



PLAN COMMISSION

Wednesday, July 12, 2023 at 6:30 PM

Town Hall Meeting Room, 8348 Hickory Ave, Larsen, WI 54947

AGENDA

CALL TO ORDER

- A. Pledge of Allegiance
- B. Verification of Notice
- C. Meeting Roll

PUBLIC HEARING(S) AND/OR PUBLIC INFORMATION MEETINGS

- A. Public Hearing on a Conditional Use Application submitted by McMahon Associates on behalf of Clayton Development Group, LLC for a proposed multi-family housing development consisting of fifteen (15) 12-unit multi-family buildings located on approximately 19.6 acres of Tax ID #006-0617 addressed 2689 County Rd II, Neenah, WI.

APPROVAL OF MINUTES

- A. Approval of the Minutes of the Wednesday, June 14, 2023, Plan Commission Meeting
- B. Approval of the Minutes of the Wednesday, June 28, 2023 Plan Commission Meeting

OPEN FORUM – Public comments addressed to the Plan Commission

Individuals properly signed in may speak directly to the Plan Commission on non-repetitive Planning and Zoning matters whether on or not on the agenda. Commentators must wait to be called, must speak from the podium, directing their comments to the Commission. Comments must be orderly, and will be limited to a maximum of **2 minutes** per person. ***Public comment is not permitted outside of this public comment period. Note:*** The Commission's ability to act on or respond to the public comments is limited by Chapter 19, Wis. Stats. Please complete the "Request to Speak at Meeting" form located on the agenda/sign-in table and submit the form to the Town Clerk for in-person attendance.

CORRESPONDENCE

- A. Distribution of the June 2023 Building Inspection Report
- B. Distribution of an article from the July 6, 2023, Appleton Post Crescent regarding a subdivision expansion in Village of Greenville.

BUSINESS

- A. Review/Recommendation: Plan Commission review & recommendation on a Final Plat Review Application submitted by McMahon Associates on behalf of Clayton Development Group, LLC, for approval of the Scholar Ridge Estates Final Plat, dividing Tax ID #006-0617 (2689 County Rd II) & Tax ID #006-0618 into 49 lots and 2 outlots intended for a combination of commercial/business, multi-family residential, two-family residential, & single-family residential uses.

- B. Review/Recommendation: Plan Commission review & recommendation on a Conditional Use Application submitted by McMahon Associates on behalf of Clayton Development Group, LLC for a proposed multi-family housing development consisting of fifteen (15) 12-unit multi-family buildings located on approximately 19.6 acres of Tax ID #006-0617 addressed 2689 County Rd II, Neenah, WI.
- C. Review/Recommendation: Plan Commission review & recommendation on a Site Plan Review Application submitted by McMahon Associates on behalf of Clayton Development Group, LLC for a proposed multi-family housing development consisting of fifteen (15) 12-unit multi-family buildings located on approximately 19.6 acres of Tax ID #006-0617 addressed 2689 County Rd II, Neenah, WI.
- D. Review/Recommendation: Plan Commission review & recommendation on a Certified Survey Map (CSM) submitted by Davel Engineering & Environmental, Inc., on behalf of Donald & Tara Hennessey for approval of a CSM dividing Tax ID #006-0114-03 (9365 Center Rd) into two (2) lots.
- E. Review/Recommendation: Plan Commission review & recommendation on Resolution 2023-005 Recommending Adoption of the Town of Clayton Comprehensive Plan 2040.

UPCOMING MEETING ATTENDANCE

- A. Town Board (6:30 pm start unless otherwise noted) - July 19; August 2 & 16; Sept 6 & 20
- B. Plan Commission (6:30 pm start unless otherwise noted) - August 9 & 23; Sept 13

ADJOURNMENT

Respectfully submitted,

Dick Knapinski
Plan Commission Chair

Pursuant to Wisconsin Statute 19.84 (2) and (3) notice is hereby given to the public and the media that two or more members of any or all Boards, Commissions, and Committees of the Town of Clayton, may attend the meeting of the Plan Commission in order to gather information. For purposes of the Open Meetings Law only; attendance at a meeting by a quorum of members of the Town Boards, Commissions, and Committees constitutes a meeting of the Board, Commission, or Committee, pursuant to Badke Vs. Village Board of Village of Greendale, 173 Wis2d 553, 494 NW2d 408 (1993), and must be noticed as such, although it is not contemplated that any formal action by those bodies will be taken. The only business to be conducted is for Plan Commission action.

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, please call the Town Office at 920.836.2007.

This agenda has been posted at the following locations in the Town of Clayton:

- 1. The Town Hall Posting Board – 8348 CTR “T” Larsen, WI 54947
- 2. The Town’s Web Page: www.townofclayton.net

TOWN OF CLAYTON
NOTICE OF PUBLIC HEARING

Notice is hereby given that the Plan Commission of the Town of Clayton will hold a Public Hearing at 6:30 pm on Wednesday, July 12, 2023 in the Town Office Meeting Room located at 8348 Hickory Ave, Larsen WI 54947. The purpose of the Public Hearing is to receive public comment regarding the following Conditional Use Application:

THE PETITIONER(S): McMahan Associates has submitted a Conditional Use Application on behalf of Clayton Development Group, LLC for a proposed multi-family housing development consisting of fifteen (15) 12-unit multi-family buildings located on approximately 19.6 acres of Tax ID # 006-0617 addressed 2689 County Rd II, Neenah, WI.

Copies of the Conditional Use Application are available at the Town Hall, or by contacting the Town Clerk at (920) 836-2007. All interested parties and any objections to this request being granted will be heard at the Public Hearing. If you cannot attend the Public Hearing, you may submit written comments to the Town Clerk before 4:30 p.m. on the date of the Public Hearing.

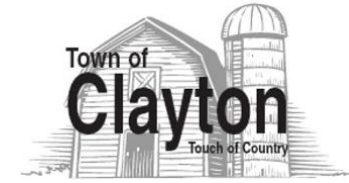
Dated this 27th day of June, 2023

Publish Wednesday, June 28, 2023

and

Wednesday, July 5, 2023

Post on or before June 28, 2023
By: Kelsey Faust-Kubale, Clerk



PLAN COMMISSION

Wednesday, June 14, 2023 at 6:30 PM

Town Hall Meeting Room, 8348 Hickory Ave, Larsen, WI 54947

MINUTES

CALL TO ORDER

- A. Pledge of Allegiance
- B. Verification of Notice
- C. Meeting Roll

PRESENT

- Chair Knapinski
- Commissioner Haskell
- Commissioner Nemecek
- Commissioner Ketter
- Commissioner Hopkins
- Town Board Rep. Christianson

EXCUSED

- Commissioner Dorow

STAFF

- Administrator Wisnefske
- Clerk Faust-Kubale
- Planner Jaworski
- Code Administrator Kussow

PUBLIC HEARING(S) AND/OR PUBLIC INFORMATION MEETINGS

- A. Public Hearing on a Conditional Use Application submitted by Robert E. Lee & Associates, Inc on behalf of PRE/3, LLC for a proposed multi-family housing development consisting of six (6) 12-unit multi-family buildings located on Eagle Heights Dr, specifically described as Tax ID #006-0328-02-02 which is approximately 619 feet north of W American Drive/Eagle Heights Dr intersection.

Aaron Breitenfeldt, Robert E. Lee & Associates noted he is available for any questions the Commissioners have regarding both the Conditional Use and Site Plan Applications.

PUBLIC HEARING CLOSED AT 6:32 PM

APPROVAL OF MINUTES

- A. Approval of the Minutes of the Wednesday, May 10, 2023 Plan Commission Meeting

MOTION:

Motion made by Commissioner Ketter, **Seconded** by Commissioner Nemecek to approve the minutes of the Wednesday, May 10, 2023 Plan Commission Meeting as presented.

Voting Yea: Chair Knapinski, Commissioner Haskell, Commissioner Nemecek, Commissioner Ketter, Commissioner Hopkins, Town Board Rep. Christianson

Motion carried 6-0.

OPEN FORUM – Public comments addressed to the Plan Commission: NONE

CORRESPONDENCE

- A. Distribution of the May 2023 Building Inspection Report

BUSINESS

- A. Review/Recommendation: Plan Commission review & recommendation on a Certified Survey Map (CSM) Review Application submitted by Northeast Asphalt & Susan Kottke for approval of a 2-Lot CSM transferring 0.18 acres +/- from Tax ID #006-0496 (Hickory Ave/County Rd II) to Tax ID #006-0502-02 (8397 Hickory Ave).

MOTION:

Motion made by Commissioner Nemecek, **Seconded** by Commissioner Haskell to recommend approval of the CSM submitted by Northeast Asphalt & Susan Kottke as presented.

Voting Yea: Chair Knapinski, Commissioner Haskell, Commissioner Nemecek, Commissioner Ketter, Commissioner Hopkins, Town Board Rep. Christianson

Motion carried 6-0.

- B. Review/Recommendation: Plan Commission review & recommendation on a Site Plan Review Application submitted by Robert E Lee & Associates, Inc. on behalf of PRE/3, LLC for a proposed multi-family housing development consisting of six (6) 12-unit multi-family buildings located on Eagle Heights Dr, specifically described as Tax ID #006-0328-02-02.

MOTION:

Motion made by Commissioner Nemecek, **Seconded** by Commissioner Hopkins to recommend approval of the Site Plan with the following Staff recommendations & conditions:

1. The project shall comply with all applicable local, state, & federal codes/ordinances.

2. A revised stormwater management & grading/erosion control plan for both construction best management practices (BMPs) and post-construction BMPs shall be submitted to the Town for review & approval prior to commencing construction. Winnebago County and Wisconsin Department of Natural Resources permits/approvals for stormwater management & erosion control shall be obtained prior to commencing construction.

3. Vision clearance triangles as required per Attachment B of the Town Zoning Ordinance shall be added to the site plan. Any structure(s), sign and/or landscaping exceeding the 3 ft. in height above the centerline of Eagle Heights Dr. shall be relocated to outside the vision clearance triangle. Revised site plan(s) showing this revision shall be submitted to the Town for staff-level review/approval prior to commencing construction.

4. The roof material shall have a Solar Reflective Index (SRI) of 29 or higher. Applicant shall submit documentation showing compliance with this requirement to the Town for staff-level review/approval prior to commencing construction.

5. Accessory buildings, including but not limited to the office & mail room, shall maintain the same theme & material selections as the principal buildings.

6. A revised Landscape Plan in compliance with Attachment E of the Town Zoning Ordinance shall be submitted to the Town for review & approval by the Plan Commission and Town Board. The revised Landscape Plan shall be approved & all landscaping shall be installed prior to issuance of any occupancy permit(s)/approval(s) by the Town.

7. If the sign is externally illuminated, such lighting shall be shielded with landscaping so the light fixture and/or source is not visible from off-site.

8. The waste/trash/recyclables collection area enclosure shall be revised in compliance with Attachment E and Sec. 9.08-209 of the Town Zoning Ordinance. Revised enclosure detail showing this revision shall be submitted to the Town for staff-level review/approval prior to commencing construction.

9. Any proposed signage shall comply with the applicable requirements of Article 12 and Attachment E of the Town Zoning Ordinance.

10. Acceptable exterior building materials per Attachment C of the Town Zoning Ordinance (clay or masonry brick) shall cover approximately 50% of all exterior wall surfaces, substantially consistent with the existing multi-family residential development adjacent to the east on Tax ID #006-0329.

11. Fire hydrants & any fire protection devices shall be clearly designated on the site plan and reviewed/approved by the Department of Protective Services.

12. Any substantial changes and/or additions to the site plan and/or building plans shall be reviewed & approved by the Plan Commission and Town Board in accordance with the Town of Clayton Zoning Ordinance. Determination of whether a change or addition is substantial shall be at the discretion of the Town Administrator.

Voting Yea: Chair Knapinski, Commissioner Haskell, Commissioner Nemecek, Commissioner Ketter, Commissioner Hopkins, Town Board Rep. Christianson

Motion carried 6-0.

- C. Review/Recommendation: Plan Commission review & recommendation on a Conditional Use Application submitted by Robert E. Lee & Associates, Inc on behalf of PRE/3, LLC for a proposed multi-family housing development consisting of six (6) 12-unit multi-family buildings located on Eagle Heights Dr, specifically described as Tax ID #006-0328-02-02.

MOTION:

Motion made by Commissioner Nemecek, **Seconded** by Town Board Rep. Christianson to recommend approval of the Conditional Use Permit with the following Staff recommendations & conditions:

1. The project shall comply with all applicable local, state, & federal codes/ordinances.
2. A revised stormwater management & grading/erosion control plan for both construction best management practices (BMPs) and post-construction BMPs shall be submitted to the Town for review & approval prior to commencing construction. Winnebago County and Wisconsin Department of Natural Resources permits/approvals for stormwater management & erosion control shall be obtained prior to commencing construction.
3. Vision clearance triangles as required per Attachment B of the Town Zoning Ordinance shall be added to the site plan. Any structure(s), sign and/or landscaping exceeding the 3 ft. in height above the centerline of Eagle Heights Dr. shall be relocated to outside the vision clearance triangle. Revised site plan(s) showing this revision shall be submitted to the Town for staff-level review/approval prior to commencing construction.
4. The roof material shall have a Solar Reflective Index (SRI) of 29 or higher. Applicant shall submit documentation showing compliance with this requirement to the Town for staff-level review/approval prior to commencing construction.
5. Accessory buildings, including but not limited to the office & mail room, shall maintain the same theme & material selections as the principal buildings.
6. A revised Landscape Plan in compliance with Attachment E of the Town Zoning Ordinance shall be submitted to the Town for review & approval by the Plan Commission and Town Board. The revised Landscape Plan shall be approved & all landscaping shall be installed prior to issuance of any occupancy permit(s)/approval(s) by the Town.
7. If the sign is externally illuminated, such lighting shall be shielded with landscaping so the light fixture and/or source is not visible from off-site.
8. The waste/trash/recyclables collection area enclosure shall be revised in compliance with Attachment E and Sec. 9.08-209 of the Town Zoning Ordinance.

Revised enclosure detail showing this revision shall be submitted to the Town for staff-level review/approval prior to commencing construction.

9. Any proposed signage shall comply with the applicable requirements of Article 12 and Attachment E of the Town Zoning Ordinance.

10. Acceptable exterior building materials per Attachment C of the Town Zoning Ordinance (clay or masonry brick) shall cover approximately 50% of all exterior wall surfaces, substantially consistent with the existing multi-family residential development adjacent to the east on Tax ID #006-0329.

11. Fire hydrants & any fire protection devices shall be clearly designated on the site plan and reviewed/approved by the Department of Protective Services.

12. Any substantial changes and/or additions to the site plan and/or building plans shall be reviewed & approved by the Plan Commission and Town Board in accordance with the Town of Clayton Zoning Ordinance. Determination of whether a change or addition is substantial shall be at the discretion of the Town Administrator.

Voting Yea: Chair Knapinski, Commissioner Haskell, Commissioner Nemecek, Commissioner Ketter, Commissioner Hopkins, Town Board Rep. Christianson

Motion carried 6-0.

- D. Review/Recommendation: Plan Commission review & recommendation on a Site Plan Review Application submitted by Utschig, Inc. on behalf of Positive Ventures, LLC for conversion of the existing restaurant/tavern building to a multi-tenant industrial/commercial building on Tax ID #006-0620-06 (2770 Towne Court).

MOTION:

Motion made by Commissioner Ketter, **Seconded** by Commissioner Nemecek to recommend approval of the Site Plan Application submitted by Utschig, Inc. with the following Staff recommendations & conditions:

1. The project shall comply with all applicable local, state, and federal codes/ordinances.

2. Vision clearance triangles as required per Attachment B of the Town Zoning Ordinance shall be added to the site plan. Revised site plan(s) showing this revision shall be submitted to the Town for staff-level review/approval prior to commencing construction.

3. Any proposed signage shall comply with the applicable requirements of Article 12 and Attachment E of the Town Zoning Ordinance.

4. All future exterior lighting shall comply with Sec. 9.08-210 of the Town Zoning Ordinance.

5. Buildings/tenants shall connect to sewer & water utilities once they become available.

6. Any substantial changes and/or additions to the site plan and/or building plans shall be reviewed and approved by the Plan Commission and Town Board in accordance with the Town of Clayton Zoning Ordinance. Determination of whether a change or addition is substantial shall be at the discretion of the Town Administrator.

Voting Yea: Chair Knapinski, Commissioner Haskell, Commissioner Nemecek, Commissioner Ketter, Commissioner Hopkins, Town Board Rep. Christianson

Motion carried 6-0.

UPCOMING MEETING ATTENDANCE

- A. Town Board (6:30 pm start unless otherwise noted) - June 21; July 5 & 19; August 2 & 16
- B. Plan Commission (6:30 pm start unless otherwise noted) - June 28; July 12 & 26; August 9

ADJOURNMENT

MOTION:

Motion made by Commissioner Haskell, **Seconded** by Commissioner Nemecek to adjourn at 7:54 pm.

Voting Yea: Chair Knapinski, Commissioner Haskell, Commissioner Nemecek, Commissioner Ketter, Commissioner Hopkins, Town Board Rep. Christianson

Motion carried 6-0.

Respectfully submitted,

Kelsey Faust-Kubale
Town Clerk



PLAN COMMISSION

Wednesday, June 28, 2023 at 6:30 PM

Item B.

Town Hall Meeting Room, 8348 Hickory Ave, Larsen, WI 54947

MINUTES

CALL TO ORDER

- A. Pledge of Allegiance
- B. Verification of Notice
- C. Meeting Roll

PRESENT

- Chair Knapinski
- Commissioner Haskell
- Commissioner Nemecek - excused at 8:41 pm
- Commissioner Ketter
- Commissioner Hopkins
- Town Board Rep. Christianson

ABSENT

- Commissioner Dorow

STAFF

- Administrator Wisnefske
- Clerk Faust-Kubale
- Planner Jaworski
- Eric Fowle, Cedar Corp

APPROVAL OF MINUTES

- A. Approval of the minutes of the Wednesday, May 24, 2023 Plan Commission Meeting

MOTION:

Motion made by Commissioner Ketter, **Seconded** by Commissioner Nemecek to approve the minutes of the Wednesday, May 24, 2023, Plan Commission Meeting as presented.

Voting Yea: Chair Knapinski, Commissioner Haskell, Commissioner Nemecek, Commissioner Ketter, Commissioner Hopkins, Town Board Rep. Christianson

Motion carried 6-0.

OPEN FORUM – Public comments addressed to the Plan Commission - NONE

CORRESPONDENCE

- A. Correspondence regarding the Premier Phase II project received June 19, 2023

BUSINESS

- A. Review/Discussion: Plan Commission review & discussion on a draft Town of Clayton Comprehensive Plan 2040 document, with focus on Chapter 11: Plan & Implementation.

DISCUSSION ITEM ONLY - NO ACTION TAKEN

UPCOMING MEETING ATTENDANCE

- A. Town Board (6:30 pm start unless otherwise noted) - July 5 & 19; August 2 & 16; Sept 6 & 20
- B. Plan Commission (6:30 pm start unless otherwise noted) - July 12 & 26; August 9; Sept 13

ADJOURNMENT

MOTION:

Motion made by Commissioner Haskell, **Seconded** by Commissioner Ketter to adjourn at 9:03 pm.

Voting Yea: Chair Knapinski, Commissioner Haskell, Commissioner Ketter, Commissioner Hopkins, Town Board Rep. Christianson

Motion carried 5-0.

Respectfully submitted,

Kelsey Faust-Kubale
Town Clerk

PERMIT SPREADSHEET FOR JUNE 2023

Item A.

YEAR TO DATE SUMMARY

DATE	PERMIT #	OWNER	ADDRESS	DESCRIPTION	CONTRACTOR	EST. PROJECT COST	PERMIT FEE	BLDING INSPECTOR FEE	TOWN	EST. PROJECT COST	PERMIT FEE	TOWN OF CLAYTON REVENUE	YEAR TO DATE TOTAL
TOWN OF CLAYTON PERMITS:													
6/5/2023	121-23-6B	LARRY TWIGG	3524 GOLDEN HARVEST	DECK	SPRINGHETTI OUTDOOR SPAC	\$ 21,200.00	\$ 210.70		Town of Clayton	\$ 930,454.00	\$ 9,893.28	\$ 9,893.28	\$ 48,378.61
6/6/2023	122-23-6B	NATIONAL LIGHTING	2586 W AMERICAN DR	NEW COMMERCIAL HVAC	ADVANTAGE INC	\$ 175,000.00	\$ 7,303.50		Town of Vinland				\$ 1,893.02
6/6/2023	123-23-6E	NORTHEAST ASPHALT	4515 CTY II	SERVICE	ENTERPRISE ELECT	\$ 20,000.00	\$ 75.00		Town of Winneconne	\$ 401,619.00	\$ 1,882.40	\$ 1,097.92	\$ 8,734.52
6/6/2023	124-23-6B	MATT STOVEKEN	4103 FAIRVIEW	SIDING	SELF	\$ 3,000.00	\$ 75.00		Town of Winchester	\$ 390,000.00	\$ 660.00	\$ 528.00	\$ 1,737.76
6/7/2023	125-23-6B	DAVE CORSO	3546 DEKALB	REROOF	O' DANNY BOY	\$ 24,700.00	\$ 75.00		Town of Dale	\$ 56,700.00	\$ 534.48	\$ 427.58	\$ 5,317.02
6/7/2023	126-23-6B	GARY O CONNELL	3573 GRAND MEADOWS	REROOF	O' DANNY BOY	\$ 21,000.00	\$ 75.00						
6/7/2023	127-23-6E	TROY GORDON	3336 CTY II	GENERATOR INSTALL	BLACK-HAAK	\$ 15,000.00	\$ 75.00		Total	\$ 1,778,773.00	\$ 12,970.16	\$ 11,946.78	\$ 66,060.93
6/14/2023		JAY SCHULTZ	8777 OAKWOOD	ADDITIONAL FEES TO PERMIT ISSUED	SELF	\$ 150,000.00	\$ 72.00						
6/14/2023	128-23-6B	GARY GARDNER	4725 SHORT	DETACHED GARAGE	SELF	\$ 15,000.00	\$ 200.80		Full Burden Wage	\$ 14,633.49			\$ 56,417.93
6/20/2023	129-23-6B	JAMES CALDER	8825 CLAYTON	REROOF	SELF	\$ 3,500.00	\$ 75.00						
6/21/2023	130-23-6B	ROBERT QUANDT	7449 SUNWOOD	REROOF	SECURITY LUEBKE	\$ 30,300.00	\$ 75.00		Net Profit (Loss)	\$ (2,686.71)			\$ 9,643.00
6/21/2023	131-23-6B	JOHN POSS	9417 MEMORY	INSTALL EGREE WINDOW	SELF	\$ 4,500.00	\$ 75.00						
6/21/2023	132-23-6B	DUSTIN WHALEY	2645 FAIRVIEW	GAS PIPING FOR POOL HEATER	S&A PETERS	\$ 1,000.00	\$ 75.00						
6/21/2023	133-23-6H	JEFF MALCORE	8419 PIONEER	REPLACE A/C	HEALTHY HOMES	\$ 7,455.00	\$ 75.00						
6/22/2023	134-23-6B	MACDONALD TRUST	3033 SHADY	POLE BUILDING	CLEARY BUILDINGS	\$ 264,000.00	\$ 500.00						
6/26/2023	135-23-6B	JEROD STEIGENBERGER	8007 NICHOLE HEIGHTS	REROOF	O' DANNY BOY	\$ 37,600.00	\$ 75.00						
6/27/2023	136-23-6E	DONNA SELOW	9183 OAKWOOD	SERVICE	CUMINGS ELECT	\$ 1,500.00	\$ 75.00						
6/27/2023	137-23-6H	SUSAN LEWIS	3340 BERRY BRAMBLE	REPLACE A/C	MODERN SHEET METAL	\$ 4,199.00	\$ 75.00						
6/27/2023	138-23-6H	JESSE CLARK	7510 SUNBURST	GRAGE HEATER	BLACK-HAAK	\$ 2,000.00	\$ 75.00						
6/27/2023	139-23-6P	DOUG YEATMAN	3086 BUTTERCUP	REPLACE WATER HEATER	BLACK-HAAK	\$ 3,000.00	\$ 75.00						
6/27/2023	140-23-6B	DAVE EDWARDS	9287 DEER TRAIL	BASEMENT BATHROOM	SELF	\$ 6,000.00	\$ 183.64						
6/27/2023	141-23-6E	DAVE EDWARDS	9287 DEER TRAIL	ELECT BASEMENT BATHROOM	SELF	\$ 500.00	\$ 79.32						
6/29/2023	142-23-6B	DUSTIN MCCLONE	3435 BERRY BRAMBLE	INGROUND POOL	POOL WORKS	\$ 120,000.00	\$ 218.32						
TOTALS						\$ 930,454.00	\$ 9,893.28	\$ -					
TOWN OF WINNECONNE PERMITS:													
6/6/2023	66-23-6B	MITCHELL SALZAR	5889 POINTE WEST	REPLACE SOLARIUM	SALZAR SIDING	\$ 30,000.00	\$ 119.00	\$ 95.20					
6/13/2023	67-23-6E	RANDY GRIGNON	6912 GRIGNON	NSFD ELECT	JAHNKE ELECT	\$ 10,000.00	\$ 142.20	\$ 113.76					
6/13/2023	68-23-6H	RANDY GRIGNON	6912 GRIGNON	NSFD HVAC	RYF HVAC	\$ 8,000.00	\$ 142.20	\$ 113.76					
6/13/2023	69-23-6P	RANDY GRIGNON	6912 GRIGNON	NSFD PLUMB	WIECHMAN PLUMB	\$ 10,000.00	\$ 142.20	\$ 113.76					
6/15/2023	70-23-6B	LAUREL HUYVAERT	6659 LASLEY SHORE	RAZE HOUSE	INSTALLATION SPECIALIST	\$ 10,000.00	\$ 55.00	\$ 44.00					
6/15/2023	71-23-6B	LAUREL HUYVAERT	6659 LASLEY SHORE	NSFD	INSTALLATION SPECIALIST	\$ 300,000.00	\$ 500.00	\$ 400.00					
6/15/2023		LAUREL HUYVAERT	6659 LASLEY SHORE	TOWN FEES	INSTALLATION SPECIALIST		\$ 510.00						
6/19/2023	72-23-6B	JIM JOHNSON	6551 WOODVIEW	GARDEN SHED	MOUND BUILDERS	\$ 7,500.00	\$ 61.80	\$ 49.44					
6/19/2023	73-23-6E	DENNIS BAHTHE	7125 CROSS RD	SERVICE	SELF	\$ 1,000.00	\$ 60.00	\$ 48.00					
6/28/2023	74-23-6B	KATHY EID	5766 ERIE	BATH REMOD	TUNDRALAND	\$ 15,119.00	\$ 100.00	\$ 80.00					
6/28/2023	75-23-6B	DIANE BENEDICT	6121 CTY M	REROOF	ALL-AMERICAN CONST	\$ 10,000.00	\$ 50.00	\$ 40.00					
TOTALS						\$ 401,619.00	\$ 1,882.40	\$ 1,097.92					
TOWN OF WINCHESTER PERMITS:													
6/26/2023	15-23-6B	JESSE WEINZINGER	8847 N LOOP	NSFD	VIRTUE HOMES	\$ 390,000.00	\$ 660.00	\$ 528.00					
TOTALS						\$ 390,000.00	\$ 660.00	\$ 528.00					
TOWN OF DALE PERMITS:													
6/12/2023	43-23-6B	RANDY KASTELLO	W8580 QUIET LN	GARDEN SHED	SELF	\$ 20,000.00	\$ 127.80	\$ 102.24					
6/12/2023	44-23-6E	RANDY KASTELLO	W8580 QUIET LN	ELECT GARDEN SHED	SELF	\$ 500.00	\$ 77.48	\$ 61.98					
6/28/2023	45-23-6B	STEVE ZIEGLER	W9085 MARIANNE	DETACHED GARAGE	SELF	\$ 1,200.00	\$ 114.20	\$ 91.36					
6/28/2023	46-23-6B	ALEX HOPENSBERGER	W9684 DEGAL	DETACHED GARAGE	SELF	\$ 35,000.00	\$ 215.00	\$ 172.00					
TOTALS						\$ 56,700.00	\$ 534.48	\$ 427.58					

Greenville wrestles with expanding subdivision that has only one way in and out Duke Behnke - Appleton Post-Crescent

GREENVILLE - How big is too big for a residential subdivision with a single access point?

The 47 homeowners in Country Meadows have lived with Everglade Road as the lone entrance and exit in their subdivision for years.

But a developer's proposal to add 35 homes to Country Meadows, without opening a second access point, has the homeowners up in arms.

They're concerned additional traffic from the new homes will compound safety issues and that construction vehicles will tear up Everglade, as it's the only way in and out.

"Everglade is busy," homeowner Tyler Ernst said. "Now you stack 30 more homes in there? You can't walk or do anything."

"The allure was to live in a quiet neighborhood," said homeowner Jennifer Mueller.

What is the status of the developer's proposal?

The developer, North Appleton Properties, requested the village rezone 32 acres from agricultural use to single-family residential use to accommodate the first addition to Country Meadows. It also sought approval for the preliminary plat.

The Village Board last week tabled both matters. Board President Jack Anderson said that before Greenville proceeds, it needs to define the access and safety issues and whether improvements are needed to Everglade, which is a rural road with ditches and without sidewalks or streetlights.

"We need to be smarter about how we're doing these things, and I don't think we're there yet on this one," Anderson said.

Planning Commission forwards mixed recommendations

The Planning Commission voted 3-2 to deny the rezoning and 4-1 to approve the preliminary plat. Both are recommendations to the Village Board, which will have the final say.

The village's future land-use plan shows the land in question as suitable for suburban residential development, and the preliminary plat complies with all ordinances. The village doesn't require a subdivision to have more than one access point.

Commission members Anderson, Leanne Meidam-Wincentsen and Michael Simonds opposed the rezoning. Meidam-Wincentsen also voted against the preliminary plat.

Meidam-Wincentsen said she wouldn't have approved the Country Meadows subdivision as it exists today, much less with the addition of 35 homes.

"I cannot, in good conscience, make this subdivision more unsafe," Meidam-Wincentsen said.

Is a developer responsible for fixing a preexisting problem?

Village Administrator Travis Parish said the new subdivision, by itself, would have two access points – Everglade and Morning Glory Lane – but it would funnel back into the existing section of Everglade.

"Unfortunately, the existing subdivision went in with only one access," Parish said. "Probably the time to address the two accesses was at that point. We can't put higher standards on the next developer than we require from other developers."

Parish said the Glen Valley Drive subdivision had more than 200 homes with a single access point until other subdivisions developed around it.

"It's not necessarily unprecedented that there has been only one way in and out," he said.

The Village Board has discussed rewriting its ordinance to require more than one access point, but no change has been made.

Safety concerns remain at the center of debate

Access to the subdivision could be jeopardized if an emergency response blocks Everglade. That risk exists today, but residents contend it would be exacerbated with an additional 35 homes.

"It's super unsafe to get in and out of our neighborhood to begin with," homeowner Lisa Gaupp said.

Parish said the proposed subdivision would improve safety by providing a loop for buses, snowplows and emergency vehicles. "No longer would buses have to back up," he said.

The new subdivision also would have curb and gutter and sidewalks.

Contact Duke Behnke at 920-993-7176 or dbehnke@gannett.com. Follow him on Twitter at [@DukeBehnke](https://twitter.com/DukeBehnke).

Business Item A

From: Administrator/Staff

To: Plan Commission

Re: Public Hearing and Plan Commission review and recommendation on a Final Plat Review Application submitted by McMahon Associates on behalf of Clayton Development Group, LLC, for approval of the Scholar Ridge Estates Final Plat, dividing Tax ID #006-0617 (2689 County Rd II) & Tax ID #006-0618 into 49 lots and 2 outlots intended for a combination of commercial/business, multi-family residential, two-family residential, & single-family residential uses.

Property Information Specific to Tax ID #'s 006-0617 & 006-0618:

1. Specific Site Location: The subject site is located on the property addressed 2689 County Rd II and the parcel adjacent to the south. The subject site is adjacent to the south of the County Rd II/Martin Dr intersection and adjacent to the northeast of the Westridge Golf Course.
2. Parcel Profile Reports for each parcel are enclosed with this memo for your reference. Additional applicable property information not included in the Parcel Profile Report is described below:
 - a. The subject property is located in the Town's Community Business (B-2) District, Multifamily Residential (R-4) District, Two-Family Residential (R-3) District, and Suburban Residential (R-2) District. Rezoning approved by Town in May 2023.
 - b. A small area in the northeast corner of Tax ID #006-0617, adjacent to County Rd II, is located in the County's Shoreland Zoning and General Agriculture (A-2) District. This is due to a navigable stream located on the north side of County Rd II.
 - c. There are two (2) "non-navigable" intermittent streams/drainage ways running through the subject property as identified on the preliminary plat:
 - i. Per the Town Subdivision Ordinance, the minimum environmental setback corridor for these streams is 35 ft.
 - ii. Winnebago County has no setback requirement for these intermittent streams/drainage ways.
 - d. A wetland delineation of the subject property was completed in October 2022 which identified five (5) small wetlands:
 - i. Four (4) small wetlands are within/near the northerly intermittent stream/drainage way on Tax ID #006-0617, within Lots 2 and 3, and Outlot 1 of the final plat; and
 - ii. One (1) small wetland is in the southwest corner of Tax ID #006-0618, within and adjacent to the south of Lot 45 of the final plat.
 - e. No portion of the subject property is located in a floodplain.
 - f. No portion of the subject property is located in located in Outagamie County Airport Zoning or an Airport Height Limitation Zone.
 - g. All of the subject property part of the final plat is located in the Fox West Sewer Service Area and Town of Clayton Sanitary District #1.
 - h. The adopted "Highways 10 & 76 Corridor Land Use Master Plan" identifies the following proposed land use districts and features on the subject property:
 - i. Tax ID #006-0617 = "Gateway Commercial & Retail" adjacent to County Rd II and "Medium and High Intensity Residential" throughout the remainder of the parcel.
 - ii. Tax ID #006-0618 = "Medium and High Intensity Residential"
 - iii. Future roads are identified throughout the subject property, along parcel lines.
 - iv. A future on-road trail is identified along County Rd II, north of the subject property.
 - v. A future off-road trail is identified along the southerly intermittent stream/drainage way on Tax ID #006-0618.

This Master Plan was adopted as part of the Town Comprehensive Plan and serves as a more detailed future land use map for the Highways 10 and 76 Corridor. This Master Plan Map is a supplement to and supersedes the Future Land Use Plan Map classifications.

- i. The PRELIMINARY/DRAFT Future Land Use Map of the updated 2023 Comprehensive Plan identifies the following future land use categories/designations on the subject property:
 - i. Tax ID #006-0617 = “Business” adjacent to County Rd II, “Neighborhood Center Mixed Use” near County Rd II and adjacent to the east parcel line, and “Medium and High Intensity Residential” throughout the remainder of the parcel.
 - ii. Tax ID #006-0618 = “Medium and High Intensity Residential” in the western 2/3, “Neighborhood Mixed Center” in the northeast corner, and “Recreation and Conservation” in the southeast corner of the parcel.

This preliminary/draft Future Land Use Map has not yet been adopted by the Town.

- j. The PRELIMINARY/DRAFT Parks and Recreation Facilities Map of the updated 2023 Comprehensive Plan identifies “Future Town Parks or Greenspace” in the southeast corner of Tax ID #006-0618, a future on-road trail along County Rd II, north of the subject property, and “Future Off-Road Trail” along the southerly intermittent stream/drainage way on Tax ID #006-0618.

This preliminary/draft Parks and Recreation Facilities Map has not yet been adopted by the Town.

- k. The proposed commercial and residential development is allowed in the subject property’s Community Business (B-2), Multifamily Residential (R-4), Two-Family Residential (R-3), and Suburban Residential (R-2) Districts.
- l. The subject property is within extraterritorial plat review jurisdiction of the Village of Fox Crossing.

3. Zoning of Surrounding Properties:

- a. North: R-1 (Rural Residential District) & I-1 (Light Industrial District)
- b. South: R-2 (Suburban Residential District)
- c. East: A-2 (General Agriculture District)
- d. West: R-1 (Rural Residential District), A-2 (General Agriculture District), B-2 (Community Business District), & R-2 (Suburban Residential District)

Application Details:

McMahon Associates, on behalf of Clayton Development Group, LLC, requests approval of the Scholar Ridge Estates Final Plat, dividing Tax ID #006-0617 (2689 County Rd II) & Tax ID #006-0618 into 49 lots and 2 outlots intended for a combination of commercial/business, multi-family residential, two-family residential, & single-family residential uses. In May 2023, the Town approved rezoning the subject property to the Community Business (B-2), Multifamily Residential (R-4), Two-Family Residential (R-3), and Suburban Residential (R-2) Districts to accommodate the various uses and housing types as described in more detail below:

- Commercial/business uses are proposed on Lots 1 through 3, adjacent to County Rd II. These lots and Outlot 1 are in the Community Business (B-2) District.
- Multi-family residential use is proposed on Lots 4 and 5. These lots are in the Multifamily Residential (R-4) District.
- Two-family and single family residential uses are proposed on Lots 6 through 17, Lots 27 through 30, and Lots 35 through 37. These lots and Outlot 2 are in the Two-Family Residential (R-3) District.
- Single-family residential uses are proposed on Lots 18 through 26, Lot 31 through 34, and Lots 38 through 49. These lots are in the Suburban Residential (R-2) District.
- All Outlots (Outlots 1 & 2) are proposed for stormwater management facilities (e.g., ponds). All Outlots are proposed to be dedicated to the Town.

All proposed lots comply with the minimum lot dimensional requirements for each respective zoning district in which the lots are located.

Preliminary Plat Approval Conditions:

A copy the letter outlining preliminary plat approval conditions and the applicant’s response to each condition (in red) is included with this packet for your reference.

Town Subdivision Ordinance Review:

Road Access:

Access to the subdivision is proposed via one (1) new road connecting to County Rd II, directly across from the existing Martin Dr north of County Rd II. An internal road network is proposed with:

- Three (3) road stubs for future road access to property adjacent to the east;
- Two (2) road stubs for future road access to property adjacent to the south; and
- One (1) road stub for future road access to the property adjacent to the west.

Town staff, including Fire Chief Scott Rieckmann, have concerns with only one (1) road access to the subdivision until adjacent properties are developed and road access from adjacent properties is established. The Town should consider requiring an additional road access to County Rd II.

Road Names:

Per the final plat, it appears Princeton Dr changes to St Norbert Dr at the curve in the road near Lots 16 and 17.

It is staff’s opinion that the Princeton Dr and St Norbert Dr road segment(s) should be revised to one (1) road name for the entire continuous roadway, primarily for emergency services purposes. Having a road name change in the middle of a road segment or at a curve in a road may cause issues/confusion in finding the property in emergency situations.

Wetlands:

As described earlier in this memo, a wetland delineation of the subject property was completed in October 2022 which identified five (5) small wetlands. One (1) small wetland within and adjacent to the south of Lot 45 is proposed to be filled, which will require approval from the WisDNR.

Minimum Road Design Standards:

- The applicant is requesting a variance to the Town’s Minimum Road Design Standards Policy to allow for the following design for all roads:
 - 12 inches of gravel base course with geogrid installed below the pavement and shoulders; and
 - 4 inches of compacted asphalt surface.
- **Preliminary Plat Approval Condition:** “If requested by the subdivider, the Town Board allow for an exception/variance to the minimum road design standards for all platted roads, except Marlo Dr, Princeton Dr, and St Norbert Dr, to be constructed with 4 inches total asphalt pavement (2.25” binder layer & 1.75” surface layer), 12 inches total gravel base (6 Inches of 3” B.A.D. & 6 Inches of ¾” B.A.D.), and geogrid, subject to: 1) The subdivider conducting soil borings and providing the Town a detailed geotechnical report with design calculations proving the proposed road design is suitable for the site; and 2) The subdivider providing the Town an irrevocable financial commitment to cover the cost of road failure if road failure were to occur within 25 years after construction.”
- **Town Engineer Recommendation:** *Town Engineer recommends that the Town not allow an exception/variance to the minimum road design standards, and that all roads be constructed to the Town’s minimum road design standards. This is due to the amount of heavy vehicle/equipment traffic that will be occurring on all roads during individual lot development and during future development of the remaining southern property included in the preliminary plat approval.*

Drainage & Stormwater Management (Sec. 7.10.05, Town Subdivision Ordinance):

Stormwater management and erosion control within the Town are regulated by Winnebago County and the WisDNR. Applicant provided a Stormwater Management Plan and detailed utility and road construction plans prepared by McMahan Associates. Town Engineer has conducted an initial review and provided technical engineering review comments to the Town.

The following items/issues need to be addressed by the applicant:

- *Additional information and revised plans addressing the Town Engineer review comments will need to be submitted for Town review/approval prior to final plat approval.*
- **Dedication of Drainage Facilities/Outlot Dedication:** *The note on the plat regarding ownership of Outlots 1 and 2 may need to be revised to memorialize maintenance responsibilities if outlots are proposed to*

be dedicated to and if they are accepted by the Town. The Town is not required to accept the out and/or maintenance responsibilities.

Construction of Public Improvements/Public Improvement Agreement (Sec. 7.10.06, Town Subdivision Ordinance):

- Town Engineer has conducted an initial review and provided technical engineering review comments to the Town regarding road, sanitary sewer and water main construction. *Additional information and revised plans addressing the Town Engineer review comments will need to be submitted for Town review/approval prior to final plat approval.*
- The subdivider is required to install and construct all public improvements (e.g., roads, sewer, water, stormwater management facilities, trails, sidewalks, etc.). *As a condition of final plat approval, the subdivider shall enter into a Public Improvement Agreement in recordable form with the Town. The Public Improvement Agreement shall contain the provisions described in Section 7.10.06 (4) of the Town Subdivision Ordinance, addressing items such as construction timelines, financial security, and other requirements as deemed necessary.*

Dedications and Reservations (Sec. 7.10.08, Town Subdivision Ordinance):

- Pedestrian Trails: Any recreational trail(s) designated in an adopted Town plan shall be made part of the plat and either dedicated to the Town or reserved by the subdivider in locations and dimensions indicated on such plan.
 - The “Highways 10 & 76 Corridor Land Use Master Plan” identifies a future on-road along County Rd II, north of the subject property, and a future off-road trail along the southerly intermittent stream/drainage way on Tax ID #006-0618.

Per the submitted Utility & Road Construction Plans, the only proposed pedestrian facility is an 8 ft. wide public trail along the east side of Marlo Drive. The approved preliminary plat identified the 8 ft. wide trail continuing within and along the southern edge of the County Rd II right-of-way from Marlo Dr to the east lot line of PIN 006-0617, which is not shown on the submitted Utility & Road Construction Plans.

- Dedication Requirements for Park, Playground, & Recreational Open Space:
The Town Subdivision Ordinance requires one of the following options in regard to dedication of park, playground, and recreational open space area(s):
 1. Land Dedication in the following percentages of land area by zoning:
 - Single-family zoning: 6%
 - Two-family zoning: 8%
 - Multiple-family zoning: 12%
 2. Fee in lieu of land dedication: In the event the Town Board deems a dedication is unsuitable, inadequate or inappropriate, a \$500 fee in lieu of dedication for each new dwelling unit shall be paid prior to issuance of a building permit.

During preliminary plat review/approval, the Town Board allowed for the fee in lieu of land dedication option. The applicant agrees with the fee in lieu of land dedication.

Street Arrangement/Temporary Turnarounds (Section 7.10.18 (1) (c) 5, Town Subdivision Ordinance):

Temporary turnarounds of 120 ft right-of-way diameter and a roadway of not less than 90 ft in diameter shall be provided in the following locations as required by the Town Subdivision Ordinance:

- East terminus of St Thoms Ln
- South terminus of Marlo Ave
- South terminus of St Norbert Dr
- West terminus of Lawrence Ln

Compliant temporary turnarounds are missing from or insufficient in the following locations:

- *East terminus of St Thoms Ln (temporary turnaround identified on plat does not meet minimum dimensional requirements.)*
- *South terminus of Marlo Ave (none shown)*

- *West terminus of Lawrence Ln (none shown)*

In an attempt to address this issue, the applicant included access restrictions to Marlo Ave for Lot 37 and to Lawrence Ln for Lots 22 and 46. The applicant's engineer stated the access restriction eliminates the need for a temporary cul-de-sacs in these locations.

USPS Postal Service:

It is staff's understanding/assumption that USPS will require cluster mailbox units (CBUs) for this subdivision. The location of the CBUs should be identified on the final plat prior to approval. Initial purchase and installation of the CBUs and associated walkways, foundations, etc. are the developers responsibility. USPS National Delivery Planning Standards Handbook P0-632 provides guidance for CBUs. In addition to identifying the location of the CBUs on the final plat, a note should be added to the final plat indicating that lot owners are responsible for all CBU structure and foundation maintenance and replacement costs. The note is important to convey that:

- The Town does not maintain mailboxes
- Lot owners immediately abutting a CBU are responsible for the short term maintenance and accessibility to the CBU in regard to grass cutting, snow removal, and keeping the CBU in a presentable, functional state.
- All lot owners associated with a particular CBU are responsible for long term maintenance, repair, or replacement.
- If the lot owners associated with a designated CBU fail to keep the CBU in a presentable and functional state, the Town may assess/charge designated CBU lot owners for the shared cost of required maintenance.

State Certification of Final Plat: The subdivider must provide the Town with a copy of the State certification that there are no objections to the final plat. *State certification has not been provided to the Town.*

Staff Comments, Plan Commission/Town Board Direction, & Staff Recommendation:

Specific items/issues that need to be reviewed by the Town and/or addressed by the applicant:

1. Road Access: Town staff, including Fire Chief Scott Rieckmann, have concerns with only one (1) road access to the subdivision until adjacent properties are developed and road access from adjacent properties is established. The Town should consider requiring an additional road access to County Rd II.
2. Road Names: It is staff's opinion that the Princeton Dr and St Norbert Dr road segment(s) should be revised to one (1) road name for the entire continuous roadway, primarily for emergency services purposes. Having a road name change in the middle of a road segment or at a curve in a road may cause issues/confusion in finding the property in emergency situations.
3. Wetland Filling/DNR Permit Approval: DNR approval for filling the wetland within and adjacent to the south of Lot 45 shall be obtained and should be provided to the Town prior to final plat approval.
4. Minimum Road Design Standards:
 - a. The applicant is requesting a variance to the Town's Minimum Road Design Standards Policy to allow for the following design for all roads:
 - i. 12 inches of gravel base course with geogrid installed below the pavement and shoulders; and
 - ii. 4 inches of compacted asphalt surface.
 - b. Preliminary Plat Approval Condition: "If requested by the subdivider, the Town Board allow for an exception/variance to the minimum road design standards for all platted roads, except Marlo Dr, Princeton Dr, and St Norbert Dr, to be constructed with 4 inches total asphalt pavement (2.25" binder layer & 1.75" surface layer), 12 inches total gravel base (6 Inches of 3" B.A.D. & 6

Inches of $\frac{3}{4}$ " B.A.D.), and geogrid, subject to: 1) The subdivider conducting soil borings and providing the Town a detailed geotechnical report with design calculations proving the proposed road design is suitable for the site; and 2) The subdivider providing the Town an irrevocable financial commitment to cover the cost of road failure if road failure were to occur within 25 years after construction."

- c. Town Engineer Recommendation: Town Engineer recommends that the Town not allow an exception/variance to the minimum road design standards, and that all roads be constructed to the Town's minimum road design standards. This is due to the amount of heavy vehicle/equipment traffic that will be occurring on all roads during individual lot development and during future development of the remaining southern property included in the preliminary plat approval.

5. Drainage & Stormwater Management (Sec. 7.10.05, Town Subdivision Ordinance):

The following items/issues need to be addressed by the applicant:

- a. Additional information and revised plans addressing the Town Engineer review comments will need to be submitted for Town review/approval prior to final plat approval.
- b. Dedication of Drainage Facilities/Outlot Dedication: The note on the plat regarding ownership of Outlots 1 and 2 may need to be revised to memorialize maintenance responsibilities if outlots are proposed to be dedicated to and if they are accepted by the Town. The Town is not required to accept the outlots and/or maintenance responsibilities.

6. Construction of Public Improvements/Public Improvement Agreement (Sec. 7.10.06, Town Subdivision Ordinance):

- a. Additional information and revised plans addressing the Town Engineer review comments will need to be submitted for Town review/approval prior to final plat approval.
- b. The subdivider is required to install and construct all public improvements (e.g., roads, sewer, water, stormwater management facilities, trails, sidewalks, etc.). As a condition of final plat approval, the subdivider shall enter into a Public Improvement Agreement in recordable form with the Town. The Public Improvement Agreement shall contain the provisions described in Section 7.10.06 (4) of the Town Subdivision Ordinance, addressing items such as construction timelines, financial security, and other requirements as deemed necessary.

7. Dedications and Reservations (Sec. 7.10.08, Town Subdivision Ordinance):

- a. Per the submitted Utility & Road Construction Plans, the only proposed pedestrian facility is an 8 ft. wide public trail along the east side of Marlo Drive. The approved preliminary plat identified the 8 ft. wide trail continuing within and along the southern edge of the County Rd II right-of-way from Marlo Dr to the east lot line of PIN 006-0617, which is not shown on the submitted Utility & Road Construction Plans.

8. Street Arrangement/Temporary Turnarounds (Section 7.10.18 (1) (c) 5, Town Subdivision Ordinance):

Temporary cul-de-sac turnarounds are missing from or insufficient in the following locations:

- a. East terminus of St Thoms Ln (temporary turnaround identified on plat does not meet minimum dimensional requirements.)
- b. South terminus of Marlo Ave (none shown)
- c. West terminus of Lawrence Ln (none shown)

In an attempt to address this issue, the applicant included access restrictions to Marlo Ave for Lot 37 and to Lawrence Ln for Lots 22 and 46. The applicant's engineer stated the access restriction eliminates the need for a temporary cul-de-sacs in these locations.

9. USPS Postal Service:

It is staff's understanding/assumption that USPS will require cluster mailbox units (CBUs) for this subdivision. The location of the CBUs should be identified on the final plat prior to approval. In addition to identifying the location of the CBUs on the final plat, a note should be added to the final plat indicating that lot owners are responsible for all CBU structure and foundation maintenance and replacement costs.

10. State Certification of Final Plat: State certification has not been provided to the Town.

Plan Commission/Town Board Direction:

1. The final plat and covenants shall be reviewed by the Plan Commission for conformance with this ordinance and all other ordinances, rules, regulations and the Town's Comprehensive Plan.
2. The final plat shall then be forwarded to the Town Board with a Plan Commission recommendation for approval or rejection.
3. The subdivider shall execute a Public Improvement Agreement with the Town and provide the requisite financial security pursuant to Section 7.10:15(4) (b) prior to Town approval and as a condition of Town approval of a final plat. Failure to submit an approved, executed Public Improvement Agreement and approved, executed financial guarantee shall be deemed an incomplete final plat submittal.
4. If the final plat conforms substantially to the preliminary plat as approved, including any conditions of that approval, and to local plans and ordinances adopted as authorized by law, it is entitled to approval.
5. The Town Board shall, within sixty (60) days of the date of filing of the original final plat with the Town Clerk, approve or reject such plat, unless the time is extended by written agreement with the subdivider.
 - a. If the plat is rejected, the reasons shall be stated in the minutes of the meeting and forwarded to the subdivider with a copy to the Town Plan Commission.
 - b. If the Board fails to act within sixty (60) days and the time has not been extended by agreement and if no unsatisfied objections have been filed within that period, the plat shall be deemed approved, and, upon demand, a certificate to that effect shall be made on the face of the plat by the Town Clerk.

The Town Board shall act on the final plat on or before August 4, 2023, unless the time is extended by written agreement with the subdivider.

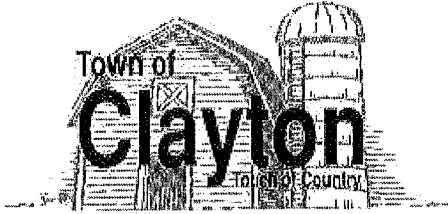
Staff Recommendation:

Due to the outstanding issues described above, staff recommendation is to either:

1. Table final plat review for review at a future meeting after all outstanding issues have been adequately addressed to the satisfaction of the Town. *(This option will most likely require the Town to enter into a written agreement with the subdivider to extend the time limit in which the Town Board shall approve or reject the plat);*

OR

2. Reject the final plat due to the outstanding issues described above.



Final
~~Preliminary~~ Plat Review Application
(Submit 15 copies of Drawings)

8348 County Road T - Larsen, WI 54947
Phone - 920-836-2007 Fax - 920-836-2026
Email - tocadmin@new.rr.com Web Page - www.townofclayton.net

Property Owner (s): Clayton Development Group, LLC

Address/Zip: 2065 American Drive, Suite A Neenah, WI 54956
Phone: 920-428-9451 Fax: N/A E-Mail: derek@groundedpropertygroup.com

Applicant: McMahon Associates

Check: Architect Engineer Surveyor Attorney Agent

Address/City/Zip: 1445 McMahon Drive Neenah, WI 54956
Phone: 920-751-4200 Fax: _____ E-Mail: Dwoelz@mcmgrp.com

Plat Title: Scholar Ridge Estates

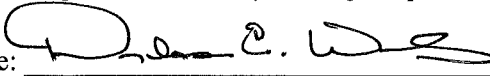
No. of Lots: 51 Total Acreage: 56.3 Tax Key No.: 0060617 + Part of 0060618

Legal Description: Part of the NW 1/4 and the SW 1/4 of the NE 1/4 of Sec. 24, T20N, R16E, Town of Clayton Zoning: _____

Surveyor: Douglas E. Woelz Registration No.: PLS-2327

Address/City/Zip: 1445 McMahon Drive Neenah, WI 54956
Phone: 920-751-4200 Fax: N/A E-Mail: Dwoelz@mcmgrp.com

I certify that the attached drawings are to the best of my knowledge complete and drawn in accordance with all Town of Clayton codes.

Applicant Signature:  Date: 6-5-2023

For Town Use Only
Fee (See Fee Schedule)

Fee: _____	Acct No: _____	Receipt: _____	Date: _____
Date Rec'vd Complete: _____		By: _____	
Review Meeting _____		History _____	
Preliminary Plat is: Approved _____ Approved with Condition _____ Denied _____			
Public Improvement Agreement Signed: Yes _____ No: _____			
10 Copies submitted to County: Yes _____ No: _____ 11" x 17" submitted: Yes _____ No: _____			
15 Copies submitted to Town: Yes _____ No: _____			
Comments: _____			

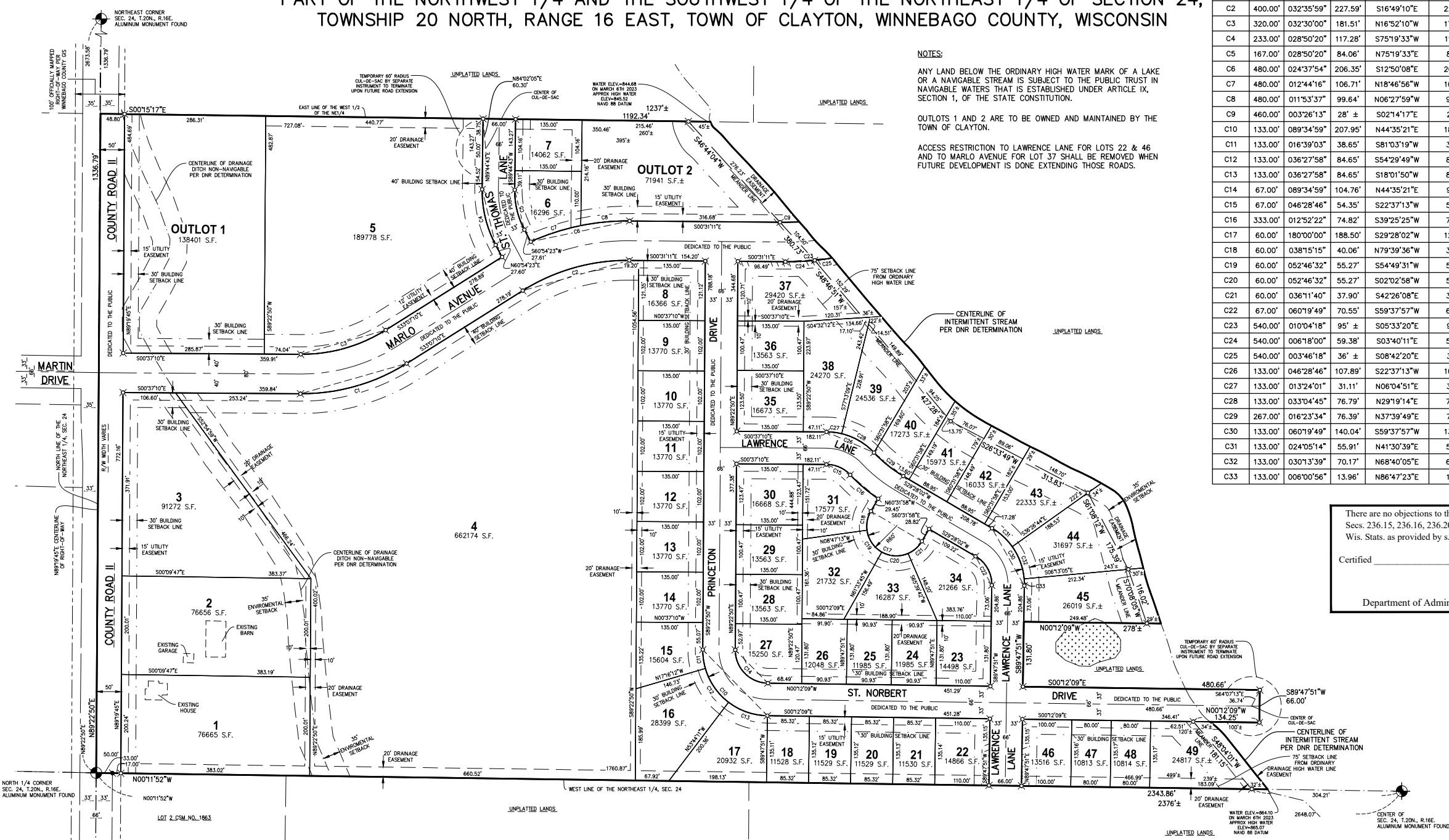
Notes: Please notify utility companies regarding your proposed development. CSM approval does not constitute approval of a building permit or any required approval of a highway connection permit. Preliminary Plat & Fee must be submitted 10 working days prior to meeting. Submit 1 copy to City of Neenah (if in Extra Territorial Plat Review).

SCHOLAR RIDGE ESTATES

PART OF THE NORTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 20 NORTH, RANGE 16 EAST, TOWN OF CLAYTON, WINNEBAGO COUNTY, WISCONSIN

Curve Table							
Curve #	Radius	Delta	Length	Chord Direction	Chord Length	Tangent	Bearing
C1	400.00'	032°30'00"	226.89'	S16°52'10"E	223.86'		
C2	400.00'	032°35'59"	227.59'	S16°49'10"E	224.53'		
C3	320.00'	032°30'00"	181.51'	N16°52'10"W	179.09'		
C4	233.00'	028°50'20"	117.28'	S75°19'33"W	116.04'		
C5	167.00'	028°50'20"	84.06'	N75°19'33"E	83.17'		
C6	480.00'	024°37'54"	206.35'	S12°50'08"E	204.77'	S25°09'05"E	
C7	480.00'	012°44'16"	106.71'	N18°46'56"W	106.49'		
C8	480.00'	011°53'37"	99.64'	N06°27'59"W	99.46'		
C9	460.00'	003°26'13"	28' ±	S02°14'17"E	28' ±		S03°57'24"E
C10	133.00'	089°34'59"	207.95'	N44°35'21"E	187.40'		
C11	133.00'	016°39'03"	38.65'	S81°03'19"W	38.52'		
C12	133.00'	036°27'58"	84.65'	S54°29'49"W	83.23'		
C13	133.00'	036°27'58"	84.65'	S18°01'50"W	83.23'		
C14	67.00'	089°34'59"	104.76'	N44°35'21"E	94.41'		
C15	67.00'	046°28'46"	54.35'	S22°37'13"W	52.87'		S45°51'36"W
C16	333.00'	012°52'22"	74.82'	S39°25'25"W	74.66'		S45°51'36"W
C17	60.00'	180°00'00"	188.50'	S29°28'02"W	120.00'		
C18	60.00'	038°15'15"	40.06'	N79°39'36"W	39.32'		
C19	60.00'	052°46'32"	55.27'	S54°49'31"W	53.33'		
C20	60.00'	052°46'32"	55.27'	S02°02'58"W	53.33'		
C21	60.00'	036°11'40"	37.90'	S42°26'08"E	37.28'		
C22	67.00'	060°19'49"	70.55'	S59°37'57"W	67.33'		
C23	540.00'	010°04'18"	95' ±	S05°33'20"E	95' ±		S10°35'29"E
C24	540.00'	006°18'00"	59.38'	S03°40'11"E	59.35'		
C25	540.00'	003°46'18"	36' ±	S08°42'20"E	36' ±		
C26	133.00'	046°28'46"	107.89'	S22°37'13"W	104.96'		S45°51'36"W
C27	133.00'	013°24'01"	31.11'	N06°04'51"E	31.04'		
C28	133.00'	033°04'45"	76.79'	N29°19'14"E	75.72'		
C29	267.00'	016°23'34"	76.39'	N37°39'49"E	76.13'		S45°51'36"W
C30	133.00'	060°19'49"	140.04'	S59°37'57"W	133.66'		
C31	133.00'	024°05'14"	55.91'	N41°30'39"E	55.50'		
C32	133.00'	030°13'39"	70.17'	N68°40'05"E	69.36'		
C33	133.00'	006°00'56"	13.96'	N86°47'23"E	13.96'		

NOTES:
 ANY LAND BELOW THE ORDINARY HIGH WATER MARK OF A LAKE OR A NAVIGABLE STREAM IS SUBJECT TO THE PUBLIC TRUST IN NAVIGABLE WATERS THAT IS ESTABLISHED UNDER ARTICLE IX, SECTION 1, OF THE STATE CONSTITUTION.
 OUTLOTS 1 AND 2 ARE TO BE OWNED AND MAINTAINED BY THE TOWN OF CLAYTON.
 ACCESS RESTRICTION TO LAWRENCE LANE FOR LOTS 22 & 46 AND TO MARLO AVENUE FOR LOT 37 SHALL BE REMOVED WHEN FUTURE DEVELOPMENT IS DONE EXTENDING THOSE ROADS.



There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.
 Certified _____, 20____
 Department of Administration



- LEGEND**
- ⊗ - 1 1/4" x 18" ROUND STEEL REBAR WEIGHING 4.30 lbs./lineal ft. SET
 - ⊕ - 3/4" IRON REBAR FOUND
 - ⊙ - CERTIFIED LAND CORNER WINNEBAGO COUNTY
 - S.F. - SQUARE FEET
 - - BUILDING SETBACK LINE AS NOTED
 - - - - 15' UTILITY EASEMENT
 - ||||| - ACCESS RESTRICTED
 - ▨ - WETLANDS AS DELINEATED BY DAVEL ENGINEERING & ENVIRONMENTAL, INC. TRAVIS STUCK DATED OCT. 25, 2022

OWNER/SUBDIVIDER
 CLAYTON DEVELOPMENT GROUP, LLC
 ATTN: DEREK LIEBHAUSER
 2065 AMERICAN DRIVE, SUITE A
 NEENAH, WI 54956
 (920) 428-9451

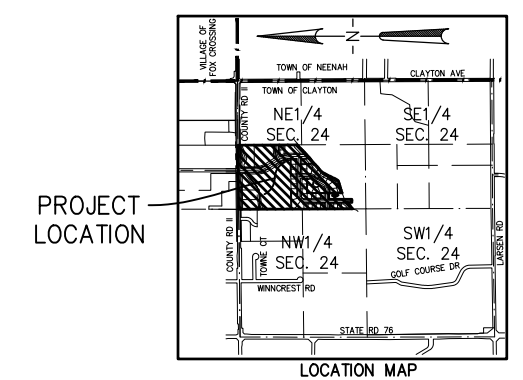
SURVEYOR
 DOUGLAS E. WOELZ
 1445 MCMAHON DRIVE
 NEENAH, WI 54956
 (920) 751-4200

OBJECTING AUTHORITIES:
 - DEPARTMENT OF ADMINISTRATION
 - VILLAGE OF FOX CROSSING

APPROVING AUTHORITIES:
 - TOWN OF CLAYTON
 - WINNEBAGO COUNTY PLANNING & ZONING

BEARINGS ARE REFERENCED TO THE NORTH LINE OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 20 NORTH, RANGE 16 EAST, WHICH BEARS N89°22'50"E PER THE WISCONSIN COUNTY COORDINATE SYSTEM AS PUBLISHED FOR WINNEBAGO COUNTY

120 60 0 120
 SCALE - FEET



WISCONSIN
 DOUGLAS E. WOELZ
 S-2327
 KAUKAUNA, WI
 LAND SURVEYOR
 6-5-2023
 Revised this 7th day of July, 2023

SHEET 1 OF 2 SHEETS
McMAHON
 1445 MCMAHON DRIVE, NEENAH, WI 54956
 Mailing: P.O. BOX 1025, NEENAH, WI 54957-1025
 Tel: (920) 751-4200 Fax: (920) 751-4284
 www.mcmgr.com

SCHOLAR RIDGE ESTATES

PART OF THE NORTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 20 NORTH, RANGE 16 EAST, TOWN OF CLAYTON, WINNEBAGO COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE

I, Douglas E. Woelz, Wisconsin Professional Land Surveyor S-2327, certify that I have surveyed, divided and mapped part of the Northwest 1/4 and the Southwest 1/4 of the Northeast 1/4 of Section 24, Township 20 North, Range 16 East, Town of Clayton, Winnebago County, Wisconsin containing 2,451,366 square feet (56.3 acres) of land more or less and described as follows:

Beginning at the North 1/4 corner of said Section 24; Thence N89°22'50"E, 1336.79 feet along the North line of the Northeast 1/4 of said Section 24 to the East line of the West 1/2 of said Northeast 1/4; Thence S00°15'17"E, 1192.34 feet to the starting point of a Meander line to a intermittent stream, said point bears N00°15'17"W, 45 feet more or less from the centerline of said stream; Thence S46°44'04"W, 380.73 feet along said meander line; Thence S48°46'51"W, 427.28 feet along said meander line; Thence S26°33'49"W, 313.83 feet along said meander line; Thence S61°08'12"W, 175.39 feet along said meander line; Thence S70°08'05"W, 116.02 feet along said meander line to its termination point which bears N00°12'09"W, 29 feet more or less from said centerline; Thence N00°12'09"W, 249.48 feet; Thence S89°47'51"W, 131.80 feet; Thence S00°12'09"E, 480.66 feet; Thence S89°47'51"W, 66.00 feet; Thence N00°12'09"W, 134.25 feet to the starting point of a Meander line to a intermittent stream, said Point bears N00°12'09"W, 34 feet more or less from the centerline of said stream; Thence S48°04'01"W, 181.15 feet along said Meander line to the West line of said Northeast 1/4 and the termination point of said meander line, said point bears N00°11'52"W, 32 feet more or less from the centerline of said stream; Thence N00°11'52"W, 2343.86 feet along the West line of said Northeast 1/4 to the Point of Beginning. Including all those lands lying between the above described meander line and the centerline of a intermittent stream and the respective lot lines extended to said centerline.

That I have made such survey, land division, and plat under the directions of the Owners of said land. That such plat is a correct representation of all exterior boundaries of the land surveyed and the subdivision thereof made. That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the Town of Clayton in surveying, dividing and mapping the same.

Dated this 5th day of June, 2023

Douglas E. Woelz

Douglas E. Woelz, PLS-2327
Wisconsin Professional Land Surveyor

Revised this 7th day of July, 2023



OWNER'S CERTIFICATE

Clayton Development Group, LLC, as Owners, We hereby certify that we caused the land described on this Plat to be surveyed, divided, mapped and dedicated as represented on the Plat. We also certify that this plat is required by s. 236.10 or s. 236.12 to be submitted to the following for approval or objection.

Department of Administration
Town of Clayton
Winnebago County Planning & Zoning

WITNESS the hand and seal of said owners this ____ day of _____, 20____. In the Presence of:

_____	_____	_____
Print Name and Title	Date	Authorized Signature
_____	_____	_____
Print Name and Title	Date	Authorized Signature
_____	_____	_____
Print Name and Title	Date	Authorized Signature

State of Wisconsin))ss
_____ County)

Personally came before me this ____ day of _____, 20____, the above named persons to me known to be the persons who executed the foregoing instrument and acknowledged the same.

Notary Public, _____ County, WI
My Commission Expires: _____

CERTIFICATE OF TOWN TREASURER

As duly elected Town Treasurer, I hereby certify that the records in our office show no unredeemed taxes and no unpaid or special assessments affecting any of the lands included in Scholar Ridge Estates as of the date listed below:

Town Treasurer Date
Jackie Zolp

CERTIFICATE OF COUNTY TREASURER

As duly elected Winnebago County Treasurer, I hereby certify that the records in our office show no unredeemed taxes and no unpaid or special assessments affecting any of the lands included in Scholar Ridge Estates as of the date listed below:

County Treasurer Date
Amber L Hoppa

CONSENT OF MORTGAGEE

Citizens State Bank, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedication of the land described on this plat, and does hereby consent to the certificate of Clayton Development Group, LLC, as Owner(s).

IN WITNESS WHEREOF, the said Citizens State Bank has caused these presents to be signed by an Authorized Officer, and countersigned by an Authorized Officer at Green Bay, Wisconsin, and its corporate seal to be hereinto affixed this ____ day of _____, 20____.

In the Presence of:

CITIZENS STATE BANK

Authorized Officer _____
Authorized Officer

Print Name Title _____
Print Name Title

(State of Wisconsin))ss
_____ County)

Personally came before me this ____ day of _____, 20____, the above named persons to me known to be the persons who executed the foregoing instrument and acknowledged the same.

Notary Public, _____ County, Wisconsin

My Commission Expires: _____

WINNEBAGO COUNTY PLANNING & ZONING COMMITTEE:

Approved by the Winnebago County Planning & Zoning Committee this ____ day of _____, 20____.

Zoning Administrator - Cary Rowe Date

TOWN OF CLAYTON APPROVAL:

We hereby certify that Scholar Ridge Estates in the Town of Clayton, Winnebago County was approved and accepted by the Town Board of the Town of Clayton on this ____ day of _____, 20____.

Town Chairperson - Russ Geise Date

STATE OF WISCONSIN)ss
COUNTY OF WINNEBAGO

I, Kelsey Faust-Kubale, being the duly elected, qualified and acting clerk of the Town of Clayton, Winnebago County do hereby certify that the Town Board of the Town of Clayton passed by voice vote on this ____ day of _____, 20____ authorizing me to issue a certificate of approval of Scholar Ridge Estates, Clayton Development Group, LLC as owners, upon satisfaction of certain conditions, and I do also hereby certify that all conditions were satisfied and the APPROVAL WAS GRANTED AND EFFECTIVE ON THE ____ day of _____, 20____.

Dated _____
Clerk - Kelsey Faust-Kubale

NOTES:

- Environmental Setback Corridor Protections.** The following uses, structures and activities are prohibited: filling, grading and excavating except in connection with public street and utility crossings and drainage improvements and facilities; construction of any building or structure including fences; the dumping of trash, garbage or compost; the storage of vehicles or equipment of any kind; the removal of native vegetation; and the mowing or cutting of vegetation lower than eight (8) inches. These restrictions shall run with the land and be binding upon the owner and his/her/its successors and assigns. These restrictions may be enforced by any lot owner, Homeowners' Association or the Town of Clayton by proceedings in law or equity against any person violating or attempting to violate these restrictions. These restrictions shall not be amended, waived or terminated without a recorded written instrument and the express written consent of the Town of Clayton.
- Drainage Easement Restrictions.** The following uses and structures are prohibited within all drainage easements: filling, grading and excavating except for construction of drainage ways and drainage facilities; the cultivation of crops, fruits or vegetables; the dumping or depositing of ashes, waste, compost or materials of any kind; the storage of vehicles, equipment, materials or personal property of any kind; and constructing, erecting or moving any building or structure, including fences, within the drainage easement.
- Maintenance of Drainage Improvements.** Maintenance of drainage ways and associated drainage improvements shall be the responsibility of the property owners. Winnebago County and the Town retain the right to perform maintenance or repairs. The cost of the maintenance and repairs shall be equally assessed among the property owners. The purchase of any lot constitutes a waiver of objection and agreement to pay any such assessment which shall be placed on the tax bill as a special assessment.
- Drainage Maintenance Easement.** Winnebago County and the Town shall have an unqualified right to enter upon any drainage easement or outlet for inspection and, if necessary, maintenance and repair of the drainage ways and associated drainage improvements.
- Any agricultural drain tile which is disturbed, cut or broken as part of the development of the plat or excavation for home construction must be repaired and/or relocated to allow for the drain tile to continue draining as originally designed. The cost of the repair or relocation must be borne by the party or his agent damaging the drain.
- All grading and final grades for the construction of any public or private improvement shall conform to the drainage plan as approved by Winnebago County and the Town of Clayton.
- The lot(s) created in this subdivision plat are adjacent to property that, as of the date of this document, are being used for agricultural purposes. Some individuals believe that the activities associated with the agricultural use constitute a nuisance or conflict with their quiet enjoyment of their property. This statement is intended to provide third parties with notice that agricultural activities may exist on the adjacent property.

UTILITY EASEMENT PROVISIONS

An easement for electric, natural gas, and communications service is hereby granted by Clayton Development Group, LLC as Grantors, to

WISCONSIN PUBLIC SERVICE CORPORATION, a Wisconsin corporation, Grantee,

WISCONSIN ELECTRIC POWER COMPANY, a Wisconsin corporation doing business as We Energies, Grantee,

Spectrum Mid-America, LLC, Grantee,

TDS Metrocom, LLC, Grantee,

WISCONSIN BELL, INC. doing business as AT&T Wisconsin, a Wisconsin corporation Grantee, and

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as 'Utility Easement' and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across, within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incidental to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked 'Utility Easement' without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than six inches without written consent of grantees. This Utility Easement Provision does not prevent or prohibit others from utilizing or crossing the Utility Easement as the Utility easement(s) are non-exclusive.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

NO UTILITY TRANSFORMERS OR PEDESTALS ARE TO BE SET WITHIN 2 FEET OF A LOT CORNER MONUMENT.

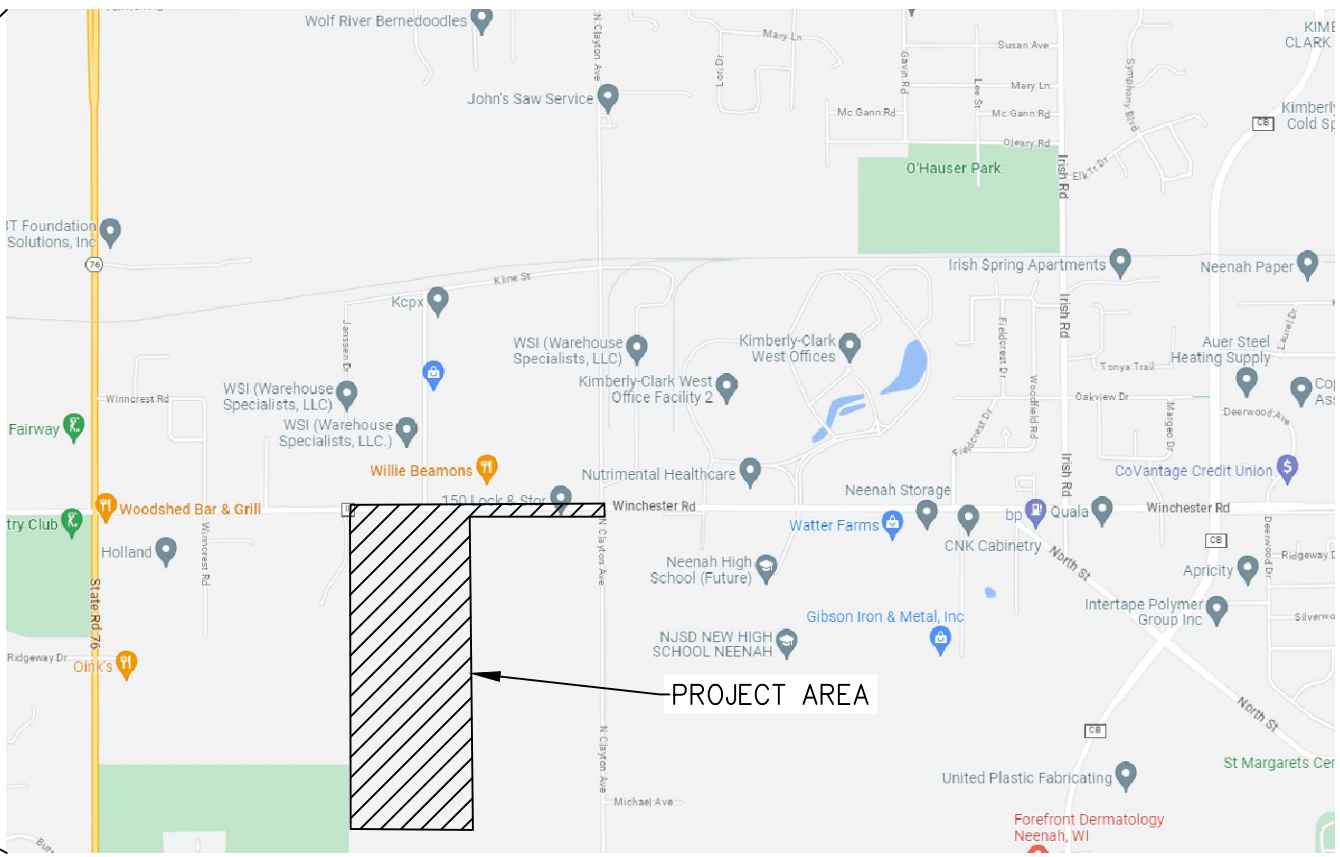
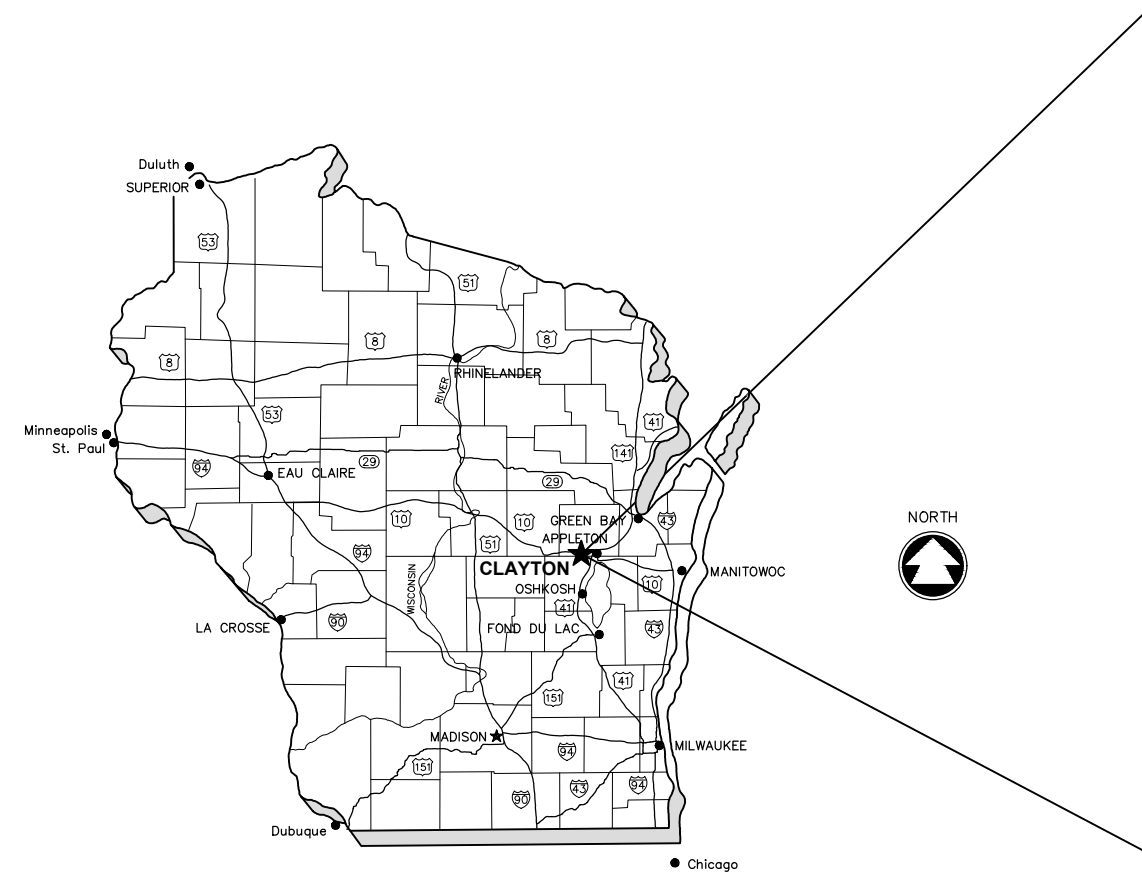
NO CONDUCTORS ARE TO BE BURIED WITHIN 1 FOOT OF A LOT CORNER MONUMENT.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.
Certified _____, 20____
Department of Administration



SCHOLAR RIDGE ESTATES - PHASE 1 UTILITY & ROAD CONSTRUCTION TOWN OF CLAYTON

WINNEBAGO COUNTY, WISCONSIN
MCM # C1069-09-23-00271



DESIGN CONTACT
McMAHON ASSOCIATES, INC.
ZACH LAABS
1445 McMAHON DRIVE
NEENAH, WI 54956
(920) 751-4200
zlaabs@mcmgrp.com



SHEET INDEX

1 ABBREVIATIONS, SYMBOLS & NOTES	26-27 POND PLANS
2 SURVEY CONTROL	28-30 POND DETAILS
3 EXISTING CONDITIONS & DEMOLITION PLAN	31-34 MISCELLANEOUS DETAILS
4 OVERALL SUBDIVISION SITE PLAN	XS1-XS10 CROSS SECTIONS - MARLO AVE.
5-6 OVERALL DRAINAGE PLAN	XS14-XS21 CROSS SECTIONS - ST. THOMAS LANE
7 EROSION CONTROL PLAN	XS22-XS27 CROSS SECTIONS - PRINCETON DRIVE
8-13 COUNTY ROAD II	XS28-XS29 CROSS SECTIONS - LAWRENCE LANE
14-16 MARLO AVENUE	
17 ST. THOMAS LANE	
18-19 PRINCETON DRIVE	
20-22 ST. NORBERT DRIVE	
23-25 LAWRENCE LANE	

DIGGERS HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

McMAHON
ENGINEERS ARCHITECTS
McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025
PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

zlaabs - WI PROJECTS \C1069-09-23-00271\CADD\Civil\3D\Plan_Sheets\Cover-Notes-Details.dwg, 2/2/2023 7:44 AM, xref:none

STANDARD ABBREVIATIONS

AC	AGG	AH	ASPH	AVG	B-B	BEG	BIT	BK	B/L	BLDG	BM	BOC	BRG	C-C	CY	C&G	CB	CE	CHD	C/L	CL	CMO	CO	CONC	CORR	CP	CR	CS	CSW	CTH	CULV	D	DI	DIA	DIS	EA	EB	EBS	EG	ELEV	ELEC	EMB	EMAT	ENT	EOR	EP	EXC	EX	EW	F-F	FDN	FE	FERT	FG	F/L	FT	FTG	GRAV	GN	GV	HDPE	HE	HMA	HP	HT	HYD	ID	IN	INL	INV	IP	JCT	LB	LF	LP	LT	LVC	MAINT	MAT'L	MAX	MIN	MH	MP	NB	NOR	NO	NOR	OD	OBLIT	PAVT	PC	PCC	PE	PED	PGL	PI	P/L	PLE	PP	PRC	PROP	PSD	PSI	PT	PVC	PVI	PVT	R	RCP	RD	REBAR	REM	RECON	REQ'D	R/L	RP	RR	RT	R/W	SY	SALV	SAN	SEC	SHLDR	S/L	SQ	STA	STD	STO	SW	TC	TEL	TEMP	TLE	TV	TYP	UG	USH	VAR	VC	VERT	WB	WM	WV	LEFT	LENGTH OF VERTICAL CURVE	MAINTENANCE	MATERIAL	MAXIMUM	MINIMUM	MANHOLE	MILE POST	NORTHBOUND	NUMBER	NORMAL	OUTSIDE DIAMETER	OBLITERATE	PAVEMENT	POINT OF CURVATURE	PORTLAND CEMENT CONCRETE OR POINT OF COMPOUND CURVATURE	PRIVATE ENTRANCE	PEDESTAL	PROFILE GRADE LINE	POINT OF INTERSECTION	PROPERTY LINE	PERMANENT LIMITED EASEMENT	POWER POLE	POINT OF REVERSE CURVATURE	PROPOSED	PASSING SIGHT DISTANCE	POUNDS PER SQUARE INCH	POINT OF TANGENCY	POLYVINYL CHLORIDE OR POINT OF VERTICAL CURVATURE	POINT OF VERTICAL INTERSECTION	POINT OF VERTICAL TANGENCY	RADIUS	REINFORCED CONCRETE PIPE	ROAD	REINFORCEMENT ROD	REMOVE	RECONSTRUCT	REQUIRED	REFERENCE LINE	RADIUS POINT	RAILROAD	RIGHT	RIGHT-OF-WAY	SOUTHBOUND	SUPERELEVATION	SQUARE FEET	SLOPE INTERCEPT	STATE TRUNK HIGHWAY	SQUARE YARD	SALVAGED	SANITARY SECTION	SHOULDER	SURVEY LINE	SQUARE	STATION	STANDARD	STORM	SIDEWALK	TOP OF CURB	TELEPHONE	TEMPORARY	TEMPORARY LIMITED EASEMENT	TELEVISION	TYPICAL	UNDERGROUND	U.S. HIGHWAY	VARIES	VERTICAL CURVE	VERTICAL	WESTBOUND	WATER MAIN	WATER VALVE
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GENERAL NOTES

1. THE UTILITIES SHOWN IN PLAN AND PROFILE ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING ANY PRIVATE UTILITIES, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITIES SHALL BE NOTIFIED 72 HRS. PRIOR TO EXCAVATION.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADES BY FIELD CHECKING TWO (2) BENCHMARKS AND A MINIMUM OF ONE (1) SITE FEATURE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY MCMAHON OF ANY VERTICAL DISCREPANCY.
3. THE PROPERTY LINES, RIGHT-OF-WAY LINES AND OTHER PROPERTY INFORMATION ON THIS DRAWING WERE DEVELOPED OR OBTAINED AS PART OF THE COUNTY GEOGRAPHIC INFORMATION SYSTEM OR THROUGH THE COUNTY PROPERTY TAX MAPPING FUNCTION. MCMAHON DOES NOT GUARANTEE THIS INFORMATION TO BE CORRECT, CURRENT OR COMPLETE. THE PROPERTY AND RIGHT-OF-WAY INFORMATION ARE INTENDED FOR USE AS A GENERAL REFERENCE AND ARE NOT INTENDED OR SUITABLE FOR SITE-SPECIFIC USES. ANY USE TO THE CONTRARY OF THE ABOVE STATED USES IS THE RESPONSIBILITY OF THE USER AND SUCH USE IS AT THE USER'S OWN RISK.
4. NO TREES OR SHRUBS ARE TO BE REMOVED WITHOUT PRIOR APPROVAL FROM THE OWNER.
5. A SAWED JOINT IS REQUIRED WHERE NEW HMA PAVEMENT MATCHES EXISTING ASPHALTIC CONCRETE SURFACE.
6. ALL CURB RADII SHOWN ON THE PLAN SHEETS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
7. DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
8. FINISHED ROAD ELEVATIONS ARE TO TOP OF ASPHALT.

STANDARD SYMBOLS (PLAN VIEW ONLY)

	2" IRON PIPE FOUND		TELEPHONE CABLE - BURIED
	1 1/4" REBAR FOUND		ELECTRIC CABLE - BURIED
	1 1/4" x 30" IRON REBAR WEIGHING 4.30 LB/LF SET		UTILITIES - OVERHEAD
	1" (1.315 OD) IRON PIPE FOUND		FIBER OPTIC CABLE - BURIED
	1" IRON PIPE SET		GAS MAIN
	3/4" IRON REBAR FOUND		CABLE TELEVISION - BURIED
	3/4" IRON PIPE FOUND		DITCH LINE
	3/4" x 24" IRON REBAR WEIGHING 1.5 LB/LF SET		STREET C/L OR R/L
	MAG NAIL FOUND		PROPERTY LINE
	MAG NAIL SET		RIGHT-OF-WAY LINE
	MAG SPIKE FOUND		SECTION LINE
	MAG SPIKE SET		EXISTING CONTOURS
	CHISEL CROSS FOUND		PROPOSED CONTOURS
	CHISEL CROSS SET		EXISTING FORCEMAIN SEWER
	COUNTY MONUMENT		EXISTING SANITARY SEWER
	CONCRETE MONUMENT FOUND		PROPOSED SANITARY SEWER
	CONTROL POINT HORIZONTAL		EXISTING WATER MAIN
	VERTICAL BENCHMARK		PROPOSED WATER MAIN
	SOIL BORING OR MONITORING WELL		EXISTING STORM SEWER
	POWER POLE		PROPOSED STORM SEWER
	POWER POLE W/GUY WIRE		EXISTING CURB & GUTTER
	MAILBOX		PROPOSED CURB & GUTTER
	SIGN		PROPOSED REJECT CURB & GUTTER
	RAILROAD CROSS BUCK		EXISTING CULVERT WITH END SECTIONS
	RAILROAD GATE ARM		PROPOSED CULVERT WITH END SECTIONS
	RAILROAD TRACKS		BUILDING OUTLINE
	LIGHT POLE		FENCE LINE
	WOOD POLE		SAW CUT REQ'D
	TRAFFIC SIGNAL		SILT FENCE
	TRAFFIC SIGNAL MAST ARM		GUARD RAIL
	CONIFEROUS TREE		DITCH CHECK
	DECIDUOUS TREE		INLET PROTECTION
	TREE OR BRUSH LINE		TRACKING PAD
	BED ROCK (IN PROFILE VIEW)		TURBIDITY BARRIER OR SHEET PILING
	HANDICAPPED PARKING STALL		SANDBAG COFFERDAM
	EXISTING SPOT ELEVATION		SLOPE INTERCEPT
	PROPOSED SPOT ELEVATION		LIMITS OF DISTURBANCE
	DRAINAGE HIGH POINT		ASPHALT PAVEMENT
	DRAINAGE DIRECTION		CONCRETE SIDEWALK/DRIVEWAY
	EXISTING MANHOLE		GRAVEL
	PROPOSED MANHOLE		RIP-RAP (SIZE AS SPECIFIED)
	EXISTING INLET		BRICK/PAVERS
	PROPOSED INLET		PROPOSED EROSION MAT
	EXISTING YARD DRAIN		PROPOSED TURF REINFORCEMENT MAT (TRM)
	PROPOSED YARD DRAIN		EXISTING DELINEATED WETLANDS
	EXISTING CLEAN OUT		PROPOSED ASPHALTIC DRIVEWAY
	PROPOSED CLEAN OUT		
	EXISTING DOWNSPOUT		
	PROPOSED DOWNSPOUT		
	EXISTING WATER VALVE		
	PROPOSED WATER VALVE		
	EXISTING CURB STOP		
	PROPOSED CURB STOP		
	EXISTING FIRE HYDRANT		
	PROPOSED FIRE HYDRANT		
	PROPOSED WATER FITTING		
	PROPOSED WATER REDUCER		
	PROPOSED ENDCAP		
	GAS VALVE		

EROSION & SEDIMENT CONTROL PLAN

BEST MANAGEMENT PRACTICES:

THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING, INSTALLING, MAINTAINING AND REMOVING BEST MANAGEMENT PRACTICES IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS. THESE STANDARDS MAY BE FOUND ON THE DNR WEBSITE AT <http://www.dnr.wi.gov/dnoff/stormwater/techstds.htm>. RIP-RAP SHALL BE IN ACCORDANCE WITH SECTION 606, WS-DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, UNTIL TECHNICAL STANDARD 1065 IS COMPLETED BY THE DNR. THE MINIMUM BEST MANAGEMENT PRACTICES SPECIFIED FOR THIS PROJECT ARE AS FOLLOWS:

- | | |
|---|---|
| <input type="checkbox"/> LAND APPLICATION OF POLYACRYLAMIDE (1050) | <input type="checkbox"/> DE-WATERING (1061) |
| <input type="checkbox"/> WATER APPLICATION OF POLYMERS (1051) | <input checked="" type="checkbox"/> DITCH CHECK (1062) |
| <input checked="" type="checkbox"/> NON-CHANNEL EROSION MAT (1052) | <input type="checkbox"/> SEDIMENT TRAP (1063) |
| <input checked="" type="checkbox"/> CHANNEL EROSION MAT (1053) | <input type="checkbox"/> SEDIMENT BASIN (1064) |
| <input type="checkbox"/> VEGETATIVE BUFFER (1054) | <input checked="" type="checkbox"/> RIP-RAP (1065) |
| <input type="checkbox"/> SEDIMENT BALE BARRIER (1055) | <input type="checkbox"/> CONSTRUCTION DIVERSION (1066) |
| <input checked="" type="checkbox"/> SILT FENCE (1056) | <input checked="" type="checkbox"/> GRADING PRACTICES (1067) |
| <input checked="" type="checkbox"/> TRACKING PAD & TIRE WASHING (1057) | <input checked="" type="checkbox"/> DUST CONTROL (1068) |
| <input checked="" type="checkbox"/> MULCHING (1058) | <input type="checkbox"/> TURBIDITY BARRIER (1069) |
| <input checked="" type="checkbox"/> SEEDING (1059) | <input type="checkbox"/> SILT CURTAIN (1070) |
| <input checked="" type="checkbox"/> STORM DRAIN INLET PROTECTION (1060) | <input type="checkbox"/> MANUFACTURED PERIMETER PRODUCTS (1071) |

THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES AND IMPLEMENT BEST MANAGEMENT PRACTICES TO PREVENT OR REDUCE ALL OF THE FOLLOWING:

- DEPOSITION OR TRACKING OF SOIL ONTO STREETS BY VEHICLES.
- DISCHARGE OF SEDIMENT INTO STORM WATER INLETS.
- DISCHARGE OF SEDIMENT INTO ADJACENT STREAMS, RIVERS, LAKES AND WETLANDS.
- DISCHARGE OF SEDIMENT FROM DITCHES AND STORM SEWERS THAT FLOW OFFSITE.
- DISCHARGE OF SEDIMENT FROM DEWATERING ACTIVITIES.
- DISCHARGE OF SEDIMENT FROM SOIL STOCKPILES EXISTING FOR 7 DAYS OR MORE.
- DISCHARGE OF SEDIMENT FROM EROSION OUTLET FLOWS.
- TRANSPORT OF CHEMICALS, CEMENT AND BUILDING MATERIALS BY RUNOFF.
- TRANSPORT OF UNTREATED VEHICLE AND WHEEL WASH WATER BY RUNOFF.

THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING PREVENTATIVE MEASURES:

- PRESERVE EXISTING VEGETATION WHENEVER POSSIBLE.
- MINIMIZE SOIL COMPACTION AND PRESERVE TOPSOIL.
- MINIMIZE LAND DISTURBANCES ON SLOPES OF 20% OR MORE.
- MINIMIZE THE AMOUNT OF SOIL EXPOSED AT ANY ONE TIME.
- DIVERT CLEAR WATER AWAY FROM EXPOSED SOILS.
- TEMPORARILY STABILIZE EXPOSED SOILS THAT WILL NOT BE ACTIVE FOR 14 DAYS OR MORE. USE MULCHING, SEEDING, POLYACRYLAMIDE OR GRAVELING TO STABILIZE.
- PERMANENTLY STABILIZE EXPOSED SOILS AS SOON AS POSSIBLE.
- CONTRACTOR SHALL EDUCATE ITS EMPLOYEES AND SUBCONTRACTORS ABOUT PROPER SPILL PREVENTION AND RESPONSE PROCEDURES. IF A SPILL OCCURS, THE CONTRACTOR SHALL EVACUATE THE AREA AND IMMEDIATELY NOTIFY THE LOCAL MUNICIPALITY, FIRE DEPARTMENT OR 911 EMERGENCY SYSTEM. IF NO FIRE, EXPLOSION OR LIFE / HEALTH SAFETY HAZARD EXISTS, THE NEXT STEP IS TO CONTAIN THE SPILL AND PERFORM CLEANUP. USE DRY CLEANUP METHODS, NOT WET.

THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING BEST MANAGEMENT PRACTICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES BY THE END OF THE WORK DAY. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING BEST MANAGEMENT PRACTICES TEMPORARILY REMOVED FOR CONSTRUCTION ACTIVITY AS SOON AS THOSE ACTIVITIES ARE COMPLETED. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND DISPOSING OF TEMPORARY BEST MANAGEMENT PRACTICES AFTER CONSTRUCTION IS COMPLETE AND PERMANENT VEGETATION IS ESTABLISHED.

INSPECTION & MAINTENANCE:

THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING BEST MANAGEMENT PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. WRITTEN DOCUMENTATION OF EACH INSPECTION SHALL BE KEPT AT THE CONSTRUCTION SITE AND SHALL INCLUDE THE FOLLOWING INFORMATION: DATE, TIME, AND LOCATION OF INSPECTION; NAME OF INDIVIDUAL WHO PERFORMED THE INSPECTION; AN ASSESSMENT OF THE CONDITION OF BEST MANAGEMENT PRACTICES; A DESCRIPTION OF ANY BEST MANAGEMENT PRACTICE IMPLEMENTATION AND MAINTENANCE PERFORMED; AND A DESCRIPTION OF THE PRESENT PHASE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, REPAIRING, OR REPLACING BEST MANAGEMENT PRACTICES AS NECESSARY WITHIN 24 HOURS OF AN INSPECTION OR NOTIFICATION. THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING, MAINTAINING, REPAIRING, OR REPLACING BEST MANAGEMENT PRACTICES UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY IS COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER IS ESTABLISHED WITH A DENSITY OF AT LEAST 70%.

THE CONTRACTOR IS RESPONSIBLE FOR POSTING THE PERMIT IN A CONSPICUOUS LOCATION ON THE CONSTRUCTION SITE. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING A COPY OF THE APPROVED REPORTS, PLANS, AMENDMENTS, INSPECTION REPORTS, AND PERMITS AT THE CONSTRUCTION SITE AT ALL TIMES UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY IS COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER IS ESTABLISHED WITH A DENSITY OF AT LEAST 70%. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE OWNER WHEN THE VEGETATIVE DENSITY REACHES AT LEAST 70%. THE OWNER IS RESPONSIBLE FOR TERMINATING DNR PERMIT COVERAGE.

AMENDMENTS:

THE CONTRACTOR IS RESPONSIBLE FOR AMENDING THE EROSION & SEDIMENT CONTROL PLAN IF: THERE IS A CHANGE IN CONSTRUCTION, OPERATION OR MAINTENANCE AT THE SITE WHICH HAS THE REASONABLE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS; THE ACTIONS REQUIRED BY THE PLAN FAIL TO REDUCE THE IMPACTS OF POLLUTANTS CARRIED BY CONSTRUCTION SITE RUNOFF; OR IF THE DNR NOTIFIES THE APPLICANT OF CHANGES NEEDED IN THE PLAN. THE DNR AND OWNER SHALL BE NOTIFIED 5 WORKING DAYS PRIOR TO MAKING CHANGES TO THE PLAN.

PROJECTS: C:\069\092300271\CADD\Civil3D\Plan_Sheets\Cover-Notes-Details.dwg, 1 22:34--notes_Plot_Date: 6/9/2023 7:44 AM, xref:stone

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DATE	
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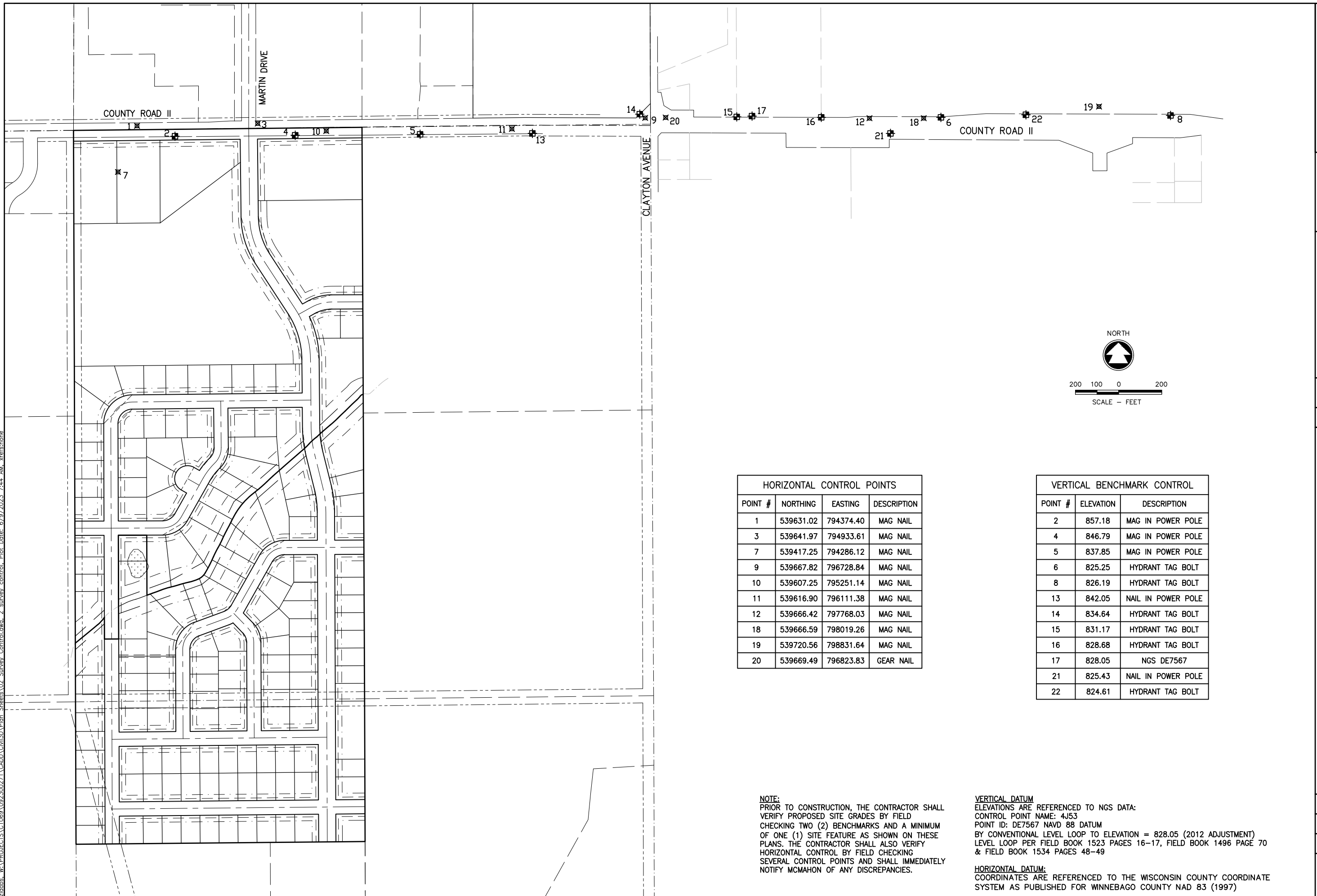
SCHOLAR RIDGE ESTATES - PHASE 1

TOWN OF CLAYTON

ABBREVIATIONS, SYMBOLS & NOTES

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PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO. 27	

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HORIZONTAL CONTROL POINTS			
POINT #	NORTHING	EASTING	DESCRIPTION
1	539631.02	794374.40	MAG NAIL
3	539641.97	794933.61	MAG NAIL
7	539417.25	794286.12	MAG NAIL
9	539667.82	796728.84	MAG NAIL
10	539607.25	795251.14	MAG NAIL
11	539616.90	796111.38	MAG NAIL
12	539666.42	797768.03	MAG NAIL
18	539666.59	798019.26	MAG NAIL
19	539720.56	798831.64	MAG NAIL
20	539669.49	796823.83	GEAR NAIL

VERTICAL BENCHMARK CONTROL		
POINT #	ELEVATION	DESCRIPTION
2	857.18	MAG IN POWER POLE
4	846.79	MAG IN POWER POLE
5	837.85	MAG IN POWER POLE
6	825.25	HYDRANT TAG BOLT
8	826.19	HYDRANT TAG BOLT
13	842.05	NAIL IN POWER POLE
14	834.64	HYDRANT TAG BOLT
15	831.17	HYDRANT TAG BOLT
16	828.68	HYDRANT TAG BOLT
17	828.05	NGS DE7567
21	825.43	NAIL IN POWER POLE
22	824.61	HYDRANT TAG BOLT

NOTE:
 PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADES BY FIELD CHECKING TWO (2) BENCHMARKS AND A MINIMUM OF ONE (1) SITE FEATURE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ALSO VERIFY HORIZONTAL CONTROL BY FIELD CHECKING SEVERAL CONTROL POINTS AND SHALL IMMEDIATELY NOTIFY MCMAHON OF ANY DISCREPANCIES.

VERTICAL DATUM:
 ELEVATIONS ARE REFERENCED TO NGS DATA:
 CONTROL POINT NAME: 4J53
 POINT ID: DE7567 NAVD 88 DATUM
 BY CONVENTIONAL LEVEL LOOP TO ELEVATION = 828.05 (2012 ADJUSTMENT)
 LEVEL LOOP PER FIELD BOOK 1523 PAGES 16-17, FIELD BOOK 1496 PAGE 70 & FIELD BOOK 1534 PAGES 48-49

HORIZONTAL DATUM:
 COORDINATES ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM AS PUBLISHED FOR WINNEBAGO COUNTY NAD 83 (1997)

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PROJECT NO.
C1069-09-23-00271

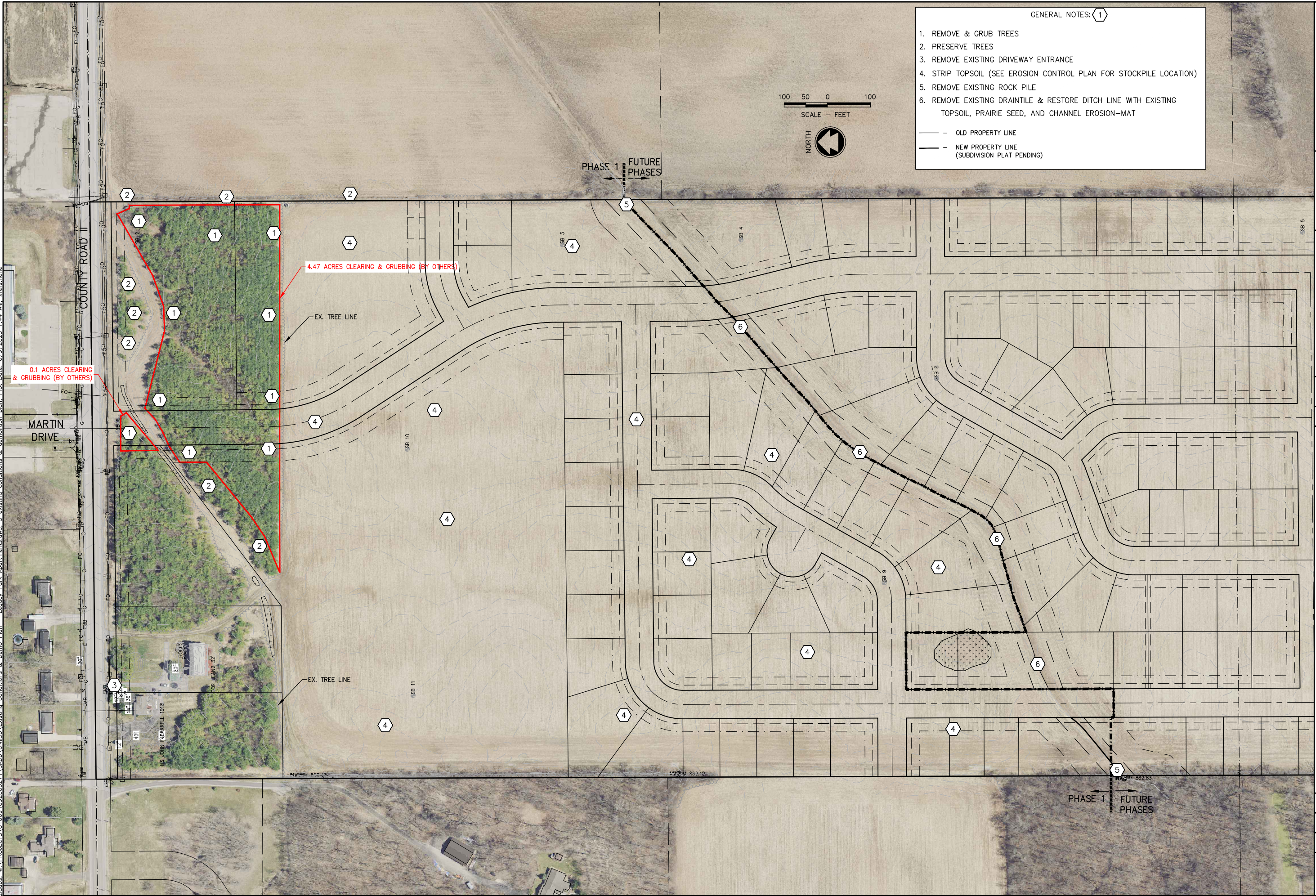
DATE
JUNE, 2023

SHEET NO.

