

Design Review Committee Meeting Agenda Tuesday, August 23, 2022, 4:00 PM REMOTE PARTICIPATION

NOTE: The City welcomes public meeting citizen participation. TTY Relay Service: 711. In compliance with the ADA, if you need special assistance to participate in a meeting, contact the City Clerk's office at (360) 834-6864, 72 hours prior to the meeting so reasonable accommodations can be made (28 CFR 35.102-35.104 ADA Title 1)

To Participate Remotely:

OPTION 1 -

- 1. Go to www.zoom.us and download the app or click "Join A Meeting" and use Meeting ID 89428041403
 - 2. Or, from any device click https://us06web.zoom.us/j/89428041403

OPTION 2 - Join by phone (audio only):

1. Dial 877-853-5257 and enter meeting ID# 89428041403

CALL TO ORDER

ROLL CALL

INTRODUCTIONS

MEETING ITEMS

1. DR22-04 Green Mountain Urban Village Apartments

Presenter: Lauren Hollenbeck, Senior Planner

2. DR22-03 Oak Tree Station

Presenter: Madeline Sutherland, Planner

CLOSE OF MEETING



STAFF REPORT

Green Mountain Urban Village Apartments Major Design Review (DR22-04)

Related File: SPRV22-04

<u>TO</u> Design Review Committee

FROM Lauren Hollenbeck, Senior Planner

LOCATION North of NE Goodwin Road and East of NE Ingle Road

Parcel Numbers 172559000 and 986037356

APPLICANT Caitlin Ranson

Hacker Architecture Portland, OR 97214 503-227-1254

APPLICABLE LAW: This land use application submitted March 30, 2022 and resubmitted May 2, 2022. The project site is part of the Green Mountain PRD Development Agreement, so applicable codes are those codes that were in at the time of PRD approval. The Development Agreement was recorded on January 6, 2015, so the vested code is as of the code revision dated December 31, 2014. Applicable 2014 Camas Municipal Code (CMC) chapters include Title 17 Land Development and Title 18, specifically (but not limited to): Chapter 18.11 - Parking, Chapter 18.13 - Landscaping, Chapter 18.18 - Site Plan Review, Chapter 18.19 Design Review, and Chapter 18.55 Administrative Procedures unless otherwise provided for in the development agreement.

Summary

The applicant is currently seeking design review approval for the construction of 350 residential apartments split between seven (7) identical 4-story multifamily apartment buildings with a single shared amenity building, outdoor amenities/play areas, pedestrian pathways, parking and landscaping.

The site is located east of NE Ingle Road and north of NE Goodwin Road within the Green Mountain Urban Village per the approved Green Mountain Master Plan. Access is provided off of NE Ingle Road to the west, North Dogwood Street to the north, and North Boxwood Street to the east.

Per the approved Green Mountain PRD Master Plan Development Agreement, the subject property is zoned Multi-Family Residential (MF-24), and zoning to the south is Community Commercial (CC), to north is Multi-Family Residential (MF-18) and to the east across Boxwood is zoned Single-Family Residential (R-6).

The site's topography is a relatively flat grassy field with remnant of ponds and sand pits from an old golf course with scattered trees.

Purpose

Design Review is required under CMC Chapter 18.19. Design review is not intended to determine the appropriate use on a parcel but rather review a proposed development for compliance with City codes and plans related to landscaping, architectural elevations, and other elements relative to required improvements. The recommendations from the Design Review Committee (DRC) must consider the design review standards from the Design Review Manual and Camas Municipal Code (CMC). An enclosed checklist is to help guide you in your review but refer to the manual for specific details regarding the standards.

Standard and Specific Gateway & Corridor and Multi-Family Design Principles and Guidelines

The standard and specific gateway & corridor and multi-family principles and guidelines are required and must be demonstrated to have been satisfied in overall intent for design review approval. The standard design guidelines are developed to assist a project in meeting the established principles and each guideline should be adequately addressed. If the proposal cannot meet a specific guideline, then an explanation should be provided by the applicant as to why and how it will be mitigated to satisfy the intent of the design principles. The development guidelines include five major categories: 1) Landscaping and Screening, 2) Architecture, 3) Massing and Setbacks, 4) Historic & Heritage Preservation, and 5) Circulation and Connections. The Design Review Checklist is enclosed to help guide the DRC in reviewing the standard applicable specific design review principles and guidelines.

Recommendation

That the Design Review Committee reviews the submitted materials, deliberates, and forwards a recommendation to staff for a final decision.

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NOT FOR CONSTRUCTION

REVISION NO.

KEY PLAN - (NTS)

TRUE PLAN NORTH GREEN MOUNTAIN **APARTMENTS**

CLIENT
WOOD PARTNERS PROJECT ADDRESS

NE INGLE RD / NE GOODWIN RD

CAMAS, WA 98607

ISSUANCE

SITE PLAN AND DESIGN REVIEW

PROJECT NUMBER 02201

DATE
JUNE 3, 2022

SCALE
1/32" = 1'-0" DRAWING TITLE

SITE PLAN - EAST LOT

SHEET NUMBER

A-091



Exhibit 1 DR22_04

ARCHITECTS

Ltem 1.

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NOT FOR CONSTRUCTION

REVISION NO. DATE

KEY PLAN - (NTS)

TRUE PLAN NORTH

GREEN MOUNTAIN

APARTMENTS

CLIENT
WOOD PARTNERS

PROJECT ADDRESS
NE INGLE RD / NE GOODWIN RD
CAMAS, WA 98607

ISSUANCE
SITE PLAN AND DESIGN REVIEW
PROJECT NUMBER
02201

DATE JUNE 3, 2022

SCALE 1/32" = 1'-0"

DRAWING TITLE

SITE PLAN - WEST LOT

SHEET NUMBER

A-090

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Green Mountain Apartments

Type II Site Plan Review and Type II Design Review Submittal – June 3, 2022

Project Narrative

The proposed development is located within the Green Mountain Urban Village master plan, specifically on Lot 1, Lot 2, and Lot 7. The existing site conditions will provide new roadways (87th and Huerta) to define the lots as illustrated in the Green Mountain urban Village Short Plat. The project comprises 350 residential apartments split between (7) identical multifamily apartment buildings, a single shared amenity building, surface parking and pedestrian pathways, and outdoor amenity and play areas throughout the site. Each multifamily building is 4 stories, and constructed as woodframed Type VA construction. The amenity building is a single story, Type VB building. The project is applying for a building Permit and a Type II Site Plan Review and Type II Design Review.

The site will have a total impervious area of 273,513 sf. Each of the (7) apartment buildings is 53,201 gross of for a total of 372,407 gross of of residential area. The separate Amenity building is 5,438 gross sf.

The site plan is envisioned as a semi-urban design which transitions in scale and urban character from the future townhome development to the north, through the proposed site, to the future commercial developments to the south. This concept is anchored by aligning the building and internal street orientation to match the future townhome development to the north. This orientation reinforces the urban street edge and directly provides pedestrian connectivity through the site Dogwood to the corner of 87th and Huerta. An additional secondary pedestrian pathway is provided at the western portion of the site, connecting a pedestrian alley in the neighbor development through the site to 87th and on to the future commercial lots at the south.

In order to maintain an urban character, the site plan is designed as a series of 'parked streets', which maintain an urban proportion of street width to the buildings. These parked streets are treated as urban sidewalks and lined with a regular rhythm of street trees, 5-foot walkways, and residential stoops and landscaped buffers at the buildings. This conveniently locates residential parking next to the buildings and breaks up the overall expanse of surface parking.

Buildings are oriented along these streets to maximize access to southwest views, and daylight. Each building is staggered northwest to southeast, to provide further openness and daylight, and to create a variety of outdoor landscaped play and amenity spaces for residents. At the amenity building, an outdoor plaza is proposed which activates the primary public pedestrian walkway aligning with Dogwood. This is envisioned as an outdoor amphitheater and a private water feature for use in the summer months.

The overall design concept is a series of modern, urban buildings set within a wild landscape. The rigorous, urban layout of the site and parked streets gives structure to the site and reinforces pedestrian connectivity and the character of the neighboring commercial lots. The architecture is a

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modern interpretation of the Green Mountain character. Sophisticated and urban materials and details are imbued with the agrarian and natural past of the site and area. An asymmetrical, undulating roofline mimics residential gables, agricultural gambrel roofs, and the hilly horizon of Green Mountain and surrounding riparian pastures. A tightly-spaced board and batten pattern reflects a common contextual architectural detail in a fresh and modern way by using a wider board as the batten on the upper floors and varying the batten widths on the ground floor. Partially recessed and projecting stacks of balconies are asymmetrically composed on the façade, providing a varied rhythm of shadow. The top floor balconies break the roof line and the overall massing of the façade. This asymmetry, along with the undulating rooflines and the staggering of the buildings, creates a perceived variation between the identical buildings.

Design Principles and Guidelines Response

18.19.050 - Design principles.

Standard Principles.

A Landscaping shall be done with a purpose. It shall be used as a tool to integrate the proposed development into the surrounding environment.

RESPONSE: Site circulation patterns and tree lined boulevards connect the surrounding neighborhoods and adjacent commercial district. Dense plantings along building faces scale the height of the structure down to establish a building type transition between the east commercial buildings and the west residences.

B All attempts shall be made at minimizing the removal of significant natural features. Significant natural features shall be integrated into the overall site plan.

RESPONSE: Landscaped open areas pay homage to the pastoral history of the site by utilizing berming and open grass areas to emulate rolling hills. Areas play with natural slope of the site, repurposing the grade change to create separation in recreational uses.

C Buildings shall have a "finished" look. Any use of panelized materials shall be integrated into the development in a manner that achieves a seamless appearance.

RESPONSE: The primary exterior material for the apartment buildings is fiber-cement board and batten siding. A regular, tight batten spacing of 12" on center creates a modern interpretation of board and batten or wood siding seen in historic residences and barns of the area. The durable fiber cement battens protect the fasteners and seams of the fiber cement panels. Panels and battens are broken horizontally at each floor line with a prefinished sheet metal flashing to eliminate the need for intermediate or randomized field cuts of the materials. A durable wood-composite siding is proposed within the balcony and stoop recesses and at the apartment building entries as an accent material. The composite material

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requires significantly less maintenance to retain its color and is has greater durability compared to natural wood siding.

D A proposed development shall attempt to incorporate or enhance historic/heritage elements related to the specific site or surrounding area.

RESPONSE: The primary exterior material for the apartment buildings is fiber-cement board and batten siding. A regular, tight batten spacing of 12" on center creates a modern interpretation of board and batten or wood siding seen in historic residences and barns. The Landscape design also reinforces the pastoral agrarian history of the area through undulating landforms and farm garden inclusion.

Specific Principles.

- Multifamily Stacked Housing.
 - 1. All on-site parking areas shall be screened with landscaping. Parking spaces shall be clustered in small groups of no more than six to ten spaces.

RESPONSE: Parking space runs do not exceed ten spaces in any location without being interrupted by a planted island. Parking areas to be screened from the property line and rightof-way by a planted buffer.

2. Stacked houses abutting or located in single-family residentially zoned areas shall be designed to mitigate size and scale differences.

RESPONSE: The development does not directly abut single-family residential zoned areas. The orientation of the apartment buildings is directly aligned with the streets of the and properties of the future townhome development to the north to unify the building lines and create a direct pedestrian connection to the future commercial areas. An undulating roofline and recessed balconies are playfully and asymmetrically composed on the buildings to break down the facades and create a residentially compatible character.

3. Walls shall be articulated in order to avoid a blank look and to provide a sense of scale.

RESPONSE: The exterior walls of the apartment buildings are articulated asymmetrically by partially recessed and projecting residential balcony stacks. Additionally, a clear base, middle, and top is effectively created through the proportions and differentiated material color of the ground floor, and through an articulated roofline which conceptually combines residential gable roofs with an undulating natural landform. All facades are punctuated by a 30%/70% void to solid ratio, with varying window widths.

4. Detached garages shall be located to the rear of stacked unit(s) so as not to be directly viewable from a public street.

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RESPONSE: Does not apply. There are no detached garages proposed.

5. Attached garages shall account for less than fifty percent of the front face of the structure. Garages visible from the street shall be articulated by architectural features, such as windows, to avoid a blank look.

RESPONSE: Does not apply. There are no attached garages proposed.

STANDARD PRINCIPLES AND GUIDELINES

Standard Design Principles.

A. Landscaping shall be done with a purpose. It shall be used as a tool to integrate the proposed development into the surrounding environments, as well as each of the major project elements (e.g. parking, building(s) etc.).

RESPONSE: Dense plantings along building faces scale the height of the structure down to establish a building type transition between the east commercial buildings and the west residences. By sandwiching site circulation between two planted buffers and between the building and parking, the landscaping creates clear division of space as well as effective screening.

B. All attempts shall be made at minimizing the removal of significant natural features. Significant natural features shall be integrated into the overall site plan.

RESPONSE: Does not apply.

C. Buildings shall have a 'finished' look. Any use of panelized materials shall be integrated into the development in a manner that achieves a seamless appearance.

RESPONSE: The primary exterior material for the apartment buildings is fiber-cement board and batten siding. A regular, tight batten spacing of 12" on center creates a modern interpretation of board and batten or wood siding seen in historic residences and barns of the area. The durable fiber cement battens protect the fasteners and seams of the fiber cement panels. Panels and battens are broken horizontally at each floor line with a prefinished sheet metal flashing to eliminate the need for intermediate or randomized field cuts of the materials. A durable wood-composite siding is proposed within the balcony and stoop recesses and at the apartment building entries as an accent material. The composite material requires significantly less maintenance to retain its color and is has greater durability compared to natural wood siding.

D. A proposed development shall attempt to incorporate or enhance historic/heritage elements related to the specific site or surrounding area.

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RESPONSE: The undulating roofline of the apartment buildings, and primary board and batten siding playfully imbue the character of nearby Green Mountain, the native riparian landscape, and the agrarian character of historic residences and agricultural buildings of the area. The orientation of the buildings and parking streets reinforce the natural views to the southwest, provide access to light and openness on-site, and unify the pedestrian experience by aligning to the street grid of the neighboring future townhome development.

Standard Design Guidelines.

- Landscaping and Screening
 - 1. Landscaping and screening is an important factor in determining the overall character of the building site. Landscaping should be done with purpose, such as providing a buffer against less intense uses, screening parking or other components viewed as being intrusive, and defining the streetscape. Signage should be placed on buildings or incorporated into the landscaping. Fi signs are illuminated, then they shall be front lit. Signage in the landscaping should be built into the vegetation to keep it from being the main focus – similar to the light industrial zones. Efforts should be made to make signs vandal resistant. The intent is for the landscape not to be dominated by signage as well as to soften the visual impact.

RESPONSE: Any signs shall be vandal resistant and will be vegetated in order to keep it from being the main focus. Signage will be used effectively and efficiently to ensure limited use.

2. Outdoor furnishings, when used, should be compatible with the immediate environment.

RESPONSE: Outdoor furnishings, materials utilized, and general uses will be compatible with the immediate environment.

3. If the site is to be fenced, then the fencing should be incorporated into the landscaping so as to have little or no visual impact.

RESPONSE: The site will have no perimeter fencing and may have a low fence at the community garden plot. The fence will be designed in a manner to have low visual impact on the area.

4. The vegetation to be utilized should encourage native, low maintenance plantings. Trees planted along streetscapes with overhead power lines should include only those identified on the City's Street Tree List. When possible, existing significant trees or other natural features that do not pose a hazard or hinder development should be required to remain and be incorporated into the landscaping and site plans.

RESPONSE: Few trees existed on site prior to plans for development. Planned plant species will be native where possible and applicable.

5. Landscape lighting should be low voltage, non-glare, and indirect. Street lighting, such as light poles and lamps, should be compatible with other nearby lighting on the same street,

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unless other lighting is expected to be replaced in the foreseeable future or a nostalgic theme compatible with the proposed development is desired.

RESPONSE: The site will be provided with adequate site lighting for safe navigation at night in all circulation and parking areas. Any street lighting required will be compatible with nearby lighting.

B Massing and Setbacks

1. Massing and setbacks are major elements of a site plan. These elements have the greatest impact as to how the proposed development relates to the surrounding area and how individuals living and visiting the area interact with the development. Major components that define the character and quality of the proposed development include the size, scale, and placement of buildings, lot coverage, and traffic/pedestrian circulation.

RESPONSE: The overall site plan and building orientation creates a series of semi-urban, pedestrian-oriented streets of surface parking to divide the overall surface parking and provide direct pedestrian connection from the north to the south. These 'parked streets' unify the orientation of the buildings with that of the future townhome development to the north, and directly align with primary views to the southwest. This provides a transitioning urban character from the scale of the townhomes, through the proposed site, to the future commercial lots at the South. While the orientation of the roads rigorously aligns with the townhome development, the proposed apartment buildings stagger along this alignment to provide views of the pastures to the southwest, and create a variety of outdoor spaces scattered throughout the project in-between buildings.

2. Higher density/larger structures abutting lower density residential structures should be designed to mitigate size and scale differences. In some cases, creating a natural buffer may be appropriate.

RESPONSE: The entire perimeter of the proposed site will be landscaped with a varying depth buffer to mitigate views of parking and help with regrading of the site. The staggering and playful roofline of the apartment buildings ensures that open space and natural light and views are provided in between the buildings, and that the pedestrian experience will be varied along the pathways through the site.

C Architecture

1. Buildings should have a 'finished', sound, durable, and permanent appearance. Use of panelized materials should be integrated into the development in a manner that achieves a seamless appearance. This would bring into question the use of corrugated materials, standing seam, T-11, or similar siding materials, unless it can be shown through the use of renderings or other visual applications that the use of these materials will produce a development with a high visual (or aesthetic) quality. The applicant and/or developer will be held accountable for ensuring that the finished development resembles and is in compliance with the submitted renderings as approved by the City.

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RESPONSE: The primary exterior material for the apartment buildings is fiber-cement board and batten siding. A regular, tight batten spacing of 12" on center creates a modern interpretation of board and batten or wood siding seen in historic residences and barns of the area. The durable fiber cement battens protect the fasteners and seams of the fiber cement panels. Panels and battens are broken horizontally at each floor line with a prefinished sheet metal flashing to eliminate the need for intermediate or randomized field cuts of the materials. A durable wood-composite siding is proposed within the balcony and stoop recesses and at the apartment building entries as an accent material. The composite material requires significantly less maintenance to retain its color and is has greater durability compared to natural wood siding.

2. Placement of buildings should preserve significant natural features such as rocks, trees, etc. In doing so, developers may make use of site variances such as adjusting setbacks.

RESPONSE: Does not apply.

3. Building walls or fences visible from roadways should be articulated in order to avoid a blank look. The wall can be broken up by including some combination of window/display space, plantings, offsetting walls with two-tone colors, or creating plazas, water features, art (civic, pop, etc.), awnings, or similar devices.

RESPONSE: The exterior walls of the apartment buildings are articulated asymmetrically by partially recessed and projecting residential balcony stacks. Additionally, a clear base, middle, and top is effectively created through the proportions and differentiated material color of the ground floor, and through an articulated roofline which conceptually combines residential gable roofs with an undulating natural landform. All facades are punctuated by a 30%/70% void to solid ratio, with varying window widths.

4. The use of bold colors should be avoided except when used as minor accents.

RESPONSE: Exterior material colors of the apartment buildings are neutral and light. Fiber cement batten siding is a very light grey at the upper floors, and charcoal grey at the ground floors. Composite-wood siding at the balconies will be a mid to dark tone, with a rich wood color. The proposed amenity building will be a dark weathered red color in a fiber cement panel system. This color is intended to remain in a natural 'clay or terracotta' range, and is inspired by the classic weathered red barn.

- Historic and Heritage Preservation
 - 1. The use of Historic Markers, information kiosks, project names, architectural features, or other elements of the project should promote the historic heritage of the site or surrounding area.

RESPONSE: Does not apply.

MULTI-FAMILY PRINCIPLES AND GUIDELINES - STACKED HOUSING

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Stacked Housing (Apartments) Design Principles

A All on-site parking areas shall be screened with landscaping. Parking spaces shall be clustered in small groups of no more than 6-10 spaces.

RESPONSE: Parking space runs do not exceed ten spaces in any location without being interrupted by a planted island. Parking areas to be screened from the property line and rightof-way by a planted buffer.

Stacked houses abutting or located in single-family residentially zoned areas shall be designed to mitigate size and scale differences.

RESPONSE: The development does not directly abut single-family residential zoned areas. The orientation of the apartment buildings is directly aligned with the streets of the and properties of the future townhome development to the north to unify the building lines and create a direct pedestrian connection to the future commercial areas. An undulating roofline and recessed balconies are playfully and asymmetrically composed on the buildings to break down the facades and create a residentially compatible character.

C Buildings shall have their principal pedestrian entrance along a street, open space or mid-block passage with the exception of visible entrances off a courtyard.

RESPONSE: The principal pedestrian entrances of all apartment buildings are located along the internal 'parked streets'. Due to grading, these typically are located on the north-east facing facades, with the exception of buildings 5 and 7. The amenity building provides accessible pedestrian entries to the southwest and northeast as well. This allows the building to have two front entries for visitors and provide a public presence to the primary public pedestrian pathway through the site.

D Walls shall be articulated in order to avoid a blank look and to provide a sense of scale and shall provide a minimum of solid to void ratio of 70%/30%.

RESPONSE: Each building meets the minimum solid to void ratio of 70%/30%.

- E Detached garages shall be located to the rear of stacked unit(s) so as not to be directly viewable from a public street.
- F Attached garages shall account for less than 50% of the front face of the structure. Garages visible from the street shall be articulated by architectural features, such as windows, to avoid a
- G Stoops, porches, and direct individual entries should be encouraged for ground-floor units.

RESPONSE: Each ground floor residence includes a private raised stoop or at grade patio providing direct individual entry into the unit.

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A Landscaping and Screening

1. The vegetation to be utilized should encourage native, low maintenance plantings. Trees planted along streetscapes with overhead power lines should include only those identified on the City's Street Tree List. When possible, existing significant trees or other natural features that do not pose a hazard or hinder development should be required to remain and be incorporated into the landscaping and site plans.

Response: Few trees existed on site prior to plans for development. Planned plant species will be native where possible and applicable.

2. Landscape lighting should be low voltage, non-glare, and indirect. Street lighting, such as light poles and lamps, should be compatible with other nearby lighting on the same street, unless other lighting is expected to be replaced in the foreseeable future or a nostalgic theme compatible with the proposed development is desired. Surrounding sites should be screened from parking and building lighting.

Response: No street lighting is required since there will be no work along the right of way, however, the site will be provided with adequate site lighting for safe navigation at night in all circulation and parking areas.

3. Parking spaces should be clustered in small groupings. Grouping should be separated by landscaping to create a pedestrian friendly, park-like environment. Parking lot landscaping should be credited toward the total landscaping requirement.

