

CAROLINA BEACH

Planning and Zoning Meeting

Thursday, August 08, 2024 – 6:00 PM

Council Chambers, 1121 N. Lake Park Boulevard, Carolina Beach, NC



AGENDA

CALL TO ORDER

CONFLICT OF INTEREST

Members of Planning and Zoning shall not vote on recommendations, permits, approvals, or other issues where the outcome of the matter being considered is reasonably likely to have a direct, substantial, and readily identifiable financial impact on the member or a member has a close familial, business, or other associational relationship. No member shall be excused from voting except upon those matters as noted, above, or upon those others involving the consideration of his own financial interest or official conduct. (160D-109)

APPROVAL OF MINUTES

1. June 13th, 2024 – P&Z Minutes

STAFF REPORT ON RECENT COUNCIL MEETINGS

STAFF REPORT ON RECENT DEVELOPMENTS

PUBLIC DISCUSSION

2. Conditional Zoning to consider an addition to a bar at 3 Cape Fear Blvd. Applicant: Ant Bates Motel LLC

DISCUSSION ITEMS

NON-AGENDA ITEMS

ADJOURNMENT



AGENDA ITEM COVERSHEET

PREPARED BY: Gloria Abbotts, Senior Planner

DEPARTMENT: Planning &
Development

MEETING: Planning & Zoning Commission – August 8th, 2024

SUBJECT: June 13th, 2024 – P&Z Minutes

Action:

Approve the June 13th, 2024 Minutes

CAROLINA BEACH

Planning and Zoning Commission Meeting

Thursday, June 13, 2024 - 6:00 PM

Council Chambers, 1121 N. Lake Park Boulevard, Carolina Beach, NC



MINUTES

CALL TO ORDER

Chairman Rouse called the meeting to order at 6:00 PM.

PRESENT

- Chairman Wayne Rouse
- Vice Chairman Jeff Hogan
- Commissioner Melanie Boswell
- Commissioner Ethan Crouch
- Commissioner Todd Piper
- Commissioner Bill Carew
- Commissioner Lynn Conto

ALSO PRESENT

- Community Development Director Jeremy Hardison
- Senior Planner Gloria Abbotts

CONFLICT OF INTEREST

Members of Planning and Zoning shall not vote on recommendations, permits, approvals, or other issues where the outcome of the matter being considered is reasonably likely to have a direct, substantial, and readily identifiable financial impact on the member or a member has a close familial, business, or other associational relationship. No member shall be excused from voting except upon those matters as noted, above, or upon those others involving the consideration of his own financial interest or official conduct. (160D-109)

APPROVAL OF MINUTES

1. March 14, 2024 – P&Z Minutes

ACTION: Motion to approve the minutes as written

Motion made by Chairman Rouse, seconded by Vice Chairman Hogan

Voting Yea: Chairman Rouse, Vice Chairman Hogan, Commissioner Boswell, Commissioner Crouch, Commissioner Piper, Commissioner Carew, Commissioner Conto

Motion passed unanimously

STAFF REPORT ON RECENT DEVELOPMENTS

Ms. Abbotts reported the following statistics since March:

Permitting

- 123 permits (renovation, repair, grading, additions, fences)
- 15 residential new construction
- 8 certificates of occupancy

Code Enforcement

- 19 complaints received
- 21 resolved

Demos

- 606 South 5th Street
- 925 Carolina Sands Drive

New Businesses

- Puffy's Magic Dragon (restaurant) – 304 North Lake Park Boulevard
- Sea Creature Supplies & Rare Goods (retail) – 103 Charlotte Avenue, Unit 100
- Sandal Factory of Carolina Beach (retail) – 6 Harper Avenue and 9 Carolina Beach Avenue North
- Siren Fitness Studio (personal training) – 1003 Bennet Lane, Suite K
- CB Snow Cones – 105 Carolina Beach Avenue North
- Melecios Fiesta Bar 3 (restaurant) – 219 Myrtle Avenue
- Donthemons Irie Items (retail) – 9 South Lake Park Boulevard, Unit A2
- Michaelangelo's Gelato – 9 South Lake Park Boulevard, Unit A3
- Sunny Daze Smokehouse (restaurant) – 9 Pavilion Avenue South

Town Council and Other Updates

- 205 Harper Avenue – denied by Council
- Elevator height text amendment – approved by Council
- Wine and beer shop text amendment – approved by Council
- Low-speed vehicle (LSV) text amendment – approved by Council
- 401 Marina Street Special Use Permit (SUP) modification – denied by Council
- Silver Dollar rooftop bar expansion – upcoming Conditional Zoning (CZ) request

PUBLIC DISCUSSION

None

DISCUSSION ITEMS

2. Text Amendment to Chapter 40, Article III Zoning District Regulations, Article V Off-Street Parking and Loading Requirements; Parking, and Article IX Development Standards for Particular Uses to Amend Standards for Wine and Beer Shops
Applicant: Town of Carolina Beach

Council adopted a text amendment in April of this year to allow for wine shops and beer shops with on-premise alcohol sales as a use in the Marina Business (MB) district by right. However, upon recognizing unintended consequences, there was a need to re-evaluate the ordinance change. Previously, wine

and beer shops were limited to retail and off-premise sales only, until an amendment in April 2023 permitted on-premise sales after an amendment was proposed by a private business.

PROPOSAL

Wine and beer shops (on-premise) are currently allowed by right in the Central Business District (CBD), Highway Business (HB), Neighborhood Business (NB), and MB districts. This text amendment proposes to return the wine and beer shop ordinance to the standards that were in place in April 2023. Upon further research, the approved allowance expands the way the Town has treated alcohol permits with establishments being permitted by right for wine and beer and undermines bar regulations.

WINE SHOP

The proposed ordinance permits wine shops (on-premise) in the CBD, HB, and NB zoning districts, in alignment with Alcoholic Beverage Control (ABC) regulations. These establishments can sell unfortified wine for on-premise consumption, not exceeding 40% of total sales in any 30-day period, subject to ABC audit.

BEER SHOP

Beer shops need to obtain an on-premise malt beverage permit to allow for the retail sale of malt beverages for consumption on- and off-premise without any limitation or percentages to off-premise sales. The existing ordinance allowed for beer shops to be permitted by right in MB and undermined the bar and tavern requirements by allowing on-premise beer sales without CZ. Beer shops are only permitted in NB. To reduce the impacts from the use of adjoining properties, restrictions were adopted for any outdoor or indoor areas to be setback from an adjacent property line or residential use.

The text amendment adopted in April 2023 consisted of defining both uses. Beer shops are defined as an establishment substantially engaged in retail sale of malt beverages on- and off-premises subject to ABC Commission regulations. Wine shops are defined as an establishment substantially engaged in retail sale of unfortified wine and fortified wine for consumption on- and off-premises subject to ABC Commission regulations.

PARKING

When the amendment was adopted in April 2023, wine and beer shops were categorized under eating and drinking establishments. Under the existing ordinance, all wine and beer shops were considered retail. This is important because the change of use would trigger a different parking standard. Parking for retail is calculated at one parking space per 200 square feet of retail space. Parking for eating and drinking establishments is calculated at one space per 110 square feet.

LAND USE PLAN

While the Land Use Plan doesn't explicitly address wine and beer shops, the proposed amendment aligns with the plan's goals of fostering a healthy year-round economy and maintaining a family-friendly community.

Ms. Abbotts presented the details.

ACTION: Motion to open the public hearing

Motion made by Chairman Rouse

Voting Yea: Chairman Rouse, Vice Chairman Hogan, Commissioner Boswell, Commissioner Crouch, Commissioner Piper, Commissioner Carew, Commissioner Conto

Motion passed unanimously

No one requested to speak.

ACTION: Motion to close the public hearing

Motion made by Chairman Rouse, seconded by Vice Chairman Hogan

Voting Yea: Chairman Rouse, Vice Chairman Hogan, Commissioner Boswell, Commissioner Crouch, Commissioner Piper, Commissioner Carew, Commissioner Conto

Motion passed unanimously

Chairman Rouse said this issue has already been discussed at length and voted upon unanimously, and his mind hasn't changed since then. He asked if anyone had a change of opinion or discussion to add.

ACTION: Motion that the Planning and Zoning Commission, whereas in accordance with the provisions of the North Carolina General Statute, does hereby find and determine that the adoption of the following ordinance amendment to amend Chapter 40, Article III Zoning District Regulations, Article IX Development Standards for Particular Uses, and Article V Off-Street Parking and Loading Requirements for Wine Shops and Beer Shops is consistent with the goals and objectives of the adopted Land Use Plan and other long-range plans

Motion made by Commissioner Piper, seconded by Vice Chairman Hogan

Voting Yea: Chairman Rouse, Vice Chairman Hogan, Commissioner Boswell, Commissioner Crouch, Commissioner Piper, Commissioner Carew, Commissioner Conto

Motion passed unanimously

3. Conditional Zoning to Consider a Two-Unit Planned Unit Development at 2 North Carolina Avenue to Reduce the 15-Foot Separation Requirement
Applicant: Michael Rose Properties, LLC

Michael Rose Properties, LLC, has applied for a CZ application for a Planned Unit Development (PUD) project in the Multi-Family (MF) residential district, proposing two units. While PUDs with four units or fewer are permitted by right, the applicant seeks to reduce the 15-foot separation requirement to 12.5 feet, necessitating CZ approval.

Prior to scheduling a public hearing on the rezoning application, the applicant shall conduct one public input meeting and file a report of such results with the Zoning Administrator. In approving a petition for the reclassification of property to a CZ district, the Commission may recommend that the applicant add reasonable and appropriate conditions to the approval of the petition.

If the applicant does not agree with the Commission's or staff's recommendations of additional conditions, Council shall have the authority to accept none, any, or all of the conditions forwarded from the review process.

PROPOSAL

The applicant is proposing to construct an additional home on the property at 2 North Carolina Avenue. The project will include two single-family homes. The existing home is a one-story cottage with three bedrooms that was built in 1964. The additional home would be two or three stories with three bedrooms. The purpose of MF is to provide for moderate- to high-density single-family and multi-family residential uses and other compatible uses of varying types and designs. It functions as an alternative housing type near or in direct relationship to single-family detached housing while in harmony with and maintaining the integrity of the residential district.

The maximum lot coverage is 40%, which includes the footprint of the building, decks, and steps. The applicant's proposed total lot coverage equals 1,973 square feet or 36.46%; 25% of the gross acreage of a residential PUD shall be permanent open space. The applicant is providing 2,527 square feet or 50.54%. The structures will not exceed the 50-foot height limit.

The applicant does not meet the minimum separation between structures because structures are defined as anything constructed or erected with a fixed location on the ground or attached to something having a fixed location on the ground. The applicant proposes stairs and landings between the two buildings on the site. The face of each building meets the 15-foot separation requirement, but the setback between the stairs is 12.5 feet. The ordinance states that setbacks may depart from the minimum requirement if there is a recommendation for approval by the Town's Fire Marshal and they meet extra provisions as provided by the Fire Marshal. The departure from the required setback must be recommended for approval or denial by the Commission and formally approved by Council.

The Fire Marshal recommends approval of the staircases in the 15-foot setback area if they are constructed with a non-combustible material. This addresses safety concerns associated with the proximity of structures and ensures compliance with fire safety.

Setbacks in MF are 10 feet (front), 10 feet (rear), and 7.5 feet (sides). HVAC and stairs are permitted to encroach in the minimum setbacks. The proposed structure meets all minimum setbacks for the district. The applicant is providing the minimum required three parking spaces per unit for a total of six parking spaces. No landscape buffer is required for a two-unit PUD. The maximum density in MF is 17 units/acre. The total density allowed on this 5,000-square-foot lot is two units. The driveway width at the property line may not exceed 36 feet.

CZ PROCESS

As part of the application process, a community meeting is required. The applicant held the required meeting on April 23, 2024. The applicant has provided summary comments from the meeting. Based on the comments from the meeting, the applicant can place conditions on the project to help mitigate the impacts and concerns from neighboring properties.

PROPOSED CONDITIONS

1. All Federal, State, and Local ordinances shall be met.
2. Stairs and landing shall be constructed of non-combustible materials.

RECOMMENDATION

Staff recommends approval of the project as proposed.

LAND USE PLAN

The project is in general conformity with the 2020 Land Use Plan for Medium Density Residential: mostly medium-sized lots (minimum 5,000 square feet) with primarily single-family detached residences.

Ms. Abbotts presented the details. She reviewed surrounding uses and history of the property and showed the proposed site plan. Ms. Abbotts said two people attended the community meeting, and there were no concerns brought up or changes to the plan made as a result.

Commissioner Conto said there is a deck within the 12.5 feet and asked if that will be removed. Ms. Abbotts said they will be removing a portion of the existing deck to accommodate for a larger separation there.

Commissioner Carew asked if both buildings by right could be as high as 50 feet each. Ms. Abbotts said yes.

ACTION: Motion to open the public hearing

Motion made by Chairman Rouse, seconded by Vice Chairman Hogan

Voting Yea: Chairman Rouse, Vice Chairman Hogan, Commissioner Boswell, Commissioner Crouch, Commissioner Piper, Commissioner Carew, Commissioner Conto

Motion passed unanimously

Chairman Rouse asked if the applicant would like to speak.

Michael Rose, owner of the property, said they want to put stairs and a landing on the side to enable people to park underneath instead of in between buildings, and this also enables them to not go as high because they don't want to block neighbors. He said if they can't put the stairs on the side, the width of the building footprint would only be 21 feet and would not allow parking underneath.

No one else requested to speak.

ACTION: Motion to close the public hearing

Motion made by Chairman Rouse, seconded by Vice Chairman Hogan

Voting Yea: Chairman Rouse, Vice Chairman Hogan, Commissioner Boswell, Commissioner Crouch, Commissioner Piper, Commissioner Carew, Commissioner Conto

Motion passed unanimously

Commissioner Carew said while the applicant may not intend to do a height of 50 feet, there is no guarantee about what could be done in perpetuity. He asked if there may be any resulting unintended consequences.

Commissioner Crouch said CZ approval would stay with the land, so any approved additional conditions would be required even if they sell the parcel.

Chairman Rouse asked if the existing structure was ever destroyed whether the property owner could put a new structure there with a 50-foot height. Mr. Hardison said that would be deemed a major modification and would have to come back through the process for tearing down and rebuilding.

Commissioner Boswell asked if the property owner could build up on the existing structure up to 50 feet by right. Mr. Hardison said there are some trigger points that would kick in, such as whether it would require another parking space.

Commissioner Piper said he understands the applicant's intent to maximize use of the land and appreciates that he's not trying to reach 50 feet. He said most of the questions Commissioners have rest on what the applicant's long-term intention is for the original cottage on the site.

Mr. Rose said it's not feasible to build up on the cottage due to the age of the structure. He said there are no plans to do anything with it, and the goal is to build the new home behind it and see over it. Mr. Rose said if something happened to the cottage down the road and it's not worth fixing, he could build a sister house like the one he is proposing, which would have a smaller base footprint than the existing house. He said he intends for the proposed house to be his last project, and he plans to live in the new house and do short-term rentals in the old one.

Commissioner Crouch asked if the four required trees would go on the north side of the property. Ms. Abbotts said the ordinance requires one tree per 25 square feet of frontage, but they can be anywhere on the lot. Mr. Rose said they already have four trees, and Ms. Abbotts said existing trees would count.

Commissioner Carew said there are enough triggers on the cottage that no matter what happens it would come through CZ again, so he doesn't think there's an issue.

ACTION: Motion to close the public hearing

Motion made by Chairman Rouse, seconded by Vice Chairman Hogan

Voting Yea: Chairman Rouse, Vice Chairman Hogan, Commissioner Boswell, Commissioner Crouch, Commissioner Piper, Commissioner Carew, Commissioner Conto

Motion passed unanimously

Commissioner Carew said this looks like a good project, and he doesn't see any unintended consequences with approving it.

Commissioner Piper said he's fine with it.

Vice Chairman Hogan said he's good with it also.

Commissioner Conto said she agrees with the previous comments.

Commissioner Crouch said because this is a CZ application, Commissioners have the opportunity to place conditions upon the applicant. He said if the Town is giving up some of the setback, they may want to take the opportunity to require additional landscaping or other conditions.

Chairman Rouse asked if a height restriction could be put on the original structure. Mr. Hardison said this would be possible if the applicant would agree to it. Chairman Rouse asked Mr. Rose if he would agree to a height limit on any new structure in the future where the existing cottage is now. Mr. Rose said this is a question he hadn't considered, and he is concerned that limiting the height of the oceanfront house could be problematic because if it got wiped out, it wouldn't make any sense to build a one-story house there due to the land being so valuable.

Vice Chairman Hogan asked if Mr. Rose would agree to not going above what the height of the new structure is. Mr. Rose said he was OK with that.

Commissioner Boswell asked what the height of the proposed house is. Mr. Rose said he doesn't know yet because he can't design a house until he knows if he has CZ approval. He described his preliminary plans floor-by-floor, and Commissioner Piper said 44 feet is what he determined to be the height.

ACTION: Motion that whereas in accordance with the provisions of the North Carolina General Statute, the Planning and Zoning Commission does hereby find and determine that the adoption of the Conditional Use District to allow for a second-unit townhome project located at 2 North Carolina Avenue is consistent with the goals and objectives of the adopted Land Use Plan and other long-range plans and the potential impacts on the surrounding area are mitigated by the approved condition with the agreement that the applicant agrees that the original structure will not exceed the new structure if it has to be rebuilt

Motion made by Vice Chairman Hogan, seconded by Chairman Rouse

Voting Yea: Chairman Rouse, Vice Chairman Hogan, Commissioner Boswell, Commissioner Crouch, Commissioner Piper, Commissioner Carew, Commissioner Conto

Motion passed unanimously

4. Final Draft – Unified Development Ordinance

Wes MacLeod of Cape Fear Council of Governments presented a draft of the Town's first Unified Development Ordinance (UDO). To create this, the respective chapters relating to land use (Chapters 30, 32, 36, and 40) contained in the Town's General Code will be repealed and the existing relevant language incorporated into the new UDO. This ordinance process began in July 2022, with the first Commission meeting held in October 2022. An audit of all existing land development ordinances was completed to identify areas in need of change.

The editorial draft contains strikethrough (language proposed for deletion) and underline (new language) formatting. A public hearing held before the Commissions and Council is required prior to adoption.

The following items have been completed as part of the draft update:

- Updates and modification for overall organization and clarity. Reduction in overall text and clarification of many ambiguous and unclear provisions.
- Consolidation of procedures, roles, responsibilities, and administrative items into one article (Article 2).
- Revision to the table of permitted uses to consolidate use types where feasible and incorporate additional uses required by case law or North Carolina General Statutes.
- Establishment of impervious coverage limit of 65% for all zoning districts, with the exception of HB, CBD, and T-1. The 65% limit is based upon an assessment of existing site conditions throughout the Town’s planning jurisdiction.
- Restriction on the use of site fill to raise the elevation of a lot. The placement of fill is restricted to one foot above the crown of the adjacent street or alley. An exception is provided for lots impacted by tidal flooding. The CBD and HB zoning districts are exempt from this requirement.
- Consolidation of development standards such as fences, parking, sidewalks, and driveways into one article (Article 3).
- Update to off-street parking requirements to allow up to 20% of the required parking spaces to be utilized for golf cart or LSV parking.
- Restriction of the use of private streets in future subdivisions.
- Removal of the allowance of bonding or financial guarantees for the installation of infrastructure.
- Update to the Wireless Article in accordance with North Carolina General Statutes.

Mr. MacLeod said administrative changes were also incorporated into the UDO.

Chairman Rouse thanked Mr. MacLeod for his assistance with this task.

ACTION: Motion to open the public hearing
 Motion made by Chairman Rouse, seconded by Vice Chairman Hogan
 Voting Yea: Chairman Rouse, Vice Chairman Hogan, Commissioner Boswell, Commissioner Crouch, Commissioner Piper, Commissioner Carew, Commissioner Conto
Motion passed unanimously

No one requested to speak.

ACTION: Motion to close the public hearing
 Motion made by Chairman Rouse, seconded by Vice Chairman Hogan
 Voting Yea: Chairman Rouse, Vice Chairman Hogan, Commissioner Boswell, Commissioner Crouch, Commissioner Piper, Commissioner Carew, Commissioner Conto
Motion passed unanimously

ACTION: Motion that the Planning and Zoning Commission recommends adoption of the proposed repeal of Land Use Chapters 30, 32, 36, and 40 and the adoption of the Town’s first Unified Development Ordinance to the Town Council and finds that it is consistent with the Town’s comprehensive plan, 2020 CAMA Land Use Plan, and all other applicable plans and policies adopted by the Town which includes the following action step: review existing zoning districts, dimensional standards, regulations, and land development regulations and that it is in the public interest because it

will advance the public health, safety, and/or welfare of the Town of Carolina Beach

Motion made by Vice Chairman Hogan, seconded by Chairman Rouse

Voting Yea: Chairman Rouse, Vice Chairman Hogan, Commissioner Boswell, Commissioner Crouch, Commissioner Piper, Commissioner Carew, Commissioner Conto

Motion passed unanimously

Chairman Rouse said this is quite a significant milestone for the Town, and he thanked staff for their work. Mr. Hardison said he appreciates all the Commissioners for showing up and giving input.

Chairman Rouse said he'd also like to thank the Commissioners because they don't get paid and this task was beyond their typical responsibilities, requiring many extra hours.

NON-AGENDA ITEMS

None

ADJOURNMENT

ACTION: Motion to adjourn the meeting

Motion made by Chairman Rouse, seconded by Vice Chairman Hogan

Voting Yea: Chairman Rouse, Vice Chairman Hogan, Commissioner Boswell, Commissioner Crouch, Commissioner Piper, Commissioner Carew, Commissioner Conto

Motion passed unanimously

Chairman Rouse adjourned the meeting at 6:45 PM.



AGENDA ITEM COVERSHEET

PREPARED BY: Gloria Abbotts, Sr Planner

DEPARTMENT: Planning &
Development

MEETING: Planning & Zoning Commission – August 8th, 2024

SUBJECT: **Conditional Zoning** to consider an addition to a bar at 3 Cape Fear Blvd
Applicant: Ant Bates Motel LLC

BACKGROUND:

The applicant, Ant Bates Motel LLC, applied for a Conditional Zoning application for an addition to an existing bar/tavern in the Central Business District. The establishment provides on-premise wine, beer, and liquor. According to the ordinance, if alcohol is served on-premise and the establishment does not meet the criteria for a standard restaurant, it is classified as a bar. The ABC stipulates that a restaurant must have food sales constituting at least 30 percent of their sales, to avoid being classified as a bar. A bar and any additions made to the bar is allowed through the approval of a conditional zoning district in the Central Business District.

The Conditional Zoning District allows a particular use to be established only in accordance with specific standards and conditions pertaining to each individual development project. Some land uses have such significant impacts on both the immediate area and the broader community that general district standards cannot adequately address them. Additionally, there are situations where a general district designation allowing a use by right would not be suitable for a specific property, even though the use itself might be appropriate. The review process accommodates these cases by reclassifying the property into a conditional zoning district, with conditions designed to ensure that the use aligns with and does not disrupt neighboring properties.

All applications shall include a site plan and any development standards to be approved concurrently with the rezoning application. Development standards may include such things as parking, landscaping, design guidelines, and buffers. When evaluating an application for the creation of a conditional zoning district, the Planning & Zoning Commission shall consider the following:

1. The application's consistency to the general policies and objectives of the Town's CAMA Land Use Plan, any other officially adopted plan that is applicable, and the Zoning Ordinance.

2. The potential impacts and/or benefits on the surrounding area, adjoining properties.
3. The report of results from the public input meeting.

Prior to scheduling a public hearing on the rezoning application, the applicant shall conduct one (1) public input meeting and file a report of the results with the Zoning Administrator. In approving a petition for the reclassification of property to a conditional zoning district, the Planning & Zoning Commission may recommend, that the applicant add reasonable and appropriate conditions to the approval of the petition. Any such conditions should relate to the relationship of the proposed use to the impact on the following details:

1. Town services
2. Surrounding property
3. Proposed support facilities such as parking areas and driveways
4. Pedestrian and vehicular circulation systems
5. Screening and buffer areas
6. Timing of development
7. Street and right-of-way improvements
8. Infrastructure improvements (i.e. water)
9. Provision of open space
10. Other matters that the participants in the public input meeting, staff, Planning & Zoning Commission, and Town Council find appropriate or the petitioner may propose

If the applicant does not agree with the Planning & Zoning Commission or staff's recommendations of additional conditions, the Town Council shall have the authority to accept none, any, or all of the conditions forwarded from the review process.

No permit shall be issued for any development activity within a conditional zoning district except in accordance with the approved petition and applicable site plan, subdivision plat, and/or permit for the district.

Proposal:

The applicant is proposing to construct a second story on an existing bar. The proposal includes addition of a staircase, 2nd floor enclosed area (837sf), open deck area (648sf) and update of plumbing, mechanical, and electrical. The proposed height of the building is 21'.

The purpose of the Central Business District is to accommodate, protect, rehabilitate, and maintain the traditional central business district and boardwalk area of the Town. This area accommodates a wide variety of pedestrian oriented, commercial and services activities, including retail, business, office, professional financial, entertainment, and tourism. The regulations of this district are intended to encourage the use of land for concentrated development of permitted uses while maintaining a substantial relationship between land uses and the capacity of the Town's infrastructure. Developments which would significantly disrupt

the historic balance between pedestrians and automobiles within the district, thereby destroying the pedestrian-oriented nature of the area, are specifically discouraged. Large, off-street parking areas are encouraged to locate outside of the district. Similarly, buildings and structures should have pedestrian-oriented activities at ground level.

The existing building is a commercial building built in 1945. It meets the current lot coverage and setbacks requirements. The addition proposed is within the current footprint. The parking requirement for bars is 1 per 110 square feet of indoor gross floor area. Where properties are located within the CBD, parking requirements may be waived if public parking spaces adequate to meet the requirement are located within 500 feet of the use.

Proposed Conditions

1. The use and development of the subject property shall comply with all regulations and requirements of any other federal, state or local law, ordinance or regulations.
2. The building is in the AE 10 flood zone. Renovations to the building exceeding 49 percent of the value of the building shall meet FEMA requirements.
3. Sloped railing shall be used on the 2nd floor bar area.
4. Use of noncombustible materials for Fire.

Conditional Zoning Process

As part of the application process a community meeting is required. The applicant held the required meeting on June 17, 2024. The applicant has provided summary comments from the meeting. Based off the comments from the meeting the applicant can place conditions on the project to help mitigate the impacts and concerns from the neighboring properties.

Land Use Plan

The project is in general conformity with the 2020 Land Use Plan, it supports sustaining a healthy and vibrant locally oriented economy. This area is recognized as the boardwalk commercial area and central recreation district of town.

ACTION REQUESTED:

Consider recommending approval or denial of a conditional zoning to approve a bar addition located at 3 Cape Fear Blvd.

Staff recommends approval of the project as proposed.

MOTION:

Approval - whereas in accordance with the provisions of the NCGS, the Commission does hereby find and determine that the adoption of the Conditional Use District to allow for an addition to a bar located at 3 Cape Fear. is consistent with the goals and objectives of the adopted Land Use Plan and other long-range plans.

Denial - based on inconsistencies with the goals and objectives of the adopted Land Use Plan and/or other long-range planning documents and the potential impacts on the surrounding areas.

1121 N. Lake Park Blvd.
Carolina Beach, NC 28428
permits@carolinabeach.org
Phone (910) 458-2999



Permit # _____
CZ24-04

TOWN OF CAROLINA BEACH Conditional Zoning Application

The Conditional Zoning process for the Town of Carolina Beach may be found in the ordinance (Sec. 40-527).

Prior to the application submission, the applicant must conduct a Public Input Meeting. The following are the public meeting requirements:

- The applicant must mail notice of said meeting to all property owners within 500 feet of the perimeter of the project bounds no less than 10 days prior to the meeting.
- The notice must include time, date, location, and project description.
- The applicant must maintain and submit to with their application a:
 - o A copy of the letter announcing the meeting
 - o A list of property owners contacted
 - o An attendance roster from the meeting
 - o A summary of the issues discussed
 - o The results and any changes related to the proposal based on meeting discussions

Each application submitted to staff must be legible, contain the public scoping meeting required information, and provide all other required materials to be accepted as a completed application. Supplemental application materials may include, but not be limited to, site plans, building designs, engineered drawings, stormwater designs, landscaping plans, project narratives, Federal and/or State permits/permissions, and Traffic Impact Analyses. **It is strongly suggested that the applicant set up a meeting with Planning Staff prior to the submission deadline, to ensure the application is complete.**

The Planning Department, Technical Review Committee, Planning and Zoning Commission and/or Town Council reserve the right to require additional information if needed to assure that the use in its proposed location will meet be developed in accordance with the Code of Ordinances of the Town of Carolina Beach.

Application fees. The owner or owners, or their duly authorized agent, of the property included in the application for Conditional Zoning shall submit a complete application and supplemental information to the Planning Department. **A fee in accordance with the Town's adopted schedule of fees, payable to the Town of Carolina Beach, must accompany each application.** For the purposes of determining the fee, the Zoning Administrator shall categorize each such Conditional Zoning Permit Application as either "major" or "minor", depending upon the complexity of review. Generally, Planned Residential (over 7 units), Mixed Uses, Business Developments, and similarly complex projects shall be categorized as "major", while projects such as Planned Residential (5-6 units), bed and breakfast inns, small day care services, etc. shall be categorized as "minor".

Major Conditional Zoning Permit	=	\$ 1,000.00
Minor Conditional Zoning Permit	=	\$ 500.00

This permit will be scheduled for the next possible Technical Review Committee, provided the public scoping meeting has taken place and the application is otherwise complete.

Check the box beside each item verifying that the item has been submitted with this application

I. Site Plan Criteria

For new construction all boxes in this section shall be marked yes by the applicant to be considered a complete application.