28

SCHOLAR RIDGE ESTATES - PHASE 1
TOWN OF CLAYTON
SURVEY CONTROL

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- GENERAL NOTES: 1
1. REMOVE & GRUB TREES
 2. PRESERVE TREES
 3. REMOVE EXISTING DRIVEWAY ENTRANCE
 4. STRIP TOPSOIL (SEE EROSION CONTROL PLAN FOR STOCKPILE LOCATION)
 5. REMOVE EXISTING ROCK PILE
 6. REMOVE EXISTING DRAINTILE & RESTORE DITCH LINE WITH EXISTING TOPSOIL, PRAIRIE SEED, AND CHANNEL EROSION-MAT
- - OLD PROPERTY LINE
 - - NEW PROPERTY LINE (SUBDIVISION PLAT PENDING)



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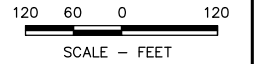
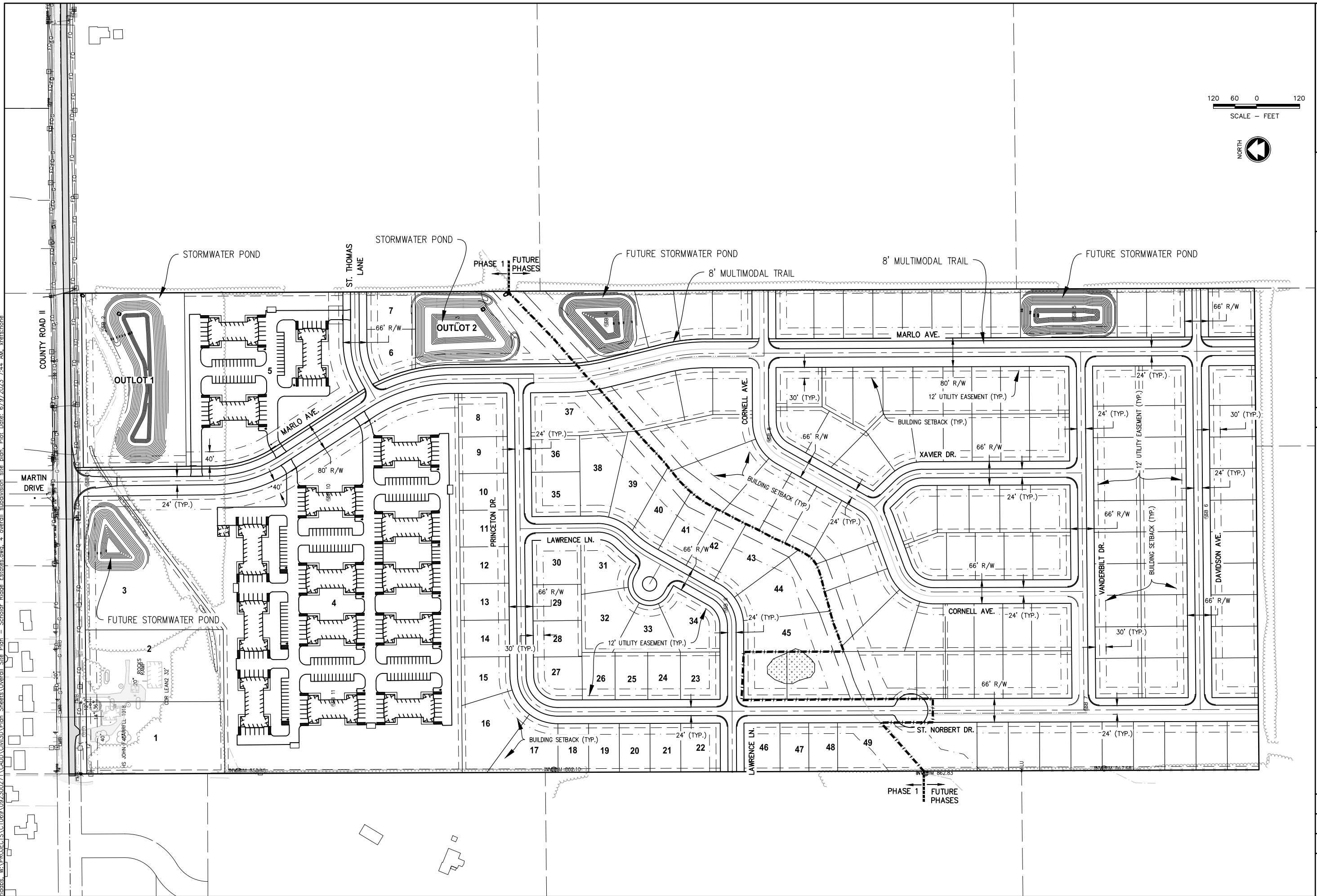
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**SCHOLAR RIDGE ESTATES - PHASE 1
TOWN OF CLAYTON
EXISTING CONDITIONS & DEMOLITION PLAN**

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO. 29	

\\plots_wa\projects\C1069\092300271\CADD\Civil\SDA\Plan_Sheets\Overall_Site_Plan - Scholar Ridge Estates.dwg, 4 - overall subdivision site plan, Plot Date: 6/2/2023 7:44 AM, xrefs:none



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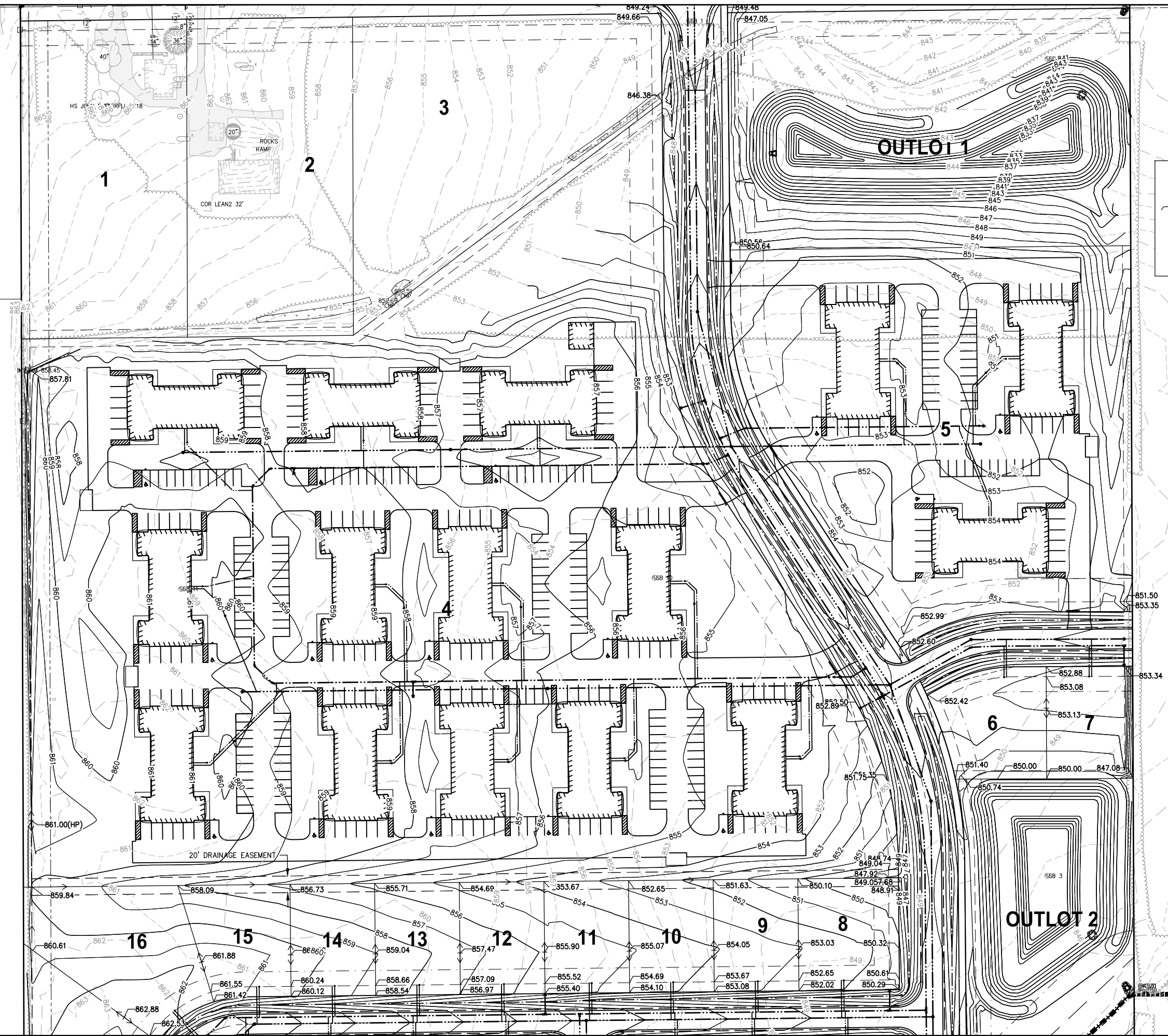
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TOWN OF CLAYTON
OVERALL SUBDIVISION SITE PLAN

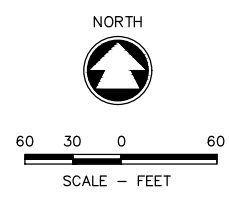
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ZRL	ZRL
PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO. 30	

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LEGEND

850.00 - PROPOSED SPOT ELEVATION
 ← - PROPOSED DRAINAGE DIRECTION
 ■ - PHASE LINE



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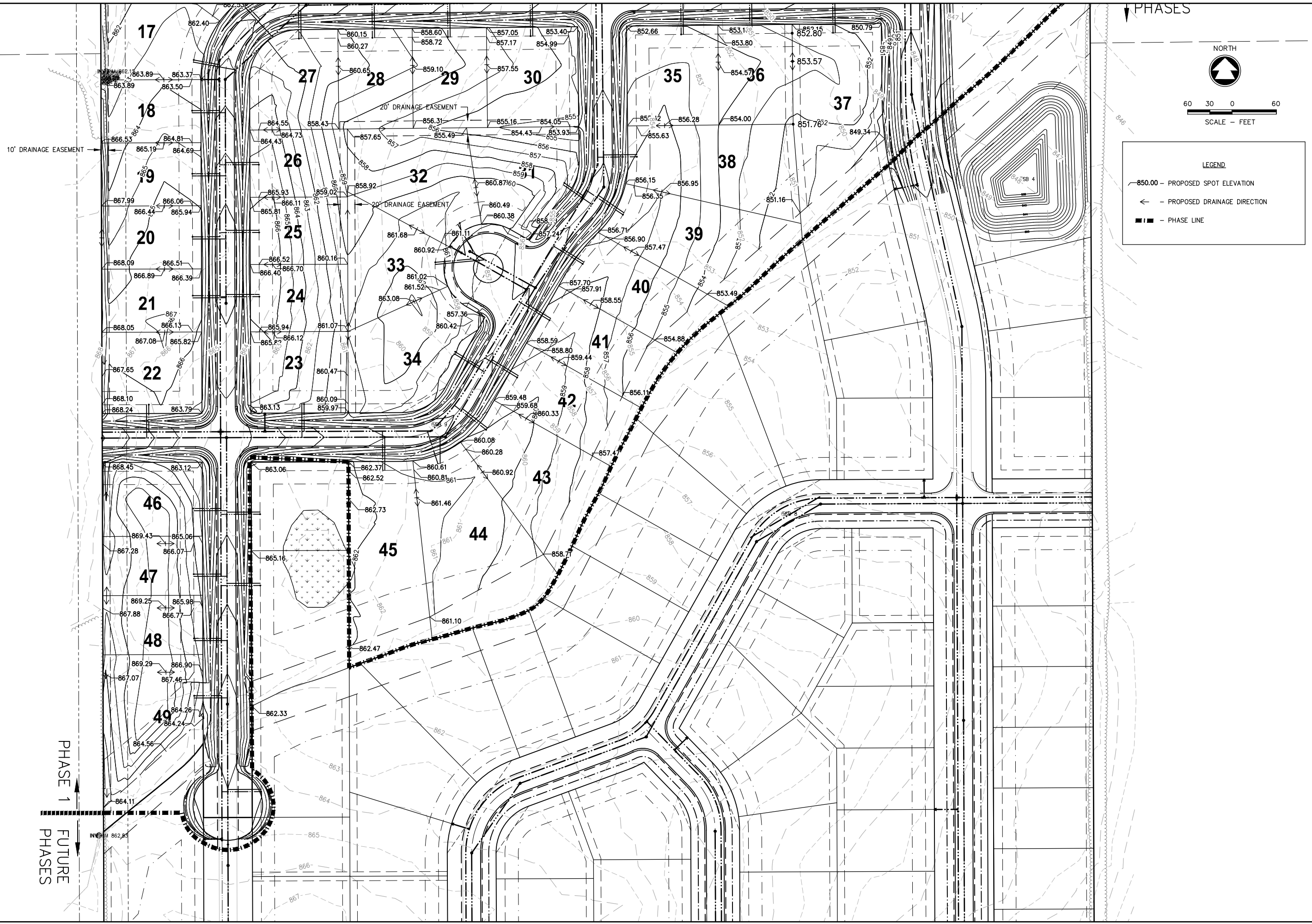
SCHOLAR RIDGE ESTATES - PHASE 1

TOWN OF CLAYTON

OVERALL DRAINAGE PLAN - NORTH

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO. 31	

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PHASES

NORTH

60 30 0 60

SCALE - FEET

LEGEND

- 850.00 - PROPOSED SPOT ELEVATION
- - - PROPOSED DRAINAGE DIRECTION
- - PHASE LINE

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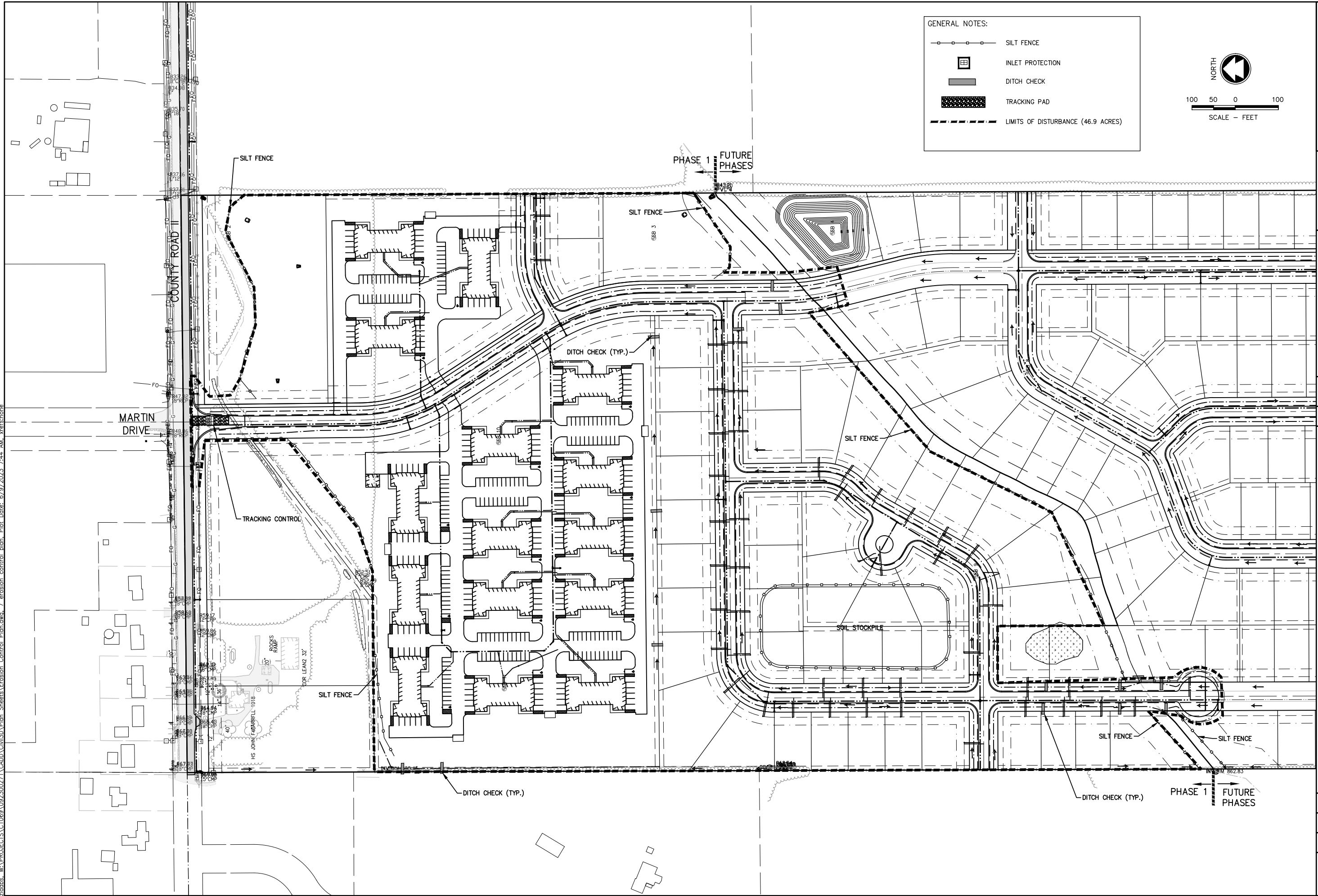
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TOWN OF CLAYTON
OVERALL DRAINAGE PLAN - SOUTH

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DATE	
JUNE, 2023	
SHEET NO.	
32	

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GENERAL NOTES:

- SILT FENCE
- INLET PROTECTION
- DITCH CHECK
- TRACKING PAD
- LIMITS OF DISTURBANCE (46.9 ACRES)

NORTH

100 50 0 100
SCALE - FEET

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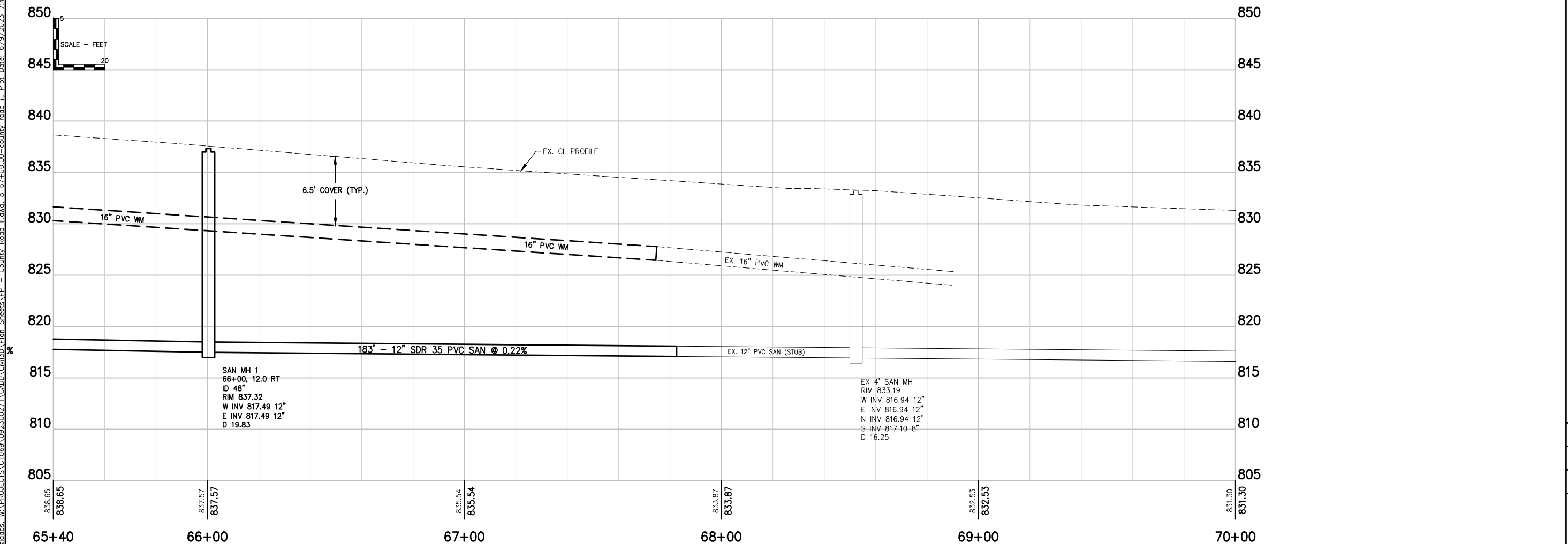
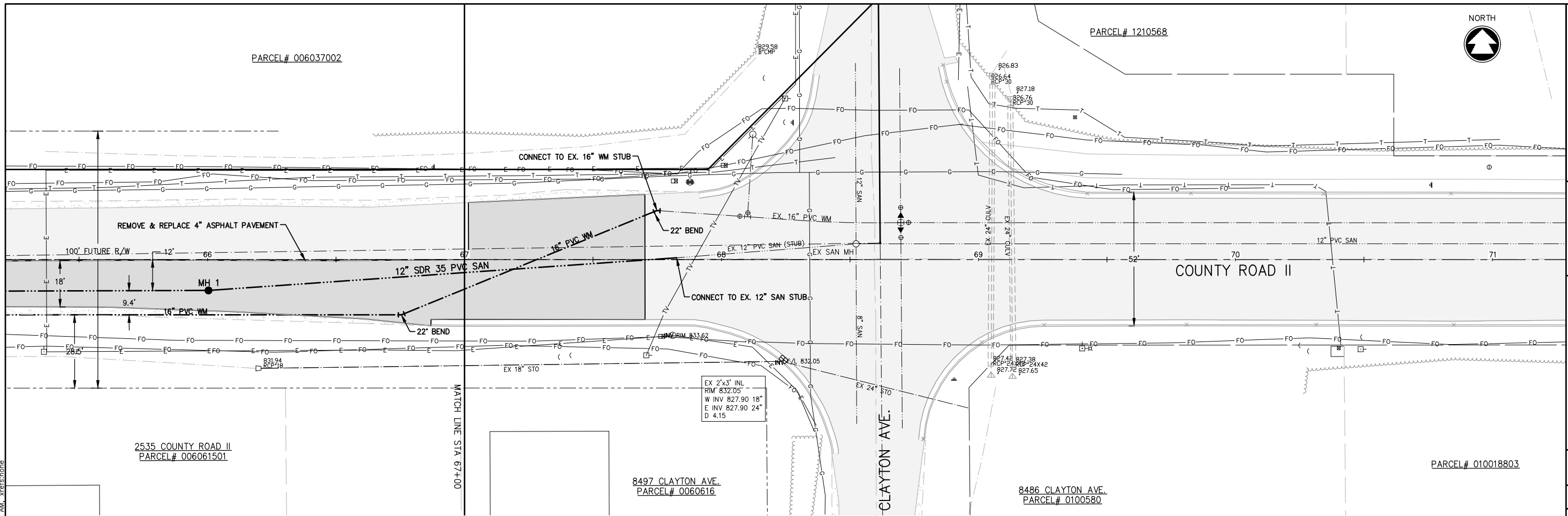
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TOWN OF CLAYTON
EROSION CONTROL PLAN

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DATE JUNE, 2023	
SHEET NO. 33	

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SCHOLAR RIDGE ESTATES - PHASE 1
TOWN OF CLAYTON
COUNTY ROAD II

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DATE JUNE, 2023	
SHEET NO. 34	

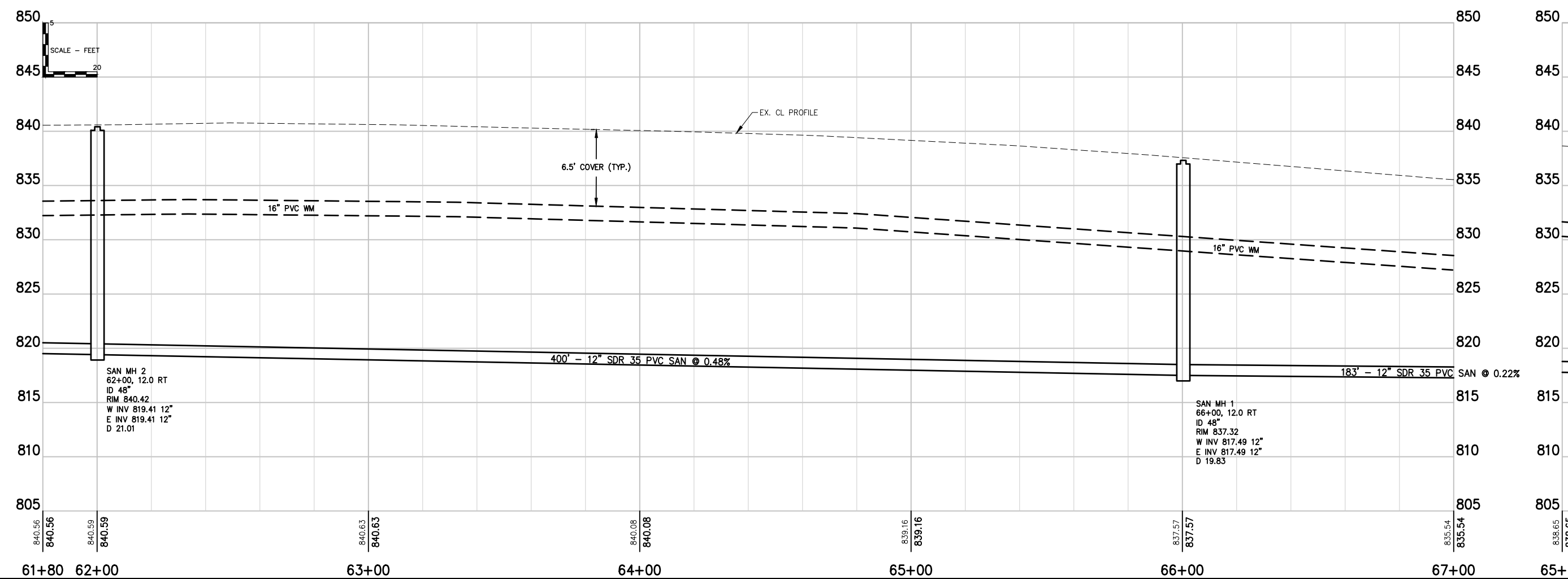
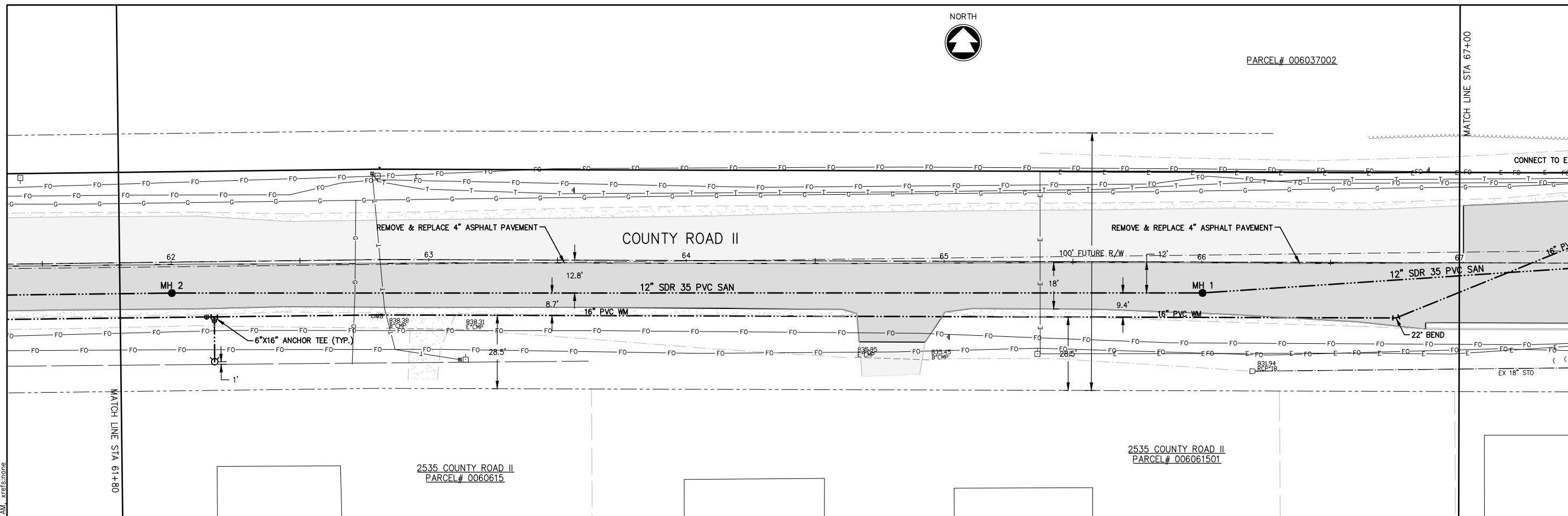
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PARCEL # 006037002

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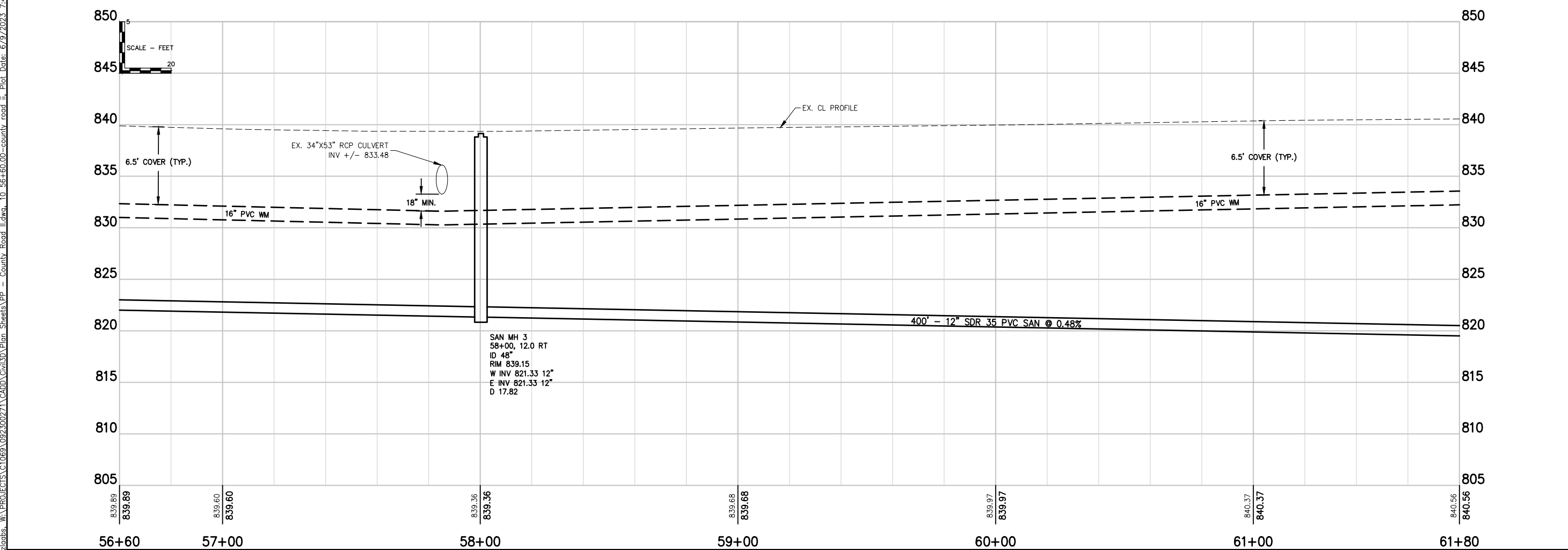
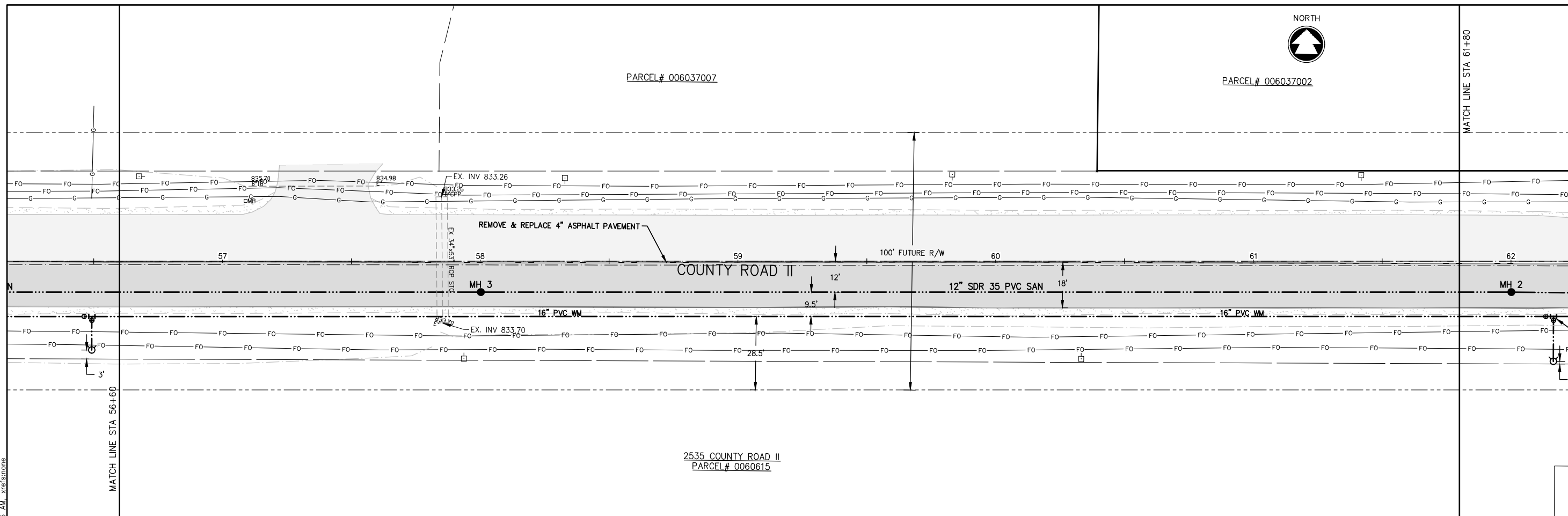


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SCHOLAR RIDGE ESTATES - PHASE 1
TOWN OF CLAYTON
COUNTY ROAD II

DESIGNED	DRAWN
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PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO. 35	

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SAN MH 3
 58+00, 12.0 RT
 ID 48"
 RIM 839.15
 W INV 821.33 12"
 E INV 821.33 12"
 D 17.82



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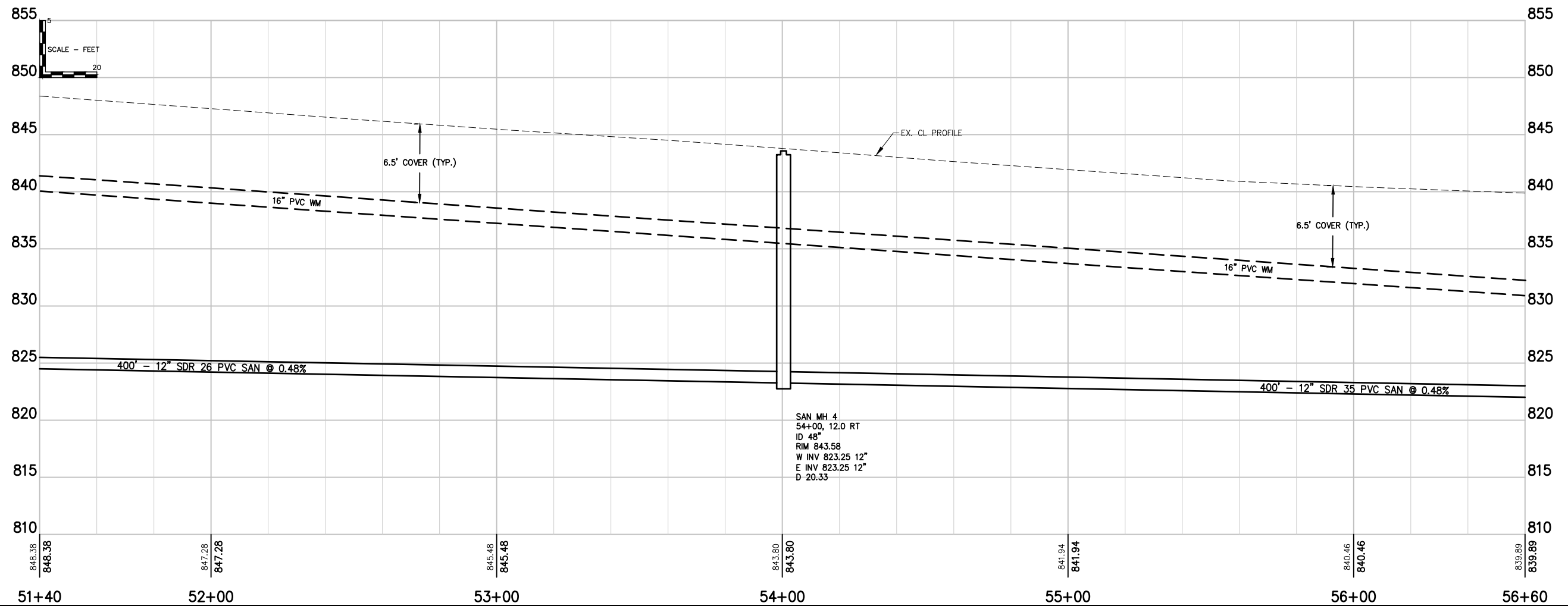
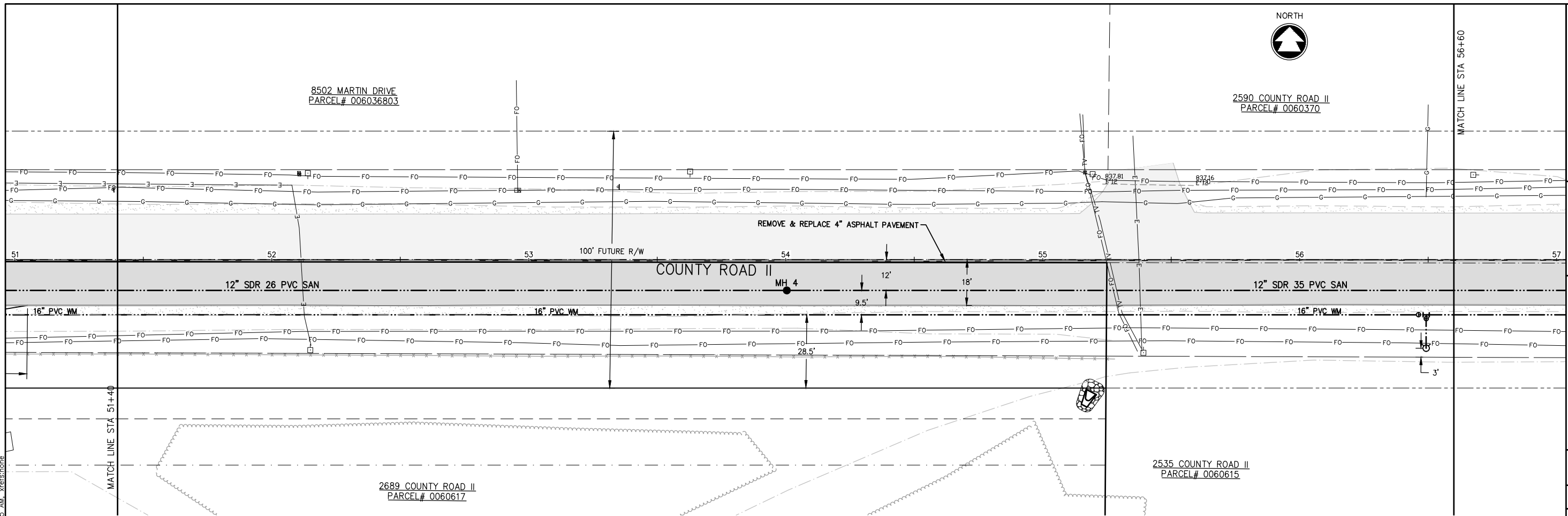
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TOWN OF CLAYTON
COUNTY ROAD II

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PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO. 1 / 36	

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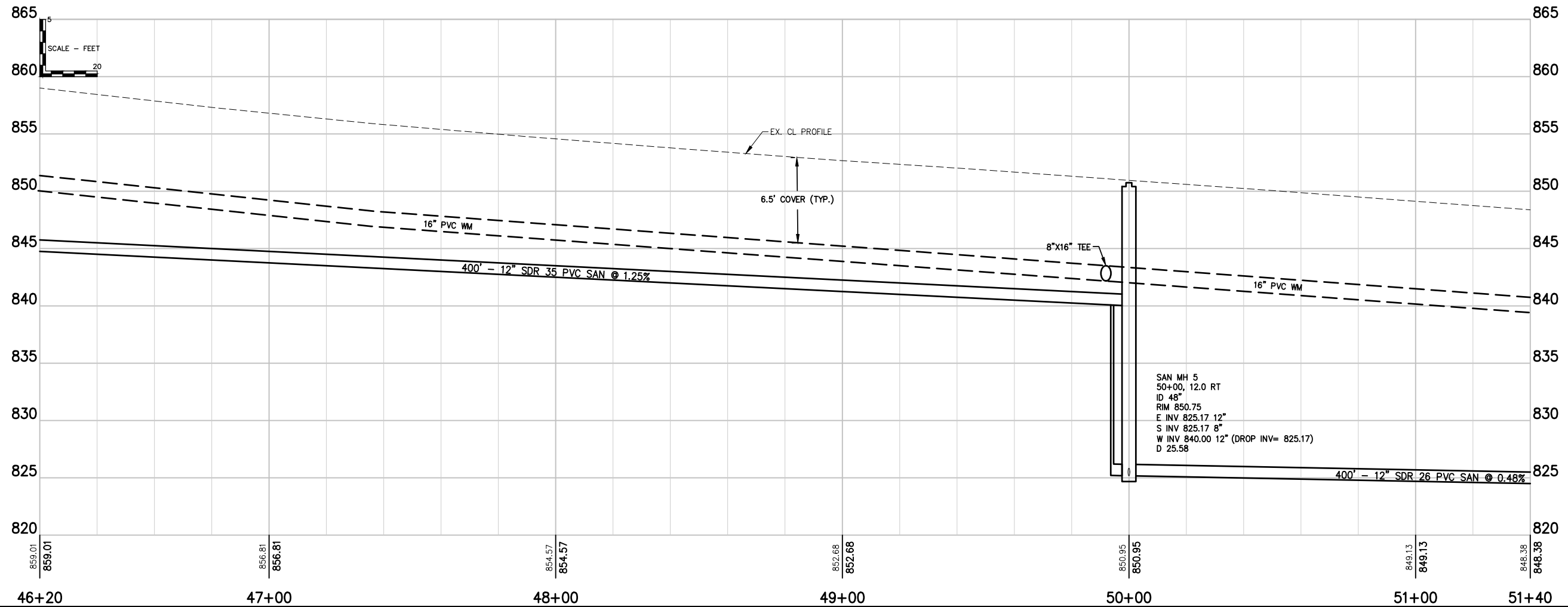
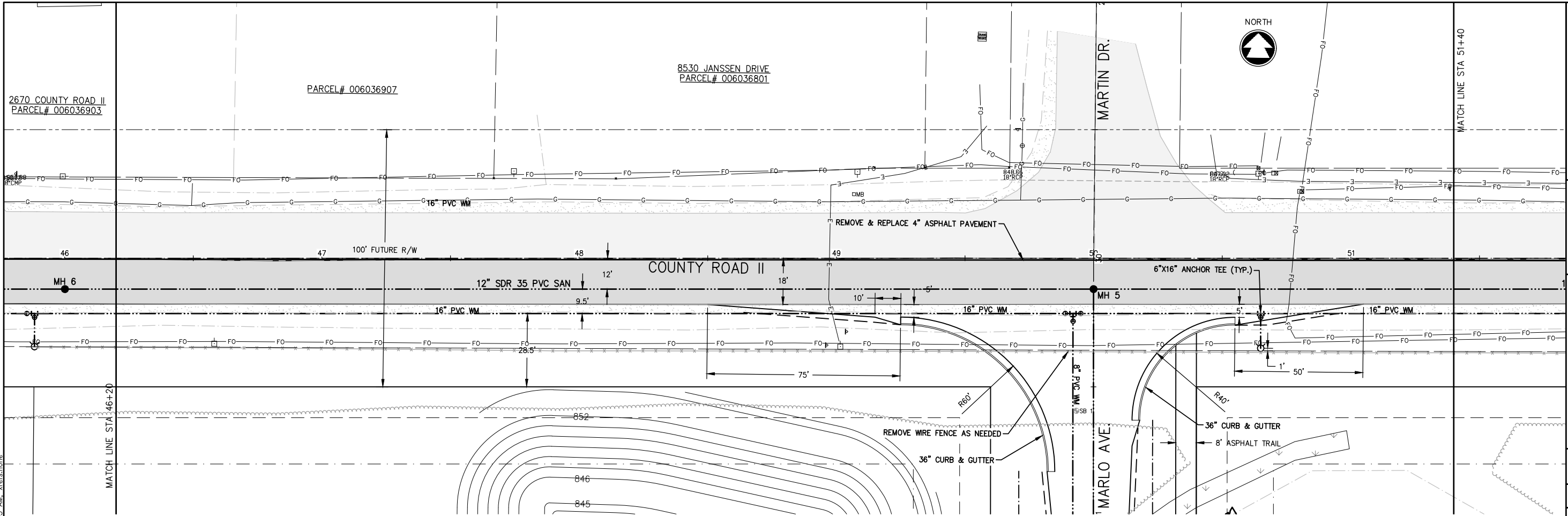
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TOWN OF CLAYTON
COUNTY ROAD II

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2670 COUNTY ROAD II
PARCEL# 006036903

PARCEL# 006036907

8530 JANSSEN DRIVE
PARCEL# 006036801



MATCH LINE STA 51+40

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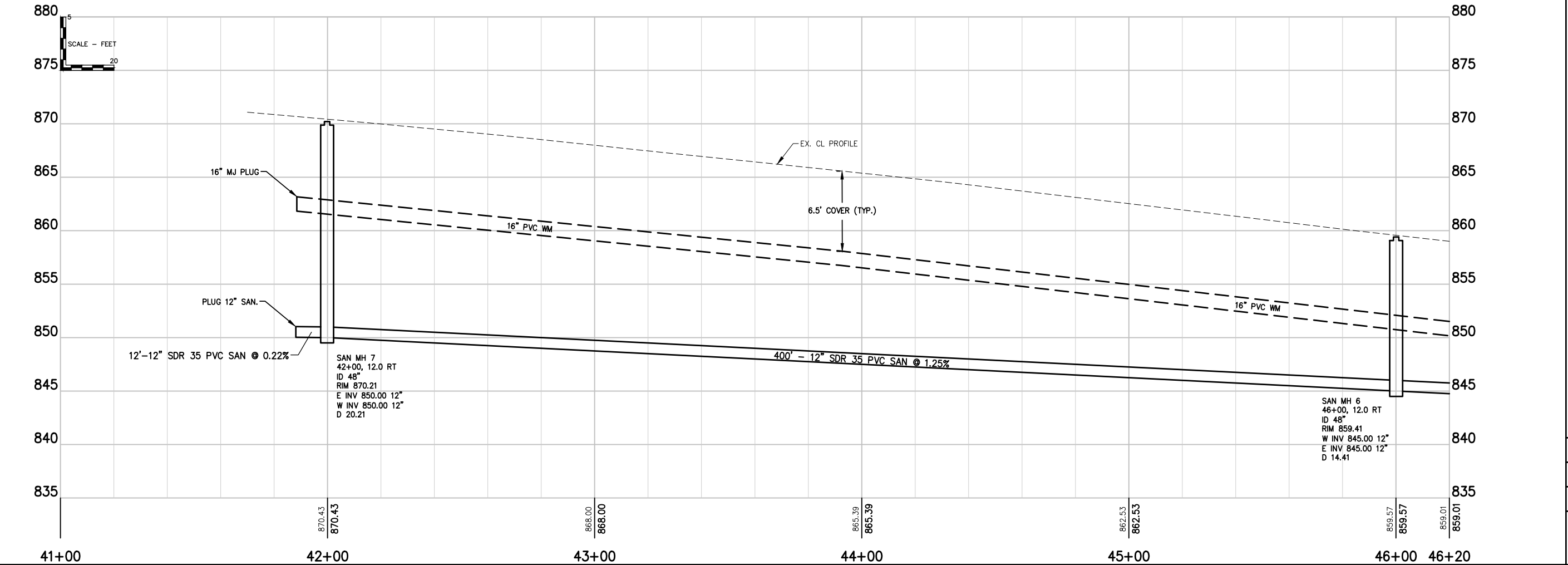
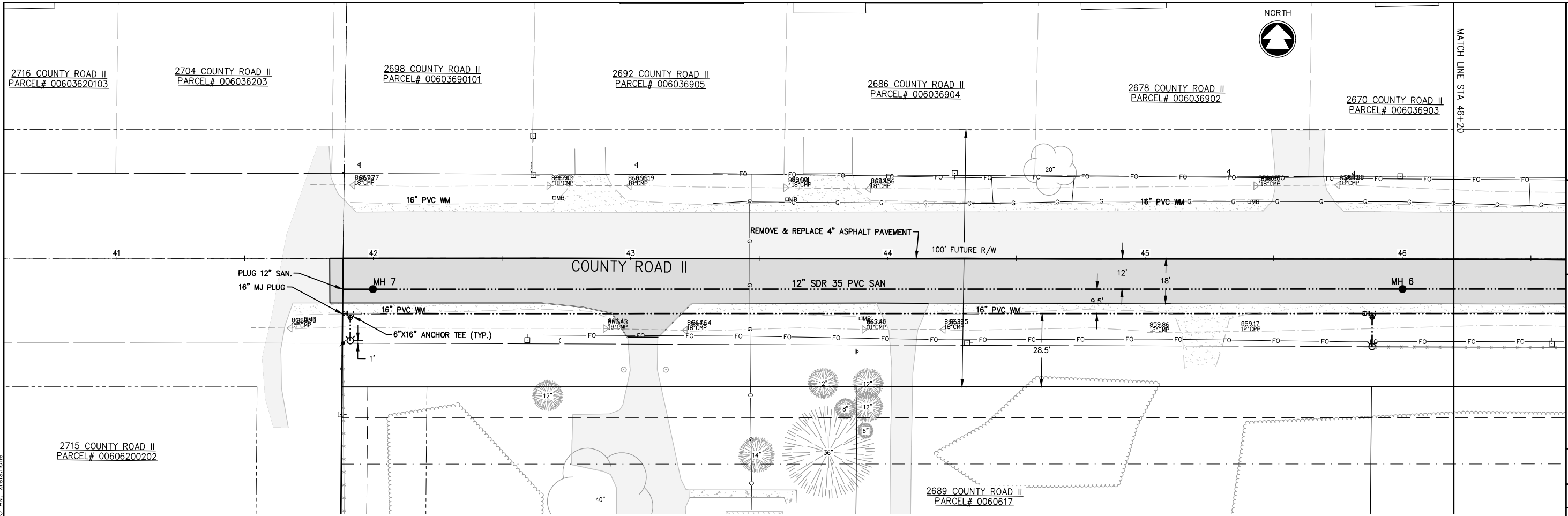
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NO.	DATE	REVISION

SCHOLAR RIDGE ESTATES - PHASE 1
TOWN OF CLAYTON
COUNTY ROAD II

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO. 1 38	

Z:\projects\C1069\092300271\CADD\Civil3D\Plan_Sheets\PP - County_Road_II.dwg, 13 41+00.00-county_road_ii_Plot_Date: 6/9/2023 7:45 AM, xref:stone



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McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O. BOX 1026 NEENAH, WI 54956
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Item A.

NO.	DATE	REVISION

SCHOLAR RIDGE ESTATES - PHASE 1
TOWN OF CLAYTON
COUNTY ROAD II

DESIGNED: ZRL

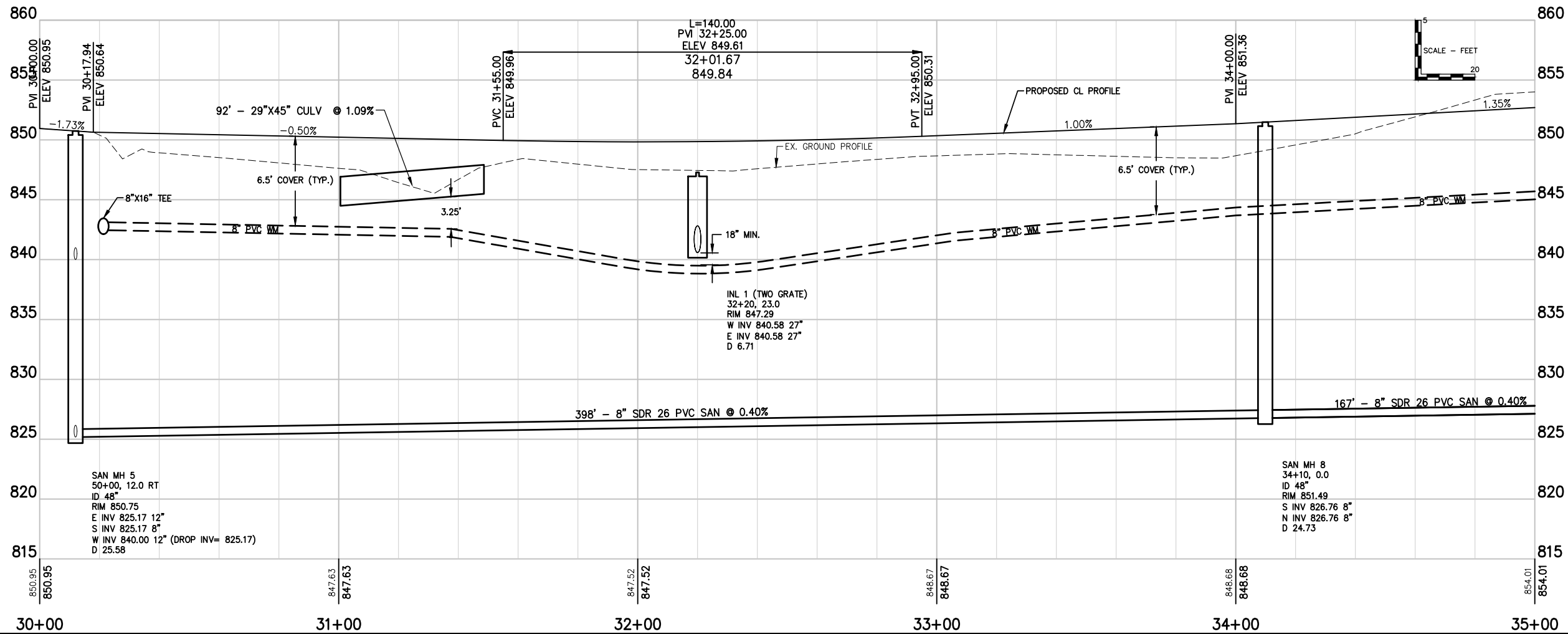
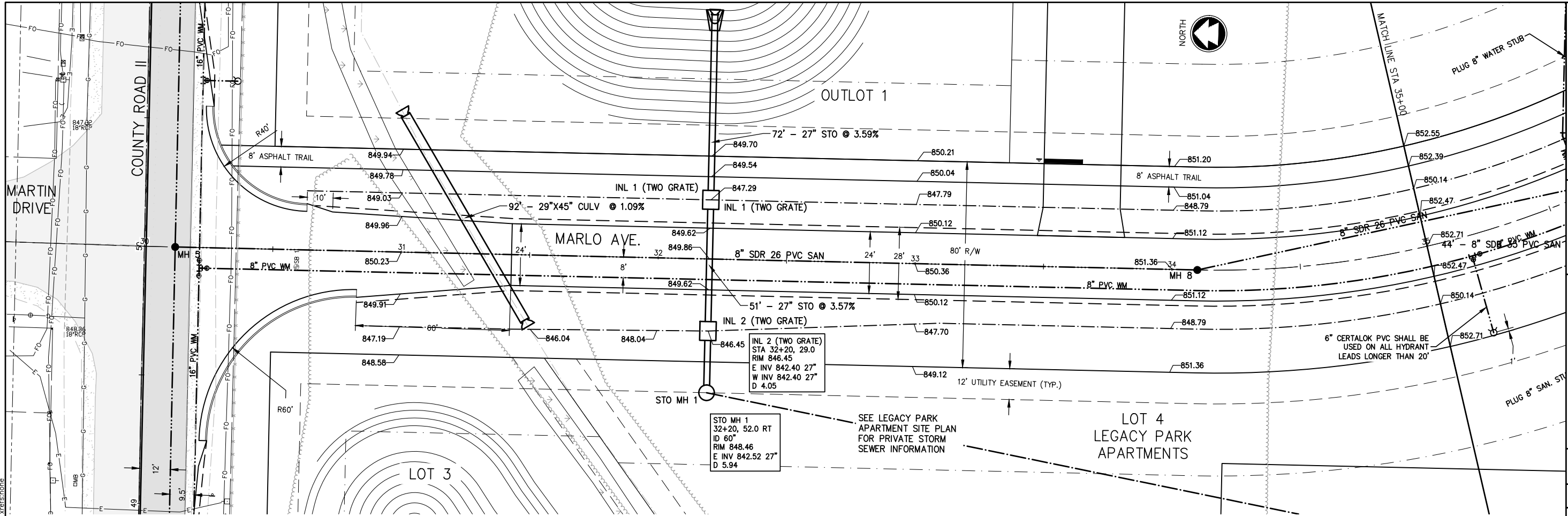
PROJECT NO.: C1069-09-23-00271

DATE: JUNE, 2023

DRAWN: ZRL

SHEET NO.: 1/39

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Item A.

NO.	DATE	REVISION

SCHOLAR RIDGE ESTATES - PHASE 1

TOWN OF CLAYTON

MARLO AVENUE

DESIGNED: ZRL

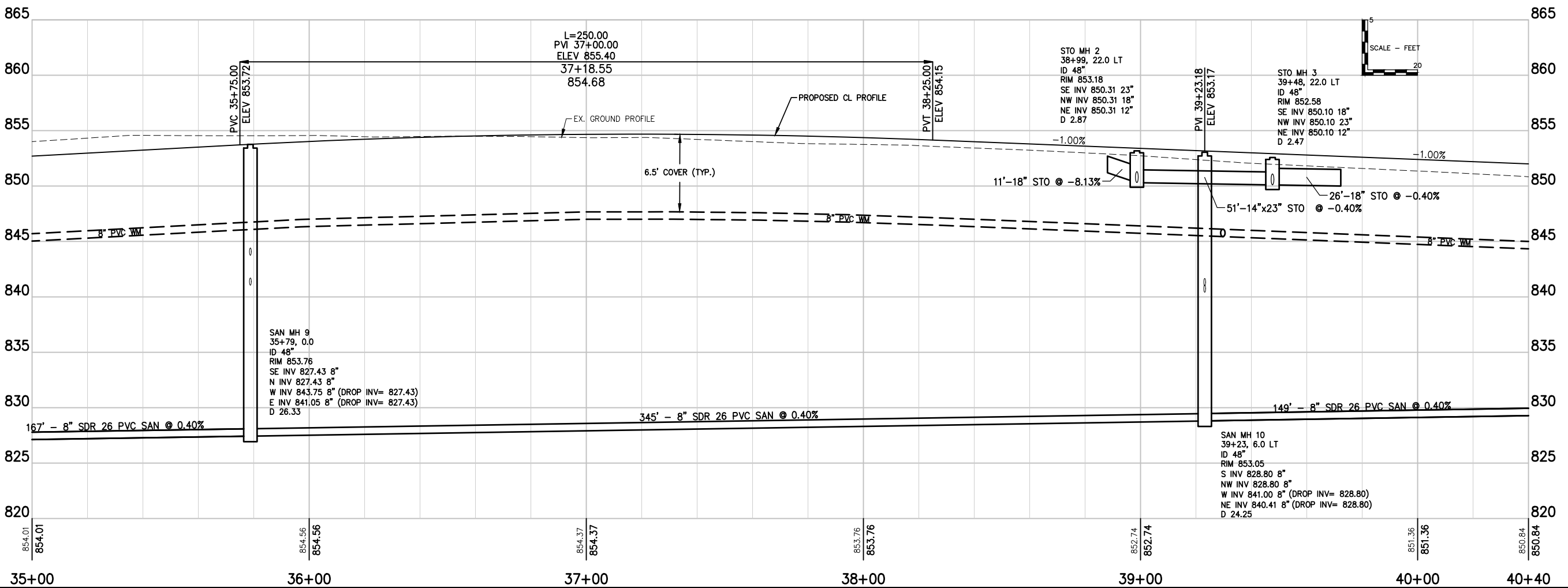
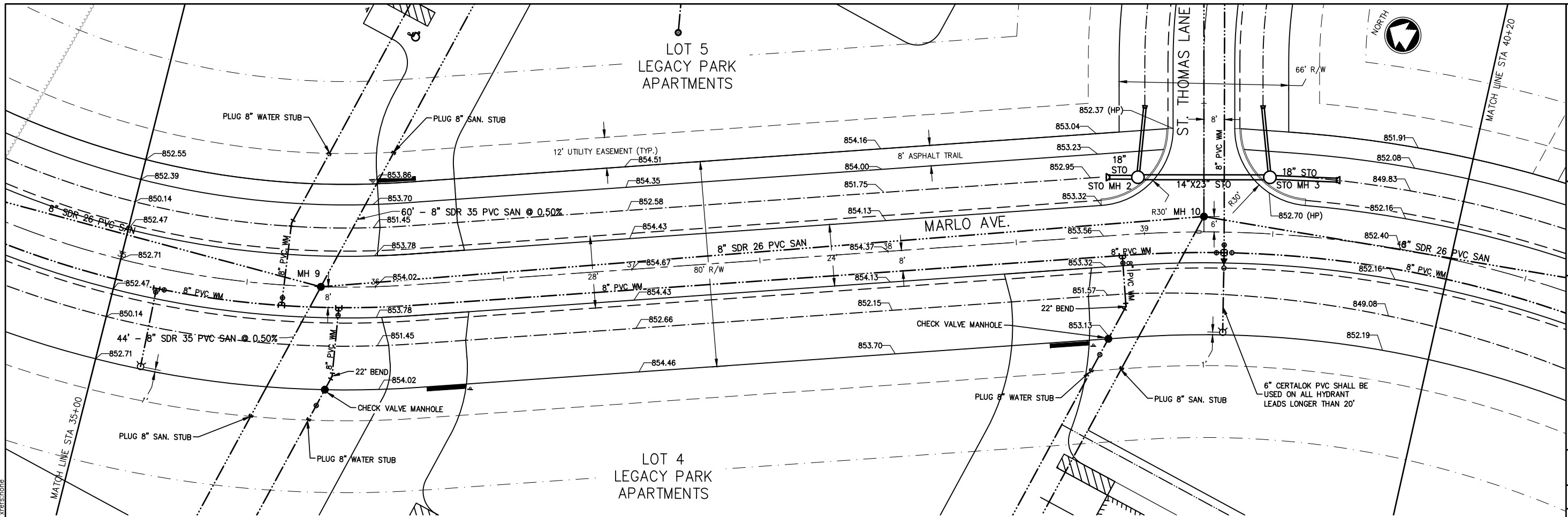
PROJECT NO.: C1069-09-23-00271

DATE: JUNE, 2023

DRAWN: ZRL

SHEET NO.: 1/40

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Item A.

NO.	DATE	REVISION

SCHOLAR RIDGE ESTATES - PHASE 1
TOWN OF CLAYTON
MARLO AVENUE

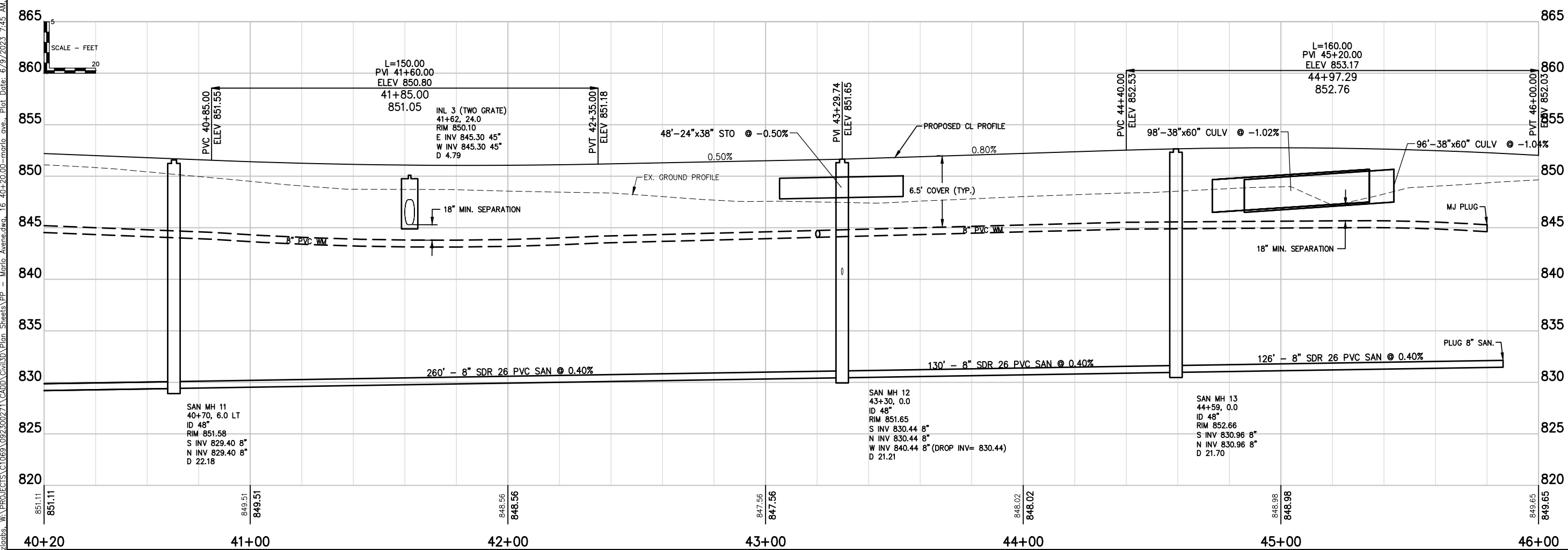
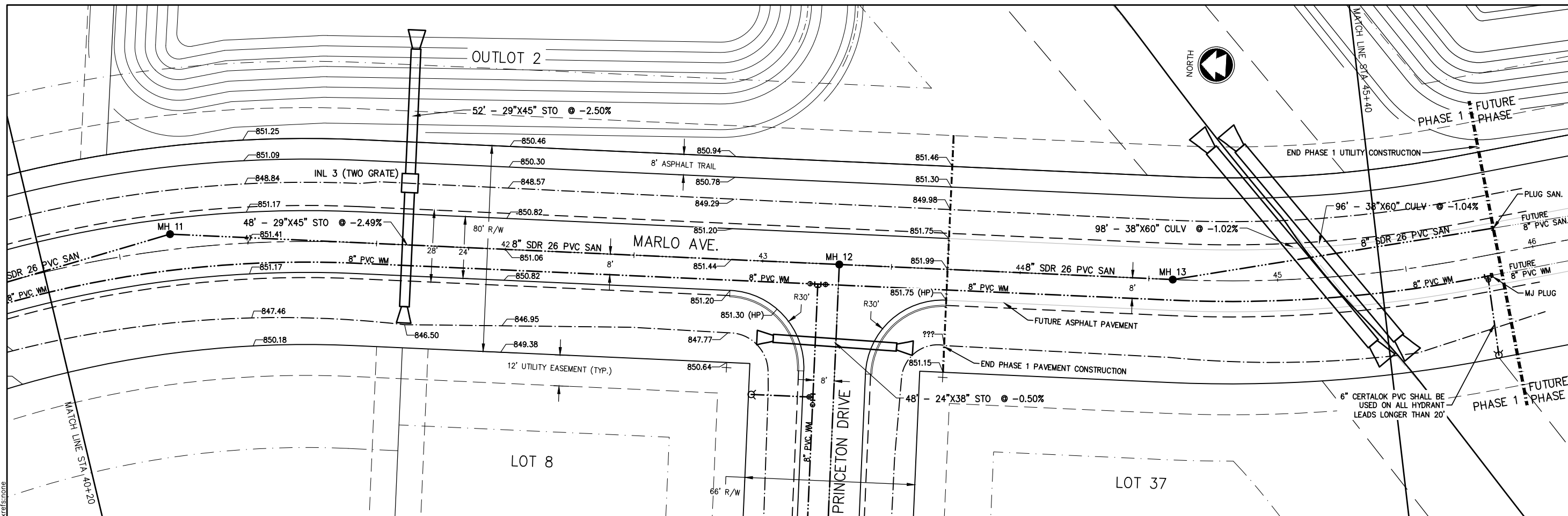
DESIGNED: ZRL
 DRAWN: ZRL

PROJECT NO.: C1069-09-23-00271

DATE: JUNE, 2023

SHEET NO.: 41

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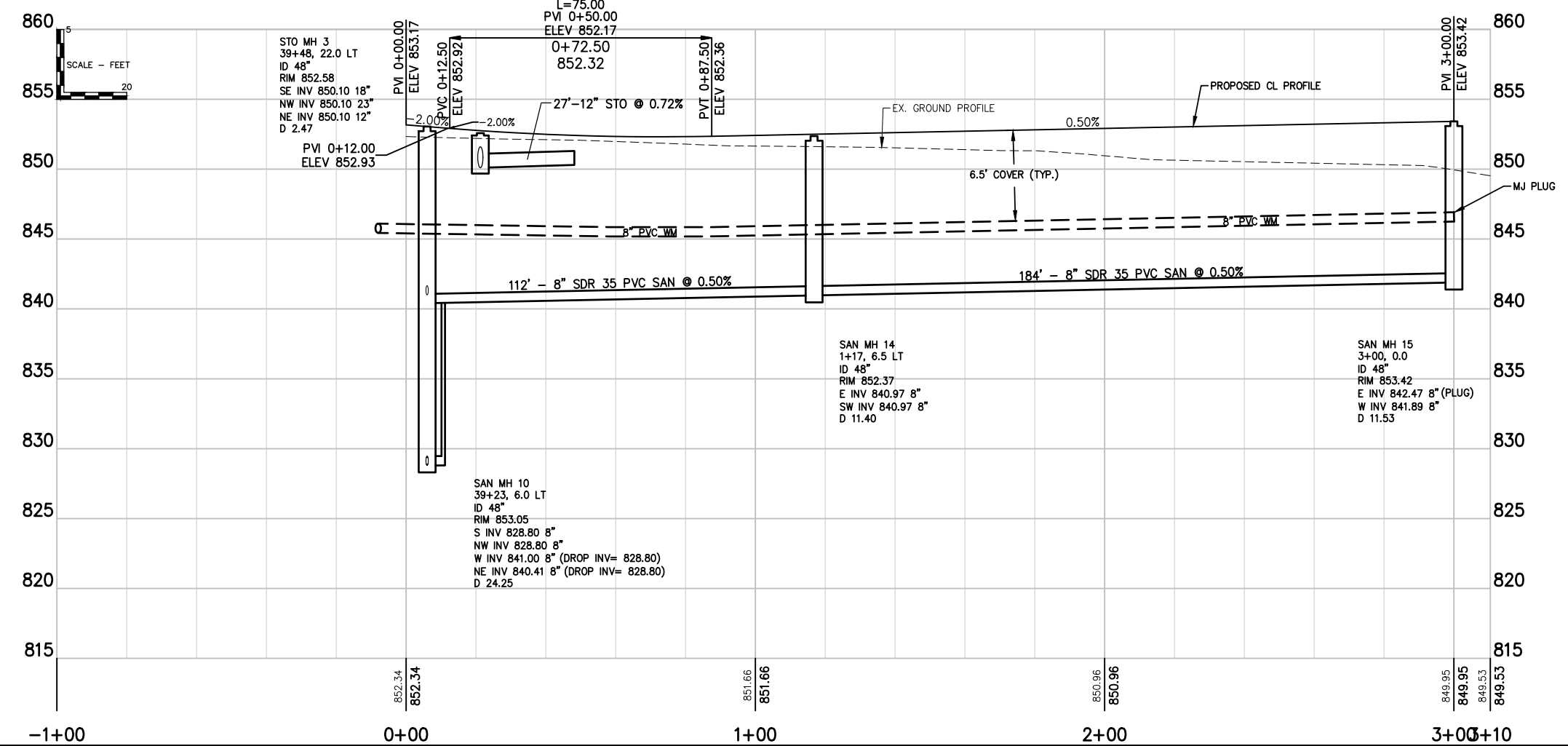
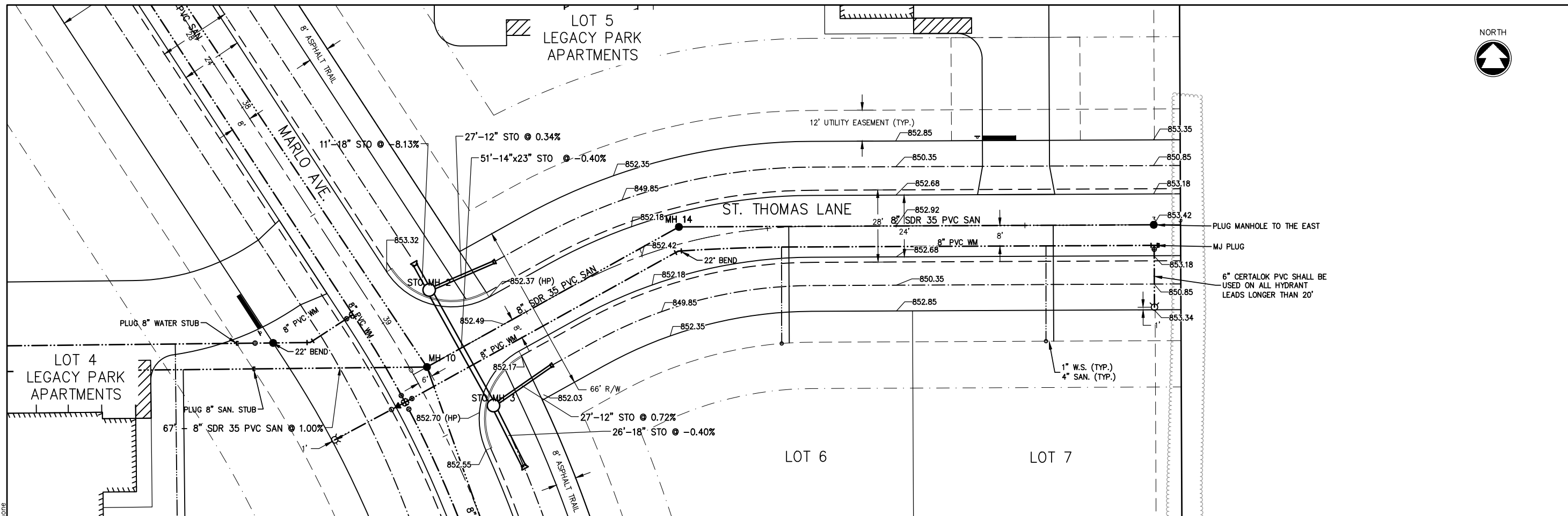
McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O. BOX 1026 NEENAH, WI 54956
PH 920.751.4200 FAX 920.751.4284 MCMHON.COM

Item A.

NO.	DATE	REVISION

<p>SCHOLAR RIDGE ESTATES - PHASE 1</p> <p>TOWN OF CLAYTON</p> <p>MARLO AVENUE</p>	<p>DESIGNED: ZRL</p> <p>DRAWN: ZRL</p> <p>PROJECT NO.: C1069-09-23-00271</p> <p>DATE: JUNE, 2023</p> <p>SHEET NO.: 1</p>
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Z:\projects\C1069\092300271\CADD\Civil3D\Plan_Sheets\PP - St.Thomas Lane.dwg, 17 0+100.00-xx, Plot Date: 6/9/2023 7:45 AM, xref:stone



Item A.
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 McMAHON ASSOCIATES, INC.
 1445 McMAHON DRIVE WEEHAW, WI 53095
 Mailing: P.O. BOX 1025 WEEHAW, WI 53095
 PH 920.751.4200 FX 920.751.4284 MCINGR.com

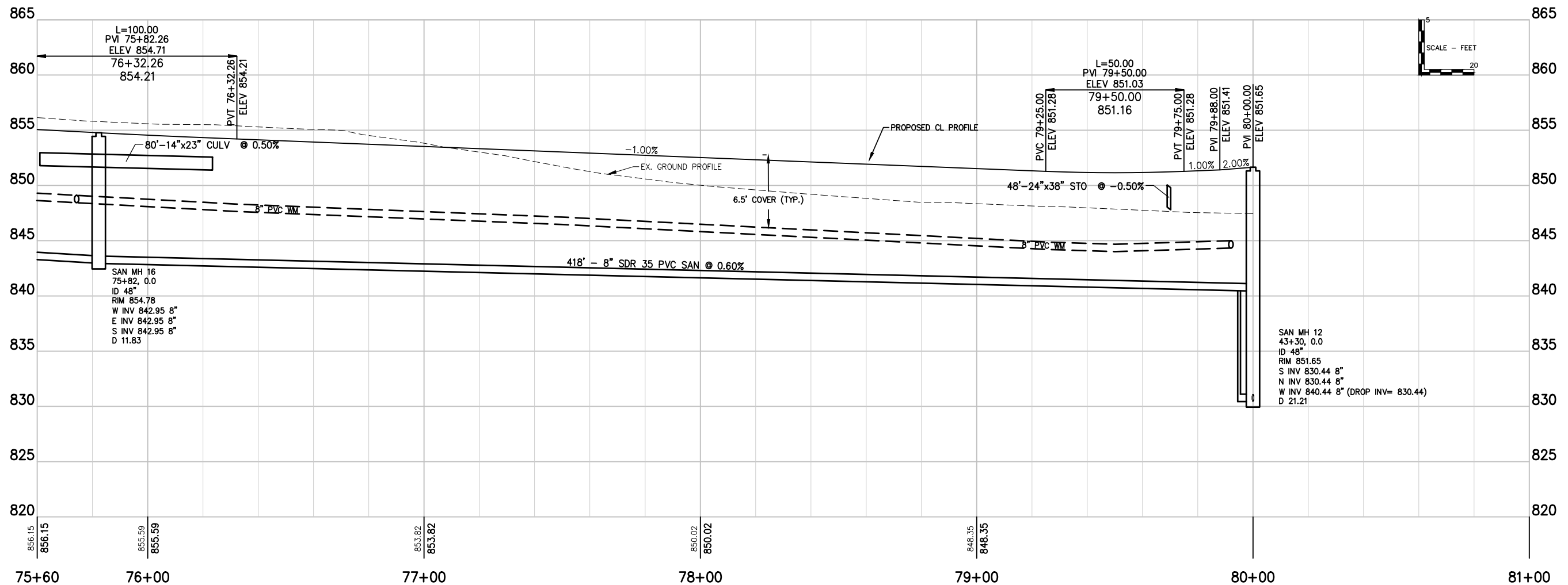
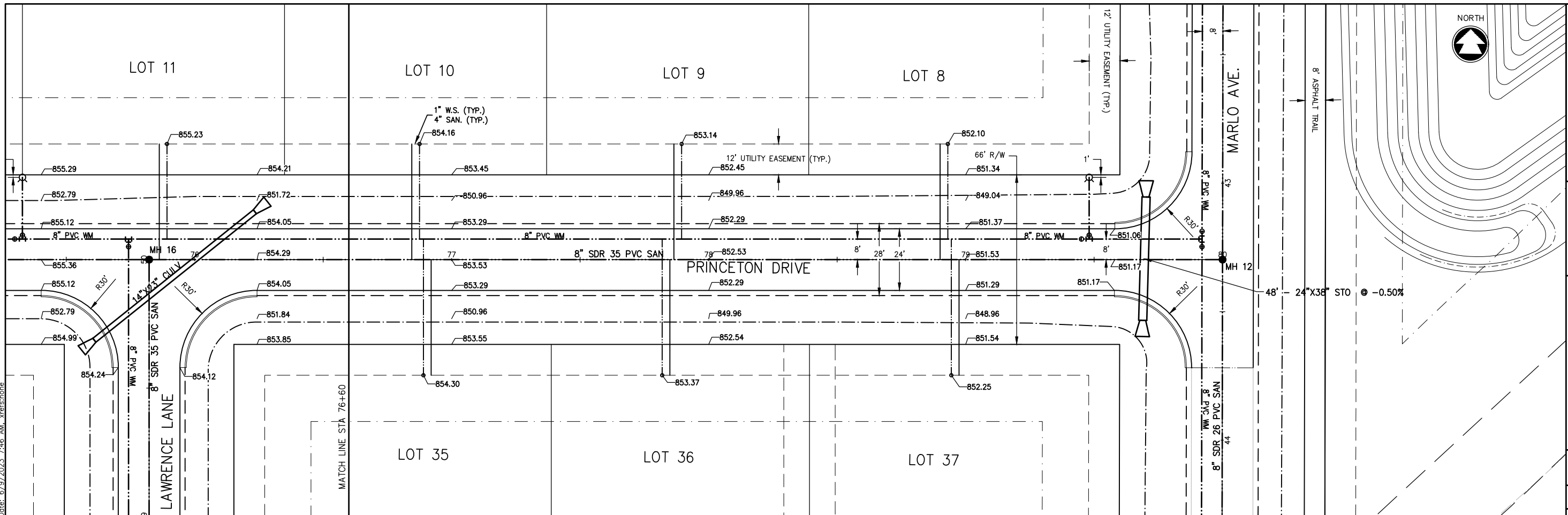
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SCHOLAR RIDGE ESTATES - PHASE 1
TOWN OF CLAYTON
ST. THOMAS LANE

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO. 1 / 43	

Z:\projects\C1069\092300271\CADD\Civil3D\Plan_Sheets\PP - Princeton Drive & Sturber Drive.dwg, 18_76+60.00-princeton drive_Plot Date: 6/9/2023 7:46 AM_xref:stone



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Item A.

NO.	DATE	REVISION

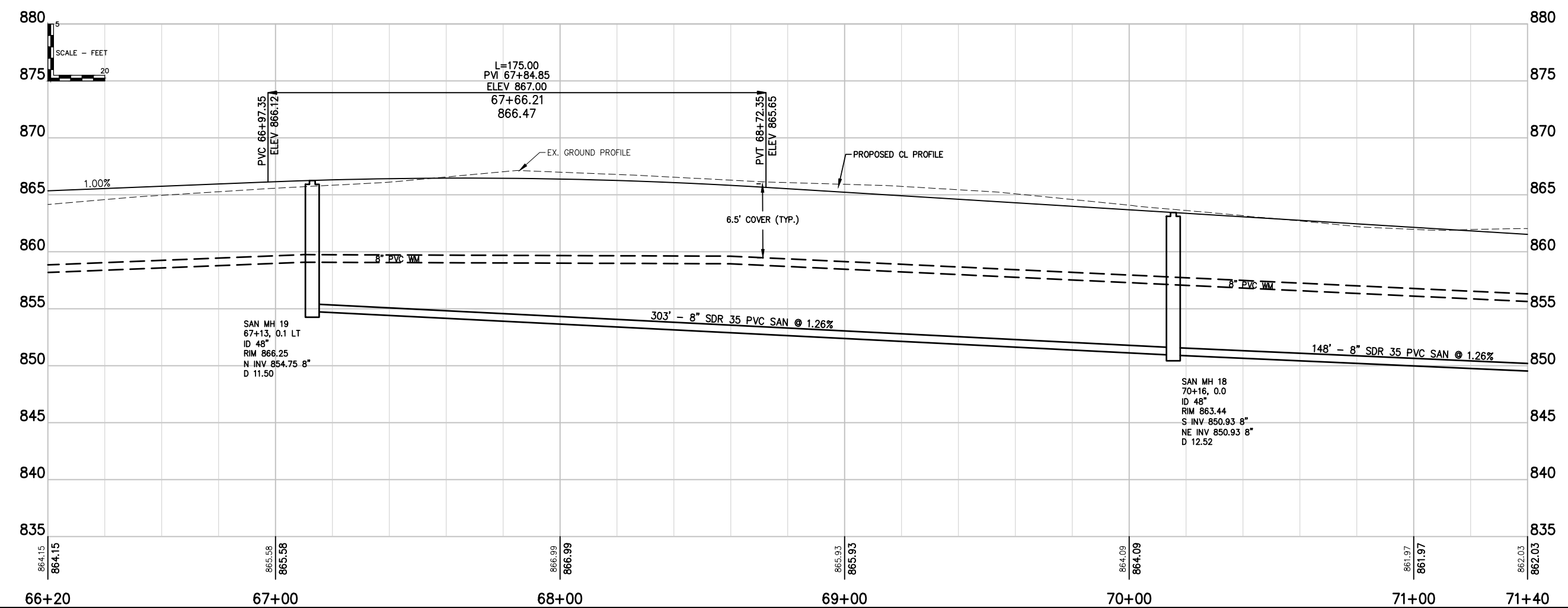
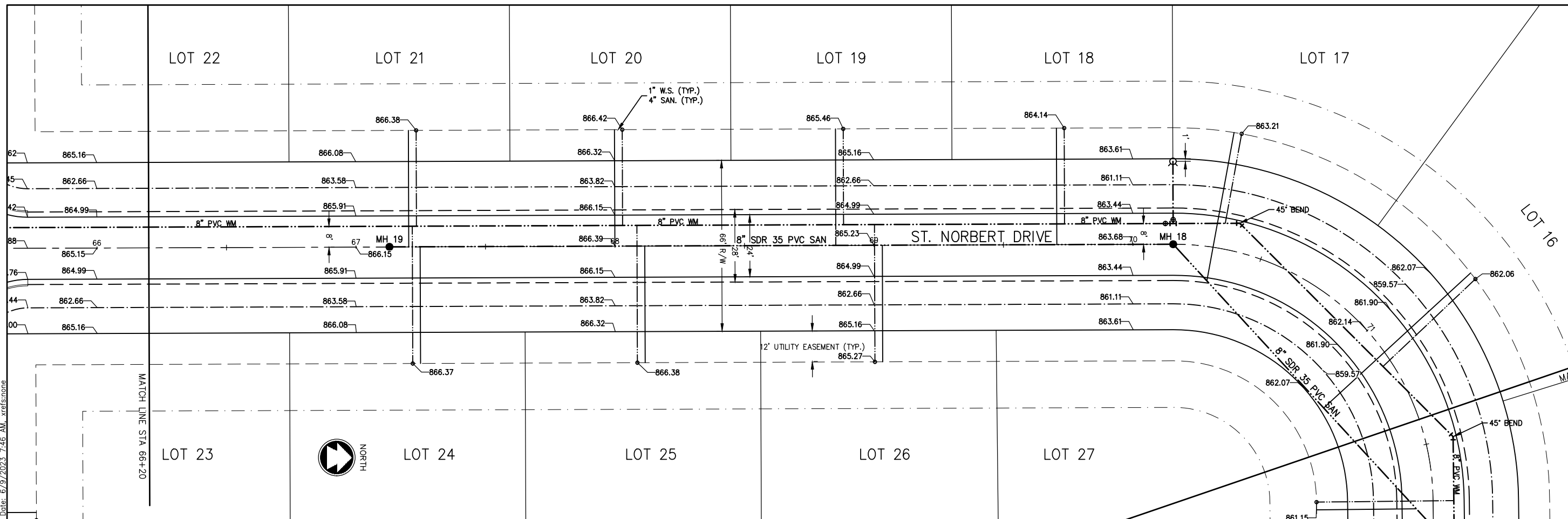
DESIGNED	DRAWN
ZRL	ZRL

PROJECT NO. C1069-09-23-00271
DATE JUNE, 2023
SHEET NO. 1 / 44

SCHOLAR RIDGE ESTATES - PHASE 1
TOWN OF CLAYTON
PRINCETON DRIVE

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Z:\projects\C1069\092300271\CADD\Civil3D\Plan_Sheets\PP - Princeton Drive & St. Norbert Drive.dwg, 20_66+20.00-st_norbert_drive_Plot_Date: 6/9/2023 7:46 AM_xref:none



Item A.

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ENGINEERS & ARCHITECTS

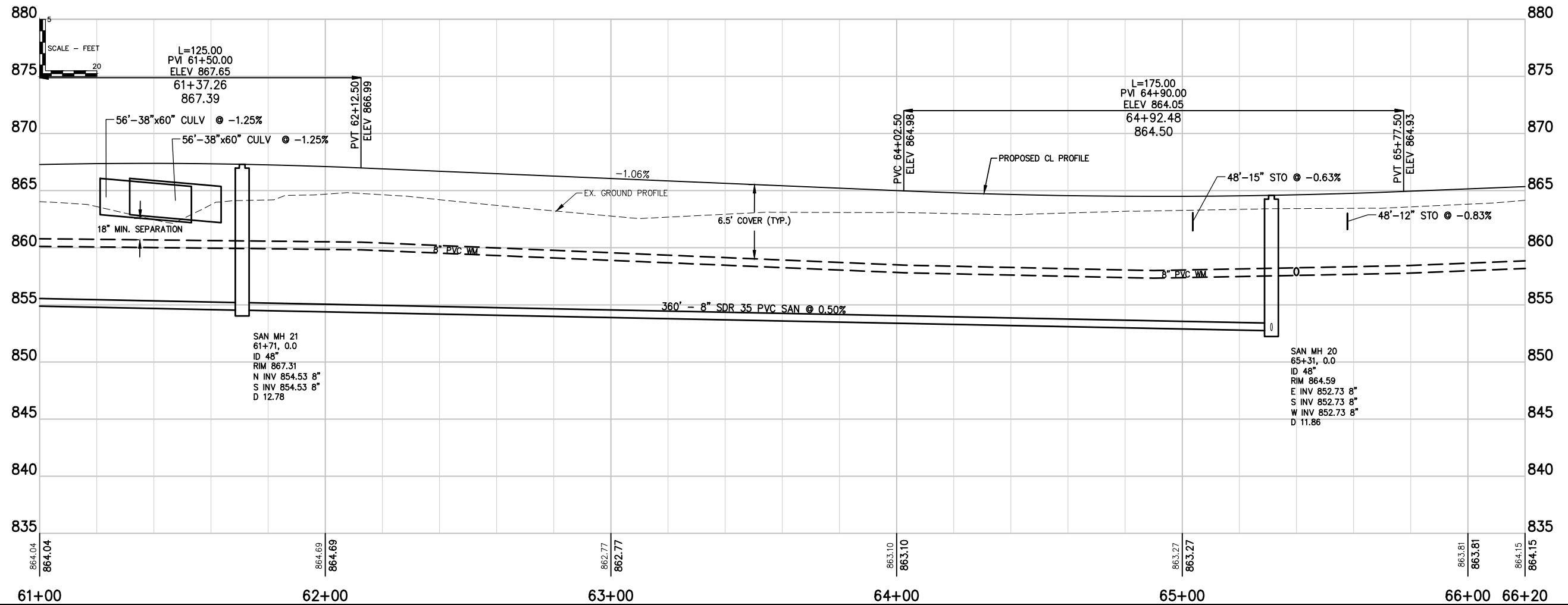
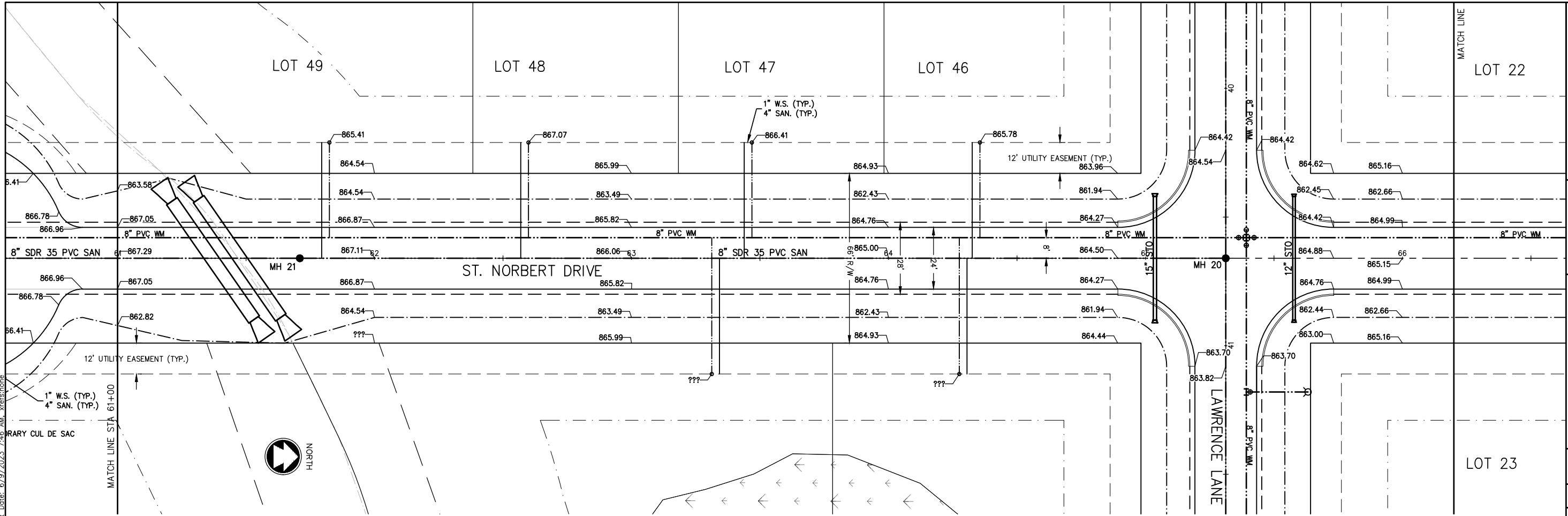
McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE WENAH, WI 54985
Mailing: P.O. BOX 1025 WENAH, WI 54985
PH 920.751.4200 FX 920.751.4284 MCNIGHT@mcma.com

NO.	DATE	REVISION

SCHOLAR RIDGE ESTATES - PHASE 1
TOWN OF CLAYTON
ST. NORBERT DRIVE

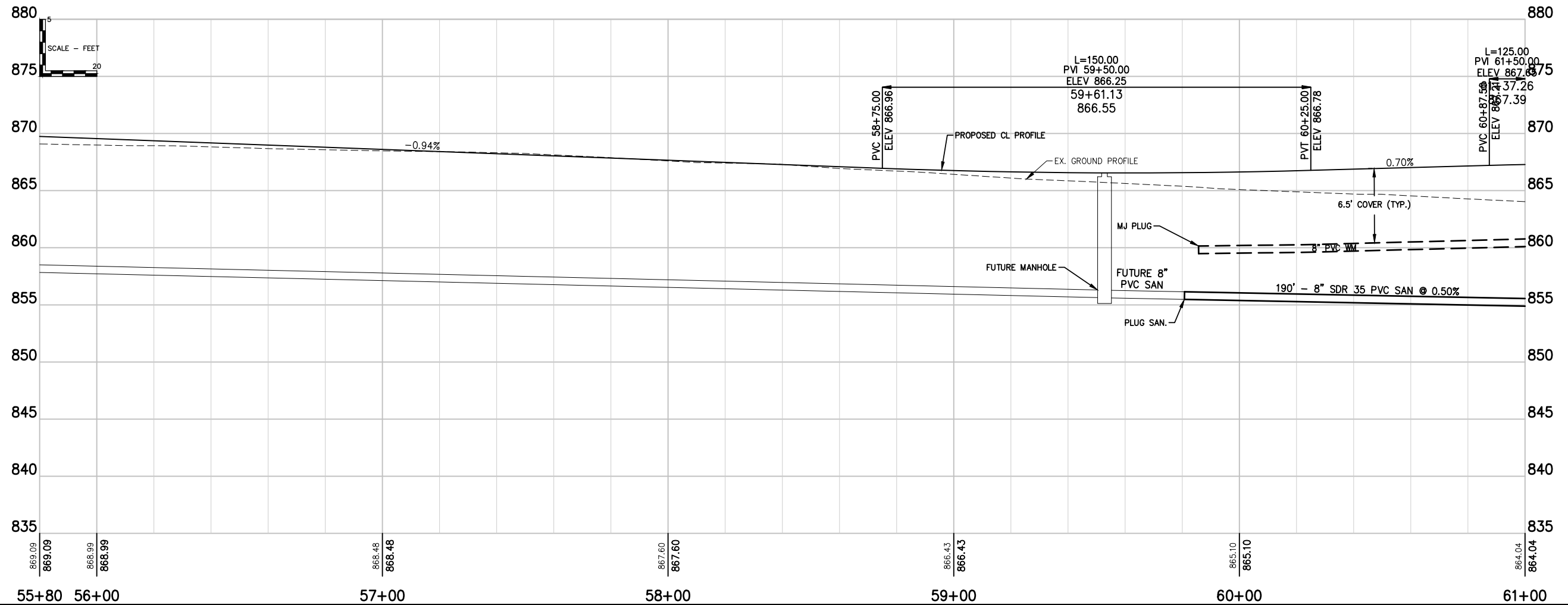
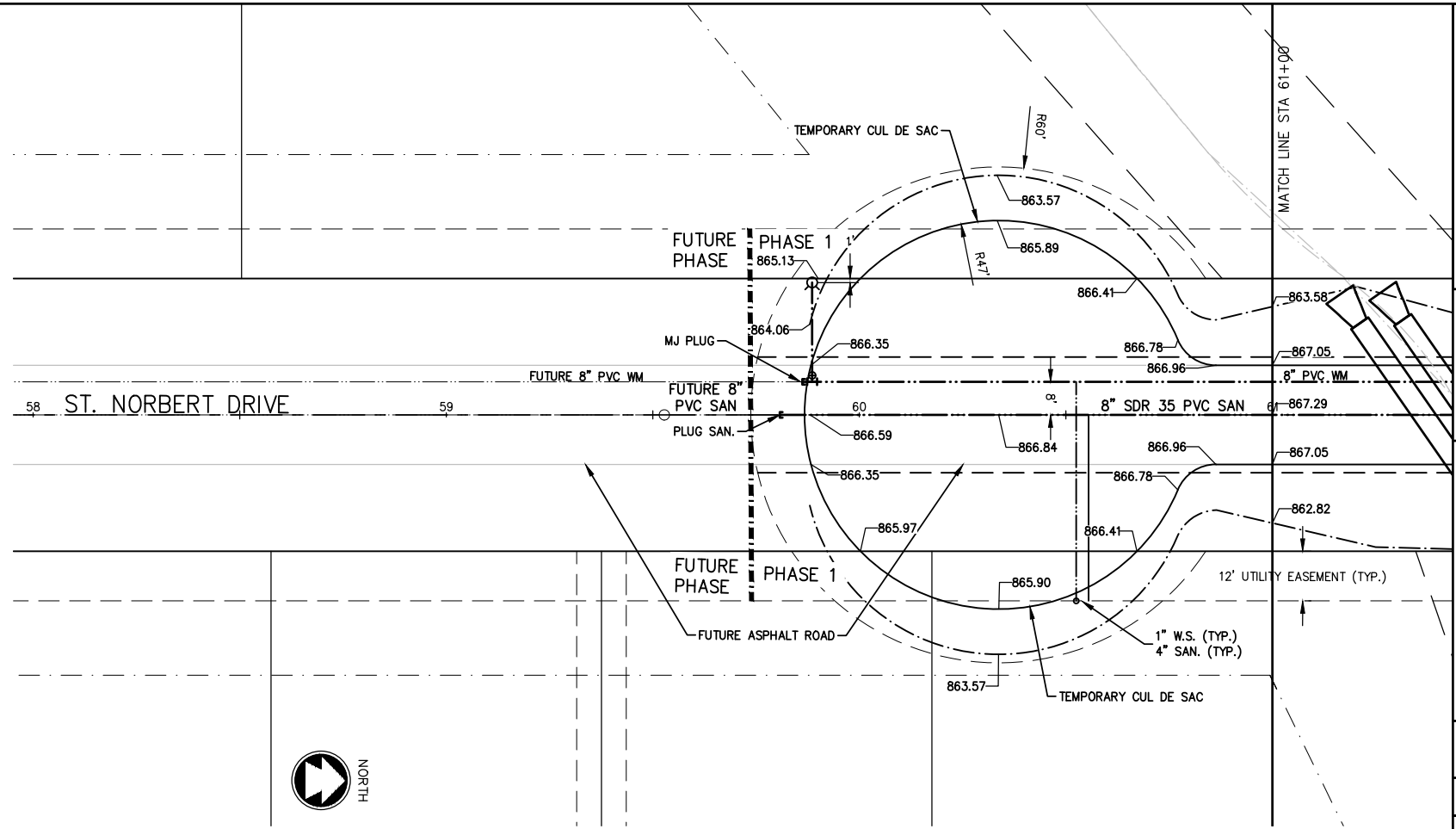
DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO. 2 46	

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Item A.	
McMAHON	
McMAHON ASSOCIATES, INC. 1445 McMAHON DRIVE NEENAH, WI 54956 Mailing: P.O. BOX 1025 NEENAH, WI 54956 PH 920.751.4200 FX 920.751.4284 MCINGR.com	
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SCHOLAR RIDGE ESTATES - PHASE 1 TOWN OF CLAYTON ST. NORBERT DRIVE	
DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO. 47	

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NO.	DATE	REVISION

PHASE 1

SCHOLAR RIDGE ESTATES -

TOWN OF CLAYTON

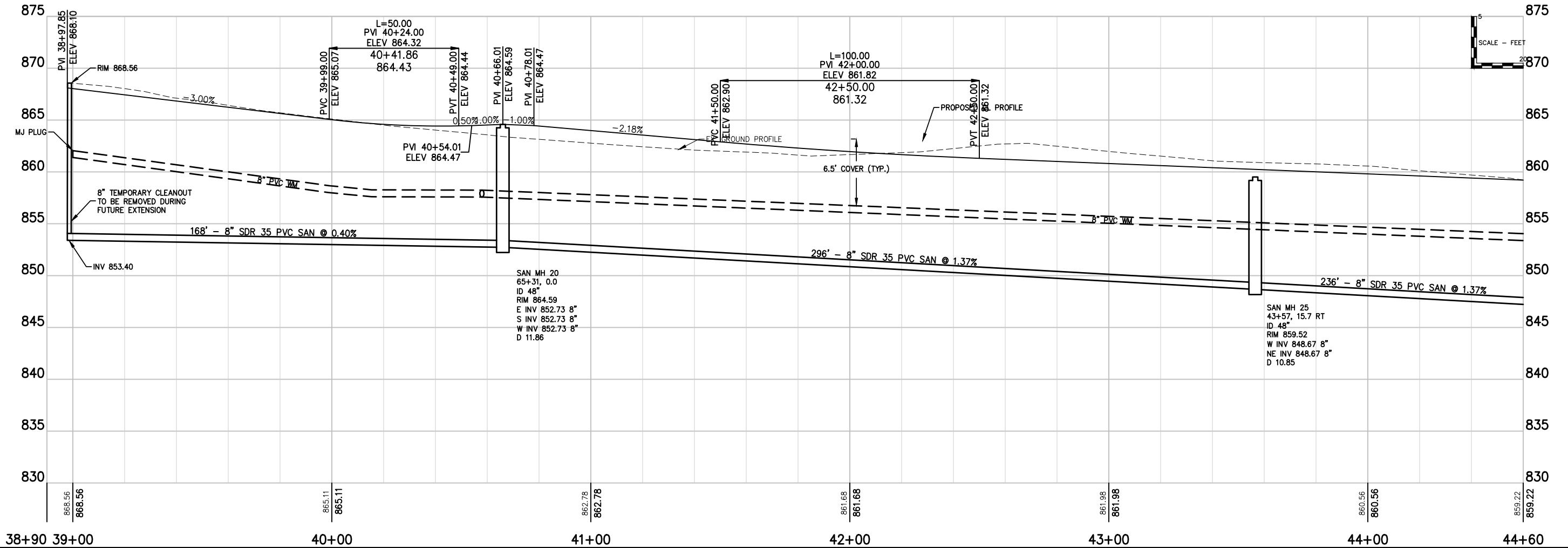
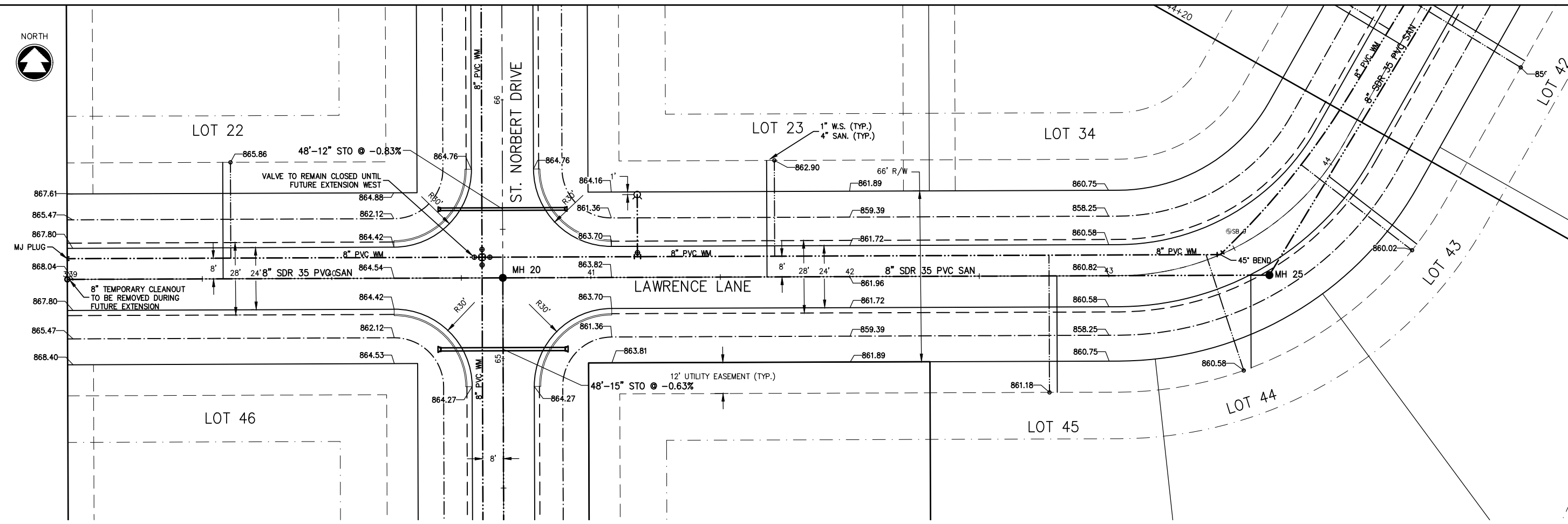
ST. NORBERT DRIVE

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO. 2 / 48	



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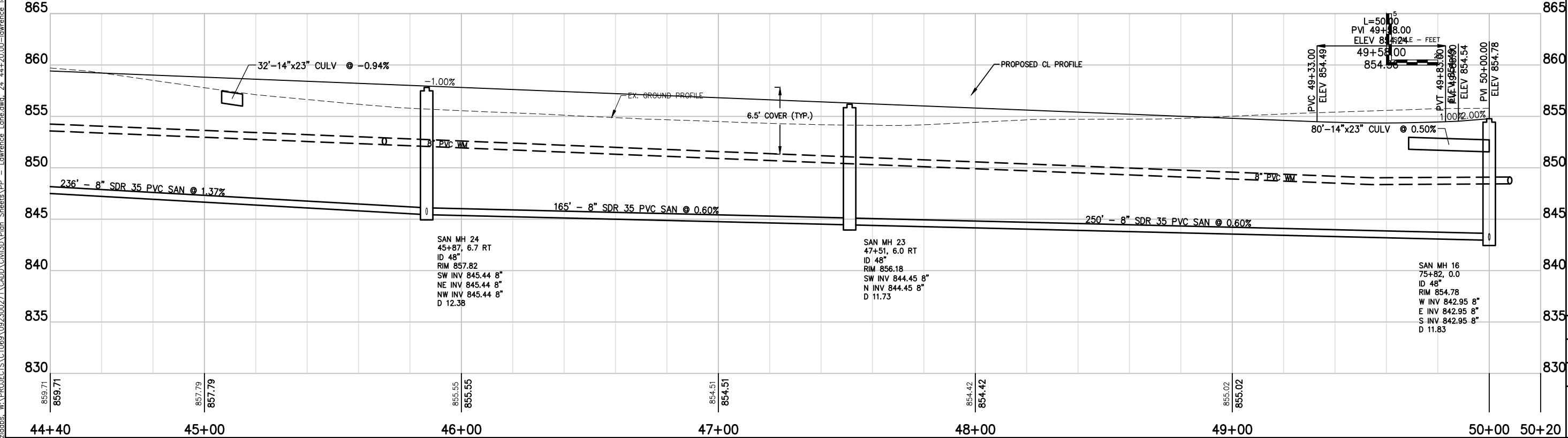
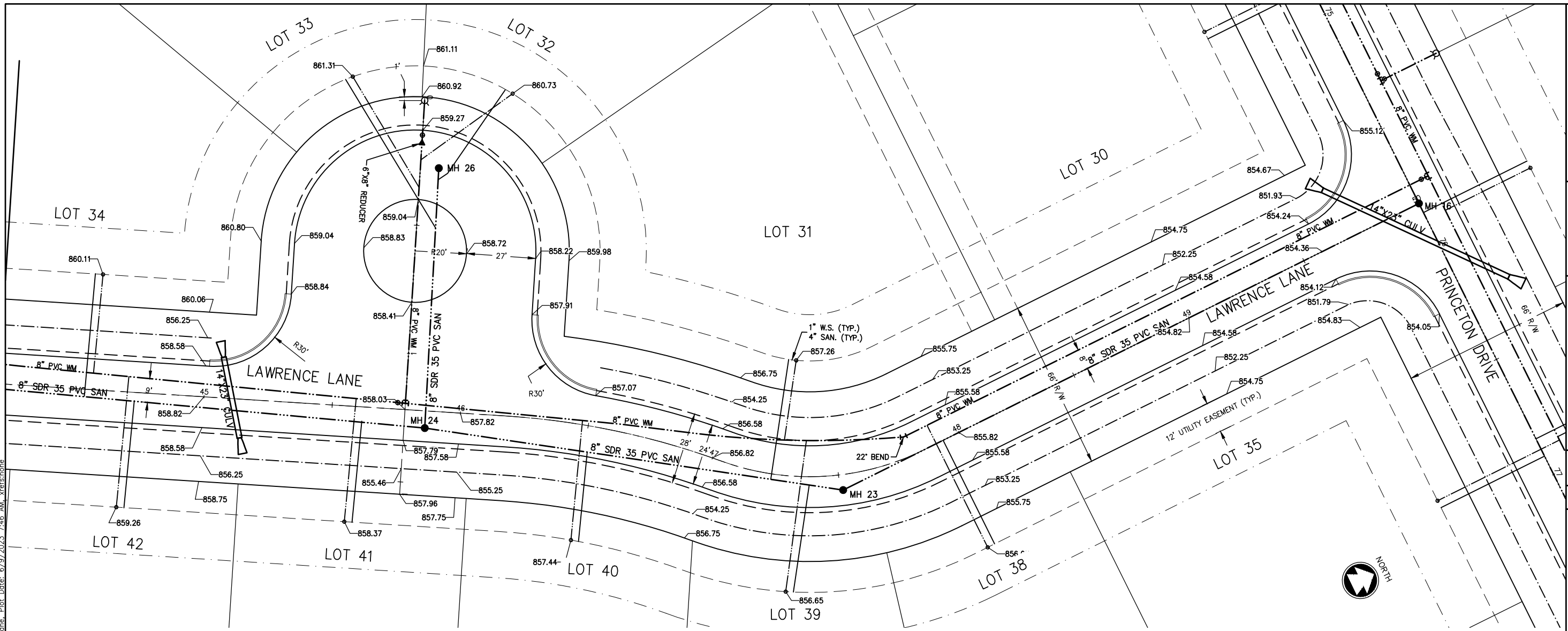


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SCHOLAR RIDGE ESTATES - PHASE 1
TOWN OF CLAYTON
LAWRENCE LANE

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO. 2 49	

\\projects\WA\PROJECTS\C1069\092300271\CADD\Civil\SD\Plan_Sheets\PP - Lawrence Lane.dwg, 24-44+20.00-Lawrence Lane, Plot Date: 6/9/2023 7:46 AM, xref:stone



SAN MH 24
 45+87, 6.7 RT
 ID 48"
 RIM 857.82
 SW INV 845.44 8"
 NE INV 845.44 8"
 NW INV 845.44 8"
 D 12.38

SAN MH 23
 47+51, 6.0 RT
 ID 48"
 RIM 856.18
 SW INV 844.45 8"
 N INV 844.45 8"
 D 11.73

SAN MH 16
 75+82, 0.0
 ID 48"
 RIM 854.78
 W INV 842.95 8"
 E INV 842.95 8"
 S INV 842.95 8"
 D 11.83

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NO.	DATE	REVISION

SCHOLAR RIDGE ESTATES - PHASE 1
TOWN OF CLAYTON
LAWRENCE LANE

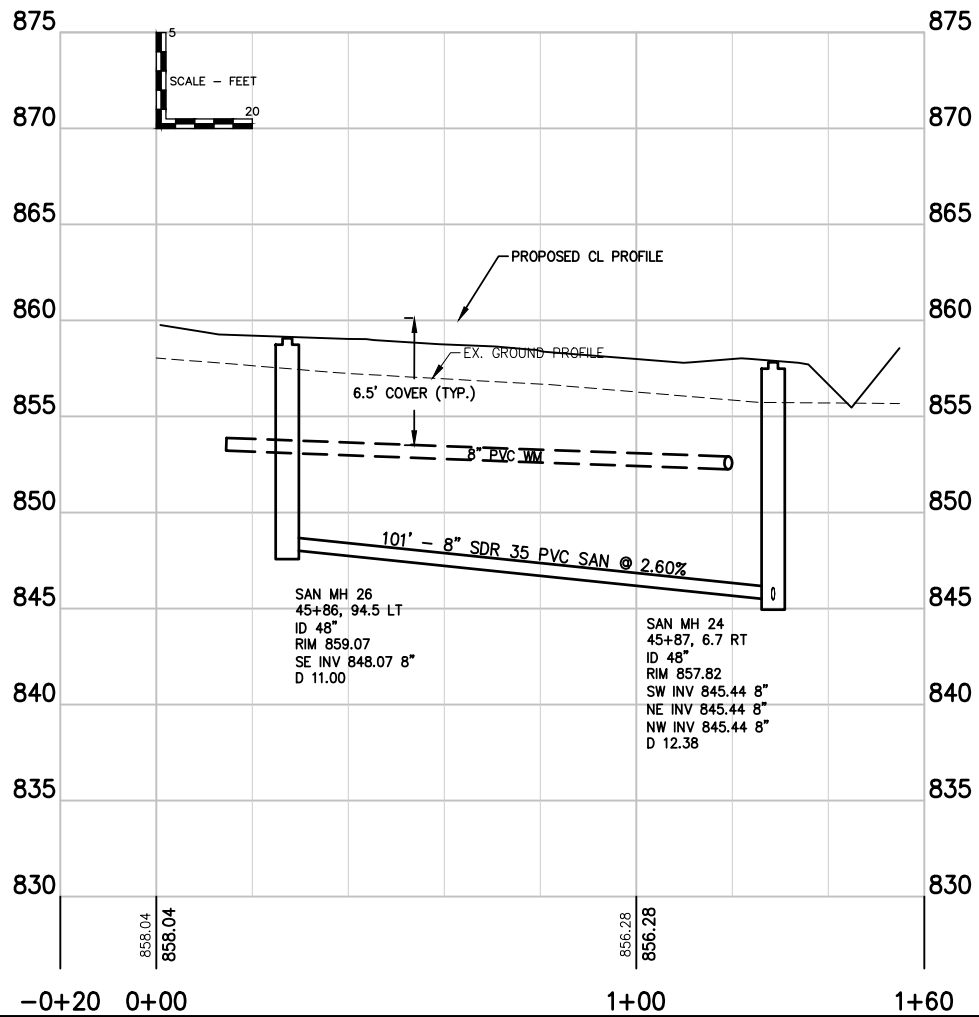
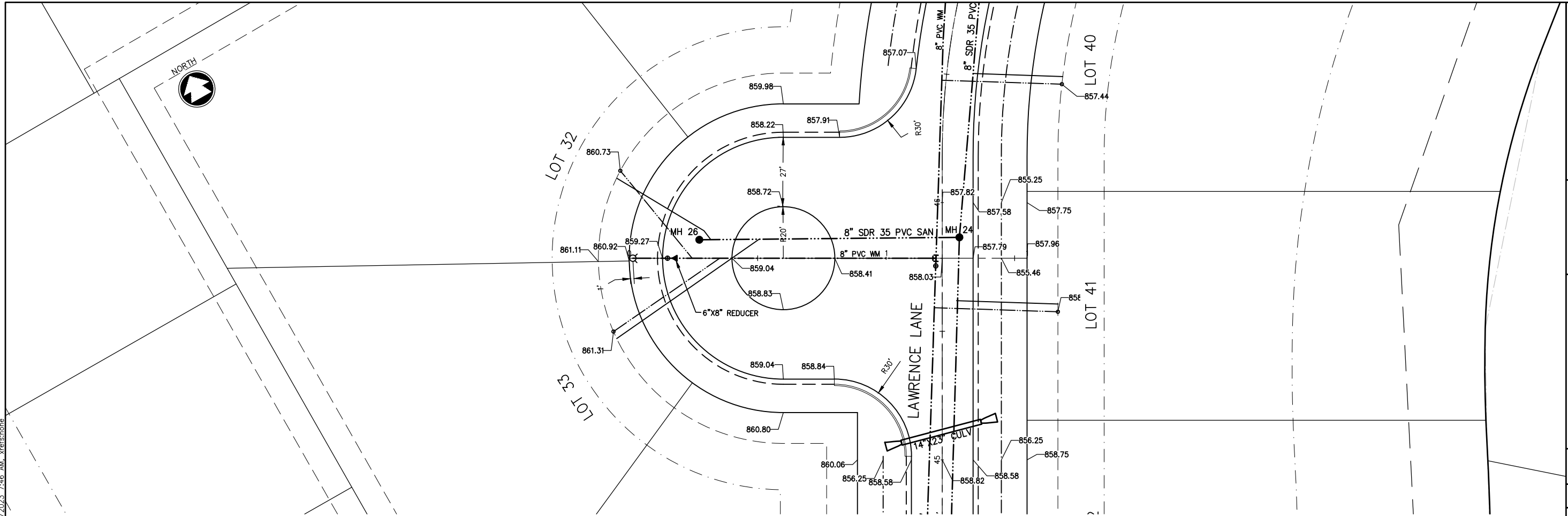
DESIGNED: ZRL
 DRAWN: ZRL

PROJECT NO.: C1069-09-23-00271

DATE: JUNE, 2023

SHEET NO.: 2 / 50

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Item A.

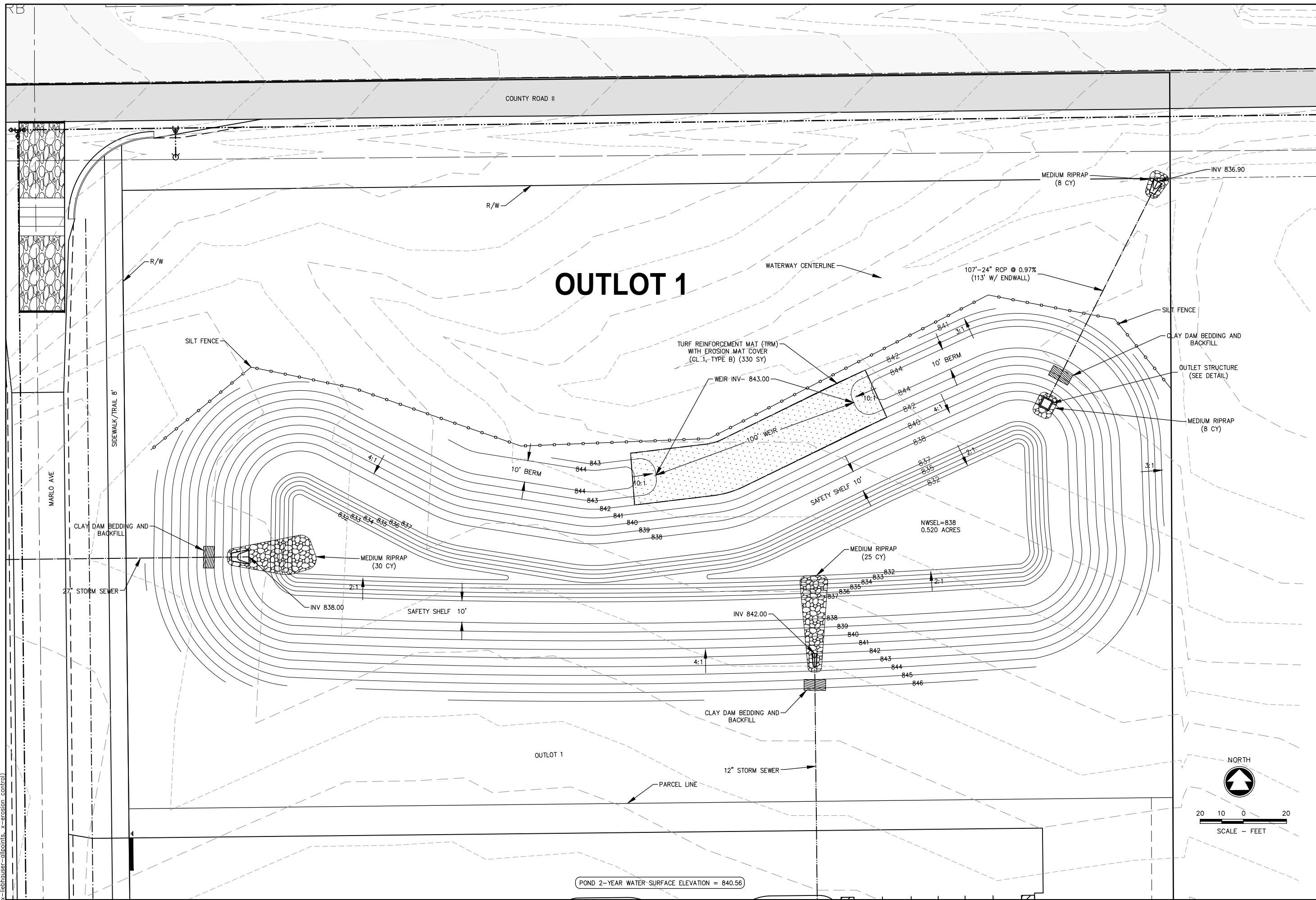
McMAHON
 ENGINEERS & ARCHITECTS
 1445 McMAHON DRIVE WEEHAW, WI 53095
 Mailing: P.O. BOX 1025 WEEHAW, WI 53095
 PH 920.751.4200 FX 920.751.4284 MCINGR.com

NO.	DATE	REVISION

SCHOLAR RIDGE ESTATES - PHASE 1
TOWN OF CLAYTON
LAWRENCE LANE

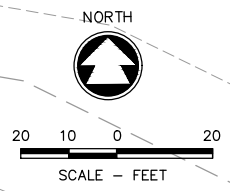
DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO. 2 51	

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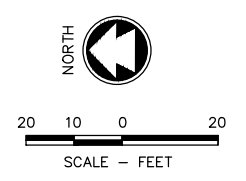
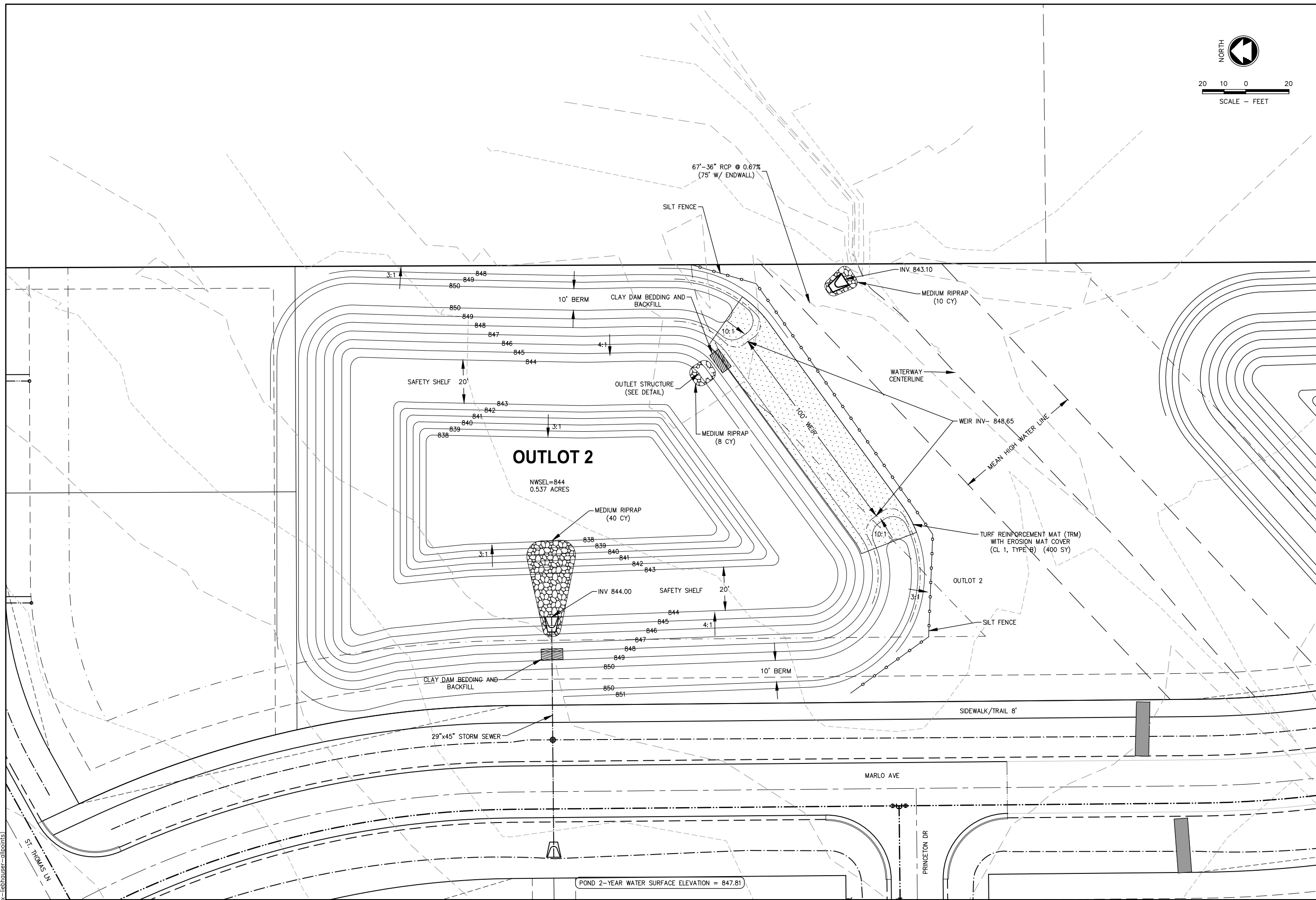
OUTLOT 1

POND 2-YEAR WATER SURFACE ELEVATION = 840.56



Item A.	
McMAHON	
1445 McMAHON DRIVE WEEHAW, WI 53095 Mailing: P.O. BOX 1025 WEEHAW, WI 53095 PH: 920.751.4200 FX: 920.751.4284 MCMAHON.COM	
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NO.	DATE
POND 2 TOWN OF CLAYTON, BROWN COUNTY, WI POND PLAN	
DESIGNED	DRAWN
MJK	MJK
PROJECT NO. C1069-09-23-00271	
DATE JUNE 2023	
SHEET NO. 2 / 52	

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Item A.

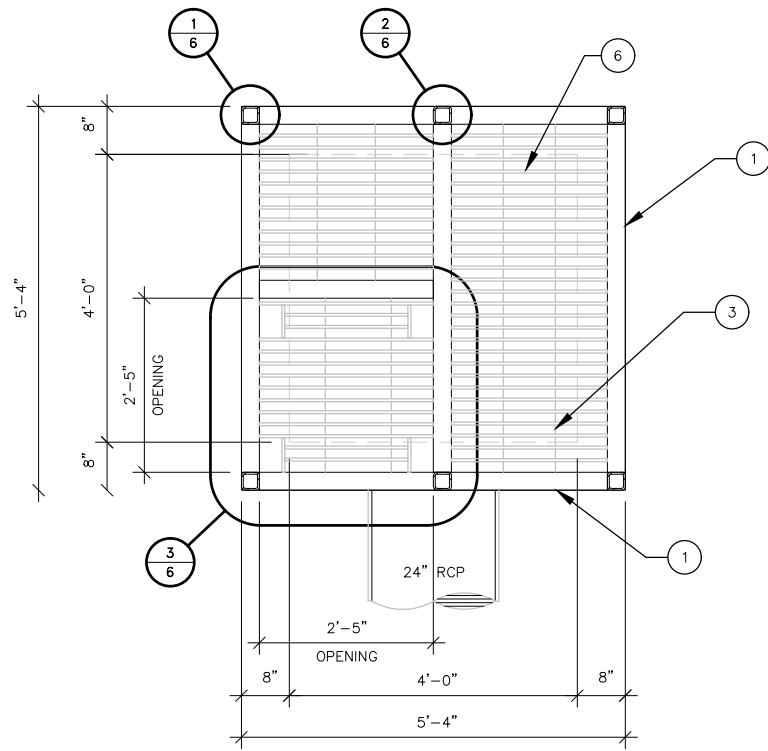
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NO.	DATE	REVISION

POND 3
TOWN OF CLAYTON, BROWN COUNTY, WI
POND PLAN

DESIGNED MJK	DRAWN MJK
PROJECT NO. C1069-09-23-00271	
DATE JUNE 2023	
SHEET NO. 2 / 53	

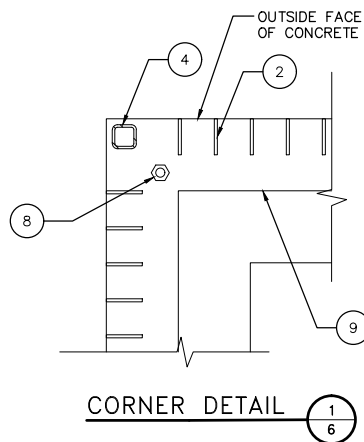
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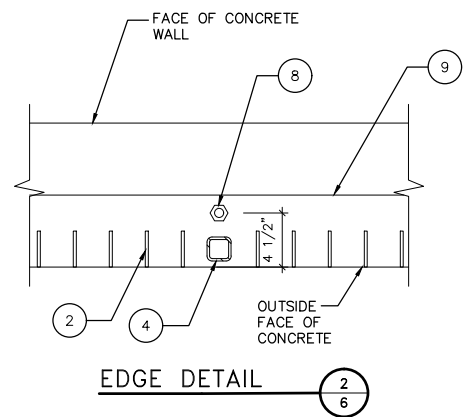
TOP TRASH RACK DETAIL PLAN VIEW

ELEMENT KEY

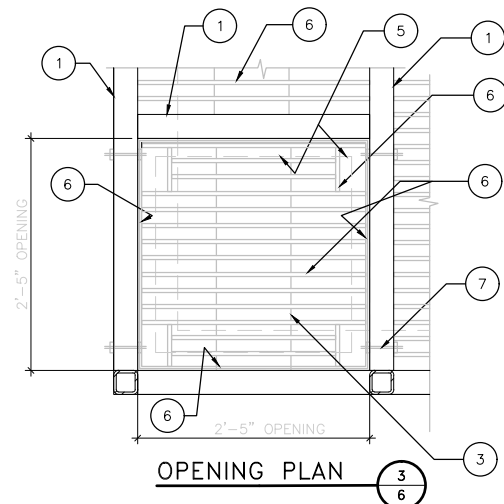
- 1 HSS 3x3x1/4
- 2 1/4"x3" PLATE @ 3"o.c. MAXIMUM
- 3 1/2" DIA BAR @ 10"o.c. MAXIMUM
- 4 HSS2x2x1/4
- 5 1/4"x2" HORIZONTAL PLATE WELDED TO SIDE OF HSS3x3x1/4
- 6 1/4"x2" PLATE @ 2"o.c. MAXIMUM
- 7 3/8" DIA. SST BOLT
- 8 3/8" DIA. SST ADHESIVE ANCHOR @ 24"o.c. MAXIMUM
- 9 3/8"x5 1/2"x CONT. PLATE



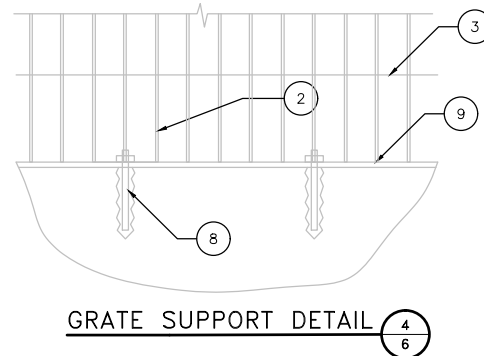
CORNER DETAIL



EDGE DETAIL



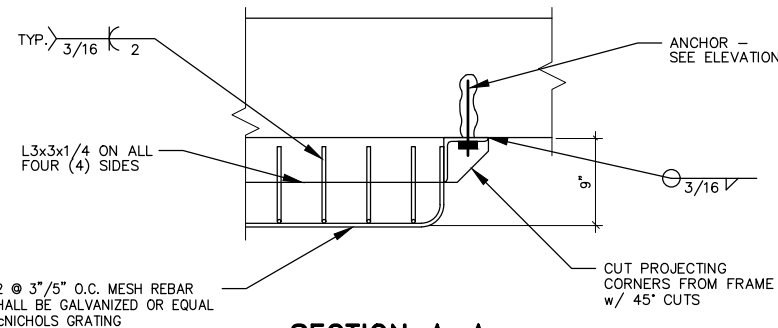
OPENING PLAN



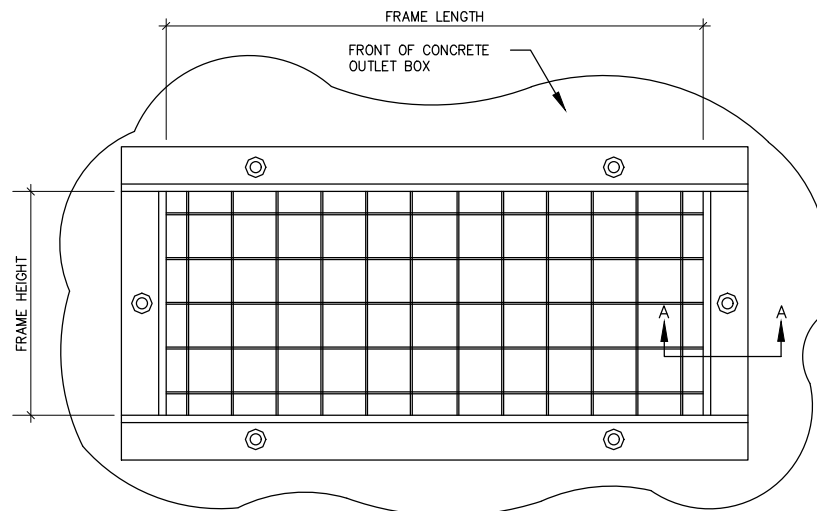
GRATE SUPPORT DETAIL

STRUCTURAL STEEL

- STRUCTURAL STEEL SHALL MEET THE FOLLOWING SPECIFICATIONS:
 BARS & PLATES - ASTM A36 THREADED BOLTS - ASTM A301
 ANCHOR BOLTS - ASTM A36 THREADED BOLTS - ASTM A36
 WELDS - E70 XX
 ALL STEEL SHALL BE GALVANIZED
- ALL DETAILING, FABRICATION AND ERECTION SHALL CONFORM TO THE AISC "LOAD AND RESISTANCE FACTOR DESIGN SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS" AND "CODE OF STANDARD PRACTICE FOR BUILDINGS AND BRIDGES", CURRENT EDITION.
- ALL WELDING SHALL BE PERFORMED BY A CERTIFIED WELDER IN ACCORDANCE WITH A.W.S. CODE FOR WELDING IN BUILDING CONSTRUCTION. SURFACES FOR FIELD WELDED MATERIAL SHALL BE PROPERLY PREPARED PRIOR TO BEING WELDED TO ASSURE A GOOD QUALITY WELD. REMOVE PAINT, GREASE, DIRT, ETC.
- ALL STEEL MEMBERS SHALL BE WELDED WITH A 3/16" CONTINUOUS FILLET WELD (UNLESS OTHERWISE NOTED)
- ALL WELDS SHALL BE TOUCHED UP WITH GALVANIZING COMPOUND.



