

CAROLINA BEACH

Planning and Zoning Meeting

Thursday, April 10, 2025 – 6:00 PM

Council Chambers, 1121 N. Lake Park Boulevard, Carolina Beach, NC



AGENDA

CALL TO ORDER

CONFLICT OF INTEREST

Members of Planning and Zoning shall not vote on recommendations, permits, approvals, or other issues where the outcome of the matter being considered is reasonably likely to have a direct, substantial, and readily identifiable financial impact on the member or a member has a close familial, business, or other associational relationship. No member shall be excused from voting except upon those matters as noted, above, or upon those others involving the consideration of his own financial interest or official conduct. (160D-109)

APPROVAL OF MINUTES

1. March 13, 2025 – P&Z Minutes

STAFF REPORT ON RECENT COUNCIL MEETINGS

STAFF REPORT ON RECENT DEVELOPMENTS

PUBLIC HEARING

2. Conditional Zoning to consider a bar/tavern in the Highway Business District (HB) at 1360 Bridge Barrier Road. Applicant: Secret Sand Castles Unlimited, LLC
3. Text Amendment to amend Article 3: Zoning and Article 7: Definitions of the UDO to address water-oriented businesses and personal watercraft sales and rental. Applicant: Town of Carolina Beach

NON-AGENDA ITEMS

ADJOURNMENT



AGENDA ITEM COVERSHEET

PREPARED BY: Gloria Abbotts, Senior Planner

DEPARTMENT: Community
Development

MEETING: Planning & Zoning Commission – April 10, 2025

SUBJECT: March 13, 2025 – P&Z Minutes

Action:

Approve the March 13, 2025 Minutes

CAROLINA BEACH

Planning and Zoning Commission

Thursday, March 13, 2025 - 6:00 PM

Council Chambers, 1121 N. Lake Park Boulevard, Carolina Beach, NC



MINUTES

CALL TO ORDER

Chairman Rouse called the meeting to order at 6:00 PM.

PRESENT

- Chairman Wayne Rouse
- Vice Chairman Jeff Hogan
- Commissioner Melanie Boswell
- Commissioner Todd Piper
- Commissioner Bill Carew
- Commissioner Lynn Conto

ABSENT

- Commissioner Ethan Crouch

ALSO PRESENT

- Community Development Director Jeremy Hardison
- Senior Planner Gloria Abbotts
- Planner Haley Anderson

CONFLICT OF INTEREST

Members of Planning and Zoning shall not vote on recommendations, permits, approvals, or other issues where the outcome of the matter being considered is reasonably likely to have a direct, substantial, and readily identifiable financial impact on the member or a member has a close familial, business, or other associational relationship. No member shall be excused from voting except upon those matters as noted, above, or upon those others involving the consideration of his own financial interest or official conduct. (160D-109)

APPROVAL OF MINUTES

1. February 13, 2025 – P&Z Minutes

ACTION: Motion to approve the minutes as written

Motion made by Chairman Rouse, seconded by Vice Chairman Hogan

Voting Yea: Chairman Rouse, Vice Chairman Hogan, Commissioner Boswell, Commissioner Piper, Commissioner Carew, Commissioner Conto

Motion passed 6-0

STAFF REPORT ON RECENT DEVELOPMENTS

Mr. Hardison reported the following:

Permitting

- 77 permits (renovation, repair, grading, additions, fences, etc.)
- 7 residential new construction
- 26 certificates of occupancy

Seasonal activity

- Amusement rides will arrive in mid-April, and there is a meeting planned for early April to discuss setup.
- All beach vending permits have been issued.
- 2 out of the 6 available 4x4 Freeman Park vending permits have been issued.
- 3 beach services permits have been issued.

Demos (single-family homes)

- 413 Raleigh Avenue
- 513 Atlanta Avenue
- 300 Florida Avenue

New businesses

- Hometown Barber Shop, 1009 North Lake Park Boulevard, Suite B3
- Latella Gelato, 11 Boardwalk, Suite 110 (new ownership)

Project updates

- **Boardwalk bathroom:** Pilings are complete, and next week the slab will be poured. Then the project will be fenced off during the summer and worked paused until after Labor Day.
- **Ocean Boulevard sidewalk:** This project is on schedule, and progress is ongoing.
- **Lake Park pump house:** A bid has been awarded to a contractor. The contract is being drafted now, and work will hopefully start in May.
- **Lake Park bathroom:** A rendering of the work was shown for the facility, which is proposed to go by the picnic shelter near the parking lot.

Upcoming

- Planning and Zoning Commission March 13: Special Use Permit modification for 401 Marina Street
- Board of Adjustment March 17: variance for 7 Sailfish Lane
- Planning and Zoning Commission April 10: Conditional Zoning for a bar at Surf's Up Mini Golf at 1360 Bridge Barrier Road and a water-oriented uses text amendment
- Board of Adjustment April 22: Oceana appeal
- Planning and Zoning Commission March 8: 204 Harper Avenue rezoning
- Unified Development Ordinance (UDO): 6-month report on how it's working

Council

- March 11: adopted traffic-calming policy

- April 8: text amendment for Carolina Beach Inn at 210 Harper Avenue for commercial parking in the right-of-way

PUBLIC COMMENT

Holley Snider of 222 Florida Avenue said she was speaking as a concerned resident about Carolina Beach Yacht Club and Marina's request for a Special Use Permit modification, the next item on the agenda. She requested to speak now instead of during the public hearing on the matter. Ms. Snider said the marina, barge bar, and Freedom Boat Club (FBC) have been allowed to operate and expand without proper authorization at the expense of adjacent property owners. She said this is not in harmony with the adjacent residential zoning district and has injured the value of adjacent properties. Ms. Snider mentioned issues with parking overflow and lack of compliance with State and Federal permits.

DISCUSSION ITEMS

2. Consider a Special Use Permit Modification for Additional Boat Storage Spaces Located at 401 Marina Street PID 313115.74.1321.000, 313115.64.9002, and 313115.64.8036 in the Marina Business and R-1B District
Applicant: CBYC, LLC

On May 30, 2024, Council denied the Special Use Permit (SUP) modification for Carolina Beach Yacht Club and Marina (CBYC). In July 2024, the Town adopted a Unified Development Ordinance (UDO) that consisted of changes that would impact the site design of the modification. Those went into effect in August 2024, and the following are those impacted UDO changes:

- Removed employee parking from the required parking calculation for uses
- Added that golf cart parking can be utilized for required parking

The ordinance changes were significant for the ability of the applicant to resubmit the application to be reviewed under the new UDO.

Applicant CBYC has reapplied for an SUP modification. The original application submitted in 2019 was to add an eating and drinking establishment and a ship store located on a barge to the marina located at 401 Marina Street. In January 2020, an SUP was denied because it was not passed by Council (2-2 vote). Subsequently, the applicant filed a petition seeking an appeal. The Oceana Owners Association then filed a verified motion to intervene. The hearing of the appeal was canceled based upon the parties entering into an agreement. The agreement was executed in December 2020 to issue the SUP with conditions.

The modification under consideration is expanding the number of boat storage spaces. The marina is approved for 69 boat storage spaces (slips). During a zoning final inspection of the barge, it was discovered that several boat storage spaces were added, including multiple boats being parked in one designated space. Upon another inspection, the added boat storage spaces were removed, but the applicant would like to pursue expanding the marina's boat storage spaces from 69 to 90. By adding boat storage spaces, it also increases the number of required parking spaces. The parking requirement for commercial marinas per Article V is one parking space per wet boat storage space, one per two dry

storage, one per service bay + required for all other on-site uses. Parking is being provided for the wet boat storage space and all other on-site uses.

The modification consists of splitting 22 boat storage spaces from 45-foot storage spaces into two 22.5-foot boat storage spaces. The following are the modifications to the plan:

- Removed ground-floor office space from the building to convert as part of the existing residential unit on second floor.
- One of the original 69 boat storage spaces that was counted did not transfer to the current owner as it was previously sold to a property owner of a lot in the Oceana neighborhood. This boat storage space would still need to provide a parking space.
- The footprint of the approved barge, 40 feet x 120 feet, is larger than what was built on site, 24 feet X 96 feet, thus decreasing the amount of parking needed for the eating and drinking establishment and retail area.
- Expanding parking area with spaces being added closer to the property lines that do not meet the landscaping requirements; applicant is requesting a wavier.

12 parking spaces are required to be added to accommodate the modifications. The applicant is proposing a total of 21 additional parking spaces:

- 13 additional spaces are proposed to be located in the parking lot adjacent to the marina building.
- 7 additional spaces are proposed in the Oceana parking lot.

There are 7 specific standards and 4 general conditions that the applicant must meet.

The following are staff's proposed conditions:

1. Landscape requirements to be waived for the additional proposed two new parking spaces.
2. Major changes to approved plans and conditions of development may be authorized only by Council after review and recommendation by the Planning and Zoning Commission in the same manner as outlined in this article for original submission.
3. Record the south area of the paved Georgia Avenue Town access easement to a Town public right-of-way prior to the issuance of a permit for the increased boat storage spaces.
4. Outdoor artificial lighting fixtures shall be designed and positioned so that the point source of light from a light fixture is not directly visible from adjacent properties and/or rights-of-way.
5. Must meet all Local, State, and Federal requirements.
6. Install bike a storage rack of a minimum of 4 storage spaces.

Staff's recommendation is as follows: The use meets all required conditions and specifications. The location and character of the use, if developed according to the plan as submitted with staff conditions and approved, will be in harmony with the area in which it is to be located and in general conformity with the Town Land Use Plan and policies.

Chairman Rouse asked if any Commissioner had a conflict of interest to disclose; there were none.

Individuals planning to testify on the matter were sworn in. Chairman Rouse opened the evidentiary hearing.

Mr. Hardison presented the details. He went over the background, adjacent uses, specific standards, general conditions, and staff's proposed conditions.

Chairman Rouse said it's not the policy of the Commission to prevent someone from speaking during the public comment portion of the meeting, but because Ms. Snider made her comments outside of the public hearing about this matter, Commissioners may not consider them to inform their decision.

Attorney Jennifer Carpenter, representing the applicant, said there are three components to the request:

- Boat slip changes
- Added parking triggered by the boat slip changes
- Food truck

She said the boat slip changes are not adding anything and are simply a reallocation of resources that already exist. Ms. Carpenter said this will allow more people to access the waterway, a goal of the Town's Land Use Plan. She added that changing the configuration of the marina will allow more smaller boats, which are typically used by families, to use the water within an existing resource.

Ms. Carpenter said the marina has been around for decades, and the Oceana residents moved there with that knowledge. She said the applicant is going above and beyond to try to provide as much parking as possible.

Ms. Carpenter referenced the Town's Water Use and Harbor Management Plan, which she says recommends that the Town shall consider proposals for new or expanded marina facilities if they improve boating access to the harbor. She said the general population of the Town wants these kinds of activities and access to the water.

Regarding the two parking spaces that triggered the landscape waiver, Ms. Carpenter said if the landscape buffer causes a major concern, the applicant can minimize those parking spaces to keep from triggering the waiver, but they are looking to have as much parking as possible to accommodate a busy season.

Ms. Carpenter said they have concerns about adding a condition to the permit that dedicates property to the Town in exchange for a permit. She said that is subject to being challenged, and the applicant is willing to work with the Town on that, but they don't think it should be a barrier to recommending approval of the permit.

Regarding concerns about public safety, Ms. Carpenter said the use is already permitted by zoning and the previous SUP, and they are not seeking to change the use. She said there is a presumption based on case law that the proposal is in harmony with the neighboring and surrounding community, and it's common to park boats in this way and makes sense here.

Ms. Carpenter said there are four actions pending in Superior Court between the applicant and Oceana and contended it's inappropriate to consider those matters as an argument against a permit when they

will be decided in court. She asked that the Board consider and vote on each component – boat slips, parking, and the food truck – separately.

Ms. Carpenter said cars would not be parking along the road if they were allowed to access the back lot where they have allocated parking for boat slips. She contended that access is being blocked by Oceana inappropriately, and that will be determined in court.

Applicant representative Chad Cooke of 401 Marina Street said Topsail Island went through a similar issue in 2023 by doubling up 11 boat slips, and it was approved. He said the pump-out situation is an ongoing process with the State, but they have been approved for a grant program and pump-out should be installed within 60 days. Mr. Cooke said the CUP will meet all State and Local codes, regardless of what the opposition will say.

Mr. Cooke said FBC has over 400 members in the Town, providing the ability for more people to have a boat and therefore access to the water. He said parking is never an issue except on summer holiday weekends.

James Sanderford of 418 Marina Street, who serves on the Board of the Oceana Owners Association, gave information about his background and experience as it relates to this matter and said he plans to show aspects of this request that do not conform to ordinances or State law. He said when the applicant makes changes they have to conform to new ordinances, and if you have a non-conforming use you can't add to it. Mr. Sanderford said they are putting business parking on a residential street, and he mentioned concerns about proximity to fuel tanks.

Mr. Sanderford said when taking all aspects into account, the application is short 34 parking spaces from what is required. He also contended that the request does not meet handicapped accessibility requirements and said off-street parking in the area is causing sight and obstruction issues. Mr. Sanderford said the situation is not conducive to a neighborhood, and the marina needs to keep its operations within its area.

David Sadler of 211 Georgia Avenue, who also owns a lot at 218 Georgia Avenue, said the idea that the marina has always been there ignores the fact that it's not been a static operation. He said it's always changing, and that's why they need an SUP. Mr. Sadler asked what the contingency plan is if the marina's sewer pump isn't working. He said the marina has introduced significant traffic into the neighborhood, and he has had to chase people off his lot. Mr. Sadler said the situation is having an impact on the neighborhood's quality of life and causing wear and tear on the road and possibly the need for more speed bumps. He said if the marina and their agents cared about the neighborhood, they would have come with an analysis of the actual impact of their operations, a contingency plan, and mitigation.

Olin Furr of 440 Oceana Way said in a typical marina, boat owners do not often show up on the same day at the same time, and that's why one parking space per wet slip works. He said the marina has not been a problem in the past because it's been treated like a marina, but now the whole dynamic has changed, and that's why there are issues.

Mr. Furr said Mr. Hardison has the power under the UDO to do certain things to help this situation, such as determine minimum parking requirements for uses not in the chart. Mr. Furr said two conditions of the consent agreement between Oceana, the Town, and the marina have not been met by the marina, and these are prime examples of where Mr. Hardison should be exercising his authority as UDO Administrator to create uses. He said boat clubs such as FBC should have a separate use listed in the table because they generate so much traffic. Mr. Furr said allowing unlimited water-oriented businesses to operate under the marina's CUP violates the zoning ordinance. He said Oceana and the marina will be before the Town's Board of Adjustment in April on this matter. Mr. Furr said FBC has over 30 employees and boats used by 400 customers, so one parking space per wet slip does not follow the ordinance or common sense.

Mr. Furr said Town staff admits this is a congested area posing a safety issue, and he doesn't see how turning the easement into a right-of-way solves anything. He said the application is a desperate attempt to add parking at any cost and is bad for the neighborhood. Mr. Furr said the application does not meet the part of the ordinance that deals with parking design and construction, and he said parking is so inundated they have a shuttle. He said the application has at least a dozen violations of Town ordinances and shows a total disregard for the surrounding community. Mr. Furr asked the Board to deny the request.

Jeanie Sadler of 211 Georgia Avenue said she bought her home in a quiet residential community, and the current situation with the marina affects the peaceful lives neighbors have led. She said FBC members are traveling fast through the neighborhood because they are rushing to meet their time slots.

Ms. Carpenter said she wanted to offer a rebuttal to address public concerns. She said if Mr. Sanderford and Mr. Furr are arguing on behalf of Oceana, then that's a problem because this is a quasi-judicial hearing and Oceana is required to have an attorney, so she objects to their testimony and any argument that involves compliance with the consent order or anything else that is in front of Superior Court because those matters are not relevant to this permit application. Ms. Carpenter said the only things before the Board now are changes on the application that has been submitted, not a previous SUP or parking violations and enforcement. She said the Board must simply determine if the application meets the requirements of the Town's ordinance.

Ms. Carpenter said the ordinance does not require a traffic impact analysis for this application, and Mr. Hardison is the expert to evaluate the plan and give a recommendation as to whether it meets Town ordinances. She said the marina and parking lot are permitted uses and presumptively harmonious with the surrounding neighborhood, and the marina is taking resident concerns into account by trying to create as much parking as possible. Ms. Carpenter said the parking lot is the marina's, but it's not being used because of obstruction by Oceana, a matter that will be decided in court. She asked the Board to listen to the expert and recommend to Council that the permit be issued.

Mr. Cooke said the parking plan is a proposed plan, not an actual plan in place now, and once this application is approved all necessary measures will be implemented. He said the marina no longer has pontoon rentals because it's a hassle. Mr. Cooke said the dispute with Oceana is all over semantics

over who is a renter and a member. He said the marina has offered to work out a solution with them, including dedicating a full-time employee to regulate the parking lot or allowing an employee to drive cars into the parking lot, but they refused and have no intentions of cooperating. Mr. Cooke said it's the marina's parking lot, but Oceana will not let them use it over a barcode. He said if Oceana really cared about working this out, the marina would be able to use the parking lot and there wouldn't be an issue for other neighbors in the community. Mr. Cooke said he has no idea how many people work for FBC, but they don't have 15 or 20 people at once walking around the marina and using the parking lot.

ACTION: Motion to close the public hearing

Motion made by Chairman Rouse, seconded by Vice Chairman Hogan

Voting Yea: Chairman Rouse, Vice Chairman Hogan, Commissioner Boswell, Commissioner Piper, Commissioner Carew, Commissioner Conto

Motion passed 6-0

Commissioner Conto agreed with Ms. Carpenter and Mr. Cooke about exactly what the Board can do in terms of this application, but she said her one hot button is Americans with Disabilities Act (ADA) compliance. Mr. Hardison said the County enforces building codes and has been on site to investigate complaints. He said this is an existing facility, so they don't necessarily have to bring everything up to current code as far as ADA. Commissioner Conto reiterated that the lack of ADA compliance is very concerning to her. Chairman Rouse said his father was disabled so he's also concerned about ADA compliance, but he's not sure if this question is pertinent to the parking matter. Commissioner Conto said she thinks it's relevant and important that the marina be required to comply.

Commissioner Carew asked about the history of how watercraft rental became a use in the marina during the past couple of years. Mr. Hardison said in the table of uses, it is permitted by right and has been in place for at least 25 years. He said the rentals are not a change of use but are part of commercial marina activity, and it's not an increase in intensity because the number of slips has not increased.

Commissioner Piper asked who reviewed the parking site plan. Mr. Hardison said the Technical Review Committee (TRC) did. He said in the proposed plan there are 113 parking spaces and space for 91 boats. Commissioner Piper said he is concerned that parking is not sufficient, especially when employees are factored into the equation. He said he believes the operation is now a mix of two uses, and all the people using one boat will not come in one vehicle or compact cars. Commissioner Piper said he is sympathetic to the request but does not feel that it all matches up. Mr. Hardison said it's staff's interpretation that the operation is still functioning as a commercial marina with multiple uses inside.

Commissioner Boswell said this request is a lot to take in, and she can't get on board with it because she believes the changes on the submitted application will cause a public safety issue.

Vice Chairman Hogan said since the marina off Saint Joseph Street added dry stacks, every weekend there are people parking in the public right-of-way because there is not enough parking. He said he also does not believe everyone using one boat is riding together in the same car. Vice Chairman Hogan said this is a public safety issue, and he's not sure it's in harmony with the neighborhood. Mr. Hardison

said if there is an issue with the parking standard, that may be a different question than whether the applicant meets current regulations.

Commissioner Piper said he does not think the application is in conformity with the Land Use Plan because of the area being mostly single-family homes and the potential for increased traffic around them. He said he does not understand what's going on with the parking lot, but he thinks that is for someone else to determine. Commissioner Piper said if six people are riding in a boat, they will come in three cars.

Commissioner Carew said if staff is assuring the Board that the rental entity can co-exist inside the marina and does not present a change of use with respect to the CUP, then the Board must look at the fact that the marina has proven it has adequate parking, and the fact that they can't get to that parking is not part of the Board's decision. He said at this point, the Board must simply determine if this is permitted under the UDO.

Commissioner Conto said she still has concerns about ADA compliance, but Mr. Hardison said the appropriate officials are looking into this and will deal with it accordingly, so the Board must focus on whether this meets Town regulations.

ACTION: Motion to deny the application for modification for additional boat storage spaces at 401 Marina Street in the Marina District based on the fact that this will materially endanger the public health and safety if located where proposed and developed according to the plan as submitted and approved by issuance of the CUP and also that the location and character of use if developed according to the plan as submitted and approved will not be in harmony in the area in which it will be located in general conformity with the Town Land Use Plan and policies

Motion made by Commissioner Boswell, seconded by Vice Chairman Hogan

Voting Yea: Vice Chairman Hogan, Commissioner Boswell, Commissioner Piper

Voting Nay: Chairman Rouse, Commissioner Carew, Commissioner Conto

Motion failed 3-3

Chairman Rouse said the Board is a recommending body, and Council will make the final decision.

NON-AGENDA ITEMS

Commissioner Carew said the Town might want to look into what other municipalities, such as Wrightsville Beach and Surf City, have done with boat rental operations within a marina.

Vice Chairman Hogan reiterated that the dry stacks have caused parking issues along Saint Joseph Street on weekends.

Commissioner Conto said the Town may want to consider changing the UDO's standard for required parking spaces.

Vice Chairman Hogan said at least two parking spaces per boat rental should be required.

Mr. Hardison said staff can look at other ordinances and bring back suggested verbiage about how these types of situations are treated and permitted and the parking standards for them. He said there is a difference of opinion on existing regulations, so this should be revisited.

Chairman Rouse said he doesn't think the Town addresses non-conforming lots other than with standard codes, so the Town may also want to look at ideas for lots that are non-conforming through no fault of the property owner.

ADJOURNMENT

Chairman Rouse adjourned the meeting at 9:00 PM.



AGENDA ITEM COVERSHEET

PREPARED BY: Gloria Abbotts, Sr Planner

DEPARTMENT: Community
Development

MEETING: Planning & Zoning Commission – April 10, 2024

SUBJECT: **Conditional Zoning** to consider a bar/tavern in the Highway Business District (HB) at 1360 Bridge Barrier Road.
Applicant: Secret Sand Castles Unlimited, LLC

BACKGROUND:

The applicant, Secret Sand Castles Unlimited, LLC, applied for a Conditional Zoning application for a bar/tavern in the Highway Business District. The existing use of the property is an approved mini golf course that is under construction. The applicant proposes to provide on-premise wine and beer. According to the ordinance, if alcohol is served on-premise and the establishment does not meet the criteria for a standard restaurant, it is classified as a bar. The ABC stipulates that a restaurant must have food sales constituting at least 30 percent of their sales, to avoid being classified as a bar. A bar is allowed through the approval of a conditional zoning district in the Highway Business District.

The Conditional Zoning District allows a particular use to be established only in accordance with specific standards and conditions pertaining to each individual development project. Some land uses have such significant impacts on both the immediate area and the broader community that general district standards cannot adequately address them. Additionally, there are situations where a general district designation allowing a use by right would not be suitable for a specific property, even though the use itself might be appropriate. The review process accommodates these cases by reclassifying the property into a conditional zoning district, with conditions designed to ensure that the use aligns with and does not disrupt neighboring properties.

All applications shall include a site plan and any development standards to be approved concurrently with the rezoning application. Development standards may include such things as parking, landscaping, design guidelines, and buffers. When evaluating an application for the creation of a conditional zoning district, the Planning & Zoning Commission shall consider the following:

1. The application's consistency to the general policies and objectives of the Town's CAMA Land Use Plan, any other officially adopted plan that is applicable, and the Zoning Ordinance.
2. The potential impacts and/or benefits on the surrounding area, adjoining properties.
3. Report on results from the public input meeting.

Prior to scheduling a public hearing on the rezoning application, the applicant shall conduct one (1) public input meeting and file a report of the results with the Zoning Administrator. In approving a petition for the reclassification of property to a conditional zoning district, the Planning & Zoning Commission may recommend that the applicant add reasonable and appropriate conditions to the approval of the petition. Any such conditions should relate to the relationship of the proposed use to the impact on the following details:

1. Town services
2. Surrounding property
3. Proposed support facilities such as parking areas and driveways
4. Pedestrian and vehicular circulation systems
5. Screening and buffer areas
6. Timing of development
7. Street and right-of-way improvements
8. Infrastructure improvements (i.e. water)
9. Provision of open space
10. Other matters that the participants in the public input meeting, staff, Planning & Zoning Commission, and Town Council find appropriate or the petitioner may propose

If the applicant does not agree with the Planning & Zoning Commission or staff's recommendations of additional conditions, the Town Council shall have the authority to accept none, any, or all of the conditions forwarded from the review process.

No permit shall be issued for any development activity within a conditional zoning district except in accordance with the approved petition and applicable site plan, subdivision plat, and/or permit for the district.

Proposal:

The property is currently under construction for an approved mini golf course. The project also includes a tiki hut area with an office, bar, covered patio, storage, and bathrooms.

The purpose of the Highway Business District is to accommodate businesses oriented toward the motoring public and which require a high volume of traffic. The regulations of this district are intended to support businesses that serve the entire community and beyond. For the most part, they are located on major thoroughfares so that they can be conveniently reached by automobile and avoid heavy automobile traffic through smaller streets or residential areas. Certain wholesale activities are also permitted in the HB district.

The existing approval for the site is a miniature golf course with 18 holes. The applicant has an active building permit for the project, it meets the current code, including lot coverage and setback requirements. The addition of beer and wine sales is proposed is within the current footprint. The sale of alcohol will be taking place at the tiki hut only. The proposal meets the requirement that all new bars/and taverns shall be located a minimum of 200 feet from churches, schools, and residential districts.

The applicant is providing a 10' Type B landscape buffer around the perimeter of the property, this buffer is required for any project that is greater than 10,000 square feet of impervious surface. The applicant proposes to reshape and widen the existing curb that leads to the site and connect a new sidewalk to the existing sidewalk that runs along Bridge Barrier Road.

Parking must be provided on site for all uses. The parking requirement for bars is 1 per 110 square feet of indoor gross floor area and the parking for mini golf is .5 spaces per hole. The minimum number of required spaces is 20. The applicant will provide a total of 24 parking spaces on site. 8 parking spaces are for golf carts. Up to 20% of the required parking may be utilized for golf-cart/low speed vehicle parking. In utilizing this exemption, the applicant will have to install a bike rack with a minimum of 4 spaces.

Proposed Conditions

1. The use and development of the subject property shall comply with all regulations and requirements of any other federal, state or local law, ordinance or regulations.
2. Provide a bike rack with a minimum of 4 spaces.
3. Lighting shall be angled downward as to not disturb neighboring properties.
4. Any proposed signage will have to meet all standards zoning requirements in the future.
5. The refuse collection site must be enclosed on three (3) sides by a minimum six (6) foot opaque fence.

Conditional Zoning Process

As part of the application process a community meeting is required. The applicant held the required meeting on February 15, 2025. The applicant has provided summary comments from the meeting. Based off the comments from the meeting, the applicant can place conditions on the project to help mitigate the impacts and concerns from the neighboring properties.

Land Use Plan

The project is in general conformity with the 2020 Land Use Plan and the Office, Industrial, & Employment Future Land Use Character Area which calls for a mix of office, commercial, light industrial, and employment-generating uses. This project supports the goal of Carolina Beach as a family-oriented town and supports a healthy year-round economy.

ACTION REQUESTED:

Consider recommending approval or denial of a conditional zoning to approve a bar located at 1360 Bridge Barrier Road.

Staff recommends approval of the project as proposed.

MOTION:

Approval - whereas in accordance with the provisions of the NCGS, the Commission does hereby find and determine that the adoption of the Conditional Use District to allow for a bar located at 1360 Bridge Barrier Road is consistent with the goals and objectives of the adopted Land Use Plan and other long-range plans.

Denial - based on inconsistencies with the goals and objectives of the adopted Land Use Plan and/or other long-range planning documents and the potential impacts on the surrounding areas.

1121 N. Lake Park Blvd.
Carolina Beach, NC 28428
permits@carolinabeach.org
Phone (910) 458-2999



Permit # _____

TOWN OF CAROLINA BEACH Conditional Zoning Application

The Conditional Zoning process for the Town of Carolina Beach may be found in the ordinance (Sec. 40-527).

Prior to the application submission, the applicant must conduct a Public Input Meeting. The following are the public meeting requirements:

- The applicant must mail notice of said meeting to all property owners within 500 feet of the perimeter of the project bounds no less than 10 days prior to the meeting.
- The notice must include time, date, location, and project description.
- The applicant must maintain and submit to with their application a:
 - o A copy of the letter announcing the meeting
 - o A list of property owners contacted
 - o An attendance roster from the meeting
 - o A summary of the issues discussed
 - o The results and any changes related to the proposal based on meeting discussions

Each application submitted to staff must be legible, contain the public scoping meeting required information, and provide all other required materials to be accepted as a completed application. Supplemental application materials may include, but not be limited to, site plans, building designs, engineered drawings, stormwater designs, landscaping plans, project narratives, Federal and/or State permits/permissions, and Traffic Impact Analyses. **It is strongly suggested that the applicant set up a meeting with Planning Staff prior to the submission deadline, to ensure the application is complete.**

The Planning Department, Technical Review Committee, Planning and Zoning Commission and/or Town Council reserve the right to require additional information if needed to assure that the use in its proposed location will meet be developed in accordance with the Code of Ordinances of the Town of Carolina Beach.

Application fees. The owner or owners, or their duly authorized agent, of the property included in the application for Conditional Zoning shall submit a complete application and supplemental information to the Planning Department. **A fee in accordance with the Town’s adopted schedule of fees, payable to the Town of Carolina Beach, must accompany each application.** For the purposes of determining the fee, the Zoning Administrator shall categorize each such Conditional Zoning Permit Application as either “major” or “minor”, depending upon the complexity of review. Generally, Planned Residential (over 7 units), Mixed Uses, Business Developments, and similarly complex projects shall be categorized as “major”, while projects such as Planned Residential (5-6 units), bed and breakfast inns, small day care services, etc. shall be categorized as “minor”.

Major Conditional Zoning Permit	=	\$ 1,000.00
Minor Conditional Zoning Permit	=	\$ 500.00

This permit will be scheduled for the next possible Technical Review Committee, provided the public scoping meeting has taken place and the application is otherwise complete.



2024 Submission Deadlines & Meeting Dates

Technical Review Committee		Planning & Zoning Commission		Town Council	
Submission	Meeting	Submission	Meeting	Submission	Meeting
Jan 2	Jan 16	Jan 25	Feb 8	Feb 27	Mar 12
Feb 6	Feb 20	Feb 29	Mar 14	Mar 26	Apr 9
Mar 4	Mar 18	Mar 28	Apr 11	Apr 30	May 14
Apr 1	Apr 15	Apr 25	May 9	May 28	June 11
May 6	May 20	May 30	June 13	June 25	July 9
June 3	June 17	June 27	Jul 11	July 30	Aug 13
July 1	July 15	July 25	Aug 8	Aug 27	Sept 10
Aug 5	Aug 19	Aug 29	Sept 12	Sept 24	Oct 8
Aug 30	Sept 16	Sept 26	Oct 10	Oct 29	Nov 12
Sept 30	Oct 14	Oct 31	Nov 14	Nov 26	Dec 10
Nov 4	Nov 18	Nov 27	Dec 12	Jan 2025	Jan 2025
Dec 2	Dec 16	Jan 2025	Jan 2025	Feb 2025	Feb 2025
Jan 2025	Jan 2025	Feb 2025	Feb 2025	March 2025	March 2025
Board	# Copies Full Size		# Copies Electronic		
TRC	2		1		
P&Z	2		1		
Town Council	2		1		

PURPOSE

Conditional zoning allows flexibility with regard to the zoning regulations. Subject to high standards of planning and design, certain uses may be allowed in certain districts or on properties provided they can be developed to minimize any adverse effects they might have on surrounding properties. Conditional Zoning allows for public and governing board input to help any proposed project meet its goals while also contributing to the positive development of Carolina Beach.

Please complete all sections of the application.

A. Property Information

Address(es): 1360 Bridge Barrier Road

PIN(s): _____

Project Name Surfs Up Mini Golf

Size of lot(s): 96 acres

B. Application for Conditional Zoning

Application is hereby made for a Conditional Zoning for use of the property described above as a (please provide a brief description of the use):

Applying for a Bar/Tavern use

Surfs Up Mini Golf will have a small 'tiki hut' where they will sell beer, wine, icees, and snacks.

C. Applicant Contact Information

Secret Sand Castles Unlimited LLC

Company/corporate Name (if applicable):

Mike Matsinger

Applicant's Name

PO Box 1098

Mailing Address

Carolina Beach, NC 28428

City, State, and Zip Code

919-616-4257

Telephone

MikeM@BiggerCrowds.com

Email

D. Owner Contact Information (if different)

Owner's Name

Mailing Address

City, State, and Zip Code

Telephone

Email

**Check the box beside each item verifying that the item has been submitted with this application****I. Site Plan Criteria**

For new construction all boxes in this section shall be marked yes by the applicant to be considered a complete application.

Yes No N/A

- | | | | |
|--------------------------|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | The name, address, and phone number of the professional(s) responsible for preparing the plan if different than the applicant. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | An appropriate scaled plan |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Title block or brief description of project including all proposed uses |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Date |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | North Arrow |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Property and zoning boundaries |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | The square footage of the site |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Lot coverage (buildings, decks, steps) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Location of all existing and proposed <i>structures</i> and the setbacks from property lines of all affected structures to remain on-site |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Design of driveways and parking |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Adjacent right-of-ways labeled with the street name and right of way width |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Location of all existing and/or proposed easements |

Additional information or data as determined necessary by town staff and/or other reviewing agencies including but not limited to the following may be required:

Yes No N/A

- | | | | |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Location and design of refuse facilities |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Approximate locations and sizes of all existing and proposed <i>utilities</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Existing and/or proposed fire hydrants (showing distances) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Adjacent properties with owners' information and approximate location of structures |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Distances between all <i>buildings</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Number of <i>stories</i> and height of all <i>structures</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Locations of all entrances and exits to all <i>structures</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Calculate the <i>gross floor area</i> with each room labeled (i.e. kitchen, bedroom, bathroom) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Exterior lighting locations with area of illumination illustrated as well as the type of fixtures and shielding to be use |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Location of flood zones and finished floor elevations |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | CAMA Areas of Environmental Concern (AEC) and CAMA setbacks |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Delineation of <i>natural features</i> and wetlands with existing and proposed topography with a maximum of two-foot contour intervals |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Proposed landscaping including percentages of <i>open space</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Stormwater management systems |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Cross-sectional details of all streets, roads, ditches, and <i>parking lot</i> improvements |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <i>Building</i> construction and occupancy type(s) per the building code |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Location of fire department connection(s) for standpipes |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Turning radii, turnarounds, access grades, height of overhead obstructions |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Dimensions and locations of all <i>signs</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A vicinity map drawn with north indicated |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Submit the total daily water flow usage and sewer design flow by a design professional |
- I have provided two hard-copies and one scaled electronic version of each required drawing
- I am prepared to pay the application fee today

SUPPLEMENTAL INFORMATION REQUIRED WITH THE APPLICATION

1. Detailed project narrative describing the proposed site and request.
2. Agent form if the applicant is not the property owner.
3. Request for site specific vesting plan shall be submitted in accordance with Chapter 40 Article XIII

OWNER'S SIGNATURE: In filing this application for a conditional zoning, I/we as the property owner(s), hereby certify that all of the information presented in this application is accurate to the best of my knowledge, information and belief.

Mike
Matsinger
Signature

Digitally signed by Mike
Matsinger
Date: 2025.02.16
12:05:11 -05'00'

02/17/2025 / /

Date

AUTHORITY FOR APPOINTMENT OF PERSON TO ACT ON MY BEHALF

The undersigned owner, _____, does hereby appoint _____ to act on my behalf for the purpose of petitioning the Town of Carolina Beach for: a) an amendment to the text regulations; b) a change to the zoning map; and/or c) street closing, as applicable to the property described in the attached petition. The owner does hereby covenant and agree with the Town of Carolina Beach that said person has the authority to do the following acts for and on behalf of the owner: (1) To submit a proper petition and the required supplemental materials: (2) To appear at public meetings to give testimony and make commitments on behalf of the owner; and (3) In the case of conditional zoning, to accept conditions or recommendations made for the conditional zoning on the owner’s property. (4) To act on the owner’s behalf without limitations with regard to any and all things directly or indirectly connected with or arising out of any petition. This appointment agreement shall continue in effect until final disposition of the petition submitted in conjunction with this appointment.

Date: _____

Appointee’s Name, Address & Telephone:

Signature of Owner: _____

Feb 3, 2025

Dear TDS of Charleston LLC,

You are invited to attend a public meeting to discuss the Conditional Zoning Application for Secret Sand Castles Unlimited and Surfs Up Miniature Golf Course located at 1360 Bridge Barrier Road – Carolina Beach, NC 28428.

The project is fully approved, and we expect to begin construction in the next few weeks. We are now seeking a variance for a Beer & Wine license which is what this meeting will discuss.

This is an opportunity to learn more about the project have any questions answered.



Meeting Details

Saturday February 15, 2025, at 3:00pm

1360 Bridge Barrier Road

Key Discussion Points

- Overview of Surfs Up Mini Golf
- Application for Beer & Wine License
- Question and Answers

Please feel free to contact me at MikeM@BiggerCrowds.com with any questions or thoughts.

Best regards,

Mike Matsinger

Secret Sand Castles Unlimited
PO Box 1098 - Carolina Beach, NC 28428

Feb 3, 2025

Dear David Weimer,

You are invited to attend a public meeting to discuss the Conditional Zoning Application for Secret Sand Castles Unlimited and Surfs Up Miniature Golf Course located at 1360 Bridge Barrier Road – Carolina Beach, NC 28428.

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Best regards,

Mike Matsinger

Secret Sand Castles Unlimited
PO Box 1098 - Carolina Beach, NC 28428

Feb 3, 2025

Dear Federal Point Medial Ctr,

You are invited to attend a public meeting to discuss the Conditional Zoning Application for Secret Sand Castles Unlimited and Surfs Up Miniature Golf Course located at 1360 Bridge Barrier Road – Carolina Beach, NC 28428.

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Best regards,

Mike Matsinger

Secret Sand Castles Unlimited
PO Box 1098 - Carolina Beach, NC 28428

Feb 3, 2025

Dear Hammil Const. Company,

You are invited to attend a public meeting to discuss the Conditional Zoning Application for Secret Sand Castles Unlimited and Surfs Up Miniature Golf Course located at 1360 Bridge Barrier Road – Carolina Beach, NC 28428.

The project is fully approved, and we expect to begin construction in the next few weeks. We are now seeking a variance for a Beer & Wine license which is what this meeting will discuss.

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Best regards,

Mike Matsinger

Secret Sand Castles Unlimited
PO Box 1098 - Carolina Beach, NC 28428

Feb 3, 2025

Dear Jeffrey and Mary Lou Wilborn,

You are invited to attend a public meeting to discuss the Conditional Zoning Application for Secret Sand Castles Unlimited and Surfs Up Miniature Golf Course located at 1360 Bridge Barrier Road – Carolina Beach, NC 28428.

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Best regards,

Mike Matsinger

Secret Sand Castles Unlimited
PO Box 1098 - Carolina Beach, NC 28428

Feb 3, 2025

Dear Deerfield Village LLC,

You are invited to attend a public meeting to discuss the Conditional Zoning Application for Secret Sand Castles Unlimited and Surfs Up Miniature Golf Course located at 1360 Bridge Barrier Road – Carolina Beach, NC 28428.

The project is fully approved, and we expect to begin construction in the next few weeks. We are now seeking a variance for a Beer & Wine license which is what this meeting will discuss.

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Please feel free to contact me at MikeM@BiggerCrowds.com with any questions or thoughts.

Best regards,

Mike Matsinger

Secret Sand Castles Unlimited
PO Box 1098 - Carolina Beach, NC 28428

Feb 3, 2025

Dear Kent & Cynthia Gause,

You are invited to attend a public meeting to discuss the Conditional Zoning Application for Secret Sand Castles Unlimited and Surfs Up Miniature Golf Course located at 1360 Bridge Barrier Road – Carolina Beach, NC 28428.

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Please feel free to contact me at MikeM@BiggerCrowds.com with any questions or thoughts.

Best regards,

Mike Matsinger

Secret Sand Castles Unlimited
PO Box 1098 - Carolina Beach, NC 28428

Feb 3, 2025

Dear Treca Holdings LLC,

You are invited to attend a public meeting to discuss the Conditional Zoning Application for Secret Sand Castles Unlimited and Surfs Up Miniature Golf Course located at 1360 Bridge Barrier Road – Carolina Beach, NC 28428.

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- Question and Answers

Please feel free to contact me at MikeM@BiggerCrowds.com with any questions or thoughts.

Best regards,

Mike Matsinger

Secret Sand Castles Unlimited
PO Box 1098 - Carolina Beach, NC 28428

Feb 3, 2025

Dear Nebo Investments,

You are invited to attend a public meeting to discuss the Conditional Zoning Application for Secret Sand Castles Unlimited and Surfs Up Miniature Golf Course located at 1360 Bridge Barrier Road – Carolina Beach, NC 28428.

The project is fully approved, and we expect to begin construction in the next few weeks. We are now seeking a variance for a Beer & Wine license which is what this meeting will discuss.

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Meeting Details

Saturday February 15, 2025, at 3:00pm

1360 Bridge Barrier Road

Key Discussion Points

- Overview of Surfs Up Mini Golf
- Application for Beer & Wine License
- Question and Answers

Please feel free to contact me at MikeM@BiggerCrowds.com with any questions or thoughts.

Best regards,

Mike Matsinger

Secret Sand Castles Unlimited
PO Box 1098 - Carolina Beach, NC 28428

BUSINESS

OWNER'S NAME

Bojangles

TDS of Charleston LLC

David Weimer

Federal Point Medial Ctr

Federal Point Medial Ctr

Hammil Const Company

Hammil Const. Company

Jeffrey and Mary Lou Wilborn

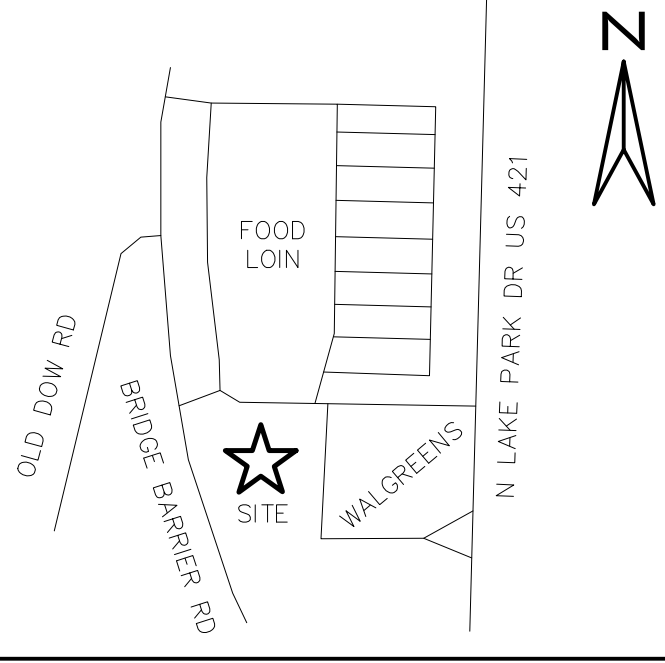
Deerfield Village LLC

Kent & Cynthia Gause

Treca Holdings LLC

Nebo Investments

ADDRESS	CITY	STATE	ZIP
1164 Porchers Bluff Rd	Mt Pleasant	SC	29466
105 Rum Cay Road	Carolina Beach	NC	28428
PO Box 135	Carolina Beach	NC	28428
5051 St Stephens Road	Gold Hill	NC	28071
715 Cape Fear Blvd	Carolina Beach	NC	28428
94 Merchants Circle - Suite 202	Hampstead	NC	28433
PO Box 882	Carolina Beach	NC	28428
4140 College Road	Wilmington	NC	28412
6911 Finian Dr	Wilmington	NC	28409



VICINITY MAP

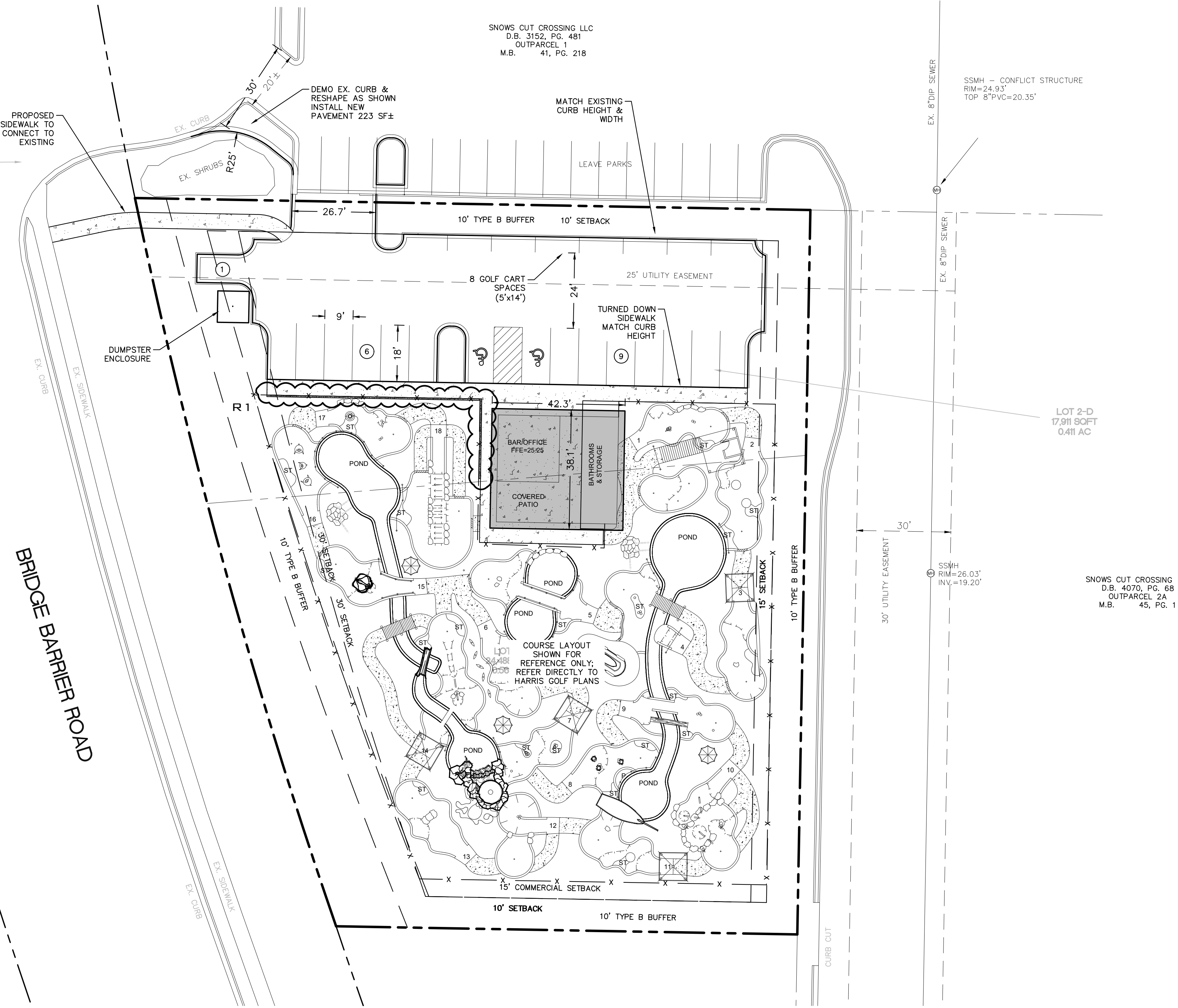
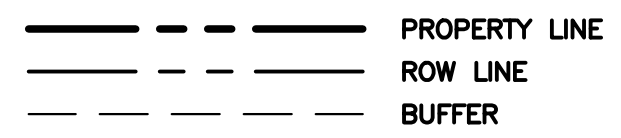
SHEET INDEX

C0:	SITE PLAN
C1:	EXISTING CONDITIONS
C2:	GRADING & UTILITY PLAN
C3:	SITE DETAILS
C4:	NOG01 DETAILS
C5:	UTILITY DETAILS

SITE DATA

PARCEL #:	R08800-005-016-000
SITE AREA:	42,401 SF / 0.97 AC
DISTURBED AREA:	42,913 SF / 0.99 AC
ZONING:	HB-HB (CAROLINA BEACH)
SETBACKS:	
FRONT:	30'
SIDE:	10'
REAR:	15' (ABUTTING COMMERCIAL)
MAX HEIGHT:	35'
MAX LOT COVERAGE:	60%
IMPERVIOUS AREA:	
BUILDING:	1,033 SF
PARKING:	8,267 SF
SIDEWALK:	1,228 SF
COURSE:	10,000 SF
FUTURE:	1,472 SF
TOTAL:	22,000 SF / 0.51
IMP%:	51.9%
PARKING:	
REQ:	0.5 SP / HOLE = 9 SP
PROV:	
MINI GOLF:	7 CAR + 2 GOLF CART
BAR:	9 CAR + 6 GOLF CART
TOTAL:	16 SPACES

LEGEND



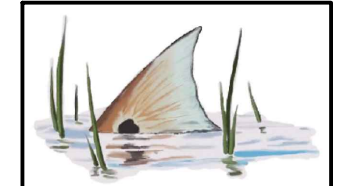
HEADWATERS ENGINEERING OF THE CAPE FEAR, PLLC

P-2714
 PO BOX 10058, SOUTHPORT, NC 28461
 (910)465-3304
 TSCHEETZ@HEADWATERSCAPEFEAR.COM

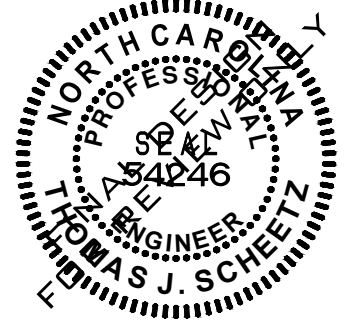
SITE PLAN SURFS UP MINI GOLF

CAROLINA BEACH, NC
 MIKE MATSINGER
 5302 NC HWY 55, STE 101, DURHAM, NC 27713
 919-616-4257 mikem@siggercrowds.com

REVISIONS	
	TJS
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#24-037
DATE: 03/12/25
DESIGN: TJS
DRAWN: TJS



SURF'S UP MINIATURE GOLF STRUCTURES

1360 BRIDGE BARRIER RD.
CAROLINA BEACH, NC 28428

CONSTRUCTION DOCUMENTS

09/26/2024

DESIGN TEAM

ARCHITECT

MARK LOUDERMILK ARCHITECTURE

STRUCTURAL ENGINEER

RPA ENGINEERING

PLUMBING, MECHANICAL, & ELECTRICAL ENGINEERS

CBHF ENGINEERING

DRAWING LIST

SHEET No.	SHEET TITLE
GENERAL	
G001	COVER SHEET
G101	BUILDING CODE SUMMARY
G102	LIFE SAFETY PLAN
G103	GENERAL NOTES
STRUCTURAL	
S101	FOUNDATION & FRAMING PLANS AND PLAN NOTES
S102	FOUNDATION & FRAMING PLANS AND PLAN NOTES
S201	FOUNDATION DETAILS AND SECTIONS
S301	FRAMING DETAILS & SECTIONS AND STRUCTURAL NOTES
ARCHITECTURAL	
A101A	FLOOR & FRAMING PLANS
A101B	LIFEGUARD STORAGE STRUCTURE
A101C	SINGLE GAZEBO
A102	CEILING PLAN
A103	ROOF PLAN
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR PERSPECTIVE
A302	WALL SECTION AND DETAILS
A303	WALL SECTION AND DETAILS
A304	WALL SECTION AND DETAILS
A401	ENLARGED PLANS AND SECTIONS
A402	INTERIOR ELEVATION
A601	DOOR AND FINISH SCHEDULE
PLUMBING	
P100	PLUMBING SCHEDULES, NOTES & DETAILS
P200	FLOOR PLAN PLUMBING
MECHANICAL	
M100	MECHANICAL SCHEDULES, NOTES & DETAILS
M200	FLOOR PLAN MECHANICAL
ELECTRICAL	
E100	ELECTRICAL SCHEDULES, NOTES AND DETAILS
E200	FLOOR PLAN ELECTRICAL
E201	STORAGE BUILDING & ELECTRICAL SCHEDULES
E300	SITE PLAN ELECTRIC



MARK LOUDERMILK ARCHITECTURE
201 N. FRONT ST. SUITE 1004
WILMINGTON, NORTH CAROLINA
910.769.3583
www.loudermilkarch.com



SURF'S UP
MINIATURE GOLF STRUCTURES
1360 BRIDGE BARRIER RD.
CAROLINA BEACH, NC 28428

Mark	Date	Description
PROJECT NO: 24074		
DATE: 09/26/2024		
SCALE:		
DRAWN BY: LU		
PROJ MGR: WB		

COVER SHEET

G001



MARK LOUDERMILK ARCHITECTURE 201 N. FRONT ST. SUITE 1004 WILMINGTON, NORTH CAROLINA 910.769.3583 www.loudermilkarch.com



BUILDING CODE SUMMARY

NAME OF PROJECT: SURF'S UP MINIATURE GOLF STRUCTURES

ADDRESS: 1360 BRIDGE BARRIER RD. CAROLINA BEACH, NC 28428

OWNER OR AUTHORIZED AGENT: L. Mark Loudermilk, AIA PHONE #: (910) 622-0765 E-Mail: mark@loudermilkarch.com

OWNED BY: City County State Private

CODE ENFORCEMENT JURISDICTION: City County State

CONTACT: L. Mark Loudermilk, AIA

Table with 5 columns: DESIGNER, FIRM, NAME, LICENSE #, TELEPHONE #, EMAIL ADDRESS. Lists design and engineering firms and individuals.

2018 NC BUILDING CODE: New Building Addition 1st Time Interior Completion

2018 NC EXISTING BUILDING CODE: N/A Chapter 14 Alteration Level I N/A Alteration Level II Repair Change of Use

CONSTRUCTED: CURRENT OCCUPANCY(S) (Ch. 3) RENOVATED: PROPOSED OCCUPANCY(S) (Ch. 3)

OCCUPANCY CATEGORY (Table 1604.5): CURRENT I/A I/B II-A II-B III-A III-B IV V-A V-B

BASIC BUILDING DATA: CONSTRUCTION TYPE: I-A I-B II-A II-B III-A III-B IV V-A V-B

GROSS BUILDING AREA TABLE: 1ST STORY GROSS AREA TOTALS

A-5 - ASSEMBLY = 7,202 SF A-2 - ASSEMBLY = 457 SF BUSINESS = 304 SF S-2 STORAGE = 135 SF

ALLOWABLE AREA: PRIMARY OCCUPANCY CLASSIFICATION(S): A5 ACCESSORY OCCUPANCY CLASSIFICATION(S): BUSINESS, A-2 ASSEMBLY, S-2 STORAGE

Table with 5 columns: STORY NO., DESCRIPTION AND USE, BLDG AREA PER STORY (ACTUAL), TABLE 506.2 AREA (UNSPRINKLERED, SPRINKLERED), AREA FOR FRONTAGE INCREASE, ALLOWABLE AREA PER STORY OR UNLIMITED

1. FRONTAGE AREA INCREASES FROM SECTION 506.2 ARE COMPUTED THUS: A. PERIMETER WHICH FRONTS A PUBLIC WAY OR OPEN SPACE HAVING 20 FT MINIMUM WIDTH (F)

Table with 4 columns: ALLOWABLE (TABLES 504.3 & 504.4), SHOWN ON PLANS, CODE REFERENCE

Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

FIRE PROTECTION REQUIREMENTS:

Table with 7 columns: BUILDING ELEMENT, FIRE SEPARATION DISTANCE (FEET), REQ'D, RATING PROVIDED* (W/ REDUCTION), DETAIL # AND SHEET #, DESIGN # FOR RATED ASSEMBLY, DESIGN # FOR RATED PENETRATION, DESIGN # FOR RATED JOINTS

PERCENTAGE OF WALL OPENING CALCULATIONS:

Table with 4 columns: FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES, DEGREE OF OPENINGS PROTECTION (TABLE 705.8), ALLOWABLE AREA (%), ACTUAL SHOWN ON PLANS (%)

LIFE SAFETY SYSTEM REQUIREMENTS:

EMERGENCY LIGHTING: NO YES EXIT SIGNS: NO YES FIRE ALARM: NO YES SMOKE DETECTION SYSTEMS: NO YES PARTIAL CARBON MONOXIDE DETECTION: NO YES

LIFE SAFETY PLAN REQUIREMENTS:

LIFE SAFETY PLAN SHEET # G102 FIRE AND/OR SMOKE RATED WALL LOCATIONS (Chapter 7) ASSUMED AND REAL PROPERTY LINE LOCATIONS (if not on the site plan)

ACCESSIBLE DWELLING UNITS (SECTION 1107) NOT APPLICABLE

Table with 7 columns: LOT OR PARKING AREA, TOTAL # OF PARKING SPACES (REQUIRED, PROVIDED), # OF ACCESSIBLE SPACES PROVIDED (REGULAR WITH 5' ACCESS AISLE, 132" ACCESS AISLE, 8' ACCESS AISLE), TOTAL # ACCESSIBLE PROVIDED

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

Table with 8 columns: USE, WATERCLOSETS (MALE, FEMALE, UNISEX), URINALS, LAVATORIES (MALE, FEMALE, UNISEX), SHOWERS / TUBS, DRINKING FOUNTAINS (REGULAR, ACCESSIBLE)

Special Approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)

ENERGY SUMMARY

ENERGY REQUIREMENTS: THE FOLLOWING DATA SHALL BE CONSIDERED MINIMUM AND ANY SPECIAL ATTRIBUTE REQUIRED TO MEET THE ENERGY CODE SHALL ALSO BE PROVIDED. EXISTING BUILDING ENVELOPE COMPLIES WITH CODE: YES (the remainder of this section is not applicable) NO

THERMAL ENVELOPE (Prescriptive method only) ROOF/CEILING ASSEMBLY (each assembly) DESCRIPTION OF ASSEMBLY, U-VALUE OF TOTAL ASSEMBLY, R-VALUE OF INSULATION

STRUCTURAL DESIGN (SEE STRUCTURAL ENGINEERING DRAWINGS)

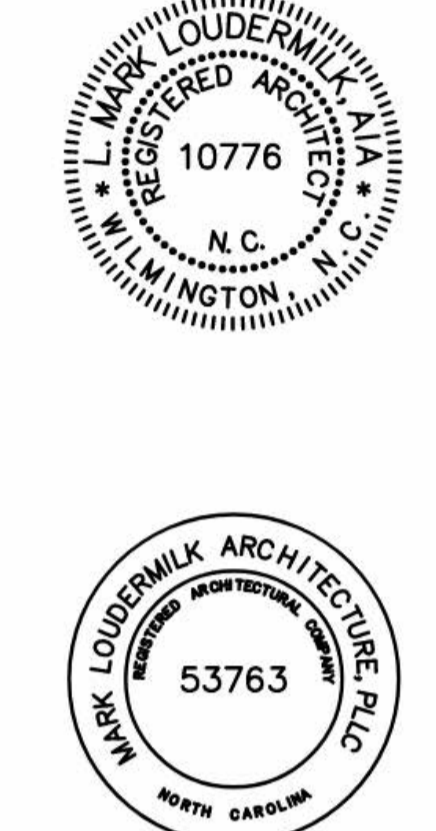
DESIGN LOADS: IMPORTANCE FACTORS: WIND (Iw), SNOW (Is), SEISMIC (Ie) LIVE LOADS: ROOF, MEZZANINE, FLOOR

MECHANICAL SUMMARY (SEE MECHANICAL ENGINEERING DRAWINGS)

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT THERMAL ZONE: WINTER DRY BULB, SUMMER DRY BULB, INTERIOR DESIGN CONDITIONS

ELECTRICAL SUMMARY (SEE ELECTRICAL ENGINEERING DRAWINGS)

ELECTRICAL SYSTEM AND EQUIPMENT METHOD OF COMPLIANCE: ENERGY CODE: PRESCRIPTIVE PERFORMANCE ASHRAE 90.1: PRESCRIPTIVE PERFORMANCE



SURF'S UP MINIATURE GOLF STRUCTURES 1360 BRIDGE BARRIER RD. CAROLINA BEACH, NC 28428

Table with 3 columns: Mark, Date, Description. PROJECT NO: 24074 DATE: 09/26/2024 SCALE: DRAWN BY: Author PROJ MGR: Checker

BUILDING CODE SUMMARY

G101



LIFE SAFETY PLAN LEGEND

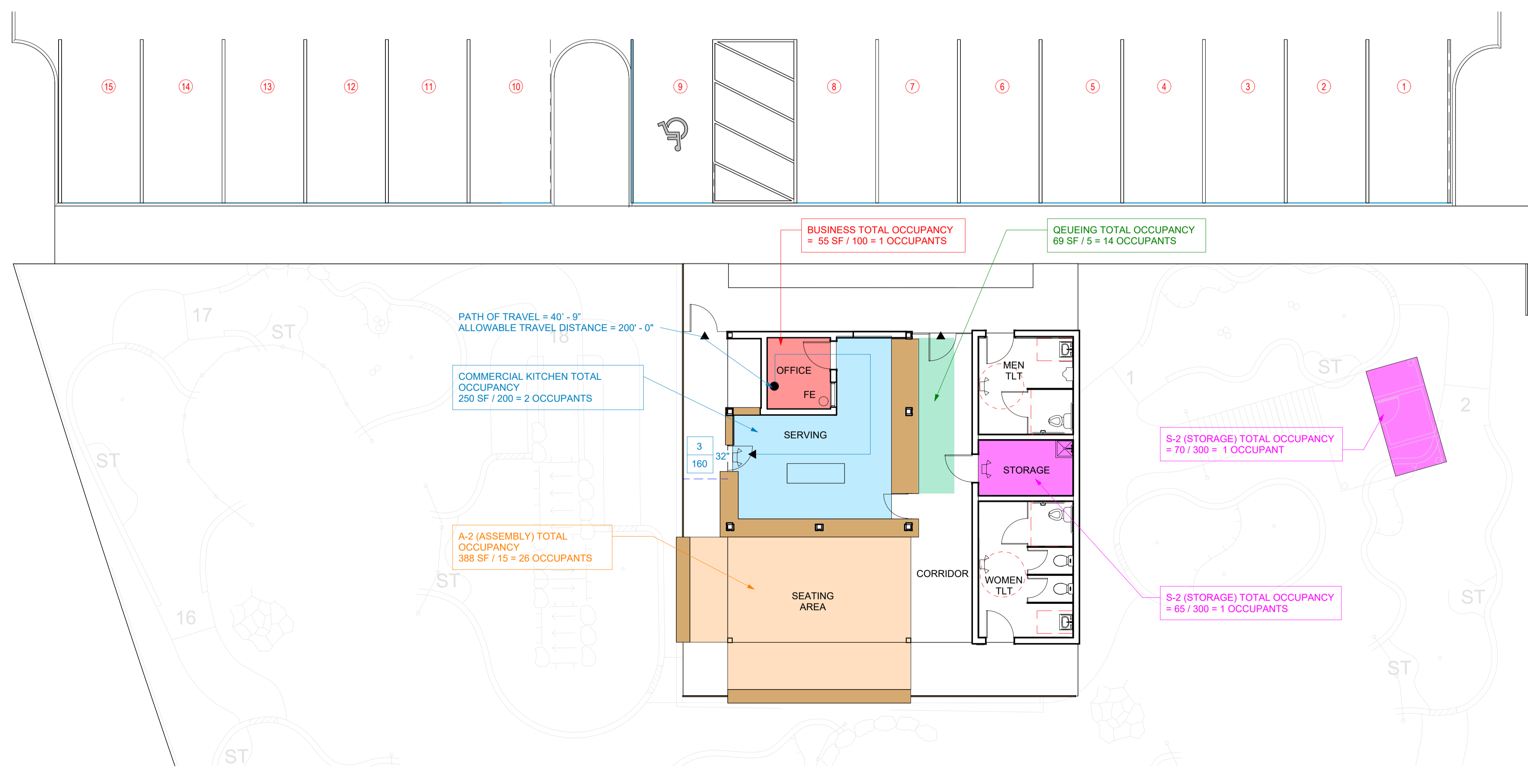
- PATH OF EXIT ACCESS TRAVEL
- COMMON PATH TRAVEL
- OCCUPANT LOAD
- DOOR OPENING WIDTH
- DOOR EGRESS CAPACITY
- EXIT
- ROOM NAME & NUMBER
- EXIT SIGN
- EXIT SIGN EMERGENCY LIGHTING WALL MOUNTED
- EMERGENCY LIGHTING
- SEMI-RECESSED FIRE EXTINGUISHER
- WALL MOUNTED FIRE EXTINGUISHER
- EMERGENCY STROBE LIGHTING

LIFE SAFETY PLAN NOTES

1. PROVIDE NEW FIRE EXTINGUISHERS IN CABINETS (CE) AS SHOWN ON FLOOR PLANS. PROVIDE NEW FIRE EXTINGUISHERS IN KITCHEN (TYPE K), MECHANICAL, ELECTRICAL (TYPE B-C), FIRE PUMP, AND ELEVATOR MACHINE ROOMS, AND AS INDICATED.
2. FIRE EXTINGUISHER SHALL BE MINIMUM 3A-40BC RATING. MARK ALL RATED WALLS AND PARTITIONS PER 2018 IBC 703.7 AND AS DETAILED.
- 3.