Yes No N/A

- The name, address, and phone number of the professional(s) responsible for preparing the plan if different than the applicant.
- An appropriate scaled plan
- Title block or brief description of project including all proposed uses
- Date
- North Arrow
- Property and zoning boundaries **CBD DISTRICT**
- The square footage of the site
- Lot coverage (buildings, decks, steps) **1,448**
- Location of all existing and proposed structures and the setbacks from property lines of all affected structures to remain on-site
- Design of driveways and parking
- Adjacent right-of-ways labeled with the street name and right of way width
- Location of all existing and/or proposed easements

Additional information or data as determined necessary by town staff and/or other reviewing agencies including but not limited to the following may be required:

Yes No N/A

- Location and design of refuse facilities
- Approximate locations and sizes of all existing and proposed utilities
- Existing and/or proposed fire hydrants (showing distances)
- Adjacent properties with owners' information and approximate location of structures
- Distances between all buildings
- Number of stories and height of all structures
- Locations of all entrances and exits to all structures
- Calculate the gross floor area with each room labeled (i.e. kitchen, bedroom, bathroom)
- Exterior lighting locations with area of illumination illustrated as well as the type of fixtures and shielding to be use
- Location of flood zones and finished floor elevations
- CAMA Areas of Environmental Concern (AEC) and CAMA setbacks
- Delineation of natural features and wetlands with existing and proposed topography with a maximum of two-foot contour intervals
- Proposed landscaping including percentages of open space
- Stormwater management systems
- Cross-sectional details of all streets, roads, ditches, and parking lot improvements
- Building construction and occupancy type(s) per the building code
- Location of fire department connection(s) for standpipes
- Turning radii, turnarounds, access grades, height of overhead obstructions
- Dimensions and locations of all signs
- A vicinity map drawn with north indicated
- Submit the total daily water flow usage and sewer design flow by a design professional
- I have provided two hard-copies and one scaled electronic version of each required drawing
- I am prepared to pay the application fee today



2024 Submission Deadlines & Meeting Dates

Technical Review Committee		Planning & Zoning Commission		Town Council	
Submission	Meeting	Submission	Meeting	Submission	Meeting
Jan 2	Jan 16	Jan 25	Feb 8	Feb 27	Mar 12
Feb 6	Feb 20	Feb 29	Mar 14	Mar 26	Apr 9
Mar 4	Mar 18	Mar 28	Apr 11	Apr 30	May 14
Apr 1	Apr 15	Apr 25	May 9	May 28	June 11
May 6	May 20	May 30	June 13	June 25	July 9
June 3	June 17	June 27	Jul 11	July 30	Aug 13
July 1	July 15	July 25	Aug 8	Aug 27	Sept 10
Aug 5	Aug 19	Aug 29	Sept 12	Sept 24	Oct 8
Aug 30	Sept 16	Sept 26	Oct 10	Oct 29	Nov 12
Sept 30	Oct 14	Oct 31	Nov 14	Nov 26	Dec 10
Nov 4	Nov 18	Nov 27	Dec 12	Jan 2025	Jan 2025
Dec 2	Dec 16	Jan 2025	Jan 2025	Feb 2025	Feb 2025
Jan 2025	Jan 2025	Feb 2025	Feb 2025	March 2025	March 2025
Board		# Copies Full Size		# Copies Electronic	
TRC		2		1	
P&Z		2		1	
Town Council		2		1	

PURPOSE

Conditional zoning allows flexibility with regard to the zoning regulations. Subject to high standards of planning and design, certain uses may be allowed in certain districts or on properties provided they can be developed to minimize any adverse effects they might have on surrounding properties. Conditional Zoning allows for public and governing board input to help any proposed project meet its goals while also contributing to the positive development of Carolina Beach.

Please complete all sections of the application.

A. Property Information

Address(es): 3 Cape Fear Blvd Box 6

PIN(s): R09006-009-003-000

Project Name ABM Renovations

Size of lot(s): 1,880.00

B. Application for Conditional Zoning

Application is hereby made for a Conditional Zoning for use of the property described above as a (please provide a brief description of the use):

No change in use, only increased space.

C. Applicant Contact Information

Ant Bates Motel, LLC

Company/corporate Name (if applicable):

Contact-Dan Wilcox & Tony Woodard

Applicant's Name

PO BOX 117

Mailing Address

Benson, NC 27504

City, State, and Zip Code

910-538-2888-Dan/919-369-3526/Tony

Telephone

dan@beachpc.com & tony@lwproperties.us

Email

D. Owner Contact Information (if different)

Ant Bates Motel, LLC

Owner's Name

PO BOX 117

Mailing Address

Benson, NC 27504

City, State, and Zip Code

919-522-3477

Telephone

levinsonwoodard@gmail.com

Email

SUPPLEMENTAL INFORMATION REQUIRED WITH THE APPLICATION

1. Detailed project narrative describing the proposed site and request.
2. Agent form if the applicant is not the property owner.
3. Request for site specific vesting plan shall be submitted in accordance with Chapter 40 Article XIII

OWNER'S SIGNATURE: In filing this application for a conditional zoning, I/we as the property owner(s), hereby certify that all of the information presented in this application is accurate to the best of my knowledge, information and belief.


Signature

06/13/2024
Date

AUTHORITY FOR APPOINTMENT OF PERSON TO ACT ON MY BEHALF

The undersigned owner, Ant Bates Motel, LLC, does hereby appoint Tony Woodard to act on my behalf for the purpose of petitioning the Town of Carolina Beach for: a) an amendment to the text regulations; b) a change to the zoning map; and/or c) street closing, as applicable to the property described in the attached petition. The owner does hereby covenant and agree with the Town of Carolina Beach that said person has the authority to do the following acts for and on behalf of the owner: (1) To submit a proper petition and the required supplemental materials: (2) To appear at public meetings to give testimony and make commitments on behalf of the owner; and (3) In the case of conditional zoning, to accept conditions or recommendations made for the conditional zoning on the owner's property. (4) To act on the owner's behalf without limitations with regard to any and all things directly or indirectly connected with or arising out of any petition. This appointment agreement shall continue in effect until final disposition of the petition submitted in conjunction with this appointment.

Date: 6/13/2024

Appointee's Name, Address & Telephone:

Anthony Battaglia
PO BOX 117
Benson, NC 27504
919-522-3477

Signature of Owner:  _____

AUTHORITY FOR APPOINTMENT OF PERSON TO ACT ON MY BEHALF

The undersigned owner, Ant Bates Motel, LLC, does hereby appoint Dan Wilcox to act on my behalf for the purpose of petitioning the Town of Carolina Beach for: a) an amendment to the text regulations; b) a change to the zoning map; and/or c) street closing, as applicable to the property described in the attached petition. The owner does hereby covenant and agree with the Town of Carolina Beach that said person has the authority to do the following acts for and on behalf of the owner: (1) To submit a proper petition and the required supplemental materials; (2) To appear at public meetings to give testimony and make commitments on behalf of the owner; and (3) In the case of conditional zoning, to accept conditions or recommendations made for the conditional zoning on the owner's property. (4) To act on the owner's behalf without limitations with regard to any and all things directly or indirectly connected with or arising out of any petition. This appointment agreement shall continue in effect until final disposition of the petition submitted in conjunction with this appointment.

Date: 6/13/2024

Appointee's Name, Address & Telephone:

Anthony Battaglia
PO BOX 117
Benson, NC 27504
919-522-3477

Signature of Owner: 

BLUEWATER STRUCTURES, INC.
614 Monroe Avenue
Carolina Beach, NC 28428

(910) 538-2888

DATE: June 17, 2024

TO: Adjacent Property Owners

RE: Conditional Zoning for 3 Cape Fear Renovations

You are invited to attend a public information meeting to discuss the proposed Conditional Zoning Permit for 3 Cape Fear Blvd, Carolina Beach.

As part of the planning process, the Town requires that the developer notify adjacent property owners within a 500' radius to the project and hold a meeting for interested parties. The purpose of the meeting is to provide neighbors with an opportunity for explanation of the project and to ask questions concerning project improvements, benefits, and impacts.

The meeting will be held on June 27th, 2024 at 10:30 a.m. at 3 Cape Fear Blvd, Carolina Beach, North Carolina.

In lieu of attendance, you can contact Dan Wilcox with comments or questions at dan@beachpc.com. If you will forward your comments, concerns and recommendations to this email, your information will be summarized in a report which will be delivered to the town planners.

We appreciate your interest and look forward to seeing you at the meeting.

Dan Wilcox "Owner's Agent"

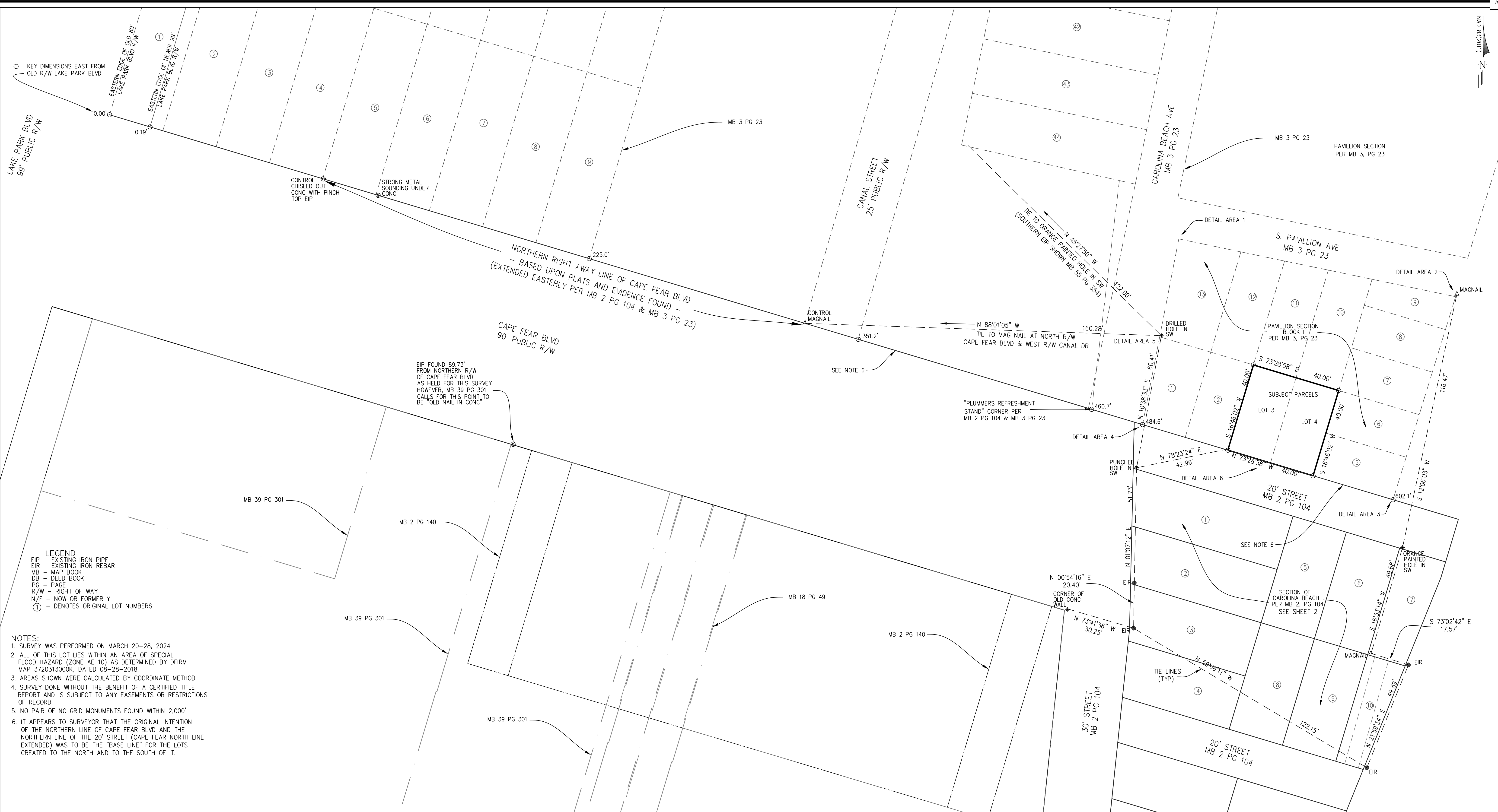
PID	CB Address	OWNER	OWNER_NUM	OWNER_STREET	OWNER_STREETTYPE	OWNER_DIR	OWNER_UNITDESC	OWNER_UNITNO	OWNER_CITY	OWNER_STATE	OWNER_ZIP	OWNER_COUNTRY
R09006-022-001-000	5 BOARDWALK	JLM PARTNERSHIP LLC	205	GREENVILLE	AVE				CAROLINA BEACH	NC	28428	
R09006-022-002-000	7 CAROLINA BEACH AVE S	CAROLINA BEACH LAND HOLDINGS LLC	1202	LAKE PARK	BLVD	N	SUITE A		CAROLINA BEACH	NC	28428	
R09006-022-003-000	9 CAROLINA BEACH AVE S	CAROLINA BEACH LAND HOLDINGS LLC	1202	LAKE PARK	BLVD	N	SUITE A		CAROLINA BEACH	NC	28428	
R09006-021-004-000	3 CAROLINA BEACH AVE S	TOWN OF CAROLINA BEACH	1121	LAKE PARK	BLVD				CAROLINA BEACH	NC	28428	
R09006-022-011-000	107 CAROLINA BEACH AVE S	MOTISINGER DONALD L QUINCE					PO BOX	25305	WINSTON SALEM	NC	27114	
R09006-021-016-000	5 LAKE PARK BLV S	ON THE BEACH INC					PO BOX	2289	CAROLINA BEACH	NC	28428	
R09006-023-005-000	102 CAROLINA BEACH AVE S	TIDEWINDS UNIT OWNERS ASSN	4905	ORIOLE	DR				WILMINGTON	NC	28403	
R09006-023-005-000	102 CAROLINA BEACH AVE S	ROMANOW MICHAELA	1220	DIXIE	TRL				RALEIGH	NC	27607	
R09006-023-005-000	102 CAROLINA BEACH AVE S	SCIME ANTHONY	1405	CANAL	RD		APT	15	CAROLINA BEACH	NC	28428	
R09006-023-005-000	102 CAROLINA BEACH AVE S	MILLER GREGORY S/CKIE W	118	PENNY	RD				HIGH POINT	NC	27260	
R09006-023-005-000	102 CAROLINA BEACH AVE S	ADAMS MAKI SUZANNE ETAL	4413	WINDWARD	DR				DALLAS	TX	75287	
R09006-023-005-000	102 CAROLINA BEACH AVE S	MOORE DANIEL W/FLYGIA K	3791	GALLE VISTA	DR				MEDFORD	OR	97504	
R09006-023-005-000	102 CAROLINA BEACH AVE S	BROWN EUGENE JONISRA	102	CAROLINA	AVE	S	UNIT	203	CAROLINA BEACH	NC	28428	
R09006-023-005-000	102 CAROLINA BEACH AVE S	BRAYWELL DIANNE PADGETT	1058	RESIDENTS CLUB	DR		PO BOX	1443	CAROLINA BEACH	NC	28428	
R09006-021-001-000	109 CAPE FEAR BLV	SCIME ANTHONY STEPHANIE FERRARI					PO BOX	326	CAROLINA BEACH	NC	28428	
R09006-021-003-000	104 CHARLOTTE AVE	CAROLINA BEACH LAND HOLDINGS LLC	1202	LAKE PARK	BLVD	N	SUITE A		CAROLINA BEACH	NC	28428	
R09006-021-017-000	3 BOARDWALK	ON THE BEACH INC					PO BOX	2289	CAROLINA BEACH	NC	28428	
R09006-021-002-000	17 BOARDWALK	CAROLINA BEACH LAND HOLDINGS LLC	1202	LAKE PARK	BLVD	N	SUITE A		CAROLINA BEACH	NC	28428	
R09006-010-006-000	7 BOARDWALK	CAROLINA BEACH LAND HOLDINGS LLC	1202	LAKE PARK	BLVD	N	SUITE A		CAROLINA BEACH	NC	28428	
R09006-011-001-000	110 HARPER AVE	EAT MORE FUDGE LLC	920	RIP TIDE	LN				CAROLINA BEACH	NC	28428	
R09006-011-005-000	41 LAKE PARK BLV N	NEW ANSTERDOM LLC	102411	OVERSEAS	HWY				CAROLINA BEACH	NC	28428	
R09006-023-008-000	100 CANAL DR	CAROLINA BEACH TOWN OF	131	UNION	ST		SUITE	200	WILMINGTON	NC	28403	
R09006-007-002-000	6 HARPER AVE	4 LAKE PARK BLVD NORTH LLC	1612	MILITARY CUTOFF	RD	N			CAROLINA BEACH	NC	28428	
R09006-010-005-001	7 HARPER AVE	CAROLINA BEACH TOWN OF	102411	OVERSEAS	AVE				KEY LARGO	FL	33037	
R09006-010-005-001	105 CAROLINA BEACH AVE N	CB ADVENTURES LLC	6040	CHANCELLORSHVILLE	DR		PO BOX	132	CAROLINA BEACH	NC	28428	
R09006-010-002-000	11 CAROLINA BEACH AVE N	ARVLET HIGH LLC	920	RIP TIDE	LN				KEY LARGO	FL	33037	
R09006-010-001-001	9 CAROLINA BEACH AVE N	NIVENS ROBERT W/MKINLEY H	102411	OVERSEAS	HWY				CAROLINA BEACH	NC	28428	
R09006-010-003-001	13 CAROLINA BEACH AVE N	9 CAROLINA AVE N LLC	2501	BLUE RIDGE	RD		SUITE A	290	RALEIGH	NC	27607	
R09006-010-009-000	8 CAPE FEAR BLV	BOARDWALK LAND HOLDINGS LLC	1202	LAKE PARK	BLVD	N	SUITE	200	WILMINGTON	NC	28428	
R09006-020-013-000	107 RALEIGH AVE	4 LAKE PARK BLVD NORTH LLC	1612	MILITARY CUTOFF	RD				CAROLINA BEACH	NC	28428	
R09006-020-012-000	105 RALEIGH AVE	SING SING LLC	131	UNION	ST				BROOKLYN	NY	11231	
R09006-007-004-000	110 HARPER AVE	PISANO JOHN DAN	11204	SILVERLEAF	DR				FAIRFAX	VA	22039	
R09006-007-003-000	108 CAROLINA BEACH AVE N	PISANO JOHN DAN	102	SACKETT	ST				FAIRFAX	VA	22039	
R09006-008-003-000	11 BOARDWALK	RISING TIDE OF THE CAROLINAS LLC	2501	BLUE RIDGE	RD		SUITE	280	RALEIGH	NC	27607	
R09006-009-001-000	4 CAROLINA BEACH AVE S	BOARDWALK LANDINGS LLC	2501	BLUE RIDGE	RD				WILMINGTON	NC	28412	
R09006-011-003-000	100 LAKE PARK BLV N	MIKE HOLDINGS LLC	702	BURNLEY	ST				FAIRFAX	VA	22039	
R09006-020-005-000	114 CAPE FEAR BLV	4 LAKE PARK BLVD NORTH LLC	1612	MILITARY CUTOFF	RD		SUITE	200	WILMINGTON	NC	28412	
R09006-020-004-000	112 CAPE FEAR BLV	BENNY PARKS HOLDINGS LLC	910	JOHNS ORCHARD	LN				WILMINGTON	NC	28411	
R09006-020-006-000	102 CAPE FEAR BLV	TOWNE PLACE CONDOMINIUM OWNERS ASSN INC	1202	LAKE PARK	BLVD				CAROLINA BEACH	NC	28428	
R09006-020-006-000	102 CAPE FEAR BLV	HUNTER GREGG LAWSON	110	CHADMORE	DR		UNIT	2	CAROLINA BEACH	NC	28428	
R09006-020-006-000	102 CAPE FEAR BLV	KALP MATTHEW	900	SECOND	ST				CAROLINA BEACH	NC	28428	
R09006-020-006-000	102 CAPE FEAR BLV	VALCH JAMES M SHARON S	321	WORTHINGTON	AVE	E	UNIT	203	CAROLINA BEACH	NC	28428	
R09006-020-006-000	102 CAPE FEAR BLV	PETROE JSA LLC	1038	MONMOUTH	LOOP				CHARLOTTE	NC	28203	
R09006-020-006-000	102 CAPE FEAR BLV	AMROSESCCHIA DUSTIN ETAL	1038	MONMOUTH	LOOP				CARY	NC	27513	
R09006-020-006-000	102 CAPE FEAR BLV	AMROSESCCHIA DUSTIN ETAL	1038	MONMOUTH	LOOP				CARY	NC	27513	
R09006-020-006-000	102 CAPE FEAR BLV	WILSON RONALD JR ETUX	102	CAPE FEAR	BLVD		UNIT	303	CAROLINA BEACH	NC	28428	
R09006-020-006-000	102 CAPE FEAR BLV	GOOLSBY RAYMOND JR	2024	GOLDEN BELT	RKWAY				DURHAM	NC	27703	
R09006-020-006-000	102 CAPE FEAR BLV	THOMSON EDWARD A GAIL E	5601	SHADOWBROOK	DR		UNIT	402	CAROLINA BEACH	NC	28428	
R09006-020-006-000	102 CAPE FEAR BLV	AMROSESCCHIA ANESA	102	CAPE FEAR	BLVD				WILMINGTON	NC	28412	
R09006-020-006-000	102 CAPE FEAR BLV	FAULK JAMES L JAKIMBERLY C	303	HORN	RD		UNIT	404	CAROLINA BEACH	NC	28428	
R09006-020-006-000	102 CAPE FEAR BLV	DINATILE THOMAS DEBRA J	1202	LAKE PARK	BLVD				CAROLINA BEACH	NC	28428	
R09006-020-006-000	108 CAPE FEAR BLV	TOWN PLACE ISLANDER LLC	108	CAPE FEAR	BLVD				CAROLINA BEACH	NC	28428	
R09006-020-006-000	108 CAPE FEAR BLV	TOWN PLACE ISLANDER LLC	1202	LAKE PARK	BLVD				CAROLINA BEACH	NC	28428	
R09006-007-006-000	103 CAROLINA BEACH AVE N	RISING TIDE OF THE CAROLINAS	107	GREEN TURTLE	LN		FLOOR	8	NEW YORK	NY	10012	
R09006-010-004-000	106 CAROLINA BEACH AVE N	CAROLINA BEACH ARCADE LLC							CAROLINA BEACH	NC	28428	
R09006-010-003-000	15 N CAROLINA BEACH AVE N	15 N CAROLINA BEACH AVE LLC	666	BROADWAY	LN				CAROLINA BEACH	NC	28428	

R09006-010-008-000	100 CANAL DR	CAROLINA BEACH LAND HOLDINGS LLC	1202 LAKE PARK	BLV	N	SUITE	A	CAROLINA BEACH	NC	28428
R09006-020-001-000	6 LAKE PARK BLV N	CAPITAL COASTAL INVESTMENTS LLC				PO BOX		139 KOBE BEACH	NC	28449
R09006-020-003-000	2 LAKE PARK BLV N	FRANKLIN PROPERTIES LLC				PO BOX		2024 WILKINGTON	NC	28402
R09006-020-007-000	102 CAPE FEAR BLV	TOWN PLACE ISLANDER LLC	1202 LAKE PARK	BLVD	N	SUITE	A	CAROLINA BEACH	NC	28428
R09006-020-009-000	101 CANAL DR	CAROLINA BEACH TOWN OF	1121 LAKE PARK	BLV	N	SUITE		CAROLINA BEACH	NC	28428
R09006-020-014-000	109 RALEIGH AVE	4 LAKE PARK BLVD NORTH LLC	1612 MILITARY CUTOFF	RD		SUITE		200 WILKINGTON	NC	28403
R09006-007-007-000	7 PAVILION AVE N	RISING TIDE THE CAROLINAS LLP	131 UNION	ST				BROOKLYN	NY	11221
R09006-007-001-000	17 BOARDWALK	COCKMAN SALES PT	209 LUMBERTON	AVE				CAROLINA BEACH	NC	28428
R09006-008-001-000	12 PAVILION AVE N	EZ LIVN LLC	1115 CANAL	DR				CAROLINA BEACH	NC	28428
R09006-008-004-000	9 PAVILION AVE S	CAROLINA SMOKEHOUSE HOLDINGS LLC				PO BOX		390 CAROLINA BEACH	NC	28428
R09006-023-009-000	101 CAROLINA BEACH AVE S	PARADISE ISLAND VILLG	2210 WRIGHTSVILLE	AVE		SUITE	30	WILKINGTON	NC	28403
R09006-023-010-000	105 CAROLINA BEACH AVE S	JUNGBOY 205 LLC	17 MICHAEL	RD				STOSSETT	NY	11792
R09006-024-014-000	101 CAPE FEAR BLV	CAROLINA BEACH LAND HOLDINGS LLC	1202 LAKE PARK	BLVD	N			CAROLINA BEACH	NC	28428
R09006-010-010-000	102 CANAL DR	9 CAROLINA AVE N LLC	102411 OVERSEAS	Hwy				KEY LARGO	FL	33037
R09006-010-007-000	102 CANAL DR	NIVERSA ROBERT W	2743 PERIMETER	PKY		PO BOX		132 CAROLINA BEACH	NC	28428
R09006-009-012-000	1 HARPER AVE	CAROLINA BEACH HOSPITALITY LLC	313 SHERWEE	DR		SUITE		370 AUGUSTA	GA	30909
R09006-009-002-000	2 CAROLINA BEACH AVE N	MOUNTAIN JAMMP				PO BOX		RALEIGH	NC	27603
R09006-009-004-000	3 CAPE FEAR BLV	UNIONVA INVESTMENT LLC	124 MAIN	ST	E			2304 CAROLINA BEACH	NC	28428
R09006-009-003-000	3 CAPE FEAR BLV	ANT BATES MOTEL LLC	814 MAIN	ST	E			BENSON	NC	27504
R09006-023-006-000	100 CHARLOTTE AVE	APPLE EIGHT SPE CAROLINA BEACH LP						RICHMOND	VA	23219

NO ONE ATTENDED MEETING

SILVER DOLLAR

NAME	EMAIL	PHONE	COMMENTS
BILL FARMS	BILL.FARMS@BOSTONIA.COM	910 200 6076	WAS OK WITH PROJECT - PHONE CALL
BOBBY NINEAS		910 796 9566	WAS ALSO WANTING TO KNOW HEIGHT OF PROJECT & USE CASE
JOHN LEE	JOHN.LEE@SANTAFESTIVAL.COM	706 799 0187	JUST CURIOUS AS TO PROGRESS WORK - EMAIL



- LEGEND**
- EIP - EXISTING IRON PIPE
 - EIR - EXISTING IRON REBAR
 - MB - MAP BOOK
 - PG - PAGE
 - R/W - RIGHT OF WAY
 - N/F - NOW OR FORMERLY
 - ① - DENOTES ORIGINAL LOT NUMBERS

- NOTES:**
1. SURVEY WAS PERFORMED ON MARCH 20-28, 2024.
 2. ALL OF THIS LOT LIES WITHIN AN AREA OF SPECIAL FLOOD HAZARD (ZONE AE 10) AS DETERMINED BY DFIRM MAP 3720313000K, DATED 08-28-2018.
 3. AREAS SHOWN WERE CALCULATED BY COORDINATE METHOD.
 4. SURVEY DONE WITHOUT THE BENEFIT OF A CERTIFIED TITLE REPORT AND IS SUBJECT TO ANY EASEMENTS OR RESTRICTIONS OF RECORD.
 5. NO PAIR OF NC GRID MONUMENTS FOUND WITHIN 2,000'.
 6. IT APPEARS TO SURVEYOR THAT THE ORIGINAL INTENTION OF THE NORTHERN LINE OF CAPE FEAR BLVD AND THE NORTHERN LINE OF THE 20' STREET (CAPE FEAR NORTH LINE EXTENDED) WAS TO BE THE "BASE LINE" FOR THE LOTS CREATED TO THE NORTH AND TO THE SOUTH OF IT.

SURVEYORS REPORT

THE INTENT OF THIS MAP IS TO DETERMINE, BASED UPON FIELD EVIDENCE AND RECORD INFORMATION, THE SOUTHERN PROPERTY LINE OF BLOCK 1 OF THE REVISED MAP OF THE PAVILLION SECTION OF CAROLINA BEACH AS RECORDED IN MAP BOOK 3 PAGE 23. INITIALLY, SURVEYOR INPUT RECORD PLATS, MB 2 PG 104, MB 2 PG 140, MB 3 PG 23 SINCE THEY SEEMED TO BE THE OLDEST AND CLEARLY DEFINED THE ORIGINAL INTENTION OF THE "LAYOUT" OF THE LOTS IN THIS AREA. TO ESTABLISH THE NORTHERN RIGHT OF WAY OF CAPE FEAR BLVD A FIELD SURVEY WAS PERFORMED BUT ONLY MANAGED TO RECOVER 3 POINTS OF MONUMENTATION ALONG SAID RIGHT OF WAY, AS SHOWN HEREON. THOSE 3 POINTS AND AFOREMENTIONED PLATS WERE THE BASIS OF THE ESTABLISHMENT OF THE SOUTHERN LINE OF BLOCK 1.

DURING ADDITIONAL FIELD SURVEYS ADDITIONAL MONUMENTATION AROUND BLOCK 1 MB 3 PG 23 AND LOTS 1-10 MB 2 PG 104 WERE FOUND AND LOCATED. THE FOUND MONUMENTATION AS LOCATED DO NOT CORRESPOND WITH EACH OTHER OR PLATS. FOR INSTANCE, THE CORNERS FOUND AROUND BLOCK 1 AND THE CORNERS AROUND LOTS 1-10 CREATE AN APPROX. 5"-6" GAP BETWEEN THE RECORD PLATS MB 2 PG 104 AND MB 3 PG 23.

AS OF THE DATE OF THIS MAP, SURVEYOR DOES NOT KNOW HOW THE CORNERS AROUND BLOCK 1 AND LOTS 1-10 WERE SET, BY WHOM THEY WERE SET OR WHAT "CONTROL" WAS USED TO SET THE CORNERS. IT IS CLEAR HOWEVER, THAT THE ORIGINAL INTENTION OF THE PLATS WAS FOR BLOCK 1 MB 3 PG 23 AND LOTS 1, 5-7 MB 2 PG 104 TO BE SEPERATED BY A 20 FOOT STREET WITH THE NORTHERN LINE OF THAT STREET TO BE THE NORTHERN LINE OF CAPE FEAR BLVD IF EXTENDED. ALL DIMENSIONS SHOWN ON SHEETS 2 AND 3 OF THIS MAP REFLECT THE ORIGINAL INTENTION OF NOT HAVING A GAP BETWEEN THE TWO AFOREMENTIONED PLATS.

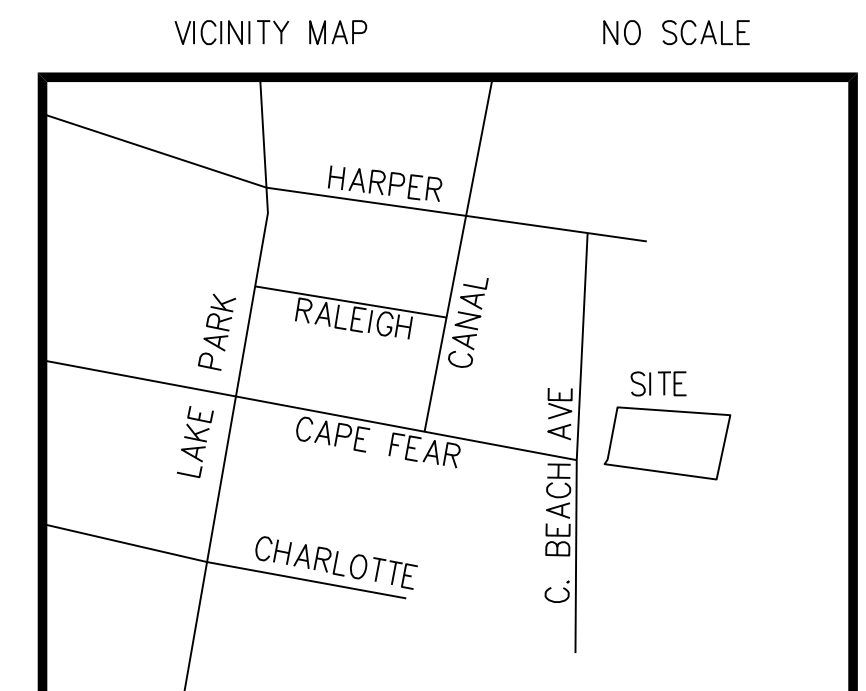
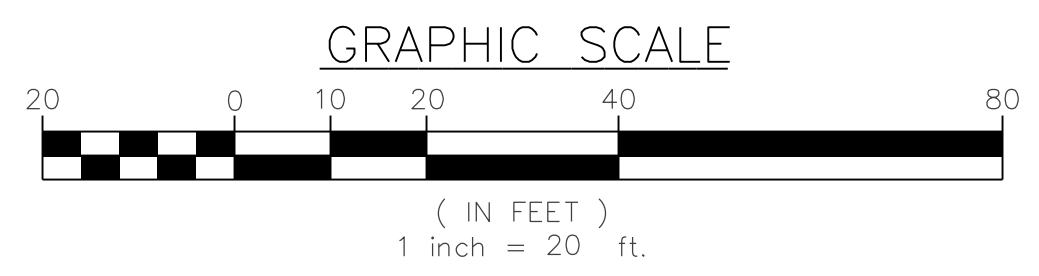
- REFERENCES**
- MB 3 PG 23
 - MB 2 PG 104
 - MB 2 PG 140
 - MB 18 PG 49
 - MB 65 PG 235
 - MB 55 PG 354
 - MB 39 PG 301

SURVEYORS CERTIFICATE

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, BEING THE SAME PROPERTY DESCRIBED ON THE FACE OF THIS PLAT, AND THAT THE UNADJUSTED RATIO OF PRECISION AS CALCULATED BY COMPUTER IS 1/12,150+, AND THAT THE BOUNDARIES NOT SURVEYED THAT ARE SHOWN WERE PLOTTED FROM THE REFERENCED RECORD INFORMATION; AND THAT THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET; AND THAT THIS MAP MEETS REQUIREMENTS OF THE "THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600)" WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER, AND SEAL THIS 19TH DAY OF APRIL A.D., 2024.