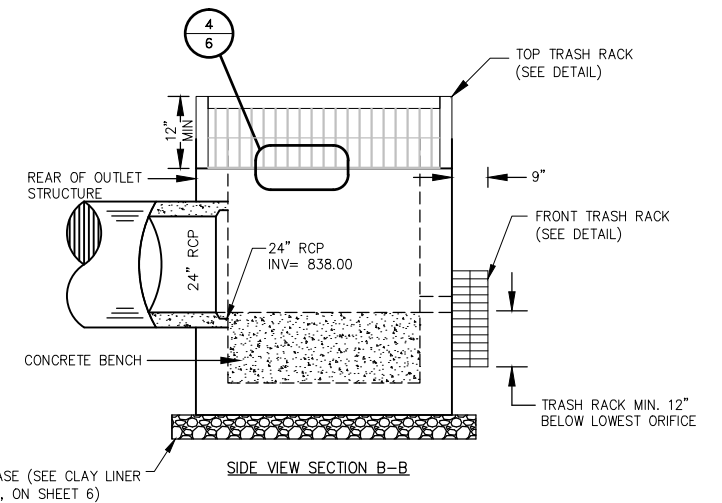
SECTION A-A



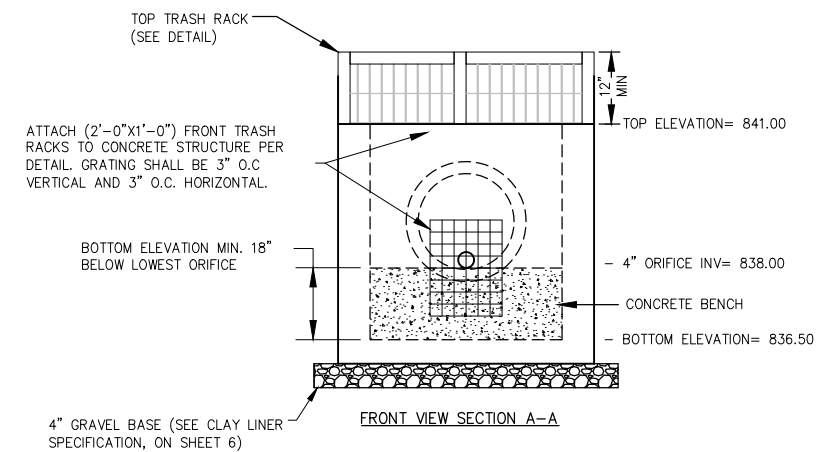
NOTES:

- WHEN FRAME HEIGHT IS 24 INCHES OR LESS, PROVIDE (1) ANCHOR PER VERTICAL LEG, OTHERWISE PROVIDE TWO OR MORE ANCHORS @ 24" O.C. MAX.
- WHEN FRAME LENGTH IS 12" OR LESS, PROVIDE (1) ANCHOR PER HORIZONTAL LEG, OTHERWISE PROVIDE TWO OR MORE ANCHORS @ 24" O.C. MAX.
- PROVIDE 3/8" EPOXY ANCHOR EMBEDDED 4" MIN. INTO CONCRETE WHERE REQUIRED BY THIS DRAWING OR NOTES.
- SEE OUTLET STRUCTURE DETAIL FOR TRASH RACK FRAME SIZE.

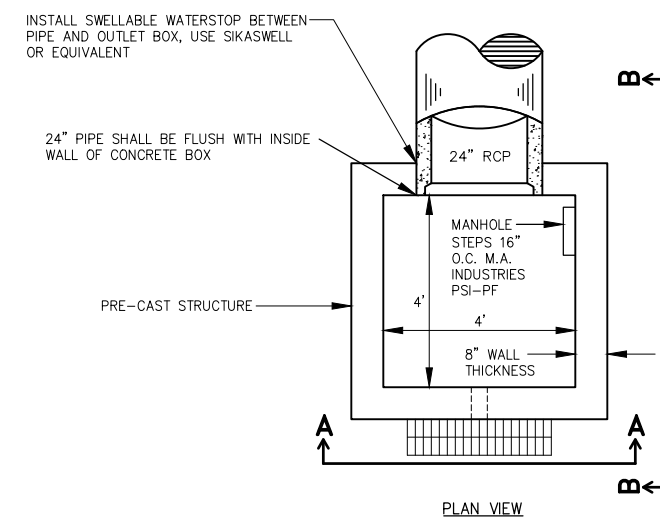
FRONT TRASH RACK DETAIL-ELEVATION VIEW



SIDE VIEW SECTION B-B



FRONT VIEW SECTION A-A



PLAN VIEW

POND OUTLET STRUCTURE DETAIL

*NOTE: THE CONTRACTOR MAY UTILIZE "STORM RAX" RACKS AND DEBRIS CAGES IN LIEU OF THE ABOVE STEEL TRASH RACKS. RACKS SHALL BE ATTACHED WITH STAINLESS STEEL CONCRETE SCREWS INTO CONCRETE BOX.

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Item A.

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REVISION

DATE

NO.

DESIGNED
MJK

DRAWN
MJK

PROJECT NO.
C1069-09-23-00271

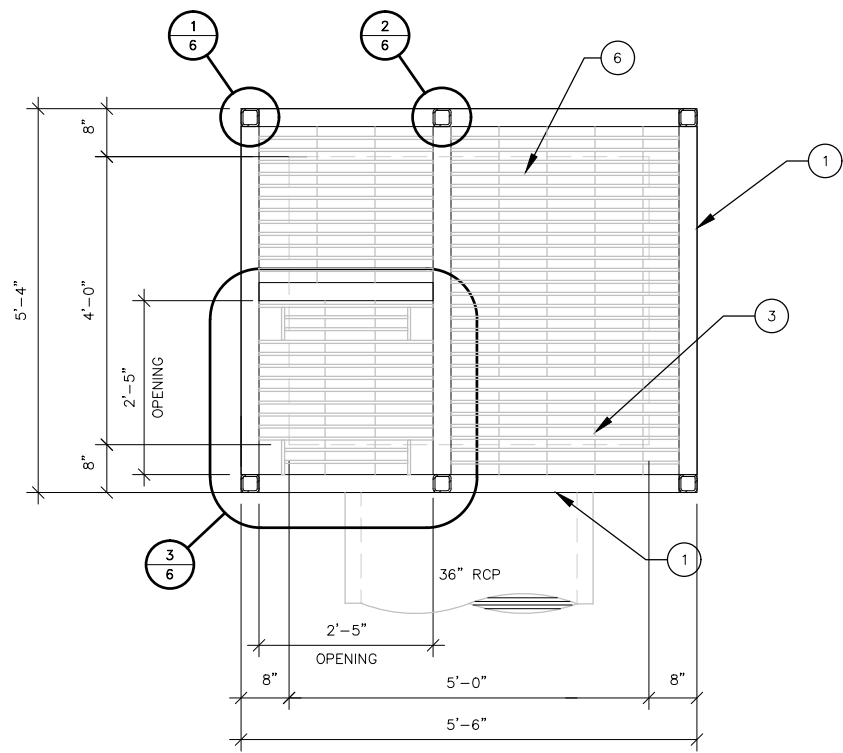
DATE
JUNE, 2023

SHEET NO.

2 54

SCHOLAR RIDGE ESTATES - PHASE 1
 TOWN OF CLAYTON
 POND 2 OUTLET STRUCTURE DETAILS

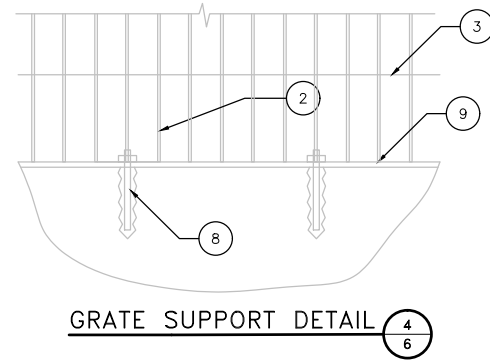
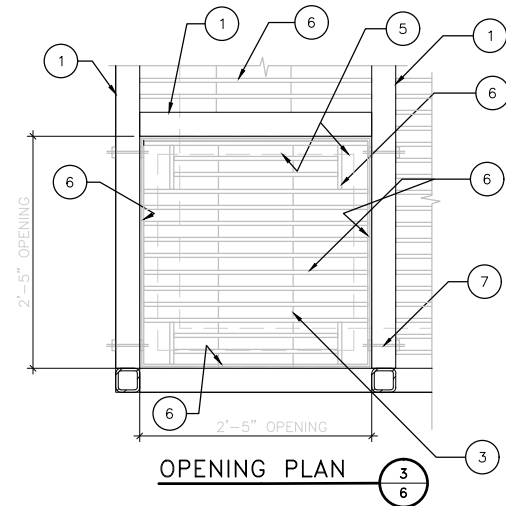
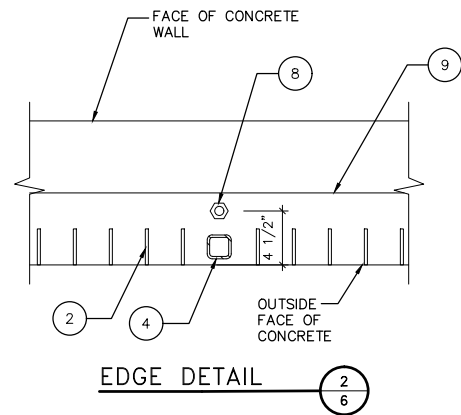
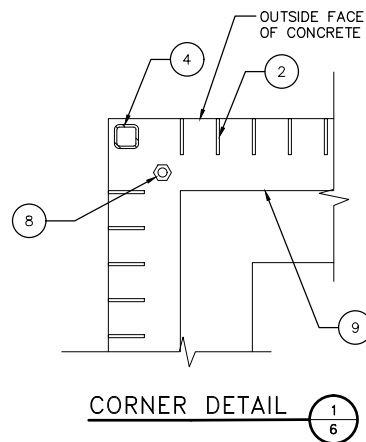
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TOP TRASH RACK DETAIL PLAN VIEW

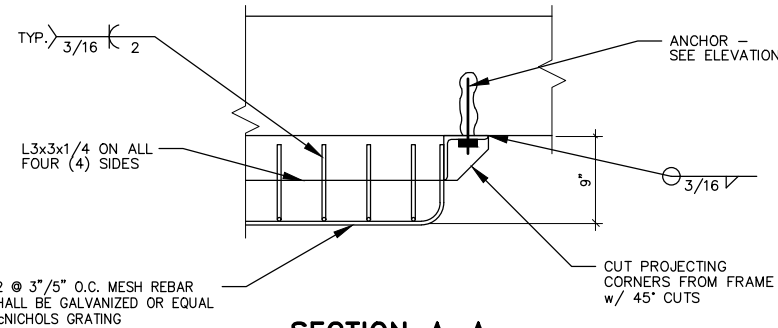
ELEMENT KEY

- 1 HSS 3x3x1/4
- 2 1/4"x3" PLATE @ 3" o.c. MAXIMUM
- 3 1/2" DIA BAR @ 10" o.c. MAXIMUM
- 4 HSS2x2x1/4
- 5 1/4"x2" HORIZONTAL PLATE WELDED TO SIDE OF HSS3x3x1/4
- 6 1/4"x2" PLATE @ 2" o.c. MAXIMUM
- 7 3/8" DIA. SST BOLT
- 8 3/8" DIA. SST ADHESIVE ANCHOR @ 24" o.c. MAXIMUM
- 9 3/8"x5 1/2"x CONT. PLATE

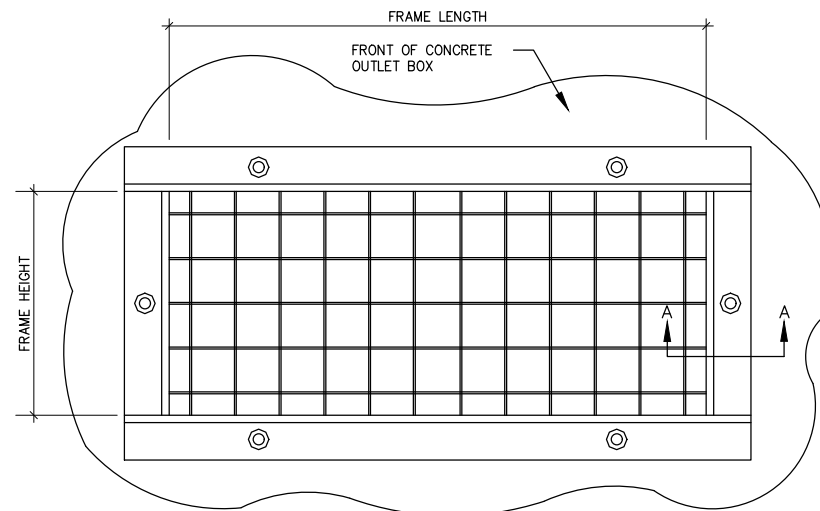


STRUCTURAL STEEL

- STRUCTURAL STEEL SHALL MEET THE FOLLOWING SPECIFICATIONS:
 BARS & PLATES - ASTM A36 THREADED BOLTS - ASTM A301
 ANCHOR BOLTS - ASTM A36 THREADED BOLTS - ASTM A36
 WELDS - E70 XX
 ALL STEEL SHALL BE GALVANIZED
- ALL DETAILING, FABRICATION AND ERECTION SHALL CONFORM TO THE AISC "LOAD AND RESISTANCE FACTOR DESIGN SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS" AND "CODE OF STANDARD PRACTICE FOR BUILDINGS AND BRIDGES", CURRENT EDITION.
- ALL WELDING SHALL BE PERFORMED BY A CERTIFIED WELDER IN ACCORDANCE WITH A.W.S. CODE FOR WELDING IN BUILDING CONSTRUCTION. SURFACES FOR FIELD WELDED MATERIAL SHALL BE PROPERLY PREPARED PRIOR TO BEING WELDED TO ASSURE A GOOD QUALITY WELD. REMOVE PAINT, GREASE, DIRT, ETC.
- ALL STEEL MEMBERS SHALL BE WELDED WITH A 3/16" CONTINUOUS FILLET WELD (UNLESS OTHERWISE NOTED)
- ALL WELDS SHALL BE TOUCHED UP WITH GALVANIZING COMPOUND.



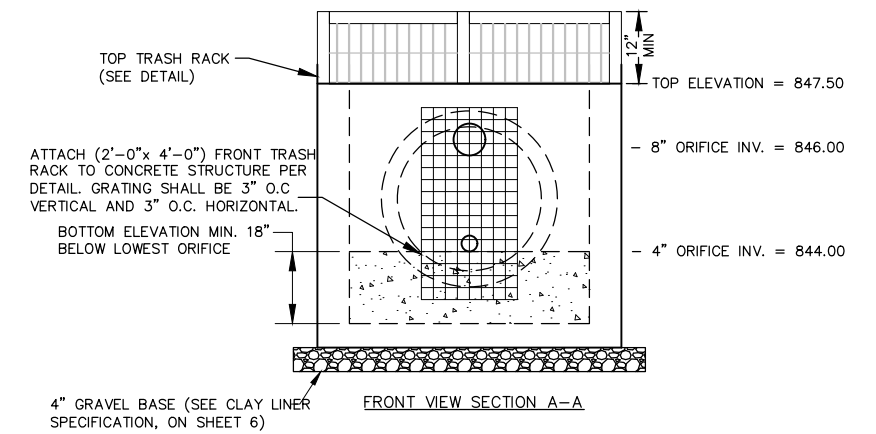
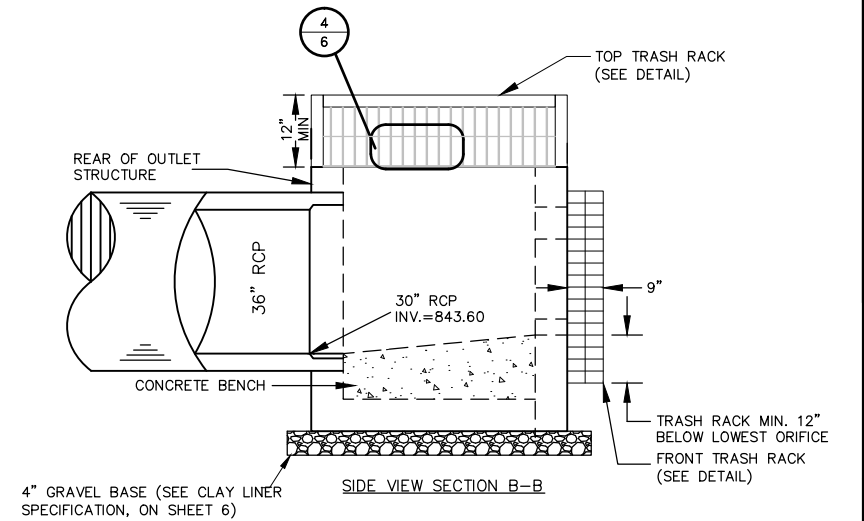
SECTION A-A



NOTES:

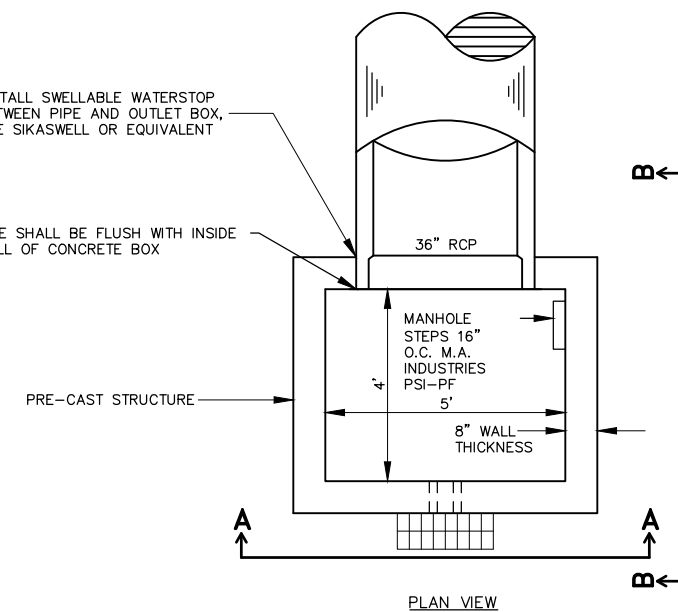
- WHEN FRAME HEIGHT IS 24 INCHES OR LESS, PROVIDE (1) ANCHOR PER VERTICAL LEG, OTHERWISE PROVIDE TWO OR MORE ANCHORS @ 24" O.C. MAX.
- WHEN FRAME LENGTH IS 12" OR LESS, PROVIDE (1) ANCHOR PER HORIZONTAL LEG, OTHERWISE PROVIDE TWO OR MORE ANCHORS @ 24" O.C. MAX.
- PROVIDE 3/8" EPOXY ANCHOR EMBEDDED 4" MIN. INTO CONCRETE WHERE REQUIRED BY THIS DRAWING OR NOTES.
- SEE OUTLET STRUCTURE DETAIL FOR TRASH RACK FRAME SIZE.

FRONT TRASH RACK DETAIL-ELEVATION VIEW



INSTALL SWELLABLE WATERSTOP BETWEEN PIPE AND OUTLET BOX, USE SIKASWELL OR EQUIVALENT

PIPE SHALL BE FLUSH WITH INSIDE WALL OF CONCRETE BOX



POND OUTLET STRUCTURE

NOTE: THE CONTRACTOR MAY UTILIZE "STORM RAY" RACKS AND DEBRIS CAGES IN LIEU OF THE ABOVE STEEL TRASH RACKS. RACKS SHALL BE ATTACHED WITH STAINLESS STEEL CONCRETE SCREWS INTO CONCRETE BOX.

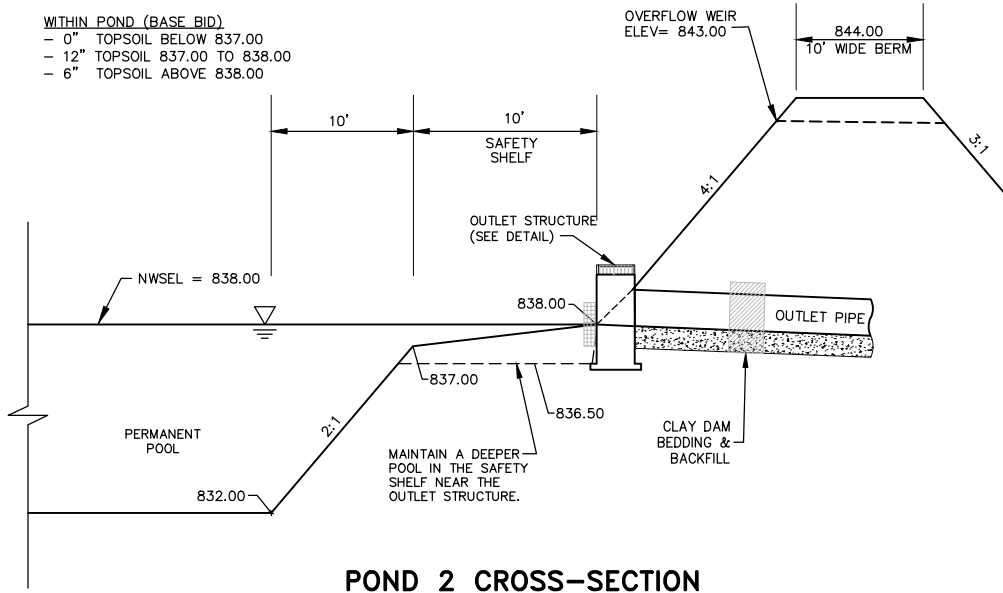
Item A.
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 ENGINEERS ARCHITECTS
 McMAHON ASSOCIATES, INC.
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NO.	DATE	REVISION

SCHOLAR RIDGE ESTATES - PHASE 1
TOWN OF CLAYTON
POND 3 OUTLET STRUCTURE DETAILS

DESIGNED MJK	DRAWN MJK
PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO. 255	

WITHIN POND (BASE BID)
 - 0" TOPSOIL BELOW 837.00
 - 12" TOPSOIL 837.00 TO 838.00
 - 6" TOPSOIL ABOVE 838.00

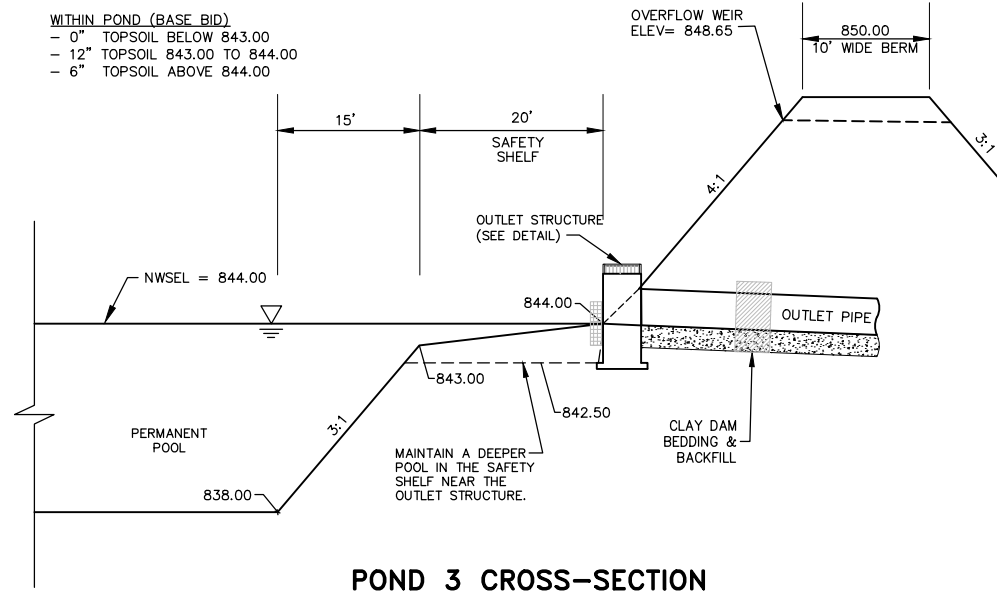


POND 2 CROSS-SECTION

NOTE: ALL ELEVATIONS ARE TO FINISHED GRADE

* SEE CLAY LINER SPECIFICATION.

WITHIN POND (BASE BID)
 - 0" TOPSOIL BELOW 843.00
 - 12" TOPSOIL 843.00 TO 844.00
 - 6" TOPSOIL ABOVE 844.00



POND 3 CROSS-SECTION

NOTE: ALL ELEVATIONS ARE TO FINISHED GRADE

* SEE CLAY LINER SPECIFICATION.

CLAY LINER SPECIFICATIONS (TYP.)

LINER THICKNESS = 4 FEET
 IN PLACE HYDRAULIC CONDUCTIVITY = 1×10^{-7} CM/SEC OR LESS
 MINIMUM OF 50% BY WEIGHT WHICH PASSES THE 200 SIEVE
 AVERAGE LIQUID LIMIT OF 25 OR GREATER, NONE LESS THAN 20
 AVERAGE PLASTICITY INDEX OF 12 OR GREATER, NONE LESS THAN 10

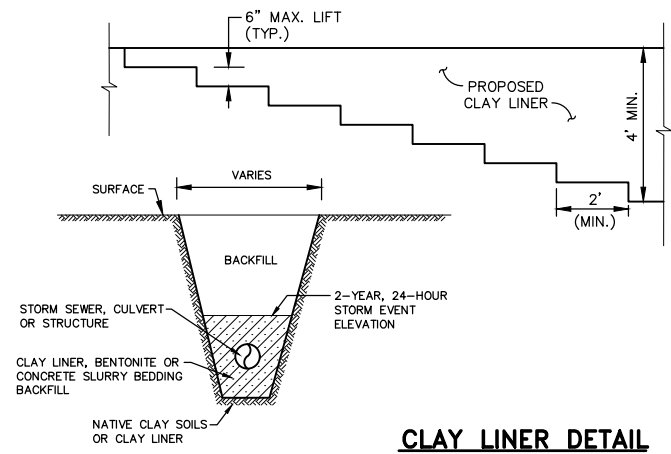
ALL CLAY LAYERS IN THE LINER TO BE CONSTRUCTED IN LIFT HEIGHTS NO GREATER THAN 6 INCHES AFTER COMPACTION USING FOOTED COMPACTION EQUIPMENT HAVING FEET AT LEAST AS LONG AS THE LOOSE LIFT HEIGHT. CLAY IS TO BE DISKED OR OTHERWISE MECHANICALLY PROCESSED BEFORE COMPACTION TO BREAK UP CLODS AND ALLOW FOR MOISTURE ADJUSTMENT. CLOD SIZE TO BE NO GREATER THAN 4 INCHES.

A SUFFICIENT NUMBER OF PASSES OF THE COMPACTION EQUIPMENT IS TO BE MADE OVER EACH LIFT OF CLAY TO ENSURE COMPLETE REMOLDING OF THE CLAY.

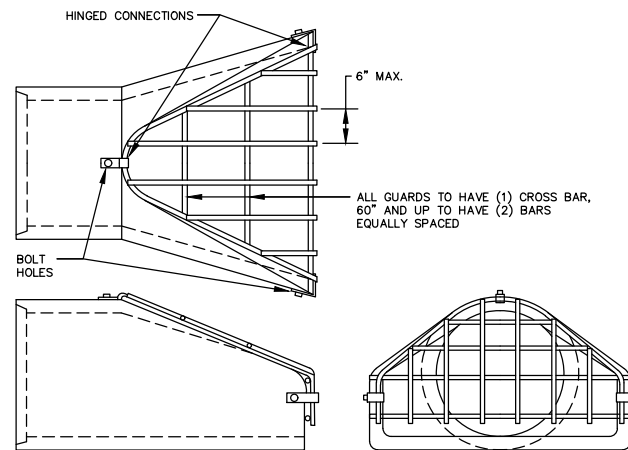
ALL CLAY TO BE COMPACTED TO 90% MODIFIED OR 95% STANDARD PROCTOR DENSITY AT A MOISTURE CONTENT OF AT LEAST 2% WET OF OPTIMUM IF USING THE MODIFIED PROCTOR METHOD AND WET OF OPTIMUM IF USING THE STANDARD PROCTOR METHOD, BASED ON THE CHARACTERISTICS OF THE APPROPRIATE PROCTOR CURVE FOR THE CLAY BEING PLACED. THE CLAY LINER IS TO BE KEYS TOGETHER TO FORM A CONTINUOUS CLAY SEAL, SEE DETAIL.

CLAY LINER SHALL BE PLACED OVER NATIVE SOILS THAT DO NOT SATISFY THE CLAY LINER SPECIFICATIONS. A GEOTECHNICAL ENGINEER SHALL DETERMINE WHICH SOILS DO NOT SATISFY THE CLAY LINER SPECIFICATIONS. THE GEOTECHNICAL ENGINEER SHALL INSPECT SOILS WITHIN THE PERMANENT POOL AND UP TO THE POND'S 2-YEAR, 24-HOUR WATER SURFACE ELEVATION. UPON COMPLETION OF THE LINER, A GEOTECHNICAL ENGINEER REGISTERED IN WISCONSIN SHALL PROVIDE A LETTER OF OPINION INDICATING IF THE CLAY LINER SATISFIES THESE SPECIFICATIONS.

WHERE STORM SEWER, CULVERT OF OTHER STRUCTURE PASSES THROUGH NATIVE CLAY OR CLAY LINER, THE CONTRACTOR SHALL INSTALL CLAY LINER, BENTONITE OR CONCRETE SLURRY (2.0 BAG/C.Y. MIX) BEDDING IN LIEU OF GRAVEL BEDDING & BACKFILL. THE LINER & BENTONITE OR SLURRY SHALL MINIMIZE SEEPAGE ALONG THE OUTSIDE WALL OF THE STORM SEWER, CULVERT OR STRUCTURE INCLUDING AT THE PIPE JOINT THE HOLES AND PIPE JOINTS. IF BENTONITE IS USED, THE BENTONITE SHALL BE POSITIONED BETWEEN PIPE JOINTS. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE BEDDING SUPPORT FOR THE STORM SEWER, CULVERT OR STRUCTURE.



CLAY LINER DETAIL

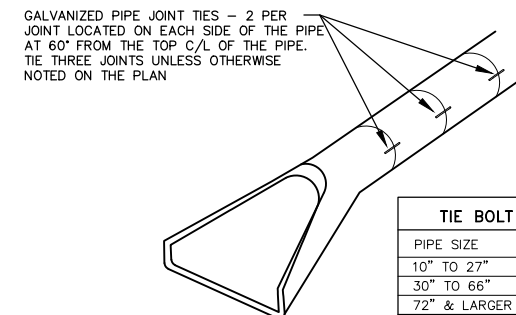


HOT DIP GALVANIZED PER ASTM-A153

BAR SIZES		STANDARD DESIGN		
PIPE SIZE	HOLE DIA. REQ'D.	BOLT DIA.	BAR SIZE	
10"-24"	3/4"	5/8"	5/8"	
27"-48"	7/8"	3/4"	3/4"	
54"-90"	1 1/8"	1"	1"	
22"-29"	3/4"	5/8"	5/8"	
36"-59"	7/8"	3/4"	3/4"	
65"-88"	1 1/8"	1"	1"	

BOLT LG. = PIPE WALL THK. + 2 1/2"

TRASH GUARD FOR FLARED ENDS



TIE BOLT REQUIREMENTS		
PIPE SIZE	BAR DIA.	BOLTS
10" TO 27"	5/8"	32"
30" TO 66"	3/4"	32"
72" & LARGER	1"	32"

CONCRETE APRON DETAIL

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Item A.

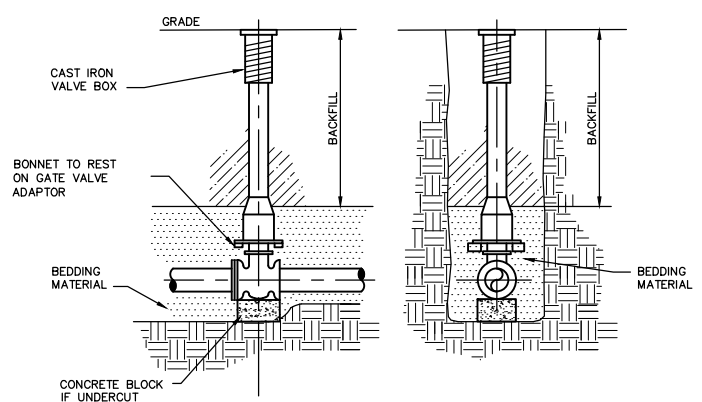
McMAHON ASSOCIATES, INC.
 1445 McMAHON DRIVE WEEHAW, WI 53085
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NO.	DATE	REVISION

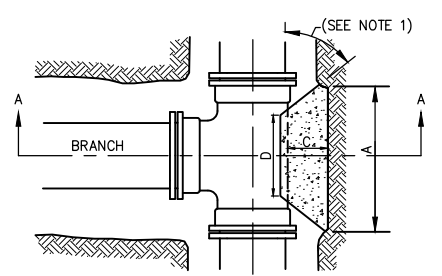
SCHOLAR RIDGE ESTATES - PHASE 1
TOWN OF CLAYTON
POND DETAILS

DESIGNED	DRAWN
MJK	MJK
PROJECT NO.	
C1069-09-23-00271	
DATE	
JUNE, 2023	
SHEET NO.	
56	

Plots: WA PROJECTS\C1069\092300271\CADD\Civil\SDA Plan Sheets\Cover-Notes-Details.dwg, 31 miscellaneous details, Plot Date: 6/9/2023 7:47 AM, xref:stcnone



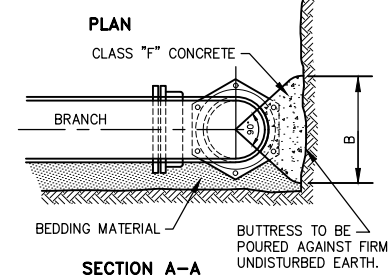
SIDE VIEW FRONT VIEW
STANDARD VALVE & VALVE BOX SETTING



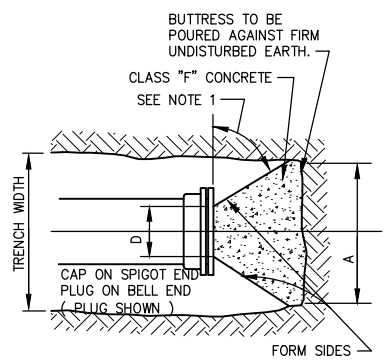
BUTTRUSS DIMENSIONS				
B.D.	A	B	C	D
6"	1'-3"	1'-0"	SEE NOTE 1	SEE NOTE 2
8"	1'-6"	1'-4"		
12"	2'-3"	2'-0"	SEE NOTE 1	SEE NOTE 2
16"	3'-2"	2'-6"		
20"	4'-0"	3'-0"	SEE NOTE 1	SEE NOTE 2
24"	5'-3"	3'-4"		
30"	6'-6"	4'-3"	SEE NOTE 1	SEE NOTE 2

B.D. = BRANCH DIAMETER

- NOTES:**
- DIMENSION "C" SHOULD BE LARGE ENOUGH TO MAKE ANGLE EQUAL TO OR LARGER THAN 45°.
 - DIMENSION "D" EQUALS APPROX. I.D. OF PIPE LESS 2". AN EFFORT SHOULD BE MADE TO PREVENT THE CONCRETE FROM COVERING THE M.J. BOLTS.
 - WHERE BUTTRESSES ARE NOT POSSIBLE BECAUSE OF POOR SOIL CONDITIONS OR LACK OF ROOM, STRAPPING SHALL BE PERMITTED.
 - DIMENSIONS IN TABLE ARE BASED ON A WATER PRESSURE OF 150 P.S.I. AND ON EARTH RESISTANCE OF 2 TONS PER SQ. FT.
 - ALL IRON PIPE AND FITTINGS SHALL BE WRAPPED IN POLYETHYLENE.

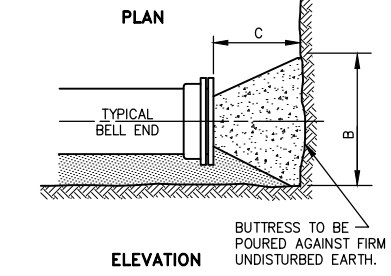


SECTION A-A
BLOCKING FOR TEES

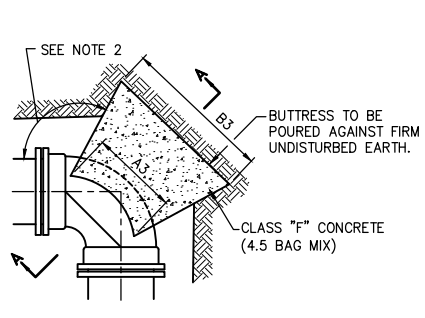


BUTTRUSS DIMENSIONS				
DIA.	A	B	C	D
6"	1'-6"	1'-2"	SEE NOTE 2	SEE NOTE 3
8"	2'-0"	1'-4"		
12"	2'-5"	1'-10"	SEE NOTE 2	SEE NOTE 3
16"	3'-4"	2'-4"		
20"	4'-3"	2'-10"	SEE NOTE 2	SEE NOTE 3
24"	5'-2"	3'-4"		
30"	6'-9"	4'-0"	SEE NOTE 2	SEE NOTE 3

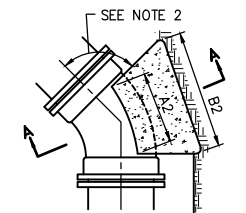
- NOTES:**
- DIMENSIONS IN TABLE ARE BASED ON A WATER PRESSURE OF 150 P.S.I. AND ON EARTH RESISTANCE OF 2 TONS PER SQ. FT.
 - DIMENSION C SHOULD BE LARGE ENOUGH TO MAKE ANGLE EQUAL TO OR LARGER THAN 45°.
 - DIMENSION D SHOULD BE AS LARGE AS POSSIBLE WITHOUT INTERFERING WITH M.J. BOLTS.
 - SHAPE OF BACK OF BUTTRUSS MAY VARY AS LONG AS POUR IS AGAINST FIRM UNDISTURBED EARTH.
 - ALL IRON PIPE AND FITTINGS SHALL BE WRAPPED IN POLYETHYLENE.



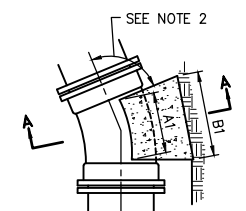
ELEVATION
BLOCKING FOR PLUGS



PLAN - 90° BEND

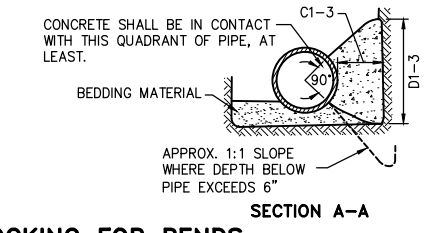


PLAN - 45° BEND



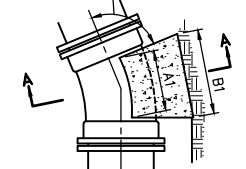
PLAN - 22-1/2° BEND

PIPE SIZE	BUTTRUSS DIMENSIONS					
	22-1/2° BENDS		45° BENDS		90° BENDS	
	B1	D1	B2	D2	B3	D3
6"	1'-0"	1'-0"	1'-0"	1'-0"	1'-4"	1'-2"
8"	1'-0"	1'-0"	1'-4"	1'-2"	1'-10"	1'-6"
12"	1'-4"	1'-4"	1'-10"	1'-10"	2'-0"	2'-3"
16"	1'-10"	1'-8"	2'-6"	2'-4"	3'-10"	2'-10"
20"	2'-4"	2'-0"	3'-3"	2'-10"	3'-0"	3'-4"
24"	2'-10"	2'-4"	4'-0"	3'-3"	6'-4"	3'-10"
30"	3'-6"	3'-0"	5'-4"	3'-10"	8'-0"	4'-8"



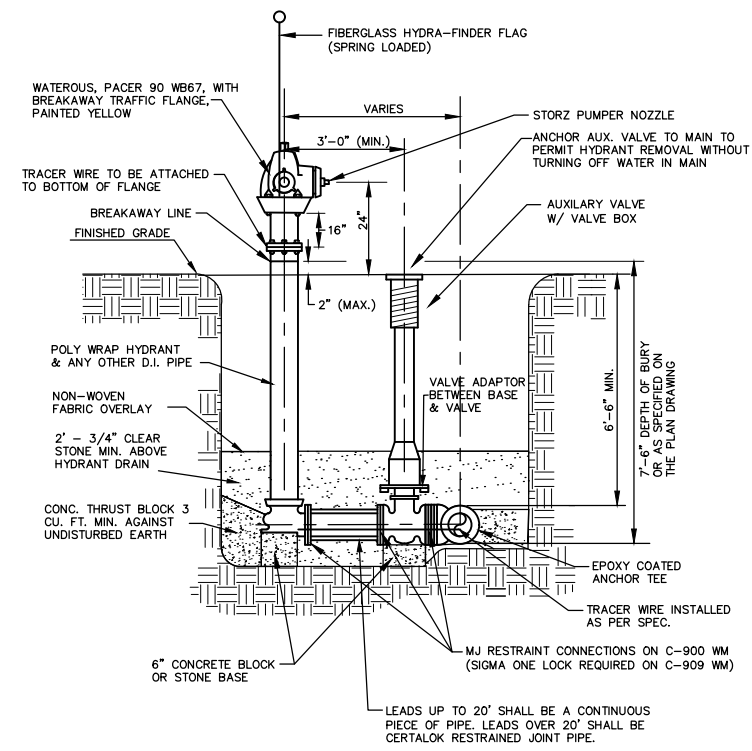
SECTION A-A
BLOCKING FOR BENDS

- NOTES:**
- DIMENSIONS IN TABLE ARE BASED ON A WATER PRESSURE OF 150 P.S.I. AND ON EARTH RESISTANCE OF 2 TONS PER SQ. FT.
 - DIMENSION C1-3 SHOULD BE LARGE ENOUGH TO MAKE ANGLE EQUAL TO OR LARGER THAN 45°.
 - DIMENSION A1-3 SHOULD BE AS LARGE AS POSSIBLE WITHOUT INTERFERING WITH M.J. BOLTS.
 - SHAPE OF BACK OF BUTTRUSS MAY VARY AS LONG AS POUR IS AGAINST FIRM UNDISTURBED EARTH.
 - ALL IRON PIPE AND FITTINGS SHALL BE WRAPPED IN POLYETHYLENE.

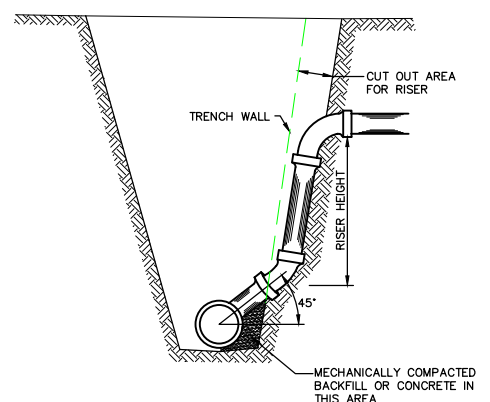


PLAN - 22-1/2° BEND

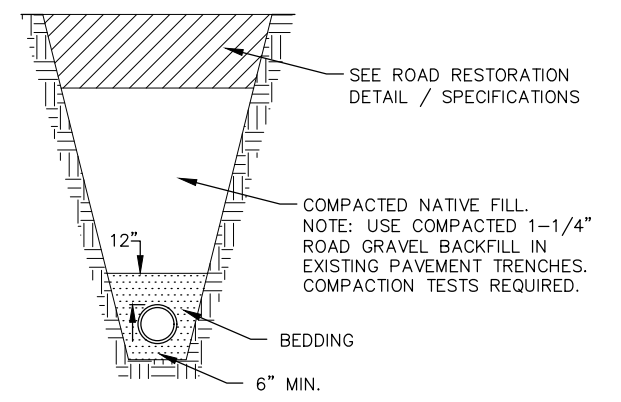
BLOCKING FOR BENDS



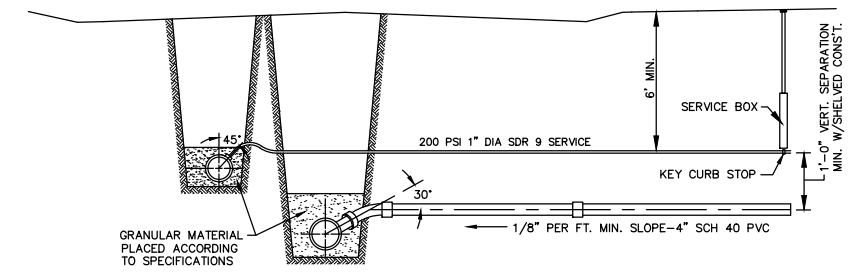
HYDRANT & VALVE INSTALLATION DETAIL



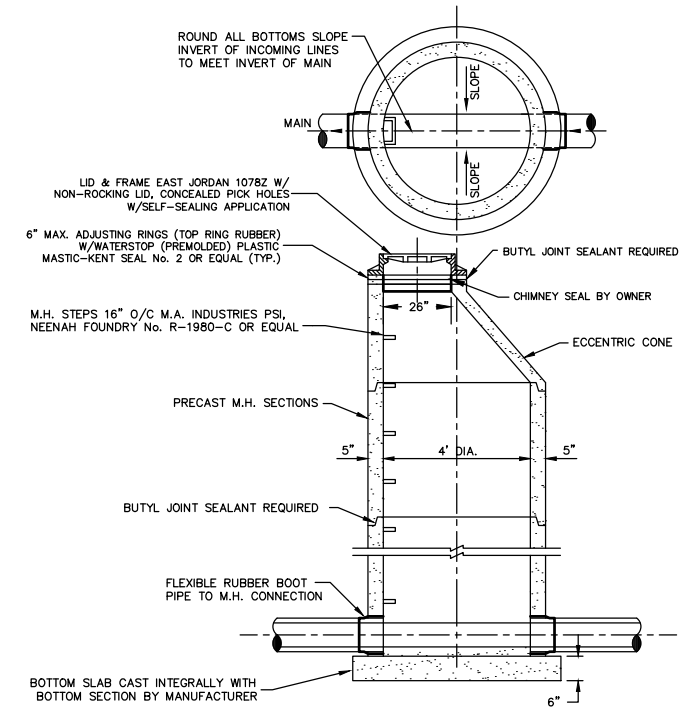
SANITARY LATERAL RISER



TYPICAL TRENCH DETAIL



TYPICAL CONNECTION SEWER & WATER



STANDARD PRECAST SANITARY MANHOLE

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Item A.

McMAHON ASSOCIATES, INC.

REVISION

DATE

NO.

SCHOLAR RIDGE ESTATES - PHASE 1

TOWN OF CLAYTON

MISCELLANEOUS DETAILS

DESIGNED ZRL

DRAWN ZRL

PROJECT NO. C1069-09-23-00271

DATE JUNE, 2023

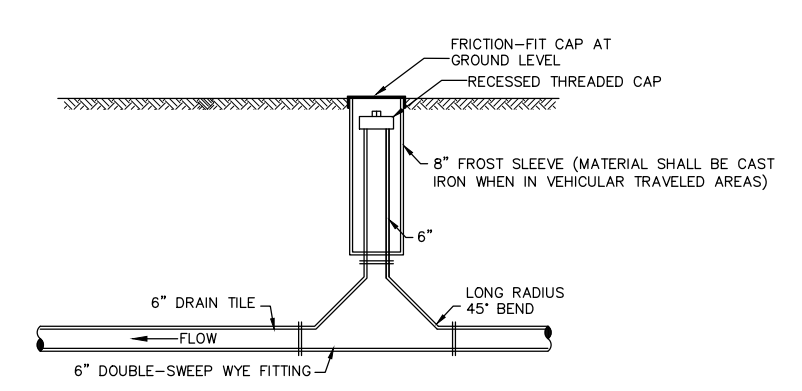
SHEET NO. 57

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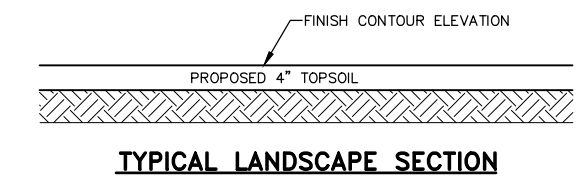
NO.	DATE	REVISION

**SCHOLAR RIDGE ESTATES - PHASE 1
 TOWN OF CLAYTON
 MISCELLANEOUS DETAILS**

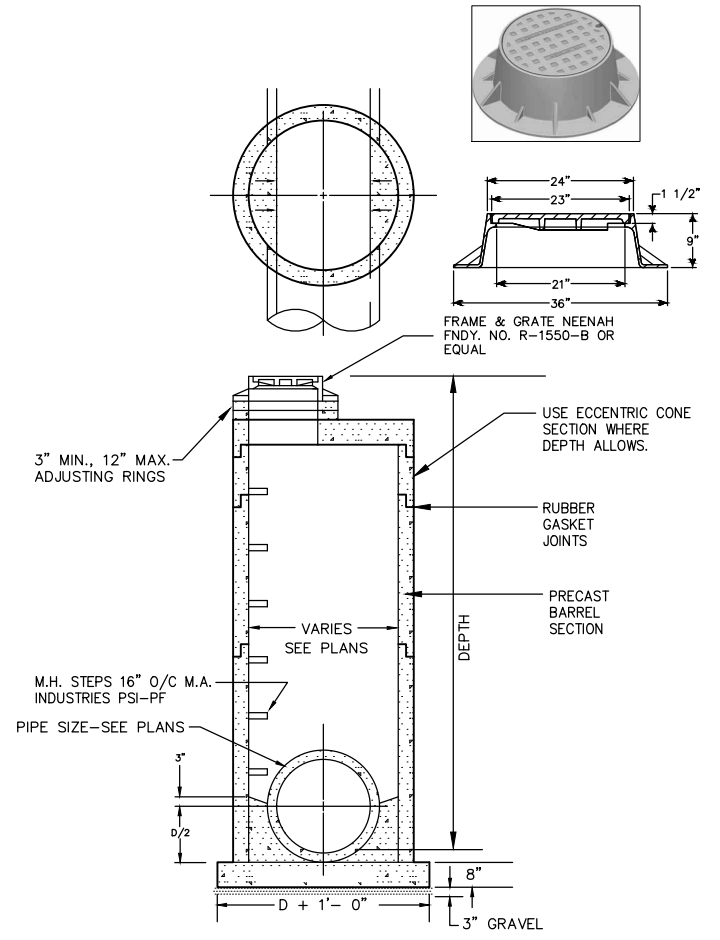
DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO. 58	



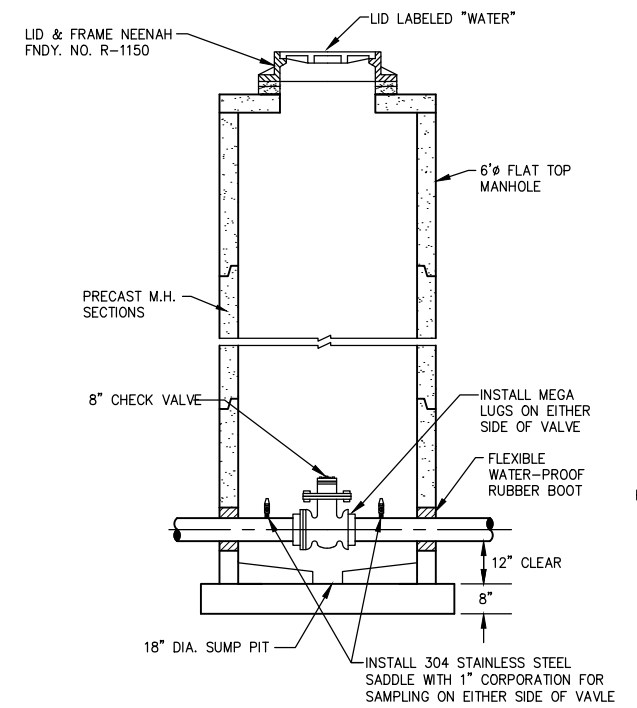
DITCH DRAIN TILE CLEANOUT DETAIL



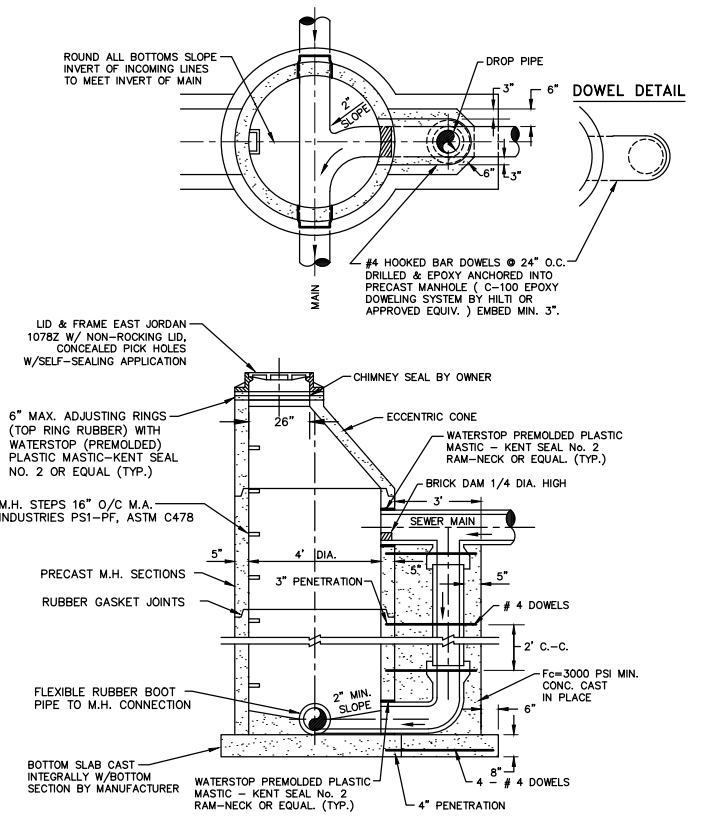
TYPICAL LANDSCAPE SECTION



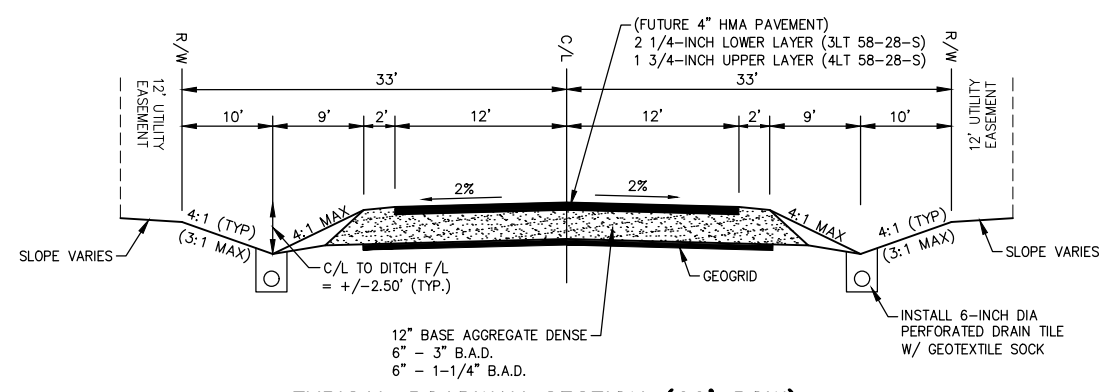
STORM MH DETAIL



CHECK VALVE MANHOLE

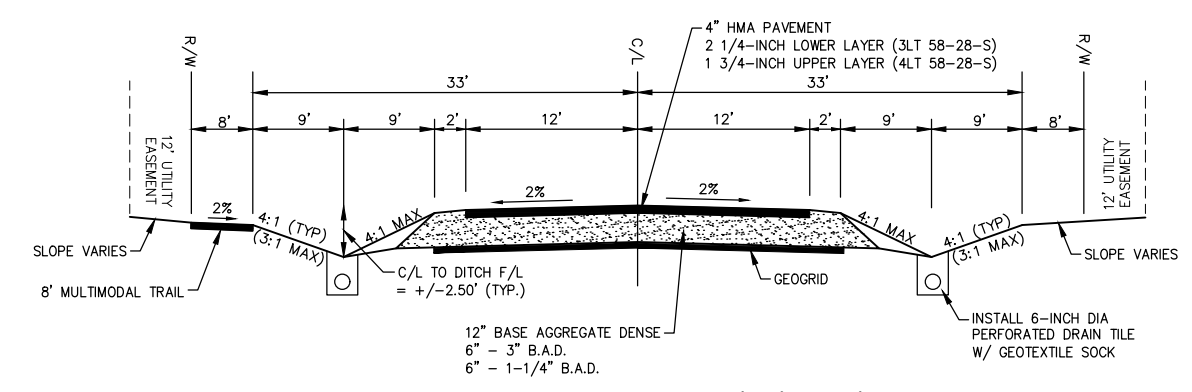


STANDARD PRECAST DROP MANHOLE



TYPICAL ROADWAY SECTION (66' ROW)

- NOTES:
- RESTORE DITCHES WITH 4" TOPSOIL, SEED, FERTILIZER & CLASS I TYPE A EROSION MAT.
 - EXTEND GRAVEL BASE 1' BEYOND BACK OF CURB IN AREAS WHERE CURB AND GUTTER IS PROPOSED. ROAD SHOULDER IS NOT REQUIRED BEHIND CURB.

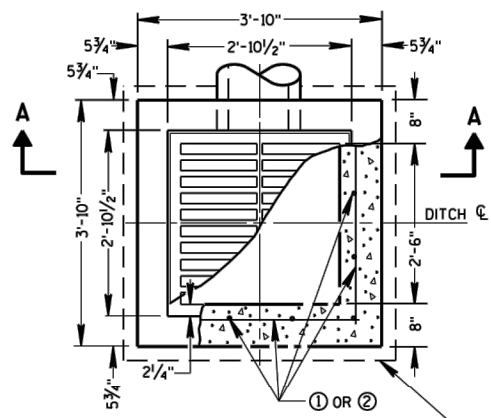


TYPICAL ROADWAY SECTION (80' ROW)

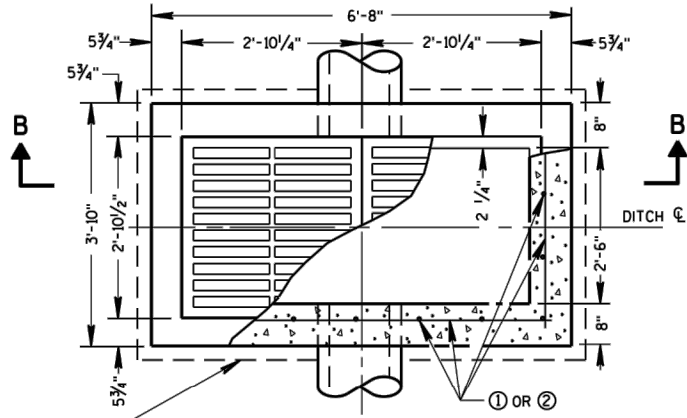
- NOTES:
- RESTORE DITCHES WITH 4" TOPSOIL, SEED, FERTILIZER & CLASS I TYPE A EROSION MAT.
 - EXTEND GRAVEL BASE 1' BEYOND BACK OF CURB IN AREAS WHERE CURB AND GUTTER IS PROPOSED. ROAD SHOULDER IS NOT REQUIRED BEHIND CURB.

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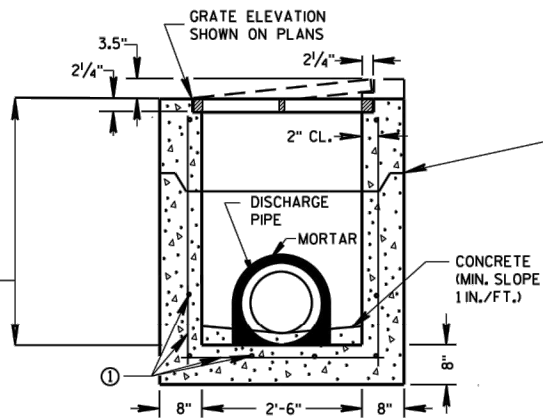
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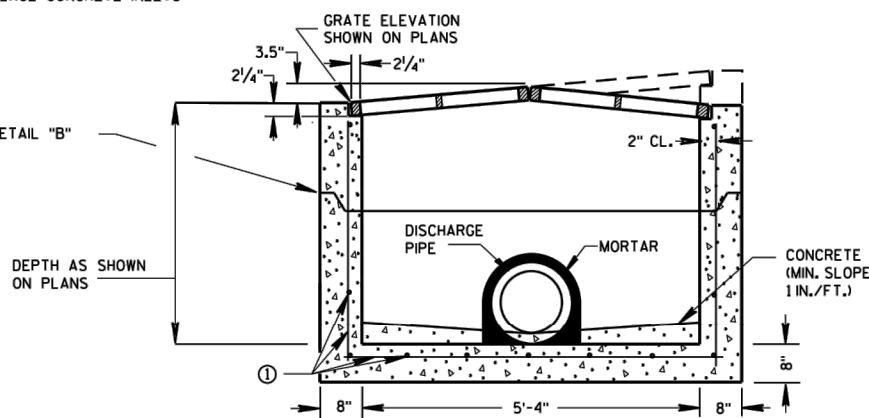
PLAN VIEW



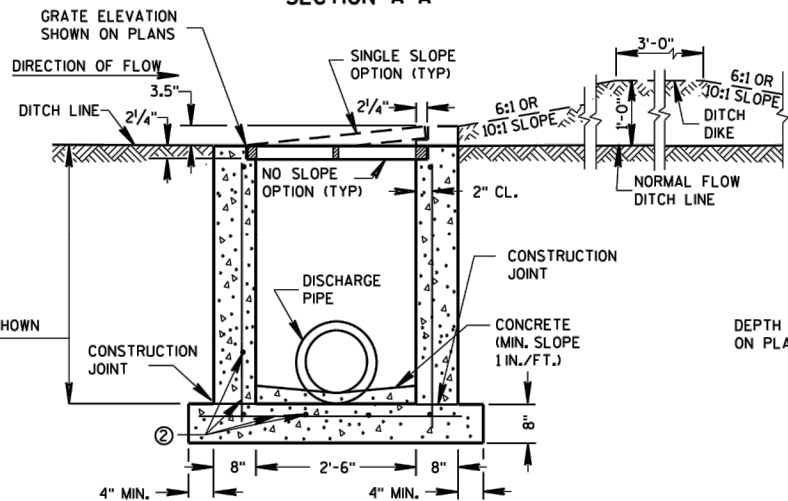
PLAN VIEW



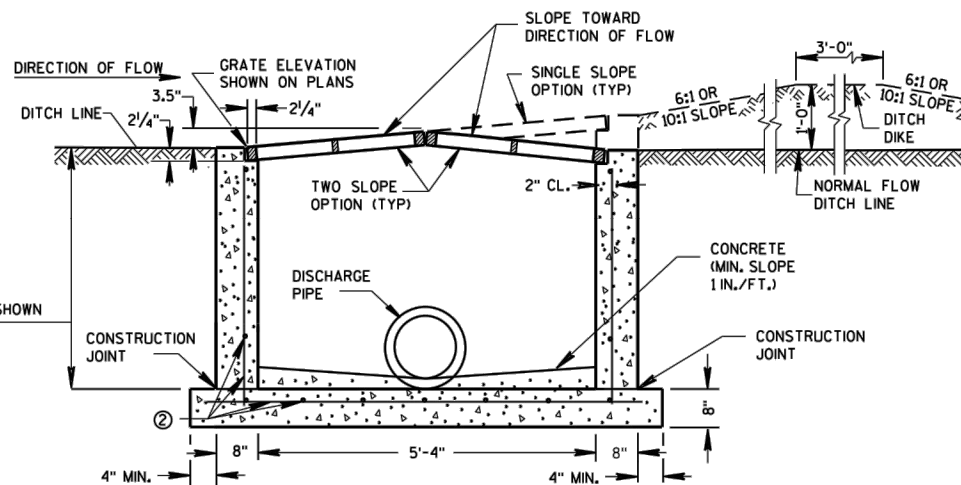
PRECAST REINFORCED CONCRETE SECTION A-A



PRECAST REINFORCED CONCRETE SECTION B-B



REINFORCED CAST-IN-PLACE CONCRETE SECTION A-A



REINFORCED CAST-IN-PLACE CONCRETE SECTION B-B

INLETS MEDIAN 1 GRATE

INLETS MEDIAN 2 GRATE

GENERAL NOTES

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.

UNLESS OTHERWISE AUTHORIZED IN WRITING BY THE ENGINEER, THE CONTRACTOR SHALL NOT ORDER AND DELIVER PRECAST INLET UNITS REQUIRED FOR THE PROJECT UNTIL A LIST OF SIZES IS FURNISHED BY THE ENGINEER.

DETAILED DRAWINGS FOR PROPOSED ALTERNATE DESIGNS FOR INLETS WHICH MAY INCLUDE PRECAST REINFORCED CONCRETE INLETS, SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PROVIDING THAT SUCH ALTERNATE DESIGNS MAKE PROVISION FOR EQUIVALENT CAPACITY AND STRENGTH.

ALL MEDIAN INLETS ARE DESIGNATED ON THE PLANS AS "INLETS, 1G-MS", ETC. THE FIRST NUMBER AND LETTER DESIGNATE THE TYPE OF STRUCTURE, AND THE FOLLOWING LETTERS DESIGNATE THE TYPE OF COVER TO BE USED TO COMPRISE THE COMPLETE UNIT.

BASES SHALL BE PLACED ON A BED OF MATERIAL AT LEAST 6 INCHES IN DEPTH, WHICH MEETS THE REQUIREMENTS OF FOUNDATION BACKFILL. THIS BEDDING SHALL BE COMPACTED AND PROVIDE UNIFORM SUPPORT FOR THE ENTIRE AREA OF THE BASE.

ALL BAR STEEL REINFORCEMENT SHALL BE EMBEDDED 2 INCHES CLEAR UNLESS OTHERWISE SHOWN OR NOTED.

PRECAST REINFORCED RISERS SHALL HAVE A TONGUE AND GROOVE JOINT WITH TONGUE UP OR DOWN.

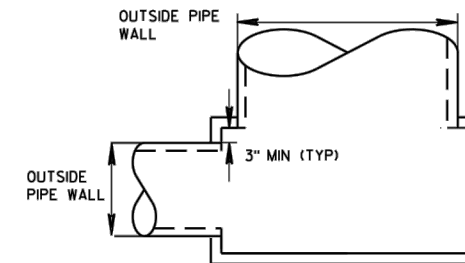
ALL PRECAST INLET UNITS SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF ASTM C 913.

MAXIMUM INSIDE PIPE DIAMETER DETERMINED BY 3" CLEARANCE ON EACH SIDE OF THE OUTSIDE WALL OF THE PIPE. SEE DETAIL "A". ASSUMES PIPE ENTERS PERPENDICULAR TO THE STRUCTURE.

- ① FOR PRECAST INLETS PROVIDE REINFORCING STEEL IN ACCORDANCE TO ASTM C 913.
- ② CONTRACTOR TO PROVIDE DRAWING(S) STAMPED BY A PROFESSIONAL ENGINEER FOR STEEL REINFORCING DESIGN FOR CAST-IN-PLACE STRUCTURES.

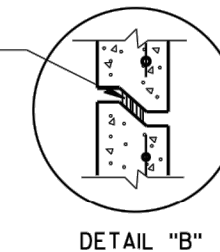
PIPE MATRIX

INLET SIZE	MAXIMUM INSIDE PIPE DIAMETER	
	WIDTH (IN)	LENGTH (IN)
1 GRATE	18	18
2 GRATE	18	42



DETAIL "A"

JOINTS TO BE SEALED WITH A BUTYL RUBBER SEAL PER SEALANT MANUFACTURERS RECOMMENDATIONS CONFORMING TO ASTM C 990 (TYP)



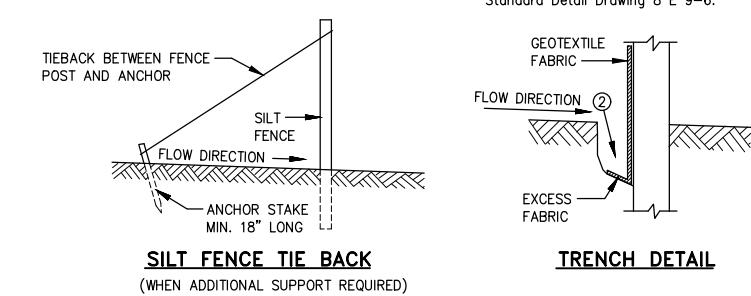
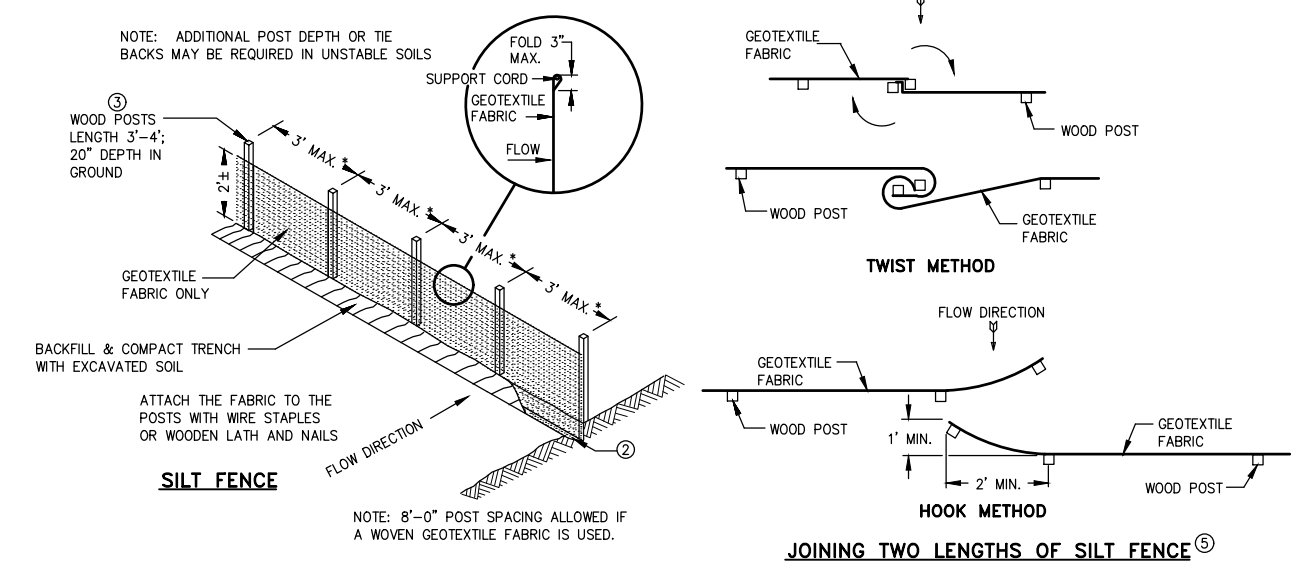
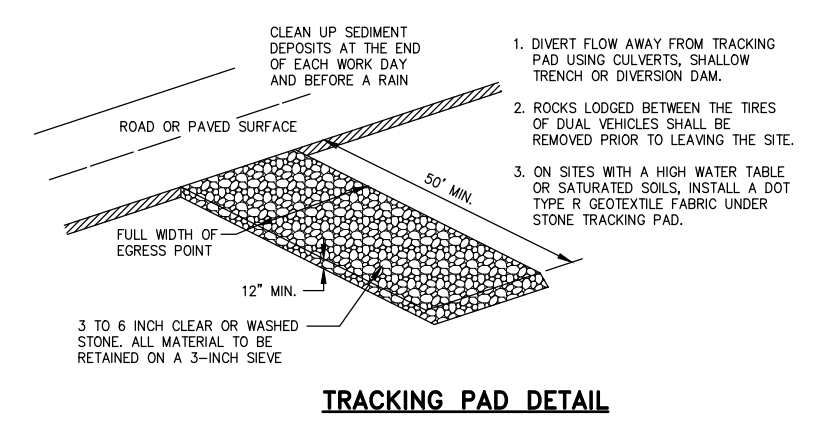
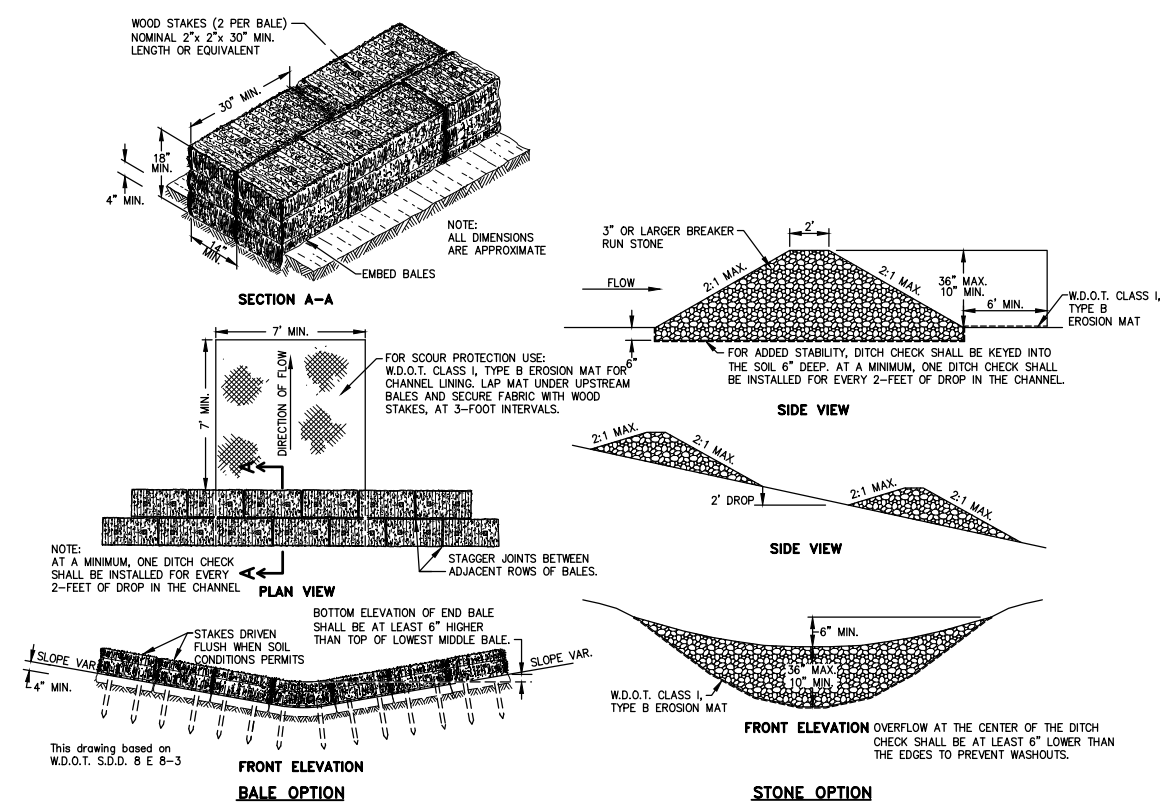
DETAIL "B"

6

SCHOLAR RIDGE ESTATES - PHASE 1
 TOWN OF CLAYTON
 MISCELLANEOUS DETAILS

DESIGNED: ZRL
 DRAWN: ZRL
 PROJECT NO.: C1069-09-23-00271
 DATE: JUNE, 2023
 SHEET NO.: 59

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 ENGINEERS & ARCHITECTS
 1445 McMAHON DRIVE NEENAH, WI 54956
 PH 920.751.4200 FAX 920.751.4284



SILT FENCE DETAIL

- GENERAL NOTES**
- HORIZONTAL BRACE REQUIRED WITH 2" x 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
 - TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
 - WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY
 - SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
 - CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS; A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B) HOOK THE END OF EACH SILT FENCE LENGTH.

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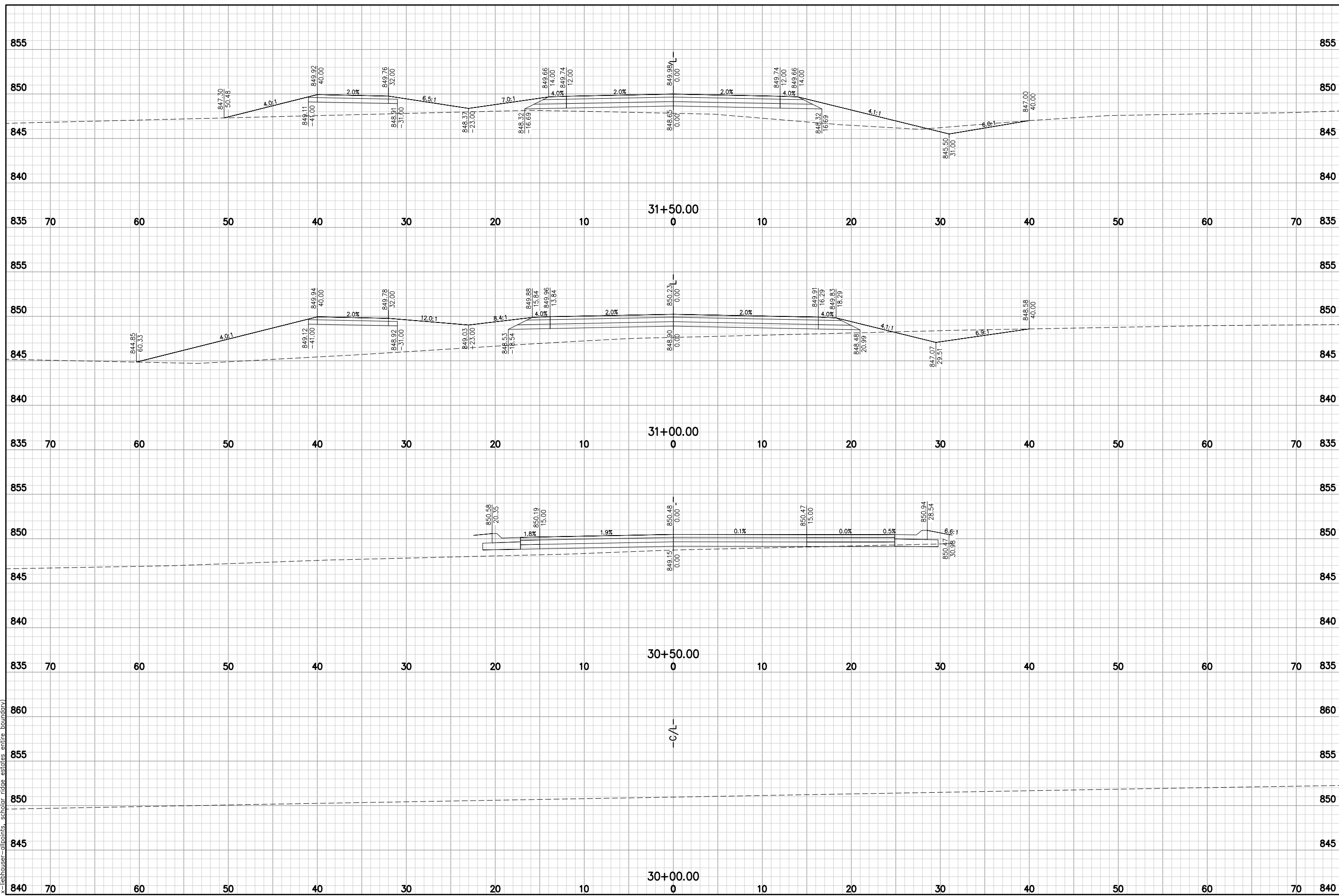
SCHOLAR RIDGE ESTATES - PHASE 1

TOWN OF CLAYTON

MISCELLANEOUS DETAILS

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DATE JUNE, 2023	
SHEET NO. 60	

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 x-libhauser-salpoints, scholar ridge estates entire boundary)



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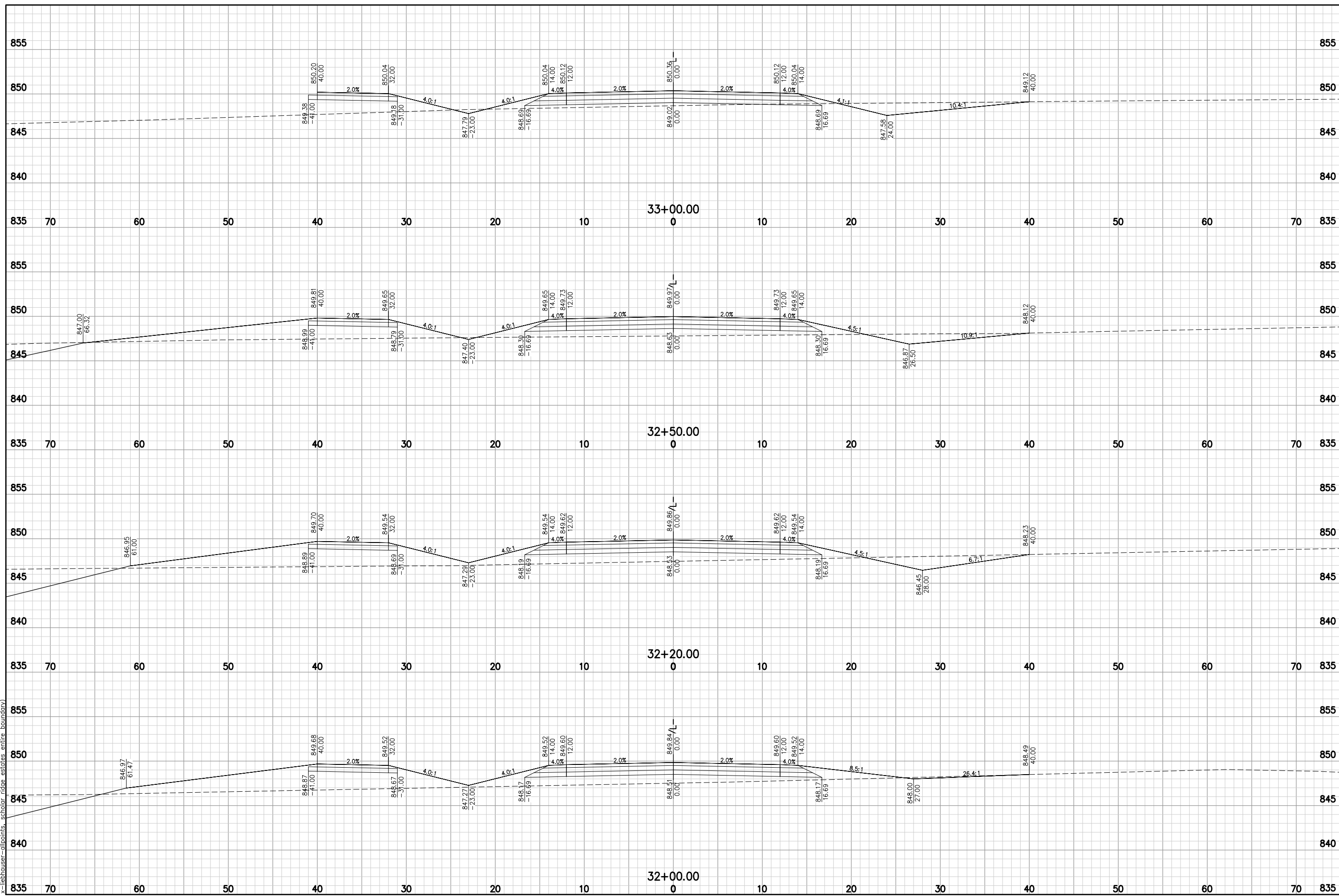
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 TOWN OF CLAYTON
 MARLO AVE

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PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
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XS 61

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 x- liebhauer-salpoints, scholar_ridge_estates_entire_boundary)



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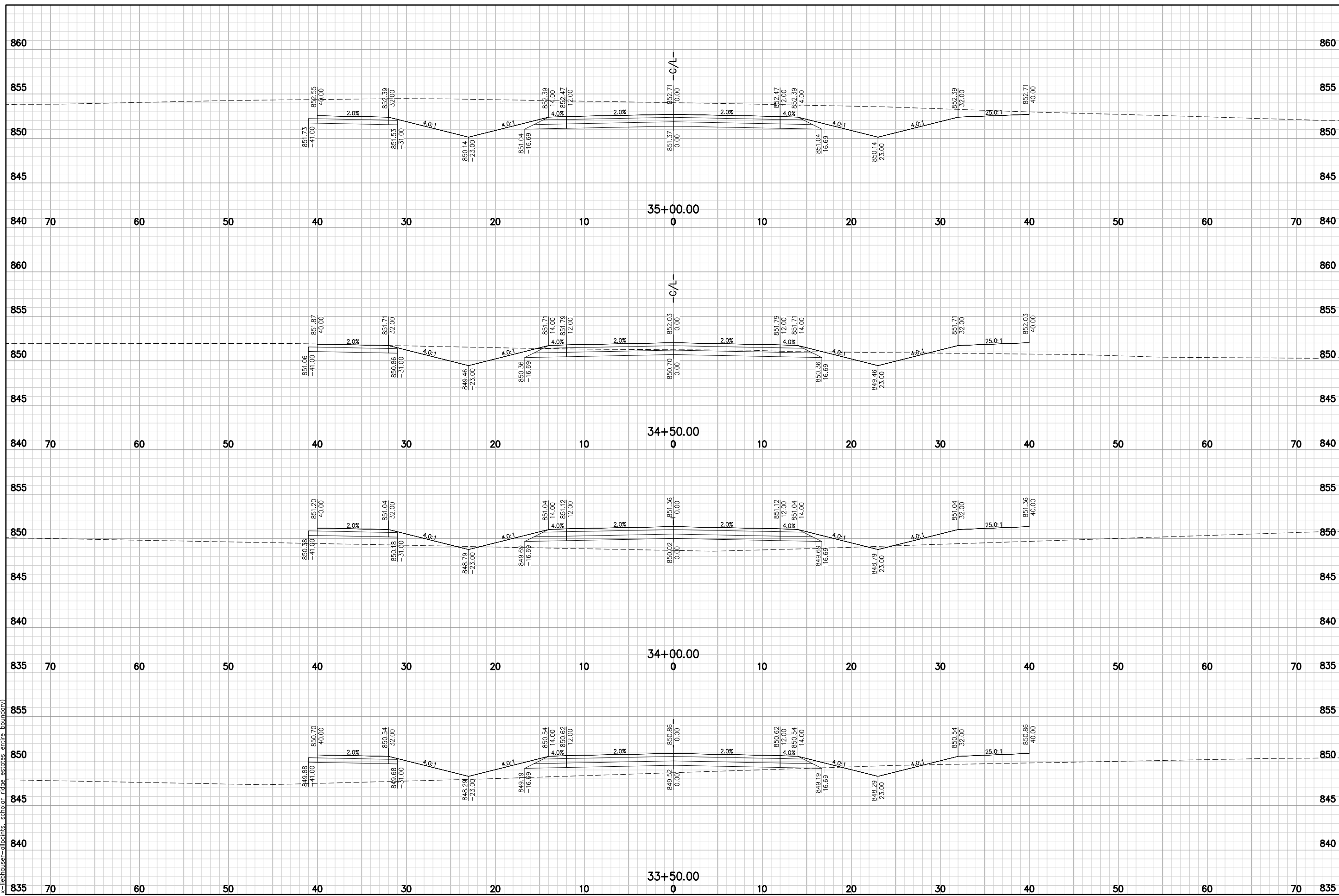
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TOWN OF CLAYTON
MARLO AVE

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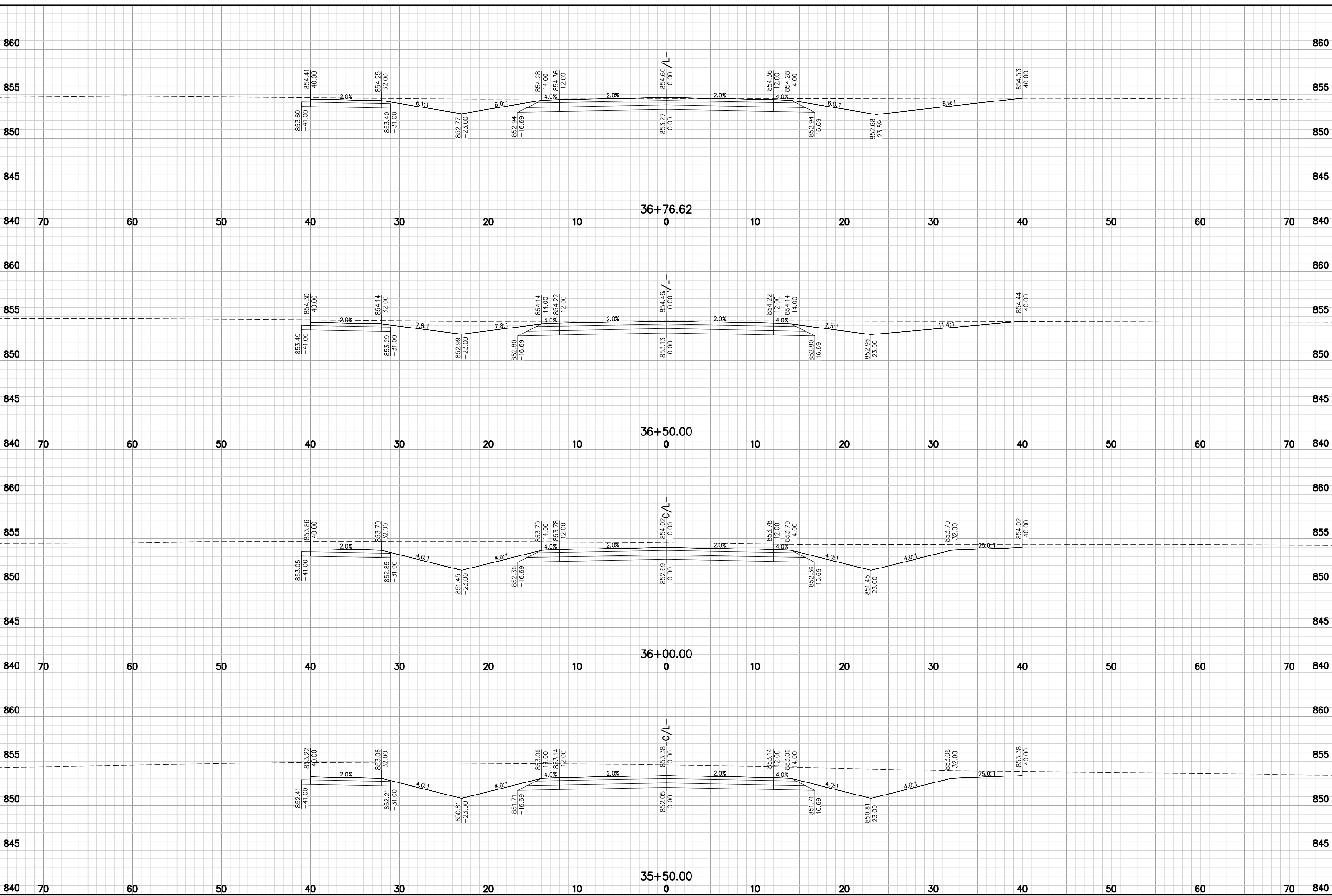
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TOWN OF CLAYTON
MARLO AVE

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DATE JUNE, 2023	
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XS	63

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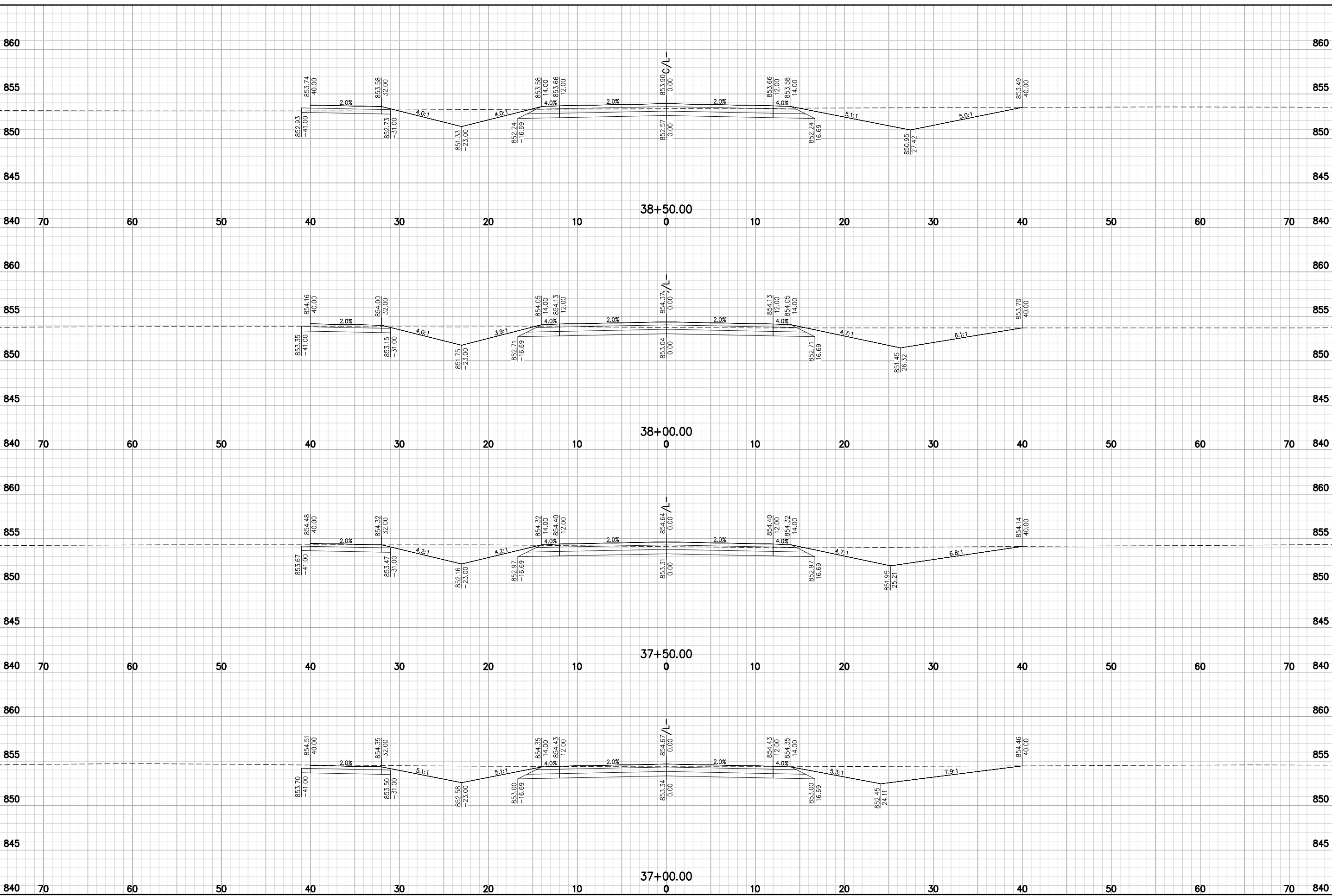
SCHOLAR RIDGE ESTATES - PHASE 1
 TOWN OF CLAYTON
 MARLO AVE

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PROJECT NO. C1069-09-23-00271	
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64

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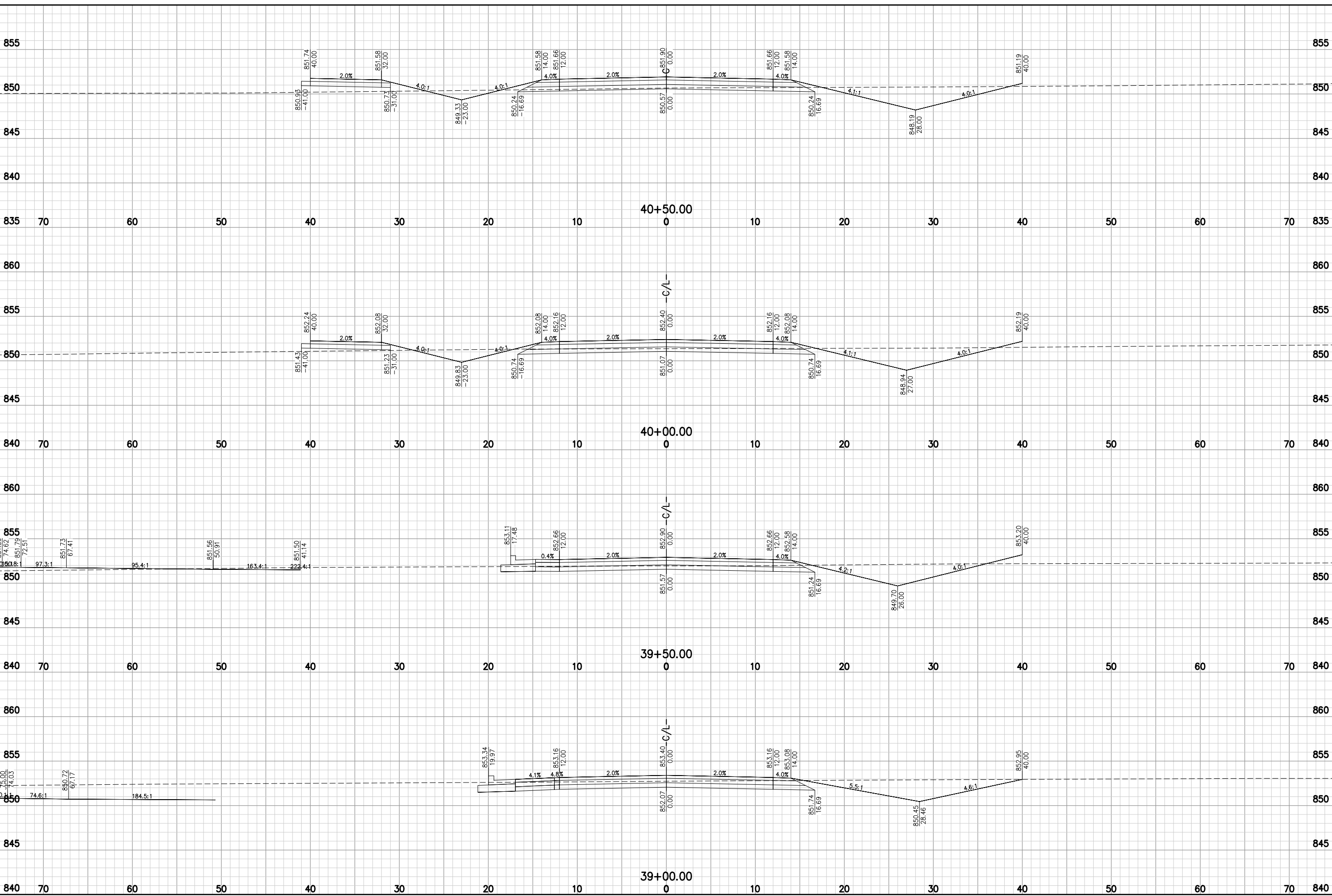
TOWN OF CLAYTON

MARLO AVE

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DATE JUNE, 2023	
SHEET NO.	

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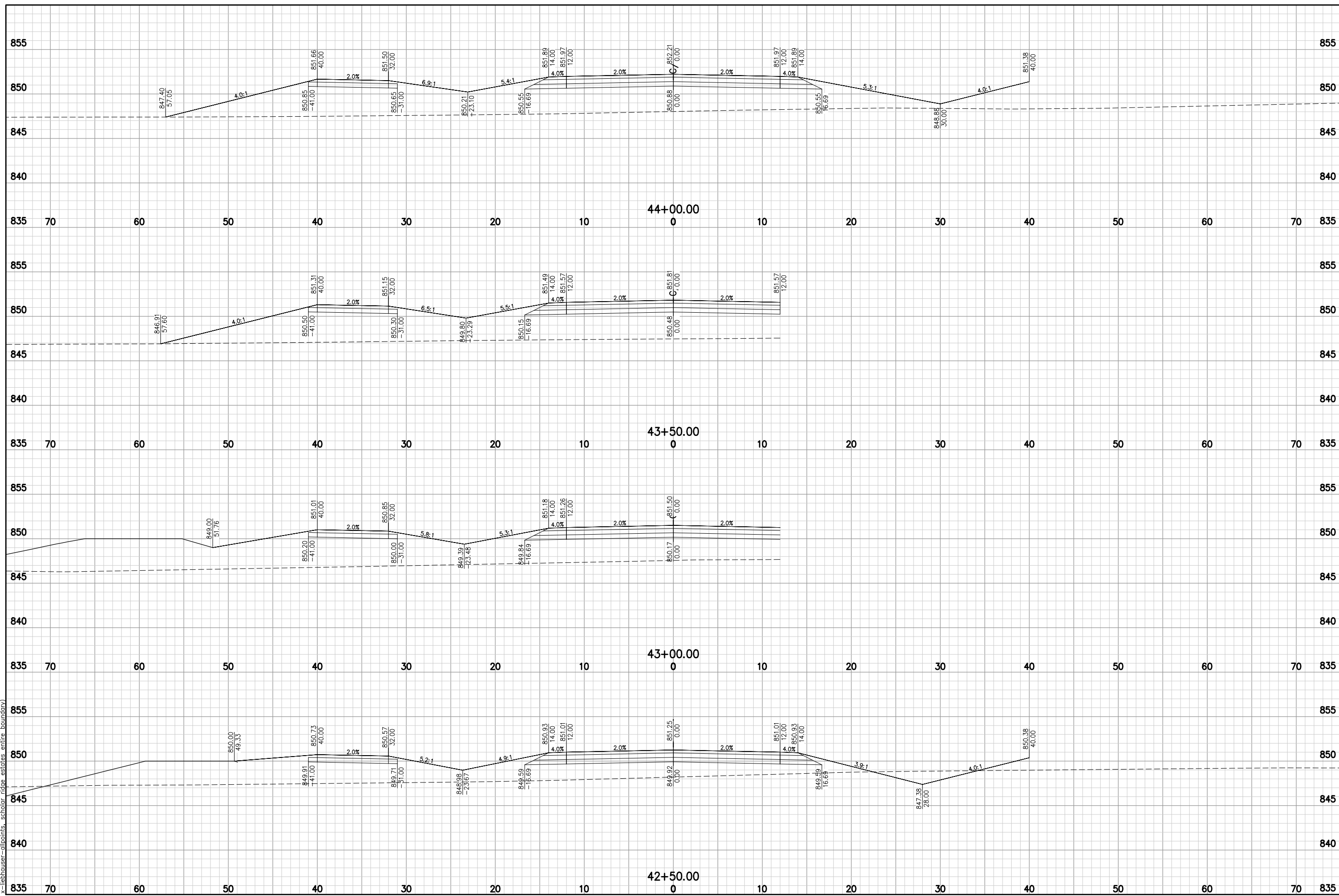
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 x- liebhauer-salpoints, scholar ridge estates entire boundary)



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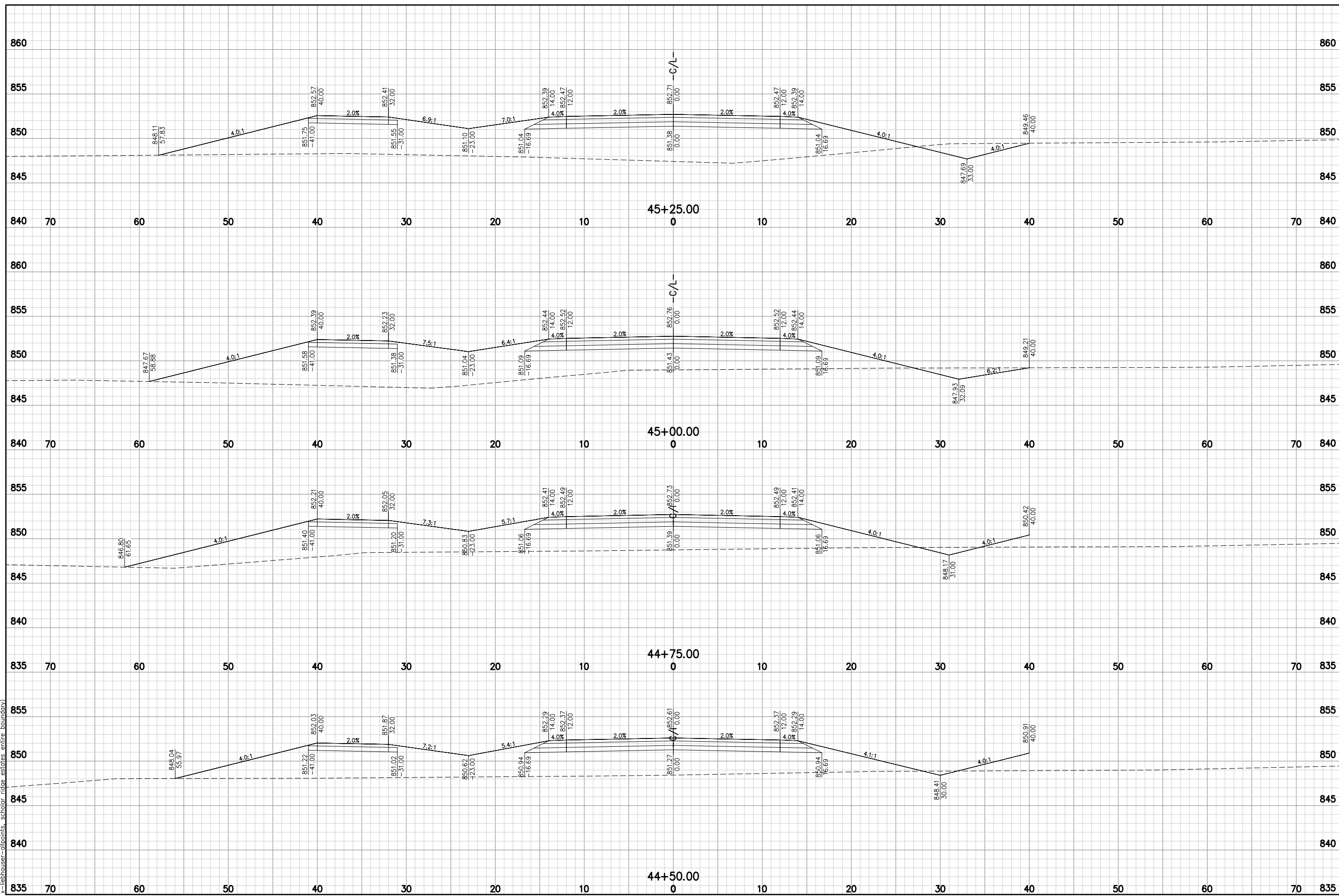
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TOWN OF CLAYTON
MARLO AVE

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XS **68**

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Item A.

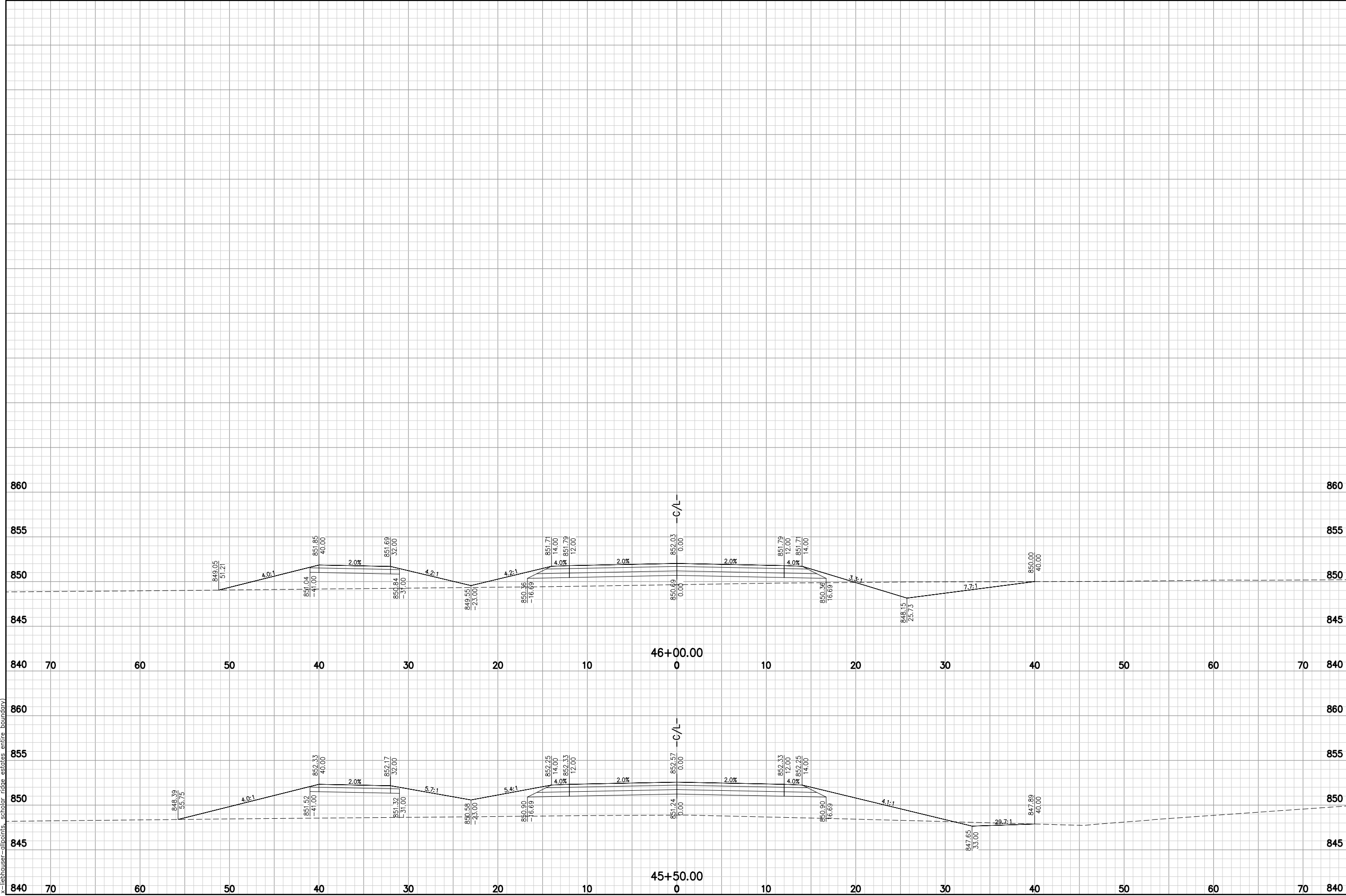
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TOWN OF CLAYTON
MARLO AVE

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PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO. 69	

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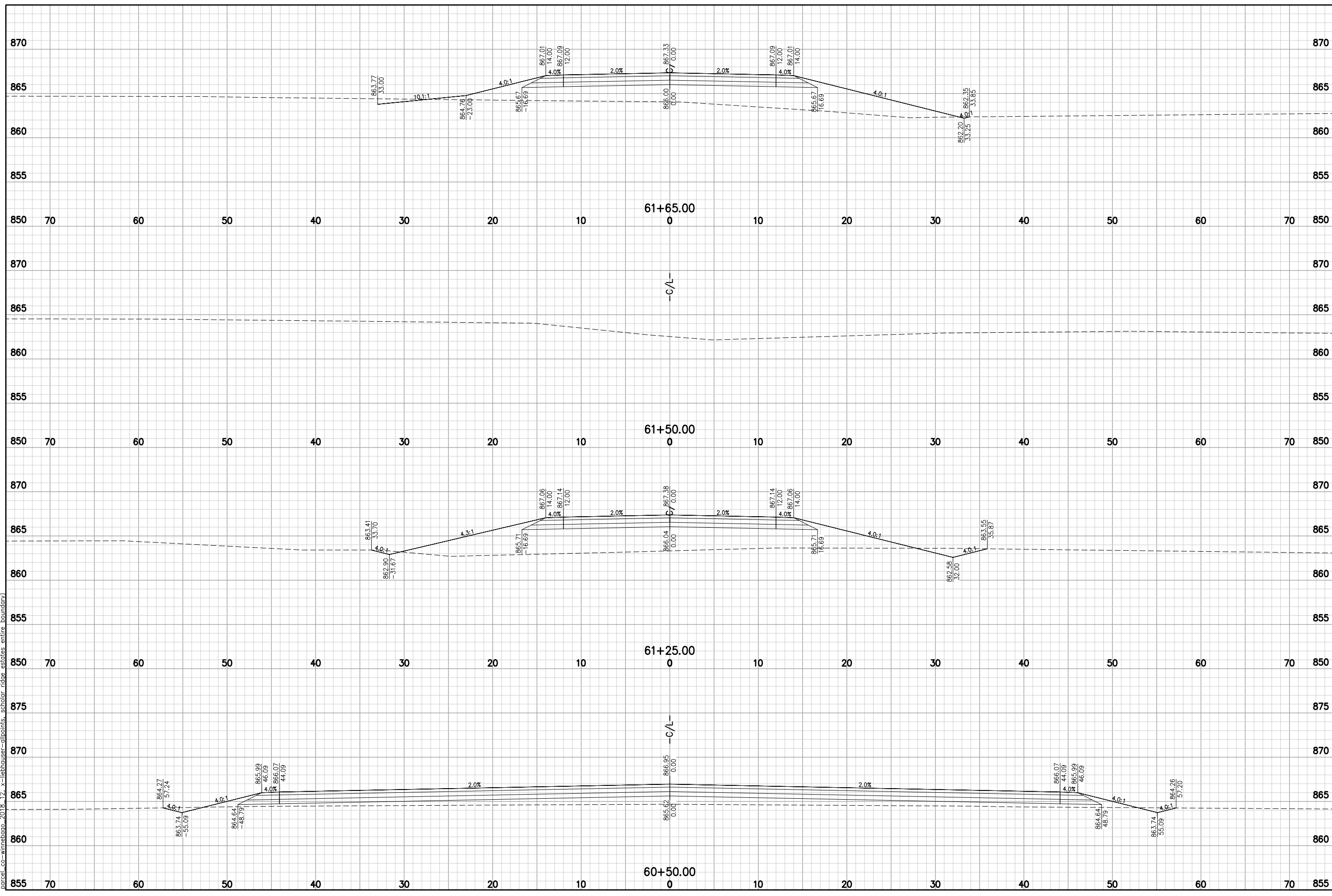
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SCHOLAR RIDGE ESTATES - PHASE 1
TOWN OF CLAYTON
MARLO AVE

DESIGNED ZRL	DRAWN ZRL
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DATE JUNE, 2023	
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XS10
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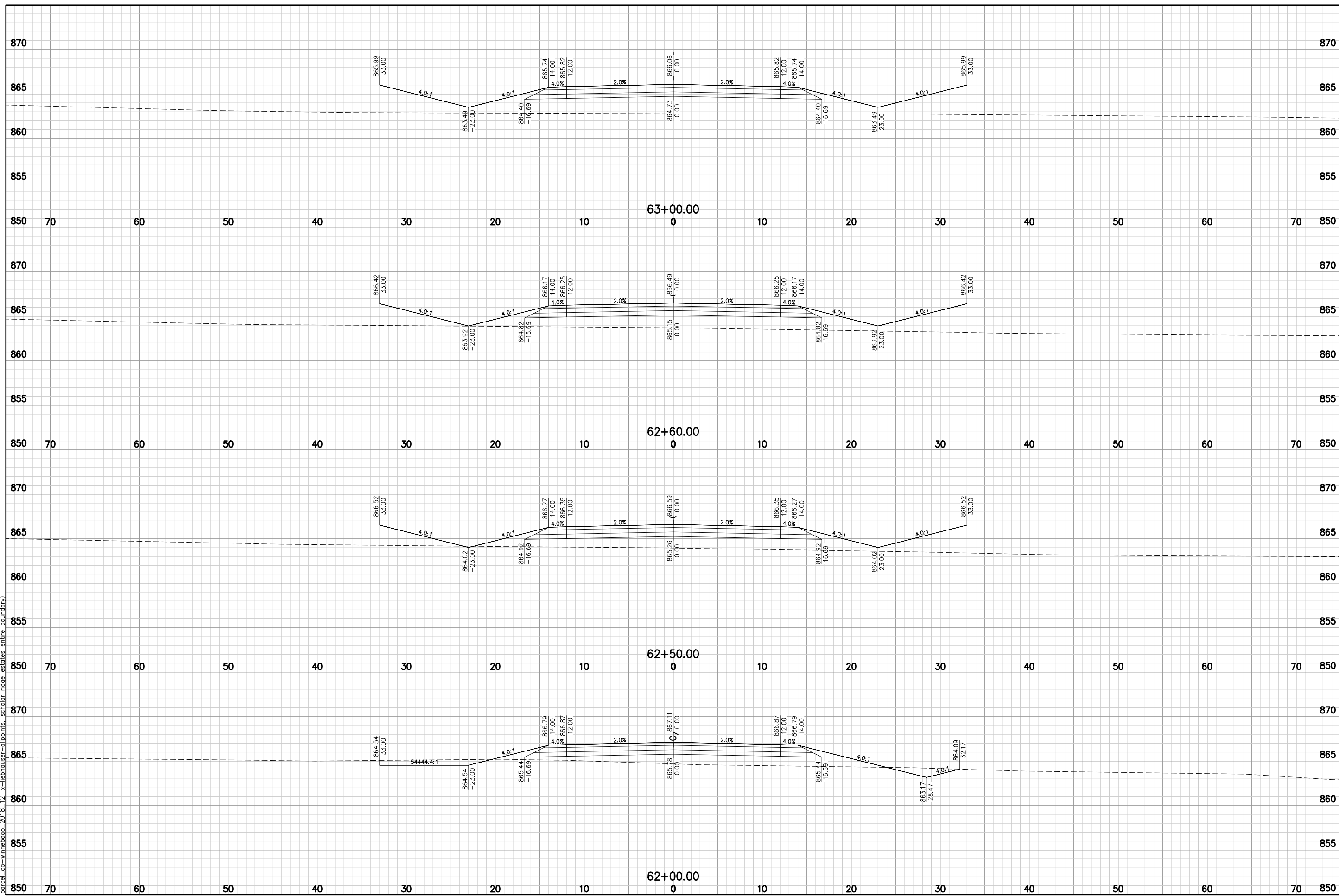
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TOWN OF CLAYTON
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PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
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 PH 920.751.4200 FX 920.751.4284 MCMGRP.CC

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NO.	DATE	REVISION

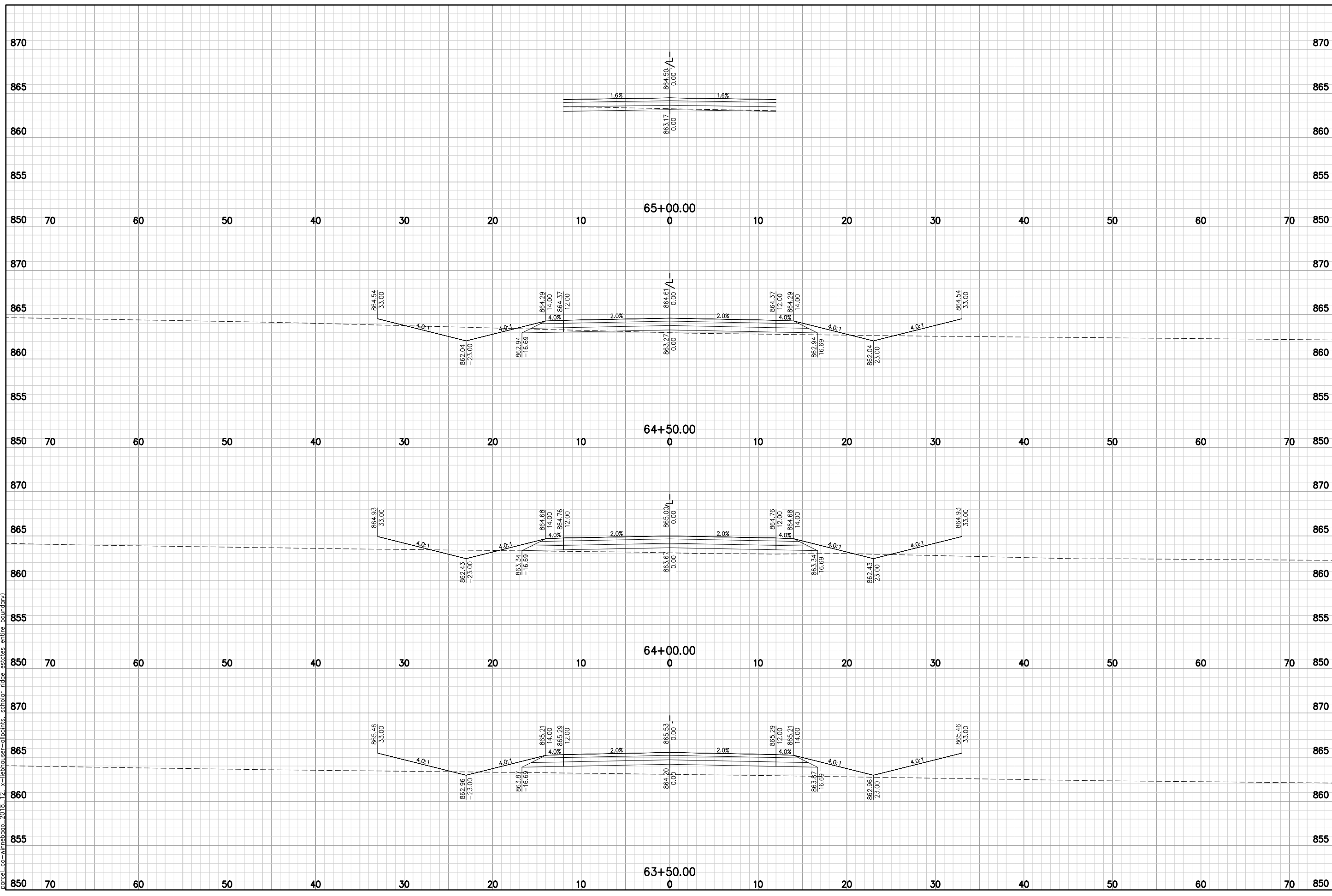
SCHOLAR RIDGE ESTATES - PHASE 1
TOWN OF CLAYTON
PRINCETON DR

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO.	

XS 10

72

z:\projects\C1069\092300271\CADD\Civil3D Source\liebhauer - Corridors.dwg, princeton -xs-03, Plot Date: 6/9/2023 7:47 AM, xrefs: (x- liebhauer-aerial, x- liebhauer-existtopo, x- liebhauer-proposed linework, liebhauer comps dew-map, parcel_co-wmmap000-2018-12, x- liebhauer-alpoinits, scholar_ridge_estates_entire_boundary)



Item A.

McMAHON
 McMAHON ASSOCIATES, INC.
 1445 WASHINGTON AVENUE, SUITE 400
 MIDDLETOWN, CT 06457
 PH 860.751.4200 FX 860.751.4284 MCMGRP.CC

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NO.	DATE	REVISION

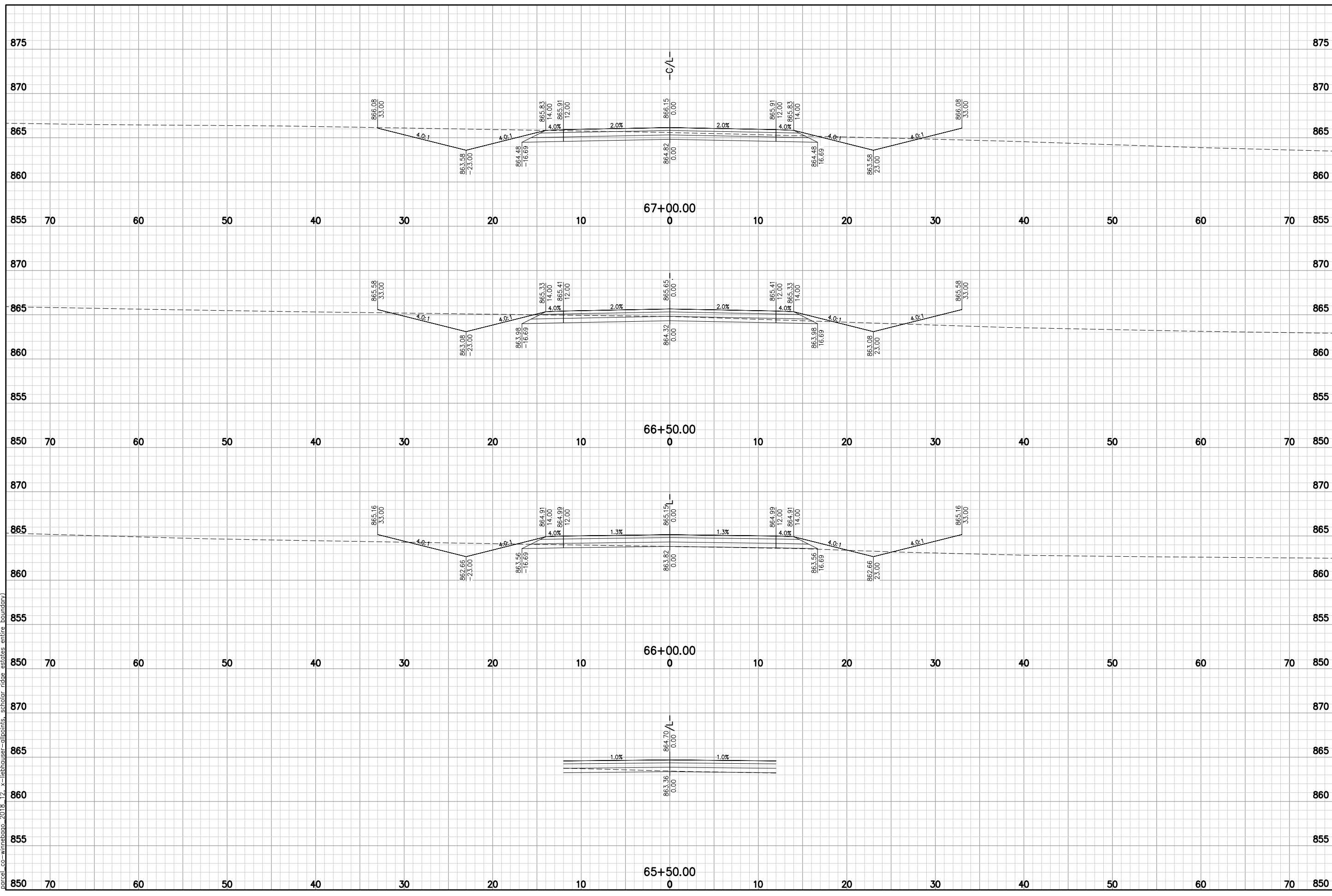
SCHOLAR RIDGE ESTATES - PHASE 1
TOWN OF CLAYTON
PRINCETON DR

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO.	

