



Hearings Examiner Meeting Agenda
Tuesday, July 09, 2024, 4:00 PM
Council Chambers, 616 NE 4th AVE

NOTE: The City welcomes public meeting citizen participation. TTY Relay Service: 711. In compliance with the ADA, if you need special assistance to participate in a meeting, contact the City Clerk's office at (360) 834-6864, 72 hours prior to the meeting so reasonable accommodations can be made (28 CFR 35.102-35.104 ADA Title 1)

To Participate Remotely:

OPTION 1 -

1. Go to www.zoom.us and download the app or click "Join A Meeting" and use Meeting ID – 811 8613 7132
2. Or, from any device click <https://us06web.zoom.us/j/81186137132>

OPTION 2 - Join by phone (audio only):

Dial 877-853-5257 and enter meeting ID# 811 8613 7132

For Public Comment:

Click the raise hand icon in the app or by phone, hit *9 to "raise your hand", or email to communitydevelopment@cityofcamas.us

These will be entered into the meeting record. Emails received up until one hour before the start of the meeting will be emailed to the Meeting Body prior to the meeting start time.

CALL TO ORDER

INTRODUCTIONS AND INSTRUCTIONS

HEARING ITEM

1. Camas Meadows Hole 9 Mixed Use (MAJVAR24-01)
Presenter: Madeline Sutherland

CLOSE OF MEETING

LAND USE DECISION

STAFF REPORT

Camas Meadows Hole 9 Major Variance

File No. MAJVAR24-01

Report Date: July 3, 2024

TO	Hearings Examiner	HEARING DATE	7/9/2024
PROPOSAL	To change the front and side yard setbacks of the residential lots, and increase the lot coverage for the townhome lots.		
LOCATION	The site is located at 4525 NW Camas Meadows Drive in the NE 1/4 Section 29, Township 2 North, Range 3 East, of the Willamette Meridian; and described as tax parcel 175980000, 172973000, 172963000, 986035734, 986035733, 172970000, & 986026906.		
APPLICANT/ OWNER	AKS Engineering Attn: Michael Andreotti 9600 NE 126th Ave Suite 2520 Vancouver, WA 98662	OWNER	Romano Development 4660 NE 77th Ave Vancouver, WA 98662
APPLICATION SUBMITTED	2/27/2024	APPLICATION COMPLETE	3/18/24
PUBLIC NOTICES	A consolidated Notice of Application and Public Hearing was mailed to property owners within 300 feet of the site and published in the Post Record on 5/23/2024. Legal publication #910140.		

APPLICABLE LAW: The application was submitted on 2/27/2024, and the applicable codes are those codes that were in effect at the date of the application’s first submittal. Camas Municipal Code (CMC) Title 16 Environment, Title 17 Land Development, and Title 18 Zoning, specifically (but not limited to): Chapter 18.43 Variances and Chapter 18.55 Administrative Procedures. [Note: Citations from Camas Municipal Code (CMC) are indicated in *italic* type.]

SUMMARY

An application has been made to the City of Camas for Major Variance approval to increase the front yard setback of the residential lots from a maximum of 10 feet to 15 feet. The second request consists of decreasing the side yard setback of the residential lots from a minimum of 10 feet to 5 feet. The third request includes increasing the lot coverage for two story townhome lots (lots 1-19, 57-77) from 50% to 60%.

The site received conditional approval, preliminary plat, site plan review, critical areas, SEPA, and archaeological review to construct a mixed-use development consisting of a commercial building, and a mixture of attached and detached single-family residences.

The subject site is bordered to the north and west by the Camas Meadows Golf Course zoned Light Industrial/Business Park. To the east is the Camas Meadows Golf Course Clubhouse and restaurant zoned Light Industrial/Business Park and Business Park. To the south are commercial buildings zoned

Light Industrial/Business Park and further southeast are townhomes zoned Multi-Family Residential MF-18. The site is currently vacant and contains several trees and vegetation.

A major variance is required for “modification of a numerical development standard by more than ten percent”. A major modification is required for changes to an approved development. Both of these permit criteria are addressed in this staff report.

The proposed major variance and major modification does or can comply with the applicable standards of the Camas Municipal Code (CMC) and Revised Code of Washington (RCW).

Chapter 18.45 Major Variance

A. CMC 18.45.040.B - Approval of a major variance must demonstrate with findings of compliance with all of the following criteria:

- 1. **The variance shall not constitute a grant of special privilege inconsistent with the limitation upon uses of other properties in the vicinity and zone in which the subject property is located;**

DISCUSSION: The following table states the approved and proposed setbacks that are affected by this variance request based on CMC 18.09.030 Table 1 and the Final Order for the Camas Meadows Hole 9 Mixed Use Development:

18.09.030 Table 1 Density and dimensions—Commercial and industrial zones.		
	Approved	Proposed
Minimum front yard (feet)	<u>Maximum</u> 10’	<u>Maximum</u> 15’
Minimum side yard (feet)	10’	5’
Lot coverage (percentage)	1 story (60%) 2 stories or more (50%)	1 story (60%) 2 stories or more (60%)

The applicant is proposing to change the front and side yard setback, and the lot coverage. There are several single and multi-family residential developments along NW Camas Meadows Drive that match the applicants proposed changes. The applicant submitted a vicinity map of these single family and townhome developments that meet the setbacks in CMC 18.09.040 – Single Family and Multi-Family Residential.

FINDING: Staff finds the major variance request does not grant special privilege to the specific site as there are many properties within the vicinity that have a similar front yard setback.

- 2. **That such variance is necessary, because of special circumstances or conditions relating to the size, shape, topography, location, or surroundings of the subject property, to provide it with use, rights, and privileges permitted to other properties in the vicinity and in the zone in which the subject property is located;**

DISCUSSION: The first request to change the front yard setback is necessary because it ensures that the existing utility easement on NW Camas Meadows Drive, which varies from 12-feet to 15-feet-wide along the front of lots 1-21 and lots 57-77 and the future utility easement along the front of lots 22-56 is not

encroached on. The intent of the maximum 10-foot front yard setback is to pull forward a mixed use building where commercial is on the ground floor. However, this development has separated commercial and residential uses, leaving residential uses with a front yard setback that forces the future home to encroach on existing and future utility easements.

Staff is in support of increasing the front yard setback if a condition is added that the garage must be set back a minimum of 18-feet for the single-family detached Lots 22-56. An 18-foot setback allows for a vehicle to park in the driveway and not block the sidewalk.

The second request to reduce the side yard setback to 5-feet aligns with the single and multi-family zones. CMC 18.09.040 and 18.09.050 require a minimum 5-foot side yard setback for single-family lots less than 11,999 square feet, and 3 feet (detached)/0 feet (attached) for townhomes in the multi-family zones.

Staff finds the request to reduce the side yard setback is necessary because it allows the lot to be used as other single family and multi-family development in the area.

There is a 6-foot-wide utility easement along the street side yards of the townhomes, therefore, staff recommends that the street side yard setback remain at 10-feet to accommodate the 6-foot-wide public utility easements. Staff recommends that the side yard setback abutting the commercial development remain at 10-feet as proposed.

The third request to increase the lot coverage from 50% for two story homes to 60% also aligns with the multi-family zone lot coverage requirements in CMC 18.09.050. The maximum lot coverage for town homes in the multi-family zone is up to 65%.

Staff finds the variance is necessary to accommodate a townhome in the mixed-use zoning.

FINDING: Staff finds the variances are necessary subject to the recommended conditions discussed in this section.

3. *The granting of such variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the vicinity and in the zone in which the subject property is located.*

DISCUSSION: The intent of the Mixed Use (MX) zone is for mixed-use buildings with commercial on the ground floor and residential above. Single-family residences are outright permitted in the MX zone. However, the applicant received conditional use permit approval to construct townhomes. This resulted in a separation of commercial and residential uses on site.

The MX setbacks are intended for mixed use buildings with commercial on the ground floor, and residential above. The residential zone setbacks are intended for residential uses. Therefore, the applicant has requested variances to setbacks and lot coverage that align with the residential zoning code.

FINDING: Staff finds the variance will not be detrimental to the public because these standards currently exist in the residential zone for residential uses which is what was approved to be constructed on site.

CMC Section 18.55.290 Major Modification

Minor amendments or modifications. Minor amendments are those modifications which may affect the precise dimensions or location of buildings, accessory structures, and driveways. Minor amendments do not effect:

I. Overall project character,

FINDING: The project character remains a mixed-use development. There are no changes to the proposed uses or lot locations. The request to change setbacks and lot coverage will not affect the overall project character.

II. Increase the number of lots, dwelling units, or density;

FINDING: The proposal to change setbacks and lot coverage will not increase the number of lots, dwelling units, or density. Staff finds this criterion is met.

III. Decrease the quality or amount of open space, or

FINDING: No open space will be affected due to the changes in setbacks and lot coverage. The lot lines and open space tracts will remain the same. Staff finds this criterion is met.

IV. Vary from specified dimensional standards of this title.

FINDING: The proposal will not affect lot sizes; however, it will affect setbacks and lot coverage. A major variance is required for “modification of a numerical development standard by more than ten percent”. The proposed changes to setbacks and lot coverage includes more than a 10% change to a numerical development standard. Therefore, the applicant has submitted a major variance application. Staff finds this criterion is addressed throughout the major variance criteria section in this staff report.

PUBLIC COMMENTS

As of the writing of this staff report, staff has not received any comments.

CONCLUSION

Based on the above findings and discussion provided in this staff report, staff concludes that Camas Meadows Hole 9 Major Variance (MAJVAR24-01) should be approved because it does comply with the applicable standards if all the conditions of approval are met.

RECOMMENDATION

Staff recommends APPROVAL of the preliminary plat of Camas Meadows Hole 9 Major Variance (MAJVAR24-01) subject to the following conditions of approval:

CONDITIONS OF APPROVAL

Standard Conditions:

The Standard Conditions of Approval, as noted in the CUP23-01 Final Order, issued September 21, 2023, remain in effect.

Special Conditions of Approval:

Except for the following conditions, The Special Conditions of Approval, as noted in the CUP23-01 Final Order, issued September 21, 2023, remain in effect.

1. The front yard setback for the residential lots shall be a maximum of 15 feet.
2. The garage setback for the single-family detached lots (lots 20-21, 30-48) must be a minimum of 18-feet to the face of the garage.
3. The street side yard setback shall remain at 10-feet to accommodate the 6-foot-wide public utility easements for lots 3, 4, 19-21, 27, 28, 74, and 75. All other side yard setbacks for the residential lots shall be a minimum of 5 feet.
4. The side yard setback of residential lots (lots 48, 77) abutting the commercial development shall remain at 10-feet.
5. The maximum lot coverage for townhomes is 60%.



Community Development Department | Planning Division
 616 NE Fourth Ave, Camas, WA 98607
 360-817-1568 | permits@cityofcamas.us

General Application Form Camas Meadows Hole 9 Mixed Use **Case Number: MAJVAR24-01**

Applicant Information			
Applicant/Contact:	Romano Development (Attn: Stacey Shields)	AKS Engineering & Forestry (Attn: Michael Andreotti)	Phone: (360) 904-4759 (360) 882-0419
Address:	Last 4600 NE 77th Avenue, Suite 200	First 9600 NE 126th Avenue, Suite 2520	
	Street Address	Apartment/Unit #	
	Vancouver, WA 98662	Vancouver, WA 98682	
	City	State	ZIP Code
Email Address:	stacey@romanofinancial.com	andreottim@aks-eng.com	

Property Information			
Property Address:	4525, 4555, 4615, 4711 NW Camas Meadows Drive, Unit A/B	172970-000, 986035-733, 986035-734, 172963-000, 172973-000, 175980-000, 986026-906	
	Street Address	County Assessor # / Parcel #	
	Camas	WA	98607
	City	State	ZIP Code
Zoning District	Mixed Use (MX)	Site Size	13.81 acres

Description of Project

The Applicant is requesting a Major Modification and Variance request to reduce the required side yard setback from 10 feet to 5 feet.

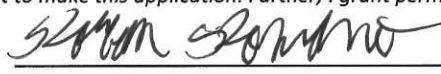
Are you requesting a consolidated review per CMC 18.55.020(B)? YES NO

Permits Requested: Type I Type II Type III Type IV, BOA, Other

Property Owner or Contract Purchaser			
Owner's Name:	Romano Development	Phone: (360) 904-4759	
	Last First		
	4660 NE 77th Avenue	Suite 200	
	Street Address	Apartment/Unit #	
	Vancouver	WA	98662
	City	State	Zip Code
Email Address:	stacey@romanofinancial.com		

Signature

I authorize the applicant to make this application. Further, I grant permission for city staff to conduct site inspections of the property.

Signature:  Date: 2-22-24

Note: If multiple property owners are party to the application, an additional application form must be signed by each owner. If it is impractical to obtain a property owner signature, then a letter of authorization from the owner is required.

Date Submitted: 2/27/24	Pre-Application Date:	\$1,481.00 Receipt# 808642 2/27/24 by AB Validation of Fees
Staff: Madeline Sutherland	Related Cases # <input checked="" type="checkbox"/> Electronic Copy Submitted	

PA22-49 ARCH23-02
 CA23-03 CUP23-01
 DR23-03 SUB23-01
 SEPA23-03 SPRV23-02

Revised: 01/01/2024

City of Camas
616 NE 4th Avenue
Camas, WA 98607
360-834-2462

Finance Office Hours:
Monday-Friday 9:00 - 5:00 p.m.

Date/Time 02/27/2024 09:50 AM
Receipt No. 00808642
Receipt Date 02/27/2024
CR plan 1,481.00

variance
variance 1,481.00

Cash: 0.00
Other: 1,481.00
0.00
Check: 0.00

Total: 1,481.00
Change: 0.00

Check No: Camas Mead. Hole 9

Romano Financial - Alex
Customer #: 000000

Cashier: abaldwin
Station: IS02593

CITY OF CAMAS-LIC PERM
616 NE 4TH AVE
CAMAS, WA 98607

02/27/2024 09:47:29

CREDIT CARD
VISA SALE

Card # XXXXXXXXXXXX8900
SEQ #: 8
Batch #: 636
INVOICE 8
Approval Code: 06759G
Entry Method: Manual
Mode: Online
Tax Amount: \$0.00

SALE AMOUNT \$1481.00

CUSTOMER COPY

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WHITE SALMON, WA

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White Salmon, WA
98672
(509) 281-3227

www.aks-eng.com

Date: 2/20/2024
To: Community Development Department, City of Camas
From: Michael Andreotti, RLA
Project Name: Camas Meadows
AKS Job No.: 9030
Project Site: 4525 / 4555 / 4615 / 4711 NW Camas Meadows Drive, Unit A/B, Camas, WA 98607
Subject: Type III Major Modification and Variance Request

This narrative is written to address the request for a Type III Variance to modify the setbacks of the residential side yards for the Camas Meadows Hole 9 Mixed Use project.

I. Executive Summary

Through this application, Romano Development (Applicant), requests approval from the City of Camas (City) for a Type III Variance, through a Major Modification, to reduce the required side yard setback for the residential lots in the approved Camas Meadows Hole 9 Mixed Use (CUP23-01). The subject site consists of seven parcels addressed as 4525 / 4555 / 4615 / 4711 NW Camas Meadows Drive, Unit A/B, Camas, WA 98607. The subject site is identified at 172970-000, 986035-733, 986035-734, 172963-000, 172973-000, 175980-000, 986026-906 of the Northeast Quarter of Section 29, Township 2 North, Range 3 East, Northwest Quarter of Section 28, Township 2 North, Range 3 East, and Southwest Quarter of Section 28, Township 2 North, Range 3 East Willamette Meridian. The subject site is ±13.81 acres (±601,725 square feet) in size and is zoned Mixed Use (MX) with no zoning overlays. The properties to the north, east, and west are zoned Light Industrial / Business Park (LI/BP), and the properties to the south, across NW Camas Meadows Drive, are zoned Multifamily Residential-18 (R-18) and LI/BP. The site is currently vacant. The surrounding properties to the north, east, and west are developed as Camas Meadows Golf Course, the properties to the south are developed as a business park, and the properties to the southeast are developed as the driving range for the Camas Meadows Golf Course.

The Applicant is requesting a Type III Variance to reduce the required residential side yard setbacks. Per Camas Municipal Code (CMC), 18.09.030 – Table 1, a minimum of 10-foot side yard setback is required in the MX zoning district. The Applicant is requesting to reduce the residential side yard setbacks from 10 feet to 5 feet for all lots, except the west side of Lots 48 and 77 where they abut the commercial lot. The west side of Lots 48 and 77 will maintain the 10-foot side setback. This variance is requested to align with typical side setbacks for single-family residential lots.

This application package includes the materials necessary for the City to review and approve this submittal, including this narrative and proposed development plans. The written narrative includes findings of fact demonstrating that the application complies with all applicable approval criteria. This application package provides substantial evidence to support the findings and allow the City to approve the application.

II. Applicable Review Criteria

CITY OF CAMAS MUNICIPAL CODE

Title 18 – Zoning

Chapter 18.09 Density and Dimensions

18.09.030 Density and Dimensions – Commercial and Industrial Zones

Table 1 – Density and Dimensions for Commercial and Industrial Zones

Table 1 – Density and Dimensions for Commercial and Industrial Zones	
	MX
Bulk Regulations	
Maximum Density (dwelling units/net acre)	24
Minimum lot area (square feet)	1,800
Minimum lot width (feet)	None
Minimum lot depth (feet)	None
Setbacks: Commercial and industrial development setbacks shall be as follows, unless along a flanking street of a corner lot. If along flanking street, then the setback must be treated like a front, and provide safe sight distance.	
Minimum front yard (feet)	Note 3
Minimum side yard (feet)	10'
Minimum rear yard (feet)	25'
Lot Coverage	
Lot coverage (percentage)	1 story (60%) 2 stories or more (50%)
Minimum Usable Open Space ⁵	N/A
Building Height	
Maximum building height (feet)	None

Notes:

3. Maximum setback at front building line is ten feet.
4. Residential dwelling units shall satisfy the front setbacks of CMC Section 18.09.040 Table 2, based on comparable lot size.
5. Areas that provide opportunities for active and passive uses and encourage community interaction. These spaces are accessible to the general public or to residents, employees, or customers and can include, but are not limited to plazas, courtyards, sports courts, and viewpoints (see 18.03.040 "Definitions for development terms").

Response: This application is requesting a variance to reduce the required side yard setback for the approved Camas Meadows Subdivision (CUP23-01) in the MX zoning district. The Applicant is proposing detached and attached single-family lots ranging from 2,000 square feet to 10,915 square feet.

According to CMC Section 18.09.030, Table 2, the minimum side yard setback required is 10 feet for the proposed lots. According to CMC Section 18.09.040, Table 2, the minimum side yard setback for single-family lots up to 11,999 square feet is 5 feet. To provide additional housing opportunities for future residents and to keep the side yard setbacks for the residential lots consistent with the existing single-family lots in the neighborhood to the east and elsewhere in the City, the Applicant is proposing to reduce the 10-foot side yard setback to 5 feet. Refer to the Proposed Development Plans included with this application for more information.

Chapter 18.45 Variances

18.45.020 Approval process.

- A. **Minor Variance.** A minor variance is one that results in the modification of up to ten percent of a numerical development standard (other than lot area or density) that shall be subject to Type I procedure, pursuant to CMC Chapter 18.55 Administration and Procedures, and subject to the approval criteria contained in CMC Section 18.45.030(A).

- B. **Major Variance.** A major variance is one that results in the modification of a numerical development standard by more than ten percent. The board of adjustment is generally the decision maker regarding major variances. Where a variance is consolidated with an application for a Type III decision, the decision maker shall be the same as that for the Type III application. A major variance shall not be approved unless findings are made by the approval authority that all of the approval criteria under CMC Section 18.45.030 are satisfied.

Response: The Applicant is proposing to reduce the side yard setback from 10 feet to 5 feet, which is more than a ten percent reduction to the setback; therefore, a Major Variance is required per CMC 18.45.020.B.

18.09.040 Major variance.

- B. **Approval of a major variance must demonstrate with findings of compliance with all of the following criteria:**
1. The variance shall not constitute a grant of special privilege inconsistent with the limitation upon uses of other properties in the vicinity and zone in which the subject property is located;

Response: As previously discussed, the Applicant is requesting a variance to reduce the required side yard setback for the approved detached and attached single-family lots in the approved Camas Meadows Subdivision (CUP23-01). To keep the side yard setbacks for the residential lots consistent with other similarly sized single-family lots, the Applicant is proposing to reduce the side yard setback from 10 feet to 5 feet for all lots, except the west side of Lots 48 and 77 where they abut the commercial lot. The proposed 5-foot setback is consistent with the requirements of CMC Section 18.09.040, Table 2, and similarly sized single-family lots just east of the site. The surrounding property is zoned for light industrial and multifamily uses, so there will not be any additional single-family lots in the immediate vicinity. Therefore, the proposed variance will not grant special privileges inconsistent with the vicinity and zone in which the subject property is located.

2. That such variance is necessary, because of special circumstances or conditions relating to the size, shape, topography, location, or surroundings of the subject property, to provide it with use, rights, and privileges permitted to other properties in the vicinity and in the zone in which the subject property is located;

Response: The Applicant is requesting a variance to reduce the required side yard setback for the approved detached and attached single-family lots in the approved Camas Meadows Subdivision (CUP23-01) to 5 feet, consistent with other single-family zones in the City and the existing single-family subdivision to the east.

Special circumstances exist relating to the size and shape of the subject property in relation to its surroundings. The subject property consists of a narrow strip of MX-zoned land surrounded entirely by light industrial (on three sides) and multifamily zoning (to the southeast). There is also an existing neighborhood further to the east, with existing five-foot side yard setbacks. Given the configuration of this narrow strip of MX-zoned land surrounded by light industrial and multifamily zoning, there is no need for 10-foot side yard setbacks for the individual residential lots.

The required 10-foot setback for the MX zoning district is consistent with commercial lots and is not typical for residential lots similarly sized to the approved with the original application. To increase housing opportunities for future residents and to keep the side yard setbacks for the residential lots consistent with other similarly sized single-family lots to the east and elsewhere in the City, the Applicant is proposing to reduce the side yard setback from 10 feet to 5 feet for all lots, except the west side of Lots 48 and 77 where they abut the commercial lot. Therefore, the proposed variance will provide the approved development with the necessary variance to provide it with the same use, rights, and privileges permitted to similar residential lots in the vicinity and zone in which the property is located.

3. **The granting of such variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the vicinity and in the zone in which the subject property is located.**

Response: As previously discussed, the proposed variance will provide setbacks consistent with the requirements of CMC Section 18.09.040, Table 2 for lots up to 11,999 square feet. The proposed 5-foot setback will also be consistent with the setbacks of similarly sized single-family lots to the east and elsewhere in the City. The immediately surrounding properties are all zoned light industrial or multifamily and will not benefit from increased side yard setbacks on individual single-family residential lots. Thus, the reduced setbacks will not be materially detrimental to the public welfare or injurious to the property or improvement in the vicinity and in the zone in which the subject property is located.

Chapter 18.55 Administration and Procedures
18.55.290 Minor Amendments or Modifications

Response: The Applicant is proposing to reduce the side yard setback from 10 feet to 5 feet for a project with preliminary plat approval under CUP23-01. The variance request is more than a ten percent reduction to the setback; therefore, a Major Variance is required. Since the Major Variance requires a Type III process and the site has preliminary plat approval, a Major Modification application is also required.

III. Conclusion

The Applicant is requesting a Type III Major Modification and Major Variance for the approved Camas Meadows Subdivision (CUP23-01) to reduce the required residential side yard setback the side yard setback from 10 feet to 5 feet for all lots, except the west side of Lots 48 and 77 where they abut the commercial lot. The requested variance is consistent with setbacks required for residential lots in CMC Section 18.09.040, Table 2, and will not grant the lots special privileges and will not be detrimental to public welfare or injurious to the site or other properties in the vicinity.

The submittal requirements have been met and the required findings made for all applicable approval criteria. These findings serve as the basis for the City to approve the application and are supported by substantial evidence in the application materials. Therefore, the Applicant respectfully requests approval of the requested variance.



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(360) 882-0419

WHITE SALMON, WA
107 W Jewett, Ste 100
White Salmon, WA
98672
(509) 281-3227

Date: 4/25/2024
To: Community Development Department, City of Camas
From: Michael Andreotti, RLA
Project Name: Camas Meadows
AKS Job No.: 9030
Project Site: 4525 / 4555 / 4615 / 4711 NW Camas Meadows Drive, Unit A/B, Camas, WA 98607
Subject: Type III Major Modification and Variance Request

This narrative is written to address the request for a Type III Variance to modify the front and side yard setbacks for the residential lots and for the lot coverage for two-story buildings for the attached townhome lots for the Camas Meadows Hole 9 Mixed Use project (CUP23-01).

I. Executive Summary

Through this application, Romano Development (Applicant), requests approval from the City of Camas (City) for a Type III Variance, through a Major Modification, to reduce the required side yard setback and increase the required front yard setback for the residential lots. The applicant also wishes to increase the lot coverage for two-story buildings for the attached townhome lots (Lots 1-19 and 57-77). The subject site consists of seven parcels addressed as 4525 / 4555 / 4615 / 4711 NW Camas Meadows Drive, Unit A/B, Camas, WA 98607. The subject site is identified at 172970-000, 986035-733, 986035-734, 172963-000, 172973-000, 175980-000, 986026-906 of the Northeast Quarter of Section 29, Township 2 North, Range 3 East, Northwest Quarter of Section 28, Township 2 North, Range 3 East, and Southwest Quarter of Section 28, Township 2 North, Range 3 East Willamette Meridian. The subject site is ±13.81 acres (±601,725 square feet) in size and is zoned Mixed Use (MX) with no zoning overlays. The properties to the north, east, and west are zoned Light Industrial / Business Park (LI/BP), and the properties to the south, across NW Camas Meadows Drive, are zoned Multifamily Residential-18 (R-18) and LI/BP. The site is currently vacant. The surrounding properties to the north, east, and west are developed as Camas Meadows Golf Course, the properties to the south are developed as a business park, and the properties to the southeast are developed as the driving range for the Camas Meadows Golf Course.

Per Camas Municipal Code (CMC), 18.09.030 – Table 1, a minimum 10-foot side yard setback, maximum 10-foot front yard setback, and maximum lot coverage of 50 percent are required in the underlying MX zoning district. The Applicant is requesting to reduce the residential side yard setbacks from 10 feet to 5 feet for all lots, except the west side of Lots 48 and 77 where they abut the commercial lot, identified as lot 78 on the preliminary plat. The west side of Lots 48 and 77 will maintain the 10-foot side setback. The applicant is requesting to increase the maximum front yard setback from 10 feet to 15 feet for the residential lots. Additionally, they wish to increase the lot coverage for two-story buildings from 50 percent to 60 percent for Lots 1-19 and 57-77. This variance is requested to align with typical side setbacks for single-family residential lots and typical lot coverage standards for townhome lots.

This application package includes the materials necessary for the City to review and approve this submittal, including this narrative and proposed development plans. The written narrative includes findings of fact demonstrating that the application complies with all applicable approval criteria. This

application package provides substantial evidence to support the findings and allow the City to approve the application.

II. Applicable Review Criteria

CITY OF CAMAS MUNICIPAL CODE

Title 18 – Zoning

Chapter 18.09 Density and Dimensions

18.09.030 Density and Dimensions – Commercial and Industrial Zones

Table 1 – Density and Dimensions for Commercial and Industrial Zones			
	MX	Proposed	Status
Bulk Regulations			
Maximum Density (dwelling units/net acre)	24	6.5	Approved (CUP23-01)
Minimum lot area (square feet)	1,800	2,000 SF	Approved (CUP23-01)
Minimum lot width (feet)	None	20'	Approved (CUP23-01)
Minimum lot depth (feet)	None	100'	Approved (CUP23-01)
Setbacks: Commercial and industrial development setbacks shall be as follows, unless along a flanking street of a corner lot. If along flanking street, then the setback must be treated like a front, and provide safe sight distance.			
Minimum front yard (feet)	Note 3	<u>15' Maximum</u>	Requested 5' increase
Minimum side yard (feet)	10'	<u>5'</u>	Requested 5' decrease
Minimum rear yard (feet)	25'	25'	Approved (CUP23-01)
Lot Coverage			
Lot coverage (percentage)	1 story (60%) 2 stories or more (50%)	1 story (60%) <u>Attached Townhomes (60%)</u> 2 Stories or more (50%)	10% increase for attached townhomes that are 2 story
Minimum Usable Open Space ⁵	N/A	33,503 square feet	Approved (CUP23-01)
Building Height			
Maximum building height (feet)	None	-	Approved (CUP23-01)

Notes:

3. Maximum setback at front building line is ten feet.
4. Residential dwelling units shall satisfy the front setbacks of CMC Section 18.09.040 Table 2, based on comparable lot size.
5. Areas that provide opportunities for active and passive uses and encourage community interaction. These spaces are accessible to the general public or to residents, employees, or customers and can include, but are not limited to plazas, courtyards, sports courts, and viewpoints (see 18.03.040 "Definitions for development terms").

Response: This application is requesting a variance to reduce the required side yard setback and increase the required front yard setback for the residential lots and increase the lot coverage for two-story buildings for Lots 1-19 and 57-77 for the approved Camas Meadows Subdivision (CUP23-01) in the MX zoning district. The original approval is for detached and attached single-family lots ranging from 2,000 square feet to 10,915 square feet.

According to CMC Section 18.09.030, Table 2, the minimum side yard setback required is 10 feet for the proposed lots. According to CMC Section 18.09.040, Table 2, the minimum side yard setback for single-family lots up to 11,999 square feet is 5 feet. To provide additional housing opportunities for future residents and to keep the side yard setbacks for the residential lots consistent with the existing single-family lots in the neighborhood to the east and elsewhere in the City, the Applicant is proposing to reduce the 10-foot

side yard setback to 5 feet. Refer to the Proposed Development Plans included with this application for more information.

According to CMC Section 18.09.030, Table 2, the minimum front yard setback for single-family lots up to 11,999 square feet is 20 feet, with the garage set back five feet from the front of the home. In standard residential zoning in City of Camas, townhomes are permitted in planned residential development only for single-family residential zoning districts and permitted outright in the multifamily residential districts. According to CMC Section 18.09.050, Table 1, the minimum front yard setback is 15 feet in the MF-10 zoning district and 10 feet in the MF-18 zoning district. It is important to note that the front setbacks in all residential zoning districts are minimums. The maximum 10-foot front yard setback in the MX zone appears aimed more at commercial uses where buildings should be located closer to the street for a pedestrian oriented development. This is not as much of an issue for townhomes, where traditionally townhomes are set back a little further than commercial buildings in a pedestrian oriented setting.

The townhomes recently constructed east of the site fronting Camas Meadows drive and east of McMaster Drive in the MF-18 zoning district, appear to have been constructed with 15–20-foot setbacks. The proposed maximum front yard setback increase from 10 feet to 15 feet will keep the front yard setbacks consistent with the existing detached and attached single-family lots to the east and elsewhere in the City. In addition, a utility easement is required in the front yards of Lots 1-19 and 57-77, which extends between 12 feet and 14.5 feet into the lots. The increased minimum front yard setback would help to ensure no structures are within the utility easement.

According to CMC Section 18.09.050, Table 1, the maximum lot coverage is 55 percent in the MF-10 zoning district and 65 percent in the MF-18 zoning district. The proposed increase from 50 percent to 60 percent for two-story buildings for Lots 1-19 and 57-77 (townhome lots) is the average of the MF zoning districts where townhomes are permitted outright, and does not go above the lot coverage allowed for single-story structures in the MX zoning district, and will be more consistent with the neighboring MF-18 zoning district to the east and other townhome lots elsewhere in the City.

Chapter 18.45 Variances

18.45.020 Approval process.

- A. **Minor Variance.** A minor variance is one that results in the modification of up to ten percent of a numerical development standard (other than lot area or density) that shall be subject to Type I procedure, pursuant to CMC Chapter 18.55 Administration and Procedures, and subject to the approval criteria contained in CMC Section 18.45.030(A).
- B. **Major Variance.** A major variance is one that results in the modification of a numerical development standard by more than ten percent. The board of adjustment is generally the decision maker regarding major variances. Where a variance is consolidated with an application for a Type III decision, the decision maker shall be the same as that for the Type III application. A major variance shall not be approved unless findings are made by the approval authority that all of the approval criteria under CMC Section 18.45.030 are satisfied.

Response: The Applicant is proposing to reduce the side yard setback from 10 feet to 5 feet, increase the maximum front yard setback from 10 feet to 15 feet, and increase the lot coverage for two-story buildings from 50 percent to 60 percent, which are all more than a ten percent modification to the standard; therefore, a Major Variance is required per CMC 18.45.020.B.

18.09.040 Major variance.

B. Approval of a major variance must demonstrate with findings of compliance with all of the following criteria:

1. The variance shall not constitute a grant of special privilege inconsistent with the limitation upon uses of other properties in the vicinity and zone in which the subject property is located;

Response: As previously discussed, the Applicant is requesting a variance to reduce the required side yard setback and increase the required front yard setback for the approved detached and attached single-family lots and increase the lot coverage for two-story buildings on Lots 1-19 and 57-77 in the approved Camas Meadows Subdivision (CUP23-01). To keep the side yard setbacks for the residential lots consistent with other similarly sized single-family lots, the Applicant is proposing to reduce the side yard setback from 10 feet to 5 feet for all residential lots, except the west side of Lots 48 and 77 where they abut the commercial lot. The proposed 5-foot setback is consistent with the requirements of CMC Section 18.09.040, Table 2, and similarly sized single-family lots just east of the site and other areas in the City.

The proposed 15-foot maximum front yard setback is more consistent with the requirement of CMC Section 18.09.040, Table 2, and CMC Section 18.09.050, Table 1, the MF-18 zone to the east, and similarly sized detached and attached single-family lots just east of the site.

The proposed 60 percent lot coverage is more consistent with CMC Section 18.09.050, Table 1, and the MF-18 zoning district and recently constructed townhomes just east of the site.

The surrounding property is zoned for light industrial and multifamily uses, so there will not be any additional single-family lots in the immediate vicinity with standards differing from the proposed variance. Therefore, the proposed variance will not grant special privileges inconsistent with other properties in the vicinity and zone in which the subject property is located.

2. That such variance is necessary, because of special circumstances or conditions relating to the size, shape, topography, location, or surroundings of the subject property, to provide it with use, rights, and privileges permitted to other properties in the vicinity and in the zone in which the subject property is located;

Response: The Applicant is requesting a variance to reduce the required side yard setback and increase the required front yard setback for the approved detached and attached single-family lots and increase the lot coverage for two-story buildings for Lots 1-19 and 57-77. The request will reduce the side setbacks to 5 feet, increase the maximum front yard setback to 15 feet, and increase the lot coverage to 60 percent, consistent with other

residential and multifamily zoning districts in the City and the existing subdivisions to the east.

Special circumstances exist relating to the size and shape of the subject site in relation to its surroundings. The subject property consists of a narrow strip of MX-zoned land surrounded entirely by light industrial (on three sides) and multifamily zoning (to the southeast). There are also existing neighborhoods further to the east, with existing five-foot side yard setbacks, no required maximum front yard setbacks, and existing townhome lots with an allowed lot coverage of 65 percent. As previously noted, the existing townhomes constructed to the east in the MF-18 zoning district are actually set back 15-20 feet from the front property line as the required setback is a minimum and not a maximum requirement. Given the configuration of this narrow strip of MX-zoned land surrounded by light industrial and multifamily zoning, there is no need for 10-foot minimum side yard setbacks and 10-foot maximum front yard setbacks for the individual residential lots. The proposed lot coverage increase will also better align the townhome lots with the recently constructed to the east and the neighboring MF-18 zoning district where townhomes are permitted outright.

The required 10-foot minimum side-yard setback and maximum 10-foot front yard setback for the MX zoning district is consistent with commercial lots and is not typical for residential lots similarly sized to those approved with the original application. To increase housing opportunities for future residents and to keep the side and front yard setbacks for the residential lots consistent with other similarly sized single-family lots to the east and elsewhere in the City, the Applicant is proposing to reduce the side yard setback from 10 feet to 5 feet for all lots, except the west side of Lots 48 and 77 where they abut the commercial lot. The Applicant is also requesting the lot coverage for two-story buildings for Lots 1-19 and 57-77 be increased from 50 percent to 60 percent for two-story buildings to be more consistent with neighboring MF-18 zoning district and MF zoning districts elsewhere in the City. Therefore, the proposed variance will provide the approved development with the necessary variance to provide it with the same use, rights, and privileges permitted to similar residential lots in the vicinity and zone in which the property is located.

3. The granting of such variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the vicinity and in the zone in which the subject property is located.

Response:

As previously discussed, the proposed variance will provide setbacks consistent with the requirements of CMC Section 18.09.040, Table 2 for lots up to 11,999 square feet and setbacks and lot coverage consistent with CMC Section 18.09.050, Table 1. The proposed 5-foot minimum side setback and maximum 15-foot front setback will also be consistent with the setbacks of similarly sized single-family lots to the east and elsewhere in the City. The proposed 60 percent lot coverage will be consistent with the neighboring MF-18 zoning district and the lot coverage for MF zoning districts and other townhome lots elsewhere in the City. The immediately surrounding properties are all zoned light industrial or multifamily and will not benefit from increased side yard setbacks, reduced maximum front yard setbacks, or reduced lot coverage on individual attached and

detached single-family residential lots. Thus, the modified setbacks will not be materially detrimental to the public welfare or injurious to the property or improvement in the vicinity and in the zone in which the subject property is located.

Chapter 18.55 Administration and Procedures

18.55.290 Minor Amendments or Modifications

Response: The Applicant is proposing to reduce the side yard setback, increase the maximum front yard setback, and increase the lot coverage for a project with preliminary plat approval under CUP23-01. The variances requested are more than a 10 percent modification to the standards; therefore, a Major Variance is required. Since the Major Variance requires a Type III process and the site has preliminary plat approval, a Major Modification application is also required.

III. Conclusion

The Applicant is requesting a Type III Major Modification and Major Variance for the approved Camas Meadows Subdivision (CUP23-01) to reduce the required residential side yard setback from 10 feet to 5 feet for all lots, except the west side of Lots 48 and 77 where they abut the commercial lot, identified as lot 78. Increase the maximum front yard setback from 10 feet to 15 feet for all residential lots; and increase the lot coverage for two-story buildings from 50 percent to 60 percent for Lots 1-19 and 57-77. The requested variance is consistent with setbacks and lot coverage required for residential lots in CMC Section 18.09.040, Table 2, and CMC Section 18.09.050, Table 1. The requested variances will not grant the lots special privileges and will not be detrimental to public welfare or injurious to the site or other properties in the vicinity.

The submittal requirements have been met and the required findings made for all applicable approval criteria. These findings serve as the basis for the City to approve the application and are supported by substantial evidence in the application materials. Therefore, the Applicant respectfully requests approval of the requested variance.

