



Design Review Committee Meeting Agenda Thursday, May 18, 2023, 4:00 PM REMOTE MEETING PARTICIPATION

NOTE: The City welcomes public meeting citizen participation. TTY Relay Service: 711. In compliance with the ADA, if you need special assistance to participate in a meeting, contact the City Clerk's office at (360) 834-6864, 72 hours prior to the meeting so reasonable accommodations can be made (28 CFR 35.102-35.104 ADA Title 1)

To Participate Remotely:

OPTION 1 -

1. Go to www.zoom.us and download the app or click "Join A Meeting" and use Meeting ID – 825 1701 6610
2. Or, from any device click <https://us06web.zoom.us/j/82517016610>

OPTION 2 - Join by phone (audio only):

1. Dial 877-853-5257 and enter meeting ID# 825 1701 6610

CALL TO ORDER

ROLL CALL

INTRODUCTIONS

MEETING ITEMS

1. Green Mountain PRD Pod B1 (DR23-04)
Presenter: Lauren Hollenbeck, Senior Planner
2. Geacu Duplex (DR22-10)
Presenter: Yvette Sennewald, Senior Planner
3. Couch Street Duplex (DR22-11)
Presenter: Yvette Sennewald

CLOSE OF MEETING



STAFF REPORT

Green Mountain PRD Pod B1 residential

Major Design Review (File no. DR23-04)

Related File: SUB18-04

TO Design Review Committee

FROM Lauren Hollenbeck, Senior Planner

LOCATION East of NE Ingle Road and approximately 1,300-ft north of NE Goodwin Road
Parcel Numbers 986037307 and 173178000

APPLICANT Brian Emrich
360-909-4582
edraftingcorpoffice@gmail.com

APPLICABLE LAW: The major design review application was submitted April 10, 2023. Preliminary plat approval was submitted November 1, 2018, so the applicable codes are those codes that were in at the time of preliminary plat approval. Applicable Camas Municipal Code (CMC) chapters include Title 16 Environment, Title 17 Land Development- Chapter 17.11 Subdivision. Chapter 17.19 Design and Improvement Standards, and Title 18 Zoning, specifically (but not limited to): Chapter 18.11 - Parking, Chapter 18.13 - Landscaping, Chapter 18.19 Design Review, and Chapter 18.55 Administrative Procedures, including recorded development agreement no. 5134733.

Background

The Green Mountain PRD Pod B1 subdivision received preliminary plat approval in August 2019 and received engineering/landscape plan approval in August 2022. At the time of preliminary plat review, the applicant elected to not apply for Design Review as allowed per CMC 18.55.020.B but was conditioned with the preliminary plat decision to receive Design Review approval prior to building permit submittal.

Summary

The applicant is now seeking design review approval for the construction of 111 front and alley loaded attached residential dwelling units within 6 duplex buildings, 5 tri-plex buildings and 21 four-plex buildings. The proposal includes trails, open space/park, private access roads, parking areas, and stormwater detention facilities.

The subject property bordered by vacant land to the South designated as the Urban Village Area of the Green Mountain Master Plan, the Green Mountain Mixed Use PRD Phase 1 subdivision to the North, NE Ingle Rd to the West, and to the East is community open space that has been previously approved in the Green Mountain Mixed Use PRD. The site is accessed from N. Boxwood Street and N. Dogwood Street.

Purpose

Design Review is required under CMC Chapter 18.19. Design review is not intended to determine the appropriate use on a parcel but rather review a proposed development for compliance with City codes and plans related to landscaping, architectural elevations, and other elements relative to required improvements. The recommendations from the Design Review Committee (DRC) must consider the design review standards from the Design Review Manual and Camas Municipal Code (CMC). An enclosed checklist is to help guide you in your review but refer to the manual for specific details regarding the standards.

Standard and Specific Gateways and Multi-Family Design Principles and Guidelines

The standard and specific gateways and multi-family principles and guidelines for multi-family developments are required and must be demonstrated to have been satisfied in overall intent for design review approval. The standard design guidelines are developed to assist a project in meeting the established principles and each guideline should be adequately addressed. If the proposal cannot meet a specific guideline, then an explanation should be provided by the applicant as to why and how it will be mitigated to satisfy the intent of the design principles. The development guidelines include five major categories: 1) Landscaping and Screening, 2) Architecture, 3) Massing and Setbacks, 4) Historic & Heritage Preservation, and 5) Circulation and Connections. **The Design Review Checklist is enclosed to help guide the DRC in reviewing the standard applicable specific design review principles and guidelines.**

Recommendation

That the Design Review Committee reviews the submitted materials, deliberates, and forwards a recommendation to staff for a final decision.



GREEN MOUNTAIN UNIT LAYOUT

UNIT KEY		
4-PLEX FRONT LOAD	=	[Green Box]
4-PLEX ALLEY LOAD	=	[Blue Box]
4-PLEX DAYLIGHT FRONT LOAD	=	[Cyan Box]
4-PLEX FRONT LOAD ALL 3-STORY	=	[Purple Box]
3-PLEX FRONT LOAD	=	[Light Blue Box]
3-PLEX ALLEY LOAD	=	[Pink Box]
3-PLEX DAYLIGHT FRONT LOAD	=	[Red Box]
2-PLEX FRONT LOAD	=	[Light Red Box]
2-PLEX ALLEY LOAD	=	[Brown Box]



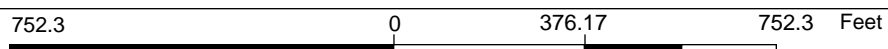
Item 1.



Legend

- Taxlots
- All Roads**
 - Interstate
 - State Route
 - Arterial
 - Forest Arterial
 - Minor Collector
 - Forest Collector
 - Private or Other
- All Roads**
 - Interstate or State Route
 - Arterial
 - Collector
 - Private or Other

Notes:



WGS_1984_Web_Mercator_Auxiliary_Sphere
 Clark County, WA. GIS - <http://gis.clark.wa.gov>

This map was generated by Clark County's "MapsOnline" website. Clark County does not warrant the accuracy, reliability or timeliness of any information on this map, and shall not be held liable for losses caused by using this information. Taxlot (i.e., parcel) boundaries cannot be used to determine the location of property lines on the ground.

Item 1.



**GREEN MOUNTAIN
2-PLEX (FRONT)**

FILE NAME :
LOTS 1-2_2-PLEX FRONT
DRAWN BY:
EDRAFT
SCALE:
As indicated
PLOT DATE:
9/20/2023
1:27:21 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

**SHEET
Elevations**

A5
6

2 PLEX - FRONT LOAD



END UNIT C - LOT 2 END UNIT C - LOT 1
FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"

LOTS 1-2 - 2-PLEX FRONT LOAD

BODY



COLOR
SCHEME
No. 4C

ACCENT



TRIM



Item 1.

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**GREEN MOUNTAIN
2-PLEX (FRONT)**

FILE NAME :
LOTS 1-2_2-PLEX FRONT

DRAWN BY:
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SCALE :
As indicated

PLOT DATE :
9/20/2023
1:27:21 PM

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SHEET
Elevations

A5 7

4 PLEX - FRONT LOAD - ALL 3 STORY



FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"

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GREEN MOUNTAIN 4-PLEX (FRONT)

FILE NAME :
LOT 3-6_4-PLEX FRONT

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EDRAFT

SCALE :
As indicated

PLOT DATE :
3/20/2023
1:29:28 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

SHEET
Elevations

A5
8

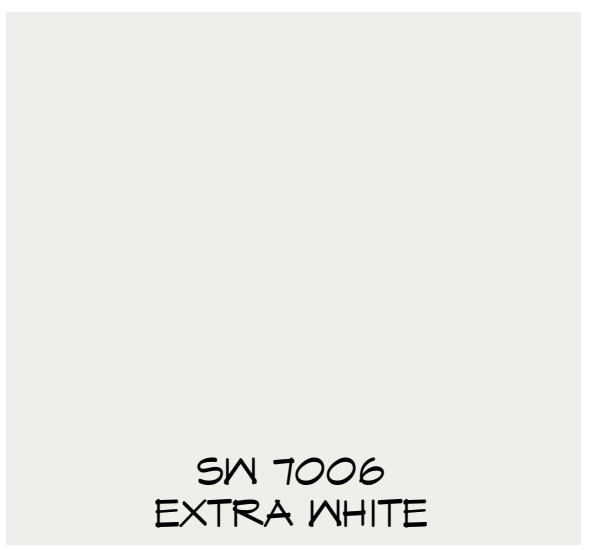
LOTS 3-6 - 4-PLEX FRONT LOAD

BODY



COLOR SCHEME No. 3B

ACCENT



TRIM



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GREEN MOUNTAIN
4-PLEX (FRONT)

FILE NAME :
LOT 3-6_4-PLEX FRONT

DRAWN BY:
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SCALE :
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3/20/2023
1:29:28 PM

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SHEET
Elevations

A5
9

3 PLEX - FRONT LOAD



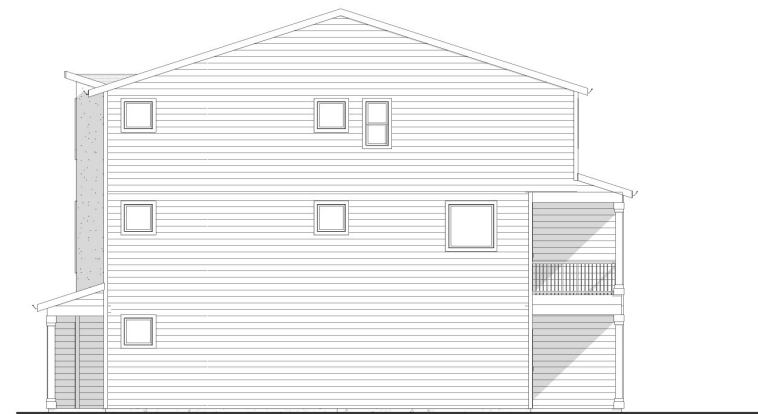
FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"

Item 1.



**GREEN MOUNTAIN
3-PLEX (FRONT)**

FILE NAME :
LOTS 7-9-3-PLEX FRONT
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3/21/2023
11:16:35 AM

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**SHEET
Elevations**

LOTS 7-9 - 3-PLEX FRONT LOAD

BODY



COLOR
SCHEME
No. 1B

ACCENT



TRIM



Item 1.



GREEN MOUNTAIN
3-PLEX (FRONT)

FILE NAME :

LOTS 7-9_3-PLEX FRONT

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SHEET
Elevations

A5

4 PLEX - FRONT LOAD - ALL 3 STORY



FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"

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**GREEN MOUNTAIN
4-PLEX (FRONT)**

FILE NAME :
LOT 10-13_4-PLEX FRONT

DRAWN BY:
EDRAFT

SCALE :
As indicated

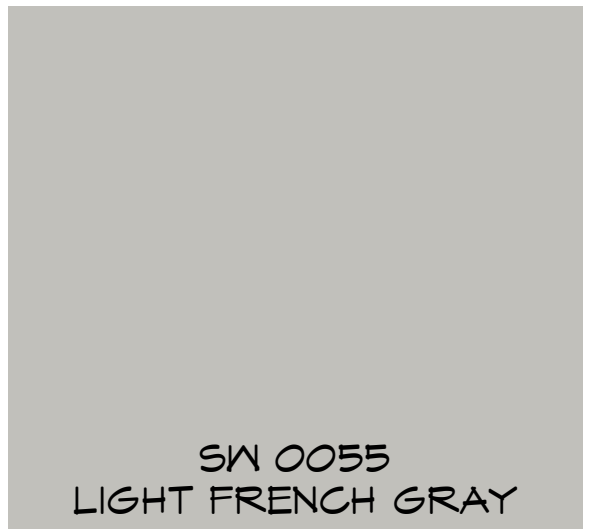
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**SHEET
Elevations**

LOTS 10-13 - 4-PLEX FRONT LOAD

BODY

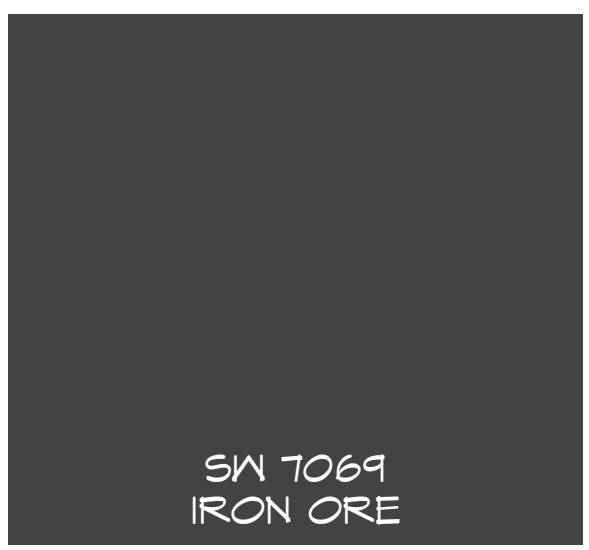


COLOR SCHEME No. 2A

ACCENT



TRIM



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**GREEN MOUNTAIN
4-PLEX (FRONT)**

FILE NAME :
LOT 10-13_4-PLEX FRONT

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SCALE :
As indicated

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11:48:15 AM

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**SHEET
Elevations**

4 PLEX - FRONT LOAD - WITH DECK



FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"

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Brian Emrich: 360-909-4562

**GREEN MOUNTAIN
4-PLEX (FRONT)**

FILE NAME :
LOTS14-17_4-PLEX
DRAWN BY:
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PLOT DATE :
3/22/2023
8:57:51 AM

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**SHEET
Elevations**

A5
14

LOTS 14-17 - 4-PLEX FRONT LOAD

BODY

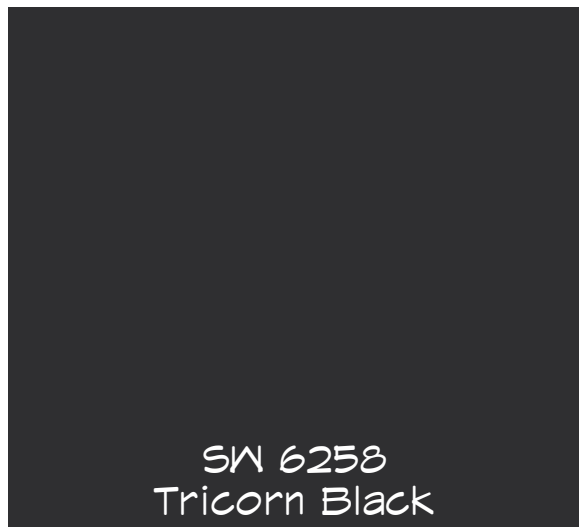


COLOR
SCHEME
No. 5A

ACCENT



TRIM



Item 1.



GREEN MOUNTAIN
4-PLEX (FRONT)

FILE NAME :
LOTS14-17_4-PLEX
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PLOT DATE :
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SHEET
Elevations

4 PLEX - FRONT LOAD - WITH DECK



END UNIT B LOT 21 INTERIOR UNIT E LOT 20 INTERIOR UNIT E LOT 19 END UNIT B LOT 18

FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"

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**GREEN MOUNTAIN
4-PLEX (FRONT)**

FILE NAME :
LOTS18-21_4-PLEX
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9/22/2023
9:16:19 AM

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**SHEET
Elevations**

LOTS 18-21 - 4-PLEX FRONT LOAD

BODY

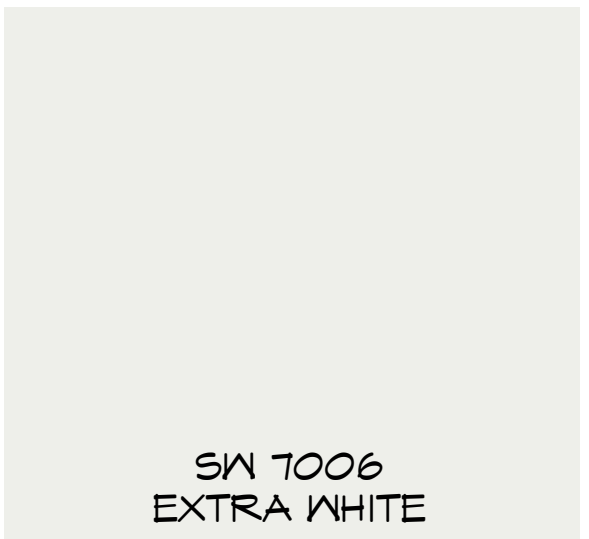


COLOR
SCHEME
No. 3A

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GREEN MOUNTAIN
4-PLEX (FRONT)

FILE NAME :
LOTS18-21_4-PLEX
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9:16:19 AM

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SHEET
Elevations

2 PLEX - FRONT LOAD



END UNIT C - LOT 23 END UNIT C - LOT 22

FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"

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Edra Rafting Inc.
Edra Rafting Inc.

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360-909-4562

Email:
edrafting@icm.com

**GREEN MOUNTAIN
2-PLEX (FRONT)**

FILE NAME :
LOTS 22-23_2-PLEX FRONT

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SCALE :
As indicated

PLOT DATE :
3/21/2023
11:59:41 AM

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**SHEET
Elevations**

LOTS 22-23 - 2-PLEX FRONT LOAD

BODY



COLOR
SCHEME
No. 1A

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Item 1.



GREEN MOUNTAIN
2-PLEX (FRONT)

FILE NAME :

LOTS 22-23_2-PLEX FRONT

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EDRAFT

SCALE :

As indicated

PLOT DATE :

3/21/2023

11:54:41 AM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. The Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

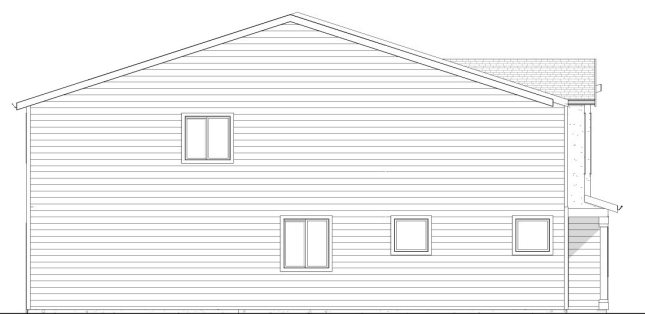
SHEET
Elevations

A5

4 PLEX - ALLEY LOAD



FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"

Item 1.



**GREEN MOUNTAIN
4-PLEX (ALLEY)**

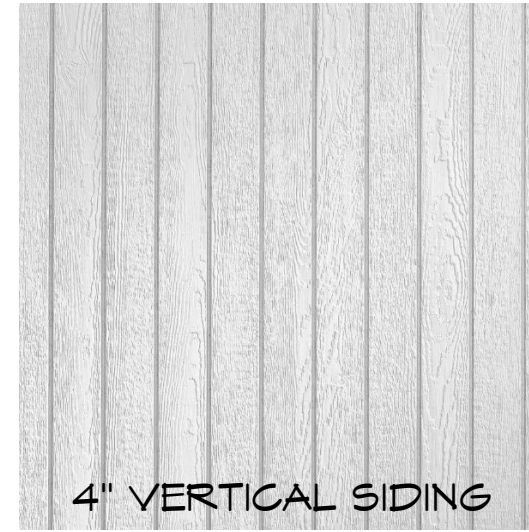
FILE NAME :
LOTS 24-27_4-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
3/22/2023
11:18:51 AM

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**SHEET
Elevations**

LOTS 24-27 - 4-PLEX ALLEY LOAD

BODY



COLOR
SCHEME
No. 2B

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TRIM



Item 1.



GREEN MOUNTAIN
4-PLEX (ALLEY)

FILE NAME :
LOTS 24-27_4-PLEX
DRAWN BY:
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SCALE :
As indicated
PLOT DATE :
3/22/2023
11:18:51 AM

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Elevations

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4 PLEX - ALLEY LOAD



FRONT ELEVATION

1/4" = 1'-0"



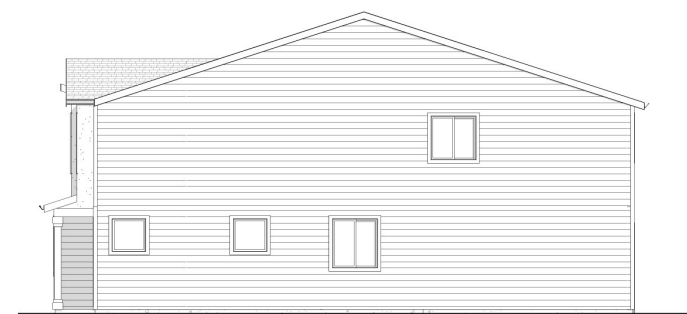
LEFT ELEVATION

1/8" = 1'-0"



REAR ELEVATION

1/8" = 1'-0"



RIGHT ELEVATION

1/8" = 1'-0"

GREEN MOUNTAIN 4-PLEX (ALLEY)

FILE NAME :
LOTS 28-31_4-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
3/22/2023
10:59:51 AM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

SHEET
Elevations

LOTS 28-31 - 4-PLEX ALLEY LOAD

BODY



SW 7014
EIDER WHITE



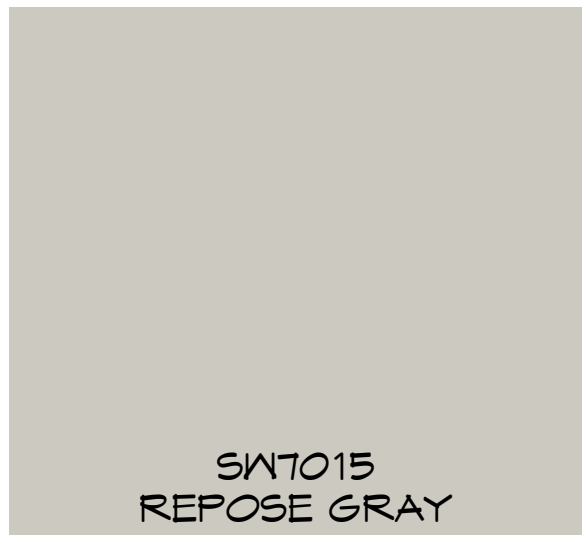
7" SMOOTH FIBER
CEMENT LAP SIDING



4" VERTICAL SIDING

COLOR
SCHEME
No. 4A

ACCENT

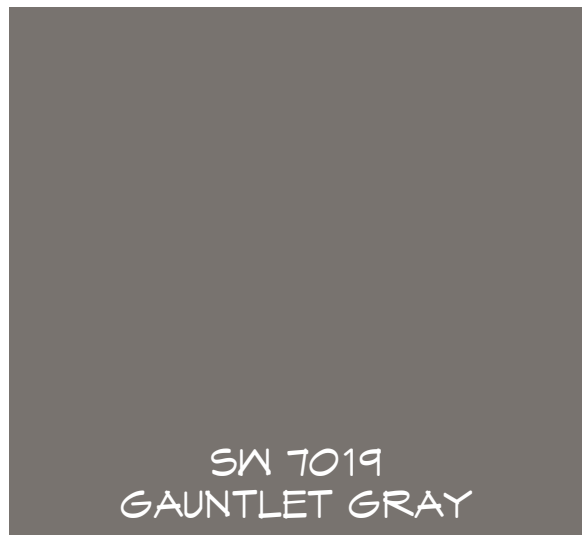


SW 7015
REPOSE GRAY



ACCENT SIDING TO
BE HARDIE REVEAL

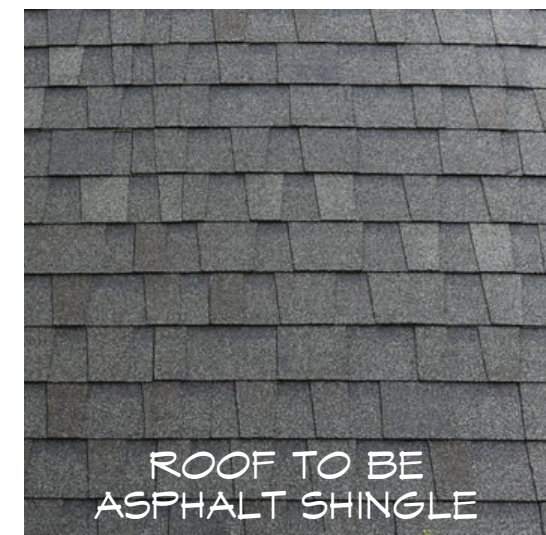
TRIM



SW 7019
GAUNTLET GRAY



FIBER CEMENT
HARDIE TRIM



ROOF TO BE
ASPHALT SHINGLE

Item 1.



GREEN MOUNTAIN
4-PLEX (ALLEY)

FILE NAME :
LOTS 28-31_4-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
3/22/2023
10:59:57 AM

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SHEET
Elevations

4 PLEX - ALLEY LOAD



FRONT ELEVATION

1/4" = 1'-0"



LEFT ELEVATION

1/8" = 1'-0"



REAR ELEVATION

1/8" = 1'-0"



RIGHT ELEVATION

1/8" = 1'-0"

Item 1.



**GREEN MOUNTAIN
4-PLEX (ALLEY)**

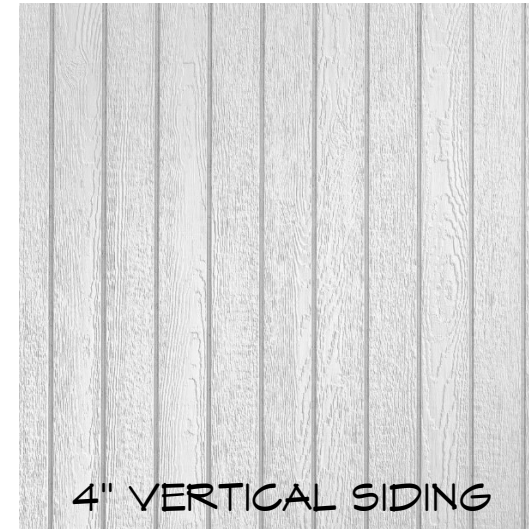
FILE NAME :
LOTS 32-35_4-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
9/22/2023
10:47:38 AM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

**SHEET
Elevations**

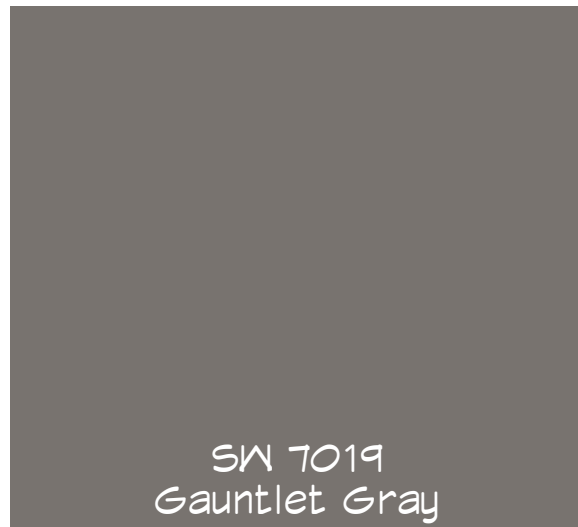
LOTS 32-35 - 4-PLEX ALLEY LOAD

BODY

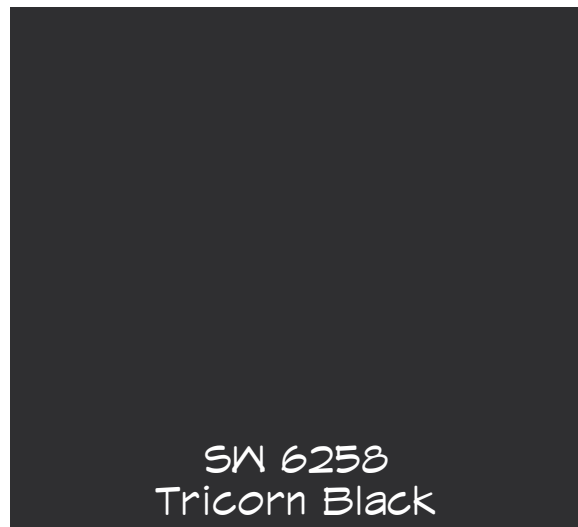


COLOR SCHEME No. 5B

ACCENT



TRIM



Item 1.



GREEN MOUNTAIN 4-PLEX (ALLEY)

FILE NAME :
LOTS 32-35_4-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
9/22/2023
10:47:38 AM

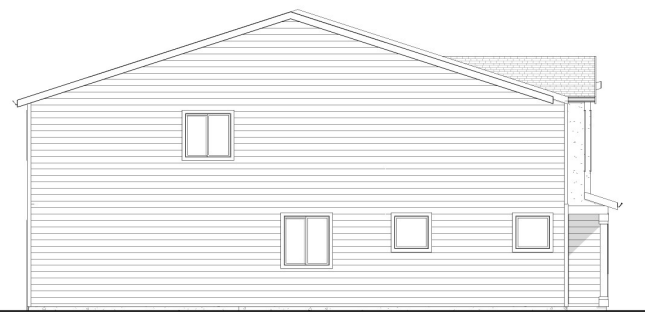
Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner-builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

SHEET
Elevations

4 PLEX - ALLEY LOAD



FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"

Item 1.



**GREEN MOUNTAIN
4-PLEX (ALLEY)**

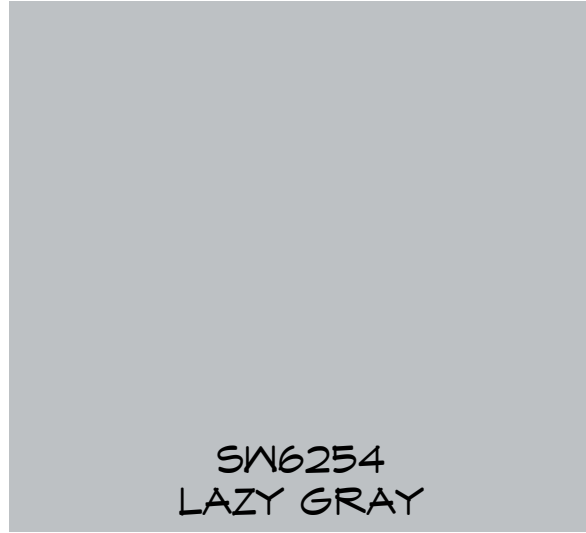
FILE NAME :
LOTS 36-39_4-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
3/22/2023
11:37:55 AM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

**SHEET
Elevations**

LOTS 36-39 - 4-PLEX ALLEY LOAD

BODY



COLOR SCHEME No. 1C

ACCENT



TRIM



Item 1.



GREEN MOUNTAIN
4-PLEX (ALLEY)

FILE NAME :
LOTS 36-39_4-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
9/22/2023
11:37:55 AM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

SHEET
Elevations

4 PLEX - FRONT LOAD - ALL 3 STORY



FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"

Item 1.



**GREEN MOUNTAIN
4-PLEX (FRONT)**

FILE NAME :

LOT 40-43_4-PLEX FRONT

DRAWN BY :

EDRAFT

SCALE :

As indicated

PLOT DATE :

3/21/2023

3:47:38 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

**SHEET
Elevations**

A5

28

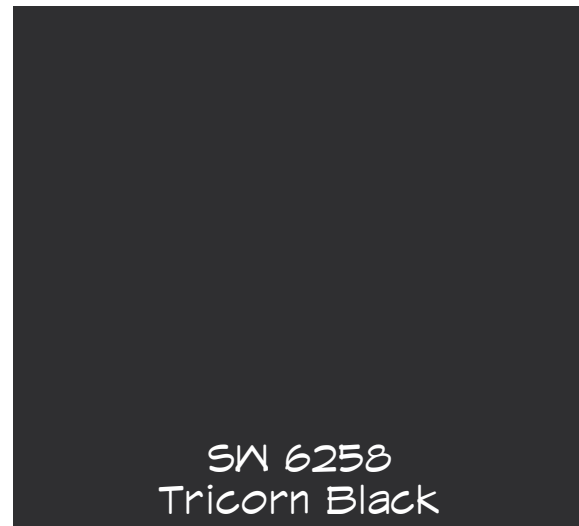
LOTS 40-43 - 4-PLEX FRONT LOAD

BODY



COLOR
SCHEME
No. 5C

ACCENT



TRIM



Item 1.



GREEN MOUNTAIN
4-PLEX (FRONT)

FILE NAME :

LOT 40-43_4-PLEX FRONT

DRAWN BY:

EDRAFT

SCALE :

As indicated

PLOT DATE :

3/21/2023
3:47:38 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

SHEET
Elevations

A5

4 PLEX - FRONT LOAD



FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"

Item 1.



**GREEN MOUNTAIN
4-PLEX (FRONT)**

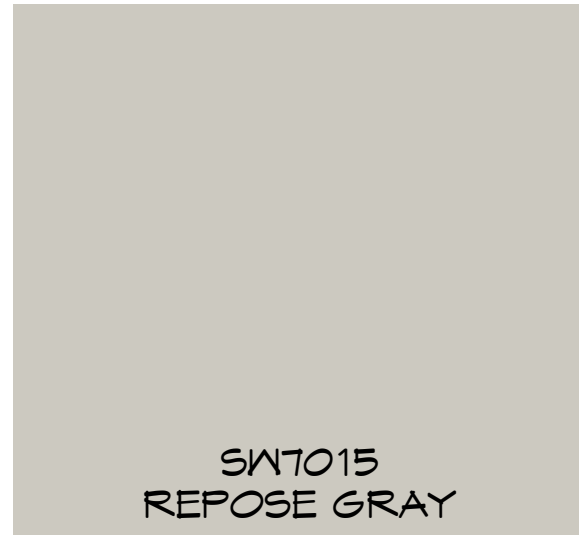
FILE NAME :
4-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
3/22/2023
12:20:36 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E. Drafting Corp. No reuse or reproduction is allowed without the written consent from E. Drafting Corp.

**SHEET
Elevations**

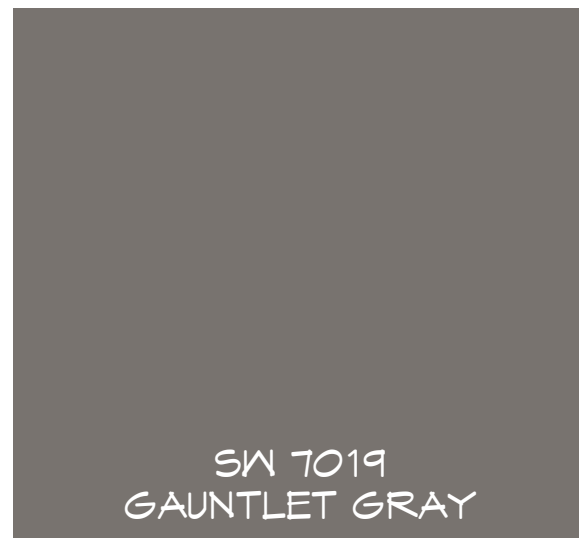
LOTS 44-47 - 4-PLEX FRONT LOAD

BODY

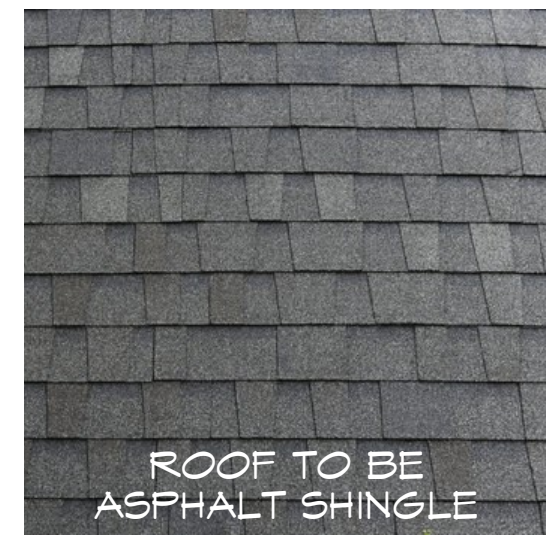
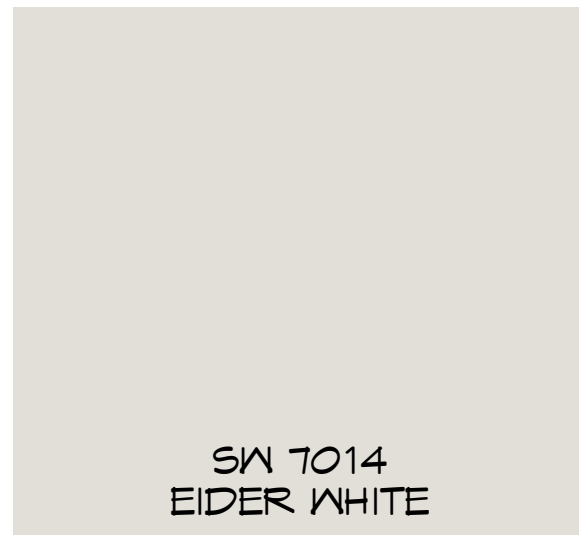


COLOR
SCHEME
No. 4B

ACCENT



TRIM



Item 1.



GREEN MOUNTAIN
4-PLEX (FRONT)

FILE NAME :
4-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
9/22/2023
12:20:36 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E. Drafting Corp. No reuse or reproduction is allowed without the written consent from E. Drafting Corp.

SHEET
Elevations

4 PLEX - FRONT LOAD



FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"

Item 1.

Edrafting.com
Email: edrafting@edrafting.com
Brian Emrich: 360-904-4552

**GREEN MOUNTAIN
4-PLEX (FRONT)**

FILE NAME :
4-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
**9/30/2023
12:15:53 PM**

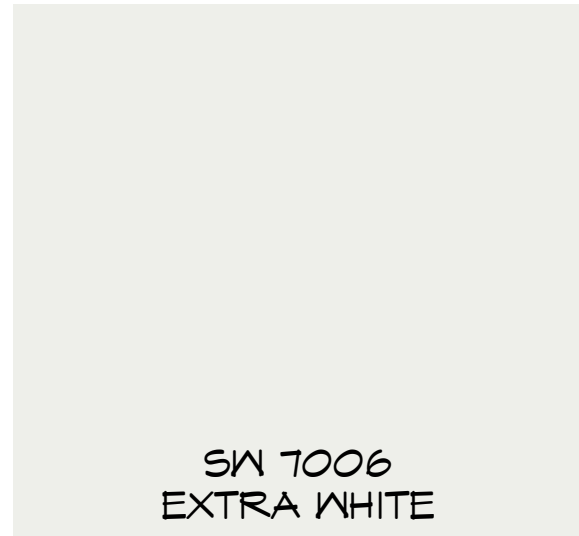
Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

**SHEET
Elevations**

A5 32

LOTS 48-51 - 4-PLEX FRONT LOAD

BODY



SW 7006
EXTRA WHITE



7" SMOOTH FIBER
CEMENT LAP SIDING

COLOR
SCHEME
No. 3C

ACCENT



SW 9162
AFRICAN GRAY



ACCENT SIDING TO
BE HARDIE REVEAL

TRIM



SW 7076
CYBERSPACE



FIBER CEMENT
HARDIE TRIM



ROOF TO BE
ASPHALT SHINGLE

Item 1.



GREEN MOUNTAIN
4-PLEX (FRONT)

FILE NAME :
4-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
9/30/2023
12:15:53 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

SHEET
Elevations

2 PLEX - FRONT LOAD



END UNIT C - LOT 53 END UNIT C - LOT 52

FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"

Item 1.



GREEN MOUNTAIN 2-PLEX (FRONT)

FILE NAME :
LOTS 52-53_2-PLEX FRONT

DRAWN BY:
EDRAFT

SCALE :
As indicated

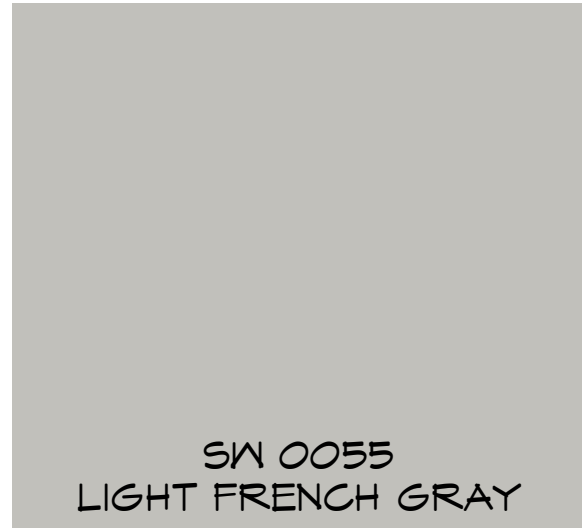
PLOT DATE :
3/21/2023
3:58:26 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E. Drafting Corp. No reuse or reproduction is allowed without the written consent from E. Drafting Corp.