XS 17

73

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Item A.

McMAHON

McMAHON ASSOCIATES, INC.
 1445 McMAHON AVENUE, SUITE 400
 MIDDLETOWN, CT 06457
 PH: 860.751.4200 FX: 860.751.4284 MCMGRP.CC

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NO.	DATE	REVISION

SCHOLAR RIDGE ESTATES - PHASE 1

TOWN OF CLAYTON

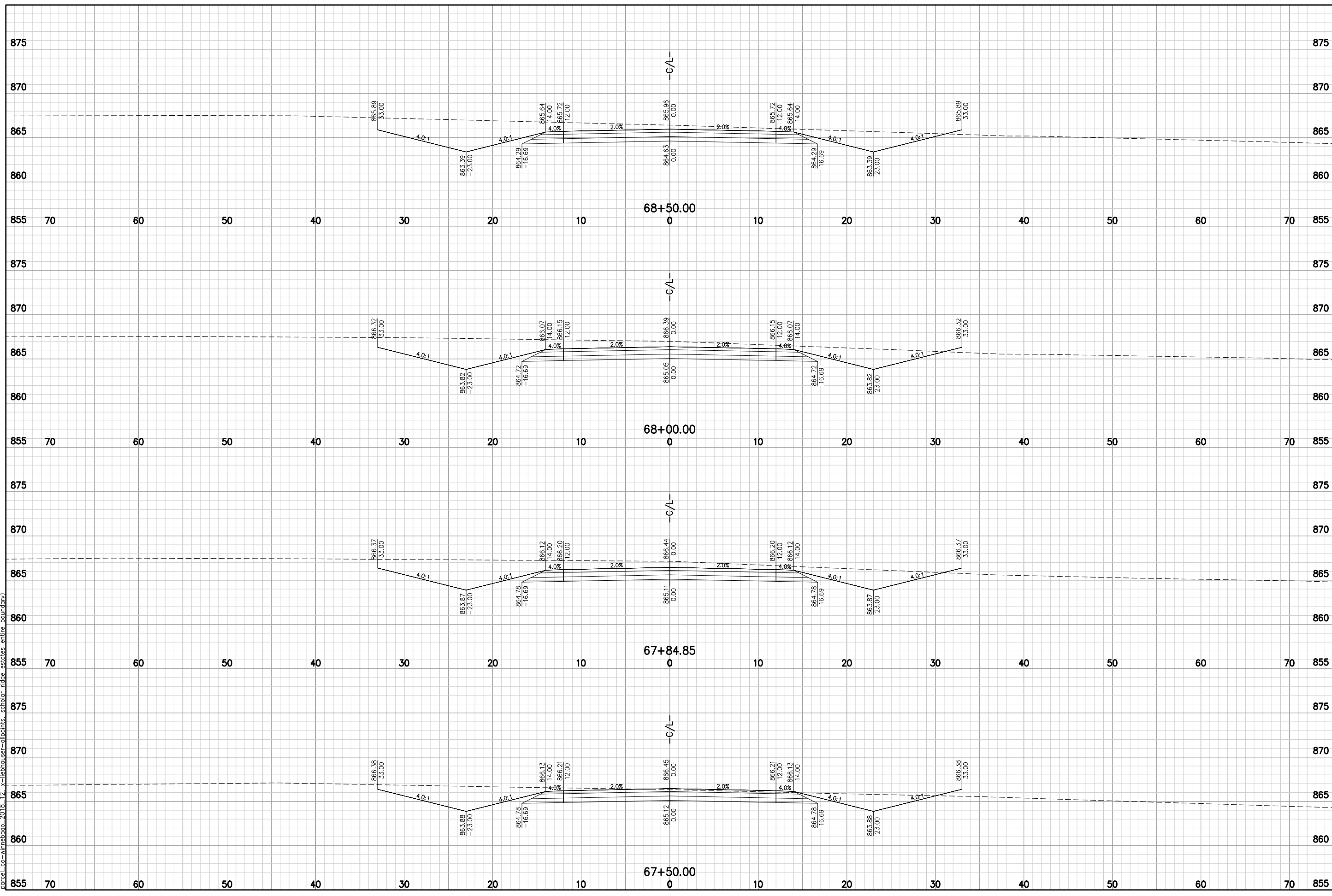
PRINCETON DR

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO.	

XS

74

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Item A.

McMAHON

McMAHON ASSOCIATES, INC.
 1445 McMAHON AVENUE, SUITE 400
 MILLIS, MA 01946
 PH: 920.751.4200 FX: 920.751.4284 MCMGRP.CO

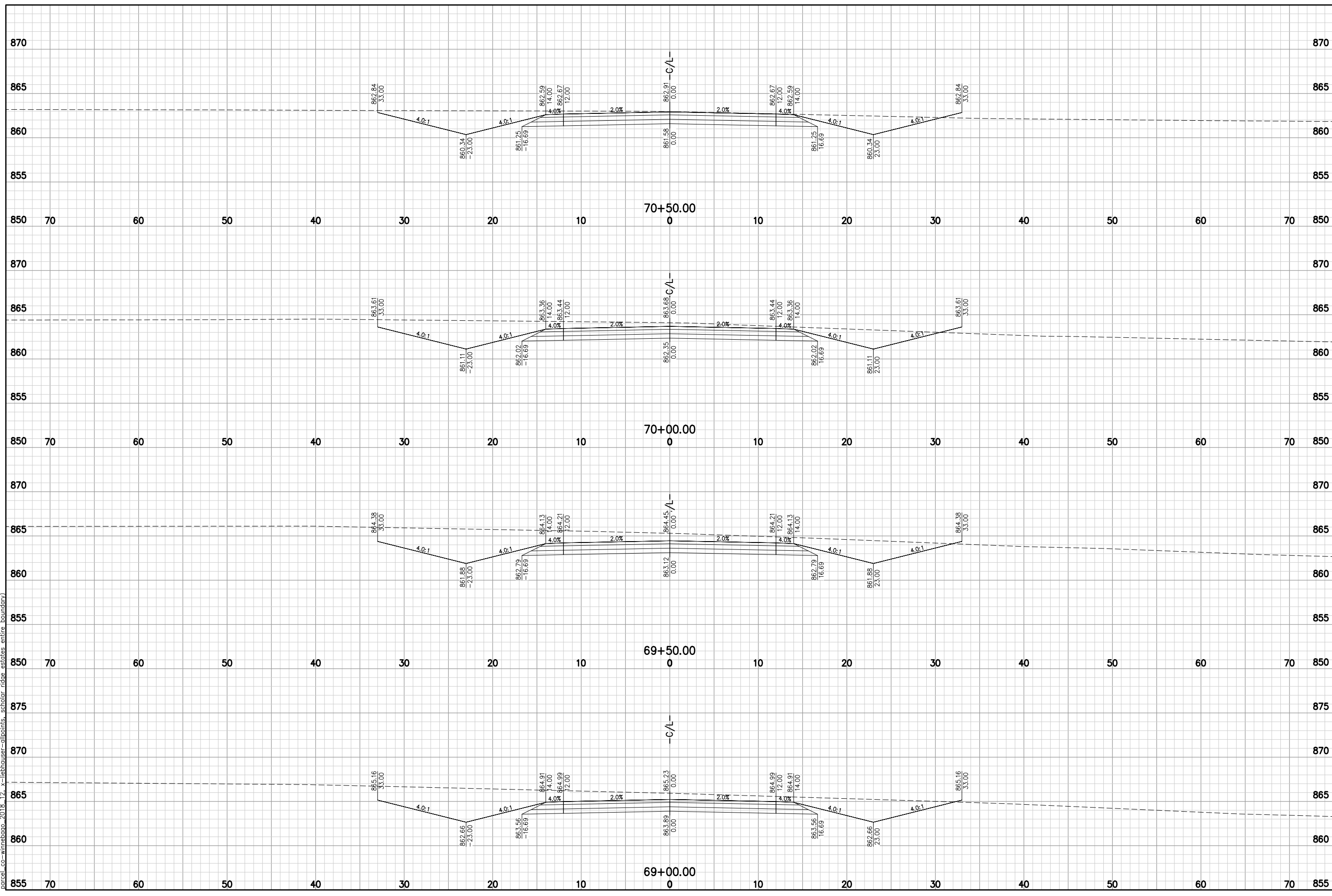
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NO.	DATE	REVISION

SCHOLAR RIDGE ESTATES - PHASE 1
TOWN OF CLAYTON
PRINCETON DR

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO.	

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Item A.

McMAHON ASSOCIATES, INC.
 1445 McMAHON AVENUE, SUITE 1400
 MILLERSVILLE, MD 21104
 PH 920.751.4200 FX 920.751.4284 MCMGRP.CC

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NO.	DATE	REVISION

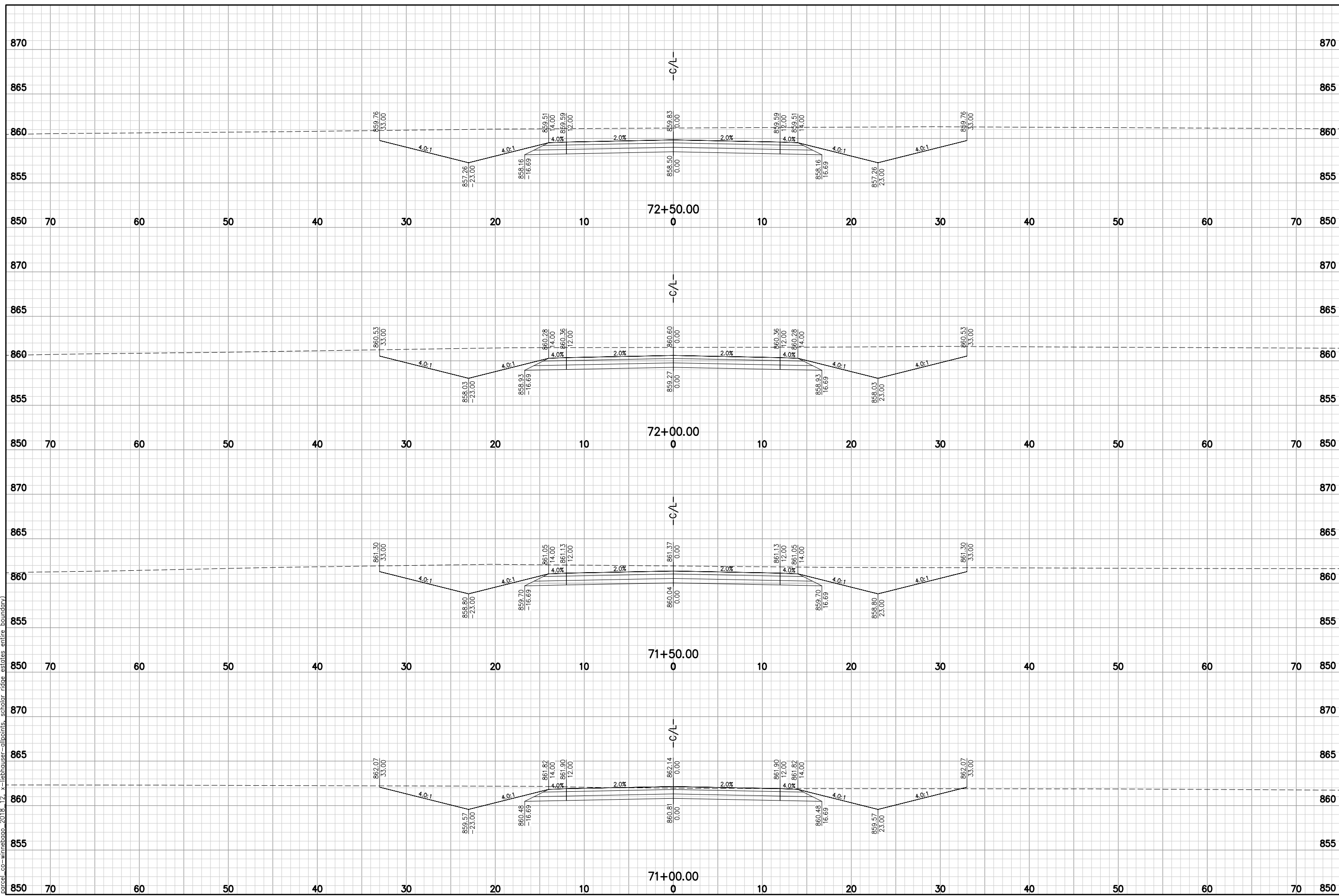
SCHOLAR RIDGE ESTATES - PHASE 1
TOWN OF CLAYTON
PRINCETON DR

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO.	

XS

76

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Item A.

McMAHON

McMAHON ASSOCIATES, INC.
 1445 McMAHON AVENUE, SUITE 400
 MILLIS, MA 01946
 PH: 920.751.4200 FX: 920.751.4284 MCMGRP.CC

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NO.	DATE	REVISION

SCHOLAR RIDGE ESTATES - PHASE 1

TOWN OF CLAYTON

PRINCETON DR

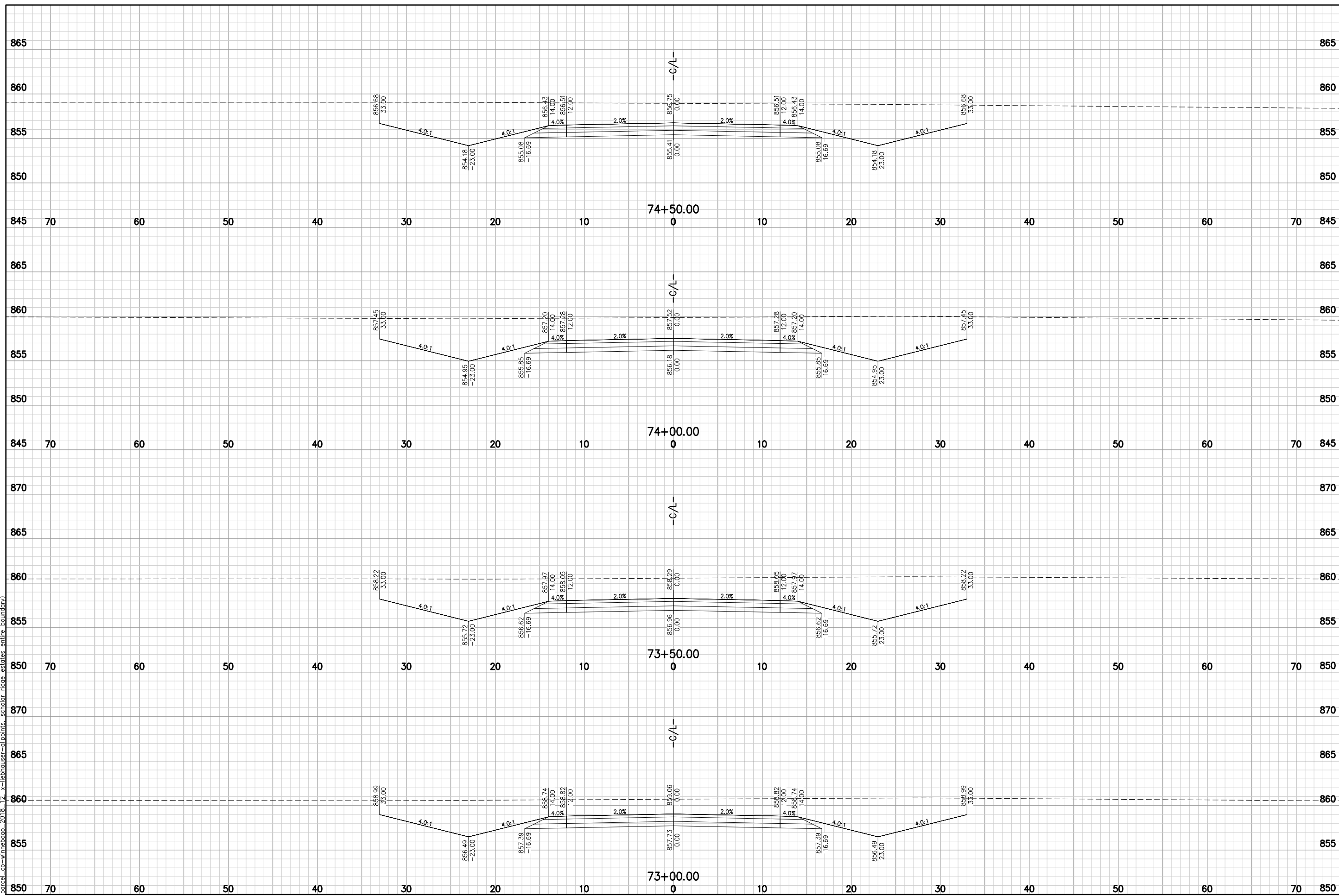
DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO.	

XS

17

77

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Item A.

McMAHON
 CIVIL ENGINEERING
 1445 McMAHON AVENUE, SUITE 100
 MILLERSVILLE, MD 21104
 PH: 920.751.4200 FX: 920.751.4284 MCMGRP.CC

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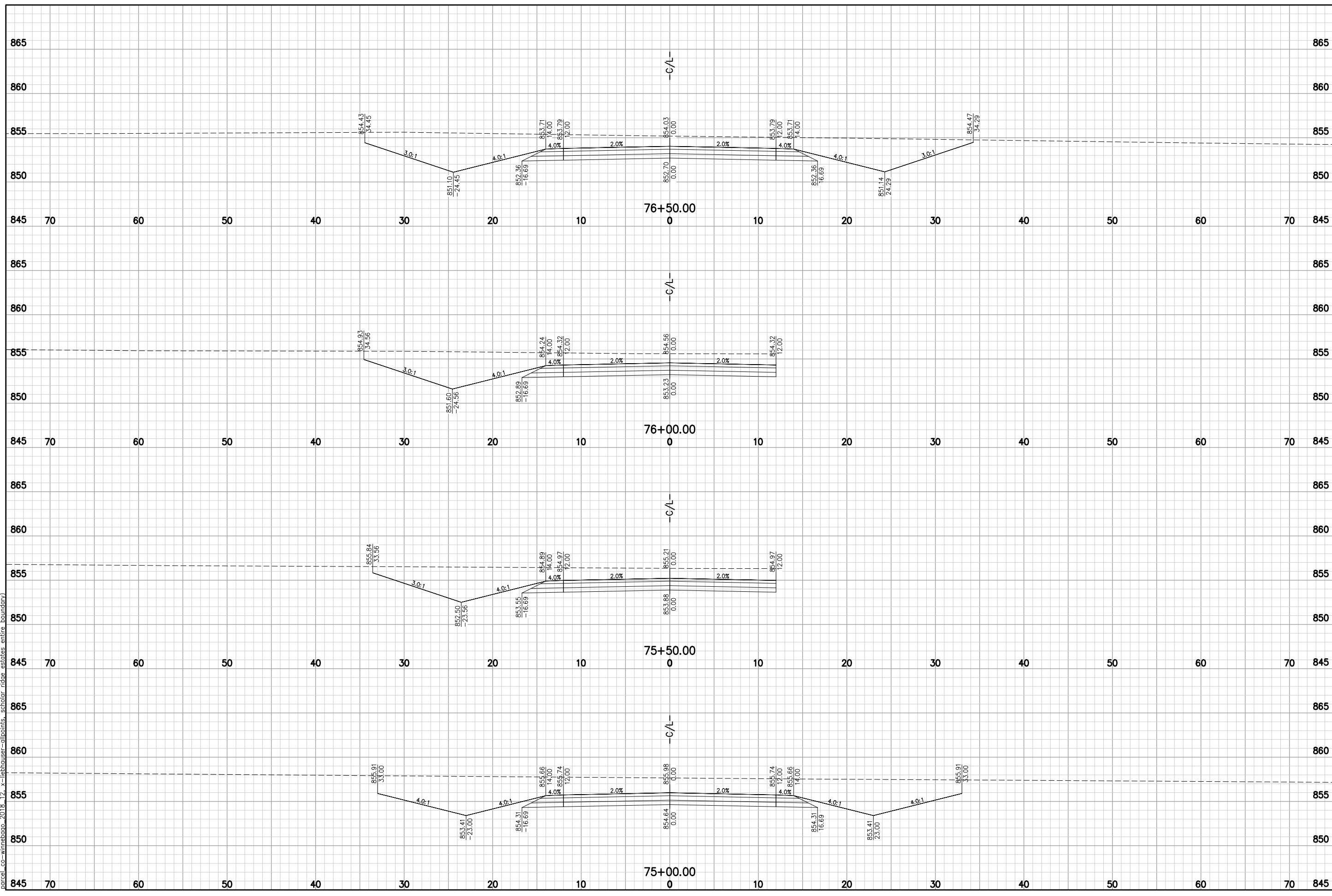
NO.	DATE	REVISION

SCHOLAR RIDGE ESTATES - PHASE 1
TOWN OF CLAYTON
PRINCETON DR

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO.	

XS 1B
78

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Item A.

McMAHON

McMAHON ASSOCIATES, INC.
 1445 McMAHON AVENUE, SUITE 400
 MILLERSVILLE, MD 21104
 PH 920.751.4200 FX 920.751.4284 MCMGRP.CC

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NO.	DATE	REVISION

SCHOLAR RIDGE ESTATES - PHASE 1

TOWN OF CLAYTON

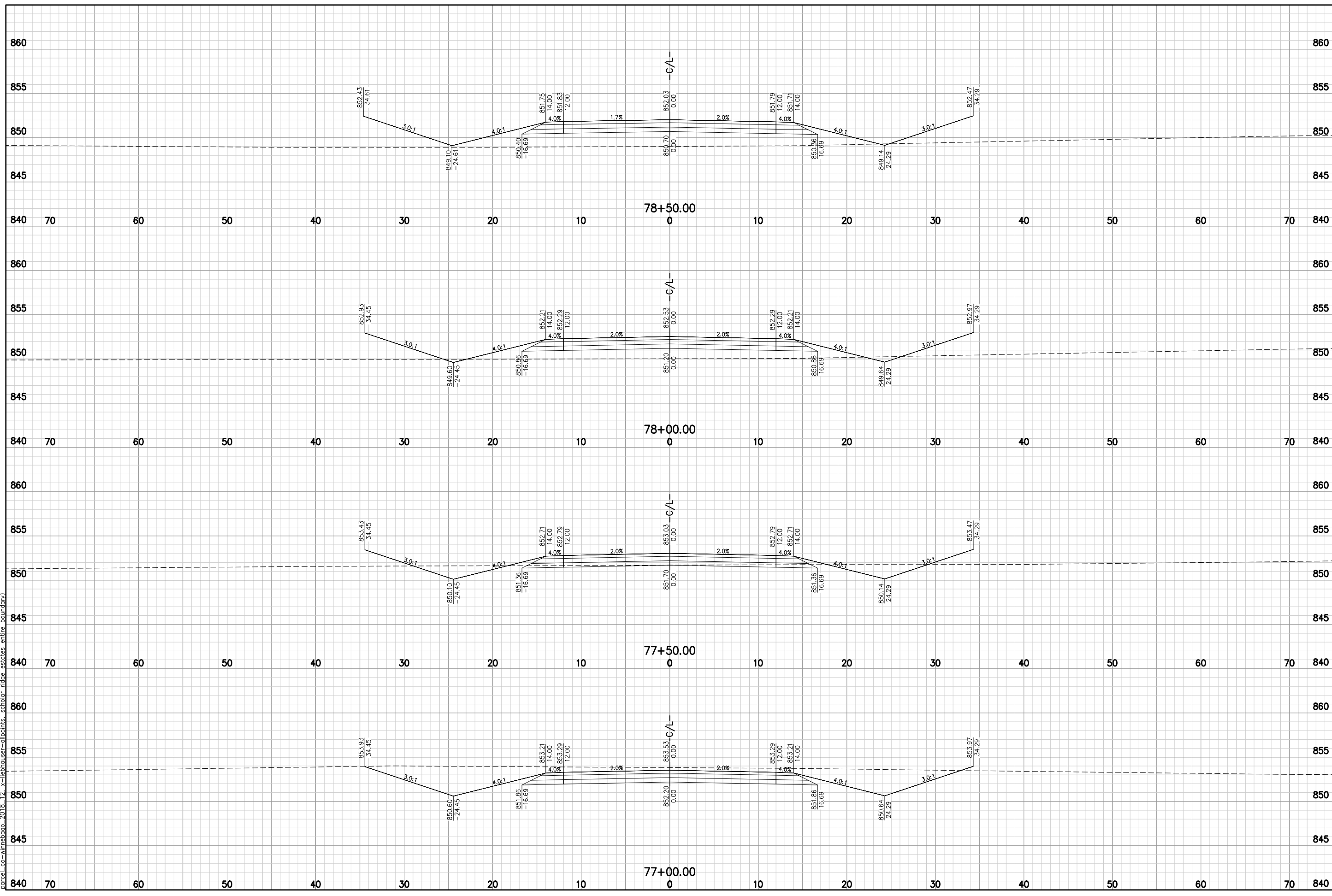
PRINCETON DR

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO.	

XS

79

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Item A.

McMAHON

McMAHON ASSOCIATES, INC.
 1445 McMAHON DRIVE
 PRINCETON, NJ 08540
 PH 920.751.4200 FX 920.751.4284 MCMGRP.CC

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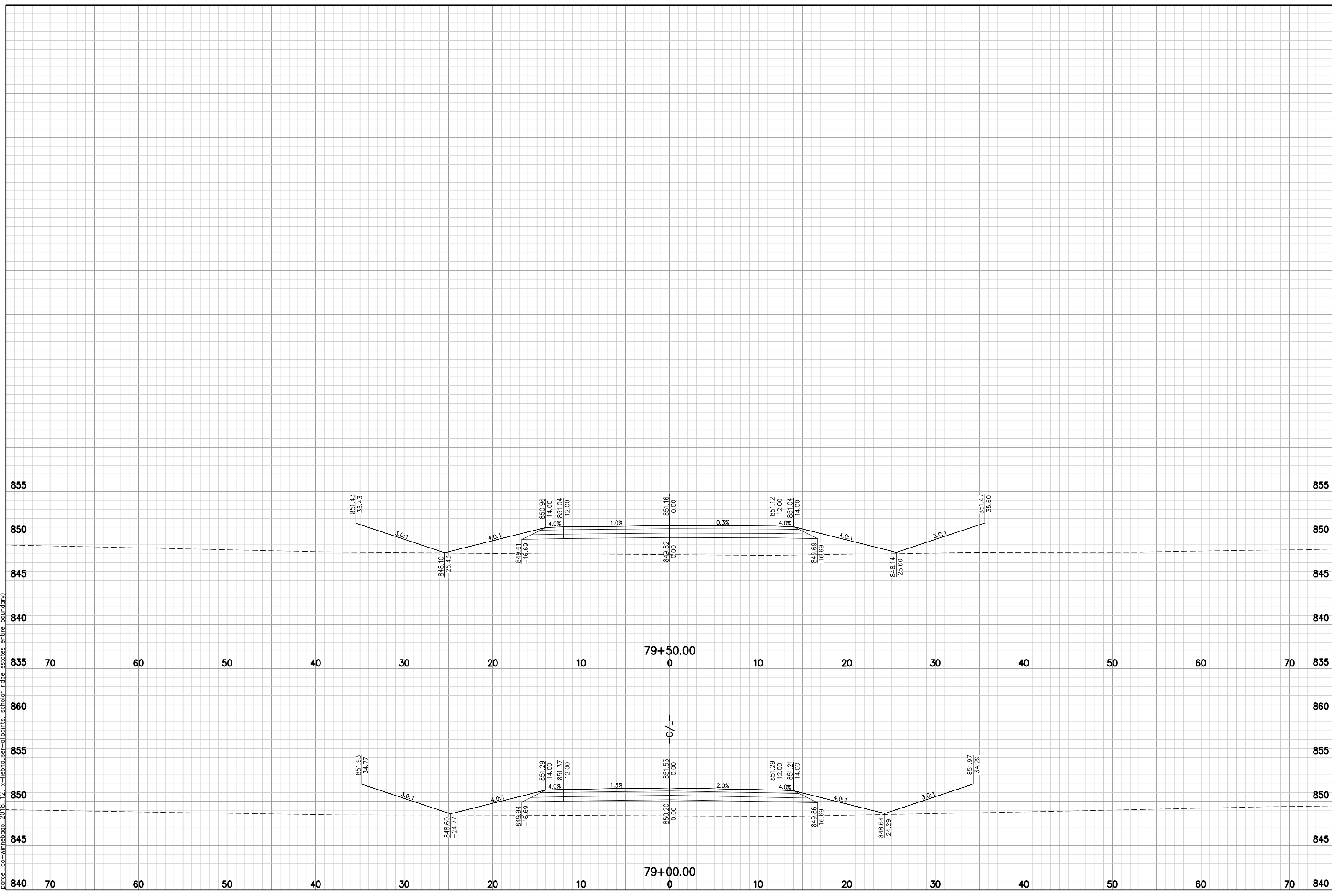
NO.	DATE	REVISION

SCHOLAR RIDGE ESTATES - PHASE 1
TOWN OF CLAYTON
PRINCETON DR

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO. 80	

XS 80

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NO.	DATE	REVISION

SCHOLAR RIDGE ESTATES - PHASE 1
TOWN OF CLAYTON
PRINCETON DR

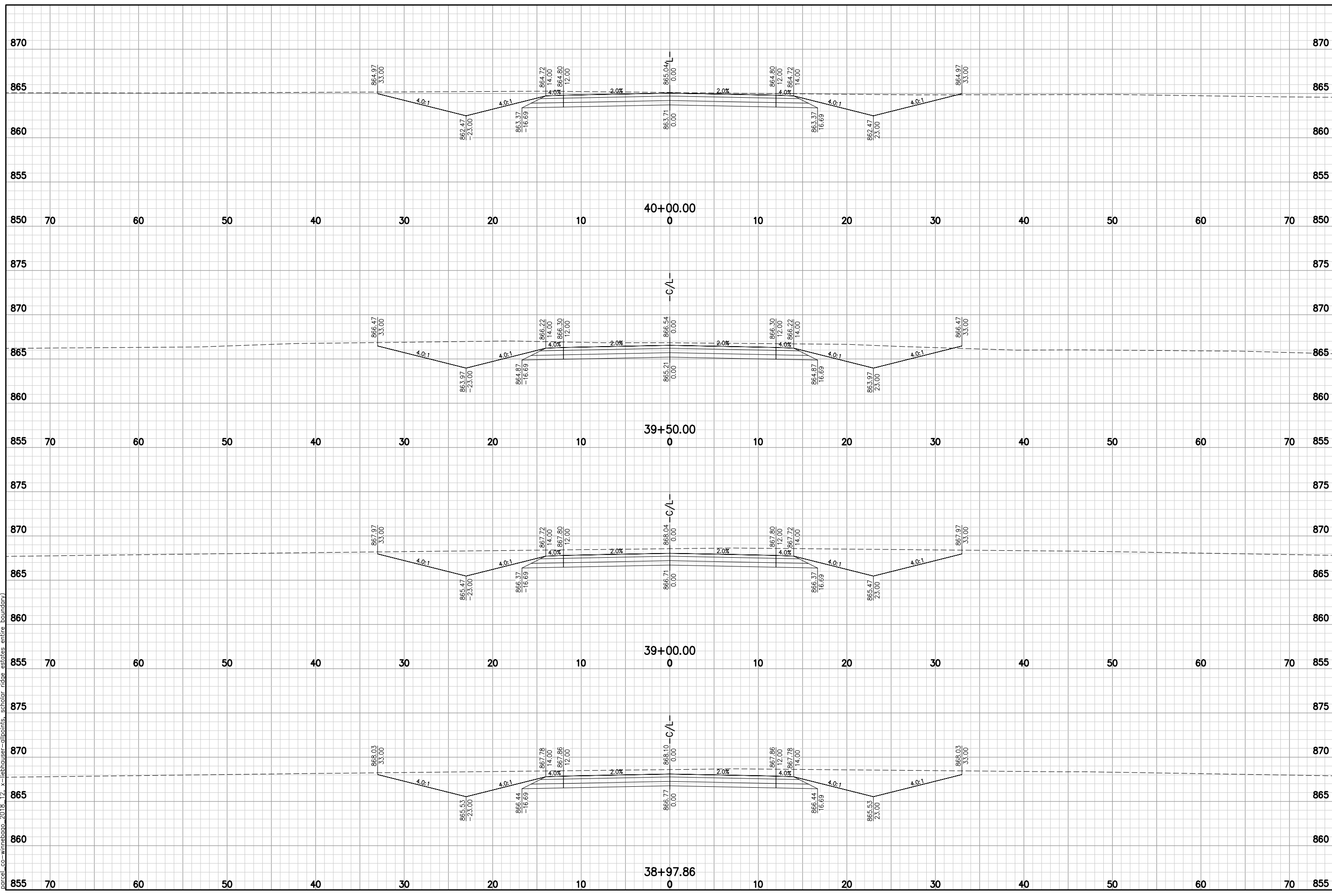
DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO.	

XS 81

Item A.

McMAHON
 ASSOCIATES, INC.
 CIVIL ENGINEERS
 1445 SCHOLAR RIDGE ESTATES, PHASE 1
 PRINCETON, NJ 08542
 PH 920.751.4200 FX 920.751.4284 MCMGRP.CC

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Item A.
McMAHON
 McMAHON ASSOCIATES, INC.
 1445 McMAHON AVENUE, SUITE 100
 MILLERSVILLE, PA 17349
 PH 920.751.4200 FX 920.751.4284 MCMGRP.CC

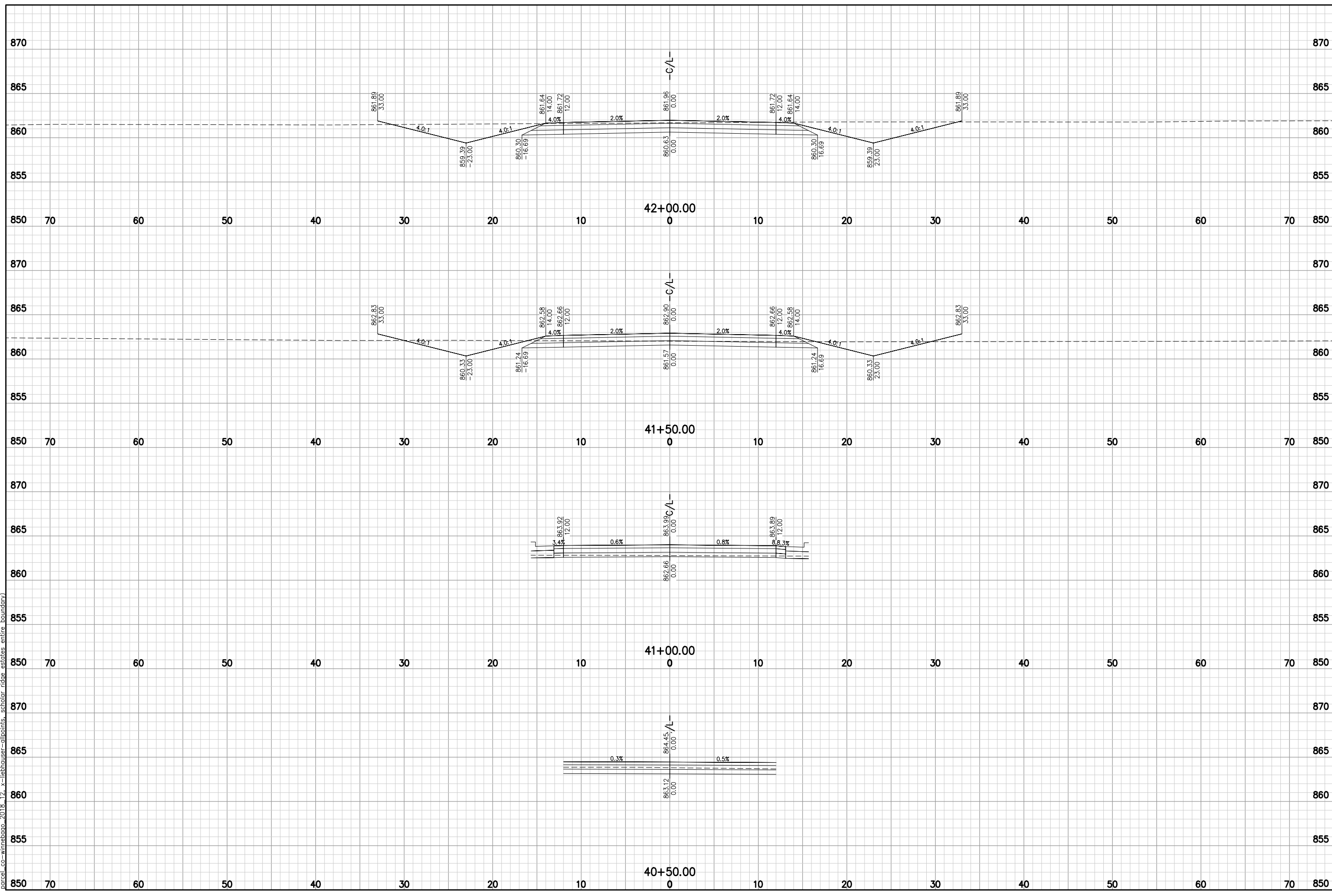
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NO.	DATE	REVISION

SCHOLAR RIDGE ESTATES - PHASE 1
TOWN OF CLAYTON
LAWRENCE LN

DESIGNED ZRL DRAWN ZRL
 PROJECT NO. C1069-09-23-00271
 DATE JUNE, 2023
 SHEET NO.

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Item A.

McMAHON

McMAHON ASSOCIATES, INC.
 1445 McMAHON AVENUE, SUITE 100
 MARIETTA, GEORGIA 30067
 PH 920.751.4200 FX 920.751.4284 MCMGRP.CC

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NO.	DATE	REVISION

SCHOLAR RIDGE ESTATES - PHASE 1

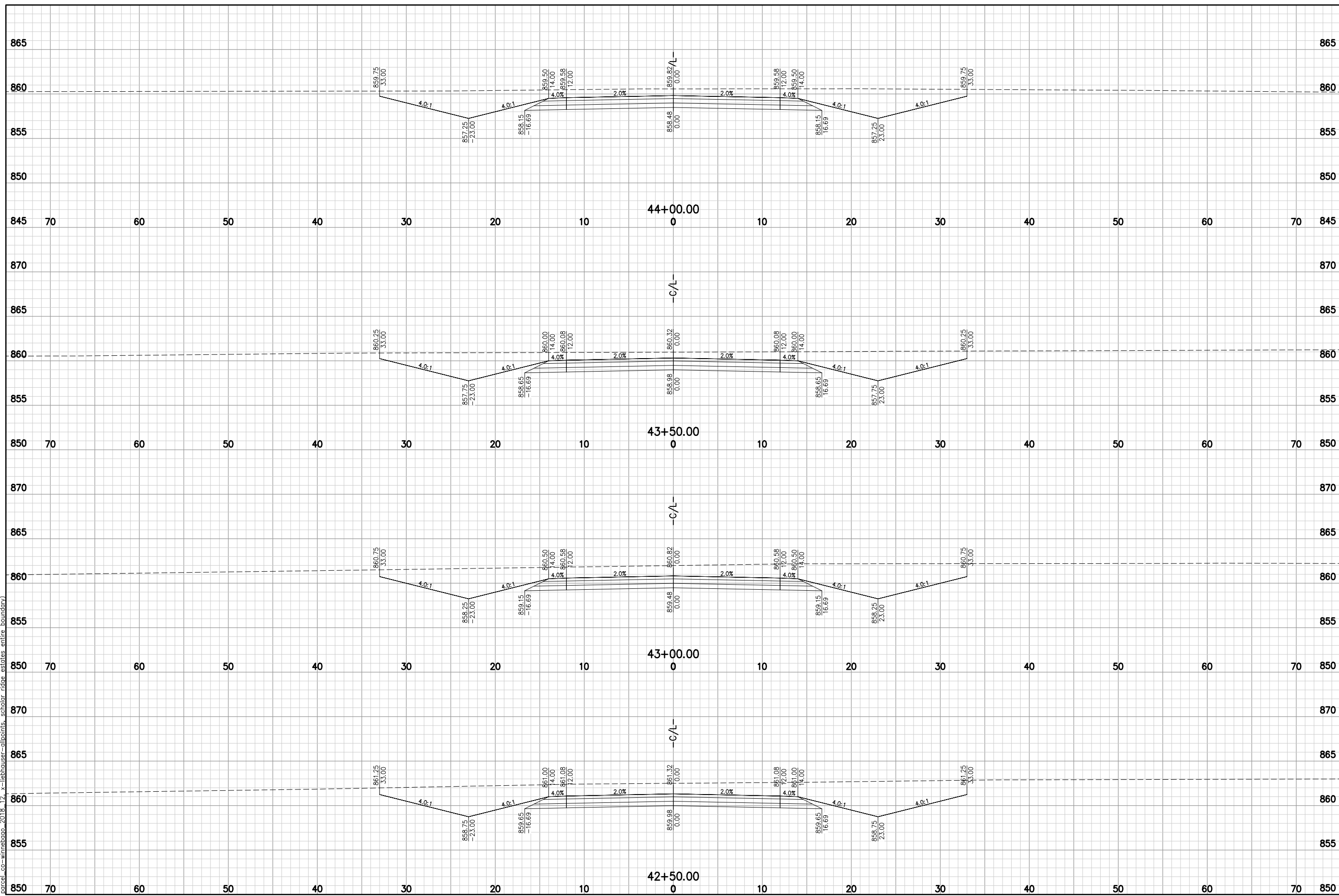
TOWN OF CLAYTON

LAWRENCE LN

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO.	

XS
83

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Item A.

McMAHON
 CIVIL ENGINEERING
 1445 W. 140th Street, Suite 100
 Omaha, NE 68144
 PH 920.751.4200 FX 920.751.4284 MCMGRP.CO

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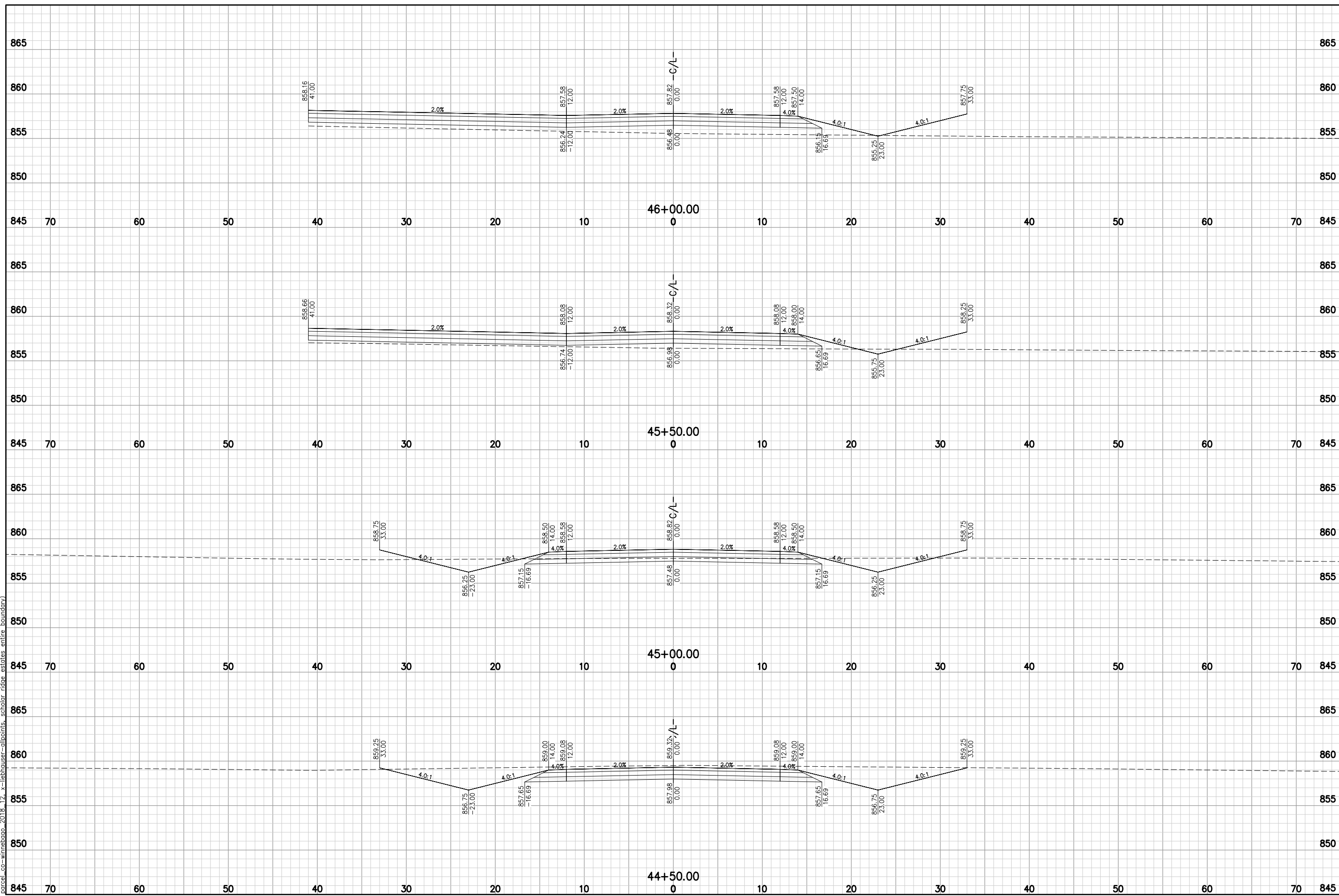
NO.	DATE	REVISION

SCHOLAR RIDGE ESTATES - PHASE 1
TOWN OF CLAYTON
LAWRENCE LN

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO.	

XS 84

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Item A.

McMAHON ASSOCIATES, INC.
1445 WASHINGTON AVENUE, SUITE 400
MILWAUKEE, WISCONSIN 53212
PH 920.751.4200 FX 920.751.4284 MCMGRP.CC

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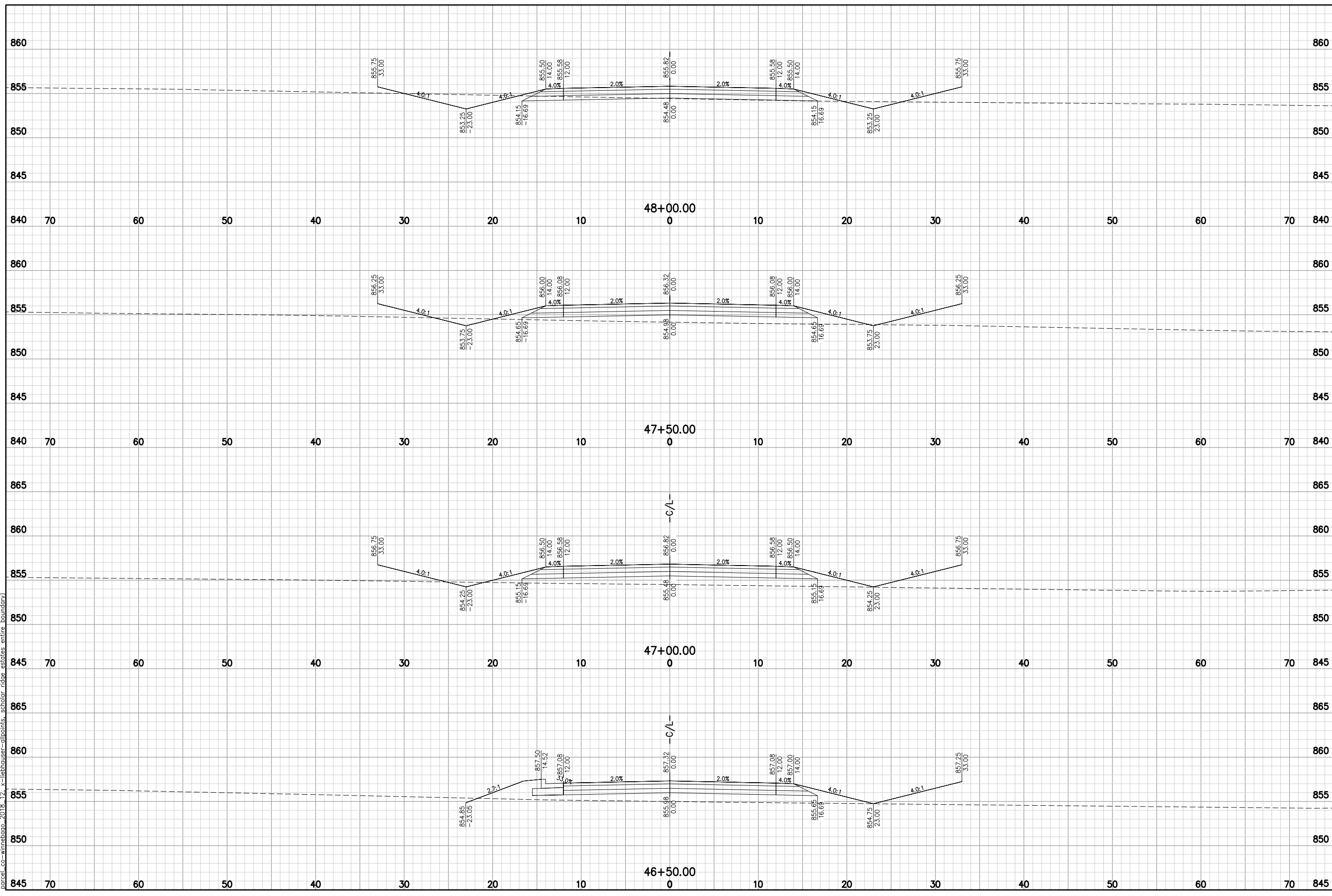
NO.	DATE	REVISION

SCHOLAR RIDGE ESTATES - PHASE 1
TOWN OF CLAYTON
LAWRENCE LN

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO.	

XS
85

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Item A.

McMAHON

McMAHON ASSOCIATES, INC.
 1445 McMAHON AVENUE, SUITE 400
 MARIETTA, GA 30067
 PH 920.751.4200 FX 920.751.4284 MCMGRP.CC

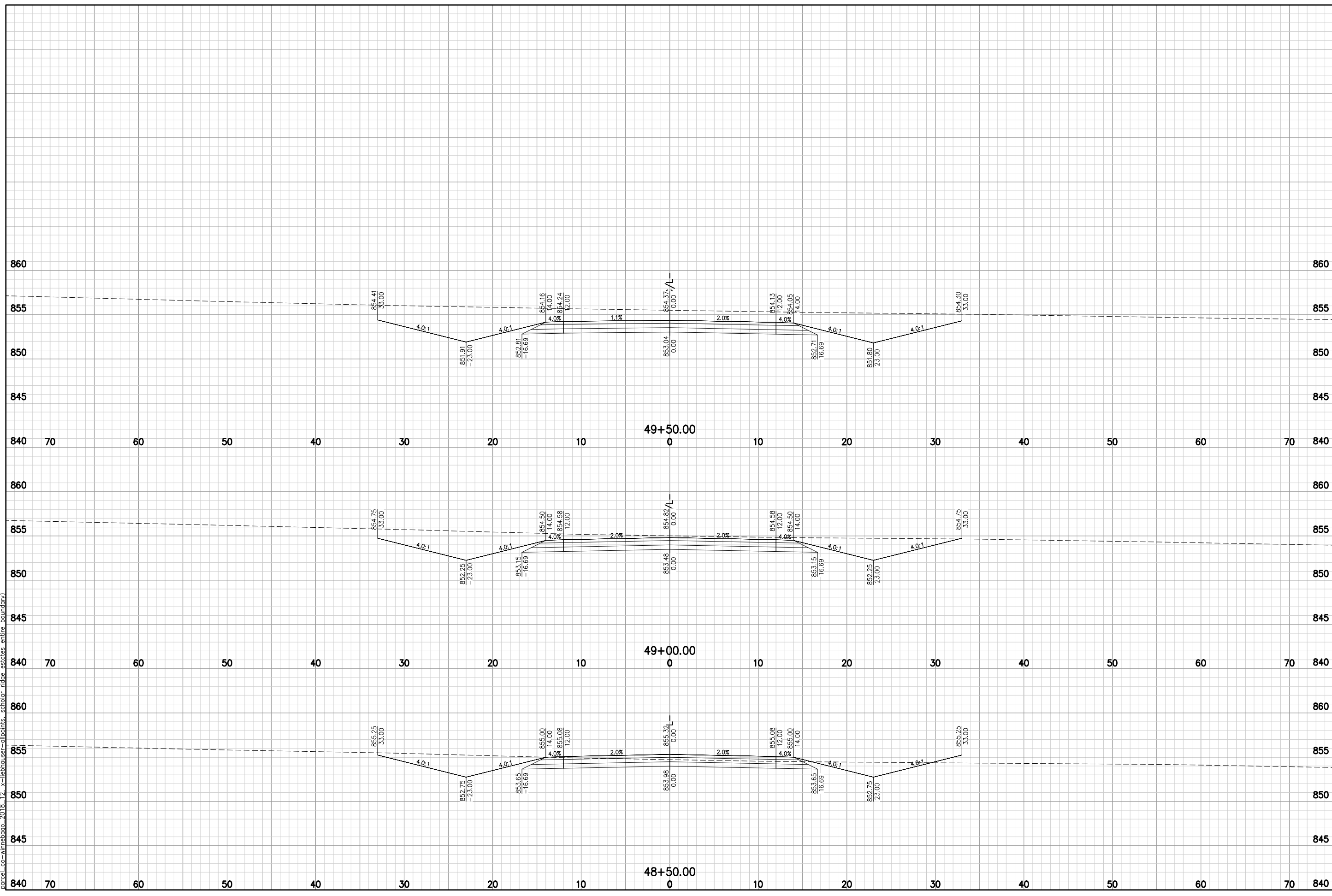
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NO.	DATE	REVISION

SCHOLAR RIDGE ESTATES - PHASE 1
TOWN OF CLAYTON
LAWRENCE LN

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO.	

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Item A.

McMAHON ASSOCIATES, INC.
 1445 McMAHON AVENUE, SUITE 400
 MARIETTA, GEORGIA 30067
 PH 920.751.4200 FX 920.751.4284 MCMGRP.CC

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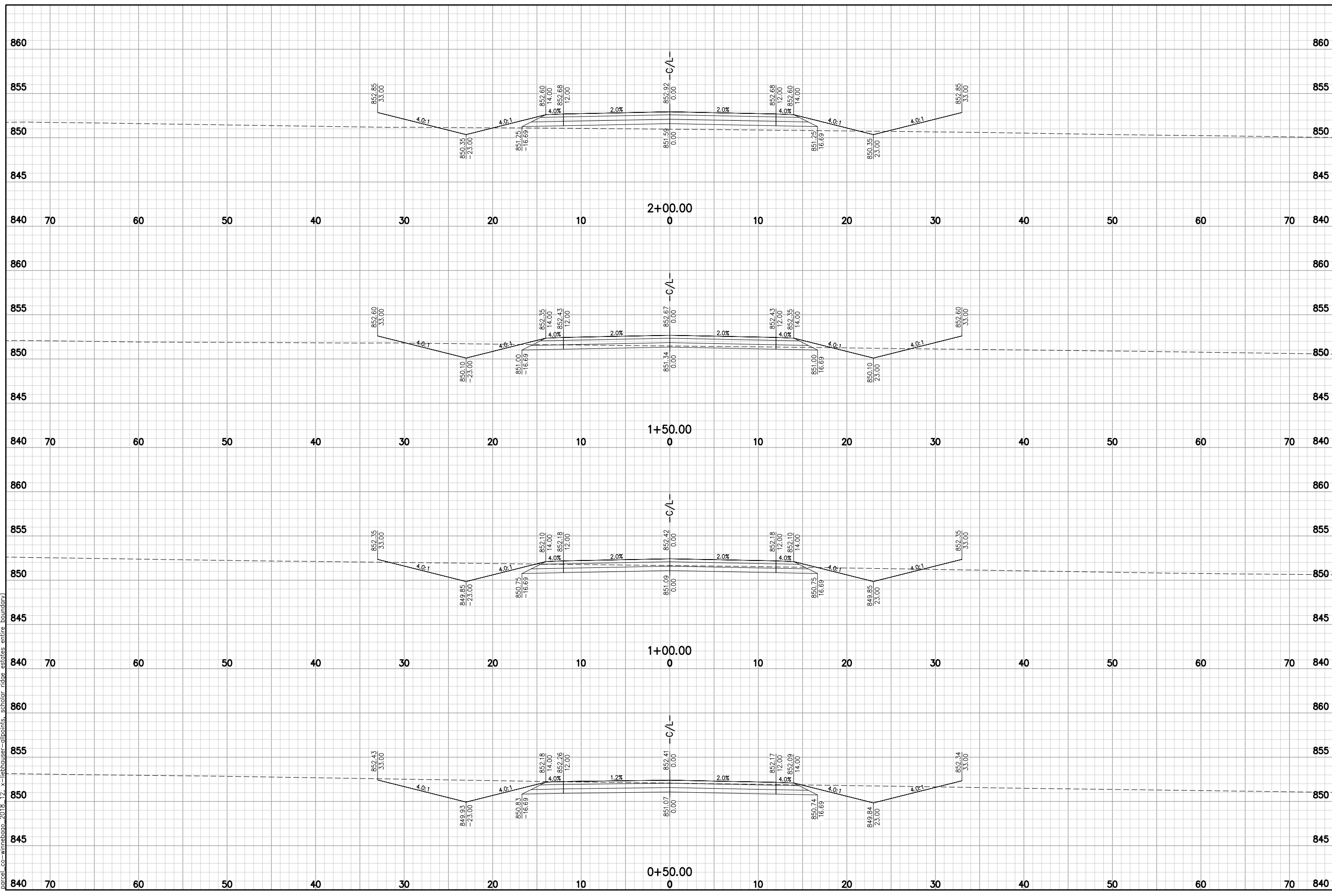
NO.	DATE	REVISION

SCHOLAR RIDGE ESTATES - PHASE 1
TOWN OF CLAYTON
LAWRENCE LN

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO.	

XS
87

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Item A.

McMAHON

McMAHON ASSOCIATES, INC.
 1445 McMAHON AVENUE, SUITE 100
 MARIETTA, GEORGIA 30067
 PH 920.751.4200 FX 920.751.4284 MCMGRP.CC

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NO.	DATE	REVISION

SCHOLAR RIDGE ESTATES - PHASE 1

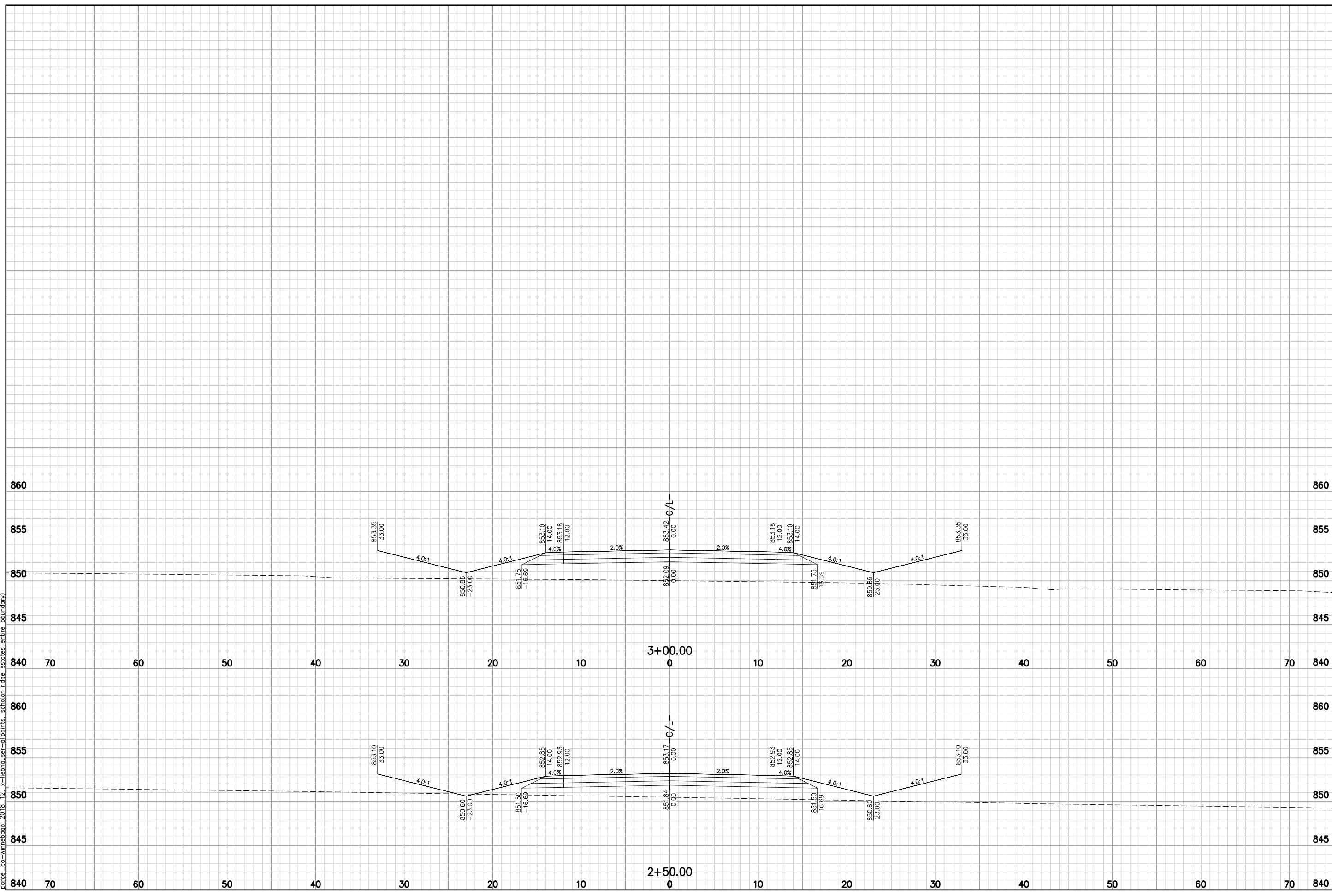
TOWN OF CLAYTON

ST. THOMAS LN

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00271	
DATE JUNE, 2023	
SHEET NO.	

XS
88

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McMAHON
 CIVIL ENGINEERING
 1445 McMAHON AVENUE, SUITE 100
 MARIETTA, GA 30067
 PH 920.751.4200 FX 920.751.4284 MCMGRP.CC

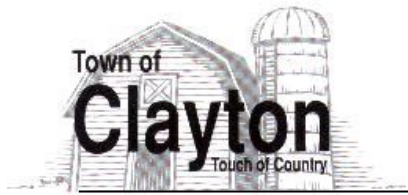
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NO.	DATE	REVISION

SCHOLAR RIDGE ESTATES - PHASE 1
 TOWN OF CLAYTON
 ST. THOMAS LN

DESIGNED: ZRL
 DRAWN: ZRL
 PROJECT NO.: C1069-09-23-00271
 DATE: JUNE, 2023

SHEET NO. 89



8348 Hickory Ave
Larsen, WI 54947

May 24, 2023

ADDRESS
ADDRESS
ADDRESS

To Whom it May Concern:

The Board of Supervisors of the Town of Clayton conditionally approved your Preliminary Plat submission at their Wednesday, May 17, 2023 meeting. Please find below the conditions that must be satisfied within the Final Plat submission:

1. Town Board allow for fee in lieu of land dedication pursuant to Section 7.10.08 (4)(b) of the Town of Clayton Subdivision Ordinance.

The subdivider accepts the fee in lieu of land dedication.

2. Detailed street, sanitary sewer, and water main plans and profiles shall be submitted to and approved by the Town Engineer and Town of Clayton Sanitary District #1, and Village of Fox Crossing, as applicable, prior to Final Plat approval by the Town and prior to commencing construction.

- a. The Town Engineer may require that borings and soundings be made in designated areas to ascertain subsurface soil, rock, and water conditions, including depth to bedrock and depth to groundwater table.

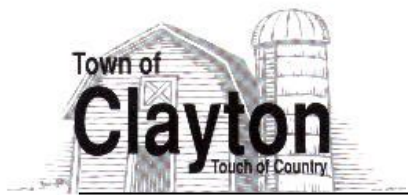
A geotechnical report including soil borings has been provided to the Town of Clayton. Information regarding subsurface soil and water conditions is included in the report.

- b. Marlo Dr, Princeton Dr, and St Norbert Dr must comply with the Town's minimum road design standards as per the Town's Minimum Road Design Standards Policy/Ordinance.

See response under 2c.

- c. If requested by the subdivider, the Town Board allow for an exception/variance to the minimum road design standards for all platted roads, except Marlo Dr, Princeton Dr, and St Norbert Dr, to be constructed with 4 inches total asphalt pavement (2.25" binder layer & 1.75" surface layer), 12 inches total gravel base (6 Inches of 3" B.A.D. & 6 Inches of ¾" B.A.D.), and geogrid, subject to: 1) The subdivider conducting soil borings and providing the Town a detailed geotechnical report with design calculations proving the proposed road design is suitable for the site; and 2) The subdivider providing the Town an irrevocable financial commitment to cover the cost of road failure if road failure were to occur within 25 years after construction.

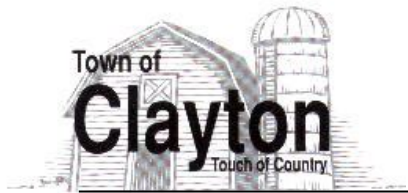
In response to conditions 2b. and 2c. above, the developer hired a licensed Geotechnical Engineer (ECS Midwest, LLC) to provide pavement section recommendations based on their subsurface exploration and laboratory testing (Geotechnical Report and 30-year pavement design supplemental letter previously sent to the Town Administrator). ECS Midwest's recommendation for a 30-year design includes 4.5 inches total asphalt pavement (2.25" binder layer & 2.25" surface layer), 12 inches total gravel base, and no geogrid. Based on ECS Midwest's recommendations for the residential subdivision, the subdivider is requesting a variance to the minimum road design standards for all platted roads within the



8348 Hickory Ave
Larsen, WI 54947

subdivision. The subdivider is requesting that all platted roads be constructed with 4 inches total asphalt pavement (2.25" binder layer & 1.75" surface layer), 12 inches total gravel base (6 Inches of 3" B.A.D. & 6 Inches of ¾" B.A.D.), and geogrid. In comparison with ECS' 30-year design, the proposed road has 0.5 inches less asphalt but includes geogrid.

3. Detailed drainage, grading, storm sewer, and stormwater management plans and profiles shall be submitted to the Town Engineer for review and comment prior to Final Plat approval by the Town. Detailed drainage, grading, storm sewer, and stormwater management plans and profiles have been submitted to the Town of Clayton for review.
4. All permits and approvals required by the Wisconsin Department of Natural Resources and Winnebago County for stormwater management and erosion control shall be obtained prior to commencing construction. WDNR permits have been applied for and are pending approval. Permit approval letters shall be supplied to the Town of Clayton prior to commencing construction.
5. The Wisconsin Department of Natural Resources jurisdictional determination/wetland exemption or Individual Permit for wetland disturbance shall be obtained prior to Final Plat approval by the Town and prior to commencing construction. Wetland permits have been applied for and are pending approval. Permit approval letters shall be supplied to the Town of Clayton prior to commencing construction.
6. All permits and approvals required by the Wisconsin Department of Natural Resources, Town of Clayton, Village of Fox Crossing, and Town of Clayton Sanitary District #1 for sanitary sewer, water main, and street construction shall be obtained prior to Final Plat approval by the Town. Plans have been submitted to the Town of Clayton and Fox Crossing Utilities for review. WDNR sanitary and water extension permits have been submitted and are pending approval.
7. The subdivider shall execute a Public Improvement Agreement with the Town of Clayton, Village of Fox Crossing, and Town of Clayton Sanitary District #1, and provide requisite financial security for all public improvements prior to Town approval and as a condition of Town approval of the Final Plat. Parts of this are included in the Developer's agreement. What is required of the subdivider to move forward with the Public Improvement Agreement?
8. A boundary amendment to the Town of Clayton Sanitary District #1, adding Tax ID # 006-0632 to the sanitary district, shall be approved and executed prior to Final Plat approval by the Town of any Final Plat including/dividing Tax ID #006-0632. Phase 1 of Scholar Ridge Estates does not include Tax ID# 006-0632. A boundary amendment shall be executed prior to the Final Plat including Tax ID# 006-0632. What is required by the Town of Clayton to move forward with the boundary amendment?
9. Written confirmation of the extraterritorial rights of both City of Neenah and the Village of Fox Crossing over the subject property shall be submitted to the Town. See attached Intermunicipal agreement between The Town of Clayton and The Village of Fox Crossing. According to Section IV (Extraterritorial Jurisdiction), there shall be a ten year moratorium



8348 Hickory Ave
Larsen, WI 54947

on the Village's exercise of extraterritorial zoning authority and plat approval authority within the Town of Clayton. Correspondence with the Village of Fox Crossing is also attached.

The applicant is currently waiting on a response from the City of Neenah regarding extraterritorial rights. Correspondence with the City of Neenah will be provided to the Town of Clayton as soon as it is available.

10. Applicant is eliminating Lot #53 from the plat due to the intermittent stream.
Lot #53 has been eliminated from the plat.

11. Subdivider shall explore a pedestrian solution throughout the plat in addition to the public trail on Marlo Dr.

As a part of the subdivision, the subdivider has incorporated the public trail along Marlo Drive, extending the full length of the property. This allows access from the north end of the property all the way to the south end via trail. Eventually, this will also be able to tie into the development extending directly to the south, which can provide safe trail access from County Road ii to Larsen Road. As a part of our design, all lots have quick and easy access to reach this public trail. We have given additional considerations to items such as green space, space for children to wait for the school bus, space for children and families to play in the subdivision, etc. As the end buyer of the apartment complex, we have designated an area where the children can line-up and wait for the school bus pickup in our apartment community. Additionally, there is 10 acres of green space within the apartment community that can be used as a shared location for recreational use, and for areas for the families and children to play. The combination of the public trail extending throughout the full length of the subdivision, designated area for school bus pickup, and green space for the development to use creates a solution for pedestrian traffic, recreational use, and safety for the families of the neighborhood.

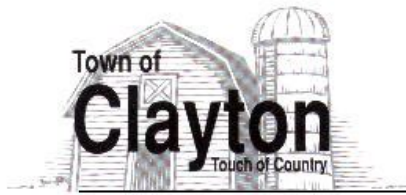
12. Review from Clayton Protective Services Department, Town of Clayton Public Works Department, US Postal Service, and Winnebago County for items including, but not limited to, public safety access, plowing access, method of postal service, future development along County Rd II with respect to the proposed trail. The subdivider shall be responsible for construction of the public trail along/within the County Rd II right-of-way.

- d. How is the applicant going to comply with Fire Code IFC D107 (adopted by the Town) requiring accesses?

As a part of the initial conceptual layout and preliminary plat, the applicant dedicated 6 stub streets (2 stub streets in Phase 1) that are intended to be tied into future development in the Town of Clayton. Due to the Winnebago County Highway Department requirements, a second public access route would not be allowed along County Road II. The State has reviewed the preliminary plat, and no comments or concerns regarding accesses have been brought to our attention.

- e. How is the applicant going to comply with Fire Department Access and Water Supply NFPA1-18.2.3.3 Multiple Access Roads? More than one fire department access road shall be provided when it is determined by the AHJ that access by a single road could be impaired by vehicle congestion, condition of terrain, climatic conditions, or other factors that could limit access.

See response under 12d.



8348 Hickory Ave
Larsen, WI 54947

- f. How is the applicant going to handle the snow management within the plat?
The rural road section allows for snow storage within roadside ditches. Additionally, temporary snow storage easements have been added at the end of all stub streets within the plat.

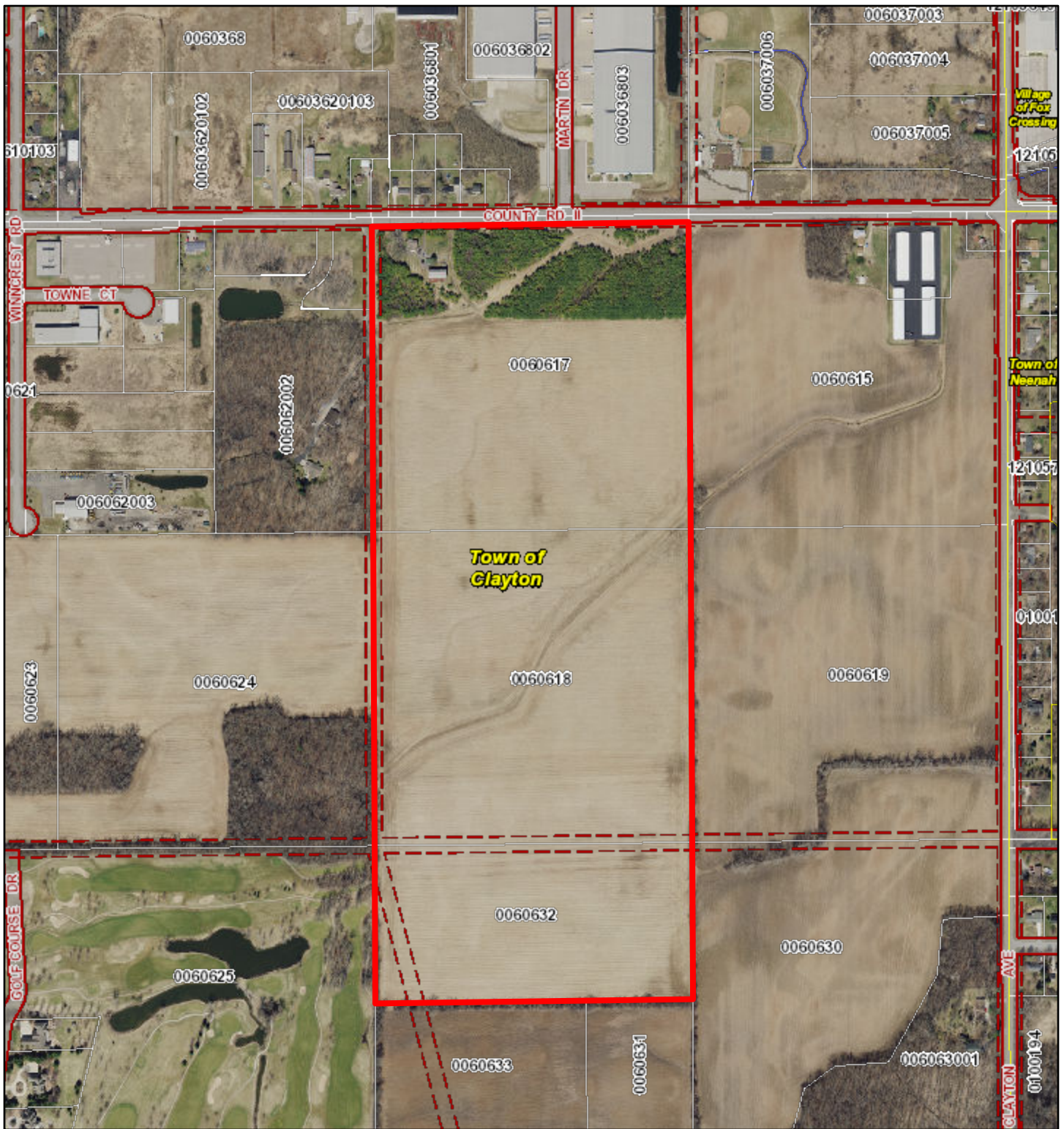
- g. How is the applicant working with USPS to address postal servicing?
Applicant to provide correspondence to the Town regarding postal servicing.
Waiting to hear back from USPS regarding the need for mailbox clusters.

If you have any questions, please feel free to reach out via email or phone.

Kelly Wisnefske
Town Administrator

Site Map 1-Clayton Development Group LLC

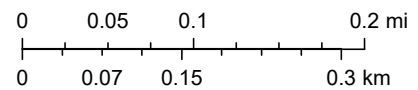
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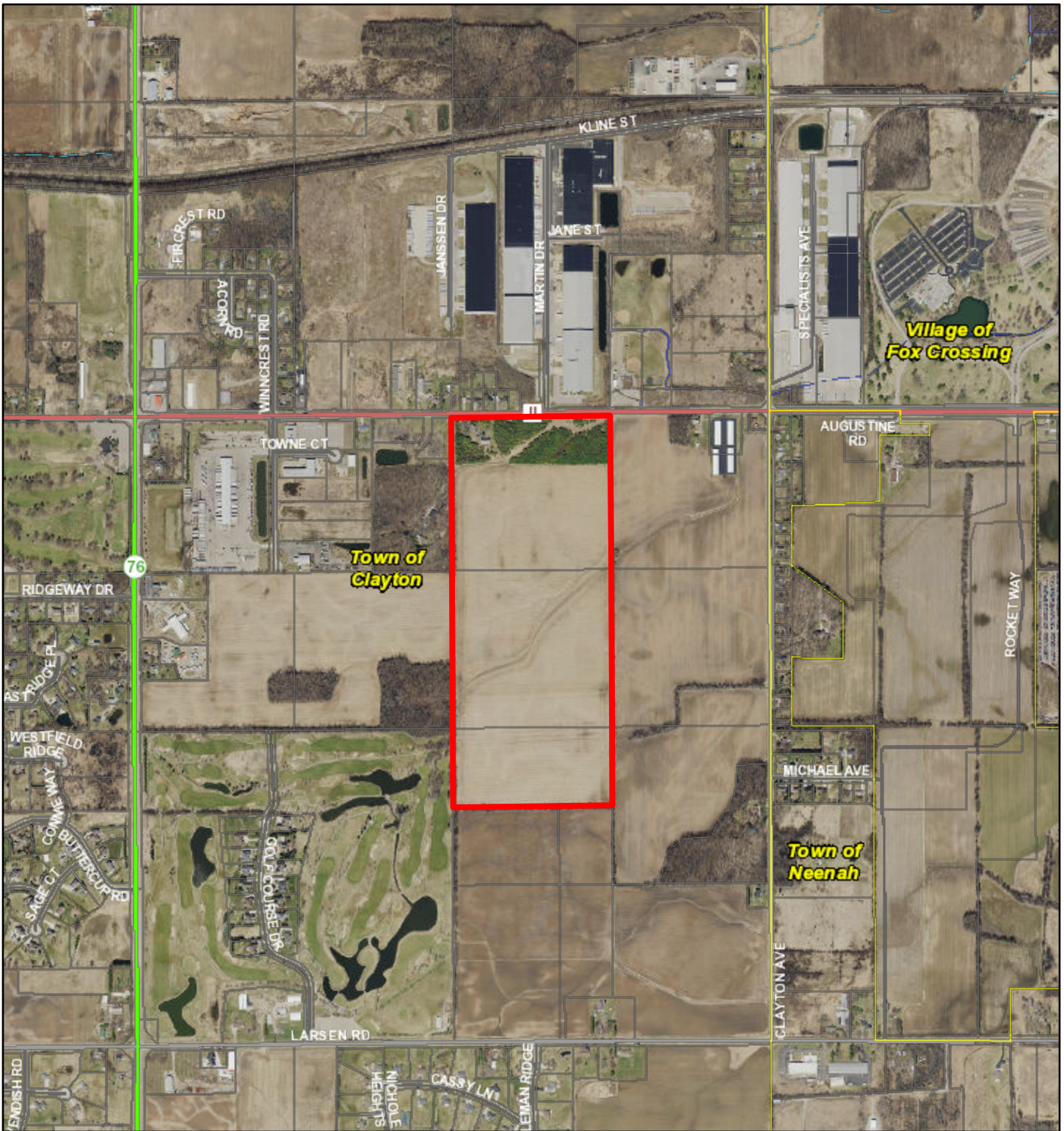
- Official Mapped ROW Extension
- Adjacent Counties
- Lakes, Ponds and Rivers
- Navigable Waterways**
- Navigable - Permanent (unchecked)
- Navigable - Intermittent (unchecked)
- Navigable - Stream (unchecked)
- Navigable - Permanent (checked)
- Navigable - Intermittent (checked)
- Navigable - Stream (checked)
- Tax Parcel Boundary
- Road ROW



Winnebago County GIS, Imagery Date: April 2020

Site Map 2-Clayton Development Group LLC

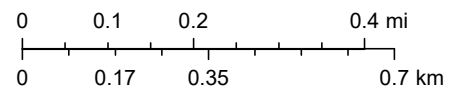
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- Adjacent Counties
- Lakes, Ponds and Rivers
- Navigable Waterways
- Navigable - Permanent (unchecked)
- Navigable - Intermittent (unchecked)
- Navigable - Stream (unchecked)
- Navigable - Permanent (checked)
- Navigable - Intermittent (checked)
- Navigable - Stream (checked)
- Tax Parcel Boundary
- Local Road
- County Road



Winnebago County GIS, Imagery Date: April 2020

Agenda Items: Public Hearing A, Business B, & Business C

From: Administrator/Staff
 To: Plan Commission
 Re: Public Hearing and Plan Commission review & recommendation on a Conditional Use Application submitted by McMahon Associates on behalf of Clayton Development Group, LLC for a proposed multifamily housing development consisting of fifteen (15) 12-unit multi-family buildings located on approximately 19.6 acres of Tax ID #006-0617 addressed 2689 County Rd II, Neenah, WI.

AND

Plan Commission review & recommendation on a Site Plan Review Application submitted by McMahon Associates on behalf of Clayton Development Group, LLC for a proposed multi-family housing development consisting of fifteen (15) 12-unit multi-family buildings located on approximately 19.6 acres of Tax ID #006-0617 addressed 2689 County Rd II, Neenah, WI.

Property Information Specific to Tax ID # 006-0617:

1. Specific Site Location: The subject site is located on the property addressed 2689 County Rd II. The subject site is adjacent to the south of the County Rd II/Martin Dr intersection.
2. Parcel Profile Report is enclosed with this memo for your reference. Additional applicable property information not included in the Parcel Profile Report is described below:
 - a. The subject property is located in the Town's Multifamily Residential (R-4) District. Rezoning approved by Town in May 2023.
 - b. There is one (1) "non-navigable" intermittent stream/drainage way running adjacent to the south of Lot 4 of the proposed Scholar Ridge Estates final plat.
 - c. There are no wetlands on the subject property.
 - d. No portion of the subject property is located in shorelands or floodplain.
 - e. No portion of the subject property is located in located in Outagamie County Airport Zoning or an Airport Height Limitation Zone.
 - f. All of the subject property part of the final plat is located in the Fox West Sewer Service Area and Town of Clayton Sanitary District #1.
 - g. The adopted "Highways 10 & 76 Corridor Land Use Master Plan" identifies the future use of the subject property as "Medium and High Intensity Residential". This Master Plan was adopted as part of the Town Comprehensive Plan and serves as a more detailed future land use map for the Highways 10 and 76 Corridor. This Master Plan Map is a supplement to and supersedes the Future Land Use Plan Map classifications.
 - h. The PRELIMINARY/DRAFT Future Land Use Map of the updated 2023 Comprehensive Plan identifies the future use of the subject property as "Medium and High Intensity Residential". This preliminary/draft Future Land Use Map has not yet been adopted by the Town.
 - i. The proposed development is a Conditional Use in the subject property's Multifamily Residential (R-4) District.
3. Zoning of Surrounding Properties:
 - a. North: B-2 (Community Business District)
 - b. South: R-3 (Two-Family Residential District)
 - c. East: A-2 (General Agriculture District)
 - d. West: A-2 (General Agriculture District)

Application Details:

The applicant is proposing a multi-family housing development consisting of fifteen (15) 12-unit multi-family buildings on the subject property.

- Twelve (12) of the multi-family buildings are proposed on Lot 4 of the proposed Scholar Ridge Estates final plat

- Three (3) of the multi-family buildings are proposed on Lot 5 of the proposed Scholar Ridge Estates final plat

The proposed development also includes dumpster enclosures and internal driveways/parking areas. There are two (2) proposed driveways to Marlo Ave from the western portion of the development on Lot 4 of the proposed Scholar Ridge Estates final plat. There are two (2) proposed driveways to Marlo Ave and one (1) proposed driveway to St Thomas Ln from the eastern portion of the development on Lot 5 of the proposed Scholar Ridge Estates final plat. Stormwater management is proposed to be handled by the stormwater pond proposed to be constructed on Outlot 1 of the proposed Scholar Ridge Estates final plat, located north/northeast of the proposed development. The subject property is currently vacant land with wooded areas in the northern portions of Lots 4 and 5 of the proposed Scholar Ridge Estates final plat.

“Multifamily building, 9 or more units” is a Conditional Use in this property’s Multi-Family Residential (R-4) District. A Conditional Use Permit and Site Plan Review/Approval are required for this development.

Special Standards for Principal Land Uses:

Special standards for the “Multifamily building, 9 or more units” land use are found in Sec. 9.08-253, as follows:

1. **Number of principal buildings per parcel.** More than one multifamily building with 3 or more dwelling units may be located on a parcel of land, provided the overall density is maintained.
2. **Design and construction.** A multifamily building with 3 or more dwelling units shall meet the design and construction standards for a single-family dwelling under s. 9.08-254(c), which are:
 - Suitable roof coverings include clay or ceramic tiles, wood shingles or shakes, metal, or fiberglass or asphalt shingles.
 - Exterior wall surfaces shall be covered with stucco, wood siding, cement-fiber siding, vinyl siding, metal horizontal lap siding, wood shingles, or a masonry veneer.
 - An overhang shall extend at least 12 inches beyond the face of the exterior wall.
 - The building shall be set on and anchored to a continuous permanent foundation that extends around its perimeter.
 - Consistent with the requirements in Article 7 of this chapter, the Plan Commission may approve a special exception authorizing the use of an exterior material not specifically allowed in this subsection.

The proposed roofing material is Aged Cedar or Weathered Wood color asphalt shingles. The proposed exterior wall materials consist of Aztec White color brick veneer and Savannah Wicker color vinyl siding. The proposed development appears to comply with all special standards outlined in Sec. 9.08-253. Color sample documents are included for Town review.

Special Site Design Principles and Architectural Standards

The “Multifamily Building” land use is subject to the special site design principles and architectural standards outlined in Division 8 of Article 8 of the Town Zoning Code of Ordinances. This section of the ordinance makes reference to the following attachments of the zoning code:

- Attachment B, Horizontal Site Design Standards
- Attachment C, Architectural Design Standards
- Attachment D, Architectural and Landscape Design Zones
- Attachment E, Landscape Design Standards
- Attachment F, Environmental and Energy Efficiency (E³) Guidelines

Per Attachment D, this property is located in the Tier 1 architectural and landscape design zone.

Horizontal Site Design Standards (Attachment B):

Driveways:

- **Lot 4 of the proposed Scholar Ridge Estates final plat:** Two (2) driveways to Marlo Ave.
- **Lot 5 of the proposed Scholar Ridge Estates final plat:** Two (2) driveways to Marlo Ave & one (1) driveway to St Thomas Ln

Per Section A (1) (f): “Driveways shall be located to minimize potential interference and conflicts with the use of buildings, roadways and driveways located on the opposite side of the street. To the greatest extent possible, driveways should align with existing driveways or roads on the opposite side of the street.” **In accordance**

with this ordinance section, staff recommends reconfiguring the southern driveway on Lot 4 to align with St Thomas Ln on the opposite side of Marlo Ave.

In response to staff’s recommendation, the applicant’s engineer provided the following statement:

“Moving the driveway would force the southernmost buildings into the 30’ side yard setback. This would also eliminate space for a vegetated buffer along the South property line of Lot 4. If the current driveway location is not acceptable to the Town, further discussion can be had to determine an appropriate location”

Stormwater and Erosion Control:

Stormwater management is proposed to be handled by the stormwater pond proposed to be constructed on Outlot 1 of the proposed Scholar Ridge Estates final plat, located north/northeast of the proposed development. Stormwater management plans require review and approval by the Town and Winnebago County. Applicant shall also provide copies of stormwater management and erosion/sediment control permits/approvals obtained from Winnebago County and the Wisconsin Dept. of Natural Resources for this development.

Architectural Design Standards (Attachment C):

The subject property is located in the Tier 1 architectural design zone per Attachment D, Architectural and Landscape Design Zones.

Exterior Wall Materials:

The proposed exterior wall materials consist of Aztec White color brick veneer and Savannah Wicker color vinyl siding.

Sec. A. (2) (a) states:

- 1) *Except as provided below, Acceptable Exterior Building Materials shall cover 75 percent or more of all exterior wall surfaces. Windows and doors, including overhead doors, shall not be included in the total wall surface area calculation.*

“Acceptable exterior building materials” listed in Sec. A. (1) (d) include the following:

- Clay or masonry brick
- Natural or manufactured stone
- Decorative concrete masonry (sealed) with color consistent with design theme.
- Poured-in-place, tilt-up or precast architectural concrete (shall have stone, texture or coating appearance consistent with design theme)
- Glass curtain walls (Note: Glass windows and doors are not considered glass curtain walls)
- Other materials as approved by the Town Board

The proposed exterior materials do not comply with the requirements of Sec. A. (2) (a) since greater than 25% of the exterior wall surfaces are proposed to be covered with vinyl siding. However, there is a clear conflict between the special standards described in Sec. 9.08-253 (see above) and architectural design standards in Attachment C. The applicant is proposing approximately 50% (1st floor) to be covered with brick veneer, consistent with the Premier Apartments developments. In order to address this issue, the Town may:

1. Require the applicant to comply with minimum code requirements of Attachment C; or
2. Reduce the percentage of the exterior wall surfaces needing to be covered with acceptable exterior building materials to approximately 50% (1st floor) as proposed.

The Town may approve the building plans as proposed via #2 above. **Staff recommends approving the building plans as proposed to be consistent with the Town’s approval of the existing Premier Apartments developments.**

Roofing Materials:

The proposed roofing material is Aged Cedar or Weathered Wood color asphalt shingles. “Asphalt, fiber-cement, slate or wood shingles” is listed as an acceptable roofing material per Sec. A. (1) (c).

Per Sec. A. (1) (c), the proposed roof material shall have a Solar Reflective Index (SRI) of 29 or higher. SRI for Aged Cedar color asphalt shingles is 28 and the SRI for Weathered Wood color asphalt shingles is 19. **Both of these roofing materials do not comply with the code’s SRI requirement.**

The applicant is requesting a waiver to this requirement and provided the following statement:

“We are proposing the use of 'Aged Cedar' or 'Weathered Wood' color of the Landmark shingle material produced by Certainteed, which has an SRI of 28 and 21 respectively. Additionally, we discussed the SRI requirement at length with Chad Pingel at RODAC (the builder of Legacy Park Apartments), and it seems the SRI requirement of 29 should be applied to commercial construction and doesn't necessarily apply to residential projects with shingle roofs in the same manner. In reviewing the LEED rating system, we believe the LEED for commercial requirement of 29 for SRI is relevant to commercial projects with metal or TPO roof systems. When being applied to residential projects with asphalt roofs of this type, the LEED for Homes/Residential system would be the most relevant. In speaking with the two largest manufacturers of asphalt shingles, there is only 1 color amongst all of them that exceeds the SRI requirement of 29. The following are comments from my Chad who has an extensive background in materials and efficiency:

"Please see attached information that reflects the most current data available for: Solar Reflectance, Solar Reflective Index, and those shingles that comply with Cal Title 24 Part 6 (shingles allowed for use in California’s hot climate). When it comes to saving on energy costs related to cooling loads based on a light colored shingle or any roofing material for that matter, it ends up being a wash in cost at this latitude due to the amount of degree heating and cooling days being almost the same. Therefore, it doesn’t make sense to have the SRI requirement tied to Multifamily Residential Construction. LEED utilizes the SRI value when looking at what is known as the “Heat Island Reduction”. The roofing surface is only (1) part of what is considered along with areas of green space and areas of shade due to trees within the building site. Heat island reduction focuses on keeping the climate surrounding a building’s surfaces cool. This is where the SRI value plays part in material selection and hard surfaces along with green space and shade.”

Staff recommends approval of the requested waiver to allow for the Aged Cedar color asphalt shingles with an SRI of 28.

Sustainable Design:

Sec. A. (11) states: *“It is the intent of the Town of Clayton to encourage sustainable development and design. Sustainable design reduces dependency upon energy and impact on the environment while meeting development needs of the community. While certification to a specific environmental standard (e.g., LEED, Green Globe, Energy Star) is not required, the site plan review process will include review of a project’s adherence to Attachment F, Environmental and Energy Efficiency (E3) Guidelines, of this Chapter. Projects that aim to meet an established, specific environmental standard such as those named above are strongly encouraged.”*

Exceptions:

Sec. A. (14), states: *“Should a particular parcel present an undue hardship or needs arise to mitigate adjoining land use impacts, the Town Board may modify provisions of these regulations so long as the intent is protected and such modifications are not utilized in significant fashion as to warrant revision.”*

Landscape Design Standards (Attachment E):

The subject property is located in the Tier 1 landscape design zone per Attachment D, Architectural and Landscape Design Zones.

General Design Criteria:

A Landscape Plan was submitted which identifies Buffer Yard Landscaping, Parking Lot Landscaping, Screening Requirements, and Building & Grounds Landscaping. The submitted plans also identify preserving a portion of the existing wooded area adjacent to the intermittent stream/drainage way adjacent to the south of Lot 4 of the proposed Scholar Ridge Estates final plat.

Design Standards:

The following landscaping types are required per Attachment E:

- Buffer Yard Landscaping along the southern lot line of Lot 4
- Parking Lot Landscaping
- Screening Requirements (i.e., screening around service, storage, and trash collection structures and areas)
- Building and Grounds Landscaping
- Ground Sign Landscaping

Buffer Yard Landscaping:

Per Sec. C. (1) (a):

- Buffer yard landscaping is required along the southern lot line of Lot 4.
- Required buffer yards shall be landscaped as described below. Combinations of trees and shrubs (at maturity), berms and fences shall create a 100 percent screening of visual sight from the normal finished ground elevation to six feet (6') above the ground elevation.
- Buffer yard shall be a minimum of 20 feet wide and shall be in accordance one of the two options below:
 1. Planted with 350 landscape points per 100 linear feet. At minimum, the following landscaping plantings shall be incorporated into the buffer yard:
 - Three (3) tall or medium deciduous or evergreen trees with a minimum height of 25 feet at maturity;
 - Ten (10) evergreen trees or shrubs with a minimum height of ten (10) feet at maturity; and
 - Fifteen (15) deciduous or evergreen shrubs with a minimum height of four (4) feet at maturity.

A total of 3,691 landscape points would be required for this option.

2. An opaque fence with a minimum height of six (6) feet and 175 landscape points per 100 linear feet. The required landscaping plantings shall be located on the outside of the fence. At minimum, the following landscaping plantings shall be incorporated into the buffer yard:
 - Three (3) tall or medium deciduous or evergreen trees with a minimum height of 25 feet at maturity;
 - Five (5) evergreen trees or shrubs with a minimum height of ten (10) feet at maturity; and
 - Eight (8) deciduous or evergreen shrubs with a minimum height of four (4) feet at maturity.

A total of 1,845 landscape points would be required for this option.

The proposed buffer yard landscaping does not comply with code requirements. Applicant requesting a waiver to this requirement to allow for the proposed buffer yard landscaping consisting of 720 total landscape points via the following landscaping materials along the southern lot line of Lot 4:

- 12 Vanderwolf's Pyramid Pine
- 6 Black Hills Spruce
- 6 Autumn Blaze Maple

Staff recommends requiring buffer yard landscaping along the south lot line of Lot 4 in compliance with the requirements of Attachment E.

Parking Lot Landscaping:

Per Sec. C. (1) (b) 3) b), Parking Lot Perimeter Landscaping, "One (1) tall or medium deciduous or evergreen trees per 50 linear feet of parking lot perimeter shall be equally spaced around the perimeter of the parking lot."

The Landscape Plan does not technically meet this requirement since Ivory Silk Lilac is proposed adjacent to the parking areas on Lot 5, which is a "low" deciduous tree. In order to address this issue, the Town may:

1. Require the applicant to comply with minimum code requirements and replace the Ivory Silk Tree Lilac "low deciduous trees" with tall or medium deciduous or evergreen trees; or

2. Waive this requirement and allow for the Ivory Silk Tree Lilac “low deciduous trees” in lieu of tall or medium deciduous or evergreen trees, as proposed.

The Town may approve the Parking Lot Landscaping as proposed via #2 above.

Grounds Landscaping:

Per Sec. C. (1) (d) 1):

- *A minimum of 20 landscape points consisting of deciduous and evergreen trees shall be provided on a prorated basis for every 4,500 square feet of impervious surface area. Low deciduous trees shall not make up more than 50 percent (50%) of the total number of trees. Evergreen trees shall make up at least 15 percent (15%) of the total number of trees.*
 - Lot 4 requires 1,378 landscape points consisting of trees. The Landscape Plan proposes 2,610 landscape points consisting of trees. **The Landscape Plan for Lot 4 exceeds this requirement.**
 - Lot 5 requires 392 landscape points consisting of trees. The Landscape Plan proposes 660 landscape points consisting of trees. **The Landscape Plan for Lot 5 exceeds this requirement.**
- *A minimum of three (3) landscape points consisting of deciduous and/or evergreen shrubs shall be provided on a prorated basis for every 1,000 square feet of impervious surface area.*
 - Lot 4 requires 930 landscape points consisting of shrubs. The Landscape Plan proposes 360 landscape points consisting of shrubs. **The Landscape Plan for Lot 4 does not meet this requirement since Reed Grass does not count for any points.**
 - Lot 5 requires 264 landscape points consisting of shrubs. The Landscape Plan proposes 90 landscape points consisting of shrubs. **The Landscape Plan for Lot 5 does not meet this requirement since Reed Grass does not count for any points.**

The applicant is requesting that the Town consider/allow Reed Grass as being equivalent to a “low shrub” equaling 3 landscape points per Reed Grass planting. If allowed by the Town, then the Landscape Plan for Lot 4 would comply with this requirement, but the Landscape Plan for Lot 5 would still not comply with this requirement.

Building Landscaping:

Per Sec. C. (1) (d) 2), “75% of all building sides must be landscaped with a variety of appropriate plant materials in a wood mulch or stone landscaping bed which is a minimum of 6’ wide measured from building façade.”

The Landscape Plan does not comply with this requirement.

Ground Sign Landscaping:

Signage plans and ground sign landscaping plans were not submitted.

Modifications of Standards:

Sec. F states: “The Town Board shall have the authority to waive or modify the requirements and standards of this section for good cause shown by the applicant. In lieu of any modification, a substitution of higher standards or inclusion of E3 components described in Attachment F can be required by the Town Board to offset any corresponding waiver or modification. Documentation of any modification shall be on file at the Town of Clayton and available for public review.”

Environmental and Energy Efficiency (E³) Guidelines (Attachment F):

The E³ standard is strongly recommended, but not required. Per review of the application materials, the following E³ components are included in this development:

- Increase number of plants. The total number of trees and shrubs required for “grounds landscaping” exceeds minimum requirements
- Storm sewer piping. Only hard piping of stormwater directly off-site is proposed to the stormwater pond on Outlot 1 which is anticipated to be approved by the Town & County.
- Minimize sprawl. Development is proposed within 1/8 mile of existing commercial development.

- Light Pollution. Proposed lighting is further reduced beyond current ordinance requirements.
- Minimize impervious surfaces. Proposed impervious surface percentage is less than 47% which is well below the maximum 70% requirement.

Storage of Waste/Trash and Recyclables (Sec. 9.08-209):

Per Sec. 9.08-209:

- Outside Storage of waste/trash or recyclables shall be screened from view and enclosed by a fence or wall that extends to the tallest point of waste/trash or recyclable container(s), but not less than six (6) feet in height.
- Screen fencing or walls shall be of a continuous wood, brick, or vinyl surface, or other material(s) as approved by the Town Board.
- When a fence has two distinct sides, the side with protruding posts, studs, etc. shall face the inside of the enclosure.

The trash enclosure is proposed to be enclosed via chain link fence with privacy slats, which may be allowed if the Town approved the proposed materials (i.e., chain link fence with privacy slats).

Exterior Lighting (Sec. 9.08-210):

An exterior lighting plan consisting of only building-mounted fixtures was submitted and substantially complies with code requirements.

Comprehensive Plan Considerations:

- The “Highways 10 & 76 Corridor Land Use Master Plan” classifies this parcel as being in the “Medium and High Intensity Residential” land use district. This Master Plan was adopted as part of the Town Comprehensive Plan and serves as a more detailed future land use map for the Highways 10 and 76 corridor. This Master Plan Map is a supplement to and supersedes the Future Land Use Plan Map classifications.
- “Medium and High Density Residential District” Land Use District Description:
“This district is present in various portions of the Study Area and is intended to accommodate both single-family and multiple-family housing units that are connected to public sewer and water. Planned densities should fall between 6 and 12 dwelling units per acre. This district is designed to better accommodate more affordable ‘workforce’ housing and those types of units which are often referred to as ‘the missing middle’ (Figure 2-2). The Missing Middle housing types provide diverse housing options, such as duplexes, fourplexes, cottage courts, and townhouses. This definition does not include typical 8-plex and 16-plex apartment buildings. These house-scale buildings should fit seamlessly within residential neighborhoods and support walkability. They provide solutions along a spectrum of affordability to address the mismatch between the available housing stock and shifting demographics combined with the growing demand for walkability.”

The proposed development is consistent with the “Medium & High Density Residential District” land use district as mapped and described in the “Highways 10 & 76 Corridor Land Use Master Plan”.

Staff Comments, Basis of Decision, & Suggested Conditions:

Staff Comments:

Plan Commission/Town Board will need to consider and discuss the following outstanding items/issues:

1. Horizontal Site Design Standards (Attachment B):
 - a. Location of Southern Driveway on Lot 4:
 - i. Per Section A (1) (f): “Driveways shall be located to minimize potential interference and conflicts with the use of buildings, roadways and driveways located on the opposite side of the street. To the greatest extent possible, driveways should align with existing driveways or roads on the opposite side of the street.”
 - ii. The southern driveway on Lot 4 does not align with St Thomas Ln, east of Marlo Ave.

- iii. Applicant is requesting a waiver to this requirement to allow the driveway location as proposed.
- iv. Staff Recommendation: Staff recommends requiring reconfiguration of the southern driveway on Lot 4 to align with St Thomas Ln on the east side of the Marlo Ave.

2. Architectural Design Standards (Attachment C):

a. Exterior Building/Wall Materials:

- i. Proposed exterior building/wall materials do not comply with the requirements of Attachment C. Code requires 75% or more of wall surfaces to be covered in "Acceptable Exterior Building Materials" listed in Attachment C. However, there is a clear conflict between the special standards per Sec. 9.08-253 for multifamily buildings and the architectural design standards in Attachment C.
- ii. Applicant is requesting a waiver to this requirement and is proposing approximately 50% (1st floor) to be covered with brick veneer, consistent with the Premier Apartments developments
- iii. Staff Recommendation: Staff recommends approving the building plans as proposed due to the code inconsistency between Sec. 9.08-253 and Attachment C. Furthermore, approving the plans as proposed will be consistent with the Town's approval of the Premier Apartments developments.

b. Roofing Materials:

- i. Proposed roofing materials do not comply with the Solar Reflective Index (SRI) requirement of Attachment C. Code requires roof materials to have an SRI of 29 or higher.
- ii. Applicant is requesting a waiver to this requirement and is proposing Aged Cedar color asphalt shingles with an SRI of 28 or Weathered Wood color asphalt shingles with an SRI of 19.
- iii. Staff Recommendation: Staff recommends approval of the requested waiver to allow for the Aged Cedar color asphalt shingles with an SRI of 28.

3. Landscape Design Standards (Attachment E):

a. Landscaping within Temporary Cul-de-Sac Right-of-Way:

Landscaping is proposed within the temporary cul-de-sac right-of-way at the east end of St Thomas Ln. Landscaping plan will need to be revised to address this issue.

b. Buffer Yard Landscaping:

- i. Proposed buffer yard landscaping along southern lot line of Lot 4 does not comply with the requirements of Attachment E.
- ii. Code requires 3,691 landscape points without a screening or 1,845 landscape points with a screening fence.
- iii. Applicant is requesting a waiver to this requirement to allow for a buffer yard landscaping consisting of 720 landscape points.
- iv. Staff Recommendation: Staff recommends requiring buffer yard landscaping along the south lot line of Lot 4 in compliance with the requirements of Attachment E.

c. Parking Lot Landscaping:

- i. Attachment E requires TALL or MEDIUM deciduous or evergreen trees to be planted adjacent to the parking areas.
- ii. On Lot 5, applicant is proposing Ivory Silk Lilac trees adjacent to parking areas on Lot 5, which is a low deciduous tree. Since Ivory Silk Lilac is a LOW deciduous tree which does not comply with this requirement.
- iii. The Town may waive this requirement and approve the Parking Lot Landscaping as proposed or require the applicant to replace the Ivory Silk Lilac trees with tall or medium deciduous or evergreen trees.

- d. Grounds Landscaping:
- i. Proposed grounds landscaping does not comply with the shrub requirements of Attachment E.
 - ii. Code requires 930 landscape points consisting of shrubs on Lot 4 and 264 landscape points consisting of shrubs.
 - iii. On Lot 4, applicant is proposing 360 landscape points consisting of shrubs with an additional 192 Reed Grass plantings. (*Note: Reed Grass does not count towards any landscape points since it is not a shrub*)
 - iv. On Lot 4, applicant is proposing 90 landscape points consisting of shrubs with an additional 192 Reed Grass plantings. (*Note: Reed Grass does not count towards any landscape points since it is not a shrub*)
 - v. Applicant is requesting that the Town consider/allow Reed Grass as being equivalent to a “low shrub” equaling 3 landscape points per Reed Grass planting. If this waiver request is allowed by the Town, then the Landscape Plan for Lot 4 would comply with this requirement, but the Landscape Plan for Lot 5 would still not comply with this requirement.
- e. Building Landscaping:
- i. Proposed building landscaping does not comply with the requirements of Attachment E.
 - ii. Staff Recommendation: Due to the building configurations having garages on each end, compliance is not possible. Staff recommends waiving this requirement, but requiring modification of the landscape plan so 100% of the non-garage sides of the buildings are landscaped.
4. Storage of Waste/Trash and Recyclables (Sec. 9.08-209):
- a. Applicant is proposing chain link fence with privacy slats for screening of trash enclosures.
 - b. Code states that screen fencing or walls shall be of a continuous wood, brick, or vinyl surface, or other material(s) as approved by the Town Board
 - c. Since “chain link fence with privacy slats” is not listed as an approved fencing material, the proposed materials may only be allowed with Town approval.

Basis of Decision:

Conditional Use:

The Town, in making its decision, shall consider the following factors:

1. the size of the parcel on which the proposed use will occur;
2. the presence of and compatibility with other uses on the subject property;
3. the location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses);
4. effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site;
5. the suitability of the subject property for the proposed use;
6. effects of the proposed use on the natural environment;
7. effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances;
8. effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts; and
9. any other factor that relates to the purposes of this chapter as set forth in s. 9.01-5 and other sections as may apply.

Site Plan Review:

The Town, in making its decision, shall consider the following factors:

1. Effects of the project on traffic safety and efficiency and pedestrian circulation, both on-site and off-site;
2. Effects of the project on the natural environment;

3. Effects of the project on surrounding properties, including but not limited to operational considerations relating to hours of operation and creation of potential nuisances such as noise, odor, fumes, dust, and light;
4. Compliance with the Special Site Design Principles and Architectural Standards described in Division 8 of Article 8;
5. Compliance with other applicable requirements contained in this Chapter; and
6. Any other factor that relate to the purposes of this Chapter as set forth in section 9.01-05 and other applicable sections.

Staff Recommendation & Suggested Conditions:

If the Town determines that the exterior wall materials, roofing material, and overall site plan are adequate, as proposed, it is staff's opinion that the Town may conditionally approve the conditional use permit and site plan.

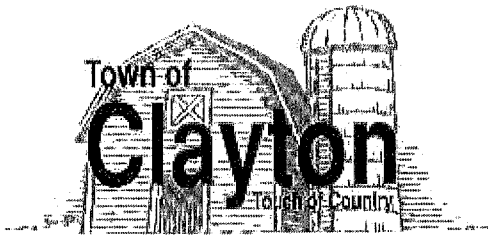
The following are possible conditions of approval that may be relevant to ensure compliance with ordinance requirements:

1. The project shall comply with all applicable local, state, and federal codes/ordinances.
2. Stormwater management and grading/erosion control plans shall be approved by the Town, Winnebago County, and Wisconsin Department of Natural Resources prior to commencing construction. Winnebago County and Wisconsin Department of Natural Resources permits/approvals for stormwater management and erosion control shall be obtained prior to commencing construction.
3. Future accessory buildings shall maintain the same theme and material selections as the principal buildings.
4. A revised Landscape Plan shall be submitted to the Town for review and approval by the Plan Commission and Town Board. The revised Landscape Plan shall be approved and all landscaping shall be installed prior to issuance of any occupancy permit(s)/approval(s) by the Town.
5. No obstructions, such as structures, parking or vegetation, greater than 3 feet in height above the centerline of intersecting street or driveway grades, whichever grade is lower, shall be permitted in a vision clearance triangle.
6. Any proposed signage shall comply with the applicable requirements of Article 12 and Attachment E of the Town Zoning Ordinance.
7. Any substantial changes and/or additions to the site plan and/or building plans shall be reviewed and approved by the Plan Commission and Town Board in accordance with the Town of Clayton Zoning Ordinance. Determination of whether a change or addition is substantial shall be at the discretion of the Town Administrator.

Suggested Motions:

*Motion to recommend approval of the **Conditional Use Permit** for Clayton Development Group, LLC with all Staff recommendations & conditions.*

*Motion to recommend approval of the **Site Plan Application** for Clayton Development Group, LLC with all Staff recommendations & conditions.*



CONDITIONAL USE APPLICATION

Item B.

8348 County Road T, Larsen WI 54947
Phone - 920-836-2007 Fax - 920-836-2026
Email - clerk@townofclayton.net Web Page - www.townofclayton.net

Property Owner(s): Clayton Development Group, LLC Attn: Derek Liebhauser
Address/Zip: 2065 American Drive, Suite A, Neenah, WI 54956
Phone: (920) 428-9451 Fax: E-Mail: derek@groundedpropertygroup.com

Applicant: Zach Laabs, McMahan Associates
Check: Architect Engineer X Surveyor Attorney Agent Owner
Address/City/Zip: 1445 McMahan Drive, Neenah, WI 54956
Phone: (920) 751-4200 Fax: E-Mail: zlaabs@mcmgrp.com

Describe the reason for the Conditional Use: Conditional Use Permit required for any multifamily building containing 9 or more units within the R4 - Multifamily Residential District.

Conditional Use Specifics:

No. of Lots: 2 Total Acreage: 19 Acres Tax Key No.: 0060617
Legal Description: Lots 4 and 5 of Scholar Ridge Estates Plat
Current Zoning: R4 - Multifamily Residential (As a part of the Scholar Ridge Estates Rezoning Application)

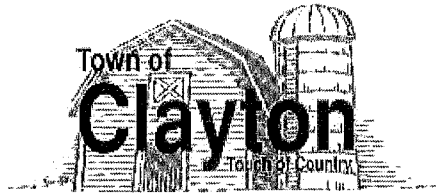
I certify that the attached drawings are to the best of my knowledge complete and drawn in accordance with all Town of Clayton codes.

Applicant Signature: [Signature] Date: 6-14-2023

For Town Use Only

Fee (see Town Fee Schedule)
Fee: Check # Receipt Date
Date Received Complete By CUP No.
Review Meetings - Plan Comm Town Board
Newspaper Publication Dates & Posting Date
300' Neighborhood Notice Distribution
Conditional Use is: Approved Denied
Comments

Notes: 1. Please notify utility companies regarding your proposed development. 2. A Conditional Use approval does not constitute approval of a building permit or any required approval of a highway connection permit. 3. A Conditional Use Application & Fee must be submitted 20 working days prior to meeting.



Site Plan Review Application

Town of Clayton

Mail: 8348 County Road T, Larsen, WI 54947

Phone: 920-836-2007 Fax: 920-836-2026

Email: administrator@townofclayton.net

Web Page: www.townofclayton.net

Contact Information

Property Owner: Derek Liebhauser
Company: Clayton Development Group, LLC
Address: 2065 American Drive, Suite A
City/St/Zip: Neenah, WI 54956
Phone/Fax: (920) 428-9451
Email: derek@groundedpropertygroup.com

Engineer/Architect: Zach Laabs
Company: McMahon Associates
Address: 1445 McMahon Drive
City/St/Zip: Neenah, WI 54956
Phone/Fax: (920) 751-4200
Email: zlaabs@mcmgrp.com

Property Information

Project Name: Legacy Park Apartments
Site Address: Lots 4 & 5 of Scholar Ridge Estates Tax/Parcel ID: 006- 0617
Site Zoning: R4 - Multifamily Residential (As a part of the Scholar Ridge Estates Rezoning Application)
Surrounding Land Uses: North: B2 - Community Business District, South: R3 - Two family Residential, East: A2 - General Agriculture, West: A2 - General Agriculture & R1 - Rural Residential
Proposed Use: 15 - 12 Unit Apartment Buildings
Proposed Zoning: R4 - Multifamily Residential
Lot Size: 15.20 & 4.35 Acres Structure Size: 15 @ 8,800 S.F. Addition: N/A
Project Schedule: Begin Construction in August, 2023

Submittal Fees and Requirements

See Application Checklist for Additional Information
Please make checks payable to the Town of Clayton

Fees

- Fees are based on Actual Review Costs (See Fee Schedule) and will be determined prior to approval.
Storm Water & Erosion Control fees are based on Winnebago County Zoning Department fee schedule.

Plan of Operation

- Letter describing the business

Site Plan, Architectural Plan, Utility Plan (if applicable), Landscaping Plan

- Meets the requirements of the Town's Zoning Code of Ordinances Article 7, Division 13
Meets the requirements of the Town's Subdivision Ordinance
Submit 1 Hard Copy w/application and email an 11 x 17 copy

Signatures

By the execution of this application, applicant hereby authorizes the Town of Clayton or its agents to enter upon the property during the hours of 7:00 AM to 7:00 PM daily for the purpose of inspection. Applicant grants the Town of Clayton or its agents even if applicant has posted this land against trespassing pursuant to Sec. 943.13 Wis. Stats.

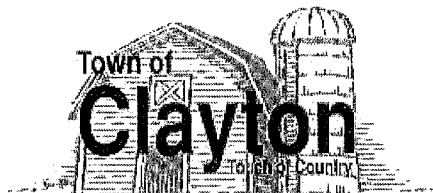
Signature: [Handwritten Signature]

Date: 6-14-2023



PLAN OF OPERATION

The proposed site plan submittal is for lots 4 and 5 of the Scholar Ridge Estates Plat. Lot 4 shall include the construction of 12 – 12 unit apartment buildings and Lot 5 shall include the construction of 3 – 12 unit apartment buildings. Both sites will be serviced with Municipal sewer and water utilities.



**Site Plan Review Application
Town of Clayton**

Mail: 8348 County Road T, Larsen, WI 54947

Phone: 920-836-2007 Fax: 920-836-2026

Email: administrator@townofclayton.net

Website: www.townofclayton.net

General Information

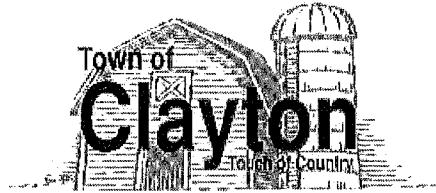
A Site Plan is required for all new buildings and additions to existing buildings which alter the outside dimensions of the building or the internal function of the site, and the development of, or expansion of parking areas, including new or relocated signs. Developments subject to review are multiple dwellings of 3-units or more and all commercial, industrial, or public development and improvements.

Site Plan Review is authorized by the Town of Clayton's Zoning Code of Ordinances Article 7, Division 13 and Subdivision Ordinance. The approval of a site plan shall remain valid for one year after date of approval, after which time the site plan shall be deemed null and void if the development has not been established or actual construction commenced.

Procedure

The Town Staff and Town Planner shall review the application and shall only approve plans that meet all the requirements set forth in the Town of Clayton's Zoning Code of Ordinance and Subdivision Ordinance.

1. **Pre-application conference (recommended):** The purpose of the pre-application conference is to provide an opportunity for the applicant and staff to discuss the project, and for the applicant to gain information regarding the Zoning Ordinance and Site Plan Ordinance.
2. **Application:** The Town Staff shall distribute copies of the Site Plan Review application to the appropriate persons for review.
3. **Staff Review and Action (this process may take 20 days):** The Town Planner shall report their findings within 15 days of receiving the application. The Town Zoning Administrator, based upon compliance with the Zoning Ordinance, Subdivision Ordinance, and other Town Staff recommendations, shall make a recommendation for approval, approval with conditions, or deny with reason in writing, the development proposal.
4. **Approvals, Conditional Approvals, or Denials of Site Plan:** Any approvals, conditional approvals, or denials of a site plan will be specified in a letter sent to the applicant.
5. **Sanitary and Erosion Control Permits:**
 - a. **Sanitary Permits:** Sanitary Permits, if applicable, are issued through the Winnebago County Zoning Department. <https://www.co.winnebago.wi.us/planning-and-zoning>
 - b. **Erosion Control Permits:** Erosion Control Permits are also issued through the Winnebago County Zoning Department. An erosion control permit is required during certain land disturbing activities to regulate the installation and maintenance of Best Management Practices (BMPs). The erosion control permit applies, but is not limited to the following land disturbing activities:
 - Land disturbance greater than or equal to 4,000 square feet;
 - Excavation or fill greater than or equal to 400 cubic yards;
 - Public or private driveway and road construction or reconstruction longer than 125 linear feet;
 - Construction of any structure, addition to a structure, or multiple additions and/or structures where the total area is greater than 1,000 square feet.
6. **Excavation and Earthwork:** Excavation and earthwork may commence on site only after an Erosion Control Permit has been issued. Excavation and earthwork prior to site plan approval is at the owner's risk.
7. **No Building, Utility, or Zoning Permits shall be issued nor can any construction commence on any projects prior to site plan approval and the issuance all building, zoning, and utility permits.** Please refer to the pre-construction Checklist at www.townofclayton.net under municipal services, forms and permits.



**Site Plan Review Application
Town of Clayton**

Mail: 8348 County Road T, Larsen, WI 54947
Phone: 920-836-2007 Fax: 920-836-2026
Email: administrator@townofclayton.net
Website: www.townofclayton.net

For Town Use Only			
Fee (Actual Cost): _____	Acct No: _____	Receipt: _____	Date: _____
Date Rec'vd Complete: _____	By: _____	Applic. No.: _____	
Review Meeting _____	History _____		
Site Plan is: Approved _____	Approved with Condition _____	Denied _____	
Comments: _____			

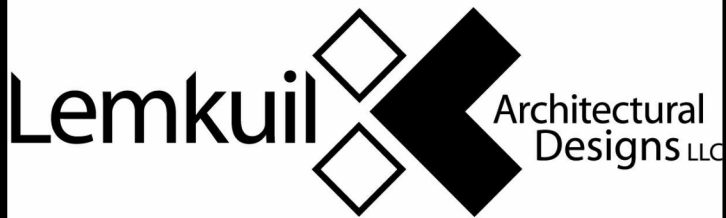
Notes: Please notify utility companies regarding your proposed development. Site plan approval does not constitute approval of a building permit or any required approval of a highway connection permit. Site plan & fee must be submitted **30** working days prior to meeting please see PC Submittal Schedule.

LEGACY PARK APARTMENTS

NEENAH, WISCONSIN

ISG PROJECT # 23-28987

ISG



PROJECT GENERAL NOTES

- A. ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS, WHICH INCLUDE, BUT ARE NOT LIMITED TO, THE OWNER - CONTRACTOR AGREEMENT, THE PROJECT MANUAL (WHICH INCLUDES GENERAL AND SUPPLEMENTARY CONDITIONS AND SPECIFICATIONS), DRAWINGS OF ALL DISCIPLINES AND ALL ADDENDA, MODIFICATIONS AND CLARIFICATIONS ISSUED BY THE ARCHITECT / ENGINEER.
- B. CONTRACT DOCUMENTS SHALL BE ISSUED TO ALL SUBCONTRACTORS BY THE GENERAL CONTRACTOR IN COMPLETE SETS IN ORDER TO ACHIEVE THE FULL EXTENT AND COMPLETE COORDINATION OF ALL WORK. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND CORRELATING QUANTITIES AND DIMENSIONS.
- C. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- D. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT / ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- E. DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPE OF DETAILING REQUIRED THROUGHOUT THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO DETAILS SHOWN. WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, NOTIFY ARCHITECT / ENGINEER BEFORE PROCEEDING WITH THE WORK.
- F. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED ACCORDING TO MANUFACTURERS' INSTRUCTIONS. IN CASE OF DISCREPANCIES BETWEEN MANUFACTURERS' INSTRUCTIONS AND THE CONTRACT DOCUMENTS, NOTIFY ARCHITECT / ENGINEER BEFORE PROCEEDING WITH THE WORK.
- G. LARGE-SCALE, MORE SPECIFIC DETAILS TAKE PRECEDENCE OVER SMALLER-SCALE, LESS SPECIFIC DETAILS AND INFORMATION. MORE STRINGENT REQUIREMENTS FOR CODE, PRODUCTS AND INSTALLATION TAKE PRECEDENCE OVER LESS STRINGENT REQUIREMENTS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- H. PROVIDE CONTINUOUS SEALANT AROUND ALL MATERIALS AT ALL INTERIOR AND EXTERIOR WALL PENETRATIONS. REFER TO SPECIFICATIONS FOR APPROPRIATE SEALANT.
- I. ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID GALVANIC CORROSION.
- J. SEAL ALL OPENINGS IN WALLS, FLOORS, CEILING, AND ROOFS, AROUND DUCTS, PIPES, VENTS, TRAPS, CONDUIT AND ALL OTHER PENETRATIONS WITH FIRE STOPPING AS SPECIFIED AND REQUIRED BY CODES. IF FIRE STOPPING IS NOT REQUIRED AT PENETRATIONS PER CODE, SEAL WITH CONTINUOUS SEALANT.
- K. PROVIDE TEMPORARY WALLS, ENCLOSURES, DUST SHIELDS AND WALK-OFF MATS AS REQUIRED TO SEPARATE DEMOLITION AND CONSTRUCTION FROM EXISTING BUILDING.
- L. PROVIDE BRACING AND SHORING AS REQUIRED TO PROTECT EXISTING STRUCTURE TO REMAIN. PROVIDE SECURE AND WEATHERPROOF ENCLOSURE OF TEMPORARY OPENINGS IN EXTERIOR WALLS. PROTECT ALL BUILDING COMPONENTS FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION.
- M. RESTORE ALL EXISTING AREAS AFFECTED BY DEMOLITION AND RELATED NEW CONSTRUCTION TO THEIR ORIGINAL CONDITION, INCLUDING BUT NOT LIMITED TO WALLS, FLOORS, AND CEILING AND THEIR ASSOCIATED FINISHES.
- N. PROVIDE SOLID WALL BACKING WITH METAL OR FIRE-RETARDANT WOOD BLOCKING BEHIND DOOR HARDWARE SUCH AS WALL STOPS, BUMPERS, HOLD OPENS, ETC. AND AT ALL ITEMS REQUIRING FASTENING THROUGH GYP BD. TO BLOCKING.
- O. RENDERED IMAGES MAY NOT BE AN ACCURATE REPRESENTATION OF BUILDING CONDITIONS, REFER TO PLANS AND DETAILS CONTAINED WITHIN FOR SCOPE OF WORK.

