



PLAN COMMISSION

Wednesday, September 13, 2023 – 6:30 PM

Town Hall Meeting Room, 8348 Hickory Ave, Larsen, WI 54947

AGENDA

CALL TO ORDER

- A. Pledge of Allegiance
- B. Verification of Notice
- C. Meeting Roll

PUBLIC HEARING(S) AND/OR PUBLIC INFORMATION MEETINGS

- A. Plan Commission Public Hearing on a Re-zoning Application submitted by Carow Land Surveying on behalf of John & Barbara Kulogo to re-zone approximately 3.2 acres +/- of Tax ID #006-0420 (3438/3442 County Rd II) adjacent to County Rd II from the A-2 (General Agriculture District) to the R-1 (Rural Residential District).

APPROVAL OF MINUTES

- A. Approval of the Minutes of the Wednesday August 9, 2023 Plan Commission Meeting
- B. Approval of the Minutes of the Wednesday August 23, 2023 Plan Commission Meeting

OPEN FORUM – Public comments addressed to the Plan Commission

Individuals properly signed in may speak directly to the Plan Commission on non-repetitive Planning and Zoning matters whether on or not on the agenda. Commentators must wait to be called, must speak from the podium, directing their comments to the Commission. Comments must be orderly, and will be limited to a maximum of **2 minutes** per person. **Public comment is not permitted outside of this public comment period. Note:** The Commission's ability to act on or respond to the public comments is limited by Chapter 19, Wis. Stats. Please complete the "Request to Speak at Meeting" form located on the agenda/sign-in table and submit the form to the Town Clerk for in-person attendance.

CORRESPONDENCE

- A. Distribution of the August 2023 Building Inspection Report
- B. Distribution of the article "How to Grow Your Home"

BUSINESS

- A. Review/Recommendation: Plan Commission review & recommendation on Resolution 2023-006 for a Re-zoning Application submitted by Carow Land Surveying on behalf of John & Barbara Kulogo to re-zone approximately 3.2 acres +/- of Tax ID #006-0420 (3438/3442 County Rd II) adjacent to County Rd II from the A-2 (General Agriculture District) to the R-1 (Rural Residential District).
- B. Review/Recommendation: Plan Commission review & recommendation on a Certified Survey Map (CSM) submitted by Carow Land Surveying on behalf of John & Barbara Kulogo for approval of a CSM dividing Tax ID #006-0420

(3438/3442 County Rd II) and Tax ID #006-0420-01 (3464 County Rd II) into four (4) lots.

C. Review/Recommendation: Plan Commission review & recommendation on a Site Plan Review Application submitted by RJ Albright, Inc. on behalf of Nikodem Revocable Trust for a 4,200 sq ft addition to the existing principal building and parking/pavement additions on Tax ID #006-1777-01 (2770 Towne Ct).

D. Review/Discussion: Plan Commission review & discussion on allowing more than one principal building on a parcel of land & other Code Amendments.

UPCOMING MEETING ATTENDANCE

- A. Plan Commission (6:30 pm start unless otherwise noted) - Oct 11; Nov 8; Dec 13
- B. Town Board (6:30 pm start unless otherwise noted) - Sept 20; Oct 4 & 18; Nov 1 & 15

ADJOURNMENT

Respectfully submitted,

Dick Knapinski
Plan Commission Chair

Pursuant to Wisconsin Statute 19.84 (2) and (3) notice is hereby given to the public and the media that two or more members of any or all Boards, Commissions, and Committees of the Town of Clayton, may attend the meeting of the Plan Commission in order to gather information. For purposes of the Open Meetings Law only; attendance at a meeting by a quorum of members of the Town Boards, Commissions, and Committees constitutes a meeting of the Board, Commission, or Committee, pursuant to Badke Vs. Village Board of Village of Greendale, 173 Wis2d 553, 494 NW2d 408 (1993), and must be noticed as such, although it is not contemplated that any formal action by those bodies will be taken. The only business to be conducted is for Plan Commission action.

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, please call the Town Office at 920.836.2007.

This agenda has been posted at the following locations in the Town of Clayton:

- 1. The Town Hall Posting Board – 8348 Hickory Ave Larsen, WI 54947
- 2. The Town’s Web Page: --

**TOWN OF CLAYTON
NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Plan Commission of the Town of Clayton, County of Winnebago will hold a Public Hearing at 6:30 pm on Wednesday, September 13, 2023, in the Town Office meeting room located at 8348 Hickory Ave, Larsen WI 54947. The purpose of the Public Hearing is to receive public comment regarding the following Re-zoning Application:

THE PETITIONER(s): Plan Commission Public Hearing on a Re-zoning Application submitted by Carow Land Surveying on behalf of John & Barbara Kulogo to re-zone approximately 3.2 acres +/- of Tax ID #006-0420 (3438/3442 County Rd II) adjacent to County Rd II from the A-2 (General Agriculture District) to the R-1 (Rural Residential District).

Copies of the Re-zoning Application are available at the Town Hall, or by contacting the Town Clerk at (920) 836-2007. All interested parties and any objections to this request being granted will be heard at the Public Hearing. If you cannot attend the Public Hearing, you may submit written comments to the Town Clerk before 4:00 pm on the date of the Public Hearing.

Dated this 22nd day of August, 2023
By: Kelsey Faust-Kubale, Clerk

Publish on Wednesday August 30, 2023

and

Publish on Wednesday September 6, 2023

Post on or before August 30, 2023



PLAN COMMISSION

Wednesday, August 09, 2023 at 6:30 PM

Town Hall Meeting Room, 8348 Hickory Ave, Larsen, WI 54947

MINUTES

CALL TO ORDER – Chair Knapinski called the meeting to order at 6:31 pm

- A. Pledge of Allegiance
- B. Verification of Notice
- C. Meeting Roll

PRESENT

- Chair Knapinski
- Commissioner Haskell
- Commissioner Nemecek
- Commissioner Dorow
- Commissioner Hopkins
- Town Board Rep. Christianson

EXCUSED

- Commissioner Ketter

STAFF

- Administrator Wisnefske
- Clerk Faust-Kubale

APPROVAL OF MINUTES

- A. Approval of the Minutes of the Wednesday, July 12, 2023 Plan Commission Meeting

MOTION

Motion made by Commissioner Nemecek, **Seconded** by Commissioner Haskell to approve the minutes of the Wednesday, July 12, 2023, Plan Commission Meeting.

Voting Yea: Chair Knapinski, Commissioner Haskell, Commissioner Nemecek, Commissioner Dorow, Commissioner Hopkins, Town Board Rep. Christianson

Motion carried 6-0.

OPEN FORUM – Public comments addressed to the Plan Commission - NONE

CORRESPONDENCE

- A. Distribution of the July 2023 Building Inspection Report

BUSINESS

- A. Review/Recommendation: Plan Commission review & recommendation on a Certified Survey Map (CSM) submitted by Paul Sturgis on behalf of Sturgis Family

Irrevocable Trust for approval of a CSM dividing Tax ID #006-0565 (8326 County Rd T) into two (2) lots.

MOTION

Motion made by Commissioner Haskell, **Seconded** by Commissioner Nemecek to recommend approval of the CSM dividing Tax ID #006-0565 as proposed.

Voting Yea: Chair Knapinski, Commissioner Haskell, Commissioner Nemecek, Commissioner Dorow, Commissioner Hopkins, Town Board Rep. Christianson

Motion carried 6-0.

- B. Review/Discussion: Plan Commission review & discussion on allowing more than one principal building on a parcel of land & residences/dwellings accessory to non-residential uses.

DISCUSSION ITEM ONLY - NO ACTION TAKEN

UPCOMING MEETING ATTENDANCE

- A. Plan Commission (6:30 pm start unless otherwise noted) - August 23; Sept 13; Oct 11
- B. Town Board (6:30 pm start unless otherwise noted) - August 16; Sept 6 & 20; Oct 4 & 18

ADJOURNMENT

MOTION

Motion made by Commissioner Haskell, **Seconded** by Commissioner Nemecek to adjourn at 6:53 pm.

Voting Yea: Chair Knapinski, Commissioner Haskell, Commissioner Nemecek, Commissioner Dorow, Commissioner Hopkins, Town Board Rep. Christianson

Motion carried 6-0.

Respectfully submitted,

Kelsey Faust-Kubale
Town Clerk



PLAN COMMISSION

Wednesday, August 23, 2023 at 6:30 PM

Town Hall Meeting Room, 8348 Hickory Ave, Larsen, WI 54947

MINUTES

CALL TO ORDER - Chair Knapinski called the meeting to order at 6:31 pm

- A. Pledge of Allegiance
- B. Verification of Notice
- C. Meeting Roll

PRESENT

Chair Knapinski
 Commissioner Haskell
 Commissioner Nemecek
 Commissioner Dorow
 Commissioner Ketter
 Commissioner Hopkins
 Town Board Rep. Christianson

STAFF

Administrator Wisnefske
 Clerk Faust-Kubale
 Eric Fowle, Cedar Corp

OPEN FORUM – Public comments addressed to the Plan Commission - NONE

Chair Knapinski moved this agenda item up prior to the Public Hearing

PUBLIC HEARING(S) AND/OR PUBLIC INFORMATION MEETINGS

- A. Plan Commission Public Hearing to consider action on an ordinance to adopt the *Town of Clayton Comprehensive Plan 2040*.

NO COMMENTS RECEIVED FROM PUBLIC - HEARING CLOSED AT 6:32 PM.

UPCOMING MEETING ATTENDANCE

- A. Plan Commission (6:30 pm start unless otherwise noted) - Sept 13; Oct 11; Nov 8
- B. Town Board (6:30 pm start unless otherwise noted) - Sept 6 & 20; Oct 4 & 18; Nov 1 & 15

ADJOURNMENT

MOTION

Motion made by Commissioner Haskell, **Seconded** by Commissioner Nemecek to adjourn at 6:34 pm.

Voting Yea: Chair Knapinski, Commissioner Haskell, Commissioner Nemecek, Commissioner Dorow, Commissioner Ketter, Commissioner Hopkins, Town Board Rep. Christianson

Motion carried 7-0.

Respectfully submitted,

Kelsey Faust-Kubale
 Town Clerk

| | | | | | | | | | YEAR TO DATE SUMMARY | | | | |
|------------------------------------|-----------|-------------------|-------------------------|------------------------------|------------------------|------------------------|---------------------|----------------------|--------------------------|------------------------|---------------------|-------------------------|----------------------|
| DATE | PERMIT # | OWNER | ADDRESS | DESCRIPTION | CONTRACTOR | EST. PROJECT COST | PERMIT FEE | BLDING INSPECTOR FEE | TOWN | EST. PROJECT COST | PERMIT FEE | TOWN OF CLAYTON REVENUE | YEAR TO DATE TOTAL |
| TOWN OF CLAYTON PERMITS: | | | | | | | | | Town of Clayton | \$ 2,727,656.00 | \$ 19,116.52 | \$ 19,116.52 | \$ 82,793.73 |
| 8/8/2023 | 163-23-8B | POSITIVE VENTURE | 2788 TOWN CT | COMMERCIAL REMOD | UTSCHIG | \$ 282,000.00 | \$ 800.00 | | Town of Vinland | \$ - | \$ - | \$ - | \$ 1,893.02 |
| 8/9/2023 | 164-23-8E | NATHAN NOVAK | 3548 GOLF WOOD | ELECT LINE TO SHED | CR FOCHS | \$ 1,000.00 | \$ 75.00 | | Town of Winneconne | \$ 1,360,735.00 | \$ 3,518.42 | \$ 1,998.74 | \$ 13,524.38 |
| 8/9/2023 | 165-23-8E | BOB BECKWIRTH | 8225 GOLF COURSE DR | ELECT REMOD | WICK ELECT | \$ 3,500.00 | \$ 86.58 | | Town of Winchester | \$ 479,879.00 | \$ 1,330.90 | \$ 1,064.72 | \$ 3,610.16 |
| 8/9/2023 | 166-23-8H | DAN FOSTER | 3366 KNOX | REPLACE FURNACE-A/C | MODERN SHEET METAL | \$ 11,908.00 | \$ 150.00 | | Town of Dale | \$ 281,875.00 | \$ 1,380.60 | \$ 1,104.48 | \$ 7,745.47 |
| 8/9/2023 | 167-23-8B | DON GURALSKI | 2537 OAKCREST | DETACHED GARAGE | SELF | \$ 25,000.00 | \$ 238.24 | | | | | | |
| 8/15/2023 | 168-23-8B | JAY SCHULTZ | 8777 OAKWOOD | DETACHED GARAGE | A&M CONCRETE | \$ 150,000.00 | \$ 387.00 | | | | | | |
| 8/15/2023 | 169-23-8E | JAY SCHULTZ | 8777 OAKWOOD | ELECT DETACHED GARAGE | KALLIES ELECT | \$ 3,000.00 | \$ 255.00 | | Total | \$ 4,850,145.00 | \$ 25,346.44 | \$ 23,284.46 | \$ 109,566.75 |
| 8/15/2023 | 170-23-8H | JAY SCHULTZ | 8777 OAKWOOD | HVAC DETACHED GARAGE | SELF | \$ 5,000.00 | \$ 255.00 | | Full Burden Wage | \$ 8,942.65 | | | \$ 73,470.84 |
| 8/15/2023 | 171-23-8P | JAY SCHULTZ | 8777 OAKWOOD | PLUMB DETACHED GARAGE | JIM ZIELINSKI | \$ 5,000.00 | \$ 255.00 | | | | | | |
| 8/15/2023 | 172-23-8B | JESSE CLARK | 2815 FOX VALLEY DR | STORAGE UNITS | AFFORDABLE CONTRACTINC | \$ 950,000.00 | \$ 5,905.96 | | Net Profit (Loss) | \$ 14,341.81 | | | \$ 36,095.91 |
| 8/16/2023 | 173-23-8B | DON HENNESSEY | 9381 CENTER | NSFD | HENNESSEY HOMES | \$ 400,000.00 | \$ 1,127.00 | | | | | | |
| 8/21/2023 | 174-23-8B | TED ECKSTEIN | 4790 CTY II | SHED | SELF | \$ 20,000.00 | \$ 316.00 | | | | | | |
| 8/21/2023 | 175-23-8B | MARY YUN | 2979 LENNON | REROOF | SECURITY ROOFING | \$ 42,970.00 | \$ 75.00 | | | | | | |
| 8/22/2023 | 176-23-8B | MIKE ATKINS | 3005 OAKRIDGE | BATH REMOD | PORTSIDE BLDGS | \$ 23,000.00 | \$ 188.20 | | | | | | |
| 8/22/2023 | 177-23-8E | MIKE ATKINS | 3005 OAKRIDGE | BATH REMOD ELECT | SEC | \$ 1,290.00 | \$ 81.60 | | | | | | |
| 8/23/2023 | 178-23-8B | LOUIS BRAATZ | 3646 EMERALD CROWN PKY | REROOF | SECURITY LUEBKE | \$ 29,338.00 | \$ 75.00 | | | | | | |
| 8/23/2023 | 179-23-8B | ANN ROSENBERG | 3427 LARSEN | REROOF | SECURITY LUEBKE | \$ 26,511.00 | \$ 75.00 | | | | | | |
| 8/23/2023 | 180-23-8H | DUANE MCDONALD | 3014 FAIRWINDS | REPLACE A/C | MODERN SHEET METAL | \$ 4,999.00 | \$ 75.00 | | | | | | |
| 8/23/2023 | 181-23-8E | RICK DORSCHNER | 3245 FAIRVIEW | GENERATOR INSTALL | CR FOCHS | \$ 13,000.00 | \$ 75.00 | | | | | | |
| 8/23/2023 | 182-23-8H | JASON HALVERSON | 4508 GRANDVIEW | REPLACE FURNACE | BLACK-HAAK | \$ 5,000.00 | \$ 75.00 | | | | | | |
| 8/24/2023 | 183-23-8E | AMY SCHMERSE | 2948 BUTTERCUP | ELECT REMOD | VECTOR ELECT | \$ 2,400.00 | \$ 75.00 | | | | | | |
| 8/24/2023 | 184-23-8H | MIKE LAAK | 3320 KNOX | REPLACE A/C | BLACK-HAAK | \$ 5,000.00 | \$ 75.00 | | | | | | |
| 8/24/2023 | 185-23-8P | NATIONAL LIGHTING | 2586 W AMERICAN | NEW COMMERCIAL PLUMB | A.G.MECHANICAL | \$ 85,000.00 | \$ 7,303.50 | | | | | | |
| 8/29/2023 | 186-23-8B | LARRY JOHNSON | 3905 CTY II #18 | REROOF | SECURITY ROOFING | \$ 4,000.00 | \$ 75.00 | | | | | | |
| 8/29/2023 | 187-23-8B | RANDY CARVANA | 2756 HOLIDAY CT | GAZEBO/PERGOLA | LUIS VARGES | \$ 28,740.00 | \$ 161.44 | | | | | | |
| 8/30/2023 | 188-23-8B | COOPER WALBRUM | 8404 WHISPERING MEADOWS | NSFD | NONEMACHCHER BLDGS | \$ 600,000.00 | \$ 856.00 | | | | | | |
| | | | | TOTALS | | \$ 2,727,656.00 | \$ 19,116.52 | | | | | | |
| TOWN OF VINLAND PERMITS: | | | | | | | | | | | | | |
| | | | | TOTALS | | \$ - | \$ - | | | | | | |
| TOWN OF WINNECONNE PERMITS: | | | | | | | | | | | | | |
| 8/3/2023 | 96-23-8B | JOHN VAN ALLEN | 5175 SOUTHWIND | REROOF | PRO RESTORATION | \$ 23,200.00 | \$ 50.00 | \$ 40.00 | | | | | |
| 8/3/2023 | 97-23-8B | LEAH MICHAUD | 5220 N HARBOUR | REROOF | PRO RESTORATION | \$ 17,100.00 | \$ 50.00 | \$ 40.00 | | | | | |
| 8/3/2023 | 98-23-8B | MARC COLLINS | 5142 HIGH POINTE | REROOF | PRO RESTORATION | \$ 19,100.00 | \$ 50.00 | \$ 40.00 | | | | | |
| 8/16/2023 | 99-23-8H | LORD OF THE LAKES | 6090 HARBOUR SOUTH | REPLACE FURNACE-A/C | OSHKOSH HVAC | \$ 9,500.00 | \$ 80.00 | \$ 64.00 | | | | | |
| 8/16/2023 | 100-23-8B | DAN KESSELMAYER | 4955 WASHINGTON | REPLACE ROOFING/SIDING | BLACK DIAMOND | \$ 31,000.00 | \$ 100.00 | \$ 80.00 | | | | | |
| 8/16/2023 | 101-23-8E | TREVOR METZ | 6435 WIESNER | ELECTRIC TO SHED | KMILL ELECT | \$ 1,500.00 | \$ 45.00 | \$ 36.00 | | | | | |
| | | | | ELECTRIC SERVICE OVERHEAD TO | | | | | | | | | |
| 8/16/2023 | 102-23-8E | DENNIS BAHRKE | 883 GRANT | UNDERGROUND | SELF | \$ 1,000.00 | \$ 60.00 | \$ 48.00 | | | | | |
| 8/16/2023 | 103-23-8B | JUDY WRIGHT | 6490 BREEZE | REROOF | SECURITY LUEBKE | \$ 30,435.00 | \$ 50.00 | \$ 40.00 | | | | | |
| 8/17/2023 | 104-23-8B | JAMIE MUSSELMAN | 6460 SUNSHINE HARBOUR | NSFD | PINNACLE PROPERTIES | \$ 550,000.00 | \$ 663.70 | \$ 530.96 | | | | | |
| 8/17/2023 | | JAMIE MUSSELMAN | 6460 SUNSHINE HARBOUR | TOWN FEES | | | | \$ 510.00 | | | | | |
| 8/22/2023 | 105-23-8E | DAVID MILLER | 7156 LABELLE SHORE | NSFD ELECT | CREATIVE ELECT | \$ 10,000.00 | \$ 92.91 | \$ 74.33 | | | | | |
| 8/22/2023 | 106-23-8H | DAVID MILLER | 7156 LABELLE SHORE | NSFD HVAC | BREAKER HVAC | \$ 10,000.00 | \$ 92.91 | \$ 74.33 | | | | | |
| 8/22/2023 | 107-23-8P | DAVID MILLER | 7156 LABELLE SHORE | NSFD PLUMB | BRADEN DORN | \$ 10,000.00 | \$ 92.91 | \$ 74.33 | | | | | |
| 8/22/2023 | 108-23-8B | SCOTT RYAN | 5184 SOUTHWIND | REROOF | ALL AMERICAN | \$ 12,000.00 | \$ 50.00 | \$ 40.00 | | | | | |
| 8/29/2023 | 109-23-8E | RANDY PARKS | 6708 WHITETAIL | NSDF ELECT | ELLMAN ELECT | \$ 5,500.00 | \$ 210.00 | \$ 168.00 | | | | | |
| 8/29/2023 | 110-23-8E | STEVE VOIGHT | 7187 CLARK PT | ELECT BOAT HOUSE | AB ELECT | \$ 2,000.00 | \$ 59.79 | \$ 47.83 | | | | | |
| 8/29/2023 | 111-23-8E | MIKE VAUGHN | 5161 SOUTHWIND | GENERATOR INSTALL | AC GENERATION | \$ 8,400.00 | \$ 60.00 | \$ 48.00 | | | | | |
| 8/30/2023 | 112-23-8B | JUSTIN COX | 5546 LASLEY POINT | NSFD | BERNIER CONSTRUCTION | \$ 620,000.00 | \$ 691.20 | \$ 552.96 | | | | | |
| 8/30/2023 | | JUSTIN COX | 5546 LASLEY POINT | TOWN FEES | | | | \$ 510.00 | | | | | |
| | | | | TOTALS | | \$ 1,360,735.00 | \$ 3,518.42 | \$ 1,998.74 | | | | | |
| TOWN OF WINCHESTER PERMITS: | | | | | | | | | | | | | |
| 8/8/2023 | 24-23-8B | ROBERT BLOHOWIAK | 5049 N LOOP | REMOD | DELEERS | \$ 95,935.00 | \$ 75.00 | \$ 60.00 | | | | | |
| 8/21/2023 | 25-23-8E | BILL PUCCI | 5020 BREEZEWOOD | GENERATOR INSTALL | COMPTON ELECT | \$ 12,000.00 | \$ 130.00 | \$ 104.00 | | | | | |
| 8/21/2023 | 26-23-8E | MARSHA KLOEHN | 9690 MANU | GENERATOR INSTALL | RADDANT ELECT | \$ 11,944.00 | \$ 130.00 | \$ 104.00 | | | | | |
| 8/29/2023 | 27-23-8B | RON DERECKS | 5595 LAKEVIEW | NSFD | DERCKS CONSTRUCTION | \$ 350,000.00 | \$ 865.90 | \$ 692.72 | | | | | |
| 8/30/2023 | 28-23-8E | SUSAN ROGERS | 8793 BISON | GENERATOR INSTALL | BLACK-HAAK | \$ 10,000.00 | \$ 130.00 | \$ 104.00 | | | | | |
| | | | | TOTALS | | \$ 479,879.00 | \$ 1,330.90 | \$ 1,064.72 | | | | | |
| TOWN OF DALE PERMITS: | | | | | | | | | | | | | |
| 8/3/2023 | 56-23-8B | JUSTIN NEUMAN | N164 MANU | POLE BUILDING | NEMO BLDRS | \$ 125,000.00 | \$ 500.00 | \$ 400.00 | | | | | |
| 8/10/2023 | 57-23-8B | DALLAS HERBST | W8933 MADELINE | SHED | SELF | \$ 9,000.00 | \$ 99.00 | \$ 79.20 | | | | | |
| 8/10/2023 | 58-23-8B | JARROD PAPENDORF | N1828 AUTUMNWOOD | DETACHED GARAGE | BG DURITE CONST | \$ 30,000.00 | \$ 225.00 | \$ 180.00 | | | | | |
| 8/10/2023 | 59-23-8E | JOE SHAFER | N943 CTY M | ELECTRIC FOR DETACHED GARAGE | QUANTUM ELECT | \$ 2,200.00 | \$ 89.00 | \$ 71.20 | | | | | |
| 8/10/2023 | 60-23-8E | JILL ROUSSEALL | W8875 STEFFEN | GENERATOR INSTALL | YOURR ELECT | \$ 10,000.00 | \$ 65.00 | \$ 52.00 | | | | | |
| 8/10/2023 | 61-23-8E | MATTHEW GRUNWALD | N494HWY 45 | SOLAR INSTALL | TRON SOLAR | \$ 53,675.00 | \$ 65.00 | \$ 52.00 | | | | | |
| 8/10/2023 | 62-23-8E | JAMIE DELEEUW | W10077 SCHOOL | GENERATOR INSTALL | ALANS ELECT | \$ 10,000.00 | \$ 65.00 | \$ 52.00 | | | | | |
| 8/10/2023 | 63-23-8E | DON KUETTEL | W8950 SCHOOL | GENERATOR INSTALL | ALANS ELECT | \$ 15,000.00 | \$ 65.00 | \$ 52.00 | | | | | |
| 8/16/2023 | 64-23-8B | DALE KUETTEL | N2031 CTY T | BEECHY BROS BUILDERS | BEECHY BROS BUILDERS | \$ 24,000.00 | \$ 142.60 | \$ 114.08 | | | | | |
| 8/22/2023 | 65-23-8E | TIM KRAUSE | N1015 CTY M | SERVICE CHANGE | QUANTUM ELECT | \$ 3,000.00 | \$ 65.00 | \$ 52.00 | | | | | |
| | | | | TOTALS | | \$ 281,875.00 | \$ 1,380.60 | \$ 1,104.48 | | | | | |

— MULTIGENERATIONAL LIVING —

How to Grow Your Home

Accessory dwelling units (ADUs) and other add-ons are booming as we move in together—young and old, family and friends. Here’s how 8 families adapted their homes to welcome new additions **BY DAVID HOCHMAN**



MOM'S NEW COTTAGE
The integrated outdoor space includes a roomy shower, far right.

A HOUSE SWAP FOR THE AGES

Durham, North Carolina

WHY: After Janice Cook's husband died in 2019, her 1,600-square-foot, three-bedroom house felt too big.

Marilyn Griffin, her only child, who lived nearby, knew her mother was too vital to think about retirement communities. "We wanted her to live well in a smaller space," says Marilyn, who works in health care. Both she and Kevin, a director at a biotech company, were thinking ahead to their own retirement now that their adult kids had left—and they loved the idea of living mortgage-free.

HOW: After a series of "frank conversations," Marilyn says, "and a few meetings with lawyers," adds Janice, the title of Janice's house was transferred to Marilyn and Kevin, and her assets were shifted to them as

well. Janice would get to age in place without any bills in a beautiful home built alongside her former house—paid for by the Griffins' real estate sale.

WHOA: "An arrangement like this takes serious trust and faith, so it's not for every family," says Janice.

WOW: With both parties free from paying a mortgage, the home swap lifts one of life's biggest burdens for the family. Plus, Janice gets to enjoy her later years in a very cool new house.



HOMEOWNERS

Marilyn Griffin, 53, and her husband, Kevin, 56

NEW ARRIVAL

Marilyn's mom, Janice Cook, 74

HOME GROWTH

The Griffins moved into Mom's house; Mom moved into a detached 650-square-foot, one-bedroom cottage they built on the back lawn.

APPROXIMATE COST

\$205,000



A TINY HOUSE FOR 'GAGA'

Portland, Oregon

WHY: When she wrapped up her teaching career a few years ago, Peggy LeDuff knew Southern California would be too expensive for retirement. Oregon looked cheaper, and the allure of living close to her adorable granddaughter—Norah, now 2, who calls her “Gaga”—proved irresistible.

HOW: “I offered to watch Norah and any future grandchildren three days a week if I could roll in a tiny house,” Peggy says. Karen Fejta’s reaction: “Free babysitting? Uh, yeah!” Peggy sold her 980-square-foot studio in Los Angeles. After meeting with several tiny-house builders, she opted to have hers custom designed. “I was very organized with all the details,” she says. “I wanted a built-in dresser,

a small closet and loads of windows. There is a sleeping loft overhead and a full-size pullout couch below for when I no longer want to climb. I like to cook, so my kitchen has plenty of storage. And we designed the living area around my grandparents’ old china cabinet.”

WHOA: Running a sewer line required complex trenching around tree roots to the (unexpected) tune of \$15,000.

WOW: “Having Gaga nearby is pretty magical,” Karen says. “We all have dinner on Monday nights. She has her book club here. Norah adores her, and it’s such great support.” Says Peggy: “It’s almost like I should pay them because I get to be the grandmother I always wanted to be.”

HOMEOWNERS

Karen and Paul Fejta, both 34

NEW ARRIVAL

Karen’s mom, Peggy LeDuff, 64

HOME GROWTH

Adding a 311-square-foot tiny house on wheels for grandma—a.k.a. “Gaga”—to Karen and Paul’s backyard

APPROXIMATE COST

\$91,000



A BABYSITTER IN THE BACKYARD

Peggy with her granddaughter Norah; Gaga’s place, right.



John Clark (3)



AN INEXPENSIVE CABIN OUT BACK
Robert revels in both the quiet, left, and drop-ins from his family

DAD'S WOODY REFUGE

A rural mountain community outside Ashland, Oregon

WHY: When Brint Borgilt and Juliet Grable, a writer, bought their property in 2015, Robert Borgilt, a retired Xerox repairman and Korean War-era vet, moved into his motor home next to their 1,500-square-foot house. Four years in, he broke his hip. “He clearly needed a safer place as he got older, so we built the cabin,” Brint says.

HOW: The 1970s outbuilding had connections for electricity and plumbing, but everything else got scrapped. The new Craftsman-style dwelling was designed with “all the amenities of a larger home, just compressed,” says Brint, a residential home designer. That includes a full-size fridge and stacked washer-dryer, vaulted ceilings, tons of windows and plenty of lighting.

WHOA: “Dad is a hermit and values his privacy, so we had to find a way to give him a great deal of space and also get

HOMEOWNERS

Brint Borgilt, 60, and his wife, Juliet Grable, 51

NEW ARRIVAL

Brint’s dad, Robert Borgilt, 86

HOME GROWTH

Turn an outbuilding into a 400-square-foot cabin

APPROXIMATE COST

Robert put in \$70,000, then, says Brint, “we did all the work except roof, foundation, Sheetrock and exterior paint.”



the construction done. But he really enjoyed the interaction with the people who helped us build it.” The work took two and a half years.

WOW: “This project brought Dad and me closer,” Brint says. They

spend time in the property’s woodshop and sometimes eat together. “We’ll usually see each other five out of seven days a week, and I think he appreciates the work and time we put into the cabin.” Deer, foxes and the occasional cougar can be seen from Robert’s windows, and he enjoys tending to his bird feeders. “The place is comfortable and it provides for all my needs,” he says. “And I get my choice of so many views.”



IN-LAW SUITE FOR EASY VISITS
Simple changes created a new space for Chander, center.

MINIMAL CHANGES, MAXIMUM FAMILY TIME

Milwaukee, Wisconsin

WHY: “In India, parents live with you until the last minute, and that’s what I want—no nursing homes,” says Chander Verma, a stroke survivor who struggles with mobility. So daughter Prasanta Verma decided this year to create accessible space on the ground floor of her own three-bedroom home so Chander could stay for months, not days.

HOW: A bed, dresser and chair replaced dining furniture, two doors were installed, and a walk-in shower was added to the nearby laundry room.

WHOA: The permitting process was very time-consuming, and they had to consider installing a stair lift and moving Chander upstairs. Fortunately, the downstairs approvals came through.

WOW: Two of Prasanta’s siblings are replicating the idea, creating long-stay spaces in their homes in Georgia and Maryland.

HOMEOWNERS

Prasanta Verma, 55, and her husband, Vivek Anumolu, 59

NEW ARRIVAL

Prasanta’s mom, Chander Verma, 81 (on extended visits from her home in Georgia)

HOME GROWTH

Reimagining a dining room, adjoining laundry area and powder room as Mom’s summerlong guest suite

APPROXIMATE COST

\$20,000



BACKYARD CHIC
The light, airy modernist kitchen and dining area are a highlight of Karin's new space.

GRANDMA'S GLAM GARAGE

Los Angeles, California

WHY: "It was a no-brainer," says Monique Marshall, an education consultant. "After my stepdad died in 2021 and Mom's rent skyrocketed, we knew she needed to leave the New York City apartment where she lived almost 60 years."

HOW: Karin Notbom-Healey, a retired legal secretary, flew west with 10 boxes and a couple of bags and moved into her granddaughters' (two 20-somethings) bedroom—the young adults camped in the living room—as the garage renovation took flight. "We got pizza and beer and invited 15 neighbors to help clear out the junk and get it to the Salvation Army," says

DeMille Halliburton, an insurance executive. Architect friends drafted plans for a 295-square-foot studio with a bedroom nook, kitchenette, no-step walk-in shower and tiled skylight. DeMille and Monique financed the construction, but Karin insists on paying \$1,000 a month in rent.

WHOA: Building everything to code meant a new roof and new foundation—"more money and more time," DeMille says. The overhaul took nearly a year.



HOMEOWNERS

DeMille Halliburton, 59, and Monique Marshall, 54

NEW ARRIVAL

Monique's mom, Karin Notbom-Healey, 84

HOME GROWTH

Transforming a garage behind the family's 1,200-square-foot home

APPROXIMATE COST

\$120,000



WOW: Proudly independent, Karin now spends her days listening to her beloved Chuck Mangione and John Coltrane records on vinyl and tending to an olive tree outside her ADU where the ashes of her husband, Billy, are scattered. There's daily family time, too, whether that's a morning walk to coffee or dinner together. "Before the ADU, we'd visit mom on summer vacations or quick holiday trips, but now she's an everyday part of the family, and that means everything," Monique says. Karin agrees: "I've never been happier in all my life."



