



## **Design Review Committee Meeting Agenda Tuesday, March 10, 2026, 4:00 PM REMOTE MEETING PARTICIPATION**

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*NOTE: The City welcomes public meeting citizen participation. TTY Relay Service: 711. In compliance with the ADA, if you need special assistance to participate in a meeting, contact the City Clerk's office at (360) 834-6864, 72 hours prior to the meeting so reasonable accommodations can be made (28 CFR 35.102-35.104 ADA Title 1)*

### **To Participate Remotely:**

#### **OPTION 1 -**

1. Go to [www.zoom.us](http://www.zoom.us) and download the app or click "Join A Meeting" and use Meeting ID – 815 8560 9880
2. Or, from any device click <https://cityofcamas-us.zoom.us/j/81585609880>

#### **OPTION 2 - Join by phone (audio only):**

1. Dial 877-853-5257 and enter meeting ID# 815 8560 9880

### **CALL TO ORDER**

### **ROLL CALL**

### **INTRODUCTIONS**

### **MEETING ITEMS**

1. Fire Station 41 (SPRV25-1003)  
Presenter: Lauren Hollenbeck, Senior Planner

### **CLOSE OF MEETING**



**STAFF REPORT**

Fire Station 41

Major Design Review

City File: SPRV25-1003

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TO Design Review Committee

FROM Lauren Hollenbeck, Senior Planner

LOCATION 528 NE 4<sup>th</sup> Avenue, Camas, WA 98607  
Parcel Numbers 78100000 and 78105000

APPLICANT Steven McAtee  
McKay Sposito, Inc.

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APPLICABLE LAW: This land use application submitted October 21, 2025, is vested to the land use regulations and development standards in effect on the effective date of the application. Camas Municipal Code (CMC) chapters include the Title 16 Environment, Title 17 Land Development and Title 18, specifically (but not limited to): Chapter 18.11 - Parking, Chapter 18.13 - Landscaping, Chapter 18.18 - Site Plan Review, Chapter 18.19 - Design Review and Chapter 18.55 – Administration Procedures.

**Summary**

The applicant is currently seeking design review approval for the construction of a two-story 23,280 square foot fire station building designed to accommodate apparatus bays, administrative offices, training rooms, sleeping quarters, community facing spaces including landscaping and a public plaza area. The subject property is zoned Downtown Commercial (DC), including all the surrounding properties.

The site is bound by NE 4<sup>th</sup> Avenue on its north side, NE Dallas Street on its west side, vacated NE Everett Street on its east side and NE 3<sup>rd</sup> Avenue on the south side. The adjoining property to the northwest is an office/restaurant building and to the southwest is a gas station. Access to the site is provided from NE 3<sup>rd</sup> Avenue to the south.

The site’s topography is generally flat with sparse vegetation. The site is currently occupied by the old vacant Bank of America building, currently owned by the City of Camas and slated for demolition.

### Purpose

Design Review is required under CMC Chapter 18.19. Design review is not intended to determine the appropriate use on a parcel but rather review a proposed development for compliance with City codes and plans related to landscaping, architectural elevations, and other elements relative to required improvements. The recommendations from the Design Review Committee (DRC) must consider the design review standards from the Design Review Manual and Camas Municipal Code (CMC). An enclosed checklist is to help guide you in your review but refer to the manual for specific details regarding the standards.

### Standard and Specific Commercial & Mixed-Use Design Principles and Guidelines, including the Downtown Design elements

The standard and specific commercial & mixed uses principles and guidelines are required and must be demonstrated to have been satisfied with overall intent for design review approval. The standard design guidelines are developed to assist a project in meeting the established principles and each guideline should be adequately addressed. If the proposal cannot meet a specific guideline, then an explanation should be provided by the applicant as to why and how it will be mitigated to satisfy the intent of the design principles. The development guidelines include five major categories: 1) Landscaping and Screening, 2) Architecture, 3) Massing and Setbacks, 4) Historic & Heritage Preservation, and 5) Circulation and Connections. **The Design Review Checklist is enclosed to help guide the DRC in reviewing the standard applicable specific design review principles and guidelines. In addition, the Downtown Design manual is also enclosed for reference.**

### Recommendation

That the Design Review Committee reviews the submitted materials, deliberates, and forwards a recommendation to staff for a final decision.





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**PRELIMINARY**

**T C A**  
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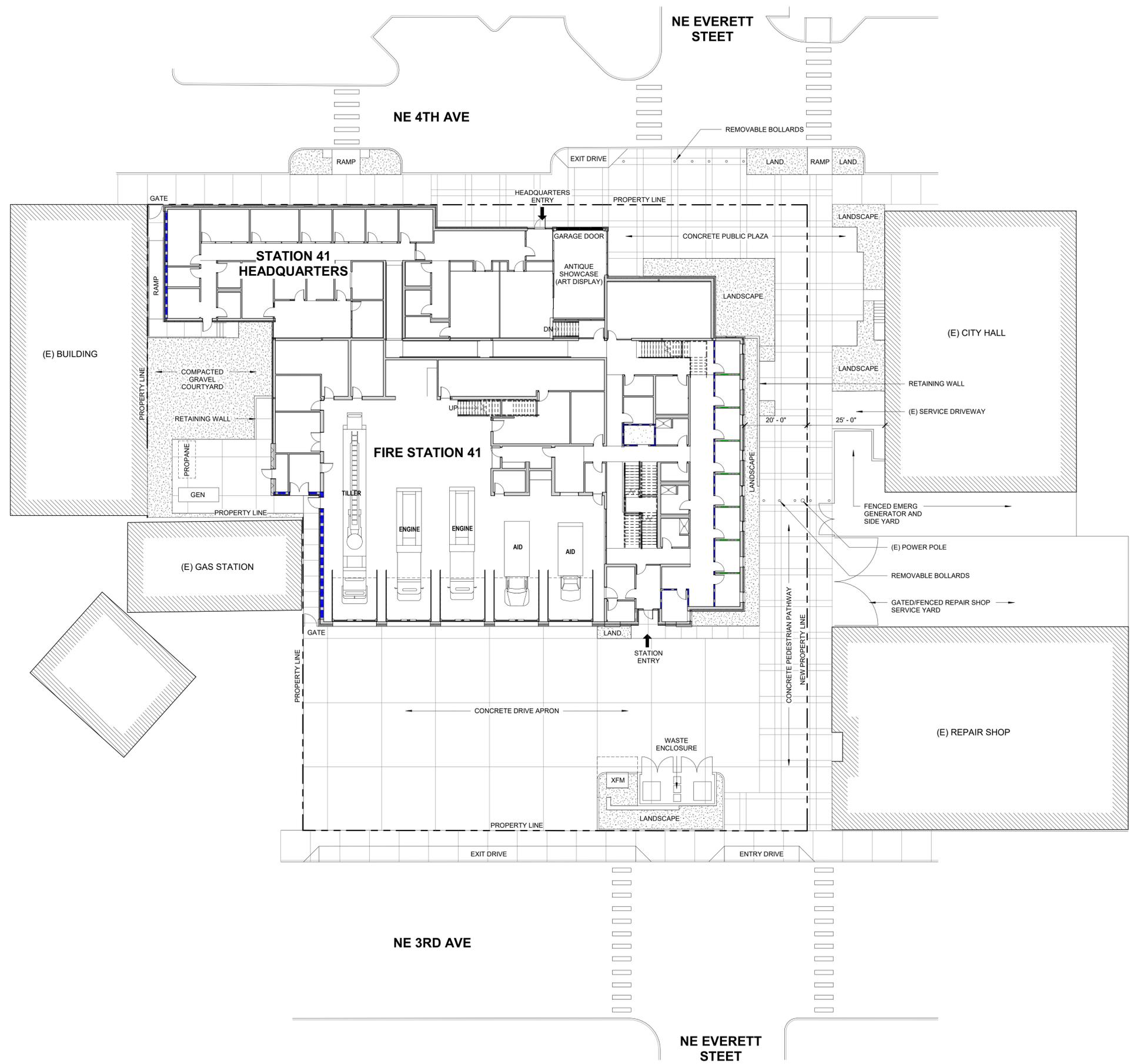
**CAMAS-WASHOUGAL FIRE DEPARTMENT  
HEADQUARTERS AND STATION #41**  
528 NE 4TH AVE., CAMAS WA 98607

PROJECT # 23048.1  
DATE 10/09/2025  
REVISIONS  
NO. DATE DESCRIPTION

ARCHITECTURAL  
SITE PLAN

**A101**

DD PHASE



**1 SITE PLAN**  
1/16" = 1'-0"



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## **Circulation & Connections**

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*The following guideline is important to consider in terms of public safety or the perception thereof:*

- *Pathways define traffic/pedestrian movement. Buildings brought up to the public right-of way help define these movements. Trees and/or planting strips shall be used for separating vehicles and pedestrian movements as well as providing a secure and pedestrian friendly environment.*

**RESPONSE:** The Fire Station 41 project establishes clear and safe circulation patterns for both vehicles and pedestrians, consistent with the principles of the Camas Design Review Manual. The site design brings the primary building frontage to NE 4th Avenue, reinforcing the public streetscape and clearly defining pedestrian movement along the right-of-way. The main public entry is oriented toward the sidewalk, ensuring that pedestrian access is direct and legible.

Vehicular circulation is designed around the functional needs of emergency response. Apparatus bays are positioned with direct access to NE Everett Street and NE 4th Avenue, allowing safe and rapid deployment of fire vehicles while minimizing conflicts with pedestrian routes. To enhance safety and comfort, pedestrian walkways are separated from vehicle circulation areas by landscaped buffers, planting strips, and street trees. These elements provide both a physical and visual separation that defines movement corridors and creates a secure, pedestrian-friendly environment.

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## **VII. CAMAS DOWNTOWN DESIGN MANUAL**

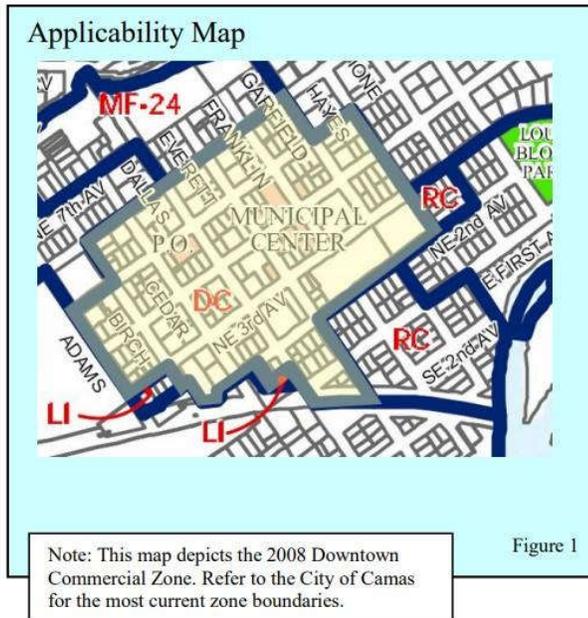
### **B. PURPOSE**

*The Downtown Design Manual is intended to provide guidance for new development and redevelopment within the existing downtown core. This type of development is further expected to:*

- 1. Achieve the goals and objectives of the City of Camas Comprehensive & Capital Facilities Plan;*
- 2. Enhance livability, environmental quality and economic vitality with a mix of uses downtown;*
- 3. Maximize efficient use of public facilities and services;*
- 4. Create a safe, attractive, and convenient environment for a variety of uses including living, working, and recreating with retail businesses on the street level and housing/office units on upper levels;*
- 5. Encourage economic development in the area by creating an environment that attracts a broad and diversified consumer base to the downtown core;*
- 6. Encourage an economically viable atmosphere that will attract new business to the downtown core.*
- 7. Encourage sustainable development practices.*

## C. APPLICABILITY / GENERAL REQUIREMENTS

1. The provisions of this section shall be applied to public spaces and private parcels located within the City of Camas downtown commercial zone. (Refer to Figure 1) The boundary is intended to include both sides of the street.



2. Private parcels shall be required to implement the improvements identified within this section for:
- (a) all new uses;
  - (b) all changes of use;
  - (c) the expansion of any building or development as defined in Camas Municipal Code (“CMC”) Section 18.18.020(A) exceeding twenty percent of the existing floor or site area, or any one thousand square foot addition or increase in impervious coverage thereto, whichever is lesser.
3. The following activities are exempt from the requirements of this section.
- (a) Routine or emergency repair or maintenance of public or private buildings, structures, landscaping or utilities;
  - (b) Interior remodeling.
4. If the requirements of the Downtown Design Manual conflict with other regulations, the more stringent of the two shall apply.
5. All work associated with the implementation of the Downtown Design Manual on private parcels shall be constructed and maintained by the land owner, unless otherwise noted.
6. All required improvements shall be subject to Design Review (CMC 18.19) prior to building permit issuance. In addition, projects may be subject to Site Plan Review (CMC 18.18) prior to building permit issuance. Project proponents are urged to contact the City

*of Camas for all required approval processes.*

**7.** *All work shall be completed in accordance with City of Camas Municipal Code.*

**8.** *Refer to Appendix B for a Required Elements Matrix. Note: This map depicts the 2008 Downtown Commercial Zone. Refer to the City of Camas for the most current zone boundaries. Downtown Design Manual Page 5 of 26 Planting Design Example Figure 2 9. Standards, materials, finishes, and colors specified within this manual, and the attached appendices, may be substituted with other similar elements with review by the Design Review Committee and approval by the City of Camas decision maker.*

**RESPONSE:** The Fire Station 41 proposal complies with the purpose and applicability standards of the Downtown Design Manual. The project achieves the goals of the City’s Comprehensive Plan by redeveloping an underutilized parcel within the downtown core into an essential public safety facility that enhances livability and community vitality. The station design incorporates sustainable development practices, efficient use of public infrastructure, and a pedestrian-oriented frontage consistent with the mixed-use character of downtown.

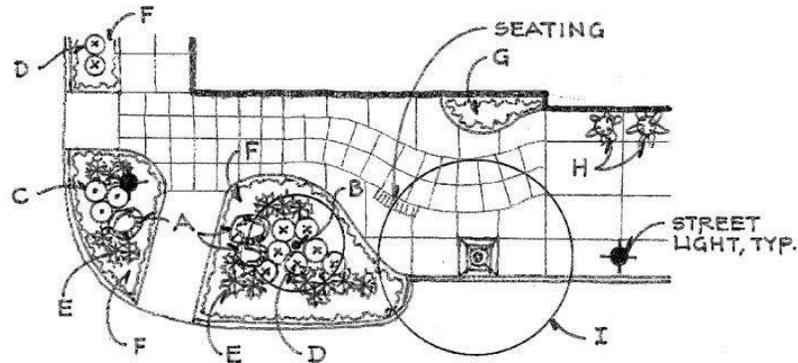
As the site is within the Downtown Commercial (DC) zone, all applicable standards of the Downtown Design Manual have been applied to the development, including building orientation, landscaping, frontage improvements, and integration with the surrounding streetscape. Improvements are subject to design review under CMC 18.19 and site plan review under CMC 18.18, both of which are addressed through this application. The project’s compliance ensures a safe, attractive, and compatible public facility that contributes to the long-term economic and environmental goals for downtown Camas.

#### **D. STREETScape ELEMENTS**

*The Downtown Design Manual is intended to provide a high degree of landscape amenities, tree lined streets, attractively landscaped frontages, screening of service areas, street furnishings, and pedestrian areas as part of a unified design.*

##### **1. Planting Design**

*(a) On-site plantings that abut the public right of way shall provide multiple layers of plantings, including canopy trees, understory trees, shrubs and groundcover. Seasonal interest is encouraged to be enhanced through the use of plant materials that provide seasonal color, fragrance, and specimen plant materials. Refer to Figure 2 for a planting example.*



- A OPTIONAL BOULDERS
- B SMALL ACCENT TREE
- C LOW EVERGREEN SHRUBS
- D LOW OR MEDIUM EVERGREEN SHRUBS
- E PERENNIALS
- F ORNAMENTAL GRASSES AND/OR GROUND COVER
- G PLANTER POCKET WHERE PRACTICAL W/ ESPALIER & ANNUALS
- H FLOWER POTS
- I STREET TREE

Planting Design Example Figure 2

**(b)** Landscape materials shall be installed per Appendix D. Landscaping should not exceed 30" high on corners.

**(c)** Hanging baskets shall be installed so that the bottom of the basket is a minimum of 80 inches (6'8") above the finished grade of the public sidewalk. An exception to this is provided when an effective barrier such as a raised planter box, potted plant, or other physical barrier is located on the ground in such a way as to effectively mitigate a hazard created by the hanging basket.

**(d)** All plant materials shall meet or exceed specifications established by the American Association of Nurserymen for nursery stock, and be suitable for the climatic conditions encountered in Camas, Washington.

**(e)** A landscape maintenance plan per the American Association of Nurserymen's standards, and approved by the City of Camas, shall be recorded as a covenant on the project parcel for landscaping located on private property,

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## 2. Irrigation Design

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**(a)** All landscape plantings shall be irrigated with an automatic, underground irrigation system designed with water conservation in mind. Utilization of techniques such as separate water zones based on soil type, sun exposure, and plant water requirements are encouraged. Hanging baskets and individual planter pots may be hand watered. All irrigation materials located within the public right-of-way shall utilize the materials and construction techniques as listed in Appendix D and the City of Camas Design Standards Manual.

### 3. Street Trees

**(a)** Trees selected for use as street trees shall be long-lived species possessing qualities suitable for an urban streetscape including branching characteristics, rooting characteristics, disease resistance, and nonfruiting. Street Trees shall be selected from Appendix "C" or the Camas Design Standard Manual (This manual is available online at <http://www.ci.camas.wa.us/pworks/engforms.htm>).

**(b)** Street trees shall be a minimum of 2-inch caliper, fully branched, and staked at the time of planting.

**(c)** Street Trees shall be maintained to provide eight feet of clearance area under the canopy at the sidewalk and 10 feet of clearance at the street, per Figure 3.

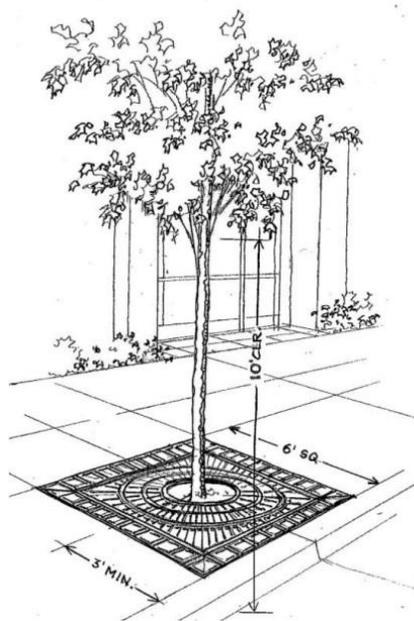


Figure 3 – Street Tree Placement

**(d)** Street trees shall be planted on all street frontages at minimum 30 feet on-center spacing, as measured along the abutting curb.

**(e)** Street trees shall be placed a minimum of two and one-half feet from the back of the curb as measured from the center of the tree, unless otherwise specified by the City of Camas decision maker, per Figure 3.

**(f)** Street tree planters shall be covered with American with Disability ("ADA") accessible tree grates that are a minimum of six feet by six feet, street tree placement shall not impede pedestrian access and shall allow for a minimum six foot path of travel (the ADA accessible tree grates may be placed within the path of travel to meet these specifications).

**(g)** A limited tree grate exception may be granted for instances where street trees must be placed in planter beds. Such planter beds must be at least twice the size of a standard tree grate tree planter, must be landscaped per this section, must be irrigated per this section, and must allow for a minimum six foot path of

*travel.*

*(h) Street trees shall be irrigated per Appendix D.*

*(i) Street tree planters, where allowed, shall include root barriers.*

**RESPONSE:** The Fire Station 41 project complies with the landscaping, irrigation, and street tree requirements outlined in the Downtown Design Manual, while enhancing the downtown streetscape with cohesive civic improvements. The site and landscape plans incorporate multiple layers of plantings adjacent to the public right-of-way, including canopy trees, shrubs, and groundcover, to create visual interest, seasonal variation, and a unified streetscape character. Plant materials are selected from approved species lists and emphasize fire-safe landscaping, using rock mulch and fire-resistant plant species to ensure long-term durability and low maintenance.

All landscaped areas are supported by an automatic underground irrigation system designed for water conservation, with separate water zones for differing plant needs. Irrigation extends to street trees and right-of-way plantings in accordance with Appendix D of the City's Design Standards Manual.

Street trees are provided along all frontages at approximately 30 feet on center, meeting the required 2-inch caliper minimum at planting, with 8 feet of sidewalk clearance and 10 feet of street clearance. Tree grates and ADA-compliant planter details preserve a minimum six-foot pedestrian path of travel, and root barriers are included where required.

The project further enhances the public realm by reinstalling the existing decorative light fixtures that support seasonal hanging planters, and by adding black metal benches and picnic tables matching those used along NE 4th Avenue. A new flagpole will be placed in the landscaped frontage as a civic focal point, and detailed concrete scoring will extend the decorative plaza south to NE 3rd Avenue, creating a continuous pedestrian connection between blocks.

Together, these landscaping, irrigation, and streetscape features establish a pedestrian-friendly, attractive, and sustainable frontage that fulfills the Downtown Design Manual's intent and reinforces the cohesive civic identity of downtown Camas.

