



City of Chipley
Planning & Zoning Commission Meeting
January 23, 2024 at 3:00 PM
City Hall - 1442 Jackson Avenue, Chipley, FL 32428
AGENDA

A. CALL TO ORDER

B. PRAYER AND PLEDGE

C. APPROVAL OF AGENDA

D. PRESENTATION AND APPROVAL OF MINUTES

[1.](#) November 7, 2023, Updated

[2.](#) December 5, 2023

E. AGENDA ITEMS

[1.](#) Request for Development Order & Certificate of Appropriateness – 684 7th Street – Wolfpack Alliance, LLC

F. OTHER BUSINESS

G. ADJOURN

H. ZOOM

[1.](#) ZOOM Information

Any subject on the agenda, regardless of how stated, may be acted upon by the Council. The Council reserves the right to add other items to the agenda. Anyone desiring a verbatim transcript of the meeting must make personal arrangements as the City takes only summary minutes. Persons with disabilities needing special accommodations to participate in this proceeding should contact City Hall at (850) 638-6350, at least 48 prior to the proceedings.

PLANNING & ZONING COMMISSION MEETING

November 7, 2023

3:00 p.m.

Members Present:

Mr. Tom Lancaster, Chairman
Mrs. Wanda Owens, Board Member

Mr. Jim Morris, Vice-Chairman
Mr. David Ridley, Alternate Board Member

Members Absent:

Mr. Holland Kent, Board Member

Others Present:

Mrs. Tamara Donjuan, Code Enforcement/Planning Officer Ms. Sherry Snell, Board Secretary

The data reflected in these proceedings constitute an extrapolation of information elicited from notes, observations, recording tapes, photographs, and/or videotapes. Comments reflected herein are sometimes paraphrased, condensed, and/or have been edited to reflect essential subject matter addressed during the meeting. Parties interested in receiving a verbatim account of the proceedings are responsible for coordinating with the City Administrator and providing their own representative and equipment pursuant to Chapters 119 and 283, Florida Statutes.

- A. Call To Order.** The meeting was called to order by Mr. Lancaster at 3:00 p.m.
- B. Prayer and Pledge.** Prayer was given by Mr. Morris. Mrs. Owens led the pledge to the American Flag.
- C. Approval of Agenda.**

A motion was made by Mr. Morris and seconded by Mrs. Owens to approve the agenda as presented. The motion passed unanimously.

D. Presentation and Approval of Minutes.

1. October 24, 2023 (Form 8b – Voting Conflict attached).

A motion was made by Mrs. Owens and seconded by Mr. Ridley to approve the minutes as presented. The motion passed unanimously.

E. Agenda Item.

- 1) Request for Development Order** – 1424 Jackson Avenue – Washington County Board of County Commissioners.

Mrs. Donjuan went over the summary of the request for the development order for a new free-standing wood framed entrance portico located at the front of the Agriculture Center. She stated someone from Alday Howell Engineering or Paul Donofro was supposed to be here but they may have forgotten. Mr. Morris stated if we put this project on hold then they would come to the next meeting. Mr. Lancaster said he was not opposed if someone wanted to make a motion to table this until a representative was present. Discussion ensued.

A motion was made by Mrs. Owens and seconded by Mr. Ridley to approve the Request for Development Order for Washington County Board of County Commissioners located at 1424

Jackson Avenue. The motion passed with three (3) ayes and one (1) naye, with Mr. Tom Lancaster opposed.

Mr. Morris asked Mrs. Donjuan to send the engineering firm a message that we will not approve anything else if a representative isn't here. Mr. Lancaster stated it was highly disrespectful and they were making an assumption that it would be approved.

- F. Other Business.**
- G. Adjourn.** The meeting was adjourned at 3:04 p.m.

Presented by: _____
Sherry Snell
Board Secretary

Mr. Thomas Lancaster
Chairman

PLANNING & ZONING COMMISSION MEETING

December 5, 2023

3:00 p.m.

Members Present:

Mr. Tom Lancaster, Chairman
Mrs. Wanda Owens, Board Member

Mr. Jim Morris, Vice-Chairman
Mr. Holland Kent, Board Member

Members Absent:

Mr. David Ridley, Board Member

Others Present:

Mrs. Tamara Donjuan, Code Enforcement/Planning Officer Ms. Sherry Snell, Board Secretary

The data reflected in these proceedings constitute an extrapolation of information elicited from notes, observations, recording tapes, photographs, and/or videotapes. Comments reflected herein are sometimes paraphrased, condensed, and/or have been edited to reflect essential subject matter addressed during the meeting. Parties interested in receiving a verbatim account of the proceedings are responsible for coordinating with the City Administrator and providing their own representative and equipment pursuant to Chapters 119 and 283, Florida Statutes.

- A. Call To Order.** The meeting was called to order by Mr. Lancaster at 3:00 p.m.
- B. Prayer and Pledge.** Prayer was given by Mr. Morris. Mr. Lancaster led the pledge to the American Flag.
- C. Approval of Agenda.**

A motion was made by Mr. Morris and seconded by Mr. Kent to approve the agenda as presented. The motion passed unanimously.
- D. Presentation and Approval of Minutes.**
1. November 7, 2023.

A motion was made by Mrs. Owens and seconded by Mr. Morris to approve the minutes as presented. The motion passed unanimously.
- E. Agenda Item.**

1) Request for Certificate of Appropriateness and Demo Permit – 5th Street – City of Chipley.

Mrs. Donjuan went over the summary of the request for the certificate of appropriateness and demo permit for the Mongoven building. Mr. Morris stated that at the last meeting they had decided if a representative wasn't available to answer questions that the item would not be voted on. A short recess was taken.

The meeting reconvened with Mr. Brent Melvin, David H. Melvin, Inc. joining by Zoom to answer any questions. Mr. Kent asked if an inspector would be on site to ensure that safety was a priority. Mr. Melvin stated that a pre-bid meeting was held and that safety was the main message. He added that they are familiar with all the potential bidders and they have good safety records. Mr. Morris asked about

the wall by the adjoining building. Mr. Melvin said they anticipate having to leave it as the same height as the building next door but would see more as the work started. The structural engineer will look at it again during the project construction to see what needs to be done. Discussion ensued.

A motion was made by Mr. Morris and seconded by Mrs. Owens to approve the Certificate of Appropriateness and Demo Permit for the City of Chipley. The motion passed unanimously.

- F. Other Business.**
- G. Adjourn.** The meeting was adjourned at 3:29 p.m.

Presented by: _____
Sherry Snell
Board Secretary

Mr. Thomas Lancaster
Chairman

CITY OF CHIPLEY

STAFF REPORT

SUBJECT: Request for Development Order & Certificate of Appropriateness – 684 7th Street – Wolfpack Alliance, LLC

MEETING DATE

Tuesday, January 23, 2024

PREPARED BY

Tamara Donjuan, Planning & Zoning Officer

SUMMARY

This will approve a Development Order and Certificate of Appropriateness for Wolf Pack Alliance, LLC located at 684 7th Street, Parcel ID: 00-1430-0000. This is located inside the historical district and the corridor development district which both require Planning & Zoning as well as City Council approval. The City Council will meet January 23, 2024 at 5:00 p.m. to review this request.

The proposed development meets all standards for uses allowed, density and intensity for the corridor development district. The property will aesthetically blend with the area and enhance the character of the city. The materials and design of the building will keep the character and charm of downtown. The proposed new development will not be in a flood zone.

RECOMMENDATION

City Staff recommend approval of the Development Order and Certificate of Appropriateness for Wolf Pack Alliance, LLC.

ATTACHMENTS

1. Development Order
2. Land Use Compliance Certificate
3. Application for Certificate of Appropriateness
4. Flood Map and miscellaneous documents
5. Civil Plans
6. List of materials to be used with photos attached.
7. Photos of the design of the building.

City of Chipley Development Order

File No. 484Fees Paid \$ 500Name of Owner: WDF Park Alliance, LLCPhone #: (503) 515-2925Address: 6420 NW LAMBERT LN CAMAS, WA 98607Name of Developer/Contractor: BOBBY BOWEN (KLB CONTRACTING, LLC)Address: 3085 NORTHRIDE LN. BONIFAY, FLPhone #: (850) 7686478Type of Development: RESTAURANT/FOOD VENDOR SERVICES Parcel Size: .14 ACRESLocation of Development: 684 7TH ST. CHIPLEY, FLLand Use Designation: COMMERCIAL Sq. Ft. of Building 2,400Site Plan Required? Yes ☒ No ☐Stormwater Permit Required? Yes ☐ No ☒City Utilities Needed? Potable Water ☒ Waste Water ☒ Natural Gas ☐ Garbage ☒

Attachments to Order: 1. _____ 2. _____

3. _____ 4. _____

Date of Planning & Zoning Commission Approval: JANUARY 23, 2024

Date of City Council Approval: _____

Contingencies/Conditions of Approval: _____

The City Council hereby authorizes the development of land within the City of Chipley, Florida, as specified herein. Any development undertaken pursuant to this order shall be in strict conformance with the application for development approval and site plan(s) as approved by the City.

Signature – City Administrator _____

Date _____

Attest _____

Date _____

Owner/Developer/Contractor: [Signature]

SEAL

Add/Change/Void Cash Receipt CD3007462

Section E, Item1.