Response: Parking space runs do not exceed ten spaces in any location without being interrupted by a planted island. Parking areas to be screened from the property line and rightof-way by a planted buffer.

4. Green belts should be used to separate different uses whenever possible.

Response: By sandwiching site circulation between two planted buffers and between the building and parking, the landscaping creates clear division of space as well as effective screening.

5. The vertical intensity of landscaping should increase as the height of the structure increases. With the exception of properties located in or abutting the Downtown Commercial zone, greater setbacks can be used to create a greater buffer and lessen the need for more intense vertical landscape materials.

Response: Dense plantings along building faces scale the height of the structure down to establish a building type transition between the east commercial buildings and the west residences.

Circulation and Connections

1. Pathways define traffic/pedestrian movement. Buildings brought up to the public right-ofway help define these movements. Trees and/or planting strips shall be used for separating

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vehicles and pedestrian movements as well as providing a secure and pedestrian friendly environment.

Response: Site circulation is separated from the vehicle drives by a planting buffer and trees. Areas that cross the driveline are marked clearly with planting islands, trees, and a raised crossing.

Site Plan Review

18.18.60 - Criteria for approval.

A Compatibility with the city's comprehensive plan.

Response: The project meets the requirements of the Green Mountain Master Plan which is compatible with the City's Comprehensive Plan. The new development of the Green Mountain area provides a needed variety of single and multi-family housing types.

B Compliance with all applicable design and development standards contained in this title and other applicable regulations.

Response: The project is compliant with all applicable design and development standards. The project is subject to the requirements of the Green Mountain Mixed Use Master Plan Development Agreement and adheres to the density and dimension standards for the 'A Pods.' As previously confirmed by the City, the allowable density calculation per Exhibit F of the Master Plan allows for gross acreage. The project site is 15.31 gross acres which equates to 367.44 residential units (15.31 gross acres x 24). The project is below that maximum with a total of 350 residential units. There are no required setbacks and no maximum lot coverage requirements for the A PODs per Exhibit F. The maximum building height is 60'. All buildings on the site are below 60'.

C Availability and accessibility of adequate public services such as roads, sanitary and storm sewer, and water to serve the site at the time development is to occur, unless otherwise provided for by the applicable regulations.

Response: Public services for the project including roads, sanitary, storm and water are all proposed to be located within the ROW and each utility will be stubbed out into our site.

D Adequate provisions are made for other public and private services and utilities, parks and trails.

Response: The project provides adequate provisions for public and private services and utilities, parks and trails. The design includes two main pedestrian connections through the site, connecting the neighboring development to the north, through the site and to the future

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commercial lots to the south. This pedestrian path connects to the trail system to be constructed as part of the Green Mountain PRD. Refer to sheets L-100 and A-090.

Ε Adequate provisions are made for maintenance of public utilities

> **Response:** All public utilities are to be locates within the ROW and therefore the City will have adequate access to maintain the utilities.

All relevant statutory codes, regulations, ordinances and compliance with the same.

Response: The project site plan is compliant with the requirements of all relevant statutory codes, regulations, and ordinances.

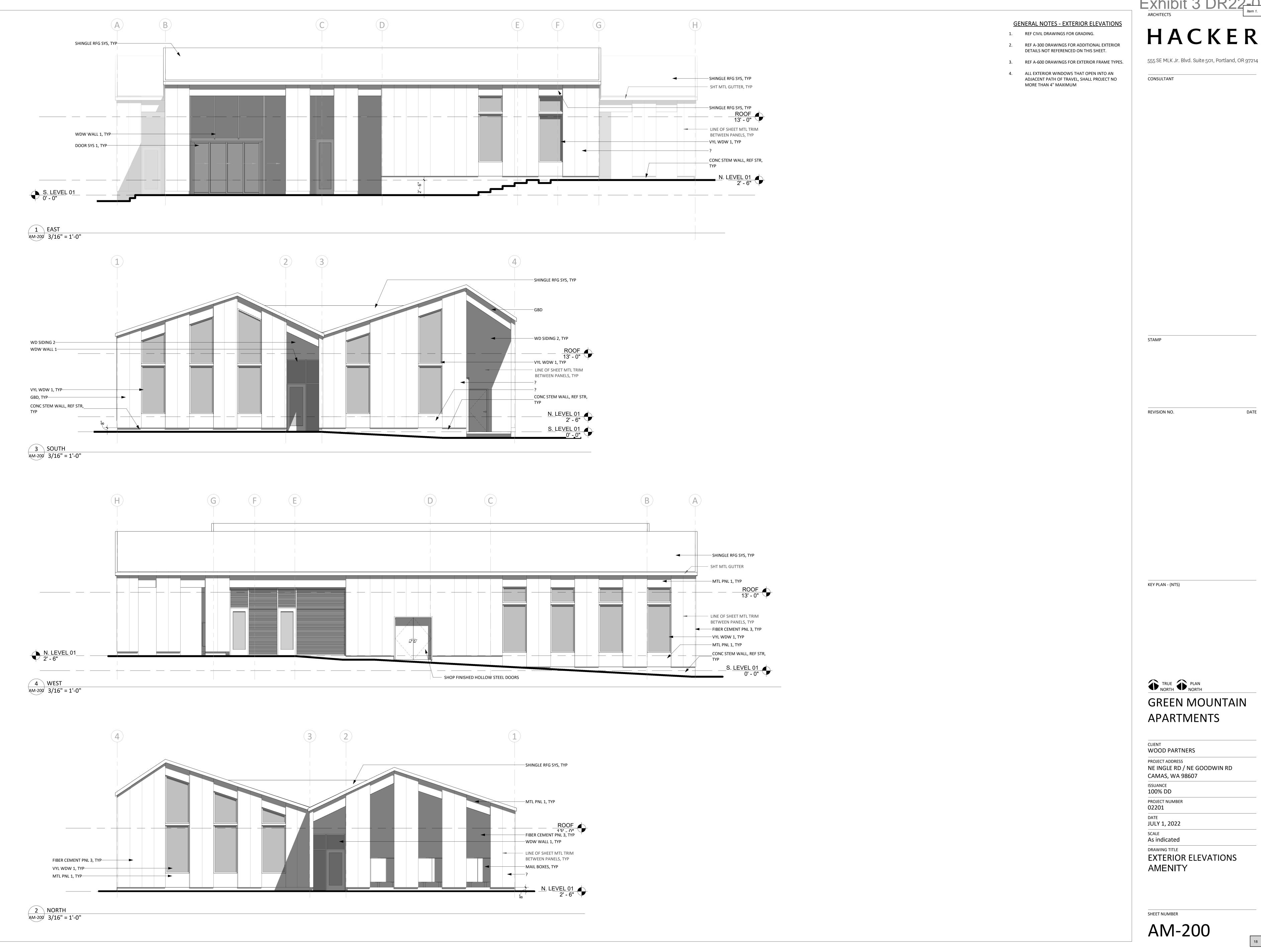


Exhibit 3 DR22-04

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17

DATE



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DATE

REVISION NO.

KEY PLAN - (NTS)

TRUE PLAN NORTH GREEN MOUNTAIN **APARTMENTS**

CLIENT
WOOD PARTNERS

PROJECT ADDRESS NE INGLE RD / NE GOODWIN RD CAMAS, WA 98607

ISSUANCE 100% DD

DATE
JULY 1, 2022

SCALE As indicated

DRAWING TITLE

EXTERIOR ELEVATIONS AMENITY

18

SHEET NUMBER

AM-200

FIBER CEMENT SMOOTH BOARD AND BATTEN SIDING PAINTED DARK

MTL REVEAL

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REVISION NO.

DATE

KEY PLAN - (NTS)

TRUE PLAN NORTH GREEN MOUNTAIN **APARTMENTS**

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ISSUANCE
SITE PLAN AND DESIGN REVIEW

PROJECT NUMBER 02201

DATE
JUNE 3, 2022
SCALE

DRAWING TITLE
EXTERIOR VIEWS

SHEET NUMBER

AR-205





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ONSULTANT

STAMP

REVISION NO.

KEY PLAN - (NTS)

TRUE PLAN NORTH

GREEN MOUNTAIN

APARTMENTS

WOOD PARTNERS NE INGLE RD / NE GOODWIN RD CAMAS, WA 98607

ISSUANCE
100% DD

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DATE
JULY 1, 2022
SCALE

EXTERIOR VIEWS
AMENITY

SHEET NUMBER

AM-205

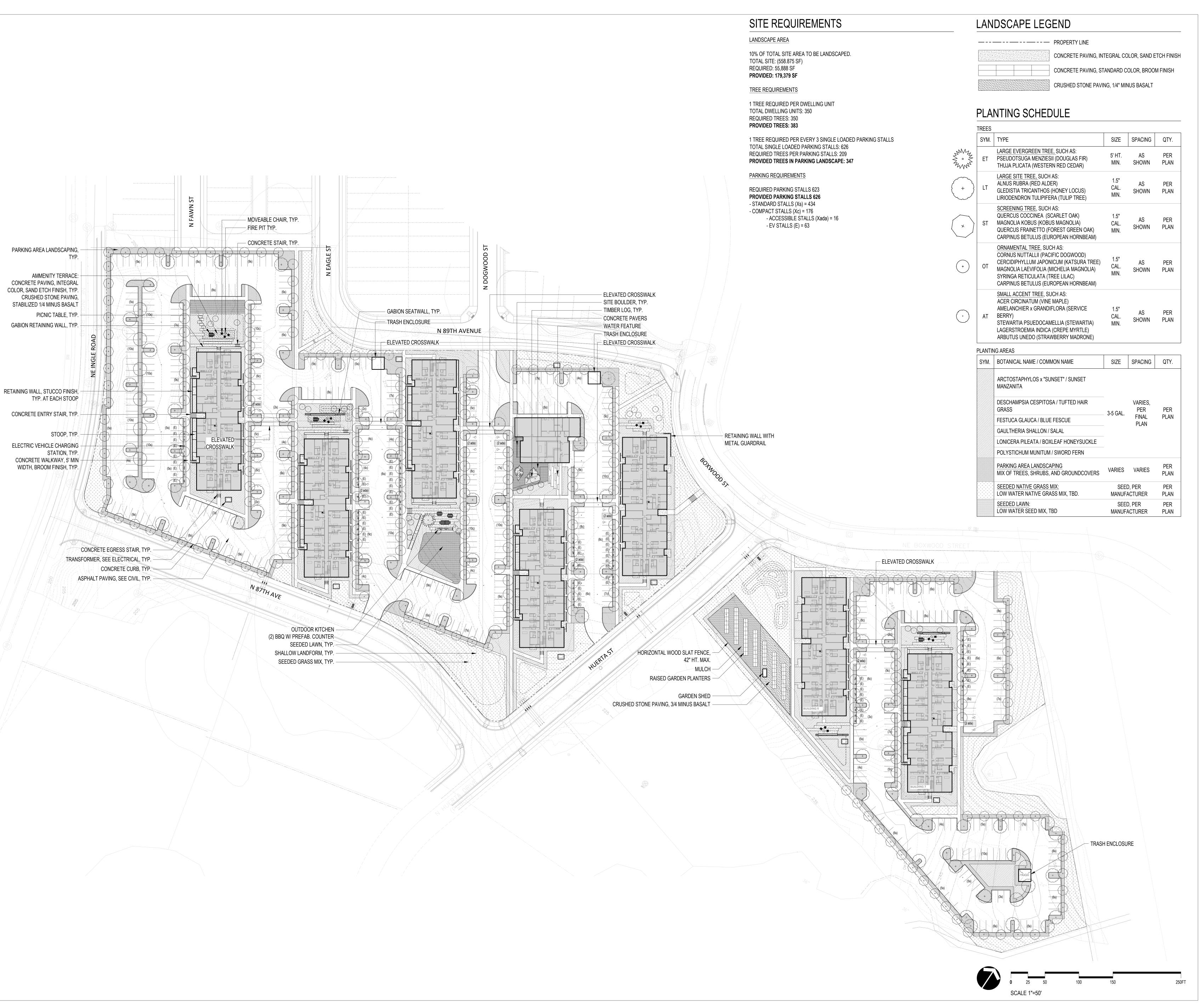


Exhibit 5 DR22-04

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CONSULTANT



STAMP

REVISION NO.

KEY PLAN - (NTS)

TRUE PLAN NORTH

Green Mountain Apartments - Site

WOOD PARTNERS

PROJECT ADDRESS

NE INGLE RD / NE GOODWIN RD CAMAS, WA 98607

SITE PLAN AND DESIGN REVIEW

PROJECT NUMBER

DATE JUNE 3, 2022

DRAWING TITLE

LANDSCAPE PLAN

L-000



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CONSULTANT

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REVISION NO.

DATE

KEY PLAN - (NTS)

TRUE PLAN NORTH GREEN MOUNTAIN **APARTMENTS**

CLIENT
WOOD PARTNERS

PROJECT ADDRESS NE INGLE RD / NE GOODWIN RD

CAMAS, WA 98607

SITE PLAN AND DESIGN REVIEW

PROJECT NUMBER 02201

DATE
JUNE 3, 2022

SCALE As indicated

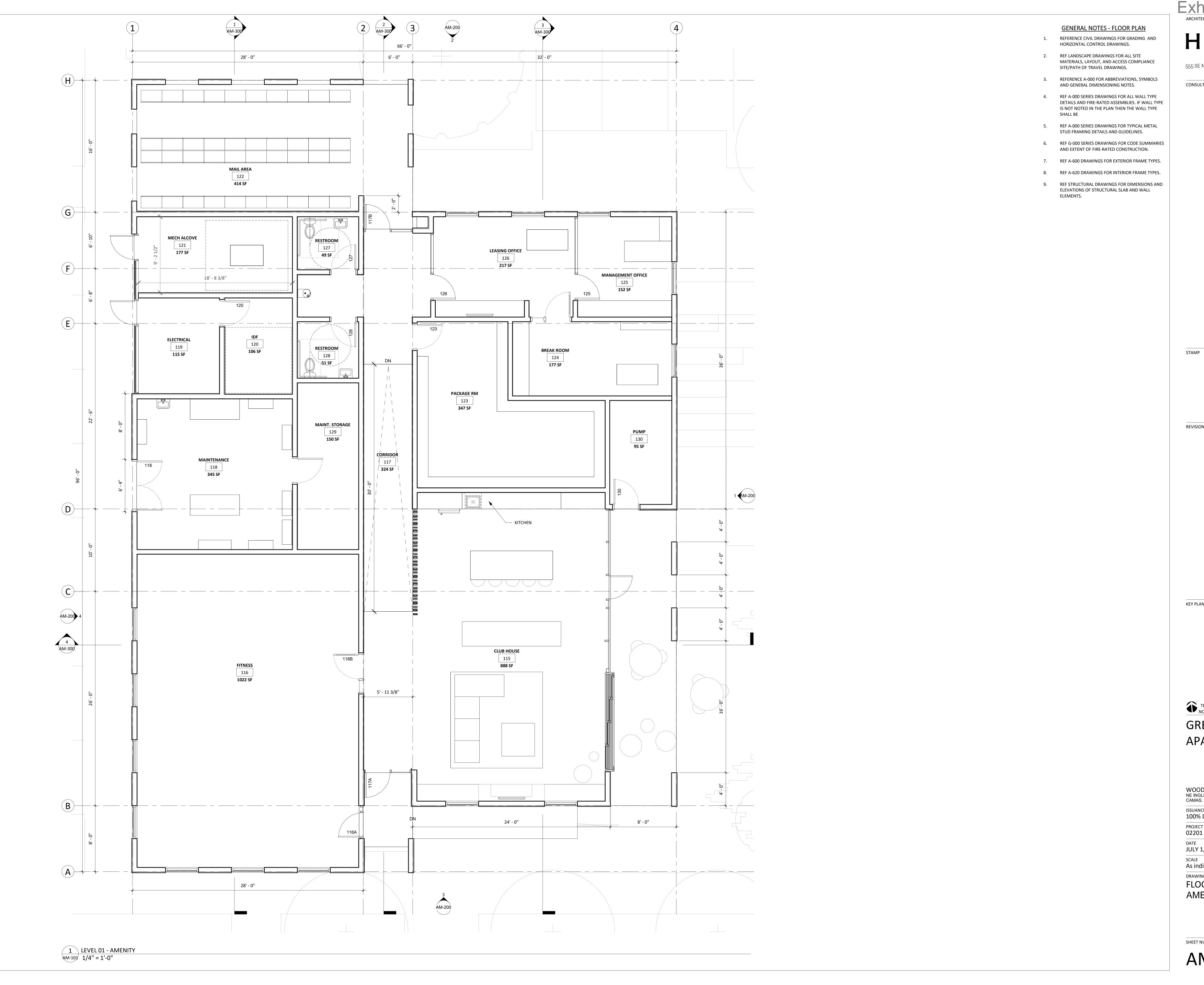
DRAWING TITLE

FLOOR PLAN - LEVELS 1-2

SHEET NUMBER

AR-101

22



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REVISION NO. DATE

KEY PLAN - (NTS)

TRUE PLAN NORTH GREEN MOUNTAIN **APARTMENTS**

WOOD PARTNERS NE INGLE RD / NE GOODWIN RD CAMAS, WA 98607

ISSUANCE 100% DD PROJECT NUMBER 02201

DATE
JULY 1, 2022

SCALE As indicated

DRAWING TITLE

FLOOR PLAN **AMENITY**

SHEET NUMBER

AM-101



AR-200

1 ROOF PLAN
AR-105 1/8" = 1'-0"

HACKER

DATE

GREEN MOUNTAIN **APARTMENTS**

PROJECT ADDRESS NE INGLE RD / NE GOODWIN RD CAMAS, WA 98607

SITE PLAN AND DESIGN REVIEW

DATE
JUNE 3, 2022

SCALE 1/8" = 1'-0"

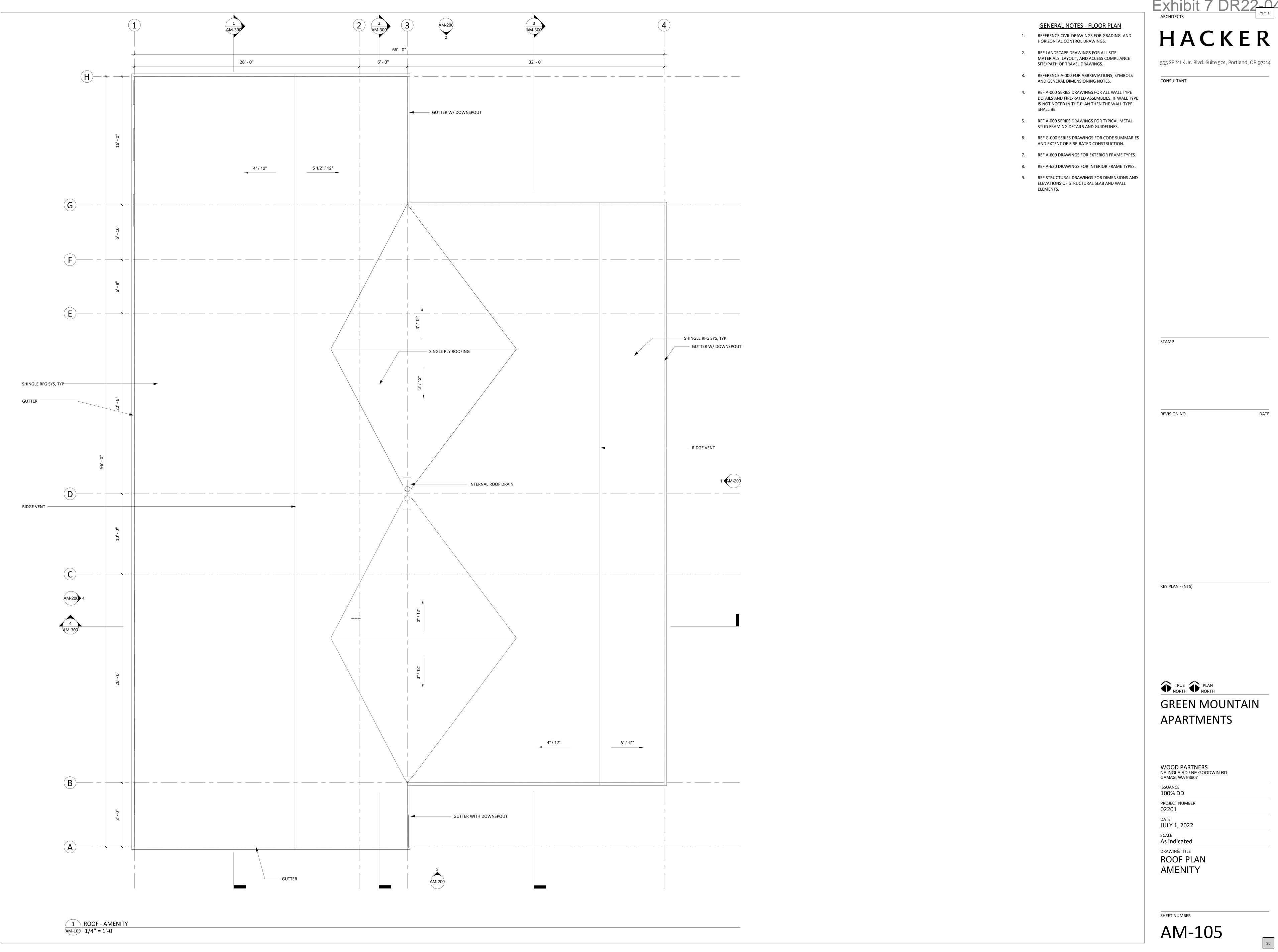
DRAWING TITLE

ROOF PLAN

SHEET NUMBER

AR-105

24





WGS_1984_Web_Mercator_Auxiliary_Sphere Clark County, WA. GIS - http://gis.clark.wa.gov

Vicinity Map





Legend

Taxlots

Notes:



27

Community Development Department 616 NE Fourth Avenue Camas, WA 98607



Design Review Checklist Green Mountain Urban Village (DR22-04)

The purpose of this sheet is to provide a simplified and expedited review of the design review principles and guidelines using objective review standards. The standards are intended as tool for the decision-maker in making findings that the proposal either achieves compliance with the intent of the principles or reasonably mitigates any conflict. When reviewing the check sheet, the proposal should as a whole "comply" with the standards and thus be generally consistent with the overriding principles. [Yes = In Compliance; No = Not In Compliance; NA = Not Applicable]

Standard Principles and Guidelines

ARCH	HITECT	URE		
Yes	No	NA	Principles and Guidelines	Comments
			Corrugated materials, standing seam, T-1 11, or similar siding	
			materials are avoided unless it produces a high visual (or	
			aesthetic) quality.	
			Buildings walls or fences visible from roadways are articulated in	
			order to avoid a blank look.	
			The use of bold colors has been avoided unless used as minor	
			accents.	
			Higher density/larger structures abutting lower density	
			residential structures have been designed to mitigate size and	
			scale differences.	
LAND	SCAPI	ING AI	ND SCREENING	
Yes	No	NA	Principles and Guidelines	Comments
			Vegetation for landscaping includes native, low maintenance	
			plantings. Significant trees are retained if feasible.	
			Trees planted along streetscapes with overhead power lines	
			include only those trees identified on the City's Tree list.	
			Landscaping, including trees, shrubs, and vegetative groundcover,	
			is provided to visually screen and buffer the use from adjoining	
			less intense uses including parking.	

