



Design Review Committee Meeting Agenda Tuesday, July 12, 2022, 4:00 PM REMOTE MEETING PARTICIPATION

NOTE: The City welcomes public meeting citizen participation. TTY Relay Service: 711. In compliance with the ADA, if you need special assistance to participate in a meeting, contact the City Clerk's office at (360) 834-6864, 72 hours prior to the meeting so reasonable accommodations can be made (28 CFR 35.102-35.104 ADA Title 1)

To Participate Remotely:

OPTION 1 -

1. Go to www.zoom.us and download the app or click "Join A Meeting" and use Meeting ID – 820 7642 7295
2. Or, from any device click <https://us06web.zoom.us/j/82076427295>

OPTION 2 - Join by phone (audio only):

1. Dial 877-853-5257 and enter meeting ID# 820 7642 7295

CALL TO ORDER

ROLL CALL

INTRODUCTIONS

MEETING ITEMS

1. Camas Station (File No.DR22-02)

Presenter: Lauren Hollenbeck, Senior Planner

CLOSE OF MEETING



STAFF REPORT

Camas Station

Major Design Review (DR22-02)

Related File: CUP22-02

<u>TO</u>	Design Review Committee
<u>FROM</u>	Lauren Hollenbeck, Senior Planner
<u>LOCATION</u>	Northwest corner of NW 16 th Avenue and NW Brady Road Parcel Number 127357000
<u>APPLICANT</u>	Howard Bode CK Designs, LP

APPLICABLE LAW: This land use application submitted February 24, 2022, is vested to the land use regulations and development standards in effect on the effective date of the Camas Municipal Code (CMC) Title 16 Environment, Title 17 Land Development and Title 18, specifically (but not limited to): Chapter 18.11 - Parking, Chapter 18.13 - Landscaping, Chapter 18.18 - Site Plan Review, Chapter 18.19 Design Review, and Chapter 18.43 Conditional Use Permit

Summary

The applicant is currently seeking design review approval for the construction of a 7,350 square foot convenience store/car wash and 12 pump gas station, a 3,900 square foot drive thru coffee shop/retail building, a 2,800 square foot retail building including associated landscaping, parking, utilities, and other improvements such as electrical vehicle charging stalls and vacuum stalls.

The site is bounded by NW Brady Road on its east side and NW 16th Avenue on its south side. The adjoining property to the north is undeveloped and to the west was previously used for commercial purposes. Access is provided at the northeast corner of the site from NW Brady Road and the southwest corner of the site from NW 16th Avenue.

The subject property is zoned Community Commercial (CC). Adjoining properties to the north and west are zone Regional Commercial (RC). Properties to the east across NW Brad Road are zoned Single-Family Residential (R-12) to include single-family residences. Property to the south across NW 16th Avenue is zoned Neighborhood Park (NP) to include Prune Hill Park.

The site's topography is relatively flat in the southeast corner with a gentle slope that descends to the north. The site is currently undeveloped and covered with trees, shrubs and grass.

Purpose

Design Review is required under CMC Chapter 18.19. Design review is not intended to determine the appropriate use on a parcel but rather review a proposed development for compliance with City codes and plans related to landscaping, architectural elevations, and other elements relative to required improvements. The recommendations from the Design Review Committee (DRC) must consider the design review standards from the Design Review Manual and Camas Municipal Code (CMC). An enclosed checklist is to help guide you in your review but refer to the manual for specific details regarding the standards.

Standard and Specific Commercial & Mixed Use Design Principles and Guidelines

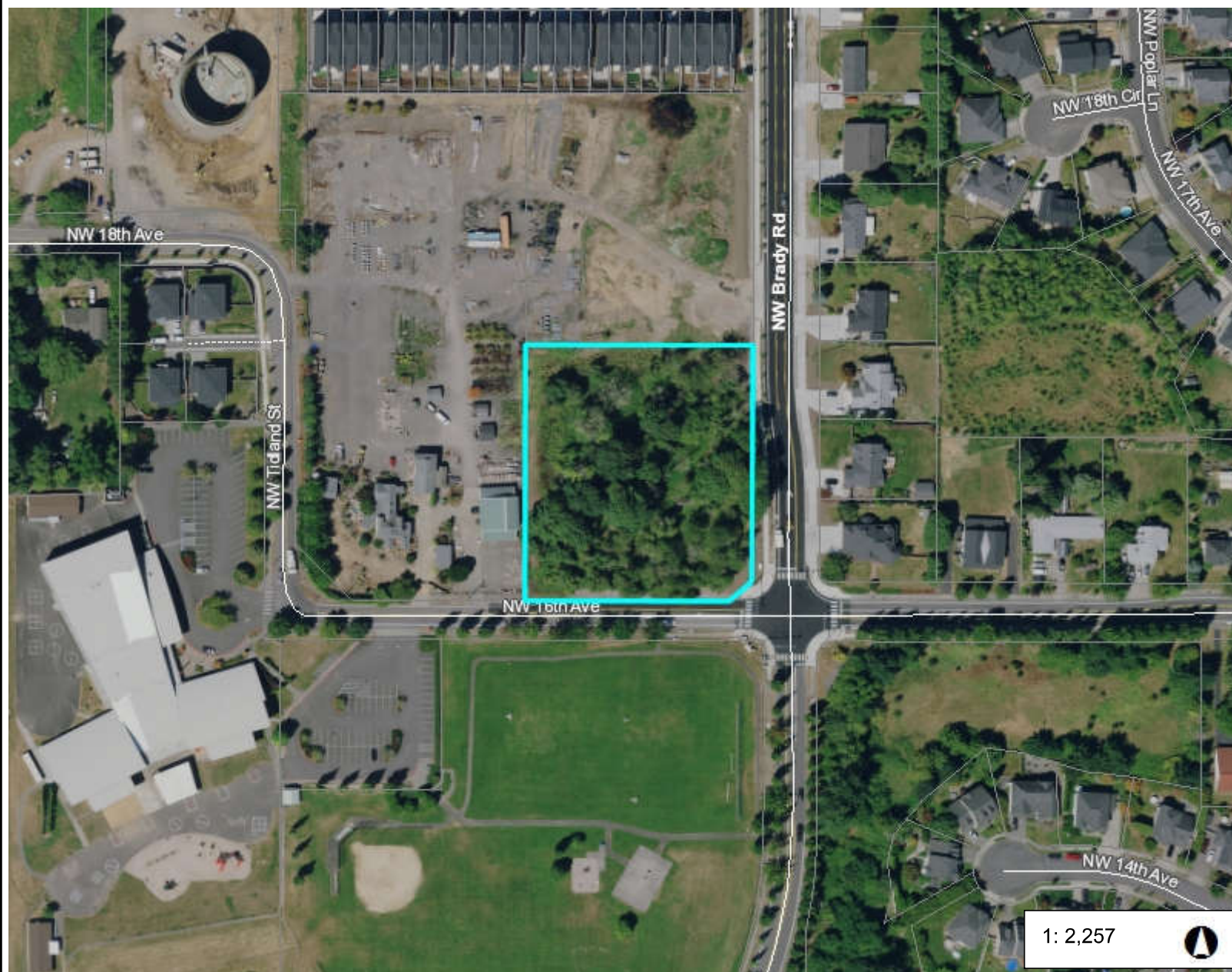
The standard and specific commercial & mixed uses principles and guidelines are required and must be demonstrated to have been satisfied in overall intent for design review approval. The standard design guidelines are developed to assist a project in meeting the established principles and each guideline should be adequately addressed. If the proposal cannot meet a specific guideline, then an explanation should be provided by the applicant as to why and how it will be mitigated to satisfy the intent of the design principles. The development guidelines include five major categories: 1) Landscaping and Screening, 2) Architecture, 3) Massing and Setbacks, 4) Historic & Heritage Preservation, and 5) Circulation and Connections. **The Design Review Checklist is enclosed to help guide the DRC in reviewing the standard applicable specific design review principles and guidelines.**

Recommendation

That the Design Review Committee reviews the submitted materials, deliberates, and forwards a recommendation to staff for a final decision.



Vicinity Map



376.2 0 188.08 376.2 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere
Clark County, WA. GIS - <http://gis.clark.wa.gov>

This map was generated by Clark County's "MapsOnline" website. Clark County does not warrant the accuracy, reliability or timeliness of any information on this map, and shall not be held liable for losses caused by using this information.



Item 1.

Legend

- ☐ Taxlots
- All Roads**
 - Interstate or State Route
 - Arterial
 - Collector
 - Private or Other
- Cities Boundaries
- Urban Growth Boundaries

Notes:



EXISTING SITE DATA:

TRANSIT ROUTES & STOPS: NONE

PROPOSED SITE DATA:

PROPOSED PRIVATE ROADS:

PROPOSED PRIVATE ROADS: NONE PROPOSED

PROPOSED TRANSIT FACILITIES: NONE PROPOSED

PROPOSED FENCES: NONE PROPOSED

IF ANY CULTURAL OR HISTORICAL RESOURCES ARE DISCOVERED IN THE COURSE OF UNDERTAKING THE DEVELOPMENT ACTIVITY, THE DEPARTMENT OF ARCHAEOLOGY AND HISTORIC PRESERVATION (DAHP) IN OLYMPIA AND CITY OF CAMAS DEVELOPMENT REVIEW SERVICES MUST BE NOTIFIED. FAILURE TO COMPLY WITH THESE STATE REQUIREMENTS MAY CONSTITUTE A CLASS C FELONY SUBJECT TO IMPRISONMENT AND/OR FINES.