Gregg Segall (4)

HOUSEMATES BRIDGE THE GAP

Broomfield, Colorado

WHY: “My three adult children have homes of their own, and I didn’t want to live alone,” says Marina Lopez Del Carril. Downsizing didn’t appeal to her in the current seller’s market. “I would have had to find something small and overpriced, or moved somewhere much less desirable.” Social connection mattered too. “I thought, *What about sharing my space?*”

HOW: Online housemate-matching services like Silvernest, Furnished Finder and Travel Nurse Housing cater to boomers and make it easy to find people to share your home in the short term, which can also bring in extra income. Marina listed her finished basement apartment (with kitchenette, bath and separate entrance) on Silvernest for \$1,300 a month and had three interested parties the next morning, so she started interviewing.

WHOA: Safety was the top concern. Most share sites have integrated background check and identity verification tools, but Marina’s friends also advised her to install a kick-proof security door

between her kitchen and the basement (though she didn’t) and to be clear on her house rules, the highlights of which were “no smoking, no pets, no guns,” she says.

WOW: Marina expected to live with “a woman my age or older, I figured”—but she “really clicked” with a young guy who was relocating to town to be a school administrator, and Adam Saucedo moved in. What started as a month-to-month formal rental in July of last year has bloomed into unexpected friend-



ship and fun. The housemates sometimes cook or watch TV together, and Marina often hangs out with Adam and his friends. “Standing at my kitchen counter over jigsaw puzzle pieces at 11 p.m. with five young men, I just have to chuckle,” she says.

HOMEOWNER
Marina Lopez Del Carril, 58

NEW ARRIVAL
Housemate Adam Saucedo, 30

HOME GROWTH
Finding a basement tenant so Marina, a retired bilingual educator, would be comfortable and financially secure in her 2,800-square-foot, four-bedroom home

APPROXIMATE COST
Nominal, as the unit was tenant-ready



DOWNSTAIRS HOUSEMATE
The walk-out apartment ensures privacy for Marina and Adam.

GROWING YOUR HOME? Consider these options.*

ACCESSORY DWELLING UNIT (ADU) A separate living area on the same property, either attached or detached. (Many of

the conversions in this story, and the tiny home, may be considered ADUs.)

ADDITION The default choice for creating more living space when shy a basement or garage, whether it’s a room, a second floor or an entire wing.

ROOM SMARTS Split up a large room or repurpose an underutilized one, such as converting a dining room into a bedroom or in-law suite.

TINY HOME Usually prefabricated, these small houses offer most of the normal

amenities but are typically up to only 400 square feet.

Conversions GARAGE This frequently entails converting the entire garage or constructing a second-story living area while retaining the parking space below.

BASEMENT Best for more modern homes with walk-out basements. Ranges from adding a bedroom to creating a separate apartment.

ATTIC Unused attic space can be turned into an extra bedroom or family room. —Sheryl Jean

*Construction prices vary depending on location, ranging from a few thousand to hundreds of thousands of dollars.

Photo: iStockphoto.com/Robert J. Taylor

AARP HOUSING RESOURCES

The ABCs and More on ADUs

Everything you need to know about accessory dwelling units: what they are, how to get started, how to push ADU-friendly legislation and much more. aarp.org/adu

AARP

Livability Index

A tool that scores communities across the country on the services and amenities that affect life most. aarp.org/livabilityindex

AARP

HomeFit Guide

This free booklet features 100-plus ideas for updating your home so it's safer, more comfortable and suitable for decades to come. aarp.org/homefit



New Video Series: Going Tiny With AARP

See more of the Hollingsworth/Reinbold family in this AARP Studios YouTube series chronicling real-life stories of people 50-plus using tiny homes and other downsizing projects to live better lives.

• youtube.com/aarp



ONE BIG HAPPY Opal, standing, center, has been reveling in the close proximity to her family.

BIG MOVE, SMALL FOOTPRINT

Poway, California

WHY: When Opal Reinbold retired from her career as chief quality officer for a San Diego hospital, the last thing she imagined was living in a granny flat on her kid's property north of the city. But 10 years in, she started thinking longer range, asking herself, *If this is my third act, what am I gonna do with that?* Maggie Reinbold and Brad Hollingsworth wanted her mom near-

by, not just to bring the family closer: As conservation biologists, they saw benefits for the ecosystem and for the future. "We could show everybody that you can positively contribute to the housing crisis without putting in jeopardy native habitats," says Maggie.

HOW: Working with a local ADU specialist, the couple used some design tricks to make Opal's home feel not so tiny: vaulted ceilings, mini-



mal hallway space, loads of windows, standard-size appliances and room (inside and out) to entertain.

WHOA: Maggie and Brad's homeowners association had frowned on ADUs for making lots feel crowded and their potential impact on parking. But eventually they saw that "ADUs are innovative ways to increase housing and not decrease quality of life," says Maggie.

WOW: Opal is feeling completely reinvigorated. "I am just so excited about this next chapter in my life," she says. "I have my old life, but I also gained a new one."

| |
|--|
| HOMEOWNERS |
| Maggie Reinbold, 46, and Brad Hollingsworth, 58, along with daughters Phoebe, 8, and Wren, 11 |
| NEW ARRIVAL |
| Maggie's mom, Opal, 75 |
| HOME GROWTH |
| A 498-square-foot tiny home matching—to the roof tiles and stucco—the 2,140-square-foot main house |
| APPROXIMATE COST |
| \$250,000 |

From top: Matt Furnan; AARP Studios (2)

KEEPING PACE ON AGING IN PLACE

Atlanta, Georgia

WHY: Cary Childre, who's divorced, had been thinking her 3,000-square-foot house in the Atlanta suburbs was too big for her and her four tiny dogs. So in 2022, when her daughter became pregnant with her first child, "the conversation about building an ADU got real," she says. The sale of Cary's home helped fund the project.

HOW: Eva and Chuck Mauldin considered an addition to their home but then heard about a local architect who specializes in freestanding ADUs. "Ripping out walls and tacking on a mother-in-law suite just got too complex and expensive," says Eva. "It was simpler to build from scratch with experts who understand compact spaces." The one-bedroom ADU has high ceilings, a bright modern kitchen, a bathroom with easy-pull handles and clear entryways, and a studio for Cary's art projects. Eva and Chuck, who work in the hospitality industry, pay Cary to care for their daughter full-time. "Childcare is hugely undervalued, and



Mom deserves compensation for what she's doing," Eva explains.

WHOA: Eva and Chuck's 98-year-old American bungalow is in Atlanta's Grant Park historic district. They jumped through extra hoops for permitting, and the site's steep grade required costly support piers and a retaining wall. "We went \$70,000 over our initial budget," says Eva. (For more on ADU construction, see the July/August *AARP Bulletin*.)

WOW: It is win-win-win. Cary can age in place with no concerns about housing debt, Eva enjoys hanging out with her mom, and Cary's new granddaughter has her beloved grandma as her babysitter.

L.A.-based David Hochman is a contributing editor to the magazine and is our go-to writer for many home and housing features.

HOMEOWNERS

Eva, 34, and Chuck Mauldin, 38

NEW ARRIVAL

Eva's mom, Cary Childre, 67

HOME GROWTH

Building a stand-alone, 450-square-foot ADU behind Eva and Chuck's 1,500-square-foot, three-bedroom, two-bath house

APPROXIMATE COST

\$200,000

Nick Burchell (3)



COMPACT BUT SPACIOUS

A full-size bath and vaulted ceiling make for a "big"-feeling ADU.

AUGUST / SEPTEMBER 2023 59

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MEMORANDUM

Public Hearing A & Business A

From: Administrator/Staff

To: Plan Commission

Re: Plan Commission Public Hearing on a Re-Zoning Application submitted by Carow Land Surveying on behalf of John & Barbara Kulogo to re-zone approximately 3.2 acres +/- of Tax ID #006-0420 (3438/3442 County Rd II) adjacent to County Rd II from the A-2 (General Agriculture) District to the R-1 (Rural Residential) District.

AND

Plan Commission review & recommendation on a Re-Zoning Application submitted by Carow Land Surveying on behalf of John & Barbara Kulogo to re-zone approximately 3.2 acres +/- of Tax ID #006-0420 (3438/3442 County Rd II) adjacent to County Rd II from the A-2 (General Agriculture) District to the R-1 (Rural Residential) District.

Please see the below comments from Code Administrator Kussow:

Property Information Specific to Tax ID # 006-0420:

1. Specific Site Location: The subject property is the 3.2 acres +/- surrounding the existing residences/accessory buildings and adjacent to County Rd II on the property addressed 3438/3442 County Rd II.
2. Parcel Profile Report is enclosed with this memo for your reference. Additional applicable property information not included in the Parcel Profile Report is described below:
 - a. The subject property is currently located in the General Agriculture (A-2) District.
 - b. There are no navigable streams on the subject property.
 - c. The subject property is not subject to shoreland zoning, floodplain, or airport zoning.
 - d. There are no mapped wetlands per the Winnebago County Hydrologic Viewer.
 - e. The subject property is not located in a sewer service area or sanitary district.
 - f. The current 2016 Town Comprehensive Plan/Future Land Use Plan Map identifies the future land use category/designation of the subject property as "Agriculture/Rural Residential" with the "Working Lands" overlay.
 - g. The Plan Commission RECOMMENDED Future Land Use Map of the updated 2023 Comprehensive Plan identifies the future land use category/designation of the subject property as "Agriculture/Rural". This recommended Future Land Use Map has not yet been adopted by the Town.
3. Zoning of Surrounding Properties:
 - a. North: A-2 (General Agriculture) District
 - b. South: A-2 (General Agriculture) District; R-1 (Rural Residential) District to southwest
 - c. East: A-2 (General Agricultural) District

d. West: A-2 (General Agricultural) District

Application Details:

Carow Land Surveying on behalf of John & Barbara Kulogo to re-zone approximately 3.2 acres +/- of Tax ID #006-0420 (3438/3442 County Rd II) adjacent to County Rd II from A-2 (General Agriculture District) to R-1 (Rural Residential District), resulting in all of Lots 1 through 3 of the proposed Certified Survey Map (CSM) being in the R-1 District (see proposed CSM).

The purpose of the proposed rezoning is to allow for the proposed Certified Survey Map (CSM) reconfiguring PIN 006-0420 (3438/3442 County Rd II) and PIN 006-0420-01 (3464 County Rd II) into four (4) lots. PIN 006-0420-01 (3464 County Rd II) is already zoned R-1, which is part of the proposed Lot 1. The proposed Lots 1 through 3 of the CSM comply with dimensional requirements for the R-1 District.

Comprehensive Plan Considerations:

- The current 2016 Town Comprehensive Plan/Future Land Use Plan Map identifies the future land use category/designation of the subject property as “Agriculture/Rural Residential” with the “Working Lands” overlay.
 - “Rural Residential” Future Land Use Category Description:
 - *These are parcels that were of record when the Winnebago County Zoning Ordinance was adopted or are lots that have been or will be created through the use of a certified survey map without the dedication of new roads to create frontage for the lots.*
 - *It does not include farmsteads located on a parcel that is being used for agricultural purposes by the occupant of the farmstead but it does include a farmstead that has been separated from a larger parcel by CSM and is occupied by an individual who is not actively involved in agricultural operations on the larger parcel.*
 - *This type of residential development can be found scattered throughout the town.*
 - *This type of residential development will require an Agricultural/Rural Residential future land use designation and be located in one of the following zoning districts:*
 - A-1 Agribusiness (Conditional Use)
 - A-2 General Agriculture
 - R-1 Rural Residential
 - R-3 Two-Family Residential
 - “Working Lands” Future Land Use Category Description:

“The objective of the Town’s Working Lands Initiative is to protect and foster the Town’s agricultural heritage and agricultural industry... The lands designated “Working Lands” are included in the “Agricultural/Rural Residential” category on the Town of Clayton Future Land Use Map (Map 1) found within the Comprehensive Plan. The Working Lands overlay is comprised of land which was part of a detailed analysis which included specific criteria. The criteria were as follows:

 1. *Contiguous agricultural land west of an East/West Boundary Line (Primarily Center Road) were included in the Working Lands*

Analysis. Land east of this generalized boundary line is generally, but not exclusively, used for other uses.

2. *Includes cropped parcels >5 acres where 50% or more is being actively farmed (air photo interpretation).*
 3. *All parcels < 5 acres were excluded.*
 4. *Any parcels zoned other than A-1 or A-2 were excluded.*
 5. *Non-farm parcels (ex; wooded, wetlands, residential and other non-farm intensive type land uses) were excluded.*
 6. *Several minor adjustments for inclusion into the Working Lands designation were made for parcels based on parcel ownership and current operations (Active Farming). These additions have been documented.”*
- The Plan Commission RECOMMENDED Future Land Use Map of the updated 2023 Comprehensive Plan identifies the future land use category/designation of the subject property as “Agriculture/Rural”. This recommended Future Land Use Map has not yet been adopted by the Town.
 - “Agriculture/Rural” Future Land Use Category Description:
“The Agriculture/Rural district exists to continue the accommodation of the Town’s agricultural activities. These rural lands are used for a variety of crops and other agricultural purposes and are planned to continue throughout the life of the Plan with minimal changes in land use. In general, the Agriculture/Rural district shall:
 - *Accommodate existing and new forms of agriculture such as organic farms and farms that provide fresh produce to local stores, restaurants, and individuals, as well as hobby farms.*
 - *Allow for the production of renewable energy, per the Solar Energy System Overlay (see separate discussion and map).*
 - *Accommodate rural residential uses only within the limits of the Tiered Development System housing allocations, preferably on existing lots of record.”*
 - The subject property is in the “Tier 2” development tier per the RECOMMENDED 2023 Comprehensive Plan. The 2023 Comprehensive Plan allocates 10% of total future housing units to the “Tier 2” development tier. This rezoning and land division will not create future housing units since Lots 1 through 3 of the proposed Certified Survey Map already contain single-family residences.

It is staff’s opinion that the proposed rezoning from A-2 to R-1 is generally consistent with the current 2016 Comprehensive Plan and is substantially consistent with the recommended 2023 Comprehensive Plan.

Staff Comments, Basis of Decision, and Staff Recommendation, & Suggested Conditions:

Staff Comments:

It is staff’s opinion that:

1. The proposed rezoning from A-2 to R-1 is generally consistent with the current 2016 Comprehensive Plan and is substantially consistent with the recommended 2023 Comprehensive Plan; and
2. The proposed rezoning may be approved as proposed.

Basis of Decision:

The Plan Commission, in making its recommendation, and the Town Board, in making its decision, shall consider the following factors:

1. whether the amendment is consistent with the Town's comprehensive plan, including any future land use maps or similar maps;
2. the extent to which the lot and structures on the subject property conform to the dimensional standards that apply to the proposed zoning district; and
3. any other factor not specifically or generally listed, but deemed appropriate by the Plan Commission or Town Board of Supervisors given the particular circumstances.

Staff Recommendation:

Staff recommends approval of the Re-Zoning Application to re-zone approximately 3.2 acres +/- of Tax ID #006-0420 (3438/3442 County Rd II) adjacent to County Rd II from the A-2 (General Agriculture) District to the R-1 (Rural Residential) District, resulting in all of Lots 1 through 3 of the proposed Certified Survey Map (CSM) being in the R-1 District.

Suggested Motion:

*Motion and **ROLL CALL** to approve Resolution 2023-006 Recommending the Re-Zoning of Properties from the A-2 (General Agriculture District) to the R-1 (Rural Residential District) with all Staff Recommendations & Conditions.*

Respectfully Submitted,
Kelsey

TOWN OF CLAYTON
PLAN COMMISSION RESOLUTION # 2023-006
RE-ZONING OF APPROXIMATELY 3.2 ACRES +/- OF TAX ID #006-0420

The Plan Commission for the Town of Clayton has recommended [] Approval [] Denial of the following Rezoning:

Owner: John & Barbara Kulogo

Applicant: Carow Land Surveying

Location: 3438/3442 County Rd II, Neenah, WI 54956

Legal Description: Being a part of the Southwest ¼ of the Southeast ¼, Section 15, Township 20 North, Range 16 East, Town of Clayton, County of Winnebago, Wisconsin.

Parcel Number: The property is known as Tax ID # 006-0420

Explanation: Applicant is requesting a Zoning Change from A-2 (General Agriculture District) to the R-1 (Rural Residential District)

Town Findings:

1. The Town does have an adopted land use plan
2. The proposed zoning change does comply with the Town’s adopted Land Use Plan.
3. The proposed zoning change is consistent with the Town’s pending Future Land Use Plan.
4. The proposed zoning change is consistent with the existing land use pattern

Signed: _____
Dick Knapinski, Plan Commission Chair

Date:

Attest: _____
Kelly Wisnefske, Town Administrator

Date:

Town of Clayton
RE-ZONING APPLICATION

Item A.

Mail: 8348 County Road T – Larsen, WI 54947
Phone – 920-836-2007 Fax – 920-836-2026 Email – tocadmin@new.rr.com

Property Owner(s): John + Barbara Kulogo c/o Paula Lehrer
Address/Zip: 3438, 3442 + 3464 County Rd "I", Neenah, WI 54956
Phone: 920-858-8277 Fax: _____ E-Mail: megan.lone@experthomes.com

Applicant: Matt Reider - Carow Land Surveying
Check: Architect _____ Engineer _____ Surveyor Attorney _____ Agent _____ Owner _____
Address/City/Zip: 615 N. Lyndale Dr. Appleton, WI 54914
Phone: 920-731-4168 Fax: _____ E-Mail: matt@clse.pro

Describe the reason for the Re-Zoning: Creating Parcels for existing houses to be seperated from the ag land

Re-Zoning Specifics:
No. of Lots: 3 Total Acreage: 3.1952 Tax Key No.: 006-0420-01 006-0420 - Part of
Legal Description: Lots 1 + 2 + 3 of Proposed CSM Proj. # A2307.5
Current Zoning: R-1 + A-2

I certify that the attached drawings are to the best of my knowledge complete and drawn in accordance with all Town of Clayton codes.

Applicant Signature: M. A. R. Date: 8/14/2023

For Town Use Only

Fee (see Fee Schedule)

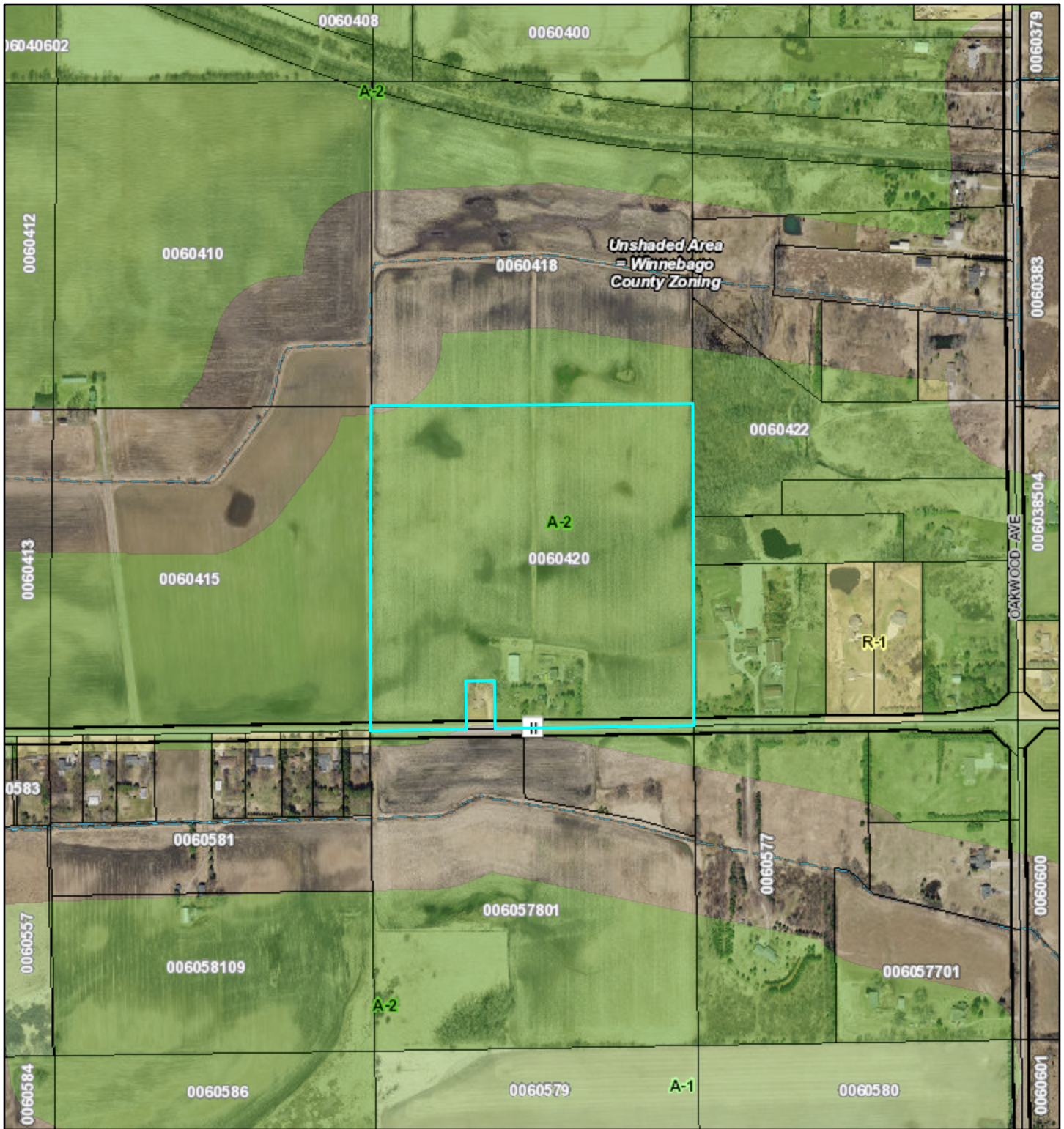
Fee: 8300 — Check # 21730 Receipt _____ Date 8/15/23
Date Received Complete _____ By _____ App. No. _____
Review Meetings – Plan Comm _____ Town Board _____
Newspaper Publication Dates _____ & _____ Posting Date _____
300' Neighborhood Notice Distribution _____
Re-Zoning is: Approved _____ Denied _____
Comments _____

Notes: 1. Please notify utility companies regarding your proposed development. 2. A Re-Zoning approval does not constitute approval of a building permit or any required approval of a highway connection permit. 3. A Re-Zoning Application & Fee must be submitted 20 working days prior to meeting.

A2307.5

Kulogo Rezoning App - Town Zoning Map

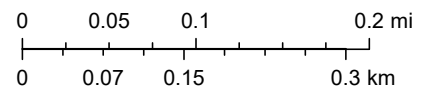
Item A.



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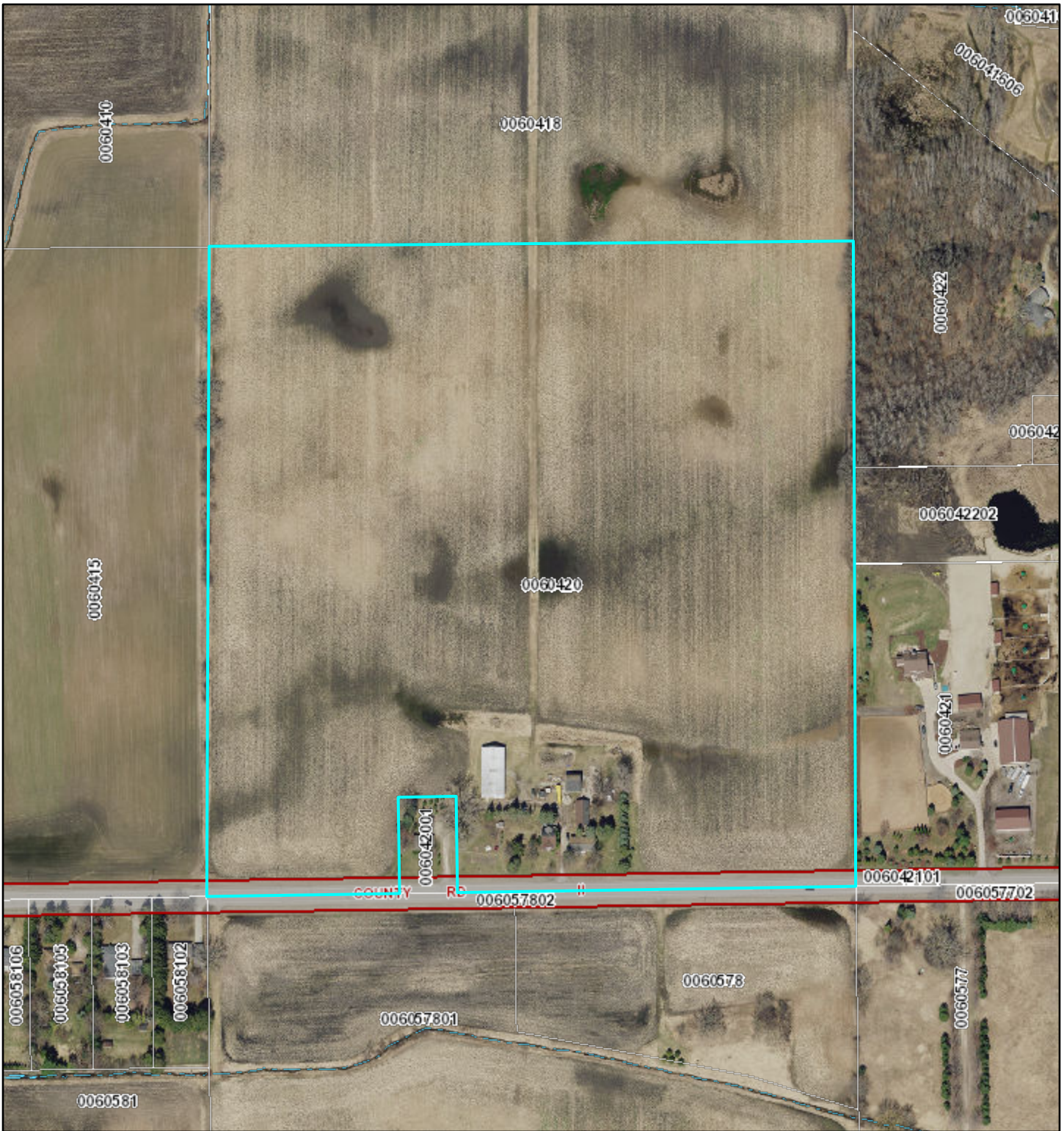
| District Code / Description | Color | District Code / Description | Color |
|-------------------------------|--------------|--------------------------------------|---------------|
| A-1 - Agribusiness | Light Green | R-8 - Manufactured Housing Community | Light Brown |
| A-2 - General Agriculture | Medium Green | PDD - Planned Development | Red |
| R-1 - Rural Residential | Yellow | B-1 - Local Service Business | Light Purple |
| R-2 - Suburban Residential | Light Yellow | B-2 - Community Business | Medium Purple |
| R-3 - Two-Family Residential | Orange | B-3 - General Business | Dark Purple |
| R-4 - Multifamily Residential | Dark Orange | P-I - Public Institutional | Cyan |
| | | I-1 - Light Industrial | Grey |



Winnebago County GIS, Imagery Date: April 2020











Kulogo Rezoning App - Aerial Map 1

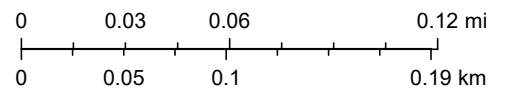
Item A.



9/5/2023, 4:55:00 PM

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- | | |
|---|--|
|  Adjacent Counties |  Navigable - Permanent (checked) |
|  Lakes, Ponds and Rivers |  Navigable - Intermittent (checked) |
| Navigable Waterways | |
|  Navigable - Permanent (unchecked) |  Tax Parcel Boundary |
|  Navigable - Intermittent (unchecked) |  Road ROW |
|  Navigable - Stream (unchecked) |  Municipal Boundary |



Winnebago County GIS, Imagery Date: April 2020

Kulogo Rezoning App - Aerial Map 2

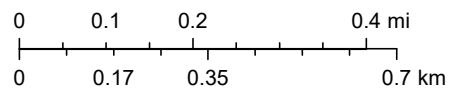
Item A.



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- | | |
|--------------------------------------|------------------------------------|
| Adjacent Counties | Navigable - Intermittent (checked) |
| Lakes, Ponds and Rivers | Navigable - Stream (checked) |
| Navigable Waterways | Tax Parcel Boundary |
| Navigable - Permanent (unchecked) | Local Road |
| Navigable - Intermittent (unchecked) | County Road |
| Navigable - Stream (unchecked) | State Road |
| Navigable - Permanent (checked) | US Highway |

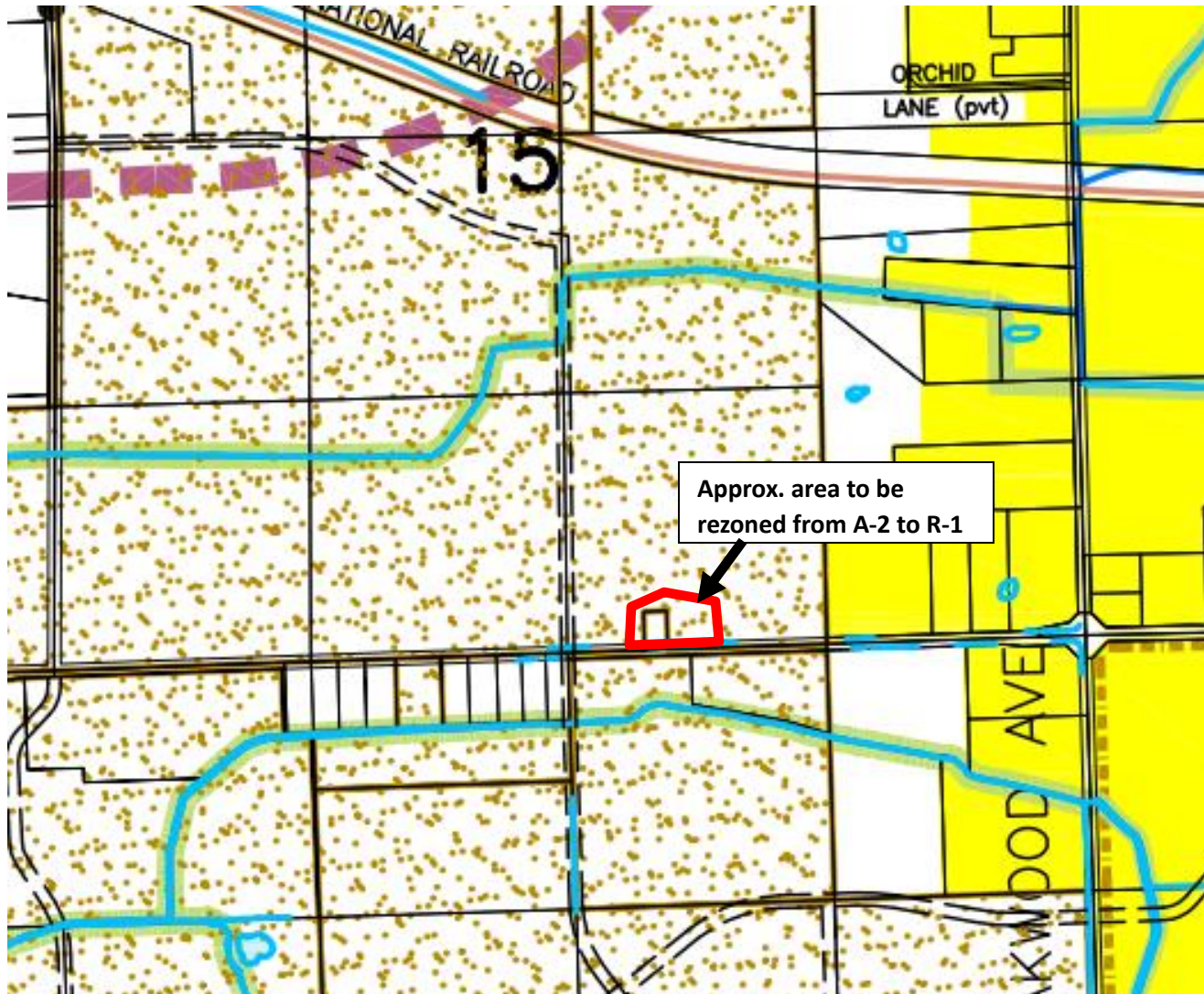


Winnebago County GIS, Imagery Date: April 2020

2016 Town of Clayton Comprehensive Plan/Future Land Use Map

Kulogo Re-Zoning Application (PIN 006-0420; 3438/3442 County Rd II) – General Agriculture (A-2) District to Rural Residential (R-1) District

Map 1



Town of Clayton

Future Land Use Plan

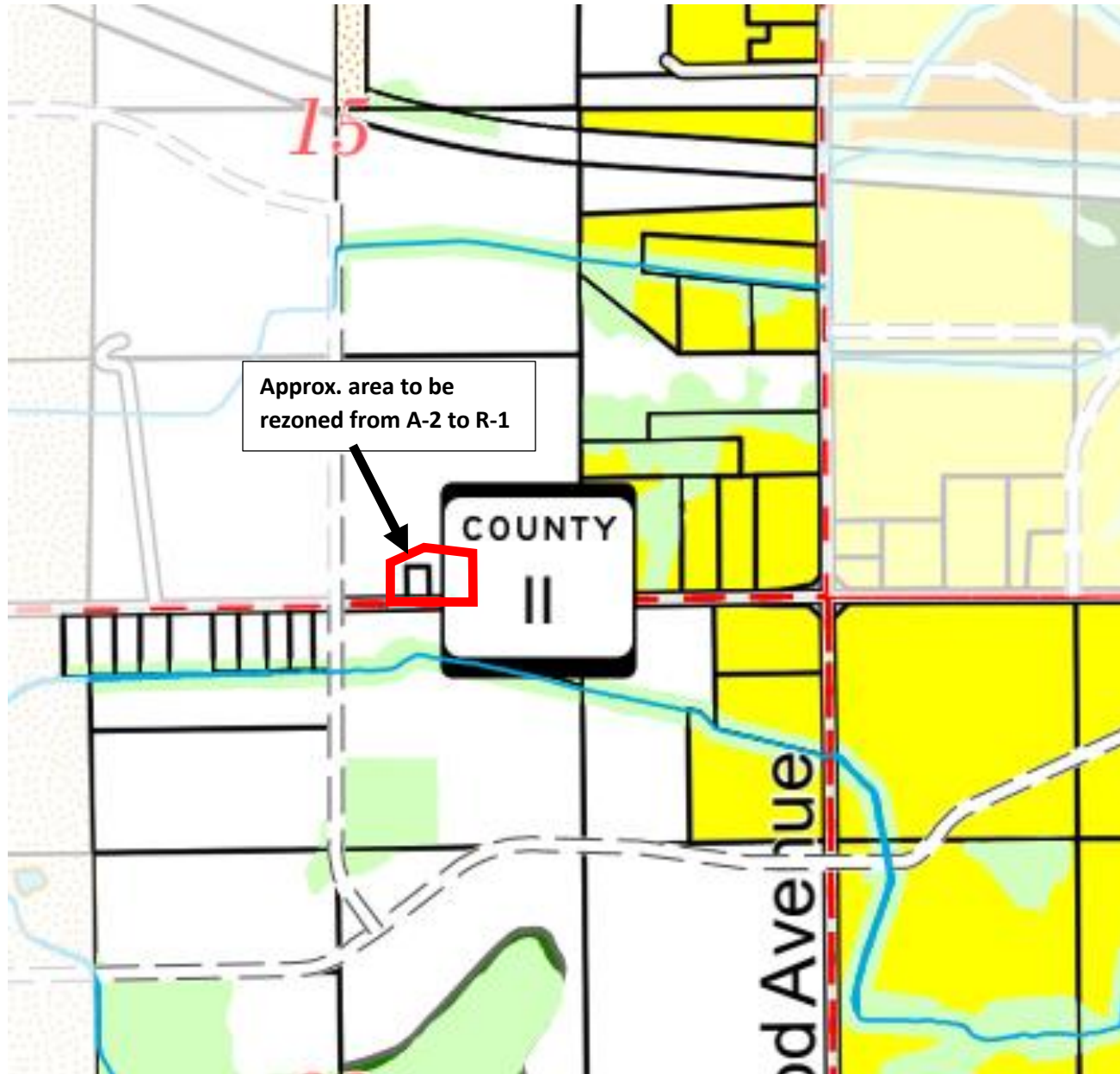


- Agriculture/Open Space
- Agriculture/Rural Residential
- Conservation & Greenspace
- Working Lands
- Residential - Single and Duplex
- Residential Planned Unit Development
- Multi-Family Residential
- Manufactured Housing Community
- Business
- Business Planned Unit Development
- Business / Light Industrial
- Business / Light Industrial / Planned Unit Development
- Non-Metallic Mining Sites
- Utilities and Public Facilities
- Recreation and Conservation
- Abandoned Landfill Site
- Open Water/Pool/Lakes
- Recreational Trails
- Future Roads
- Conservation/Drainage Way

2023 RECOMMENDED Town of Clayton Comprehensive Plan/Future Land Use Map

Kulogo Re-Zoning Application (PIN 006-0420; 3438/3442 County Rd II) – General Agriculture (A-2) District to Rural Residential (R-1) District

Map 11-1B



Town of Clayton Winnebago County Future Land Use (2040) Tier 2

- Agriculture/Rural
- Conservation/Greenspace
- DNR Property
- Working Lands
- Residential - Single and Duplex
- Medium and High Density Residential
- Neighborhood Center Mixed Use
- Business
- Business Park
- Gateway Commercial & Retail
- Light Industrial, Warehousing, and Distribution
- Utilities and Public Facilities
- Parks and Recreation
- Abandoned Landfill Site
- Open Water/Pond/Lake
- Non-Metallic Mining Sites
- Other Non-Metallic Mining Sites

- #### Other Features
- Cities, Towns, & Villages
 - Sections
 - Parcels
 - Airport Zoning
 - Town of Clayton Sanitary District #1
 - Roads
 - Future Roads
 - Recreation Trails
 - Navigable Waterways
 - Commercial Gateways

Community Infrastructure
 Architecture
 Environmental Services
 800-472-7172
 www.cedarcorp.com
 Green Bay • Menomonie • Madison • Cedarburg



This base map was created with data from Winnebago County Planning Department who assumes no liability for the accuracy of this data and any use or misuse of its content is the responsibility of the user. Changes were made by Cedar Corporation under the direction of the Town of Clayton

Map Created: November 30, 2022 - Updated: July 6, 2023

MEMORANDUM

Business Item B

From: Administrator/Staff

To: Plan Commission

Re: Plan Commission review & recommendation on a Certified Survey Map (CSM) submitted by Carow Land Surveying on behalf of John & Barbara Kulogo for approval of a CSM dividing Tax ID #006-0420 (3438 County Rd II) and part of Tax ID #006-0420-01 (3464 County Rd II) into three (2) lots.