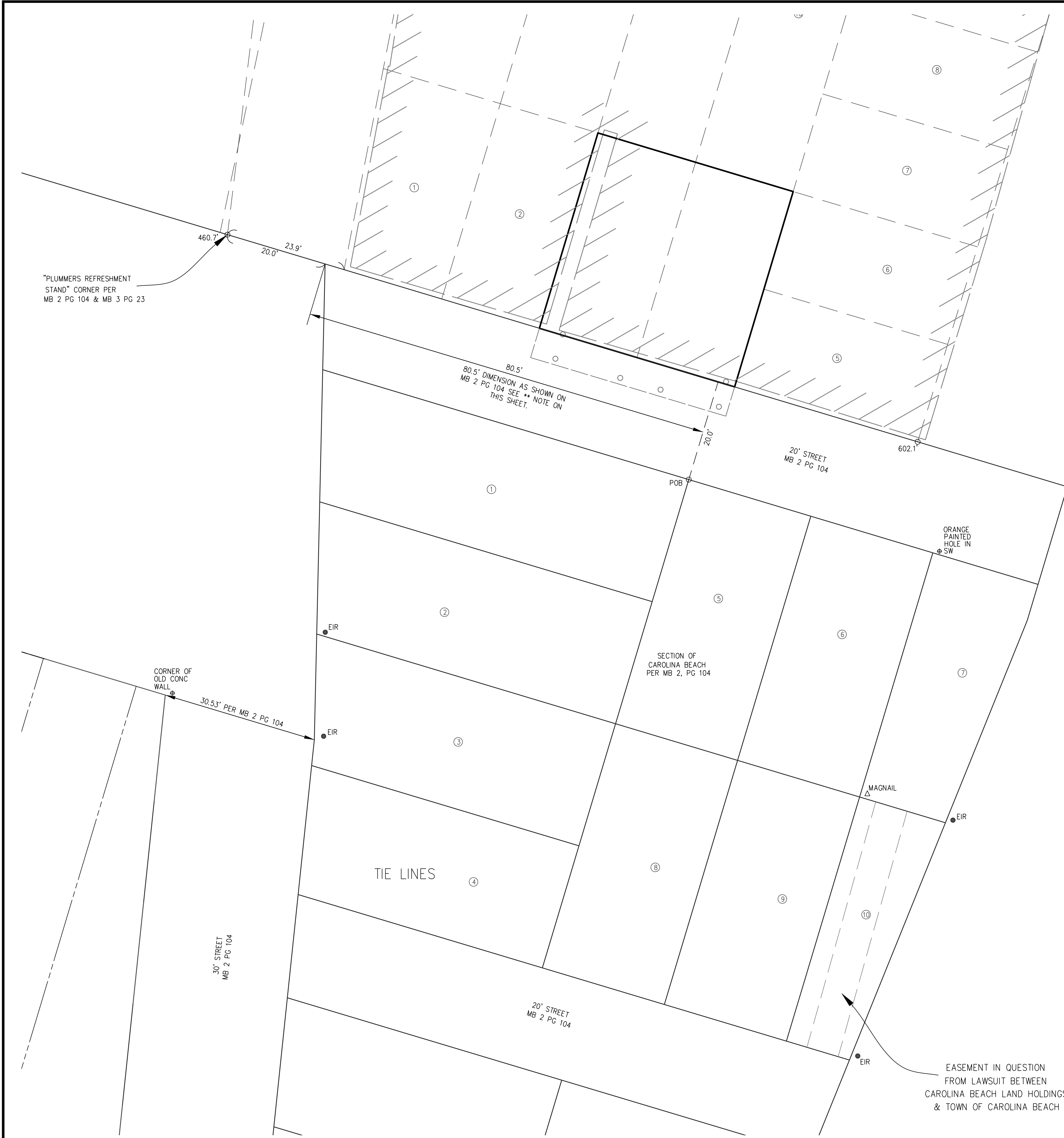


Robert G. Sessoms
 ROBERT G. SESSOMS
 PROFESSIONAL LAND SURVEYOR
 LICENSE NUMBER 4659



**MAP OF SURVEY OF
 3 CAPE FEAR BOULEVARD
 BEING LOTS 3 & 4, BLOCK 1
 PAVILLION SECTION
 AS SHOWN IN MB 3, PG 23
 TOWN OF CAROLINA BEACH
 NEW HANOVER COUNTY NORTH CAROLINA**

SCALE 1"=20'		NC LICENSE L-4659
DATE 04/17/2024		E 200 SPENCER FARLOW DRIVE, UNIT 1
DRAWN BY RGS		CAROLINA BEACH, NC 28428
RSA PROJECT #24.110		PHONE (910) 852-8846
SHEET 1 OF 3		EMAIL - RSSESSOMS@RSSSURVYING.COM



LEGEND
 EIP - EXISTING IRON PIPE
 EIR - EXISTING IRON REBAR
 MB - MAP BOOK
 DB - DEED BOOK
 PG - PAGE
 R/W - RIGHT OF WAY
 N/F - NOW OR FORMERLY
 ① - DENOTES ORIGINAL LOT NUMBERS
 ○ - KEY DIMENSION FROM OLD LAKE PARK R/W

REFERENCES
 MB 3 PG 23
 MB 2 PG 104
 MB 2 PG 140
 MB 18 PG 49
 MB 65 PG 235
 MB 55 PG 354
 MB 39 PG 301

**** NOTE**

-AS OF THE DATE OF THIS MAP, SURVEYOR DOES NOT KNOW HOW THE CORNERS AROUND BLOCK 1 AND LOTS 1-10 WERE SET, BY WHOM THEY WERE SET OR WHAT "CONTROL" WAS USED TO SET THE CORNERS. IT APPEARS THAT ALL OF THE EXISTING MONUMENTATION IN THIS AREA IS APPROX. 1.6' ENE FROM RECORD PLATTED CORNERS, BASED UPON THIS SURVEY.
 -THE 20.0' AND 80.5' DIMENSION RUNNING PARALLEL WITH 20 FOOT STREET ARE SHOWN AND DIMENSIONED ON MB 2 PG 104. IN ADDITION TO THOSE DIMENSIONS, IN EARLY RECORDED DEEDS ASSOCIATED WITH LOTS 5, 6, 8, 9 & 10 CALL FOR THE "POB" SHOWN AND SPECIFICALLY REFER TO IT BEING 20.0' SOUTH OF THE NORTH LINE OF 20 FOOT STREET AND THAT POINT BEING 100.5' (20'+80.5') EASTERLY ALONG THE NORTH LINE OF THE 20 FOOT STREET FROM THE "PLUMMER REFRESHMENT STAND" CORNER.

NOTES:

1. SURVEY WAS PERFORMED ON MARCH 20-28, 2024.
2. ALL OF THIS LOT LIES WITHIN AN AREA OF SPECIAL FLOOD HAZARD (ZONE AE 10) AS DETERMINED BY DFIRM MAP 3720313000K, DATED 08-28-2018.
3. AREAS SHOWN WERE CALCULATED BY COORDINATE METHOD.
4. SURVEY DONE WITHOUT THE BENEFIT OF A CERTIFIED TITLE REPORT AND IS SUBJECT TO ANY EASEMENTS OR RESTRICTIONS OF RECORD.
5. NO PAIR OF NC GRID MONUMENTS FOUND WITHIN 2,000'.
6. IT APPEARS TO SURVEYOR THAT THE ORIGINAL INTENTION OF THE NORTHERN LINE OF CAPE FEAR BLVD AND THE NORTHERN LINE OF THE 20' STREET (CAPE FEAR NORTH LINE EXTENDED) WAS TO BE THE "BASE LINE" FOR THE LOTS CREATED TO THE NORTH AND TO THE SOUTH OF IT.

SURVEYORS CERTIFICATE

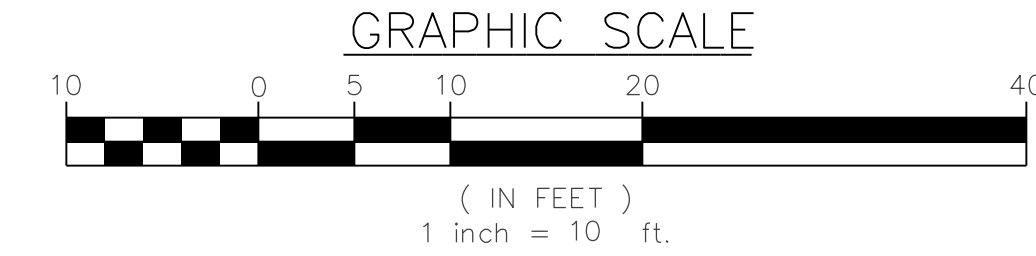
I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, BEING THE SAME PROPERTY DESCRIBED ON THE FACE OF THIS PLAT, AND THAT THE UNADJUSTED RATIO OF PRECISION AS CALCULATED BY COMPUTER IS 1/12,150+, AND THAT THE BOUNDARIES NOT SURVEYED THAT ARE SHOWN WERE PLOTTED FROM THE REFERENCED RECORD INFORMATION, AND THAT THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET; AND THAT THIS MAP MEETS REQUIREMENTS OF THE "THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600)" WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER, AND SEAL THIS 19TH DAY OF APRIL A.D., 2024.



Robert G. Sessoms
 ROBERT G. SESSOMS
 PROFESSIONAL LAND SURVEYOR
 LICENSE NUMBER 4659

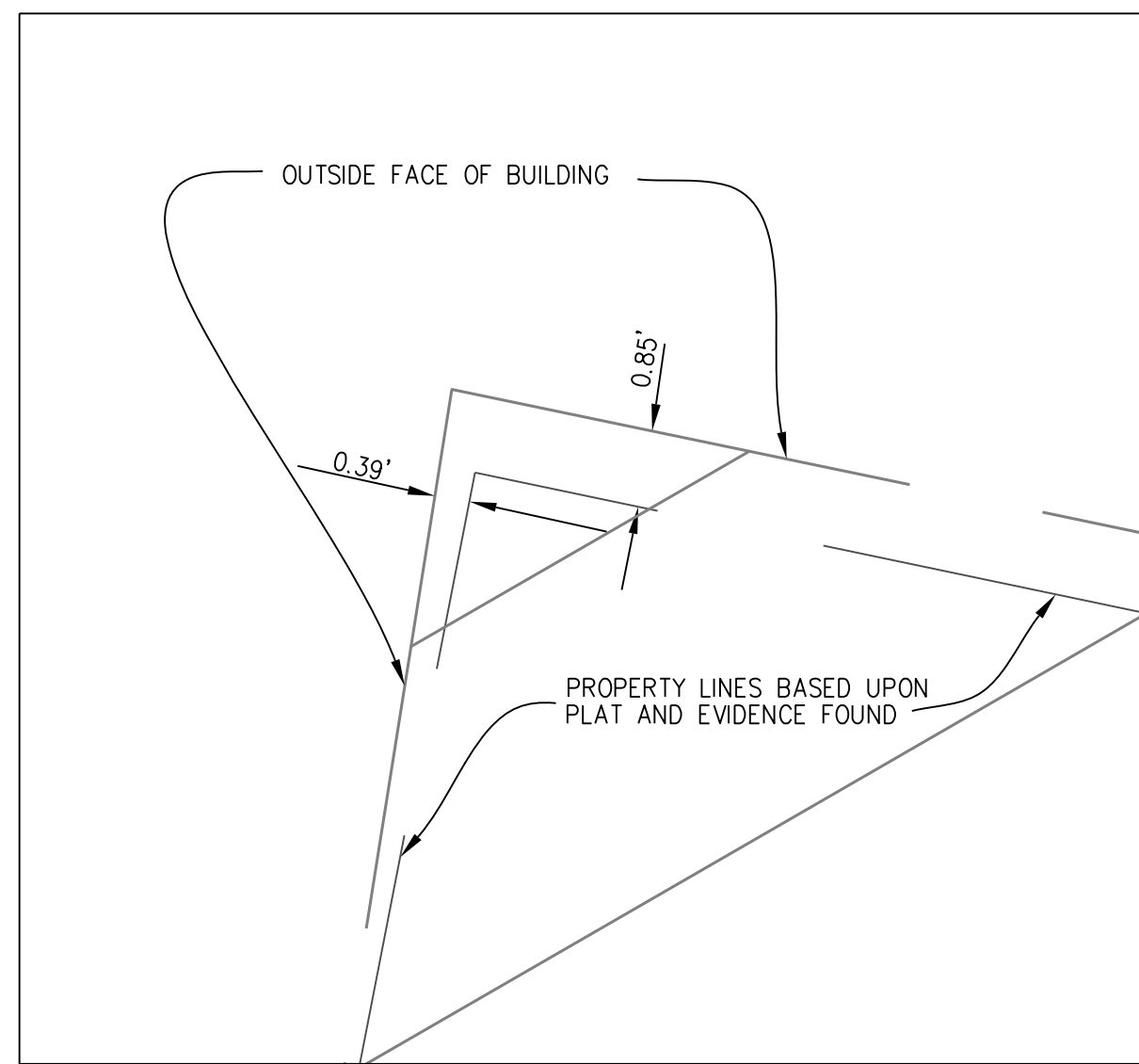
**MAP OF SURVEY OF
 3 CAPE FEAR BOULEVARD
 BEING LOTS 3 & 4, BLOCK I
 PAVILLION SECTION
 AS SHOWN IN MB 3, PG 23
 TOWN OF CAROLINA BEACH**

NEW HANOVER COUNTY NORTH CAROLINA

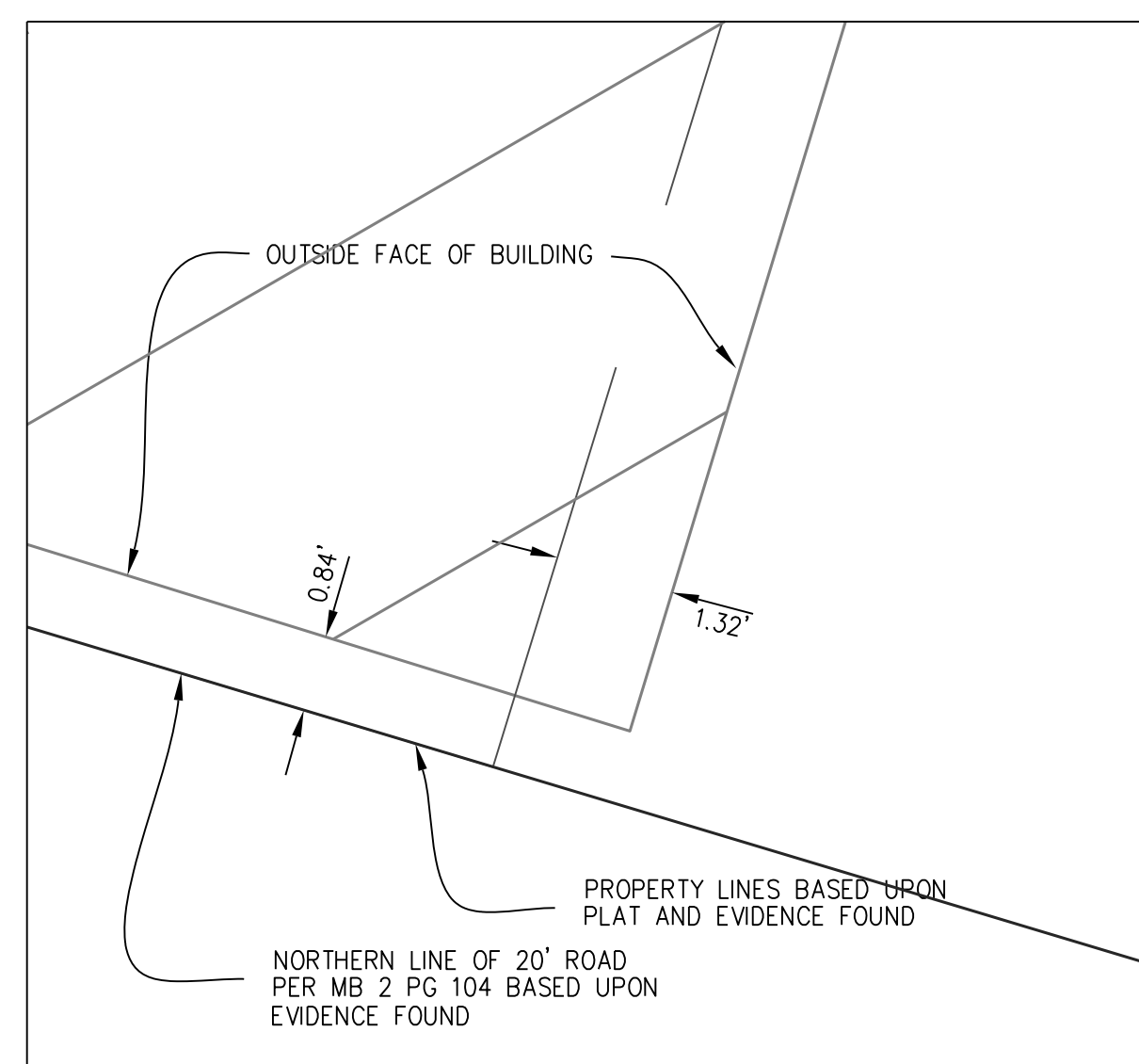


SCALE	1"=10'
DATE	04/19/2024
DRAWN BY	RGS
RSA PROJECT	#24.110

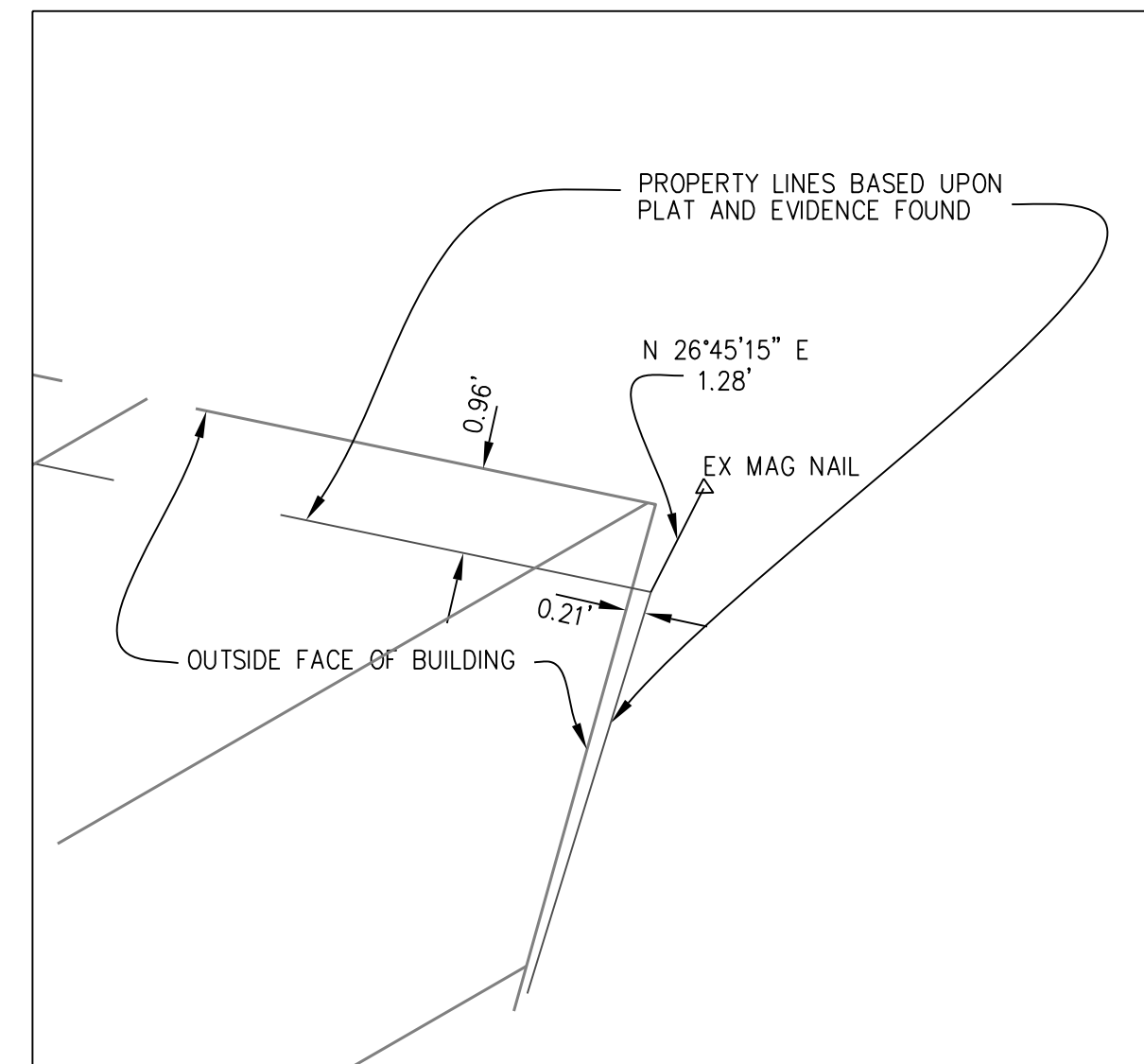
N
 W E S
 ROBERT G. SESSOMS PLS
 NC LICENSE L-4659
 200 SPENCER FARLOW DRIVE, UNIT 1
 CAROLINA BEACH, NC 28428
 PHONE (910) 352-8846
 EMAIL - RSESSOMS@RSSSURVEYING.COM



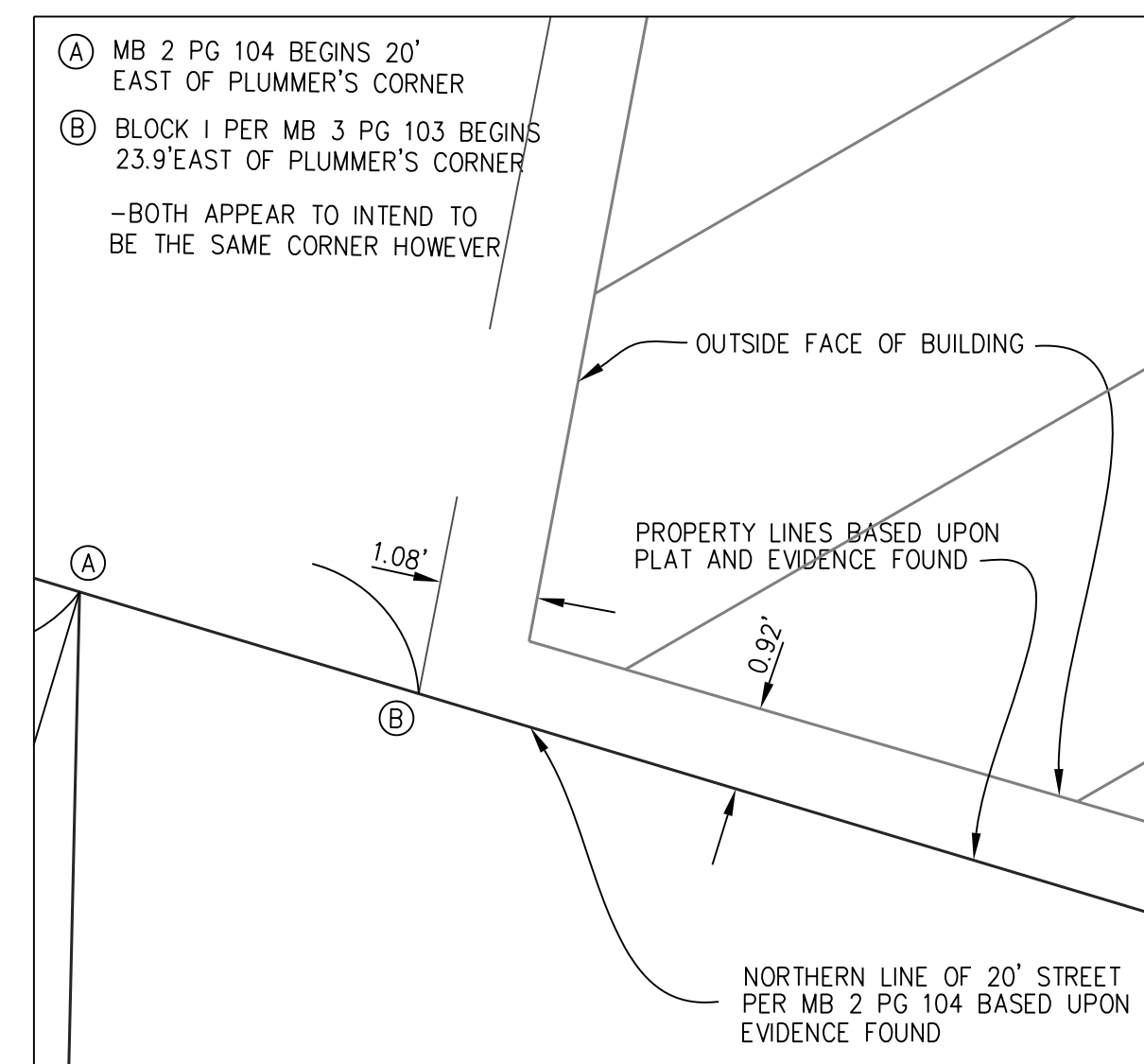
DETAIL AREA 1 SCALE 1"=2'



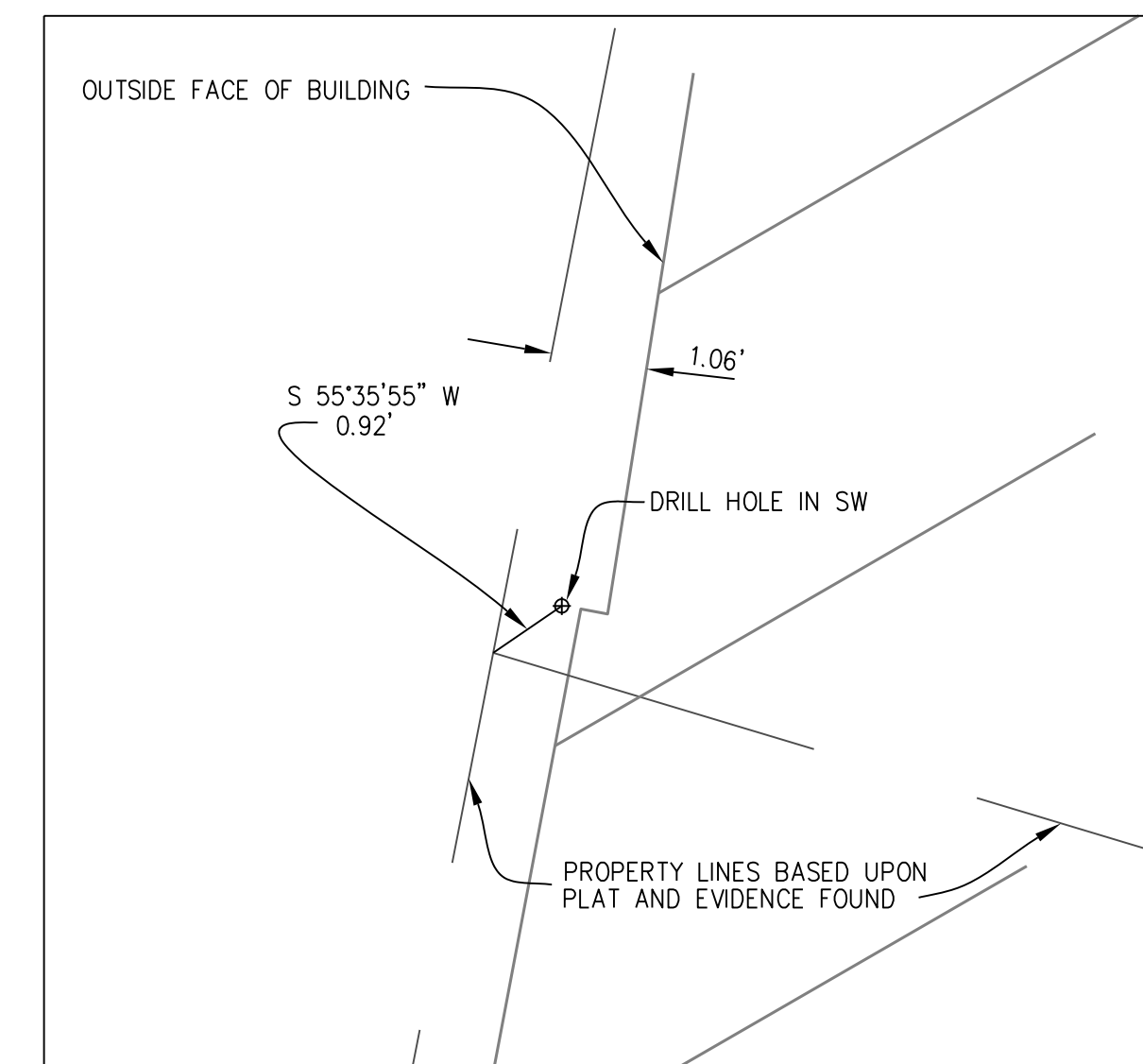
DETAIL AREA 3 SCALE 1"=2'



