



PLAN COMMISSION

Wednesday, February 14, 2024 – 6:30 PM

Town Hall Meeting Room, 8348 Hickory Ave, Larsen, WI 54947

AGENDA

CALL TO ORDER

- A. Pledge of Allegiance
- B. Verification of Notice
- C. Meeting Roll

PUBLIC HEARING(S) AND/OR PUBLIC INFORMATION MEETINGS

- A. Public Hearing on a Conditional Use Application submitted by Kunes Appleton Properties LLC for a proposed addition to the existing heavy vehicle sales and rental principal building located at 2615 West American Drive, specifically described as Tax ID #006-0341-01.

APPROVAL OF MINUTES

- A. Approval of the Minutes of the Wednesday January 10, 2024 Plan Commission Meeting

OPEN FORUM – Public comments addressed to the Plan Commission

Individuals properly signed in may speak directly to the Plan Commission on non-repetitive Planning and Zoning matters whether on or not on the agenda. Commentators must wait to be called, must speak from the podium, directing their comments to the Commission. Comments must be orderly, and will be limited to a maximum of **2 minutes** per person. **Public comment is not permitted outside of this public comment period. Note:** The Commission’s ability to act on or respond to the public comments is limited by Chapter 19, Wis. Stats. Please complete the “Request to Speak at Meeting” form located on the agenda/sign-in table and submit the form to the Town Clerk for in-person attendance.

CORRESPONDENCE

- A. Distribution of the December 2023 Building Inspection Report
- B. Distribution of the 2023 Annual Building Inspection Report
- C. Distribution of the January 2024 Building Inspection Report

BUSINESS

- A. Review/Recommendation: Plan Commission review & recommendation on a Conditional Use Application submitted by Kunes Appleton Properties LLC for a proposed addition to the existing heavy vehicle sales and rental principal building located at 2615 West American Drive, specifically described as Tax ID #006-0341-01.
- B. Review/Recommendation: Plan Commission review & recommendation on a Site Plan Application submitted by Kunes Appleton Properties LLC for a proposed addition to the existing heavy vehicle sales and rental principal building located at 2615 West American Drive, specifically described as Tax ID #006-0341-01.

- C. Review/Discussion: Plan Commission review & discussion on a Concept Plan Review Application submitted by Scott Andersen on behalf of the Arden & June Schroeder Joint Revocable Trust, for a proposed Certified Survey Map (CSM) dividing/reconfiguring Tax ID #006-0035, Tax ID #0036-0033 (9457 State Rd 76), and Tax ID #006-1204-01 into two lots with a proposed road extension of Memory Lane.

UPCOMING MEETING ATTENDANCE

- A. Plan Commission (6:30 pm start unless otherwise noted) - March 13; Apr 10; May 8
- B. Town Board (6:30 pm start unless otherwise noted) - Feb 21; March 6 & 20; Apr 3 & 17

ADJOURNMENT

Respectfully submitted,

Dick Knapinski
Plan Commission Chair

Pursuant to Wisconsin Statute 19.84 (2) and (3) notice is hereby given to the public and the media that two or more members of any or all Boards, Commissions, and Committees of the Town of Clayton, may attend the meeting of the Plan Commission in order to gather information. For purposes of the Open Meetings Law only; attendance at a meeting by a quorum of members of the Town Boards, Commissions, and Committees constitutes a meeting of the Board, Commission, or Committee, pursuant to Badke Vs. Village Board of Village of Greendale, 173 Wis2d 553, 494 NW2d 408 (1993), and must be noticed as such, although it is not contemplated that any formal action by those bodies will be taken. The only business to be conducted is for Plan Commission action.

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, please call the Town Office at 920.836.2007.

This agenda has been posted at the following locations in the Town of Clayton:

1. The Town Hall Posting Board – 8348 Hickory Ave, Larsen, WI 54947
2. The Town's Web Page: --

TOWN OF CLAYTON
NOTICE OF PUBLIC HEARING

Notice is hereby given that the Plan Commission of the Town of Clayton will hold a Public Hearing beginning at 6:30 pm on Wednesday, February 14, 2024, in the Town Hall Meeting Room located at 8348 Hickory Ave, Larsen WI 54947. The purpose of the Public Hearing is to receive public comment regarding the following Conditional Use Application:

THE PETITIONER(S): Kunes Appleton Properties LLC has submitted a Conditional Use Application for a proposed addition to the existing heavy vehicle sales and rental principal building located at 2615 West American Dr, specifically described as Tax ID # 006-0341-01.

Copies of the Conditional Use Application are available at the Town Hall, or by contacting the Town Clerk at (920) 836-2007. All interested parties and any objections to this request being granted will be heard at the Public Hearing. If you cannot attend the Public Hearing, you may submit written comments to the Town Clerk before 4:00 pm on the date of the Public Hearing.

Dated this 25th day of January, 2024
Kelsey Faust-Kubale, Clerk

Publish Wednesday, January 31, 2024
and
Wednesday, February 7, 2024

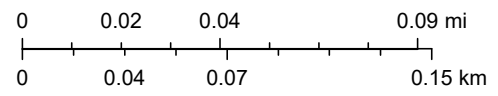
Post on or before January 31, 2024



11/7/2023, 9:31:50 AM

1:2,770

- Adjacent Counties
- Lakes, Ponds and Rivers
- Navigable Waterways
- Navigable - Permanent (unchecked)
- Navigable - Intermittent (unchecked)
- Navigable - Stream (unchecked)
- Navigable - Permanent (checked)
- Navigable - Intermittent (checked)
- Navigable - Stream (checked)
- Tax Parcel Boundary
- Road ROW
- Municipal Boundary



Winnebago County GIS, Imagery Date: April 2020



PLAN COMMISSION

Wednesday, January 10, 2024 at 6:30 PM

Item A.

Town Hall Meeting Room, 8348 Hickory Ave, Larsen, WI 54947

MINUTES

CALL TO ORDER - Chair Knapinski called the meeting to order at 6:30 pm.

- A. Pledge of Allegiance
- B. Verification of Notice
- C. Meeting Roll

PRESENT

Chair Knapinski
Commissioner Haskell
Commissioner Nemecek
Commissioner Ketter
Commissioner Hopkins
Town Board Rep. Christianson

ABSENT

Commissioner Dorow

STAFF

Administrator Wisnefske
Clerk Faust-Kubale
Planner Jaworski

APPROVAL OF MINUTES

- A. Approval of the Minutes of the Wednesday December 13, 2023 Plan Commission Meeting

MOTION

Motion made by Commissioner Haskell, **Seconded** by Commissioner Nemecek to approve the Minutes of the Wednesday, December 13, 2023 Plan Commission Meeting as presented.

Voting Yea: Chair Knapinski, Commissioner Haskell, Commissioner Nemecek, Commissioner Ketter, Commissioner Hopkins, Town Board Rep. Christianson

Motion carried 6-0.

OPEN FORUM – Public comments addressed to the Plan Commission - NONE

CORRESPONDENCE

- A. Distribution of a memo from Cedar Corp regarding the review process and updates to the Town of Clayton Zoning Map & Agribusiness (A-1) Zoning District Discussion.

BUSINESS

- A. Review/Recommendation: Plan Commission review & recommendation on a Certified Survey Map (CSM) submitted by Chris Perrenault on behalf of Linda Grundman for approval of a CSM combining Tax ID #006-0853-01 (7490 Center Rd) and Tax ID #006-0850-01-03 into one parcel.

MOTION

Motion made by Commissioner Nemecek, **Seconded** by Commissioner Haskell to recommend approval of the Certified Survey Map submitted by Chris Perrenault on behalf of Linda Grundman with the following condition:

1. Identify the existing driveway locations on the face of the CSM

Voting Yea: Chair Knapinski, Commissioner Haskell, Commissioner Nemecek, Commissioner Ketter, Commissioner Hopkins, Town Board Rep. Christianson

Motion carried 6-0.

- B. Review/Discussion: Plan Commission review & discussion on the Town of Clayton Agribusiness (A-1) Zoning District.

DISCUSSION ITEM ONLY - NO ACTION TAKEN

UPCOMING MEETING ATTENDANCE

- A. Plan Commission (6:30 pm start unless otherwise noted) - Feb 14; March 13; Apr 10
- B. Town Board (6:30 pm start unless otherwise noted) - Jan 17; Feb 7 & 21; March 6 & 20

ADJOURNMENT

MOTION

Motion made by Commissioner Haskell, **Seconded** by Commissioner Nemecek to adjourn at 7:32 pm.

Voting Yea: Chair Knapinski, Commissioner Haskell, Commissioner Nemecek, Commissioner Ketter, Commissioner Hopkins, Town Board Rep. Christianson

Motion carried 6-0.

Respectfully submitted,

Kelsey Faust-Kubale
Town Clerk

YEAR TO DATE SUMMARY

DATE	PERMIT #	OWNER	ADDRESS	DESCRIPTION	CONTRACTOR	EST. PROJECT COST	PERMIT FEE	BLDING INSPECTOR FEE	TOWN	EST. PROJECT COST	PERMIT FEE	TOWN OF CLAYTON REVENUE	YEAR TO DATE TOTAL
TOWN OF CLAYTON PERMITS:													
12/6/23	237-23-12B	JEFF HOUTS	7568 BLACK TOP WAY	NSFD	SELF	\$ 300,000.00	\$ 968.96		Town of Clayton	\$ 1,710,377.00	\$ 15,754.58	\$ 15,754.58	\$ 120,261.45
12/11/23	238-23-12H	JEFF GENTZ	3472 GRANDMEADOWS	BOILER REPLACEMENT	BLACK-HAAK	\$ 12,000.00	\$ 75.00		Town of Vinland	\$ -	\$ -	\$ -	\$ 1,893.02
12/11/23	239-23-12H	TERRY QUIRK	3040 WINDFIELD	FURNACE REPLACEMENT	HEALTY HOME HVAC	\$ 9,980.00	\$ 75.00		Town of Winneconne	\$84,230.00	\$160.00	\$128.00	\$ 18,179.53
12/11/23	240-23-12E	MARTY NIKODEM	2770 TOWN CT	COMMERCIAL ELECT ADDN	CR FOCHS	\$ 4,000.00	\$ 315.00		Town of Winchester	\$ -	\$ -	\$ -	\$ 6,008.43
12/11/23	241-23-12H	PAO LOR	7752 JOSEPH PETERS	REPLACE 2 FURNAACES	MODERN SHEET METAL	\$ 9,398.00	\$ 150.00		Town of Dale	\$ 68,815.00	\$ 892.05	\$ 713.64	\$ 10,237.17
12/12/23	242-23-12B	NICK SCHMIDT	2521&2523 FAIRVIEW	NEW DUPLEX	NJ SCHMIDT CONST	\$ 480,000.00	\$ 1,088.60						
12/14/23	243-23-12H	DON HENNESSEY	9381 CENTER	NSFD HVAC	KRAMER HVAC	\$ 15,000.00	\$ 508.50		Total	\$ 1,863,422.00	\$ 16,806.63	\$ 16,596.22	\$ 156,579.59
12/14/23	244-23-12H	MARK MANKIEWICZ	3285 FONDOTTO	FURNACE REPLACEMENT	MODERN SHEET METAL	\$ 4,999.00	\$ 75.00						
12/18/23	245-23-12P	DEREK LIEBHAUSER	2689 CTY II #8	12 UNIT APT PLUMB	K-KELLY	\$ 96,000.00	\$ 1,133.40		Full Burden Wage	\$ 10,645.13			\$ 117,439.95
12/18/23	246-23-12P	DEREK LIEBHAUSER	2689 CTY II #9	12 UNIT APT PLUMB	K-KELLY	\$ 96,000.00	\$ 1,133.40						
12/18/23	247-23-12P	DEREK LIEBHAUSER	2689 CTY II #10	12 UNIT APT PLUMB	K-KELLY	\$ 96,000.00	\$ 1,133.40		Net Profit (Loss)	\$ 5,951.09			\$ 39,139.64
12/18/23	248-23-12P	DEREK LIEBHAUSER	2689 CTY II #11	12 UNIT APT PLUMB	K-KELLY	\$ 96,000.00	\$ 1,133.40						
12/18/23	249-23-12P	DEREK LIEBHAUSER	2689 CTY II #12	12 UNIT APT PLUMB	K-KELLY	\$ 96,000.00	\$ 1,133.40						
12/18/23	250-23-11H	DEREK LIEBHAUSER	2689 CTY II #8	12 UNIT APT HVAC	K-KELLY	\$ 67,000.00	\$ 1,133.40						
12/18/23	251-23-12H	DEREK LIEBHAUSER	2689 CTY II #9	12 UNIT APT HVAC	K-KELLY	\$ 67,000.00	\$ 1,133.40						
12/18/23	252-23-11H	DEREK LIEBHAUSER	2689 CTY II #10	12 UNIT APT HVAC	K-KELLY	\$ 67,000.00	\$ 1,133.40						
12/18/23	253-23-12H	DEREK LIEBHAUSER	2689 CTY II #11	12 UNIT APT HVAC	K-KELLY	\$ 67,000.00	\$ 1,133.40						
12/18/23	254-23-12H	DEREK LIEBHAUSER	2689 CTY II #12	12 UNIT APT HVAC	K-KELLY	\$ 67,000.00	\$ 1,133.40						
12/19/23	255-23-12B	KYLE MICK	9407 MEMORY	BASEMENT REMOD	SELF	\$ 10,000.00	\$ 185.92						
12/20/23	256-23-12H	NICK SCHMIDT	2521&2523 FAIRVIEW	NSFD HVAC	S&A PETERS	\$ 20,000.00	\$ 489.30						
12/20/23	257-23-12P	NICK SCHMIDT	2521&2523 FAIRVIEW	NSFD PLUMB	HANSEN PLUMB	\$ 30,000.00	\$ 489.30						
					TOTALS	\$ 1,710,377.00	\$ 15,754.58						
TOWN OF VINLAND PERMITS:													
					TOTALS	\$ -	\$ -	\$ -					
TOWN OF WINNECONNE PERMITS:													
12/20/23	149-23-12B	PETER GUCKENBERG	5672 SHUBERT	BASEMENT WALL REPAIR	AREA WATER PROOFING	\$ 26,830.00	\$ 50.00	\$ 40.00					
12/20/2023	150-23-12B	THAD HANKE	5925 VALENTINE	REROOF	BRH ENTERPRISES	\$ 55,400.00	\$ 50.00	\$ 40.00					
12/20/2023	151-23-12E	RON BECKER	957 E MAIN	SERVICE CHANGE	JP ELECTRIC	\$ 2,000.00	\$ 60.00	\$ 48.00					
					TOTALS	\$84,230.00	\$160.00	\$128.00					
TOWN OF WINCHESTER PERMITS													
					TOTALS	\$ -	\$ -	\$ -					
TOWN OF DALE PERMITS													
12/5/23	77-23-12B	CHRIS JOCH	N306 DEPOT	BASEMENT REMOD	SELF	\$ 30,000.00	\$ 288.50	\$ 230.80					
12/5/23	78-23-12E	CHRIS JOCH	N306 DEPOT	BASEMENT REMOD ELECT	RICK STEFFENS ELECT	\$ 1,500.00	\$ 106.55	\$ 85.24					
12/5/23	79-23-12E	JUSTIN DOEHLING	N836 RABBIT	GENERATOR INSTALL	ALANS ELECT	\$ 12,815.00	\$ 65.00	\$ 52.00					
12/19/23	80-23-12E	JON TAPPE	W9282 HUNTERS	BAESMENT REMOD GENERA	QUANTUM ELECT	\$ 13,000.00	\$ 117.00	\$ 93.60					
12/19/23	81-23-12B	FRED PREISLER	N2044 CTY T	POLE BUILDING	SELF	\$ 11,500.00	\$ 315.00	\$ 252.00					
					TOTALS	\$ 68,815.00	\$ 892.05	\$ 713.64					

CLAYTON 2023 ANNUAL BUILDING INSPECTOR'S REPORT

PERMIT by CLASS	NUMBER OF PERMITS ISSUED	YTD CONSTRUCTION COSTS	YTD PERMIT FEES
Single Family Homes	6	\$ 3,502,000.00	\$ 5,943.40
Garages, Barns, Sheds, Decks, etc.	17	\$ 838,816.00	\$ 3,650.26
Additions and Remodels	42	\$ 1,957,997.00	\$ 5,217.14
Razed Structures	3	\$ 25,000.00	\$ 210.00
New Commercial	22	\$ 14,981,355.00	\$ 48,734.98
Sign Permits	0	\$ -	\$ -
Cell Tower Modifications	2	\$ 353,000.00	\$ 400.00
Commercial Additions and Remodels	3	\$ 528,000.00	\$ 2,015.64
Zoning	0	\$ -	\$ -
SubTotal	95	\$ 22,186,168.00	\$ 66,171.42
MECHANICALS by CLASS			
Electrical	68	\$ 964,158.00	\$ 18,421.74
HVAC	23	\$ 890,139.00	\$ 15,461.44
PLUMBING	32	\$ 915,235.00	\$ 20,206.85
Subtotal	123	\$ 2,769,532.00	\$ 54,090.03
2023 TOTALS	218	\$ 24,955,700.00	\$ 120,261.45

YEARLY COMPARISONS

YEAR	NEW HOMES	TOTAL PERMITS	CONSTRUCTION COSTS
2023	6	218	\$ 24,955,700.00
2022	13	169	\$ 18,310,938.00
2021	16	173	\$ 19,546,637.00
2020	7	169	\$ 7,117,507.83
2019	11	199	\$ 9,454,444.93
2018	10	184	\$ 6,423,183.00
2017	16	232	\$ 8,095,679.00
2016	16	203	\$ 8,280,539.00
2015	22	181	\$ 11,621,090.00
2014	22	143	\$ 8,759,667.00
2013	15	145	\$ 8,677,602.00
2012	13	141	\$ 6,373,672.00
2011	8	114	\$ 3,360,281.00
2010	16	127	\$ 5,500,437.00

CLAYTON PERMIT SPREADSHEET FOR JANUARY 2024

DATE	PERMIT #	OWNER	ADDRESS	DESCRIPTION	CONTRACTOR	EST. PROJECT COST	PERMIT FEE
1/4/2024	1-24-1B	CLAYTON DEVELOPMENT	2648&2650 PRINCETON	NEW DUPLEX	ALEXANDER HOMES	\$ 410,000.00	\$ 1,062.08
1/4/2024	2-24-1B	CLAYTON DEVELOPMENT	2642&2644 PRINCETON	NEW DUPLEX	ALEXANDER HOMES	\$ 410,000.00	\$ 1,062.08
1/10/2024	3-24-1H	DEAN THIEL	8516 WINNCREST	HVAC REMOD	VALLEY TEMP	\$ 5,000.00	\$ 147.00
1/10/2024	4-24-1E	NICK SCHMIDT	2521&2523 FAIRVIEW	ELECT NEW DUPLEX	CONRAD ELECT	\$ 36,500.00	\$ 489.30
1/10/2024	5-24-1E	DEREK LIEBHAUSER	2689 CTY II #8	NEW MULTI-FAMILY ELECT	LEE MECHANICAL	\$ 160,000.00	\$ 1,133.40
1/10/2024	6-24-1E	DEREK LIEBHAUSER	2689 CTY II #9	NEW MULTI-FAMILY ELECT	LEE MECHANICAL	\$ 160,000.00	\$ 1,133.40
1/10/2024	7-24-1E	DEREK LIEBHAUSER	2689 CTY II #10	NEW MULTI-FAMILY ELECT	LEE MECHANICAL	\$ 160,000.00	\$ 1,133.40
1/10/2024	8-24-1E	DEREK LIEBHAUSER	2689 CTY II #11	NEW MULTI-FAMILY ELECT	LEE MECHANICAL	\$ 160,000.00	\$ 1,133.40
1/10/2024	9-24-1E	DEREK LIEBHAUSER	2689 CTY II #12	NEW MULTI-FAMILY ELECT	LEE MECHANICAL	\$ 160,000.00	\$ 1,133.40
1/16/2024	10-24-1P	DON HENNESSEY	9381 CENTER	NSFD PLUMB	WATTERS PLUMB	\$ 37,442.00	\$ 508.50
1/16/2024	11-24-1H	AMY WEISKOPF	3611 JADETREE	REPLACE A/C-FURNACE	BLACK-HAAK	\$ 12,000.00	\$ 150.00
1/16/2024	12-24-1H	KATHY KOHL	2558 WRENWOOD	REPLACE FURNACE	MODERN SHEET METAL	\$ 4,899.00	\$ 75.00
1/16/2024	13-24-1E	LARSEN-WINCHESTER SANITARY	8249 HICKORY	REPLACE MAIN DISSCONNECT	CR FOCHS	\$ 1,300.00	\$ 75.00
1/16/2024	14-24-1E	JAMES PARKS	2935 RIDGEWAY	ELECT DETACHED GARAGE	D.KAL ELECT	\$ 40,000.00	\$ 129.00
1/25/2024	15-24-1B	BRIAN BAER	7943 PRAIRIEWOOD	REROOF	PARK AVE CONST	\$ 28,000.00	\$ 75.00
1/25/2024	16-24-1H	TIM POST	3481 SHENANDOAH	REPLACE FURNACE	MODERN SHEET METAL	\$ 4,899.00	\$ 75.00
1/25/2024	17-24-1H	BEVERLY HAFEMEISTER	2539 OAKRIDGE	REPLACE FURNACE	MODERN SHEET METAL	\$ 4,099.00	\$ 75.00
1/25/2024	18-24-1H	POSITIVE VENTURES	2770 TOWN CT	REMODO COMMERCIAL HVAC	CENTRAL TEMP	\$ 32,182.00	\$ 456.00
1/25/2024	19-24-1P	CLAYTON DEVELOPMENT	2648&2650 PRINCETON	NEW DUPLEX PLUMB	THERN PLUMB	\$ 28,271.00	\$ 476.04
1/25/2024	20-24-1P	CLAYTON DEVELOPMENT	2642&2644 PRINCETON	NEW DUPLEX PLUMB	THERN PLUMB	\$ 28,271.00	\$ 476.04
1/25/2024	21-24-1H	DEBRA MANN	4783 FAIRVIEW	REPLACE FURNACE	BLACK-HAAK	\$ 5,000.00	\$ 75.00

TOTALS \$ **1,887,863.00** \$ **11,073.04**
WINNECONNE PERMITS \$ **129,000.00** \$ **423.00**
 *in process of switching reporting to QuickBooks

MEMORANDUM

Public Hearing A / Business Items A & B

From: Administrator/Staff
 To: Plan Commission
 Re: Public Hearing on a Conditional Use Application submitted by Kunes Appleton Properties LLC for a proposed addition to the existing heavy vehicle sales and rental principal building located at 2615 West American Drive, specifically described as Tax ID #006-0341-01.

AND

Plan Commission review & recommendation on a Conditional Use Application submitted by Kunes Appleton Properties LLC for a proposed addition to the existing heavy vehicle sales and rental principal building located at 2615 West American Drive, specifically described as Tax ID #006-0341-01.

AND

Plan Commission review & recommendation on a Site Plan Application submitted by Kunes Appleton Properties LLC for a proposed addition to the existing heavy vehicle sales and rental principal building located at 2615 West American Drive, specifically described as Tax ID #006-0341-01.

Please find the below comments from Code Administrator Kussow:

Property Information Specific to Tax ID # 006-0341-01:

1. Specific Site Location: The subject site is the Kunes RV property addressed 2615 West American Dr.
2. Parcel Profile Report is enclosed with this memo for your reference. Additional applicable property information not included in the Parcel Profile Report is described below:
 - a. The subject property is located in the Town's General Business (B-3) District.
 - b. There are no wetland or floodplain concerns.
 - c. No portion of the subject property is located within shoreland and therefore, the subject property is not subject to Winnebago County zoning jurisdiction.
 - d. The subject property is not located in Outagamie County Airport Zoning, but is located in the 1,009 ft. Airport Height Limitation Zone.
 - e. The subject property is located in the Fox West Sewer Service Area and Town of Clayton Sanitary District #1.
 - f. The Future Land Use Map of the Town Comprehensive Plan identifies the subject property as being located in the Tier 1 development tier and the "Business Park" future land use category.
 - g. The existing "Heavy Vehicle Sales and Rental" land use is a Conditional Use in the subject property's General Business (B-3) District.
3. Zoning of Surrounding Properties:
 - a. North: B-3 (General Business District) & I-1 (Light Industrial District)
 - b. South: USH 10; I-1 (Light Industrial District) south of USH 10
 - c. East: A-2 (General Agriculture District)
 - d. West: B-3 (General Business District)

General Application Details & Background Information:

General Application Details:

The applicant is proposing expansion of the existing heavy vehicle sales and rental land use via a 110' x 112' 6" addition consisting of new service bays and an exterior covered prep area. The

applicant is also requesting after-the-fact approval for expansion of the outdoor display/storage area.

Stormwater management is proposed to be directed to the existing regional stormwater pond located north of the subject property.

The proposed building addition and expansion of the outdoor display/storage area requires a Conditional Use Permit and Site Plan Review approval.

Background Information:

In 2017, the previous property owner (Horn RV) received Site Plan Approval to expand the gravel display area on the subject property, which included additional lighting and landscaping. A copy of the plans approved in 2017 is included for your reference.

