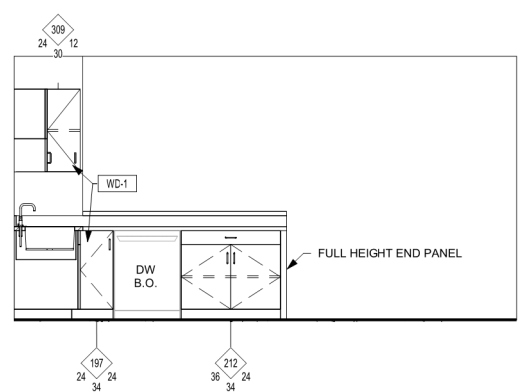
3 UNIT TYPE 3 FINISH PLAN
1/4" = 1'-0"



4 TYPE 1 KITCHEN (TYPE A)
3/8" = 1'-0"



5 TYPE 1 KITCHEN (TYPE A)
3/8" = 1'-0"



6 TYPE 1 KITCHEN (TYPE A)
3/8" = 1'-0"

NOTE: LOWER CABINETS IN UNIT TYPE 2 AND UNIT TYPE 3 TO ALL BE 36" TALL

NOTE: LOWER CABINETS IN UNIT TYPE 2 AND UNIT TYPE 3 TO ALL BE 36" TALL

NOTE: LOWER CABINETS IN UNIT TYPE 2 AND UNIT TYPE 3 TO ALL BE 36" TALL

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PROJECT

EAGLE HEIGHTS APARTMENTS

NEENAH WISCONSIN

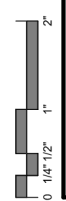
REVISION SCHEDULE		
DATE	DESCRIPTION	BY

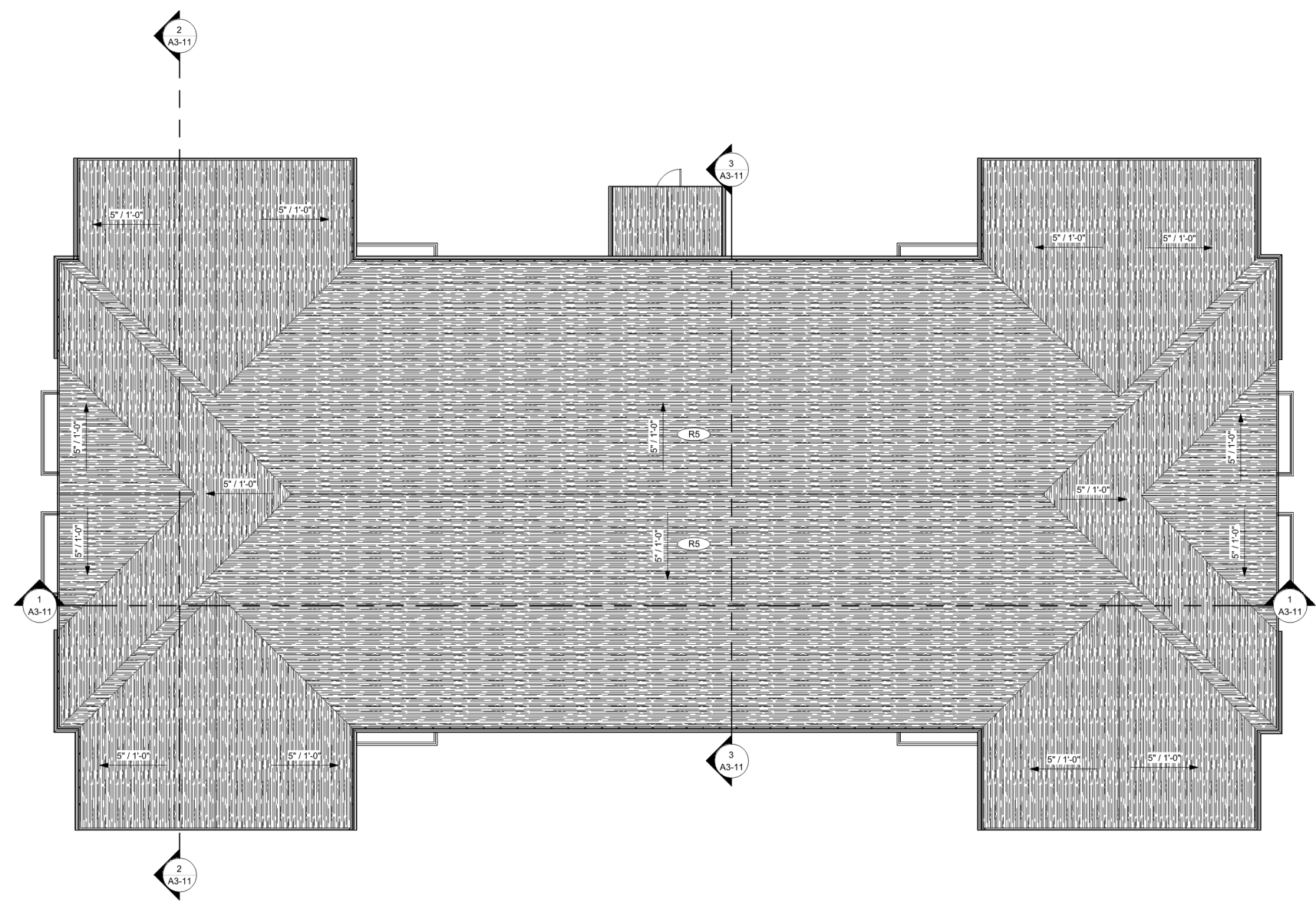
PROJECT NO.	23-28987
FILE NAME	28987 ARCH R22.RVT
DRAWN BY	SLD
DESIGNED BY	MAC
REVIEWED BY	MAC
ORIGINAL ISSUE DATE	03/29/24
CLIENT PROJECT NO.	

TITLE

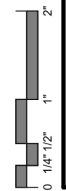
ENLARGED UNIT FINISH PLANS

SHEET





1 ROOF PLAN
1/8" = 1'-0"



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PROJECT

EAGLE HEIGHTS APARTMENTS

NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	23-28987
FILE NAME	28987 ARCH R22.RVT
DRAWN BY	SLD
DESIGNED BY	MAC
REVIEWED BY	MAC
ORIGINAL ISSUE DATE	03/29/24
CLIENT PROJECT NO.	

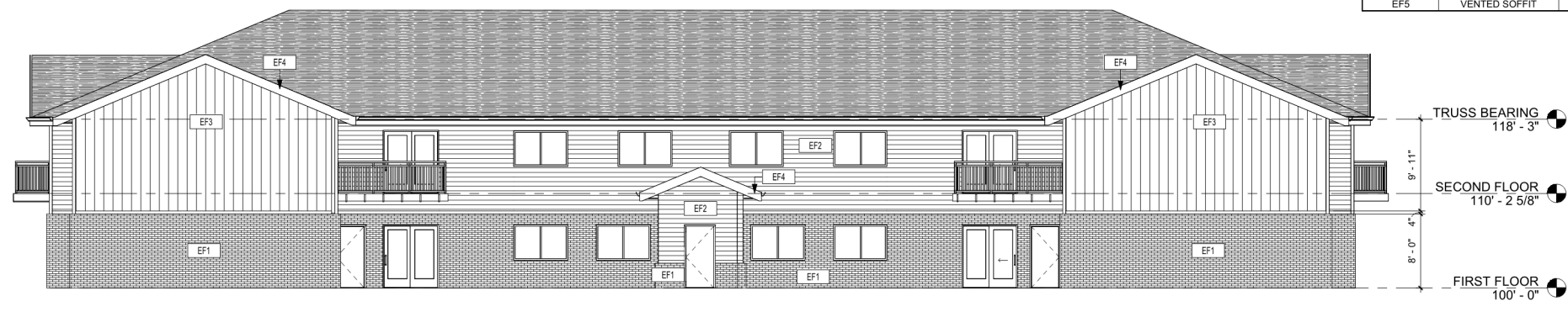
TITLE
ROOF PLAN

SHEET
A1-81

Item D.



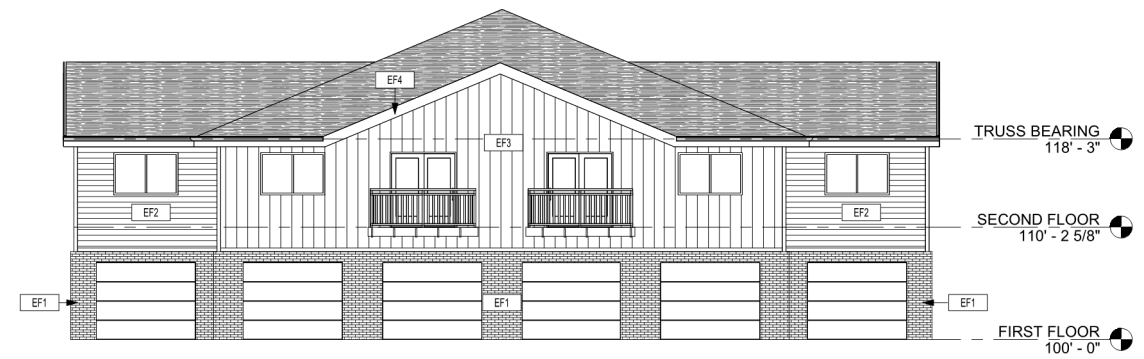
EXTERIOR FINISH SCHEDULE						
MARK	MATERIAL TYPE	MANUFACTURER	MODEL / SIZE	COLOR	ADDITIONAL INFORMATION	COMMENTS
EF1	BRICK					
EF2	VINYL SIDING					6"
EF3	VINYL SIDING					12"
EF4	FASCIA					
EF5	VENTED SOFFIT					



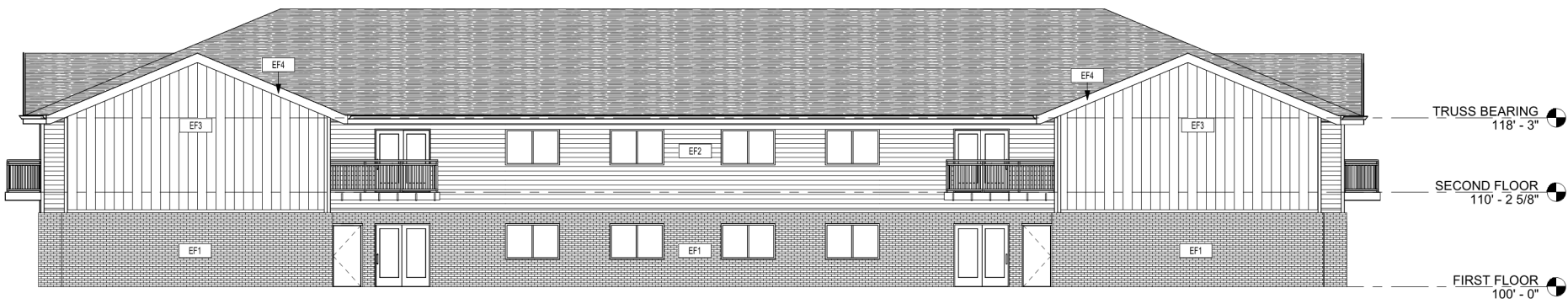
1 NORTH ELEVATION
1/8" = 1'-0"



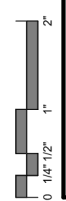
2 WEST ELEVATION
1/8" = 1'-0"



3 EAST ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"



9/5/2025 11:02:26 AM

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PROJECT

EAGLE HEIGHTS APARTMENTS

NEENAH WISCONSIN

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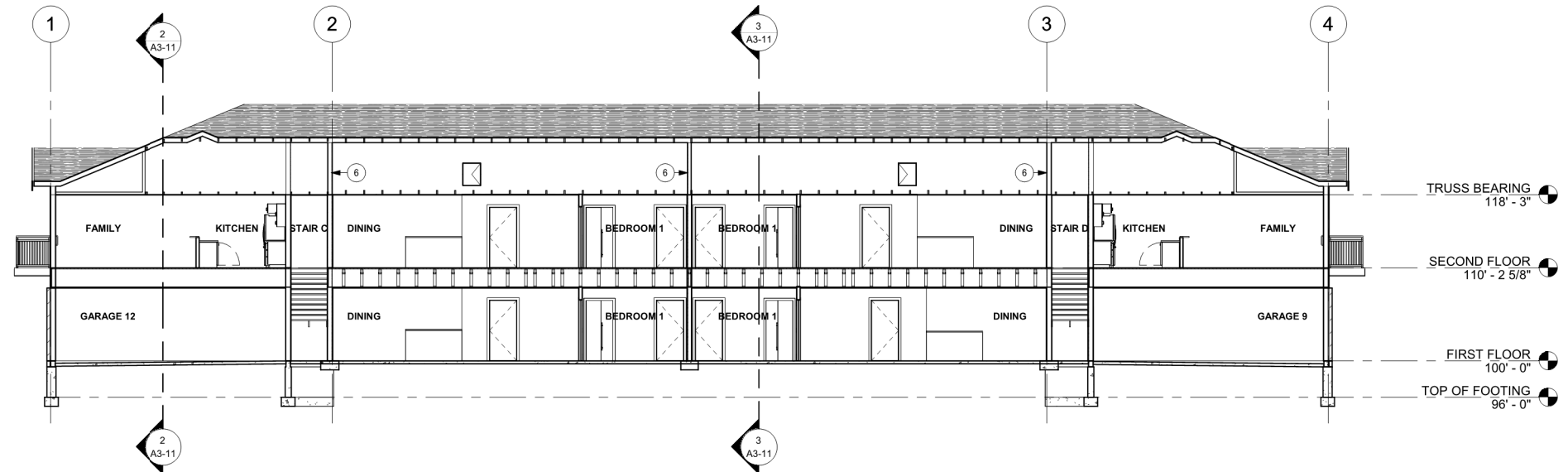
TITLE

EXTERIOR ELEVATIONS

SHEET

A2-11

46



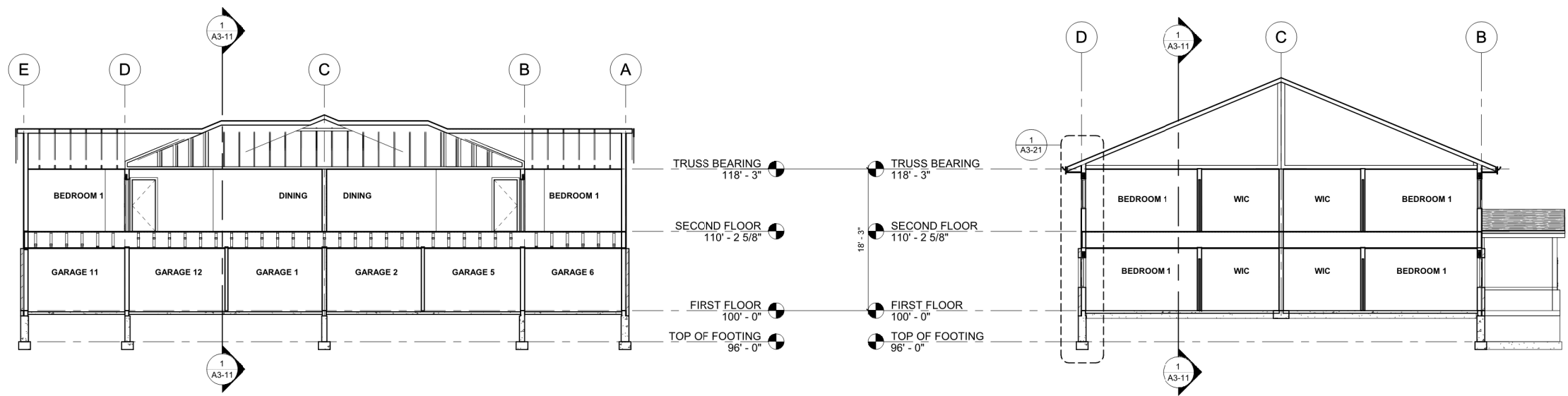
KEYNOTE LEGEND	
6	FULLY SEALED DRAFT STOPPING WALL



Item D.



1 BUILDING SECTION
1/8" = 1'-0"



2 BUILDING SECTION
1/8" = 1'-0"

3 BUILDING SECTION
1/8" = 1'-0"

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PROJECT

EAGLE HEIGHTS APARTMENTS

NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

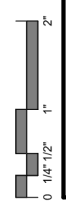
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ORIGINAL ISSUE DATE	03/29/24
CLIENT PROJECT NO.	

TITLE

BUILDING SECTIONS

SHEET

A3-11





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PROJECT

EAGLE HEIGHTS APARTMENTS

NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

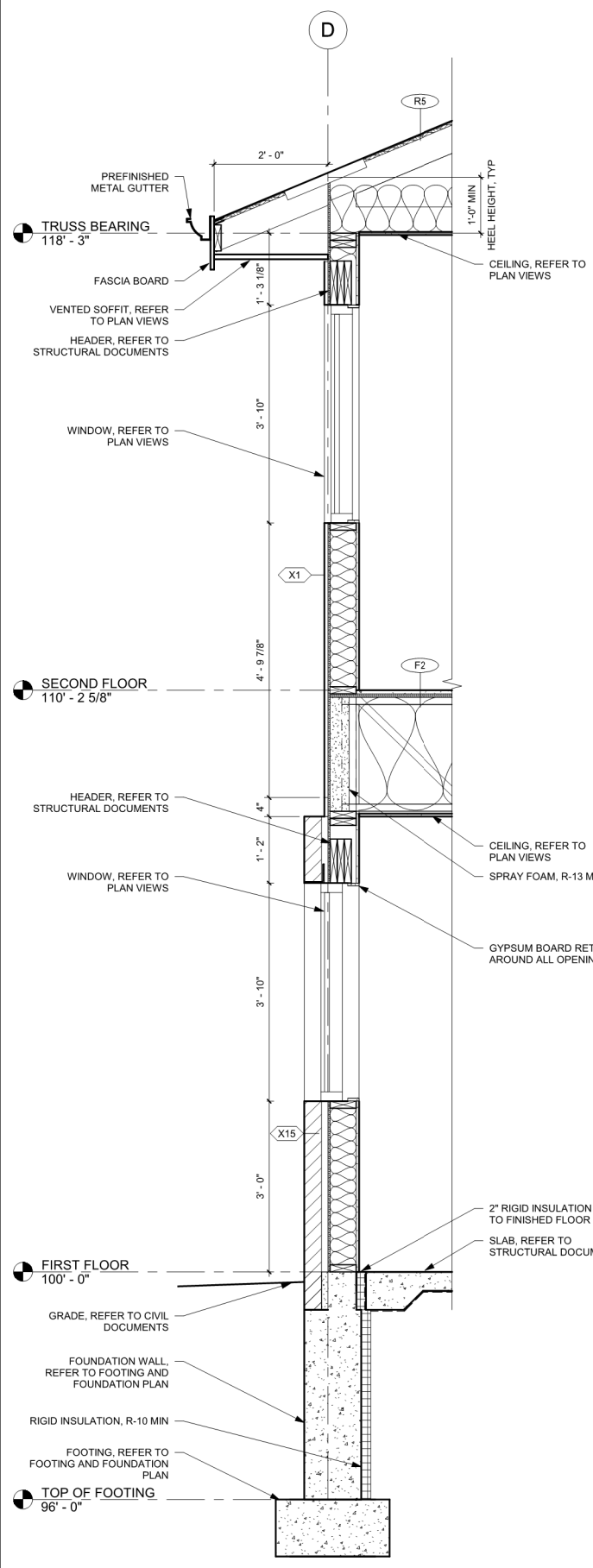
PROJECT NO. 23-28987
 FILE NAME 28987 ARCH R22.RVT
 DRAWN BY SLD
 DESIGNED BY MAC
 REVIEWED BY MAC
 ORIGINAL ISSUE DATE 03/29/24
 CLIENT PROJECT NO.