SHEET
Elevations

LOTS 52-53 - 2-PLEX FRONT LOAD

BODY



COLOR
SCHEME
No. 2C

ACCENT



TRIM



Item 1.



GREEN MOUNTAIN
2-PLEX (FRONT)

FILE NAME :

LOTS 52-53_2-PLEX FRONT

DRAWN BY:

EDRAFT

SCALE :

As indicated

PLOT DATE :

3/21/2023
3:58:26 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

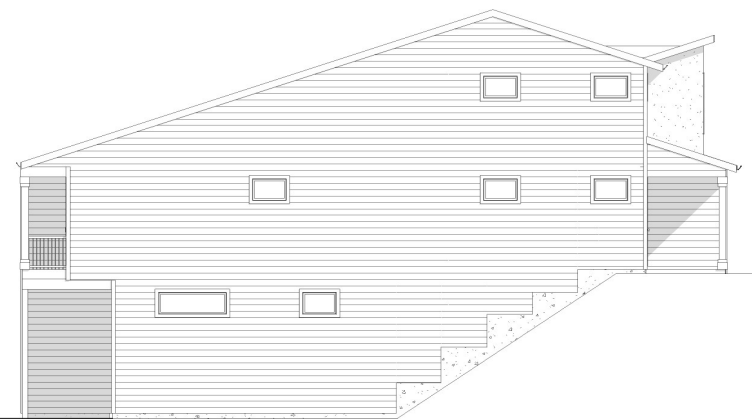
SHEET
Elevations

A5

3 PLEX DAYLIGHT - FRONT LOAD



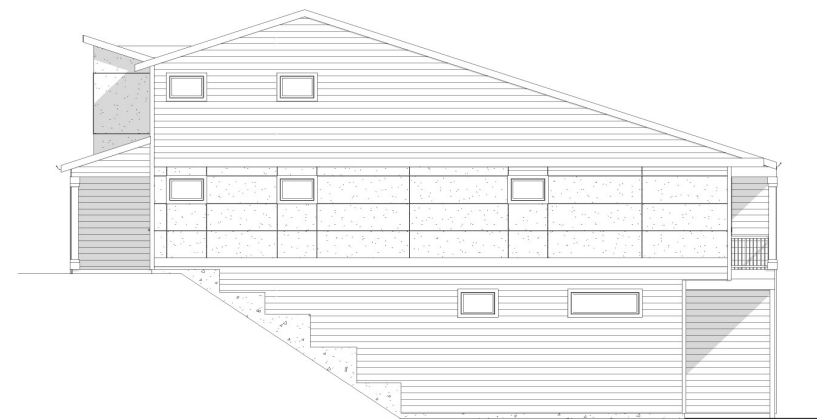
FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"

Item 1.



Brian Emrich:
360-909-4552
edrafting@comcast.net

**GREEN MOUNTAIN
3-PLEX DAYLIGHT
(FRONT)**

FILE NAME :
LOTS 54-56_3-PLEX
DRAWN BY:
EDRAFT
SCALE:
As indicated
PLOT DATE:
3/30/2023
1:19:11 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. The Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

**SHEET
Elevations**

LOTS 54-56 - 3-PLEX DAYLIGHT FRONT LOAD

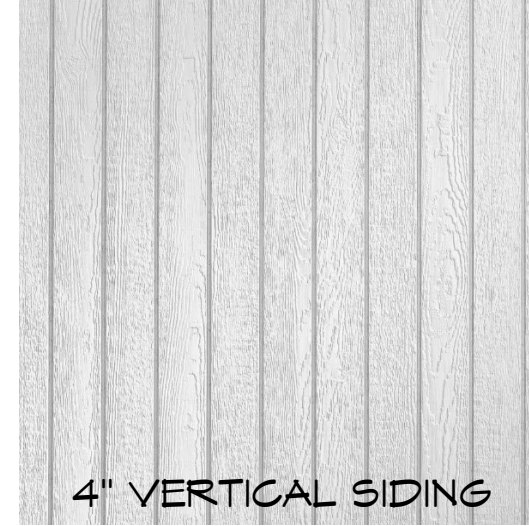
BODY



SW6252
ICE CUBE



7" SMOOTH FIBER
CEMENT LAP SIDING



4" VERTICAL SIDING

COLOR SCHEME No. 1A

ACCENT



SW 6257
GIBRALTAR



ACCENT SIDING TO
BE HARDIE REVEAL

TRIM



SW6254
LAZY GRAY



FIBER CEMENT
HARDIE TRIM



ROOF TO BE
ASPHALT SHINGLE

Item 1.



GREEN MOUNTAIN
3-PLEX DAYLIGHT
(FRONT)

FILE NAME :
LOTS 54-56_3-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
3/30/2023
1:19:11 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. The Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

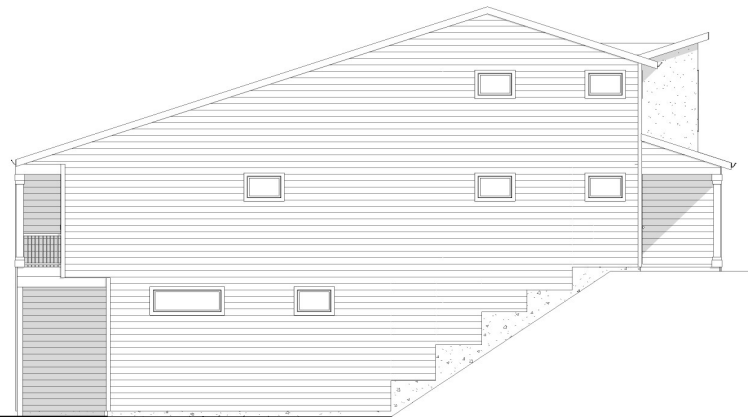
SHEET
Elevations

4 PLEX DAYLIGHT - FRONT LOAD



FRONT ELEVATION

1/4" = 1'-0"



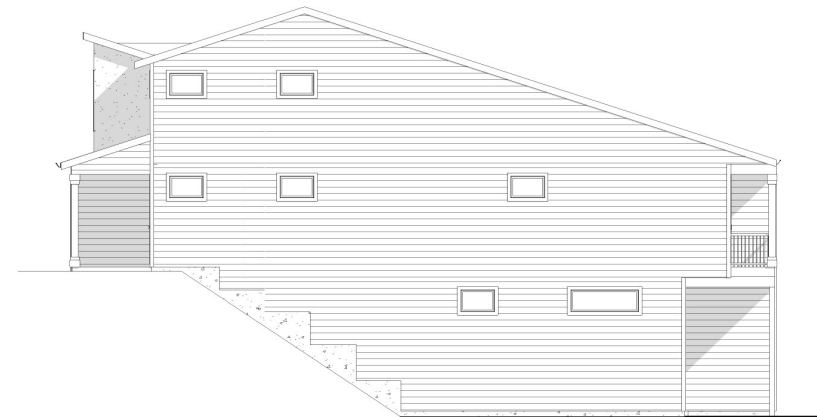
LEFT ELEVATION

1/8" = 1'-0"



REAR ELEVATION

1/8" = 1'-0"



RIGHT ELEVATION

1/8" = 1'-0"

Item 1.



**GREEN MOUNTAIN
4-PLEX DAYLIGHT
(FRONT)**

FILE NAME :
LOTS 57-60_4-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
3/28/2023
10:55:54 AM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

**SHEET
Elevations**

A5

38

LOTS 57-60 - 4-PLEX DAYLIGHT FRONT LOAD

BODY



SW 7019
Gauntlet Gray



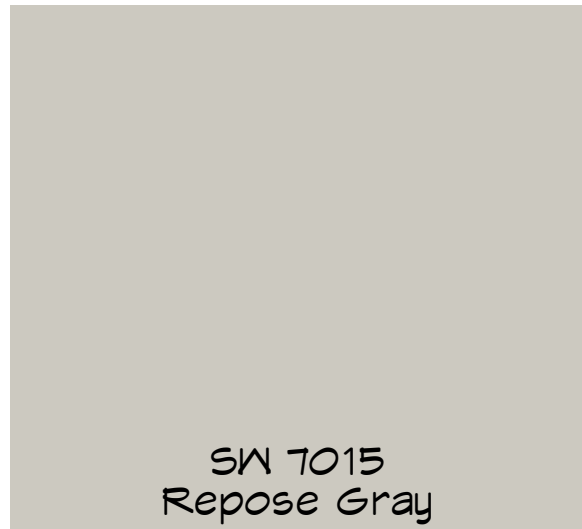
7" SMOOTH FIBER
CEMENT LAP SIDING



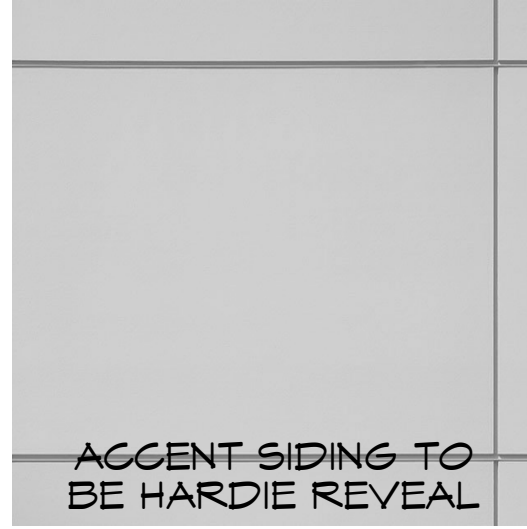
4" VERTICAL SIDING

COLOR
SCHEME
No. 5A

ACCENT

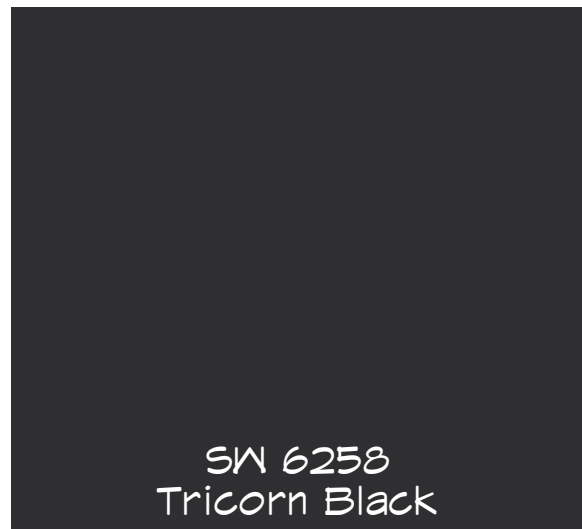


SW 7015
Repose Gray



ACCENT SIDING TO
BE HARDIE REVEAL

TRIM



SW 6258
Tricorn Black



FIBER CEMENT
HARDIE TRIM



ROOF TO BE
ASPHALT SHINGLE

Item 1.



GREEN MOUNTAIN
4-PLEX DAYLIGHT
(FRONT)

FILE NAME :
LOTS 57-60_4-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
9/28/2023
10:55:54 AM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

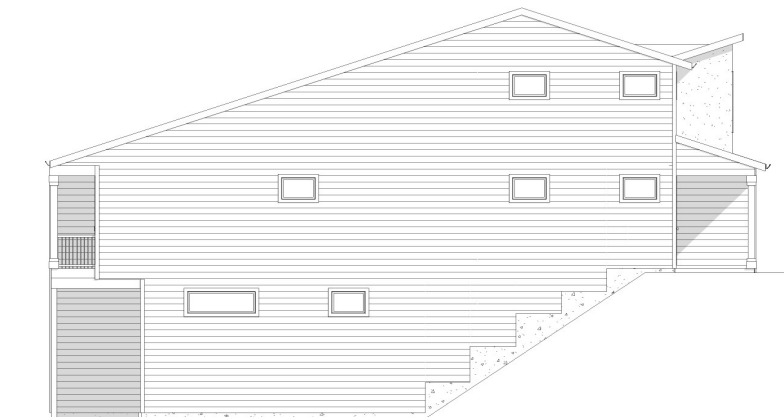
SHEET
Elevations

4 PLEX DAYLIGHT - FRONT LOAD



FRONT ELEVATION

1/4" = 1'-0"



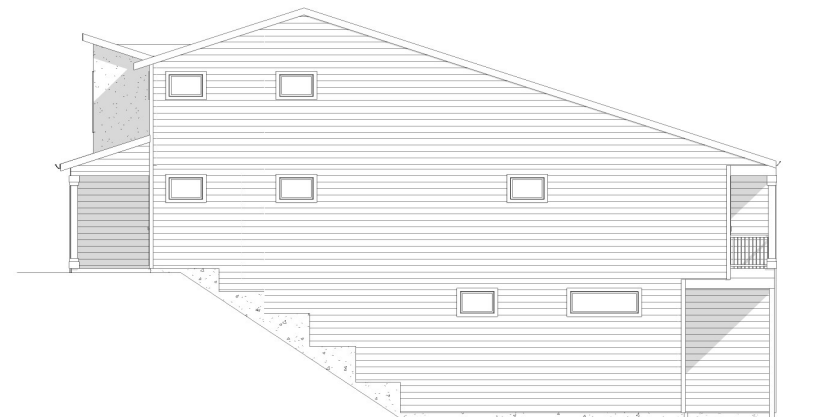
LEFT ELEVATION

1/8" = 1'-0"



REAR ELEVATION

1/8" = 1'-0"



RIGHT ELEVATION

1/8" = 1'-0"

Item 1.



**GREEN MOUNTAIN
4-PLEX DAYLIGHT
(FRONT)**

FILE NAME :
LOTS 61-64_4-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
3/28/2023
9:21:29 AM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

**SHEET
Elevations**

A5 40

LOTS 61-64 - 4-PLEX DAYLIGHT FRONT LOAD

BODY



COLOR SCHEME No. 2A

ACCENT



TRIM



Item 1.



GREEN MOUNTAIN
4-PLEX DAYLIGHT
(FRONT)

FILE NAME :
LOTS 61-64_4-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
3/28/2023
9:21:29 AM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

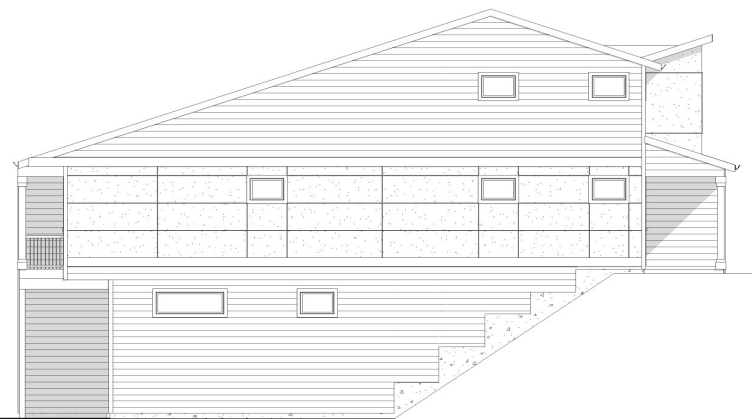
SHEET
Elevations

4 PLEX DAYLIGHT - FRONT LOAD



FRONT ELEVATION

1/4" = 1'-0"



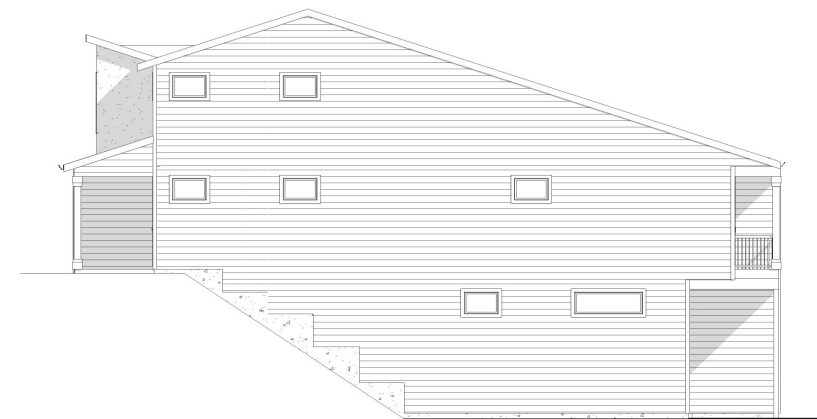
LEFT ELEVATION

1/8" = 1'-0"



REAR ELEVATION

1/8" = 1'-0"



RIGHT ELEVATION

1/8" = 1'-0"

Item 1.



**GREEN MOUNTAIN
4-PLEX DAYLIGHT
(FRONT)**

FILE NAME :
LOTS 65-68_4-PLEX
DRAWN BY:
EDRAFT
SCALE:
As indicated
PLOT DATE :
3/28/2023
9:08:29 AM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

**SHEET
Elevations**

A5

42

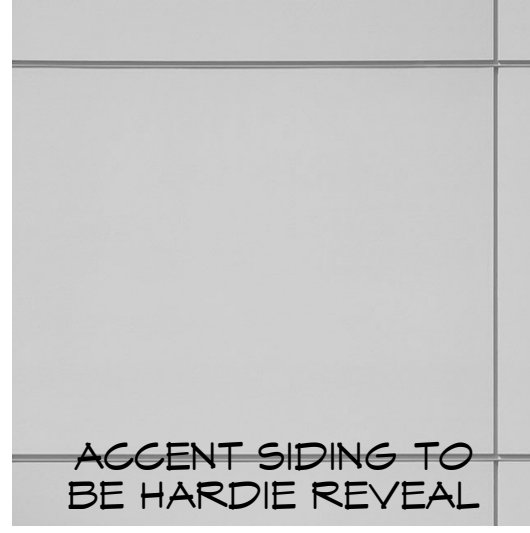
LOTS 65-68 - 4-PLEX DAYLIGHT FRONT LOAD

BODY

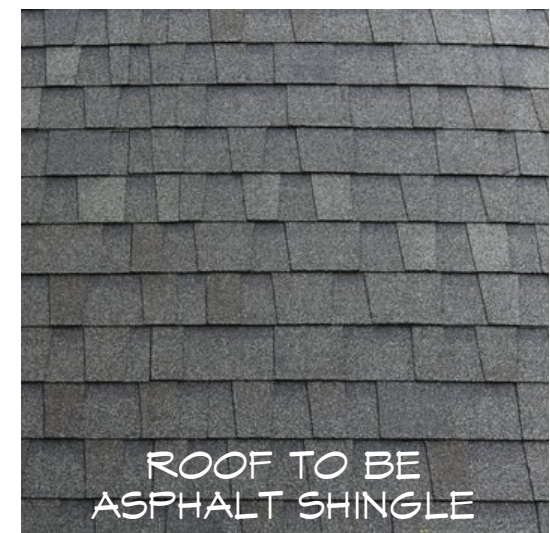
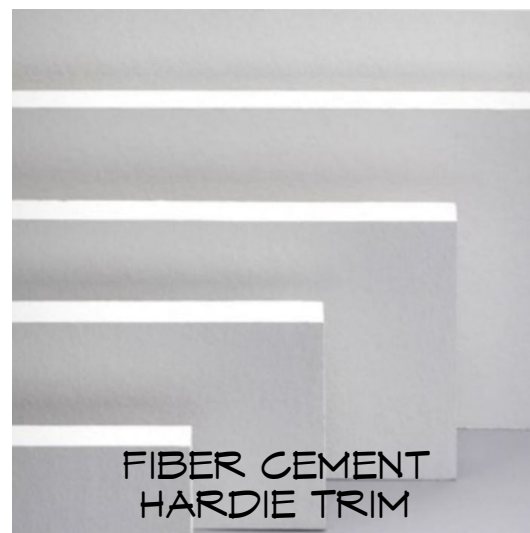
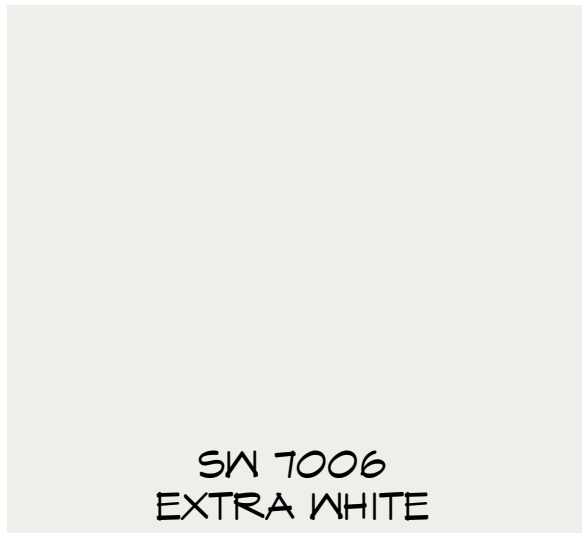


COLOR SCHEME No. 3A

ACCENT



TRIM



Item 1.



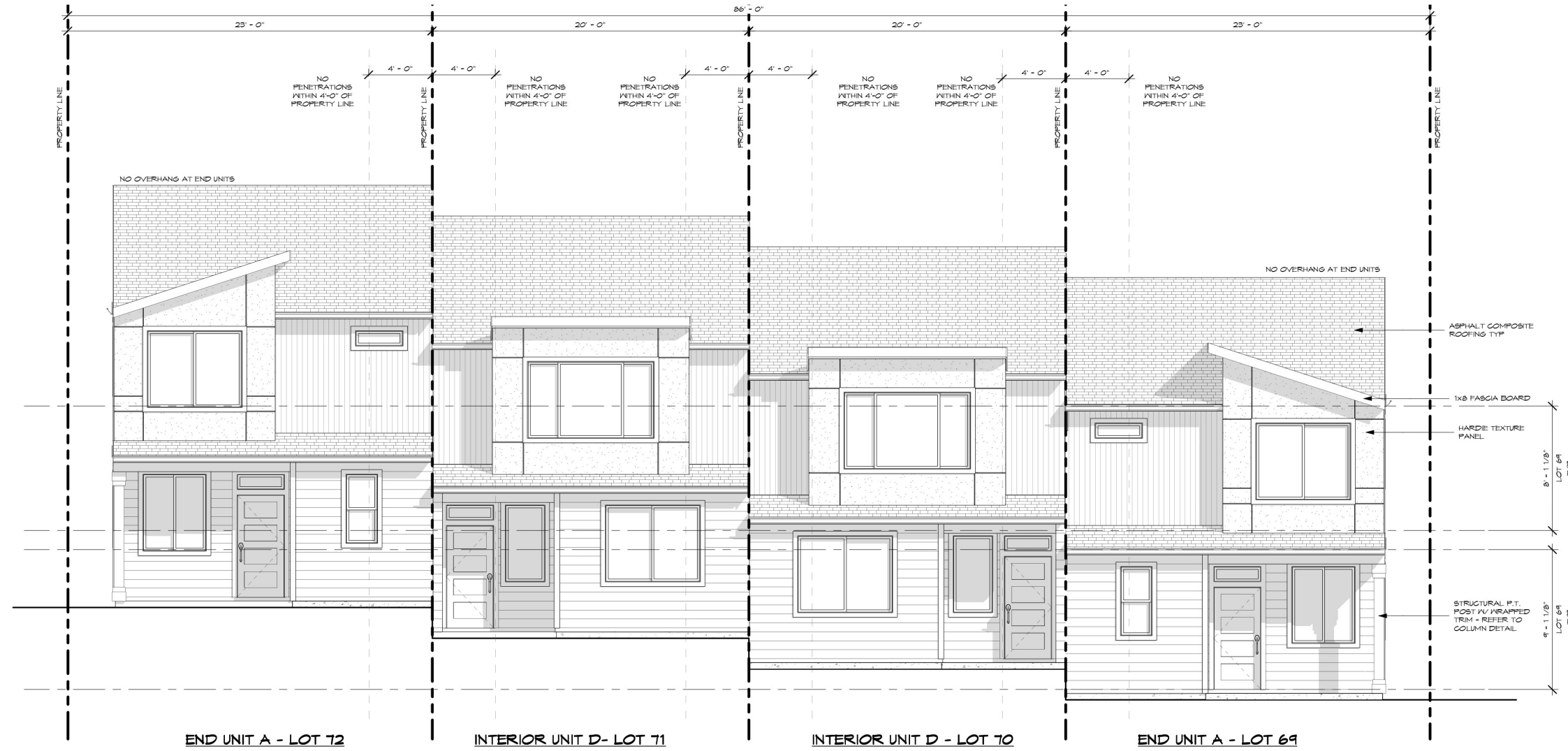
GREEN MOUNTAIN
4-PLEX DAYLIGHT
(FRONT)

FILE NAME :
LOTS 65-68_4-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
3/28/2023
9:08:29 AM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

SHEET
Elevations

4 PLEX - ALLEY LOAD



FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"

Item 1.



**GREEN MOUNTAIN
4-PLEX (ALLEY)**

FILE NAME :
LOT 69-72_4PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
3/23/2023
1:59:08 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

**SHEET
Elevations**

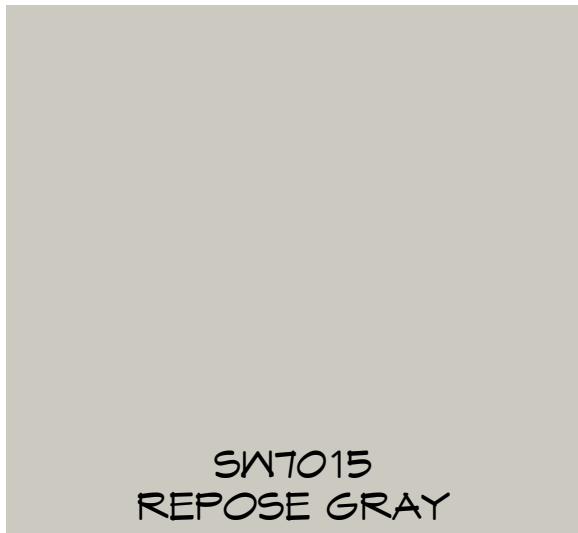
LOTS 69-72 - 4-PLEX ALLEY LOAD

BODY



COLOR
SCHEME
No. 4A

ACCENT



TRIM



Item 1.



GREEN MOUNTAIN
4-PLEX (ALLEY)

FILE NAME :
LOT 69-72_4PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
3/23/2023
1:54:08 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

SHEET
Elevations

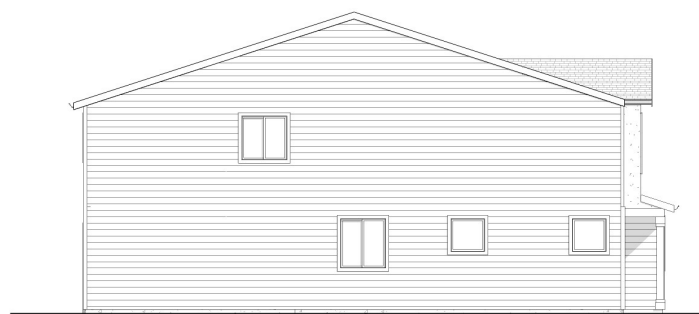
Item 1.



2 PLEX - ALLEY LOAD



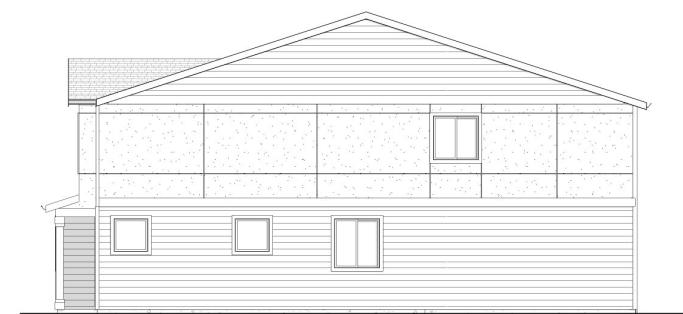
FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"

**GREEN MOUNTAIN
2-PLEX (ALLEY)**

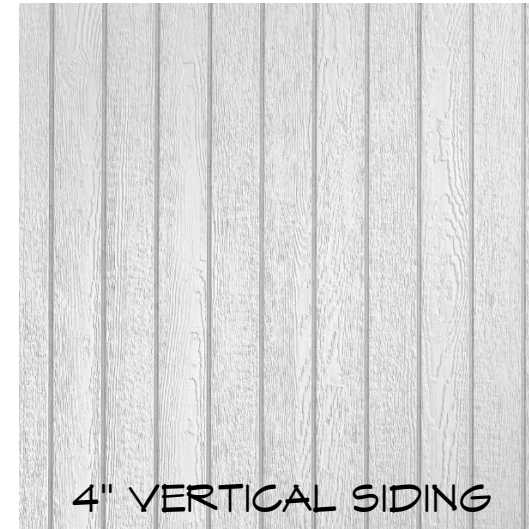
FILE NAME :
LOTS 73-74_2PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
9/24/2023
12:03:42 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

**SHEET
Elevations**

LOTS 73-74 - 2-PLEX ALLEY LOAD

BODY



COLOR
SCHEME
No. 2C

ACCENT



TRIM



Item 1.



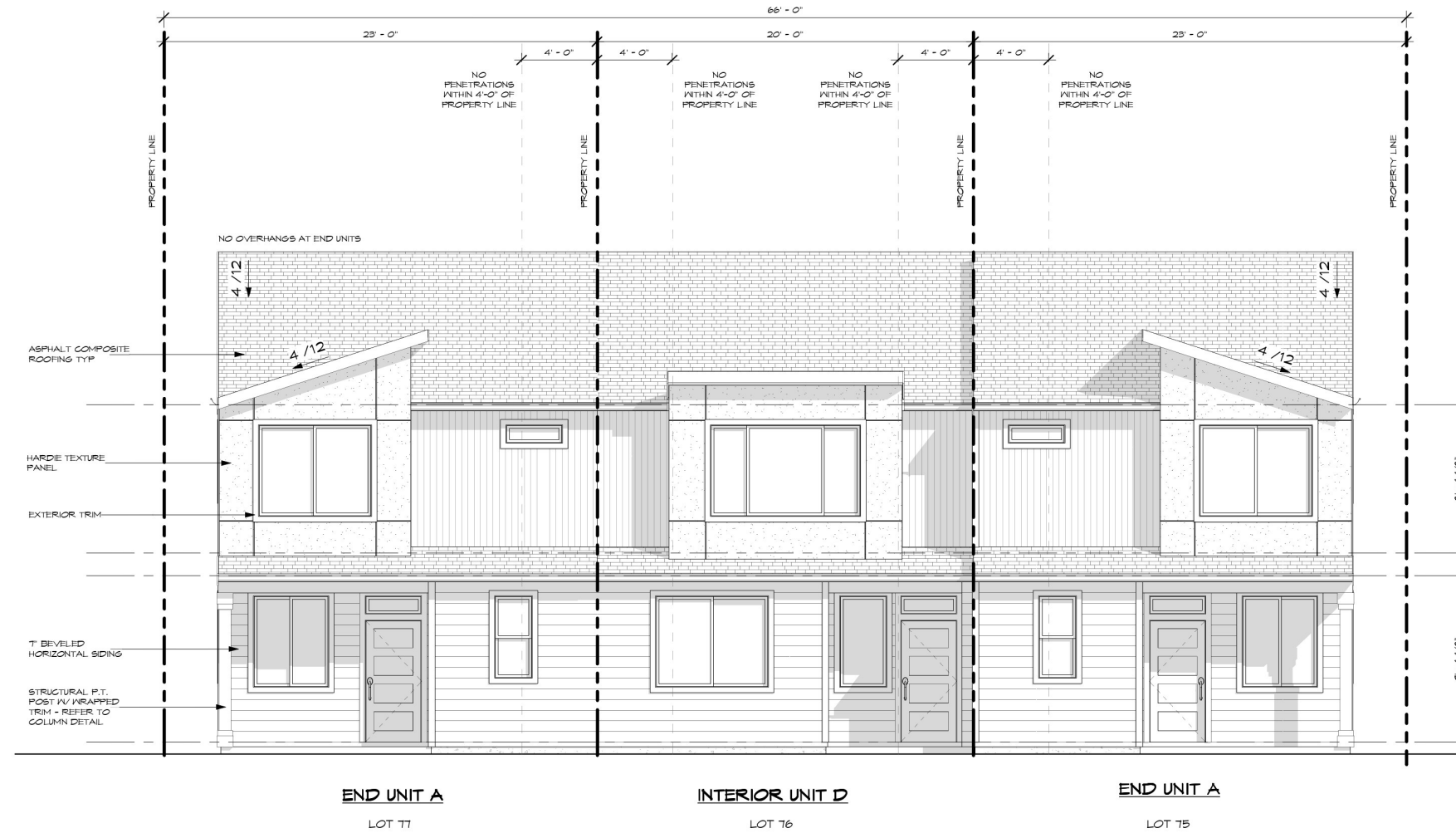
GREEN MOUNTAIN
2-PLEX (ALLEY)

FILE NAME :
LOTS 73-74_2PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
9/24/2023
12:03:42 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation, and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

SHEET
Elevations

3 PLEX - ALLEY LOAD



FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"

Item 1.



**GREEN MOUNTAIN
3-PLEX (ALLEY)**

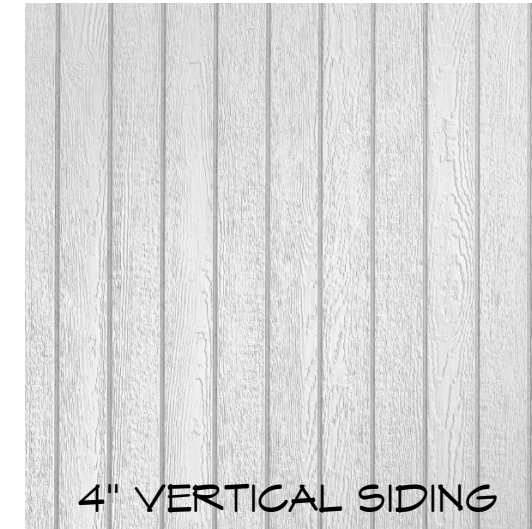
FILE NAME :
LOTS 75-77-3-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
3/30/2023
1:53:24 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. The Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

**SHEET
Elevations**

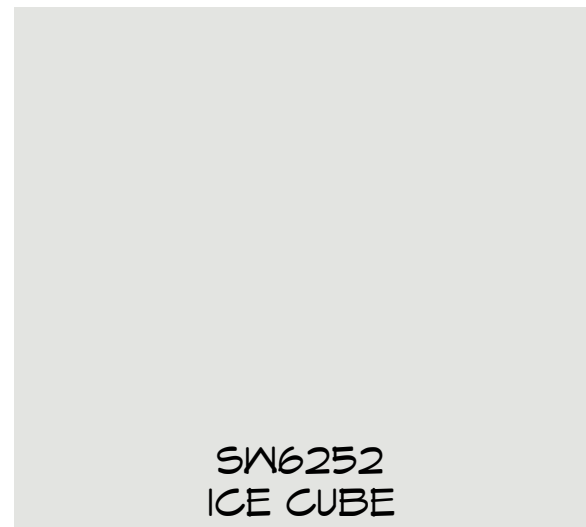
LOTS 75-77 - 3-PLEX ALLEY LOAD

BODY



COLOR SCHEME No. 1C

ACCENT



TRIM



Item 1.



GREEN MOUNTAIN 3-PLEX (ALLEY)

FILE NAME :
LOTS 75-77_3-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
9/30/2023
1:53:24 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

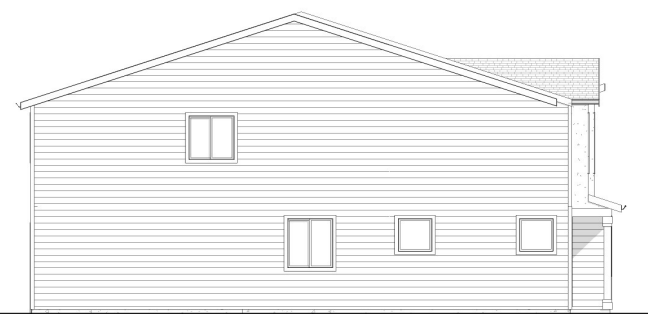
SHEET
Elevations

4 PLEX - ALLEY LOAD



FRONT ELEVATION

1/4" = 1'-0"



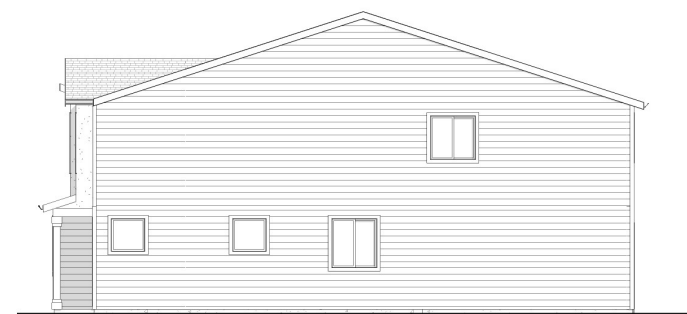
LEFT ELEVATION

1/8" = 1'-0"



REAR ELEVATION

1/8" = 1'-0"



RIGHT ELEVATION

1/8" = 1'-0"

Item 1.



**GREEN MOUNTAIN
4-PLEX (ALLEY)**

FILE NAME :
LOTS 78-81 4-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
3/24/2023
3:25:08 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

**SHEET
Elevations**

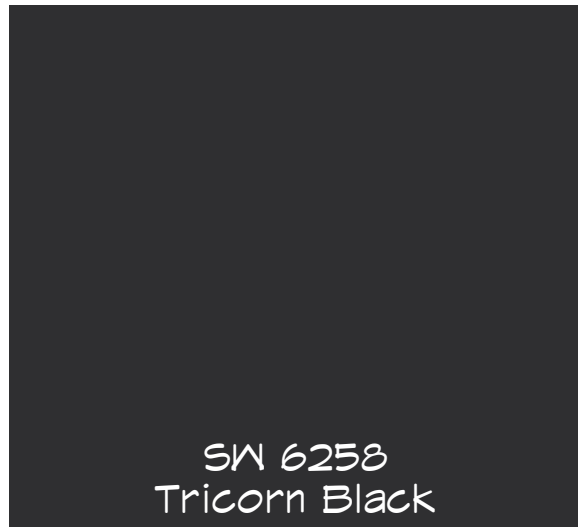
LOTS 78-81 - 4-PLEX ALLEY LOAD

BODY



COLOR
SCHEME
No. 5C

ACCENT



TRIM



Item 1.



GREEN MOUNTAIN
4-PLEX (ALLEY)

FILE NAME :
LOTS 78-81 4-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
3/24/2023
3:25:08 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

SHEET
Elevations

4 PLEX - ALLEY LOAD



FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"

Item 1.



**GREEN MOUNTAIN
4-PLEX (ALLEY)**

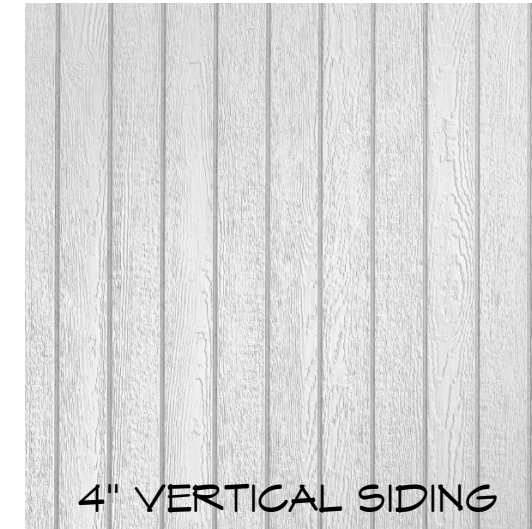
FILE NAME :
LOTS 82-85_4-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
3/24/2023
3:42:21 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

**SHEET
Elevations**

LOTS 82-85 - 4-PLEX ALLEY LOAD

BODY

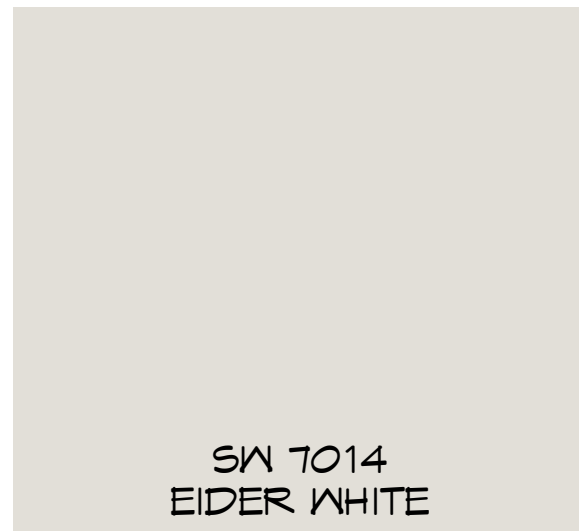


COLOR SCHEME No. 4B

ACCENT



TRIM



Item 1.