In 2022, the gravel display area was expanded outside of the gravel display area approved in 2017 without any approvals from the Town, County, or Wisconsin Department of Natural Resources (DNR), and in violation of Town Zoning Ordinance requirements. Additionally, the following outstanding issues resulted from the 2022 expansion:

- Stormwater management & erosion control: No stormwater management or erosion control permits/approvals were obtained from Winnebago County or the DNR.
- Wetland filling: Wetlands were filled without any DNR approval.
- Landscaping required/installed as part of the 2017 approval was either never installed or removed.

Special Standards for Principal Land Uses:

Special standards for the “heavy vehicle sales and rental” land use are found in Sec. 9.08-291, as follows:

1. *“Outdoor display areas and other activity areas shall be located at least... 25 feet from a property in a commercial or mixed-use zoning district.”*

The submitted plans do not comply with this requirement due to the following issue(s):

1. Gravel outdoor camper display area is located within 25 ft. of the west property line as a result of the 2022 outdoor parking/display area expansion.
2. Gravel display area was installed beyond the western lot line onto the adjacent property to the west.

Additionally, the submitted plans do not comply with the outdoor display/gravel area setback from the south lot line per the 2017 Site Plan Approval. The plans approved in 2017 identified all gravel areas being located a minimum of 15 ft. from the south lot line. The submitted plans show existing gravel within 15 ft. of the south lot line.

In order to address and comply with the requirements of Sec. 9.08-291 and the 2017 Site Plan Approval, all gravel within 25 ft. of the west lot line and all gravel within 15 ft. of the south lot line should be required to be removed (*except for any gravel parking/display areas which were approved within 25 ft. of the west lot line as part of the 2017 Site Plan Approval*). The areas in which gravel is removed should be required to be re-seeded into lawn space or other acceptable landscaping.

Special Site Design Principles and Architectural Standards

The “heavy vehicle sales and rental” land use is subject to the special site design principles and architectural standards outlined in Division 8 of Article 8 of the Town Zoning Code of Ordinances. This section of the ordinance makes reference to the following attachments of the zoning code:

- Attachment B, Horizontal Site Design Standards

- Attachment C, Architectural Design Standards
- Attachment D, Architectural and Landscape Design Zones
- Attachment E, Landscape Design Standards
- Attachment F, Environmental and Energy Efficiency (E³) Guidelines

Per Attachment D, this property is located in the Tier 1 architectural and landscape design zone.

Horizontal Site Design Standards (Attachment B):

Driveways & Vision Clearance Triangle: There is one existing driveway from the site to West American Dr. No changes to the driveway or access to the site is proposed.

Stormwater and Erosion Control:

Stormwater management is proposed to be directed to the existing regional stormwater pond located north of the subject property. Stormwater management and erosion control are regulated by Winnebago County and the Wisconsin Department of Natural Resources (DNR). **County and DNR stormwater management and erosion control permits/approvals were not provided by the applicant.**

Wetlands:

It is apparent that two wetlands identified per a 2016 wetland delineation were disturbed/filled as a result of the 2022 outdoor parking/display area expansion.

- Applicant is proposing to restore the filled wetland in the eastern portion of the property.
- Applicant is proposing to request DNR approval to allow the filled wetland in the middle of the property, adjacent to West American Dr, to remain filled and partially paved with gravel.

DNR approval for wetland disturbance/filling was not provided by the applicant.

Architectural Design Standards (Attachment C):

The subject property is located in the Tier 1 architectural design zone per Attachment D, Architectural and Landscape Design Zones.

Existing Structures:

Sec. A. (5) addresses architectural design standards for existing structures as follows:

- *Any additional square footage added to these structures must be in full compliance to the architectural design standards.*
- *Percentages of Acceptable Exterior Building Materials may be decreased to allow for consistency in architectural design with the existing structures.*

Exterior Wall Materials:

The proposed exterior wall materials of the addition consist of:

- Architectural metal wall panel (American or equivalent color)
- Concrete Masonry Unit (CMU) block (old castle or equivalent color)

Sec. A. (2) (a) states:

- 1) *Except as provided below, Acceptable Exterior Building Materials shall cover 75 percent or more of all exterior wall surfaces. Windows and doors, including overhead doors, shall not be included in the total wall surface area calculation.*

“Acceptable exterior building materials” listed in Sec. A. (1) (d) include the following:

- Clay or masonry brick
- Natural or manufactured stone
- Decorative concrete masonry (sealed) with color consistent with design theme.
- Poured-in-place, tilt-up or precast architectural concrete (shall have stone, texture or coating appearance consistent with design theme)

- Glass curtain walls (Note: Glass windows and doors are not considered glass curtain walls)
- Other materials as approved by the Town Board

The only proposed exterior wall material which is considered an “acceptable exterior building material” as listed in the Town code is the Concrete Masonry Unit (CMU) block. Architectural metal wall panel is not listed as “acceptable exterior building materials” per the Town code.

Although the applicant did not provide area calculations identifying the percentage of exterior wall surfaces covered with “acceptable exterior building materials”, it is apparent that 75% of all exterior wall surfaces of the proposed addition are not covered with “acceptable exterior building materials” and the proposed exterior wall materials do not comply with the requirements of Sec. A. (2) (a).

Please note that Sec. A. (2) (a) provides allowances for the Town to decrease the required percentage of “acceptable exterior building materials” as follows:

2. *In those areas deemed to be of limited exposure to the general public, percentages may be decreased so long as the intent of this provision is maintained. Additional limitation to public view may be achieved by building location, orientation, additional landscaping or additional screening.*
3. *For those uses that require the location of exposed overhead or coiling doors, and not allow for the aggregate percentages to be achieved, acceptable building materials may be decreased to accommodate their necessity for the building use, so long as the intent of this provision is maintained. The Town Board has the authority to approve additional landscaping, acceptable material in other areas, screening, environmental and energy efficiency provisions, a reduction in the number of doors and building location within the parcel to maintain the aesthetic value of the area and maintain the intent of this provision.*

Additionally, as described above, Sec. A. (5) states: *Percentages of Acceptable Exterior Building Materials may be decreased to allow for consistency in architectural design with the existing structures.*

Roofing Materials:

The proposed roofing material is prefinished metal roof panels. “Architectural metal roof panels” is listed as an acceptable roofing material per Sec. A. (1) (c).

Per Sec. A. (1) (c), roof material shall have a Solar Reflective Index (SRI) of 78 or higher on roof slopes less than or equal to 2:12. *Staff was unable to determine compliance due to the applicant not providing specifications identifying the SRI of the proposed roof material.*

Loading Docks and Overhead Doors:

Sec. A. (9), described provision for loading docks and overhead doors as follows:

- *Except as provided below, loading docks and overhead doors shall be located in the side yard or rear yard and shall not be located facing a street yard. **Overhead doors are proposed on both street-facing sides of the building, facing USH 10 and West American Dr.***
- *Should the building orientation or parcel not provide a suitable accommodation or present an undue hardship for locating loading docks and overhead doors in and/or facing the side or rear yard, the Town Board may allow loading docks in and/or facing the street yard if a practical alternative does not exist.*

Staff recommends allowing the overhead doors to face the street yards due to the existing building orientation and the subject lot having street frontage on both the north and south sides of the lot.

Building Orientation:

Per Sec. A. (12):

- *The Town Board may require building orientation to be adjusted to meet specific site concerns and address aesthetic considerations of nearby properties.*
- *The Town Board may require additional architectural design features on street-facing building facades to mimic the appearance of primary building entrances being located on the street facing side(s) of buildings.*

Exceptions:

Sec. A. (14), states: “Should a particular parcel present an undue hardship or needs arise to mitigate adjoining land use impacts, the Town Board may modify provisions of these regulations so long as the intent is protected and such modifications are not utilized in significant fashion as to warrant revision.”

Landscape Design Standards (Attachment E):

The subject property is located in the Tier 1 landscape design zone per Attachment D, Architectural and Landscape Design Zones. **The following issues relating to landscaping were identified:**

1. **No landscape plan was submitted with the application for review.**
2. **Existing landscaping does not comply with the 2017 Site Plan Approval. It is apparent that the display/gravel area perimeter landscaping approved as part of the 2017 Site Plan Approval was either never installed or removed in 2022.**
3. **Existing landscaping does not comply with Attachment E for the proposed building addition and expansion of the outdoor display area.**

Environmental and Energy Efficiency (E³) Guidelines (Attachment F):

The E³ standard is strongly recommended, but not required. Per review of the application materials, the following E³ components are included in this development:

- **Storm sewer piping.** Only hard piping of stormwater directly off-site is proposed to be directed to the existing regional stormwater pond located north of the subject property.
- **Minimize sprawl.** Development is proposed within 1/8 mile of existing commercial development.
- **Minimize impervious surfaces.** Proposed impervious surface percentage is 70% which is in compliance with the maximum 70% requirement.

Storage of Waste/Trash and Recyclables (Sec. 9.08-209):

Per Sec. 9.08-209:

- *Outside Storage of waste/trash or recyclables shall be screened from view and enclosed by a fence or wall that extends to the tallest point of waste/trash or recyclable container(s), but not less than six (6) feet in height.*
- *Screen fencing or walls shall be of a continuous wood, brick, or vinyl surface, or other material(s) as approved by the Town Board.*
- *When a fence has two distinct sides, the side with protruding posts, studs, etc. shall face the inside of the enclosure.*

The refuse/recycling area and screening in compliance with Section 9.08-209 was not identified on or provided with the submitted plans.

Exterior Lighting (Sec. 9.08-210):

Per Section 9.08-210 (b) (1), *exterior lighting shall be certified by the International Dark Sky Association (IDA).*

The application did not submit specifications verifying the proposed exterior lighting is IDA-compliant.

Comprehensive Plan Considerations:

- The Future Land Use Map of the Town Comprehensive Plan classifies this parcel as being in the “Business Park” future land use category.
- “Business Park” Future Land Use Category Description:
“Located along the north and south sides of USH 10, between STH 76 and Clayton Avenue, this district contains much of the visible property that fronts the USH 10 corridor. The accessibility and visibility of these lands is attractive to commercial land uses... Planned light industrial uses are also included in the Clayton Business Park North area primarily due to restrictions imposed on uses within the Airport Zoning Overlay. Examples could include warehousing, distribution centers, and light manufacturing...”

New businesses within this area should be regional in nature and require high-levels of access to the USH 10 and I-41 transportation corridors. New development driven solely by USH 10 traffic counts (i.e. car, boat, RV, trailer dealerships, etc.) shall be discouraged. Instead, high-value employment firms with professional offices, medical and dental facilities, and related uses that attract users to and from the Friendship Trail should be considered within this district.”

Please note that per §66.1001 (2m) (b) of Wisconsin Statutes states: *“A conditional use permit that may be issued by a political subdivision does not need to be consistent with the political subdivision’s comprehensive plan.”*

Issues & Outstanding Items, Staff Comments/Recommendation, & Basis of Decision:

Issues & Outstanding Items:

1. Gravel outdoor camper display area does not comply with the 2017 Site Plan Approval and the 25 ft. outdoor display area setback requirement per Sec. 9.08-291.
 - Staff recommends requiring the applicant to submit revised site plans identifying compliance with the 2017 Site Plan Approval and, for display areas installed beyond the 2017 approval, compliance with Sec. 9.08-291 prior to Conditional Use Permit and Site Plan approvals.
2. Applicant did not provide Winnebago County and Wisconsin Department of Natural Resources (DNR) stormwater management and erosion control permits/approvals.
 - Staff recommends requiring the applicant to provide the Town copies of County and DNR stormwater management and erosion control permits/approvals prior to Conditional Use Permit and Site Plan approvals.
3. Applicant did not provide Wisconsin Department of Natural Resources (DNR) approval for wetland disturbance/filling.
 - Staff recommends requiring the applicant to provide the Town a copy of DNR approval for wetland disturbance/filling prior to Conditional Use Permit and Site Plan approvals.
4. The proposed exterior wall materials do not comply with the requirements of Attachment C for the Tier 1 architectural design zone (i.e., “Acceptable Exterior Building Materials” shall cover at least 75% of all exterior wall surfaces of the proposed addition).
 - Plan Commission will need to determine if compliance with Attachment C will be required for the proposed addition or if Plan Commission will recommend

allowing the percentages of Acceptable Exterior Building Materials to be decreased for consistency in architectural design of the existing building.

5. Applicant did not provide specifications identifying compliance with the Solar Reflective Index (SRI) requirement for roofing material.
 - Staff recommends requiring the applicant to provide specifications identifying compliance with the SRI requirement prior to Conditional Use Permit and Site Plan approvals.
6. New overhead doors are proposed facing street yards (i.e., USH 10 & West American Dr.).
 - Staff recommends allowing the overhead doors to face the street yards due to the existing building orientation and the subject lot having street frontage on both the north and south sides of the lot.
7. Applicant did not submit a landscape plan; the existing landscaping does not comply with the 2017 Site Plan Approval; and the existing landscaping does not comply with Attachment E for the proposed building addition and expansion of the outdoor display/storage area.
 - Staff recommends requiring the applicant to submit a landscape plan in compliance with the 2017 Site Plan Approval and Attachment E for the proposed building addition and outdoor display area expansion prior to Conditional Use Permit and Site Plan approvals.
8. The refuse/recycling area and screening in compliance with Section 9.08-209 was not identified on or provided with the submitted plans.
 - Staff recommends requiring the applicant to submit plans identifying the refuse/recycling area and screening in compliance with Section 9.08-209 prior to Conditional Use Permit and Site Plan approvals.
9. Applicant did not provide specifications verifying the proposed exterior lighting is certified by the International Dark Sky Association (IDA).
 - Staff recommends requiring the applicant to submit specifications verifying the proposed exterior lighting is IDA-compliant prior to Conditional Use Permit and Site Plan approvals.

Staff Comments/Recommendation:

- Staff does not recommend approval of the Conditional Use Permit or Site Plan Review applications at this time due to the “Issues & Outstanding Items” described above.
- Staff recommends postponing (tabling) the Conditional Use Permit and Site Plan Review applications until the “Issues & Outstanding Items” described above are addressed and submitted for review by the Plan Commission.

Basis of Decision:

Conditional Use:

The Town, in making its decision, should consider the following factors:

1. the size of the parcel on which the proposed use will occur;
2. the presence of and compatibility with other uses on the subject property;
3. the location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses);

4. effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site;
5. the suitability of the subject property for the proposed use;
6. effects of the proposed use on the natural environment;
7. effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances;
8. effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts; and
9. any other factor that relates to the purposes of this chapter as set forth in s. 9.01-5 and other sections as may apply.

Site Plan Review:

The Town, in making its decision, should consider the following factors:

1. Effects of the project on traffic safety and efficiency and pedestrian circulation, both on-site and off-site;
2. Effects of the project on the natural environment;
3. Effects of the project on surrounding properties, including but not limited to operational considerations relating to hours of operation and creation of potential nuisances such as noise, odor, fumes, dust, and light;
4. Compliance with the Special Site Design Principles and Architectural Standards described in Division 8 of Article 8;
5. Compliance with other applicable requirements contained in this Chapter; and
6. Any other factor that relate to the purposes of this Chapter as set forth in section 9.01-05 and other applicable sections.

SUGGESTED MOTIONS

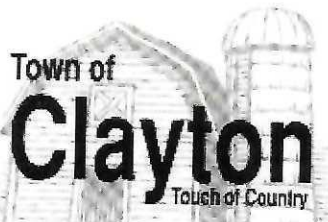
Business Item A:

Motion to recommend denial of the Conditional Use Application submitted by Kunes Appleton Properties LLC due to non-compliance with the minimum standards/requirements of the Town's Zoning Ordinance as outlined in the 9 Issues & Outstanding Items described in the submitted Staff Memo.

Business Item B:

Motion to recommend denial of the Site Plan Application submitted by Kunes Appleton Properties LLC due to non-compliance with the minimum standards/requirements of the Town's Zoning Ordinance as outlined in the 9 Issues & Outstanding Items described in the submitted Staff Memo.

Respectfully Submitted,
Kelsey



CONDITIONAL USE APPLICATION

8348 County Road T, Larsen WI 54947
Phone - 920-836-2007 Fax - 920-836-2026
Email - clerk@townofclayton.net Web Page - www.townofclayton.net

Property Owner(s): Kunes Appleton Properties LLC
Address/Zip: PO Box 546, Delavan, WI 53115
Phone: 608-769-9678 Fax: E-Mail: dax.connely@kunes.com

Applicant: Kunes Appleton Properties LLC
Check: Architect Engineer Surveyor Attorney Agent Owner X
Address/City/Zip: PO Box 546, Delavan, WI 53115
Phone: 608-769-9678 Fax: E-Mail: dax.connely@kunes.com

Describe the reason for the Conditional Use: Addition to existing facility requires a Conditional Use
in the B-3 General Business District

Conditional Use Specifics:

No. of Lots: 1 Total Acreage: 10 Tax Key No.: 006034101
Legal Description: Lot One (1) of Certified Survey Map No. 7607 recorded on March 16, 2020 as Document No. 1812010,
being all of Lots Two (2) and Three (3) of Certified Survey Map No. 6306, being part of the Northeast 1/4
of the Southwest 1/4 and part of the Northwest 1/4 of the Southeast 1/4 of Section 12, Township 20 North,
Range 16 East, Town of Clayton, Winnebago County, Wisconsin.

Current Zoning: B-3: General Business
I certify that the attached drawings are to the best of my knowledge complete and drawn in accordance
with all Town of Clayton codes.

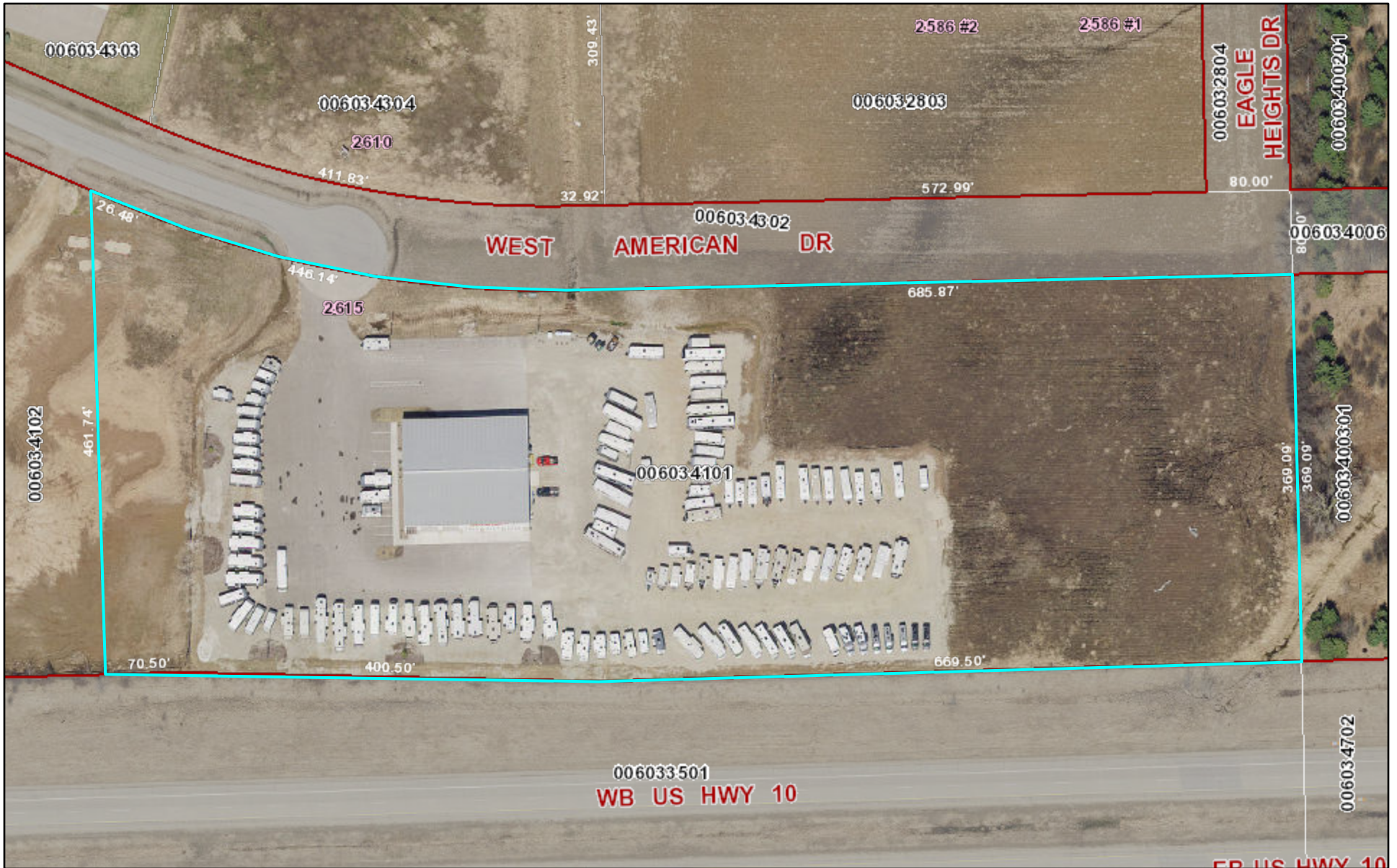
Applicant Signature: [Signature] Date: 11/3/23

For Town Use Only
Fee (see Town Fee Schedule)
Fee: Check # Receipt Date
Date Received Complete By CUP No.
Review Meetings - Plan Comm Town Board
Newspaper Publication Dates & Posting Date
300' Neighborhood Notice Distribution
Conditional Use is: Approved Denied
Comments

Notes: 1. Please notify utility companies regarding your proposed development. 2. A Conditional Use approval does not constitute approval of a building permit or any required approval of a highway connection permit. 3. A Conditional Use Application & Fee must be submitted 20 working days prior to meeting.
Rev 03-2018

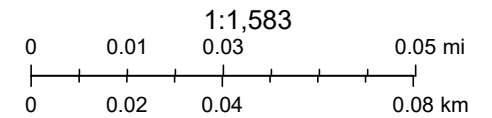
Kunes RV CUP/SPR Apps - Aerial Map 1

Item A.



2/7/2024, 10:18:35 AM

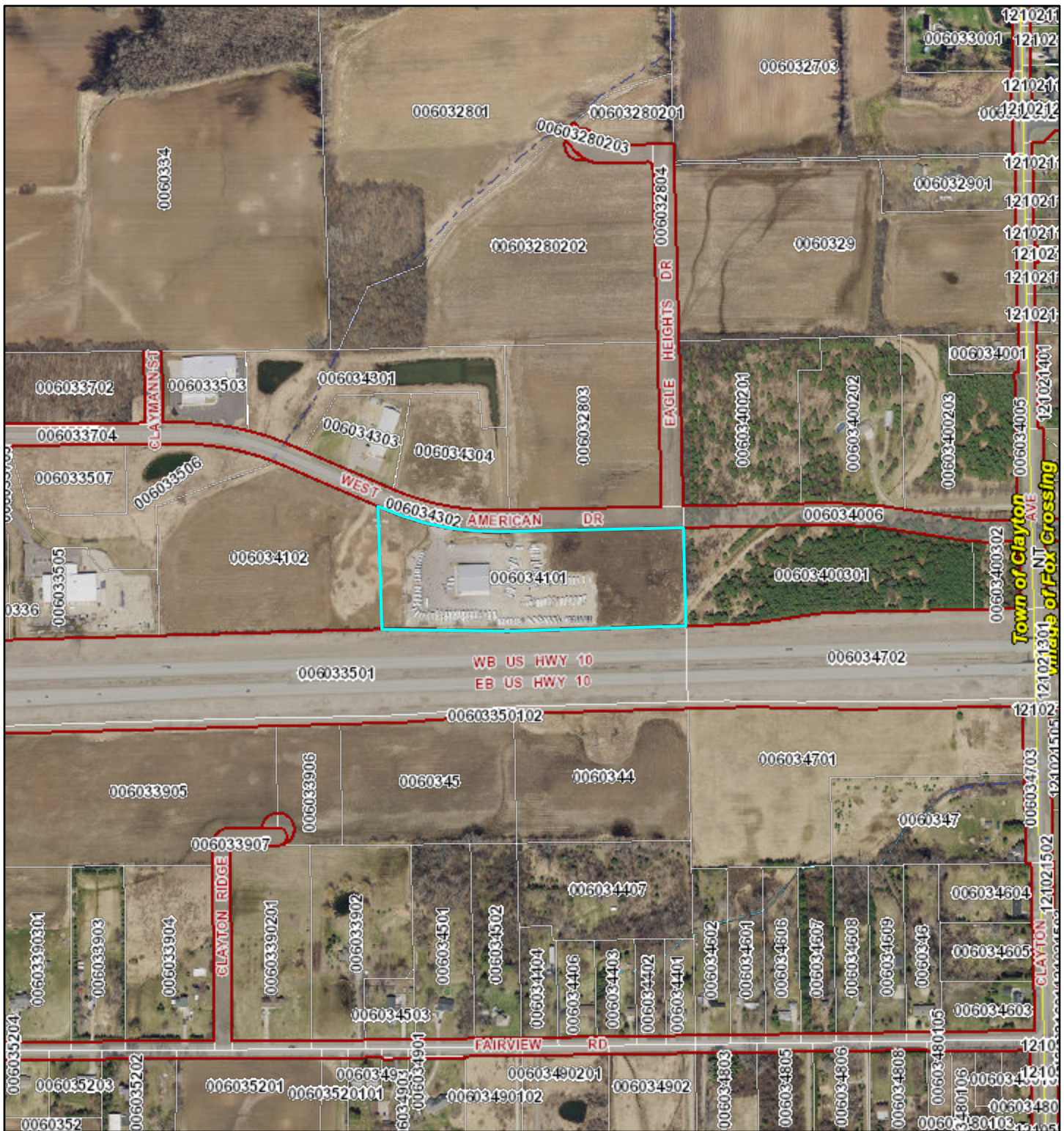
- Adjacent Counties
- Lakes, Ponds and Rivers
- Navigable Waterways
- Navigable - Permanent (unchecked)
- Navigable - Intermittent (unchecked)
- Navigable - Stream (unchecked)
- Navigable - Permanent (checked)
- Navigable - Intermittent (checked)
- Navigable - Stream (checked)
- Tax Parcel Boundary



Winnebago County GIS, Imagery Date: April 2020

Kunes RV CUP/SPR Apps - Aerial Map 2

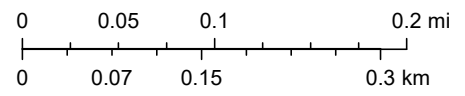
Item A.