			Proposed fencing is incorporated into the landscaping so as to	
			have little or no visual impact.	
			Signs located on buildings or incorporated into the landscaping	
			are unobtrusive and vandal resistant. If illuminated they are front	
			lit.	
			Landscape lighting - low voltage, non-glare, indirect lighting is	
			directed, hooded or shielded away from neighboring properties.	
			Street lighting (poles, lamps) is substantially similar or	
			architecturally more significant than other street lighting existing	
			on the same street and do not conflict with any City approved	
			street lighting plans for the street.	
			Parking and building lighting is directed away from surrounding	
			properties through the use of hooding, shielding, siting and/or	
			landscaping.	
			Outdoor furniture samples are consistent with the overall project	
			design.	
			Existing trees over 6" dbh that are not required to be removed to	
			accommodate the proposed development are retained and	
			incorporated into the landscape plan.	
			Rock outcropping's, forested areas and water bodies are retained.	
HISTO	ORIC A	ND HE	ERITAGE PRESERVATION	
Yes	No	NA	Principles and Guidelines	Comments
			The use of Historic Markers, information kiosks, project names,	
			architectural features, or other elements of the project promote	
			the historic heritage of the site or surrounding area.	

Specific Principles and Guidelines

			GATEWAYS AND CORRIDO	ORS
SIGNAC	ŝΕ			
Yes	No	NA	Principles and Guidelines	Comments
			Gateways are devoid of free-standing signs. Preexisting freestanding signs are proposed for removal at the time of development, redevelopment, or major rehabilitation on the site.	

			Permanent signage within a gateway are standardized to create	
			a consistent look in terms of size, color, and materials.	
STREETS	CADE		a consistent look in terms of size, color, and materials.	
	1	1 21 2	P. C. Caller, and C. Caller, and	C
Yes	No	NA	Principles and Guidelines	Comments
			The main public entrance is oriented toward the public right-of-	
			way.	
			Pedestrian walkways connect each building's front entry with	
			the sidewalk.	
			Bike lanes are provided and link public areas with	
			neighborhoods and other local and regional bicycle corridors.	
			Alternative transportation, such as attractive bus stop shelters,	
			bicycle parking, etc. are provided.	
			Trees, planting strips or bioswales are used for separating	
			vehicles and pedestrian movements.	
			Street trees no less than two inches in diameter are planted	
			within planter strips or tree wells at a spacing that creates the	
			appearance of a continuous canopy at tree maturation.	
			The surface of pedestrian walkways within intersections are	
			accentuated with a unique character (i.e. pattern stone,	
			exposed aggregate, stamped concrete, etc.)	
			Buildings are placed as close to streets and roads as the zoning	
			code allows.	
			On-site parking is located to the rear or the side of the building.	
			A consistent iconic streetscape lighting scheme is used that	
			portrays the primary development period, architecture	
			characteristics, or predetermined theme as identified in a	
			concept plan, sub-area plan, or master plan recognized by the	
			City.	
LANDS	CAPING	G		
Yes	No	NA	Principles and Guidelines	Comments
			Landscaping adjacent to the public right of way provides	
			multiple layers of plantings, including canopy trees, understory	
			trees, shrubs and groundcover.	
			Hanging baskets provided along building frontages add visual	
			interest and the bottom of the basket is a minimum of 80 inches	
			above the finished grade of the sidewalk.	
		•	<u> </u>	

		1		
			Median planting design/plant selection create a unique and	
			cohesive streetscape design.	
			MULTI-FAMILY	
STAC	KED F	HOUS	NG (APARTMENTS)	
LAND	SCAPI	NG &	SCREENING	
Yes	No	NA	Principles and Guidelines	Comments
			All on-site parking areas are screened with landscaping. Parking	
			spaces are clustered in small groups of no more than 6-10 spaces	
			and separated by landscaping to create a pedestrian friendly park-	
			like environment.	
			Green belts are used to separate different uses whenever	
			possible.	
			Vertical intensity of landscaping increases as the height of the	
			structure increases.	
			Stacked housing abutting or located in single-family residentially	
			zoned areas is designed to mitigate size and scale differences.	
ARCH	IITECT	, 	ND STREETSCAPE	
Yes	No	NA	Principles and Guidelines	Comments
			Buildings are brought up to traffic/pedestrian movements.	
			Principal pedestrian entrances of buildings are along a street,	
			open space or mid-block passage with the exceptions of visible	
			entrances off a courtyard.	
			Walls are articulated in order to avoid a blank look and provide a	
			sense of scale including a minimum solid to void ratio of	
			70%/30%.	
			Detachable garages are located to the rear of stacked unit(s) so as	
			not to be directly viewable from a public street.	
			Attached garages account for less than 50% of the front face of	
			the structure. Garages visible from the street are articulated by	
			architectural features, such as windows, to avoid a blanklook.	
			Stoops, porches and direct individual entries are included in the	
	1		ground-floor units.	
			Street lighting poles and lamps are compatible with other nearby	
l			lighting on the same street, unless other lighting is expected	
		I .	to be replaced in the foreseeable future or a nostalgic theme	

DESIGN REVIEW CHECKLIST

Item 1.

		compatible	with	the	proposed	development	is	desired.
		Surrounding	sites a	re scr	eened from	parking and buil	din	g lighting.



E-090

33



OVERALL SITE VIEW



APARTMENT GROUND FLOOR - ACCESSIBLE SIDE



APARTMENT GROUND FLOOR - RAISED SIDE



LANDSCAPE LEGEND

UTILITY NOTES

KEY PLAN - (NTS)

STAMP

REVISION NO.

ARCHITECTS

CONSULTANT

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GROUND WORKSHOP

TRUE PLAN NORTH

Green Mountain Apartments - Site

WOOD PARTNERS

PROJECT ADDRESS NE INGLE RD / NE GOODWIN RD

CAMAS, WA 98607

100% DESIGN DEVELOPMENT

PROJECT NUMBER 02201

JULY 01, 2022

DRAWING TITLE LANDSCAPE KEY PLAN

SHEET NUMBER L-100



DETAIL KEYNOTES

1.0 PAVEMENT, RAMPS, CURBS

ر ٥.	<u> </u>			
	#	DESCRIPTION	DETAIL / SHEET	
	1.1	CONCRETE PAVING - TYPE 1 FINISH: BROOM COLOR: STANDARD	01/L-710	
	1.2	CONCRETE PAVING - TYPE 2 FINISH: SAND ETCH COLOR: INTEGRAL	01/L-710	
	1.3	CONCRETE PAVING - TYPE 3 ELEVATED CROSSWALK FINISH: BROOM COLOR: STANDARD	01/L-710	
	1.4	CRUSHED STONE PAVING TYPE: STABILIZED 1/4 MINUS BASALT	02/L-710	
	1.5	CONCRETE PAVERS MODEL: LARGE SCALE CALARC PAVERS MAKE: STEPSTONE PAVERS COLOR: 1813 PORCELAIN	05/L-710	
	1.6	DECORATIVE DRAINAGE STRIP	04/L-710	
	1.7	MULCH TYPE: WALK ON BARK MAKE: MT. SCOTT FUEL CO. 4" DEPTH WITH FILTER FABRIC		

\sim		+ DEI III WIIII IEIEITABRIO	
2.0	JOINTIN	IG	
	#	DESCRIPTION	DETAIL / SHEET
	2.1	TOOLED JOINT	01/L-710
^	2.2	EXPANSION JOINT	01/L-710
	OTEDO		

^	Z.Z	EXPANSION JUINT	01/L-710
3.0	STEPS		
	#	DESCRIPTION	DETAIL / SHEET
		CONCRETE STAIR	
	3.1	FINISH: SAND ETCH	01/L-720
		COLOR: INTEGRAL	
ſ			

1.0	WALLS			
<u> </u>	#	DESCRIPTION	DETAIL / SHEET	
	4.1	RETAINING WALL - TYPE 1 STRUCTURE: METAL GABION BASKET FILL: 1"-3" FRACTURED BASALT	01/L-711	
	4.2	RETAINING WALL - TYPE 2 STRUCTURE: METAL GABION BASKET W/ INTEG. BENCH FILL: 1"-3" FRACTURED BASALT	02,03/L-711	
	4.3	RETAINING WALL - TYPE 3 STRUCTURE: REINFORCED CMU FINISH: STUCCO COLOR: TBD	04/L-711	
	4.4	SITE WALL STRUCTURE: REINFORCED CMU FINISH: STUCCO COLOR: TBD	05/L-711	
5.0	SITE FURNISHINGS			

\sim		002011.155	
5.0	SITE FU	IRNISHINGS	
	#	DESCRIPTION	DETAIL / SHEET
	5.1	PICNIC TABLE - STANDARD MODEL: #2602 PICNIC TABLE AND SEATS MAKE: COLUMBIA CASCADE, TIMBERFORM	
	5.2	PICNIC TABLE - ADA MODEL: #2602 ACCESSIBLE PICNIC TABLE AND SEATS MAKE: COLUMBIA CASCADE, TIMBERFORM	
	5.3	MOVEABLE FURNISHINGS MODEL: TBD MAKE: LANDSCAPE FORMS OR APPROVED EQUIVALENT	
	5.4	FIRE PIT MODEL: BOL MAKE: PALOFORM, OR APPROVED EQUIVALENT NOTE: PROVIDE GAS CONNECTION, TIMER, AND AUTOMATIC SHUTOFF PER CODE	

\wedge	RAILINGS, BARRIERS, FENCING				
6.0					
	#	DESCRIPTION	DETAIL / SHEET		
	6.1	STAIR HANDRAIL 36" HT. EMBEDDED PAINTED STEEL RAILING	02,04,05/L-720		
	6.2	RAMP HANDRAIL 36" HT. EMBEDDED PAINTED STEEL RAILING	03/L-720		
	6.3	FENCE 42" HT. METAL POSTS SLATS: HORIZONTAL 1x6 WRC	06,07/L-711		
	6.4	GUARDRAIL 72" HT. PAINTED METAL POSTS PAINTED METAL VERTICAL PICKETS	08,09/L-711		
/					

7.0 LANDSCAPE LIGHTING		
#	DESCRIPTION	DETAIL / SHEET
7.1	PROVIDE ALLOWANCE	
DRAINA	GE	
#	DESCRIPTION	DETAIL / SHEET
8.1	PROVIDE ALLOWANCE	PER CIVIL
PLANTIN	NG, SOILS, LANDSCAPE	
#	DESCRIPTION	DETAIL / SHEET
9.1	PLANTING AREA / SOIL PREPARATION	01/L-760
9.2	SEEDED LAWN	01/L-760
	# 7.1 DRAINA # 8.1 PLANTIN # 9.1	# DESCRIPTION 7.1 PROVIDE ALLOWANCE DRAINAGE # DESCRIPTION 8.1 PROVIDE ALLOWANCE PLANTING, SOILS, LANDSCAPE # DESCRIPTION 9.1 PLANTING AREA / SOIL PREPARATION

MISCELLANEOUS SITE FEATURES				
#	DESCRIPTION	DETAIL / SHEET		
10.1	OUTDOOR KITCHEN FRAME: CUSTOM PREFABRICATED CABINETS COUNTERTOPS: DEKTON (2) GAS GRILLS: LYNX 36" SEDONA BUILT-IN GRILL W/ 3 STAINLESS STEEL BURNERS NOTE: PROVIDE GAS CONNECTION, TIMER, AND AUTOMATIC SHUTOFF PER CODE	07/L-710		
10.2	RAISED GARDEN PLANTER	06/L-710		
10.3	WATER FEATURE PROVIDE AN ALLOWANCE. CONTRACTOR TO ASSUME CUSTOM AUTOMATED WATER FEATURE WITH MULTIPLE WATER SOURCES AND SHALLOW (LESS THAN 18") WADING BASIN. ASSUME MECHANICAL SYSTEM IS LOCATED IN AMENITY BUILDING. MECHANICAL SYSTEM AND SPECIFICATIONS BY WATER FEATURE CONSULTANT.	01/L-701		
10.4	ELECTRIC VEHICLE CHARGING STATION PROVIDE ALLOWANCE FOR 63 ELECTRIC VEHICLE STALLS			
10.5	SITE BOULDER	09/L-710		
10.6	TIMBER LOG	08/L-710		
	# 10.1 10.2 10.3	# DESCRIPTION OUTDOOR KITCHEN FRAME: CUSTOM PREFABRICATED CABINETS COUNTERTOPS: DEKTON 10.1 (2) GAS GRILLS: LYNX 36" SEDONA BUILT-IN GRILL W/ 3 STAINLESS STEEL BURNERS NOTE: PROVIDE GAS CONNECTION, TIMER, AND AUTOMATIC SHUTOFF PER CODE 10.2 RAISED GARDEN PLANTER WATER FEATURE PROVIDE AN ALLOWANCE. CONTRACTOR TO ASSUME CUSTOM AUTOMATED WATER FEATURE WITH MULTIPLE 10.3 WATER SOURCES AND SHALLOW (LESS THAN 18") WADING BASIN. ASSUME MECHANICAL SYSTEM IS LOCATED IN AMENITY BUILDING. MECHANICAL SYSTEM AND SPECIFICATIONS BY WATER FEATURE CONSULTANT. 10.4 ELECTRIC VEHICLE CHARGING STATION PROVIDE ALLOWANCE FOR 63 ELECTRIC VEHICLE STALLS 10.5 SITE BOULDER		

LANDSCAPE LEGEND

SOIL
OIL

MATERIAL NOTES

- HATCH PATTERNS REPRESENTED ARE DIAGRAMMATIC AND DO NOT REPRESENT PAVING PATTERNS.
- 2. ALL VENEER, TREATMENT, OR TEXTURE TO CONTINUE A MINIMUM 6" BELOW FINISH GRADE UNLESS NOTED OTHERWISE.
- 3. SHOP DRAWINGS FOR ALL STEP, PAVING AND METALWORK LAYOUTS SHALL BE PROVIDED FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT BEFORE FABRICATION.
- 4. ANY MATERIALS NOT SPECIFIED IN PLANS SHOULD BE REVIEWED WITH AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- 5. PRICING MUST REFLECT IDENTIFIED MATERIAL SPECIFICATIONS AS OUTLINED. ANY DEVIATIONS OR SUBSTITUTES MUST BE APPROVED BY LANDSCAPE ARCHITECT.
- SITE FURNISHINGS, UNLESS SPECIFIED, ARE EXCLUDED FROM THIS SITE DESIGN PACKAGE.
- 7. ALL PLANTING AREAS SHALL BE FULLY IRRIGATED, SEE IRRIGATION PLAN FOR MORE INFORMATION.
- 8. SEE LIGHTING PLANS FOR LIGHTING LAYOUT AND FIXTURE SCHEDULES.

 9. OHANTITIES SHOWN IN DRAWINGS ARE FOR CONTRACTOR'S CONVENIENCE ONLY
- QUANTITIES SHOWN IN DRAWINGS ARE FOR CONTRACTOR'S CONVENIENCE ONLY.
 CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXACT MATERIAL TAKEOFFS BASED ON THIS PLAN.

KEYNOTES

- 01) GARDEN SHED, BY OWNER
- 02 LANDFORM; CONTRACTOR TO ASSUME REUSE OF STOCKPILED SOIL WITH TOP 8"
 AMENDED WITH IMPORTED TOPSOIL
- (3) TRASH ENCLOSURE, SEE ARCHITECTURE
- 04) TRAIL / NEIGHBORHOOD CONNECTION
- 05) TRANSFORMER, SEE ELECTRICAL
- 06 PARKING AREA AND STRIPING, SEE CIVIL07 CONCRETE CURB, SEE CIVIL





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ARCHITECTS



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REVISION NO.

KEY PLAN - (NTS)

TRUE PLAN NORTH

Green Mountain Apartments - Site

CLIENT WOOD PARTNERS

PROJECT ADDRESS

NE INGLE RD / NE GOODWIN RD

CAMAS, WA 98607

100% DESIGN DEVELOPMENT
PROJECT NUMBER

02201

JULY 01, 2022

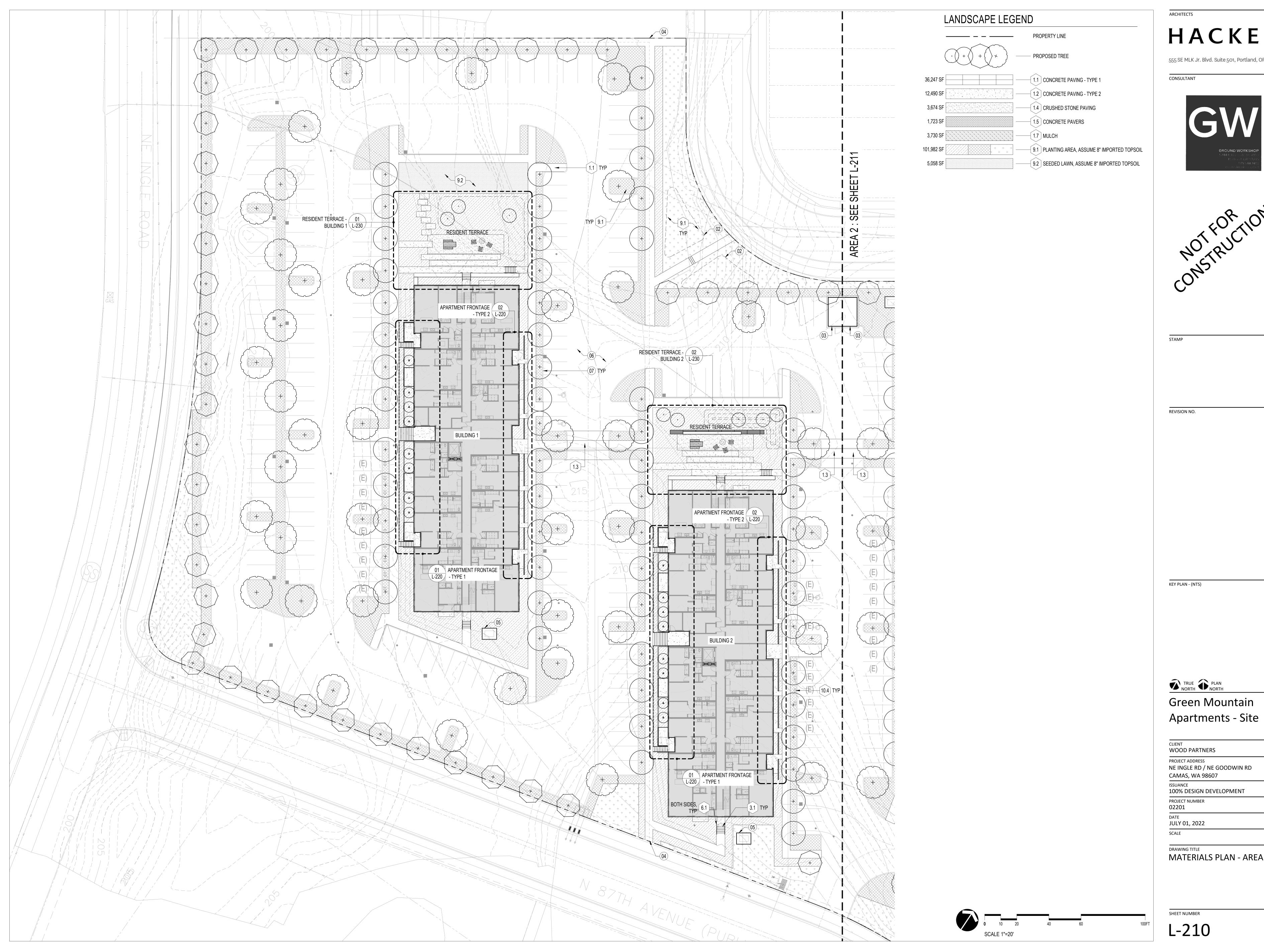
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MATERIALS SCHEDULE