Please see the below comments from Code Administrator Kussow:

After review of the attached revised 4-lot CSM dividing PIN 006-0420 (3438/3442 CTH II) and PIN 006-0420-01 (3464 CTH II) into 4 lots, I have the following comments (under the assumption rezoning will be approved for Lots 1, 2 & 3):

1. PIN 006-0420 (3438/3442 CTH II) is currently located in the General Agriculture (A-2) District.
2. PIN 006-0420-01 (3464 CTH II) is located in the Rural Residential (R-1) District.
3. Portions of PIN 006-0420 (i.e., part of Lot 1 & all of Lots 2 & 3 of the proposed CSM) are proposed to be rezoned to the Rural Residential (R-1) District to accommodate creation of Lots 1, 2 & 3, as proposed.
4. The existing use of the subject property is agricultural and residential.
5. There are no floodplain or wetlands mapped on the subject property.
6. A small portion of PIN 006-0420 in the northwest corner is located in the shorelands and Winnebago County's General Agriculture (A-2) District due to a navigable stream located northwest and within 300 ft. of the subject property.
7. The subject property is not located in Outagamie County Airport Zoning or an Airport Height Limitation Zone.
8. The subject property is not located in a Sewer Service Area or Sanitary District.
9. The applicable minimum lot requirements for the R-1 District (proposed for Lots 1, 2, & 3) are as follows:
 - a. Minimum Lot Size: 43,000 sq. ft.
 - b. Minimum Lot Width: 200 ft.
 - c. Minimum Road Frontage: 33 ft.
 - d. Side Yard Setback: 7 ft. on one side and 10 ft. on the other for a principal building; 3 ft. on each side for a detached accessory building.
 - e. Rear Yard Setback: 25 ft. for a principal building; 3 ft. for a detached accessory building.
 - f. Maximum Floor Area for Accessory Buildings: 1,500 sq. ft. plus 1 percent of the lot area in excess of 43,000 sq. ft.; 1 percent of lot area for buildings related to the "household livestock" land use.

Lots 1, 2 & 3 comply with the minimum lot requirements for the R-1 District.

10. The applicable minimum lot requirements for the A-2 District (proposed Lot 4) are as follows:
 - a. Minimum Lot Size: 5 acres
 - b. Minimum Lot Width: 200 ft.
 - c. Minimum Road Frontage: 200 ft.
 - d. Side Yard Setback: 15 ft.

e. Rear Yard Setback: 50 ft.

Lot 4 complies with the minimum lot requirements for the A-2 District.

It is my opinion that the CSM may be approved, subject to the following condition of approval:

- 1. Rezoning of Lots 1, 2 and 3 to the Rural Residential (R-1) District shall be approved by the Town Board and County Board prior to final approval and recording of the CSM.**

Suggested Motion:

Motion to recommend approval of the CSM dividing Tax ID #006-0565 with all listed Staff Recommendations & Conditions.

Respectfully Submitted,
Kelsey

Town of Clayton

CERTIFIED SURVEY MAP REVIEW APPLICATION

Mail: 8348 CTR "T" - Larsen, WI 54947
Phone - 920-836-2007 Fax - 920-836-2026
Email - administrator@townofclayton.net Web Page - www.townofclayton.net

Property Owner (s): John + Barbara Kulogo c/o Paula Lehrer
Address/Zip: 3438, 3442 + 3464 County Rd "II", Neenah, WI 54956
Phone: 920-858-827 Fax: _____ E-Mail: megan.lone@experthomes.com

Applicant: Matt Reider - Carow Land Surveying

Check: Architect ___ Engineer ___ Surveyor Attorney ___ Agent ___ Owner ___

Address/City/Zip: 615 N. Lyndale Dr. Appleton, WI 54914

Phone: 920-731-4166 Fax: _____ E-Mail: matt@clse.pro

Describe the reason for the Certified Survey Map: Reconfigure the lots so each house is separate from the ag land

Survey Specifics:

No. of Lots: _____ Total Acreage: _____ Tax Key No.: _____


Legal Description: The SW 1/4 of the SE 1/4 of Sec 15, T20N, R16E, Town of Clayton Zoning: A-2

Surveyor: Matt Reider Registration No.: 3245

Address/City/Zip: 615 N. Lyndale Dr. Appleton, WI 54914

Phone: 920-731-4168 Fax: _____ E-Mail: matt@clse.pro

I certify that the attached drawings are to the best of my knowledge complete and drawn in accordance with all Town of Clayton codes.

Applicant Signature:  Date: 8/14/2023

For Town Use Only (See Fee Schedule)

Review Fee: 350 - Map Deposit Fee*: 8250 - Check #: 21731 Date: 8/15/23

*Map Deposit fee is fully refundable if a recorded copy of the approved document is submitted to the Town within 90 days of the Town Board approval.

Received of: _____ Refund to: Carow Land Surveying

Date Rec'd Complete: _____ By: _____

Review Meetings - Plan Comm _____ Town Board _____

C.S.M. is: Approved _____ Approved with Condition _____ Denied _____

Recorded Document Submittal Deadline (90 days from TB Approval): _____

Notes: 1. Please notify utility companies regarding your proposed development. 2. CSM approval does not constitute approval of a building permit or any required approval of a highway connection permit. 3. CSM & Fee must be submitted 20 working days prior to meeting.

A2307.5

CERTIFIED SURVEY MAP NO. _____

BEING PART OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 15, TOWNSHIP 20 NORTH, RANGE 16 EAST, TOWN OF CLAYTON, WINNEBAGO COUNTY, WISCONSIN.

CENTER OF SECTION 15-20-16

LEGEND:

- = 1" X 18" I.D. ROUND IRON PIPE SET, WEIGHING 1.13 LBS. PER LIN. FT.
- ▲ = WOOD LATH SET
- ⊗ = 3/4" SOLID ROUND IRON REBAR FOUND
- △ = SPIKE FOUND
- = SURVEY MAG
- ⊙ = BERNTSEN MONUMENT

NORTH IS REFERENCED TO THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 15, TOWNSHIP 20 NORTH, RANGE 16 EAST, TOWN OF CLAYTON, WINNEBAGO COUNTY, WISCONSIN, WHICH BEARS S89°03'26"W PER THE WISCONSIN COUNTY COORDINATE SYSTEM (WINNEBAGO COUNTY)

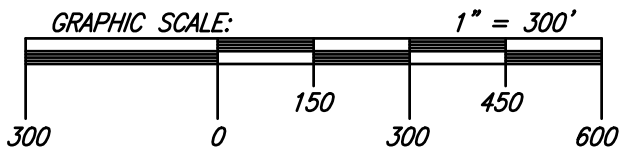
OWNER(S) OF RECORD:
BARBARA J. & JOHN E. KULOGO

TAX PARCEL NO.(S):
0060420 & 006042001

NOTE: THE LOTS CREATED IN THIS CERTIFIED SURVEY MAP ARE ADJACENT TO PROPERTY THAT, AS OF THE DATE OF THIS DOCUMENT, ARE BEING USED FOR AGRICULTURAL PURPOSES. SOME INDIVIDUALS BELIEVE THAT THE ACTIVITIES ASSOCIATED WITH THE AGRICULTURAL USE CONSTITUTE A NUISANCE OR CONFLICT WITH THEIR QUIET ENJOYMENT OF THEIR PROPERTY. THIS STATEMENT IS INTENDED TO PROVIDE THIRD PARTIES WITH NOTICE THAT AGRICULTURAL ACTIVITIES MAY EXIST ON THE ADJACENT PROPERTY.

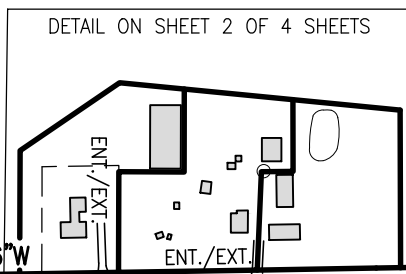
UNPLATTED LANDS
OWNERS: BARBARA J. & JOHN E. KULOGO

N89°27'14"E 1336.69'



LOT 4
1,600,120 SQ. FT.
[36.7337 ACRES]

DOCUMENT NO. 363856



LOT 1
CSM#5649

LOT 1
CSM#3467

LOT 1
CSM#3285

UNPLATTED LANDS
OWNER: BARBOCK FARMS, LLC
 1348.06'
 N00°12'53"E
 WEST LINE OF THE SOUTHEAST 1/4 OF SECTION 15-20-16
 UNPLATTED LANDS
OWNER: BARBOCK FARMS, LLC
 1315.06'
 1348.07'
 2696.13'
 SOUTH 1/4 CORNER OF SECTION 15-20-16
 33.01'

500'10'09"E
 1305.65'
 LANDSCAPING
 1338.65'
 COUNTY RD. "II" (66')
 1345.81'
 2691.62'
 SOUTHEAST CORNER OF SECTION 15-20-16

SOUTH 1/4 CORNER OF SECTION 15-20-16

S89°03'26"W 1345.81' SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 15-20-16

SOUTHEAST CORNER OF SECTION 15-20-16

CHRISTOPHER E. PERREAULT, PLS-2249 DATED
 CAROW LAND SURVEYING CO., INC.
 615 N. LYNNDAL DR., APPLETON, WI 54912
 N5841 STATE HIGHWAY 47-55, SHAWANO, WI 54166
 PHONE: (920)731-4168
 A2307.5 DATED: 08/10/2023 REVISED: 08-22-2023
 DRAFTED BY: cwm/an - AW (TJS)

SHEET 1 OF 4 SHEETS

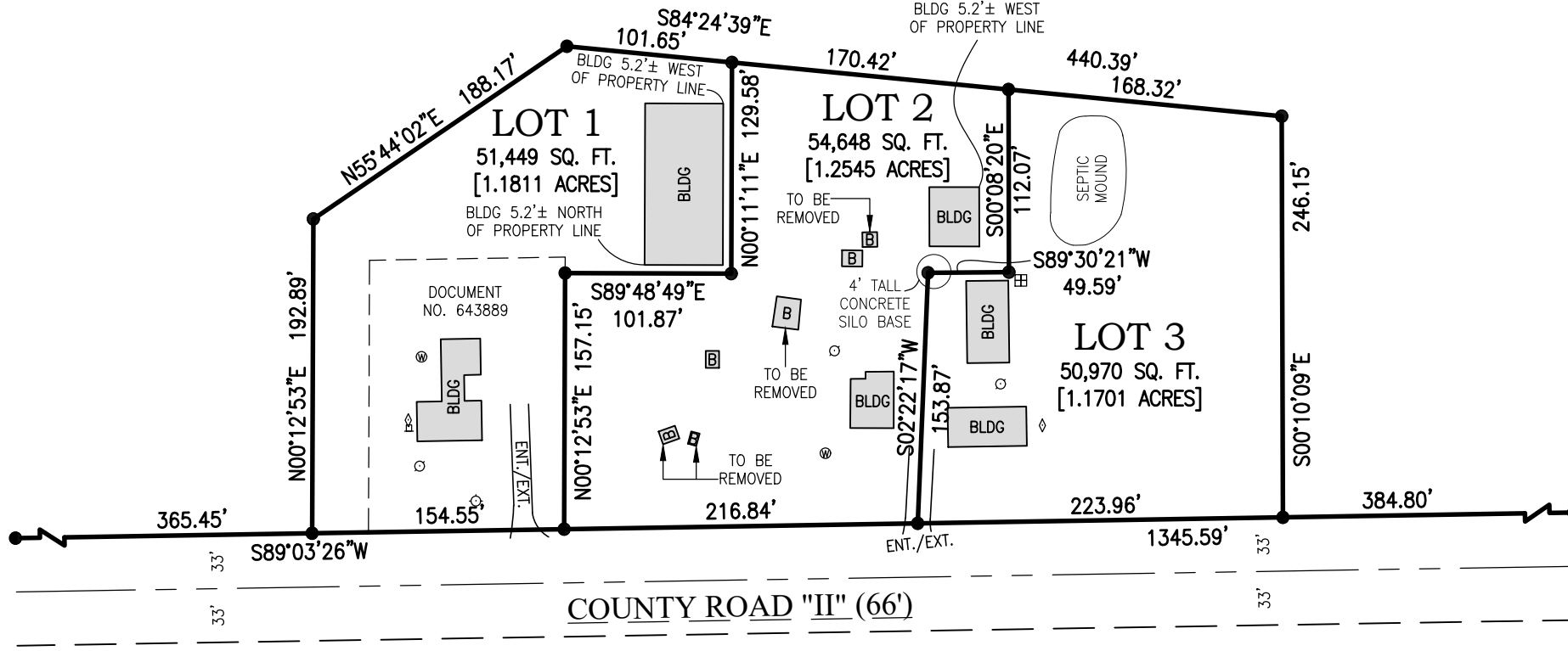
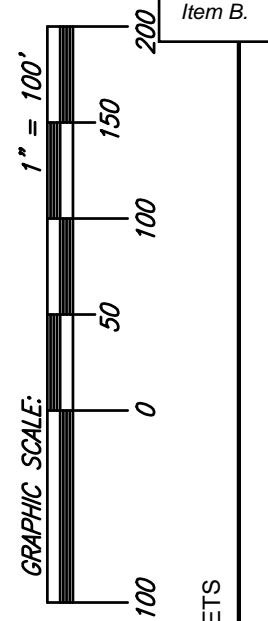
CERTIFIED SURVEY MAP NO. _____

BEING PART OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 15, TOWNSHIP 20 NORTH, RANGE 16 EAST, TOWN OF CLAYTON, WINNEBAGO COUNTY, WISCONSIN.

- LEGEND:**
- = 1" X 18" I.D. ROUND IRON PIPE SET, WEIGHING 1.13 LBS. PER LIN. FT.
 - Ⓜ = 3/4" SOLID ROUND IRON REBAR FOUND
 - ⊕ = WELL
 - Ⓜ = ELECTRIC METER
 - ◇ = GAS
 - ⊙ = SEPTIC COVER
 - = SEPTIC VENT
 - ⊞ = DRAIN LID

DOCUMENT NO. 363856

NORTH IS REFERENCED TO THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 15, TOWNSHIP 20 NORTH, RANGE 16 EAST, TOWN OF CLAYTON, WINNEBAGO COUNTY, WISCONSIN, WHICH BEARS S89°03'26"W PER THE WISCONSIN COUNTY COORDINATE SYSTEM (WINNEBAGO COUNTY)



CHRISTOPHER E. PERREAULT, PLS-2249 DATED
 CAROW LAND SURVEYING CO., INC.
 615 N. LYNNDALE DR., APPLETON, WI 54912
 N5841 STATE HIGHWAY 47-55, SHAWANO, WI 54166
 PHONE: (920)731-4168
 A2307.5 DATED: 08/10/2023 REVISED: 08-17-2023
 DRAFTED BY: cwm/an - AW (TJS)

SHEET 2 OF 4 SHEETS

CERTIFIED SURVEY MAP NO. _____

BEING PART OF THE SOUTHWEST ¼ OF THE SOUTHEAST ¼ OF SECTION 15, TOWNSHIP 20 NORTH, RANGE 16 EAST, TOWN OF CLAYTON, WINNEBAGO COUNTY, WISCONSIN.

TOWN BOARD CERTIFICATE:

WE HEREBY CERTIFY THAT THE TOWN OF CLAYTON BOARD OF SUPERVISORS APPROVED THIS CERTIFIED SURVEY MAP ON THE _____ DAY OF _____, 20__.

TOWN CHAIRPERSON

TOWN CLERK

OWNER’S CERTIFICATE:

AS OWNER (S), I (WE) HEREBY CERTIFY THAT I (WE) CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED AND MAPPED AS REPRESENTED HEREON. I (WE) ALSO CERTIFY THAT THIS MAP IS REQUIRED BY S.236.10 OR 236.12 OF THE WISCONSIN STATUTES TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL: TOWN OF CLAYTON AND WINNEBAGO COUNTY.

WITNESS THE HAND AND SEAL OF SAID OWNER (S) THIS _____ DAY OF _____, 20__.

JOHN E. KULOGO

BARBARA J. KULOGO

STATE OF WISCONSIN)
)SS
COUNTY OF _____)

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 20__, THE ABOVE NAMED PERSON (S) TO ME KNOWN TO BE THE PERSON (S) WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

CHRISTOPHER E. PERREAULT, PLS-2249 DATE
CAROW LAND SURVEYING & ENVIRONMENTAL
615 N. LYNNDALE DRIVE, APPLETON, WI, 54914
N5841 S.T.H. “47-55”, SHAWANO, WI 54166
PHONE: (920)731-4168
A2307.5 (CEP) 8/10/2023

AREA TO BE REZONED TO RURAL RESIDENTIAL (R-1)

BEING PART OF THE SOUTHWEST $\frac{1}{4}$ OF THE SOUTHEAST $\frac{1}{4}$ OF SECTION 15, TOWNSHIP 20 NORTH, RANGE 16 EAST, TOWN OF CLAYTON, WINNEBAGO COUNTY, WISCONSIN, MORE DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTH $\frac{1}{4}$ CORNER OF SECTION 15, TOWNSHIP 20 NORTH, RANGE 16 EAST; THENCE N89°03'26"E, 365.45' FEET ALONG THE SOUTH LINE OF THE SOUTHEAST $\frac{1}{4}$ OF SAID SECTION 15; THENCE N00°12'53"E, 33.01 FEET TO THE NORTH RIGHT OF WAY OF COUNTY ROAD "II" TO THE POINT OF BEGINNING; THENCE N00°12'53"E, 192.89 FEET; THENCE N55°44'02"E, 188.17 FEET; THENCE S84°24'39"E, 440.39 FEET; THENCE S00°10'09"E, 246.15 FEET TO THE SAID NORTH RIGHT OF WAY; THENCE S89°03'26"W, 595.35 FEET ALONG SAID RIGHT OF WAY TO THE POINT OF BEGINNING. PARCEL CONTAINS 157,067 SQUARE FEET / 3.6058 ACRES MORE OR LESS. PARCEL SUBJECT TO EASEMENTS AND RESTRICTIONS.











Kulogo CSM Aerial Map

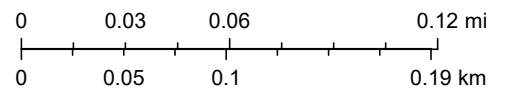
Item B.



9/6/2023, 9:49:28 AM

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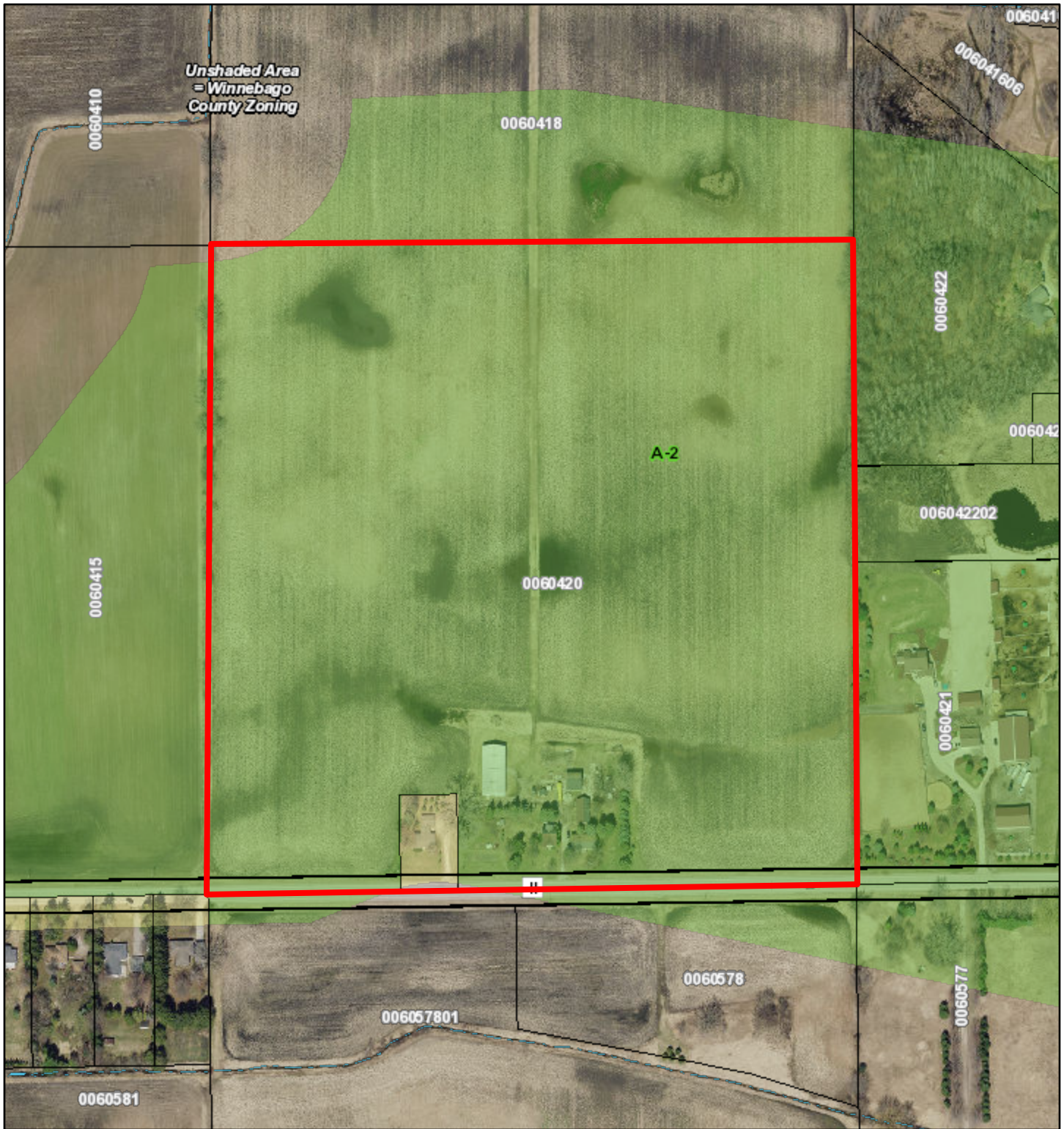
- | | |
|---|--|
|  Adjacent Counties |  Navigable - Permanent (checked) |
|  Lakes, Ponds and Rivers |  Navigable - Intermittent (checked) |
| Navigable Waterways | |
|  Navigable - Permanent (unchecked) |  Tax Parcel Boundary |
|  Navigable - Intermittent (unchecked) |  Road ROW |
|  Navigable - Stream (unchecked) |  Municipal Boundary |



Winnebago County GIS, Imagery Date: April 2020

Kulogo CSM Town Zoning Map

Item B.



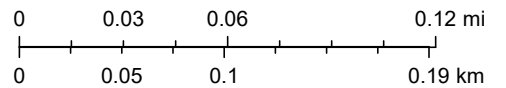
9/6/2023, 9:51:33 AM

1:3,506

District Code / Description

- A-1 - Agribusiness
- A-2 - General Agriculture
- R-1 - Rural Residential
- R-2 - Suburban Residential
- R-3 - Two-Family Residential
- R-4 - Multifamily Residential

- R-8 - Manufactured Housing Community
- PDD - Planned Development
- B-1 - Local Service Business
- B-2 - Community Business
- B-3 - General Business
- P-I - Public Institutional
- I-1 - Light Industrial



Winnebago County GIS, Imagery Date: April 2020

MEMORANDUM

Business Item C

From: Administrator/Staff
 To: Plan Commission
 Re: Plan Commission Public Hearing on a Site Plan Review Application submitted by RJ Albright, Inc., on behalf of Nikodem Revocable Trust for a 4,200 sq ft addition to the existing principal building and parking/pavement additions on Tax ID #006-1777-01 (2770 Towne Ct).

Please see the below comments from Code Administrator Kussow:

Property Information Specific to Tax ID # 006-0620-06:

1. Specific Site Location: The subject parcel is located at the east terminus of Towne Ct. on the property addressed 2770 Towne Ct.
2. Parcel Profile Report is enclosed with this memo for your reference. Additional applicable property information not included in the Parcel Profile Report is described below:
 - a. The subject parcel is located in the Heavy Industrial (I-2) District.
 - b. The subject parcel is located in the Personal Storage Facility/Unit (PSF) Overlay District.
 - c. There are no shoreland, floodplain, or wetland concerns/considerations for the subject parcel.
 - d. The subject parcel is not located in Outagamie County Airport Zoning or an Airport Height Limitation Zone.
 - e. The subject parcel will continue to be served by a private well and private holding tank (holding tank proposed to be relocated; well will remain in same location which is inside the proposed addition).
 - f. The "Highways 10 & 76 Corridor Land Use Master Plan" classifies this parcel as being in the "Light Industrial, Warehousing, and Distribution" land use district. This Master Plan was adopted as part of the Town Comprehensive Plan and serves as a more detailed future land use map for the Highways 10 and 76 corridor. This Master Plan Map is a supplement to and supersedes the Future Land Use Plan Map classifications.
 - g. The Plan Commission RECOMMENDED Future Land Use Map of the updated 2023 Comprehensive Plan identifies the future land use category/designation of this parcel as "Light Industrial, Warehousing, and Distribution". This recommended Future Land Use Map has not yet been adopted by the Town.
3. Zoning of Surrounding Properties:
 - a. North: I-2 (Heavy Industrial District) & Personal Storage Facility/Unit (PSF) Overlay District
 - b. South: I-2 (Heavy Industrial District) & Personal Storage Facility/Unit (PSF) Overlay District
 - c. East: I-2 (Heavy Industrial District) & Personal Storage Facility/Unit (PSF) Overlay District
 - d. West: I-2 (Heavy Industrial District) & Personal Storage Facility/Unit (PSF) Overlay District

Application Details:

The applicant is proposing to construct a 4,200 sq. ft. addition to the existing principal industrial/commercial building on the property addressed 2770 Towne Ct (PIN 006-1777-01). Parking and pavement area additions are also proposed. There are two (2) existing driveways

from the subject parcel to Towne Ct. The existing building is occupied by an electrical contractor which will also occupy the proposed addition.

Special Site Design Principles and Architectural Standards

The proposed conversion is subject to the special site design principles and architectural standards outlined in Division 8 of Article 8 of the Town Zoning Code of Ordinances. This section of the ordinance makes reference to the following attachments of the zoning code:

- Attachment B, Horizontal Site Design Standards
- Attachment C, Architectural Design Standards
- Attachment D, Architectural and Landscape Design Zones
- Attachment E, Landscape Design Standards
- Attachment F, Environmental and Energy Efficiency (E³) Guidelines

Per Attachment D, this property is located in the Tier 1 architectural and landscape design zone.

Horizontal Site Design Standards (Attachment B):

Driveways: No new driveways are proposed. The property is served by two (2) existing driveways to Towne Ct.

Vision Clearance Triangle:

Vision clearance triangles in compliance with Sec. A. (2) (b) 1) are shown on sheets C1.0 and C1.4 of the submitted site plan packet.

Stormwater and Erosion Control:

Stormwater management for the subject parcel is handled via the Winncrest Plat Storm Water Pond located adjacent to the east. Applicant shall obtain stormwater management and erosion control permits from Winnebago County, as applicable.

Private On-Site Wastewater Treatment Systems (POWTS):

Sanitary waste currently is and will continue to be handled via a private holding tank on-site. Holding tank is proposed to be relocated, as indicated on the submitted site plans, to accommodate the proposed addition.

Private Well Construction:

The property currently is and will continue to be served via an existing private well on-site.

Architectural Design Standards (Attachment C): The subject property is located in the Tier 1 architectural design zone per Attachment D, Architectural and Landscape Design Zones. The requirements of Attachment C are only applicable to the proposed addition.

Exterior Wall Materials:

The existing exterior walls of the existing building consist of light gray prefinished metal wall panels and gray decorative concrete block. The requirements of Attachment C are only applicable to the proposed addition and the proposed exterior wall materials of the proposed addition are the same as the existing building (i.e., light gray prefinished metal wall panels & gray decorative concrete block).

Sec. A. (2) (a) states:

- 1) Except as provided below, Acceptable Exterior Building Materials shall cover 75 percent or more of all exterior wall surfaces. Windows and doors, including overhead doors, shall not be included in the total wall surface area calculation.
- 2) In those areas deemed to be of limited exposure to the general public, percentages may be decreased so long as the intent of this provision is

maintained. Additional limitation to public view may be achieved by building location, orientation, additional landscaping or additional screening.