TOTAL PROJECT SITE AREA: 10.00 ACRES

BUILDING AREA	14,050 SF (15.7%)
LANDSCAPE AREA	15,993 SF (17.9%)
PAVED AREA (INCL. TRASH ENCL.)	59,530 SF (66.4%)

PARKING REQUIRED


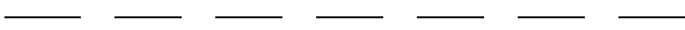


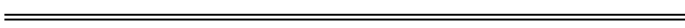





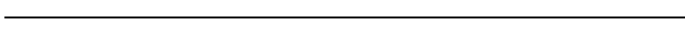

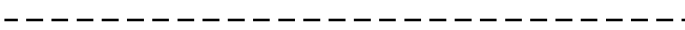






5,000 SF / 250 SF (1 STALL PER 250 SF) = 20 STALLS
12-PUMP FUELING ISLAND
1 STALL LOCATED AT EACH NOZZLE = 12 STALLS
2,500 SF DRIVE THROUGH COFFEE SHOP
2,500 SF / 110 SF (1 STALL PER 110 SF) = 23 STALLS
4,200 SF RETAIL USE (2,800 SF AND 1,400 SF)
4,200 SF / 300 SF (1 STALL PER 300 SF) = 14 STALLS

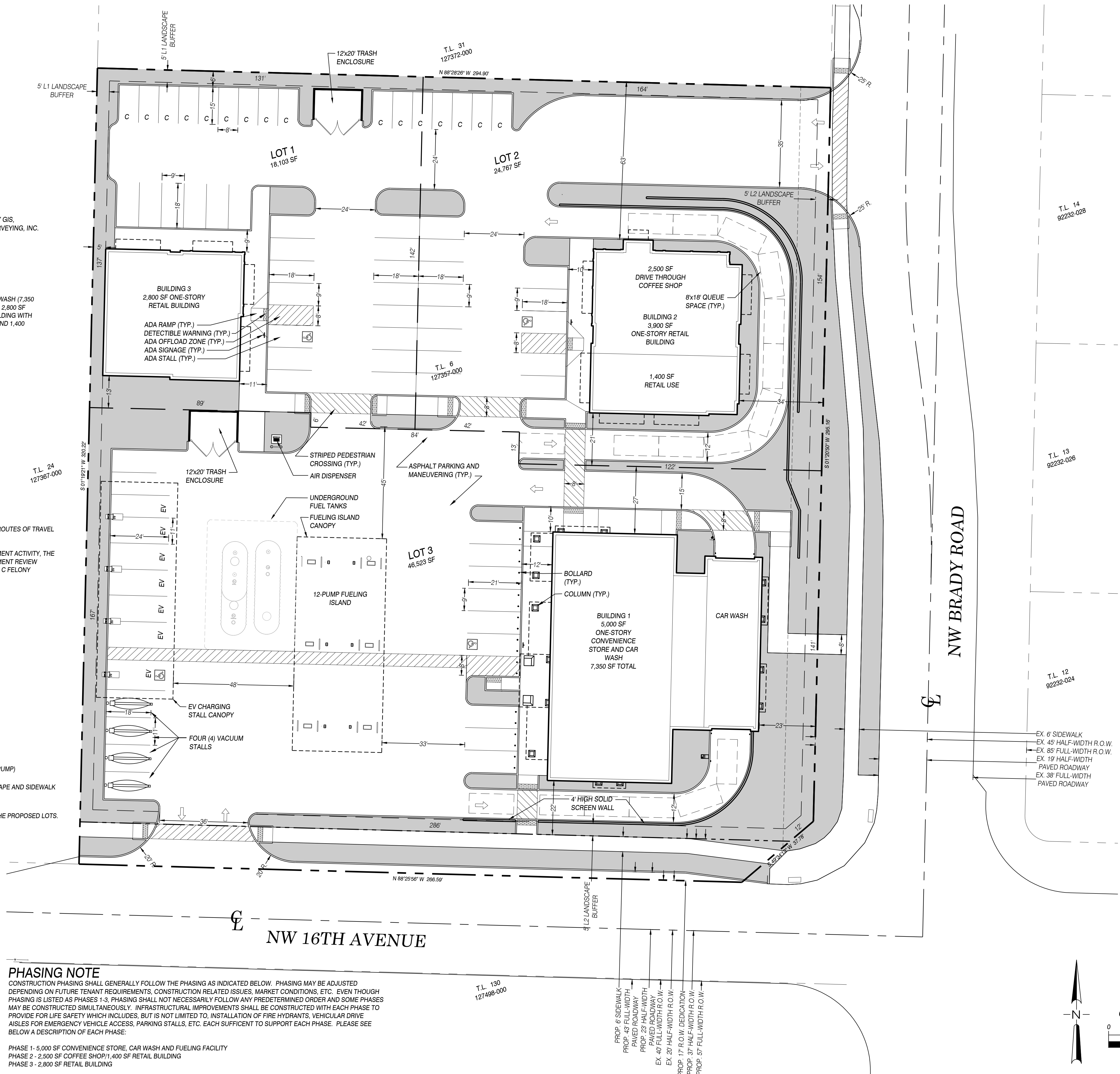
AND 7 EV STALLS
16 COMPACT STALLS
12 STALLS LOCATED AT THE FUELING ISLAND (1 PER P

ALL PARKING S

WIDTHS HAVE BEEN INCREASED BY AT LEAST 2 FEET TO COMPENSATE.

A JOINT PARKING AND ACCESS AGREEMENT WILL BE RECORDED ALLOWING CROSS ACCESS AND PARKING FOR THE PROPOSED LOTS.

- | | |
|---|---------------------------------|
|  | PROPOSED BUILDING |
|  | LANDSCAPE BUFFER LINE |
|  | EXISTING EASEMENT |
|  | PROPOSED LOT LINE |
|  | PARKING LOT CURB |
|  | PARKING LOT STRIPING |
|  | PROPERTY LINE |
|  | ASPHALT ROAD/STREET/DRIVEWAY |
|  | ROAD CENTERLINE |
|  | PROPOSED RIGHT-OF-WAY |
|  | SIDEWALK/CONC. PAD/TRAIL |
|  | ADJACENT TAXLOT |
|  | BUILDING/FUELING ISLAND CANOPY |
|  | WALL |
|  | SIGN |
|  | COMPACT PARKING STALL |
|  | ELECTRIC VEHICLE CHARGING STALL |
|  | CENTERLINE |
|  | LANDSCAPE AREA |



CONSTRUCTION PHASING SHALL

PENDING ON FUTURE TENANT REQUIREMENTS, CONSTRUCTION RELATED ISSUES, MARKET CONDITIONS, ETC. EVEN THOUGH PHASING IS LISTED AS PHASES 1-3, PHASING SHALL NOT NECESSARILY FOLLOW ANY PREDETERMINED ORDER AND SOME PHASES MAY BE CONSTRUCTED SIMULTANEOUSLY. INFRASTRUCTURAL IMPROVEMENTS SHALL BE CONSTRUCTED WITH EACH PHASE TO PROVIDE FOR LIFE SAFETY WHICH INCLUDES, BUT IS NOT LIMITED TO, INSTALLATION OF FIRE HYDRANTS, VEHICULAR DRIVE AISLES FOR EMERGENCY VEHICLE ACCESS, PARKING STALLS, ETC. EACH SUFFICIENT TO SUPPORT EACH PHASE. PLEASE SEE BELOW A DESCRIPTION OF EACH PHASE:

PHASE 1 - 5,000 SF CONVENIENCE STORE, CAR WASH AND FUELING FACILITY
PHASE 2 - 2,500 SF COFFEE SHOP/1,400 SF RETAIL BUILDING
PHASE 3 - 2,800 SF RETAIL BUILDING

SITE PLAN BASE LAYOUT PROVIDED BY SCHMIDT ARCHITECTS, P.C.

APPLICANT:
MAJ PASCO, LLC
300 W. 15TH STREET, SUITE 200
VANCOUVER, WA 98660
(360) 823-5125
FAX UNAVAILABLE
mikej@majdevelopment.com
brandi@majdevelopment.com

OWNER:
LEONA DEWITT
P.O. BOX 674
CAMAS, WA 98607
PHONE UNAVAILABLE
FAX UNAVAILABLE
EMAIL UNAVAILABLE

CONTACT:
OLSON ENGINEERING, INC.
ATTN: MIKE ODREN
222 E. EVERGREEN BLVD.
VANCOUVER, WA 98660
(360) 695-1385
FAX (360) 695-8117
mikeo@olsonengr.com

PRELIMINARY SITE PLAN AND SHORT PLAT FOR:

CAMAS STATION

OLSON LAND SURVEYORS
ENGINEERS
ENGINEERING INC.
360-695-1385
503-289-0936
222 E. EVERGREEN BLVD. VANCOUVER, WA 98660



02/08/2022

[illegible]