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#### **4. Hardscape Elements**

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*Hardscape Elements provide a high degree of pedestrian amenity that encourages outdoor social interaction, promotes a sense of place, and public security. The introduction of hardscape elements such as natural stone, sculpture, water features, drinking fountains, decorative sidewalks (e.g. scored concrete, colored concrete, pavers, etc.), enhanced paving, accent lighting, site furnishings, recreational facilities, and the like are strongly encouraged.*

**(a) Furnishings**

**(1) Furnishings shall consist of benches, drinking fountains, trash receptacles, and bike racks. Furnishings shall be placed such as to not impede or constrict**

*pedestrian movement or ADA Accessibility. Outdoor seating associated with a food or beverage business may be authorized in accordance with Appendix "E".*

*(2) Benches shall be placed within the public sidewalk, private parcels, pocket plazas and parks to encourage social interaction and extend the length of stay in the area. At a minimum one bench should be located on each side of a city block. Where opportunities exist to locate more than one bench, benches should be orientated toward each other to encourage social interaction.*

*(3) Drinking fountains shall be ADA accessible.*

*(4) Trash Receptacles shall be placed within the public sidewalk, pocket plaza, and parks to encourage public sanitation and a litter free environment. At a minimum one trash receptacle should be located on each side of a city block near the midpoint of the block. Uses that generate a high potential for immediately disposable trash such as take out restaurants are strongly encouraged (unless otherwise stated) to locate a trash receptacle within the frontage of their establishment.*

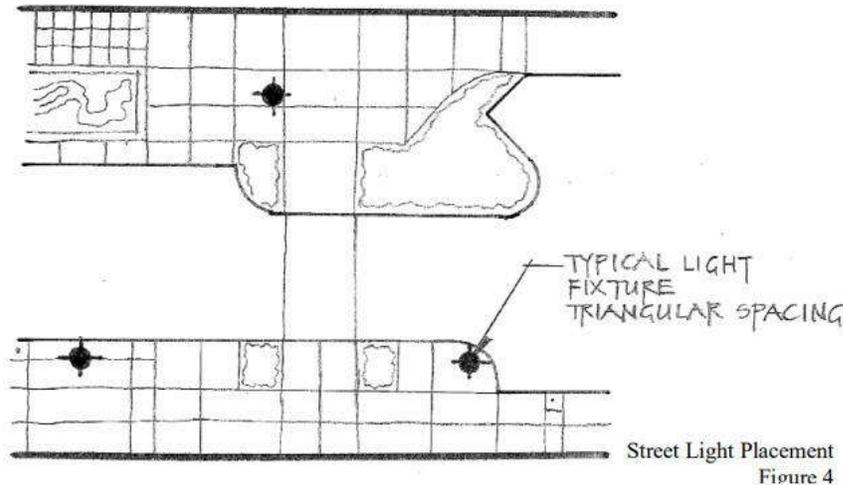
*(5) Bike racks shall be placed within the public sidewalk, pocket plaza, and parks to encourage multi modal transportation and pedestrian safety. At a minimum one bike rack should be located on each side of a city block near the midpoint of the block. Uses that generate a high potential for bike parking such as arcades and movie theaters are strongly encouraged (unless otherwise stated) to locate a bike rack within the frontage of their establishment.*

*(6) Water features are encouraged. Upon review by the Design Review Committee, and approval by the City of Camas decision maker, placement of a water feature may be in lieu of some (or all) of the required elements for a particular parcel. The Design Review Committee shall determine which streetscape elements may be substituted by the water feature.*

*(7) Public art is required to be provided at one percent of construction cost. Upon review by the Design Review Committee, and approval by the City of Camas decision maker, placement of a permanent public art display may be in lieu of some (or all) of the required elements for a particular parcel. The Design Review Committee shall determine which streetscape elements may be substituted by the public art.*

**(b) Street Lighting**

*(1) Themed ornamental street lighting shall be located along the public right of way. Street lights shall be located utilizing a triangular spacing per Figure 4. The street light (with hanging plant bracket) shall be the City of Camas approved downtown street light.*



**(2)** Every lot will not be required to place a streetlight. Street light spacing will dictate those lots required to place street lights. The City of Camas decision maker shall review and approve proposed street light spacing.

**RESPONSE:** The Fire Station 41 project introduces a coordinated suite of lighting and streetscape improvements designed to enhance pedestrian comfort, reinforce downtown continuity, and meet City of Camas lighting standards. The proposed site and frontage lighting conform to City of Camas standards and intent.

Street lighting along NE 3rd Avenue will utilize cobra-head fixtures meeting the current City standard (Autobahn ATBS or equivalent), per Public Works direction (Carothers email dated October 10, 2025). Existing ornamental acorn-style fixtures along NE 4th Avenue will be retained or carefully relocated in coordination with the City to preserve the established downtown aesthetic and ensure consistent spacing and illumination levels.

All on-site lighting fixtures are full-cutoff, no-uplight luminaires consistent with Illuminating Engineering Society (IES) recommendations and dark-sky principles. The photometric plan demonstrates safe, uniform illumination across drive aisles, sidewalks, and pedestrian areas without excessive brightness or off-site light spill. There are no prescribed minimum or maximum foot-candle levels in Camas Municipal Code, and the design achieves a balanced, pedestrian-scale level of visibility appropriate for both public safety and neighborhood context. Together, the combination of City-standard cobra-head streetlights, retained acorn fixtures, and full-cutoff on-site lighting creates a unified and efficient lighting system that enhances safety and walkability while complementing downtown Camas's established civic character.

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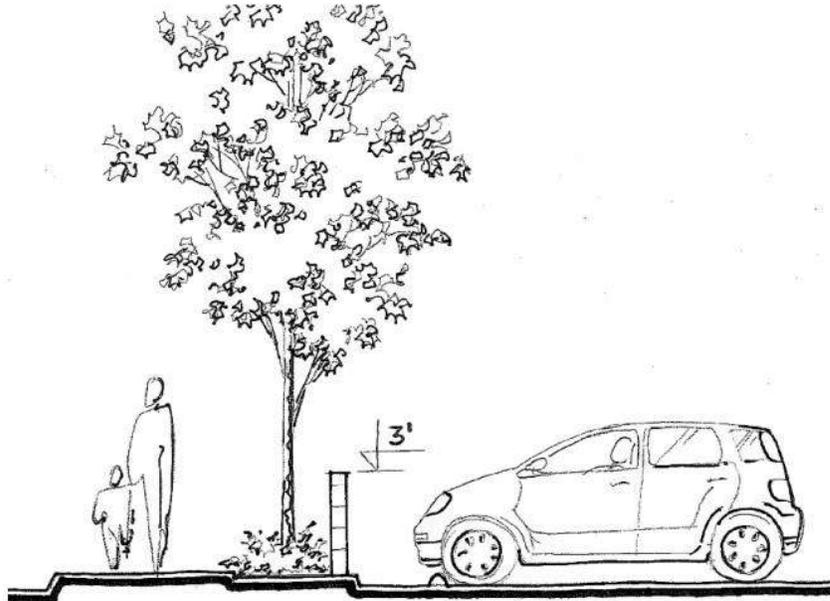
## 5. Screening Standards

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*Screening shall be utilized to obscure views of service, parking, and trash collection areas from view from the public right-of-way.*

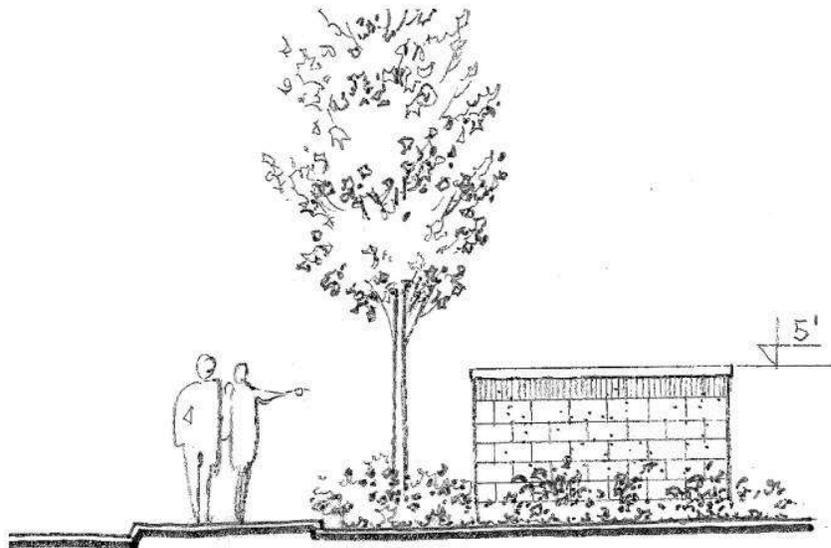
**(a) General**

- (1) Sight-obscuring evergreen vegetation, screen walls, or fences may be erected within the setback area of a private parcel.
- (2) Screening shall not be placed within the public right-of-way.
- (b) Parking lots abutting the public right-of-way
- (1) Shall be screened by a wall or fence three feet in height within a planting strip.



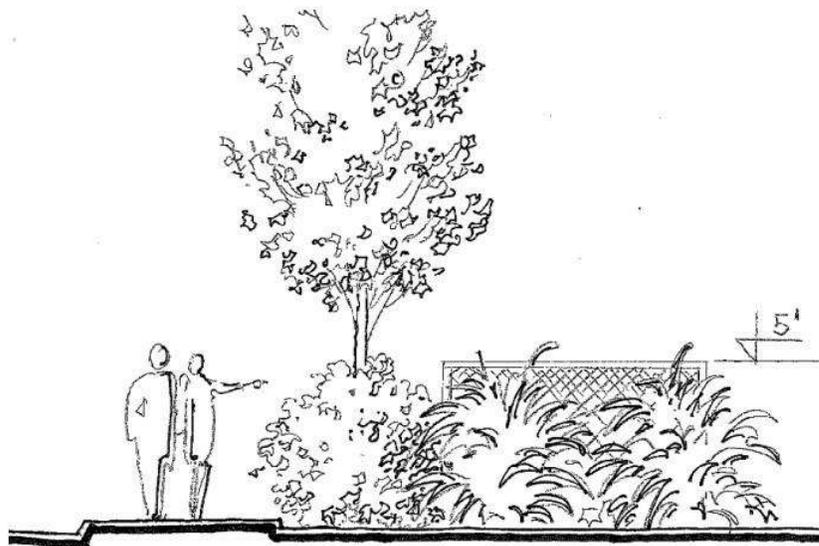
Parking Screen - Figure 5

- (2) Where sufficient room exists, small to medium size trees shall be planted twenty feet on center.
- (3) The screen shall be placed so as to obscure the view of the parking area from the public right of way.
- (c) Service / trash collection areas abutting the public right-of-way
- (1) Shall be screened by a wall or fence five feet in height within a planting strip.



Service Screening with Landscape and Wall - Figure 6

**(2)** Where sufficient room exists, small to medium size trees shall be planted twenty feet on center.



Service Screening with Landscape and Fence - Figure 7

**(3)** Gates providing access to these areas shall be constructed of 100% opaque solid materials.

**(d) Screen Materials**

**(1)** The height of any wall, fence, or hedge shall not interfere with safe lines of sight as determined by the City of Camas decision maker.

**(2)** Barbed wire, razor wire, chain link, and vinyl fencing are prohibited.

**(3)** Fences and walls shall be constructed of enduring materials such as wood, masonry, and concrete.

- (4) Walls and fences shall be 100% opaque.*
- (5) Wall or fence screens shall provide visual interest through the use of varied building materials, textures, reliefs, architectural details, etc.*
- (6) To avoid a solid or blank appearance, 20% of the face of walls and fences shall utilize varying materials, colors, and other textures.*
- (7) Screening that utilizes plant materials shall incorporate plant materials capable of reaching 100% solid evergreen screen within three years of planting.*

**RESPONSE:** The Fire Station 41 project incorporates screening elements that fully comply with the Camas Downtown Design Manual standards. Service and utility areas, including trash collection facilities, are located to the rear of the site and are obscured from public view by a combination of architectural walls and landscaping. The DDM requires trash areas abutting rights-of-way to be screened by a 5-foot opaque wall. The proposed enclosure is 6 feet in height, fully opaque, and constructed of durable materials. Therefore, this standard is met.

Parking areas visible from the public right-of-way are limited in size and are buffered with landscaped strips containing shrubs and small canopy trees, creating visual separation from the streetscape while maintaining pedestrian visibility and safety. Fencing and walls, where required, are constructed of enduring materials such as masonry and wood, and avoid the use of chain link, vinyl, or other prohibited materials.

Vegetative screening is integrated into the site landscaping plan and utilizes evergreen plantings capable of forming a complete sight-obscuring barrier within three years, ensuring year-round screening of sensitive areas. Combined with the project's broader landscaping approach, these measures provide effective visual mitigation of service areas, reinforce the project's urban design goals, and enhance the pedestrian environment along adjacent rights-of-way.

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## **6. Pedestrian and Parking Lot Surfaces**

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### **(a) Pedestrian Surfaces**

- (1) Pedestrian surfaces outside of the right-of-way (private property) shall be constructed of an all weather continuous surface such as asphalt, concrete, colored concrete, pavers, etc. Granular materials such as gravel may be approved by the City of Camas decision maker.*
- (2) Pedestrian surfaces within the public right-of-way shall be concrete per the City of Camas standard sidewalk, unless otherwise reviewed by the Design Review Committee and approved by the City of Camas decision maker.*

### **(b) Parking Lot Surfaces**

- (1) Parking lot surfaces shall be constructed of an all weather continuous surface (e.g. asphalt, concrete, permeable paving, bricks, interlocking pavers). Gravel and dirt surfaces are not permitted.*

**(c) ADA Accessibility**

**(1)** Notwithstanding any section of the design standards, applicable provisions of the American with Disabilities Act (ADA) shall at all times be implemented within the area. ADA design standards shall be subject to review and approval by the Building Official and City of Camas decision maker.

**RESPONSE:** The Fire Station 41 project meets the requirements for pedestrian and parking lot surface design as outlined in the Downtown Design Manual. Pedestrian pathways located on-site are designed with continuous, all-weather surfacing, including concrete and enhanced paving materials, ensuring durability, accessibility, and a cohesive aesthetic that ties into the downtown streetscape. Pedestrian connections to the public right-of-way are constructed to City of Camas sidewalk standards, with concrete paving consistent with adjacent sidewalks along NE 4th Avenue and NE Everett Street.

Parking areas are surfaced with asphalt and/or concrete, providing a stable, long-lasting, all-weather surface consistent with required design standards. No gravel or dirt surfaces are proposed. Parking lot landscaping islands and striping enhance organization, safety, and pedestrian accessibility.

All pedestrian and vehicular circulation areas are designed to comply with the Americans with Disabilities Act (ADA), including appropriately sloped surfaces, accessible routes, curb ramps, and marked crosswalks where required. These measures ensure equitable access for all users and satisfy the review standards of the Building Official and City of Camas decision maker.

## E. ARCHITECTURAL STANDARDS

### 1. Site Planning

**(a)** New construction shall orient the main public entrance toward the public right of way.

**(b)** Parking areas shall be located to the rear or side of the structure. Parking shall not occupy more than 10% of the project frontage along the public right of way. Corner lots may be allowed additional frontage parking (on the minor side street) with additional screening per review by the Design Review Committee and approval by the City of Camas decision maker. Where possible parking areas shall be accessed from an alley, buildings should be located to provide a continuous colonnade along the public right of way. Parking requirements can be found within Title 18 CMC.

**(c)** Feature areas should be incorporated to provide outdoor use areas such as sidewalk dining, sidewalk merchandising, courtyards, nooks, balconies, alcoves or terraces.

**(d)** Sufficient space shall be provided for refuse storage (and required screening) outside of the public right-of-way.

**(e)** The intent of these standards is not to move existing buildings.

**(f)** Downspouts shall not direct water across sidewalks.

**RESPONSE:** The Fire Station 41 project meets the City of Camas’s site planning standards by orienting its primary public entrance toward NE 4th Avenue, ensuring a strong relationship between the building and the public right-of-way. This orientation emphasizes pedestrian access and visibility, consistent with downtown design principles.

No surface parking is proposed along the 4th Avenue frontage, in compliance with the requirement that parking not occupy more than 10% of the project frontage. Vehicle storage and apparatus bays are located within the building envelope and internal to the site, maintaining an active and pedestrian-friendly streetscape along the primary frontage. The configuration reinforces the downtown urban form by dedicating the most visible frontage to civic and pedestrian use rather than parking.

The design incorporates a pedestrian plaza and outdoor feature space at the corner of NE 4th Avenue and NE Everett Street, providing an attractive public amenity that functions as a gathering area and enhances downtown walkability. Refuse storage areas are accommodated within screened service zones away from the public right-of-way, ensuring visual quality and compliance with screening standards.

All building drainage is designed to prevent downspouts from discharging across pedestrian routes, thereby maintaining safe and accessible sidewalks. Overall, the project demonstrates a cohesive site plan that integrates public safety functions with the City’s goals for a walkable, engaging, and high-quality downtown environment.

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## **2. Signage**

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*(a) Signage shall be per the City of Camas Sign Ordinance.*

**RESPONSE:** All proposed signage associated with Fire Station 41 will comply with the City of Camas Sign Ordinance, as required under the Downtown Design Manual. Any building-mounted signage will be integrated into the architecture to maintain a cohesive appearance with the surrounding downtown context. No freestanding signage is proposed within the project, consistent with gateway and downtown design principles.

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## **3. Building Façade**

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*(a) Building elevations visible from the public right of way should be designed to provide architectural interest and individual character.*

*(b) Glazing fronting the street shall be utilized on a minimum of 40%, to a maximum of 80% of the ground floor elevation abutting the public right of way. Components of Energy Smart Design should be considered where glazing is utilized.*

*(c) Rain protection attached to buildings shall be provided along the public right of way consisting of a five foot width minimum cover along 90% of the building facade. The building may not cantilever into the public right-of-way to achieve rain protection. Rain*

*protection may take the form of a canopy projection, recessed entry, overhead balcony, or combination there of.*

*(d) Architectural detailing should be utilized to provide visual interest and individual character. Elevations abutting the public right or way should incorporate a high degree of architectural detailing including but not limited to the use of relief panels, cornice work, window trim, balconies, overlooks, nooks, alcoves, shade panels, rain protection, finish textures, multiple color pallets, and staggered wall sections. Detailing shall be compatible with the existing and surrounding downtown area.*

*(e) Building Materials shall be selected for their enduring qualities. Recycled or renewable materials should be utilized where practical. Preferred materials include natural stone, masonry, wood, architectural grade metal, architectural grade composite materials, concrete, precast concrete products, and stucco.*

*(f) Materials specifically prohibited include vinyl siding and exposed plywood products. This shall not be interpreted to preclude laminated doors or the use of plywood in soffits. Materials shall be compatible with the existing and surrounding downtown area.*

*(g) Roof mounted equipment shall be screened from view from the street by providing a parapet or cornice at least equal in height to the equipment, and by painting the equipment to match the roof. For flat roofs the parapet shall surround the perimeter of the building. Screening shall be compatible with rooflines and materials so that the roof lines are harmonious.*

*(h) Building colors shall be chosen to be compatible with neighboring structures, and natural or earth-tone colors shall predominate.*

**RESPONSE:** The Fire Station 41 project complies with the architectural standards of the Downtown Design Manual through its use of high-quality materials, civic-scale detailing, and glazing proportions consistent with downtown Camas design intent. The design team at Aetta Architects provided detailed evaluation of glazing and canopy coverage in relation to Downtown Design Manual requirements.

**Glazing:** The north façade (NE 4th Avenue frontage) provides approximately 52% glazing along the 143-foot portion of the building abutting the public right-of-way, exceeding the 40% minimum requirement. The remaining portion of the north façade steps back from the street and transitions to a landscaped public plaza that screens private living quarters for station personnel; glazing is not required in these recessed areas. Along the south façade (NE 3rd Avenue), glazing equals approximately 55% of the ground-floor elevation, meeting and exceeding the DDM standard.

**Rain Protection:** Canopy coverage along NE 4th Avenue extends approximately 80% of the primary façade length and is 5 feet in depth. Although slightly below the 90% threshold, this design adjustment provides architectural rhythm, enhances privacy for interior uses, and reduces visual monotony along the long street frontage. The south façade canopies also cover approximately 80% of the building length, exceeding the pedestrian need for rain protection while ensuring clear visibility for apparatus operations.

**Design Intent:** The project balances transparency and privacy through selective glazing placement, shading, and articulation. This approach creates a visually dynamic façade that maintains compliance with the Downtown Design Manual’s intent—activating the public frontage while respecting operational privacy and function.

---

### **VIII. CONCLUSION**

This concludes our narrative for the Camas-Washougal Fire Station 41 project. As demonstrated within this narrative and the additional materials which comprise the submittal package, the proposed Camas-Washougal Fire Station 41 represents a vital investment in public safety infrastructure by the City of Camas, supporting the growing needs of the downtown core and surrounding neighborhoods. The project has been carefully planned to align with all applicable development standards, including zoning, design review, environmental regulations, and public improvement requirements. Through the integration of the Downtown Design Manual, the City’s stormwater and construction standards, and the streamlined land use and permitting processes, the proposed fire station will deliver a high-quality, civic-focused facility that is operationally functional, aesthetically compatible, and environmentally responsible.

Located within the Downtown Commercial (DC) zone and replacing a City-owned, underutilized commercial building, the project will strengthen the role of this area as a vibrant and well-serviced urban district. The proposed design reinforces walkability, multi-modal access, and connectivity with nearby civic institutions while addressing operational needs for 24-hour emergency response. All required land use actions—including street vacation, boundary line adjustment, and site plan review—will be processed in compliance with the Camas Municipal Code, and the City is committed to maintaining transparency and regulatory compliance throughout all phases of development.

Once completed, Fire Station 41 will serve as a long-term public asset, enhancing the City’s emergency services capacity and reinforcing the resilience of the community. The project team respectfully requests approval of this application and looks forward to continued coordination with City staff and stakeholders during final permitting and construction.