Print Receipt	Void Receipt	Close Receipt	UBS	STS	FMS
---------------	--------------	---------------	-----	-----	-----

Money Received**+Add Money To Receipt**

	Amount	Type	Payment Info
	500.00	PP	VISA: 5989 / AUTH: 148153211

Provider Fees Paid: \$6.00**Distributions****+Add Distribution**

	Type	Amount	Apply To	Description	For	Discount Pen Forgive
	FMSD	500.00	DIST CD: 2550	PLANNING & ZONING FEES	KLB CONTRACTING	0.00

Operator Code: DEANNA**Receipt Code:** CD3007462**Receipt Date:** 12/20/23☐ **Voided****Distributions:** 500.00**Money:** 500.00**Change Due:** 0.00 **From:** KLB CONTRACTING**Email Address:****Destination Phone:**



City of Chipley

Land Use Compliance Certificate

Fee Amount \$ included PD



Verification provided for (Owner's Name): Wolf Pack Alliance LLC

Project Site Address: 684 7TH ST. CHIPLEY, FL

Phone Number: _____

Contractor Name/Address BOBBY BAWEN (KLB CONTRACTING, LLC)

Contractor Phone # (850) 768-6478 Parcel I.D. Number: 00-1430-0000

City of Chipley Future Land Use Designation

Low Density Residential	<input type="radio"/>	Neighborhood Commercial	<input type="radio"/>
Medium Density Residential	<input type="radio"/>	Historic Commercial	<input type="radio"/>
High Density Residential	<input type="radio"/>	Industrial	<input type="radio"/>
Historic <u>commercial</u>	<input checked="" type="radio"/>	Recreational	<input type="radio"/>
Commercial	<input type="radio"/>	Public/Semi Public/Educational	<input type="radio"/>

Flood Zone: ☐ Yes ☒ No Zone Type X

Scope of work (Please provide details of all work): SITE BUILT STEEL BUILDING WITH INTERIOR BUILD OUT AS PER ISSUED PRELIM CONSTRUCTION DRAWINGS

A site inspection has been performed on the above development site within the City of Chipley, Florida. It is hereby verified that all site development standards meet the City's land use, zoning and comprehensive planning requirements.

Applicant

12/18/23

Date

City Official Verifying Compliance

Date

Notice to Applicant: This certificate must be presented to the Washington County Building Official and is requisite to issuance of a "Certificate of Occupancy" for your construction project.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Section E, Item 1.

Name: Bobby Bowen

Address: 3085 Northside Ln.
Bonifay, FL 32425

Phone #: _____

Address of property to be improved: 684 7th St. Chipley, FL

List of improvements including materials to be used, paint colors, and other details which will alter the current appearance of the structure or property.

ENGINEERED STEEL BUILDING W/ METAL ROOF IN COLOR
W/ COLORED WALLS.

Note: Include a site plan showing location of proposed construction if the improvement is not on the existing structure.

I (name of applicant) Bobby Bowen certify that the information submitted truly reflects all improvements which will be made on the property. Should any changes be desired, I will notify the City of Chipley. I acknowledge that penalties can be the result of varying from the plans or description submitted and approved.

Signed: [Signature] Date: 12/18/23

Action: Approved _____ Not Approved _____

Comments: _____

Signature/Title/Authority

NWFWMD Report

Section E, Item1.

Geographical Information

Latitude/Longitude: 30.78023,-85.53765
 Address: 684 7th St, Chipley, FL, 32428, USA
 Parcel ID: 00000000-00-1430-0000
 Firm Panel (Preliminary): N/A
 Firm Panel (Effective): 12133C0070D

Effective SFHA Flood Map (Effective Issue Date: 7/4/2011)



Flood Information

Flood Zone Information

Preliminary Flood Zone

Location of Interest: N/A
 Parcel: N/A
 Base Flood Information*: N/A

Effective Flood Zone

Location of Interest: X
 Parcel: X:100%;
 Base Flood Information*: N/A

*The computed elevation to which floodwater is anticipated to rise during the base flood (100 Year Flood). Base Flood Elevations (BFEs) are shown on Flood Insurance Rate Maps (FIRMs) and on the flood profiles. The BFE is the regulatory requirement for the elevation or floodproofing of structures. The relationship between the BFE and a structure's elevation determines the flood insurance premium. Datum of measurement is NAVD1988.

Zone VE: A coastal area inundated by 100-year flooding and subject to a velocity hazard (wave action) where BFEs have been determined. **Zone AE:** An area inundated by 100-year flooding, for which BFEs have been determined. **Zone AO/AH:** An area inundated by 100-year flooding; (AO) Sheet flow, ponding, or shallow flooding where Base Flood Depths are provided; (AH) Shallow flooding base floodplain where BFE's have been determined. **Zone A:** An area inundated by 100-year flooding, for which no BFEs have been determined. **Zone 0.2PCT (0.2 PCT ANNUAL CHANCE FLOOD HAZARD/X500):** An area inundated by 500-year flooding and an area inundated by 100-year flooding with average depths of less than 1 foot or with drainage areas less than 1 square mile or an area protected by levees from 100-year flooding. **Zone X:** An area of minimal flood hazard.

Disclaimer:

Although derived directly from a variety of sources, including the Federal Emergency Management Agency's (FEMA's) Flood Insurance Rate Maps (FIRMs), the District's digital elevation model, the counties' digital parcel maps and data from other governmental sources, the data provided through this portal is for informational purposes only. The user is advised to be aware that for flood insurance or regulatory determinations, or for supporting an application for a Letter of Map Change (LOMC), only the official and latest FEMA FIRM and Flood Insurance Study (FIS) report should be consulted. Also, all elevation data submitted in support of a LOMC application must be certified by a licensed land surveyor, engineer, or architect. The NWFWMD, FEMA, its agents, and partners shall not be held responsible for the misuse or misinterpretation of the information presented in this portal.

Washington County, FL

Section E, Item 1.

IMPORTANT NOTICE

The Property Appraiser makes every effort to produce the most accurate information possible. No warranties, expressed or implied are provided for the data herein, its use or interpretation. The assessment information is from the last certified tax roll. All other data is subject to change. This website is **NOT TO BE USED AS AN OFFICIAL RECORD OR FOR FINANCING PURPOSES, INSURANCE PURPOSES, PROPERTY OWNERSHIP (Deeds are the official record of title), ELIGIBILITY FOR ANY PROGRAM, AND/OR ADDRESS VERIFICATION.** If you need address verification, please contact the E-911 Addressing Coordinator at (850) 638-6325.

Maps have been compiled from the most authentic information available and is to be used for assessment purposes only. Washington County Property Appraiser's Office assumes **NO** responsibility for the errors and/or omission contained herein. **THIS MAP IS NOT A SURVEY**

Parcel Summary

Parcel ID 00000000-00-1430-0000
 Location Address 684 7TH ST
 CHIPLEY 32428
 Brief Tax Description 4 4 13 ORB ORB 1246 P 752 S 50' OF LOTS 220,221 IN S1/2 OF NE1/4,(AND ORDINANCE #962 AS DESC IN ORB 1179 P 11)
 (Note: Not to be used on legal documents.)
 Property Use Code WAREHOUSE (4800)
 Sec/Twp/Rng 4-4-13
 Tax District Chipley (2)
 Millage Rate 20.6504
 Acreage 0.135
 Homestead N

[View Map](#)

*The Property Use code is a Department of Revenue code. For zoning information please contact the Planning and Zoning department at 850-415-5093.

Owner Information

Primary Owner
 WOLFPACK ALLIANCE LLC
 6420 NW LAMBERT LN
 CAMAS, WA 98607

Valuation

	2023 Final Values
Building Value	\$7,001
Extra Features Value	\$0
Land Value	\$10,450
Land Agricultural Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$17,451
Assessed Value	\$17,451
Exempt Value	\$0
Taxable Value	\$17,451
Save Our Homes or AGL Amount	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

Land Information

Land Use	Number of Units	Unit Type	Frontage	Depth
001000 - COMMERCIAL	55	FF	55	107

Building Information

Type WAREHOUSE
 Total Area 5,063
 Heated Area 4,646
 Exterior Walls BRICK
 Roof Cover GALV SHT M
 Interior Walls MASONRY
 Frame Type MASONRY
 Floor Cover NONE

Heat NONE
 Air Conditioning NONE
 Bathrooms 0
 Bedrooms 0
 Stories 0
 Actual Year Built 1901

Section E, Item1.

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book/Page	Vacant/Improved	Grantor	Grantee
N	6/30/2022	\$70,000	WD	1246/752	Improved	TAYLOR MARK	WOLFPACK ALLIANCE LLC
N	7/16/2019	\$47,500	WD	1150/361	Improved	CLOUD MICHAEL LAWRENCE	TAYLOR MARK
N	9/26/2014	\$100	WD	1018/346	Improved	CLOUD LAWRENCE	CLOUD MICHAEL LAWRENCE

Tax Collector Site

[Click here to view the Tax Collector website.](#)

Generate Owner List by Radius

Distance:

100

Feet



Use Address From:

☒ Owner ☐ Property

Select export file format:

Address labels (5160)



☒ Show All Owners

☐ Show Parcel ID on Label

Skip Labels

0

International mailing labels that exceed 5 lines are not supported on the Address labels (5160).
 For international addresses, please use the xls, csv or tab download format.

Download

Sketches

FOP	F OPEN PRC	322	1952
LDP	LOADG PLTF	95	1952
BAS	BASE AREA	4646	1952

35'

19'

101'

66'

46

46

Map



No data available for the following modules: Extra Features.