2/7/2024, 10:20:53 AM

1:6,331

- Adjacent Counties
- Lakes, Ponds and Rivers
- Navigable Waterways
 - Navigable - Permanent (unchecked)
 - Navigable - Intermittent (unchecked)
 - Navigable - Stream (unchecked)
- Tax Parcel Boundary
- Road ROW
- Municipal Boundary
- Navigable - Permanent (checked)
- Navigable - Intermittent (checked)
- Navigable - Stream (checked)



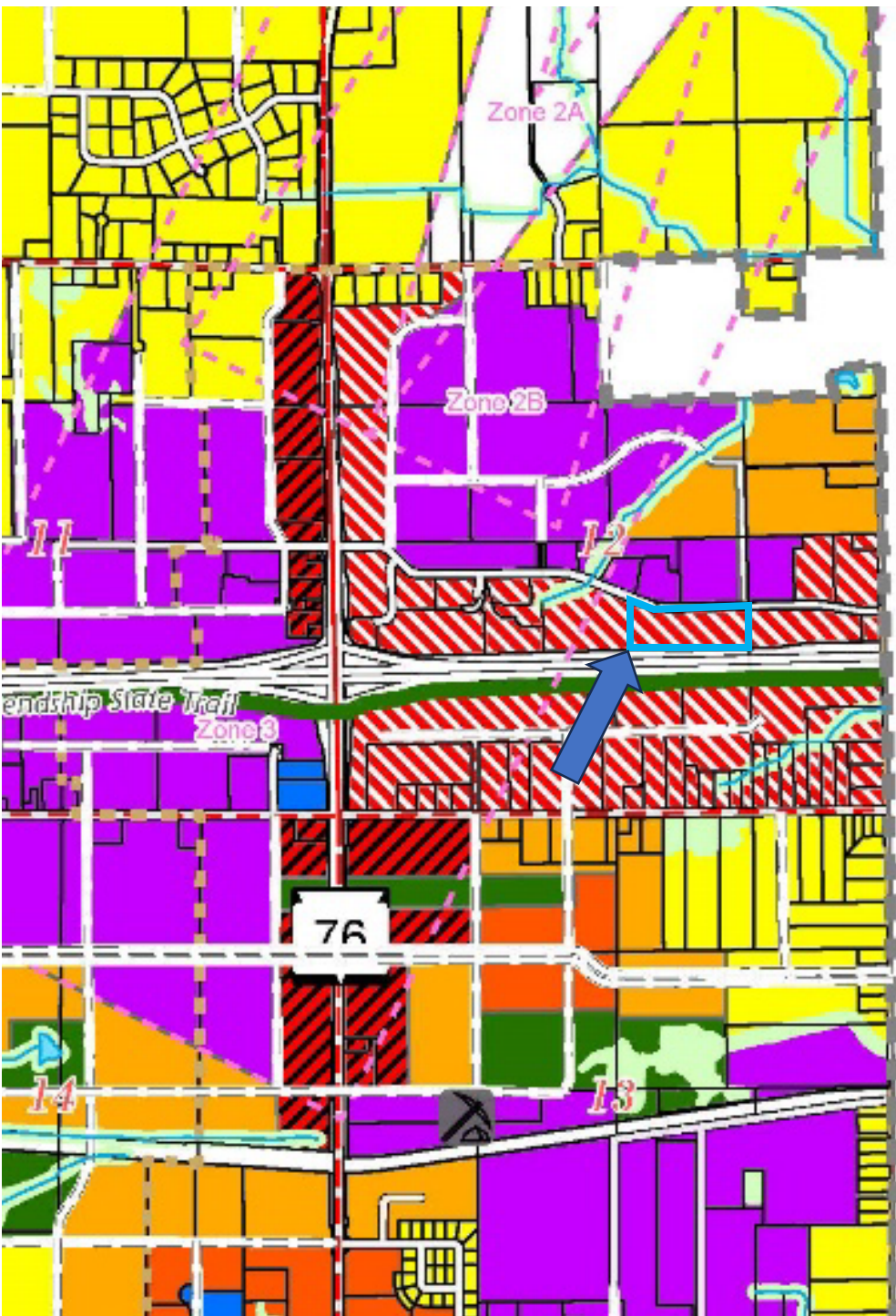
Winnebago County GIS, Imagery Date: April 2020

Town of Clayton

Winnebago County

Future Land Use (2040)

Tier 1



- Agriculture/Rural
- Conservation/Greenspace
- DNR Property
- Working Lands
- Residential - Single and Duplex
- Medium and High Density Residential
- Neighborhood Center Mixed Use
- Business
- Business Park
- Gateway Commercial & Retail
- Light Industrial, Warehousing, and Distribution
- Utilities and Public Facilities
- Parks and Recreation
- Abandoned Landfill Site
- Open Water/Pond/Lake
- Non-Metallic Mining Sites
- Other Non-Metallic Mining Sites

- Other Features**
- Cities, Towns, & Villages
 - Sections
 - Parcels
 - Airport Zoning
 - Town of Clayton Sanitary District #1
 - Roads
 - Future Roads
 - Recreation Trails
 - Navigable Waterways
 - Commercial Gateways

Clayton Avenue

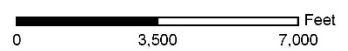
sing

NORTH

Cedar
CORPORATION

Community Infrastructure
Architecture
Environmental Services
800-472-7372
www.cedarcorp.com

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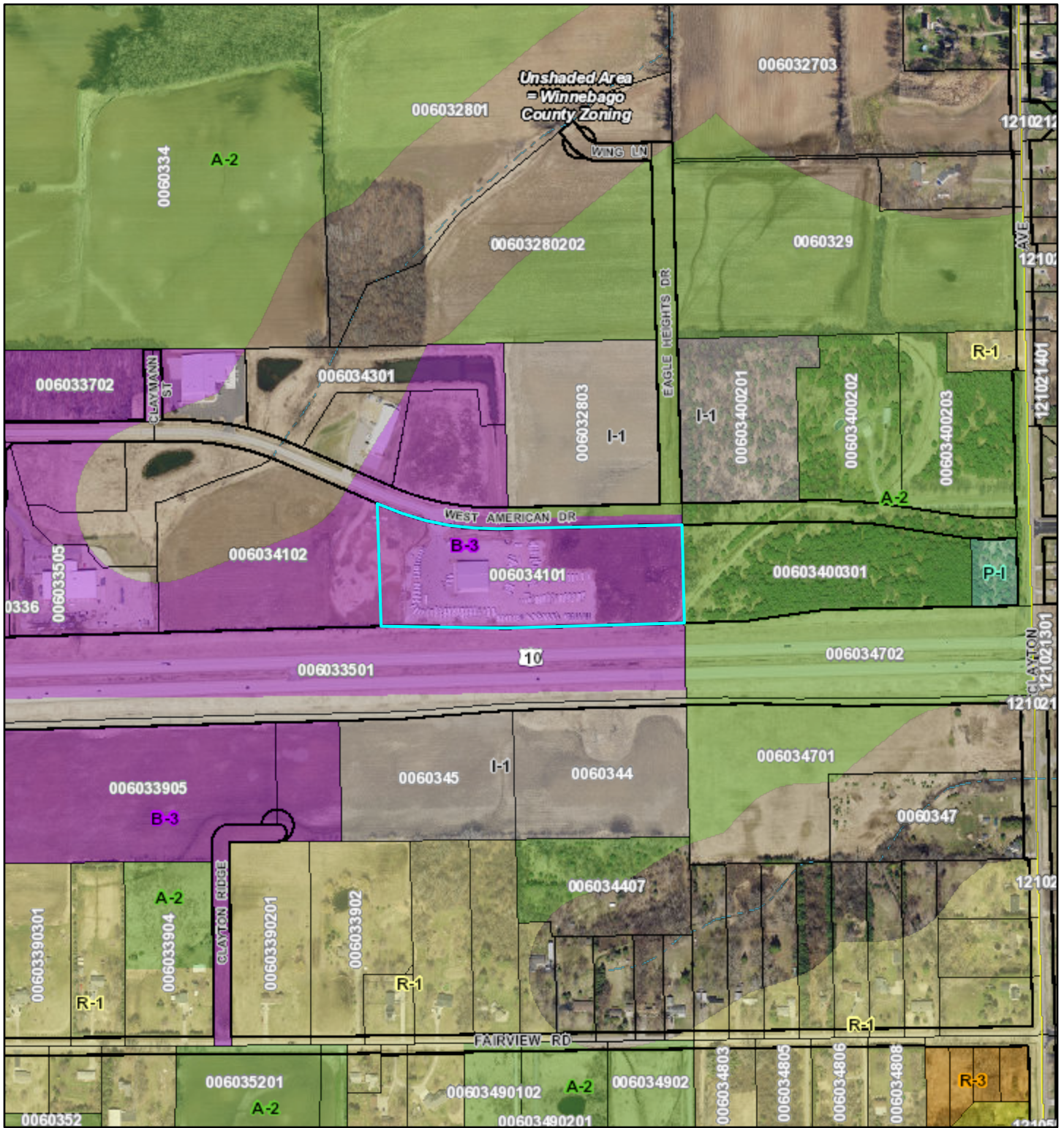


This base map was created with data from Winnebago County Planning Department who assumes no liability for the accuracy of this data and any use or misuse of its content is the responsibility of the user. Changes were made by Cedar Corporation under the direction of the Town of Clayton

Map Created: November 30, 2022 - Updated: July 6, 2023

Kunes RV CUP/SPR Apps - Town Zoning Map

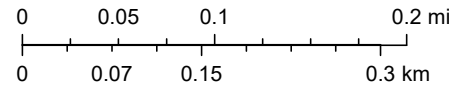
Item A.



2/7/2024, 10:23:53 AM

1:6,331

District Code / Description	Color	District Code / Description	Color
A-1 - Agribusiness	Light Green	R-8 - Manufactured Housing Community	Light Brown
A-2 - General Agriculture	Green	PDD - Planned Development	Red
R-1 - Rural Residential	Yellow	B-1 - Local Service Business	Light Purple
R-2 - Suburban Residential	Light Yellow	B-2 - Community Business	Medium Purple
R-3 - Two-Family Residential	Orange	B-3 - General Business	Dark Purple
R-4 - Multifamily Residential	Dark Orange	P-I - Public Institutional	Light Blue
		I-1 - Light Industrial	Grey



Winnebago County GIS, Imagery Date: April 2020



Site Plan Review Application
Town of Clayton

Mail: 8348 County Road T, Larsen, WI 54947
Phone: 920-836-2007 Fax: 920-836-2026
Email: administrator@townofclayton.net
Web Page: www.townofclayton.net

Contact Information

Property Owner: Dax Connely
Company: Kunes Appleton Properties LLC
Address: PO Box 546
City/St/Zip: Delavan, WI 53115
Phone/Fax: 608-769-9678
Email: dax.connely@kunes.com

Engineer/Architect: Jason Daye, P.E.
Company: Excel Engineering, Inc.
Address: 100 Camelot Dr.
City/St/Zip: Fond du Lac, WI 54935
Phone/Fax: 920-926-9800
Email: jason.daye@excelengineer.com

Property Information

Project Name: Kunes Fox Valley Building Addition
Site Address: 2615 West American Drive, Neenah, WI 54956 **Tax/Parcel ID:** 006- 034101
Site Zoning: B-3: General Business
Surrounding Land Uses:
North: Agricultural/Vacant
South: Highway 10
East: Vacant/Wooded
West: Vacant

Proposed Use: Building addition and canopy with proposed pavement over existing gravel area.

Proposed Zoning: B-3: General Business "Heavy Vehicle Sales & Rental" 7,523 sf addition and
Lot Size: 10 acres **Structure Size:** Existing= 11,975 sf **Addition:** 5,086 of canopy
Project Schedule: Start in beginning of 2024 and end in May 2024

Submittal Fees and Requirements

See Application Checklist for Additional Information
Please make checks payable to the Town of Clayton

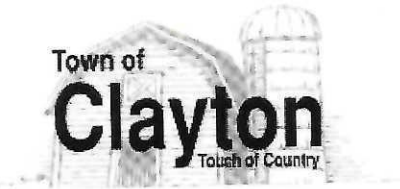
- Fees**
 - Fees are based on Actual Review Costs (See Fee Schedule) and will be determined prior to approval.
 - Storm Water & Erosion Control fees are based on Winnebago County Zoning Department fee schedule.
- Plan of Operation**
 - Letter describing the business
- Site Plan, Architectural Plan, Utility Plan (if applicable), Landscaping Plan**
 - Meets the requirements of the Town's Zoning Code of Ordinances Article 7, Division 13
 - Meets the requirements of the Town's Subdivision Ordinance
 - Submit 1 Hard Copy w/application and email an 11 x 17 copy

Signatures

By the execution of this application, applicant hereby authorizes the Town of Clayton or its agents to enter upon the property during the hours of 7:00 AM to 7:00 PM daily for the purpose of inspection. Applicant grants the Town of Clayton or its agents even if applicant has posted this land against trespassing pursuant to Sec. 943.13 Wis. Stats.

Signature: Dax Connely

Date: 11/3/23



**Site Plan Review Application
Town of Clayton**

Mail: 8348 County Road T, Larsen, WI 54947
 Phone: 920-836-2007 Fax: 920-836-2026
 Email: administrator@townofclayton.net
 Website: www.townofclayton.net

General Information

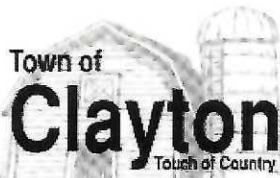
A Site Plan is required for all new buildings and additions to existing buildings which alter the outside dimensions of the building or the internal function of the site, and the development of, or expansion of parking areas, including new or relocated signs. Developments subject to review are multiple dwellings of 3-units or more and all commercial, industrial, or public development and improvements.

Site Plan Review is authorized by the Town of Clayton's Zoning Code of Ordinances Article 7, Division 13 and Subdivision Ordinance. The approval of a site plan shall remain valid for one year after date of approval, after which time the site plan shall be deemed null and void if the development has not been established or actual construction commenced.

Procedure

The Town Staff and Town Planner shall review the application and shall only approve plans that meet all the requirements set forth in the Town of Clayton's Zoning Code of Ordinance and Subdivision Ordinance.

1. **Pre-application conference (recommended):** The purpose of the pre-application conference is to provide an opportunity for the applicant and staff to discuss the project, and for the applicant to gain information regarding the Zoning Ordinance and Site Plan Ordinance.
2. **Application:** The Town Staff shall distribute copies of the Site Plan Review application to the appropriate persons for review.
3. **Staff Review and Action (this process may take 20 days):** The Town Planner shall report their findings within 15 days of receiving the application. The Town Zoning Administrator, based upon compliance with the Zoning Ordinance, Subdivision Ordinance, and other Town Staff recommendations, shall make a recommendation for approval, approval with conditions, or deny with reason in writing, the development proposal.
4. **Approvals, Conditional Approvals, or Denials of Site Plan:** Any approvals, conditional approvals, or denials of a site plan will be specified in a letter sent to the applicant.
5. **Sanitary and Erosion Control Permits:**
 - a. **Sanitary Permits:** Sanitary Permits, if applicable, are issued through the Winnebago County Zoning Department. <https://www.co.winnebago.wi.us/planning-and-zoning>
 - b. **Erosion Control Permits:** Erosion Control Permits are also issued through the Winnebago County Zoning Department. An erosion control permit is required during certain land disturbing activities to regulate the installation and maintenance of Best Management Practices (BMPs). The erosion control permit applies, but is not limited to the following land disturbing activities:
 - Land disturbance greater than or equal to 4,000 square feet;
 - Excavation or fill greater than or equal to 400 cubic yards;
 - Public or private driveway and road construction or reconstruction longer than 125 linear feet;
 - Construction of any structure, addition to a structure, or multiple additions and/or structures where the total area is greater than 1,000 square feet.
6. **Excavation and Earthwork:** Excavation and earthwork may commence on site only after an Erosion Control Permit has been issued. Excavation and earthwork prior to site plan approval is at the owner's risk.
7. **No Building, Utility, or Zoning Permits shall be issued nor can any construction commence on any projects prior to site plan approval and the issuance all building, zoning, and utility permits.** Please refer to the pre-construction Checklist at www.townofclayton.net under municipal services, forms and permits.



**Site Plan Review Application
Town of Clayton**

Mail: 8348 County Road T, Larsen, WI 54947
Phone: 920-836-2007 Fax: 920-836-2026
Email: administrator@townofclayton.net
Website: www.townofclayton.net

For Town Use Only

Fee (Actual Cost): _____ Acct No: _____ Receipt: _____ Date: _____
Date Rec'vd Complete: _____ By: _____ Applic. No.: _____
Review Meeting _____ History _____
Site Plan is: Approved _____ Approved with Condition _____ Denied _____
Comments: _____

Notes: Please notify utility companies regarding your proposed development. Site plan approval does not constitute approval of a building permit or any required approval of a highway connection permit. Site plan & fee must be submitted **30** working days prior to meeting please see PC Submittal Schedule.

SPECIFICATION NOTE:
SEE SHEET CO.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS



Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED BUILDING ADDITION TO:
KUNES FOX VALLEY RV
26915 WEST AMERICAN DRIVE • TOWN OF CLAYTON, WI

PROFESSIONAL SEAL

PRELIMINARY DATES

- NOV. 3, 2023
- NOV. 6, 2023
- NOV. 10, 2023
- NOV. 16, 2023
- DEC. 7, 2023
- JAN. 5, 2024
- JAN. 12, 2024

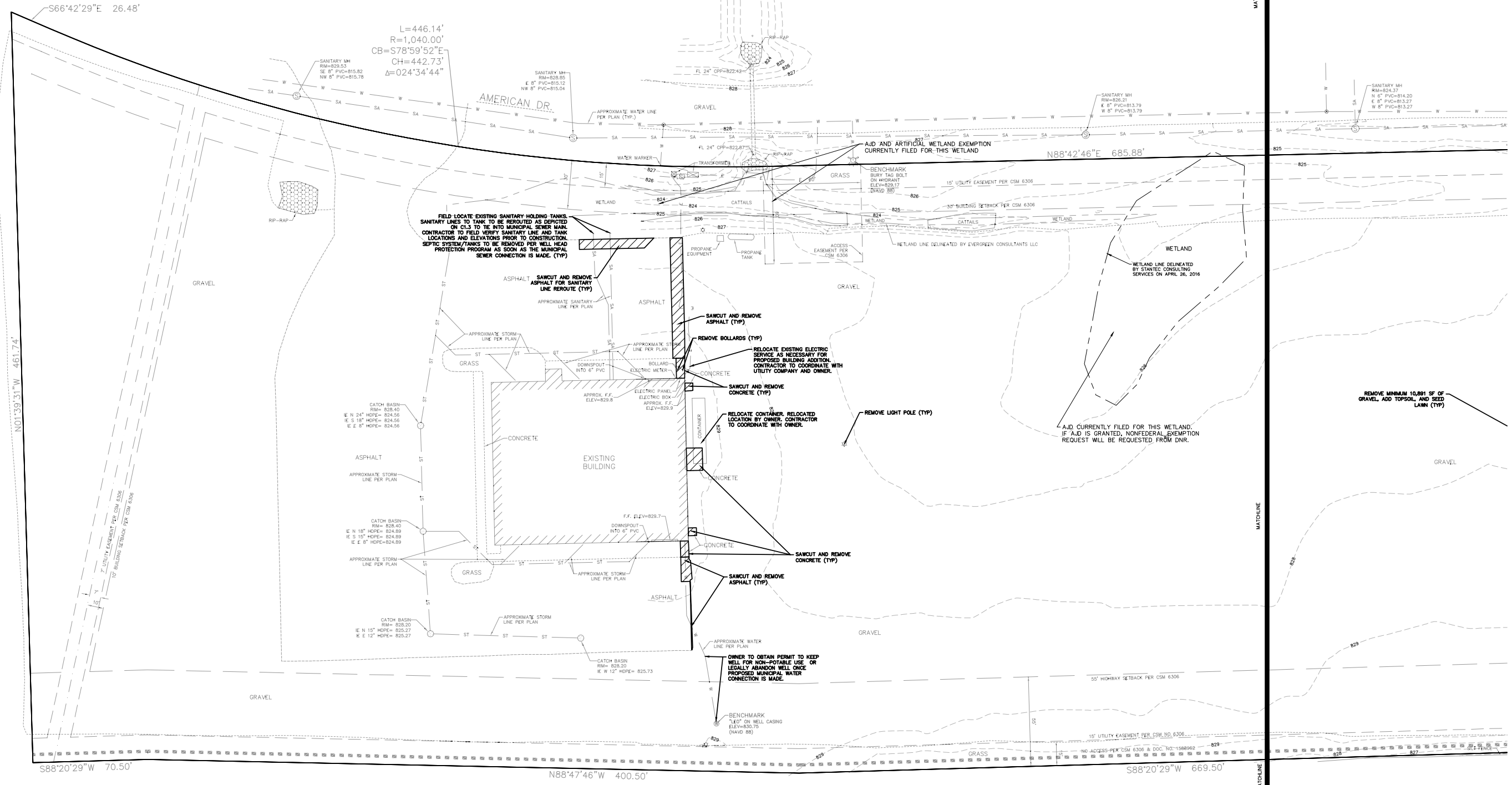
JOB NUMBER

230322300

SHEET NUMBER

C1.0A 27

NOT FOR CONSTRUCTION



NOTE:
PROPERTY LINES AND EASEMENTS SHOWN ON THIS SURVEY WERE DRAFTED FROM INFORMATION CONTAINED IN TITLE COMMITMENT FILE NO. 2241862, BY KNIGHT BARRY TITLE GROUP, DATED OCTOBER 23, 2023. AN UPDATED PLAT OF SURVEY, CERTIFIED SURVEY MAP OR ALTA SURVEY HAS NOT BEEN AUTHORIZED.

NOTE:
SURFACE INDICATIONS OF UTILITIES ALONG WITH DIGGER'S HOTLINE MARKINGS PER TICKET NO. 20233917621 HAVE BEEN SHOWN. SIZES AND ELEVATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS OF VISIBLE STRUCTURES IN COMBINATION WITH AVAILABLE DATA PROVIDED TO EXCEL ENGINEERING. EXCEL ENGINEERING MAKES NO GUARANTEE THAT ALL THE EXISTING UTILITIES IN THE SURVEYED AREA HAVE BEEN SHOWN NOR THAT THEY ARE IN THE EXACT LOCATION INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.



SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS



Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED BUILDING ADDITION TO:
KUNES FOX VALLEY RV
26915 WEST AMERICAN DRIVE • TOWN OF CLAYTON, WI

PROFESSIONAL SEAL

PRELIMINARY DATES

NOV. 3, 2023
NOV. 6, 2023
NOV. 10, 2023
NOV. 16, 2023
DEC. 7, 2023
JAN. 5, 2024
JAN. 12, 2024

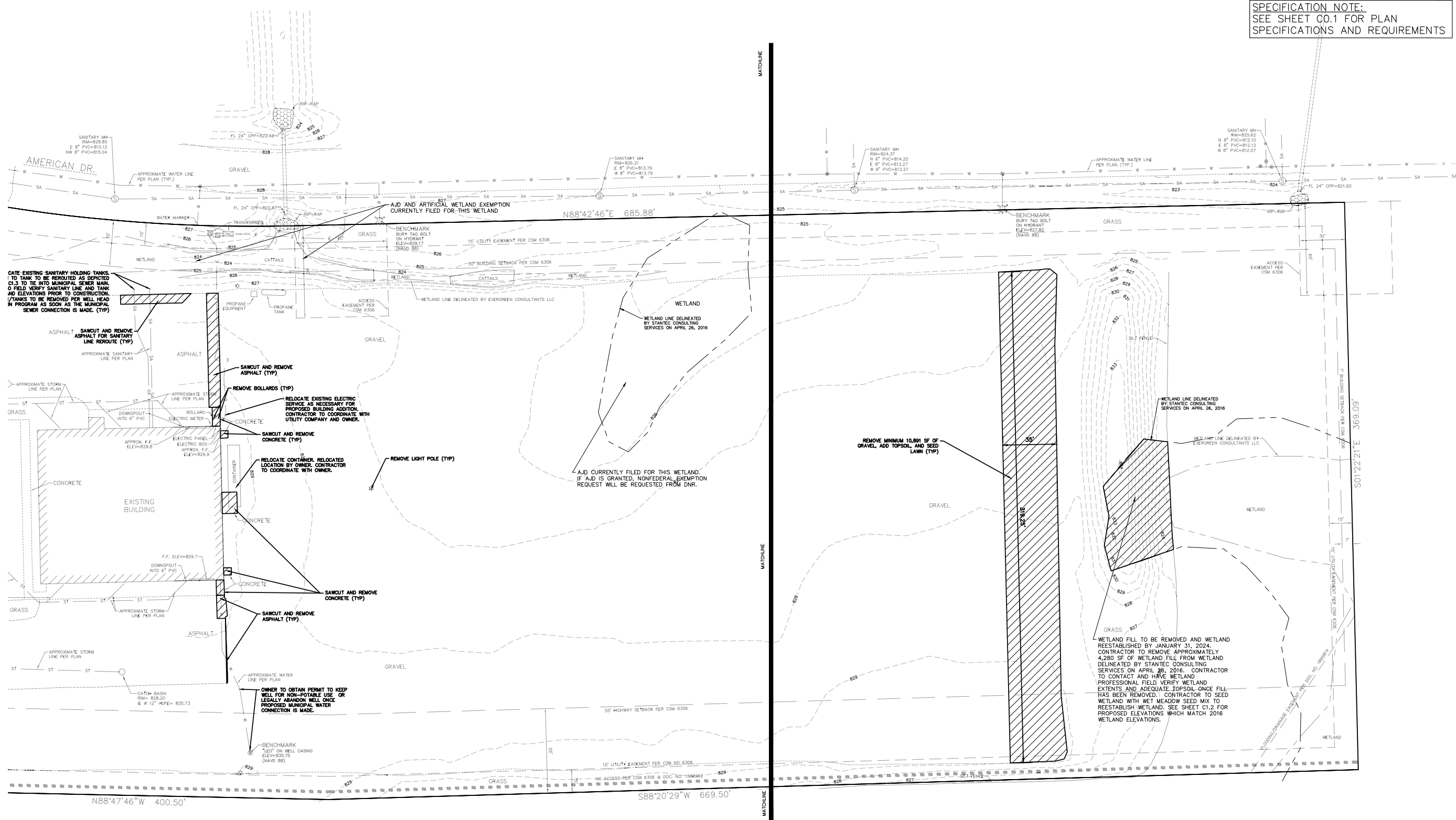
JOB NUMBER

230322300

SHEET NUMBER

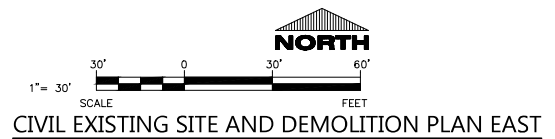
C1.0E 28

NOT FOR CONSTRUCTION



NOTE:
PROPERTY LINES AND EASEMENTS SHOWN ON THIS SURVEY WERE DRAFTED FROM INFORMATION CONTAINED IN TITLE COMMITMENT FILE NO. 2241862, BY KNIGHT BARRY TITLE GROUP, DATED OCTOBER 23, 2023. AN UPDATED PLAT OF SURVEY, CERTIFIED SURVEY MAP OR ALTA SURVEY HAS NOT BEEN AUTHORIZED.

NOTE:
SURFACE INDICATIONS OF UTILITIES ALONG WITH DIGSER'S HOTLINE MARKINGS PER TICKET NO. 20233917621 HAVE BEEN SHOWN. SIZES AND ELEVATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS OF VISIBLE STRUCTURES IN COMBINATION WITH AVAILABLE DATA PROVIDED TO EXCEL ENGINEERING. EXCEL ENGINEERING MAKES NO GUARANTEE THAT ALL THE EXISTING UTILITIES IN THE SURVEYED AREA HAVE BEEN SHOWN NOR THAT THEY ARE IN THE EXACT LOCATION INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.



CIVIL EXISTING SITE AND DEMOLITION PLAN EAST

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS



Always a Better Plan
100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED BUILDING ADDITION TO:
KUNES FOX VALLEY RV
26915 WEST AMERICAN DRIVE • TOWN OF CLAYTON, WI

PROFESSIONAL SEAL

PRELIMINARY DATES

NOV. 1, 2023
NOV. 6, 2023
NOV. 10, 2023
NOV. 16, 2023
DEC. 7, 2023
JAN. 5, 2024
JAN. 12, 2024

JOB NUMBER

230322300

SHEET NUMBER

C1.1 29

NOT FOR CONSTRUCTION

SITE INFORMATION:

PROPERTY AREA: 435,612 S.F. (10.00 ACRES).
EXISTING ZONING: B-3 GENERAL BUSINESS
PROPOSED ZONING: B-3 GENERAL BUSINESS
PROPOSED USE: KUNES RV FACILITY WITH BUILDING & PAVEMENT ADDITION
AREA OF SITE DISTURBANCE: 107,000 SF (2.46 ACRES)
SETBACKS: BUILDING: FRONT = 30'
SIDE = 7' (ONE SIDE) AND 10' (OTHER SIDE)
REAR = 25'
STREET = 30'
PAVEMENT: FRONT = N/A
SIDE = N/A
REAR = N/A
PROPOSED BUILDING HEIGHT: 22'-6" (MAX. HEIGHT ALLOWED: 45')
PARKING REQUIRED: 1 SPACE PER 300 S.F. OF GFA (65 SPACES REQ.)
PARKING PROVIDED: 12 SPACES (1 H.C. ACCESSIBLE) *NUMBER OF STALLS PROVIDED PREVIOUSLY APPROVED WITH ORIGINAL BUILDING PROJECT.
HANDICAP STALLS REQUIRED: 1, HANDICAP STALLS PROVIDED: 1
LANDSCAPE REQUIREMENTS: MIN. LANDSCAPE SURFACE RATIO: 30%
MAXIMUM IMPERVIOUS SURFACE: 70%

EXISTING SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	10.00	435,612	
BUILDING FLOOR AREA	0.27	11,975	2.7%
PAVEMENT (ASP, CONC, GRAVEL)	6.98	303,869	69.8%
TOTAL IMPERVIOUS	7.25	315,844	72.5%
LANDSCAPE / OPEN SPACE	2.75	119,768	27.5%

PROPOSED SITE DATA

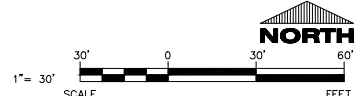
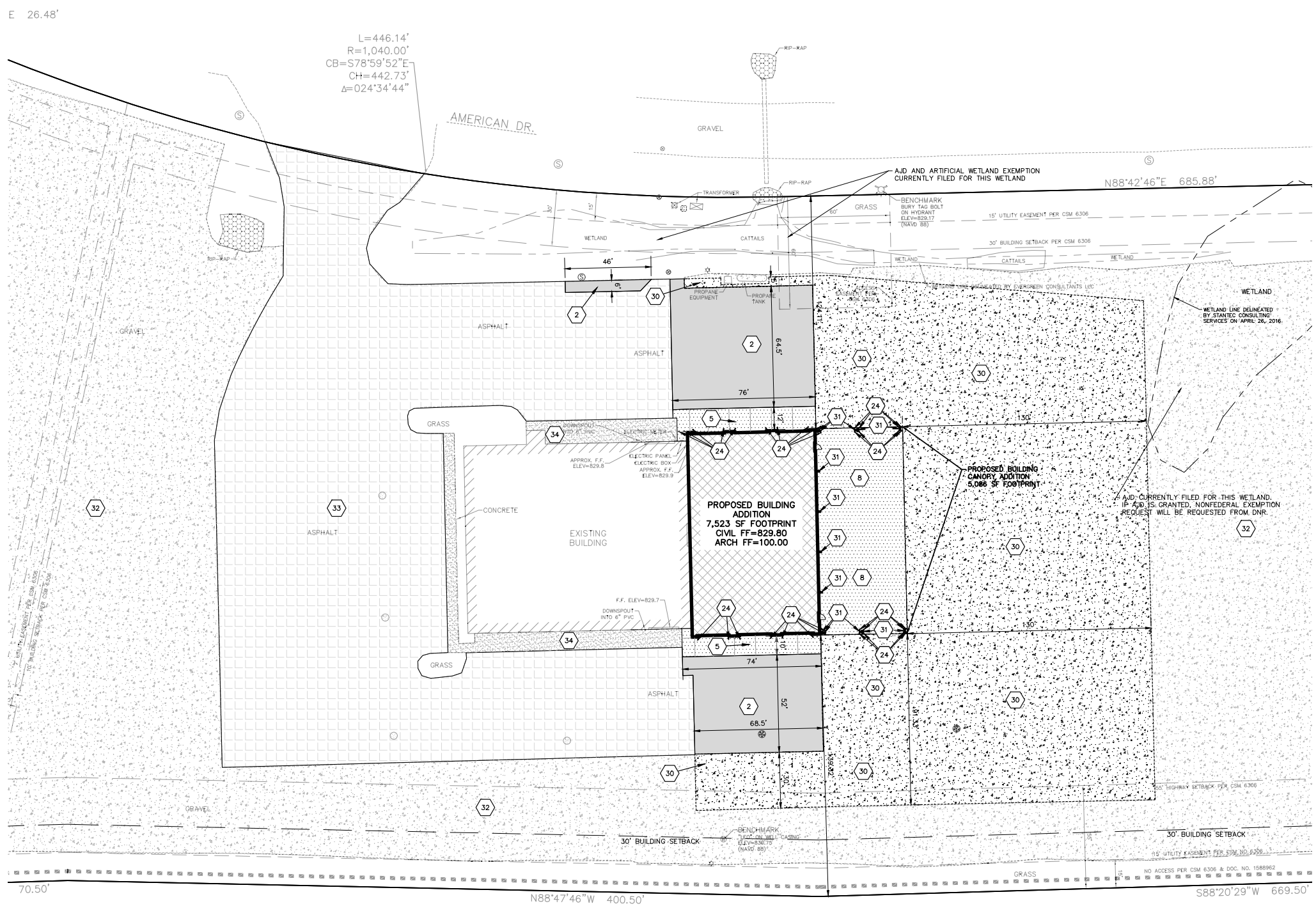
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	10.00	435,612	
BUILDING FLOOR AREA (INCLUDES PROPOSED CANOPY)	0.56	24,583	5.6%
PAVEMENT (ASP, CONC, GRAVEL)	6.44	280,370	64.4%
TOTAL IMPERVIOUS	7.00	304,953	70.0%
LANDSCAPE / OPEN SPACE	3.00	130,659	30.0%

SITE PLAN KEYNOTES

- 2 HEAVY DUTY ASPHALT SECTION (TYP.)
- 5 HEAVY DUTY CONCRETE (TYP.)
- 8 CONCRETE UNDER CANOPY. SEE STRUCTURAL PLANS FOR DETAILS.
- 24 6" CONCRETE BOLLARDS (SEE DETAIL ON ARCH. PLAN)
- 30 GRAVEL AREA. ADD/REMOVE GRAVEL FOR GRADING PURPOSES. SEE C1.2. CONTRACTOR TO ENSURE A MINIMUM OF 12" OF GRAVEL WILL EXIST ONCE ELEVATION MODIFICATIONS ARE COMPLETE (TYP.)
- 31 CANOPY SUPPORT COLUMN (SEE ARCH PLANS FOR DETAILS)
- 32 EXISTING GRAVEL TO REMAIN.
- 33 EXISTING ASPHALT TO REMAIN.
- 34 EXISTING CONCRETE TO REMAIN.

PAVEMENT HATCH KEY:

- HEAVY ASPHALT
- HEAVY DUTY CONCRETE
- GRADED GRAVEL
- EXISTING GRAVEL TO REMAIN
- EXISTING ASPHALT TO REMAIN
- EXISTING CONCRETE TO REMAIN



CIVIL SITE PLAN

PROJECT INFORMATION

PROPOSED BUILDING ADDITION TO:
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26915 WEST AMERICAN DRIVE • TOWN OF CLAYTON, WI

PROFESSIONAL SEAL

PRELIMINARY DATES

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- JAN. 12, 2024

JOB NUMBER

230322300

SHEET NUMBER

C1.2 30

CONCRETE WASHOUT NOTE:

CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.

INLET PROTECTION NOTE:

IP CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ONSITE & OFFSITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.

STABILIZED CONSTRUCTION ENTRANCE NOTE:

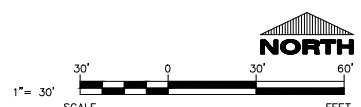
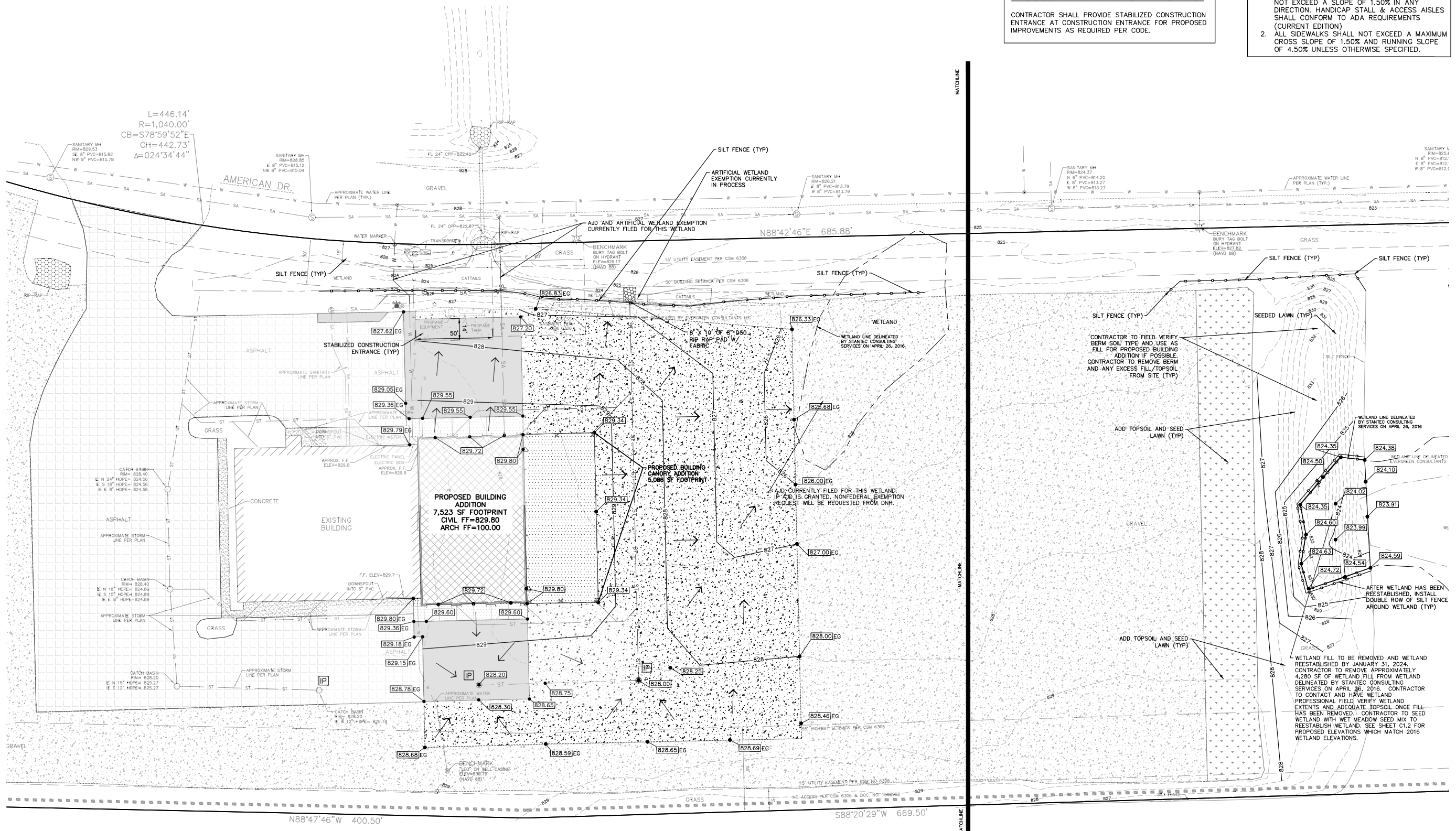
CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.

SPECIFICATION NOTE:

SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

NOTES:

1. HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION)
2. ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.



CIVIL GRADING AND EROSION CONTROL PLAN

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

DOWNSPOUT NOTE:
[DS] = DENOTES DOWNSPOUT TO
STORM PIPE CONNECTION LOCATIONS. SEE ARCH
PLANS FOR FINAL LOCATIONS.

CLEANOUT NOTE:
[CO] = DENOTES LOCATIONS WHERE
CONTRACTOR SHALL INSTALL CLEANOUTS, SEE
C0.1 FOR SPECIFICATION.



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920-926-9800
excelengineer.com

PROJECT INFORMATION

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JOB NUMBER

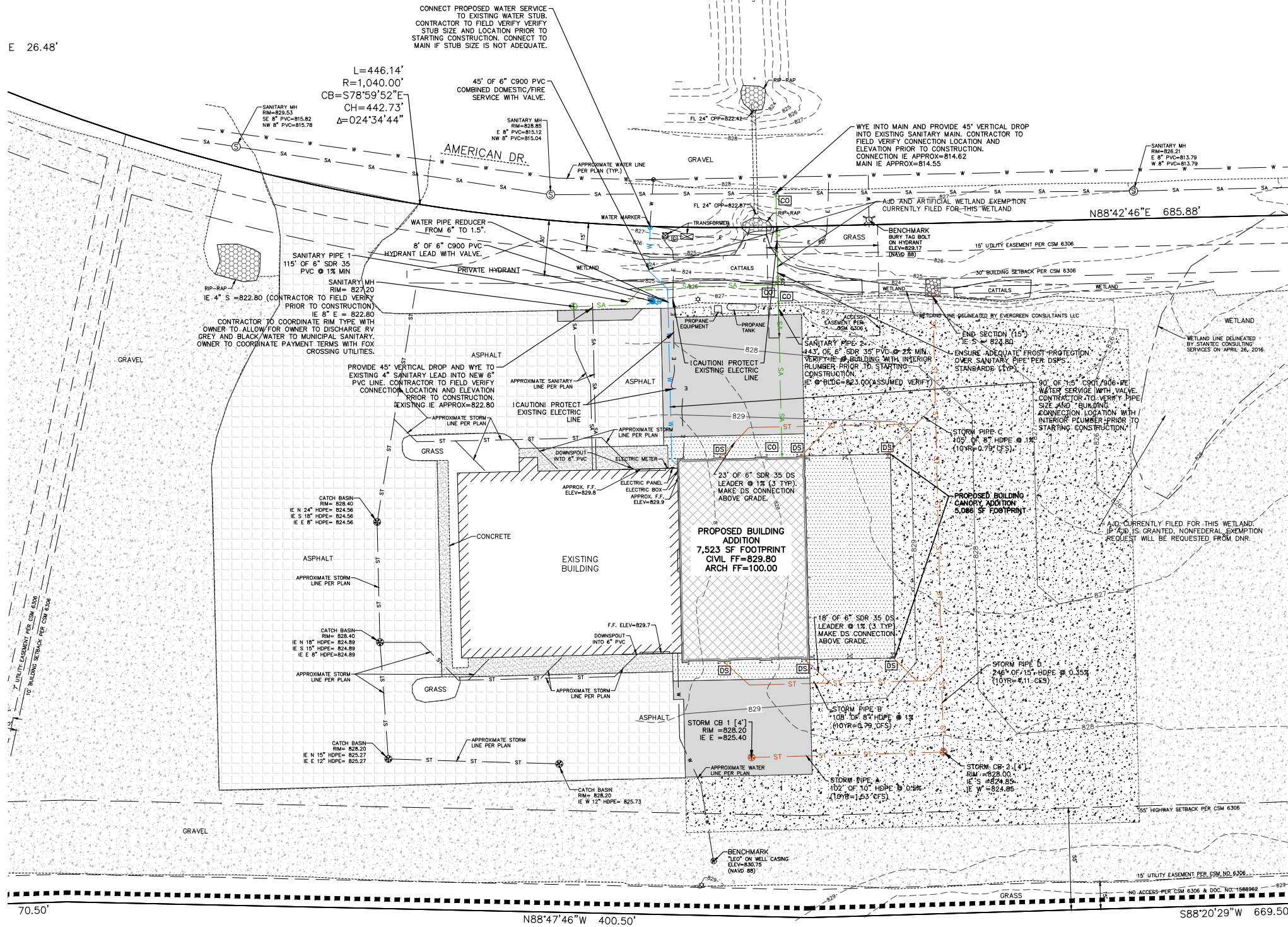
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SHEET NUMBER

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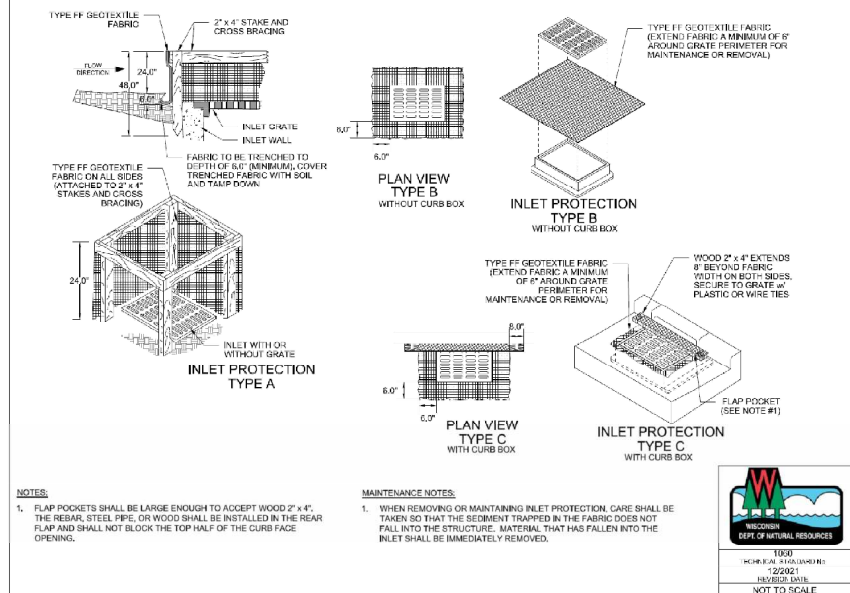
31

E 26.48'

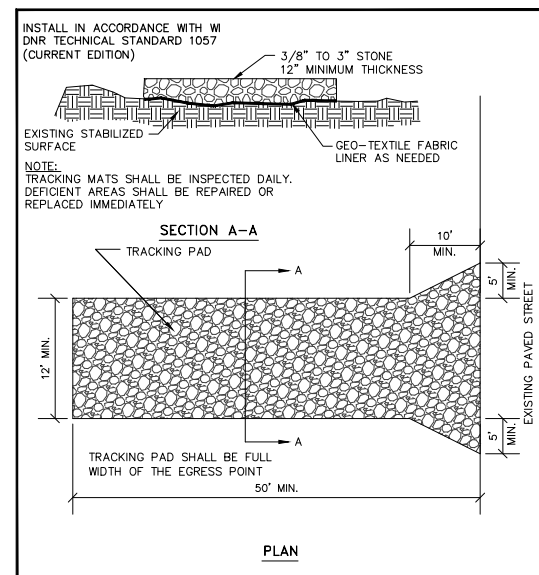


CIVIL UTILITY PLAN

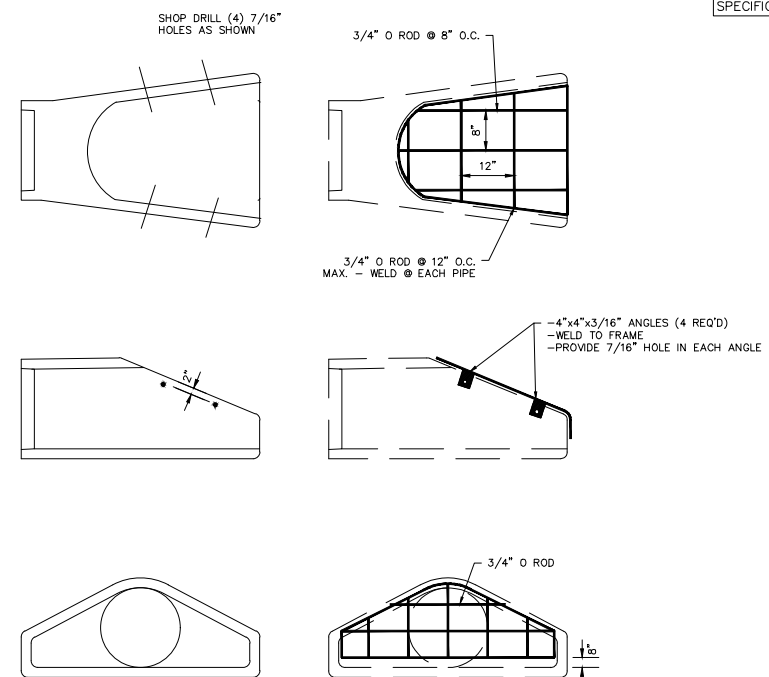
FIGURE 1. INLET PROTECTION TYPES A, B AND C



INLET PROTECTION DETAIL
NO SCALE



TRACKPAD DETAILS
NO SCALE

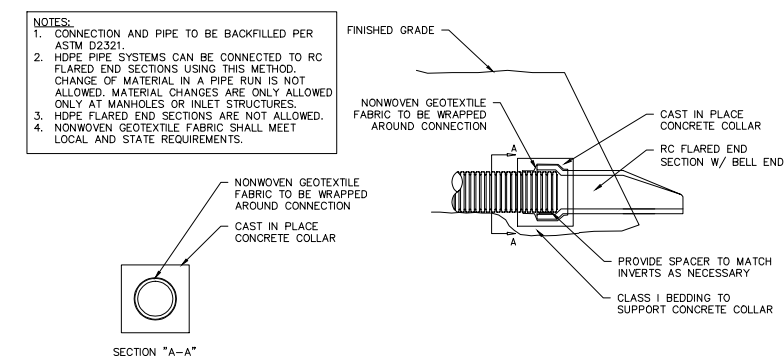
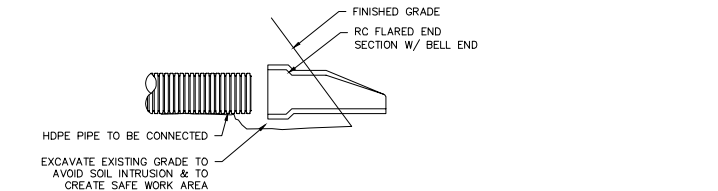


- THE CONTRACTOR SHALL BOLT THE GRATE TO THE CONCRETE END WALL WITH FOUR 3/8" x 6" MACHINE BOLTS WITH NUTS ON INSIDE WALL.
- APPLICABLE FOR PIPE SIZES 18" AND GREATER.