\*\*\*



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www.aetta.com

**PRELIMINARY**

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fax: (206) 522-2456  
tca-inc.com

**CAMAS-WASHOUGAL FIRE DEPARTMENT  
HEADQUARTERS AND STATION #41**

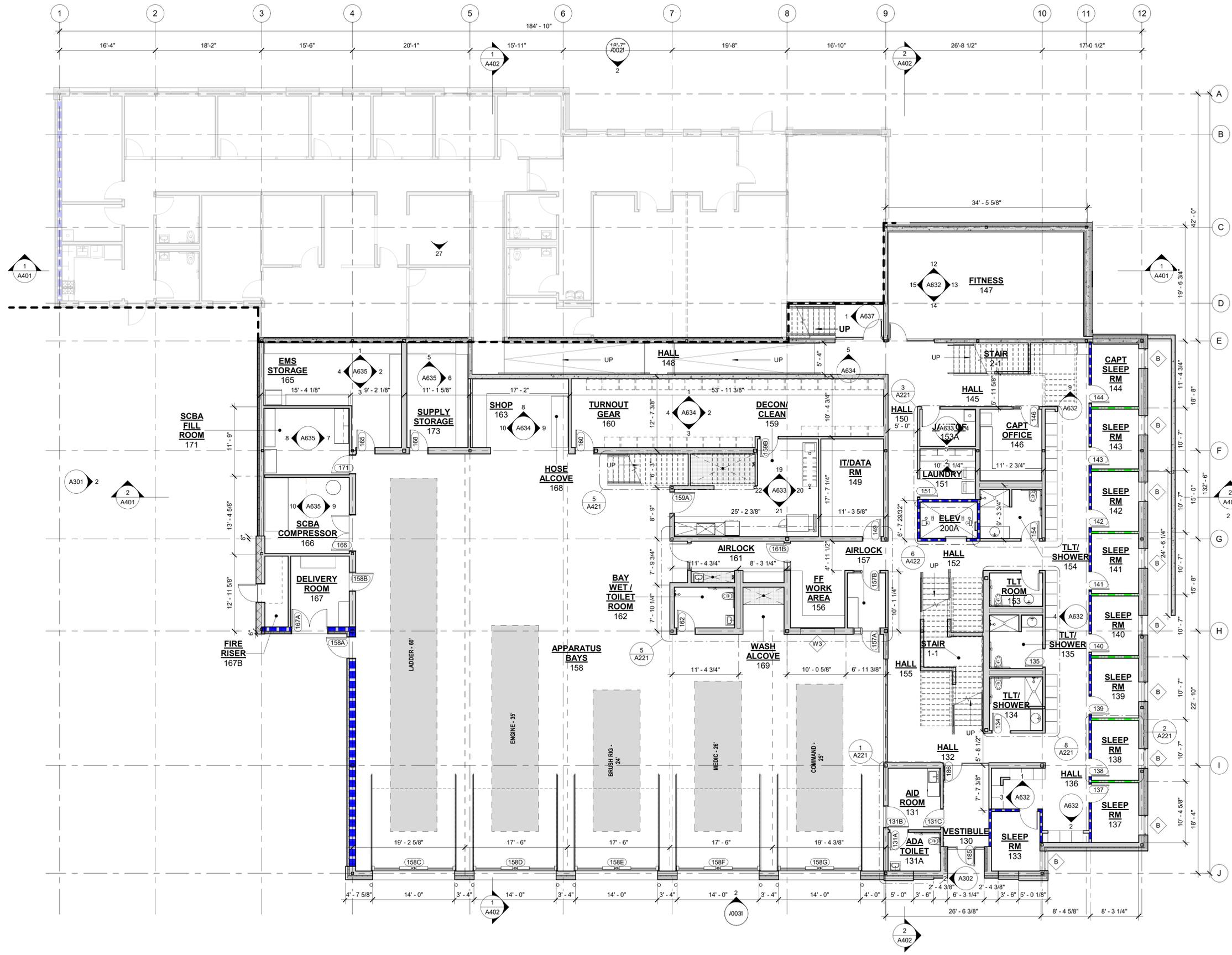
528 NE 4TH AVE., CAMAS WA 98607

PROJECT # 23048.1  
DATE 10/09/2025  
REVISIONS  
NO. DATE DESCRIPTION

LEVEL 1 FLOOR PLAN

**A201**

DD PHASE



- FLOOR PLAN GENERAL NOTES:**
- REFER TO CODE ANALYSIS SHEETS FOR RATED CONSTRUCTION AND OPENING PROTECTION
  - REFER TO WALL TYPE SHEETS FOR INTERIOR AND EXTERIOR WALL DESCRIPTIONS. UNLESS OTHERWISE NOTED, THE TYPICAL EXTERIOR WALL TYPE SHALL BE TYPE XXX AND THE TYPICAL INTERIOR WALL SHALL BE TYPE XXX
  - WALL TYPES ARE NOT CALLED OUT AT EACH WALL. WALL TYPES CALLED OUT IN ONE ROOM EXTEND FOR THE ENTIRE LENGTH OF THE WALL UNLESS OTHERWISE NOTED
  - COLUMNS ARE DIMENSIONED TO CENTERLINE UNLESS OTHERWISE NOTED
  - INTERIOR STUD WALLS ARE DIMENSIONED TO FACE OF STUD UNLESS OTHERWISE NOTED
  - MASONRY WALLS ARE DIMENSIONED TO FACE OF MASONRY UNLESS OTHERWISE NOTED
  - CONCRETE OPENINGS ARE DIMENSIONED NOMINALLY UNLESS OTHERWISE NOTED
  - ALL DOOR, WINDOW, LOUVER AND OTHER OPENINGS ARE DIMENSIONED FOR ROUGH OPENING SIZE. CONSTRUCT OPENINGS PER MANUFACTURER REQUIREMENTS
  - HINGE SIDE OF DOOR FRAMES TO BE 4" FROM ADJACENT PERPENDICULAR WALLS UNLESS OTHERWISE NOTED
  - ARCHITECTURAL FINISHED FLOOR ELEVATION OF 0'-0" CORRESPONDS TO CIVIL ELEVATION OF X'-X"
  - FLOOR DRAINS TO BE SET TO TOP OF DRAIN IS BELOW FINISH FLOOR ELEVATION WITH CONTINUOUS FLOOR SLOPE FROM PERIMETER OF ROOM TO DRAIN UNLESS OTHERWISE NOTED. SLOPE TO BE BETWEEN 1/4" PER FOOT AND 1/2" PER FOOT
  - SIZE OF ELEVATOR SHAFT AND ELEVATOR PIT ARE SHOWN PER THE BASIS OF DESIGN ELEVATOR MANUFACTURER. CONSTRUCT PER ELEVATOR MANUFACTURER REQUIREMENTS. REFER TO FURNITURE PLANS FOR ALL FREE STANDING FURNITURE AND EQUIPMENT.

**VEGETATION REMOVABLE**

**1 FLOOR PLAN - LEVEL 1**  
1/8" = 1'-0"

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5. INTERIOR STAIR WALLS ARE DIMENSIONED TO FACE OF STAIR UNLESS OTHERWISE NOTED
6. MASONRY WALLS ARE DIMENSIONED TO FACE OF MASONRY UNLESS OTHERWISE NOTED
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12. SIZE OF ELEVATOR SHAFT AND ELEVATOR PIT ARE SHOWN PER THE BASIS OF DESIGN ELEVATOR MANUFACTURER. CONSTRUCT PER ELEVATOR MANUFACTURER REQUIREMENTS
13. REFER TO FURNITURE PLANS FOR ALL FREE STANDING FURNITURE AND EQUIPMENT.

**VELOCITIES ARE APPLICABLE**  
**PRELIMINARY**



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LEVEL 1.5 FLOOR PLAN

**A202**

DD PHASE



**1 FLOOR PLAN - LEVEL 1.5**  
1/8" = 1'-0"

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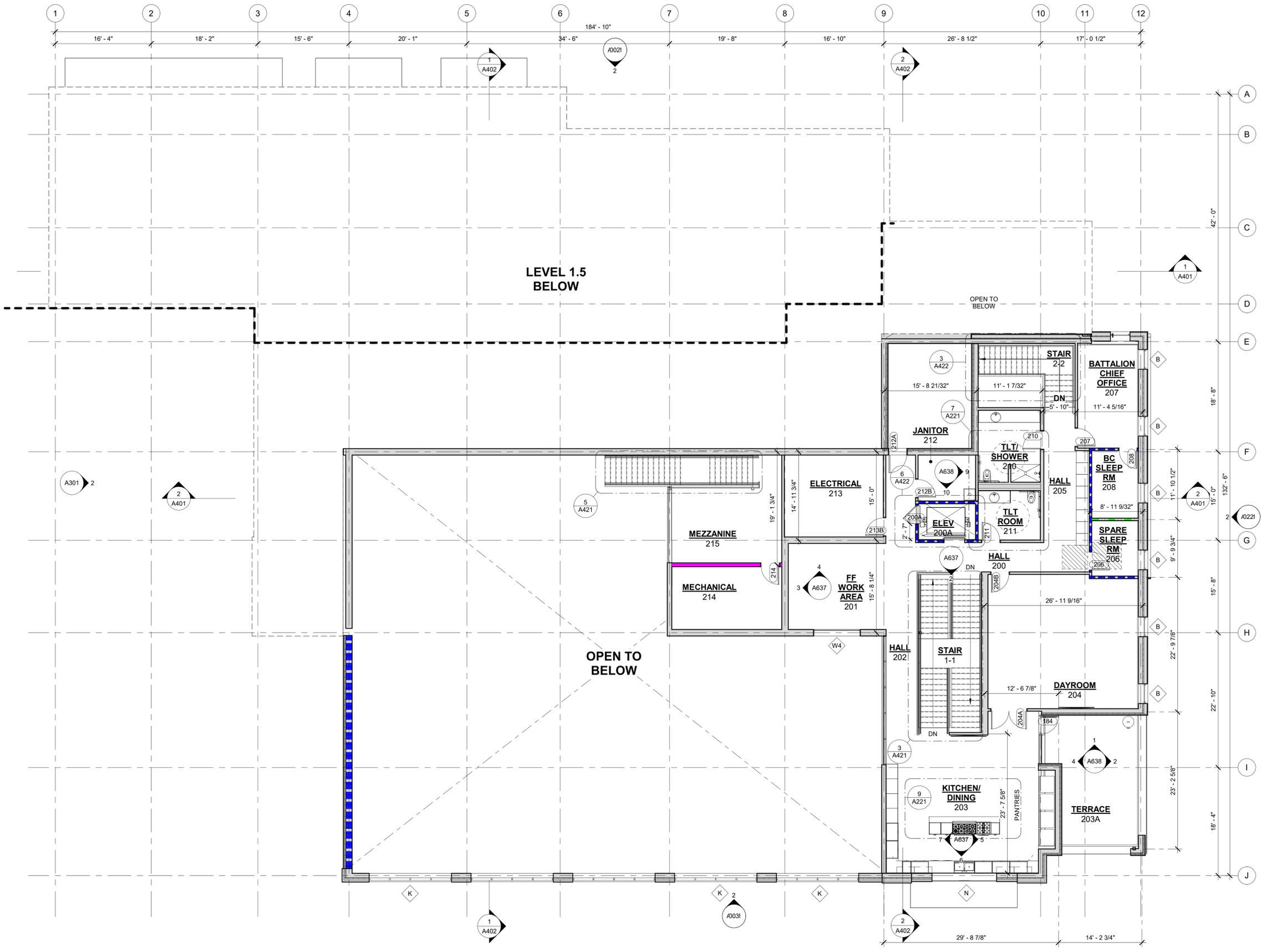
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DATE 10/09/2025  
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LEVEL 2 FLOOR PLAN

**A203**

DD PHASE



**FLOOR PLAN GENERAL NOTES:**

1. REFER TO CODE ANALYSIS SHEETS FOR RATED CONSTRUCTION AND OPENING PROTECTION
2. REFER TO WALL TYPE SHEETS FOR INTERIOR AND EXTERIOR WALL DESCRIPTIONS. UNLESS OTHERWISE NOTED, THE TYPICAL EXTERIOR WALL TYPE SHALL BE TYPE XXX AND THE TYPICAL INTERIOR WALL SHALL BE TYPE XXX
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13. REFER TO FURNITURE PLANS FOR ALL FREE STANDING FURNITURE AND EQUIPMENT.

**1 FLOOR PLAN - LEVEL 2**  
1/8" = 1'-0"

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PRELIMINARY



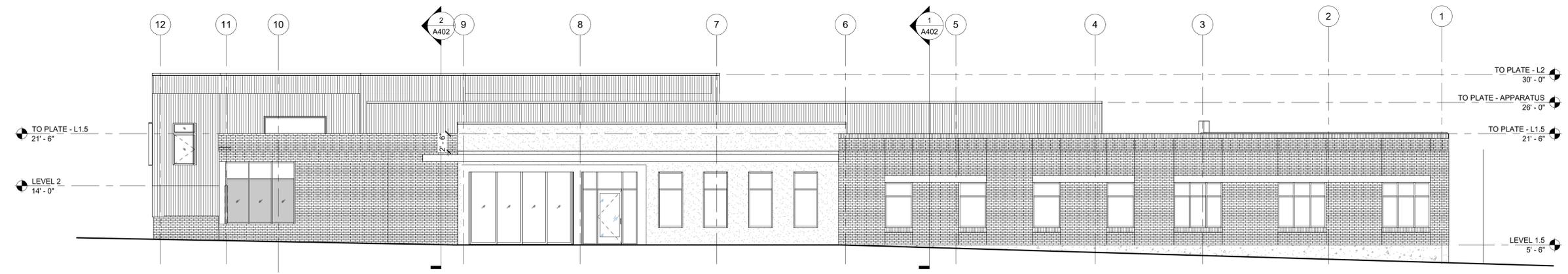
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PROJECT # 23048.1  
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REVISIONS  
NO. DATE DESCRIPTION

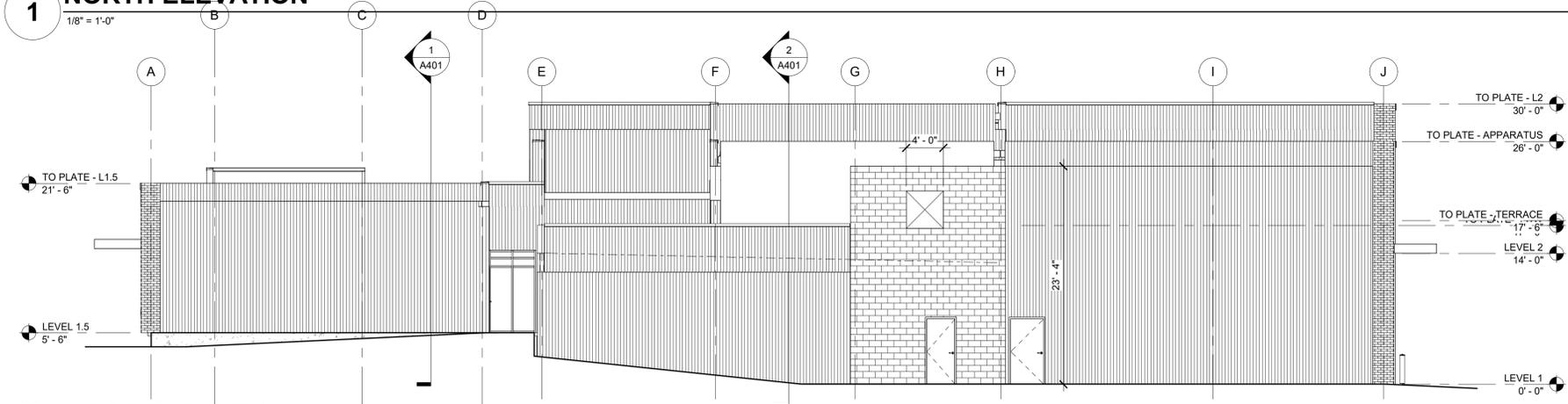
EXTERIOR  
ELEVATIONS

**A301**

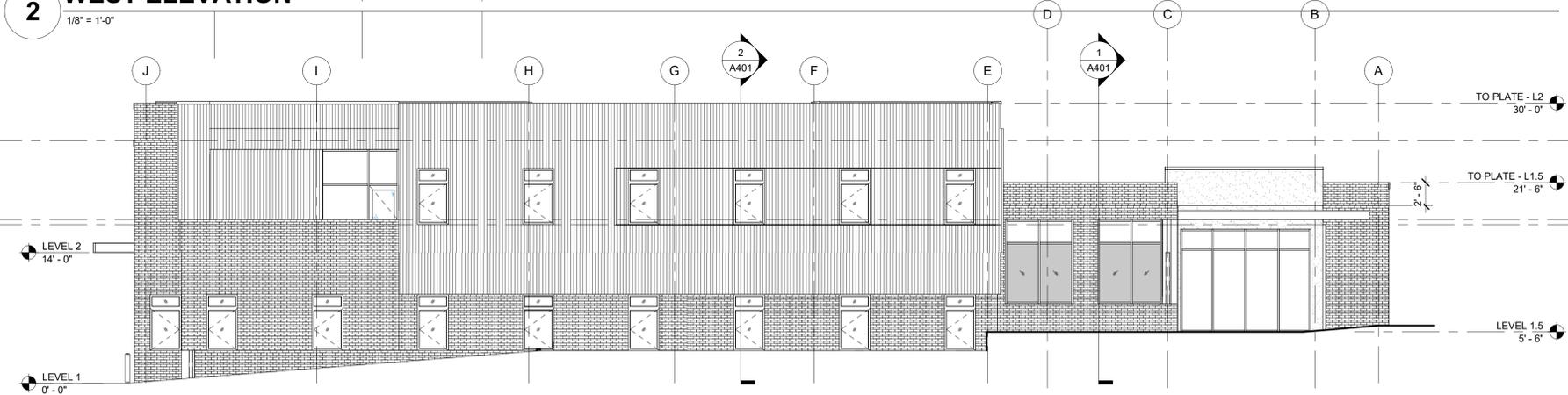
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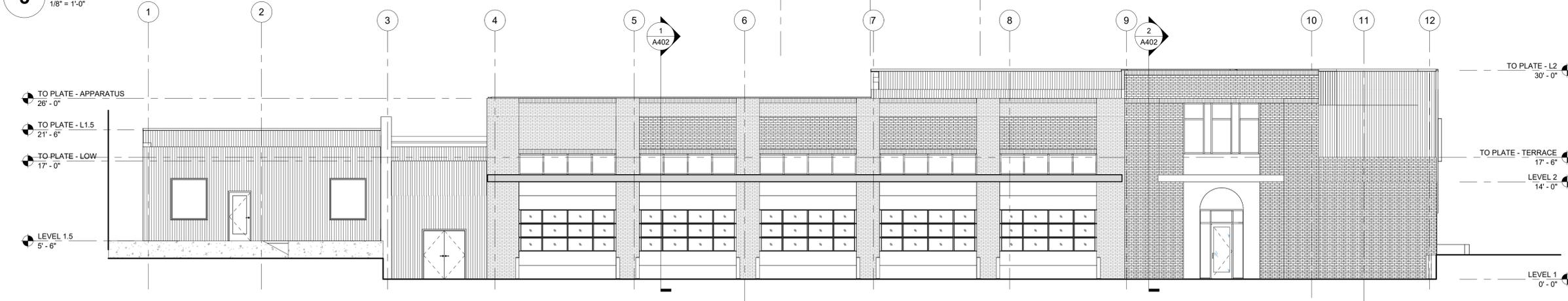
**1 NORTH ELEVATION**  
1/8" = 1'-0"



**2 WEST ELEVATION**  
1/8" = 1'-0"



**3 EAST ELEVATION**  
1/8" = 1'-0"



**4 SOUTH ELEVATION**  
1/8" = 1'-0"

**MATERIAL LEGEND:**

MTL-1		CORRUGATED METAL PANEL (CONCEALED FASTENERS) - GREY
MTL-2		METAL COPING
CTP-1		CEMENTITIOUS PANEL
BR-1		BRICK VENEER - RUNNING BOND
BR-2		BRICK VENEER - STACK BOND
BR-3		BRICK VENEER - SOLDIER COURSE



# CAMAS WASHOUGAL HQ FIRE STATION 41

# EXTERIOR MATERIALS REVIEW

SEPTEMBER 24, 2025



ARCHITECTURE + PLANNING + DESIGN

# AGENDA

PREVIOUS DESIGN STUDIES

MATERIAL PALETTE

EXTERIOR ELEVATIONS

TRAINING WALL LAYOUT

# PRECEDENT IMAGES

Item 1.



# PRECEDENT IMAGES

Item 1.



# PREVIOUS DESIGN STUDIES

Item 1.



4TH AVE VIEW



3RD AVE VIEW

# PREVIOUS DESIGN STUDIES

Item 1.