PROPOSED DEVELOPMENT

Camas Meadows Hole 9

13.81 acres
Variance Request

FOR MORE INFORMATION: Madeline Sutherland, City of Camas
msutherland@cityofcamas.us
(360) 817-7237

PUBLIC HEARING REQUIRED:

PERMITS: Type III Variance



APPLICANT: Romano Development
CONTACT NO: (360) 952-3811

PROPOSED DEVELOPMENT


Camas Meadows Hole 9

13.81 acres
Variance Request

FOR MORE INFORMATION: Madeline Sutherland, City of Camas
msutherland@cityofcamas.us
(360) 817-7237

PUBLIC HEARING REQUIRED:
07/09/2024 – 4 p.m.

PERMITS: Type III Variance



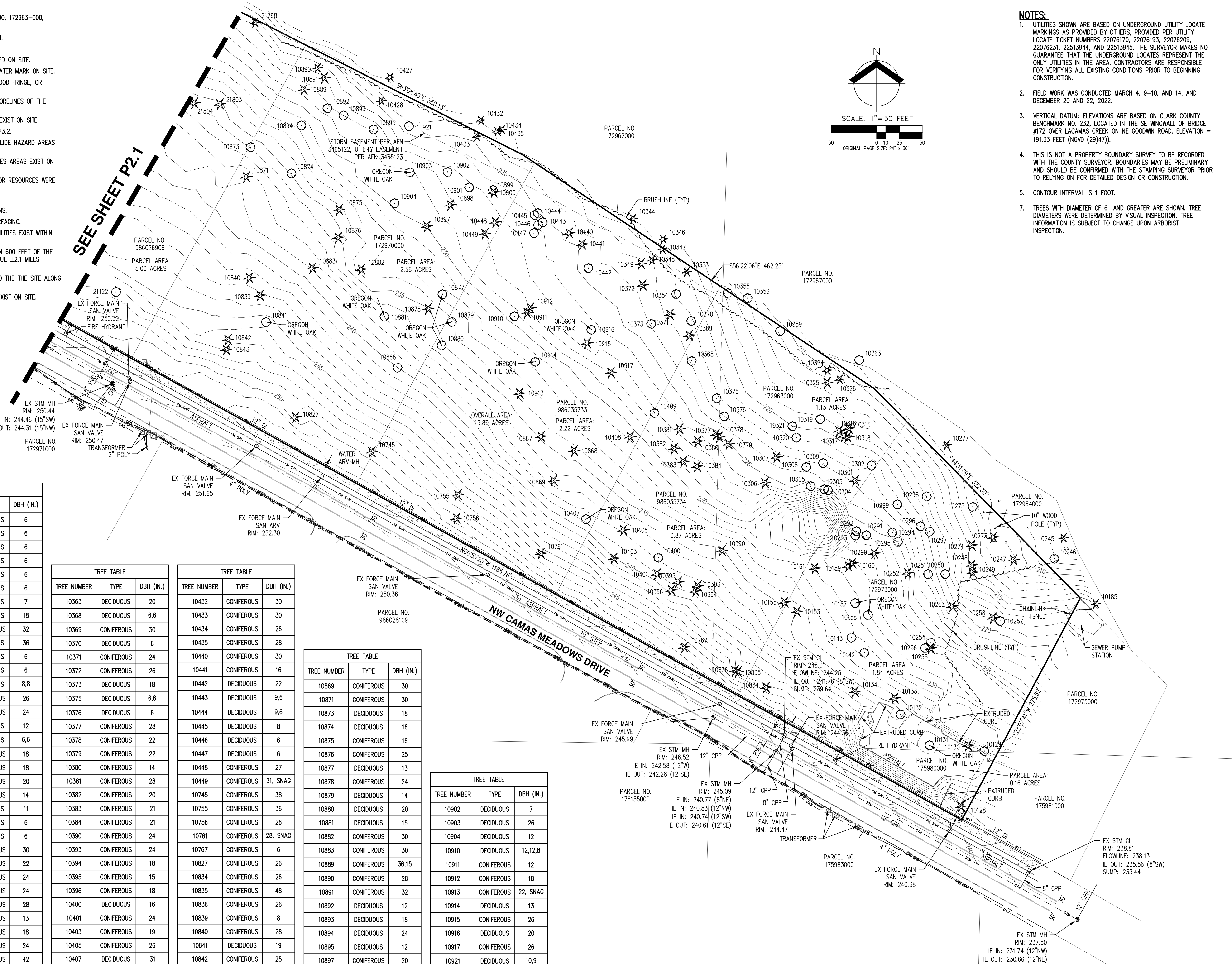
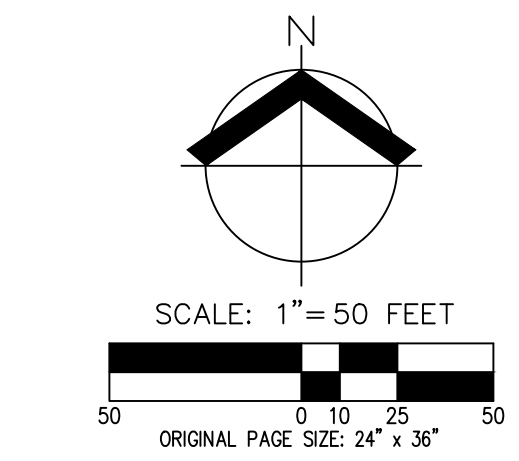
APPLICANT: Romano Development
CONTACT NO: (360) 952-3811

EXISTING LAND USE NOTES:

- THE SITE CONSISTS OF PARCELS 175980-000, 172973-000, 172963-000, 986035-734, 986035-733, 172970-000, & 986026-906.
- TOTAL SITE AREA IS 13.81 ACRES (601,725 SQUARE FEET).
- CONTOURS SHOWN ARE AT 1 FOOT INTERVALS.
- PER CLARK COUNTY GIS NO WATERCOURSES ARE IDENTIFIED ON SITE.
- PER CLARK COUNTY GIS THERE IS NOT ORDINARY HIGH WATER MARK ON SITE.
- PER CLARK COUNTY GIS THERE ARE NO FLOODPLAINS, FLOOD FRINGE, OR FLOODWAY ON SITE.
- PER CLARK COUNTY GIS THE SITE DOES NOT CONTAIN SHORELINES OF THE STATE.
- PER CLARK COUNTY GIS NO WATERBODIES OR WETLANDS EXIST ON SITE.
- DEVELOPMENT ENVELOPES ARE SHOWN ON SHEETS P3.0-P3.2.
- PER CLARK COUNTY GIS NO UNSTABLE SLOPES OR LANDSLIDE HAZARD AREAS EXIST ON SITE.
- PER CLARK COUNTY GIS NO PRIORITY HABITAT AND SPECIES AREAS EXIST ON SITE.
- PER CLARK COUNTY GIS NO SIGNIFICANT HISTORIC SITES OR RESOURCES WERE IDENTIFIED ON SITE.
- NO STRUCTURES EXIST ON SITE.
- EASEMENTS EXIST ON SITE AND ARE SHOWN ON THE PLANS.
- NW CAMAS MEADOWS DRIVE IS PUBLIC WITH ASPHALT SURFACING.
- PER CLARK COUNTY GIS NO PEDESTRIAN OR BICYCLE FACILITIES EXIST WITHIN 100 FEET OF THE SITE.
- PER CLARK COUNTY GIS NO TRANSIT ROUTES EXIST WITHIN 600 FEET OF THE SITE. THE NEAREST STOP IS LOCATED ON SE 1932D AVENUE ±2.1 MILES SOUTHWEST OF THE SITE.
- THE NEAREST FIRE HYDRANTS ARE LOCATED ADJACENT TO THE THE SITE ALONG NW CAMAS MEADOWS DRIVE AND SHOWN ON THE PLANS.
- PER CLARK COUNTY GIS NO SEPTIC SYSTEMS OR WELLS EXIST ON SITE.

NOTES:

- UTILITIES SHOWN ARE BASED ON UNDERGROUND UTILITY LOCATE MARKINGS AS PROVIDED BY OTHERS. PROVIDED PER UTILITY LOCATE TICKET NUMBERS 22076170, 22076193, 22076209, 22076231, 22513944, AND 22513945. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND LOCATES REPRESENT THE ONLY UTILITIES IN THE AREA. CONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
- FIELD WORK WAS CONDUCTED MARCH 4, 9-10, AND 14, AND DECEMBER 20 AND 22, 2022.
- VERTICAL DATUM: ELEVATIONS ARE BASED ON CLARK COUNTY BENCHMARK NO. 232, LOCATED IN THE SE WINGWALL OF BRIDGE #172 OVER LACAMAS CREEK ON NE GOODWIN ROAD. ELEVATION = 191.33 FEET (NGVD (2947)).
- THIS IS NOT A PROPERTY BOUNDARY SURVEY TO BE RECORDED WITH THE COUNTY SURVEYOR. BOUNDARIES MAY BE PRELIMINARY AND SHOULD BE CONFIRMED WITH THE STAMPING SURVEYOR PRIOR TO RELYING ON FOR DETAILED DESIGN OR CONSTRUCTION.
- CONTOUR INTERVAL IS 1 FOOT.
- TREES WITH DIAMETER OF 6" AND GREATER ARE SHOWN. TREE DIAMETERS WERE DETERMINED BY VISUAL INSPECTION. TREE INFORMATION IS SUBJECT TO CHANGE UPON ARBORIST INSPECTION.



TREE NUMBER	TYPE	DBH (IN.)
10128	CONIFEROUS	7
10129	DECIDUOUS	7
10130	CONIFEROUS	6
10131	DECIDUOUS	24,18
10132	DECIDUOUS	15,11
10133	CONIFEROUS	40
10134	CONIFEROUS	44
10142	DECIDUOUS	12,8
10143	DECIDUOUS	10
10153	CONIFEROUS	36, SNAG
10155	CONIFEROUS	32, SNAG
10157	DECIDUOUS	30
10158	DECIDUOUS	24
10159	CONIFEROUS	18
10160	CONIFEROUS	32
10161	CONIFEROUS	30
10185	CONIFEROUS	40
10245	CONIFEROUS	40
10246	DECIDUOUS	14
10247	CONIFEROUS	40
10248	CONIFEROUS	16
10249	CONIFEROUS	19
10250	DECIDUOUS	6,6,6,6,6
10251	DECIDUOUS	9,9
10252	CONIFEROUS	36
10253	CONIFEROUS	30
10254	DECIDUOUS	12,11,8
10255	CONIFEROUS	10
10256	DECIDUOUS	12
10257	DECIDUOUS	13
10258	CONIFEROUS	26
10273	CONIFEROUS	28
10274	CONIFEROUS	18
10275	DECIDUOUS	27
10277	CONIFEROUS	48
10290	CONIFEROUS	30
10291	DECIDUOUS	6

TREE NUMBER	TYPE	DBH (IN.)
10292	DECIDUOUS	6
10293	DECIDUOUS	6
10294	DECIDUOUS	6
10295	DECIDUOUS	6
10296	DECIDUOUS	6
10297	DECIDUOUS	6
10298	DECIDUOUS	7
10299	DECIDUOUS	18
10301	CONIFEROUS	32
10302	DECIDUOUS	36
10303	DECIDUOUS	6
10304	DECIDUOUS	6
10305	DECIDUOUS	8,8
10306	CONIFEROUS	26
10307	CONIFEROUS	24
10308	DECIDUOUS	12
10309	CONIFEROUS	6,6
10315	CONIFEROUS	18
10316	CONIFEROUS	18
10317	CONIFEROUS	20
10318	CONIFEROUS	14
10319	DECIDUOUS	11
10320	DECIDUOUS	6
10321	DECIDUOUS	6
10324	CONIFEROUS	30
10325	CONIFEROUS	22
10326	CONIFEROUS	24
10344	CONIFEROUS	24
10346	CONIFEROUS	28
10347	CONIFEROUS	13
10348	CONIFEROUS	18
10349	CONIFEROUS	24
10353	CONIFEROUS	42
10354	DECIDUOUS	6
10355	DECIDUOUS	18
10356	DECIDUOUS	24
10359	DECIDUOUS	19

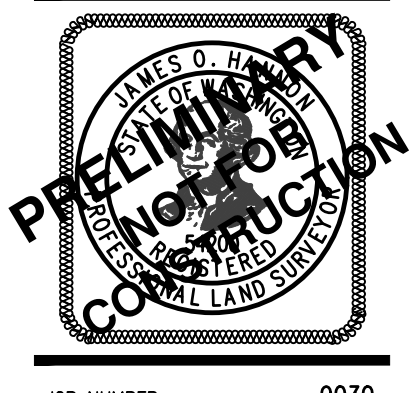
TREE NUMBER	TYPE	DBH (IN.)
10363	DECIDUOUS	20
10368	DECIDUOUS	6,6
10369	CONIFEROUS	30
10370	DECIDUOUS	6
10371	CONIFEROUS	24
10372	CONIFEROUS	26
10373	DECIDUOUS	18
10375	DECIDUOUS	6,6
10376	DECIDUOUS	6
10377	CONIFEROUS	28
10378	CONIFEROUS	22
10379	CONIFEROUS	22
10380	CONIFEROUS	14
10381	CONIFEROUS	28
10382	CONIFEROUS	20
10383	CONIFEROUS	21
10384	CONIFEROUS	21
10390	CONIFEROUS	24
10393	CONIFEROUS	24
10394	CONIFEROUS	18
10395	CONIFEROUS	15
10396	CONIFEROUS	18
10400	DECIDUOUS	16
10401	CONIFEROUS	24
10403	CONIFEROUS	19
10405	CONIFEROUS	26
10407	DECIDUOUS	31
10408	CONIFEROUS	28
10409	DECIDUOUS	6
10427	CONIFEROUS	40
10428	CONIFEROUS	30

TREE NUMBER	TYPE	DBH (IN.)
10432	CONIFEROUS	30
10433	CONIFEROUS	30
10434	CONIFEROUS	26
10435	CONIFEROUS	28
10440	CONIFEROUS	30
10441	CONIFEROUS	16
10442	DECIDUOUS	22
10443	DECIDUOUS	9,6
10444	DECIDUOUS	9,6
10445	DECIDUOUS	8
10446	DECIDUOUS	6
10447	DECIDUOUS	6
10448	CONIFEROUS	27
10449	CONIFEROUS	31, SNAG
10745	CONIFEROUS	38
10755	CONIFEROUS	36
10756	CONIFEROUS	26
10761	CONIFEROUS	28, SNAG
10767	CONIFEROUS	6
10827	CONIFEROUS	26
10834	CONIFEROUS	26
10835	CONIFEROUS	48
10836	CONIFEROUS	26
10839	CONIFEROUS	8
10840	CONIFEROUS	28
10841	DECIDUOUS	19
10842	CONIFEROUS	25
10843	CONIFEROUS	25
10866	DECIDUOUS	26
10867	CONIFEROUS	20
10868	CONIFEROUS	24

TREE NUMBER	TYPE	DBH (IN.)
10869	CONIFEROUS	30
10871	CONIFEROUS	30
10873	DECIDUOUS	18
10874	DECIDUOUS	16
10875	CONIFEROUS	16
10876	CONIFEROUS	25
10877	DECIDUOUS	13
10878	CONIFEROUS	24
10879	DECIDUOUS	14
10880	DECIDUOUS	20
10881	DECIDUOUS	15
10882	CONIFEROUS	30
10883	CONIFEROUS	30
10889	CONIFEROUS	36,15
10890	CONIFEROUS	28
10891	CONIFEROUS	32
10892	DECIDUOUS	12
10893	DECIDUOUS	18
10894	DECIDUOUS	12
10895	DECIDUOUS	24
10897	CONIFEROUS	20
10898	CONIFEROUS	24
10899	DECIDUOUS	8,8
10900	CONIFEROUS	22
10901	DECIDUOUS	6

TREE NUMBER	TYPE	DBH (IN.)
10902	DECIDUOUS	7
10903	DECIDUOUS	26
10904	DECIDUOUS	12
10910	DECIDUOUS	12,12,8
10911	CONIFEROUS	12
10912	CONIFEROUS	18
10913	CONIFEROUS	22, SNAG
10914	DECIDUOUS	13
10915	CONIFEROUS	26
10916	DECIDUOUS	20
10917	CONIFEROUS	26
21122	DECIDUOUS	7
21798	CONIFEROUS	32
21803	CONIFEROUS	36
21804	CONIFEROUS	37

**EXISTING CONDITIONS PLAN
CAMAS MEADOWS SUBDIVISION
ROMANO CAPITAL
CITY OF CAMAS, WASHINGTON**



JOB NUMBER: 9030
DATE: 8/3/2023
DESIGNED BY: DJL
DRAWN BY: DJL
CHECKED BY: JMM

EXISTING LAND USE NOTES:

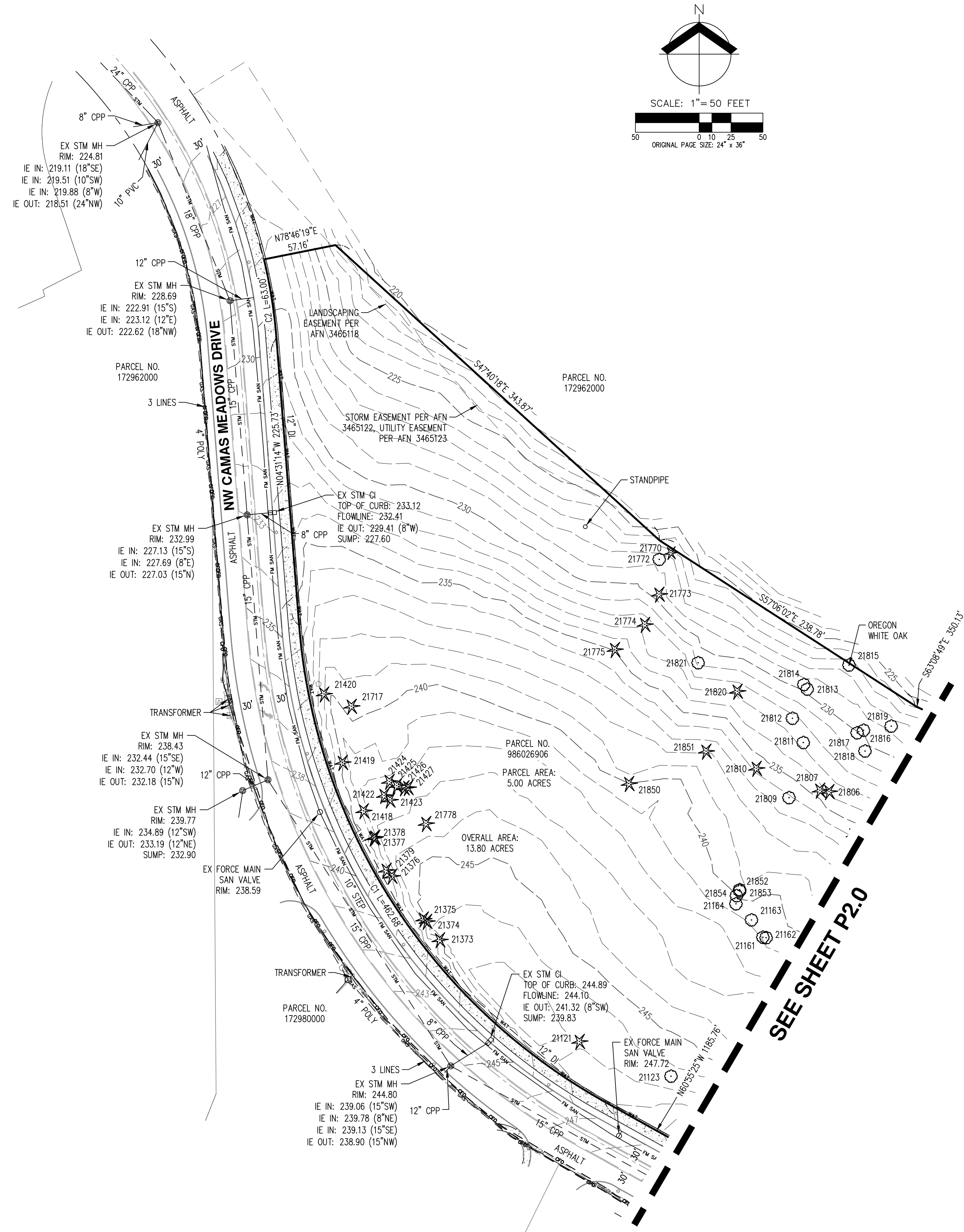
- THE SITE CONSISTS OF PARCELS 175980-000, 172973-000, 172963-000, 986035-734, 986035-733, 172970-000, & 986026-906.
- TOTAL SITE AREA IS 13.81 ACRES (601,725 SQUARE FEET).
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- PER CLARK COUNTY GIS THERE ARE NO FLOODPLAINS, FLOOD FRINGE, OR FLOODWAY ON SITE.
- PER CLARK COUNTY GIS THE SITE DOES NOT CONTAIN SHORELINES OF THE STATE.
- PER CLARK COUNTY GIS NO WATERBODIES OR WETLANDS EXIST ON SITE.
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- PER CLARK COUNTY GIS NO PRIORITY HABITAT AND SPECIES AREAS EXIST ON SITE.
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- EASEMENTS EXIST ON SITE AND ARE SHOWN ON THE PLANS.
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- PER CLARK COUNTY GIS NO PEDESTRIAN OR BICYCLE FACILITIES EXIST WITHIN 100 FEET OF THE SITE.
- PER CLARK COUNTY GIS NO TRANSIT ROUTES EXIST WITHIN 600 FEET OF THE SITE. THE NEAREST STOP IS LOCATED ON SE 1932D AVENUE ±2.1 MILES SOUTHWEST OF THE SITE.
- THE NEAREST FIRE HYDRANTS ARE LOCATED ADJACENT TO THE SITE ALONG NW CAMAS MEADOWS DRIVE AND SHOWN ON THE PLANS.
- PER CLARK COUNTY GIS NO SEPTIC SYSTEMS OR WELLS EXIST ON SITE.

CURVE TABLE				
CURVE	RADIUS	DELTA	LENGTH	CHORD
C1	470.00'	56°24'11"	462.68'	N32°43'20"W 444.22'
C2	405.00'	8°54'45"	63.00'	N8°58'37"W 62.94'

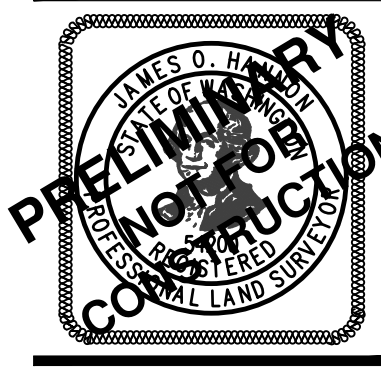
TREE TABLE		
TREE NUMBER	TYPE	DBH (IN.)
21121	CONIFEROUS	6
21123	DECIDUOUS	7
21160	DECIDUOUS	6
21161	DECIDUOUS	6
21162	DECIDUOUS	6
21163	DECIDUOUS	6
21164	DECIDUOUS	8
21373	CONIFEROUS	8
21374	CONIFEROUS	6
21375	CONIFEROUS	6
21376	CONIFEROUS	6
21377	CONIFEROUS	7
21378	CONIFEROUS	6
21379	CONIFEROUS	6
21418	CONIFEROUS	6
21419	CONIFEROUS	6
21420	CONIFEROUS	7
21422	CONIFEROUS	6
21423	CONIFEROUS	6
21424	CONIFEROUS	6

TREE TABLE		
TREE NUMBER	TYPE	DBH (IN.)
21425	CONIFEROUS	7
21426	CONIFEROUS	7
21427	CONIFEROUS	6,6
21717	CONIFEROUS	8
21770	CONIFEROUS	44
21771	CONIFEROUS	30
21772	DECIDUOUS	6
21773	CONIFEROUS	28
21774	CONIFEROUS	54
21775	CONIFEROUS	77
21778	CONIFEROUS	8
21806	CONIFEROUS	30
21807	CONIFEROUS	23
21809	CONIFEROUS	14
21810	CONIFEROUS	27
21812	DECIDUOUS	9
21814	DECIDUOUS	8
21814	DECIDUOUS	17
21815	DECIDUOUS	17

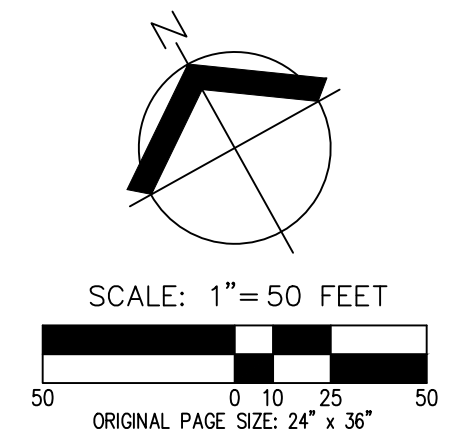
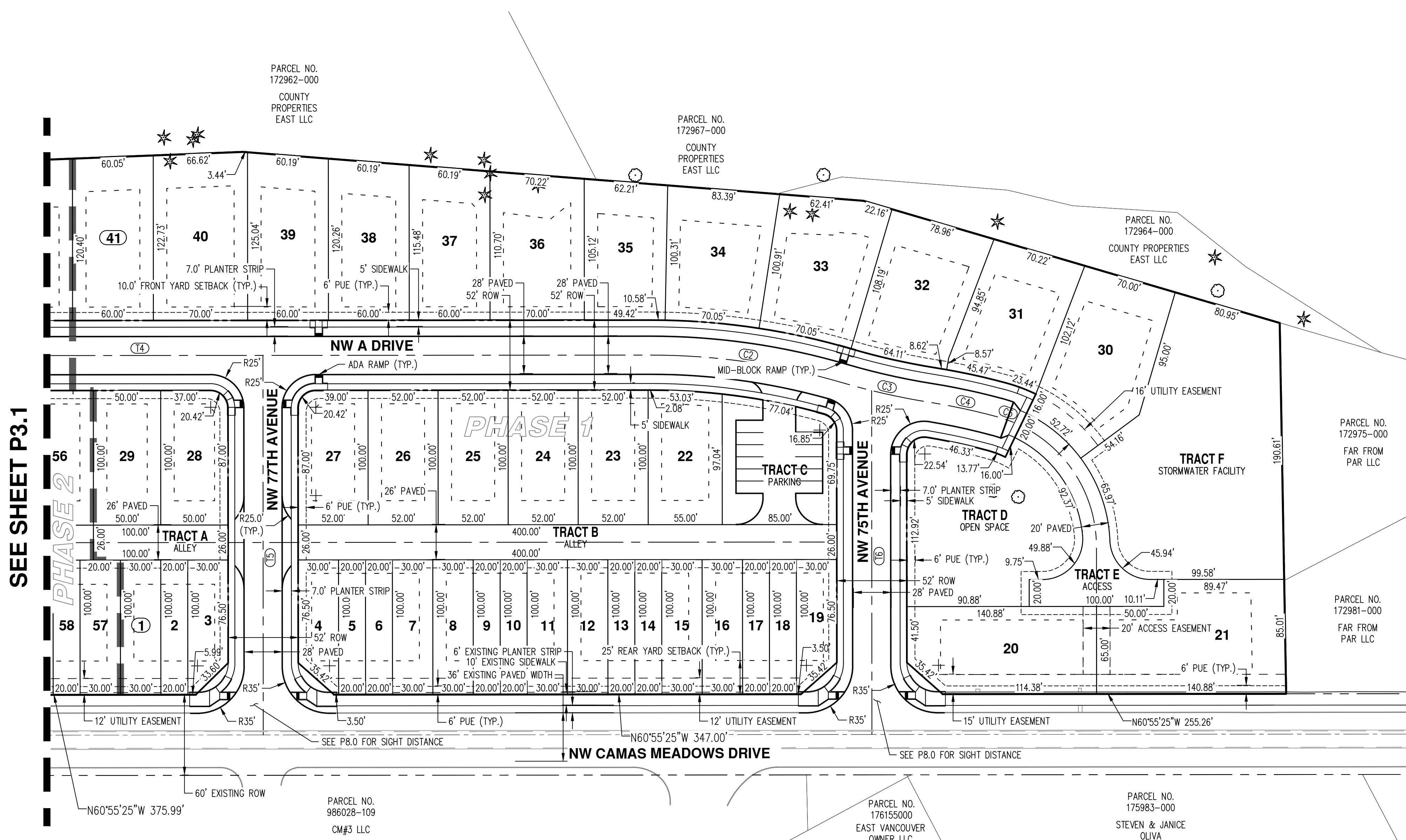
TREE TABLE		
TREE NUMBER	TYPE	DBH (IN.)
21816	DECIDUOUS	16
21817	DECIDUOUS	12
21818	DECIDUOUS	15
21819	DECIDUOUS	8
21820	CONIFEROUS	36
21821	DECIDUOUS	6
21850	CONIFEROUS	7
21851	CONIFEROUS	7
21852	DECIDUOUS	6
21853	DECIDUOUS	6
21854	DECIDUOUS	6



**EXISTING CONDITIONS PLAN
 CAMAS MEADOWS SUBDIVISION
 ROMANO CAPITAL
 CITY OF CAMAS, WASHINGTON**



JOB NUMBER: 9030
 DATE: 8/3/2023
 DESIGNED BY: D.J.L.
 DRAWN BY: D.J.L.
 CHECKED BY: JMM



GENERAL NOTES

- TOTAL SITE AREA IS 13.81 ACRES (600,725 SQUARE FEET).
- NO WETLAND, STREAM, OR STEEP BANK BUFFER AREAS, OR PROTECTED AREAS EXIST ON SITE.
- NO PLANNED ENHANCEMENT AREAS ARE PROPOSED.
- NO STRUCTURES EXIST ON SITE.
- NO TRANSIT FACILITIES ARE PROPOSED.
- NO BICYCLE FACILITIES BEYOND THOSE LOCATED IN THE RIGHT-OF-WAY ARE PROPOSED.
- NW 75TH AVENUE, NW 77TH AVENUE, AND NW 4 DRIVE ARE PUBLIC WITH ASPHALT SURFACING.
- NO ROADS ON OR WITHIN 500 FEET OF THE SITE PROPOSED TO PROVIDE SITE ACCESS ARE IN EXCESS OF 15% GRADE.
- NW CAMAS MEADOWS DRIVE IS PUBLIC WITH ASPHALT SURFACING.
- SIGHT DISTANCE TRIANGLES ARE SHOWN ON SHEET P8.0.
- ALL PROPOSED EASEMENTS ARE SHOWN ON THE PLANS.
- NO HARD LANDSCAPING FEATURES ARE PROPOSED.
- SEE SHEETS P9.0 AND 9.1 FOR LANDSCAPE PLANS.
- THE DEVELOPMENT PROPOSES TO SUBDIVIDE SEVEN PARCELS INTO 77 ATTACHED AND DETACHED SINGLE-FAMILY LOTS, AND ONE COMMERCIAL LOT.
- THE DEVELOPMENT WILL CONSTRUCT FOUR INTERNAL STREETS. PROPOSED STREETS TO INCLUDE A 52-FOOT RIGHT-OF-WAY, 28-FOOT PAVED WIDTH, 7-FOOT PLANTER STRIP, AND 5-FOOT DETACHED SIDEWALK PER CITY OF CAMAS STANDARD DETAIL ST3.
- SURFACE MATERIAL FOR ALL PROPOSED ROADWAYS IS ASPHALT.
- ALL PROPOSED HOMES WILL BE CONSTRUCTED WITH FIRE SPRINKLERS.
- ALL LOTS WILL BE SERVED WITH PUBLIC SANITARY SEWER AND WATER BY CITY OF CAMAS. WATER AND SEWER WILL BE EXTENDED FROM THE LINES IN NW CAMAS MEADOWS DRIVE INTO THE SITE.
- STORMWATER FROM SUBDIVISION WILL BE COLLECTED ON SITE AND CONVEYED TO A MECHANICAL FILTER VAULT AND UNDERGROUND DETENTION IN TRACT F PRIOR TO DISCHARGING AT THE NORTHEAST CORNER OF THE SITE. STORMWATER FROM COMMERCIAL LOT WILL BE COLLECTED ON SITE AND CONVEYED TO MECHANICAL FILTER CATCH BASINS AND UNDERGROUND DETENTION PRIOR TO DISCHARGING AT THE NORTH CORNER OF THE SITE. STORMWATER TO BE DESIGNED PER CITY OF CAMAS STANDARDS.
- OPEN SPACE/PARKING TRACTS C & G TO BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION (HOA).
- ACCESS TRACTS A, B, E, & H TO BE OWNED AND MAINTAINED BY THE HOA.
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- LOTS 20, 21, AND 30-48 WILL BE FRONT LOADED STANDARD DETACHED HOMES.
- LOTS 22-29 AND 49-56 WILL EITHER BE REAR LOADED OR FRONT LOADED STANDARD DETACHED HOMES, LOT ACCESS WILL BE BASED ON FINAL GRADING.
- NW CAMAS MEADOWS FRONTAGE IMPROVEMENTS WILL INCLUDE: REPLACEMENT OF DAMAGED CURB AND SIDEWALK, GRIND AND INLAY AT NW 75TH AVENUE AND NW 77TH AVENUE.

SEE SHEET P3.1

PARCEL AREA TABLE

PARCEL #	AREA (SF)
1	3,000
2	2,000
3	2,718
4	2,689
5	2,000
6	2,000
7	3,000
8	3,000
9	2,000
10	2,000
11	3,000
12	3,000
13	2,000
14	2,000

PARCEL AREA TABLE

PARCEL #	AREA (SF)
15	3,000
16	3,000
17	2,000
18	2,000
19	2,689
20	8,846
21	10,915
22	5,448
23	5,200
24	5,200
25	5,200
26	5,200
27	5,164
28	4,964

PARCEL AREA TABLE

PARCEL #	AREA (SF)
29	5,000
30	9,138
31	7,089
32	7,974
33	8,115
34	7,645
35	6,266
36	7,554
37	6,786
38	7,072
39	7,359
40	8,686
41	7,294

SITE STATISTICS

PARCEL ZONE: MIXED USE (MX)
GROSS AREA: 13.81 AC (601,725 SF)
TOTAL ROW DEDICATION: 98,650 SF (2.27 AC)
MINIMUM LOT AREA: 2,000 SF
MAXIMUM LOT AREA: 10,915 SF
PROPOSED AVERAGE LOT AREA: 4,696 SF

LOT STATISTICS

ATTACHED REAR LOAD: 40
DETACHED FRONT LOAD: 37
COMMERCIAL: 1
TOTAL LOTS: 78

DEVELOPMENT STANDARDS

MINIMUM FRONT YARD SETBACK: 10 FEET
GARAGE SETBACK: 5 FEET FROM FRONT OF DWELLING
MINIMUM SIDE YARD: 10 FEET
MINIMUM STREET SIDE YARD: 10 FEET
MINIMUM REAR YARD: 25 FEET

RESIDENTIAL PARKING STATISTICS

REQUIRED PARKING: 1 SPACE/5 LOTS
PROPOSED PARKING: 15 SPACES (77 LOTS/5 LOTS/SPACE)
TRACT C: 11 SPACES
TRACT G: 4 SPACES
TOTAL PROPOSED: 15 SPACES

TRACT PURPOSE AREA

TRACT	PURPOSE	AREA
TRACT A	ALLEY	2,600 SF
TRACT B	ALLEY	10,400 SF
TRACT C	OPEN SPACE/PARKING	7,600 SF
TRACT D	OPEN SPACE	13,831 SF
TRACT E	ACCESS	5,117 SF
TRACT F	STORMWATER FACILITY	23,425 SF
TRACT G	OPEN SPACE/PARKING	5,138 SF
TRACT H	ALLEY	13,083 SF
TRACT I	OPEN SPACE	2,270 SF
TRACT J	OPEN SPACE/ACCESS	4,664 SF
TOTAL		88,128 SF

APPLICANT/CONTACT

ROMANO DEVELOPMENT, LLC
CONTACT: STACEY SHIELDS
4610 NE 77TH AVENUE, SUITE 102
VANCOUVER, WA 98682
PH: (360) 904-4759
EMAIL: STACEY@ROMANOFINANCIAL.COM

OWNERS

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2370 E 3RD LOOP SUITE 100
VANCOUVER, WA 98661

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VANCOUVER, WA 98682
PH: 360-882-0419
FAX: 360-882-0426
E-MAIL: ANDREOTTI@AKS-ENG.COM

PROPERTY DESCRIPTION

LOCATED IN THE NORTHWEST AND SOUTHWEST 1/4 OF SECTION 28, TOWNSHIP 2 NORTH, RANGE 3 EAST AND THE NORTHEAST 1/4 OF SECTION 29, TOWNSHIP 2 NORTH, RANGE 3 EAST, WILLAMETTE MERIDIAN, CLARK COUNTY, WASHINGTON. PROPERTY SERIAL NO.'S 175980-000, 172973-000, 172963-000, 986035-734, 986035-733, 172970-000, & 986026-906.

EXISTING LAND USE

UNDEVELOPED ZONED MIXED USE (MX)

PROJECT PURPOSE

PHASED MIXED USE SUBDIVISION WITH 77 SINGLE-FAMILY RESIDENTIAL LOTS AND ONE COMMERCIAL LOT WITH ASSOCIATED ROAD AND OTHER SITE IMPROVEMENTS.