LIFE SAFETY PLAN - A5
1/16" = 1'-0" **2**



LIFE SAFETY PLAN **1**
1/8" = 1'-0"

	A-2 (ASSEMBLY)	A-2 (ASSEMBLY) TOTAL OCCUPANCY = 388 SF / 15 = 26 OCCUPANTS
	BUSINESS	BUSINESS TOTAL OCCUPANCY = 54 SF / 100 = 1 OCCUPANTS
	COMMERCIAL KITCHEN	KITCHEN TOTAL OCCUPANCY = 250 SF / 200 = 2 OCCUPANTS
	QUEUEING	QUEUEING TOTAL OCCUPANCY = 69 SF / 5 = 14 OCCUPANTS
	S-2 STORAGE	S-2 (STORAGE) TOTAL OCCUPANCY = 135 / 300 = 2 OCCUPANTS
	A5 (AMUSEMENT PARK STRUCTURES)	A5 (AMUSEMENT PARK STRUCTURES) TOTAL OCCUPANCY = 7202 SF / 50 = 144 OCCUPANTS
		TOTAL OCCUPANCY = 189 OCCUPANTS

SURF'S UP
MINIATURE GOLF STRUCTURES
1360 BRIDGE BARRIER RD.
CAROLINA BEACH, NC 28428

Mark	Date	Description

PROJECT NO: 24074
DATE: 09/26/2024
SCALE: As indicated
DRAWN BY: OU
PROJ MGR: WB

LIFE SAFETY PLAN

G102

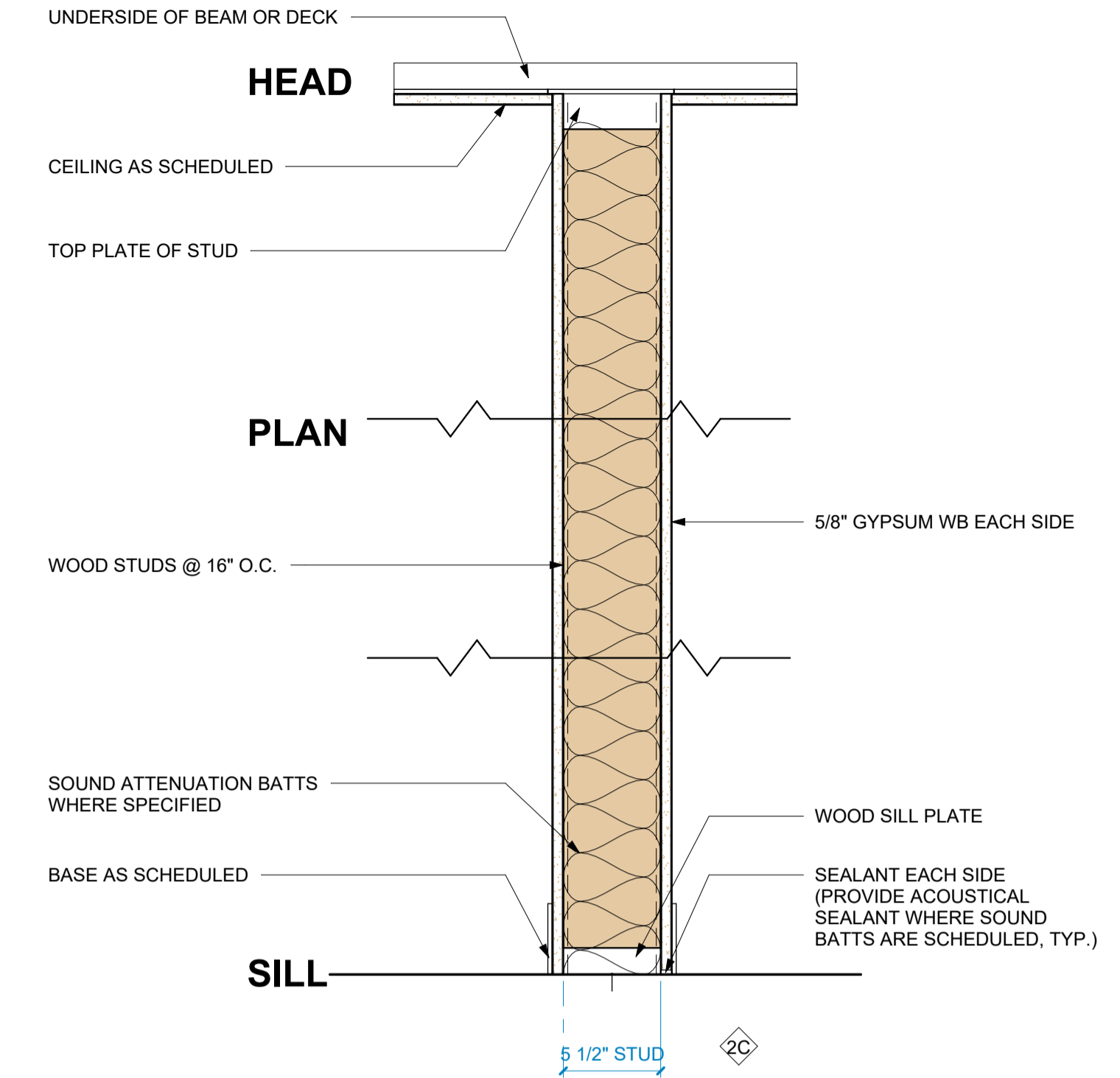


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GENERAL PROJECT NOTES

- CODES:** ALL WORK ON THIS PROJECT SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES, ORDINANCES, REGULATIONS, STANDARDS, AND ANY ADDITIONAL REQUIREMENT STATED IN ANY LAW, ORDINANCE, OR REGULATION PERTAINING TO CONSTRUCTION WITHIN THE LIMITS OF THE AUTHORITY HAVING JURISDICTION OVER THE PROPOSED WORK (INCLUDING BUT NOT LIMITED TO: FIRE, ACCESSIBILITY, ZONING, WATER, WASTEWATER, ENVIRONMENTAL, STRUCTURAL, ARCHITECTURAL, HEALTH, FIRE PROTECTION, PLUMBING, MECHANICAL, ELECTRICAL, AND ENERGY CONSERVATION), CONFORMITY TO ALL CODES APPLICABLE TO THIS PROJECT SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- CONTRACT:** GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION (STANDARD AIA DOCUMENT A201, 2007 EDITION) APPLIES TO ALL WORK UNDER THIS CONSTRUCTION CONTRACT.
- EGRESS:** ALL MEANS OF EGRESS SHALL BE CONTROLLED BY THE AUTHORITY HAVING JURISDICTION, INCLUDING EXITS, EXIT ACCESS, EXIT DISCHARGE, OTHER EGRESS PATHS, OCCUPANTS LOADS, SPRINKLER PROTECTION, ETC.
- ACCESSIBILITY:** ALL BUILDING COMPONENTS, FIXTURES, ACCESSORIES, ETC. SHALL BE INSTALLED WITH MANEUVERING AND OPERATING CLEARANCES, MOUNTING HEIGHTS, ETC. IN ACCORDANCE WITH AMERICANS WITH DISABILITIES ACT STANDARDS, ICC/ANSI A117.1, AND STATE ACCESSIBILITY CODE.
- SCHEDULING:** THE CONTRACTOR SHALL REVIEW AND COORDINATE THE SCHEDULING OF ALL CONSTRUCTION WITH THE BUILDING OWNER, SUBMIT DETAILED CONSTRUCTION SCHEDULE PRIOR TO DOING WORK INCLUDING PHASED CONSTRUCTION AND AFTER-HOURS WORK.
- FIELD VERIFICATION:** THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND PROPOSED BUILDING DIMENSIONS PRIOR TO CONSTRUCTION, ANY VARIATIONS, DISCREPANCIES, OR FIELD ALTERATIONS TO THESE DESIGN DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO CONSTRUCTION. IF THE CONTRACTOR COMMENCES CONSTRUCTION WITHOUT NOTIFYING ARCHITECT OF VARIATIONS, DISCREPANCIES, OR FIELD ALTERATIONS, THAT SHALL CONSTITUTE WAIVER TO ANY CLAIM BY CONTRACTOR FOR ADDITIONAL EXPENSES NECESSARY TO PERFORM WORK ASSOCIATED WITH THOSE CONDITIONS.
- SUBMITTALS:** THE CONTRACTOR SHALL SUBMIT ALL NECESSARY BUILDING COMPONENTS, SYSTEMS, EQUIPMENT, MATERIALS, FINISHES, ETC. FOR REVIEW BY ARCHITECT/OWNER PRIOR TO PROCUREMENT, FABRICATION, AND/OR INSTALLATION.
- INSTALLATION:** PROPER ASSEMBLY, INSTALLATION, AND OPERATION OF ALL MATERIALS, COMPONENTS, SYSTEMS, AND FINISHES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS AND ALL APPLICABLE CODES.
- INCIDENTAL WORK:** ANY ITEMS NOT SPECIFICALLY SHOWN ON THE DRAWINGS, BUT WHICH ARE REASONABLY INCIDENTAL TO AND NECESSARY FOR THE SATISFACTORY COMPLETION OF THE PROJECT IN ACCORDANCE WITH APPLICABLE CODES, ORDINANCES, REGULATIONS, AND STANDARDS, ARE INCLUDED WITHIN THE INTENT OF THESE DESIGN DRAWINGS.
- OWNER-PROVIDED WORK:** LOCATION OF ALL OWNER-PROVIDED FIXTURES, EQUIPMENT, ETC. SHALL BE COORDINATED TO ENSURE PROPER ALIGNMENT FOR INSTALLATION AND OPERATION, BLOCKING, ETC.
- SAFETY:** COMPONENTS FOR CONSTRUCTION SAFETY ARE NOT INDICATED IN THESE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL RULES AND OTHER REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA), AND APPLICABLE STATE AND LOCAL SAFETY REQUIREMENTS DURING ALL CONSTRUCTION ACTIVITIES.
- PUBLIC:** THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS TO PROTECT BUILDING OCCUPANTS AND MATERIALS THROUGHOUT ALL PHASES OF CONSTRUCTION. NOISE, SECURITY AND DUST BARRIERS BETWEEN CONSTRUCTION AREA AND AREAS WHICH ARE PUBLIC OR OTHERWISE OCCUPIED SHALL BE MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS TO CONFORM TO LOCAL BUILDING CODE REQUIREMENTS.
- INSPECTIONS:** THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING ALL ON-SITE INSPECTIONS REQUIRED PRIOR TO OCCUPANCY APPROVAL.
- DIMENSIONS:** UNLESS OTHERWISE INDICATED: WALLS ARE TO FACE OF STUD FRAMING AND TO FACE OF MASONRY; WINDOWS AND DOORS ARE TO CENTERLINE OF OPENING IN STUD FRAMING AND TO FACE OF MASONRY OPENING IN MASONRY; PLUMBING FIXTURES ARE TO CENTERLINE OF FIXTURE.
- BLOCKING:** PROVIDE CONCEALED WOOD BLOCKING (FIRE RETARDANT WHERE REQUIRED BY CODE) INSIDE PARTITIONS FOR SECURING WALL-HUNG CABINETS PROVIDED BY FURNITURE VENDOR, SHELVEING, TRIM, MILLWORK AND OTHER ELEMENTS ATTACHED TO PARTITIONS AS REQUIRED TO ENSURE FLUSH, STRAIGHT, WELL-SECURED CONDITIONS. PROVIDE CORROSION RESISTANT FASTENERS FOR FIRE-RETARDANT TREATED WOOD.
- WALLS:** CHASE WALLS SHALL MATCH ADJACENT CONSTRUCTION; TYPICAL, UNLESS OTHERWISE NOTED. NEW GYPSUM BOARD CONSTRUCTION MEETING EXISTING CONSTRUCTION IN SAME PLANE SHALL BE FLUSH WITH NO VISIBLE JOINT. PROVIDE WATER RESISTANT GYPSUM BOARD OR APPROVED EQUAL AT ALL NEW PLUMBING WALLS. IN LIEU OF GYPSUM WALL BOARD, PROVIDE CEMENT BOARD AT ALL STUD WALLS SLATED TO RECEIVE A TILE FINISH. PROVIDE GYPSUM BOARD ASSEMBLIES IN ACCORDANCE WITH ASTM C840, LEVEL 4 FINISH, UNLESS OTHERWISE NOTED.
- METAL PROTECTION AT TREATED WOOD:** METAL CONNECTORS THAT COME IN CONTACT WITH TREATED LUMBER SHALL BE STAINLESS STEEL OR "ZMAX" CORROSION RESISTANT MATERIALS TO HELP PROTECT AGAINST ACCELERATED CORROSION. CONTRACTOR SHALL COORDINATE COMPATIBILITY OF ALL METALS USED WITH TREATMENT PRODUCT(S) MANUFACTURER(S)'S WRITTEN RECOMMENDATIONS.
- HURRICANE TIES:** THE CONTRACTOR SHALL PROVIDE HURRICANE TIES AND CONSTRUCTION CONNECTORS PER CODE AND AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- WINDOWS AND DOORS:** WINDOWS AND DOORS ARE INDICATED USING NOMINAL DIMENSIONS. MATERIALS AND INSTALLATION SHALL COMPLY WITH DESIGN PRESSURE (DP) RATINGS, WATER INFILTRATION RATING, IMPACT/SAFETY GLAZING, WIND REQUIREMENTS, EGRESS HARDWARE, U-FACTOR /R-VALUE, ETC. ALL EXTERIOR UNITS SHALL HAVE CORROSION-RESISTANT HARDWARE.
 - WHERE DOORS IN STUD PARTITIONS ARE NOT SPECIFICALLY LOCATED ON THE PLANS WITH DIMENSION STRINGS, PROVIDE A HINGE SIDE JAMB DIMENSION OF 6". WHERE DOORS APPEAR TO BE CENTERED WITHIN PARTITIONS, LOCATE THE DOOR IN THE CENTER OF THE PARTITION.
- LIFE SAFETY COMPONENTS:** FINAL LOCATION OF FIRE EXTINGUISHERS, EMERGENCY LIGHTING, AND EXIT SIGNS TO BE AS DIRECTED BY LOCAL FIRE MARSHAL AND ARE SUBJECT TO FINAL ON-SITE INSPECTION AND EVALUATION. THE CONTRACTOR SHALL MAKE REVISIONS AND/OR ADDITIONS IN ACCORDANCE WITH FIRE MARSHAL'S INSPECTION.
- FIRE RATING:** THE CONTRACTOR SHALL MAINTAIN THE RATING OF ALL REQUIRED RATED WALLS AT ALL INTERSECTIONS, CONNECTIONS, AND PENETRATIONS FIRE RATED PARTITIONS INDICATED ON THE FLOOR PLANS ARE COMPONENTS OF CONTINUOUS RATED ASSEMBLIES CONSISTING OF BUT NOT LIMITED TO, WALLS, FLOOR, DOORS, INTERIOR BORROWED LIGHTS, MECHANICAL PENETRATIONS AND CEILINGS. REFER TO PLANS AND SPECIFICATIONS FOR METHODS OR ACHIEVING THE NECESSARY RATINGS. WHERE THE SPECIFIC METHOD OF ACHIEVING THE RATING IS NOT INDICATED, OBTAIN CLARIFICATION FROM ARCHITECT PRIOR TO CONSTRUCTION. FIRE-RATED PARTITIONS SHALL BE IDENTIFIED AS SUCH IN LARGE RED STENCIL ABOVE FINISHED CEILING.
- FIRE PROTECTION, PLUMBING, MECHANICAL, ELECTRICAL WORK:** ALL FIRE PROTECTION, PLUMBING, MECHANICAL, AND ELECTRICAL WORK SHALL BE PERFORMED BY QUALIFIED, LICENSED (SUB)CONTRACTORS, AND BE IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, STANDARDS, ETC. ALL COMPONENTS SHALL BE INSTALLED ABOVE THE FLOOD ELEVATION AS REQUIRED BY FEMA, LOCAL A.H.J., AND ALL APPLICABLE CODES.
- PIPE INSULATION:** THE CONTRACTOR SHALL INSULATE AND PROTECT PIPES AS REQUIRED BY CODE, AND AS REQUIRED TO PROTECT PIPING EXPOSED TO EXTERIOR CONDITIONS.
- CIVIL:** CONTRACTOR SHALL COORDINATE SITE GRADING TO COMPLY WITH CODES AND ORDINANCES, AND TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING. ALL SITE ELEMENTS (PLANT WORK, LANDSCAPING, CONCRETE STAIRS, ETC.) ARE SHOWN FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR DESIGN AND CONSTRUCTION METHODS.
- KEYING:** THE CONTRACTOR SHALL COORDINATE ALL KEYING REQUIREMENTS, INCLUDING MASTER AND SUB-MASTER SETS, WITH THE OWNER.
- FINISHES:** TRANSITIONS OF FLOOR MATERIALS TO BE LOCATED AT CENTERLINE OF DOORS IN CLOSED POSITION; TYPICAL, UNLESS OTHERWISE NOTED. PAINT BACK SIDES OF REMOVABLE ACCESS PANELS AND HINGED COVERS TO MATCH EXPOSED SURFACE. CAULK ALL JOINT OR CRACKS WHICH OCCUR WHERE DISSIMILAR MATERIALS INTERSECT PERPENDICULAR TO EACH OTHER AND THE INTERSECTION IS EXPOSED TO VIEW UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
- CLEANING:** ALL FINISHES (CARPET, VCT, CEILINGS, ETC.) SHALL BE CLEANED UTILIZING EFFECTIVE CLEANING METHODS WHICH WILL PRODUCE THE MOST DESIRABLE RESULTS POSSIBLE.
- ACCESSORIES:** GO TO INSTALL WALL-MOUNTED ACCESSORIES AFTER FINAL COAT OF PAINT HAS BEEN APPLIED. COORDINATE FINAL LOCATIONS OF ACCESSORIES WITH OWNER. GO TO FURNISH AND INSTALL NEW ROOM SIGNAGE THROUGHOUT, IF NEEDED.



WALL TYPES - WOOD

WALL TYPE GENERAL NOTES

- SEE CODE SHEETS, G100- AND G500-SERIES, FOR REQUIRED FIRE RATINGS OF ALL WALL ASSEMBLIES. MULTIPLE LAYERS OF GWB MAY BE REQUIRED AT RATED PARTITIONS. COORDINATE WITH UI DESIGN(S).
- PROVIDE SOUND-ATTENUATING FIRE BATT INSULATION IN RATED STUD-FRAMED PARTITIONS AND FIBERGLASS SOUND BATT INSULATION IN NON-RATED STUD PARTITIONS.
- PROVIDE MOLD AND MOISTURE RESISTANT GWB AT ALL STUD-FRAMED PARTITIONS IN WET LOCATIONS, INCLUDING TOILET ROOMS, AND AT SINKS AND LAVATORIES. EXTEND TO END OF CASEWORK RUN, INCLUDING SIDEWALLS WHERE ADJACENT TO SINKS.
- BRACE NON-STRUCTURAL METAL STUD PARTITIONS WHERE NOT ATTACHED TO STRUCTURE ABOVE OR WHERE HEIGHT OF STRUCTURE EXCEEDS MANUFACTURER'S LIMITING HEIGHT FOR 5PSF @ 16" O.C. OR PROVIDE COLD-FORM FRAMING. SEE SPECIFICATIONS AND STRUCTURAL DRAWINGS.
- SEE STRUCTURAL FOR BRACING OF PART-HEIGHT MASONRY PARTITIONS, INCLUDING MASONRY PARTITIONS WITH METAL STUD PARTITIONS CONTINUING ABOVE.
- SEE STRUCTURAL AND SPECIFICATIONS FOR MASONRY TIES IN MULTIPLE-WYTHE MASONRY WALLS AND PARTITIONS. CORRUGATED AND MESH TIES ARE NOT ACCEPTABLE.
- PROVIDE BULLNOSE MASONRY UNITS AT OUTSIDE CORNERS AND PER SPECIFICATIONS.
- PROVIDE SPECIAL-SHAPED MASONRY UNITS PER DETAILS AND SPECIFICATIONS.
- FILL ALL CORES IN MASONRY UNITS AT THE FOLLOWING LOCATIONS: MECHANICAL ROOMS / MEZZANINES / PENTHOUSES / EQUIPMENT PLATFORMS, ELEVATOR MACHINE ROOMS, AND AS INDICATED. SEE SPECIFICATIONS.
- PROVIDE ACOUSTICAL SEALANT AT PARTITIONS IN THE FOLLOWING LOCATIONS: MECHANICAL ROOMS / MEZZANINES / PENTHOUSES / EQUIPMENT PLATFORMS, AND ELEVATOR MACHINE ROOM. SEE SPECIFICATIONS.
- PROVIDE CONTROL JOINTS IN MASONRY WALLS AS INDICATED ON PLANS, ELEVATIONS, DETAILS, AND AS SPECIFIED. WHERE JOINTS ARE NOT SHOWN, PROVIDE ACCORDING TO B.I.A AND N.C.M.A. TEK NOTES. SUBMIT SHOP DRAWING FOR ARCHITECT'S APPROVAL.

WALL TYPE GENERAL NOTES

SYMBOLS OF MATERIALS

	BATT INSULATION		PARTICLE BOARD
	BRICK		RIGID INSULATION
	CAST STONE		STEEL-LARGE SCALE
	CONCRETE		WOOD-FINISH
	CONCRETE MASONRY UNITS		WOOD BLOCKING
	EARTH		

DRAWING KEYS

	SECTION		ELEVATION
	DETAILS IN PLAN, SECTION		NEW WALL
	WALL TYPE		EXISTING WALL TO REMAIN
	WINDOW TAG		EXISTING WALL TO BE REMOVED
	DOOR TAG		STRUCTURAL GRID LINES
			CONSTRUCTION KEYNOTE

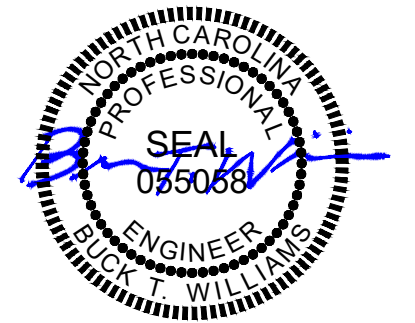
SURF'S UP
MINIATURE GOLF STRUCTURES
1360 BRIDGE BARRIER RD.
CAROLINA BEACH, NC 28428

Mark	Date	Description

PROJECT NO: 24074
DATE: 09/26/2024
SCALE: As indicated
DRAWN BY: OU
PROJ MGR: WB

GENERAL NOTES

G103



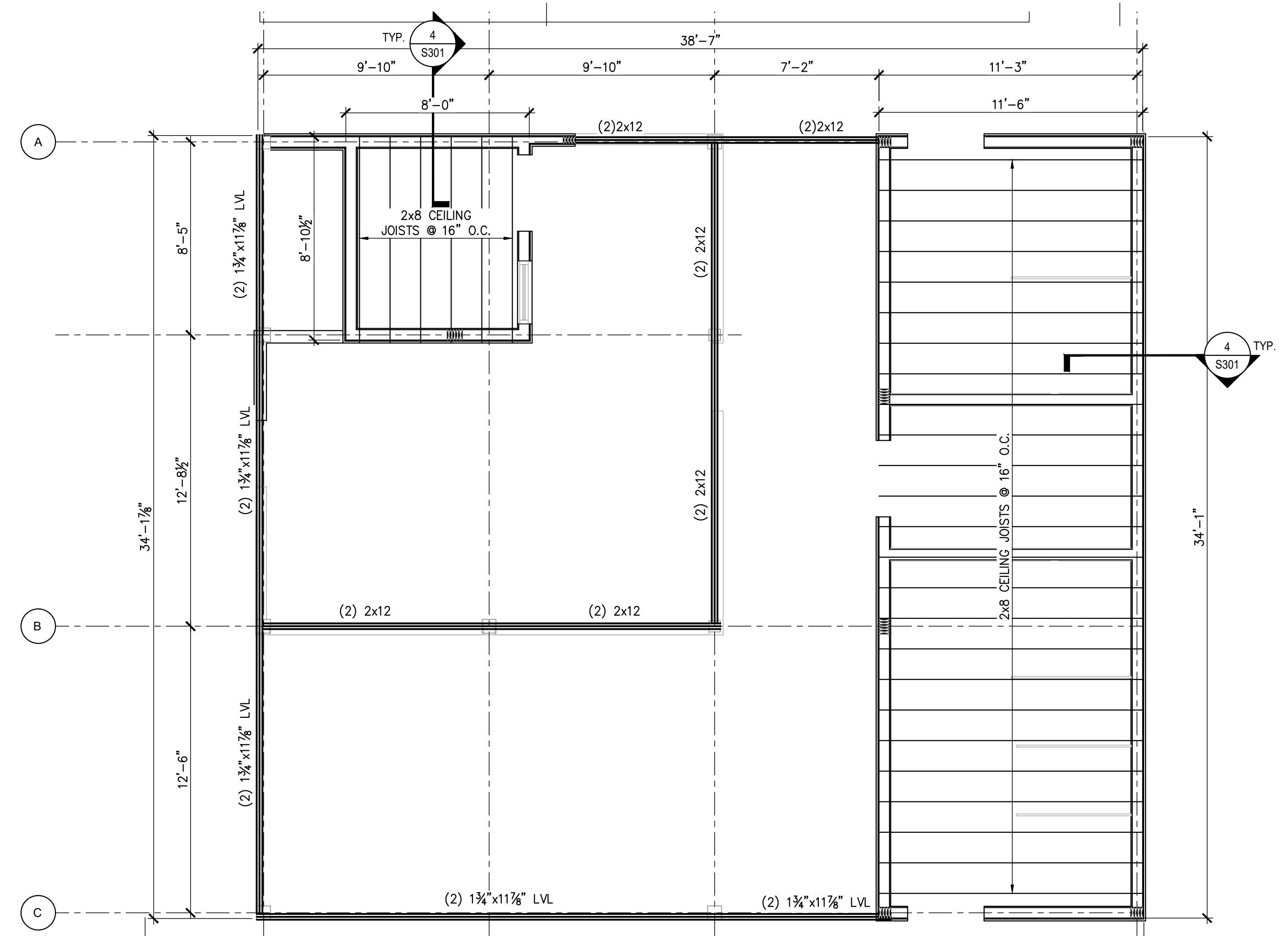
SURF'S UP MINIATURE GOLF STRUCTURES
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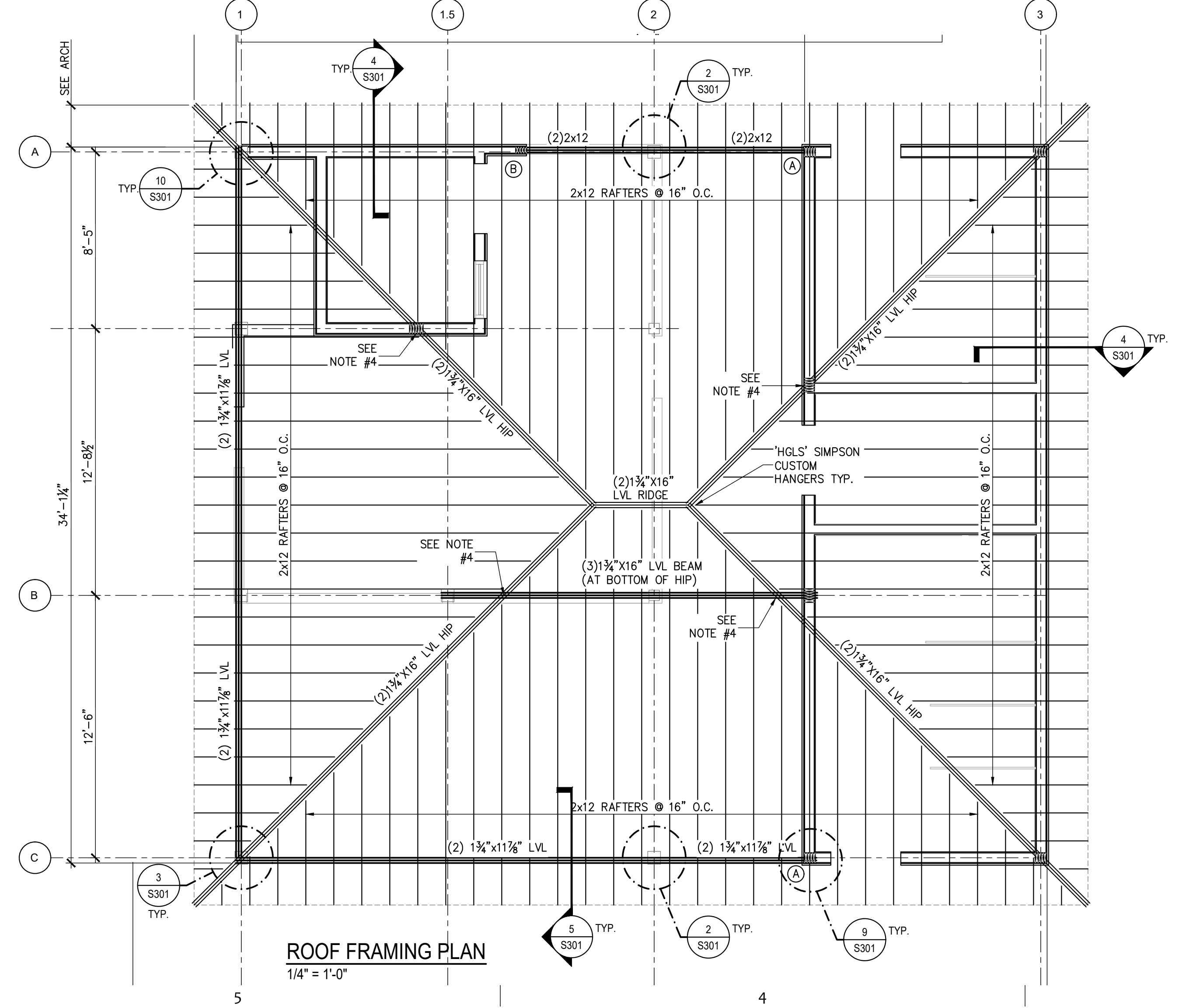
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		PROJECT NO: 24074
		DATE: 10/15/2024
		SCALE: AS NOTED
		DRAWN BY: RPA / GBP
		CHK'D BY: RPA / BTW

FOUNDATION & FRAMING PLANS AND PLAN NOTES

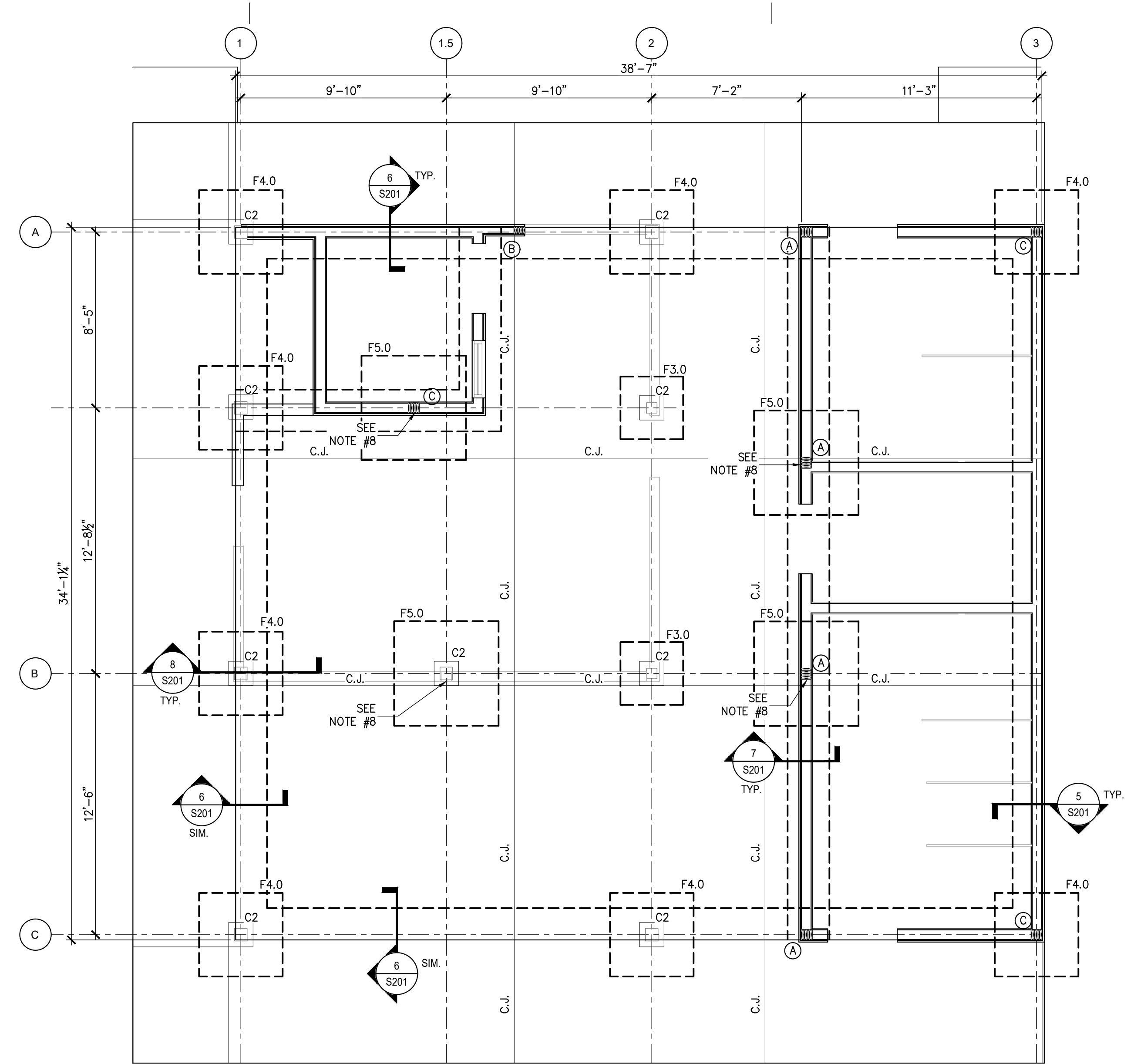
S101



CEILING FRAMING PLAN
1/4" = 1'-0"



ROOF FRAMING PLAN
1/4" = 1'-0"



FOUNDATION PLAN
1/4" = 1'-0"

- FOUNDATION PLAN NOTES:**
- SEE SHEET S301 FOR DESIGN CRITERIA, GENERAL STRUCTURAL NOTES & SCHEDULES.
 - TOP OF SLAB REFERENCE ELEVATION = 0'-0" UNLESS NOTED OTHERWISE. SEE ARCHITECTURAL AND CIVIL DRAWINGS FOR ACTUAL SITE ELEVATIONS.
 - CONCRETE FLOOR SLAB IS 4" THICK WITH 6 x 6 - W 2.1 x W 2.1 WELDED WIRE FABRIC. PROVIDE 10 MIL VAPOR BARRIER AND 4" COMPACTED GRANULAR BASE UNDER SLAB. SEE 1/S102
 - SEE 4/S102 FOR SLAB CORNER REINFORCEMENT DETAIL. SEE ARCHITECTURAL AND MECHANICAL DRAWINGS FOR MASONRY OPENINGS NOT SHOWN.
 - VERIFY ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
 - SEE ARCH DWGS FOR ADDITIONAL DIMENSIONS, WALL OPENINGS, AND SIDEWALKS/OUTSIDE CURBS.
 - PROVIDE 'HDU4-SDS2.5' SIMPSON HOLDOWN EA. SIDE OF STUD PACK. INSTALL PER MRF'S SPEC.

FOUNDATION PLAN LEGEND

F4.0	DENOTES COLUMN CONCRETE SPREAD FOOTING WITH FOOTING MARK - SEE FOOTING SCHEDULE ON S101 FOR SIZE AND REINFORCING
C1	DENOTES STEEL WOOD COLUMN MARK. SEE COLUMN SCHEDULE ON S101 FOR COLUMN SIZE & SEE DETAIL 8/S201 FOR ADDITIONAL INFORMATION
C.J.	DENOTES SLAB ON GRADE CONSTRUCTION OR SAWCUT CONTROL JOINT - SEE DETAILS 3/S102 AND 2/S102 FOR ADDITIONAL INFORMATION
U.O.N.	DENOTES 'UNLESS OTHERWISE NOTED'

FOOTING SCHEDULE

MARK	FTG. SIZE	REINFORCEMENT	REMARKS
F3.0	3'-0" x 3'-0" x 1'-0"	(4) #5 EA. WAY, TOP & BOT.	-
F4.0	4'-0" x 4'-0" x 1'-0"	(5) #5 EA. WAY, TOP & BOT.	-

COLUMN SCHEDULE

MARK	COL. SIZE	COLUMN BASE	THRU BOLT DIA.	REMARKS
C1	6x6 P.T. WOOD	'CB66'	(2) 3/8"	SIMPSON OR EQUAL
C2	8x8 P.T. WOOD	'CB88'	(2) 3/4"	SIMPSON OR EQUAL

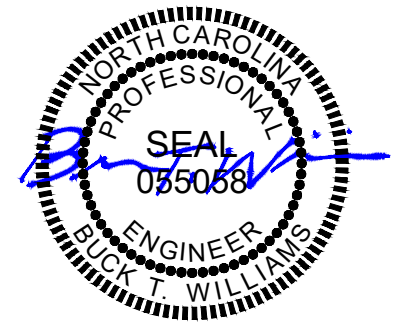
NOTE: INSTALL COLUMN BASE PER MRF'S SPECIFICATIONS. U.N.O.

- CEILING/ROOF FRAMING PLAN NOTES:**
- SEE SHEET S301 FOR DESIGN CRITERIA, GENERAL STRUCTURAL NOTES & SCHEDULES.
 - COORDINATE ROOF OPENINGS WITH MECHANICAL AND PLUMBING DRAWINGS.
 - TOP OF BEAM ELEVATIONS ARE REFERENCED FROM FINISHED FLOOR REFERENCE ELEVATION 0'-0". SEE ARCHITECTURAL & CIVIL DRAWINGS FOR ACTUAL FINISHED FLOOR ELEVATION.
 - CONNECT BEAM ABOVE TO BOTH SIDES OF COLUMN OR SUPPORT BEAM BELOW WITH (2) 'HDU4-SDS2.5'. (2) TOTAL PER CONNECTION, CONNECT WITH 3/8" Ø THREADED ROD.

CEILING/ROOF FRAMING PLAN LEGEND

(A)	DENOTES (4) 2x6 STUD PACK
(B)	DENOTES (4) 2x4 STUD PACK
(C)	DENOTES (5) 2x6 STUD PACK
KB	DENOTES KNEE BRACING SEE DETAIL 8/S301
U.N.O.	DENOTES 'UNLESS NOTED OTHERWISE'

RPA ENGINEERING, P.A.
Structural Engineering Solutions
Engineering License Certificate No. C-2734
1 Commerce Square, Suite 202, Washington, NC 27889
Phone: 252-321-6027, Fax: 252-355-2179
RPA Project No.: 2024197



SURF'S UP MINIATURE GOLF STRUCTURES
1360 BRIDGE BARRIER ROAD
CAROLINA BEACH, NC 28428

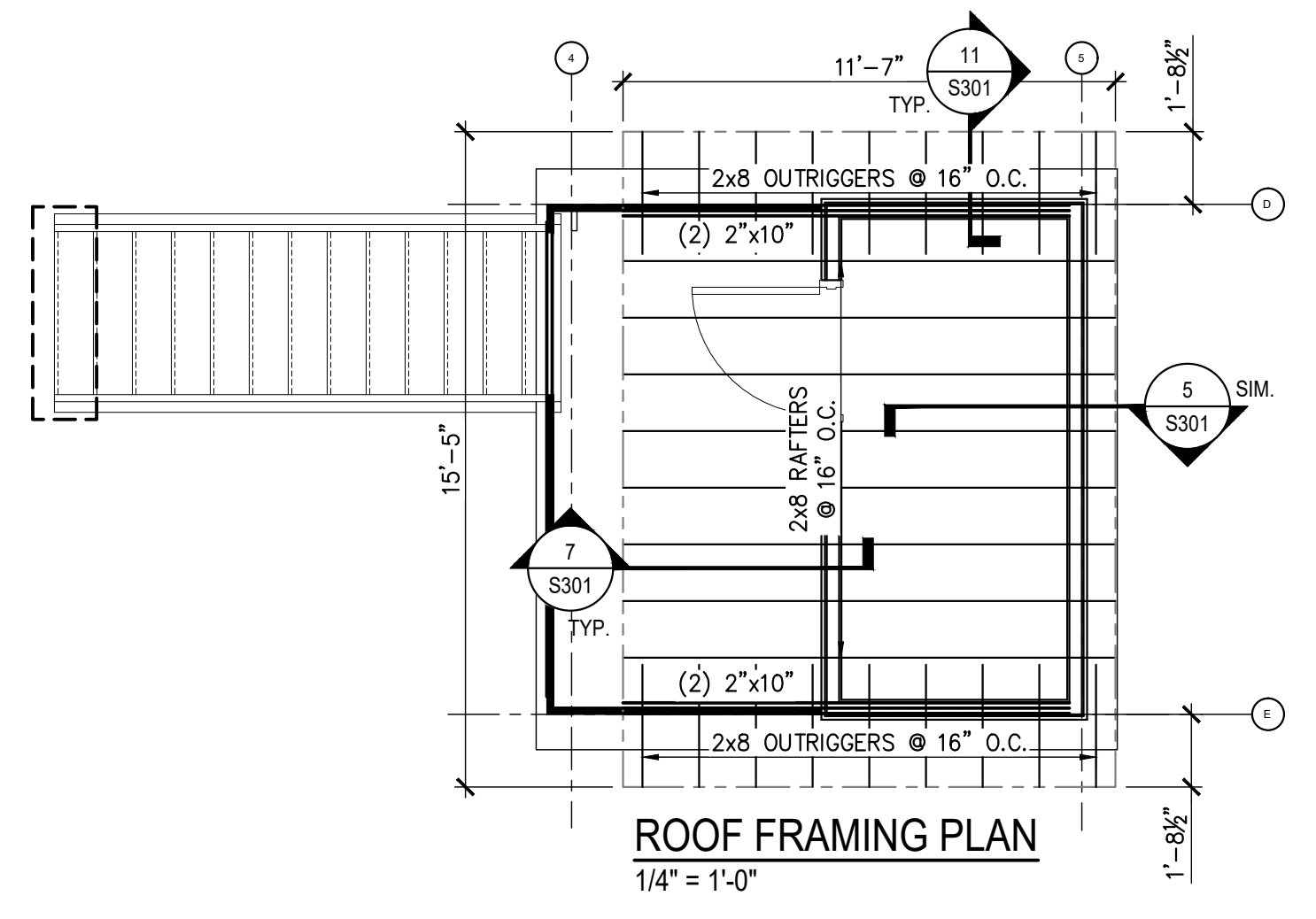
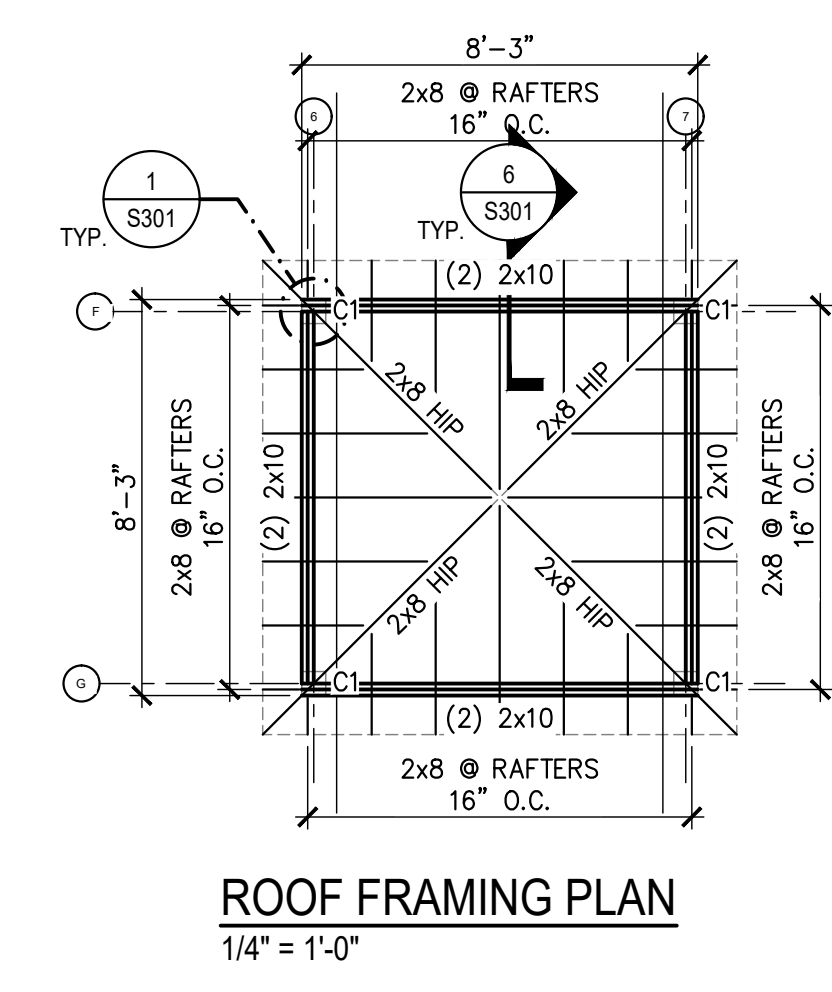
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MARK	DATE	DESCRIPTION
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PROJECT NO:	24074	
DATE:	10/15/2024	
SCALE:	AS NOTED	
DRAWN BY:	RPA / GBP	
CHK'D BY:	RPA / BTW	

FOUNDATION & FRAMING PLANS AND PLAN NOTES

S102

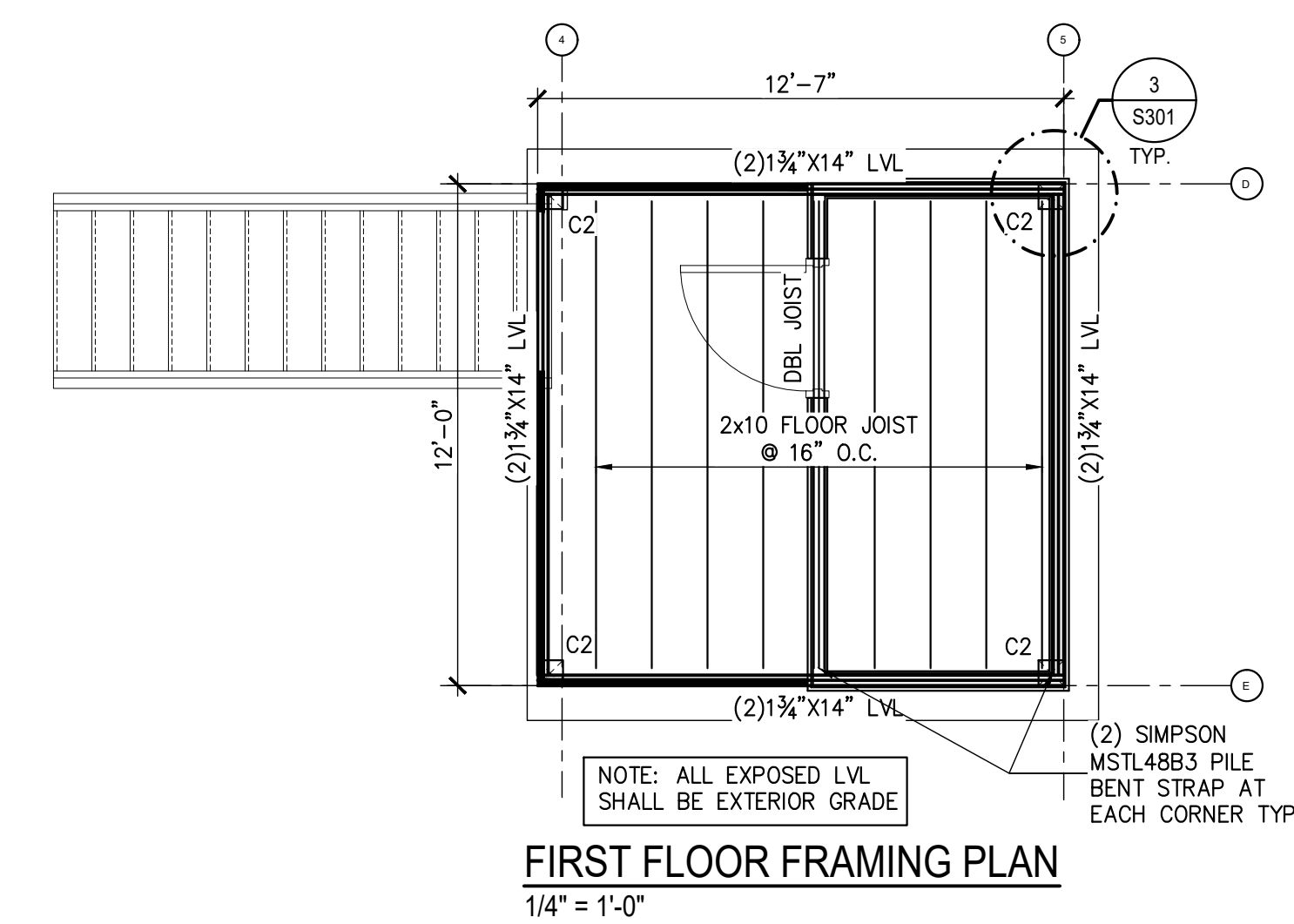
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Engineering License Certificate No. C-2734
1 Commerce Square, Suite 202, Washington, NC 27889
Phone: 252-321-6027 Fax: 252-355-2179
RPA Project No.: 2024197



- ROOF FRAMING PLAN NOTES:**
- SEE SHEET S301 FOR DESIGN CRITERIA, GENERAL STRUCTURAL NOTES AND SCHEDULES.
 - COORDINATE ROOF OPENINGS WITH MECHANICAL AND PLUMBING DRAWINGS.
 - TOP OF BEAM ELEVATIONS ARE REFERENCED FROM FINISHED FLOOR REFERENCE ELEVATION 0'-0". SEE ARCHITECTURAL & CIVIL DRAWINGS FOR ACTUAL FINISHED FLOOR ELEVATION.

ROOF FRAMING PLAN LEGEND

U.N.O.	DENOTES "UNLESS NOTED OTHERWISE"
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- FOUNDATION PLAN NOTES:**
- SEE SHEET S301 FOR DESIGN CRITERIA, GENERAL STRUCTURAL NOTES & SCHEDULES.
 - TOP OF SLAB REFERENCE ELEVATION = 0'-0" UNLESS NOTED OTHERWISE. SEE ARCHITECTURAL AND CIVIL DRAWINGS FOR ACTUAL SITE ELEVATIONS.
 - CONCRETE FLOOR SLAB IS 4" THICK WITH 6 x 6 - W 2.1 x W 2.1 WELDED WIRE FABRIC. PROVIDE 10 MIL VAPOR BARRIER AND 4" COMPACTED GRANULAR BASE UNDER SLAB. SEE 1/S201
 - SEE 4/S201 FOR SLAB CORNER REINFORCEMENT DETAIL.
 - SEE ARCHITECTURAL AND MECHANICAL DRAWINGS FOR MASONRY OPENINGS NOT SHOWN.
 - VERIFY ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
 - SEE ARCH DWGS FOR ADDITIONAL DIMENSIONS, WALL OPENINGS, AND SIDEWALKS/OUTSIDE CURBS.

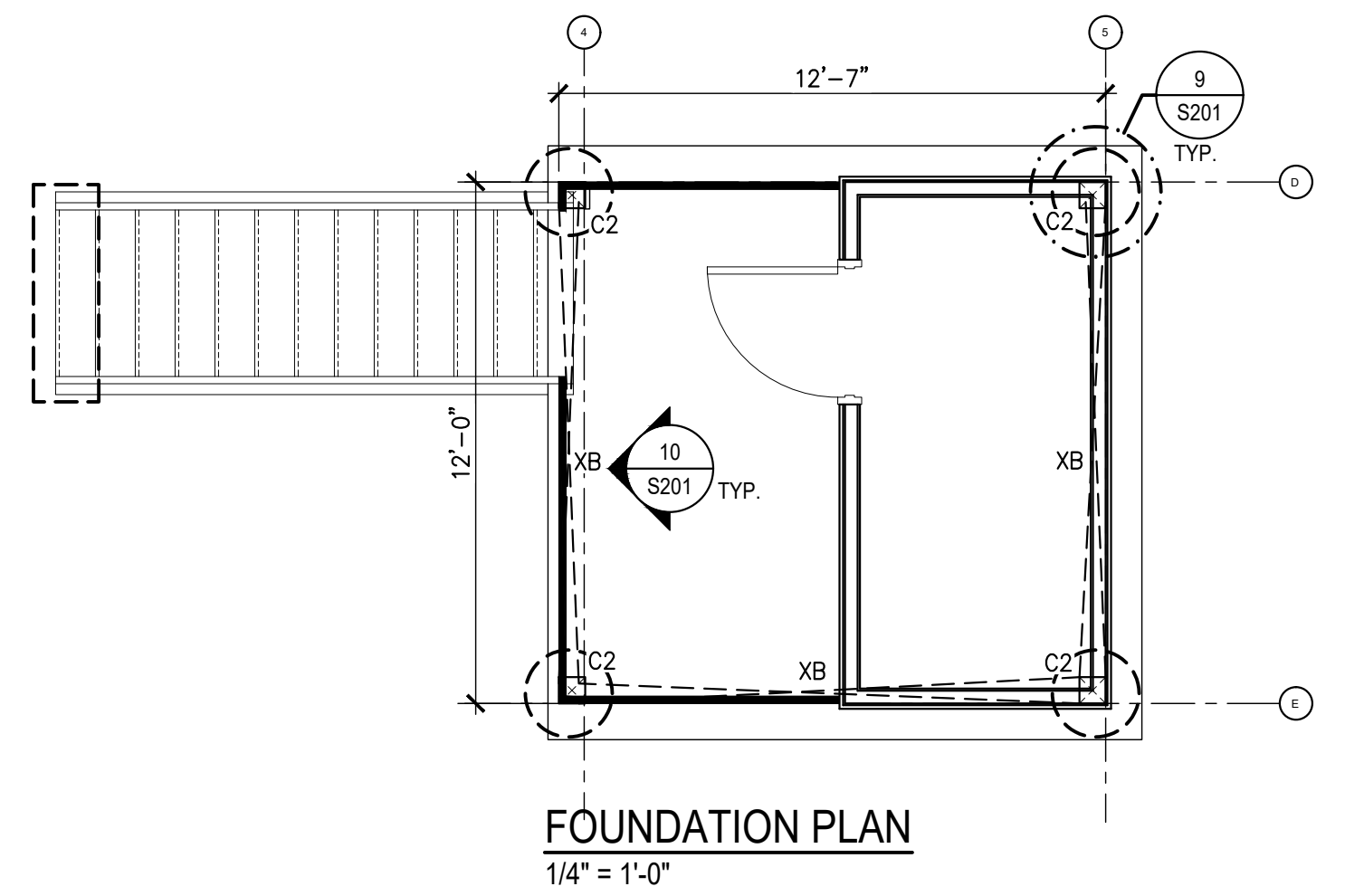
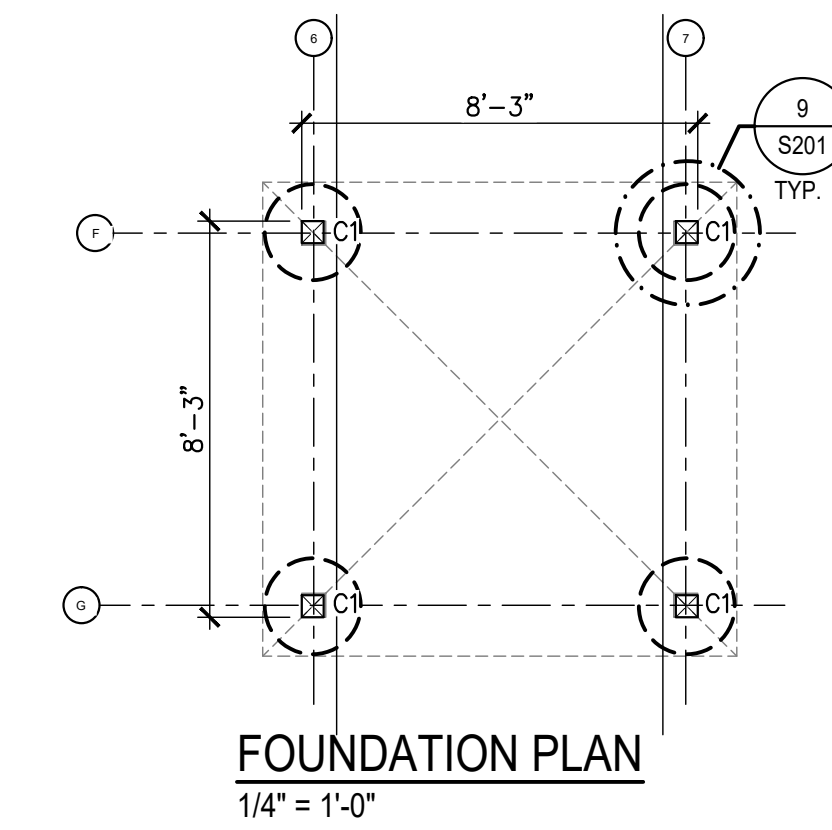
FOUNDATION PLAN LEGEND

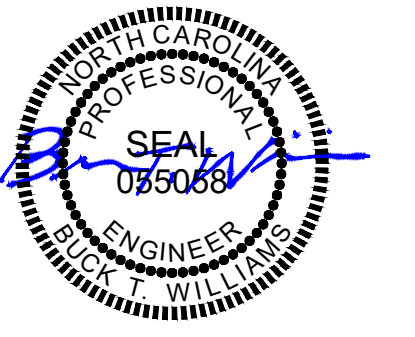
	DENOTES COLUMN CONCRETE SPREAD FOOTING WITH FOOTING MARK - SEE FOOTING SCHEDULE ON S101 FOR SIZE AND REINFORCING
C.J.	DENOTES SLAB ON GRADE CONSTRUCTION OR SAWCUT CONTROL JOINT - SEE DETAILS 3/S201 AND 2/S201 FOR ADDITIONAL INFORMATION
XB	DENOTES "CROSS BRACING" SEE DETAIL 11/S201
U.O.N.	DENOTES "UNLESS OTHERWISE NOTED"

COLUMN SCHEDULE

MARK	COL. SIZE	COLUMN BASE	THRU BOLT DIA.	REMARKS
C1	6x6 P.T. WOOD	'CB66'	(2) 3/8"	SIMPSON OR EQUAL
C2	8x8 P.T. WOOD	'CB88'	(2) 3/4"	SIMPSON OR EQUAL

NOTE: INSTALL COLUMN BASE PER MRF'S SPECIFICATIONS. U.N.O.





SURF'S UP MINIATURE GOLF STRUCTURES

1360 BRIDGE BARRIER ROAD CAROLINA BEACH, NC 28428

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Table with columns: MARK, DATE, DESCRIPTION, PROJECT NO., DATE, SCALE, DRAWN BY, CHK'D BY.

FRAMING DETAILS & SECTIONS AND STRUCTURAL NOTES

S301

STRUCTURAL DESIGN CRITERIA:

- DESIGN LOADS: ROOF DEAD LOAD, ROOF MEMBRANE & INSULATION, SHEATHING, ROOF FRAMING, PIPING, DUCT, ETC. LIVE LOADS: ROOF LIVE LOAD, SNOW LOAD. SEISMIC LOADS (N.C. STATE BLDG. CODE): SEISMIC IMPORTANCE FACTOR, RISK CATEGORY, SEISMIC DESIGN CATEGORY, MAPPED SPECTRAL RESPONSE ACCELERATION, SPECTRAL RESPONSE COEFFICIENTS, RESPONSE MODIFICATION FACTOR, R, SITE CLASSIFICATION.

- FOUNDATION DESIGN CRITERIA: MINIMUM FOOTING BEARING DEPTH BELOW GRADE IS 12 INCHES. FOUNDATION DESIGN IS BASED ON A PRESUMPTIVE MAXIMUM ALLOWABLE SOIL BEARING CAPACITY OF 1,500 PSF. CONTRACTOR SHALL FIELD VERIFY THE SOIL BEARING CAPACITY PRIOR TO START OF CONSTRUCTION.

GENERAL STRUCTURAL NOTES:

- GENERAL NOTES: METHODS, PROCEDURES AND SEQUENCES OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR. FOUNDATION: ALL FOOTINGS SHALL BE ON UNDISTURBED SOIL OR 98% COMPACTED FILL PER ASTM D698. CONCRETE: ALL PLACED CONCRETE SHALL HAVE NORMAL WEIGHT COARSE AGGREGATES UNLESS OTHERWISE NOTED. WOOD FRAMING: ALL STRUCTURAL WOOD MEMBERS SHALL BE No. 2 SOUTHERN YELLOW PINE, 19% MAXIMUM MOISTURE CONTENT.

CONCRETE REBAR SPLICE SCHEDULE table with columns: BAR SIZE, LAP LENGTH (in.), f'c = 3000 psi, 4000 psi, 5000 psi.