SHEET INDEX

SHEET #	SHEET TITLE
GENERAL	
G1-10	TITLE SHEET, SHEET INDEX, PROJECT GENERAL NOTES
G1-11	MOUNTING HEIGHTS, ABBREVIATIONS AND SYMBOLS
G1-21	CODE DATA AND CODE DATA PLAN
ARCHITECTURAL	
A1-01	WALL TYPES AND NOTES
A1-03	EXTERIOR WALL TYPES AND HORIZONTAL ASSEMBLIES
A1-21	FIRST FLOOR PLAN
A1-22	SECOND FLOOR PLAN
A1-31	FIRST FLOOR REFLECTED CEILING PLAN
A1-32	SECOND FLOOR REFLECTED CEILING PLAN
A1-41	FIRST FLOOR FINISH PLAN
A1-42	SECOND FLOOR FINISH PLAN
A1-49	FINISH SCHEDULES
A1-51	UNIT PLANS
A1-61	UNIT REFLECTED CEILING PLAN
A1-71	UNIT FINISH PLANS
A1-81	ROOF PLAN
A2-11	EXTERIOR ELEVATIONS
A3-11	BUILDING SECTIONS
A3-21	WALL SECTIONS
A4-11	DOOR SCHEDULE, DOOR AND FRAME TYPES
STRUCTURAL	
S1-00	STRUCTURAL NOTES
S1-01	STRUCTURAL NOTES
S1-03	SPECIAL INSPECTIONS (PER IBC 2018)
S1-05	STRUCTURAL SCHEDULES
S1-11	FOUNDATION PLAN
S1-21	DRAIN TILE PLAN
S1-31	SLAB PLAN
S2-11	FOUNDATION & SLAB DETAILS
S2-12	FOUNDATION DETAILS
S3-21	SECOND FLOOR FRAMING PLAN
S4-11	ROOF FRAMING PLAN
S5-01	FIRST FLOOR SHEAR WALL PLAN
S5-02	SECOND FLOOR SHEAR WALL PLAN
S5-11	STRUCTURAL FRAMING ELEVATIONS
S6-11	FLOOR FRAMING DETAILS
S6-21	ROOF FRAMING DETAILS
S9-00	Structural Sheet Template

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PROJECT

LEGACY PARK APARTMENTS

NEENAH WISCONSIN

REVISION SCHEDULE

DATE	DESCRIPTION	BY

PROJECT NO. 23-28987

FILE NAME

DRAWN BY Author

DESIGNED BY Designer

REVIEWED BY Checker

ORIGINAL ISSUE DATE MM/DD/YY

CLIENT PROJECT NO.

TITLE
**TITLE SHEET,
SHEET INDEX,
PROJECT
GENERAL NOTES**

SHEET
G1-10

PROJECT INDEX:

OWNER:
OWNER NAME
CONTACT NAME
ADDRESS
CITY, STATE (NON-ABBREV.) ZIPCODE
PHONE #
FAX #

PROJECT ADDRESS:
BUILDING NAME
ADDRESS
NEENAH, WISCONSIN ZIPCODE

MANAGING OFFICE:

MANKATO OFFICE
115 EAST HICKORY ST.
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MANKATO, MINNESOTA 56001
PHONE: 507.387.6651
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PROJECT MANAGER: NAME
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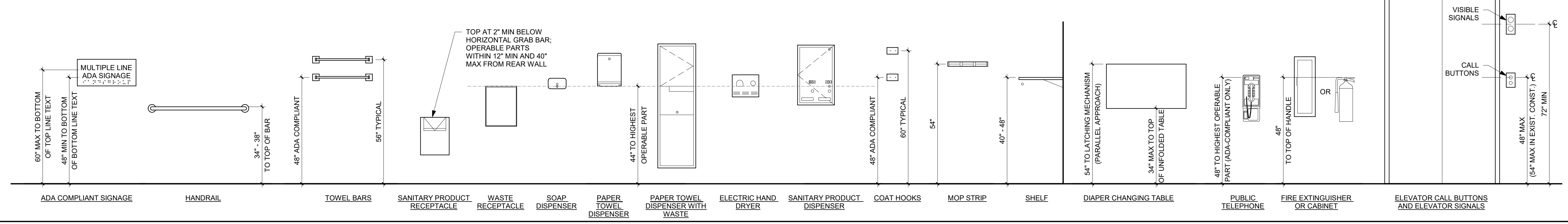
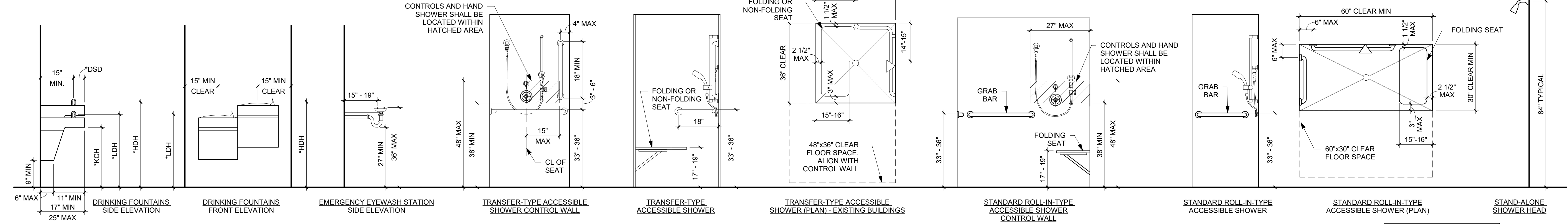
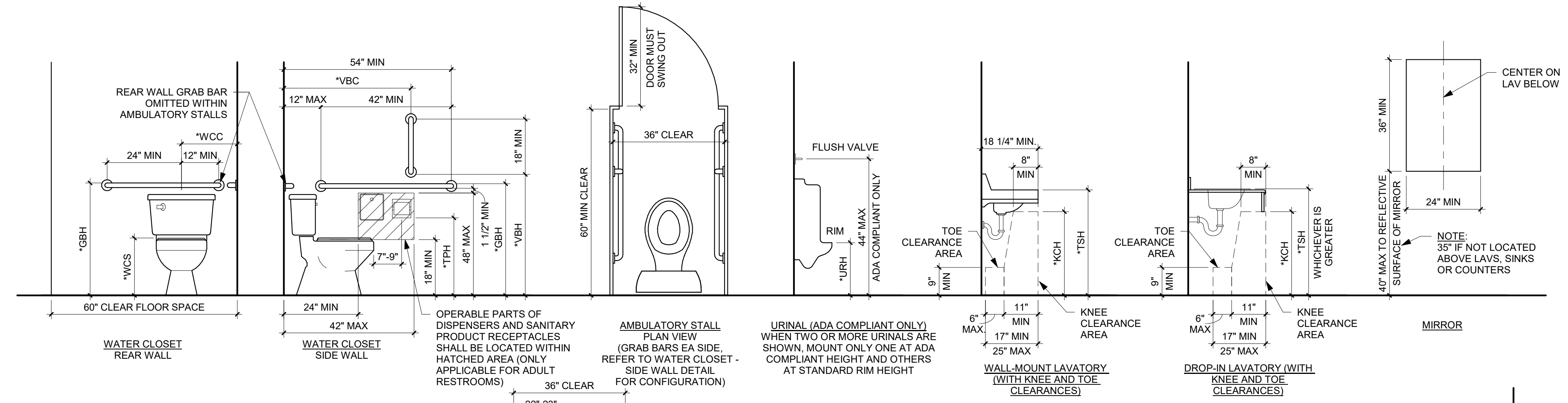


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MOUNTING HEIGHTS AND STANDARDS

FIXTURE CLEARANCES

DESCRIPTION	FIXTURE GROUPS (PER AGE RANGE)		
	R1 ADULTS (>12 YR)		R2
	A ACCESSIBLE	S STANDARD	3-4 YR
*WCC WATER CLOSET CENTER LINE	16" - 18"	16" - 18"	12"
*WCS WATER CLOSET SEAT HEIGHT	17" - 19"	17" - 19"	11" - 12"
*TPH TOILET TISSUE DISPENSER HEIGHT	18" - 48"	18" - 48"	14"
*GBH GRAB BAR HEIGHT	33" - 36"	NA	18" - 20"
*VBH VERTICAL GRAB BAR HEIGHT	39" - 41"	NA	21" - 30"
*VBC VERTICAL GRAB BAR CENTERLINE	39" - 41"	NA	34" - 36"
*URH URINAL RIM HEIGHT	17"	24"	11" - 12"
*TSH TOP OF SINK OR COUNTER HEIGHT	34"	34"	31"
*KCH KNEE CLEARANCE HEIGHT	27"	27"	24"
*HDH HIGH DRINKING FOUNTAIN SPOUT HEIGHT	38" - 43"	38" - 43"	30" - 43"
*LDH LOW DRINKING FOUNTAIN SPOUT HEIGHT	36"	36"	30"
*DSD DRINKING FOUNTAIN SPOUT DEPTH	5"	5"	3 1/2"



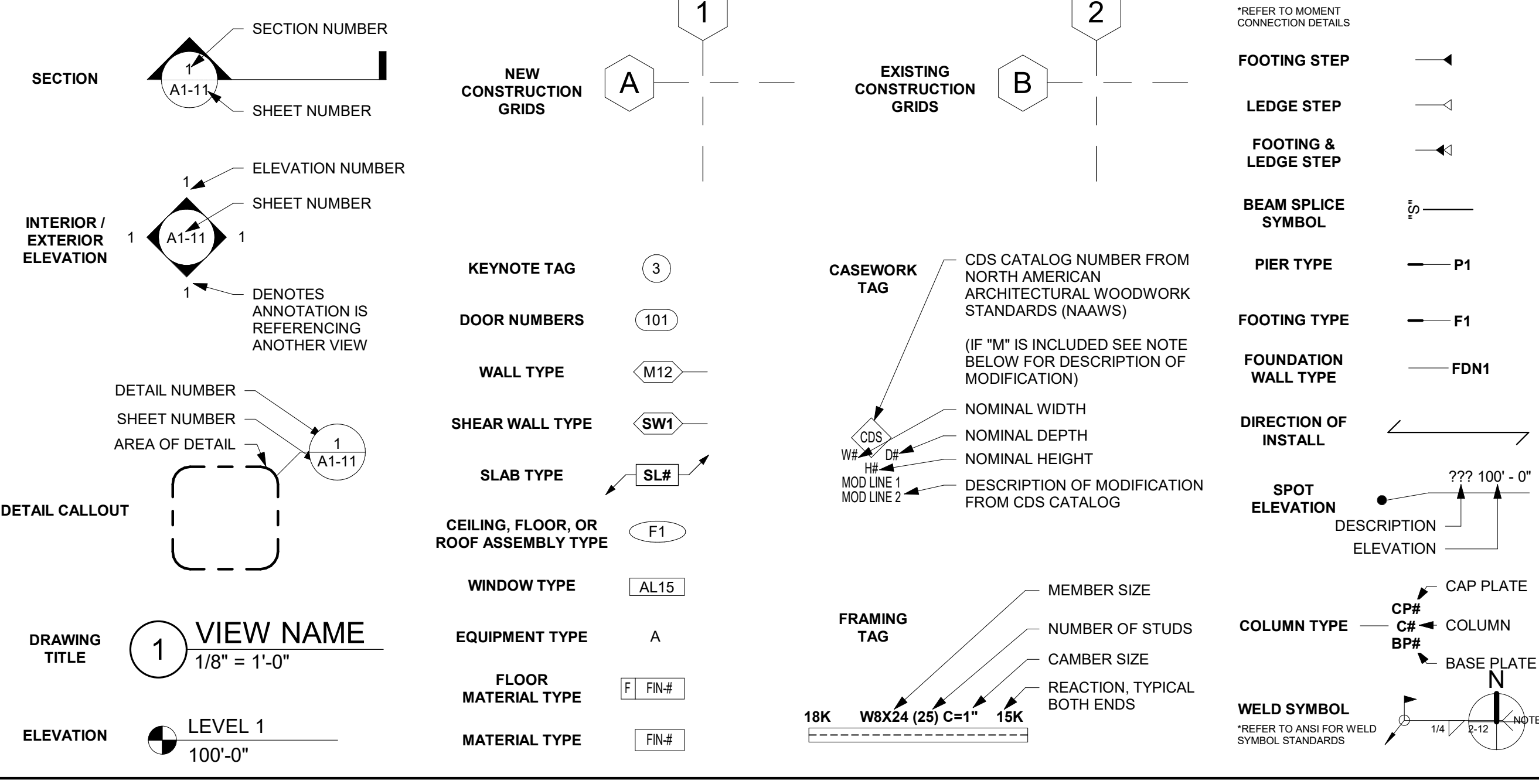
ABBREVIATIONS

# FOUND OR NUMBER	ENCL ENCLOSURE	LB POUND	RTE REFER TO ELEVATION
ACP ACOUSTICAL CEILING PANEL	EPDM EPDM	LLH LONG LEG HORIZONTAL	RTU ROOF TOP UNIT
ACT ACOUSTICAL CEILING TILE	EQP EQUIPMENT	LVV LONG LEG VERTICAL	SA SUPPLY AIR
ADA AMERICANS WITH DISABILITIES ACT	EQ EQUIPMENT	LN LINEAR	SC SEALED CONCRETE
ADD ADDRESS	ETC ETCETERA	LVT LUXURY VINYL TILE	SF SQUARE FOOT
ADDL ADDITIONAL	EWC ELECTRIC WATER COOLER	MAT MATERIAL	SM SURFACE MOUNTED
ADJ ADJACENT	EWC ELECTRIC WATER COOLER	MB MARKER BOARD	SPEC SPECIFICATION
AFF ABOVE FINISH FLOOR	EX EXISTING	MECH MECHANICAL	SS SOLID SURFACE
AFG ABOVE FINISHED GRADE	EXP EXPANSION, EXPOSED	MEP MECHANICAL, ELECTRICAL, PLUMBING	SSTL STAINLESS STEEL
AHU AIR HANDLING UNIT	EXT EXTERIOR	MEZZ MEZZANINE	STD STANDARD
ALT ALTERNATE	FAI FURNISH AND INSTALL	MFR MANUFACTURER	STN STONE
ALUM ALUMINUM	FA FIRE ALARM AND INSTALL	MH MANHOLE	STOR STORAGE
APPROX APPROXIMATELY	FA FIRE ALARM ANNUNCIATOR PANEL	MIN MINIMUM	SUSP SUSPENDED
ARCH ARCHITECTURAL	FACP FIRE ALARM CONTROL PANEL	MISC MISCELLANEOUS	SV SHEET VINYL
AWP ACOUSTICAL WALL PANEL	FBD FURNISHED BY OTHERS	MO MOUNTED	SY SQUARE YARDS
B BASE	FD FLOOR DRAIN	MTD MOUNTED	T&G TONGUE AND GROOVE
BOARD BOARD	FE FIRE EXTINGUISHER	MTL METAL	TEMP TEMPERATURE AND PRESSURE
BRD BRACKLELOOM CARPET	FE FIRE EXTINGUISHER CABINET	MULL MULLION	TB TACK BOARD
BLOG BUILDING	FF FLOOR FINISH	NA NOT APPLICABLE	TBD TO BE DETERMINED
BO BOTTOM OF OR BY OWNER	FFE FINISHED FLOOR ELEVATION	NIC NOT IN CONTRACT	TD TRENCH DRAIN
BR BRICK	FRFR FRIGORIGLASS REINFORCED PLASTIC	NTS NOT TO SCALE	TEC TELEPHONE
BRG BEARING	FRZ FREEZER	OC ON CENTER	TEMP TEMPERATURE
BST BASEMENT	FS FLOOR SINK	OCWV ON CENTER EACH WAY	TEMP OUTSIDE DIAMETER
C CONDUIT	FT FOOT OR FEET	OH OVERHEAD	TO TOP OF
CFS COLD FORMED STEEL	FTG FOOTING	OHD OVERHEAD DOOR	TOL TOP OF LEDGE
CG CORNER GUARD	GA GAUGE	OPNG OPENING	TOS TOP OF STEEL
CP CAST IRON PLUG	GC GALVANIZED	ORD OVERLAP ROOF DRAIN	TOW TOP OF WALL
CJ CONTROL JOINT OR CONSTRUCTION JOINT	GEN GENERATOR	OSB ORIENTED STRAND BOARD	TR TRIMMER RESTRAINT
CL CENTERLINE	GBS GROUND FAULT CIRCUIT INTERRUPT	PC PHOTO CELL POLISHED CONCRETE	TS TUBE STEEL / THRESHOLD / TRANSITION STRIP
CLG CEILING	GLZ GLAZING	PLAM PLASTIC LAMINATE	TVM TYPICAL
CLR CLEAR	GRD GROUND	PLWP PLASTIC LAMINATE WALL PANEL	TYP TYPICAL
CM CORRUGATED METAL	GYP GYPSUM	PNT PAINT	UG UNDERGROUND
CMU CONCRETE MASONRY UNIT	HD HUB DRAIN	EPK EPOXY PAINT	UNH UNLESS NOTED OTHERWISE
CO CLEANOUT	HDI HOT DIP GALVANIZED	PV POLYETHYLENE	VCT VINYL COMPOSITE TILE
CONC CONCRETE	HDI HOT DIP GALVANIZED	PV POLYETHYLENE	VRT VERTICAL
CONF CONFERENCE	HM HOLLOW METAL	PVC POLYVINYL CHLORIDE	VEST VESTIBULE
CONT CONTINUOUS	HORIZ HORIZONTAL	QU QUARRY TILE	VF VENT FLOOR
CPT CHAIR RAIL	HSS HOLLOW STRUCTURAL SECTION	QZ QUARTZ	VFR VENT THROUGH ROOF
CRK CRACK	HT HEATING VENTILATION AND AIR CONDITIONING	RA RETURN AIR	VB VENTER WALL PANEL
CT CURT	ID INSIDE DIAMETER	RB RESILIENT BASE	W WITH
CT CURTAIN	ISG ISOLATED GROUND	RCP REFLECTED CEILING PLAN	W/O WITHOUT
DEMO DEMOLITION	IMP INFORMATION	WC WATER CLOSET	W/W WITH
DF DRINKING FOUNTAIN	INS INSULATION	WV WALL COVERING	W/W WALL COVERING
DF DOOR HOLDER (MAGNETIC)	INT INTERIOR	WV WINDOW FILM	W/W WALL GUARD
DIA DIAMETER	J JUNCTION BOX	WV WINDOW FILM	W/W WALL GUARD
DLS DIMENSIONAL LETTER SIGNAGE	JAN JANITOR	WV WINDOW FILM	W/W WALL GUARD
EACH EACH	JB JOIST BEARING ELEVATION	WH WATER HEATER	W/W WATER HEATER
EC ELECTRICAL CONTRACTOR	JOB JOIST	WT WEATHERPROOF	W/W WEATHERPROOF
EF EXHAUST FAN	JOS JOIST	WT WINDOW TREATMENT	W/W WELDED WIRE FABRIC
EFS EXTERIOR FINISH SYSTEM	KES KITCHEN EQUIPMENT SUPPLIER	WV WELDED WIRE FABRIC	XMR TRANSFORMER
ELEC ELECTRICAL	ISG ISOLATED GROUND	WV WELDED WIRE FABRIC	
ELEV ELEVATION	ISG ISOLATED GROUND	WV WELDED WIRE FABRIC	
EMERG EMERGENCY	LAV LAVATORY		

MATERIALS KEY

	BATT INSULATION
	BRICK
	CONCRETE (SECTION)
	CMU (SECTION)
	EARTH
	GRANULAR FILL
	GRAVEL
	GYPSUM BOARD OR SHEATHING
	RIGID INSULATION
	PLYWOOD
	STEEL
	SYNTHETIC STUCCO
	WOOD
	SPRAY IN PLACE INSULATION

TAGS AND SYMBOLS



ISG

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PROJECT

LEGACY PARK APARTMENTS

NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 23-28987

FILE NAME

DRAWN BY Author

DESIGNED BY Designer

REVIEWED BY Checker

ORIGINAL ISSUE DATE MM/DD/YY

CLIENT PROJECT NO.

MOUNTING HEIGHTS, ABBREVIATIONS AND SYMBOLS

SHEET

G1-11

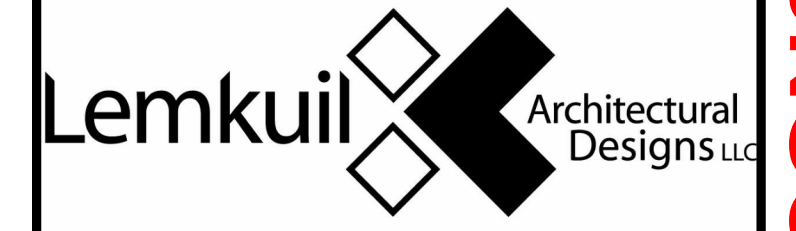
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EGRESS PATH SCHEDULE			
MARK	TRAVEL DISTANCE	CLEAR WIDTH	COMMENTS

GENERAL CODE DATA	
(insert code data here)	

WALL LEGEND	
	EXISTING CONSTRUCTION TO REMAIN
	NEW CONSTRUCTION

CODE DATA PLAN KEY			
CONSTRUCTION TYPE	ROOM NAME	ROOM #	OCCUPANCY GROUP
SP=SPRINKLED	II-B	S-1	ALARM SYSTEM (Y/N)
NS=NON SPRINKLED	SP	Y	AREA (SQUARE FT.)
	11,234 SF		OCCUPANT LOAD
OCC. LOAD FACTOR	500 G	22	EXIT WIDTH PROVIDED
(G=GROSS, N=NET)	14.4'	33.0'	EXIT WIDTH REQUIRED
	EGRESS WIDTH INCHES		
	EGRESS OCCUPANT CAPACITY		
	COMMON PATH OF TRAVEL		
	EXIT		
	ELEVATOR		
	FIRE EXTINGUISHER		
	FULLY RECESSED FIRE EXTINGUISHER CABINET COLOR: ENSURE TO COORDINATE WITH SPEC		
	FRONTAGE DISTANCE		
	KNOX BOX		
	FIRE DEPARTMENT CONNECTION		
	1 1/2-HOUR FIRE BARRIER		
	1-HOUR FIRE BARRIER		



FIRE SUPPRESSION NOTES
(NEW SPRINKLER SYSTEM)

THROUGHOUT AREA OF WORK, PROVIDE A NEW NFPA 13 FIRE SUPPRESSION (SPRINKLER) SYSTEM. THE LICENSED AUTOMATIC SPRINKLER SYSTEM DESIGNER / INSTALLER SHALL FIELD VERIFY ALL CONDITIONS PRIOR TO BID. THE NFPA 13 SPRINKLER SYSTEM SHALL BE DESIGNED, INSTALLED, AND TESTED BY A LICENSED AUTOMATIC SPRINKLER SYSTEM DESIGNER / INSTALLER AND SHALL MEET ALL APPLICABLE CODE REQUIREMENTS. THE LICENSED AUTOMATIC SPRINKLER SYSTEM DESIGNER SHALL PROVIDE AUTOMATIC SPRINKLER SYSTEM DESIGN DOCUMENTS AND SHALL SUBMIT THEM TO ALL APPLICABLE JURISDICTIONS AND AUTHORITIES AND SHALL PROCURE ALL NECESSARY PERMITS. SPRINKLER DESIGNER / INSTALLER SHALL PAY ALL NECESSARY PERMITTING FEES.

DESIGN OF NEW NFPA 13 SPRINKLER SYSTEM SHALL BE BASED ON, BUT NOT LIMITED TO THE FOLLOWING CRITERIA:

1. COMPLY WITH NFPA 13 AND ALL OTHER APPLICABLE CODES.
2. DESIGN SPRINKLER HEAD LAYOUT TO PROVIDE ADEQUATE COVERAGE PER CODE REQUIREMENTS.
3. DESIGN SPRINKLER HEAD AND PIPING LAYOUT INCLUDING ALL DROPS, ARM-OVERS AND MAIN PIPES TO AVOID DIFFUSERS, LIGHT FIXTURES, MECHANICAL WORK, PLUMBING WORK, ELECTRICAL WORK, NEW CONSTRUCTION WORK AND ALL OTHER WORK AND COMPONENTS IN THE CONTRACT.
4. PROVIDE PROPER COVERAGE IN CONCEALED SPACES AS REQUIRED PER CODE.
5. ALL SPRINKLER PIPING AND COMPONENTS SHALL BE CONCEALED ABOVE CEILINGS AND WITHIN WALLS.
6. ALL SPRINKLER HEADS TO BE INSTALLED IN ACOUSTICAL CEILING TILE SHALL BE INSTALLED IN CENTER OF TILE.

FIRE SUPPRESSION NOTES
(MODIFIED OR ADDITION TO EXISTING SPRINKLER SYSTEM)

THROUGHOUT AREA OF WORK, MODIFY EXISTING AND / OR PROVIDE A NEW NFPA 13 FIRE SUPPRESSION (SPRINKLER) SYSTEM. THE LICENSED AUTOMATIC SPRINKLER SYSTEM DESIGNER / INSTALLER SHALL FIELD VERIFY ALL CONDITIONS PRIOR TO BID. THE NFPA 13 SPRINKLER SYSTEM SHALL BE DESIGNED, INSTALLED, MODIFIED AND TESTED BY A LICENSED AUTOMATIC SPRINKLER SYSTEM DESIGNER / INSTALLER AND SHALL MEET ALL APPLICABLE CODE REQUIREMENTS. THE LICENSED AUTOMATIC SPRINKLER SYSTEM DESIGNER SHALL PROVIDE AUTOMATIC SPRINKLER SYSTEM DESIGN DOCUMENTS AND SHALL SUBMIT THEM TO ALL APPLICABLE JURISDICTIONS AND AUTHORITIES AND SHALL PROCURE ALL NECESSARY PERMITS. SPRINKLER DESIGNER / INSTALLER SHALL PAY ALL NECESSARY PERMITTING FEES.

DESIGN OF NEW / MODIFIED NFPA 13 SPRINKLER SYSTEM SHALL BE BASED ON, BUT NOT LIMITED TO THE FOLLOWING CRITERIA:

1. COMPLY WITH NFPA 13 AND ALL OTHER APPLICABLE CODES.
2. MODIFY EXISTING SPRINKLER HEAD LAYOUT TO PROVIDE ADEQUATE COVERAGE PER CODE REQUIREMENTS.
3. MODIFY EXISTING SPRINKLER HEAD AND PIPING LAYOUT INCLUDING ALL DROPS, ARM-OVERS AND MAIN PIPES TO AVOID RELOCATED DIFFUSERS, LIGHT FIXTURES, MECHANICAL WORK, PLUMBING WORK, ELECTRICAL WORK, DEMOLITION WORK, NEW CONSTRUCTION WORK AND ALL OTHER WORK AND COMPONENTS IN THE CONTRACT.
4. COMPLETE ALL TEMPORARY AND PERMANENT WORK NECESSARY FOR THE REMOVAL AND REPLACEMENT OF CEILING GRIDS, INCLUDING NEW CEILING GRIDS AND GRIDS REMOVED AND REPLACED ONLY TO COMPLETE OTHER WORK.
5. PROVIDE PROPER COVERAGE IN CONCEALED SPACES AS REQUIRED PER CODE.
6. WHERE INSTALLING NEW WORK ADJACENT TO EXISTING, MATCH NEW COMPONENTS TO EXISTING COMPONENTS WITHIN CODE LIMITATIONS.
7. ALL NEW AND RELOCATED SPRINKLER PIPING AND COMPONENTS SHALL BE CONCEALED ABOVE CEILINGS AND WITHIN WALLS.
8. ALL SPRINKLER HEADS TO BE INSTALLED IN ACOUSTICAL CEILING TILE SHALL BE INSTALLED IN CENTER OF TILE.

FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING. SUCH IDENTIFICATION SHALL:

1. BE LOCATED IN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACES
2. BE LOCATED WITHIN 15 FEET OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION, AND
3. INCLUDE LETTERING NOT LESS THAN 3 INCHES IN HEIGHT WITH A MINIMUM 3/8" STROKE IN A CONTRASTING COLOR INCORPORATING THE SUGGESTED WORDING "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS" OR OTHER SIMILAR WORDING.

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DATE	DESCRIPTION	BY

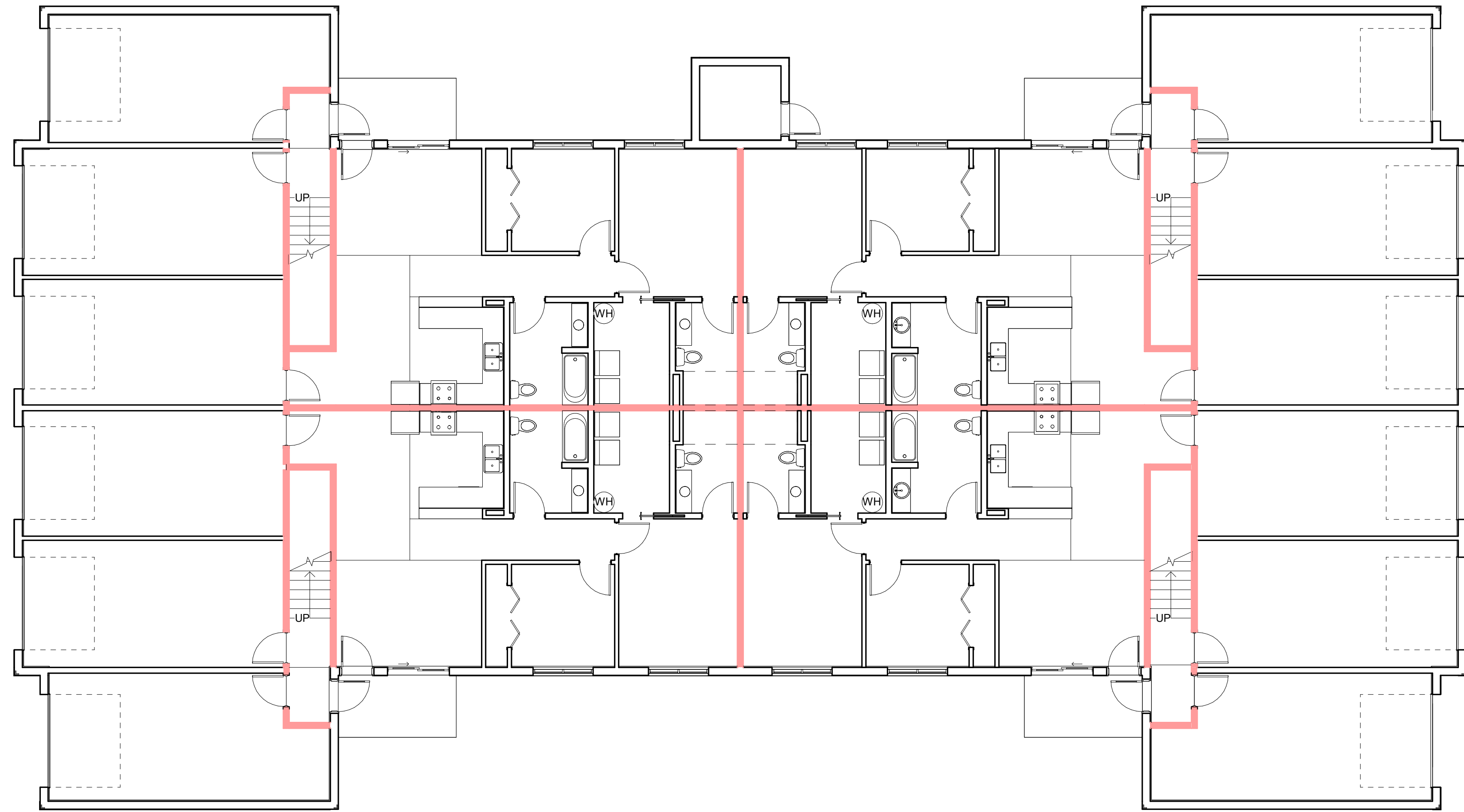
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FILE NAME	
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DESIGNED BY	Designer
REVIEWED BY	Checker
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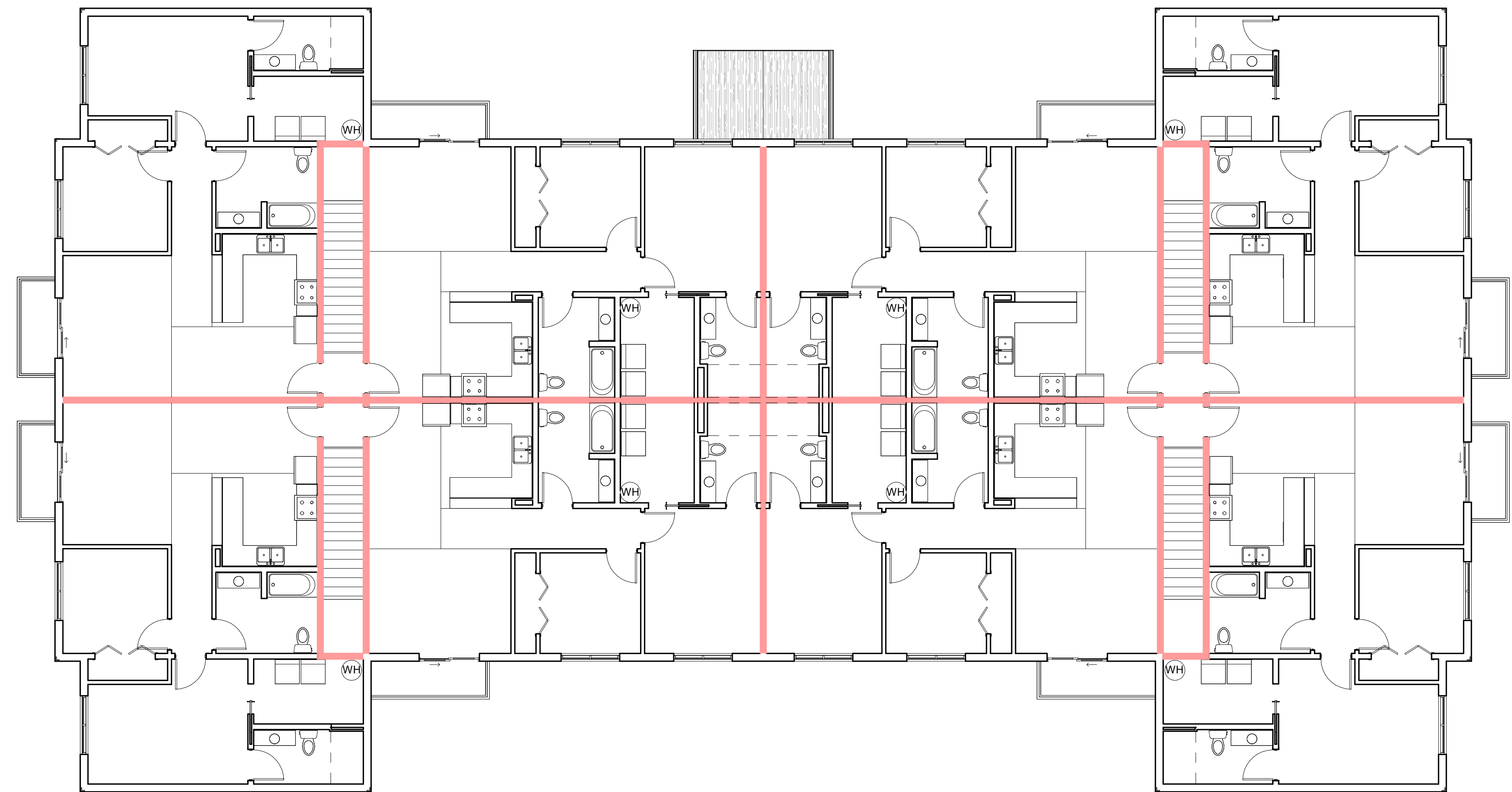
CODE DATA AND CODE DATA PLAN

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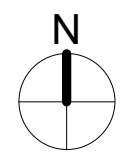
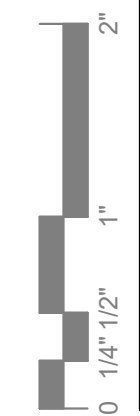
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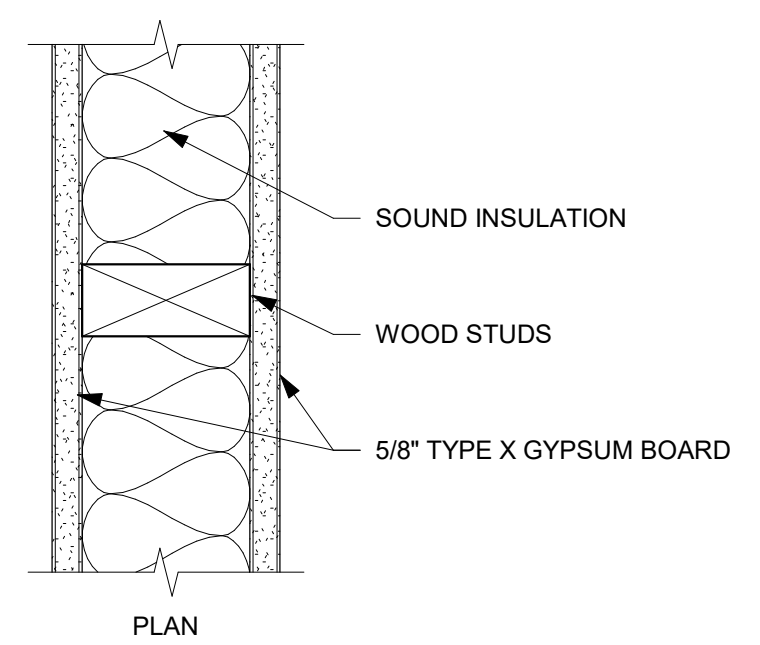
1 FIRST FLOOR CODE DATA PLAN
1/8" = 1'-0"



2 SECOND FLOOR CODE DATA PLAN
1/8" = 1'-0"

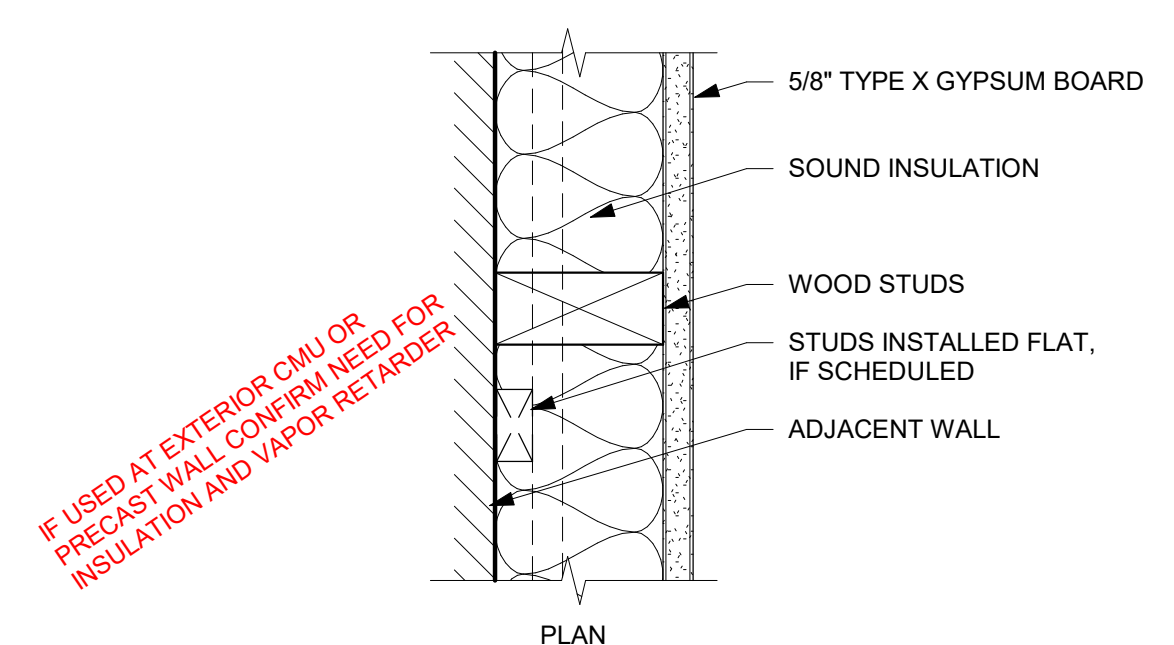


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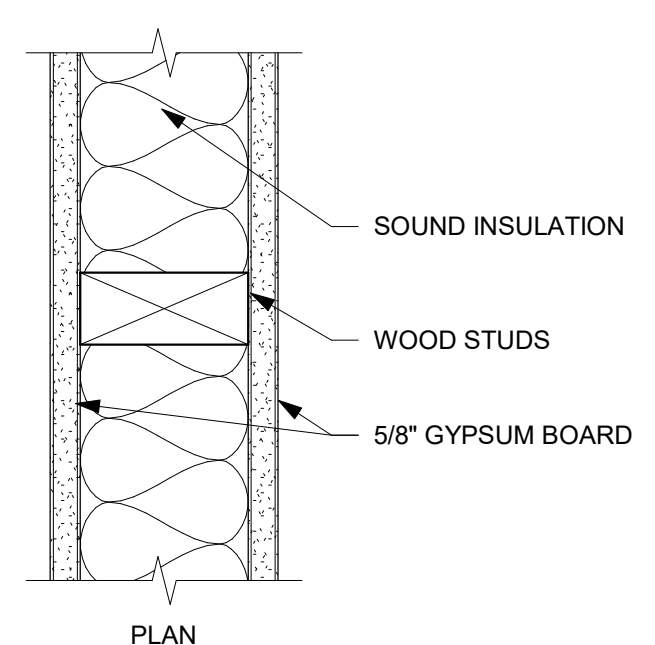
WALL TYPE	STUD DESIGNATION	SPACING	MAX. HEIGHT (5 PSF, L/240)	SOUND TRANSMISSION (STC)	FIRE RATING / UL DESIGN
<E2>	2x2	16"			
<E4>	2x4	16"			
<E6>	2x6	16"			
<E8>	2x8	16"			

WALL TYPE E (WOOD STUD PARTITION)
NOT TO SCALE



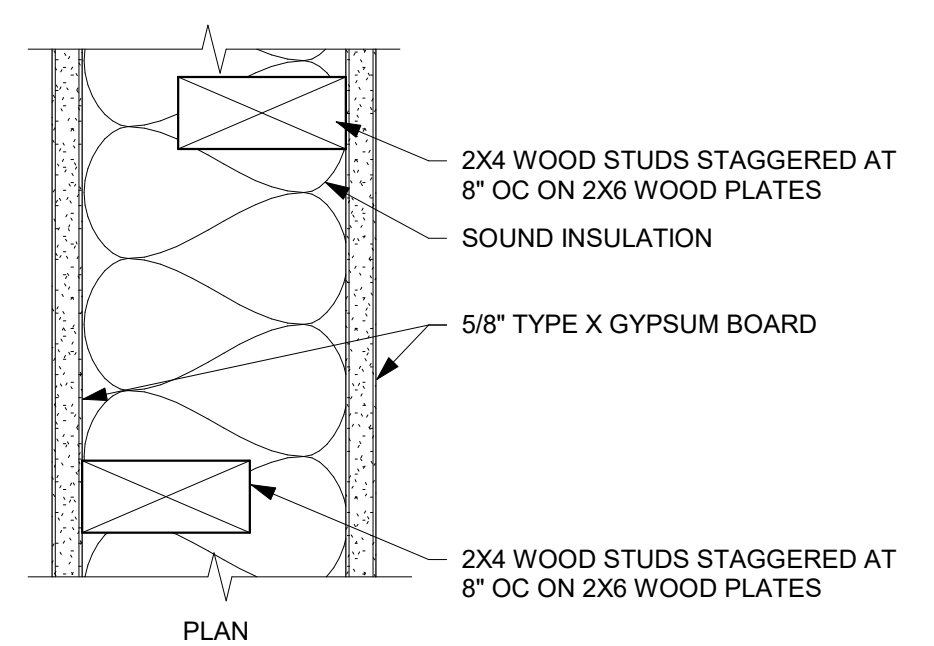
WALL TYPE	STUD DESIGNATION	SPACING	MAX. HEIGHT (5 PSF, L/240)	SOUND TRANSMISSION (STC)	FIRE RATING / UL DESIGN
<F1>	1x2 (FLAT)	16"			
<F2>	2x2	16"			
<F4>	2x4	16"			
<F6>	2x6	16"			
<F8>	2x8	16"			

WALL TYPE F (WOOD STUD FURRING)
NOT TO SCALE



WALL TYPE	STUD DESIGNATION	SPACING	MAX. HEIGHT (5 PSF, L/240)	SOUND TRANSMISSION (STC)	FIRE RATING / UL DESIGN
<G2>	2x2	16"			1 HOUR / U305
<G4>	2x4	16"			1 HOUR / U305
<G6>	2x6	16"			1 HOUR / U305
<G8>	2x8	16"			1 HOUR / U305

WALL TYPE G (WOOD STUD PARTITION)
NOT TO SCALE



WALL TYPE	STUD DESIGNATION	SPACING	MAX. HEIGHT (5 PSF, L/240)	SOUND TRANSMISSION (STC)	FIRE RATING / UL DESIGN
<R4>	2x4	16"			WP 3380

WALL TYPE R (WOOD STUD PARTITION)
NOT TO SCALE

GENERAL ASSEMBLY NOTES:

A. NOT ALL ASSEMBLY TYPES LISTED APPLY TO THIS PROJECT. REFER TO FLOOR PLANS FOR LOCATIONS AND ADDITIONAL NOTES.

B. LIGHT GAUGE STEEL FRAMING MEMBER DESIGNATION SYSTEM: (REFER TO STRUCTURAL NOTES)

600S125-54 (EQUIVALENT TO 6" x 16 GAUGE STUD OR JOIST WITH 1 1/4" FLANGES)

MINIMUM BASE METAL THICKNESS IN MILS. EXAMPLE - .054 = 54 MILS)

18 = 25 GAUGE 43 = 18 GAUGE
 27 = 22 GAUGE 54 = 16 GAUGE
 30 = 20 GAUGE (DRYWALL) 68 = 14 GAUGE
 33 = 20 GAUGE (STRUCTURAL) 97 = 12 GAUGE

FLANGE WIDTH (1/100 INCHES): EXAMPLE - 125 = 1.25"

STYLE: S = STUD OR JOIST SECTION (WITH FLANGE STIFFENERS) = □
 T = TRACK SECTION = L
 U = CHANNEL SECTION (STUDS WITHOUT FLANGE STIFFENERS) = C
 F = FURRING CHANNEL = ^
 Z = ZEE SECTION = Z

MEMBER DEPTH (1/100 INCHES): EXAMPLE - 600 = 6"

C. IN ALL WET AREAS SUCH AS SHOWERS AND TUBS, INSTALL CEMENT-BASED BACKER BEHIND AREAS SCHEDULED TO RECEIVE TILE FINISH.

D. PROVIDE A MINIMUM OF MOISTURE-RESISTANT GYPSUM BOARD ON ALL RESTROOM WALLS AND OTHER AREAS SCHEDULED TO RECEIVE FRP OR TILE FINISH.

E. ALL PARTITIONS CONTAINING PLUMBING OR HAVING AN EXTERIOR FACE SHALL BE INSULATED.

F. REFERENCE FINISH PLANS FOR ADDITIONAL FINISHES NOT INDICATED ON PARTITION TYPES.

G. INCLUDE PAINTABLE ACOUSTIC SEALANT AT ALL TERMINATIONS AND PENETRATIONS FOR ALL NON RATED ASSEMBLIES. TYPICAL BOTH SIDES OF ASSEMBLY.

H. PROVIDE FIRE-TREATED WOOD OR STEEL BACKING FOR ALL WALL-MOUNTED FINISH CARPENTRY, ARCHITECTURAL WOODWORK, TOILET PARTITIONS, ACCESSORIES AND OTHER SIMILAR ITEMS.

I. WOOD FRAMING MEMBERS IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.

J. REFER TO STRUCTURAL DOCUMENTS FOR SHEAR WALL CRITERIA.

K. ALL NON-RATED WALLS TO BE CONSTRUCTED FULL HEIGHT TO THE UNDERSIDE OF FLOOR OR ROOF STRUCTURE ABOVE UNLESS NOTED OTHERWISE.

L. PROVIDE DOUBLE TOP PLATES AT ALL WOOD LOAD BEARING WALLS.

M. NON LOAD BEARING METAL STUD WALLS SHALL HAVE A SLOTTED TOP TRACK FOR DEFLECTION. FINISHES / SUBSTRATES SHALL NOT BE FASTENED TO THE TOP TRACK.

N. PROVIDE 1" GAP FOR DEFLECTION ALLOWANCE BETWEEN WALL FINISH, SUBSTRATE, AND STRUCTURE ABOVE. TYPICAL UNLESS NOTED OTHERWISE ON STRUCTURAL DOCUMENTS.

O. COLD FORMED FRAMING DESIGNED BY FRAMING CONTRACTOR; REFER TO STRUCTURAL NOTES FOR COMPONENTS AND CLADDING DESIGN REQUIREMENTS.

ADDITIONAL NOTES FOR FIRE-RATED ASSEMBLIES:

P. ALL ASSEMBLIES NOTED TO BE FIRE-RESISTANCE RATED SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE REFERENCED FIRE RESISTANCE TEST. ANY PROPRIETARY PRODUCTS REQUIRED BY FIRE RATED ASSEMBLIES AS INDICATED ON THE DRAWINGS ARE APPROVED.

Q. ALTERNATE MATERIALS AND ASSEMBLIES MUST BE APPROVED BY THE ARCHITECT PRIOR TO COMMENCING WORK.

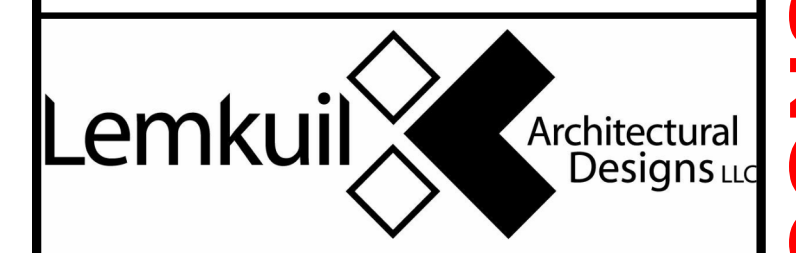
R. HIGHER FIRE-RATED ASSEMBLIES SHALL BE CONSTRUCTED BEFORE LOWER (OR NON-RATED) ASSEMBLIES.

S. ALL FIRE-RATED WALLS TO BE CONSTRUCTED FULL HEIGHT FROM TOP OF UNFINISHED FLOOR TO UNDERSIDE OF STRUCTURE ABOVE.

T. INCLUDE SEALANT, MATERIALS, AND/OR ASSEMBLIES AT ALL TERMINATIONS AND PENETRATIONS WHICH MAINTAIN THE FIRE-RESISTANCE RATING. TYPICAL BOTH SIDES OF ASSEMBLY.

U. REFER TO IBC CHAPTER 7, TABLE "MINIMUM EQUIVALENT THICKNESS OF BEARING OR NONBEARING CONCRETE MASONRY WALLS" FOR CALCULATED FIRE-RESISTANCE RATING.

CONFIRM DEFLECTION CLEARANCE WITH STRUCTURAL



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PROJECT

LEGACY PARK APARTMENTS

NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

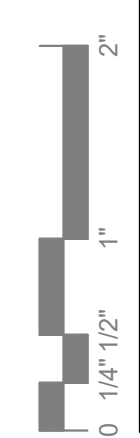
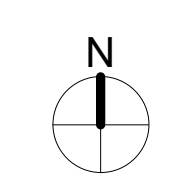
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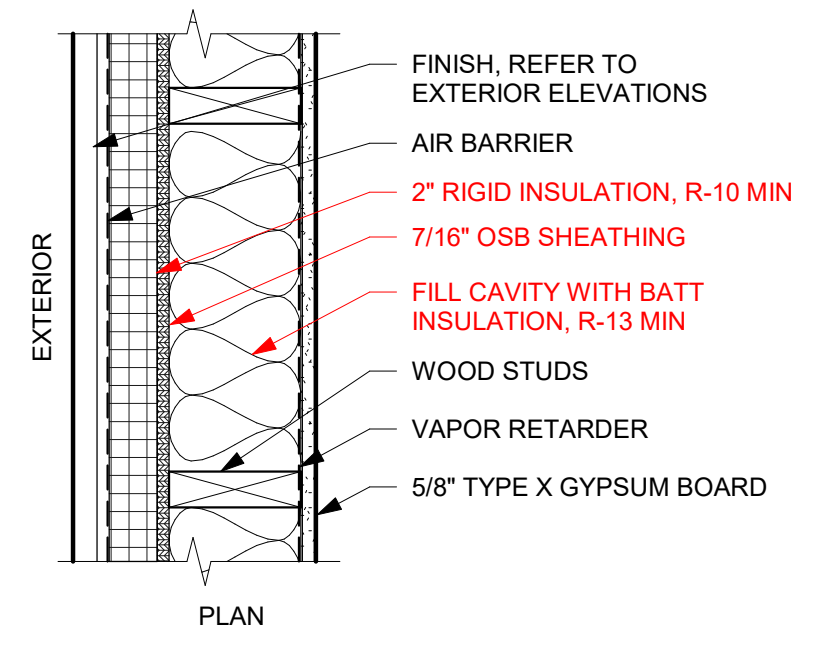
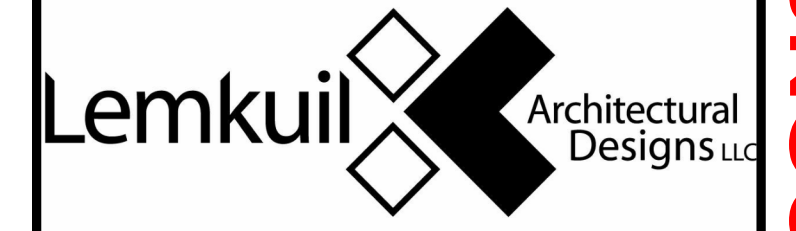
WALL TYPES AND NOTES

SHEET

A1-01

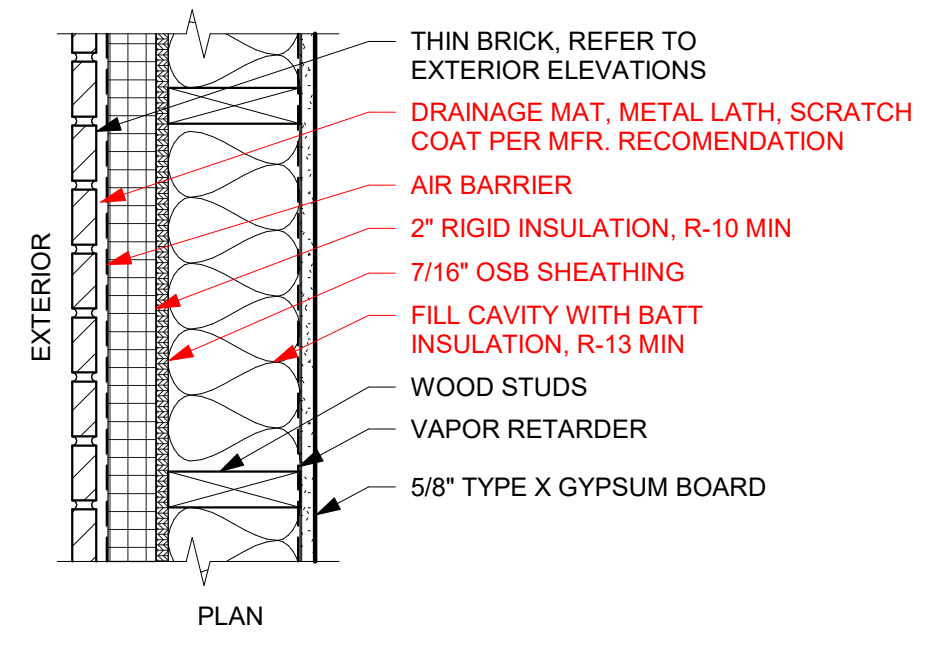


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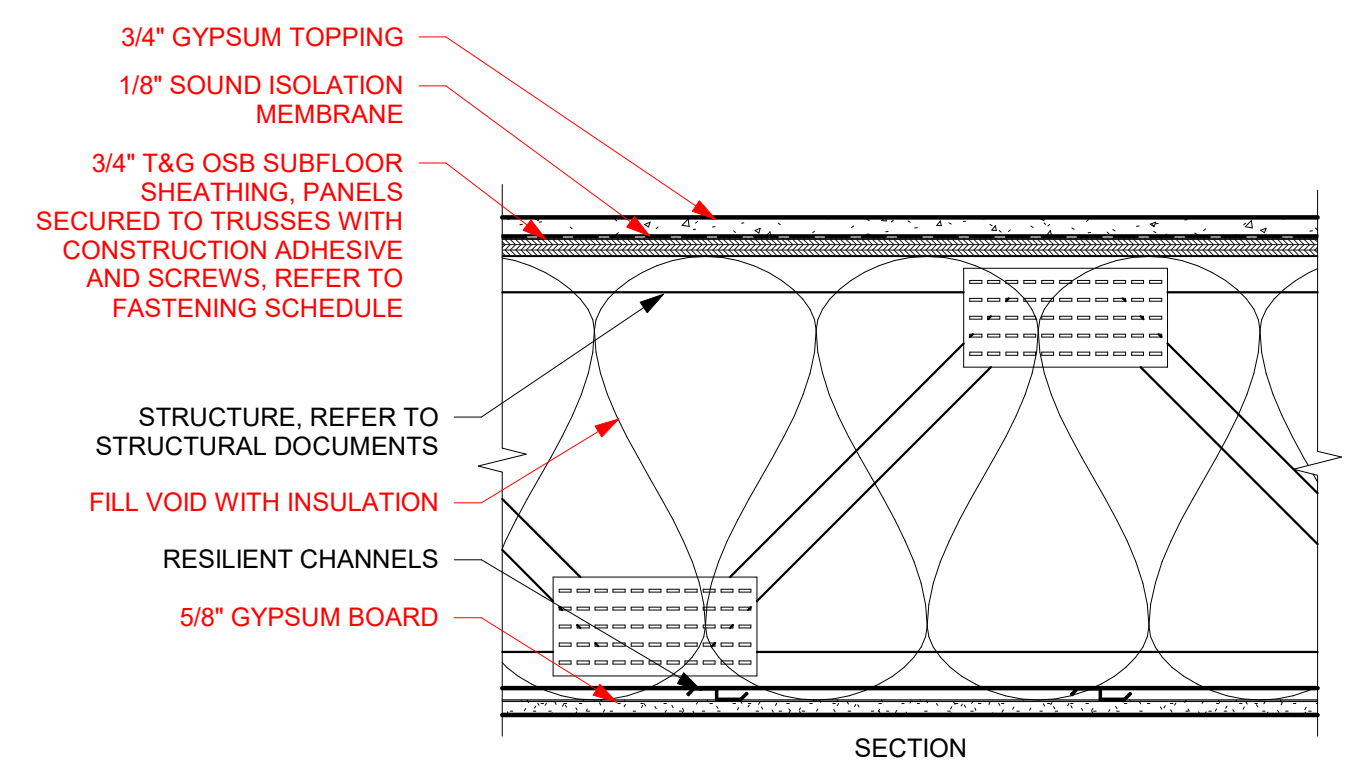
WALL TYPE	STUD DESIGNATION	SPACING	FIRE RATING / UL DESIGN
X1	2x6	16"	
NOTES			

EXTERIOR WALL TYPE
NOT TO SCALE



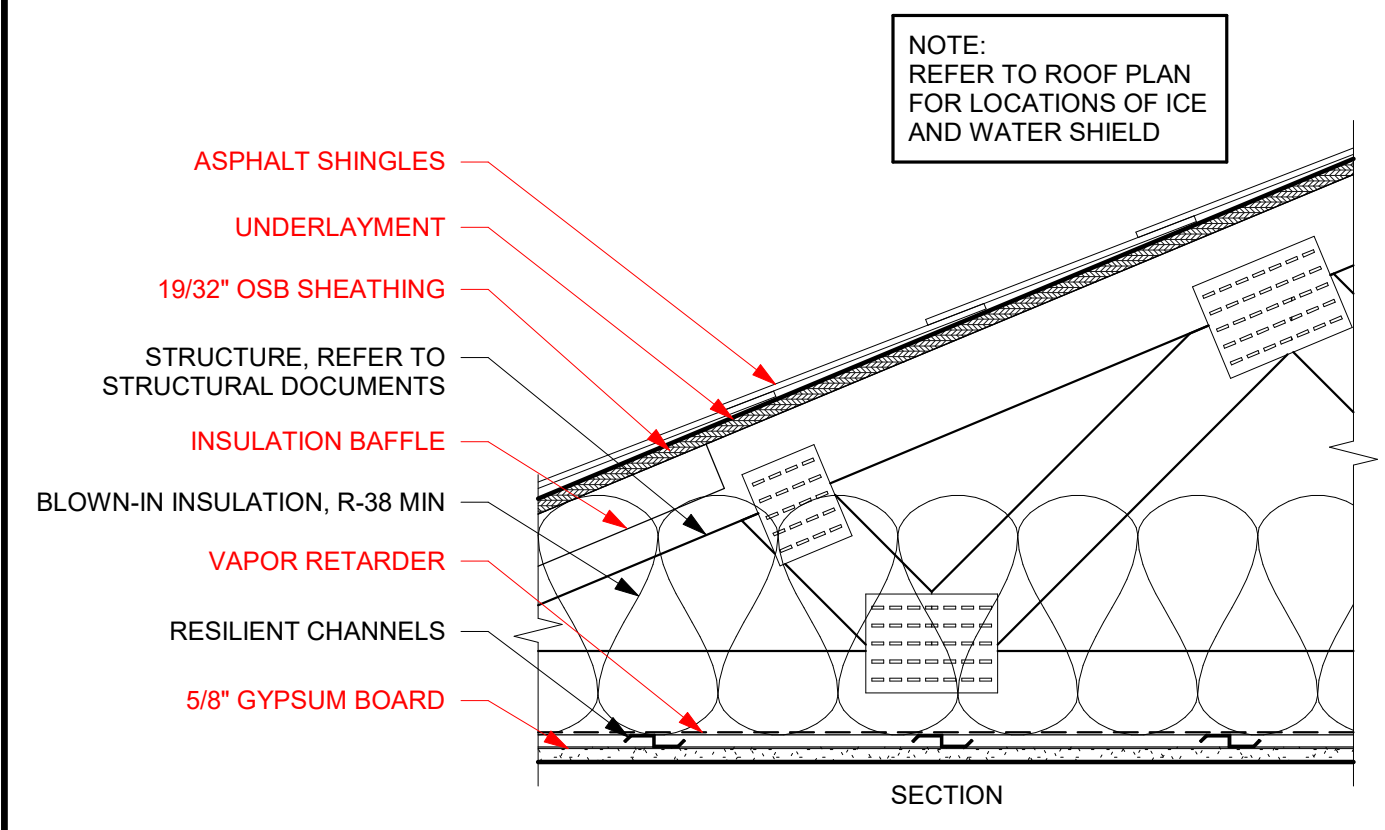
WALL TYPE	STUD DESIGNATION	SPACING	FIRE RATING / UL DESIGN
X15	2x6	16"	
NOTES			

EXTERIOR WALL TYPE
NOT TO SCALE



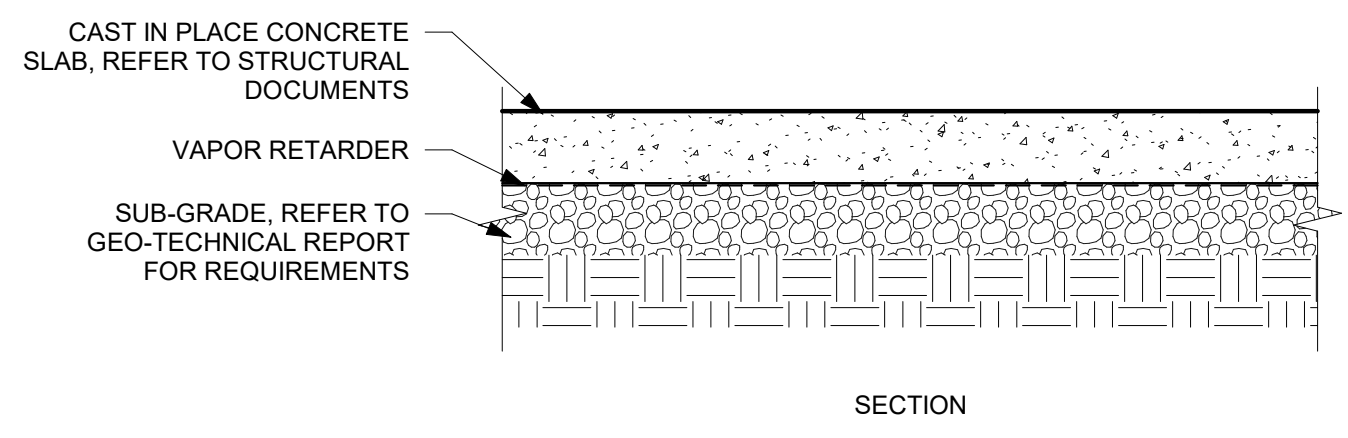
FIRE RATING: 1 HOUR
UL DESIGN: UL L563
SOUND RATING: STC 60 - 64
IMPACT RATING: IIC 50+

FLOOR/CEILING ASSEMBLY F2
NOT TO SCALE



FIRE RATING: 1 HOUR
UL DESIGN: UL P522

ROOF/CEILING ASSEMBLY R5
NOT TO SCALE



FIRE RATING: --
UL DESIGN: --
SOUND RATING: STC --
IMPACT RATING: IIC --

SLAB ON GRADE ASSEMBLY SL1
NOT TO SCALE

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PROJECT

LEGACY PARK APARTMENTS

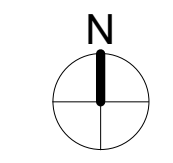
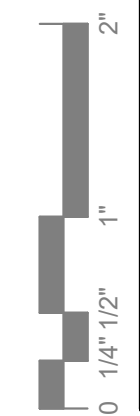
NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	23-28987
FILE NAME	
DRAWN BY	Author
DESIGNED BY	Designer
REVIEWED BY	Checker
ORIGINAL ISSUE DATE	MM/DD/YY
CLIENT PROJECT NO.	

TITLE
EXTERIOR WALL TYPES AND HORIZONTAL ASSEMBLIES

SHEET
A1-03

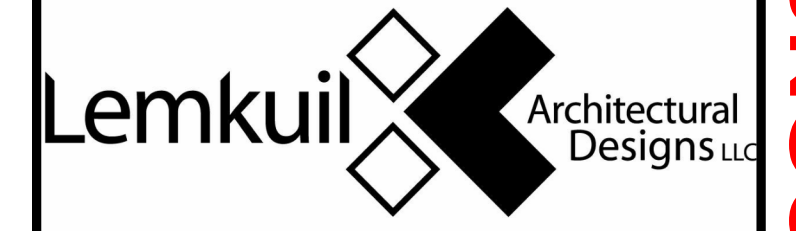


PRELIMINARY NOT FOR CONSTRUCTION

SHEET NOTES

A. ALL INTERIOR PARTITION WALLS SHALL BE WALL TYPE __, UNLESS OTHERWISE NOTED.

KEYNOTE LEGEND



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PROJECT

LEGACY PARK APARTMENTS

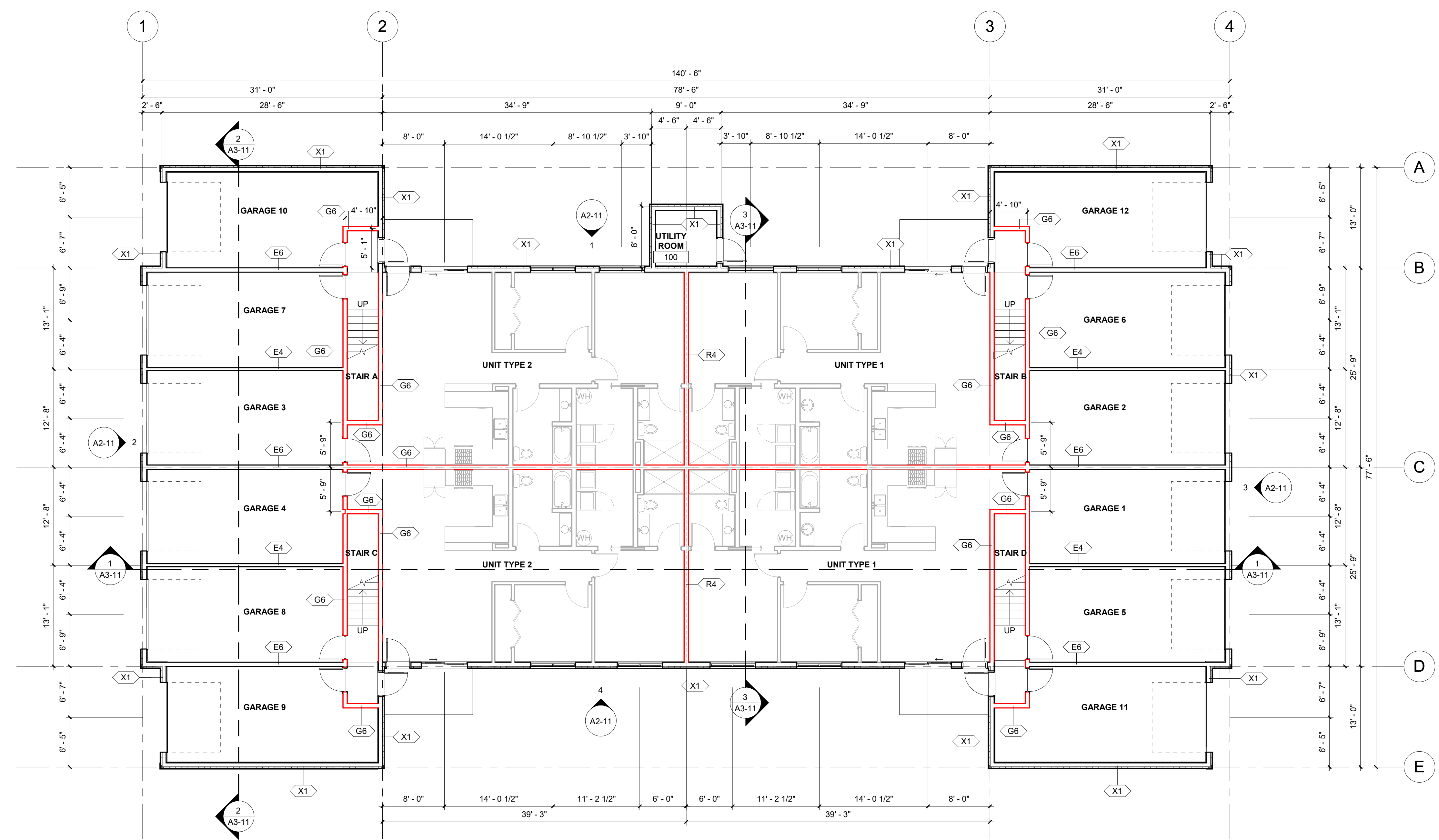
NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

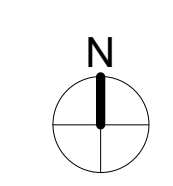
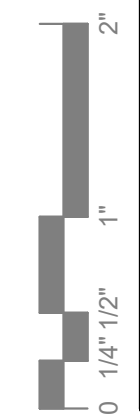
PROJECT NO.	23-28987
FILE NAME	
DRAWN BY	Author
DESIGNED BY	Designer
REVIEWED BY	Checker
ORIGINAL ISSUE DATE	05/01/23
CLIENT PROJECT NO.	

TITLE
FIRST FLOOR PLAN

SHEET
A1-21



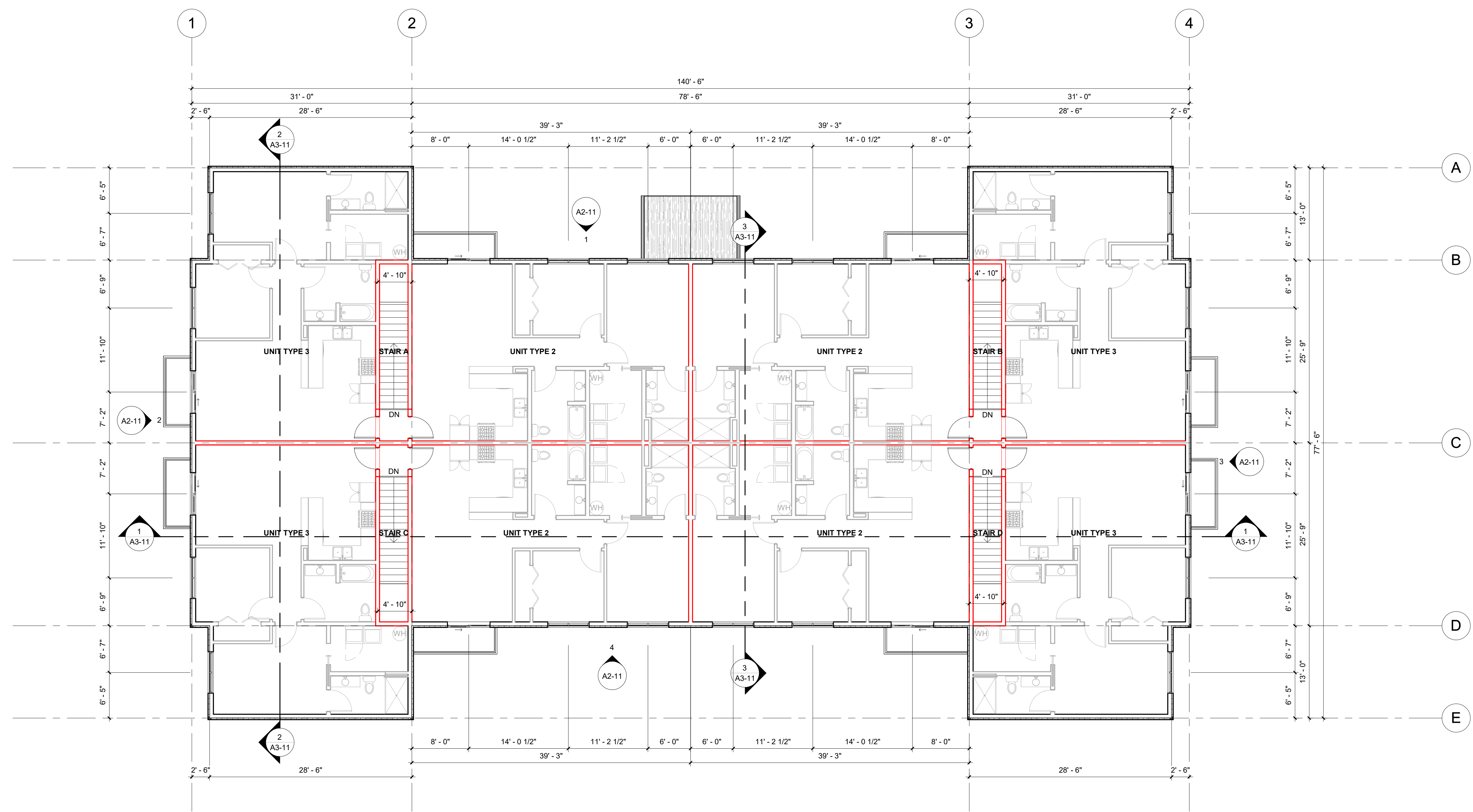
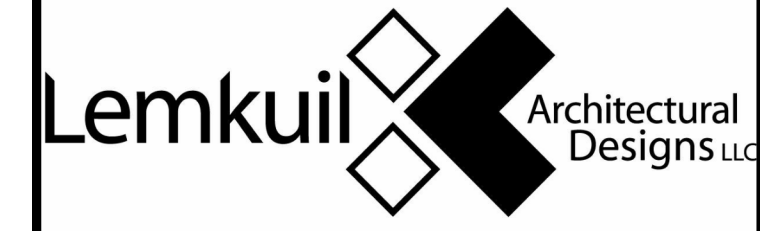
1 FIRST FLOOR PLAN
1/8" = 1'-0"



PRELIMINARY NOT FOR CONSTRUCTION

SHEET NOTES
A. ALL INTERIOR PARTITION WALLS SHALL BE WALL TYPE ____, UNLESS OTHERWISE NOTED.

KEYNOTE LEGEND



1 SECOND FLOOR PLAN
1/8" = 1'-0"

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PROJECT

LEGACY PARK APARTMENTS

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REVISION SCHEDULE		
DATE	DESCRIPTION	BY

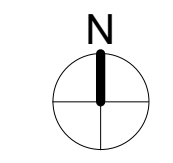
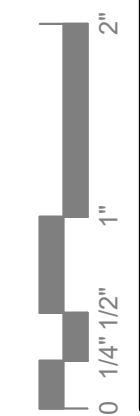
PROJECT NO.	23-28987
FILE NAME	
DRAWN BY	Author
DESIGNED BY	Designer
REVIEWED BY	Checker
ORIGINAL ISSUE DATE	05/01/23
CLIENT PROJECT NO.	

TITLE

SECOND FLOOR PLAN

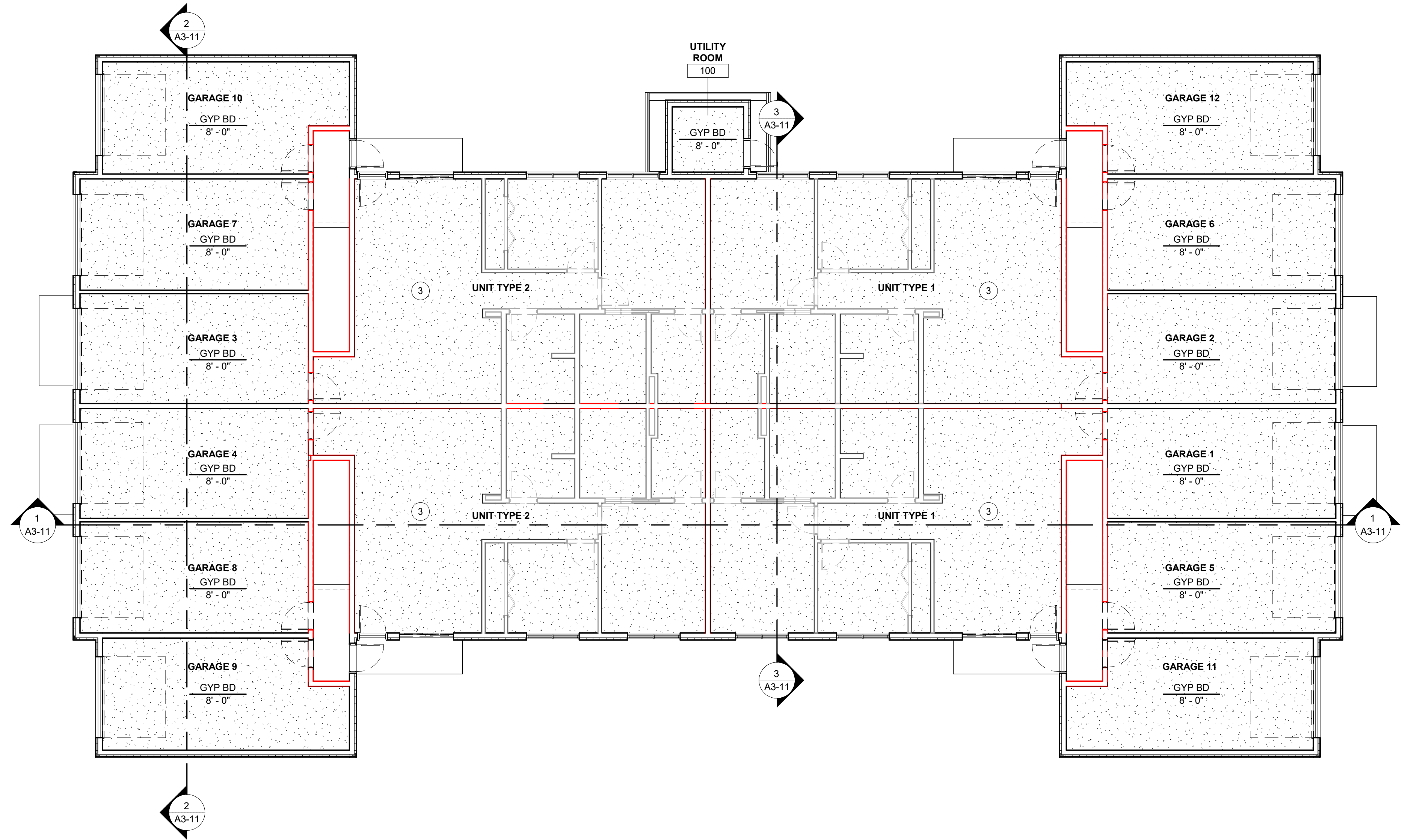
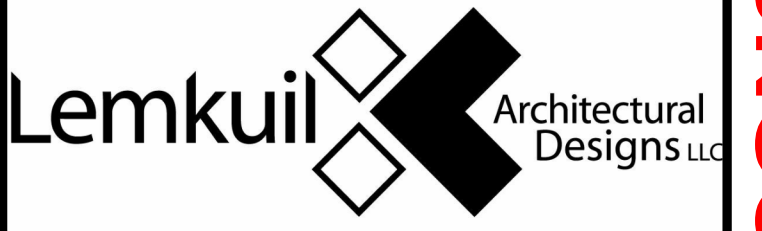
SHEET

A1-22



PRELIMINARY NOT FOR CONSTRUCTION

KEYNOTE LEGEND	
3	REFER TO ENLARGED UNIT REFLECTED CEILING PLANS FOR DETAILS



1 FIRST FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"

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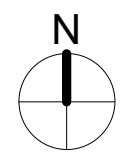
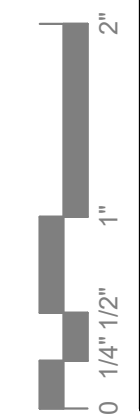
PROJECT
LEGACY PARK APARTMENTS
NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 23-28987
FILE NAME
DRAWN BY Author
DESIGNED BY Designer
REVIEWED BY Checker
ORIGINAL ISSUE DATE MM/DD/YY
CLIENT PROJECT NO.

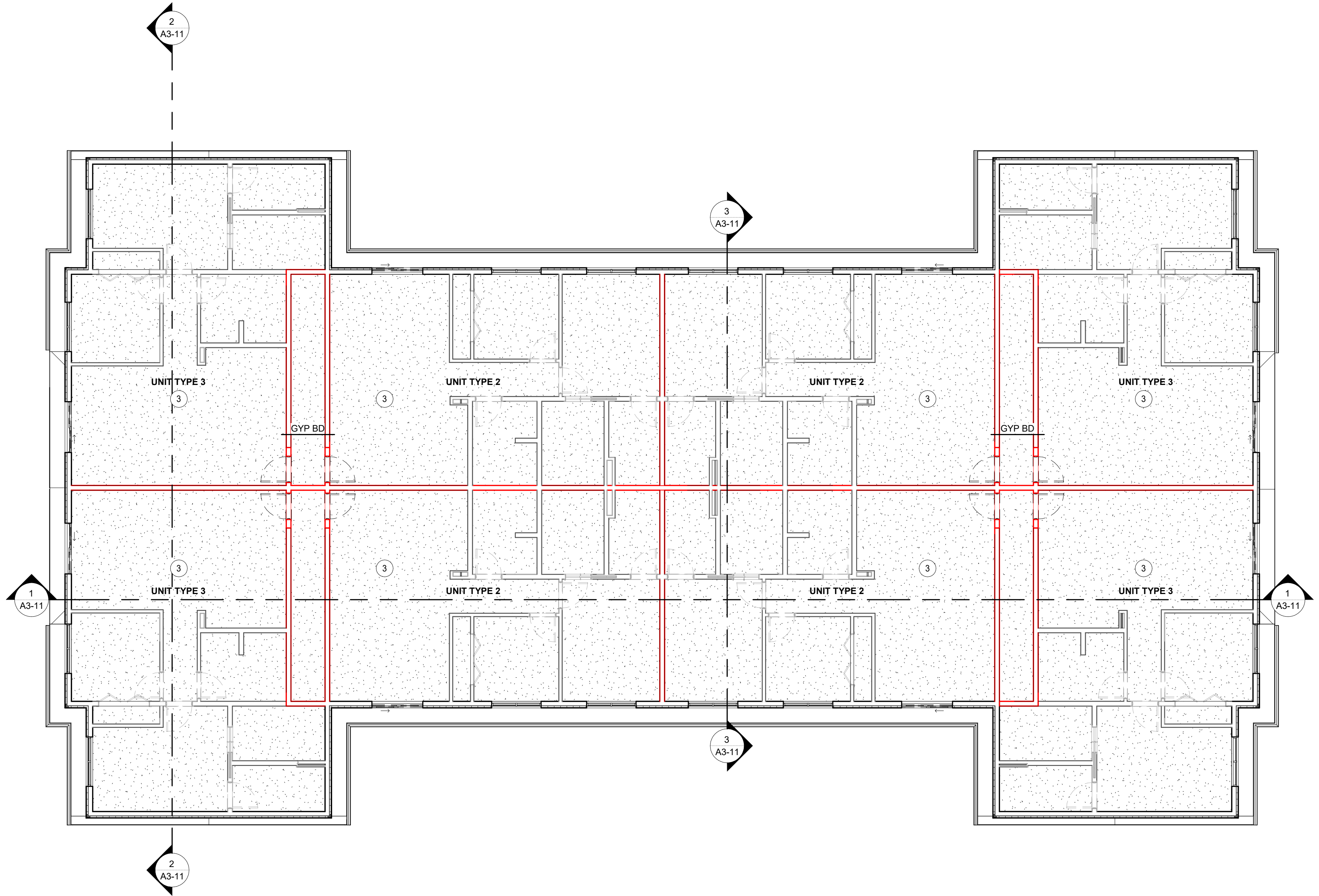
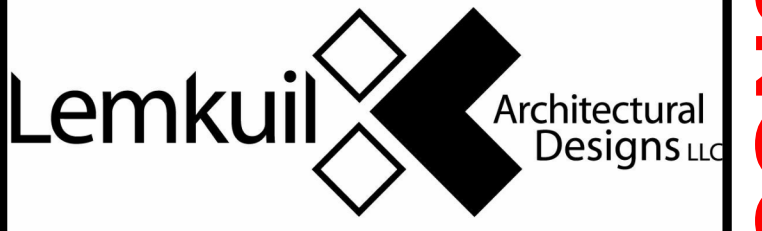
TITLE
FIRST FLOOR REFLECTED CEILING PLAN

SHEET
A1-31



PRELIMINARY NOT FOR CONSTRUCTION

KEYNOTE LEGEND	
3	REFER TO ENLARGED UNIT REFLECTED CEILING PLANS FOR DETAILS



1 SECOND FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"

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PROJECT

LEGACY PARK APARTMENTS

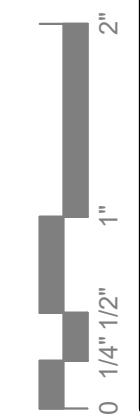
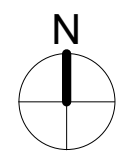
NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	23-28987
FILE NAME	
DRAWN BY	Author
DESIGNED BY	Designer
REVIEWED BY	Checker
ORIGINAL ISSUE DATE	MM/DD/YY
CLIENT PROJECT NO.	

TITLE
SECOND FLOOR REFLECTED CEILING PLAN

SHEET
A1-32

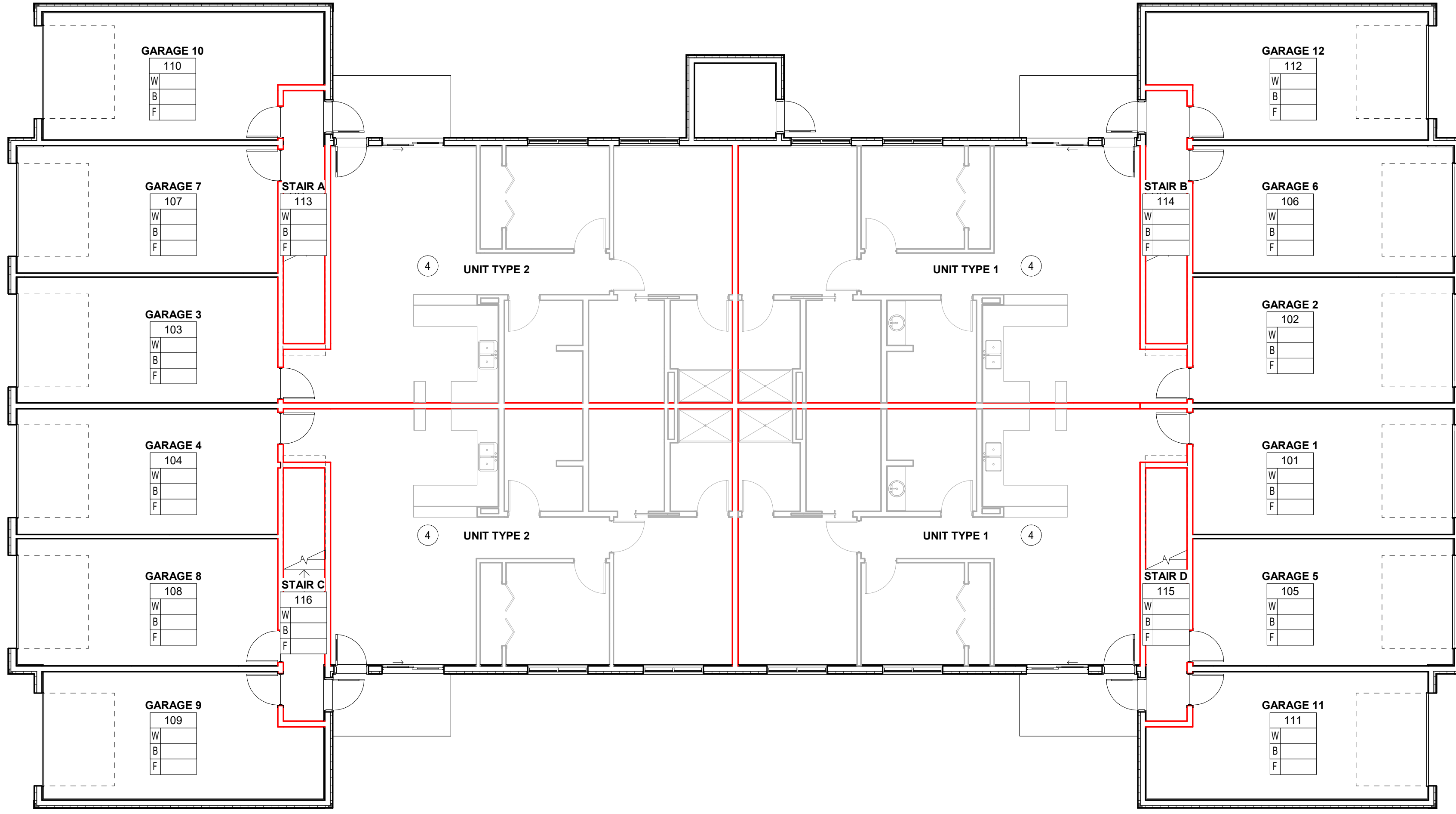


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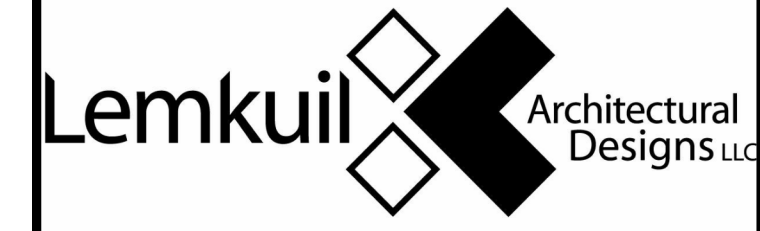
KEYNOTE LEGEND
4 REFER TO ENLARGED UNIT FINISH PLANS FOR DETAILS

← INDICATES DIRECTION OF FLOORING INSTALLATION PATTERN
● OR L INDICATES LOCATION OF CORNER GUARDS

ROOM / FINISH TAG
ROOM NAME
ROOM #
C CEILING
W WALL
B BASE
F FLOOR
FINISHES LISTED IN ROOM TAG APPLY TO ALL ELEMENTS IN ROOM, UNLESS NOTED OTHERWISE.
THE FOLLOWING SYMBOL APPLIES TO FINISHES DIFFERENT FROM THOSE NOTED IN ROOM TAG:
FINISH
THE FOLLOWING SYMBOL INDICATES: "REFER TO ELEVATIONS" FOR ADDITIONAL FINISH INFORMATION
RTE



1 FIRST FLOOR FINISH PLAN
1/8" = 1'-0"



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PROJECT
LEGACY PARK APARTMENTS

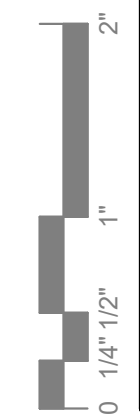
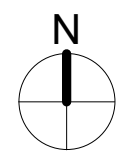
NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 23-28987
FILE NAME
DRAWN BY Author
DESIGNED BY Designer
REVIEWED BY Checker
ORIGINAL ISSUE DATE MM/DD/YY
CLIENT PROJECT NO.

TITLE
FIRST FLOOR FINISH PLAN

SHEET
A1-41

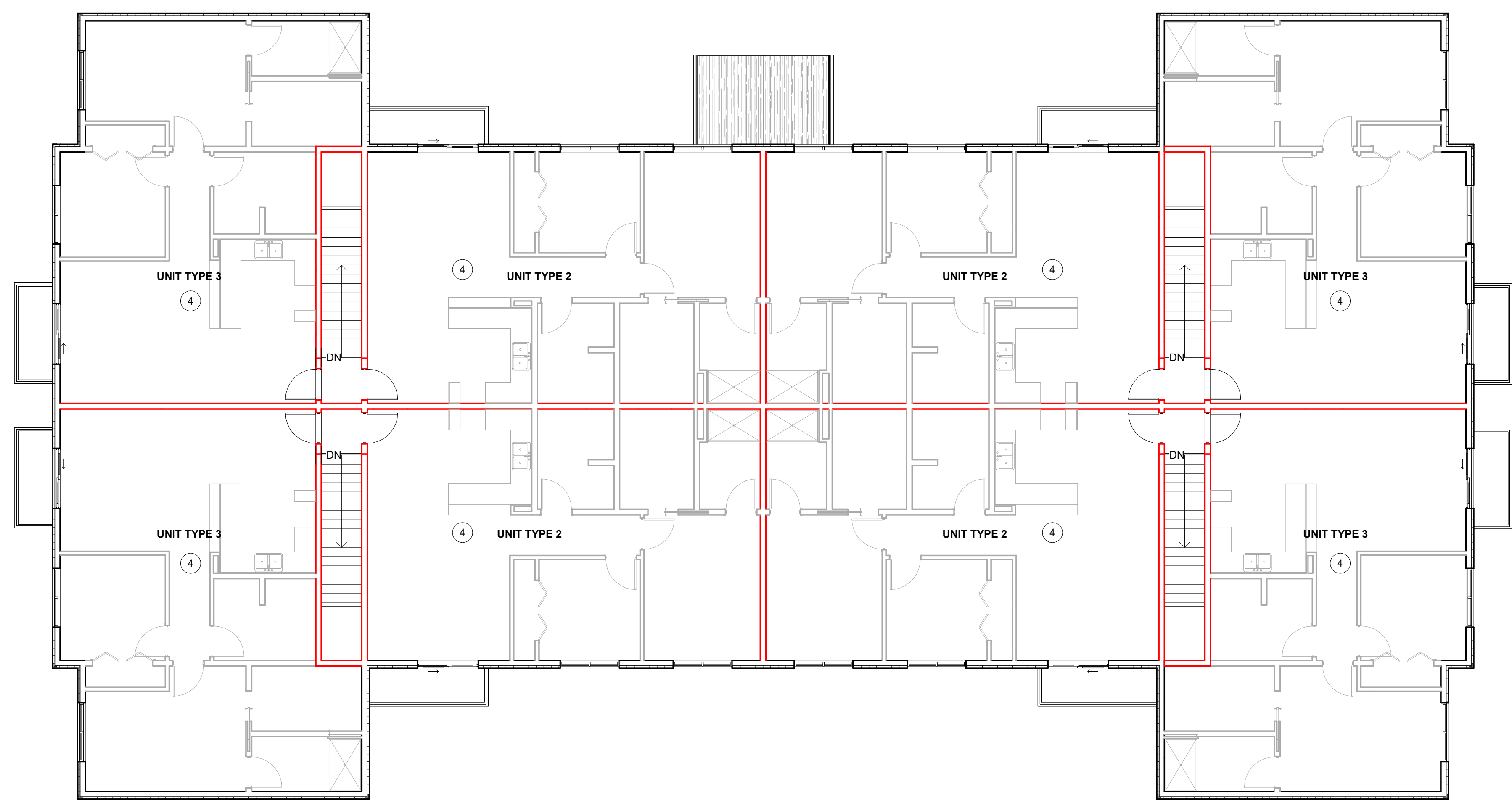


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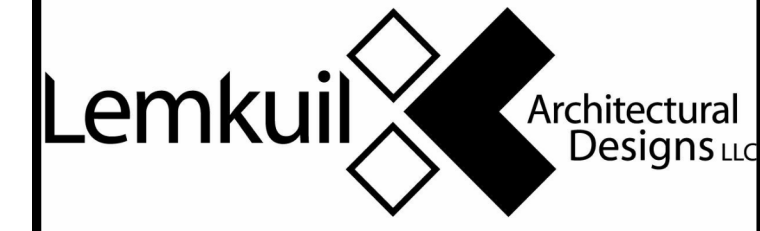
KEYNOTE LEGEND
4 REFER TO ENLARGED UNIT FINISH PLANS FOR DETAILS

← INDICATES DIRECTION OF FLOORING INSTALLATION PATTERN
● OR L INDICATES LOCATION OF CORNER GUARDS

ROOM / FINISH TAG
ROOM NAME
ROOM #
C CEILING
W WALL
B BASE
F FLOOR
FINISHES LISTED IN ROOM TAG APPLY TO ALL ELEMENTS IN ROOM, UNLESS NOTED OTHERWISE
THE FOLLOWING SYMBOL APPLIES TO FINISHES DIFFERENT FROM THOSE NOTED IN ROOM TAG:
← FINISH →
THE FOLLOWING SYMBOL INDICATES: "REFER TO ELEVATIONS" FOR ADDITIONAL FINISH INFORMATION
RTE



1 SECOND FLOOR PLAN
1/8" = 1'-0"



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PROJECT
LEGACY PARK APARTMENTS

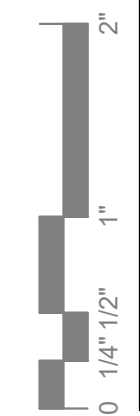
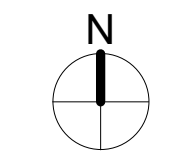
NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

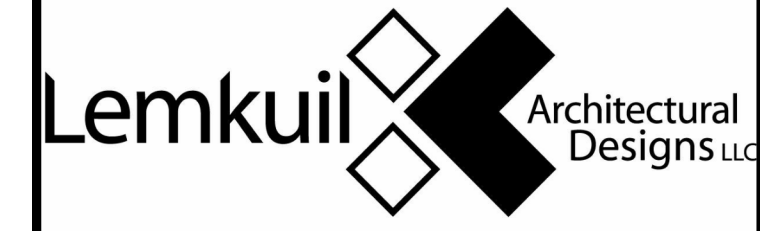
PROJECT NO. 23-28987
FILE NAME
DRAWN BY Author
DESIGNED BY Designer
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ORIGINAL ISSUE DATE MM/DD/YY
CLIENT PROJECT NO.

TITLE
SECOND FLOOR FINISH PLAN

SHEET
A1-42



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PROJECT

LEGACY PARK APARTMENTS

NEENAH WISCONSIN

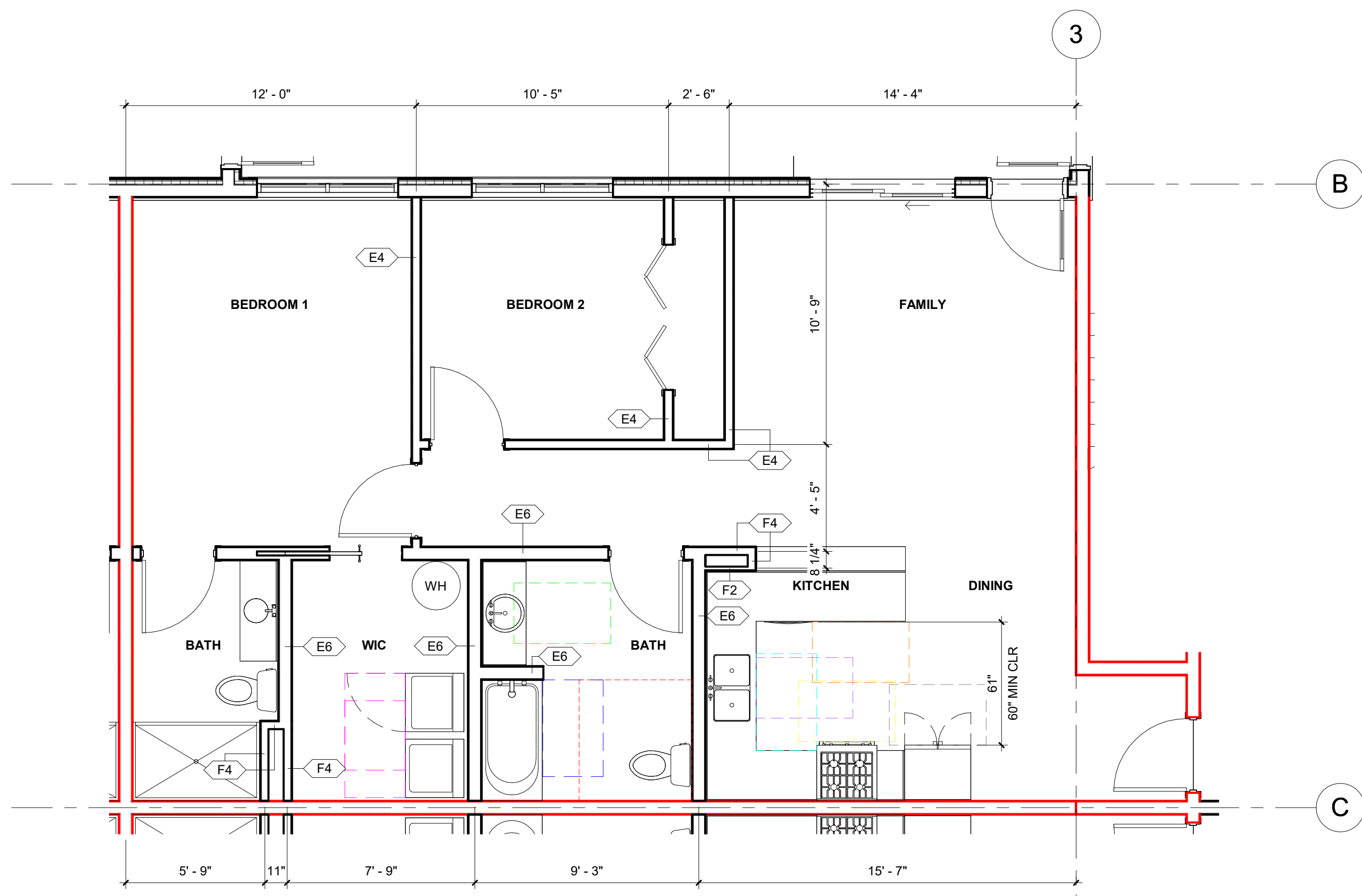
REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	23-28987
FILE NAME	
DRAWN BY	Author
DESIGNED BY	Designer
REVIEWED BY	Checker
ORIGINAL ISSUE DATE	MM/DD/YY
CLIENT PROJECT NO.	

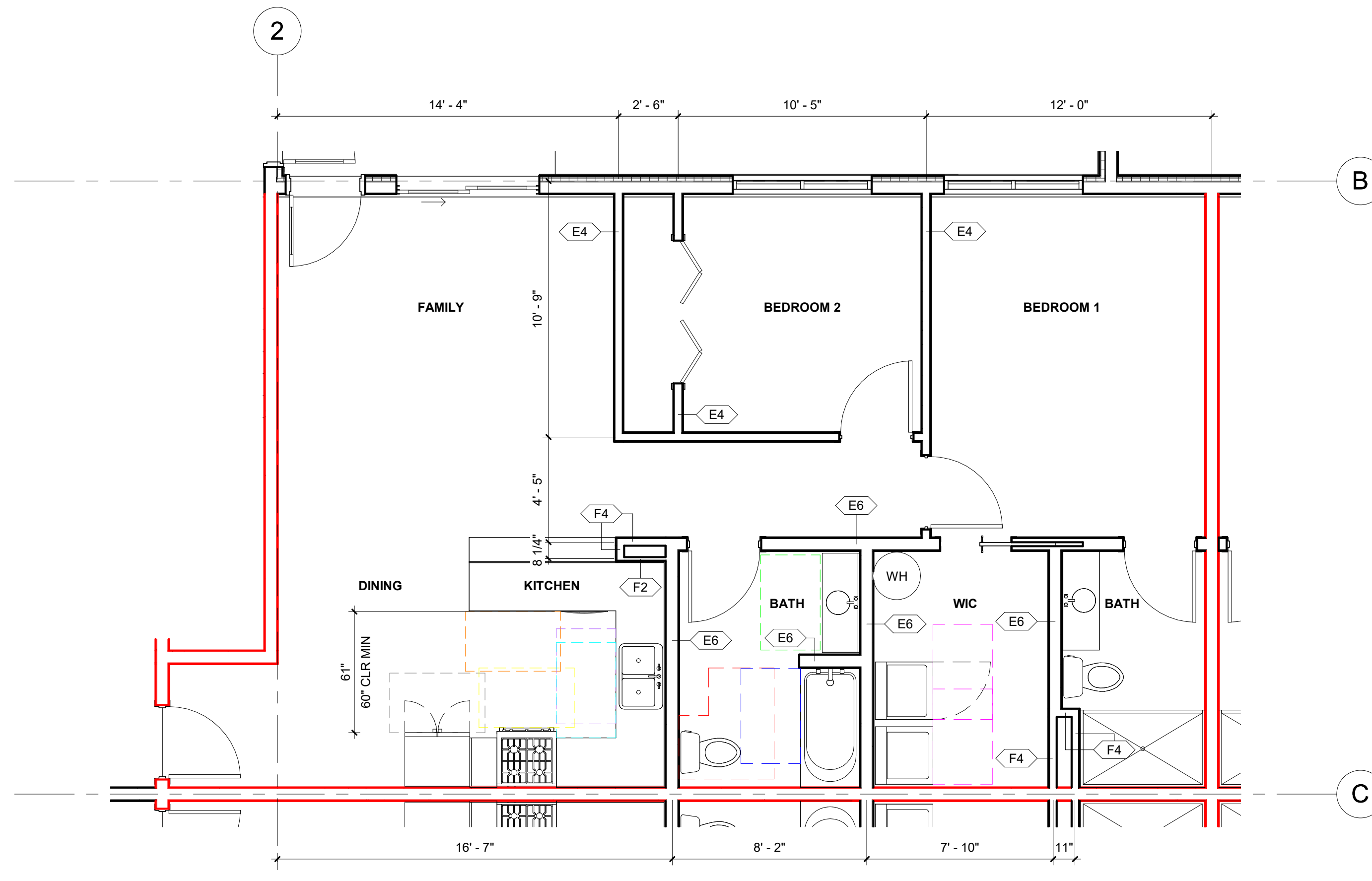
TITLE

UNIT PLANS

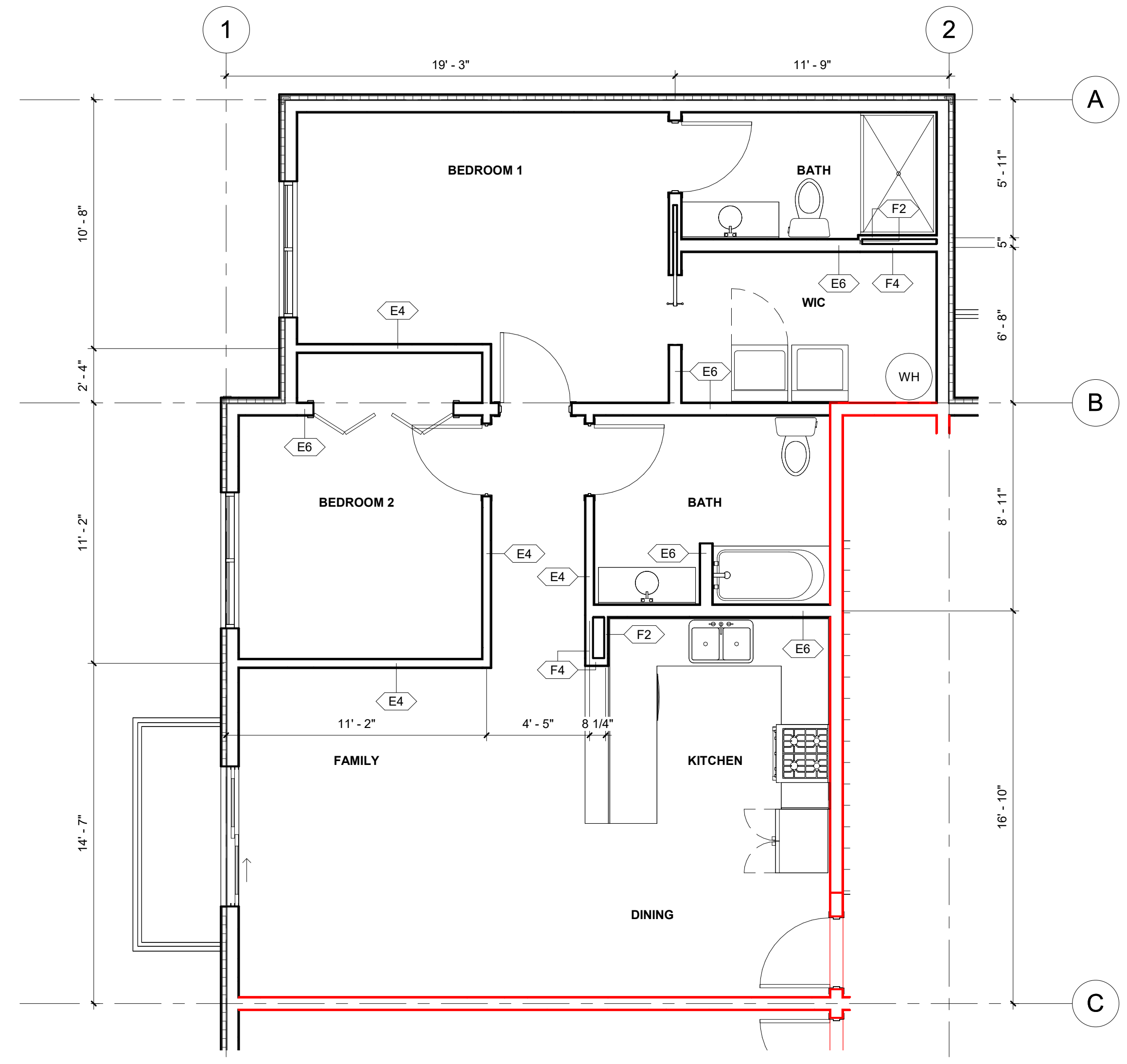
SHEET **A1-51**



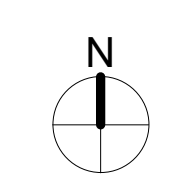
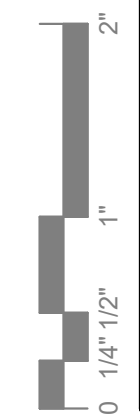
1 UNIT TYPE 1 - 2 BEDROOM (TYPE A)
1/4" = 1'-0"



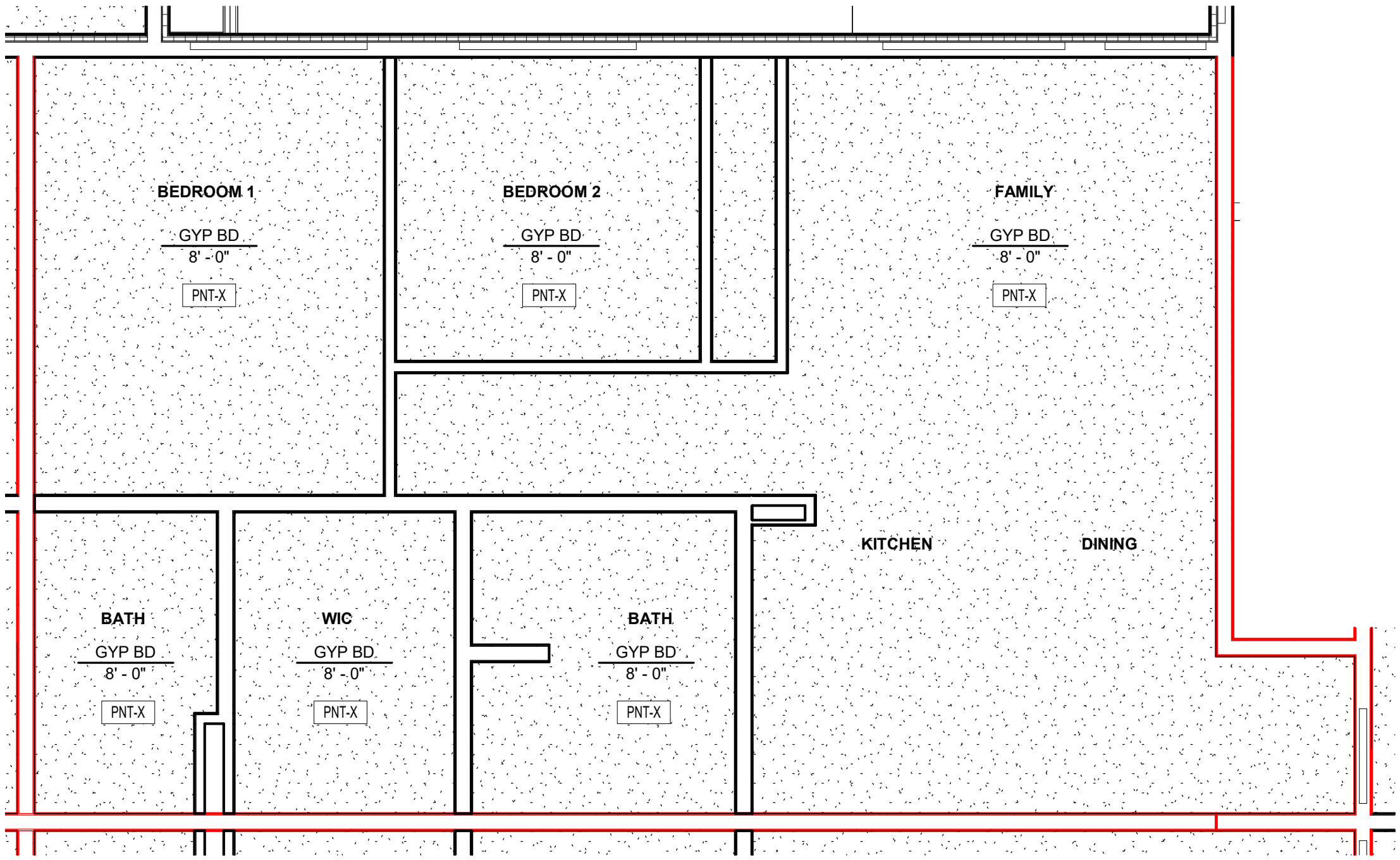
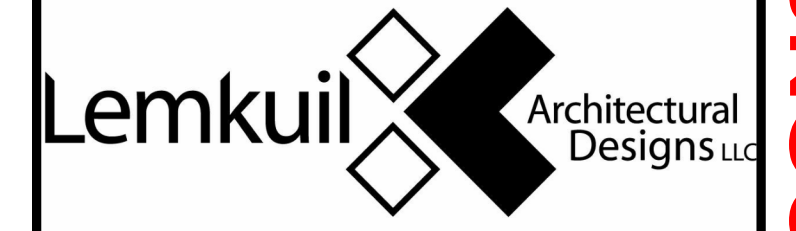
2 UNIT TYPE 2 - 2 BEDROOM (TYPE B)
1/4" = 1'-0"



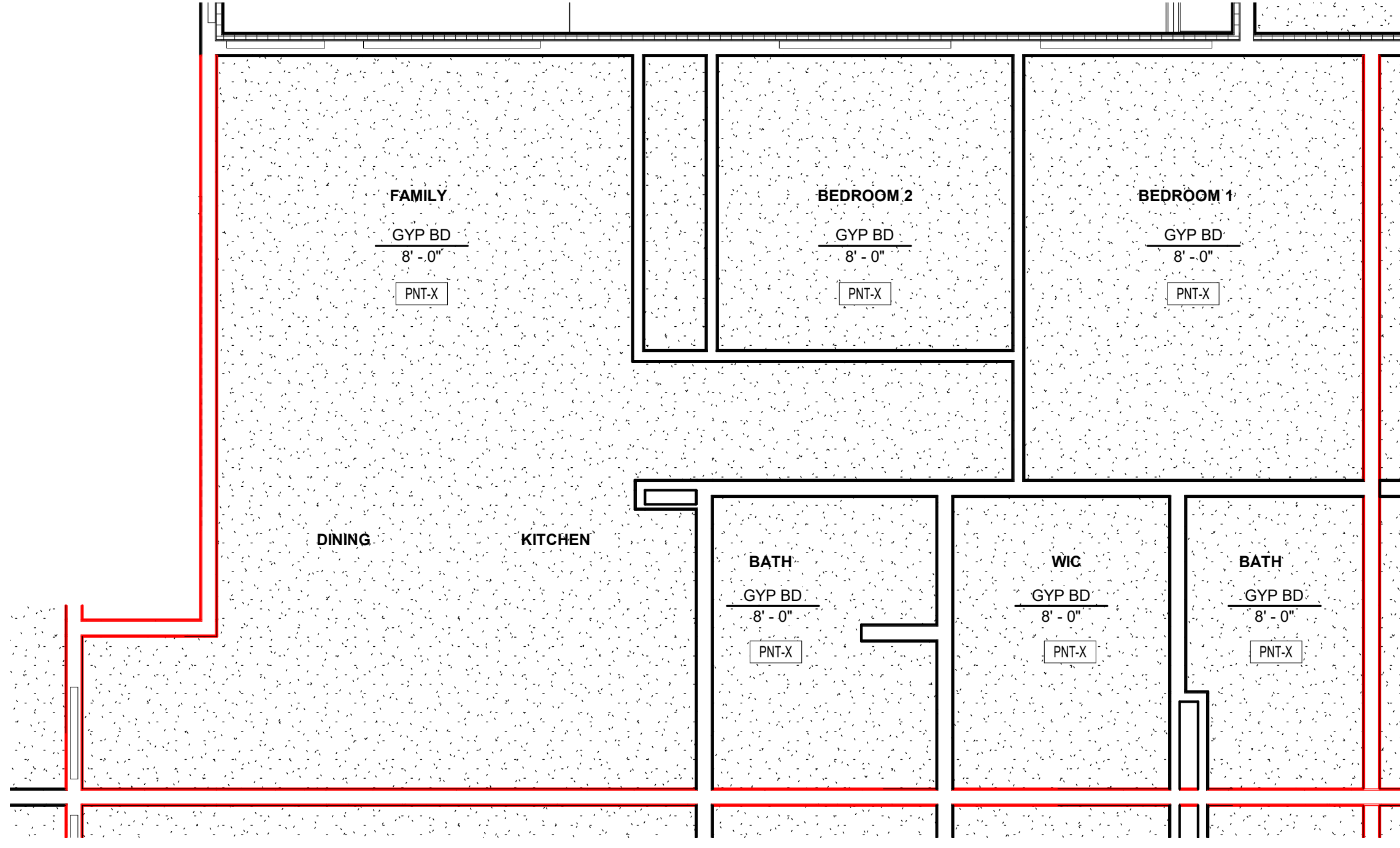
3 UNIT TYPE 3 - 2 BEDROOM
1/4" = 1'-0"



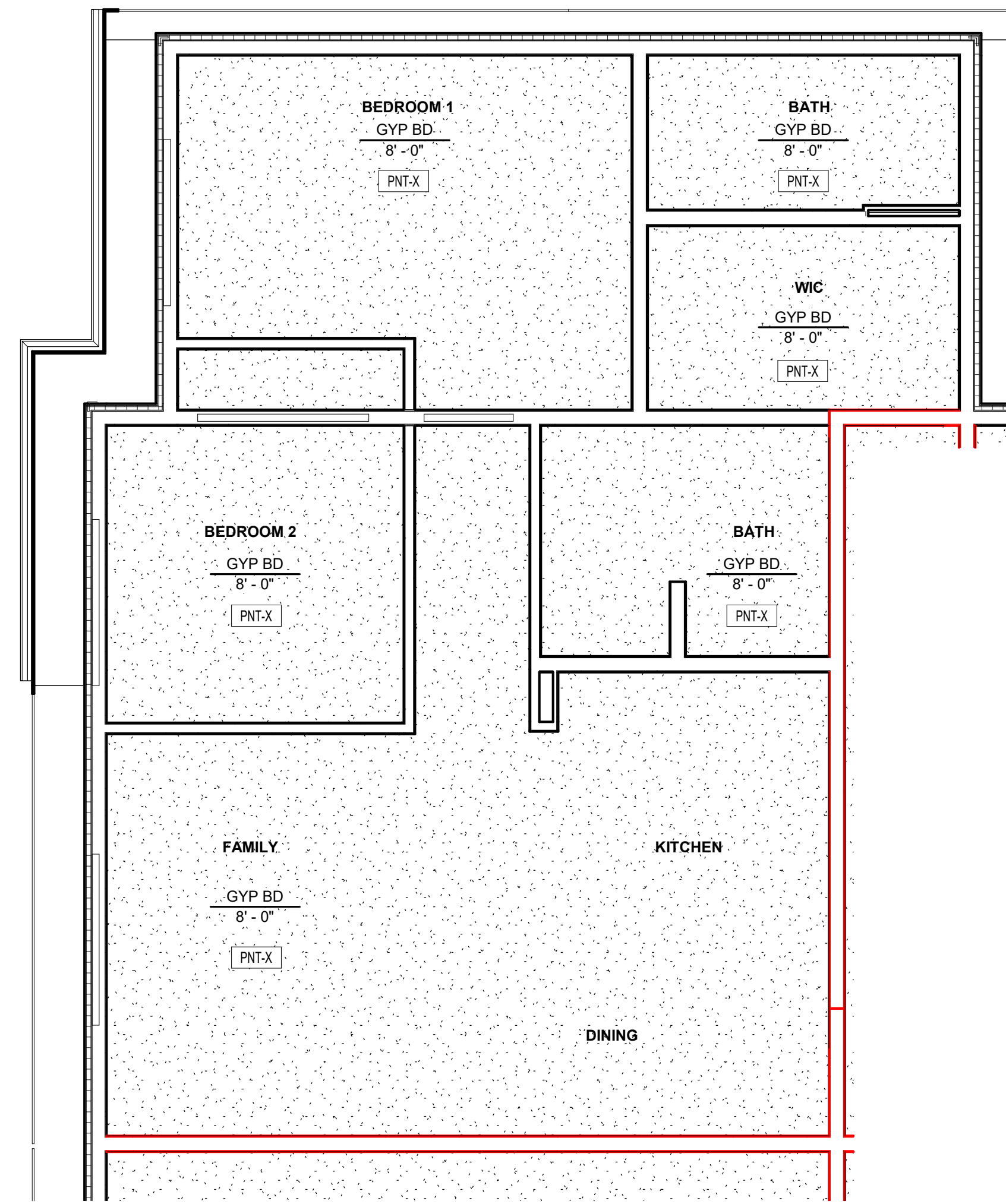
PRELIMINARY NOT FOR CONSTRUCTION



1 UNIT TYPE 1 - RCP
1/4" = 1'-0"



2 UNIT TYPE 2 - RCP
1/4" = 1'-0"



3 UNIT TYPE 3 - RCP
1/4" = 1'-0"

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PROJECT

LEGACY PARK APARTMENTS

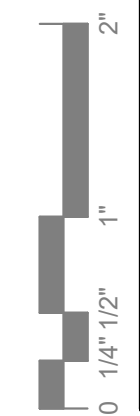
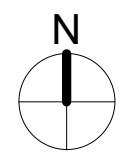
NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

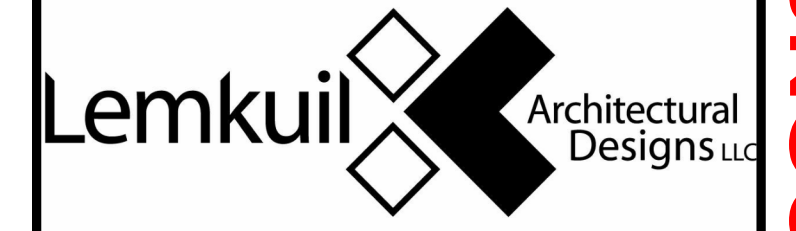
PROJECT NO.	23-28987
FILE NAME	
DRAWN BY	Author
DESIGNED BY	Designer
REVIEWED BY	Checker
ORIGINAL ISSUE DATE	MM/DD/YY
CLIENT PROJECT NO.	