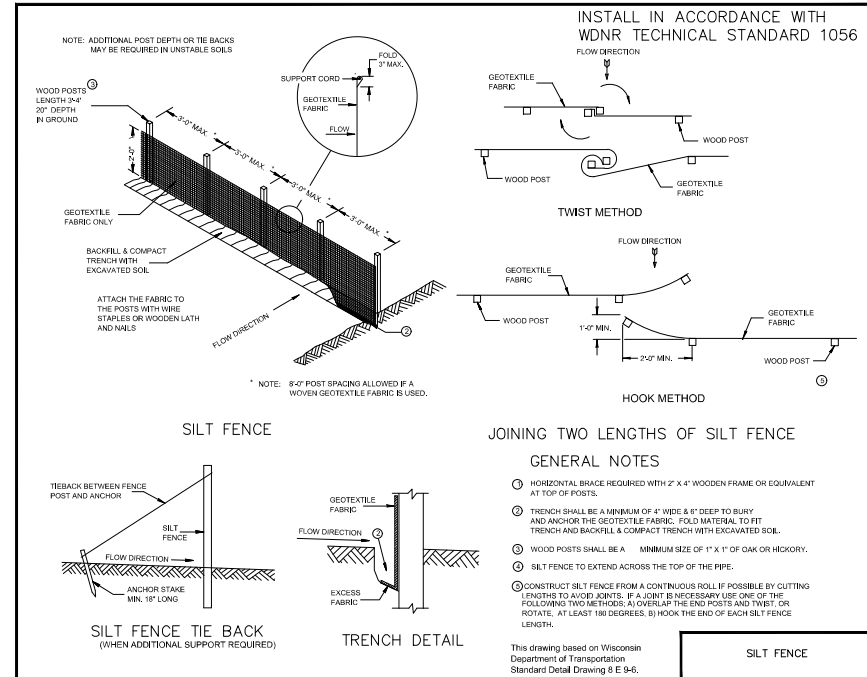
PAINTING SPECIFICATIONS
 THE PIPE GRATE SHALL RECEIVE THE FOLLOWING PREPARATION & PAINTING, SEE NOTES:
 FIRST COAT- RUST-OLEUM X-60 RED BARE METAL PRIMER OR EQUAL
 SECOND COAT- RUST-OLEUM 960 ZINC CHROMATE PRIMER OR EQUAL
 THIRD COAT- RUST-OLEUM 1282 HIGH GLOSS & METALLIC FINISH OR EQUAL

NOTES:
 • BARE SURFACES - AFTER THROUGH SCRAPING, WIRE BRUSHING & CLEANING, APPLY THE THREE COAT SYSTEM LISTED.
 • EACH COAT AN OVERALL COAT
 • ALLOW 24-48 HOURS DRYING TIME BETWEEN COATS.

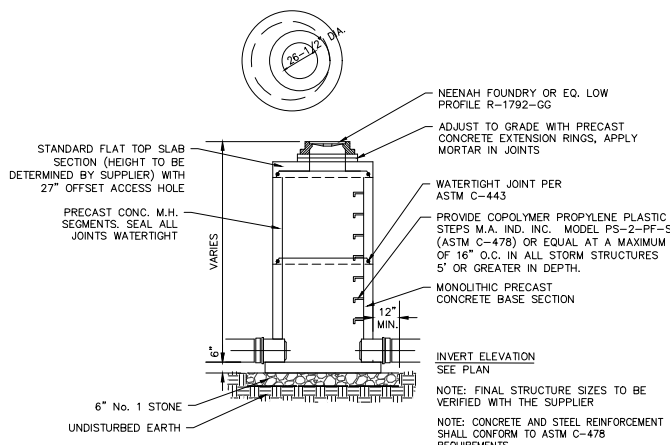
GRATE INSTALLATION DETAIL
NO SCALE



CONNECTION DETAIL FOR HDPE PIPE TO RC FLARED END SECTION BELL END
NO SCALE



SILT FENCE - INSTALLATION DETAIL
NO SCALE



CONSTRUCTION SEQUENCE

PHASE	TYPE OF ACTION
1. PRE-CONSTRUCTION ACTION	1. CONTRACTOR TO CALL DIGGERS HOTLINE AT A MINIMUM OF 3 DAYS PRIOR TO CONSTRUCTION. 2. CONTRACTOR TO MAKE SURE THE REGIONAL STORMWATER POND IS IN PLACE BEFORE CONSTRUCTION CAN BEGIN. 3. PLACE ALL SILT FENCE. 4. CONSTRUCT TRACKING STONE ENTRANCES AND ANY TEMPORARY CONSTRUCTION ROADWAYS AS NEEDED. 5. CONSTRUCT PERMANENT STORMWATER CONVEYANCE SYSTEMS. 6. CONSTRUCT TEMPORARY SEDIMENT TRAPS, SEDIMENT BASINS, AND ANY TEMPORARY STORMWATER CONVEYANCE SYSTEMS AS NEEDED. 7. STABILIZE ALL TEMPORARY AND PERMANENT EROSION CONTROL AND STORMWATER CONVEYANCE SYSTEMS BEFORE TOPSOIL CAN BE STRIPPED.
2. CONSTRUCTION ACTION	1. SITE DEMOLITION AS REQUIRED. 2. STRIP AND RELOCATE TOPSOIL TO THE DESIGNATED TOPSOIL STOCKPILE. FINAL LOCATION BY CONTRACTOR (VERIFY W/ OWNER). PROVIDE PERIMETER SILT FENCE UNTIL STABILIZED. 3. BEGIN MASS EARTH WORK FOR THE BUILDING PAD AND PAVEMENT AREAS. 4. CONSTRUCT ANY REMAINING STORMWATER CONVEYANCE SYSTEMS, AND INSTALL ALL OTHER UTILITIES ON SITE. 5. DIG AND POUR ALL BUILDING FOOTINGS. 6. PLACE GRAVEL FOR ALL PROPOSED PAVEMENT AREAS. 7. TOPSOIL, SEED, AND MULCH ALL DISTURBED AREAS OUTSIDE THE BUILDING AND PROPOSED PAVEMENT AREAS. 8. CONSTRUCT BUILDING. 9. PAVE DRIVEWAYS AND PARKING AREAS. 10. TOPSOIL, SEED, AND MULCH ALL OTHER DISTURBED AREAS. PLACE EROSION MATTING AND RIP RAP. 11. ONCE SITE IS STABILIZED, CONSTRUCT INFILTRATION BASIN.
3. POST CONSTRUCTION ACTION	1. CONTRACTOR TO REMOVE TEMPORARY EROSION CONTROL MEASURES UPON SITE STABILIZATION. 2. SEE THE POST CONSTRUCTION MAINTENANCE PLAN FOR PERMANENT STORMWATER MANAGEMENT SYSTEMS.

CONTRACTOR TO FOLLOW THE EROSION CONTROL SPECIFICATIONS FOR CONSTRUCTION EROSION CONTROL INSPECTION AND MAINTENANCE.

EXCEL Item B.
 Always a Better Plan
 100 Camelot Drive
 Fond du Lac, WI 54935
 920-926-9800
 excelengineer.com

PROJECT INFORMATION

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PROFESSIONAL SEAL

PRELIMINARY DATES

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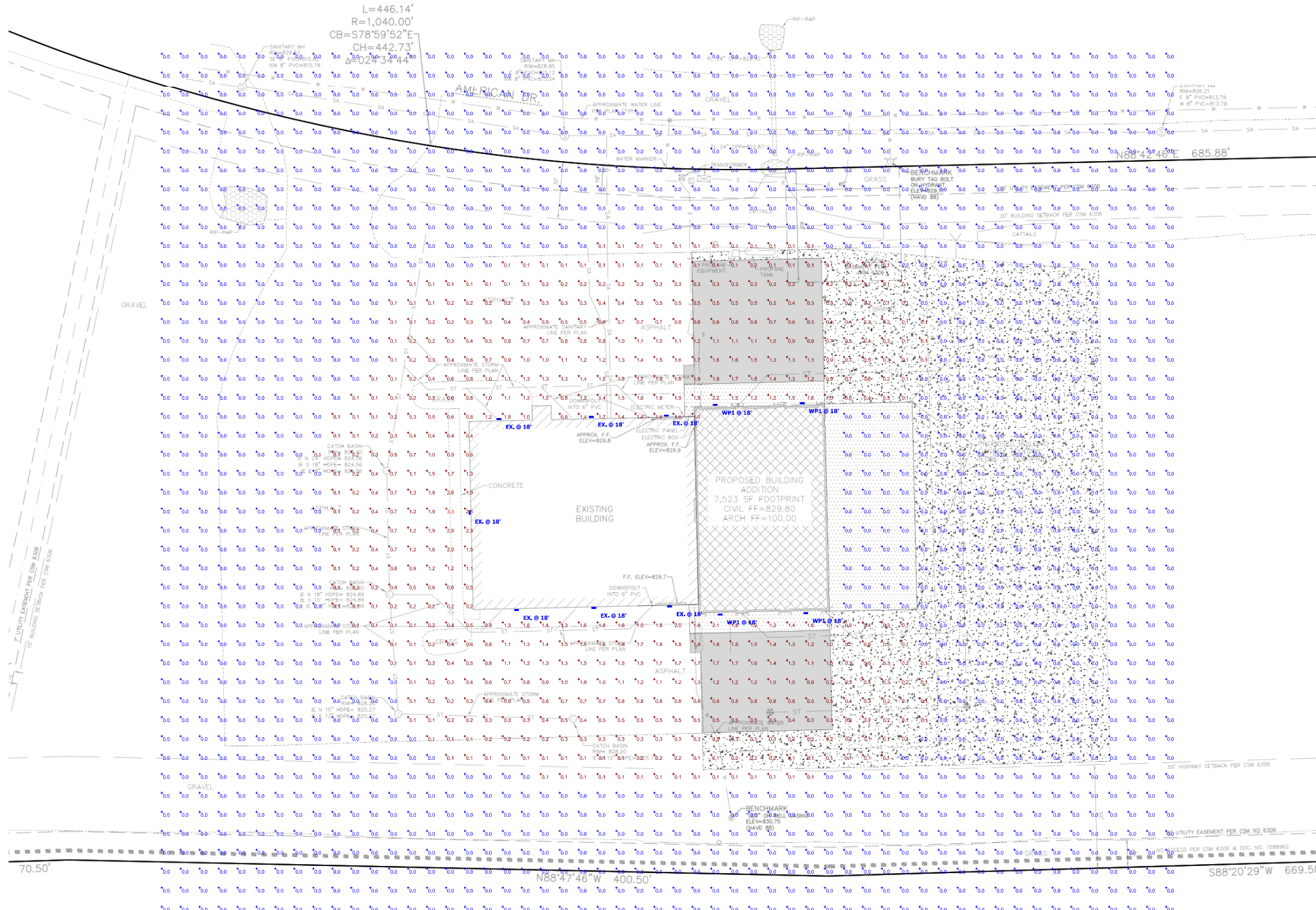
JOB NUMBER
230322300

SHEET NUMBER
C2.0 32

PROJECT INFORMATION

PROPOSED BUILDING ADDITION TO:
KUNES FOX VALLEY RV
26915 WEST AMERICAN DRIVE • TOWN OF CLAYTON, WI

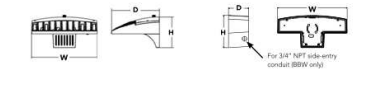
E 26.48'



D-Series Size 1 LED Wall Luminaire

Specifications
Width: 13.34" (340mm)
Depth: 10" (254mm)
Height: 6.38" (162mm)

Back Box (BBW, E20WC)
Width: 13.34" (340mm)
Depth: 4" (102mm)
Height: 6.38" (162mm)



Ordering Information Form with fields for Catalog Number, Name, and Type.

Introduction
The D-Series Wall Luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance. With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information

EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DBDXTD

Series	LEDs	Drive Current	Color Temperature	Distribution	Voltage	Mounting	Shipped included	Control Options
DSXW1 LED	10C 1000 1000 1000 (1.41)	350 350mA 700 700mA	30K 3000K 40K 4000K 50K 5000K AMBIC adjust phosphor converted	T25 Spot 4 Short T26 Spot 4 Medium T34 Spot 4 Medium T36 Spot 4 Medium T38 Spot 4 Medium T39 Spot 4 Medium	120V 120V 208V 208V 277V 277V 480V 480V	DBDXTD DBDXTD DBDXTD DBDXTD	DBDXTD DBDXTD DBDXTD DBDXTD	PHOTOCV E20WC

Other Options

Shipped separately, Shipped included, Finish

Option	Description	Shipped separately	Shipped included
DBDXTD	Dark bronze	DBDXTD	Dark bronze
DBDXTD	Black	DBDXTD	Black
DBDXTD	Natural aluminum	DBDXTD	Natural aluminum
DBDXTD	White	DBDXTD	White

Accessories

NOTES: 1. 20C/1000 is not available with PIR, PIR-CV, PIR-TFCV or PIR-TFCV-CV. 2. MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). 3. Single line (208, 240 or 480V) requires 120, 277 or 347 voltage option. Double line (277) requires 208, 240 or 480 voltage option. 4. Only available with 20C/700mA or 1000mA. Not available with PIR or PIR-CV. 5. Back box also installed on feature. Cannot be field installed. Cannot be ordered for an accessory. 6. Photocell (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion sensor/light sensor PIR or PIR-CV. 7. Reference Motion Sensor table on page 3. 8. Same as old ELCK. Cold weather (20C) rated. Not compatible with constant entry applications. Not available with 30W mounting option. Not available with 30W or 40W voltage options. Emergency components located in back box housing. Emergency mode (EM) is located on product page at excelengineer.com. 9. DBDXTD based on product page at excelengineer.com. 10. Not available with 120VDC. 11. Also available in a separate accessory see Accessories information. 12. Not available with E20WC.



One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-5730 • www.lithonia.com
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Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
WP1	WP1	4	Lithonia Lighting	DSXW1 LED 10C 1000 40K TFM MVOLT	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE TFM OPTIC, 4000K, @ 1000mA.	1	3945	1	38.8

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.2 fc	3.3 fc	0.0 fc	N/A	N/A



PRELIMINARY DATES

NOV. 6, 2023

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JOB NUMBER

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SHEET NUMBER

C3.1

PROJECT INFORMATION

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PROFESSIONAL SEAL

PRELIMINARY DATES
 NOV. 6, 2023

JOB NUMBER
 230322300

SHEET NUMBER

A1.1 34

NOT FOR CONSTRUCTION

FIRST FLOOR PLAN

SALES & SERVICE COUNTERS

IN RETAIL STORES WHERE COUNTERS HAVE CASH REGISTERS AND ARE PROVIDED FOR SALES OR DISTRIBUTION OF GOODS OR SERVICES TO THE PUBLIC, AT LEAST ONE OF EACH TYPE SHALL HAVE A PORTION OF THE COUNTER WHICH IS AT LEAST 36" IN LENGTH WITH A MAXIMUM HEIGHT OF 36" ABOVE THE FINISH FLOOR. COUNTER SHALL BE ON AN ACCESSIBLE ROUTE COMPLYING WITH A.D.A. GUIDELINE 4.3.

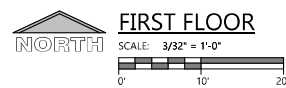
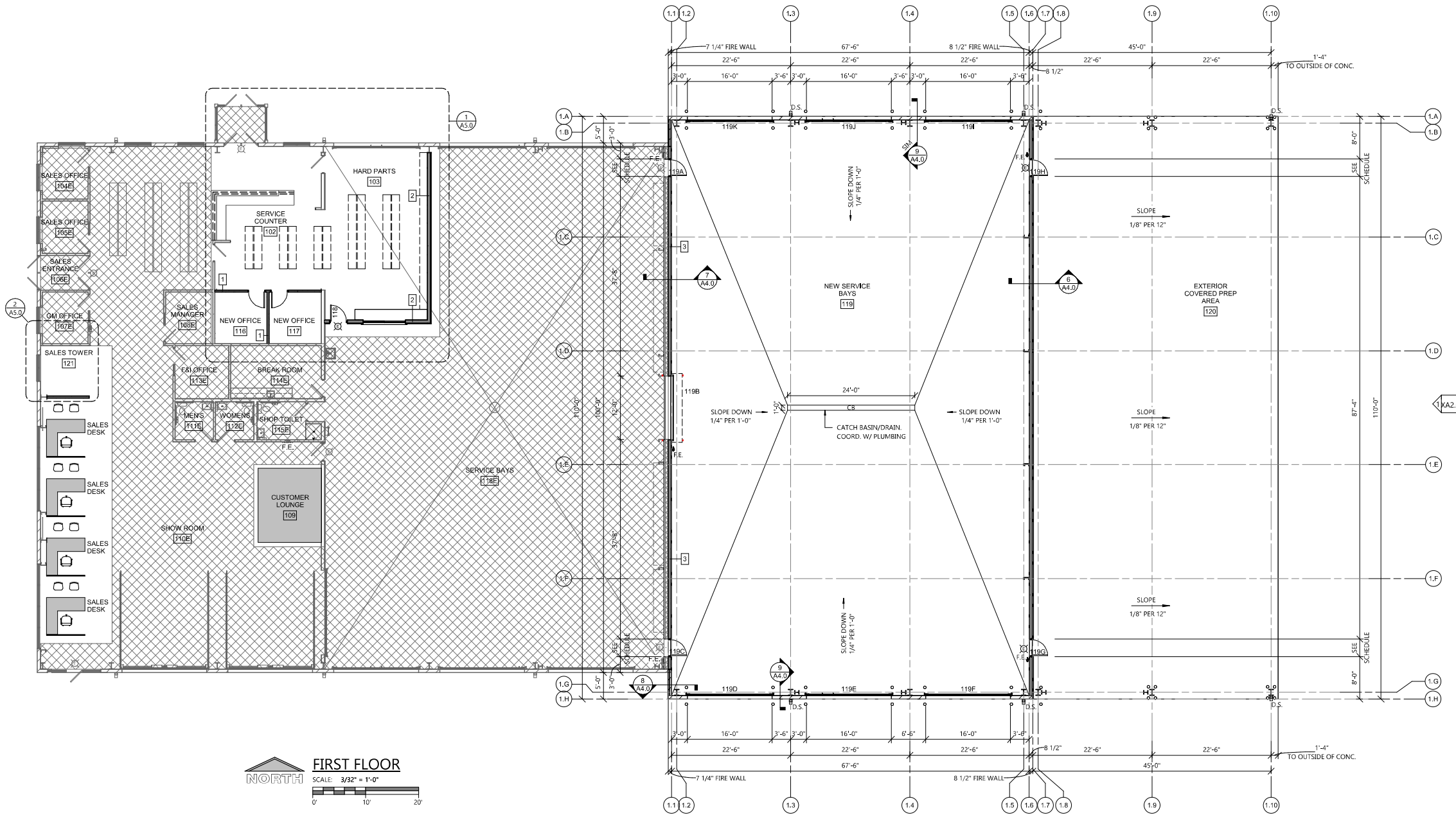
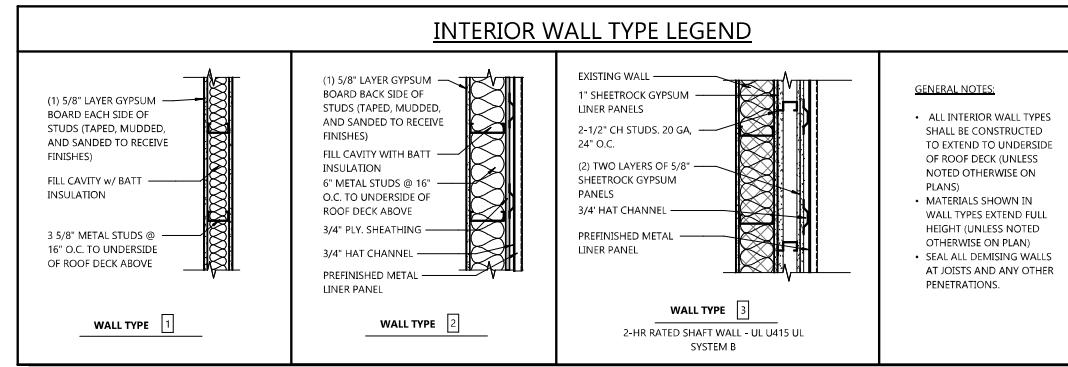
SYMBOLS LEGEND

- INTERIOR WALL TYPES
- SEE A4 FOR EXTERIOR WALL TYPES
- EXIT SIGNAGE
- FIRE EXTINGUISHER
-SEE A5 SHEETS
- FIRE EXTINGUISHER w/ CABINET
-SEE A5 SHEETS
- GUARD POST/GOAL POST DESIGNATION
-SEE SHEET A5 FOR DETAILS
- EXISTING WALL TO REMAIN
- STUD WALL
- C.M.U. WALL
- EXISTING DOOR TO REMAIN
- NEW DOOR
- EXISTING AREA - NO SCOPE OF WORK

GENERAL NOTES

- ALL INTERIOR DIMS. ARE FROM FACE-OF-STUD TO FACE OF-STUD.
- ALL INTERIOR WALLS TO BE 3 5/8" OR 6" METAL STUDS @ 16" O.C. (SEE FLOOR PLAN FOR SIZE) W/ 5/8" GYPSUM BOARD BOTH SIDES - EXTEND TO BOTTOM CHORD OF TRUSSES.
- PROVIDE 3 1/2" SOUND BATT INSULATION AROUND PERIMETER OF OFFICE WALLS.
- PROVIDE WOOD BLOCKING FOR ANY FURNISHINGS BY OWNER. (VERIFY LOCATIONS)
- SEE SHEET A4 FOR TYPICAL CONTROL JOINT DETAILS.
- SEE SHEET A5 FOR TYPICAL GUARD POST DETAILS.
- ALL CABINETS AND COUNTERTOPS TO HAVE PLASTIC LAMINATE FRONTS AND TOPS.