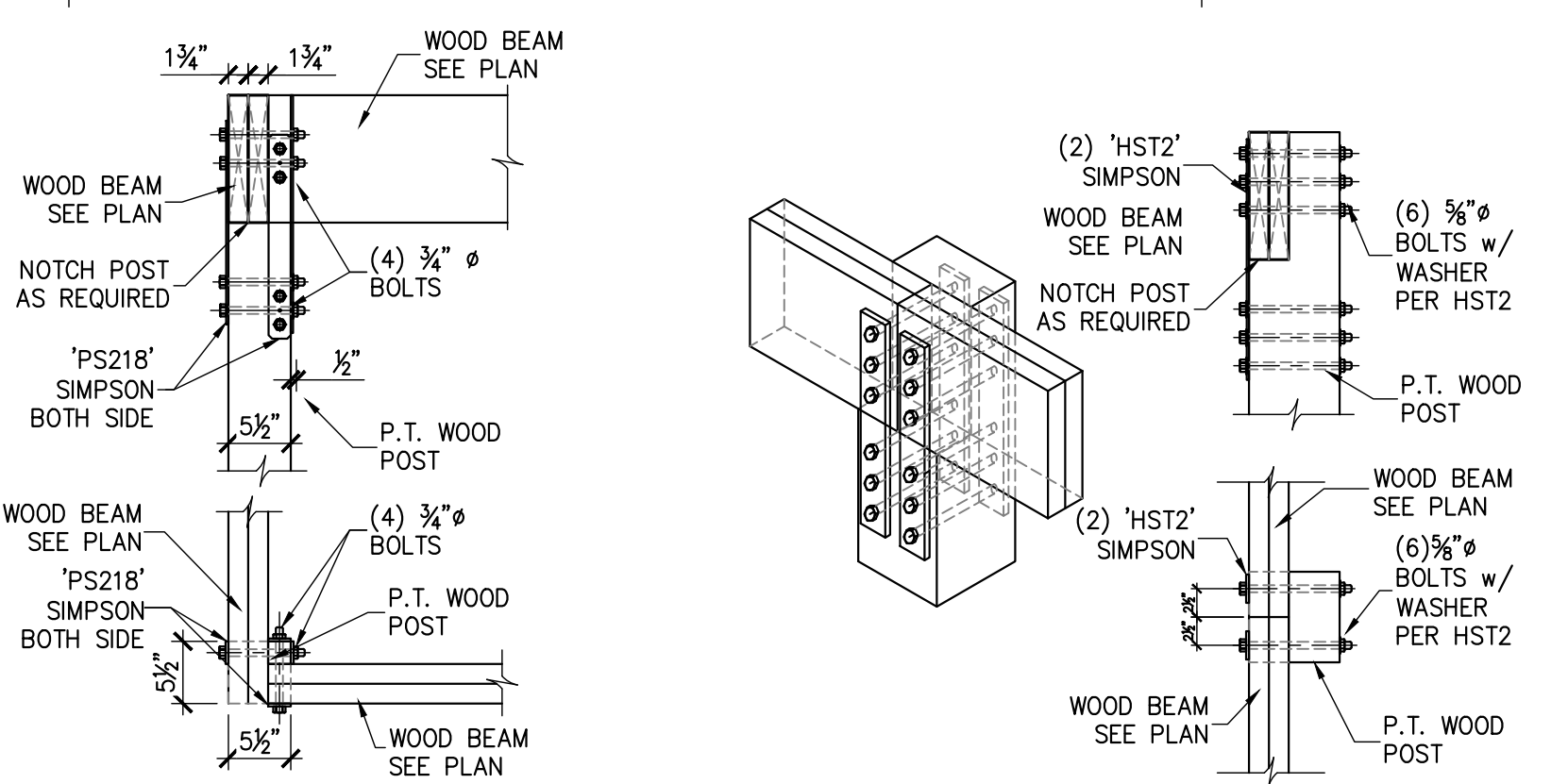
- NOTES: 1. CONCRETE IS NORMAL WEIGHT CONCRETE. IF LIGHTWEIGHT CONCRETE IS USED, MULTIPLY LENGTHS IN TABLE BY 1.3. 2. BAR YIELD STRENGTH (fy) IS 60 KSI. 3. BAR SPACING AND COVER REQUIREMENTS OF ACI SECTION 25.4.2.2 ARE ASSUMED TO BE MET.

CONCRETE MATERIALS SCHEDULE table with columns: LOCATION, MINIMUM COMPRESSIVE STRENGTH (AT 28 DAYS), REMARKS.

STANDARD HOOKS IN TENSION (PER ACI 318-02) table with columns: BAR SIZE, f'c 3000 psi, 4000 psi, 5000 psi, HOOK DEVELOPMENT LENGTH Ldh (INCHES).

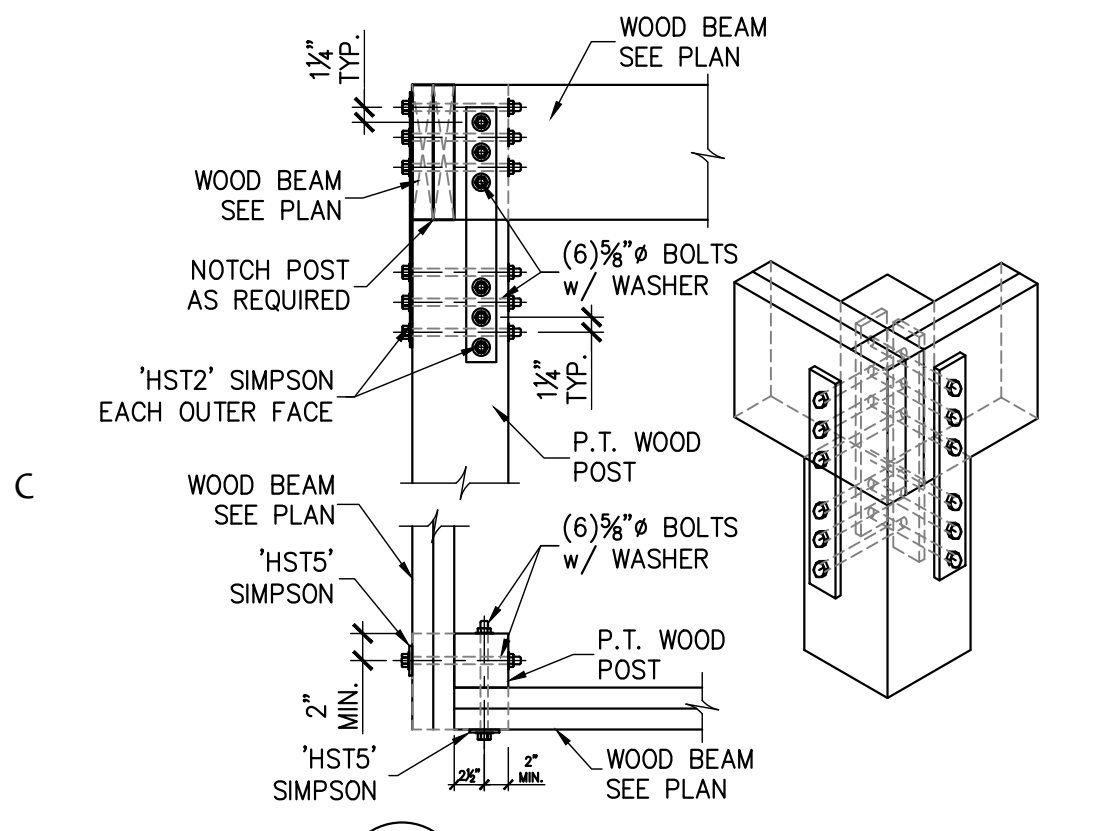
- NOTES: 1. CONCRETE IS NORMAL WEIGHT CONCRETE. IF LIGHTWEIGHT CONCRETE IS USED, MULTIPLY LENGTHS IN TABLE BY 1.3. 2. BAR YIELD STRENGTH (fy) IS 60 KSI. SIDE COVER REQUIREMENTS OF ACI SECTION 25.4.3.2 ARE ASSUMED TO NOT BE MET.

db = BAR DIAMETER

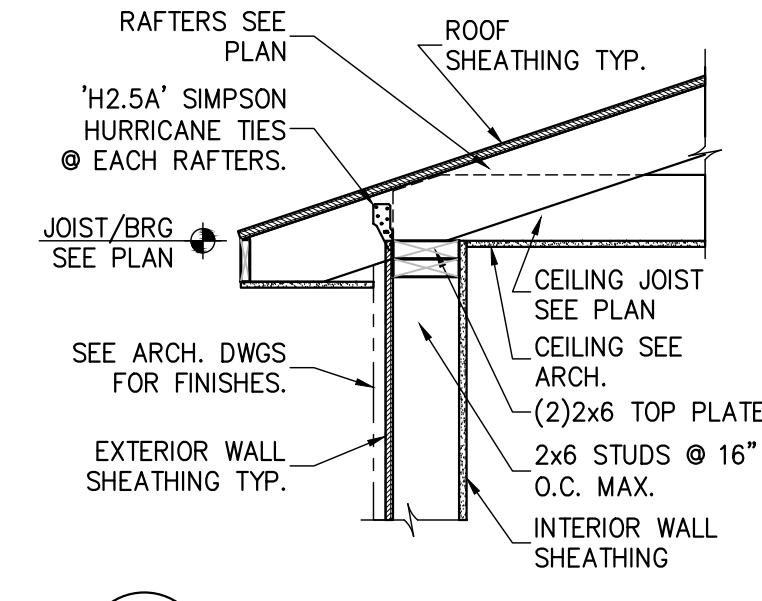


1 WOOD BEAM TO POST CONN. S301 3/4" = 1'-0"

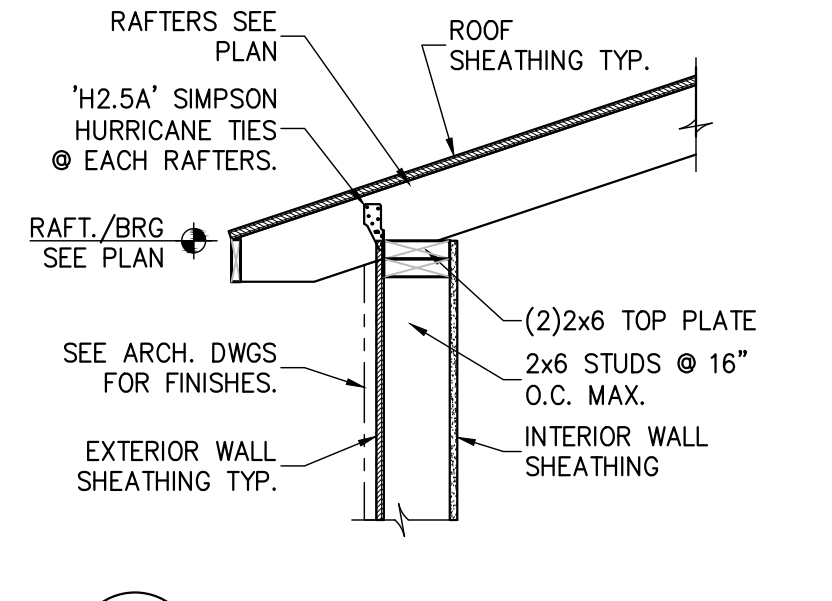
2 WOOD BEAM TO POST CONN. S301 3/4" = 1'-0"



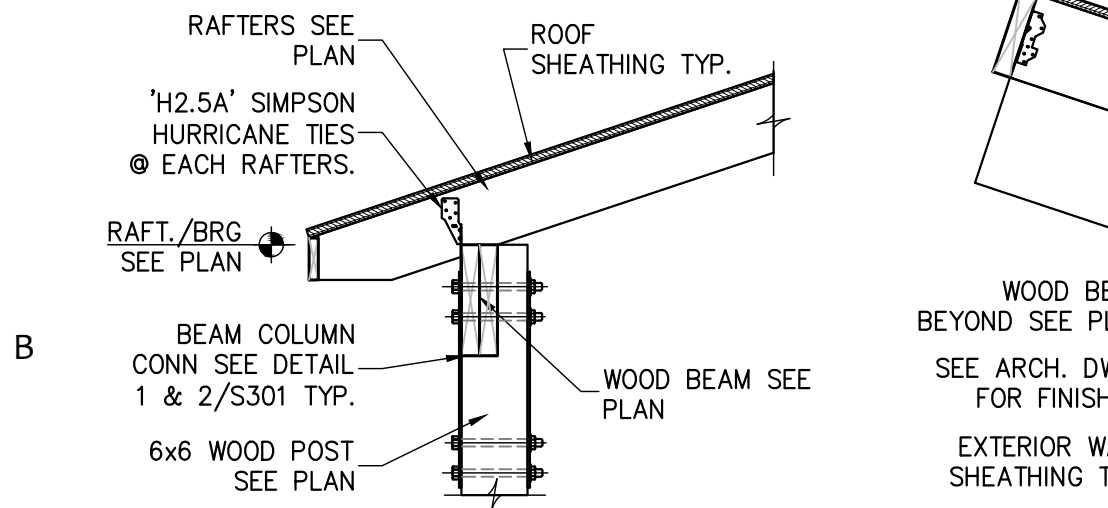
3 WOOD BEAM TO POST CONN. S301 3/4" = 1'-0"



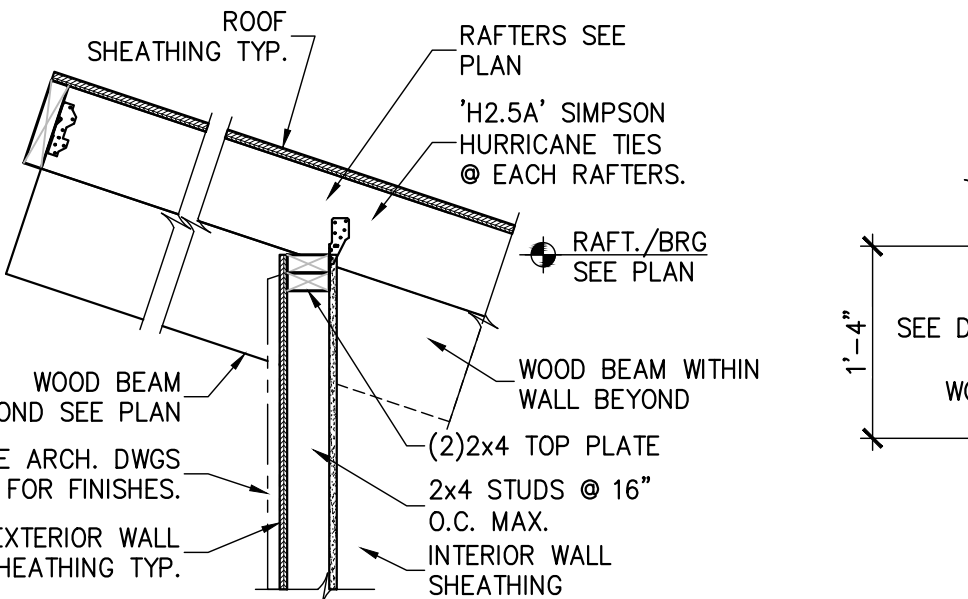
4 SECTION AT STUD WALL S301 3/4" = 1'-0"



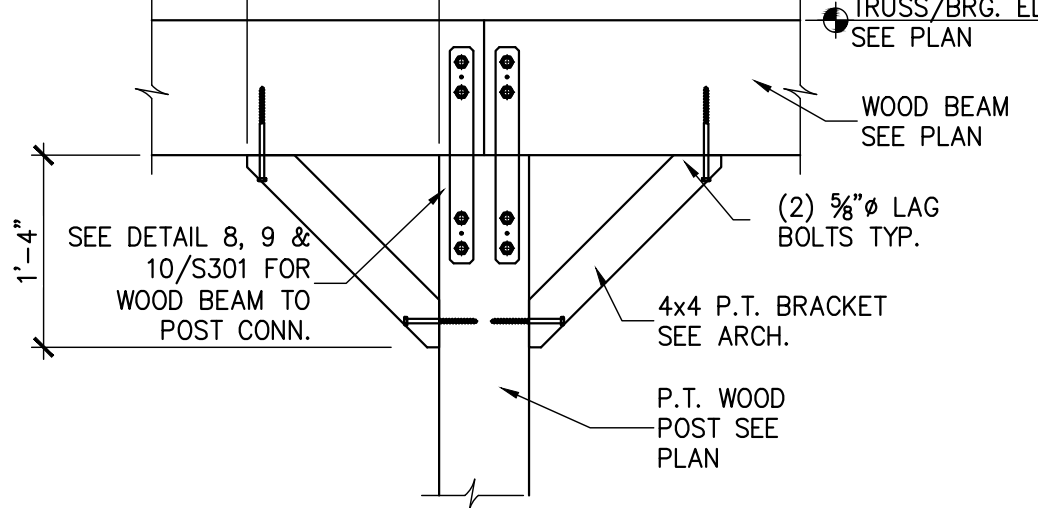
5 SECTION AT STUD WALL S301 3/4" = 1'-0"



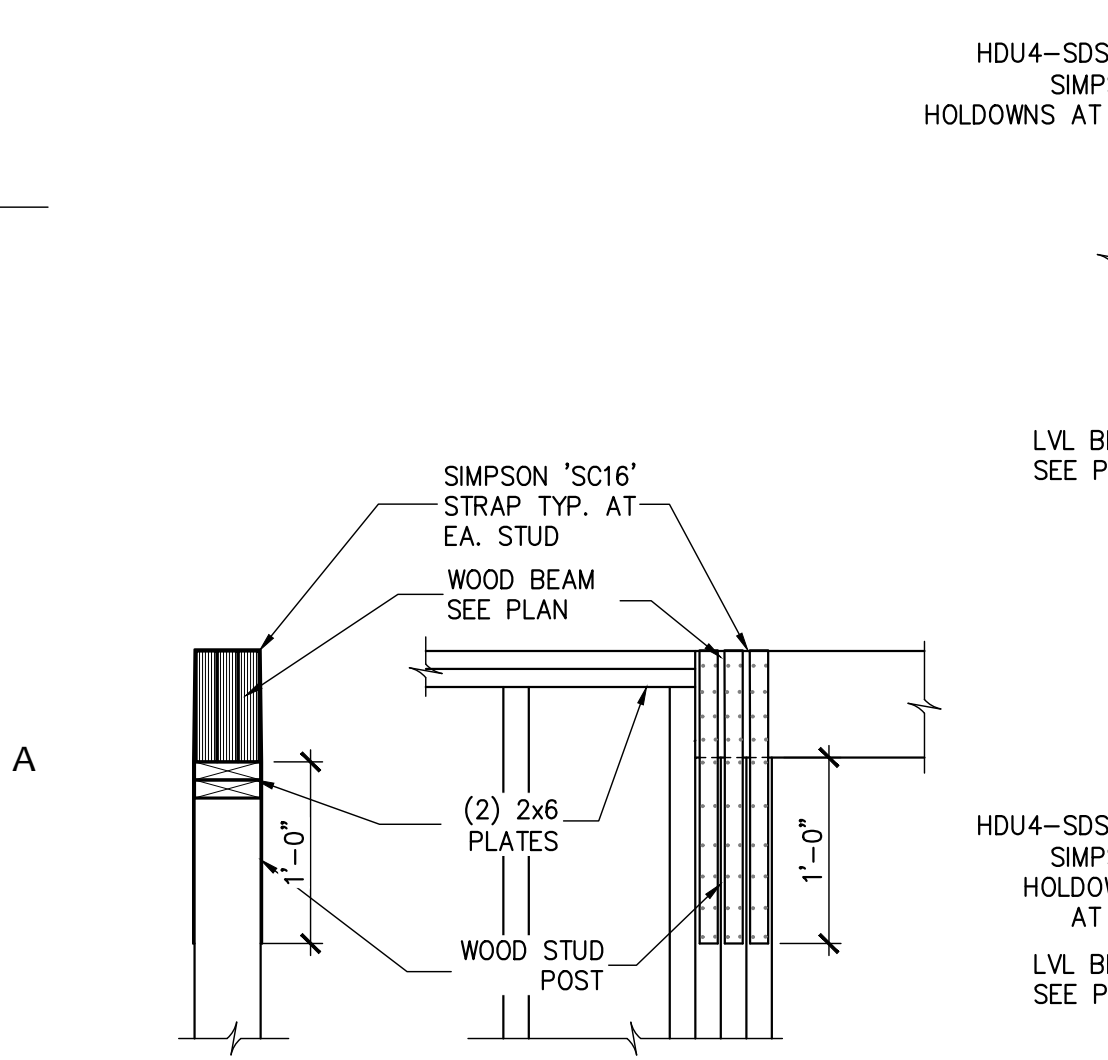
6 SECTION AT WOOD POST S301 3/4" = 1'-0"



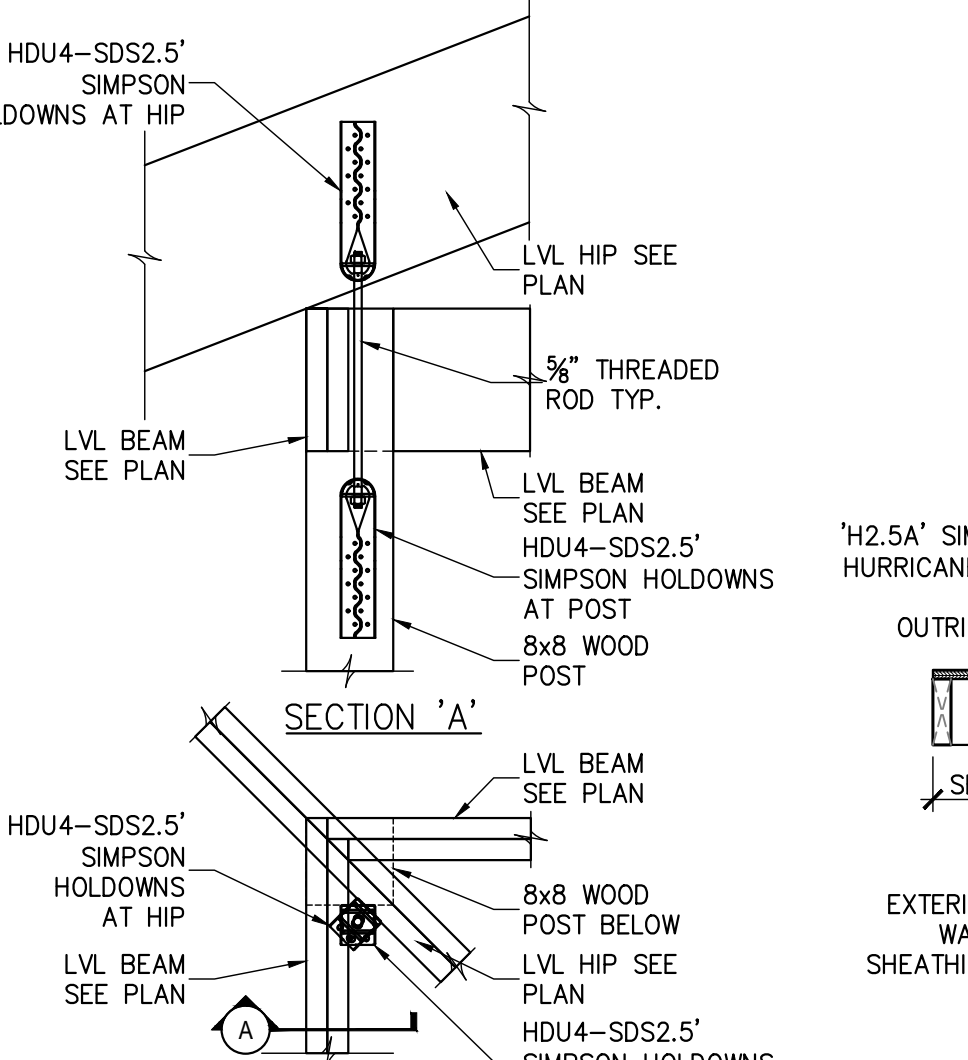
7 SECTION AT STUD WALL S301 3/4" = 1'-0"



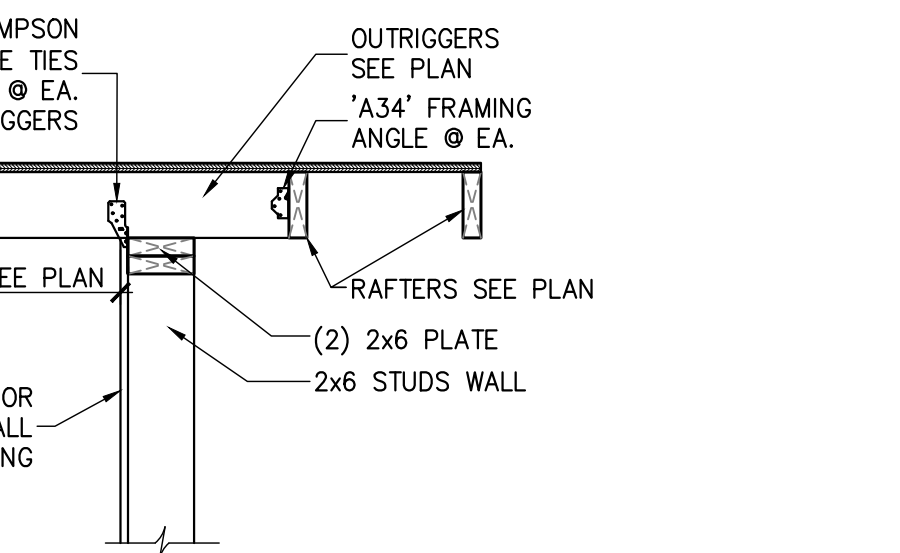
8 DETAIL AT KNEE BRACING S301 3/4" = 1'-0"



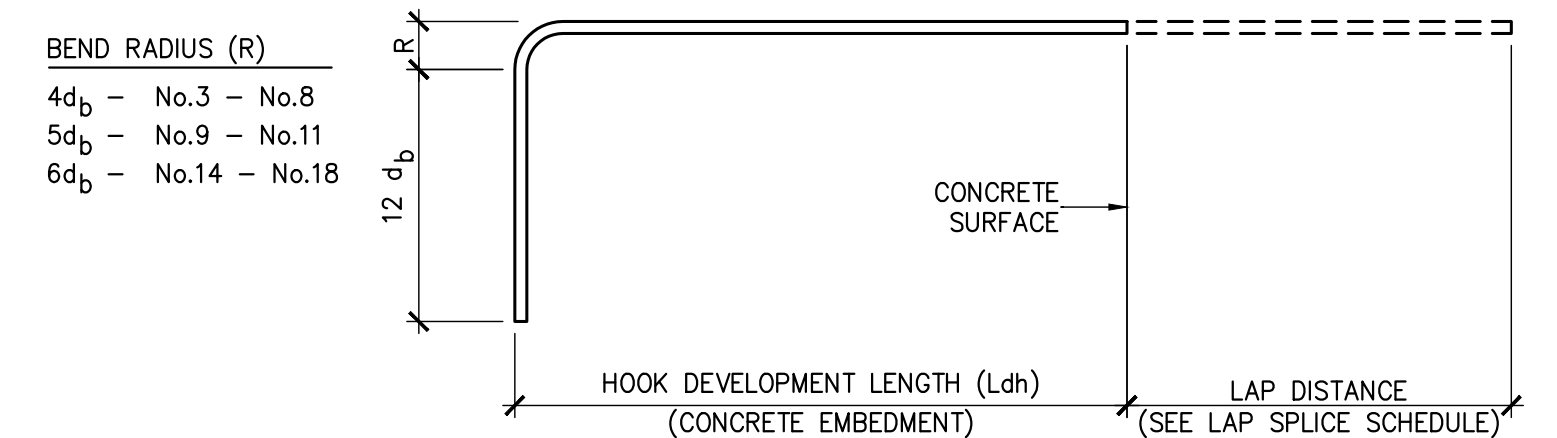
9 BEAM BEARING AT WOOD STUD WALL S301 3/4" = 1'-0"

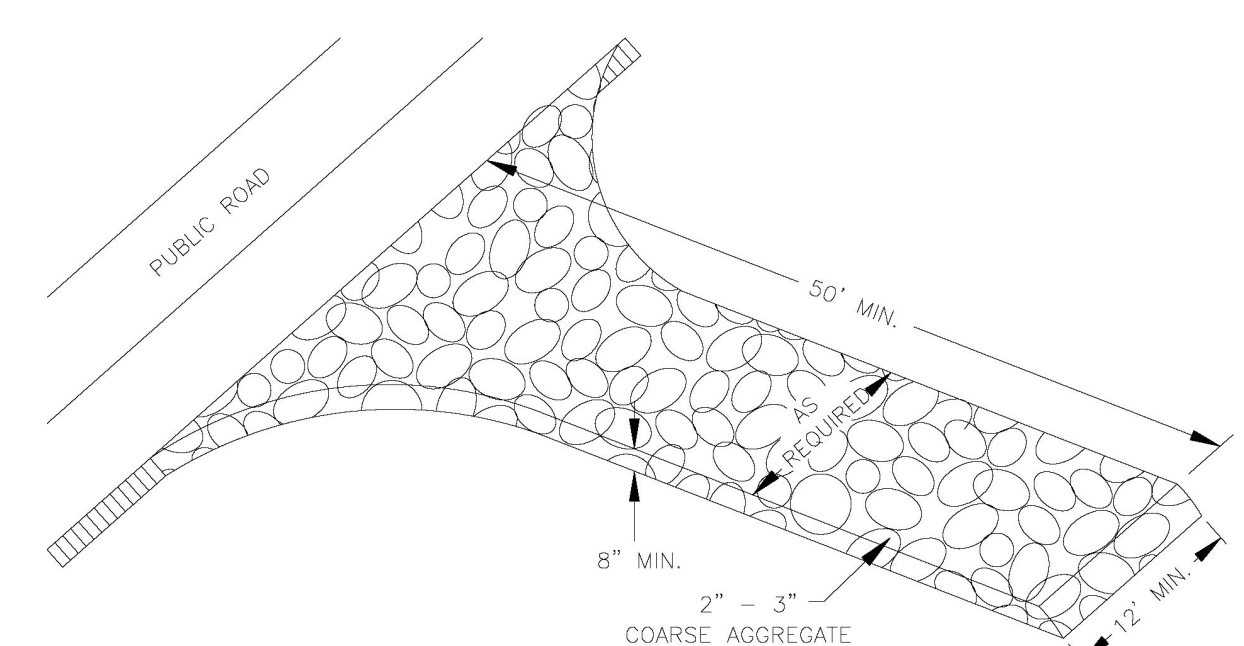
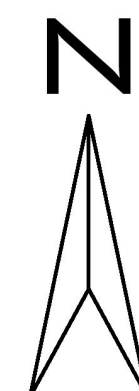


10 HIP AT WOOD POST S301 3/4" = 1'-0"



11 OUTLOOKERS @ GABLE END WALL S301 3/4" = 1'-0"





CONSTRUCTION SPECIFICATION:
 1. CLEAR THE ENTRANCE AND EXIT AREA OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL AND PROPERLY GRADE IT.
 2. PLACE THE GRAVEL TO THE SPECIFIC GRADE AND DIMENSIONS SHOWN ON THE PLANS, AND SMOOTH IT.
 3. PROVIDE DRAINAGE TO CARRY WATER TO A SEDIMENT TRAP OR OTHER SUITABLE OUTLET.
 4. USE GEOTEXTILE FABRICS BECAUSE THEY IMPROVE STABILITY OF THE FOUNDATION IN LOCATIONS SUBJECT TO SEEPAGE OR HIGH WATER TABLE.

MAINTENANCE:
 MAINTAIN THE GRAVEL PAD AS A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 2 INCH STONE. AFTER EACH RAINFALL, INSPECT ANY STRUCTURE USED TO TRAP SEDIMENT AND CLEAN IT OUT AS NECESSARY. IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS.

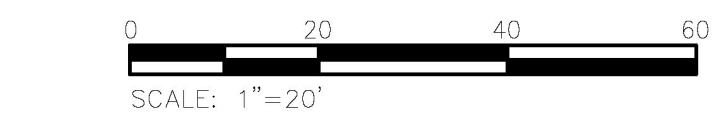
TEMPORARY GRAVELLED CONSTRUCTION ENTRANCE
 NTS

- CONSTRUCTION SEQUENCE**
- SCHEDULE PRE-CONSTRUCTION MEETING WITH DEQ-DEMLR WILMINGTON REGIONAL OFFICE UPON THE COMMENCEMENT OF & DISTURBED ACTIVITIES ON THE SITE
 - INSTALL GRAVEL CONSTRUCTION ENTRANCE
 - INSTALL TEMPORARY SILT FENCE - IF REQUIRED
 - BEGIN CLEARING & GRUBBING
 - CONTINUE CONSTRUCTION
 - STABILIZE & SEED DISTURBED AREAS
 - MAINTAIN INLET PROTECTIONS & ALL OTHER ASPECTS MENTIONED IN APPROVED SEDIMENTATION & EROSION CONTROL PERMIT

LEGEND

	EXISTING CONTOUR
	PROPERTY LINE
	ROW LINE
	STORMDRAIN
	TEMPORARY SILT FENCE
	PROPOSED CONTOUR
	TOP OF CURB ELEVATION
	BOTTOM OF CURB ELEVATION

- NOTES:**
- THERE ARE NO SURFACE WATERS, WETLANDS, PROTECTED VEGETATED SETBACKS, OR PROTECTED RIPARIAN BUFFERS ON THIS SITE.
 - SCM IMPACTED BY SEDIMENTATION AND EROSION CONTROL DURING THE CONSTRUCTION PHASE SHALL BE CLEANED OUT AND CONVERTED TO ITS APPROVED DESIGN STATE.
 - ALL BUA ASSOCIATED WITH THE PROPOSED PROJECT SHALL DRAIN TO THE SCM VIA SHEET FLOW, ROOF DRAINS, OR STORM DRAINS.
 - ALL INLETS TO HAVE INLET PROTECTION. SEE DETAIL.



SURF'S UP
 MINIATURE GOLF STRUCTURES
 1360 BRIDGE BARRIER RD.
 CAROLINA BEACH, NC 28428

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Mark	Date	Description

PROJECT NO: 24074
 DATE: 09/26/2024
 SCALE:
 DRAWN BY: OU
 PROJ MGR: WB

SITE PLAN
 AS101



MARK LOUDERMILK ARCHITECTURE
201 N. FRONT ST. SUITE 1004
WILMINGTON, NORTH CAROLINA
910.769.3583
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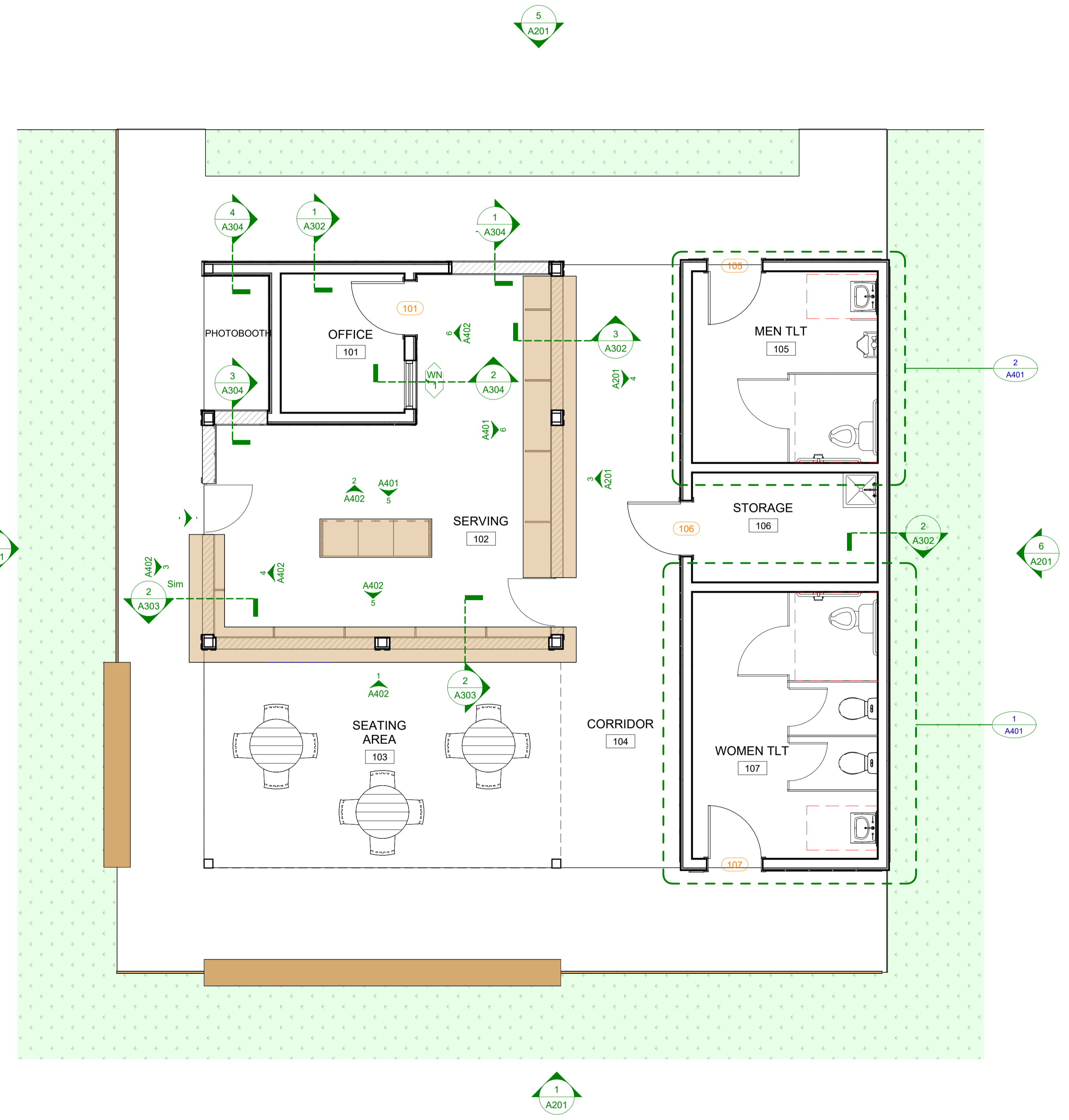
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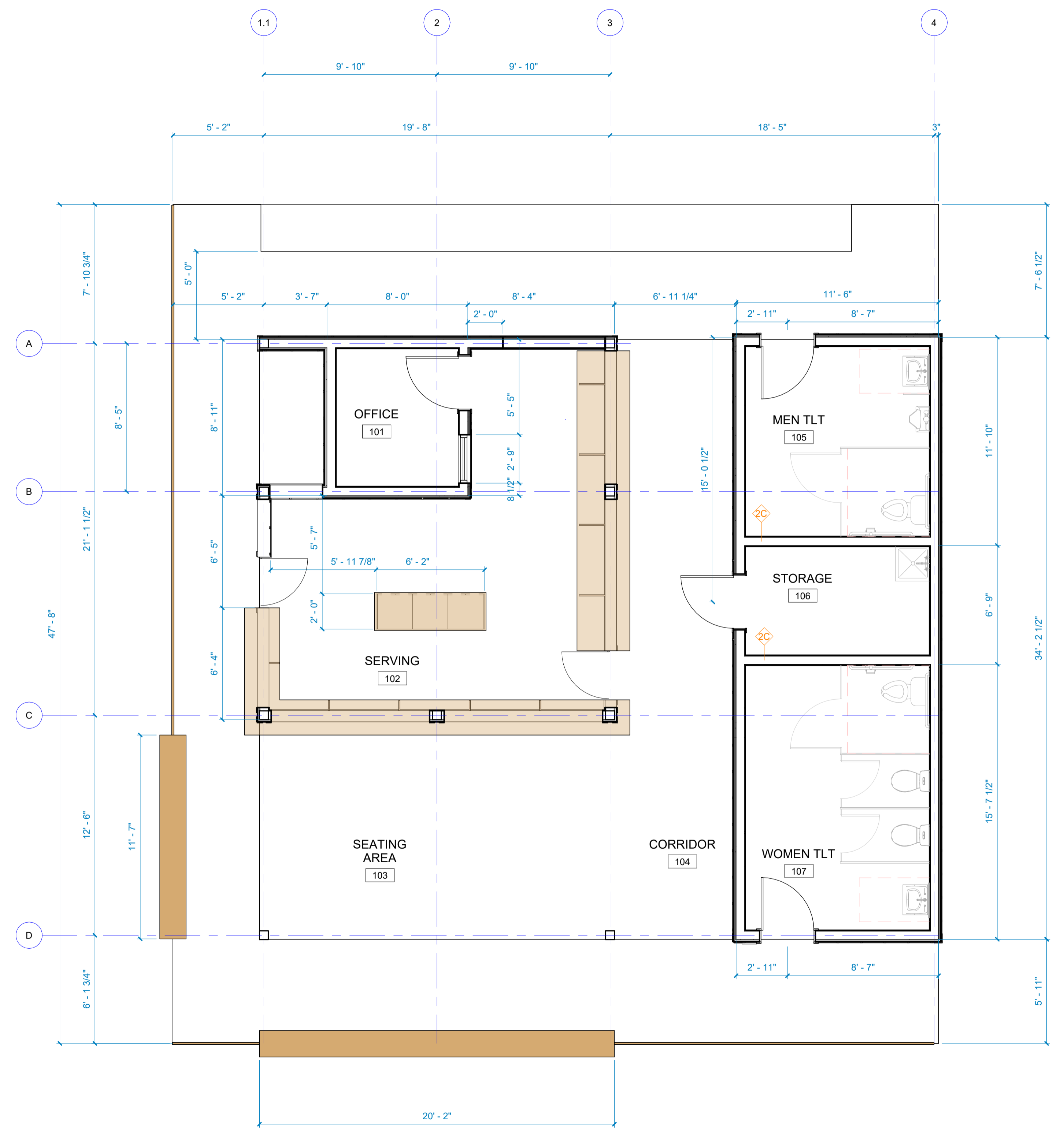
Mark	Date	Description
PROJECT NO:	24074	
DATE:	09/26/2024	
SCALE:	1/4" = 1'-0"	
DRAWN BY:	OU	
PROJ MGR:	WB	

FLOOR & FRAMING PLANS

A101A



FIRST FLOOR PLAN
1/4" = 1'-0" **2**



FIRST FLOOR WALL FRAMING PLAN
1/4" = 1'-0" **1**



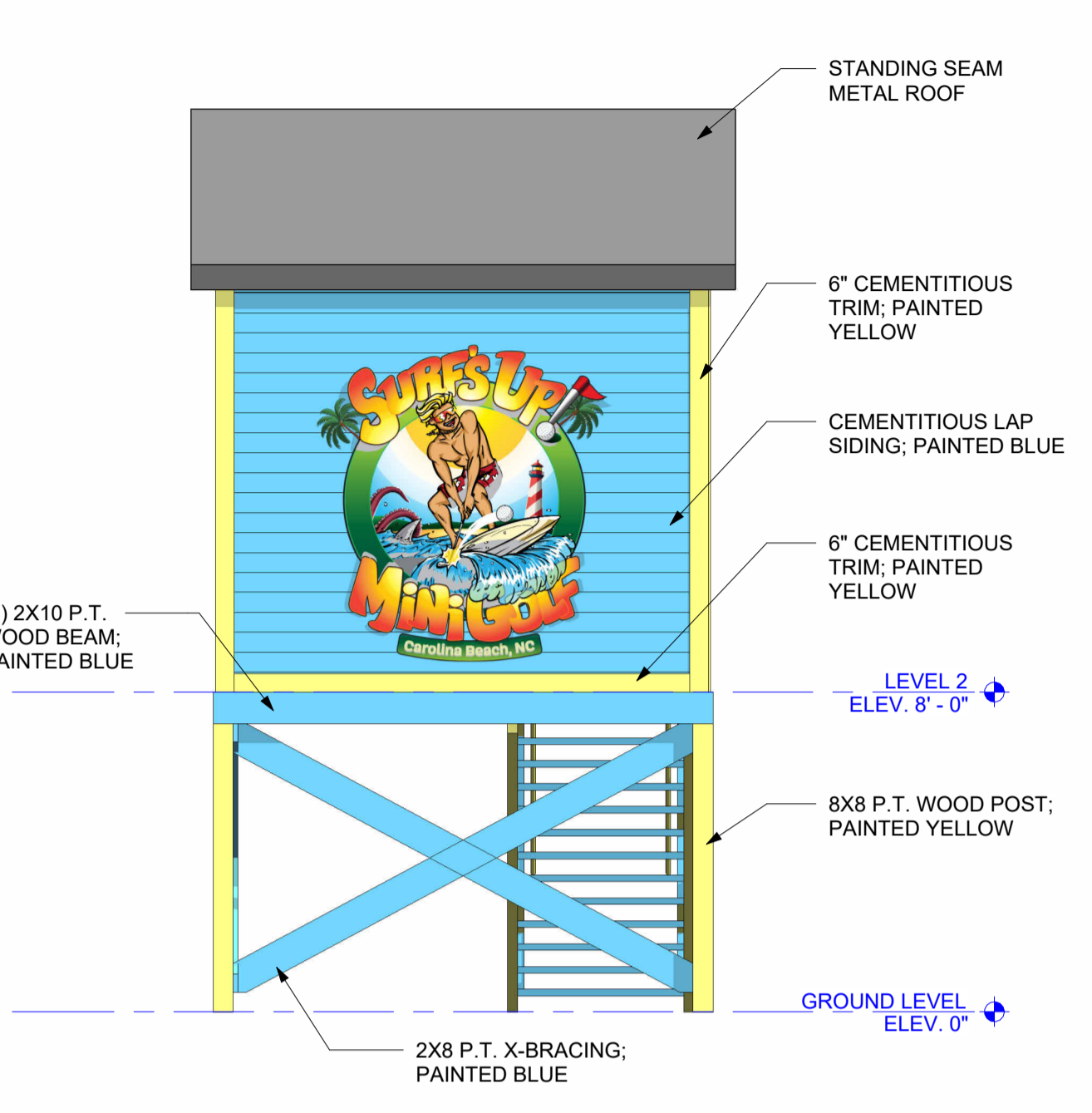
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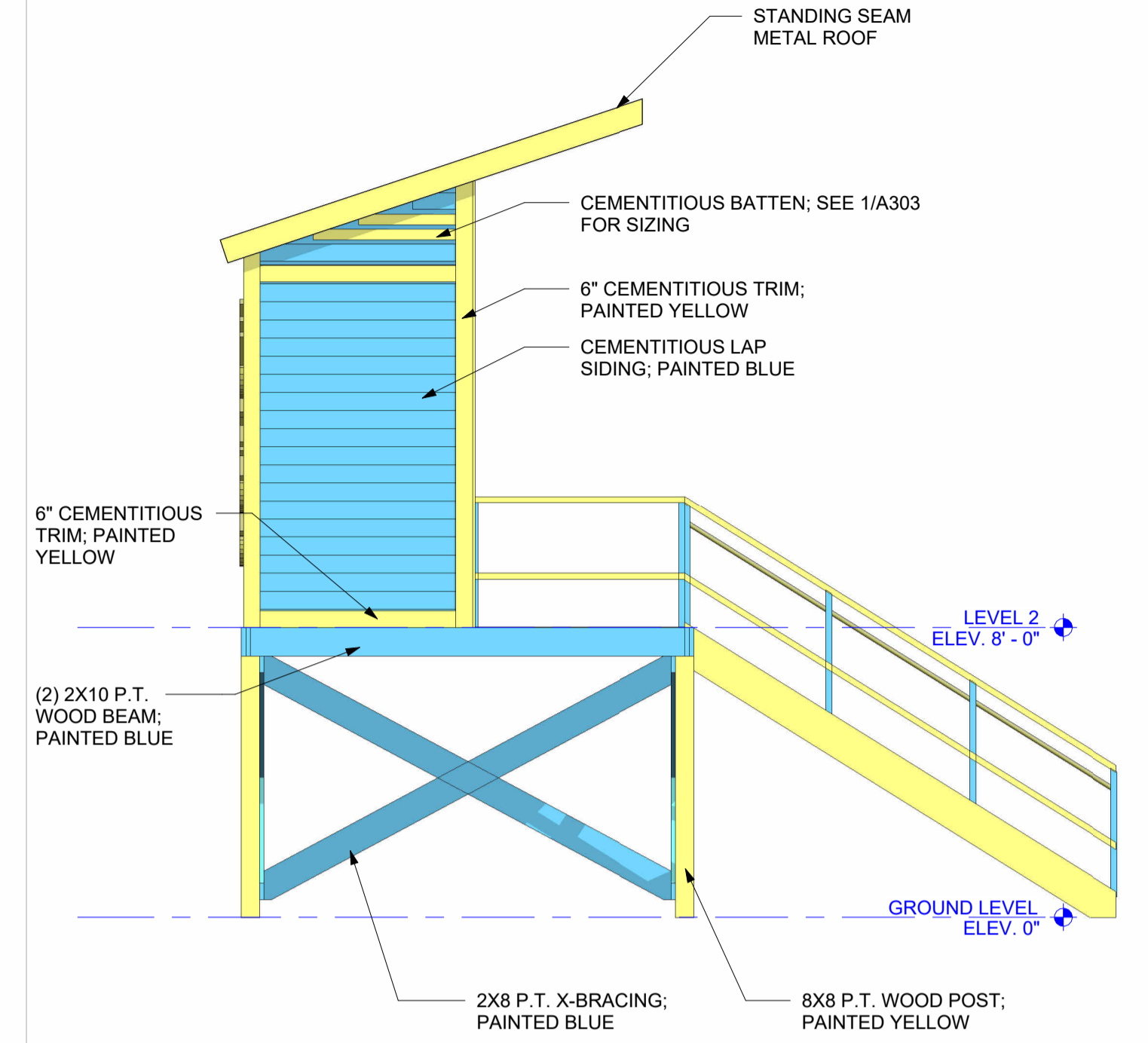
Mark	Date	Description
PROJECT NO:	24074	
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DRAWN BY:	OU	
PROJ MGR:	WB	

LIFEGUARD STORAGE STRUCTURE

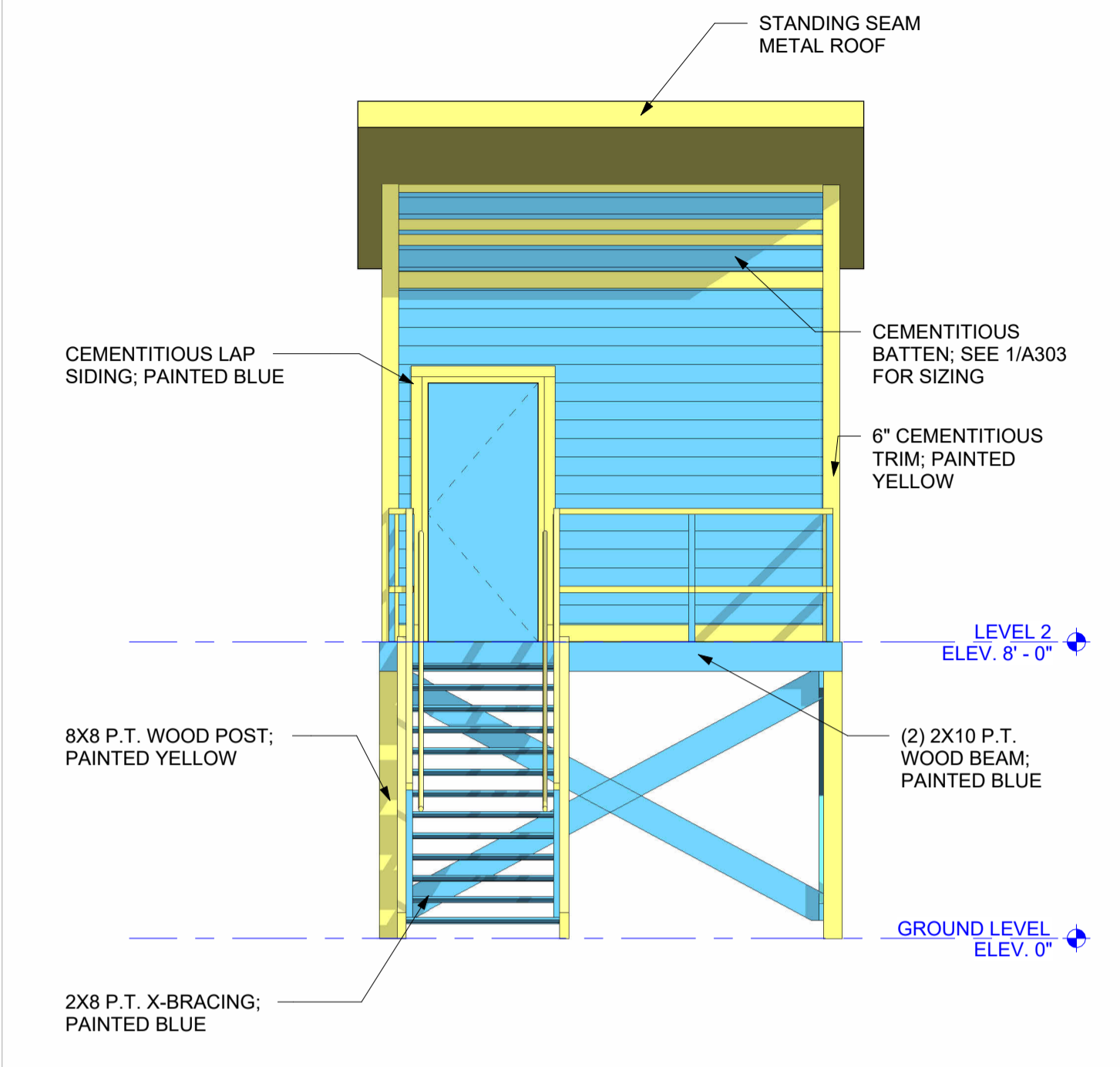
A101B



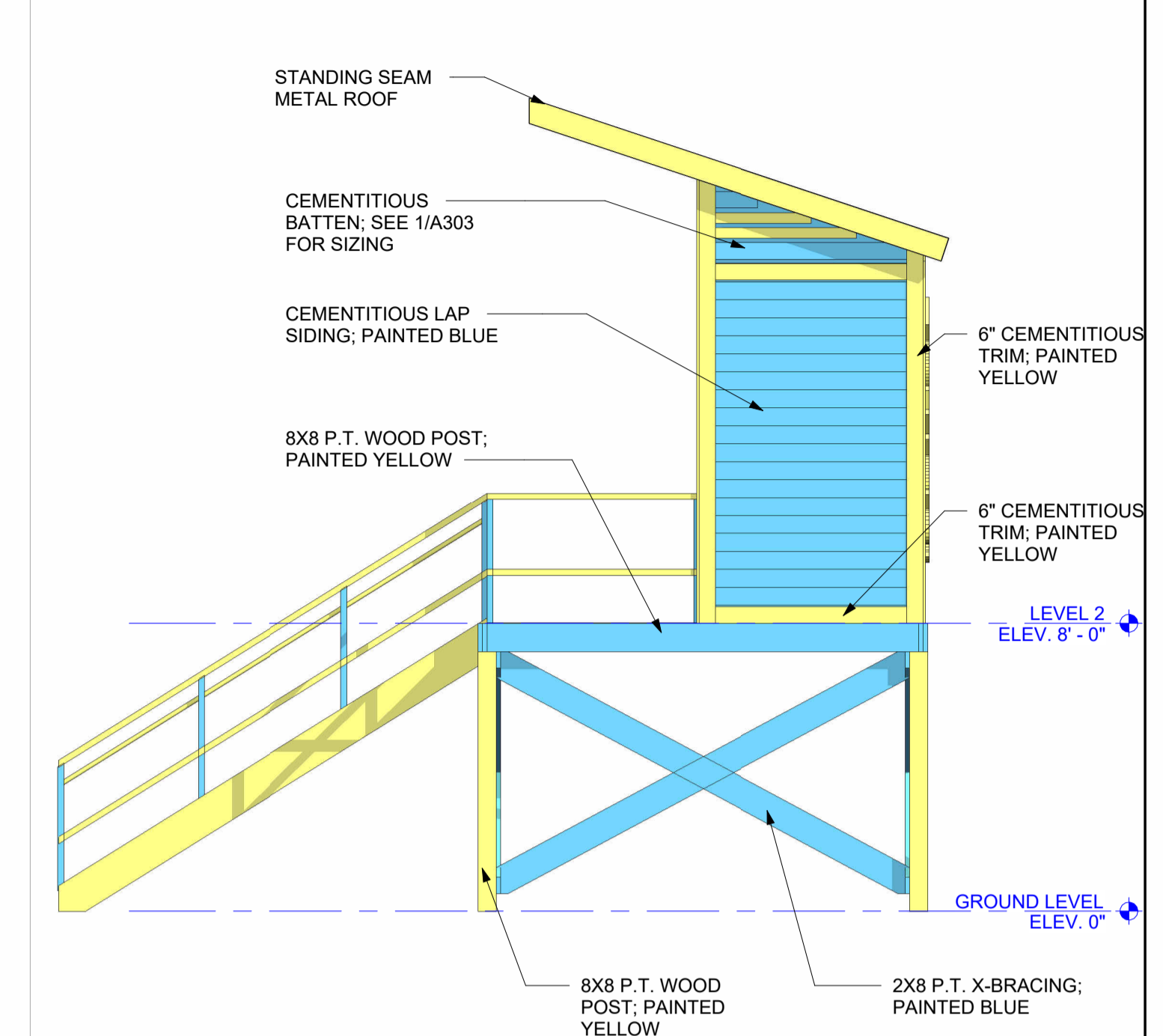
EAST LIFEGUARD STRUC. ELEV. **6**
 1/4" = 1'-0"



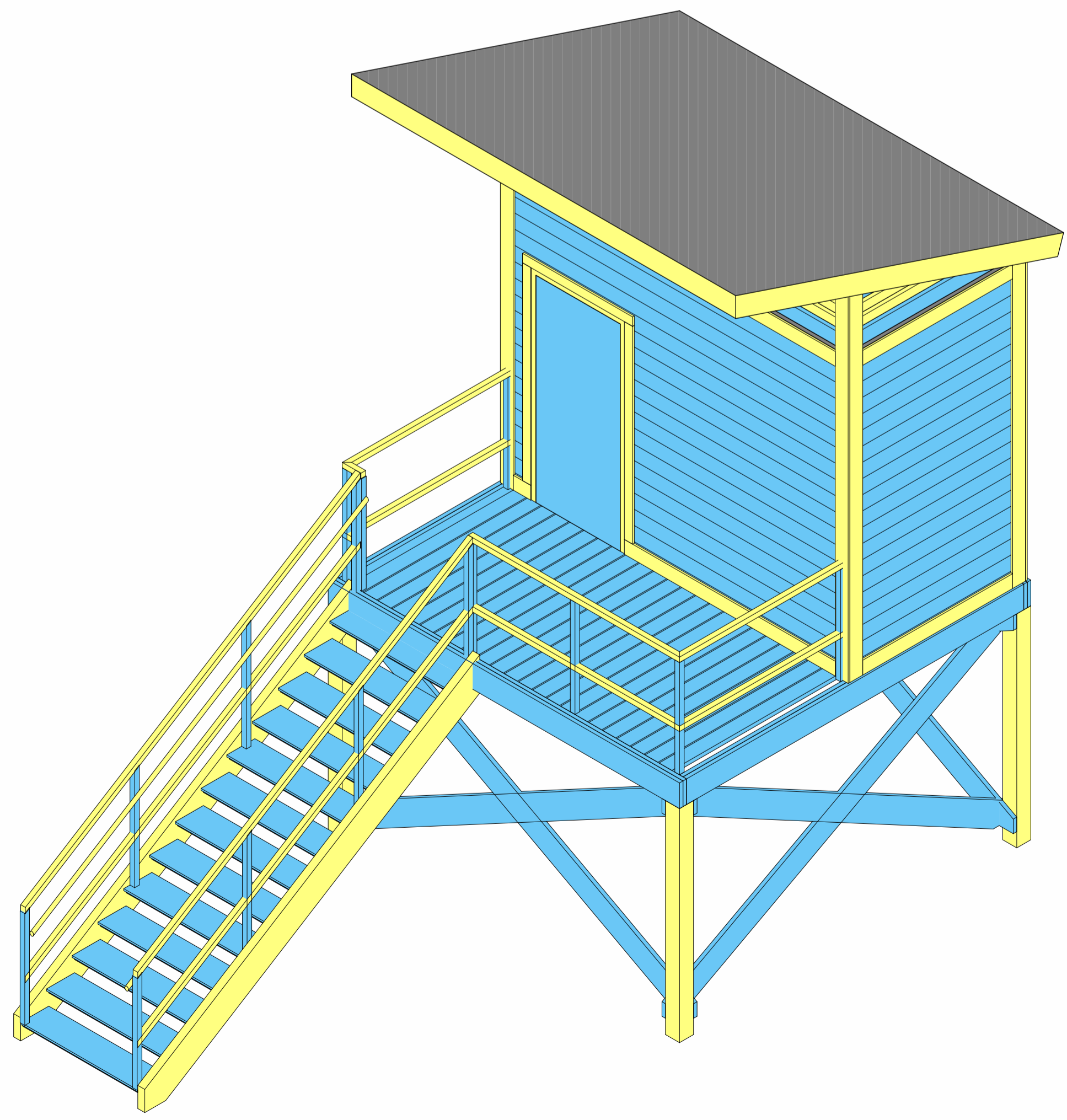
NORTH LIFEGUARD STRUC. ELEV. **5**
 1/4" = 1'-0"



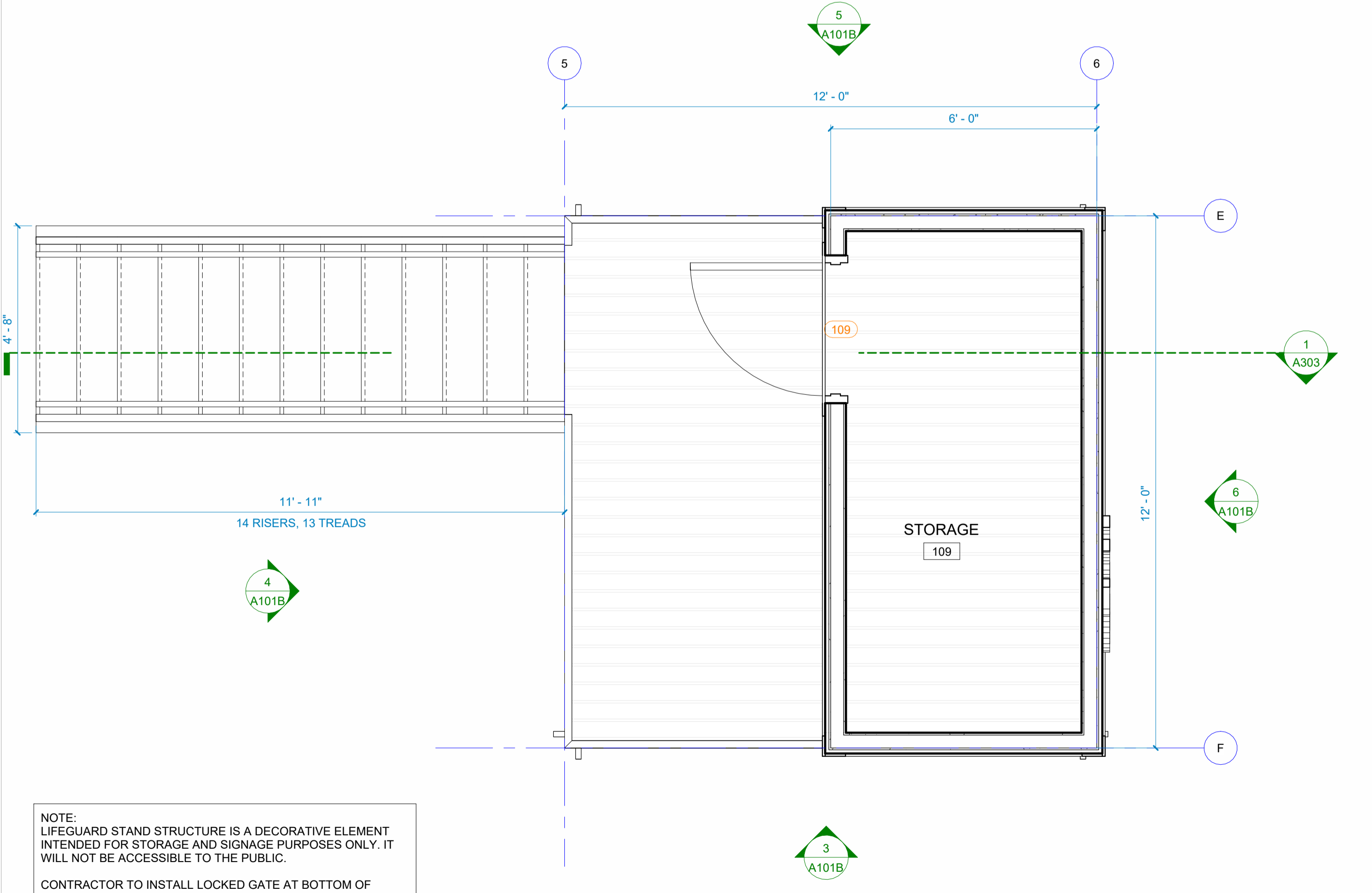
WEST LIFEGUARD STRUC. ELEV. **4**
 1/4" = 1'-0"