DESIGNED: TIL AND/SCHMIDT

DRAWN: TS/MRO

CHECKED: KFS

DATE: FEBRUARY 2022

SCALE: H: $1'' = 20'$

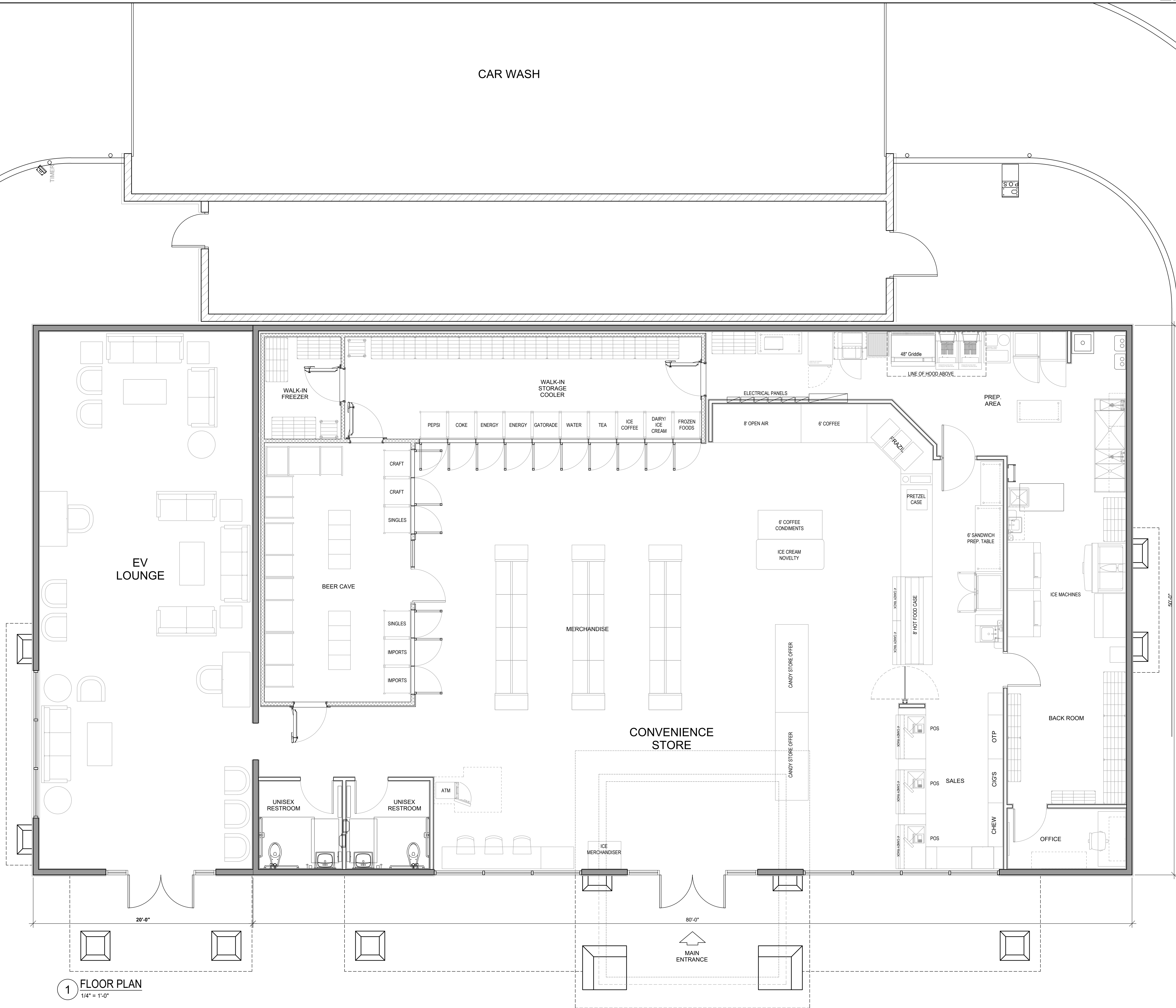
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CAMAS STATION

DB NO. A10320.01.01

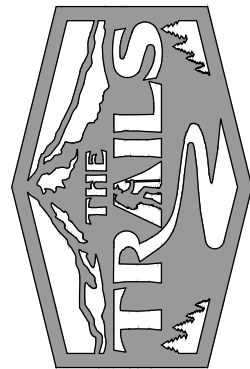
SHEET

SP1.0



Rev. #	Date	Description

FLOOR PLAN



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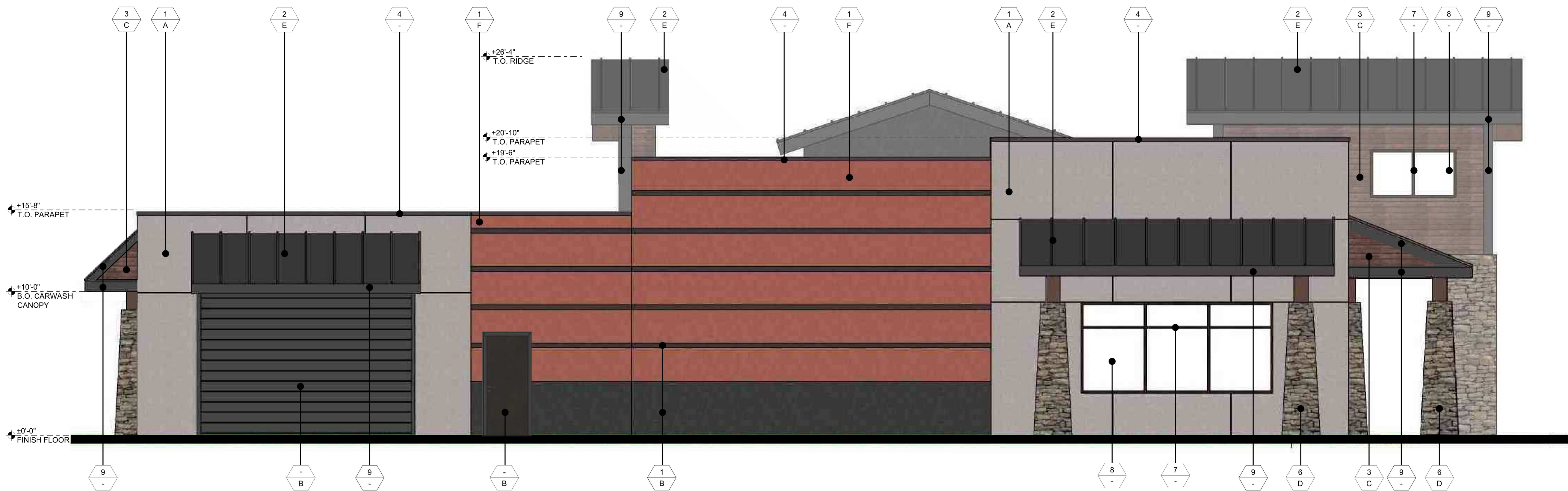
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SHEET:
A2.0



2 EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"



1 EXTERIOR ELEVATION - WEST
1/4" = 1'-0"

LEGEND

1 MATERIAL
A FINISH

MATERIALS

- 1 PAINT OVER 7/8" THICK, 3-COAT CEMENT PLASTER
- 2 SPAN-LOK HP METAL ROOFING / SIDING
- 3 6" SHIP LAPPED CEDAR SIDING/SOFFIT
- 4 PRE-FINISH "DARK BRONZE" METAL CAP, TYP.
- 5 ILLUMINATED SIGNAGE - BY OTHERS
- 6 STONE VENEER
- 7 DARK BRONZE ALUMINUM STOREFRONT SYSTEM
- 8 GLAZING
- 9 DARK BRONZE BRAKE METAL / PRE FINISHED FACIA

FINISH

- A MFR: SHERWIN WILLIAMS
COLOR: SW 1046 "ANONYMOUS"
- B MFR: SHERWIN WILLIAMS
COLOR: SW 6991 "BLACK MAGIC"
- C MFG: OLYMPIC
MATERIAL: STAIN
COLOR: 713 OXFORD BROWN
- D MFG: CORONADO STONE
COLOR: ANTIQUE CREAM "QUICKSTACK"
- E MFG: DURA TECH
COLOR: MATTE BLACK
- F MFG: SHERWIN WILLIAMS
COLOR: SW 4048 MASON BRICK

Description
Date
Rev. #

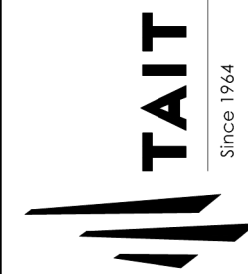
EXTERIOR ELEVATIONS



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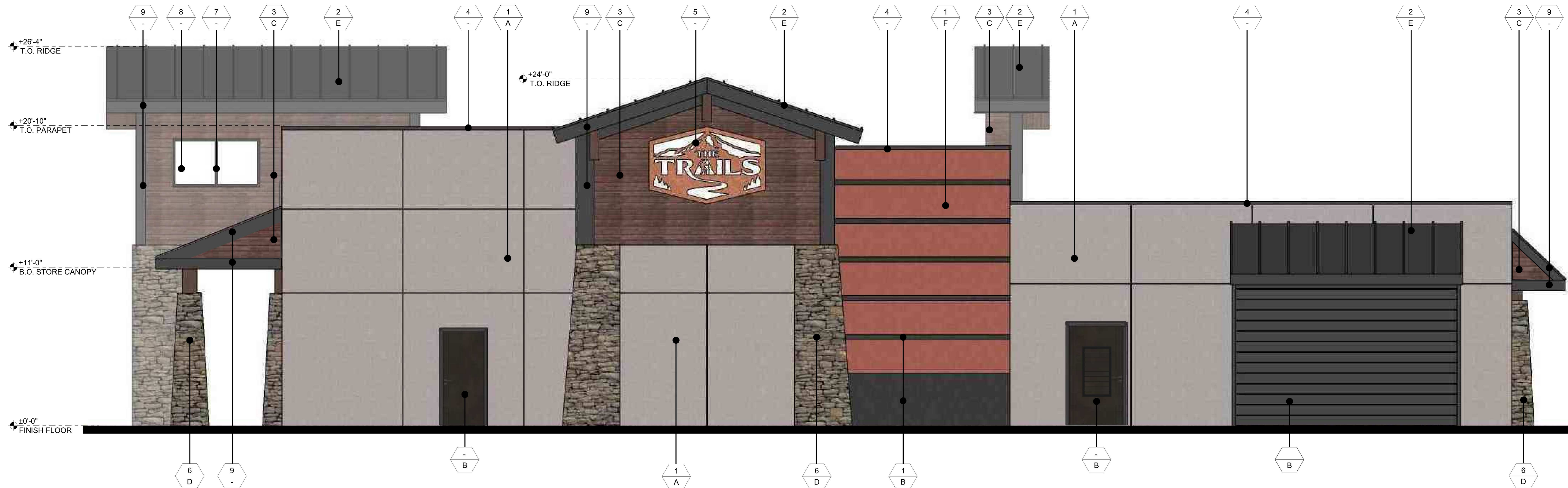