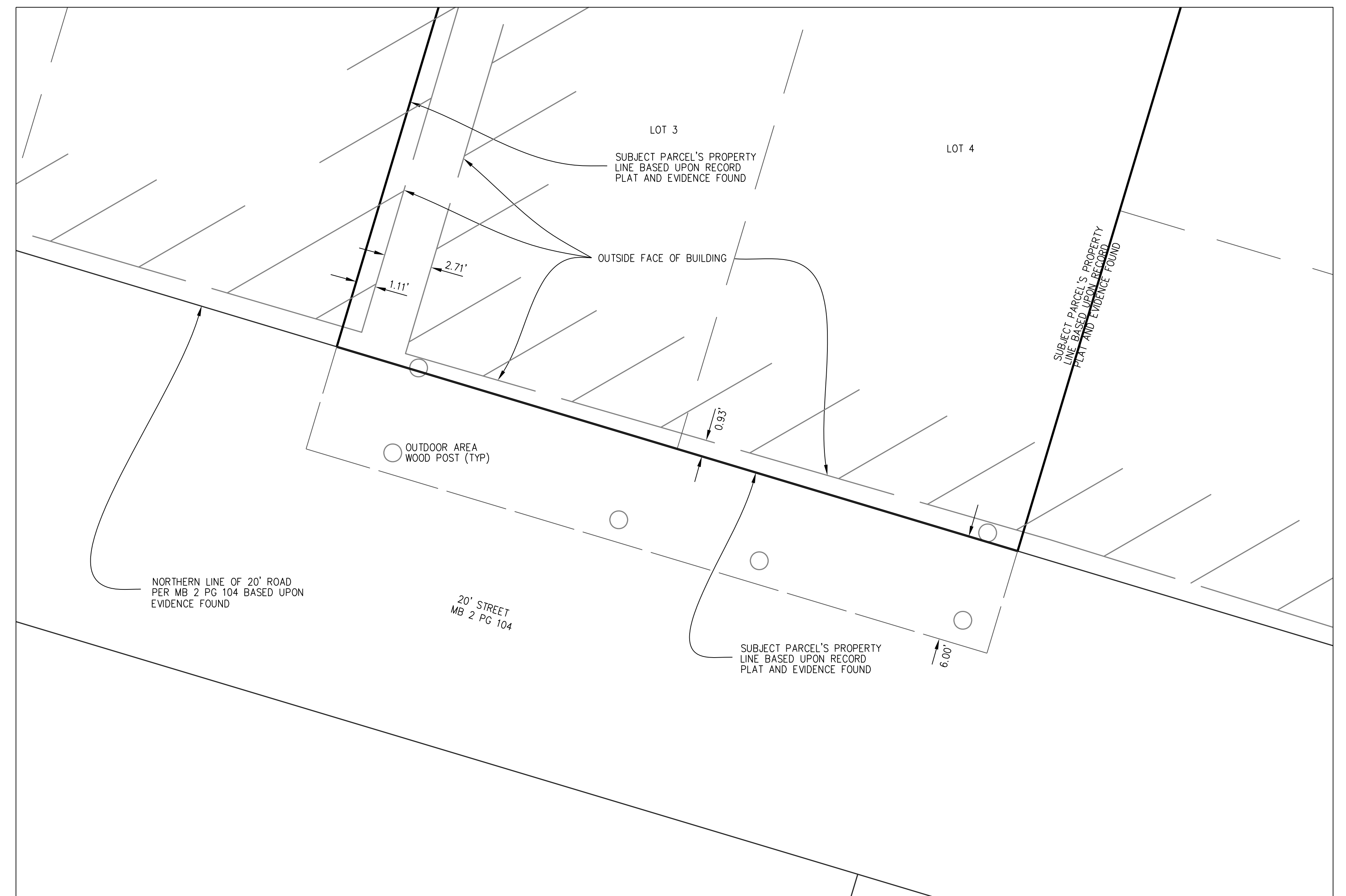
DETAIL AREA 2 SCALE 1"=2'



DETAIL AREA 4 SCALE 1"=2'



DETAIL AREA 5 SCALE 1"=2'

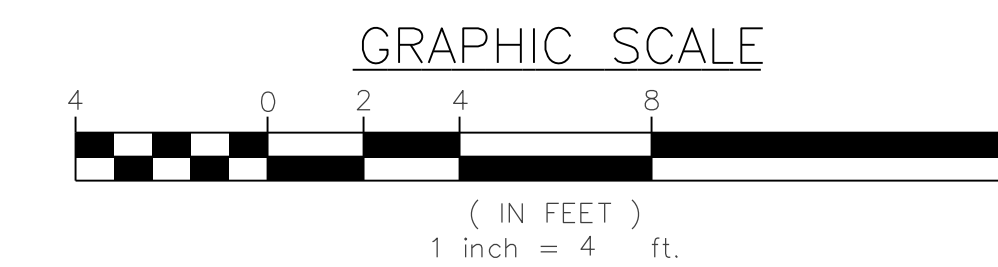
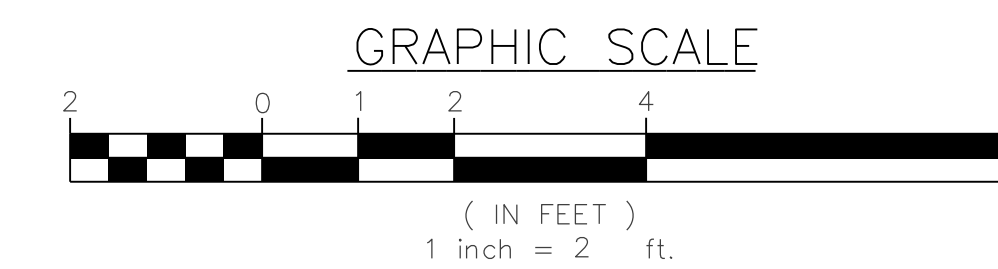


DETAIL AREA 6 SCALE 1"=4'

- LEGEND
- EIP - EXISTING IRON PIPE
 - EIR - EXISTING IRON REBAR
 - MB - MAP BOOK
 - DB - DEED BOOK
 - PG - PAGE
 - R/W - RIGHT OF WAY
 - N/F - NOW OR FORMERLY
 - ① - DENOTES ORIGINAL LOT NUMBERS

- NOTES:
1. SURVEY WAS PERFORMED ON MARCH 20-28, 2024.
 2. ALL OF THIS LOT LIES WITHIN AN AREA OF SPECIAL FLOOD HAZARD (ZONE AE 10) AS DETERMINED BY DFIRM MAP 3720313000K, DATED 08-28-2018.
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- REFERENCES
- MB 3 PG 23
 - MB 2 PG 104
 - MB 2 PG 140
 - MB 18 PG 49
 - MB 65 PG 235
 - MB 55 PG 354
 - MB 39 PG 301



SURVEYORS CERTIFICATE
I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, BEING THE SAME PROPERTY DESCRIBED ON THE FACE OF THIS PLAT, AND THAT THE UNADJUSTED RATIO OF PRECISION AS CALCULATED BY COMPUTER IS 1/12,150+, AND THAT THE BOUNDARIES NOT SURVEYED THAT ARE SHOWN WERE PLOTTED FROM THE REFERENCED RECORD INFORMATION; AND THAT THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET; AND THAT THIS MAP MEETS REQUIREMENTS OF THE "THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600)" WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER, AND SEAL THIS 19TH DAY OF APRIL A.D., 2024.



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PROFESSIONAL LAND SURVEYOR
LICENSE NUMBER 4659

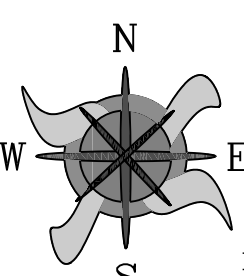
SHEET INDEX
SHEET 1 - OVERALL AREA
SHEET 2 - MB 2 PG 104 DETAIL AREA
SHEET 3 - BUILDING DETAIL AREAS

SHEET 3 OF 3

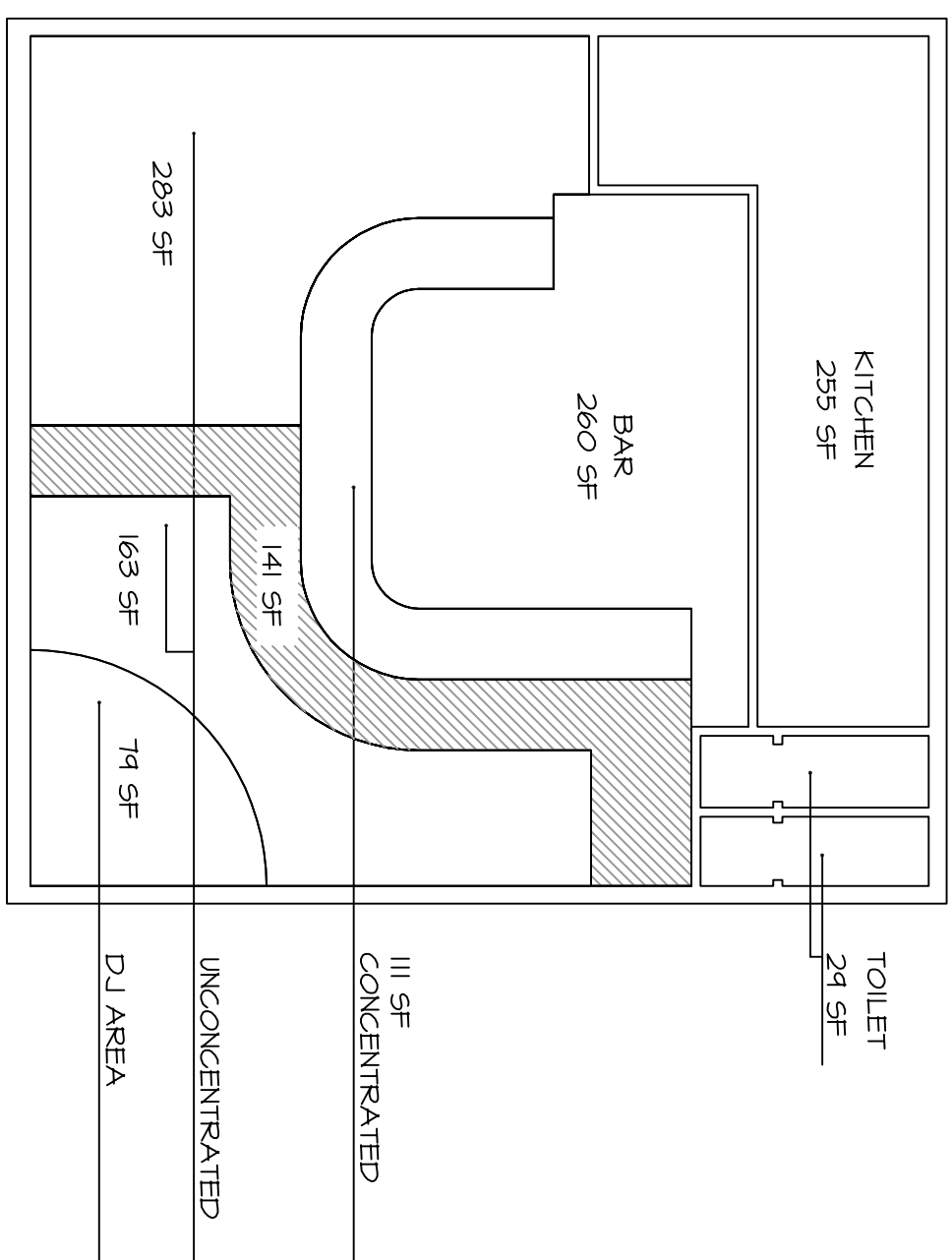
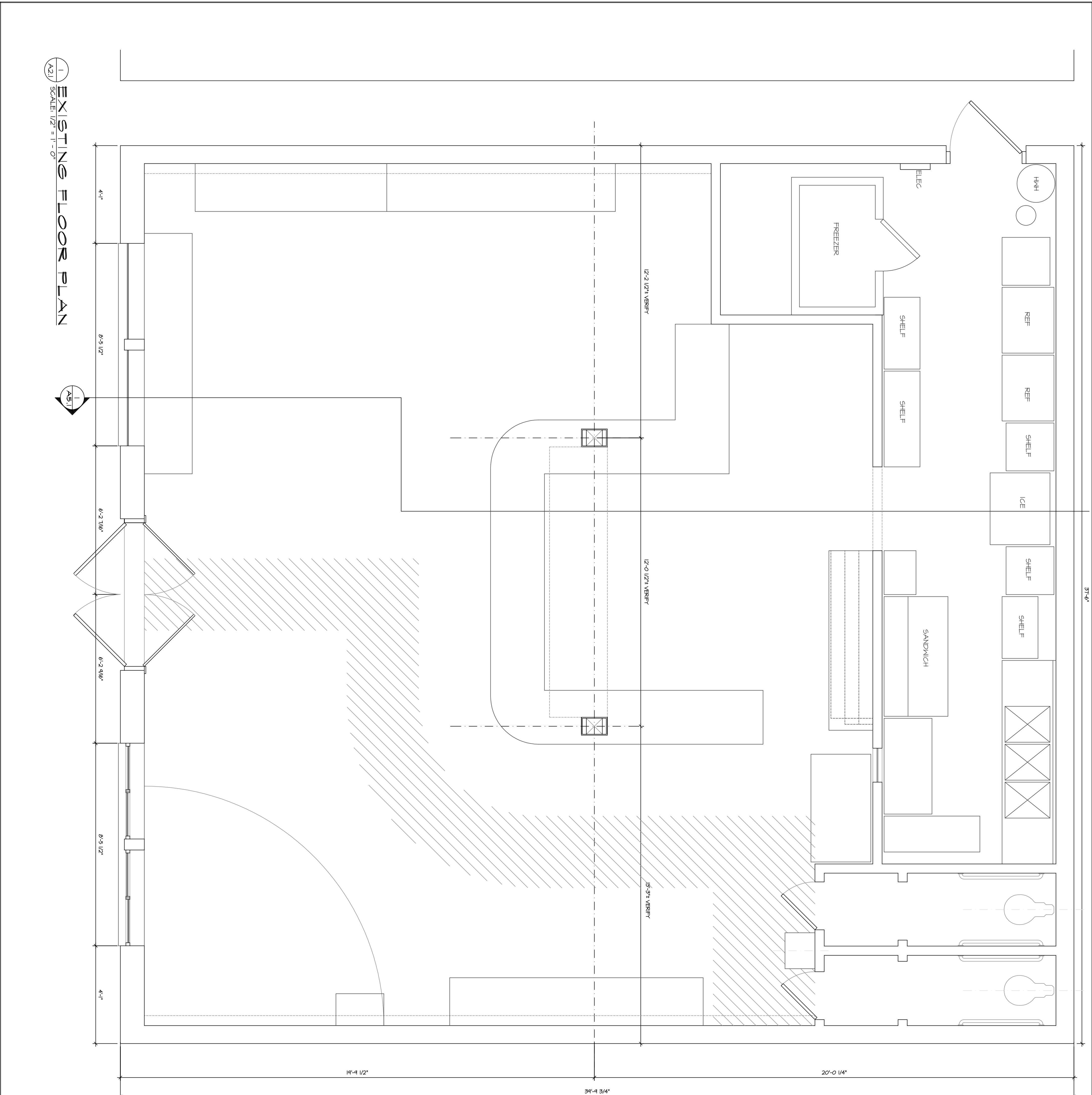
MAP OF SURVEY OF
3 CAPE FEAR BOULEVARD
BEING LOTS 3 & 4, BLOCK 1
PAVILLION SECTION
AS SHOWN IN MB 3, PG 23

TOWN OF CAROLINA BEACH
NEW HANOVER COUNTY NORTH CAROLINA

SCALE VARIES
DATE 04/19/2024
DRAWN BY RGS
RSA PROJECT #24.110



ROBERT G. SESSOMS PLS
NC LICENSE L-4659
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CAROLINA BEACH, NC 28428
PHONE (910) 352-8846
EMAIL - RSESSOMS@RSSSURVEYING.COM



2 A21 SCALE: 1/8" = 1'-0" NORTH

ADJUTANT	4444.50 FT	24.18
BAR	1111.50 FT	15.96
DJ AREA (100)	298.50 FT	1.58
DJ AREA (200)	298.50 FT	0.22
KITCHEN (PER 200)	255.00 FT	1.28
TOLLET (NO OCCUPANCY)	24.00 FT	0.00
WALLS (NO OCCUPANCY)	321.50 FT	0.00
TOTAL	1488.50 FT	44.15

A2.1

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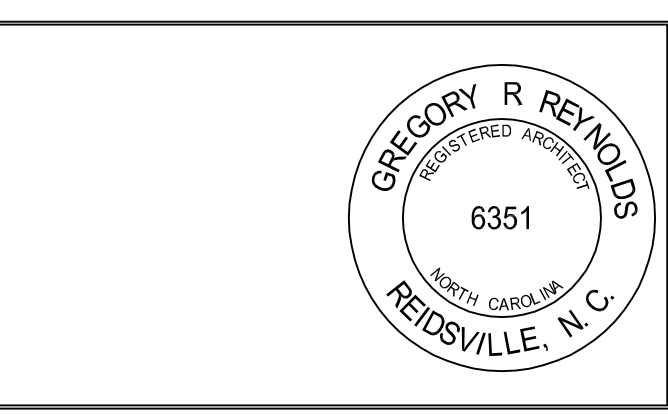
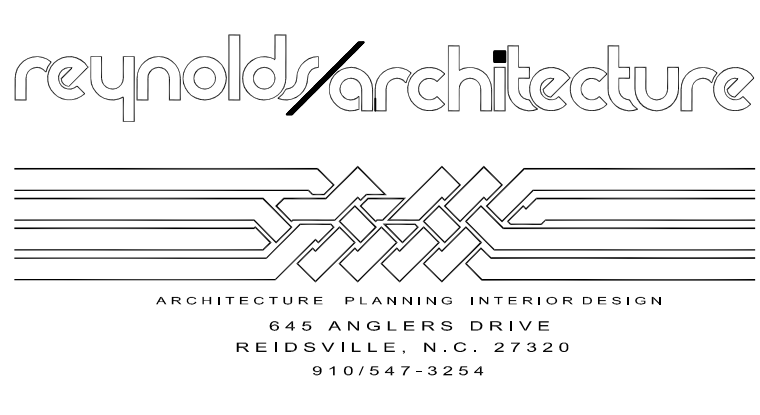
SHEET NUMBER

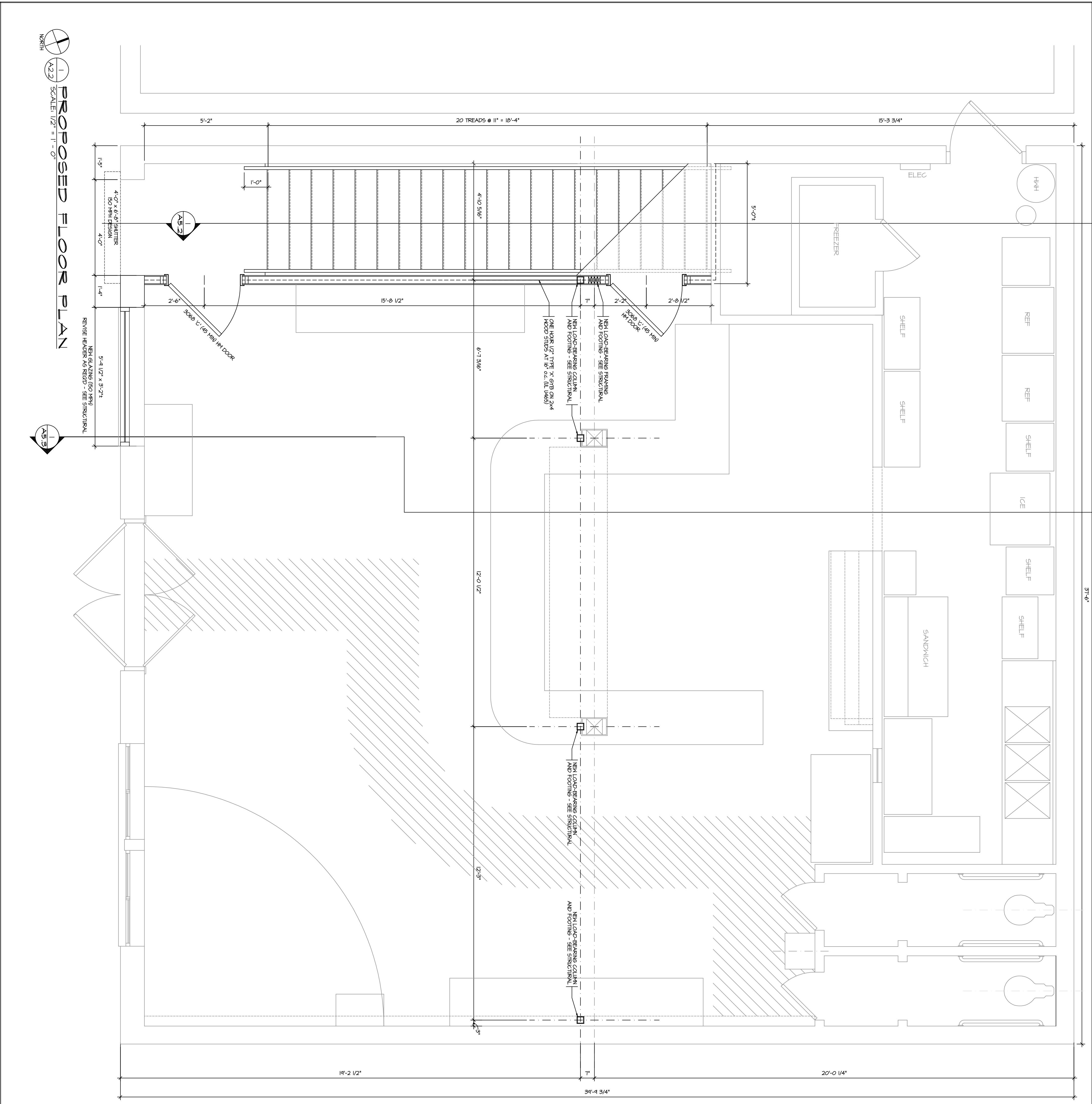
EXISTING FLOOR PLAN
PROPOSED UPFIT/ADDITION

SILVER DOLLAR

3 CAPE FEAR BLVD.
 CAROLINA BEACH, NORTH CAROLINA

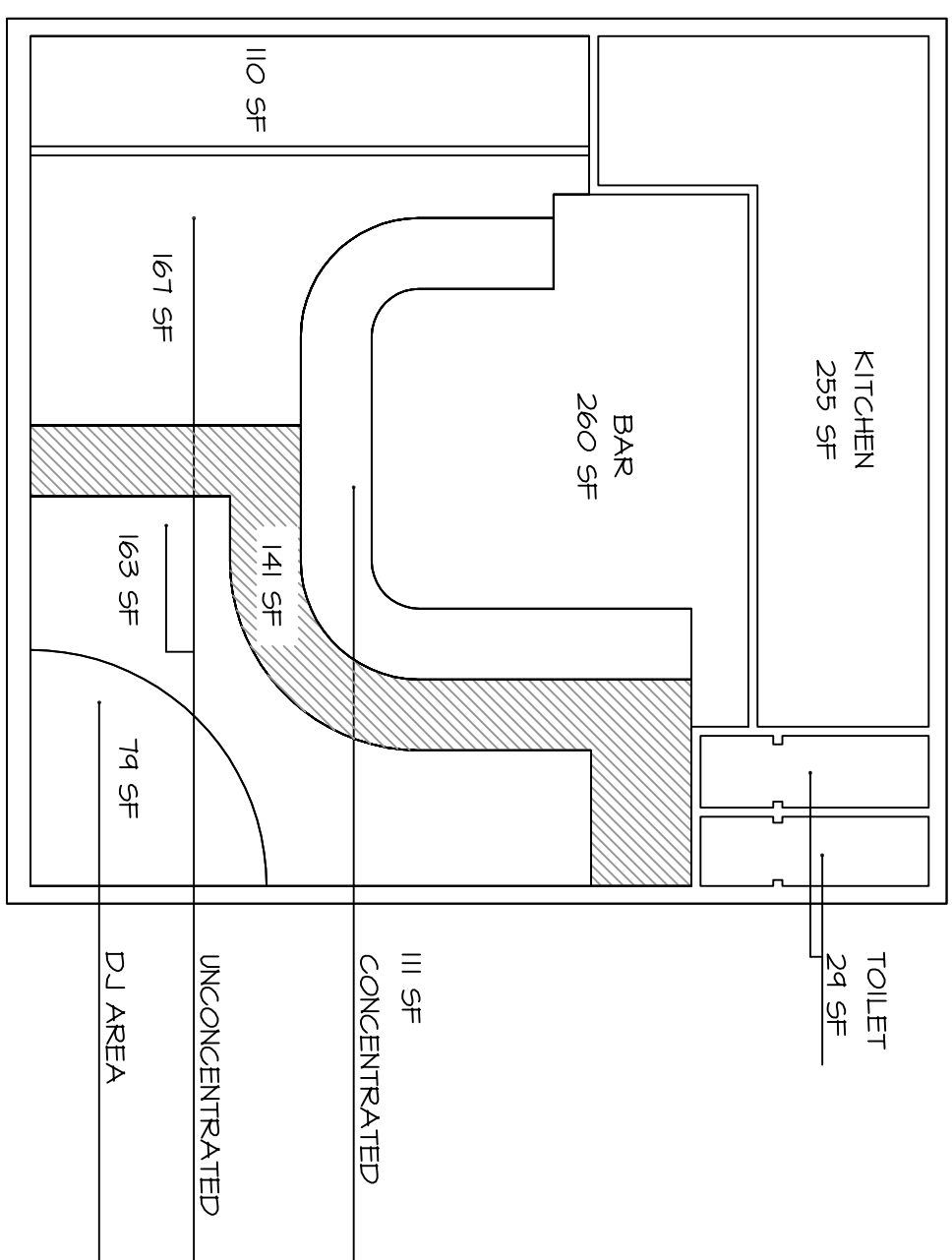
DATE	REVISIONS
12-21-23	
DRAWN BY	
REYNOLDS	
RIA PROJECT NUMBER	
2023-101	
CLIENT PROJECT NUMBER	
SD-101	
SCALE	
1/2" = 1'-0"	
FILE NAME	
SILVER DOLLAR-A2.1	





PROPOSED FLOOR PLAN
SCALE: 1/2" = 1'-0"

1 NORTH
2023
1
SCALE: 1/2" = 1'-0"
1
NORTH



2
SCALE: 1/8" = 1'-0"
OCCUPANT LOAD

AREA	AREA (SQ FT)	LOAD
BAR	260	22.0
KITCHEN	255	15.6
UNCONCENTRATED	110	0.2
CONCENTRATED	167	1.28
DJ AREA	163	0.02
TOLLET	24	0.02
TOTAL	1403	42.02

PROPOSED FIRST FLOOR
PROPOSED UPFIT/ADDITION

SILVER DOLLAR

3 CAPE FEAR BLVD.
CAROLINA BEACH, NORTH CAROLINA

DATE	REVISIONS
12-21-23	
DRAWN BY	
REYNOLDS	
R/A PROJECT NUMBER	
2023-101	
CLIENT PROJECT NUMBER	
SD-101	
SCALE	
1/2" = 1'-0"	
FILE NAME	
SILVER DOLLAR-A2.2	

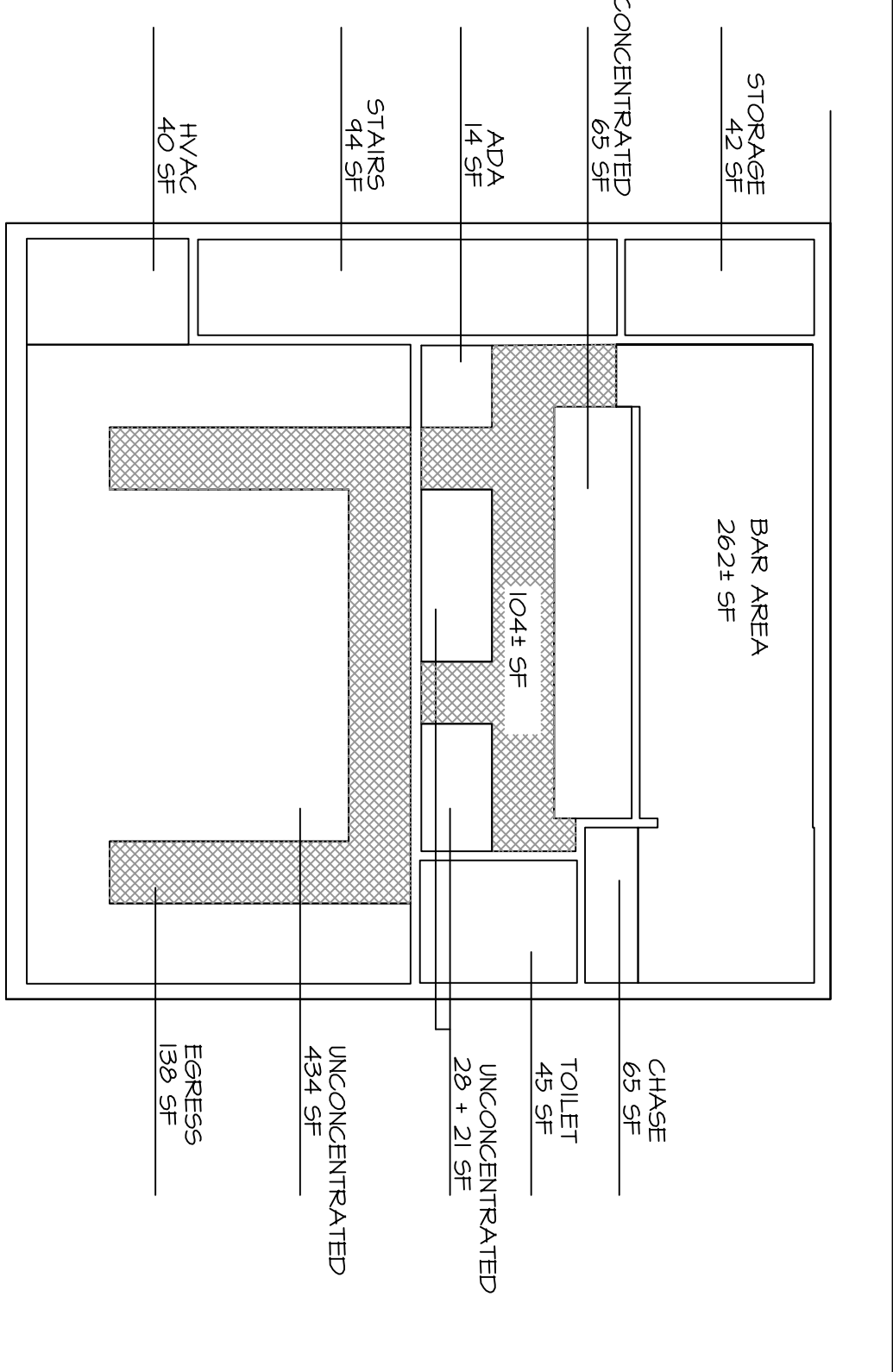
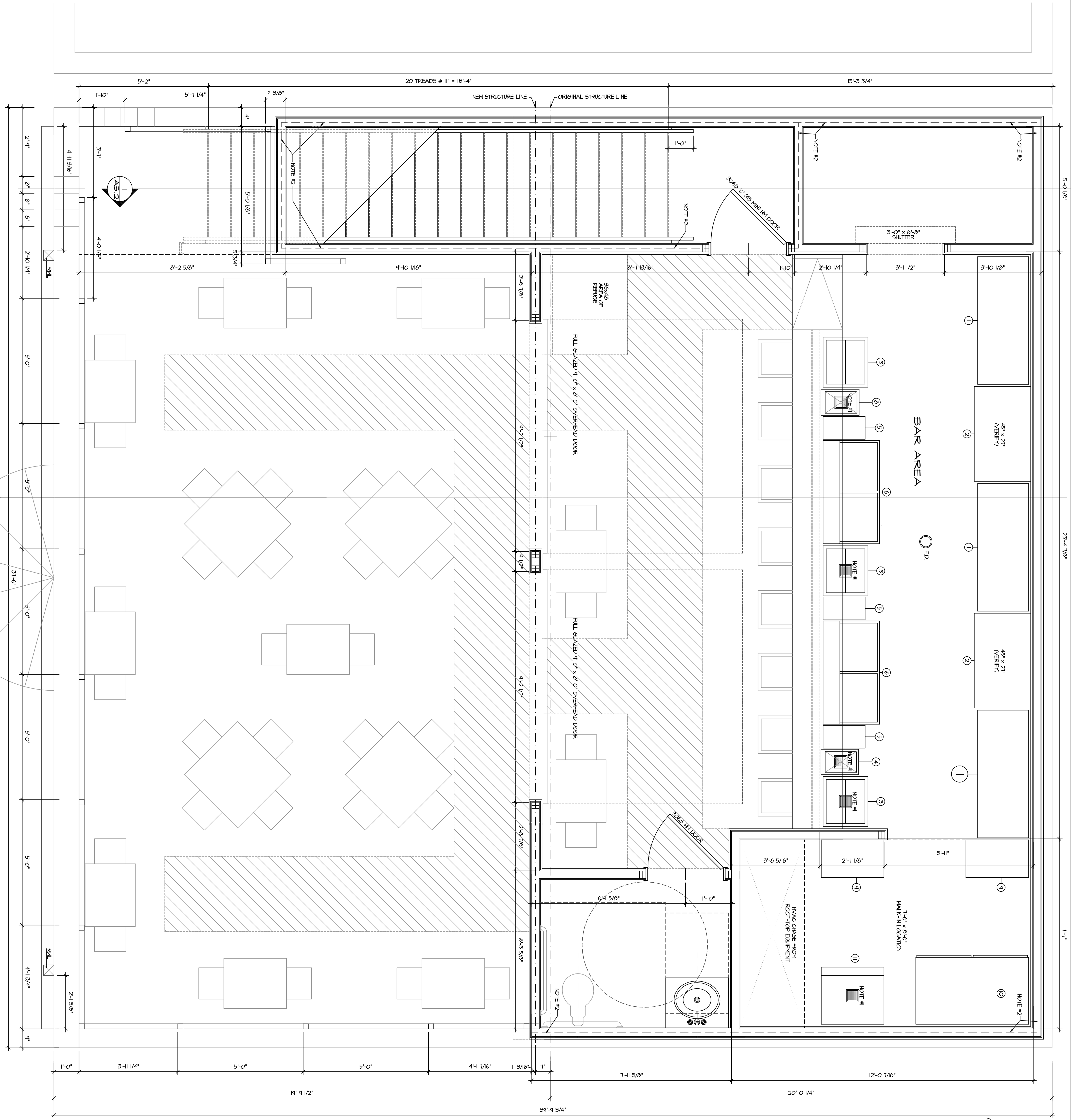
reynolds/architecture