City of Chipley

SITE LOCATION

SITE

Map 18-116 City of Chipley

DESIGN CRITERIA:

FLORIDA BUILDING CODE - CURRENT EDITION
2003 IBC/IRC/IBC FRAME CONSTRUCTION HANDBOOK

BUILDING OCCUPANCY CATEGORY: (REFER ASCE 7-10 TABLE 6-1)

DESIGN LOADS:

- FLOOR - LIVE LOAD - 40 PSF
- FLOOR - DEAD LOADS - 50 PSF
- ROOF - LIVE LOAD - 20 PSF
- ROOF - DEAD LOADS - 15 PSF

WIND DESIGN:

EXPOSURE - B

WIND SPEED DESIGN - 130 MPH WITH 3 MINUTE GUSTS AT 33' ABOVE GROUND

ENCLOSURE CLASSIFICATION - ENCLOSED

INTERNAL PRESSURE COEFFICIENT - +0

- ☐ PRELIMINARY DESIGN SET
☐ DRG SUBMITTAL
☐ PLAN REVIEW SET
☐ FINAL REVIEW SET
☒ PERMIT SET

- ☐ **REVIEWED**
CHECKING THE ABOVE BOX INDICATES
THAT THE ENGINEER OF RECORD HAS
REVIEWED THE SIGNED AND SEALED
TRUSS DRAWINGS FOR GENERAL
CONFORMITY WITH THESE DESIGN
DOCUMENTS AND WITH REGARD TO TRUSS
COMPLIANCE, THIS ONLY.

SQUARE FOOTAGE
CALCULATIONS:

- 2,400 SQ FT HEATED AND COOLED
- 305 SQ FT ENTRY PORCH
- 2,045 SQ FT TOTAL SLAB UNDER ROOF
- 1,716 SQ FT COURTYARD AREA

THIS DRAWING PACKAGE HAS BEEN DEVELOPED BY MOOREAS AN INTERIOR BUILD-OUT OF A PRE-ENGINEERED METAL BUILDING FROM PERMA-TECH. PERMA-TECH PERFORMS ENGINEERING FOR PERMIT PLANS PROVIDED BY STEEL BUILDING SYSTEMS, INC. AUSTIN, TX.

PROJECT INFO	C1.0
SITE DEVELOPMENT PLAN	X1.0
LIFE SAFETY PLAN	A0.0
FLOOR PLAN	LS1.0
PARTIAL, ENLARGED FLOOR PLAN, NOTES	A1.0
ELEVATIONS	A1.1
ELEVATIONS	A2.0
FOUNDATION PLAN	A2.1
MEZZANINE FRAMING PLAN	A3.0
CONSTRUCTION SECTIONS, DETAILS	A3.1
MECHANICAL PLAN	A4.0
ELECTRICAL PLAN	M1.0
	E1.0

Diagram illustrating various symbols and abbreviations used in architectural drawings:

- DOOR REFERENCE**: Symbol showing a door with the number 0000.
- DOOR WIDTH**: Symbol showing a horizontal line.
- DOOR HEIGHT**: Symbol showing a vertical line.
- WINDOW REFERENCE**: Symbol showing a window with the number 0000.
- WINDOW WIDTH**: Symbol showing a horizontal line.
- WINDOW HEIGHT**: Symbol showing a vertical line.
- DETAIL NUMBER**: Symbol showing a circle with the number 44.
- SHEET NUMBER**: Symbol showing a circle with the number 44.
- ELEVATION REFERENCE**: Symbol showing a triangle with the number 44.
- SECTION REFERENCE**: Symbol showing a triangle with the number 44.
- DIRECTIONAL ARROW**: Symbol showing a triangle with the letter N.
- TITLE SCALE**: Symbol showing a triangle with the letter N and the word SCALE.
- PLAN REFERENCE**: Symbol showing a triangle with the number 44.

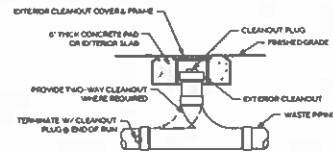
[illegible][illegible]

JOB #	2023-110
DRAWN BY:	JWM
PLOT DATE:	12/6/2023

PROJECT INFO

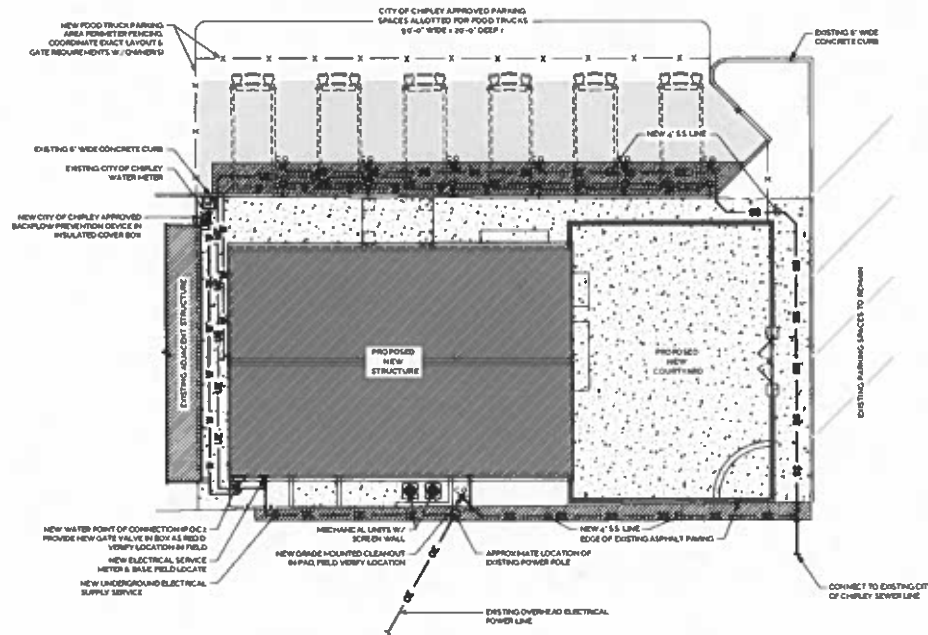
SHEET NUMBER

C1.0



1 TYP. EXT. CLEANOUT DETAIL

X1.0 NOT TO SCALE



SITE DEVELOPMENT PLAN
1" = 20' (1/4" = 10')

SITE DEVELOPMENT LEGEND

- NEW 60" x 40" PRE-ENGINEERED METAL BUILDING CONSTRUCTION
- NEW CONCRETE
- AREA OF EXISTING ASPHALT PAVING TO BE CUT AND REPAVED AS REQUIRED FOR INSTALLATION OF NEW ELECTRICAL, WATER, & SANITARY SEWER LINES AS PER PLAN COORDINATE EXACT LOCATIONS WITH APPROPRIATE SUB-CONTRACTORS. PATCH ASPHALT AS REQUIRED FOR PAVEMENT CONNECTION.
- NEW FOOD TRUCK HOOD-UP LOCATION.
 - ELECTRICAL PEDIESTAL W/ 50 AMP & 30 AMP RECEPTACLE & 30 AMP GFCI RECEPTACLE COORDINATE W/ OWNER & ELECTRICAL SUB-CONTRACTOR
 - WATER SUPPLY HOSE BIBB HOOD-UP
- NEW WATER SUPPLY LINE
- NEW SANITARY SEWER LINE
- NEW GRADE MOUNTED SANITARY SEWER-CLEAN-OUT MOUNTED IN CONCRETE PAD
- NEW UNDERGROUND ELECTRICAL SUPPLY LINE
- NEW UNDERGROUND ELECTRICAL SUPPLY LINE
- EXISTING OVERHEAD ELECTRICAL SERVICE LINE

SITE DEVELOPMENT NOTES:

1. THE INFORMATION PROVIDED ON THIS SITE DEVELOPMENT PLAN MAY HAVE BEEN DERIVED FROM A THIRD PARTY SURVEY AND / OR PROPERTY SEARCH DATA. ACTUAL PROPERTY INFORMATION MUST BE OBTAINED BY SURVEY IF REQUIRED FOR PERMITTING.
2. SITE CONDITIONS MAY VARY & EXACT LOCATION OF NEW STRUCTURE, SANITARY, WATER & WASTE CONNECTIONS, & ETC. TO BE DETERMINED & MODIFIED IN FIELD BY GENERAL CONTRACTOR COORDINATE LOCATION OF ALL SITE UTILITY CONNECTIONS BETWEEN THE APPROPRIATE UTILITY COMPANIES AND JOB-SITE UTILITY SUB-CONTRACTORS.