TITLE

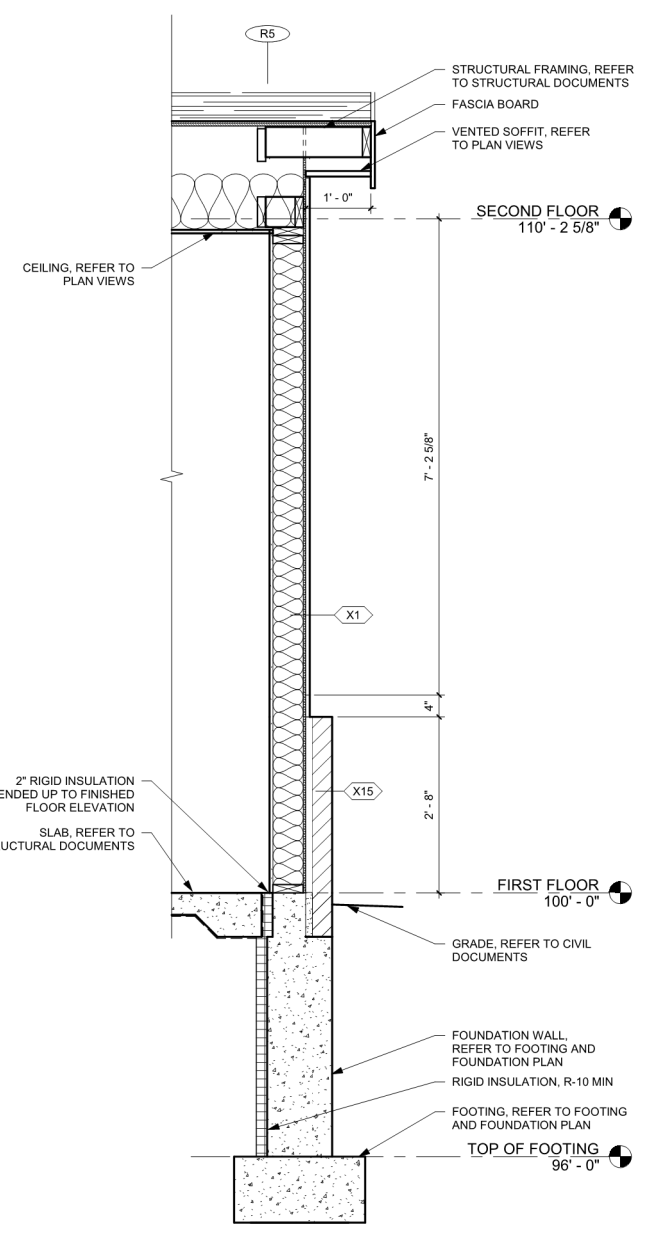
WALL SECTIONS

SHEET

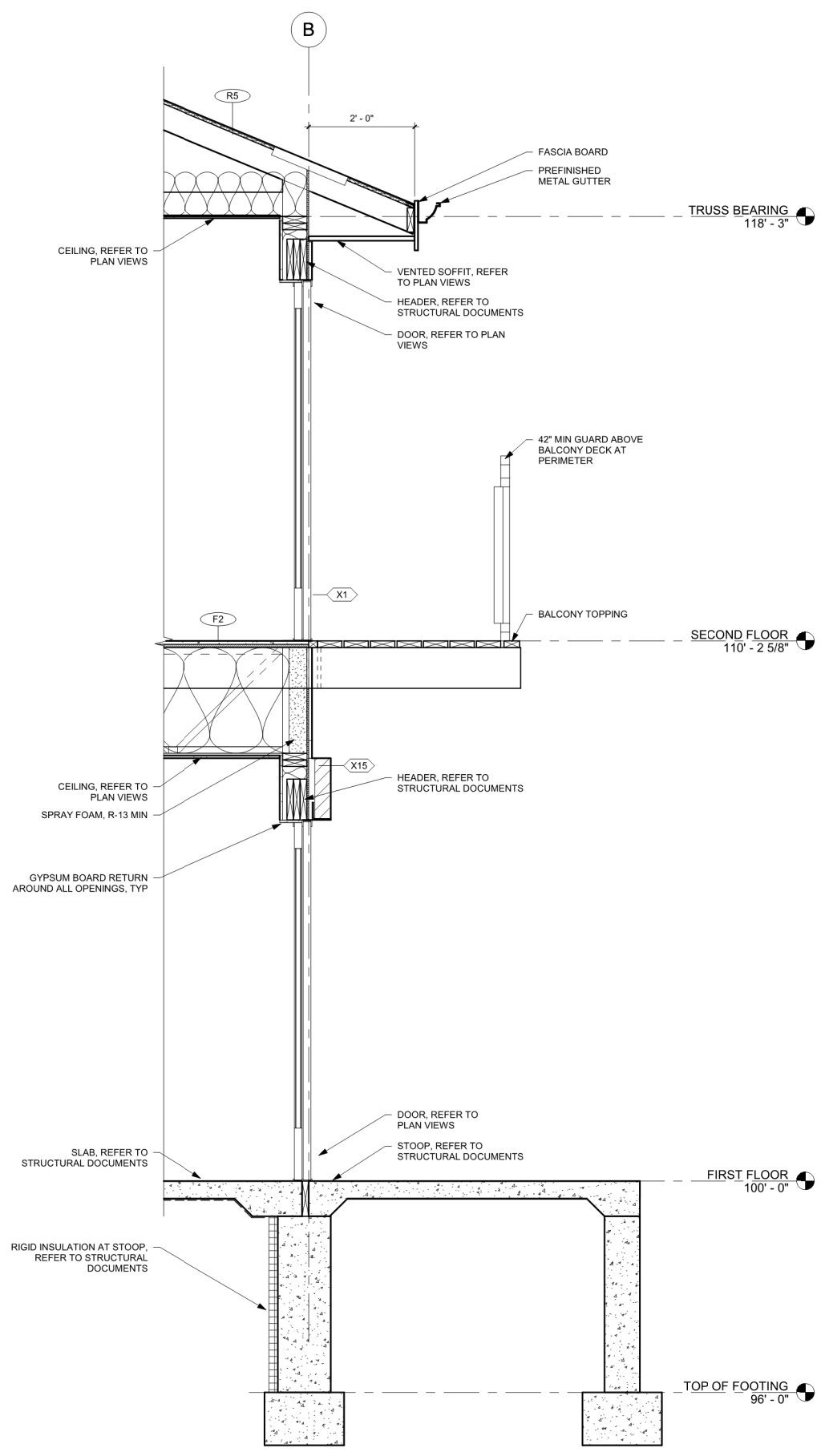
A3-21



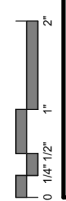
1 WALL SECTION
3/4" = 1'-0"



2 WALL SECTION
3/4" = 1'-0"



3 WALL SECTION
3/4" = 1'-0"

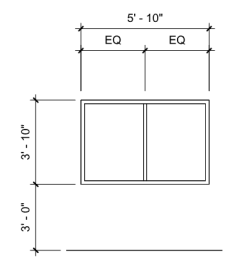


Item D.



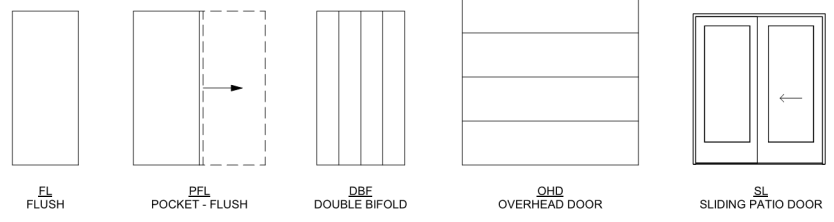
UNIT DOOR SCHEDULE									
MARK	WIDTH	HEIGHT	DOOR TYPE	DOOR MATERIAL	FRAME TYPE	FRAME MATERIAL	FIRE RATING	HARDWARE GROUP	COMMENTS
A	3'-0"	6'-8"	FL	WOOD	3	WOOD			
B	3'-0"	6'-8"	PFL	WOOD	3	WOOD			
C	6'-0"	6'-8"	DBF	WOOD	3	WOOD			
D	6'-0"	6'-10"	SL	VINYL	-	VINYL			
E	9'-0"	7'-0"	OHD	INSULATED STEEL	-	-			
F	3'-0"	6'-8"	FL	WOOD	3	WOOD	20 MIN		ALUMINUM CLAD WOOD DOOR

DOOR SCHEDULE										
MARK	ROOM NAME	WIDTH	HEIGHT	DOOR TYPE	DOOR MATERIAL	FRAME TYPE	FRAME MATERIAL	FIRE RATING	HARDWARE GROUP	COMMENTS
100	FAMILY	3'-0"	6'-8"	FL	PREHUNG	-	PREHUNG			ALUMINUM CLAD WOOD DOOR
101	FAMILY	3'-0"	6'-8"	FL	PREHUNG	-	PREHUNG			ALUMINUM CLAD WOOD DOOR
102	FAMILY	3'-0"	6'-8"	FL	PREHUNG	-	PREHUNG			ALUMINUM CLAD WOOD DOOR
103	FAMILY	3'-0"	6'-8"	FL	PREHUNG	-	PREHUNG			ALUMINUM CLAD WOOD DOOR
104	UTILITY ROOM	3'-0"	6'-8"	FL	PREHUNG	-	PREHUNG			ALUMINUM CLAD WOOD DOOR
SA1	STAIR A	3'-0"	6'-8"	FL	PREHUNG	-	PREHUNG			ALUMINUM CLAD WOOD DOOR
SB1	STAIR B	3'-0"	6'-8"	FL	PREHUNG	-	PREHUNG			ALUMINUM CLAD WOOD DOOR
SC1	STAIR C	3'-0"	6'-8"	FL	PREHUNG	-	PREHUNG			ALUMINUM CLAD WOOD DOOR
SD1	STAIR D	3'-0"	6'-8"	FL	PREHUNG	-	PREHUNG			ALUMINUM CLAD WOOD DOOR

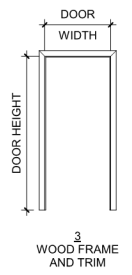


W1

DOOR TYPES



FRAME TYPES



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PROJECT

EAGLE HEIGHTS APARTMENTS

NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

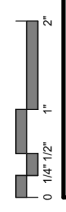
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DOOR SCHEDULE, DOOR AND FRAME TYPES

SHEET

A4-11

49



PROPOSED MULTI-FAMILY DEVELOPMENT FOR: SPARK DEVELOPMENT, LLC

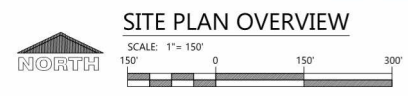
CLAYTON, WISCONSIN

PROJECT INFORMATION

SITE INFORMATION:			
PROPERTY AREA: 612,353 S.F. (14.06 ACRES)			
EXISTING ZONING: A-2 GENERAL AGRICULTURE DISTRICT AND R-4 MULTI-FAMILY			
PROPOSED ZONING: R-4 MULTI-FAMILY			
PROPOSED USE: MULTI-FAMILY HOUSING			
AREA OF SITE DISTURBANCE: 10.1 ACRES			
SETBACKS:			
BUILDING:	FRONT(DIRECTION) = 40'		
	SIDE(DIRECTION) = 15'		
	REAR(DIRECTION) = 40'		
BUFFERYARDS:			
	SIDE (DIRECTION) = 20'		
	REAR(DIRECTION) = 20'		
PROPOSED BUILDING HEIGHT: 30' (MAX. HEIGHT ALLOWED: 35')			
PARKING REQUIRED: (2 SPACES PER UNIT + 1 SPACE PER 6 UNITS) X 72 UNITS = 156 SPACES REQ.			
PARKING PROVIDED: 216 STALLS, 72 COVERED, 144 SURFACE (5 H.C. ACCESSIBLE)			
HANDICAP STALLS PROVIDED: 5 SURFACE STALLS			

EXISTING SITE DATA			
BUILDING FLOOR AREA	0.00	0	0.0%
PAVEMENT (ASP. & CONC.)	0.00	0	0.0%
TOTAL IMPERVIOUS	0.00	0	0.0%
LANDSCAPE/ OPEN SPACE	14.04	611,726	100.0%
PROJECT SITE	14.04	611,726	100.0%

PROPOSED SITE DATA			
BUILDING FLOOR AREA	1.26	55,029	9.0%
PAVEMENT (ASP. & CONC.)	2.64	115,081	18.8%
TOTAL IMPERVIOUS	3.91	170,110	27.8%
LANDSCAPE/ OPEN SPACE	10.14	441,616	72.2%
PROJECT SITE	14.04	611,726	100.0%



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE TELEFAX (414) 259-0947
TDD (FOR THE HEARING IMPAIRED)
1-800-542-2289
WISCONSIN STATUTE 182.0175 (1974)
REQUIRES MINIMUM OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

LEGEND

NOTE: ALL SYMBOLS SHOWN MAY NOT APPEAR ON DRAWINGS.

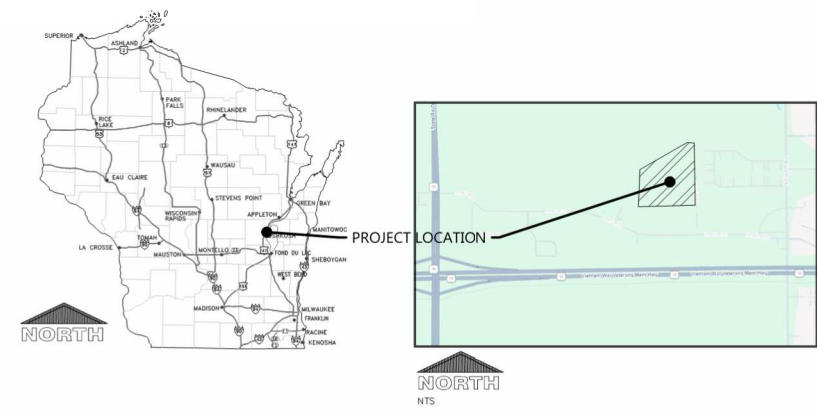
SYM.	IDENTIFICATION	SYM.	IDENTIFICATION
SPOT ELEVATIONS			
• (000.00)	PROPOSED SPOT ELEVATIONS (FLOW LINE OF CURB UNLESS OTHERWISE SPECIFIED)	• (000.00)TC	PROPOSED SPOT ELEVATIONS (TOP OF CURB, FLOWLINE OF CURB)
• (000.00)EG	EXISTING GRADE SPOT ELEVATIONS	• (000.00)FL	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK @ FLOWLINE)
• (000.00)BG	PROPOSED SPOT ELEVATIONS (REFERENCE R-WALL DETAIL, BG-FINISHED SURFACE GRADE AT BACK OF WALL)	• (000.00)TW	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK @ FLOWLINE)
• (000.00)FG	PROPOSED SPOT ELEVATIONS (REFERENCE R-WALL DETAIL, FG-FINISHED SURFACE GRADE AT FRONT OF WALL)	• (000.00)BW	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK @ FLOWLINE)
EXISTING SITE SYMBOLS			
⊖	EXISTING SIGN	⊕	EXISTING UTILITY POLE
♿	EXISTING HANDICAP PARKING STALL	⊕→	EXISTING UTILITY POLE WITH GUY WIRE
⊕	EXISTING WATER VALVE IN BOX	⊕	EXISTING STREET LIGHT
⊕	EXISTING WATER VALVE IN MANHOLE	⊕	EXISTING TELEPHONE PEDESTAL
⊕	EXISTING WATER SERVICE VALVE	⊕	EXISTING ELECTRIC PEDESTAL
⊕	EXISTING WELL	⊕	EXISTING ELECTRIC BOX
⊕	EXISTING STORM CATCH BASIN	⊕	EXISTING FLOOD LIGHT
⊕	EXISTING STORM CURB INLET	⊕	EXISTING TELEPHONE MANHOLE
⊕	EXISTING SQUARE CATCH BASIN	⊕	EXISTING CABLE TV PEDESTAL
⊕	EXISTING LIGHT POLE	⊕	EXISTING GAS VALVE
■	1-1/4" REBAR SET WEIGHING 4.30 LB/FT.	⊕	EXISTING HEDGE
■	3/4" REBAR SET WEIGHING 1.50 LB/FT.	⊕	EXISTING WOODED AREA
□	1-1/4" REBAR FOUND	⊕	EXISTING MARSH AREA
○	3/4" REBAR FOUND	⊕	EXISTING DECIDUOUS TREE WITH TRUNK DIAMETER
○	2" IRON PIPE FOUND	⊕	EXISTING CONIFEROUS TREE
▲	1" IRON PIPE FOUND	⊕	EXISTING SHRUB
⊕	SECTION CORNER	⊕	EXISTING STUMP
PROPOSED SITE SYMBOLS			
⊖	PROPOSED SIGN	⊕	PROPOSED STORM FIELD INLET - ST FI
♿	PROPOSED HANDICAP PARKING STALL	⊕	PROPOSED LIGHT POLE
⊕	PROPOSED WATER VALVE IN BOX	⊕	PROPOSED DRAINAGE FLOW
⊕	PROPOSED WATER VALVE IN MANHOLE	⊕	PROPOSED APRON END SECTION
⊕	PROPOSED WATER SERVICE VALVE	⊕	SOIL BORING
⊕	PROPOSED WELL	⊕	CENTER LINE
⊕	PROPOSED STORM CATCH BASIN - ST CB	⊕	PROPOSED CLEANOUT
⊕	PROPOSED STORM CURB INLET - ST CI	⊕	PROPOSED DOWNSPOUT TO GRADE
		⊕	PROPOSED DOWNSPOUT TO RISER

EXISTING LINETYPES	
⊖	EXISTING CHAINLINK FENCE
⊖	EXISTING WOOD FENCE
⊖	EXISTING BARBED WIRE FENCE
⊖	EXISTING CURB AND GUTTER
⊖	EXISTING GUARD RAIL
⊖	EXISTING GROUND CONTOUR
⊖	EXISTING STORM SEWER AND MANHOLE
⊖	EXISTING SANITARY SEWER AND MANHOLE
⊖	EXISTING WATER LINE AND HYDRANT
⊖	INTERIOR PROPERTY LINE
⊖	EXISTING POLISH SEWER AND MANHOLE
⊖	EXISTING PROCESS SEWER AND MANHOLE
⊖	EXISTING CLEAR WATER LINE
⊖	EXISTING UNDERGROUND FIBER OPTIC LINE
⊖	EXISTING UNDERGROUND ELECTRIC CABLE
⊖	EXISTING UNDERGROUND TELEPHONE CABLE
⊖	EXISTING UNDERGROUND GAS LINE
⊖	EXISTING OVERHEAD UTILITY LINE
⊖	RAILROAD TRACKS
⊖	RIGHT-OF-WAY LINE
PROPOSED LINETYPES	
⊖	PROPOSED CHAINLINK FENCE
⊖	PROPOSED WOOD FENCE
⊖	PROPOSED BARBED WIRE FENCE
⊖	PROPOSED CURB AND GUTTER
⊖	PROPOSED GUARD RAIL
⊖	PROPOSED GROUND CONTOUR
⊖	PROPOSED STORM SEWER AND MANHOLE - ST MH
⊖	PROPOSED SANITARY SEWER AND MANHOLE - SAN MH
⊖	PROPOSED WATER LINE AND HYDRANT
⊖	PROPOSED PROPERTY LINE
⊖	PROPOSED POLISH SEWER AND MANHOLE
⊖	PROPOSED PROCESS SEWER AND MANHOLE
⊖	PROPOSED CLEAR WATER LINE
⊖	PROPOSED UNDERGROUND FIBER OPTIC LINE
⊖	PROPOSED UNDERGROUND ELECTRIC CABLE
⊖	PROPOSED UNDERGROUND TELEPHONE CABLE
⊖	PROPOSED UNDERGROUND GAS LINE
⊖	PROPOSED OVERHEAD UTILITY LINE
⊖	MATCHLINE
⊖	GRADING/SEEDING LIMITS

PROJECT CONTACTS

OWNER INFORMATION: SPARK DEV LLC DEREK LIEBHAUSER 2065 AMERICAN DR., SUITE A NEENAH, WI 54956 Phone: (920) 428-9451 Email: derek@sparkdevco.com	CIVIL: GRANT DUCHAC Phone: (920) 322-1681 E-mail: grant.d@excelengineer.com	CITY PLANNER: KELLY WISNEFSKE Phone: (920) 836-2007 E-mail: administrator@CLAYTONWINNEBAGO.WI.GOV	CITY FIRE CHIEF: SCOTT RIECKMANN Phone: (920) 836-2170 E-mail: firechief@townofclayton.net	CITY BUILDING INSPECTOR: TOM SPIEROWSKI Phone: (920) 836-2007 E-mail: buildinginspector@townofclayton.net	CITY DIRECTOR OF PUBLIC WORKS: RICK CHRISTIANSON, JR. Phone: (920) 450-8414 E-mail: dpw1@townofclayton.net
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LOCATION MAP



PROJECT NOTES

- GENERAL PROJECT NOTES**
- ALL DRIVEWAYS AND CURB CUTS TO BE CONSTRUCTED ACCORDING TO LOCAL ORDINANCES. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS.
 - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL WORK IN ROW PERMITS.

CONSTRUCTION STAKING SERVICES
CONSTRUCTION STAKING SHALL BE COMPLETED BY EXCEL ENGINEERING AS REQUESTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO CONTACT RYAN WILGREEN AT 920-926-9800 OR RYAN.W@EXCELENGINEER.COM TO GET STAKING PRICE TO INCLUDE IN BID TO OWNER. PAYMENT OF STAKING COSTS ABOVE AND BEYOND THE BASE PRICE DUE TO RESTAKING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR, NOT THE OWNER. CAD DRAWING FILES AND SURVEY CONTROL WILL NOT BE PROVIDED FOR STAKING PURPOSES.