SITE AREA

13.81 AC (601,725 SF)

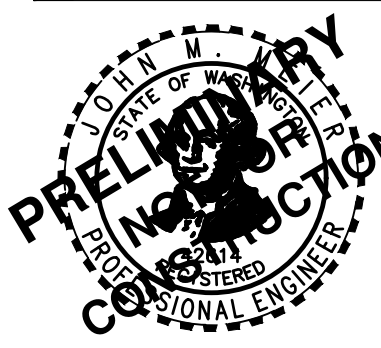
CENTERLINE TANGENT TABLE

LINE #	LENGTH	DIRECTION
T1	171.70	S65° 51' 46.18"W
T2	31.67	S42° 22' 23.73"W
T3	88.24	S47° 37' 36.27"E
T4	704.72	S60° 55' 25.29"E
T5	282.00	S29° 04' 34.71"W
T6	255.50	S29° 04' 34.71"W

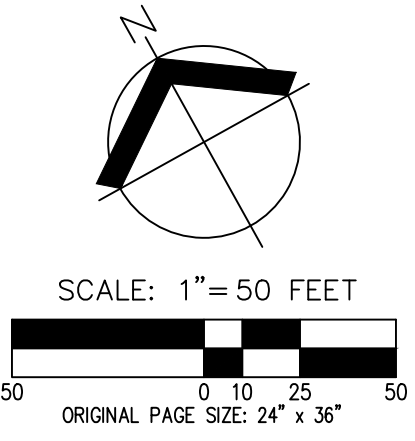
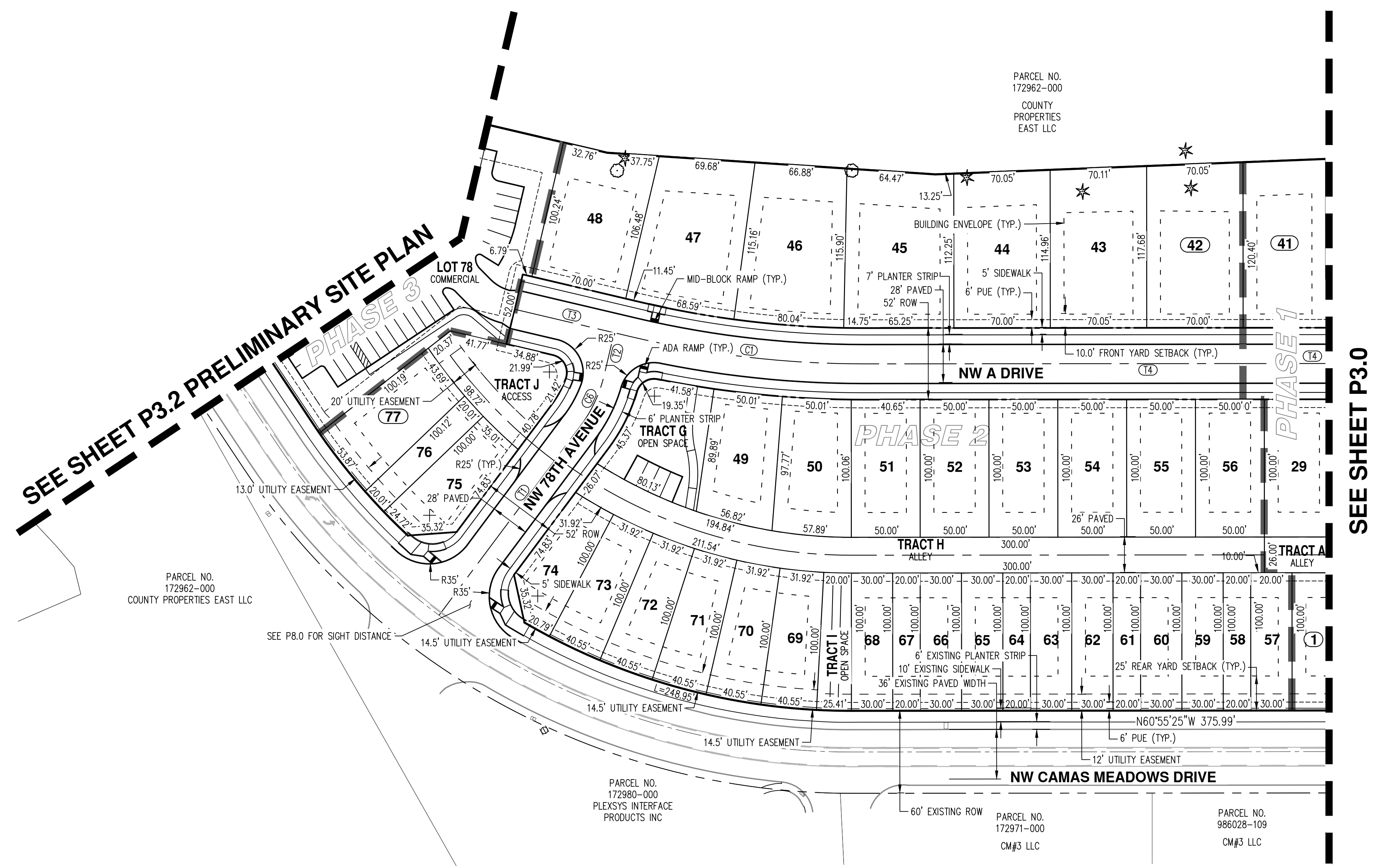
CENTERLINE CURVE TABLE

CURVE #	ARC LENGTH	DELTA	RADIUS
C1	169.42	131°7'49"	730.00
C2	143.24	16°24'49"	500.00
C3	67.45	7°20'49"	526.00
C4	51.28	6°11'53"	474.00
C5	130.44	74°44'07"	100.00
C6	41.00	23°29'22"	100.00

PRELIMINARY SUBDIVISION PLAT
CAMAS MEADOWS SUBDIVISION
ROMANO CAPITAL
CITY OF CAMAS, WASHINGTON



JOB NUMBER: 9030
DATE: 8/3/2023
DESIGNED BY: DJL
DRAWN BY: DJL
CHECKED BY: JMM



GENERAL NOTES

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- NO STRUCTURES EXIST ON SITE.
- NO TRANSIT FACILITIES ARE PROPOSED.
- NO BICYCLE FACILITIES BEYOND THOSE LOCATED IN THE RIGHT-OF-WAY ARE PROPOSED.
- NW 75TH AVENUE, NW 77TH AVENUE, NW 78TH AVENUE, AND NW A DRIVE ARE PUBLIC WITH ASPHALT SURFACING.
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- NW CAMAS MEADOWS FRONTAGE IMPROVEMENTS WILL INCLUDE: REPLACEMENT OF DAMAGED CURB AND SIDEWALK, GRIND AND INLAY AT NW 75TH AVENUE AND NW 77TH AVENUE.

PARCEL AREA TABLE

PARCEL #	AREA (SF)
42	8,333
43	8,149
44	7,952
45	8,949
46	8,531
47	8,316
48	7,134
49	5,010
50	5,358
51	5,000
52	5,000
53	5,000
54	5,000
55	5,000
56	5,000
57	3,000
58	2,000
59	3,000

PARCEL AREA TABLE

PARCEL #	AREA (SF)
60	3,000
61	2,000
62	3,000
63	3,000
64	2,000
65	3,000
66	3,000
67	2,000
68	3,000
69	3,624
70	3,624
71	3,624
72	3,624
73	3,624
74	3,634
75	3,984
76	2,001
77	4,878

SITE STATISTICS

PARCEL ZONE: MIXED USE (MX)
GROSS AREA: 13.81 AC (601,725 SF)
TOTAL ROW DEDICATION: 98,650 SF (2.27 AC)
MINIMUM LOT AREA: 2,000 SF
MAXIMUM LOT AREA: 10,915 SF
PROPOSED AVERAGE LOT AREA: 4,696 SF

LOT STATISTICS

ATTACHED REAR LOAD: 40
DETACHED FRONT LOAD: 37
COMMERCIAL: 1
TOTAL LOTS: 78

DEVELOPMENT STANDARDS

MINIMUM FRONT YARD SETBACK: 10 FEET
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PROPOSED PARKING: 15 SPACES (77 LOTS/5 LOTS/SPACE)
TRACT C: 11 SPACES
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TOTAL PROPOSED: 15 SPACES

TRACT PURPOSE AREA

TRACT	PURPOSE	AREA
TRACT A	ALLEY	2,600 SF
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TOTAL		88,128 SF

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CONTACT: STACEY SHIELDS
4610 NE 77TH AVENUE, SUITE 102
VANCOUVER, WA 98682
PH: (360) 904-4759
EMAIL: STACEY@ROMANOFINANCIAL.COM

OWNERS

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2370 E 3RD LOOP SUITE 100
VANCOUVER, WA 98661

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EXISTING LAND USE

UNDEVELOPED ZONED MIXED USE (MX)

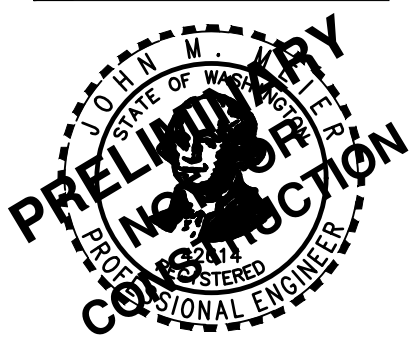
PROJECT PURPOSE

PHASED MIXED USE SUBDIVISION WITH 77 SINGLE-FAMILY RESIDENTIAL LOTS AND ONE COMMERCIAL LOT WITH ASSOCIATED ROAD AND OTHER SITE IMPROVEMENTS.

SITE AREA

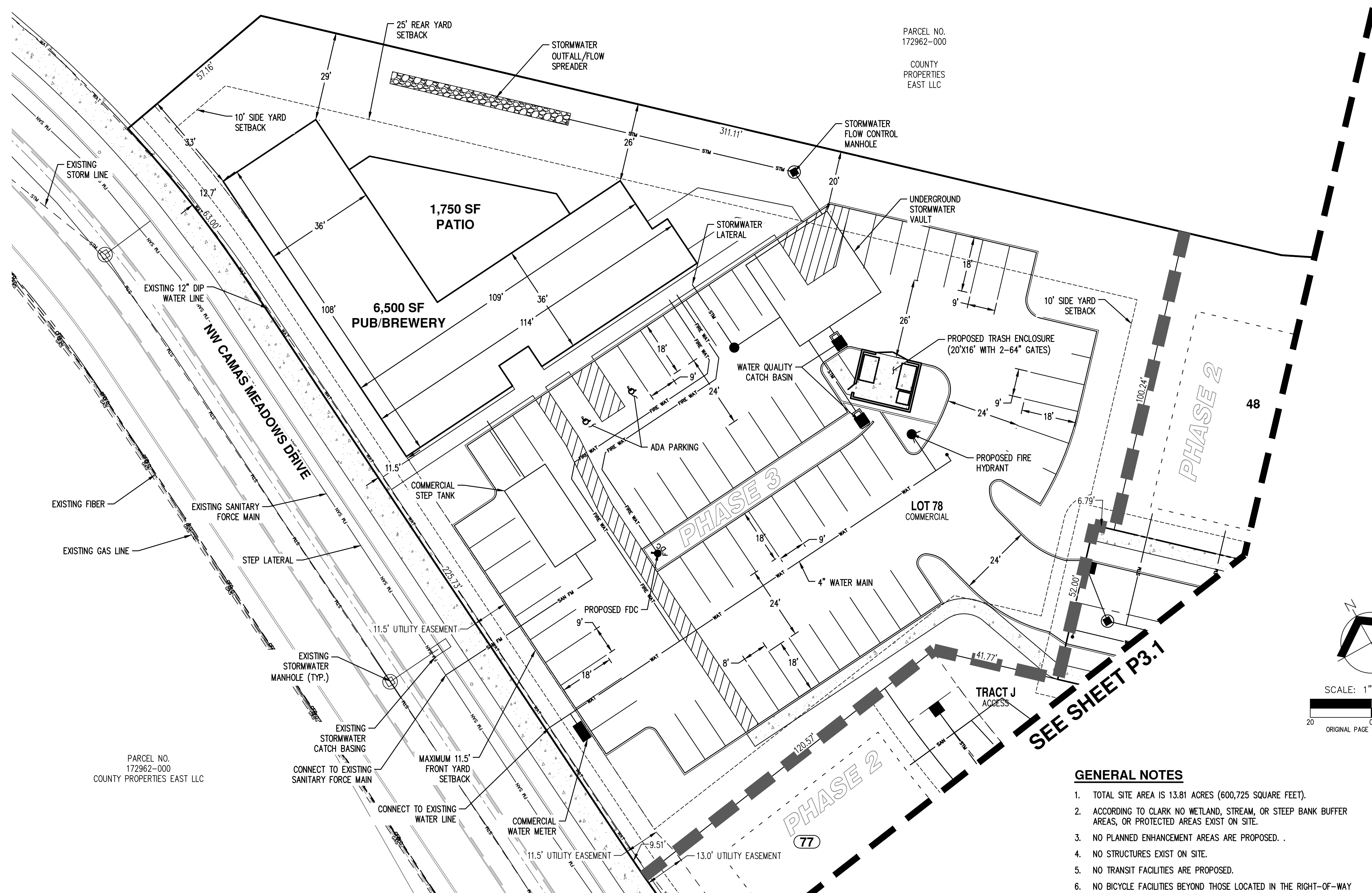
13.81 AC (601,725 SF)

PRELIMINARY SUBDIVISION PLAT
CAMAS MEADOWS SUBDIVISION
ROMANO CAPITAL
CITY OF CAMAS, WASHINGTON



JOB NUMBER:	9030
DATE:	8/3/2023
DESIGNED BY:	D.J.L.
DRAWN BY:	D.J.L.
CHECKED BY:	J.M.M.

THE PURPOSE OF THIS PRELIMINARY PLAT IS TO SHOW THE PROPOSED LOT DIMENSIONS AND AREAS FOR PLANNING PURPOSES. THIS IS NOT AN OFFICIAL PLAT AND IS NOT TO BE USED FOR SURVEY PURPOSES.



PARCEL NO.
172962-000

COUNTY
PROPERTIES
EAST LLC

PARCEL NO.
172962-000
COUNTY PROPERTIES EAST LLC

APPLICANT/CONTACT
ROMANO DEVELOPMENT, LLC
CONTACT: STACEY SHIELDS
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VANCOUVER, WA 98682
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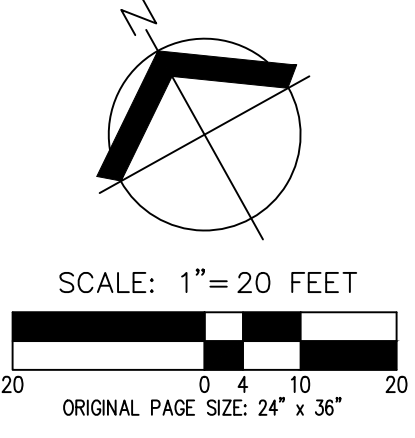
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UNDEVELOPED ZONED MIXED USE (MX)

PROJECT PURPOSE
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SITE AREA
13.81 AC (601,725 SF)



GENERAL NOTES

- TOTAL SITE AREA IS 13.81 ACRES (600,725 SQUARE FEET).
- ACCORDING TO CLARK NO WETLAND, STREAM, OR STEEP BANK BUFFER AREAS, OR PROTECTED AREAS EXIST ON SITE.
- NO PLANNED ENHANCEMENT AREAS ARE PROPOSED.
- NO STRUCTURES EXIST ON SITE.
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- NO BICYCLE FACILITIES BEYOND THOSE LOCATED IN THE RIGHT-OF-WAY ARE PROPOSED.
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- SEE SHEETS P9.0 AND 9.1 FOR LANDSCAPE PLANS.
- STRUCTURE SQUARE FEET IS NOTED/SHOWN ON THE PLAN.
- SEE ARCHITECTURAL PLANS INCLUDED IN THE APPLICATION SUBMITTAL PACKAGE FOR BUILDING ELEVATIONS AND FLOOR PLANS.
- RECYCLABLE AND SOLID WASTE STORAGE IS SHOWN ON THE PLANS.
- SEE SHEETS 10.0 AND 10.1 FOR OUTDOOR LIGHTING PLANS.
- LOT 78, COMMERCIAL LOT, WILL BE SERVED WITH PUBLIC SANITARY SEWER AND WATER BY CITY OF CAMAS. WATER AND SEWER WILL BE EXTENDED FROM THE LINES IN NW CAMAS MEADOWS DRIVE INTO THE SITE.
- STORMWATER WILL BE COLLECTED ON SITE AND CONVEYED TO MECHANICAL FILTER CATCH BASINS AND UNDERGROUND DETENTION PRIOR TO DISCHARGING AT THE NORTH CORNER OF THE SITE. STORMWATER TO BE DESIGNED PER CITY OF CAMAS STANDARDS.
- STORMWATER FACILITIES TO BE PRIVATELY OWNED AND MAINTAINED.
- NW CAMAS MEADOWS FRONTAGE IMPROVEMENTS WILL INCLUDE: REPLACEMENT OF DAMAGED CURB AND SIDEWALK.

SITE STATISTICS

PARCEL ZONE:	MIXED USE (MX)
GROSS AREA:	13.81 AC (601,725 SF)
TOTAL ROW DEDICATION:	98,650 SF (2.27 AC)
MINIMUM LOT AREA:	2,000 SF
MAXIMUM LOT AREA:	10,915 SF
PROPOSED AVERAGE LOT AREA:	4,696 SF

DEVELOPMENT STANDARDS

MINIMUM SIDE YARD:	10 FEET
MINIMUM STREET SIDE YARD:	11.5 FEET
MINIMUM REAR YARD:	25 FEET
MAXIMUM FRONT YARD:	10 FEET

COMMERCIAL PARKING STATISTICS

REQUIRED PARKING STALLS (6,500/100):	65
PROPOSED STANDARD PARKING STALLS (9' X 18'):	52
PROPOSED COMPACT PARKING STALLS (8' X 18'):	11
PROPOSED ADA PARKING STALLS (9' X 18'):	2
TOTAL PROPOSED PARKING STALLS:	65

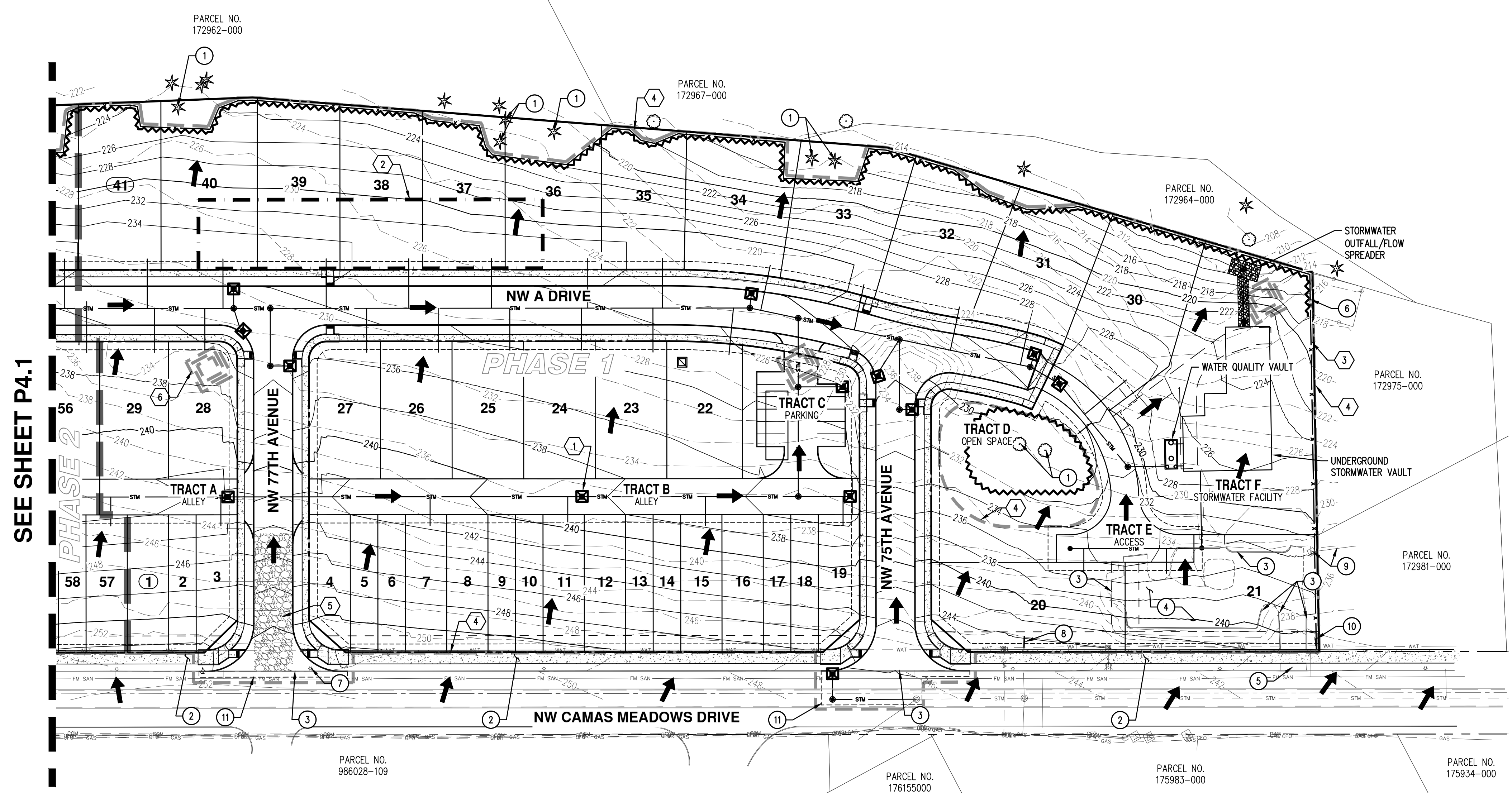
COMMERCIAL LOT STATISTICS

ZONE:	MIXED USE (MX)
GROSS SITE AREA:	52,960 SF (1.22 AC)
ROW DEDICATION:	N/A
NET PROJECT AREA:	52,960 SF (1.22 AC)
DISTURBED AREA:	52,960 SF (1.22 AC)
PROPOSED BUILDING AREA:	6,500 SF
LANDSCAPED AREA:	19,278 SF (36.4%)
IMPERVIOUS AREA:	33,682 SF (63.6%)

**PRELIMINARY SITE PLAN
CAMAS MEADOWS SUBDIVISION
ROMANO CAPITAL
CITY OF CAMAS, WASHINGTON**



JOB NUMBER: 9030
DATE: 8/3/2023
DESIGNED BY: D.J.L.
DRAWN BY: D.J.L.
CHECKED BY: J.M.M.



SEE SHEET P4.1

LEGEND

EXISTING GROUND CONTOUR (2 FT)	---342---
EXISTING GROUND CONTOUR (10 FT)	---350---
FINISHED GRADE CONTOUR (2 FT)	---342---
FINISHED GRADE CONTOUR (10 FT)	---350---
SEDIMENT FENCE (TO BE INSTALLED PRIOR TO GRADING)	---X---
INLET PROTECTION (TYP) PER COMBINATION DETAIL	--->---
PROPOSED DRAINAGE FLOW DIRECTION	--->---
GRAVEL CONSTRUCTION ENTRANCE	[Gravel Pattern]
DISTURBED LIMITS	--- ---
TREE PROTECTION/CONSTRUCTION FENCE	--- ---
POTENTIAL STAGING/SOIL STOCKPILE AREA	--- ---
CONCRETE WASHOUT AREA	--- ---

GENERAL NOTES

- SEE THE PRELIMINARY TREE PRESERVATION AND REMOVAL PLAN P5.0 FOR TREE PROTECTION AND CONSTRUCTION FENCE LOCATIONS AND TREE ROOT PROTECTION ZONE RADIUS ZONES.
- ADDITIONAL EROSION CONTROL MEASURES WILL BE INCLUDED DURING FINAL ENGINEERING TO ACCOUNT FOR GRADING ON STEEP SLOPES AND CONSTRUCTION PHASING.
- RETAINING WALLS MAY BE NECESSARY TO COMPLETE THIS PROJECT. WALL LOCATIONS WILL BE DETERMINED WITH FINAL ENGINEERING IF NECESSARY.

DEMOLITION KEYED NOTES

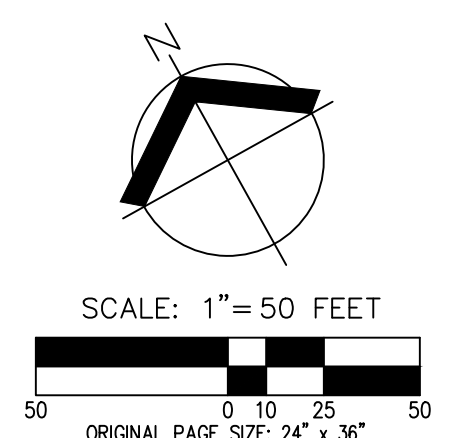
- EXISTING TREE TO REMAIN (TYP).
- REPLACE ALL DAMAGED CURB AND SIDEWALK ALONG CAMAS MEADOWS FRONTAGE (TYP).
- REMOVE EXISTING CURB.
- REMOVE EXISTING ASPHALT.
- REMOVE EXISTING DRIVEWAY.
- REMOVE EXISTING FENCE.
- RELOCATE EXISTING STREET LIGHT.
- REMOVE EXISTING SIGN.
- REMOVE EXISTING TRANSFORMER AND ASSOCIATED WIRE.
- REMOVE EXISTING WATER METER AND ASSOCIATED SERVICE LINE.
- SAWCUT AND REMOVE EXISTING ASPHALT, AND GRIND AND INLAY NEW ASPHALT.

EROSION CONTROL KEYED NOTES

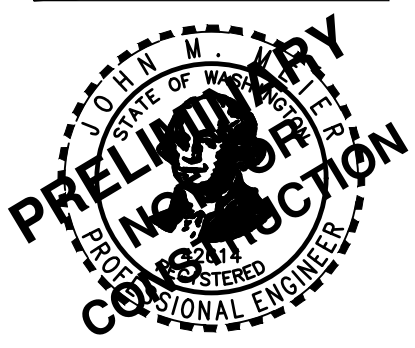
- INSTALL INLET PROTECTION (TYP).
- POTENTIAL STOCKPILE AREA.
- INSTALL SEDIMENT FENCE (TYP).
- DISTURBED LIMITS (TYP).
- CONSTRUCTION ENTRANCE.
- INSTALL TEMPORARY SEDIMENT TRAP (TYP).

PRELIMINARY GRADING QUANTITIES

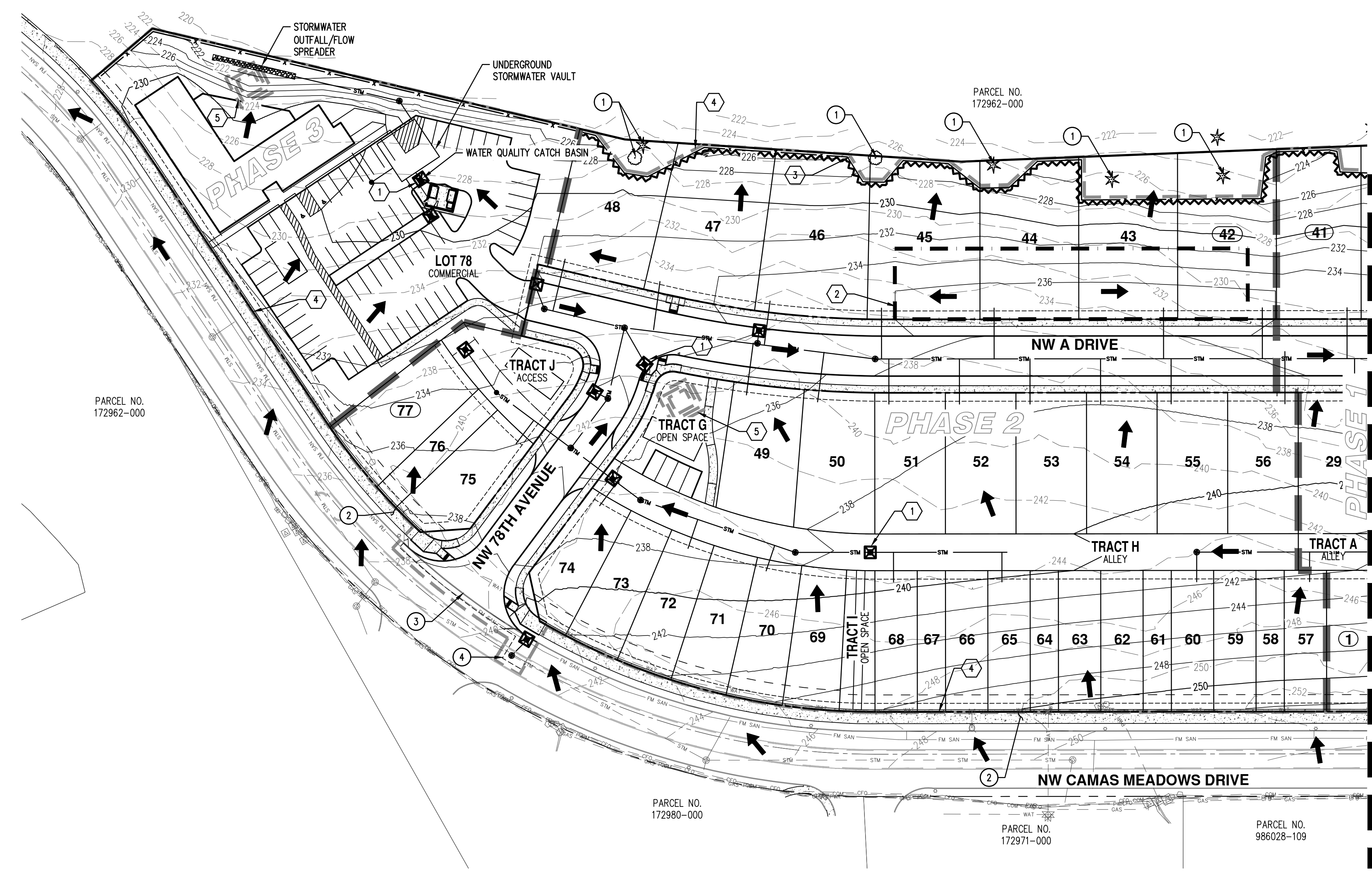
CUT: 30,000 C.Y.
 FILL: 30,000 C.Y.



**PRELIMINARY GRADING, DEMOLITION, AND ESC PLAN
 CAMAS MEADOWS SUBDIVISION
 ROMANO CAPITAL
 CITY OF CAMAS, WASHINGTON**



JOB NUMBER: 9030
 DATE: 8/3/2023
 DESIGNED BY: D.J.L.
 DRAWN BY: D.J.L.
 CHECKED BY: JMM



SEE SHEET P4.0

LEGEND

EXISTING GROUND CONTOUR (2 FT)	---342---
EXISTING GROUND CONTOUR (10 FT)	---350---
FINISHED GRADE CONTOUR (2 FT)	---342---
FINISHED GRADE CONTOUR (10 FT)	---350---
SEDIMENT FENCE (TO BE INSTALLED PRIOR TO GRADING)	---X---
INLET PROTECTION (TYP) PER COMBINATION DETAIL	---X---
PROPOSED DRAINAGE FLOW DIRECTION	→
GRAVEL CONSTRUCTION ENTRANCE	[Gravel Pattern]
DISTURBED LIMITS	--- ---
TREE PROTECTION/CONSTRUCTION FENCE	--- ---
POTENTIAL STAGING/SOIL STOCKPILE AREA	--- ---
CONCRETE WASHOUT AREA	--- ---

GENERAL NOTES

- SEE THE PRELIMINARY TREE PRESERVATION AND REMOVAL PLAN P5.0 FOR TREE PROTECTION AND CONSTRUCTION FENCE LOCATIONS AND TREE ROOT PROTECTION ZONE RADIUS ZONES.
- ADDITIONAL EROSION CONTROL MEASURES WILL BE INCLUDED DURING FINAL ENGINEERING TO ACCOUNT FOR GRADING ON STEEP SLOPES AND CONSTRUCTION PHASING.
- RETAINING WALLS MAY BE NECESSARY TO COMPLETE THIS PROJECT. WALL LOCATIONS WILL BE DETERMINED WITH FINAL ENGINEERING IF NECESSARY.

DEMOLITION KEYED NOTES

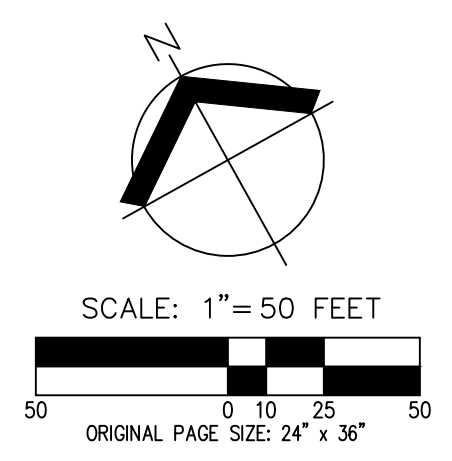
- EXISTING TREE TO REMAIN (TYP).
- REPLACE ALL DAMAGED CURB AND SIDEWALK ALONG CAMAS MEADOWS FRONTAGE (TYP).
- REMOVE EXISTING CURB.
- SAWCUT AND REMOVE EXISTING ASPHALT, AND GRIND AND INLAY NEW ASPHALT.

EROSION CONTROL KEYED NOTES

- INSTALL INLET PROTECTION (TYP).
- POTENTIAL STOCKPILE AREA.
- INSTALL SEDIMENT FENCE (TYP).
- DISTURBED LIMITS (TYP).
- INSTALL TEMPORARY SEDIMENT TRAP (TYP).

PRELIMINARY GRADING QUANTITIES

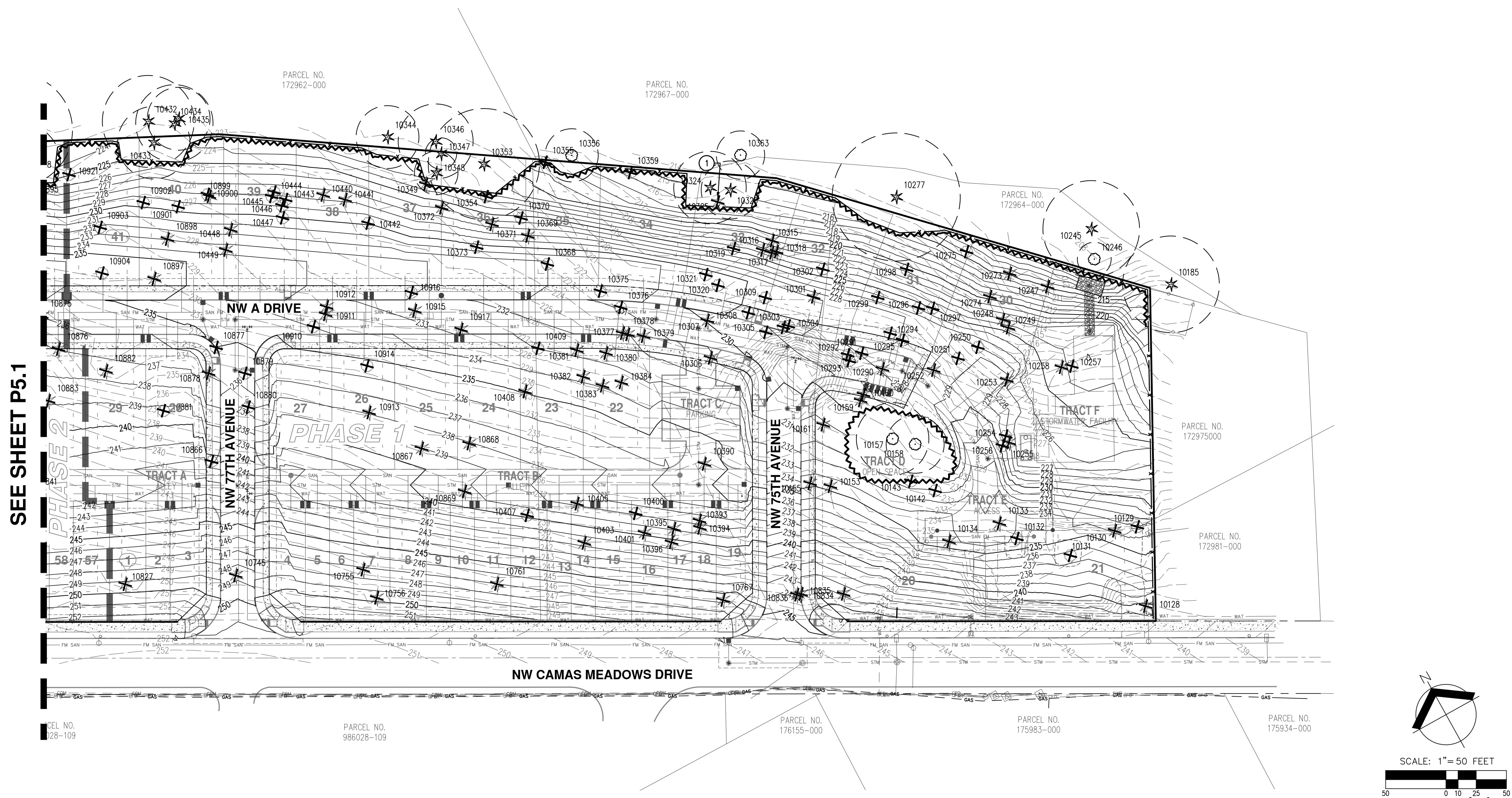
CUT: 30,000 C.Y.
 FILL: 30,000 C.Y.



**PRELIMINARY GRADING, DEMOLITION, AND ESC PLAN
 CAMAS MEADOWS SUBDIVISION
 ROMANO CAPITAL
 CITY OF CAMAS, WASHINGTON**

PROFESSIONAL ENGINEER

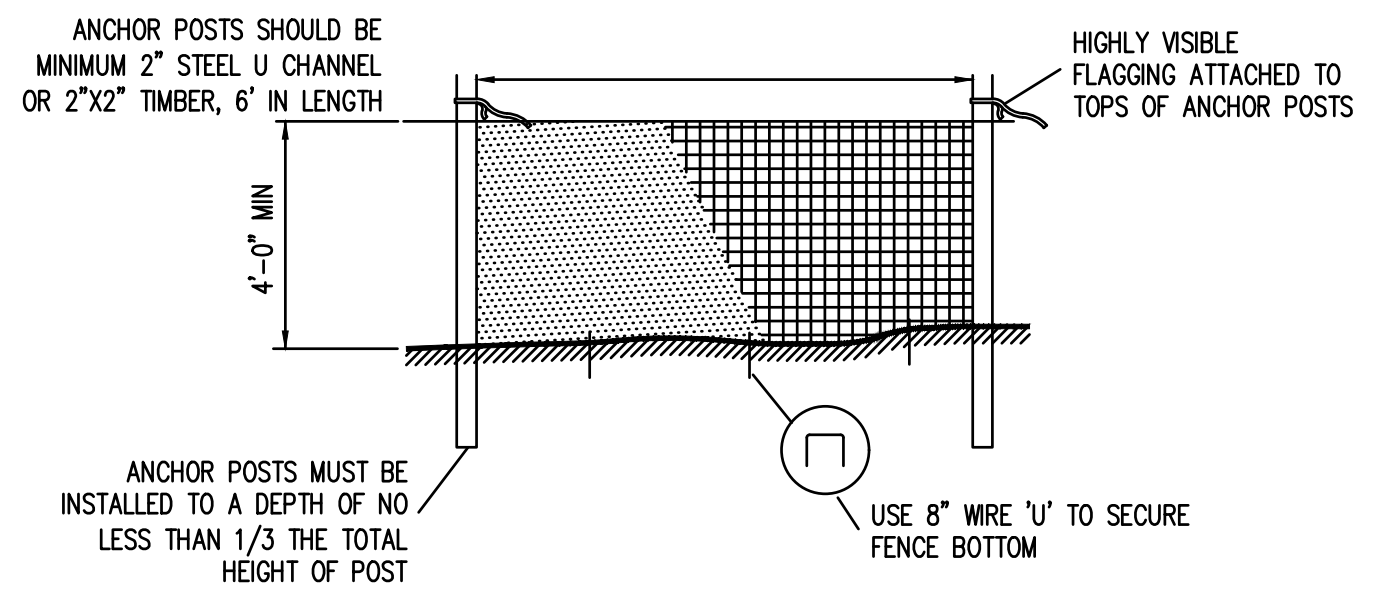
JOB NUMBER: 9030
 DATE: 8/3/2023
 DESIGNED BY: D.J.L.
 DRAWN BY: D.J.L.
 CHECKED BY: J.M.M.