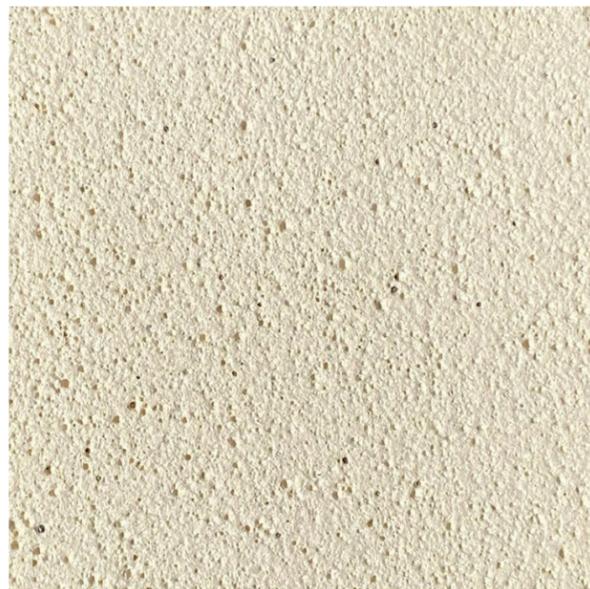
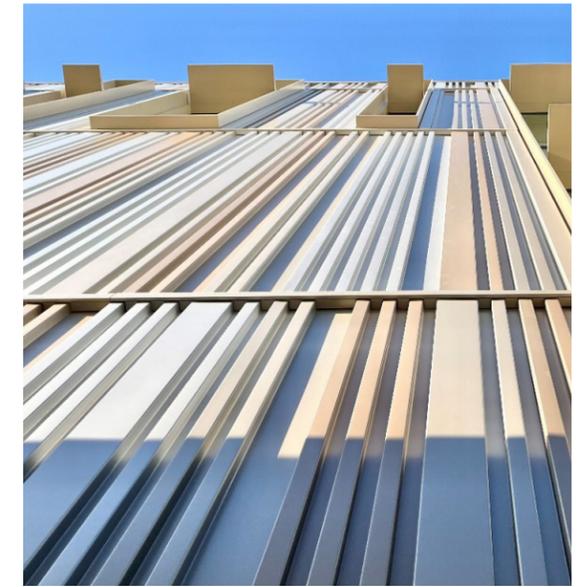
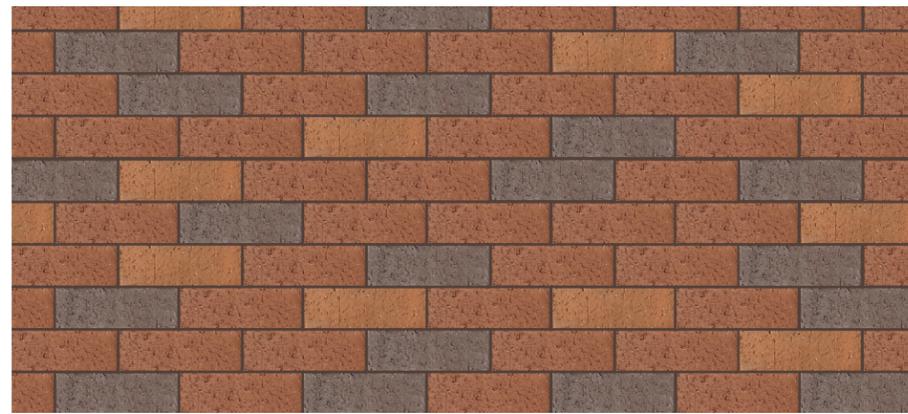
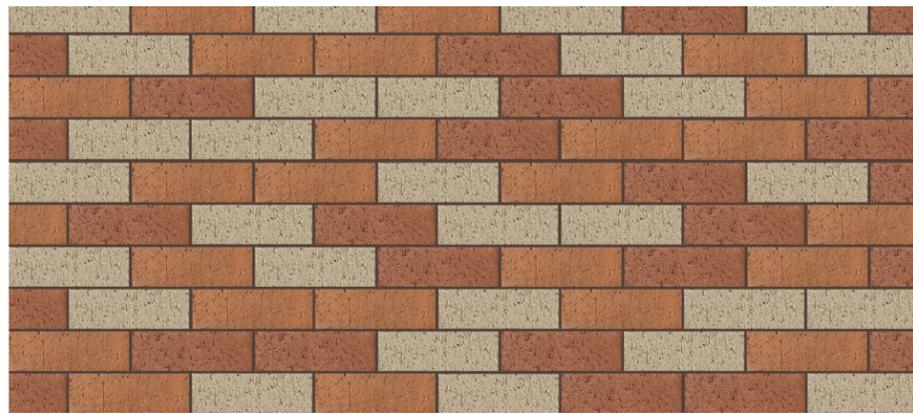
## 4TH AVE VIEW



## 3RD AVE VIEW

# MATERIAL PALETTE

Item 1.



# EXTERIOR ELEVATIONS



4TH AVE - NORTH ELEVATION



3RD AVE - SOUTH ELEVATION











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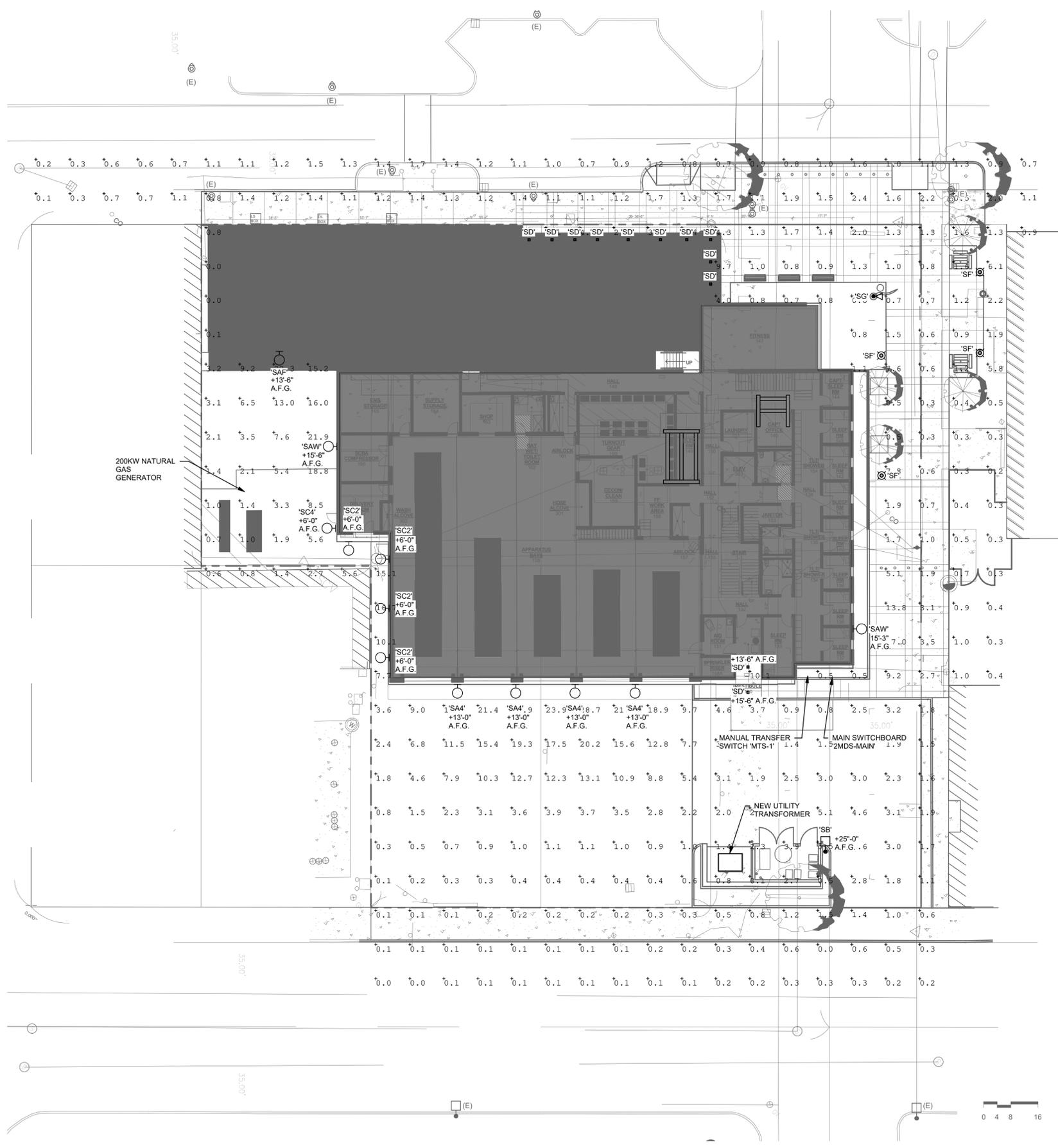
PROJECT # 23048.1  
DATE 10/08/25  
REVISIONS  
NO. DATE DESCRIPTION

SITE PLAN -  
PHOTOMETRICS

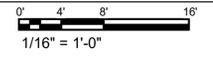
**PRELIMINARY**  
60% PROGRESS SET

**GENERAL SHEET NOTES**

- A. LUMINAIRE 'SD' HAS A MOUNTING HEIGHT OF 11'-6" A.F.G. U.O.N.
- B. LUMINAIRE 'SF' HAS A MOUNTING HEIGHT OF 42" A.F.G.
- C. PHOTOMETRIC CALCULATIONS ARE AT GRADE LEVEL.
- D. PHOTOMETRIC CALCULATIONS ARE EXPECTED AVERAGE MAINTAINED.
- E. ILLUMINATION AT GRADE DURING NORMAL RATED LIFE OF THE LIGHT SOURCE.
- F. LIGHT LOSS FACTOR OF 0.90.



**1 SITE PLAN - PHOTOMETRICS**



10/8/2025 4:38:26 PM



**INTERFACE**  
ENGINEERING  
PROJECT 2024-1588  
CONTACT Alex Magee  
100 SW Main Street, Suite 1600  
Portland, OR 97204  
TEL 503.382.2266  
www.interfaceengineering.com

C y e S ee

Type: S3

## MOSAIC - PALM

Illuminating Column

# .hess

### DESCRIPTION

Inspired by nature, MOSAIC adds a dramatic visual element to a wide range of architecture day or night. The illuminated column is fabricated from 6063-T65 aluminum with precisely cut patterns for a sophisticated presentation. The decorative panels are illuminated from within by a single top mounted luminaire which directs light downward and outward. Static LED light source may be white light with a choice of color temperatures or monochromatic color for simple ambiance. Dynamic light sources may be RGBW or dynamic white to create colorful scenes and effects. All hardware is stainless steel. Finish may be finely textured matte silver grey, metallic dark grey, graphite grey or black. Special RAL colors or premium anodized finishes available on request. CSA Certified for Wet Locations.



PROTECTED BY



Date: \_\_\_\_\_ Type: \_\_\_\_\_ Catalog Number: \_\_\_\_\_

Project Name: \_\_\_\_\_

### ORDERING INFORMATION

LUMINAIRE						
MODEL	LED	VOLT	POLE	FINISH	PREMIUM FINISH	OPTION
MSC300-P- Palm	30K- 3000K	UNV- 120-277v	10AS- 10' Aluminum Square	SG - Silver Grey	SA - Satin Anodized	DIM- 0-10v Dimming for White LEDS
	40K- 4000K		12AS- 12' Aluminum Square	DG - Dark Grey	BKA - Black Anodized	
	DW- Dynamic White (2700K-6500K)	14AS- 14' Aluminum Square	GG - Graphite Grey	BZA - Bronze Anodized		
	RGBW- RGBW (4000K White)		MB - Matte Black			
				DB - Dark Bronze		
				CC - Custom RAL Color		
				*Make only one Finish selection total within this box		



www.hessamerica.com (For other Experience Brands companies, please visit www.experiencebrandsusa.com)  
 In a continuing effort to offer the best product possible, we reserve the right to change, without notice, specifications or materials. Technical specification sheets that appear on www.hessamerica.com are the most recent ones available.

Refer to Luminaire Schedule for manufacturer's catalog ordering code, required lamping, finishes, modifications and/or required accessories.

Item 1.



# Downtown Design Manual



*City of Camas, Washington*

*Adopted by Resolution No. 1136 on September 2, 2008*

Amended by Resolution No. 1301 on July 21, 2014

Item 1.

Adopted by Resolution No. 1136  
September 2, 2008  
Revised by Resolution No. 1301  
July 21, 2014

# Downtown Design Manual

City of Camas, Washington

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**Appendix:**

- Appendix A: Definitions
- Appendix B: Required Elements Matrix
- Appendix C: Street Trees
- Appendix D: Planting – Irrigation Details

**Credits and Acknowledgements**

**Camas City Council**

- Paul Dennis, Mayor
- Greg Anderson
- Don Cheney
- Linda Dietzman
- Helen Gerde
- Scott Higgins
- Steve Hogan
- Melissa Smith

**Planning Commission**

- Bryan Beel
- Carol Collier
- Shelly Damore
- Mary Kufeldt-Antle, Vice Chair
- Tim Hein, Chair
- Troy Hull
- David Shepherd

**Downtown Vision Coalition**

Design & Infrastructure Committee

**City Administration**

Lloyd Halverson, City Administrator

**City Staff**

- Phil Bourquin, Community Development Director
- James Carothers, Engineering Manager
- Sarah Fox, Planner II
- James Hodges, Engineering Project Manager
- Jeff Englund, Engineering Technician

**Consultants**

Christopher A. Baumann LA  
 Daniel G. George LA, APA, ASCA

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 1601 Broadway  
 Vancouver WA 98663  
 360-750-9000  
 psi@planningsolutionsinc.com

## A. How to Use this Document

The Downtown Design Manual has been developed by downtown business owners in conjunction with the City of Camas. This document provides general requirements geared towards businesses considering renovations, expansions, or new site development.

The following process is suggested:

1. Read this document and note requirements that may apply to your project. Be sure to review the Appendix section. All words included in the Definitions appendix have been underlined (and are noted as bold) within this manual. Example: **Definition**
2. Review and define your project, then re-read this document.
3. If you have questions, contact the City of Camas Planning Division (360) 817-1562 to review your project. City staff will be happy to discuss your project and how it relates to this Downtown Design Manual, as well as other City codes.

## B. Purpose

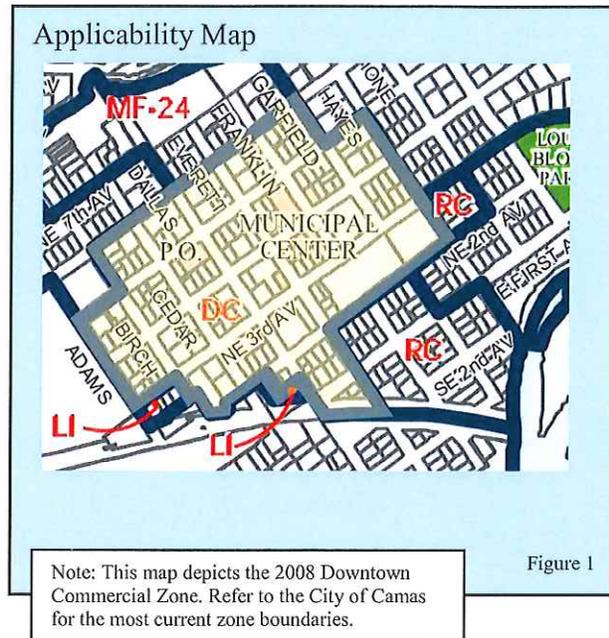
The Downtown Design Manual is intended to provide guidance for new development and redevelopment within the existing downtown core. This type of development is further expected to:

1. Achieve the goals and objectives of the City of Camas Comprehensive & Capital Facilities Plan;
2. Enhance livability, environmental quality and economic vitality with a mix of uses downtown;
3. Maximize efficient use of public facilities and services;
4. Create a safe, attractive, and convenient environment for a variety of uses including living, working, and recreating with retail businesses on the street level and housing/office units on upper levels;
5. Encourage economic development in the area by creating an environment that attracts a broad and diversified consumer base to the downtown core;
6. Encourage an economically viable atmosphere that will attract new business to the downtown core.
7. Encourage sustainable development practices.



### C. Applicability / General Requirements

1. The provisions of this section shall be applied to public spaces and private parcels located within the City of Camas downtown commercial zone. (Refer to Figure 1) The boundary is intended to include both sides of the street.
2. Private parcels shall be required to implement the improvements identified within this section for:
  - (a) all new uses;
  - (b) all **changes of use**;
  - (c) the expansion of any building or development as defined in Camas Municipal Code (“CMC”) Section 18.18.020(A) exceeding twenty percent of the existing floor or site area, or any one thousand square foot addition or increase in impervious coverage thereto, whichever is lesser.
3. The following activities are exempt from the requirements of this section.
  - (a) Routine or emergency repair or maintenance of public or private buildings, structures, landscaping or utilities;
  - (b) Interior remodeling.
4. If the requirements of the Downtown Design Manual conflict with other regulations, the more stringent of the two shall apply.
5. All work associated with the implementation of the Downtown Design Manual on private parcels shall be constructed and maintained by the land owner, unless otherwise noted.
6. All required improvements shall be subject to Design Review (CMC 18.19) prior to building permit issuance. In addition, projects may be subject to Site Plan Review (CMC 18.18) prior to building permit issuance. Project proponents are urged to contact the City of Camas for all required approval processes.
7. All work shall be completed in accordance with City of Camas Municipal Code.
8. Refer to Appendix B for a Required Elements Matrix.



9. Standards, materials, finishes, and colors specified within this manual, and the attached appendices, may be substituted with other similar elements with review by the Design Review Committee and approval by the City of Camas decision maker.

**D. Streetscape Elements**

The Downtown Design Manual is intended to provide a high degree of landscape amenities, tree lined streets, attractively landscaped frontages, screening of service areas, street furnishings, and pedestrian areas as part of a unified design.

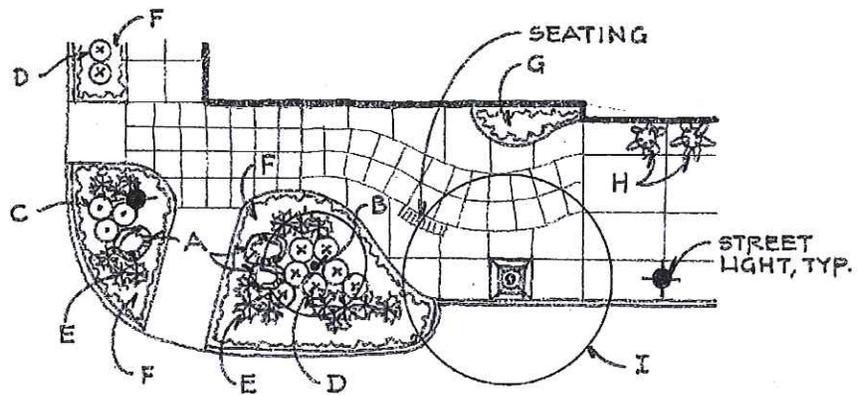


**1. Planting Design**

(a) On-site plantings that abut the public right of way shall provide multiple layers of plantings, including canopy trees, understory trees, shrubs and groundcover. Seasonal interest is encouraged to be enhanced through the use of plant materials that provide seasonal color, fragrance, and specimen plant materials. Refer to Figure 2 for a planting example.

(b) Landscape materials shall be installed per Appendix D. Landscaping should not exceed 30" high on corners.

(c) Hanging baskets shall be installed so that the bottom of the basket is a minimum of 80 inches (6'8") above the finished grade of the public sidewalk. An exception to this is provided when an effective barrier such as a raised planter box, potted plant, or other physical barrier is located on the ground in such a way as to effectively mitigate a hazard created by the hanging basket.



- A OPTIONAL BOULDERS
- B SMALL ACCENT TREE
- C LOW EVERGREEN SHRUBS
- D LOW OR MEDIUM EVERGREEN SHRUBS
- E PERENNIALS
- F ORNAMENTAL GRASSES AND/OR GROUND COVER
- G PLANTER POCKET WHERE PRACTICAL W/ ESPALIER & ANNUALS
- H FLOWER POTS
- I STREET TREE

Planting Design Example Figure 2

(d) All plant materials shall meet or exceed specifications established by the American Association of Nurserymen for nursery stock, and be suitable for the climatic conditions encountered in Camas, Washington.

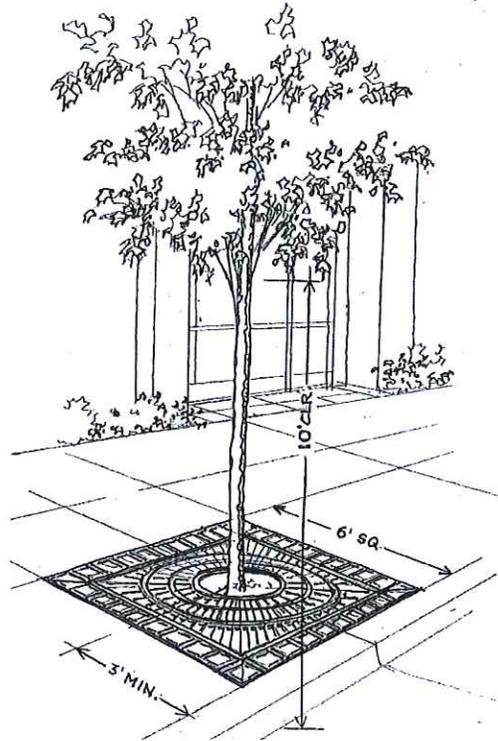
(e) A landscape maintenance plan per the American Association of Nurserymen's standards, and approved by the City of Camas, shall be recorded as a **covenant** on the project parcel for **landscaping located on private property**,

## 2. Irrigation Design

(a) All landscape plantings shall be irrigated with an automatic, underground irrigation system designed with water conservation in mind. Utilization of techniques such as separate water zones based on soil type, sun exposure, and plant water requirements are encouraged. Hanging baskets and individual planter pots may be hand watered. All irrigation materials located within the public right-of-way shall utilize the materials and construction techniques as listed in Appendix D and the City of Camas Design Standards Manual.