SHEET INDEX

SHEETS BELOW INTENDED TO BE PRINTED IN COLOR. REFER TO DIGITAL FORMAT DRAWINGS IF PRINTED GRAYSCALE TO ENSURE SCOPE CLARITY.

NUMBER	SHEET NAME / DESCRIPTION
C0.1	COVER SHEET
C0.2	SPECIFICATIONS
C1.0	EXISTING SITE AND DEMOLITION PLAN
C1.1	SITE PLAN
C1.1A	ENHANCED SITE PLAN
C1.2	GRADING AND EROSION CONTROL PLAN
C1.2A	GRADING PLAN DETAIL
C1.3	UTILITY PLAN
C1.4	LANDSCAPE AND RESTORATION PLAN
C1.4A	LANDSCAPE AND RESTORATION EXHIBITS
C2.0	DETAILS
C2.1	DETAILS
	STORM SEWER BASIN MAP

Item D.

EXCEL
Always a Better Plan
100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED MULTI-FAMILY DEVELOPMENT FOR:
SPARK DEVELOPMENT, LLC
EAGLE HEIGHTS DRIVE • TOWN OF CLAYTON, WI 54942

PROFESSIONAL SEAL

WISCONSIN
GRANT DUCHAC
42768-6
FOND DU LAC
WISCONSIN
PROFESSIONAL ENGINEER
09/08/25

PRELIMINARY DATES
SEPT. 8, 2025

NOT FOR CONSTRUCTION

JOB NUMBER
250209100

SHEET NUMBER
C0.1 50

CIVIL SPECIFICATIONS

Item D.



Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

D. SANITARY AND PROCESS MANHOLES SHALL BE 48" PRECAST AND CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN CURRENT EDITION UNLESS OTHERWISE DIRECTED BY THE ENGINEER. PROCESS MANHOLES SHALL BE LINED W/ GSE STUDLINER LINING. SANITARY & PROCESS MANHOLE FRAME AND DEEP TO BE NEEMAN R-1550 A OR EQUAL. RIM ELEVATION TO BE SET AT FINISHED GRADE AND DEVELOPED AREAS AND 12" ABOVE FINISHED GRADE IN UNDEVELOPED AREAS EXCEPT AS OTHERWISE DIRECTED BY THE ENGINEER.

PROPOSED MULTI-FAMILY DEVELOPMENT FOR:
SPARK DEVELOPMENT, LLC
EAGLE HEIGHTS DRIVE • TOWN OF CLAYTON, WI 54942

PROFESSIONAL SEAL

PRELIMINARY DATES

SEPT. 8, 2025

JOB NUMBER

250209100

SHEET NUMBER

C0.2 51

NOT FOR CONSTRUCTION

DIVISION 33 UTILITIES

33 10 00 SITE UTILITIES

- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTES ARE CLEAR (PER CODE) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE AND CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING SUCH OBSTRUCTIONS.
- B. CONTRACTOR TO FIELD VERIFY ALL EXISTING SANITARY AND STORM LATERALS THAT ARE SCHEDULED TO BE RE-USED AND/OR CONNECTED TO ON SITE. THE TELEVISION SHALL BE COMPLETED TO ENSURE THE EXISTING LATERALS ARE FREE OF OBSTRUCTIONS AND IN SOUND STRUCTURAL CONDITION. TELEVISION OF THESE LATERALS SHOULD BE COMPLETED AT BEGINNING OF CONSTRUCTION AND DESIGN ENGINEER SHALL BE NOTIFIED OF ANY PIPE OBSTRUCTIONS AND/OR STRUCTURAL DEFICIENCIES IMMEDIATELY AFTER COMPLETION OF FIELD TELEVISION.
- C. ALL SANITARY PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A. ALLOWABLE PIPE MATERIAL SCHEDULE. ALL SANITARY PIPE BELOW PROPOSED & FUTURE BUILDINGS SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A. ALLOWABLE PIPE MATERIAL. INSULATION SHALL BE PROVIDED PER STATE PLUMBING CODES AS NECESSARY BASED ON PROPOSED DEPTH PER PLANS.
- D. SANITARY AND PROCESS MANHOLES SHALL BE 48" PRECAST AND CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN CURRENT EDITION UNLESS OTHERWISE DIRECTED BY THE ENGINEER. PROCESS MANHOLES SHALL BE LINED W/ GSE STUDLINER LINING. SANITARY & PROCESS MANHOLE FRAME AND DEEP TO BE NEEMAN R-1550 A OR EQUAL. RIM ELEVATION TO BE SET AT FINISHED GRADE AND DEVELOPED AREAS AND 12" ABOVE FINISHED GRADE IN UNDEVELOPED AREAS EXCEPT AS OTHERWISE DIRECTED BY THE ENGINEER.
- E. CLEANOUTS SHALL BE PROVIDED FOR THE SANITARY & STORM SERVICES AT LOCATIONS INDICATED ON THE UTILITY PLAN. THE CLEANOUT SHALL CONSIST OF A COMBINATION WYE FITTING IN LINE WITH THE SANITARY/STORM SERVICE WITH THE CLEANOUT LEG OF THE COMBINATION WYE FACING STRAIGHT UP. THE CLEANOUT SHALL CONSIST OF A 4" (OR 6") VERTICAL PVC PIPE WITH A WATER TIGHT REMOVABLE CLEANOUT PLUG. AN 8" PVC BREST SLEEVE SHALL BE PROVIDED. THE BOTTOM OF THE FROST SLEEVE SHALL TERMINATE 12" ABOVE THE TOP OF THE SANITARY LATERAL OR AT LEAST 6" BELOW THE PREDICTED FROST DEPTH, WHICHEVER IS SHALLOWER. THE CLEANOUT SHALL EXTEND JUST ABOVE THE SURFACE GRADE IN LAWN OR LANDSCAPE AREAS WITH THE FROST SLEEVE TERMINATING AT THE GRADE SURFACE. THE CLEANOUT SHALL EXTEND TO 4 INCHES BELOW SURFACE GRADE IN PAVED SURFACES WITH A 20" X 24" X 1/4" HEAVY DUTY CLEANOUT HOUSING PLACED OVER THE TOP OF THE CLEANOUT FLUSH WITH THE SURFACE GRADE. IN PAVED SURFACES, THE FROST SLEEVE SHALL TERMINATE IN A CONCRETE PAD AT LEAST 6" THICK AND EXTENDING AT LEAST 9" FROM THE SLEEVE ON ALL SIDES, SLOPING AWAY FROM THE SLEEVE. THE CLEANOUT HOUSING SHALL BE CONSTRUCTED PER MANUFACTURER'S REQUIREMENTS.
- F. ALL PROPOSED WATER PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A. ALLOWABLE PIPE MATERIAL SCHEDULE. 6" MINIMUM COVER SHALL BE PROVIDED OVER ALL WATER PIPING UNLESS OTHERWISE SPECIFIED.
- G. ALL PROPOSED STORM PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A. ALLOWABLE PIPE MATERIAL SCHEDULE. ALL PROPOSED STORM PIPE BELOW BUILDINGS SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A. ALLOWABLE PIPE MATERIAL SCHEDULE. SEE UTILITY PLANS FOR ALL STORM PIPE MATERIAL TYPES TO BE USED. PIPE SHALL BE PLACED MIN. 12" HORIZONTALLY FROM FOUNDATION WALLS.
- H. SANITARY, STORM, AND WATER UTILITY PIPE INVERTS SHALL BE CONSTRUCTED WITHIN 0.10' OF DESIGN INVERT ELEVATIONS ASSUMING PIPE SLOPE AND SEPARATION IS MAINTAINED PER THE UTILITY DESIGN PLANS AND STATE REQUIREMENTS.
- I. SITE UTILITY CONSTRUCTION SHALL RUN SANITARY SERVICE TO A POINT WHICH IS A MAXIMUM OF 5' FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN STORM SEWER FOR INTERNALLY DRAINED BUILDINGS TO A POINT WHICH IS A MAXIMUM OF 5' FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN DOWNSPOUT LEADS TO BUILDING FOUNDATION AND UP 6" ABOVE SURFACE GRADE FOR CONNECTION TO DOWNSPOUT FOR ALL DOWNSPOUT TO RISER (DSR) CONNECTIONS. DOWNSPOUTS TO GRADE (DSG) SHALL BE PROVIDED WITH SPLASH BLOCKS AT THE DISCHARGE LOCATION. ALL DOWNSPOUT LOCATIONS SHOULD BE VERIFIED WITH ARCHITECTURAL PLANS AND DOWNSPOUT CONTRACTOR/CGC PRIOR TO INSTALLATION OF DOWNSPOUT LEADS. DOWNSPOUT LEADS SHALL NOT UNDERMINE BUILDING FOUNDATIONS. SITE UTILITY CONTRACTOR SHALL RUN WATER SERVICE TO A POINT WITHIN THE FOUNDATION SPECIFIED BY THE PLUMBING PLANS. CONTRACTOR TO CLIMB AND CAP WATER SERVICE 12" ABOVE FINISHED FLOOR ELEVATION.
- J. ALL UTILITIES SHALL BE INSTALLED WITH PLASTIC COATED TRACER WIRE IN 10 GAUGE SOLID COPPER OR COPPER COATED STEEL WIRE. PLASTIC WIRE MAY BE TAPED TO PLASTIC WATER OR SEWER PIPE, IF ATTACHED, THE TRACER WIRE SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET. TRACER WIRE SHALL TERMINATE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AT GRADE OR IN TERMINATION BOX PER LOCAL/STATE REQUIREMENTS.
- K. ALL UTILITIES SHALL BE INSTALLED PER STATE, LOCAL, AND INDUSTRY STANDARDS. WATER, SANITARY, AND STORM SEWER SHALL BE INSTALLED PER "STANDARD SPECIFICATION FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN". THE EXCEL ENGINEERING DESIGN ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING STATE PLUMBING REVIEW APPROVAL IF REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS REQUIRED TO INSTALL WATER, SANITARY AND STORM SEWER.
- L. SEE PLANS FOR ALL OTHER UTILITY SPECIFICATIONS AND DETAILS.

32 30 00 LANDSCAPING AND SITE STABILIZATION

- A. TOPSOIL. CONTRACTOR TO PROVIDE A MINIMUM OF 5" OF TOPSOIL FOR ALL DISTURBED OPEN AREAS. OTHER THAN A LANDSCAPE ISLANDS SHALL BE PROVIDED WITH A MINIMUM OF 10" OF TOPSOIL. REUSE SURFACE SOIL STOCKPILED ON SITE AND SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN QUANTITIES ARE INSUFFICIENT. EXCAVATORS SHALL SEEDS WITH THE FOLLOWING MIXTURE: 45% KENTUCKY BLUEGRASS (0-60) & FINAL GRADE PRIOR TO LANDSCAPE FINAL GRADING. LANDSCAPER TO PROVIDE PULVERIZING AND FINAL GRADING OF TOPSOIL. PROVIDE SOIL ANALYSIS BY A QUALIFIED SOIL TESTING LABORATORY AS REQUIRED TO VERIFY THE SUSTAINABILITY OF SOIL TO BE USED AS TOPSOIL AND TO DETERMINE THE NECESSARY NUTRIENT ENRICHMENT TEST SOIL FOR PRESENCE OF AZITRAINE AND INFORM EXCEL ENGINEERING, INC. IF PRESENT PRIOR TO BIDDING POINT. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 6. CONTAIN A MINIMUM OF 1% PERCENT ORGANIC MATERIAL CONTENT, AND SHALL BE FREE OF STONES 1/2" OR LARGER IN DIAMETER. ALL MATERIALS HARMFUL TO PLANT GROWTH SHALL ALSO BE REMOVED.
- B. SEEDING LAWNS: TOPSOIL INSTALLATION: LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 6 INCHES AND REMOVE STONES LARGER THAN 1" IN DIAMETER. ALSO REMOVE ANY STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND DISPOSE OF THEM OFF THE PROPERTY. SPREAD TOPSOIL TO A DEPTH OF 6" BUT NOT LESS THAN WHAT IS REQUIRED TO MEET FINISHED GRADES AFTER LIGHT ROLLING AND NATURAL SETTLEMENT. DO NOT SPREAD TOPSOIL IF SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET. GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN 0.05 FEET OF FINISHED GRADE ELEVATION.
- PERMANENT LAWN AREAS SHALL BE SEEDD WITH THE FOLLOWING MIXTURE: 65% KENTUCKY BLUEGRASS BLEND (2.0-2.6 LBS/1,000 S.F.), 20% PERENNIAL RYEGRASS (0.6-0.8 LBS/1,000 S.F.), 15% FINE FESCUE (0.4-0.6 LBS/1,000 S.F.), STRAW AND MULCH SHALL BE LAID AT 100 LBS/1,000 S.F. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS/1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. ALL SITE DISTURBED AREAS NOT DESIGNATED FOR OTHER LANDSCAPING AND SITE STABILIZATION METHODS SHALL BE SEEDD AS PERMANENT LAWN. NO BARE TOPSOIL SHALL BE LEFT OVERSITE. FOLLOW PROCEDURES FOUND IN WORK TECHNICAL STANDARDS 1058 & 1059.
 - ALL PERMANENT AND TEMPORARY STORM WATER CONVEYANCE SWALE BOTTOMS AND SIDE SLOPES SHALL BE SEEDD WITH THE FOLLOWING MIXTURE: 45% KENTUCKY BLUEGRASS (0-60) & 5% FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS/1,000 S.F. 40% CREEPING RED FESCUE (0.50 LBS/1,000 S.F.) AND 15% PERENNIAL RYEGRASS (0.20 LBS/1,000 S.F.) FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS/1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES FOUND IN WORK TECHNICAL STANDARDS 1058 & 1059.
 - ALL TEMPORARY SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE: 100% RYEGRASS AT 1.9 LBS/1,000 S.F. STRAW AND MULCH SHALL BE LAID AT 100 LBS/1,000 S.F. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS/1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES FOUND IN WORK TECHNICAL STANDARDS 1058 & 1059.
- C. SEEDD LAWN MAINTENANCE. CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. AT THE END OF THE MAINTENANCE PERIOD, THE CONTRACTOR SHALL REMOVE ALL WEEDS AND GRASS. THE MATTING IN ACCORDANCE WITH SEEDING REQUIREMENTS AND MANUFACTURER SPECIFICATIONS.
- D. EROSION MATTING: 1. CONTRACTOR TO PROVIDE EROSION CONTROL MATTING (NORTH AMERICAN GREEN S150) OR EQUIVALENT ON ALL SLOPES THAT ARE 4:1 AND GREATER OUTSIDE OF STORMWATER CONVEYANCE AREAS. MATTING SHALL BE PROVIDED WITH SEEDING REQUIREMENTS AND MANUFACTURER SPECIFICATIONS.
- E. RIP RAP: ALL RIP RAP ASSOCIATED WITH STORMWATER MANAGEMENT AND STORMWATER CONVEYANCE, AS DELINEATED ON THE PLANS, SHALL BE CONSTRUCTED WITH THE TOP OF RIP RAP MATCHING THE PROPOSED ADJACENT GRADE ELEVATIONS. PLACEMENT OF RIP RAP ABOVE THE PROPOSED ADJACENT GRADE ELEVATIONS IS NOT ACCEPTABLE. ALL RIP RAP SHALL BE PLACED ON TYPE HR FILTER FABRIC PER SECTION 645 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
- F. TREES AND SHRUBS: FURNISH NURSERY-GROWN TREES AND SHRUBS WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, AND HEALTHY LOOKING STOCK. STOCK SHOULD ALSO BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. SEE THE LANDSCAPE PLAN FOR SPECIFIC SPECIE TYPE, SIZE, AND LOCATION.
- G. TREE AND SHRUB INSTALLATION: EXCAVATE CIRCULAR PITS WITH SIDES SLOPED INWARD. TRIM BASE LEAVING CENTER AREA RAISED SLIGHTLY TO SUPPORT ROOT BALL. EXCAVATE PIT APPROXIMATELY THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER. SET TREES AND SHRUBS PLUMB AND IN CENTER OF PIT WITH TOP OF BALL 1" ABOVE ADJACENT FINISHED GRADES. PLACE PLANTING SOIL MIX AROUND ROOT BALL IN LAYERS AND TAMPER TO SETTLE MIX. WATER ALL PLANTS THOROUGHLY. PROVIDE TEMPORARY STAKING FOR TREES AS REQUIRED.
- H. TREE AND SHRUB MAINTENANCE/WARRANTY: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. MAINTENANCE TO INCLUDE REGULAR WATERING AS REQUIRED FOR SUCCESSFUL PLANT ESTABLISHMENT. CONTRACTOR TO PROVIDE 1 YEAR WARRANTY ON ALL TREES, SHRUBS, AND PERENNIALS.
- I. ORGANIC MULCH: PROVIDE 3" MINIMUM THICK BLANKET OF SHREDDED HARDWOOD MULCH AT ALL PLANTING AREAS INDICATED ON THE LANDSCAPE PLAN. INSTALL OVER NON-WOVEN WEED BARRIER FABRIC. COLOR BY OWNER.
- J. MINERAL MULCH: PROVIDE 3" MINIMUM THICK BLANKET OF 1.5" MINIMUM TO 2.5" MAXIMUM CRUSHED DECORATIVE STONE AT ALL PLANTING AREAS INDICATED ON THE LANDSCAPE PLAN. INSTALL OVER NON-WOVEN WEED BARRIER FABRIC. COLOR BY OWNER.
- K. PLASTIC EDGING: INSTALL VALLEY VEIN INDUSTRIES BLACK DIAMOND LAWN EDGING TO SEPARATE ALL PLANTING BEDS FROM LAWN AREAS. EDGINGS TO BE 5.5" TALL WITH METAL STAKES INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- L. LANDSCAPE AND LAWN IRRIGATION: CONTRACTOR TO PROVIDE DESIGN AND INSTALLATION OF IRRIGATION SYSTEM PIPING, VALVES, VALVE BOXES, SPRINKLERS, EMITTERS, DRIP TUBES, AND CONTROLS IN COMBINATIONS THAT BEST SUIT THE LANDSCAPE PLAN LAYOUT. ALL LAWN AND LANDSCAPING AREAS SHALL BE PROVIDED WITH IRRIGATION AS DELINEATED ON THE PLAN. THE DESIGN SHOULD MINIMIZE THE AMOUNT OF WATER THAT EXTENDS BEYOND THE PROPERTY AND ON PAVED AREAS. THE SYSTEM SHALL BE DESIGNED FOR FULLY AUTOMATIC OPERATION AND PROVIDE ALL NECESSARY CONTROLS, VALVES, AND WIRING TO OPERATE THE SYSTEM. THE CONTROL UNIT SHALL BE INSTALLED IN A MECHANICAL ROOM OR AT A LOCATION AGREED TO WITH THE OWNER. THE CONTROL UNIT SHOULD BE PROVIDED WITH A LOCKING COVER.

DIVISION 32 EXTERIOR IMPROVEMENTS

32 10 00 AGGREGATE BASE & ASPHALT PAVEMENT

- A. CONTRACTOR TO PROVIDE COMPACTED AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT WHERE INDICATED ON THE PLANS. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. PROVIDE HOT MIX ASPHALT MIXTURE TYPES PER SECTION 460 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. CONTRACTOR SHALL OBTAIN AND REVIEW SOILS REPORT FOR RECOMMENDATIONS FOR GEO-GRID / GEOTEXTILE BELOW CRUSHED AGGREGATE (IF APPLICABLE). CONTRACTOR TO PROVIDE AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT TYPES AND DEPTHS AS INDICATED BELOW.
- | | |
|--|---|
| STANDARD ASPHALT PAVING SECTION | HEAVY ASPHALT PAVING SECTION |
| 1-1/2" SURFACE COURSE (5 LT 58-285) | 1-1/2" SURFACE COURSE (5 LT 58-285) |
| (WSDOT 455.2.5 TACK COAT (STAGED PAVING) | WSDOT 455.2.5 TACK COAT (STAGED PAVING) |
| 2" BINDER COURSE (4 LT 58-285) | 2-1/2" BINDER COURSE (4 LT 58-285) |
| 10" OF 1-1/4" CRUSHED AGGREGATE | 12" OF 1-1/4" CRUSHED AGGREGATE |
- B. CONTRACTOR TO COMPACT THE AGGREGATE BASE, ASPHALT BINDER COURSE, AND ASPHALT SURFACE COURSE TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL ASPHALT PAVEMENT AREAS SHALL BE PAVED TO WITHIN 0.05' OF DESIGN SURFACE GRADES WITH POSITIVE DRAINAGE BEING MAINTAINED IN ACCORDANCE WITH DESIGN PLANS. A MINIMUM OF 1% SLOPE SHALL BE MAINTAINED IN ALL ASPHALT PAVEMENT AREA.
- C. HOT MIX ASPHALT CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF GEOTECHNICAL REPORT OR CONSTRUCTION DOCUMENTS.
- D. CONTRACTOR TO PROVIDE 4" WIDE YELLOW OR WHITE PAINTED STRIPES FOR PARKING STALLS, TRAFFIC LANES, AND NO PARKING AREAS. YELLOW OR WHITE PAINT MARKINGS SHALL ALSO BE PROVIDED FOR H.C. ACCESSIBLE SYMBOLS, TRAFFIC ARROWS, AND TRAFFIC MESSAGES.