SEE SHEET P5.1

LEGEND

- EXISTING GROUND CONTOUR (1 FT) ——— 149 ———
- EXISTING GROUND CONTOUR (5 FT) ——— 150 ———
- FINISHED GRADE CONTOUR (1 FT) ——— 149 ———
- FINISHED GRADE CONTOUR (5 FT) ——— 150 ———
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE
- TREE REMOVAL
- TREE PROTECTION FENCE (TREE PROTECTION AREA)
- ORANGE SEDIMENT FENCE
- ASSUMED TREE ROOT ZONE (1-FT RADIUS PER 1-IN OF DBH)



- TREE PROTECTION NOTES:**
- BLAZE ORANGE OR BLUE PLASTIC MESH FENCE FOR TREE PROTECTION DEVICE, ONLY.
 - BOUNDARIES OF PROTECTION AREA WILL BE ESTABLISHED IN THE FIELD BY THE ARBORIST PRIOR TO CONSTRUCTION
 - BOUNDARIES OF PROTECTION AREA SHOULD BE STAKED AND FLAGGED BY THE ARBORIST, OR UNDER THE SUPERVISION OF THE ARBORIST, PRIOR TO INSTALLING DEVICES.
 - AVOID DAMAGE TO CRITICAL ROOT ZONE. DO NOT DAMAGE OR SEVER LARGE ROOTS WHEN INSTALLING POSTS.
 - TREE PROTECTION TO BE INSTALLED PRIOR TO CONSTRUCTION AND REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED.

PLASTIC MESH TREE PROTECTION FENCE
 NOT TO SCALE

GENERAL NOTES:

- A CERTIFIED ARBORIST SHALL BE PRESENT DURING EXCAVATION ACTIVITIES WITHIN TREE PROTECTION ZONE OF PRESERVED TREES. SEE TREE PROTECTION NOTES ON THIS SHEET FOR MORE INFORMATION.
- A CERTIFIED ARBORIST SHALL BE PRESENT DURING ALL TREE REMOVAL ACTIVITIES BEHIND THE TREE PROTECTION FENCE.
- SEE SHEET P5.3 FOR TREE PROTECTION NOTES.
- SEE SHEET P5.2-P5.3 FOR DETAILED INVENTORY TABLE.
- TREE PROTECTION MEASURES SHALL BE INSTITUTED PRIOR TO ANY DEVELOPMENT ACTIVITIES, INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, EXCAVATION OR DEMOLITION WORK, AND SHALL BE REMOVED ONLY AFTER COMPLETION OF ALL CONSTRUCTION ACTIVITY, INCLUDING LANDSCAPING AND IRRIGATION INSTALLATION. SEE TREE PROTECTION DETAIL ON THIS SHEET.
- TREE PROTECTION FENCING SHALL BE FLUSH WITH THE INITIAL UNDISTURBED GRADE.
- NO CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE, INCLUDING, BUT NOT LIMITED TO, DUMPING OR STORAGE OF MATERIALS SUCH AS BUILDING SUPPLIES, SOIL, WASTE ITEMS OR PARKED VEHICLES OR EQUIPMENT.
- NO EXCAVATION, TRENCHING, GRADING, ROOT PRUNING OR OTHER ACTIVITIES SHALL OCCUR WITHIN THE TREE PROTECTION ZONE UNLESS DIRECTED BY AN ARBORIST PRESENT ON-SITE AND APPROVED BY THE CITY.
- FOLLOWING CLEARING AND GRADING ACTIVITIES, A CERTIFIED ARBORIST SHALL INSPECT RETAINED TREES FOR POTENTIALLY HAZARDOUS TREE CONDITIONS. COORDINATION WITH THE CITY SHALL OCCUR PRIOR TO ANY ADDITIONAL TREE REMOVALS FOR HAZARD ABATEMENT.

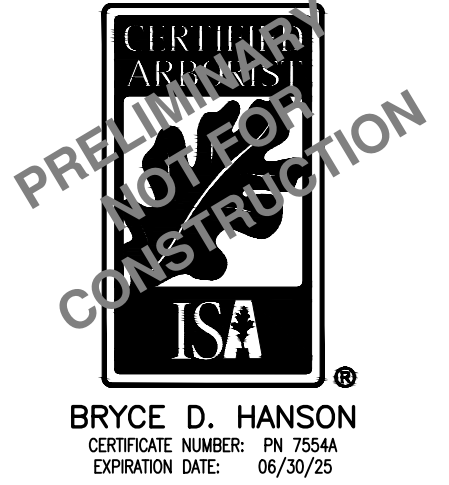
KEYED NOTE: #

- ARBORIST OBSERVATION REQUIRED DURING TREE REMOVAL WITHIN THE TREE PROTECTION AREA.

TREE PLAN

SITE AREA:	13.81 AC
TOTAL TREE UNITS REQUIRED (13.81AC X 20):	276
EXISTING TREES RETAINED/(TREE UNITS):	14/(140.5)
PROPOSED SITE TREES/(TREE UNITS):	159/(159)
TOTAL TREE UNITS:	299.5
(RETAINED AND PROPOSED)	

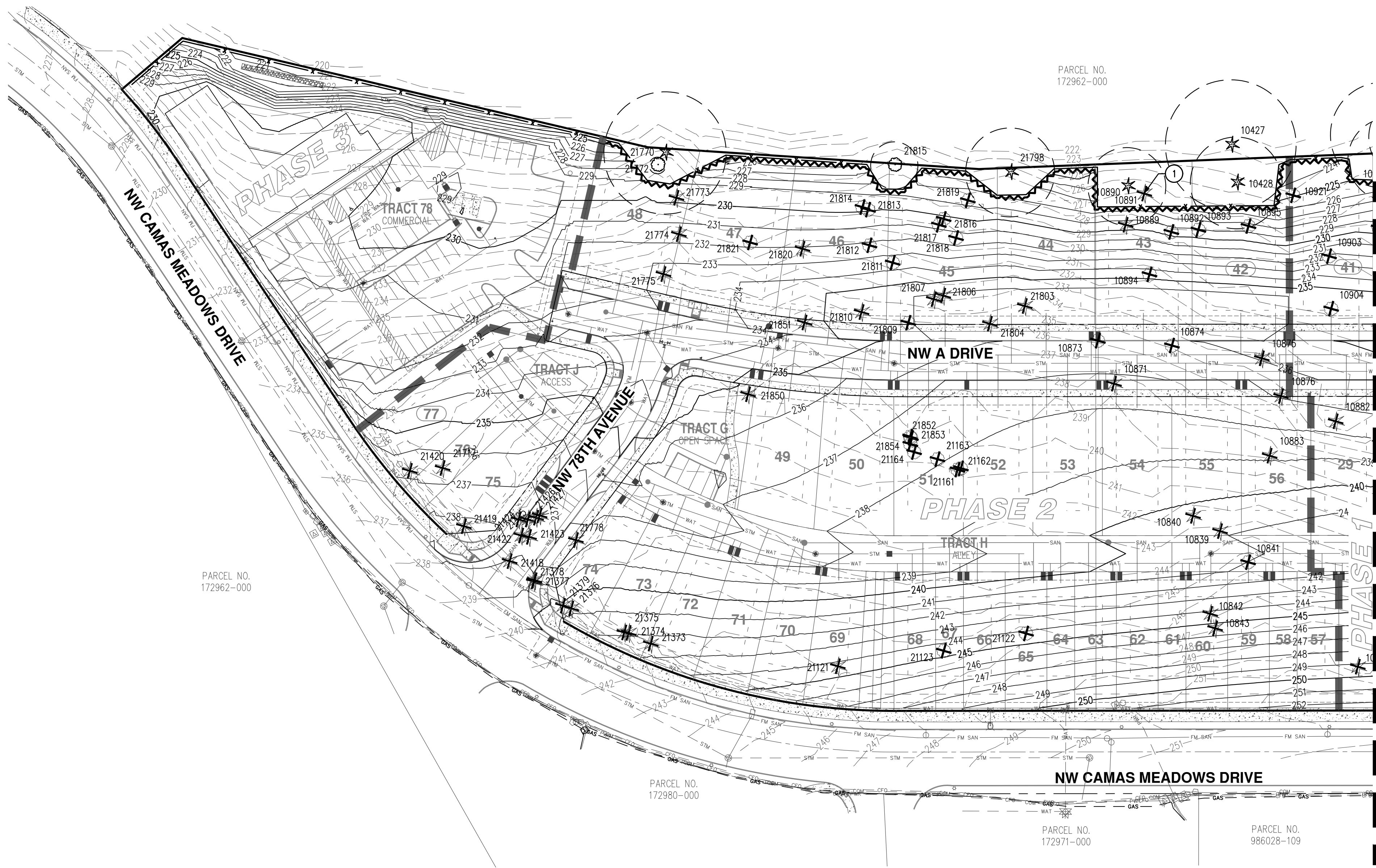
NOTE: SEE LANDSCAPING PLAN (P9.0-P9.1) FOR PROPOSED TREE PLANTING PLAN



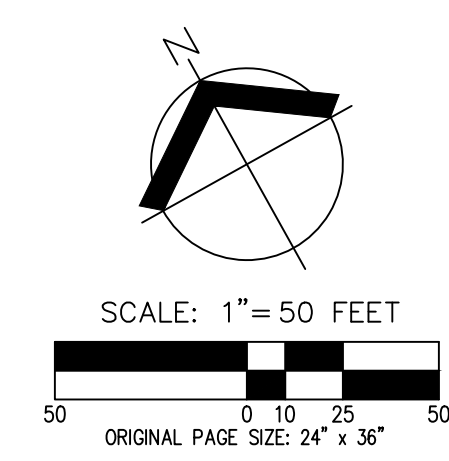
**PRELIMINARY TREE PRESERVATION AND REMOVAL PLAN
 CAMAS MEADOWS SUBDIVISION
 ROMANO CAPITAL
 CITY OF CAMAS, WASHINGTON**

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

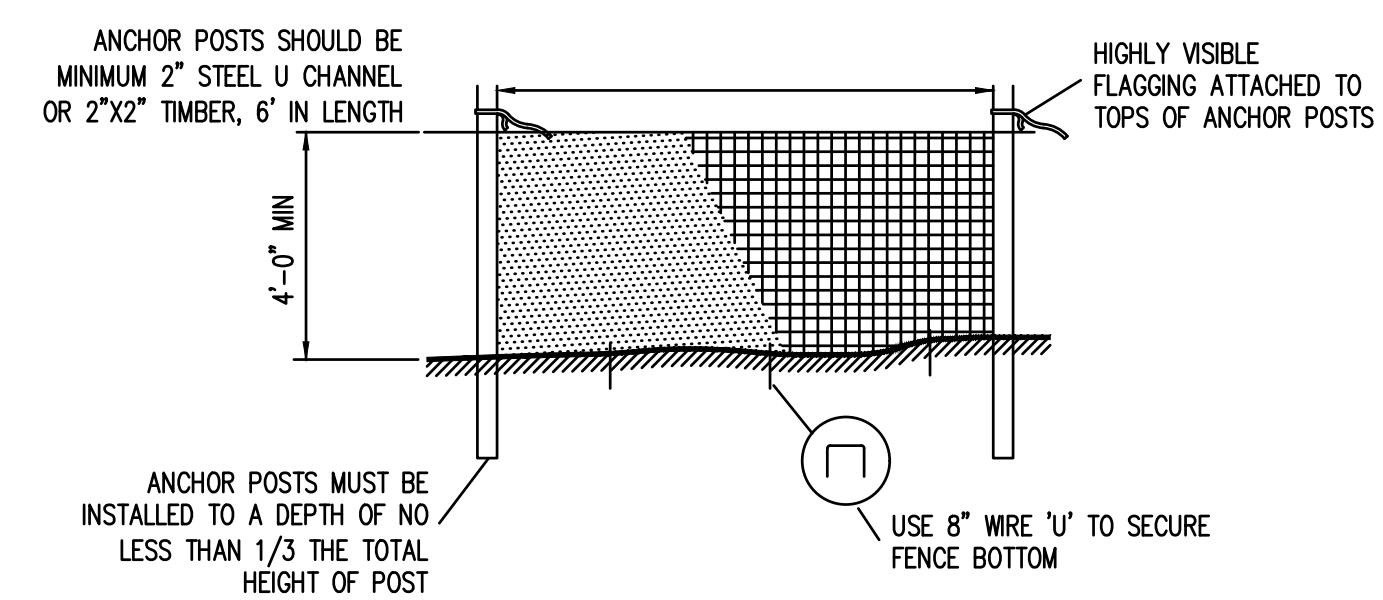
JOB NUMBER:	9030
DATE:	8/3/2023
DESIGNED BY:	D.J.
DRAWN BY:	BRK
CHECKED BY:	BDH



SEE SHEET P5.0



LEGEND	
EXISTING GROUND CONTOUR (1 FT)	--- 149 ---
EXISTING GROUND CONTOUR (5 FT)	--- 150 ---
FINISHED GRADE CONTOUR (1 FT)	--- 149 ---
FINISHED GRADE CONTOUR (5 FT)	--- 150 ---
EXISTING CONIFEROUS TREE	★
EXISTING DECIDUOUS TREE	○
TREE REMOVAL	✕ ✕
TREE PROTECTION FENCE (TREE PROTECTION AREA)	~~~~~
ORANGE SEDIMENT FENCE	- x - x -
ASSUMED TREE ROOT ZONE (1-FT RADIUS PER 1-IN OF DBH)	○



- TREE PROTECTION NOTES:**
1. BLAZE ORANGE OR BLUE PLASTIC MESH FENCE FOR TREE PROTECTION DEVICE, ONLY.
 2. BOUNDARIES OF PROTECTION AREA WILL BE ESTABLISHED IN THE FIELD BY THE ARBORIST PRIOR TO CONSTRUCTION.
 3. BOUNDARIES OF PROTECTION AREA SHOULD BE STAKED AND FLAGGED BY THE ARBORIST, OR UNDER THE SUPERVISION OF THE ARBORIST, PRIOR TO INSTALLING DEVICES.
 4. AVOID DAMAGE TO CRITICAL ROOT ZONE. DO NOT DAMAGE OR SEVER LARGE ROOTS WHEN INSTALLING POSTS.
 5. TREE PROTECTION TO BE INSTALLED PRIOR TO CONSTRUCTION AND REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED.

PLASTIC MESH TREE PROTECTION FENCE
 NOT TO SCALE

GENERAL NOTES:

1. A CERTIFIED ARBORIST SHALL BE PRESENT DURING EXCAVATION ACTIVITIES WITHIN TREE PROTECTION ZONE OF PRESERVED TREES. SEE TREE PROTECTION NOTES ON THIS SHEET FOR MORE INFORMATION.
2. A CERTIFIED ARBORIST SHALL BE PRESENT DURING ALL TREE REMOVAL ACTIVITIES BEHIND THE TREE PROTECTION FENCE.
3. SEE SHEET P5.3 FOR TREE PROTECTION NOTES.
4. SEE SHEET P5.2-P5.3 FOR DETAILED INVENTORY TABLE.
5. TREE PROTECTION MEASURES SHALL BE INSTITUTED PRIOR TO ANY DEVELOPMENT ACTIVITIES, INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, EXCAVATION OR DEMOLITION WORK, AND SHALL BE REMOVED ONLY AFTER COMPLETION OF ALL CONSTRUCTION ACTIVITY, INCLUDING LANDSCAPING AND IRRIGATION INSTALLATION. SEE TREE PROTECTION DETAIL ON THIS SHEET.
6. TREE PROTECTION FENCING SHALL BE FLUSH WITH THE INITIAL UNDISTURBED GRADE.
7. NO CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE, INCLUDING, BUT NOT LIMITED TO, DUMPING OR STORAGE OF MATERIALS SUCH AS BUILDING SUPPLIES, SOIL, WASTE ITEMS OR PARKED VEHICLES OR EQUIPMENT.
8. NO EXCAVATION, TRENCHING, GRADING, ROOT PRUNING OR OTHER ACTIVITIES SHALL OCCUR WITHIN THE TREE PROTECTION ZONE UNLESS DIRECTED BY AN ARBORIST PRESENT ON-SITE AND APPROVED BY THE CITY.
9. FOLLOWING CLEARING AND GRADING ACTIVITIES, A CERTIFIED ARBORIST SHALL INSPECT RETAINED TREES FOR POTENTIALLY HAZARDOUS TREE CONDITIONS. COORDINATION WITH THE CITY SHALL OCCUR PRIOR TO ANY ADDITIONAL TREE REMOVALS FOR HAZARD ABATEMENT.

KEYED NOTE: (f)

1. ARBORIST OBSERVATION REQUIRED DURING TREE REMOVAL WITHIN THE TREE PROTECTION AREA.

TREE PLAN

SITE AREA:	13.81 AC
TOTAL TREE UNITS REQUIRED (13.81AC X 20):	276
EXISTING TREES RETAINED/(TREE UNITS):	14/(140.5)
PROPOSED SITE TREES/(TREE UNITS):	159/(159)
TOTAL TREE UNITS:	299.5
(RETAINED AND PROPOSED)	

NOTE: SEE LANDSCAPING PLAN (P9.0-P9.1) FOR PROPOSED TREE PLANTING PLAN



**PRELIMINARY TREE PRESERVATION AND REMOVAL PLAN
 CAMAS MEADOWS SUBDIVISION
 ROMANO CAPITAL
 CITY OF CAMAS, WASHINGTON**

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

JOB NUMBER:	9030
DATE:	8/3/2023
DESIGNED BY:	D.J.
DRAWN BY:	BRK
CHECKED BY:	BDH

Detailed Tree Inventory for Camas Meadows Subdivision

Table with columns: Tree #, DBH (in.), Tree Species, Tree Units Initial, Condition/Comments, Windthrow Rating, Reason for Removal, Tree Units Retained. Rows include various tree species like Douglas-fir, Red Alder, and Western Hemlock.

Detailed Tree Inventory for Camas Meadows Subdivision

Table with columns: Tree #, DBH (in.), Tree Species, Tree Units Initial, Condition/Comments, Windthrow Rating, Reason for Removal, Tree Units Retained. Rows include various tree species like Douglas-fir, Red Alder, and Western Hemlock.



ENGINEERING - SURVEYING - NATURAL RESOURCES FORESTRY - PLANNING - LANDSCAPE ARCHITECTURE

PRELIMINARY TREE PRESERVATION AND REMOVAL TABLE
CAMAS MEADOWS SUBDIVISION
ROMANO CAPITAL
CITY OF CAMAS, WASHINGTON



BRYCE D. HANSON
CERTIFICATE NUMBER: PN 7554
EXPIRATION DATE: 06/30/25

PRELIMINARY NOT FOR CONSTRUCTION
JOB NUMBER: 9030
DATE: 8/3/2023
DESIGNED BY: DJL
DRAWN BY: BRK
CHECKED BY: BDH



ENGINEERING - SURVEYING - NATURAL RESOURCES FORESTRY - PLANNING - LANDSCAPE ARCHITECTURE

Detailed Tree Inventory for Camas Meadows Subdivision

Table with columns: Tree #, DBH (in.), Tree Species Common Name (Scientific name), Tree Units Initial, Condition/Comments, Windthrow Rating, Reason for Removal, Tree Units Retained. Lists 45 individual trees with their respective details.

Total # of Existing Trees inventoried = 225

Total # of Existing Onsite Trees = 213 Total # of Existing Trees Removed = 199

Total Onsite Existing Tree Units = 1387.5 Total Existing Tree Units Removed = 1247

Total # of Onsite Trees Retained = 14

Total # of Tree Units Retained = 140.5

Minimum Tree Units Required per City Code = 276 (13.81 acres * 20 trees/acre)

Minimum # Trees to Replant = 135.5

Site Area = 13.81 Acres

Windthrow Rating: A=Least windthrow resistant, B=Moderate windthrow resistant, C=Most windthrow resistant

Arborist Disclosure Statement: Arborists are tree specialists who use their education, knowledge, training, and experience to examine trees, recommend measures to enhance the health of trees, and attempt to reduce the risk of living near trees.

At the completion of construction, all trees should once again be reviewed. Land clearing and removal of adjacent trees can expose previously unseen defects and otherwise healthy trees can be damaged during construction.

TREE PROTECTION NOTES

- A. PLACING MATERIALS NEAR TREES - NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE PROTECTED AREA OF ANY TREE DESIGNATED TO REMAIN, INCLUDING, BUT NOT LIMITED TO, PARKING EQUIPMENT, PLACING SOLVENTS, STORING BUILDING MATERIALS AND SOIL DEPOSITS, DUMPING CONCRETE WASHOUT, ETC.
B. ATTACHMENTS TO TREES - DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY OBJECT TO ANY TREE DESIGNATED FOR PROTECTION.
C. PROTECTIVE BARRIER - BEFORE DEVELOPMENT, LAND CLEARING, FILLING OR ANY LAND ALTERATION FOR WHICH A TREE REMOVAL PERMIT IS REQUIRED, THE CONTRACTOR:
C.A. SHALL ERECT AND MAINTAIN READILY VISIBLE PROTECTIVE TREE FENCING ALONG THE OUTER EDGE AND COMPLETELY SURROUNDING THE PROTECTED AREA OF ALL PROTECTED TREES OR GROUP OF TREES.
C.B. MAY BE REQUIRED TO COVER WITH MULCH TO A DEPTH OF AT LEAST SIX (6) INCHES OR WITH PLYWOOD OR SIMILAR MATERIAL IN THE AREAS ADJOINING THE CRITICAL ROOT ZONE OF A TREE IN ORDER TO PROTECT ROOTS FROM DAMAGE CAUSED BY HEAVY EQUIPMENT.
C.C. SHALL PROHIBIT EXCAVATION OR COMPACTING OF EARTH OR OTHER POTENTIALLY DAMAGING ACTIVITIES WITHIN THE BARRIERS.
C.D. MAY BE REQUIRED TO MINIMIZE ROOT DAMAGE BY EXCAVATING A TWO (2) FOOT DEEP TRENCH, AT EDGE OF CRITICAL ROOT ZONE, TO CLEANLY SEVER THE ROOTS OF TREES TO BE RETAINED.
C.E. MAY BE REQUIRED TO HAVE CORRECTIVE PRUNING PERFORMED ON PROTECTED TREES IN ORDER TO AVOID DAMAGE FROM MACHINERY OR BUILDING ACTIVITY.
C.F. SHALL MAINTAIN THE PROTECTIVE BARRIERS IN PLACE UNTIL THE PROJECT ARBORIST AUTHORIZES THEIR REMOVAL OR A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED, WHICHEVER OCCURS FIRST.
C.G. SHALL ENSURE THAT ANY LANDSCAPING DONE IN THE PROTECTED ZONE SUBSEQUENT TO THE REMOVAL OF THE BARRIERS SHALL BE ACCOMPLISHED WITH LIGHT MACHINERY OR HAND LABOR.
D. GRADE
D.A. THE GRADE SHALL NOT BE ELEVATED OR REDUCED WITHIN THE CRITICAL ROOT ZONE OF TREES TO BE PRESERVED WITHOUT THE PROJECT ARBORIST'S AUTHORIZATION.
D.B. IF THE GRADE ADJACENT TO A PRESERVED TREE IS RAISED SUCH THAT IT COULD SLOUGH OR ERODE INTO THE TREES CRITICAL ROOT ZONE, IT SHALL BE PERMANENTLY STABILIZED TO PREVENT SUFFOCATION OF THE ROOTS.
D.C. THE APPLICANT SHALL NOT INSTALL AN IMPERVIOUS SURFACE WITHIN THE CRITICAL ROOT ZONE OF ANY TREE TO BE RETAINED WITHOUT THE AUTHORIZATION OF THE PROJECT ARBORIST.
D.D. TO THE GREATEST EXTENT PRACTICAL, UTILITY TRENCHES SHALL BE LOCATED OUTSIDE OF THE CRITICAL ROOT ZONE OF TREES TO BE RETAINED.
D.E. TREE AND OTHER VEGETATION TO BE RETAINED SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION.
E. DIRECTIONAL FELLING OF TREES SHALL BE USED TO AVOID DAMAGE TO TREES DESIGNATED FOR RETENTION.
F. ADDITIONAL REQUIREMENTS - THE PROJECT ARBORIST MAY REQUIRE ADDITIONAL TREE PROTECTION MEASURES WHICH ARE CONSISTENT WITH ACCEPTED URBAN FORESTRY PRACTICES.
G. ENCROACHMENT INTO THE ROOT PROTECTION ZONE IS ALLOWED WITH PROJECT ARBORIST APPROVAL AS DESCRIBED IN THE FOLLOWING NOTES:
G.A. EXCAVATION IN THE TOP 24 INCHES OF THE SOIL IN THE CRITICAL ROOT ZONE AREA SHOULD BEGIN AT THE EXCAVATION LINE THAT IS CLOSEST TO THE TREE.
G.B. THE EXCAVATION SHOULD BE DONE BY HAND/SHOVEL OR WITH A BACKHOE AND A MAN WITH A SHOVEL, PRUNING SHEARS, AND A PRUNING SAW.
G.C. IF DONE BY HAND, ALL ROOTS 1 INCH OR LARGER SHOULD BE PRUNED AT THE EXCAVATION LINE.
G.D. IF DONE WITH BACKHOE (MOST LIKELY SCENARIO), THEN THE OPERATOR SHALL START THE CUT AT THE EXCAVATION LINE AND CAREFULLY "FEEL" FOR ROOT/RESISTANCE.
G.E. THE BACKHOE IS TO REMAIN OFF OF THE TREE ROOTS TO BE PRESERVED AT ALL TIMES.
G.F. ALL ROOTS SHALL BE CUT CLEANLY WITH PRUNING SHEARS OR A PRUNING SAW.
G.G. PROJECT ARBORIST MUST BE ONSITE DURING ANY WORK WITHIN THE TREE ROOT PROTECTION ZONE.
G.H. THE CITY PLANNER MUST BE CONTACTED 24 HOURS PRIOR TO WORKING WITHIN THE TREE ROOT PROTECTION ZONE.

- H. TREE PROTECTION ZONE IS DEFINED AS ALL AREAS BOUND AND PROTECTING THE OPTIMAL TREE PROTECTION ZONE.
I. TIMELINE FOR CLEARING, GRADING, AND INSTALLATION OF TREE PROTECTION MEASURES: WORK WILL BEGIN IMMEDIATELY FOLLOWING FINAL APPROVAL BY THE CITY. TREE PROTECTION MEASURES WILL BE DONE DURING CLEARING AND ANY GRADING WILL FOLLOW.
J. PRUNING/TREE REMOVAL NOTES: THE WORK TO BE COMPLETED UNDER THIS PROJECT SHALL CONSIST OF TREE REMOVAL AND TREE TRIMMING AS LISTED.
J.A. THE CONTRACTOR SHALL PROVIDE ADEQUATE CREW OF MEN, EQUIPMENT AND MATERIALS TO SAFELY AND EFFICIENTLY COMPLETE THE ASSIGNED WORK.
J.B. WHENEVER A TREE, WHICH IS NOT SCHEDULED TO BE REMOVED, MUST BE TRIMMED OR PRUNED, THE CONTRACTOR SHALL INSURE THAT SUCH TRIMMING AND PRUNING IS CARRIED OUT UNDER THE DIRECT SUPERVISION OF A LICENSED ARBORIST.
J.C. THE CONTRACTOR SHALL BE REQUIRED TO CUT TREES TO A HEIGHT OF APPROXIMATELY 12".
J.D. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE LATEST GOVERNMENTAL SAFETY REGULATIONS.
J.E. THE CONTRACTOR SHALL MAKE ALL THE NECESSARY ARRANGEMENTS WITH ANY UTILITY THAT MUST BE PROTECTED OR RELOCATED IN ORDER TO ACCOMPLISH THE WORK.
J.F. ANY MATERIAL RESULTING FROM THE TRIMMING OR REMOVAL OF ANY TREES SHALL BECOME THE RESPONSIBILITY OF THE CONTRACTOR.
J.G. HAZARDOUS TREES-REPORTING - ANY PERSON ENGAGED IN TRIMMING OR PRUNING WHO BECOMES AWARE OF A TREE OF DOUBTFUL STRENGTH, THAT COULD BE DANGEROUS TO PERSONS AND PROPERTY, SHALL REPORT SUCH TREE(S) TO THE OWNER OR THE OWNERS REPRESENTATIVE.
J.H. DAMAGES-ANY DAMAGE CAUSED BY THE CONTRACTOR, INCLUDING, BUT NOT LIMITED TO, BROKEN SIDEWALK, CURB, RUTTED LAWN, BROKEN WATER SHUT-OFFS, WIRE DAMAGE, BUILDING DAMAGE, STREET DAMAGE, ETC., WILL BE REPAIRED OR REPLACED IN A TIMELY MANNER.
J.I. ANY BRUSH CLEARING REQUIRED WITHIN THE TREE PROTECTION ZONE SHALL BE ACCOMPLISHED WITH HAND OPERATED EQUIPMENT.
J.J. TREES TO BE REMOVED SHALL BE FELLED SO AS TO FALL AWAY FROM TREE ROOT PROTECTION ZONES AND TO AVOID PULLING AND BREAKING OF ROOTS TO REMAIN.
J.K. ALL DOWNED BRUSH AND TREES SHALL BE REMOVED FROM THE TREE PROTECTION ZONE EITHER BY HAND OR WITH EQUIPMENT SITTING OUTSIDE THE TREE ROOT PROTECTION ZONE.
J.L. IF TEMPORARY HAUL OR ACCESS ROADS MUST PASS OVER THE ROOT AREA OF TREES TO BE RETAINED A ROADBED OF 6 INCHES OF MULCH OR GRAVEL SHALL BE CREATED TO PROTECT THE SOIL.
J.M. PRUNING TREES SHALL BE PRUNED PRIOR TO THE START OF CONSTRUCTION. TREES SHALL BE CROWN CLEANED TO REMOVE THE DEADWOOD 2 INCHES IN DIAMETER AND OVER. TREES SHALL BE CROWN THINNED BY 10-20% CROWNS MAY BE RAISED BY REMOVING BOTTOM BRANCHES AS NECESSARY UP TO 14 FEET HIGH TO GIVE CLEARANCE FOR ANY CONSTRUCTION TRAFFIC, ACTIVITIES, ETC.

PRELIMINARY TREE PRESERVATION AND REMOVAL TABLE
CAMAS MEADOWS SUBDIVISION
ROMANO CAPITAL
CITY OF CAMAS, WASHINGTON



BRYCE D. HANSON
CERTIFICATE NUMBER: PN 75544
EXPIRATION DATE: 06/30/25

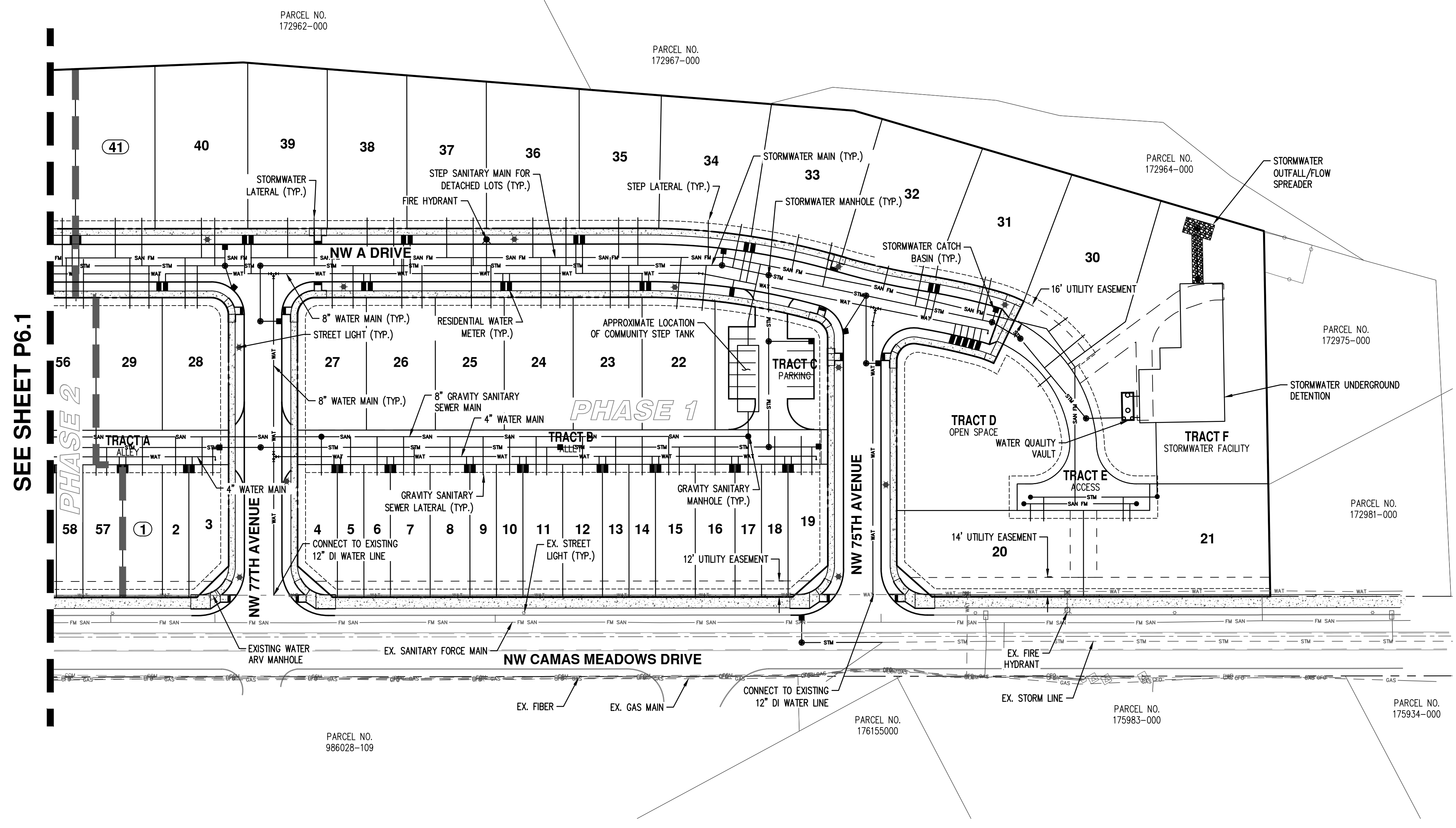
PRELIMINARY NOT FOR CONSTRUCTION

JOB NUMBER: 9030
DATE: 8/3/2023
DESIGNED BY: D.J.
DRAWN BY: BRK
CHECKED BY: BDH



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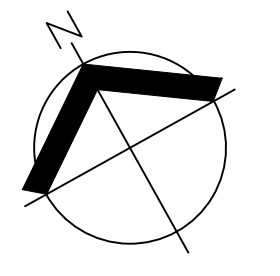
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SEE SHEET P6.1

GENERAL NOTES

1. RESIDENTIAL FIRE SPRINKLERS REQUIRED IN ALL NEW DWELLINGS.
2. LOTS 20-56 TO INCLUDE INDIVIDUAL STEP TANKS INSTALLED AT TIME OF HOME CONSTRUCTION.
3. LOTS 1-19 AND 57-77 TO BE CONNECTED TO A SANITARY SEWER LATERAL FROM GRAVITY SANITARY SEWER MAIN AND CONVEYED TO A COMMUNITY STEP TANK IN TRACT F.



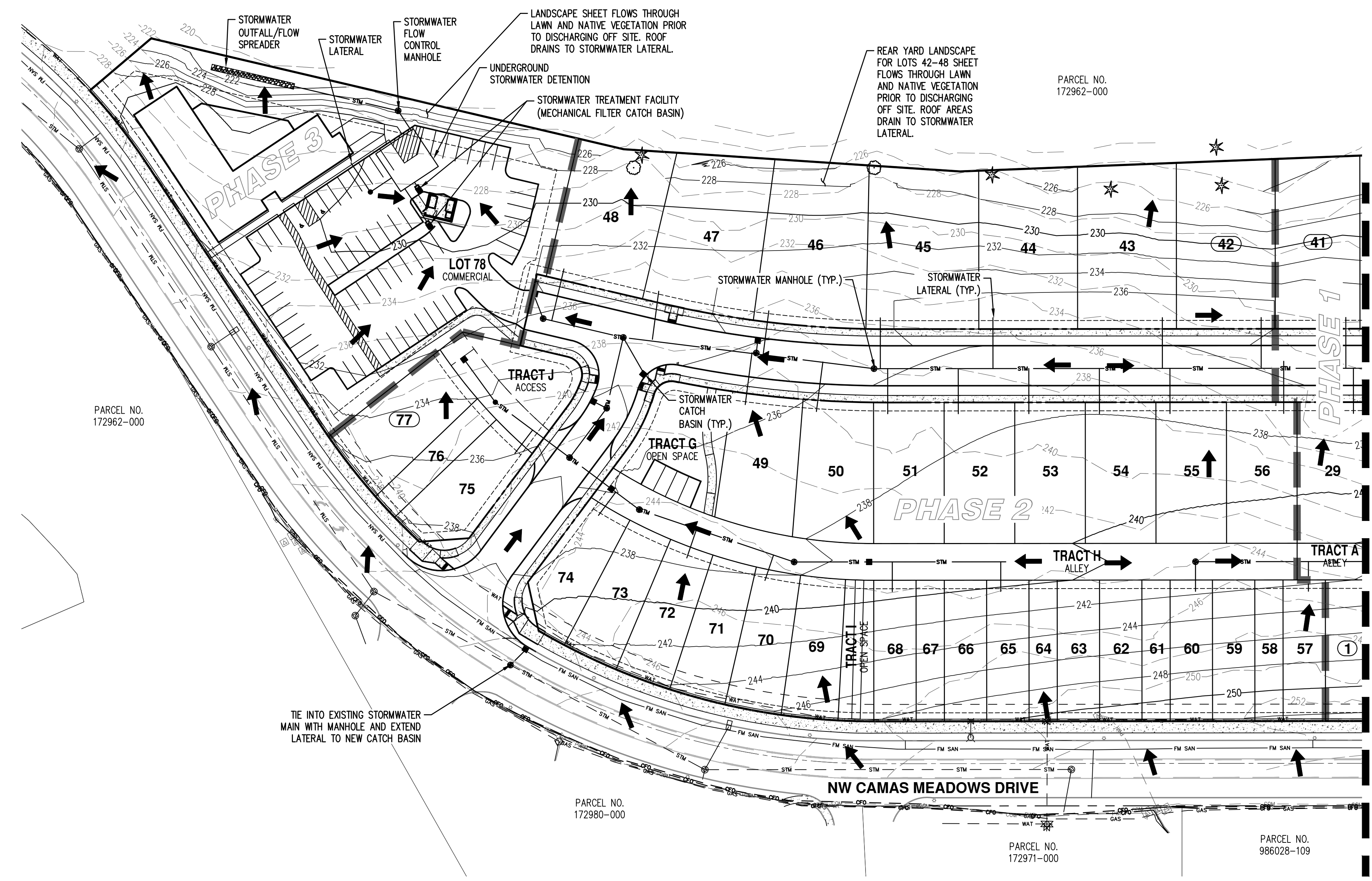
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**PRELIMINARY COMPOSITE UTILITY PLAN
CAMAS MEADOWS SUBDIVISION
ROMANO CAPITAL
CITY OF CAMAS, WASHINGTON**



JOB NUMBER: 9030
DATE: 8/3/2023
DESIGNED BY: D.J.L.
DRAWN BY: D.J.L.
CHECKED BY: J.M.M.