SHEET NUMBER

L-200

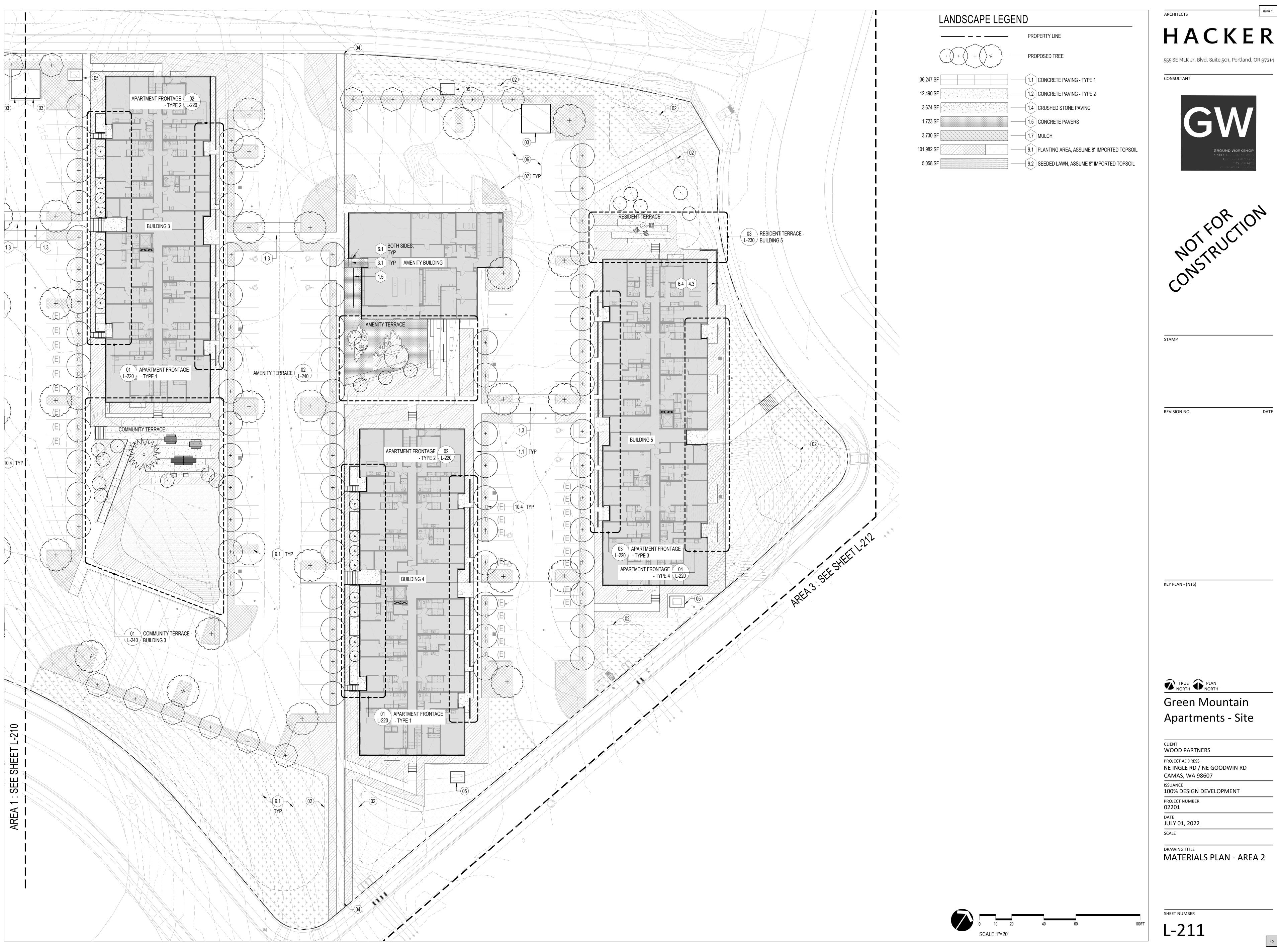




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MATERIALS PLAN - AREA 1



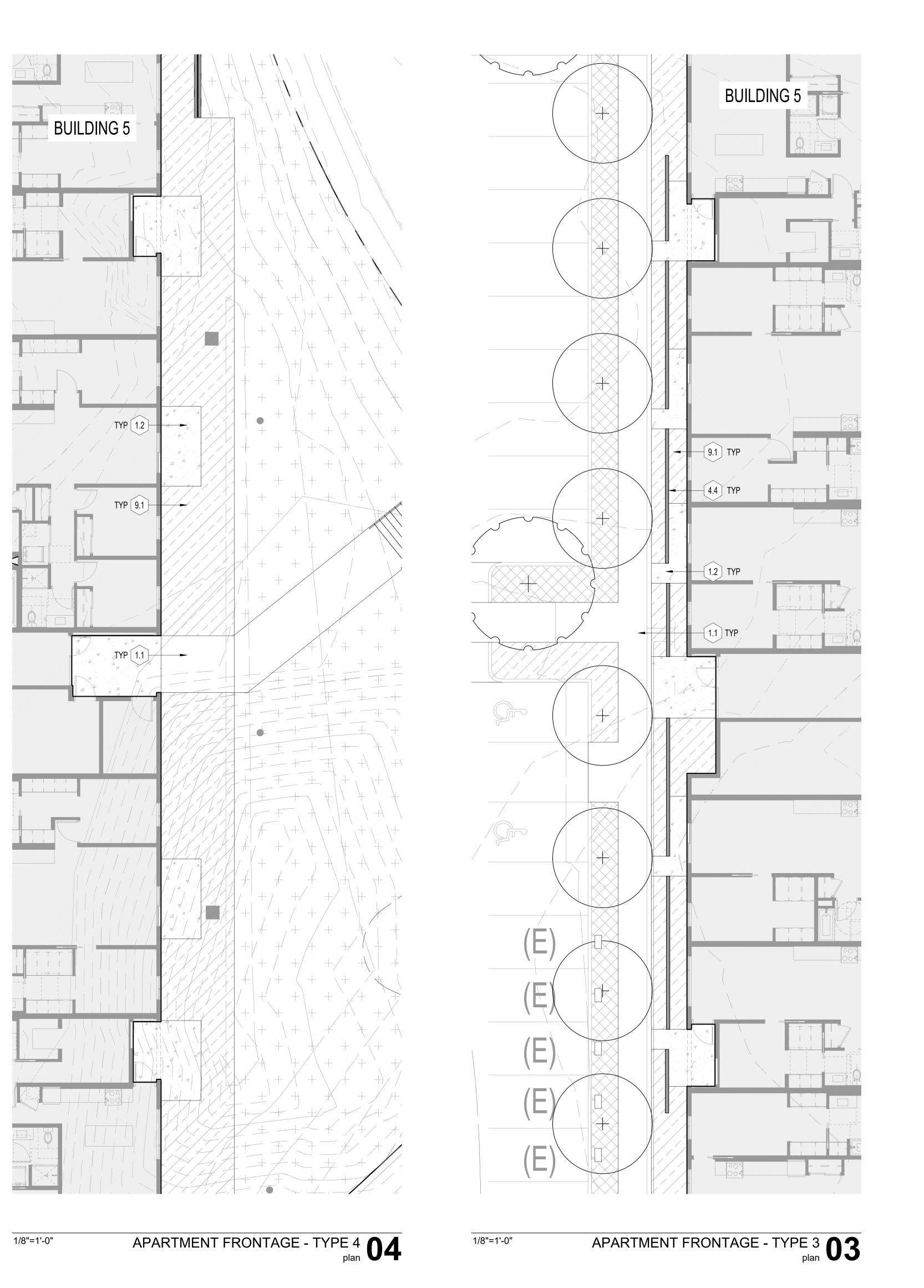


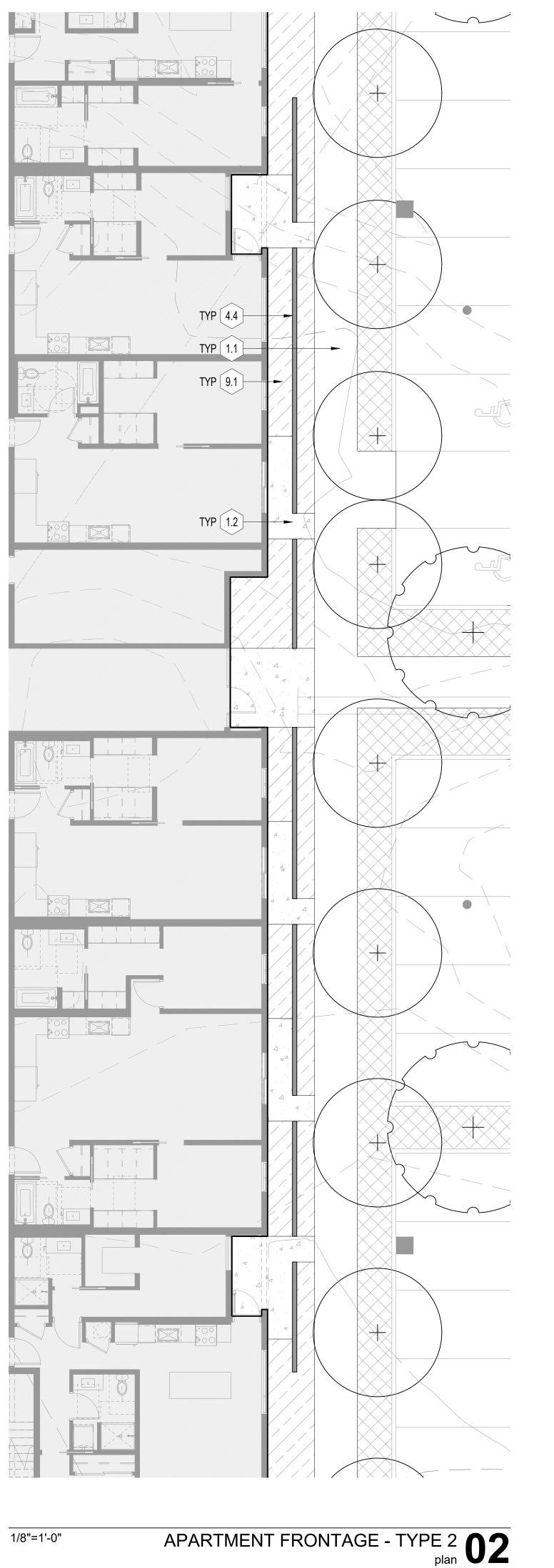
Apartments - Site

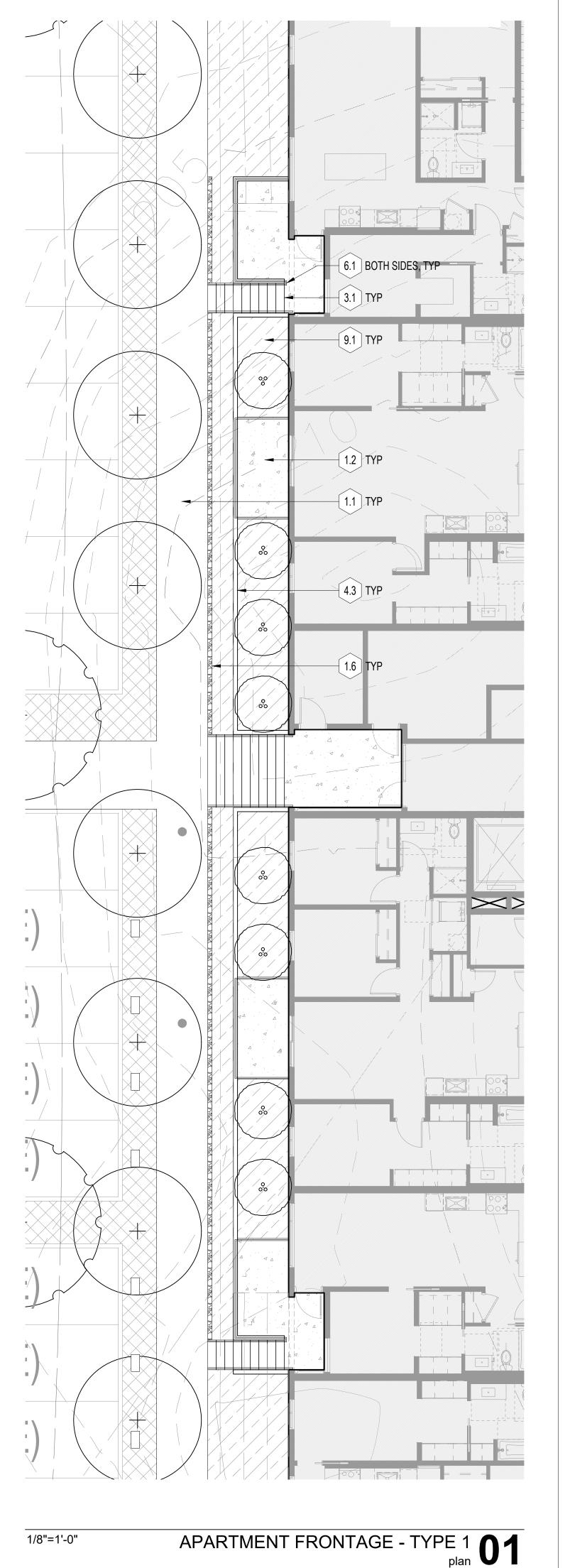
MATERIALS PLAN - AREA 2











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KEY PLAN - (NTS)

TRUE PLAN NORTH Green Mountain

Apartments - Site

CLIENT
WOOD PARTNERS PROJECT ADDRESS

NE INGLE RD / NE GOODWIN RD CAMAS, WA 98607

ISSUANCE 100% DESIGN DEVELOPMENT

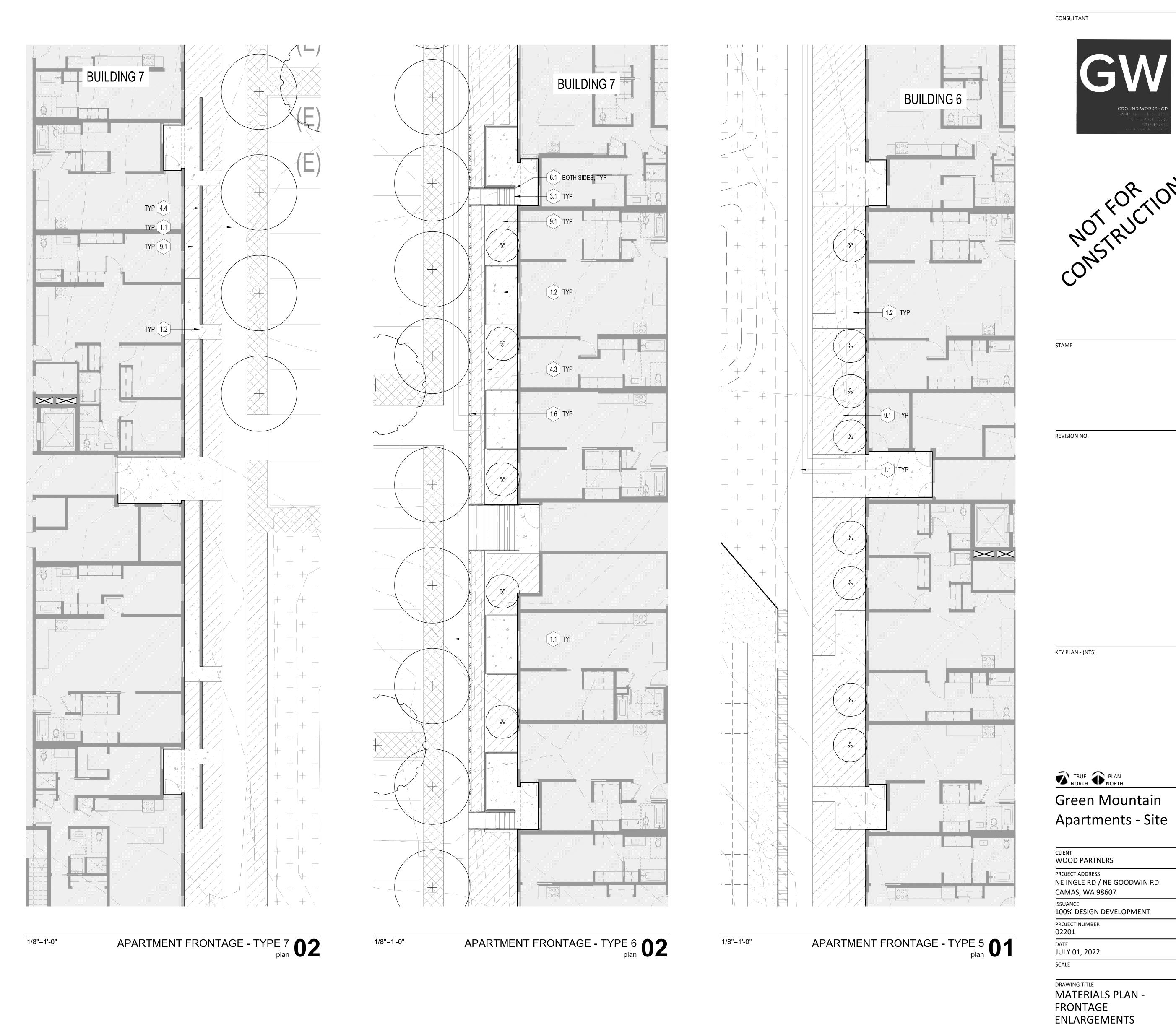
PROJECT NUMBER 02201

DATE JULY 01, 2022

SCALE DRAWING TITLE

MATERIALS PLAN -FRONTAGE **ENLARGEMENTS**

SHEET NUMBER L-220



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REVISION NO.

KEY PLAN - (NTS)