32 20 00 CONCRETE AND AGGREGATE BASE

- A. CONTRACTOR TO PROVIDE CRUSHED AGGREGATE BASE AND CONCRETE WHERE INDICATED ON THE PLANS.
- B. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL AGGREGATE PLACED MUST BE COMPACTED TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
- C. DESIGN AND CONSTRUCTION OF ALL CAST-IN-PLACE EXTERIOR CONCRETE FLAT WORK SHALL CONFORM TO ACI 308R-08 & ACI 318-08.
- D. EXTERIOR CONCRETE FLAT WORK CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF THE GEOTECHNICAL REPORT OR THIS SPECIFICATION. CONCRETE FLAT WORK CONSTRUCTION IS AS FOLLOWS:
- SIDEWALK CONCRETE - 4" OR CONCRETE OVER 4" OF 3/4" CRUSHED AGGREGATE BASE. CONTRACTOR TO CONFORM TO THE FOLLOWING: UNIFORM CLOSE STANDING AND JOINTS INDICATED ON THE PLANS.
 - DUMPS/TER PAD/APRON CONCRETE - 8" OF CONCRETE OVER 6" OF AGGREGATE BASE.
 - CONCRETE SHALL BE STEEL REINFORCED WITH THE FOLLOWING AND PLACED IN THE UPPER 1/3 TO 1/2 OF THE SLAB.
 - THE BARS AT ALL CONCRETION JOINTS OF THE CONCRETE. TIE BARS SHALL BE #4 REBAR 30" LONG PLACED AT 30' O.C.
 - DUMPS/TER PAD CONCRETE JOINTING SHALL BE AS FOLLOWS:
 - CONTRACTOR SAWCUT JOINT - CONTRACTOR SHALL PROVIDE A SAWCUT JOINT AT MAXIMUM SPACING OF 15' ON CENTER. SAWCUT SHALL BE 2" IN DEPTH.
 - TYPICAL POUR CONTROL JOINT - POUR CONTROL JOINT SHALL BE PROVIDED WITH 1-1/4" DIAMETER BY 20" LONG SMOOTH DOWEL PLACED AT 12' O.C. ONE HALF OF THE DOWEL SHALL BE GREASED. GREENSTEEL 9" SPEED DOWEL TUBES SHALL BE USED.
- E. DESIGN MDSH SHALL BE IN ACCORDANCE WITH ASTM C94
- STRENGTH TO BE MINIMUM OF 4,500 PSI AT 28 DAYS FOR EXTERIOR CONCRETE.
 - MAXIMUM WATER/CEMENT RATIO SHALL BE 0.45.
 - SLUMP SHALL NOT EXCEED 4" FOR EXTERIOR CONCRETE FLAT WORK.
 - SLUMP SHALL BE 2.5" OR LESS FOR SLIP-FORMED CURB AND GUTTER.
 - SLUMP SHALL BE BETWEEN 1.5" TO 3" FOR NON SLIP-FORMED CURB AND GUTTER.
 - ALL EXTERIOR CONCRETE SHALL BE AIR ENTRAINED WITH 4% TO 7% AIR CONTENT. NO OTHER ADMIXTURES SHALL BE USED WITHOUT APPROVAL OF EXCEL ENGINEERING, INC. CALCIUM CHLORIDE SHALL NOT BE USED.
 - MAXIMUM AGGREGATE SIZE FOR ALL EXTERIOR CONCRETE SHALL BE 0.75 INCHES.
- F. FIBER EQUIPMENT CONCRETE PAD SIZES WITH CONTRACTOR REQUIREING PAD. PADS SHALL HAVE FIBER#1 300 FIBERS AT A RATE OF 1.5 LBS/CU. YD. OR 6 X 6 W/4 X W/4 WELDED WIRE MESH WITH MINIMUM 1 INCH COVER. EQUIPMENT PADS SHALL BE 5 INCHES THICK WITH 1 INCH CHAMFER UNLESS SPECIFIED OTHERWISE. CONCRETE SHALL BE PROVIDED ON 6" 0/3/4" CRUSHED AGGREGATE BASE. COORDINATE ADDITIONAL PAD REQUIREMENTS WITH RESPECTIVE CONTRACTOR.
- G. ALL CONCRETE FLAT WORK SURFACES AND CONCRETE CURB FLOWLINES SHALL BE CONSTRUCTED TO WITHIN 0.05' OF DESIGN SURFACE AND FLOWLINE GRADES ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE DESIGN PLANS.
- H. CONCRETE FLAT WORK SHALL HAVE CONSTRUCTION JOINTS OR SAW CUT JOINTS PLACED AS INDICATED ON THE PLANS OR PER THIS SPECIFICATION. SAWCUTS SHALL BE DONE AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER CONCRETE IS PLACED. CONCRETE CURB AND GUTTER JOINTING SHALL BE PLACED EVERY 10' OR CLOSER (6' MIN). IF CONCRETE PAVEMENT IS ADJACENT TO CONCRETE CURB JOINTING IN THE PAVEMENT AND CURB SHALL ALIGN. ALL EXTERIOR CONCRETE SHALL HAVE A BROOM FINISH UNLESS NOTED OTHERWISE. A UNIFORM COAT OF A HIGH SOLIDS CURING COMPOUND MEETING ASTM C309 SHALL BE APPLIED TO ALL EXPOSED CONCRETE SURFACES. ALL CONCRETE IS TO BE CURED FOR 7 DAYS. EXTERIOR CONCRETE SHALL BE SEPARATED FROM BUILDINGS WITH CONTINUOUS 0.5 INCH FIBER EXPANSION JOINT AND/OR 0.25 INCH FIBER EXPANSION JOINT AT DECORATIVE MASONRY UNITS.
- I. ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60. THICKNESS OF CONCRETE COVER OVER REINFORCEMENT SHALL BE NOT LESS THAN 3" WHERE CONCRETE IS DEPOSITED AGAINST THE CONCRETE WITHOUT THE AMOUNT OF WATER THAT EXTENDS BEYOND THE PROPERTY AND ON PAVED AREAS. THE SYSTEM SHALL BE DESIGNED FOR FULLY AUTOMATIC OPERATION AND PROVIDE ALL NECESSARY CONTROLS, VALVES, AND WIRING TO OPERATE THE SYSTEM. THE CONTROL UNIT SHALL BE INSTALLED IN A MECHANICAL ROOM OR AT A LOCATION AGREED TO WITH THE OWNER. THE CONTROL UNIT SHOULD BE PROVIDED WITH A LOCKING COVER.
- J. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO SAMPLE MATERIALS, PERFORM TESTS, AND SUBMIT TEST REPORTS DURING CONCRETE PLACEMENT. TESTS WILL BE PERFORMED ACCORDING TO ACI 301. CAST AND LABORATORY CURE ONE SET OF FRESH CONCRETE CYLINDERS FOR EACH COMPOSITE SAMPLE FOR EACH DAY'S POUR OF EACH CONCRETE MIX EXCEEDING 5 CU. YD., BUT LESS THAN 25 CU. YD., PLUS ONE SET FOR EACH ADDITIONAL 50 CU. YD. OR FRACTION THEREOF. PERFORM COMPRESSIVE STRENGTH TESTS ACCORDING TO ASTM C 39. TEST TWO SPECIMENS AT 7 DAYS AND TWO SPECIMENS AT 28 DAYS. PERFORM SLUMP TESTING ACCORDING TO ASTM C 143. PROVIDE ONE TEST AT POINT OF PLACEMENT FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MIX. PERFORM ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY APPEARS TO CHANGE.
- K. PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. IN HOT, DRY, AND WINDY WEATHER, APPLY AN EVAPORATION CONTROL COMPOUND ACCORDING TO MANUFACTURER'S INSTRUCTIONS AFTER SCREEDING AND BULL FLOATING, BUT BEFORE POWER FLOATING AND TROWELLING.
- L. LIMIT MAXIMUM WATER/CEMENTITIOUS RATIO OF CONCRETE EXPOSED TO FREEZING, THAWING AND DEIKING SALTS TO 0.45.
- M. TEST RESULTS WILL BE REPORTED IN WRITING TO THE DESIGN ENGINEER, READY-MIX PRODUCER, AND CONTRACTOR WITHIN 24 HOURS AFTER TESTS. REPORTS OF COMPRESSIVE STRENGTH TESTS SHALL CONTAIN THE PROJECT IDENTIFICATION NAME AND NUMBER, DATE OF CONCRETE PLACEMENT, NAME OF CONCRETE TESTING SERVICE, CONCRETE TYPE AND CLASS, LOCATION OF CONCRETE BATCH ON SITE, DESIGN COMPRESSIVE STRENGTH AT 28 DAYS, CONCRETE MIX PROPORTIONS AND MATERIALS, COMPRESSIVE BREAKING STRENGTH, AND TYPE OF BREAK FOR BOTH 7-DAY TESTS AND 28-DAY TESTS.

31 30 00 EROSION CONTROL/STORMWATER MANAGEMENT

- A. THE EXCEL ENGINEERING DESIGN ENGINEER SHALL PREPARE A SITE SPECIFIC EROSION CONTROL AND A STORMWATER MANAGEMENT PLAN PURSUANT TO NR 216.46 AND NR 216.47. THE DESIGN ENGINEER SHALL ALSO FILE A CONSTRUCTION NOTICE OF INTENT WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES PURSUANT TO NR 216.45 AND WITHIN 24 HOURS OF THE END OF A RAIN EVENT OF 0.5" OR MORE. A RAIN EVENT MAY BE CONSIDERED TO BE THE TOTAL AMOUNT OF PRECIPITATION RECORDED IN ANY CONTINUOUS 24-HOUR PERIOD. THE CONTRACTOR SHALL REPAIR OR REPLACE EROSION AND SEDIMENT CONTROL AS NECESSARY WITHIN 24 HOURS OF AN INSPECTION OR AFTER A DEPARTMENT NOTIFICATION WHERE REPAIR OR REPLACEMENT IS REQUESTED.
- B. THE CONTRACTOR SHALL KEEP THE NOTICE OF INTENT PERMIT, APPROVED EROSION CONTROL AND STORMWATER MANAGEMENT PLANS, AND PLAN AMENDMENTS ON THE CONSTRUCTION SITE AT ALL TIMES PURSUANT TO NR 216.455 UNTIL PERMIT COVERAGE IS TERMINATED.
- C. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL EROSION CONTROL PERMITS.
- D. THE CONTRACTOR SHALL SUBMIT A REPORT DURING THE MONITORING, MAINTENANCE, AND REPORTING REQUIREMENTS OF NR 216.48. INSPECTIONS OF IMPLEMENTED EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MUST AT A MINIMUM BE INSPECTED EVERY 7 CALENDAR DAYS OR 14 DAYS AND WITHIN 24 HOURS OF THE END OF A RAIN EVENT OF 0.5" OR MORE.
- E. THE CONTRACTOR SHALL MAINTAIN, AT THE CONSTRUCTION SITE OR AVAILABLE VIA AN INTERNET WEBSITE, WEEKLY WRITTEN REPORTS OF ALL INSPECTIONS CONDUCTED. WISCONSIN DNR CONSTRUCTION SITE INSPECTION REPORT FORM 3400-187 SHALL BE USED. WEEKLY INSPECTION REPORTS SHALL INCLUDE ALL OF THE FOLLOWING:
- THE DATE, TIME, AND LOCATION OF THE CONSTRUCTION SITE INSPECTION.
 - THE NAME OF THE INDIVIDUAL WHO PERFORMED THE INSPECTION.
 - AN ASSESSMENT OF THE CONDITION OF THE EROSION AND SEDIMENT CONTROLS.
 - A DESCRIPTION OF ANY EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE IMPLEMENTATION AND MAINTENANCE PERFORMED.
 - A DESCRIPTION OF ANY INCIDENT PHASE OF LAND DISTURBING CONSTRUCTION ACTIVITY AT THE CONSTRUCTION SITE.
 - EROSION AND SEDIMENT CONTROL IMPLEMENTED DURING CONSTRUCTION SHALL STRICTLY FOLLOW THE GUIDELINES AND REQUIREMENTS SET FORTH IN WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151. THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES RUNOFF MANAGEMENT PERFORMANCE STANDARDS. TECHNICAL STANDARDS PUBLISHED BY THE WISCONSIN DNR SHALL ALSO BE UTILIZED TO IMPLEMENT THE REQUIRED PERFORMANCE STANDARDS. THE METHODS AND TYPES OF EROSION CONTROL WILL BE DEPENDANT ON THE LOCATION AND TYPE OF WORK INVOLVED. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION, AND INSTALLED PRIOR TO ANY GRADING OR DISTURBING EXISTING SURFACE MATERIAL. BELOW IS A LIST OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES TO ACHIEVE THE PERFORMANCE STANDARDS REQUIRED.
- SILT FENCE SHALL BE PLACED ON SITE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. SILT FENCE SHALL ALSO BE PROVIDED AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN THAT WILL EXIST FOR MORE THAN 7 DAYS. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1056 (CURRENT EDITION).
 - DITCH CHECKS SHALL BE PROVIDED TO CONTROL THE VELOCITY OF WATER FLOWING IN DITCH BOTTOMS. PLACE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1062 (CURRENT EDITION).
 - STONE TRACKING PADS AND TRACKOUT CONTROL PRACTICES SHALL BE PLACED AT ALL CONSTRUCTION SITE ENTRANCES AND SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE CONSTRUCTION SITE. SEE THE EROSION CONTROL PLAN FOR LOCATIONS. THE AGGREGATE USED FOR THE STONE TRACKING PAD SHALL BE 3/8" TO 3/4" INCH CLEAR OR WASHED STONE AND SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. THE STONE SHALL BE UNDERLAIN WITH A WSDOT TYPE P GEOTEXTILE FABRIC AS NEEDED. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT (12" MIN WIDTH) AND SHALL BE A MINIMUM OF 50' LONG. SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. OTHER TRACKOUT CONTROL PRACTICES INCLUDING STABILIZED WORK SURFACES, MANUFACTURED TRACKOUT CONTROL DEVICES, TIRE WASHING, AND STREET/PAVEMENT CLEANING SHALL BE IMPLEMENTED AS NECESSARY TO MITIGATE THE TRACKOUT OR SEDIMENT OFFSITE. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1057 (CURRENT EDITION).
 - STORM DRAIN INLET PROTECTION SHALL BE PROVIDED FOR ALL NEW AND DOWNSTREAM EXISTING CATCH BASINS AND INLETS. TYPE B OR C PROTECTION SHALL BE PROVIDED AND SHALL BE IN CONFORMANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1060 (CURRENT EDITION).
 - DUST CONTROL MEASURES SHALL BE PROVIDED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. CONTROL MEASURES INCLUDE APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY-ON TACKIFIERS, CHLORIDES, AND BARRIERS. SOME SITES MAY REQUIRE AN APPROACH THAT UTILIZES A COMBINATION OF MEASURES FOR DUST CONTROL. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1056 (CURRENT EDITION).
 - THE USE, STORAGE, AND DISPOSAL OF CHEMICALS, CEMENT, AND OTHER COMPOUNDS AND MATERIALS USED ON SITE SHALL BE MANAGED DURING THE CONSTRUCTION PERIOD TO PREVENT THEIR TRANSPORT BY RUNOFF INTO WATERS OF THE STATE.
 - CONTRACTOR SHALL PROVIDE AN OPEN AGGREGATE CONCRETE TRUCK WASHOUT AREA ON SITE. CONTRACTOR TO ENSURE THAT CONCRETE WASHOUT SHALL BE CONTAINED TO THIS DESIGNATED AREA AND NOT BE ALLOWED TO RUN INTO STORM DRAINS OR INTO THE OVERLAND STORMWATER DRAINAGE SYSTEM. WASHOUT AREA SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.
 - TEMPORARY SITE RESTORATION SHALL TAKE PLACE IN DISTURBED AREAS THAT WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRES VEGETATIVE COVER FOR LESS THAN ONE YEAR. THIS TEMPORARY SITE RESTORATION REQUIREMENT ALSO APPLIES TO SOIL STOCKPILES THAT EXIST FOR MORE THAN 7 DAYS. PERMANENT RESTORATION APPLIES TO AREAS WHERE PERENNIAL VEGETATIVE COVER IS NEEDED TO PERMANENTLY STABILIZE AREAS OF EXPOSED SOIL. PERMANENT STABILIZATION SHALL OCCUR WITHIN 3 WORKING DAYS OF FINAL GRADING. TOPSOIL, SEED, AND MULCH SHALL BE IN GENERAL CONFORMANCE WITH TECHNICAL STANDARDS 1058 AND 1059 AND SHALL MEET THE SPECIFICATIONS FOUND IN THE LANDSCAPING AND SITE STABILIZATION SECTION OF THIS CONSTRUCTION DOCUMENT. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR FINAL STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
 - IF SITE DEWATERING IS REQUIRED FOR PROPOSED CONSTRUCTION ACTIVITIES, ALL SEDIMENT LADEN WATER GENERATED DURING THE DEWATERING PROCESS SHALL BE TREATED TO REMOVE SEDIMENT PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE. FOLLOW ALL PROCEDURES FOUND IN TECHNICAL STANDARD 1061.
 - ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH WORKING DAY. DUST CONTROL REQUIREMENTS SHALL BE FOLLOWED PER WI DNR TECHNICAL STANDARD 1056 (CURRENT EDITION). FLUSHING SHALL NOT BE ALLOWED.
- G. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREA(S) SERVED HAVE ESTABLISHED VEGETATIVE COVER.
- H. ONCE THE CONSTRUCTION SITE HAS BEEN FULLY STABILIZED AND TEMPORARY EROSION CONTROL BEST MANAGEMENT PRACTICES HAVE BEEN REMOVED, THE CONTRACTOR SHALL FILE A CONSTRUCTION NOTICE OF TERMINATION WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES IN ACCORDANCE WITH NR 216.55.
- I. AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL GIVE THE OWNER COPIES OF THE EROSION CONTROL AND STORM WATER MANAGEMENT PLANS, AMENDMENTS TO PLANS, SUPPORTING PLAN DATA, AND CONSTRUCTION SITE EROSION CONTROL INSPECTION REPORTS. THE OWNER SHALL RETAIN THESE FOR A PERIOD OF 3 YEARS FROM THE DATE OF TERMINATING COVERAGE UNDER WPDOS GENERAL PERMIT.
- J. ALL POST CONSTRUCTION STORMWATER MANAGEMENT BEST MANAGEMENT PRACTICES SHALL BE CONSTRUCTED BEFORE THE SITE HAS UNDERGONE FINAL STABILIZATION.

DIVISION 31 EARTH WORK

31 10 00 SITE CLEARING (DEMOLITION)

- A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING SITE DEMOLITION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- B. CONTRACTOR TO FIELD TELEVIEW ALL EXISTING SANITARY AND STORM LATERALS THAT ARE SCHEDULED TO BE RE-USED AND/OR CONNECTED TO ON SITE AT TIME OF DEMOLITION. THE TELEVISION SHALL BE COMPLETED TO ENSURE THE EXISTING LATERALS ARE FREE OF OBSTRUCTIONS AND IN SOUND STRUCTURAL CONDITION. TELEVISION OF THESE LATERALS SHOULD BE COMPLETED AT BEGINNING OF CONSTRUCTION AND DESIGN ENGINEER SHALL BE NOTIFIED OF ANY PIPE OBSTRUCTIONS AND/OR STRUCTURAL DEFICIENCIES IMMEDIATELY AFTER COMPLETION OF FIELD TELEVISION.
- C. DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE, REPLACE, OR DEMOLISH ALL ITEMS AS NEEDED DURING CONSTRUCTION.
- D. CONTRACTOR TO PROTECT EXISTING IMPROVEMENTS THAT ARE SCHEDULED TO REMAIN. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED AT CONTRACTORS EXPENSE.
- E. ALL CONCRETE NOTED TO BE REMOVED SHALL BE REMOVED TO THE NEAREST CONTROL JOINT.