INTERIOR WALL TYPE LEGEND



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PROJECT INFORMATION

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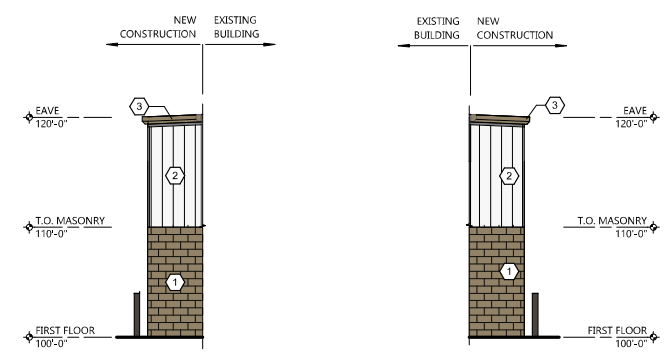
JOB NUMBER
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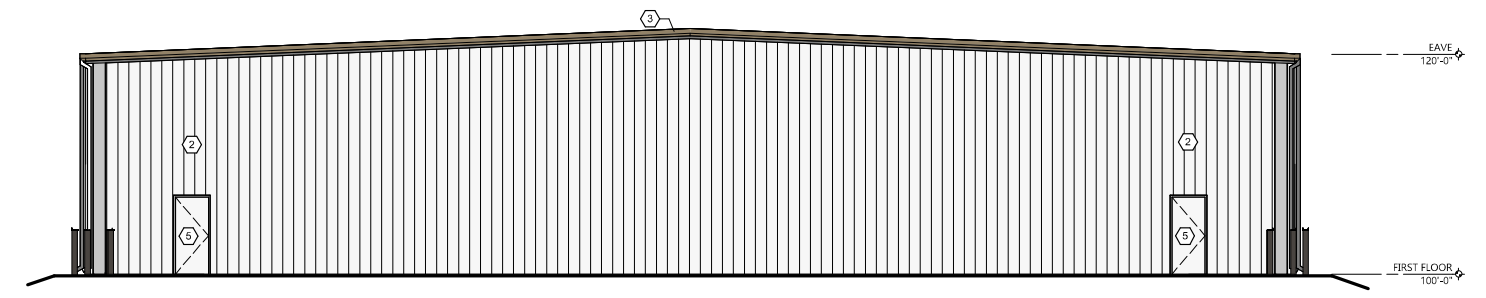
XA2.0 35

EXTERIOR FINISH KEY

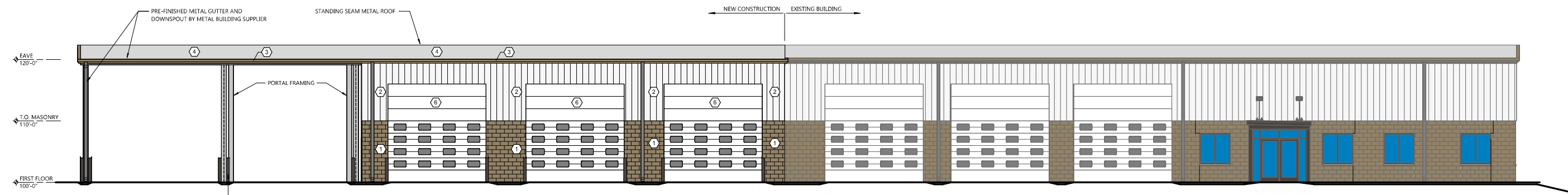
- 6 INSULATED METAL OVERHEAD DOOR
COLOR TO MATCH EXISTING
 - 5 PAINTED HOLLOW METAL DOOR AND FRAME
 - 4 24 GA. PREFINISHED METAL ROOF PANELS
 - NOT USED
 - 3 PREFINISHED METAL RAKE TRIM
COLOR: MATCH EXISTING
 - 2 26 GA. PREFINISHED ARCH. METAL WALL PANEL
MFR. AMERICAN OR EQUIVALENT
COLOR: MATCH EXISTING
 - 1 CMU BLOCK
MFR. OLD CASTLE OR EQUAL
COLOR: TO MATCH EXISTING
MFR. COLORS
- *ALL COLORS TO MATCH EXISTING*



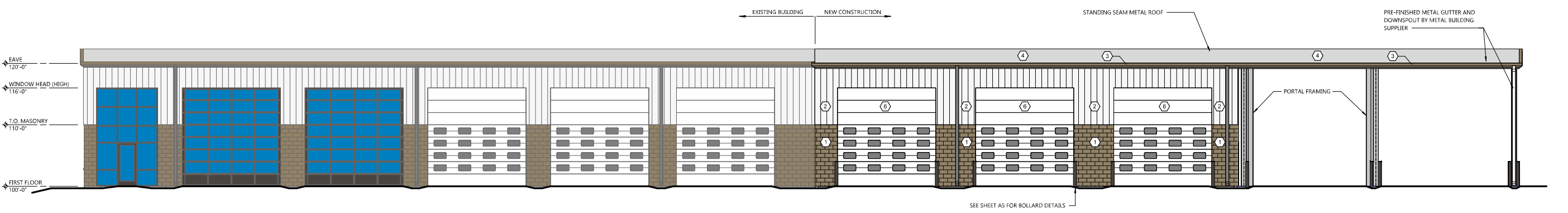
WEST ELEVATION
 SCALE: 1/8" = 1'-0"



EAST ELEVATION
 SCALE: 1/8" = 1'-0"



NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

COLORED ELEVATIONS

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 11/06/2023 10:08:44 AM

2017 SITE PLAN APPROVAL

Item B.



8348 County Road T
Larsen, WI 54947

Monday, May 22nd, 2017

Jim DePagter
Sales Manager
Horn's RV Center
8120 Frontage Road
Sheboygan, WI 53081

COPY

Re: Your Amendment to an Approved Site Plan for operating a Recreational Vehicle Dealership.

Mr. DePagter:

Please consider this letter as notice that the Town Board, at its Wednesday, May 17th, 2017 meeting, approved your Application for an Amendment to an Approved Site Plan for Horn RV. The Amended Site Plan approval is for property located at the east end of West American Drive in the Town of Clayton on property listed by Claymann Creek LLC, 5600 West Grand Market Drive, Suite 300, Appleton, WI 54913 (new address) and specifically identified as TAX ID # 006-0341. The Town Board approved your Application subject to the plan as submitted and the following conditions:

1. The Town Board did approve the site plan and the 5-year development schedule as proposed.
2. That the applicant apply for and receive any building and/or zoning permits required for construction on the site.
3. That any future sign be Town Ordinance compliant.
4. That in addition to the original Site Plan Approval Conditions, the project comply with the material submitted for review by the Town as it relates to the Site Plan Amendment Application.

Should you have any questions relative to this information please feel free to call or e-mail me.

Sincerely,

Richard Johnston, Town Administrator/Clerk

C.C. Matt Mrochinski, Project Coordinator
Excel Engineering
100 Camelot Drive
Fond du Lac, WI 54935

To property file

8348 County Road T – Larsen, WI 54947

Phone – 920-836-2007 | Fax – 920-836-2026

Email – toc@new.rr.com | Web Page – www.claytonwi.govoffice3.com



PROJECT INFORMATION
PROJECT NUMBER 1721680

PROPOSED SITE IMPROVEMENTS FOR:
HORN'S RV
WEST AMERICAN DRIVE • TOWN OF CLAYTON, WI 54956

PROFESSIONAL SEAL

PRELIMINARY DATES
MAY 4, 2017
NOT FOR CONSTRUCTION

SHEET INFORMATION
OVERALL SITE PLAN
SHEET NUMBER
C1.2

SITE INFORMATION:

LEGAL DESCRIPTION: PART OF LOT 2 OF CERTIFIED SURVEY MAP NO. 6306 BEING PART OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4, SECTION 12 TOWNSHIP 20 NORTH, RANGE 16 EAST, TOWN OF CLAYTON, WINNEBAGO COUNTY, WISCONSIN.

PROPERTY AREA: AREA = 435,583 S.F. (10.0 ACRES).

EXISTING ZONING: B-3 GENERAL BUSINESS

PROPOSED ZONING: B-3 GENERAL BUSINESS

PROPOSED USE: RV SALES CENTER

AREA OF SITE DISTURBANCE: 196,388 S.F. (4.51 AC.)

SETBACKS: BUILDING: FRONT = 30'
SIDE = 10'
SIDE = 7'
REAR = 25'
HIGHWAY = 55'

PAVEMENT: FRONT = 0'
SIDE = 0'
REAR = 0'

PROPOSED BUILDING HEIGHT 20' (MAX. HEIGHT ALLOWED: 22'-4")

PARKING REQUIRED: 1 SPACE PER 300 S.F. (11,895/300 = 40 SPACES REQ.)

PARKING PROVIDED: 12 SPACES (2 H.C. ACCESSIBLE)
*NUMBER OF STALLS PROVIDED PREVIOUSLY APPROVED

HANDICAP STALLS REQUIRED: 1, HANDICAP STALLS PROVIDED: 2

BUILDING OCCUPANCY CLASSIFICATION = IJB

CLASS OF BUILDING CONSTRUCTION = B, M, & S1

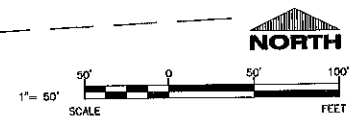
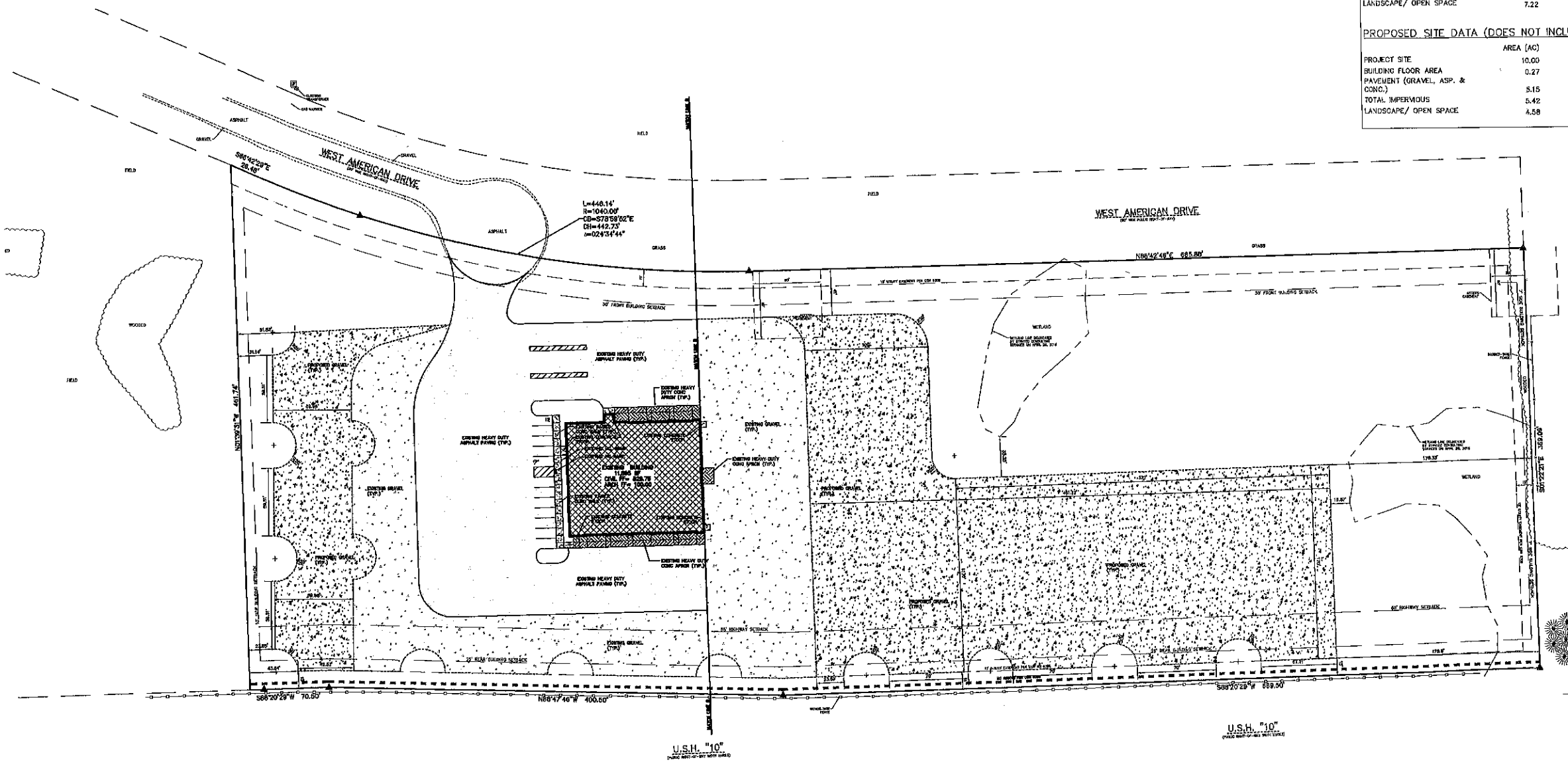
LANDSCAPE REQUIREMENTS: MIN. LANDSCAPE SURFACE RATIO: 15%

EXISTING SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	10.00	435,583	
BUILDING FLOOR AREA	0.27	11,895	2.7%
PAVEMENT (GRAVEL, ASP. & CONC.)	2.50	108,982	25.0%
TOTAL IMPERVIOUS	2.77	120,877	27.8%
LANDSCAPE/ OPEN SPACE	7.22	314,708	72.2%

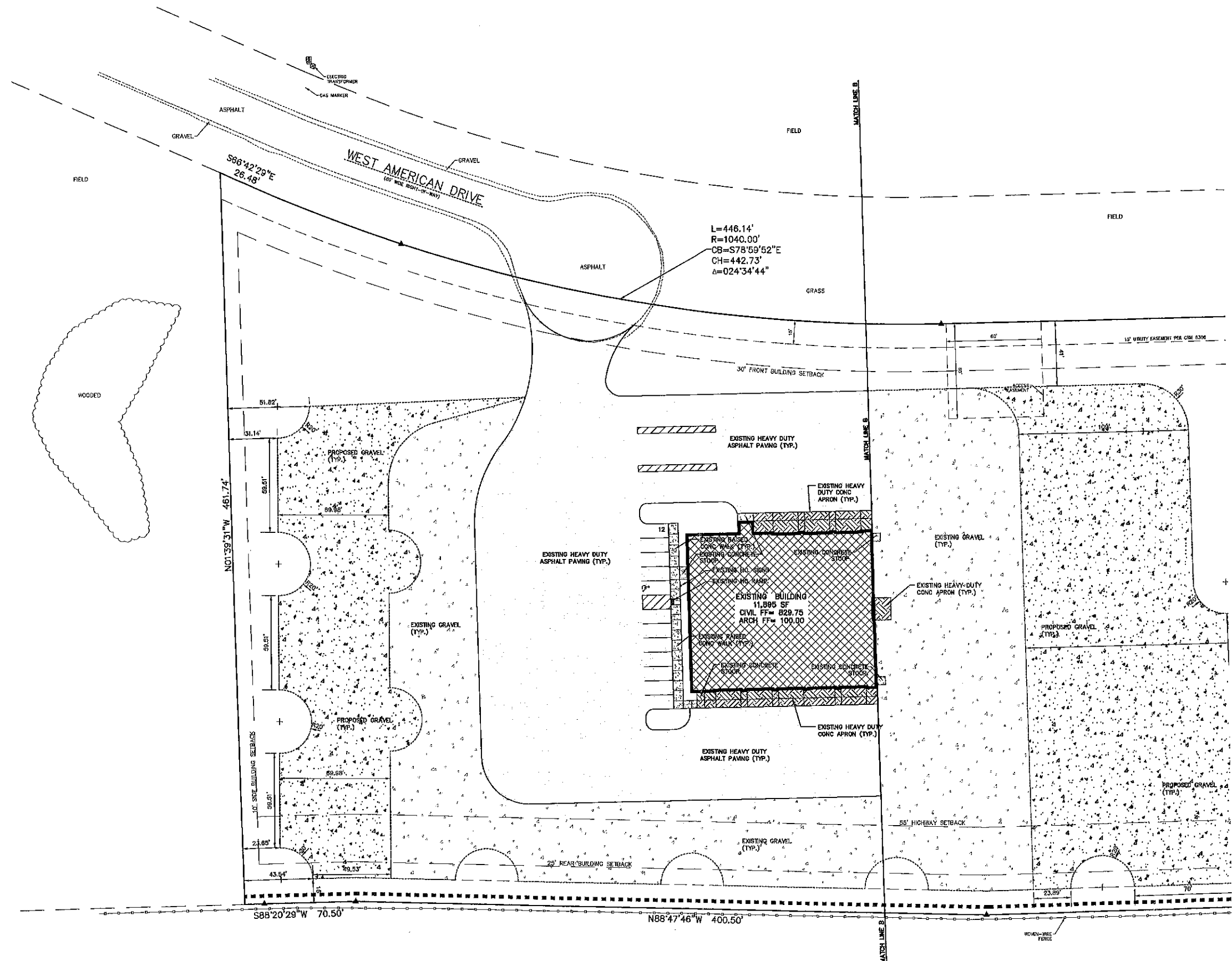
PROPOSED SITE DATA (DOES NOT INCLUDE FUTURE)

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	10.00	435,583	
BUILDING FLOOR AREA	0.27	11,895	2.7%
PAVEMENT (GRAVEL, ASP. & CONC.)	5.15	224,120	51.5%
TOTAL IMPERVIOUS	5.42	236,015	54.2%
LANDSCAPE/ OPEN SPACE	4.58	199,568	45.8%



U.S.M. "10"

U.S.M. "10"



EXCEL
 ARCHITECTS • ENGINEERS • SURVEYORS
 100 CAMELOT DRIVE
 FOND DU LAC, WI 54935
 PHONE: (920) 926-9800
 WWW.EXCELENGINEER.COM

PROJECT INFORMATION
 PROJECT NUMBER 1721680

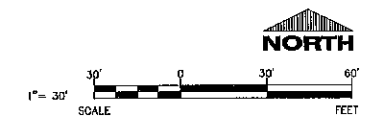
PROPOSED SITE IMPROVEMENTS FOR:
HORN'S RV
 WEST AMERICAN DRIVE • TOWN OF CLAYTON, WI 54956

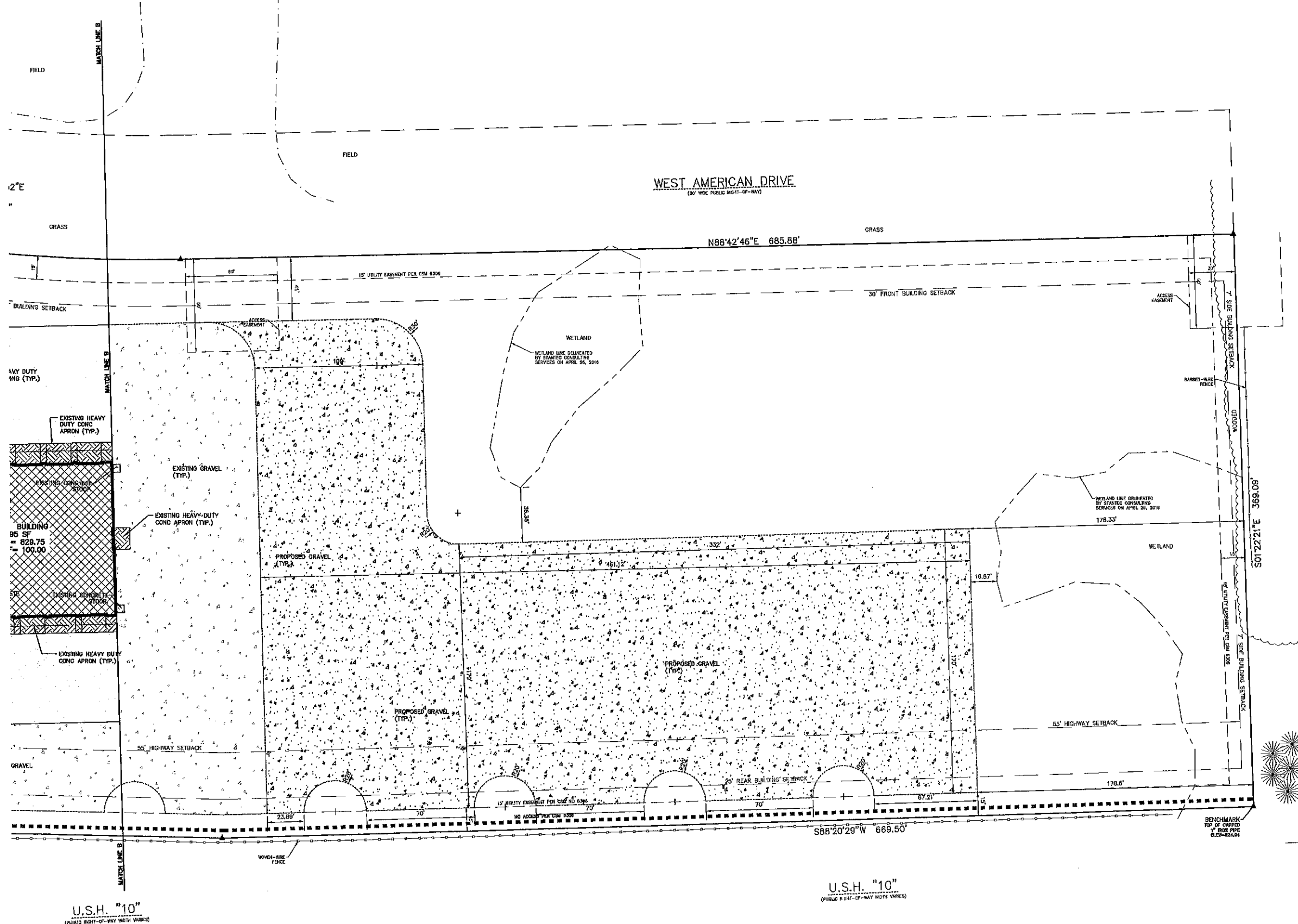
PROFESSIONAL SEAL

PRELIMINARY DATES
 MAY 4, 2017
 NOT FOR CONSTRUCTION

SHEET INFORMATION
 WEST SITE PLAN
 SHEET NUMBER
C1.2A

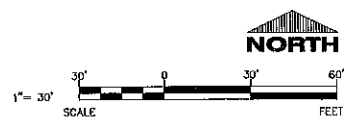
U.S.H. "10"
 (PUBLIC RIGHT-OF-WAY WIDTH VARIES)





U.S.H. "10"
(PUBLIC RIGHT-OF-WAY NORTH MARKS)

U.S.H. "10"
(PUBLIC RIGHT-OF-WAY NORTH MARKS)



EXCEL
ARCHITECTS • ENGINEERS • SURVEYORS
100 CAMELOT DRIVE
FOND DU LAC, WI 54935
PHONE: (920) 924-9800
WWW.EXCELENGINEER.COM

Item B.

PROJECT INFORMATION
PROJECT NUMBER 1721680

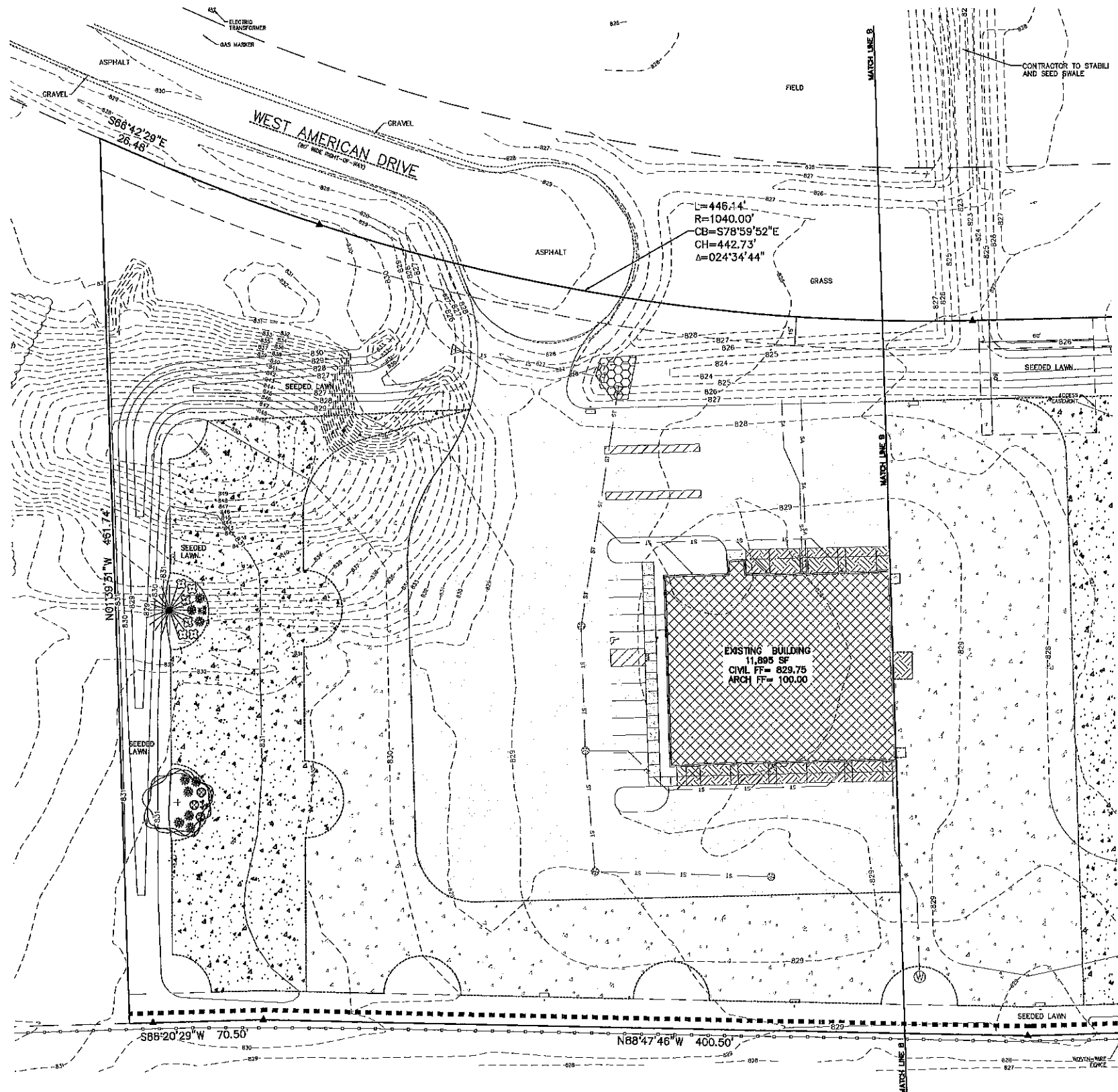
PROPOSED SITE IMPROVEMENTS FOR:
HORN'S RV
WEST AMERICAN DRIVE • TOWN OF CLAYTON, WI 54956