1348 N. RAILROAD AVE.
CHIPLEY, FL 32428
(904) 348-4447
WWW.MCORB.DESIGN

REV	DESCRIPTION

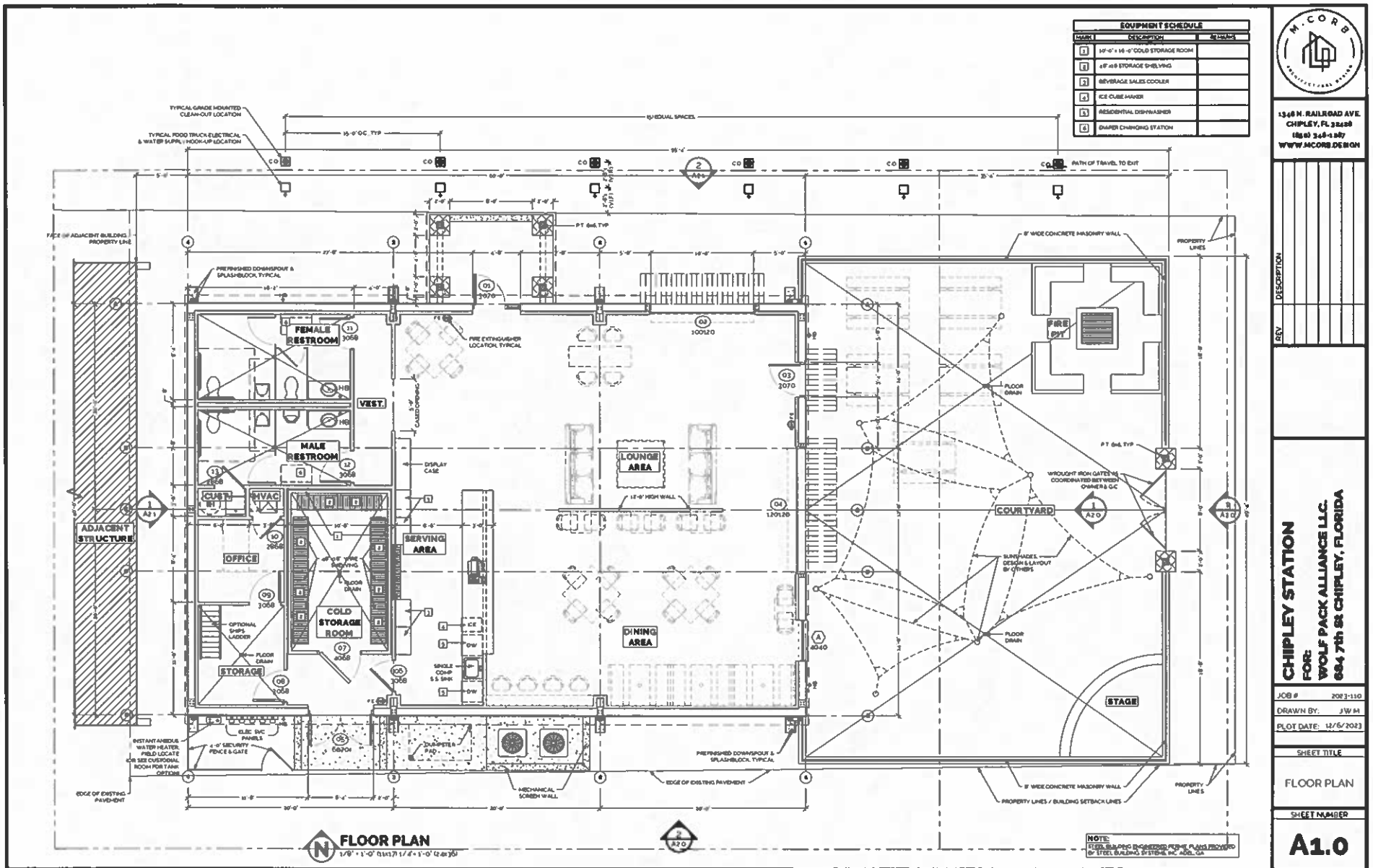
CHIPLEY STATION
FOR:
WOLF PACK ALLIANCE LLC.
664 7th St CHIPLEY, FLORIDA

JOB # 2023-110
DRAWN BY: JWM
PLOT DATE: 12/27/2023

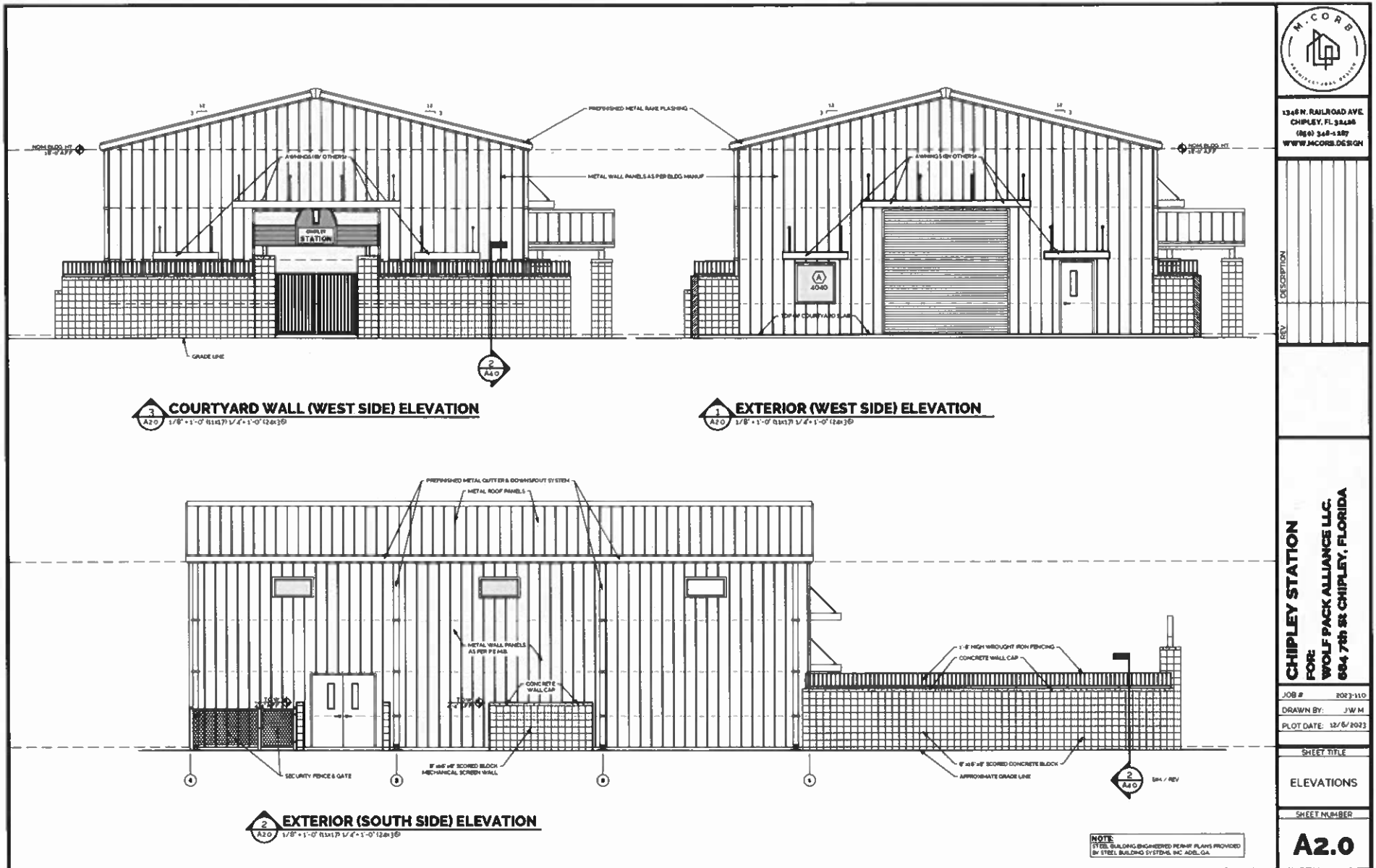
SHEET TITLE
SITE DEVELOPMENT PLAN

SHEET NUMBER

X1.0



A1.1



1348 N. RAILROAD AVE.
CHIPLEY, FL 32428
(904) 348-1888
WWW.MCORG.DESIGN

CHIPLEY STATION
FOR:
WOLF PACK ALLIANCE LLC.
684 7th St CHIPLEY, FLORIDA

JOB # 2023-110
DRAWN BY: J.W.M.
PLOT DATE: 12/6/2023

SHEET TITLE
ELEVATIONS

SHEET NUMBER

A2.0



1345 N. RAILROAD AVE.
CHIPLEY, FL 32426
(904) 348-1287
WWW.MCORE.DESIGN

[illegible]

CHIPLEY STATION
FOR:
WOLF PACK ALLIANCE LLC.
684 7th St CHIPLEY, FLORIDA

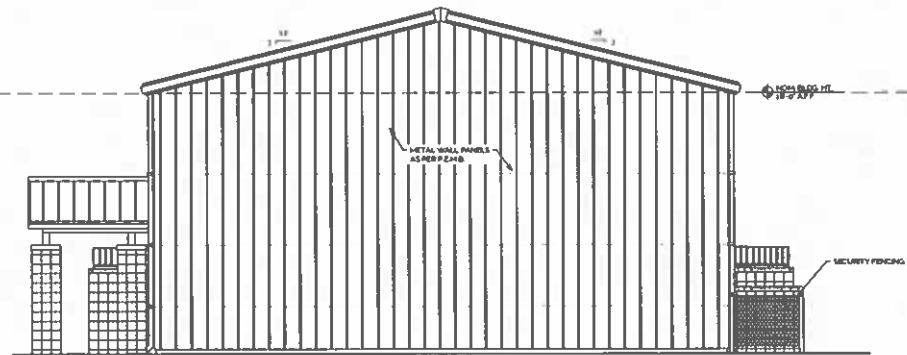
JOB #	2023-110
DRAWN BY	JWM
PLOT DATE:	12/6/2023