SOUTH LIFEGUARD STRUC. ELEV. **3**
 1/4" = 1'-0"



LIFEGAURD STRUC. AXON DIAGRAM **2**



NOTE:
 LIFEGUARD STAND STRUCTURE IS A DECORATIVE ELEMENT
 INTENDED FOR STORAGE AND SIGNAGE PURPOSES ONLY. IT
 WILL NOT BE ACCESSIBLE TO THE PUBLIC.
 CONTRACTOR TO INSTALL LOCKED GATE AT BOTTOM OF
 STAIR

LIFEGUARD STRUC. FLOOR PLAN **1**
 1/2" = 1'-0"



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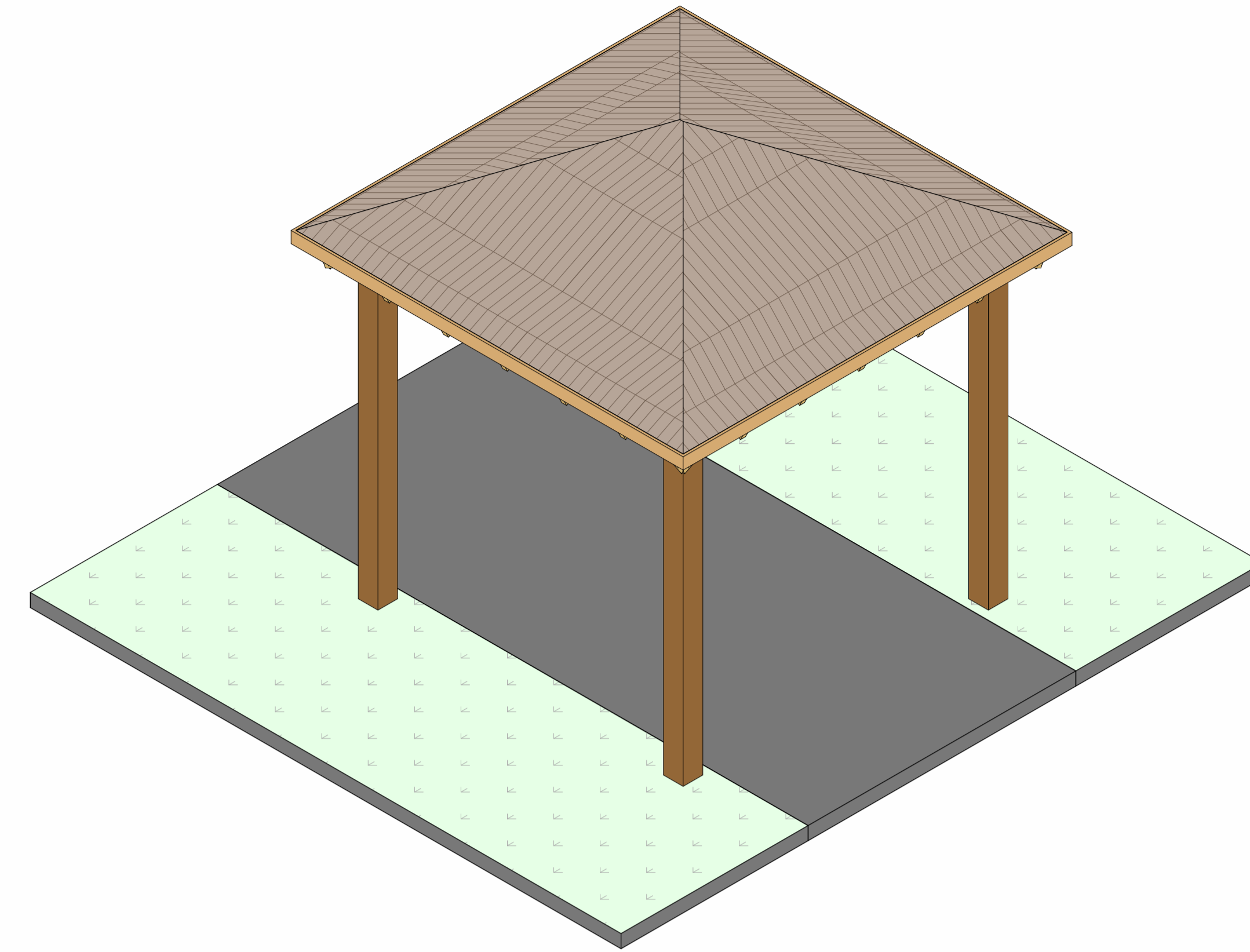
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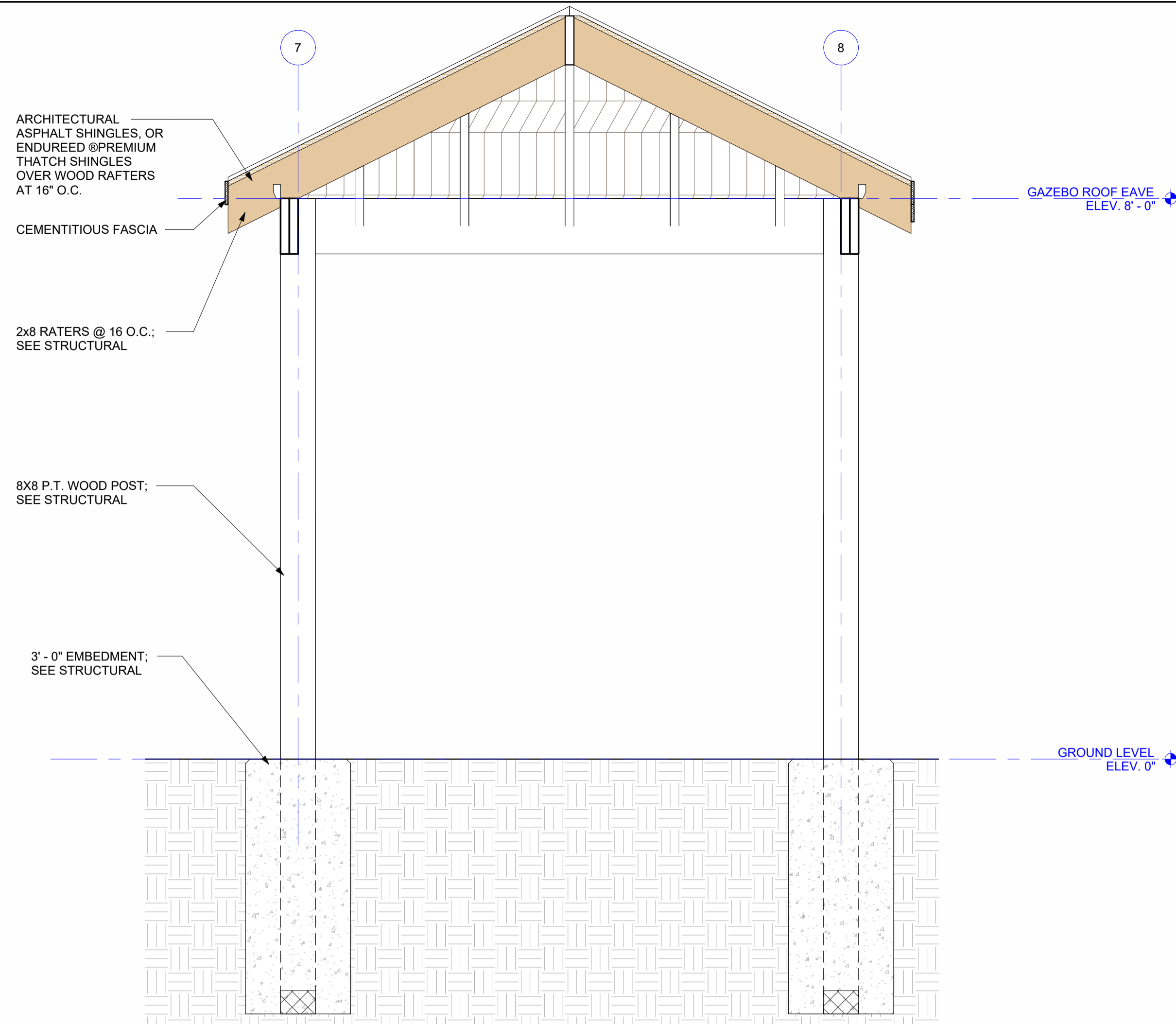
SINGLE GAZEBO

A101C



SINGLE GAZEBO AXON DIAGRAM

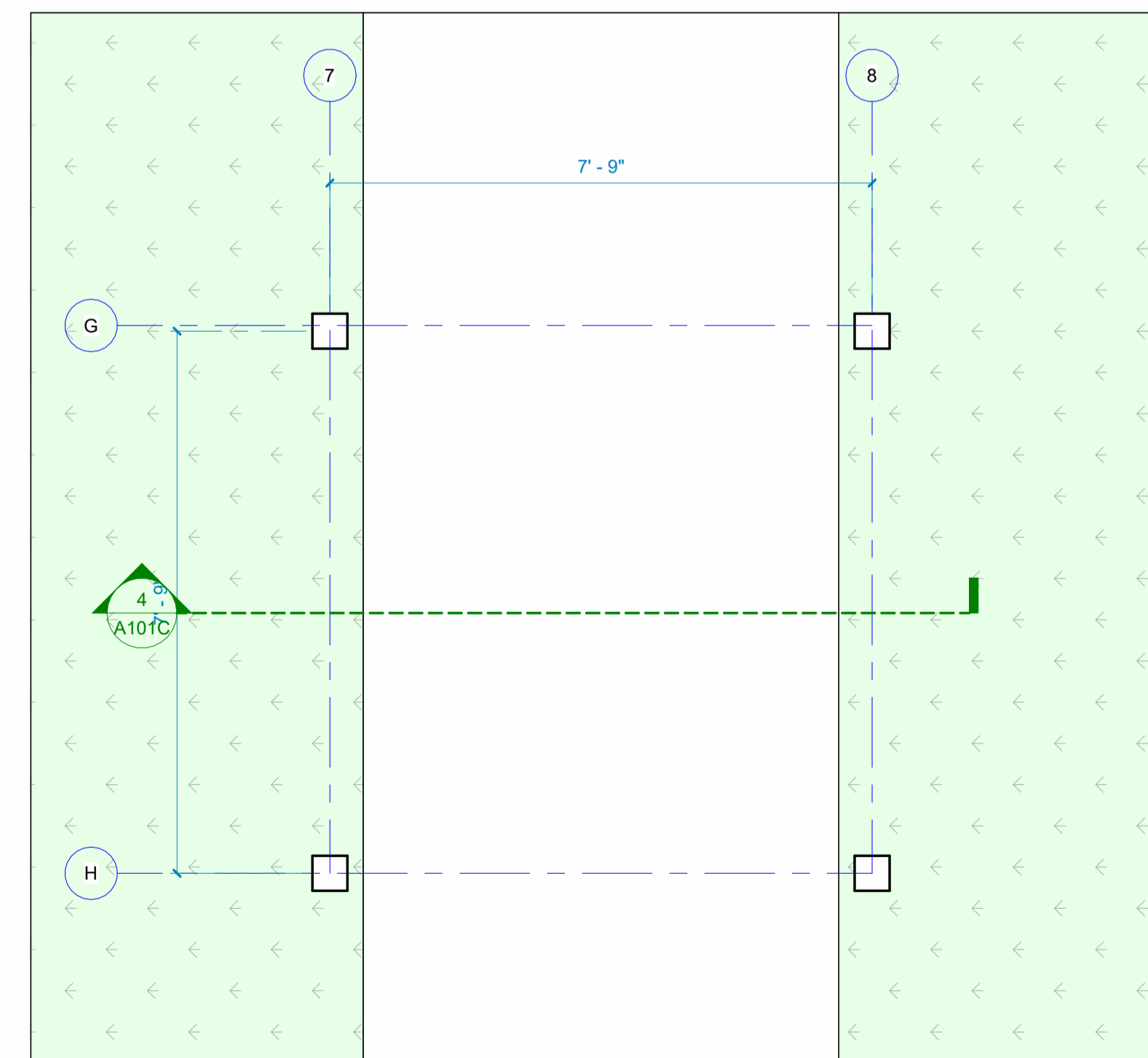
3



SINGLE GAZEBO SECTION

3/4" = 1'-0"

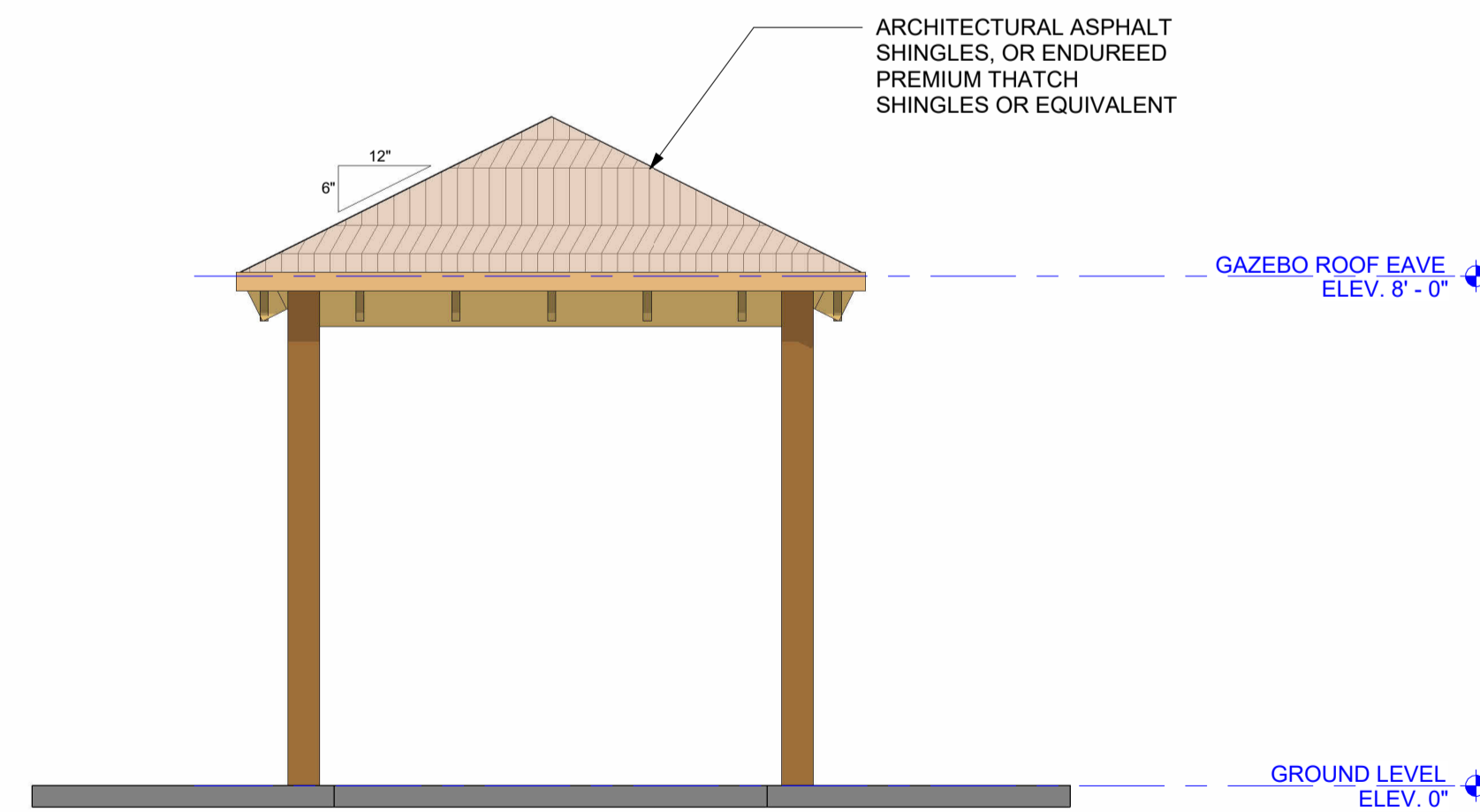
4



SINGLE GAZEBO FLOOR PLAN

1/2" = 1'-0"

1



SINGLE GAZEBO ELEVATION

3/8" = 1'-0"

2



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PROJECT NO:	24074	
DATE:	09/26/2024	
SCALE:	As indicated	
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PROJ MGR:	WB	

CEILING PLAN

A102

CEILING LEGEND

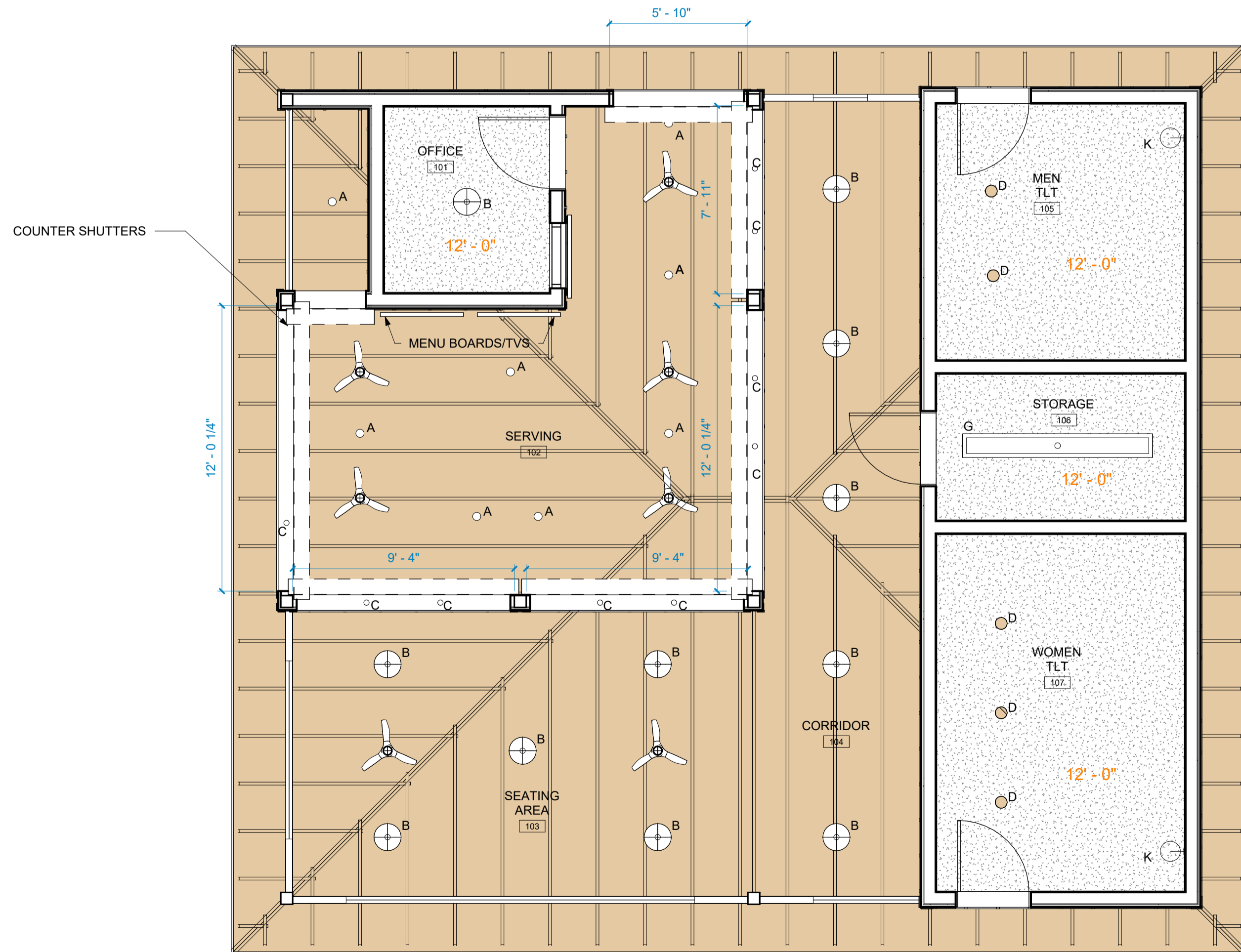
- INTERIOR - GWB CEILINGS /BULKHEADS
- X** EXPOSED
- EXIT SIGN SINGLE FACE, CEILING MOUNTED
- CEILING MOUNTED DUAL TECHNOLOGY OCCUPANCY SENSOR
- SUPPLY DIFFUSER
- RETURN GRILLE
- EXHAUST GRILLE

CEILING NOTES

1. SEE FINISH SCHEDULE FOR ACT TYPES.
2. SEE MECHANICAL DRAWINGS FOR G.R.D. TYPES, LOCATIONS, AND ADDITIONAL WORK.
3. SEE ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES AND LOCATIONS.
4. CEILING HEIGHTS INDICATED ARE FROM FINISH FLOOR. CEILINGS AT LANDINGS, RAMPS ETC., REFER TO NEAREST FLOOR LEVEL. COORDINATE WITH EXG. WINDOW MULLION LOCATIONS.
5. ALL EXPOSED LINTELS SHALL BE PAINTED.

LIGHTING SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	IMAGE	MOUNTING HEIGHT
A	WET LISTED CYLINDER PENDANT	TRULY GREEN SOLUTIONS	AQR		10' - 0"
B	SEATING AREA PENDANT	BOCK LIGHTING	514		9' - 0"
C	BAR PENDANT	DESIGN HOUSE	AJAX		7' - 0"
D	RESTROOM SURFACE DOWNLIGHTS	TRULY GREEN SOLUTIONS	88 0918		ATTACHED TO CEILING
F	BAR TAPE LIGHT	KELVIX			BOTTOM OF BAR COUNTERTOP
G	STORAGE 8' STRIP	H.E. WILLIAMS	FS8		ATTACHED TO CEILING
K	VANITY LIGHT	DESIGN HOUSE			7' - 6"



FIRST FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0" 1



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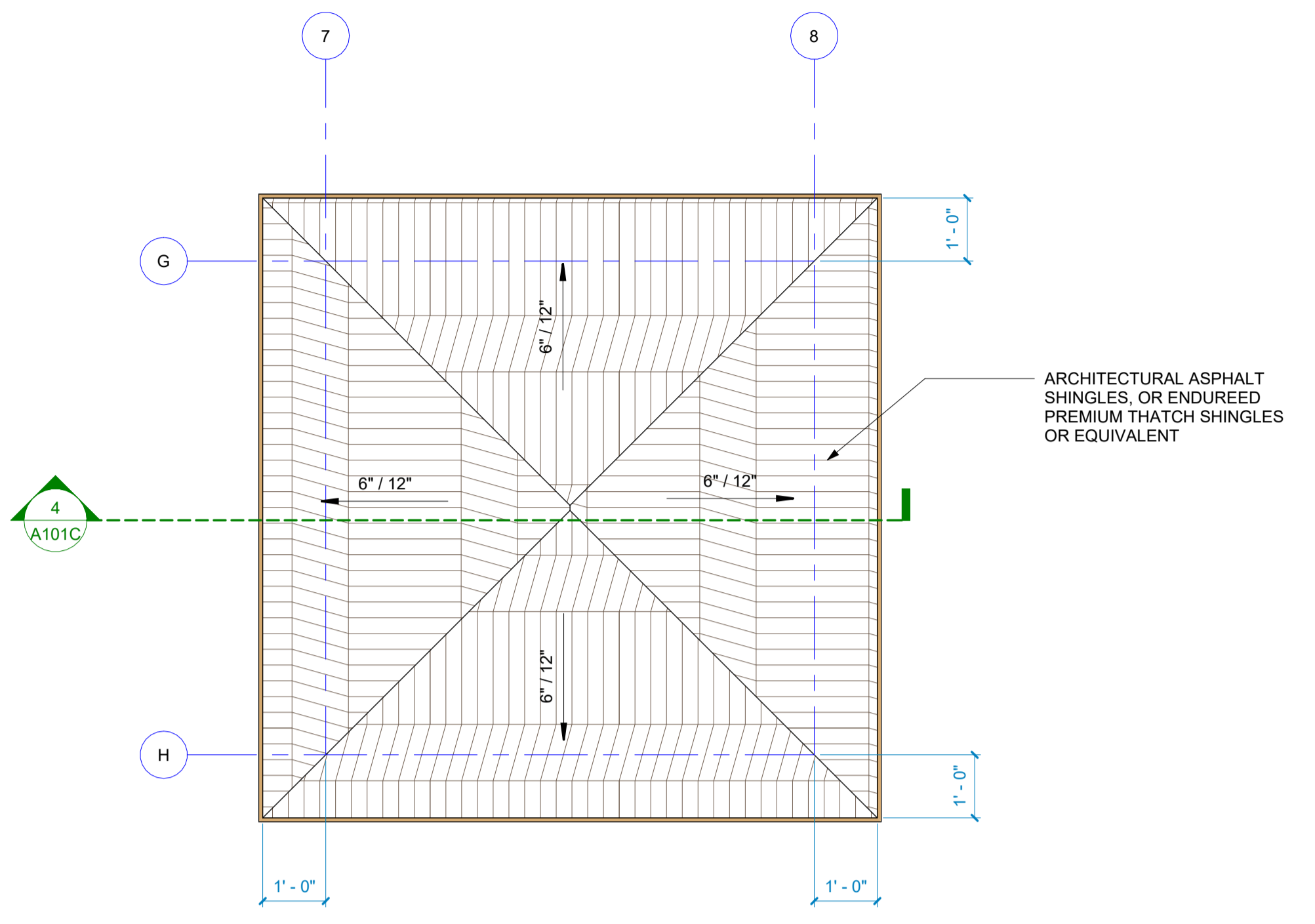
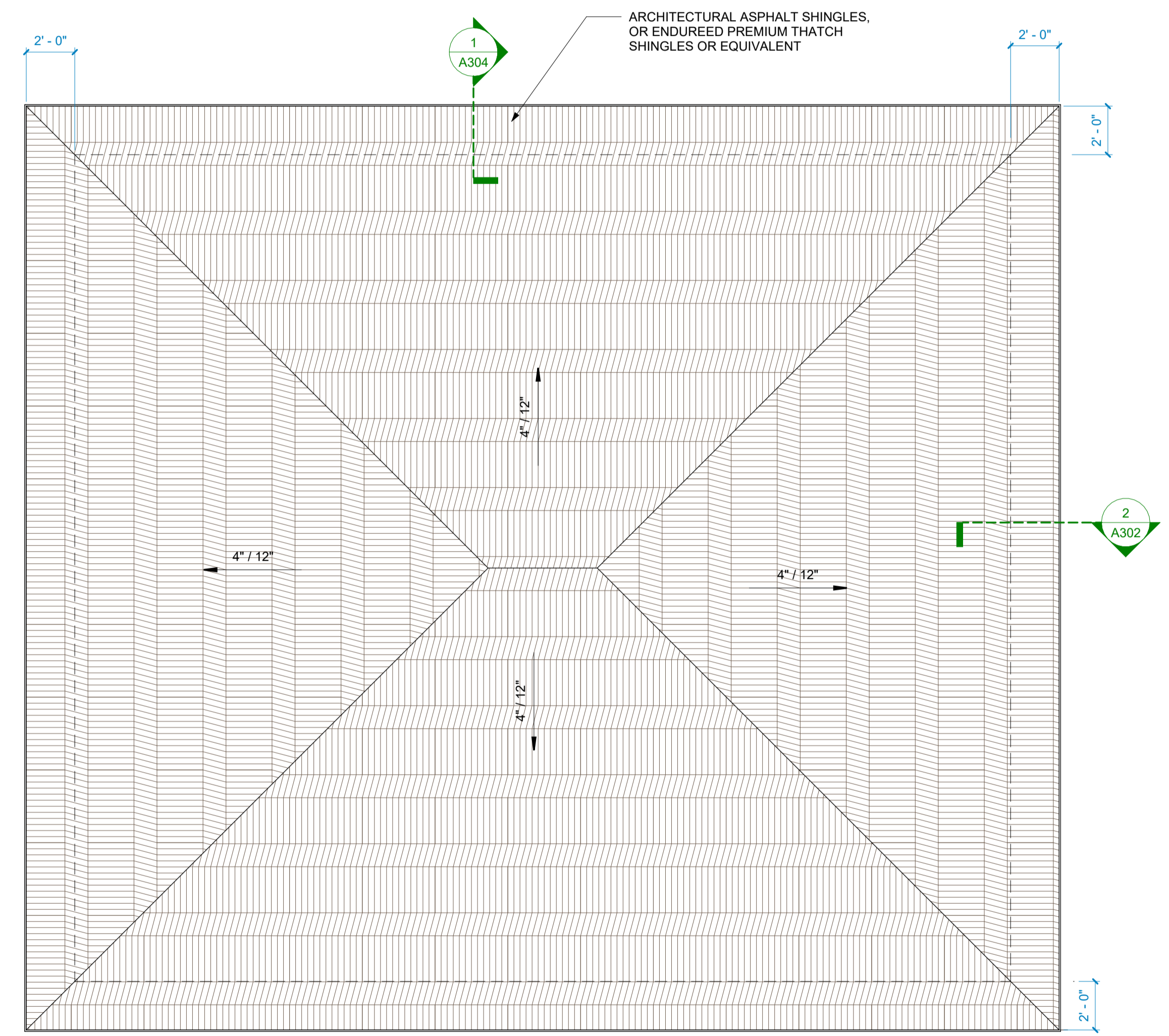
PROJECT NO: 24074
DATE: 09/26/2024
SCALE: As indicated
DRAWN BY: OU
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ROOF PLAN

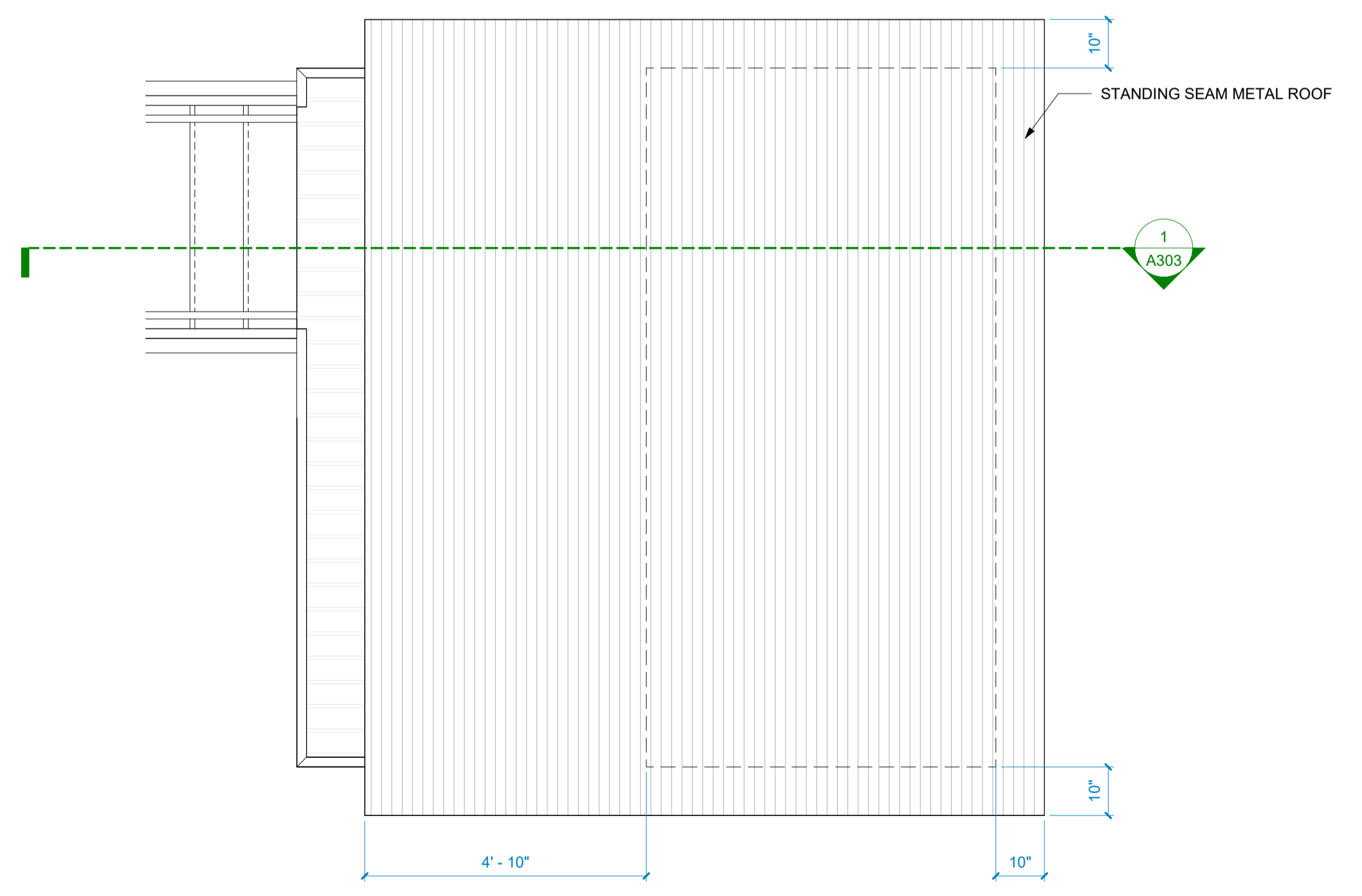
A103

ROOF NOTES

1. SLOPE ALL CRICKETS 1/2" / 12" MINIMUM, EXCEPT WHERE REQUIRED TO MAINTAIN MINIMUM 8" ROOFING/FLASHING TURN-UP HEIGHT.
2. TIE DOWNSPOUTS INTO BOOT AT GRADE AND CONNECT TO STORMWATER SYSTEM, UNLESS OTHERWISE NOTED. REFER TO CIVIL DRAWINGS FOR CONTINUATION.
3. PROVIDE CRICKETS AT ALL ROOF TOP EQUIPMENT, FIRE VENTS, EXHAUST FANS, CURBS, ETC. AS REQUIRED TO MAINTAIN POSITIVE DRAINAGE.
4. PROVIDE WALKWAY PADS AROUND MECHANICAL EQUIPMENT, BASE AND TOP OF LADDERS, AND AT DOORS.
5. REFER TO MECHANICAL FOR ROOFTOP EQUIPMENT.
6. REFER ALSO TO A5## AND A5## FOR TYPICAL ROOF DETAILS.



GAZEBO ROOF PLAN
1/2" = 1'-0" **2**

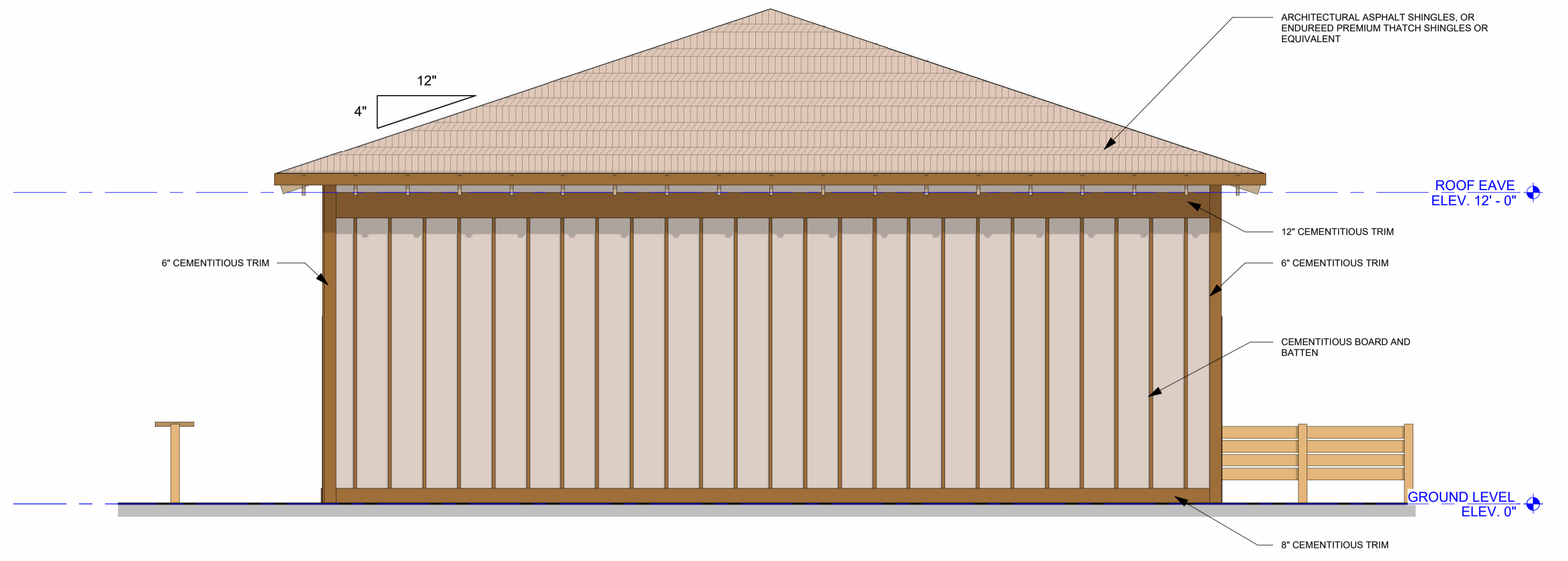


LIFE GUARD ROOF PLAN
1/2" = 1'-0" **3**

ROOF PLAN
1/4" = 1'-0" **1**



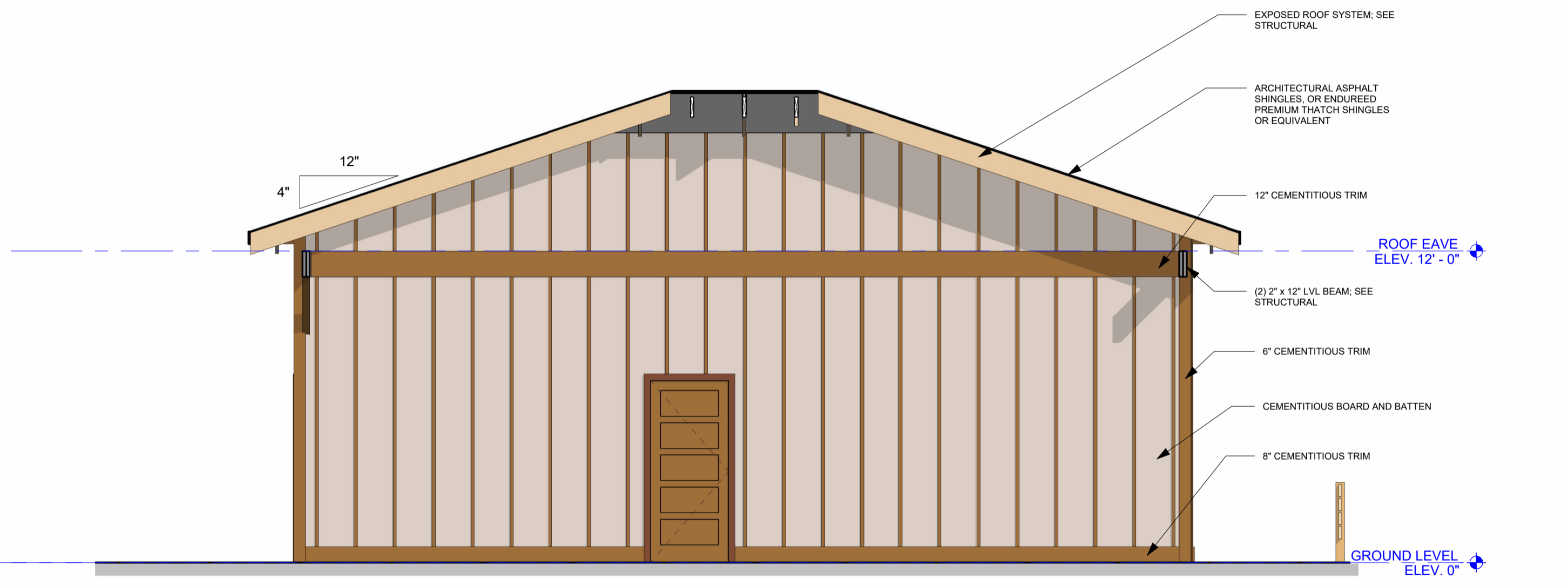
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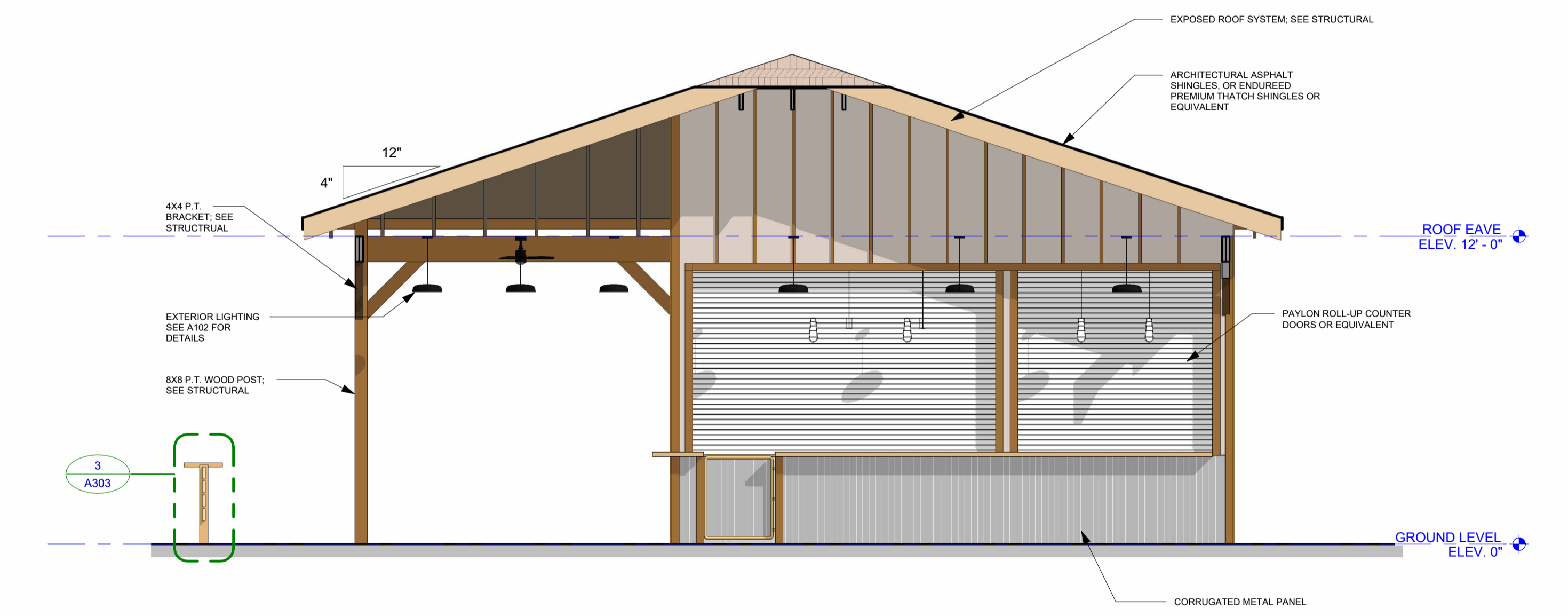
EAST ELEVATION
 1/4" = 1'-0" **6**



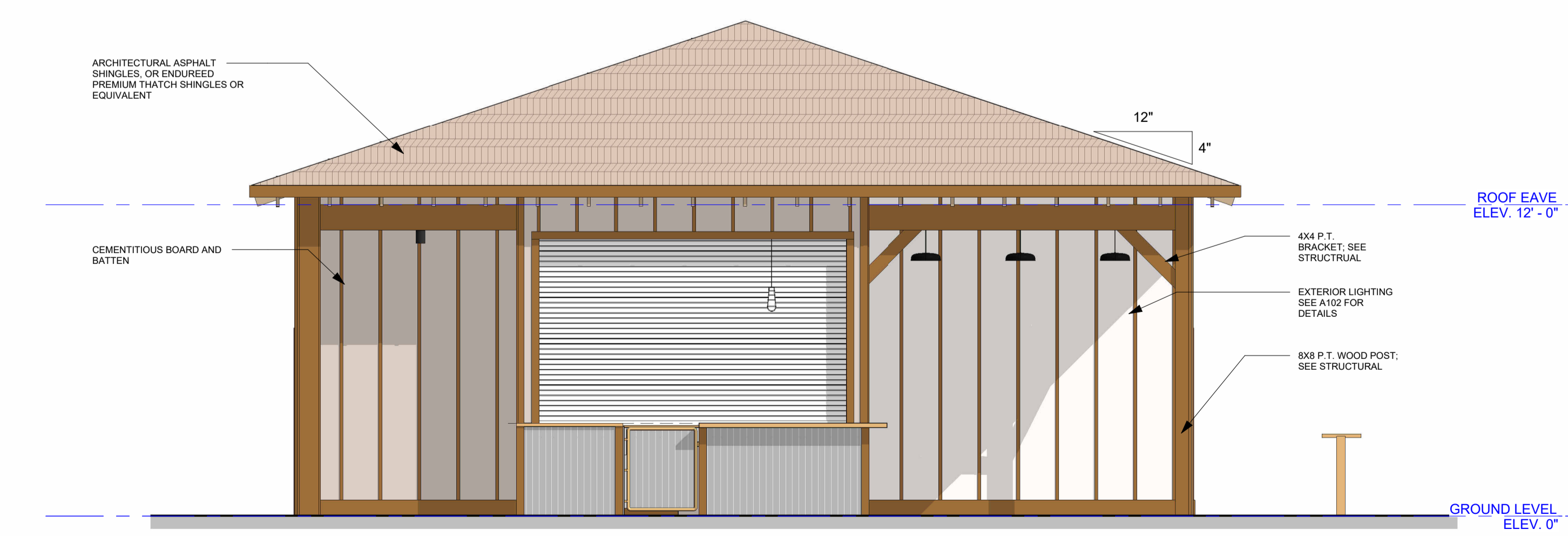
NORTH ELEVATION
 1/4" = 1'-0" **5**



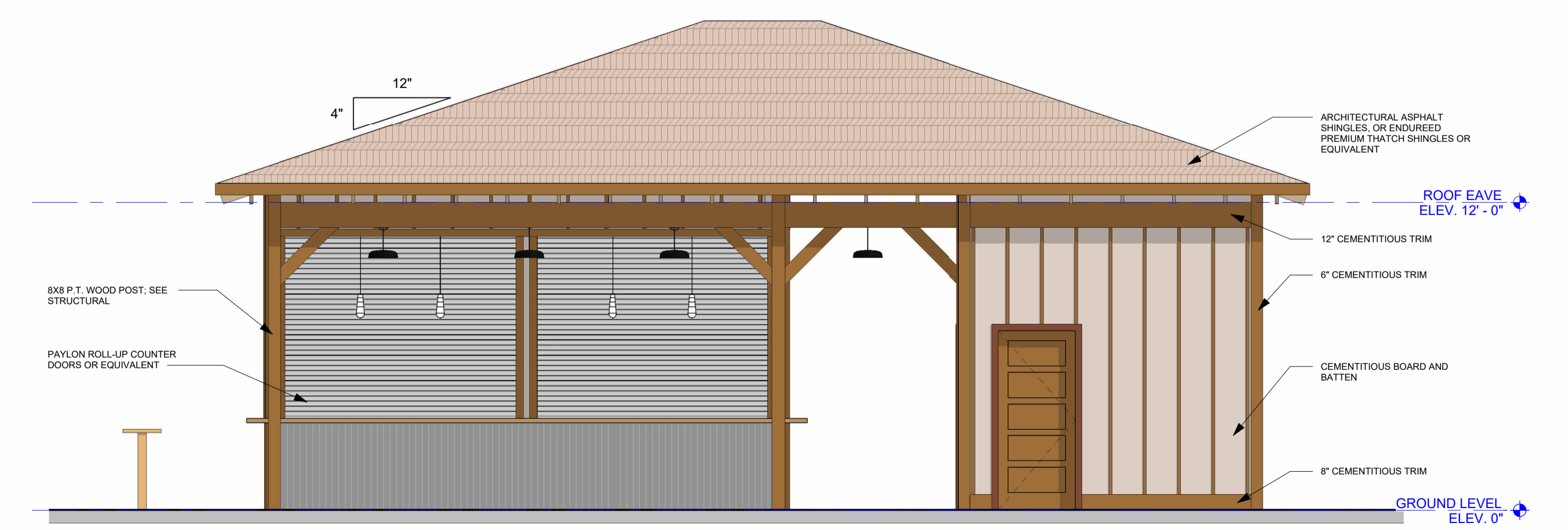
INTERIOR WEST FACADE
 1/4" = 1'-0" **4**



INTERIOR EAST FACADE
 1/4" = 1'-0" **3**



WEST ELEVATION
 1/4" = 1'-0" **2**



SOUTH ELEVATION
 1/4" = 1'-0" **1**

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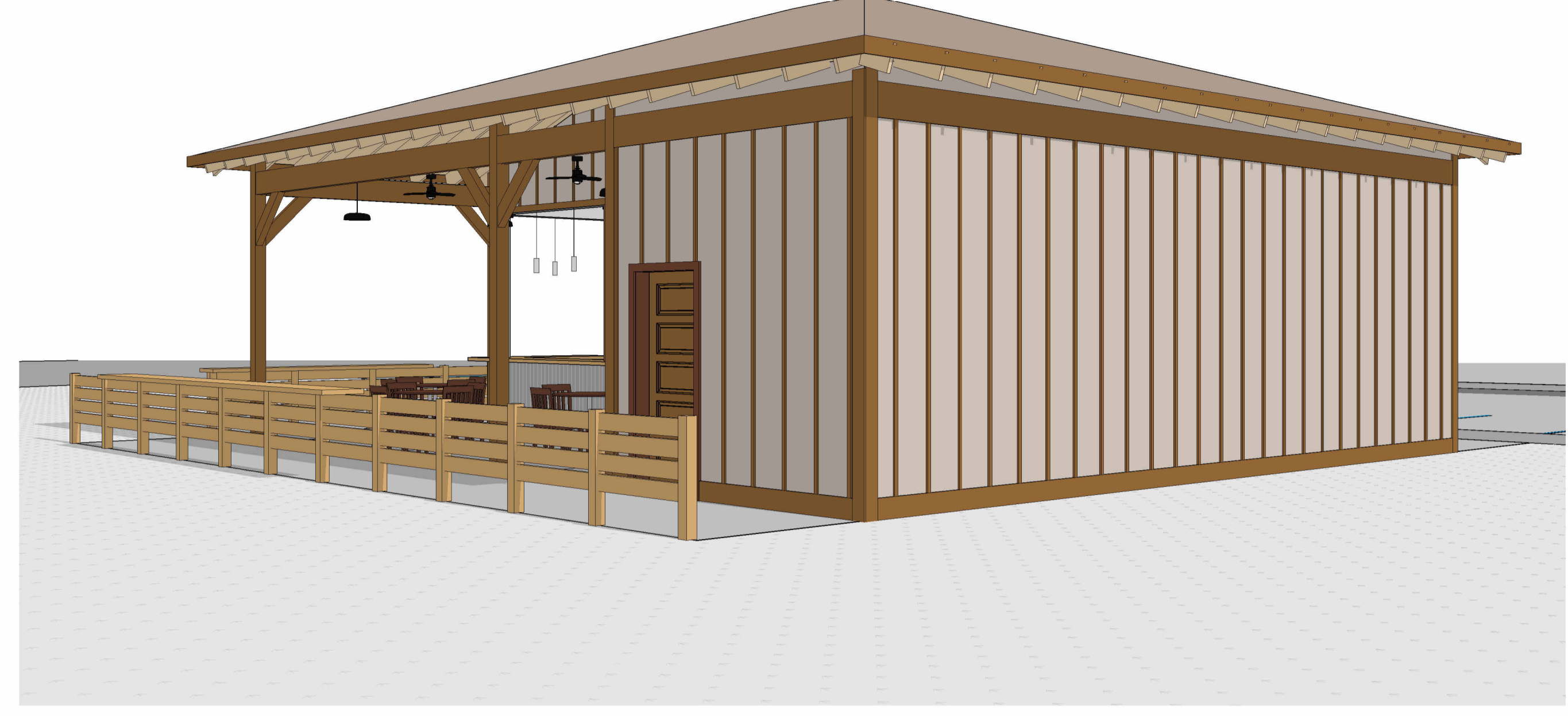
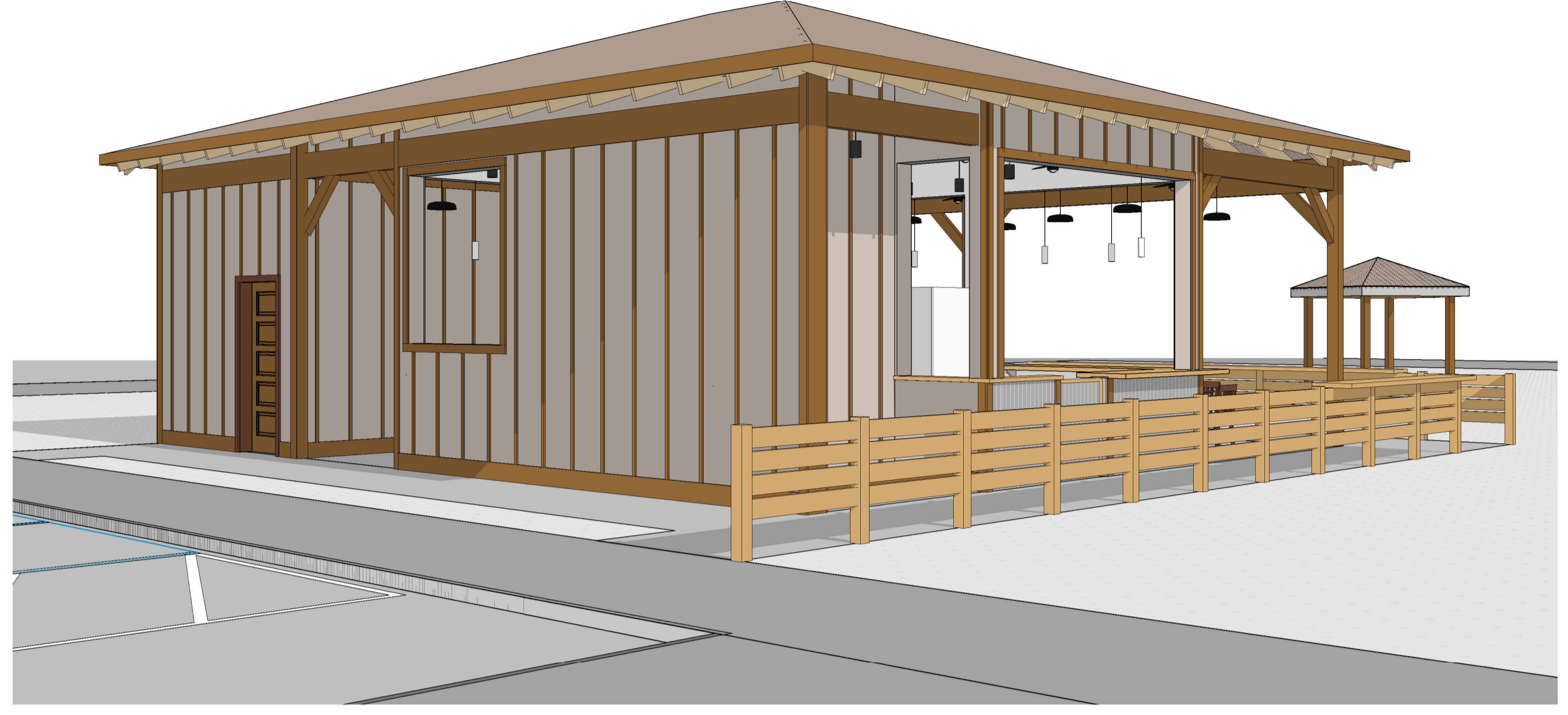
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DRAWN BY:	OU	
PROJ MGR:	WB	

EXTERIOR ELEVATIONS

A201

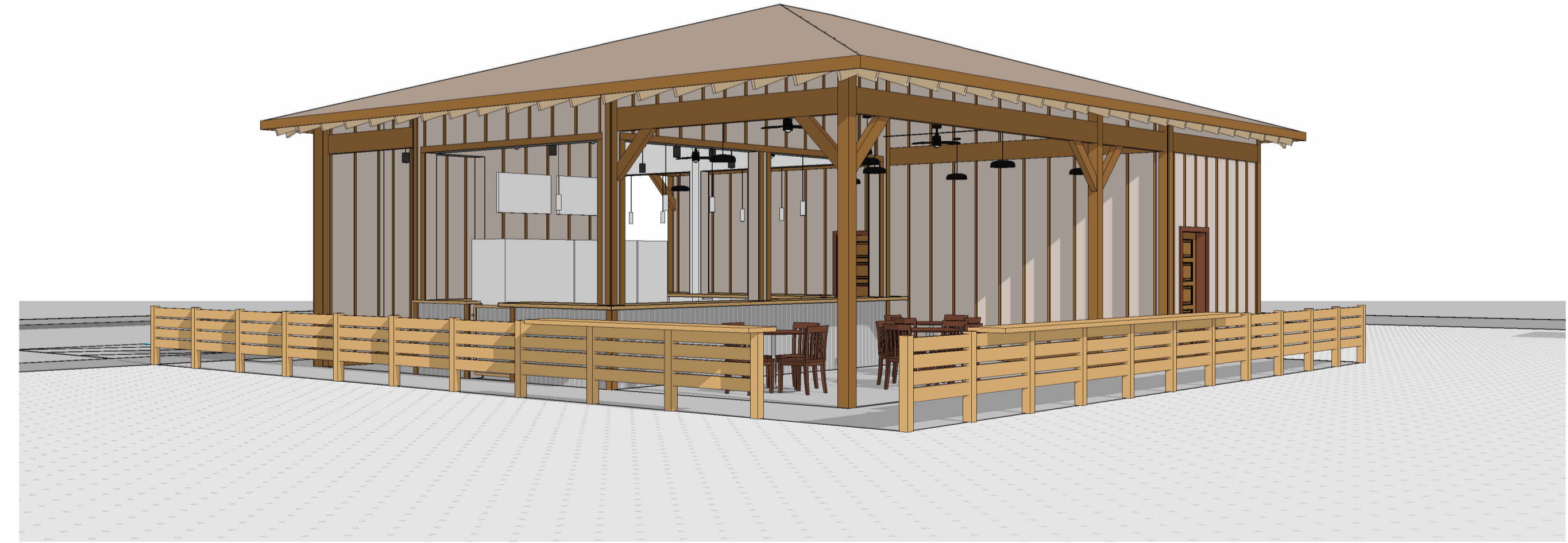
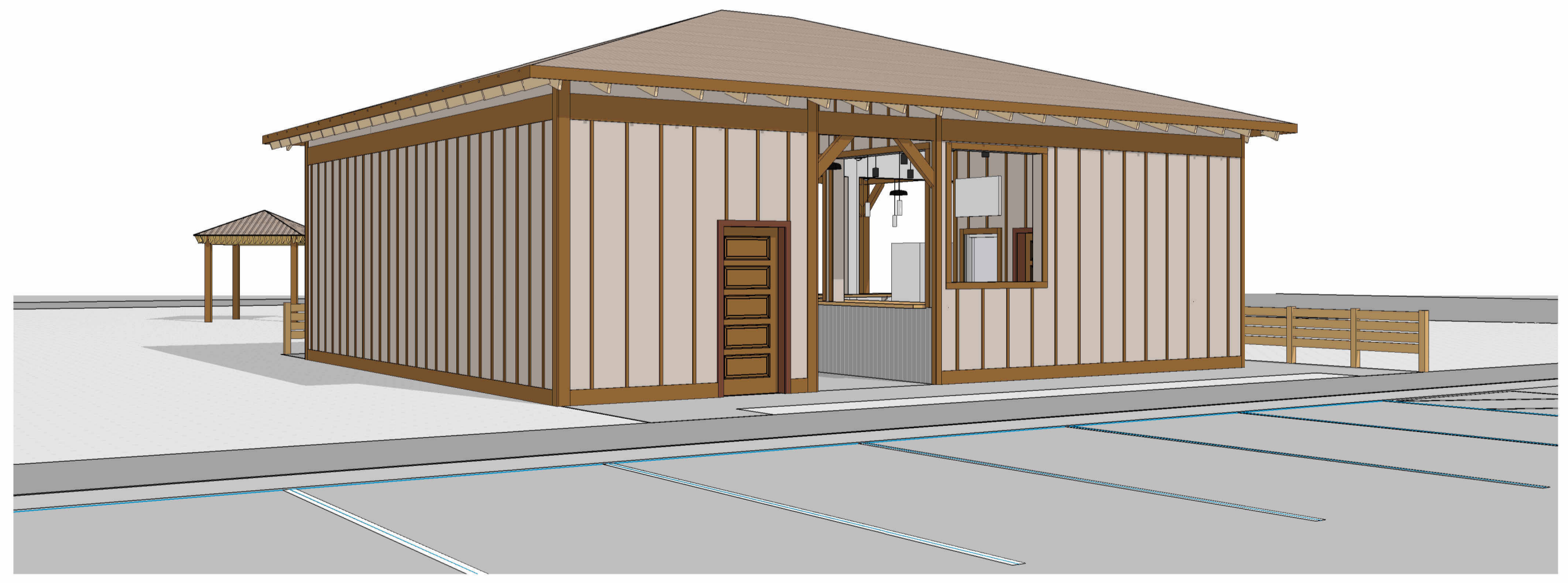


MARK LOUDERMILK ARCHITECTURE
201 N. FRONT ST. SUITE 1004
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910.769.3583
www.loudermilkarch.com



3D View (4) 4

3D View (3) 3



3D View (2) 2

3D View 1 1

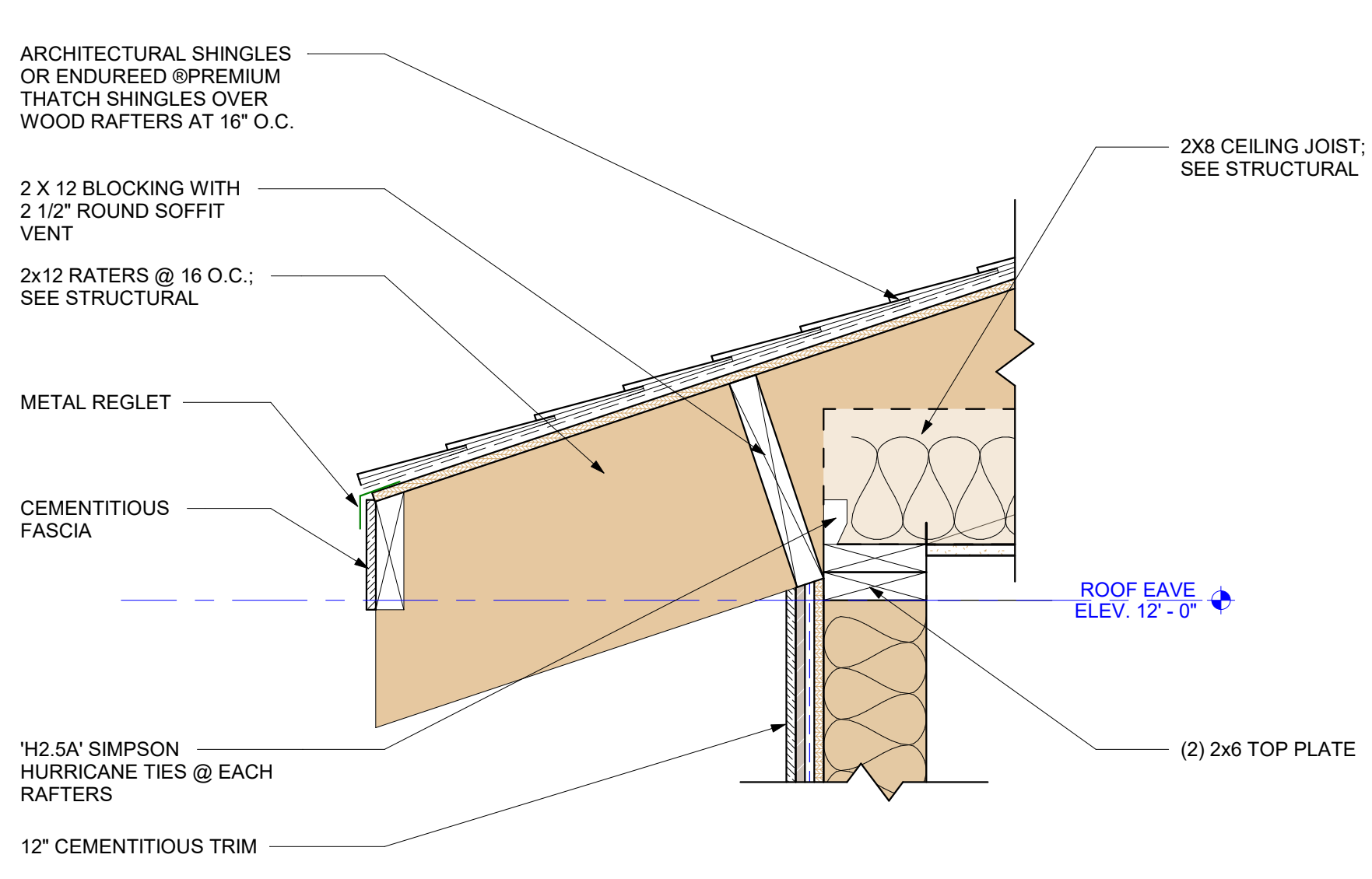
SURF'S UP
MINIATURE GOLF STRUCTURES
1360 BRIDGE BARRIER RD.
CAROLINA BEACH, NC 28428