TRUE PLAN NORTH Green Mountain

CLIENT WOOD PARTNERS

PROJECT ADDRESS

NE INGLE RD / NE GOODWIN RD

CAMAS, WA 98607 ISSUANCE 100% DESIGN DEVELOPMENT

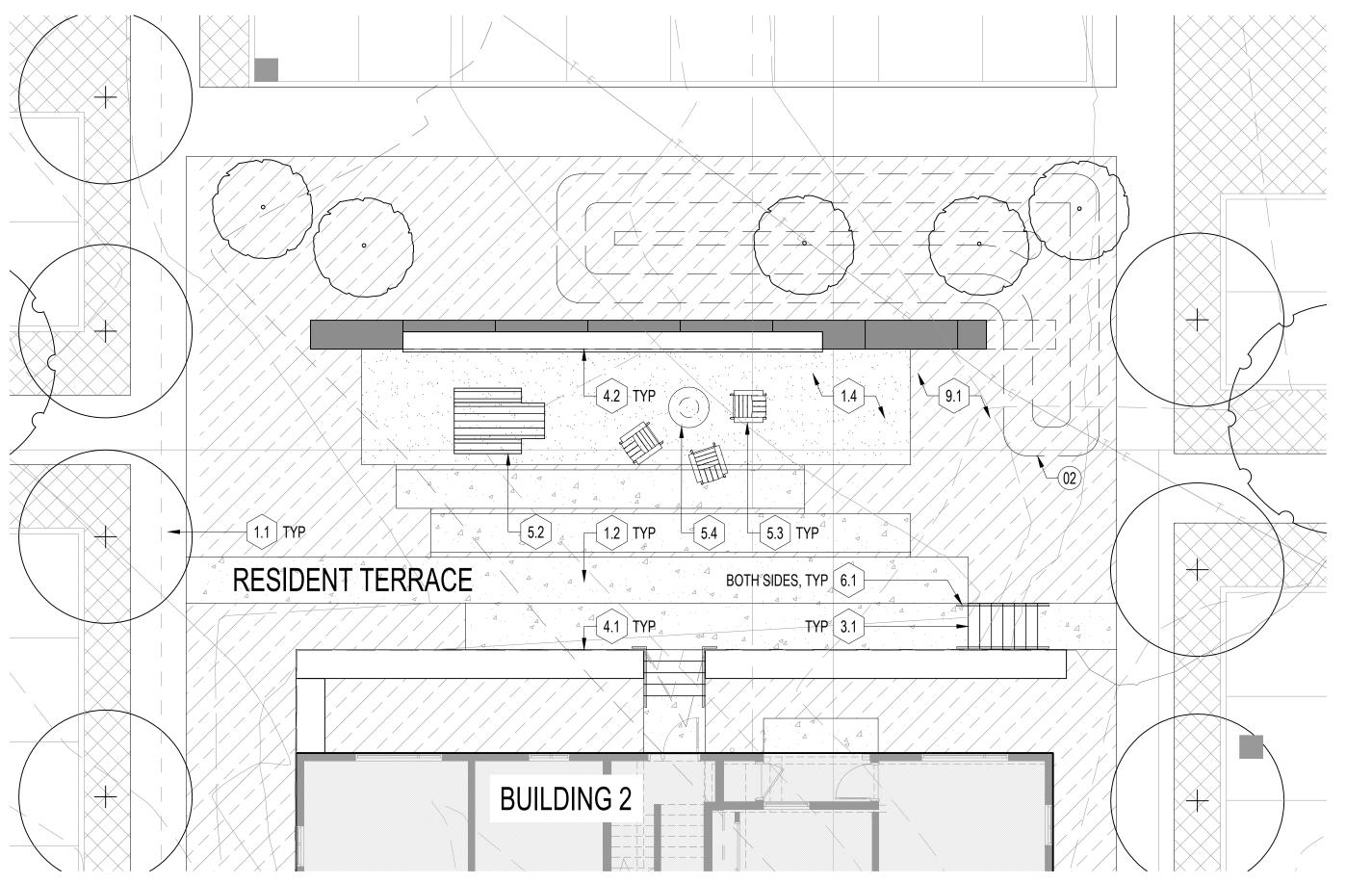
PROJECT NUMBER 02201

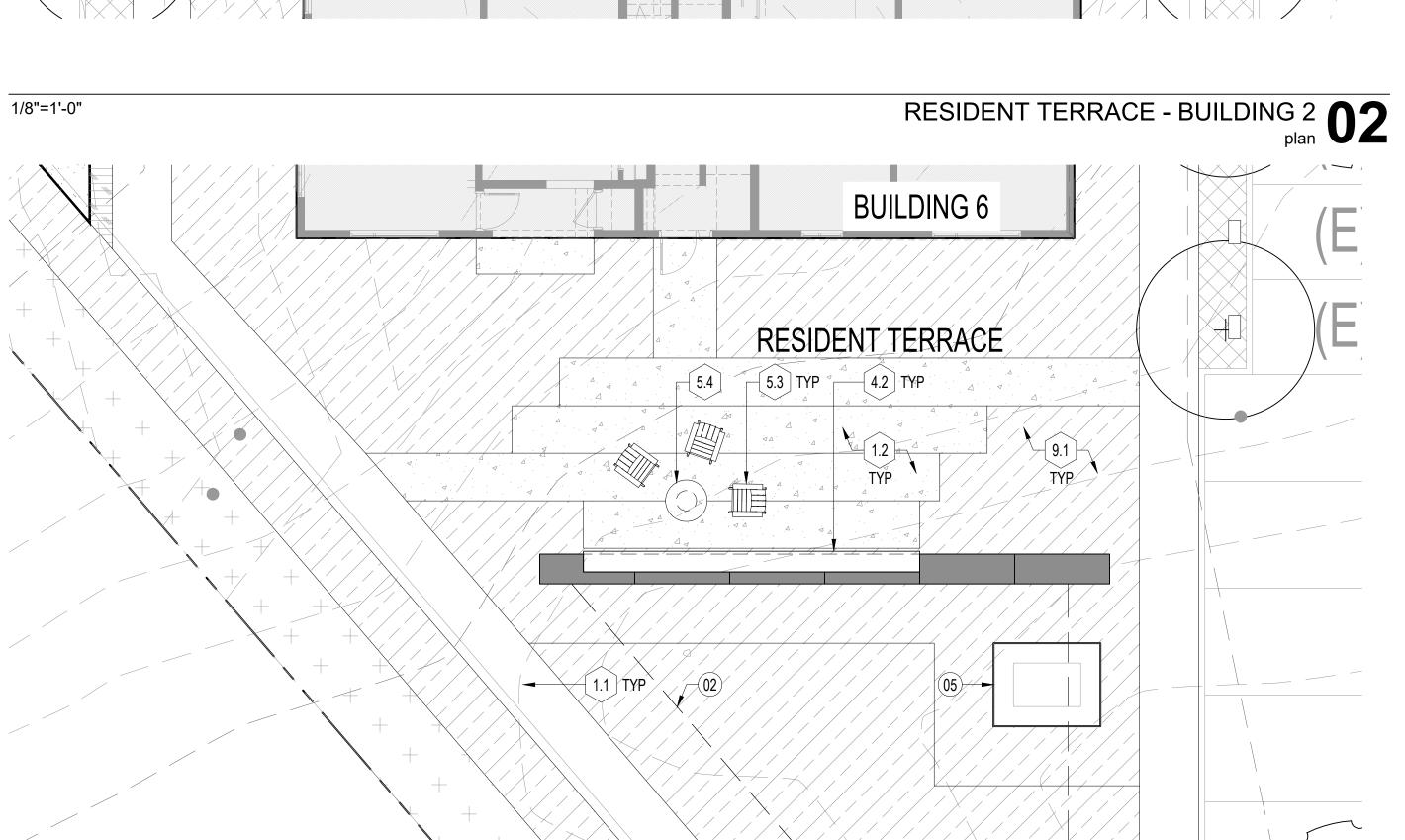
DATE JULY 01, 2022 SCALE

DRAWING TITLE MATERIALS PLAN -FRONTAGE

ENLARGEMENTS

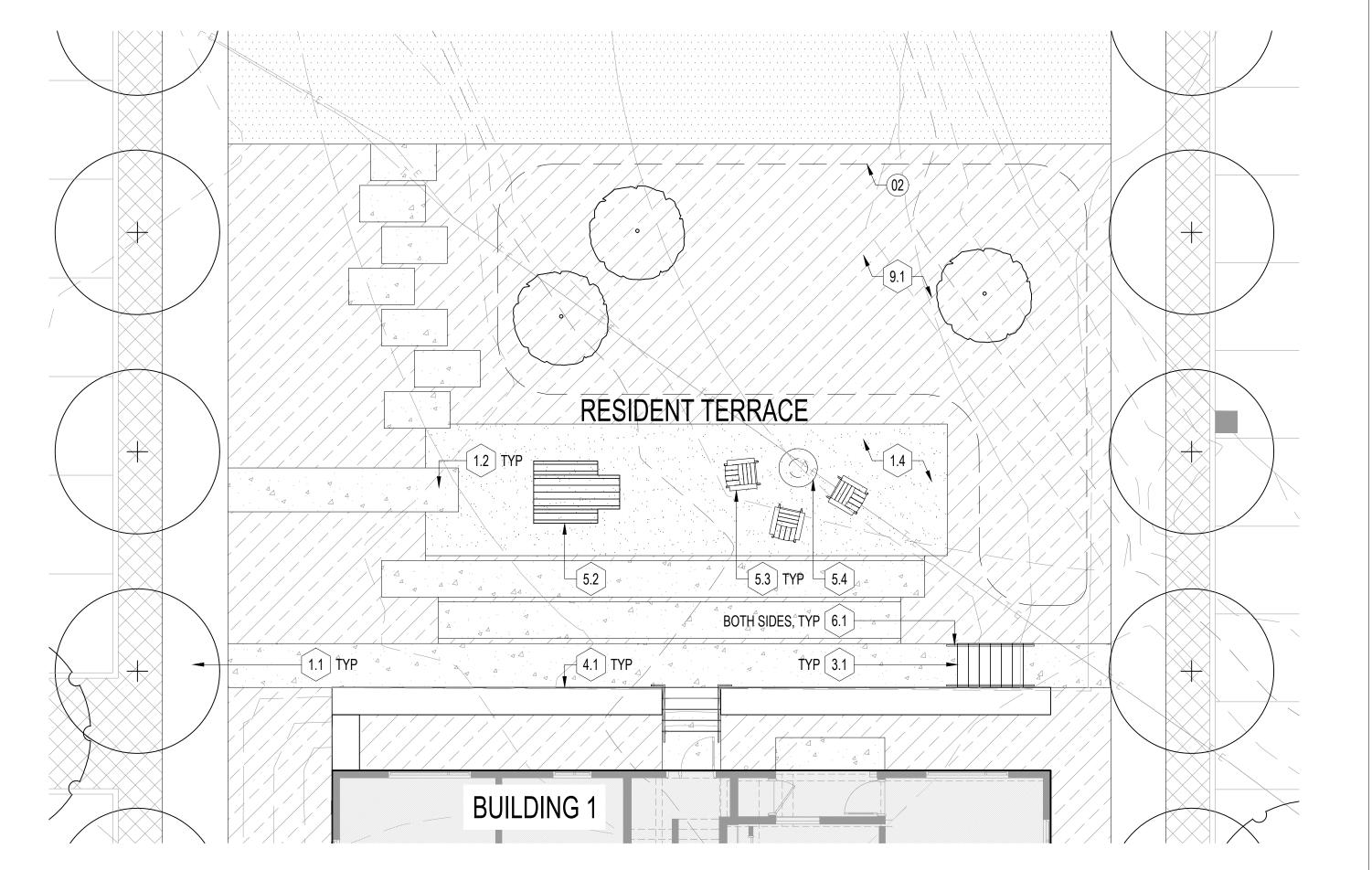
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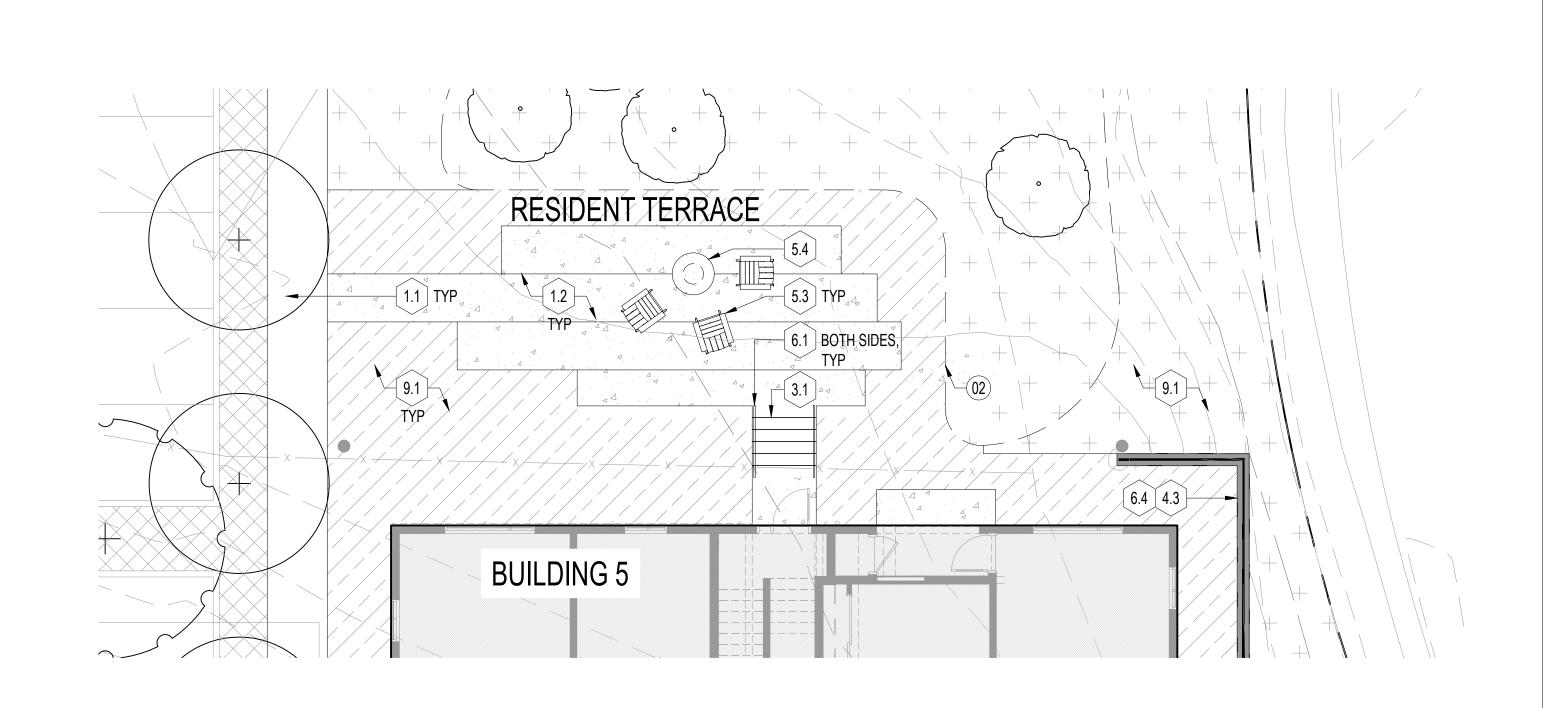


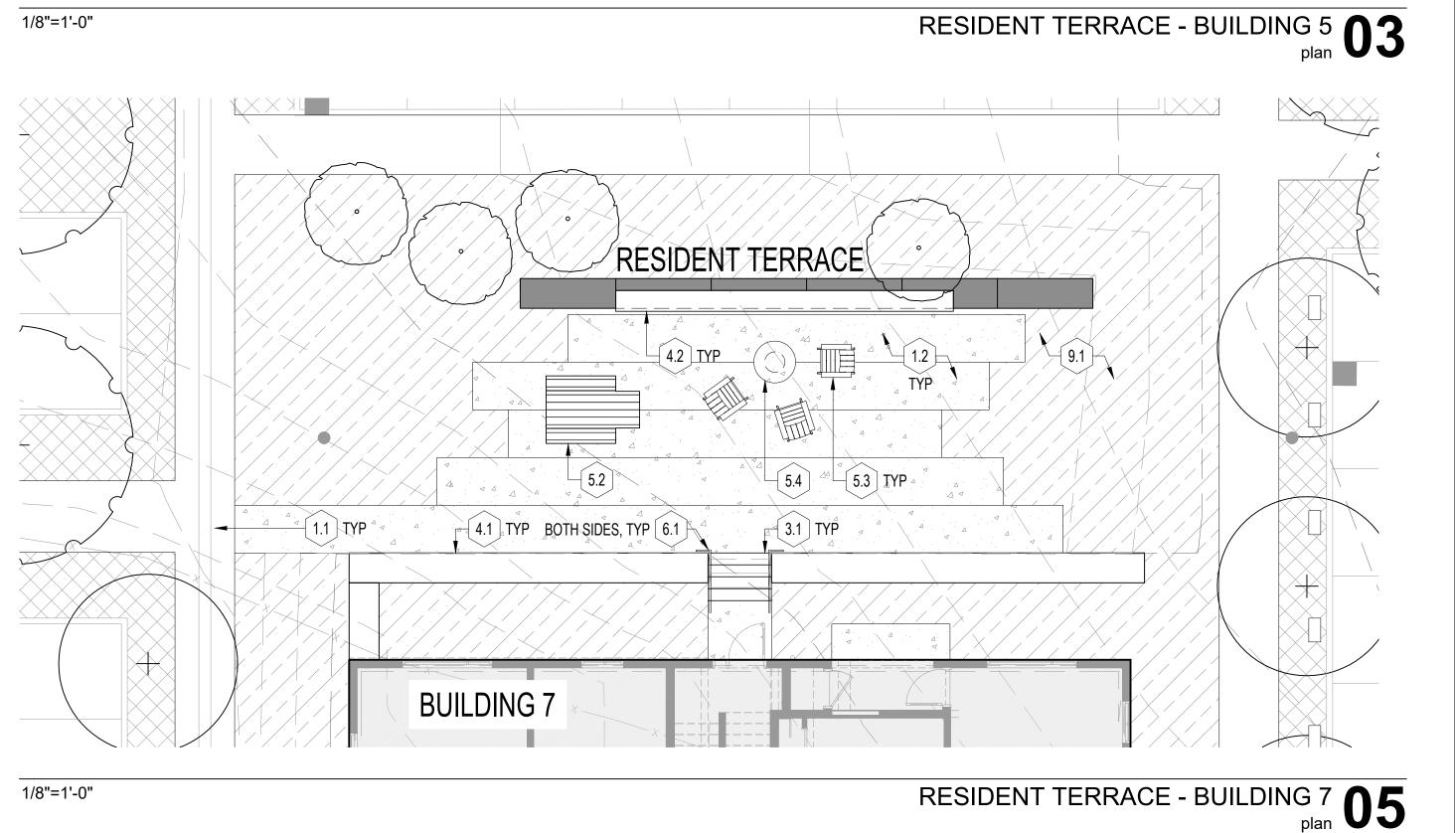
1/8"=1'-0"

RESIDENT TERRACE - BUILDING 6 plan 04



RESIDENT TERRACE - BUILDING 1 01





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KEY PLAN - (NTS)

TRUE PLAN NORTH

Green Mountain Apartments - Site

CLIENT
WOOD PARTNERS

PROJECT ADDRESS

NE INGLE RD / NE GOODWIN RD

CAMAS, WA 98607

ISSUANCE
100% DESIGN DEVELOPMENT

100% DESIGN DEVELOPM
PROJECT NUMBER
02201

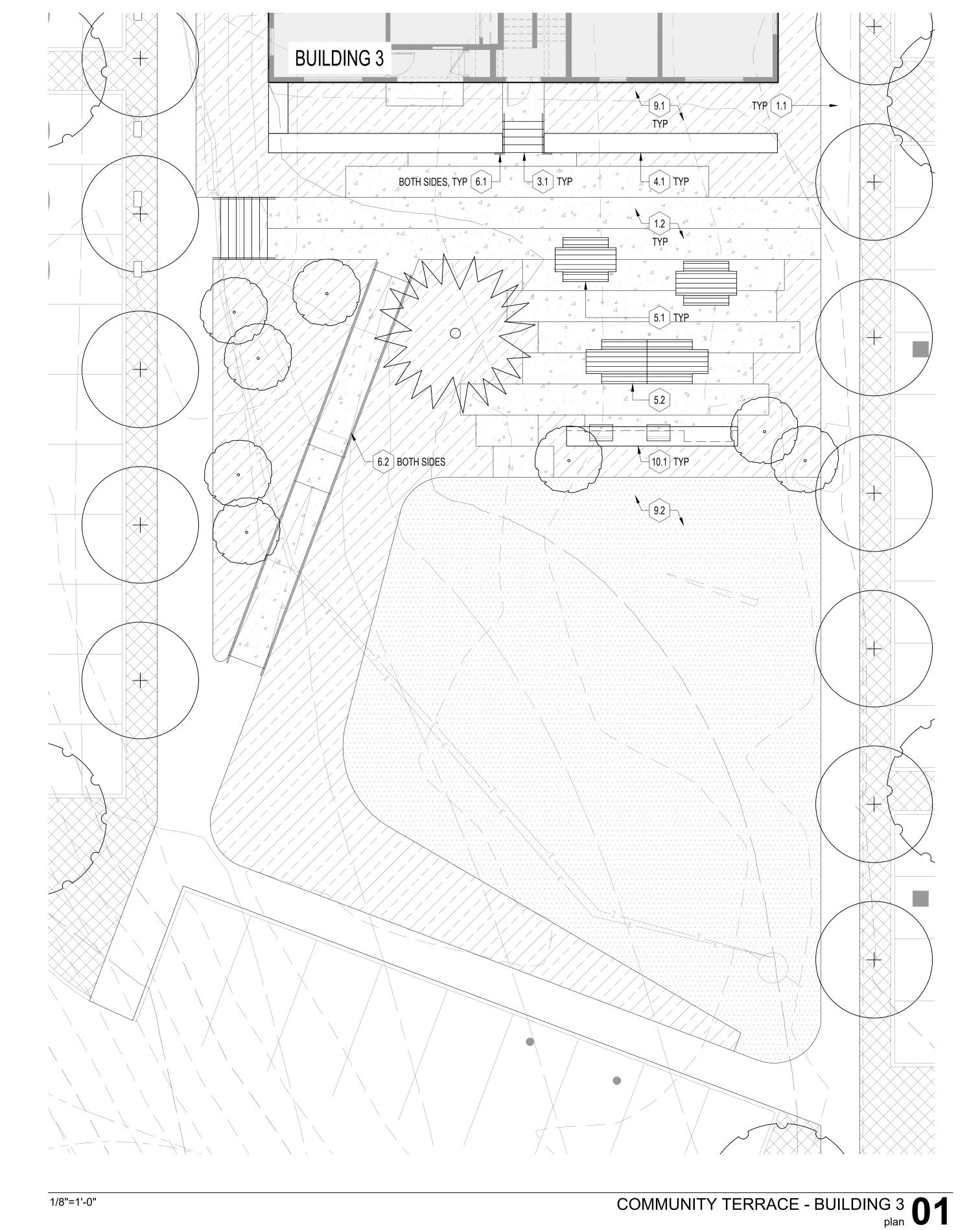
DATE
JULY 01, 2022

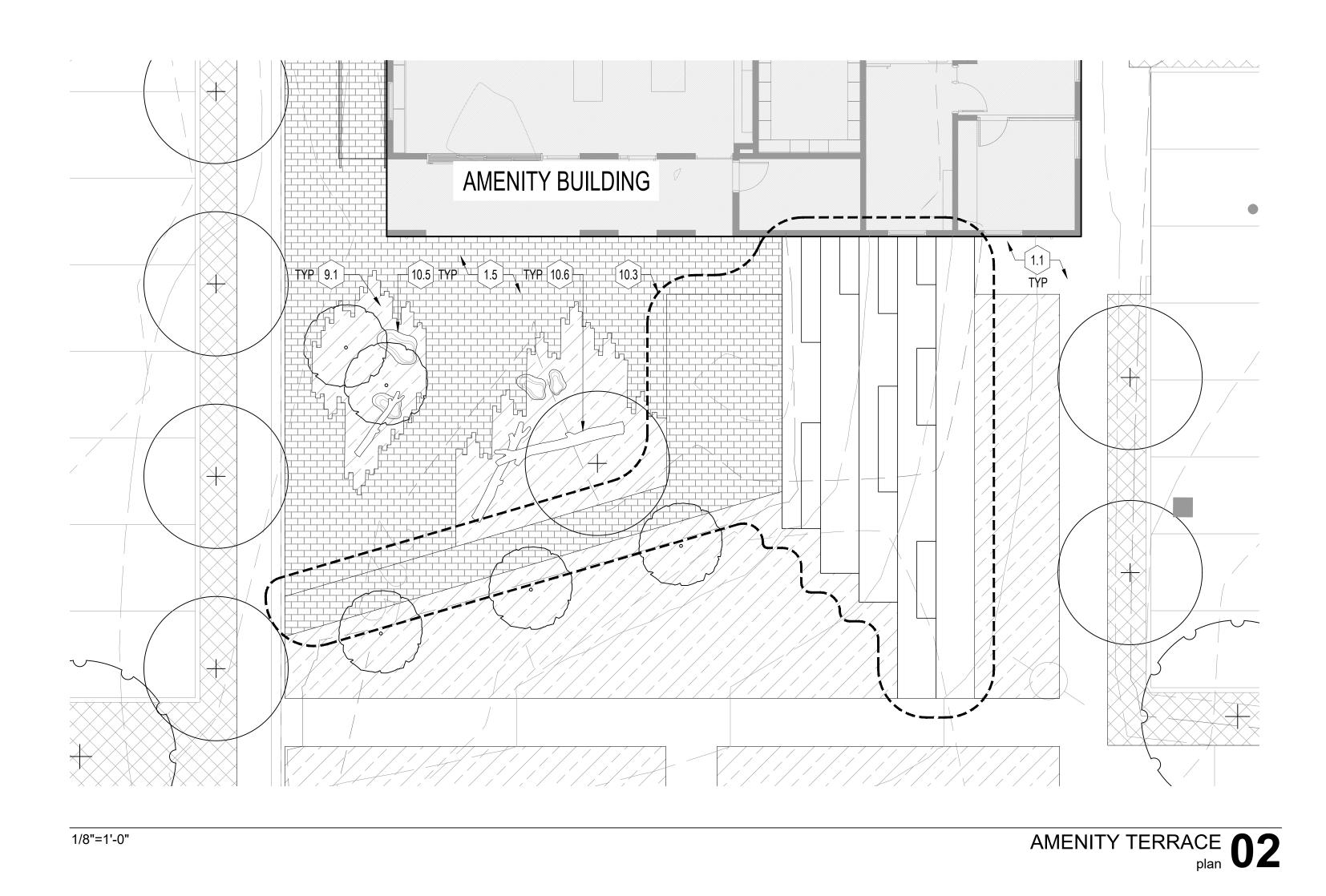
DRAWING TITLE

MATERIALS PLAN -RESIDENT TERRACE ENLARGEMENTS

SHEET NUMBER

L-230





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KEY PLAN - (NTS)

TRUE PLAN NORTH

Green Mountain Apartments - Site

CLIENT
WOOD PARTNERS

PROJECT ADDRESS

NE INGLE RD / NE GOODWIN RD

CAMAS, WA 98607

ISSUANCE 100% DESIGN DEVELOPMENT

PROJECT NUMBER

DATE JULY 01, 2022

SCALE

DRAWING TITLE

MATERIALS PLAN -COMMUNITY TERRACE ENLARGEMENTS

SHEET NUMBER

L-240



STAFF REPORT

Oak Tree Station Major Design Review (DR22-03)

Related File: CUP22-01

<u>TO</u> Design Review Committee

FROM Madeline Sutherland, Planner

Corner of NW Lake Road and NW Friberg-Strunk Street

LOCATION Parcel No. 176162000

Paul Williams

APPLICANT 6168 NE HWY 99

Vancouver, WA 98665

APPLICABLE LAW: This land use application submitted on March 11, 2022, is vested to the land use regulations and development standards in effect on the effective date of the Camas Municipal Code (CMC) Title 16 Environment, Title 17 Land Development and Title 18 Zoning.

Summary

The applicant is currently seeking design review approval for the construction of an indoor/outdoor eating area with food carts, a drive-thru coffee shop, and a 12,574 square foot commercial building The site is located on the southeast corner of NW Lake Road and NW Friberg-Strunk Street, Parcel No. 176162000.

The subject property is zoned Community Commercial (CC) including the properties to the north. To the east is city-owned property zoned Business Park. To the south is property zoned Light Industrial/Business Park. The properties to the west and southwest are within the City of Vancouver's jurisdiction and are zoned commercial and residential.

The site's topography is relatively flat with a large Oregon White Oak located in the center of the site. The site is currently undeveloped and covered with brush/grass and several smaller trees in the southeast corner.

Purpose

Design Review is required under CMC Chapter 18.19. Design review and is not intended to determine the appropriate use of a parcel but rather to review a proposed development for compliance with City codes and plans related to landscaping, architectural elevations, and other elements relative to required improvements. The recommendations from the Design Review Committee (DRC) must consider the design review standards from the Design Review Manual and Camas Municipal Code

DR22-03 Oak Tree Station 1

(CMC). An enclosed checklist is to help guide you in your review but refer to the manual for specific details regarding the standards.

Standard and Specific Commercial & Mixed Use Design Principles and Guidelines

The standard and specific commercial & mixed uses principles and guidelines are required and must be demonstrated to have been satisfied with the overall intent for design review approval. The standard design guidelines are developed to assist a project in meeting the established principles and each guideline should be adequately addressed. If the proposal cannot meet a specific guideline, then an explanation should be provided by the applicant as to why and how it will be mitigated to satisfy the intent of the design principles. The development guidelines include five major categories: 1) Landscaping and Screening, 2) Architecture, 3) Massing and Setbacks, 4) Historic & Heritage Preservation, and 5) Circulation and Connections. The Design Review Checklist is enclosed to help guide the DRC in reviewing the standard applicable specific design review principles and guidelines.

Recommendation

That the Design Review Committee reviews the submitted materials, deliberates, and forwards a recommendation to staff for a final decision.