- 3) *For those uses that require the location of exposed overhead or coiling doors, and not allow for the aggregate percentages to be achieved, acceptable building materials may be decreased to accommodate their necessity for the building use, so long as the intent of this provision is maintained. The Town Board has the authority to approve additional landscaping, acceptable material in other areas, screening, environmental and energy efficiency provisions, a reduction in the number of doors and building location within the parcel to maintain the aesthetic value of the area and maintain the intent of this provision.*

“Acceptable exterior building materials” listed in Sec. A. (1) (d) include the following:

- Clay or masonry brick
- Natural or manufactured stone
- Decorative concrete masonry (sealed) with color consistent with design theme.
- Poured-in-place, tilt-up or precast architectural concrete (shall have stone, texture or coating appearance consistent with design theme)
- Glass curtain walls (Note: Glass windows and doors are not considered glass curtain walls)
- Other materials as approved by the Town Board

The proposed exterior materials do not comply with the requirements of Sec. A. (2) (a) since “acceptable exterior building materials” listed in Sec. A. (1) (d) do not cover 75% or more of the wall surfaces on the west, south and east sides of the proposed addition. The submitted plans identify “acceptable exterior building materials” (i.e., decorative concrete block) covering the proposed addition as follows:

- West/front: 20% +/-
- South/side: 6% +/-
- East/rear: 0%

The applicant is requesting a waiver to this requirement to allow for the exterior materials of the proposed addition to be the same as the existing building for a uniform look across the face of the building.

Roofing Materials:

The existing roofing material of the existing building consists of metal roof panels. The requirements of Attachment C are only applicable to the proposed addition and the proposed roofing material of the proposed addition is “galvalume” metal roof panel (same as the existing building’s roofing material). “Architectural metal roof panels” is listed as an acceptable roofing material per Sec. A. (1) (c).

Solar Reflective Index:

Per Sec. A. (1) (c) 2), roof materials shall have a Solar Reflective Index (SRI) of 78 or higher. **The applicant is requesting a waiver to this requirement** to allow for the same roof panel as the existing building “so it will nest and look the same”.

Existing Structures:

Sec. A. (5) states: “It is the intent to improve the architectural design of existing development governed by these standards.

- (a) *Principal buildings or structures that have been erected or constructed prior to the effective date of adoption of these provisions are allowed to make minor improvements to these structures.*
- (b) *These improvements must make significant efforts to conform to the intent of the architectural design standards.*

- (c) Any additional square footage added to these structures must be in full compliance to the architectural design standards.
- (d) Percentages of Acceptable Exterior Building Materials may be decreased to allow for consistency in architectural design with the existing structures.

The Town may approve the proposed exterior materials as proposed via this ordinance provision.

Loading Docks and Overhead Doors:

New overhead doors are proposed on the west and south sides of the proposed addition. The proposed overhead doors comply with and meet the purpose/intent of the requirements outlined in Sec. A. (9).

Sustainable Design:

Sec. A. (11) states: *“It is the intent of the Town of Clayton to encourage sustainable development and design. Sustainable design reduces dependency upon energy and impact on the environment while meeting development needs of the community. While certification to a specific environmental standard (e.g., LEED, Green Globe, Energy Star) is not required, the site plan review process will include review of a project’s adherence to Attachment F, Environmental and Energy Efficiency (E³) Guidelines, of this Chapter. Projects that aim to meet an established, specific environmental standard such as those named above are strongly encouraged.”*

Exceptions:

Sec. A. (14), states: *“Should a particular parcel present an undue hardship or needs arise to mitigate adjoining land use impacts, the Town Board may modify provisions of these regulations so long as the intent is protected and such modifications are not utilized in significant fashion as to warrant revision.”*

Landscape Design Standards (Attachment E): The subject property is located in the Tier 1 landscape design zone per Attachment D, Architectural and Landscape Design Zones. The requirements of Attachment E are only applicable to the proposed addition building and pavement additions. The applicant is proposing six (6) tall deciduous trees near/adjacent to the Towne Ct. cul-de-sac and north property line.

General Design Criteria:

Per Sec. B. (1):

- *“Development sites shall have no more than 70 percent impervious surface.”*
The proposed development only has 28% impervious surface area which substantially complies with this requirement.
- The minimum size of the proposed “tall deciduous trees” at the time of planting/establishment shall be 2 ½ inch caliper. **The Landscape Plan does not comply or does not identify compliance with the minimum size requirement(s). The Landscape Plan will need to be revised to comply with the minimum size requirement(s).**

Design Standards:

The only landscaping type required for the proposed addition per Attachment E is “Building and Grounds Landscaping”.

Grounds Landscaping:

Per Sec. C. (1) (d) 1):

- *A minimum of 20 landscape points consisting of deciduous and evergreen trees shall be provided on a prorated basis for every 4,500 square feet of impervious surface area.*
 - *Low deciduous trees shall not make up more than 50 percent (50%) of the total number of trees.*
 - *Evergreen trees shall make up at least 15 percent (15%) of the total number of trees.*

This development requires 46 landscape points consisting of trees. The Landscape Plan proposes 180 landscape points consisting of trees. **The Landscape Plan complies with the minimum landscape points requirement but does not comply with the evergreen trees requirement requiring evergreen trees to make up at least 15 percent (15%) of the total number of trees.**

- *A minimum of three (3) landscape points consisting of deciduous and/or evergreen shrubs shall be provided on a prorated basis for every 1,000 square feet of impervious surface area.*

This development requires 31 landscape points consisting of shrubs. The Landscape Plan does not propose any shrubs. **The Landscape Plan does not comply with this requirement.**

Building Landscaping:

Per Sec. C. (1) (d) 2), “75% of all building sides must be landscaped with a variety of appropriate plant materials in a wood mulch or stone landscaping bed which is a minimum of 6’ wide measured from building façade.”

The Landscape Plan does not propose any building landscaping. **The Landscape Plan does not comply with this requirement.**

Modifications of Standards:

Sec. F states: “The Town Board shall have the authority to waive or modify the requirements and standards of this section for good cause shown by the applicant. In lieu of any modification, a substitution of higher standards or inclusion of E3 components described in Attachment F can be required by the Town Board to offset any corresponding waiver or modification. Documentation of any modification shall be on file at the Town of Clayton and available for public review.”

Environmental and Energy Efficiency (E³) Guidelines (Attachment F): The E³ standard is strongly recommended, but not required. Per review of the application materials, the following E³ components are included in this development:

- Roof heat island. Solar Reflective Index (SRI) of roof materials will be required to be 29 or higher.
- Increase number of plants. The total landscape points for “grounds landscaping” exceeds minimum requirements.
- Storm sewer piping. Only hard piping of stormwater directly off-site is proposed to the existing Winncrest Plat Storm Water Pond.
- Minimize sprawl. Development is within 1/8 mile of existing multifamily and commercial developments.
- Light Pollution. Proposed lighting is further reduced beyond current ordinance requirements.
- Minimize impervious surfaces. Proposed impervious surface percentage is 28% which is well below the maximum 70% requirement.

Outside Storage of Equipment, Products and Materials (Sec. 9.08-208): No outdoor storage areas exist at this time and the applicant does not intend to create any outdoor storage areas.

Storage of Waste/Trash and Recyclables (Sec. 9.08-209): No outdoor refuse or recyclables storage area exists or is proposed. All garbage and recyclables are kept inside the building until pick-up day.

Exterior Lighting (Sec. 9.08-210): A Lighting Plan was submitted and is in compliance with code requirements.

Signs (Sec. 9.08-211): No new signage is proposed.

Comprehensive Plan Considerations:

- The “Highways 10 & 76 Corridor Land Use Master Plan” classifies this parcel as being in the “Light Industrial, Warehousing, and Distribution” land use district. This Master Plan was adopted as part of the Town Comprehensive Plan and serves as a more detailed future land use map for the Highways 10 and 76 corridor. This Master Plan Map is a supplement to and supersedes the Future Land Use Plan Map classifications.
 - “Light Industrial, Warehousing, and Distribution” Land Use District Description: *“This District is in several portions of the study area to recognize existing industrial uses within the Study Area, but also to target new industrial development projects and potentially new renewable energy generation facilities (i.e., solar) ... Envisioned uses for these districts include: light manufacturing, contractor offices/storage, warehousing, and distribution types of facilities.”*
- The Plan Commission RECOMMENDED Future Land Use Map of the updated 2023 Comprehensive Plan identifies the future land use category/designation of this parcel as “Light Industrial, Warehousing, and Distribution”. This recommended Future Land Use Map has not yet been adopted by the Town. The “Light Industrial, Warehousing, and Distribution” land use district description per the recommended/updated 2023 Comprehensive Plan is virtually the same as the Highways 10 & 76 Corridor Land Use Master Plan described above.

Although Comprehensive Plan consistency is not required for this application, the development is consistent with the Highways 10 & 76 Corridor Land Use Master Plan and recommended/updated 2023 Comprehensive Plan.

Staff Comments, Basis of Decision, & Suggested Conditions:

Staff Comments:

The Site Plan does not comply with the following Town Zoning Ordinance requirements:

1. Architectural Design Standards (Attachment C):
 - a. The proposed exterior building/wall materials do not comply with the minimum “Acceptable Exterior Building Materials” percentage requirement of Attachment C, Architectural Design Standards. Applicant is requesting a waiver to this requirement.
 - b. The proposed roofing materials do not comply with the minimum Solar Reflective Index (SRI) requirement of Attachment C. Applicant is requesting a waiver to this requirement.
2. Landscape Design Standards (Attachment E):
 - a. The Landscape Plan does not comply or does not identify compliance with the minimum size requirement(s) of Attachment E, Landscape Design Standards.
 - b. The proposed Landscape Plan does not comply with the Grounds Landscaping evergreen trees requirement and shrubs requirement of Attachment E.
 - c. The proposed Landscape Plan does not comply with the Building Landscaping requirement of Attachment E.

Basis of Decision:

The Town, in making its decision, shall consider the following factors:

1. Effects of the project on traffic safety and efficiency and pedestrian circulation, both on-site and off-site;
2. Effects of the project on the natural environment;
3. Effects of the project on surrounding properties, including but not limited to operational considerations relating to hours of operation and creation of potential nuisances such as noise, odor, fumes, dust, and light;
4. Compliance with the Special Site Design Principles and Architectural Standards described in Division 8 of Article 8;
5. Compliance with other applicable requirements contained in this Chapter; and
6. Any other factor that relate to the purposes of this Chapter as set forth in section 9.01-05 and other applicable sections.

Staff Recommendation & Suggested Conditions:

If the Town determines that the proposed exterior wall materials, roofing materials, and landscaping are acceptable, as proposed, it is staff's opinion that the Town may conditionally approve the site plan.

The following are possible conditions of approval that may be relevant to ensure compliance with ordinance requirements:

1. The project shall comply with all applicable local, state, and federal codes/ordinances.
2. The minimum planting size of landscaping materials at the time of planting/establishment shall be in compliance with Attachment E, Landscape Design Standards.
3. Any proposed signage shall comply with the applicable requirements of Article 12 and Attachment E of the Town Zoning Ordinance.
4. Any substantial changes and/or additions to the site plan and/or building plans shall be reviewed and approved by the Plan Commission and Town Board in accordance with the Town of Clayton Zoning Ordinance. Determination of whether a change or addition is substantial shall be at the discretion of the Town Administrator.

Suggested Motion:

Motion to recommend approval of the Site Plan Review Application submitted by RJ Albright on behalf of Nikodem Revocable Trust with all listed Staff Recommendations & Conditions.

Respectfully Submitted,
Kelsey



Site Plan Review Application
Town of Clayton

Mail: 8348 County Road T, Larsen, WI 54947
Phone: 920-836-2007 Fax: 920-836-2026
Email: administrator@townofclayton.net
Web Page: www.townofclayton.net

Contact Information

Property Owner: Nikodem Rev Trust
Company: RJ Albright, Inc.
Address: 5711 Green Valley Road
City/St/Zip: Oshkosh WI 54904
Phone/Fax: 920-231-8635 / 920-231-3759
Email: Steve@RJAlbright.com

Engineer/Architect: John Davel
Company: Davel Engineering & Environmental, Inc.
Address: 1164 Province Terrace
City/St/Zip: Menasha, WI 54952
Phone/Fax: 920-560-6563
Email: john@davel.pro

Property Information

Project Name: Winncrest Commercial Plat Lot 2 & 3
Site Address: 2770 Towne Ct, Neenah, WI Tax/Parcel ID: 006-177701
Site Zoning: 1-2
Surrounding Land Uses: North: 1-2 industrial
South: 1-2 vacant
East: A-2 vacant
West: 1-2 industrial

Proposed Use: Addition to existing industrial building

Proposed Zoning: 1-2
Lot Size: 2.19 Acres Structure Size: Exist. 6,000 s.f. Addition: 4,200 s.f.
Project Schedule: Summer of 2023

Submittal Fees and Requirements

See Application Checklist for Additional Information
Please make checks payable to the Town of Clayton

Fees \$950 ck 70021 7/10/23 5.150

- Fees are based on Actual Review Costs (See Fee Schedule) and will be determined prior to approval.
- Storm Water & Erosion Control fees are based on Winnebago County Zoning Department fee schedule.

Plan of Operation

- Letter describing the business

Site Plan, Architectural Plan, Utility Plan (if applicable), Landscaping Plan

- Meets the requirements of the Town's Zoning Code of Ordinances Article 7, Division 13
- Meets the requirements of the Town's Subdivision Ordinance
- Submit 1 Hard Copy w/application and email an 11 x 17 copy

Signatures

By the execution of this application, applicant hereby authorizes the Town of Clayton or its agents to enter upon the property during the hours of 7:00 AM to 7:00 PM daily for the purpose of inspection. Applicant grants the Town of Clayton or its agents even if applicant has posted this land against trespassing pursuant to Sec. 943.13 Wis. Stats.

Signature: [Handwritten Signature]

Date: 6/30/23

PROPOSED BUILDING ADDITION FOR: Marty Nikodem Towne Court Town of Clayton Neenah,

REVISIONS:



FISHER & ASSOCIATES, LLC
Architects / Planners
916 CEDARS STREET DE PERE, WI 54985
PH: (920) 592-3884
fisher@fisherandassociatesllc.com

PROJECT:
PROPOSED BUILDING ADDITION FOR
Marty Nikodem
Towne Court Town of Clayton
Neenah, WISCONSIN

DRAWN BY:
R.J.F.
CHK'D BY:
R.J.F.
JOB NUMBER:
17034
DATE:
6/30/17

TS

| ARCHITECTURAL / CIVIL | STRUCTURAL | PLUMBING | PROJECT INFORMATION | BUILDING CODE ANALYSIS |
|--|---|--|--|--|
| <p>TS TITLE SHEET</p> <p>G1.1 GENERAL INFORMATION</p> <p>C1.0 SITE PLAN</p> <p>C1.1 TOPOGRAPHIC SURVEY</p> <p>C1.2 DRAINAGE AND GRADING PLAN</p> <p>C1.3 EROSION AND SEDIMENT CONTROL PLAN</p> <p>C1.3 LANDSCAPE PLAN</p> <p>C2.1 CONSTRUCTION DETAILS</p> <p>A1.1 FLOOR PLAN</p> <p>A2.1 DOOR & ROOM FINISH SCHEDULES & INTERIOR ELEVATIONS</p> <p>A3.1 BUILDING ELEVATIONS</p> <p>A4.1 WALL SECTIONS</p> <p>A4.2 WALL SECTIONS</p> | <p>S1.0 GENERAL NOTES, DETAILS & SCHEDULES</p> <p>S1.1 FOUNDATION PLAN</p> <p>F1 OF 4 ANCHOR BOLT PLAN</p> <p>F2 OF 4 ANCHOR BOLT DETAILS</p> | <p>THIS IS A DESIGN BUILD PROJECT FOR PLUMBING. THE PLUMBING CONTRACTOR SHALL PROVIDE PLANS TO THE GENERAL CONTRACTOR & THE SUPERVISING PROFESSIONAL FOR REVIEW PRIOR TO THE PLANS BEING SUBMITTED TO WISCONSIN DEPARTMENT OF COMMERCE. THE PLUMBING CONTRACTOR SHALL MAINTAIN A SET OF DRAWINGS AT THE SITE TO RECORD ANY CHANGES TO THE DESIGN. THIS DRAWING OF RECORD & STATE APPROVED PLANS SHALL BE TURNED OVER TO THE PROJECT MANAGER AT THE END OF THE PROJECT.</p> <p>HVAC</p> <p>THIS IS A DESIGN BUILD PROJECT FOR HVAC. THE HVAC CONTRACTOR SHALL PROVIDE PLANS TO THE GENERAL CONTRACTOR & THE SUPERVISING PROFESSIONAL FOR REVIEW PRIOR TO THE PLANS BEING SUBMITTED TO WISCONSIN DEPARTMENT OF COMMERCE. THE HVAC CONTRACTOR SHALL MAINTAIN A SET OF DRAWINGS AT THE SITE TO RECORD ANY CHANGES TO THE DESIGN. THIS DRAWING OF RECORD & STATE APPROVED PLANS SHALL BE TURNED OVER TO THE PROJECT MANAGER AT THE END OF THE PROJECT.</p> <p>ELECTRICAL</p> <p>THIS IS A DESIGN BUILD PROJECT FOR ELECTRICAL. THE ELECTRICAL CONTRACTOR SHALL PROVIDE PLANS TO THE GENERAL CONTRACTOR & THE SUPERVISING PROFESSIONAL FOR REVIEW PRIOR TO THE PLANS BEING SUBMITTED TO WISCONSIN DEPARTMENT OF COMMERCE. THE ELECTRICAL CONTRACTOR SHALL MAINTAIN A SET OF DRAWINGS AT THE SITE TO RECORD ANY CHANGES TO THE DESIGN. THIS DRAWING OF RECORD & STATE APPROVED PLANS SHALL BE TURNED OVER TO THE PROJECT MANAGER AT THE END OF THE PROJECT.</p> | <p>PROJECT: WAREHOUSE</p> <p>ADDRESS: 2710 TOWNE COURT CLAYTON WI 54956</p> <p>USE: STORAGE S-1 NON-SEPARATED</p> <p>OWNER: MARTY NIKODEM 250 ALDER AVE. ONRO, WI 54963</p> <p>CONTACT: MARTY NIKODEM</p> <p>DESIGNERS OF RECORD:</p> <p>ARCHITECT: FISHER & ASSOCIATES ARCHITECTS / PLANNERS W13654 BALSAM LAKE RD. CRIVITZ, WI 54414 P.(920) 516-0001</p> <p>CONTACT: RICHARD J. FISHER AIA</p> <p>OCCUPANCY: STORAGE S-1 F-1 & B NON-SEPARATED TYPE OF CONSTRUCTION: IIB (METAL FRAMED UNPROTECTED) NON-SPRINKLERED</p> <p>OCCUPANT LOAD 20</p> <p>EGRESS WIDTH REQUIRED .27' OCCUPANT NON-SPRINKLERED</p> <p>150' X 2 = 28' REQUIRED</p> <p>EXIT ACCESS TRAVEL DISTANCE 250' PER TABLE 1004.2.4</p> <p>TOILET FACILITIES PER TABLE 2402.1 LESS THAN 15 OCC. EACH SPACE ALLOWS SINGLE UNISEX TOILET ROOM</p> <p>1 W.C., 1 LAV. PROVIDED EACH SPACE UP TO 50% OF TOILETS MAY BE URINALS 1 SERVICE SINK PROVIDED EACH SPACE</p> <p>GRADE PLAN DETERMINATION THE GREATEST HGT. FROM GRADE TO TOP OF WALL IS 22'-0" ALLOWABLE HEIGHT PER TABLE 503 IS 55'</p> <p>NUMBER OF STORIES (2) THIS BUILDING HAS TWO FLOOR LEVELS</p> | <p>AREA PER FLOOR</p> <p>EXISTING BUILDING AREA 6,050 S.F.</p> <p>PROPOSED BUILDING ADDITION 4,241 S.F.</p> <p>TOTAL 10,291 S.F.</p> <p>ALLOWABLE AREA PER FLOOR</p> <p>STORAGE S-1 17,500 PER TABLE 503 ONE STORY AND 40' IN HEIGHT</p> <p>FIRE FIGHTING APPARATUS</p> <p>THE BUILDING IS LIMITED IN AREA THE FIRELANE IS UNOBSTRUCTED</p> <p>THE FIRELANE IS WITHIN 150' OF ALL PARTS OF THE EXTERIOR WALL WITH A MIN. UNOBSTRUCTED HEIGHT OF 18'-6" THE BUILDING IS 20'-0" TALL</p> <p>CONTROL AREAS</p> <p>NO HAZARDOUS MATERIALS WILL BE STORED WITHIN THIS BUILDING PER TABLES 507.1(1) AND 507.1(2)</p> |

TABLE 502.1.2
BUILDING ENVELOPE REQUIREMENTS OPAQUE ELEMENT, MAXIMUM U-FACTORS

| CLIMATE ZONE | 1 | | 2 | | 3 | | 4 EXCEPT MARINE | | 5 AND MARINE 4 | | 6 | | 7 | | 8 | |
|--------------------------------|-----------|---------|-----------|---------|-----------|---------|-----------------|---------|----------------|---------|-----------|---------|-----------|---------|-----------|---------|
| | All other | Group R | All other | Group R | All other | Group R | All other | Group R | All other | Group R | All other | Group R | All other | Group R | All other | Group R |
| Roofs | | | | | | | | | | | | | | | | |
| Insulation entirely above deck | U-0.063 | U-0.048 | U-0.048 | U-0.048 | U-0.048 | U-0.048 | U-0.048 | U-0.048 | U-0.048 | U-0.048 | U-0.048 | U-0.048 | U-0.039 | U-0.039 | U-0.039 | U-0.039 |
| Metal buildings | U-0.065 | U-0.065 | U-0.055 | U-0.055 | U-0.055 | U-0.055 | U-0.055 | U-0.055 | U-0.055 | U-0.049 | U-0.049 | U-0.049 | U-0.049 | U-0.049 | U-0.035 | U-0.035 |
| Attic and other | U-0.034 | U-0.027 | U-0.027 | U-0.027 | U-0.027 | U-0.027 | U-0.027 | U-0.027 | U-0.027 | U-0.027 | U-0.027 | U-0.027 | U-0.027 | U-0.027 | U-0.027 | U-0.027 |
| Walls, Above Grade | | | | | | | | | | | | | | | | |
| Mass | U-0.58 | U-0.151 | U-0.151 | U-0.123 | U-0.123 | U-0.104 | U-0.104 | U-0.090 | U-0.090 | U-0.080 | U-0.080 | U-0.071 | U-0.071 | U-0.071 | U-0.071 | U-0.052 |
| Metal building | U-0.093 | U-0.093 | U-0.093 | U-0.093 | U-0.084 | U-0.084 | U-0.084 | U-0.069 | U-0.069 | U-0.069 | U-0.069 | U-0.057 | U-0.057 | U-0.057 | U-0.057 | U-0.057 |
| Metal framed | U-0.124 | U-0.124 | U-0.124 | U-0.064 | U-0.064 | U-0.064 | U-0.064 | U-0.064 | U-0.064 | U-0.064 | U-0.064 | U-0.057 | U-0.057 | U-0.057 | U-0.057 | U-0.037 |
| Wood framed and other | U-0.089 | U-0.089 | U-0.089 | U-0.089 | U-0.089 | U-0.089 | U-0.089 | U-0.064 | U-0.064 | U-0.064 | U-0.051 | U-0.051 | U-0.051 | U-0.051 | U-0.036 | U-0.036 |
| Walls, Below Grade | | | | | | | | | | | | | | | | |
| Below grade wall ^a | C-1.140 | C-1.140 | C-1.140 | C-1.140 | C-1.140 | C-1.140 | C-1.119 | C-1.119 | C-1.119 | C-1.119 | C-1.119 | C-1.119 | C-1.119 | C-1.119 | C-1.092 | C-1.075 |
| Floors | | | | | | | | | | | | | | | | |
| Mass | U-0.322 | U-0.322 | U-0.107 | U-0.087 | U-0.107 | U-0.087 | U-0.074 | U-0.074 | U-0.064 | U-0.064 | U-0.057 | U-0.057 | U-0.057 | U-0.057 | U-0.057 | U-0.051 |
| Joist/Framing | U-0.282 | U-0.282 | U-0.052 | U-0.052 | — | U-0.033 | U-0.033 | U-0.033 | U-0.033 | U-0.033 | U-0.033 | U-0.033 | U-0.033 | U-0.033 | U-0.033 | U-0.033 |
| Slab-on-Grade Floors | | | | | | | | | | | | | | | | |
| Unheated slabs | F-0.730 | F-0.730 | F-0.730 | F-0.730 | F-0.730 | F-0.730 | F-0.730 | F-0.540 | F-0.540 | F-0.540 | F-0.540 | F-0.520 | F-0.520 | F-0.520 | F-0.520 | F-0.510 |
| Heated slabs | F-1.020 | F-1.020 | F-1.020 | F-1.020 | F-1.020 | F-1.020 | F-0.900 | F-0.900 | F-0.860 | F-0.860 | F-0.860 | F-0.688 | F-0.688 | F-0.688 | F-0.688 | F-0.688 |

a. When heated slabs are placed below-grade, below grade walls must meet the F-factor requirements for perimeter insulation according to the heated slab-on-grade construction.

BUILDING ENVELOPE SYSTEMS

ENERGY CONSERVATION CODE REQUIREMENTS
THIS PROJECT WAS DESIGNED UNDER THE WISCONSIN BUILDING CODE BASED ON IBC 2015.
THE BUILDING ENVELOPE IS BASED ON THE PRESCRIPTIVE REQUIREMENTS OF TABLE 502.2.2 IECC 2009 AS ALLOWED BY THE STATE OF WISCONSIN.

ROOF METAL BUILDING ROOF FURLIN DRAPED ROOF INSULATION 2 LAYER SYSTEM R11 WITH THERMAL BLOCKS AND R 14 BELOW U-0.43 REQUIRED 044 OR LESS

WALLS METAL BUILDING WALL SYSTEM 6"RT FILL SYSTEM SINGLE LAYER INSUL. R25 IW THERMAL TAPE ON FACE OF GIRTS U-0.084 REQUIRED 064 OR LESS

FLOOR UNHEATED 6" CONCRETE R10 24" DEEP MIN PERIMETER F=54 REQUIRED 54 OR LESS

DOORS U-1.0 FOR SWING DOORS AND U-1.0 FOR SECTIONAL OVERHEAD DOORS

WINDOWS SEE TABLE 602.4 BELOW

TABLE 602.4
BUILDING ENVELOPE FENESTRATION MAXIMUM U-FACTOR AND SHGC REQUIREMENTS

| CLIMATE ZONE | 1 | | 2 | | 3 | | 4 EXCEPT MARINE | | 5 AND MARINE 4 | | 6 | | 7 | | 8 | |
|--------------------------|-----------|---------|-----------|---------|-----------|---------|-----------------|---------|----------------|---------|-----------|---------|-----------|---------|-----------|---------|
| | All other | Group R | All other | Group R | All other | Group R | All other | Group R | All other | Group R | All other | Group R | All other | Group R | All other | Group R |
| Vertical fenestration | | | | | | | | | | | | | | | | |
| F-factor | 0.30 | 0.30 | 0.46 | 0.38 | 0.38 | 0.36 | 0.39 | 0.39 | 0.35 | 0.35 | 0.35 | 0.35 | 0.35 | 0.35 | 0.35 | 0.35 |
| Operable fenestration | 0.65 | 0.65 | 0.60 | 0.45 | 0.45 | 0.43 | 0.37 | 0.37 | 0.35 | 0.35 | 0.35 | 0.35 | 0.35 | 0.35 | 0.35 | 0.35 |
| Minimum glass | 1.10 | 0.83 | 0.77 | 0.77 | 0.77 | 0.77 | 0.77 | 0.77 | 0.77 | 0.77 | 0.77 | 0.77 | 0.77 | 0.77 | 0.77 | 0.77 |
| SHGC | | | | | | | | | | | | | | | | |
| Orientation ^a | SEW | N | SEW | N | SEW | N | SEW | N | SEW | N | SEW | N | SEW | N | SEW | N |
| FF < 0.2 | 0.25 | 0.33 | 0.25 | 0.33 | 0.25 | 0.33 | 0.40 | 0.33 | 0.40 | 0.33 | 0.40 | 0.33 | 0.40 | 0.33 | 0.40 | 0.33 |
| 0.25 < FF < 0.5 | 0.30 | 0.37 | 0.30 | 0.37 | 0.30 | 0.37 | 0.48 | 0.38 | 0.48 | 0.38 | 0.48 | 0.38 | 0.48 | 0.38 | 0.48 | 0.38 |
| FF ≥ 0.5 | 0.40 | 0.40 | 0.40 | 0.40 | 0.40 | 0.40 | 0.64 | 0.54 | 0.64 | 0.54 | 0.64 | 0.54 | 0.64 | 0.54 | 0.64 | 0.54 |
| Daylight | | | | | | | | | | | | | | | | |
| U-factor | 0.75 | 0.65 | 0.55 | 0.55 | 0.50 | 0.50 | 0.50 | 0.50 | 0.50 | 0.50 | 0.50 | 0.50 | 0.50 | 0.50 | 0.50 | 0.50 |
| SHGC | 0.35 | 0.35 | 0.35 | 0.35 | 0.40 | 0.40 | 0.40 | 0.40 | 0.40 | 0.40 | 0.40 | 0.40 | 0.40 | 0.40 | 0.40 | 0.40 |

NR = No requirement, FF = Projection factor.
a. "N" indicates vertical fenestration oriented within 45 degrees of true north. "SEW" indicates orientation other than "N." For buildings in the southern hemisphere, reverse south and north. Buildings located in less than 21.2 degree latitude shall use SEW for all orientations.

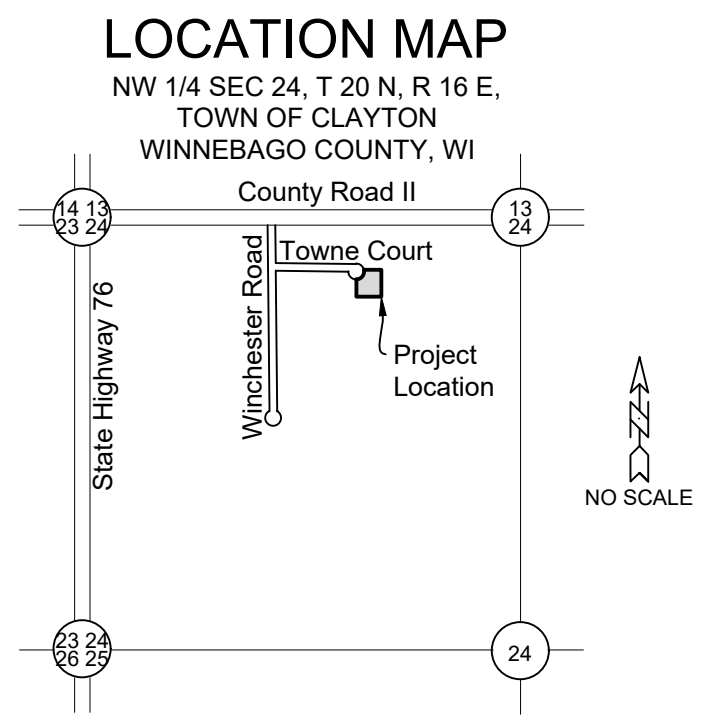
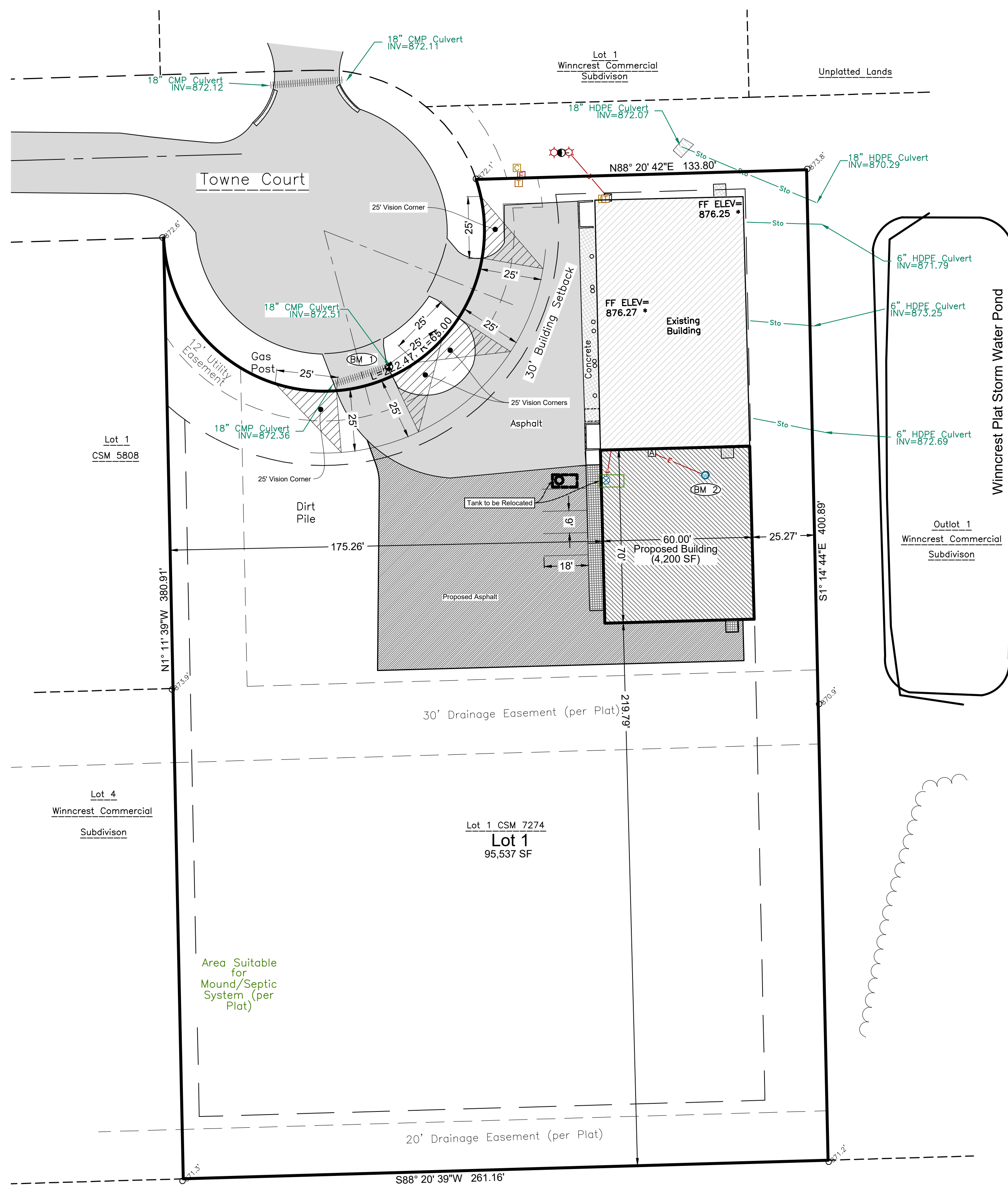


RELEASED FOR CONSTRUCTION
RELEASED FOR SITE PLAN APPROVAL

8/21/23
6/28/23

ARCHITECTURAL ABBREVIATIONS

| | | | | | | | | |
|---|---------|---------------------------------|---|----|---------------------------|---|---------|-----------------------|
| A | AB | ANCHOR BOLT | F | FI | FIRE ALARM | P | PA | PARTITION |
| | ACFLR | ACCESS FLOOR | | FI | FIRE BLANKET | | PB | PENCIL BOX |
| | ACOUS. | ACOUSTIC | | FI | FIRE DAMPER | | PBOS | PENICIL HARDWARE |
| | ADDA | AMERICANS WITH DISABILITIES ACT | | FI | FLOOR DRAIN | | PL | PLATE |
| | ADDL | ADDITIONAL | | FI | FIRE EXTINGUISHER | | PLAM. | PLASTIC LAMINATE |
| | ADJ. | ADJUSTABLE | | FI | FIRE EXTINGUISHER CABINET | | PLAS | PLASTER |
| | ADMIN. | ADMINISTRATION | | FI | FIRE HOSE CABINET | | PLUM. | PLUMBING |
| | AF | ABOVE FINISHED FLOOR | | FI | FINISH | | PMD. | PARTITION MIDDLE |
| | AL | AIR HANDLING UNIT | | FI | FLEXIBLE | | PNL | PANEL |
| | ALM. | ALUMINUM | | FI | FLASHING | | PRELIM. | PRELIMINARY |
| | AMEND. | AMENDMENT | | FI | FLANGE | | PRV | POWER ROOF VENTILATOR |
| | ANNUN. | ANNUNCIATOR | | FI | FLUORESCENT | | PT | PARTITION |
| | APPROX. | APPROXIMATE | | FI | FIREPROOF | | QT | QUARRY TILE |
| | ARCH. | ARCHITECTURAL | | FI | FLOOR MUTUAL | | R | RADIUS |
| | ATC | ACOUSTIC TILE CEILING | | FI | FRAMING | | RIG | RETURN-AIR RIG |
| | AUTO. | AUTOMATIC | | FI | FLOOR SINK | | RIR | REINFORCING ROD |
| | | | | FI | FOOTING | | RIS | REFRIGERATOR |
| | | | | FI | FOUNTAIN | | RIS | REFRIGERATING |
| | | | | FI | FUTURE | | RIS | REFRIGERATION |
| | | | | FI | | | RIS | REFRIGERATOR |
| | | | | FI | | | RIS | REFRIGERATING |
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DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 Civil Engineers and Land Surveyors
 1184 Province Terrace, Menasha, WI, 54952
 Ph: 920-991-1866 Fax: 920-441-0804
 www.davelpro

SITE PLAN

5215 Winncrest Commercial Plat Lot 2 & 3

Town of Clayton, Winnebago County, WI
 For: RJ Albright Inc.