TITLE
UNIT REFLECTED CEILING PLAN

SHEET
A1-61



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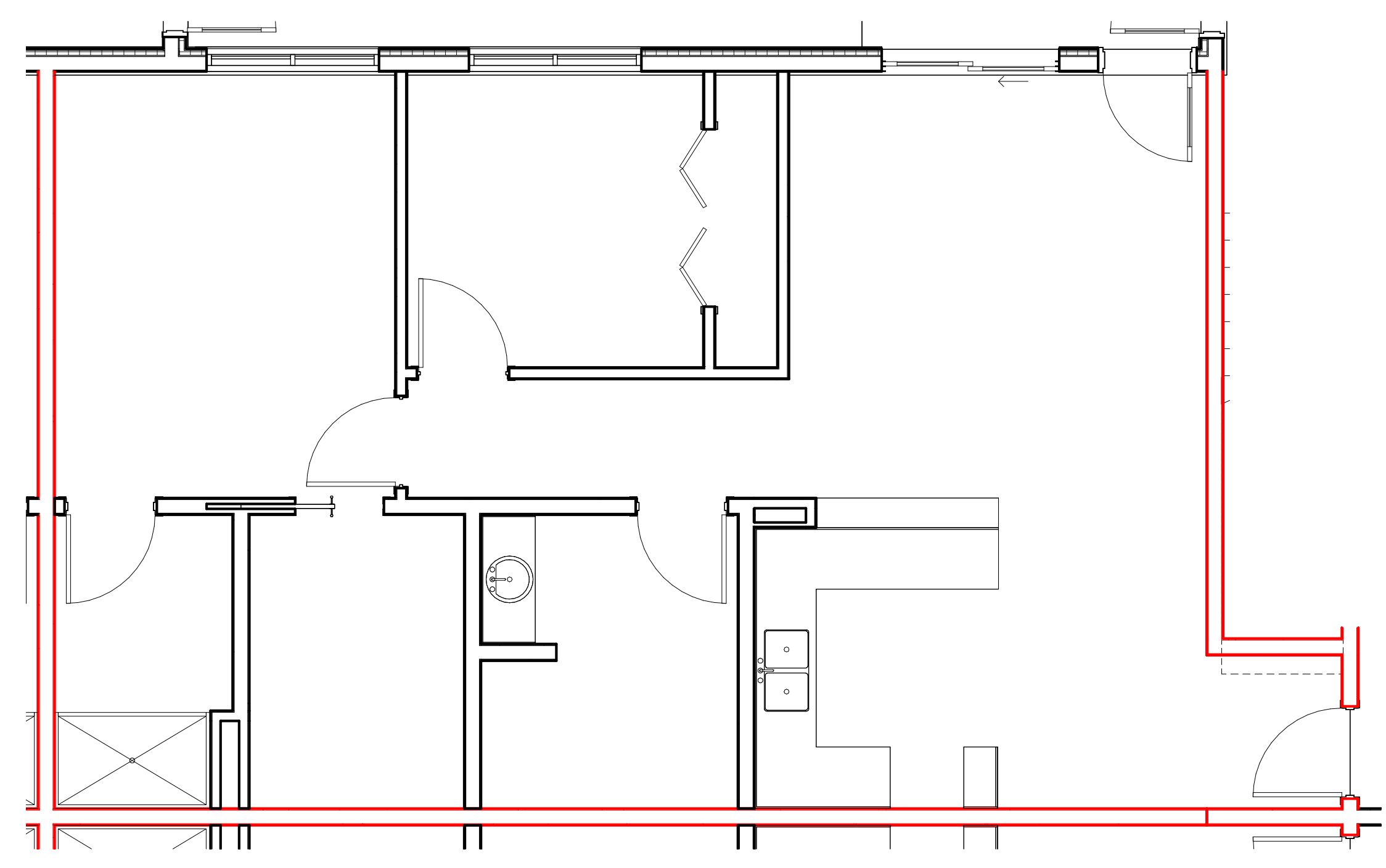
NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

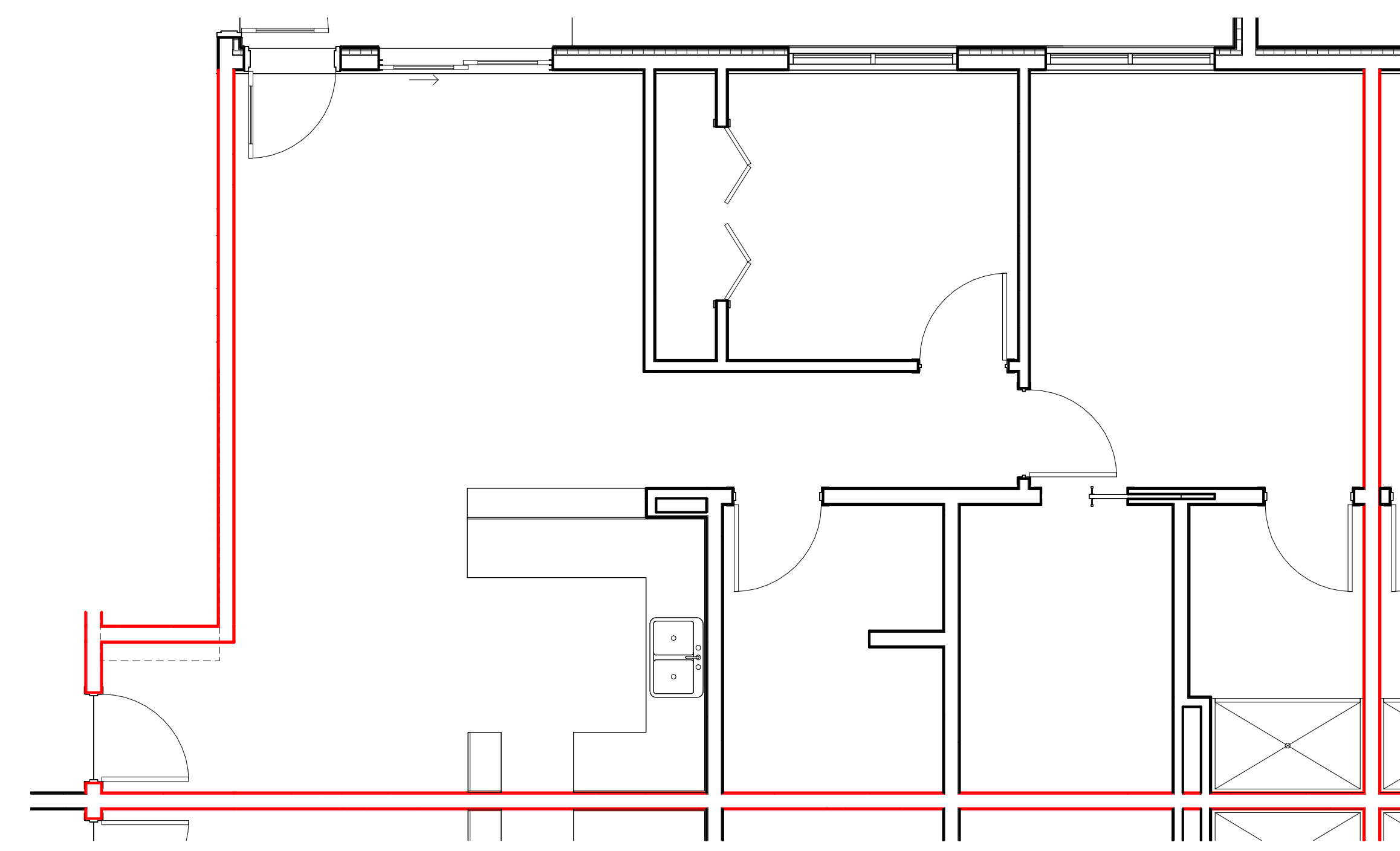
PROJECT NO.	23-28987
FILE NAME	
DRAWN BY	Author
DESIGNED BY	Designer
REVIEWED BY	Checker
ORIGINAL ISSUE DATE	MM/DD/YY
CLIENT PROJECT NO.	

TITLE
UNIT FINISH PLANS

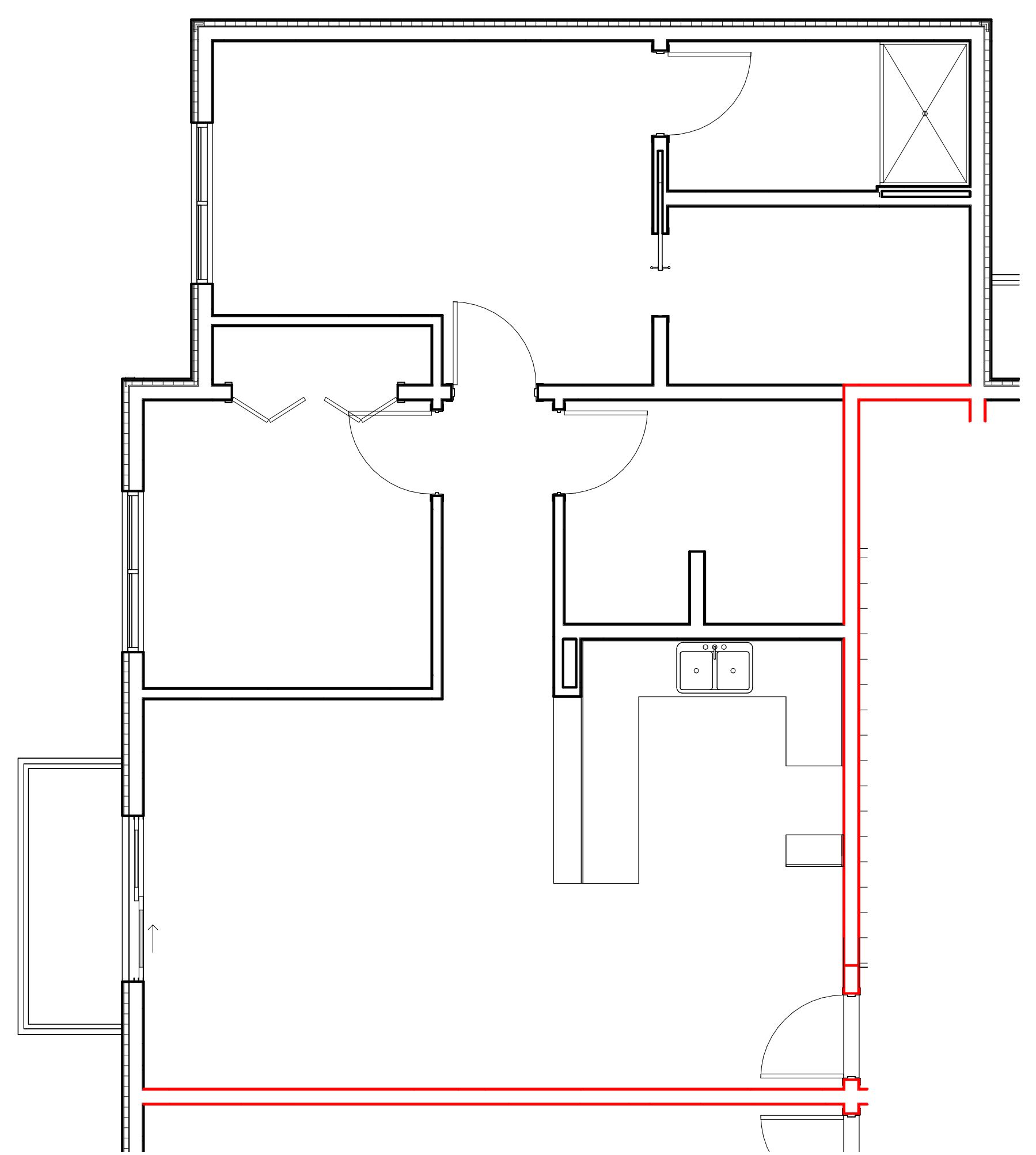
SHEET
A1-71



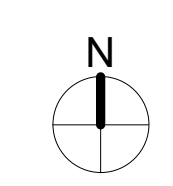
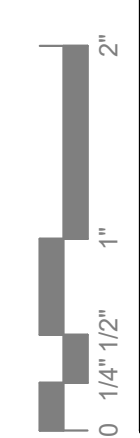
1 UNIT TYPE 1 FINISH PLAN - (TYPE A)
1/4" = 1'-0"



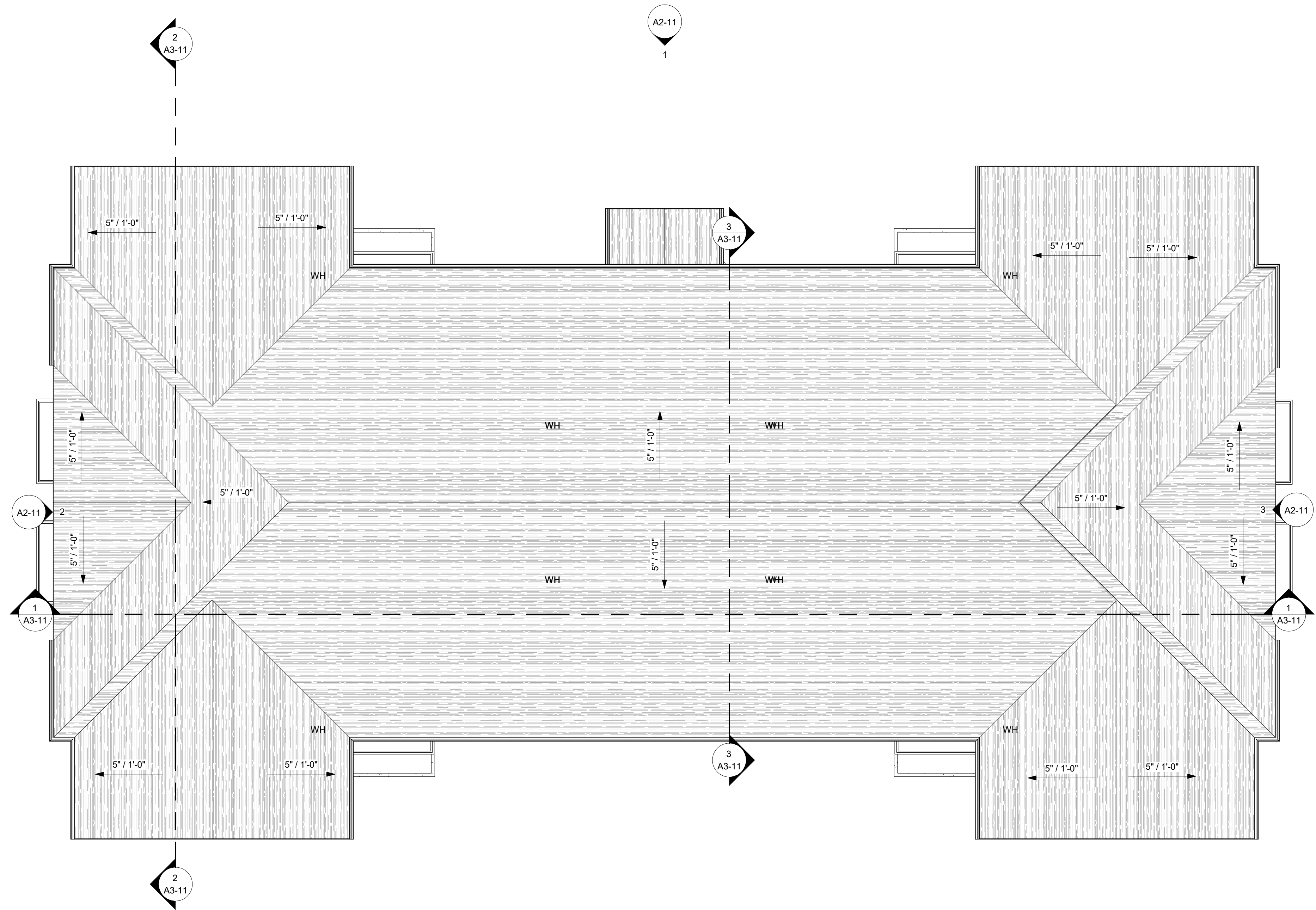
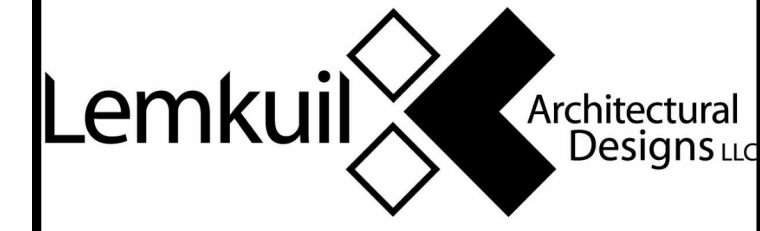
2 UNIT TYPE 2 FINISH PLAN - (TYPE B)
1/4" = 1'-0"



3 UNIT TYPE 3 FINISH PLAN
1/4" = 1'-0"



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1 ROOF PLAN
1/8" = 1'-0"

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PROJECT

LEGACY PARK APARTMENTS

NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

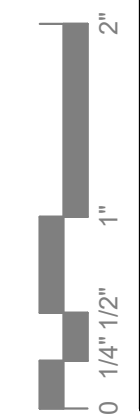
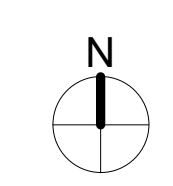
PROJECT NO.	23-28987
FILE NAME	
DRAWN BY	Author
DESIGNED BY	Designer
REVIEWED BY	Checker
ORIGINAL ISSUE DATE	MM/DD/YY
CLIENT PROJECT NO.	

TITLE

ROOF PLAN

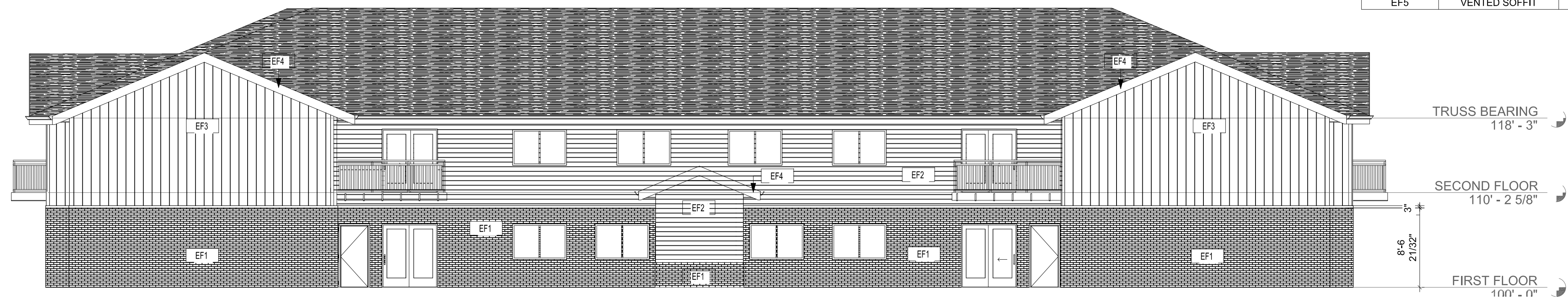
SHEET

A1-81

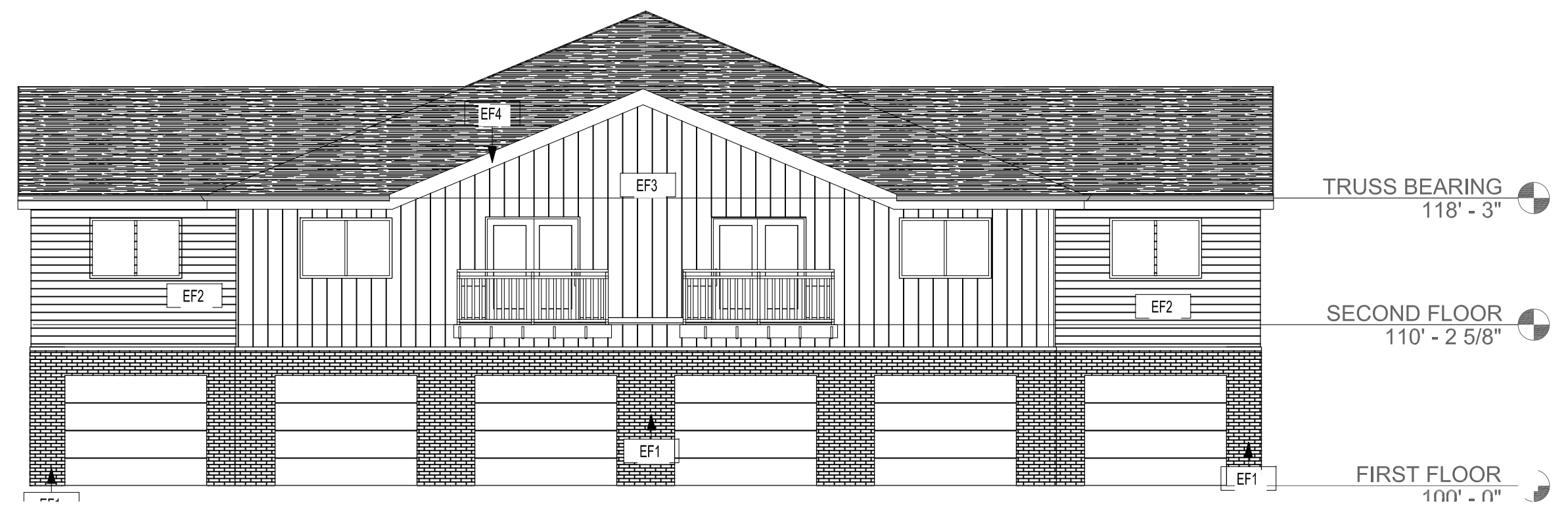


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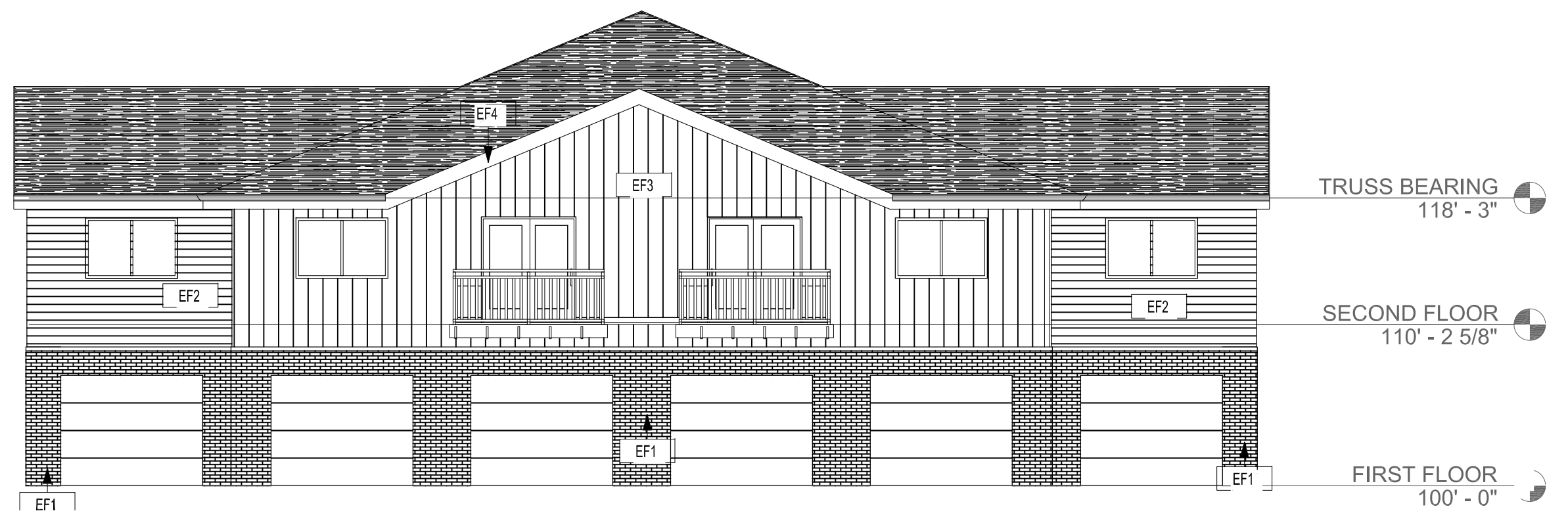
EXTERIOR FINISH SCHEDULE						
MARK	MATERIAL TYPE	MANUFACTURER	MODEL / SIZE	COLOR	ADDITIONAL INFORMATION	COMMENTS
EF1	THIN BRICK					
EF2	VINYL SIDING					6"
EF3	VINYL SIDING					12"
EF4	FASCIA					
EF5	VENTED SOFFIT					



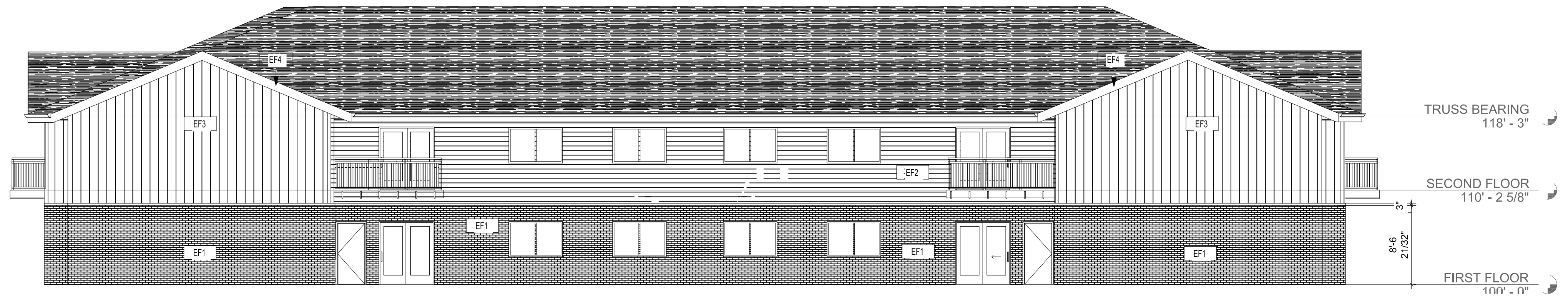
1 NORTH ELEVATION
1/8" = 1'-0"



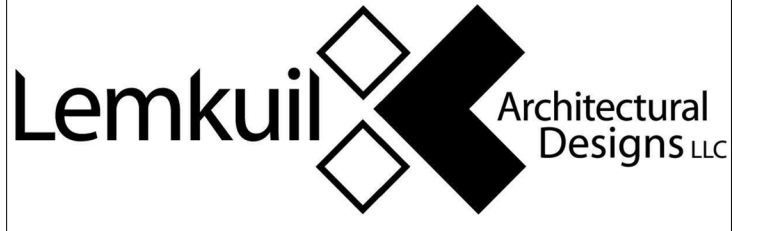
2 WEST ELEVATION
1/8" = 1'-0"



3 EAST ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"



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LEGACY PARK APARTMENTS

NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

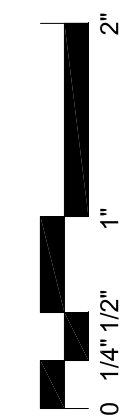
PROJECT NO.	23-28987
FILE NAME	28987 ARCH R22.RVT
DRAWN BY	SLD
DESIGNED BY	MAC
REVIEWED BY	MAC
ORIGINAL ISSUE DATE	06/29/23
CLIENT PROJECT NO.	

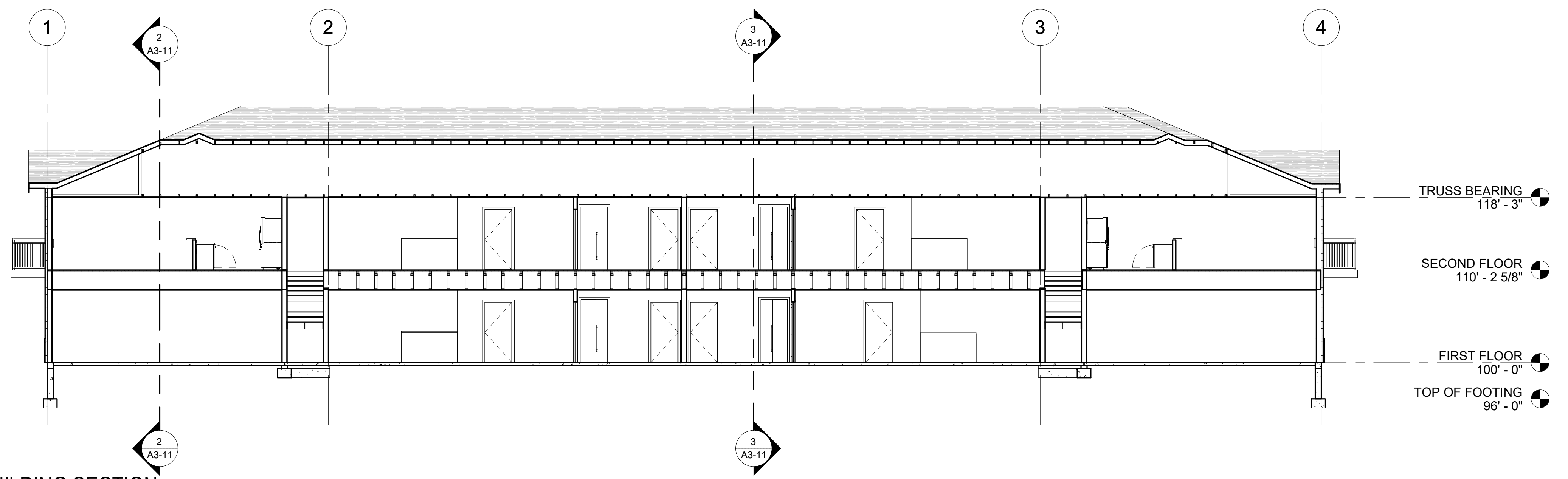
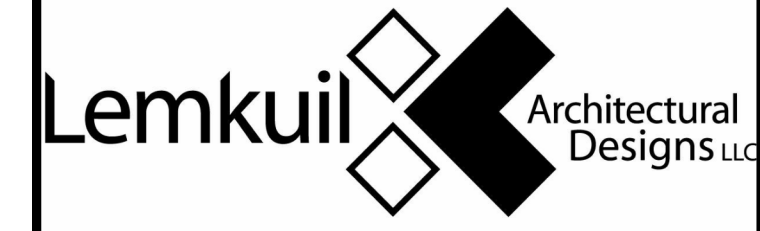
TITLE

EXTERIOR ELEVATIONS

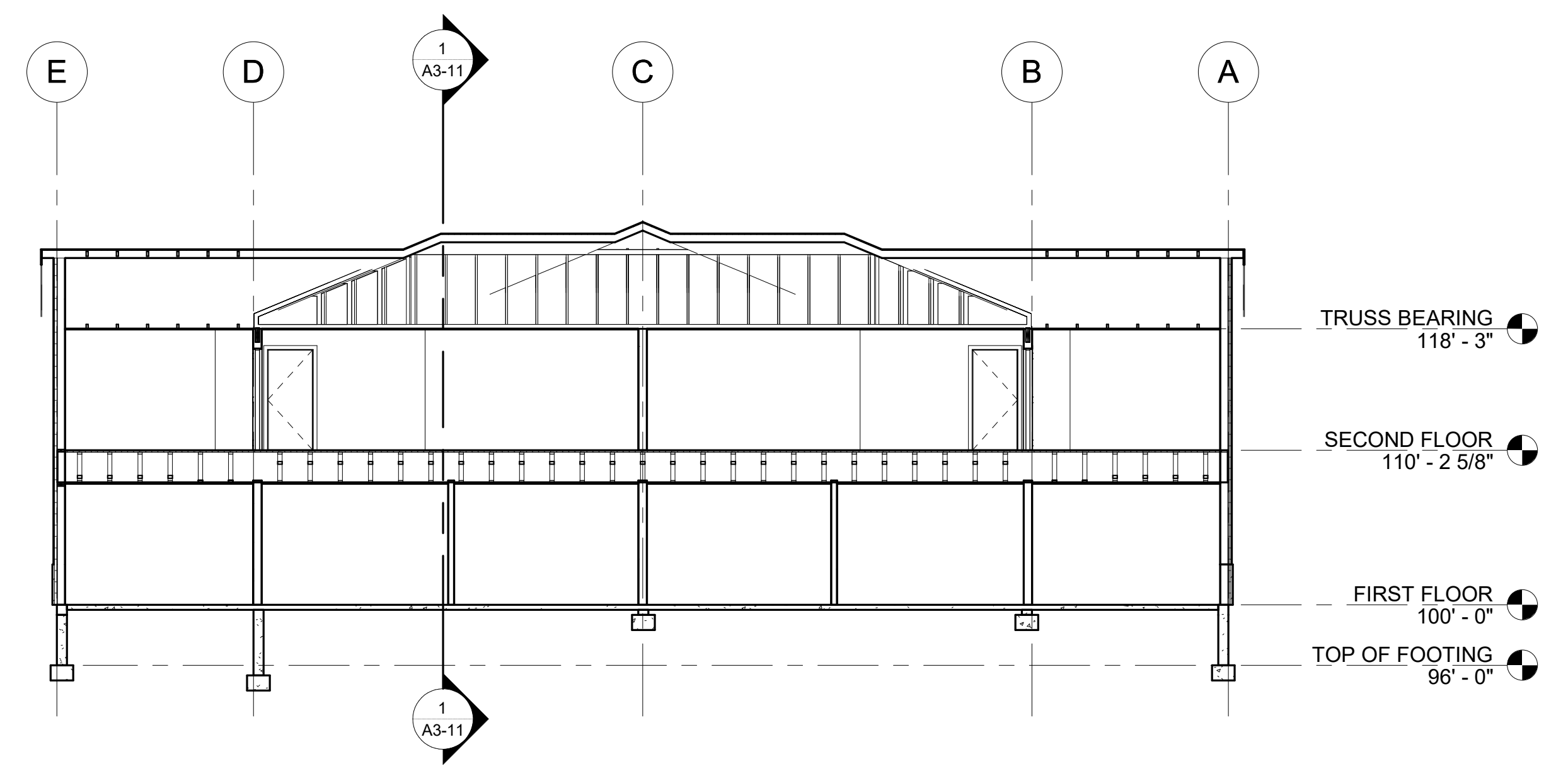
SHEET

A2-11

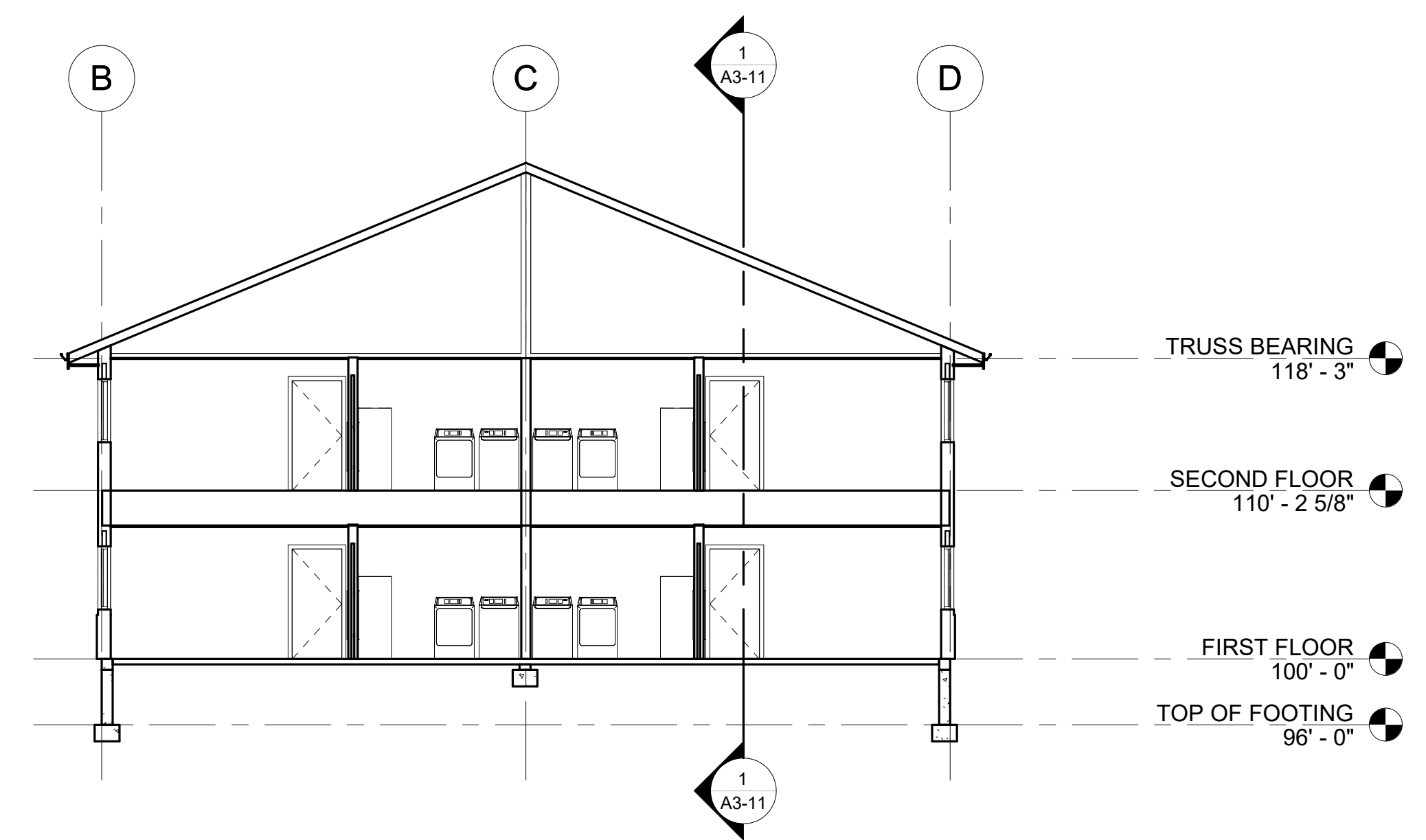




1 BUILDING SECTION
1/8" = 1'-0"



2 BUILDING SECTION
1/8" = 1'-0"



3 BUILDING SECTION
1/8" = 1'-0"

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PROJECT

LEGACY PARK APARTMENTS

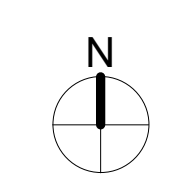
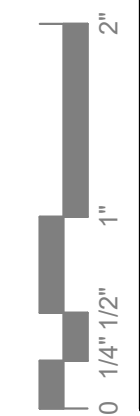
NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	23-28987
FILE NAME	
DRAWN BY	Author
DESIGNED BY	Designer
REVIEWED BY	Checker
ORIGINAL ISSUE DATE	MM/DD/YY
CLIENT PROJECT NO.	

TITLE
BUILDING SECTIONS

SHEET
A3-11



PRELIMINARY NOT FOR CONSTRUCTION

SPECIAL INSPECTIONS

- 1. SPECIAL INSPECTION PROGRAM SHALL CONFORM TO CHAPTER 17 OF THE IBC.
2. THE OWNER SHALL EMPLOY A SPECIAL INSPECTOR TO PERFORM THE REQUIRED TESTS AND SPECIAL INSPECTIONS WITH QUALIFICATIONS DESCRIBED PER IBC CHAPTER 17 AND THE PROJECT SPECIFICATIONS.
3. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING INSPECTIONS AND TESTS. SUFFICIENT NOTICE AND LEAD TIME MUST BE ALLOWED FOR THE INSPECTION AND TESTING TO BE PERFORMED WITHOUT IMPEDING CONSTRUCTION OPERATIONS.
4. SPECIAL INSPECTION REPORTS SHALL BE FURNISHED TO BUILDING OFFICIAL, OWNER, ARCHITECT, STRUCTURAL ENGINEER, AND CONTRACTOR.
5. WHEN DEFICIENCIES ARE IDENTIFIED, THE CONTRACTOR MUST TAKE CORRECTIVE ACTIONS TO COMPLY WITH THE CONTRACT DOCUMENTS OR REMEDY THE DEFICIENCIES AS DIRECTED BY THE REGISTERED DESIGN PROFESSIONAL.
6. THE SPECIAL INSPECTION AND QUALITY ASSURANCE PROGRAM DOES NOT RELIEVE THE CONTRACTOR OF HIS OR HER RESPONSIBILITY TO PERFORM QUALITY CONTROL.
7. THE CONTRACTOR IS RESPONSIBLE FOR TESTING SERVICES THAT ARE REQUIRED FOR MATERIAL SUBMITTALS AND THAT ARE NOT PART OF THE SPECIAL INSPECTION PROGRAM (E.G. AGGREGATE TESTS, CONCRETE MIX DESIGNS, TESTING OF CONTROLLED FILL MATERIALS, ETC.).
8. SPECIAL INSPECTOR SHALL SUBMIT A FINAL REPORT STATING THAT THE STRUCTURAL WORK WAS, TO THE BEST OF THE SPECIAL INSPECTOR'S KNOWLEDGE, PERFORMED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.

FABRICATED ITEMS (IBC 1704.2)

SPECIAL INSPECTION TYPE: FABRICATOR APPROVAL

SPECIAL INSPECTION IS NOT REQUIRED WHERE THE WORK IS DONE ON THE PREMISES OF A FABRICATOR REGISTERED AND APPROVED TO PERFORM WORK WITHOUT SPECIAL INSPECTION PROVIDED THE FABRICATOR COMPLIES WITH IBC.

WOOD (IBC 1705.5)

Table with 2 columns: SPECIAL INSPECTION TYPE, FREQUENCY. Includes rows for High Load Diaphragms, Metal Plate Connected Wood Trusses (60 inches or greater), and Metal Plate Connected Wood Trusses (60 feet or greater).

MASS TIMBER (IBC 1705.5.3)

Table with 2 columns: SPECIAL INSPECTION TYPE, FREQUENCY. Includes rows for Anchorage and Connections of Mass Timber Construction, Erection of Mass Timber Construction, Connections Where Installation Methods are Required, Threaded Fasteners, Adhesive Anchors, Bolted Connections, and Concealed Connections.

SOILS (IBC 1705.6)

Table with 2 columns: SPECIAL INSPECTION TYPE, FREQUENCY. Includes rows for Materials Below Shallow Foundations, Excavations, Compaction of Fill Materials, and Compaction of Compacted Fill.

DRIVEN DEEP FOUNDATIONS (IBC 1705.7)

Table with 2 columns: SPECIAL INSPECTION TYPE, FREQUENCY. Includes rows for Element Materials, Test Capacities, Driving Operations, Placement Locations, and Penetration Determination.

CAST-IN-PLACE DEEP FOUNDATIONS (IBC 1705.8)

Table with 2 columns: SPECIAL INSPECTION TYPE, FREQUENCY. Includes rows for Drilling Operations and Placement Locations.

SPECIAL INSPECTIONS FOR WIND RESISTANCE (IBC 1705.11)

Table with 2 columns: SPECIAL INSPECTION TYPE, FREQUENCY. Includes rows for Structural Wood, Cold-Formed Steel Light-Frame Construction, and Wind-Resisting Components.

SPECIAL INSPECTIONS FOR SEISMIC RESISTANCE (IBC 1705.12)

Table with 2 columns: SPECIAL INSPECTION TYPE, FREQUENCY. Includes rows for Structural Steel, Structural Wood, Cold-Formed Steel Light-Frame Construction, Designated Seismic Systems, Architectural Components, Plumbing, Mechanical, and Electrical Components, and Storage Racks.

SPRAYED FIRE-RESISTANT MATERIALS (IBC 1705.14)

Table with 2 columns: SPECIAL INSPECTION TYPE, FREQUENCY. Includes rows for Laboratory Tested Fire Resistance Design, Schedule of Thickness, Surface Preparation, Application, Curing and Ambient Condition, Thickness, Density, and Bond Strength.

EXTERIOR INSULATION AND FINISH SYSTEMS (IBC 1705.16)

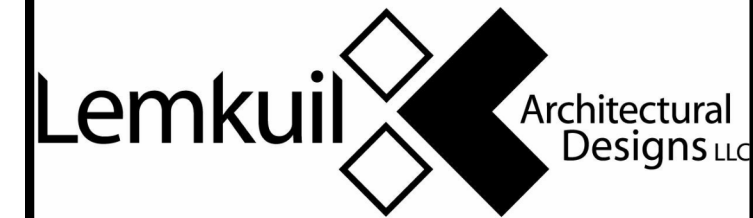
Table with 2 columns: SPECIAL INSPECTION TYPE, FREQUENCY. Includes rows for EIFS Applications and Water-Resistive Barrier Coating.

FIRE RESISTANT PENETRATIONS AND JOINTS (IBC 1705.17)

Table with 2 columns: SPECIAL INSPECTION TYPE, FREQUENCY. Includes rows for Penetration Firestops and Fire Resistant Joint Systems.

SMOKE CONTROL SYSTEMS (IBC 1705.18)

Table with 2 columns: SPECIAL INSPECTION TYPE, FREQUENCY. Includes rows for Testing for Smoke Control and Device Location/Verification.



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PROJECT

LEGACY PARK APARTMENTS

NEENAH WISCONSIN

Table with 3 columns: DATE, DESCRIPTION, BY. Revision schedule table.

PROJECT NO. 23-28987

FILE NAME, DRAWN BY, DESIGNED BY, REVIEWED BY, ORIGINAL ISSUE DATE

CLIENT PROJECT NO.

SPECIAL INSPECTIONS (PER IBC 2018)

SHEET S1-03



PRELIMINARY NOT FOR CONSTRUCTION

SLAB SCHEDULE			
MARK	THICKNESS	REINFORCEMENT	COMMENTS
SL1	4"		

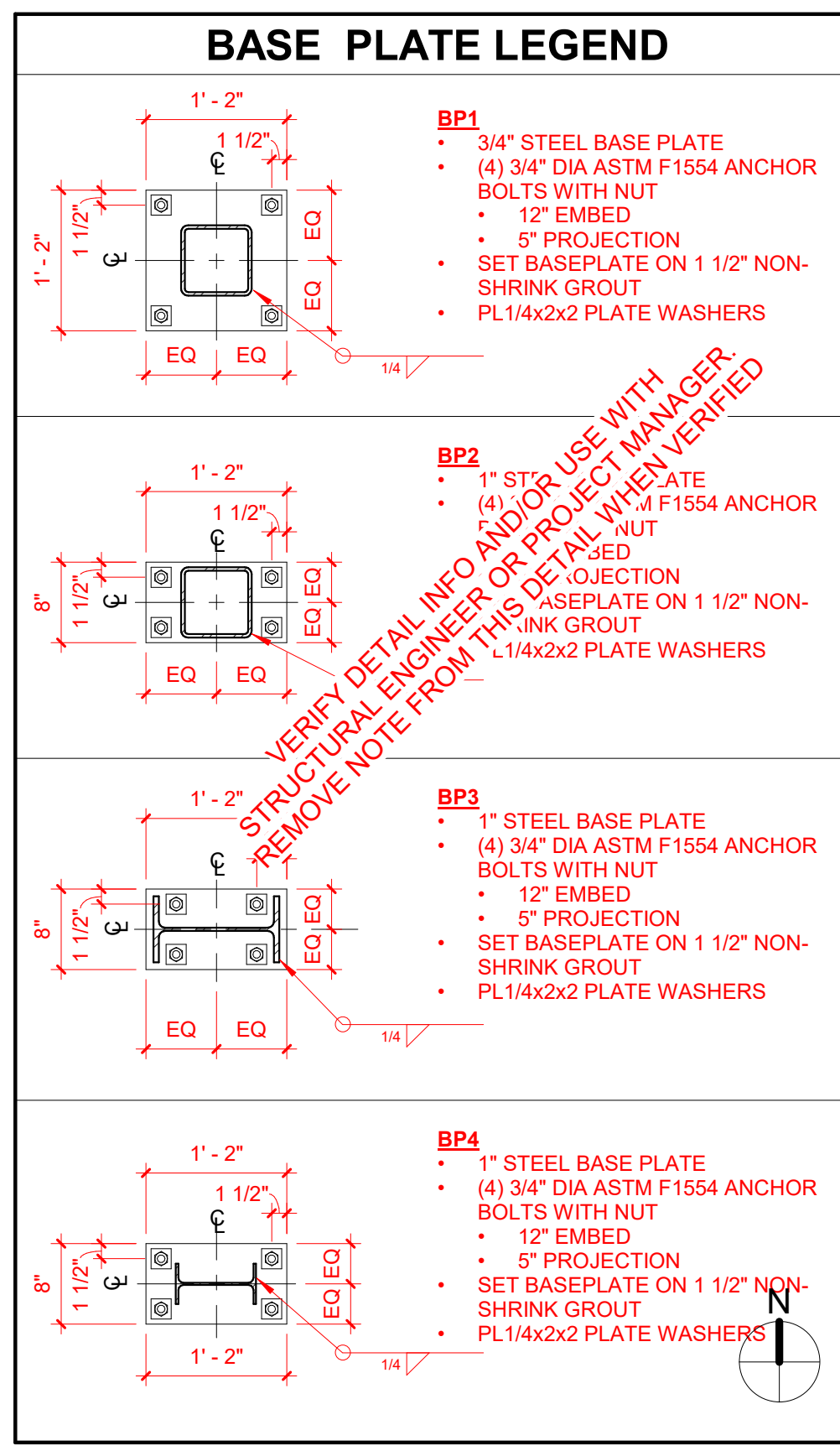
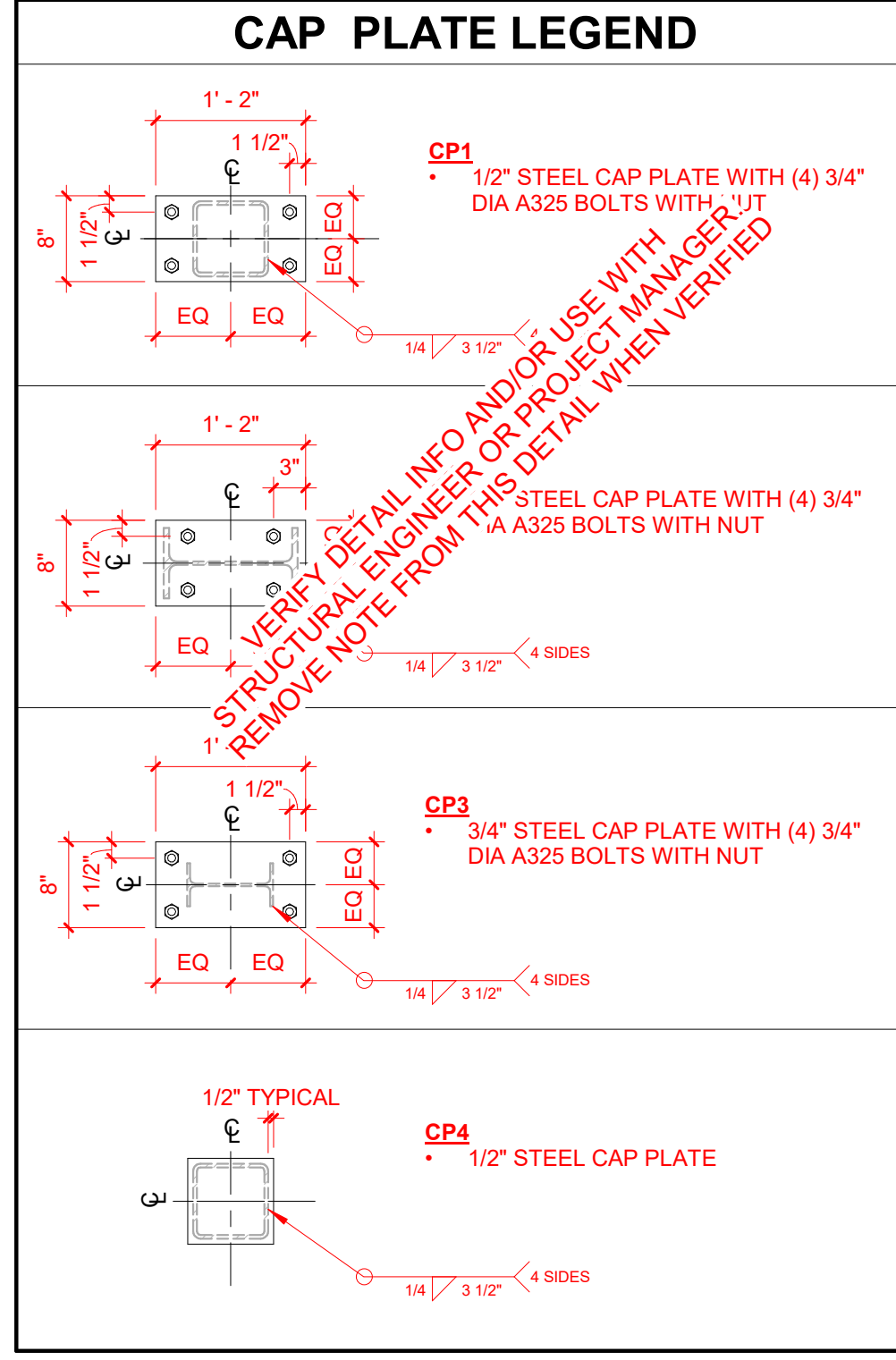
FOUNDATION WALL SCHEDULE			
MARK	WIDTH	REINFORCEMENT	COMMENTS
FDN1	0' - 8"		

FOOTING SCHEDULE					
MARK	LENGTH	WIDTH	THICKNESS	REINFORCEMENT	COMMENTS
WF1		1' - 6"	1' - 0"	(2) #5 BAR CONTINUOUS FOR ALL FOOTINGS	

PIER AND PILASTER SCHEDULE					
MARK	LENGTH	WIDTH	DIAMETER	REINFORCEMENT	COMMENTS

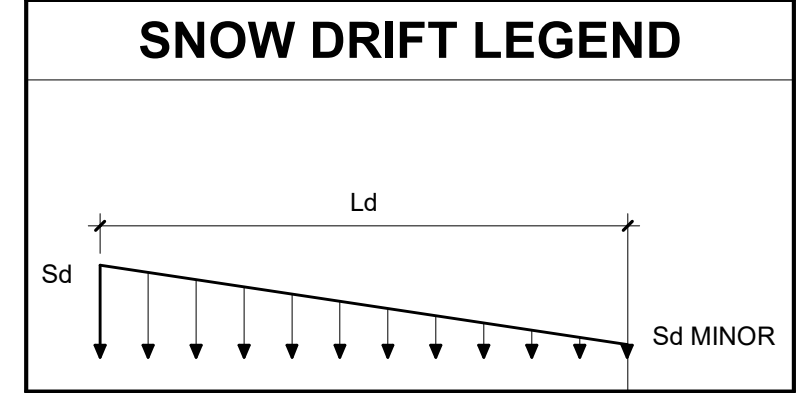
HEADER SCHEDULE				
MARK	MEMBER TYPES	STUDS		COMMENTS
		JACK	KING	
H1	(2) 2x12	1	1	
H2	(3) 2x10	1	1	

COLUMN SCHEDULE		
MARK	TYPE	DESCRIPTION



SNOW DRIFT SCHEDULE

MARK	DRIFT LOAD Sd (PSF)	DRIFT LOAD Sd (PSF) - MINOR	TAPERED TO ZERO AT Ld (FT)	BALANCED SNOW LOAD
------	---------------------	-----------------------------	----------------------------	--------------------



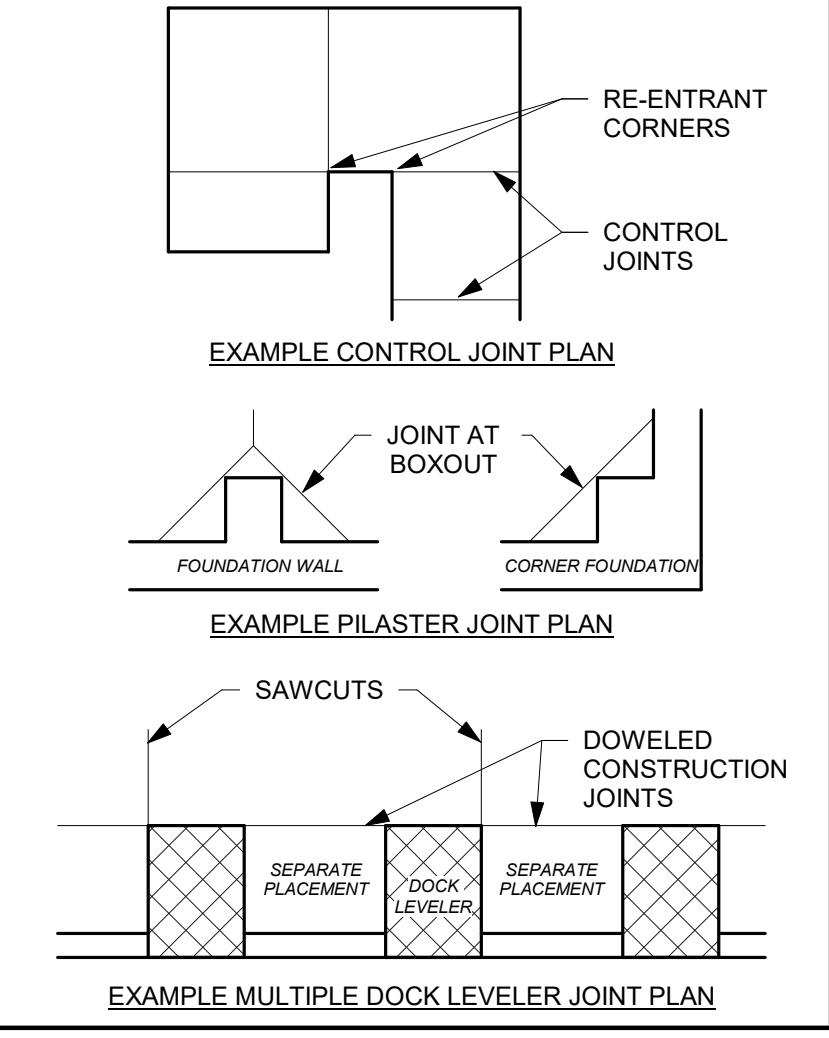
BEAM TO COLUMN MOMENT CONNECTION...

MARK	MOMENT*, K-FT (ASD)	SHEAR, K-FT (ASD)	BEAM AXIAL, K (ASD)	COL AXIAL**, K (ASD)
------	---------------------	-------------------	---------------------	----------------------

*POSITIVE MOMENTS INDICATE TOP FLANGE IN COMPRESSION AND BOTTOM FLANGE IN TENSION.
 **MAXIMUM AXIAL COLUMN LOAD (IN COMPRESSION) FOR THE CORRESPONDING DESIGN MOMENT.
 * MOMENT CONNECTION DETAIL NAMES CORRESPOND WITH THE MARK VALUE

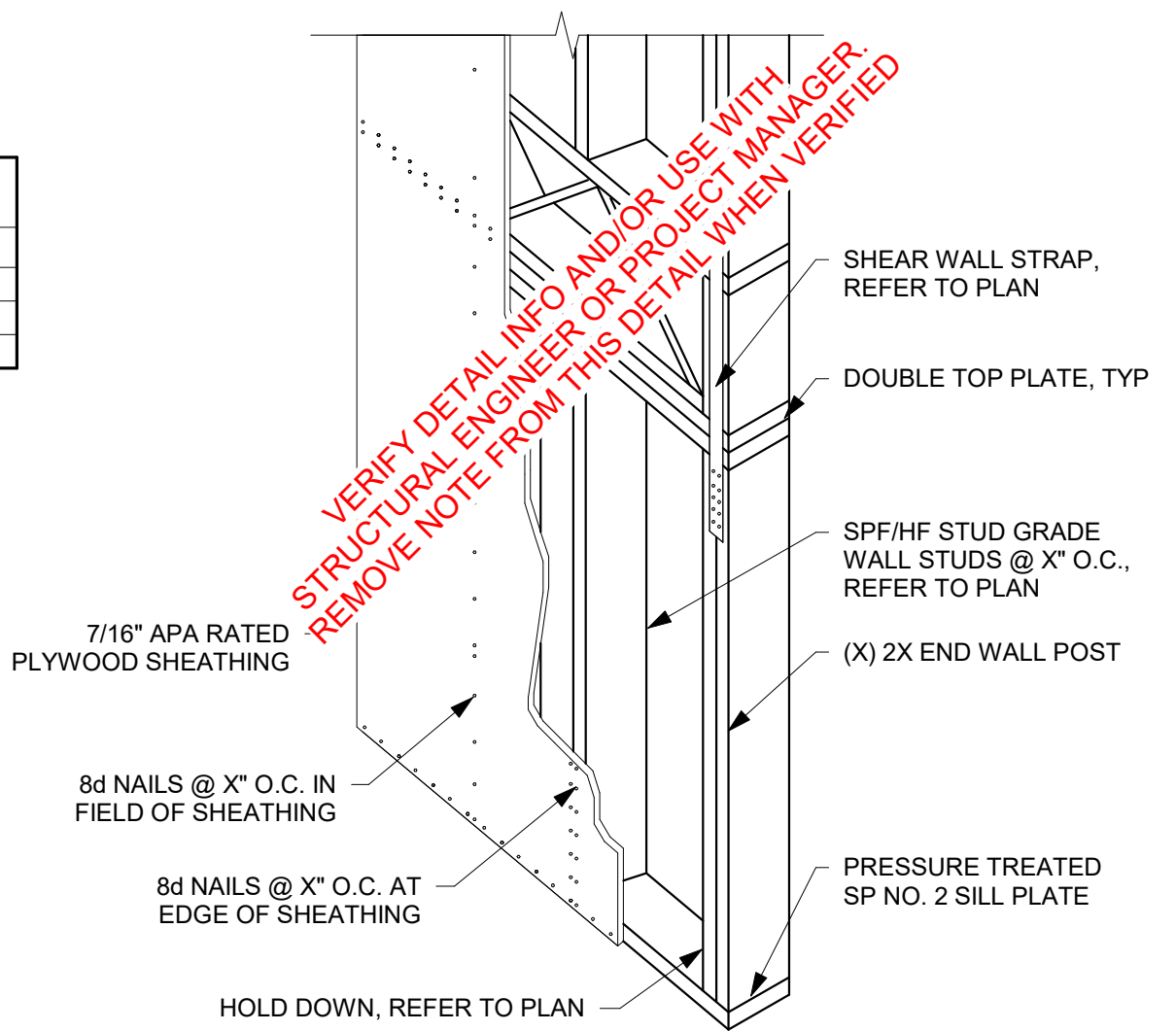
CONTROL JOINT PLACEMENT GUIDELINES

- SPACE JOINTS (IN FEET) NO MORE THAN 2-3 TIMES THE SLAB THICKNESS (IN INCHES). FOR EXAMPLE, A 4" SLAB SHOULD HAVE JOINTS 8' TO 12' APART.
- CUT JOINTS 25% OF THE DEPTH OF SLAB, MIN.
- CUT JOINTS USING GROOVING TOOLS IN FRESH CONCRETE OR SAW CUTTING JOINTS AS SOON AS THE CONCRETE IS HARD ENOUGH THAT THE EDGES ABUTTING THE CUT DON'T CHIP FROM THE SAW BLADE.
- IN HOT WEATHER, CONCRETE MIGHT CRACK IF JOINTS ARE NOT CUT WITHIN 6-12 HOURS AFTER FINISHING CONCRETE. PLAN ALTERNATE JOINT CUTTING EQUIPMENT ACCORDINGLY.
- WHERE POSSIBLE, PLACE JOINTS UNDER PROPOSED NON-LOAD-BEARING WALL LOCATIONS OR UNDER CARPET AREAS.
- MINIMIZE RE-ENTRANT CORNERS AND AVOID WHERE POSSIBLE.

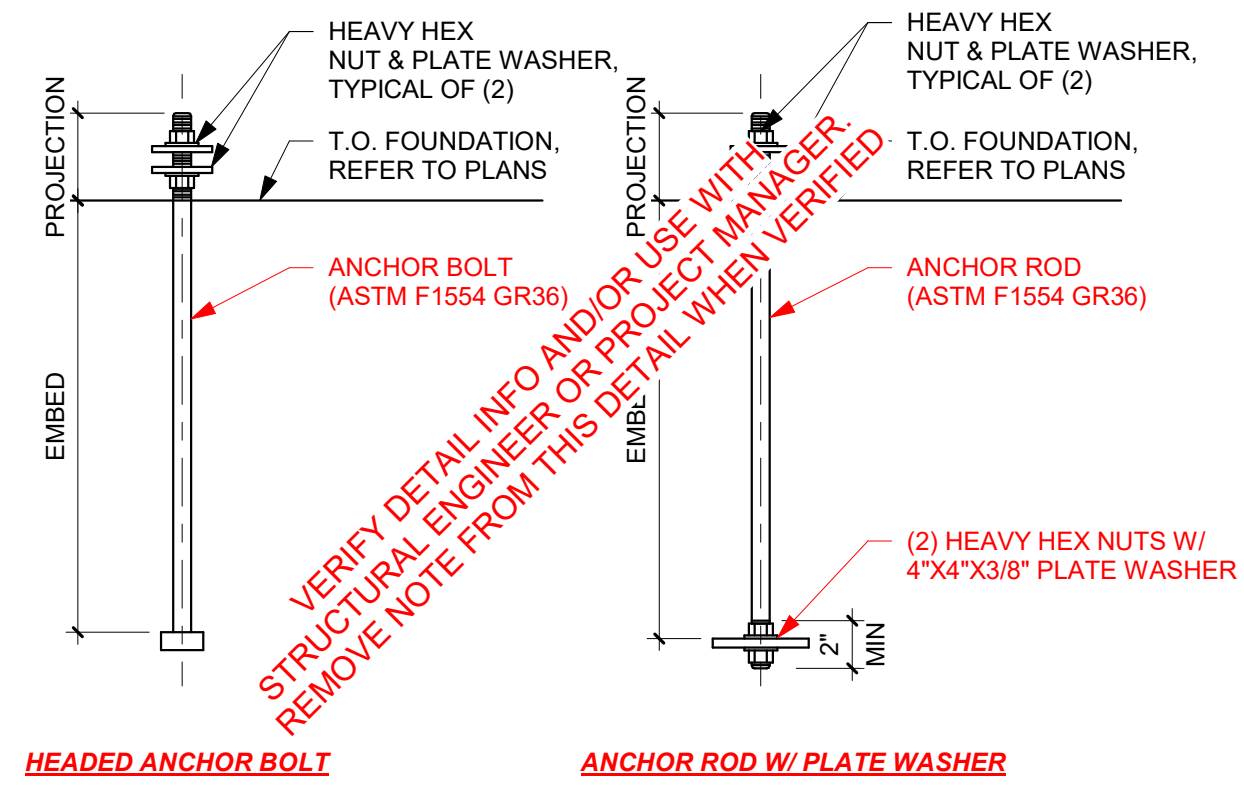


SHEAR WALL SCHEDULE

MARK	DESCRIPTION
SW-A	
SW-B	
SW-C	



1 TYPICAL SHEAR WALL ISOMETRIC
3/4" = 1'-0"



2 ANCHOR BOLT DETAIL
1 1/2" = 1'-0"



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PROJECT

LEGACY PARK APARTMENTS

NEENAH WISCONSIN

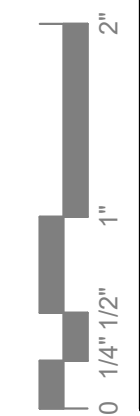
REVISION SCHEDULE		
DATE	DESCRIPTION	BY

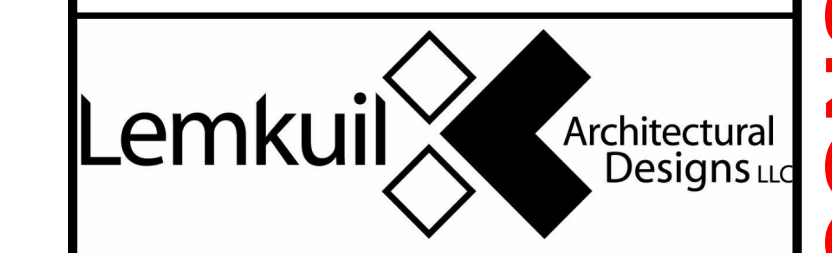
PROJECT NO.	23-28987
FILE NAME	
DRAWN BY	Author
DESIGNED BY	Designer
REVIEWED BY	Checker
ORIGINAL ISSUE DATE	MM/DD/YY
CLIENT PROJECT NO.	

TITLE	STRUCTURAL SCHEDULES
-------	-----------------------------

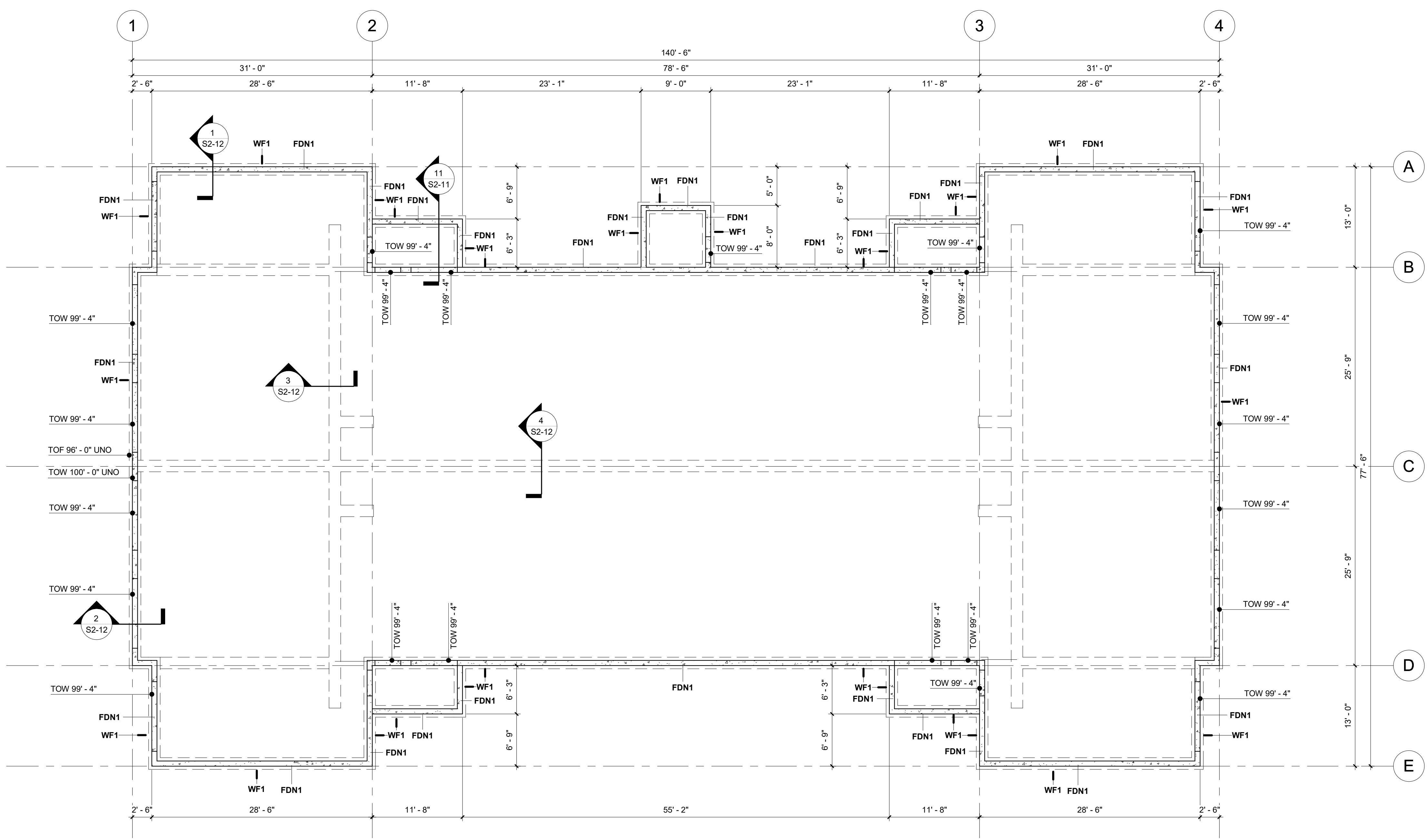
SHEET	S1-05
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PRELIMINARY NOT FOR CONSTRUCTION





PRELIMINARY NOT FOR CONSTRUCTION



1 FOUNDATION PLAN
1/8" = 1'-0"

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PROJECT

LEGACY PARK APARTMENTS

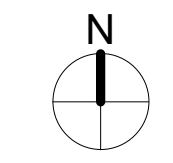
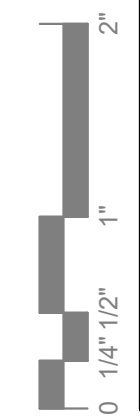
NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

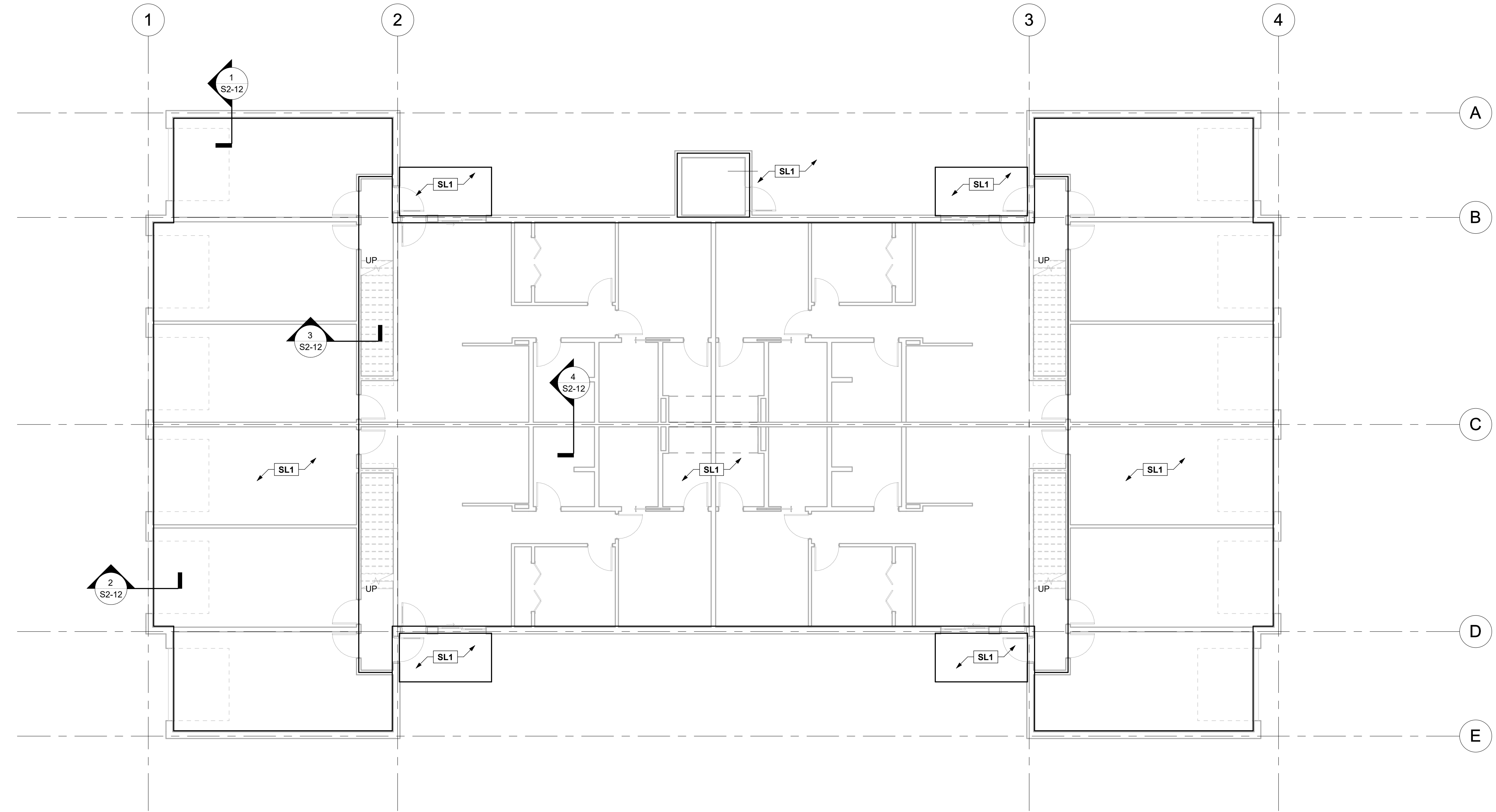
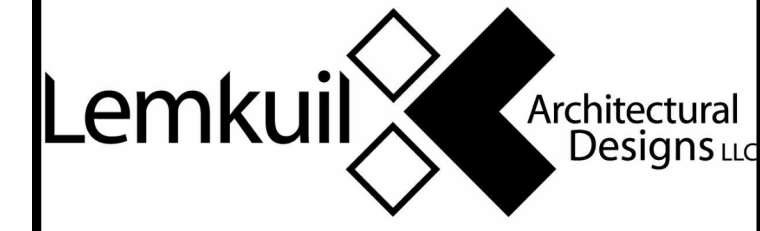
PROJECT NO.	23-28987
FILE NAME	
DRAWN BY	Author
DESIGNED BY	Designer
REVIEWED BY	Checker
ORIGINAL ISSUE DATE	MM/DD/YY
CLIENT PROJECT NO.	

TITLE
FOUNDATION PLAN

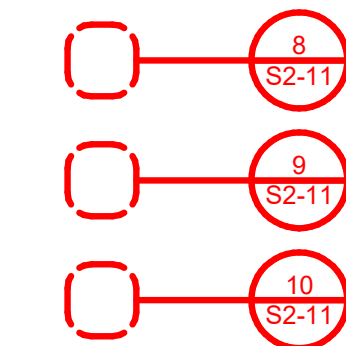
SHEET
S1-11



SHEET NOTES
 A. REFER TO FOUNDATION DETAILS FOR TYPICAL CONSTRUCTION JOINT AND CONTROL JOINT DETAILS.



VERIFY INFO AND/OR USE. REMOVE NOTE AND GRAPHIC OVERRIDES WHEN VERIFIED



1 FIRST FLOOR SLAB PLAN
 1/8" = 1'-0"

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PROJECT

LEGACY PARK APARTMENTS

NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

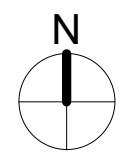
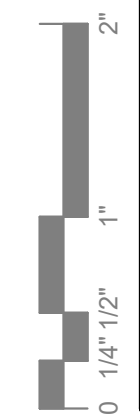
PROJECT NO.	23-28987
FILE NAME	
DRAWN BY	Author
DESIGNED BY	Designer
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ORIGINAL ISSUE DATE	MM/DD/YY
CLIENT PROJECT NO.	

TITLE

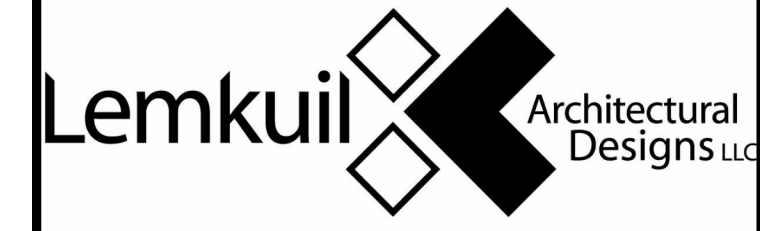
SLAB PLAN

SHEET

S1-31



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LEGACY PARK APARTMENTS

NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	23-28987
FILE NAME	
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REVIEWED BY	Checker
ORIGINAL ISSUE DATE	MM/DD/YY
CLIENT PROJECT NO.	

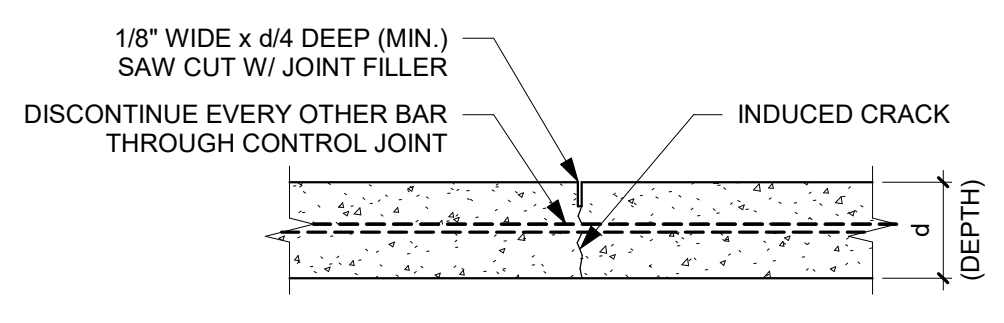
TITLE

FOUNDATION & SLAB DETAILS

SHEET

S2-11

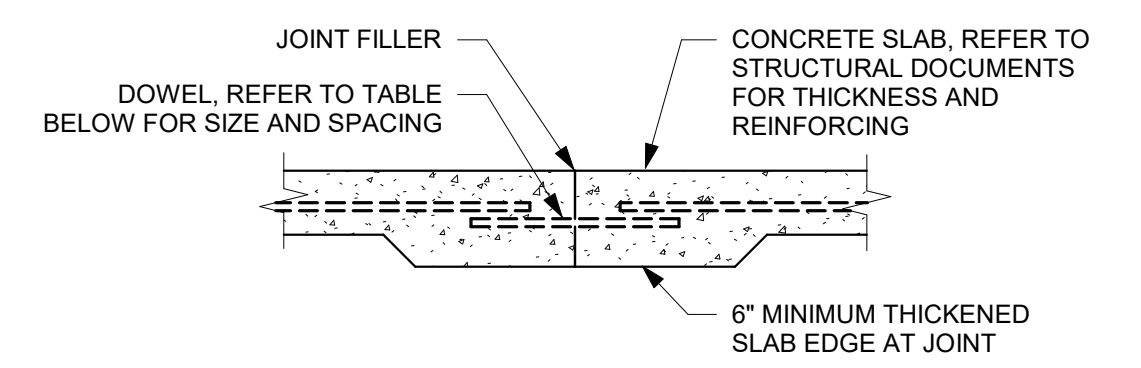
PRELIMINARY NOT FOR CONSTRUCTION



REINFORCED SLAB DEPTH	PREFERRED SPACING	CONTROL JOINT DEPTH (MIN.)
4"	8' TO 12'	1"
5"	10' TO 15'	1.25"
6"	12' TO 18'	1.5"
7"	14' TO 21'	1.75"
≥ 8"	16' TO 24'	2"

REFER TO CONTROL JOINT PLACEMENT GUIDE FOR ADDITIONAL CONTROL JOINT INFORMATION.

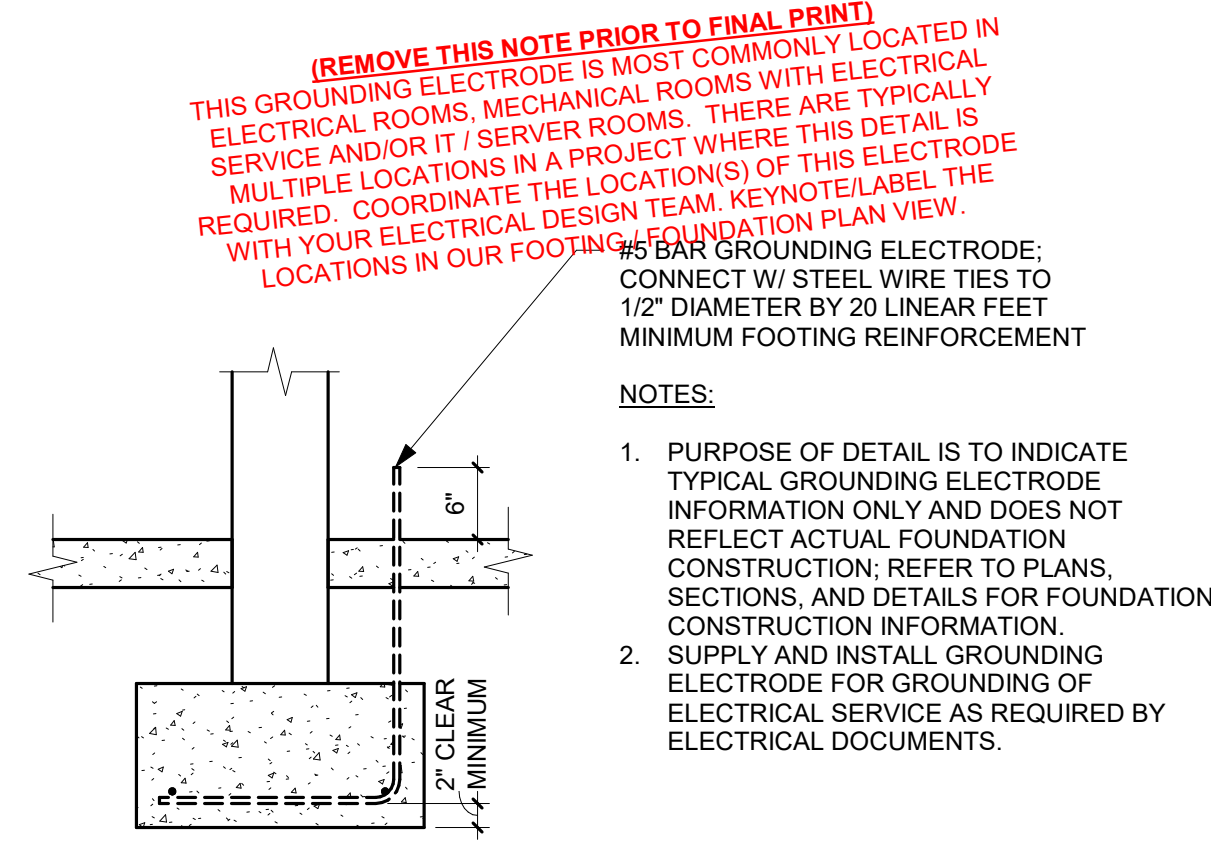
VERIFY DETAIL INFO AND/OR USE WITH STRUCTURAL ENGINEER OR PROJECT MANAGER. REMOVE NOTE FROM THIS DETAIL WHEN VERIFIED.



SLAB DEPTH	DOWEL DIMENSIONS			DOWEL SPACING (CENTER-TO-CENTER)		
	ROUND	SQUARE	PLATE DOWEL	ROUND	SQUARE	PLATE DOWEL
5" TO 6"	3/4"Ø x 10"	3/4" x 10"	M/R*	12"	14"	18"
7" TO 8"	1"Ø x 13"	1" x 13"	M/R*	12"	14"	18"
9" TO 11"	1 1/4"Ø x 15"	1 1/4" x 15"	M/R*	12"	12"	18"

*M/R = MANUFACTURER'S RECOMMENDATIONS. BECAUSE OF THE VARIOUS PLATE DOWEL GEOMETRIES AND INSTALLATION DEVICES AVAILABLE FROM DIFFERENT MANUFACTURERS, THE MANUFACTURERS SHOULD BE CONSULTED FOR THEIR RECOMMENDED PLATE DOWEL SIZE.

VERIFY DETAIL INFO AND/OR USE WITH STRUCTURAL ENGINEER OR PROJECT MANAGER. REMOVE NOTE FROM THIS DETAIL WHEN VERIFIED.



REMOVE THIS NOTE PRIOR TO FINAL PRINT. THIS GROUNDING ELECTRODE IS MOST COMMONLY LOCATED IN ELECTRICAL ROOMS, MECHANICAL ROOMS. THERE ARE TYPICALLY SERVICE AND/OR IT / SERVER ROOMS. THERE ARE TYPICALLY MULTIPLE LOCATIONS IN A PROJECT WHERE THIS DETAIL IS REQUIRED. COORDINATE THE LOCATION(S) OF THIS ELECTRODE WITH YOUR ELECTRICAL DESIGN TEAM. KEYNOTE/LABEL THE LOCATIONS IN OUR FOOTING FOUNDATION PLAN VIEW.

NOTES:

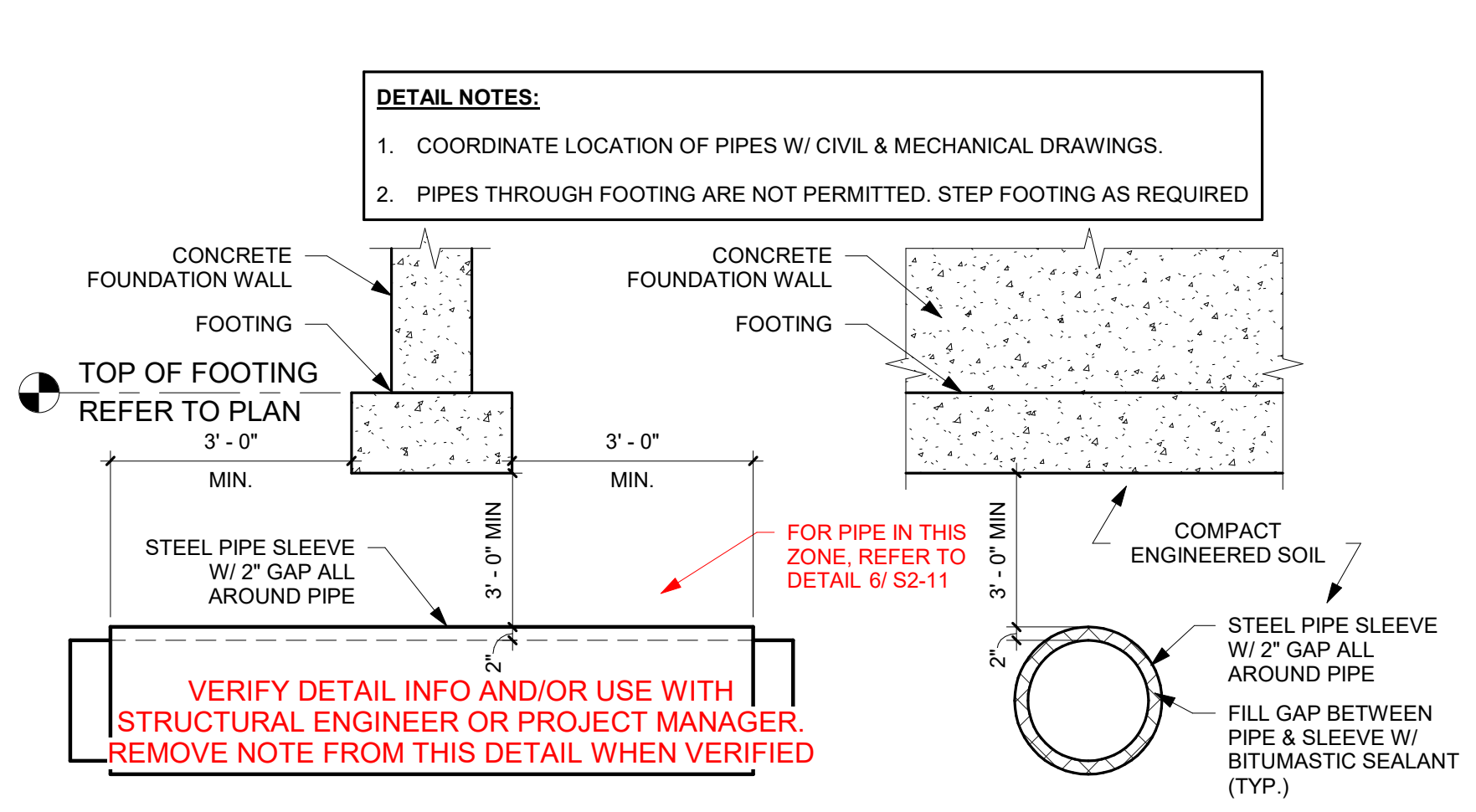
- PURPOSE OF DETAIL IS TO INDICATE TYPICAL GROUNDING ELECTRODE INFORMATION ONLY AND DOES NOT REFLECT ACTUAL FOUNDATION CONSTRUCTION; REFER TO PLANS, SECTIONS, AND DETAILS FOR FOUNDATION CONSTRUCTION INFORMATION.
- SUPPLY AND INSTALL GROUNDING ELECTRODE FOR GROUNDING OF ELECTRICAL SERVICE AS REQUIRED BY ELECTRICAL DOCUMENTS.

VERIFY DETAIL INFO AND/OR USE WITH STRUCTURAL ENGINEER OR PROJECT MANAGER. REMOVE NOTE FROM THIS DETAIL WHEN VERIFIED.

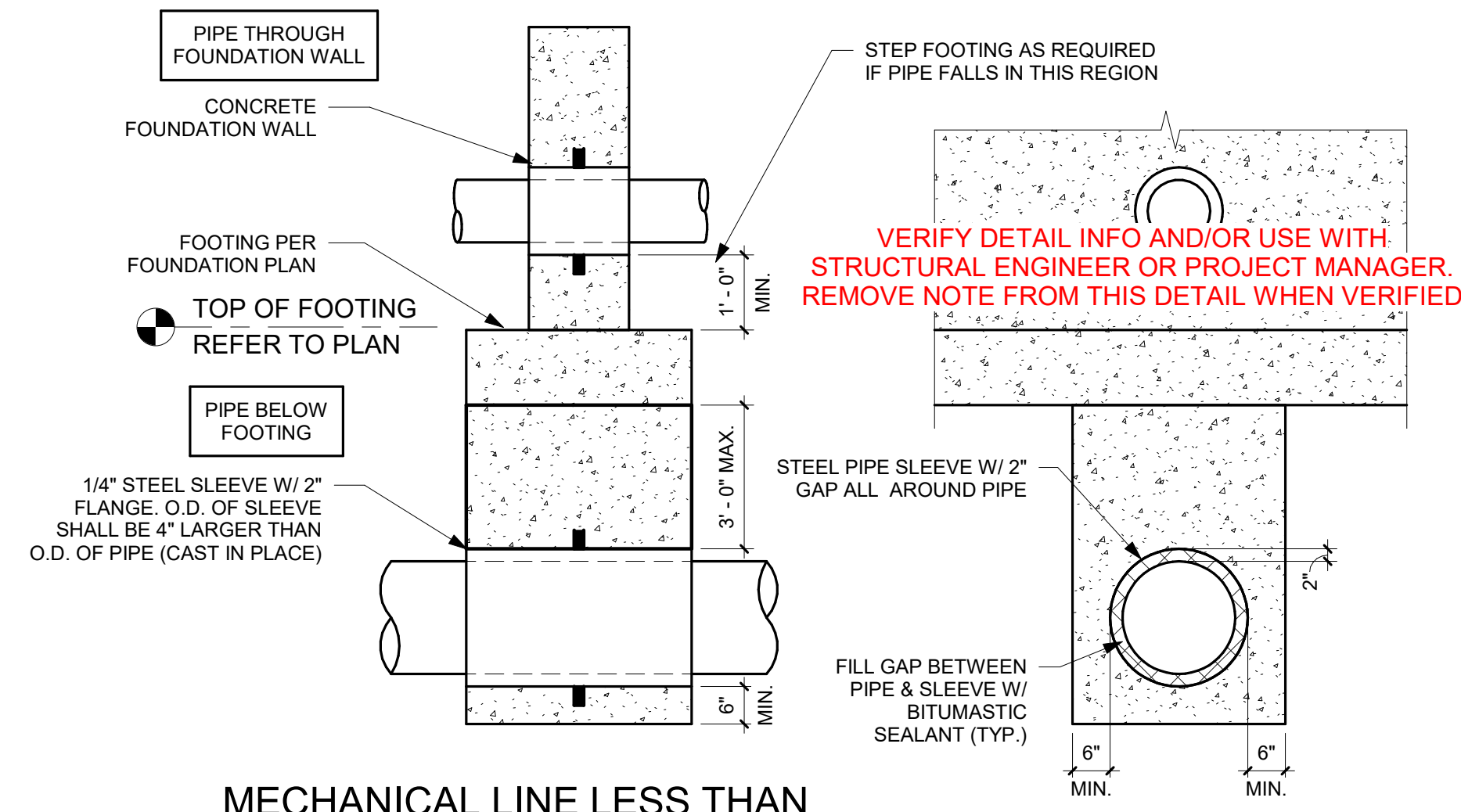
1 TYPICAL CONTROL JOINT DETAIL
1" = 1'-0"

2 TYPICAL CONSTRUCTION JOINT DETAIL
1" = 1'-0"

3 GROUNDING ELECTRODE DETAIL
3/4" = 1'-0"

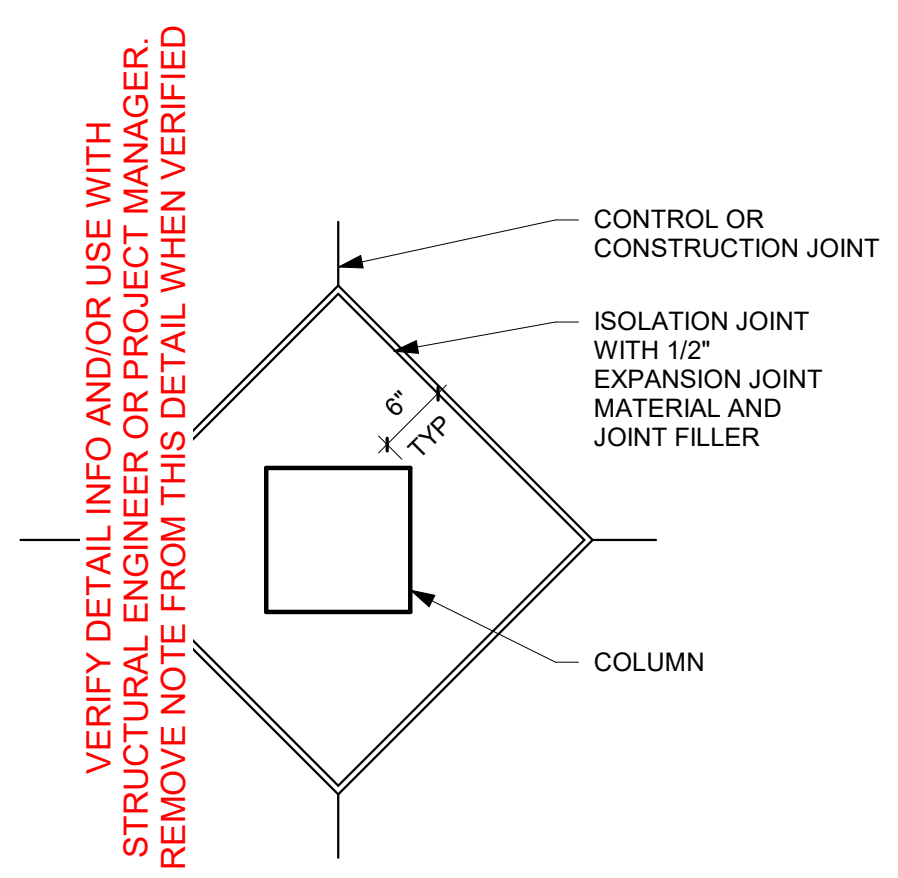


5 MECHANICAL LINE AT OR GREATER THAN 3'-0" BENEATH FOOTING DETAIL
1/2" = 1'-0"

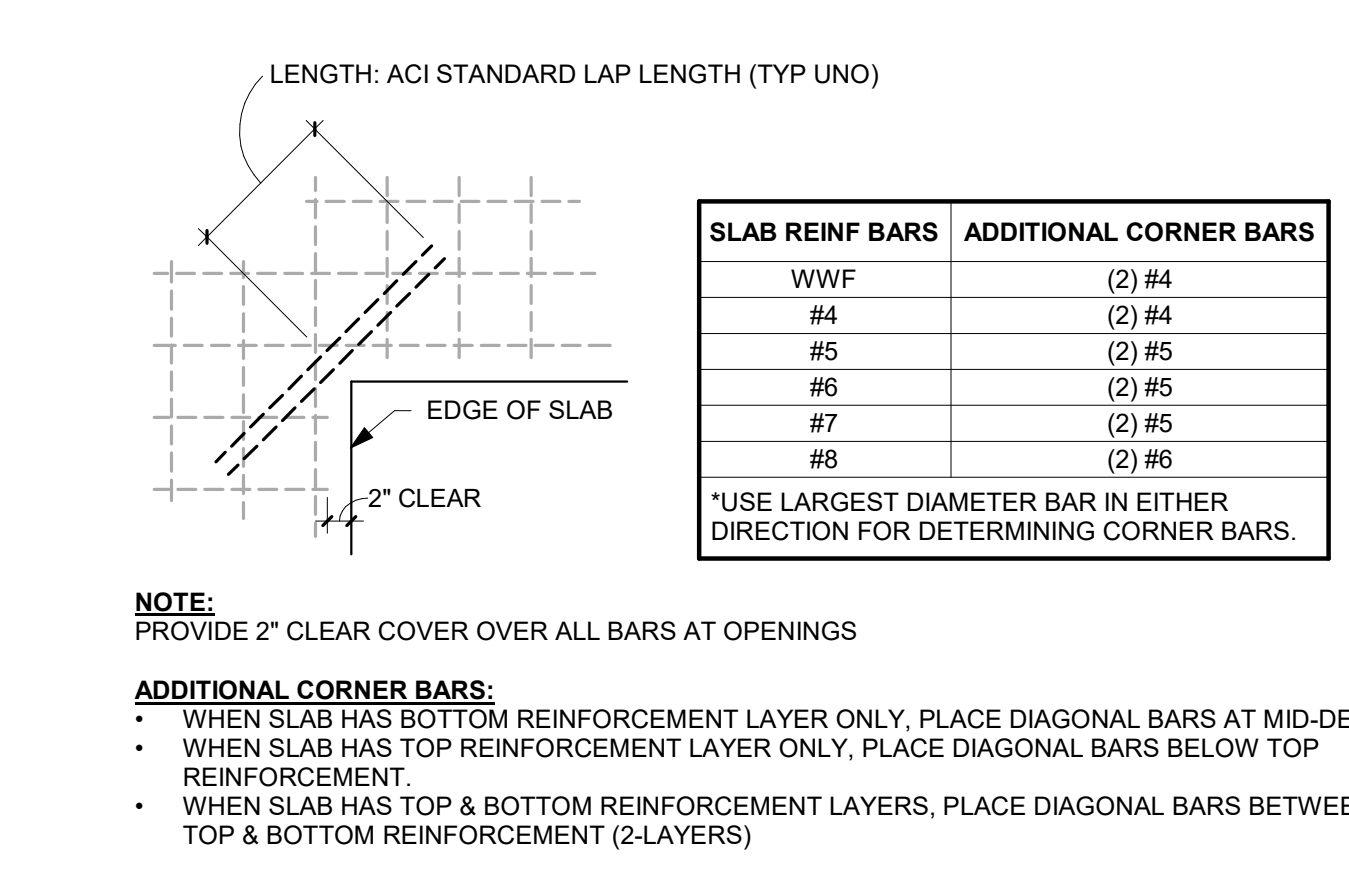


6 MECHANICAL LINE LESS THAN 3'-0" BENEATH FOOTING DETAIL
1/2" = 1'-0"

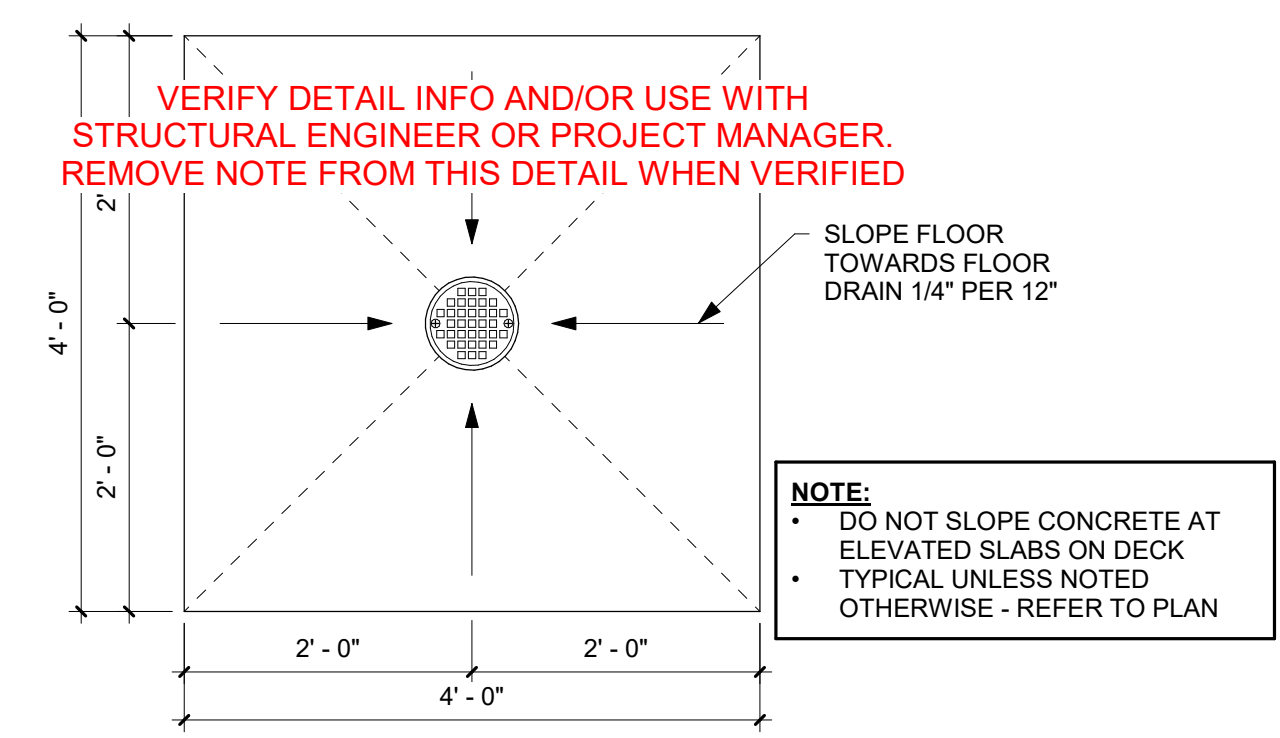
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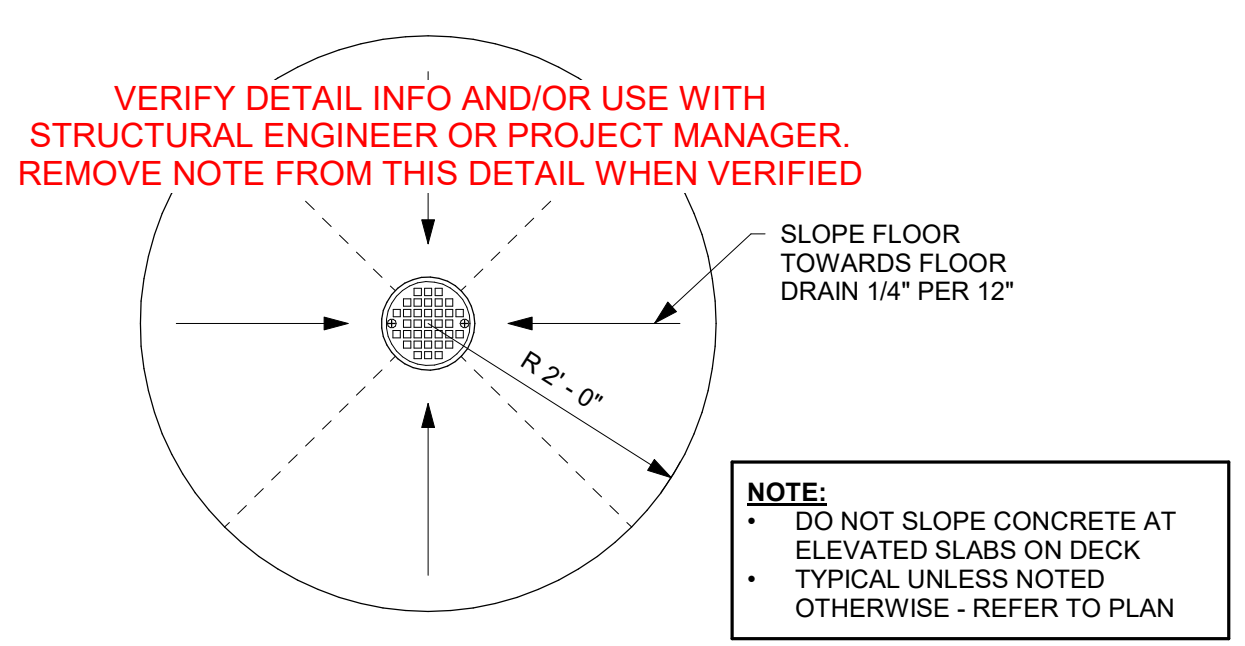
8 FLOOR/COLUMN ISOLATION JOINT DETAIL
3/4" = 1'-0"



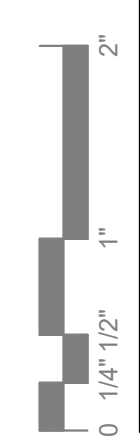
9 SLAB REENTRANT CORNER DETAIL
3/4" = 1'-0"

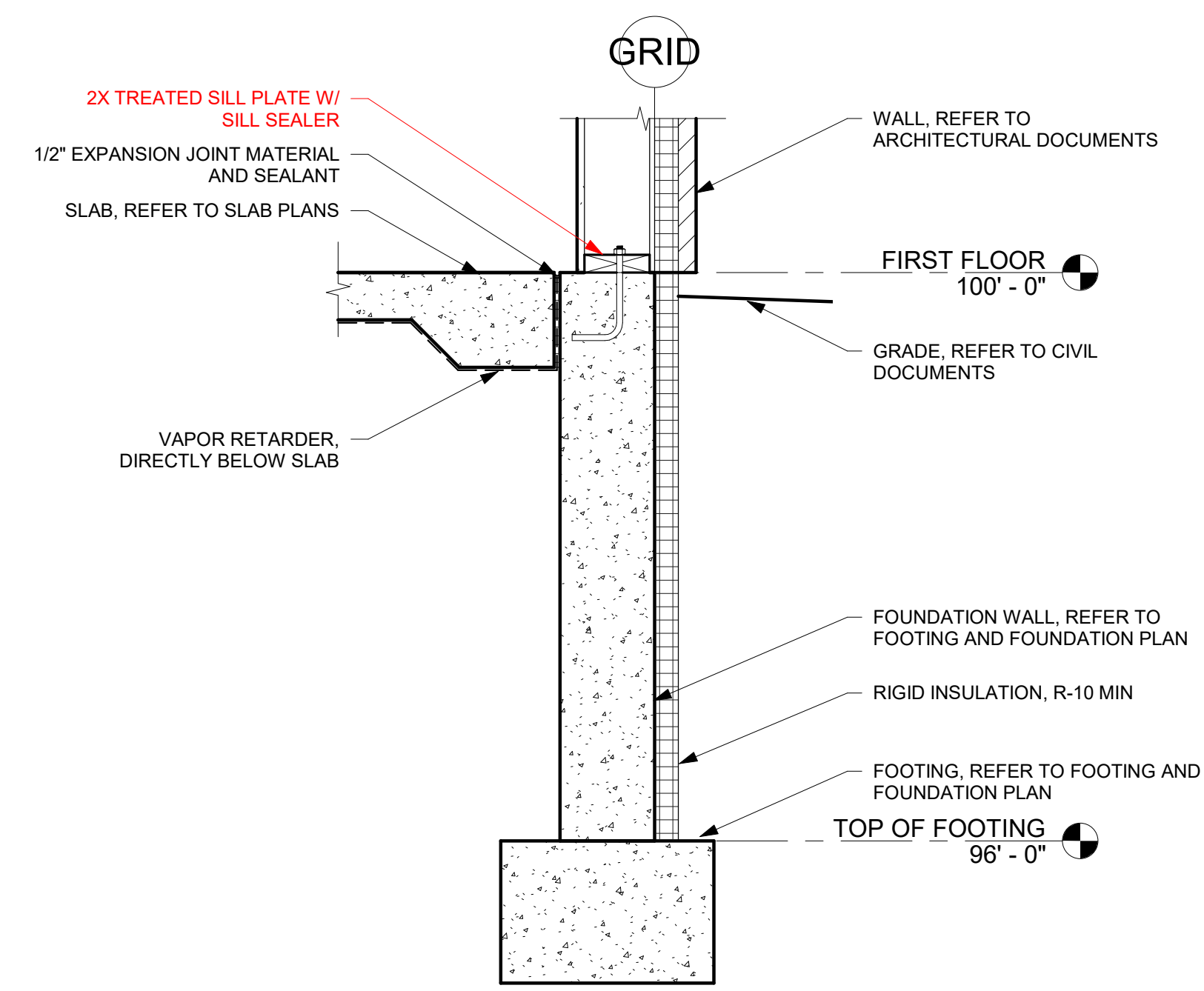
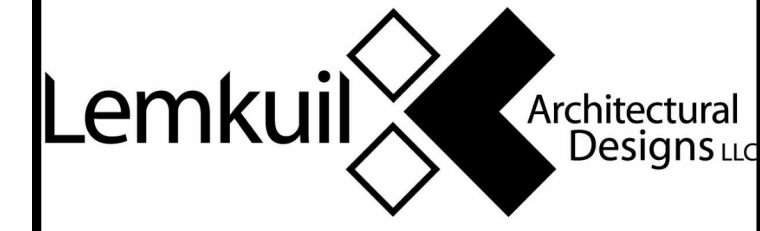


10 TYPICAL SLAB DEPRESSION AT FLOOR DRAIN
3/4" = 1'-0"

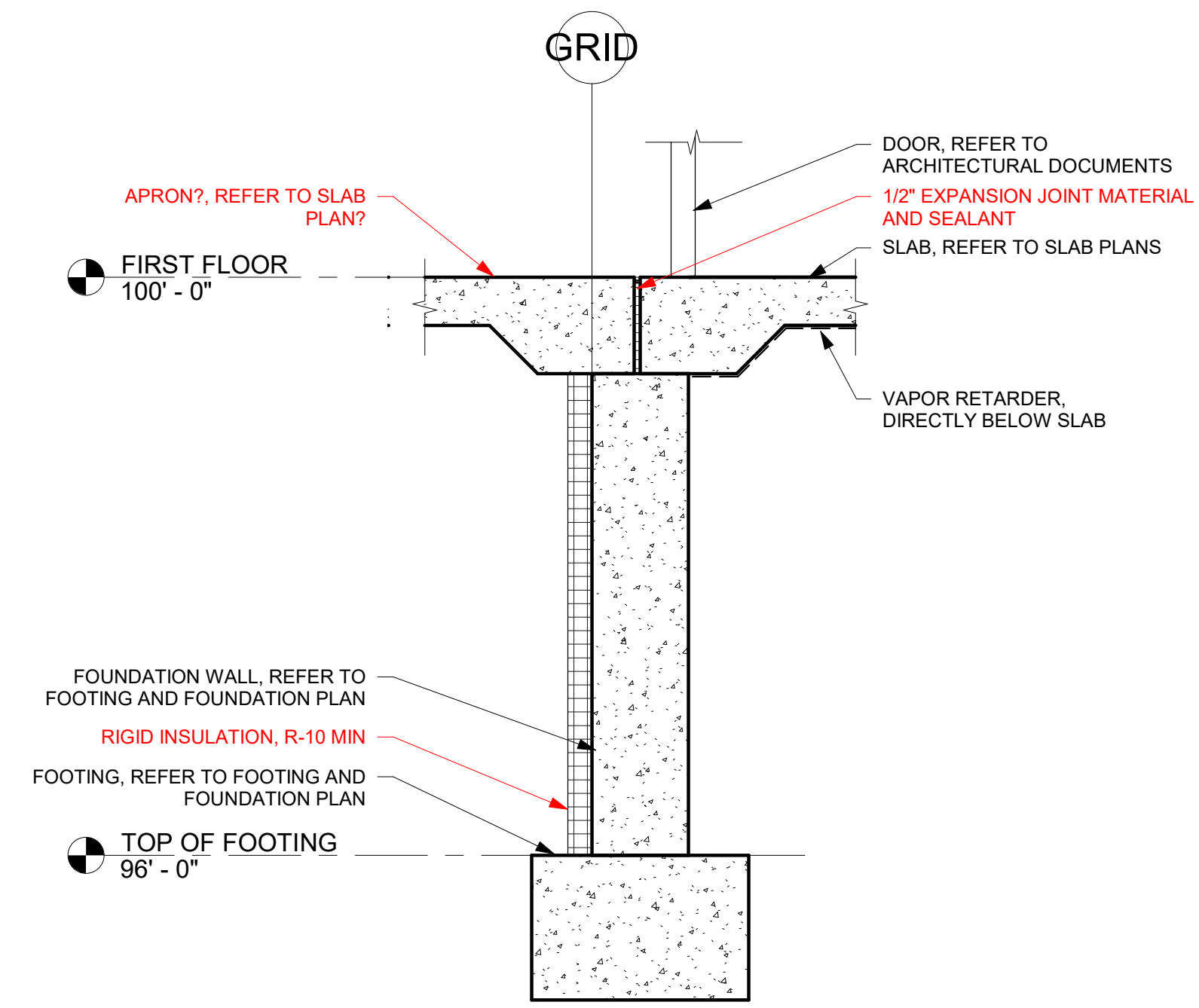


11 TYPICAL CIP STOOP DETAIL
3/4" = 1'-0"

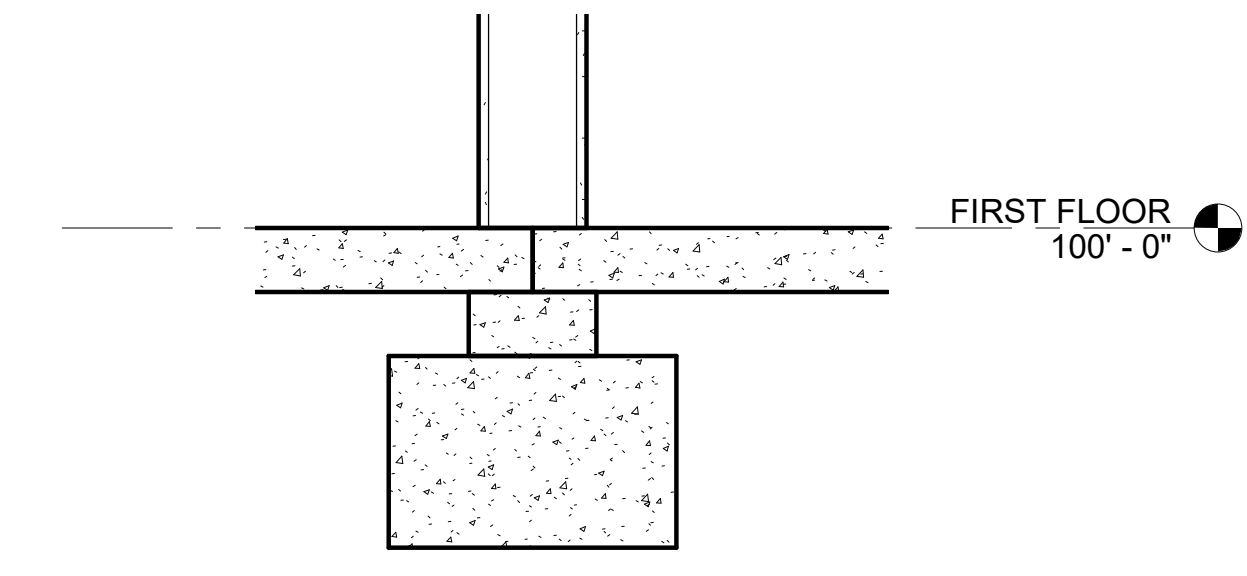




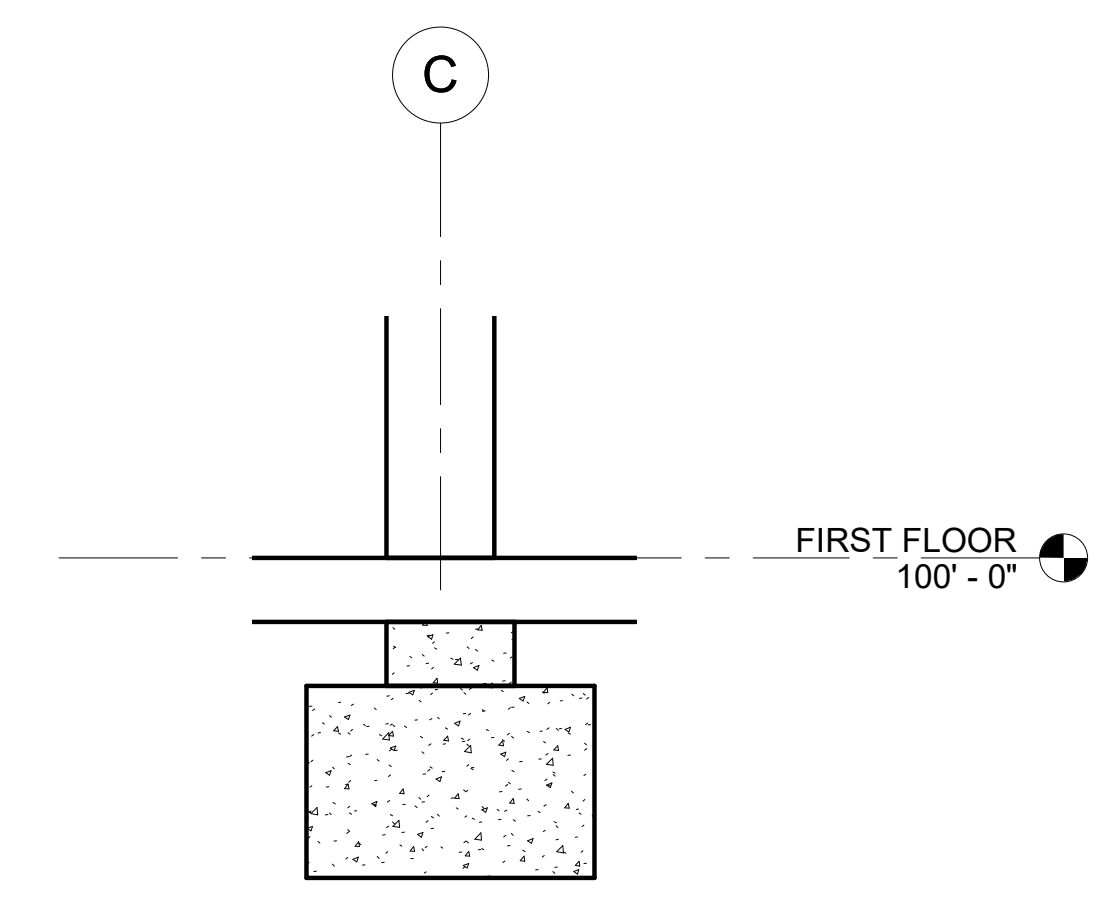
1 TYP FOUNDATION DETAIL
1" = 1'-0"



2 FOUNDATION DETAIL AT GARAGE DOOR
1" = 1'-0"



3 INT FOUNDATION DETAIL
1" = 1'-0"



4 INT FOUNDATION DETAIL
1" = 1'-0"

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PROJECT

LEGACY PARK APARTMENTS

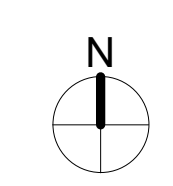
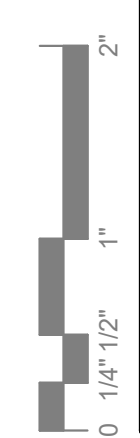
NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

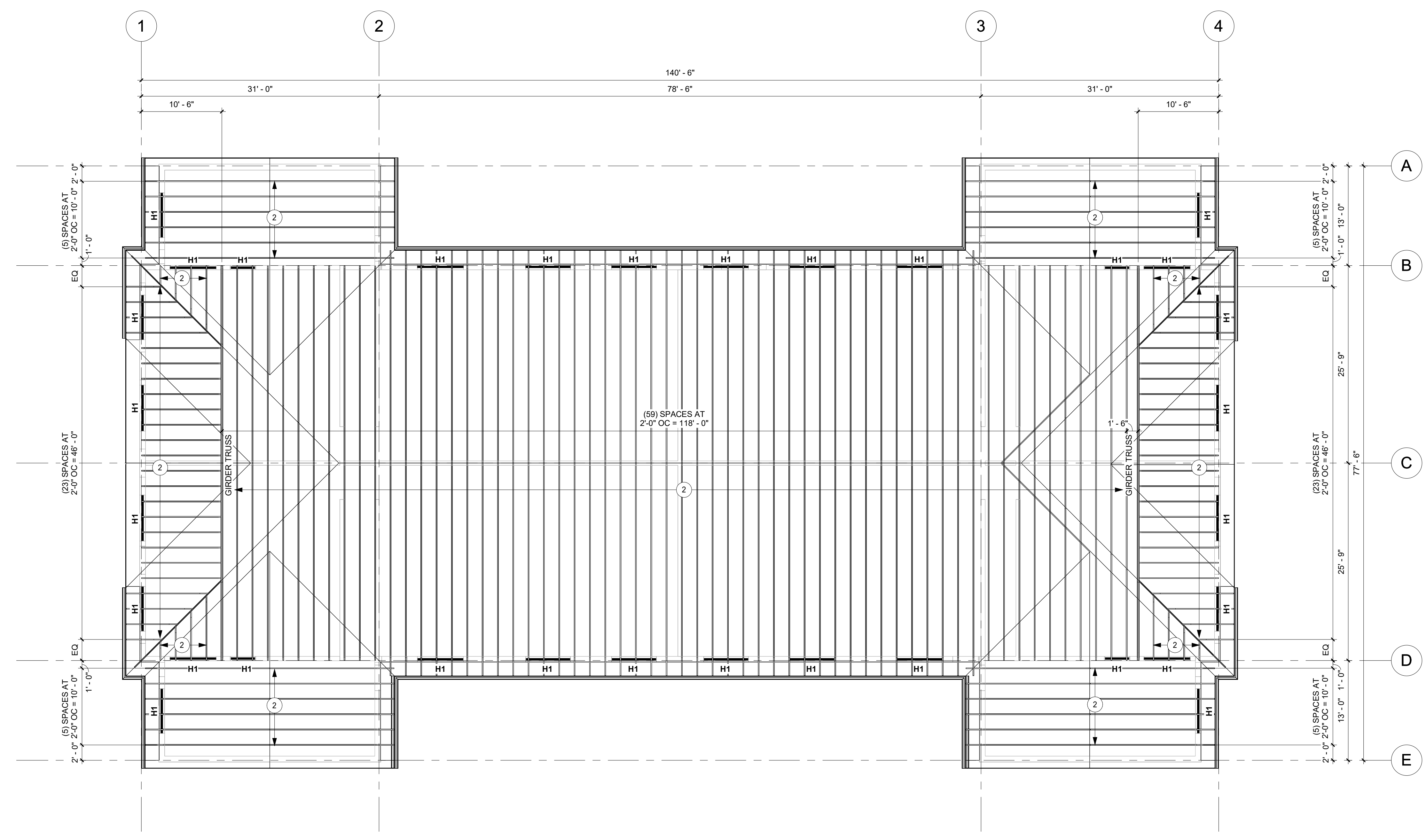
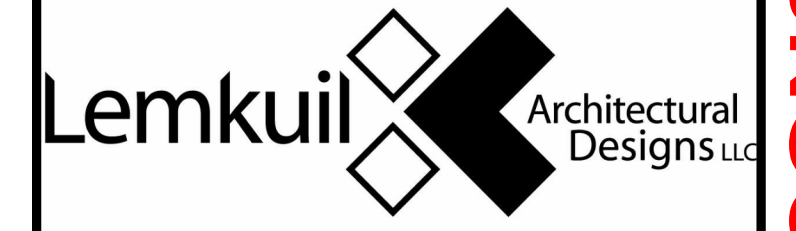
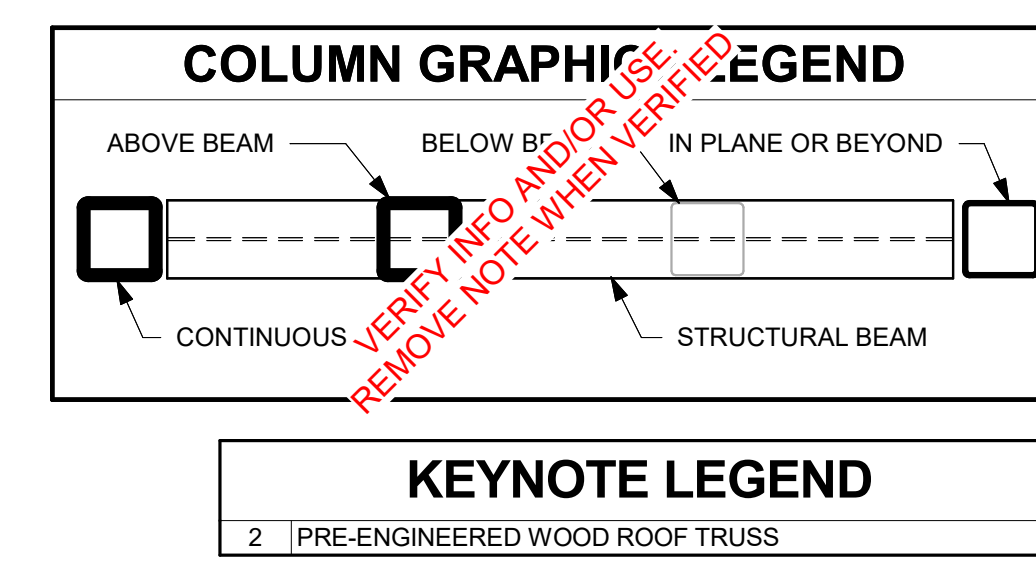
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FILE NAME	
DRAWN BY	Author
DESIGNED BY	Designer
REVIEWED BY	Checker
ORIGINAL ISSUE DATE	MM/DD/YY
CLIENT PROJECT NO.	