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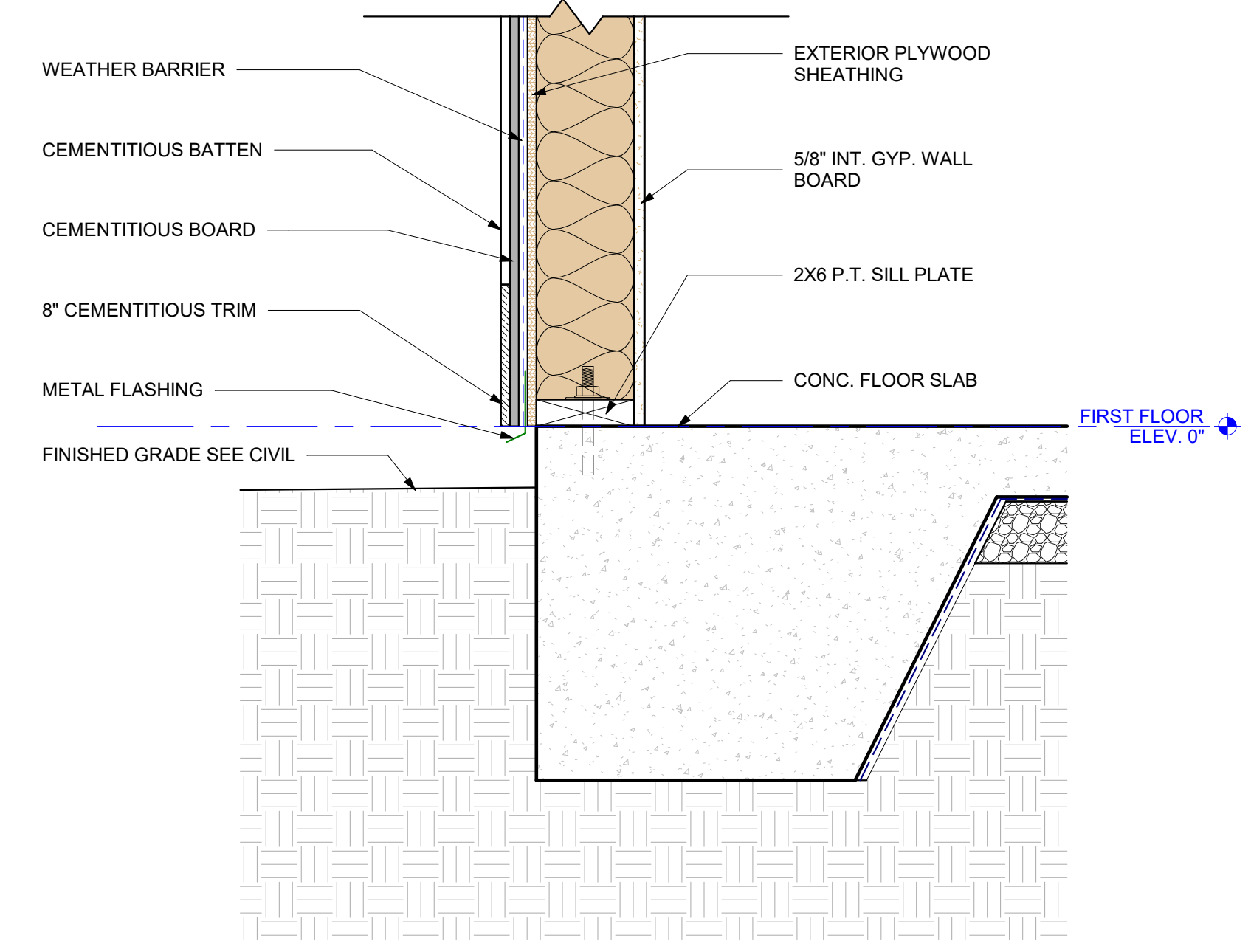
Mark	Date	Description
PROJECT NO:	24074	
DATE:	09/26/2024	
SCALE:		
DRAWN BY:	OU	
PROJ MGR:	WB	

EXTERIOR
PERSPECTIVE

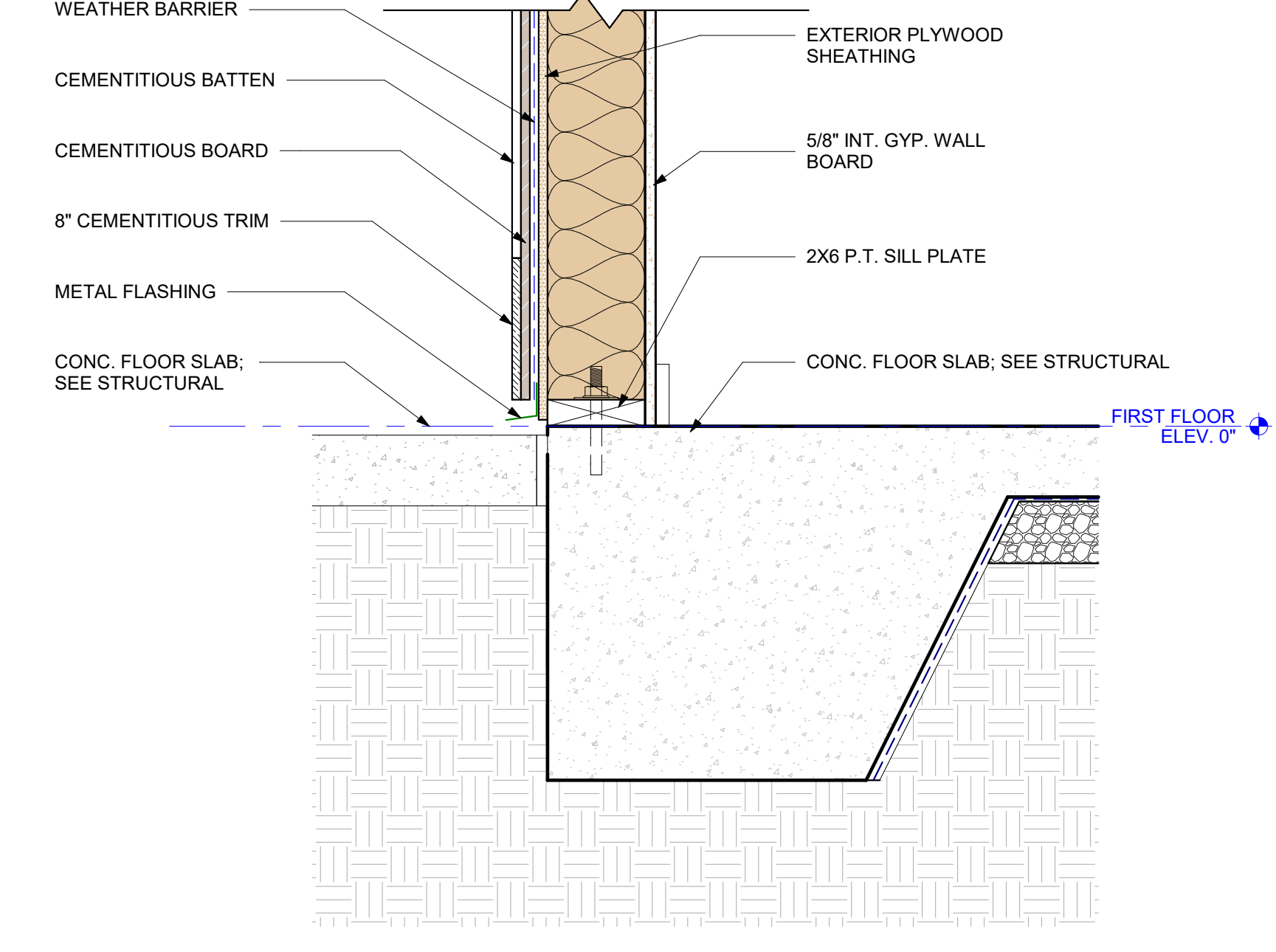
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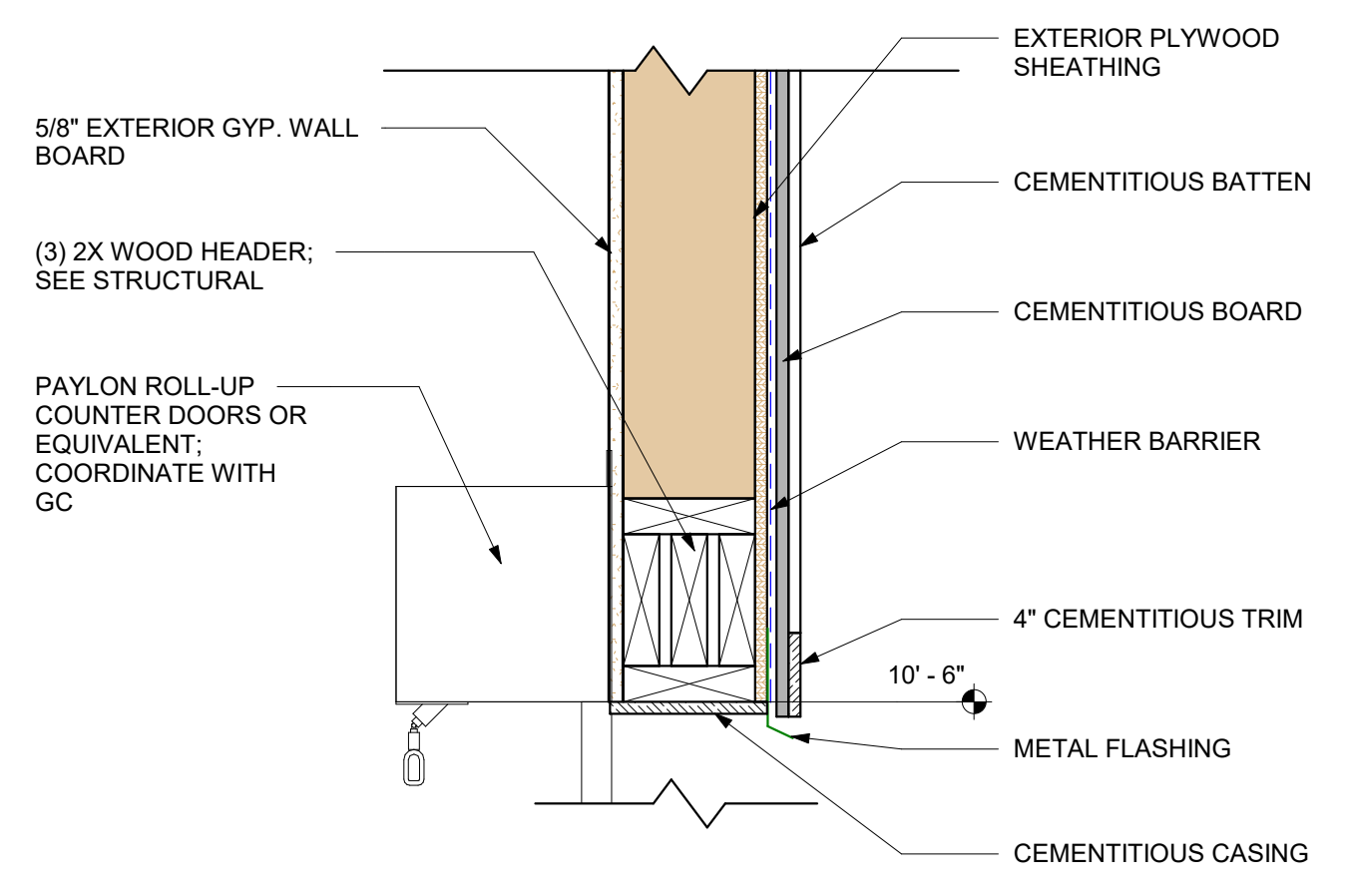
TIKI ROOF SOFFIT DETAIL AT RESTROOM
 1 1/2" = 1'-0" **7**



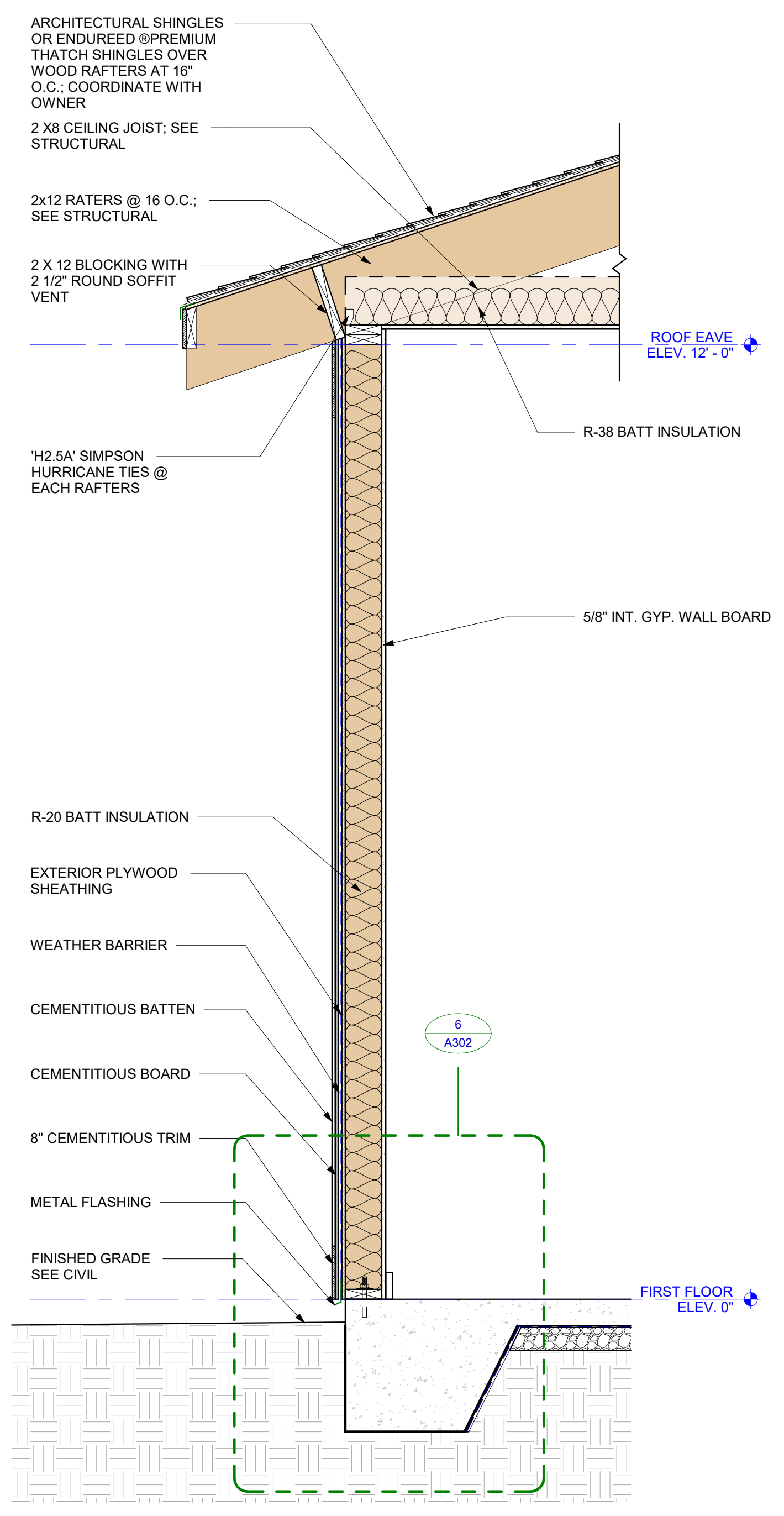
TIKI SLAB DETAIL 1
 1 1/2" = 1'-0" **6**



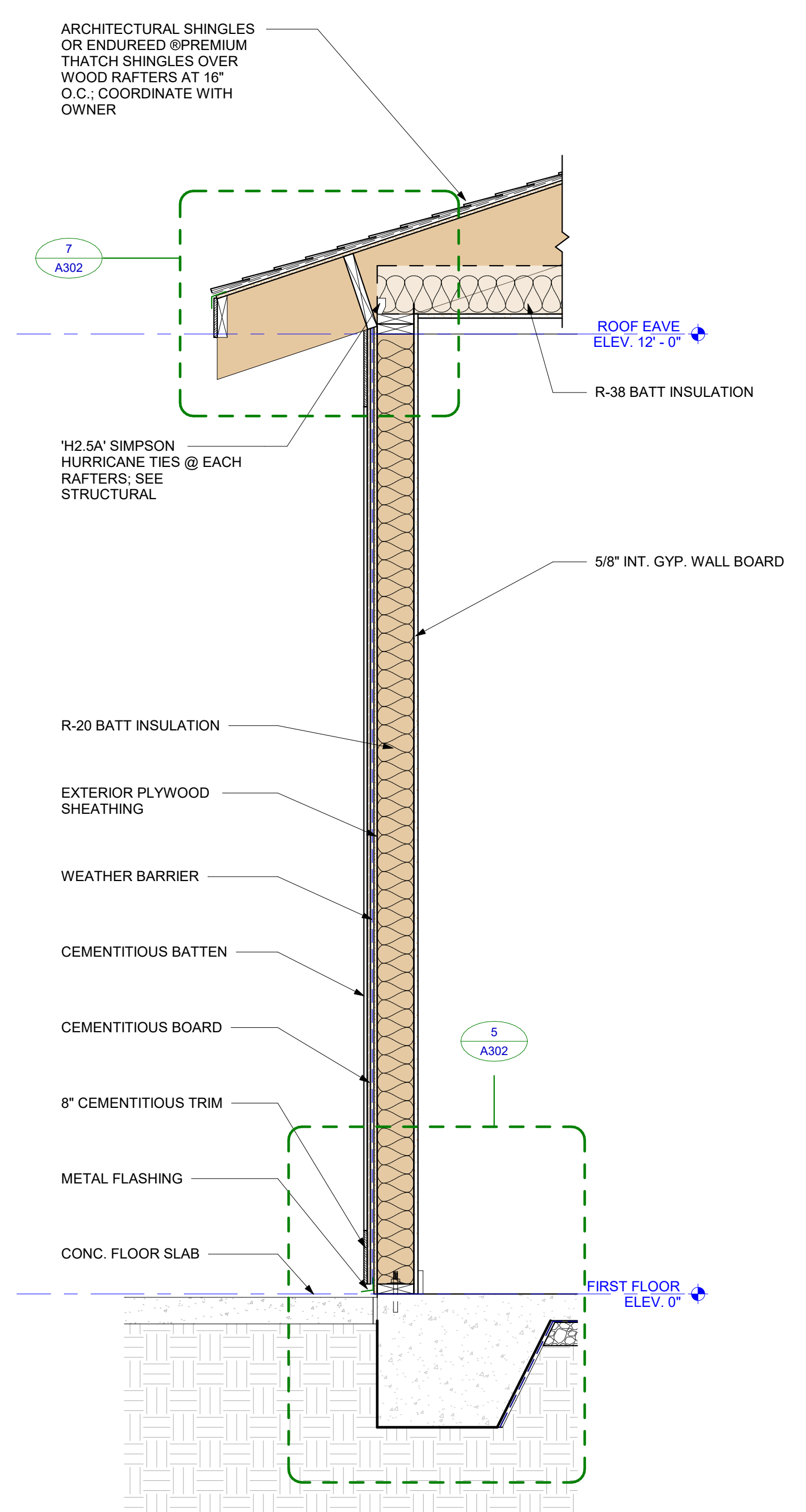
TIKI SLAB DETAIL 2
 1 1/2" = 1'-0" **5**



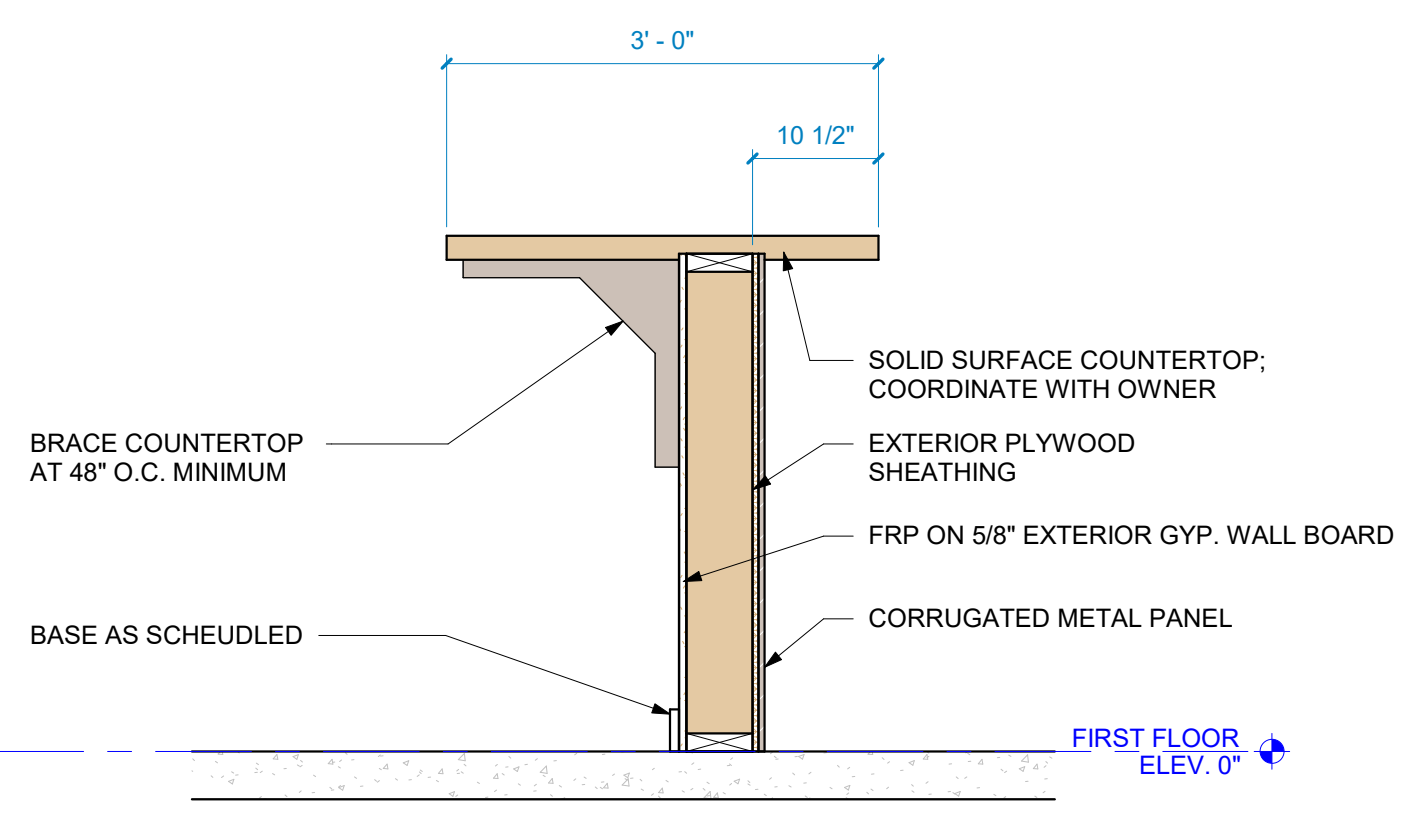
OVERHEAD TIKI HEADER DETAIL
 1 1/2" = 1'-0" **4**



SECTION - TIKI RESTROOM WALLS
 3/4" = 1'-0" **2**



TIKI BAR SECTION - OFFICE WALLS
 3/4" = 1'-0" **1**



BAR COUNTERTOP SECTION 2
 3/4" = 1'-0" **3**

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Mark	Date	Permit Comments
1	12/06	

PROJECT NO: 24074
 DATE: 09/26/2024
 SCALE: As indicated
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TIKI BAR WALL SECTION AND DETAILS

A302



SURF'S UP
 MINIATURE GOLF STRUCTURES
 1360 BRIDGE BARRIER RD.
 CAROLINA BEACH, NC 28428

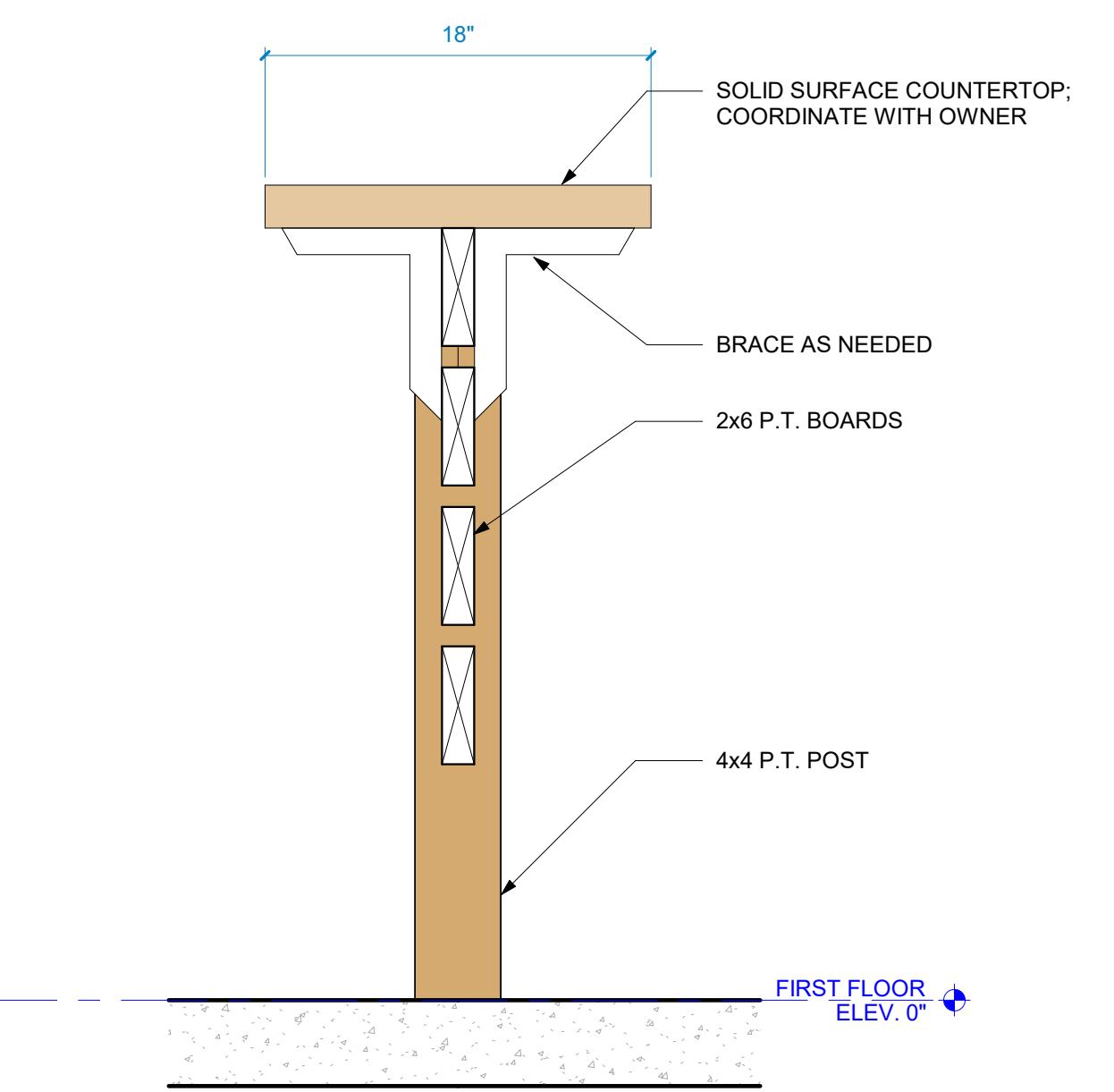
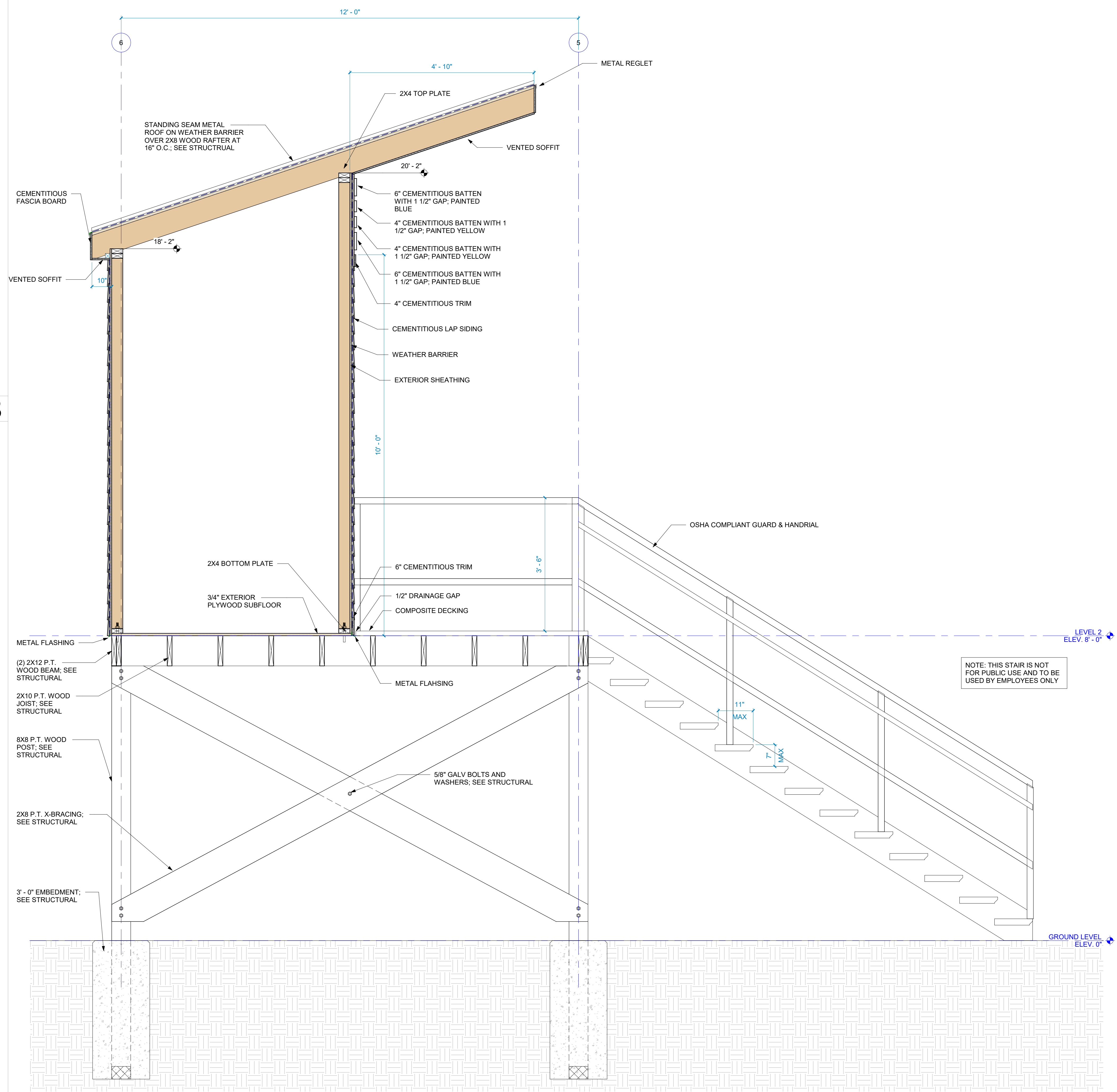
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Mark	Date	Permit Comments
1	12/06	

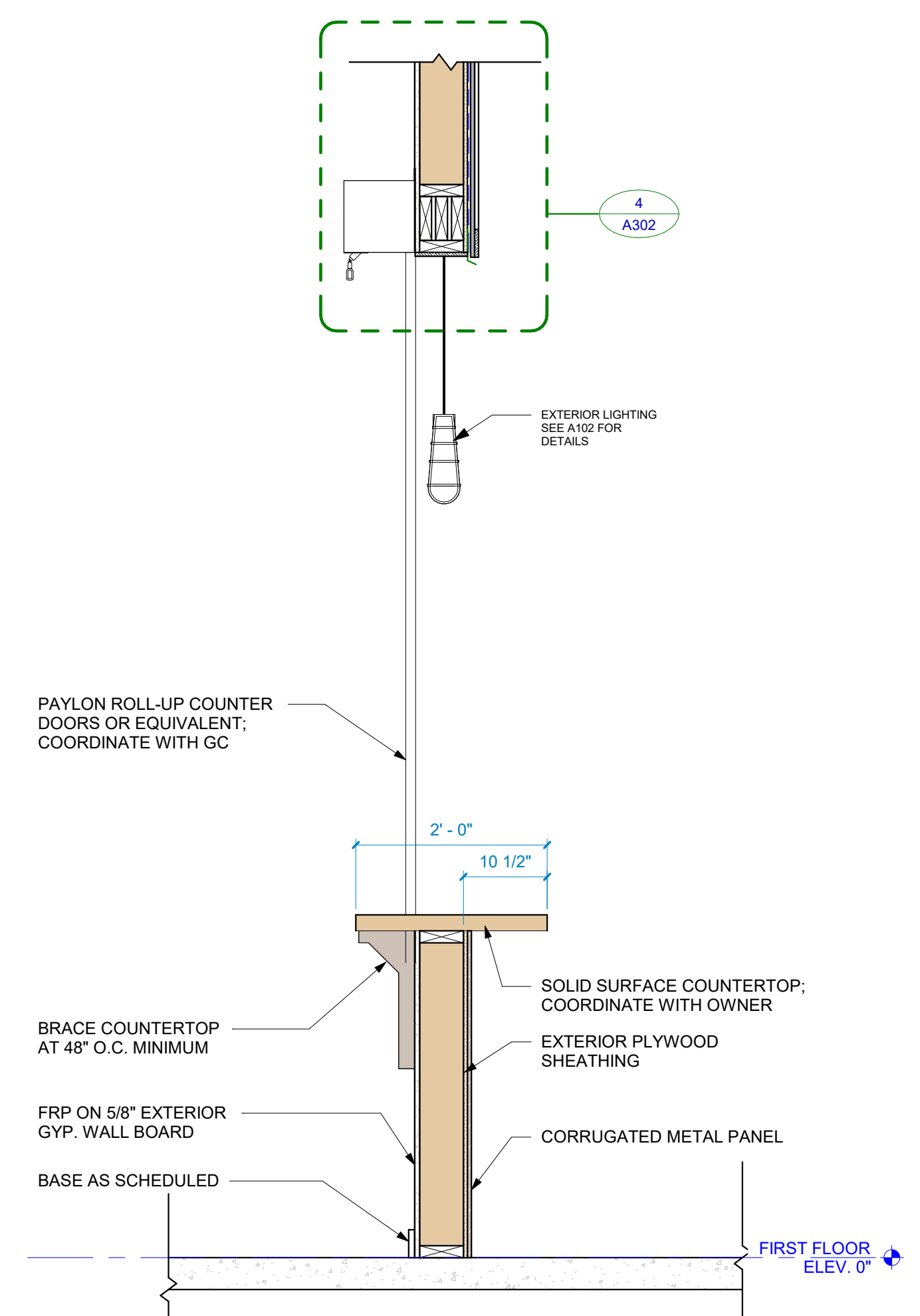
PROJECT NO: 24074
 DATE: 09/26/2024
 SCALE: As indicated
 DRAWN BY: OU
 PROJ MGR: WB

WALL SECTION AND DETAILS

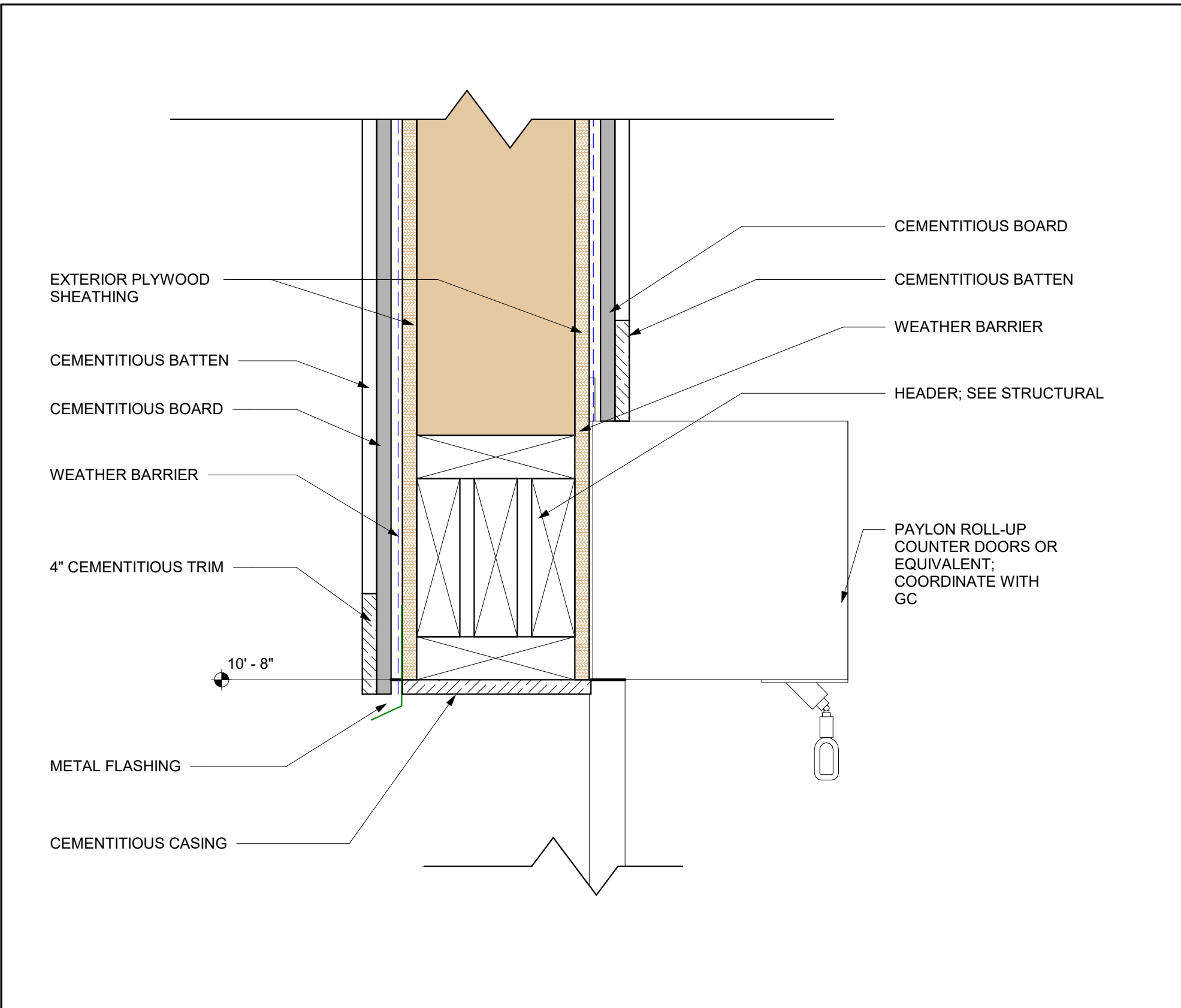
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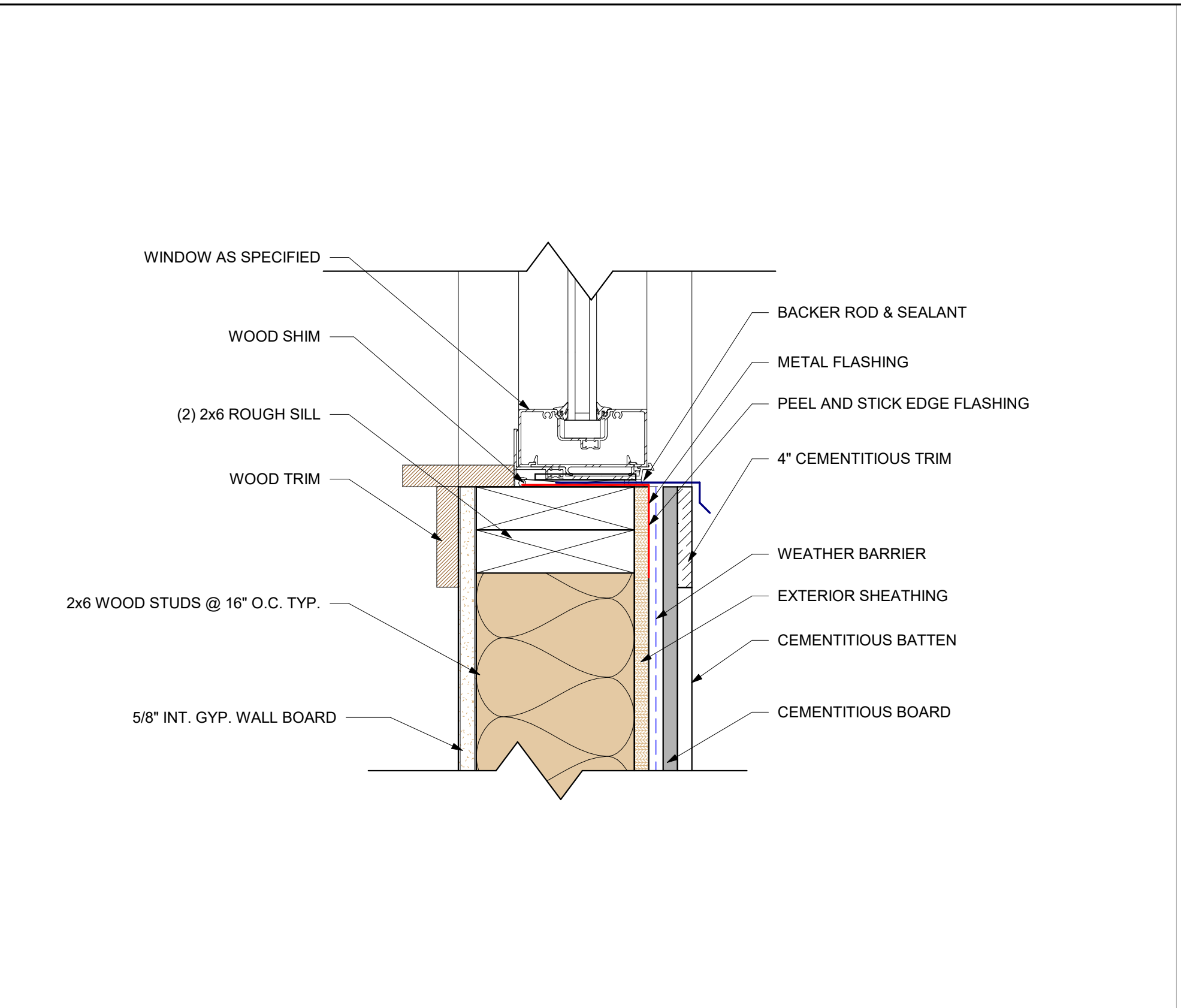
TIKI RAILING COUNTERTOP DETAIL
 1 1/2" = 1'-0" 3



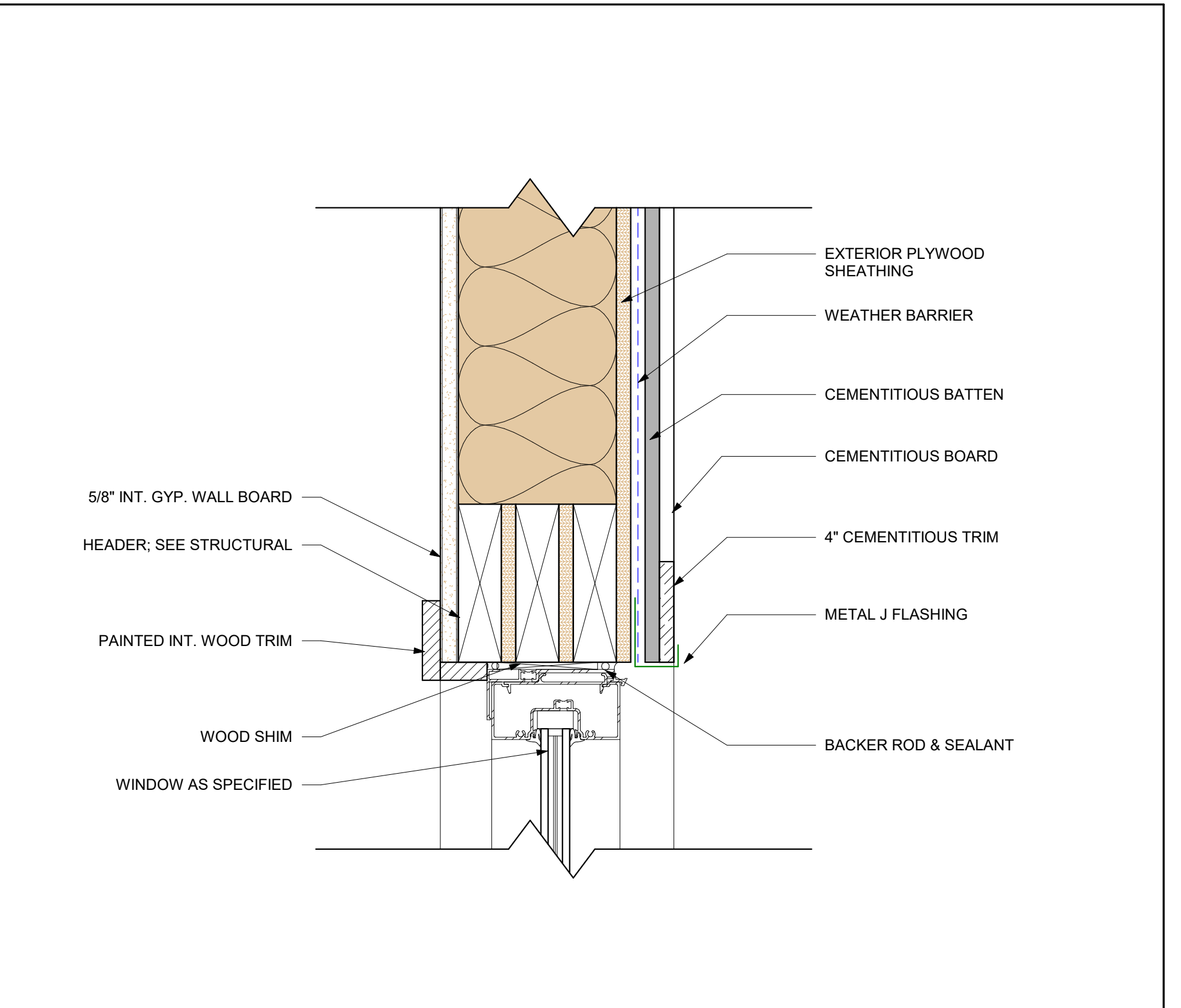
TIKI BAR COUNTERTOP SECTION 1
 3/4" = 1'-0" 2



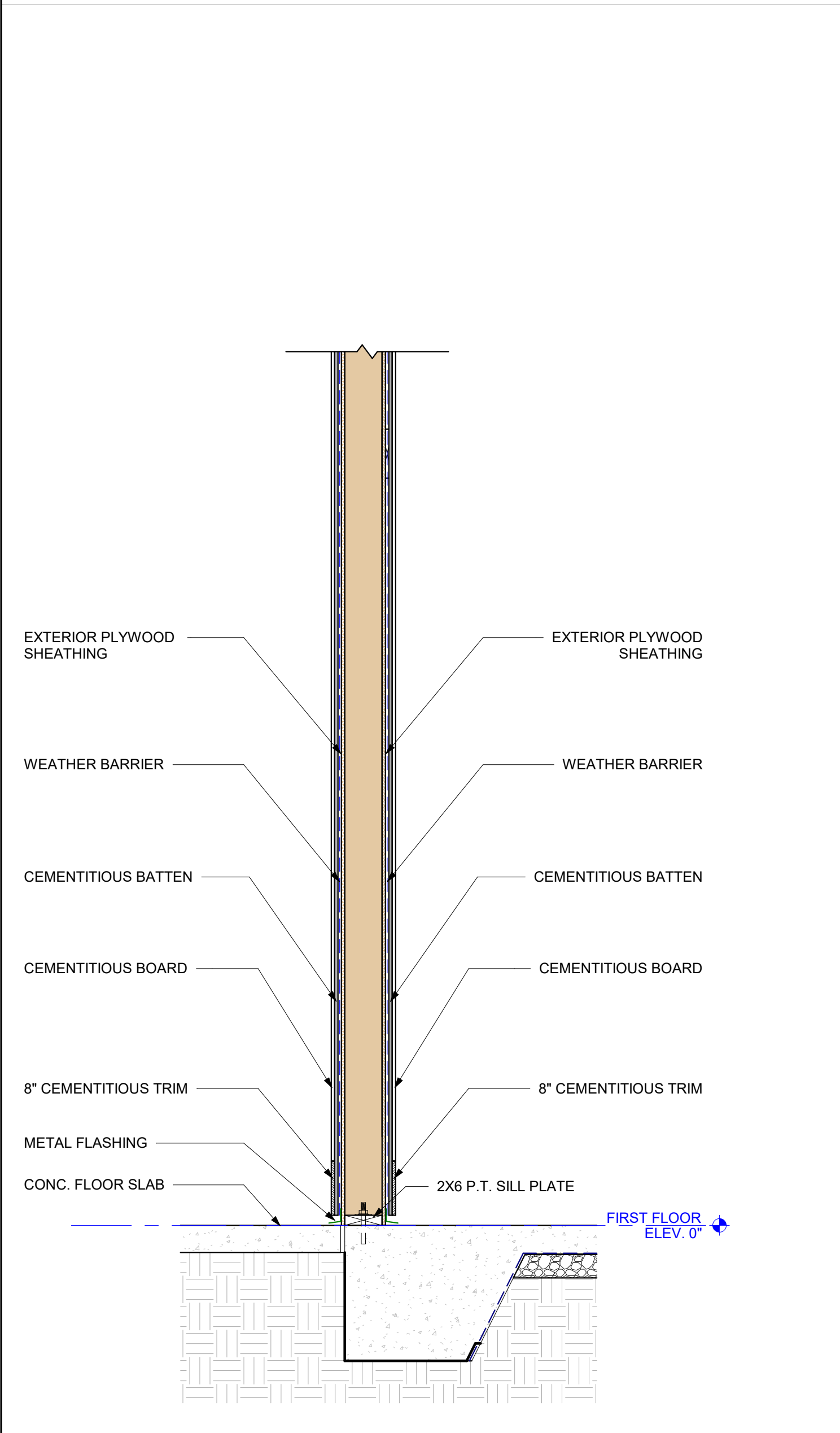
Detail 4
3" = 1'-0"



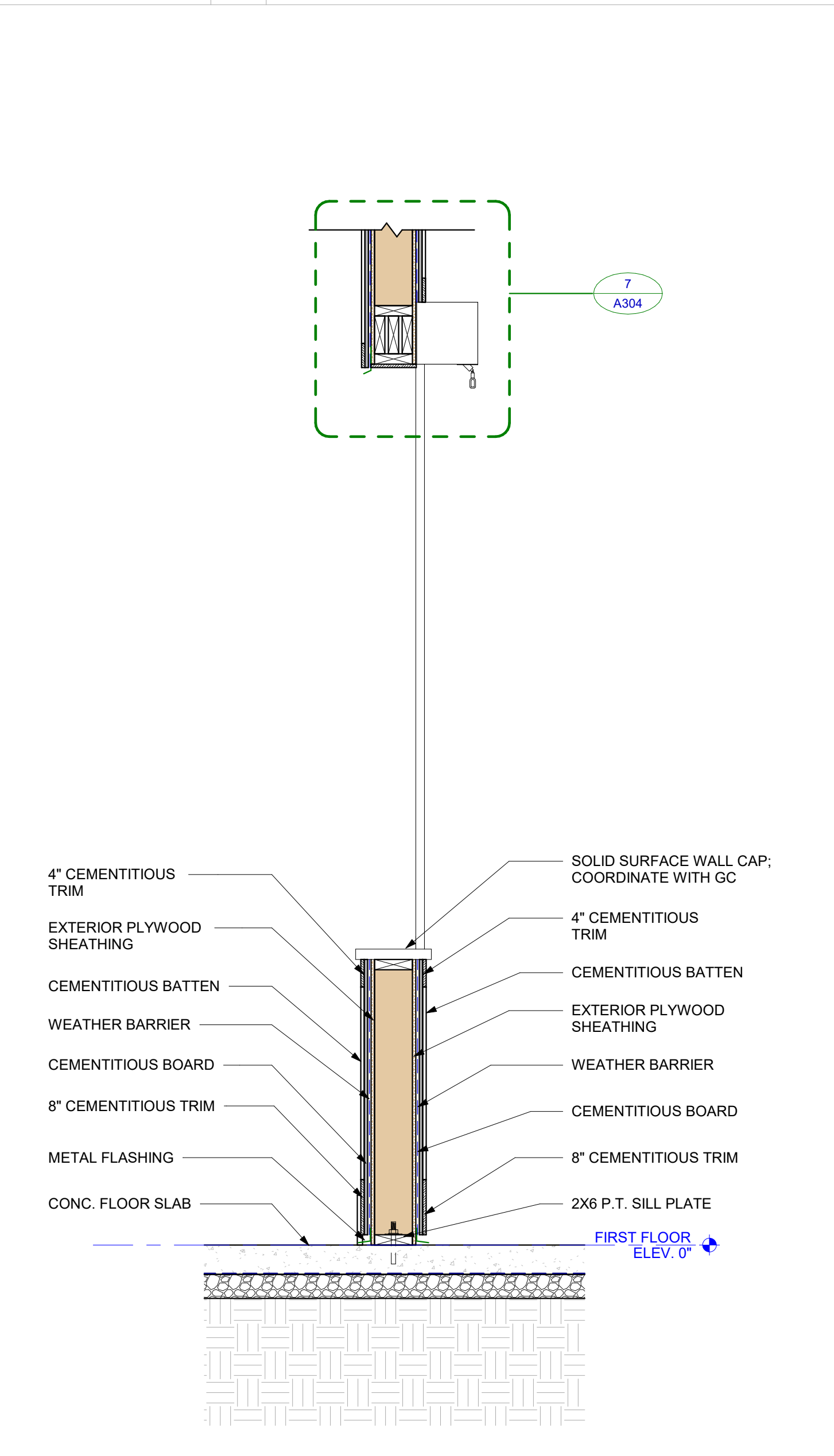
TYP. SILL DETAIL
3" = 1'-0"



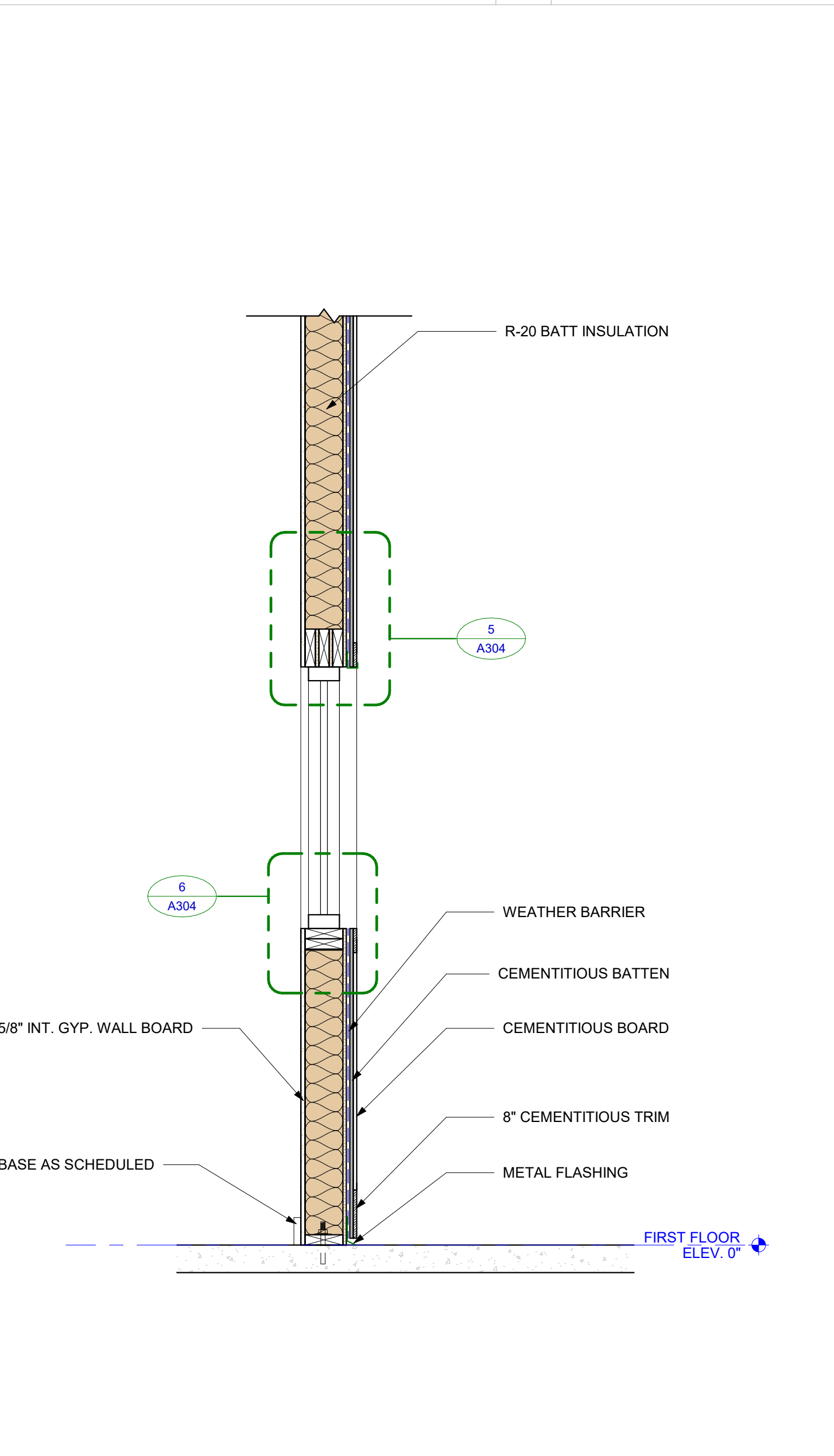
TYP. HEADER DETAIL (1)
3" = 1'-0"



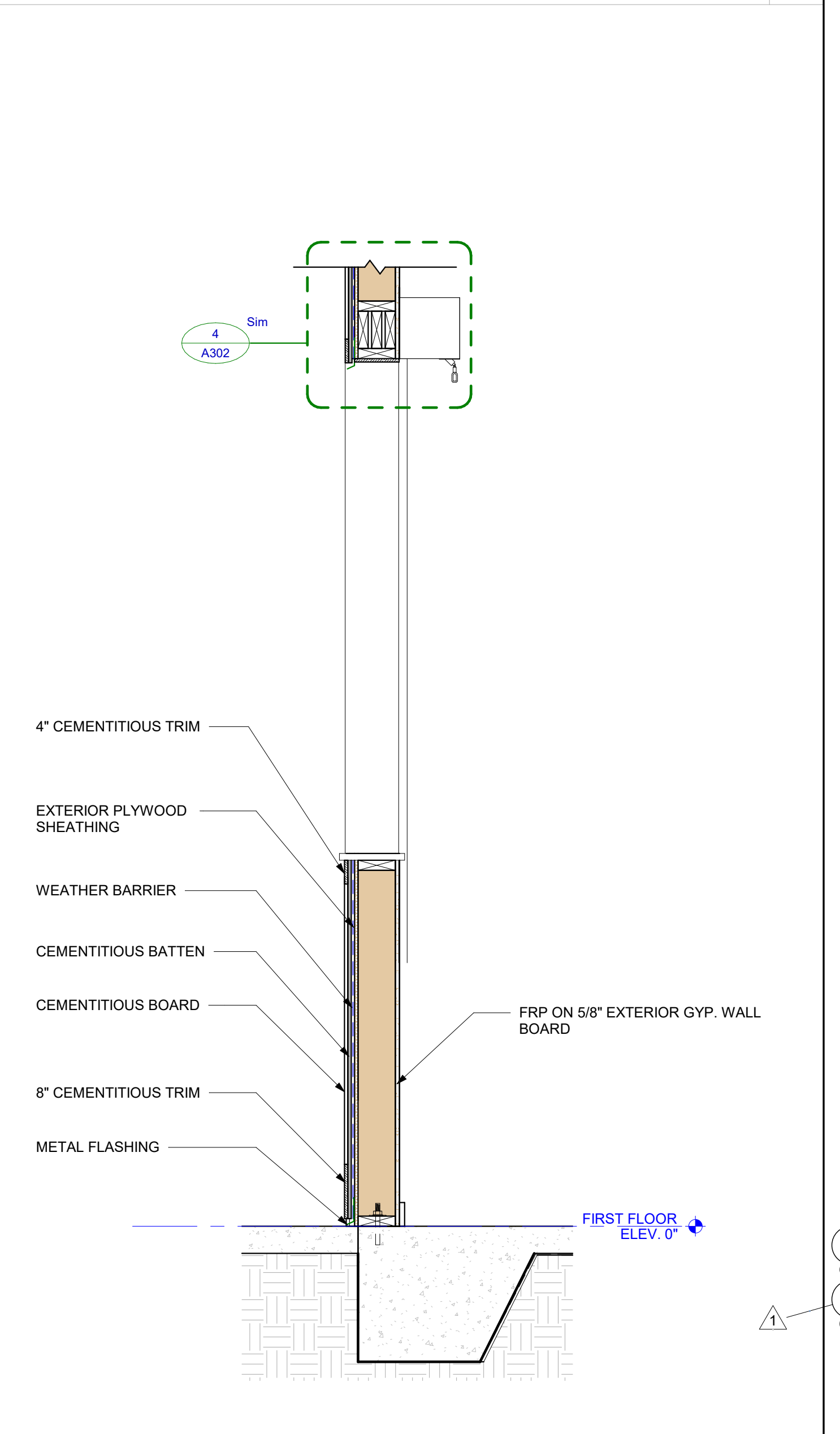
PHOTOBOOTH WALL SECTION 2
3/4" = 1'-0"



PHOTOBOOTH WALL SECTION 1
3/4" = 1'-0"



SECTION THROUGH OFFICE WINDOW
3/4" = 1'-0"



SECTION THROUGH SERVING AREA 2
3/4" = 1'-0"

SURF'S UP
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Mark	Date	Permit Comments
1	12/06	
2	09/26/2024	