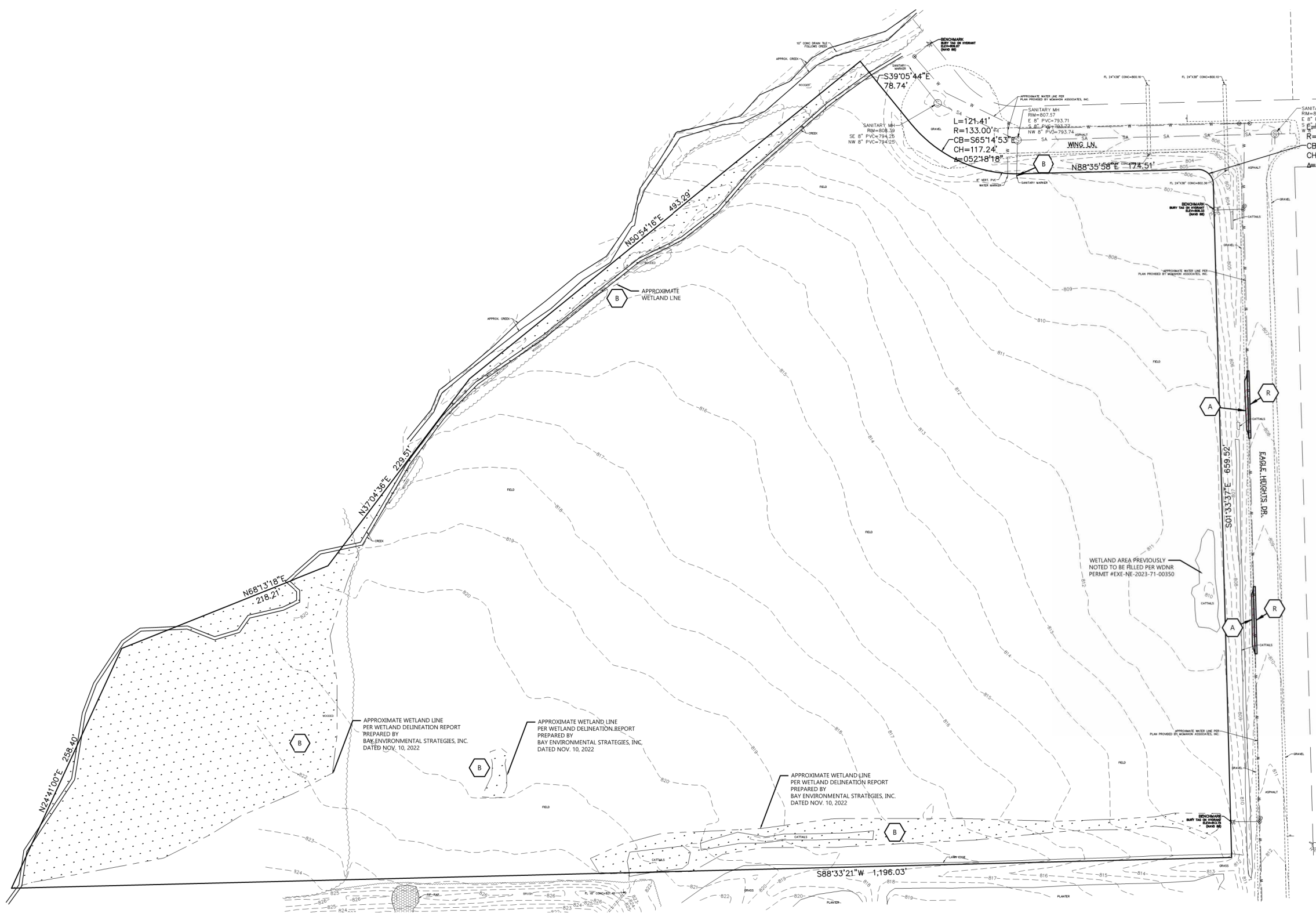
31 20 00 EARTH MOVING

- A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING EXCAVATION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- B. PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT FOR ALL EXCAVATION, GRADING, FILL AND BACKFILL WORK AS REQUIRED TO COMPLETE THE GENERAL CONSTRUCTION WORK.
- C. ALL EXCAVATION AND BACKFILL FOR ELECTRICALS AND MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTOR UNLESS OTHERWISE SPECIFIED IN THE BID DOCUMENTS.
- D. ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA, UNDER PAVED AREAS, AND AT STEEP FILL AREAS SHALL BE REMOVED. PROF-ROLL SURBASES BEFORE PLACING FILL WITH HEAVY PNEUMATIC TIRED EQUIPMENT, SUCH AS A FULLY-LOADED TANDEM AXLE DUMP TRUCK, TO IDENTIFY SOFT ROCKETS AND AREAS OF EXCESS YIELDING. CONTRACTOR SHALL VERIFY TOPSOIL DEPTHS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REVIEW AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ACCOUNT FOR EXISTING CONDITIONS PRIOR TO SUBMITTING BID FOR THE PROJECT. EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED IN THE PLANS OR BY LOCAL ZONING REQUIREMENTS.
- E. PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED ELEVATIONS. UNIFORMLY MOISTEN OR AERATE SUBSEQUENT FILL OR EACH SUBSEQUENT LAYER. EXCESS WASTEWATER SHALL BE REMOVED AS REFERENCED TO ACHIEVE SPECIFIED DRY DENSITY. REMOVE AND REPLACE OR SCARIFY AND AIR DRY, OTHERWISE SATISFACTORY SOIL MATERIAL THAT IS TOO WET TO COMPACT TO SPECIFIED DRY DENSITY.
- F. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTOR EQUIPMENT, AND NOT MORE THAN 4" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPEATED TAMPERS.
- G. COMPACT THE SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D 698. STANDARD PROCTOR TEST. FILL MAY NOT BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY BE USED FOR BACK FILL. APPLY THE MORE STRINGENT REQUIREMENTS WHEN COMPARING BETWEEN THE FOLLOWING AND THE GEOTECHNICAL REPORT.
- UNDER FOUNDATIONS: SUBGRADE, AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 98 PERCENT.
 - UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS MORE THAN 3 FEET BELOW THE SLAB: PLACE A DRAINAGE COURSE LAYER OF 3/4" CRUSHED STONE, WITH 5% TO 12% FINES. PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
 - UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS WITHIN 3 FEET OF THE SLAB SURFACE: PLACE A DRAINAGE COURSE LAYER OF CLEAN 3/4" CRUSHED STONE WITH NO MORE THAN 5% FINES. PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
 - UNDER EXTERIOR CONCRETE AND ASPHALT PAVEMENTS: COMPACT THE SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT.
 - UNDER SIDEWALKS: COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT.
 - UNDER LAWN OR UNPAVED AREAS: COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 85 PERCENT.
- G. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS. CONTRACTOR SHALL PROVIDE DOCUMENTATION OF PASSING DENSITY TESTING AND PROOF-ROLLING TO ENGINEER UPON COMPLETION. IT IS SUGGESTED THAT THE GEOTECHNICAL FIRM USED TO PERFORM THE SUBSURFACE SOIL INVESTIGATION BE ENGAGED FOR THE FIELD QUALITY CONTROL TESTS. THE GEOTECHNICAL REPORT WAS PERFORMED BY PSI.
- H. WHEN THE TESTING AGENCY TO TEST AND INSPECT SUBGRADES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS. PROVIDE ONE TEST FOR EVERY 2000 SQUARE FEET OF PAVED AREA OR BUILDING SLAB, ONE TEST FOR EACH SPREAD FOOTING, AND ONE TEST FOR EVERY 50 LINEAR FEET OF WALL STRIP FOOTING.
- WHEN THE TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION REQUIRED, SCARIFY AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED, RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.
 - THE BUILDING SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AS INDICATED ON THE PLANS. SITE EARTHWORK SHALL BE GRADED TO WITHIN 0.10' OF REQUIRED EARTHWORK ELEVATIONS ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE GRADING PLAN.

SHOP DRAWING SUBMITTALS

NOTE: SURFACE INDICATIONS OF UTILITIES ALONG WITH DIGGERS HOLES MARKINGS FOR TIE-IN TO EXISTING UTILITIES HAVE BEEN SHOWN. SIZES AND ELEVATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS OF EXISTING UTILITIES IN COMBINATION WITH AVAILABLE DATA PROVIDED TO EXCEL ENGINEERING. EXCEL ENGINEERING MAKES NO GUARANTEE THAT ALL THE EXISTING UTILITIES IN THE SURVEYED AREA HAVE BEEN SHOWN HERE. THAT THEY ARE IN THE EXACT LOCATION INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THIS PLAN IS IN NO WAY A SUBSTITUTE FOR UTILITY LOCATING AT THE TIME OF EXCAVATION.

NOTE: THE FIELD WORK WAS COMPLETED ON JULY 25, 2025



LEGEND:

	REMOVE PAVEMENT & BASE
	REMOVE PAVEMENT, PROTECT BASE
	REMOVE FEATURES

KEYNOTES

	REMOVE
	PROTECT
	REMOVE 2" OF ASPHALT

PROJECT INFORMATION

PROPOSED MULTI-FAMILY DEVELOPMENT FOR:
SPARK DEVELOPMENT, LLC
 EAGLE HEIGHTS DRIVE • TOWN OF CLAYTON, WI 54942

PROFESSIONAL SEAL

PRELIMINARY DATES
 SEPT. 8, 2025

NOT FOR CONSTRUCTION

JOB NUMBER
 250209100

SHEET NUMBER

C1.0 52

LEGEND:

HATCH	PAVEMENT SECTION
	STANDARD ASPHALT
	DUMPSTER PAD / APRON CONCRETE
	SIDEWALK CONCRETE
	HEAVY DUTY ASPHALT



PROJECT INFORMATION

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 EAGLE HEIGHTS DRIVE • TOWN OF CLAYTON, WI 54942

PROFESSIONAL SEAL

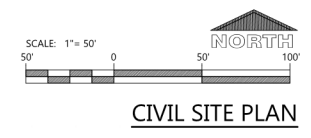
PRELIMINARY DATES
 SEPT. 8, 2025

NOT FOR CONSTRUCTION

JOB NUMBER
 250209100

SHEET NUMBER

C1.1 53



PROJECT INFORMATION

PROPOSED MULTI-FAMILY DEVELOPMENT FOR:
SPARK DEVELOPMENT, LLC
 EAGLE HEIGHTS DRIVE • TOWN OF CLAYTON, WI 54942

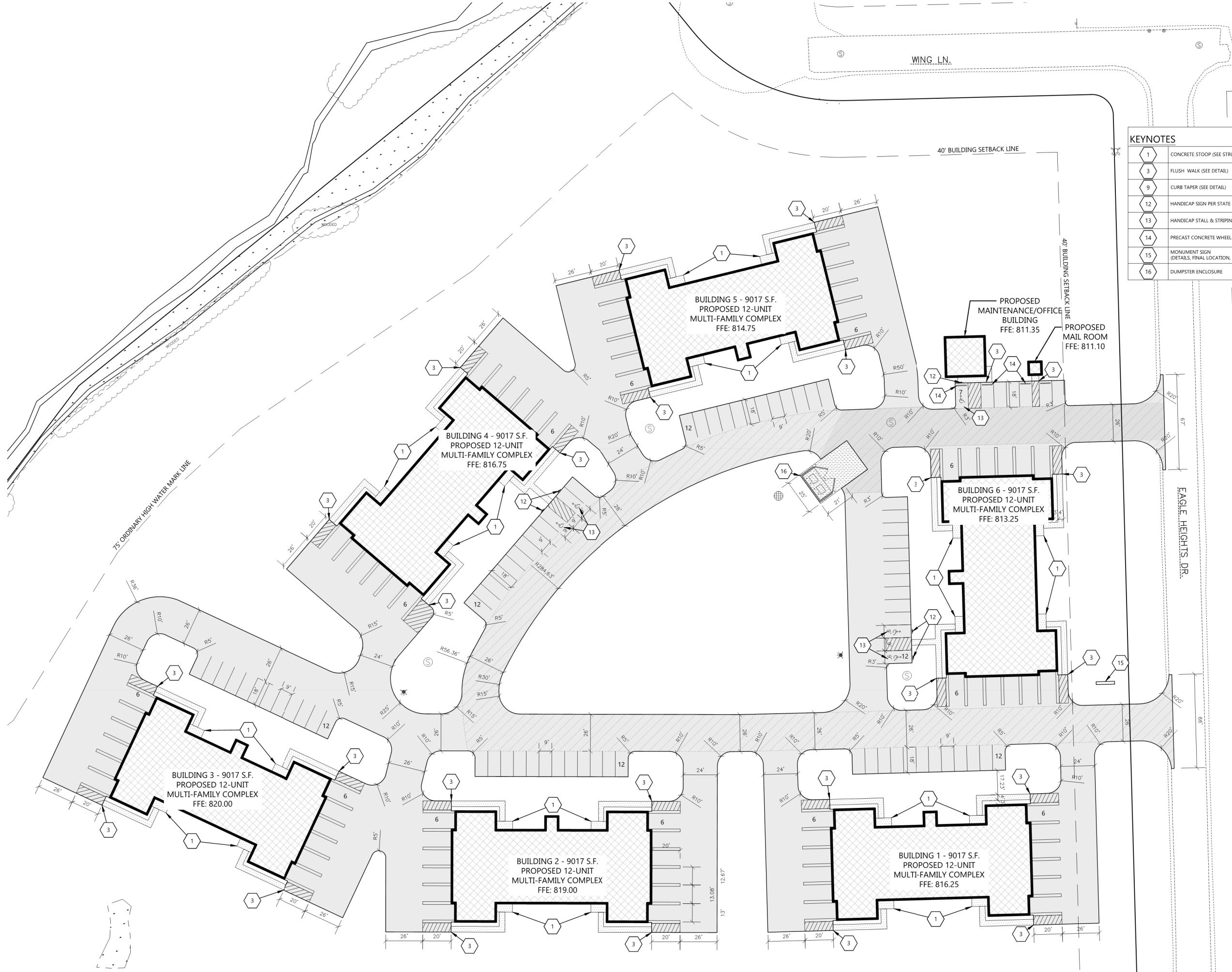
PROFESSIONAL SEAL

PRELIMINARY DATES
 SEPT. 8, 2025

NOT FOR CONSTRUCTION

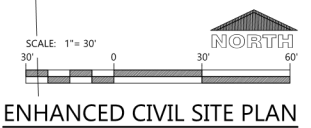
JOB NUMBER
 250209100

SHEET NUMBER
C1.1A 54



KEYNOTES

1	CONCRETE STOOP (SEE STRUCTURAL PLANS FOR DETAILS)
3	FLUSH WALK (SEE DETAIL)
9	CURB TAPER (SEE DETAIL)
12	HANDICAP SIGN PER STATE CODE (SEE DETAIL)
13	HANDICAP STALL & STRIPING PER STATE CODES
14	PRECAST CONCRETE WHEEL STOP (TYP.)
15	MONUMENT SIGN (DETAILS, FINAL LOCATION, & APPROVAL BY SIGN VENDOR)
16	DUMPSTER ENCLOSURE





KEYNOTES

EC 1	SILT FENCE
EC 2	DITCH CHECK
EC 3	STABILIZED CONSTRUCTION ENTRANCE
EC 4	INLET PROTECTION
EC 5	CONCRETE WASHOUT
EC 6	SEDIMENT LOG

- GENERAL NOTES:**
- HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION)
 - ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.
 - CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.
 - CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.
 - CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ONSITE & OFFSITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.

PROJECT INFORMATION

PROPOSED MULTI-FAMILY DEVELOPMENT FOR:
SPARK DEVELOPMENT, LLC
 EAGLE HEIGHTS DRIVE • TOWN OF CLAYTON, WI 54942

PROFESSIONAL SEAL

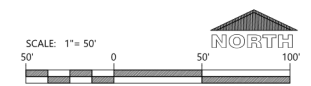
PRELIMINARY DATES
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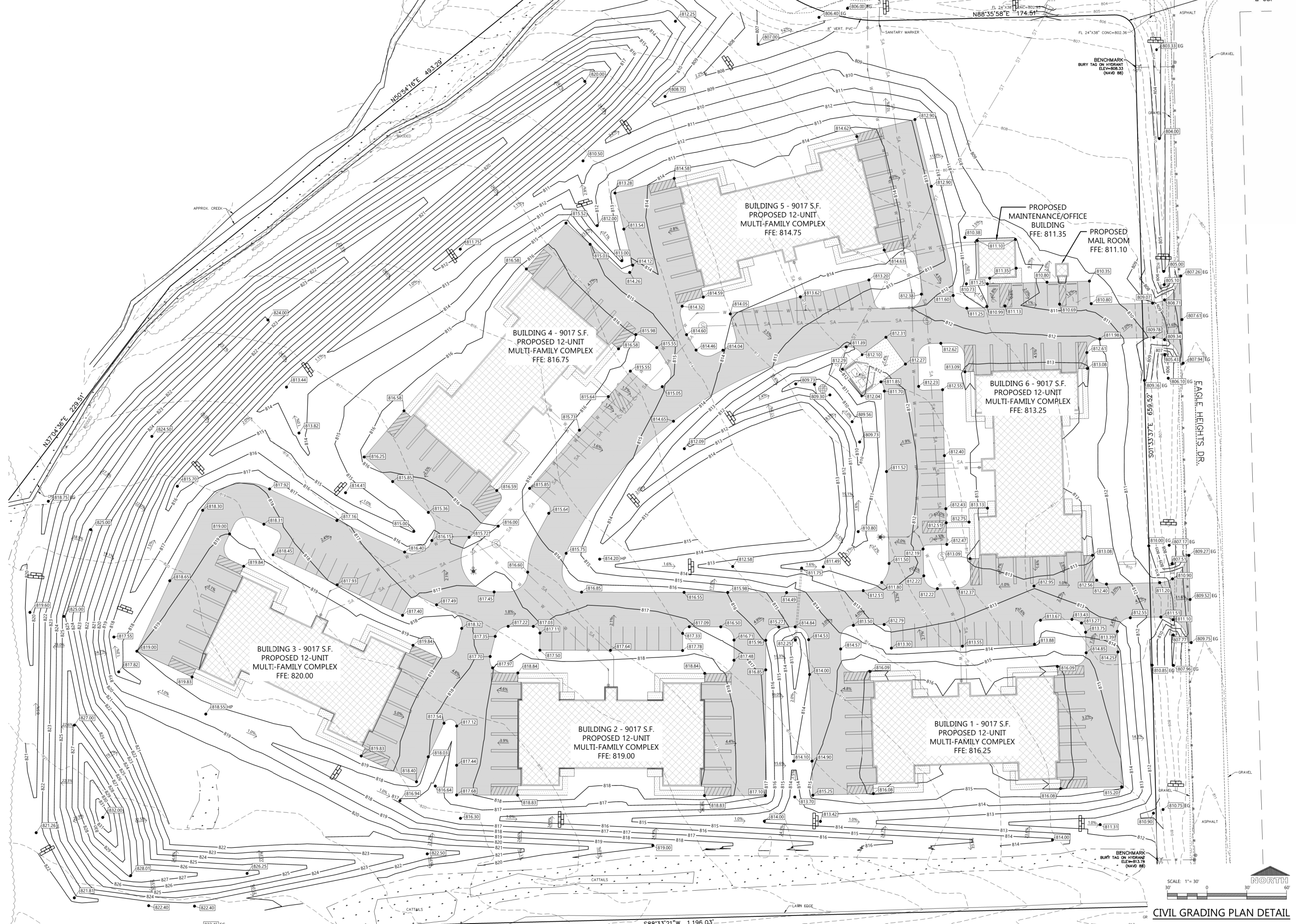
NOT FOR CONSTRUCTION

JOB NUMBER
 250209100

SHEET NUMBER

C1.2 55





Item D.