GREEN MOUNTAIN 4-PLEX (ALLEY)

FILE NAME :
LOTS 82-85_4-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
3/24/2023
3:42:21 PM

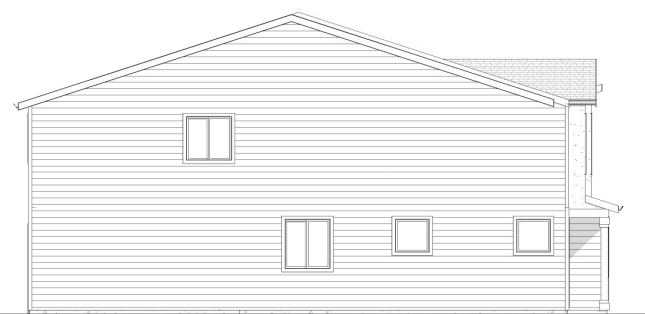
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SHEET
Elevations

4 PLEX - ALLEY LOAD



FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"

Item 1.



**GREEN MOUNTAIN
4-PLEX (ALLEY)**

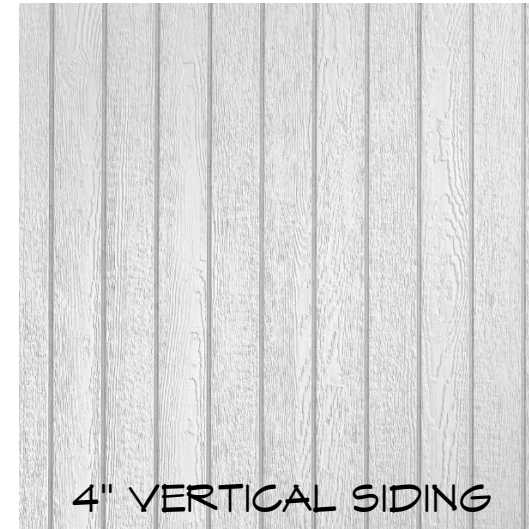
FILE NAME :
LOTS 86-89_4-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
3/24/2023
3:54:25 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

**SHEET
Elevations**

LOTS 86-89 - 4-PLEX ALLEY LOAD

BODY



COLOR
SCHEME
No. 1A

ACCENT



TRIM



Item 1.



GREEN MOUNTAIN
4-PLEX (ALLEY)

FILE NAME :
LOTS 86-89_4-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
3/24/2023
3:54:25 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

SHEET
Elevations

4 PLEX - ALLEY LOAD



FRONT ELEVATION

1/4" = 1'-0"



LEFT ELEVATION

1/8" = 1'-0"



REAR ELEVATION

1/8" = 1'-0"



RIGHT ELEVATION

1/8" = 1'-0"

Item 1.



**GREEN MOUNTAIN
4-PLEX (ALLEY)**

FILE NAME :
LOTS 90-93_4-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
3/30/2023
2:07:06 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

**SHEET
Elevations**

LOTS 90-93 - 4-PLEX ALLEY LOAD

BODY

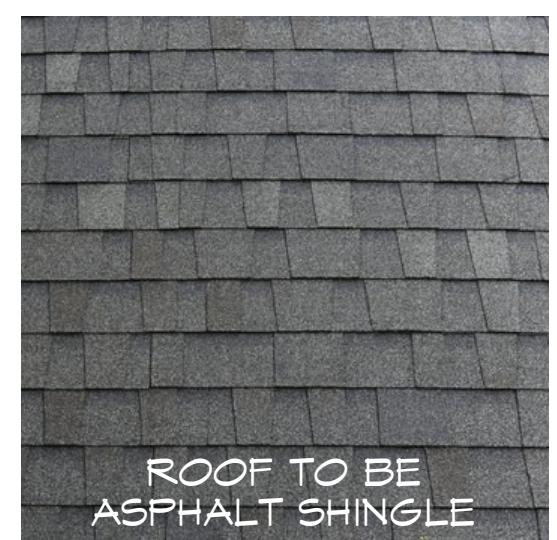
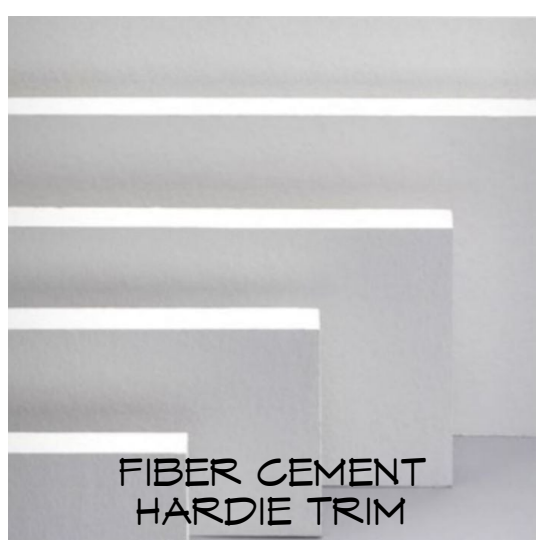
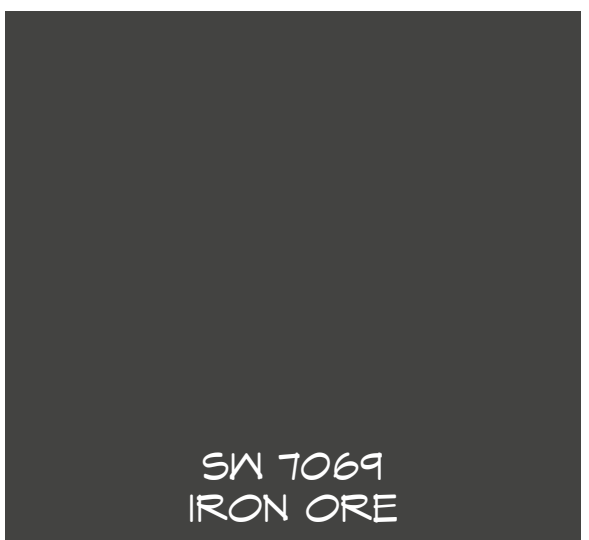


COLOR
SCHEME
No. 2A

ACCENT



TRIM



Item 1.



GREEN MOUNTAIN
4-PLEX (ALLEY)

FILE NAME :
LOTS 90-93_4-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
3/30/2023
2:07:06 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

SHEET
Elevations

4 PLEX - ALLEY LOAD



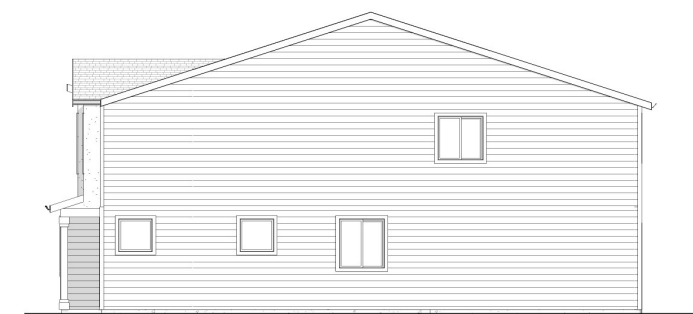
FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"

Item 1.



**GREEN MOUNTAIN
4-PLEX (ALLEY)**

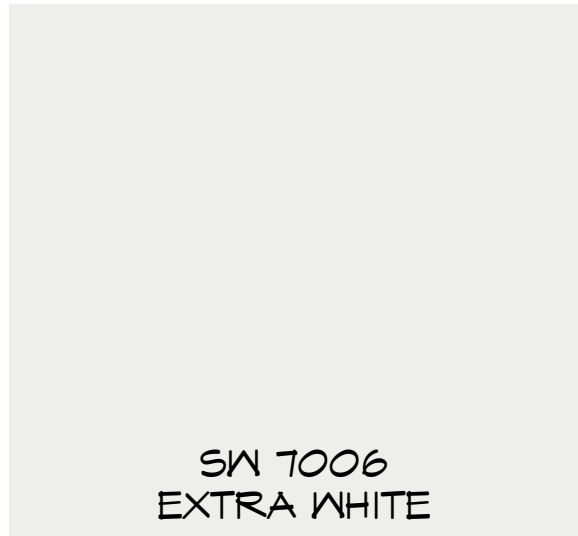
FILE NAME :
LOTS 94-97_4-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
3/27/2023
1:15:31 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

**SHEET
Elevations**

LOTS 94-97 - 4-PLEX ALLEY LOAD

BODY



COLOR
SCHEME
No. 3C

ACCENT



TRIM



Item 1.



GREEN MOUNTAIN
4-PLEX (ALLEY)

FILE NAME :
LOTS 94-97_4-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
9/27/2023
1:15:31 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. The Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

SHEET
Elevations

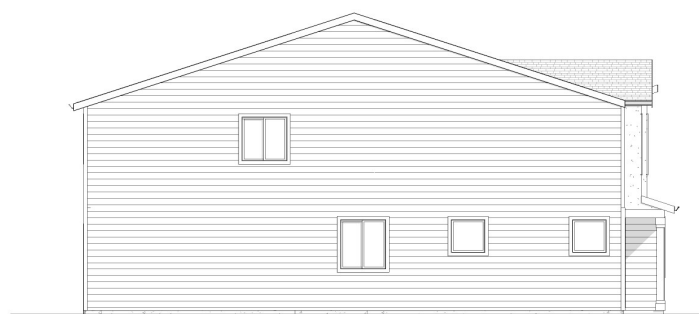
Item 1.



3 PLEX - ALLEY LOAD



FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"

**GREEN MOUNTAIN
3-PLEX (ALLEY)**

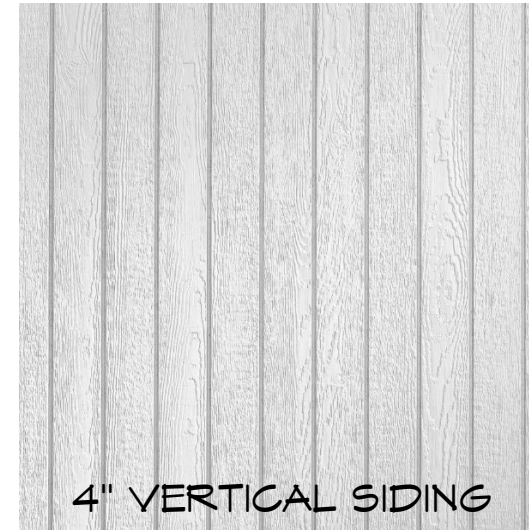
FILE NAME :
LOTS 98-100_3PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
3/27/2023
1:54:02 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

**SHEET
Elevations**

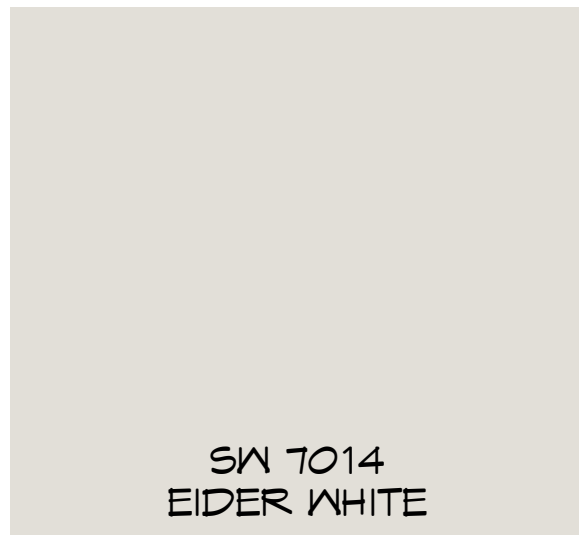
LOTS 98-100 - 3-PLEX ALLEY LOAD

BODY

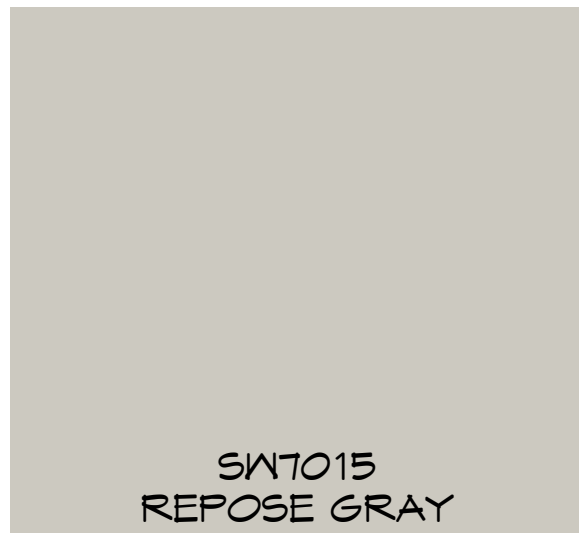


COLOR
SCHEME
No. 4C

ACCENT



TRIM



Item 1.



GREEN MOUNTAIN
3-PLEX (ALLEY)

FILE NAME :
LOTS 98-100_3PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
3/21/2023
1:54:02 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. The Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

SHEET
Elevations

4 PLEX - ALLEY LOAD



FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"

Item 1.



**GREEN MOUNTAIN
4-PLEX (ALLEY)**

FILE NAME :
LOTS 101-104_4-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
3/24/2023
8:18:36 AM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

**SHEET
Elevations**

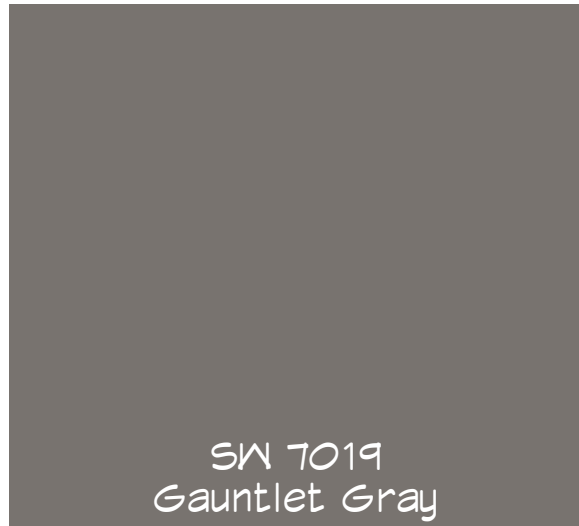
LOTS 101-104 - 4-PLEX ALLEY LOAD

BODY

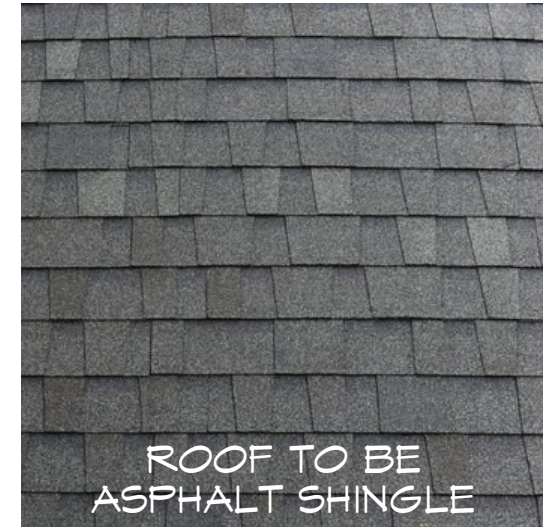
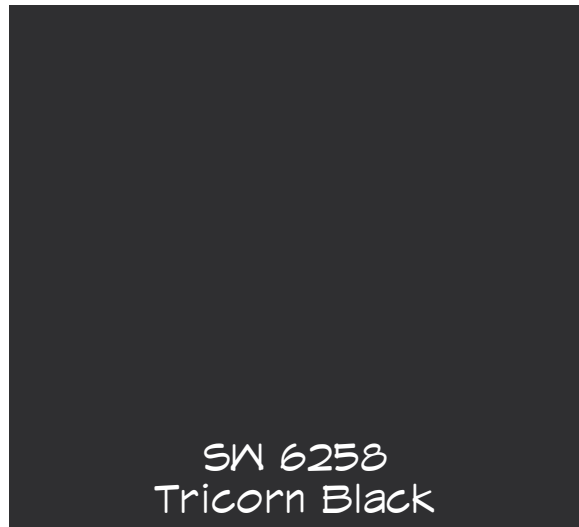


COLOR SCHEME No. 5B

ACCENT



TRIM



Item 1.



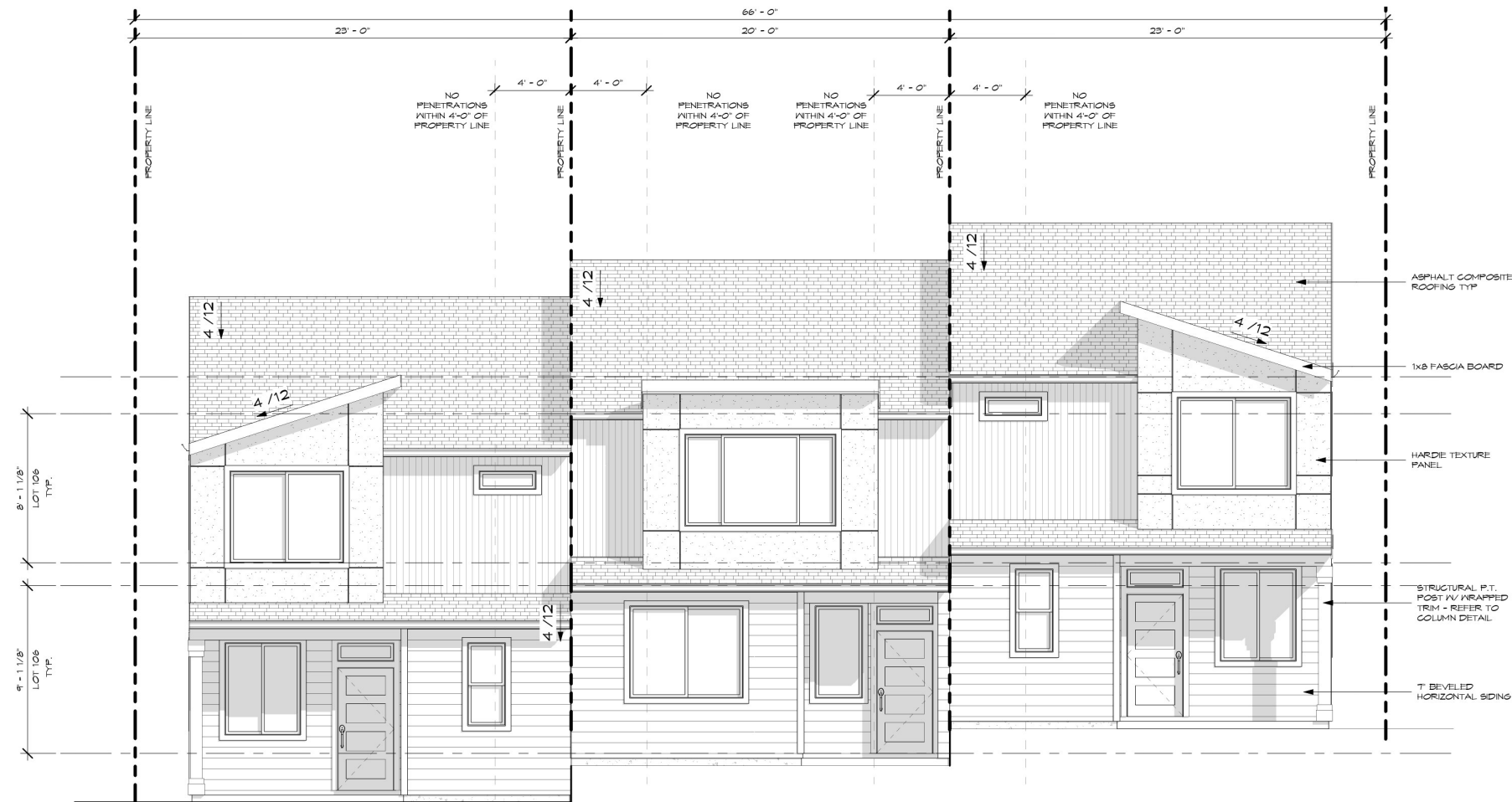
GREEN MOUNTAIN 4-PLEX (ALLEY)

FILE NAME :
LOTS 101-104_4-PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
3/24/2023
8:18:36 AM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

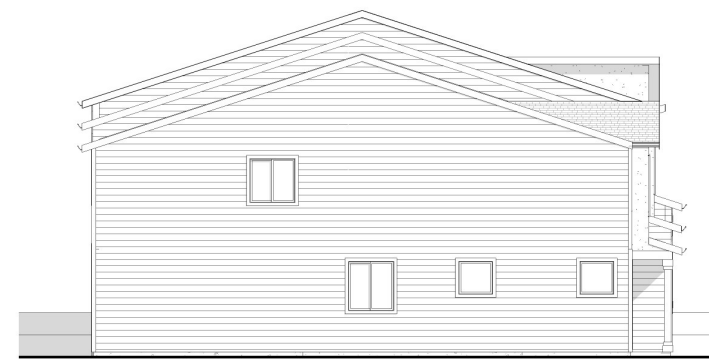
SHEET
Elevations

Item 1.



END UNIT A - LOT 107 INTERIOR UNIT D - LOT 106 END UNIT A - LOT 105

FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"

**GREEN MOUNTAIN
3-PLEX (ALLEY)**

FILE NAME :
LOTS 105-107_3PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
3/21/2023
11:01:12 AM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

**SHEET
Elevations**

LOTS 105-107- 3-PLEX ALLEY LOAD

BODY



SW 7076
CYBERSPACE



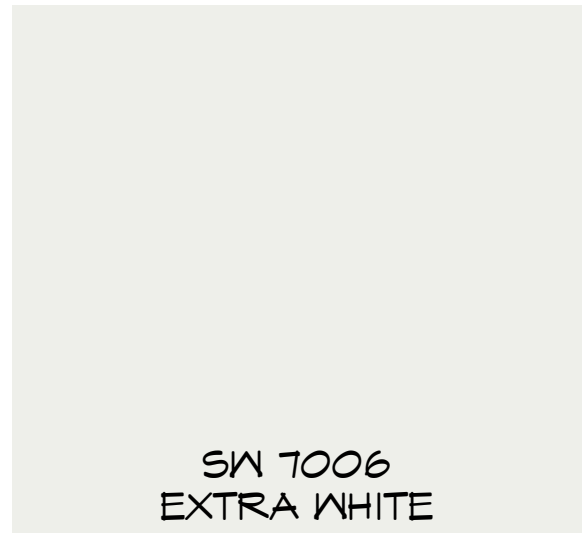
1" SMOOTH FIBER
CEMENT LAP SIDING



4" VERTICAL SIDING

COLOR SCHEME No. 3B

ACCENT



SW 7006
EXTRA WHITE



ACCENT SIDING TO
BE HARDIE REVEAL

TRIM



SW 9162
AFRICAN GRAY



FIBER CEMENT
HARDIE TRIM



ROOF TO BE
ASPHALT SHINGLE

Item 1.



GREEN MOUNTAIN 3-PLEX (ALLEY)

FILE NAME :
LOTS 105-107_3PLEX
DRAWN BY:
EDRAFT
SCALE :
As indicated
PLOT DATE :
3/21/2023
11:01:12 AM

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SHEET
Elevations

Item 1.



2 PLEX - ALLEY LOAD



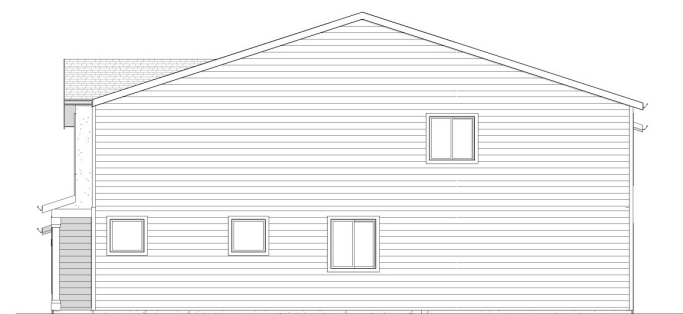
FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"

**GREEN MOUNTAIN
2-PLEX (ALLEY)**

FILE NAME :
LOTS 108-109_2PLEX
DRAWN BY:
EDRAFT
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3/21/2023
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**SHEET
Elevations**

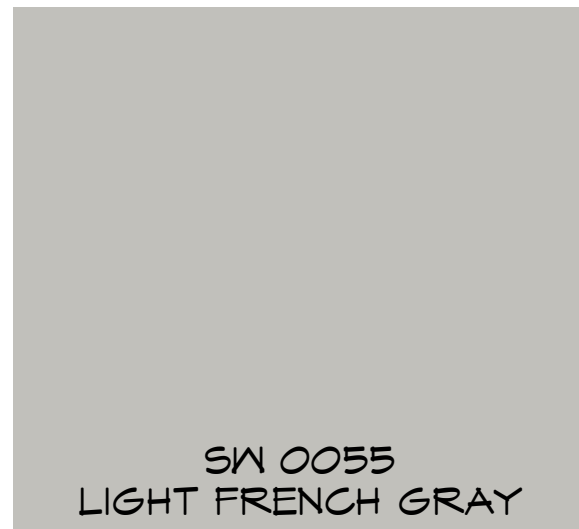
LOTS 108-109- 2-PLEX ALLEY LOAD

BODY



COLOR
SCHEME
No. 2B

ACCENT



TRIM



Item 1.



GREEN MOUNTAIN
2-PLEX (ALLEY)

FILE NAME :
LOTS 108-109_2PLEX
DRAWN BY:
EDRAFT
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As indicated
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3/21/2023
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SHEET
Elevations

Item 1.

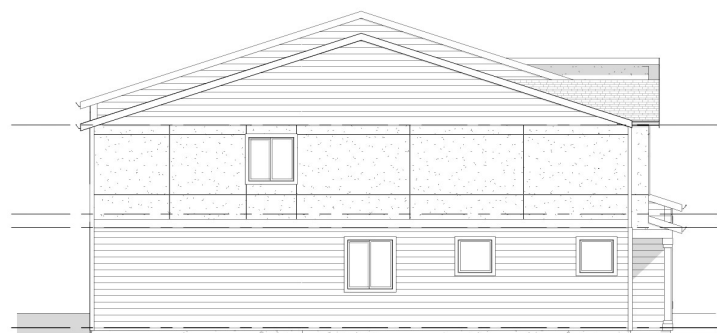


2 PLEX - ALLEY LOAD



FRONT ELEVATION

1/4" = 1'-0"



LEFT ELEVATION

1/8" = 1'-0"



REAR ELEVATION

1/8" = 1'-0"



RIGHT ELEVATION

1/8" = 1'-0"

**GREEN MOUNTAIN
2-PLEX (ALLEY)**

FILE NAME :

LOTS 110-111_2PLEX

DRAWN BY:

EDRAFT

SCALE :

As indicated

PLOT DATE :

3/27/2023

2:16:54 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

**SHEET
Elevations**

A5

68

LOTS 110-111 - 2-PLEX ALLEY LOAD

BODY

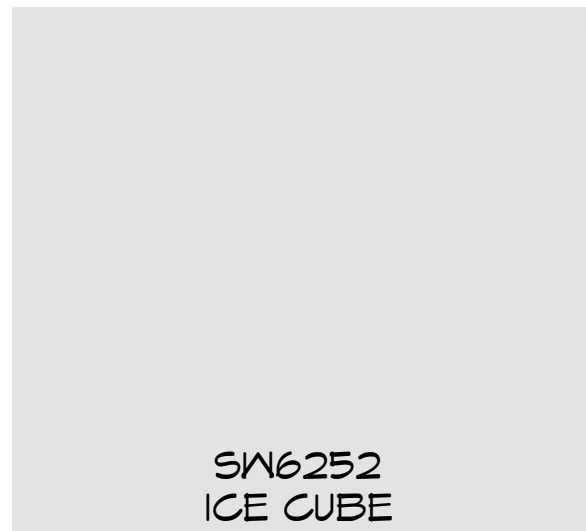


COLOR
SCHEME
No. 1B

ACCENT



TRIM



Item 1.



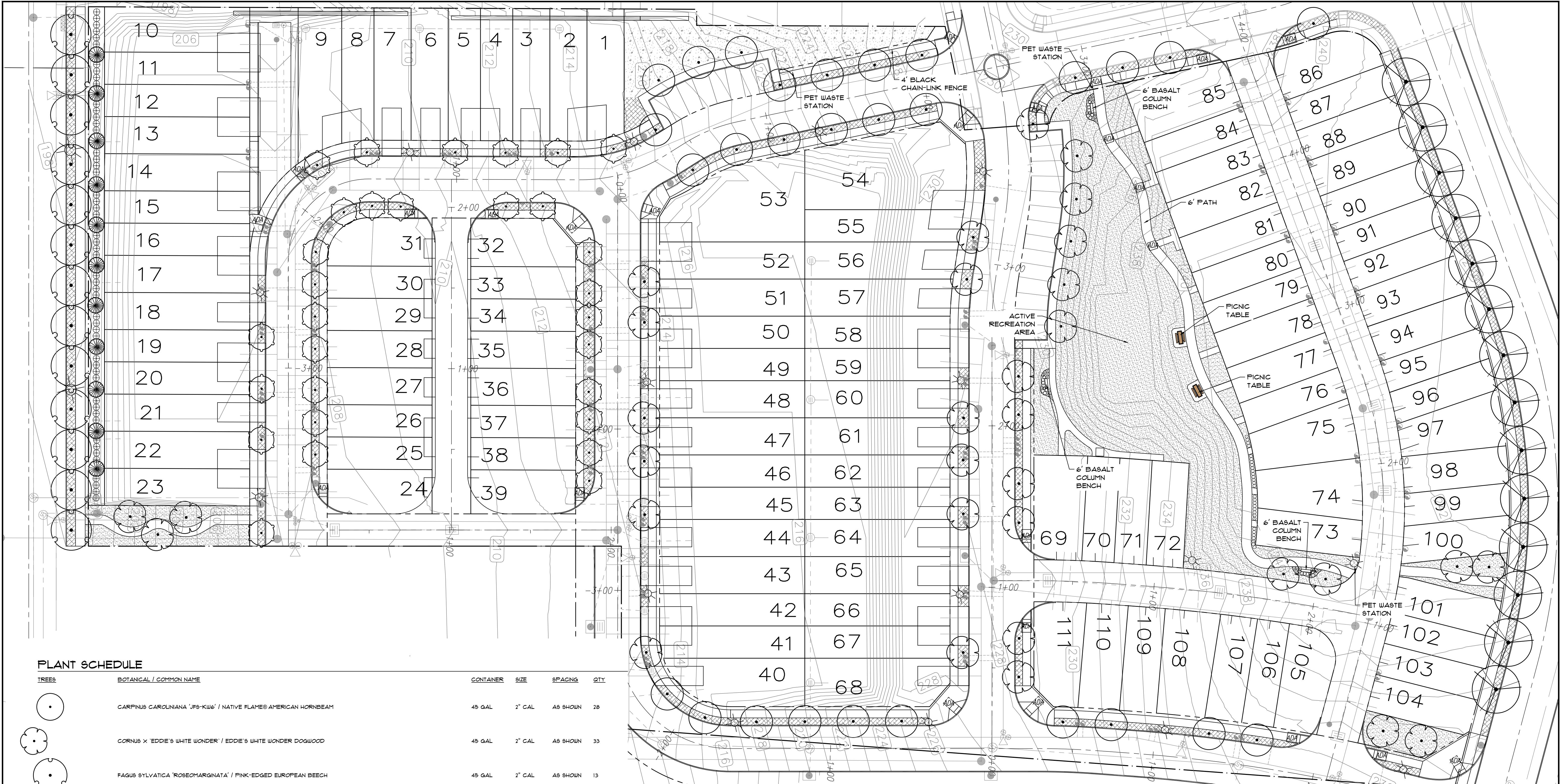
GREEN MOUNTAIN
2-PLEX (ALLEY)

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SCALE :
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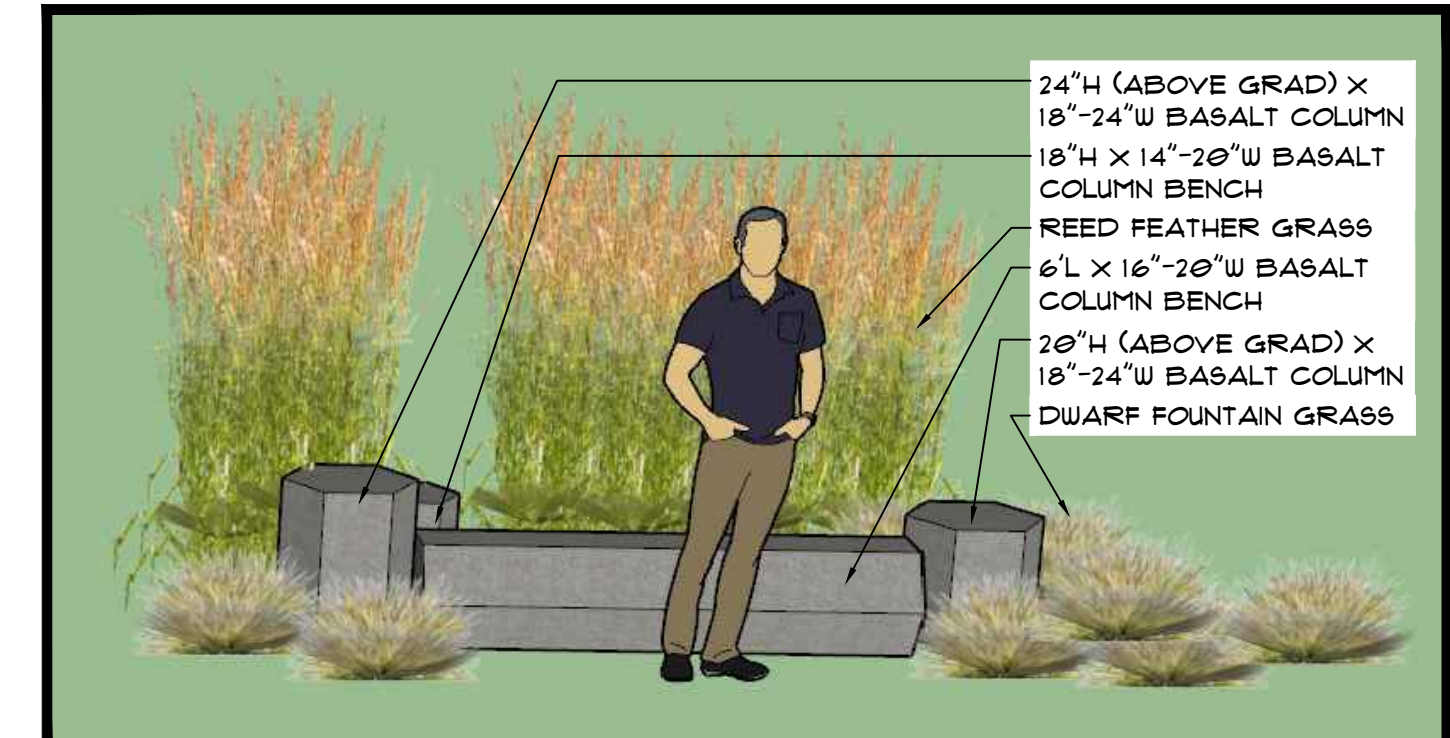
SHEET
Elevations

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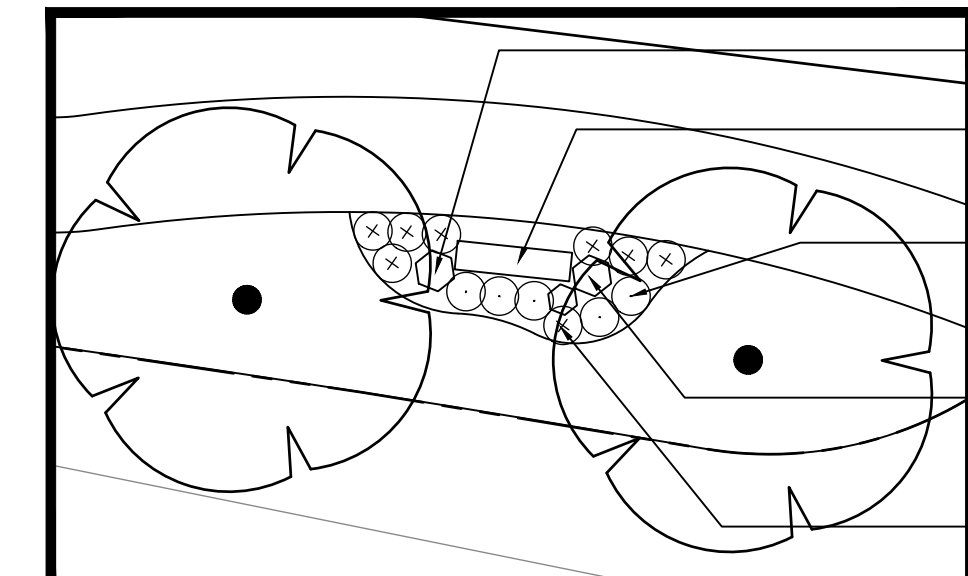


PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONTAINER	SIZE	SPACING	QTY
	CARPINUS CAROLINIANA 'JFS-KW6' / NATIVE FLAME® AMERICAN HORNBEAM	45 GAL	2" CAL	AS SHOWN	28
	CORNUS X 'EDDIE'S WHITE WONDER' / EDDIE'S WHITE WONDER DOGWOOD	45 GAL	2" CAL	AS SHOWN	33
	FAGUS SYLVATICA 'ROSEOMARGINATA' / PINK-EDGED EUROPEAN BEECH	45 GAL	2" CAL	AS SHOWN	13
	GINKGO BILOBA 'SARATOGA' / SARATOGA MAIDENHAIR TREE	45 GAL	2" CAL	AS SHOWN	14
	MALUS X 'PARRIS' TM / PINK PRINCESS CRABAPPLE	45 GAL	2" CAL	AS SHOWN	30
	THUJA X 'GREEN GIANT' / GREEN GIANT ARBORVITAE	15 GAL	6"	AS SHOWN	11
SHRUBS	BOTANICAL / COMMON NAME	CONTAINER	SPREAD	SPACING	QTY
	MAHONIA AQUIFOLIUM / OREGON GRAPE	2 GAL	15"-18"	4' O.C.	51
ORNAMENTAL GRASSES	BOTANICAL / COMMON NAME	CONTAINER	SPREAD	SPACING	QTY
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS	1 GAL		24" O.C.	45
	PENNISETUM ALOPECUROIDES 'HAMELIN' / HAMELIN FOUNTAIN GRASS	1 GAL		24" O.C.	28
GROUND COVERS	BOTANICAL / COMMON NAME	CONTAINER	SPREAD	SPACING	QTY
	PT 161 DOG PARK ECO-LAWN MIX WITH MICROCOVER® HTTPS://PTLAINSEED.COM/COLLECTIONS/ECO-AND-ALTERNATIVE-LAWNS/PRODUCTS/PT-161-DOG-PARK-ECO-TURF-MIX				4,003 SF 4,003 SF
	PT 155 FLEUR DE LAWN® HTTPS://PTLAINSEED.COM/COLLECTIONS/ECO-AND-ALTERNATIVE-LAWNS/PRODUCTS/FLEUR-DE-LAWN				23,811 SF 23,811 SF
	COTONEASTER DAMMERI / BEARBERRY COTONEASTER	1 GAL		4' O.C.	119,390

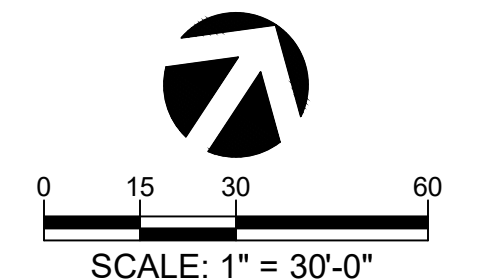


TYPICAL BASALT BENCH ILLUSTRATION

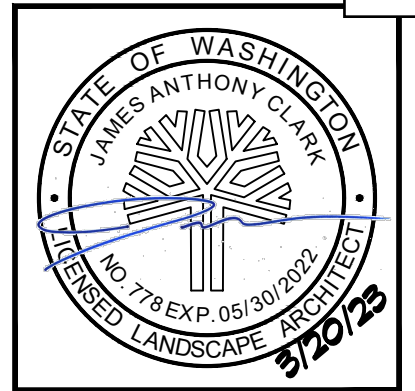


TYPICAL BASALT BENCH INSTALLATION
SCALE 1" = 10'-0"

- NOTES:**
- PLANTS ON THE PLANT SCHEDULE MAY BE SUBSTITUTED WITH A PLANT THAT IS "AN APPROVED EQUAL". "AN APPROVED EQUAL" MEANS: APPROVED BY THE LANDSCAPE ARCHITECT ONLY IF THE REPLACEMENT PLANT IS SELECTED FROM THE CITY OF CAMAS'S PLANT MATERIALS LIST. IF THE PROPOSED PLANT IS NOT SELECTED FROM THE CITY'S PLANT MATERIALS LIST, THE REPLACEMENT PLANT MUST BE APPROVED BY THE CITY AND THE LANDSCAPE ARCHITECT. APPROVAL SHALL BE IN WRITING AND MAY TAKE THE FORM OF AN EMAIL FROM THE DESIGNATED AUTHORITY(S).
 - THE USDA ZONE FOR THIS SITE IS ZONE 8. ALL PLANTS ON THIS PLAN WILL GROW IN ZONE 8 AND ARE ADAPTED TO THIS NORTHWEST CLIMATE IN ACCORDANCE WITH CMC 18.13.050 C.1.
 - STREET TREES MAY BE ELIMINATED OR RELOCATED TO AVOID CONFLICTS WITH FUTURE DRIVEWAYS AND UTILITIES.
 - IRRIGATION WILL BE PROVIDED DESIGN / BUILD BY THE CONTRACTOR. SEE NOTES ON SHEET L5 FOR IRRIGATION INSTALLATION GUIDELINES.
 - SITE FURNISHINGS AND AMENITIES SHALL BE SELECTED BY THE DEVELOPER / PROJECT OWNER.