DR22-03 Oak Tree Station 2

OAK TREE STATION

Parcel # 176162000

Situate in a portion of the SE ½ of Section 29, Township 2 North, Range 3 East, of the WIllamette Meridian City of Camas County of Clark State of Washington

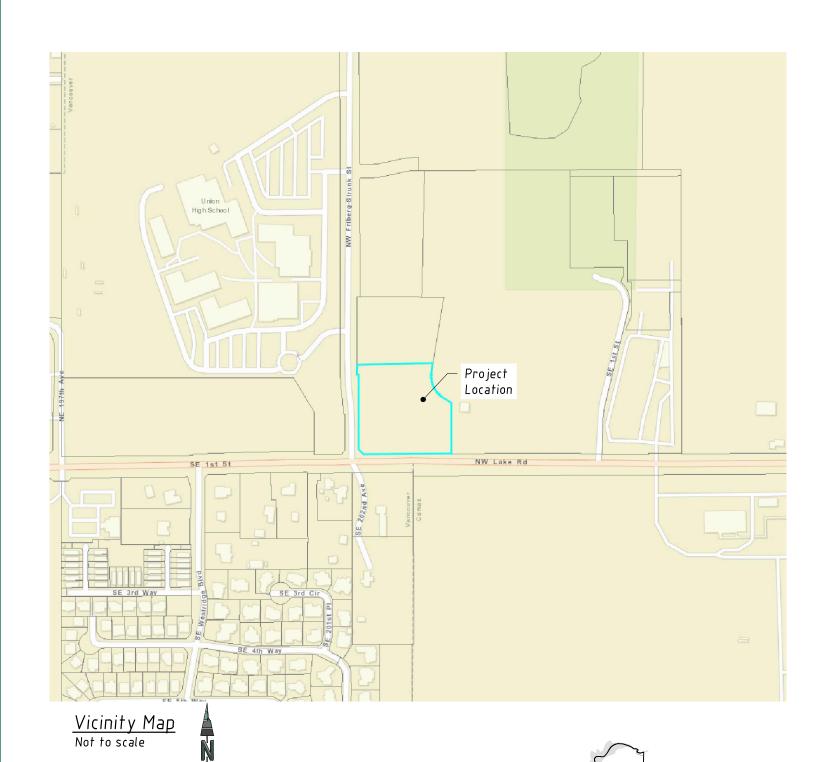
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Project: 2021004SP Date: 5/17/2022 Drafted: NVS Designed: PCW Page: 1 of 9

Northwest Utilities 1-800-425-5555 "It's the law"

Call 48 hours before you dig.

Revisions:



Battle Ground

County Map Not to scale

Contact Information

Oak Tree Station LLC 3239 NW Hood Ct Camas, WA 98607 Phone: Email: RobKyne79@Gmail.com

Engineering Northwest, PLLC Paul Williams, P.E. 6168 NE Hwy 99 #103 Vancouver, WA 98665 Phone: 360-931-3122 Email: PaulWilliamsPE@Gmail.com

Site Information

 Address
 No site address assigned

 Abbrev. Desc.
 #16 SEC 29 T2N R3EWM 3.95A

 S-T-R
 SE ½ S29 T2N R3E W.M.

 Parcel
 176162000

 Area
 3.59 AC (156,287± SF)

 Zone
 CC

Sheet List

P000 Cover Sheet
P010 Existing Conditions
P020 Preliminary Site

P030 Preliminary Grading & Erosion Control
P040 Preliminary Water & Sewer

P050 Preliminary Tree Removal and Preservation

P060 Preliminary Landscape P070 Preliminary Circulation

P080 Preliminary Stormwater

Boundary & Topography

Property boundaries shown herein are taken from 2009 record of survey by Olson Engineering, Inc. filed in Book 60, Page 66, of Surveys. Adjacent property boundaries, where shown, are approximate only. Topographic survey performed by Engineering Northwest in 2022.



NARRITIVE

Oak Tree Station Food Carts

City of Camas, Washington

PERLIMENARY SITE PLAN

Parcel 176162-000

Introduction:

Oak Tree Station will supply the Camas area with a wide variety of food from around the world & drinks that are local experience. Oak Tree station will also offering amazing Tap Beer / Wine / Cider Cart that operates year-round. Why limit yourself to one restaurant when you can have over 20 restaurants at your fingertips.

Oak Tree Station will be will provide indoor and outdoor eating areas. The indoor eating area will be design to capture nature lighting into a large open dinner area. The focus point for the outdoor dinner area is the large existing white Oak which the patio area stretches too. The outdoor eating area will include a covered area and uncover area for the sunny warm days. Our family friendly astrosphere ensures that you and your entire family will have an enjoyable experience. The project is also proposing a 12,574 square-foot commercial building which will be located on the project north boundary line.

Application Requirements:

CMC 18.07.030:

This project proposes coffee kiosk and food trailers. 18.07.030 - Table 1—Commercial and industrial land use permits coffee kiosh however food carts are conditions use. The conditional use for food carts requires complaints with CMC Chapter 18.19 "Design Review"

The project proposes a 12,574 square-foot building located along the project's north boundary line. The future use of the space is unknown at this time however the possible uses are listed below.

Antique Shop
Appliance sales
Bakery (retail)
Barber and beauty shops
Book Store
Café
Daycare
Fitness center
Florist shop
Professional offices
Smoke Shop

CMC 18.19.050 – Design Principles

A. Standard Principles

- 1. Landscaping shall be done with a purpose. It shall be used as a tool to integrate the proposed development in the surrounding environment.
- 2. All Attempts shall be made at minimizing the removal of significant natural features. Significant natural features shall be integrated into the overall site plan.
- 3. Buildings shall have a finished look. Any use of panelized materials shall be integrated into the development in a manner that achieves a seamless appearance.
- 4. A proposed development shall attempt to incorporate or enhance historic/heritage elements related to the specific site or surrounding area.

The project proposes to meet these standards principles by persevering the large Oregon White Oaktree. The project proposes to create an outdoor atmosphere around the Oaktree which will include an outdoor fireplace and bench seating around a portion tree. The outdoor patio area will have a covered area.

B. Commercial and Mixed Uses

- a. On-site parking areas shall be placed to the interior of the development unless site development proves prohibitive. All on-site parking areas along adjacent roadways shall be screened with landscaping. Downtown commercial and mixed-use areas shall not be required to provide on-site parking. To preserve the existing large oak tree onsite along with creating large open space around the heritage tree, the project proposes to construct parking around the permitter. Between the public street and the parking stall will be a large landscape strip. When the landscape matures this will provide screening between the public street and the adjacent parking stalls.
- b. Buildings shall be used to define the streetscape unless site conditions prove prohibitive. The project proposes a barn style for the indoor eating area, also the attached to each side of the building is covered walkways to the food carts.
- c. Structures abutting, located in, or located near less intensive uses or zoned areas (such as commercial developments next to residential areas) shall be designed to mitigate size and scale differences. To the east of the project is City-owned property which is currently vacant. To the north is a Clark Public utility power station. Across NW Friderg-Strunk Street to the west of the project is the school property. To the south is a single-family home on a large lot.
- d. Developments containing a multiple of uses/activities shall integrate each use/activity in a manner that achieves a seamless appearance, or creates a cohesive development.

 This project is proposing to use the parcel for eating experiences.

- e. Mixed-use developments that place uses throughout the site (horizontal development) shall organize elements in a manner that minimizes their impact on adjacent lower intensity uses. This project is not a mixed uses project.
- f. Walls shall be broken up to avoid a blank look and to provide a sense of scale. *The submitted building shows wall articulation and roof modulation.*
- g. Outdoor lighting shall not be directed off-site. The lighting design for the project will not cast light offsite.

CMC 18.55.110: Application – Requried Information

The project preliminary site plan application includes all the items listed is CMC 18.55.110.

- A. A copy of a completed city application form(s) and required fee(s); *Included in the project* submmital application
- B. A complete list of the permit approvals sought by the applicant; *Included in the project submittal application*
- C. A current (within thirty days prior to application) mailing list and mailing labels of owners of real property within three hundred feet of the subject parcel, certified as based on the records of Clark County assessor; *Included in the project submittal application*
- D. A complete and detailed narrative description that describes the proposed development, existing site conditions, existing buildings, public facilities and services, and other natural features. The narrative shall also explain how the criteria are or can be met, and address any other information indicated by staff at the preapplication conference as being required; *Included in the project submittal application*
- E. Necessary drawings in the quantity specified by the director; *Included in the project submittal application*
- F. Copy of the preapplication meeting notes (Type II and Type III); *Included in the project submittal* application
- G. SEPA checklist, if required; NOT REQURIED FOR THIS PROJECT
- H. Signage for Type III applications and short subdivisions: Prior to an application being deemed complete and Type III applications are scheduled for public hearing, the applicant shall post one four-foot by eight-foot sign per road frontage. The sign shall be attached to the ground with a minimum of two four-inch by four-inch posts or better. The development sign shall remain

posted and in reasonable condition until a final decision of the city is issued, and then shall be removed by the applicant within fourteen days of the notice of decision by the city. The sign shall be clearly visible from adjoining rights-of-way and generally include the following:

- 1. Description of proposal, *Included in the project submittal application*
- 2. Types of permit applications on file and being considered by the City of Camas, *Included in the project submittal application*
- 3. Site plan, *Included in the project submittal application*
- 4. Name and phone number of applicant, and City of Camas contact for additional information, *Included in the project submittal application*
- 5. If a Type III application, then a statement that a public hearing is required and scheduled. Adequate space shall be provided for the date and location of the hearing to be added upon scheduling by the city. *Included in the project submittal application*
- 1. A copy of a full title report. *Included in the project submittal application*

CMC 18.43.050 - Criteria

- A. The proposed use will not be materially detrimental to the public welfare, or injurious to the property or improvements in the vicinity of the proposed use, or in the district in which the subject property is situated; *The project proposes to create a family atmosphere by providing a variety of food option and indoor and outdoor eating area.*
- B. The proposed use shall meet or exceed the development standards that are required in the zoning district in which the subject property is situated; *The project proposes to meet these standards*.
- C. The proposed use shall be compatible with the surrounding land uses in terms of traffic and pedestrian circulation, density, building, and site design; *The project proposes to be compatible with the surrounding land uses.*
- D. Appropriate measures have been taken to minimize the possible adverse impacts that the proposed use may have on the area in which it is located; *The project has submitted a traffic study which shows that all the impacted intersection meets City of Camas standards. The stormwater run-off will meet the City of Camas stormwater code. The project will work with the local fire marshall to ensure a safe site.*
- E. The proposed use is consistent with the goals and policies expressed in the comprehensive plan;

 This project meets the City of Camas vision statement in the comprehensive plan
- F. Any special conditions and criteria established for the proposed use have been satisfied. In granting a conditional use permit the hearings examiner may stipulate additional requirements to carry out the intent of the Camas Municipal Code and comprehensive plan. *The project meets the standards outlined in CMC 18.19 about the conditional use permit.*

CMC Section 18.18

18.18.060 - Criteria for approval

- A. Compatibility with the city's comprehensive plan; *This project meets the City of Camas vision statement in the comprehensive plan*
- B. Compliance with all applicable design and development standards contained in this title and other applicable regulations; *This project meets all the standards within the project preapplication report.*
- C. Availability and accessibility of adequate public services such as roads, sanitary and storm sewer, and water to serve the site at the time development is to occur, unless otherwise provided for by the applicable regulations. *This project has direct access to roads, sanitary and storm sewer and water services on site.*
- D. Adequate provisions are made for other public and private services and utilities, parks and trails (e.g., provide copies of private covenant documents); *This project proposes to meet City of Camas standards.*
- E. Adequate provisions are made for the maintenance of public utilities; and *This project* proposes to meet City of Camas standards. If reqruied the project will provide utilities easments.
- F. All relevant statutory codes, regulations, ordinances and compliance with the same. The review and decision of the city shall be in accordance with the provisions of CMC <u>Chapter</u> 18.55 Administration and Procedures. *This project proposes to meet City of Camas standards*.

CMC 18.19

CMC 18.07.030 Table 1 – Density and Dimensions for commercial and industrial zones

Zone	CC
Buld Regulations	
Maximum Density (dwelling units/net acre)	N/A
Minimum lot area (square feet)	None
Minimum lot width (feet)	None
Minimum lot depth (feet)	None
Setbacks:	
Minimum front yard (feet)	None
Minimum side yard (feet)	None
Minimum rear yard (feet)	None
Lot Coverage	None

Lot coverage	None	
Building Height		
Maximum building height (feet)	None	

SEPA CMC 16.07.020.C.

A SEPA checklist is required per CMC Section 16.07.020.C. SEPA checklist has been provided with the application.

18.18.040 - Submittal and contents of a complete application

- A. A written description addressing the scope of the project, the nature and size in gross floor area of each use, and the total amount of square feet to be covered by impervious surfaces;
- B. A vicinity map showing site boundaries, and existing roads and accesses within and bounding the site;
- C. A topographic map based upon a site survey delineating contours, existing and proposed, at no less than five-foot intervals, and which locates existing streams, marshes, and other natural features;
- D. Site plans drawn to a scale no smaller than one inch equals fifty feet showing location and size of uses, buffer areas, proposed areas of disturbance or construction outside of the building footprint, yards, open spaces and landscaped areas, and any existing structures, easements and utilities;
- E. A circulation plan drawn to a scale acceptable to the community development director illustrating all access points for the site, the size and location of all driveways, streets, and roads, with proposed width and outside turning radius, the location, size, and design of parking and loading areas, and existing and proposed pedestrian circulation system. If a project would generate more than one hundred average daily trips either based on the latest edition of the International Transportation Engineer's (ITE) Trip Generation Manual or evidence substantiated by a professional engineer licensed in the state of Washington with expertise in traffic engineering, a traffic impact study shall be submitted;

- F. A preliminary stormwater technical information report (TIR) supporting the preliminary stormwater drainage and runoff plan. The preliminary stormwater TIR is to be prepared in accordance with Ecology's latest edition Stormwater Management Manual for Western Washington (SWMMWW);
- G. A utility plan;
- H. A plot plan of all proposed landscaping including the treatment and materials used for open spaces, and the types of plants and screening to be used;
- I. Typical building elevation and architectural style; and
- J. Reserved.

The listed items above are included in the preliminary application submittal.

Camas Design Review Manual:

Design guidelines Commercial use

A landscaping/vegetation plan needs to identify the type of plants or trees to be planted within the foreground of the visual area (or street intersection). The use of vegetation native to the Pacific Northwest (or Camas) should be encouraged, except for noxious weeds. Low maintenances/hardy landscaping should also be encouraged.

The preliminary landscape plan includes the landscaping along both public roads. The final landscape plan will include a list of plants and trees that will be native to the Pacific Northwest.

Intersection should be illuminated, but not dominated by lighting.

This project does not propose any intersection.

Parking spaces should be clustered in a small grouping. Groupings should be separated by landscaping to create a pedestrian-friendly, park like environment. Parking lot landscaping should be credited toward the total landscape requirements

The preliminary site plan show parking in groups separated by landscaping.

Commercial developments should be encouraged to include a community information kiosk. The kiosk could be used to provide community information.

Within the site, the project could install a kiosk.

Massing and Setbacks

Since buildings define circulation routes, they should be placed as close to streets and roads as the zoning code allows before being set back to the interior or rear of the lot, unless site constraints make it impossible or characteristics of surrounding properties already developed make it incompatible.

To protect the large oak tree and to provide a focal point for the open area the project must place the parking around the permitter of the project.

Commercial structures abutting residentially zoned areas should be designed to mitigate size and scale differences.

This project proposes two buildings one of the buildings is a small coffee shop and the other building is for indoor and outdoor eating.

On-site parking areas should be placed to the interior of the site whenever possible.

To protect the large oak tree and to provide a focal point for the open area the project must place the parking around the permitter of the project.

Architecture:

Developments surrounded by residential areas or adjacent to residentially zoned properties should be built with a residential feel (i.e. size, scale, and materials compatible with neighboring buildings). The final building design will include the materials.

Buildings over two stories should have the third story and above offset from the first two stories, if surrounding developments are less than three stories or land uses designations on adjacent sites do not allow more than three story development.

The project proposes single-story buildings.

Outdoor lighting shall be hooded or shielded so as not to directly light adjoining or neighboring properties.

The final lighting plan will include hooded or shielded lights.

Circulation and Connections:

Pathways define traffic/pedestrian movement. Buildings brought up to the road help define these movements. Trees and/or planting strips shall be used for separating vehicles and pedestrian movements, as well as provide a secure and pedestrian friendly environment.

The project proposes a walking path around the east and north portion of the side (see submitted site plan).

New streets intersecting commercial properties should be designed to create a safe environment. "Coving" techniques and "round-a-bouts" should be considered for traffic calming when appropriate.

This project proposes no new streets.

CMC 18.13 Landscape Regulations

CMC 18.13.045 Tree Survey

Included in the submittal plan set is a tree survey. The project proposes to keep 4 existing trees and removed 19 existing trees.

18.13.051 - Minimum tree density requirement

The minimum requirement is 20 tree units per net acre

The project proposes

Net Site Area 3.95 acres

Req'd Tree Units (3.95 AC x 20 Units/AC = 79 units)

Retained Tree Unit 45" Oak = 19 units

Proposed Trees $60 \times 1 = 60$ tree units

The project proposes 5-foot L1 landscape buffer along the north property and a 5-foot L2 landscape buffer along the east, south, and west property line.

CMC 18.11 – Parking

Restaurant, carry-out: 1 space per 225 square feet of GFA

Fast food restaurant/coffee Kiosk: 1 space per 110 square feet of gross floor area, plus 6 staking spaces for drive-through land.

Reatil Stores in general 1 per 1,500 square-feet

The project is proposing a 612 square feet coffee Kiosk thus (612 SF/110 SF = 6 parking stalls)

The project proposes 5,000 square-feet restaurant thus $(5,000 \, \text{SF} \, / \, 225 \, \text{SF} = 22 \, \text{parking stalls})$ The project proposes 12,574 sqyare-foot commercial building $(12,574 \, \text{SF} \, / \, 1,500 \, \text{SF} = 8 \, \text{parking stalls})$ The project is proposing 147 standard parking stalls and 4 ADA van accessible stalls

CMC 17.19 Water and Sewer

Currently, water and sewer is stub to the property.

Stormwater

The project will comply with Stormwater Management Manual for Western Washington edition 2019.





General Information

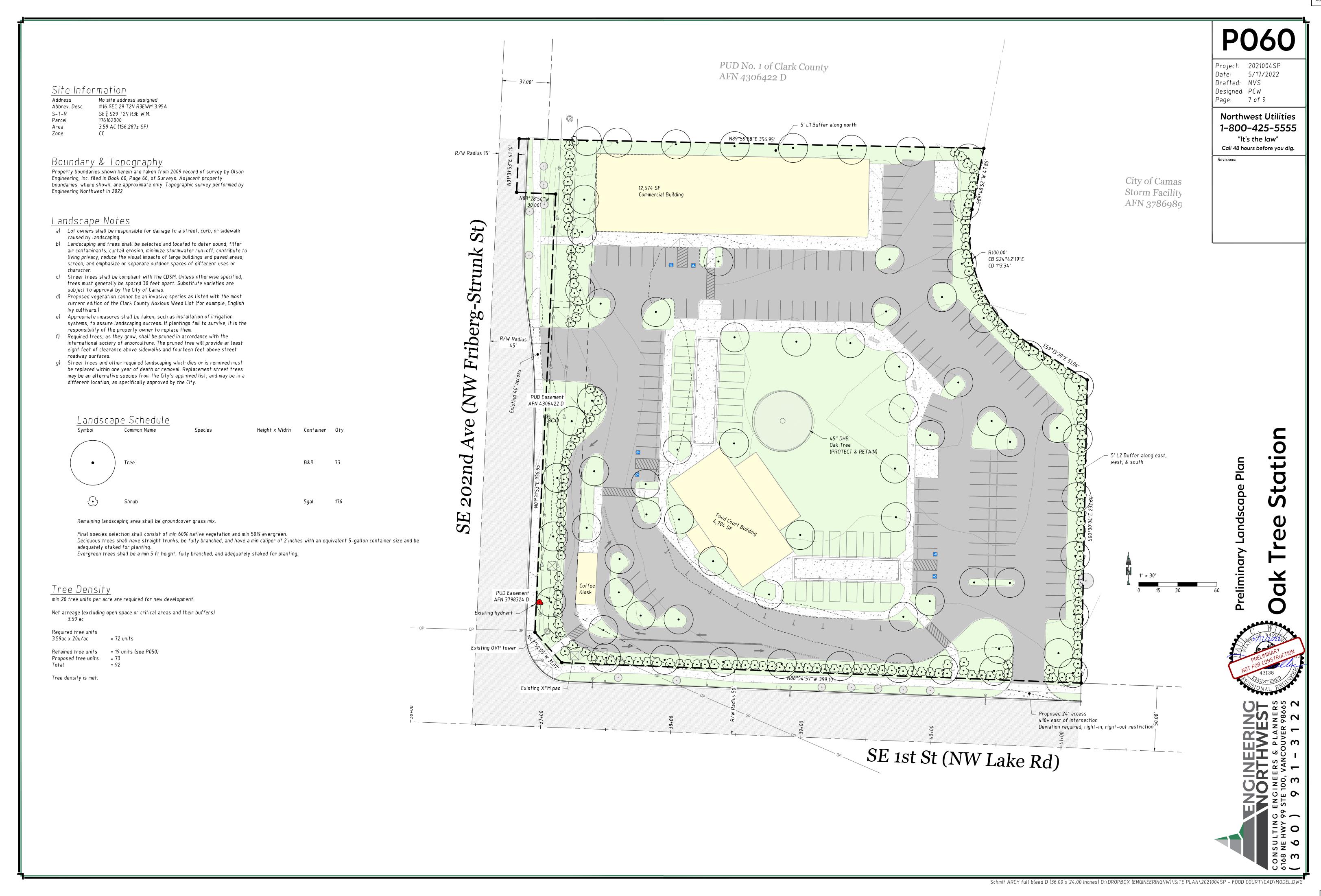
Gross Area:

Existing use: Vacant

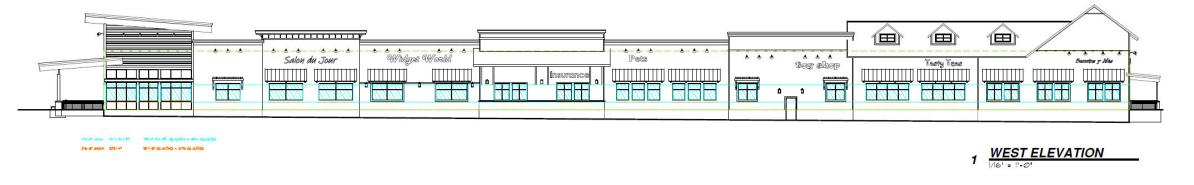
Proposed use:

Zoning:

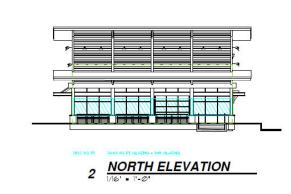
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Item 2.