NOTES:

Site Information
 Proposed Storage

Town of Clayton, Parcel # 0061777
 Zoning: I-2 Heavy Industrial District

Setbacks

Street: 30'
 Rear: 25'
 Sides: 7' on one side, 10' on the other

Existing Areas

| | |
|------------------------|-------------------------------|
| Building coverage | 6,000 SF |
| Parking and Drives | 10,443 SF |
| Lawn and Landscaping | 95,537 SF |
| Total Site Area | 95,537 SF (2.19 Acres) |

Proposed Areas

| | Existing | Change | Total |
|-------------------------|------------------|---------|--------|
| Building Coverage | 6,000 | 4,200 | 10,200 |
| Parking & Drives | 8,394 | 8,202 | 16,596 |
| Lawn & Landscaping | 81,143 | -12,402 | 68,741 |
| Total Site Area: | 95,537 SF | | |

Total Impervious 26,796 SF (28.0%)

Owner

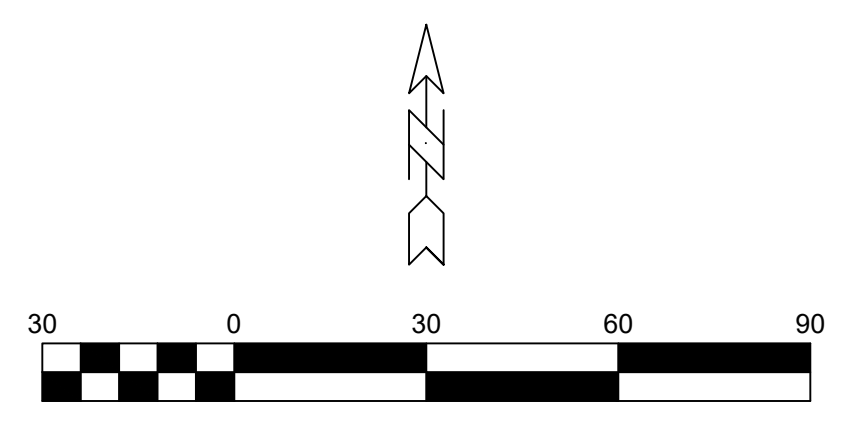
Nikodem Family Trust
 W 3614 Rock Rd
 Appleton, WI 54913

Contractor

R.J. Albright, Inc.
 5711 Green Valley Road
 Oshkosh, WI 54904

LEGEND

| | | |
|----------------------|----------------------------------|-------------------|
| Storm Sewer | Clean Out / Curb Stop / Pull Box | CATV Pedestal |
| Underground Electric | Water MH / Well | Gas Regulator |
| Trelline | Utility Meter | Post / Guard Post |
| Culvert | Light Pole / Signal | Flag Pole |
| Index Contour | Electric Pedestal | Benchmark |
| Intermediate Contour | Air Conditioner | Asphalt Pavement |
| | Telephone Pedestal | Concrete Pavement |
| | +799.9 Ex Spot Elevation | Gravel |

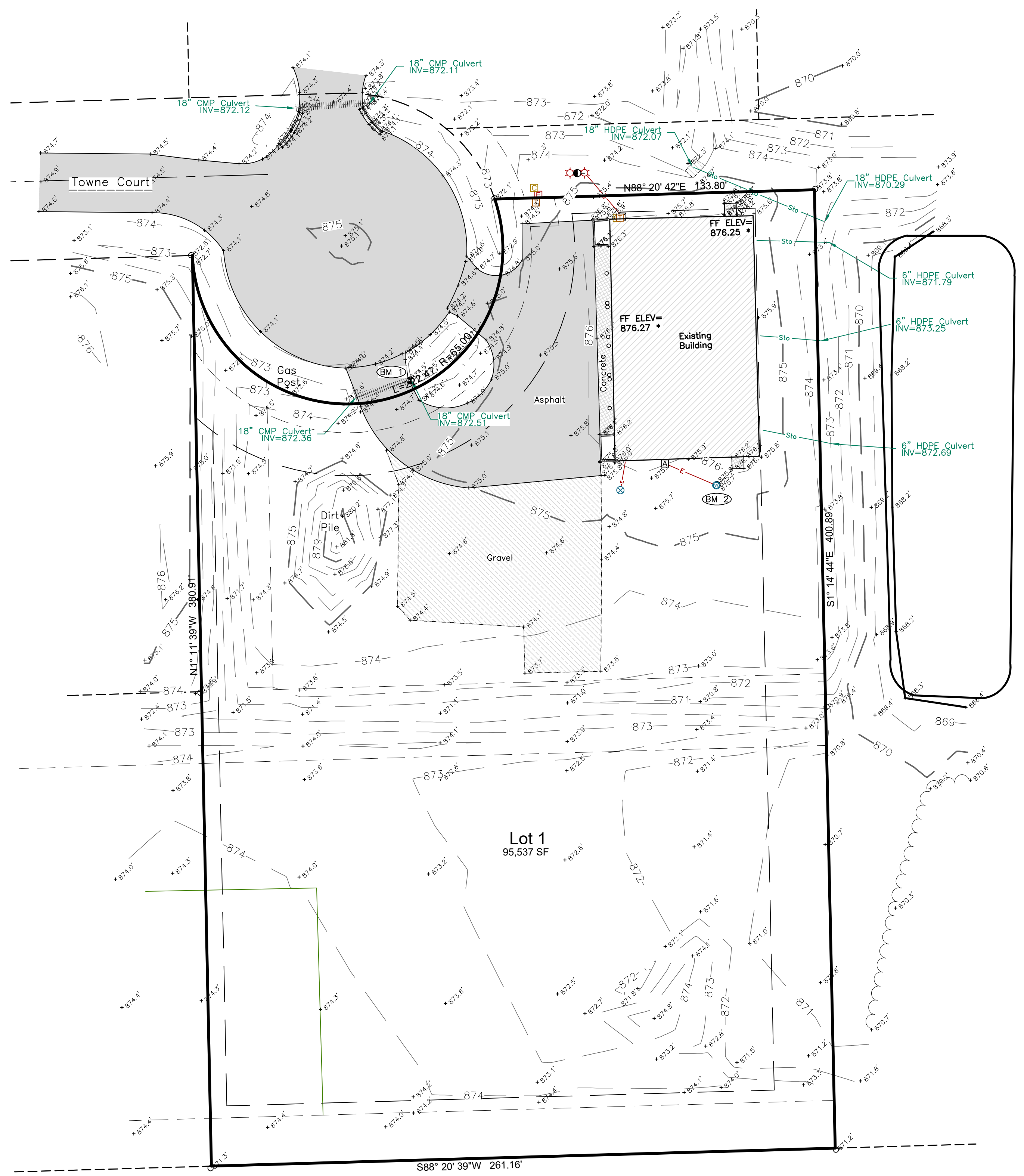
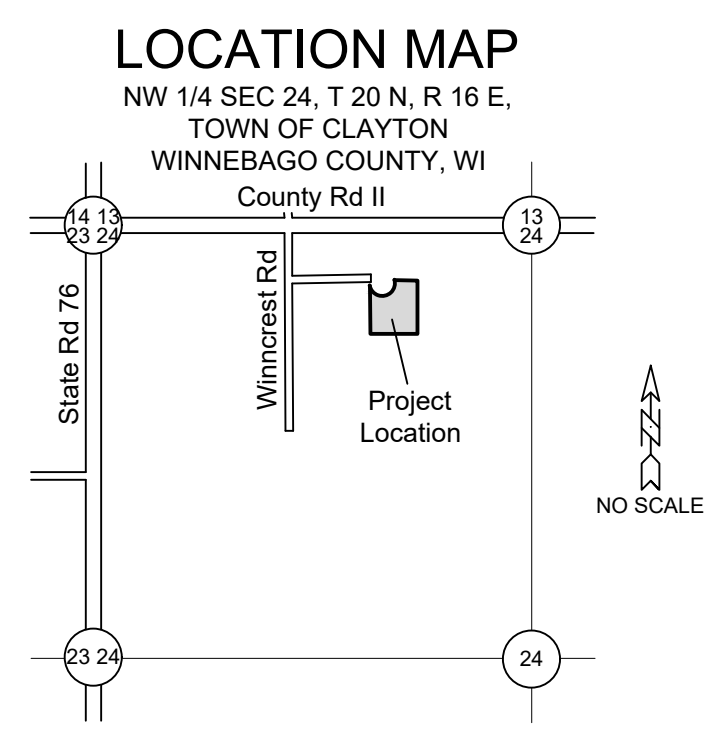


SHEET INDEX:

| Sheet | Page |
|------------------------------------|------|
| Site Plan | C1.0 |
| Topographic Survey | C1.1 |
| Drainage and Grading Plan | C1.2 |
| Erosion & Sediment Control Plan | C1.3 |
| Landscape Plan | C1.4 |
| Erosion & Sediment Control Details | C2.1 |

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General Notes:

- Zoning Information**
Town of Clayton:
I-2 Heavy Industrial District
Setbacks:
Front Yard: 30 Feet
Side Yard: 7 Feet & 10 Feet
Rear Yard: 25 Feet
Height: No Limitation

Caveat: Building zones depicted are based on building setbacks in effect at the time of the survey and should not be relied upon without first obtaining written verification thereof from the Town of Clayton and any other local agencies.
- Floodplain Information**
(Subject Site per FIRM Map No. 55139C0100E with an effective date of March 3, 2003)
Mapped as "Zone X": Area determined to be outside the 0.2% annual chance floodplain.
- Existing utilities shown are indicated in accordance with available records and field measurements. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer & water from the the property owners of the respective utilities. All utility the property owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
- This is not a boundary survey.

SURVEYOR'S CERTIFICATE

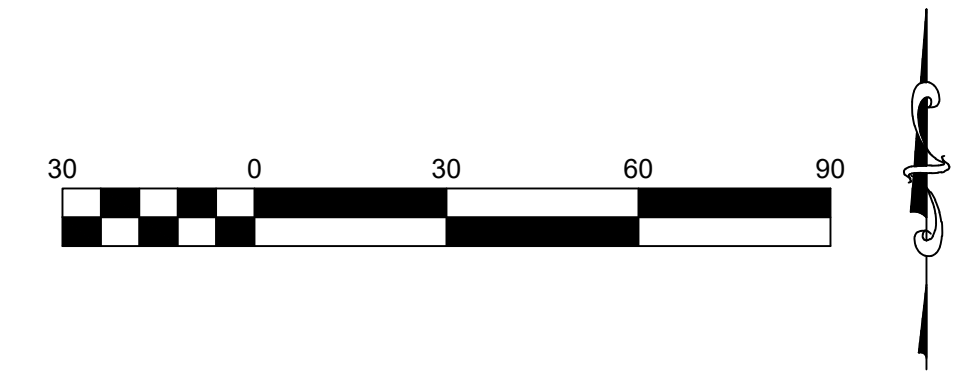
I, Scott R. Andersen, hereby certify that I have surveyed this property and this topographical map is a true representation thereof and shows the size and location of the property and the location of all apparent roadways. I hereby certify that said topographical survey and map were made in accordance with acceptable professional standards and that the information contained thereon is, to the best of my knowledge, information and belief, a true and accurate representation thereof.

BENCHMARKS (NAVD88 WI-Geoid 12A)

- BM 1 Top Center of Well
Adjacent to southeast corner of main building
Elev 877.54
- BM 2 Top of Culvert on east end of culvert at entrance to parking lot
±580' E of BM 1, N R/W Deerwood Ave
Elev 874.15

LEGEND

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|-----------|----------------------|---|----------------------------------|---|-------------------|
| —Sto—Sto— | Storm Sewer | ⊙ | Clean Out / Curb Stop / Pull Box | ⊠ | CATV Pedestal |
| —E—E—E— | Underground Electric | ⊙ | Water MH / Well | ⊠ | Gas Regulator |
| —T—T—T— | Treeline | ⊙ | Utility Meter | ⊠ | Post / Guard Post |
| —C—C—C— | Culvert | ⊙ | Light Pole / Signal | ⊠ | Flag Pole |
| —800— | Index Contour | ⊙ | Electric Pedestal | ⊠ | Benchmark |
| —799— | Intermediate Contour | ⊙ | Air Conditioner | ⊠ | Asphalt Pavement |
| | | ⊙ | Telephone Pedestal | ⊠ | Concrete Pavement |
| | | ⊙ | +799.9 Ex Spot Elevation | ⊠ | Gravel |



TOPOGRAPHIC SURVEY

5215 Winncrest Commerical Plat Lot 2 & 3
Town of Clayton, Winnebago County, WI
For: Rj Albright Inc.

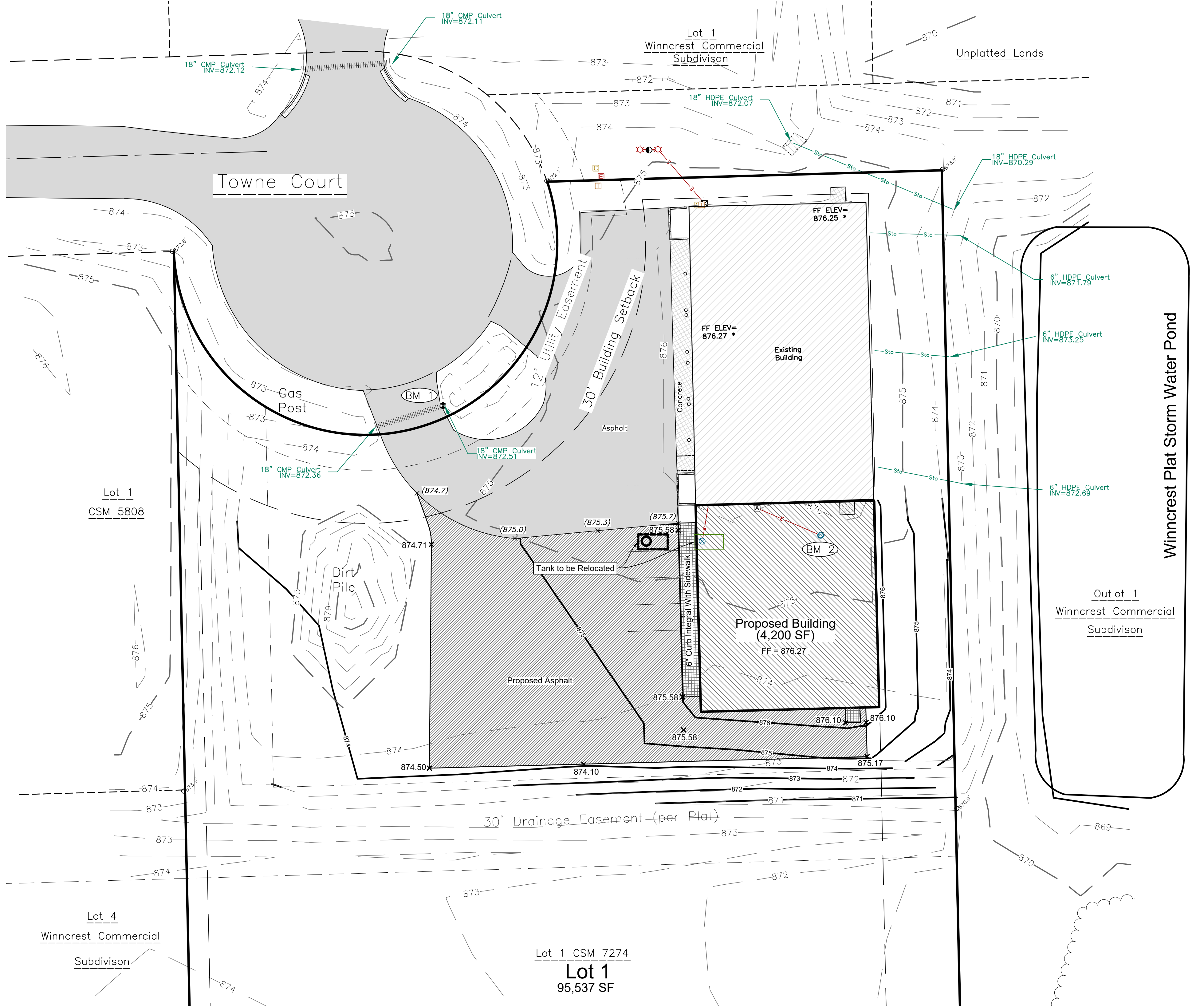
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DRAINAGE & GRADING PLAN

5215 Winncrest Commercial Plat Lot 2 & 3
 Town of Clayton, Winnebago County, WI
 For: RJ Albright Inc.

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NOTES:

- Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
- The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
- Vegetation beyond slopes shall remain.
- The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed areas shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
- Contractor shall remove all excess materials from the site. Earthwork contractors shall verify topsoil depth.
- All sediment and erosion control devices and methods shall be in accordance with the Wisconsin DNR Technical Standards.
- The contractor shall make weekly inspections and inspections within 1 day of any rainfall exceeding 0.5 inches of the sediment and erosion control devices throughout construction. The contractor shall repair or maintain erosion control devices as necessary. The inspection reports shall be made available to the owner at the end of the construction or upon demand during construction.
- The outside services are shown to stop at a point 5 feet outside the foundation wall. The Contractor shall be responsible for coordination of continuation of the services into the building to properly coincide with the interior plumbing plans, and compliance with all plumbing permits.
- Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanout locations.
- Updated survey and title search have not been authorized and the boundary and easements shown may be inaccurate or incomplete.

STORM WATER PLAN:

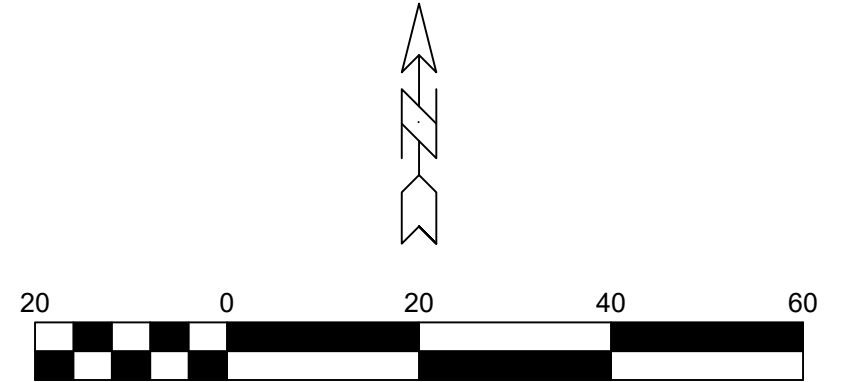
- This property is tributary to the Winncrest Plat Storm Water Pond located directly east. This pond provides both peak flow control and water quality treatment. The pond was designed for properties having a proposed runoff curve number (RCN) of 94. This project has an RCN of 80.7.

BENCHMARKS:

- Top of iron rod on north property corner on east end of cul de sac, Elev. = 872.10
- Top of iron rod on northwest property corner on cul de sac, Elev. = 872.66

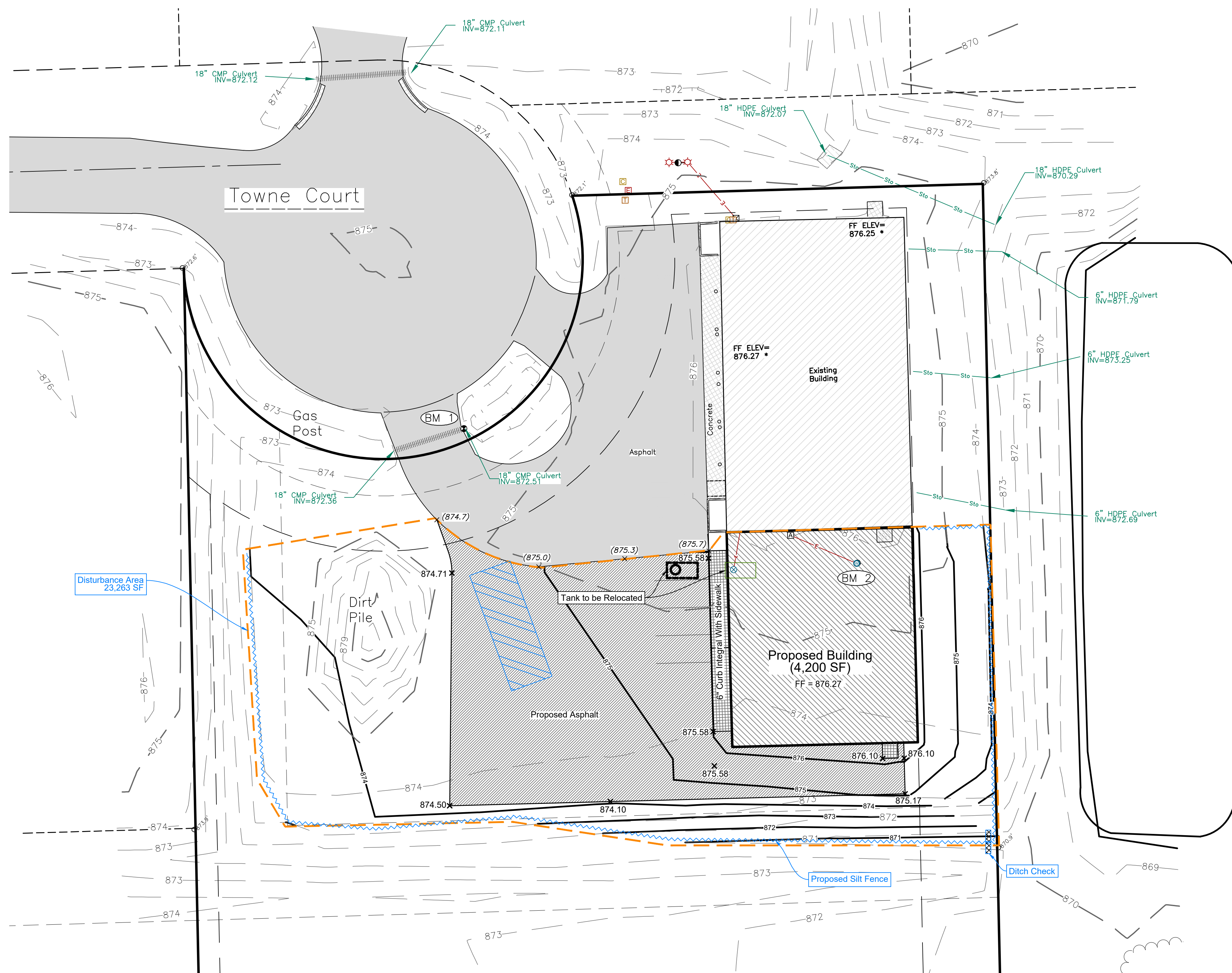
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| | Storm Sewer | | Clean Out / Curb Stop / Pull Box | | CATV Pedestal |
| | Underground Electric | | Water MH / Well | | Gas Regulator |
| | Treeline | | Utility Meter | | Post / Guard Post |
| | Culvert | | Light Pole / Signal | | Flag Pole |
| | Index Contour | | Electric Pedestal | | Benchmark |
| | Intermediate Contour | | Air Conditioner | | Asphalt Pavement |
| | Proposed Storm Sewer | | Telephone Pedestal | | Concrete Pavement |
| | Proposed Contour | | Ex Spot Elevation | | Gravel |
| | Proposed Swale | | Proposed Storm Manhole | | |
| | Proposed Culvert | | Proposed Curb Inlet | | |
| | Prop. Flowline Spot Elev. | | Prop. Catch Basin / Yard Drain | | |
| | Prop. Top of Walk Elev. | | Proposed Endwall | | |
| | Existing Grade | | Proposed Rip Rap | | |
| | | | Prop. Drainage Direction | | |
| | | | Prop. Finished Floor Elev. | | |



EROSION & SEDIMENT CONTROL PLAN

5215 Winncrest Commercial Plat Lot 2 & 3
 Town of Clayton, Winnebago County, WI
 For: RJ Albright Inc.



Lot 1
 95,537 SF

Notes:
 1. Soils are Kewaunee Silt Loam and Manawa Silty Clay Loam.



LEGEND

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| | Storm Sewer | | Clean Out / Curb Stop / Pull Box | | CATV Pedestal |
| | Underground Electric | | Water MH / Well | | Gas Regulator |
| | Trelline | | Utility Meter | | Post / Guard Post |
| | Culvert | | Light Pole / Signal | | Flag Pole |
| | 800 Intermediate Contour | | Electric Pedestal | | Benchmark |
| | 799 Intermediate Contour | | Air Conditioner | | Asphalt Pavement |
| | Proposed Storm Sewer | | Telephone Pedestal | | Concrete Pavement |
| | Proposed Contour | | Ex Spot Elevation | | Gravel |
| | Proposed Swale | | Proposed Storm Manhole | | Proposed Curb Inlet |
| | Proposed Culvert | | Prop. Catch Basin / Yard Drain | | Proposed Endwall |
| | Proposed Silt Fence | | Proposed Rip Rap | | Proposed Urban Type B Erosion Mat |
| | Prop. Drainage Direction | | Proposed Class I Type B Erosion Mat | | Proposed Class III Type B Erosion Mat |
| | Proposed Tracking Pad | | Proposed Inlet Protection | | Type of Inlet Protection |
| | Proposed Ditch Check | | | | |

Total site disturbance: 0.79 acres

Planned Sediment and Erosion Control Practices

All erosion control practices shall be in place prior to disturbing the site. All sediment and erosion control devices and methods shall be in accordance with DNR Technical Standards and the WisDOT Erosion Control product acceptability lists (PAL). It is the responsibility of the Contractor to minimize the area disturbed and the duration of the disturbance. Erosion control measures shall be maintained on a continuing basis until the site is permanently stabilized. Erosion controls must be in place at the end of each work day with all off-site sediments being cleaned daily or as necessary as no sediment flushing is allowed.

Onsite soils are generally silty clay loam being Manawa silty clay loam, Navan silt loam, and Kewaunee silt loam. The site discharges to the adjacent southwest property and is within the Lake Butte des Morts watershed.

- 1) Diverting Flow
 - a) Permanent Diversion - Intended to divert runoff around disturbed areas to a location where the water can be discharged without adversely impacting the receiving area or channel. Permanent diversions will be used to route runoff to the drainage swales and storm water pond.
 - b) Temporary Diversion - Intended to divert runoff around disturbed areas to a location where the water can be discharged with out adversely impacting the receiving area or channel. Unlike a permanent diversion, the temporary diversion will be removed upon the completion of the project. Temporary diversions will be used upslope of any soil piles to reduce the amount of sediment transported. There is a temporary diversion along the east property line to divert potential turbid construction site runoff to the proposed onsite storm water pond. **All diversions shall be installed and maintained in accordance with DNR Technical Standard 1066.**
- 2) Overland Flow
 - a) Silt Fence - Intended to provide a temporary barrier to the transportation of sediment offsite. Silt fence also reduces the velocity of sheet flow; thereby reducing the erosion potential of flowing water. Silt fencing is not to be used in areas of channelized flow and sediment deposits shall be removed when a 6 inch depth is reached. The silt fence shall be repaired or replaced as necessary to maintain a barrier. **All Silt Fence shall be installed and maintained in accordance with DNR Technical Standard 1056.** It will be placed at the following locations:
 - i) along the site boundary where runoff will leave the site;
 - b) Mulching and Erosion Mat - Intended to reduce the amount of erosion caused by raindrop impact, high overland and concentrated flow velocities and assist the establishment of both temporary and permanent vegetation. **All Erosion Mat shall be installed and maintained in accordance with DNR Technical Standards 1052 and 1053 and all Mulching with DNR Technical Standard 1058.** In addition to mulching, Erosion Mat will be used in the following areas:
 - i) on all permanent and temporary diversions;
 - ii) and on any areas with slopes greater than 4:1 or as specified on the plan.
 - c) Seeding - Intended to provide a reduction of overland flow velocities and stabilize disturbed areas. Seeding will be used on all disturbed areas within seven days of the completion of the activity that will disturb the area. **All seeding shall be in accordance with DNR Technical Standard 1059.** Seed mixture 40 (per WisDOT Specifications, Section 630) shall be applied at 5 pounds per 1000 square feet for permanent seeding prior to September 15th. If required, temporary seeding shall consist of Oats, Rye, Winter Wheat, and/or Annual Ryegrass applied at rates and during the season specified by the Technical Standard but no later than November 1st. Sod placement may occur at anytime sod is available and the sod and soil are not frozen.
- 3) Trapping Sediment in Channelized Flow
 - a) Ditch Checks - Intended to settle suspended sediment in channelized flow by reducing the flow velocity. **All Ditch Checks shall be installed and maintained in accordance with DNR Technical Standard 1062.** Ditch Checks will be used where indicated on the plan. Additional ditch checks may be required in areas where erosion is occurring.
- 4) Permanent Channel Stabilization
 - a) Armored Waterway - Intended to establish a non-erosive lining in the channel to prevent erosion. This can be accomplished using riprap. All areas immediately downstream of curb cuts will be stabilized using riprap. Additionally, the swale along the pavement edge will require riprap to prevent erosion of the slope.
 - b) Vegetated Waterway - Intended to establish permanent vegetation to reduce the velocity of concentrated runoff thereby protecting the waterway from erosion. Vegetated waterways will be used in the following areas:
 - i) drainage swales as indicated on the plans;
- 5) Stone Tracking Pad - Intended to reduce the amount of sediment transported onto public roads. **The Tracking Pad shall be installed and maintained in accordance with DNR Technical Standard 1057.** A tracking pad will be constructed at the site entrances as indicated on the plan.
- 6) Dust Control - Intended to reduce surface to air transport of dust during construction. **Dust control shall be implemented with use of methods provided in DNR Technical Standard 1068.** These methods include the use of polymers, seeding, and mulch.
- 7) Dewatering BMP - Intended to reduce the amount of sediment conveyed due to dewatering practices. **Dewatering practices require compliance with DNR Technical Standard 1061.** The use of geotextile bags is required to prevent sedimentation. The bags shall meet the requirements of Technical Standard 1061. Dewatering is not anticipated for this project.
- 8) Sediment Basin - The existing ponds will serve as a sediment basin during construction. The sediment basin is designed in accordance with DNR Technical Standard 1064 utilizing the post construction primary orifice and outlet with a temporary reduced primary orifice. Upon final stabilization of the site, the remaining sediment storage capacity of the ponds shall be verified with a 5-foot average depth. If inadequate sediment storage is available the accumulated sediment shall be removed and disposed of according to the Operation and Maintenance Plan.