SCALE: 1" = 30'-0"
THE SCALE BAR SHOWN ABOVE IS CORRECT FOR DRAWINGS PRINTED FULL SIZE (ANSI D OR ARCH D). THE SCALE ABOVE MUST BE DOUBLED FOR DRAWINGS PRINTED HALF SIZE (ANSI B OR ARCH B).



Clark Land Design, PLLC
Land Use Planning
Landscape Architecture
Development Consulting

9801 NE 7th Avenue, Suite A214 | Vancouver, WA 98661 | 509.621.4445 | jclark@clarklanddesign.com

GREEN MOUNTAIN PRD - POD B1

CAMAS, WASHINGTON

811
Know what's below.
Call before you dig.

SHEET TITLE
LANDSCAPE & PARK PLANS

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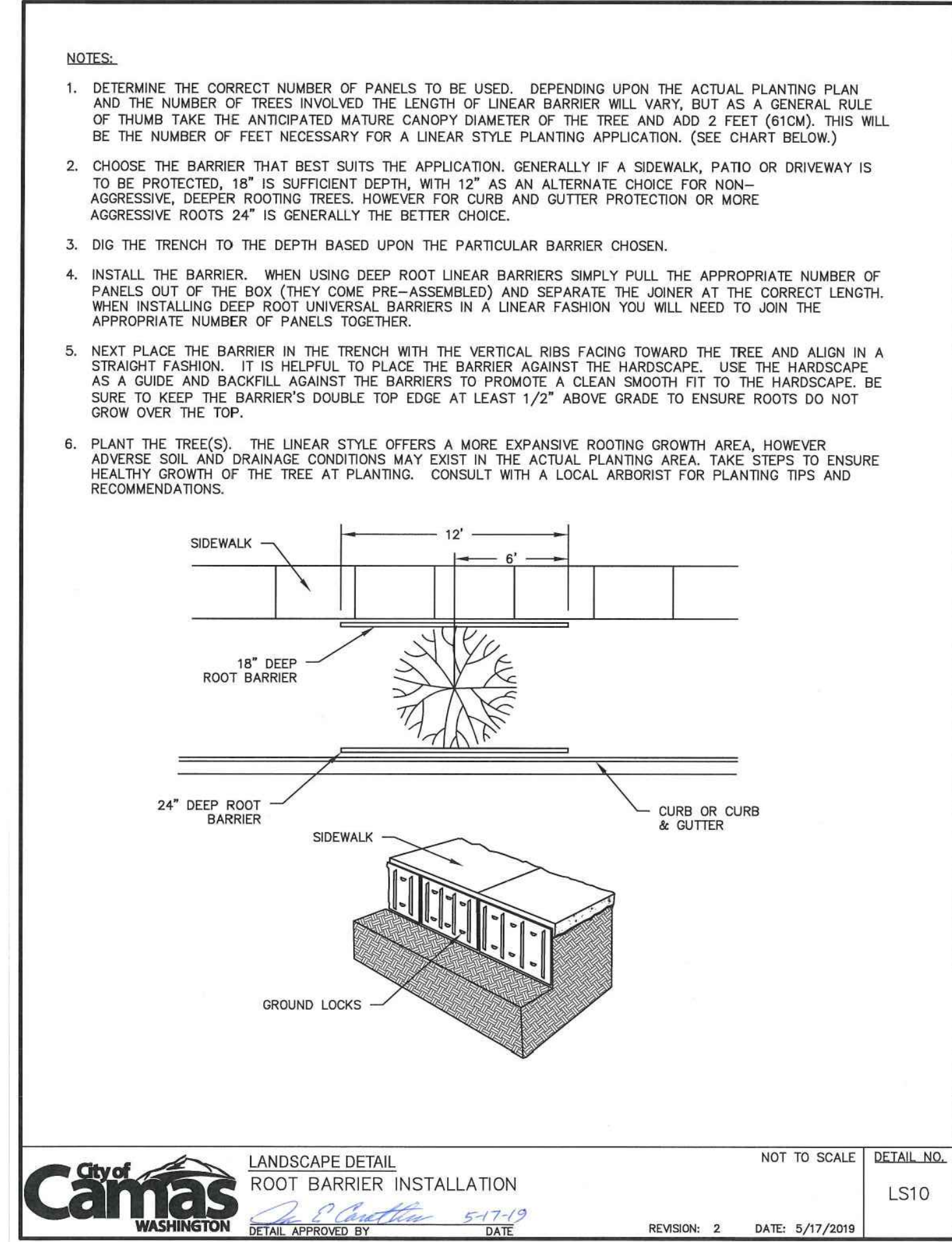
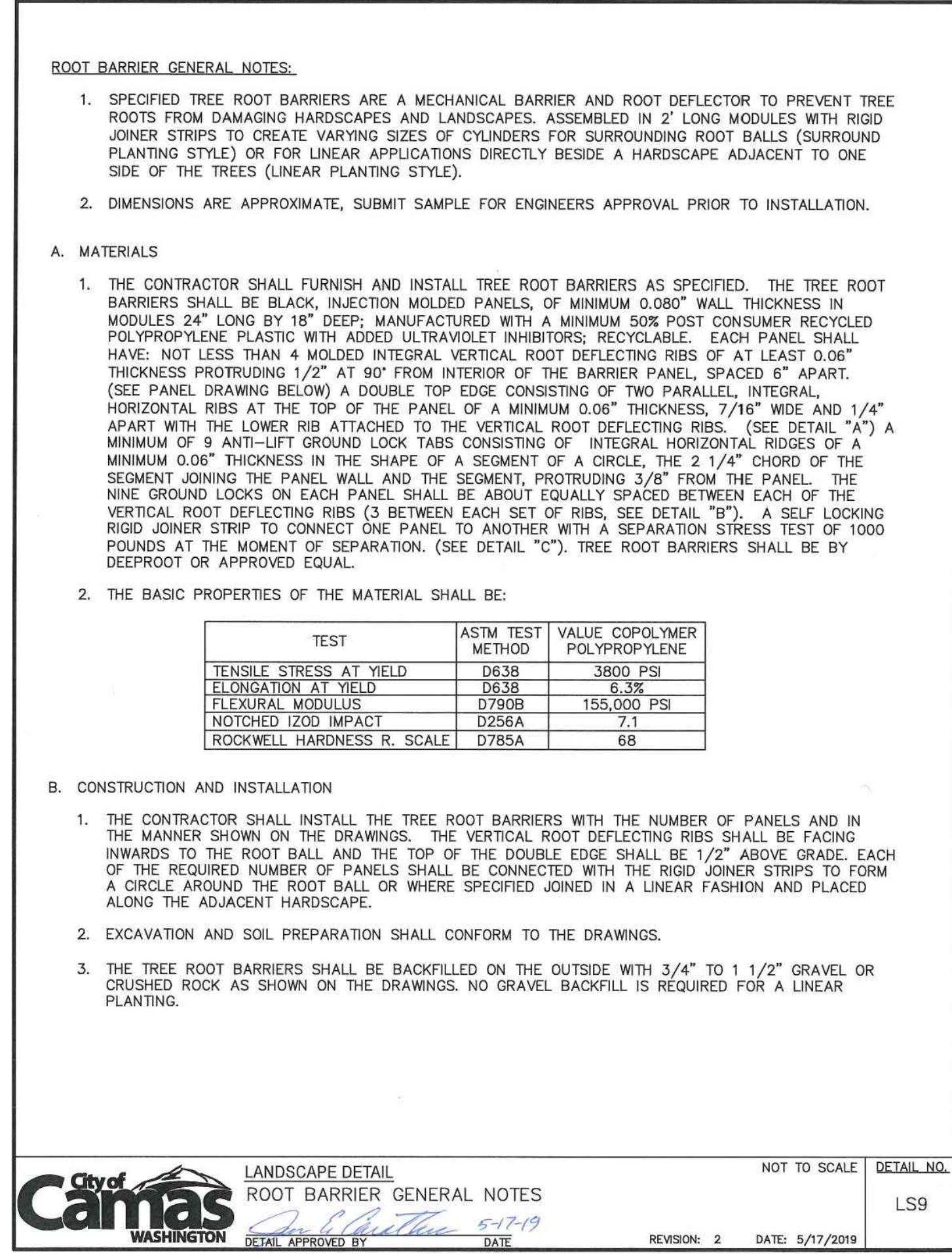
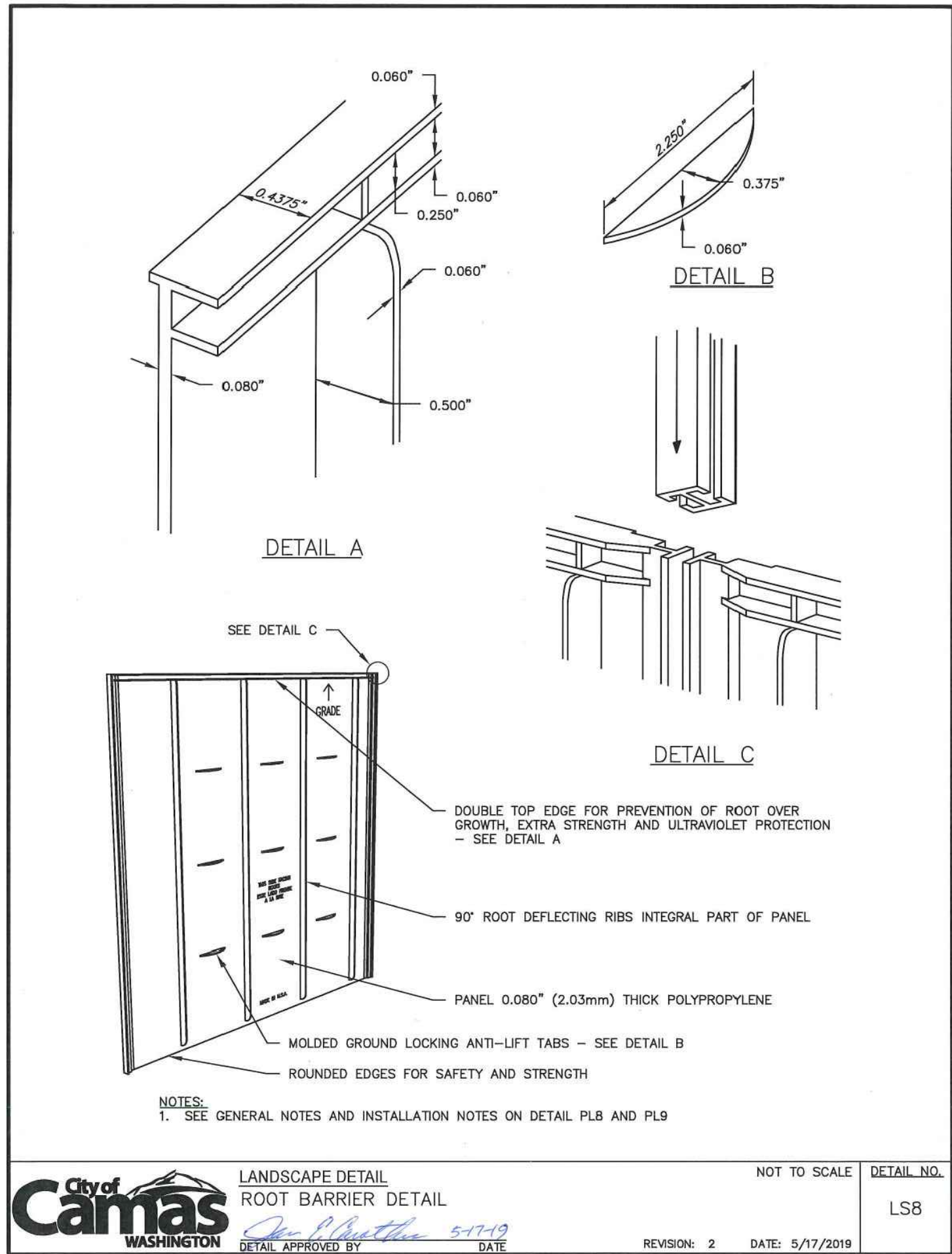
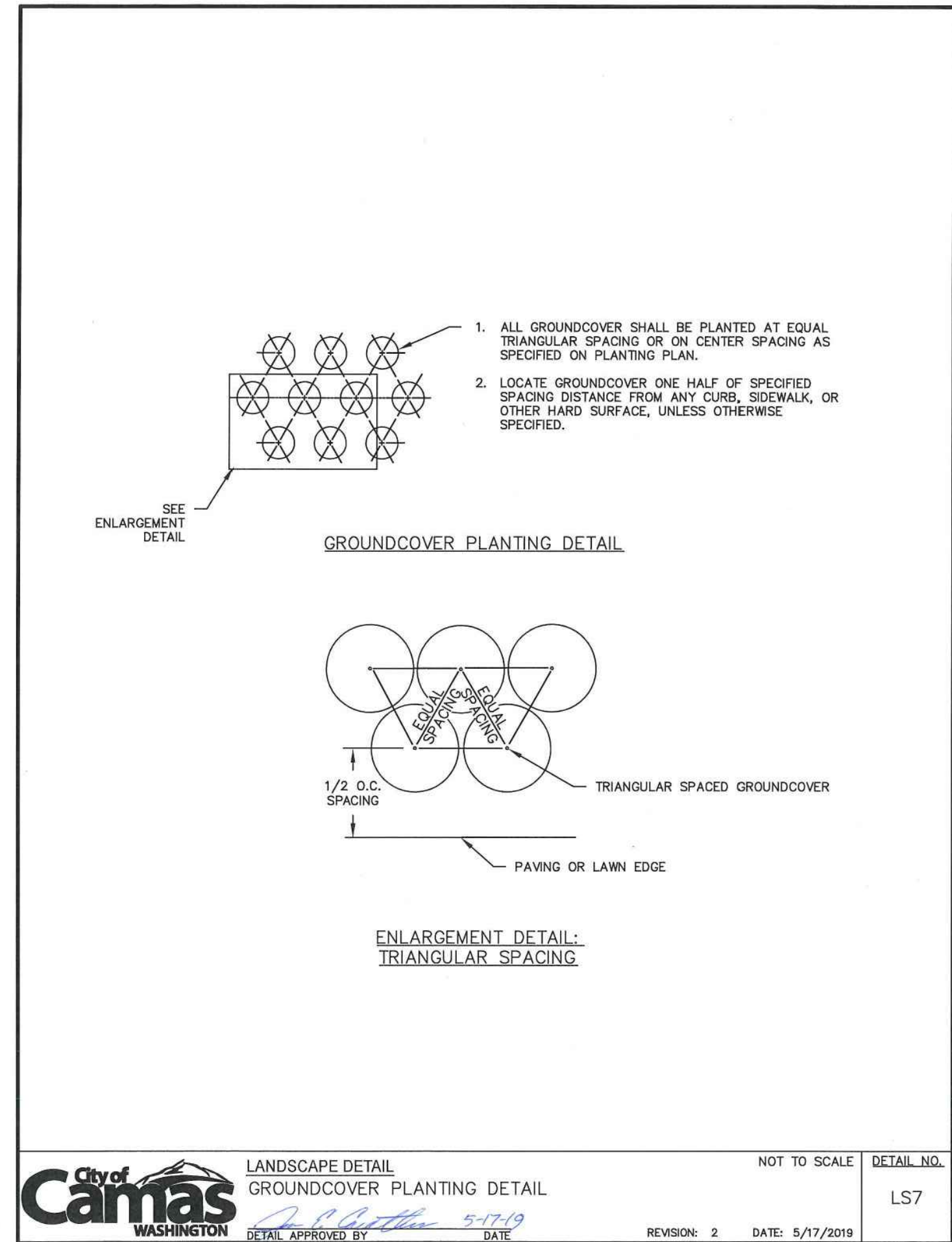
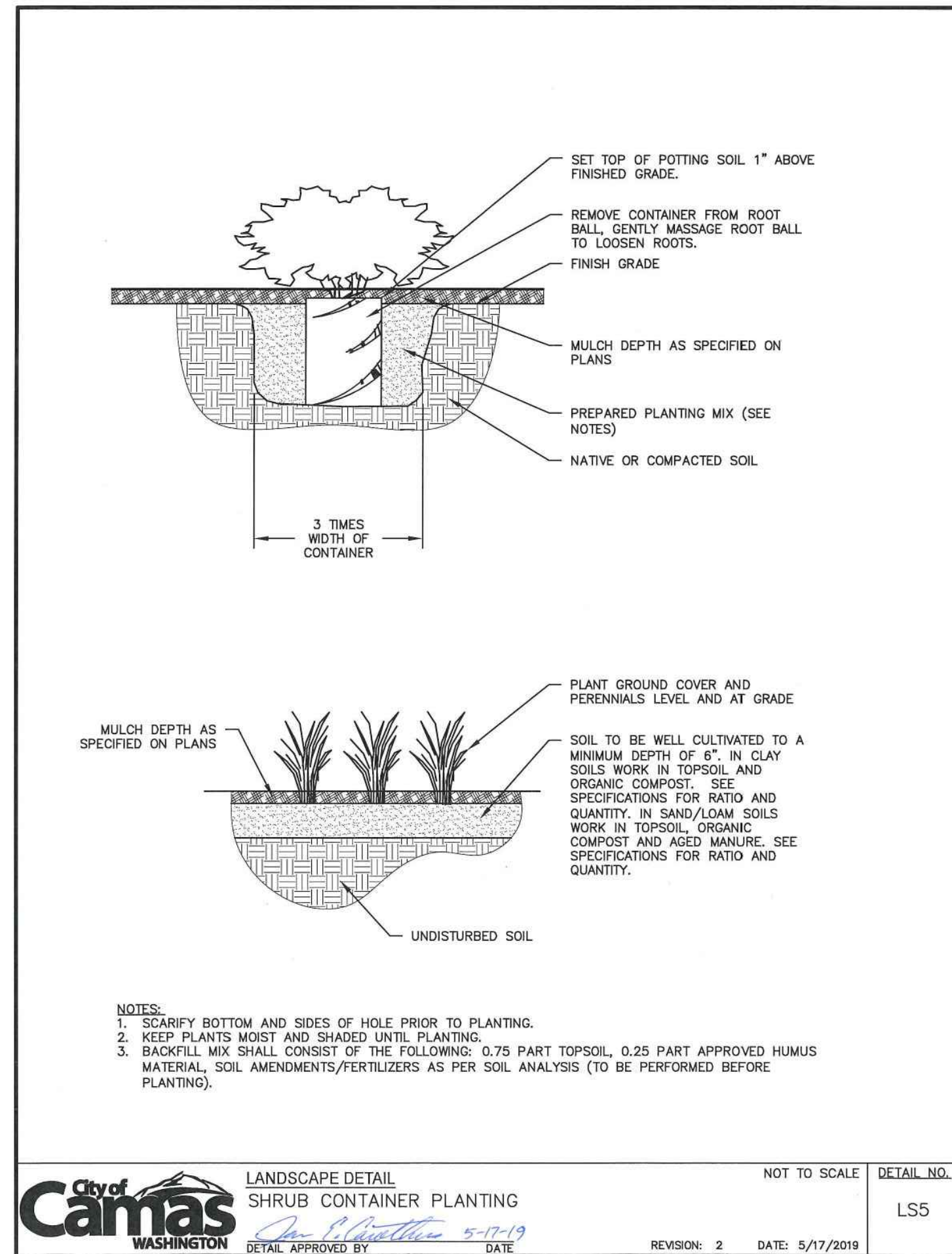
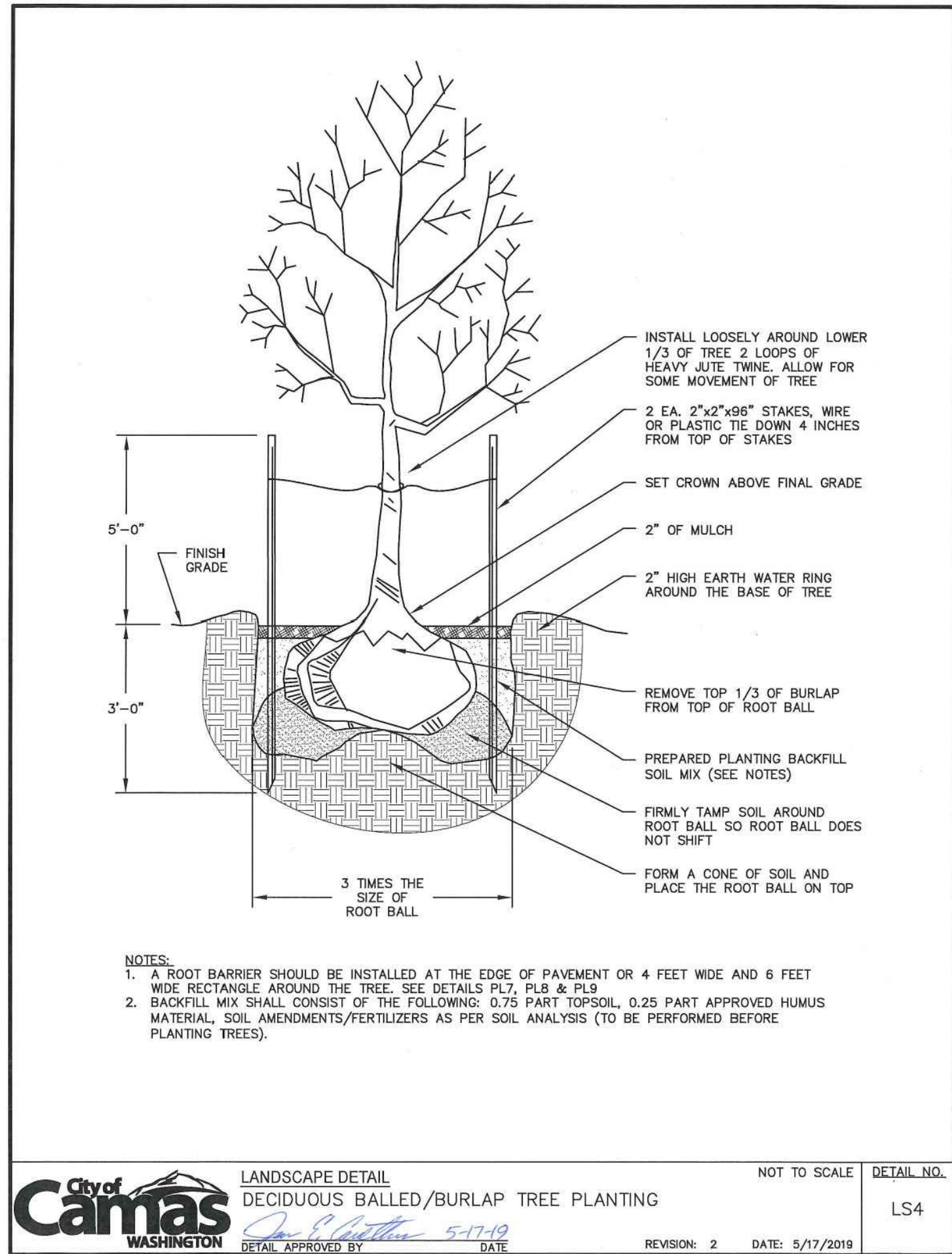
DATE MARCH 17, 2023
ISSUE PERMIT

REVISION

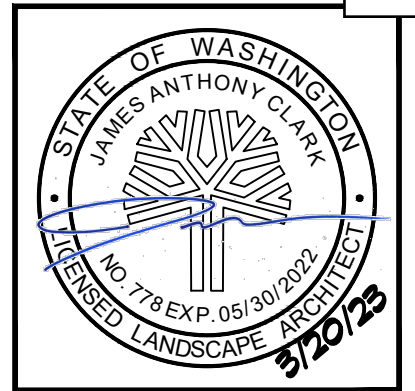
DRAWN BY JAC
CHECKED BY JAC

JOB # : 1.22.020

SHEET NUMBER
L1



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Clark Land Design, PLLC
Land Use Planning
Landscape Architecture
Development Consulting

9801 NE 7th Avenue, Suite A-241 | Vancouver, WA 98661 | 360.651.4445 | jclark@clarklanddesign.com

GREEN MOUNTAIN PRD - POD B1

CAMAS, WASHINGTON



**SHEET TITLE
LANDSCAPE
DETAILS**

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JOB # : 1.22.020

SHEET NUMBER
L2

18.13.051 - Minimum tree density requirement.

A. Tree Density. A minimum tree density per net acre is required and must be incorporated within the overall landscape plan. The tree density may consist of existing trees, replacement trees or a combination of existing and replacement trees, pursuant to the priority established in Section 18.13.052.

18.13.051 Table 1: Required Tree Density

Table with 3 columns: Proposed Activity, Required Minimum Tree Density per Net Acre, Required Tree Replacement. Rows include New Development, Residential, and Developed commercial and industrial properties.

EXPAND

B. Tree Density Calculation. Specific instructions on how to perform tree density calculations are provided in the Design Standards Manual. "Tree Unit" is a unit of measurement based upon the size of the diameter of the tree measured at the breast height ("dbh").

18.13.050 - Standards for landscape, tree and vegetation plans.

- A. The property owner shall be responsible for any future damage to a street, curb, or sidewalk caused by landscaping.
B. Landscaping and trees shall be selected and located to deter sound, filter air contaminants, curtail erosion, minimize stormwater run-off, contribute to living privacy, reduce the visual impacts of large buildings and paved areas, screen, and emphasize or separate outdoor spaces of different uses or character.
C. Landscape, Tree and Vegetation Plan must include a combination of trees, shrubs, and ground cover to achieve the purposes of this chapter.
D. Street trees will be required as part of the frontage improvements. Species, size and spacing of the trees must be consistent with the Design Standards Manual.
E. Proposed vegetation cannot be an invasive species as listed within the most current edition of the Clark County Noxious Weed List (e.g. English Ivy cultivars).
F. Shrubs shall be a minimum of five-gallon pot size. Upright shrubs shall have a minimum height at planting of eighteen inches.
G. Ground Cover, defined as living material and not including bark chips or other mulch, shall be from containers of one gallon or larger.
H. Appropriate measures shall be taken, e.g., installation of irrigation system, to assure landscaping success.
I. Required trees, as they grow, shall be pruned in accordance with the International Society of Arboriculture.
J. Existing trees may be used as street trees if there will be no damage from the development which will kill or weaken the tree.
K. Vision clearance hazards shall be prohibited.
L. Street trees and other required landscaping which dies or is removed, must be replaced within one year of death or removal.

18.13.060 - Parking areas.

- A. Parking areas are to be landscaped at all perimeters.
B. All parking areas shall provide interior landscaping for shade and visual relief.
C. Parking lots shall include a minimum ratio of one tree per six parking spaces.

In this example, there are three medium-sized trees ("A") for eighteen parking spaces, with ground cover ("B") and shrubs ("C").

- D. Planter strips (medians) and tree wells shall be used within parking areas and around the perimeter to accommodate trees, shrubs and groundcover.
E. Planter areas for trees must provide a minimum of five hundred cubic feet of soil, and shall provide eight-foot by eight-foot minimum of clear planting space.
F. Wheel stops should be used adjacent to tree wells and planter areas to protect landscaping from car overhangs.
G. Curbed planting areas shall be provided at the end of each parking aisle to protect parked vehicles.
H. No more than fifteen parking spaces shall be located in a row without a landscaped divider strip (See Figure 18.13.060-1).



Figure 18.13.060-1 Example of Parking Lot Planter Areas.

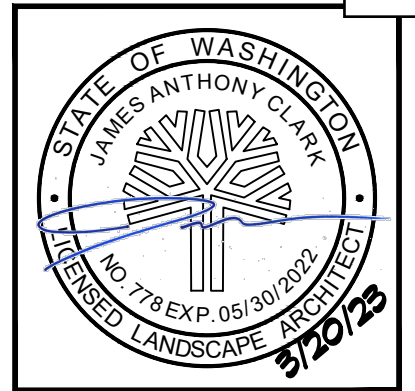
LANDSCAPING GENERAL NOTES: 1. DEVELOPER SHALL SUBMIT A LANDSCAPE PLAN SHOWING PLANT TYPE, LOCATION, AND QUANTITY OF PLANTS, THAT IS DESIGNED BY A QUALIFIED LANDSCAPE DESIGNER. 2. SHOW THE LOCATION OF SIDEWALK, LIGHT POLES, MAIL BOXES, DRIVEWAYS, FIRE HYDRANTS, INTERSECTIONS, AND ANY OTHER APPURTENANCE THAT MAY INFLUENCE THE PLACEMENT OF PLANTS. 3. LANDSCAPING SHALL BE SELECTED AND LOCATED TO DETER SOUND, FILTER AIR CONTAMINANTS, CURTAIL EROSION, MINIMIZE STORM WATER RUN-OFF, CONTRIBUTE TO LIVING PRIVACY, REDUCE THE VISUAL IMPACTS OF BUILDINGS/EQUIPMENT AND PAVED AREAS, SCREEN, REDUCE GLARE, AND EMPHASIZE OR SEPARATE OUTDOOR SPACES OF DIFFERENT USES OR CHARACTER. 4. LANDSCAPING SHALL BE DESIGNED TO BE HARMONIOUS WITH THE LOCAL SETTING AND WITH NEIGHBORING DEVELOPMENTS. 5. PLANTS AND TREES SHALL COMPLEMENT OR SUPPLEMENT SURROUNDING NATURAL VEGETATION. 6. PLANTS AND TREES CHOSEN SHALL BE IN SCALE WITH THE STRUCTURES AND EQUIPMENT DEVELOPMENT, KEEPING IN MIND THE MATURE SIZE OF PLANTINGS. 7. MINIMUM LANDSCAPING AS A PERCENT OF GROSS SITE AREA SHALL BE 15%. 8. DEVELOPER SHALL PROVIDE AN IRRIGATION PLAN. 8.1 APPROPRIATE IRRIGATION SYSTEMS SHALL BE INSTALLED WHERE NEEDED TO ASSURE LANDSCAPING SUCCESS. 8.2 DESIGN OF LANDSCAPING THAT INCLUDES XERISCAPE PRINCIPLES IS ENCOURAGED TO REDUCE LONG-TERM MAINTENANCE DEMANDS AND TO CONSERVE WATER. 8.3 XERISCAPE IS DEFINED AS LANDSCAPE DESIGN, WHICH WOULD INCORPORATE PLANT MATERIALS THAT REQUIRE LITTLE OR NO IRRIGATION AND RELY ON NATURAL MOISTURE AND RAINFALL FOR SURVIVAL ONCE ESTABLISHED. 9. LANDSCAPE SHALL BE DESIGNED WITH MAINTENANCE IN MIND: 9.1 DEVELOPER SHALL PROVIDE A MAINTENANCE PLAN DESCRIBING FUNDING, RESPONSIBILITY, AND FREQUENCY OF MAINTENANCE. 9.2 PLANTS AND TREES THAT MINIMIZE UPKEEP AND MAINTENANCE SHALL BE SELECTED. 9.3 TREES, AS THEY GROW, SHALL BE PRUNED TO THEIR NATURAL FORM TO PROVIDE AT LEAST 10 FEET OF CLEARANCE ABOVE SIDEWALKS AND 12 FEET ABOVE STREET ROADWAY SURFACES. 9.4 SHRUBS SHALL BE MAINTAINED TO A MAXIMUM HEIGHT OF 42 INCHES FROM TOP OF CURB TO TOP OF PLANT. ENSURE THAT SHRUBS ARE TRIMMED BACK FROM FACE OF CURB. 10. WHERE THERE ARE OVERHEAD UTILITY LINES, TREE SPECIES THAT WILL NOT INTERFERE WITH THOSE LINES SHALL BE CHOSEN. DEVELOPER IS TO VERIFY WITH UTILITY ON SPECIES SELECTION. 11. TREES SHALL NOT BE PLANTED WITHIN 2 FEET OF ANY PERMANENT HARD SURFACE PAVING OR WALKWAY. 12. PARKING AND LOADING AREAS SHALL BE SCREENED FROM HORIZONTAL VIEW WITH THE USE OF DENSE LANDSCAPING, MOUNDS OR BERMS. 13. PERIMETER AND SECURITY FENCING SHALL BE CONSTRUCTED TO MINIMIZE VISUAL IMPACT. WALLS OR FENCES SEPARATING ADJACENT PARCELS MAY BE LOCATED AT THE PROPERTY LINE. SECURITY FENCING SHALL BLEND INTO AND BE COMPATIBLE WITH LANDSCAPING AND SURROUNDING ENVIRONMENT. FENCING SHALL HAVE EARTH TONE COLORS OF BROWN, TAN GRAY, OR GREEN. WALLS SHALL BE CONSTRUCTED OF MATERIALS COMPATIBLE WITH THE BUILDING ARCHITECTURE, LANDSCAPING, AND SURROUNDING ENVIRONMENT. 14. SITE AND BUILDING LIGHTING SHALL BE DESIGNED TO MINIMIZE GLARE OR OBJECTIONABLE EFFECTS TO THE ADJACENT PROPERTIES. SITE LIGHTING POLES SHALL NOT EXCEED 20 FEET IN HEIGHT AND SHALL DIRECT THE LIGHT DOWNWARD. LIGHTING SOURCES VIEWED FROM ABOVE OR BELOW ON ADJACENT PROPERTY SHALL BE SHIELDED. BUILDING LIGHTING IS TO BE CONCEALED AND INDIRECT. SITE LIGHTING IS TO BE DESIGNED TO PROVIDE UNIFORM DISTRIBUTION AND THE LIGHT LEVELS SHALL BE ADEQUATE FOR REASONABLE SECURITY AND SAFETY ON THE PREMISES. 15. EARTH BERMS MAY BE USED TO PROVIDE VARIATION IN THE GROUND PLANE AND FOR SCREENING INTERIOR PROTONS OF THE SITE. CARE MUST BE TAKEN IN THEIR DESIGN TO AVOID CREATING AN ARTIFICIAL APPEARING LANDSCAPE. THE BERMED AREAS SHALL BE 20 FEET HIGH AND AS GRACEFUL AS SPACE WILL ALLOW, AND SHOULD HAVE A MINIMUM HEIGHT ABOVE SURROUNDING GRADE OF THREE FEET. MAXIMUM SLOPES FOR BERMED AREAS SHALL BE 3:1 FOR TURF AREAS AND 2:1 FOR GROUNDCOVER AREAS.

CITY OF CAMAS WASHINGTON LANDSCAPE DETAIL LANDSCAPING NOTES NOT TO SCALE DETAIL NO. LS1 REVISION: 3 DATE: 5/17/2019

PLANTING NOTES: 1. ALL PLANTING TO BE OF NURSERY STOCK GRADE NO. 1 OR BETTER AND MUST BE APPROVED PRIOR TO PLANTING. 2. ALL PLANTING HOLES SHALL BE EXCAVATED THREE TIMES THE DIAMETER OF THE TREE ROOT BALL OR ROOT SYSTEM. 3. DECIDUOUS TREES SHALL HAVE STRAIGHT TRUNKS, BE FULL BRANCHED, HAVE A MINIMUM CALIPER OF 2 INCHES AND BE ADEQUATELY STAKED FOR PLANTING. CALIPER OF TREES SHALL BE LARGER WHEN REQUIRED BY OTHER CITY STANDARDS OR PLANS. 4. EVERGREEN TREES SHALL BE A MINIMUM OF THREE FEET IN HEIGHT, FULLY BRANCHED AND ADEQUATELY STAKED FOR PLANTING. 5. DECIDUOUS TREES SHALL BE A MINIMUM 2" CALIPER UNLESS APPROVED BY THE CITY. 6. POTTED OR B&B PLANTS SHALL BE A MINIMUM SIZE OF 3 GALLONS UNLESS APPROVED BY THE CITY. 7. SHRUBS SHALL BE PLANTED ACCORDING TO RECOGNIZED LANDSCAPE STANDARD PRACTICE FOR MAINTENANCE, APPEARANCE, HEALTH OF THE PLANTS, AND OVERALL AESTHETICS. 8. PLANT UPRIGHT AND FACE TO GIVE BEST APPEARANCE OR RELATIONSHIP TO OTHER PLANTS AND STRUCTURES. 8.1. LOOSEN AND REMOVE TWINE BINDING AND BURLAP FROM AROUND THE TOP OF EACH ROOT BALL. 8.2. SET TREES AN INCH ABOVE FINISH GRADE. 8.3. STAKE OR GUY TREES IMMEDIATELY AFTER PLANTING (SEE DETAIL PL3, PL4, & PL5) 8.4. REMOVE STAKES OR GUY WIRES ONE YEAR AFTER INSTALLATION. 9. PLACE AND COMPACT BACKFILL SOIL MIXTURE CAREFULLY TO AVOID INJURY TO ROOTS, AND TO FILL ALL VOIDS. BACKFILL MIX SHALL CONSIST OF 1/4 APPROVED HUMUS MATERIAL TO 3/4 TOPSOIL, PLUS SOIL AMENDMENTS/FERTILIZERS AS PER SOIL ANALYSIS (TO BE PERFORMED PRIOR TO PLANTING TREES). 10. WHEN HOLE IS NEARLY FILLED, COMPLETELY SOAK AND ALLOW WATER TO DRAIN AWAY. FILL HOLE TO FINISH GRADE. PROVIDE 2 INCH HIGH BERM WATER RING AT THE BASE OF EACH TREE. REMOVE BERM AT THE END OF CONTRACT MAINTENANCE PERIOD. 11. GROUND COVER, SHALL BE PLANTED ACCORDING TO RECOGNIZED LANDSCAPE STANDARD PRACTICE FOR MAINTENANCE, APPEARANCE, OVERALL AESTHETICS, AND HEALTH OF THE PLANTS. 12. TREES, AS THEY GROW, SHALL BE PRUNED TO THEIR NATURAL FORM TO PROVIDE AT LEAST 10 FEET OF CLEARANCE ABOVE SIDEWALKS AND 14 FEET ABOVE STREET ROADWAY SURFACES. 13. TREE MAINTENANCE - IN ORDER TO INSURE ESTABLISHMENT, SURVIVAL AND GROWTH, TREES SHALL BE MULCHED WITH 4" DEEP COMPOST AND WATERED AS NECESSARY DURING THE FIRST TWO GROWING SEASONS. PRUNING TO BE AS FOLLOWS: 13.1. YEAR 1 - ONLY DEAD, BROKEN, OR CROSSING BRANCHES SHALL BE PRUNED. 13.2. YEAR 2 - A CLASS 1 PRUNE, PURSUANT TO NATIONAL ARBORIST ASSOCIATION STANDARDS, SHALL BE PERFORMED. THE PURPOSE OF THIS PRUNING IS TO ESTABLISH PROPER SCAFFOLD BRANCHING, RAISE THE CROWN FOR ROAD/SIDEWALK CLEARANCE, AND REMOVE ANY DEAD, DYING OR CROSSING BRANCHES. 13.3. YEAR 3 - A CLASS 1 PRUNE, PURSUANT TO NATIONAL ARBORIST ASSOCIATION STANDARDS, SHALL BE PERFORMED. THE PURPOSE OF THIS PRUNING IS TO ESTABLISH THE PROPER SCAFFOLD BRANCHING, CONTINUE TO RAISE THE CROSSING FOR ROAD/SIDEWALK CLEARANCE, AND TO REMOVE ANY DEAD, DYING, OR CROSSING BRANCHES. 14. DEFINITIONS: 14.1. BALLED AND BURLAPPED (B&B) - TREES AND SHRUBS WITH A LARGE BALL OF SOIL AROUND THE ROOTS WRAPPED IN BURLAP. 14.2. BARE-ROOT - OFFERED BY NURSERIES IN WINTER AND EARLY SPRING WITH ALL THE SOIL REMOVED FROM THEIR ROOTS. 14.3. CALIPER - THE DIAMETER OF THE TRUNK MEASURED AT 4- FEET FROM THE GROUND. 14.4. GROUND COVER - LIVING MATERIAL THAT DOES NOT INCLUDE BARK CHIPS OR OTHER MULCH.