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2 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"



1 EXTERIOR ELEVATION - EAST
1/4" = 1'-0"

LEGEND

1 MATERIAL
A FINISH

MATERIALS

- 1 PAINT OVER 7/8" THICK, 3-COAT CEMENT PLASTER
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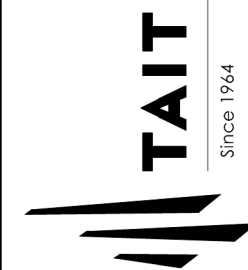
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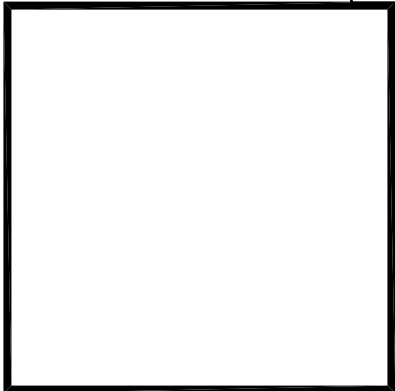


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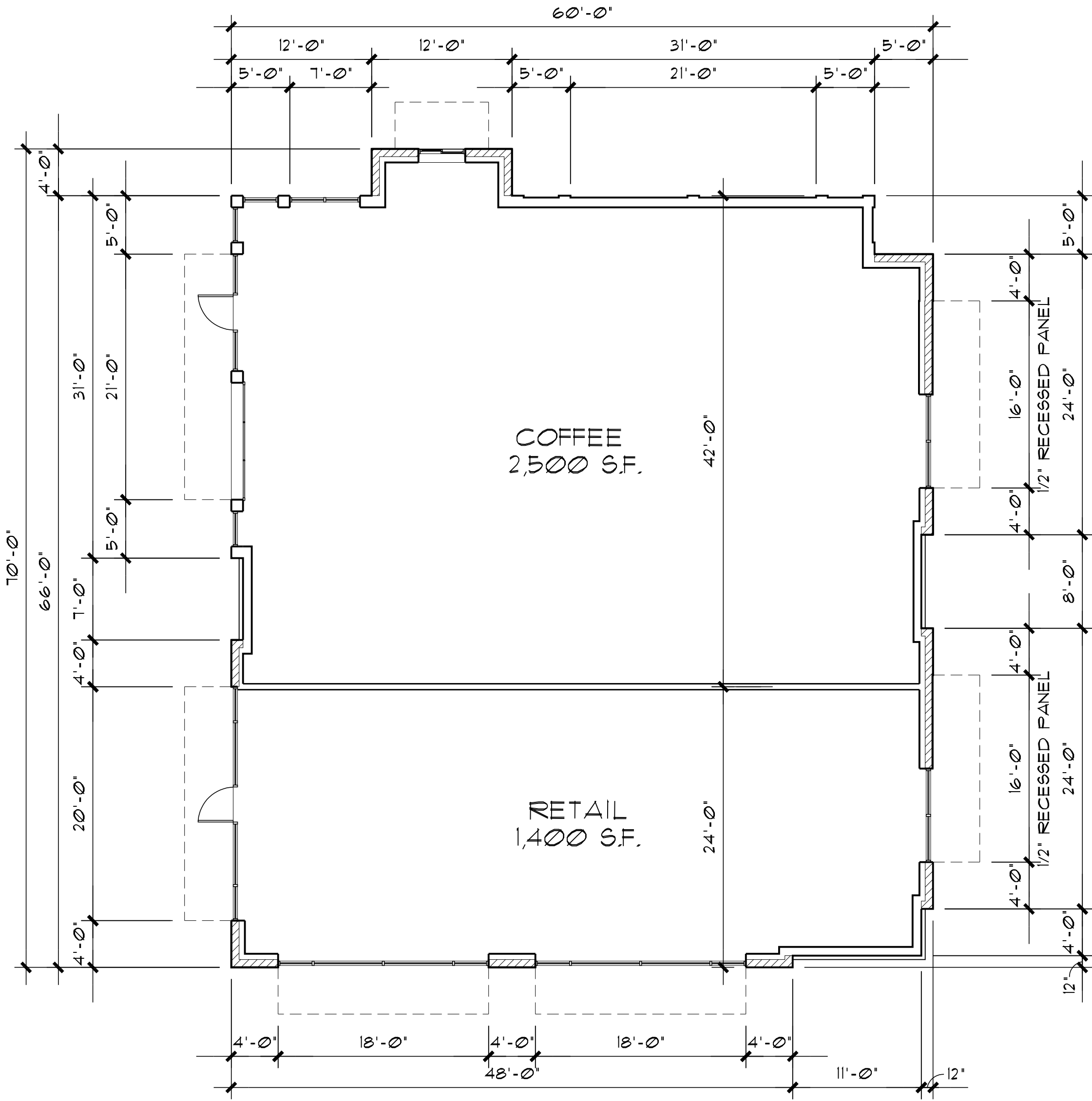
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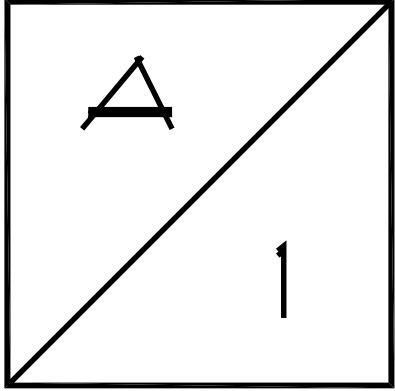
CAMAS STATION
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CAMAS, WASHINGTON
MAJ DEVELOPMENT



FLOOR PLAN (COFFEE)
1/8" = 1'-0"



PROJECT NO.
2021-154
DATE : 02-03-2022
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1 **SOUTH ELEVATION (COFFEE)**
1/8" = 1'-0"



2 **WEST ELEVATION (COFFEE)**
1/8" = 1'-0"



3 **NORTH ELEVATION (COFFEE)**
1/8" = 1'-0"



4 **EAST ELEVATION (COFFEE)**
1/8" = 1'-0"

MATERIALS / COLOR LEGEND				
MARK	MATERIAL	MANUFACTURER	DESCRIPTION/ COLOR	NOTES
P-1	PAINT	SHERWIN WILLIAMS	#1046 'ANONYMOUS'	STUCCO
P-2	PAINT	SHERWIN WILLIAMS	#6991 'BLACK MAGIC'	CANOPIES
M-1	4" HI BRICK	MUTUAL MATERIALS	INCA	FIELD
M-2	4" HI BRICK	MUTUAL MATERIALS	EBONY	SOLDIER & ACCENT COURSE
S-1	STAIN	OLYMPIC	#113 'OXFORD BROWN'	6" SHIP LAPPED CEDAR SIDING/ SOFFIT

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02-03-2022

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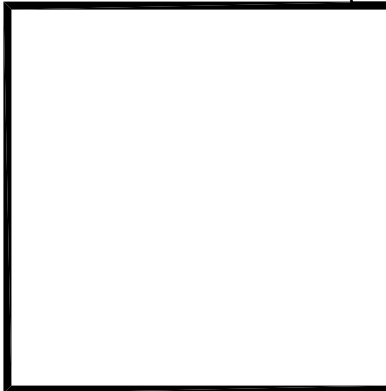
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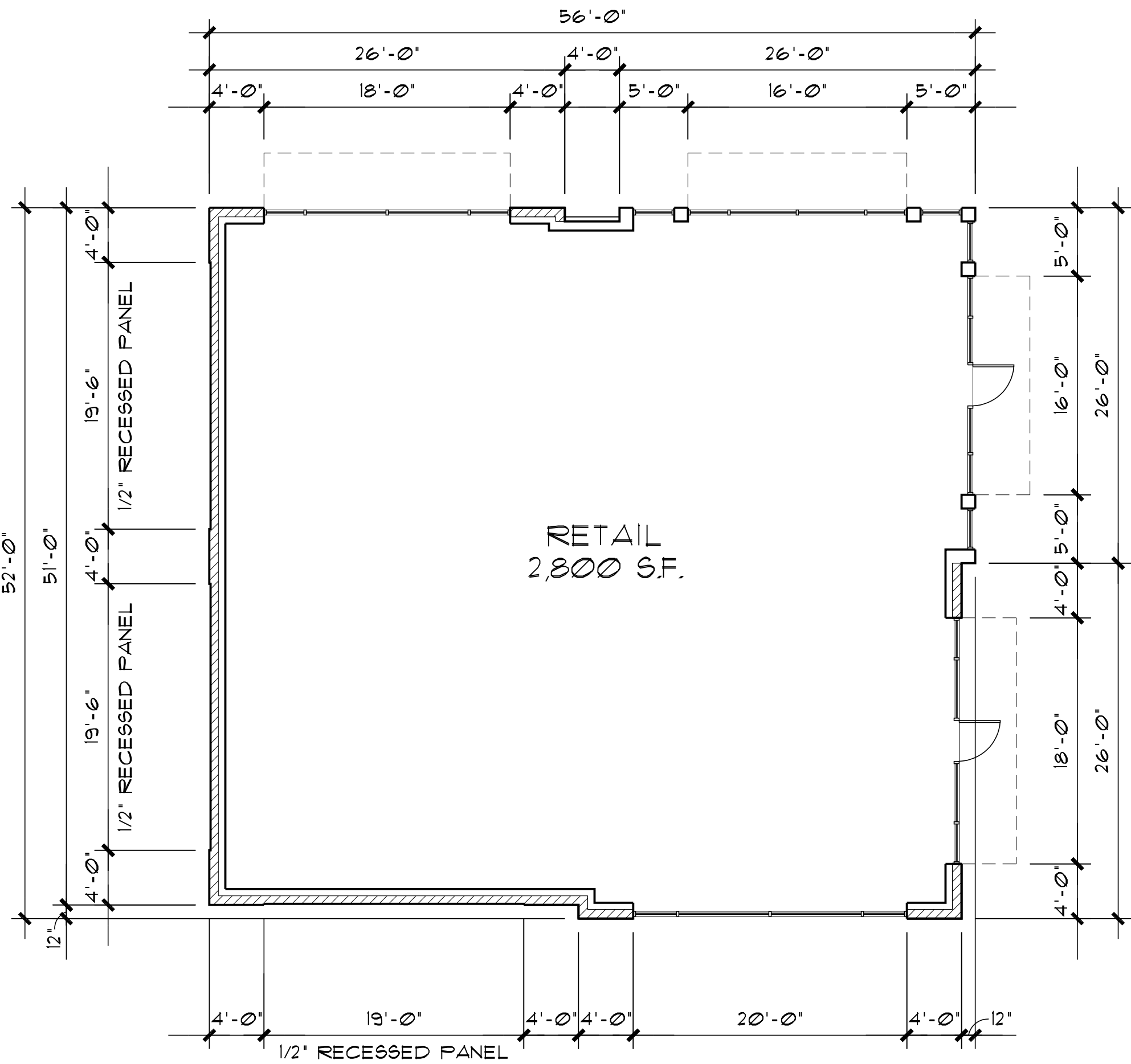
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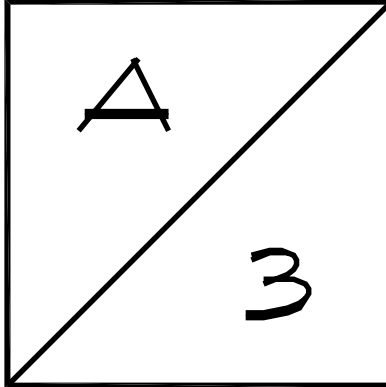
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FLOOR PLAN (RETAIL)
1/8" = 1'-0"