## 3. Street Trees

- (a) Trees selected for use as **street trees** shall be long-lived species possessing qualities suitable for an urban streetscape including branching characteristics, rooting characteristics, disease resistance, and non-fruiting. **Street Trees** shall be selected from Appendix "C" or the Camas Design Standard Manual (This manual is available online at <http://www.ci.camasa.wa.us/pworks/engforms.htm>).
- (b) **Street trees** shall be a minimum of 2-inch caliper, fully branched, and staked at the time of planting.
- (c) **Street Trees** shall be maintained to provide eight feet of clearance area under the canopy at the sidewalk and 10 feet of clearance at the street, per Figure 3.
- (d) **Street trees** shall be planted on all street **frontages** at minimum 30 feet on-center spacing, as measured along the abutting curb.
- (e) **Street trees** shall be placed a minimum of two and one-half feet from the back of the curb as measured from the center of the tree, unless otherwise specified by the City of Camas decision maker, per Figure 3.
- (f) **Street tree** planters shall be covered with American with Disability ("ADA") accessible **tree grates** that are a minimum of six feet by six feet, **street tree** placement shall not



Street Tree Placement  
Figure 3

impede pedestrian access and shall allow for a minimum six foot **path of travel** (the ADA accessible **tree grates** may be placed within the **path of travel** to meet these specifications).

- (g) A limited **tree grate** exception may be granted for instances where **street trees** must be placed in planter beds. Such planter beds must be at least twice the size of a standard **tree grate** tree planter, must be landscaped per this section, must be irrigated per this section, and must allow for a minimum six foot **path of travel**.
- (h) **Street trees** shall be irrigated per Appendix D.
- (i) **Street tree** planters, where allowed, shall include root barriers.

#### 4. **Hardscape** Elements

**Hardscape** Elements provide a high degree of pedestrian amenity that encourages outdoor social interaction, promotes a sense of place, and public security. The introduction of **hardscape** elements such as natural stone, sculpture, **water features**, **drinking fountains**, decorative sidewalks (e.g. scored concrete, colored concrete, pavers, etc.), **enhanced paving**, **accent lighting**, **site furnishings**, recreational facilities, and the like are strongly encouraged.



- (a) **Furnishings**
  - (1) Furnishings shall consist of benches, **drinking fountains**, trash receptacles, and bike racks. Furnishings shall be placed such as to not impede or constrict pedestrian movement or ADA Accessibility. Outdoor seating associated with a food or beverage business may be authorized in accordance with Appendix “E”.
  - (2) Benches shall be placed within the public sidewalk, private parcels, pocket plazas and parks to encourage social interaction and extend the length of stay in the area. At a minimum one bench should be located on each side of a city block. Where opportunities exist to locate more than one bench, benches should be orientated toward each other to encourage social interaction.
  - (3) **Drinking fountains** shall be ADA accessible.
  - (4) Trash Receptacles shall be placed within the public sidewalk, pocket plaza, and parks to encourage public sanitation and a litter free environment. At a minimum one trash receptacle should be located on each side of a city block near the midpoint of the block. Uses that generate a high potential for immediately disposable trash such as take out restaurants are strongly encouraged (unless

otherwise stated) to locate a trash receptacle within the **frontage** of their establishment.

- (5) Bike racks shall be placed within the public sidewalk, pocket plaza, and parks to encourage multi modal transportation and pedestrian safety. At a minimum one bike rack should be located on each side of a city block near the midpoint of the block. Uses that generate a high potential for bike parking such as arcades and movie theaters are strongly encouraged (unless otherwise stated) to locate a bike rack within the **frontage** of their establishment.

- (6) **Water features** are encouraged. Upon review by the Design Review Committee, and approval by the City of Camas decision maker, placement of a **water feature** may be in lieu of some (or all) of the required elements for a particular parcel. The Design Review Committee shall determine which streetscape elements may be substituted by the **water feature**.

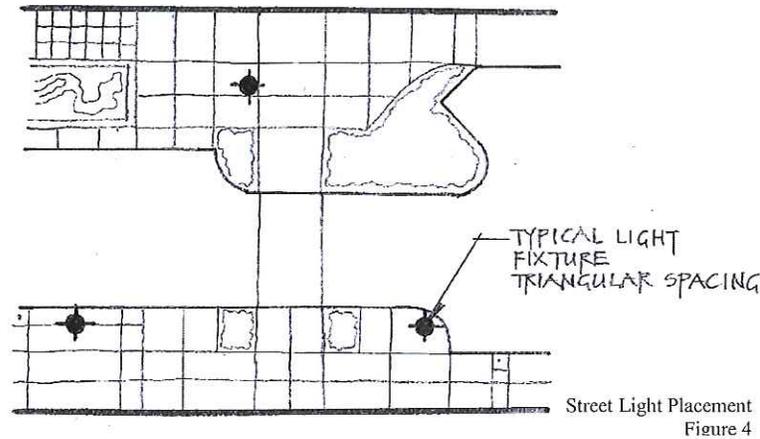


- (7) **Public art** is required to be provided at one percent of construction cost. Upon review by the Design Review Committee, and approval by the City of Camas decision maker, placement of a permanent **public art** display may be in lieu of some (or all) of the required elements for a particular parcel. The Design Review Committee shall determine which streetscape elements may be substituted by the **public art**.



## (b) Street Lighting

- (1) Themed ornamental street lighting shall be located along the public right of way. Street lights shall be located utilizing a triangular spacing per Figure 4. The street light (with hanging plant bracket) shall be the City of Camas approved downtown street light.



- (2) Every lot will not be required to place a streetlight. Street light spacing will dictate those lots required to place street lights. The City of Camas decision maker shall review and approve proposed street light spacing.

## 5. Screening Standards

Screening shall be utilized to obscure views of service, parking, and trash collection areas from view from the public right-of-way.

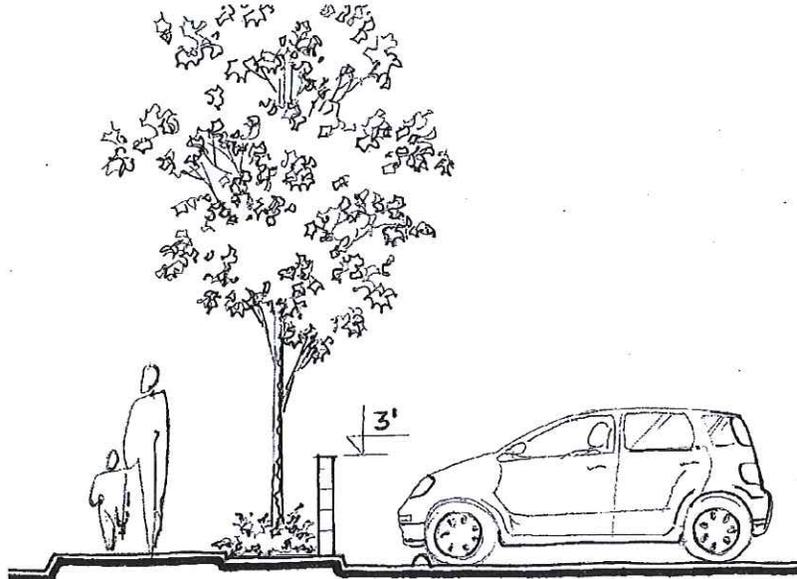
## (a) General

- (1) Sight-obscuring evergreen vegetation, screen walls, or fences may be erected within the setback area of a private parcel.
- (2) Screening shall not be placed within the public right-of-way.



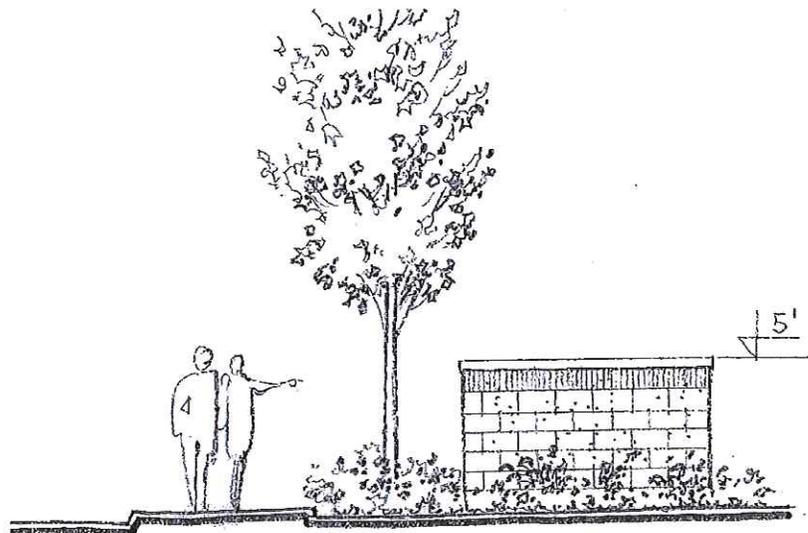
- (b) Parking lots abutting the public right-of-way

- (1) Shall be screened by a wall or fence three feet in height within a planting strip.



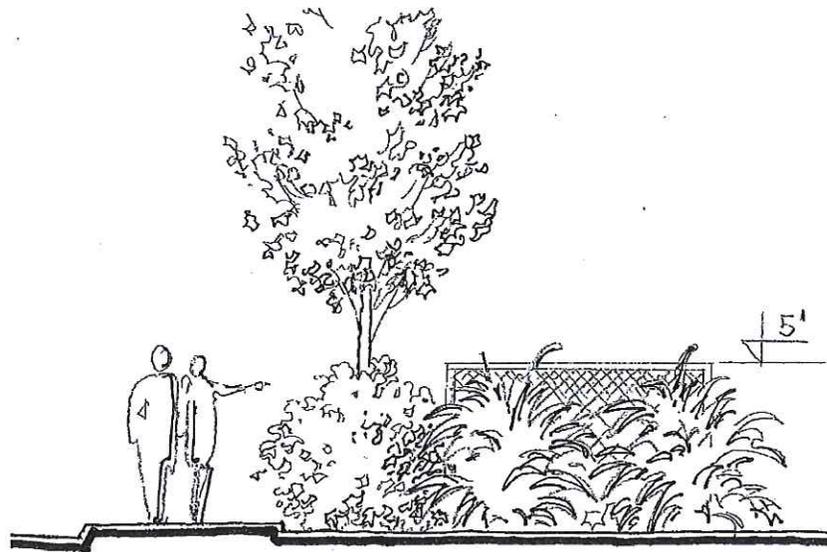
Parking Screen - Figure 5

- (2) Where sufficient room exists, small to medium size trees shall be planted twenty feet on center.
- (3) The screen shall be placed so as to obscure the view of the parking area from the public right of way.
- (c) Service / trash collection areas abutting the public right-of-way
- (1) Shall be screened by a wall or fence five feet in height within a planting strip.



Service Screening with Landscape and Wall - Figure 6

- (2) Where sufficient room exists, small to medium size trees shall be planted twenty feet on center.



Service Screening with Landscape and Fence - Figure 7

- (3) Gates providing access to these areas shall be constructed of 100% opaque solid materials.

(d) Screen Materials

- (1) The height of any wall, fence, or hedge shall not interfere with safe lines of sight as determined by the City of Camas decision maker.
- (2) Barbed wire, razor wire, chain link, and vinyl fencing are prohibited.
- (3) Fences and walls shall be constructed of enduring materials such as wood, masonry, and concrete.
- (4) Walls and fences shall be 100% opaque.
- (5) Wall or fence screens shall provide visual interest through the use of varied building materials, textures, reliefs, architectural details, etc.
- (6) To avoid a solid or blank appearance, 20% of the face of walls and fences shall utilize varying materials, colors, and other textures.
- (7) Screening that utilizes plant materials shall incorporate plant materials capable of reaching 100% solid evergreen screen within three years of planting.

## 6. Pedestrian and Parking Lot Surfaces

### (a) Pedestrian Surfaces

- (1) Pedestrian surfaces *outside* of the right-of-way (private property) shall be constructed of an all weather continuous surface such as asphalt, concrete, colored concrete, pavers, etc. Granular materials such as gravel may be approved by the City of Camas decision maker.
- (2) Pedestrian surfaces within the public right-of-way shall be concrete per the City of Camas standard sidewalk, unless otherwise reviewed by the Design Review Committee and approved by the City of Camas decision maker.

### (b) Parking Lot Surfaces

- (1) Parking lot surfaces shall be constructed of an all weather continuous surface (e.g. asphalt, concrete, permeable paving, bricks, interlocking pavers). Gravel and dirt surfaces are not permitted.

### (c) ADA Accessibility

- (1) Notwithstanding any section of the design standards, applicable provisions of the American with Disabilities Act (ADA) shall at all times be implemented within the area. ADA design standards shall be subject to review and approval by the Building Official and City of Camas decision maker.

## E. Architectural Standards

### 1. Site Planning

- (a) New construction shall orient the main public entrance toward the public right of way.
- (b) Parking areas shall be located to the rear or side of the structure. Parking shall not occupy more than 10% of the project **frontage** along the public right of way. Corner lots may be allowed additional **frontage** parking (on the **minor side street**) with additional screening per review by the Design Review Committee and approval by the City of Camas decision maker. Where possible parking areas shall be accessed from an alley, buildings should be located to provide a continuous colonnade along the public right of way. Parking requirements can be found within Title 18 CMC.



- (c) Feature areas should be incorporated to provide outdoor use areas such as sidewalk dining, sidewalk merchandising, courtyards, nooks, balconies, alcoves or terraces.
- (d) Sufficient space shall be provided for refuse storage (and required screening) outside of the public right-of-way.
- (e) The intent of these standards is not to move existing buildings.
- (f) Downspouts shall not direct water across sidewalks.

## 2. Signage

- (a) Signage shall be per the City of Camas Sign Ordinance.

## 3. Building Façade

- (a) Building elevations visible from the public right of way should be designed to provide architectural interest and individual character.



Example of rain protection

- (b) **Glazing** fronting the street shall be utilized on a minimum of 40%, to a maximum of 80% of the ground floor elevation abutting the public right of way. Components of Energy Smart Design should be considered where **glazing** is utilized.
- (c) **Rain protection** attached to buildings shall be provided along the public right of way consisting of a five foot width minimum cover along 90% of the building facade. The building may not cantilever into the public right-of-way to achieve **rain protection**. **Rain protection** may take the form of a canopy projection, recessed entry, overhead balcony, or combination there of.

- (d) Architectural detailing should be utilized to provide visual interest and individual character. Elevations abutting the public right or way should incorporate a high degree of architectural detailing including but not limited to the use of relief panels, **cornice** work, window trim, balconies, overlooks, nooks, alcoves, shade panels, **rain protection**, finish textures, multiple color pallets, and staggered wall sections. Detailing shall be compatible with the existing and surrounding downtown area.



Example of detailing

- (e) Building Materials shall be selected for their enduring qualities. Recycled or renewable materials should be utilized where practical. Preferred materials include natural stone, masonry, wood, architectural grade metal, architectural grade composite materials, concrete, precast concrete products, and stucco.
- (f) Materials specifically prohibited include vinyl siding and exposed plywood products. This shall not be interpreted to preclude laminated doors or the use of plywood in soffits. Materials shall be compatible with the existing and surrounding downtown area.
- (g) Roof mounted equipment shall be screened from view from the street by providing a **parapet** or cornice at least equal in height to the equipment, and by painting the equipment to match the roof. For flat roofs the **parapet** shall surround the perimeter of the building. Screening shall be compatible with rooflines and materials so that the roof lines are harmonious.
- (h) Building colors shall be chosen to be compatible with neighboring structures, and natural or earth-tone colors shall predominate.



## Appendix A – Definitions

- Accent lighting: controlled and focused light used to accent exterior elements or architectural details.
- Canopy trees: a species of tree which normally bears crown foliage no lower than eight feet above ground level upon maturity.
- Change in Use: change in the activity or purpose for which land or premises, or a building thereon is designed, arranged, or intended, or for which it is occupied or maintained, rented or leased as determined by the City of Camas Community Development Director.
- Cornice: any prominent, continuous, horizontally projecting feature surmounting a wall or other construction.
- Covenant: an agreement, usually formal, between two or more persons to do or not do something specified.
- Deciduous: trees that drop all or most of their leaves in winter.
- Drinking fountain: a public structure to provide drinking water.
- Enhanced paving: any permeable or impermeable decorative pavement material intended for pedestrian or vehicular use. Examples of enhanced pavement include brick or stone pavers, grass paver, exposed aggregate concrete, and stamped pavement.
- Evergreen: trees that keep all or most of their leaves or needles year-round.
- Fragrance: the state or quality of having a pleasant odor.
- Frontage: that portion of a parcel of property which abuts a dedicated public street or highway, or private road or driveway approved by the City of Camas decision maker.
- Glazing: windows or transparent material on a building façade.
- Groundcover: natural plants of species which normally reach a height of less than two feet upon maturity, installed in such a manner so as to form a continuous cover over the ground.
- Hardscape: Elements added to a natural landscape, such as paving stones, paving, walkways, irrigation systems, roads, retaining walls, sculpture, street amenities, fountains, and other mechanical features.
- Landscaping located on private property: landscape materials located and/or installed by the property owner.
- Minor side street: Local streets providing direct access to abutting land and access to the higher level arterials. They offer the lowest level of mobility and usually contain no bus routes. Service to through traffic movement usually is deliberately discouraged.
- Parapet: a low screen wall at the edge of a balcony or roof.
- Path of travel: a continuous, unobstructed way of pedestrian passage by means of which an area may be approached, entered, and exited, and which connects the area to an entrance to a facility or other nearby areas.
- Public art: works of art in any media that has been planned and executed with the specific intention of being sited or staged in the public domain, outdoors and

accessible to all. Examples of public art could be water features, ornamental street furniture, statues, historic wall plaques, and murals.

- Rain protection: device or architectural detail designed to provide relief from inclement weather
- Seasonal color: the use of blooming annuals, flowering perennials, and tree/shrubs, and foliage color to accent landscape design with an ever-changing display of color.
- Scored concrete: A concrete sidewalk that is etched in a pattern (typically 30” square).
- Shrubs (bushes): woody plants of relatively low height, having several stems arising from the base, and lacking a single trunk.
- Site furnishings: man-made articles (such as benches and trash receptacles) that are needed in public spaces to service the needs of the public, or that assist in the safe and orderly management and use of the space.
- Specimen plants: Specimen plants are plants grown by themselves in a lawn or garden for ornamental effect, rather than being massed with others as are bedding plants or edging plants. Specimen plants can thus serve as focal points in landscape design. An example of a specimen plant is a flowering tree that has a prominent spot reserved for it on a lawn.
- Street tree: Any tree planted or maintained within the public easement. All new replacements will be selected from Appendix “C” or the Camas Design Standard Manual.
- Tree grate: coverings for tree wells designed to provide visual accent, ADA walkable surfaces, and space for water and air infiltration. See appendix D.
- Understory trees: small tree such as dogwood and holly, which rarely grow tall, and grow in the shade of a larger tree’s canopy.
- Water feature: a landscape focal point with either still or moving water; may include fountains, waterspouts, waterfalls, formal or informal ponds, bogs, or container water gardens.

## Appendix B – Required Elements Matrix

Design Feature	Required Elements	Encouraged Elements
Landscape	Street trees @ 30' o.c. minimum	Seasonal color
	Multiple layers of plantings	Fragrance
	Canopy trees	Fall color
	Understory trees	Specimen plants
	Shrubs	
	Groundcover	
	Individual character	
	Maintenance plan covenant	
	Irrigation	
Hardscape	ADA Accessible tree grates <sup>1</sup>	Benches
	Street lighting <sup>2</sup>	Trash receptacle
	Public art (1% of construction cost)	Bike racks
		Drinking fountains
		Water Feature
Screening (parking lots)	3' wall or fence in landscape strip	
	Visual interest – no blank walls	
	Medium size trees 20' o.c. minimum <sup>3</sup>	
Screening (service / trash collection areas)	5' wall or fence in landscape strip	
	Visual interest – no blank walls	
	Medium size trees 20' o.c. minimum <sup>4</sup>	
	100% solid opaque gates	
Private Pedestrian & Parking Surfaces	All weather concrete or asphalt	Pavers, Colored Concrete
	ADA accessibility	
	Minimum 4' pedestrian path of travel	
Pedestrian Surfaces w/in Public Right-of- Way	ADA accessibility	Meandering sidewalks with special concrete scoring patterns
	Decorative sidewalk (e.g. <u>scored</u> <u>concrete</u> , colored concrete, pavers, etc.)	
	Minimum <del>6'</del> 4' (48") pedestrian path of travel	
Architectural / Site Planning	10 % maximum parking abutting the project frontage along the public way <sup>5</sup>	Parking accessed from alley
	Main entrance oriented towards public way	Building located to form continuous colonnade along

Item 1.

		frontage
<b>Design Feature</b>	<b>Required Elements</b>	<b>Encouraged Elements</b>
Architectural / Site Planning continued	40% minimum to a maximum of 80% glazing of the ground floor elevation abutting the public way	Feature areas such as courtyards, sidewalk merchandising, etc.
	5' wide rain protection attached to building along 90% of frontage <sup>6</sup>	Retail or restaurants on street level.
	Roof mounted equipment screening via parapet or cornice	Office and residential units on upper floors.
	Architectural detailing compatible with the existing downtown area	
	Architectural materials compatible with the existing downtown area	
	Natural – Compatible Colors	Energy Smart design

<sup>1</sup> Limited Exceptions (D.3.i).

<sup>2</sup> Dependent on approved light spacing (D.4.b.2).

<sup>3</sup> Where sufficient room exist (D.5.b.2).

<sup>4</sup> Where sufficient room exist (D.5.c.2).

<sup>5</sup> Corner lots may be allowed additional frontage parking (on the minor side street) with additional screening per review and approval (E.1.b).

<sup>6</sup> The building may not cantilever into the public right-of-way to achieve rain protection (E.3.c).

## Appendix C – Street Trees

This short list of trees is commonly found within the downtown commercial core of the city. An expanded list of approved street trees is located within the *Camas Design Standard Manual* (<http://www.ci.camasa.wa.us/pworks/engforms.htm>).