PROJECT NO: 24074
 DATE: 09/26/2024
 SCALE: As indicated
 DRAWN BY: OU
 PROJ MGR: WB

TIKI BAR WALL SECTION AND DETAILS

A304

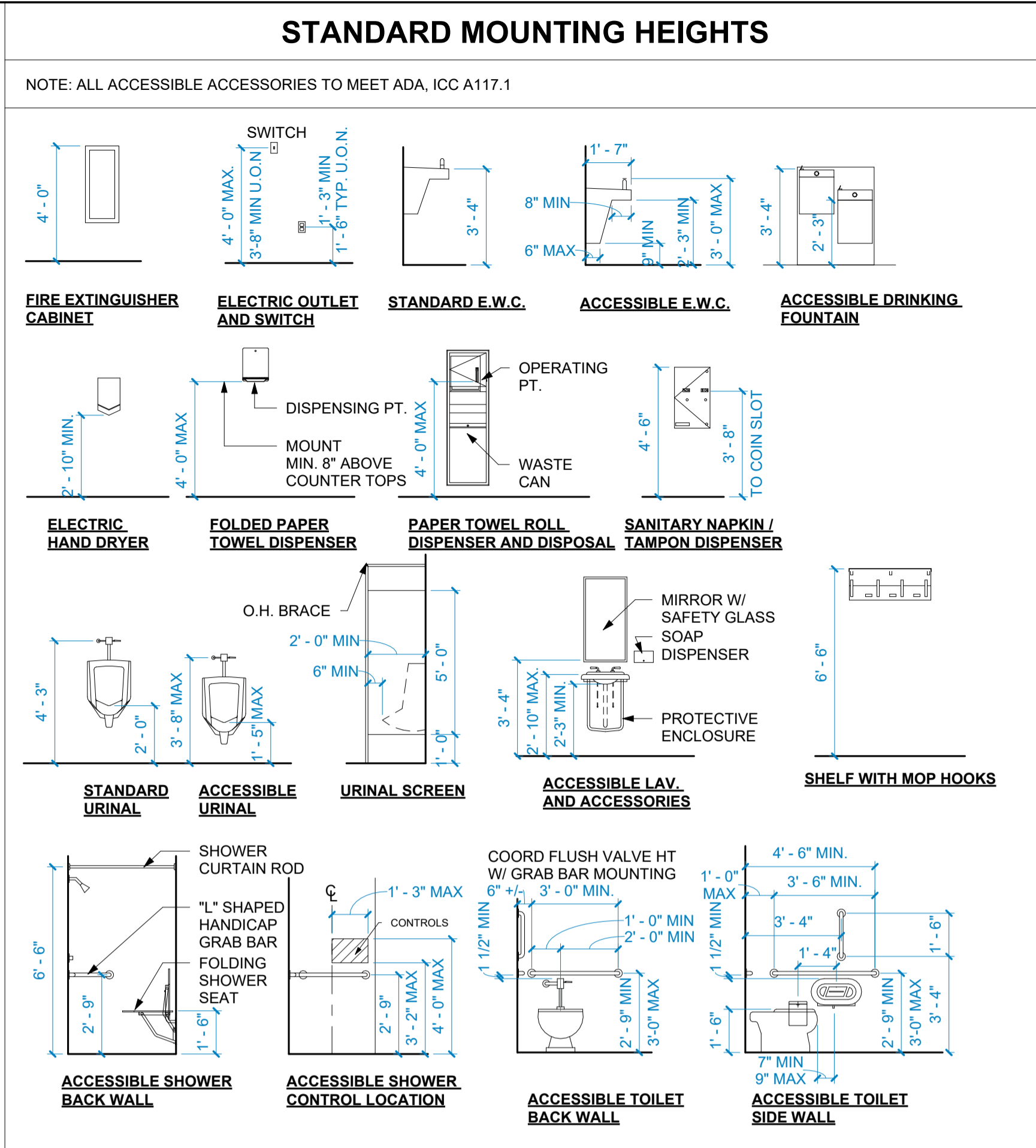
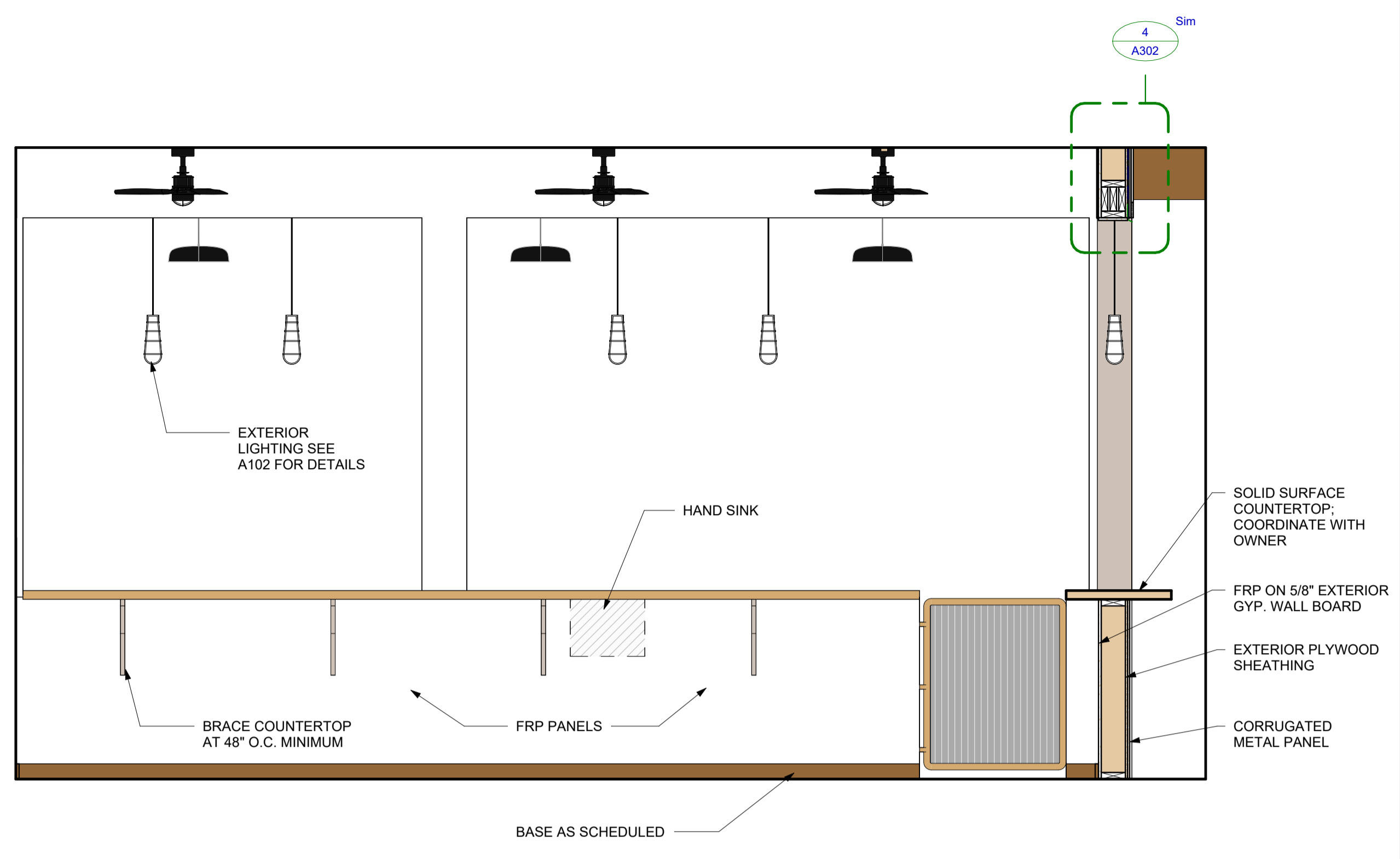


KEYNOTES - TOILET ACCESSORIES

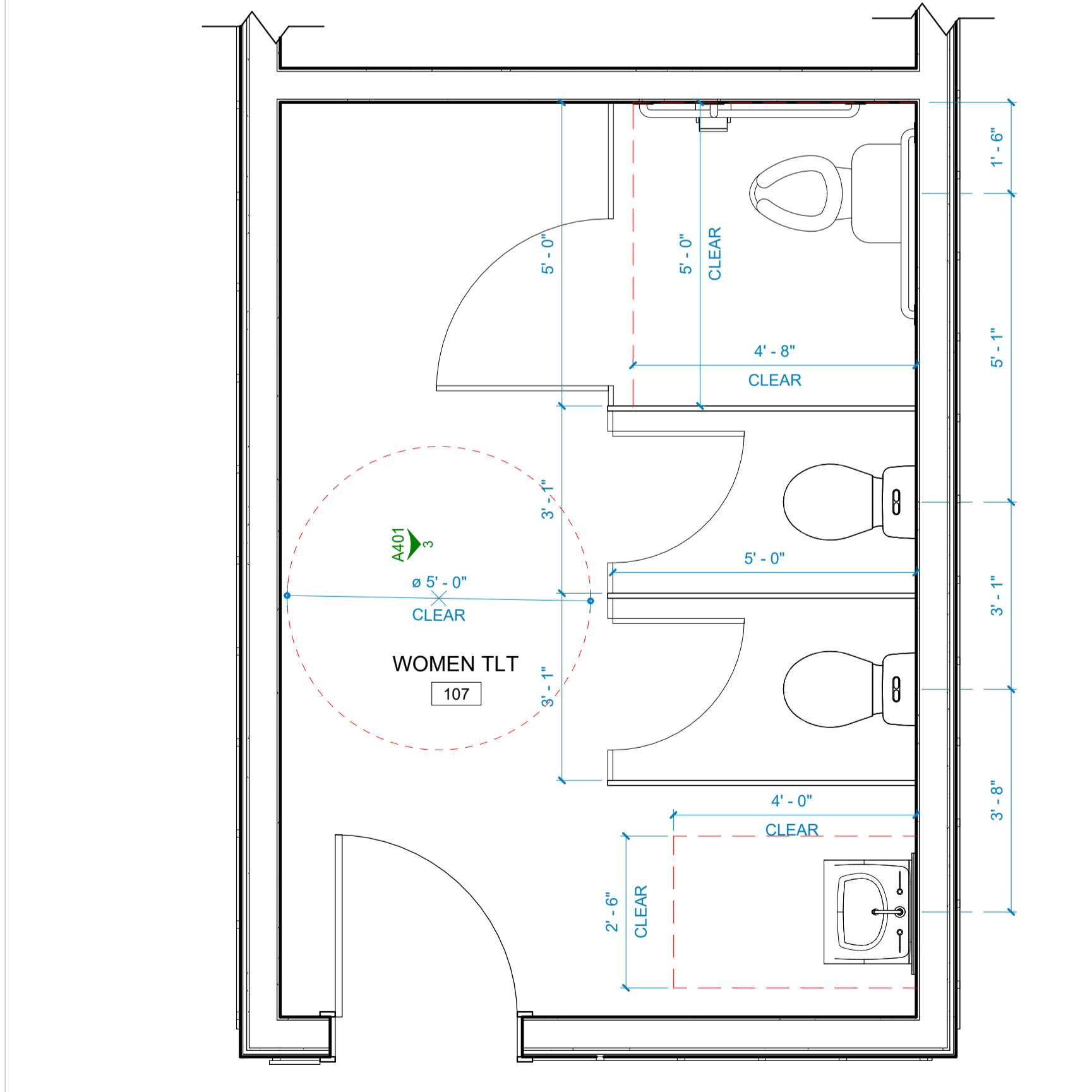
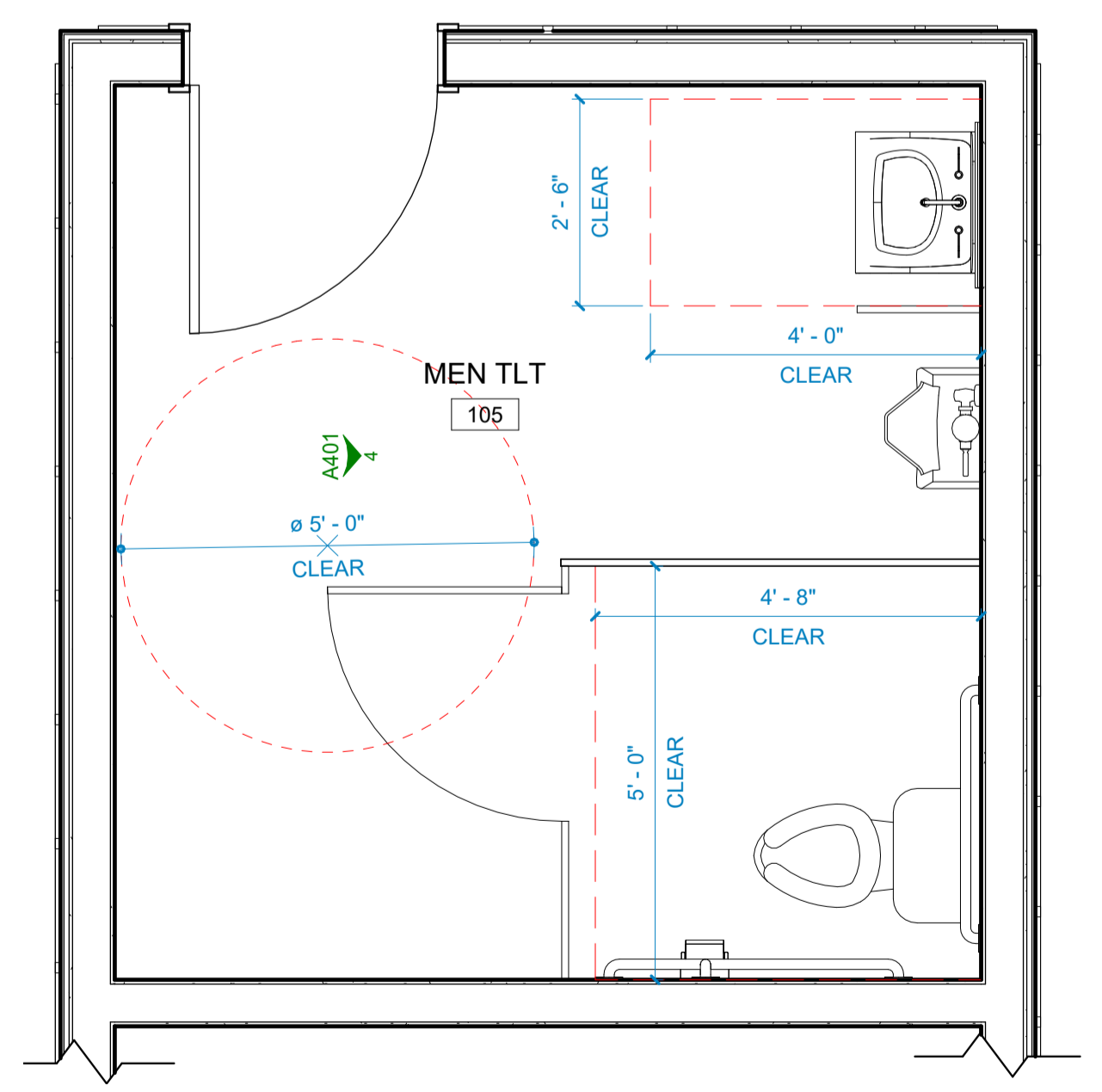
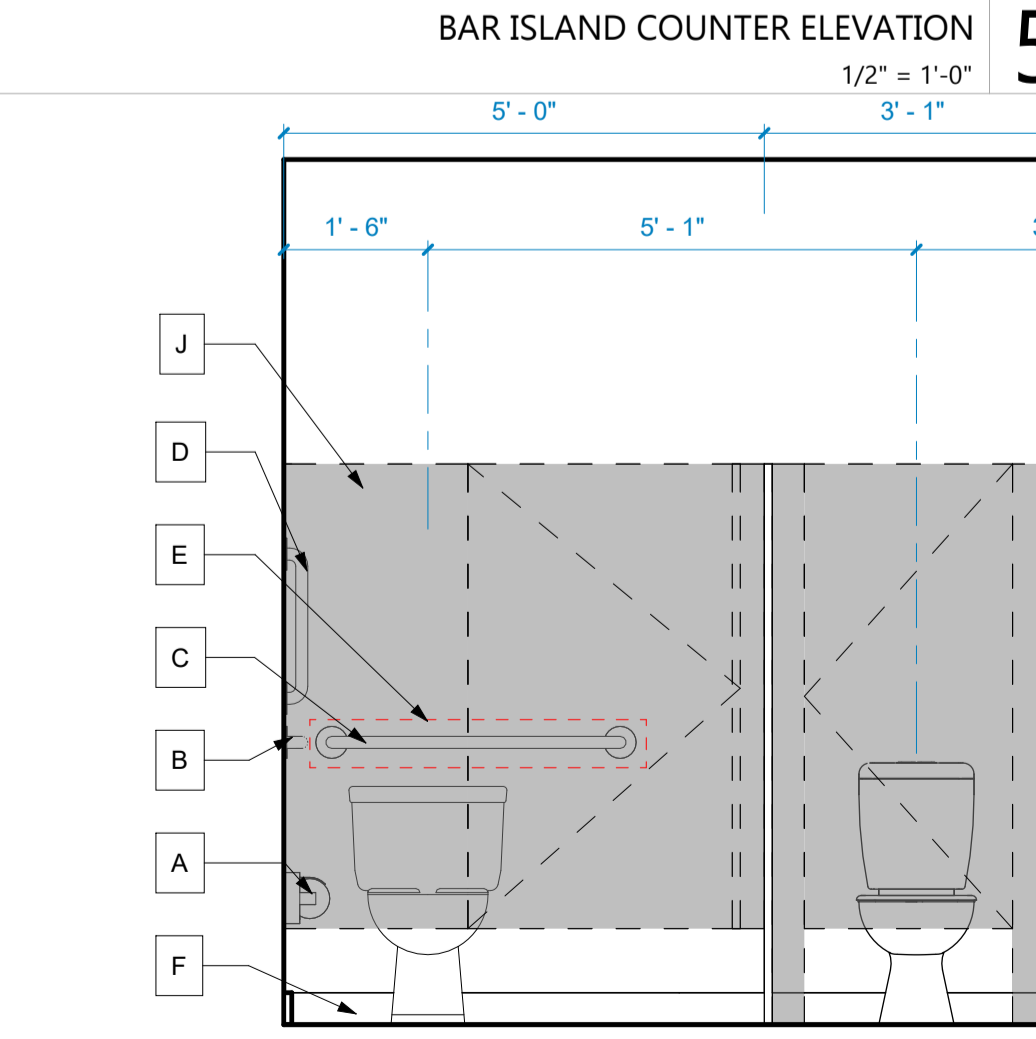
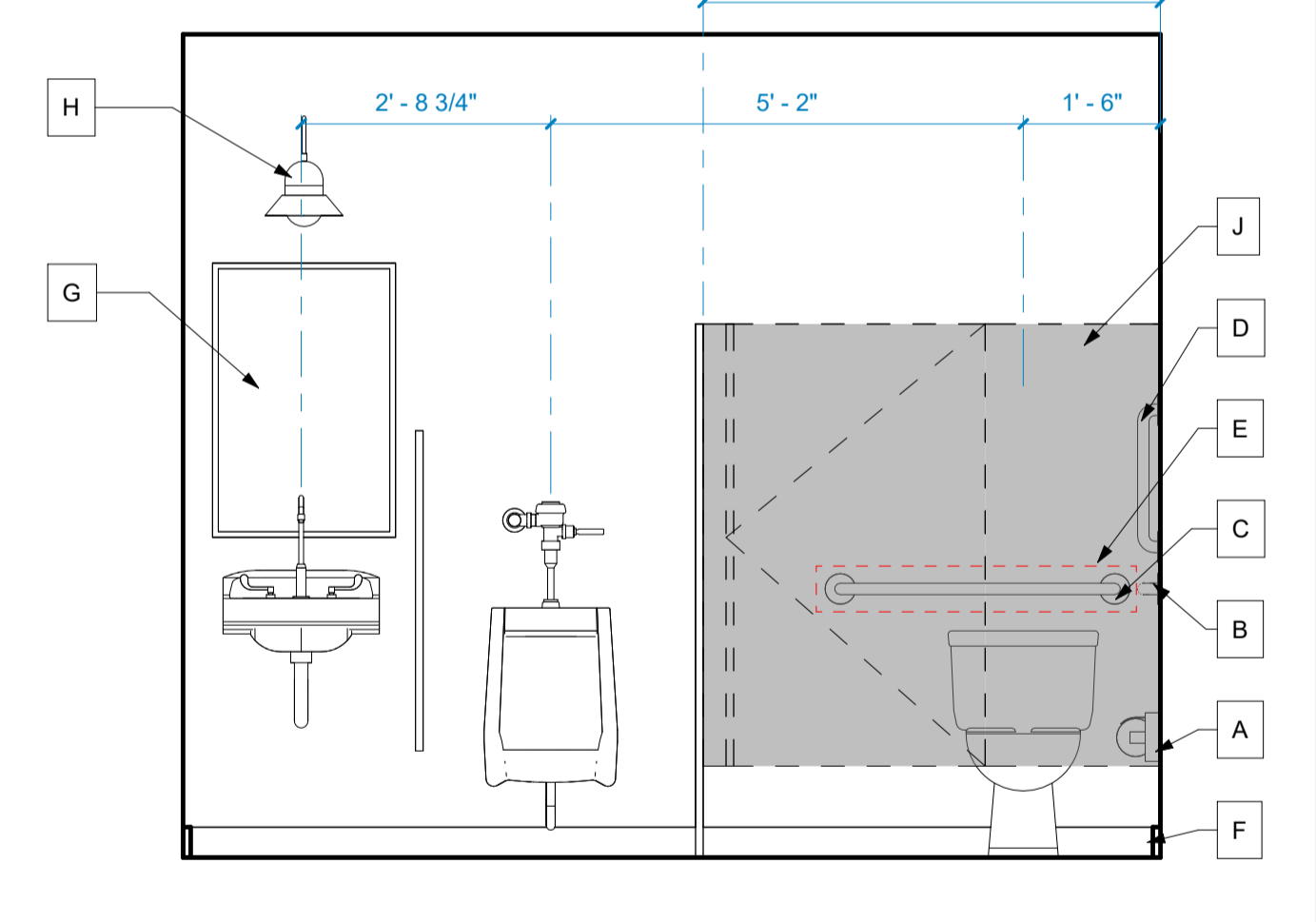
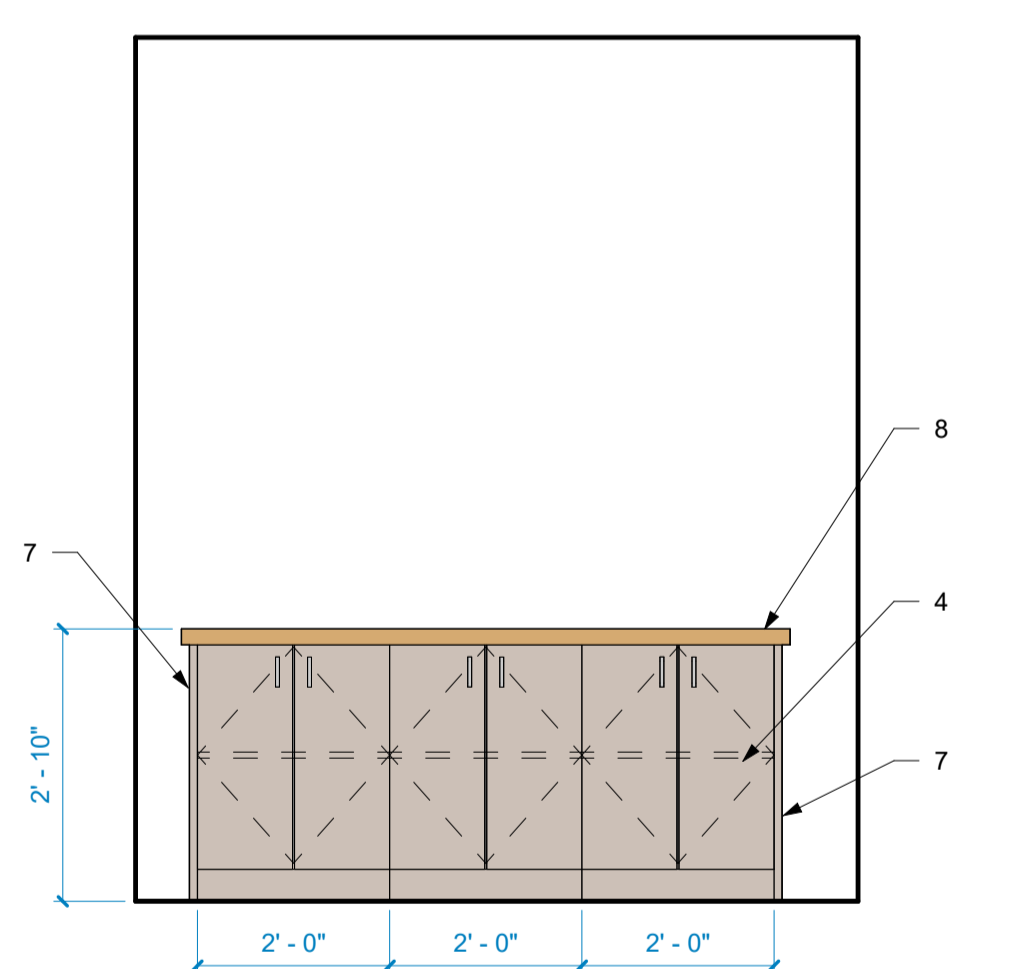
A	TOILET PAPER DISPENSER
B	42" HORIZONTAL GRAB BAR
C	36" HORIZONTAL GRAB BAR
D	18" VERTICAL GRAB BAR
E	2 X 6 BLOCKING FOR ADA STANDARD GRAB BAR
F	BASE AS SCHEDULED
G	MIRROR, BY OWNER
H	VANITY LIGHT; SEE A102
J	HDPE TOILET PARTITIONS w/ STAINLESS HARDWARE

KEYNOTES - ELEVATION

1	FILLER AS NEEDED
2	P-LAM CABINETS 12" DEPTH
3	P-LAM COUNTER; W/4" BACKSPLASH
4	P-LAM CABINETS; 24" DEPTH
5	BASE AS SCHEDULED
6	BRACKET AS NEEDED
7	END PANEL
8	SOLID SURFACE COUNTERTOP



BAR ELEVATION 1
 1/2" = 1'-0" 6



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PROJECT NO:	24074	
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DRAWN BY:	OU	
PROJ MGR:	WB	

ENLARGED PLANS AND SECTIONS

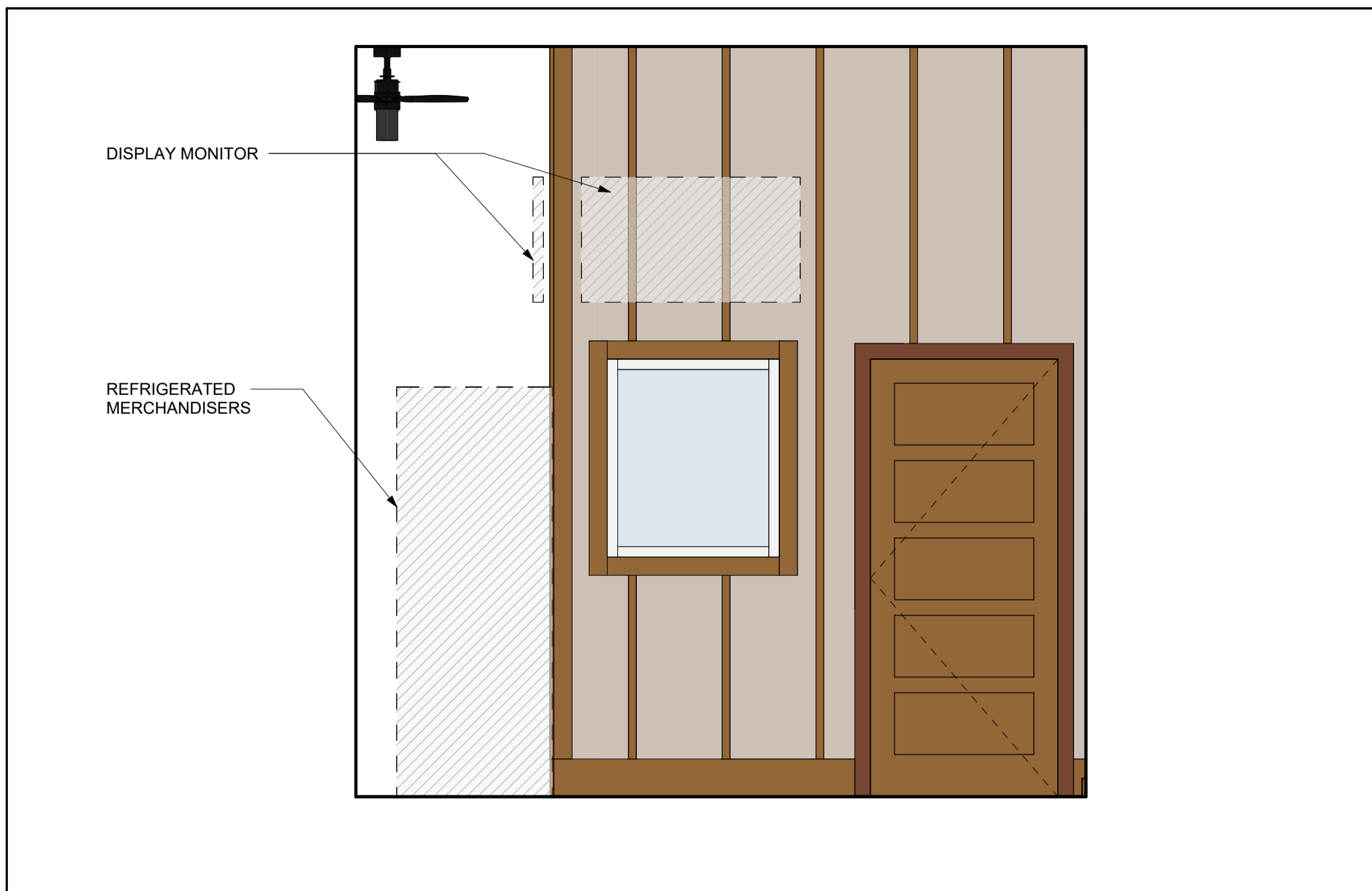
A401

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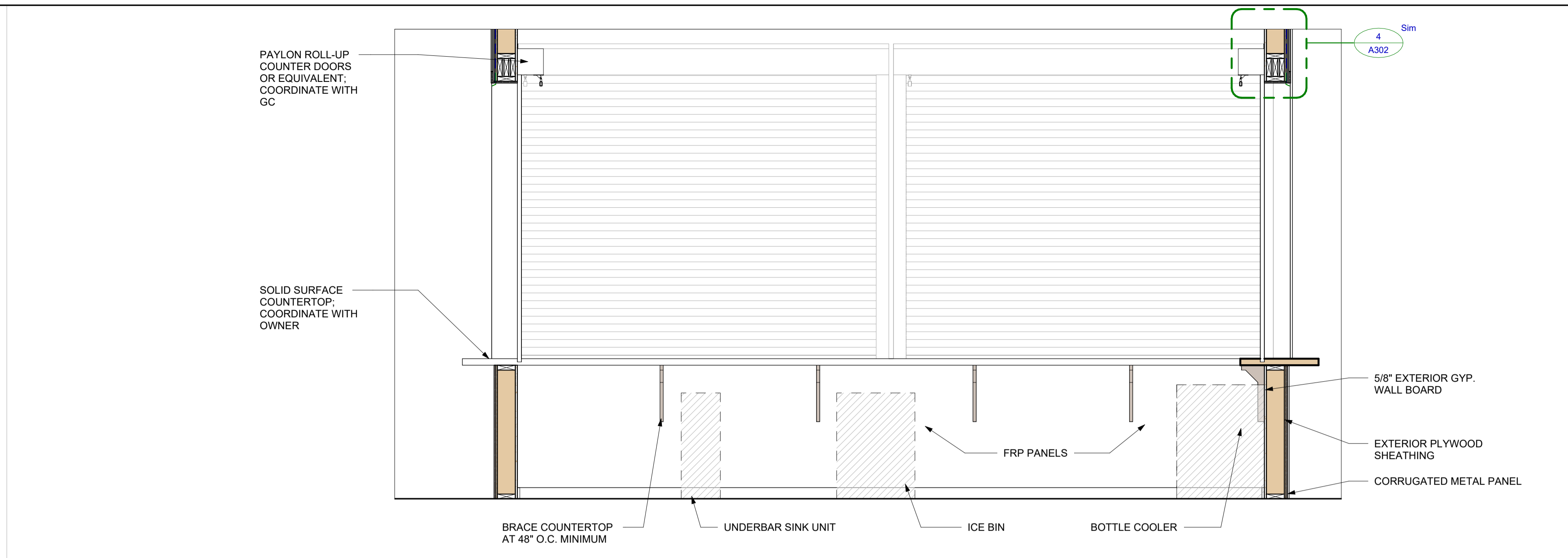
Mark	Date	Description
PROJECT NO:	24074	
DATE:	09/26/2024	
SCALE:	1/2" = 1'-0"	
DRAWN BY:	OU	
PROJ MGR:	WB	

INTERIOR ELEVATION

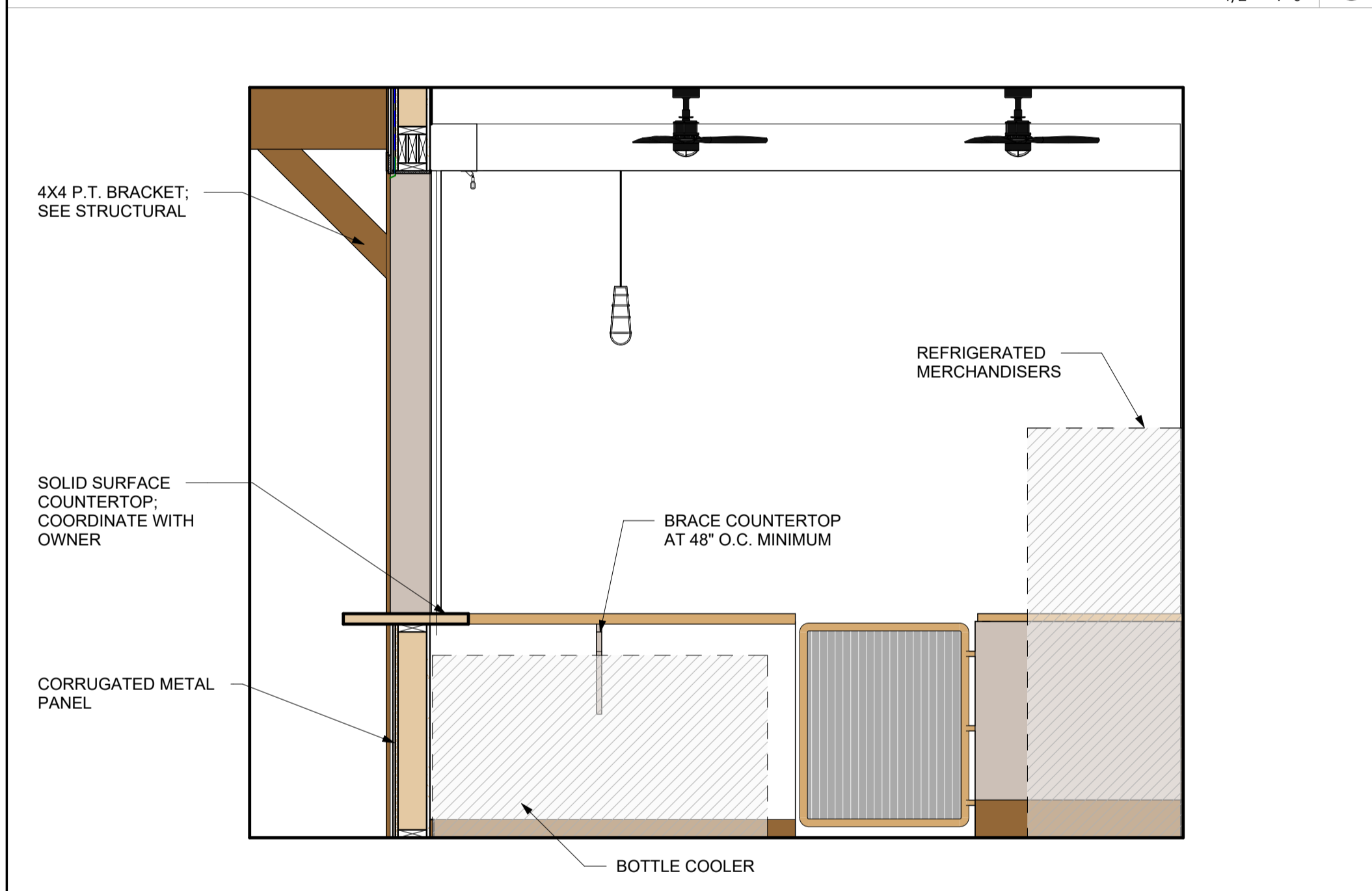
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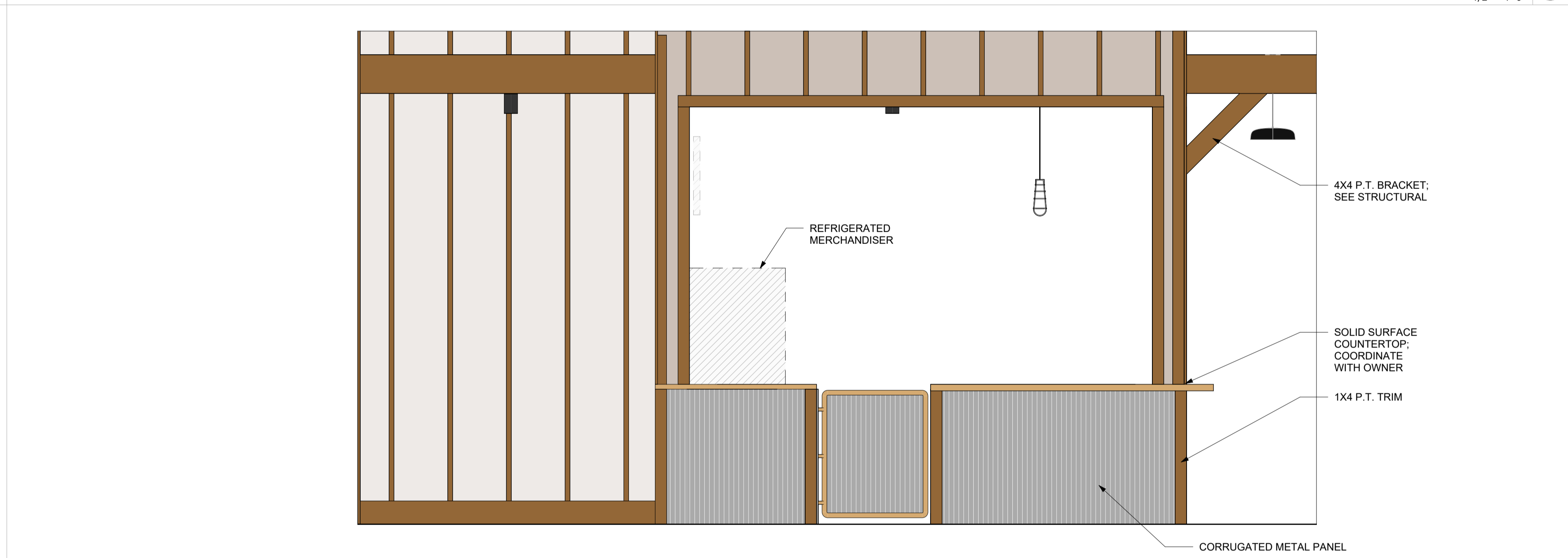
BAR ELEVATION 7
 1/2" = 1'-0" **6**



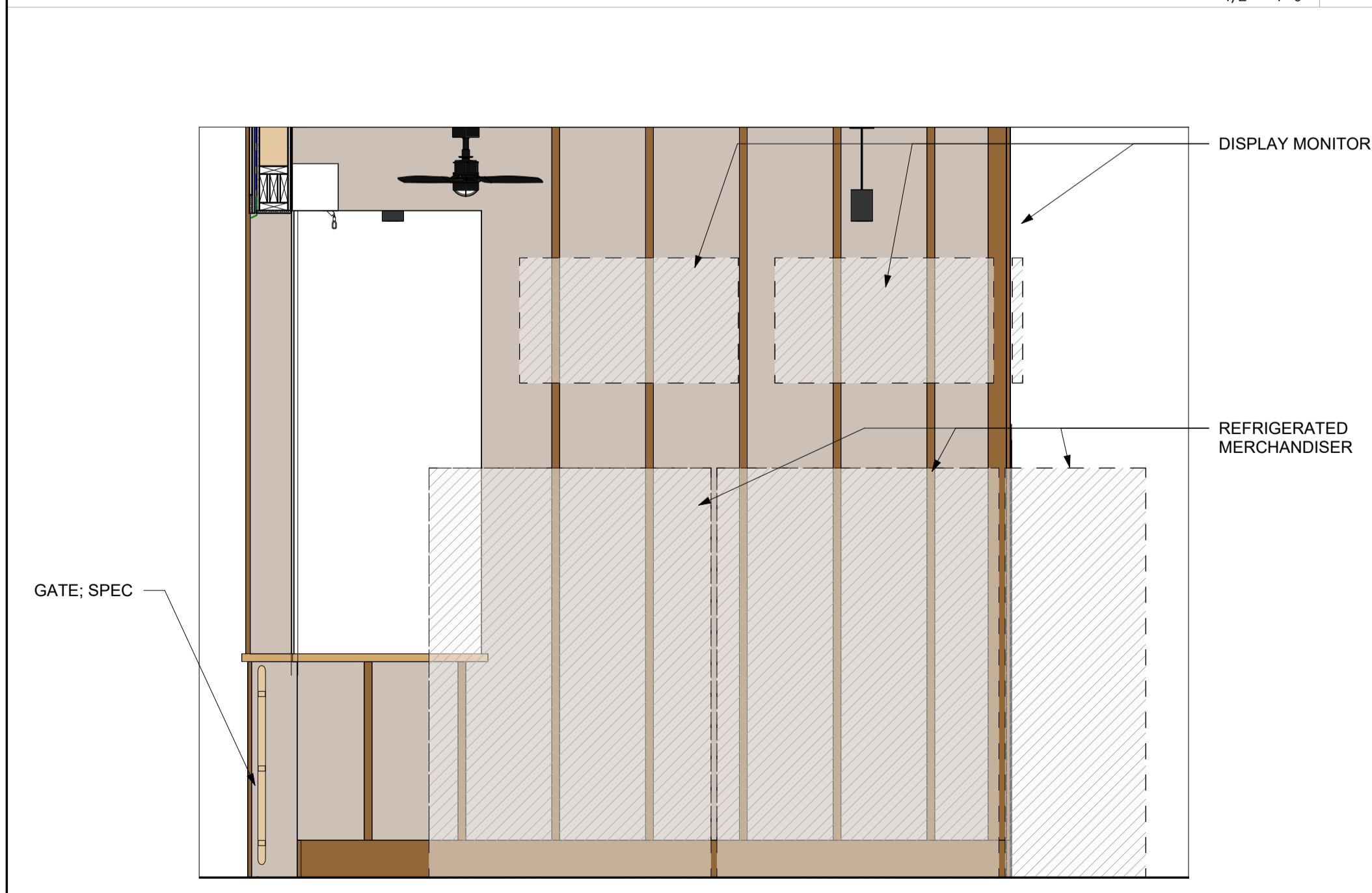
BAR ELEVATION 6
 1/2" = 1'-0" **5**



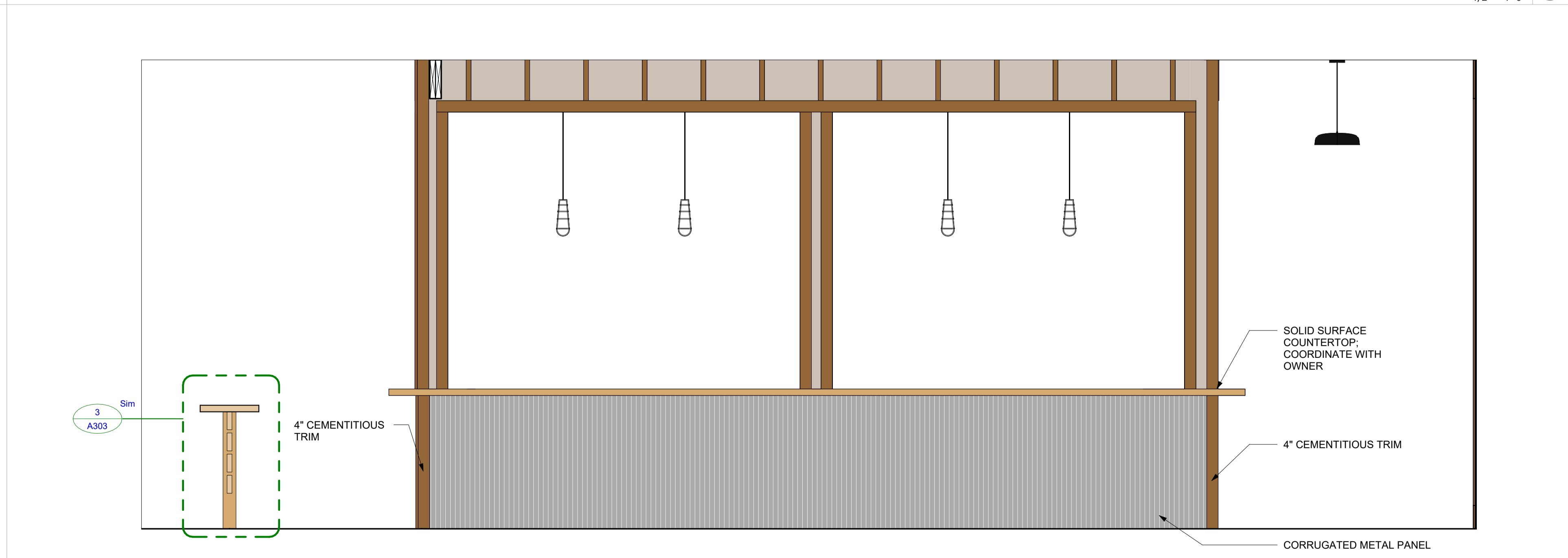
BAR ELEVATION 5
 1/2" = 1'-0" **4**



BAR ELEVATION 4
 1/2" = 1'-0" **3**



BAR ELEVATION 3
 1/2" = 1'-0" **2**



BAR ELEVATION 2
 1/2" = 1'-0" **1**



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PROJECT NO: 24074
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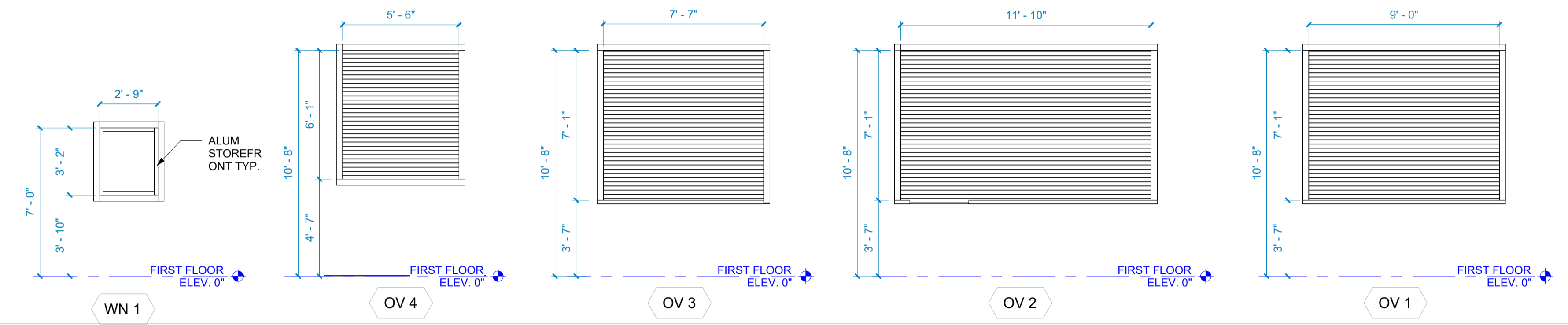
DOOR AND FINISH SCHEDULE

A601

#	ROOM NAME	FLOOR MAT	BASE MAT	WALL								CEILING		COMMENTS
				NORTH		EAST		SOUTH		WEST		MAT	FIN	
				MAT	FIN	MAT	FIN	MAT	FIN	MAT	FIN			
FIRST FLOOR														
101	OFFICE	CONC	R	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	PT	
102	SERVING	CONC	R	GWB	PT	GWB	PT	GWB	PT	GWB	PT	EXP	-	FRP ON ALL BAR SERVICE AREAS
103	SEATING AREA	CONC	-	GWB	PT	GWB	PT	GWB	PT	GWB	PT	EXP	-	
104	CORRIDOR	CONC	-	GWB	PT	GWB	PT	GWB	PT	GWB	PT	EXP	-	
105	MEN TLT	CONC	R	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	PT	EPOXY PAINT ON WALL
106	STORAGE	CONC	R	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	PT	
107	WOMEN TLT	CONC	R	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	PT	EPOXY PAINT ON WALL
108	PHOTOBOOTH	CONC	-	-	-	-	-	-	-	-	-	EXP	-	SEE A304/3 FOR DETAILS
LEVEL 2														
109	STORAGE	-	-	GWB	PT	GWB	PT	GWB	PT	GWB	PT	EXP	PT	

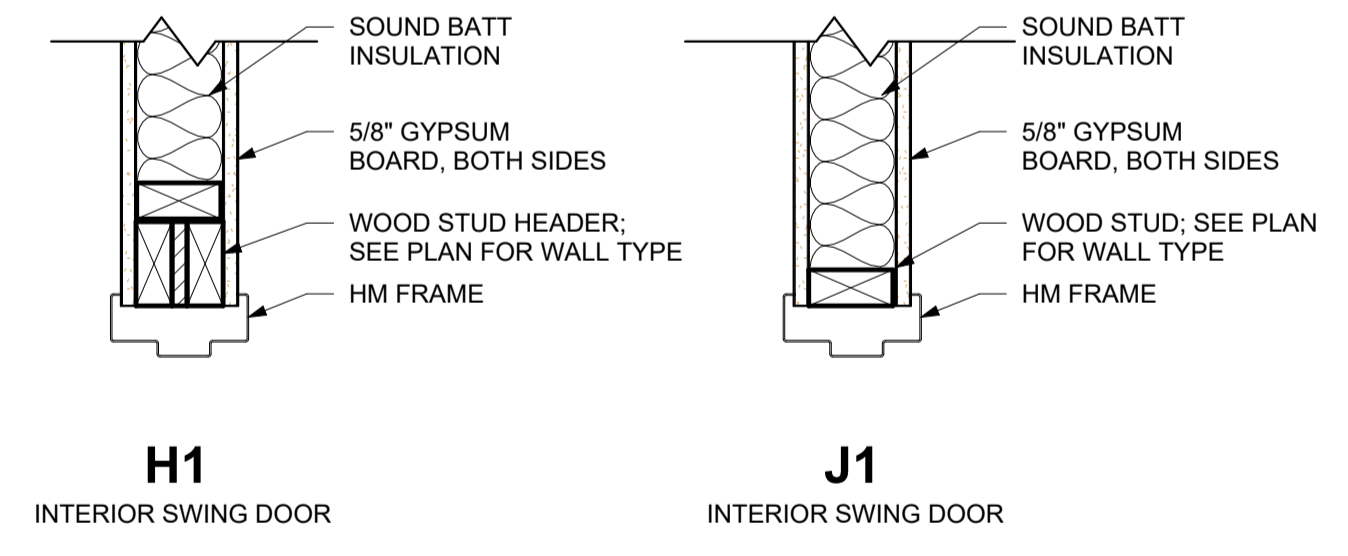
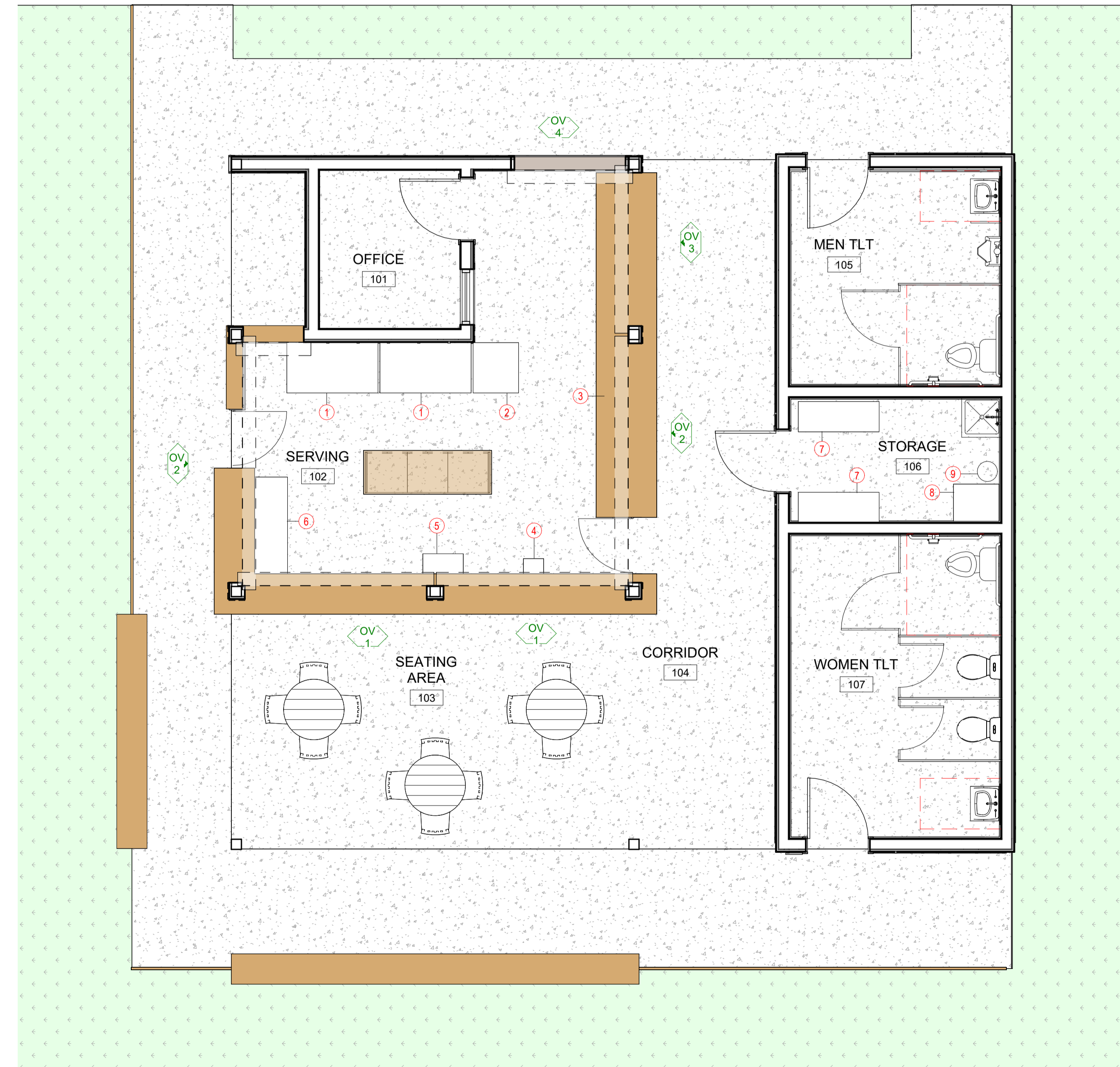
FINISH SCHEDULE LEGEND	
KEY NAME	DESCRIPTION
FLOOR	
-	NOT APPLICABLE / EXISTING TO REMAIN
CD	COMPOSITE DECKING
CONC	CONCRETE WITH SEALER/HARDENER
BASE	
-	NOT APPLICABLE / EXISTING TO REMAIN
R	RESILIENT WALL BASE
WD	WOOD BASE
WALL	
-	NOT APPLICABLE / EXISTING TO REMAIN
CMU	EXPOSED STRUCTURE, FIRE PROTECTION, PLUMBING, MECHANICAL, ELECTRICAL, TECHNOLOGY
GWB	GYPSUM WALL BOARD
PT	PAINT
CEILING	
-	NOT APPLICABLE / EXISTING TO REMAIN
EXPO	EXPOSED STRUCTURE, FIRE PROTECTION, PLUMBING, MECHANICAL, ELECTRICAL, TECHNOLOGY
GWB	GYPSUM BOARD CEILING
PT	PAINT

FINISH SCHEDULE LEGEND	
KEY NAME	DESCRIPTION
ORIENTATION	
-	ON PLANS NORTH WALL IS UP, EAST IS RIGHT, SOUTH IS DOWN, WEST IS LEFT
GENERAL NOTES	
1	WALLS AND CEILINGS MAY CONTAIN MORE THAN ONE MATERIAL OR FINISH AS INDICATED. COORDINATE WITH CONSTRUCTION TYPE AND FINISH SIMILAR TO ADJACENT MATERIALS
2	SEE A102 REFLECTED CEILING PLANS & CEILING NOTES FOR CEILING HEIGHTS, MATERIAL EXTENTS, LOCATIONS AND HEIGHTS OF BULKHEADS, SOFFITS, ETC.
3	PLAN WALL TYPES TAKE PRECEDENCE OVER SCHEDULED WALL FINISH. PROVIDE APPROPRIATE WALL FINISH TO CORRESPOND TO WALL TYPES
4	MOLD AND MOISTURE RESISTANT GYPSUM BOARD SHALL BE USED AT ALL KITCHEN AREAS, TOILET ROOMS AND CUSTODIAN SERVICE CLOSETS SCHEDULED TO HAVE GYPSUM BOARD FINISHES
5	WALL AND CEILING FINISHES SHALL INCLUDE ALL PROJECTIONS, BEAM ENCLOSURES, RECESSES, BULKHEADS, MATERIAL CHANGES, OR OTHER ENCLOSURES. REFER TO REFLECTED CEILING PLANS
6	PROVIDE SEALANT/CAULK AT INTERSECTIONS OF DISSIMILAR MATERIALS AND AS RECOMMENDED BY MANUFACTURERS' GUIDELINES.

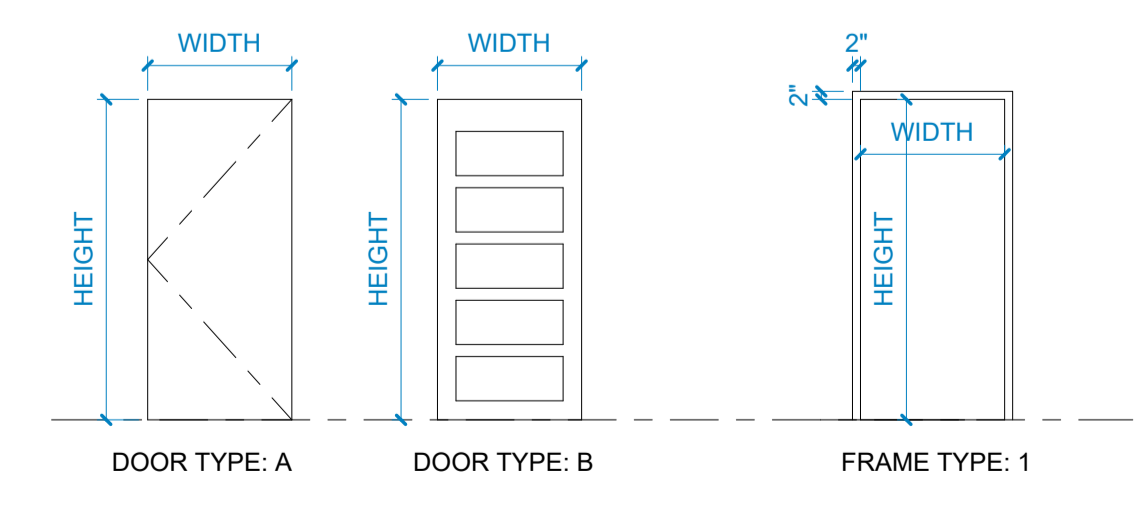


DOOR SCHEDULE											
MARK	DOOR			FRAME				DETAIL		COMMENTS	
	WIDTH	HT	TYPE	MATL	FIN	TYPE	MATL	FIN	HEAD		JAMB
FIRST FLOOR											
101	3'-0"	7'-0"	B	HM	PT	1	HM	PT	H1	J1	
105	3'-0"	7'-0"	B	HM	PT	1	HM	PT	H1	J1	
106	3'-0"	7'-0"	B	HM	PT	1	HM	PT	H1	J1	
107	3'-0"	7'-0"	B	HM	PT	1	HM	PT	H1	J1	
LEVEL 2											
109	3'-0"	7'-0"	A	HM	PT	1	HM	PT	H1	J1	PAINTED TO MATCH FACADE

EQUIPMENT LIST				
ITEM	MANUFACTURER	DIMENSIONS (H x W x D)	QUANT...	
1	REFRIGERATED MERCHANDISER TRUE MFG. - GENERAL FOODSERVICE MODEL GDM-49-HC~TSL01	78.63(h) x 54.13(w) x 29.88(d)	2	
2	REFRIGERATED MERCHANDISER TRUE MFG. - GENERAL FOODSERVICE MODEL GDM-23-HC~TSL01	78.63(h) x 27(w) x 29.88(d)	1	
3	HAND SINK SERV-WARE MODEL HS15S-CWP	13.5(h) x 17(w) x 15(d)	1	
4	UNDERBAR SINK UNITS BK RESOURCES MODEL UB4-18-1014HS12-P-G	32.5(h) x 12(w) x 18(d)	1	
5	ICE BIN BK RESOURCES MODEL UB4-21-1B24	32.5(h) x 24(w) x 21(d)	1	
6	BOTTLE COOLER SERV-WARE MODEL BC-65-HC	35(h) x 64.3(w) x 27(d)	1	
7	WIRE SHELVING SERV-WARE MODEL GR1848CWP	48(w) x 18(d)	10	
8	ICE MAKER, CUBE-STYLE BLUE AIR FSE LLC MODEL BLMI-300A	30.63(h) x 22(w) x 27(d)	1	
9	WATER FILTRATION SYSTEM CUSTOM MODEL SYSTEMS IV CC1 SERIES	N/A	1	



WD STUD HEAD AND JAMB DETAILS 1 1/2" = 1'-0" 2



DOOR AND FRAME TYPES 1/4" = 1'-0"

PLUMBING FIXTURE SCHEDULE

P-#	FIXTURES	SPECIFICATIONS	PIPING REQUIRED		
			WASTE	CW	HW
P-1	WATER CLOSET/ADA FLOOR MOUNTED TANK TYPE - 1.6 GPF	AMERICAN STANDARD "CADET RIGHT HEIGHT" MODEL 2298.012 VITREOUS CHINA TOILET WITH ELONGATED BOWL AND TANK WITH SIDE TRIP LEVER, 16 1/2" RIM HEIGHT, 1.6 GPF, 12" ROUGH-IN, BOLT CAPS, COMPLIES WITH ANSI A112.19.2 & A117.1 SEAT : BEMIS/CHURCH DURAGUARD 2100 NSSC ANTI-MICROBIAL HEAVY DUTY WHITE ELONGATED OPEN FRONT SEAT WITH COVER. VALVE: McGUIRE NO. 2166 3/8"x12" FLEX CLOSET SUPPLY WITH STOP.	3"	1/2"	--
P-2	URINAL - HANDICAP 3/4" TOP SPUD - 1.0 GPF MANUAL FLUSH VALVE	AMERICAN STANDARD "ALLBROOK" MODEL 6541.132 1.0 GPF 3/4" TOP SPUD, WHITE VITREOUS CHINA, 2" IPS OUTLET, WALL HANGER. MOUNT RIM 17" AFF TO COMPLY WITH ADA. VALVE: SLOAN REGAL MODEL 1-186-1-ADA, 1GPF, CHROME FLUSH WITH ADA COMPLIANT HANDLE.	2"	1/2"	--
P-3	LAVATORY - WALL MTD. AUTOMATIC FAUCET ADA	AMERICAN STANDARD "LUCERNE" 0355.012 WALL MTD. WHITE VITREOUS CHINA 20"x18" LAVATORY WITH 4" FAUCET CENTERS. FAUCET: AMERICAN STANDARD "SELECTRONIC" ELECTRONIC LAVATORY FAUCET MODEL 6057.205/6056.205, VANDAL RESISTANT 0.5 GPM AERATOR, 3/8" O.D. COPPER INLETS, PROVIDE POWER SUPPLY AND THERMOSTATIC MIXING VALVE. SUPPLIES: McGUIRE NO. 165 3/8"x12" FLEX ANGLE SUPPLY WITH STOP STRAINER; McGUIRE NO. 155-A GRID STRAINER WITH 1/4" TAILPIECE. TRAP AND SUPPLY INSULATION: McGUIRE PREWRAPPED PROWRAP INSULATION KIT MODEL NO.2150	1-1/2"	1/2"	1/2"
P-4	MOP BASIN 36"x36"x12"	FIAT MODEL TSB-3002, 36"x36"x12" TERRAZZO SERVICE BASIN WITH STAINLESS STEEL CAPS ON ALL CURBS, 12" HIGH WITH 6" DROP FRONT, SELF CAULKING BRASS DRAIN WITH STAINLESS STEEL STRAINER. FAUCET: FIAT MODEL 830-AA CHROME PLATED WITH VACUUM BREAKER, INTEGRAL STOPS, ADJUSTABLE WALL BRACE, PAIL HOOK & 3/4" HOSE THREAD ON SPOUT. HOSE AND HOSE BRACKET MODEL 832-AA 30" LONG FLEXIBLE HEAVY DUTY 3/8" RUBBER HOSE WITH 3/4" BRASS COUPLING, 18 GAUGE 302 STAINLESS STEEL BRACKET WITH RUBBER GRIP.	3"	1/2"	1/2"

GENERAL PLUMBING SPECIFICATIONS
 GENERAL: THE ENTIRE PLUMBING SYSTEM SHALL BE IN ACCORDANCE WITH THE CURRENT NORTH CAROLINA BUILDING PLUMBING CODE. SUBMIT THREE (3) COPIES OF PLUMBING INSPECTION CERTIFICATES TO OWNER. PLUMBING CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED BY GOVERNING AUTHORITIES FOR WORK DONE UNDER THIS CONTRACT. PROVIDE AND INSTALL ALL SUPPORTS, BRACKETS, MATERIALS AND LABOR AS REQUIRED FOR A COMPLETE AND ACCEPTABLE PLUMBING SYSTEM. PLUMBING CONTRACTOR SHALL CLEAN ALL PLUMBING FIXTURES AFTER ALL CONSTRUCTION IS COMPLETE.