TITLE
FOUNDATION DETAILS

SHEET
S2-12



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1 ROOF FRAMING PLAN
1/8" = 1'-0"

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PROJECT

LEGACY PARK APARTMENTS

NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

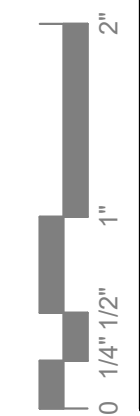
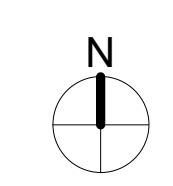
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FILE NAME	
DRAWN BY	Author
DESIGNED BY	Designer
REVIEWED BY	Checker
ORIGINAL ISSUE DATE	MM/DD/YY
CLIENT PROJECT NO.	

TITLE

ROOF FRAMING PLAN

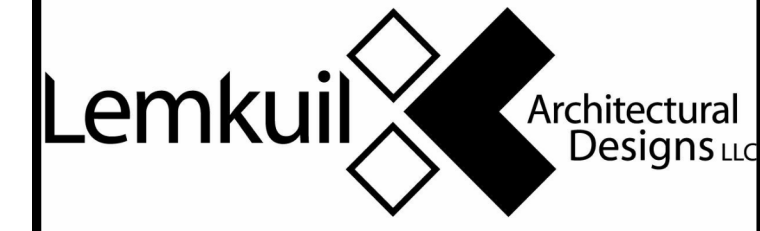
SHEET

S4-11



PRELIMINARY NOT FOR CONSTRUCTION

SHEET NOTES
 A. UNO REFER TO ARCHITECTURAL DOCUMENTS FOR WALL EXTENTS



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PROJECT

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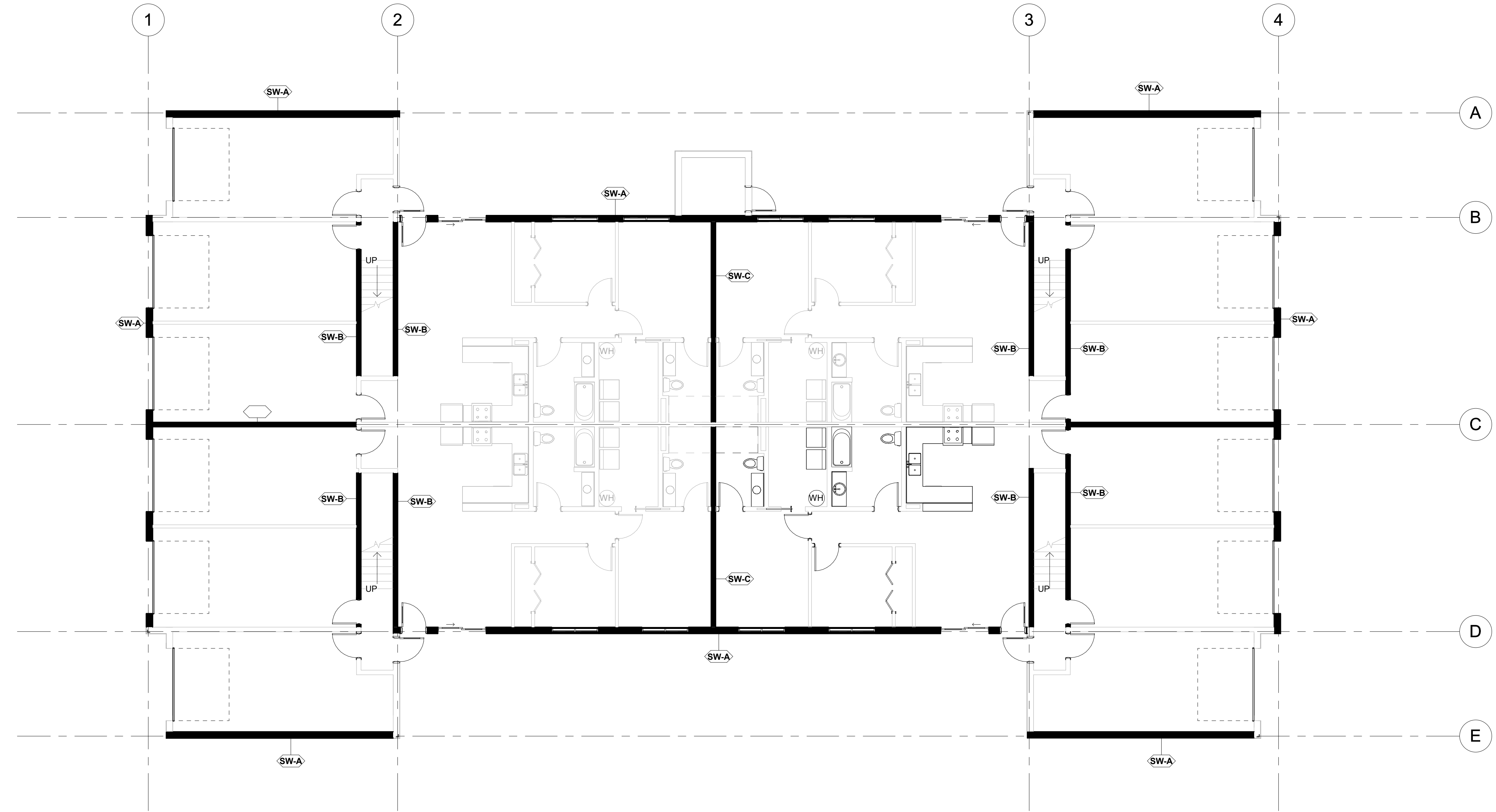
NEENAH WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

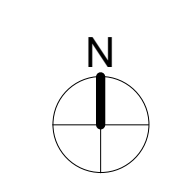
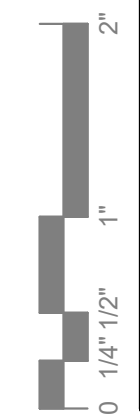
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FILE NAME	
DRAWN BY	Author
DESIGNED BY	Designer
REVIEWED BY	Checker
ORIGINAL ISSUE DATE	MM/DD/YY
CLIENT PROJECT NO.	

TITLE
FIRST FLOOR SHEAR WALL PLAN

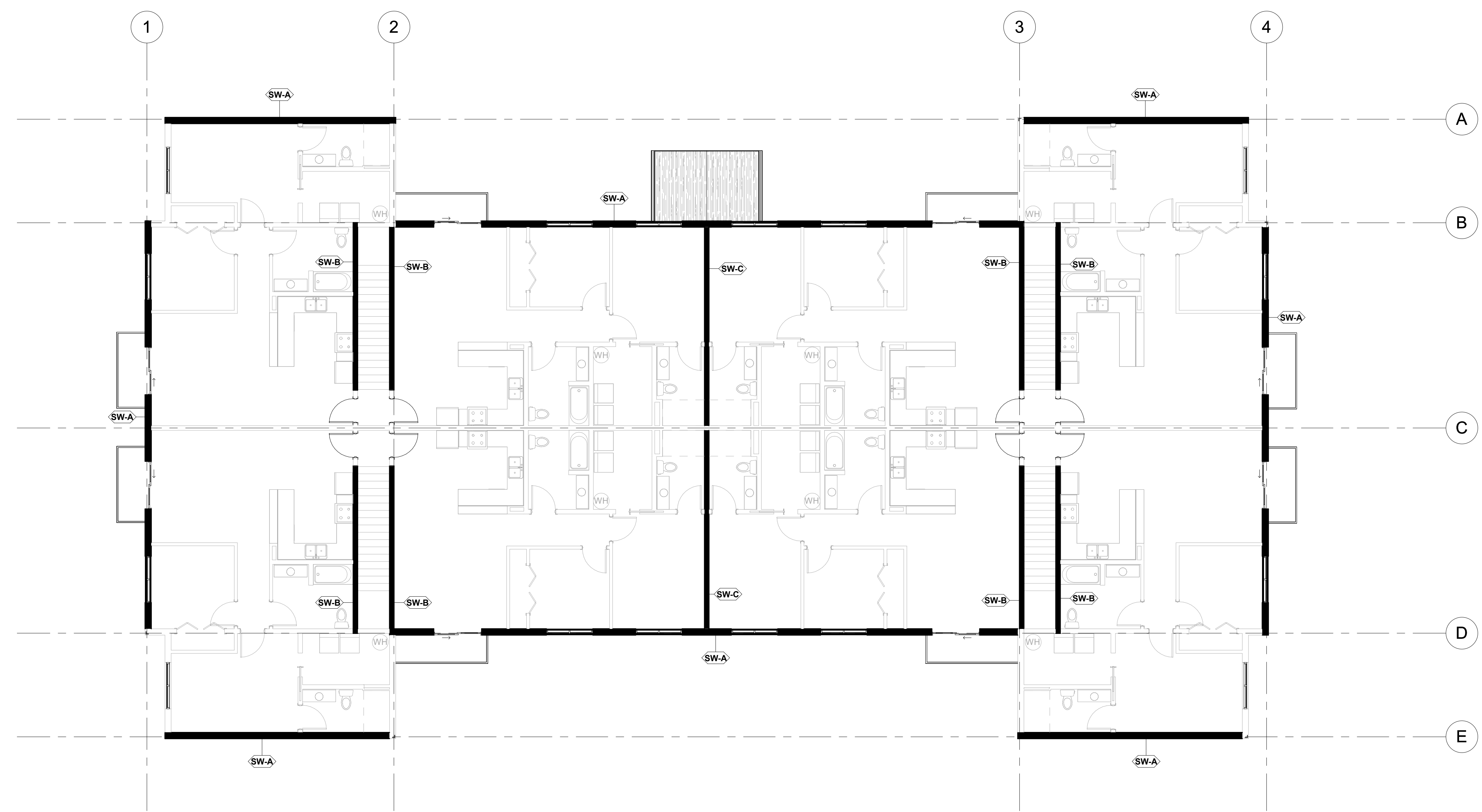
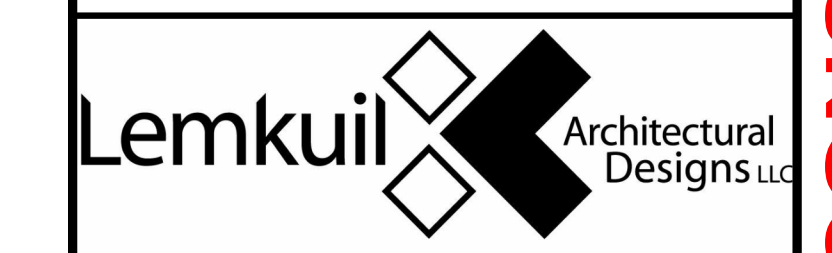
SHEET
S5-01



1 FIRST FLOOR SHEAR WALL PLAN
 1/8" = 1'-0"



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1 SECOND FLOOR SHEAR WALL PLAN
1/8" = 1'-0"

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LEGACY PARK APARTMENTS

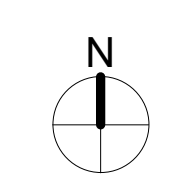
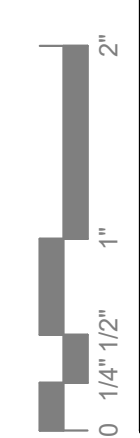
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PROJECT NO.	23-28987
FILE NAME	
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TITLE
SECOND FLOOR SHEAR WALL PLAN

SHEET
S5-02



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Aztec White

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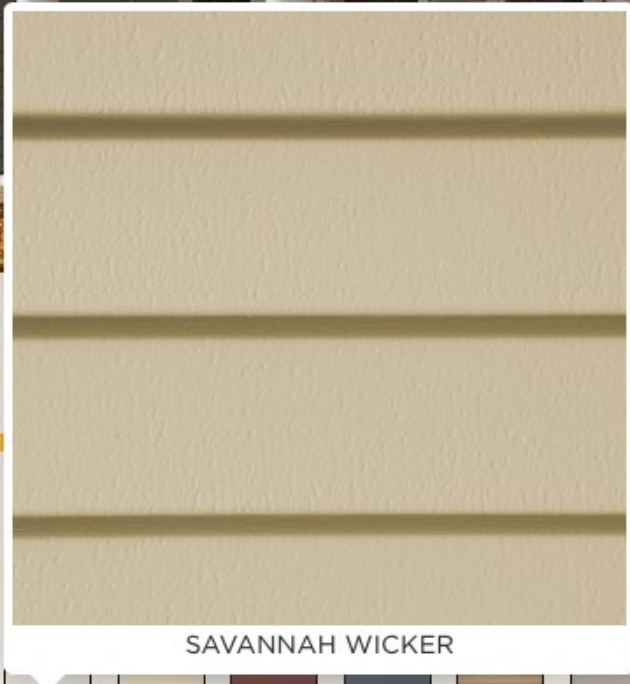
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Product Information:

Brand: Sioux City Brick

Type: Facebrick

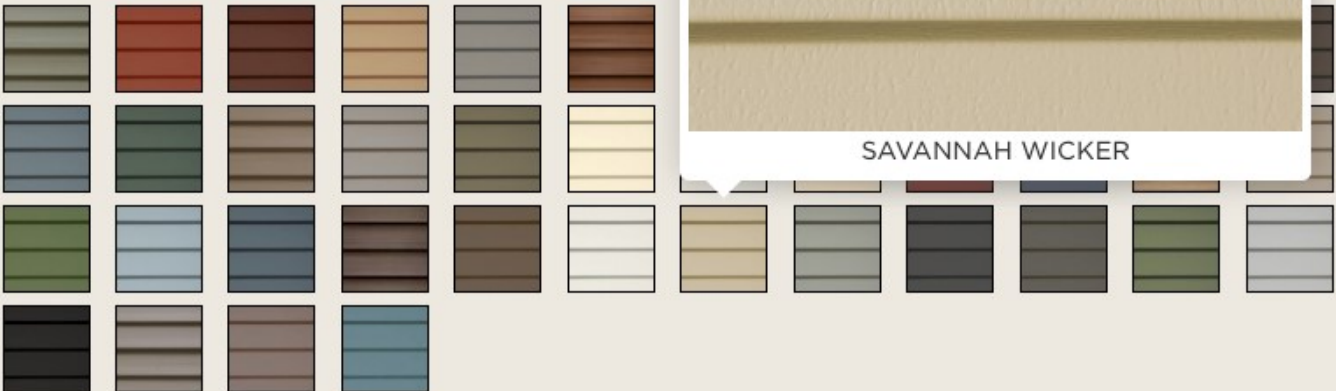


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LEGACY PARK APARTMENTS LOTS 4 & 5 OF SCHOLAR RIDGE ESTATES TOWN OF CLAYTON

WINNEBAGO COUNTY, WISCONSIN
MCM # C1069-09-23-00344



DESIGN CONTACT

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ZACH LAABS
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NEENAH, WI 54956
(920) 751-4200
zlaabs@mcmgrp.com

OWNER CONTACT

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NEENAH, WI 54956
(920) 428-9451
derek@groundedpropertygroup.com

TOWN OF CLAYTON CONTACT

TOWN OF CLAYTON (TOWN & SANITARY UTILITY)
KELLY WISNEFSKE, ADMINISTRATOR
8348 CTH T
LARSEN, WI 54947
(920) 836-2007
administrator@townofclayton.net

Professional Engineer Seal: BRAD D. WERNER, E-27972, KAUKAUNA, WIS. Includes handwritten signature and date 6/23/22.

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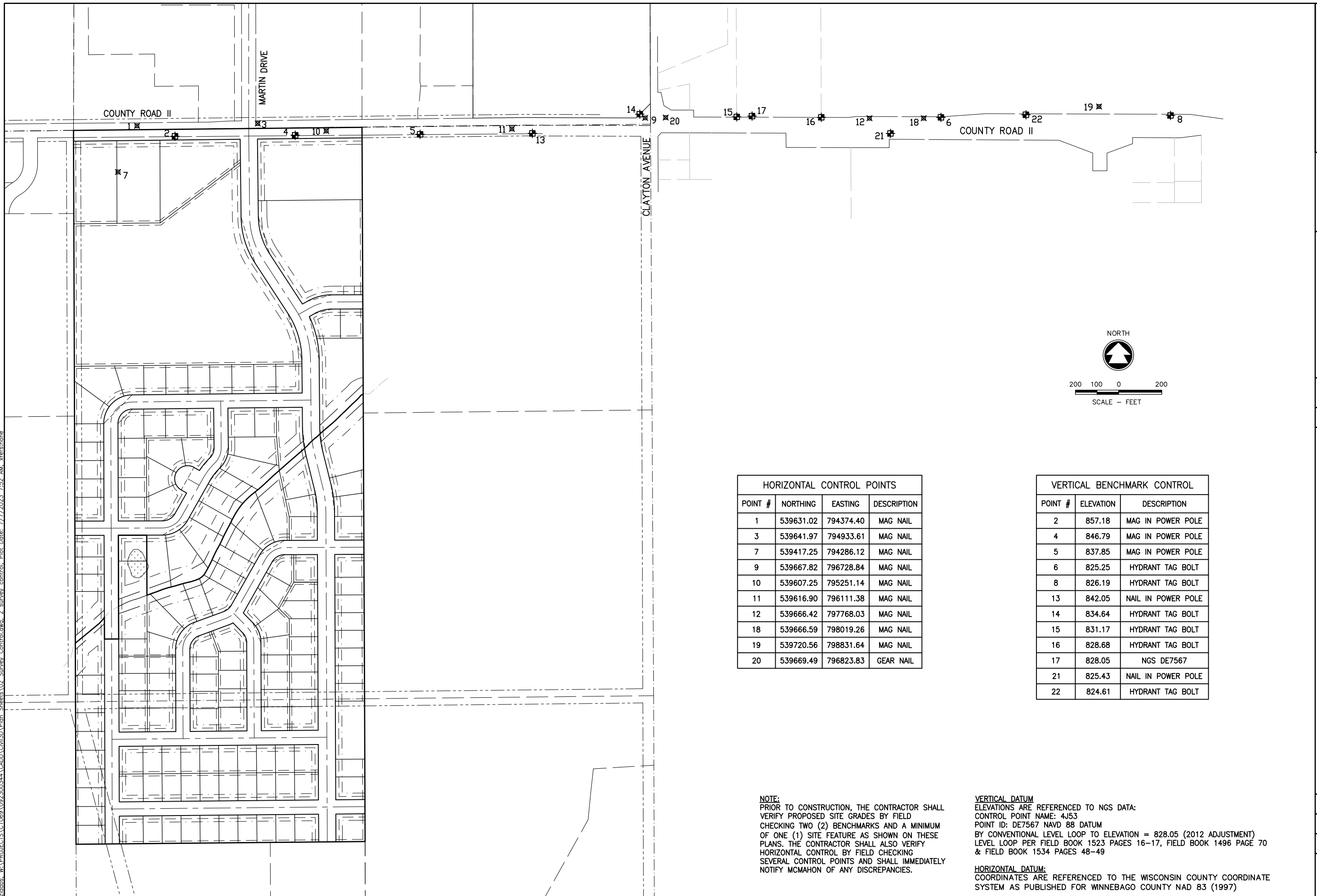
SHEET INDEX

- 1 - ABBREVIATIONS, SYMBOLS & NOTES
- 2 - SURVEY CONTROL
- 3 - EXISTING CONDITIONS & DEMOLITION PLAN
- 4 - OVERALL UTILITY PLAN
- 5-8 - UTILITY PLAN WEST (LOT 4)
- 9-10 - UTILITY PLAN EAST (LOT 5)
- 11 - PROPOSED SITE PLAN WEST (LOT 4)
- 12 - PROPOSED SITE PLAN EAST (LOT 5)
- 13 - GRADING PLAN WEST (LOT 4)
- 14 - GRADING PLAN EAST (LOT 5)
- 15 - EROSION CONTROL PLAN
- 16 - EROSION CONTROL NOTES
- 17 - DSPS STORMWATER CALCULATIONS
- 18 - MISCELLANEOUS DETAILS
- 19 - MISCELLANEOUS DETAILS
- 20 - MISCELLANEOUS DETAILS
- 21 - VEHICLE TURNING TEMPLATES
- E1 - PHOTOMETRICS PLAN
- L1 - LANDSCAPE PLAN OVERALL
- L2 - LANDSCAPE PLAN WEST (LOT 4)
- L3 - LANDSCAPE PLAN EAST (LOT 5)

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HORIZONTAL CONTROL POINTS			
POINT #	NORTHING	EASTING	DESCRIPTION
1	539631.02	794374.40	MAG NAIL
3	539641.97	794933.61	MAG NAIL
7	539417.25	794286.12	MAG NAIL
9	539667.82	796728.84	MAG NAIL
10	539607.25	795251.14	MAG NAIL
11	539616.90	796111.38	MAG NAIL
12	539666.42	797768.03	MAG NAIL
18	539666.59	798019.26	MAG NAIL
19	539720.56	798831.64	MAG NAIL
20	539669.49	796823.83	GEAR NAIL

VERTICAL BENCHMARK CONTROL		
POINT #	ELEVATION	DESCRIPTION
2	857.18	MAG IN POWER POLE
4	846.79	MAG IN POWER POLE
5	837.85	MAG IN POWER POLE
6	825.25	HYDRANT TAG BOLT
8	826.19	HYDRANT TAG BOLT
13	842.05	NAIL IN POWER POLE
14	834.64	HYDRANT TAG BOLT
15	831.17	HYDRANT TAG BOLT
16	828.68	HYDRANT TAG BOLT
17	828.05	NGS DE7567
21	825.43	NAIL IN POWER POLE
22	824.61	HYDRANT TAG BOLT

NOTE:
 PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADES BY FIELD CHECKING TWO (2) BENCHMARKS AND A MINIMUM OF ONE (1) SITE FEATURE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ALSO VERIFY HORIZONTAL CONTROL BY FIELD CHECKING SEVERAL CONTROL POINTS AND SHALL IMMEDIATELY NOTIFY MCMAHON OF ANY DISCREPANCIES.

VERTICAL DATUM:
 ELEVATIONS ARE REFERENCED TO NGS DATA:
 CONTROL POINT NAME: 4J53
 POINT ID: DE7567 NAVD 88 DATUM
 BY CONVENTIONAL LEVEL LOOP TO ELEVATION = 828.05 (2012 ADJUSTMENT)
 LEVEL LOOP PER FIELD BOOK 1523 PAGES 16-17, FIELD BOOK 1496 PAGE 70 & FIELD BOOK 1534 PAGES 48-49

HORIZONTAL DATUM:
 COORDINATES ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM AS PUBLISHED FOR WINNEBAGO COUNTY NAD 83 (1997)

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REVISION

DATE

NO.

DESIGNED

DRAWN

ZRL

ZRL

PROJECT NO.

C1069-09-23-00344

DATE

JUNE 2023

SHEET NO.

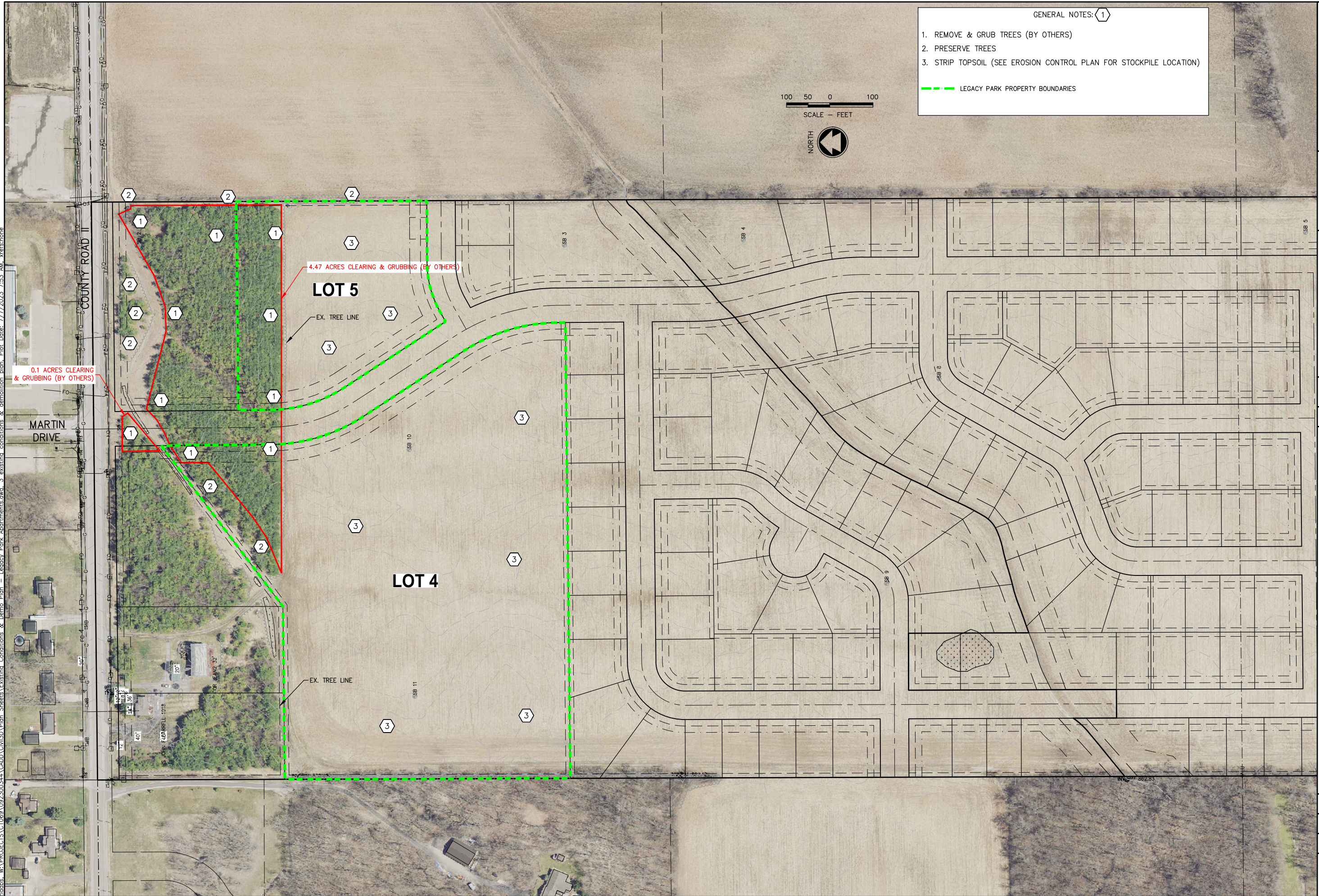
142

LEGACY PARK APARTMENTS

TOWN OF CLAYTON, WINNEBAGO COUNTY, WI

SURVEY CONTROL

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GENERAL NOTES: ①

1. REMOVE & GRUB TREES (BY OTHERS)
2. PRESERVE TREES
3. STRIP TOPSOIL (SEE EROSION CONTROL PLAN FOR STOCKPILE LOCATION)

--- LEGACY PARK PROPERTY BOUNDARIES



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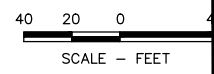
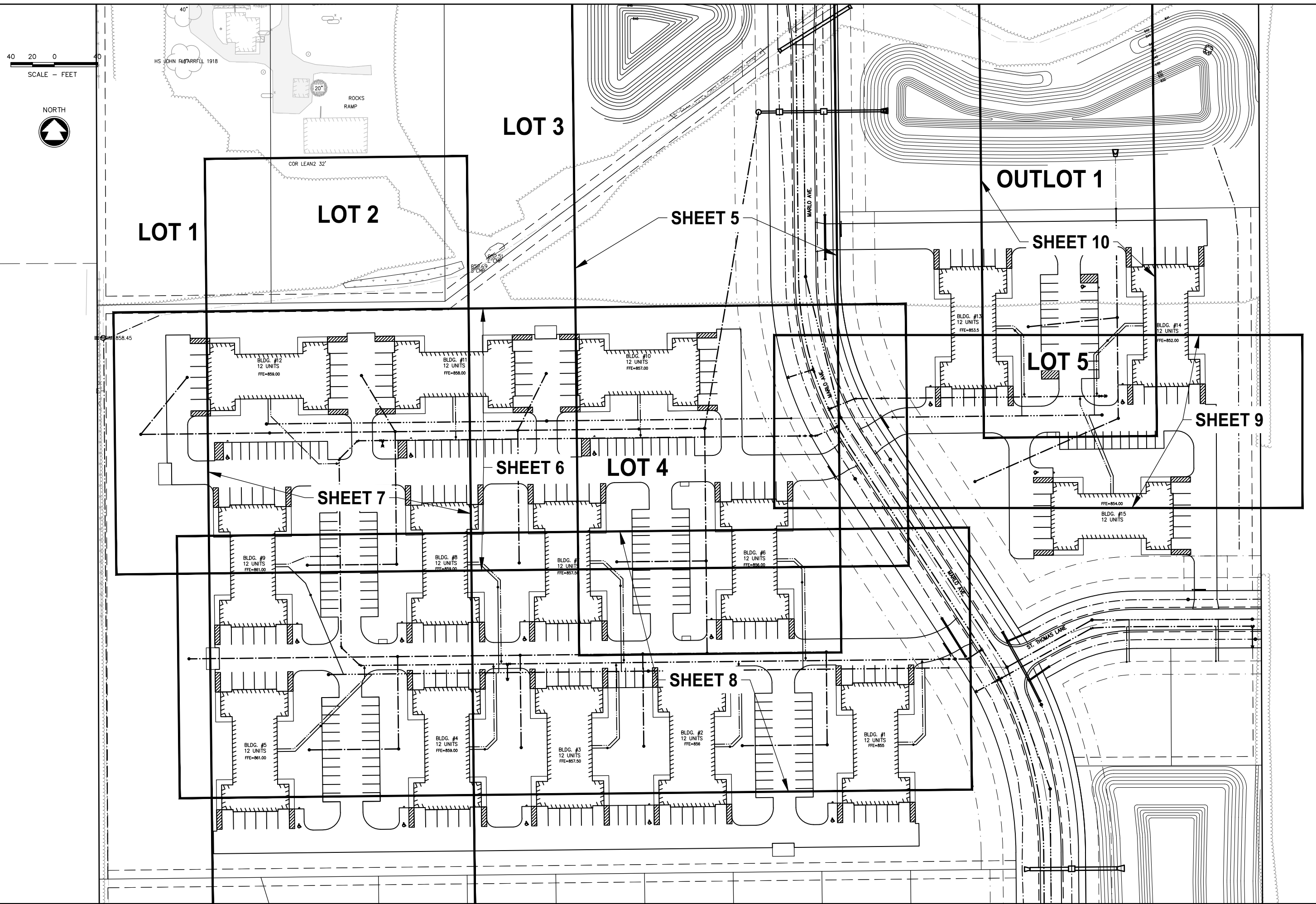
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**LEGACY PARK APARTMENTS
TOWN OF CLAYTON, WINNEBAGO COUNTY, WI
EXISTING CONDITIONS & DEMOLITION PLAN**

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00344	
DATE JUNE 2023	
SHEET NO. 143	

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LOT 1

LOT 2

LOT 3

LOT 4

LOT 5

OUTLOT 1

SHEET 5

SHEET 10

SHEET 6

SHEET 9

SHEET 7

SHEET 8

HS JOHN FARRFULL 1918

COR LEAN2 32'

ROCKS RAMP

MARLO AVE

BLDG. #13
12 UNITS
FFE=853.5

BLDG. #14
12 UNITS
FFE=852.00

BLDG. #12
12 UNITS
FFE=858.00

BLDG. #11
12 UNITS
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BLDG. #10
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BLDG. #15
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FFE=857.50

BLDG. #2
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FFE=856

BLDG. #1
12 UNITS
FFE=855

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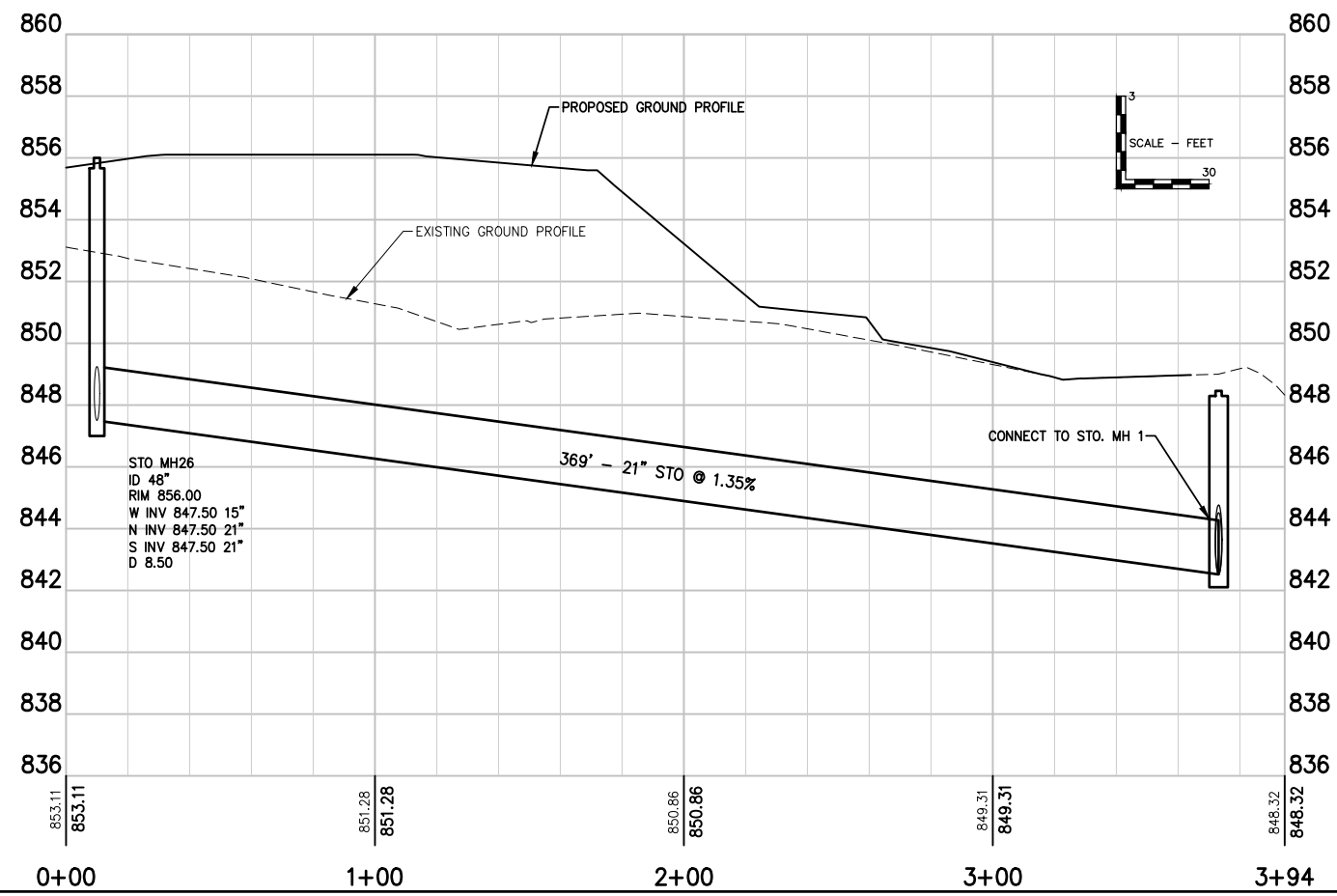
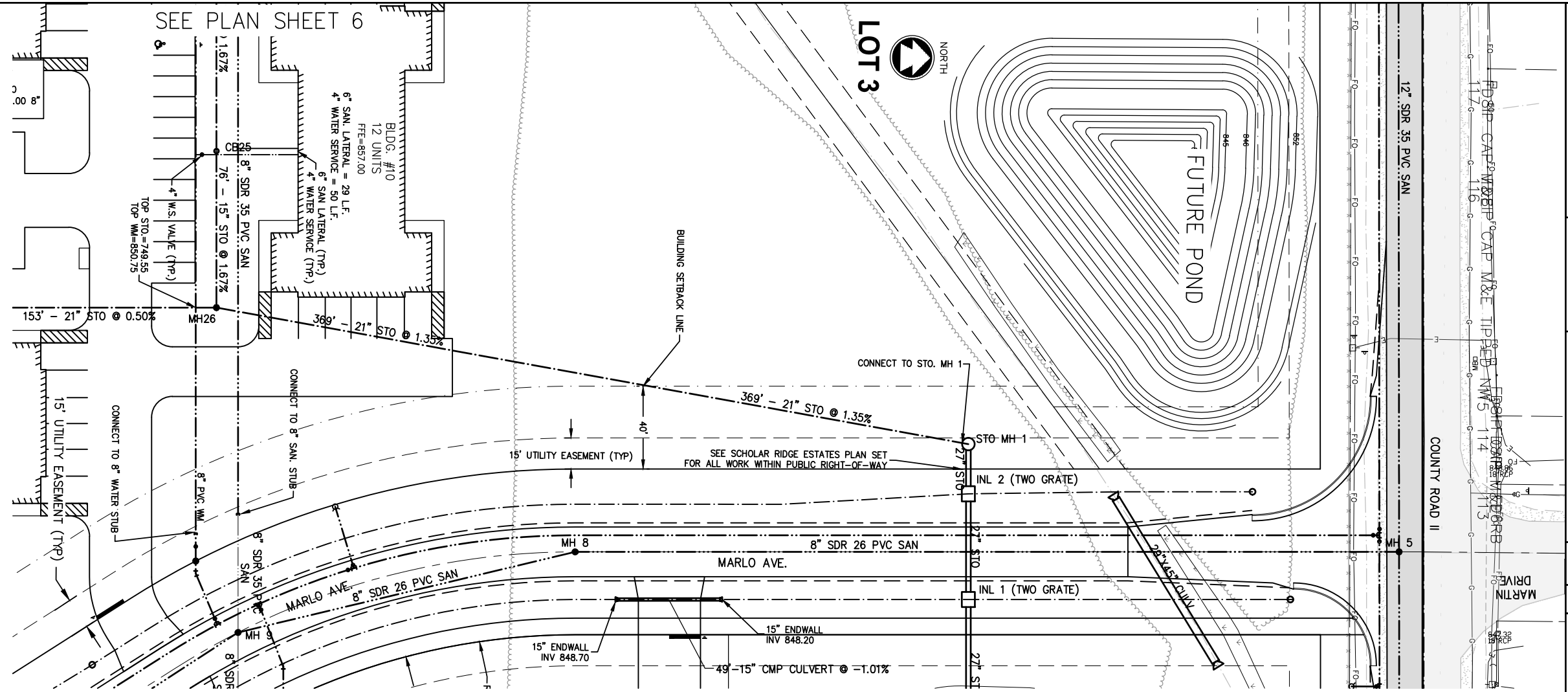
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DATE: JUNE 2023
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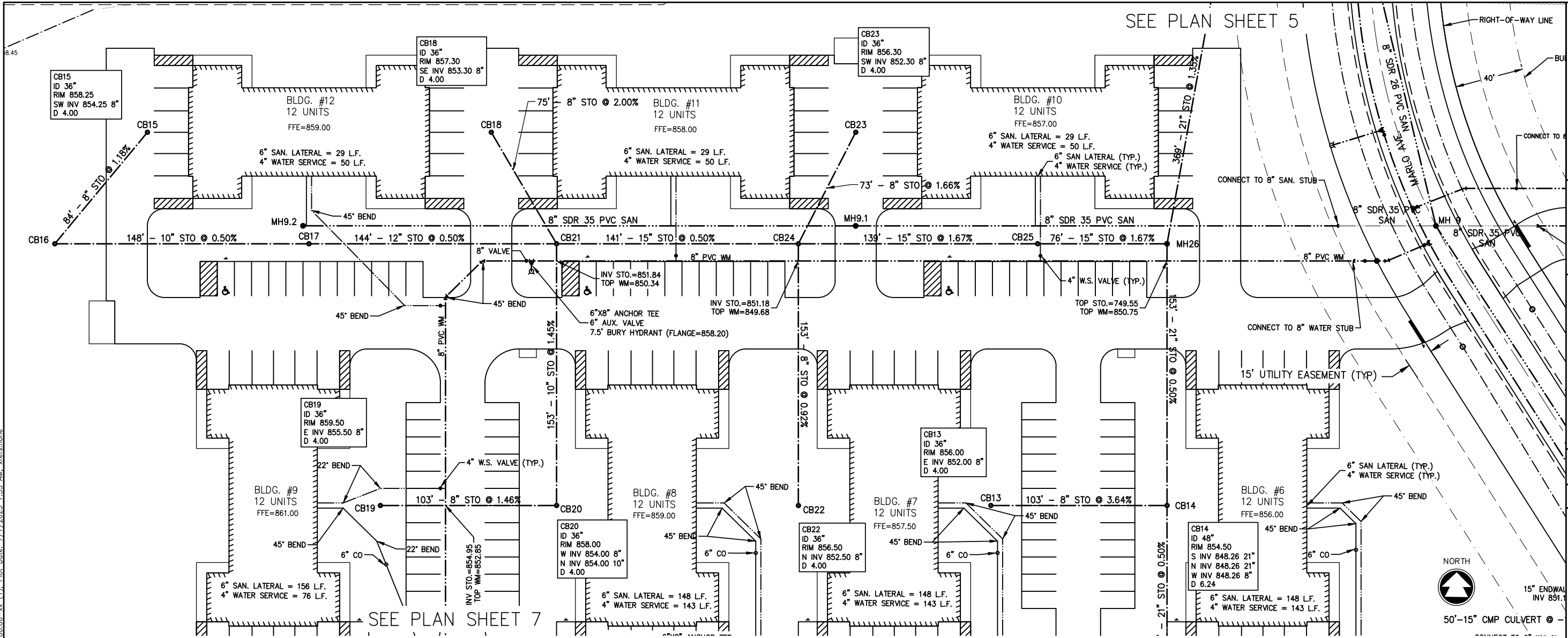
LEGACY PARK APARTMENTS
TOWN OF CLAYTON, WINNEBAGO COUNTY, WI
OVERALL UTILITY PLAN



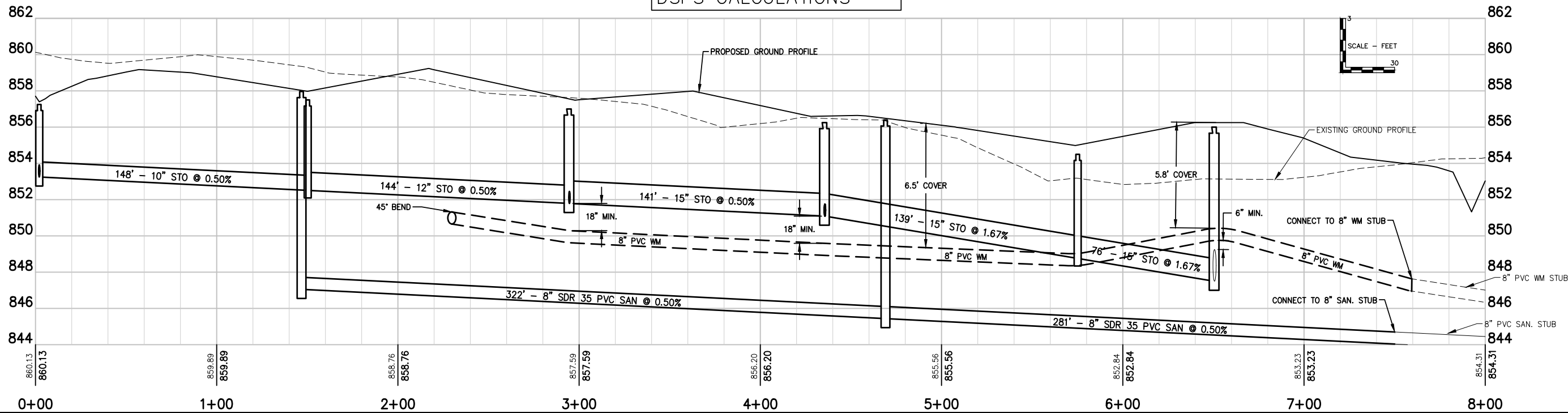
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PROJECT NO. C1069-09-23-00344	
DATE JUNE 2023	
SHEET NO. 145	

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SEE PLAN SHEET 17 FOR DSPS CALCULATIONS



SEE PLAN SHEET 5

SEE PLAN SHEET 7

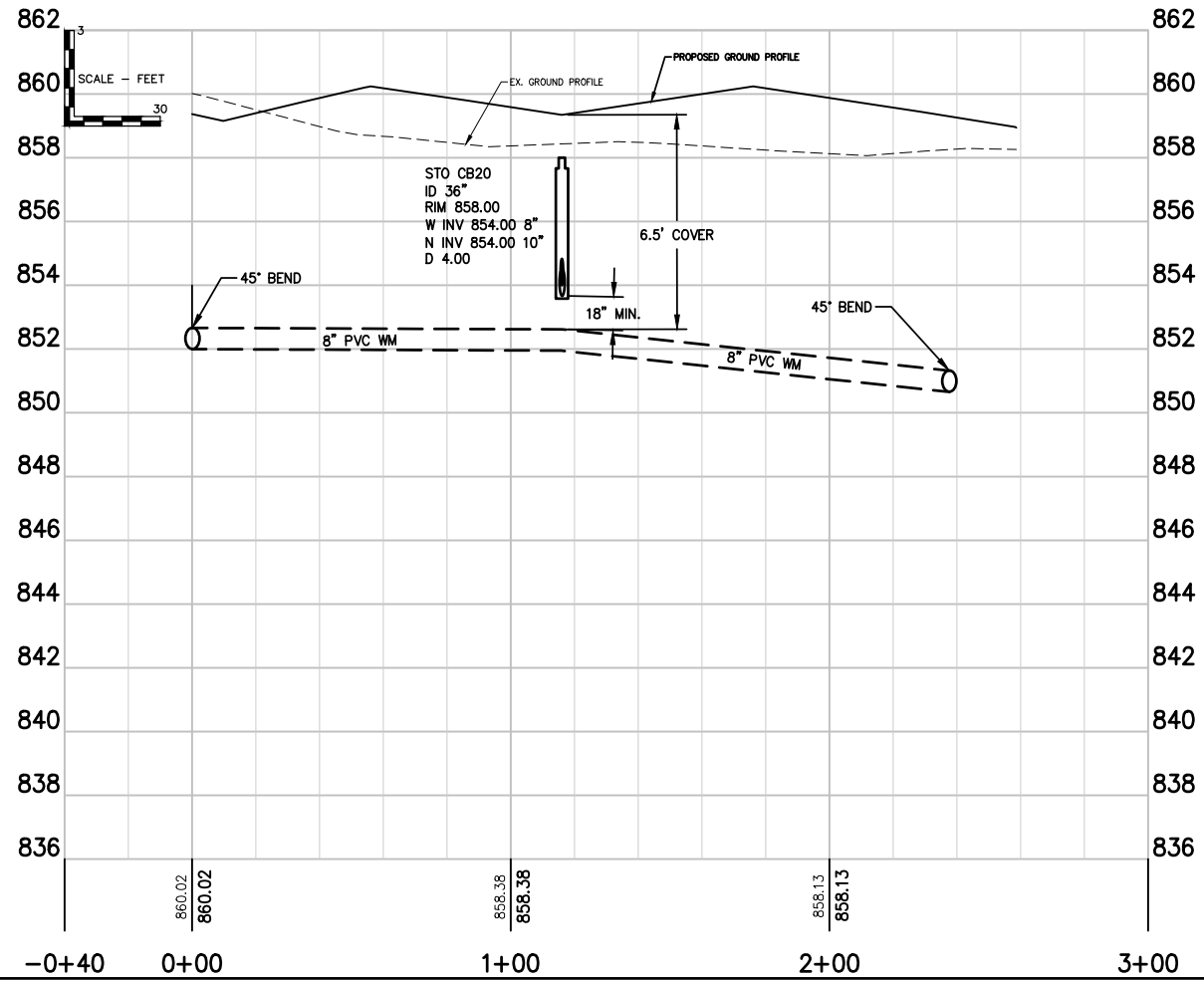
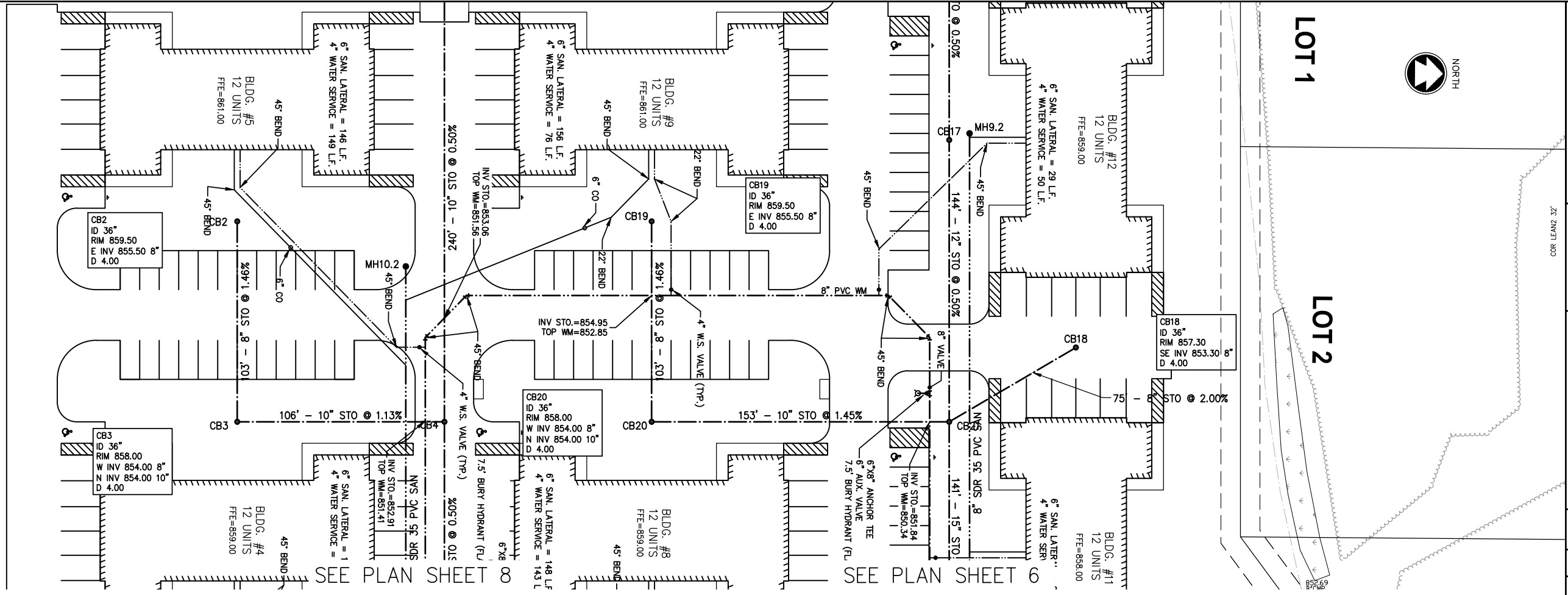
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 PH: 920.751.4260 FAX: 920.751.4264

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 DRAWN: ZRL
 PROJECT NO.: C1069-09-23-00344
 DATE: JUNE 2023
 SHEET NO.: 146

LEGACY PARK APARTMENTS
 TOWN OF CLAYTON, WINNEBAGO COUNTY, WI
 UTILITY PLAN WEST (LOT 4)

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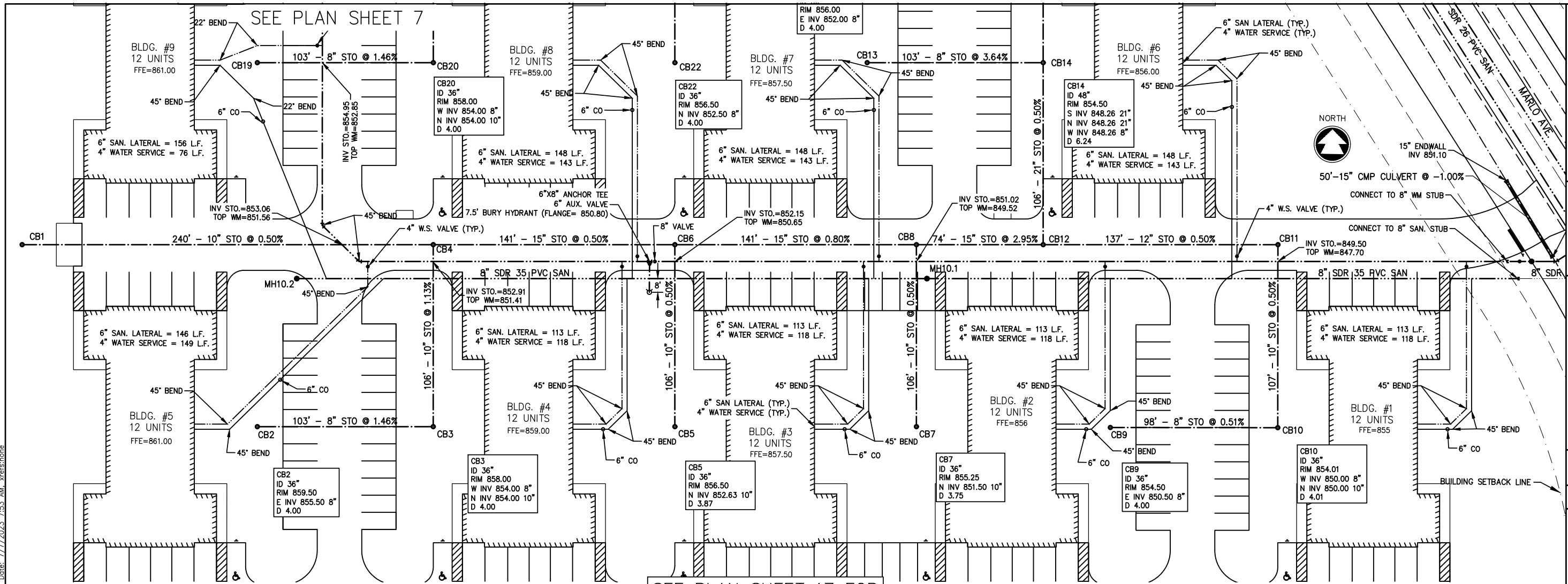
COR LEAN2 32'

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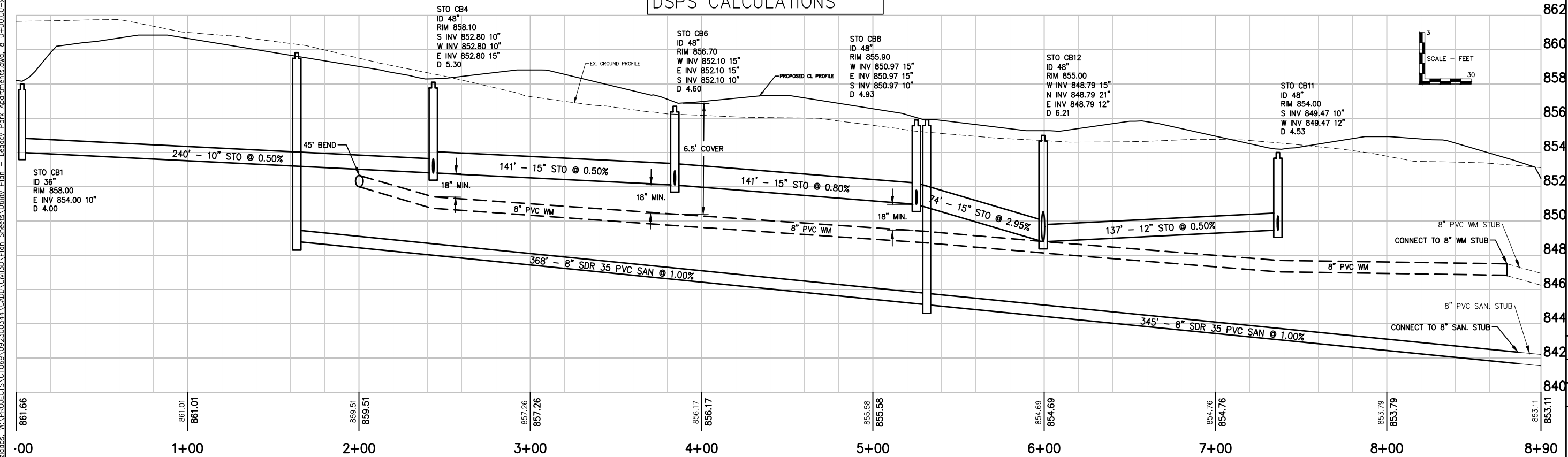
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**LEGACY PARK APARTMENTS
TOWN OF CLAYTON, WINNEBAGO COUNTY, WI
UTILITY PLAN WEST (LOT 4)**

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DSPS CALCULATIONS



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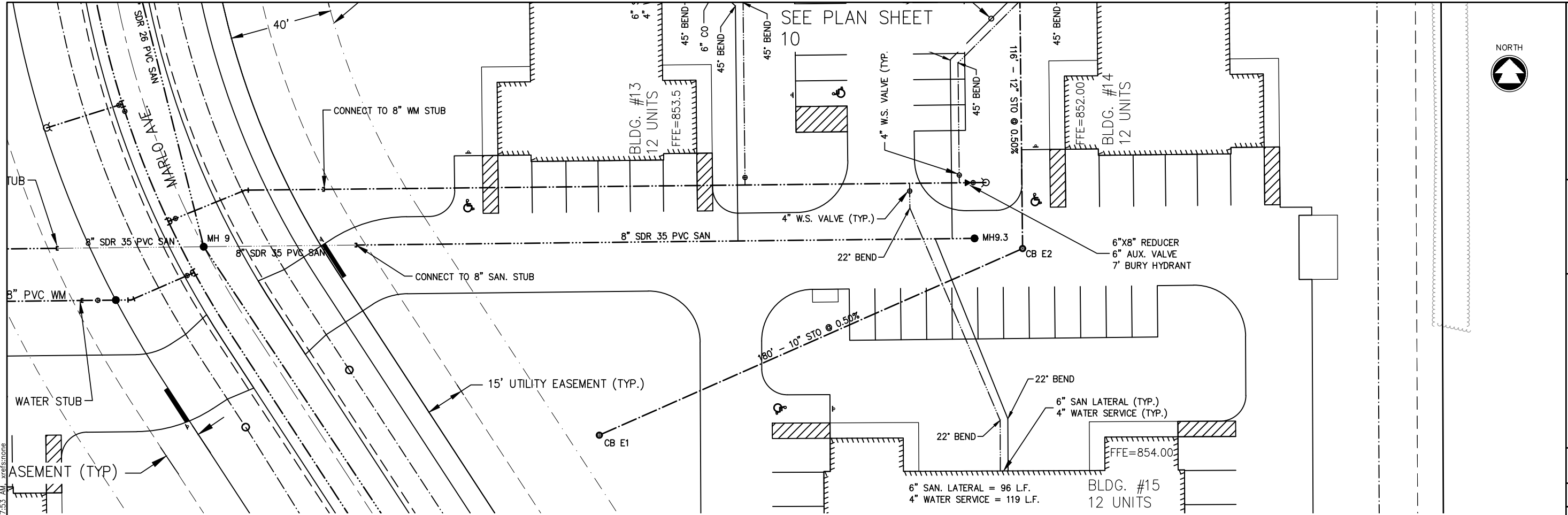
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UTILITY PLAN WEST (LOT 4)

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DATE JUNE 2023	
SHEET NO. 148	

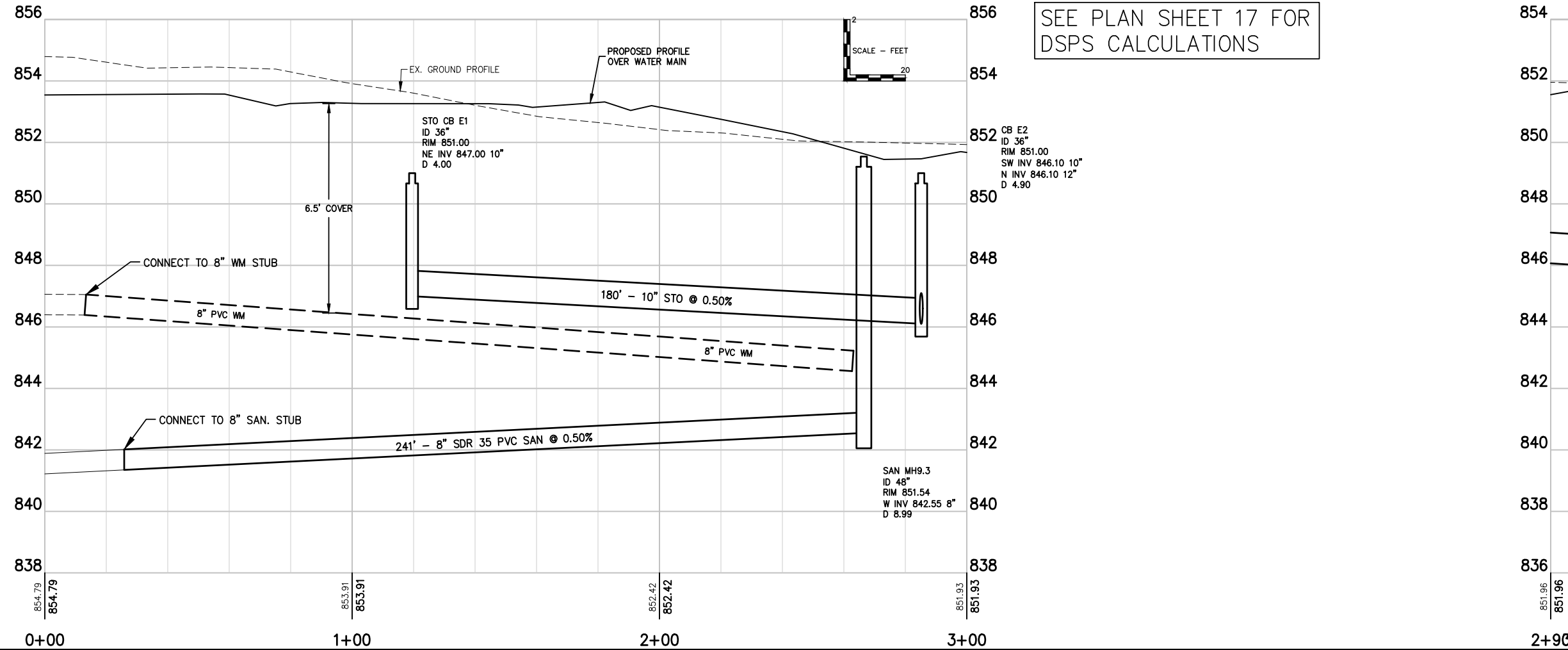
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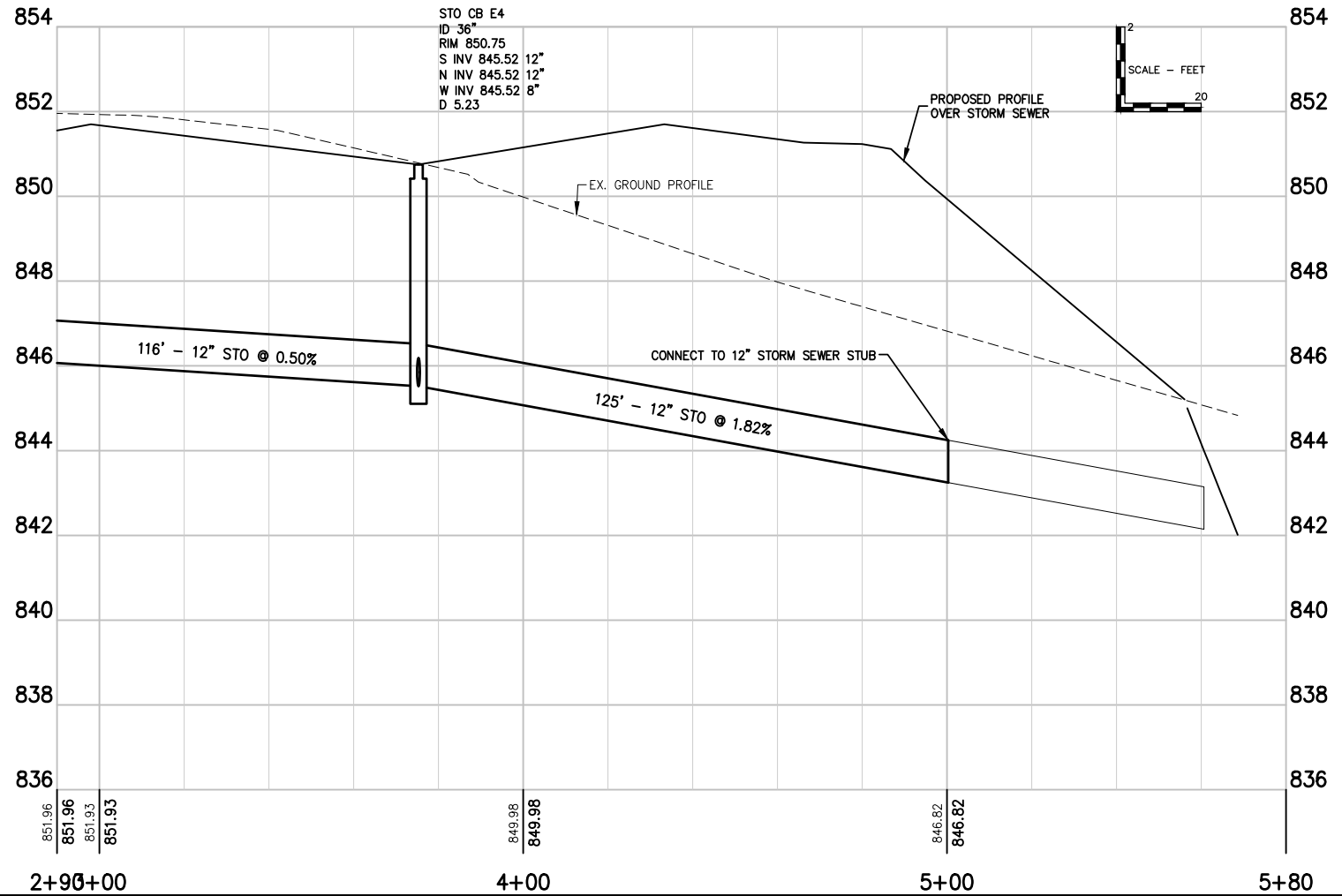
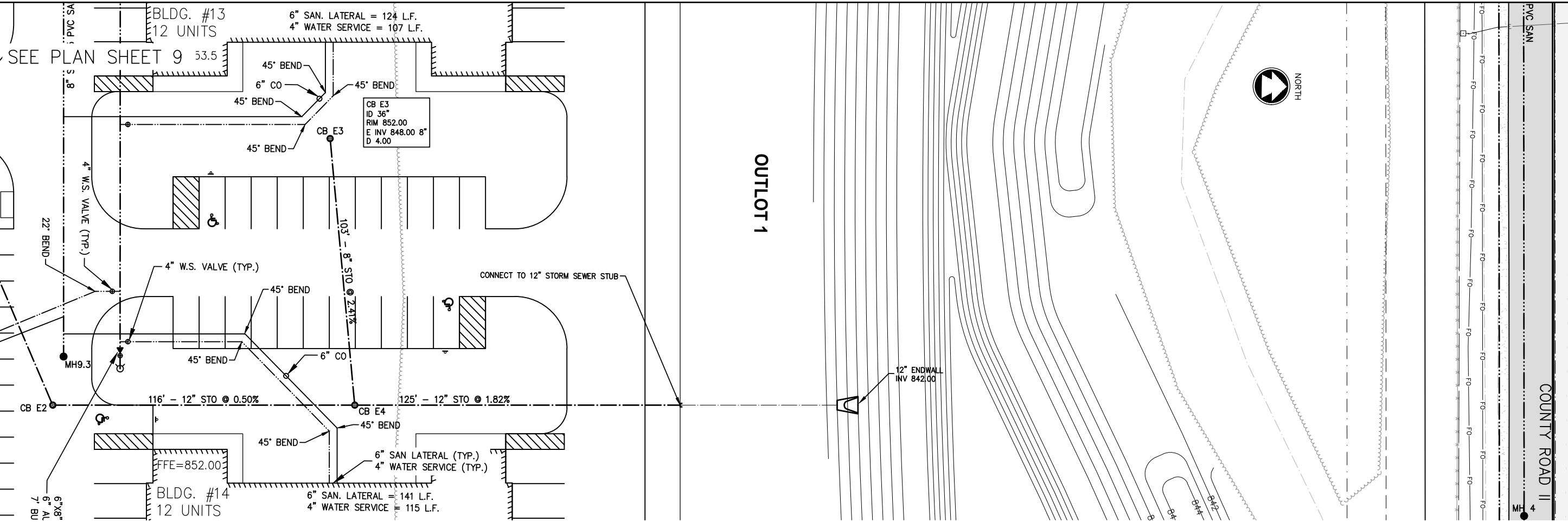


SEE PLAN SHEET 17 FOR DSPS CALCULATIONS

LEGACY PARK APARTMENTS
 TOWN OF CLAYTON, WINNEBAGO COUNTY, WI
 UTILITY PLAN EAST (LOT 5)

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DATE JUNE 2023	
SHEET NO. 149	

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SEE PLAN SHEET 17 FOR
DSPS CALCULATIONS

Item C.

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NO.	DATE	REVISION

LEGACY PARK APARTMENTS
TOWN OF CLAYTON, WINNEBAGO COUNTY, WI
UTILITY PLAN EAST (LOT 5)

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00344	
DATE JUNE 2023	
SHEET NO. 150	

40 20 0 40
SCALE - FEET

NORTH



LOT 1

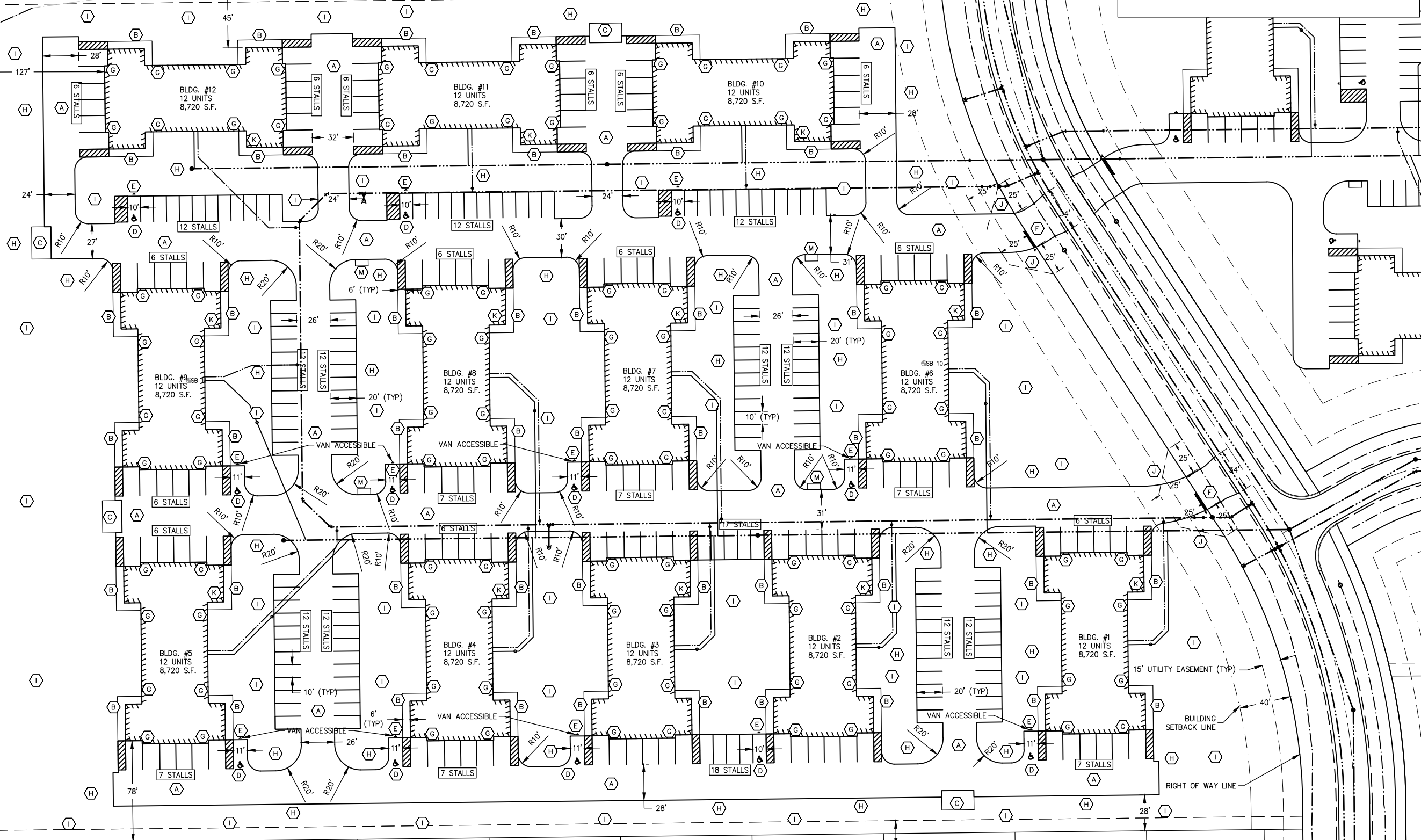
LOT 2

LOT 3

- GENERAL NOTES: (A)
- A. ASPHALT PAVEMENT (SEE DETAIL)
 - B. 4" CONCRETE SIDEWALK
 - C. 8" CONCRETE DUMPSTER PAD FOR DUMPSTER ENCLOSURE
 - D. HANDICAP PAINT SYMBOL
 - E. HANDICAP SIGN
 - F. 18" WHITE PAINT STRIPE, STOP BAR & STOP SIGN
 - G. NEW LED WALL PACK. (APPROX. LOCATION)
 - H. SNOW STORAGE AREA
 - I. LANDSCAPING AREA (SEE LANDSCAPE PLAN)
 - J. 25' VISION TRIANGLE
 - K. KNOX BOX LOCATION
 - L. EXISTING TREES TO REMAIN (SEE DEMO AND LANDSCAPE PLANS)
 - M. CLUSTER MAILBOXES (5'X10' CONCRETE PAD)

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 McMAHON ASSOCIATES, INC.
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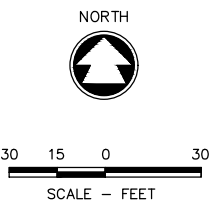


NO.	DATE	REVISION

LEGACY PARK APARTMENTS
TOWN OF CLAYTON, WINNEBAGO COUNTY, WI
PROPOSED SITE PLAN WEST (LOT 4)

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00344	
DATE JUNE 2023	
SHEET NO. 151	

OUTLOT 1

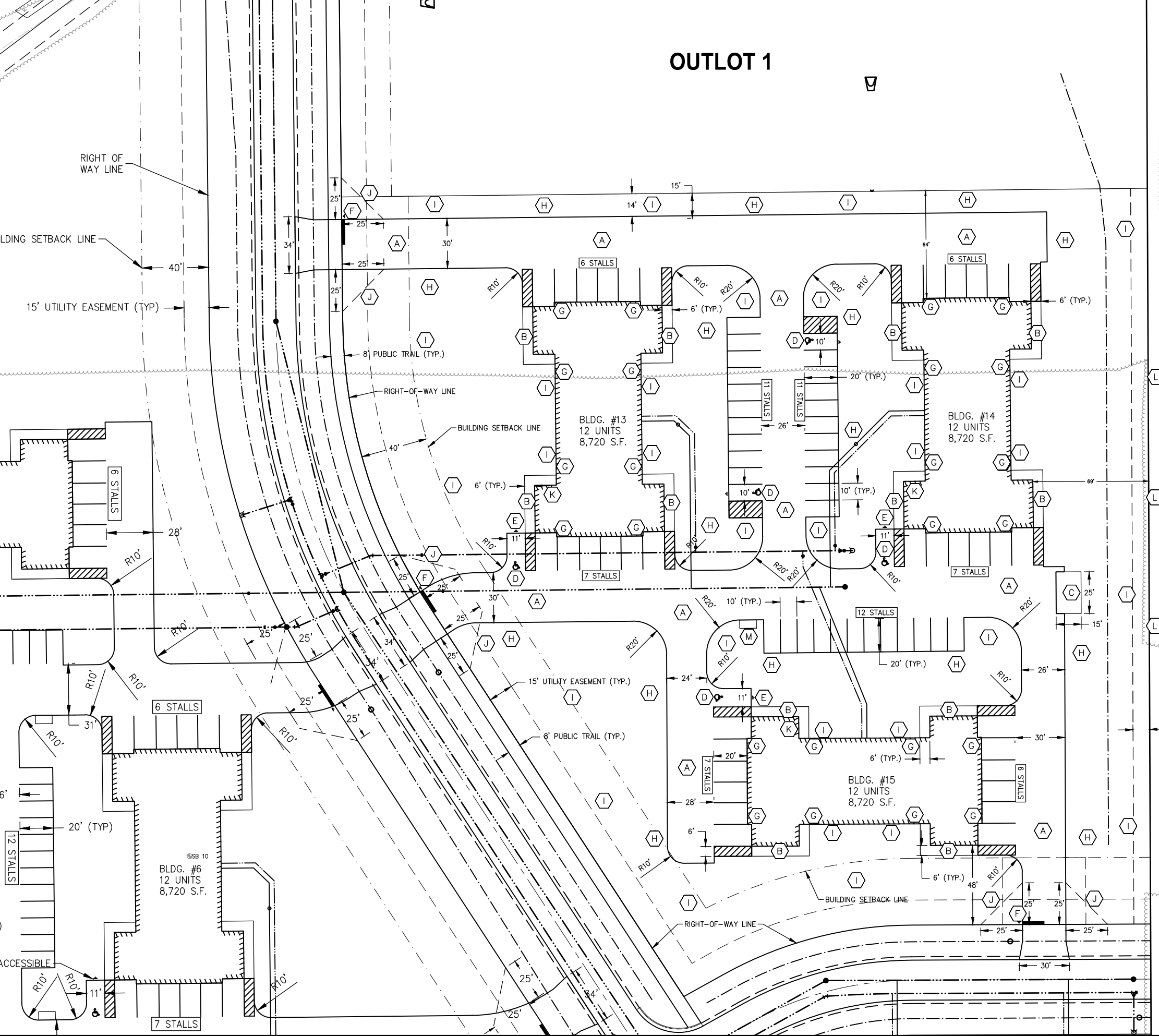


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GENERAL NOTES: (A)

- A. ASPHALT PAVEMENT (SEE DETAIL)
- B. 4" CONCRETE SIDEWALK
- C. 8" CONCRETE DUMPSTER PAD FOR DUMPSTER ENCLOSURE
- D. HANDICAP PAINT SYMBOL
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- I. LANDSCAPING AREA (SEE LANDSCAPE PLAN)
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- L. EXISTING TREES TO REMAIN (SEE DEMO AND LANDSCAPE PLANS)
- M. CLUSTER MAILBOXES (5'X10' CONCRETE PAD)

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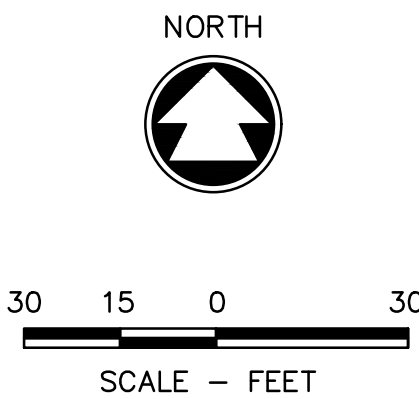


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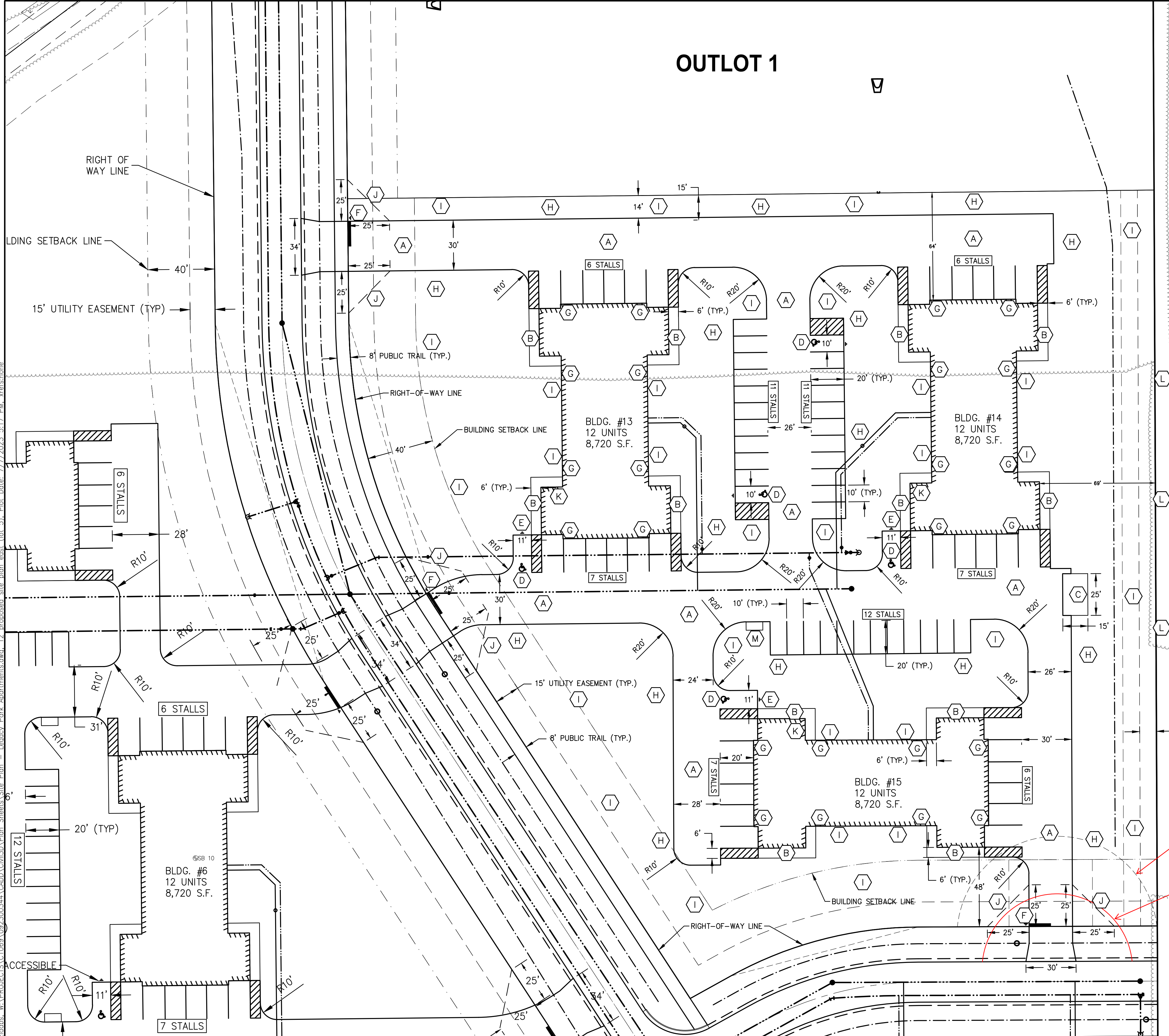
LEGACY PARK APARTMENTS
TOWN OF CLAYTON, WINNEBAGO COUNTY, WI
PROPOSED SITE PLAN EAST (LOT 5)

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00344	
DATE JUNE 2023	
SHEET NO. 152	

OUTLOT 1



- GENERAL NOTES: A
- A. ASPHALT PAVEMENT (SEE DETAIL)
 - B. 4" CONCRETE SIDEWALK
 - C. 8" CONCRETE DUMPSTER PAD FOR DUMPSTER ENCLOSURE
 - D. HANDICAP PAINT SYMBOL
 - E. HANDICAP SIGN
 - F. 18" WHITE PAINT STRIPE, STOP BAR & STOP SIGN
 - G. NEW LED WALL PACK. (APPROX. LOCATION)
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 - J. 25' VISION TRIANGLE
 - K. KNOX BOX LOCATION
 - L. EXISTING TREES TO REMAIN (SEE DEMO AND LANDSCAPE PLANS)
 - M. CLUSTER MAILBOXES (5'X10' CONCRETE PAD)



60' Radius Temporary Turn-around Easement

45' Radius Asphalt

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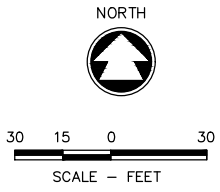
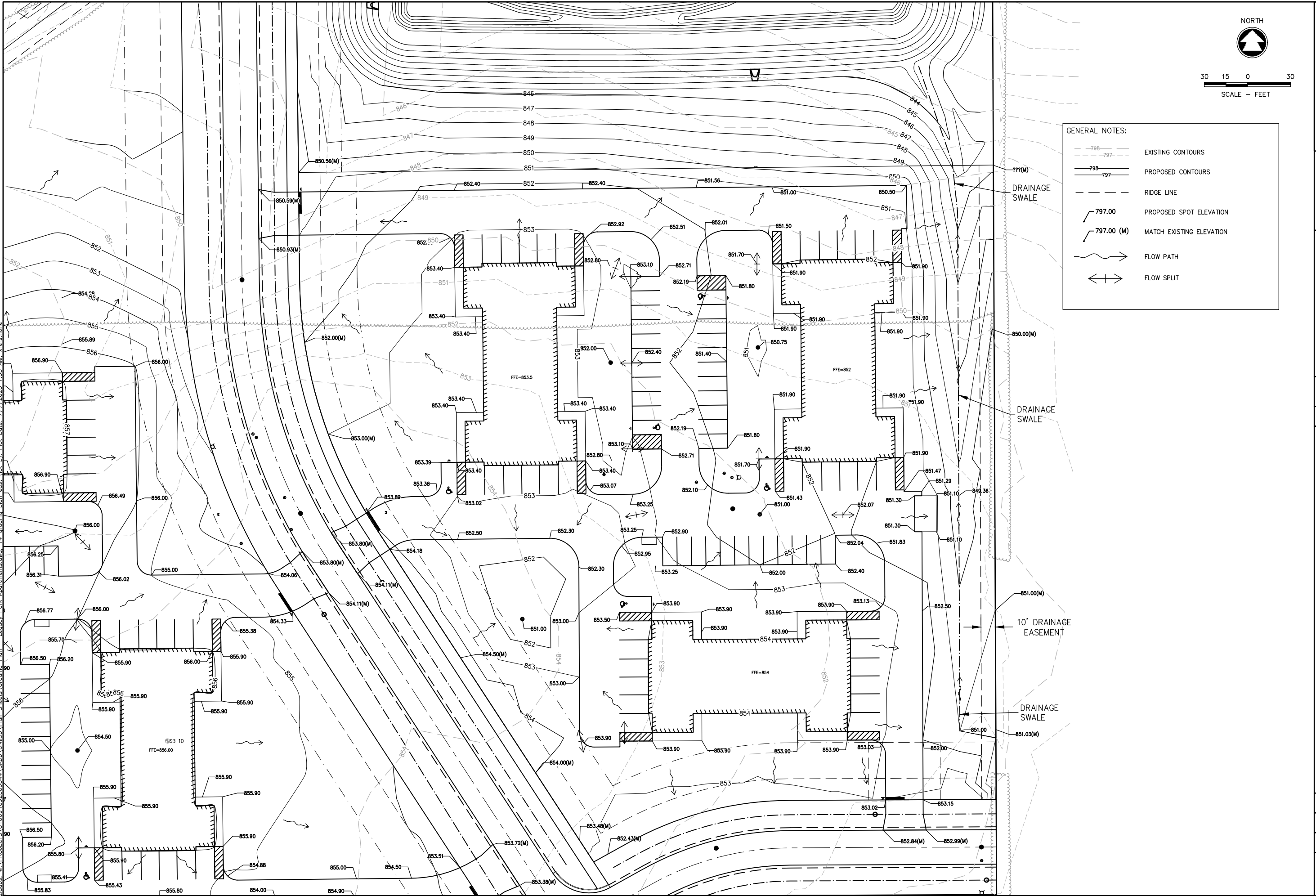
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NO.	DATE	REVISION

LEGACY PARK APARTMENTS
TOWN OF CLAYTON, WINNEBAGO COUNTY, WI
PROPOSED SITE PLAN EAST (LOT 5)

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00344	
DATE JUNE 2023	
SHEET NO. 12	

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GENERAL NOTES:

	EXISTING CONTOURS
	PROPOSED CONTOURS
	RIDGE LINE
	PROPOSED SPOT ELEVATION
	MATCH EXISTING ELEVATION
	FLOW PATH
	FLOW SPLIT

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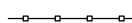




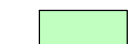

NO.	DATE	REVISION

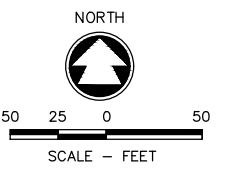
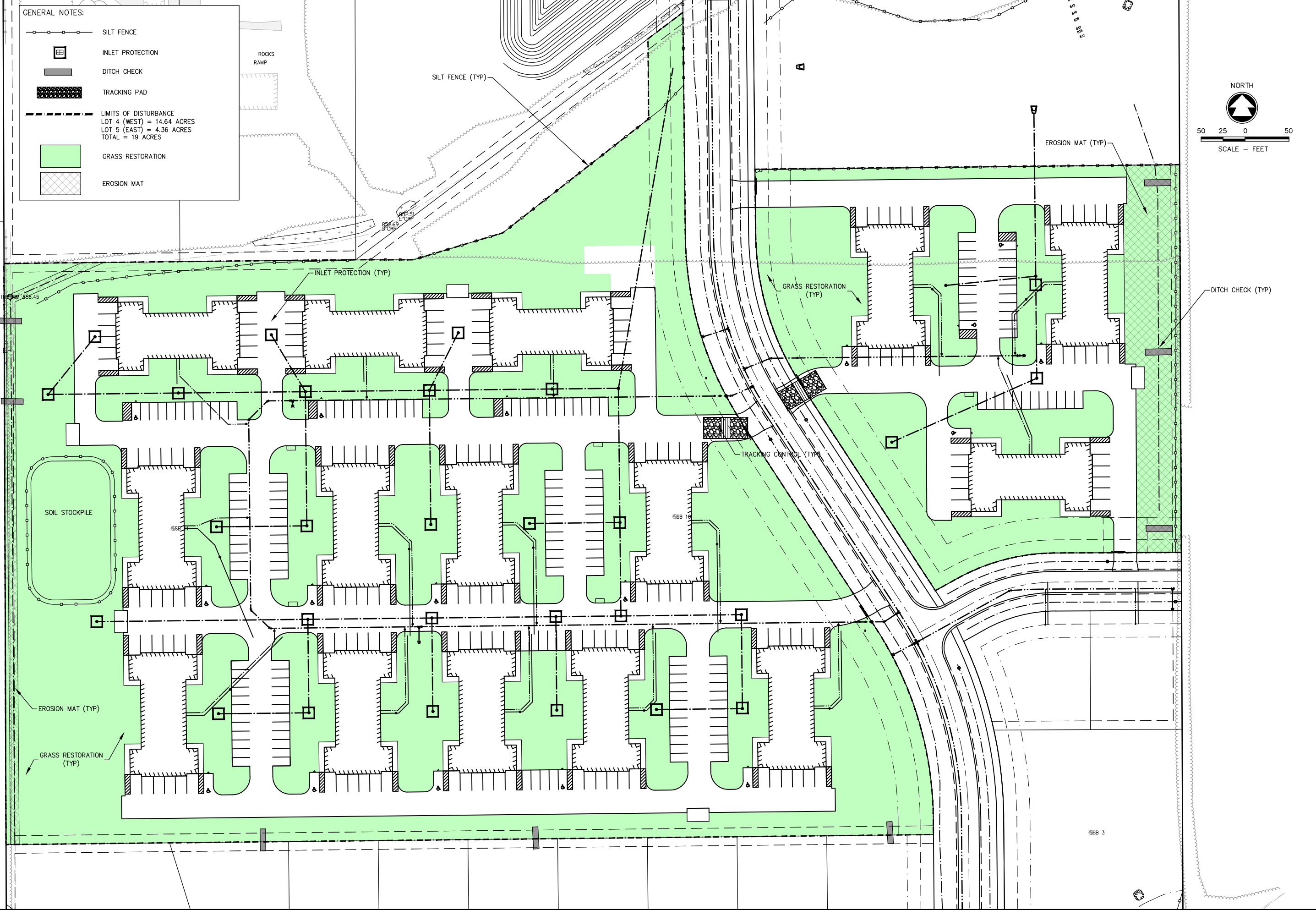
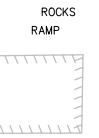
LEGACY PARK APARTMENTS
 TOWN OF CLAYTON, WINNEBAGO COUNTY, WI
 GRADING PLAN EAST (LOT 5)

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00344	
DATE JUNE 2023	
SHEET NO. 155	

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GENERAL NOTES:

-  SILT FENCE
-  INLET PROTECTION
-  DITCH CHECK
-  TRACKING PAD
-  LIMITS OF DISTURBANCE
LOT 4 (WEST) = 14.64 ACRES
LOT 5 (EAST) = 4.36 ACRES
TOTAL = 19 ACRES
-  GRASS RESTORATION
-  EROSION MAT



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Item C.

NO.	DATE	REVISION

LEGACY PARK APARTMENTS
TOWN OF CLAYTON, WINNEBAGO COUNTY, WI
EROSION CONTROL PLAN

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00344	
DATE JUNE 2023	
SHEET NO. 156	

EROSION & SEDIMENT CONTROL PLAN

CONTACT INFORMATION:

OWNER: CLAYTON DEVELOPMENT GROUP, LLC
2065 AMERICAN DRIVE, SUITE A
NEENAH, WI 54956
DEREK LIEBHAUSER, OWNER'S REPRESENTATIVE
PHONE: (920) 428-9451
EMAIL: derek@groundedpropertygroup.com

DESIGNER: MCMAHON ASSOCIATES
P.O. BOX 1025
NEENAH, WI 54957-1025
ZACH LAABS, PROJECT ENGINEER
PHONE: (920) 751-4200
EMAIL: zlaabs@mcmgrp.com

BEST MANAGEMENT PRACTICES:

THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING, INSTALLING, MAINTAINING AND REMOVING BEST MANAGEMENT PRACTICES IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS. THESE STANDARDS MAY BE FOUND ON THE DNR WEBSITE AT <http://www.dnr.state.wi.us/org/water/wm/nps/stormwater/techstds.htm>. RIP-RAP AND DE-WATERING SHALL COMPLY WITH THE WISCONSIN CONSTRUCTION SITE BMP HANDBOOK UNTIL TECHNICAL STANDARDS 1061 AND 1065 ARE COMPLETED BY THE DNR. THE MINIMUM BEST MANAGEMENT PRACTICES SPECIFIED FOR THIS PROJECT ARE AS FOLLOWS:

- | | |
|---|---|
| <input type="checkbox"/> LAND APPLICATION OF POLYACRYLAMIDE (1050) | <input type="checkbox"/> DE-WATERING (1061) |
| <input type="checkbox"/> WATER APPLICATION OF POLYMERS (1051) | <input checked="" type="checkbox"/> DITCH CHECK (1062) |
| <input checked="" type="checkbox"/> NON-CHANNEL EROSION MAT (1052) | <input type="checkbox"/> SEDIMENT TRAP (1063) |
| <input type="checkbox"/> CHANNEL EROSION MAT (1053) | <input type="checkbox"/> SEDIMENT BASIN (1064) |
| <input type="checkbox"/> VEGETATIVE BUFFER (1054) | <input type="checkbox"/> RIP-RAP (1065) |
| <input type="checkbox"/> SEDIMENT BALE BARRIER (1055) | <input type="checkbox"/> CONSTRUCTION DIVERSION (1066) |
| <input checked="" type="checkbox"/> SILT FENCE (1056) | <input type="checkbox"/> GRADING PRACTICES (1067) |
| <input checked="" type="checkbox"/> TRACKOUT CONTROL (1057) | <input checked="" type="checkbox"/> DUST CONTROL (1068) |
| <input checked="" type="checkbox"/> MULCHING (1058) | <input type="checkbox"/> TURBIDITY BARRIER (1069) |
| <input checked="" type="checkbox"/> SEEDING (1059) | <input type="checkbox"/> SILT CURTAIN (1070) |
| <input checked="" type="checkbox"/> STORM DRAIN INLET PROTECTION (1060) | |

THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES AND IMPLEMENTING BEST MANAGEMENT PRACTICES TO DO THE FOLLOWING TO THE MAXIMUM EXTENT PRACTICABLE:

- PRESERVE EXISTING VEGETATION WHERE POSSIBLE. TEMPORARILY STABILIZE EXPOSED SOILS THAT WILL NOT BE ACTIVE FOR 30 DAYS OR MORE. POLYACRYLAMIDE, MULCHING, SEEDING AND GRAVELING MAY BE USED TO TEMPORARILY STABILIZE EXPOSED SOILS.
- DIVERT CLEAR WATER AWAY FROM EXPOSED SOILS USING CONSTRUCTION DIVERSIONS.
- MANAGE SHEET FLOW THAT IS NOT CONTROLLED WITH A SEDIMENT TRAPPING DEVICE. SILT FENCE IS USED TO MANAGE SHEET FLOW. GRADING PRACTICES MAY BE USED TO SUPPLEMENT THE SILT FENCE.
- MANAGE CONCENTRATED FLOW WITH SEDIMENT TRAPPING DEVICES. STORM DRAIN INLET PROTECTION AND A SEDIMENT BASIN ARE USED TO MANAGE CONCENTRATED FLOW. POLYMERS ARE USED FOR THE SEDIMENT BASIN TO ENHANCE TRAPPING.
- MINIMIZE THE AMOUNT OF SOIL EXPOSED AT ANY ONE TIME.
- PROTECT INLETS FROM RECEIVING SEDIMENT WITH STORM DRAIN INLET PROTECTION.
- PREVENT TRACKING OF SEDIMENT ONTO ROADS AND PAVED SURFACES USING TRACKING PADS AND/OR TIRE WASHING. MINIMIZE TRACKING AT ALL SITE EXITS AND ENTRANCES.
- CLEANUP OFFSITE SEDIMENT DEPOSITS AT THE END OF EACH WORK DAY & BEFORE A RAIN.
- MANAGE THE USE, STORAGE AND DISPOSAL OF CHEMICALS, CEMENT, CONCRETE AND OTHER COMPOUNDS AND MATERIALS TO PREVENT THEIR DISCHARGE INTO THE DRAINAGE SYSTEM.
- STABILIZE DRAINAGE WAYS AND EROSION DISCHARGE LOCATIONS WITH CHANNEL EROSION MAT, MULCHING, SEEDING, DITCH CHECKS & RIP-RAP AS SOON AS POSSIBLE.
- PERMANENTLY STABILIZE EXPOSED SOILS WITH NON-CHANNEL EROSION MAT, MULCHING AND SEEDING AS SOON AS POSSIBLE.
- CONTROL AND MINIMIZE DUST FROM VEHICULAR TRAFFIC AND WIND EROSION. PRESERVING VEGETATION, MULCHING, SEEDING, WATERING, GRADING PRACTICES, POLYACRYLAMIDE, SOIL STABILIZERS, CHLORIDES, & BARRIERS MAY BE USED FOR DUST CONTROL.
- PREVENT THE DISCHARGE OF SEDIMENT AS PART OF DE-WATERING. GEOTEXTILE BAGS, SEDIMENT TANKS, SEDIMENT TRAPS, SEDIMENT BASINS, AND FILTRATION SYSTEMS MAY BE USED FOR DE-WATERING. POLYMERS ARE TO BE USED TO ENHANCE SEDIMENT TRAPPING.
- SOIL TYPES ON THE PROPERTY, PER NRCS SOIL MANUAL, ARE KEWAUNEE SILT LOAM (Krb2), A TYPE D SOIL, HORTONVILLE SILT LOAM (HrB), A TYPE "C" SOIL AND MANAWA SILTY CLAY LOAM, A TYPE D SOIL. DEPTH TO GROUNDWATER IS MORE THAN 80".

EROSION CONTROL NOTES

- THIS PLAN COVERS SITE GRADING, UTILITY CONSTRUCTION, PARKING LOT CONSTRUCTION, AND BUILDING CONSTRUCTION.
- OBTAIN A STREET EXCAVATION PERMIT FOR ALL WORK WITHIN THE PUBLIC RIGHT OF WAY. OBTAIN AN EROSION & SEDIMENT CONTROL PERMIT PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES.
- EROSION CONTROL PLAN DESIGN CRITERIA, STANDARDS AND SPECIFICATIONS: ALL EROSION CONTROL MEASURES SHALL AT A MINIMUM, COMPLY WITH THE DESIGN CRITERIA, STANDARDS, AND SPECIFICATIONS FOR EROSION CONTROL BASED ON ACCEPTED DESIGN CRITERIA, STANDARDS, AND SPECIFICATIONS IDENTIFIED IN THE LATEST EDITION OF THE DEPARTMENT OF NATURAL RESOURCES' TECHNICAL STANDARDS AND BY THE REQUIREMENTS OF THE TOWN OF CLAYTON EROSION CONTROL ORDINANCE. AS INDIVIDUAL PRACTICES FROM WI-DNR CONSTRUCTION SITE BMP HANDBOOK ARE PUBLISHED AS WI-DNR TECHNICAL STANDARDS, THE STANDARD SHALL GOVERN.
- THE CONTRACTOR SHALL NOTIFY THE TOWN & COUNTY AT LEAST 2 DAYS PRIOR TO THE START OF SOIL DISTURBING ACTIVITIES.
- BUILDING/PAVING PERMITS WILL BE WITHHELD UNTIL ALL INITIAL EROSION CONTROL PRACTICES ARE IMPLEMENTED AND APPROVED BY THE TOWN & COUNTY EROSION CONTROL INSPECTOR.
- EROSION & SEDIMENT CONTROL PRACTICES SHALL BE CONSTRUCTED OR INSTALLED BEFORE LAND DISTURBING CONSTRUCTION ACTIVITIES BEGIN. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION UNTIL THE SITE IS STABILIZED BY VEGETATION OR OTHER APPROVED MEANS. FINAL STABILIZATION ACTIVITIES SHALL COMMENCE WHEN LAND DISTURBING ACTIVITIES CEASE & FINAL GRADE HAS BEEN REACHED ON ANY PORTION OF THE SITE.
- ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE AS TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ANY ONE TIME. MAINTAIN EXISTING VEGETATION AS LONG AS POSSIBLE.
- CONSTRUCTION ENTRANCES UTILIZING 3" CLEAR STONE SHALL BE MAINTAINED AT ALL CONSTRUCTION ENTRANCES TO THE SITE. THE ROCK DRIVE SHALL BE A MINIMUM OF 12 INCHES THICK AND BE A MINIMUM OF 50 FEET IN LENGTH BY THE WIDTH OF THE DRIVEWAY.
- ON-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES, INCLUDING SOIL TRACKED BY CONSTRUCTION TRAFFIC, SHALL AT A MINIMUM BE CLEANED BY THE END OF EACH WORK DAY. EXCESSIVE AMOUNTS OF SEDIMENT OR OTHER DEBRIS TRACKED ONTO ADJACENT STREETS SHALL BE CLEANED IMMEDIATELY. FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM ADJACENT STREETS BY THE USE OF MECHANICAL OR MANUAL SWEEPING OPERATIONS ONCE A WEEK AT A MINIMUM AND BEFORE IMMINENT RAIN EVENTS.
- ALL SEDIMENT LADEN WATER PUMPED FROM THE SITE SHALL BE TREATED BY A TEMPORARY SEDIMENT BASIN OR BE FILTERED BY OTHER APPROVED MEANS. WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNELS. DEWATERING TO MEET THE REQUIREMENTS OF DNR TECHNICAL STANDARD 1061.
- DISTURBED GROUND OUTSIDE OF THE EVERYDAY CONSTRUCTION AREA, INCLUDING SOIL STOCKPILES LET INACTIVE FOR MORE THAN 10 DAYS, SHALL AT A MINIMUM BE TEMPORARILY STABILIZED BY SEEDING/MULCHING OR OTHERS METHODS APPROVED BY THE CITY OF APPLETON EROSION CONTROL INSPECTOR. STRAW MULCH SHALL BE ANCHORED BY "CRIMPING" THE STRAW INTO THE SOIL.
- WASTE MATERIAL GENERATED ON THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO RUN INTO A RECEIVING WATER OR STORM SEWER SYSTEM.
- IN THE CASE OF LATE SEASON AND WINTER CONSTRUCTION, RESTORATION/LAND-SCAPING OF THE SITE SHALL ALL OCCUR NO LATER THAN JUNE 1 OF THE NEXT CONSTRUCTION SEASON. EROSION CONTROL MEASURES SHALL REMAIN INTACT UNTIL FINAL RESTORATION OF THE SITE IS COMPLETE. FABRIC INSIDE THE INLET AND CATCH BASIN GRATING SHALL BE REMOVED AS SOON AS FREEZING WEATHER EROSION CONTROL PRACTICES REMOVED OR DAMAGED DUE TO WINTER WEATHER SHALL BE REPLACED IN THE SPRING IMMEDIATELY AFTER THE THAW.
- EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF THE WORK DAY.
- INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE A WEEK AND AFTER ANY RAINFALL OF 0.5 INCHES OR MORE AND MAKE NEEDED REPAIRS.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AT THE CONCLUSION OF CONSTRUCTION AFTER STABILIZATION OF DISTURBED SOIL HAS OCCURRED.
- ADJACENT STREET INLETS SHALL BE PROTECTED WITH WISDOT TYPE D-M INLET PROTECTION. INLET PROTECTION SHALL BE REMOVED WHEN DISTURBED AREAS FLOWING TO THE INLET ARE RESTORED OR HAVE OTHER PROTECTIVE MEASURES IN PLACE.
- FILLED/DISTURBED OUTLOTS SHALL BE SEEDDED WITHIN 10 DAYS AFTER GRADES HAVE BEEN REACHED.
- SILT FENCE AND OTHER EROSION CONTROL DEVICES THAT ARE TEMPORARILY REMOVED FOR CONSTRUCTION ACTIVITY MUST BE REPLACED AS SOON AS THOSE ACTIVITIES ARE COMPLETED.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING AND DISPOSING OF EROSION CONTROL DEVICES ONCE CONSTRUCTION IS COMPLETED AND VEGETATION HAS BEEN ESTABLISHED.
- AIRBORNE DUST SHALL BE CONTROLLED BY WATERING ALL DISTURBED SOIL AREAS AND GRAVEL DRIVES WHERE WHEEL TRAFFIC IS PRESENT AND MOISTURE CONTENT OF THE SURFACE IS LOW ENOUGH TO ALLOW DUST EMISSION.

INSPECTION & MAINTENANCE:

CONSTRUCTION INSPECTION & MAINTENANCE PLAN

ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.5 INCHES OR GREATER. CONTRACTOR SHALL MAINTAIN WEEKLY WRITTEN REPORTS OF ALL INSPECTIONS AS NECESSARY TO MEET THE TOWN & COUNTY ORDINANCE, UNTIL THE SITE HAS UNDERGONE FINAL STABILIZATION AND RECEIVED FINAL ACCEPTANCE FROM THE TOWN & COUNTY. LOGS ARE TO BE KEPT ON SITE, AND SHALL INCLUDE THE FOLLOWING:

- TIME, DATE AND LOCATION OF INSPECTION.
- PERSONNEL COMPLETING THE INSPECTION.
- CURRENT PHASE OF THE CONSTRUCTION AT THE TIME THE INSPECTION IS OCCURRING.
- SPECIFIC ASSESSMENT OF EROSION CONTROL DEVICES.
- SPECIFIC DESCRIPTION OF MAINTENANCE OR REPAIR REQUIRED ON THE EROSION CONTROL DEVICES.
- DATE AND TIME WHEN THE REQUIRED MAINTENANCE OR REPAIRS WERE MADE.

CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROLS FOR STRUCTURAL DAMAGE, EROSION, SEDIMENT ACCUMULATION, OR ANY OTHER UNDESIRABLE CONDITION. CONTRACTOR SHALL REPAIR ANY DAMAGED STRUCTURES PRIOR TO THE END OF THE WORKING DAY. SEDIMENT SHALL BE REMOVED FROM EROSION CONTROL DEVICES WHEN THE DEPTH OF SEDIMENT HAS ACCUMULATED TO ONE HALF THE HEIGHT OF THE DEVICE. ERODED OR TRACKED SEDIMENT SHOULD BE CLEANED FROM ROADWAYS BEFORE THE END OF THE BUSINESS DAY ON WHICH IT ACCUMULATED.

IN ADDITION TO THESE REQUIREMENTS, THE CONTRACTOR IS REQUIRED TO MEET ALL ADDITIONAL TOWN OR COUNTY REQUIREMENTS AS STATED ON PERMITS AND ON THE CONSTRUCTION PLAN SHEETS.

AMENDMENTS:

THE CONTRACTOR IS RESPONSIBLE FOR AMENDING THE EROSION & SEDIMENT CONTROL PLAN IF: THERE IS A CHANGE IN CONSTRUCTION, OPERATION OR MAINTENANCE AT THE SITE WHICH HAS THE REASONABLE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS; THE ACTIONS REQUIRED BY THE PLAN FAIL TO REDUCE THE IMPACTS OF POLLUTANTS CARRIED BY CONSTRUCTION SITE RUNOFF; OR IF THE TOWN OR COUNTY NOTIFIES THE APPLICANT OF CHANGES NEEDED IN THE PLAN. THE TOWN & COUNTY SHALL BE NOTIFIED 5 WORKING DAYS PRIOR TO MAKING CHANGES TO THE PLAN.

THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING BEST MANAGEMENT PRACTICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES BY THE END OF THE WORK DAY. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING BEST MANAGEMENT PRACTICES TEMPORARILY REMOVED FOR CONSTRUCTION ACTIVITY AS SOON AS THOSE ACTIVITIES ARE COMPLETED. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND DISPOSING OF TEMPORARY BEST MANAGEMENT PRACTICES AFTER CONSTRUCTION IS COMPLETE AND PERMANENT VEGETATION IS ESTABLISHED.

KEY NOTES

CONSTRUCTION EROSION & SEDIMENT CONTROL PRACTICES

The following erosion and sediment control practices apply only to the proposed site development at Legacy Park Apartments. Site development equipment that is expected to be used will include backhoes, front end loaders and bulldozers.

All erosion and sediment control practices shall be in accordance with the Wisconsin Construction Site Technical Standards. Erosion and sediment control practices shall be in place prior to disturbing the site. Erosion and sediment control practices that may be used for this project are described as follows:

- Clear Stone, Hay Bale or Manufactured Ditch Check** - Purpose is to reduce runoff velocity in channels, ditches, or swales in order to allow larger sediment particles to settle.
- Rip-Rap Protection** - Rip-rap and filter fabric prevent scour and erosion from occurring within streams, channels, ditches, swales, culvert outlets, or storm sewer outlets.
- Silt Fence** - Purpose is to intercept and detain sheet flow runoff from disturbed areas for sufficient time to allow larger sediment particles to settle out.
- Construction Entrance** - Construction entrances reduce the amount of mud transported onto public roads by vehicles, equipment, and storm water runoff.
- Street Sweeping** - Street sweeping collects mud that is transported onto public roads by vehicles, equipment and storm water runoff.
- Mulching** - Purpose is to reduce erosion by dissipating raindrop impact energy and reducing sheet flow velocity. Mulching also fosters grass seed growth. Mulching shall be performed within 7 days of the end of active soil disturbance.
- Seeding** - Purpose is to stabilize disturbed areas by planting grass seed in order to minimize erosion and reduce runoff velocity. Seeding shall be performed within 7 days of the end of active soil disturbance.
- Erosion Blankets** - Erosion blankets protect disturbed slopes and ditches from erosion.

ANTICIPATED CONSTRUCTION GRADING & EROSION CONTROL PLAN

This sequence is approximate. Days are measured as working days, not calendar days. Work tasks could be done concurrently. Construction is estimated to begin in September 2023.

- Hold preconstruction conference.
- Install gravel construction entrance and erosion control provisions as shown on the plan. (Days 1-2)
- Contact the town and county to notify them that the site grading is to begin and erosion control is installed. (Day 3)
- Strip topsoil & remove trees from areas where parking lot and buildings are to be constructed. Stockpile material on site. (Days 4-5)
- Complete storm sewer and private water/sanitary main construction. Install outlet protection at the stormwater device outlet structure. (Days 6-25)
- Fill and rough grade site as deemed necessary by the contractor. Stockpile excess material on site. (Day 26-40)
- Complete substantial fine grading, seed and mulch where construction has completed. (Days 41-50)
- Begin and finalize substantial building construction for phase 1 of apartment construction. (Days 51-150)
- Finalize pavement construction around finished buildings. (Days 151-165)
- Complete fine grading and landscaping. Permanently stabilize disturbed areas, cut and fill areas, and lawn areas. (Days 165-170)
- Remove all erosion control measures once soil is at least 80% stabilized.

CONSTRUCTION INSPECTION & MAINTENANCE PLAN

All temporary and permanent erosion and sediment controls shall be inspected by the contractor every 7 days and within 24 hours after a precipitation event of 0.5 inches or greater. Contractor shall maintain weekly written reports of all inspections as necessary to meet the Town & County ordinances, until the site has undergone final stabilization and received final acceptance from the Town & County. Logs are to be kept on site, and shall include the following:

- Time, date and location of inspection.
- Personnel completing the inspection.
- Current phase of the construction at the time the inspection is occurring.
- Specific assessment of erosion control devices.
- Specific description of maintenance or repair required on the erosion control devices.
- Date and time when the required maintenance or repairs were made.

Contractor shall inspect erosion and sediment controls for structural damage, erosion, sediment accumulation, or any other undesirable condition. Contractor shall repair any damaged structures prior to the end of the working day. Sediment shall be removed from erosion control devices when the depth of sediment has accumulated to one half the height of the device. Eroded or tracked sediment should be cleaned from roadways before the end of the business day on which it accumulated.

In addition to these requirements, the contractor is required to meet all additional Town & County regulations as stated on permits and on the construction plan sheets.