SHEET TITLE

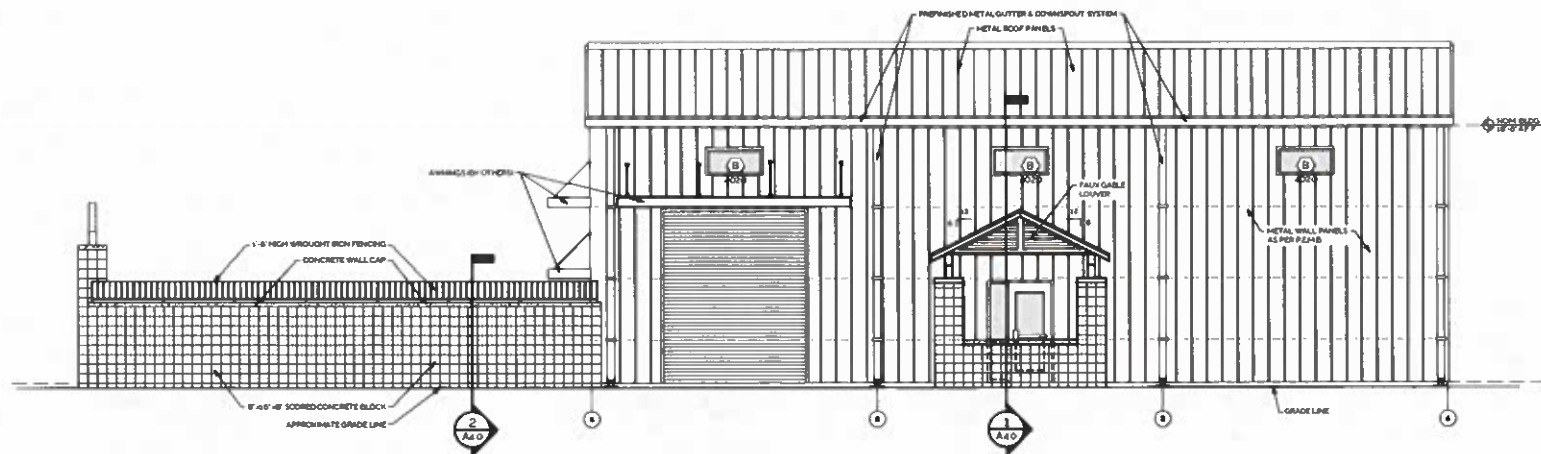
ELEVATIONS

SHEET NUMBER _____

A2.1

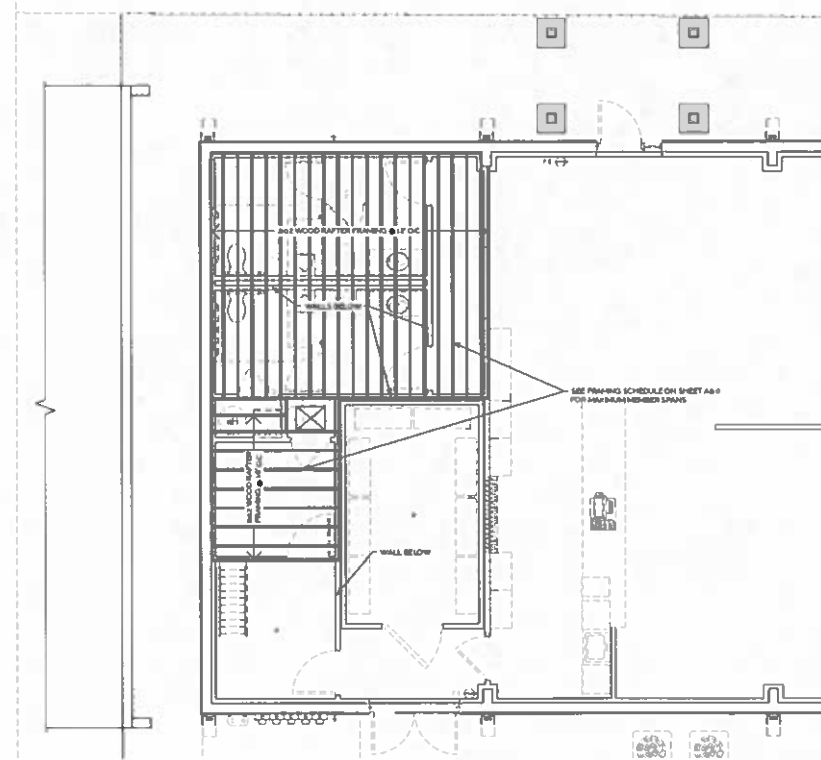


2 EXTERIOR (EAST SIDE) ELEVATION
1/8" = 1'-0" (12x17) 1/4" = 1'-0" (24x36)



EXTERIOR (NORTH SIDE) ELEVATION

NOTE
STEEL BUILDING ENGINEERED PER MFR PLANS PROVIDED
BY STEEL BUILDING SYSTEMS, INC. ADEL, GA



STORAGE MEZZANINE FRAMING PLAN
1/8" = 1'-0" (1/4" = 1'-0" (1/2" = 1'-0" (3/4" = 1'-0" (1" = 1'-0")



1346 N. RAILROAD AVE.
CHIPLEY, FL 32628
(904) 348-5887
WWW.MCORBDESIGN.COM

REV. DESCRIPTION

CHIPLEY STATION
FOR:
WOLF PACK ALLIANCE LLC.
664 7th St CHIPLEY, FLORIDA

JOB # 2083110
DRAWN BY: JWM
PLOT DATE: 12/5/2023

SHEET TITLE
MEZZANINE
FRAMING PLAN
SHEET NUMBER

A3.1



1346 N. RAILROAD AVE.
CHIPLEY, FL 32638
850 348-1887
WWW.MCORS.DESIGN

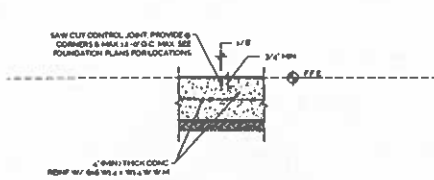
REV	DESCRIPTION

CHIPLEY STATION
FOR
WOLF PACK ALLIANCE LLC.
664 7th St CHIPLEY, FLORIDA

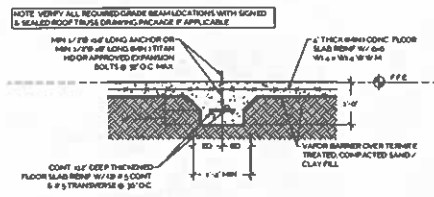
JOB # 203-3110
DRAWN BY: JWM
PLOT DATE: 12/8/2023

SHEET TITLE
SECTIONS & DETAILS
SHEET NUMBER

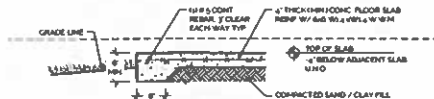
A4.0



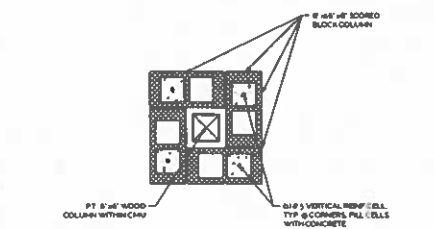
CONTROL JOINT DETAIL
A4.0 3/8" x 1'-0" (12x12) 3/4" x 1'-0" (12x12)



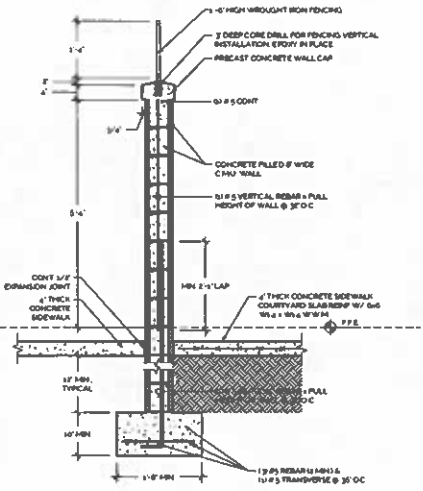
GRADE BEAM SECTION
A4.0 3/8" x 1'-0" (12x12) 3/4" x 1'-0" (12x12)



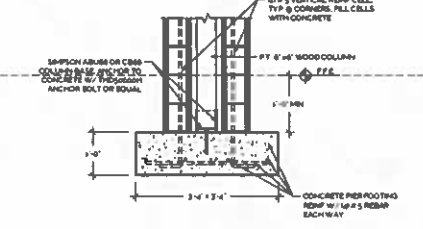
TYPICAL CONC. WALK / PAD / STOOP SECTION
A4.0 3/8" x 1'-0" (12x12) 3/4" x 1'-0" (12x12)