SOIL, WASTE AND VENT PIPING: WASTE PIPING AND VENT PIPING SHALL BE P.V.C. - D.W.C. SCHEDULE 40 PIPE. HOWEVER, COEXTRUDED PVC "FOAM CORE", ASTM F891, WILL NOT BE ALLOWED.

ALL PENETRATIONS THROUGH NON-COMBUSTIBLE CONSTRUCTION SHALL BE PACKED WITH NON-COMBUSTIBLE FIRE STOPPING MATERIAL.

GRADE WASTE AND VENT PIPING 1/4 INCH PER FOOT WHERE POSSIBLE BUT NOT LESS THAN 1/8 INCH PER FOOT, UNLESS SPECIFICALLY DIRECTED. MAINTAIN INVERTS WHERE INDICATED.

WATER HEATER. ALL FITTINGS SHALL BE SWEAT TYPE WROUGHT COPPER WITH WALL THICKNESS EQUAL TO PIPE WALL THICKNESS. ALL JOINTS SHALL BE MADE WITH 95-5 SOLDER OR SILVABRITE 100. NO SOLDER W/LEAD SHALL BE PERMITTED.

ALL ROUGHING-IN PIPING SHALL BE RUN CONCEALED. ALL EXPOSED WATER LINES, STOPS, TRAP AND WASTE PIPE AT THE FIXTURES SHALL BE CHROME PLATED BRASS, WHICH FOR THE MOST PART WILL BE FURNISHED WITH THE FIXTURES. CHROME PLATED ESCUTCHEON RINGS SHALL BE USED AT EACH POINT OF ENTRANCE OF CHROME PIPING INTO WALLS, FLOORS, OR CEILINGS. EXPOSED WORK SHALL BE UNIFORM IN HEIGHT AND LOCATION FOR EACH TYPE FIXTURE.

WATER PIPING UNDER GROUND OUTSIDE OF BUILDING SHALL BE AT LEAST 24 INCHES BELOW THE FINISHED GRADE SURFACE.

THERMAL INSULATION: ALL HOT AND COLD WATER PIPING INSIDE BUILDING AND IN CRAWL SPACE, ALL HOT WATER PIPING BELOW GRADE, AND COLD WATER PIPING BELOW GRADE WITHIN 3'-0" OF OUTSIDE SHALL BE INSULATED WITH 1" THICK "ARMAFLEX" OR IMCOA WITH SEALED JOINTS OR PREMOULDED FIBERGLASS WITH VAPOR BARRIER JACKET. IN LIEU OF INSULATING WATER PIPING IN HEATED WALLS PIPING MAY BE ENCASED IN BATT INSULATION WITHIN THE WALL OR FLOOR/CEILING.

WATER HEATERS: WATER HEATERS SHALL BE UL LISTED AND COMPLETE WITH ALL STANDARD FEATURES, FIVE (5) YEAR TANK WARRANTY, GLASS-LINED TANK, FOAM INSULATION ON THE TANK, ANODE ROD, AUTOMATIC TEMPERATURE CONTROL, AND AUTOMATIC HIGH-LIMIT SAFETY CUTOFF. INSTALL ASSE 1070 COMPLIANT TEMPERATURE CONTROL VALVE DOWNSTREAM OF ANY HIGH TEMPERATURE FIXTURES AND UPSTREAM OF ALL PUBLIC HANDWASHING FACILITIES.

EACH WATER HEATER SHALL BE PROVIDED WITH AN ASME APPROVED PRESSURE AND TEMPERATURE RELIEF VALVE. UNITS NOT INSTALLED WITH VACUUM BREAKER ON COLD WATER SUPPLY LINE SHALL BE PROVIDED WITH AGA CERTIFIED VACUUM RELIEF VALVE PER ANSI Z21.22. A GATE VALVE SHALL BE INSTALLED ON SAME FLOOR AS UNIT AND NO FURTHER THAN 3 FEET ON THE COLD WATER SUPPLY.

EACH WATER HEATER AND ITS INSTALLATION SHALL COMPLY WITH THE LATEST ISSUE AND ALL ADDENDA THERETO OF THE STATE BOILER INSPECTION LAWS AND REGULATIONS. ALL WIRING AND CONTROLS ASSOCIATED WITH THE HEATERS SHALL BE U.L. APPROVED AND IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.

EACH HEATER TANK SHALL BE FITTED WITH APPROVED "DIP" TUBE AND LABELED TO SHOW APPROVAL FOR INSTALLATION.

DISCHARGE RELIEF VALVE FROM EACH WATER HEATER SHALL BE PIPED FULL SIZE TO WITHIN SIX (6) INCHES OF THE FLOOR OVER A FLOOR DRAIN, DRIP PAN OR OTHER SAFE LOCATION. DISCHARGE PIPE SHALL BE SUPPORTED AND ANCHORED SO THAT IT WILL NOT PUT UNDUE STRAIN ON THE RELIEF VALVE BODY OR MOUNTING COUPLING.

SUBMITTAL: THE CONTRACTOR SHALL WITHIN (15) DAYS OF RECEIPT OF PROPERLY SIGNED CONTRACT SUBMIT TO THE ARCHITECT/ENGINEER FOR APPROVAL (5) COPIES OF A LIST OF SUPPLIES AND MANUFACTURER'S MATERIAL AND EQUIPMENT TO BE USED ON THIS PROJECT.

SUBSTITUTION OF MATERIALS AND/OR EQUIPMENT FOR THAT SPECIFIED WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL BY THE ARCHITECT/ENGINEER PRIOR TO RECEIPT OF BIDS.

GUARANTEE: THE PLUMBING CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE BY OWNER STATING THE DAY THE GUARANTEE BEGINS AND ENDS.

WATER HEATER (EWH): STATE M/N PCE 30 20LSA, 30 GALLON ELECTRIC WATER HEATER WITH ONE (1) 4.5KW ELEMENT, 240 VOLT, SINGLE PHASE, WITH 3 YEAR WARRANTY. FURNISH WITH A.S.M.E. APPROVED RELIEF VALVE, WATERGUARD EXPANSION TANK M/N ETC-2X, AND DRAIN PAN.

NOTE: PLANS SHOULD NOT BE SCALED FOR DIMENSIONS. COORDINATE ALL ROUGH IN DIMENSIONS WITH EQUIPMENT TO BE INSTALLED AND DIMENSIONED DRAWINGS INCLUDING KITCHEN EQUIPMENT PLANS IF AVAILABLE. CONTACT ENGINEER BEFORE CONSTRUCTION WITH ANY CONFLICTS.

PLUMBING GENERAL NOTES:
 BASIS OF DESIGN: UNLESS OTHERWISE NOTED THE PURPOSE OF THESE DRAWINGS IS TO PROVIDE DIRECTION AND BASIS OF DESIGN TO A COMPETENT CONTRACTOR FAMILIAR WITH THE TYPE OF SYSTEMS BEING INSTALLED SUFFICIENT TO INDICATE OWNERS REQUESTS AND CODE REQUIREMENTS. IT IS THE CONTRACTORS RESPONSIBILITY, WHEN OTHERWISE UNDIRECTED, TO FOLLOW STANDARD INDUSTRY PRACTICES AND BASIC CODE COMPLIANCE INCLUDING, BUT NOT LIMITED TO, PROVIDING MATCHING REQUIRED ACCESSORIES TO THE SYSTEMS INDICATED, COORDINATING EXACT ROUTINGS AND LOCATIONS WITH OTHER TRADES AND THE OWNER, SELECTING CODE APPROVED MATERIALS, AND MAKING MINOR OFFSETS/ADJUSTMENTS BASED ON FIELD COORDINATION AND OWNER'S FIELD REQUESTS. CHANGE OF MANUFACTURER TO EQUIVALENT SYSTEMS, WITH OWNER'S APPROVAL, IS ACCEPTABLE. CONTACT ENGINEER WITH ANY CONFLICTS NOT COVERED BY THE ABOVE INSTRUCTIONS.

1. PROVIDE ALL MATERIALS AND LABOR NECESSARY FOR COMPLETE AND PROPERLY FUNCTIONING PLUMBING SYSTEMS. WARRANTY ALL WORK AND ALL MATERIALS, EQUIPMENT AND DEVICES FOR A PERIOD OF ONE YEAR AFTER OWNER'S ACCEPTANCE.

2. WORK SHALL CONFORM TO OR MEET THE REQUIREMENTS OF THE MOST CURRENT EDITION OF:
 A. NORTH CAROLINA PLUMBING CODE
 B. ASPE
 C. UL
 D. ANSI
 E. ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES

3. DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO BE SCALED FOR DIMENSIONS, UNLESS DIMENSIONED.

4. ALL MATERIALS, EQUIPMENT AND DEVICES SHALL, AS A MINIMUM, MEET THE REQUIREMENTS OF UL WHERE UL STANDARDS ARE ESTABLISHED FOR THOSE ITEMS. ALL ITEMS SHALL BE CLASSIFIED BY UL AS SUITABLE FOR THE PURPOSE USED.

5. ALL ITEMS SHALL BE NEW, UNLESS NOTED OTHERWISE.

6. ALL MATERIALS AND EQUIPMENT SHALL BE CURRENT PRODUCTS BY MANUFACTURERS REGULARLY ENGAGED IN THE PRODUCTION OF SUCH PRODUCTS.

7. COORDINATE LOCATION OF PLUMBING WORK WITH OTHER TRADES TO AVOID CONFLICTS AND INTERFERENCES. COORDINATE WITH SITE WORK TO PROVIDE FULL OPEN WATER SERVICE VALVE WITHIN 5 FEET OF BUILDING ENTRY.

8. INSTALL ALL EQUIPMENT AND MATERIAL IN ACCORDANCE WITH MANUFACTURER'S WRITTEN PRINTED INSTRUCTIONS AND RECOMMENDATIONS. VERIFY, INCLUDING WITH OTHER TRADES, POWER AND/OR FUEL SUPPLY BEFORE ORDERING.

9. COORDINATE WITH AND OBTAIN PERMITS AND INSPECTIONS FROM AUTHORITY HAVING JURISDICTION AND INCLUDE ALL FEES IN BID.

10. PROVIDE OWNER WITH CERTIFICATES OF FINAL INSPECTION AND ACCEPTANCE FROM AUTHORITY HAVING JURISDICTION.

11. ALL EQUIPMENT AND PIPE ABOVE CEILING SHALL BE SUPPORTED FROM BUILDING STRUCTURE ABOVE, UNO.

12. WHERE PIPES PENETRATE FIRE RATED BARRIERS (WALLS, FLOORS AND CEILINGS) SEAL OPENING AROUND PIPES AND DUCTWORK WITH U.L. LISTED FIRE STOPPING MATERIAL TO MAINTAIN THE FIRE RATING OF THE BARRIER. PER NC BUILDING CODE VOLUME 1, PENETRATIONS OF NONRATED WALLS, PARTITIONS AND FLOORS OF NONCOMBUSTIBLE CONSTRUCTION SHALL BE FIRE-STOPPED WITH NONCOMBUSTIBLE MATERIAL.

13. PROVIDE EXPANSION-DEFLECTION JOINTS WHERE PIPE CROSSES BUILDING EXPANSION OR SEISMIC JOINTS.

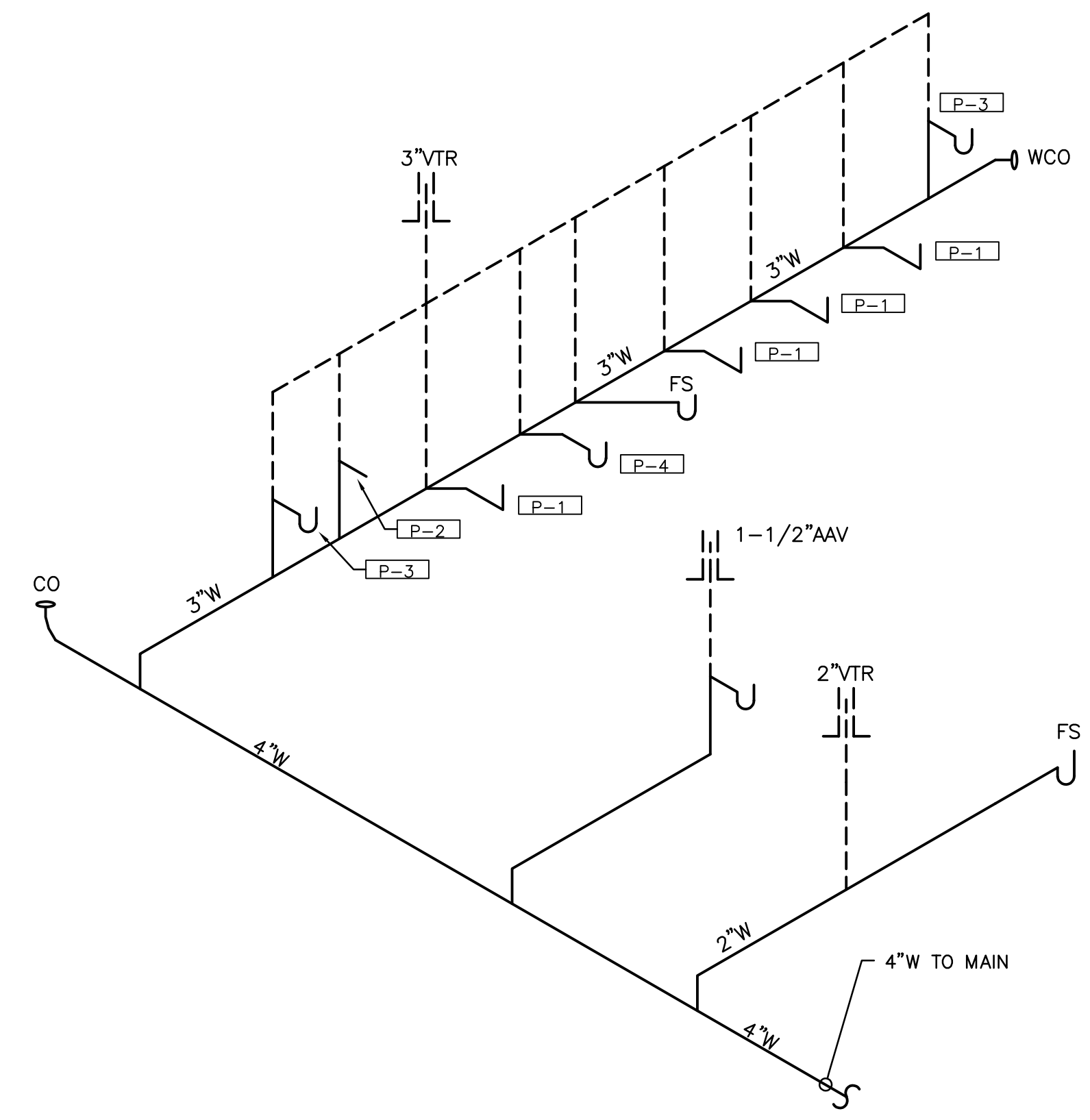
14. PRIOR TO BIDDING, THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL VISIT THE JOBSITE AND SHALL FAMILIARIZE THEMSELVES WITH ALL CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED AND SHALL INCLUDE IN HIS BID ALL LABOR, MATERIAL AND OPERATIONS REQUIRED FOR A COMPLETE JOB. (NOTIFY OWNER AND ENGINEER OF ANY DISCREPANCIES PRIOR TO BID.)

15. CLEANOUTS, LINE SIZE, UNO.

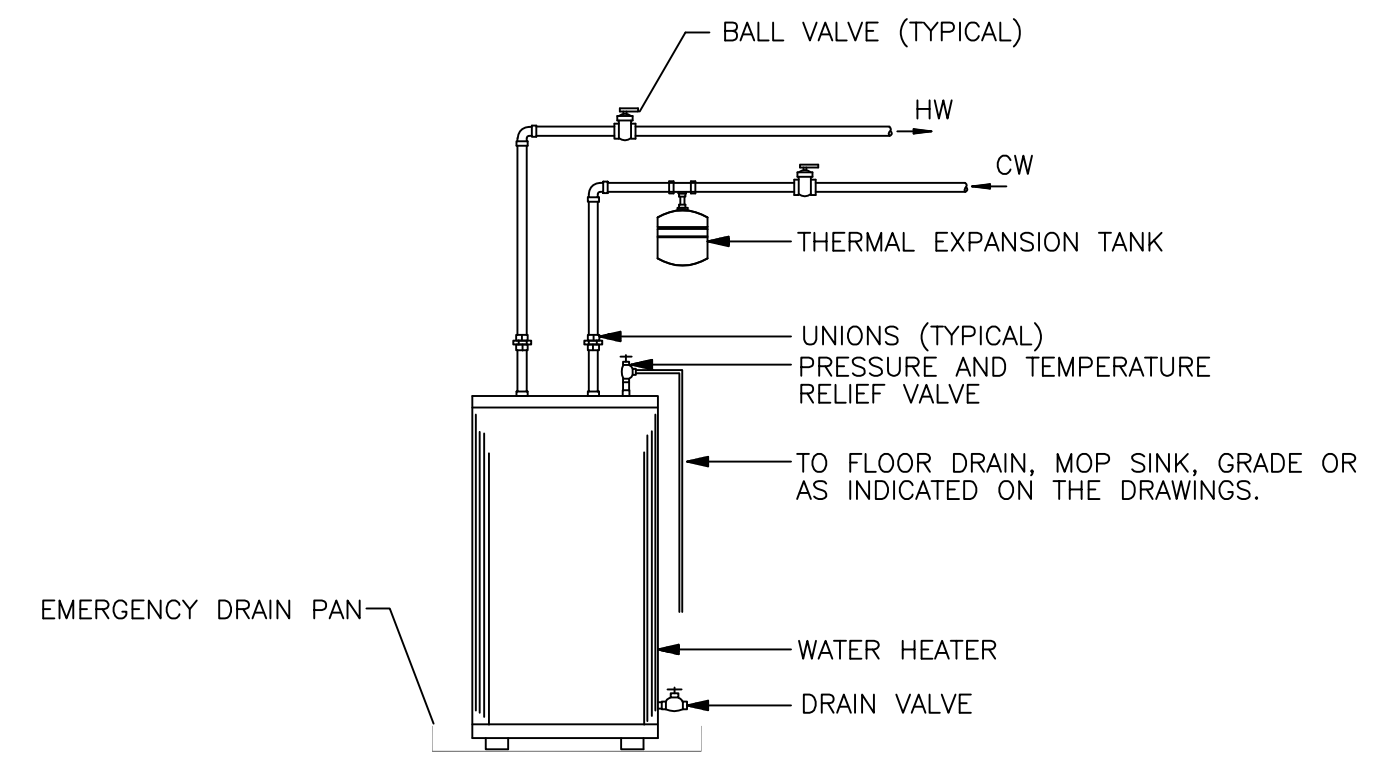
16. FLOOR DRAINS, LINE SIZE, UNO.

17. FLOOR DRAINS WITH SUBSCRIPT OO TO HAVE INTEGRAL CLEANOUT AND SHALL BE SIMILAR TO REGULAR FLOOR DRAIN SPECIFIED, UNO.

18. FLOOR DRAINS AND FLOOR SINKS SHALL BE PROVIDED WITH TRAP PRIMERS OR ALTERNATE METHODS AS APPROVED BY AUTHORITY HAVING JURISDICTION.

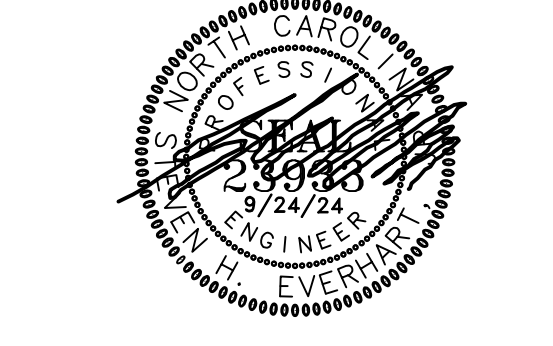
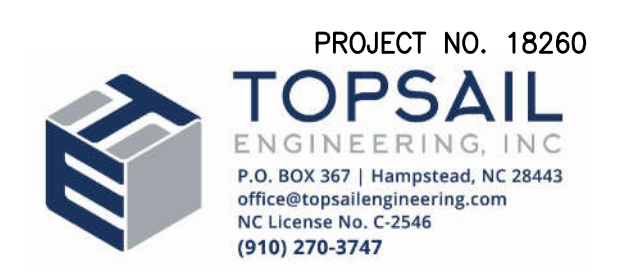


WASTE RISER
 SCALE: NONE



(A) ELECTRIC WATER HEATER
 SCALE: NONE

- PLUMBING LEGEND**
- P-# FIXTURE NUMBER, SEE SCHEDULE
 - ⊗ WATER BALANCE/SHUTOFF VALVE
 - ⊗ HOT WATER TEMPERING VALVE
 - FLOOR SINK
 - VTR VENT THROUGH ROOF
 - AAV AIR ADMITTANCE VALVE
 - NEW COLD WATER PIPE
 - - - NEW HOT WATER PIPE
 - NEW WASTE PIPE
 - - - NEW VENT PIPE

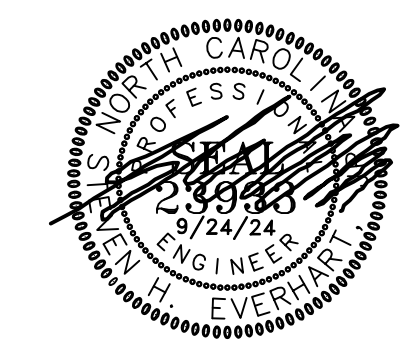


SURF'S UP MINIATURE GOLF STRUCTURES
 1360 BRIDGE BARRIER RD., CAROLINA BEACH, NC 28428

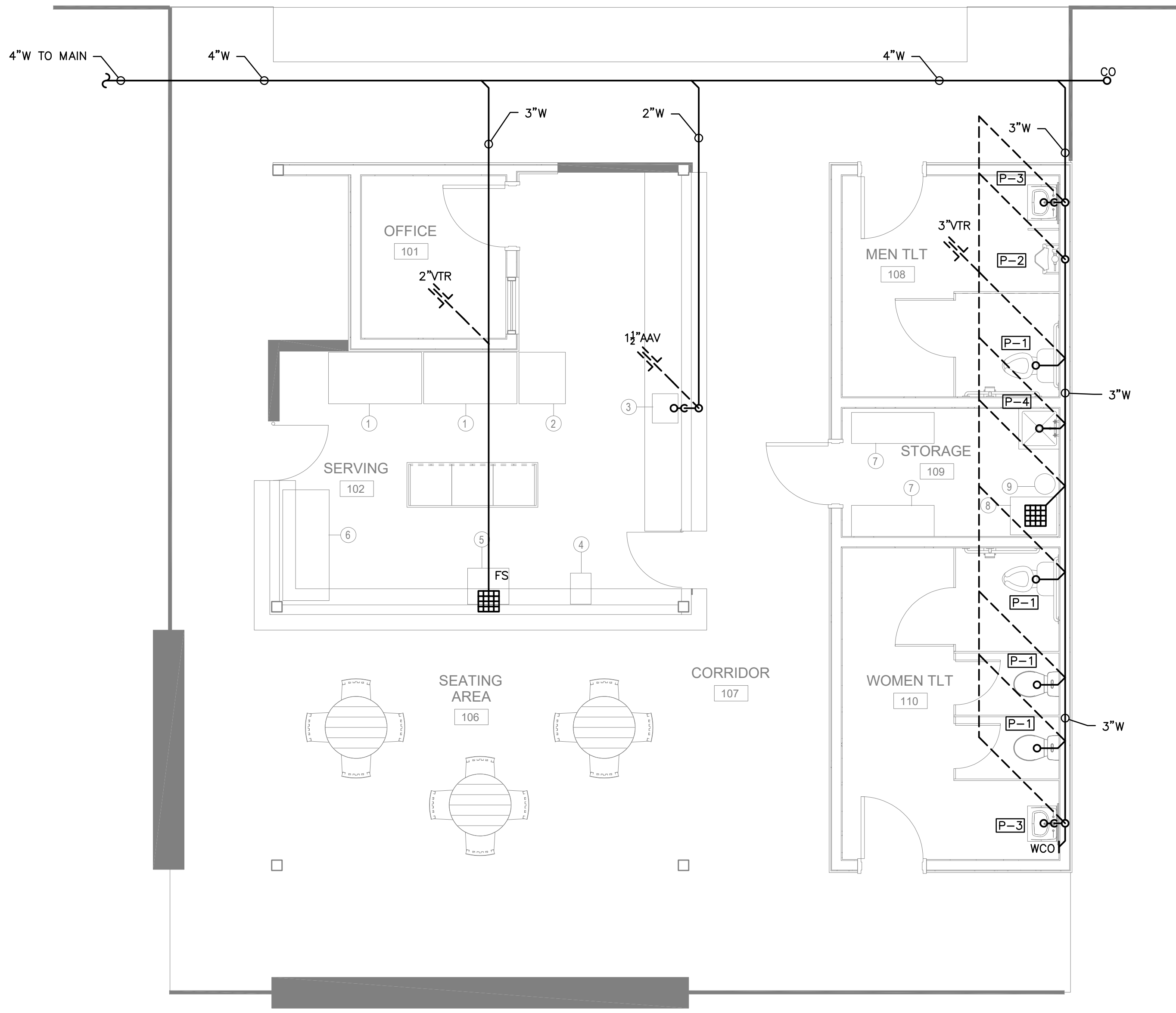
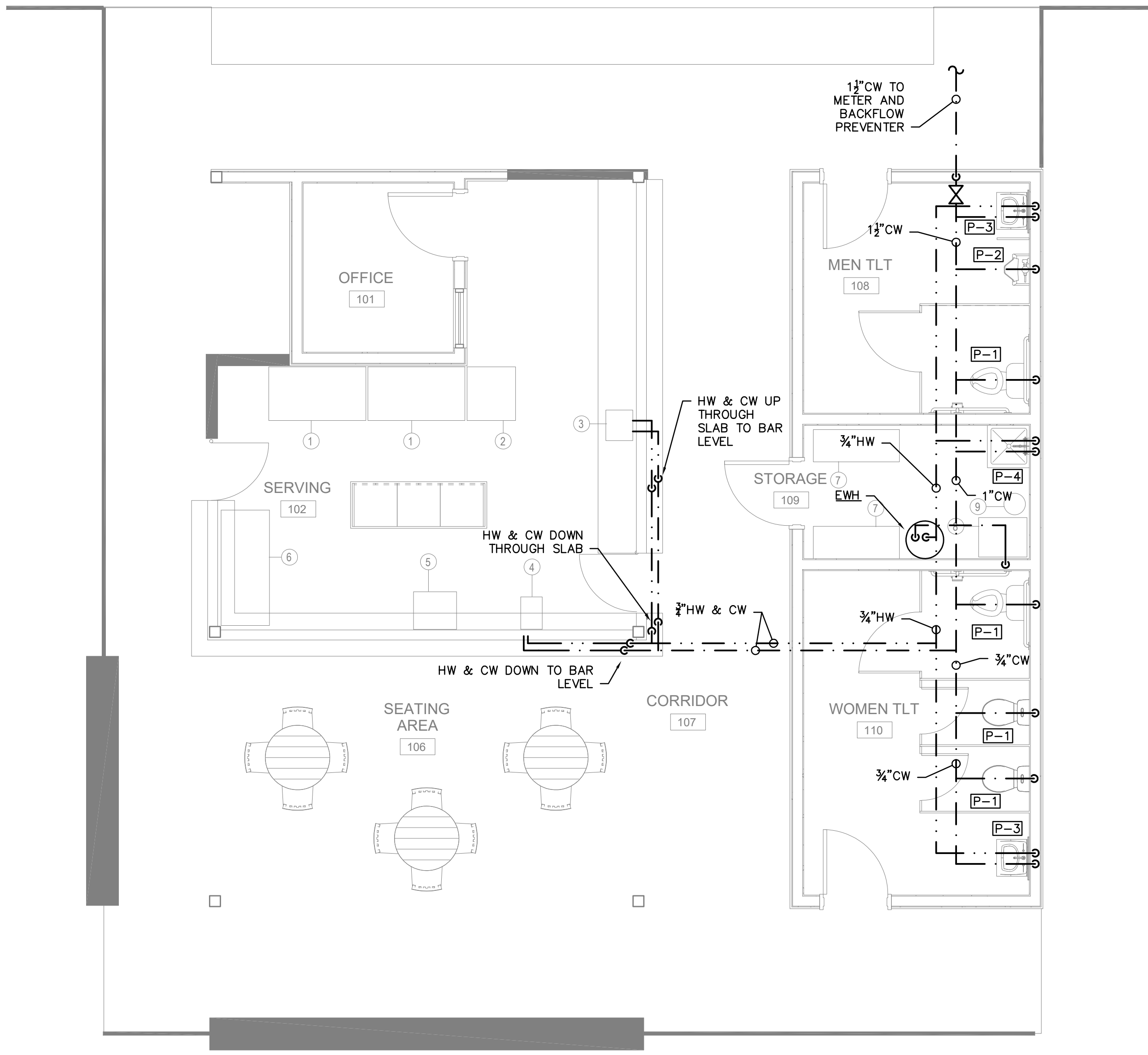
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Mark	Date	Description
PROJECT NO:	24074	
DATE:	9/24/2024	
SCALE:		
DRAWN BY:		
PROJ MGR:		

PLUMBING SCHEDULES, NOTES & DETAILS



	ITEM	EQUIPMENT LIST MANUFACTURER	DIMENSIONS (H x W x D)	QUANT...
1	REFRIGERATED MERCHANDISER	TRUE MFG. - GENERAL FOODSERVICE MODEL GDM-49-HC-TSL01	78.63(h) x 54.13(w) x 29.88(d)	2
2	REFRIGERATED MERCHANDISER	TRUE MFG. - GENERAL FOODSERVICE MODEL GDM-23-HC-TSL01	78.63(h) x 27(w) x 29.88(d)	1
3	HAND SINK	SERV-WARE MODEL HS155-CWP	13.5(h) x 17(w) x 15(d)	1
4	UNDERBAR SINK UNITS	BK RESOURCES MODEL UB4-18-1014HS12-P-G	32.5(h) x 12(w) x 18(d)	1
5	ICE BIN	BK RESOURCES MODEL UB4-21-1B24	32.5(h) x 24(w) x 21(d)	1
6	BOTTLE COOLER	SERV-WARE MODEL BC-65-HC	35(h) x 64.3(w) x 27(d)	1
7	WIRE SHELVING	SERV-WARE MODEL GR1848CWP	48(w) x 18(d)	10
8	ICE MAKER, CUBE-STYLE	BLUE AIR FSE LLC MODEL BLM1-300A	30.63(h) x 22(w) x 27(d)	1
9	WATER FILTRATION SYSTEM	CUSTOM MODEL SYSTEMS IV CC1 SERIES	N/A	1



FLOOR PLAN – PLUMBING – WATER
 SCALE: 1/4"=1'-0"

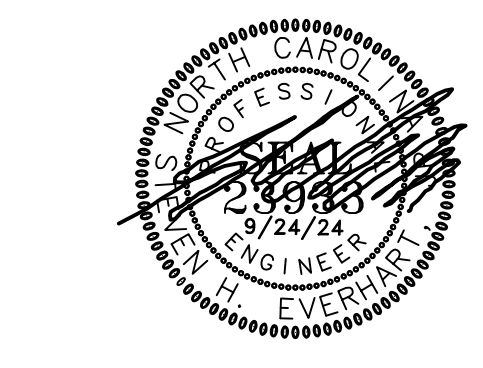
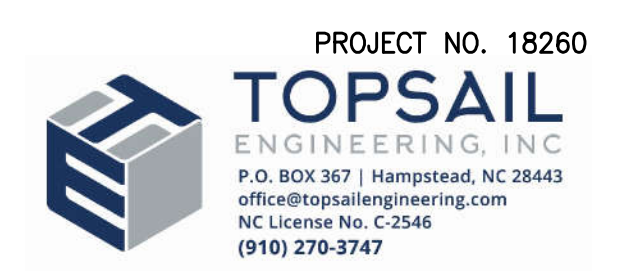
FLOOR PLAN – PLUMBING – WASTE
 SCALE: 1/4"=1'-0"

SURF'S UP MINIATURE GOLF STRUCTURES
 1360 BRIDGE BARRIER RD,
 CAROLINA BEACH, NC 28428

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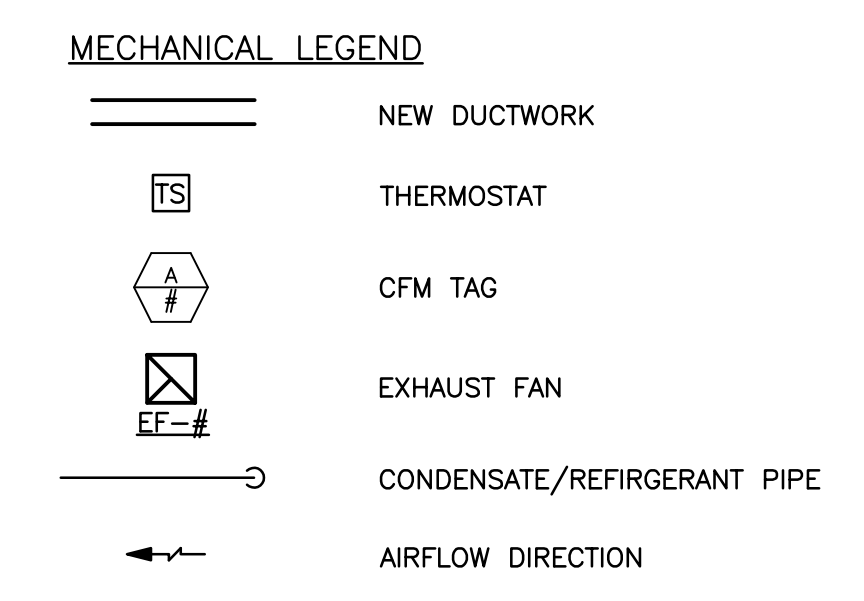
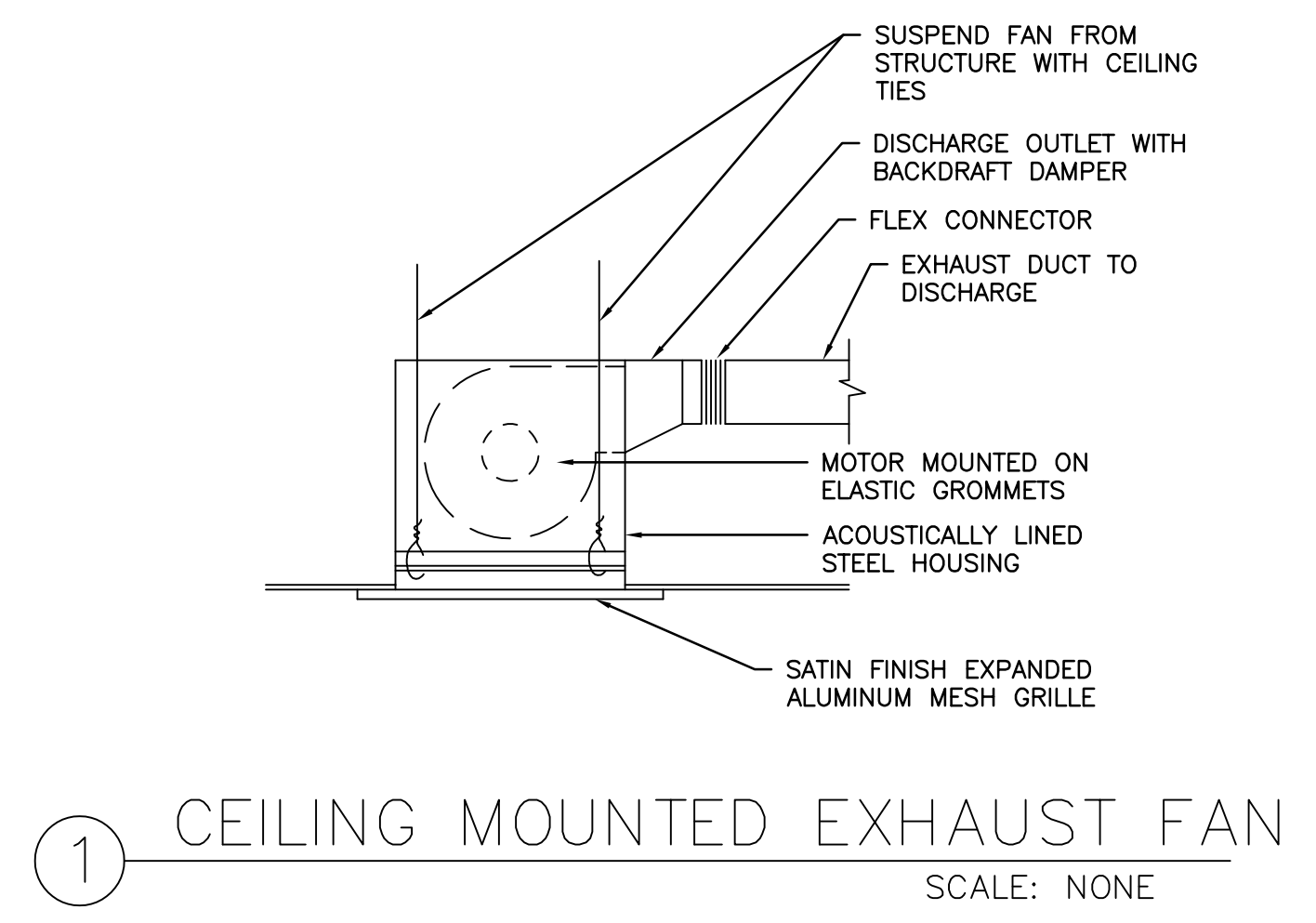
FLOOR PLAN PLUMBING



SURF'S UP MINIATURE GOLF STRUCTURES
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CAROLINA BEACH, NC 28428

DUCTLESS SPLIT SYSTEM HEAT PUMP SCHEDULE

UNIT NUMBER		DAHU-1, 2, 3	
AIR HANDLER TYPE		WALL MOUNTED	
MANUFACTURER		MITSUBISHI	
MODEL NUMBER		PKA-A12LA	
UNIT WEIGHT (LBS)		32	
FAN	TOTAL AIR CFM	455	
	OUTSIDE AIR CFM	-	
	FAN H.P.	30 WATTS	
	EXT. S.P. (IN H2O)	-	
	POWER SUPPLY	208V-1Ø-60	
COOLING CAPACITY	TOTAL COOLING CAPACITY (BTUH)	12,000	
	SENSIBLE COOLING CAPACITY (BTUH)	9,720	
	ENTERING AIR TEMP	80/67	
	ENTERING AIR TEMP	70°F	
	HIGH TEMP (BTUH) 47°F	18,000	
HEATING CAPACITY	LOW TEMP (BTUH) 17°F	11,100	
	AUXILIARY COIL CAPACITY	-	
	POWER SUPPLY	208V-1Ø-60	
	MINIMUM AMPACITY	1	
	MAX. OVERCURRENT PROTECTION	VIA OUTDOOR UNIT	
	AIR COOLED HEAT PUMP	UNIT NUMBER	DHP-1, 2, 3
		MODEL NUMBER	PUY-A12NKA7
UNIT WEIGHT		137	
ENTERING AIR TEMP		95°F	
FAN TYPE		PROPELLER	
FAN H.P.		-	
COMPRESSOR		INVERTER	
POWER SUPPLY		208V-1Ø-60	
MINIMUM AMPACITY	11		
MAX. OVERCURRENT PROTECTION	28		
ACCESSORIES		(1)	



GENERAL MECHANICAL SPECIFICATIONS

ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE NC MECHANICAL CODE.

BASIS OF DESIGN: UNLESS OTHERWISE NOTED THE PURPOSE OF THESE DRAWINGS IS TO PROVIDE DIRECTION AND BASIS OF DESIGN TO A COMPETENT CONTRACTOR FAMILIAR WITH THE TYPE OF SYSTEMS BEING INSTALLED SUFFICIENT TO INDICATE OWNER'S REQUESTS AND CODE REQUIREMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY, WHEN OTHERWISE UNDIRECTED, TO FOLLOW STANDARD INDUSTRY PRACTICES AND BASIC CODE COMPLIANCE, INCLUDING, BUT NOT LIMITED TO, PROVIDING MATCHING REQUIRED ACCESSORIES TO THE SYSTEMS INDICATED, COORDINATING EXACT ROUTINGS AND LOCATIONS WITH OTHER TRADES AND THE OWNER, SELECTING CODE APPROVED MATERIALS, AND MAKING MINOR OFFSETS/ADJUSTMENTS BASED ON FIELD COORDINATION AND OWNER'S FIELD REQUESTS. CHANGE OF MANUFACTURER TO EQUIVALENT SYSTEMS, WITH OWNER'S APPROVAL, IS ACCEPTABLE. CONTACT ENGINEER WITH ANY CONFLICTS NOT COVERED BY THE ABOVE INSTRUCTIONS.

SHEET METAL WORK: THIS CONTRACTOR SHALL FURNISH ALL DUCTWORK AND ASSOCIATED SHEET METAL WORK AS CALLED FOR ON THE DRAWINGS AND REQUIRED FOR A COMPLETE DUCTED AIR DISTRIBUTION SYSTEM.

DUCTWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH BEST PRACTICES OF SHEET METAL WORK AND SMACNA STANDARDS.

ALL DUCTWORK SHALL BE GALVANIZED SHEET IRON THROUGHOUT EXCEPT WHERE OTHERWISE SHOWN AND FABRICATED IN ACCORDANCE WITH THE FOLLOWING TABLE (ALL DUCT SIZES ON CONTRACT DRAWINGS ARE SHEET METAL FABRICATION SIZES):

MAXIMUM DIMENSION OF DUCT	GAUGE U.S. STD.	TRANSVERSE JOINT	BRACING
UP TO 12"	26	DRIVE SLIPS 7"-10" CENTERS	NONE
13" TO 30"	24	DRIVE SLIPS 7"-10" CENTERS	1"x1"x1/8" ANGLES 4 FEET FROM JOINT

DUCTS 25 INCHES OR SMALLER IN MAXIMUM DIMENSION SHALL BE SUPPORTED WITH 1 INCH FLAT BAND HANGERS; DUCTS 25 INCHES AND LARGER SHALL BE SUPPORTED BY 3/4 INCH X 1-1/2 INCH ANGLE IRON AND ROUND ROD. SUPPORTS SHALL BE NOT MORE THAN 8 FEET ON CENTERS, PROPERLY FASTENED AND PLACED TO BUILDING STRUCTURES AND SHALL EXTEND AND BE RIVETED TO THE BOTTOM OF DUCTS.

UNLESS OTHERWISE SPECIFIED, FURNISH AND INSTALL ALL NECESSARY LINTELS, PROPERLY SIZED, SHEET METAL SLEEVES AND ESCUTCHEON COLLARS WHERE DUCTWORK RISES THROUGH FLOORS OR PASSES THROUGH WALLS OR CEILINGS.

FURNISH AND INSTALL FLEXIBLE COLLARS IN THE DUCTWORK CONNECTIONS TO AIR HANDLING FANS TO PREVENT NOISE TRANSMISSION BETWEEN SECTIONS.

ALL CHANGES IN DUCT DIRECTION SHALL BE LONG RADIUS ELBOWS OR SHALL BE FITTED WITH TURNING VANES.

IT IS ACCEPTABLE TO CHANGE RECTANGULAR DUCTWORK TO THE EQUIVALENT SIZE IN ROUND PROVIDED THE CONTRACTOR COORDINATES ALL CLEARANCE ISSUES.

DUCT INSULATION: ALL CONCEALED DUCTWORK SHALL BE INSULATED ON THE OUTSIDE WITH TWO INCH (2") THICK, 3/4 POUND DENSITY FIBERGLASS BLANKET INSULATION HAVING AN ALUMINUM FOIL-SCRIM VAPOR BARRIER JACKET. EXPOSED DUCTWORK SHOWN ROUND SHALL BE DOUBLE WALL SPIRAL UNLESS OWNER SPECIFICALLY ALLOWS FOR POTENTIAL SWEATING ISSUES.

EDGES OF INSULATION SHALL BE CUT STRAIGHT AND TRUE AND SHALL BE TIGHTLY BUTTED. THE VAPOR BARRIER JACKET SHALL OVERLAP THE BLANKET JOINT A MINIMUM OF THREE INCHES (3"). THE JACKET LAP SHALL BE FASTENED WITH MOISTURE RESISTANT ADHESIVE AND ALSO OUTWARD CLINCHING STAPLES SPACED TEN INCHES (10") C/C. THE VAPOR BARRIER EDGE AND STAPLES SHALL THEN BE COVERED WITH A THREE INCH (3") WIDE TAPE OF THE SAME MATERIAL AS THE JACKET AND SHALL BE FASTENED WITH MOISTURE RESISTANT ADHESIVE.

ALL CUTS, TEARS AND PENETRATIONS IN THE VAPOR BARRIER JACKET SHALL BE SEALED WITH JOINT TAPE. ALL EDGES OF INSULATING BLANKET SHALL BE SEALED FROM THE JACKET TO DUCT SURFACE WITH TAPE.

INSULATING BLANKET ON THE BOTTOM OF SURFACES IN EXCESS OF 24 INCHES WIDE SHALL BE SECURED AGAINST THE DUCT WITH ADHESIVE OVER THE ENTIRE AREA, MECHANICAL CLIPS ON 24 INCH CENTER OR BY WIRE TIES AROUND THE DUCT SPACED 24 INCHES C/C.

CONTRACTOR MAY USE FLEXIBLE DUCTWORK (MAXIMUM LENGTHS 15'-0") FOR FINAL CONNECTIONS TO DIFFUSERS/GRILLES. FLEXIBLE DUCTWORK SHALL BE CERTAFLEX 25 AS MANUFACTURED BY THE CERTAINTeed CORPORATION.

REGISTERS AND GRILLES: ALL REGISTERS AND GRILLES SHALL BE OF SIZE, STYLE AND CAPACITY CALLED FOR ON PLANS AND IN THE GRILLE SCHEDULE. PROVIDE RUBBER OR EXPANDED FOAM GASKETS COMPLETELY AROUND ALL REGISTER AND GRILLE FRAMES TO PREVENT AIR LEAKAGE BETWEEN GRILLE FRAME AND DUCT OR BETWEEN GRILLE FRAME AND SURROUNDING FINISHED SURFACE. ACCEPTABLE MGFS: PRICE, CARNES, METALAIR, KRUGER.

EQUIPMENT: MECHANICAL AND ELECTRICAL CONTRACTORS SHALL COORDINATE PRIOR TO ORDERING EQUIPMENT TO VERIFY CONSISTANT VOLTAGES. PRIOR TO EQUIPMENT BEING ENERGIZED, VOLTAGE TO EQUIPMENT CIRCUITS SHALL BE VERIFIED AS INSTALLED TO MATCH EQUIPMENT NAMEPLATE.

OPERATING INSTRUCTIONS, CERTIFICATES AND WARRANTIES: THE ORIGINAL OF ALL INSPECTION CERTIFICATES SHALL BE DELIVERED TO THE OWNER AND ONE (1) COPY EACH TO THE ENGINEER PRIOR TO REQUEST FOR FINAL PAYMENT.

THREE (3) COPIES OF OPERATING AND MAINTENANCE INSTRUCTIONS AND MANUFACTURER'S WARRANTIES FOR ALL EQUIPMENT PROVIDED UNDER THIS CONTRACT SHALL BE PROVIDED TO THE OWNER PRIOR TO SUBMITTING REQUEST FOR FINAL PAYMENT.

PRIOR TO FINAL PAYMENT TO THE CONTRACT, THE CONTRACTOR SHALL BE RESPONSIBLE TO TRAIN THE AUTHORIZED PERSONNEL ON HOW TO SERVICE, START-UP AND SHUT-DOWN THE VARIOUS SECTIONS OF THE SYSTEM. UPON COMPLETION OF THIS PHASE OF THE CONTRACT, THE CONTRACTOR SHALL SECURE A LETTER OF ACCEPTANCE FROM THE OWNER THAT HE IS SATISFIED WITH THE CONDITIONS STIPULATED HEREIN. UPON ACCEPTANCE OF THIS LETTER AND AT THE DISCRETION OF THE ENGINEER, THE FINAL PAYMENT WILL BE MADE.

THE CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE OF ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM DATE OF SYSTEM ACCEPTANCE.

THE WORK UNDER THIS CONTRACT WILL BE ACCEPTED ONLY AS AN ENTIRE SYSTEM UPON SATISFACTORY COMPLETION OF THE REQUIRED TESTS. NO PARTIAL ACCEPTANCE OF ANY PART OR PORTION OF APPARATUS WILL BE MADE.

INSTALL AND CONNECT ALL EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND DO ALL WORK IN A NEAT AND WORKMANLIKE MANNER AND IN ACCORDANCE WITH ACCEPTED GOOD PRACTICE AS JUDGED BY THE ENGINEER.

ALL EQUIPMENT AND PIPING SHALL BE SO INSTALLED THAT NO OBJECTIONABLE NOISES FROM EQUIPMENT, PIPING OR AIR DISTRIBUTION ARE AUDIBLE IN THE FINISHED AREAS.

GUARANTEE: THIS CONTRACTOR SHALL GUARANTEE ALL MATERIALS, EQUIPMENT AND WORKMANSHIP FOR ONE (1) YEAR FOLLOWING FINAL INSPECTION AND ACCEPTANCE OF THE BUILDING BY THE ENGINEER AND OWNER. THIS APPLIES TO ALL MATERIALS AND EQUIPMENT INSTALLED UNDER THIS CONTRACT, REGARDLESS OF SOURCE.

THE ONE (1) YEAR GUARANTEE PERIOD WILL START ON THE DAY OF FINAL INSPECTION AND ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL PROVIDE THE ENGINEER A LETTER WITH TWO (2) COPIES STATING THE BEGINNING AND ENDING DATES OF THE GUARANTEE BASED ON THE AFOREMENTIONED STARTING DATES.

EXTENDED GUARANTEE: PROVIDE AN ADDITIONAL FOUR (4) YEAR GUARANTEE ON ALL COMPRESSORS BEYOND THE ABOVE MENTIONED ONE (1) YEAR GUARANTEE PERIOD.

AIR BALANCE: ALL SYSTEMS SHALL BE BALANCED BY THE CONTRACTOR PER THE REQUIREMENTS OF SECTION 408.2.2.1 OF THE NORTH CAROLINA STATE BUILDING CODE: ENERGY CONSERVATION CODE.

ENERGY CODE COMPLIANCE: HVAC EQUIPMENT SELECTED MEETS PERFORMANCE REQUIREMENTS OF THE NORTH CAROLINA STATE BUILDING CODE: ENERGY CONSERVATION CODE SECTION 406.2 ANY SUBSTITUTIONS MUST MEET THIS STANDARD AS WELL. UPON FINAL INSPECTION THE CONTRACTOR SHALL PROVIDE TO OWNER MANUALS AND EVIDENCE OF AIR BALANCE. CONTRACTOR SHALL SCHEDULE DESIGN PROFESSIONAL AND ASSIST TO COMPLETE SYSTEM INSTALLATION STATEMENT IN ACCORDANCE WITH THE NORTH CAROLINA STATE BUILDING CODE: ENERGY CONSERVATION CODE SECTION 408.1.

(1) PROVIDE WALL MOUNTED, PROGRAMMABLE ELECTRONIC THERMOSTAT WITH AUTO CHANGEOVER.

EXHAUST FAN SCHEDULE

TAG	CFM	RPM	S.P. IN W.G	WATTS/HP	SONES	ELECTRIC	CONTROL	MANUF. MODEL NUMBER	DESCRIPTION & ACCESSORIES
EF-1	75	700	0.25	50 W	3.0	120V-1Ø-60	THERMOSTAT	GREENHECK SP-B90	1,2,3
EF-2	150	1050	0.25	129 W	4.5	120V-1Ø-60	WIRED WITH LIGHT	GREENHECK SP-B150	1,2,3
EF-3	225	1000	0.25	83 W	3.0	120V-1Ø-60	WIRED WITH LIGHT	GREENHECK SP-A250	1,2,3

(1) CABINET CEILING FAN, DIRECT DRIVE, CENTRIFUGAL, SPRING LOADED ALUMINUM BACKDRAFT DAMPER.
 (2) ALUMINUM, WHITE ENAMEL CEILING GRILLE.
 (3) ALUMINUM HOODED WALL CAP WITH BUILT-IN BIROSCREEN AND DAMPER.
 ALTERNATE BY PENNBARRY ACCEPTABLE

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

METHOD OF COMPLIANCE
 Prescriptive Energy Cost Budget

Thermal Zone 3A

Exterior design conditions
 winter dry bulb 26° F
 summer dry bulb 92° F DB/76° F WB

Interior design conditions
 winter dry bulb 70° F
 summer dry bulb 75° F
 relative humidity 50%

Building heating load 27 MBTU/H
 Building cooling load 2.3 TONS

Mechanical Spacing Conditioning System
 Unitary
 description of unit _____
 heating efficiency 9.0 HSPF
 cooling efficiency 15.0 SEER AVG.
 heat output of unit SEE SCHEDULES
 cooling output of unit SEE SCHEDULES

boiler
 total boiler output. If oversized, state reason.
N/A

chiller
 total chiller capacity. If oversized, state reason.
N/A

List equipment efficiencies N/A

Equipment schedules with motors (mechanical systems)
 motor horsepower SEE SCHEDULES
 number of phases SEE SCHEDULES
 minimum efficiency SEE SCHEDULES
 motor type ODP
 # of poles 4

Additional prescriptive compliance method : C406.2.1 More Eff. Mech Equip.

DESIGNER STATEMENT:
 To the best of my knowledge and belief, the design of this building complies with the mechanical systems, service systems and equipments of the 2018 North Carolina State Energy Code.

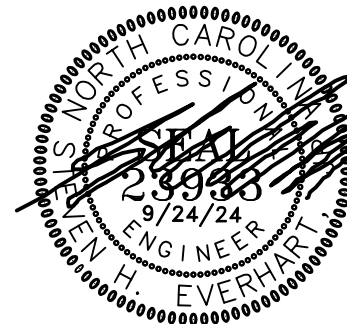
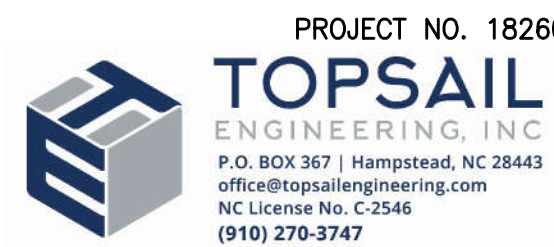
SIGNED: _____
 NAME: STEVEN H. CEVERHART JR., P.E.
 TITLE: PROFESSIONAL ENGINEER

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Mark	Date	Description
PROJECT NO:	24074	
DATE:	9/24/2024	
SCALE:		
DRAWN BY:		
PROJ MGR:		

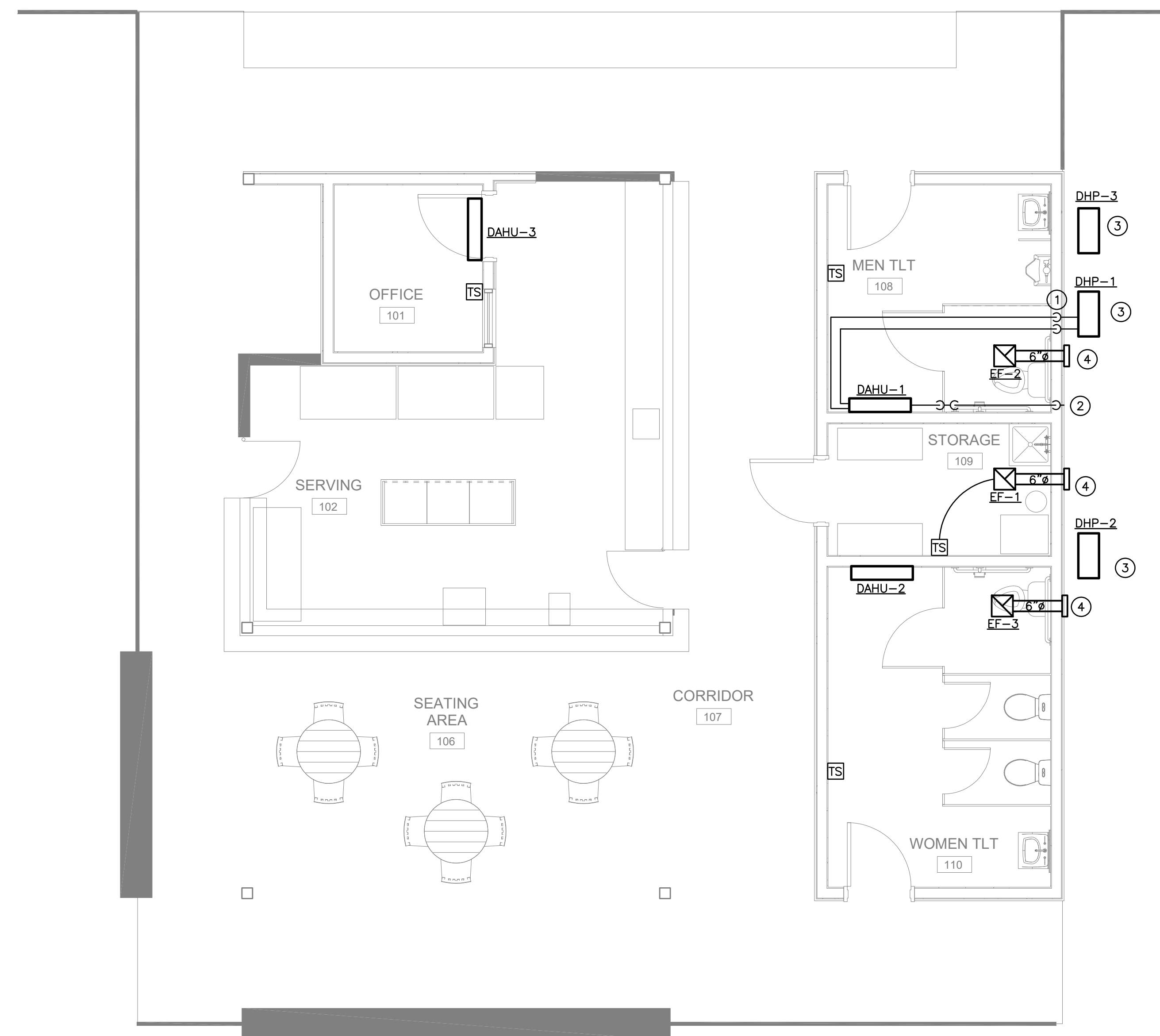
MECHANICAL SCHEDULES, NOTES & DETAILS

M100



GENERAL NOTES:

- ① REFRIGERANT PIPING CONCEALED ABOVE CEILING AND IN BUILDING CONSTRUCTION, SIZE AS RECOMMENDED BY UNIT MANUFACTURER. TYP.
- ② 1" CONDENSATE DRAIN PIPING WITH PROPER PITCH. TERMINATE OUTSIDE BUILDING, MIN. 8" ABOVE GRADE WITH ELBOW LOOKING UP. TYP.
- ③ MOUNT UNIT ON 4" CONCRETE PAD OR PAVED SURFACE.
- ④ DUCT CAP TO EXHAUST FAN.



FLOOR PLAN – MECHANICAL
SCALE: 1/4" = 1'-0"

**SURF'S UP MINIATURE GOLF
STRUCTURES**

1360 BRIDGE BARRIER RD.
CAROLINA BEACH, NC 28428

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Mark	Date	Description
PROJECT NO:	24074	
DATE:	9/24/2024	
SCALE:		
DRAWN BY:		
PROJ MGR:		

**FLOOR PLAN
MECHANICAL**

M200

SCOPE: FURNISH ALL MATERIALS, LABOR, TOOLS, EQUIPMENT AND SUPERVISION NECESSARY TO INSTALL COMPLETE ELECTRICAL POWER AND LIGHTING SYSTEM IN THE BUILDING AS FURTHER DESCRIBED ON THE ELECTRICAL CONTRACT DRAWINGS.

SUPPLY ALL MATERIALS, FITTINGS AND HARDWARE NECESSARY FOR COMPLETE OPERATING SYSTEMS WITHIN THE OBVIOUS INTENT OF THE DRAWINGS. NO ATTEMPT HAS BEEN MADE TO DETAIL OR LIST EACH AND EVERY ITEM OF MATERIAL. THE ELECTRICAL CONTRACTOR IS CAUTIONED TO READ THE ENTIRE PROJECT DRAWINGS AND SPECIFICATIONS TO ASSURE HIMSELF OF A THOROUGH KNOWLEDGE OF BUILDING CONSTRUCTION, STRUCTURAL RESTRICTIONS TO ELECTRICAL CONTRACT WORK AND TO ASSURE THAT NO REFERENCE ANYWHERE IN THE PROJECT DRAWINGS AND SPECIFICATIONS TO WORK BY THE ELECTRICAL CONTRACTOR IS OVERLOOKED.