ARCHITECTURE PLANNING INTERIOR DESIGN
348 ANGLERS DRIVE
REIDSVILLE, N.C. 27320
910.647.3254

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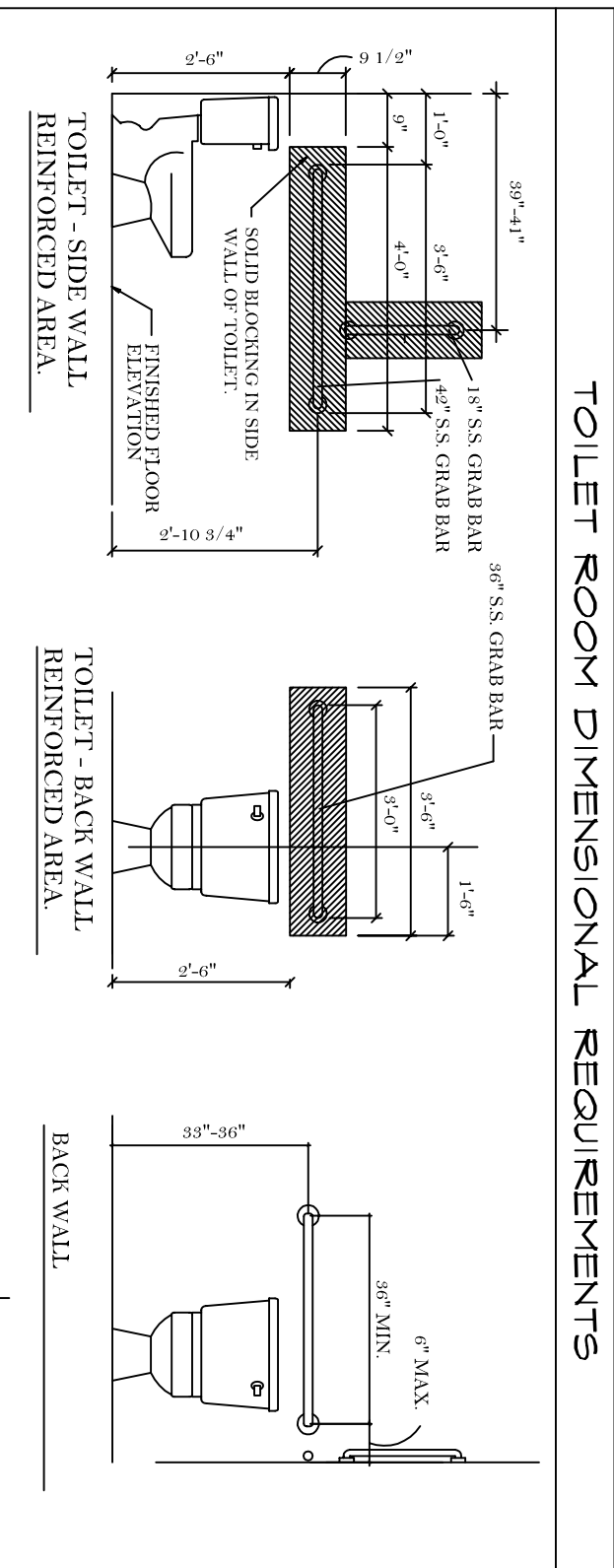
A2.2

SHEET NUMBER



2 OCCUPANT LOAD
SCALE: 1/8" = 1' - 0"

PUBLIC (UNOCCUPIED) - PER 15	4591.50 FT	322
ROOF TOP EQUIPMENT (PER 20)	401.50 FT	0.15
BAR AREA (PER 20)	2621.50 FT	131
TOILETS (NO OCCUPANCY)	451.50 FT	0.0
TOILETS (NO OCCUPANCY)	651.50 FT	0.0
TOILETS (NO OCCUPANCY)	2421.50 FT	0.0
STAIRS (NO OCCUPANCY)	441.50 FT	0.0
HVAC (NO OCCUPANCY)	401.50 FT	0.0
CHAISE	651.50 FT	0.0
TOILET	451.50 FT	0.0
UNOCCUPIED	451.50 FT	0.0
UNOCCUPIED	26 + 21 SF	0.0
TOTAL	1491.50 FT	4203



TOILET ROOM GENERAL NOTES

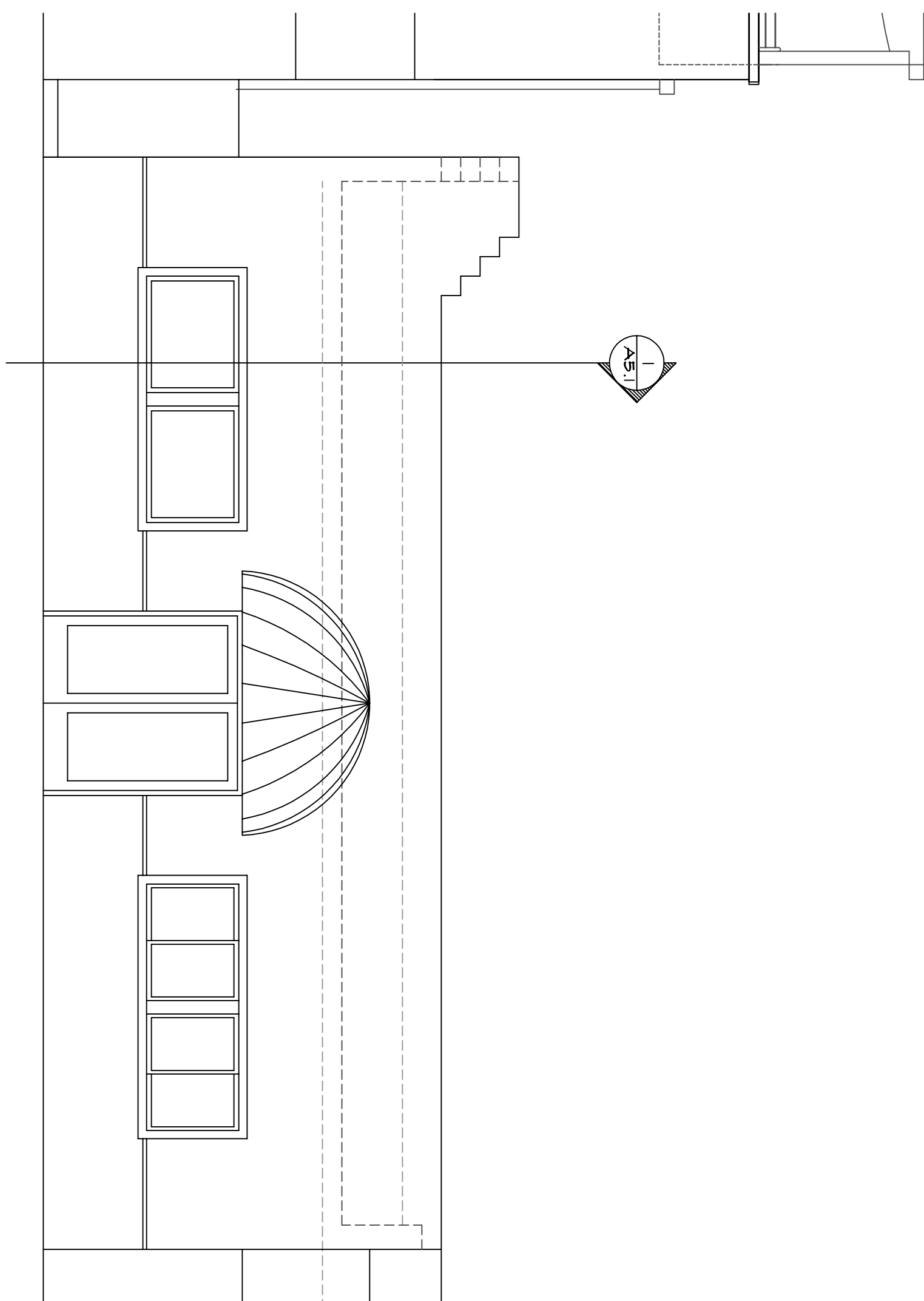
1. BAR MOUNTED 12" MAX FROM CORNER AT LEAST 1. ARBOR IN ROOM SHALL BE MOUNTED TO THE BOTTOM EDGE OF THE REFLECTING SURFACE 6" AFF OR LESS.
2. SOAP DISPENSER, TOWEL DISPENSER OR HAND DRYER IN ROOM SHALL BE MOUNTED SO FUNCTIONAL HEIGHT IS 48" AFF OR LESS.
3. W/C SEAT SHALL BE BETWEEN 14 1/2" & 19 1/2" ABOVE FLOOR.
4. 8 1/2" ABOVE FLOOR.
5. CHAIR BARS SHALL BE ANCHORED TO SUPPORT CENTERLINE FROM 5" TO 5" AFF AS FOLLOWS:
 - 1. 4" BAR MOUNTED 12" MAX FROM CORNER
 - 2. 1" CAN BE ADJ. ABOVE BAR FROM 12" FROM CORNER AT SIDE OF W/C
 - 3. 2" BACKING IS TO BE INSTALLED IN ALL ACCESSIBLE STALLS

EQUIPMENT SCHEDULE

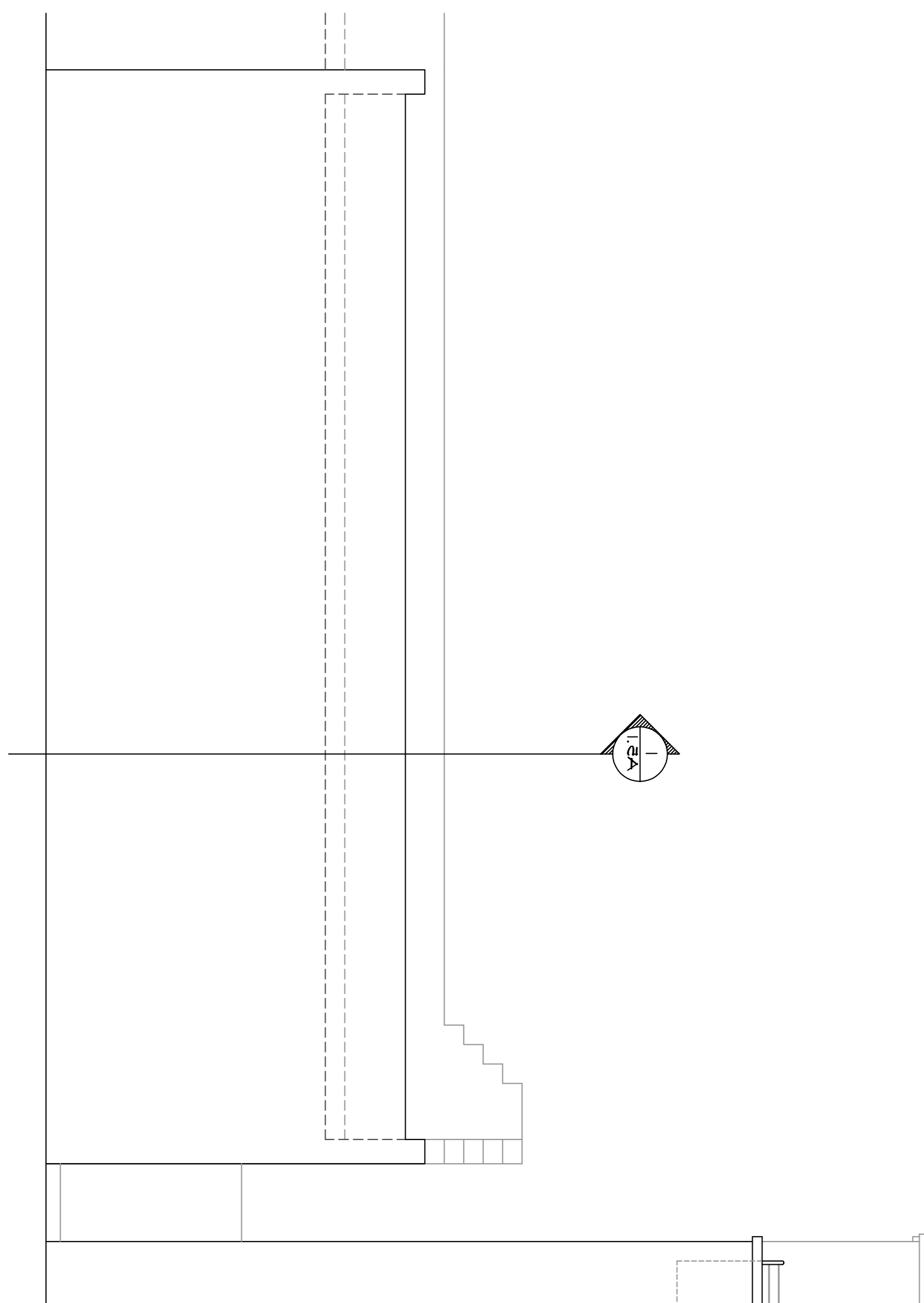
#	EQUIPMENT DESCRIPTION	REFER / MODEL #
1	BACK BAR CABINET (REGENERATED) 61" X 24" X 36"	SERV-VANDE RB3-24HC
2	BACK BAR CABINET (45" X 27") - FIELD VERT	BY GENERAL CONTRACTOR
3	ICE BIN (24" X 21 1/2" X 32 1/2")	BK RESOURCES 104-21-10274-6
4	INTEGRAL SINK UNIT (18" X 22 1/2")	BK RESOURCES 104-18-04982-6-6
5	TRASH RECEPTACLE (20 1/8" X 10 1/8" X 24 1/8")	INCO BPTC-28K
6	BOTTLE COOLER (14 1/4" X 27" X 35")	SERV-VANDE RB3-14HC
7	RECYCLE RECEPTACLE (20 1/8" X 10 1/8" X 24 1/8")	INCO BPTC-28L
8	UNDERBAR SINK UNIT (12 1/2" X 18 1/2" X 32 1/2")	BK RESOURCES 104-12-02961-2-2PFF
9	30" X 18" WARE SHELVING (14 1/2" X 5 1/2" X 18 1/2")	SERV-VANDE RB3-18WCKC4P
10	BEKOHAN REFRIGERATOR (14" X 35" X 32 1/2")	SERV-VANDE RB3-14K
11	ICE MAKER (18" X 21 1/8" X 32 1/2")	HOSHIZAKI RKN-10RKL

1 EQUIPMENT SCHEDULE

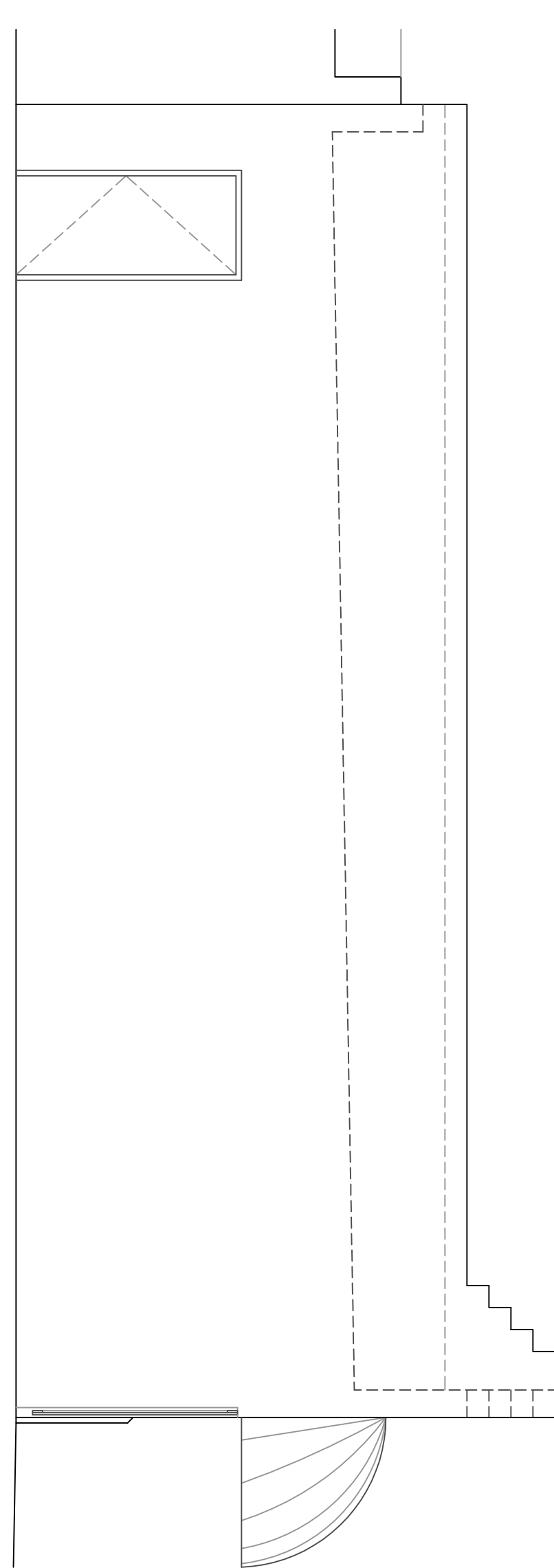
#	EQUIPMENT DESCRIPTION	REFER / MODEL #
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11	ICE MAKER (18" X 21 1/8" X 32 1/2")	HOSHIZAKI RKN-10RKL



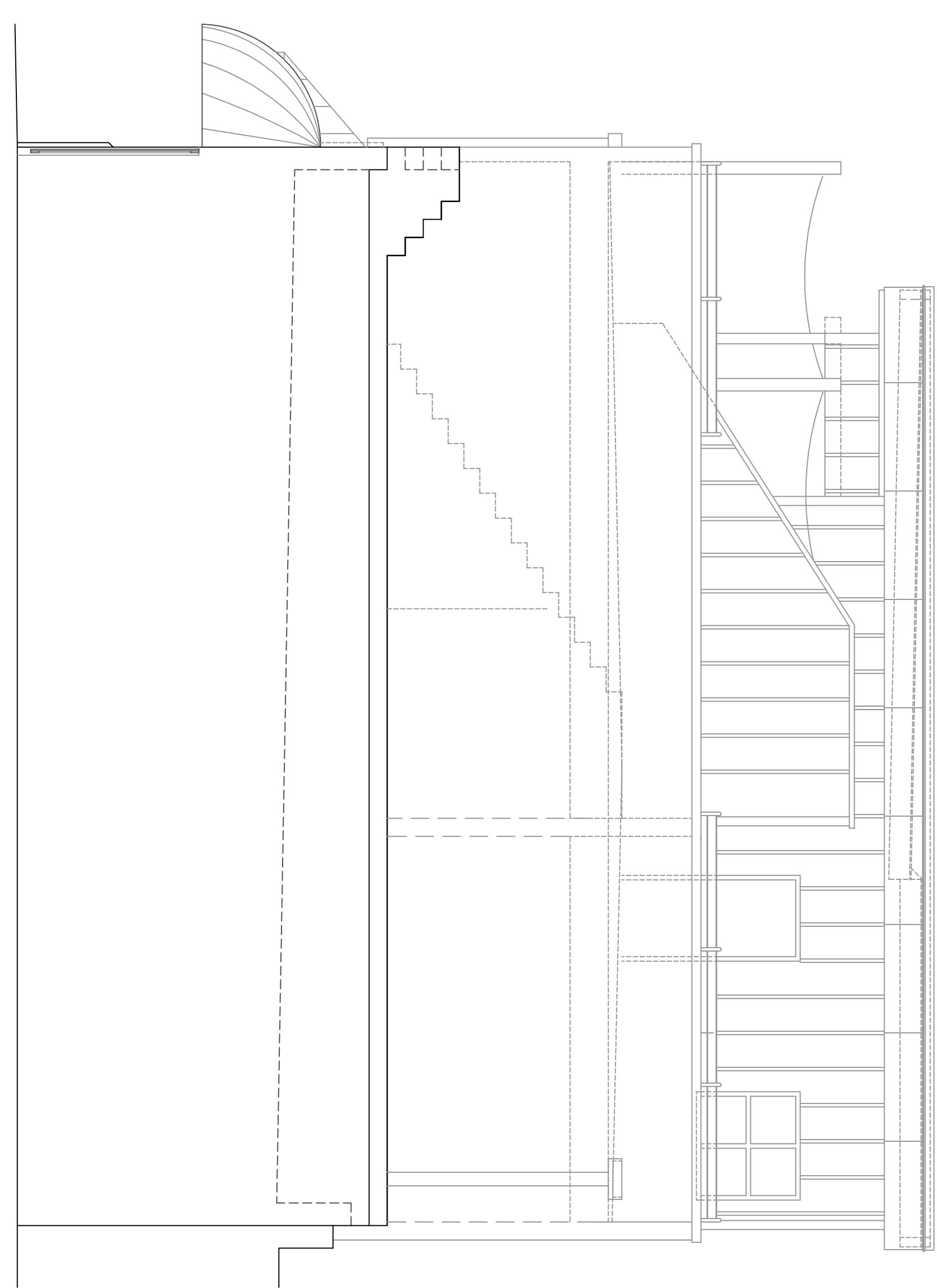
1
AS.1
SCALE 1/4" = 1'-0"
EXISTING SOUTH ELEVATION



3
AS.1
SCALE 1/4" = 1'-0"
EXISTING NORTH ELEVATION



2
AS.1
SCALE 1/4" = 1'-0"
EXISTING WEST ELEVATION



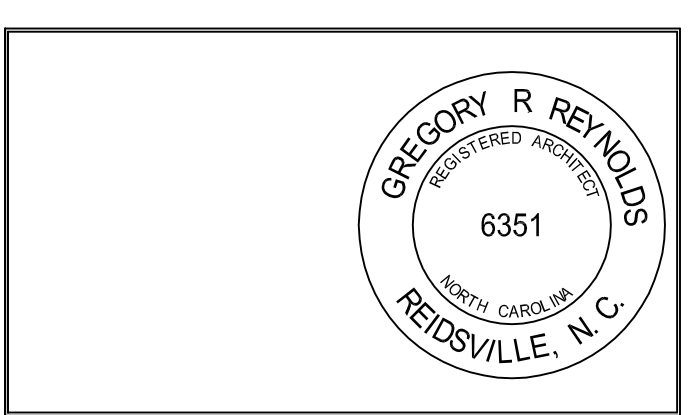
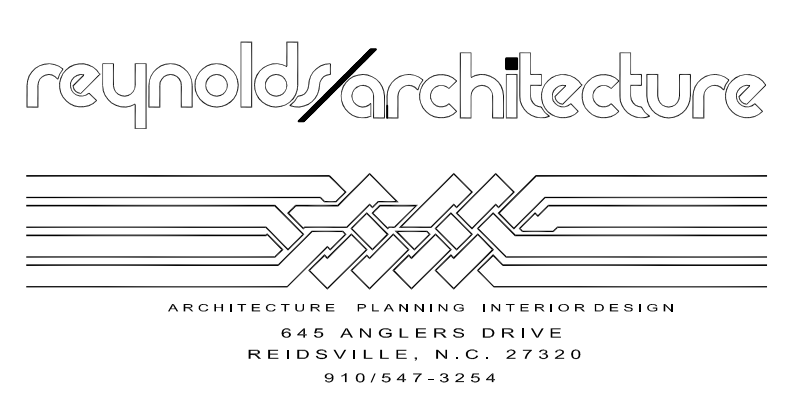
4
AS.1
SCALE 1/4" = 1'-0"
EXISTING EAST ELEVATION

EXISTING BUILDING ELEVATIONS
PROPOSED UPFIT/ADDITION

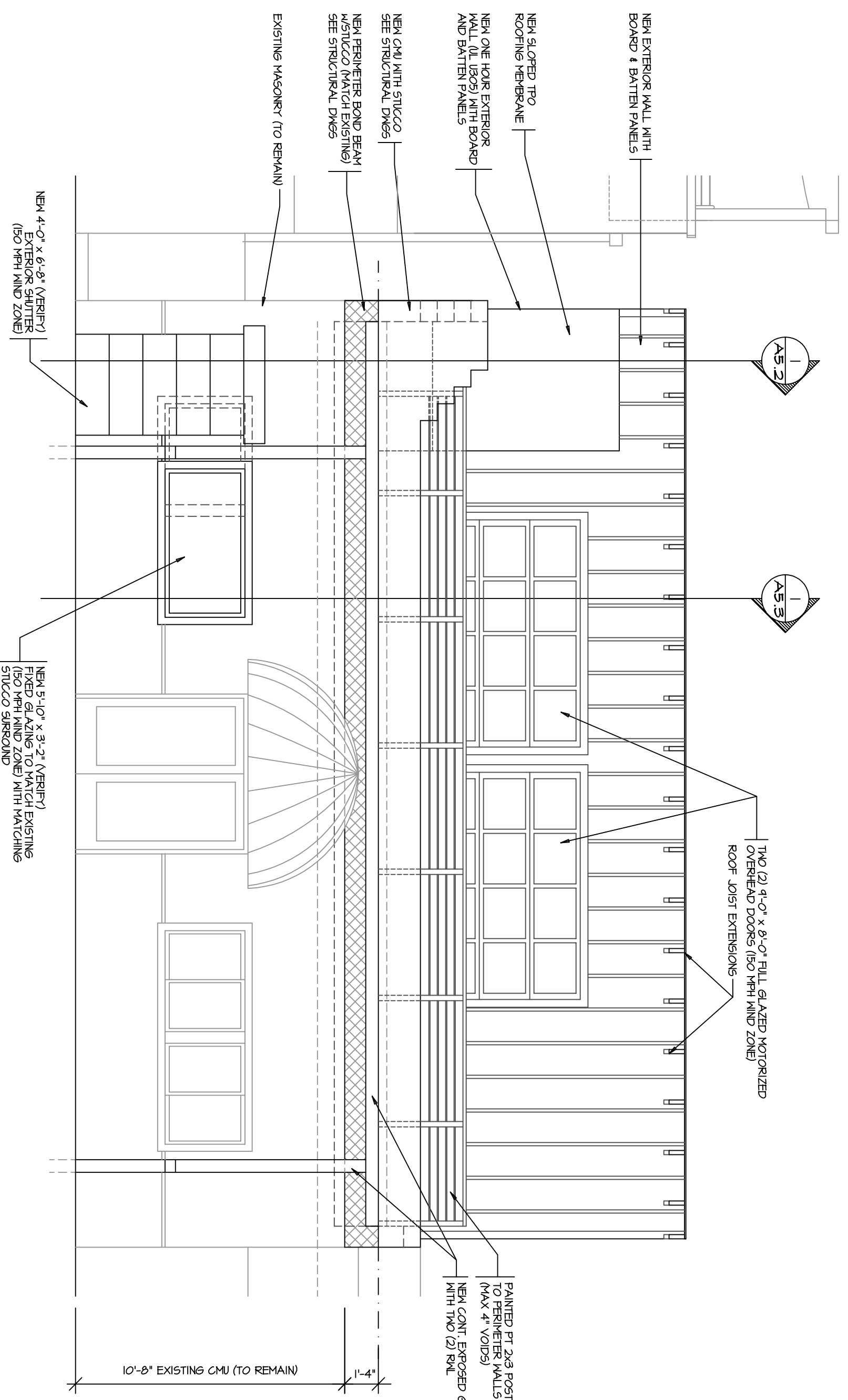
SILVER DOLLAR

 3 CAPE FEAR BLVD.
 CAROLINA BEACH, NORTH CAROLINA

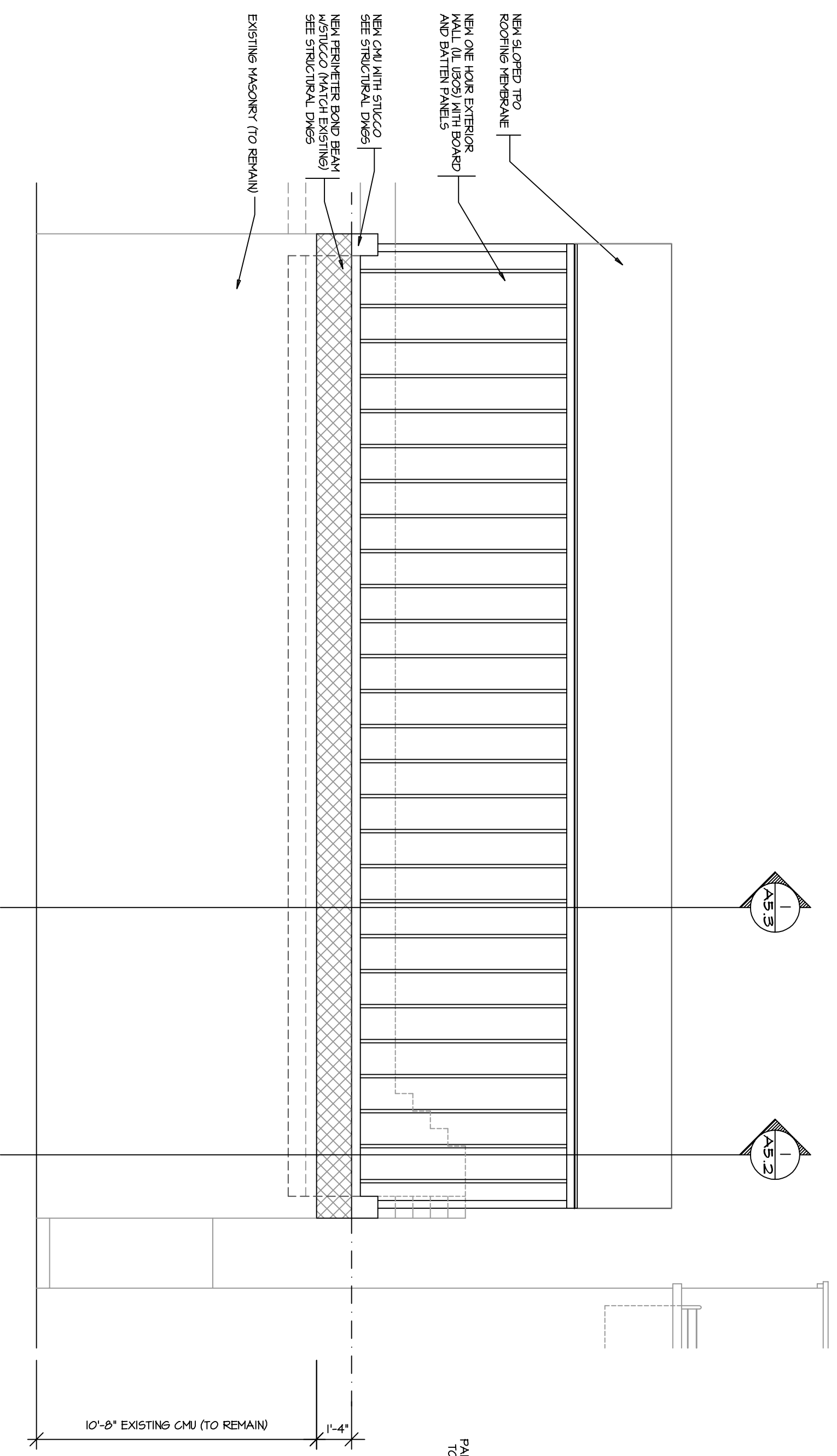
DATE	REVISIONS
12-21-23	
DRAWN BY REYNOLDS	
RIA PROJECT NUMBER 2023-101	
CLIENT PROJECT NUMBER SD-101	
SCALE 1/4" = 1'-0"	
FILE NAME SILVER DOLLAR-AS.1	