Sequence of Construction

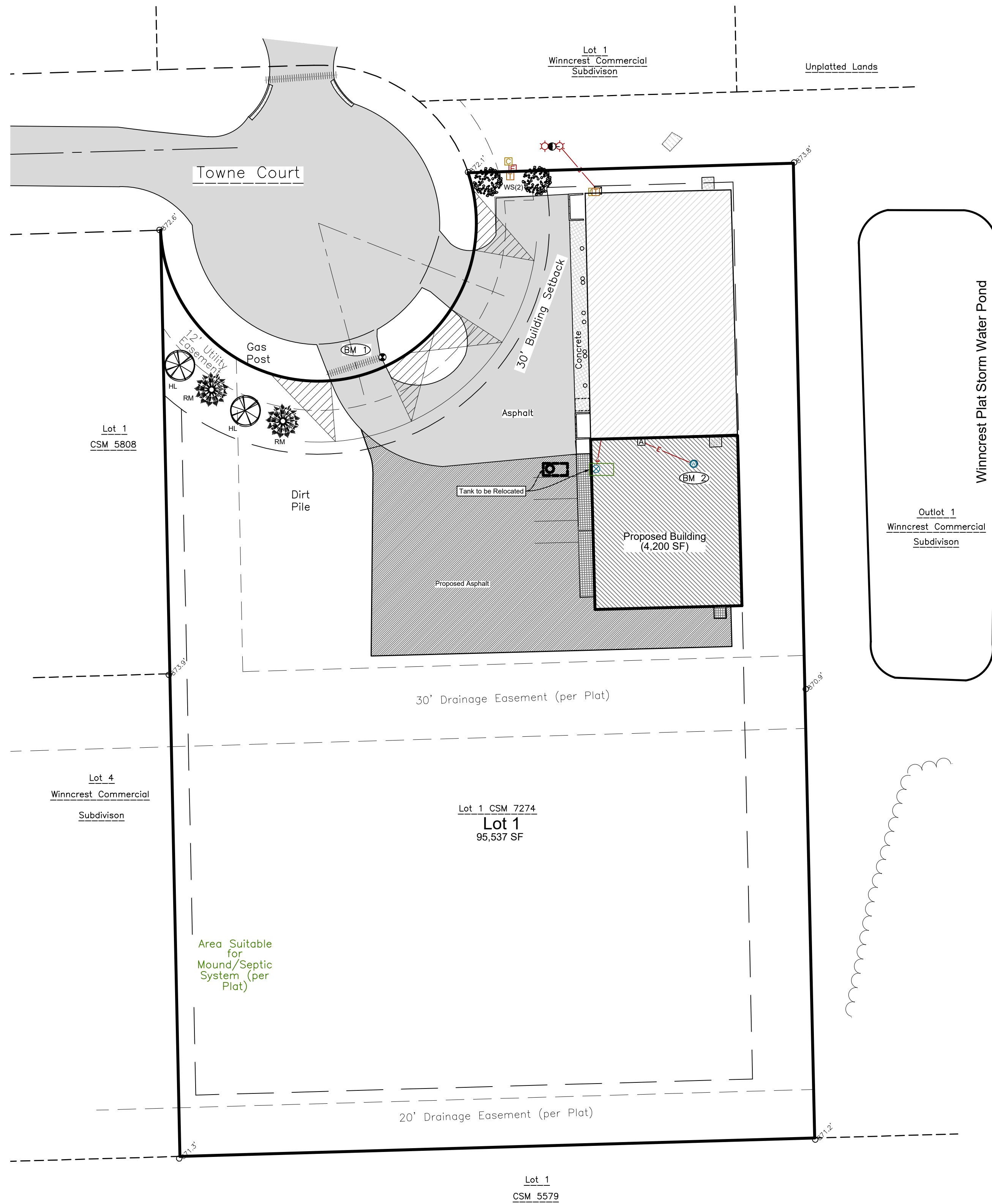
- Obtain plan approval and other applicable permits.
- 1) Install all erosion control measures. **August 2023.**
 - 2) Strip topsoil prior to filling activities, haul away excess. Stabilize topsoil in accordance with the appropriate WDNR Technical Standard. Temporary seeding is required on all disturbed soils if conditions allow. **August 2023.**
 - 3) Site grading. **August 2023.**
 - 4) Construct buildings, driveways and parking areas upon completion of pond construction. Field inspect and add additional measures if necessary. **August 2023**
 - 5) Stabilize lawn and ditch areas no later than one week after final grade is established. **November 2023**
 - 6) Watering may be necessary to establish healthy and well rooted vegetation. Temporary measures may only be removed once final site stabilization has occurred.
- Note: The dates provided are approximate for construction and subject to weather conditions and overall project schedule. Several work items as listed above may occur simultaneously with others.

Maintenance Plan

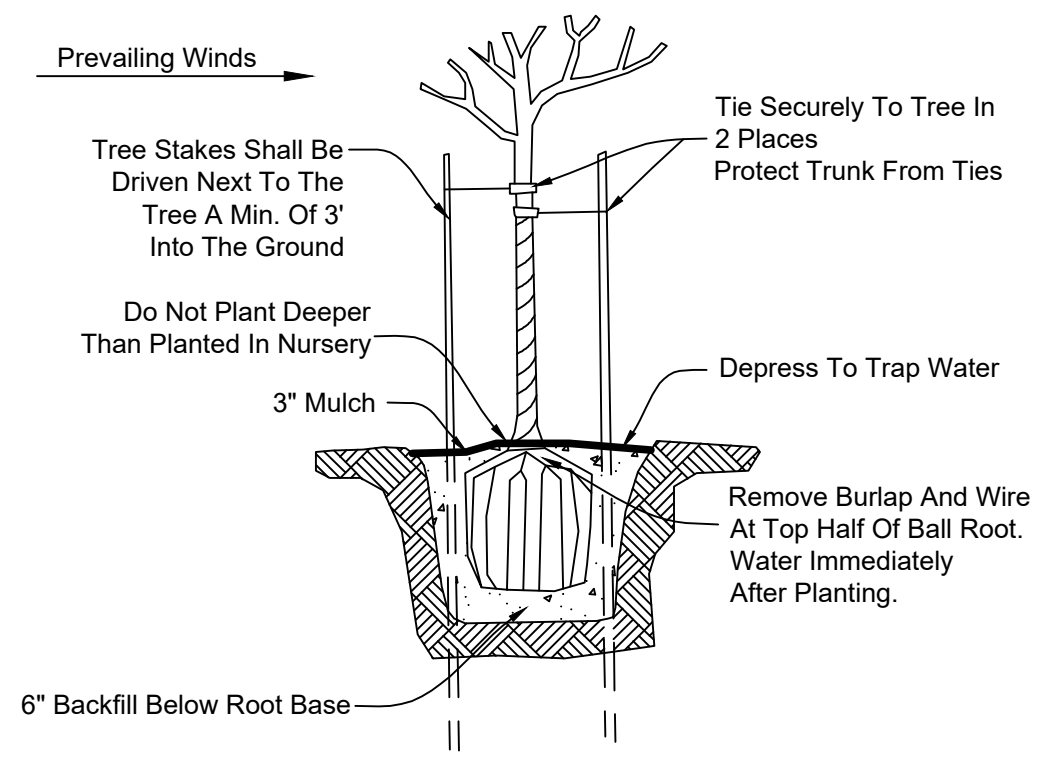
The contractor is responsible for inspection and maintenance of sediment and erosion control measures until the project is completed. The inspections shall be made every seven days or within 24-hours of a rainfall event of 0.50-inch or greater. Any practices that are damaged or not working properly shall be repaired by the end of they day. Accumulated sediment shall be removed when it has reached a height of one-half the height of the structure. In addition, the following measures shall be taken:

- 1) All seeded areas will be re-seeded and mulched as necessary according to the specifications in the planned practices to maintain a vigorous, dense vegetated cover.
- 2) Remove silt fence and temporary structures only after final stabilization and vegetative cover is established.
- 3) Avoid the use of fertilizers and pesticides in or adjacent to channels or ditches.
- 4) Construction and waste materials shall be properly disposed.

Weekly inspection reports shall be maintained by the contractor. These reports shall document inspections and maintenance performed. The date and time of the inspections, the inspector's name, and the status of construction and any maintenance performed. Refer to Appendix C of the Erosion and Sediment Control Plan (report) or visit <http://dnr.wi.gov/runoff/stormwater/constforms.htm> for a template. Upon request, the inspection reports shall be made available to the owner, the engineer, Winnebago County, or the Wisconsin Department of Natural Resources.



Winncrest Plat Storm Water Pond



TREE PLANTING DETAILS

Landscape Requirements

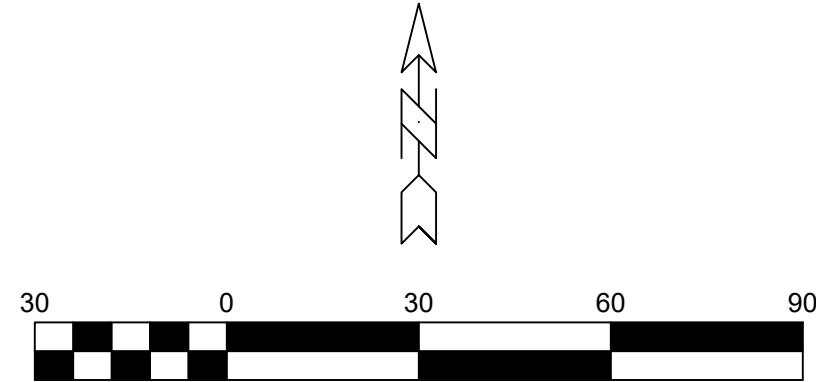
Three trees per 100 linear feet of frontage = 6 trees

- Note:**
- All trees are to be mulched with hardwood mulch. Trees shall be minimum 4-foot height at time of planting. Species may be substituted based on availability and local nursery stock.

| Plant Schedule | | |
|----------------|-----------------|----------|
| I.D. | Common Name | Quantity |
| WS | White Swamp Oak | 2 |
| RM | Red Maple | 2 |
| HL | Honeylocust | 2 |

LEGEND

| | | | | | |
|--|----------------------|--|----------------------------------|--|-------------------|
| | Storm Sewer | | Clean Out / Curb Stop / Pull Box | | CATV Pedestal |
| | Underground Electric | | Water MH / Well | | Gas Regulator |
| | Treeline | | Utility Meter | | Post / Guard Post |
| | Culvert | | Light Pole / Signal | | Flag Pole |
| | Index Contour | | Electric Pedestal | | Benchmark |
| | Intermediate Contour | | Air Conditioner | | Asphalt Pavement |
| | | | Telephone Pedestal | | Concrete Pavement |
| | | | +799.9 Ex Spot Elevation | | Gravel |



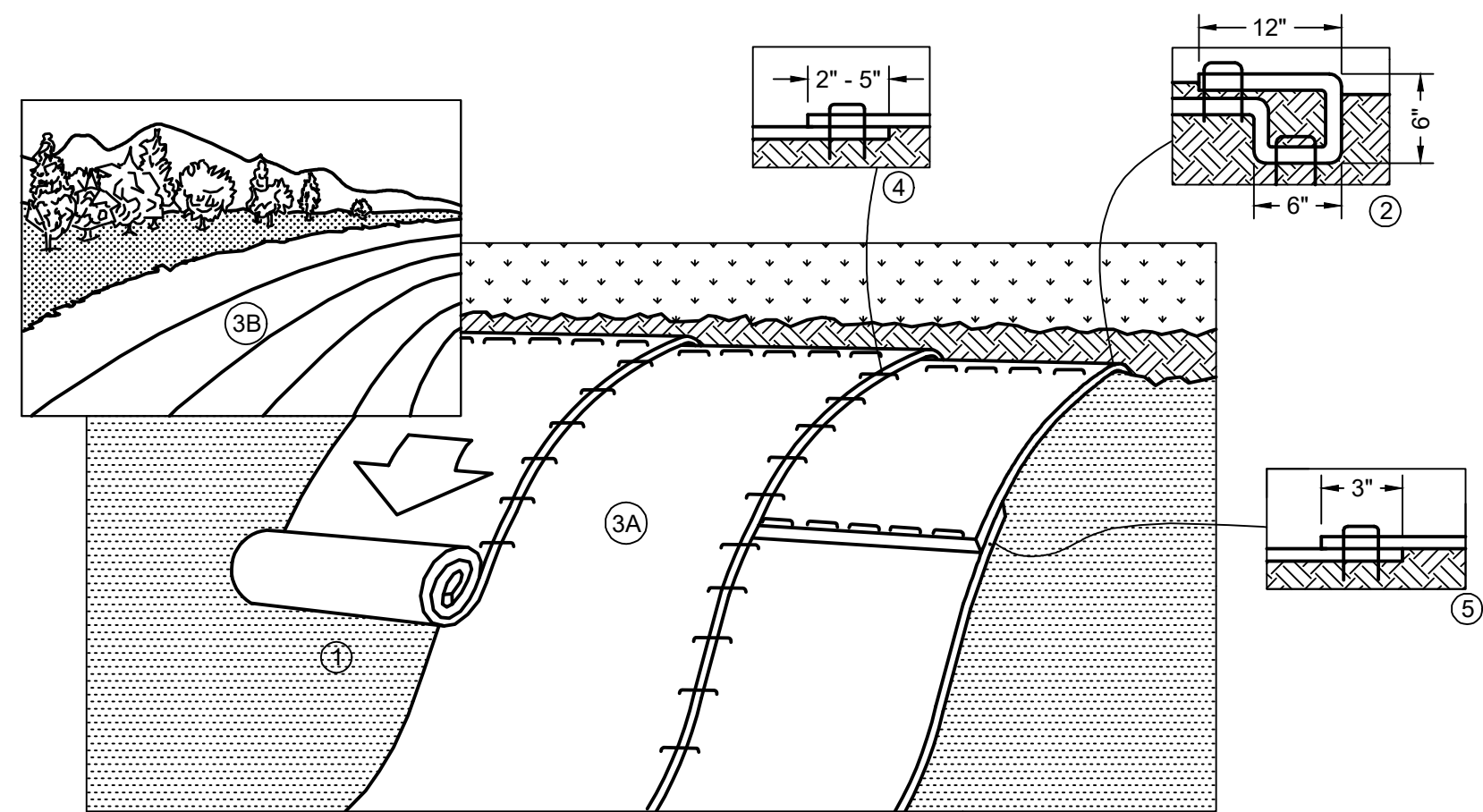
8/28/2023 11:52:18 AM J:\Projects\512579\512579\Civil\5125eng.dwg Printed by: jennifer

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI, 54952
Ph: 920-991-1866 Fax: 920-441-0804
www.davelpro

LANDSCAPE PLAN

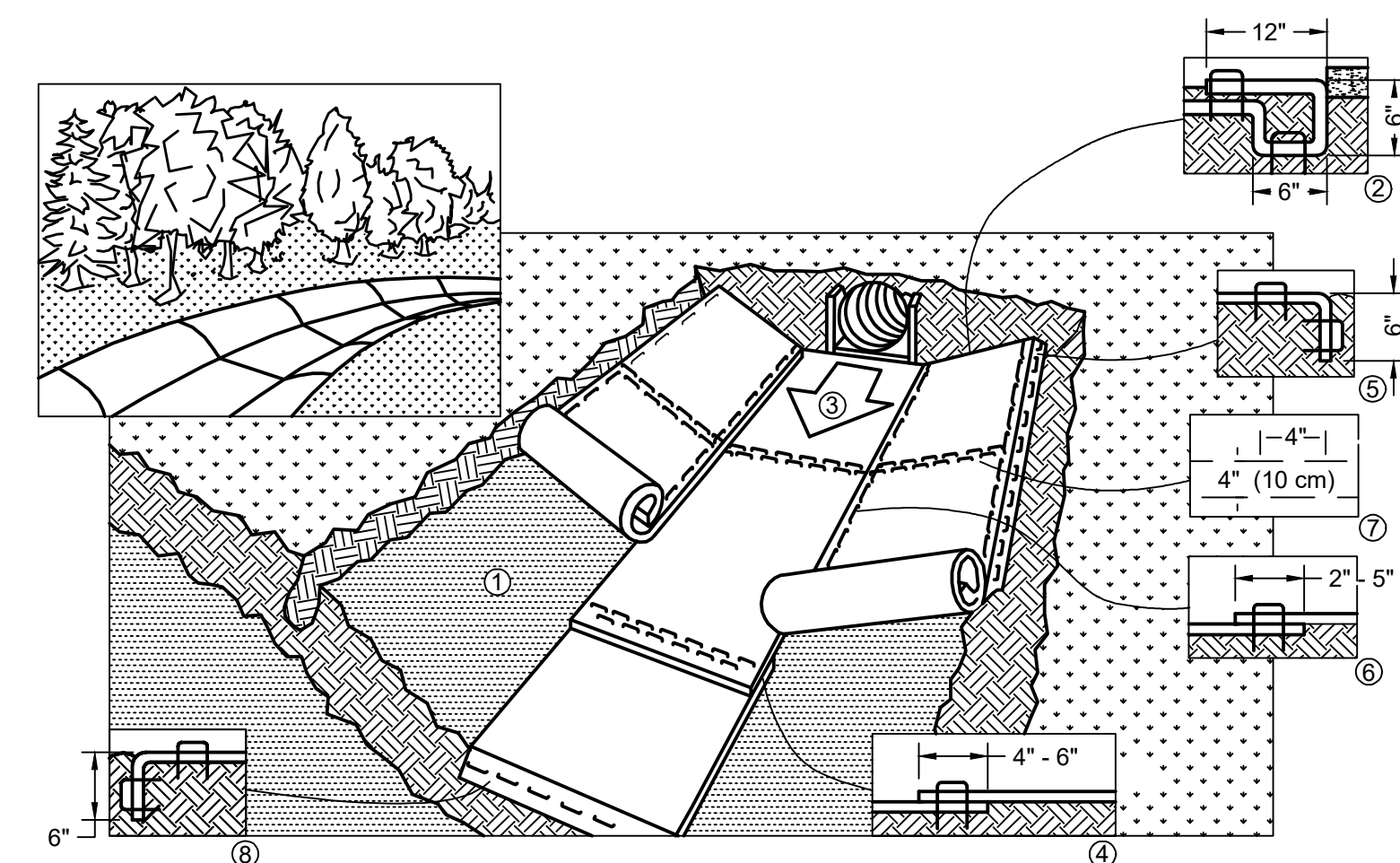
5215 Winncrest Commercial Plat Lot 2 & 3
Town of Clayton, Winnebago County, WI
For: RJ Albright Inc.

| | |
|----------------|-------------|
| Date: | 08/28/2023 |
| Filename: | 5125eng.dwg |
| Author: | JRD |
| Last Saved by: | jennifer |
| Page: | C1.4 |

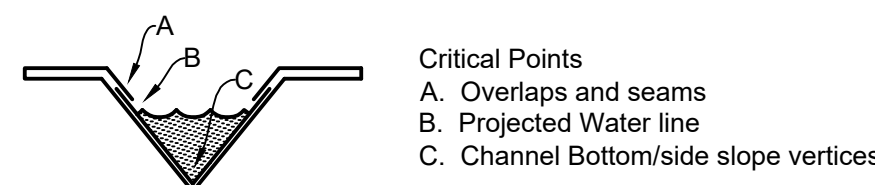


1. Prepare soil before installing Rolled Erosion Control Products (RECP's), including any necessary application of lime, fertilizer, and seed.
Note: When using cell-o-seed do not seed prepared area. Cell-o-seed must be installed with paper side down.
2. Begin at the top of the slope by anchoring the RECP's in a 6" (15 cm) deep x 6" (15 cm) wide trench with approximately 12" (30 cm) of RECP's extended beyond the up-slope portion of the trench. Anchor the RECP's with a row of staples/stakes approximately 12" (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to compacted soil and fold remaining 12" (30 cm) portion of RECP's back over seed and compacted soil. Secure RECP's over compacted soil with a row of staples/stakes spaced approximately 12" (30 cm) across the width of the RECP's.
3. Roll the RECP's (A) down or (B) horizontally across the slope. RECP's will unroll with appropriate side against the soil surface. All RECP's must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide. When using the Dot system, staples/stakes should be placed through each of the colored Dots corresponding to the appropriate staple pattern.
4. The edges of parallel RECP's must be stapled with approximately 2" - 5" (5 cm - 12.5 cm) overlap depending on RECP's type.
5. Consecutive RECP's spliced down the slope must be placed end over end (shingle style) with an approximate 3" (7.5 cm) overlap. Staple through overlapped area, approximately 12" (30 cm) apart across entire RECP's width.
Note: * In loose soil conditions, the use of staple or stake lengths greater than 6" (30 cm) may be necessary to properly secure the RECP's.
6. Detail provided by North American Green (www.nagreen.com)
7. Turf Reinforcement Mats (TRM's) shall be installed in accordance with the above specifications for all RECP's. Anchoring size and pattern is to be installed per manufacturer specifications for clay soils having 4:1 slope. All TRM's shall be topsoil filled, seeded, and covered with a Class 2, Type B erosion mat in accordance with all manufacturer specifications.

EROSION/TURF REINFORCEMENT MAT SLOPE INSTALLATION

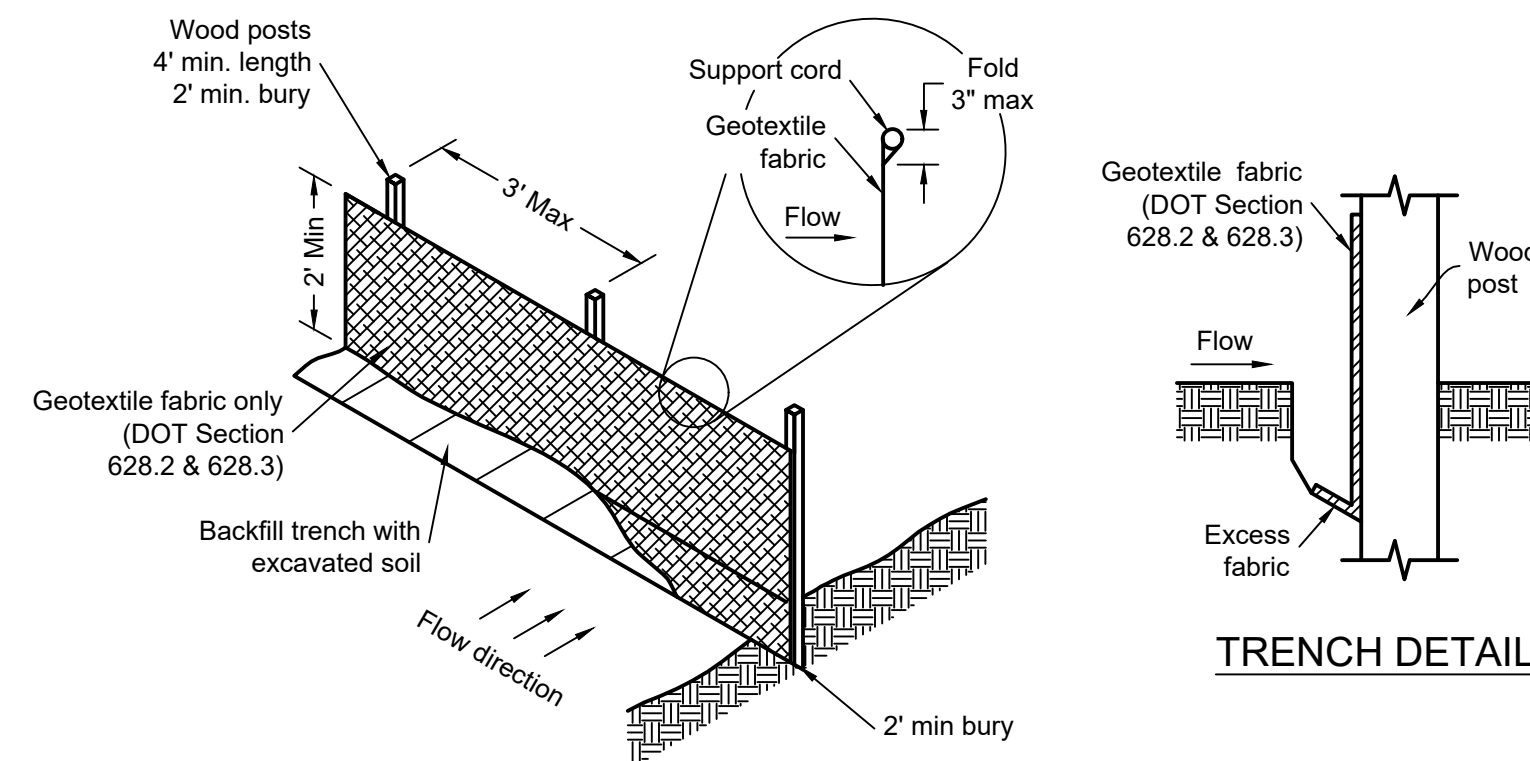


1. Prepare soil before installing Rolled Erosion Control Products (RECP's), including any necessary application of lime, fertilizer, and seed.
Note: When using cell-o-seed do not seed prepared area. Cell-o-seed must be installed with paper side down.
2. Begin at the top of the channel by anchoring the RECP's in a 6" (15 cm) deep x 6" (15 cm) wide trench with approximately 12" (30 cm) of RECP's extended beyond the up-slope portion of the trench. Anchor the RECP's with a row of staples/stakes approximately 12" (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to compacted soil and fold remaining 12" (30 cm) portion of RECP's back over seed and compacted soil. Secure RECP's over compacted soil with a row of staples/stakes spaced approximately 12" (30 cm) across the width of the RECP's.
3. Roll center RECP's in direction of water flow in bottom of channel. RECP's will unroll with appropriate side against the soil surface. All RECP's must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide. When using the DOT system, staples/stakes should be placed through each of the colored dots corresponding to the appropriate staple pattern.
4. Place consecutive RECP's end over end (shingle style) with a 4" - 6" (10 cm - 15 cm) overlap. Use a double row of staples staggered 4" (10 cm) apart and 4" (10 cm) on center to secure RECP's.
5. Full length edge of RECP's at top of side slopes must be anchored with a row of staples/stakes approximately 12" (30 cm) apart in a 6" (15 cm) deep x 6" (15 cm) wide trench. Backfill and compact the trench after stapling.
6. Adjacent RECP's must be overlapped approximately 2" - 5" (5 cm - 12.5 cm) (depending on RECP's type) and stapled.
7. In high flow channel applications a staple check slot is recommended at 30 to 40 foot (9 M - 12 M) intervals. Use a double row of staples staggered 4" (10 cm) apart and 4" (10 cm) on center over entire width of the channel.
8. The terminal end of the RECP's must be anchored with a row of staples/stakes approximately 12" (30 cm) apart in a 6" (15 cm) deep x 6" (15 cm) wide trench. Backfill and compact the trench after stapling.
Note:
* In loose soil conditions, the use of staple or stake lengths greater than 6" (15 cm) may be necessary to properly anchor the RECP's.
9. Detail provided by North American Green (www.nagreen.com)



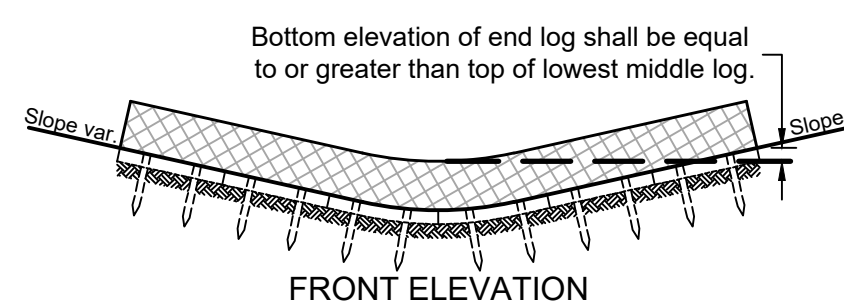
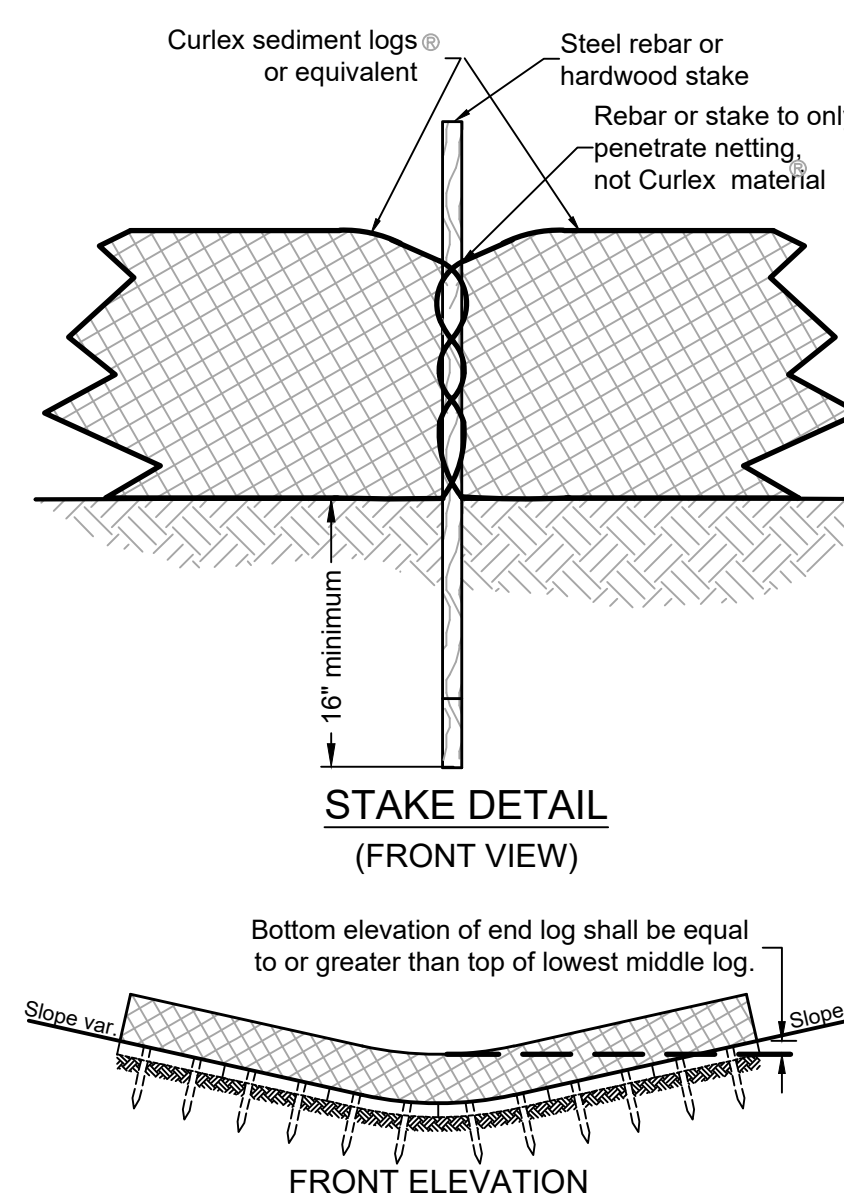
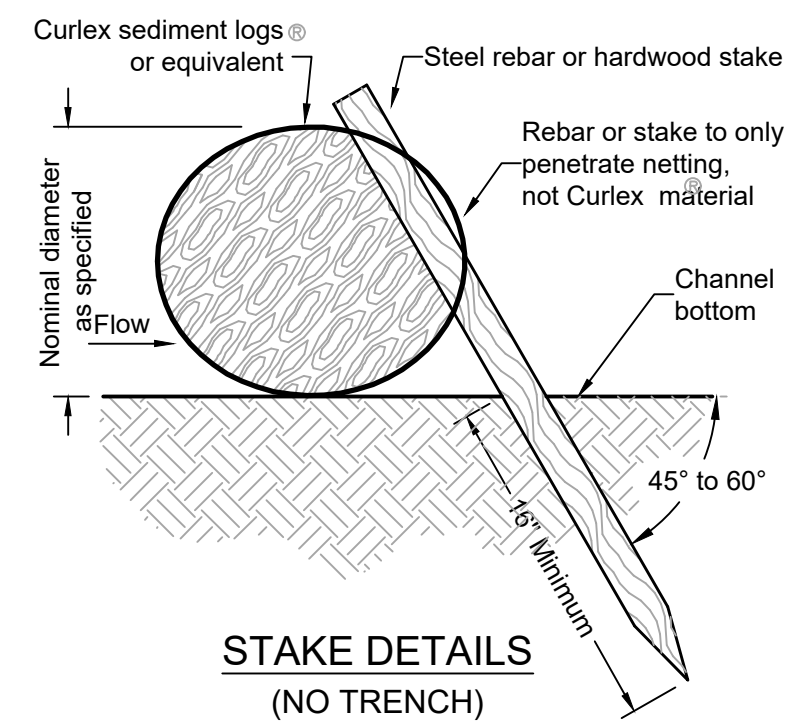
EROSION MAT CHANNEL INSTALLATION

- Note:
* Horizontal staple spacing should be altered if necessary to allow staples to secure the critical points along the channel surface.
** In loose soil conditions, the use of staple or stake lengths greater than 6" (15 cm) may be necessary to properly anchor the RECP's.