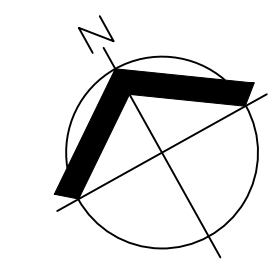
P6.1



SEE SHEET P7.0

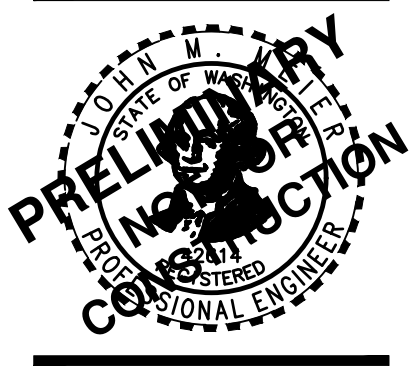
GENERAL NOTES

- LOT 78, COMMERCIAL LOT, INCLUDES UNDERGROUND DETENTION UNDER PARKING AREA AND WATER QUALITY CATCH BASINS FOR STORMWATER FLOW AND TREATMENT OF RUNOFF FROM COMMERCIAL LOT.
 PRELIMINARY SIZE OF REQUIRED DETENTION FACILITY: 32'W X 32'L X 4'H
 PRELIMINARY WATER QUALITY FEATURES INCLUDE:
 2 MECHANICAL FILTER CATCH BASINS
 CARTRIDGE COUNT AND SIZE PER CATCH BASIN: 1 - 18"
 OFF-LINE FLOW RATE PROVIDED: 0.080 CFS (0.040 CFS PER CATCH BASIN)
 OFF-LINE FLOW RATE REQUIRED: 0.078 CFS
- TRACT F INCLUDES UNDERGROUND DETENTION AND A WATER QUALITY VAULT FOR STORMWATER FLOW AND TREATMENT OF RUNOFF FROM SUBDIVISION.
 PRELIMINARY SIZE OF REQUIRED DETENTION FACILITY: 64'W X 64'L X 9'H
 PRELIMINARY WATER QUALITY FEATURES INCLUDE:
 9'X16' MECHANICAL FILTER VAULT
 CARTRIDGE COUNT AND SIZE: 31-12"+18" STACKED
 OFF-LINE FLOW RATE PROVIDED: 1.175 CFS
 OFF-LINE FLOW RATE REQUIRED: 1.142 CFS
- ACCORDING TO CLARK COUNTY GIS, THE SITE IS NOT WITHIN OR ADJACENT TO A 100-YEAR FLOODPLAIN OR SHORELINE MANAGEMENT AREA.
- THERE ARE NO KNOWN ON-SITE STORMWATER FACILITIES.
- STORMWATER INFRASTRUCTURE EXISTS IN NW CAMAS MEADOWS DRIVE. STORMWATER FROM CAMAS MEADOWS DRIVE DOES NOT CONTRIBUTE TO ON-SITE FLOWS.
- ACCORDING TO CLARK GIS, NO WELLS, AGRICULTURAL DRAIN TILES, POTENTIAL SLOPE INSTABILITY, STRUCTURES, UTILITIES, SEPTIC TANKS, OR DRAIN FIELDS EXIST ONSITE.
- ACCORDING TO CLARK GIS, NO FLOODPLAIN, FLOODWAYS, OR SHORELINE EXIST ONSITE.
- ACCORDING TO CLARK GIS, NO WETLANDS EXIST ON THE SITE.
- EXISTING DRAINAGE FLOW ROUTES ARE GENERALLY NORTH TO NORTHEAST FOR THE THRESHOLD DISCHARGE AREA (TDA). EXISTING STORMWATER FROM THE SITE DISCHARGES NORTH TO NORTHEAST THROUGH NEIGHBORING PROPERTY (GOLF COURSE).
- PROPOSED DRAINAGE FLOW ROUTES TO FOLLOW EXISTING FLOW ROUTES WITH STORMWATER DISCHARGED FROM STORMWATER FACILITIES CONVEYED TO EXISTING LOW POINTS IN THE NORTH AND NORTHEAST CORNERS OF THE SITE.
- RUNOFF FROM LANDSCAPE AREAS LOWER THAN STORMWATER FACILITIES, REAR YARDS FOR LOTS 30-48 AND COMMERCIAL LOT, DISPERSE THROUGH LAWN AND NATIVE VEGETATION PRIOR TO DISCHARGING TO NORTHERN BOUNDARY AND NEIGHBORING PROPERTY (GOLF COURSE) FOLLOWING EXISTING FLOW ROUTE.
- ROOF AREAS FOR ALL LOTS, RESIDENTIAL AND COMMERCIAL, DRAIN TO A STORMWATER LATERAL.

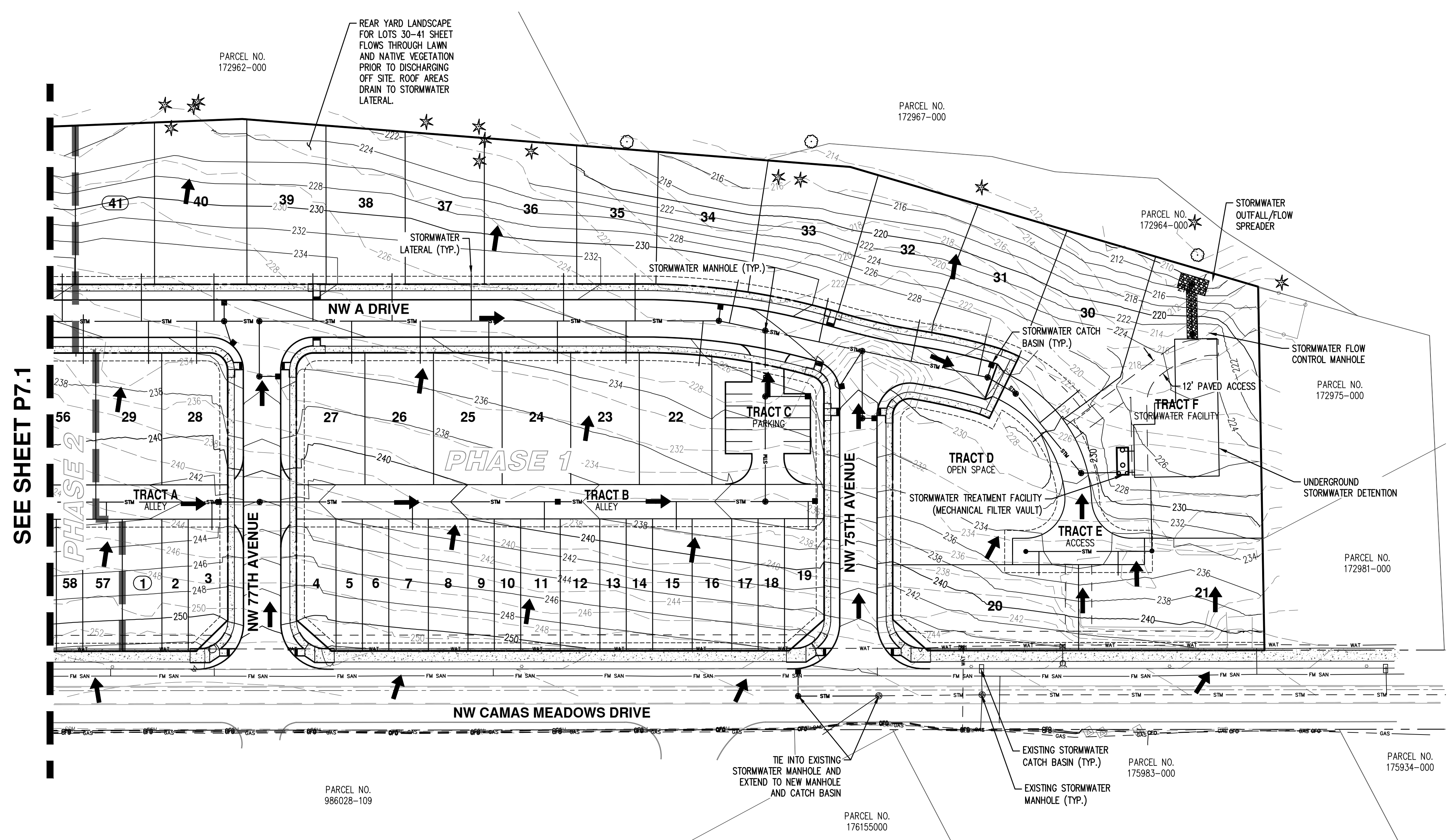


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**PRELIMINARY STORMWATER PLAN
 CAMAS MEADOWS SUBDIVISION
 ROMANO CAPITAL
 CITY OF CAMAS, WASHINGTON**



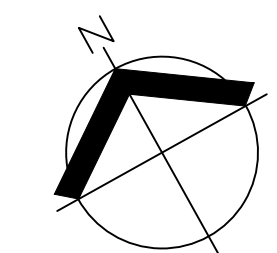
JOB NUMBER: 9030
 DATE: 8/3/2023
 DESIGNED BY: D.J.L.
 DRAWN BY: D.J.L.
 CHECKED BY: J.M.



SEE SHEET P7.1

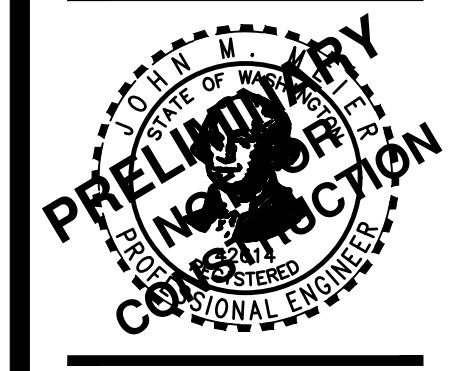
GENERAL NOTES

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- ROOF AREAS FOR ALL LOTS, RESIDENTIAL AND COMMERCIAL, DRAIN TO A STORMWATER LATERAL.

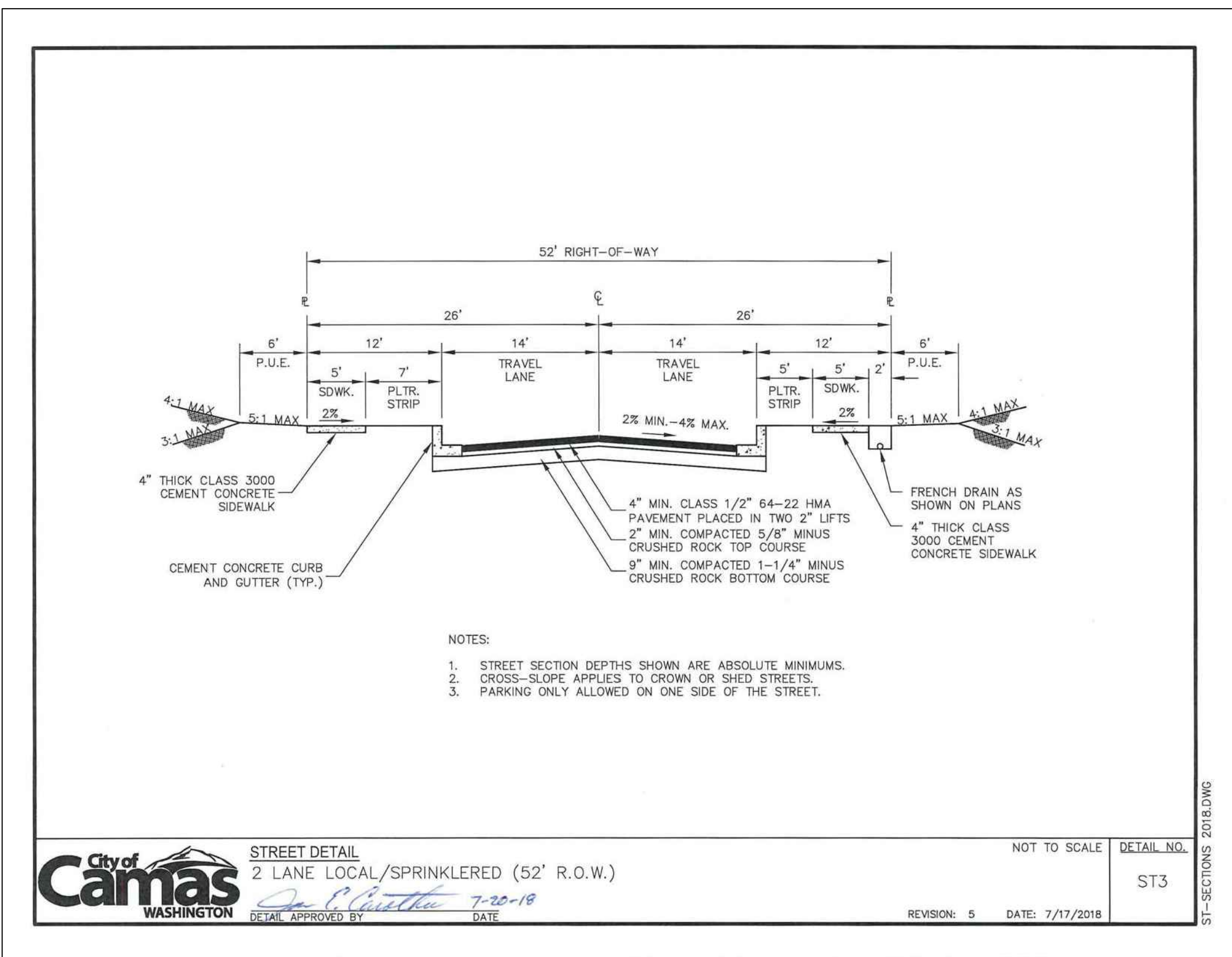
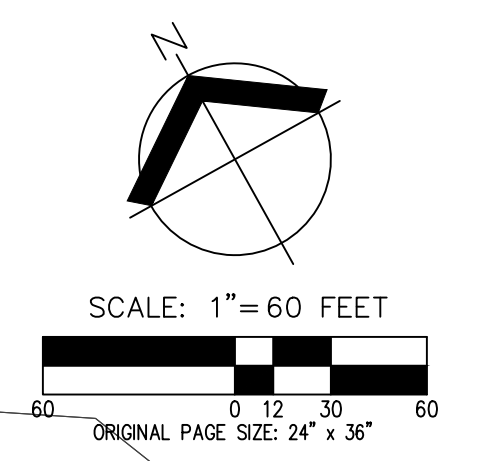
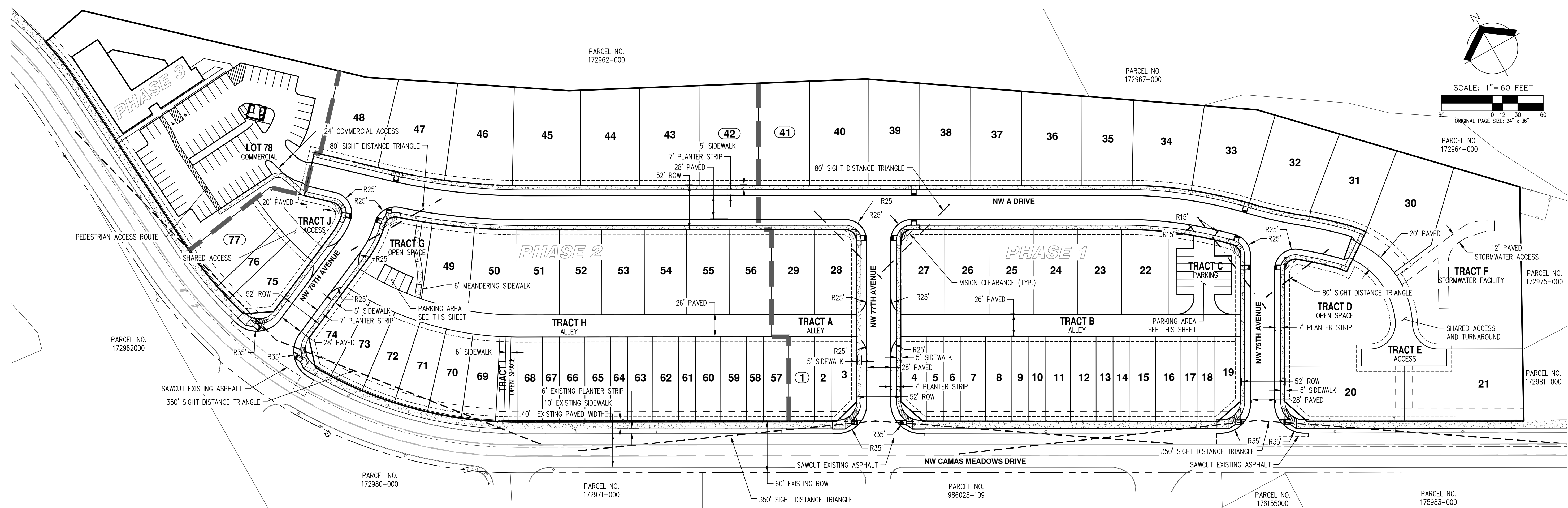


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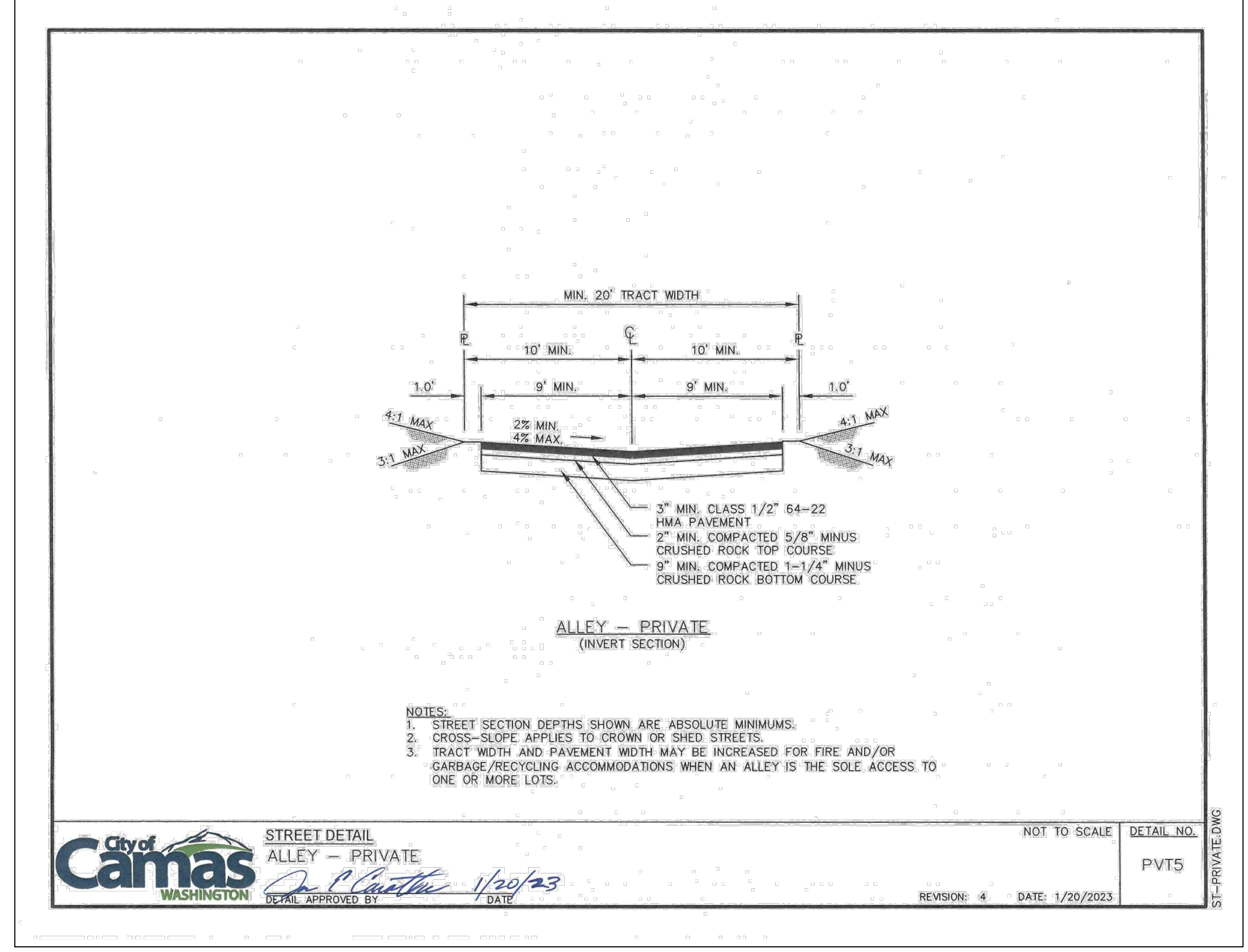
**PRELIMINARY STORMWATER PLAN
 CAMAS MEADOWS SUBDIVISION
 ROMANO CAPITAL
 CITY OF CAMAS, WASHINGTON**



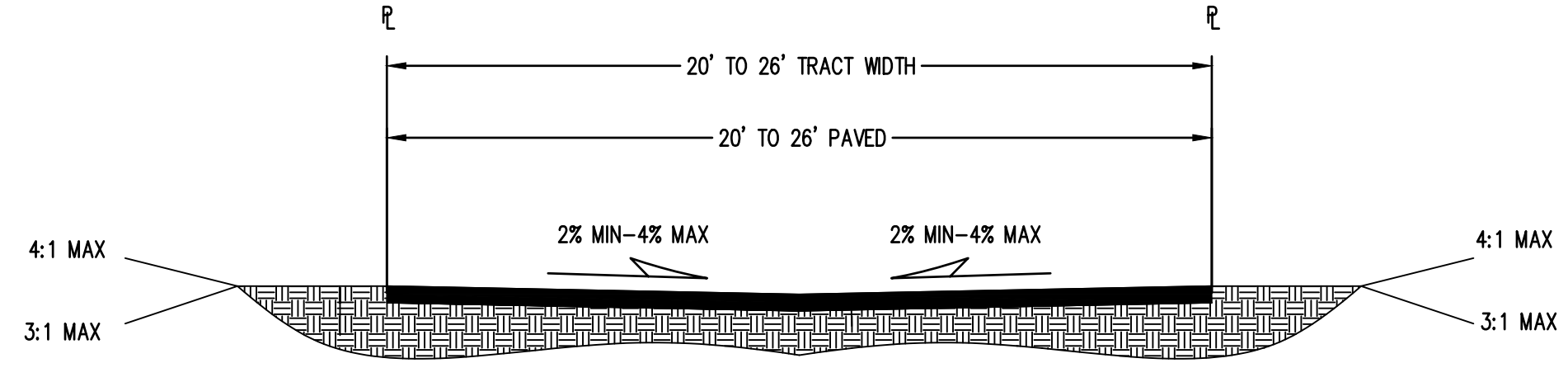
JOB NUMBER: 9030
 DATE: 8/3/2023
 DESIGNED BY: D.J.L.
 DRAWN BY: D.J.L.
 CHECKED BY: J.M.



NW 75TH AVENUE - NW 77TH AVENUE - NW 78TH AVENUE - NW A DRIVE

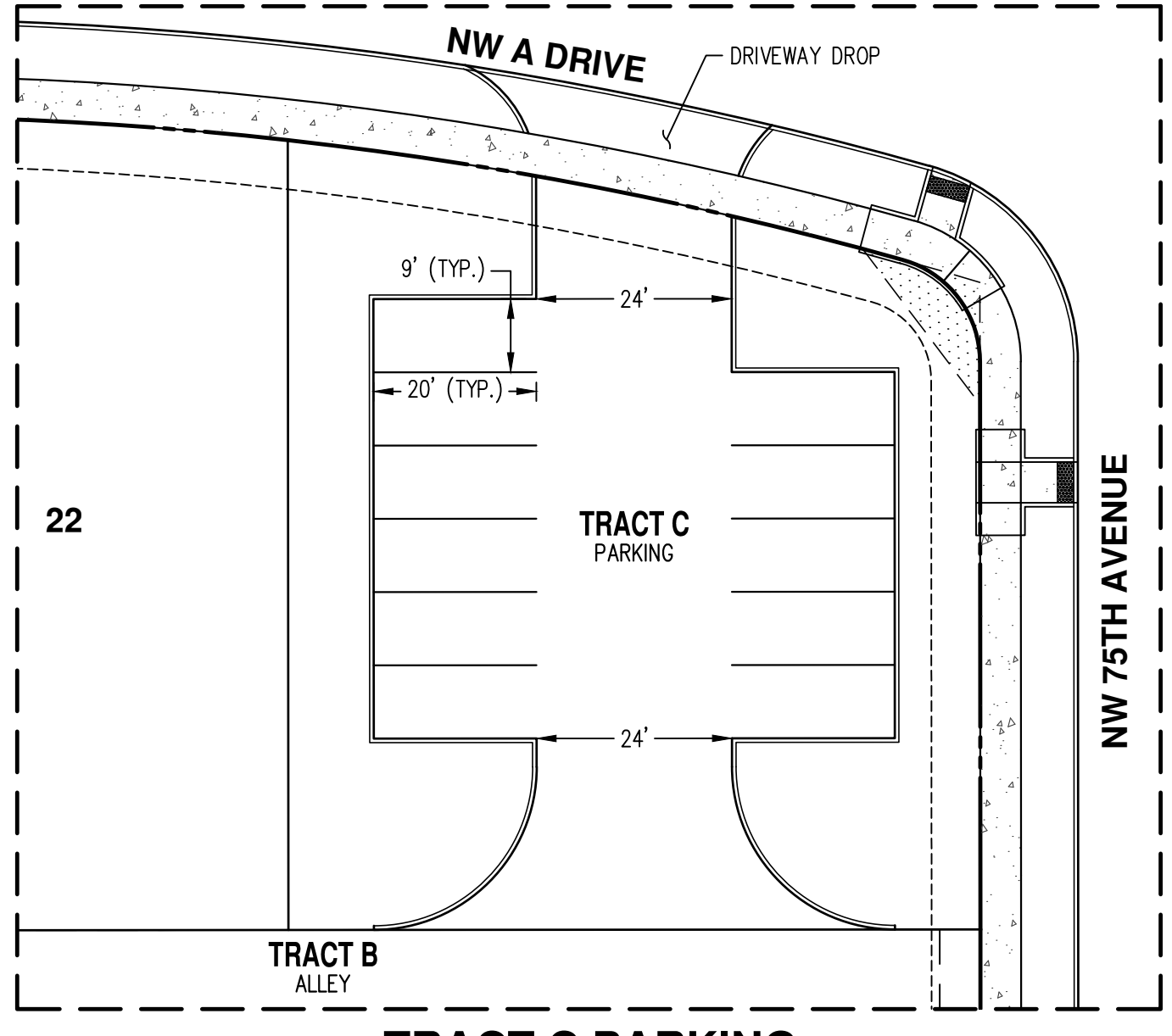


ALLEY TRACT A, B, & H

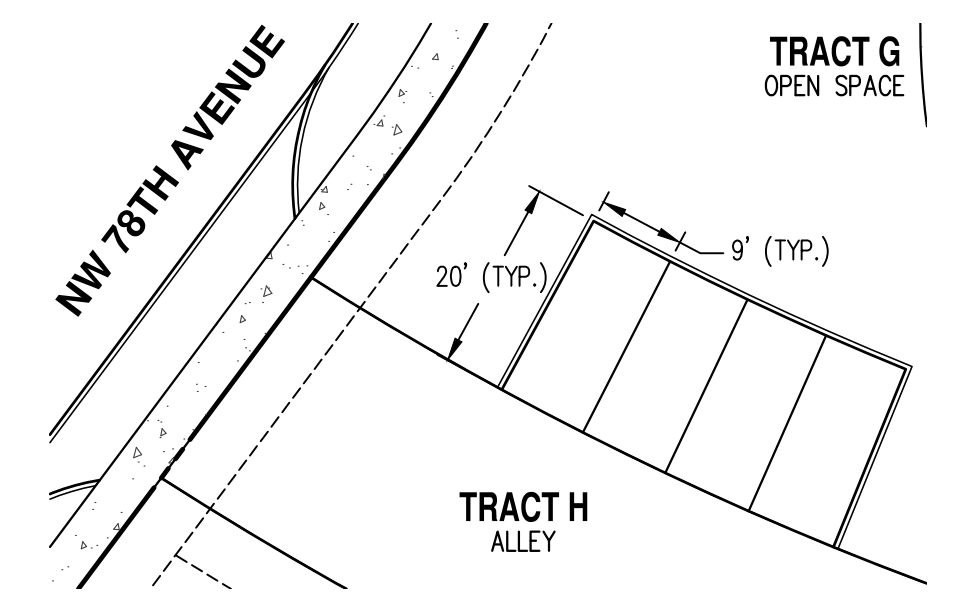


PRIVATE ACCESS TRACT A, B, E, H, & J

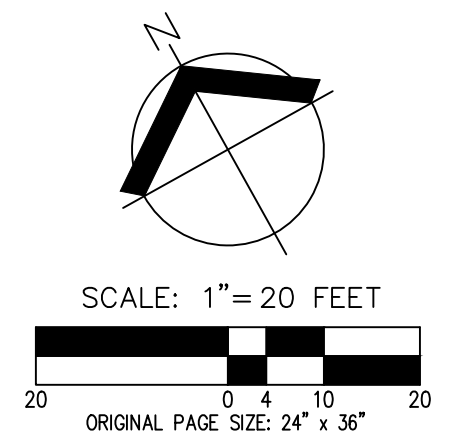
- GENERAL NOTES**
- THE PROPOSED DEVELOPMENT WILL ACCESS OFF NE CAMAS MEADOWS DRIVE WHICH IS CLASSIFIED AS AN EXISTING 3-LANE ARTERIAL WITH CURB AND GUTTER, SIDEWALK, AND PLANTER STRIPS ON BOTH SIDES.
 - NW CAMAS MEADOWS FRONTAGE IMPROVEMENTS WILL INCLUDE: REPLACEMENT OF DAMAGED CURB AND SIDEWALK GRIND AND INLAY AT NW 75TH AVENUE, NW 77TH AVENUE, AND NW 78TH AVENUE, IF NECESSARY.



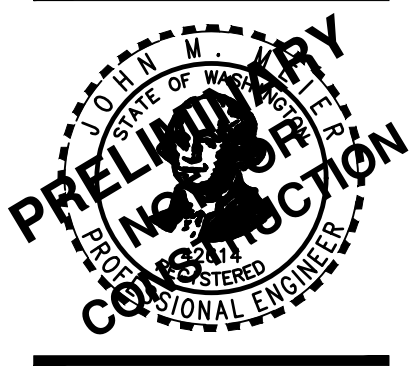
TRACT C PARKING



TRACT G PARKING



**PRELIMINARY STREET PLAN
 CAMAS MEADOWS SUBDIVISION
 ROMANO CAPITAL
 CITY OF CAMAS, WASHINGTON**

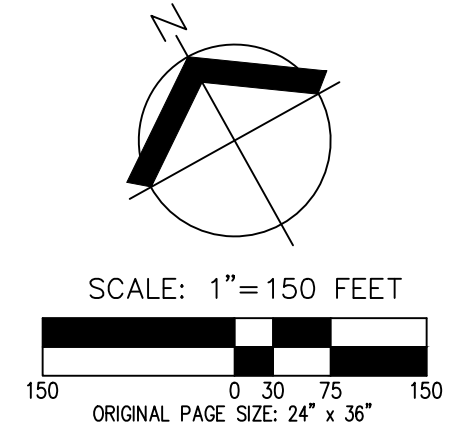
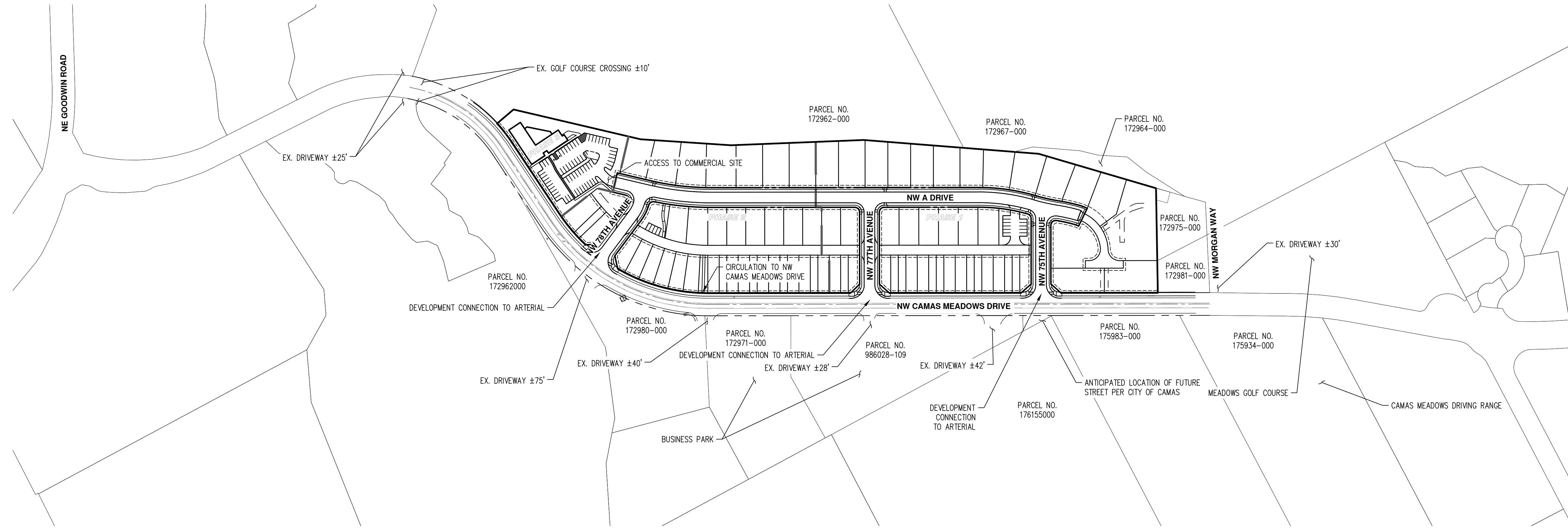


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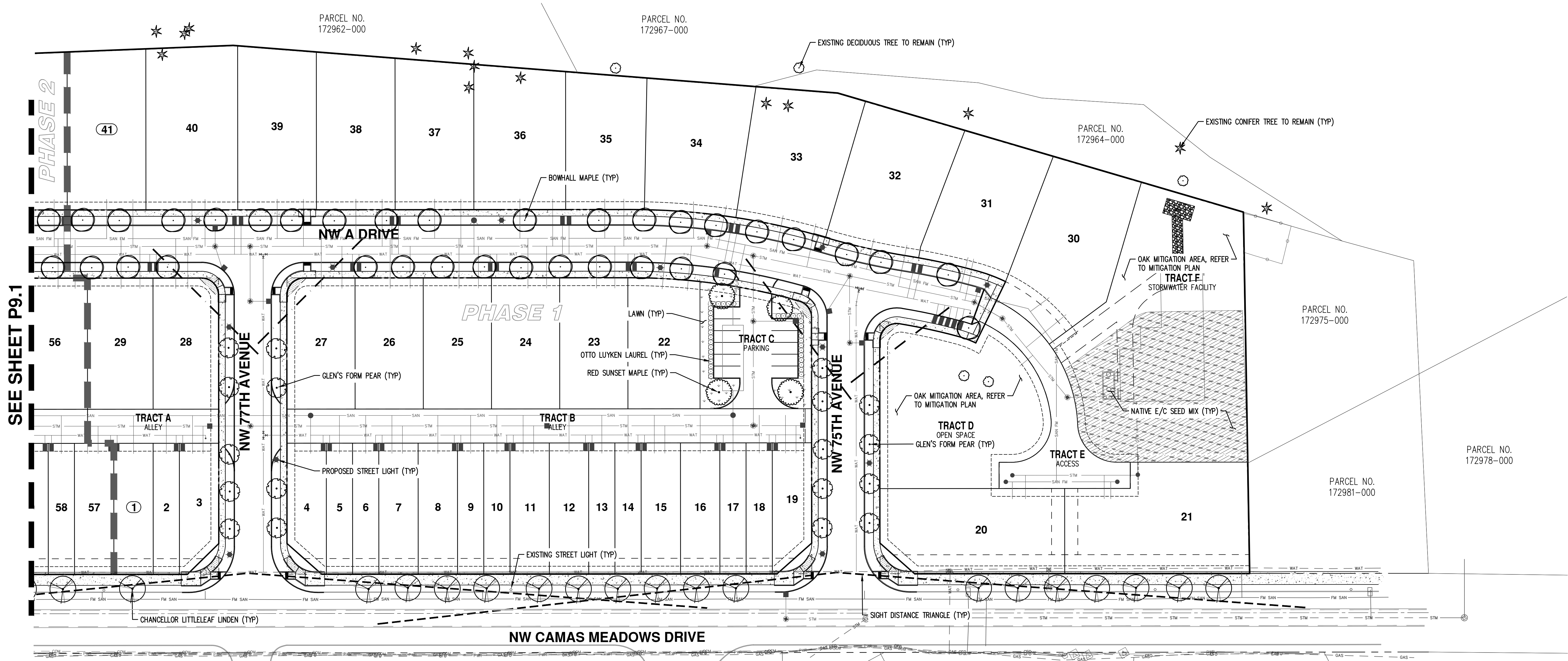
GENERAL NOTE
SEE SHEET P8.0 FOR PROPOSED ROADWAY WIDTHS, TURNING RADII, AND PARKING AREA LAYOUT.