CITY OF CAMAS WASHINGTON LANDSCAPE DETAIL PLANTING NOTES NOT TO SCALE DETAIL NO. LS2 REVISION: 3 DATE: 5/17/2019

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Clark Land Design, PLLC Land Use Planning Landscape Architecture Development Consulting 9801 NE 7th Avenue, Suite A214 | Vancouver, WA 98661 | 360.521.4445 | jclark@clarklanddesign.com

GREEN MOUNTAIN PRD - POD B1 CAMAS, WASHINGTON

811 Know what's below. Call before you dig.

SHEET TITLE LANDSCAPE NOTES

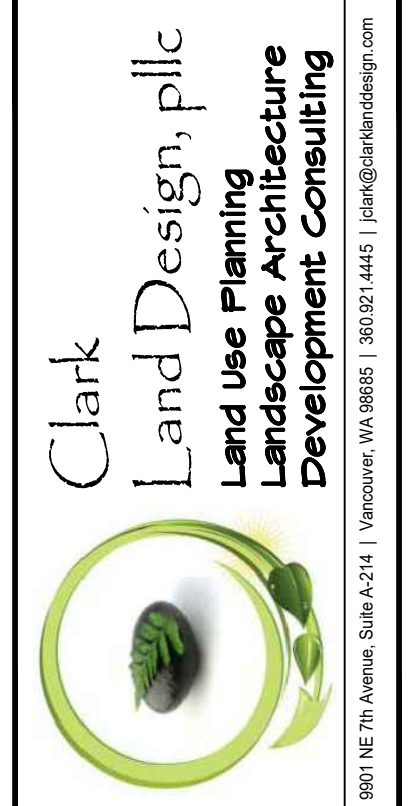
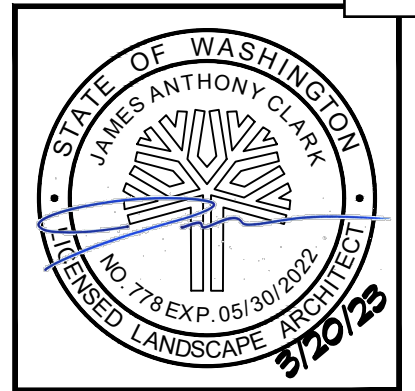
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GREEN MOUNTAIN PRD - POD B1

CAMAS, WASHINGTON



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IRRIGATION SYSTEM: 02810

PART 1 - GENERAL

1.1 SECTION INCLUDES

- A. Design / Build Irrigation system capable of providing even distribution of water to all landscape parking areas within the limits of work described on Landscape Plan and as reviewed with Contractor. Verify irrigation limits of work on relevant planting sheet with color marker and review scope with Owner's representative prior to preparing irrigation system design. All irrigation work to conform to this Performance Specification. Provide cost option to provide for a centrally controlled irrigation system that could be expanded to provide for future landscape phases on this site (if applicable).

1.2 Related work specified elsewhere:

- A. Section 02900 Landscaping

1.3 PERMITS AND CODES

- A. Obtain and pay for any permits and / or inspections required by governing agencies and or utilities.
- B. Conform to local codes governing work described in these specifications.

1.4 SUBMITTALS

- A. Maintain during construction and provide the Owner with Record Drawings showing arrangement and locations of lines, valves, and heads. Major underground elements to be noted with triangular measurements from a permanent feature.
- B. Two (2) sets complete product submittals covering all materials and equipment required for the finished system.
- C. During the course of the installation, keep updated record documents and make available to the Landscape Architect or Owner as may be required.

1.5 STANDARDS

- A. Design and Build to governing Plumbing Codes. If more restrictive than specified, contact Landscape Architect.

1.6 OPERATION & MAINTENANCE MANUALS

- A. Provide Four (4) copies of all operations and maintenance manuals, including but not limited to:
 1. Manufacturer's model numbers
 2. Product descriptions for equipment used
 3. Procedures regarding winterization shut-down and spring start -up.

1.7 EXISTING CONDITIONS

IRRIGATION SYSTEM: 02810

with suitable cross wheel for operation with a standard key and shall have a service rating of not less than 150 psi. The Contractor shall furnish three standard operating keys.

- 11. Hose Bibs: Bronze or brass, angle type threaded to accommodate a 3/4-inch hose connection.
- 12. Double Check Valve Assemblies (DCVA's): Installed, inspected, and tested in accordance with the applicable portions of local codes and regulations.
- 13. Check Valves: Heavy duty bronze or brass.
- 14. Electrical Wire and Splices: Comply with Section 9-29.3. Wire: ASTM B-3 copper, type UF, AWG, size no. 14 minimum. Connectors: Scotch lock #3570, Rainbird PT101-104

PART 3 - EXECUTION

3.1 PREPARATION

- A. Inspect the conditions in the field and verify that work may properly begin. Start work denotes acceptance.
- B. Install sleeves under surfaces to be paved prior to paving.
- C. Coordinate location of automatic controller with Owner.

3.2 INSTALLATION

- A. Source Connection and Controller: Locate the water source and determine requirements. Install backflow prevention and manual globe valve as needed, to local codes. Verify controller location and electrical source with Owner prior to controller installation. Install controller and wiring per manufacturer's specifications.
- B. Excavation: Pipe trenches snaked slightly to allow for expansion and contraction of piping. Main or supply lines shall be a minimum of 18" deep. Zone lines shall be a minimum of 12 inches deep. The bottom of the trenches shall be smooth and free of sharp rocks or objects that may damage pipe. Trenches shall slope to a low point to allow lines to completely drain. Install 3/4-inch drain valve at mainline low points. Provide minimum five (5) cubic foot gravel sump.
- C. Sleeve Installation: Class 40 PVC pipe sleeves installed prior to paving beneath all paved areas, including walks and drives (diameter to be minimum 4"). Bed pipe in minimum three (3) inches of fine sand. Provide minimum 12 inches fine sand cover over top of pipe. Do not allow rock over 1/2" diameter in backfill material. Mark sleeve ends with orange painted 2 x 4 stakes and attach together w/ wire. Extend sleeves 12 inches beyond paved edges into planter.
- D. Pipe installation: Lay pipe in accordance with manufacturer's recommendations, "snaked" slightly and supported at all points within the trench. Cut all pipe square, chamfer edges and deburr, wipe surface free of all moisture or dirt. Solvent-weld all

IRRIGATION SYSTEM: 02810

- A. Before proceeding with installation of any section, verify ground measurement and Design-Build System layout correlation.
 1. Contractor to provide necessary adjustments in field to assure complete and uniform irrigation coverage.
 2. All field adjustments are to be without cost to the Owner.
 3. Locate and protect all existing utilities. If damage occurs, notify proper agency and obtain repairs.
- B. Determine and Document:
 1. Projected water flow rate
 2. Static and residual pressure
 3. Other factors affecting design and installation of irrigation system.

1.8 PROJECT CONDITIONS

- A. Provide protection at all times to prevent dirt or debris from entering piping or equipment. Storage of materials shall be kept orderly and to accepted practices for full protection of the material from damage.

1.9 WARRANTY

- A. Entire system to have an unconditional warranty as to materials and workmanship, including but not limited to, settling of backfill areas, or damage to planting, lawns, paving, etc., for a period of one year from final acceptance of work.
 1. Areas or materials requiring repair to be at no cost to the Owner.

1.10 QUALIFICATIONS

- A. Installation by a contractor with a minimum of two (2) years' experience doing similar work and who has a minimum of five (5) successful sprinkler installations of comparable size in the greater Federal VWay Area.
 1. Submit project name and address of five (5) projects completed within the last two years with bid.

1.11 WORKMANSHIP

- A. These specifications govern installation, equipment, material, and workmanship.
 1. Installation shall be in strict accordance with manufacturer's instructions and recommendations and local and / or State codes.

IRRIGATION SYSTEM: 02810

joints except those requiring threaded fittings. Align pipe in trench with manufacturer's stampings visible to surface for inspection prior to backfill. Do no solvent welding on wet pipe, or in temperatures below 40 degrees F.

- E. Valve installation: Flush mainline thoroughly prior to installing automatic control valves, gate valves, etc., in shrub beds. Provide valve boxes or sleeves with locking lids at each location. Valves shall be horizontal, firm, and set on a clean, three-inch-deep pea gravel base. All valves shall have a minimum of one union. All valves with flow adjustment to be set for proper performance.
- F. Control Wiring: Lay in trenches next to lines when practical. Place in conduit above ground. Control wire shall be red, and the common neutral wire, white. Provide 18 inches curled coil at each valve connection and at 100-foot intervals along mainline. Provide additional spare Ground and One additional Hot Wire accessible for each valve. Tag spare wires so that they may be readily identified as spares. Bundle wire with tape. Provide additional 18-inch coil at controller location. Avoid field splicing. Provide locator tape in trench with wire.
- G. Head Installation: Install swing joints or "funny pipe" at all heads. Provide leak-free joints with free movement. Cap heads temporarily and test all piping and joints at maximum source pressure for one hour. Repair all leaks.
- H. Backfill Procedure: Backfill trenches by bedding pipe in fine soil and tamp firm. Fill trench to six inches below surrounding grade and water settle. Fill remaining trench with topsoil and tamp firm.
- I. Adjustment and Balancing: Adjust sprinkler nozzles to provide uniform coverage and to limit sprinkler over-throw onto unwanted areas, windows, and building surfaces
- J. Clean Up: Remove debris, equipment, surplus materials, etc., from each area as the divisions are completed. At completion of system, site should be neat and orderly.
- K. Submittals: At completion of the project and before final inspection, submit the following to the General Contractor for inclusion in Owner's Maintenance Manual: Accurate "as-built" drawings, parts list schedule, written operating and maintenance procedures including: winterization procedures, and schedules indicating required open valve times for each zone necessary to apply one (1) inch of water per week.

END OF SECTION

IRRIGATION SYSTEM: 02810

PART 2 - PRODUCTS

2.1 MATERIALS

- A. Irrigation: All materials and equipment incorporated in the system shall be new, undamaged, of standard quality, and are subject to testing as specified.
 1. Pipe, Tubing and Fittings: Galvanized iron, PVC, or polyethylene as required by irrigation application.
 2. Galvanized Pipe and Fittings: Standard weight, hot-dip galvanized iron or steel pipe, threaded and coupled. Pipe shall meet the requirements of ASTM A 120. All pipe fittings shall be standard threaded galvanized malleable iron fittings.
 3. Polyvinyl Chloride Pipe and Fittings: PVC compound Type 1, Grade 1, conforming to ASTM D 1784 specifications. Pipe and Fittings shall be free from defects in material workmanship, and handling. PVC solvent weld pipe shall be of PVC 1 1/2 material and shall have 200 psi minimum pressure rating. PVC threaded pipe shall be of PVC 1 1/2 material and shall be schedule 80 which conform to ASTM D 2466, Type I, Grades 1 or 2.
 4. Automatic Controllers: Rainbird or Hunter. Electrically timed device for automatically opening and closing control valves for predetermined periods of time and mounted so that all normal adjustments will be conveniently located for use by the operator.
 5. Sprinkler Heads: Rainbird or Hunter. Pattern and coverage as required to provide uniform coverage of turf, shrub and groundcover plantings as shown on Landscape Plan.
 6. Valve Box: "Ametek" with locking lid, size as required.
 7. Gate Valves: Heavy duty brass conforming to the requirements of ASTM B 62. Valves shall be of the same size as the pipes on which they are placed and shall have union or flange connections. Service rating (for nonshock cold water) shall be 150 psi.
 8. Automatic Control Valves: Rainbird or Hunter. Remote control valves shall be globe pattern with flanged or screwed connections as required. Threaded valves shall be provided with union connections. Valves shall be of normally closed design and shall be electric solenoid operated, having maximum rating of 6.5 watts utilizing 24-volt AC power.
 9. Quick Coupler Valves: Service rating not less than 150 psi for non-shock cold water. Couplers shall be of one-piece construction with steel reinforced side handles attached. All couplers shall have standard male pipe threads at the top. Couplers furnished with quick coupler valves unless otherwise specified.
 10. Drain Valves: 3/4 inch in size, made from bronze or brass, manual angle globe type, with rising stem, hex brass union, removable bonnet and stem, and adjustable packing gland. Valves shall be designed for underground installation

Design Review Checklist for Green Mountain Pod B1 subdivision (DR23-04)

The purpose of this sheet is to provide a simplified and expedited review of the design review principles and guidelines using objective review standards. The standards are intended as tool for the decision-maker in making findings that the proposal either achieves compliance with the intent of the principles or reasonably mitigates any conflict. When reviewing the check sheet, the proposal should as a whole “comply” with the standards and thus be generally consistent with the overriding principles. [Yes = In Compliance; No = Not In Compliance; NA = Not Applicable]

Standard Principles and Guidelines

ARCHITECTURE				
Yes	No	NA	Principles and Guidelines	Comments
			Corrugated materials, standing seam, T-1 11, or similar siding materials are avoided unless it produces a high visual (or aesthetic) quality.	
			Buildings walls or fences visible from roadways are articulated in order to avoid a blank look.	
			The use of bold colors has been avoided unless used as minor accents.	
			Higher density/larger structures abutting lower density residential structures have been designed to mitigate size and scale differences.	
LANDSCAPING AND SCREENING				
Yes	No	NA	Principles and Guidelines	Comments
			Vegetation for landscaping includes native, low maintenance plantings. Significant trees are retained if feasible.	
			Trees planted along streetscapes with overhead power lines include only those trees identified on the City’s Tree list.	
			Landscaping, including trees, shrubs, and vegetative groundcover, is provided to visually screen and buffer the use from adjoining less intense uses including parking.	
			Proposed fencing is incorporated into the landscaping so as to have little or no visual impact.	
			Signs located on buildings or incorporated into the landscaping are unobtrusive and vandal resistant. If illuminated they are front lit.	

DESIGN REVIEW CHECKLIST

Item 1.

			Landscape lighting - low voltage, non-glare, indirect lighting is directed, hooded or shielded away from neighboring properties.	
			Street lighting (poles, lamps) is substantially similar or architecturally more significant than other street lighting existing on the same street and do not conflict with any City approved street lighting plans for the street.	
			Parking and building lighting is directed away from surrounding properties through the use of hooding, shielding, siting and/or landscaping.	
			Outdoor furniture samples are consistent with the overall project design.	
			Existing trees over 6" dbh that are not required to be removed to accommodate the proposed development are retained and incorporated into the landscape plan.	
			Rock outcroppings, forested areas and water bodies are retained.	
HISTORIC AND HERITAGE PRESERVATION				
Yes	No	NA	Principles and Guidelines	Comments
			The use of Historic Markers, information kiosks, project names, architectural features, or other elements of the project promote the historic heritage of the site or surrounding area.	

Specific Principles and Guidelines

GATEWAYS AND CORRIDORS				
SIGNAGE				
Yes	No	NA	Principles and Guidelines	Comments
			Gateways are devoid of free-standing signs. Preexisting freestanding signs are proposed for removal at the time of development, redevelopment, or major rehabilitation on the site.	
			Permanent signage within a gateway are standardized to create a consistent look in terms of size, color, and materials.	

DESIGN REVIEW CHECKLIST

Item 1.

STREETSCAPE				
Yes	No	NA	Principles and Guidelines	Comments
			The main public entrance is oriented toward the public right-of- way.	
			Pedestrian walkways connect each building’s front entry with the sidewalk.	
			Bike lanes are provided and link public areas with neighborhoods and other local and regional bicycle corridors.	
			Alternative transportation, such as attractive bus stop shelters, bicycle parking, etc. are provided.	
			Trees, planting strips or bioswales are used for separating vehicles and pedestrian movements.	
			Street trees no less than two inches in diameter are planted within planter strips or tree wells at a spacing that creates the appearance of a continuous canopy at tree maturation.	
			The surface of pedestrian walkways within intersections are accentuated with a unique character (i.e. pattern stone, exposed aggregate, stamped concrete, etc.)	
			Buildings are placed as close to streets and roads as the zoning code allows.	
			On-site parking is located to the rear or the side of the building.	
			A consistent iconic streetscape lighting scheme is used that portrays the primary development period, architecture characteristics, or predetermined theme as identified in a concept plan, sub-area plan, or master plan recognized by the City.	
LANDSCAPING				
Yes	No	NA	Principles and Guidelines	Comments
			Landscaping adjacent to the public right of way provides multiple layers of plantings, including canopy trees, understory trees, shrubs and groundcover.	
			Hanging baskets provided along building frontages add visual interest and the bottom of the basket is a minimum of 80 inches above the finished grade of the sidewalk.	
			Median planting design/plant selection create a unique and cohesive streetscape design.	

DESIGN REVIEW CHECKLIST

Item 1.

MULTI-FAMILY				
Yes	No	NA	Principles and Guidelines	Comments
TOWNHOMES AND ROWHOUSES				
			All on-site parking areas (excluding driveways & garages) are screened with landscaping.	
			Buildings shall be used to define the streetscape unless site conditions prove prohibitive.	
			Structures abutting or located in single family residentially zoned areas are designed to mitigate size and scale differences when appropriate.	
			Walls are articulated in order to avoid a blank look and provide a sense of scale including a minimum solid to void ratio of 70%/30%.	
			Detachable garages are located to the rear of the townhouse or rowhouse unit(s) so as not to be directly viewable from a public street.	
			Attached garages account for less than 50% of the front face of the structure. Garages visible from the street are articulated by architectural features, such as windows, to avoid a blank look.	
			Green belts are used to separate different uses whenever possible.	
			Vertical intensity of landscaping increases as the height of the structure increases.	
DUPLEX, TRIPLEX, FOURPLEX				
			Garages account for less than 50% of the front face of the structure. Garages visible from the street are articulated by architectural features, such as windows, to avoid a blank look.	
			Buildings provide a complementary façade that faces the public right of way, and is the primary entrance to a unit or multiple units, unless impracticable.	



STAFF REPORT

Geacu Duplex

Major Design Review (DR22-10)

Related File: CA22-20

TO Design Review Committee

FROM Yvette Sennewald, Senior Planner

LOCATION 633 NW 7th Avenue
Parcel Number: 986039342

APPLICANT Gheorghe & Daniela Geacu
(360) 326-5354
ALEXGEACU@yahoo.com

APPLICABLE LAW: This land use application submitted October 14, 2022, and the applicable codes are the codes that were in effect at the date of application. Camas Municipal Code (CMC) chapters include Title 17 Land Development and Title 18, specifically (but not limited to): Chapter 18.11 - Parking, Chapter 18.13 - Landscaping, Chapter 18.18 - Site Plan Review, Chapter 18.19 Design Review, and Chapter 18.55 Administrative Procedures.

Background

The applicant is currently seeking design review approval for the construction of a duplex, each unit proposed to be approximately 1,755 square-feet in size, on an approximately 5,663 square-foot vacant lot situated in the R-18 - Multifamily Residential Zone. Each residential unit contains a single car garage accessed at the front of the building, with additional parking provided on the driveway. Landscaping is provided on site.

The project area is bordered by a duplex on one side and a single-family residence on the other. Existing plex's are located within the project vicinity as well.

Purpose

Design Review is required under CMC Chapter 18.19. Design review is not intended to determine the appropriate use on a parcel but rather review a proposed development for compliance with City codes and plans related to landscaping, architectural elevations, and other elements relative to required improvements. The recommendations from the Design Review Committee (DRC) must consider the design review standards from the Design Review Manual and the Camas Municipal Code (CMC). The enclosed checklist is to help guide your review but refer to the manual for specific details regarding the standards.

Standard and Multi-Family Design Principles and Guidelines

The standard and multi-family principles and guidelines are required and must be demonstrated to have been satisfied in the overall intent for design review approval. The design guidelines are developed to assist a project in meeting the established principles and each guideline should be adequately addressed. If the proposal cannot meet a specific guideline, then an explanation should be provided by the applicant as to why and how it will be mitigated to satisfy the intent of the design principles. The development guidelines include five major categories: 1) Landscaping and Screening, 2) Architecture, 3) Massing and Setbacks, 4) Historic & Heritage Preservation, and 5) Circulation and Connections.

The Design Review Checklist is enclosed to help guide the DRC in reviewing the standard applicable specific design review principles and guidelines.

Recommendation

That the Design Review Committee reviews the submitted materials, deliberates, and forwards a recommendation to staff for a final decision.

Owner proposes new duplex at 633 NW 7th Ave Camas WA 98607. The property is zoned R-18 Multifamily Residential, it is 5,663 sqft, and it's part of the City of Camas urban growth area and served by the Camas School District.

The lot is in a developed area, between a duplex on the West side at 650 NW 8th Ave and a residential property on the East side at 625 NW 7th Ave, and has 8th Ave to the North and 7th Ave to the South. The proposed duplex would face 8th Ave for entrance and driveway.

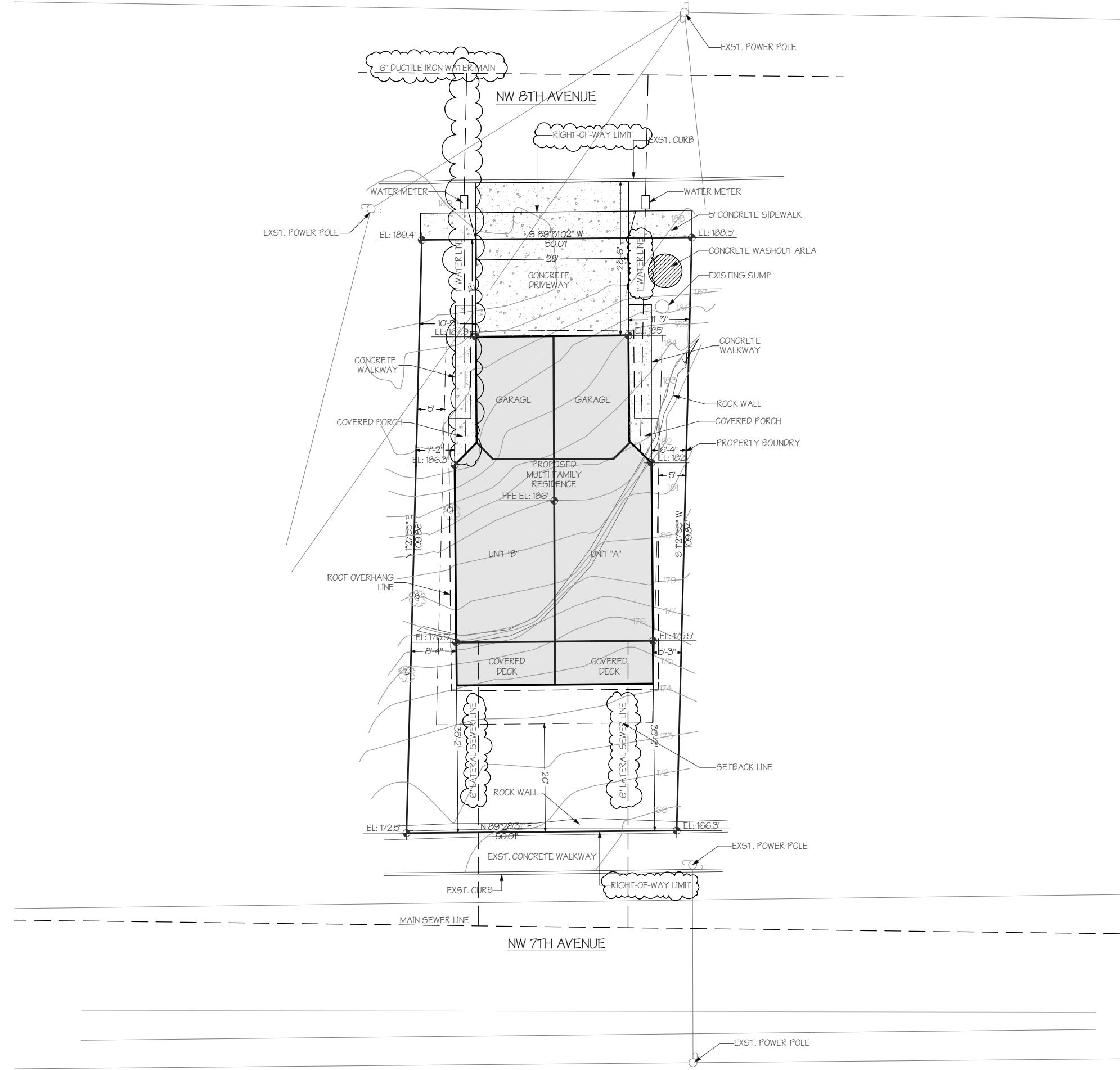
The lot is sloped down towards 7th Ave, with an elevation difference of around 16'-20', with no existing structures and vegetation in the forms of bushes and tall grass. Due to the slope a SEPA will be completed.

As described by the city of Camas, it can be served by water from 8th Ave and sewer from 7th Ave. Electric poles exist on both 7th and 8th Ave for PUD connection.

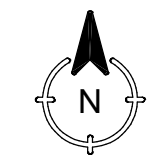
There are no public facilities or trails, or open spaces to be maintained.

The duplex units each have 1,475 sqft total living space, one car garage of 280 sqft, and covered decks of 142 sqft. They each have 3 bedrooms and 2.5 bathrooms, and are designed in the modern contemporary NW style that fits with the new developments in the area. The decks are south facing.

Currently there is sidewalk on 7th Ave with a rock wall, and no side walk on 8th Ave. The proposed duplex will add all required sidewalks, landscaping, and will adhere to the city design standards, setbacks, engineering requirements etc.



SITE PLAN
1"=20'



PROPERTY ADDRESS:
633 NW 7TH AVE.
CAMAS, WA 98607

SITE INFORMATION:
PARCEL NUMBER: 986039342
LEGAL DESCRIPTION: FOREST HOME VAC LOT 4, BLK 8.13A

SITE AREA:
TOTAL LAND AREA: 0.13 ACRES (5,663 SQ. FT.)

BUILDING COVERAGE: 2175 SQ. FT.

IMPERVIOUS AREA:
HOUSE ROOF AREA (INCLD. DECK/PORCH): 2430 SQ. FT.
CONCRETE DRIVEWAY: 510 SQ. FT.
CONCRETE WALKWAYS: 220 SQ. FT.

TOTAL IMPERVIOUS AREA: 3160 SQ. FT.
LOT COVERAGE: 55%

- GENERAL NOTES:**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY IN THE AREA OF WORK IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES.
 2. ALL CONSTRUCTION TO COMPLY WITH CURRENT OREGON RESIDENTIAL SPECIALTY CODE.
 3. ANY DISCREPANCIES IN THE PLANS MUST BE BROUGHT TO THE ATTENTION OF THE DESIGNER IMMEDIATELY AND WRITTEN CLARIFICATION SECURED PRIOR TO THE COMMENCEMENT OF WORK.
 4. ALL PRODUCTS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND INDUSTRY STANDARDS.
 5. SUBCONTRACTORS TO INSPECT JOB CONDITIONS PRIOR TO COMMENCEMENT OF WORK. STARTING WORK SHALL INDICATE ACCEPTANCE OF CONDITIONS.
 6. DESIGNER ASSUMES NO LIABILITY FOR PRODUCT PERFORMANCE OR WORKMANSHIP OF ANY TRADE.
- SITE NOTES:**
1. SITE INFORMATION PROVIDED BY COUNTY MAP AND OWNER VERIFICATION. ALL SITE CONDITIONS TO BE VERIFIED PRIOR TO CONSTRUCTION.
 2. ALL SETBACKS, EASEMENTS, AND CC&R REQUIREMENTS TO BE VERIFIED PRIOR TO CONSTRUCTION.
 3. FINAL SITTING OF THE DWELLING SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 4. ALL HARDSCAPE DRAINAGE TO BE DIRECTED TO LANDSCAPE DRAINAGE CONTAINMENT OR CITY DRYWELL WHERE APPLICABLE.
 5. CONFIRM ALL UTILITIES AND TRENCH LOCATIONS WITH CONTRACTOR PRIOR TO CONSTRUCTION.

Item 2.

KARNAFEL ID
VAN COUVER,
503.313.705
KARNAFEL@GMA



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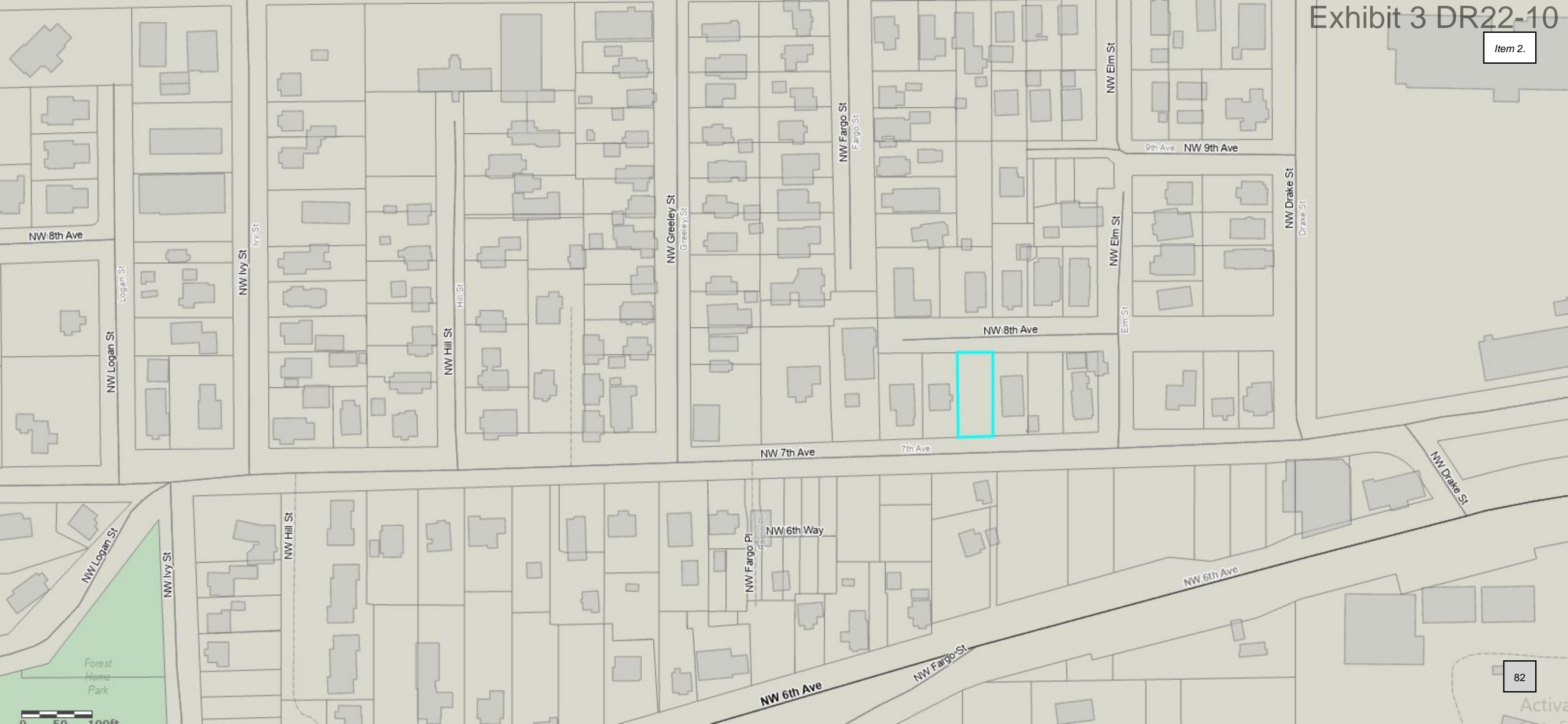
DRAWING TITLE:
SITE PLAN

GEACU RESIDENCE
PROJECT ADDRESS:
633 NW 7TH AVE. CAMAS, WA 98607

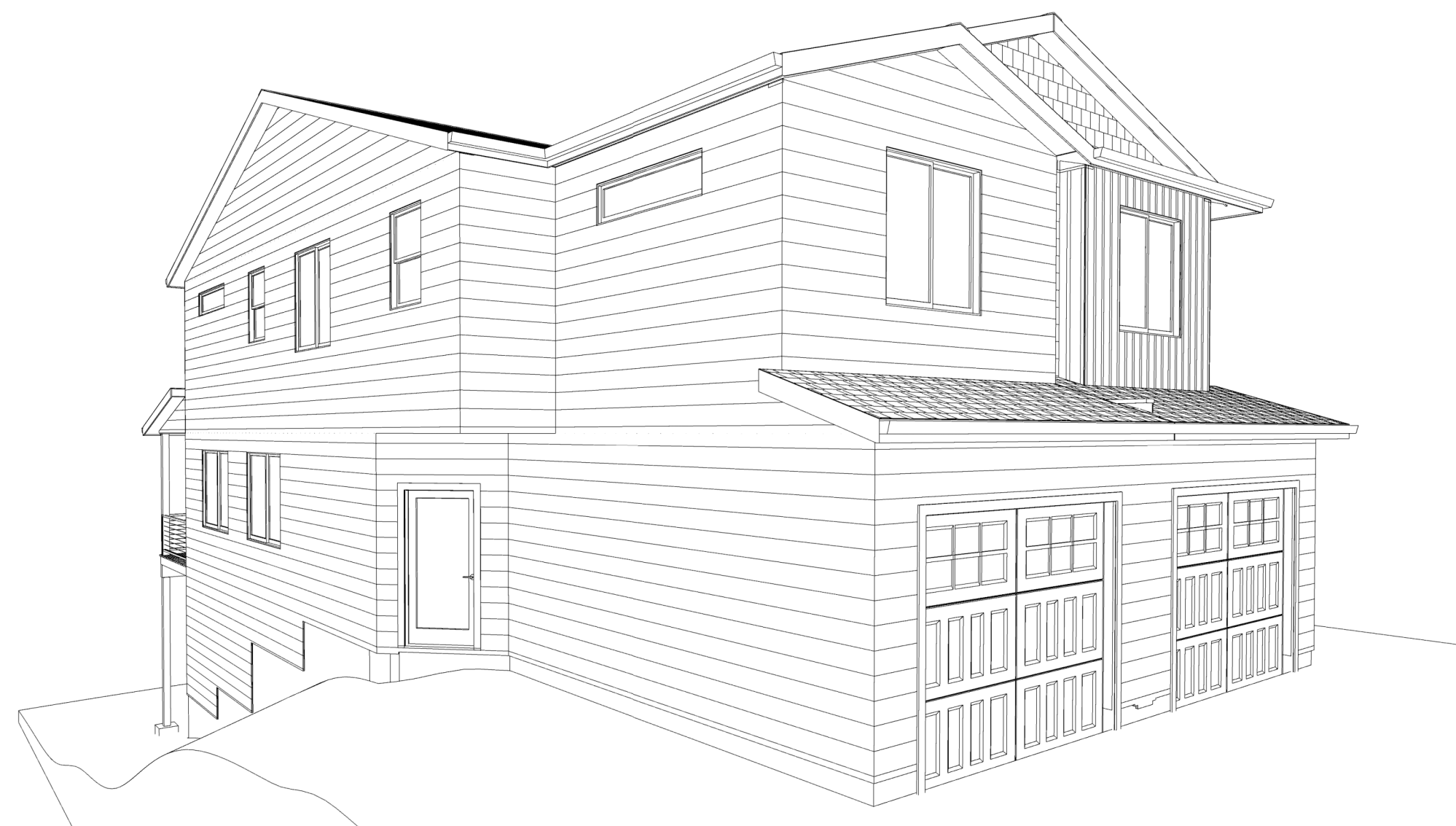
DATE
DECEMBER 14, 2022
(REV. 2)