### Minimum 4' Planting Strip Width

Common Name:	Scientific Name:	Cultivar:	Height (in FT)	Width (in FT)
Raywood Ash	<i>Fraxinus oxycarpa</i>	Raywood	40	28
Leprechaun Ash	<i>Fraxinus pennsylvanica</i>	Johnson	18	16
Capital Pear	<i>Pyrus calleryana</i>	Capital	35	12
Chanticleer Pear	<i>Pyrus calleryana</i>	Chanticleer	40	15
Redspire Pear	<i>Pyrus calleryana</i>	Redspire	35	25

### Minimum 6' Planting Strip Width

(\*Refer to 4' tree list for additional trees for use under power lines)

Common Name:	Scientific Name:	Cultivar:	Height (in FT)	Width (in FT)
Columnar Norway Maple	<i>Acer platanoides</i>	Columnar	35	15
European Hornbeam	<i>Carpinus betulus</i>	Fastigiata	35	25
Marshall Ash	<i>Fraxinus pennsylvanica</i>	Marshall	50	40
Summit Ash	<i>Fraxinus pennsylvanica</i>	Summit	45	25
Aristocrat Pear	<i>Pyrus calleryana</i>	Aristocrat	40	28
Greenspire Linden	<i>Tilia cordata</i>	Greenspire	40	30
Sterling Silver Linden	<i>Tilia tomentosa</i>	Sterling	45	35
Wireless Zelkova	<i>Zelkova serrata</i>	Schmidtlow	25	35
Village Green Zelkova	<i>Zelkova serrata</i>	Village Green	40	38

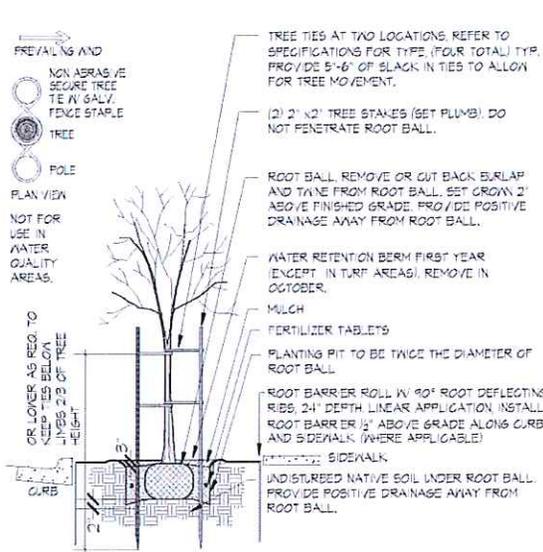
### Minimum 8' Planting Strip Width

(\*Refer to 4' tree list for additional trees for use under power lines)

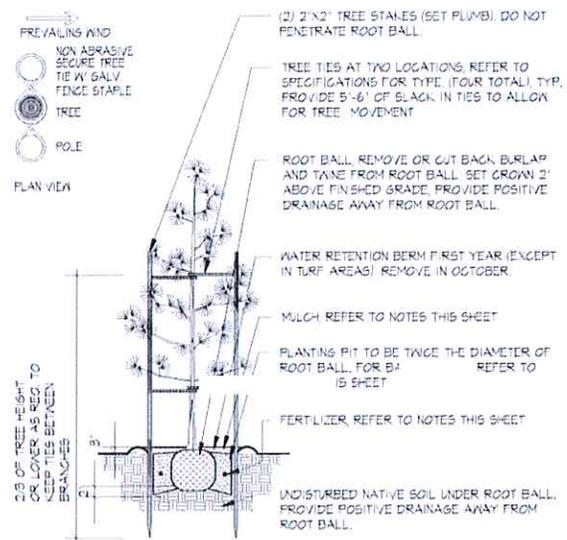
Common Name:	Scientific Name:	Cultivar:	Height (in FT)	Width (in FT)
Crimson King Maple	<i>Acer platanoides</i>	Crimson King	40	35
Emerald Queen Maple	<i>Acer platanoides</i>	Emerald Queen	50	40
Summershade Maple	<i>Acer platanoides</i>	Summershade	42	40
Green Vase Zelkova	<i>Zelkova serrata</i>	Green Vase	50	40

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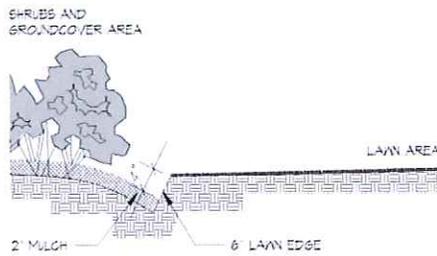
### Appendix D – Planting & Irrigation Details



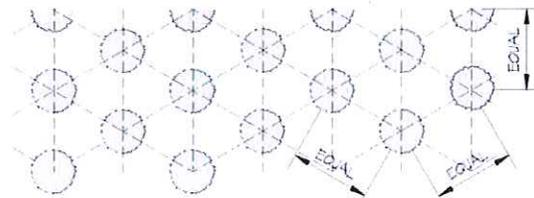
**A B & B Tree Planting Detail**  
Not To Scale SECTION / PLAN VIEW



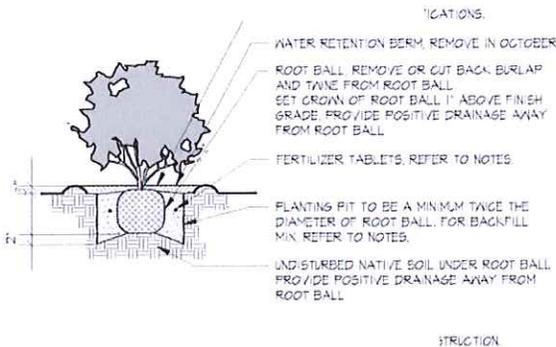
**B B & B Tree Planting Detail: Evergreen under 8' Height**  
Not To Scale SECTION / PLAN VIEW



**C Lawn Edge Detail**  
Not To Scale SECTION



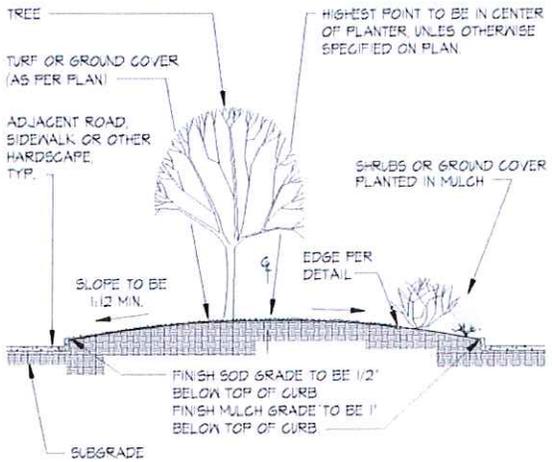
**D Ground Cover Planting Detail**  
Not To Scale PLAN VIEW



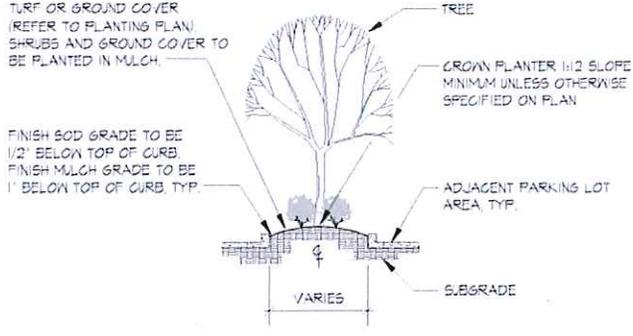
**E B & B Shrub Planting Detail**  
Not To Scale SECTION

All details shown are for reference only and are intended to be used as a general guide. Specific projects will require details specific to that project.

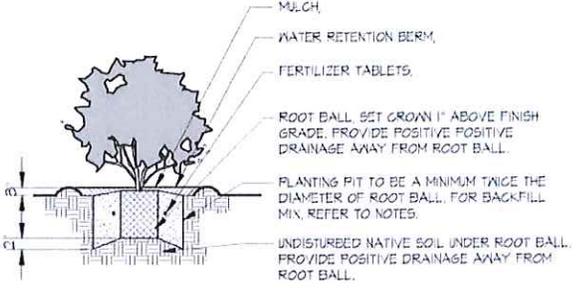
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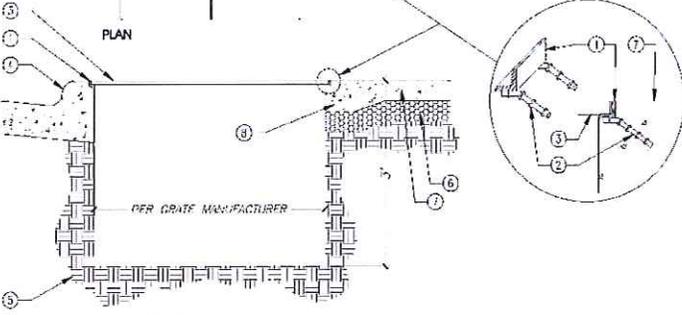
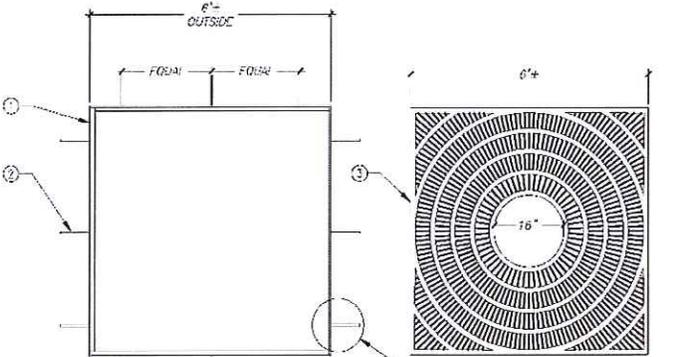
**F Typical Curbed Planter Area**  
Not To Scale SECTION A-A



**G Typical Parking Finger Planter Area**  
Not To Scale SECTION B-B

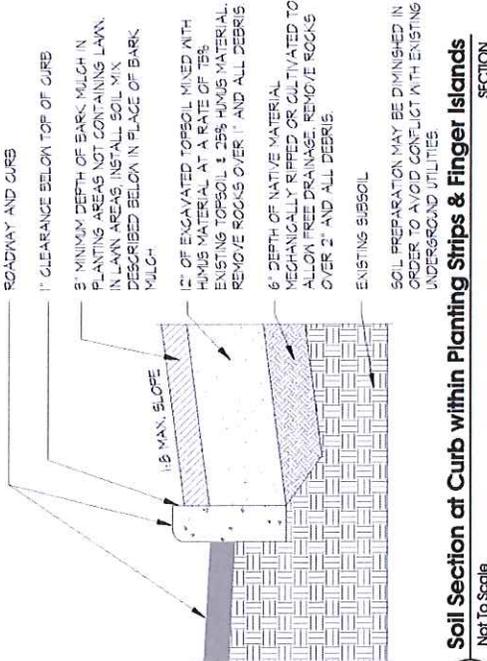


**H Container Ground Cover Planting Detail**  
Not To Scale SECTION



- NOTES:
- ① 1" x 1" x 1/4" L STEEL FRAME
  - ② #3 REBAR, WELD TO FRAME
  - ③ 3/4" THICK TREE GRATE, CAST IN 2 PIECES, NO OPENINGS GREATER THAN 3/8", 16" DIA. CENTER OPENING
  - ④ CURB AND GUTTER, REFER TO CIVIL PLANS
  - ⑤ COMPACTED SUBGRADE, REFER TO CIVIL PLANS FOR 3% COMPACTION
  - ⑥ LAYER OF 3/4" MINUS GRAVEL, REFER TO CIVIL PLANS
  - ⑦ 4" CONCRETE SIDEWALK, SEE ENGINEERING DRAWINGS
  - ⑧ THICKENED EDGE (6"x6")
- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.

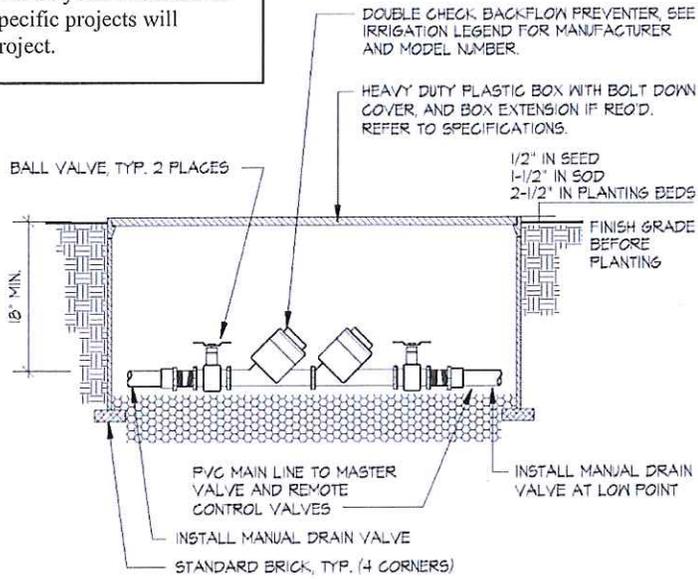
**J Tree Well & Tree Grate Detail**  
Not To Scale SECTION / PLAN VIEW



**I Soil Section at Curb within Planting Strips & Finger Islands**  
Not To Scale SECTION

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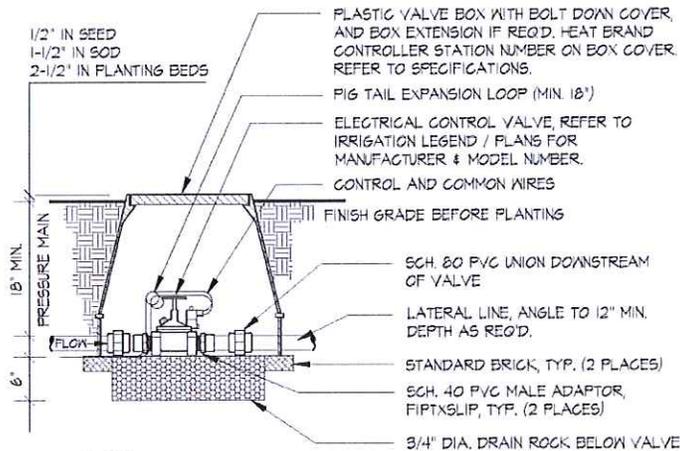
All details shown are for reference only and are intended to be used as a general guide. Specific projects will require details specific to that project.



NOTES:

1. EQUIPMENT TO BE INSTALLED A MINIMUM OF 24" FROM ANY STRUCTURE OR HARDSCAPING.
2. USE TEFLON TAPE ON ALL THREADED FITTINGS.

**A** Backflow Preventer Detail (2" & Smaller) SECTION  
Not To Scale DOUBLE CHECK

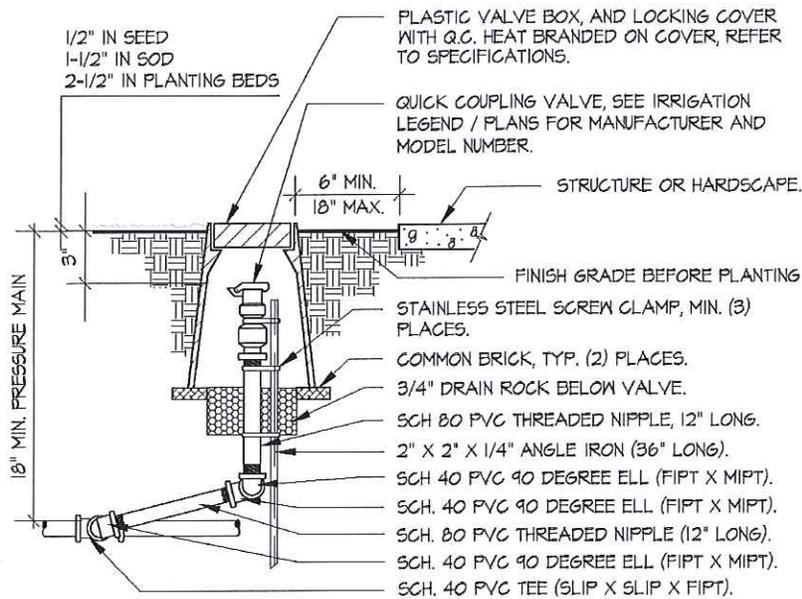


NOTES:

1. INSTALL VALVES A MINIMUM OF 12" FROM STRUCTURES OR HARDSCAPING.
2. INSTALL VALVES IN PLANTING BEDS WHEREVER POSSIBLE.
3. PLACE VALVE BOX AT RIGHT ANGLES TO STRUCTURES OR HARDSCAPING.
4. INSTALL VALVE BOX SO THAT TOP OF VALVE BOX IS FLUSH WITH ADJACENT HARDSCAPING.
5. PLACE 3/4" DIA. DRAIN ROCK PRIOR TO INSTALLATION OF VALVE BOX.
6. USE TEFLON TAPE ON ALL THREADED FITTINGS.

**B** Electric Control Valve Detail: 3" & Smaller SECTION  
Not To Scale

Item 1.



All details shown are for reference only and are intended to be used as a general guide. Specific projects will require details specific to that project.

NOTES:

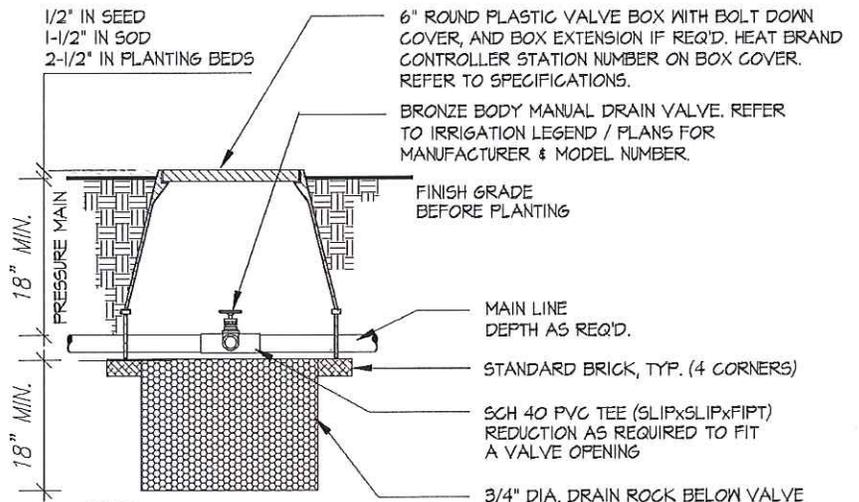
1. INSTALL QUICK COUPLING VALVES IN PLANTING BEDS WHEREVER POSSIBLE.
2. INSTALL VALVE BOX SO THAT TOP OF VALVE BOX IS FLUSH WITH ADJACENT HARDSCAPING.
3. PLACE 3/4" DIA. DRAIN ROCK PRIOR TO INSTALLATION OF VALVE BOX.
4. SIZE OF ASSEMBLY TO BE EQUAL TO THE FIPT OF THE QUICK COUPLER.

SPECIFICATIONS ARE INCLUDED WITHIN PLAN SHEETS, LANDSCAPE NOTES AND SPECIFICATIONS. REFER TO ALL PRIOR TO BIDDING AND CONSTRUCTION.

**C Quick Coupling Valve Detail (Within Valve Box)**

Not To Scale

SECTION



NOTES:

1. PLACE VALVE BOX AT RIGHT ANGLES TO STRUCTURES OR HARDSCAPING.
2. INSTALL VALVE BOX SO THAT TOP OF VALVE BOX IS FLUSH WITH ADJACENT HARDSCAPING.
3. PLACE 3/4" DIA. DRAIN ROCK PRIOR TO INSTALLATION OF VALVE BOX.

SPECIFICATIONS ARE INCLUDED WITHIN PLAN SHEETS, LANDSCAPE NOTES AND SPECIFICATIONS. REFER TO ALL PRIOR TO BIDDING AND CONSTRUCTION.

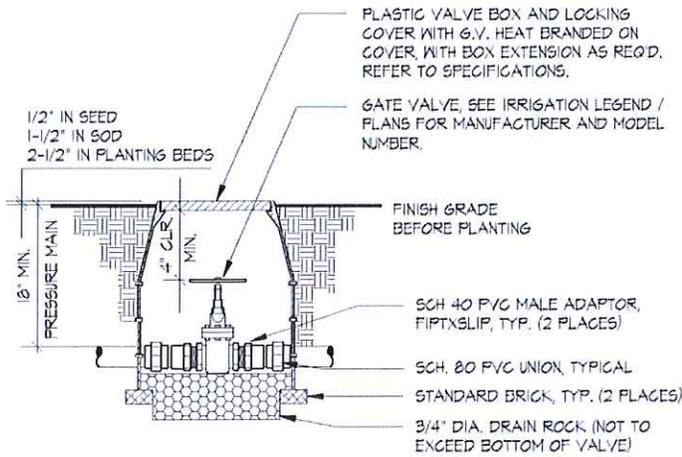
**# Manual Drain Valve**

Not To Scale

SECTION

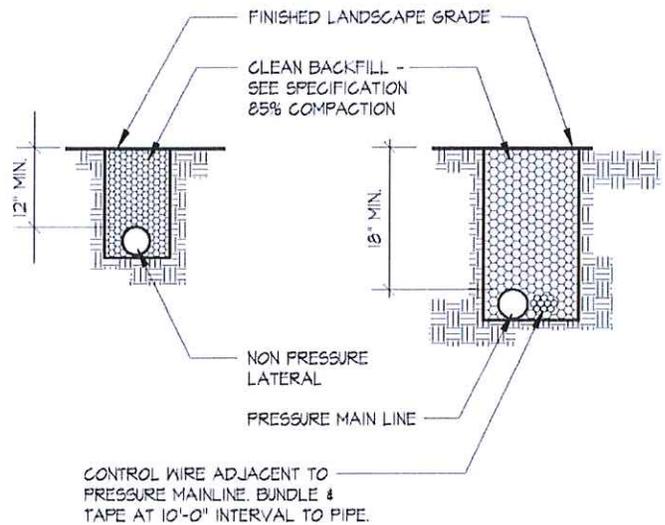
Item 1.