PROFESSIONAL SEAL

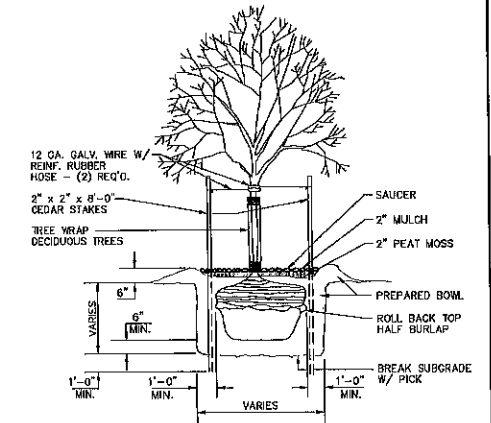
PRELIMINARY DATES
MAY 4, 2017

NOT FOR CONSTRUCTION

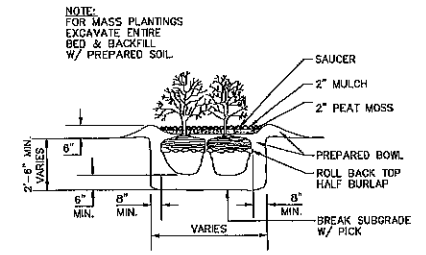
SHEET INFORMATION
EAST SITE PLAN
SHEET NUMBER
C1.2B



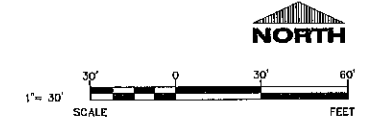
LANDSCAPING NOTES				
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY
DECIDUOUS TREES				
⊙	Sugar Maple	Acer saccharum	3"	3
EVERGREEN TREES				
●	Austrian Pine	Pinus nigra	4'	3
EVERGREEN SHRUBS				
⊙	Dwarf Norway Spruce	Picea abies 'Pumila'	2'	27
DECIDUOUS SHRUBS				
⊙	Welgela Cornus	Welgela Florida 'saurtizer'	24"	9
⊙	Rhododendron	Rhododendron haaga	15"-18"	18
PERENNIALS				
*	Blue Autumn Aster	Aster 'blue autumn'	1 gal pot	9
*	Black-eyed Susan - Goldsturm	Rudbeckia fulgida	1 gal pot	9



TREE PLANTING DETAIL
NO SCALE



SHRUB PLANTING DETAIL
NO SCALE



PROJECT INFORMATION
PROJECT NUMBER 1721680

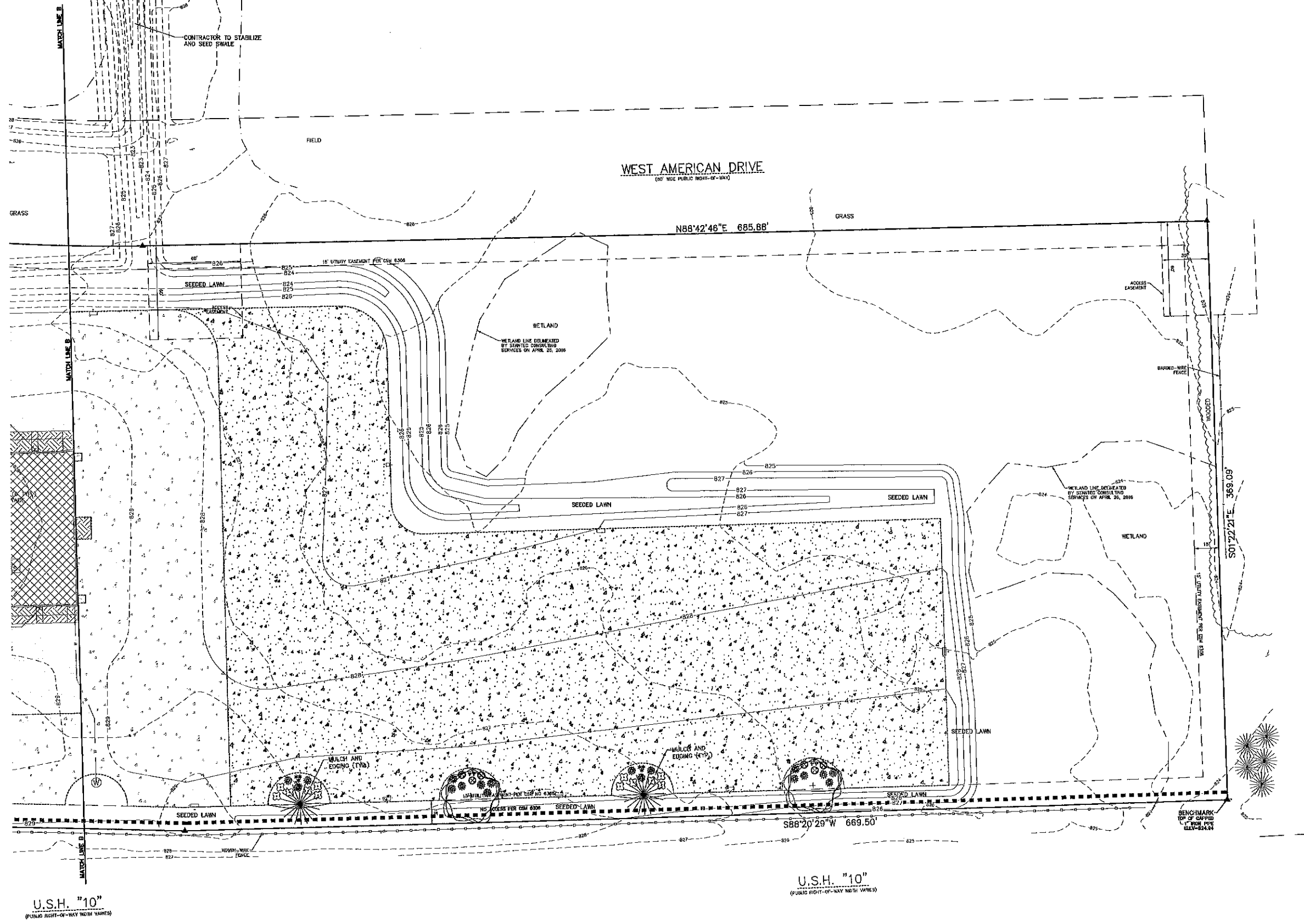
PROPOSED SITE IMPROVEMENTS FOR:
HORN'S RV
WEST AMERICAN DRIVE • TOWN OF CLAYTON, WI 54956

PROFESSIONAL SEAL

PRELIMINARY DATES
MAY 4, 2017
NOT FOR CONSTRUCTION

SHEET INFORMATION
WEST LANDSCAPE PLAN
SHEET NUMBER
C1.5A

100 CAMELOT DRIVE
FOND DU LAC, WI 54935
PHONE: (920) 926-9800
WWW.EXCELENGINEER.COM



PROJECT INFORMATION

PROJECT NUMBER 1721680

PROPOSED SITE IMPROVEMENTS FOR:
HORN'S RV
WEST AMERICAN DRIVE • TOWN OF CLAYTON, WI 54956

PROFESSIONAL SEAL

PRELIMINARY DATES

MAY 4, 2017

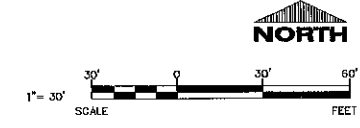
NOT FOR CONSTRUCTION

SHEET INFORMATION

EAST LANDSCAPE PLAN

SHEET NUMBER

C1.5B






Approximate 2022 Gravel Display Area Expansion Outside 2017 Site Plan Approval

Item B.

Untitled Map

Write a description for your map.

Legend

-  2615 American Dr
-  Complete Fire Solutions Inc
-  Kunes Fox Valley RV



Vietnam War Veterans Mem Hwy
Google Earth

Image © 2023 Airbus

500 ft

Friendship Trail

January 12, 2024

Project Narrative

Project: Kunes RV of Fox Valley
2615 W American Drive
Neenah, WI 54956

Kunes Appleton Properties LLC is requesting site plan and conditional use review and approval for an addition to their existing facility located at 2615 W American Drive in the Town of Clayton. The property is zoned B-3 and the Heavy Vehicle Sales & Rental use requires a conditional use permit in the B-3 District.

The proposed project involves the construction of a 7,523 square foot building addition and 5,086 square foot canopy addition to the east side of the existing facility. New concrete is proposed under the canopy along with new asphalt to the north and south of the addition. Gravel will be added over existing gravel area to match into the building expansion grades. Existing access from W American Drive will remain unchanged. Additionally, a minimum of 10,891sf of gravel area will be removed and seeded into lawn space to bring proposed site impervious area to 70%. The existing 12 parking stalls previously approved with the original building project will remain unchanged. Total site disturbance will be 2.46 acres.

Stormwater management requirements for the site will be met via the existing regional pond located north of the proposed development. This pond had been analyzed back in 2016 and has been re-analyzed with the new impervious coverage/drainage basins associated with the proposed project. Peak discharge and stormwater quality requirements are still in conformance with design requirements without the need for any modifications to the existing wet pond.

The site is currently served by a sanitary holding tank, but the proposed project involves removing the sanitary tank and connecting the current building, proposed addition, and a manhole for RV grey and black water to the sanitary main in the American Drive right-of-way. The site is currently served by a well, but the proposed project involves connecting the proposed addition and existing building to the water main in the American Drive right-of-way. Downspouts and storm inlets are also proposed, discharging into the existing storm swale on the north side of the property, maintaining existing storm discharge patterns.

Site lighting will be provided in a fashion that provides appropriate foot candles for safety and cut-off fixtures for minimal light trespass. Lighting wall packs are proposed on the building addition. No new light poles are proposed. Exterior materials will match the existing facility and are represented in the attached color elevations and material sample depiction document. Three new service doors are proposed on both the north and south addition elevations. Operations at the facility will remain unchanged with sales and service hours from 9 AM to 5 PM Monday thru Friday and 9 AM to 3 PM on Saturdays.



CMU BLOCK
MFR: OLD CASTLE OR EQUAL
COLOR: MATCH EXISTING



PREFINISHED METAL RAKE TRIM
MFR: MATCH EXISTING
COLOR: MATCH EXISTING



METAL WALL PANEL
MFR: AMERICAN OR EQUAL
COLOR: MATCH EXISTING



OVERHEAD DOOR
MFR: MATCH EXISTING
COLOR: MATCH EXISTING

From: Kelly Wisnefske, Administrator, Town of Clayton <administrator@CLAYTONWINNEBAGOWI.GOV>
Sent: Monday, January 15, 2024 12:01 PM
To: Jessica Rodriguez <jessica.rodriguez@ExcelEngineer.com>
Cc: Clerk Town of Clayton <clerk@CLAYTONWINNEBAGOWI.GOV>
Subject: Kunes RV

{EXTERNAL EMAIL}

Good Afternoon Jessica,

We have received your email. I have had a discussion with David Tracey from Fox Crossing utilities, so combined the comments below.

Below are the following items that need to be addressed and verified:

1. Attached, please find the revised permit applications. FCU fee of \$270.00 is correct, but Clayton's is wrong. Excel made up their own charges without first consulting us. SAC Fees are calculated by the entire acreage of the parcel times the fee per acre for either commercial or industrial. The SAC Fee is for the impact to the WW System and WWTP. The correct amount owed is \$17,000.00, not \$4K.
2. They currently don't have any well permits at this time, and are currently illegal. They need to be obtained from FCU by calling 9207207175 as soon as possible. They reference keeping them in their plans, but they need to obtain permits first, and meet all of the ordinance requirements.
3. The plan still shows a water lateral in addition to the modification of addition of a private fire hydrant on the property with a reducer after the hydrant with a mechanical cap and the service to the building necked down to a 2" service. Please remove any additional services on the plan.

Please let me know if you have any questions.

Thank you

David

Also if you have any questions for me. Thank you..

Kelly

From: Jessica Rodriguez <jessica.rodriguez@ExcelEngineer.com>
Sent: Friday, January 26, 2024 12:33 PM
To: Kelly Wisnefske, Administrator, Town of Clayton <administrator@CLAYTONWINNEBAGOWI.GOV>
Subject: RE: Kunes RV

Good afternoon Kelly,

In your email below, David references revised permit applications that are attached. I do not have those attachments. Could you please forward to me?

Thank you,

Jessica Rodriguez
Civil Project Assistant

From: Kelly Wisnefske, Administrator, Town of Clayton <administrator@CLAYTONWINNEBAGOWI.GOV>
Sent: Friday, January 26, 2024 12:41 PM
To: Jessica Rodriguez <jessica.rodriguez@ExcelEngineer.com>
Subject: RE: Kunes RV

{EXTERNAL EMAIL}

Hi Jessica,

He did not attach any revised. Please fill out new ones according to his email. Thank you.

Kelly Wisnefske

Town Administrator
Town of Clayton

From: Jessica Rodriguez
Sent: Friday, January 26, 2024 1:19 PM
To: DTracey@foxcrossingwi.gov
Cc: Lisa Van Handel <lisa.vanhandel@excelengineer.com>; Reid Jahns <reid.jahns@excelengineer.com>
Subject: FW: Kunes RV

Good afternoon David,

Reaching out to verify the attached application has been correctly updated. If you could please advise before we send for signature, it would be much appreciated. Are there any other applications required? We want to make sure we have everything you need.

Thank you in advance,

Jessica Rodriguez
Civil Project Assistant

From: Tracey, David <DTracey@foxcrossingwi.gov>
Sent: Wednesday, February 7, 2024 10:46 AM
To: Jessica Rodriguez <jessica.rodriguez@ExcelEngineer.com>
Cc: Kelly Wisnefske, Administrator, Town of Clayton <administrator@CLAYTONWINNEBAGOWI.GOV>;

Reid Jahns <reid.jahns@excelengineer.com>; Lisa Van Handel <lisa.vanhandel@excelengineer.com>;
Fischenich, Lucas <lfischenich@foxcrossingwi.gov>; Hoechst, Joe <JHoechst@foxcrossingwi.gov>

Subject: RE: Kunes RV

Jessica:

The Fee schedule now appears to be correct. Below are the 3 items that I mentioned per the last review. Item 1. Has been corrected according to the revised fee schedule, but I have not received anything back, showing me that items 2. and 3. have been corrected?

2. addresses the well permits and 3. addresses the 1 ½" water service and off of the private 6" fire line and hydrant tee.

Thank you

David

MEMORANDUM

Business Item C

From: Administrator/Staff
 To: Plan Commission
 Re: Plan Commission review & recommendation on a Concept Plan Review Application submitted by Scott Andersen on behalf of the Arden & June Schroeder Joint Revocable Trust, for a proposed Certified Survey Map (CSM) dividing/reconfiguring Tax ID #006-0035, Tax ID #0036-0033 (9457 State Rd 76), and Tax ID #006-1204-01 into two lots with a proposed road extension of Memory Lane.

Please find the below comments from Code Administrator Kussow:

Property Information Specific to Tax ID #'s 006-0035, 0036-0033, and 006-1204-01:

1. Specific Site Location: The subject site is located on the property addressed 9457 State Rd 76 (PIN 006-0033) and the two parcels adjacent to the west (PIN 006-0035) and south (PIN 006-1204-01). The subject site is adjacent to the north of the Windfield Place Subdivision Plat and adjacent to the southwest of the State Rd 76/Lind Ln intersection.
2. Parcel Profile Reports for each parcel are enclosed with this memo for your reference. Additional applicable property information not included in the Parcel Profile Report is described below:
 - a. The subject property is located in the Town's General Agriculture (A-2) zoning district. All of PIN 006-0033 and part of PIN 006-1204-01 are also located in the Town's Personal Storage Facility (PSF) Overlay District.
 - b. There are no navigable streams or floodplain on or within 300 ft. of the subject property. Therefore, the subject property is not located in the shorelands, and is not subject to Winnebago County zoning jurisdiction.
 - c. Part of PIN 006-0033 and part of PIN 006-1204-01 are located in Outagamie County's Airport Overlay District Zone 3 (AOD3) Airport Zoning District and Outagamie County's 1,009 ft. Airport Height Limitation Zone.
 - d. Wetlands were identified and delineated on the subject property in August 2021, as identified on the submitted Concept Layout.
 - e. The Town Comprehensive Plan Future Land Use Map identifies the subject property as being located in the Tier 1 development tier and the "Residential – Single and Duplex" future land use category.
3. Zoning of Surrounding Properties:
 - a. North: A-2 (General Agriculture District) & PSF (Personal Storage Facility Overlay District)
 - b. South: R-2 (Suburban Residential District) & PSF (Personal Storage Facility Overlay District)
 - c. East: A-2 (General Agriculture District) & R-1 (Rural Residential District)
 - d. West: A-2 (General Agriculture District)

Application Details:

The applicant is proposing to divide/reconfigure Tax ID #'s 006-0035, 006-0033 (9457 State Rd 76), and 006-1204-01 into two lots. A 200 ft. long extension of Memory Ln (adjacent to the south) with a temporary cul-de-sac and future road reservation is proposed with this land division. The subject site is adjacent to the north of the Windfield Place Subdivision Plat and adjacent to the southwest of the State Rd 76/Lind Ln intersection.

1. Access to Lot 1 is proposed via the proposed extension of Memory Ln.
2. There is existing access to Lot 2 from State Rd 76. Future access to Lot 2 may also be provided via the proposed extension of Memory Ln.

3. Wetlands were identified and delineated on Lot 1, as identified on the submitted Concept Layout.
4. Stormwater management and a Winnebago County Stormwater Permit will be required for the land division due to the proposed road extension. Stormwater management plans were not provided.

The minimum lot requirements for the subject property's A-2 zoning district are as follows:

- Minimum lot size: 5 acres
- Minimum lot width: 200 ft.
- Minimum road frontage: 200 ft.

The proposed lots will comply with the minimum lot requirements *if* the Town accepts the proposed road extension/dedication and approves the land division. The Town is not required to accept the proposed road extension/dedication or approve the land division, as proposed.

Streets:

1. A 200 ft. long extension of Memory Ln is proposed. A 66 ft. wide future road reservation from the proposed extension of Memory Ln to the north lot line of the subject property for future road connection to the north is proposed.
2. The Town Future Land Use Map identifies "Future Roads" extending from the existing northern extent of Memory Ln in the Windfield Place subdivision, north through the subject property to the parcel adjacent to the north. The submitted plan identifies a proposed road and future road reservation to the north, consistent with the Town Future Land Use Map. The Town Subdivision Ordinance states:
 - *Proposed streets shall extend to the boundary lines of the tract being divided unless prevented by topography or other physical conditions or unless, in the opinion of the Town Board, such extension is not necessary or desirable for the coordination of the layout of the subdivision or for the advantageous development of adjacent land tracts.*
 - *Such streets shall terminate with a temporary turnaround of 120 feet right-of-way diameter and a roadway of not less than 90 feet in diameter.*

The proposed road and future road reservation to the north appears to be consistent with the Town Future Land Use Map and appears to comply with the Town Subdivision Ordinance requirements outlined above.

3. Since a public road extension is proposed, the Town Subdivision Ordinance requires the subdivider to enter into a Public Improvement Agreement with the Town in accordance with Section 7.10.06 (4) of the Town Subdivision Ordinance. The Public Improvement Agreement shall contain the following provisions:
 - Estimated Improvement Costs
 - Financial Security for Public Improvements
 - Financial Security for Final Pavement
 - Waiver of Special Assessment Notices and Proceedings
 - Promise to Pay
4. The Town Subdivision Ordinance has the following requirements for cul-de-sacs:
 - *Cul-de-sac streets designed to have one end permanently closed should not normally exceed 600 feet in length, but can be up to 1,000 feet in length provided density is not more than 15 housing units being served by said street.*

The existing Memory Ln in the Windfield Place subdivision is approximately 575 ft. in length. The proposed extension of Memory Ln would result in a temporary cul-de-sac approximately 775 ft. in length and serving up to 7 housing units. Since the cul-de-sac is not intended to have one end permanently closed, it is staff's opinion that the proposed

CSM and extension of Memory Ln would not violate this Town Subdivision Ordinance provision.

Staff Comments, Basis of Decision, and Staff Recommendation, & Suggested Conditions:

Specific item/issue recommended to be reviewed by Plan Commission and Town Board:

1. Proposed Road Extension & Future Road Reservation:

The Town should review and advise whether or not the Town is willing to accept the proposed road extension into the Town's public road system with the future road reservation, as proposed.

No formal recommendation or decision is needed for this application. The purpose of this application is for the Plan Commission and Town Board to preliminarily review a development, identify concerns/issues, and provide direction or recommendations to the applicant.

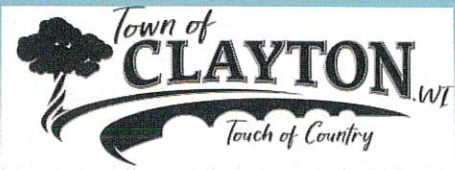
At minimum, staff recommends that the Plan Commission and Town Board review the specific item/issue listed above and provide direction/recommendations to the applicant.

NO MOTION NECESSARY – DISCUSSION ITEM ONLY

Respectfully Submitted,
Kelsey

Concept Plan Review Application

Town of Clayton Town Hall
 8348 Hickory Ave
 Larsen, WI 54947
 Phone: 920-836-2007
 Email: administrator@claytonwinnebago.wi.gov
 Website: https://www.townofclayton.net/



PROPERTY OWNER(S)

Name Arden and June Schroeder Joint Revocable Trust

Street Address 9458 State Road 76

City Neenah State WI Zip Code 54956

Phone (920) 843-1616

E-mail justin.t.schroeder@gmail.com

APPLICANT

Check: Architect: Engineer: Surveyor: Attorney: Agent: Owner:

Name: Scott Andersen

Address: 1164 Province Terrace, Menasha WI Zip Code: 54952

Phone: (920) 560 6569 E-Mail: scott@davel.pro

Describe the reason for the Concept Plan: Planning Commission and Board review for Lot layout and Road Extension

PROJECT/SURVEY SPECIFICS:

TYPE: CSM Commercial Industrial Residential Other

1,722,281 Sq. Feet

Tax Key Number: Parcel 0060035, 0060033, 006120401

Total Acreage: 39.5381 Acres

Existing Zoning: A-2 GENERAL AGRICULTURE DISTRICT Proposed Zoning: A-2 GENERAL AGRICULTURE DISTRICT

I certify that the attached drawings are to the best of my knowledge complete and drawn in accordance with all Town of Clayton codes.

Scott R. Andersen, PLS S-3169
scott@davel.pro
2024.01.11 15:13:51-06'00'

Signature Today's Date

For Town Use Only

Fee (see Town Fee Schedule)

Fee: \$350 Check #: 15191 Receipt: 23.1100 Date: 1/12/24

Date Received Complete: 1/12/24 By: CAA Application #: _____

Review Meetings _____ History _____

Concept is: Approved Approved with Condition Denied

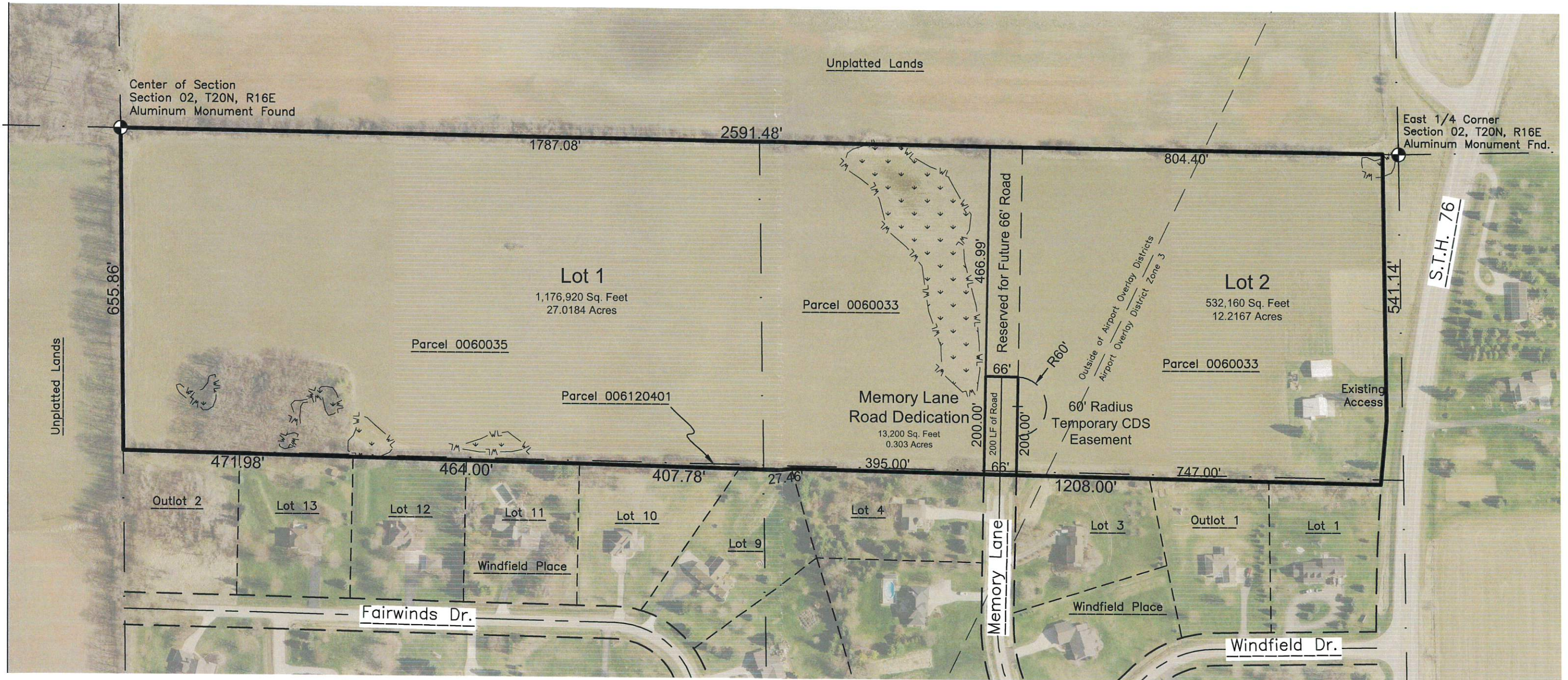
Comments: _____

Note: Please notify utility companies regarding your proposed development. Concept approval does not constitute approval of a building permit or any required approval of a highway connection permit. Concept & Fee must be submitted 30 working days prior to meeting.