SCALE
AS NOTED

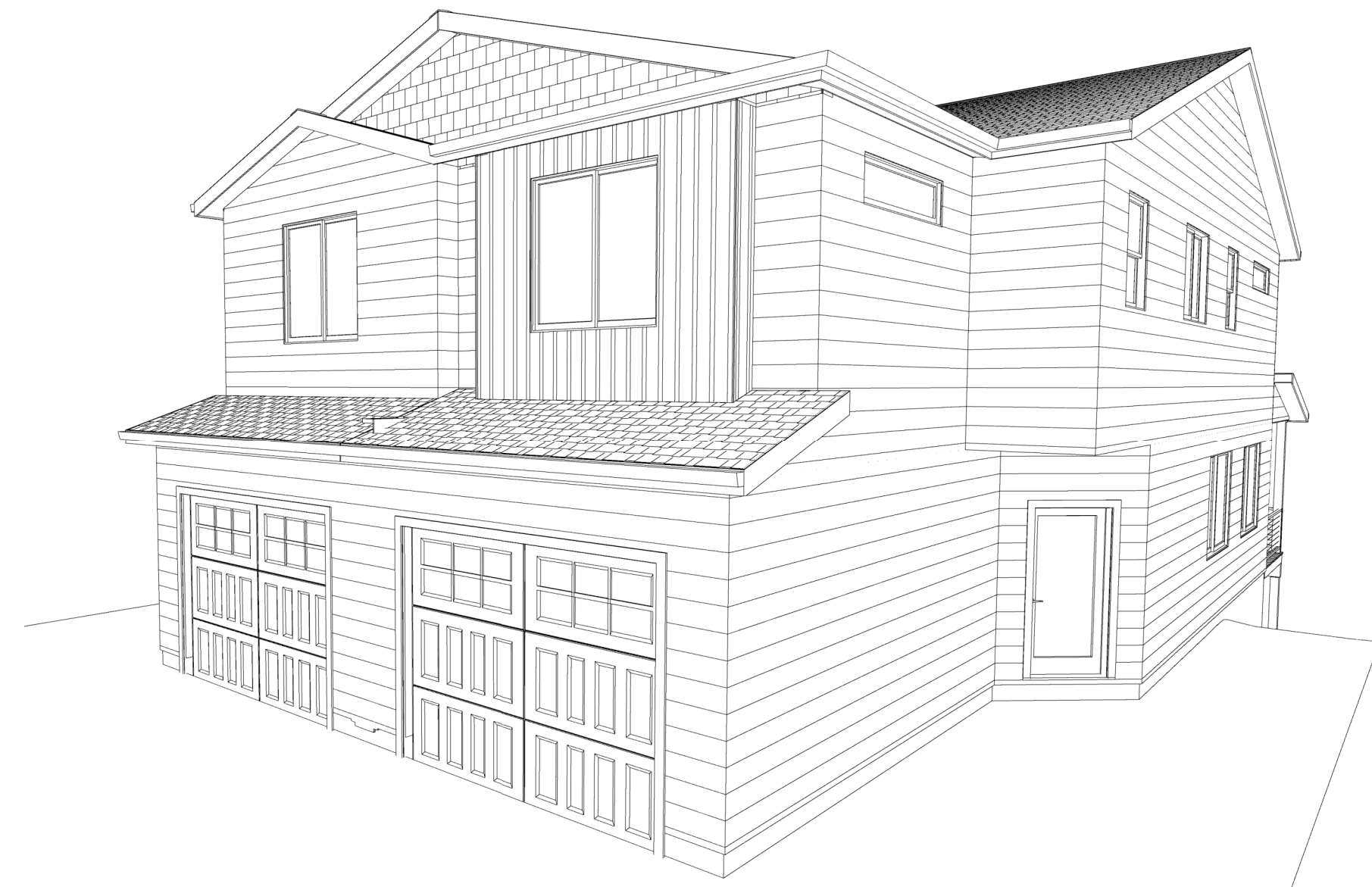
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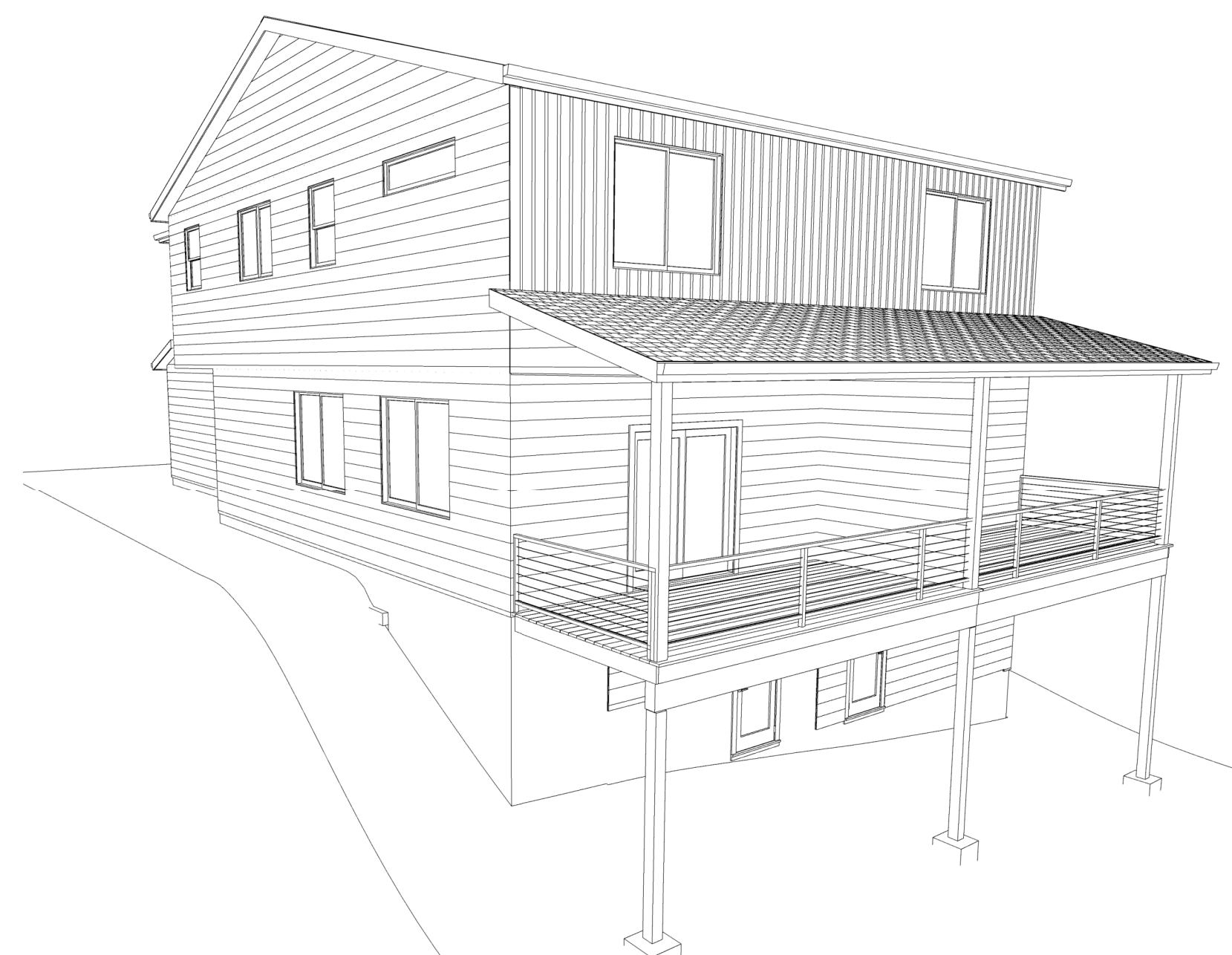
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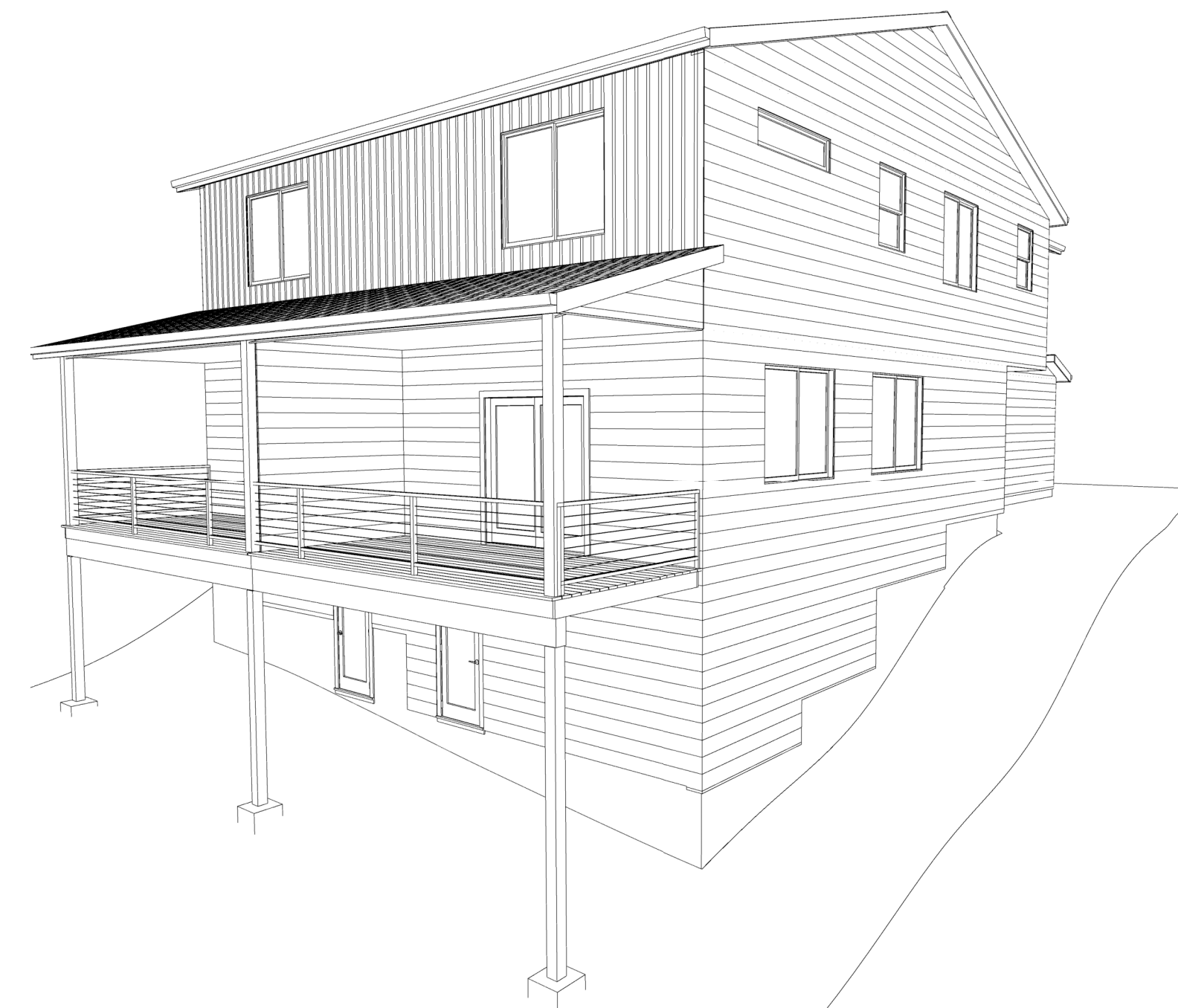
NORTHEAST SIDE PERSPECTIVE
N.T.S.



NORTHWEST SIDE PERSPECTIVE
N.T.S.



SOUTHWEST SIDE PERSPECTIVE
N.T.S.



SOUTHEAST SIDE PERSPECTIVE
N.T.S.

NOTE:
PERSPECTIVE ELEVATIONS ARE A DESIGNER'S RENDERING OF THE RESIDENCE. THEY ARE PLACED FOR A VISUAL HELP ONLY.

PROJECT DIRECTORY

OWNER:
NAME: GEACU GHEORGHE & GEACU DANIELA
PHONE: (360) 326-5354
EMAIL: ALEXGEACUBG@GMAIL.COM

DESIGNER:
KARNAFEL DESIGNS
NAME: VLAD KARNAFEL
ADDRESS: 13714 NE 28TH ST. #19 VANCOUVER, WA 98682
PHONE: (503) 313-7055
EMAIL: KARNAFEL@GMAIL.COM

ENGINEER:
PEC DESIGN AND CONSULTING LLC
NAME: PATRICK CARROLL, PE
ADDRESS: 2621 NE 109TH STREET, VANCOUVER, WA 98686
PHONE: (503) 849-1646
EMAIL: PEC.98686@GMAIL.COM

PROJECT DESCRIPTION: NEW HOME

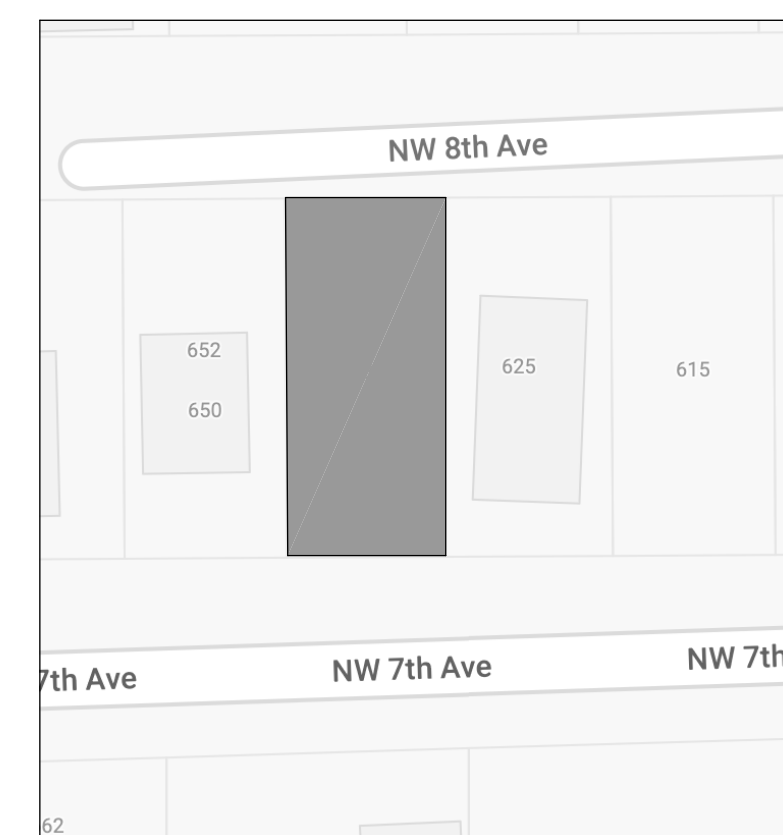
FLOOR AREA

UNIT "A"	
MAIN FLOOR LIVING.....	632 SQ. FT.
UPPER FLOOR LIVING.....	843 SQ. FT.
TOTAL LIVING.....	1475 SQ. FT.
GARAGE.....280 SQ. FT.	
COVERED DECK.....	142 SQ. FT.
UNIT "B"	
MAIN FLOOR LIVING.....	632 SQ. FT.
UPPER FLOOR LIVING.....	843 SQ. FT.
TOTAL LIVING.....	1475 SQ. FT.
GARAGE.....280 SQ. FT.	
COVERED DECK.....	142 SQ. FT.

INDEX OF DRAWINGS

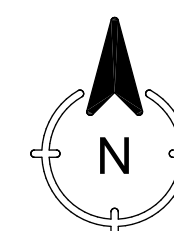
- G1.0 - COVER PAGE
- G2.0 - NOTES
- A1.0 - EXTERIOR ELEVATIONS
- A2.0 - FOUNDATION PLAN & MAIN FLOOR PLAN
- A3.0 - UPPER FLOOR & ROOF PLAN
- A4.0 - SECTIONS
- A5.0 - DETAILS

VICINITY MAP



LEGAL DESCRIPTION

PROPERTY PARCEL NUMBER: 986039342
COUNTY: CLARK



GENERAL NOTES:

1. ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSION OF THE IRC 2018, AND ALL APPLICABLE STATE, COUNTY, OR LOCAL REGULATIONS.
2. ALL EXTERIOR DIMENSIONS ARE TO THE FRAMING OR MAIN LAYER. DIMENSIONS TO OPENINGS ARE TO THE FRAMING, ROUGH OPENING. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).
3. INTERIOR WALLS: 1/2" GYPSUM WALL BOARD ON EACH SIDE OF 2X4 WOOD STUDS @ 16" O.C. 4-1/2" THICK TYPICAL (UNLESS NOTED).
4. EXTERIOR WALLS: LAP SIDING OVER MOISTURE BARRIER PAPER (HOUSE WRAP) ON 7/16" O.S.B. SHEATHING ON 2X6 WOOD STUDS @ 16" O.C. 5-1/2", 1/2" GYPSUM WALL BOARD (GLUE & SCREW), STONE SUPPLIER TO SIZE AND PROVIDE STEEL LINTELS AT MASONARY OPENINGS AS REQUIRED.
5. PORCHES, DECKS, BALCONIES, FOUNDATION AND GARAGE AREAS NOT INCLUDED IN LIVING AREA.
6. NO WORK IS AT START UNTIL THE REQUIRED PERMITS ARE OBTAINED. THE OWNER WILL PROVIDE A BUILDING PERMIT. ALL OTHER PERMITS SHALL BE OBTAINED AND PAID FOR BY THE GENERAL CONTRACTOR OR THE RESPECTIVE TRADE SUB-CONTRACTOR.
7. ALL LABOR, MATERIAL, EQUIPMENT AND SUPERVISION NECESSARY TO PROVIDE A COMPLETE PROJECT, SHALL BE PROVIDED BY THE GENERAL CONTRACTOR WORK OR EQUIPMENT WHICH IS NOT SPECIFICALLY IDENTIFIED OR SPECIFIED, BUT WHICH IS NECESSARY FOR THE COMPLETE AND PROPER EXECUTION OF THE WORK CALLED FOR IN THE DRAWINGS SHALL BE PROVIDED BY THE GENERAL CONTRACTOR.
8. THE CONTRACTOR SHALL PROVIDE ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, SAFETY PROCEDURES AND METHODS TO PROTECT THE LIFE, HEALTH AND SAFETY OF WORKERS, SUBCONTRACTORS, SUPPLIERS AND THE PUBLIC ON ALL WORK RELATED TO THIS PROJECT, IN FULL CONFORMANCE WITH OSHA REQUIREMENTS.
9. SPECIFIC MANUFACTURERS AND MATERIALS DEPICTED ON THESE PLANS ARE AN INDICATION OF QUALITY AND STRENGTH. VERIFY ALL CONSTRUCTION MATERIAL SUBSTITUTIONS WITH CURRENT APPLICABLE BUILDING CODES AND LOCAL BUILDING OFFICIALS PRIOR TO INSTALLATION/SUBSTITUTION.
10. THE LOCATION OF UNDERGROUND UTILITIES IS UNKNOWN. THE CONTRACTOR SHALL TAKE EXTREME CARE DURING EXCAVATION TO PREVENT DAMAGE TO EXISTING UTILITIES. SHOULD UTILITIES NEED TO BE RELOCATED TO ACCOMMODATE THE NEW WORK, SUCH RELOCATION SHALL BE COMPLETED IMMEDIATELY TO MINIMIZE INTERRUPTION OF SERVICE(S).
11. CONTRACTOR SHALL ARRANGE FOR ALL TEMPORARY SERVICES SUCH AS POWER, WATER, REFUSE AND SANITATION. CONTRACTOR SHALL ALSO ENSURE THAT THE ADJOINING RIGHT OF WAY IS KEPT CLEAR AND CLEAN OF DIRT AND DEBRIS.
12. THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE DESIGNER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START AND/OR DURING CONSTRUCTION. THE DESIGNER IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR AND/OR SUB-CONTRACTOR.
13. BUILDING THIS PLAN ON SITE CONDITIONS DIFFERENT FROM THOSE SHOWN ON THE PLANS MAY REQUIRE MODIFIED FOUNDATION AND FRAMING DETAILS. THE CONTRACTOR IS RESPONSIBLE TO REVIEW SPECIFIC SITE CONDITIONS WITH THE DESIGNER BEFORE CONSTRUCTION.
14. VERIFY FOUNDATION AND FRAMING DETAILS (WHERE APPLICABLE) WITH MECH, PLUMBING, ELECTRICAL AND OTHER SUB-CONTRACTORS TO ASSURE PROPER CONSTRUCTION INSTALLATION.
15. PLUMBING, ELECTRICAL, AND MECHANICAL DIAGRAMS, LAYOUTS AND/OR DESIGN TO BE SUPPLIED BY CONTRACTOR AND/OR SUB-CONTRACTOR.
16. ENGINEERED PRODUCTS (I.E. ROOF TRUSSES, FLOOR JOISTS) TO HAVE DESIGN, ENGINEERING SPECIFICATIONS AND LAYOUT SUPPLIED FROM MANUFACTURER.
17. THIS PLAN SET, COMBINED WITH THE BUILDING CONTRACT, PROVIDES BUILDING DETAILS FOR THE RESIDENTIAL PROJECT. THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES. CONTRACTOR SHALL BE RESPONSIBLE AND BEAR ANY FINES OR PENALTIES FOR CODE, ORDINANCE, REGULATION OR BUILDING PROCESS VIOLATIONS. INSURANCES SHALL BE IN FORCE THROUGHOUT THE DURATION OF THE BUILDING PROJECT.
18. WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS). ALL TRADES SHALL MAINTAIN A CLEAN WORK SITE AT THE END OF EACH WORK DAY.
19. BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.

ENERGY REQUIREMENTS

- INSULATION:
- A. EXTERIOR WALLS =R-21 INT (FILL IN GAPS & VOIDS, INSULATED HEADERS)
 - B. ATTIC SPACE =R-49 F.G LOOSE FILL
 - C. VAULTED CEILING =R-49 ADV. (0.5 PERM VAPOR RETARDER)
 - D. CRAWL SPACE =R-38 F.G BATT UNDER FLOOR W/ V.B. UP.
 - E. BASEMENT WALLS =R-21 F.G BATT (ONE-PERM VAPER RETARDER)
 - F. SLAB FLOOR EDGE =R-10 RIGID POLYSTYRENE FOAM
 - G. POLYISOCYANURATE TYPE FOAM INSULATION AT PLATE, FLOOR, CORNER STUD CAVITIES AND WINDOW/DOOR ROUGH OPENING.
 - H. INSULATE TO R-8 ALL PIPES (HOT & COLD WATER) AND DUCTWORK (HEATING & COOLING) IN NON-CONDITIONED SPACES.
 - I. POLYFOAM SILL SEALER ON TOP OF CONCRETE FOUNDATION WALLS.
 - J. WINDOW CLASS =U-0.28 OR LOWER
 - K. MAIN ENTRY DOOR =U-0.20
 - L. ALL OTHER DOORS =U-0.20
 - M. SKYLIGHT CLASS =U-0.50



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DRAWING TITLE:
COVER PAGE

GEACU RESIDENCE
PROJECT ADDRESS:
633 NW 7TH AVE. CAMAS, WA 98607

DATE
AUGUST 29, 2022
(REV. 1)

SCALE
AS NOTED

SHEET NO:
G1.0

FOUNDATION NOTES:

- POURED CONCRETE WALL/FOOTING INCLUDING ALL REINFORCING BARS TO BE DETERMINED BY OTHERS.
 - AT GARAGE POUR 4" CONCRETE SLAB 12" UNDER TOP OF STEM WALL.
 - VERIFY ALL UTILITY LOCATIONS IN FIELD.
 - PROVIDE GUARDRAIL AT STAIRS DURING CONSTRUCTION.
 - "S" - STEPPED FOUNDATION.
 - PROVIDE 18" MIN. CRAWL SPACE BELOW FLOOR DECKING & 12" MIN. BELOW BEAMS. COVER CRAWL SPACE WITH 6 mil. BLACK VAPOR BARRIER. LAP JOINTS 12" MIN. AND EXTEND UP STEM WALL AND STAPLE TO MUD SILL.
 - FOUNDATION FOOTINGS, PIER AND COLUMN FOOTINGS TO BEAR ON UNDISTURBED SOIL WITH MINIMUM DEPTH OF BOTTOM OF FOOTING TO BE 18" BELOW FINAL GRADE. SOIL BEARING PRESSURE ASSUMED TO BE 1500 PSF.
 - ALL EXCESS GRADING MATERIAL TO BE EXPORTED FROM THIS SITE TO AN APPROVED DISPOSAL LOCATION.
 - EXCAVATE SITE TO PROVIDE A MINIMUM OF 18" CLEARANCE UNDER ALL GIRDERS.
 - CLEAN ALL FOOTING EXCAVATIONS OF LOOSE AND ORGANIC MATERIALS.
 - MAXIMUM SLOPE OF CUTS AND FILLS TO BE TWO (2) HORIZONTAL TO ONE (1) VERTICAL FOR BUILDINGS, STRUCTURES, FOUNDATIONS, AND RETAINING WALLS.
 - DO NOT BACKFILL FOUNDATION WALLS UNTIL MAIN FLOOR INCLUDING SUB-FLOORING AND WALL DIAPHRAGMS ARE IN PLACE AND FULLY NAILED AND ANCHORED AND FOUNDATION WALLS HAVE BEEN CAST AND CURED FOR 28 DAYS.
- 13. CONCRETE:**
 **BASEMENT AND FOUNDATIONS WALLS AND FOOTINGS NOT EXPOSED TO WEATHER - 6 SACK/YD., 4" MAX. SLUMP, 3000 PSI
 **BASEMENT AND INTERIOR SLABS ON GRADE - 6 SACK/YD., 4" MAX. SLUMP, 3000 PSI
 **BASEMENT WALLS, FOUNDATIONS AND FOOTINGS EXPOSED TO WEATHER - 6 SACK/YD., 4" MAX. SLUMP, 3000 PSI
 **PORCHES, STEPS, CARPORT AND OTHER EXTERIOR SLABS DIRECTLY EXPOSED TO WEATHER, 5% - 7% MAX. AIR ENTRAINED - 7 SACK/YD. 4" MAX. SLUMP, 3500 PSI.
- ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS.
 - ALL CONCRETE FORMS, SHORING AND POURING METHODS SHALL CONFORM TO CURRENT A.C.I. STANDARDS.
 - ALL FOUNDATIONS TO BE 8" CONCRETE WALLS ON 16" X 8" MIN. CONCRETE FOOTINGS OR 6" CONCRETE WALLS ON 12" X 6" MIN. CONCRETE FOOTINGS. REFER TO FOUNDATION PLAN FOR ADDITIONAL REQUIREMENTS. ALL FOUNDATIONS OVER 48" HIGH REQUIRE TO BE ENGINEERED CONCRETE WALLS AND FOOTINGS.
 - ALL FILL UNDER GRADE SUPPORTED SLABS TO BE A MINIMUM OF 4" GRANULAR MATERIAL COMPACTED TO 95% MINIMUM.
 - CONCRETE SLABS TO HAVE TOOLED CONTROL JOINTS AT 25 FT. MAXIMUM INTERVALS EACH WAY.
 - PROVIDE (12) 16" X 6" (96 SQ. IN.) CLOSEABLE SCREENED FOUNDATION AIR VENTS WITH 1/8" CORROSION RESISTANT SCREENED WIRE MESH. SPACE WITHIN 36" OF OUTSIDE CORNERS AND EQUALLY DISTRIBUTED AROUND PERIMETER OF CRAWLSPACE. (A MINIMUM OF ONE (1) SQUARE FOOT OF VENTILATION AREA FOR EACH 150 SQ. FT. OF CRAWL AREA REQUIRED). VENTS TO BE MIN. 12" AWAY FROM HOLD-DOWNS AND 3'-0" MAX. FROM CORNER.
1042 SQ. FT. CRAWL SPACE / 150 SQ. FT. = 6.94 SQ. FT. X 144 = 1000.3 SQ. IN.
1000.3 SQ. IN. / 96 SQ. IN. = 10.42
 - VERIFY THE LOCATIONS AND DIMENSIONS OF ALL ANCHOR BOLTS AND STRAP TIE HOLDOWNS PRIOR TO INSTALLATION.
 - EXTEND HEIGHT TO FRONT GARAGE CONCRETE STEM WALLS SO THE TOP OF WALL TO BOTTOM OF GARAGE DOOR HEADER DOES NOT EXCEED 8'-0" MAX. FOR PORTAL FRAMING OR UNLESS NOTED.
 - GARAGE FLOOR TO BE 4"- 3000 PSI MINIMUM CONCRETE SLAB ON 4" MINIMUM CLEAN COMPACTED FILL WITH A 2" SLOPE (1/8" PER FT. MIN.) TOWARD OPENING AS REQUIRED FOR DRAINAGE. PROVIDE TOOLED CONTROL JOINTS AT APPROXIMATELY 11 FT. o.c. EACH WAY.
 - PROVIDE BLOCK OUTS FOR DOWNDRAFT COOKTOPS AND DRYER VENTS AND 18" WIDE BLOCK OUT AT FOUNDATION WALL FOR MECH. PLENUM. VERIFY SIZE AND PLACEMENT WITH BUILDER/ SUB-CONTRACTORS PRIOR TO INSTALLATION.
 - PROVIDE A 3" DIA. PVC PIPE IN FOUNDATION WALL FOR ELECTRICAL SERVICE ENTRANCE. VERIFY PLACEMENT WITH BUILDER/ SUB-CONTRACTOR.
 - PROVIDE A 4" DIA. PVC LOW POINT CRAWL SPACE DRAIN THROUGH FOUNDATION WALL BLOCKOUT. DRAIN TO BE SLOPED FOR GRAVITY DRAINAGE AND CONNECTED TO AN APPROVED STORM DRAIN.
 - COVER ENTIRE CRAWL AREA WITH 6-MIL BLACK POLYETHYLENE VAPOR BARRIER AND EXTEND UP WALLS TO MUD SILLS. LAP SEAMS 12" MIN.
 - ALL WOOD IN DIRECT CONTACT WITH CONCRETE TO BE PRESSURE TREATED AND/OR PROTECTED BY 55# ROLLED ROOFING.
 - ALL GIRDERS AND BEAM POCKETS TO HAVE A 1/2" AIR SPACE AT SIDES AND END WITH A 3" MIN. BEARING ON CONCRETE PLACED ON A 55# ASPHALT SHINGLE.
 - ALL HOLDOWNS, JOISTS HANGERS AND BEAM HANGERS TO BE 'SIMPSON OR EQUAL.
 - PROVIDE A 22" X 30" CRAWL ACCESS (18" X 24" MIN.) FROM OUTSIDE OR THROUGH FLOOR. PIPES, DUCTS AND OTHER CONSTRUCTION MUST NOT OBSTRUCT ACCESSIBILITY INTO AND OUT-OF CRAWL SPACE.
 - CRAWL SPACE SHALL BE CLEANED OF ALL VEGETATION, ORGANIC MATERIAL, ALL WOOD CONCRETE FORMING AND OTHER CONSTRUCTION MATERIAL PRIOR TO BUILDING BEING OCCUPIED.
 - PROVIDE A GROUNDING ELECTRODE SYSTEM USING (1) UNCOATED #4 BAR INSTALLED NOT LESS THAN 3 INCHES FROM THE BOTTOM OF THE FOOTING AND NOT LESS THAN 20 FT. IN LENGTH ENCASED WITH A 2" MIN. OF CONCRETE. STUB BAR UP AT LEAST 12" MIN. ABOVE FLOOR PLATE LINE. TIE TO FOOTING BAR WITH A 12" MIN. LAP.
 - PROVIDE (1) MIN. 3" DIA. X 36" HIGH STEEL PROTECTIVE POST IN FRONT OF FURNACE AND HOT WATER HEATER IN A 12" DIA. X 24" DEEP CONCRETE FOOTING. (INSTALL IF REQUIRED FOR PROTECTION FROM CARS).

FLOOR PLAN NOTES:

- ALL EXTERIOR WINDOW AND DOOR HEADERS TO BE 4 X 10 DF-L NO. 2 UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALL TO BE 2 X 6 STUDS @ 16" o.c. AND INTERIOR WALLS TO BE 2 X 4 STUDS @ 16" o.c. FOUNDATION CRIPPLE WALLS SHALL BE FRAMED OF STUDS OF NOT LESS THEN THE STUDDING ABOVE.
- STANDARD STUD HEIGHT TO BE 116-5/8" FOR 10'-1" CEILING HEIGHTS.
- WINDOW AND DOOR HEADER HEIGHTS TO BE 8'-11" TYPICAL UNLESS NOTED OTHERWISE. ADJUST HEIGHT OF WINDOW ROUGH OPENINGS WITH DOOR ROUGH OPENINGS SO THAT CASING AT WINDOW AND DOOR HEADS ARE ALIGNED.
- ALL WOOD IN DIRECT CONTACT WITH CONCRETE TO BE PRESSURE TREATED AND/OR PROTECTED BY 55# ROLLED ROOFING FELT.
- PROVIDE POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENINGS.
- BEARING FOR JOISTS, SUPPORT MEMBERS, HEADERS, AND BEAMS TO BE 1/2 THE MEMBERS WIDTH AND SOLID BEARING TO FOOTINGS. 2 X JOISTS TO HAVE 1-1/2" MIN. BEARING.
- PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER U.B.C. SECTION 708.
- BLOCK ALL STUD WALLS AT SHEATHING SPLICES OR AS REQUIRED.
- INTERIOR PASSAGE DOORS TO HAVE A MINIMUM OF (2) 2 X TRIMMERS EACH SIDE OF DOOR AND TO BE CENTERED IN HALLS.
- ALL HOLDOWNS, JOISTS HANGERS, BEAM HANGERS AND OTHER CONNECTORS TO BE 'SIMPSON OR EQUAL.
- ALL STUD WALLS SHALL HAVE DOUBLE TOP PLATES OF SAME SIZE AND DIMENSION AS THE STUD FRAMING. PLATES SHALL OVERLAP A MINIMUM OF 48" BETWEEN SPLICES WITH AT LEAST (8) 16d NAILS THOUGH BOTH PLATES EACH SIDE OF SPLICE.
- DO NOT NOTCH OR DRILL THROUGH ANY SUPPORT COLUMNS, GIRDERS, BEAMS, JOIST SUPPORTING BEARING WALLS OR ANY OTHER CONCENTRATED LOAD BEARING MEMBER UNLESS SPECIFICALLY NOTED ON PLANS. CONTACT STRUCTURAL ENGINEER IF ANY QUESTIONS.
- EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM CLEARANCE WIDTH OF 20 INCHES AND A BOTTOM SILL HEIGHT LESS THEN 44 IN. ABOVE FINISHED FLOOR.
- ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2" DEAD BOLT LOCKS ON ALL EXTERIOR DOORS. PROVIDE PEEP HOLES 54"-66" ABOVE FINISHED EXT. DOOR FLOOR.
- WINDOWS MUST MEET THE U-VALUE OR CLASS REQUIREMENT FOR THE APPORRIATE ENERGY PATH AND BE LABELED ACCORDINGLY. SITE BUILT WINDOWS MAY BE USED PROVIDED THEY MEET THE CRITERIA AS OUTLINED IN SEC. C704.
- WINDOWS ARE TO BE TEMPERED IF THEY ARE WITHIN 18 INCHES OF THE FLOOR, WITHIN A 24 INCH ARCH OF ANY DOOR IN A CLOSED POSITION, GLAZING USED IN RAILINGS, GLAZING IN FIXED OR SLIDING DOORS, WHERE THE BOTTOM EDGE IS WITHIN 60 INCHES ABOVE STAIRS, HOT TUBS, BATHTUBS, WHIRLPOOLS, AND/ OR SHOWERS
- SKYLIGHTS ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON INSIDE UNLESS PLEXIGLASS. GLASS TO HAVE A MAXIMUM CLEAR SPAN OF 25 INCHES. SKYLITE FRAME IS TO BE ATTACHED TO A 2 X CURB AND TO BE 4 INCHES MINIMUM ABOVE ROOF PLANE.
- ALL TUB AND SHOWER ENCLOSURE DOORS TO BE GLAZED WITH SAFETY GLASS.
- BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED DIRECTLY TO THE OUTSIDE VIA METAL DUCTING WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 5 AIR EXCHANGES PER HOUR (90 CFM MIN). EXHAUST FANS HAVING BATHING FACILITIES TO BE CONNECTED TO A TIMER, DEHUMIDISTAT OR SIMILAR MEANS OF AUTOMATIC CONTROL. DRYER AND RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE. VENTS TO BE PROVIDED WITH BACK-DRAFT DAMPERS
- SMOKE DETECTORS SHALL BE INSTALLED IN EACH BEDROOM AND OUTSIDE THE IMMEDIATE VICINITY OF EACH BEDROOM AREA AND ON EACH STORY OF THE DWELLING. ALL DETECTORS SHALL BE INTERCONNECTED TO MAIN POWER SOURCE AS THE PRIMARY POWER AND BATTERY BACKUP AS SECONDARY POWER. ACTUATION OF ONE ALARM WILL ACTURATE ALL THE ALARMS AND WILL BE AUDIBLE IN ALL BEDROOMS.
- SMOKE ALARMS SHALL NOT BE INSTALLED IN THE FOLLOWING LOCATIONS UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM IN A LOCATION REQUIRED BY SECTION R314.3:
 - LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER.
 -IONIZATION SMOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 20 FEET HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIACE.
 -IONIZATIO SMOKE ALARMS WITH AN ALARM-SILENCING SWITCH SHALL NOT BE INSTALLED LESS THAN 10 FEET HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIACE.
- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS, EXTERIOR LOCATIONS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
- RECESSED LIGHT FIXTURES ARE NOT PERMITTED IN ANY INSULATED CAVITY UNLESS THE FIXTURES ARE LABELED AS BEING SUITABLE (I.C. LABEL) FOR DIRECT CONTACT WITH INSULATION.
- ALL DOORS BETWEEN GARAGE AND LIVING AREAS SHALL BE ONE-HOUR FIRE RATED ASSEMBLIES WITH 1-3/4" SOLID CORE DOOR OR CODE APPROVED EQUAL WITH A SELF-CLOSING MECHANISM.
- USE 1/2" GYPSUM BOARD IN HOUSE WALLS AND CEILINGS AND UNDER STAIRS. USE 5/8" TYPE X GYPSUM BD. ON WALLS AND CEILINGS BETWEEN GARAGE AND LIVING AREAS. PROVIDE 1/2" WATERPROOF GYPSUM BD. ABOVE ALL SHOWER AND TUB/SHOWER UNITS AND IN ANY WATER SPLASH AREAS.
- ALL FIREPLACE OPENINGS SHALL HAVE TEMPERED GLASS DOORS. PROVIDE OUTSIDE COMBUSTION AIR VENTS (WITH SCREENS AND BACK DAMPER) FOR FIREPLACES, WOOD STOVES, AND ANY APPLIANCES WITH OPEN FLAME.
- APPLIANCES PRODUCING A SPARK, GLOW OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS SHALL NOT BE INSTALLED IN A GARAGE UNLESS THE PILOTS, BURNERS, HEATING ELEMENTS OR SWITCHES ARE AT LEAST 18 INCHES ABOVE THE FLOOR.
- PROVIDE 90% MIN. EFFICIENT NATURAL GAS FURNACE WITH BACKDRAFT DAMPER AND NATURAL GAS HOT WATER HEATER WITH BACKDRAFT DAMPER. PROVIDE R-4 INSULATION AROUND HOT WATER LINES IN UNHEATED AREAS. ELEVATE FLAME IN UNITS 18" ABOVE FINISH FLOOR.
- FLASHING REQUIREMENTS: GALVANIZED FLASHING REQUIRED ABOVE BELLY BANDS, WINDOW AND DOOR TRIM, DECKS AND ALL OTHER SIMILAR PROJECTIONS. WINDOWS ARE REQUIRED TO BE INSTALLED, PROPERLY FLASHED, AND INSPECTED PRIOR TO COVER.

ELEVATION NOTES:

- ROOFING MATERIAL TO BE 30 YEAR ARCHITECTURAL STYLE OR EQUAL COMPOSITION SHINGLE ON 30# FELT PAPER. NAILING PER MANUFACTURED INSTRUCTIONS FOR AN 80 MPH MIN. WIND AREA.
- PROVIDE ICE & WATER SHIELD MIN 6'-0" COVERAGE AT ALL VALLEYS.
- METAL FLASHING AS REQUIRED BY CODE.
- ROOF & SOFIT VENTS AS REQUIRED BY CODE.
- BRICK MANUFACTURER TO SIZE AND PROVIDE STEEL LINTELS AT MASONRY OPENINGS AS REQUIRED.
- ALL GRADES SHOWN ARE ASSUMED AND APPROXIMATE, ACTUAL SITE CONDITIONS AND TOPOGRAPHY MAY VARY FROM THAT SHOWN.
- INFORMATION CONTAINED IN PLAN VIEWS TAKES PRECEDENT OVER ELEVATIONS/SECTIONS.
- THE TYPE OF EXTERIOR FINISH (MATERIALS, ETC.) SHOWN ARE SUGGESTIONS ONLY, THE INSTALLATION AND THE WATERPROOFING MATERIALS AND INSTALLATION/FLASHING DETAILS ARE ALL TO BE THE FULL RESPONSIBILITY OF THE OWNER/BUILDER.
- NO WINDOW AND DOOR SURROUND TRIM TO BE INSTALLED OR AS NOTED.
- SIDING TO BE HARD-LAP ON ALL SIDES OR AS SHOWN ON PLAN. CAULK ALL CORNER BOARDS, JOINTS, WINDOWS, DOORS AND SURROUNDS.
- ALL CORNERS TO BE (2) PIECE 54" X 4" R.S. PRIMED PRIOR TO INSTALL.
- COVERED PORCHES AND EAVE SOFFITS TO BE 2" CC EXT. PLY. OR EQUAL. CAULK ALL JOINTS.
- MASONRY VENEER TO BE BRICK OR EQUAL AS SHOWN ON PLAN. PROVIDE GI FLASHING ON A MASONRY SILL CAP OVER VENEER. VERIFY LOCATION AND TYPE OF MASONRY WITH BUILDER PRIOR TO CONSTRUCTION.
- PROVIDE 2 X 10 R.S. CEDAR OR EQUAL FLOOR/CEILING BANDING WITH A GALVANIZED 'Z' FLASHING AT EXPOSED TOP. LOCATIONS AS SHOWN ON PLAN.
- GARAGE DOOR TO BE A 4-PANEL METAL INSULATED WITH WINDOWS ON ALL PANELS. VERIFY TYPE WITH BUILDER.
- PROVIDE VINYL WINDOWS.
- EXPOSED CONCRETE WALKS TO BE BROOM FINISH MINIMUM.
- MAXIMUM FOUNDATION EXPOSURE TO BE 18" FROM FINISHED GRADE.
- MAXIMUM SLOPE OF CUTS AND FILLS TO BE TWO (2) HORIZONTAL TO ONE (1) VERTICAL FOR BUILDINGS, STRUCTURES, FOUNDATIONS, AND RETAINING WALLS.
- FINISH GRADE TO BE 1:1 MAXIMUM SLOPE WITH A 6" MINIMUM IN 10'-0" MINIMUM SLOPE AWAY FROM STRUCTURE ALL AROUND.