CODES, PERMITS AND INSPECTIONS: THE LATEST EDITION OF THE STATE BUILDING CODE WHICH INCLUDES THE 2020 EDITION OF THE NATIONAL ELECTRICAL CODE IS HEREBY MADE A PART OF THIS SPECIFICATION. CODE REQUIREMENTS SHALL TAKE PRECEDENCE OVER THESE SPECIFICATIONS WHERE THE CODE REQUIREMENTS EXCEED THAT OF THE SPECIFICATIONS. HOWEVER, THE SPECIFICATIONS SHALL BE FOLLOWED WHERE THEY EXCEED CODE REQUIREMENTS. THE ELECTRICAL CONTRACTOR SHALL AT NO ADDITIONAL COST TO THE OWNER, OBTAIN THE SERVICES OF THE LOCAL ELECTRICAL INSPECTOR TO MAKE ALL REQUIRED INSPECTIONS.

MATERIALS AND WORKMANSHIP: ALL MATERIAL BUILT INTO THIS PROJECT SHALL BE NEW OF EQUIVALENT OR BETTER QUALITY THAN THAT SPECIFIED. SPECIFIC NAMES AND CATALOG NUMBERS USED HEREIN ARE TO ESTABLISH THE ITEM FUNCTION, ARRANGEMENT AND QUALITY REQUIRED AND ARE NOT INTENDED TO RESTRICT COMPETITION. ALL MATERIALS SHALL BE UL LISTED AND LABELED FOR THE PARTICULAR APPLICATION AS USED ON THIS PROJECT.

CONDUCTORS: ALL CONDUCTORS SHALL BE COPPER (#10 AWG AND SMALLER SHALL BE SOLID, AND #8 AWG AND LARGER STRANDED) WITH THIN/THIN INSULATION, INSTALLED IN CONDUIT (PANEL FEEDER) OR MC CABLE (BRANCH CIRCUITS). NM CABLE SHALL NOT BE USED. CONDUCTORS SHALL BE #12 AWG MINIMUM EXCEPT WITHIN LIGHT FIXTURES, LOW VOLTAGE CONTROLS OR COMMUNICATION/FIRE ALARM EQUIPMENT. CONDUCTOR COLOR CODE SHALL CONFORM TO THE NEC. CONDUCTORS SHALL BE CONTINUOUS FROM TERMINAL TO TERMINAL OR PULL BOX TO PULL BOX. JOINTS SHALL BE MADE WITH IDEAL "WIRENUTS."

RACEWAYS: RACEWAYS SHALL BE ELECTRICAL METALLIC TUBING (EMT) WITH THREADED STEEL HEXAGONAL COMPRESSION FITTINGS - NEITHER INDENTOR TYPE OR DIE METAL FITTING WILL BE ACCEPTED. CONDUIT UNDER THE FLOOR SLAB AND UNDER GROUND OUTSIDE THE BUILDING MAY BE PVC. FITTINGS IN EMT SHALL BE WEATHER TIGHT (THOMAS AND BETTS SERIES #5123 WITH NYLON INSULATED THROATS), BENDS SHALL BE FACTORY FABRICATED OR MADE "COLD" WITH BENDING TOOL, FREE OF KINKS OR RESTRICTIONS. NO SINGLE BEND SHALL BE IN EXCESS OF 90 DEGREES. THERE SHALL BE NO MORE THAN THE EQUIVALENT OF THREE (3) 90 DEGREE BENDS IN A GIVEN RACEWAY FROM PULL BOX TO PULL BOX. RIGID RACEWAY THREADS SHALL BE CUT STRAIGHT AND TRUE - PIPE ENDS SHALL BE REAMED AND SMOOTHED INSIDE AND OUT.

SUPPORT 1-1/2 INCH AND LARGER CONDUIT 10 FEET O/C OR LESS, AND 1 INCH AND SMALLER 6 FEET O/C MAXIMUM. RACEWAYS SHALL BE SUPPORTED DIRECTLY FROM BUILDING STRUCTURE WITH BOLTS, SCREWS, STRAPS, HANGER RODS AND BRACKETS. ALL METALLIC HARDWARE SHALL BE GALVANIZED OR CADMIUM PLATED. NAILS, WIRE AND/OR PERFORATED STRAPS WILL NOT BE ACCEPTED.

USE THREADED LOCKNUTS OUTSIDE AND THREADED LOCKNUT AND BUSHING INSIDE ALL RACEWAY CONNECTIONS TO BOXES, DEVICES, PANELS AND GUTTERS. USE NON-METALLIC BUSHINGS ON ALL 1-1/4 INCH AND LARGER CONDUIT. EXPOSED CONDUIT SHALL BE RUN STRAIGHT AND TRUE PARALLEL AND PERPENDICULAR TO PRIMARY BUILDING LINES.

BOXES AND DEVICES: ALL BOXES, PANELS AND EQUIPMENT SHALL BE SUPPORTED DIRECTLY FROM THE BUILDING STRUCTURE AND SHALL NOT DEPEND ON THE FEEDER RACEWAYS FOR SUPPORT. ALL ITEMS SHALL BE CAREFULLY ALIGNED SO THAT COVERS WILL FINISH FLUSH AND STRAIGHT. ALL UNUSED KNOCKOUTS SHALL BE CLOSED WITH BLANKING DEVICES. BOXES IN CONCRETE OR MASONRY SHALL BE 3-1/2 INCH DEEP (MINIMUM) SQUARE 16 GAUGE GALVANIZED STEEL - STEEL CITY SERIES "GW". BOXES INSTALLED IN WOOD PARTITIONS SHALL BE STEEL CITY 3-1/2 INCH DEEP GANGABLE SQUARE CORNER TYPE. RECEPTACLES SHALL BE HUBBELL 5362 OR EQUAL. SWITCHES SHALL BE HUBBELL 1120 SERIES OR EQUAL. COVER PLATES SHALL BE IMPACT RESISTANT. EXCEPT USE STAINLESS STEEL IN FOOD SERVICE AREAS.

PULL BOXES SHALL BE 14 GAUGE GALVANIZED STEEL WITH BLANK COVER SIZED AS REQUIRED BY NATIONAL ELECTRICAL CODE. LOCATE DEVICES AND EQUIPMENT ABOVE FINISHED FLOOR AS FOLLOWS UNLESS OTHERWISE SPECIFICALLY NOTED ON PLANS:

- WALL SWITCHES - 4"-0" OR TO NEAREST MASONRY COURSE JOINT.
- RECEPTACLES - 1'-6" OR TO NEAREST MASONRY COURSE JOINT.
- LIGHT FIXTURES - AS NOTED ON FIXTURE SCHEDULE.

GROUNDING: THE ELECTRICAL SYSTEM AND ALL ELECTRICAL EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE WITH ARTICLE 250 OF THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE. GREEN EQUIPMENT GROUND WIRE SHALL BE USED WITH ALL FEEDERS AND BRANCH CIRCUITS.

LIGHTING FIXTURES: LIGHTING FIXTURES AND LAMPS SHALL BE PROVIDED AND INSTALLED AS PER SCHEDULE. ALL FIXTURES SHALL BE CLEANED ON COMPLETION OF INSTALLATION.

TESTS: THE CONTRACTOR SHALL MEGGER ALL BUSWAYS, CABLES AND CONTROL CONNECTIONS TO PROVE INSULATION RESISTANCE IS OF ACCEPTABLE VALUE.

PANELBOARDS: PROVIDE PANELS AS SCHEDULED EQUAL TO SQUARE D NQDD.

SAFETY SWITCHES: SWITCHES SHALL BE EQUAL TO SQUARE D TYPE GD WITH RATINGS AND FUSING PROVISIONS AS INDICATED.

IDENTIFICATION AND NAMEPLATES: PROVIDE ENGRAVED, LAMINATED BAKELITE (WHITE LETTERS ON BLACK SURFACE) NAMEPLATES SCREWED TO EACH PIECE OF ELECTRICAL DISTRIBUTION EQUIPMENT AS FOLLOWS:

A. PANELBOARDS, SWITCHBOARDS - DESIGNATION L1, P1, ETC., VOLTAGE, PHASE NUMBER OF WIRES, ETC.; WORDING EXAMPLE: PANEL L1-208V-3 PHASE, 4 WIRE.

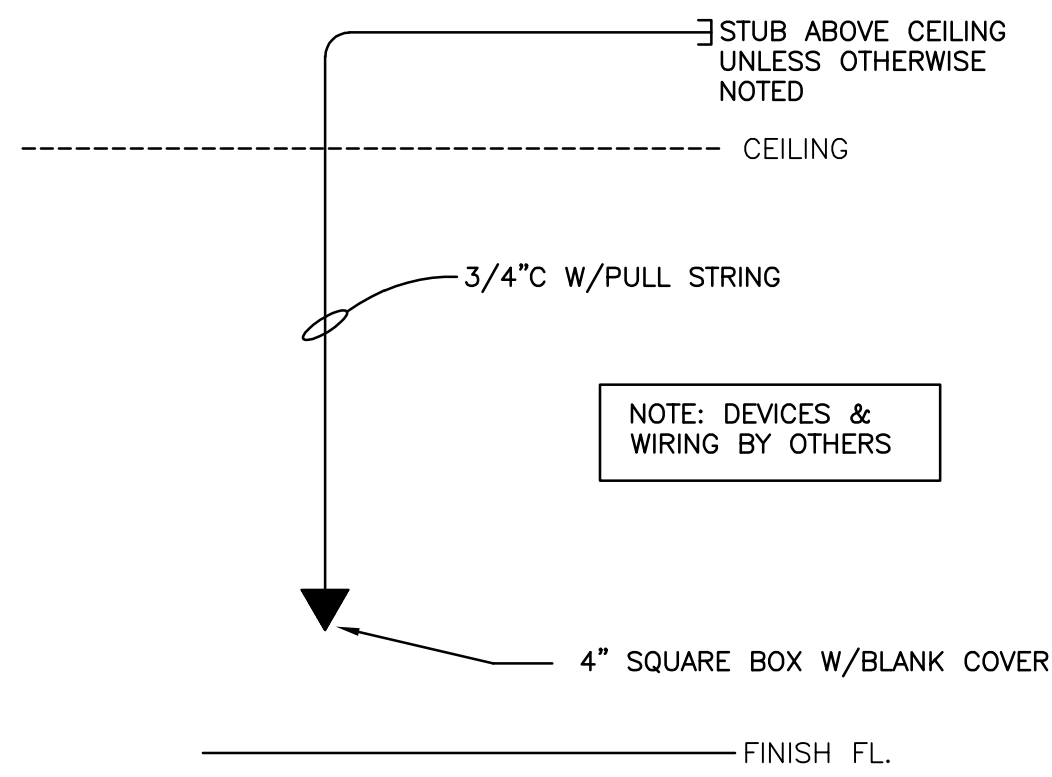
B. MOTOR STARTERS, DISCONNECT SWITCHES - UNLESS MOUNTED DIRECTLY ON OR ADJACENT TO IDENTIFY EQUIPMENT; WORDING EXAMPLE: EXHAUST FAN 1, MAKE-UP AIR UNIT.

EQUIPMENT CONNECTIONS: THIS CONTRACTOR SHALL BRING ALL REQUIRED ELECTRICAL SERVICE TO ALL EQUIPMENT ITEMS FURNISHED UNDER OTHER SECTIONS OF THESE SPECIFICATIONS OR BY THE OWNER, MAKE FINAL CONNECTIONS, AND LEAVE EQUIPMENT READY FOR OPERATION. THIS CONTRACTOR SHALL COORDINATE WITH ANY AFFECTED TRADE TO ASSURE CORRECT OPERATION OF THE EQUIPMENT ITEM.

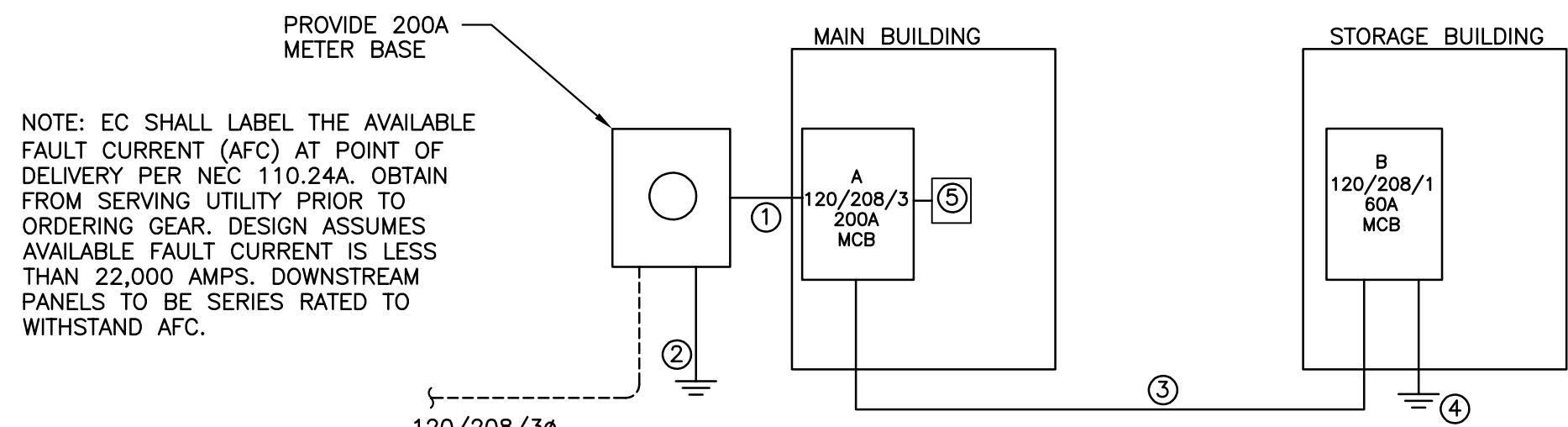
CONTROL AND INTERLOCK WIRING: EXCEPT AS OTHERWISE INDICATED ON THE DRAWINGS, ALL CONTROL AND INTERLOCK WIRING SHALL BE PERFORMED BY THE RESPECTIVE CONTRACTORS.

THE ELECTRICAL SUBCONTRACTOR SHALL INSTALL ALL STARTERS, PILOT SWITCHES, CONTROL DEVICES AND MISCELLANEOUS ITEMS OF ELECTRICAL EQUIPMENT FURNISHED UNDER OTHER SECTIONS OF THESE SPECIFICATIONS THAT ARE NOT INTEGRALLY MOUNTED WITH THEIR ASSOCIATED EQUIPMENT.

SERVICE: THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING SERVICE WITH THE UTILITY COMPANY. PROVIDE UTILITY REQUIRED METERING PROVISIONS. EC SHALL WORK DIRECTLY WITH THE UTILITY AND SHALL COMPLETE AND SUBMIT ALL LOAD DATA SHEETS REQUIRED FOR SERVICE APPLICATION.



TYPICAL DATA/COMM OUTLET NTS



POWER RISER NTS

- 1 4 #3/0, #4 GND, 2" C
- 2 #4 GND PER NEC 250. SEE DETAIL
- 3 3 #6, #10 GND, 1"
- 4 #8 GND PER NEC 250. SEE DETAIL
- 5 PROGRAMMABLE ELECTRONIC TIMECLOCK FOR COURSE LIGHTING

ELECTRICAL SUMMARY

ELECTRICAL SYSTEM AND EQUIPMENT METHOD OF COMPLIANCE:
 Energy Code: Prescriptive Performance

Lighting schedule
 lamp type required in fixture See Fixture Schedule
 number of lamps in fixture See Fixture Schedule
 ballast type used in the fixture See Fixture Schedule
 number of ballasts in fixture See Fixture Schedule
 total wattage per fixture See Fixture Schedule
 total interior wattage specified vs allowed 1737/1746
 total exterior wattage specified vs allowed 2590/5440

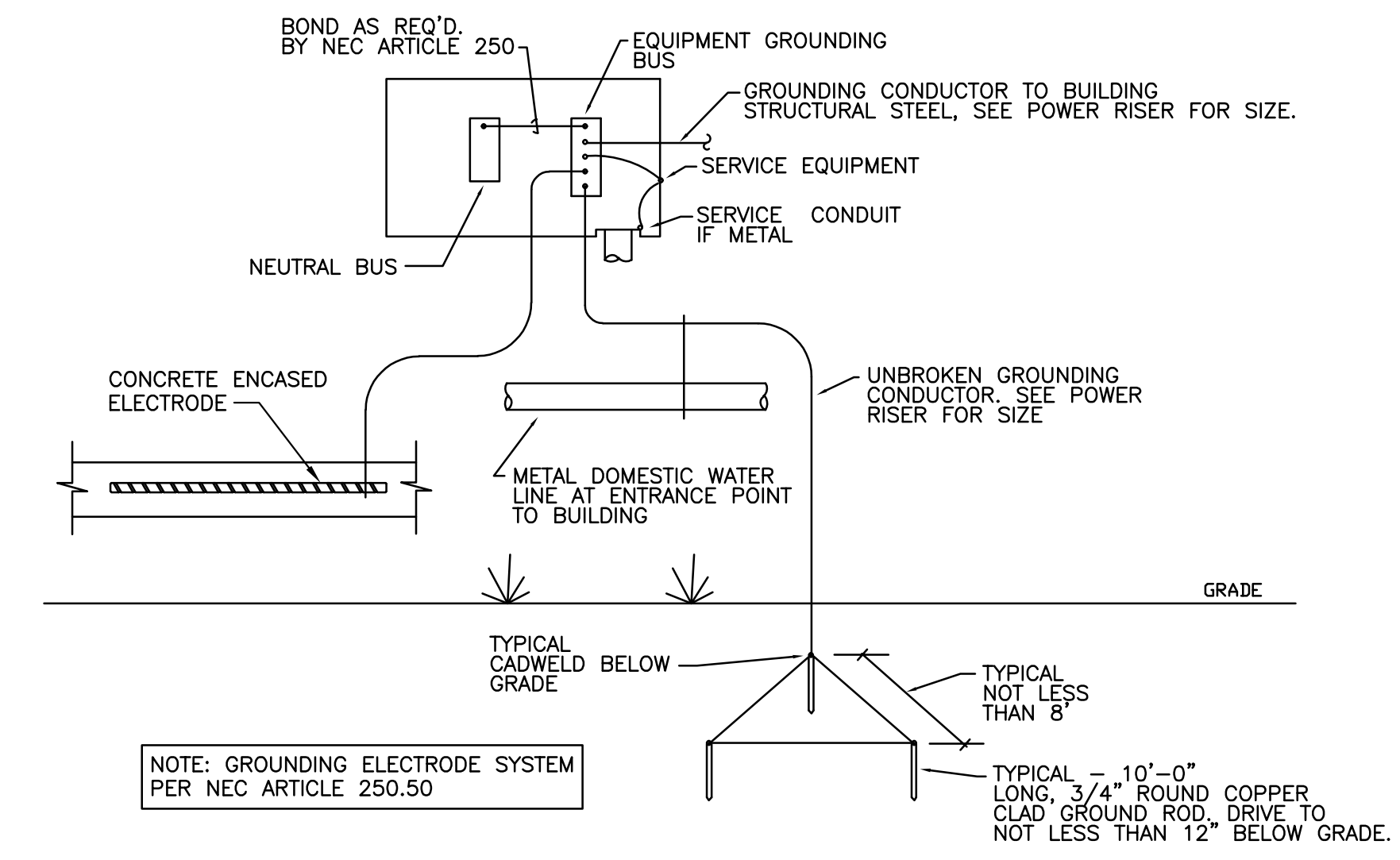
- Additional Efficiency Package Options
- C406.2 More Efficient HVAC Equipment Performance
 - C406.3 Reduced Lighting Power Density
 - C406.4 Enhanced Digital Lighting Controls
 - C406.5 On-Site Renewable Energy
 - C406.6 Dedicated Outdoor Air System
 - C406.7 Reduced Energy Use in Service Water Heating
 - N/A EXISTING/RENOVATION

DESIGNER STATEMENT: To the best of my knowledge and belief, the design of this building complies with the requirements of Section C405 of the 2018 North Carolina State Energy Code.

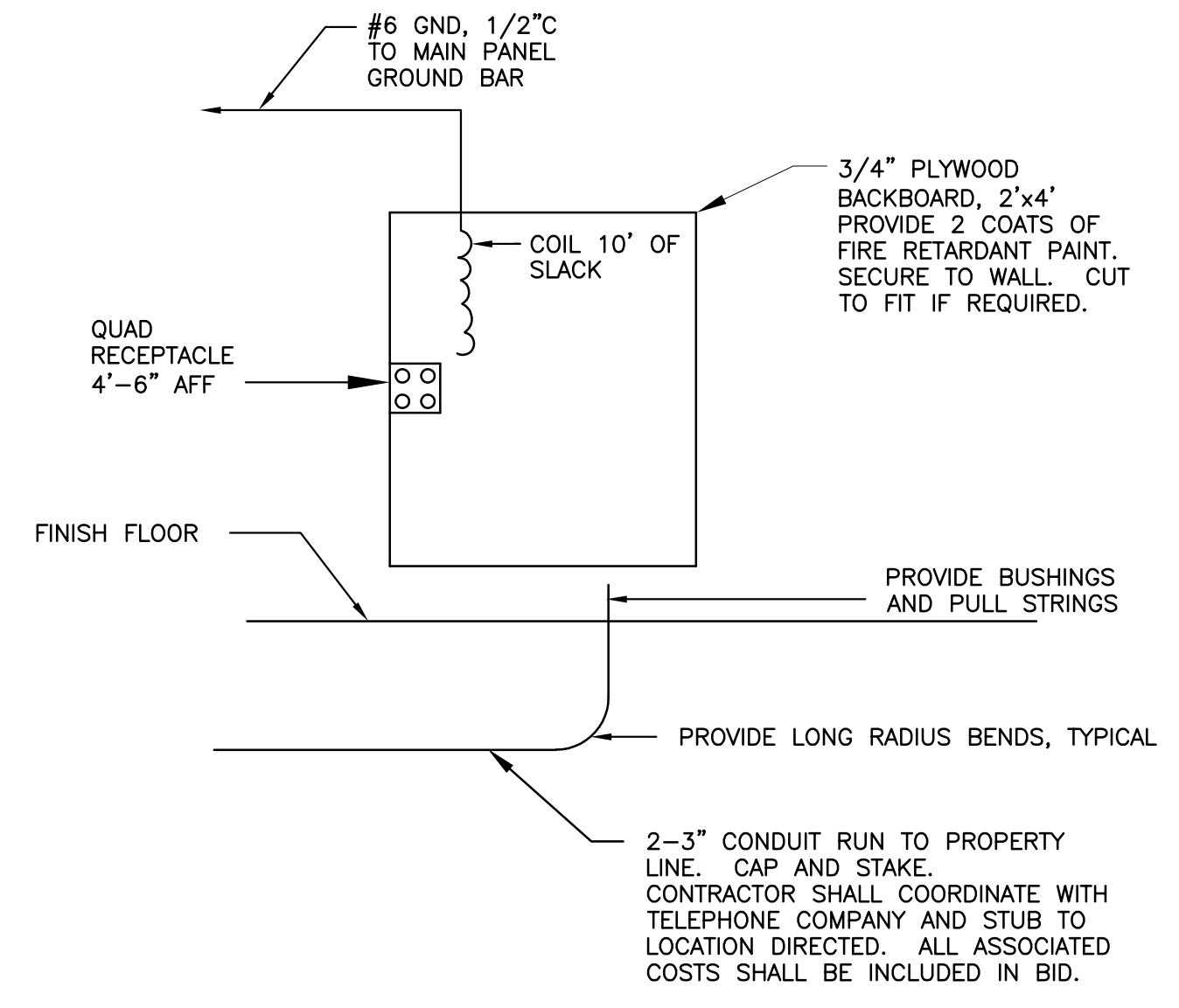
SIGNED: Gregory McDowell
 NAME: Gregory McDowell
 TITLE: Professional Engineer

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
---	CONDUIT
----	CONDUIT UNDERFLOOR OR UNDERGROUND
↗	ARROW INDICATES HOMERUN, TICKMARKS: NEUTRAL, PHASE, GND.
☐	POWER PANEL
⊕	JUNCTION BOX
⊕	DISCONNECT SWITCH; FUSED; NONFUSED
S _m	MOTOR TOGGLE SWITCH
⊕	MOTOR
○	LIGHT FIXTURE
AFF	ABOVE FINISHED FLOOR
⊕	DUPLEX RECEPT, ABOVE COUNTER
⊕ WP, ⊕ GFI	WEATHERPROOF, GROUND FAULT
▼	DATA/COMM OUTLET

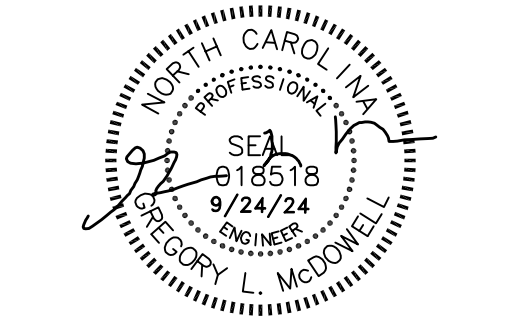
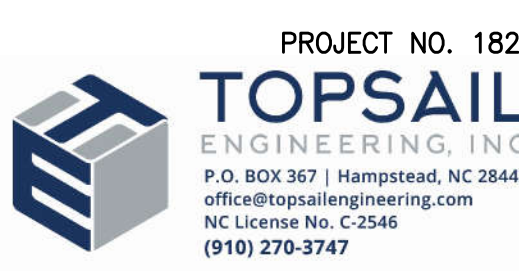
SEE LIGHTING PLAN FOR ADDITIONAL SYMBOLS



ELECTRICAL SERVICE GROUNDING DETAIL SCALE: NTS



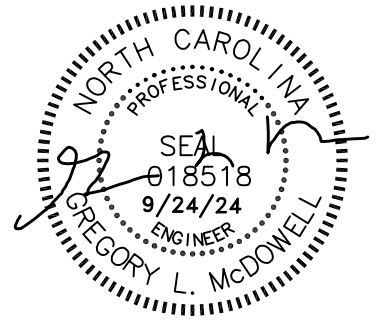
TELEPHONE SERVICE DETAIL NTS



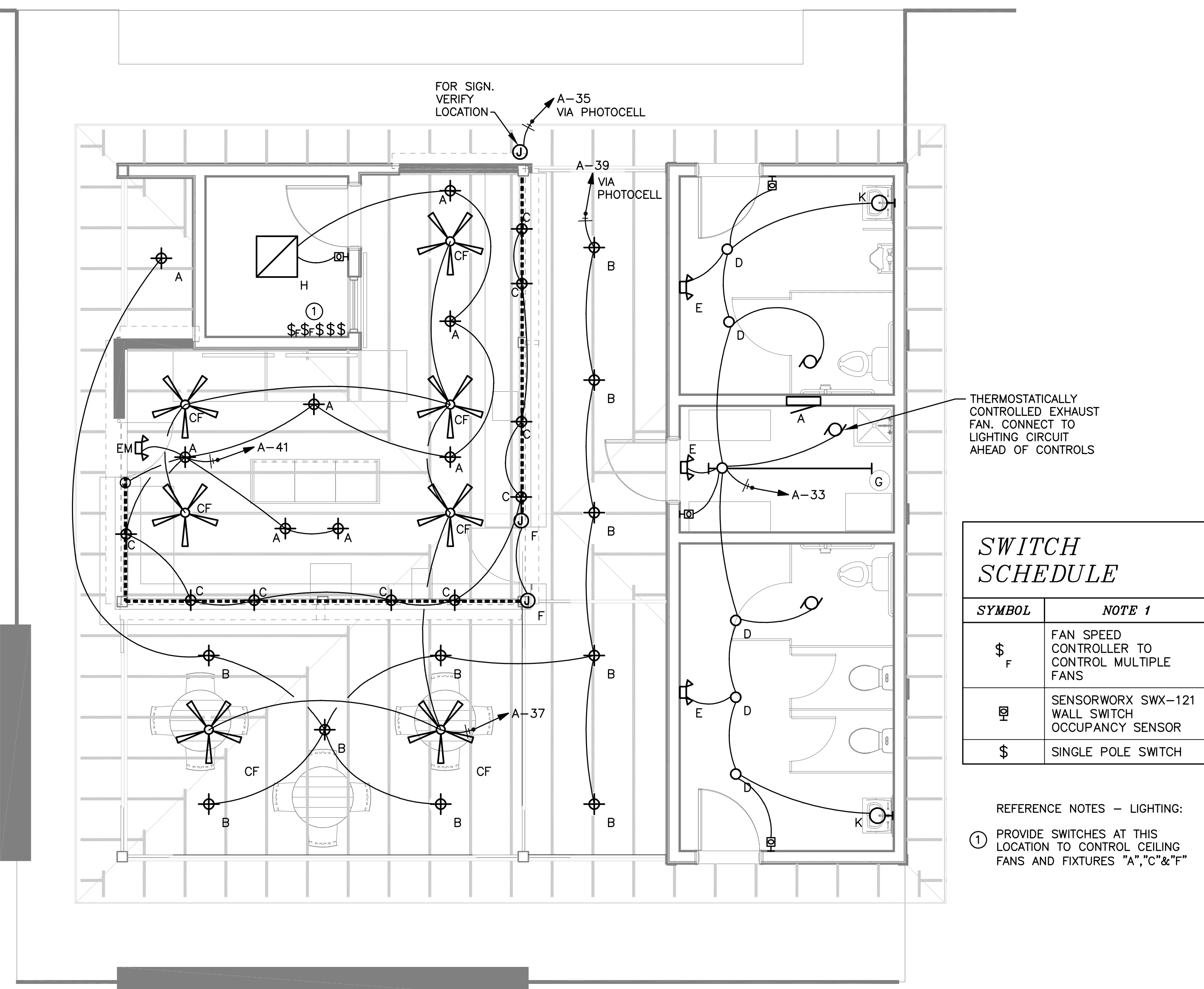
SURF'S UP MINIATURE GOLF STRUCTURES
 1360 BRIDGE BARRIER RD., CAROLINA BEACH, NC 28428

Mark	Date	Description
PROJECT NO:	24074	
DATE:	9/24/2024	
SCALE:		
DRAWN BY:		
PROJ MGR:		

ELECTRICAL SCHEDULES, NOTES & DETAILS



NOTE: ALL SINGLE-PHASE RECEPTACLES RATED 150V TO GROUND OR LESS, 50 AMPERES OR LESS IN SERVING AREA SHALL BE GROUND-FAULT PROTECTED. GFCI RECEPTACLES MUST BE READILY ACCESSIBLE. PROVIDE GFCI BREAKERS WHERE THIS REQUIREMENT CAN NOT BE MET



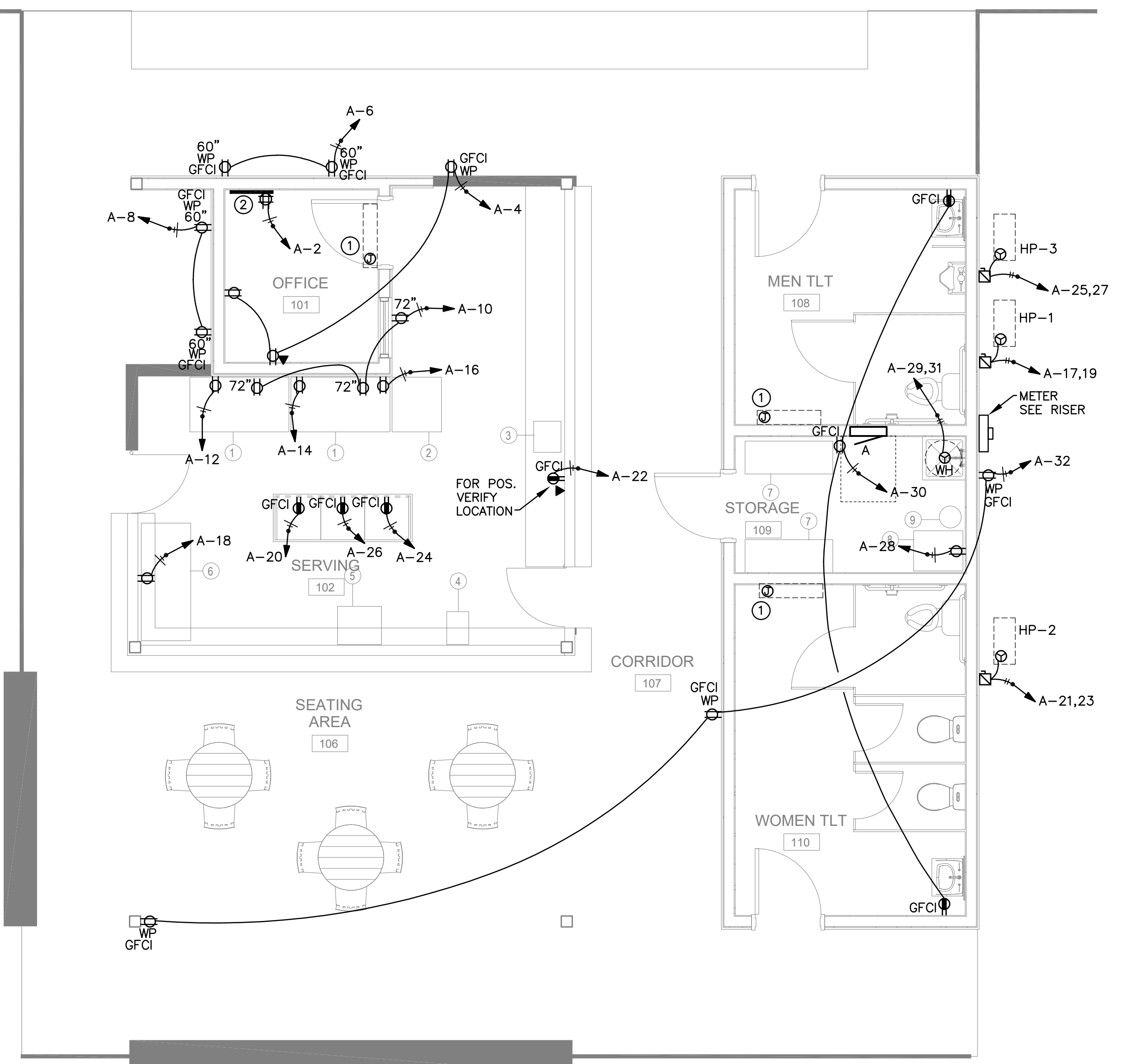
THERMOSTATICALLY CONTROLLED EXHAUST FAN. CONNECT TO LIGHTING CIRCUIT AHEAD OF CONTROLS

SWITCH SCHEDULE

SYMBOL	NOTE 1
\$ _F	FAN SPEED CONTROLLER TO CONTROL MULTIPLE FANS
SW	SENSORWORX SWX-121 WALL SWITCH OCCUPANCY SENSOR
\$	SINGLE POLE SWITCH

REFERENCE NOTES - LIGHTING:
 ① PROVIDE SWITCHES AT THIS LOCATION TO CONTROL CEILING FANS AND FIXTURES "A","C"&"F"

FLOOR PLAN - LIGHTING
 SCALE: 1/4"=1'-0"



REFERENCE NOTES - POWER:
 ① CONNECT INDOOR MINI-SPLIT THROUGH OUTDOOR UNIT PER MANUFACTURER'S INSTRUCTIONS
 ② TELEPHONE BOARD. SEE DETAIL ON DRAWING E100

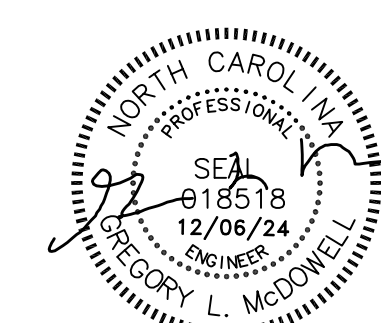
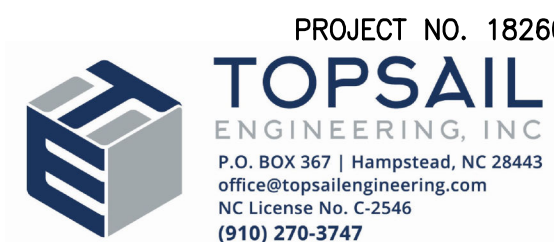
FLOOR PLAN - POWER
 SCALE: 1/4"=1'-0"

SURF'S UP MINIATURE GOLF STRUCTURES
 1360 BRIDGE BARRIER RD.
 CAROLINA BEACH, NC 28428

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Mark	Date	Description
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PROJ MGR:		

FLOOR PLAN ELECTRICAL



SURF'S UP MINIATURE GOLF STRUCTURES
1360 BRIDGE BARRIER RD.
CAROLINA BEACH, NC 28428

Revision table with columns for Mark, Date, and Description.

Project information table including PROJECT NO: 24074, DATE: 9/24/2024, SCALE, DRAWN BY, and PROJ MGR.

STORAGE BUILDING & ELECTRICAL SCHEDULES
E201

Revision table with columns for REV. NUM., DATE, and REVISION DESCRIPTION.

Table A: Electrical schedule for Storage Building. Includes columns for CT #, CT BKR, CIRCUIT DESCRIPTION, LOAD KVA (A, B, C), and CT #, CT BKR, CIRCUIT DESCRIPTION, LOAD KVA (A, B, C). Includes summary table for CONN KVA and CALC KVA by category.

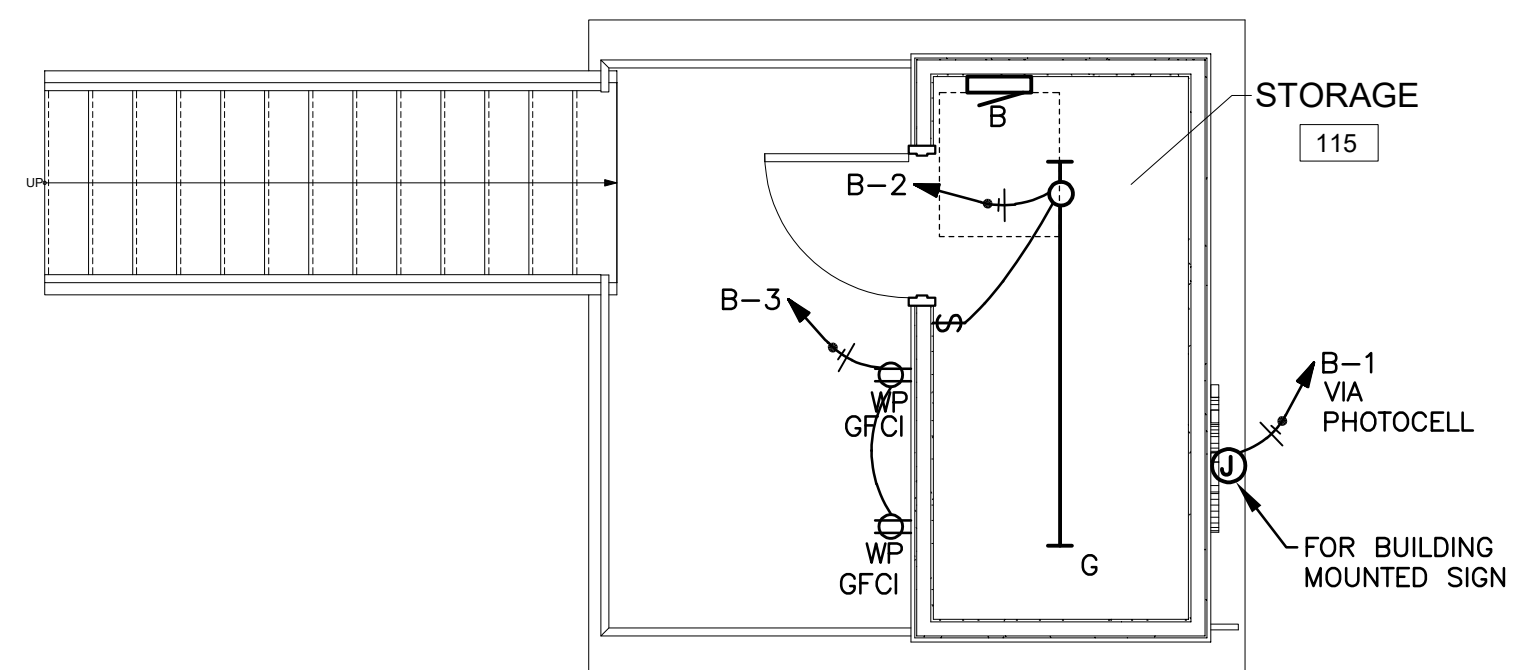
* GFCI BREAKER, ** VIA PHOTOCELL, *** VIA PROGRAMABLE ELECTRONIC TIMELOCK

GENERAL LUMINAIRE SCHEDULE table with columns: CALLOUT, LAMP, DESCRIPTION, MOUNTING, MODEL, TOTAL VA, VOLTS, NOTE 1.

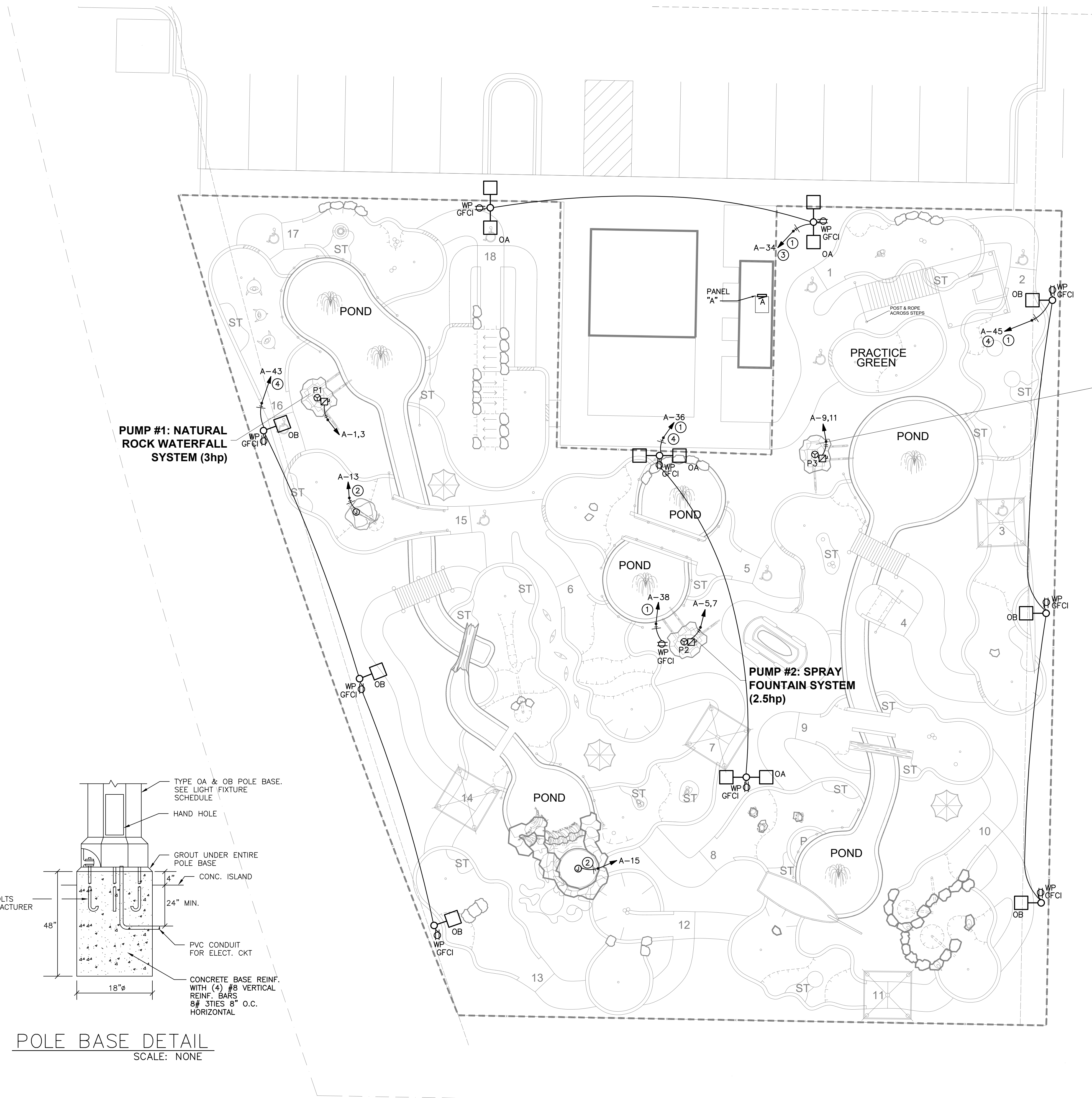
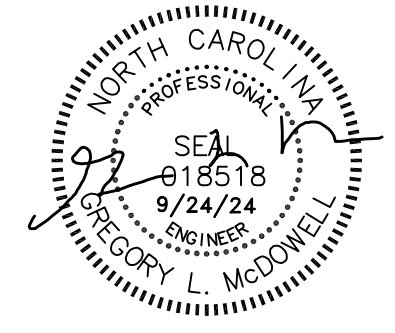
EQUIPMENT CONNECTION SCHEDULE table with columns: EQUIPMENT TAG, EQUIPMENT DESCRIPTION, SYMBOL, VOLTS, AMPS, KVA, CIRCUIT, WIRE CALLOUT, MCA, MOCP, DISCONNECT, DISCONNECT DESCRIPTION.

DISCONNECTS FOR WATER PUMPS SHALL BE NON-METALLIC OR COMPLY WITH NEC 682.33(A) FOR EQUIPOTENTIAL PLANE REQUIREMENTS.

Table B: Electrical schedule for another Storage Building. Includes columns for CT #, CT BKR, CIRCUIT DESCRIPTION, LOAD KVA (A, B), and CT #, CT BKR, CIRCUIT DESCRIPTION, LOAD KVA (A, B). Includes summary table for CONN KVA and CALC KVA.



STORAGE BUILDING - ELECTRICAL
SCALE: 1/4"=1'-0"

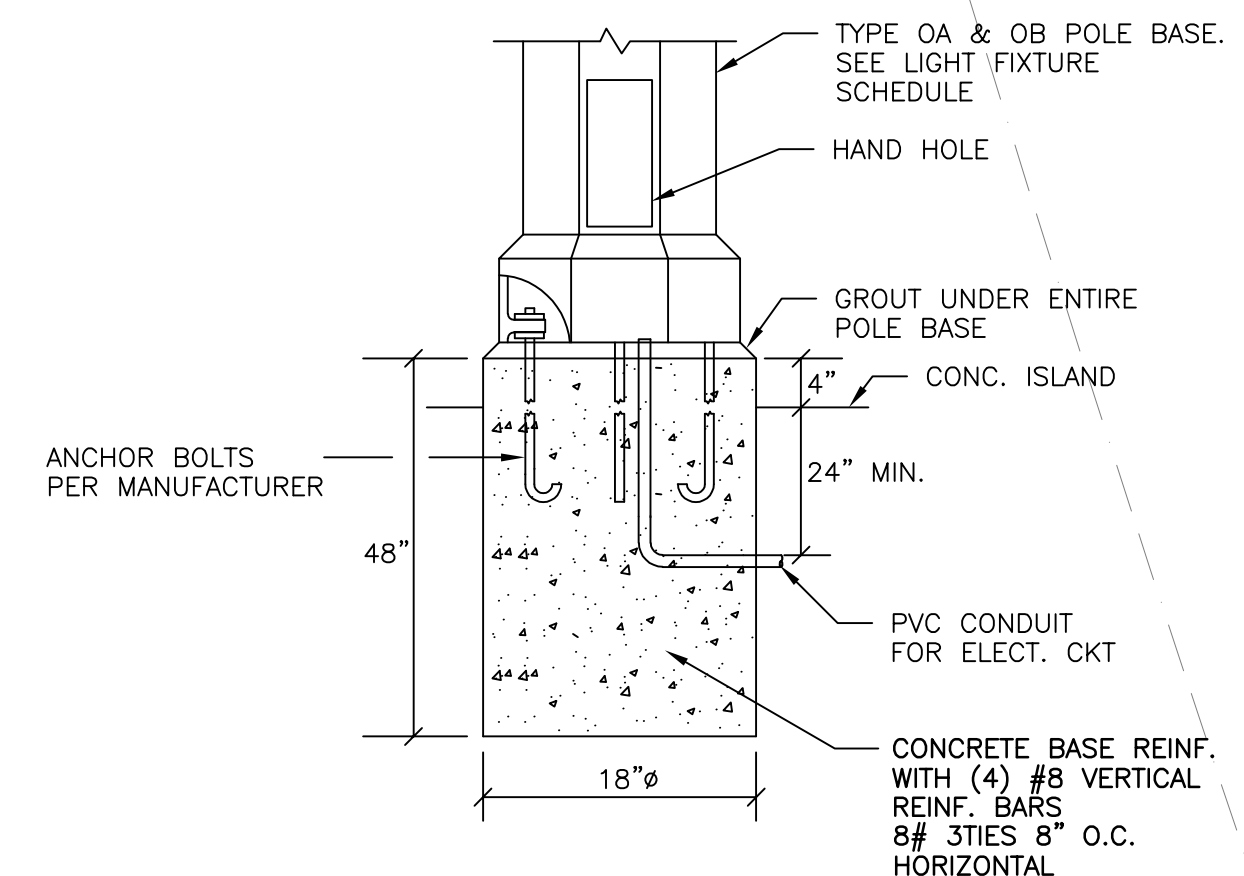


**PUMP #3: SPRAY
 FOUNTAIN SYSTEM
 (2.5hp)**

**PUMP #1: NATURAL
 ROCK WATERFALL
 SYSTEM (3hp)**

**PUMP #2: SPRAY
 FOUNTAIN SYSTEM
 (2.5hp)**

- REFERENCE NOTES:
- ① #10AWG THROUGHOUT CIRCUIT IN 3/4" PVC
 - ② FOR 120V ANIMATRONICS. HOMERUN #10AWG IN 3/4" PVC
 - ③ VIA PHOTOCELL
 - ④ VIA PROGRAMMABLE ELECTRONIC TIMECLOCK



POLE BASE DETAIL
 SCALE: NONE

SITE PLAN - ELECTRICAL
 SCALE: 1"=10'-0"

**SURF'S UP MINIATURE GOLF
 STRUCTURES**

1360 BRIDGE BARRIER RD.
 CAROLINA BEACH, NC 28428

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Mark	Date	Description
PROJECT NO:	24074	
DATE:	9/24/2024	
SCALE:		
DRAWN BY:		
PROJ MGR:		

**SITE PLAN
 ELECTRICAL**

E300



AGENDA ITEM COVERSHEET

PREPARED BY: Gloria Abbotts, Sr Planner **DEPARTMENT:** Community Development

MEETING: Planning & Zoning – April 10, 2025

SUBJECT: **Text Amendment** to amend Article 3: Zoning and Article 7: Definitions of the UDO to address water-oriented businesses and personal watercraft sales and rental.

Applicant: Town of Carolina Beach

BACKGROUND:

During the UDO rewriting process, staff and the Planning and Zoning Commission identified the need to address water-oriented businesses in the ordinance. To facilitate a more focused discussion, this text amendment is being introduced currently, after the UDO has been adopted.

The goal of this text amendment is to clarify water-oriented businesses and related uses. Prior to this text amendment, there were multiple uses that were similar with different requirements and parking calculations. Staff have reorganized the text to group similar uses together into categories that clearly state parking requirements and development standards for each activity.

The automotive use category includes all establishments engaged in vehicle sales, repair, and servicing with the proposed addition of boat sales, boat repair, and car washing. The rental of boats and personal watercraft (PWC), golf carts, mopeds, e-bikes, and scooters are a separate use with separate use standards and parking requirements. Additionally, the text amendment addresses what constitutes a wet boat slip. Wet boat slips include residential, commercial, and transient slips for the purposes of calculating required parking.

LAND USE PLAN:

The text amendment is in general conformity with the CAMA Land Use Plan. The recreational and working waterfront are major drivers in the town's economy. The plan recommends preserving traditional water dependent uses like marinas.

ACTION REQUESTED:

Consider recommending approval or denial of the text amendment.

MOTION:

Approval – to amend Article 3: Zoning and Article 7: Definitions to address water-oriented businesses and personal watercraft sales and rental.

Denial – to amend Article 3: Zoning and Article 7: Definitions to address water-oriented businesses and personal watercraft sales and rental.

3.4 TABLE OF USES

Table 3.2: Table of Uses	P = Permitted by Right; CZ = Conditional Zoning (Use Standard noted); PS = Permitted Use with a Use Standard														Use Standard
Uses of Land	R-1	R-1B	R-2	R-3	C	MH	MF	MX	CBD	NB	HB	MB-1	T-1	I-1	
Nonresidential Uses (Section 3.9)															
Automotive, major										CZ	PS	<u>PS</u>		PS	3.9.C
Automotive, minor									PS	PS	PS	PS		PS	3.9.D
Boat and personal water craft (PWC) sales and rental									P		P	P	P	P	
Boat repair facility											PS	PS		PS	3.9.G
Dry stack storage facilities												PS			3.9.M
Marinas, docks and/or piers, private	P	P	P		CZ				P			P			
Marinas, docks and/or piers, public or commercial	CZ				CZ		CZ		P			CZ			
Rental of any item, the sale of which is permitted in the district									P		P	P		<u>P</u>	
Rental of <u>boats and personal watercraft (PWC)</u> , golf carts, mopeds, e-bikes and scooters								PS	PS	PS	PS	PS		PS	3.9.T
Repair of any item, the sale of which is permitted in the district									P		P	P		<u>P</u>	
Water oriented businesses									CZ			CZ			

3.9 NONRESIDENTIAL USE STANDARDS

C. AUTOMOTIVE, ~~MAJOR~~

- ~~1. All work shall be conducted entirely within an enclosed structure so as to protect surrounding properties and uses from objectionable characteristics of repair activity.~~
- ~~2. 1. No outside storage of junk vehicles or parts shall be permitted.~~
- ~~3. In applicable districts, wrecked or inoperable automobiles actually in process of repair may be stored outside, provided that such vehicles shall be concealed from view by a fence, wall, or vegetative buffer at least six (6) feet high and offering 100% opacity.~~
2. Limitations shall be placed on outdoor repair areas to protect surrounding properties and uses from any objectionable characteristics resulting from repair activities.
 - a) The size of outdoor repair area shall not exceed 30% lot coverage.
 - b) Minimum setbacks for outdoor repair areas shall be 15 feet from all property lines.
 - c) Any outdoor repair areas shall be completely shielded from streets and adjacent properties by buildings and/or fencing that is at least six (6) feet high and offers 100% opacity.
- ~~4. Vehicle sales and rental lots shall be subject to the following:~~
 - a) ~~3.~~ No encroachments of displayed vehicles within 20 feet from the street right-of-way or within areas designated as vehicle sight distance at street or driveway intersections.
 - b) Provide egress and ingress to and from the property in a forward movement.
 - c) ~~All display surface areas to be paved or stoned and proper drainage provided.~~
 - d) ~~Provide buffering of vegetation or fencing, or combination thereof, along all side and rear property lines in conformance with this ordinance.~~
 - e) All lighting shall be directed to the interior of the property so as not to cause impact upon adjacent properties or to street rights-of-way.
 - f) ~~No establishment shall contain outdoor storage of junk vehicles, vehicles in disrepair, or other items associated thereto.~~
 - g) Areas utilized for wash areas shall provide for the proper drainage and retention of water runoff. No water shall leave the site. Any wash areas shall be comprised of a hardscape surface not to include gravel, turf, or vegetative ground cover. Washing, vacuuming, drying, and polishing facilities may not be located in any required setback or buffer area.
 - h) ~~All structures shall be subject to the requirements of the zoning districts, building codes, and other applicable regulations of the town.~~

D. AUTOMOTIVE, MINOR

- ~~1. Car wash facilities shall be subject to the following requirements:~~
 - a) ~~Car wash facilities shall only be permitted as an accessory to an automotive use in the CBD and NB zoning districts. No principal use car wash shall be permitted in those respective zoning districts.~~
 - b) ~~Vacuuming, drying, and polishing facilities may not be located in any required setback or buffer area.~~
 - c) ~~At least two (2) staging spaces and one (1) drying space per wash bay shall be provided.~~
 - d) ~~Hours of operation may be from 8:00 AM to 9:00 PM only, when adjoining a residential zoning district.~~

~~e) All vehicular accessible areas on the lot shall be at least 100 feet from any interior lot line separating the lot from a residential zoning district.~~

~~f) Security light must be shielded from adjacent residential-zoned properties to prevent undue bright lights from shining onto/into dwellings.~~

~~2. Minor automotive establishments engaged in repair work shall be prohibited from the storage of vehicles on-site for more than 10 days, otherwise such use shall be deemed a major automotive use or outdoor storage yard.~~

~~F. BOAT REPAIR FACILITY~~

~~1. Limitations shall be placed on outdoor repair areas to protect surrounding properties and uses from any objectionable characteristics resulting from repair activities.~~

~~a) The size of outdoor repair area shall not exceed 30% lot coverage.~~

~~b) Minimum setbacks for outdoor repair areas shall be 15 feet from all property lines.~~

~~c) Any outdoor repair areas shall be completely shielded from streets and adjacent properties by buildings and/or fencing that is at least six (6) feet high and offers 100% opacity.~~

~~d) No outside storage of junk boats, trailers, or parts shall be permitted.~~

L. DRY STACK STORAGE FACILITY

1. Intent: Carolina Beach is a boater friendly community. Dry stack storage facilities offer infrastructure to support a boating community. Despite this, some dry stack storage facilities may have adverse secondary impacts. To address possible adverse impacts and in order to ensure the health, safety, and well-being of the citizens and visitors of the town, all persons requesting dry stack storage facilities shall comply with the following regulations:

a) Boats located in a dry stack storage facility shall not be used for living purposes, sleeping, housekeeping, or business purposes.

b) Any outdoor storage of boats shall meet the requirements for the use type storage yards, outdoor provisions as provided in this ordinance.

c) Junk boats or parts associated with the dry stack storage facility shall be located in a building.

P. RENTAL OF [BOATS AND PERSONAL WATERCRAFT \(PWC\)](#), GOLF CARTS, MOPEDS, E-BIKES, AND SCOOTERS

1. Any operation, whether as principal or accessory, that plans to rent golf carts, mopeds, and/or scooters shall meet the following requirements:

a) No rental item shall be permitted to encroach into any public right-of-way or site triangle in accordance with ~~&curr;~~ the off-street parking design and construction standards for vision clearance.

b) All exterior display areas shall be paved or stoned with proper drainage provided.

c) All lighting shall be directed to the interior of the property and shall not impact adjacent properties or public rights-of-way.

d) Rental, maintenance, and all related functions shall be conducted within a permanent [on-site](#) building having restrooms facilities for patrons and employees.

e) Any rental item that is viewable by a patron, whether inside or outside, shall be considered "displayed for rent" and shall meet the requirements for on-site parking where applicable. Display areas may be indoors or outdoors, but shall not be located in required parking or landscape buffer areas.

- f) A minimum of \$1,000,000 liability insurance policy shall be secured by the operator and the town shall be named as an additional insured party.
- g) It shall be the responsibility of the operator to ensure that all federal, state, and local safety and motor vehicles laws are adhered to.
- h) Rental of these items may be permitted in the designated zoning districts as an accessory use to other permitted commercial uses if parking and other standards can be met.

3.24 OFF-STREET PARKING

Table 3.6 Minimum Off-Street Parking Spaces Required	
Types of Uses	Number of Required Parking Spaces
Nonresidential uses	
Automotive, major and minor	2 per station + 4 per service bay <u>1 per 200 square feet of actual retail/sales area and 1 per 500 square feet of indoor repair area</u>
Commercial marina	1 per wet boat storage space <u>slip</u> , 1 per 2 dry storage, 1 per service bay + required for all other on-site uses
Dry stack storage facilities	1 per 5 dry storage space
Rental of <u>boats and personal water craft (PWC)</u> , golf carts, mopeds, and scooters	1 parking space per every 1 vehicles displayed for rent
Repair services	1 per 200 square feet of actual retail/sales area and 1 per 500 square feet of indoor repair area

7.3 DEFINITIONS

Unless otherwise specifically provided, or unless clearly required by the context, the words and phrases defined in this section shall have the meaning indicated when used in this ordinance.

Automotive, ~~major~~ means establishments engaged in vehicle sales (including boats, motorcycles, RVs, and other consumer motor vehicles), automotive rental, towing, washing, servicing and ~~major~~ repair such as transmission, engine repair, bodywork, and repainting. Retail items customarily sold at service stations are included. Rental of boats and personal watercraft (PWC), golf carts, mopeds, e-bikes, and scooters shall not be included.

~~*Automotive, minor* means establishments that are primarily engaged in washing cars, fuel dispensing, tire sales, minor repair such as diagnostic work, lubricating, wheel alignment, and inspections, but no vehicle sales or rental. Retail items customarily sold at service stations are included.~~

Boat (vessel) and personal watercraft (PWC) means watercraft of any type or size specifically designed to be self-propelled, whether by engine, sail, oar, paddle, or other means, used to travel from place to place by water. A boat or vessel shall also include any machine designed or intended to travel over water by self-propulsion.

Boats and boat trailers means a vessel or craft for use on the water, which is customarily mounted upon a highway vehicle designed to be hauled by an automobile vehicle.

Boat repair facility means a facility where boats are repaired and stored until repairs are completed.

~~*Boat and personal water craft (PWC) sales and rental* means a maritime retail sales and rental establishment in which boats are rented or sold.~~

Commercial means a nonresidential use providing for the sale of general merchandise or convenience goods and services or other uses not utilized for the primary purpose of a dwelling(s).

Commercial vehicle means a vehicle designed, maintained, or used primarily for the transportation of merchandise or materials used in a business.

Dry stack storage means vertical storage of boats in a rack system, providing for storage of at least two (2) layers of boats.

Floating structure means a barge-like structure, that is not used as a means of transportation on water but which serves purposes or provides services typically associated with a structure on or other improvement to real property used for human habitation or commerce. Incidental movement or the capability of movement upon water does not preclude a structure from classification as a floating structure. Registration of the structure as a vessel in accordance with G.S. Chapter 75A does not preclude a structure from classification as a floating structure.

Gross floor area means measured from the exterior building walls of the use. The area shall include:

1. *Commercial uses*: All floors where the business is conducted. Floor area shall include halls, lobbies, arcades, stairways, elevator shafts, enclosed porches, and balconies.
2. *Industrial uses*: All floors devoted to a particular uses.
3. *Residential uses*: All floors.

Gross floor area, outdoor, means any unheated areas where business is conducted. Any outdoor areas shall meet NC building code.

Marina, docks and/or piers, private means a boat basin with facilities for berthing, securing or storing various types of watercraft for the exclusive purpose of the owners or renters thereof rather than the public at large.

Marina, docks and/or piers, commercial means any marina, pier, or dock which caters to the general public, provides goods or services for sale, and/or, if located in a private residential development, makes available marina facilities to other persons besides occupants of said residential development shall be regarded as a commercial marina. Fishing piers available to the general public are included as part of this use type. [Examples of permitted uses or activities shall include but not be limited to the following services: charter boats, dive boats, dinner cruises, scenic cruises, boat taxis, etc.](#)

Rental items means any items for rent that are located on the premises of the principal business that may also sell the same items.

Retail sales means use types involved in the sale or lease of new or used products to the general public. Accessory uses may include offices, display of goods, limited assembly, processing, or repackaging of goods for on-site sale. Retail sales does not include the following:

1. Repair and service establishments, including automotive and marine related uses.
2. Bars, taverns, restaurants, wine/beer shop with on-site consumption, and similar eating establishments.
3. Personal service establishments.
4. An establishment that involves the sale, distribution, or presentation of materials, or activities emphasizing sexually explicit content.

Vehicle means any of the following:

1. *Commercial vehicle* means a vehicle designed, maintained, or used primarily for the transportation of merchandise or materials used in a business.
2. *Motor vehicle* means all machines designed or intended to travel over land or water by self-propulsion or while attached to any self-propelled vehicle.

~~Water-oriented businesses means any boat that can be rented for off-site use or offers off-site activities from the property. Examples shall include but not be limited to the following uses or activities: charter boats, boat rentals, dive boats, dinner cruises, boat taxi, etc.~~

Wet boat slip. A space used to moor, store, or park a single watercraft in or over water. Includes residential, commercial, and transient slips.