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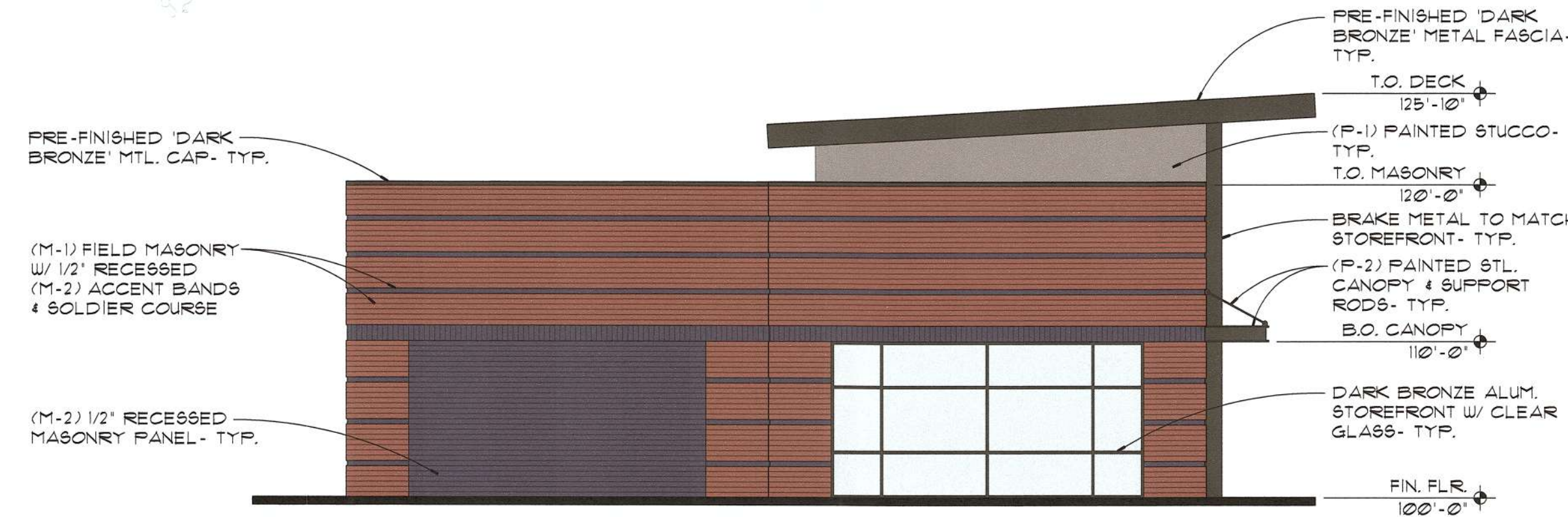
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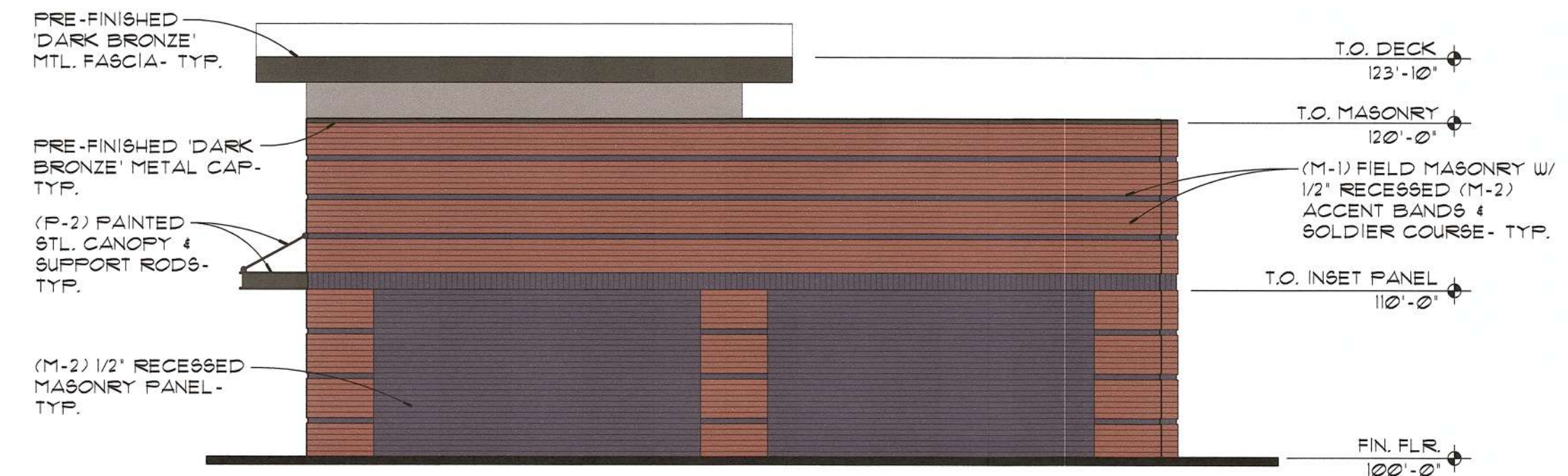
1 NORTH ELEVATION (RETAIL)
1/8" = 1'-0"



2 EAST ELEVATION (RETAIL)
1/8" = 1'-0"



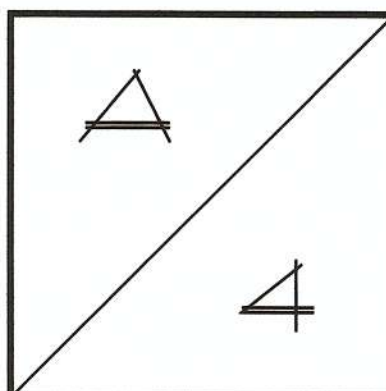
3 SOUTH ELEVATION (RETAIL)
1/8" = 1'-0"