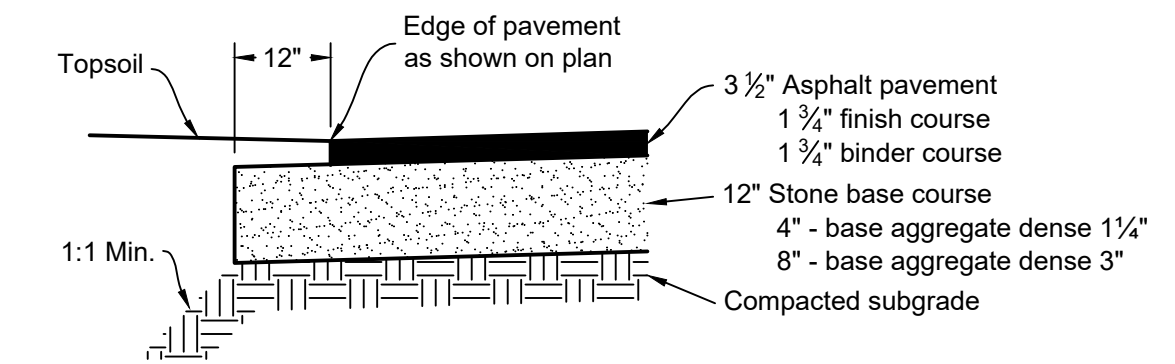
- Silt fence notes:**
1. Detail of construction not shown on this drawings shall conform to criteria set by authorities having jurisdiction and by DNR Technical Standard 1056.
 2. When possible, the silt fence should be constructed in an arc or horseshoe shape with the ends pointing upslope to maximize both strength and effectiveness.
 3. Attach the fabric to the posts with wire staples or wooden lath and nails.
 4. 8'-0" post spacing allowed if a woven geotextile fabric is used.
 5. Trench shall be a minimum of 4" wide and 6" deep to bury and anchor the geotextile fabric. Fold material to fit trench and backfill and compact trench with excavated soil.
 6. Geotextile fabric shall be reinforced with an industrial polypropylene netting with a maximum mesh spacing of 3/4" or equal. A heavy-duty nylon top support chord or equivalent is required.
 7. Steel posts shall be studded "tee" or "u" type with a minimum weight of 128 lbs/lineal foot (without anchor). Pin anchors shall be a minimum size of 4" diameter or 1 1/2" x 3 1/2", except wood posts for geotextile fabric reinforced with netting shall be a minimum size of 1 1/8" x 1 1/8" oak or hickory.

SILT FENCE INSTALLATION

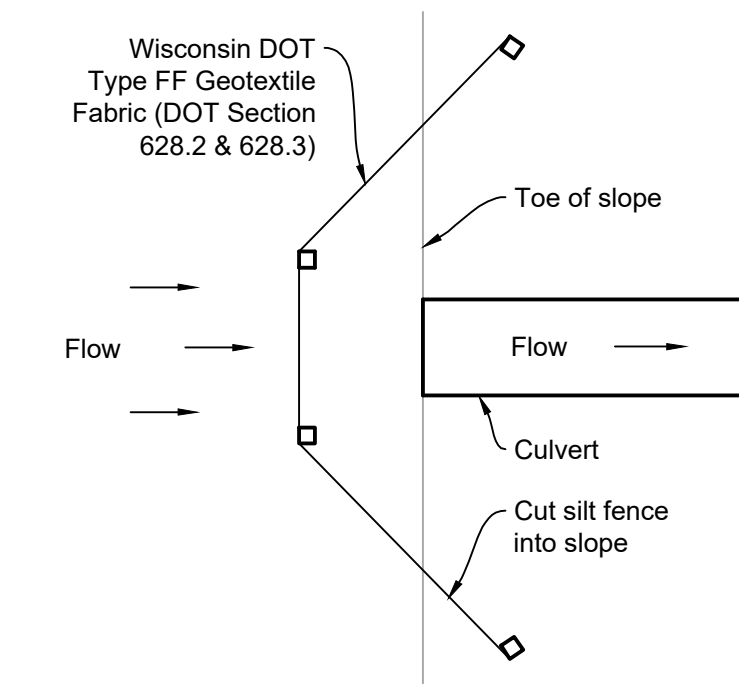


- NOTE:**
Stake installation shall meet manufacturer's requirements in regard to spacing, material, size, and bury depth.

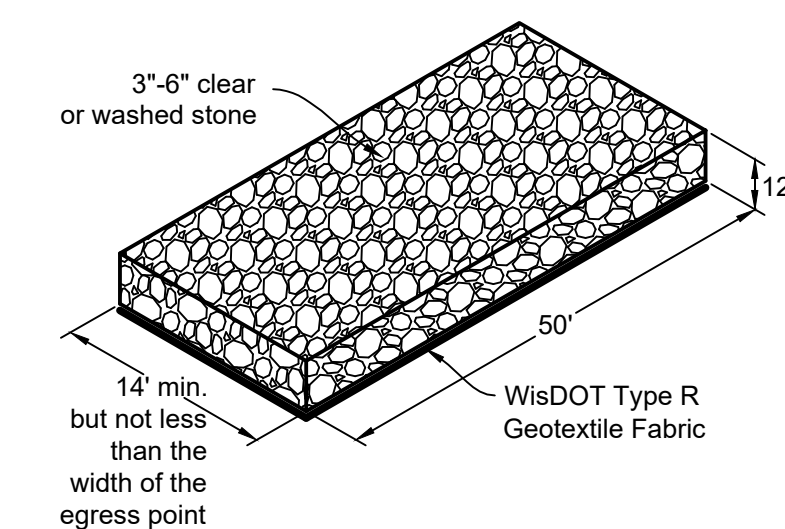
SEDIMENT LOG DETAIL



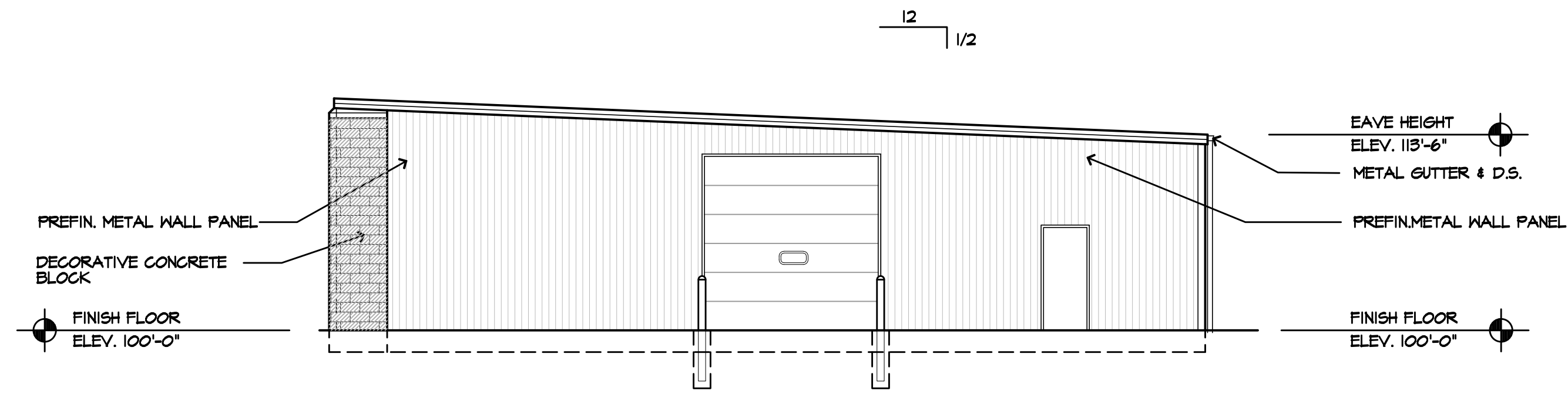
PAVEMENT SECTION



INLET PROTECTION



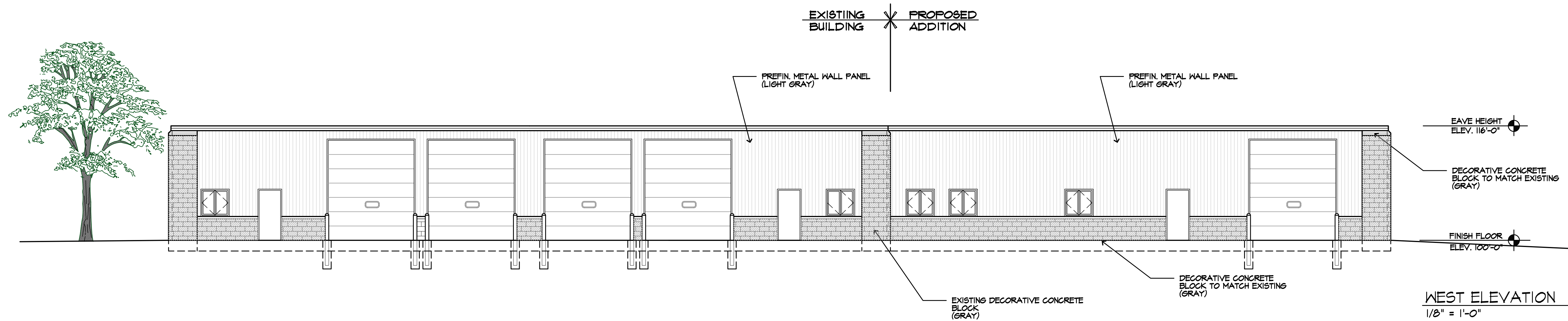
TRACKING PAD DETAIL



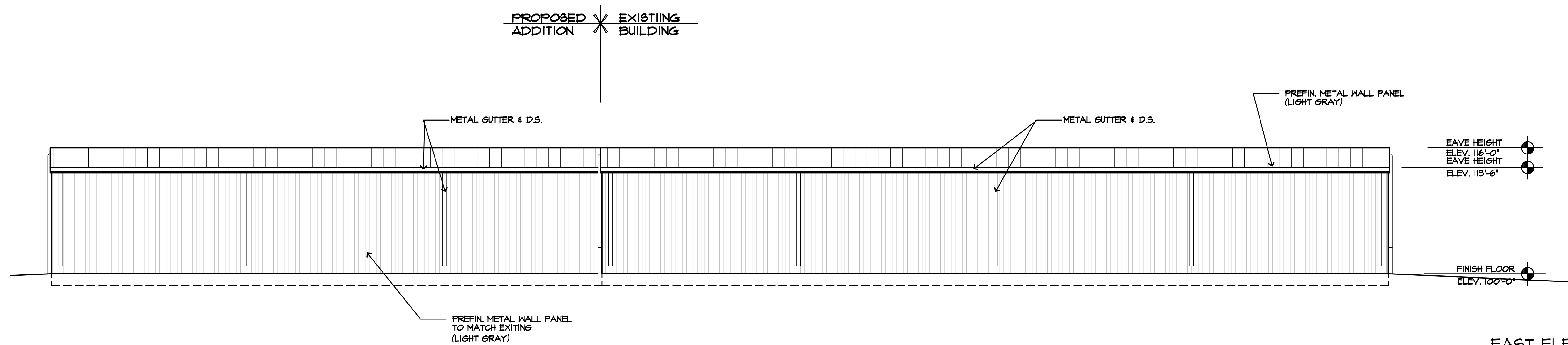
SOUTH ELEVATION
1/8" = 1'-0"



EXISTING EXTERIOR IMAGE



WEST ELEVATION
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"

REVISIONS:

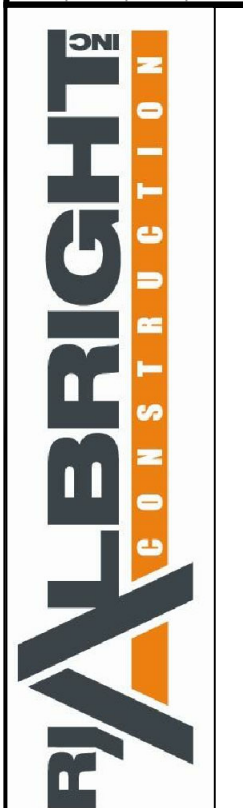


FISHER & ASSOCIATES, LLC
Architects / Planners
916 CEDARS STREET DE PERE, WI 5415
PH: 920.552.2444
FFA@fisherandassociatesllc.com

PROJECT:
PROPOSED BUILDING ADDITION FOR:
Marty Modern
Towne Court Town of Clayton
Neenah, Wisconsin

DRAWN BY:
R.J.F.
CHK'D BY:
R.J.F.
JOB NUMBER:
23029
DATE:
6/28/23

A3.1



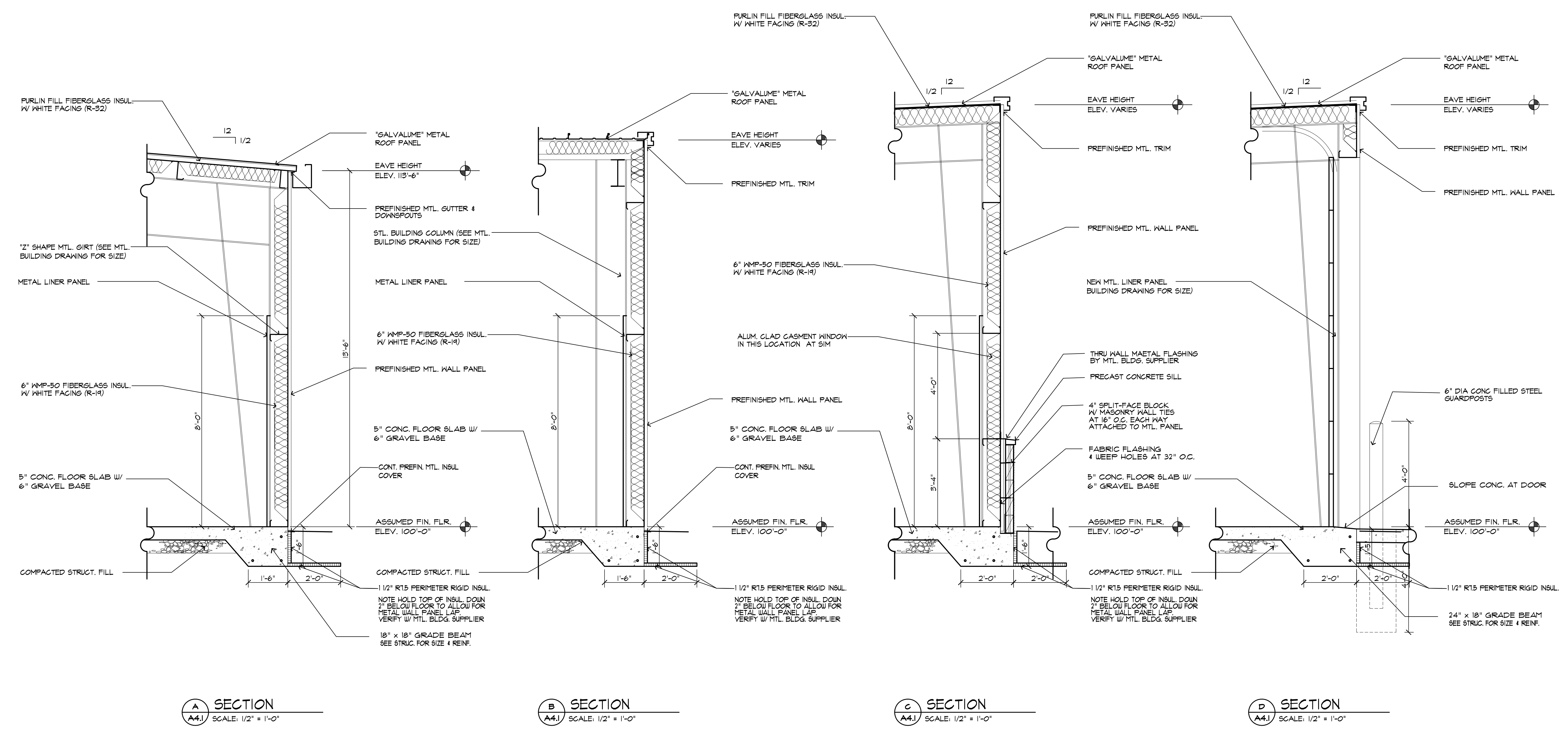
FISHER & ASSOCIATES, LLC
Architects / Planners
96 CEDAR STREET DE PERE, WI 5415
PH: (920) 332-8181
rfisher@fisherandassociatesllc.com

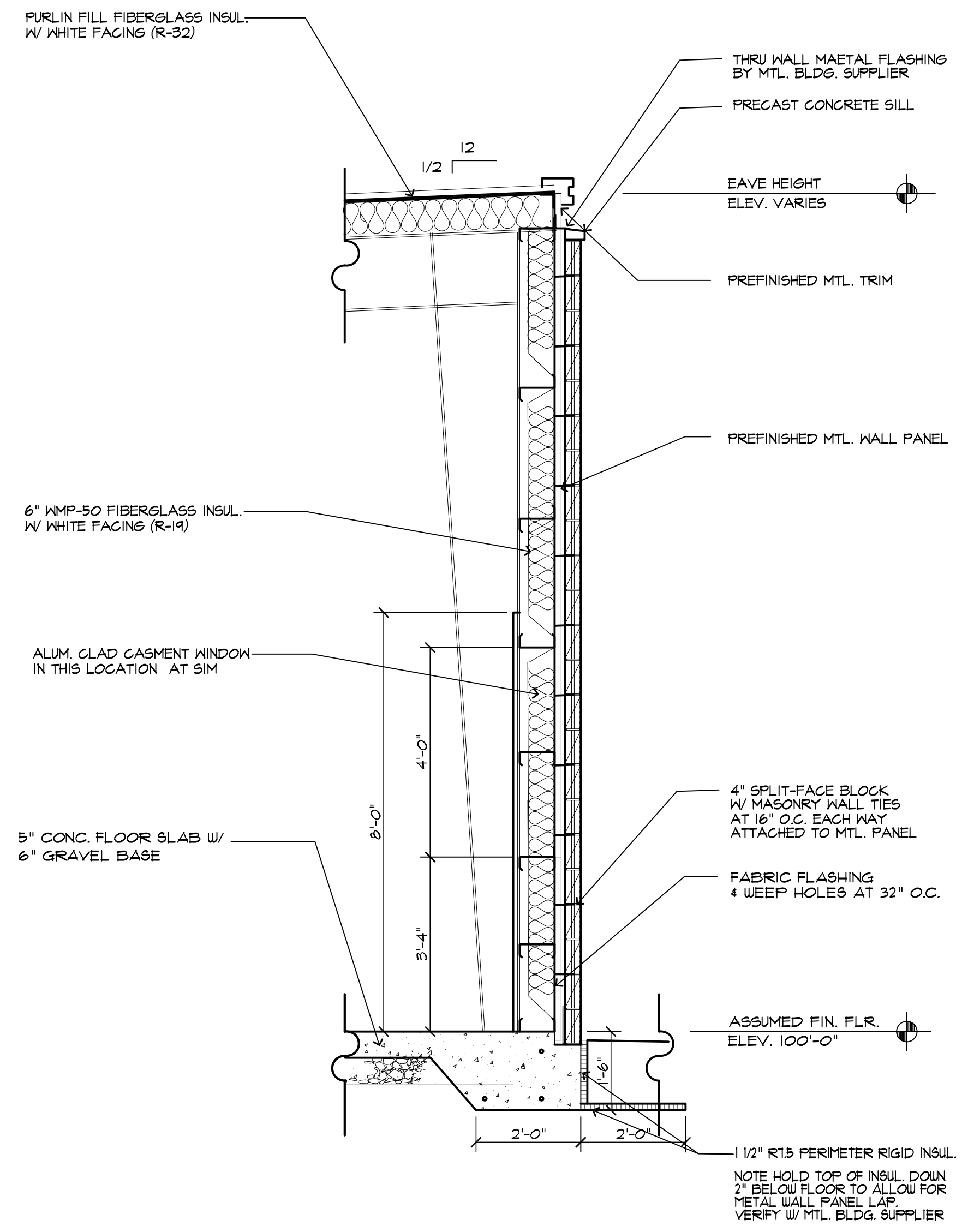
PROJECT:
PROPOSED BUILDING ADDITION FOR
Marty Niekodem
Towne Court Town of Clayton
Neenah, WISCONSIN

DRAWN BY:
R/J
CHK'D BY:
R/J
JOB NUMBER:
23029
DATE:
6/28/23

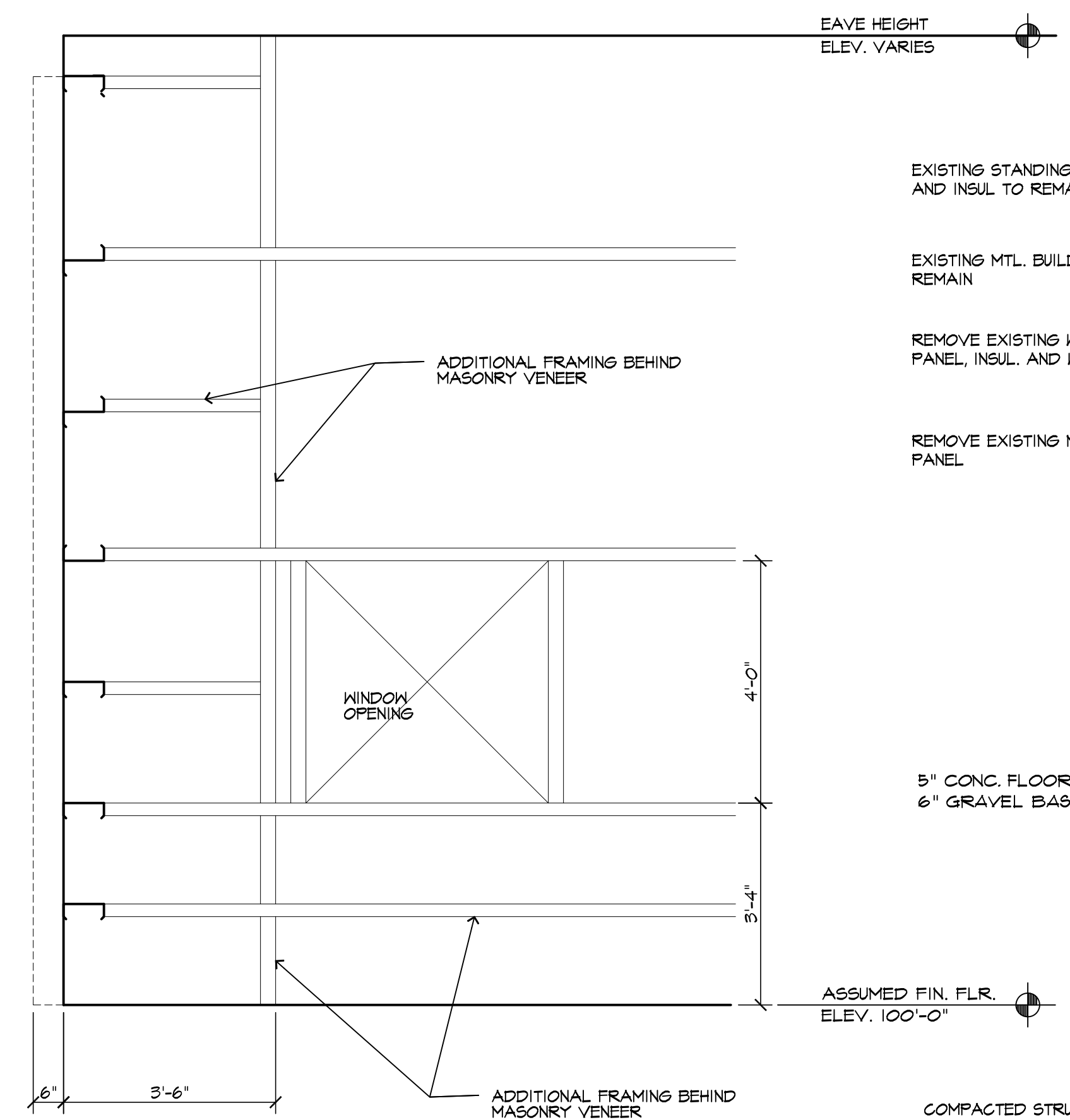
A4.1

REVISIONS:

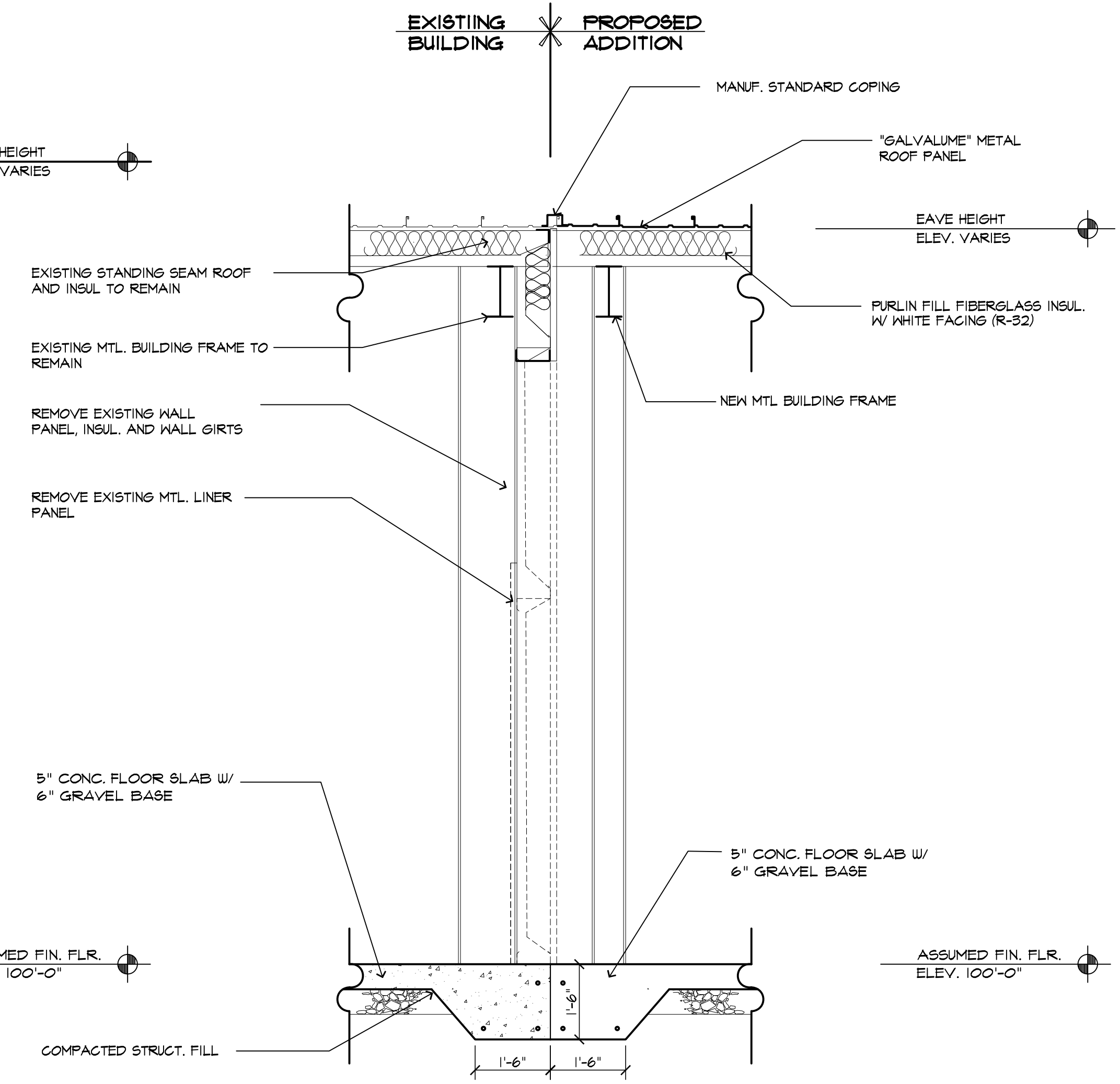




A SECTION
A4.2 SCALE: 1/2" = 1'-0"



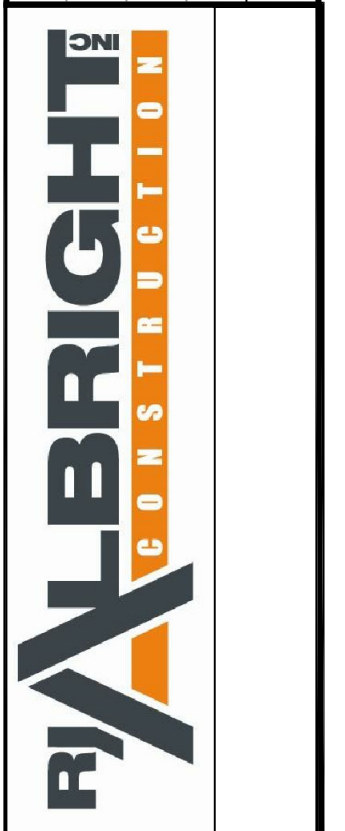
B WALL FRAMING ELEVATION
A4.2 SCALE: 1/2" = 1'-0"



C SECTION
A4.2 SCALE: 1/2" = 1'-0"

REVISIONS:

| | |
|--|--|
| | |
| | |
| | |
| | |
| | |



FISHER & ASSOCIATES, LLC
Architects / Planners
96 CEDAR STREET DE PERE, WI 5415
PH: (920) 332-8181
rfisher@fisherandassociatesllc.com

PROJECT:
PROPOSED BUILDING ADDITION FOR
Marty Niekodem
Towne Court Town of Clayton
Neenah, WISCONSIN

DRAWN BY:
R/JF
CHK'D BY:
R/JF
JOB NUMBER:
23029
DATE:
6/28/23

A4.2

GENERAL

- 1. ALL MATERIALS, WORKMANSHIP AND DETAILS SHALL CONFORM TO THE REQUIREMENTS OF THE 2001 EDITION OF THE 'INTERNATIONAL BUILDING CODE'.

DESIGN LOADS

Table with columns for SNOW LOADS, WIND LOADS, and SEISMIC LOADS PER IBC 1615. Includes values for ground snow load, roof snow load, and wind speed.

FOUNDATIONS

- 1. FOUNDATION WORK FOR THIS PROJECT SHALL CONSIST OF SPREAD FOOTINGS, CONTINUOUS WALL FOOTINGS AND SLABS-ON-GRADE.

CONCRETE

- 1. CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE FOLLOWING STANDARDS: ACI 301 - 'SPECIFICATIONS FOR STRUCTURAL CONCRETE'

REINFORCEMENT

- 1. DETAILING, FABRICATION AND ERECTION OF REINFORCING STEEL SHALL CONFORM TO THE FOLLOWINGS: ACI 308 - 'DETAILS AND DETAILING OF CONCRETE REINFORCEMENT'

REINFORCEMENT DEVELOPMENT AND SPLICE LENGTH SCHEDULE

Table with columns for BAR SIZE, CLASS A SPLICE LENGTH, and CLASS B SPLICE LENGTH. Rows include #3, #4, #5, #6, #7, #8, #9, #10, #11.

NOTES

- 1. ALL SPLICE LENGTHS SHALL BE CLASS B UNLESS NOTED OTHERWISE.

REINFORCED MASONRY

- 1. ALL REINFORCED CONCRETE MASONRY MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE FOLLOWINGS: ACI 530-05/ASCE 6-05/TMS 602-05 SPECIFICATIONS FOR MASONRY STRUCTURES'

Table for REINFORCED MASONRY LINTELS. Columns: OPENING, LINTEL, and notes.