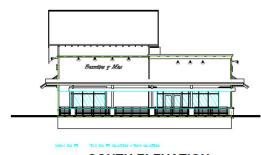




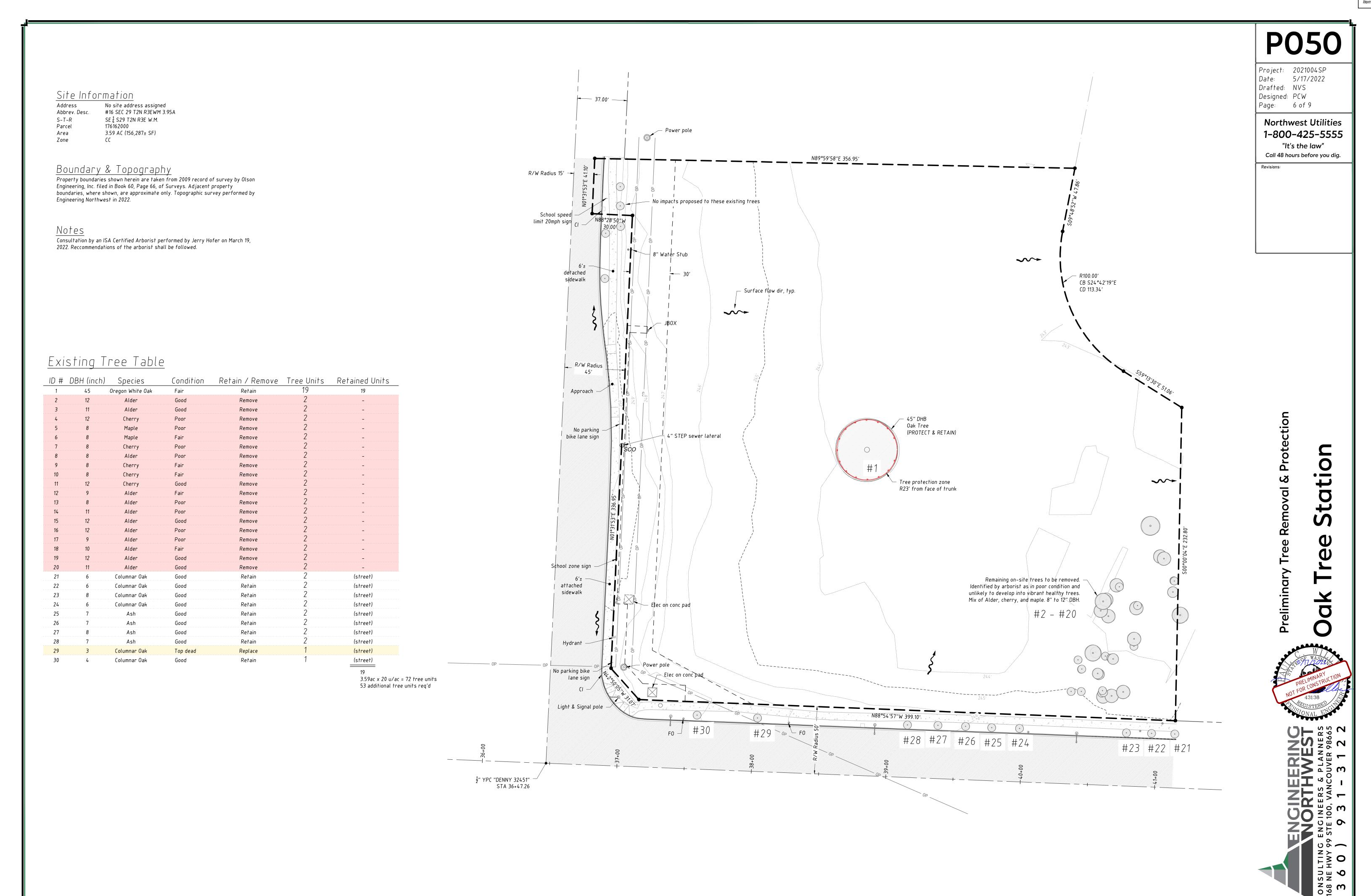








3 EAST ELEVATION





Design Review Checklist- DR22-03 Oak Tree Station

The purpose of this sheet is to provide a simplified and expedited review of the design review principles and guidelines using objective review standards. The standards are intended as tool for the decision-maker in making findings that the proposal either achieves compliance with the intent of the principles or reasonably mitigates any conflict. When reviewing the check sheet, the proposal should as a whole "comply" with the standards and thus be generally consistent with the overriding principles. [Yes = In Compliance; No = Not In Compliance; NA = Not Applicable]

Standard Principles and Guidelines

ARCH	ARCHITECTURE				
Yes	No	NA	Principles and Guidelines	Comments	
			Corrugated materials, standing seam, T-1 11, or similar		
			siding materials are avoided unless it produces a high		
			visual (or aesthetic) quality.		
			Buildings walls or fences visible from roadways are		
			articulated in order to avoid a blank look.		
			The use of bold colors has been avoided unless used as		
			minor accents.		
			Higher density/larger structures abutting lower density		
			residential structures have been designed to mitigate		
			size and scale differences.		
LAND	SCAP	ING AI	ND SCREENING		
Yes	No	NA	Principles and Guidelines	Comments	
			Vegetation for landscaping includes native, low		
			maintenance plantings. Significant trees are retained if		
			feasible.		
			Trees planted along streetscapes with overhead power		
			lines include only those trees identified on the City's		
			Tree list.		
			Landscaping, including trees, shrubs, and vegetative		
			groundcover, is provided to visually screen and buffer		

			the use from adjoining less intense uses including	
			parking.	
			Proposed fencing is incorporated into the landscaping so	
			as to have little or no visual impact.	
			Signs located on buildings or incorporated into the	
			landscaping are unobtrusive and vandal resistant. If	
			illuminated they are front lit.	
			Landscape lighting - low voltage, non-glare, indirect	
			lighting is directed, hooded or shielded away from	
			neighboring properties.	
			Street lighting (poles, lamps) is substantially similar or	
			architecturally more significant than other street lighting	
			existing on the same street and do not conflict with any	
			City approved street lighting plans for the street.	
			Parking and building lighting is directed away from	
			surrounding properties through the use of hooding,	
			shielding, siting and/or landscaping.	
			Outdoor furniture samples are consistent with the	
			overall project design.	
			Existing trees over 6" dbh that are not required to be	
			removed to accommodate the proposed development	
			are retained and incorporated into the landscape plan.	
			Rock outcropping's, forested areas and water bodies are	
			retained.	
HISTO	ORIC A	ND HE	RITAGE PRESERVATION	
Yes	No	NA	Principles and Guidelines	Comments
			The use of Historic Markers, information kiosks, project	
			names, architectural features, or other elements of the	
			project promote the historic heritage of the site or	
			surrounding area.	

Specific Principles and Guidelines

			COMMERCIAL	& MIXED USES
ARCH	HITECT	URE		
Yes	No	NA	Principles and Guidelines	Comments
			Office and retail buildings provide a minimum solid to	
			void ratio of 60%/40%	
			The development is built with a residential feel (i.e. size,	
			scale, and materials compatible with neighboring	
			buildings) if surrounded by residential areas or adjacent	
			to residentially zoned properties.	
			Buildings over two stories have the third story and above	
			offset from the first two stories, if surrounding	
			developments are less than three stories or land use	
			designations on adjacent zones do not allow more than	
			three story development.	
LAND	SCAPI	NG &	SCREENING	
Yes	No	NA	Principles and Guidelines	Comments
			Intersections are illuminated, but not dominated by	
			lighting. Lighting is incorporated into the landscape and	
			illuminates the quality of the natural environment.	
			Street light poles and lamps are compatible with other	
			nearby lighting on the same street.	
			Parking spaces are clustered in small groupings and	
			separated by landscaping to create a pedestrian friendly,	
			park like environment.	
	ETSCA	1		
Yes	No	NA	Principles and Guidelines	Comments
			On-site parking areas are located to the interior of the	
			development unless site development proved	
			prohibitive.	
			Parking areas are screened with landscaping.	
			Buildings are placed close to streets and roads unless site	
			constraints made it impossible, or characteristics of the	
			surrounding properties already developed made it	

incompatible. Otherwise, retail frontage setbacks do not exceed 25 feet from back of curb.	
Window and door placement provides a high degree of transparency at the lower levels of the building and maximize visibility of pedestrian active uses.	
Each use/activity in a development containing multiple uses/activities is integrated in a manner that achieves a seamless appearance or creates a cohesive development.	
Watering system will maintain proposed landscaping for a period to ensure that plants are well established.	
New streets intersecting commercial properties are designed to create a safe environment. "Coving" techniques and "round-a-bouts" were considered for traffic calming when appropriate.	



16 ALIGUIST 2022





16 AUGUST 2022





16 AUGUST 2022

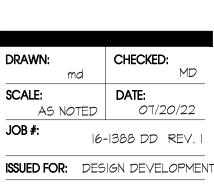


20 JUNE 2022

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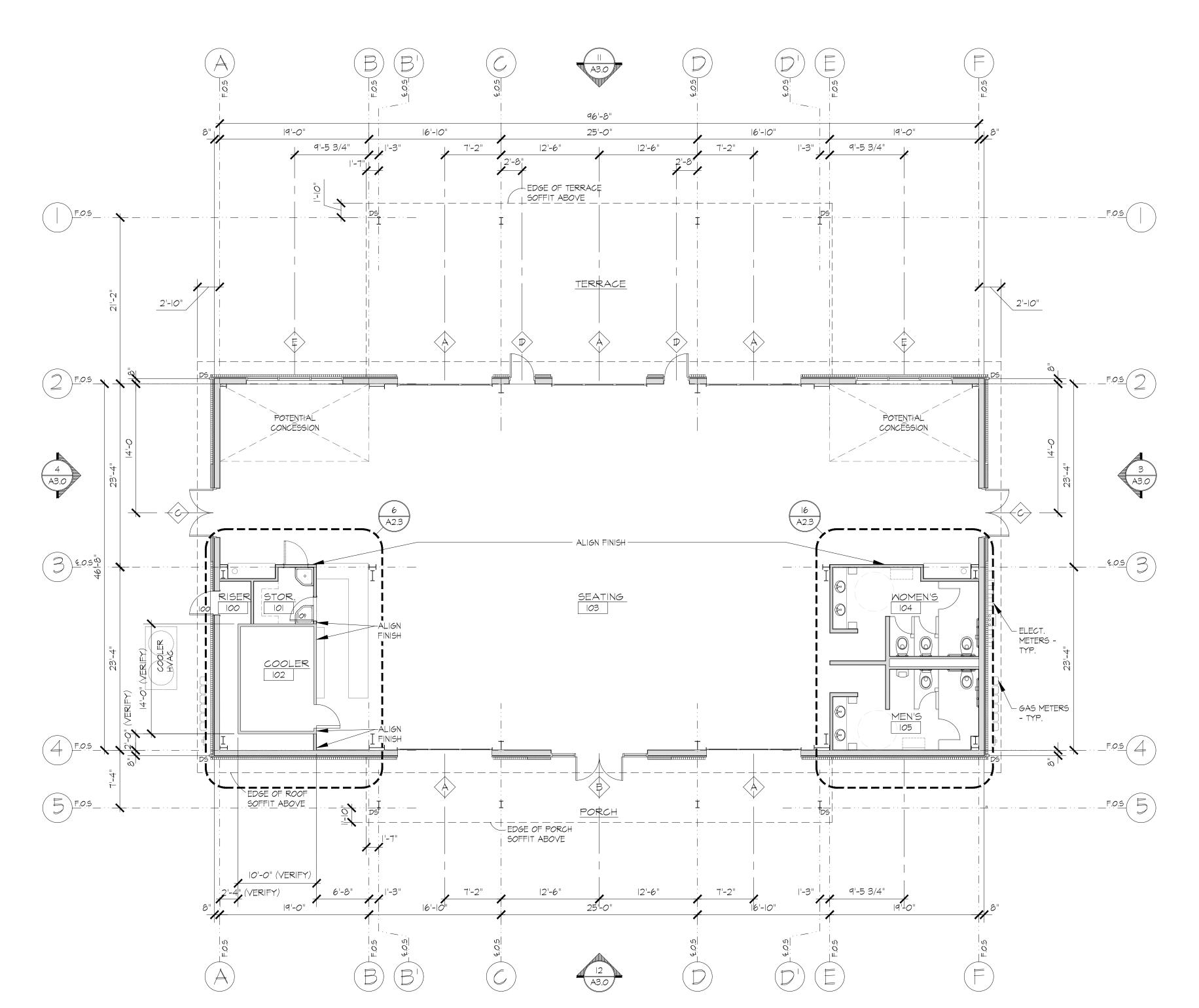
Page 4

4400 NE 77th Avenue



SHEET NAME:
FLOOR PLAN





Creating Solutions to Complex Issues

4400 NE 77th Avenue Suite 275 VANCOUVER, WA 98662

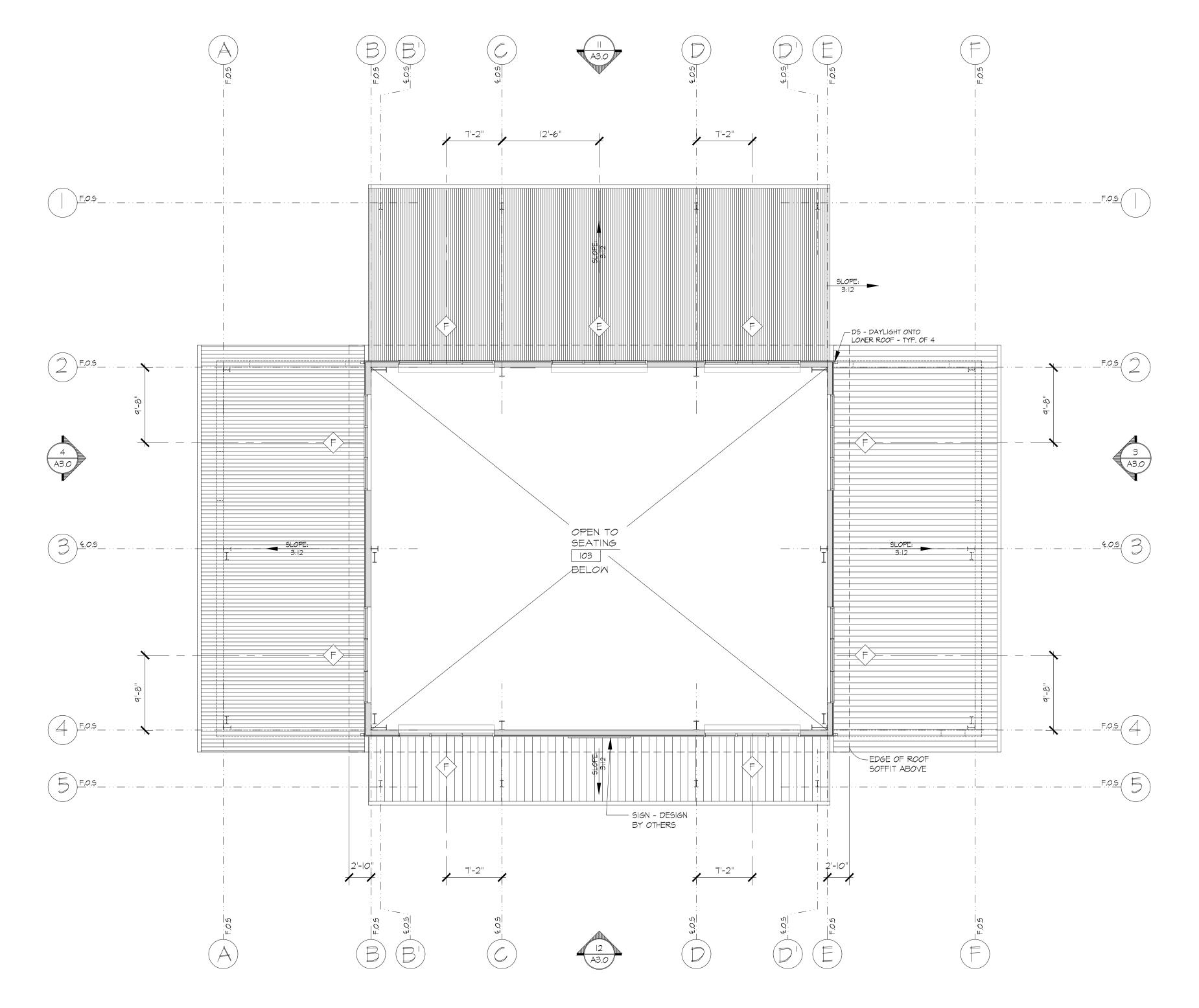
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Creating Solutions to Complex Issues

4400 NE 77th Avenue Suite 275 VANCOUVER, WA 98662

VOICE: 360-750-9000 FAX: 360-713-6102 www.planningsolutionsinc.com

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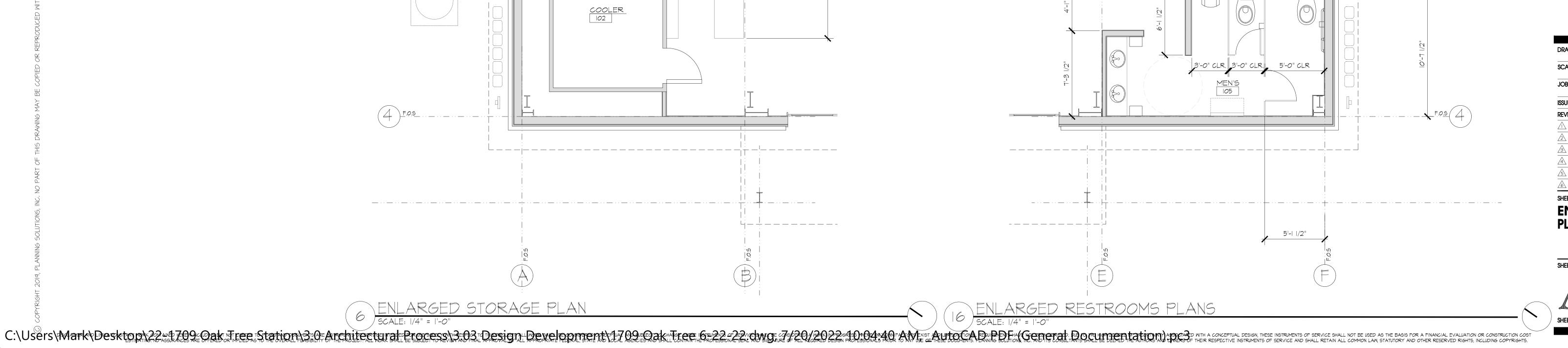


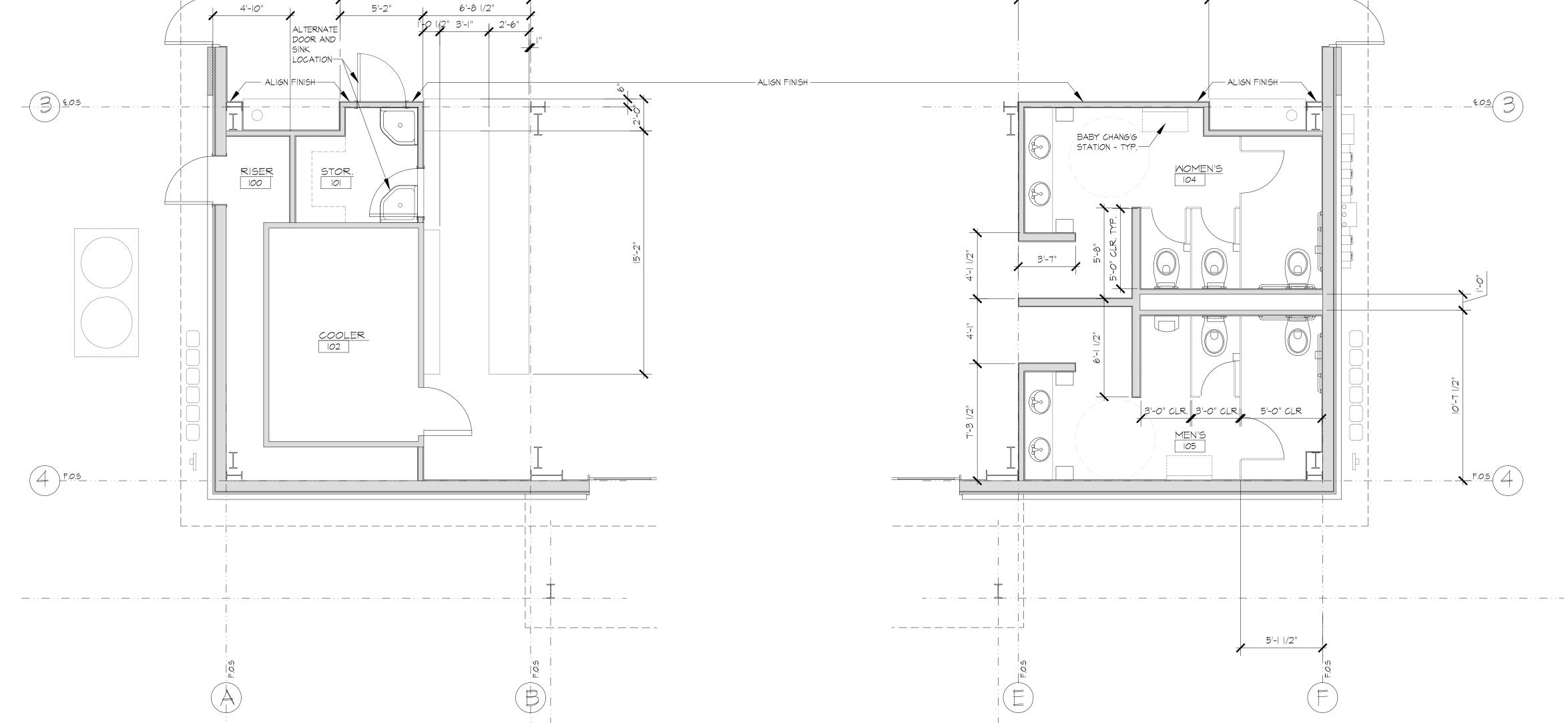




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Planning Solutions, Inc.