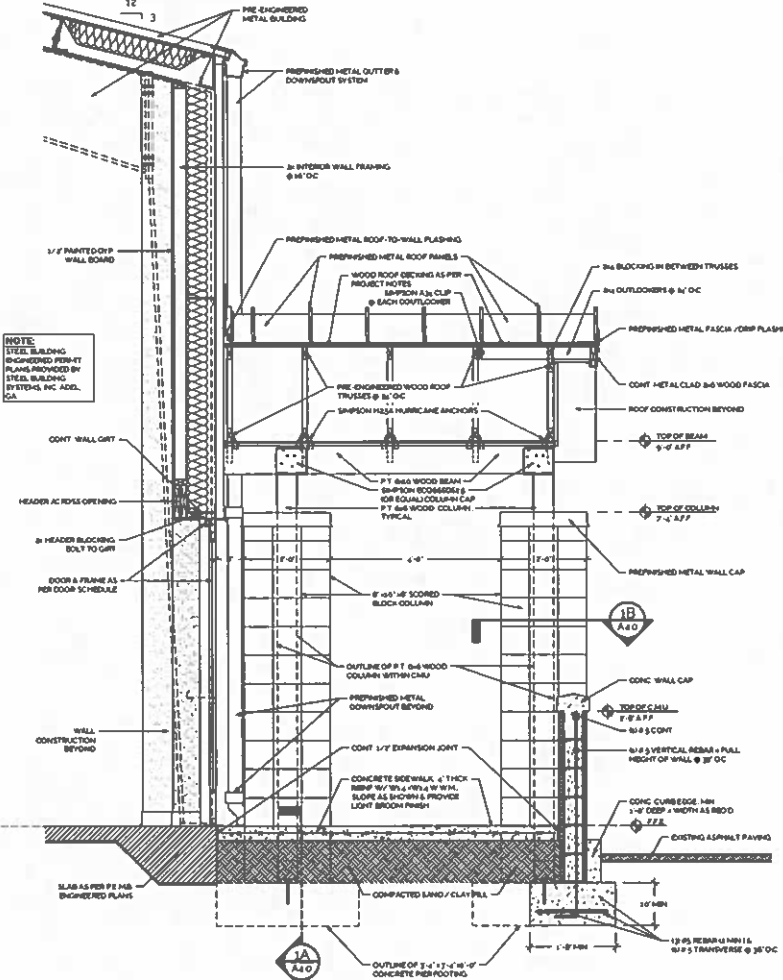
COLUMN SECTION
A4.0 1/2" x 1'-0" (12x12) 1/2" x 1'-0" (12x12)



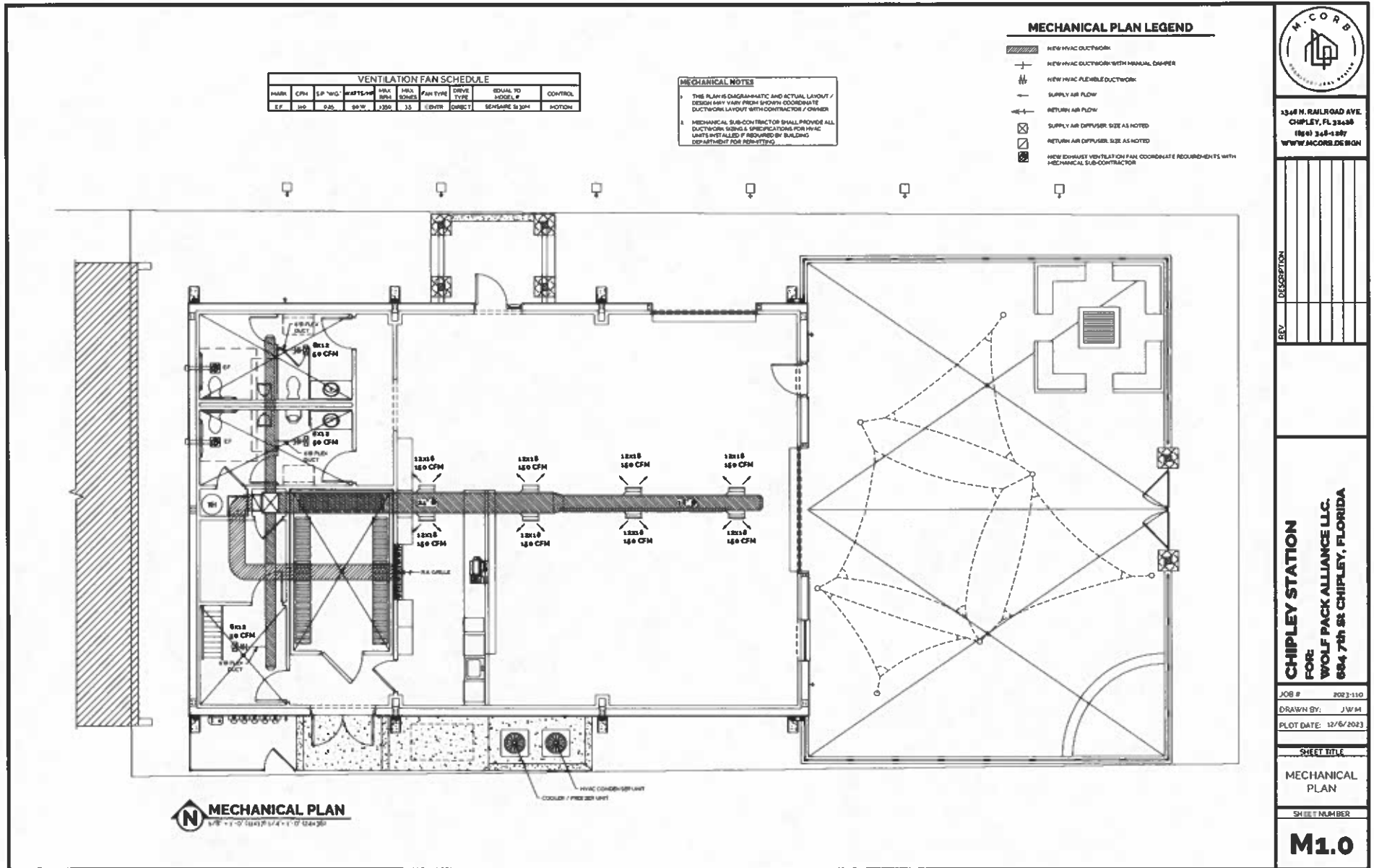
COURTYARD WALL SECTION
A4.0 3/8" x 1'-0" (12x12) 3/4" x 1'-0" (12x12)



COLUMN PAD SECTION
A4.0 3/8" x 1'-0" (12x12) 3/4" x 1'-0" (12x12)



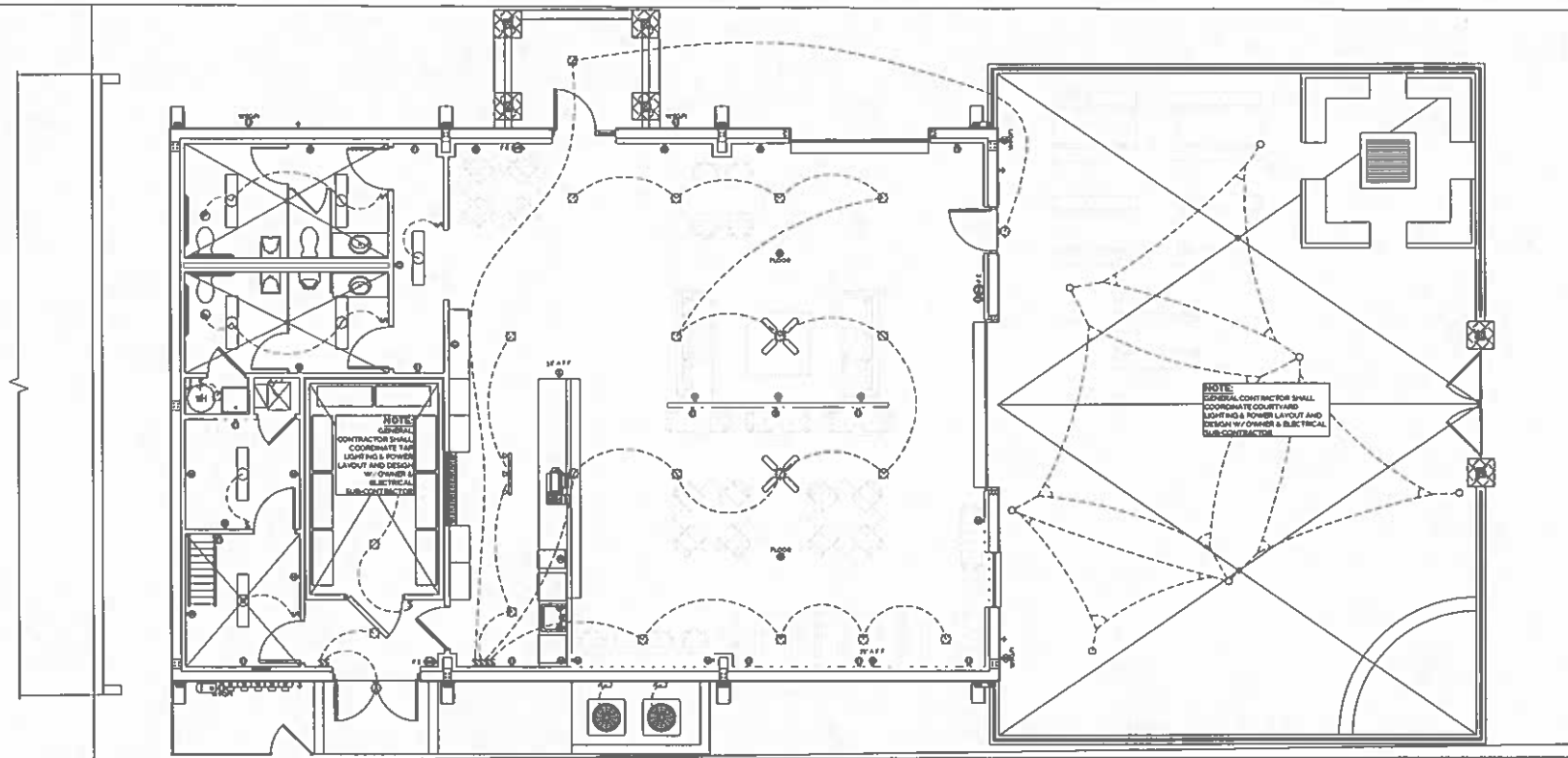
CONSTRUCTION SECTION
A4.0 3/8" x 1'-0" (12x12) 3/4" x 1'-0" (12x12)