4 WEST ELEVATION (RETAIL)
1/8" = 1'-0"

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CANOPY ELEVATIONS

LANDSCAPE LEGEND

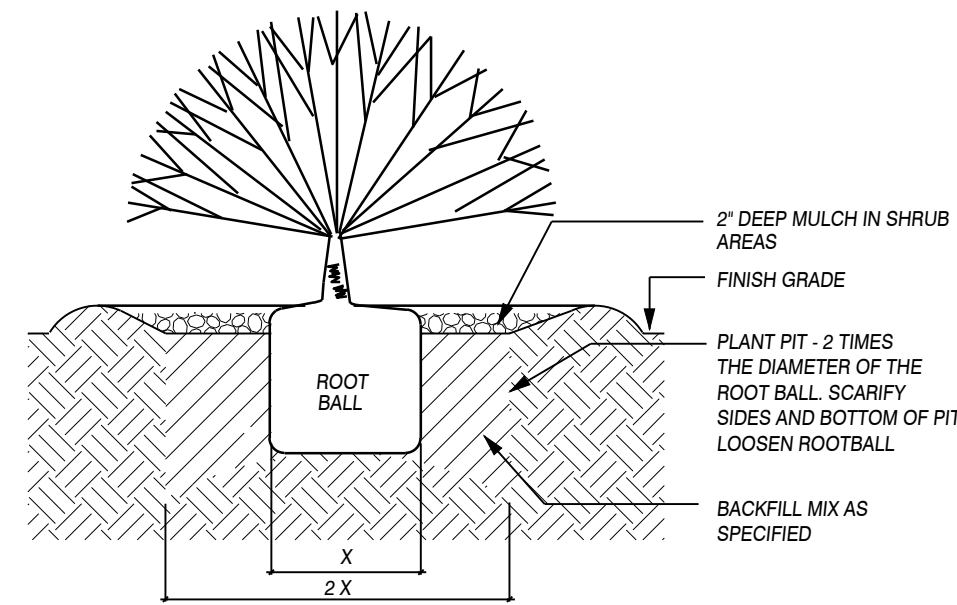
SYMBOL	COMMON NAME	SIZE/COND.	SPACING
TREES			
FEM	Frontier Elm <i>Ulmus 'Frontier'</i>	2" CAL.	AS SHOWN
PAH	Palisade American Hornbeam <i>Carpinus caroliniana 'Palisade'</i>	2" CAL.	28' O.C.
PBM	Paperbark Maple <i>Acer griseum</i>	2" CAL.	28' O.C.
RBC	Royal Burgundy Cherry <i>Prunus serrulata 'Royal Burgundy'</i>	2" CAL.	AS SHOWN
SA	Summit Ash <i>Fraxinus pennsylvanica 'Summit'</i>	2" CAL.	AS SHOWN
SSM	Scarlet Sentinel Maple <i>Acer rubrum 'Scarsen'</i>	2" CAL.	AS SHOWN
VC	Virescens Cedar <i>Thuja plicata 'Virescens'</i>	6" HEIGHT	10' O.C.
WAC	Weeping Alaskan Cedar <i>Chamaecyparis nootkatensis</i>	6" HEIGHT	8' O.C.

SHRUBS			
COG	Compact Oregon Grape <i>Mahonia aquifolium 'Compactum'</i>	3 GAL.	3' O.C.
DF	Dwarf Fothergilla <i>Fothergilla gardenii</i>	3 GAL.	3' O.C.
DGN	Dart's Gold Ninebark <i>Physocarpus opulifolius 'Dart's Gold'</i>	5 GAL.	4' O.C.
DWE	Dwarf Winged Euonymus <i>Euonymus alata 'Compacta'</i>	5 GAL.	3' O.C.
EA	Emerald Arborvitae <i>Thuja occidentalis 'Smaragd'</i>	3'-4" HEIGHT	3' O.C.
FE	Frades Escallonia <i>Escallonia x exoniensis 'Frades'</i>	24" x 30"	4' O.C.
GA	Glossy Abelia <i>Abelia grandiflora 'Edward Goucher'</i>	24" x 30"	4' O.C.
IV	Irish Yew <i>Taxus baccata 'Fastigiata'</i>	3' HEIGHT	3' O.C.
JA	Japanese Andromeda <i>Pieris japonica 'Mt. Fire'</i>	5 GAL.	4' O.C.
LB	Lydia Broom <i>Genista lydia</i>	1 GAL.	3' O.C.
LAV	Lavender <i>Lavender angustifolia 'Hidcote Blue'</i>	1 GAL.	3' O.C.
MLM	Morning Light Miscanthus <i>Miscanthus sinensis 'Morning Light'</i>	1 GAL.	4' O.C.
MR	Maidland Rose <i>Rosa x Meidland 'Scarlet'</i>	2 GAL.	3' O.C.
MV	Mariesii Viburnum <i>Viburnum plicatum tomentosum 'Mariesii'</i>	5 GAL.	5' O.C.
NDE	Newport Dwarf Escallonia <i>Escallonia 'Newport Dwarf'</i>	3 GAL.	3' O.C.
OG	Oregon Grape <i>Mahonia aquifolium</i>	3 GAL.	3' O.C.
TC	Tuxedo Ceanothus <i>Ceanothus 'Tuxedo'</i>	5 GAL.	5' O.C.
VD	Variegated Dogwood <i>Cornus alba 'Elegantissima'</i>	5 GAL.	4' O.C.

GROUNDCOVER			
	Bearberry Cotoneaster <i>Cotoneaster dammeri</i>	1 GAL.	24" O.C.
	Emerald Carpet Rubus <i>Rubus calycinoides 'Emerald Carpet'</i>	1 GAL.	18" O.C.
	Lawn - Seeded/Sod/Hydroseeded Oregon Ryegrass Blend		

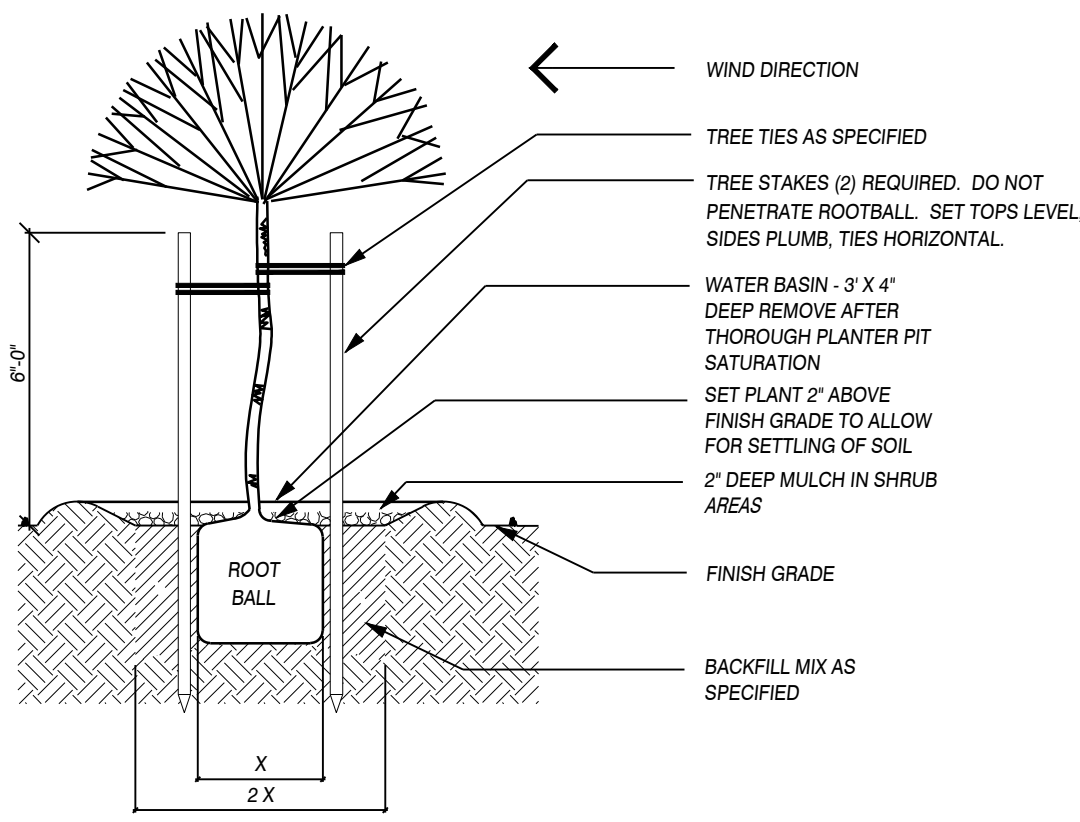
NOTES

- Installation shall fully comply with all landscape code requirements and any City of Camas conditions of approval.
- Irrigation shall be provided by a fully automatic underground system design/build by the landscape contractor.
- All landscaping shall be installed in a sound workman-like manner, and according to accepted good planting procedures with quality plant materials.
- The owner, or his agent, shall be responsible for the maintenance of all landscaping which shall be maintained in good condition so as to present a healthy, neat, and orderly appearance, and shall be kept free from refuse and debris.
- All existing vegetation shall be removed from areas to receive construction activities.
- There are no berms or fences proposed at this time. Retaining walls are proposed where required. Buffers are as shown on the plan.
- There are no surface water management features integrated with the landscape.
- There are no active or passive recreational features or open space areas proposed.
- Plants shall be spaced as indicated above unless otherwise shown on the plan. If a discrepancy exists, the plan shall prevail.
- Contractor shall verify species and quantities of all plant material prior to bid.
- Install jute erosion control fabric with manufacturer's staples on all slopes 2-1/2:1 and greater. Refer to Civil Engineering plans.
- Install root control barrier on all trees located within 8' of any paved/concrete surface, curb or wall, 18"-inches deep, .08-inches or 2 mm thick, 10 feet long. Center barrier on trunk of tree. Install adjacent to back of sidewalk, pavement, curb and/or wall as per manufacturer's recommendations and specifications.
- Prior to installation of topsoil in tree, shrub, groundcover and lawn planting areas as indicated on the Landscape Plan, cross-rip at 18 inches on center or rototill subgrade to an 8-inch to 12-inch depth.
- Install minimum 12-inch depth on-site and/or imported topsoil in all tree, shrub and groundcover planting areas, 6 inches in lawn areas, as indicated on the Landscape Plan. Amend planting area topsoil with 2-inch minimum layer composted yard debris prior to installation of plant material. Imported planting area topsoil shall be a sandy loam topsoil with a combined silt and clay content less than 20% and medium to very fine sand 60%-70% which shall be percentages by weight of those particles passing a 2mm screen. The remaining percentages shall be particles larger than medium to very fine sand (coarse or very coarse sand or gravel sized particles). All particles shall pass a 1/2-inch screen. All topsoil shall be free from subsoil, debris, turf, mushrooms, weeds or any other objectionable material. If subgrade is comprised of rock, rock fill or cement treated soil, remove subsoil from site and deposit topsoil to the following depths: 24-inch minimum depth in all planting areas, 36-inch minimum depth at all tree locations in a 5 foot diameter. Allow no cross contamination of cement treated soil with placed topsoil.
- On-site topsoil shall be defined as being a friable loam surface soil found at a depth, in its natural state, of less than 18 inches. Topsoil shall be free from subsoil, clay lumps and rocks larger than 2 inches, debris, turf, weeds, roots, contaminants or other objectionable material. Topsoil on-site meeting these specifications may be used in landscape areas as indicated on the Landscape Plan. Coordinate stockpiling of existing on-site topsoil strippings for reuse in landscape areas with Project Representative.
- Install minimum 2-inches bark mulch in all new landscape areas within 2 days of planting.
- Final placement of street trees shall be determined based on final driveway locations, street lighting (if any), utilities and other appurtenances and shall not necessarily follow the plan where field conditions are not conducive for tree planting. Field adjust trees as required. Match plan as closely as possible.