**PRELIMINARY CIRCULATION PLAN
CAMAS MEADOWS SUBDIVISION
ROMANO CAPITAL
CITY OF CAMAS, WASHINGTON**



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CHECKED BY: JMM

P8.1



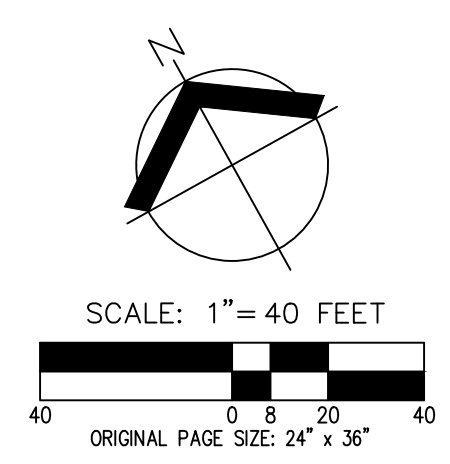
PARCEL NO. 986028-109 PARCEL NO. 986028-109 PARCEL NO. 176155000 PARCEL NO. 175983-000 PARCEL NO. 175934-000

PRELIMINARY PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING	GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING
	11	ACER RUBRUM 'FRANKSRED'™	RED SUNSET MAPLE	2" CAL. B&B	AS SHOWN		147	RUBUS CALYCOINOIDES	CREeping BRAMBLE	1 GAL. CONT.	24" o.c.
	1	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY GINKGO	2" CAL. B&B	AS SHOWN		±1,910 SF	RIVER ROCK			
STREET TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING	GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING
	61	ACER RUBRUM 'BOWHALL'	BOWHALL RED MAPLE	2" CAL. B&B	30' o.c.		±16,282 SF	LAWN - NORTHWEST SUPREME LAWN SEED MIX - SUNMARK SEEDS (OR APPROVED EQUAL)			
	40	PYRUS CALLERYANA 'GLEN'S FORM'™	GLEN'S FORM PEAR	2" CAL. B&B	30' o.c.			- LOLIUM PERENNE VAR DASHER 3 (DASHER 3 PERENNIAL RYEGRASS) 35%			
	44	TILIA CORDATA 'CHANCOLE'™	CHANCELLOR LITTLELEAF LINDEN	2" CAL. B&B	30' o.c.			- LOLIUM PERENNE VAR CUTTER II (CUTTER II PERENNIAL RYEGRASS) 35%			
								- FESTUCA RUBRA VAR GARNET (GARNET CREEPING RED FESCUE) 15%			
								- FESTUCA RUBRA SPP FALLAX VAR WINDWARD (WINDWARDS CHEWINGS FESCUE) 15%			
								APPLY AT A RATE OF 8 LBS. PER 1,000 SF OR AS RECOMMENDED BY SUPPLIER			
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING	GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING
	12	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT EULALIA GRASS	1 GAL. CONT.	48" o.c.		±22,482 SF	NATIVE E/C SEED MIX - SUNMARK SEEDS (OR APPROVED EQUAL)			
	41	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	1 GAL. CONT.	30" o.c.			- HORDEUM BRACHYANTHERUM (MEADOW BARLEY) 40%			
	146	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN ENGLISH LAUREL	3 GAL. CONT.	48" o.c.			- BROMUS CARINATUS (CALIFORNIA BROME) 35%			
	45	SPIRAEA X BUMALDA 'GOLDMOUND'	GOLD MOUND SPIREA	2 GAL. CONT.	36" o.c.			- FESTUCA RUBRA RUBRA (NATIVE RED FESCUE) 20%			
	10	THUJA OCCIDENTALIS 'SMARAGO'	EMERALD GREEN ARBORVITAE	5'-6" HT. CONT.	30" o.c.			- DESCHAMPSIA CESPITOSA (TUFTED HAIRGRASS) 3%			
	68	VBURNUM DAVIDI	DAVID VBURNUM	2 GAL. CONT.	36" o.c.			- AGROSTIS EXERATA (SPIKE BENTGRASS) 2%			
								APPLY AT A RATE OF 1 LB. PER 1,000 SF OR AS RECOMMENDED BY SUPPLIER			
								ECOLIVE ORGANICS SHALL BE ADDED TO SEED MIX AT A RATE OF 1.5 LBS. PER 1,000 SF			

PRELIMINARY LANDSCAPE NOTES

- LANDSCAPE PLAN IS PRELIMINARY AND INTENDED TO SHOW DESIGN INTENT ONLY. REVISIONS OR SUBSTITUTIONS, INCLUDING CHANGES TO PLANT LOCATION, QUANTITIES, TYPES, AND SIZES MAY BE NECESSARY PRIOR TO FINAL APPROVAL BASED ON PLANT AVAILABILITY, SITE CONDITIONS, UTILITY CONFLICTS, ETC. ALL SUBSTITUTIONS SHALL CONFORM TO CITY OF CAMAS LANDSCAPE DESIGN STANDARDS. STREET TREES WILL BE UPDATED TO AVOID FUTURE DRIVEWAY DROPS.
- ALL PLANTS AND PLANTINGS SHALL CONFORM TO CITY OF CAMAS DESIGN STANDARDS AND TO AMERICAN NURSERY STANDARDS ANSI Z601. PLANT IN ACCORDANCE WITH ACCEPTED BEST-PRACTICE INDUSTRY STANDARDS SUCH AS THOSE ADOPTED BY THE WASHINGTON ASSOCIATION OF LANDSCAPE PROFESSIONALS (WALP).
- CENTER TREES IN PLANTER STRIPS AND LANDSCAPE PLANTING BEDS WHERE POSSIBLE. KEEP OTHER TREE TRUNKS 3' O.C. MINIMUM FROM CURBS, SIDEWALKS, AND OTHER PAVING OR CENTERED IN PLANTING ISLAND. KEEP SHRUBS AND GROUNDCOVER A MINIMUM OF 24" O.C. FROM PAVING AND 3' O.C. FROM TREES. ADJUST PLANTINGS AS NECESSARY ON SITE TO AVOID CONFLICT WITH UTILITIES, HYDRANTS, LIGHT POLES, METERS, ETC.
- HATCHED AREAS ARE MEANT TO CONVEY GENERAL PLANT LOCATION, PLANT COVERAGE, SPACING, AND LAYOUT SHALL BE CONSISTENT WITH THE SPACING LISTED IN THE PLANT LEGEND FOR FULL COVERAGE.
- MULCH: APPLY 3" DEEP WELL-AGED MEDIUM GRIND OR SHREDDED DARK HEMLOCK BARK MULCH UNDER AND AROUND ALL TREES AND SHRUBS IN PLANTER STRIP AREAS NOT INCLUDED AS STORMWATER FACILITIES OR LAWN. WHERE TREES ARE IN LAWN AREAS, A MINIMUM 3" DIAMETER MULCH RING SHALL BE USED AROUND THE TREE TO PROTECT THE TRUNK FROM MOWER DAMAGE. CARE SHALL BE TAKEN TO AVOID COVERING FOLIAGE OR ROOT CROWNS OF PLANTS. PLANTS SHALL BE PLANTED AT A DEPTH TO ACCOMMODATE BARK MULCH APPLICATION.
- IRRIGATION FOR HEALTHY PLANT ESTABLISHMENT AND SURVIVAL IS RECOMMENDED AND SHALL BE 'DESIGN-BUILD' BY LANDSCAPE CONTRACTOR.
- REFER TO SHEET P5.0 FOR PRELIMINARY TREE PLAN.



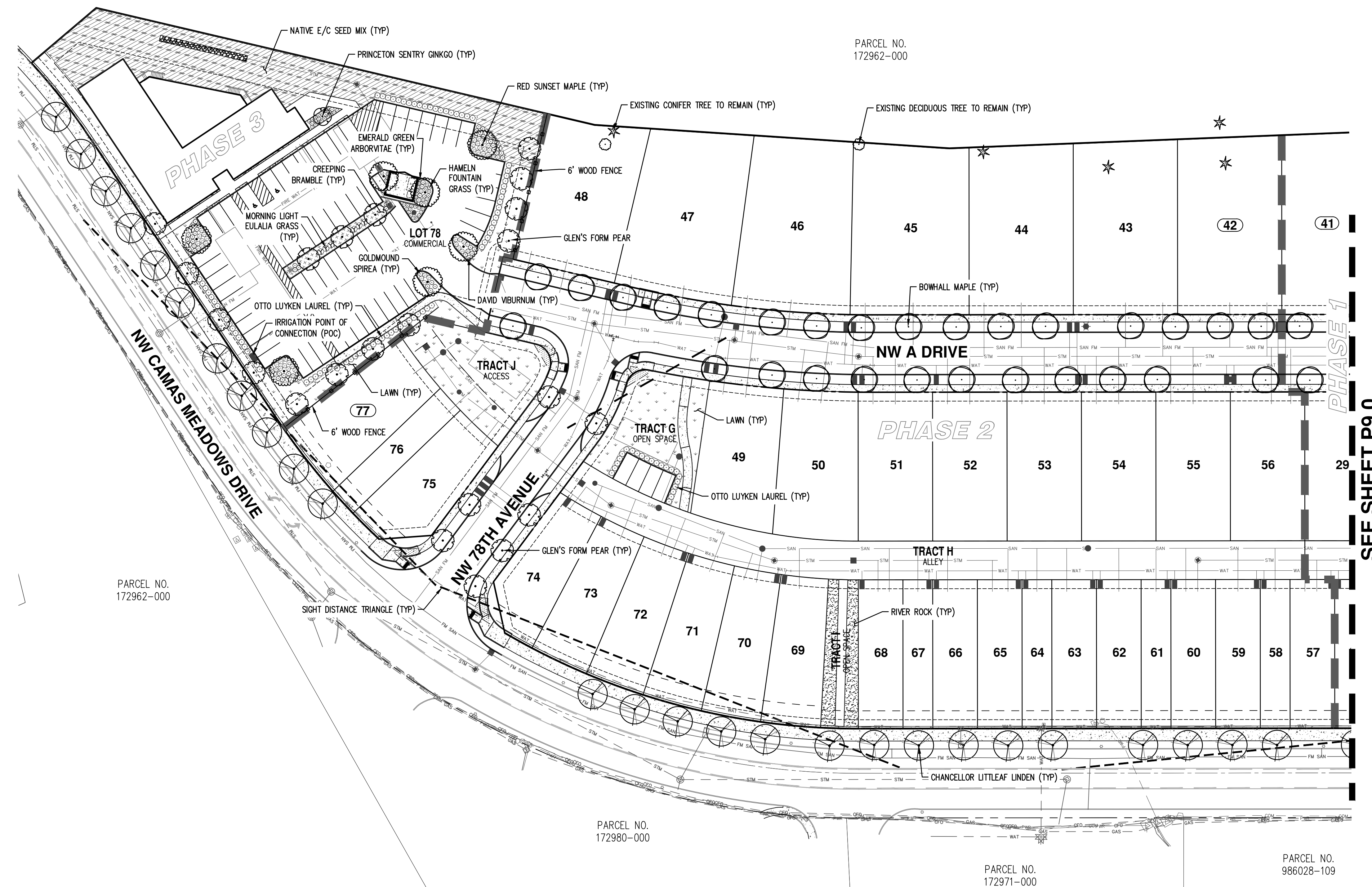
TREE PLAN

SITE AREA:	13.81 AC
TOTAL TREE UNITS REQUIRED (13.81 AC X 20):	276
EXISTING TREES RETAINED/(TREE UNITS):	14/(140.5)
PROPOSED SITE TREES/(TREE UNITS):	157
TOTAL TREE UNITS:	297.5
(RETAINED AND PRESERVED)	

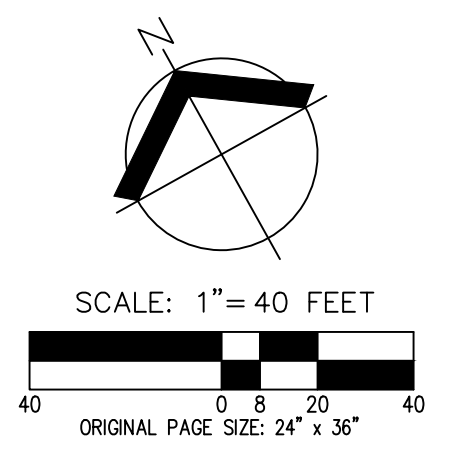
PRELIMINARY LANDSCAPE PLAN
CAMAS MEADOWS SUBDIVISION
ROMANO CAPITAL
CITY OF CAMAS, WASHINGTON

STATE OF WASHINGTON
 PRELIMINARY
 NOT FOR CONSTRUCTION
 LANDSCAPE ARCHITECTURE
 EXP. 12/31/2024

JOB NUMBER: 9030
 DATE: 8/3/2023
 DESIGNED BY: TEB
 DRAWN BY: TEB
 CHECKED BY: MPA



PHASE 1
SEE SHEET P9.0



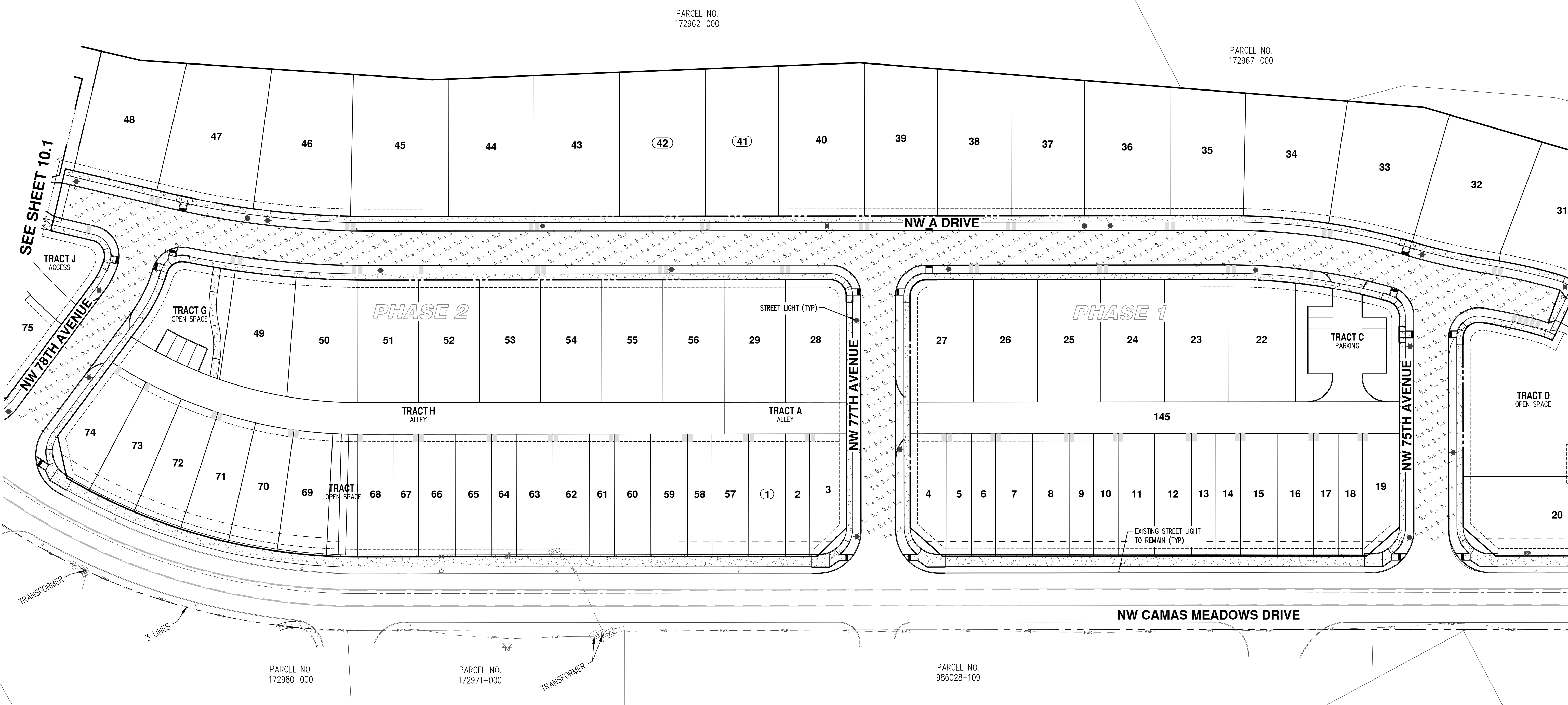
GENERAL NOTE

1. REFER TO SHEET P9.0 FOR PRELIMINARY PLANT SCHEDULE AND NOTES.

**PRELIMINARY LANDSCAPE PLAN
 CAMAS MEADOWS SUBDIVISION
 ROMANO CAPITAL
 CITY OF CAMAS, WASHINGTON**

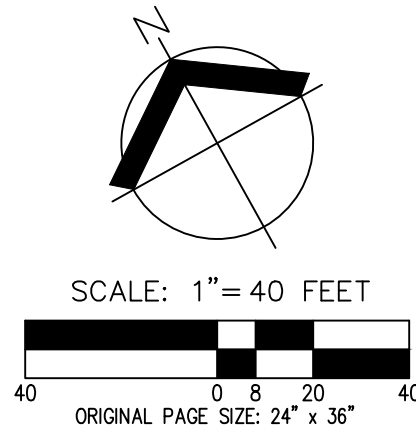


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DRAWN BY:	TEB
CHECKED BY:	MPA



LUMINAIRE SCHEDULE				
SYMBOL	QUANTITY	STYLE	LUMINAIRE TYPE	POLE TYPE
★	20	PROPOSED	HOLOPHANE AWDE3-P20-30K-MVOLT-MS-AL3-BK-ST-TBK-AO-PR7-L1H-TB-NL1X1-UA-GVDHSS90	PLP DECORATIVE POLE SPECIFICATIONS PLP MODEL# DOM-DB-FL-14.5-BL-CI
				HEIGHT
				14.5' HT.

ROADWAY LIGHT LEVEL SUMMARY - CITY OF CAMAS						
ROADWAY CLASSIFICATION	UNITS	AVERAGE	MAX	MIN	AVG / MIN	MAX / MIN
NEIGHBORHOOD (RESIDENTIAL)	Fc	0.43	0.8	0.1	4.30	8.00

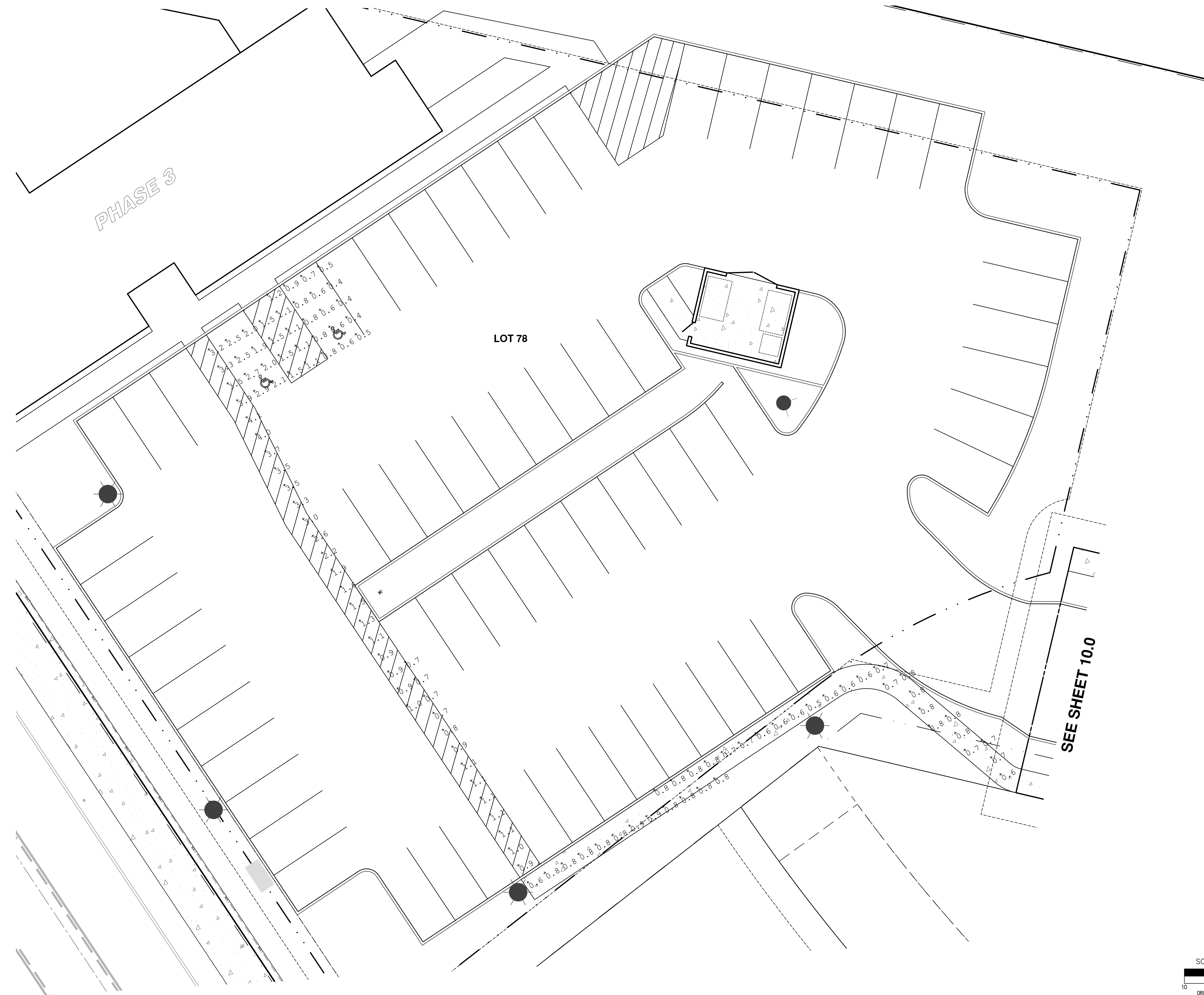


GENERAL NOTE:
 1. LIGHTING ANALYSIS PERFORMED WITH AGI SOFTWARE.

**PRELIMINARY STREET LIGHTING PLAN
 CAMAS MEADOWS SUBDIVISION
 ROMANO CAPITAL
 CITY OF CAMAS, WASHINGTON**

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

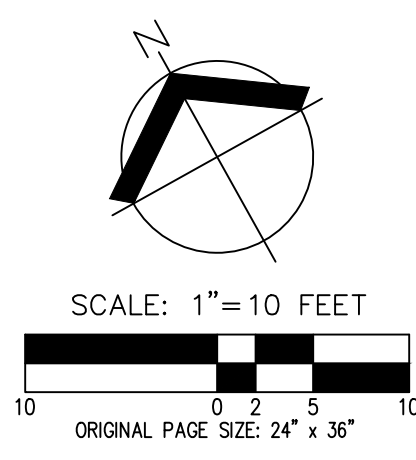
JOB NUMBER: 9030
 DATE: 8/3/2023
 DESIGNED BY: JTG
 DRAWN BY: JTG
 CHECKED BY: MPA



PHASE 3

LOT 78

SEE SHEET 10.0



ADA/PEDESTRIAN LEVEL SUMMARY – CITY OF CAMAS

UNITS	AVERAGE	MAX	MIN	AVG / MIN	MAX / MIN
Fc	1.28	4.1	0.4	3.20	10.25

LUMINAIRE SCHEDULE

SYMBOL	QUANTITY	STYLE	LUMINAIRE TYPE	POLE TYPE	HEIGHT
★	4	PROPOSED	HUBBELL LIGHTING – AIRO SERIES – ASL-24L-N-T3	N/A	20.0' HT.

GENERAL NOTE:

1. LIGHTING ANALYSIS PERFORMED WITH AGI SOFTWARE.

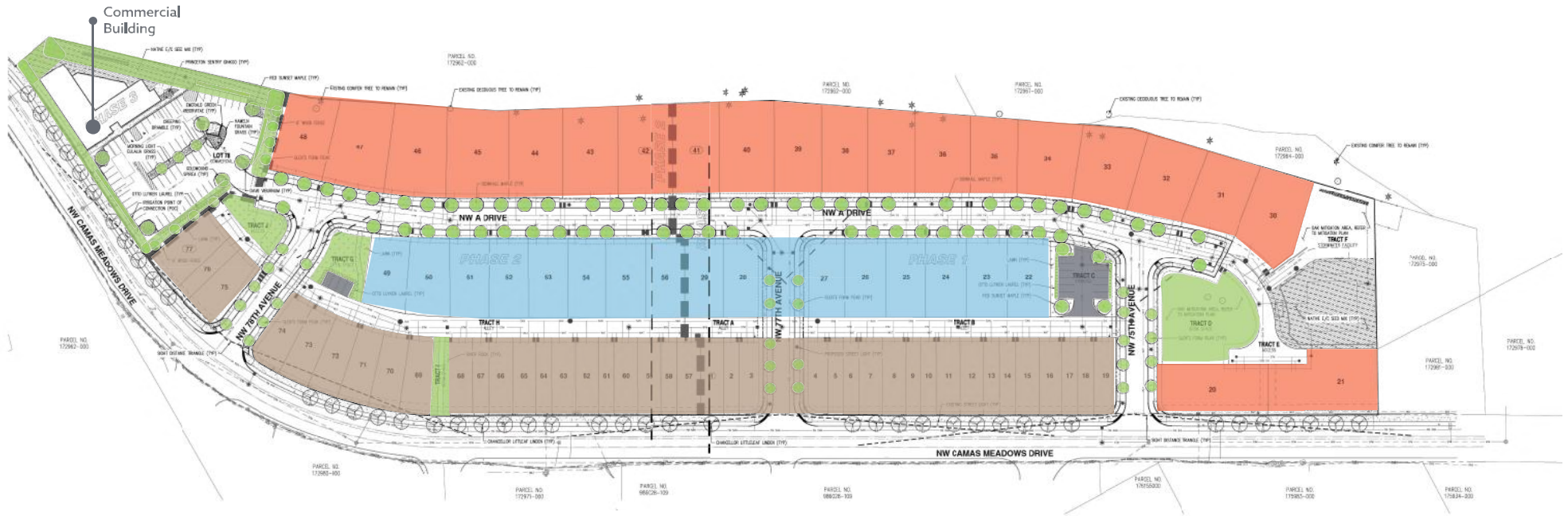
**PRELIMINARY ADA AND PEDESTRIAN LIGHTING PLAN
 CAMAS MEADOWS SUBDIVISION
 ROMANO CAPITAL
 CITY OF CAMAS, WASHINGTON**

**PRELIMINARY
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JOB NUMBER:	9030
DATE:	8/3/2023
DESIGNED BY:	JTG
DRAWN BY:	JTG
CHECKED BY:	MPA

CAMAS MEADOWS

PRELIMINARY SITE PLAN Camas Meadows Subdivision Romano Capital



40-50' Luxury*
Single Family
Residences
21 Lots



30' Rear Loaded*
Single Family
Residences
16 Lots



20'
Townhomes
40 Lots

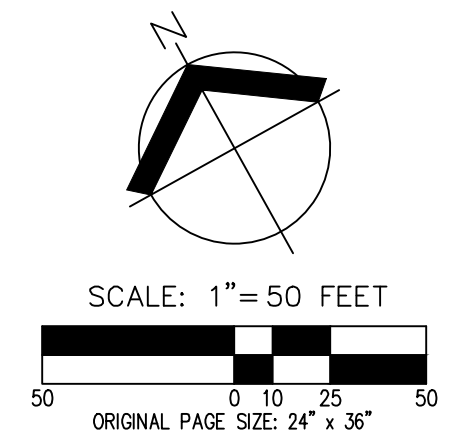
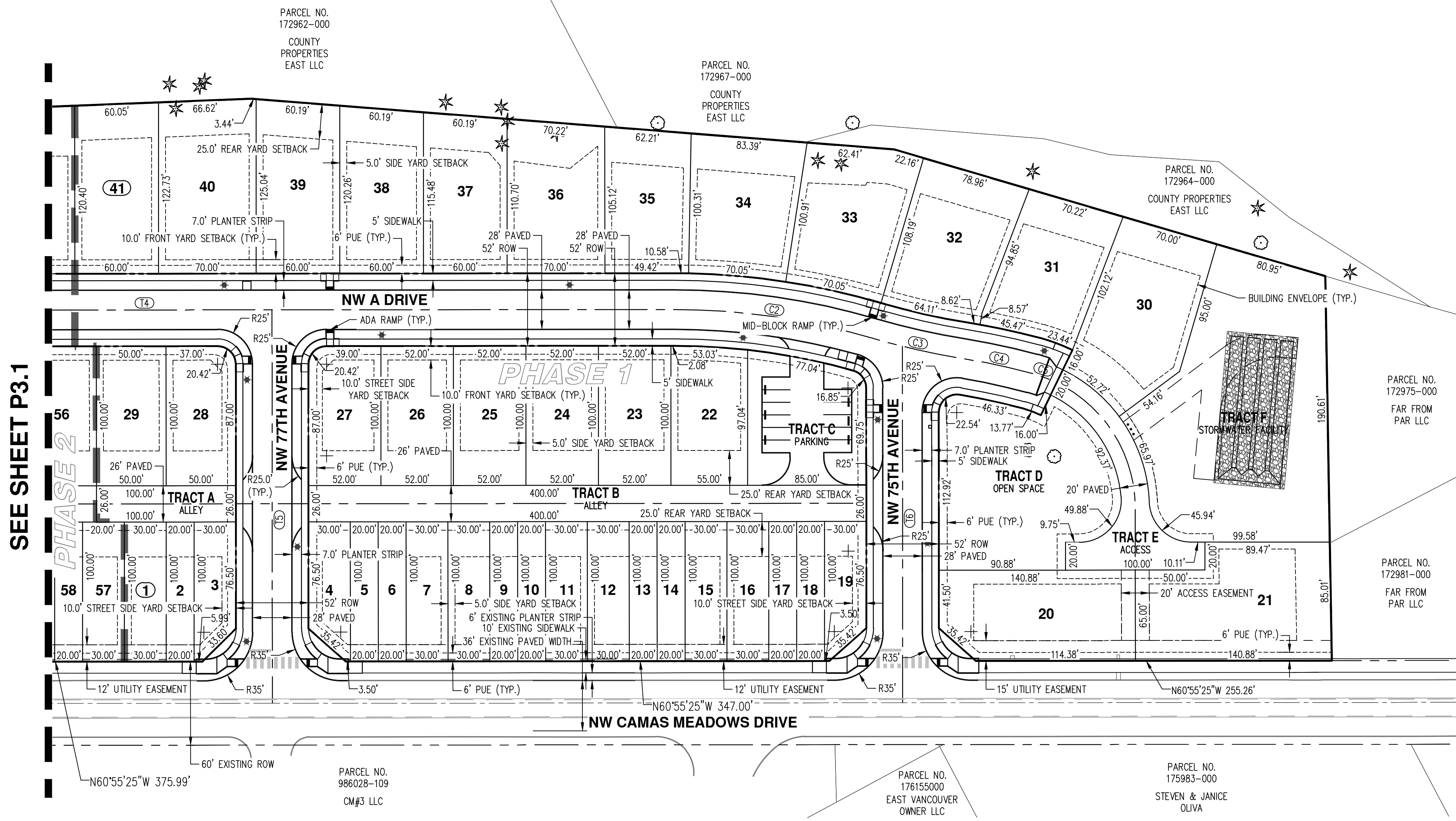


**Open Space/
Park Area**



Parking

*The detached Single Family Residences do not require design review approval. Request is for townhomes and the commercial lot.



GENERAL NOTES

- TOTAL SITE AREA IS 13.81 ACRES (600,725 SQUARE FEET).
- NO WETLAND, STREAM, OR STEEP BANK BUFFER AREAS, OR PROTECTED AREAS EXIST ON SITE.
- NO PLANNED ENHANCEMENT AREAS ARE PROPOSED.
- NO STRUCTURES EXIST ON SITE.
- NO TRANSIT FACILITIES ARE PROPOSED.
- NO BICYCLE FACILITIES BEYOND THOSE LOCATED IN THE RIGHT-OF-WAY ARE PROPOSED.
- NW 75TH AVENUE, NW 77TH AVENUE, NW 78TH AVENUE, AND NW A DRIVE ARE PUBLIC WITH ASPHALT SURFACING.
- NO ROADS ON OR WITHIN 500 FEET OF THE SITE PROPOSED TO PROVIDE SITE ACCESS ARE IN EXCESS OF 15% GRADE.
- NW CAMAS MEADOWS DRIVE IS PUBLIC WITH ASPHALT SURFACING.
- SIGHT DISTANCE TRIANGLES ARE SHOWN ON SHEET P8.0.
- ALL PROPOSED EASEMENTS ARE SHOWN ON THE PLANS.
- NO HARD LANDSCAPING FEATURES ARE PROPOSED.
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- SURFACE MATERIAL FOR ALL PROPOSED ROADWAYS IS ASPHALT.
- ALL PROPOSED HOMES WILL BE CONSTRUCTED WITH FIRE SPRINKLERS.
- ALL LOTS WILL BE SERVED WITH PUBLIC SANITARY SEWER AND WATER BY CITY OF CAMAS. WATER AND SEWER WILL BE EXTENDED FROM THE LINES IN NW CAMAS MEADOWS DRIVE INTO THE SITE.
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SEE SHEET P3.1

SITE STATISTICS

PARCEL ZONE: MIXED USE (MX)
GROSS AREA: 13.81 AC (601,725 SF)
TOTAL ROW DEDICATION: 98,650 SF (2.27 AC)
MINIMUM LOT AREA: 2,000 SF
MAXIMUM LOT AREA: 10,915 SF
PROPOSED AVERAGE LOT AREA: 4,696 SF

LOT STATISTICS

ATTACHED REAR LOAD: 40
DETACHED FRONT LOAD: 37
COMMERCIAL: 1
TOTAL LOTS: 78

DEVELOPMENT STANDARDS

MAXIMUM FRONT YARD SETBACK: 10 FEET
GARAGE SETBACK: 5 FEET FROM FRONT OF DWELLING
MINIMUM SIDE YARD SINGLE-FAMILY: 5 FEET
MINIMUM SIDE YARD COMMERCIAL: 10 FEET
MINIMUM STREET SIDE YARD: 10 FEET
MINIMUM REAR YARD: 25 FEET

RESIDENTIAL PARKING STATISTICS

REQUIRED PARKING: 1 SPACE/5 LOTS
PROPOSED PARKING: 15 SPACES (77 LOTS/5 LOTS/SPACE)
TRACT C: 11 SPACES
TRACT G: 4 SPACES
TOTAL PROPOSED: 15 SPACES

TRACT PURPOSE AREA

TRACT A	ALLEY	2,600 SF
TRACT B	ALLEY	10,400 SF
TRACT C	OPEN SPACE/PARKING	7,600 SF
TRACT D	OPEN SPACE	13,831 SF
TRACT E	ACCESS	5,117 SF
TRACT F	STORMWATER FACILITY	23,425 SF
TRACT G	OPEN SPACE/PARKING	5,138 SF
TRACT H	ALLEY	13,083 SF
TRACT I	OPEN SPACE	2,270 SF
TRACT J	OPEN SPACE/ACCESS	4,664 SF
TOTAL		88,128 SF

APPLICANT/CONTACT

ROMANO DEVELOPMENT, LLC
CONTACT: STACEY SHIELDS
4610 NE 77TH AVENUE, SUITE 102
VANCOUVER, WA 98682
PH: (360) 904-4759
EMAIL: STACEY@ROMANOFINANCIAL.COM

OWNERS

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2370 E 3RD LOOP SUITE 100
VANCOUVER, WA 98661

VANPORT MANUFACTURING INC & HERTRICH ADOLF
PO BOX 97
BORING OR, 97009

PEDWAR DEVELOPMENT GROUP LLC
4711 NW CAMAS MEADOWS DRIVE
CAMAS, WA 98607

ENGINEER/PLANNER/ARBORIST/SURVEY/LANDSCAPE ARCHITECT/BIOLOGIST

AKS ENGINEERING & FORESTRY, LLC.
CONTACT: MICHAEL ANDREOTTI
9600 NE 126TH AVENUE, SUITE 2520
VANCOUVER, WA 98682
PH: 360-882-0419
FAX: 360-882-0426
E-MAIL: ANDREOTTI@AKS-ENG.COM

PROPERTY DESCRIPTION

LOCATED IN THE NORTHWEST AND SOUTHWEST 1/4 OF SECTION 28, TOWNSHIP 2 NORTH, RANGE 3 EAST AND THE NORTHEAST 1/4 OF SECTION 29, TOWNSHIP 2 NORTH, RANGE 3 EAST, WILLAMETTE MERIDIAN, CLARK COUNTY, WASHINGTON. PROPERTY SERIAL NO.'S 175980-000, 172973-000, 172963-000, 986035-734, 986035-733, 172970-000, & 986026-906.

EXISTING LAND USE

UNDEVELOPED ZONED MIXED USE (MX)

PROJECT PURPOSE

PHASED MIXED USE SUBDIVISION WITH 77 SINGLE-FAMILY RESIDENTIAL LOTS AND ONE COMMERCIAL LOT WITH ASSOCIATED ROAD AND OTHER SITE IMPROVEMENTS.

SITE AREA

13.81 AC (601,725 SF)

PARCEL AREA TABLE

PARCEL #	AREA (SF)
1	3,000
2	2,000
3	2,718
4	2,689
5	2,000
6	2,000
7	3,000
8	3,000
9	2,000
10	2,000
11	3,000
12	3,000
13	2,000
14	2,000

PARCEL AREA TABLE

PARCEL #	AREA (SF)
15	3,000
16	3,000
17	2,000
18	2,000
19	2,689
20	8,846
21	10,915
22	5,448
23	5,200
24	5,200
25	5,200
26	5,200
27	5,164
28	4,964

PARCEL AREA TABLE

PARCEL #	AREA (SF)
29	5,000
30	9,138
31	7,089
32	7,974
33	8,115
34	7,645
35	6,266
36	7,554
37	6,786
38	7,072
39	7,359
40	8,686
41	7,294

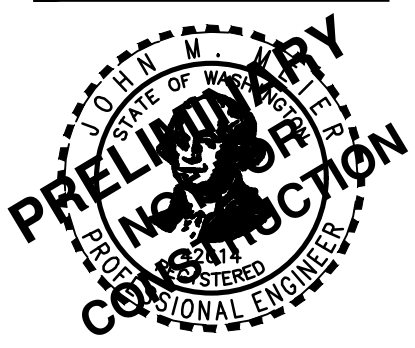
CENTERLINE TANGENT TABLE

LINE #	LENGTH	DIRECTION
T1	171.70	S65° 51' 46.18"W
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T3	88.24	S47° 37' 36.27"E
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CENTERLINE CURVE TABLE

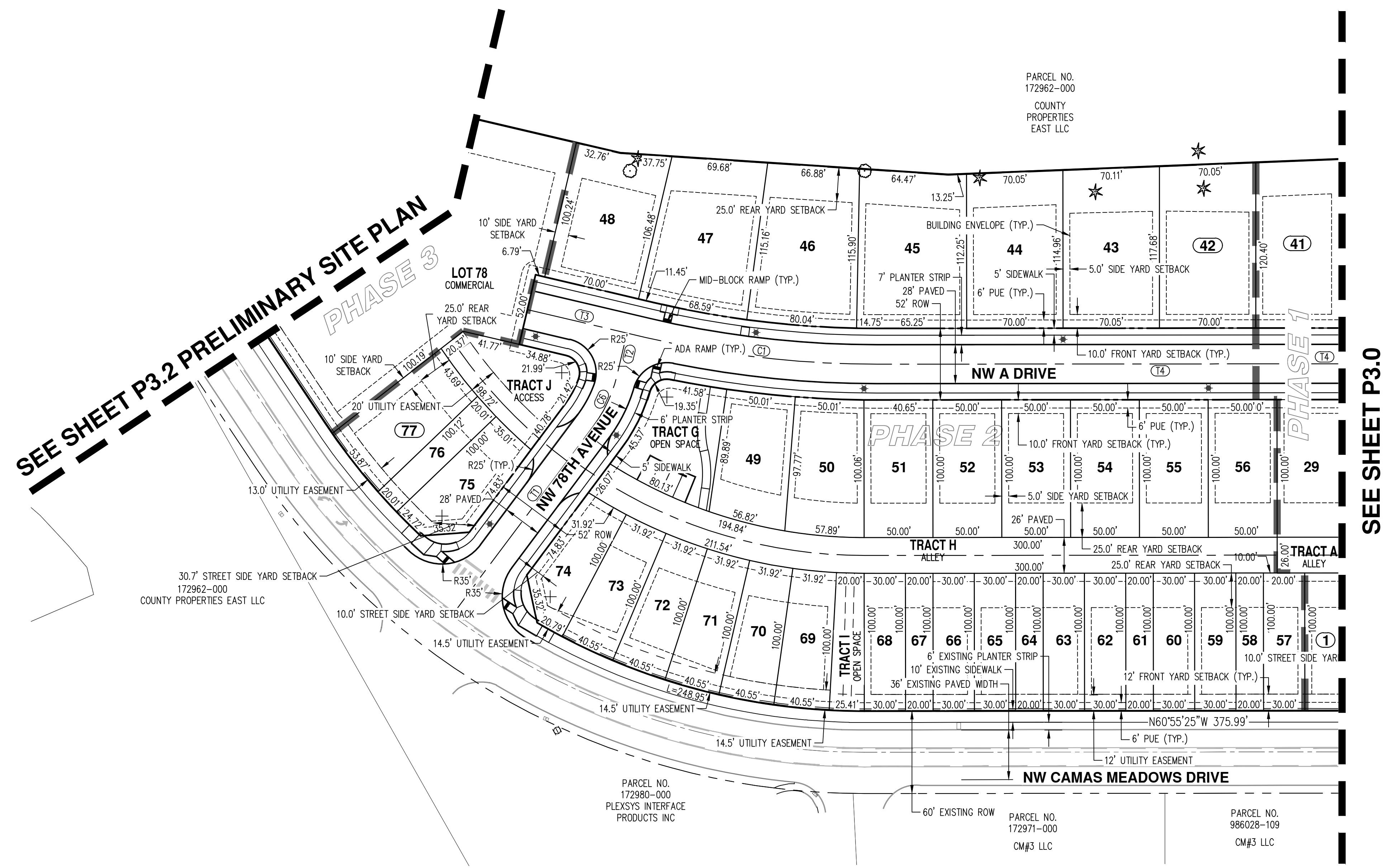
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PRELIMINARY SUBDIVISION PLAT
CAMAS MEADOWS SUBDIVISION
ROMANO CAPITAL
CITY OF CAMAS, WASHINGTON



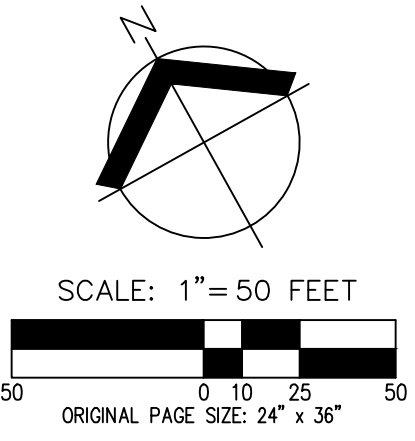
JOB NUMBER: 9030
DATE: 1/19/2024
DESIGNED BY: D.J.L.
DRAWN BY: D.J.L.
CHECKED BY: J.M.M.