ELECTRICAL LEGEND

LIGHTING & FIXTURES				SWITCHES & OUTLETS				MISC	
○	Ceiling Mounted or Suspended Light Fixture as Selected by G.C. / Owner	□	Recessed Lighting Fixture as Selected by G.C. / Owner	□	Strip Light Fixture as Selected by G.C. / Owner	□	Switch & A.F.F.	□	GFI Duplex Receptacle 150 V 15' A.F.F.
⊗	Ceiling Mounted Pendant Light as Selected by G.C. / Owner	□	Wall Mounted Vanity Light or G.C. / Owner	□	Fan Fixture as Selected by Owner, Switch Fan as Required	□	3 Way Switch & A.F.F.	□	GFI Duplex Receptacle 150 V 15' A.F.F. w/ Weather Proof Box
⊕	Wall Mounted Elec. Wall Switch Fixture as Selected by G.C. / Owner	□	Recessed Flood Lamp Fixture as Selected by G.C. / Owner	□	Fan / Light Fixture as Selected by Owner, Switch Fan as Required	□	Duplex Receptacle 150 V 15' A.F.F.	□	Duplex Receptacle 150 V Mounted Flush w/ Ceiling
○	Wall Mounted Elec. Light Fixture as Selected by G.C. / Owner	□	Under Counter Strip Light Fixture as Selected by G.C. / Owner	□	Fan with Optional Light Fixture as Selected by Owner, Switch Fan as Required	□	Duplex Receptacle 150 V Mounted Above Counter	□	Duplex Receptacle 150 V Mounted Flush w/ Floor
		□		□		□	800 V Receptacle	□	Quadplex Receptacle 150 V 15' A.F.F.
		□		□		□		□	

TYPICAL FLOOD TRUCK HOOD-UP LOCATION
ELECTRICAL PEDestal W/ 50 AMP & 30 AMP RECEPTACLE & 80 AMP GFI RECEPTACLE COORDINATE W/ OWNER & ELECTRICAL SUB-CONTRACTOR



ELECTRICAL PLAN 1/8" = 1'-0" (30x17/8" = 1'-0" 12x13/8")

ELECTRICAL NOTES

- THIS PLAN IS DIMENSIONAL AND ACTUAL LAYOUT / DESIGN MAY VARY FROM SHOWN ELECTRICAL FIXTURES AS PER OWNER / CONTRACTOR COORDINATE ANY GAS REQUIRED FIXTURES WITH OWNER AND MODIFY ELECTRICAL AS REQUIRED
- ELECTRICAL POWER & LIGHTING LOAD CALCULATIONS, DESIGN & INSTALLATION SHALL BE PROVIDED BY A FLORIDA LICENSED ELECTRICAL CONTRACTOR PER NEC, REQUIREMENTS / LOCAL CODES
- ELECTRICAL CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION
- PROVIDE AND INSTALL LOCALLY CERTIFIED SHOCK DETECTORS AS REQUIRED AS PER NFPA 70 & NEC SECTION 90.4 AND MEETING ANY ADDITIONAL REQUIREMENTS OF ALL GOVERNING CODES
- PER NEC 90.4.1 CARBON MONOXIDE PROTECTION: EVERY BUILDING FOR WHICH A PERMIT FOR NEW CONSTRUCTION IS ISSUED HAVING ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE ALARM INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING
- PER NEC 200.3 SECTION 800 - ALL 150 VOLT, SINGLE PHASE, 15 & 20 AMP BRANCH CIRCUITS SUPPLIES OUTLETS INSTALLED IN DWELLING UNITS 7 AMP, 15 AMP, 20 AMP, 30 AMP, 40 AMP, 50 AMP, 60 AMP, 70 AMP, 80 AMP, 90 AMP, 100 AMP, 125 AMP, 150 AMP, 175 AMP, 200 AMP, 250 AMP, 300 AMP, 350 AMP, 400 AMP, 450 AMP, 500 AMP, 550 AMP, 600 AMP, 650 AMP, 700 AMP, 750 AMP, 800 AMP, 850 AMP, 900 AMP, 950 AMP, 1000 AMP
- PER NEC 200.3 SECTION 800 - IN KITCHENS RECEPTACLES INSTALLED TO SERVE COUNTERTOP SURFACES SHALL HAVE GROUND FAULT INTERRUPTER GFI PROTECTION
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION WITH OWNER IF APPLICABLE ALL STYLES AND MANUFACTURERS OF ELECTRICAL FIXTURES AND DEVICE REQUIREMENTS PRIOR TO ROUGH IN & INSTALLATION
- ALL OTHER CODES (POWER, HOT, SHOCK, DOOR BELLS, THERMOSTATS, TIRE CHAIRS, DATA-COMM OUTLETS, ETC.) SHALL BE COORDINATED BY THE SUB-CONTRACTOR / SUB-CONTRACTORS & OWNER IF APPLICABLE
- VERIFY ALL ADDITIONAL OUTDOOR LIGHTING AND POWER SUPPLY CONDUIT REQUIREMENTS WITH GENERAL CONTRACTOR / SUB-CONTRACTORS & OWNER IF APPLICABLE COORDINATE ANY UNDER SLAB CONDUIT REQUIREMENTS WITH FOUNDATION CONTRACTOR



1348 N. RAILROAD AVE.
CHIPLEY, FL 32618
(904) 348-4887
WWW.JACOBSDESIGN.COM

REV	DESCRIPTION

CHIPLEY STATION
FOR
WOLF PACK ALLIANCE LLC.
864 7th ST CHIPLEY, FLORIDA

JOB # 2023-110
DRAWN BY: J.W.M.
PLOT DATE: 12/6/2023

SHEET TITLE
ELECTRICAL PLAN

SHEET NUMBER

E1.0

Tamara Donjuan

From: Mike McDonough <mike@wolfpackalliance.com>
Sent: Thursday, December 21, 2023 2:50 PM
To: Tamara Donjuan
Subject: Re: Chipley Station
Attachments: Door and window detail Chipley.docx

Hi Tamara,

I am including a list of materials (IE: window, door, siding etc) as well as the design work and seating plan we are using with the liquor commission. These are the types of doors/windows we will be using (Brands my change), the stone/brick is still in the design phase but these are the styles we are looking at. Light fixtures and accessory stuff has not been decided yet but will be a form of Gaslight styling around each side. Design work will be here tomorrow (Fri) and I will send in a separate email. let me know if there is any more info you will need from me.

Mike

Garage doors Black frames):

https://luxgaragedoors.com/products/contemporary-black-aluminum-clear-tempered-glass-garage-door?variant=36099129573543¤cy=USD&utm_medium=product_sync&utm_source=google&utm_content=sag_organic&utm_campaign=sag_organic&gclid=Cj0KCQiAm4WsBhCiARIsAEJIEzWBc67FfApdEbZQvflGou0S4agwR1Dbdh8LEEaQ7dHNQsBUfhUp04gaAlZjEALw_wcB

Glass man doors (black frames):

<https://storefrontdoorsusa.com/product/commercial-right-hand-rh-storefront-door-with-12-sidelites/>

Canopies for windows/doors (black):

https://canopia.com/product/sophia-xl-5-ft-x-10-ft/?attribute_structure_color=grey&attribute_glazing=white&attribute_product-series-name=sophia-xl

Windows: (black)

<https://crystalwindows.com/product/series-2100-heavy-commercial-architectural-aluminum-thermal-break-picture-fixed-windows/>

Main entrance: (Northside)

Stick built awning/cover with stone/brick pillars. Wood upper portion to be black with stain wood inner ceiling, stone/brick still being designed but will match with walls, etc.

Metal door (black) for back entry (Vendor):

<https://www.trudoor.com/commercial-hollow-metal-doors/double-doors/>

Siding: 26 gauge Galvalume seamed metal siding (white with 3' black lower skirt)

Fencing: Where metal fencing is installed around patio, etc It will be a form of black steel/stone see thru, exact design is still being worked out as we want to make sure the liquor commission guidelines are met:

<https://www.royalfoam.us/product-page/fence-0008>

Lighting:

We have not picked out fixtures, all lighting will be black framed. Colonial gas lamp style.

Fencing around mechanical/garbage area :

https://www.northerntool.com/products/tube-slats-6ft-vertical-tube-privacy-slats-82-pc-set-black-covers-10-linear-feet-model-st6bl-82740?srsId=AfmBOoork4TlahailqKYKxb3trUOYF_rJRcBNg9pn4AY3WNN355Xyj0leBE

On Tue, Dec 19, 2023 at 2:10 PM Tamara Donjuan <TDonjuan@cityofchipley.com> wrote:

That sounds great. Thank you.