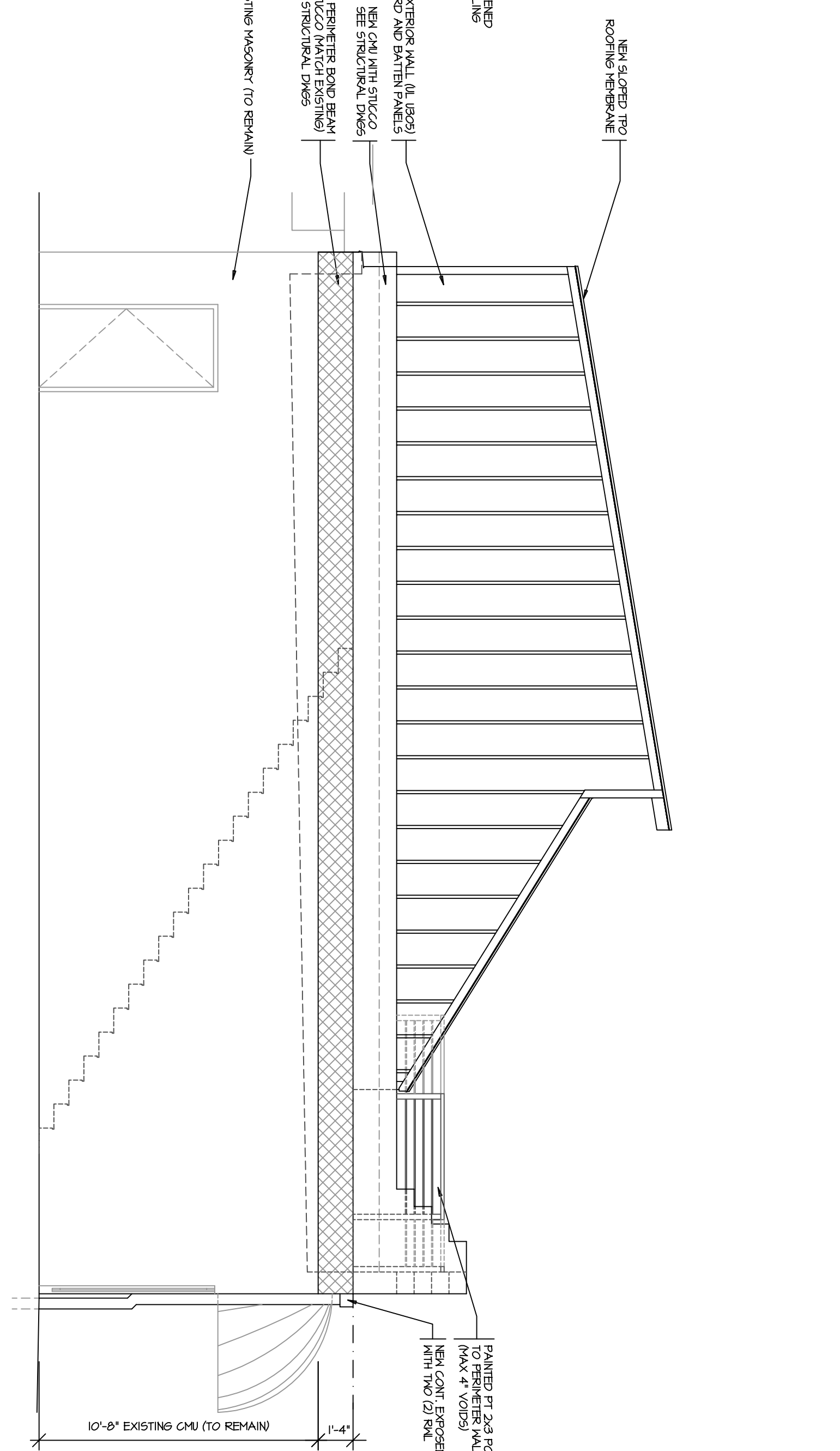
A3.1
 SHEET NUMBER
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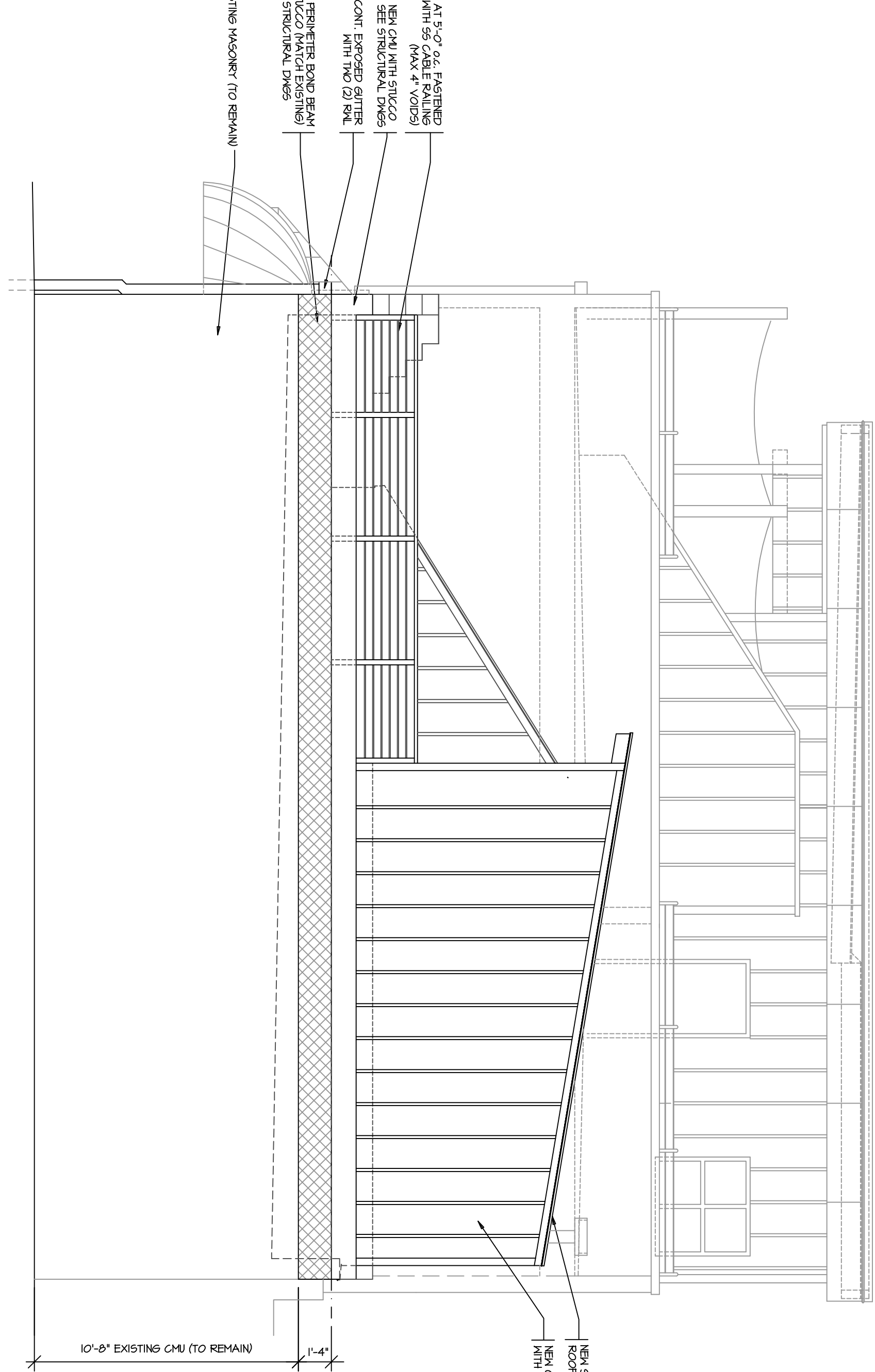
1
PROPOSED SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



3
PROPOSED NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

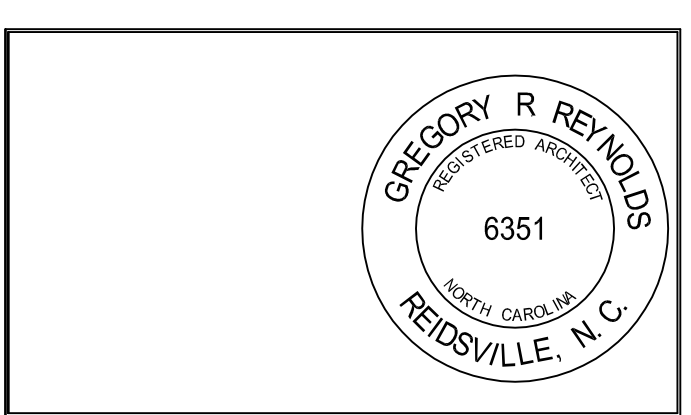
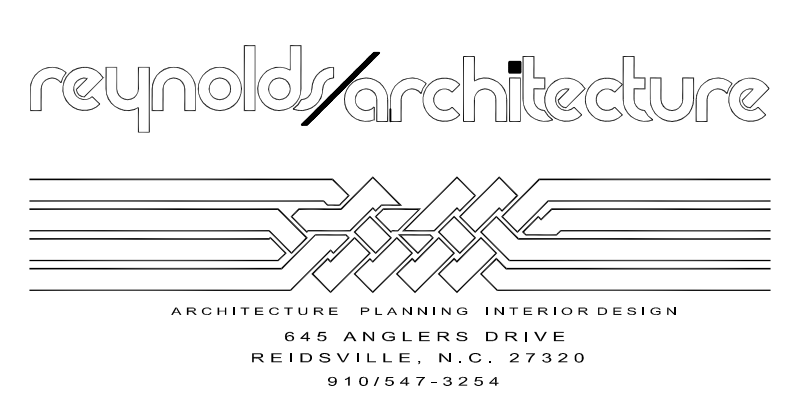


2
PROPOSED WEST ELEVATION
 SCALE: 1/4" = 1'-0"



4
PROPOSED EAST ELEVATION
 SCALE: 1/4" = 1'-0"

DATE	REVISIONS
12-21-23	
12-21-23	
2023-101	
80-101	
1/4" = 1'-0"	
SILVER DOLLAR-AS2	

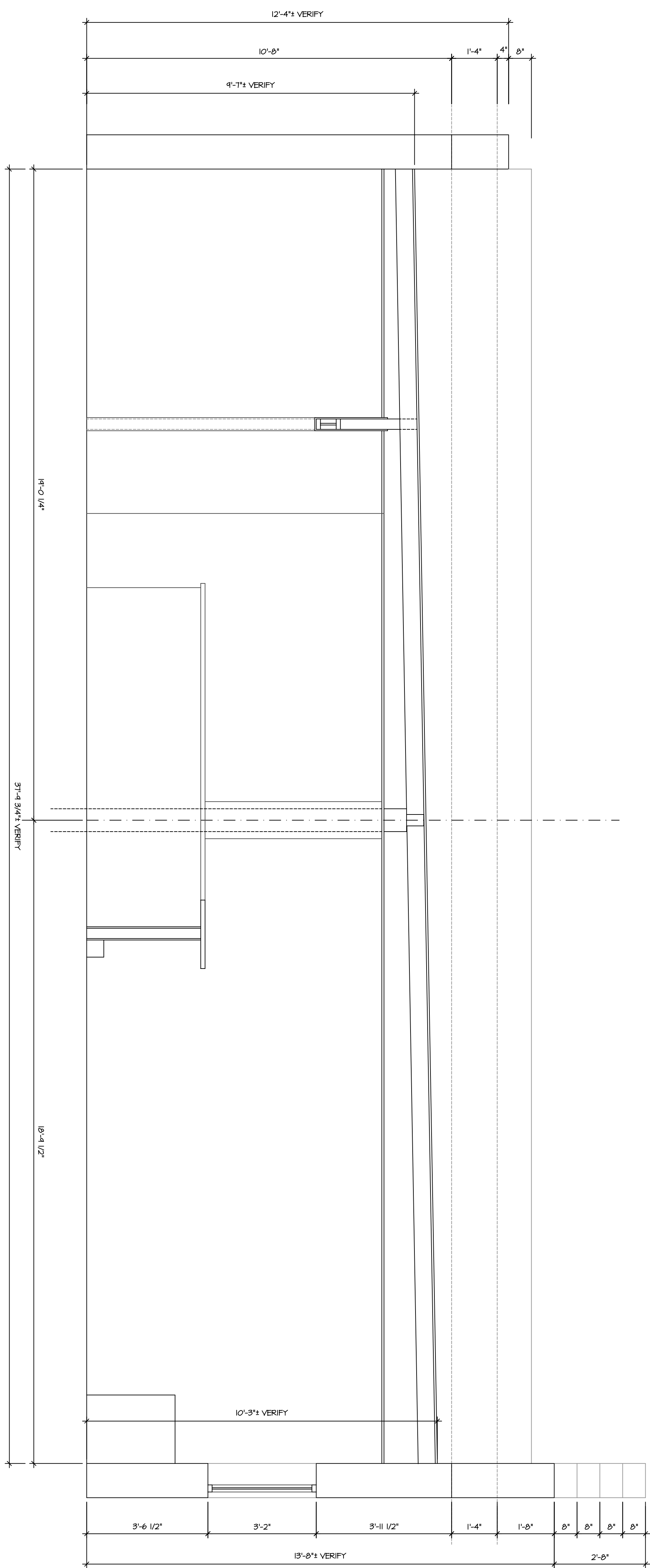


PROPOSED BUILDING ELEVATIONS
PROPOSED UPFIT/ADDITION
SILVER DOLLAR
3 CAPE FEAR BLVD.
CAROLINA BEACH, NORTH CAROLINA

A3.2
 SHEET NUMBER
 PROJECT NUMBER: 2023-101

1
ASJ
SCALE 1/2" = 1'-0"

EXISTING BUILDING SECTION



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A5.1

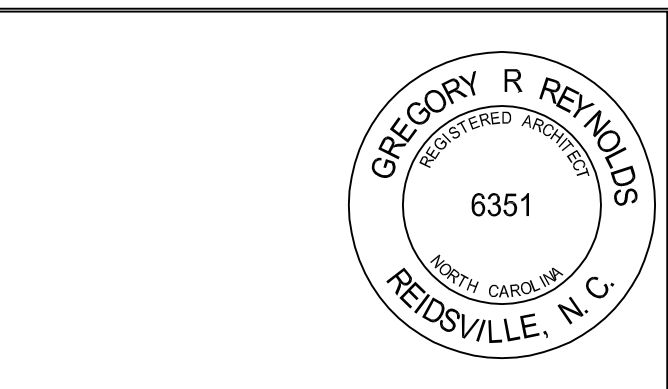
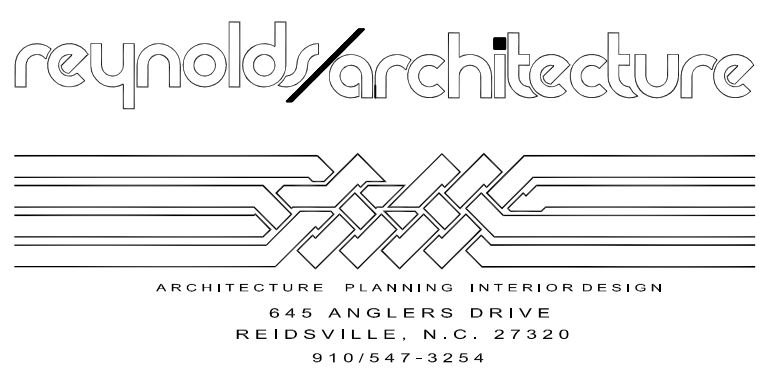
SHEET NUMBER

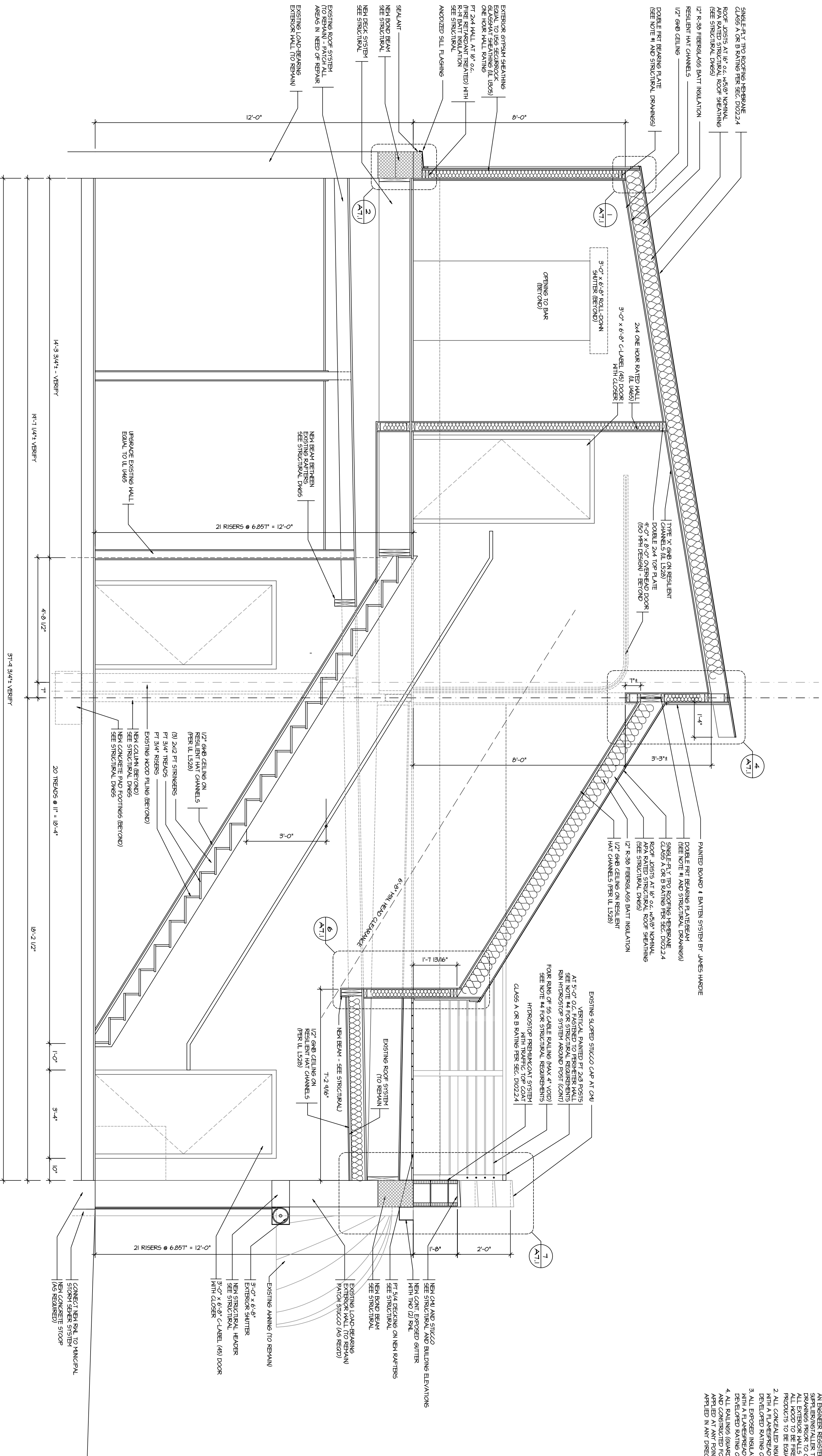
EXISTING BUILDING SECTION
PROPOSED UPFIT/ADDITION

SILVER DOLLAR

3 CAPE FEAR BLVD.
 CAROLINA BEACH, NORTH CAROLINA

DATE	REVISIONS
12-21-23	Δ
DRAWN BY	Δ
REYNOLDS	Δ
RIA PROJECT NUMBER	Δ
2023-101	Δ
CLIENT PROJECT NUMBER	Δ
SD-101	Δ
SCALE	Δ
1/2" = 1'-0"	Δ
FILE NAME	Δ
SILVER DOLLAR-AS.1	Δ





1
A5.2
SCALE: 1/2" = 1'-0"

PROPOSED STAIR SECTION

- GENERAL NOTES**
1. ALL SITS AND FINISHES TO BE ENGINEERED FOR ALL APPL. LOADS PER ALL APPL. CODES BY AN ENGINEER REGISTERED TO PRACTICE IN NORTH CAROLINA. PROVIDE PERMITTED STAMP AND SIGNATURE PRIOR TO CONSTRUCTION FOR APPROVAL.
 2. ALL EXTERIOR WALLS TO BE OF NON-COMBUSTIBLE MATERIALS SECTION 602.2.3.1. PROVIDE TO BE EQUAL TO FIBERGLASS BATT INSULATION WITH A FIRE RESISTANT PAINT DEVELOPED RATING OF NOT MORE THAN 450.
 3. ALL EXPOSED INSULATION SHALL COMPLY WITH SECTION 703.2 WITH A FIRE RESISTANT PAINT DEVELOPED RATING OF NOT MORE THAN 450.
 4. ALL RAILINGS (GARAPOLIS, STAIR RAILING, ETC.) TO BE DESIGNED AND CONSTRUCTED FOR A CONCENTRATED LOAD OF 200 POUNDS PER LINEAL FOOT. PROVIDE TO BE EQUAL TO FIBERGLASS BATT INSULATION WITH A FIRE RESISTANT PAINT DEVELOPED RATING OF NOT MORE THAN 450.

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A5.2

SHEET NUMBER

PROPOSED STAIR SECTION
PROPOSED UPFIT/ADDITION

SILVER DOLLAR

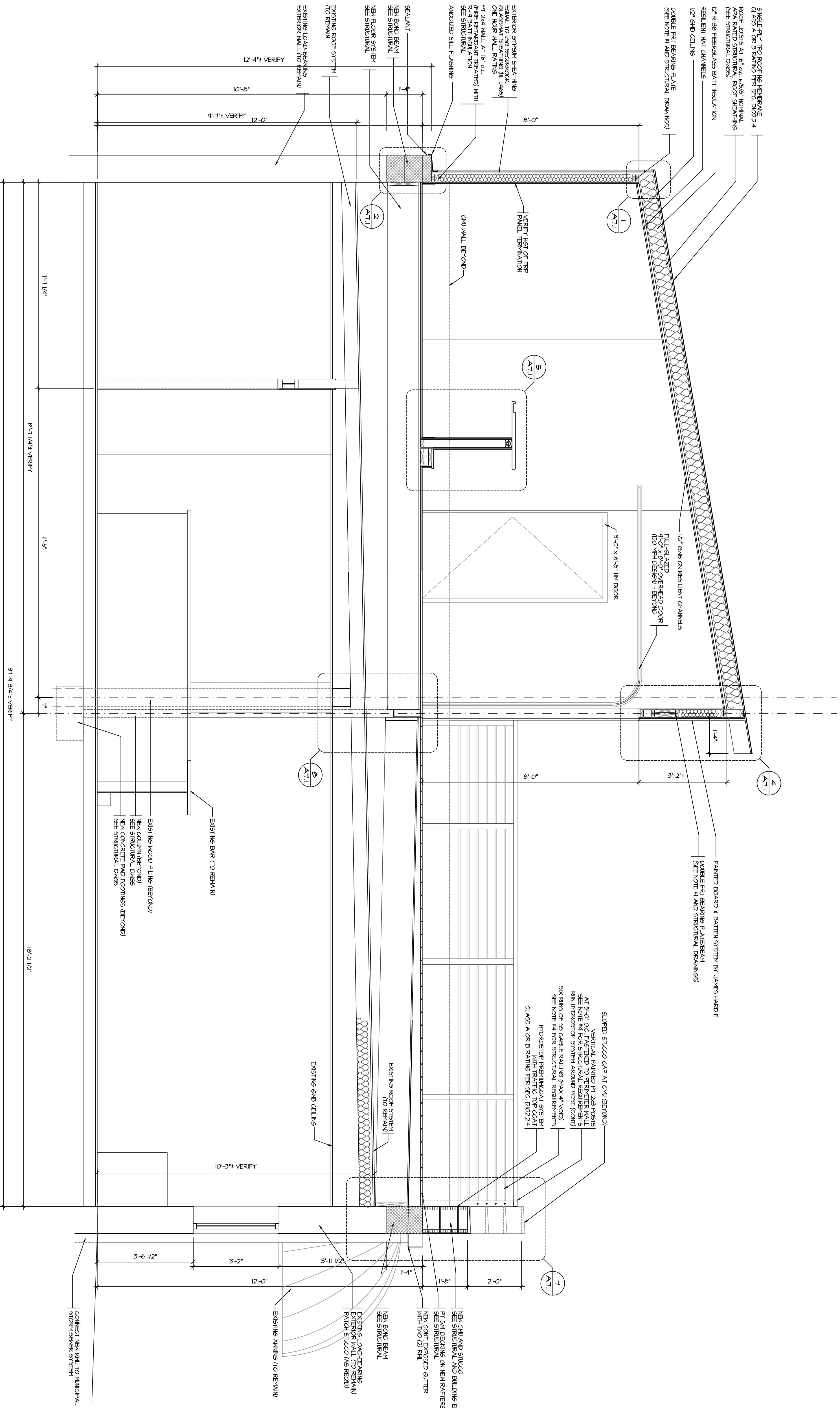
3 CAPE FEAR BLVD.
 CAROLINA BEACH, NORTH CAROLINA

DATE	REVISIONS
12-21-23	
DRAWN BY	REYNOLDS
RIA PROJECT NUMBER	2023-101
CLIENT PROJECT NUMBER	15
SCALE	1/2" = 1'-0"
FILE NAME	SILVER DOLLAR-A5.2

reynolds architecture

ARCHITECTURE PLANNING INTERIOR DESIGN
 348 ANGLER DRIVE
 REIDSVILLE, N.C. 27320
 910.647.3254

GREGORY R REYNOLDS
 REGISTERED ARCHITECT
 6351
 NORTH CAROLINA
 REIDSVILLE, N.C.



1 PROPOSED BUILDING SECTION
 SCALE: 1/2" = 1'-0"

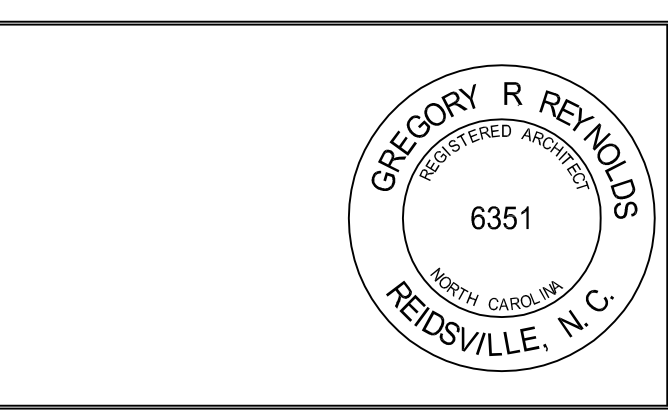
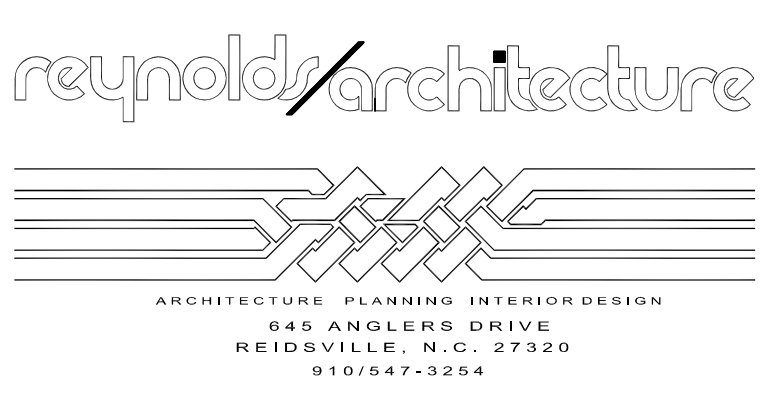
- GENERAL NOTES**
1. ALL SITS AND FINISHES TO BE ENGINEERED FOR ALL APPL. LOADS PER ALL APPL. CODES BY AN ENGINEER REGISTERED TO PRACTICE IN NORTH CAROLINA. PROVIDE ALL NECESSARY DETAILS AND CONNECTIONS PRIOR TO CONSTRUCTION FOR APPROVAL.
 2. ALL EXTERIOR WALLS TO BE OF NON-COMBUSTIBLE MATERIALS SECTION 602.3. ALL EXTERIOR WALLS TO BE OF NON-COMBUSTIBLE MATERIALS SECTION 602.3. PROVIDE TO BE EQUAL TO FIBERGLASS BATT INSULATION WITH EPS INSULATION WITH A FIRE RETARDANT PAINT DEVELOPED RATING OF NOT MORE THAN 450.
 3. ALL EXTERIOR WALLS SHALL COMPLY WITH SECTION 19.2 WITH A FIBERGLASS BATT INSULATION WITH EPS INSULATION WITH A FIRE RETARDANT PAINT DEVELOPED RATING OF NOT MORE THAN 450.
 4. ALL RAILINGS (GARAPRALS, STAIR RAILINGS, ETC.) TO BE ENGINEERED FOR A CONCENTRATED LOAD OF 200 POUNDS PER LINEAL FOOT. PROVIDE TO BE EQUAL TO FIBERGLASS BATT INSULATION WITH EPS INSULATION WITH A FIRE RETARDANT PAINT DEVELOPED RATING OF NOT MORE THAN 450.