POST CONSTRUCTION WATER QUALITY, PEAK FLOW

This site eventually drains to a navigable stream tributary to Little Lake Butte Des Morts, which is not listed on the State's 303d list of impaired waters. The use of stormwater devices, and good housekeeping maintenance practices will help to maintain the quality of the navigable stream:

- Detention ponds are used to trap suspended and dissolved solids prior to discharge.
- Detention ponds reduce peak flow rates & erosive stormwater discharge velocities.
- Fertilizers used on the lawn during the construction restoration process, and during post construction site maintenance, are to have low/no phosphorous component. At the discretion of the owner, fertilizer should be based on a soil sample from a trusted soil scientist.

zlaabs, WI PROJECTS C1069 092300344 CADD Civil3D Plan Sheets Cover-Notes-Details.dwg, 16 erosion control notes, Plot Date: 7/17/2023 7:54 AM, xref:stone

Item C.
MCMAHON ASSOCIATES, INC.
1445 MCMAHON DRIVE NEENAH, WI 54956
Mailing: P.O. BOX 1025 NEENAH, WI 54956
PH 920.751.4200 FAX 920.751.4284

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NO.	DATE	REVISION

LEGACY PARK APARTMENTS
TOWN OF CLAYTON, WINNEBAGO COUNTY, WI
EROSION CONTROL NOTES

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00344	
DATE JUNE 2023	
SHEET NO. 157	

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DSPS STORMWATER CALCULATIONS

LEGACY PARK APARTMENTS - WEST (LOT 4)									
Catch Basin	Area (SF)	Rooftop (SF)	Pavement (SF)	Green Space (SF)	Flow (GPM)	Combined Flow (GPM)	Capacity (GPM)	Pipe Size @ Slope	
1	44583	6540	4437	33606	711	711	817	10" @ 0.5%	
2	10539	4360	570	5609	239	239	453	8" @ 0.5%	
3	18917	4360	8689	5868	491	731	817	10" @ 0.5%	
4	18178	0	13151	5027	453	1895	2423	15" @ 0.5%	
5	19526	8719	1140	9667	463	463	817	10" @ 0.5%	
6	10417	0	8523	1894	280	2639	3065	15" @ 0.8%	
7	19378	8719	1140	9519	462	462	817	10" @ 0.5%	
8	6181	0	5276	905	171	3272	5886	15" @ 2.95%	
9	9805	4360	570	4875	232	232	453	8" @ 0.5%	
10	17718	4360	8498	4860	476	708	817	10" @ 0.5%	
11	10043	0	7116	2927	247	955	1334	12" @ 0.5%	
12	10766	0	8477	2289	283	4510	5927	21" @ 0.5%	
13	9994	4360	0	5635	222	222	1222	8" @ 3.64%	
14	17987	4360	8502	5126	479	5210	5927	21" @ 0.5%	
15	4009	0	4009	0	123	123	696	8" @ 1.18%	
16	25942	2180	3175	20587	379	503	817	10" @ 0.5%	
17	20636	4360	9025	7252	515	1018	1334	12" @ 0.5%	
18	6375	0	6375	0	196	196	906	8" @ 2.00%	
19	10599	4360	1650	4590	263	263	774	8" @ 1.46%	
20	18387	4360	8474	5554	482	744	1392	10" @ 1.45%	
21	19477	2180	9793	7504	457	2416	2423	15" @ 0.5%	
22	20489	8719	1140	10630	473	473	614	8" @ 0.92%	
23	5711	0	5711	0	176	176	825	8" @ 1.66%	
24	11264	2180	4994	4090	277	3341	4429	15" @ 1.67%	
25	29906	4360	13937	11610	708	4049	4429	15" @ 1.67%	
MH 26	0	0	0	0	0	9259	9739	21" @ 1.35%	

LEGACY PARK APARTMENTS - EAST (LOT 5)									
Catch Basin	Area (SF)	Rooftop (SF)	Pavement (SF)	Green Space (SF)	Flow (GPM)	Combined Flow (GPM)	Capacity (GPM)	Pipe Size @ Slope	
E1	29199	0	13952	15247	576	576	817	10" @ 0.5%	
E2	20149	4360	8977	6813	509	1085	1334	12" @ 0.5%	
E3	10930	4360	570	6000	243	243	995	8" @ 2.41%	
E4	20041	4360	9132	6549	512	1840	2544	12" @ 1.82%	

NOTES

8" SANITARY MAINS SHALL BE SDR 35 PVC

6" SANITARY LATERALS SHALL BE SCHEDULE 40 PVC

8" WATER MAIN SHALL BE C909 PVC

4" WATER SERVICES SHALL BE C900 PVC

STORM SEWER PIPE SHALL BE PVC OR HDPE

DRAINAGE FIXTURE CALCULATIONS

MANHOLE 9 (WEST/LOT 4):
(240 dfu per 12 Unit Building) X 3 Buildings = 720 dfu

MANHOLE 9 (EAST/LOT 5):
(240 dfu per 12 Unit Building) X 3 Buildings = 720 dfu

MANHOLE 10 (WEST/LOT 4):
(240 dfu per 12 Unit Building) X 9 Buildings = 2,160 dfu

WATER SUPPLY FIXTURE CALCULATIONS

WEST (LOT 4):
(144 wsfu per 12 Unit Building) X 12 Buildings = 1,728 wsfu

EAST (LOT 5):
(144 wsfu per 12 Unit Building) X 3 Buildings = 432 wsfu

Item C.

McMAHON

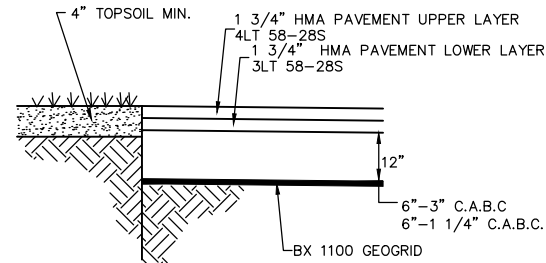
McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE WEEHAW, WI 53095
Mailing: P.O. BOX 1025 WEEHAW, WI 53095
PH 920.751.4200 FX 920.751.4284 MCMAHON.COM

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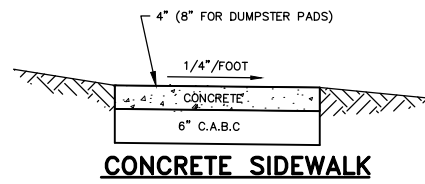
NO.	DATE	REVISION

LEGACY PARK APARTMENTS
TOWN OF CLAYTON, WINNEBAGO COUNTY, WI
DSPS STORMWATER CALCULATIONS

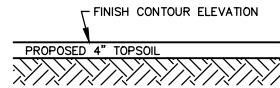
DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00344	
DATE JUNE 2023	
SHEET NO. 158	



STANDARD PARKING LOT PAVEMENT DETAIL

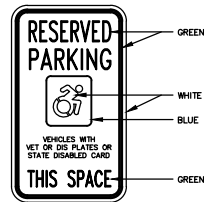


CONCRETE SIDEWALK



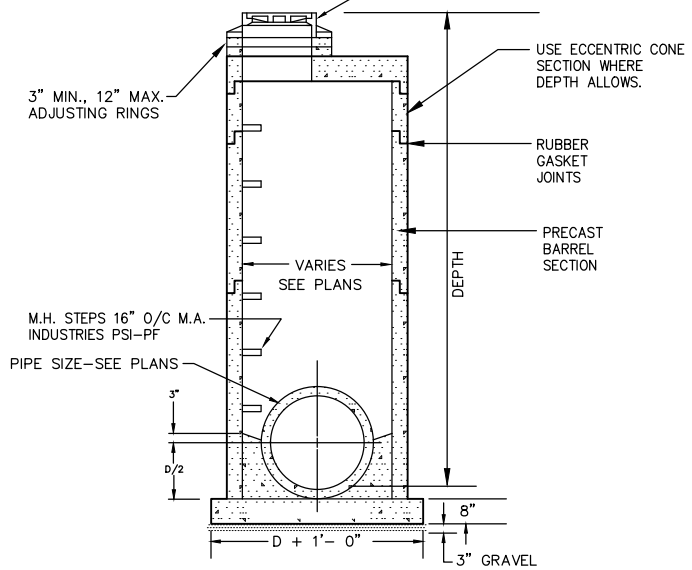
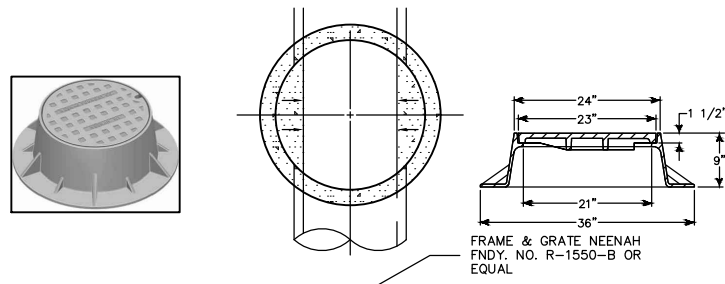
TYPICAL LANDSCAPED SECTION

USE CLASS 1 TYPE A EROSION MAT ON SIDE SLOPES 5:1 OR STEEPER.

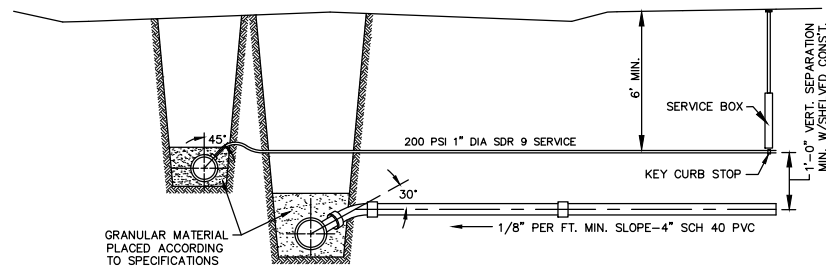


THE NEW OFFICIAL SIGN FOR HANDICAPPED PARKING SPACES.

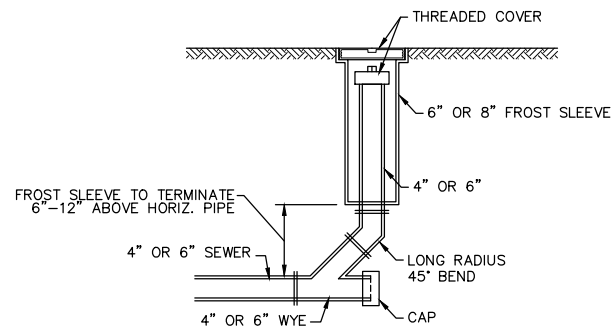
H.C. PARKING SIGN
2\"/>



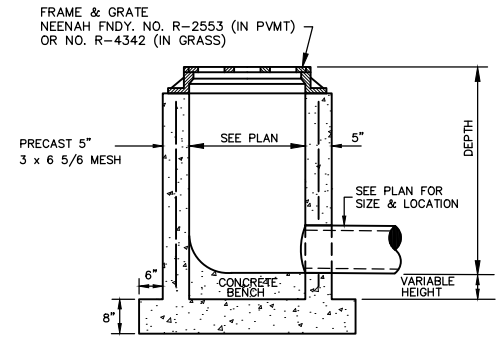
STORM MH DETAIL



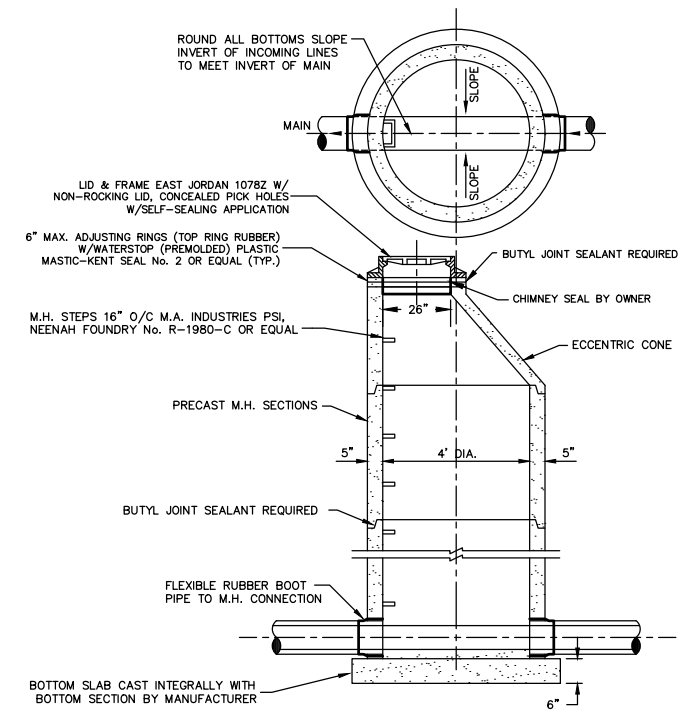
TYPICAL CONNECTION SEWER & WATER



SANITARY SEWER CLEANOUT



CATCH BASIN DETAIL



STANDARD PRECAST SANITARY MANHOLE

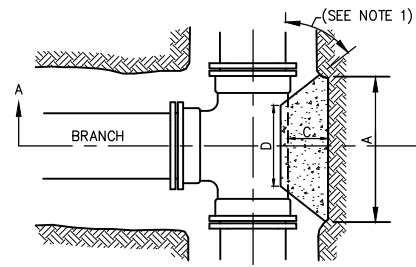
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NO.	DATE	REVISION

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00344	
DATE JUNE 2023	
SHEET NO.	

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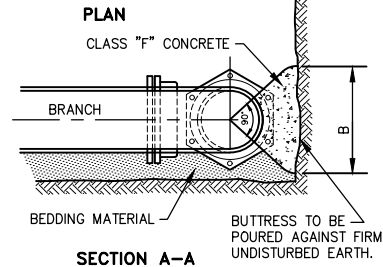
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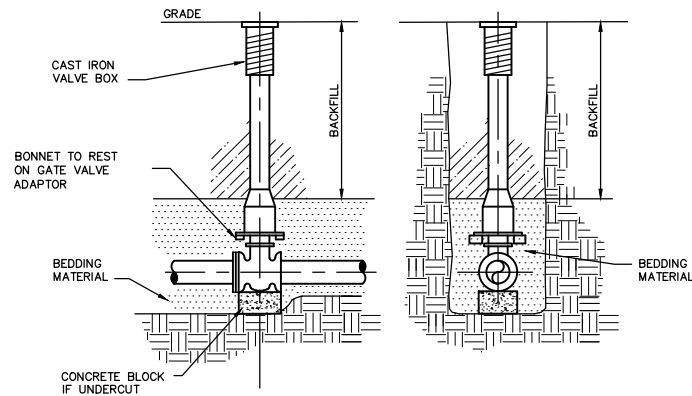
BUTTRUSS DIMENSIONS				
B.D.	A	B	C	D
6"	1'-3"	1'-0"	SEE NOTE 1	SEE NOTE 2
8"	1'-6"	1'-4"		
12"	2'-3"	2'-0"		
16"	3'-2"	2'-6"		
20"	4'-0"	3'-0"		
24"	5'-3"	3'-4"		
30"	6'-6"	4'-3"		

B.D. = BRANCH DIAMETER

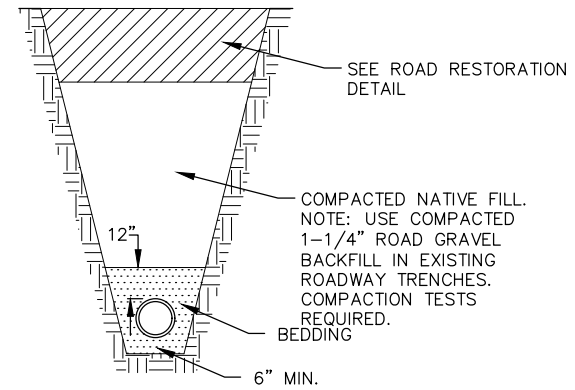
- NOTES:
- DIMENSION "C" SHOULD BE LARGE ENOUGH TO MAKE ANGLE EQUAL TO OR LARGER THAN 45°.
 - DIMENSION "D" EQUALS APPROX. I.D. OF PIPE LESS 2". AN EFFORT SHOULD BE MADE TO PREVENT THE CONCRETE FROM COVERING THE M.J. BOLTS.
 - WHERE BUTTRUSSES ARE NOT POSSIBLE BECAUSE OF POOR SOIL CONDITIONS OR LACK OF ROOM, STRAPPING SHALL BE PERMITTED.
 - DIMENSIONS IN TABLE ARE BASED ON A WATER PRESSURE OF 150 P.S.I. AND ON EARTH RESISTANCE OF 2 TONS PER SQ. FT.
 - ALL IRON PIPE AND FITTINGS SHALL BE WRAPPED IN POLYETHYLENE.



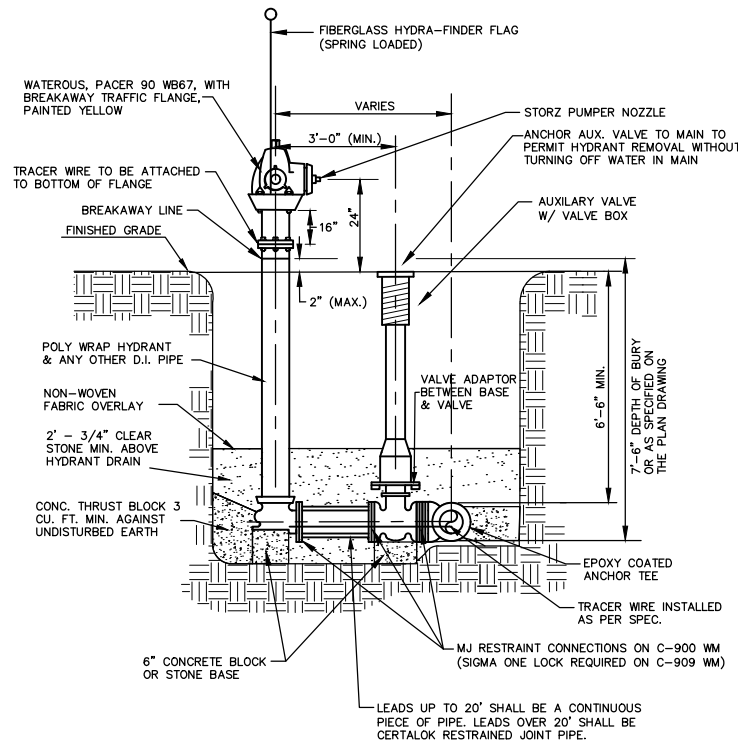
BLOCKING FOR TEES



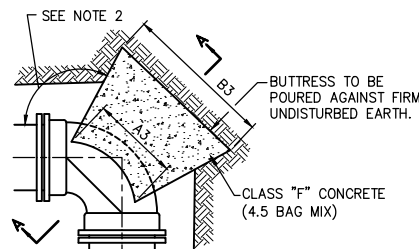
**SIDE VIEW FRONT VIEW
STANDARD VALVE & VALVE BOX SETTING**



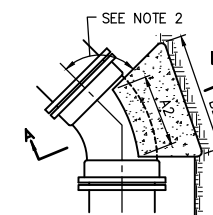
TYPICAL TRENCH DETAIL



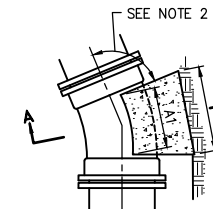
HYDRANT & VALVE INSTALLATION DETAIL



PLAN - 90° BEND



PLAN - 45° BEND



PLAN - 22-1/2° BEND

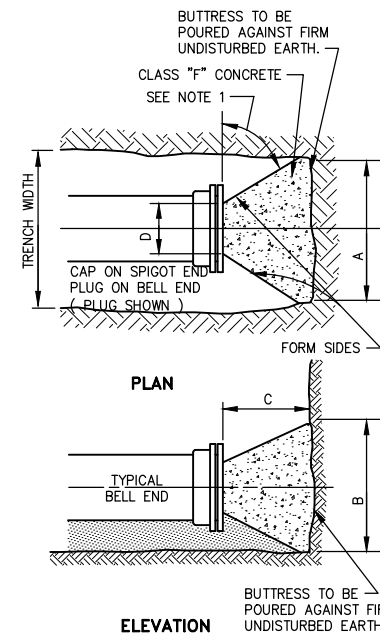
- NOTES:
- DIMENSIONS IN TABLE ARE BASED ON A WATER PRESSURE OF 150 P.S.I. AND ON EARTH RESISTANCE OF 2 TONS PER SQ. FT.
 - DIMENSION C1-3 SHOULD BE LARGE ENOUGH TO MAKE ANGLE EQUAL TO OR LARGER THAN 45°.
 - DIMENSION A1-3 SHOULD BE AS LARGE AS POSSIBLE WITHOUT INTERFERING WITH M.J. BOLTS.
 - SHAPE OF BACK OF BUTTRUSS MAY VARY AS LONG AS POUR IS AGAINST FIRM UNDISTURBED EARTH.
 - ALL IRON PIPE AND FITTINGS SHALL BE WRAPPED IN POLYETHYLENE.

PIPE SIZE	22-1/2° BENDS		45° BENDS		90° BENDS	
	B1	D1	B2	D2	B3	D3
6"	1'-0"	1'-0"	1'-0"	1'-0"	1'-4"	1'-2"
8"	1'-0"	1'-0"	1'-4"	1'-2"	1'-10"	1'-6"
12"	1'-4"	1'-4"	1'-10"	1'-10"	2'-0"	2'-3"
16"	1'-10"	1'-8"	2'-6"	2'-4"	3'-10"	2'-10"
20"	2'-4"	2'-0"	3'-3"	2'-10"	3'-0"	3'-4"
24"	2'-10"	2'-4"	4'-0"	3'-3"	6'-4"	3'-10"
30"	3'-6"	3'-0"	5'-4"	3'-10"	8'-0"	4'-8"

CONCRETE SHALL BE IN CONTACT WITH THIS QUADRANT OF PIPE, AT LEAST.

APPROX. 1:1 SLOPE WHERE DEPTH BELOW PIPE EXCEEDS 6"

BLOCKING FOR BENDS



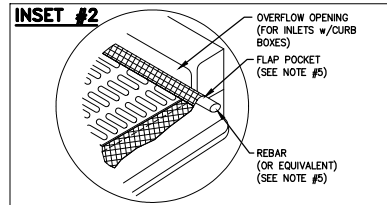
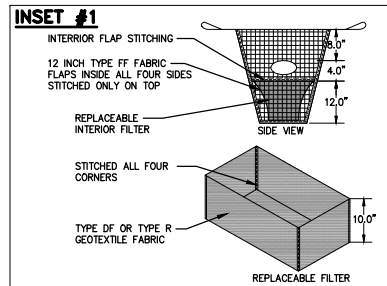
BLOCKING FOR PLUGS

BUTTRUSS DIMENSIONS				
DIA.	A	B	C	D
6"	1'-6"	1'-2"	SEE NOTE 2	SEE NOTE 3
8"	2'-0"	1'-4"		
12"	2'-5"	1'-10"		
16"	3'-4"	2'-4"		
20"	4'-3"	2'-10"		
24"	5'-2"	3'-4"		
30"	6'-9"	4'-0"		

- NOTES:
- DIMENSIONS IN TABLE ARE BASED ON A WATER PRESSURE OF 150 P.S.I. AND ON EARTH RESISTANCE OF 2 TONS PER SQ. FT.
 - DIMENSION C SHOULD BE LARGE ENOUGH TO MAKE ANGLE EQUAL TO OR LARGER THAN 45°.
 - DIMENSION D SHOULD BE AS LARGE AS POSSIBLE WITHOUT INTERFERING WITH M.J. BOLTS.
 - SHAPE OF BACK OF BUTTRUSS MAY VARY AS LONG AS POUR IS AGAINST FIRM UNDISTURBED EARTH.
 - ALL IRON PIPE AND FITTINGS SHALL BE WRAPPED IN POLYETHYLENE.

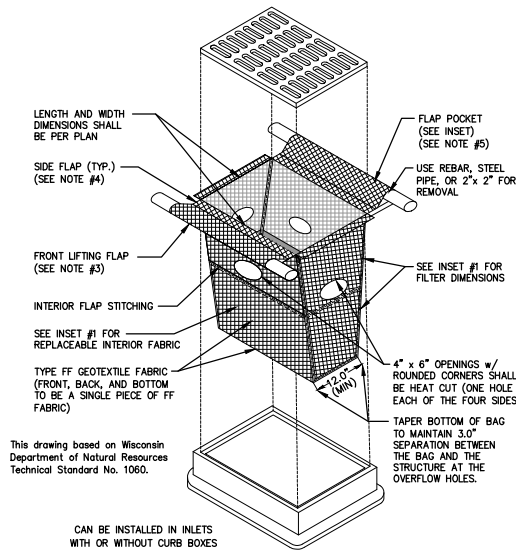
LEGACY PARK APARTMENTS
 TOWN OF CLAYTON, WINNEBAGO COUNTY, WI
 MISCELLANEOUS DETAILS

DESIGNED ZRL
 DRAWN ZRL
 PROJECT NO. C1069-09-23-00344
 DATE JUNE 2023
 SHEET NO.



- GENERAL NOTES**
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
 2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG, FRONT, BACK, AND BOTTOM OF FILTER BAG BEING ONE PIECE.
 3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
 4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG, FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
 5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" x 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

INLET PROTECTION, TYPE D-M

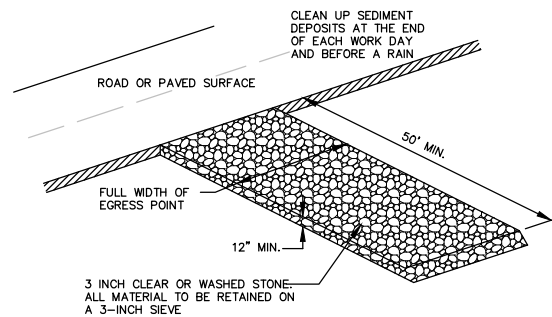


- MAINTENANCE NOTES**
1. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

**INLET PROTECTION, TYPE B
WITHOUT CURB BOX**

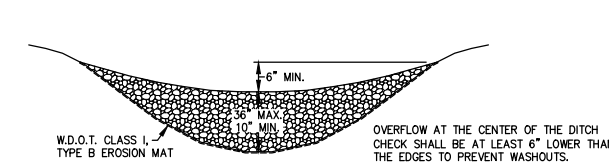
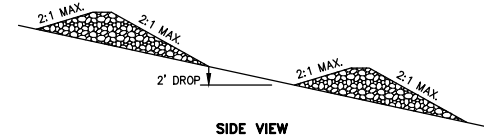
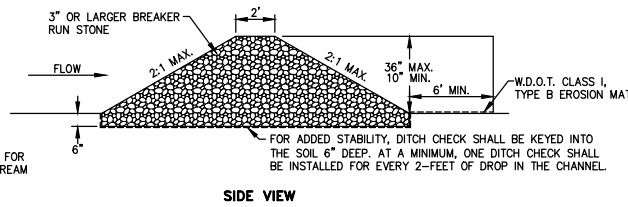
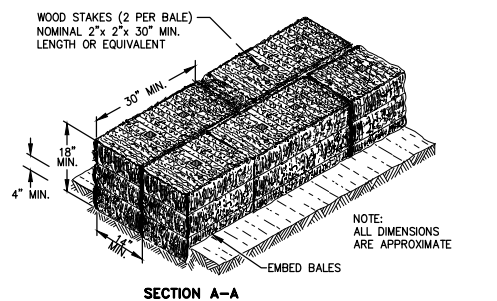
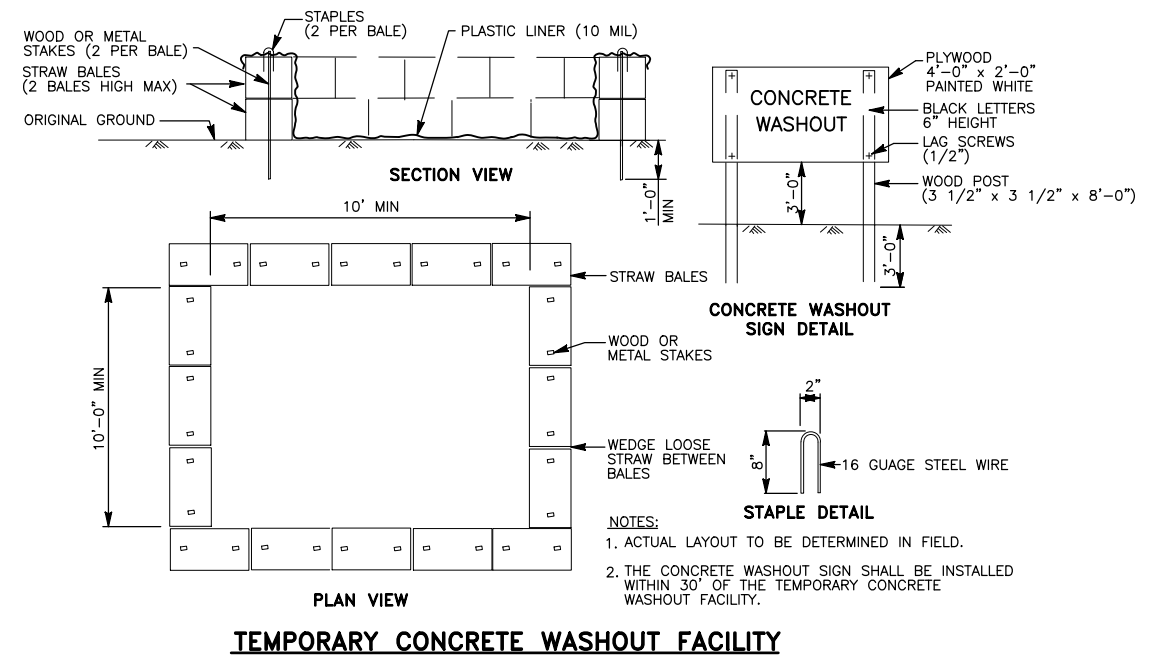
- MAINTENANCE NOTES**
1. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

STORM DRAIN INLET PROTECTION

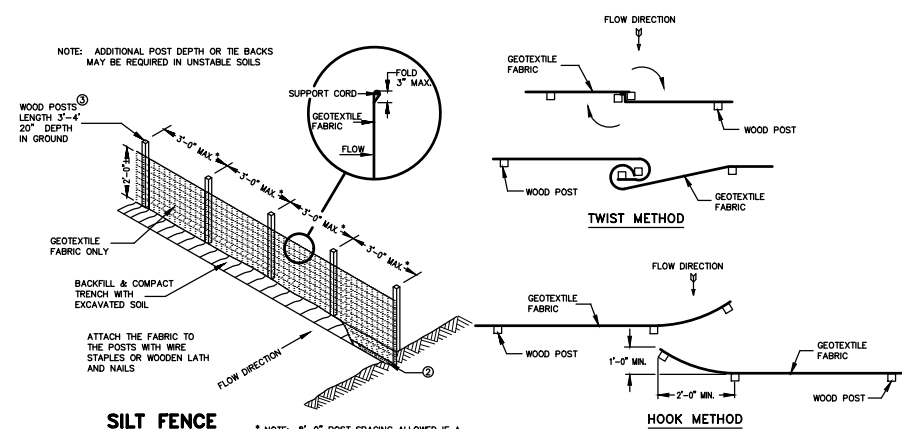
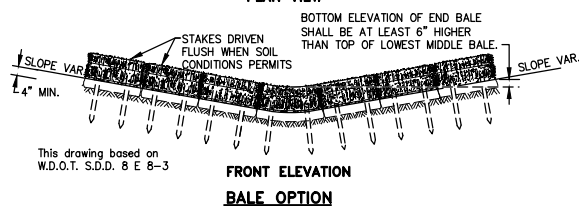
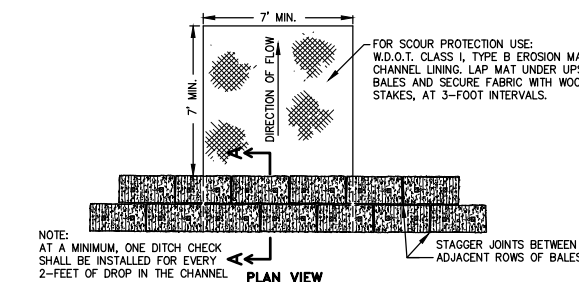


TRACKOUT CONTROL DETAIL

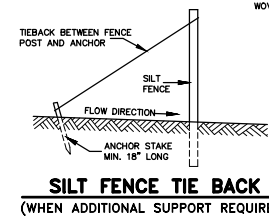
1. DIVERT FLOW AWAY FROM TRACKING PAD USING CULVERTS, SHALLOW TRENCH OR DIVERSION DAM.
2. ROCKS LODGED BETWEEN THE TIRES OF DUAL VEHICLES SHALL BE REMOVED PRIOR TO LEAVING THE SITE.
3. ON SITES WITH A HIGH WATER TABLE OR SATURATED SOILS, INSTALL A DOT TYPE R GEOTEXTILE FABRIC UNDER STONE TRACKING PAD.
4. MAINTAIN UNTIL SITE IS PAVED/STABILIZED
5. USING A FODS TRACKOUT SYSTEM INSTEAD OF THE STONE-BASED TRACKOUT CONTROL SYSTEM IS ACCEPTABLE.



DITCH CHECK DETAIL



SILT FENCE



JOINING TWO LENGTHS OF SILT FENCE

- GENERAL NOTES**
1. HORIZONTAL BRACE REQUIRED WITH 2" x 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
 2. TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
 3. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1" x 1" OF OAK OR HICKORY.
 4. SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
 5. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B) HOOK THE END OF EACH SILT FENCE LENGTH.

TRENCH DETAIL

1445 McMAHON DRIVE WEEHAW, WI 53085
 Mailing: P.O. BOX 1026 WEEHAW, WI 53085
 PH 920.751.4200 FX 920.751.4284 MCMAHON ASSOCIATES, INC.

Item C.

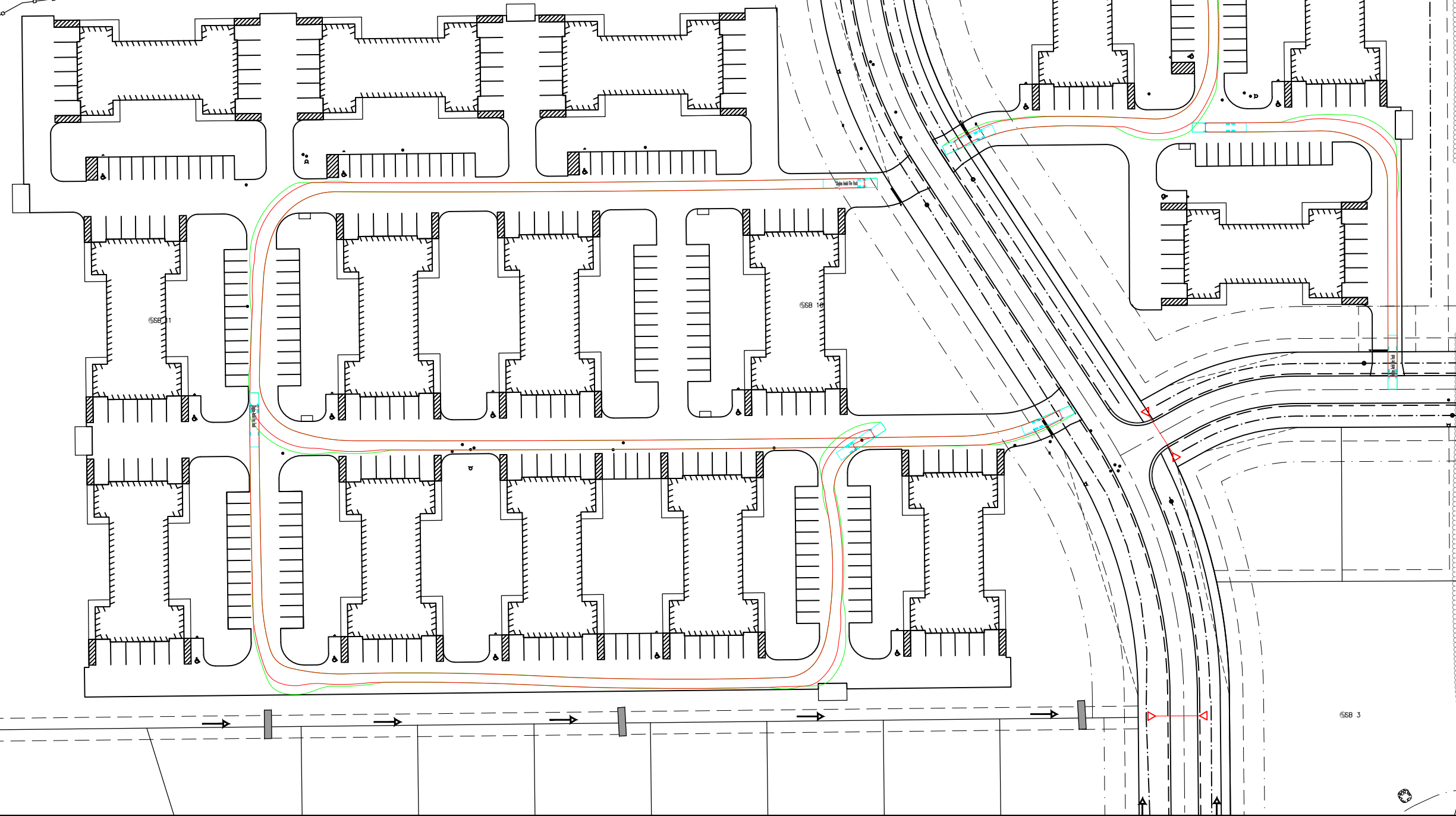
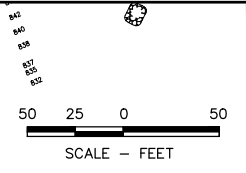
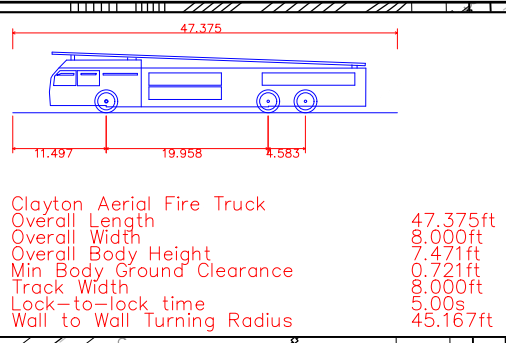
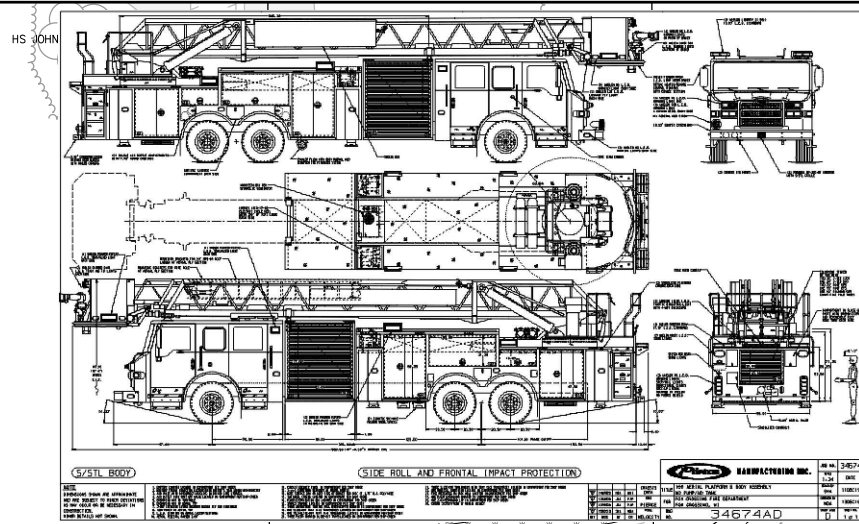
McMAHON ASSOCIATES, INC.
 1445 McMAHON DRIVE WEEHAW, WI 53085
 Mailing: P.O. BOX 1026 WEEHAW, WI 53085
 PH 920.751.4200 FX 920.751.4284 MCMAHON ASSOCIATES, INC.

NO.	DATE	REVISION

LEGACY PARK APARTMENTS
TOWN OF CLAYTON, WINNEBAGO COUNTY, WI
MISCELLANEOUS DETAILS

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. C1069-09-23-00344	
DATE JUNE 2023	
SHEET NO. 161	

Z:\projects\C1069\092300344\CADD\Civil3D\Plan_Streets\Vehicle Turning - Legacy Park Apartments.dwg, 21 vehicle turning templates, Plot Date: 7/7/2023 7:54 AM, xref:stone



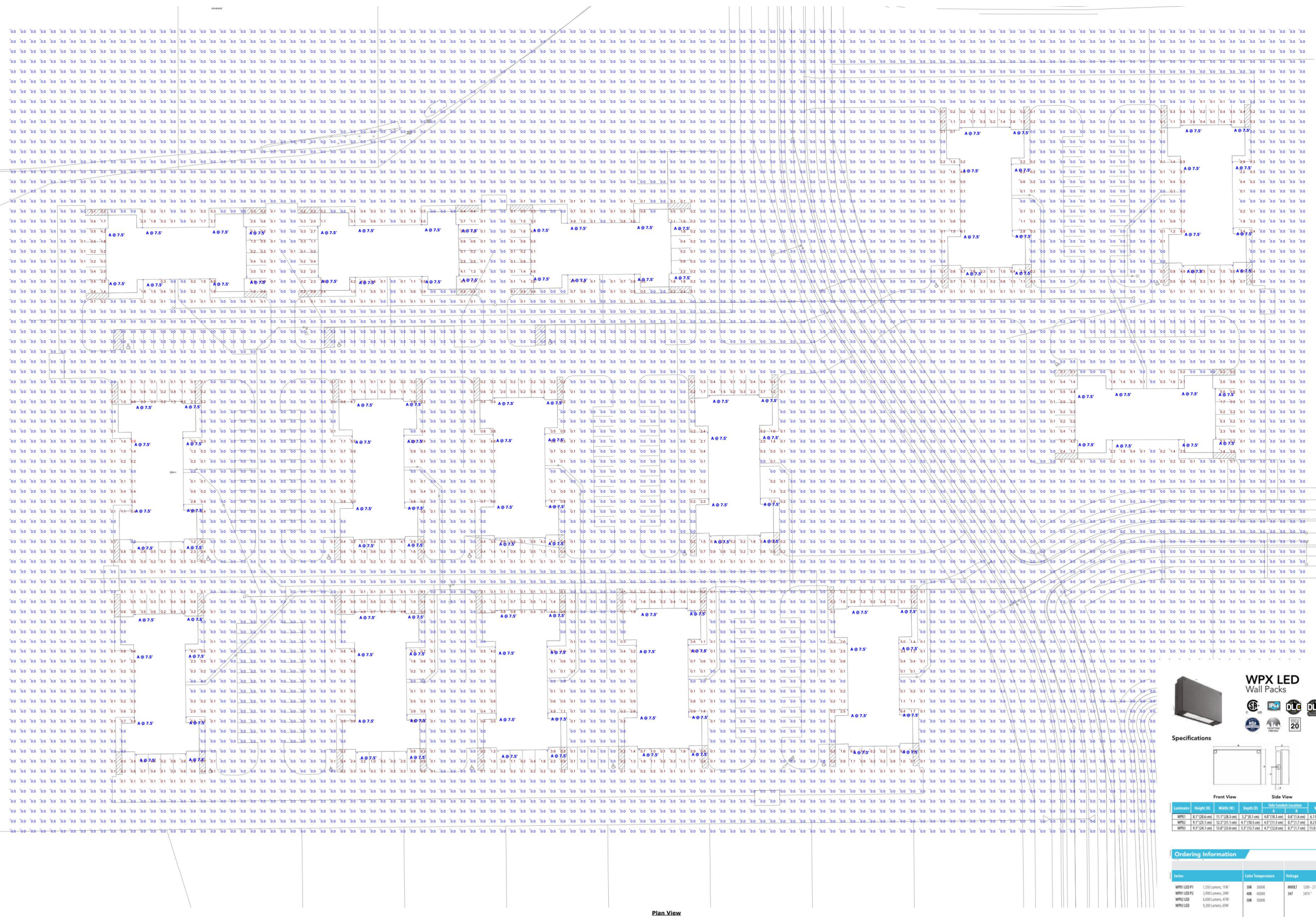
Item C.

McMAHON
ENGINEERS & ARCHITECTS, INC.
McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O. BOX 1025 NEENAH, WI 54956
PH 920.751.4200 FX 920.751.4284 MCMAHON.COM

NO.	DATE	REVISION

DESIGNED ZRL
DRAWN ZRL
PROJECT NO. C1069-09-23-00344
DATE JUNE 2023
SHEET NO. 162

LEGACY PARK APARTMENTS
TOWN OF CLAYTON, WINNEBAGO COUNTY, WI
VEHICLE TURNING TEMPLATES



Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	File Name	Number Lamps	Lamp Output	Intensity Multiplier	LED	Total Output	Input Power	Efficiency	Distribution	Polar Plot
	A		120	Lithonia Lighting	WPX LED P1 30K Mvolt	WPX LED wallpack 1500lm 3000K color temperature 120-277 Volts	WPX_LED_P1_30K_Mvolt.us	1	1537	1	0.95	1537	11.49	100%	TYPE III, SHORT, BUG RATING: BI - U - G1	

Description	Symbol	Avg	Max	Min	Max/Min Avg/Min
Cec Zone #3		6.1 E	6.9 E	6.0 E	N/A

WPX LED Wall Packs

Specifications

Model	Height (ft)	Width (ft)	Depth (ft)	Color Correlated Color Temperature (K)	Beam Angle
WPX1	11.00	1.25	1.25	4000	41.00
WPX2	12.00	1.25	1.25	4000	41.00
WPX3	13.00	1.25	1.25	4000	41.00

Ordering Information

EXAMPLE: WPX2 LED 40K MVOLT DBB/D

Series	Color Temperature	Voltage	System	Finish
WPX1 LED P1	30K 3000K	120V - 277V	None	DBB/D Dark Bronze
WPX1 LED P2	40K 4000K	347 347V ¹	EMER	DBB/D White
WPX1 LED	5000K 5000K	None	EMER	Black
WPX1 LED	5000K 5000K	None	EMER	PE Phosphor

NOTES:

- All WPX wall packs come with 50k surge protection standard, except WPX1 LED P1 package which comes with 2.5kV surge protection standard. Add (2500V) option to WPX1 LED P1.
- Sample non-fluorescent WPX1 LED P1 40K MVOLT SPOKED DBB/D.
- Battery pack options only available on WPX1 and WPX2.
- Battery pack options not available with 347V and PE options.

INSTALLATION:

The WPX LED wall packs are designed to provide a cost-effective, energy-efficient solution for the exterior lighting of buildings. The WPX1, WPX2 and WPX3 are ideal for wall mounting on 1/2", 3/4", 1" and 1 1/2" diameter pipes. The WPX1 LED P1 package comes with a standard surge protection (50k) and a standard surge protection (2.5kV) option. The WPX1 LED P1 package comes with a standard surge protection (50k) and a standard surge protection (2.5kV) option.

CONSTRUCTION:

WPX features a die-cast aluminum main body with optimal thermal management that both reduces LED efficacy and extends component life. The luminaires are IP66 rated and sealed against moisture and environmental contaminants.

ELECTRICAL:

Lights require configurations consist of high-efficiency LEDs and LED luminaires with minimum of 100,000 hours. Color temperature (CCT) options of 3000K, 4000K and 5000K with maximum CRI of 90. Electronic driver means lower power factor (PF) and THD. 20% All Luminaires have large surge protection (they WPX1 LED P1 package comes with a standard surge protection (50k) and a standard surge protection (2.5kV) option).

NOTE: The standard WPX LED wall pack luminaires come with field adjustable beam feature. This feature allows tuning the output corner of the LED driver to adjust the beam spread (to fit the luminaire).

Introduction

The WPX LED wall packs are energy-efficient, cost-effective, and aesthetically appealing solutions for both HID wall pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,550 to 9,200 lumens with a wide, uniform distribution.

The WPX full cut-off solutions fully cover the footprint of the HID glass wall packs that they replace, providing a neat installation and an upgraded appearance. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Photocell and emergency egress battery options make WPX ideal for every wall mounted lighting application.

Features & Specifications

INTENDED USE: The WPX LED wall packs are designed to provide a cost-effective, energy-efficient solution for the exterior lighting of buildings. The WPX1, WPX2 and WPX3 are ideal for wall mounting on 1/2", 3/4", 1" and 1 1/2" diameter pipes. The WPX1 LED P1 package comes with a standard surge protection (50k) and a standard surge protection (2.5kV) option. The WPX1 LED P1 package comes with a standard surge protection (50k) and a standard surge protection (2.5kV) option.

CONSTRUCTION: WPX features a die-cast aluminum main body with optimal thermal management that both reduces LED efficacy and extends component life. The luminaires are IP66 rated and sealed against moisture and environmental contaminants.

ELECTRICAL: Lights require configurations consist of high-efficiency LEDs and LED luminaires with minimum of 100,000 hours. Color temperature (CCT) options of 3000K, 4000K and 5000K with maximum CRI of 90. Electronic driver means lower power factor (PF) and THD. 20% All Luminaires have large surge protection (they WPX1 LED P1 package comes with a standard surge protection (50k) and a standard surge protection (2.5kV) option).

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McMAHON
Item C.

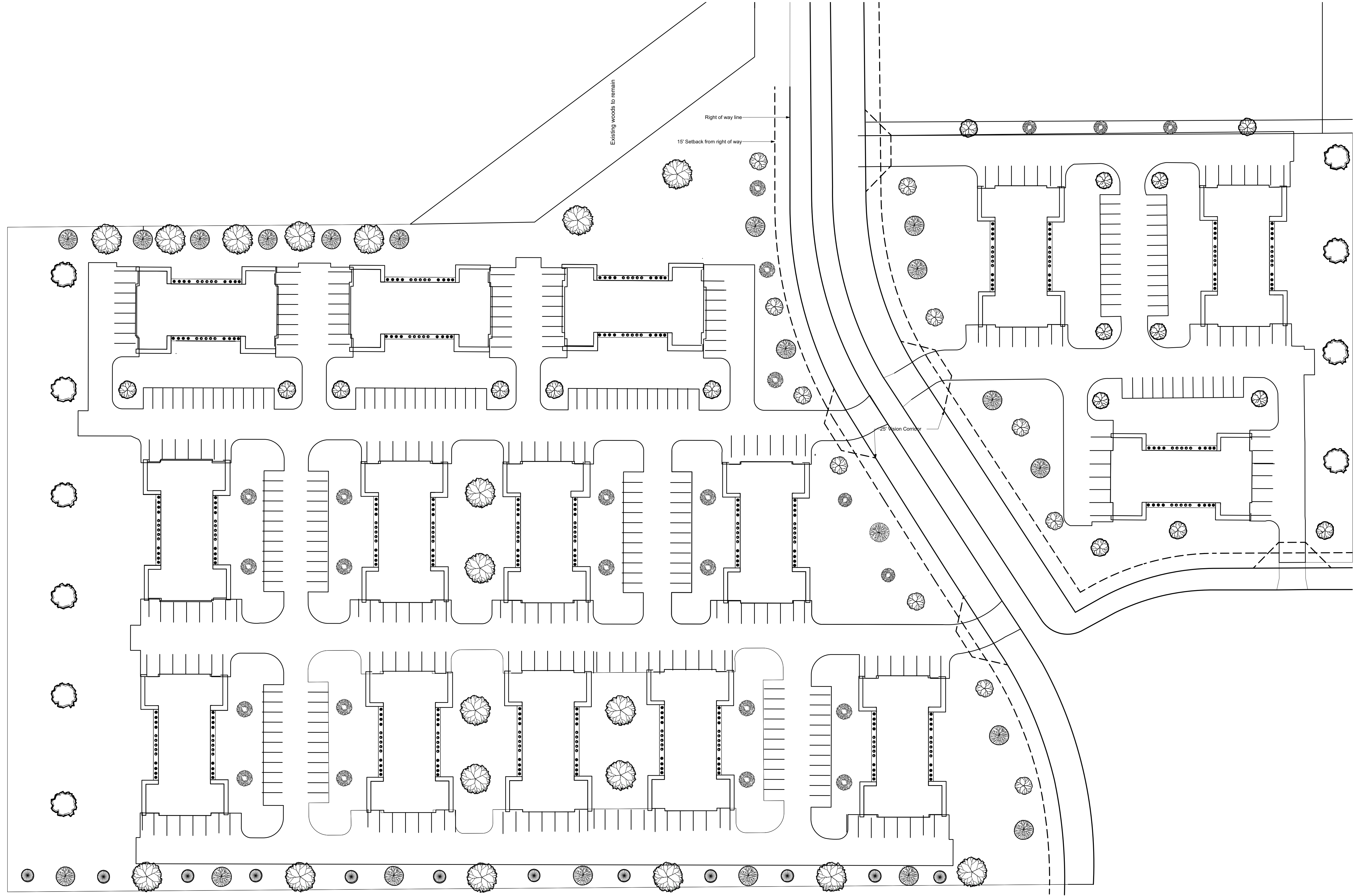
McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O. BOX 1025 NEENAH, WI 54956
PH 920.751.4200 FAX 920.751.4286

McMahon Associates, Inc. provides all instruments of service. All instruments of service are retained by McMahon Associates, Inc. The latest extent permitted by law, McMahon Associates, Inc. assumes no responsibility for any use of or reliance on any drawing or data without prior written consent of McMahon Associates, Inc.

NO.	DATE	REVISION

LEGACY PARK APARTMENTS
TOWN OF CLAYTON, WINNEBAGO COUNTY, WI
PHOTOMETRICS PLAN

DESIGNED	DRAWN
JAF	JRR
PROJECT NO.	
C1069-09-23-00344	
DATE	
JUNE 2023	
SHEET NO.	
163	



Scale: 1" = 50'-0"
Overall site design 1

Item C.

LIZER
LANDSCAPE & NURSERY

Some Cultivar, Always Sustainable, Specialty Nurseries

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Lizer Landscape & Nursery
2034 Bellevue St.
Green Bay, WI, 54311
Ph: 920-468-1813

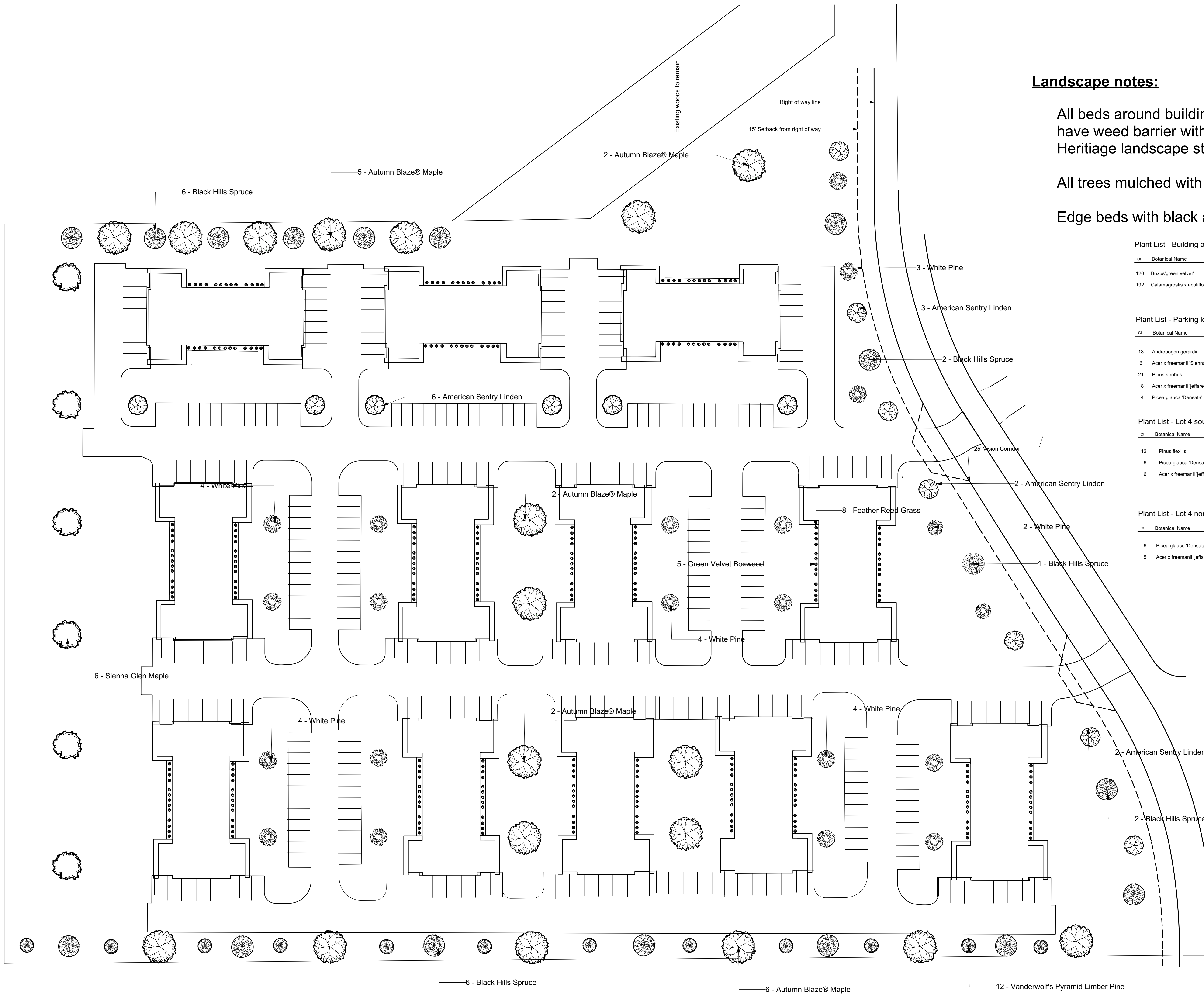
No.	Date	Description

Legacy Park Apartments
Landscape Design

Designed By	Date	6/1/2023
Drawn By	Company	Lizer Landscape & Nursery
Checked By	Project ID	
Reviewed By	Drawing Code	
Submitted By	CAD File Name	
Project Manager	Plot Date	

Scale: 1" = 50'

Sheet No. Overall Design of 2



Landscape notes:

All beds around buildings to have weed barrier with 3/4" American Heritage landscape stone

All trees mulched with ground hardwood

Edge beds with black aluminum edging

Plant List - Building and grounds Lot 4

QTY	Botanical Name	Common Name	Planted size
120	Buxus 'green velvet'	Green Velvet Boxwood	15-18" #3 pot
192	Calamagrostis x acutiflora	Karl Foerester Reed Grass	#1 pot 2' tall

Plant List - Parking lot and street trees lot 4

QTY	Botanical Name	Common Name	Planted size
13	Andropogon gerardii	American Sentry Linden	2 1/2" b&b
6	Acer x freemanii 'Sienna'	Sienna Glen Maple	2 1/2" b&b
21	Pinus strobus	White Pine	6" b&b
8	Acer x freemanii 'Jeffersred'	Autumn Blaze Maple	2 1/2" b&b
4	Picea glauca 'Densata'	Black Hills Spruce	6-7" b&b

Plant List - Lot 4 south lot line Buffer Landscaping

QTY	Botanical Name	Common Name	Planted size
12	Pinus flexilis	Vanderwolf's Pyramid Pine	6" b&b
6	Picea glauca 'Densata'	Black Hills Spruce	6-7" b&b
6	Acer x freemanii 'Jeffersred'	Autumn Blaze Maple	2 1/2" b&b

Plant List - Lot 4 north lot line Buffer Landscaping

QTY	Botanical Name	Common Name	Planted size
6	Picea glauca 'Densata'	Black Hills Spruce	6-7" b&b
5	Acer x freemanii 'Jeffersred'	Autumn Blaze Maple	2 1/2" b&b

Item C.

Lizer Landscape & Nursery
2034 Bellevue St.
Green Bay, WI 54311
Ph: 920-468-1813

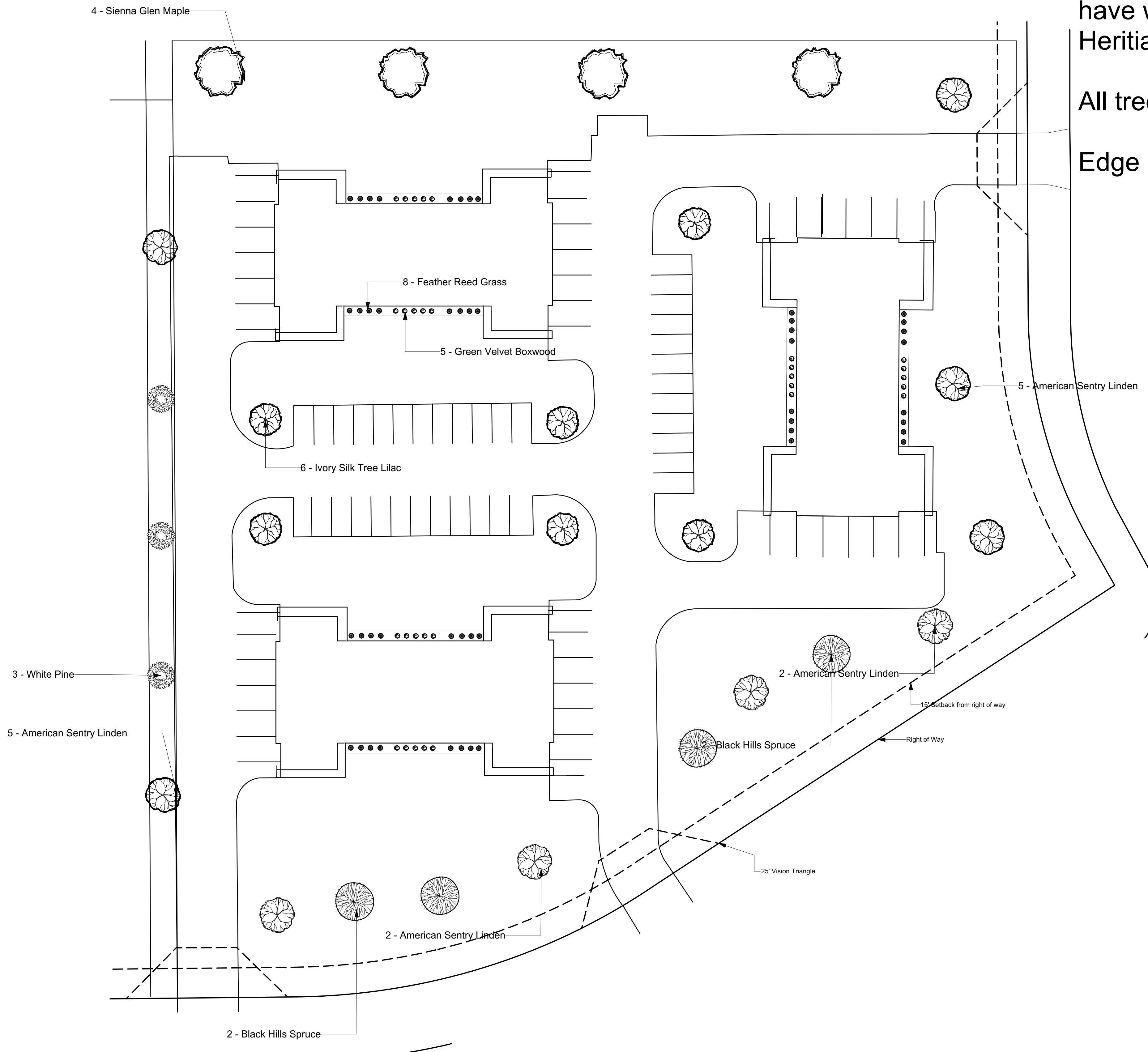
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Revisions	
No.	Description
1	07/05/2023 update plant lists

Planting Plan	
Date	6/1/2023
Company	BJA
Project ID	SDA
Drawing Code	Update plant lists
GC/Field Name	
Project Name	Legacy Park Apartments
Project Manager	A 7/5/2023

Scale: 1"=40'

Sheet No. 2 of 2



Landscape notes:

All beds around buildings to have weed barrier with 3/4" American Heritage landscape stone

All trees mulched with ground hardwood

Edge beds with black aluminum edging

Plant List - Parking Lot and Street Trees lot 5

QTY	Botanical Name	Common Name	Planted size
9	Andropogon gerardii	American Sentry Linden	2.5" b&b
4	Picea Glauca 'Densata'	Black Hills Spruce	6-7" b&b
4	Acer x freemanii 'Sienna'	Sienna Glen Maple	2.5" b&b
6	Syringa reticulata	Ivory Silk Lilac	2.5" b&b
3	Pinus flexilis	Vanderwolf's Limber Pine	6-7" b&b

Plant list - Buildings lot 5

QTY	Botanical Name	Common Name	Planted size
48	Calamagrostis acutiflora	Foerresters Reed Grass	1g pot, 2' tall
30	Buxus 'green velvet'	Green Velvet Boxwood	3g pot, 18" tall

Some Cultivar, Always Available, Specialty, Seasonal
Item C.

LIZER
LANDSCAPE
& NURSERY

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Lizer Landscape & Nursery
2034 Bellevue St.
Green Bay, WI, 54311
Ph: 920-468-1813

Design Firm: **Lizer Landscape & Nursery**
Project: **Legacy Park Apartments**
Sheet Title: **Planting plan**

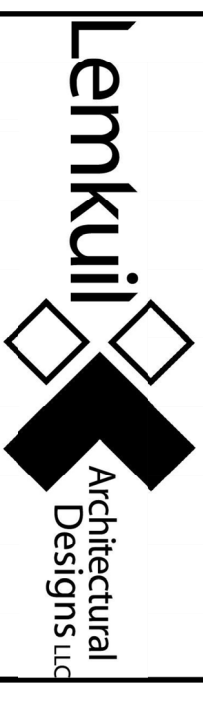
No.	Date	Description
1	07/05/2023	update plant lists

Date	Company	Project ID	Drawing Code	CAD File Name	Plot Color
6/1/2023	BJA		SDA		

Designed By: _____
Drawn By: BJA
Checked By: _____
Reviewed By: SDA
Submitted By: _____
Project Manager: _____

Scale: **1"=30'**

Sheet No. **3**
of
2



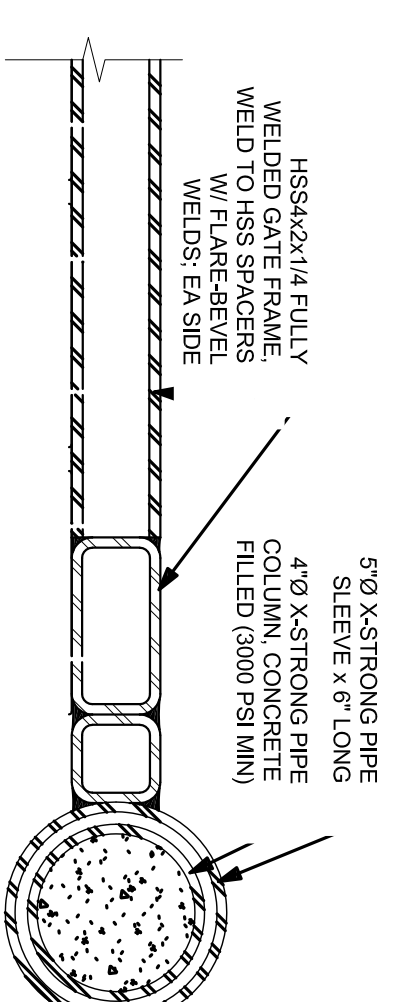
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PROJECT

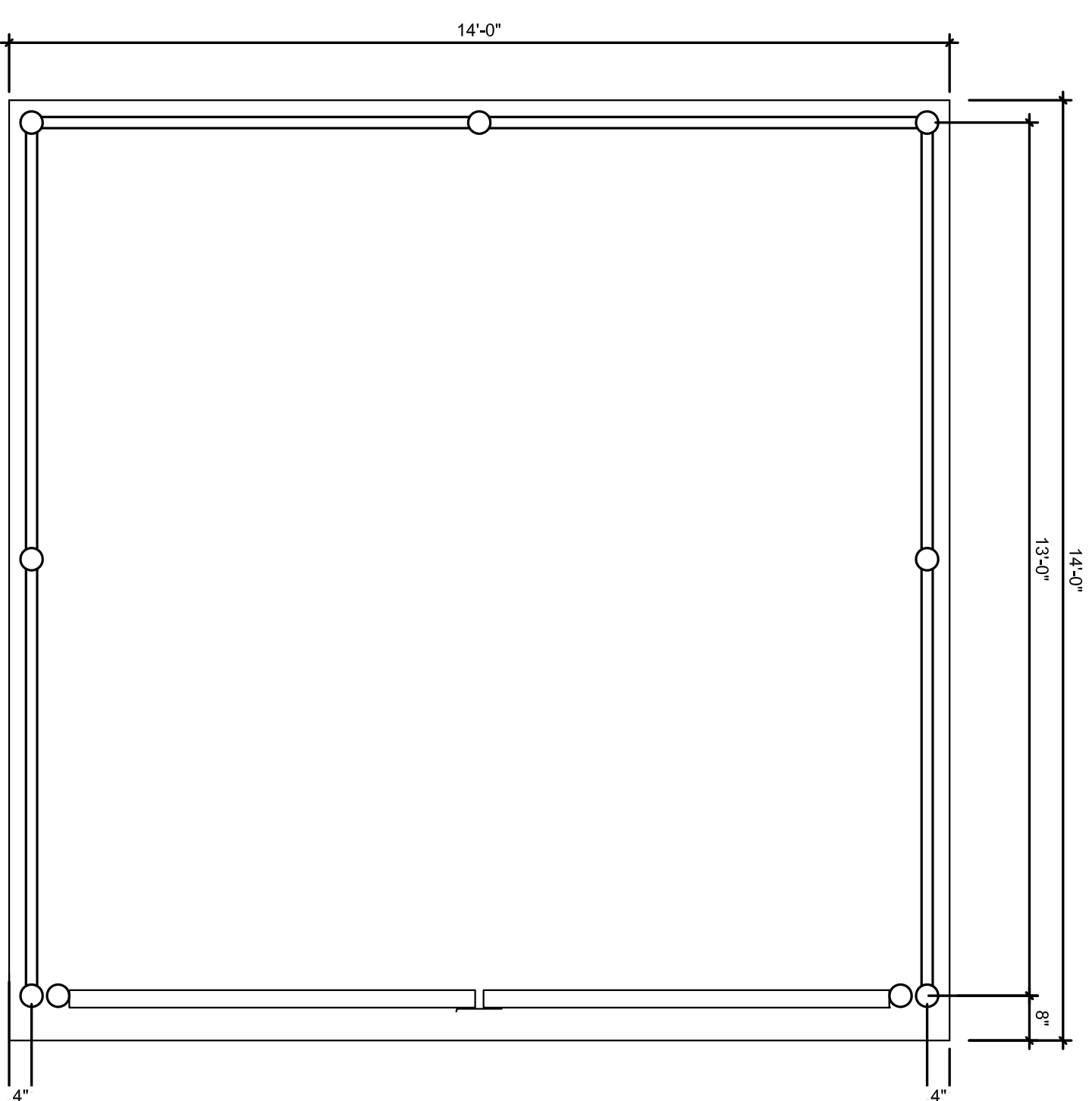
LEGACY PARK APARTMENTS

WISCONSIN

REVISION SCHEDULE		DATE	DESCRIPTION	BY
06/29/23	ADDENDUM #01			SLD
PROJECT NO. 23-28987				
FILE NAME 28987 ARCH R22 RVT				
DRAWN BY SLD				
DESIGNED BY NRP				
REQUIRED BY JPS				
ORIGINAL ISSUE DATE 06/08/23				
CLIENT PROJECT NO.				

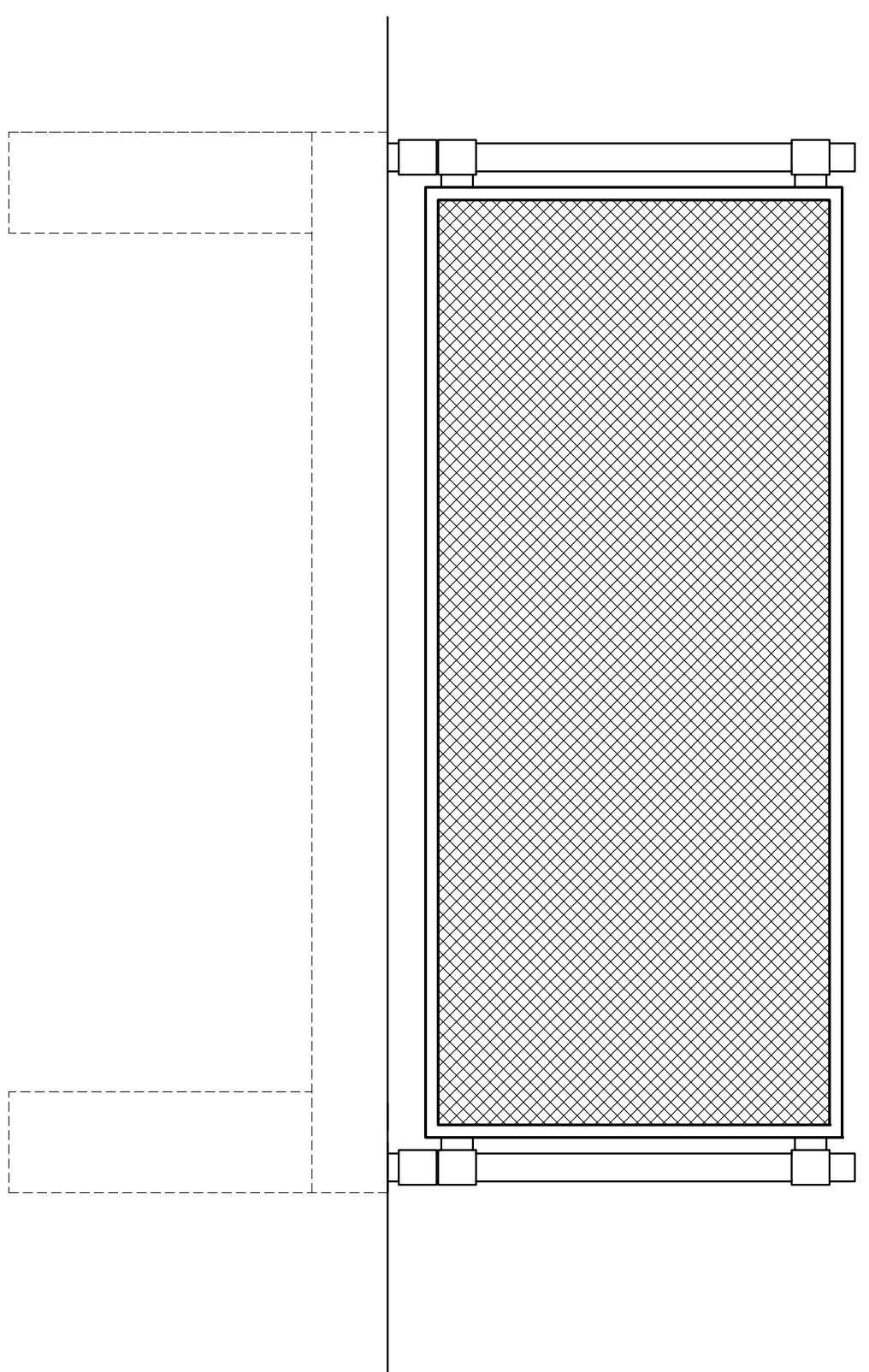


1 TRASH ENCLOSURE
1/2" = 1'-0"

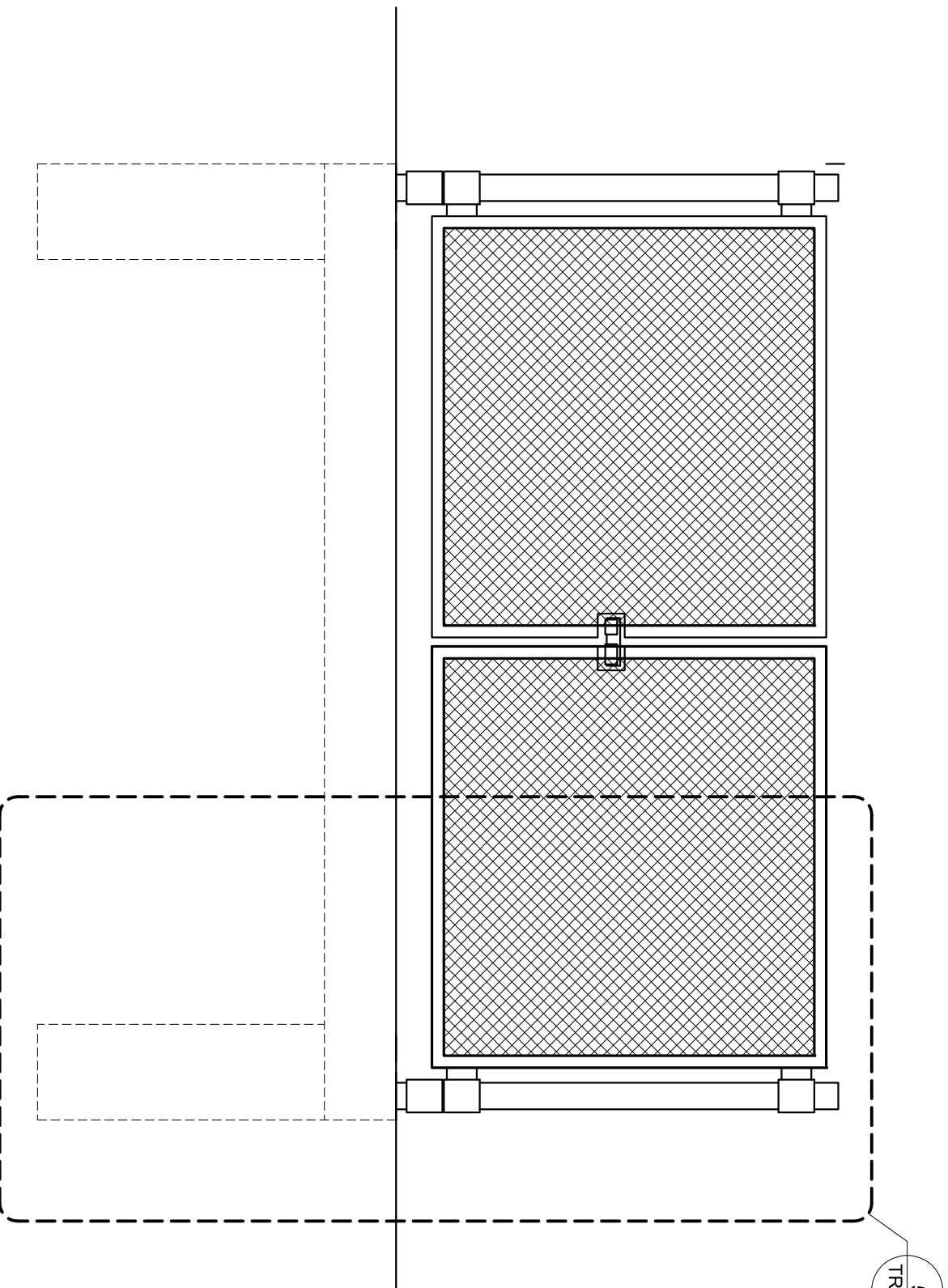


3 TRASH ENCLOSURE HINGE DETAIL
3" = 1'-0"

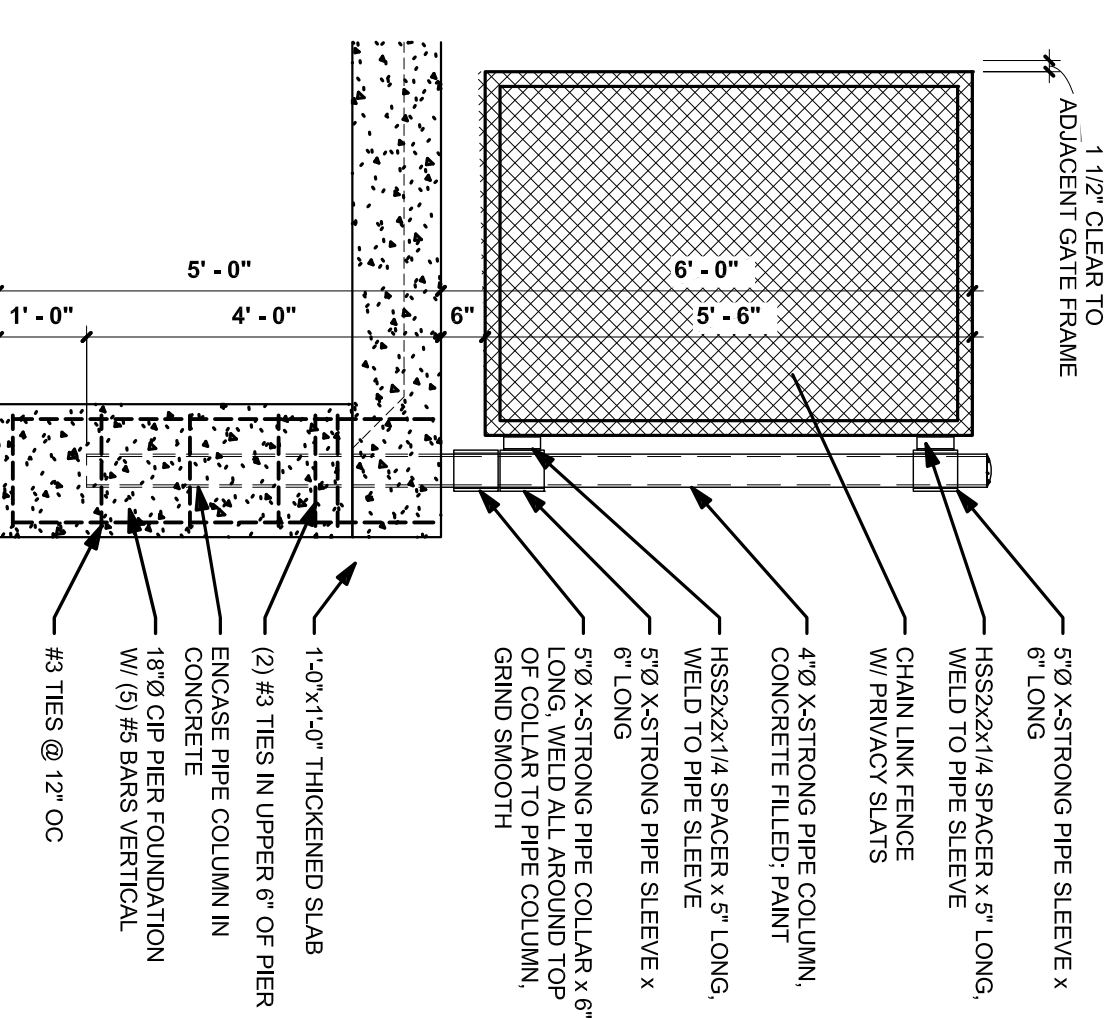
2 TRASH ENCLOSURE ELEVATION
1/2" = 1'-0"



4 TRASH ENCLOSURE ELEVATION
1/2" = 1'-0"



5 TRASH ENCLOSURE GATE DETAIL
1/2" = 1'-0"



TRASH ENCLOSURE DETAILS

TRA 1

MEMORANDUM

Business Item D

From: Administrator/Staff
 To: Plan Commission
 Re: Plan Commission review & discussion on a Certified Survey Map (CSM) submitted by Davel Engineering & Environmental, Inc., on behalf of Donald & Tara Hennessey for approval of a CSM dividing Tax ID #006-0114-03 (9365 Center Rd) into two (2) lots.

Please see the below comments from Code Administrator Kussow:

After review of the attached 2-lot CSM dividing PIN 006-0114-03 (9365 Center Rd), I have the following comments:

1. The subject property is located in the Town's General Agriculture (A-2) District.
2. The northwest corner of the subject property is the shoreland area (i.e., within 300 ft. of unnamed intermittent stream to northwest) and the County's General Agriculture (A-2) District per the Winnebago County Shoreland Viewer and Zoning Viewer.
3. The existing use of the subject property is agricultural and residential.
4. The northwest corner of the subject property contains mapped floodplain (Zone A) per the Winnebago County Floodplain Viewer, as shown on the CSM.
5. There is a mapped "Undelineated Wetland < 2 Ac." in the northeast corner of the subject property per the Winnebago County Hydrologic Viewer. This wetland is not identified on the proposed CSM, but identification of the wetland on the CSM is included as a suggested condition of approval below.
6. The subject property is not located in Outagamie County Airport Zoning, but is located in the 1,009 ft. Airport Height Limitation Zone.
7. The subject property is not located in a Sewer Service Area or Sanitary District.
8. The applicable minimum lot requirements for the A-2 District are as follows:
 - a. Minimum lot size: 5 acres
 - b. Minimum lot width: 200 ft.
 - c. Minimum road frontage: 200 ft.
 - d. Minimum side yard: 15 ft.
 - e. Minimum rear yard: 50 ft.

The proposed lots comply with all applicable requirements of the A-2 District.

It is my opinion that the CSM may be approved, subject to the following condition of approval:

1. The "Undelineated Wetland <2 Ac." on Lot 1, per the Winnebago County Hydrologic Viewer, shall be shown on the face of the CSM.

Suggested Motion:

Motion to recommend approval of the CSM dividing Tax ID #006-0114-03 with all Staff recommendations & conditions.

Respectfully Submitted,
 Kelsey



June 5, 2023

Town of Clayton
8348 CR-T
Larsen, WI 54947

Re: 9365 Center Road – Certified Survey Map

Greetings:

Enclosed, please find the following materials for the Certified Survey Map submittal for the above referenced property:

1. Certified Survey Map (15 copies)
2. CSM Application
3. Review Fee \$600

Please process the enclosed submittal accordingly for review.

Upon your review, I would appreciate any feed back in regards to the satisfaction or further requirements needed in order to approve this CSM. I can be reached at (920) 560-6569 or scott@davel.pro.

Sincerely,

Scott Andersen
Professional Land Surveyor

Enclosures a/s

Cc: Donald Hennessey

Town of Clayton

CERTIFIED SURVEY MAP REVIEW APPLICATION

Mail: 8348 CTR "T" - Larsen, WI 54947
Phone - 920-836-2007 Fax - 920-836-2026
Email - administrator@townofclayton.net Web Page - www.townofclayton.net

Property Owner (s): Donald & Tara Hennessey
Address/Zip: 9365 Center Rd. Neenah, WI 54956
Phone: (920) 470-9691 Fax: _____ E-Mail: build@hennesseyhomesinc.com

Applicant: Davel Engineering & Environmental Inc. c/o Scott Andersen
Check: Architect ___ Engineer ___ Surveyor x Attorney ___ Agent ___ Owner ___
Address/City/Zip: 1164 Province Terrace Menasha, WI 54952
Phone: (920) 560-6569 Fax: _____ E-Mail: scott@davel.pro

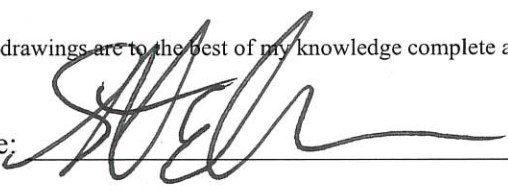
Describe the reason for the Certified Survey Map: Split single parcel into 2

Survey Specifics:

No. of Lots: 2 Total Acreage: 19.54 Tax Key No.: 006-0114-03
Legal Description: Lot 3 of Certified Survey Map No. 7847
Zoning: A2

Surveyor: Scott Andersen Registration No.: S-3169
Address/City/Zip: 1164 Province Terrace Menasha, WI 54952
Phone: (920) 560-6569 Fax: _____ E-Mail: scott@davel.pro

I certify that the attached drawings are to the best of my knowledge complete and drawn in accordance with all Town of Clayton codes.

Applicant Signature:  Date: 6/5/23

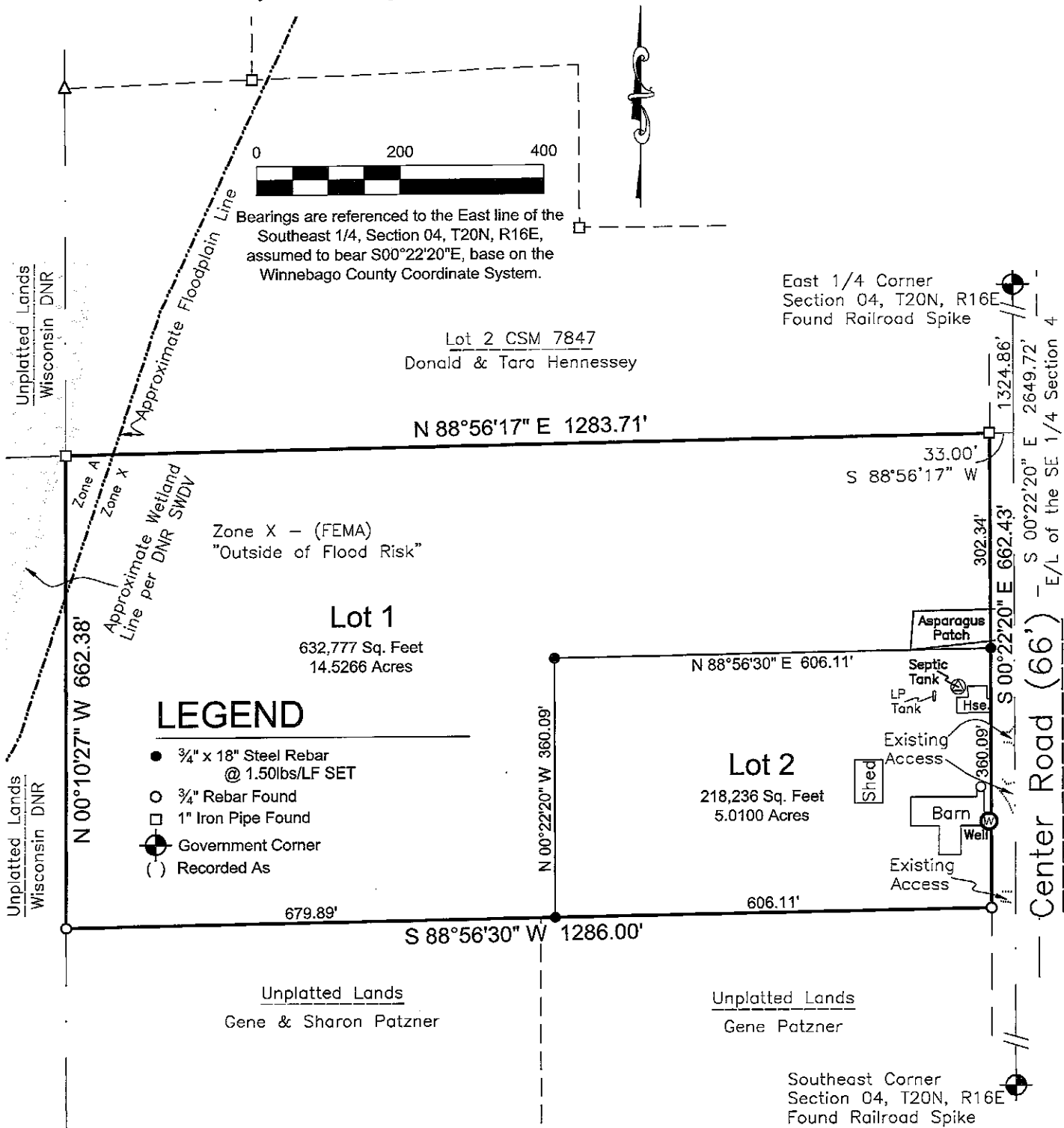
For Town Use Only (See Fee Schedule)

Review Fee: <u>\$350.00</u>	Map Deposit Fee*: <u>\$250.00</u>	Check #: <u>15215</u>	Date: <u>6/5/23</u>
*Map Deposit fee is fully refundable if a recorded copy of the approved document is submitted to the Town within 90 days of the Town Board approval.			
Received of: _____	Refund to: _____		
Date Rec'd Complete: _____	By: _____		
Review Meetings - Plan Comm _____	Town Board _____		
C.S.M. is: Approved _____	Approved with Condition _____	Denied _____	
Recorded Document Submittal Deadline (90 days from TB Approval): _____			

Notes: 1. Please notify utility companies regarding your proposed development. 2. CSM approval does not constitute approval of a building permit or any required approval of a highway connection permit. 3. CSM & Fee must be submitted 20 working days prior to meeting.

Certified Survey Map No. _____

Lot 3 of Certified Survey Map No. 7847, being located in Part of the Southeast 1/4 of the Southeast 1/4 of Section 04, Township 20 North, Range 16 East, Town of Clayton, Winnebago County, Wisconsin.



LEGEND

- 3/4" x 18" Steel Rebar @ 1.50lbs/LF SET
- 3/4" Rebar Found
- 1" Iron Pipe Found
- ⊙ Government Corner
- () Recorded As

Note:

- 1) The Lot created on the Certified Survey Map is adjacent to properties that, as of this document, are being used for agricultural purposes. Some individuals believe that the activities associated with the agricultural use constitute a nuisance or conflict with the quiet enjoyment of their property. This statement is intended to provide third parties with notice that agricultural activities may exist on the adjacent properties.
- 2) *Caveat: Building zones depicted are based on building setbacks in effect at the time of recording and should not be relied upon without first obtaining written verification thereof from the Winnebago County Planning Department and any other local agencies.*
- 3) s.236.20 (6) "Any land below the ordinary high water mark of a lake or a navigable stream is subject to the public trust in navigable waters that is established under article IX, section 1, of the state constitution."

Survey for:
Donald & Tara Hennessey
 9365 Center Road
 Neenah, WI 54956



DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 Civil Engineers and Land Surveyors

1164 Province Terrace, Menasha, WI 54952
 Ph: 920-991-1866 Fax: 920-441-0804
 www.davel.pro

Certified Survey Map No. _____

Lot 3 of Certified Survey Map No. 7847, being located
in Part of the Southeast 1/4 of the Southeast 1/4
of Section 04, Township 20 North, Range 16 East,
Town of Clayton, Winnebago County, Wisconsin.

Surveyor's Certificate

I, Scott R. Andersen, Professional land surveyor, hereby certify: That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the Town of Clayton and Winnebago County, and under the direction of Donald M. & Tara J. Hennessey, the property owners of said land, I have surveyed, divided and mapped this Certified Survey Map; that such map correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land is Lot 3 of Certified Survey Map No. 7847 (Doc. 1869944), being located in Part of the Southeast 1/4 of the Southeast 1/4 of Section 04, Township 20 North, Range 16 East, Town of Clayton, Winnebago County, Wisconsin, containing 851,013 Square Feet (19.5366 Acres) of land and is subject to all easements, and restrictions of record.

Owners' Certificate

As the property owners, we hereby certify that we caused the land described on this certified survey map to be surveyed, divided, and mapped all as shown and represented on this map.

We do further certify this Certified Survey Map is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

Winnebago County
Town of Clayton

Dated this _____ day of _____, 20_____

Donald M. Hennessey , Owner

Tara J. Hennessey, Owner

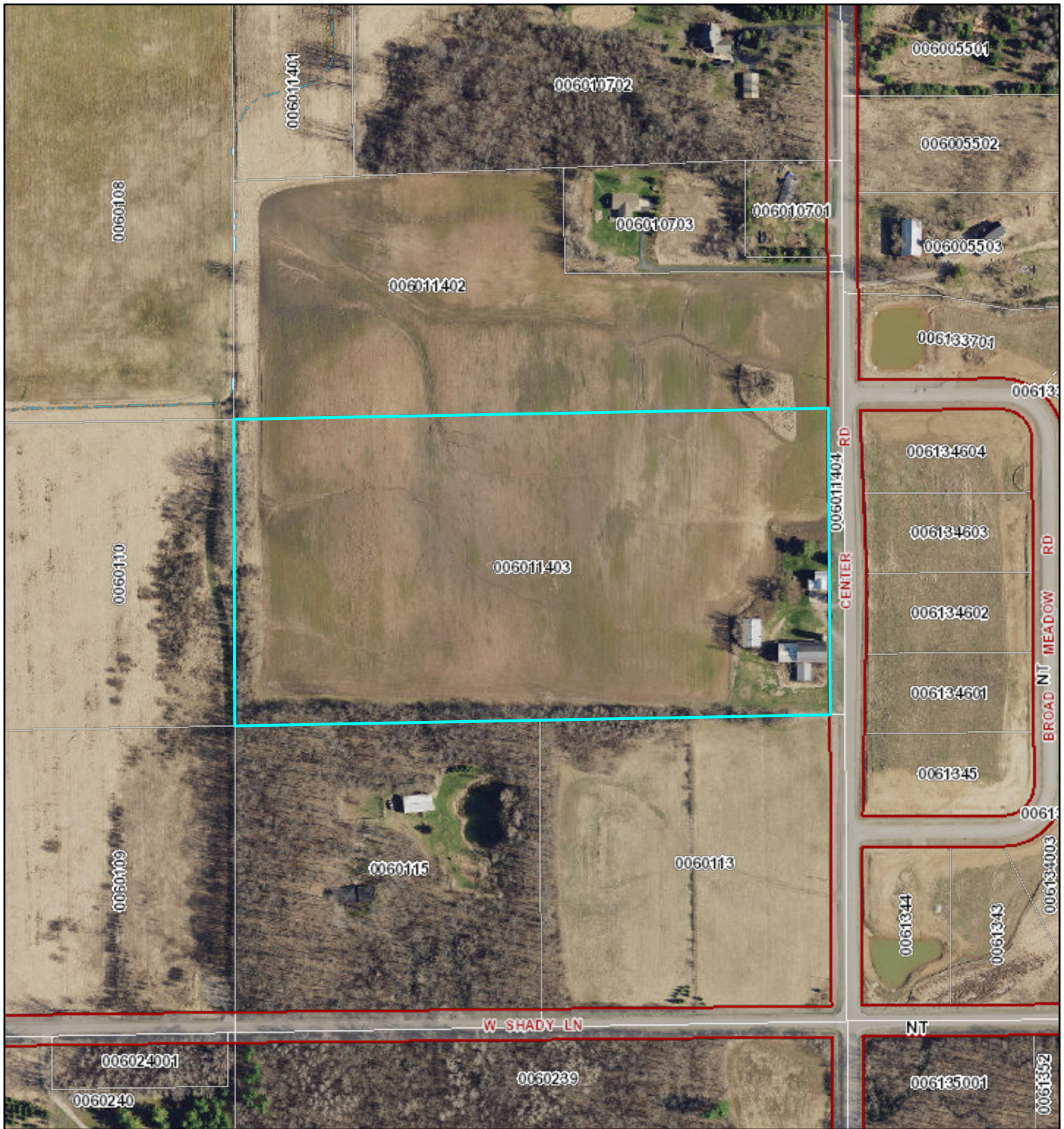
State of Wisconsin)
)SS
_____) County)

Personally came before me on the _____ day of _____, 20_____, the above the property owner(s) to me known to be the persons who executed the foregoing instrument and acknowledge the same.

My Commission Expires _____
Notary Public, Wisconsin

Hennessey CSM Aerial Map 1

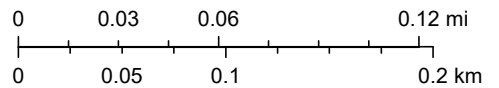
Item D.



7/6/2023, 12:56:16 PM

1:3,646

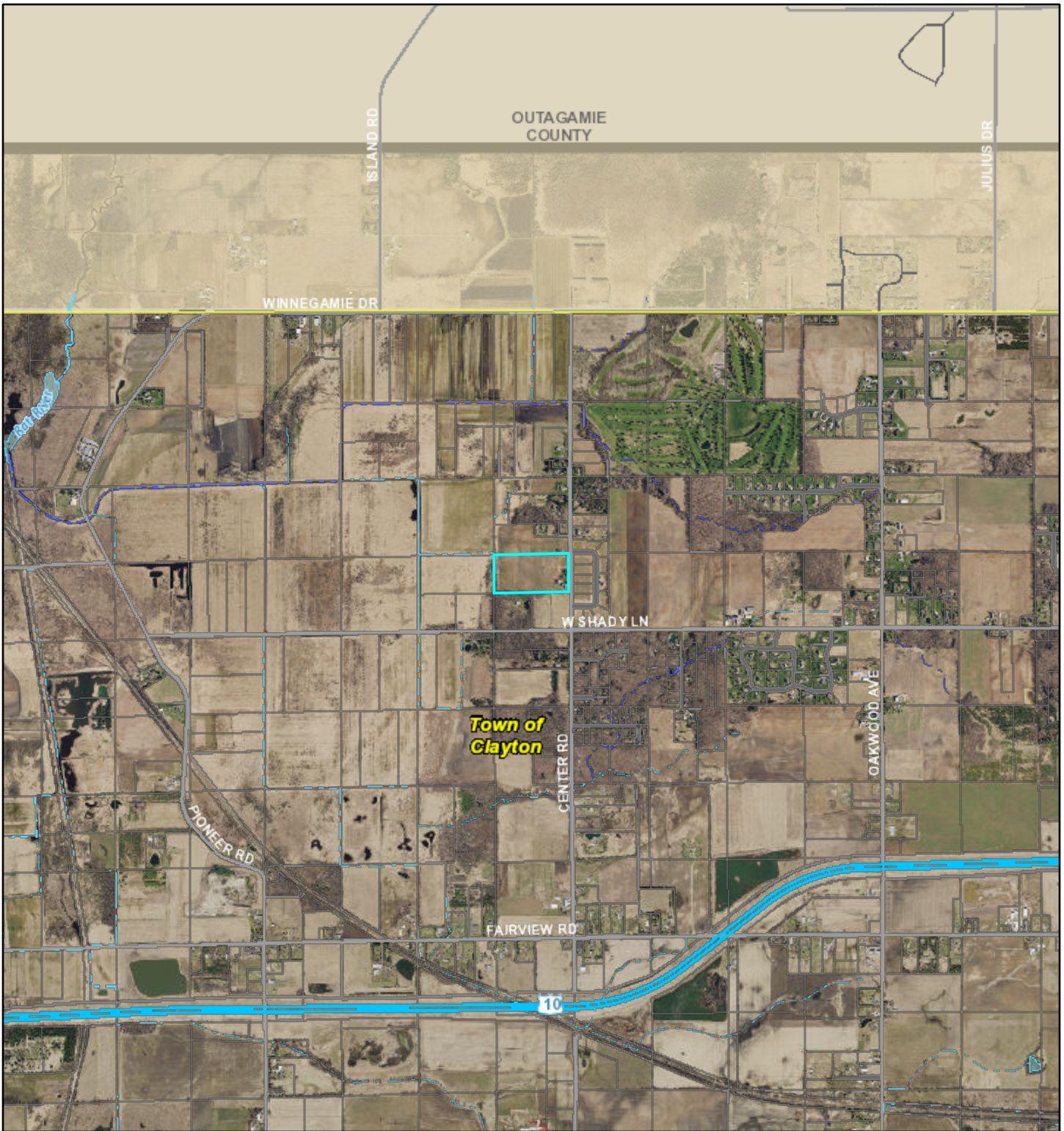
- Adjacent Counties
- Lakes, Ponds and Rivers
- Navigable Waterways**
- Navigable - Permanent (unchecked)
- Navigable - Intermittent (unchecked)
- Navigable - Stream (unchecked)
- Navigable - Permanent (checked)
- Navigable - Intermittent (checked)
- Navigable - Stream (checked)
- Tax Parcel Boundary
- Road ROW
- Municipal Boundary



Winnebago County GIS, Imagery Date: April 2020

Hennessey CSM Aerial Map 2

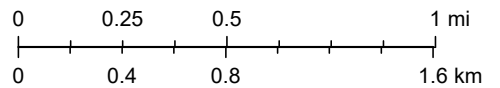
Item D.



7/6/2023, 12:57:07 PM

1:29,168

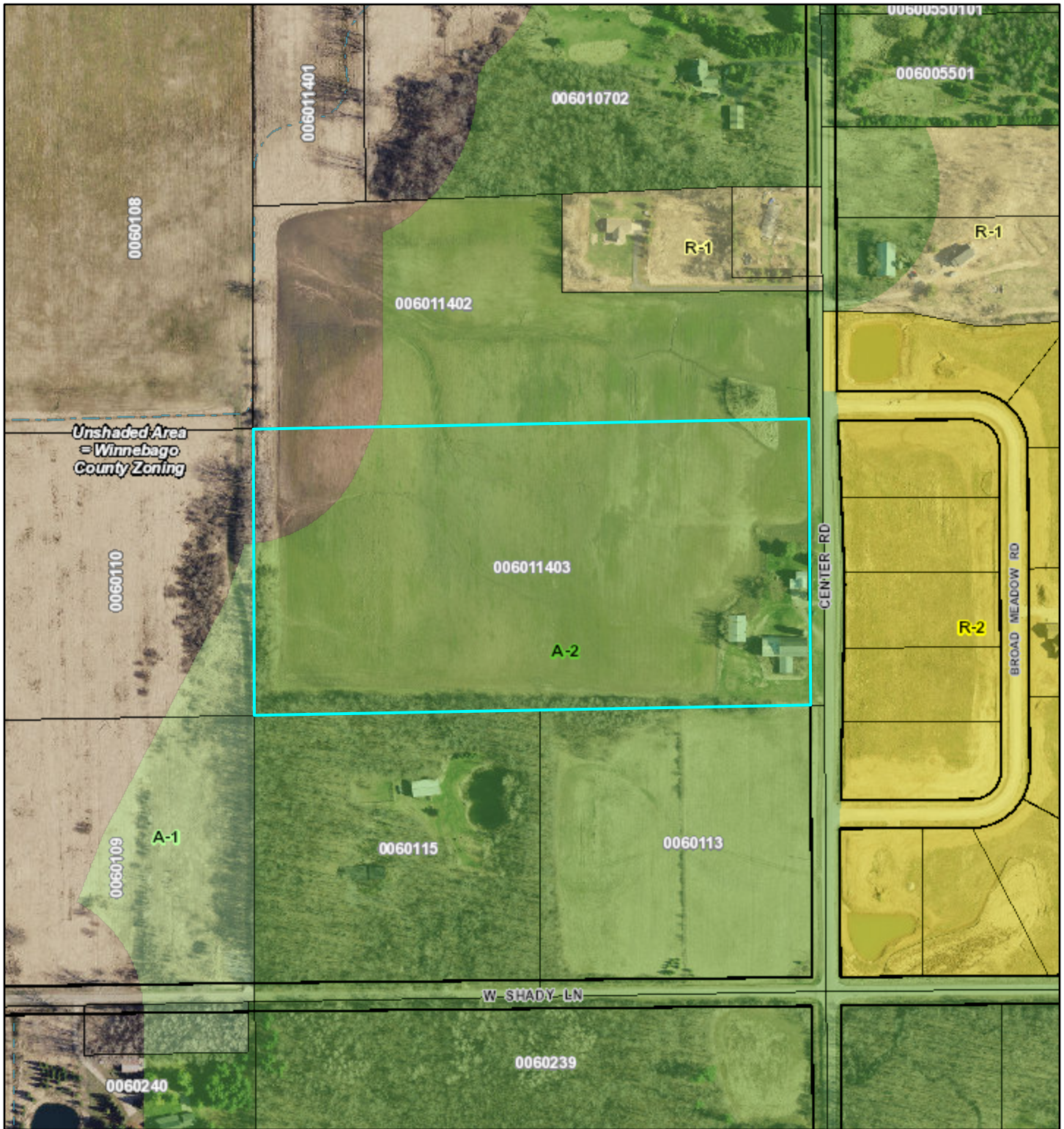
- Adjacent Counties
- Lakes, Ponds and Rivers
- Navigable - Permanent (checked)
- Navigable - Intermittent (checked)
- Navigable - Stream (checked)
- Navigable - Permanent (unchecked)
- Navigable - Intermittent (unchecked)
- Navigable - Stream (unchecked)
- Tax Parcel Boundary
- Local Road
- County Road



Winnebago County GIS, Imagery Date: April 2020

Hennessey CSM Town Zoning Map

Item D.



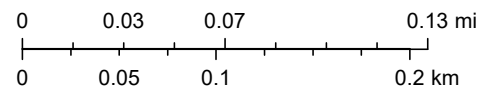
7/6/2023, 1:01:01 PM

1:3,903

District Code / Description

- A-1 - Agribusiness
- A-2 - General Agriculture
- R-1 - Rural Residential
- R-2 - Suburban Residential
- R-3 - Two-Family Residential

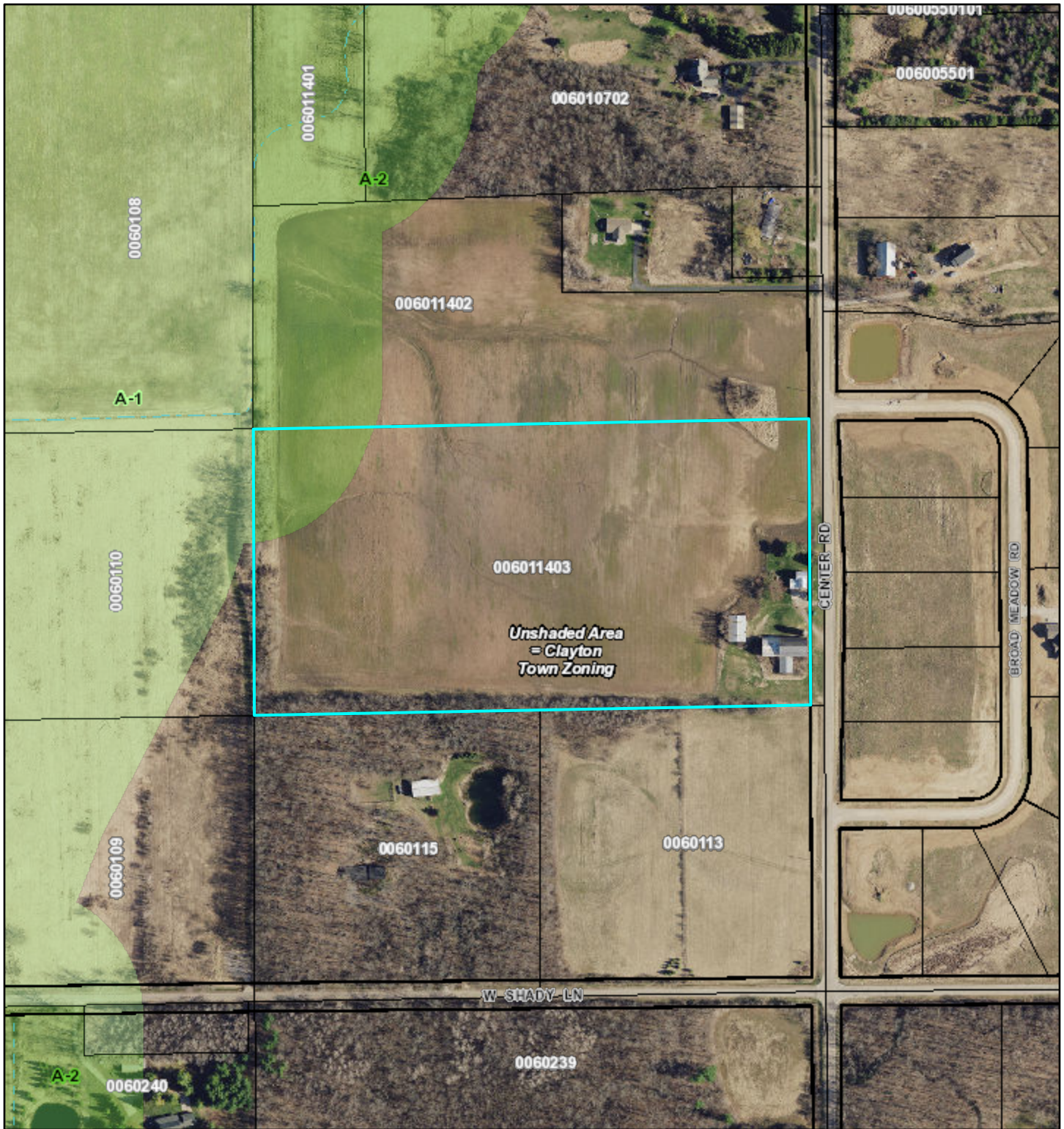
- R-4 - Multifamily Residential
- R-8 - Manufactured Housing Community
- PDD - Planned Development
- B-1 - Local Service Business
- B-2 - Community Business
- B-3 - General Business



Winnebago County GIS, Imagery Date: April 2020

Hennessey CSM County Zoning Map

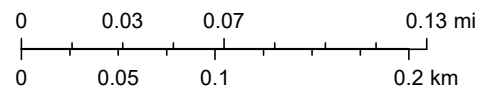
Item D.



7/6/2023, 12:59:34 PM

1:3,903

District Code/Description

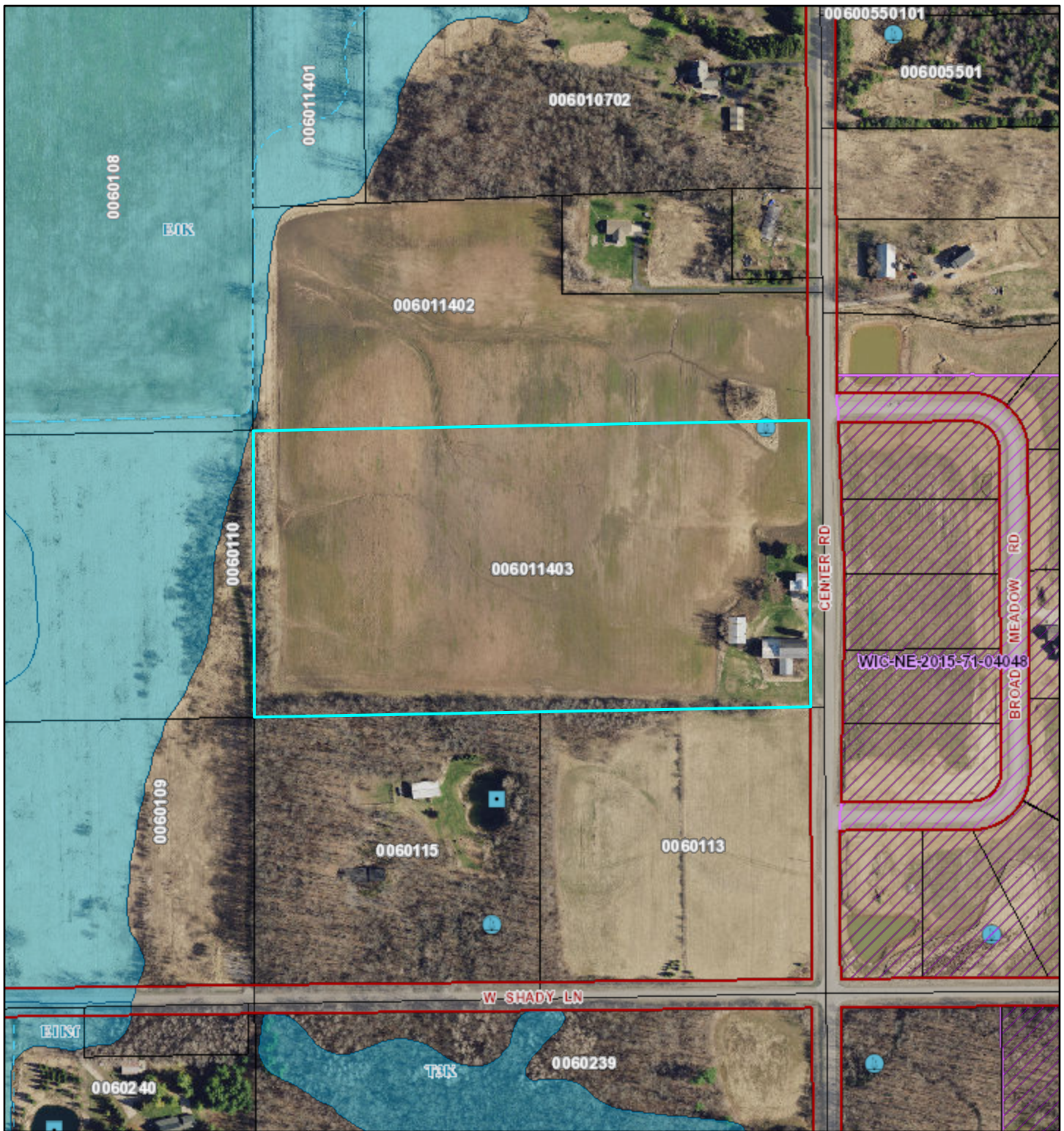


- R-1 - Rural Residential
- R-2 - Suburban Residential
- R-3 - Two-Family Residential
- R-4 - Multi-Family Residential
- R-8 - Manufactured/Mobile Home Community

Winnebago County GIS, Imagery Date: April 2020

Hennessey CSM Wetland Map

Item D.



7/6/2023, 1:02:21 PM

1:3,903

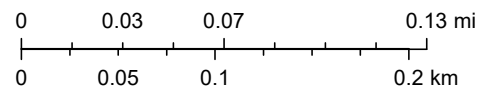
Wetland Areas

- Wetland
- Open Water Wetland

Wetland Features

- Undelineated Wetland < 2 Ac.
- Dammed pond

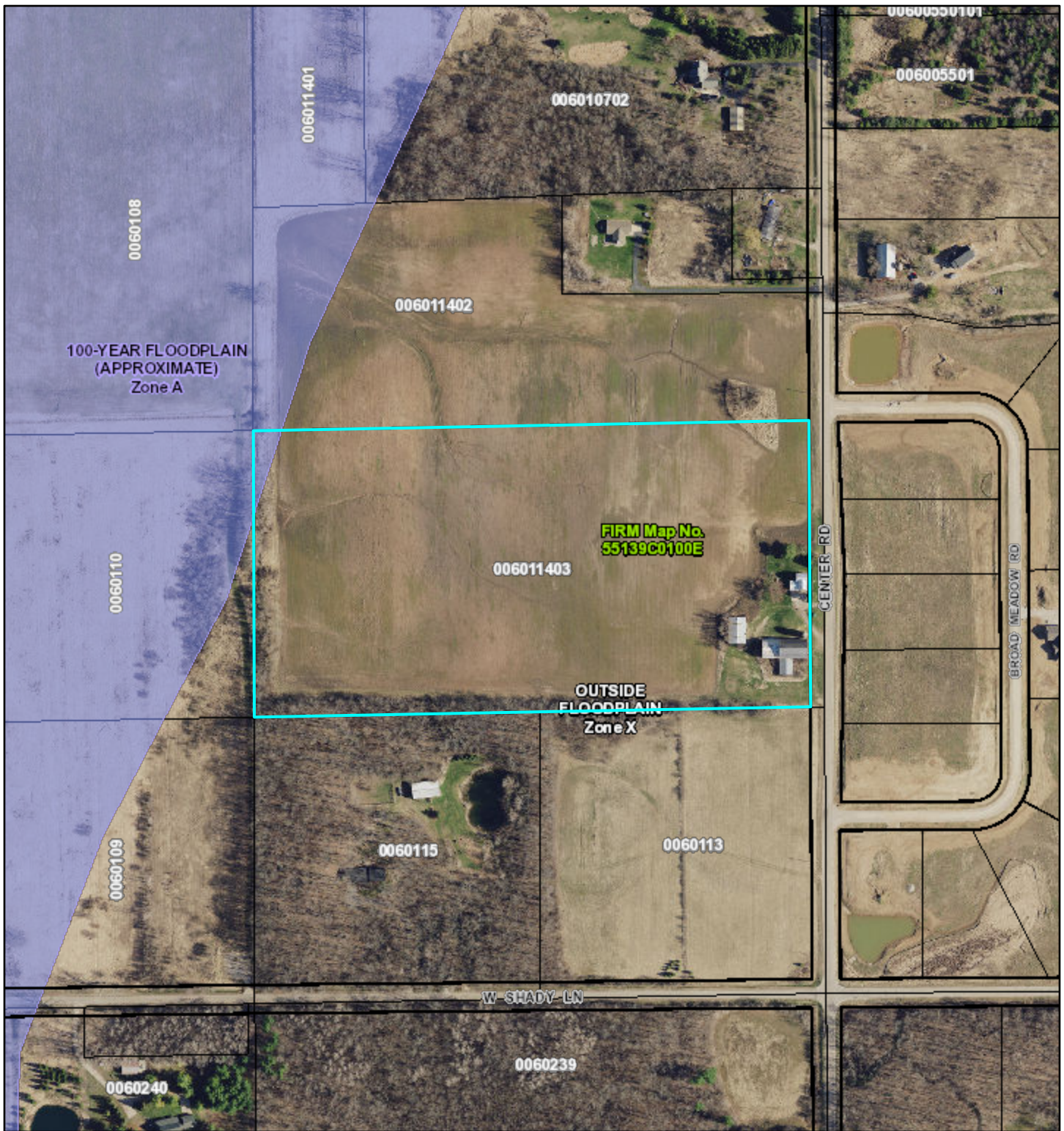
- Excavated pond
- Project Review Area
- Surface Water Drainageway District
- Tax Parcels
- Navigable Waterways
- Navigable - Permanent (unchecked)



Winnebago County GIS, Imagery Date: April 2020

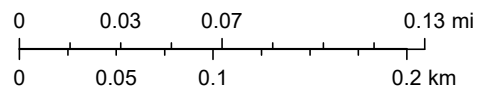
Hennessey CSM Floodplain Map

Item D.



7/6/2023, 12:58:04 PM

1:3,903



- | | |
|--------------------------|--|
| Flood Determinations | Designation |
| Flood Determination Area | Floodway (Zone AE) |
| FEMA Flood Hazard Zones | 100-Year Floodplain (Zone AE) |
| FIRM Map Panel | Approximate 100-Year Floodplain (Zone A) |
| Tax Parcels | 500-Year Floodplain (Zone X) |
| FIRM Map Panel | Outside Floodplain (Zone X) |

Winnebago County GIS, Imagery Date: April 2020

MEMORANDUM**Business Item E**

From: Administrator/Staff

To: Plan Commission

Re: Plan Commission review & discussion on Resolution 2023-005 Recommending Approval of the Town of Clayton Comprehensive Plan 2040.

Commissioners were previously sent the Recommended Draft of the Comprehensive Plan 2040 for review. The team at Cedar Corp ensured the draft contained all discussed changes through the June 28, 2023, meeting.

Suggested Motion:

*Motion and **ROLL CALL** to approve Resolution 2023-005 Recommending Approval of the Town of Clayton Comprehensive Plan 2040 to the Town Board for adoption.*

Respectfully Submitted,
Kelsey

**TOWN OF CLAYTON PLAN COMMISSION
RESOLUTION 2023-005
A RESOLUTION RECOMMENDING ADOPTION OF THE TOWN OF CLAYTON
COMPREHENSIVE PLAN 2040**

WHEREAS, the Town of Clayton has deemed it is in its best interest and that of its citizens to develop a Comprehensive Plan that would address the needs of the Town of Clayton, and;

WHEREAS, the Town of Clayton has requested the assistance of Cedar Corp in the development and finalization of the Comprehensive Plan for the Town of Clayton, and;

WHEREAS, the Town of Clayton adopted a Public Participation Plan to guide public input, and;

WHEREAS, the Comprehensive Plan was developed with input from the Town of Clayton Town Board, the Plan Commission, the Parks & Trails Committee, interested residents and property owners of the Town of Clayton, and other interested municipalities, organizations, and agencies, and;

WHEREAS, copies of the Comprehensive Plan have been made available to the residents and property owners of the Town of Clayton at the Town Hall and Town website and;

WHEREAS, the Comprehensive Plan addresses and complies with the nine elements identified in Section 66.1001 of the State of Wisconsin’s Comprehensive Planning Legislation, and;

WHEREAS, the Comprehensive Plan specifies goals and objectives, identifies where growth should occur, makes recommendations for future development in the Town of Clayton through the use of text, tables, and maps, and includes a mechanism for the review and update on the Plan on a regular basis, and;

NOW, THEREFORE BE IT RESOLVED by the Town of Clayton Plan Commission to recommend to the Town of Clayton Town Board the adoption of the Town of Clayton Comprehensive Plan 2040 by ordinance.

Vote: Yes: _____ No: _____ Absent: _____ Abstain: _____

Passed and adopted this _____ day of _____, 2023.

Dick Knapinski, Plan Commission Chair

Attest: _____
Kelsey Faust-Kubale, Town Clerk