Concept Layout

Part of the Northwest 1/4 of the Southeast 1/4 and part of the Northeast 1/4 of the Southeast 1/4 and part of Lots 9, 10, 11, 12, 13, and Outlot 2, Westfield Place, ALL of Section 2, Township 20 North, Range 16 East, Town of Clayton, Winnebago County, Wisconsin

Survey for:
Justin & Kate Schroeder
2189 E. Prairie Creek Drive
Neenah, WI 54956



DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors

1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1866 Fax: 920-441-0804
www.davel.pro

Jan 11, 2024 - 02:45 PM J:\Projects\8052sch\dwg\Civil 3D\8052CSM.dwg Sheet : Concept

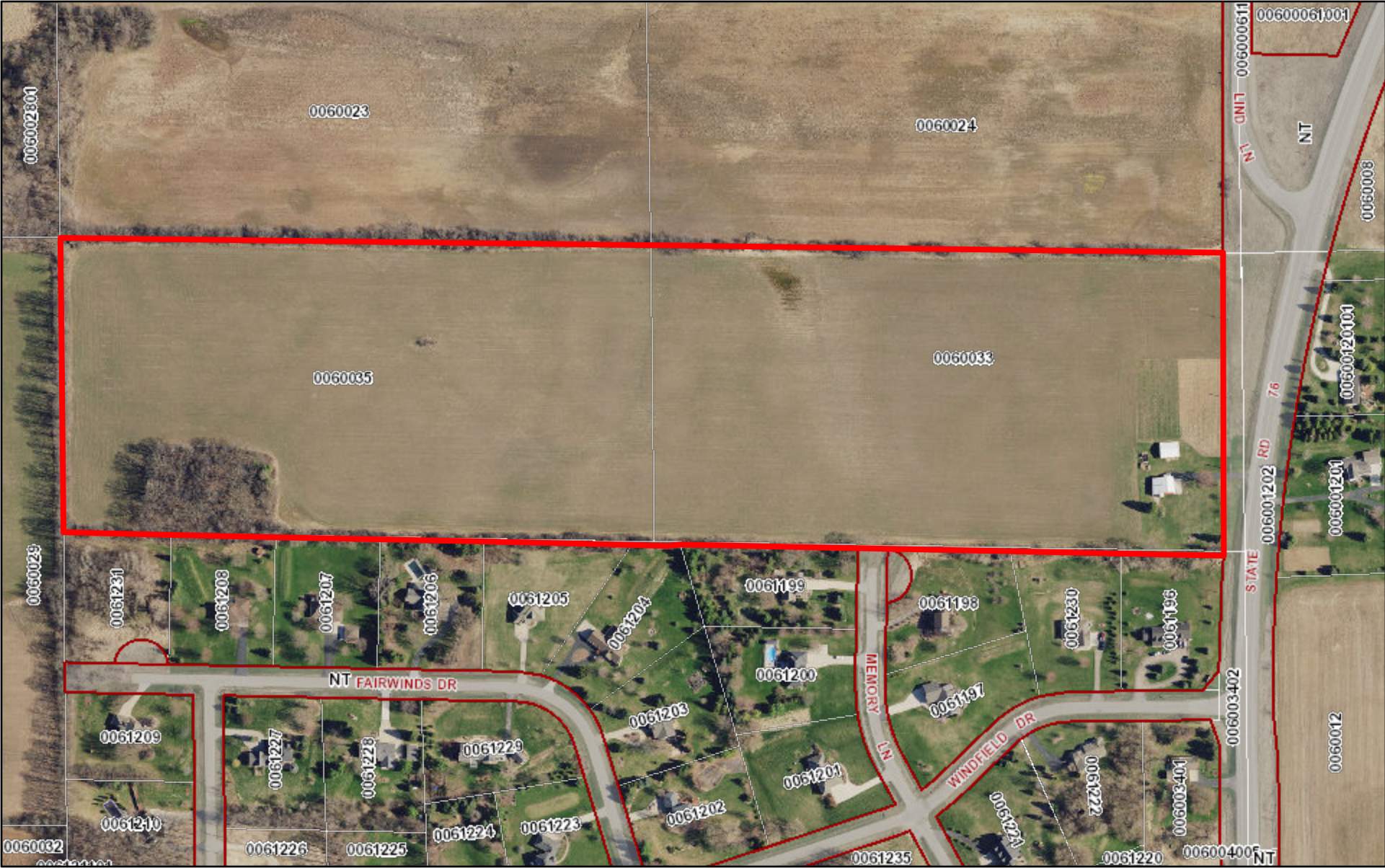
Delineated Wetlands
McMahon Associates Inc
August 31, 2021



Scott R. Andersen,
Wisconsin Professional
Land Surveyor No. S-3169
scott@davel.pro

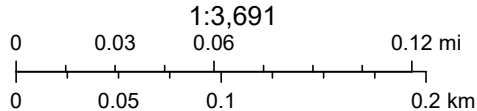


Schroeder CSM/Concept Plan Review - Aerial Map 1



2/6/2024, 1:02:15 PM

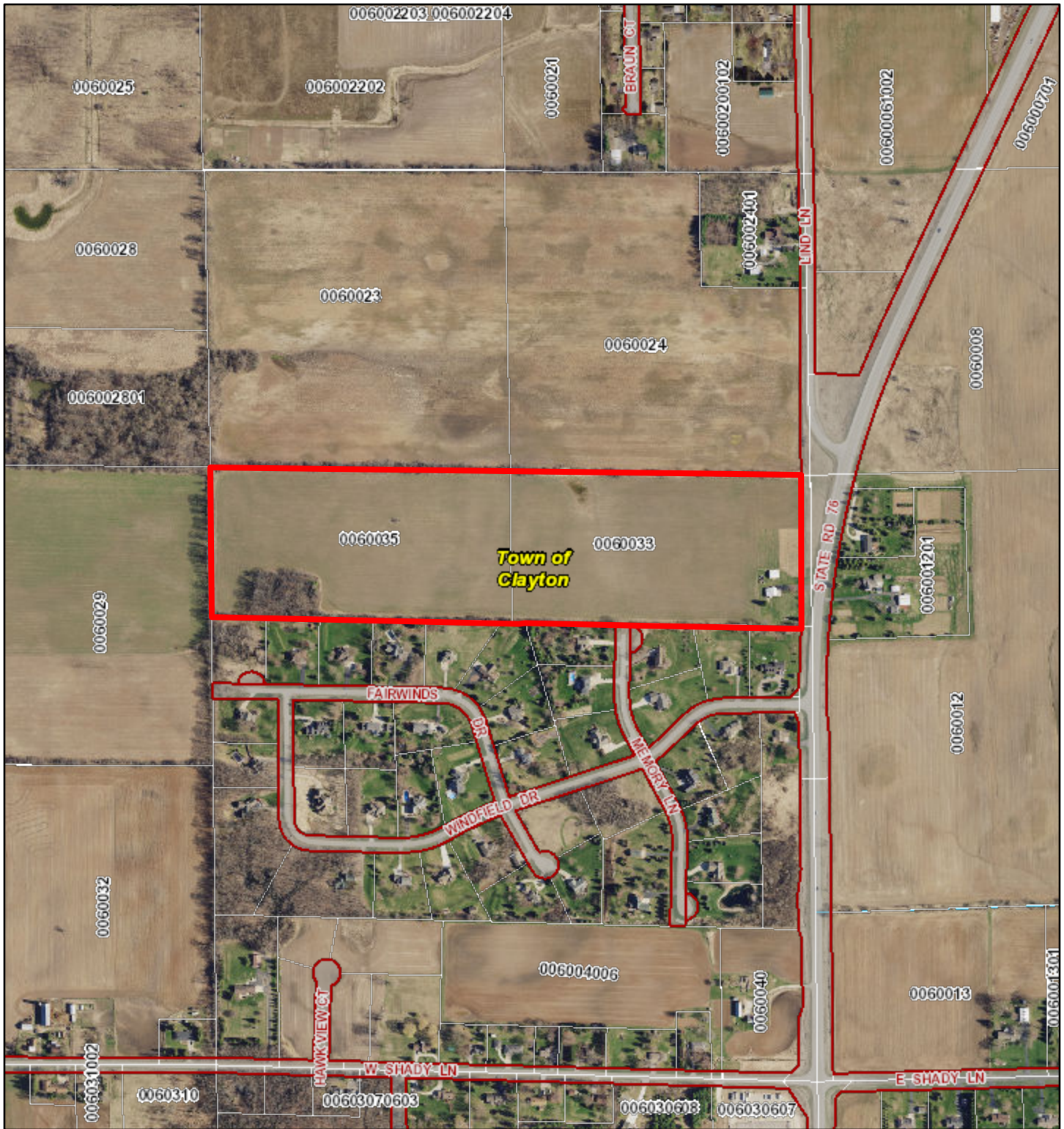
- Adjacent Counties
- Lakes, Ponds and Rivers
- Navigable Waterways
- Navigable - Permanent (unchecked)
- Navigable - Intermittent (unchecked)
- Navigable - Intermittent (checked)
- Navigable - Stream (unchecked)
- Navigable - Stream (checked)
- Navigable - Permanent (checked)
- Tax Parcel Boundary



Winnebago County GIS, Imagery Date: April 2020

Schroeder CSM/Concept Plan Review - Aerial Map 2

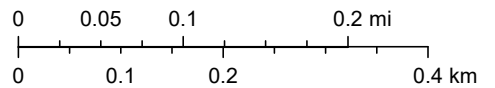
Item C.



2/6/2024, 1:02:56 PM

1:7,381

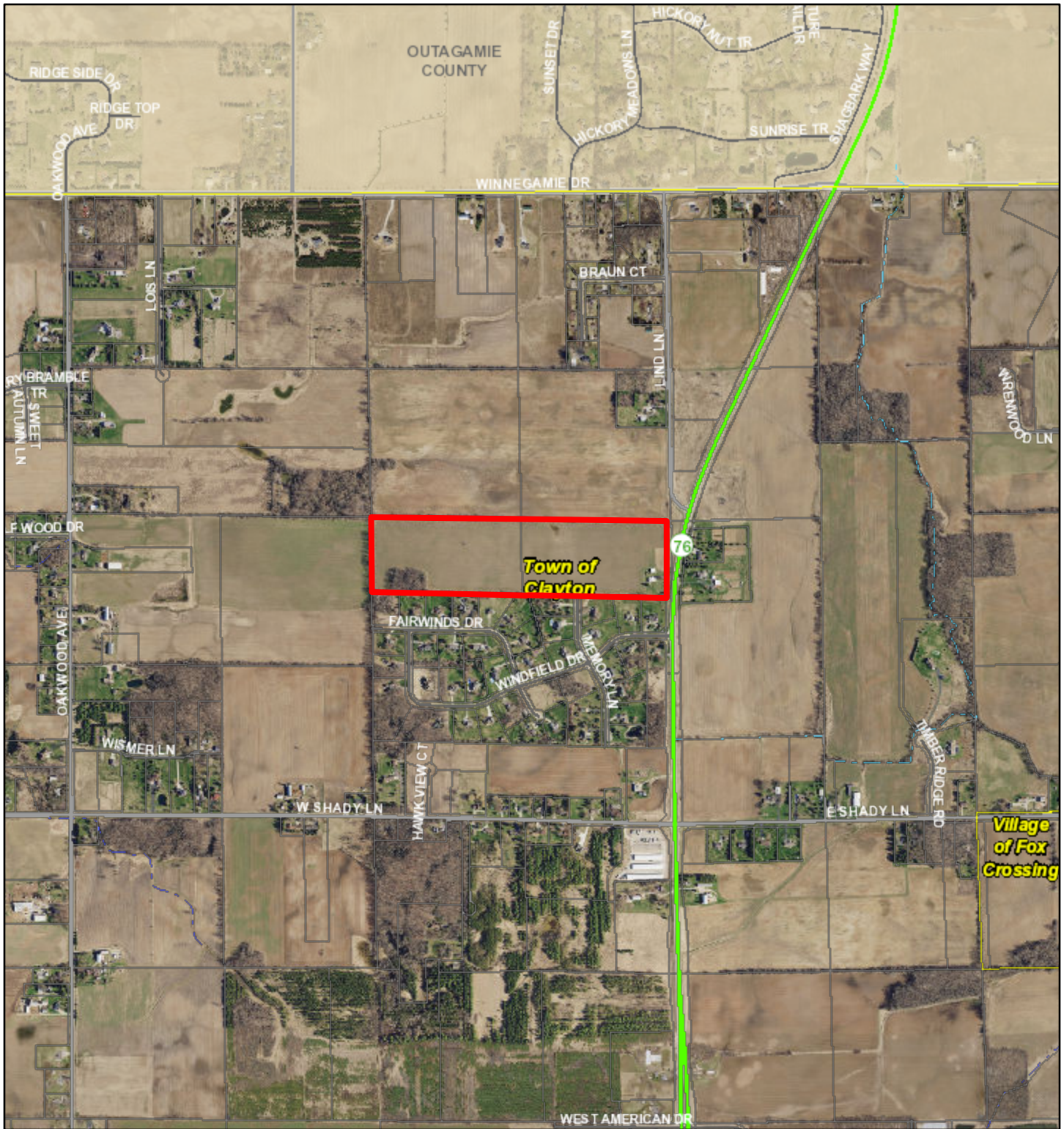
- | | | | |
|---------------------|--------------------------------------|--|------------------------------------|
| | Adjacent Counties | | Navigable - Permanent (checked) |
| | Lakes, Ponds and Rivers | | Navigable - Intermittent (checked) |
| Navigable Waterways | | | Navigable - Stream (checked) |
| | Navigable - Permanent (unchecked) | | Tax Parcel Boundary |
| | Navigable - Intermittent (unchecked) | | Road ROW |
| | Navigable - Stream (unchecked) | | Municipal Boundary |



Winnebago County GIS, Imagery Date: April 2020

Schroeder CSM/Concept Plan Review - Aerial Map 3

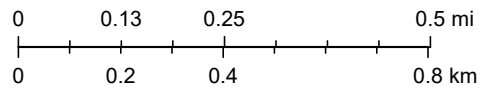
Item C.



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1:14,763

- | | |
|--------------------------------------|------------------------------------|
| Adjacent Counties | Navigable - Intermittent (checked) |
| Lakes, Ponds and Rivers | Navigable - Stream (checked) |
| Navigable Waterways | Tax Parcel Boundary |
| Navigable - Permanent (unchecked) | Local Road |
| Navigable - Intermittent (unchecked) | County Road |
| Navigable - Stream (unchecked) | State Road |
| Navigable - Permanent (checked) | US Highway |



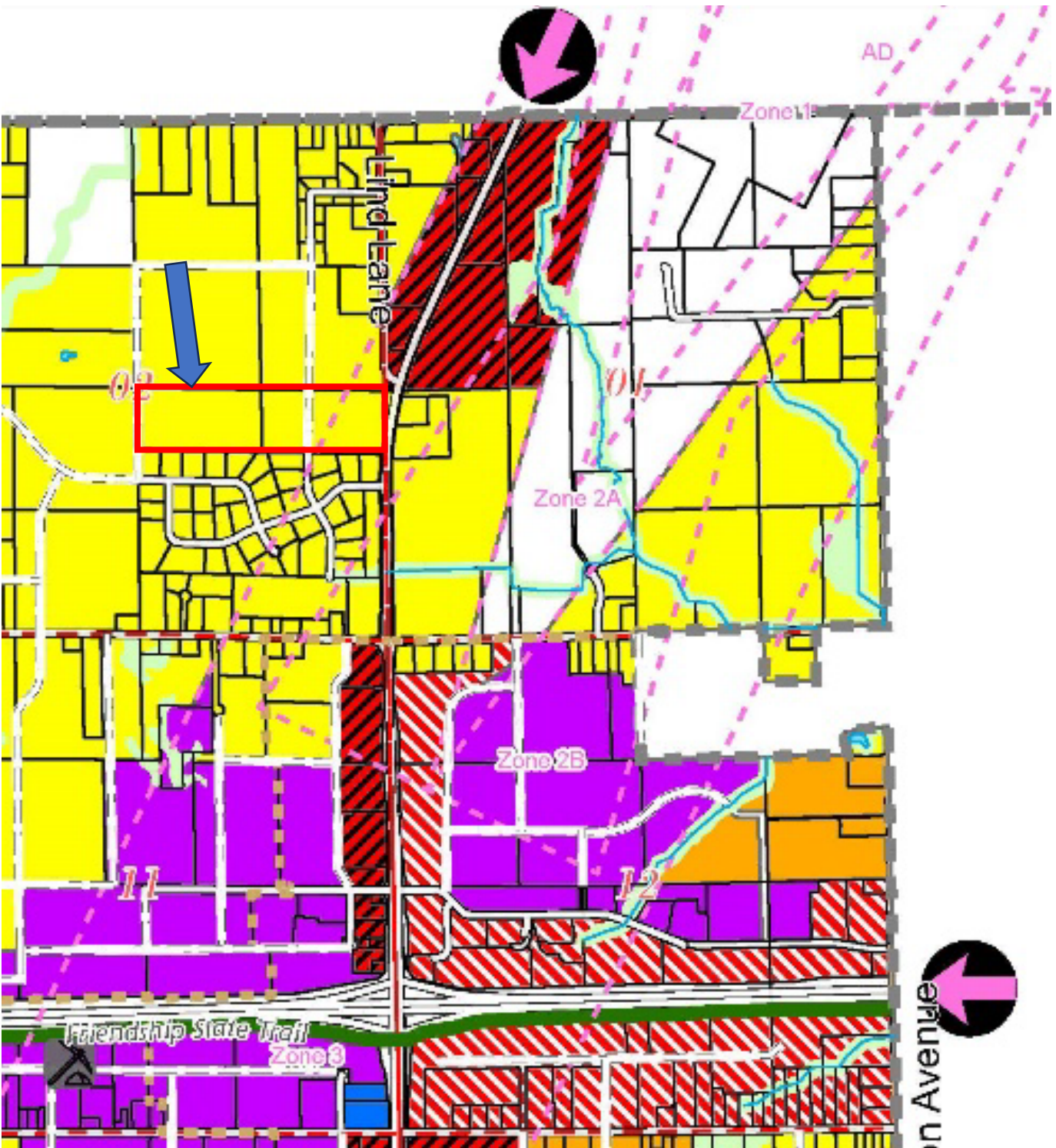
Winnebago County GIS, Imagery Date: April 2020

Town of Clayton

Winnebago County

Future Land Use (2040)

Tier 1



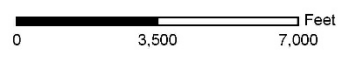
- Agriculture/Rural
- Conservation/Greenspace
- DNR Property
- Working Lands
- Residential - Single and Duplex
- Medium and High Density Residential
- Neighborhood Center Mixed Use
- Business
- Business Park
- Gateway Commercial & Retail
- Light Industrial, Warehousing, and Distribution
- Utilities and Public Facilities
- Parks and Recreation
- Abandoned Landfill Site
- Open Water/Pond/Lake
- Non-Metallic Mining Sites
- Other Non-Metallic Mining Sites

- Other Features**
- Cities, Towns, & Villages
 - Sections
 - Parcels
 - Airport Zoning
 - Town of Clayton Sanitary District #1
 - Roads
 - Future Roads
 - Recreation Trails
 - Navigable Waterways
 - ↙ Commercial Gateways

NORTH

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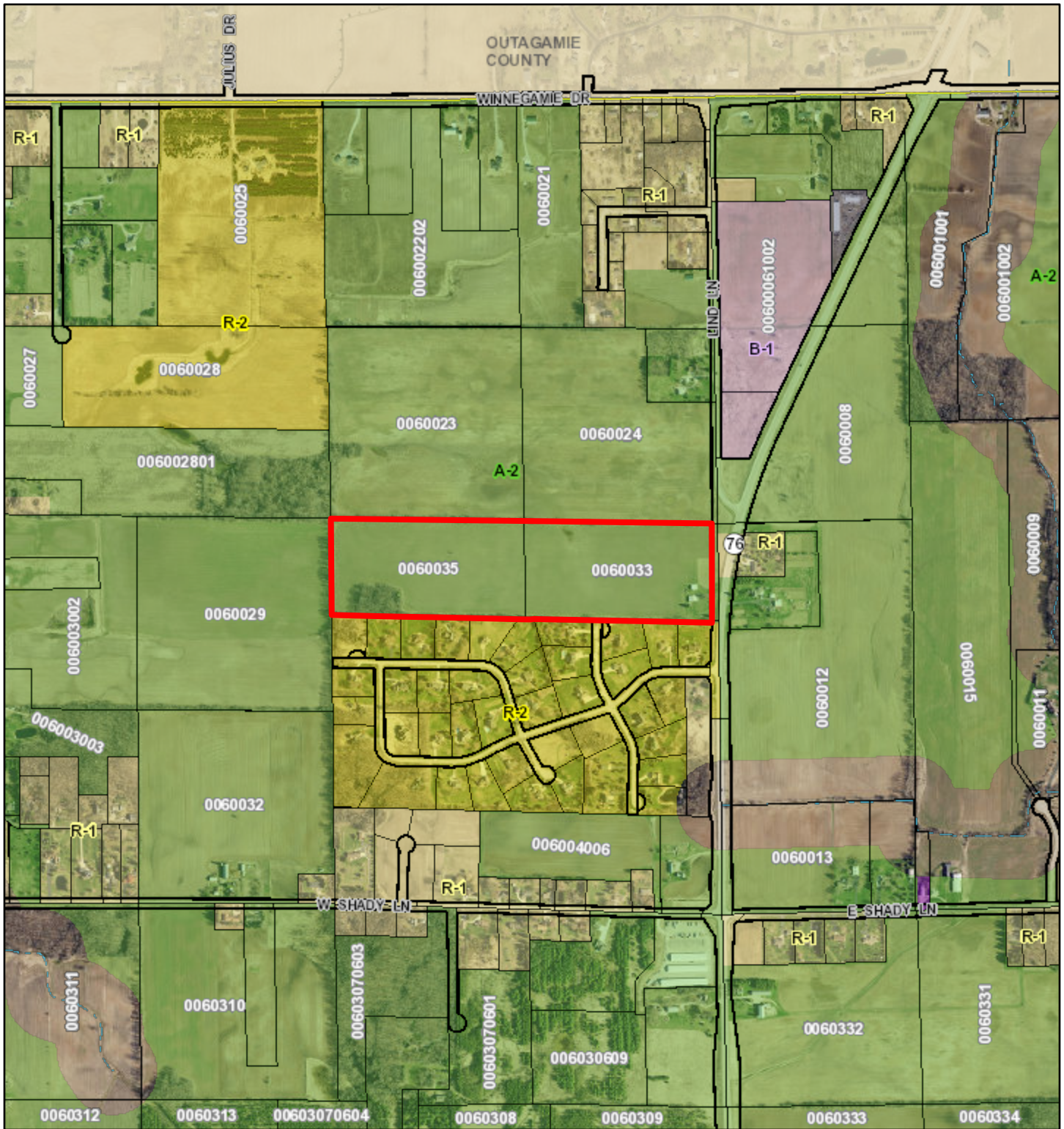


This base map was created with data from Winnebago County Planning Department who assumes no liability for the accuracy of this data and any use or misuse of its content is the responsibility of the user. Changes were made by Cedar Corporation under the direction of the Town of Clayton

Map Created: November 30, 2022 - Updated: July 6, 2023

Schroeder CSM/Concept Plan Review - Town Zoning Map

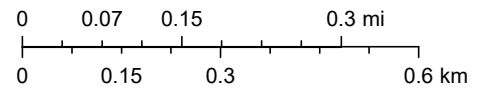
Item C.



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- | | |
|-------------------------------|--------------------------------------|
| District Code / Description | R-8 - Manufactured Housing Community |
| A-1 - Agribusiness | PDD - Planned Development |
| A-2 - General Agriculture | B-1 - Local Service Business |
| R-1 - Rural Residential | B-2 - Community Business |
| R-2 - Suburban Residential | B-3 - General Business |
| R-3 - Two-Family Residential | P-I - Public Institutional |
| R-4 - Multifamily Residential | I-1 - Light Industrial |



Winnebago County GIS, Imagery Date: April 2020