PROPOSED BUILDING SECTION
PROPOSED UPFIT/ADDITION

SILVER DOLLAR

3 CAPE FEAR BLVD.
 CAROLINA BEACH, NORTH CAROLINA

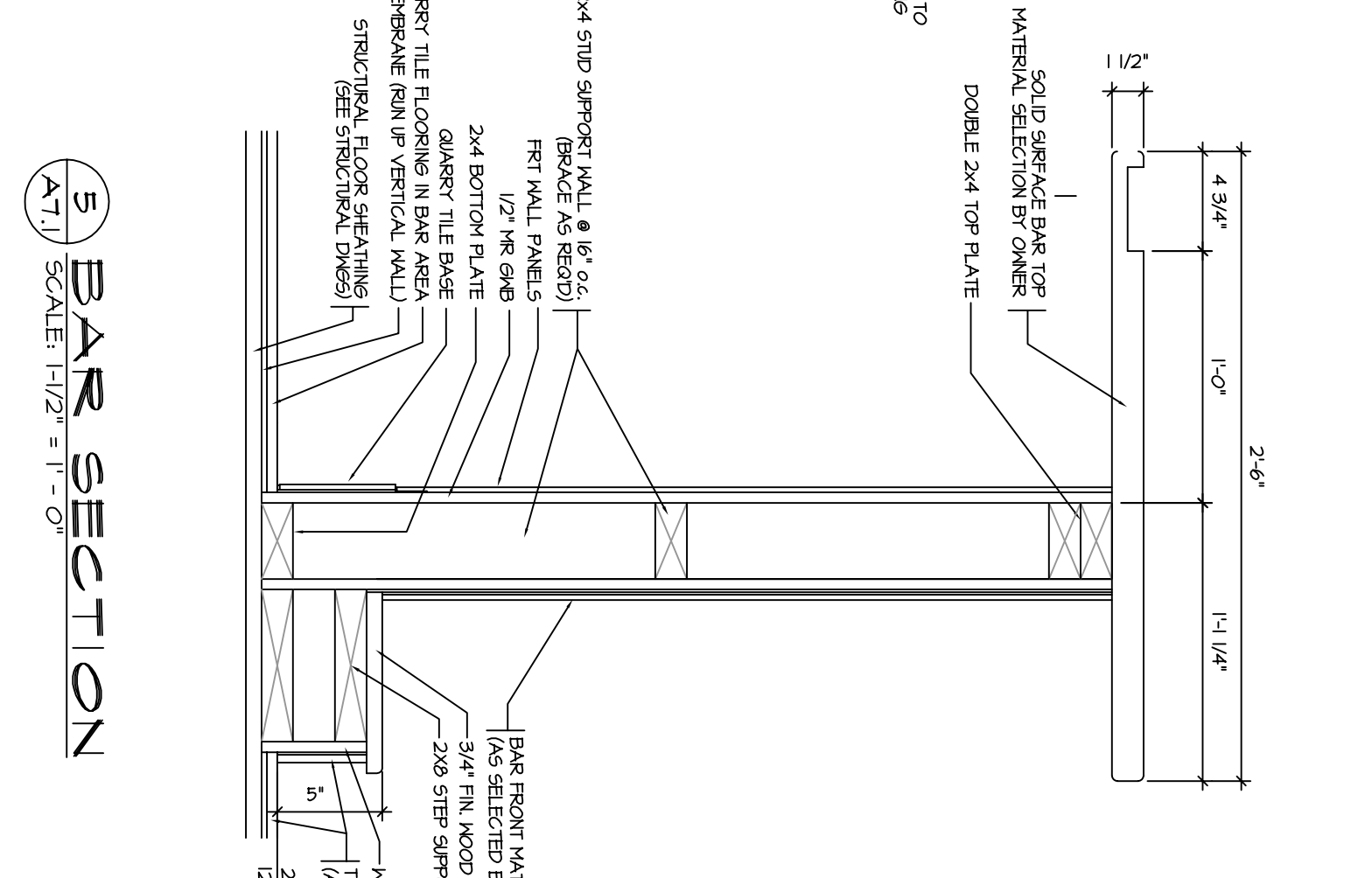
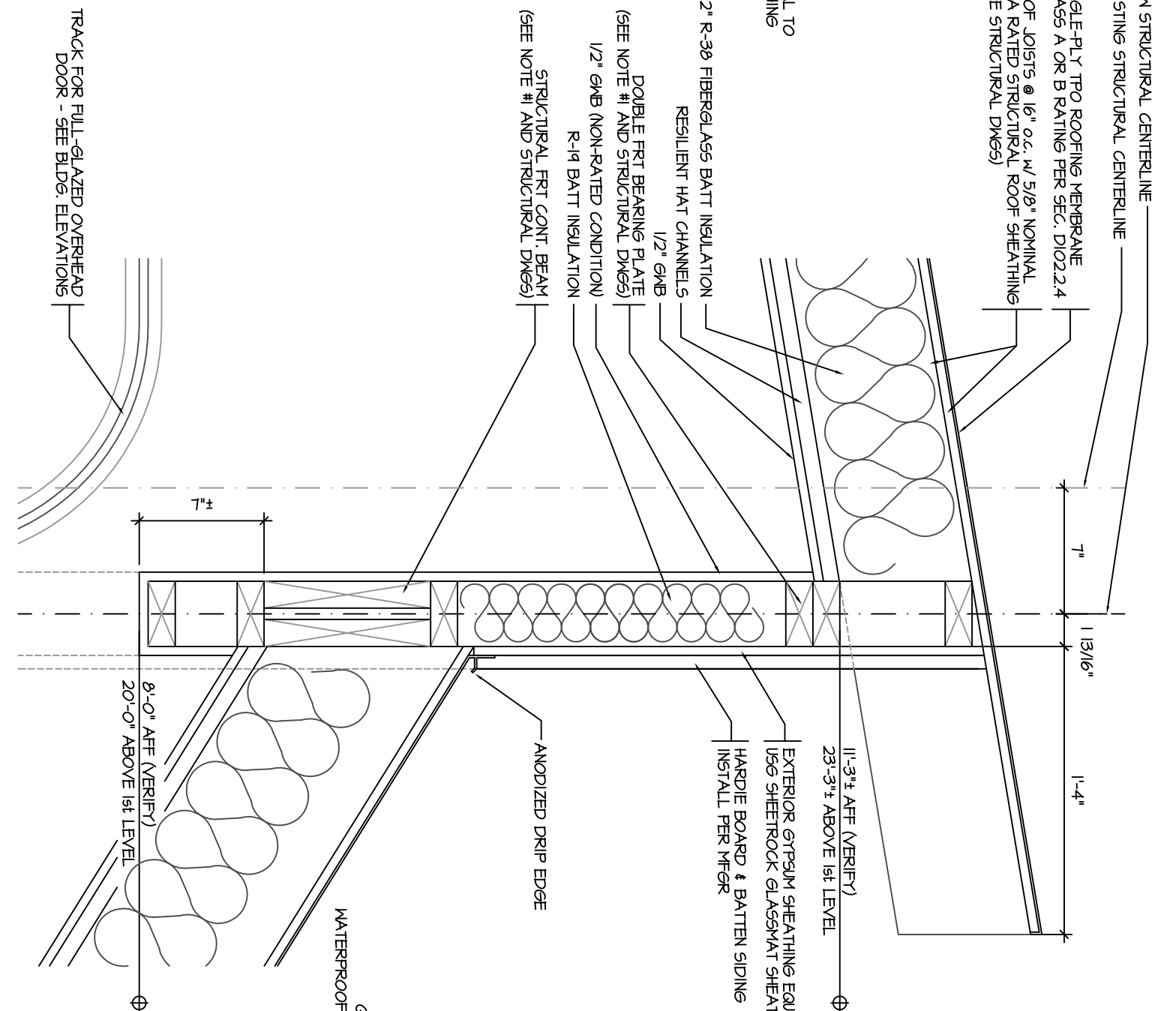
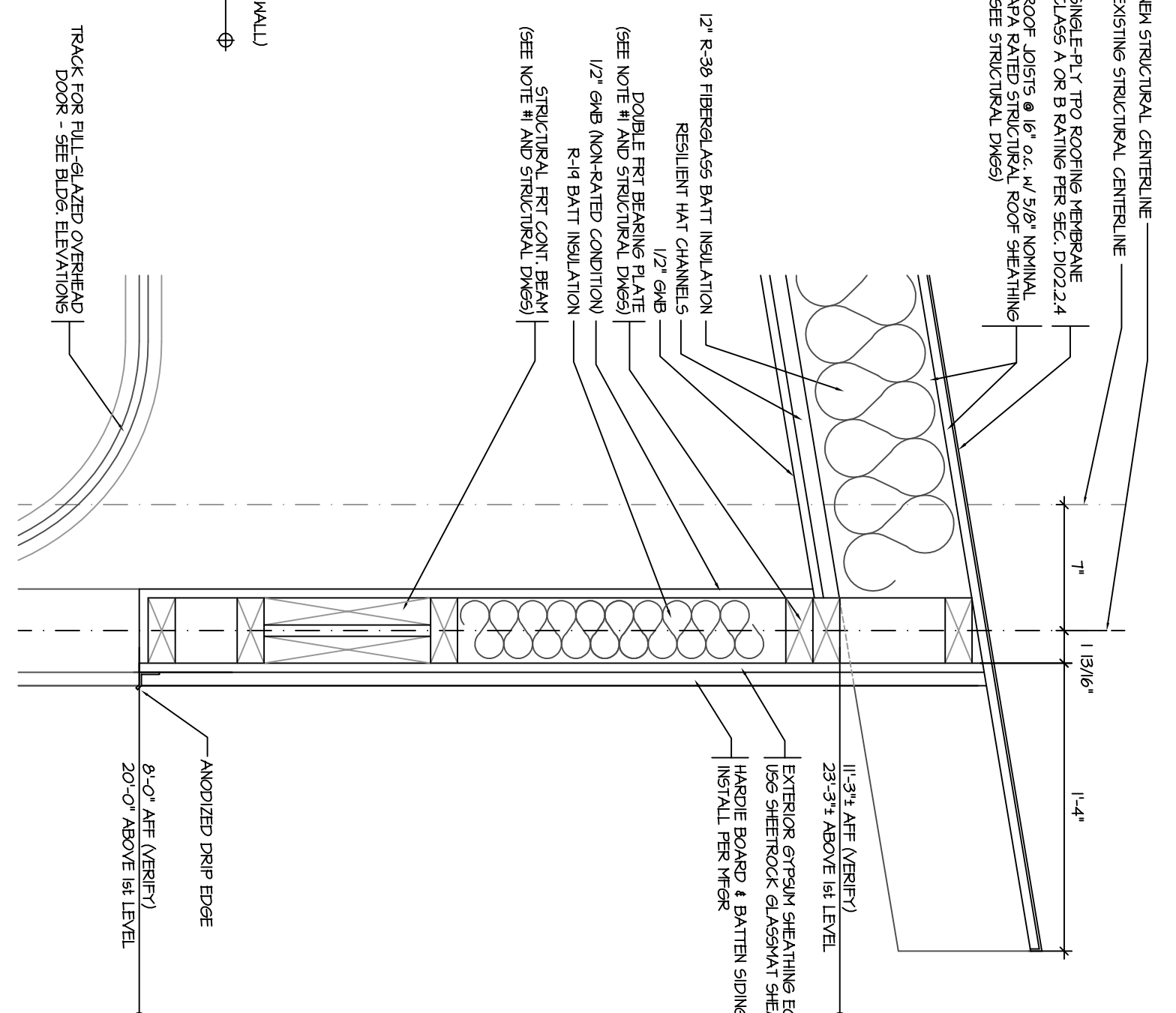
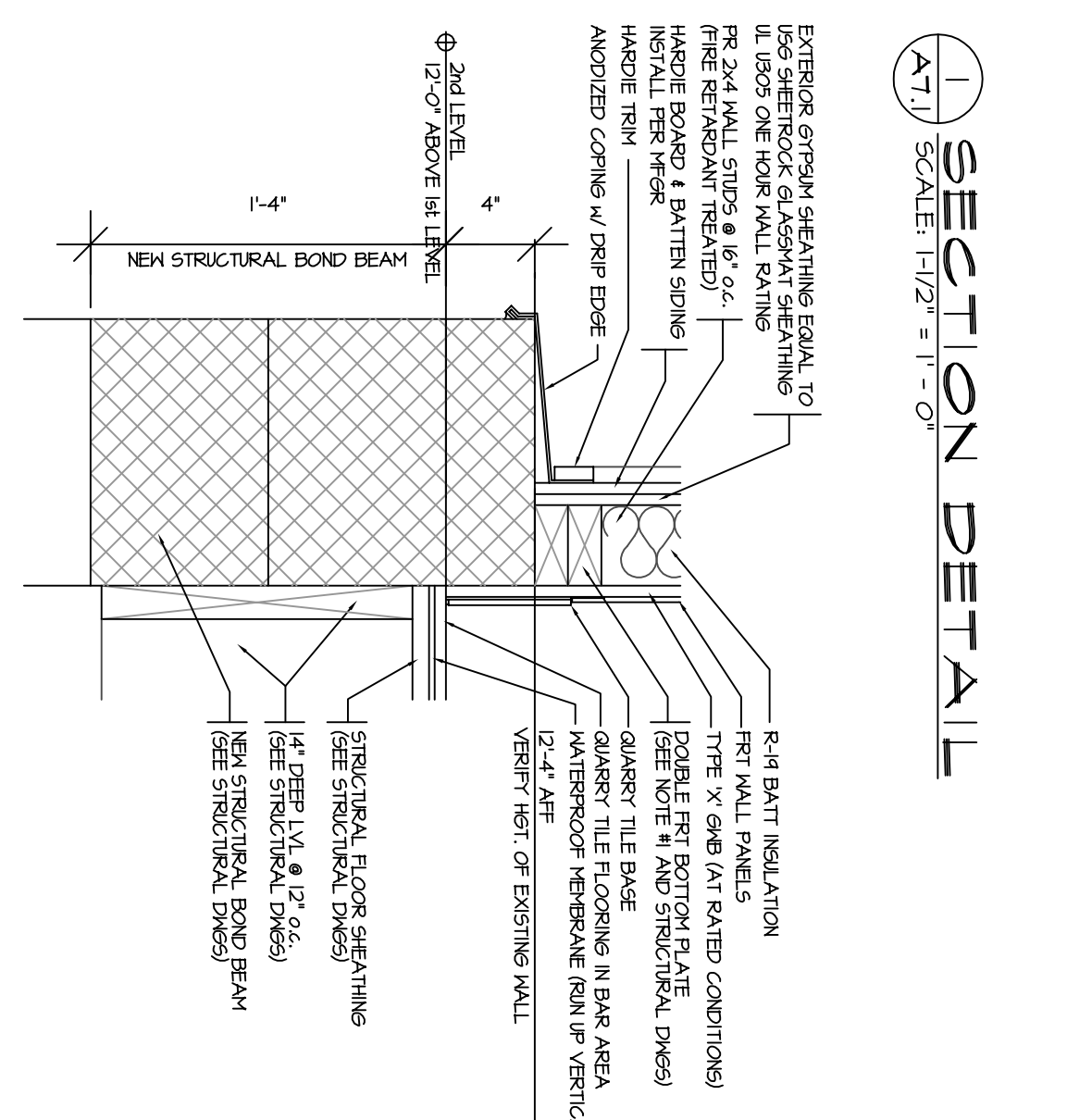
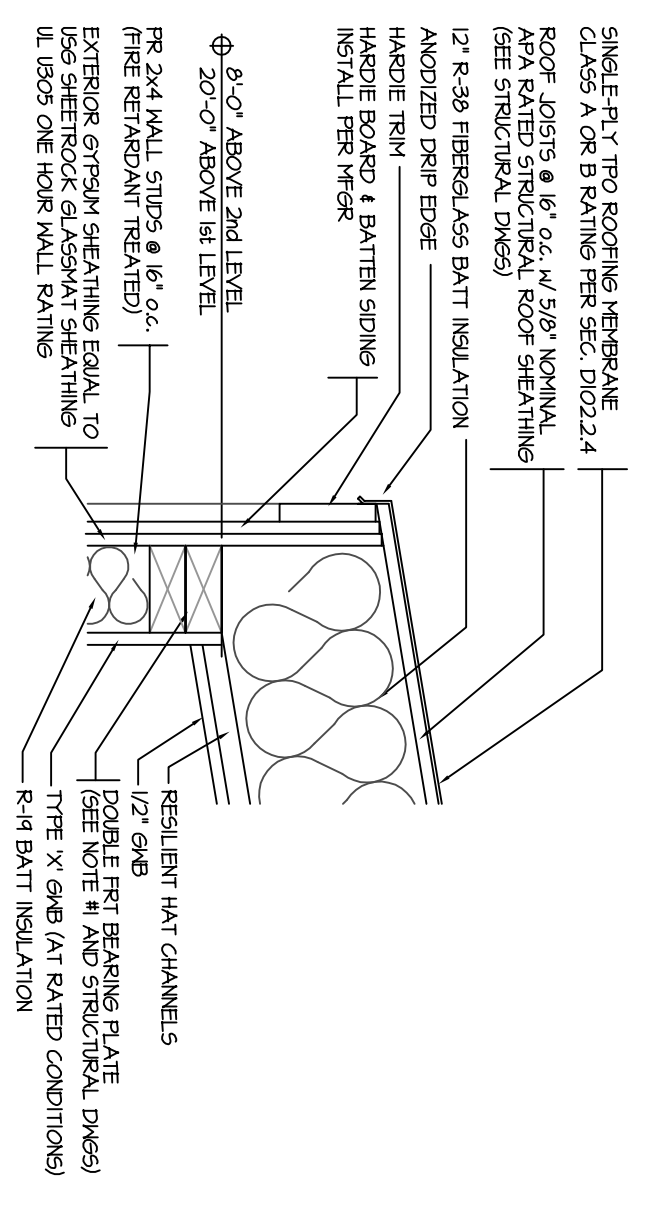
DATE	REVISIONS
12-21-23	
DRAWN BY	REYNOLDS
RIA PROJECT NUMBER	2023-101
CLIENT PROJECT NUMBER	SD-101
SCALE	1/2" = 1'-0"
FILE NAME	SILVER DOLLAR-AS.3



A5.3

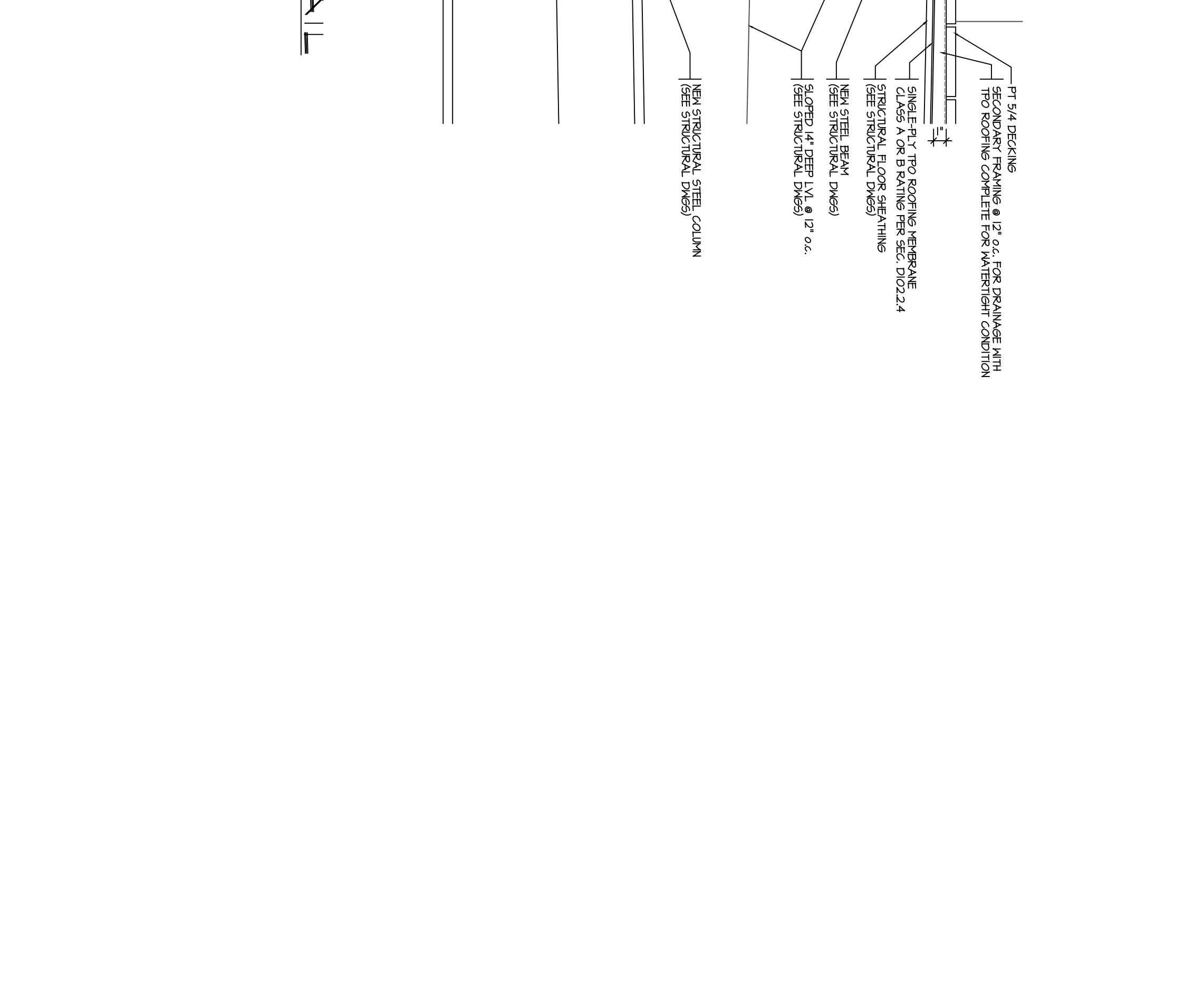
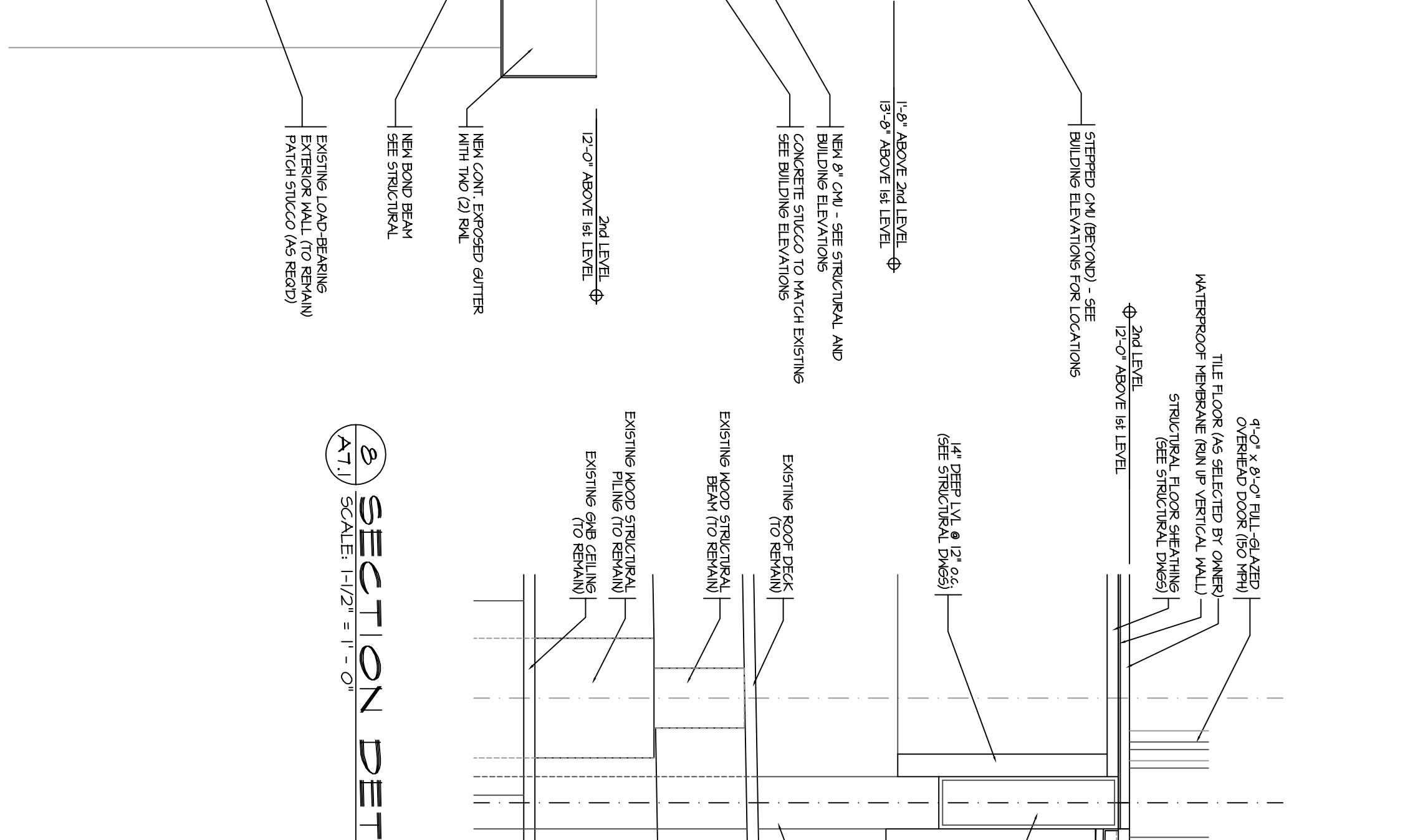
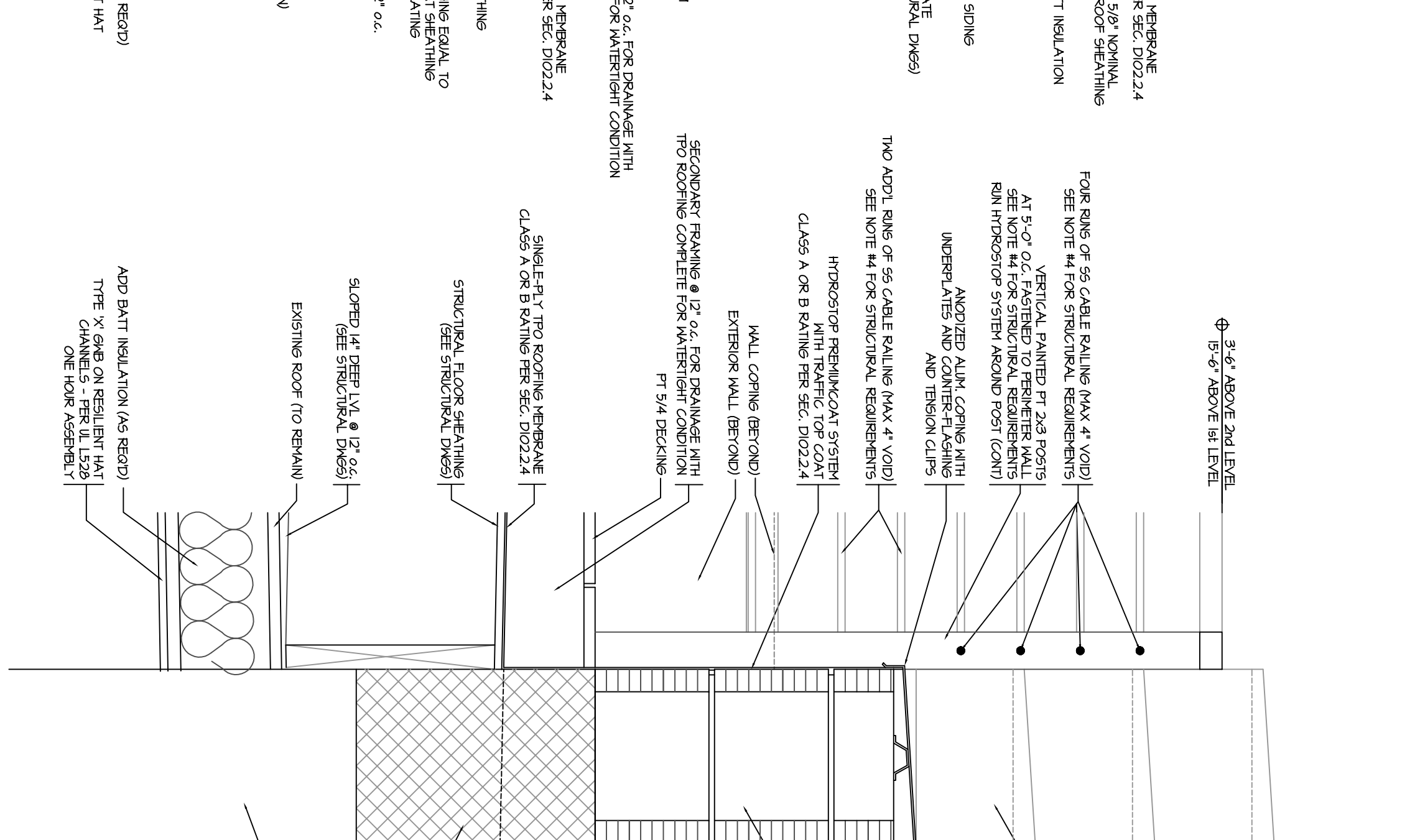
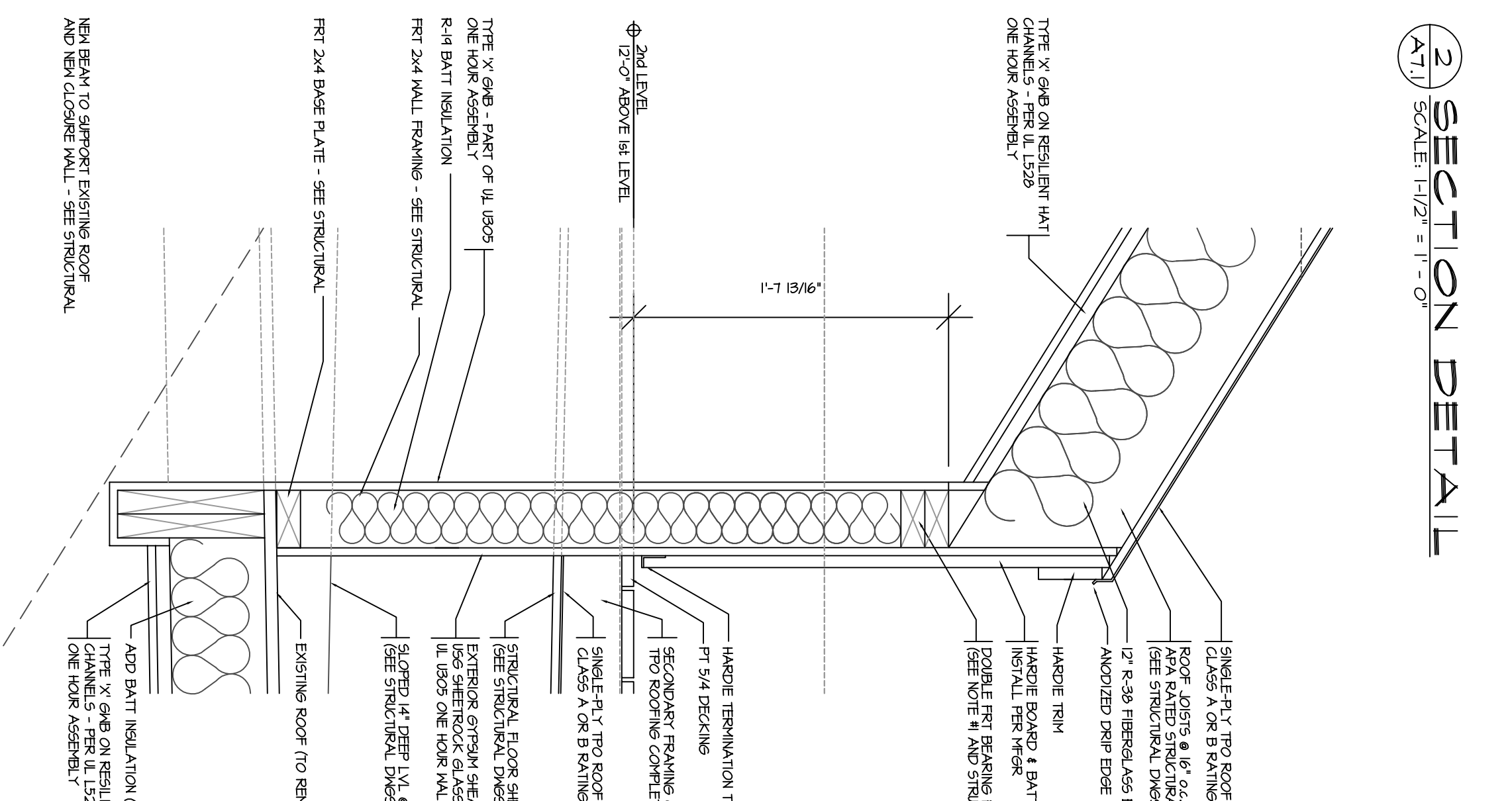
SHEET NUMBER

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GENERAL NOTES

1. ALL STEEL AND FRAMING TO BE ENGINEERED PER ALL APPLICABLE LOADS PER ALL APPLICABLE CODES BY A LICENSED STRUCTURAL ENGINEER IN NORTH CAROLINA. DRAWINGS SHALL BE FOR APPROVAL BY THE LOCAL BUILDING DEPARTMENT TO CONSTRUCTION FOR APPROVAL PER 160A NCAC 15B.0201.
2. ALL EXTERIOR WALLS TO BE OF NON-COMBUSTIBLE MATERIALS (SECTION 602.3) PER 160A NCAC 15B.0201. ALL EXTERIOR WALLS TO BE OF NON-COMBUSTIBLE MATERIALS (SECTION 602.3) PER 160A NCAC 15B.0201.
3. ALL EXTERIOR WALLS TO BE OF NON-COMBUSTIBLE MATERIALS (SECTION 602.3) PER 160A NCAC 15B.0201.
4. ALL RAILINGS (GARDENING, STAIR RAILING, ETC.) TO BE DESIGNED AND CONSTRUCTED FOR A COMBINED LOAD OF 200 POUNDS PER LINEAL FOOT (PLF) PER 160A NCAC 15B.0201.
5. ALL EXTERIOR WALLS TO BE OF NON-COMBUSTIBLE MATERIALS (SECTION 602.3) PER 160A NCAC 15B.0201.