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DRAWING TITLE:
NOTES

GEACU RESIDENCE
 PROJECT ADDRESS:
 633 NW 7TH AVE. CAMAS, WA 98607

DATE
 AUGUST 29, 2022
 (REV. 1)

SCALE
 AS NOTED

SHEET NO:

G2.0

THE BUILDER/SUB-CONTRACTORS/OWNER ASSUMES FULL RESPONSIBILITY FOR THE ENTIRE BUILDING WEATHER ENVELOPE INCLUDING THE CORRECT INSTALLATION OF ALL EXTERIOR MATERIALS / FINISHES AND WATERPROOFING. KARNAFEL DESIGNS DOES NOT ASSUME RESPONSIBILITY FOR DETAILS AND/OR THE INTEGRITY OF THE BUILDING ENVELOPE.

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DRAWING TITLE:
EXTERIOR ELEVATIONS

GEACU RESIDENCE
PROJECT ADDRESS:
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DATE
AUGUST 29, 2022
(REV. 1)

SCALE
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SHEET NO:
A1.0

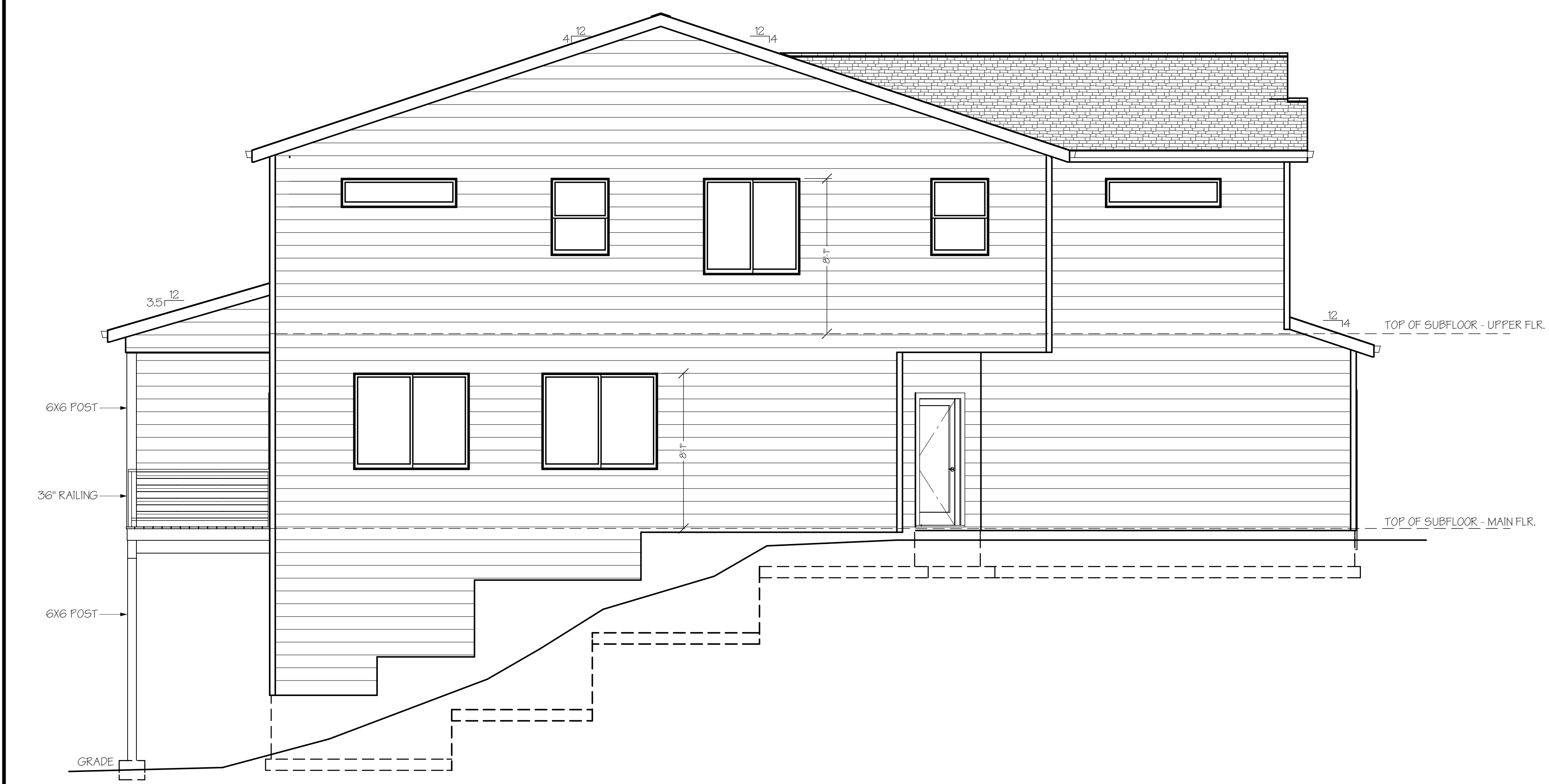


EXTERIOR FRONT ELEVATION "E1"
SCALE: 1/4"=1'-0"

- 30 YR. MIN. ARCH. COMP. SHINGLES BLACK COLOR
- SHAKES SIDING OR EQUAL DARK GREY (0528 GREYBEARD)
- 2X8 FASCIA BLACK (0165 BLACK OPAL) W/ G.I. GUTTER
- VINYL WINDOWS W/ NO GRIDS AS SHOWN W/O TRIM
- WINDOW TRIM (0165 BLACK OPAL)
- BOARD & BATTEN DARK GREY (0528 GREYBEARD)
- CORNER TRIM (0165 BLACK OPAL)
- HARDI-LAP SIDING OR EQUAL LIGHT GREY (0516 DIAMOND STUD)
- FRONT DOOR (0165 BLACK OPAL)
- DOOR TRIM (0165 BLACK OPAL)
- FIBERGLASS GARAGE DOOR (0165 BLACK OPAL)



EXTERIOR RIGHT ELEVATION "E4"
SCALE: 1/4"=1'-0"



EXTERIOR LEFT ELEVATION "E2"
SCALE: 1/4"=1'-0"



EXTERIOR REAR ELEVATION "E3"
SCALE: 1/4"=1'-0"

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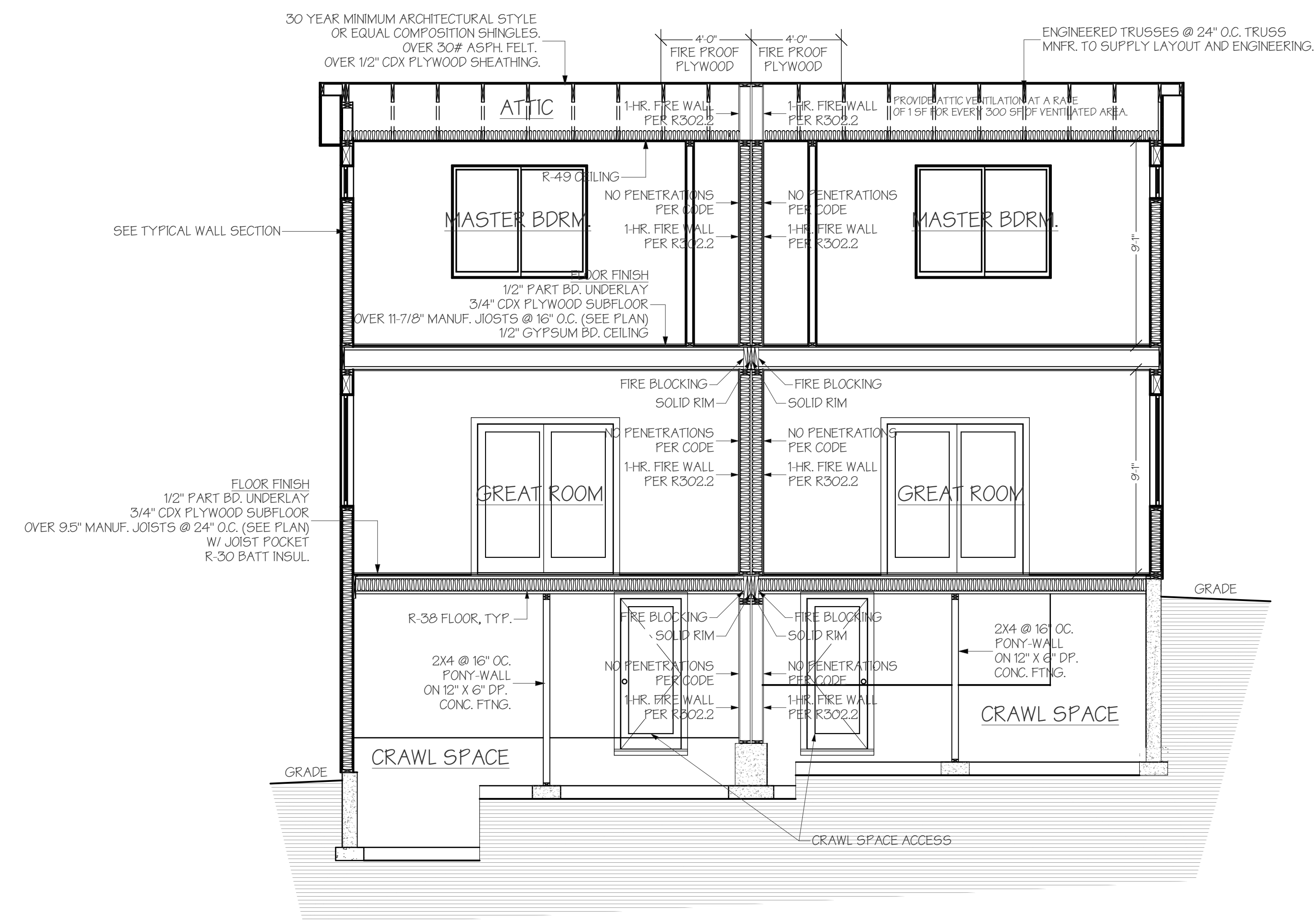
DRAWING TITLE:
SECTIONS

GEACU RESIDENCE
 PROJECT ADDRESS:
 6333 NW 7TH AVE. CAMAS, WA 98607

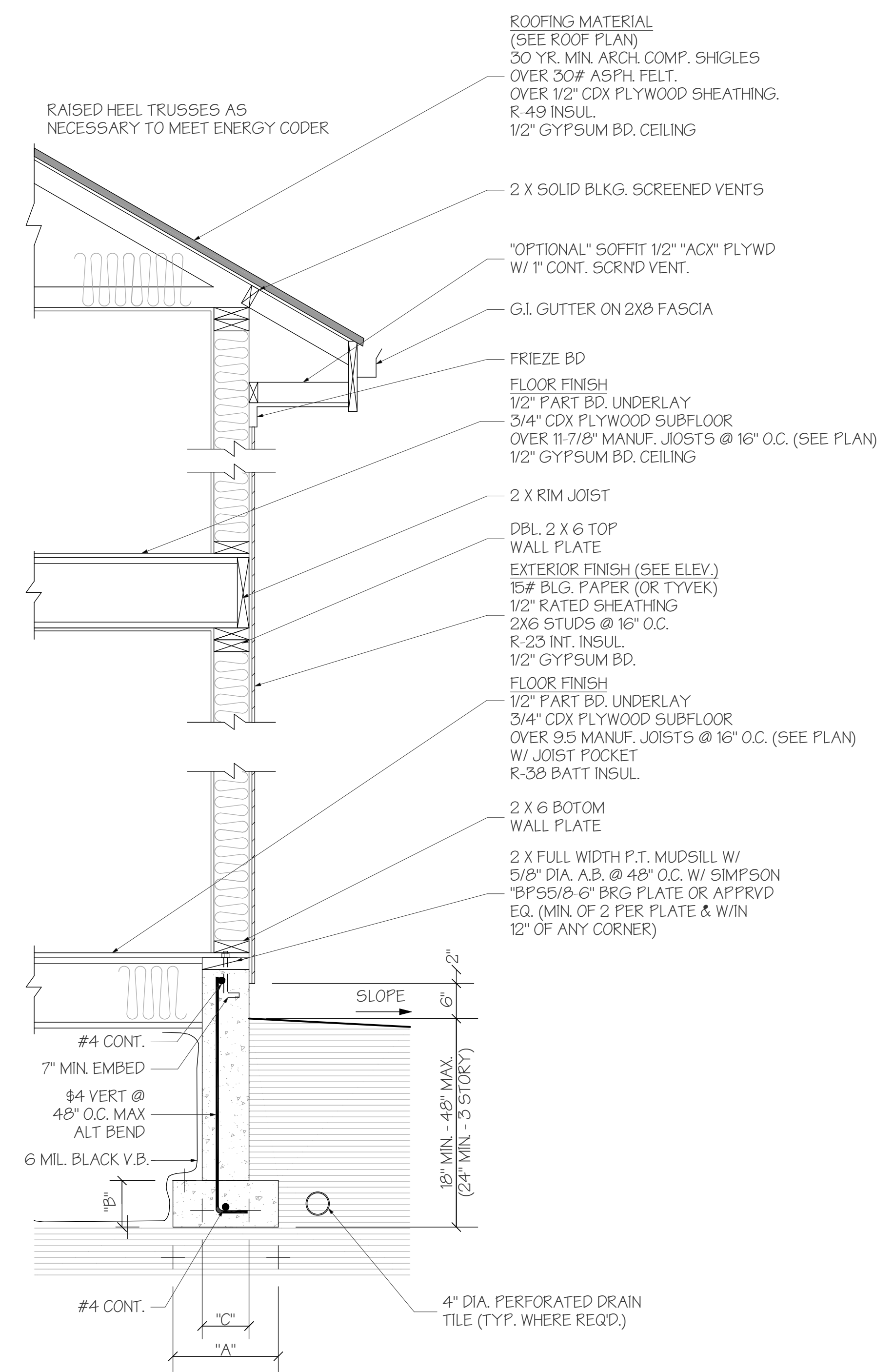
DATE
 AUGUST 29, 2022
 (REV. 1)

SCALE
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SHEET NO.:
 A4.0



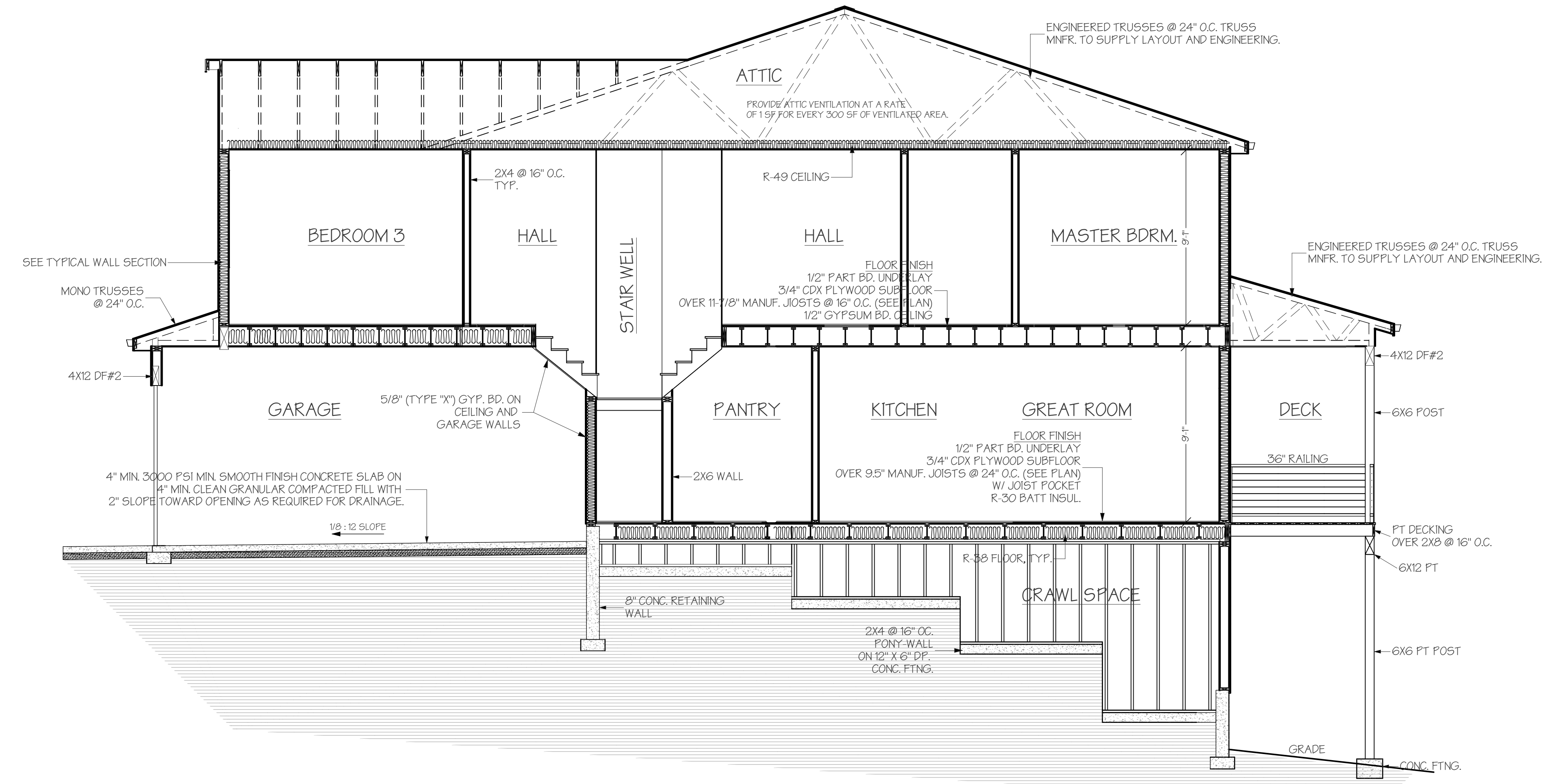
BUILDING CROSS SECTION "S1"
 SCALE: 1/4"=1'-0"



RECOMMENDED FDTN DIMS. (I.N.O.)

2018 I.R.C.	"A"	"B"	"C"
1 STORY:	12"	6"	6"
2 STORY:	15"	7"	8"
3 STORY:	18"	8"	10"

TYPICAL WALL SECTION
 SCALE: 3/4"=1'-0"



BUILDING CROSS SECTION "S2"
 SCALE: 1/4"=1'-0"

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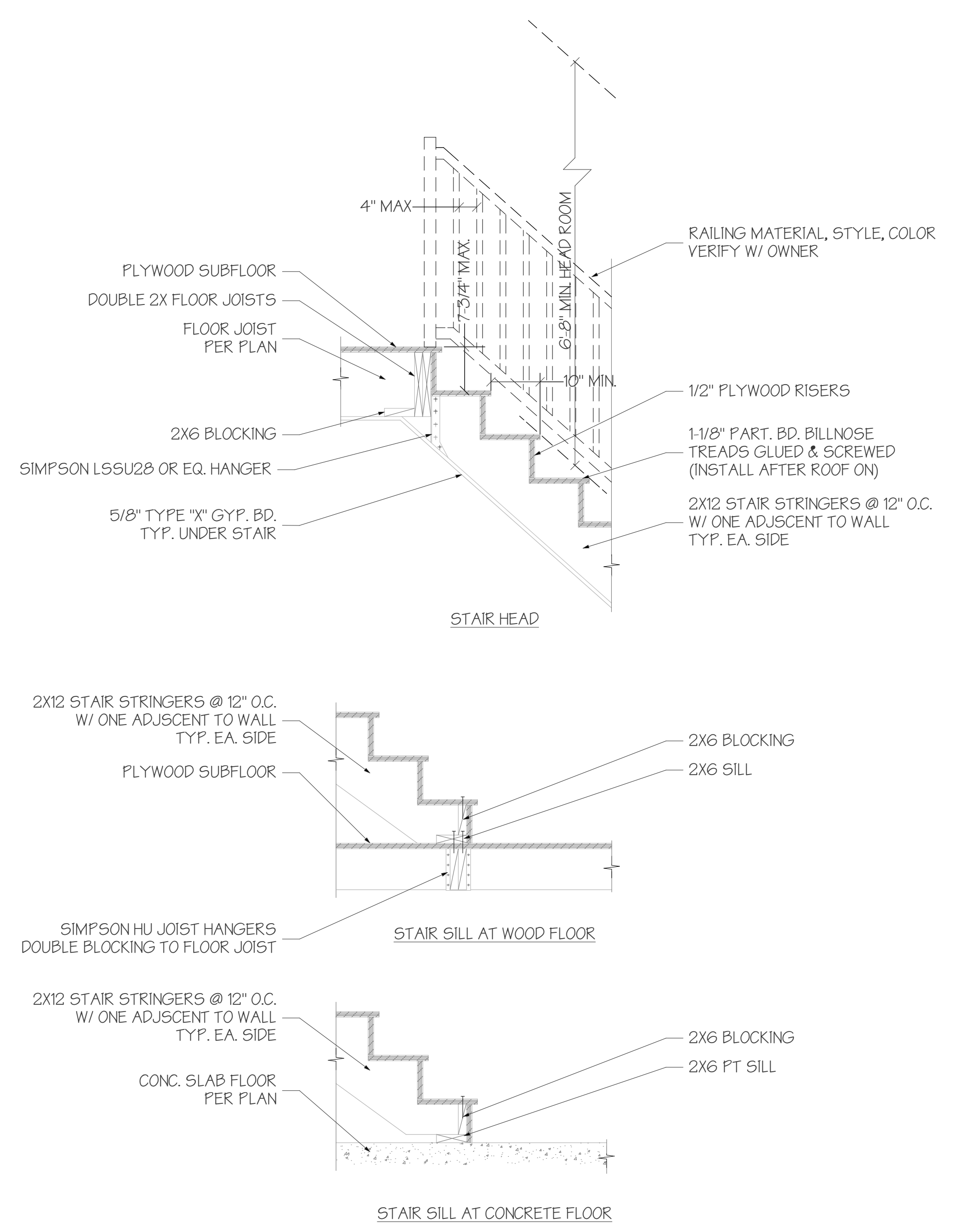
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DETAILS

GEACU RESIDENCE
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 633 NW 7TH AVE. CAMAS, WA 98607

DATE
 AUGUST 29, 2022
 (REV. 1)

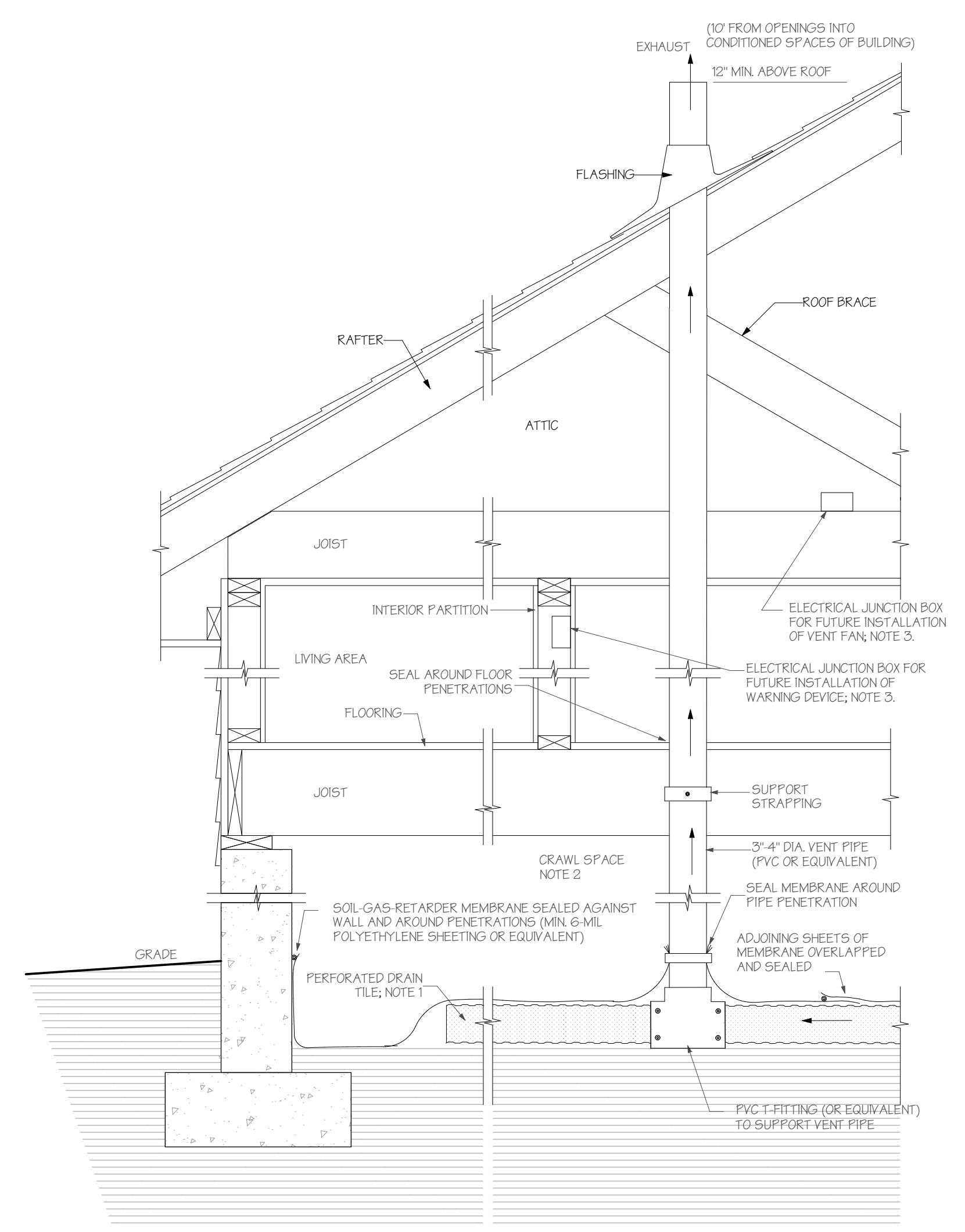
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SHEET NO.:
 A5.0



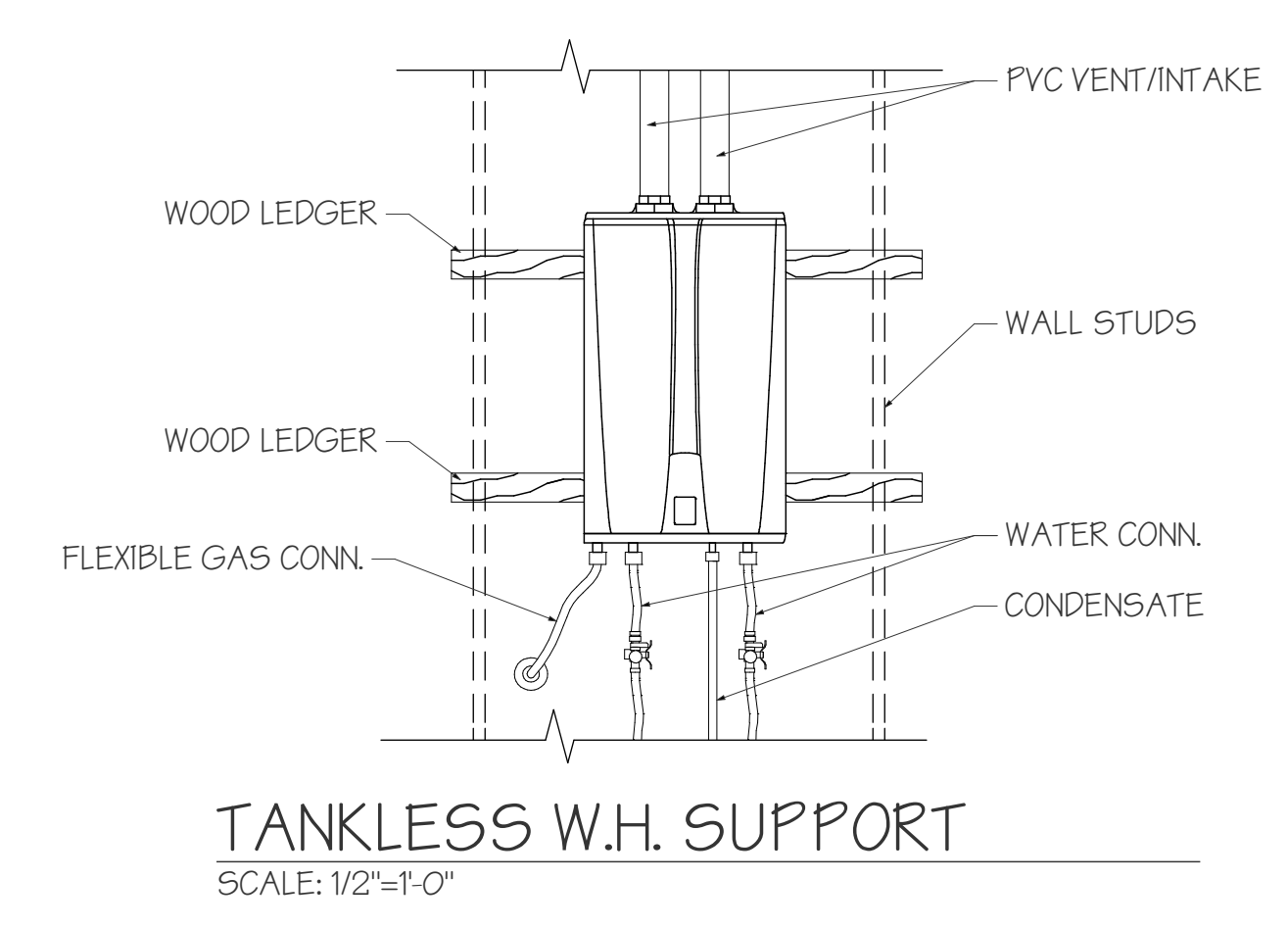
STAIR DETAIL
 SCALE: 3/4"=1'-0"

- STAIRS NOTES:**
1. STAIRWAYS SHALL HAVE A MIN. WIDTH OF 36". HAND RAILS MAY ENCR OACH A MAX. OF 3 1/2" INTO THE REQUIRED WIDTH.
 2. RISE: MAX. 7-3/4". TREADS SHALL HAVE A MIN. WIDTH OF 10" W/ 3/4" TO 1-1/4" NOSE OR MIN. 1" RUN. STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 3/8".
 3. STAIRWAYS SHALL HAVE MIN. 6'-8" OF HEADROOM AT THE NOSE OF THE STAIR.
 4. ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5/8" TYPE "X" GYP. WALL BOARD.
 5. STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 36" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION.
 6. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.
 7. STAIRWAYS HAVING LESS THAN 4 RISERS DO NOT REQUIRE A HAND RAIL.
 8. GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 30" BELOW AND SHALL HAVE A 36" MIN. HEIGHT.
 9. RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".
 10. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH.
 11. A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE GREATER THAN 151" BETWEEN FLOOR LEVELS OR LANDINGS. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE STAIRWAY SERVED. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36" INCHES MEASURED IN THE DIRECTION OF TRAVEL.



RADON REDUCTION SYSTEM W/ CRAWL SPACE
 SCALE: 1"=1'-0"

- RADON REDUCTION SYSTEM REQUIREMENTS: CRAWL SPACE**
1. INSTALL A LENGTH OF 3" OR 4" DIAMETER PERFORATED DRAIN TILE HORIZONTALLY BENEATH THE SHEETING AND CONNECT TO THE "T" FITTING WITH THE VERTICAL STANDPIPE THROUGH THE SOIL-GAS-RETARDER MEMBRANE. THIS HORIZONTAL PIPE SHOULD NORMALLY BE PLACED PARALLEL TO THE LONG DIMENSION OF THE HOUSE AND SHOULD EXTEND NO CLOSER THAN 6 FEET TO THE FOUNDATION WALL.
 2. VENTILATE CRAWL SPACES IN CONFORMANCE WITH LOCAL CODES; VENTS SHALL BE OPEN TO THE EXTERIOR AND BE OF NONCLOSEABLE DESIGN.
 3. CIRCUITS SHOULD BE A MINIMUM 15 AMP, 115 VOLT, MIN. SCHEDULE 40 PVC PIPING.
 4. "RADON REDUCTION SYSTEM" LABELS TO BE APPLIED TO PIPING AT ALL ACCESSIBLE LOCATIONS.
 5. MIN. 6 MIL. BLACK POLY. VAPOR BARRIER WITH 12" OVERLAP AT SEAMS.
 6. ELECTRICAL JUNCTION BOX FOR FUTURE FAN REQUIRED AT ACCESSIBLE LOCATIONS NEAREST TO PIPE TERMINATION.
 7. RADON DUCT SHALL BE LOCATED WITHIN WARM WALL.





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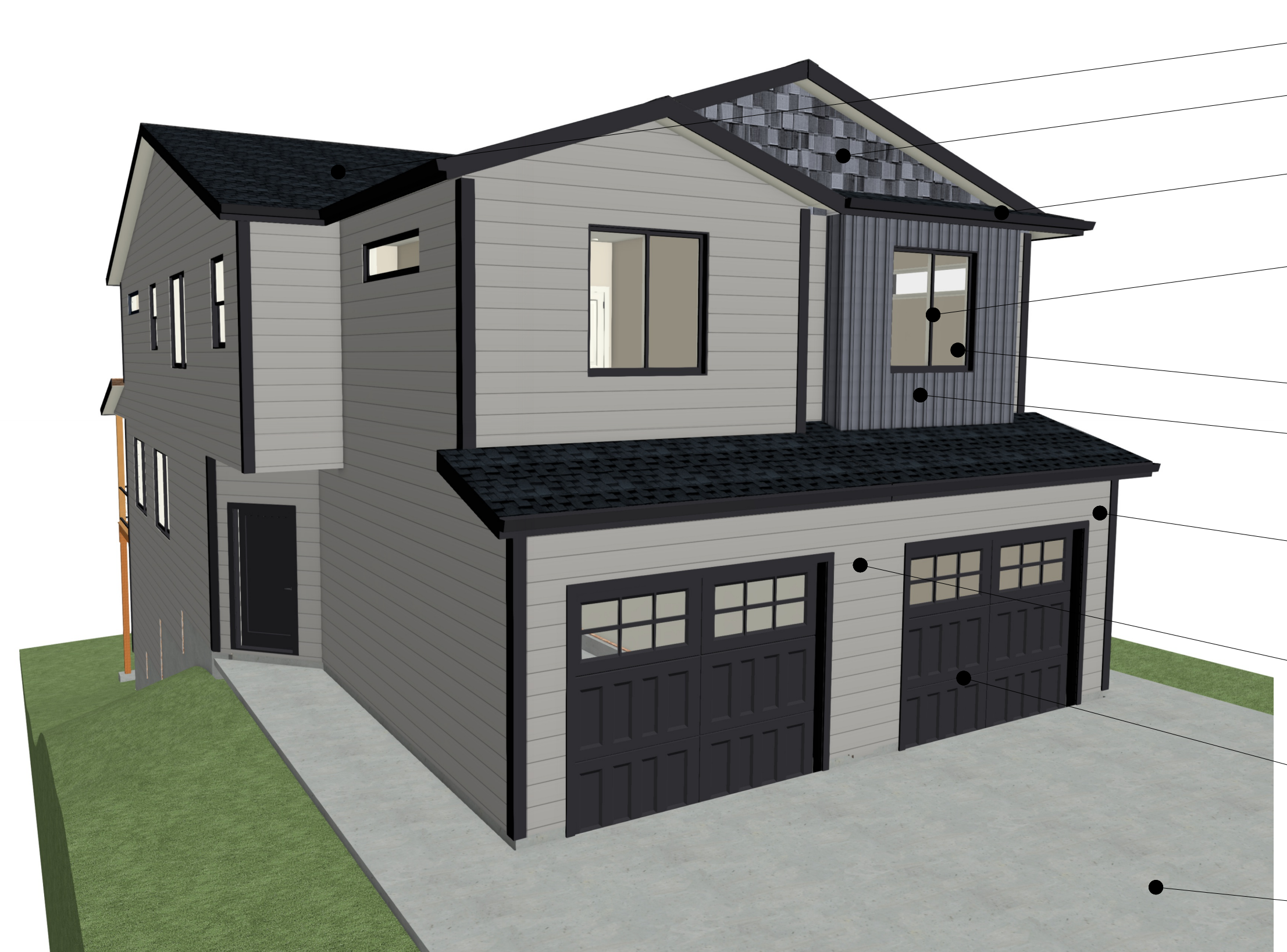
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PROJECT TITLE:
GEACU RESIDENCE
ADDRESS:
**633 NW 1TH AVE.
CAMAS, WA 98607**

DRAWING TITLE:
EXTERIOR RENDERINGS

DATE
NOVEMBER 11, 2022

SHEET NO:
1



NORTHEAST SIDE PERSPECTIVE
SCALE: N.T.S.

- 30 YR. MIN. ARCH. COMP. BLACK SHINGLES
- SHAKES SIDING DARK GREY (0528 GREYBEARD)
- 2X8 FASCIA W/ G.I. GUTTER BLACK (0165 BLACK OPAL)
- VINYL WINDOWS W/ NO GRIDS W/O TRIM
- WINDOW TRIM (0165 BLACK OPAL)
- BOARD & BATTEN DARK GREY (0528 GREYBEARD)
- CORNER TRIM (0165 BLACK OPAL)
- HARDI-LAP SIDING LIGHT GREY (0516 DIAMOND STUD)
- FIBERGLASS GARAGE DOOR (0165 BLACK OPAL)
- CONCRETE DRIVEWAY



NORTHWEST SIDE PERSPECTIVE
SCALE: N.T.S.



SOUTHEAST SIDE PERSPECTIVE
SCALE: N.T.S.

- BOARD & BATTEN DARK GREY (0528 GREYBEARD)
- HARDI-LAP SIDING LIGHT GREY (0516 DIAMOND STUD)
- METAL RAILING BLACK
- PT DECKING



SOUTHWEST SIDE PERSPECTIVE
SCALE: N.T.S.