Creating Solutions to Complex Issues

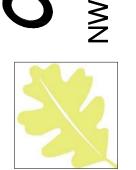
4400 NE 77th Avenue Suite 275 VANCOUVER, WA 98662 VOICE: 360-750-9000 FAX: 360-713-6102

www.planningsolutionsinc.com

PELIMINARY
NOT FOR
CONSTRUCTION
SUBJECT TO APPROVAL



AK TREE STATION
LAKE RD & NW FRIBERG-STRUNK ST
CAMAS, WASHINGTON



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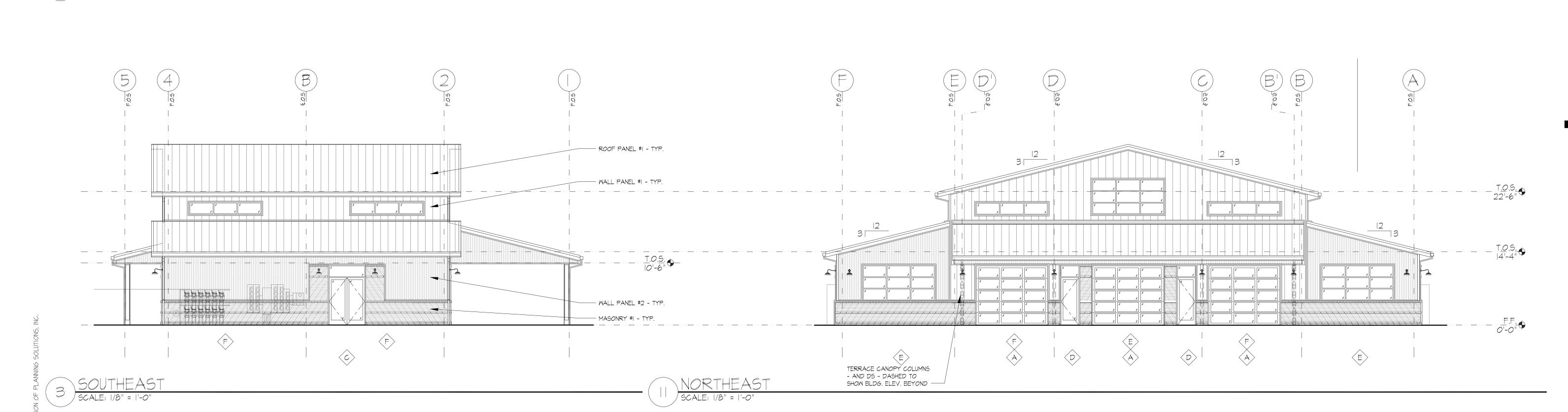
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EXTERIOR

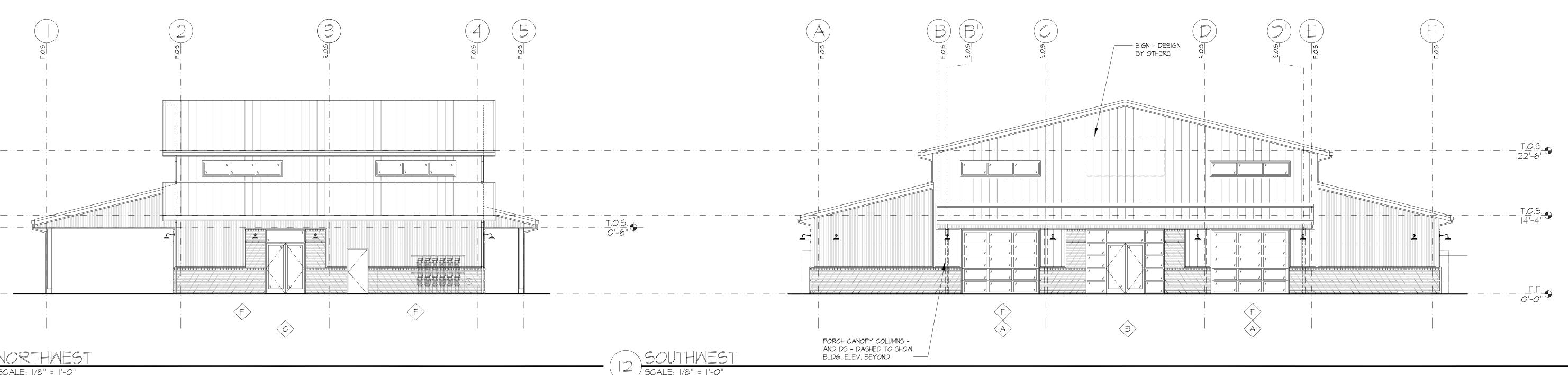
ELEVATIONS

SHEET #:

SHEET | OF



MINDON TYPES

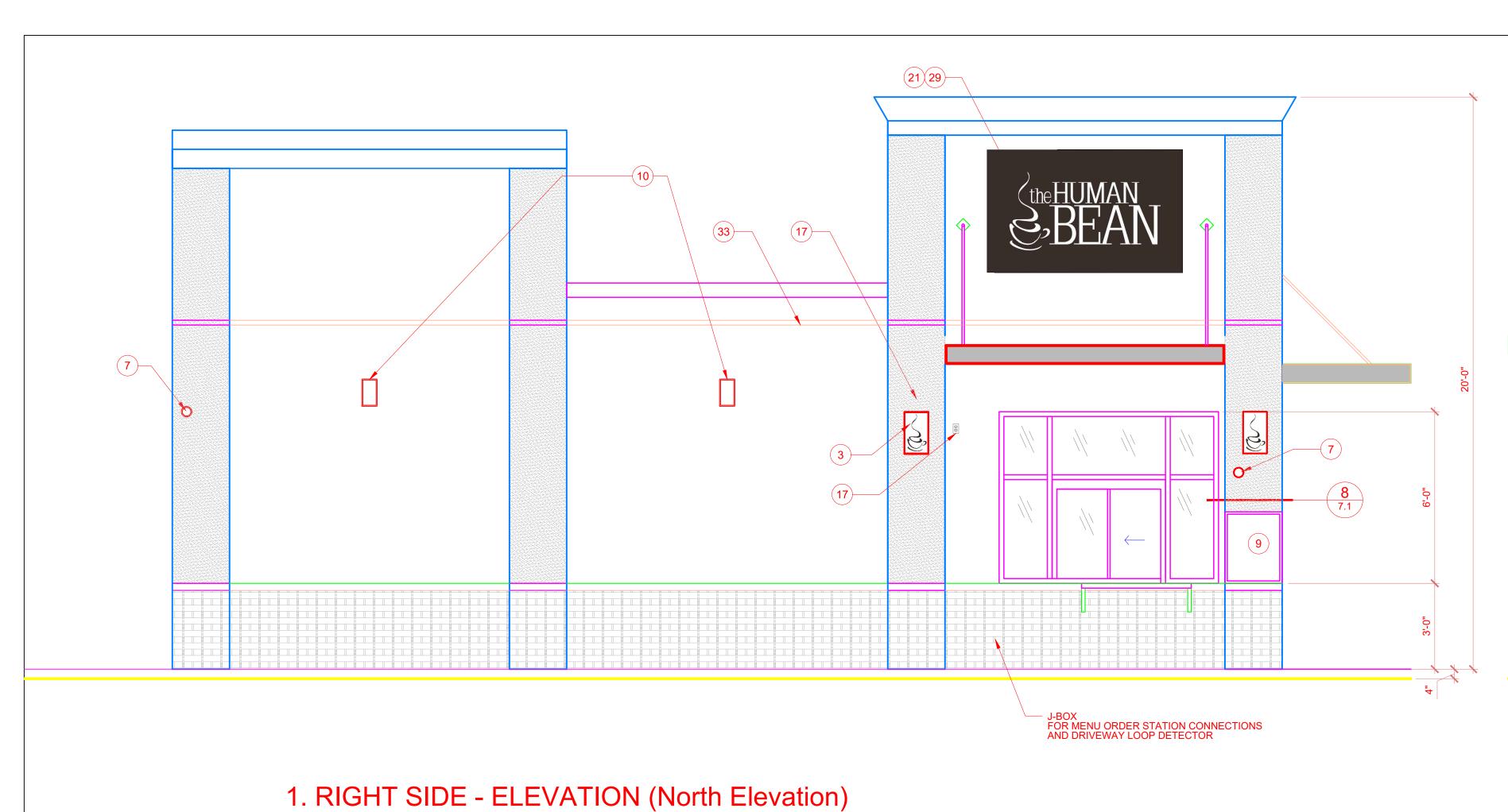


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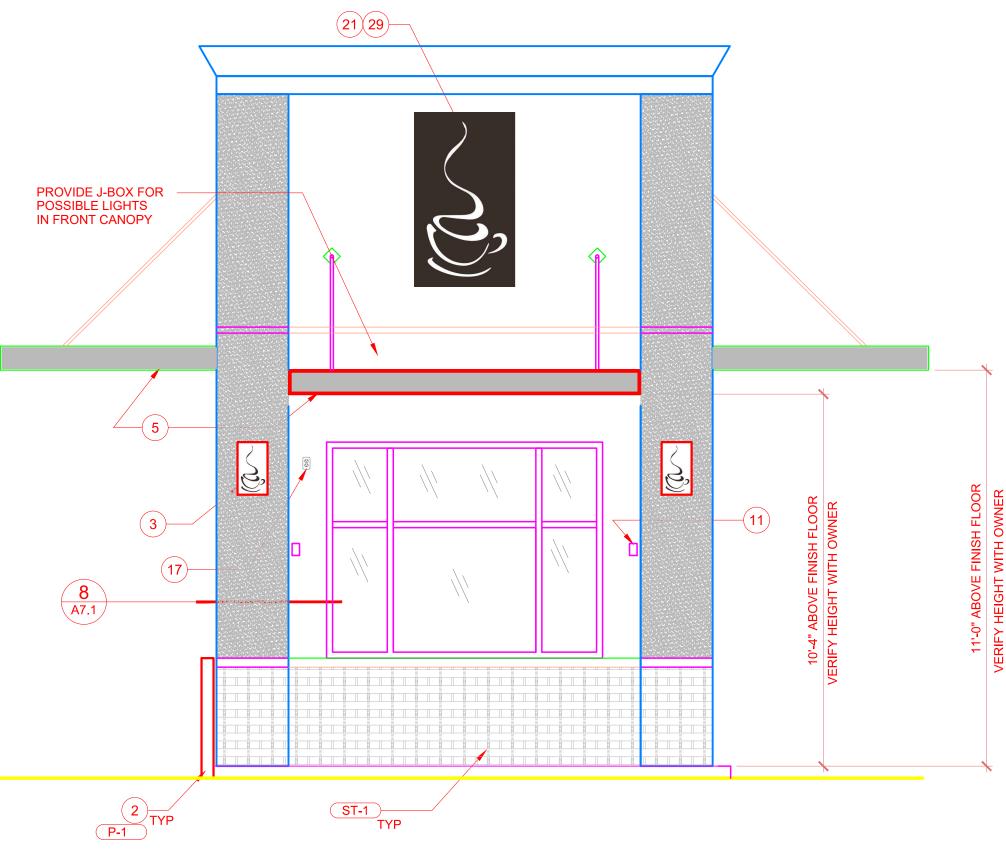
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SCALE: 3/8" = 1'-0"

SCALE: 3/8" = 1'-0"



2. FRONT ELEVATION (West Elevation)

SCALE: 3/8" = 1'-0"

3. LEFT SIDE ELEVATION (South Elevation)

Single side store - cars on Right.
Utility connections would not be in this location with a double side store.

CENTER OVER DOOR 10

13

The HUMAN

7

PP1

TVP

4. REAR ELEVATION (East Elevation)

SCALE: 3/8" = 1'-0"

the HUMAN BEAN

FOR REFERENCE & CONSTRUCTION CONSTRUCTION

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Human Bean Salmon Creek

VANCOUVER, WA XXXXX

revisions.

Date: MARCH 2021

Scale: AS NOTED

Project No.:

File Name: HB A3.0R.dwg

Drawn By: BKM

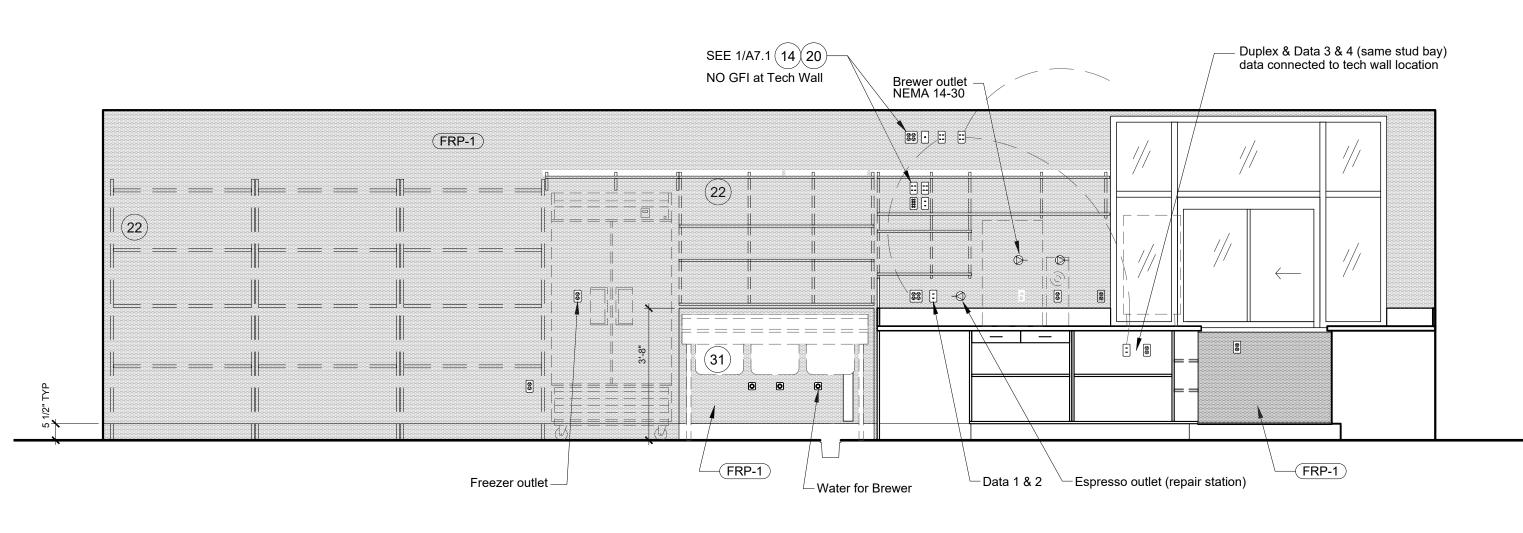
Checked By:

Jurisdiction Approval:

Sheet Title: EXTERIOR ELEVATIONS

Sheet No.: A3.0R

.



the HUMAN BEAN

2. FRONT ELEVATION

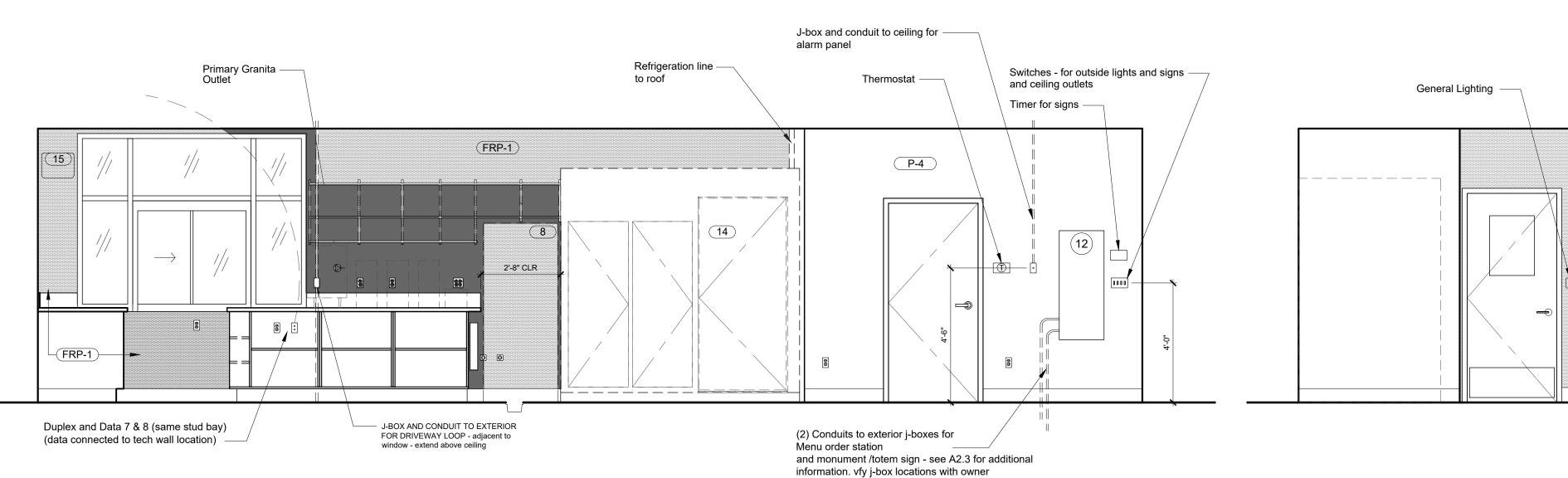
SCALE: 3/8" = 1'-0"

KEYNOTES - NOT ALL NOTES USED ON ALL SHEETS

- 1 BUILDING CURB ALIGN WITH FACE OF PILASTER COLUMNS
- 2 4" x 4" STEEL BOLLARD, FULLY GROUTED. ALIGN W/ LEADING EDGE OF PILASTERS AND MATCH LEDGE HEIGHT. TYPICAL (4) EACH SIDE. PAINT P-1.
- "HUMAN BEAN" LIGHT FIXTURE (OFCI), ALIGN WITH TOP OF WINDOW FRAME HB SCONCE AND FIXTURE BEHIND, BY OWNER. TYPICAL (6) LOCATIONS.
- EQUIPMENT SHOWN FOR REFERENCE ONLY VERIFY LOCATION OF ALL EQUIPMENT WITH OWNER & COORDINATE CONNECTIONS
- (5) METAL AWNING/ CANOPY SEE A7.2 / A7.3
- (6) SWITCHED OUTLET, SEE ELECTRICAL FOR MORE INFORMATION
- JUNCTION BOX FOR CAMERA. PROVIDE BACKING FOR MOUNTING. RUN CAT 5E TO EACH LOCATION INTERIOR AND EXTERIOR. (SECURITY SYSTEM OFOI)
- 8 SPEAKERS TYPICAL (4) (OFCI) SPEAKERS WIRED TO 'HEAD IN LOCATION' SEE INTERIOR ELEVATIONS FOR LOCATION
- 9 HUMAN BEAN MENU (OFCI)
- (10) FLOOD LIGHT, CENTER IN BAY, SEE ELECTRICAL FOR MORE INFORMATION
- (11) MOUNTING PLATE FOR FLAG (FLAG BRACKETS OFOI)
- 12 ELECTRICAL METER /PANEL (panel to be recessed)
- 13 DOOR HEAD FLASHING
- (14) PHONE /CABLE CONNECTION POINT
- 15 IRRIGATION CONTROLS
- (16) HOSE BIB WITH FREEZE PROTECTION
- (17) EXTERIOR OUTLET WITH WEATHER COVER (Holiday outlets switched)
- (18) WALK IN COOLER SEE EQUIPMENT SCHEDULE FOR MORE INFORMATION
- (19) GREASE INTERCEPTOR LOCATION TO BE VERIFIED
- (20) HEAD-IN LOCATION FOR AUDIO, VIDEO, AND CABLE CONNECTIONS
- BUILDING SIGNAGE, OFOI. CONTRACTOR TO COORDINATE BLOCKING LOCATION AND ELECTRICAL LOCATION WITH VENDOR.
- 22 ADJUSTABLE SHELVING (OFOI)
- STAINLESS STEEL OR ALUMINUM SERVING SHELF 12" x 48"
 CENTER OF SHELF AT CENTER OF SLIDER WINDOW
- DOWNSPOUT PAINT TO MATCH BACKGROUND COLOR
- TRASH ENCLOSURE ROOM FOR 3 BINS. 1 TRASH /1 RECYCLE / 1 CARDBOARD
- (26) TRANSFORMER LOCATION TO BE VERIFIED
- WORK AREA & ESPRESSO MACHINE REPAIR STATION W/ POWER, WATER AND DRAIN
- 28 PROVIDE J-BOX FOR WALK UP MENU (SINGLE SIDE STORES ONLY)
- 29 PROVIDE SLEEVE OR CONDUIT THROUGH PARAPET FOR SIGN POWER
- FRONT COUNTER LAYOUT CAN FLIP INDEPENDENT OF STORE LAYOUT
 (A RIGHT HAND OR LEFT HAND STORE CAN HAVE THE FRONT COUNTER IN EITHER CONFIGURATION)
- (31) KEEP PLUMBING TIGHT TO SINK (NEED FLOOR SPACE UNDER)
- 32 NOT USED
- (33) PAINT TRIM STRIP COLOR TO MATCH BACKGROUND

1. LEFT SIDE ELEVATION

SCALE: 3/8" = 1'-0"



P-4

3. RIGHT SIDE ELEVATION

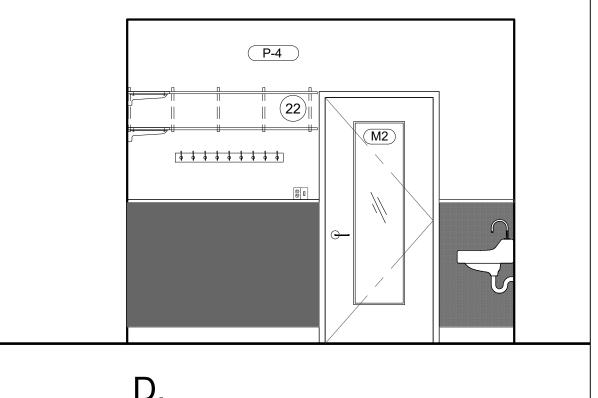
SCALE: 3/8" = 1'-0"

(FRP-1)

4. REAR ELEVATION

(FRP-1)

SCALE: 3/8" = 1'-0"



5. TOILET ROOM ELEVATIONS

Condensate drain keep left as far as -

possible

SCALE: 3/8" = 1'-0"

REFER TO SHEET A2.0 FOR RECEPTACLE AND VALVE LOCATIONS

P-4

| 22

WITH FRAMING

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VANCOUVER, WA XXXXX

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File Name: HB A4.0Right.dwg

Checked By:

Jurisdiction Approval:

Drawn By:

Sheet Title: INTERIOR ELEVATIONS

Sheet No.: A4.0 Right



1. HB ST JOSEPH, MO

5. J-BOX FOR HEADSET SYSTEM

9. DETAIL



2. HB CALDWELL, IDAHO
SCALE:



3. HB WILSONVILLE, OREGON SCALE:



4. HB VANCOUVER, WA - 162ND





6. LIGHT AT SCONCE



7. HB MADRAS, OREGON SCALE:



8. HB VANCOUVER, WA - 162ND

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Human Bean Salmon Creek

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12. CANOPY

MARCH 2021

AS NOTED

Checked By: Jurisdiction Approval:

Sheet Title: BUILDING IMAGES

Sheet No.: A8.0



10. LIGHT SONCE COVER