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PARCEL AREA TABLE

PARCEL #	AREA (SF)
42	8,333
43	8,149
44	7,952
45	8,949
46	8,531
47	8,316
48	7,134
49	5,010
50	5,358
51	5,000
52	5,000
53	5,000
54	5,000
55	5,000
56	5,000
57	3,000
58	2,000
59	3,000

PARCEL AREA TABLE

PARCEL #	AREA (SF)
60	3,000
61	2,000
62	3,000
63	3,000
64	2,000
65	3,000
66	3,000
67	2,000
68	3,000
69	3,624
70	3,624
71	3,624
72	3,624
73	3,624
74	3,634
75	3,984
76	2,001
77	4,878

SITE STATISTICS

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TRACT	PURPOSE	AREA
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VANCOUVER, WA 98661

LOFTS AT CAMAS MEADOWS PHASE II LLC
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PROJECT PURPOSE

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SITE AREA

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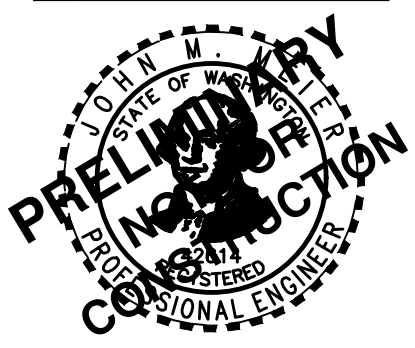
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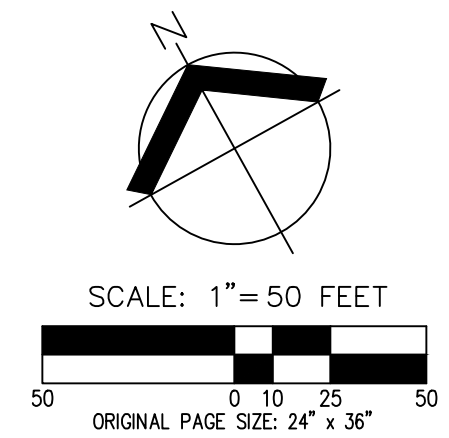
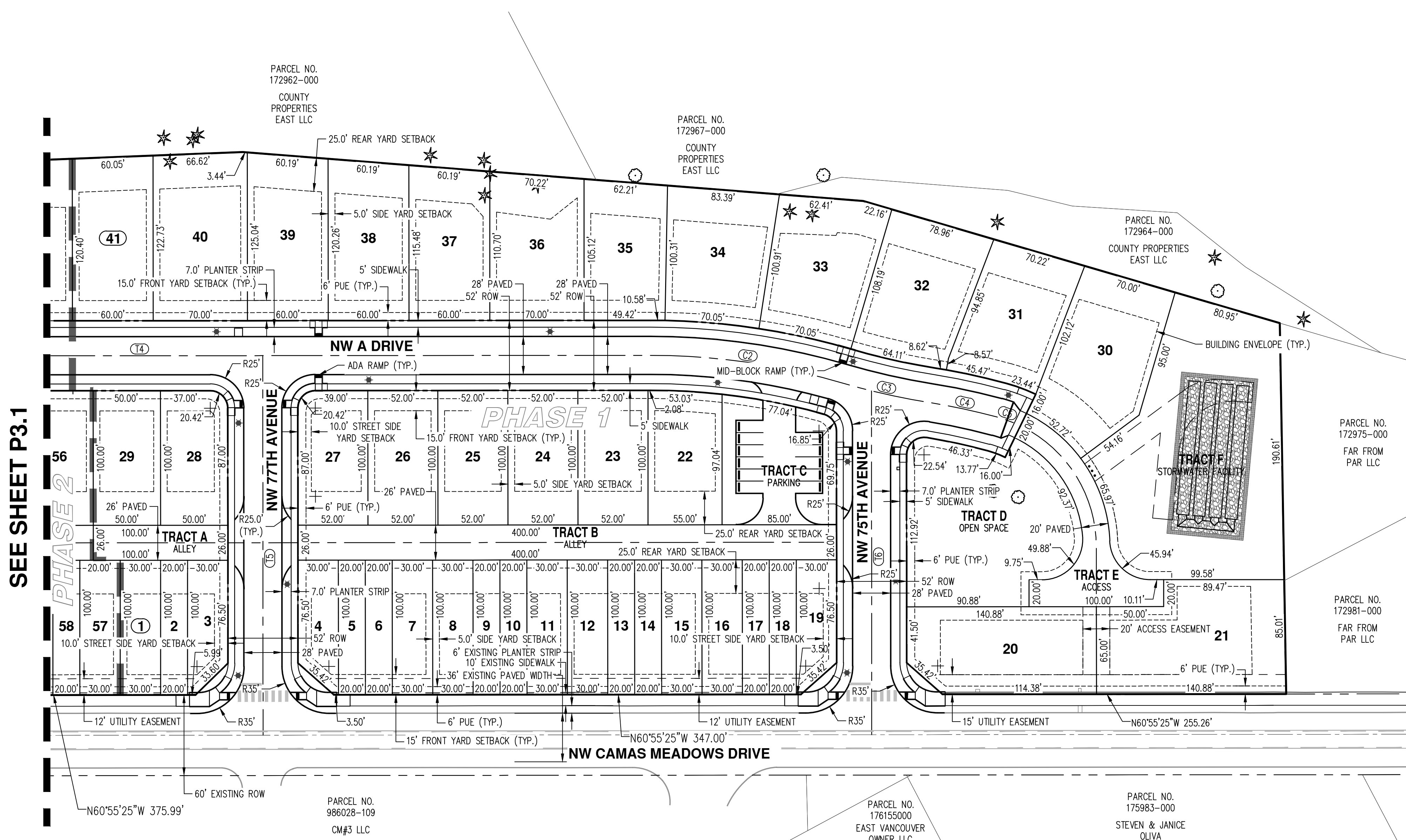
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PRELIMINARY SUBDIVISION PLAT
CAMAS MEADOWS SUBDIVISION
ROMANO CAPITAL
CITY OF CAMAS, WASHINGTON



JOB NUMBER: 9030
DATE: 2/20/2024
DESIGNED BY: DJL
DRAWN BY: DJL
CHECKED BY: JMM

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- NW CAMAS MEADOWS FRONTAGE IMPROVEMENTS WILL INCLUDE: REPLACEMENT OF DAMAGED CURB AND SIDEWALK, GRIND AND INLAY AT NW 75TH AVENUE AND NW 77TH AVENUE.

SEE SHEET P3.1

PARCEL AREA TABLE

PARCEL #	AREA (SF)
1	3,000
2	2,000
3	2,718
4	2,689
5	2,000
6	2,000
7	3,000
8	3,000
9	2,000
10	2,000
11	3,000
12	3,000
13	2,000
14	2,000

PARCEL AREA TABLE

PARCEL #	AREA (SF)
15	3,000
16	3,000
17	2,000
18	2,000
19	2,689
20	8,846
21	10,915
22	5,448
23	5,200
24	5,200
25	5,200
26	5,200
27	5,164
28	4,964

PARCEL AREA TABLE

PARCEL #	AREA (SF)
29	5,000
30	9,138
31	7,089
32	7,974
33	8,115
34	7,645
35	6,266
36	7,554
37	6,786
38	7,072
39	7,359
40	8,686
41	7,294

SITE STATISTICS

PARCEL ZONE: MIXED USE (MX)
GROSS AREA: 13.81 AC (601,725 SF)
TOTAL ROW DEDICATION: 98,650 SF (2.27 AC)
MINIMUM LOT AREA: 2,000 SF
MAXIMUM LOT AREA: 10,915 SF
PROPOSED AVERAGE LOT AREA: 4,696 SF

LOT STATISTICS

ATTACHED REAR LOAD: 40
DETACHED FRONT LOAD: 37
COMMERCIAL: 1
TOTAL LOTS: 78

DEVELOPMENT STANDARDS

MAXIMUM FRONT YARD SETBACK: 15 FEET
MINIMUM SIDE YARD SINGLE-FAMILY: 5 FEET
MINIMUM SIDE YARD COMMERCIAL: 10 FEET
MINIMUM STREET SIDE YARD: 10 FEET
MINIMUM REAR YARD: 25 FEET
DETACHED LOT COVERAGE (LOTS 20-56): 50%
ATTACHED LOT COVERAGE (LOTS 1-19, & 57-77): 60%

RESIDENTIAL PARKING STATISTICS

REQUIRED PARKING: 1 SPACE/5 LOTS
PROPOSED PARKING: 15 SPACES (77 LOTS/5 LOTS/SPACE)
TRACT C: 11 SPACES
TRACT G: 4 SPACES
TOTAL PROPOSED: 15 SPACES

TRACT PURPOSE AREA

TRACT	PURPOSE	AREA
TRACT A	ALLEY	2,600 SF
TRACT B	ALLEY	10,400 SF
TRACT C	OPEN SPACE/PARKING	7,600 SF
TRACT D	OPEN SPACE	13,831 SF
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TRACT J	OPEN SPACE/ACCESS	4,664 SF
TOTAL		88,128 SF

APPLICANT/CONTACT

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CONTACT: STACEY SHIELDS
4610 NE 77TH AVENUE, SUITE 102
VANCOUVER, WA 98682
PH: (360) 904-4759
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PH: 360-882-0419
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PROPERTY DESCRIPTION

LOCATED IN THE NORTHWEST AND SOUTHWEST 1/4 OF SECTION 28, TOWNSHIP 2 NORTH, RANGE 3 EAST AND THE NORTHEAST 1/4 OF SECTION 29, TOWNSHIP 2 NORTH, RANGE 3 EAST, WILLAMETTE MERIDIAN, CLARK COUNTY, WASHINGTON. PROPERTY SERIAL NO.'S 175980-000, 172973-000, 172963-000, 986035-734, 986035-733, 172970-000, & 986026-906.

EXISTING LAND USE

UNDEVELOPED ZONED MIXED USE (MX)

PROJECT PURPOSE

PHASED MIXED USE SUBDIVISION WITH 77 SINGLE-FAMILY RESIDENTIAL LOTS AND ONE COMMERCIAL LOT WITH ASSOCIATED ROAD AND OTHER SITE IMPROVEMENTS.

SITE AREA

13.81 AC (601,725 SF)

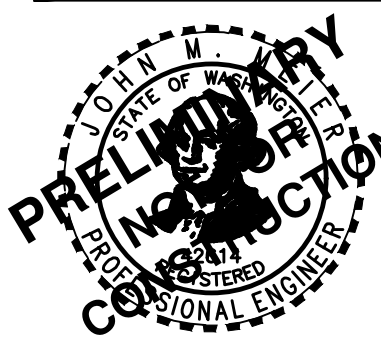
CENTERLINE TANGENT TABLE

LINE #	LENGTH	DIRECTION
T1	171.70	S65° 51' 46.18"W
T2	31.67	S42° 22' 23.73"W
T3	88.24	S47° 37' 36.27"E
T4	704.72	S60° 55' 25.29"E
T5	282.00	S29° 04' 34.71"W
T6	255.50	S29° 04' 34.71"W

CENTERLINE CURVE TABLE

CURVE #	ARC LENGTH	DELTA	RADIUS
C1	169.42	131°7'49"	730.00
C2	143.24	16°24'49"	500.00
C3	67.45	7°20'49"	526.00
C4	51.28	6°11'53"	474.00
C5	130.44	74°44'07"	100.00
C6	41.00	23°29'22"	100.00

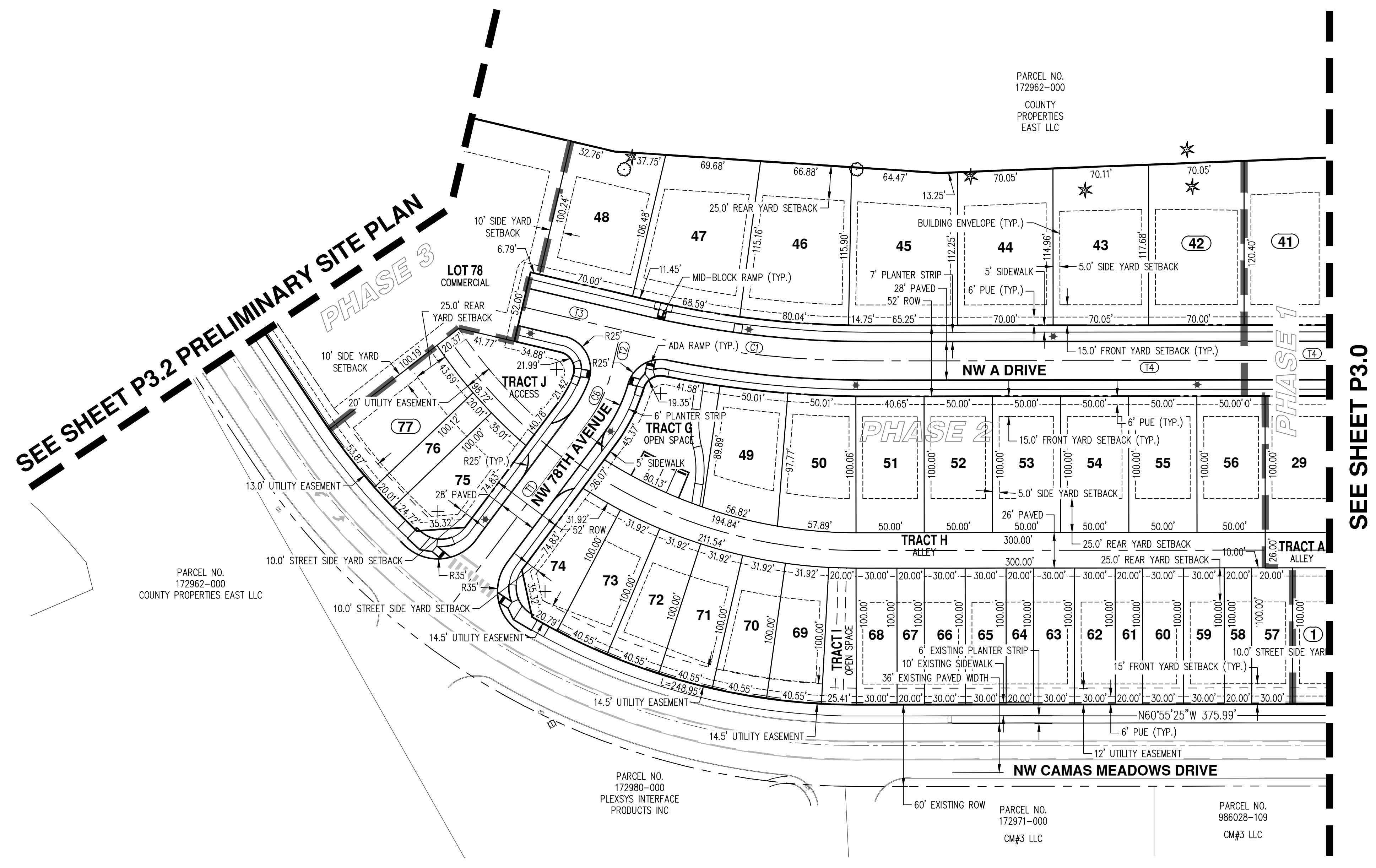
PRELIMINARY SUBDIVISION PLAT
CAMAS MEADOWS SUBDIVISION
ROMANO CAPITAL
CITY OF CAMAS, WASHINGTON



JOB NUMBER: 9030
DATE: 4/23/2024
DESIGNED BY: D.J.L.
DRAWN BY: D.J.L.
CHECKED BY: J.M.

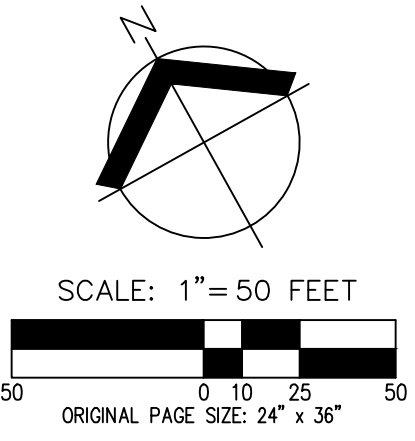
P3.0

THE PURPOSE OF THIS PRELIMINARY PLAT IS TO SHOW THE PROPOSED LOT DIMENSIONS AND AREAS FOR PLANNING PURPOSES. THIS IS NOT AN OFFICIAL PLAT AND IS NOT TO BE USED FOR SURVEY PURPOSES.



GENERAL NOTES

- TOTAL SITE AREA IS 13.81 ACRES (600,725 SQUARE FEET).
- NO WETLAND, STREAM, OR STEEP BANK BUFFER AREAS, OR PROTECTED AREAS EXIST ON SITE.
- NO PLANNED ENHANCEMENT AREAS ARE PROPOSED.
- NO STRUCTURES EXIST ON SITE.
- NO TRANSIT FACILITIES ARE PROPOSED.
- NO BICYCLE FACILITIES BEYOND THOSE LOCATED IN THE RIGHT-OF-WAY ARE PROPOSED.
- NW 75TH AVENUE, NW 77TH AVENUE, NW 78TH AVENUE, AND NW A DRIVE ARE PUBLIC WITH ASPHALT SURFACING.
- NO ROADS ON OR WITHIN 500 FEET OF THE SITE PROPOSED TO PROVIDE SITE ACCESS ARE IN EXCESS OF 15% GRADE.
- NW CAMAS MEADOWS DRIVE IS PUBLIC WITH ASPHALT SURFACING.
- SIGHT DISTANCE TRIANGLES ARE SHOWN ON SHEET P8.0.
- ALL PROPOSED EASEMENTS ARE SHOWN ON THE PLANS.
- NO HARD LANDSCAPING FEATURES ARE PROPOSED.
- SEE SHEETS P9.0 AND 9.1 FOR LANDSCAPE PLANS.
- THE DEVELOPMENT PROPOSES TO SUBDIVIDE SEVEN PARCELS INTO 77 ATTACHED AND DETACHED SINGLE-FAMILY LOTS, AND ONE COMMERCIAL LOT.
- THE DEVELOPMENT WILL CONSTRUCT FOUR INTERNAL STREETS. PROPOSED STREETS TO INCLUDE A 52-FOOT RIGHT-OF-WAY, 28-FOOT PAVED WIDTH, 7-FOOT PLANTER STRIP, AND 5-FOOT DETACHED SIDEWALK PER CITY OF CAMAS STANDARD DETAIL ST3.
- SURFACE MATERIAL FOR ALL PROPOSED ROADWAYS IS ASPHALT.
- ALL PROPOSED HOMES WILL BE CONSTRUCTED WITH FIRE SPRINKLERS.
- ALL LOTS WILL BE SERVED WITH PUBLIC SANITARY SEWER AND WATER BY CITY OF CAMAS. WATER AND SEWER WILL BE EXTENDED FROM THE LINES IN NW CAMAS MEADOWS DRIVE INTO THE SITE.
- STORMWATER FROM SUBDIVISION WILL BE COLLECTED ON SITE AND CONVEYED TO A MECHANICAL FILTER VAULT AND UNDERGROUND DETENTION IN TRACT F PRIOR TO DISCHARGING AT THE NORTHEAST CORNER OF THE SITE. STORMWATER FROM COMMERCIAL LOT WILL BE COLLECTED ON SITE AND CONVEYED TO MECHANICAL FILTER CATCH BASINS AND UNDERGROUND DETENTION PRIOR TO DISCHARGING AT THE NORTH CORNER OF THE SITE. STORMWATER TO BE DESIGNED PER CITY OF CAMAS STANDARDS.
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PARCEL AREA TABLE

PARCEL #	AREA (SF)
42	8,333
43	8,149
44	7,952
45	8,949
46	8,531
47	8,316
48	7,134
49	5,010
50	5,358
51	5,000
52	5,000
53	5,000
54	5,000
55	5,000
56	5,000
57	3,000
58	2,000
59	3,000

PARCEL AREA TABLE

PARCEL #	AREA (SF)
60	3,000
61	2,000
62	3,000
63	3,000
64	2,000
65	3,000
66	3,000
67	2,000
68	3,000
69	3,624
70	3,624
71	3,624
72	3,624
73	3,624
74	3,634
75	3,984
76	2,001
77	4,878

SITE STATISTICS

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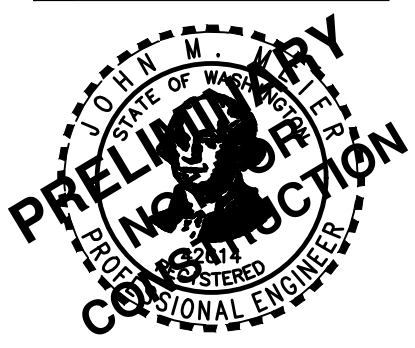
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SITE AREA

13.81 AC (601,725 SF)

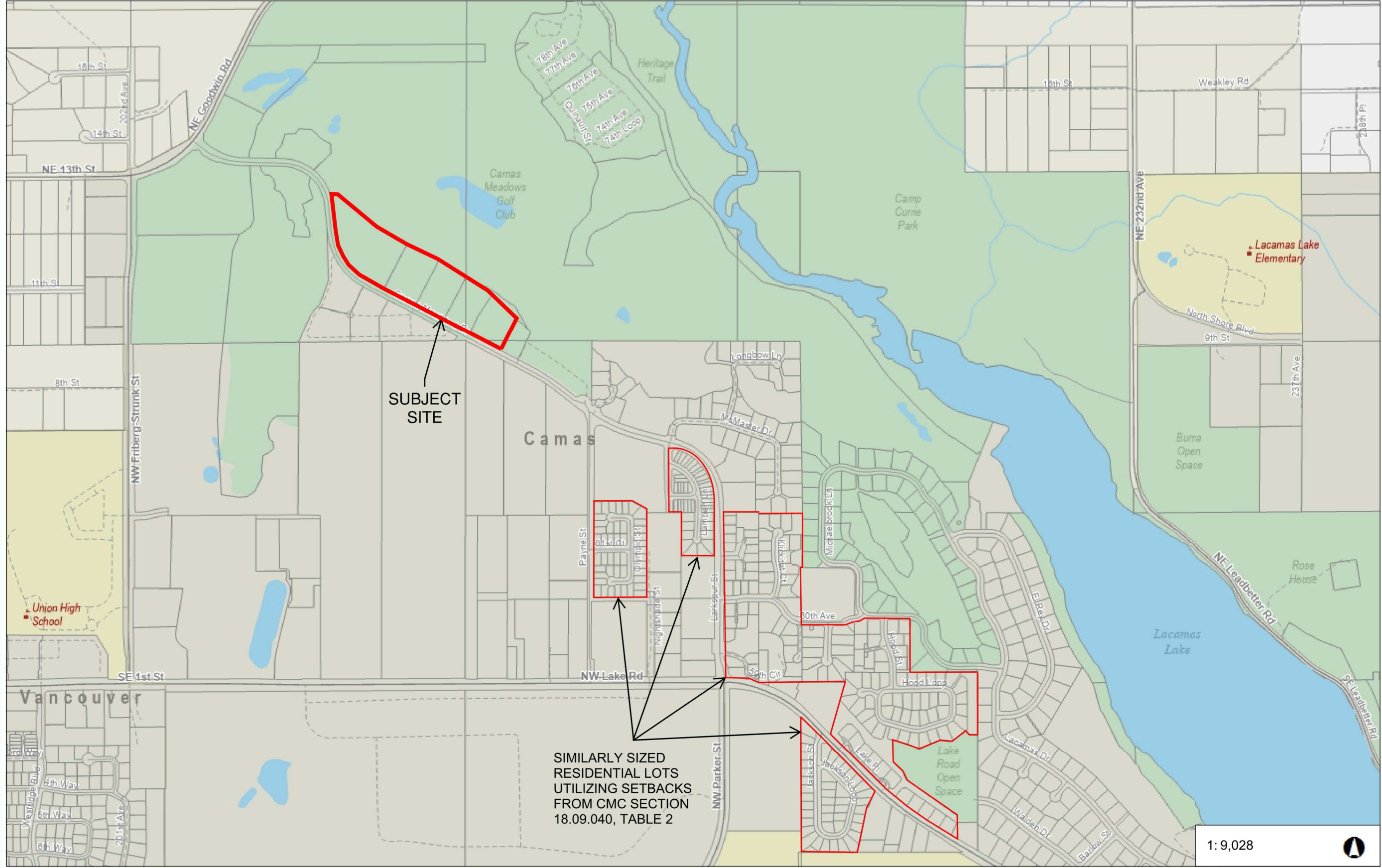
**PRELIMINARY SUBDIVISION PLAT
CAMAS MEADOWS SUBDIVISION
ROMANO CAPITAL
CITY OF CAMAS, WASHINGTON**



JOB NUMBER: 9030
DATE: 4/23/2024
DESIGNED BY: D.J.L.
DRAWN BY: D.J.L.
CHECKED BY: J.M.



Residential Lots



Legend
Taxlots

Notes:

1:9,028



SUBDIVISION

Issued By:



Fidelity National Title
Insurance Company

Guarantee/Certificate Number:

612888577

FIDELITY NATIONAL TITLE INSURANCE COMPANY
a corporation, herein called the Company

GUARANTEES

City of Camas

herein called the Assured, against actual loss not exceeding the liability amount stated in Schedule A which the Assured shall sustain by reason of any incorrectness in the assurances set forth in Schedule A.

LIABILITY EXCLUSIONS AND LIMITATIONS

1. No guarantee is given nor liability assumed with respect to the identity of any party named or referred to in Schedule A or with respect to the validity, legal effect or priority of any matter shown therein.
2. The Company's liability hereunder shall be limited to the amount of actual loss sustained by the Assured because of reliance upon the assurance herein set forth, but in no event shall the Company's liability exceed the liability amount set forth in Schedule A.

Please note carefully the liability exclusions and limitations and the specific assurances afforded by this guarantee. If you wish additional liability, or assurances other than as contained herein, please contact the Company for further information as to the availability and cost.

Fidelity National Title Company of Washington, Inc.
655 W. Columbia Way, Suite 200
Vancouver, WA 98660

Countersigned By:

Matthew London
Authorized Officer or Agent



Fidelity National Title Insurance Company

By:

Michael J. Nolan, President

Attest:

Marjorie Nemzura, Secretary

FIDELITY NATIONAL TITLE INSURANCE COMPANY**GUARANTEE/CERTIFICATE NO. 61288577****ISSUING OFFICE:**

Title Officer: James R. Copeland
 Fidelity National Title Company of Washington, Inc.
 655 W. Columbia Way, Suite 200
 Vancouver, WA 98660
 Phone: 360-601-4370 Fax: 877-334-2993
 Main Phone: (360)750-3686
 Email: James.Copeland@ctt.com

SCHEDULE A

Liability	Premium	Tax
\$1,000.00	\$350.00	\$30.10

Effective Date: February 7, 2023 at 08:00 AM

The assurances referred to on the face page are:

That, according to those public records which, under the recording laws, impart constructive notice of matter relative to the following described property:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

Title to said real property is [vested in:](#)

Pedwar Development Group, LLC, a Washington limited liability company

subject to the matters shown below under Exceptions, which Exceptions are not necessarily shown in the order of their priority.

END OF SCHEDULE A

EXHIBIT "A"
Legal Description

For APN/Parcel ID(s): 986026-906

A parcel of property lying in a portion of Section 28 and Section 29, Township 2 North, Range 3 East of the Willamette Meridian, Clark County, Washington, described as follows:

COMMENCING at the most Southerly Southeast corner of CAMAS MEADOWS CORPORATE CENTER PHASE 1, a subdivision recorded in Book 310 of Plats at Page 691, Clark County records, said point being on the South right-of-way line of Northwest Camas Meadows Drive; thence North 56°35'58" East along the Southeasterly line of said CORPORATE CENTER 60.00 feet to the North line of NW Camas Meadows Drive, said point being the most Northerly corner of that tract conveyed to City of Camas by deed recorded in Auditor's File No. 3380524, Clark County records, said point lying on a 405.00 foot radius curve to the right with a tangent bearing into said curve of South 33°24'02" East of this point; thence along the Northeasterly line of said City of Camas tract the following courses and distances: thence around said 405.00 foot radius curve to the right 141.15 feet to the TRUE Point of Beginning; thence continuing around said 405.00 foot radius curve to the right 63.00 feet; thence South 04°31'09" East 225.73 feet to a 470.00 foot radius curve to the left; thence around said 470.00 foot radius curve to the left 462.68 feet; thence South 60°55'20" East 144.61 feet; thence North 29°04'40" East leaving said City of Camas tract, 392.97 feet; thence North 63°08'44" West 83.31 feet; thence North 57°05'57" West 238.78 feet; thence North 47°40'13" West 343.87 feet to a point which bears North 78°46'24" East from the TRUE Point of Beginning; thence South 78°46'24" West 57.16 feet to the TRUE Point of Beginning.

MATCHES CXBDY

SCHEDULE B

SPECIAL EXCEPTIONS

1. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records. Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the public records.
2. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b) or (c) are shown in the public records.
3. General and special taxes and charges, payable February 15, delinquent if first half unpaid on May 1, second half delinquent if unpaid on November 1 of the tax year:

Year:	2023
<u>Tax Account No.:</u>	<u>986026-906</u>
School District/Levy Code:	114031
Assessed Total:	\$1,126,015.00
Millage Rate:	9.2956711722
Location Code:	0602

General and Special Taxes:

First Half Billed:	\$5,238.08
Second Half Billed:	\$5,237.99
Unpaid:	\$10,476.07

Prior to close of escrow, please contact the Tax Collector's Office to confirm all amounts owing, including current fiscal year taxes, supplemental taxes, escaped assessments and any delinquencies.

4. Assessments, if any, levied by the city of Camas.
5. Please be advised that our search did not disclose any open Deeds of Trust of record. If you should have knowledge of any outstanding obligation, please contact the Title Department immediately for further review prior to closing.
6. Development Agreement

**AFFECTS PROPERTY, CONTAINS DEVELOPMENT
RESTRICTIONS**

Recording Date: July 30, 2004
Recording No.: 3862705

Amended and Restated Development Agreement

Recording Date: September 13, 2005
Recording No.: 4049545

SCHEDULE B

(continued)

Development Agreement

Recording Date: April 4, 2013

[Recording No.: 4957780](#)

7. Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document:

In favor of: Pacific Power & Light Company

Purpose: transmission of electric energy

Recording Date: January 15, 1957

[Recording No.: G 232385](#)

Affects: said premises and other property

**DON'T THINK IT AFFECTS PROPERTY, EXHBIT
MAP SHOWS LINES NORTH AND EAST.**

8. Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document:

In favor of: Adjacent Property Owners

Purpose: installing and maintaining landscaping

Recording Date: May 16, 2002

[Recording No.: 3465118](#)

Affects: said premises and other property

**AFFECTS NORTHERN PORTION, SHONW
IN CXBDY**

9. Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document:

In favor of: Adjacent Property Owners

Purpose: storm drainage

Recording Date: May 16, 2002

[Recording No.: 3465122](#)

Affects: said premises and other property

STM EASEMENT, IN CXBDY

10. Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document:

In favor of: Adjacent Property Owners

Purpose: utilities

Recording Date: May 16, 2002

[Recording No.: 3465123](#)

Affects: said premises and other property

UTILITY EASEMENT IN CXBDY

11. Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document:

In favor of: Adjacent Property Owners

Purpose: sewer

Recording Date: November 14, 2005

[Recording No.: 4081317](#)

Affects: said premises and other property

**EASEMENT FALLS ON PARCEL NO. 172975000, NOT
ON SUBJECT PROPERTY**

12. Restrictive Covenant

Recording Date: April 28, 2000

[Recording No.: 3213928](#)

Affects: a portion of said premises and other property

COVENANT FOR WETLAND PROTECTION

SCHEDULE B

(continued)

13. Any unrecorded leaseholds, right of vendors and holders of security interests on personal property installed upon the Land and rights of tenants to remove trade fixtures at the expiration of the terms.

END OF EXCEPTIONS**NOTES**

The following matters will not be listed as Special Exceptions in Schedule B of the policy. There will be no coverage for loss arising by reason of the matters listed below because these matters are either excepted or excluded from coverage or are not matters covered under the insuring provisions of the policy.

Note A: Your application for title insurance was placed by reference to only a street address or tax identification number. Based on our records, we believe that the legal description in this report covers the parcel(s) of Land that you requested. If the legal description is incorrect, the seller/borrower must notify the Company and/or the settlement company in order to prevent errors and to be certain that the correct parcel(s) of Land will appear on any documents to be recorded in connection with this transaction and on the policy of title insurance.

Note B: Note: The Public Records indicate that the address of the improvement located on said Land is as follows:

4711 NW Camas Meadows Drive
Camas, WA 98607

Note C: Note: FOR INFORMATIONAL PURPOSES ONLY:

The following may be used as an abbreviated legal description on the documents to be recorded, per Amended RCW 65.04.045. Said abbreviated legal description is not a substitute for a complete legal description within the body of the document:

Tax Lot #27, Eberhart Schues DLC in Section 29, Township 2 North, Range 3 East
[Tax Account No.: 986026-906](#)

Note D: Note: This map/plat is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances or acreage shown thereon.

SCHEDULE B

(continued)

Note E: Recording Charge (Per Document) for closings on July 26, 2021 and after is the following:

County	First Page	Each Additional Page
Clark and Cowlitz	Deed \$203.50	\$1.00 each additional page
Clark and Cowlitz	Deed of Trust Basic Fee \$204.50	\$1.00 each additional page

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Vancouver, WA 98660

Email all Releases to:
ClarkWArecordings@fnf.com

END OF NOTES

END OF SCHEDULE B

Naomi Herman

From: Robert Maul <RMaul@cityofcamas.us>
Sent: Friday, January 19, 2024 1:56 PM
To: Michael Andreotti
Cc: Naomi Herman; Vancouver Project Coordinators; Madeline Sutherland
Subject: RE: Camas Meadows Hole 9 Mixed Use Modification



IRONSCALES couldn't recognize this email as this is the first time you received an email from this sender **RMaul@cityofcamas.us**

Proceed with caution: This email hails from an external source. Unverified emails may lead to phishing attacks or malware infiltration. Always exercise due diligence.

Hi Michael. I hope you all have stayed warm and safe through all this crazy weather. Yes, I will waive the pre-application for this variance request. I had a detailed conversation with Stacey and believe we covered the process well for everyone's understanding.

Regards,

Robert

From: Michael Andreotti <andreottim@aks-eng.com>
Sent: Friday, January 19, 2024 1:46 PM
To: Robert Maul <RMaul@cityofcamas.us>
Cc: Naomi Herman <hermann@aks-eng.com>; Vancouver Project Coordinators <vancouverpcs@aks-eng.com>; Madeline Sutherland <MSutherland@cityofcamas.us>
Subject: Camas Meadows Hole 9 Mixed Use Modification

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Robert –

Good afternoon. I am working on documents for a major modification/major variance for the Camas Meadows Hole 9 Mixed Use project (CUP23-01). It is my understanding that you have had some discussion with the Applicant regarding this variance/modification, but to be safe, the application is to request a variance to reduce the side yard setback for the residential lots from 10 feet to 5 feet. The proposed application would not modify other aspects of the originally approved application.

Given the limited scope of the proposed variance/modification, we would like to request a waiver of the requirement for a pre-application conference. Given that AKS recently completed a similar variance application with the City, I believe we will be able to submit adequate application materials for review without a pre-application conference.

If you could please confirm that the City is willing to waive the pre-application conference for a major modification/major variance application for CUP23-01, we will include that in the application materials.