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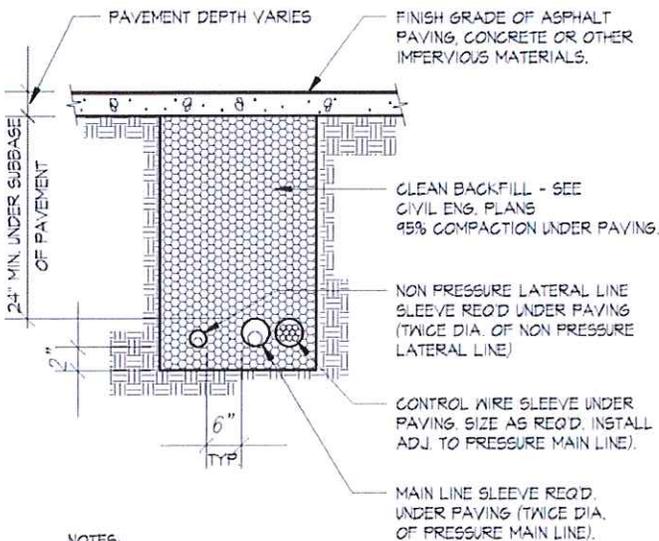
NOTES:

1. INSTALL GATE VALVES A MINIMUM OF 12" FROM STRUCTURES OR HARDSCAPING.
2. INSTALL GATE VALVES IN PLANTING BEDS WHEREVER POSSIBLE.
3. INSTALL VALVE BOX SO THAT TOP OF VALVE BOX IS FLUSH WITH ADJACENT HARDSCAPING.
4. USE TEFLON TAPE ON ALL THREADED FITTINGS.
5. PLACE 3/4" DIA. DRAIN ROCK PRIOR TO INSTALLATION OF VALVE BOX.



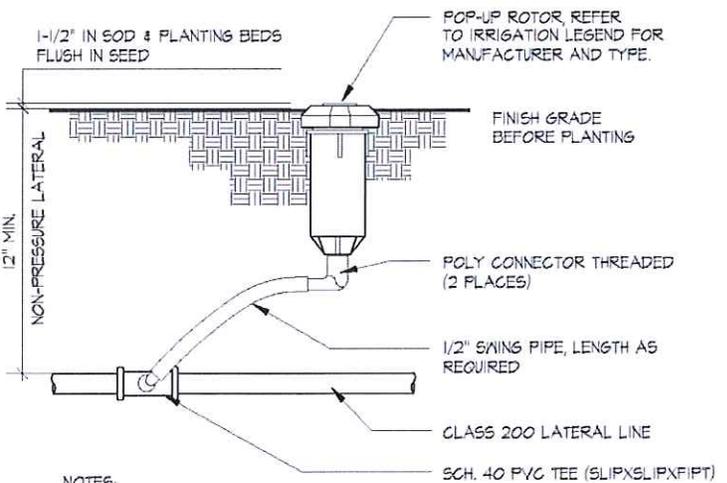
**G Pipe Trenching Detail (w/in Landscape Areas)**  
Not To Scale SECTION

**E Gate Valve Detail: Threaded Ends (3" & Smaller)**  
Not To Scale SECTION



NOTES:

1. ALL SLEEVES TO BE SCH. 40 P.V.C.
2. EXTEND ALL SLEEVES 12" BEYOND EDGE OF HARDSCAPING AT BOTH ENDS, CAP ENDS AND FLAG LOCATIONS.



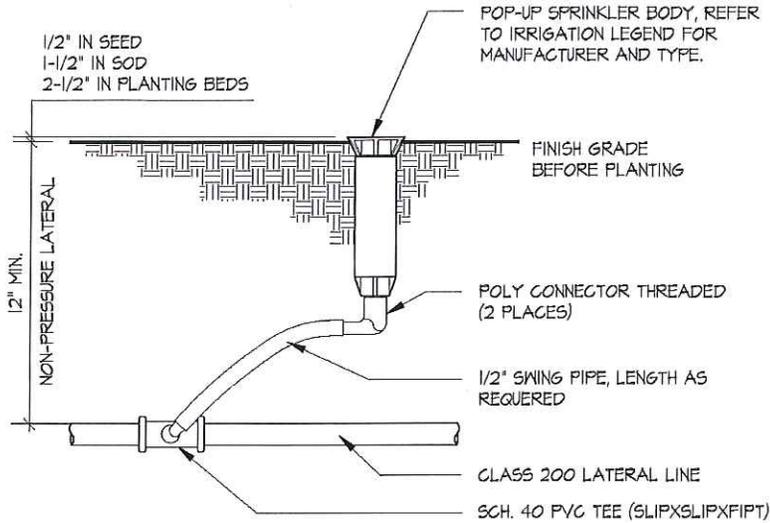
NOTES:

1. LOCATE HEAD 2" FROM WALKS, CURBS, HARDSCAPING, MOW STRIPS, HEADER BOARDS, AND THE EDGE OF LAWN AREAS.
2. LOCATE HEAD 12" FROM STRUCTURES.

**# Pipe Trenching Under Pavement Detail**  
Not To Scale SECTION

**H Pop-Up Rotor Detail**  
Not To Scale SECTION

Item 1.

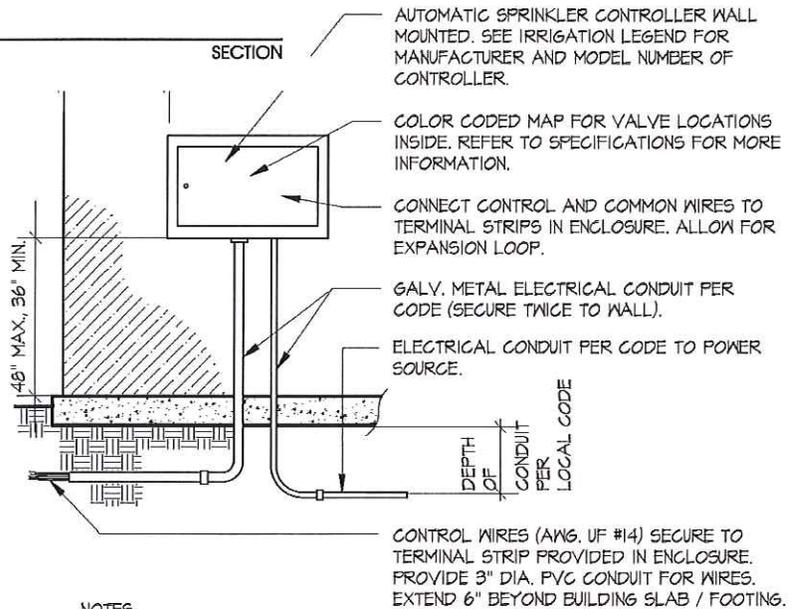


All details shown are for reference only and are intended to be used as a general guide. Specific projects will require details specific to that

NOTES:

1. LOCATE HEAD 2" FROM WALKS, CURBS, HARDSCAPING, MOW STRIPS, HEADER BOARDS, AND THE EDGES OF LAWN AREAS.
2. LOCATE STREAM SPRAY / BUBBLERS 6" FROM ALL STRUCTURES, AND SPRAY HEADS 12" FROM ALL STRUCTURES, BUT 6" FROM ALL STRUCTURES IN GROUND COVER AREAS.

**Pop-Up Spray Detail**  
Not To Scale



NOTES:

1. COMMON WIRE TO BE WHITE AND CONTROL WIRE TO BE RED IN COLOR. BUNDLE AND TAPE WIRING AT INTERVALS OF 10' O.C.
2. NO SPLICES TO BE MADE BETWEEN CONTROLLER AND REMOTE VALVE UNDER 500 LINEAR FEET.
3. PAINT CONTROLLER AND CONDUIT SUPPLY LINE TO MATCH BUILDING EXTERIOR COLOR.

**Automatic Controller Detail (Wall Mounted)**  
Not To Scale

## Appendix E – Outdoor Seating Associated with a Food or Beverage Business

The City of Camas may allow outdoor seating associated with a food or beverage business subject to the following standards.

1. Submittal of an Encroachment Permit application to include a drawing of the table layout, circulation, barriers and spacing dimensions. The drawing shall include sidewalk width, table widths, barrier separation from inside the curblines, and distance from tree wells or other barriers.
2. Minimum Standards:
  - a. 48 inch cleared pedestrian sidewalk not including curb.
  - b. Encroachment not to extend beyond building limits or lease/owned space.
  - c. Barriers for areas serving alcohol shall meet standards and be a minimum of 42 inches in height with no opening greater than 10 feet along any wall.
  - d. City may allow a variation to the 48 inch standards for a distance of up to 10 feet dependent upon site constraints.
3. The City will require an insurance accord form with the City of Camas named as an additionally insured.



Community Development Department  
616 NE Fourth Avenue Camas, WA 98607

SPRV25-1003 CAMAS-WASHOUGAL FIRE STATION 41

The purpose of this sheet is to provide a simplified and expedited review of the design review principles and guidelines using objective review standards. The standards are intended as tool for the decision-maker in making findings that the proposal either achieves compliance with the intent of the principles or reasonably mitigates any conflict. When reviewing the check sheet, the proposal should as a whole “comply” with the standards and thus be generally consistent with the overriding principles. [Yes = In Compliance; No = Not In Compliance; NA = Not Applicable]

**Standard Principles and Guidelines**

<b>ARCHITECTURE</b>				
<b>Yes</b>	<b>No</b>	<b>NA</b>	<b>Principles and Guidelines</b>	<b>Comments</b>
			Corrugated materials, standing seam, T-1 11, or similar siding materials are avoided unless it produces a high visual (or aesthetic) quality.	
			Buildings, walls or fences visible from roadways are articulated in order to avoid a blank look.	
			The use of bold colors has been avoided unless used as minor accents.	
			Higher density/larger structures abutting lower density residential structures have been designed to mitigate size and scale differences.	
<b>LANDSCAPING AND SCREENING</b>				
<b>Yes</b>	<b>No</b>	<b>NA</b>	<b>Principles and Guidelines</b>	<b>Comments</b>
			Vegetation for landscaping includes native, low maintenance plantings. Significant trees are retained if feasible.	
			Trees planted along streetscapes with overhead power lines include only those trees identified on the City’s Tree list.	
			Landscaping, including trees, shrubs, and vegetative groundcover, is provided to visually screen and buffer the use from adjoining less intense uses including parking.	
			Proposed fencing is incorporated into the landscaping so as to have little or no visual impact.	
			Signs located on buildings or incorporated into the landscaping are unobtrusive and vandal resistant. If illuminated they are front lit.	
			Landscape lighting - low voltage, non-glare, indirect lighting is directed, hooded or shielded away from neighboring properties.	

## DESIGN REVIEW CHECKLIST

Item 1.

			Street lighting (poles, lamps) is substantially similar or architecturally more significant than other street lighting existing on the same street and do not conflict with any City approved street lighting plans for the street.	
			Parking and building lighting is directed away from surrounding properties through the use of hooding, shielding, siting and/or landscaping.	
			Outdoor furniture samples are consistent with the overall project design.	
			Existing trees over 6" dbh that are not required to be removed to accommodate the proposed development are retained and incorporated into the landscape plan.	
			Rock outcroppings, forested areas and water bodies are retained.	
<b>HISTORIC AND HERITAGE PRESERVATION</b>				
<b>Yes</b>	<b>No</b>	<b>NA</b>	<b>Principles and Guidelines</b>	<b>Comments</b>
			The use of Historic Markers, information kiosks, project names, architectural features, or other elements of the project promote the historic heritage of the site or surrounding area.	

### Specific Principles and Guidelines

COMMERCIAL & MIXED USES				
<b>ARCHITECTURE</b>				
<b>Yes</b>	<b>No</b>	<b>NA</b>	<b>Principles and Guidelines</b>	<b>Comments</b>
			Office and retail buildings provide a minimum solid to void ratio of 60%/40%	
			The development is built with a residential feel (i.e. size, scale, and materials compatible with neighboring buildings) if surrounded by residential areas or adjacent to residentially zoned properties.	
			Buildings over two stories have the third story and above offset from the first two stories, if surrounding developments are less than three stories or land use designations on adjacent zones do not allow more than three story development.	
<b>LANDSCAPING &amp; SCREENING</b>				
<b>Yes</b>	<b>No</b>	<b>NA</b>	<b>Principles and Guidelines</b>	<b>Comments</b>
			Intersections are illuminated, but not dominated by lighting. Lighting is incorporated into the landscape and illuminates the quality of the natural environment. Street light poles and lamps are compatible with other nearby lighting on the same street.	
			Parking spaces are clustered in small groupings and separated by landscaping to create a pedestrian friendly, park like environment.	

## DESIGN REVIEW CHECKLIST

Item 1.

<b>STREETSCAPE</b>				
Yes	No	NA	<b>Principles and Guidelines</b>	<b>Comments</b>
			On-site parking areas are located to the interior of the development unless site development proved prohibitive. Otherwise, parking areas are screened with landscaping.	
			Buildings are placed close to streets and roads unless site constraints made it impossible, or characteristics of the surrounding properties already developed made it incompatible. Otherwise, retail frontage setbacks do not exceed 25 feet from back of curb.	
			Window and door placement provides a high degree of transparency at the lower levels of the building and maximize visibility of pedestrian active uses.	
			Each use/activity in a development containing multiple uses/activities is integrated in a manner that achieves a seamless appearance or creates a cohesive development.	
			Watering system will maintain proposed landscaping for a period to ensure that plants are well established.	
			New streets intersecting commercial properties are designed to create a safe environment. "Coving" techniques and "round-a-bouts" were considered for traffic calming when appropriate.	

### Downtown Design Review – Appendix B

<b>Compliance Y/N</b>			<b>Required Elements</b>	<b>Encouraged Elements</b>	<b>Comments</b>
Yes	No	N/A	<b>Landscape</b>		
			Street trees @ 30' o.c. minimum	Seasonal color	
			Multiple layers of plantings	Fragrance	
			Canopy trees	Fall color	
			Understory trees	Specimen plants	
			Shrubs		
			Groundcover		
			Individual character		
			Maintenance plan covenant		
			Irrigation		
Yes	No	N/A	<b>Hardscape</b>		
			ADA Accessible tree grates <sup>1</sup>	Benches	
			Street lighting <sup>2</sup>	Trash receptacle	
			Public art (1% of construction cost)	Bike racks	
				Drinking fountains	

## DESIGN REVIEW CHECKLIST

Item 1.

				Water Feature
Yes	No	N/A	<b>Screening (parking lots)</b>	
			3' wall or fence in landscape strip	
			Visual interest – no blank walls	
			Medium size trees 20' o.c. minimum <sup>3</sup>	
Yes	No	N/A	<b>Screening (service / trash collection areas)</b>	
			5' wall or fence in landscape strip	
			Visual interest – no blank walls	
			Medium size trees 20' o.c. minimum <sup>4</sup>	
			100% solid opaque gates	
Yes	No	N/A	<b>Private Pedestrian &amp; Parking Surfaces</b>	
			All weather concrete or asphalt	Pavers, Colored Concrete
			ADA accessibility	
			Minimum 4' pedestrian path of travel	
Yes	No	N/A	<b>Pedestrian Surfaces w/in Public Right-of-Way</b>	
			ADA accessibility	Meandering sidewalks with special concrete scoring patterns
			Decorative sidewalk (e.g. scored concrete, colored concrete, pavers, etc.)	
			Minimum 6' pedestrian path of travel	
Yes	No	N/A	<b>Architectural / Site Planning</b>	
			10 % maximum parking abutting the project frontage along the public way <sup>5</sup>	Parking accessed from alley
			Main entrance oriented towards public way	Building located to form continuous colonnade along frontage
			40% minimum to a maximum of 80% glazing of the ground floor elevation abutting the public way	Feature areas such as courtyards, sidewalk merchandising, etc.
			5' wide rain protection attached to building along 90% of frontage <sup>6</sup>	Retail or restaurants on street level.
			Roof mounted equipment screening via parapet or cornice	Office and residential units on upper floors.
			Architectural detailing compatible with the existing downtown area	
			Architectural materials compatible with the existing downtown area	
			Natural – Compatible Colors	Energy Smart design



October 9, 2025

Design Review Committee  
 City of Camas  
 616 NE 4<sup>th</sup> Ave  
 Camas, WA 98607

RE: Camas Washougal Fire Department New Station 41

To Whom It May Concern,

I am writing to summarize design choices made for the Camas Washougal Fire Department (CWFD) Station 41 project as they relate to the Downtown Design Guidelines. The CWFD Station 41 will be located at 528 NE 4<sup>th</sup> Ave and is bordered by NE 4<sup>th</sup> Ave, NE Everett St and NE 3<sup>rd</sup> Ave. See attached Site Plan A101.

The north building elevation abuts the public right of way along 4<sup>th</sup> Ave for 143-feet and then steps back in sections running east toward NE Everett St. Glazing along the public right of way complies with the 40% requirement. The remainder of the building stepping back from the public right of way transitions to a landscaped public plaza, screening private living spaces for the fire department. The 40% glazing requirements is not provided along this section of the facade as it is set back from the right of way, isolated by landscaping and glazing would allow unwanted viewing into private fire department living spaces. See attached North Elevation Glazing sketch 001.

Rain protection along 4<sup>th</sup> Ave is provided along 143-feet of the building elevation where office spaces and the building entry abut the public right-of-way. Protection equates to 80% of the elevation along this stretch of building. The design team elected to reduce the amount of protection from 90% for aesthetics and privacy. Reducing the amount of protection creates a more dynamic façade and reduces disruption caused by pedestrians who may linger to watch interior operations. The remainder of the facade does not have rain protection as it is landscaped, steps back from the right-of-way and separates from the pedestrian pathway. See attached North Elevation Canopy sketch 002.

NE Everett St. on the east facade of the building will be vacated and closed as a public road. A pedestrian pathway connecting 3<sup>rd</sup> Ave with 4<sup>th</sup> Ave and running along the new property line separating the two parcels will be provided in its place. Downtown Development Standards are not required for building facades abutting private alleys or pathways.

**Battle Ground, WA** – 821 SE 14<sup>th</sup> Loop, Suite 109, P.O. Box 798, Battle Ground, WA 98604 (360) 687-8379

**Longview, WA** – 950 12<sup>th</sup> Avenue, Suite 200, Longview, WA 98632 (360) 425-0000

**Tacoma, WA** – 950 Broadway, Suite M100, Tacoma, WA 98402 (360) 687-8379

**Palmer, AK** - 247 South Alaska Street, P.O. Box 2732, Palmer, AK 99645 (907) 360-9696

Glazing along the south elevation is equal to 55% of the first floor and complies with Design Guidelines. See attached South Elevation Glazing sketch 003.

The south building façade is set back from the public right-of-way along NE 3<sup>rd</sup> Ave by a 65-foot deep drive apron. As a result, no canopies are required for rain protection along this façade because pedestrian traffic is not allowed on the drive apron near the building. However, canopies have been provided on this façade to create a more engaging and dynamic building elevation but have been limited to 80% of the building façade. See attached South Elevation Canopy sketch 004.

Sincerely,

A handwritten signature in blue ink, appearing to read "Terry Werdel", with a large, sweeping flourish underneath.