STRUCTURAL STEEL

- 1. STRUCTURAL STEEL WORK SHALL CONFORM TO THE FOLLOWINGS: AISC - 'SPECIFICATION FOR DESIGN, FABRICATION AND ERECTION OF STEEL FOR BUILDINGS'

COLD FORMED STRUCTURAL STEEL MEMBERS INCLUDING LIGHT GAUGE STEEL

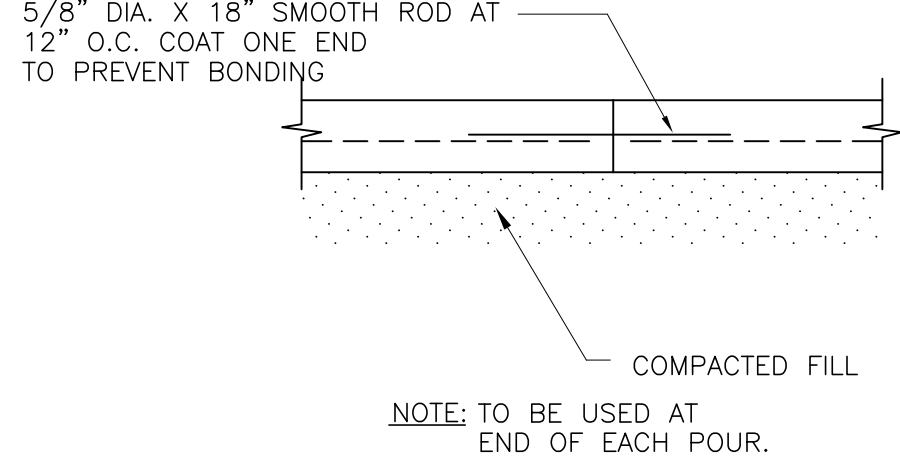
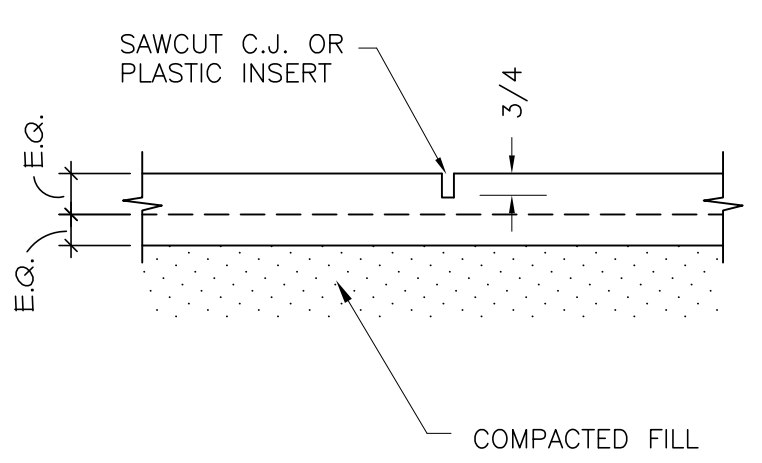
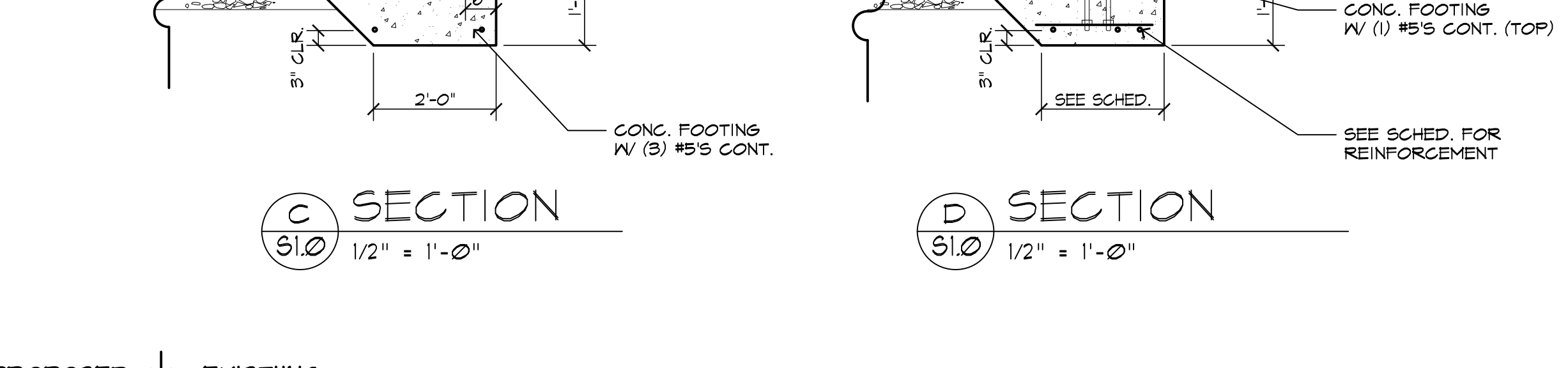
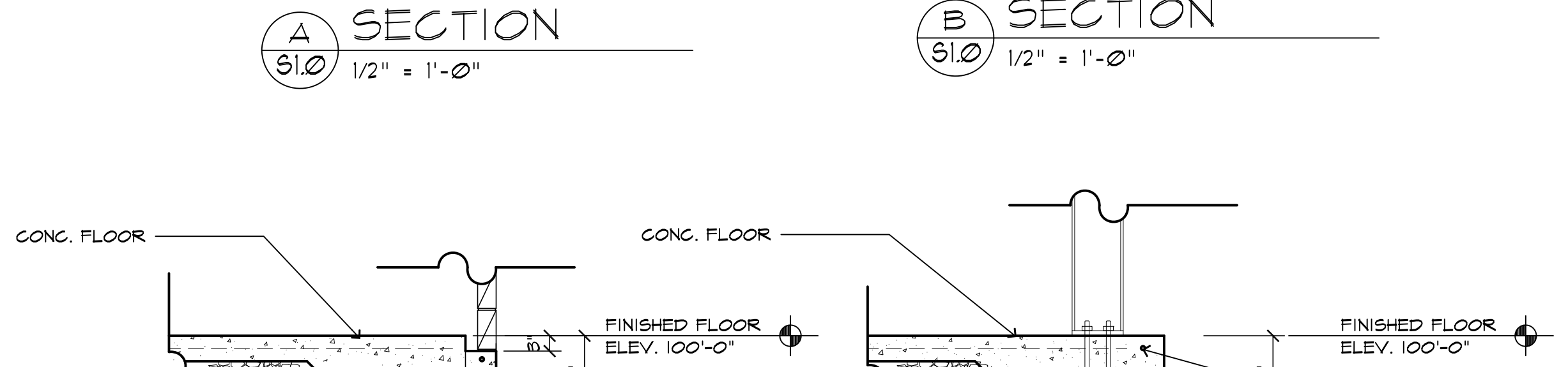
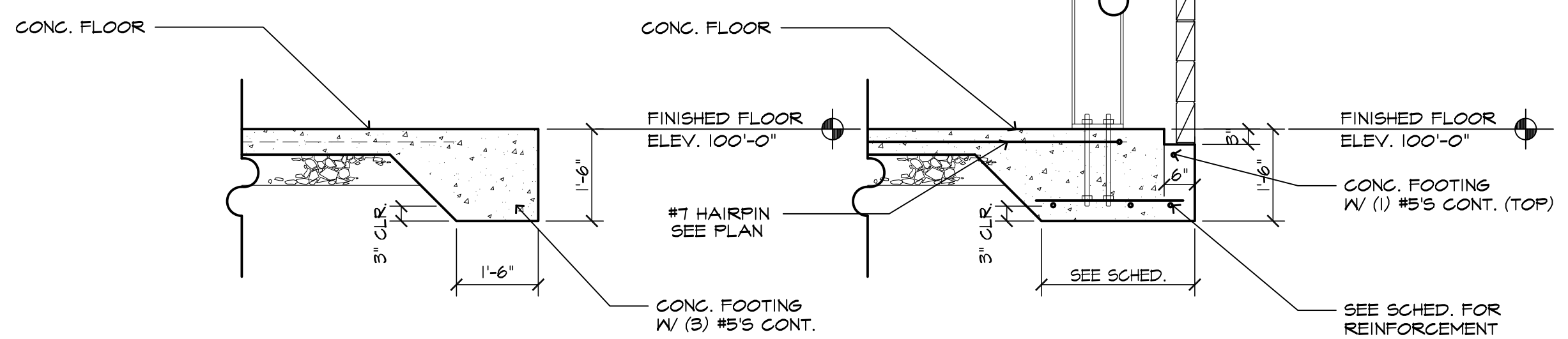
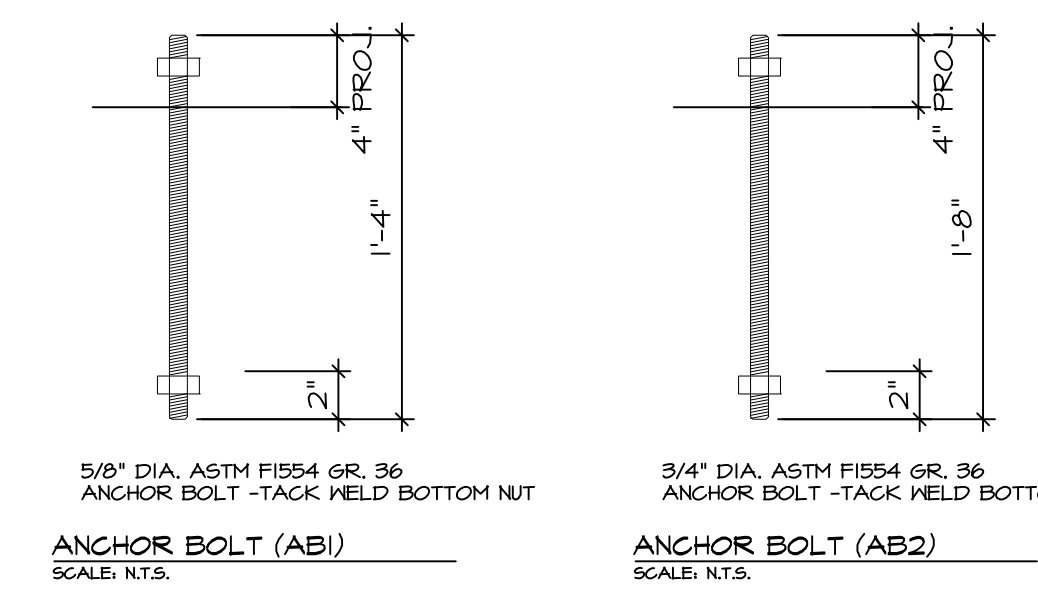
- 1. ALL COLD FORMED STRUCTURAL MATERIAL AND WORK SHALL CONFORM TO THE LATEST EDITIONS OF THE FOLLOWINGS: AISI 'SPECIFICATIONS FOR THE DESIGN OF LIGHT-GAUGE COLD-FORMED STEEL STRUCTURAL MEMBERS'

ASTM A653 GALVANIZED LIGHT GAUGE FRAMING MEMBERS

- A. STUDS AND JOISTS SHALL BE CHANNEL SHAPED WITH LIPPED FLANGES. PUNCHED WEB SIZE, GAUGE AND GRADE AS SHOWN ON THE DRAWINGS (AS REQUIRED BY STRUCTURAL CALCULATIONS).

FOUNDATION SCHEDULE

Table with columns: MARK, PLAN DIMENSION, DEPTH, REINFORCING, T.O. FTG., ANCHOR BOLTS, T.O.P., PLAN DIM., REINFORCING.



1 CONTROL JOINT (C.J.)

2 CONSTRUCTION JOINT

REVISIONS:

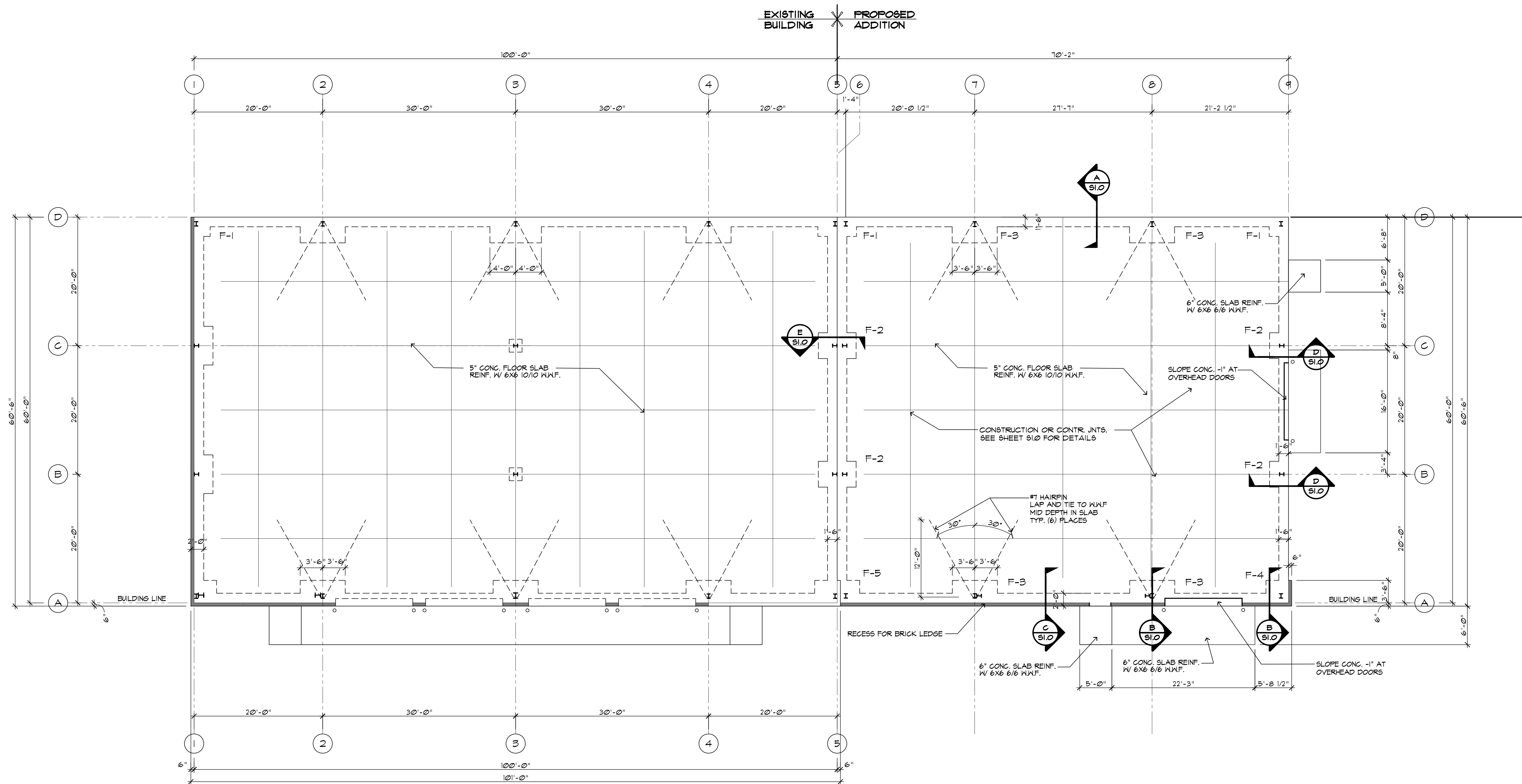


FISHER & ASSOCIATES, LLC Architects / Planners 916 CEDARS STREET DE PERE, WI 54155 PH(920) 532-1844 ffisher@fisherandassociatesllc.com

PROJECT: PROPOSED BUILDING ADDITION FOR Marty Miodem Towne Court Town of Clayton Wisconsin Neenah.

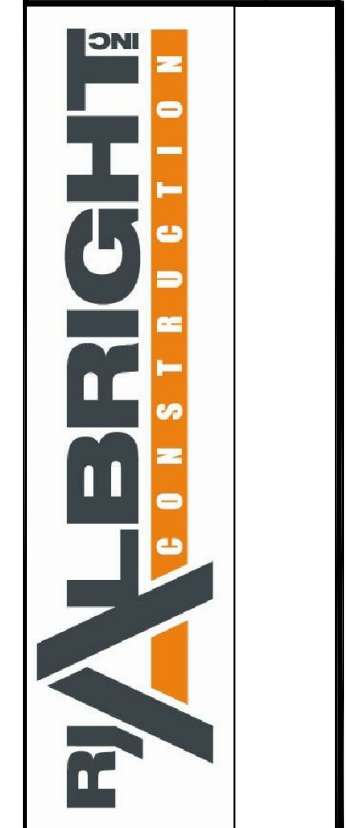
DRAWN BY: R/JF CHK'D BY: R/JF JOB NUMBER: 23029 DATE: 7/27/23

S1.0



FOUNDATION PLAN
 1/8" = 1'-0"
 NORTH

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |



FISHER & ASSOCIATES, LLC
 Architects / Planners
 916 CEDARS STREET DE PERE, WI 54155
 PH: 920.733.2222 FAX: 920.733.2223
 WWW.FISHERASSOCIATESLLC.COM

PROJECT:
 PROPOSED BUILDING ADDITION FOR
Marty Mikodem
 Towne Court Town of Clayton
 Neenah, WISCONSIN

DRAWN BY:
 R/JF
CHK'D BY:
 R/JF
JOB NUMBER:
 23029
DATE:
 6/28/23

S1.1

REVISIONS:



August 2, 2023

Town of Clayton
848 Hickory Avenue
Larsen, WI 54947

Attn: Kelly Wisnefske

Re: Marty Nikodem 2770 Town Court Neenah

We are requesting a waiver for the above-mentioned project.

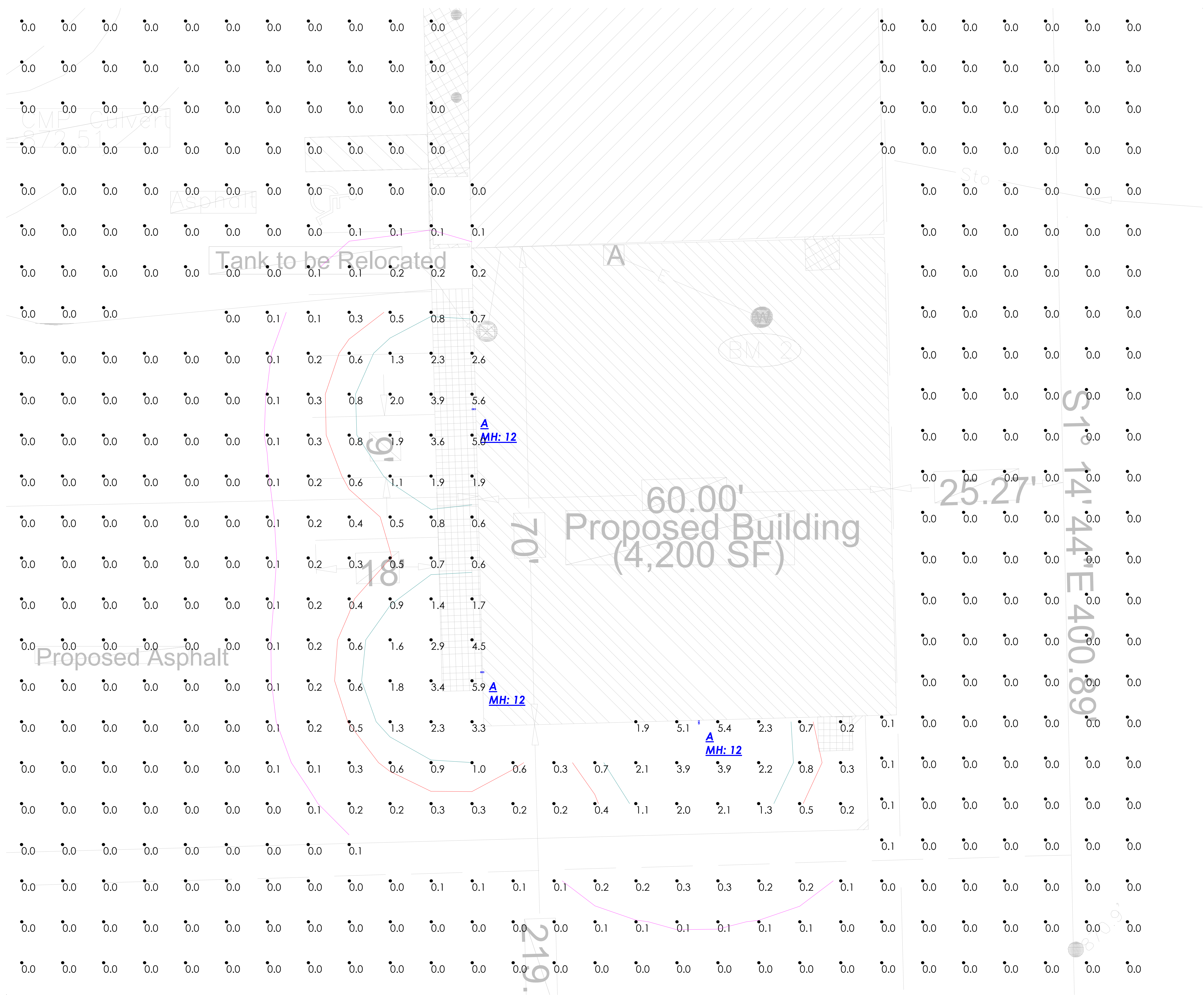
1. Solar reflective index, we are using the same roof panel as the existing building, so it will nest and look the same. The new addition will have higher R values in the roof and walls which will offset the reflective index.
2. Exterior wall materials will be the same as the existing building for a uniform look across the face of the building.

Thank you,

A handwritten signature in black ink, appearing to read 'Steve Schmidt', is written over a white background.

Steve Schmidt

RJ Albright, Inc.



1. Standard Reflectance of 80/50/20 unless noted otherwise
2. Not a Construction Document, for Design purposes only
3. Standard indoor calc points @ 30" A.F.F. unless noted otherwise
4. Standard outdoor calc points @ Grade unless noted otherwise
5. Egress calc points @ 0" A.F.F.
6. Mlazgar Associates assumes no responsibility for installed light levels due to field conditions, etc.

| Calculation Summary | | | | | | | |
|---------------------|-------------|-------|------|-----|-----|---------|---------|
| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
| PROPOSED ASPHALT | Illuminance | Fc | 0.52 | 5.9 | 0.0 | N.A. | N.A. |
| SITE | Illuminance | Fc | 0.00 | 0.3 | 0.0 | N.A. | N.A. |

| Luminaire Schedule | | | | | | | | | |
|--------------------|-----|-------|---|-------------|-------------|-------------|------------|-------|--|
| Symbol | Qty | Label | Manufacturer | Description | Arrangement | Lum. Lumens | Lum. Watts | LLF | |
| ↔ | 3 | A | COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON) | XTOR2B | Single | 2135 | 18.2 | 0.900 | |

Item C.

MLAZGAR ASSOCIATES
14350 W. GLENDALE DR.
NEW BERLIN, WI 53151
(P) 414-943-1915
(F) 952-943-8088
www.mlazgar.com

MLAZGAR ASSOCIATES

| # | Date | Comments |
|---|------|----------|
| | | |
| | | |
| | | |

Revisions

RLMA Project #: 147600
Drawn By: EP
Date: 8/3/2023

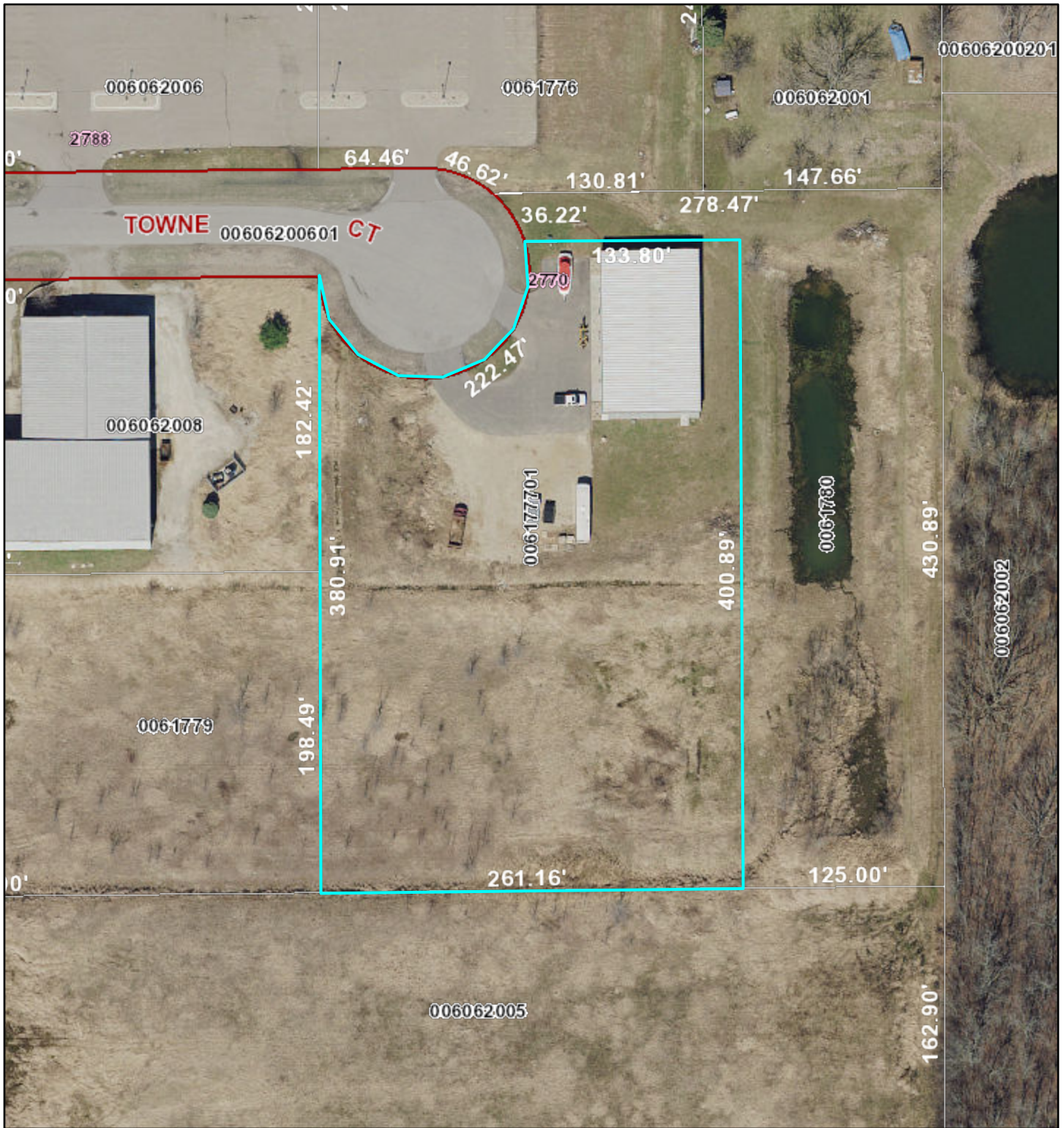
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PHOTOMETRIC SITE PLAN
CR FOCH'S
WINNEBAGO COUNTY, WI

Page M of 1

Nikodem Rev Trst SPR App - Aerial Map 1

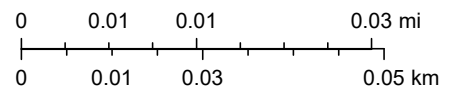
Item C.



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- Adjacent Counties
- Lakes, Ponds and Rivers
- Navigable Waterways
- Navigable - Permanent (unchecked)
- Navigable - Intermittent (unchecked)
- Navigable - Stream (unchecked)
- Navigable - Permanent (checked)
- Navigable - Intermittent (checked)
- Navigable - Stream (checked)
- Tax Parcel Boundary
- Road ROW



Winnebago County GIS, Imagery Date: April 2020

Nikodem Rev Trst SPR App - Aerial Map 2

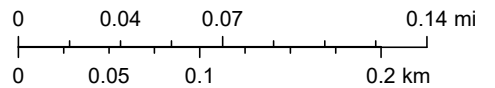
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1:4,169

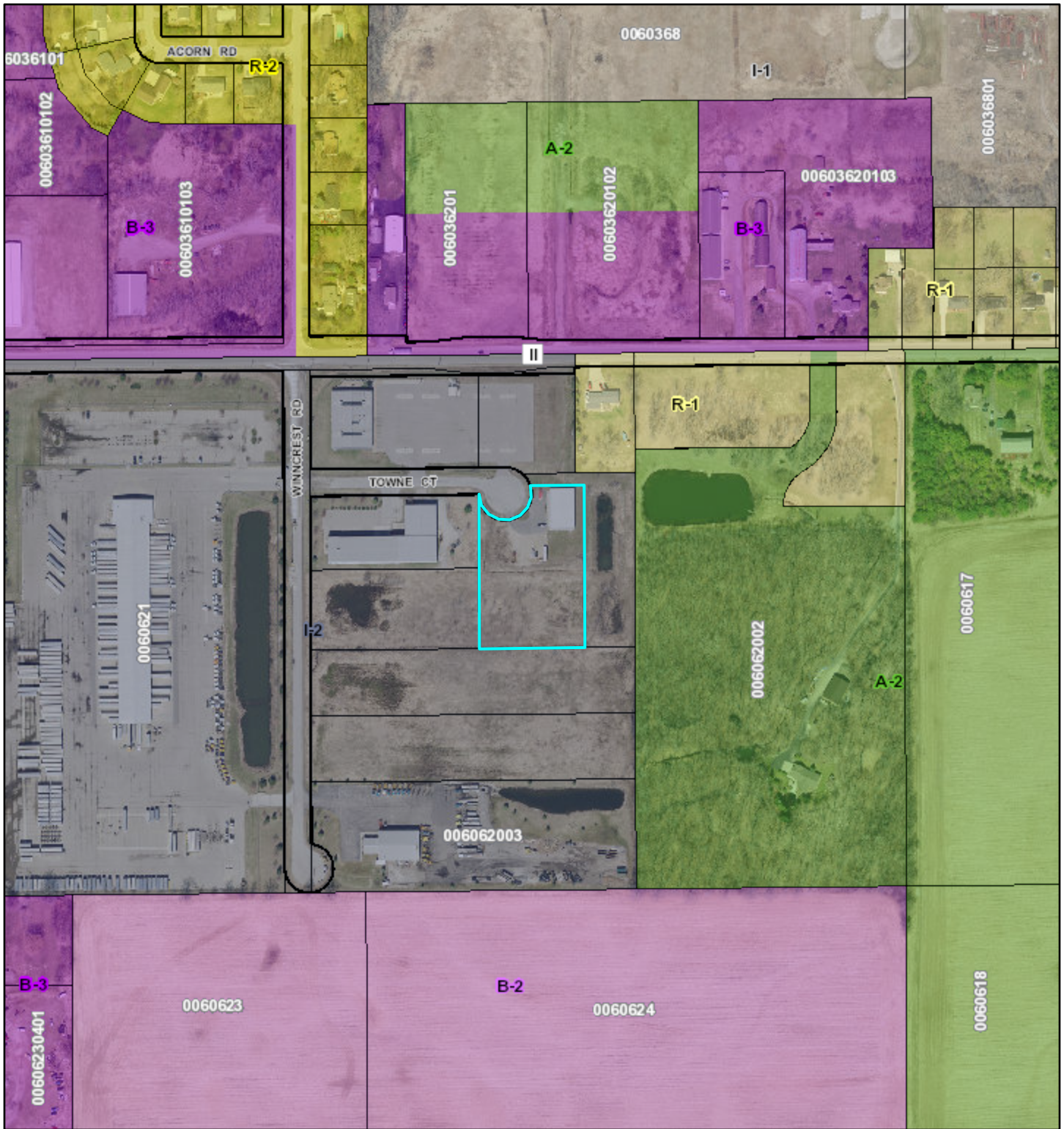
- Adjacent Counties
- Lakes, Ponds and Rivers
- Navigable Waterways**
- Navigable - Permanent (unchecked)
- Navigable - Intermittent (unchecked)
- Navigable - Stream (unchecked)
- Navigable - Permanent (checked)
- Navigable - Intermittent (checked)
- Navigable - Stream (checked)
- Tax Parcel Boundary
- Road ROW
- Municipal Boundary



Winnebago County GIS, Imagery Date: April 2020

Nikodem Rev Trst SPR App - Zoning Map

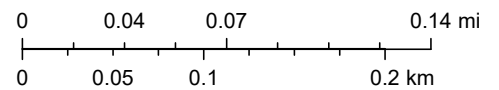
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- | | |
|--|---|
| District Code / Description | R-8 - Manufactured Housing Community |
| A-1 - Agribusiness | PDD - Planned Development |
| A-2 - General Agriculture | B-1 - Local Service Business |
| R-1 - Rural Residential | B-2 - Community Business |
| R-2 - Suburban Residential | B-3 - General Business |
| R-3 - Two-Family Residential | P-I - Public Institutional |
| R-4 - Multifamily Residential | I-1 - Light Industrial |



Winnebago County GIS, Imagery Date: April 2020

Memo

DATE: September 6, 2023
TO: Town of Clayton Plan Commission
FROM: Jeff Kussow
Community Planner/Code Administrator, Cedar Corporation
SUBJECT: Allowing Multiple Principal Buildings on a Parcel of Land

The Town of Clayton Zoning Ordinance prohibits more than one (1) principal building on a parcel for most land uses/developments. Staff is requesting Plan Commission review and discussion on the possibility of allowing more than one (1) principal building on a parcel in certain circumstances, more specifically:

1. Allowing more than one (1) principal commercial and/or industrial building on a parcel, serving the same or different uses/businesses;
2. Allowing multifamily buildings (3 or more units) on the same parcel as a commercial land use; and
3. Allowing a detached residential structure (e.g., single family dwelling or two-family building) on the same parcel as non-residential land uses for occupancy only by the owner/operator or employees of the non-residential land use.

Current Town Zoning Code Requirements/Restrictions:

Definitions:

- **Principal Building:** *The building on a lot in which is conducted the principal use as permitted on such lot by the regulations of the district in which it is located.*
- **Accessory Building:** *A building that is clearly incidental and subordinate to and customarily found with a principal use.*
- **Mixed-Use Housing:** *One or more dwelling units located in a building, commonly on the second floor, that also houses a commercial land use, such as a retail use or a professional office.*

Section 9.08-83, Number of Principal Buildings on a Parcel of Land, states:

“There shall be no more than one principal building on a parcel of land, except as may be specifically allowed in this chapter. When this chapter allows more than one principal building on a lot, the reviewing authority may (1) require a greater yard setback than what is normally required for the zoning district in which it is located, (2) require additional landscaping, (3) establish a minimum separation between principal buildings, and (4) impose any other condition necessary to address concerns related to public health, safety, and welfare.”

The only land uses which are allowed to have more than one (1) principal building per the Town Zoning Ordinance are:

- Manufactured housing community
- Multifamily building, 3 or more units
- Two-family building, 2 units

Planned Development (PDD) District:

Currently, the only process to allow for more than one principal building on a parcel of land for most land uses/developments is for the property to be rezoned to add a PDD overlay district over the subject property.

The Town’s Planned Development (PDD) District is an “overlay district” and is described in Section 9.08-12 (a) (15) as: “A special type of zoning district and are initially proposed by a property owner who desires a mix of uses or flexibility in a project’s overall design. Each district is unique and therefore has its own set of development standards that are documented in the general development plan, and associated development agreement, if any. PDD districts are numbered sequentially (i.e., PDD-1, PDD-2, etc.).”

Essentially, it’s an overlay zoning district that may be created for a project in which the Town sets development standards (e.g., allowed uses/buildings, minimum lot requirements, setbacks, etc.) for that specific project/PDD District. A general development plan needs to be developed for each PDD district, which describes the development standards for that specific PDD District.

Specific review procedures and requirements for the PDD District are described in Division 2 of Article 7, Planned Development Overlay District. One specific item to note within this Division is that per Section 9.07-33, Where Allowed, a PDD District shall only be established in/over the following zoning districts:

- R-1 Rural Residential District
- R-2 Suburban Residential District
- R-3 Two-Family Residential District
- R-4 Multifamily Residential District
- R-8 Manufactured Housing Community District
- B-1 Local Service Business District
- B-2 Community Business District
- B-3 General Business District
- M-1 Mixed-Use District

This means that the underlying zoning district of the subject parcel(s) shall be one of the zoning districts listed above. A PDD overly district may not be established in/over the following zoning districts:

- A-1 Agribusiness District
- A-2 General Agriculture District
- P-I Public Institutional District
- I-1 Light Industrial District
- I-2 Heavy Industrial District

Community Comparisons:

- Village of Greenville: Allows multiple principal buildings on a parcel for all uses except multiple one/two-family residential dwellings are not allowed on a single parcel.
- Village of Fox Crossing: Same as Town of Clayton and Winnebago County
- Town of Buchanan: Allows multiple principal buildings on a parcel for all uses, provided the building is located such that the yard and other requirements are met for each building as though it were on an individual lot (i.e., all principal buildings could be split onto separate parcel in compliance with dimensional requirements for the subject zoning district); Same as Town of Grand Chute and Outagamie County
- Town of Grand Chute: Allows multiple principal buildings on a parcel for all uses, provided the building is located such that the yard and other requirements are met for each building as though it were on an individual lot (i.e., all principal buildings could be split onto separate parcel in compliance with dimensional requirements for the subject zoning district); Same as Town of Buchanan and Outagamie County