Landscape Plan

NW 8TH AVENUE

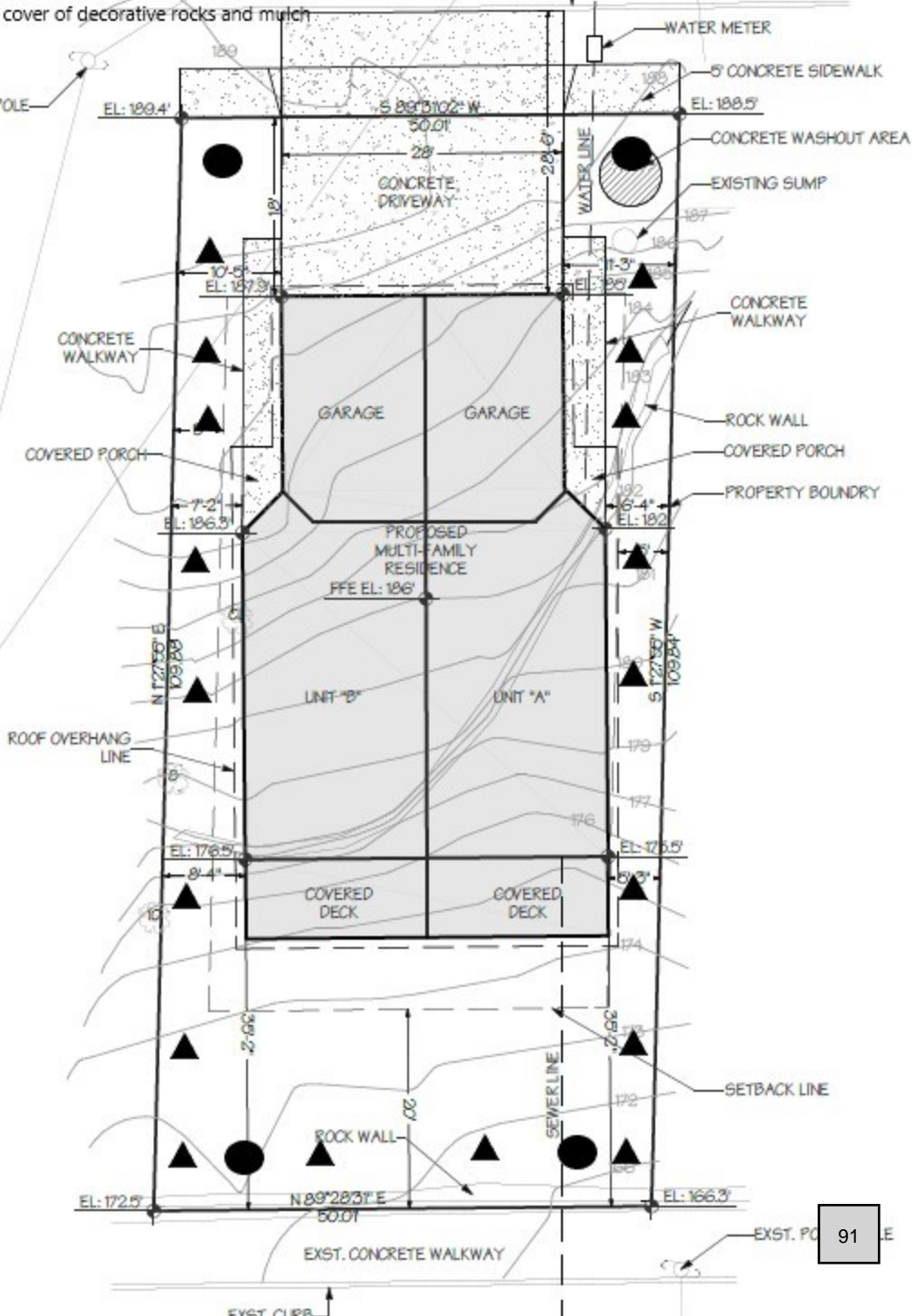
Item 2.

● NW Evergreen Trees (Street/sidewalk trees)

▲ Shrubs and other decorative plants or flowers

Ground cover of decorative rocks and mulch

ST. POWER POLE



Design Review Checklist for Geacu Duplex (DR22-10)

The purpose of this sheet is to provide a simplified and expedited review of the design review principles and guidelines using objective review standards. The standards are intended as tool for the decision-maker in making findings that the proposal either achieves compliance with the intent of the principles or reasonably mitigates any conflict. When reviewing the check sheet, the proposal should as a whole “comply” with the standards and thus be generally consistent with the overriding principles. [Yes = In Compliance; No = Not In Compliance; NA = Not Applicable]

Standard Principles and Guidelines

ARCHITECTURE				
Yes	No	NA	Principles and Guidelines	Comments
			Corrugated materials, standing seam, T-1 11, or similar siding materials are avoided unless it produces a high visual (or aesthetic) quality.	
			Buildings walls or fences visible from roadways are articulated in order to avoid a blank look.	
			The use of bold colors has been avoided unless used as minor accents.	
			Higher density/larger structures abutting lower density residential structures have been designed to mitigate size and scale differences.	
LANDSCAPING AND SCREENING				
Yes	No	NA	Principles and Guidelines	Comments
			Vegetation for landscaping includes native, low maintenance plantings. Significant trees are retained if feasible.	
			Trees planted along streetscapes with overhead power lines include only those trees identified on the City’s Tree list.	
			Landscaping, including trees, shrubs, and vegetative groundcover, is provided to visually screen and buffer the use from adjoining less intense uses including parking.	
			Proposed fencing is incorporated into the landscaping so as to have little or no visual impact.	
			Signs located on buildings or incorporated into the landscaping are unobtrusive and vandal resistant. If illuminated they are front lit.	

DESIGN REVIEW CHECKLIST

Item 2.

			Landscape lighting - low voltage, non-glare, indirect lighting is directed, hooded or shielded away from neighboring properties.	
			Street lighting (poles, lamps) is substantially similar or architecturally more significant than other street lighting existing on the same street and do not conflict with any City approved street lighting plans for the street.	
			Parking and building lighting is directed away from surrounding properties through the use of hooding, shielding, siting and/or landscaping.	
			Outdoor furniture samples are consistent with the overall project design.	
			Existing trees over 6" dbh that are not required to be removed to accommodate the proposed development are retained and incorporated into the landscape plan.	
			Rock outcroppings, forested areas and water bodies are retained.	
HISTORIC AND HERITAGE PRESERVATION				
Yes	No	NA	Principles and Guidelines	Comments
			The use of Historic Markers, information kiosks, project names, architectural features, or other elements of the project promote the historic heritage of the site or surrounding area.	

Specific Principles and Guidelines

MULTI-FAMILY				
Yes	No	NA	Principles and Guidelines	Comments
1. TOWNHOMES AND ROWHOUSES				
			All on-site parking areas (excluding driveways & garages) are screened with landscaping. Width of driveway is minimized and front yard landscaping is maximized.	
			Buildings are brought up to the road to help define traffic/pedestrian movements.	
			Structures abutting or located in single family residentially zoned areas are designed to mitigate size and scale differences when appropriate.	

DESIGN REVIEW CHECKLIST

Item 2.

			Walls are articulated in order to avoid a blank look and provide a sense of scale including a minimum solid to void ratio of 70%/30%.	
			Detachable garages are located to the rear of the townhouse or rowhouse unit(s) so as not to be directly viewable from a public street.	
			Attached garages account for less than 50% of the front face of the structure (as measured by lineal footage).	
			Garages visible from the street are articulated by architectural features, such as windows, to avoid a blank look.	
			Green belts are used to separate different uses whenever possible.	
			Vertical intensity of landscaping increases as the height of the structure increases.	
2. DUPLEX, TRIPLEX & FOUR-PLEX				
			Corner lots are preferred, and include fronts oriented to the street (In other words, each unit faces a street).	
			Attached garages account for less than 50% of the front face of the structure (as measured by lineal footage).	
			Garages visible from the street are articulated by architectural features, such as windows, to avoid a blank look.	
			Buildings provide a complementary façade that faces the public right of way, and is the primary entrance to a unit or multiple units, unless impracticable.	



STAFF REPORT

Couch Street Duplex

Major Design Review (DR22-11)

Related File: CUP22-04

TO Design Review Committee

FROM Yvette Sennewald, Senior Planner

LOCATION 1241 NW Couch Street
Parcel Number: 986060366

APPLICANT Nick Jones, VestCapital
(503) 720-5028
nick@vestcapital.com

APPLICABLE LAW: This land use application submitted December 7, 2022, and the applicable codes are the codes that were in effect at the date of application. Camas Municipal Code (CMC) chapters include Title 17 Land Development and Title 18, specifically (but not limited to): Chapter 18.11 - Parking, Chapter 18.13 - Landscaping, Chapter 18.18 - Site Plan Review, Chapter 18.19 Design Review, and Chapter 18.55 Administrative Procedures.

Background

The applicant is currently seeking design review approval for the construction of a duplex, each unit proposed to be approximately 1,730 square-feet in size, on an approximately 5,001 square-foot vacant lot that was previously developed with a workshop building, situated in the R-7.5 – Single Family Residential Zone. Each residential unit contains a single car garage accessed at the front of the building, with additional parking provided on the driveway. Landscaping is provided on site.

The project area is bordered on each side by single-family residential homes. Existing plex’s are located within the project vicinity.

Purpose

Design Review is required under CMC Chapter 18.19. Design review is not intended to determine the appropriate use on a parcel but rather review a proposed development for compliance with City codes and plans related to landscaping, architectural elevations, and other elements relative to required improvements. The recommendations from the Design Review Committee (DRC) must consider the design review standards from the Design Review Manual and the Camas Municipal Code (CMC). The enclosed checklist is to help guide your review but refer to the manual for specific details regarding the standards.

Standard and Multi-Family Design Principles and Guidelines

The standard and multi-family principles and guidelines are required and must be demonstrated to have been satisfied in the overall intent for design review approval. The design guidelines are developed to assist a project in meeting the established principles and each guideline should be adequately addressed. If the proposal cannot meet a specific guideline, then an explanation should be provided by the applicant as to why and how it will be mitigated to satisfy the intent of the design principles. The development guidelines include five major categories: 1) Landscaping and Screening, 2) Architecture, 3) Massing and Setbacks, 4) Historic & Heritage Preservation, and 5) Circulation and Connections.

The Design Review Checklist is enclosed to help guide the DRC in reviewing the standard applicable specific design review principles and guidelines.

Recommendation

That the Design Review Committee reviews the submitted materials, deliberates, and forwards a recommendation to staff for a final decision.



2. Conditional Use Permit

Narrative for Proposed Duplex for Tax Accounts: 986060366

The proposed duplex meets the standards identified for the conditional use permit under the CMC 18.43.050 Criteria:

- A. The proposed use will not be materially detrimental to the public welfare, or injurious to the property or improvements in the vicinity of the proposed use, or in the district in which the subject property is situated;**

The proposed duplex will fit in with other residential uses within the neighborhood. The proposed use will provide needed housing for the City of Camas and fits in with the surrounding housing stock. There are multiple plexes currently existing in and around the subject property. Providing rentable housing within neighborhoods of owner-occupied housing, creates a social connection with surrounding homeowners and a realization that these renters one day own their own homes. It also places renters close to the public facilities, parks and the walkability that this neighborhood offers.

- B. The proposed use shall meet or exceed the development standards that are required in the zoning district in which the subject property is located;**

The proposed duplex meets all setbacks (5' on the sides, 20' on the front and 25' on the rear). The duplex will be connected to all public utility services such as water and sewer. The height standards are met approx. 28' and will allow for four off street parking spots, two in the garage and two in the driveways.

- C. The proposed use shall be compatible with the surrounding land uses in terms of traffic and pedestrian circulation, density, building, and site design;**

The proposed duplex is compatible with the surrounding uses. It will have vehicular access to NW Couch St by driveway approach that meets all city development standards. The building proposed is a residential use which is in accordance with other residential uses within the neighborhood. The landscape design meets all site design requirements which will improve upon the current use.

- D. Appropriate measures have been taken to minimize the possible adverse impacts that the proposed use may have on the area in which it is located;**

The proposed duplex will have no adverse impacts on the neighborhood or surrounding homes. Though many of the existing plexes did not incorporate any of the architectural details of the existing homes in their design or construction, this proposed duplex has. It has incorporated turn of the century detail and a mix of material textures creating its construction an



improvement to the neighborhood and allow the owners to be good stewards and good neighbors.

E. The proposed use is consistent with the goals and policies expressed in the comprehensive plan;

The proposed use is consistent with the goals of having a wide variety and range of housing for all ages and income levels. It is creating the availability of another variety of residential density and housing type while preserving existing housing stock. In addition, it is development within an urban area of the city where adequate public facilities and services exist or can be provided in an efficient manner.

F. Any special conditions and criteria established for the proposed use have been satisfied. In granting a conditional use permit the hearings examiner may stipulate additional requirements to carry out the intent of the Camas Municipal Code and comprehensive plan.

No other special conditions or criteria were established at the time of the preparation of this application other than presented in pre-application notes.



3. Design Review

“Garages shall account for less than fifty percent of the front face of the structure. Garages visible from the street shall be articulated by architectural features, such as windows, to avoid a blank look.”

The garages of the new duplex face the street and meet the above standards. Windows are included in the garage doors and the front porches are forward of the garage face with posts overlapping the inside corner of the garage. This is an added element that softens the garage face.

a. Applicable setbacks, building footprint and elevations for the R-7.5 Single-Family Residential Zone. New construction must meet the following setbacks (based on lot sized between 5,000-11,999 square feet):

FRONT YARD: 20-feet

SIDE YARDS: 5-feet

REAR YARD: 25-feet

ACTUAL REAR YARD: 33'-1"

MAXIMUM BUILDING COVERAGE: 40%

ACTUAL BUILDING COVERAGE: 34.6%

b. All existing conditions shall be delineated on the site plan per CMC Section 17.11.030.B.6(a-p).

c. Off-street parking for four vehicles, or two spaces per unit per CMC Chapter 18.11 Parking.

d. Landscaping plan per CMC Chapter 18.13 Landscaping.

e. Parking areas must include 5-feet of landscaping between adjacent lot line (screening bushes and trees, and

f. Street trees must be installed in the planter strip of the frontage. One tree per unit.

Development sign. The applicant must install a 4'x8' sign on the property that provides details about the project, site plan, contact information, and includes space for public hearing information to be filled in when a date is scheduled. Staff can provide a handout if requested.

Landscaping Regulations. A Landscape, Tree, and Vegetation plans must be submitted pursuant to CMC 18.13.040.A. If trees are proposed for removal, a Tree Survey is required and must be prepared by a certified arborist or professional forester. A minimum 20-unit tree density per net acre is required to be incorporated into the overall landscape plan per CMC 18.13.051.A.



PA22-30

1241 NW Couch Street (CUP22-04 & DR22-11)

2. Conditional Use Permit

Narrative for Proposed Duplex for Tax Accounts: 986060366

Existing Site Conditions:

The existing site conditions for the proposed duplex at 1241 NW Couch Street has an existing concrete slab where a pole barn used to be located. The pole barn was removed in the past and the slab will be removed during the duplex construction. There is overgrown brush along the north side of the lot that will be cleaned up for future landscaping. There is one large Douglas Fir Tree at the northwest corner of the lot and approximately four smaller Douglas Fir Trees that will remain in place. The lot has a gravel driveway and the rest of the lot is covered in grass.

There are existing public storm, sanitary and water lines on Couch Street that will be utilized for future connections. The road is asphalt paved and has no sidewalks.

LOT COVERAGE:

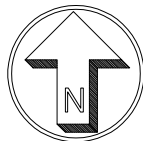
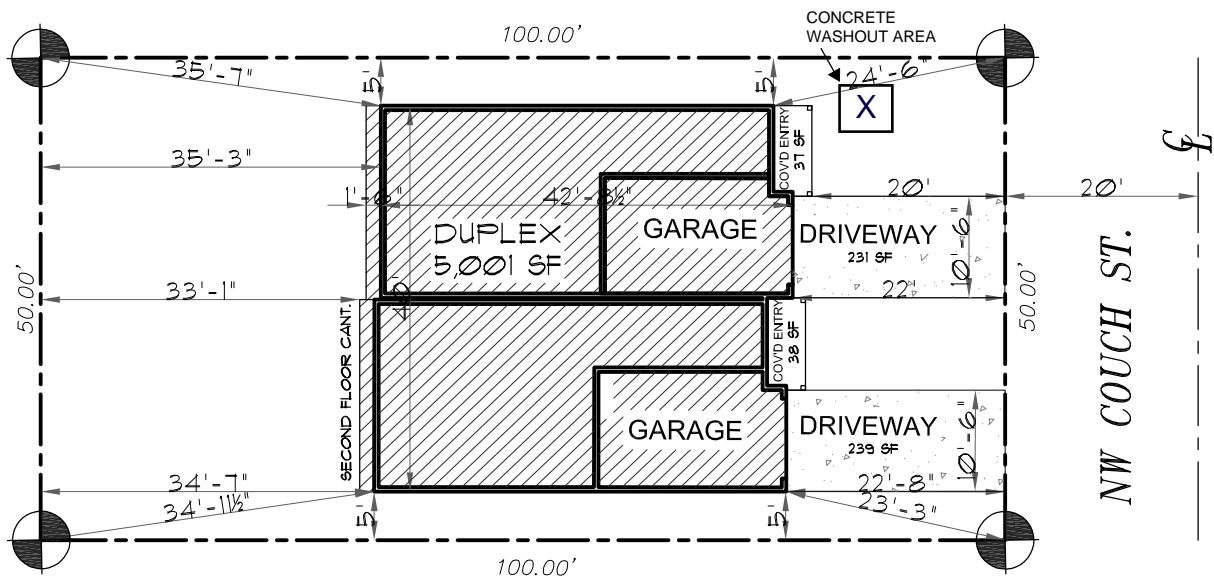
LIVING/GARAGE = 1655 SF
 FRONT ENTRY = 75 SF
 TOTAL = 1,730 SF
 LOT = 5,000 SF
 34.6% LOT COVERAGE

SETBACKS:

FRONT = 20'
 REAR = 25'
 SIDE YARD = 5'

AREA CALCULATIONS

MAIN FLOOR = 1,189 SF
 UPPER FLOOR = 1,712 SF
 TOTAL = 2,901 SF
 GARAGE = 466 SF



SITE PLAN

SCALE : 1"=20'

PLAN NAME:

DRAWN: AK

PLOT: 6/10/22

SCALE: 1"=50'-0"

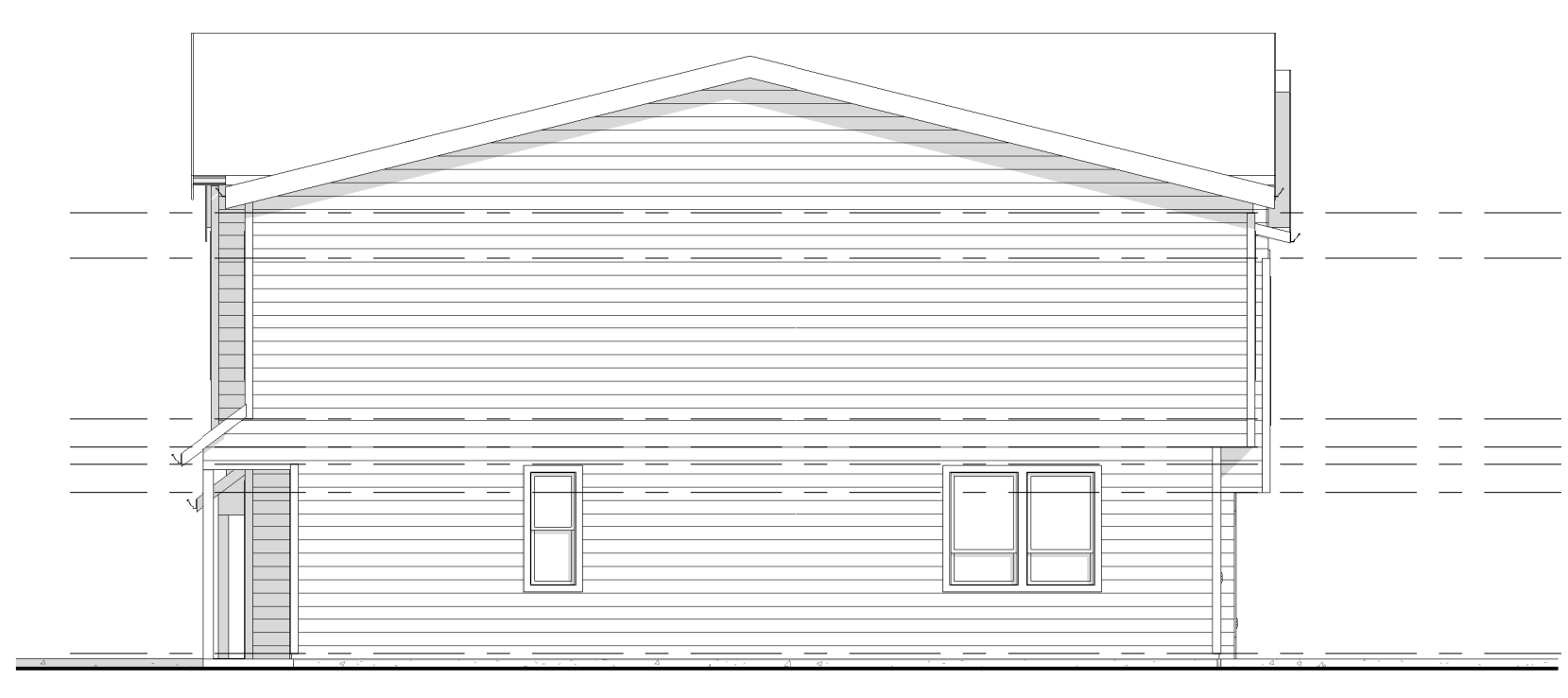
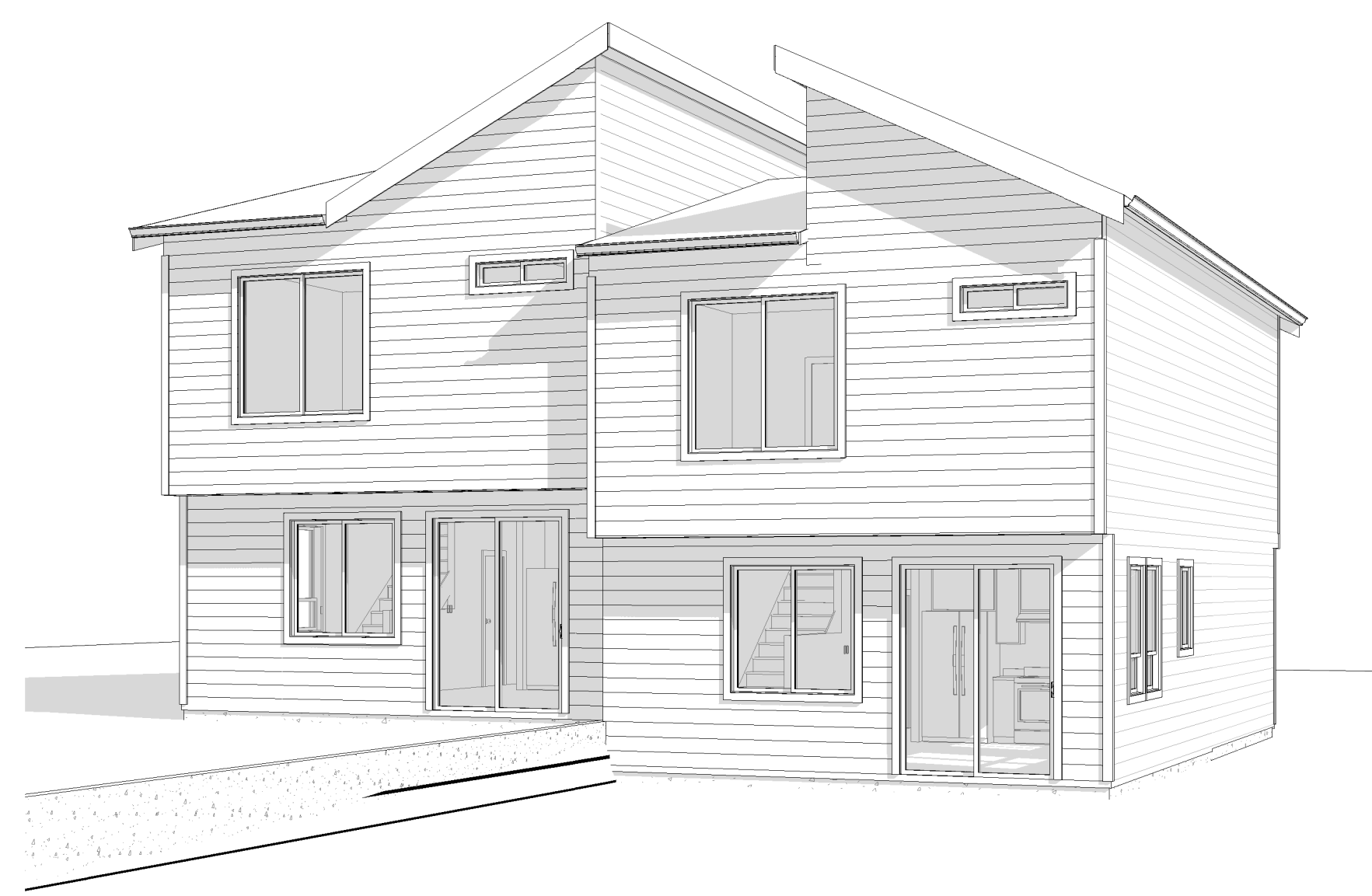
COUCH ST. DUPLEX

CAMAS, WA

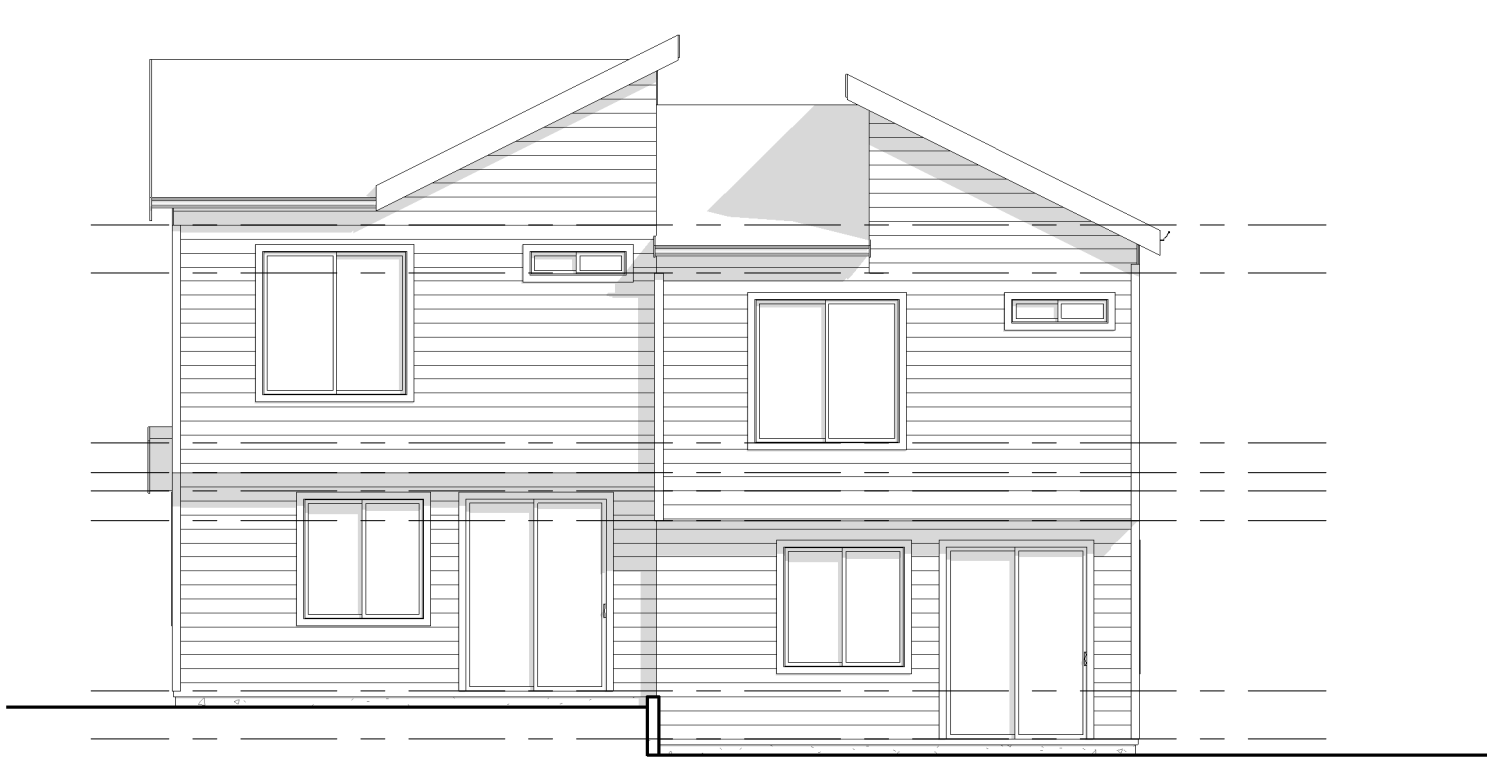




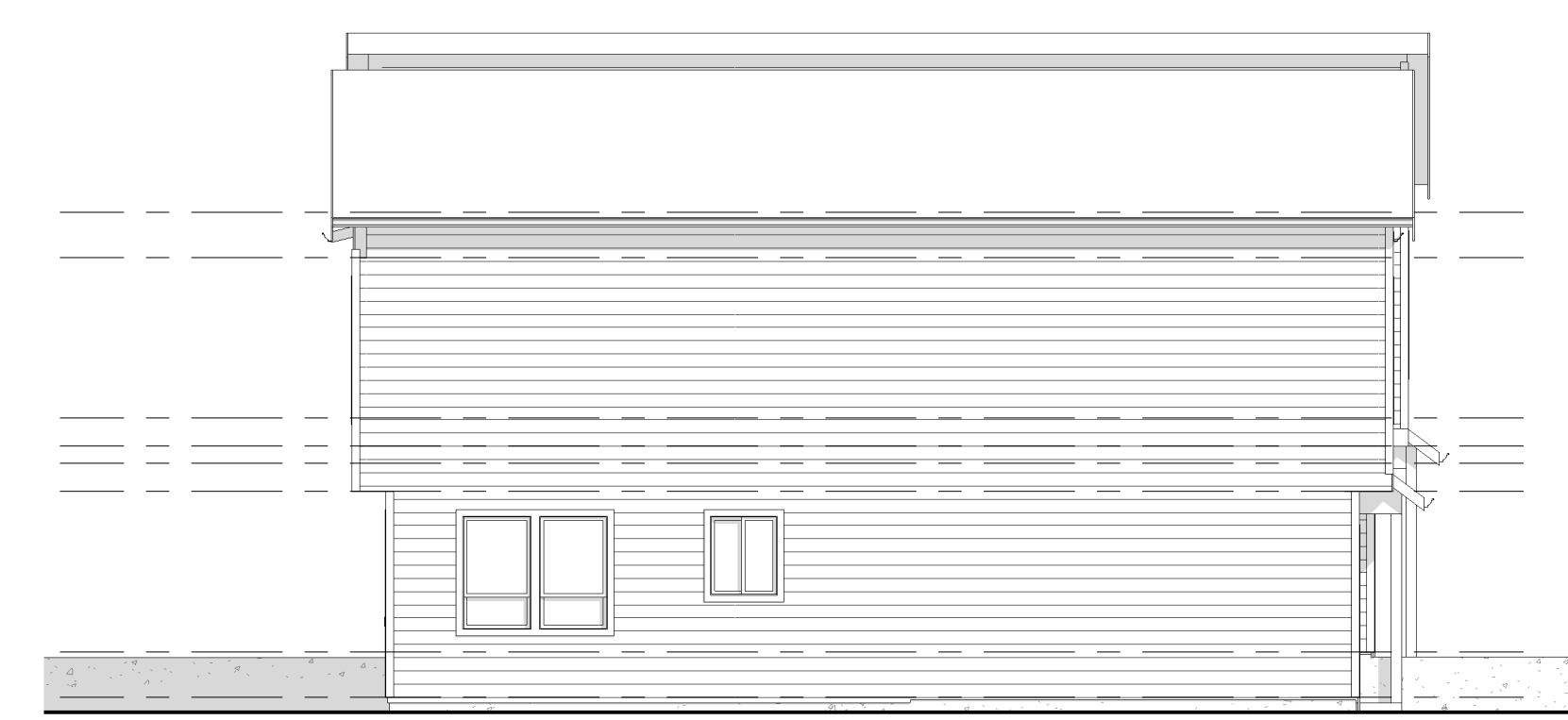
FRONT ELEVATION
 1/4" = 1'-0"



LEFT ELEVATION
 1/8" = 1'-0"



REAR ELEVATION
 1/8" = 1'-0"



RIGHT ELEVATION
 1/8" = 1'-0"

DRAFTING CORP
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 Email: edrafting@hotmail.com
 Brian Emrich: 960-409-4592

COUCH STREET DUPLEX

FILE NAME :
 1451/1450-40-ST-L
 DRAWN BY:
 E DRAFTING
 SCALE :
 As Indicated
 PLOT DATE :
 6/13/2022
 1:26:01 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

SHEET
 Building Elevations

A1

Item 3.


First Unit Color pattern



Sample House (Not the Duplex)

Exterior 3 (3).jpg

<p>✓ FEATURED IN SCENE</p> <p>SW 6199 Rare Gray Locator Number: 216-C3</p>	<p>✓ FEATURED IN SCENE</p> <p>SW 7571 Casa Blanca Locator Number: 264-C4</p>
<p>✓ FEATURED IN SCENE</p> <p>SW 6208 Pewter Green Locator Number: 217-C6</p>	


SHERWIN-WILLIAMS.

Actual color may vary from on-screen representation. To confirm your color choices prior to purchase, please view a physical color chip, color card, or painted sample. Sherwin-Williams is not responsible for the content and photos shared by users of their color selection tools.

Item 3.


Second Unit color pattern



Sample House (Not Duplex model)

Exterior 3.jpg

<p>✓ FEATURED IN SCENE</p> <p>SW 7669 Summit Gray Locator Number: 282-C5</p>	<p>✓ FEATURED IN SCENE</p> <p>SW 7006 Extra White Locator Number: 257-C1</p>
<p>✓ FEATURED IN SCENE</p> <p>SW 7048 Urbane Bronze Locator Number: 245-C7</p>	


SHERWIN-WILLIAMS.

Actual color may vary from on screen representation. To confirm your color choices prior to purchase, please view a physical color chip, color card, or painted sample. Sherwin-Williams is not responsible for the content and photos shared by users of their color selection tools.

Landscape Plan

LOT COVERAGE:

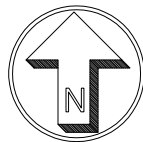
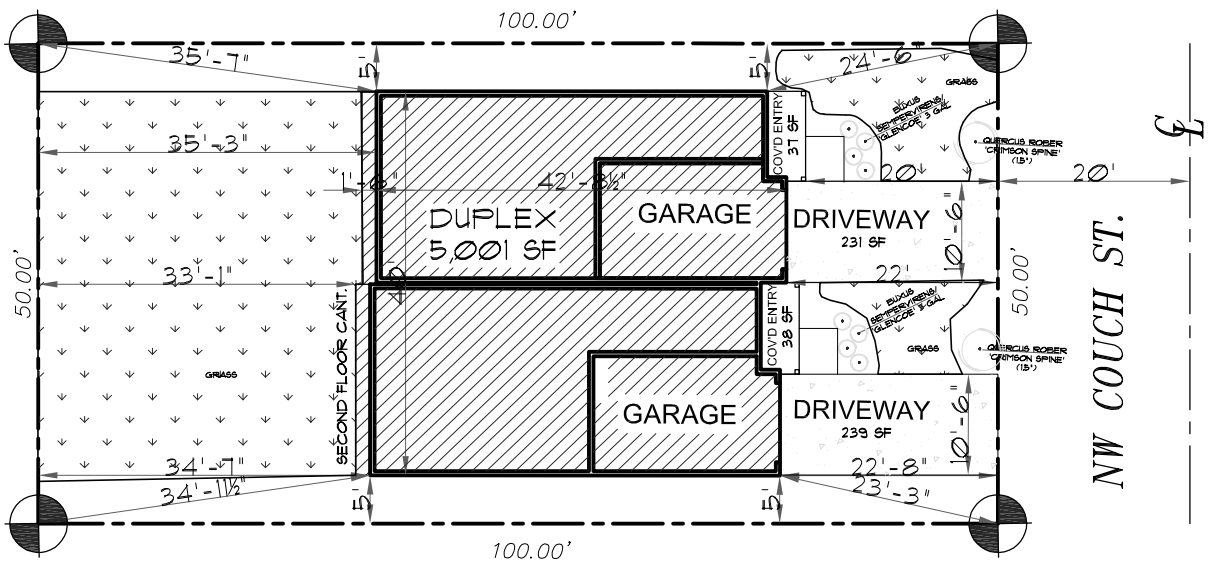
LIVING/GARAGE = 1655 SF
 FRONT ENTRY = 75 SF
 TOTAL = 1,730 SF
 LOT = 5,000 SF
 34.6% LOT COVERAGE

SETBACKS:

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 REAR = 25'
 SIDE YARD = 5'

AREA CALCULATIONS

MAIN FLOOR = 1,189 SF
 UPPER FLOOR = 1,112 SF
 TOTAL = 2,901 SF
 GARAGE = 466 SF



SITE PLAN

SCALE : 1"=20'

PLAN NAME:	
DRAWN:	AK
PLOT:	12/1/22
SCALE:	1"=50'-0"

COUCH ST. DUPLEX
 CAMAS, WA

DRAFTING CORP
 Your new home starts here

105

Design Review Checklist for Couch Street Duplex (DR22-11)

The purpose of this sheet is to provide a simplified and expedited review of the design review principles and guidelines using objective review standards. The standards are intended as tool for the decision-maker in making findings that the proposal either achieves compliance with the intent of the principles or reasonably mitigates any conflict. When reviewing the check sheet, the proposal should as a whole “comply” with the standards and thus be generally consistent with the overriding principles. [Yes = In Compliance; No = Not In Compliance; NA = Not Applicable]

Standard Principles and Guidelines

ARCHITECTURE				
Yes	No	NA	Principles and Guidelines	Comments
			Corrugated materials, standing seam, T-1 11, or similar siding materials are avoided unless it produces a high visual (or aesthetic) quality.	
			Buildings walls or fences visible from roadways are articulated in order to avoid a blank look.	
			The use of bold colors has been avoided unless used as minor accents.	
			Higher density/larger structures abutting lower density residential structures have been designed to mitigate size and scale differences.	
LANDSCAPING AND SCREENING				
Yes	No	NA	Principles and Guidelines	Comments
			Vegetation for landscaping includes native, low maintenance plantings. Significant trees are retained if feasible.	
			Trees planted along streetscapes with overhead power lines include only those trees identified on the City’s Tree list.	
			Landscaping, including trees, shrubs, and vegetative groundcover, is provided to visually screen and buffer the use from adjoining less intense uses including parking.	
			Proposed fencing is incorporated into the landscaping so as to have little or no visual impact.	
			Signs located on buildings or incorporated into the landscaping are unobtrusive and vandal resistant. If illuminated they are front lit.	

DESIGN REVIEW CHECKLIST

Item 3.

			Landscape lighting - low voltage, non-glare, indirect lighting is directed, hooded or shielded away from neighboring properties.	
			Street lighting (poles, lamps) is substantially similar or architecturally more significant than other street lighting existing on the same street and do not conflict with any City approved street lighting plans for the street.	
			Parking and building lighting is directed away from surrounding properties through the use of hooding, shielding, siting and/or landscaping.	
			Outdoor furniture samples are consistent with the overall project design.	
			Existing trees over 6" dbh that are not required to be removed to accommodate the proposed development are retained and incorporated into the landscape plan.	
			Rock outcroppings, forested areas and water bodies are retained.	
HISTORIC AND HERITAGE PRESERVATION				
Yes	No	NA	Principles and Guidelines	Comments
			The use of Historic Markers, information kiosks, project names, architectural features, or other elements of the project promote the historic heritage of the site or surrounding area.	

Specific Principles and Guidelines

MULTI-FAMILY				
Yes	No	NA	Principles and Guidelines	Comments
1. TOWNHOMES AND ROWHOUSES				
			All on-site parking areas (excluding driveways & garages) are screened with landscaping. Width of driveway is minimized and front yard landscaping is maximized.	
			Buildings are brought up to the road to help define traffic/pedestrian movements.	
			Structures abutting or located in single family residentially zoned areas are designed to mitigate size and scale differences when appropriate.	

DESIGN REVIEW CHECKLIST

Item 3.

			Walls are articulated in order to avoid a blank look and provide a sense of scale including a minimum solid to void ratio of 70%/30%.	
			Detachable garages are located to the rear of the townhouse or rowhouse unit(s) so as not to be directly viewable from a public street.	
			Attached garages account for less than 50% of the front face of the structure (as measured by lineal footage).	
			Garages visible from the street are articulated by architectural features, such as windows, to avoid a blank look.	
			Green belts are used to separate different uses whenever possible.	
			Vertical intensity of landscaping increases as the height of the structure increases.	
2. DUPLEX, TRIPLEX & FOUR-PLEX				
			Corner lots are preferred, and include fronts oriented to the street (In other words, each unit faces a street).	
			Attached garages account for less than 50% of the front face of the structure (as measured by lineal footage).	
			Garages visible from the street are articulated by architectural features, such as windows, to avoid a blank look.	
			Buildings provide a complementary façade that faces the public right of way, and is the primary entrance to a unit or multiple units, unless impracticable.	