Terry Werdel, AIA

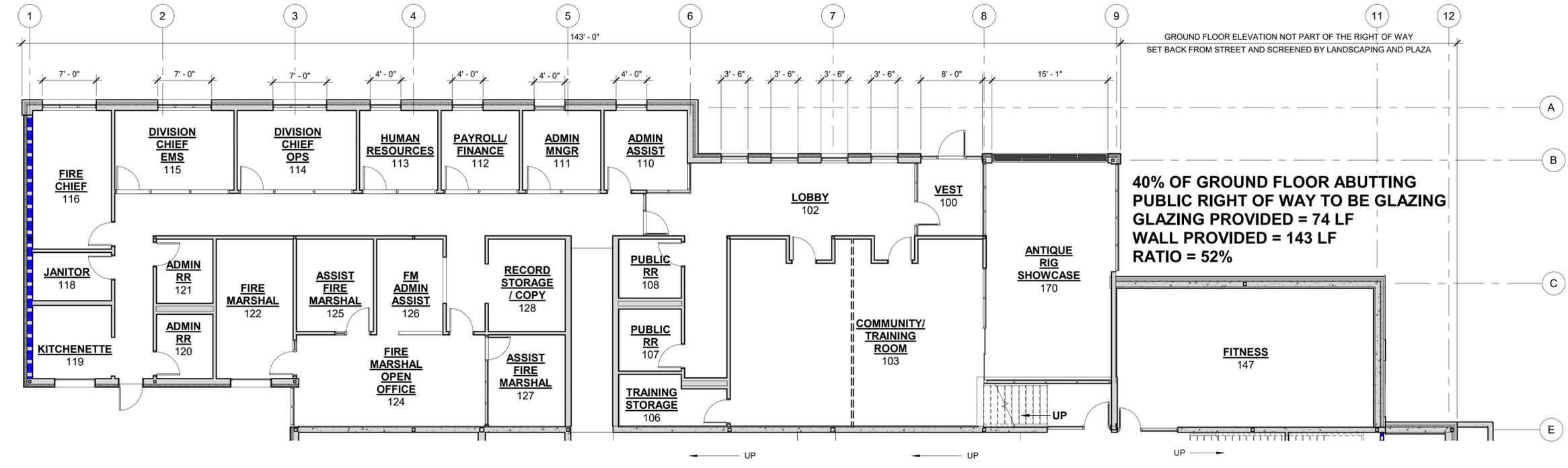
Associate Principal  
Aetta Architects, PC



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Battle Ground, WA 98604  
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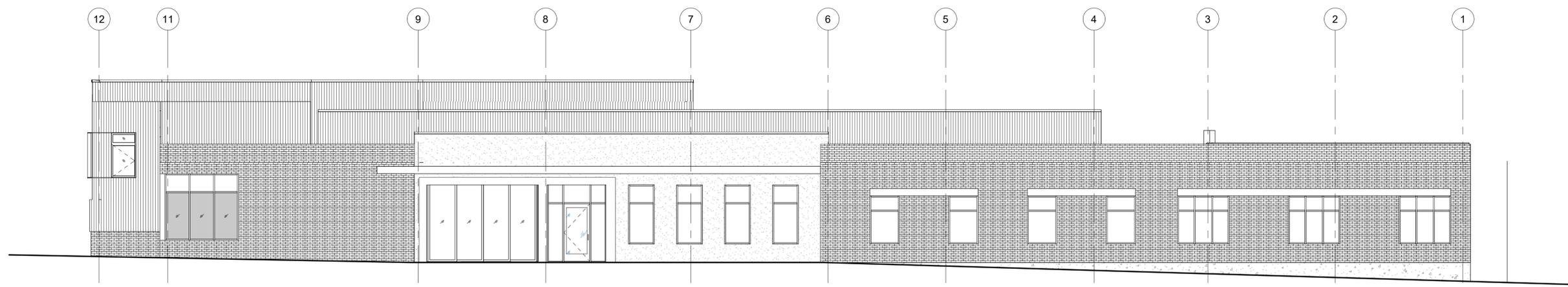
**CAMAS-WASHOUGAL FIRE DEPARTMENT HEADQUARTERS AND STATION #41**  
528 NE 4TH AVE., CAMAS WA 98607



GROUND FLOOR ELEVATION NOT PART OF THE RIGHT OF WAY  
SET BACK FROM STREET AND SCREENED BY LANDSCAPING AND PLAZA

40% OF GROUND FLOOR ABUTTING PUBLIC RIGHT OF WAY TO BE GLAZING  
GLAZING PROVIDED = 74 LF  
WALL PROVIDED = 143 LF  
RATIO = 52%

**1 FLOOR PLAN**  
1/8" = 1'-0"

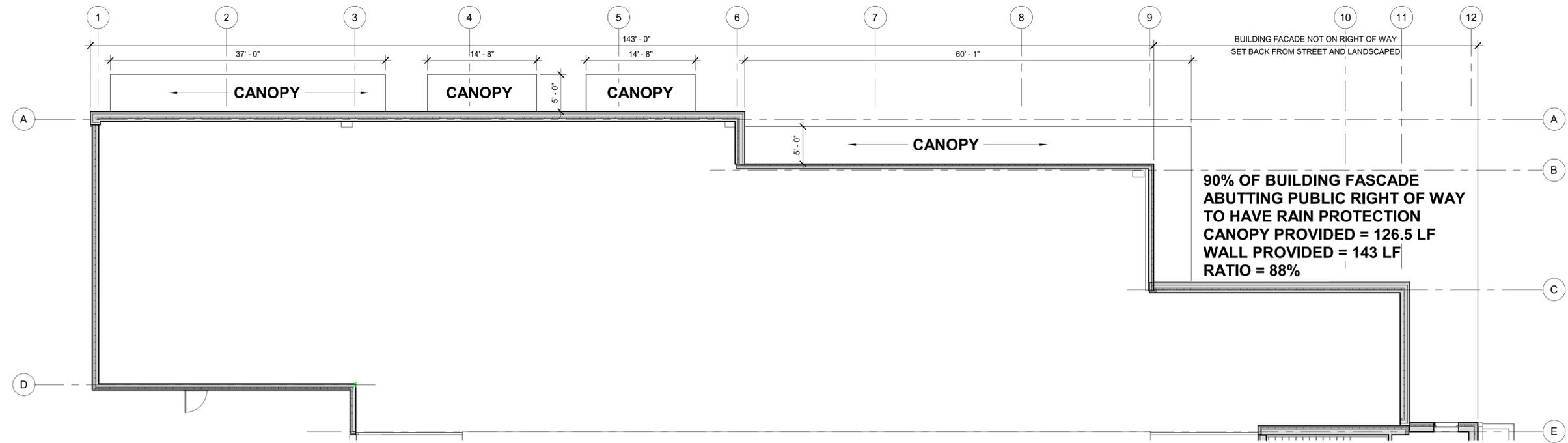


**2 NORTH ELEVATION**  
1/8" = 1'-0"

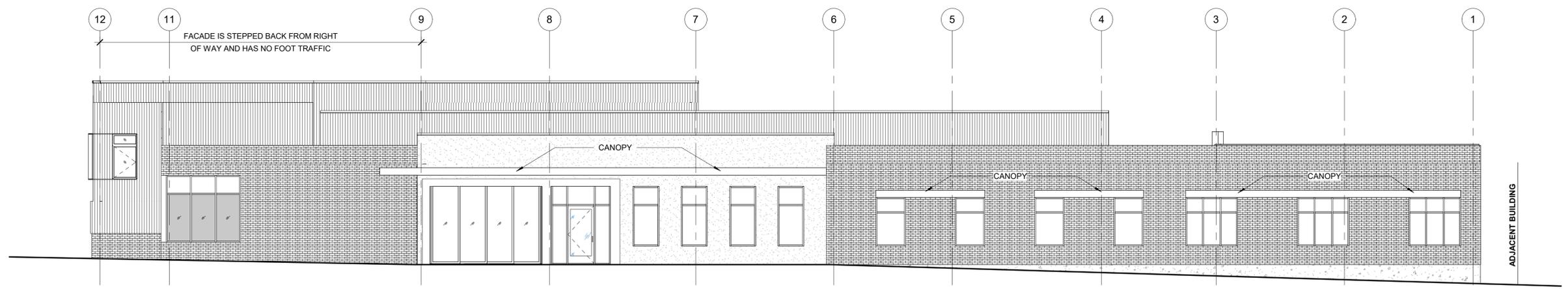
PROJECT #	23048.1
DATE	07/28/2025
REVISIONS	
NO.	DATE DESCRIPTION

NORTH ELEVATION  
GLAZING

**001**  
DD PHASE



**1 FLOOR PLAN**  
1/8" = 1'-0"



**2 NORTH ELEVATION**  
1/8" = 1'-0"



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fax: (206) 522-2456  
tca-inc.com

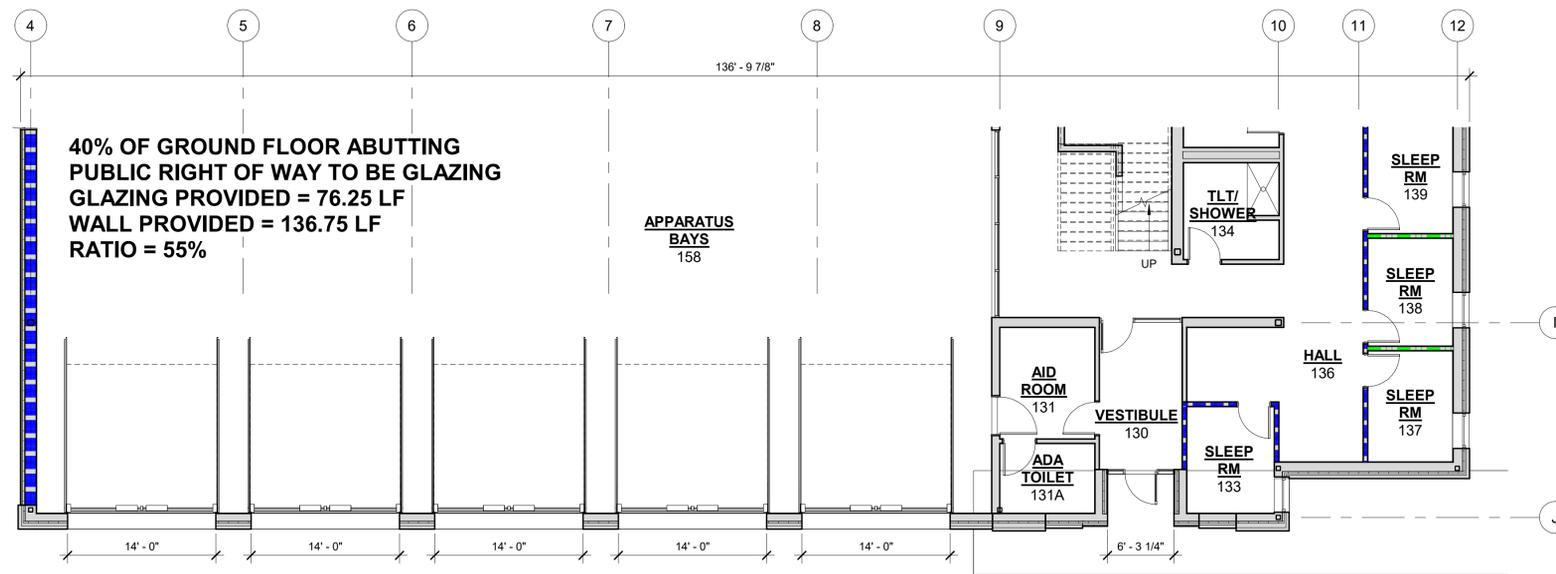
**CAMAS-WASHOUGAL FIRE  
DEPARTMENT  
HEADQUARTERS AND STATION #41**  
528 NE 4TH AVE., CAMAS WA 98607

PROJECT # 23048.1  
DATE 07/28/2025

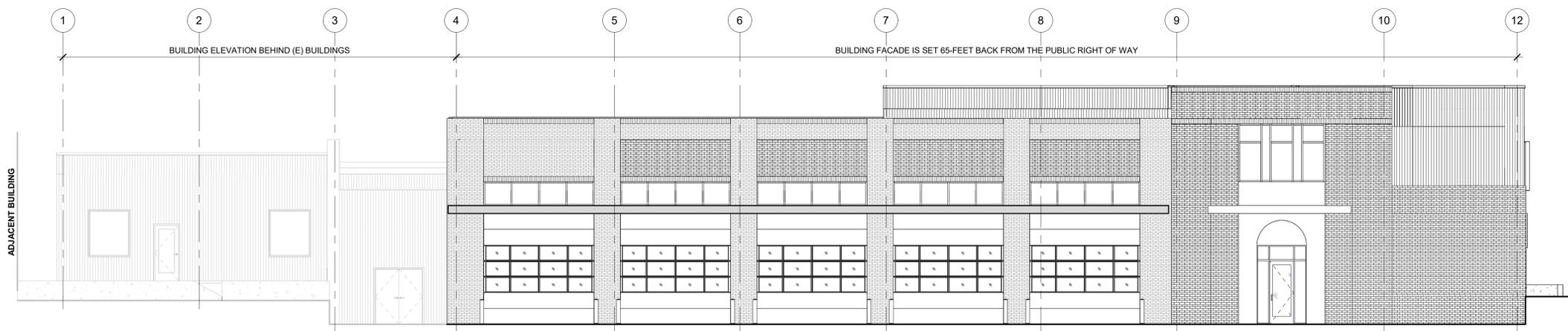
REVISIONS		
NO.	DATE	DESCRIPTION

NORTH ELEVATION  
CANOPY

**002**  
DD PHASE



**1 FLOOR PLAN**  
1/8" = 1'-0"



**2 SOUTH ELEVATION**  
1/8" = 1'-0"



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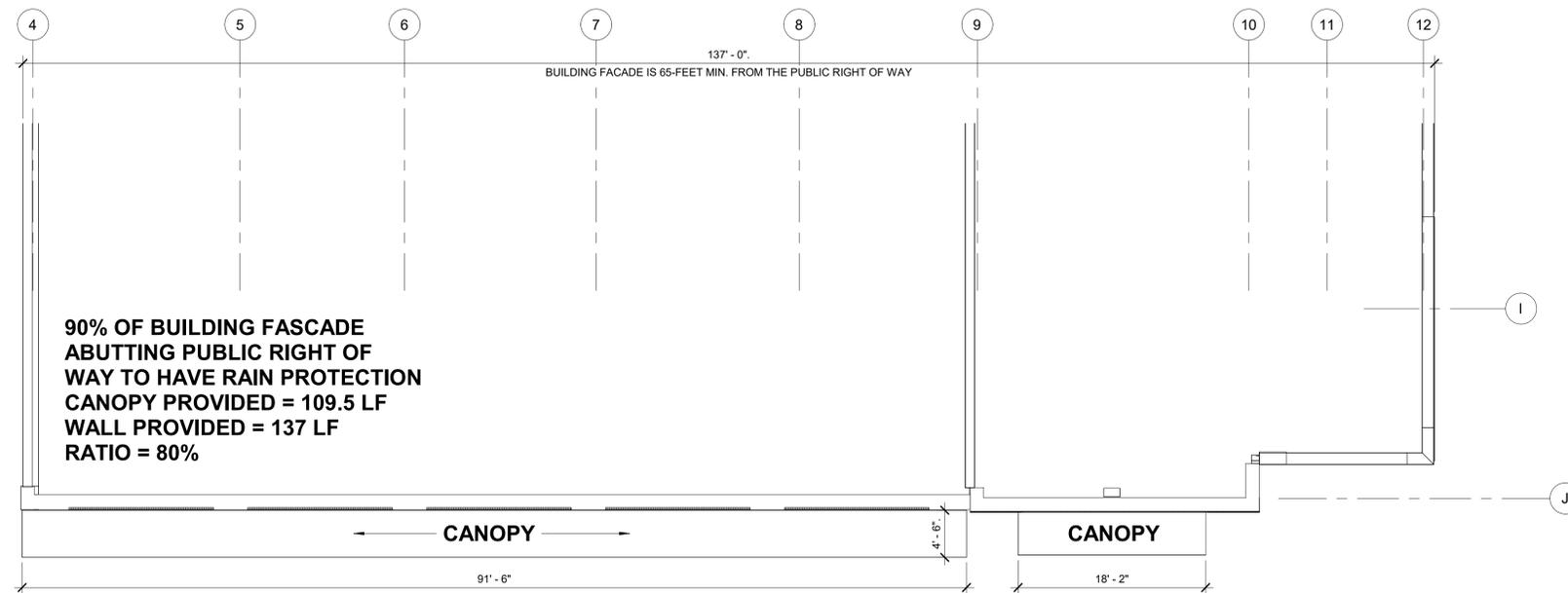
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**CAMAS-WASHOUGAL FIRE  
DEPARTMENT  
HEADQUARTERS AND STATION #41**  
528 NE 4TH AVE., CAMAS WA 98607

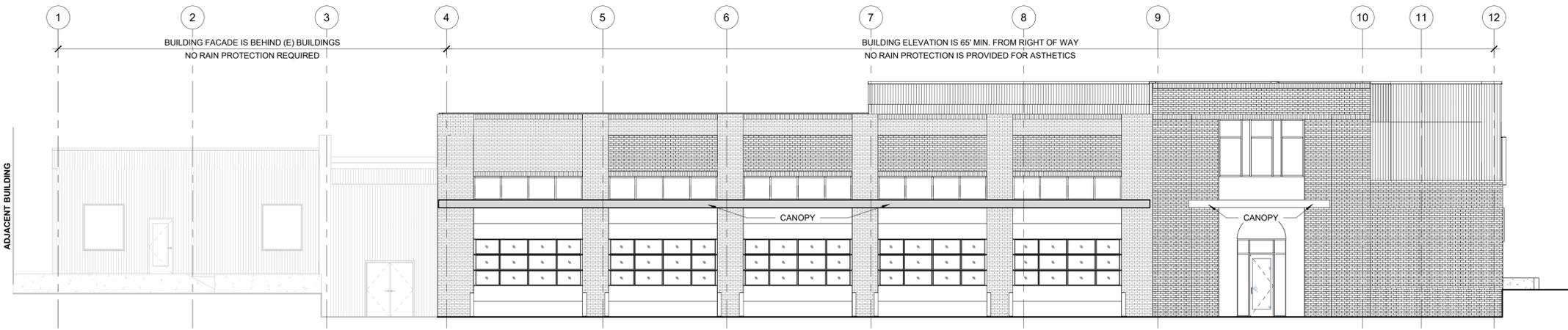
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DATE 10/09/2025  
REVISIONS  
NO. DATE DESCRIPTION

SOUTH ELEVATION  
GLAZING

**003**  
DD PHASE



**1 FLOOR PLAN**  
1/8" = 1'-0"



**2 SOUTH ELEVATION**  
1/8" = 1'-0"



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DEPARTMENT  
HEADQUARTERS AND STATION #41**  
528 NE 4TH AVE., CAMAS WA 98607

PROJECT # 23048.1  
DATE 10/09/2025

REVISIONS		
NO.	DATE	DESCRIPTION

SOUTH ELEVATION  
CANOPY

**004**  
DD PHASE



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**PRELIMINARY**



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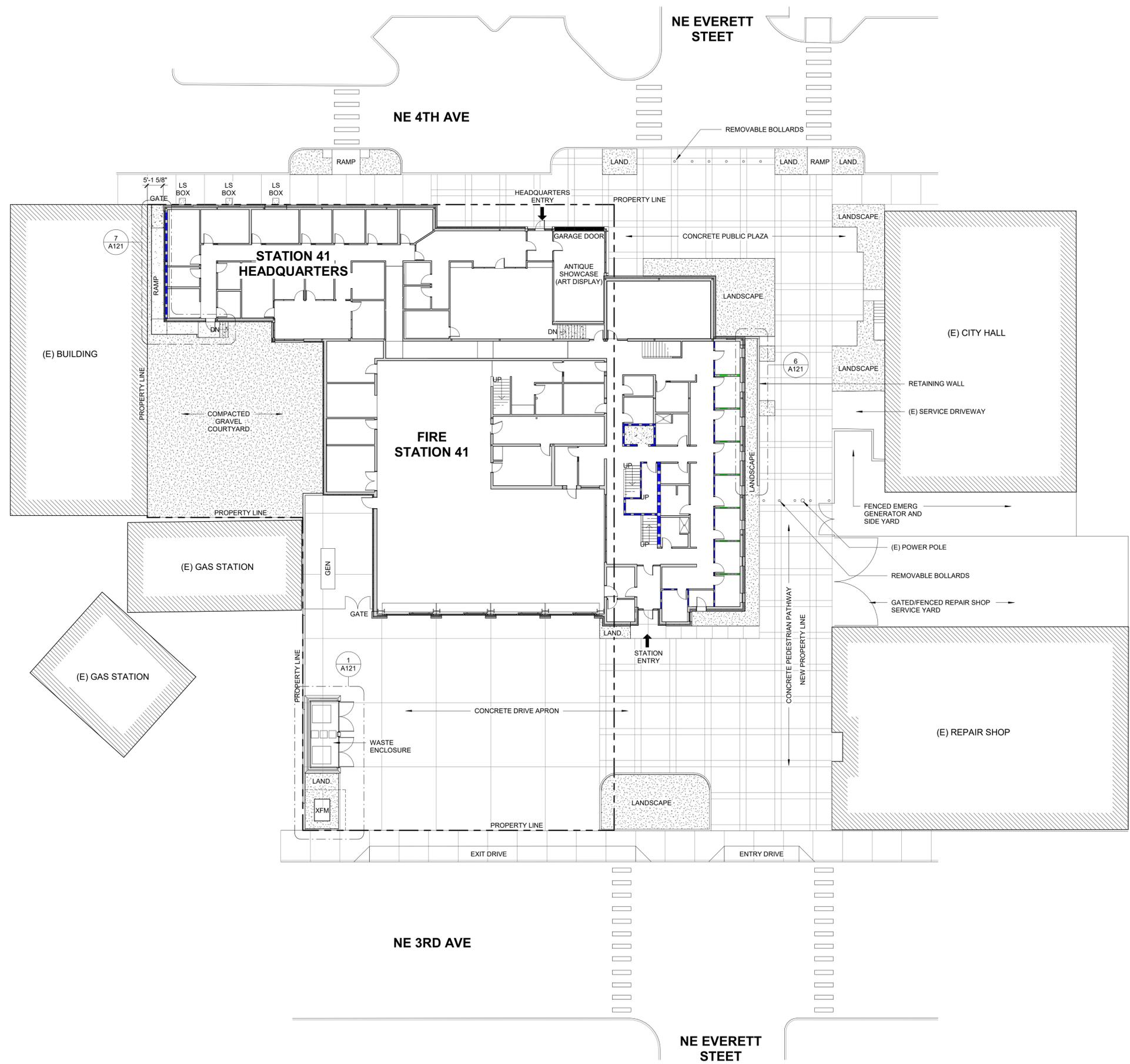
**CAMAS-WASHOUGAL FIRE DEPARTMENT  
HEADQUARTERS AND STATION # 41**  
528 NE 4TH AVENUE CAMAS, WA 98607

PROJECT # 23048.1  
DATE 2/04/2026  
REVISIONS  
NO. DATE DESCRIPTION

ARCHITECTURAL  
SITE PLAN

**A101**

95% DD PHASE



**1 SITE PLAN**  
1/16" = 1'-0"



**Fire Station 41 (SPRV25-1003)**  
**Index of Exhibits**

Item 1.

<b>Exhibit No.</b>	<b>Title/Description</b>	<b>Document Date</b>
1	Site Plans	10/2025
2	Architectural Site Plan	10/9/25
3	Applicant's Design Review Narrative	11/24/25
4	Level 1 Floor Plan	10/9/25
5	Level 1.5 Floor Plan	10/9/25
6	Level 2 Floor Plan	10/9/25
7	Elevations	10/9/25
8	Color & Material Samples	9/24/25
9	Landscape Plan	8/2025
10	Photometrics	10/8/25
11	Lighting	
12	Downtown Design Review Manual	
13	Design Review Checklist	
14	Applicant Supplemental Narrative	10/9/25
15	Revised Building Layout	2/4/26