Tamara Donjuan

Code Enforcement / Planning and Zoning Officer

1442 Jackson Ave.

Chipley, FL 32428

(850)638-6350



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Dec 19 th

Chibley Station: (Doors/windows)

Doors:

- 1) Roll up glass front garage style door. – 12'w X 12'h (Bid with and without opener) (QTY 1) Black metal frame
- 2) Roll up glass front garage style door. -10'w X 12' h (Bid with and without opener) (Qty 1) Black metal frame
- 3) Glass entry man door -3070 w/sidelight (Qty 1) Black metal frame
- 4) Glass entry man door -3070 (Qty1) Black metal frame
- 5) Full metal man double door -6070 (Qty 1) Black
- 6) Interior man doors (Wood door finished with metal frame finished bronze) -3068 (Qty 5)
- 7) Interior man doors (Metal insulated door finished with metal frame finished bronze) -4068 (1)
- 8) Interior man doors (Wood door finished with metal frame finished bronze) - 2868 (Qty 2)

Windows:

- 9) Fixed double pane glass window -4040 (Qty 1) Black metal frame
- 10) Fixed double pane glass window -4020 (Qty 6) Black metal frame



BLACK (GARAGE DOORS)



BLACK (ENTRY)



BLACK (AWNING)



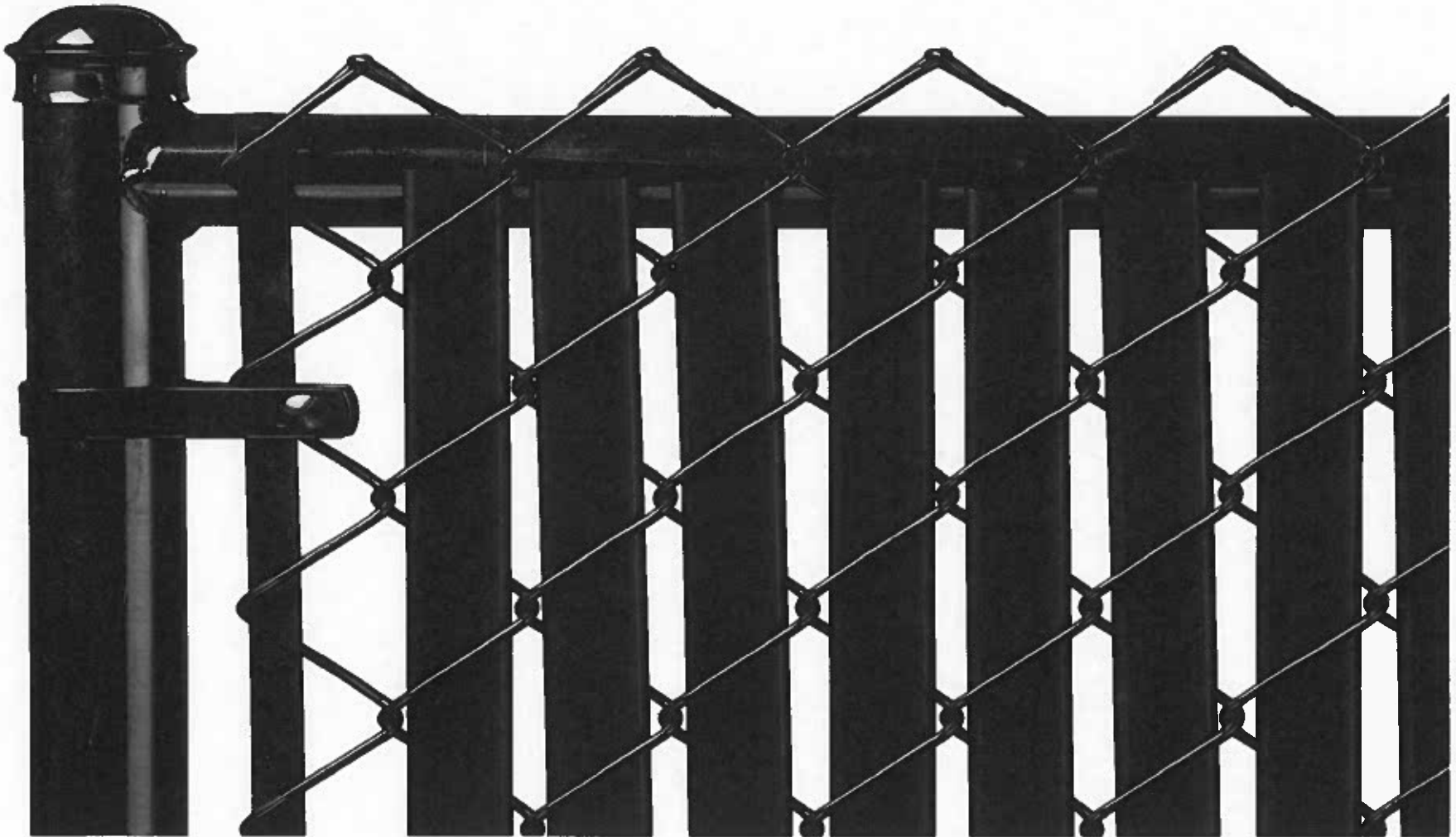


TRUDDOR®

BLACK (VENDOR)



BLACK STEEL FENCING WITH STONE FOR COURTYARD



BLACK FENCING FOR MECHANICAL/GARBAGE AREA





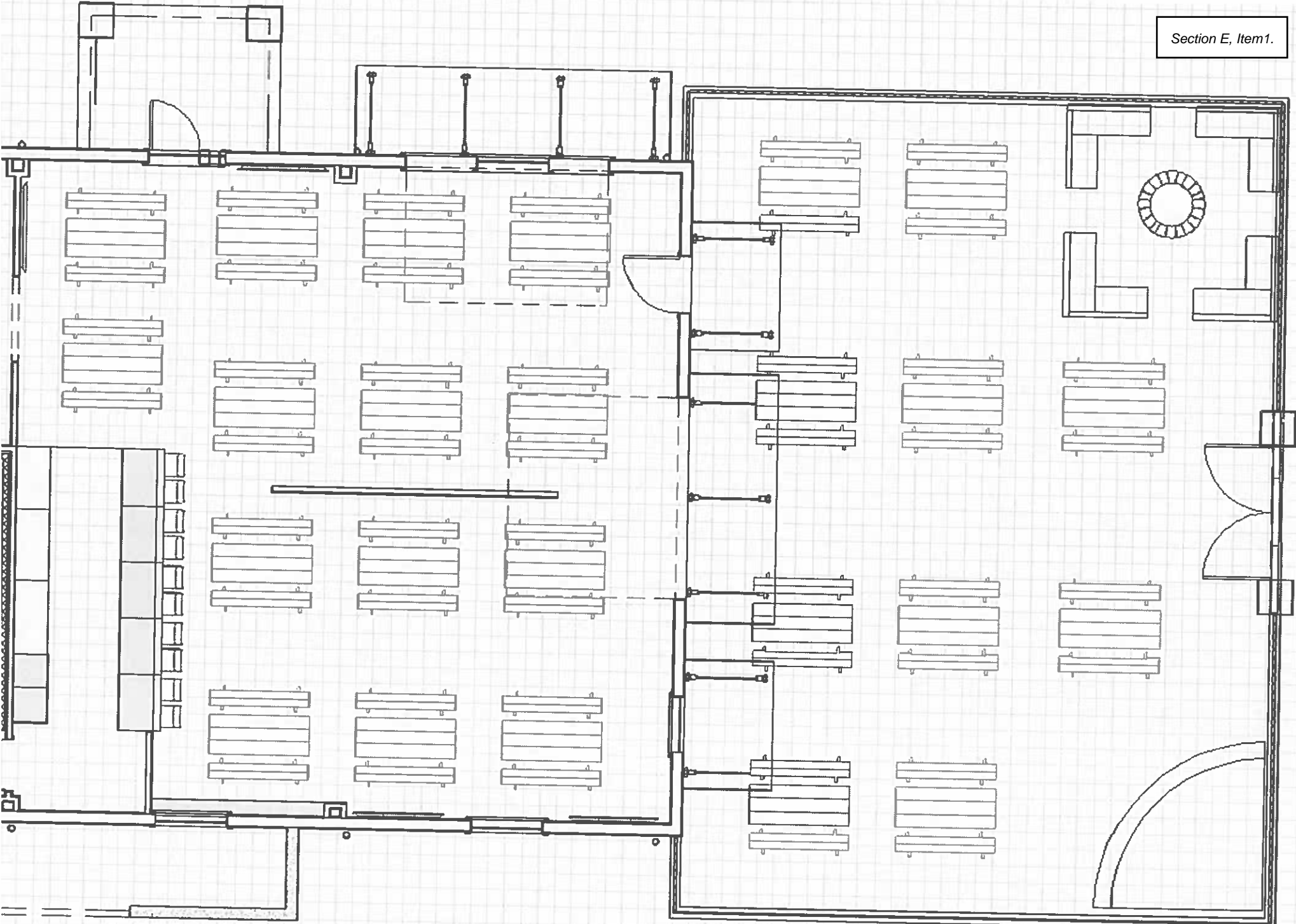












You are invited to a Zoom webinar.

When: **January 23, 2024 03:00 PM** Central Time (US and Canada)

Topic: **Planning & Zoning Commission Meeting**

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/89237428977>

Or One tap mobile :

+13052241968,,89237428977# US

+16465588656,,89237428977# US (New York)

Or Telephone:

Dial(for higher quality, dial a number based on your current location):

+1 305 224 1968 US

+1 646 558 8656 US (New York)

+1 646 931 3860 US

+1 301 715 8592 US (Washington DC)

+1 309 205 3325 US

+1 312 626 6799 US (Chicago)

+1 669 444 9171 US

+1 669 900 9128 US (San Jose)

+1 689 278 1000 US

+1 719 359 4580 US

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