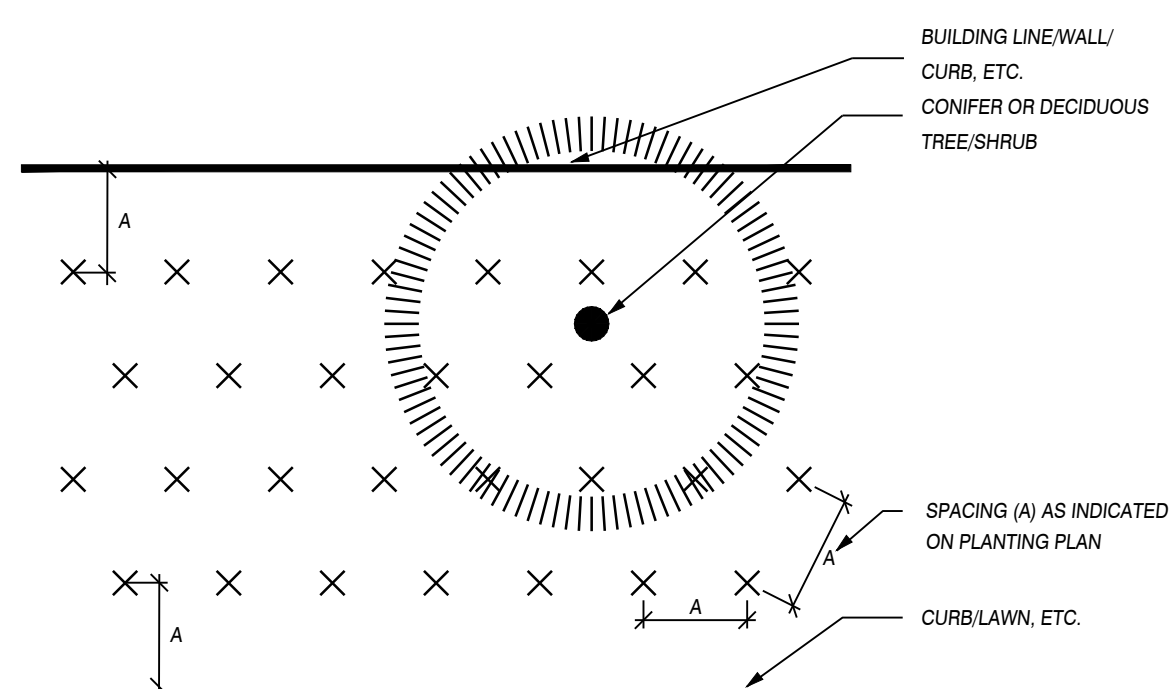
1 SHRUB/GROUNDCOVER PLANTING

NOT TO SCALE



2 DECIDUOUS/CONIFER TREE PLANTING

NOT TO SCALE



3 GROUNDCOVER PLANTING

NOT TO SCALE

LANDSCAPE AREA CALCULATION

Required Landscape Area	15% of net site area
Development Site Area	89,393 sq. ft.
Total Landscape Area	15,993 sq. ft. (17.9% of site area)

TREE DENSITY CALCULATIONS

2.05 acres x 20 tree units/acre = 41 total tree units required

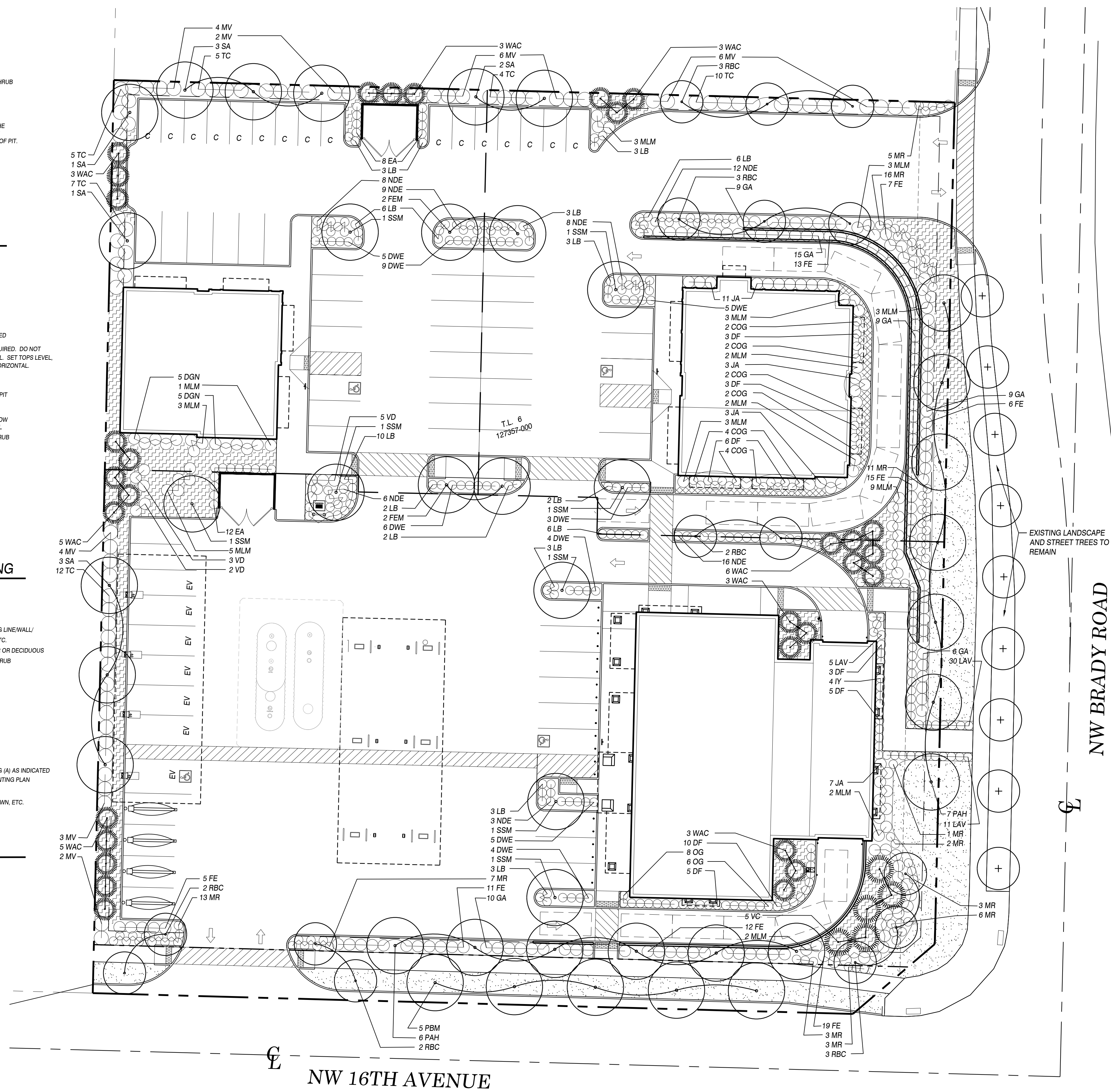
Tree Unit Credits for Existing Street Trees = 9 tree units

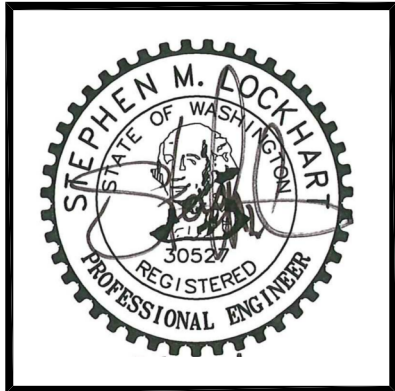
41 - 9 = 32 tree units required to be added

Proposed Street Trees - 7 trees @ 2" cal. = 7 tree units
Proposed Interior Deciduous Trees - 55 trees @ 2" cal. (1 tree unit per) = 55 tree units
Proposed Interior Conifer Trees - 36 trees @ 6" (1 tree unit per) = 36 tree units
Total Proposed Tree Units - 7 + 55 + 36 = 98 tree units