EXCEL

Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED MULTI-FAMILY DEVELOPMENT FOR:
SPARK DEVELOPMENT, LLC
EAGLE HEIGHTS DRIVE • TOWN OF CLAYTON, WI 54942

PROFESSIONAL SEAL

PRELIMINARY DATES
SEPT. 8, 2025

NOT FOR CONSTRUCTION

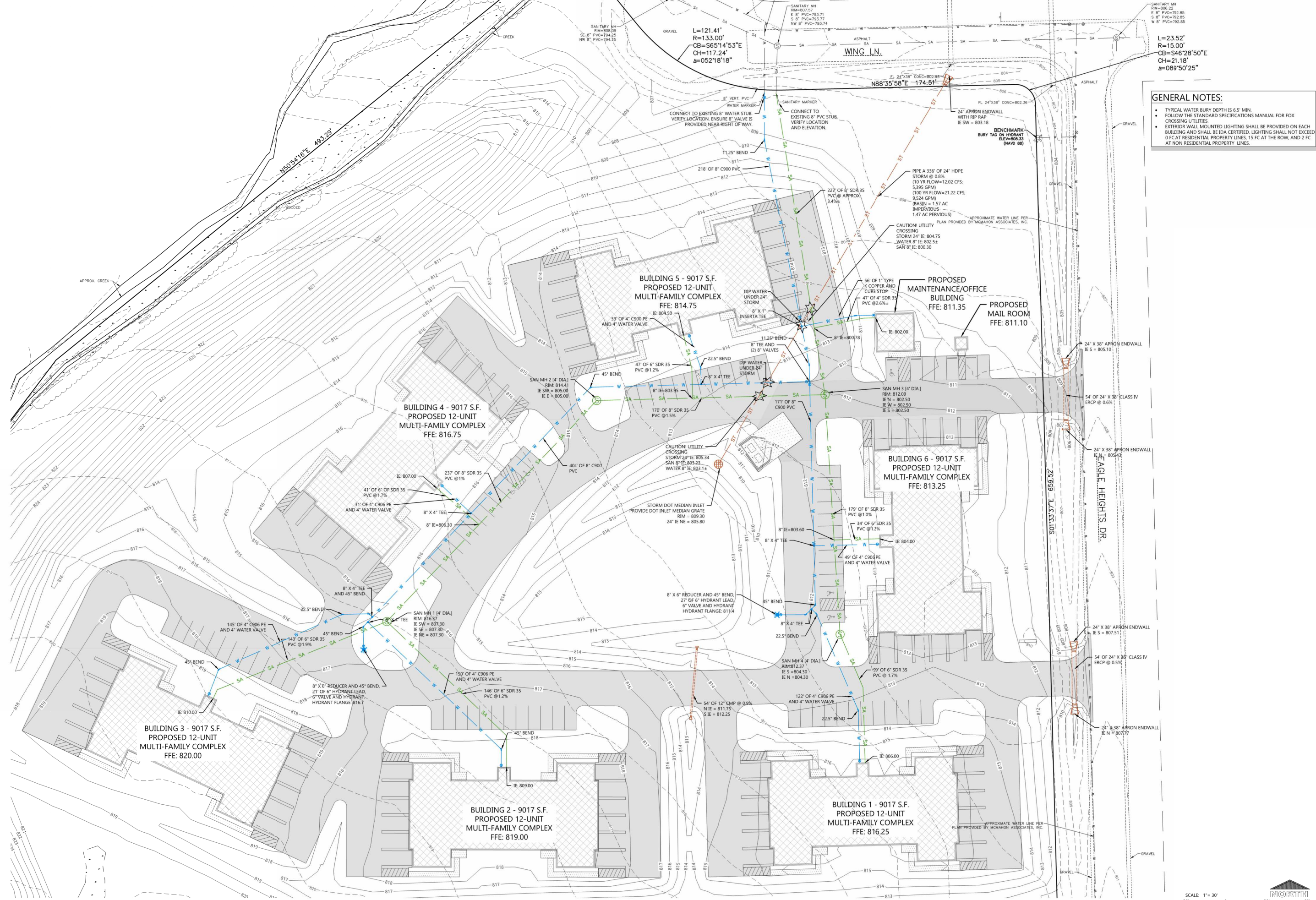
JOB NUMBER
250209100

SHEET NUMBER
C1.2A 56

SCALE: 1" = 30'

NORTH

CIVIL GRADING PLAN DETAIL



L=121.41'
R=133.00'
CB=S65°14'53"E
CH=117.24'
Δ=052°18'18"

L=23.52'
R=15.00'
CB=S46°28'50"E
CH=21.18'
Δ=089°50'25"

GENERAL NOTES:

- TYPICAL WATER BURY DEPTH IS 6.5' MIN.
- FOLLOW THE STANDARD SPECIFICATIONS MANUAL FOR FOX CROSSING UTILITIES.
- EXTERIOR WALL MOUNTED LIGHTING SHALL BE PROVIDED ON EACH BUILDING AND SHALL BE ADA CERTIFIED. LIGHTING SHALL NOT EXCEED 0 FC AT RESIDENTIAL PROPERTY LINES, 15 FC AT THE ROW, AND 2 FC AT NON RESIDENTIAL PROPERTY LINES.

EXCEL
Always a Better Plan
100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

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EAGLE HEIGHTS DRIVE • TOWN OF CLAYTON, WI 54942

PROFESSIONAL SEAL

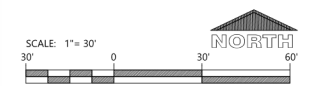
PRELIMINARY DATES
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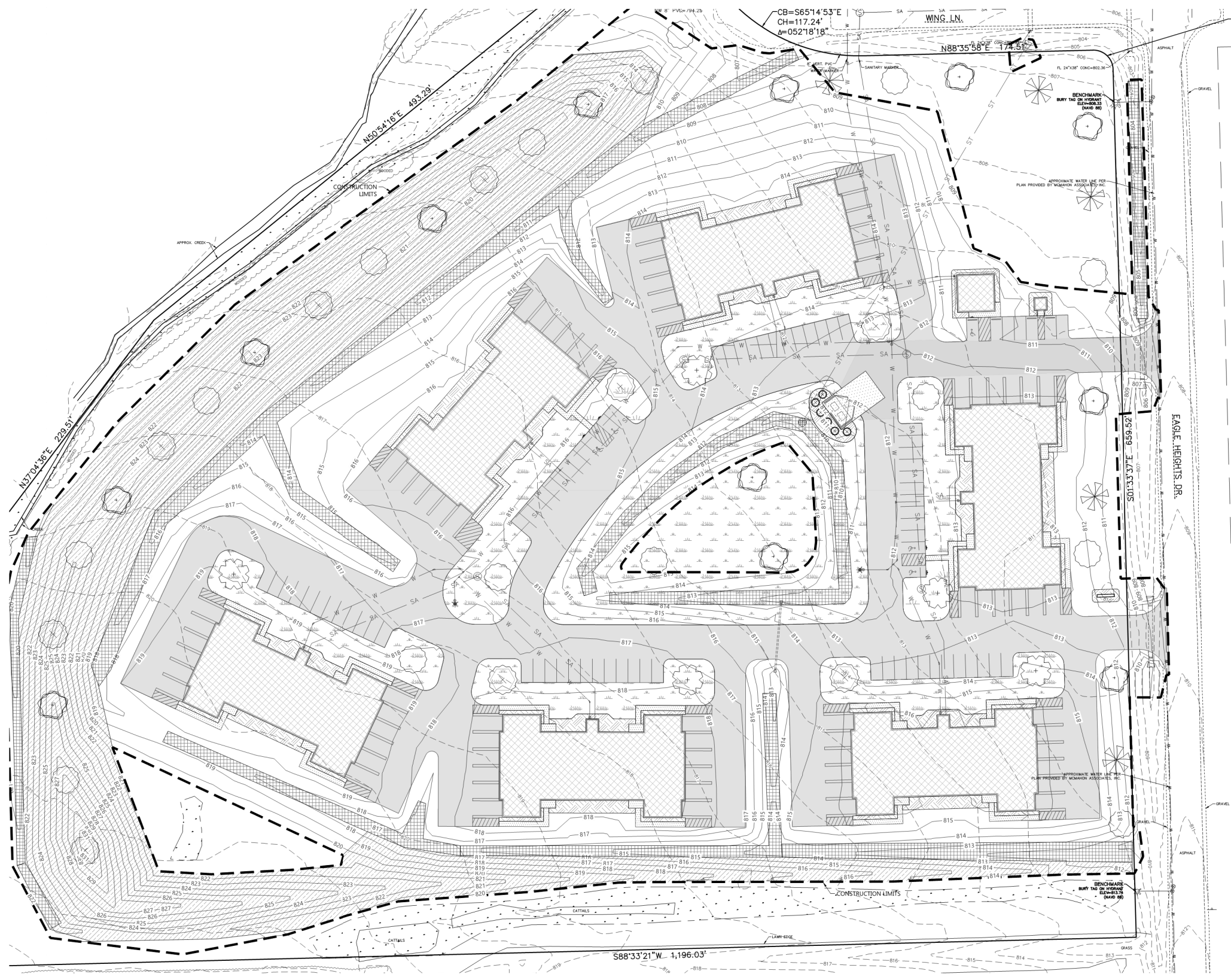
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SHEET NUMBER

C1.3 57



CIVIL UTILITY PLAN



LANDSCAPING PLANTING SCHEDULE				
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY
DECIDUOUS TREES				
⊙	Red Maple	Acer rubrum	2"	12
⊙	River Birch	Betula nigra	2"	5
⊙	Chinkapin Oak	Quercus muhlenbergii	2"	14
⊙	Hackberry	Celtis occidentalis	2"	5
EVERGREEN TREES				
⊙	Black Hills Spruce	Picea glauca	6"	10
⊙	Emerald Green Arborvitae	Thuja occidentalis 'Smaragd'	6"	6

LANDSCAPING CALCULATIONS		
PLANT	REQ. PLANTS	PLANTS PROVIDED
TREE REQUIREMENTS	1 SHADE, EVERGREEN OR ORNAMENTAL TREE FOR EVERY 4,500 SQUARE FEET OF DEVELOPED AREA* 52 TREES REQUIRED	52 TOTAL TREES PROVIDED: 36 DECIDUOUS TREES 16 EVERGREEN TREES

*TOTAL DEVELOPED AREA = 235,211 SQUARE FEET

HATCH	LANDSCAPE MATERIAL
	MINERAL MULCH
	SEEDED LAWN
	EROSION MATTING (NAG C125) OVER SEEDED LAWN (SWALE BOTTOMS & SWM)
	EROSION MATTING (NAG S150) OVER SEEDED LAWN (> OR = 4:1 SLOPES OUTSIDE OF SWM)

Item D.

Always a Better Place
100 Carmelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROPOSED MULTI-FAMILY DEVELOPMENT FOR:
SPARK DEVELOPMENT, LLC
EAGLE HEIGHTS DRIVE • TOWN OF CLAYTON, WI 54942

PROFESSIONAL SEAL

PRELIMINARY DATES
SEPT. 8, 2025

NOT FOR CONSTRUCTION

JOB NUMBER
250209100

SHEET NUMBER
C1.4 58

SCALE: 1" = 40'

NORTH

CIVIL LANDSCAPE AND RESTORATION PLAN

PROJECT INFORMATION

PROPOSED MULTI-FAMILY DEVELOPMENT FOR:
SPARK DEVELOPMENT, LLC
EAGLE HEIGHTS DRIVE • TOWN OF CLAYTON, WI 54942

PROFESSIONAL SEAL

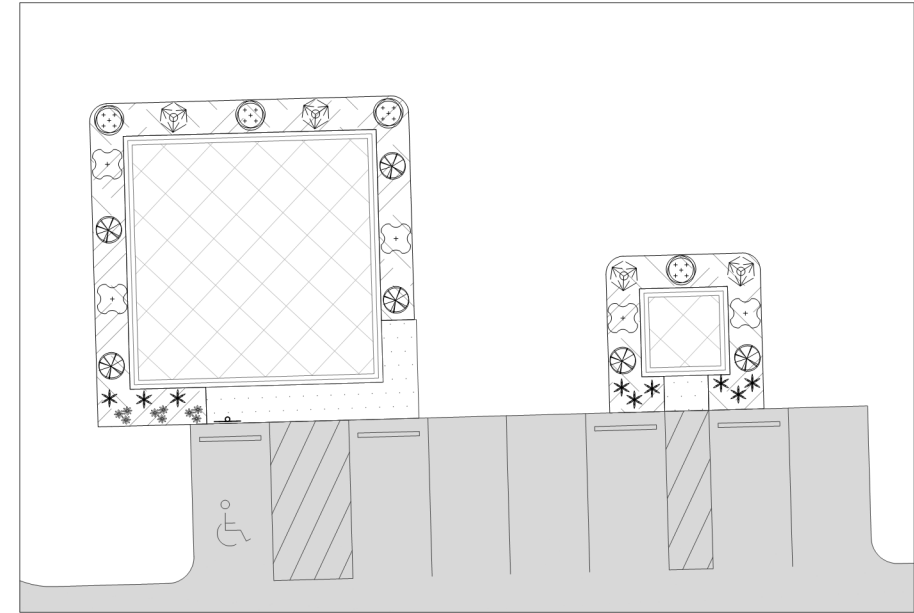
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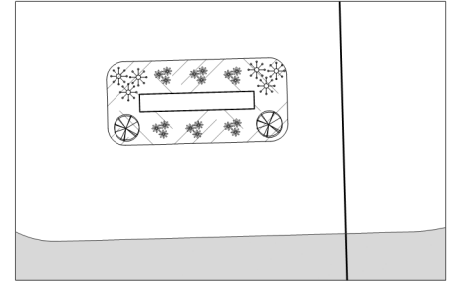
JOB NUMBER
250209100

SHEET NUMBER

C1.4A 59



OFFICE, MAILROOM, AND SIGNAGE PLANTING DETAIL

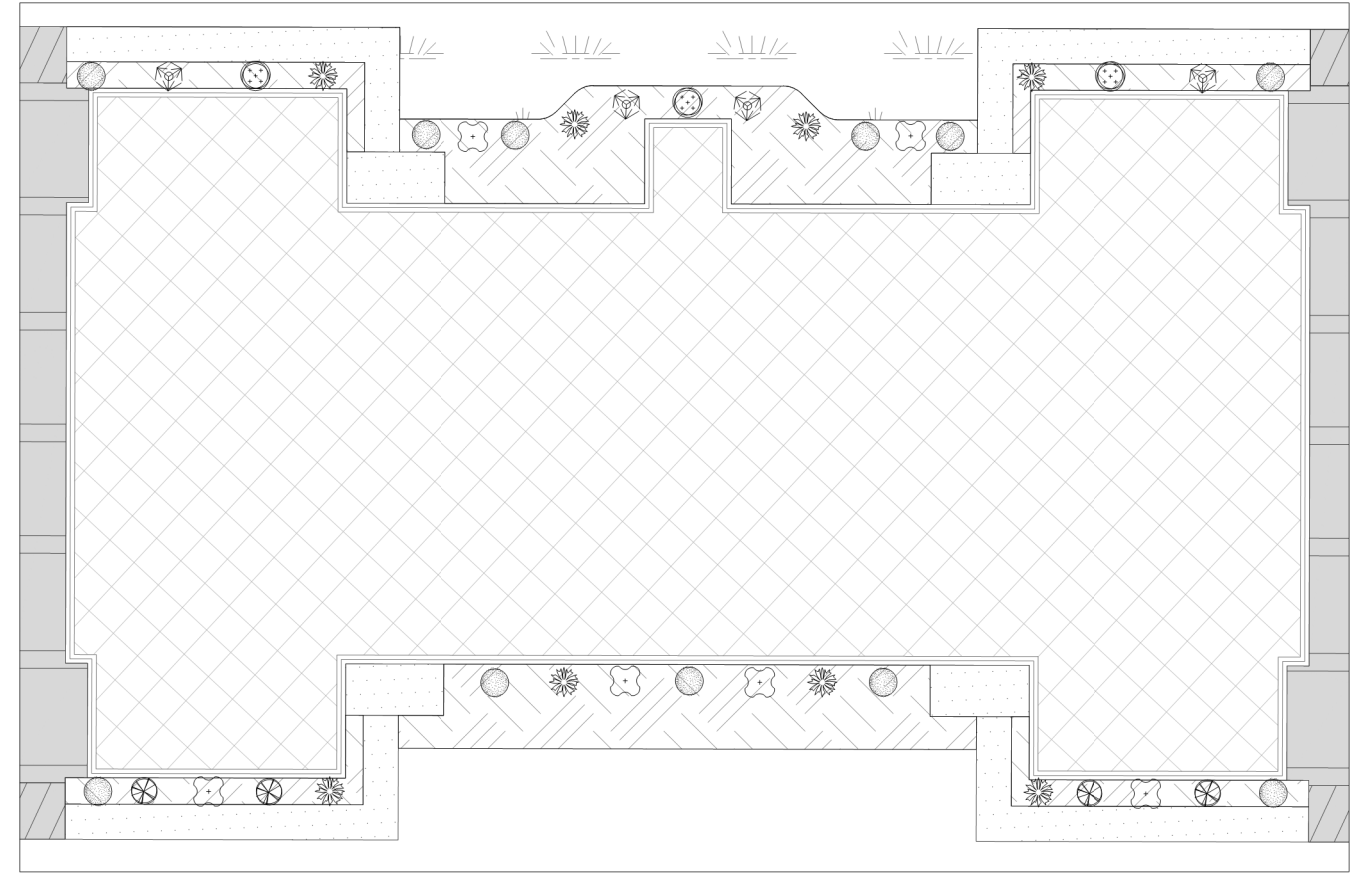


LANDSCAPING PLANTING SCHEDULE				
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY
DECIDUOUS SHRUBS				
🌿	Inoquois Beauty Black Chokeberry	Aronia melanocarpa 'Morton'	x'-x"	48
🌿	Annabelle Hydrangea	Hydrangea arborescens	x'-x"	28
🌿	Little Devil Ninebark	Physocarpus opulifolius 'Little Devil'	x'-x"	66
🌿	Dreamcloud Lilac	Syringa patula 'KLMone'	24"	41
EVERGREEN SHRUBS				
🌿	Green Velvet Boxwood	Buxus 'Green Velvet'	18"	32
🌿	Dense Yew	Taxus x media 'Densiformis'	24"	22
PERENNIALS				
🌿	Karl Foerster Reed Grass	Clamagrostis x acutiflora 'Karl Foerster'	1 gal pot	9
🌿	'Cat's Pajamas' Catmint	Nepeta 'Cat's Pajamas'	1 gal pot	9
🌿	First Frost Hosta	Hosta 'First Frost'	1 gal pot	6

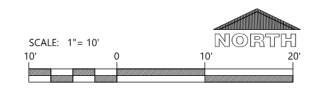
LANDSCAPING CALCULATIONS		
PLANT	REQ. PLANTS	PLANTS PROVIDED
SHRUB REQUIREMENTS	1 UNDERSTORY SHRUB FOR EVERY 1,000 SQUARE FEET OF DEVELOPED AREA* = 235 SHRUBS REQUIRED	237 TOTAL SHRUBS PROVIDED; 183 DECIDUOUS SHRUBS 54 EVERGREEN SHRUBS

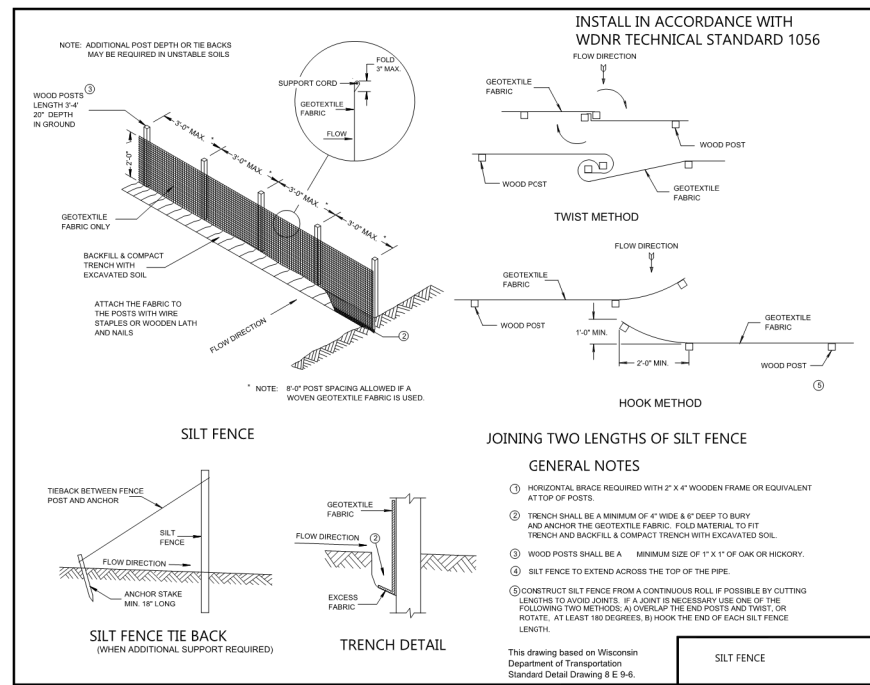
*TOTAL DEVELOPED AREA = 235,211 SQUARE FEET

HATCH KEY:	
HATCH	LANDSCAPE MATERIAL
	MINERAL MULCH
	SEDED LAWN

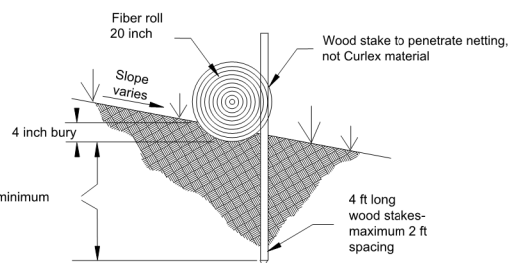
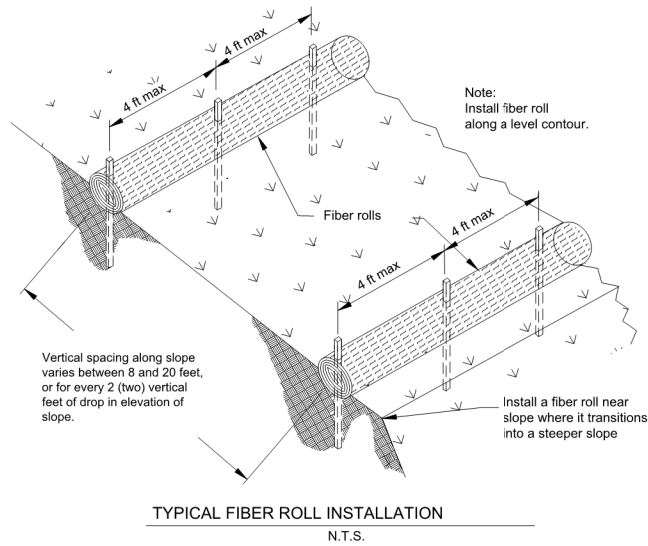


TYPICAL BUILDING PLANTING DETAIL





SILT FENCE - INSTALLATION DETAIL
NOT TO SCALE



GENERAL NOTES

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD NO. 1053 (CHANNEL EROSION MAT).