SECTION DETAIL 1
SCALE: 1/12" = 1'-0"

SECTION DETAIL 2
SCALE: 1/12" = 1'-0"

SECTION DETAIL 3
SCALE: 1/12" = 1'-0"

SECTION DETAIL 4
SCALE: 1/12" = 1'-0"

SECTION DETAILS
PROPOSED UPFIT/ADDITION

SILVER DOLLAR

3 CAPE FEAR BLVD.
CAROLINA BEACH, NORTH CAROLINA

DATE: 11-21-23
DRAWN BY: REYNOLDS
RA PROJECT NUMBER: 2023-101
CLIENT PROJECT NUMBER: SD-101
SCALE: 1/12" = 1'-0"
FILE NAME: SILVER DOLLAR-ATJ

reynolds architecture

ARCHITECTURE PLANNING INTERIOR DESIGN
646 ANGLERS DRIVE
REIDSVILLE, NC 27320
910/647-3254

GREGORY R REYNOLDS
REGISTERED ARCHITECT
6351
NORTH CAROLINA
REIDSVILLE, N.C.

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SHEET NUMBER: **A7.1**

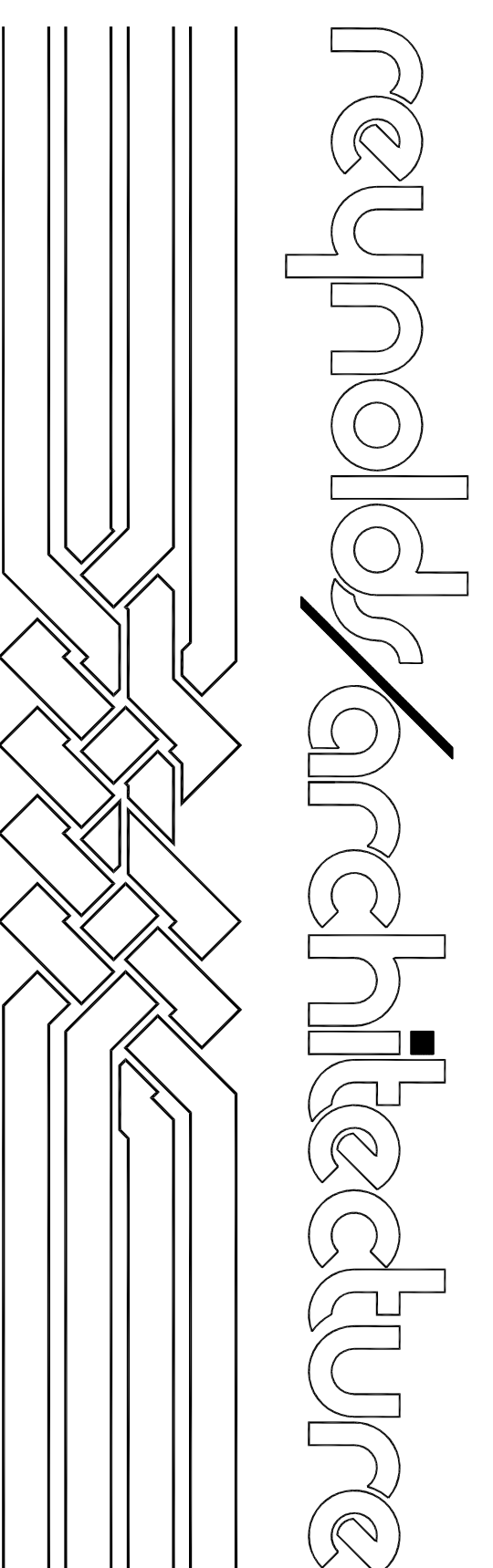
PROJECT NUMBER: 2023-101

PROPOSED UPPFIT / ADDITION FOR

SILVER DOLLAR

3 CAPE FEAR BOULEVARD
CAROLINA BEACH BOARDWALK
CAROLINA BEACH, NORTH CAROLINA

ARCHITECT



ARCHITECTURE & INTERIOR DESIGN
645 ANGLERS DRIVE
REIDSVILLE, N.C. 27320

BUILDING CODE SUMMARY

NORTH CAROLINA DEPARTMENT OF INSURANCE
APPENDIX B - BUILDING PROJECT DATA SHEET

NAME OF PROJECT: PROPOSED UPPFIT/ADDITION FOR THE SILVER DOLLAR
3 CAPE FEAR BOULEVARD, NORTH CAROLINA
CAROLINA BEACH, NORTH CAROLINA
PROPOSED USE: BUSINESS (A-2 ASSEMBLY <50 PEOPLE PER 303.1.1)
OWNER OR AUTHORIZED AGENT: LEE LEVINSON (919-522-3477)
OWNED BY: PRIVATE
CODE ENFORCEMENT JURISDICTION: TOWN OF CAROLINA BEACH
DESIGN PROFESSIONAL
ARCHITECT: GREGORY R. REYNOLDS 6351
CIVIL ENGINEER: ---
STRUCTURAL: TIMOTHY HINES 910-398-5740
MECHANICAL: CHRISTOPHER M. LIPPINCOTT 026003 910-617-0641
ELECTRICAL: CHRISTOPHER M. LIPPINCOTT 026003 910-617-0641
PLUMBING: CHRISTOPHER M. LIPPINCOTT 026003 910-617-0641

YEAR EDITION OF CODE
2018 NEW CONSTRUCTION (2015 IBC WITH NC AMENDMENTS)

BUILDING DATA
CONSTRUCTION TYPE: III-B
SPRINKLED? NO (NOT REQUIRED PER SECTION 903.2.1.2)
FIRE DISTRICT? YES
BUILDING HEIGHT: TWO STORIES
MEZZANINE? NO
HIGH RISE? NO
GROSS BUILDING AREA
FIRST FLOOR 1,493± SF
ROOF/SECOND FLOOR 1,493± SF
AREA INCREASE? NO (9,500 SF/FLOOR ALLOWED)

PRIMARY OCCUPANCY: BUSINESS (A-2 ASSEMBLY <50 PEOPLE PER 303.1.1)
SPECIAL OCCUPANCY: NO
SECONDARY OCCUPANCIES: NO
MIXED OCCUPANCY: NO

CONSTRUCTION TYPE: III-B (ALLOWABLE 55'-0" - ACTUAL 24.2 - 1875'±
NO HEIGHT INCREASE REQUIRED
ALLOWABLE STORES: 3 STORIES (PER 504.4)
AREA MODIFICATIONS (SECTION 506) - NOT REQUIRED
HEIGHT MODIFICATIONS (SECTION 504) - NOT REQUIRED
FIRE PROTECTION RATINGS
STRUCT. FRAME 0
EXTERIOR BEARING WALLS (MASONRY) 1 (<5'-0") UL U905
INTERIOR BEARING WALLS 1 (<5'-0") UL U905
NONBEARING EXTERIOR WALLS 0
NONBEARING INTERIOR WALLS 0
FLOOR ROOF AT STAIRWAY 1
ROOF CONSTRUCTION 0
TENNANT SEPARATION 0
STRAVAVEGRESS 1
LIFE SAFETY: UL U905 1/COVER

EMERGENCY LIGHTING AND EXIT SIGNS: YES
FIRE ALARM SYSTEM: NOT REQUIRED PER SECTION 907.2.2
SMOKE DETECTION SYSTEMS: NOT REQUIRED PER SECTION 907.2.2
PANIC HARDWARE: NOT REQUIRED PER SECTION 1010.1.10
EXIT REQUIREMENTS:
FIRST FLOOR (EXISTING SINGLE EXIT)
SILVER DOLLAR TENANT OCCUPANT LOAD = 49 PEOPLE (SEE 2A2.2)
DOORS PROVIDED: 1 (1' x 34" = 34'/0.2 = 170 PEOPLE)
DOORS PEOD: 1 (42' x 0.2' = 8.4'/34'-0=247)
MAX. TRAVEL DISTANCE OF 75'-0" (ACTUAL 73'-1'±)

SECOND FLOOR (SINGLE EXIT - RATED STAIRWAY)
SILVER DOLLAR TENANT OCCUPANT LOAD = 70 PEOPLE (SEE 2A2.3)
DOORS PROVIDED: 1 (1' x 34" = 34'/0.2 = 170 PEOPLE)
DOORS PEOD: 1 (42' x 0.2' = 8.4'/34'-0=247)
MAX. TRAVEL DISTANCE OF 75'-0" (ACTUAL 57'-5'±)

PLUMBING (CHAPTER 29)
FIRST FLOOR - OCCUPANT LOAD OF 42 (SEE 2A2.2)
SECOND FLOOR - OCCUPANT LOAD OF 42 (SEE 3A2.3)
TOILETS ARE SHARED BETWEEN 1ST AND 2ND FLOORS (PER 2902.3.2)
TOILETS PER TABLE 2902.1

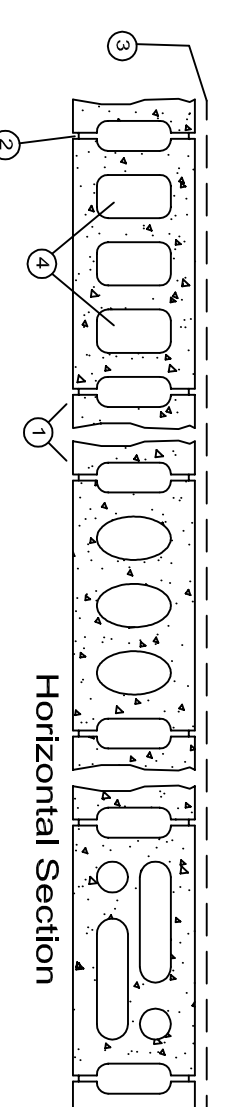
REQUIRED	MALE (42)	FEMALE (42)
WC	ONE	ONE
LAV	ONE	ONE
WIC	ONE (75)	FEMALE (75)
LAV	ONE	ONE

AN ADDITIONAL UNISEX TOILET IS PROPOSED ON THE SECOND LEVEL IN ADDITION TO THE TWO EXISTING. CAPACITY IS CALCULATED AT 210 FOR AN OCCUPANT LOAD OF 84. THE ICC A117.1-2009 ACCESSIBILITY STANDARDS AND THE ACCESSIBILITY GUIDELINES OF THE 1990 FEDERAL AMERICANS WITH DISABILITIES ACT. (ADA-AG)

FIRE DISTRICT D102 BUILDING RESTRICTIONS - TYPE III ALLOWED
D102.2.1 EXTERIOR WALLS NON-COMBUSTIBLE, PER TABLE 601 (EXISTING)
D102.2.4 CLASS A OR B ALL NEW REQUIRE ONE HOUR
D102.2.5 STRUCT. FIRE RATING NON-COMBUSTIBLE OR FRT
D102.2.7 ARCH. TRIM NON-COMBUSTIBLE OR FRT
D102.2.8 PERMANENT CANOPIES NON-COM. (INCL. SUPPORTS)
D102.2.9 ROOF STRUCTURES NON-COM. (INCL. SUPPORTS)
D102.2.10 PLASTIC SIGNS PER 2611
D102.2.11 PLASTIC VENEERS NOT PERMITTED

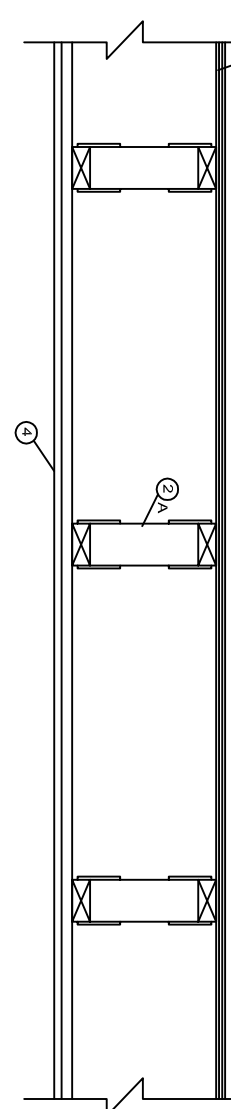
OWNER HAS SECURED DESIGN SERVICES FOR STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING. THE ARCHITECTS RECOMMENDED SEPARATION OF THE SILVER DOLLAR FROM THE ADJACENT BUILDING TO IMPLY THAT THE PLANS HAVE BEEN COORDINATED AS A WHOLE BY THE ARCHITECT.

UNDERWRITERS LABORATORY, INC.
DESIGN NO. U905
Bearing Wall Rating -- 2 HR.
Nonbearing Wall Rating -- 2 HR.



- Concrete Blocks - Various designs. Classification D-2 (2 hr).
- Concrete Blocks - Various designs. Classification D-2 (2 hr).
- Concrete Blocks - Various designs. Classification D-2 (2 hr).
- Concrete Blocks - Various designs. Classification D-2 (2 hr).

UNDERWRITERS LABORATORY, INC.
DESIGN NO. L528
UNRESTRAINED ASSEMBLY RATING-1-HR.



- Finish Flooring - Nom 23/32 in. thick plywood or oriented strand board (OSB), min grade "Underlayment" T&G panels marked Exposure 1, adhesive and No. 60 ringed stank nails. Adhesive applied as 3/8 in. from 2 1/4 in. lumber with lumber obtained either vertically (2A) or horizontally (2B). Truss members secured together with No. 20 MSG gally steel truss plates. Plates have 5/16 in. long teeth projecting perpendicular to the plane of the plate. The teeth are in pairs facing each other (made by the same punch). Forming a split-tooth-type plate. Each tooth has a chamfer point on its outside edge. These points are diagonally opposite each other for each pair. The top nail of each tooth has a waist or a notch cut into it and is spaced 7/8 in. centers with four rows of teeth per ft. of plate width.
- Trusses - Parallel chord trusses spaced a max 24 in. OC fabricated from No. 20 MSG gally steel truss plates. Truss members secured together with No. 20 MSG gally steel truss plates. Plates have 5/16 in. long teeth projecting perpendicular to the plane of the plate. The teeth are in pairs facing each other (made by the same punch). Forming a split-tooth-type plate. Each tooth has a chamfer point on its outside edge. These points are diagonally opposite each other for each pair. The top nail of each tooth has a waist or a notch cut into it and is spaced 7/8 in. centers with four rows of teeth per ft. of plate width.

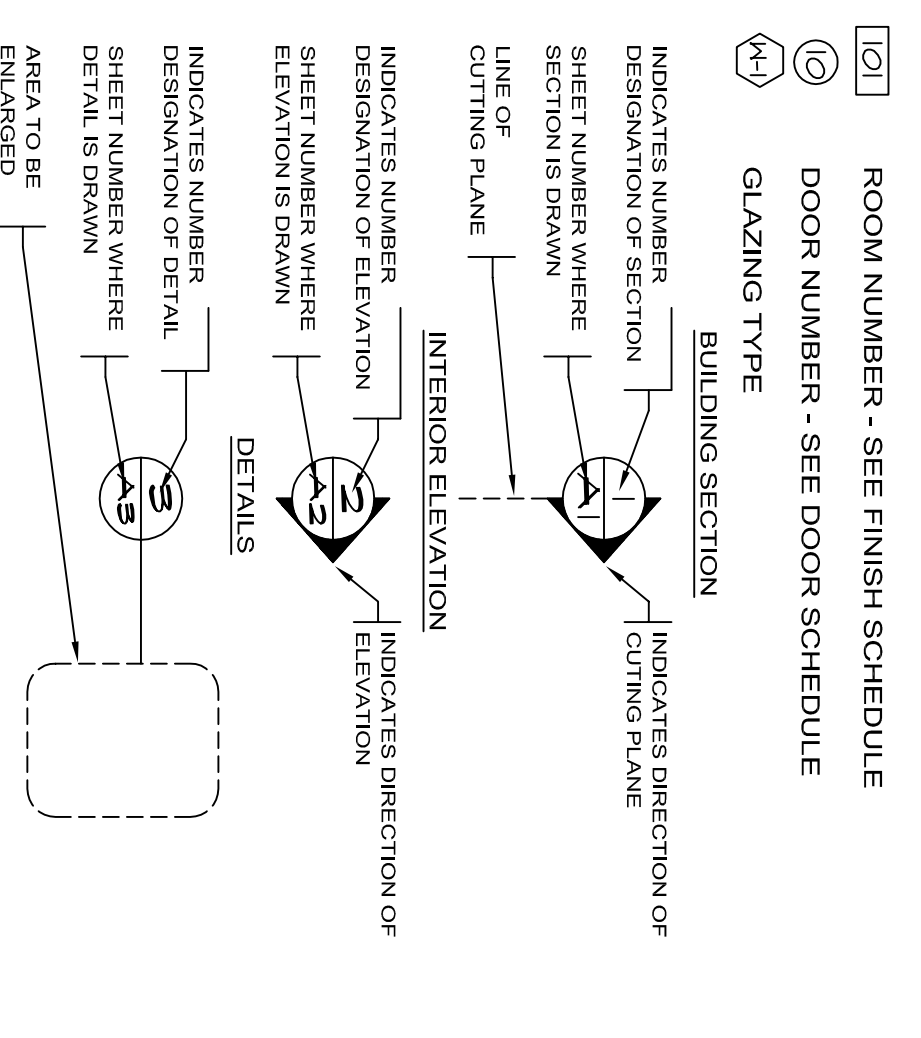
- Furring Channels - Formed of No. 25 MSG gally steel spaced 24 in. OC perpendicular to trusses. Channels secured to trusses with double strand No. 18 SWG gally steel wire spaced 48 in. OC. Ends of remaining No. 18 SWG gally steel wire near each end of overlap.
- Wallboard, Gypsum - Installed with long dimension perpendicular to furring or resilient channels with 1 in. long wallboard screws spaced 12 in. OC and located a min 1-1/2 in. from side and end joints. At end joints, two furring or resilient channels are used which extend a min of 6 in. beyond both ends of the joint.
- Score, Wallboard-head. (Not shown) - Paper tape embedded in joint compound over joints with edges of compound feathered out and thick veneer plaster may be applied to the entire surface of gypsum wallboard.

UL RATINGS U905
NOTE: IN FLOOR JOINT AND EXTERIOR LAYERS OF GYPSUM WALLBOARD TO BE REPLACED WITH UNDERWRITERS LABORATORY, INC. TYPE III CLASSIFICATION MARKING AND ATTACHED PER STRUCTURAL D665. SUBSTITUTION MUST BE APPROVED BY LOCAL JURISDICTION AND COMPLYING WITH SECTION 122 CALCULATED FIRE RESISTANCE.

UL RATINGS U905
NOTE: IN FLOOR JOINT AND EXTERIOR LAYERS OF GYPSUM WALLBOARD TO BE REPLACED WITH UNDERWRITERS LABORATORY, INC. TYPE III CLASSIFICATION MARKING AND ATTACHED PER STRUCTURAL D665. SUBSTITUTION MUST BE APPROVED BY LOCAL JURISDICTION AND COMPLYING WITH SECTION 122 CALCULATED FIRE RESISTANCE.

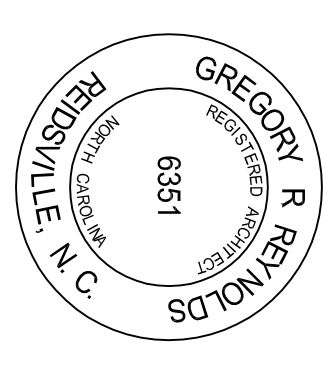
UL RATINGS L528
NOTE: IN FLOOR JOINT AND EXTERIOR LAYERS OF GYPSUM WALLBOARD TO BE REPLACED WITH UNDERWRITERS LABORATORY, INC. TYPE III CLASSIFICATION MARKING AND ATTACHED PER STRUCTURAL D665. SUBSTITUTION MUST BE APPROVED BY LOCAL JURISDICTION AND COMPLYING WITH SECTION 122 CALCULATED FIRE RESISTANCE.

SYMBOLS LEGEND

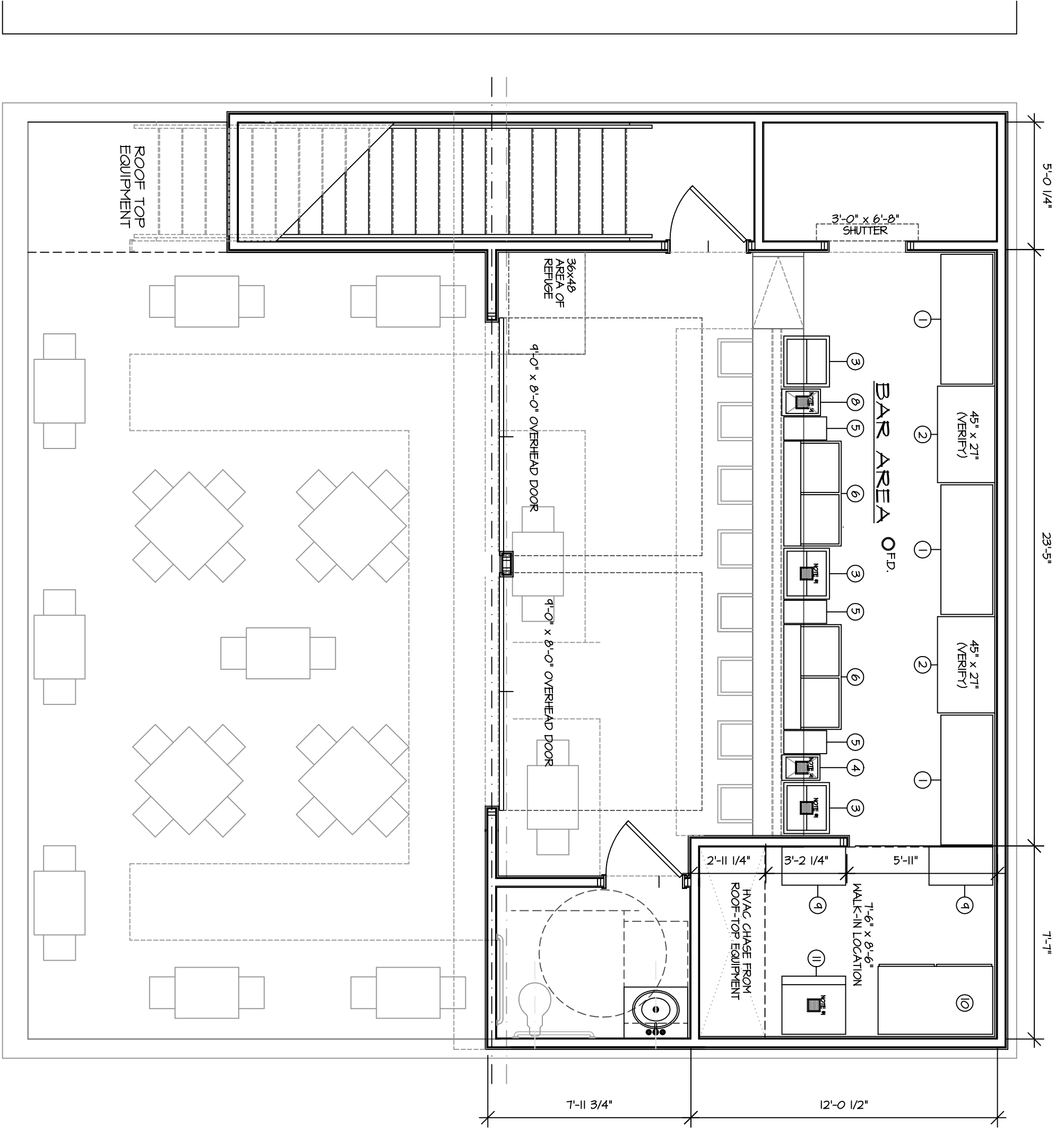


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---	---	TIM HINES, PE PROFESSIONAL ENGINEER	
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11-17-23	E2.4	NEW POWER PLAN - ROOF	
11-17-23	P0.1	PLUMBING PLUMBING SCHEDULE AND SPECIFICATIONS	
11-17-23	P1.1	PLUMBING PLUMBING PLANS	



DECEMBER 21, 2023 PERMIT DRAWINGS
JOB NUMBER - 2023-101



EQUIPMENT LAYOUT
ROOF DECK
 SCALE: 1/4" = 1'-0"
 INFORMATION PROVIDED BY FABRIS HOSPITALITY (910-200-6078)
 NOTE: PROVIDE AND INSTALL FLOOR SINK PER PLUMBING
 DRAWINGS AND SPECIFICATIONS

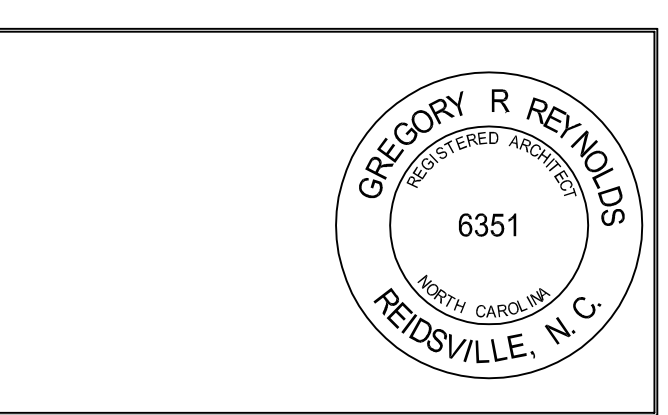
EQUIPMENT			
#	DESCRIPTION	QTY	MANUFACTURER / MODEL #
1	BACK BAR CABINET (REFRIGERATED) 61" x 24.4" x 36.2"	3	SERV-WAVE WBS-24HC
2	BACK BAR CABINET (48" x 27") - FIELD VERIFI	2	BY GENERAL CONTRACTOR
3	ICE BIN (24" x 21.25" x 32.5")	3	BK RESOURCES 104-21-104024-9
4	OVERBAR SINK UNIT (24" x 18" x 32.5")	1	BK RESOURCES 104-18-104024-9
5	TRAYHOLD RECEPTACLE (20.8" x 10.88" x 21.88")	2	WNC2 #77C-23K
6	BOTTLE COOLER (44" x 21" x 35")	2	SERV-WAVE BFC-50-HC
7	RECYCLE RECEPTACLE (20.13" x 10.88" x 21.88")	1	WNC2 #77C-23K
8	OVERBAR SINK UNIT (25" x 18.25" x 32.5")	2	BK RESOURCES 104-18-104024-12-RF#
9	30" x 18" HIRE SHELVING (NO SETS OF 5)	2	SERV-WAVE WBS30CAP
10	RECYCLE RECEPTACLE (24" x 35" x 32.5")	1	SERV-WAVE WBS24HC
11	ICE MAKER, CABE STYLE (35" x 21.35" x 32.5")	1	HOSHIZAKI HCH-40WKLJ

K2.1
 SHEET NUMBER

KITCHEN EQUIPMENT ROOF DECK PLAN
 PROPOSED UPFIT/ADDITION
SILVER DOLLAR
 3 CAPE FEAR BLVD.
 CAROLINA BEACH, NORTH CAROLINA

DATE	REVISIONS
12-21-23	
DRAWN BY	
REYNOLDS	
R/A PROJECT NUMBER	
2023-101	
CLIENT PROJECT NUMBER	
SD-101	
SCALE	
1/4" = 1'-0"	
FILE NAME	
SILVER DOLLAR-K2.1	

reynolds/architecture
 ARCHITECTURE PLANNING INTERIOR DESIGN
 845 ANGLERS DRIVE
 REIDSVILLE, N.C. 27350
 910/547-3254



PUBLIC HEARING NOTICE

DATE: PLANNING & ZONING 8/8/24
TOWN COUNCIL 9/10/24

Planning & Development Department

(910) 458-8218

**1121 N Lake Park Blvd,
Carolina Beach, NC 28428**

www.Carolinabeach.org



Certification for Planning & Zoning

I, Andrea I. Deopp-Norris, certify that as required in the General Statutes of the State of North Carolina, that all required notification procedures have been met for the following P&Z **Mtg:** 8/8/2024

Meeting Date: August 8, 2024

Project	Address	Applicant	Notices	Sunny-point	Signs	Advertisements
			Date	Date	Date	Date
Conditional Zoning Addition to a bar	3 Cape Fear Blvd	Ant Bates Motel, LLC	7.26.24	NA	7.29.24	7.29.24 & 8.7.24

TCB = Town of Carolina Beach CUP MOD = Conditional Use Permit Modification
 CUP = Conditional Use Permit AZO = Amend Zoning Ordinance
 ACO = Amend Code of Ordinances

Andrea I. Deopp-Norris - 7.26.24