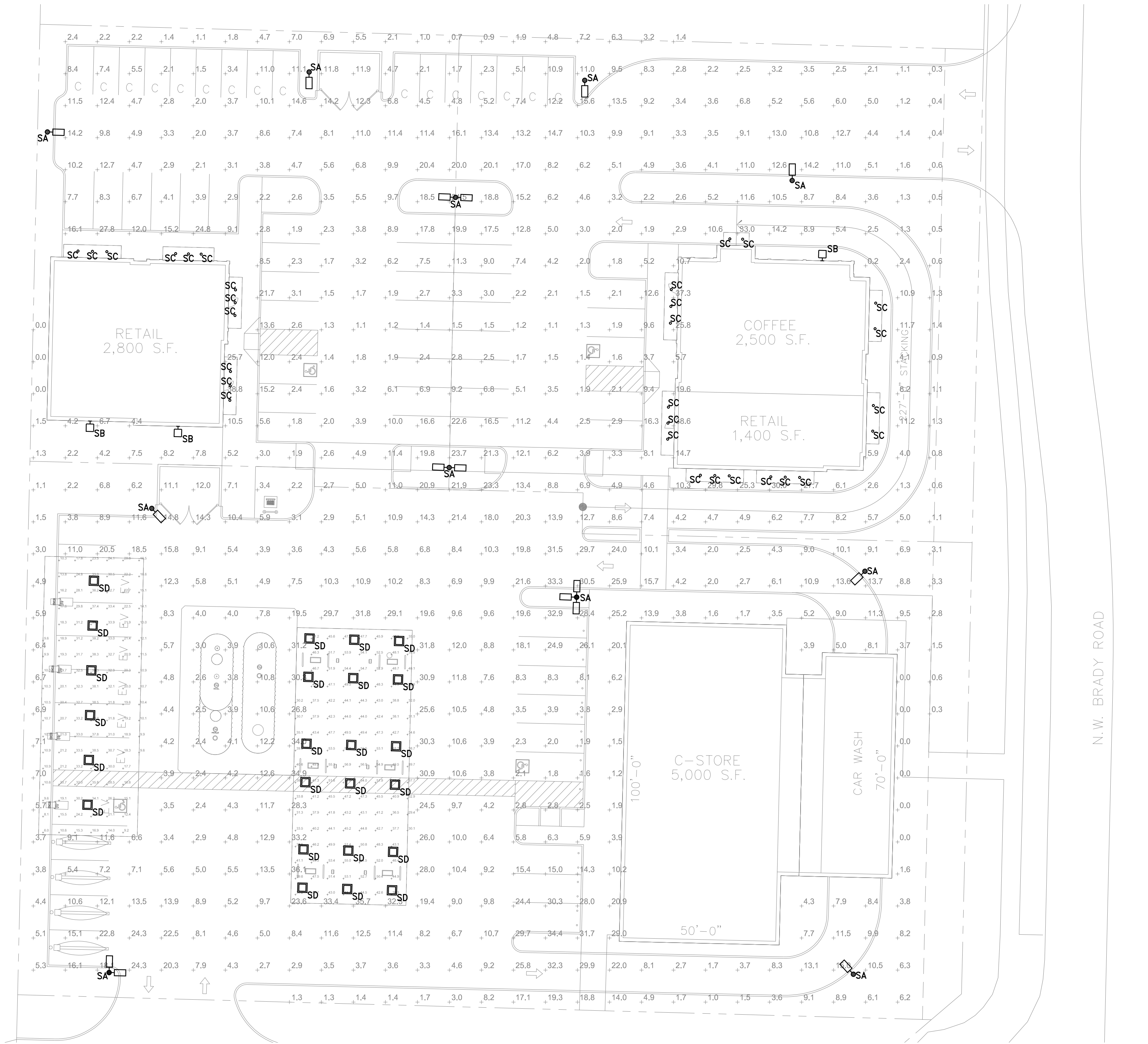
Total Tree Units Provided On Site - 98 proposed tree units + 9 existing tree units = 107 total tree units

107 - 41 = 66 tree units exceeded



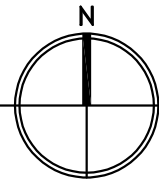


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LIGHTING SCHEDULE	
TYPE	DESCRIPTION
SA	CREE #XSPLG-D-HT-4ME-24L-57K7-UL-SV-N (NUMBER AND CONFIGURATION SHOWN ON PLANS)
SB	CREE #XSPW-B-WM-3ME-4L-57K-UL-WH
SC	CREE #CPY250-B-DM-F-C-UL-WH-57K
SD	CREE #CPY250-B-DM-F-B-UL-WH-57K

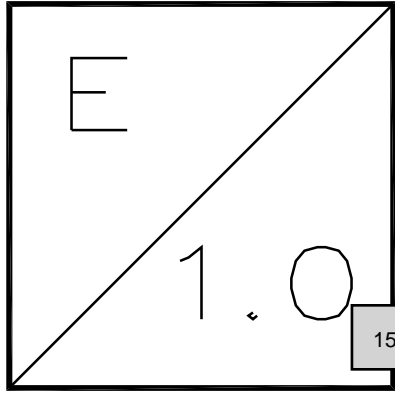
1 SITE PHOTOMETRIC
E1.0 SCALE: 1"=20'-0"



MAJ @ 16TH & BRADY RD.
CAMAS, WASHINGTON
MAJ DEVELOPMENT

PROJECT NO.
2021-171
DATE : 01/24/2022
DRAWN BY : KH
CHECKED BY : SL
REVISIONS

SITE PHOTOMETRIC





Community Development Department
616 NE Fourth Avenue Camas, WA 98607

Item 1.

Design Review Checklist- DR22-02 Camas Station

The purpose of this sheet is to provide a simplified and expedited review of the design review principles and guidelines using objective review standards. The standards are intended as tool for the decision-maker in making findings that the proposal either achieves compliance with the intent of the principles or reasonably mitigates any conflict. When reviewing the check sheet, the proposal should as a whole “comply” with the standards and thus be generally consistent with the overriding principles. [Yes = In Compliance; No = Not In Compliance; NA = Not Applicable]

Standard Principles and Guidelines

ARCHITECTURE				
Yes	No	NA	Principles and Guidelines	Comments
			Corrugated materials, standing seam, T-1 11, or similar siding materials are avoided unless it produces a high visual (or aesthetic) quality.	
			Buildings walls or fences visible from roadways are articulated in order to avoid a blank look.	
			The use of bold colors has been avoided unless used as minor accents.	
			Higher density/larger structures abutting lower density residential structures have been designed to mitigate size and scale differences.	
LANDSCAPING AND SCREENING				
Yes	No	NA	Principles and Guidelines	Comments
			Vegetation for landscaping includes native, low maintenance plantings. Significant trees are retained if feasible.	
			Trees planted along streetscapes with overhead power lines include only those trees identified on the City's Tree list.	
			Landscaping, including trees, shrubs, and vegetative groundcover, is provided to visually screen and buffer	

DESIGN REVIEW CHECKLIST

Item 1.

			the use from adjoining less intense uses including parking.	
			Proposed fencing is incorporated into the landscaping so as to have little or no visual impact.	
			Signs located on buildings or incorporated into the landscaping are unobtrusive and vandal resistant. If illuminated they are front lit.	
			Landscape lighting - low voltage, non-glare, indirect lighting is directed, hooded or shielded away from neighboring properties.	
			Street lighting (poles, lamps) is substantially similar or architecturally more significant than other street lighting existing on the same street and do not conflict with any City approved street lighting plans for the street.	
			Parking and building lighting is directed away from surrounding properties through the use of hooding, shielding, siting and/or landscaping.	
			Outdoor furniture samples are consistent with the overall project design.	
			Existing trees over 6" dbh that are not required to be removed to accommodate the proposed development are retained and incorporated into the landscape plan.	
			Rock outcropping's, forested areas and water bodies are retained.	
HISTORIC AND HERITAGE PRESERVATION				
Yes	No	NA	Principles and Guidelines	Comments
			The use of Historic Markers, information kiosks, project names, architectural features, or other elements of the project promote the historic heritage of the site or surrounding area.	

DESIGN REVIEW CHECKLIST

Item 1.

Specific Principles and Guidelines

COMMERCIAL & MIXED USES				
ARCHITECTURE				
Yes	No	NA	Principles and Guidelines	Comments
			Office and retail buildings provide a minimum solid to void ratio of 60%/40%	
			The development is built with a residential feel (i.e. size, scale, and materials compatible with neighboring buildings) if surrounded by residential areas or adjacent to residentially zoned properties.	
			Buildings over two stories have the third story and above offset from the first two stories, if surrounding developments are less than three stories or land use designations on adjacent zones do not allow more than three story development.	
LANDSCAPING & SCREENING				
Yes	No	NA	Principles and Guidelines	Comments
			Intersections are illuminated, but not dominated by lighting. Lighting is incorporated into the landscape and illuminates the quality of the natural environment. Street light poles and lamps are compatible with other nearby lighting on the same street.	
			Parking spaces are clustered in small groupings and separated by landscaping to create a pedestrian friendly, park like environment.	
STREETSCAPE				
Yes	No	NA	Principles and Guidelines	Comments
			On-site parking areas are located to the interior of the development unless site development proved prohibitive.	
			Parking areas are screened with landscaping.	
			Buildings are placed close to streets and roads unless site constraints made it impossible, or characteristics of the surrounding properties already developed made it	

DESIGN REVIEW CHECKLIST

Item 1.

			incompatible. Otherwise, retail frontage setbacks do not exceed 25 feet from back of curb.	
			Window and door placement provides a high degree of transparency at the lower levels of the building and maximize visibility of pedestrian active uses.	
\			Each use/activity in a development containing multiple uses/activities is integrated in a manner that achieves a seamless appearance or creates a cohesive development.	
			Watering system will maintain proposed landscaping for a period to ensure that plants are well established.	
			New streets intersecting commercial properties are designed to create a safe environment. "Coving" techniques and "round-a-bouts" were considered for traffic calming when appropriate.	

Camas Station (DR22-02)

Index of Exhibits

Item 1.

Exhibit No.	Title/Description	Document Date
1	Vicinity Map	
2	Preliminary Site Plan & Short Plat	2/8/22
3	Building 1 Floor Plan & Elevations	2/3/22
4	Building 2 Floor Plan & Elevation	2/3/22
5	Building 3 Floor Plan & Elevation	2/3/22
6	Canopy Elevations	2/11/22
7	Preliminary Landscape Plan	
8	Lighting Plan	1/24/22
9	Existing Conditions Plan	2/8/22
10	Design Review Checklist	