VARIATIONS IN THE DIMENSIONS OR MATERIALS SHOWN HEREON SHALL BE PERMITTED IF THEY PROVIDE EQUIVALENT PROTECTION AND MATERIAL STRENGTH AND IF PRIOR APPROVAL OF THE ENGINEER IS OBTAINED.

LAP JOINTS SHALL NOT BE PLACED IN THE BOTTOM OF V-SHAPED DITCHES.

JUNCTION SLOTS ON ADJACENT STRIPS OF MATTING SHALL BE STAGGERED A MINIMUM OF 4 FEET APART.

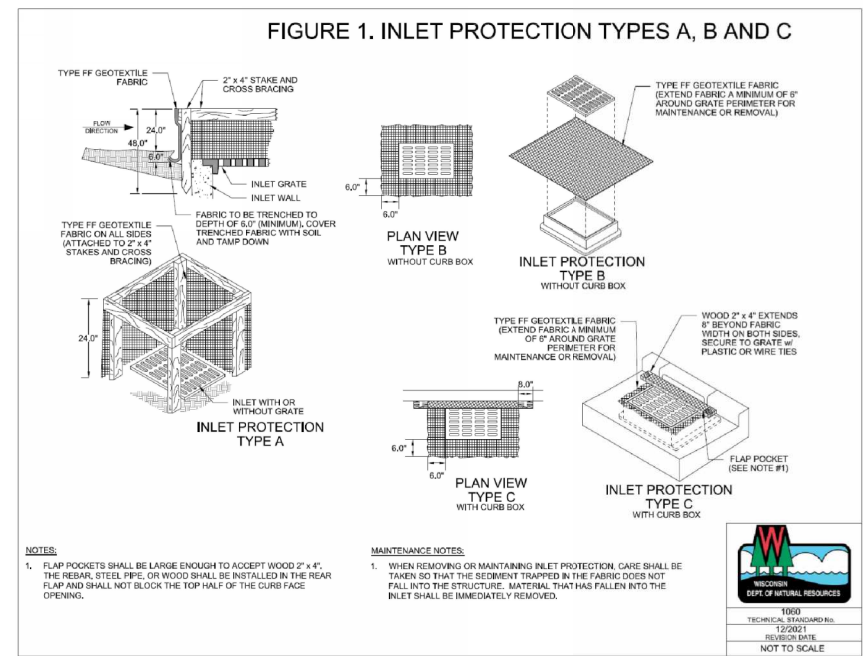
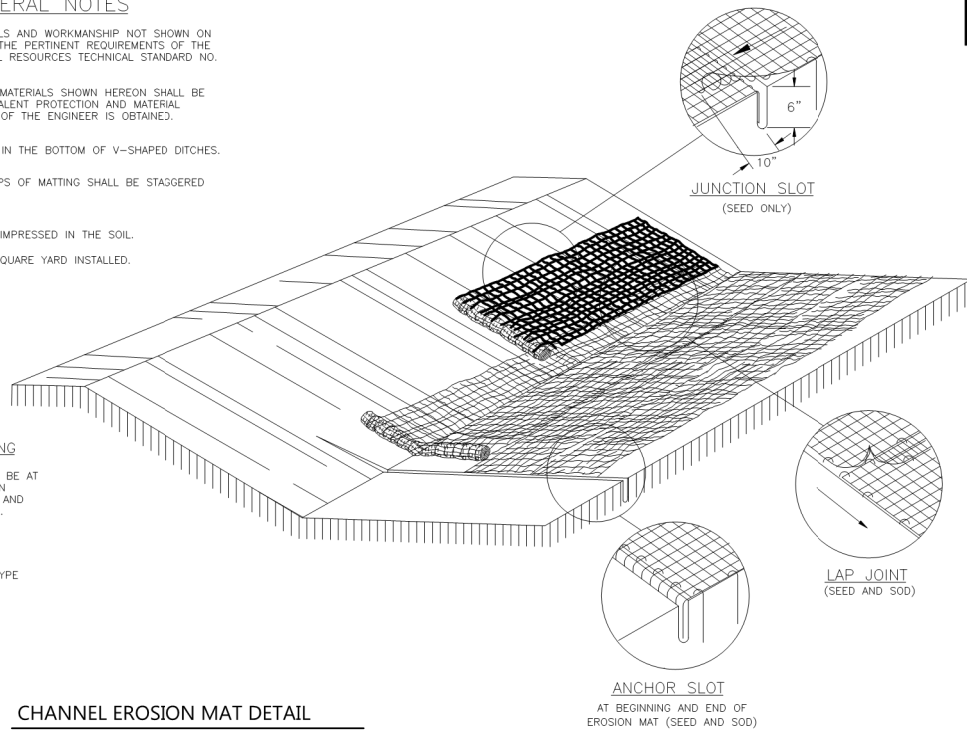
EDGES OF EROSION MAT SHALL BE IMPRESSED IN THE SOIL.

EROSION MAT SHALL PAID BY THE SQUARE YARD INSTALLED.

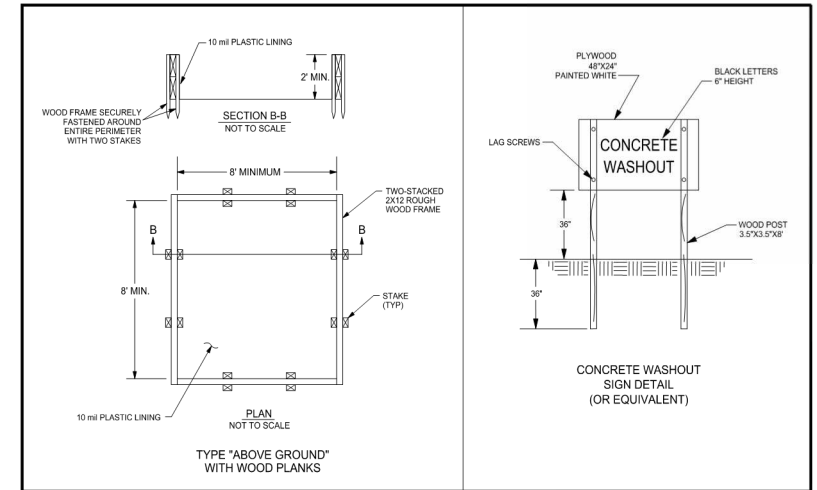
EROSION MAT OVER SEEDING

JUNCTION OR ANCHOR SLOTS SHALL BE AT MINIMUM INTERVALS OF 100 FEET ON GRADES UP TO AND INCLUDING 3%, AND 50 FEET ON GRADES EXCEEDING 3%.

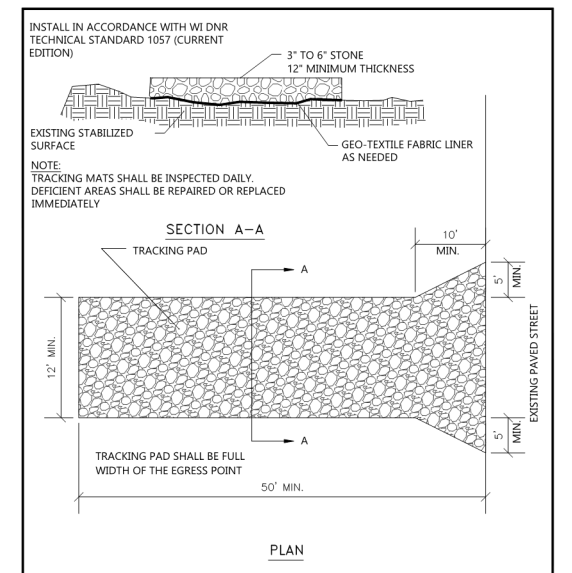
NOTE: SEE SPECIFICATIONS FOR MATTING TYPE



INLET PROTECTION DETAIL
NOT TO SCALE



CONCRETE WASHOUT DETAIL
NOT TO SCALE



TRACKPAD DETAILS
NOT TO SCALE

PROJECT INFORMATION

PROPOSED MULTI-FAMILY DEVELOPMENT FOR:
SPARK DEVELOPMENT, LLC
EAGLE HEIGHTS DRIVE • TOWN OF CLAYTON, WI 54942

PROFESSIONAL SEAL

PRELIMINARY DATES

SEPT. 8, 2025

NOT FOR CONSTRUCTION

JOB NUMBER

250209100

SHEET NUMBER

C2.0 60

PROJECT INFORMATION

PROPOSED MULTI-FAMILY DEVELOPMENT FOR:
SPARK DEVELOPMENT, LLC
EAGLE HEIGHTS DRIVE • TOWN OF CLAYTON, WI 54942

PROFESSIONAL SEAL

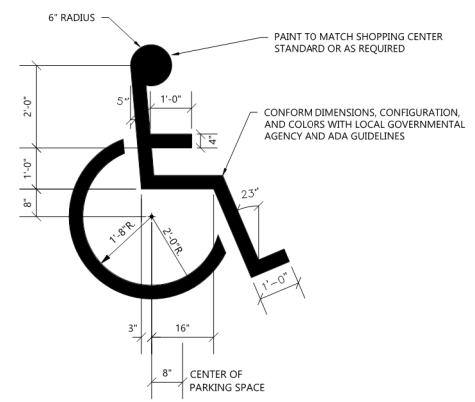
PRELIMINARY DATES
SEPT. 8, 2025

NOT FOR CONSTRUCTION

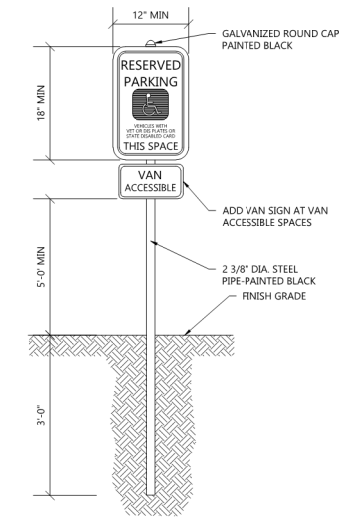
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250209100

SHEET NUMBER

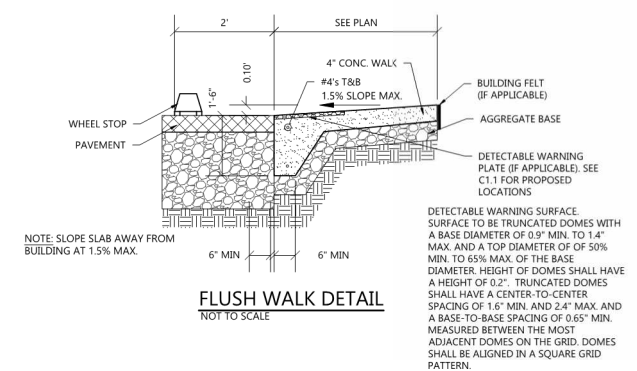
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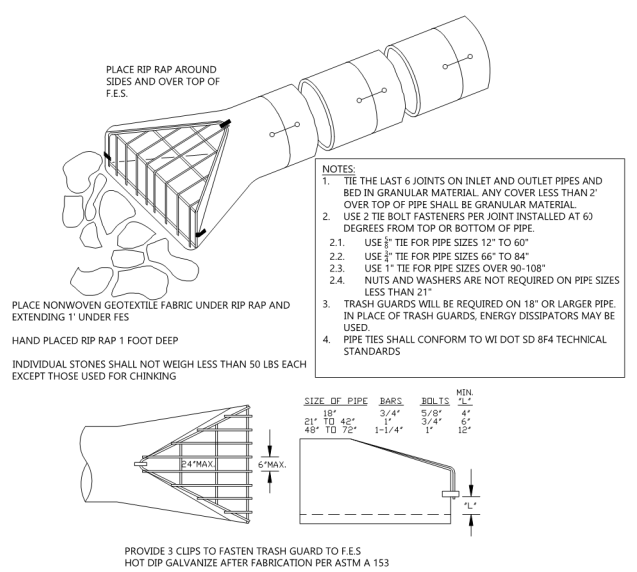
HANDICAP STALL SYMBOL
NOT TO SCALE



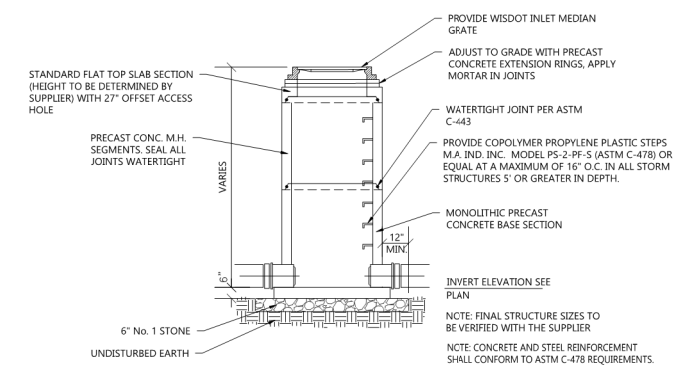
HANDICAP SIGNAGE WITHOUT CONCRETE BASE DETAIL
NOT TO SCALE



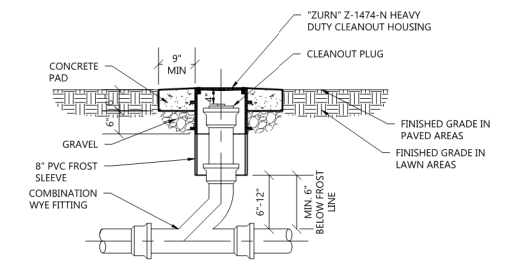
FLUSH WALK DETAIL
NOT TO SCALE



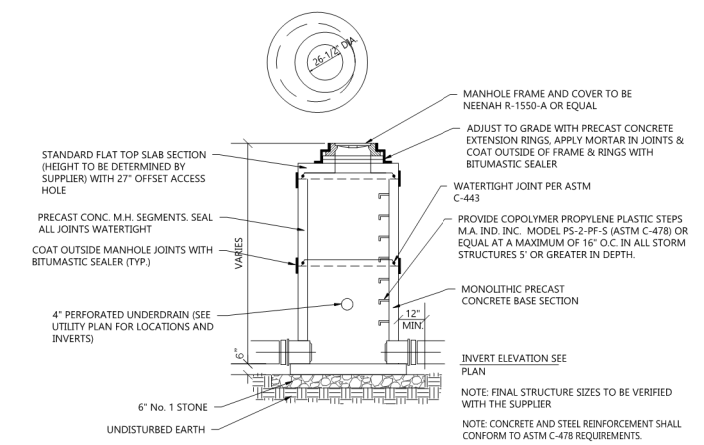
CONCRETE END SECTION DETAIL
NOT TO SCALE



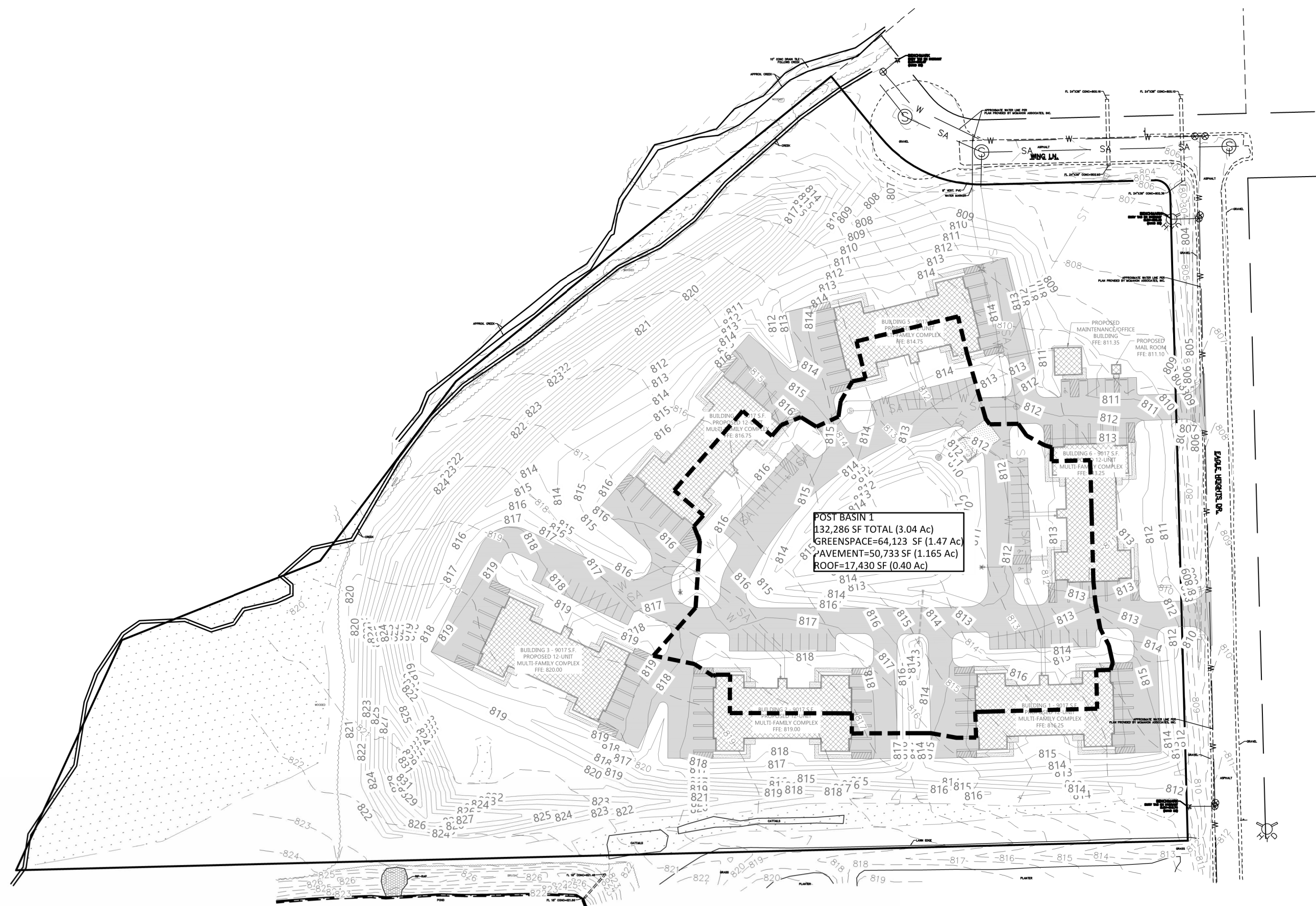
STORM WISDOT MEDIAN INLET DETAIL
NOT TO SCALE



CLEANOUT TO GRADE DETAIL
NOT TO SCALE

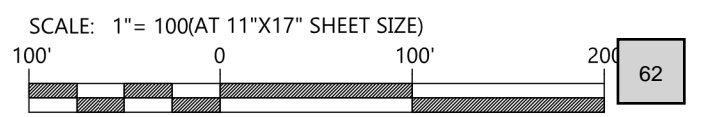


SANITARY MANHOLE DETAIL
NOT TO SCALE



Pipe Data					Pipe Capacity (10-yr, 24-hr)				
Pipe ID	Diameter (FT)	Pipe Qty.	Slope (FT/FT)	Manning's n	Basin ID	Total Flow (cfs)	Total Flow (gpm)	Full Flow Capacity (cfs)	Full Flow Capacity (gpm)
A	2	1	0.008	0.012	1	12.02	5,395	21.70	9,740

STORM SEWER BASIN MAP



MEMORANDUM

Business Item E

From: Administrator/Staff
 To: Plan Commission
 Re: Plan Commission review & recommendation on a Concept Plan Review Application submitted by Vierbicher on behalf of Vander Heiden Family Limited Partnership for a proposed mixed-use development.

Please see the comments below from Code Administrator Kamke:

This concept plan is provided to demonstrate the proposal's consistency with all applicable land use regulations for the site, including the Town's adopted Comprehensive Plan, Town Ordinances for Zoning, Land Division, and Access Control, as well as Town service boundaries and plans. Also applying to this specific site are regulations enforced by Outagamie County related to the Appleton International Airport, which limit permitted uses and their densities. No County shoreland or floodplain jurisdiction is mapped for this property.

Site Information:

The ±147 acres of this proposal comprise most of the NW corner of Section 13, in Township 20N, Range 16 East. This site is located at the southeast corner of the intersection at Fairview Drive and State Rd 76. The subject property is within the boundary for both the Town of Clayton Sanitary District #1 and the Town's Tax Increment District #1 area. If eventually approved, these lands would consume around 9% of the maximum 35% new platted residential within the TID boundary, and these lands were not included in the drafted TID as residential designations. This means the map for the TID will need to be updated as other developments may be requested within the TID, as otherwise those will exceed the statutory allowances for new platted lands.

Utilities would need to be accessed by installation of new lines from Clayton Ave up Fairview Rd to the subject site. The Town of Clayton works with the Village of Fox Crossing and their Utilities Department for sewer service. If future development plans are approved, the Town and applicant will need to work with the Village on capacity, installation timelines, and other required decisions.

The property is zoned A-2 General Agricultural. This location is identified in the Town's Comprehensive Plan Future Land Use map as anticipated and planned for Gateway Commercial & Retail uses. To be consistent with required planning documents, any future approval would need a Comprehensive Plan amendment, site rezones, and plat approvals.

There is an area in the north half of this subject site that was discussed during the Comprehensive Plan update process in 2023 as a good candidate for conservation purposes. This references the subject site characteristic being one of the highest points in the Town, with a scenic viewshed aimed towards Lake Winnebago. Park and lands for public uses that would be within this identified viewshed would meet the adopted Future Land Use map and Plan. The submitted concept plan with proposed park areas does not match with where the desired viewshed area is located.

Single-family residential proposed:

The concept plan proposed is for approximately 83 acres of the ±147 acres to be subdivided by plat into 119 buildable single-family lots. Of that 83 acres of new single-family residential, 40 acres is proposed to be divided into 84 smaller lot size single-family dwellings outside the airport overlay district boundary. For these lots, Town dimensional standards require sewered lots each to be at least 9,000 square feet. Lots

23-25 may be too small as drawn, but any future approval would be contingent on all standards being met.

To meet the Airport Overlay residential density regulations, the remaining approximately 43 acres of single-family residential use would be divided into 35 lots. For these lots, Town standards are met, but several of the lots (proposed lots 85 and 114) in this Airport Overlay District 3 may need area increases/lot line adjustments to meet Outagamie County's requirements, as they are each less than one acre but straddle the overlay district boundary; County decision TBD.

Multifamily use proposed:

Two lots, totaling nearly 50 acres, are proposed as R-4 Multifamily Residential zoning, with three 40-unit buildings and nineteen 30-unit buildings, being 690 total units. Several stormwater ponds would also be located on these lands; five are drawn on the concept but area and number will be determined by final impervious numbers.

The multi-family residential zoning district requires at least 40 feet from road right-of-way to any structure, including parking areas. Required rear lot line¹ setbacks are also 40ft. Each unit must be at least 500 square feet, and each accessory building must provide at least 500 square feet per dwelling unit.² Detailed plans are not provided at the concept plan stage to determine if these standards are met.

Ordinance requirements for multifamily use (9+ units of multifamily) include a Site Plan and a Conditional Use permit, which will review compliance with the Town's regulations, including the adopted horizontal site design standards, architectural design standards, landscaping plans, and environmental and energy efficiency guidelines (Zoning Ordinance Attachments B-F).

These standards identify this land as within the Tier 1 development area of the Town. Tier 1 development standards mean roofing materials must be of approved materials and meet the Solar Reflective Index (SRI) number, which is dependent on roof slope. With the site characteristic having an elevated view from the road right-of-way and many new roof areas proposed, it is likely the SRI of the materials will be very important in the site plan review process. For exterior building materials, at least 75% of the exterior wall must be covered by approved materials as listed in Attachment C.

Landscape design standards will include: screening of storage areas and trash collection areas, and landscaping for parking lots, buffer yards and associated fence screening, and buildings and grounds. Grounds landscaping is based on impervious surface calculations for the multifamily development. Parking lot landscape standards are based on linear feet of parking area, and parking areas need more stalls.

Parking space requirements for multifamily uses are two (2) parking spaces per unit. At 690 units proposed, a minimum of 1,380 spaces must be provided. Since the proposal is not fronting a street, no additional visitor parking spots are required. Section 9.11-09(b) requires additional parking spaces that are compliant with the Americans with Disability Act. For a requirement of 1,380 standard spaces, an additional 24 accessible spaces must be added throughout the multifamily development. In all, 1,404 stalls are required by ordinance. The provided information has 711 total spaces, which will need increases to meet the Town's standard.

Parks and Stormwater Ponds

Another 8.84 acres is proposed as green space for stormwater management devices and future park purposes. At the base of the property, it is unlikely to capitalize on the viewshed towards Lake

¹ Rear lot line is the lot line opposite the road right-of-way.

² Exhibit 8-2, dimensional standards by zoning district for R-4; Pg 8-26 of ordinance.

Winnebago. A neighborhood clubhouse, ball diamond, and pickleball courts are shown as examples of possible development amenities and park layout.

Overview:

# New Lots	Approx. Acres	Proposed Zoning District	Notes
35	43	R-2 Subdivision Residential	35 units proposed
84	40	R-2 Subdivision Residential	84 units proposed
2	50	R-4 Multifamily Residential	690 units proposed
Outlot 1	3.71	A-2 General Agriculture	No zoning change
Outlot 2	8.84	Parks / Green Space	
Outlot 3	0.71	R-2 Subdivision Residential	
ROW	11.4*	*Estimated area	
Total:	157.66	<i>Does not total 147 due to ROW estimates and possible Outlot 1 swapping ownership for applicant to obtain secondary access to Fairview Rd, as proposed Lots 1-6 and 16-21 are not currently under ownership of applicant.</i>	

Additional considerations:

Using 2020 Census data, Town of Clayton had the lowest rental-occupied housing units of any surrounding municipality. With a total population then of 4,329 and 1,570 housing units, an average of 2.76 people resided in each housing unit. Over 75% of the people in the Town of Clayton were of age 18 or older, which is around two people of voting age in every average size household.

Projections on population increase provided here are estimates. Assuming the single-family units become occupied by the average 2.76 people, that's 119 SFD x 2.76 = 328 people, of which 248 people would be voting age. For the 690 multifamily units proposed, using the average 2.76 people per unit adds 1,918 people to the Town population. In all, 2,247 people could be added to the Town population from this type and intensity of development. With 4,329 people in the Town as of 2020, this would be a 52% increase in Town population. For reference, statutes impose a 1,000-person limit per polling ward. While residential development has a larger impact on the tax base than agriculture lands, residential comes with other long-term increased costs like emergency response, road maintenance, and new voting wards, polling locations, election equipment and staffing needs, among many other considerations.

2020 Census data for Clayton and surrounding municipalities for reference:

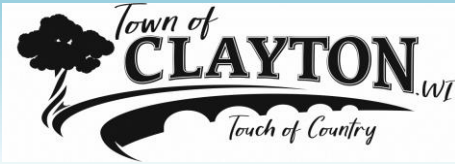
2020 Census data	Total Pop	Total Households	Pop in Households		PPL per Household	PPL age 18+		PPL age 18+ per household	Owner-occupied housing units		Renter-occupied housing units	
Clayton	4,329	1,570	4,329	100%	2.76	3,271	75.56%	2.08	1,469	93.57%	101	6.43%
T. Vinland	1,769	736	1,769	100%	2.40	1,455	82.25%	1.98	677	91.98%	59	8.02%
T. Winchester	1,794	724	1,794	100%	2.48	1,413	78.76%	1.95	660	91.16%	64	8.84%
T. Greenville*	12,687	4,478	12,637	99.61%	2.82	9,081	71.58%	2.03	3,998	89.28%	480	10.72%
C. Neenah	27,319	11,686	27,182	99.50%	2.33	20,735	75.90%	1.77	7,560	64.69%	4,126	35.31%
V. Fox Crossing	18,974	8,224	18,846	99.33%	2.29	15,085	79.50%	1.83	5,315	64.63%	2,909	35.37%
C. Menasha	15,261	6,815	15,206	99.64%	2.23	11,959	78.36%	1.75	4,087	59.97%	2,728	40.03%
T. Grand Chute	23,831	10,830	23,419	98.27%	2.16	19,316	81.05%	1.78	5,438	50.21%	5,392	49.79%
Outagamie Co	190,705	76,237	186,912	98.01%	2.45	146,186	76.66%	1.92	53,351	69.98%	22,886	30.02%
Winnebago Co	171,730	71,473	164,367	95.71%	2.30	128,897	75.06%	1.80	46,259	64.72%	25,214	35.28%

Greenville was an unincorporated Town at the time of the 2020 Census. It met criteria and passed referendum to incorporate effective in 2021.

Respectfully Submitted,
Kelsey

Concept Plan Review Application

Town of Clayton Town Hall
 8348 Hickory Ave
 Larsen, WI 54947
 Phone: 920-836-2007
 Email: administrator@claytonwinnebago.wi.gov
 Website: https://www.townofclayton.net/



PROPERTY OWNER(S)

Name Vander Heiden Family Limited Partnership

Street Address 2775 Fairview Road - Neenah, WI 54956

City _____ State _____ Zip Code _____

Phone _____

E-mail _____

APPLICANT

Check: Architect: _____ Engineer: Surveyor: Attorney: _____ Agent: _____ Owner: _____

Name: Vierbicher - Brad Rymer (agent for Landmark Real Estate & Development)

Address: 400 Security Blvd - Green Bay WI 54313 Zip Code: _____

Phone: 920-434-9670 E-Mail: brym@vierbicher.com

Describe the reason for the Concept Plan: _____
Proposed mixed use development


PROJECT/SURVEY SPECIFICS:

TYPE: CSM Commercial Industrial Residential Other

Total Acreage: 147 acres +/- Tax Key Number: 0060353, 0060354, 0060355, 0060352

Existing Zoning: Undeveloped / Agriculture Proposed Zoning: R-2, R-4, open space

I certify that the attached drawings are to the best of my knowledge complete and drawn in accordance with all Town of Clayton codes.

Signature  Today's Date 09/03/25

For Town Use Only

Fee (see Town Fee Schedule)

Fee: \$600 Date Received Complete: _____ Receipt: _____

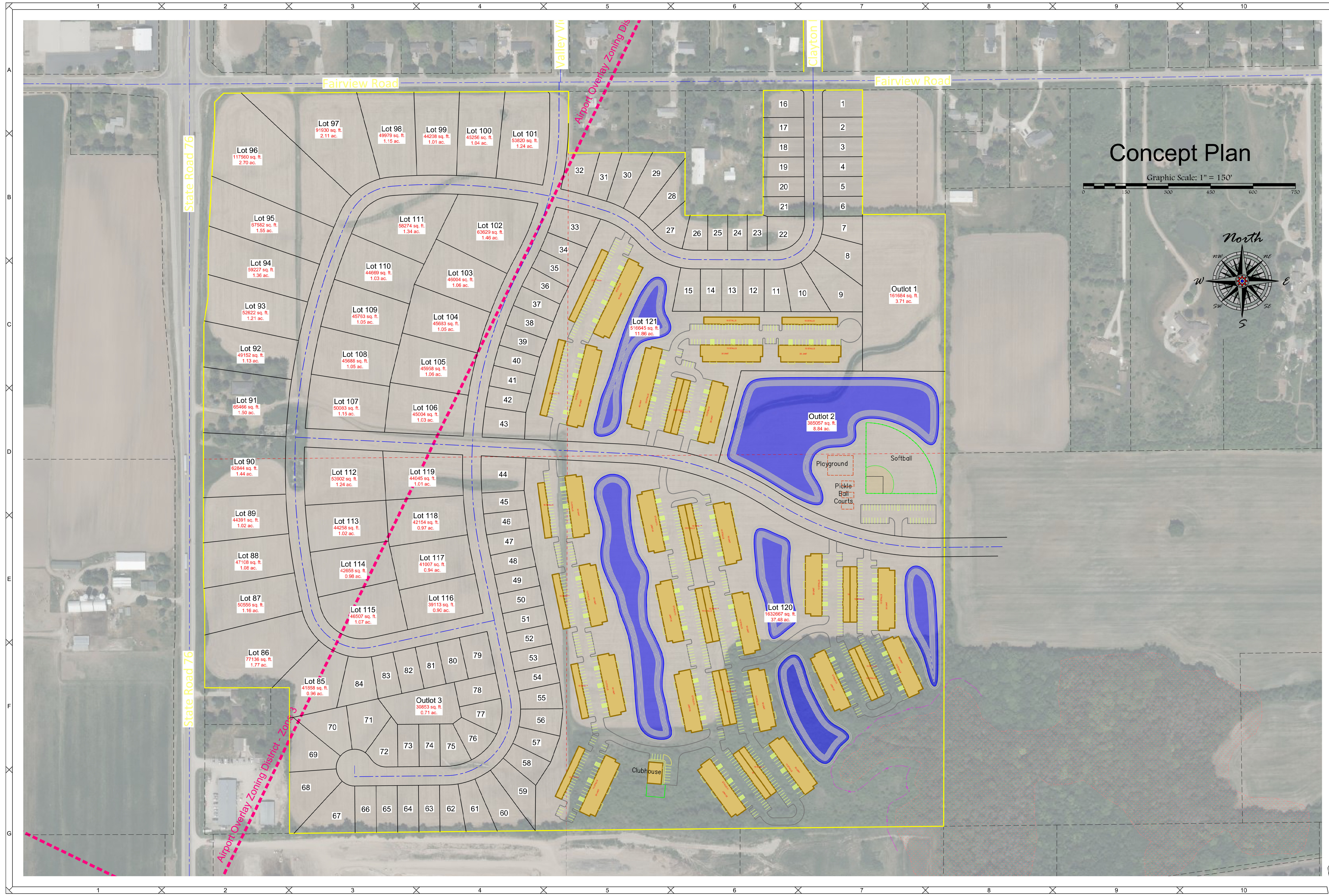
By: _____ Check #: _____

Review Meetings _____ History _____

Concept is: Approved Approved with Condition Denied

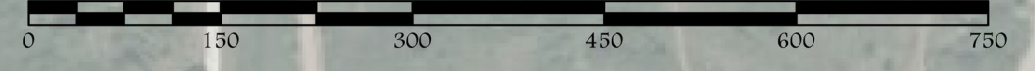
Comments: _____

Note: Please notify utility companies regarding your proposed development. Concept approval does not constitute approval of a building permit or any required approval of a highway connection permit. Concept & Fee must be submitted 30 working days prior to meeting.



Concept Plan

Graphic Scale: 1" = 150'



SCALE
1"=150'
DRAWN BY
BAR

TAX PARCEL NO.
Concept Plan
Town of Clayton



vierbicher
planners | engineers | advisors

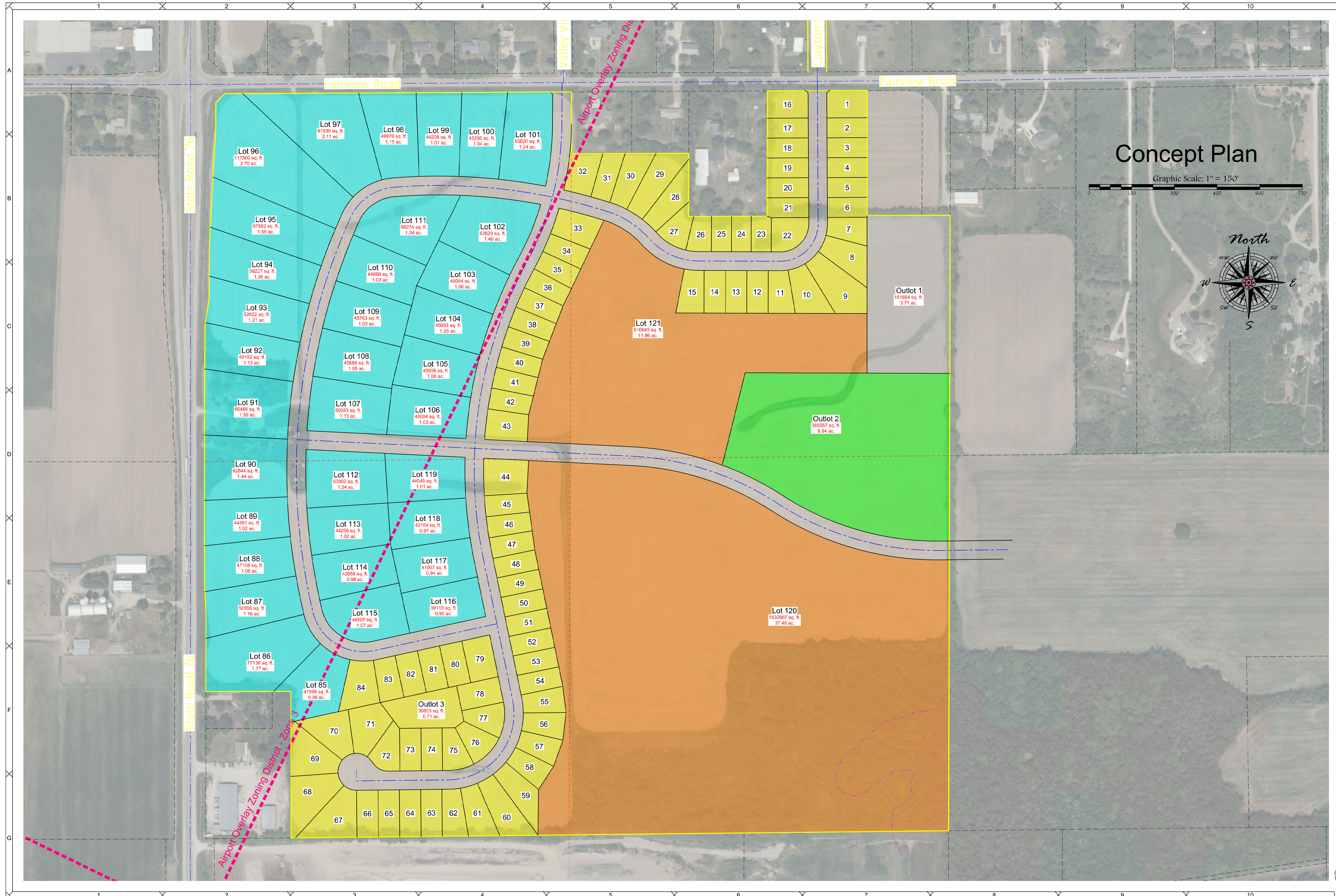
Landmark Real Estate

PROJECT NO.
C-4421
SHEET NO.
1 of 2
DRAWING NO.
S-----

Framework Completed:
Date File: C-4421.DWG

400 Security Blvd Ste 1, Green Bay, WI, (920) 434-9670

File: C-4421/Layout/080725.dwg



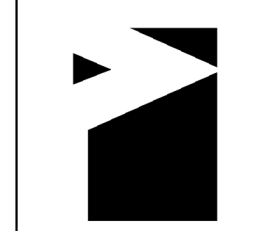
SCALE
1"=150'
DRAWN BY
BAR

Concept Plan

Graphic Scale: 1" = 150'



TAX PARCEL NO. ---
Concept Plan
Town of Clayton



vierbicher
planners | engineers | advisors

400 Security Blvd Ste 1, Green Bay, WI, (920) 434-9670

Landmark Real Estate

PROJECT NO.
C-4421
SHEET NO.
2 of 2
DRAWING NO.
S-----

File: C-4421/Layout/080725.dwg
Date File: C-4421.txt
Framework Completed: ---