Thank you,

Michael Andreotti, RLA
Land Use Planner



AKS ENGINEERING & FORESTRY, LLC

9600 NE 126th Avenue, Suite 2520 | Vancouver, WA 98682

P: 360.882.0419 Ext. 316 | www.aks-eng.com | andreottim@aks-eng.com

Offices in: Bend, OR | Keizer, OR | The Dalles, OR | Tualatin, OR | Kennewick, WA | Vancouver, WA | White Salmon, WA

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COMMUNITY DEVELOPMENT DEPARTMENT

616 NE 4th Avenue
Camas, WA 98607
www.ci.camass.wa.us

AKS Engineering
Attn: Michael Andreotti
9600 NE 126th Ave Suite 2520
Vancouver, WA 98662
sent via email andreottim@aks-eng.com

RE: Camas Meadows Hole 9 Major Variance (MAJVAR24-01) Application Completeness Review

Dear Michael Andreotti,

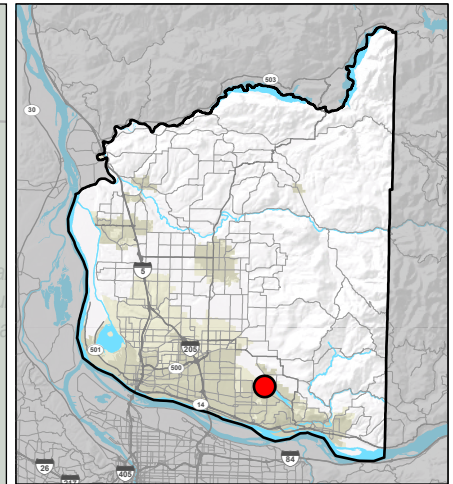
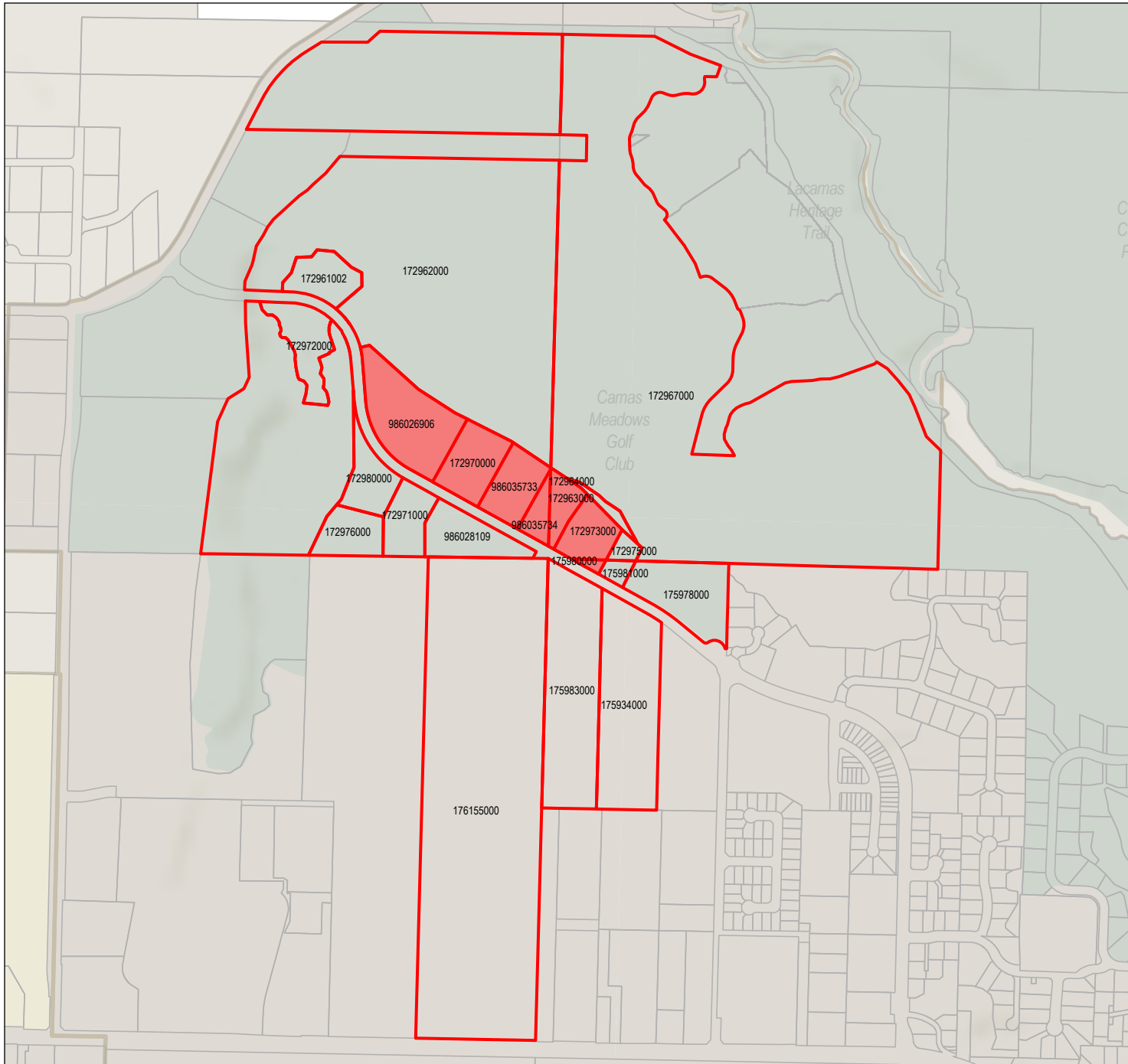
The purpose of this letter is to inform you that the above application submitted on 2/27/2024 has been deemed complete in accordance with Camas Municipal Code (CMC) Section 18.55.130. Staff will begin reviewing the application and contact you should we have questions/comments.

If you have any questions, please email me: msutherland@cityofcamas.us

Respectfully,

A handwritten signature in black ink, appearing to read "Madeline Sutherland", is written over a horizontal line.

Madeline Sutherland, AICP
Planner



**PID(s): 172970000, 986035733,
 986035734, 172963000,
 172973000, 175980000,
 986026906,
 300-Foot Buffer**

KEY

- Subject Property
- Buffer Selection
- Parcels



NOTE: Information shown on this map was collected from several sources. Clark County accepts no responsibility for any inaccuracies that may be present.



Owner Name	Mailing Address
BLT CLUB LLC	6733 NW LONGBOW LANE, CAMAS, WA, 98603
CAMAS MEADOWS HOLE 9 LLC	4660 NE 77TH AVE STE 200, VANCOUVER, WA, 98662
CM #567 LLC	915 W 11TH ST, VANCOUVER, WA, 98660
CM#3 LLC	4857 NW LAKE ROAD, SUITE 320, CAMAS, WA, 98607
COUNTY PROPERTIES EAST LLC	4857 NW LAKE RD #320, CAMAS, WA, 98607
EAST VANCOUVER OWNER LLC	1821 DOCK ST SUITE 100, TACOMA, WA, 98402
ELDA WA MEADOWS LLC	1505 NE VILLAGE ST, FAIRVIEW, OR, 97024
FAR FROM PAR LLC	504 NE 5TH AVE, CAMAS, WA, 98607
INNOVATIVE PROPERTY GROUP LLC	2027 NW SIERRA LN, CAMAS, WA, 98607
LOFTS AT CAMAS MEADOWS PHASE I LLC	2370 E 3RD LOOP STE 100, VANCOUVER, WA, 98661
LOFTS AT CAMAS MEADOWS PHASE II LLC	2370 E 3RD LP STE 100, VANCOUVER, WA, 98661
PLEXSYS INTERFACE PRODUCTS INC	4900 NW CAMAS MEADOWS DR, CAMAS, WA, 98607
VANPORT MANUFACTURING INC & HERTRICH ADOLF	PO BOX 97, BORING, OR, 97009

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Date Created 1/16/2024

Employee 

Employee Name Jesse Manley

INNOVATIVE PROPERTY GROUP LLC
2027 NW SIERRA LN
CAMAS, WA 98607

ELDA WA MEADOWS LLC
1505 NE VILLAGE ST
FAIRVIEW, OR 97024

EAST VANCOUVER OWNER LLC
1821 DOCK ST SUITE 100
TACOMA, WA 98402

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VANCOUVER, WA 98661

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4857 NW LAKE RD #320
CAMAS, WA 98607

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II LLC
2370 E 3RD LP STE 100
VANCOUVER, WA 98661

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CAMAS, WA 98607

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4857 NW LAKE ROAD, SUITE 320
CAMAS, WA 98607

CAMAS MEADOWS HOLE 9 LLC
4660 NE 77TH AVE STE 200
VANCOUVER, WA 98662

COUNTY PROPERTIES EAST LLC
4857 NW LAKE RD #320
CAMAS, WA 98607

PID	Situs Address			
172961002	4901 NW CAMAS MEADOWS DR	CAMAS	WA	98607
172976000	4800 NW CAMAS MEADOWS DR	CAMAS	WA	98607
176155000	4707 NW LAKE RD	CAMAS	WA	98607
175980000			WA	0
175981000			WA	0
172975000			WA	0
986028109	4600 NW CAMAS MEADOWS DR	CAMAS	WA	98607
172973000			WA	0
172964000			WA	0
986035734	4525 NW CAMAS MEADOWS DR UNIT A	CAMAS	WA	98607
172963000	4525 NW CAMAS MEADOWS DR UNIT B	CAMAS	WA	98607
986035733	4555 NW CAMAS MEADOWS DR	CAMAS	WA	98607
172970000	4615 NW CAMAS MEADOWS DR	CAMAS	WA	98607
172972000	4910 NW CAMAS MEADOWS DR	CAMAS	WA	98607
172967000	4200 NW CAMAS MEADOWS DR	CAMAS	WA	98607
175934000			WA	0
175983000			WA	0
175978000	4105 NW CAMAS MEADOWS DR	CAMAS	WA	98607
172980000	4900 NW CAMAS MEADOWS DR	CAMAS	WA	98607
172971000	4700 NW CAMAS MEADOWS DR	CAMAS	WA	98607
986026906	4711 NW CAMAS MEADOWS DR	CAMAS	WA	98607
172962000			WA	0

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Number of Records 22

Number of Pages 1

Date Created 1/16/2024

Employee 

Employee Name Jesse Manley

Occupant PID 172961002
4901 NW CAMAS MEADOWS DR
CAMAS, WA 98607

Occupant PID 172976000
4800 NW CAMAS MEADOWS DR
CAMAS, WA 98607

Occupant PID 176155000
4707 NW LAKE RD
CAMAS, WA 98607

Occupant PID 986028109
4600 NW CAMAS MEADOWS DR
CAMAS, WA 98607

Occupant PID 986035734
4525 NW CAMAS MEADOWS DR
UNIT A
CAMAS, WA 98607

Occupant PID 172963000
4525 NW CAMAS MEADOWS DR
UNIT B
CAMAS, WA 98607

Occupant PID 986035733
4555 NW CAMAS MEADOWS DR
CAMAS, WA 98607

Occupant PID 172970000
4615 NW CAMAS MEADOWS DR
CAMAS, WA 98607

Occupant PID 172972000
4910 NW CAMAS MEADOWS DR
CAMAS, WA 98607

Occupant PID 172967000
4200 NW CAMAS MEADOWS DR
CAMAS, WA 98607

Occupant PID 175978000
4105 NW CAMAS MEADOWS DR
CAMAS, WA 98607

Occupant PID 172980000
4900 NW CAMAS MEADOWS DR
CAMAS, WA 98607

Occupant PID 172971000
4700 NW CAMAS MEADOWS DR
CAMAS, WA 98607

Occupant PID 986026906
4711 NW CAMAS MEADOWS DR
CAMAS, WA 98607



Notice of Application and Public Hearing
Camas Meadows Hole 9 Ph 1 Mixed Use Development
 (File No. MAJVAR24-01)

NOTICE IS HEREBY GIVEN that a Major Variance application for the “Camas Meadows Hole 9 Mixed Use Development” to change the setbacks was received on 2/27/2024, by Stacey Shields, and deemed technically complete on 3/18/2024.

LOCATION: The subject site consists of seven parcels and is ±13.81 acres in size. The site is addressed as 4711, 4615, 4555 and 4525 Unit A & Unit B, NW Camas Meadows Drive, Camas, WA 98607. The property is identified as Clark County Parcel Numbers 175980000, 172973000, 172963000, 986035734, 986035733, 172970000, and 986026906 of the northeast, northwest and southwest ¼ of Section 28 and 29, Township 2 North, Range 3 East, Willamette Meridian. The site is zoned Mixed Use (MX) and is currently vacant with no structures on site.

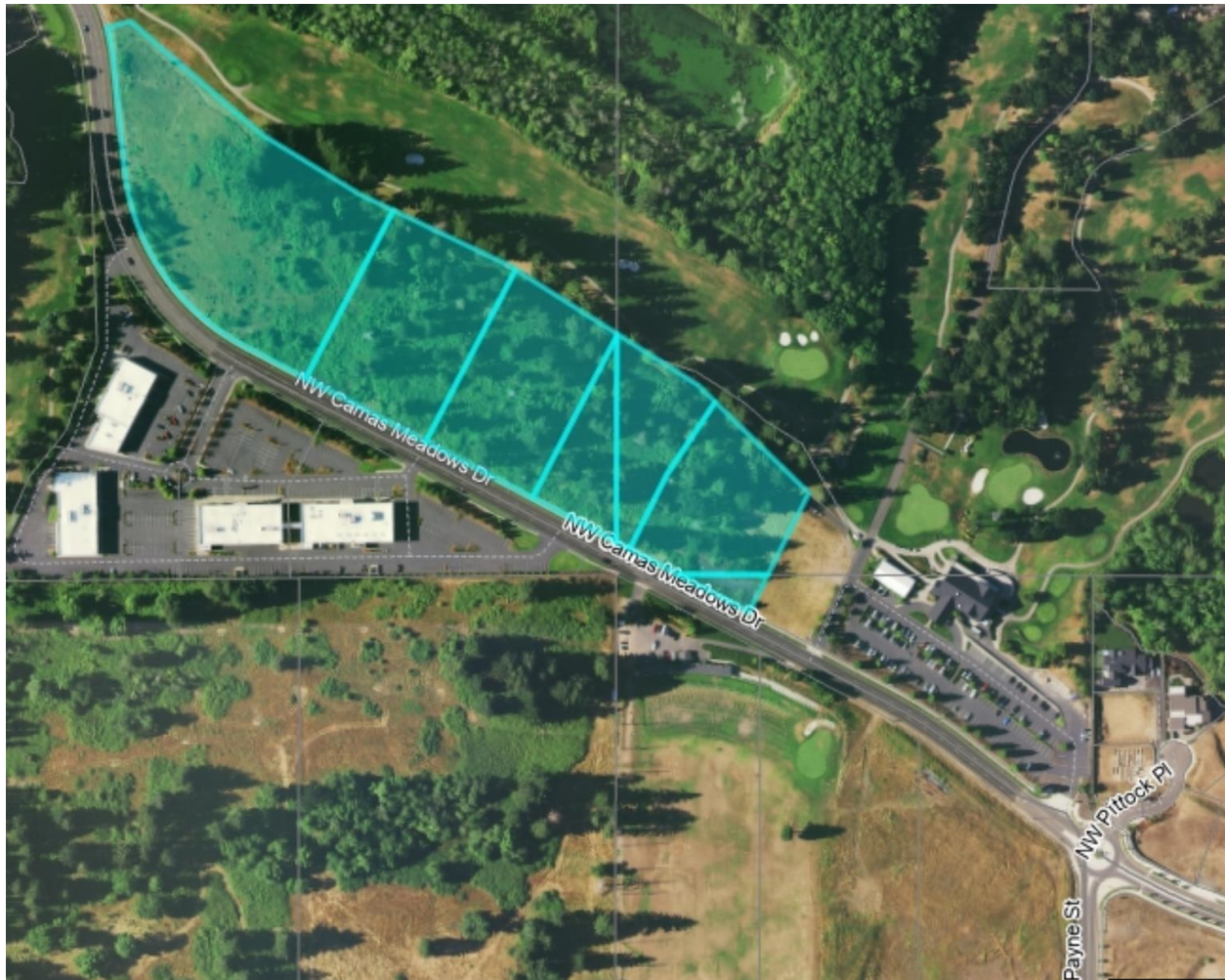
SCHEDULED PUBLIC HEARING: A virtual and in-person public hearing will be held before the city’s hearings examiner on **July 9, 2024 at 4 pm**. Instructions and a link to participate will be available on the agenda page of the city’s website at least seven days prior to the meeting. The agenda is located at the following link: www.cityofcamas.us/yourgovernment/minuteagendavideo

APPLICATION MATERIALS: The Camas Meadows Hole 9 Ph 1 Mixed Use Development application included the following: narrative, site plan, residential lots map, title report, and other required submittal documents. These documents are available for review at the Community Development Department (616 NE 4th Ave., Camas, WA) during regular business hours Monday – Friday 8 am-5 pm.

PARTICIPATE: All citizens are entitled to have equal access to the services, benefits, and programs of the City of Camas. Please contact the City Clerk at (360) 834-6864 for special accommodation if needed. The city will provide translators for non-English speaking persons who request assistance at least three working days prior to a public meeting.

Public comments and questions are encouraged, and there are several opportunities available to interested citizens. *It is preferable that written comments be received five days prior to the public hearing, in order to be available with the online agenda and materials.* Comments can also be accepted during the public hearing. The public hearing will follow the quasi-judicial process described within Camas Municipal Code §18.55.180. Comments related to this development may be submitted as follows: (1) In person by testifying at the public hearing; (2) by regular mail to Planning Division staff, Madeline Sutherland, Planner, at the Camas City Hall, 616 NE 4th Avenue, Camas, WA 98607; (3) by email to: communitydevelopment@cityofcamas.us; or (4) by phone (360) 817-7237. **For questions related to this application, please contact Madeline Sutherland Planner, at (360) 817-1568 or communitydevelopment@cityofcamas.us.**

Vicinity Map for Camas Meadows Hole 9 Ph 1 (MAJVAR24-01)



**BEFORE THE LAND USE HEARINGS EXAMINER
FOR THE CITY OF CAMAS, WASHINGTON**

Regarding an application by Romano Development for) **FINAL ORDER**
conditional use approval to construct 77 detached and attached) **CUP23-01**
homes and a 6,600 square-foot commercial building at 4525) **(Camas Meadows**
NW Camas Meadows Drive, in the City of Camas, Washington) **Hole 9 Mixed Use)**

A. SUMMARY

1. The applicant, Romano Development, requests SEPA, Archaeological, Critical Areas, Subdivision Preliminary Plat, Site Plan Review, Design Review, and Conditional Use Permit (“CUP”) approval to divide a 13.81-acre parcel into 77 lots for detached and attached single-family homes, an additional lot (Lot 78) for a 6,600 square-foot commercial building, and tracts for private streets and alleys, open space, and stormwater.

a. The parcel proposed for development is located at 4525 NW Camas Meadows Drive; also known as tax parcel numbers 175980000, 172973000, 172963000, 986035734, 986035733, 172970000, & 986026906 (the “site”). The site is zoned MX (Mixed Use). Properties to the north, south, and southwest are zoned LI-BP (Light Industrial-Business Park). Properties to the southeast are zoned R-18 (Medium Density Residential, 18 units per acre).

b. The site is currently vacant, with scattered trees and shrubs. The site contains Oregon white oak trees and steep slopes, both of which are designated “critical areas.”

c. The City of Camas will supply domestic water and sanitary sewer service to the proposed development. The applicant will collect stormwater from all new impervious areas on the site and convey it to treatment detention facilities in proposed Tract F and Lot 78. The applicant will discharge treated stormwater from the detention facility onto the slopes north of the site at less than predevelopment rates, using a flow spreader outfall.

d. The section of NW Camas Meadows Drive abutting the site is fully improved to current standards. The applicant will extend three new public streets, proposed 75th, 77th, and 78th Avenues, into the site from NW Camas Meadows Drive. These roads will intersect a new east-west aligned public street, proposed NW ‘A’ Drive, within the site. The east end of NW ‘A’ Drive will terminate in the eastern portion of the site, with a private road, proposed Tract E, extending southeast of the road terminus and ending in a hammerhead turnaround. The west end of NW A Drive will terminate at the entrance to the parking lot proposed on Lot 78.

2. The City issued a Determination of Nonsignificance (“DNS”) for the subdivision pursuant to the State Environmental Policy Act (“SEPA”). The City issued the DNS on June 15, 2023. The SEPA determination was not appealed and is now final.

3. City of Camas Hearing Examiner Joe Turner (the "examiner") conducted a public hearing to receive testimony and evidence about the application. City staff recommended that the examiner approve the preliminary plat subject to conditions. See the Revised Staff Report to the Hearing Examiner dated September 5, 2023 (the "Staff Report"). The applicant accepted those findings and conditions without exception. No one else testified orally or in writing.

4. Based on the findings provided or incorporated herein, the examiner approves the preliminary plat subject to the conditions at the end of this final order.

B. HEARING AND RECORD HIGHLIGHTS

1. The examiner received testimony at a public hearing about this application on September 7, 2023. All exhibits and records of testimony are filed at the City of Camas. At the beginning of the hearing, the examiner described how the hearing would be conducted and how interested persons could participate. The examiner disclaimed any *ex parte* contacts, bias or conflicts of interest. The following is a summary by the examiner of selected testimony and evidence offered at the public hearing.

2. City planner Madeline Sutherland summarized the Staff Report and her PowerPoint presentation.

3. Planner Michael Andreotti appeared on behalf of the applicant, Romano Development. He accepted the findings and conditions in the Staff Report without exceptions.

C. DISCUSSION

1. City staff recommended approval of the application, based on the affirmative findings and subject to conditions of approval in the Staff Report. The applicant accepted those findings and conditions without exceptions.

2. The examiner finds that the Staff Report identifies all of the applicable approval standards for the application and contains sufficient findings showing the application does or can comply with those standards, subject to conditions of approval. These findings were not disputed and are supported by substantial evidence in the record. The examiner adopts the findings in the Staff Report as his own.

D. CONCLUSION

Based on the above findings and discussion provided or incorporated herein, the examiner concludes that CUP23-01 (Camas Meadows Hole 9 Mixed Use Development) should be approved, because it does or can comply with the applicable standards of the Camas Municipal Code, the Revised Code of the State of Washington.

E. DECISION

Based on the findings, discussion, and conclusions provided or incorporated herein and the public record in this case, the examiner hereby approves CUP23-01 (Camas Meadows Hole 9 Mixed Use Development), subject to the following conditions of approval:

CONDITIONS OF APPROVAL

Standard Conditions:

1. Engineering site improvement plans shall be prepared in accordance with CMC 17.01.020, CMC 17.19.010, CMC 17.19.040, and the City of Camas Design Standards Manual (CDSM).
2. The engineering site plans shall be prepared by a licensed civil engineer in Washington State and submitted to the City's Community Development (CDEV) Engineering Department for review and approval. Submittal requirements for first review are as follows:
 - a. Submit four (4) full size sets and one (1) half size set of plans.
 - b. Submit one (1) electronic version of the final (TIR) stormwater report. Do not submit any hard copies of the Final TIR.
 - c. Submit a stamped preliminary engineer's estimate, based on the decision.
3. Community Development (CDEV) Engineering shall collect a total 3% plan review and construction inspection (PR&CI) fee for the proposed development.
 - a. Payment of the 1% plan review (PR) fee shall be due prior to the start of the plan review process. The PR fees are based on the engineer's estimate and will be provided by the engineering staff.
 - b. Payment of the 2% construction inspection (CI) fee shall be due prior to construction plan approval and release of approved plans to the applicant's consultant. The CI fees due will be provided by the engineering staff.
 - c. Under no circumstances will the applicant be allowed to begin construction, which includes all land-disturbing activities, prior to construction plan approval.
4. Installation of public improvements shall be in accordance with CMC 17.21 Procedures for Public Improvements.
5. If applicable, existing wells, septic tank, and septic drain fields shall be decommissioned in accordance with state and county guidelines, per CMC 17.19.020.
6. Any entrance structures or signs proposed or required for this project will be reviewed and approved by the city.
 - a. All designs will be in accordance with applicable City codes.
 - b. The maintenance of the entrance structure will be the responsibility of the homeowners.
7. The applicant will be responsible for ensuring that private utilities; underground power, telephone, gas, CATV, streetlights, and associated appurtenances are installed.
8. A 6-foot private utility easement (PUE) shall be located outside of the right-of-way on public streets and outside of the tracts on private streets.

9. A draft street lighting plan shall be submitted to development engineering for review prior to final plan submittal to Clark Public Utility.
10. The applicant will be required to purchase all permanent traffic control signs, street name signs, street lighting and traffic control markings for the improved subdivision.
11. Prior to any land-disturbing activities of an acre or more, the applicant shall submit a copy of the *NPDES General Construction Stormwater Permit* (GCSWP), which is issued by the Washington State Dept. of Ecology, and the *Stormwater Pollution Prevention Plan* (SWPPP), which is required as a component of the NPDES GCSWP permit.
12. Prior to commencing any land-disturbing activities of an acre or more, the applicant shall submit financial security for Erosion and Sediment Control (ESC) in the amount of 200% of the cost for erosion control measures, per CMC 17.21.030.B and CMC 14.06.200. The amount for the ESC financial security will be provided by CDev Engineering.
13. In the event any item of archaeological interest is uncovered during a permitted ground disturbing action or activity, all ground disturbing activities shall immediately cease, and the applicant shall notify the City and the Department of Archaeology and Historic Preservation (DAHP).
14. If potential artifacts are discovered during construction, work must immediately cease, and both the State Department of Archaeological and Historic Preservation and the City shall be notified.
15. A homeowner's association (HOA) will be required and a copy of the CC&Rs for the development will need to be submitted to the City for review and approval. Specifically, the applicant will need to make provisions in the CC&Rs for ownership and maintenance of the private storm drainage systems, open spaces, retaining walls, fencing, walls, landscaping, irrigation, private roads, and tracts or easements outside of the City's right-of-way if applicable. Further, all necessary easements and dedications should be noted on the final plat.
16. Provisions for parking enforcement on private Tracts/access driveways, acceptable to the Fire Marshal, shall be included in the CC&Rs at the time of final plat.
17. Accessory dwelling units shall not be precluded from in the CC&R's.
18. Upon completion of all site improvements and prior to issuance of Final Acceptance from CDEV Engineering, the applicant shall remove all temporary erosion prevention and sediment control measures from the site, which includes stabilization of all disturbed soil.
19. Prior to final acceptance, final as-built construction drawing submittals shall meet the requirements of the Camas Design Standards Manual (CDSM).
 - a. As-builts are to be submitted in both PDF and in either AutoCAD or Carlson formats.
 - b. The original cover sheet approved and signed by the city engineering shall be included with the as-builts.
 - c. The as-builts are to be a complete set of plans, including detail sheets.

20. Final plat submittals shall meet the requirements of the CMC 17.11.060, CMC 17.01.050, and the Camas Design Standards Manual.
21. Per CMC 17.21.060.H Permits for one sales office and/or one model home per plat or phase may be issued after the final plat is recorded, and prior to final acceptance.
 - a. Building permit applications for any other residential buildings will not be accepted until after final acceptance is issued.
22. Prior to final acceptance the two-year warranty maintenance bond is to be submitted in accordance with CMC 17.21.070.A. Upon final acceptance of the development improvements a two-year (2) warranty bond commences.
23. Per CMC 17.21.070.E A letter of final acceptance will be issued once all items that are listed in 17.21.070.B-C are complete.
24. The applicant shall take appropriate measures to ensure landscaping success for a minimum of three (3) years after issuance of Certificate of Occupancy. If plantings fail to survive, the property owner shall promptly replace them.
25. Automatic fire sprinklers installed per NFPA 13D or 13R shall be required in all new residential structures.

Special Conditions of Approval (SUB23-01):

Prior to Final Engineering Plan Submittal:

Engineering:

26. The applicant shall submit an addendum to the March 22, 2023, TIA separating the number of single-family residential trips from the number of commercial trips to allow for separate payment of the proportionate share costs to the City of Vancouver based on the phased uses; Phases 1 and 2, single-family detached and single-family attached.
27. The applicant shall submit an addendum to the March 22, 2023, TIA providing trip distributions through all of the proportionate share intersections identified in the *Section 30 Subarea Traffic Study* table provided by City of Vancouver. Said addendum should separate the number of single-family residential trips from the number of commercial trips to allow for separate payment of the proportionate share costs to the City of Vancouver based on the phased uses; Phases 1 and 2, single-family detached and single-family attached.

Prior to Final Engineering Plan Approval:

Planning:

28. A final landscape, tree, and vegetation plan consistent with the landscaping standards in CMC Chapter 18.13 should be submitted to the City for review and approval.
 - a. Street trees utilized will need to be per the approved City's Tree list and per the Camas Design Manual planting specifications and landscape notes. For plants not on the approved City list, a characteristic card should be submitted to the City for review and approval.
 - b. Wheel stops should be used adjacent to planter areas to protect landscaping from car overhangs per CMC 18.13.060.F.
 - c. Required landscaping shall be comprised of a minimum of sixty

percent native vegetation (or adapted to northwest climate), or drought-tolerant vegetation, and fifty percent evergreen per CMC 18.13.050.C.1.

- d. All off-street parking areas are to be landscaped at all perimeters to include enough low shrubs to form a continuous screen that is opaque year-round.
 - e. CMC 17.19.030.F.1 requires one two-inch diameter street tree every 30 linear feet.
 - f. The landscape plan shall be updated to provide a five-foot L2 buffer along the commercial building's southern side facing NW Camas Meadows Drive.
 - g. Landscape irrigation shall be shown or noted as required to be design-build by the landscape contractor on the final engineering plans. Landscape meter locations and meter sizes are to be shown on the landscape plans and water utility plans.
 - h. The tree plan shall be followed.
29. Any landscape, parking lot, or building lighting should be directed, hooded, or shielded away from surrounding properties.
 30. The applicant shall submit a final mitigation plan per CMC 16.51.180 that meets the WDFW requirements prior to engineering plan approval.
 31. Detailed construction drawings per CMC 16.53.050.E.3 of the on and off-site oak mitigation shall be submitted to the City for review and approval.
 32. The applicant shall submit an updated geotechnical report conducted by a qualified professional that includes geotechnical evaluations, assessments, impacts, and recommendations CMC 16.59.060.
 33. Retaining walls shall comply with CMC 18.17.060.

Engineering:

Water

34. The water utility plans shall be revised to provide an 8-inch water main located in Tract A, Tract B, and Tract H, to serve Lots 1-19 and Lots 57-74, unless otherwise approved by the Utility Manager during the final engineering plan review process.
35. The final utility plans shall be revised to include a section of water main extended north at the intersection of NW 78th Avenue to be located Tract J (future private road) to provide the following:
 - a. A minimum 1-inch water service and meter box to each of future Lots 75, 76, and 77 at the property lines.
 - b. Additionally, the final utility plans are to locate the water service and meter box for future Lot 30 on the north side of NW A Drive at the property line for Lot 30.
37. The applicant shall submit revised utility plans to include the location of an onsite water sampling station.
38. The applicant shall submit revised water utility plans and landscape plans showing the locations of all proposed irrigation services and the size of each irrigation meter.

Storm Drainage

39. The applicant shall submit a complete set of stormwater plans with sizing of conveyance piping, laterals, and manholes for review and approval, per MR #1.
40. The applicant shall submit a revised stormwater plan that includes limiting impacts from surface water runoff from Lots 30-48. Said plan should ensure that the adjacent properties and/or downstream drainageways are not negatively affected by surface water runoff, per Camas Municipal Code (CMC) 14.02 and 17.19.040.C.
41. The final stormwater report TIR shall be revised to include the maintenance requirements and contact information for the treatment vaults.

Erosion Control

42. The applicant shall be required to submit a complete set of Erosion Sediment Control (ESC) plans, as a part of the site improvement plans for review and approval.

Sanitary Sewer Disposal

43. The applicant shall submit revised sanitary sewer utility plans with the following:
 - a. The community STEP tanks located in Tracts C, G, and J are to be accessible for inspections and maintenance, including pumping, and are to have traffic-rated lids and risers.
 - b. A utility access and maintenance easement over and under the gravity sanitary sewer mains, located in Tracts A, B, H, and J, is to be granted to the city.
 - c. A cleanout is to be installed, prior to the gravity sanitary mains entering the community STEP tanks and at the right-of-way, prior to the tanks discharging into the sanitary pressure main.
 - d. The community STEP tanks, from the cleanouts to the tanks and from the Community STEP tanks to the cleanouts at the right-of-way, are to be owned and maintained by the homeowners and/or Homeowners' Association (HOA) with right-of-entry granted to the city for inspection purposes.
 - e. The applicant is responsible for sizing the individual community STEP tanks to serve the applicable number of single-family attached dwelling units.
 - f. The design, specifications, and sizing calculations for the proposed sanitary sewer STEP tanks are to be submitted to the city for review and approval.

[Existing wells, septic tanks, and septic drain fields]:

44. There are no existing wells or septic systems on the parcels proposed for development.

Roads

45. The applicant shall provide road profiles that are to include road grades, horizontal/vertical curve information, and design information for water, sanitary sewer, and stormwater utilities, for the following future public roads: NW 75th Avenue, NW 77th Avenue, NW 78th Avenue, and NW A Drive; and the private roads located in Tracts A, B, E, H, and J.

[Private Roads]

46. The street plans shall be revised to include the minimum 25-foot curb radii, on both sides of private roads, Tracts A, B, H, and J, onto all of the future public roads, NW 75th Avenue, NW 77th Avenue, and NW 78th Avenue.

47. The applicant shall be required to provide a design for a ‘No Parking and Towing’ sign for review and approval.
- a. Said ‘No Parking’ sign is to include contact information for a towing company.

[Street lighting]

48. All street light locations shall be shown on the utility, street, and landscape plans.
- a. Any streetlights provided for private streets are required to be metered separately and are to be owned and maintained by the HOA / homeowners.
49. Prior to submittal of electrical plans to Clark Public Utilities, the preliminary electrical plans for streetlights, transformers, J-boxes, etc., which are prepared by others, are to be submitted to the city for review and approval.

[Storm Facility Landscaping]

50. The applicant shall be required to provide either a minimum 42-inch-high fence to be installed around the perimeter of Tract F or provide locking lids for the access risers. The applicant should work with staff to provide an acceptable fencing design. The fence could be chain link, split rail, or other acceptable fencing. with a minimum 16-foot-wide double gate to allow for inspections and maintenance accessibility.

[Traffic Impact Analysis (TIA)]

51. The sight-distance triangles are to be included on the street improvement plans and the landscape plans.

Prior to Land-Disturbing Activities:

Planning:

52. Temporary construction fencing is required that clearly marks critical area buffers (i.e., Oregon White Oak driplines) in the field and fencing shall remain throughout permitted construction activities.

Engineering:

53. Prior to any land-disturbing activities the applicant shall submit the required SWPPP, per MR #2 of the preliminary TIR.
54. Prior to any land-disturbing activities, an electronic copy of Ecology’s NPDES GCSWP permit, an electronic copy of the SWPPP, and the financial security for erosion and sediment control are to be submitted to the city.
55. Prior to any land-disturbing activities, which includes tree cutting, clearing, and grading, an approved set of final engineering plans, including the erosion prevention and sediment control measures is required to be submitted to the City.

Prior to Final Plat Approval:

Planning:

56. The rear yard setback for lots 22-29 and 49-56 shall be updated to 25 feet.
57. The setbacks shall be updated on lots 1-19 and 57-77 to have a maximum front yard setback of 10 feet or be at the water easement, whichever is greater, along NW Camas Meadows Drive and a minimum 25-foot rear yard setback along the alley.

Engineering:

58. A note should be added to the final plat stating that:
- a. Tract A, Tract B, Tract H, and Tract J, private roads, consist of a utility access and maintenance easement, conveyed to the city, over and under the water main located in the private roads.
59. The following notes should be added to the final plat stating:
- a. Tracts A, B, C, E, H, and J: The stormwater systems located within these tracts are to be owned and maintained by the homeowners and/or Homeowners' Association (HOA) at the end of the two-year warranty period, which expires two-years after final acceptance.
 - b. Tract F: The stormwater facilities located in Tract F are to be owned by the homeowners and/or Homeowners' Association (HOA). Per CMC 14.02.090.A.1 Tract F will be maintained by the developer during the two-year warranty period that starts at issuance of final acceptance. Per CMC 14.02.090.A.2 at completion of two-year warranty period, maintenance will be the responsibility of the homeowners and/or Homeowners' Association (HOA).
 - c. Right-of-entry is to be granted to the city for inspection purposes of the stormwater facilities located in Tract F.
 - d. Any private rear or side yard drainage systems are to be owned and maintained by the HOA or the applicable Lot owners upon which the private stormwater systems/easements are located.
60. The following notes should be added to the final plat:
- a. A utility access and maintenance easement over and under the gravity sanitary sewer mains, located in Tracts A, B, H, and J, is to be granted to the city.
 - b. The community STEP tanks, located in Tracts C, G, and J, from the cleanouts to the tanks and from the Community STEP tanks to the cleanouts at the right-of-way, are to be owned and maintained by the homeowners and/or Homeowners' Association (HOA) with right-of-entry granted to the city inspection purposes.
 - c. A utility easement is to be granted to the city for the purpose of inspections, maintenance, and pumping of each individual STEP tank installed with the single-family detached dwelling units.
61. The future public roads: NW 75th Avenue, NW 77th Avenue, NW 78th Avenue, and NW A Drive, which consist of a 52-foot right-of-way width, a 28-foot-wide paved street width, five-foot-wide sidewalks on both sides, and 4.5 to 7.5-foot-wide planter strips on both sides are to be dedicated to the City of Camas with final plat approval.
62. The private roads and parking lots provided for the benefit and access to Lots 1-21, and Lots 57-77 should be placed in Tracts to be owned and maintained by the homeowners and/or the homeowners association (HOA).
63. All the necessary dedications and easements should be noted on the final plat.
64. The sight-distance triangles are to be included on the final plat.

Prior to Final Acceptance:

Planning:

65. Permanent signs and fencing shall be installed at the edge of the critical area buffers per CMC 16.51.210.B and C. Sign and fencing specifications shall be submitted to the City for review and approval prior to installation.
66. A mitigation bond shall be posted in an amount deemed acceptable by the city to ensure the oak mitigation is fully functional per CMC 16.51.250.
67. Irrigation and landscaping shall be installed or bonded prior to final acceptance per CMC 17.19.030.F.3.

Engineering:

68. The applicant shall install the ‘No Parking and Towing’ signs on private road Tract E, which provides access to future Lots 20, 21 and 30.
69. The applicant should be required to pay the proportionate share amount of \$_____ for Phases 1 and 2 to the City of Vancouver, as identified in the *Section 30 Subarea Traffic Study* table provided by the City of Vancouver. The applicant is to provide Camas staff with documentation of payment of said proportionate share amounts.
70. Prior to final acceptance, the applicant shall remove all temporary erosion prevention and sediment control measures from the site at completion of all site improvements, which includes stabilization of all disturbed soil, prior to issuance of Final Acceptance from CDEV Engineering.
71. Prior to final acceptance, final as-built construction drawing submittals shall meet the requirements of the Camas Design Standards Manual (CDSM).
 - a. As-builts are to be submitted in both PDF and in either AutoCAD or Carlson formats.
 - b. The original approved and signed by the city engineering cover sheet is to be included with the as-builts.
 - c. The as-builts are to be a complete set of plans, including detail sheets.
72. Prior to final acceptance the two-year warranty maintenance bond is to be submitted in accordance with CMC 17.21.070.A Upon final acceptance of the development improvements a two-year (2) warranty bond commences.

Prior to Building Permit Approval:

Engineering:

73. The single-family building permit applications are to include information regarding connection of roof drain downspouts and footing drains/crawl space drains to either the stormwater laterals or rear yard stormwater systems as shown on the final engineering stormwater plans.

Prior to Final Occupancy:

Planning:

74. Street trees adjacent to lots should be installed prior to final occupancy or bonded for per CMC 17.19.030.F.4.

Special Conditions of Approval (SPRV23-01):

Prior to Final Engineering Plan Submittal:

Engineering:

[Traffic Impact Analysis (TIA)]:

75. The applicant shall revise and resubmit the March 2023 TIA, with updates using a LUC for Pass-By-Trips that more closely resembles the proposed use for the Commercial Development. Staff would support the LUC 932 High-Turnover, Sit-Down Restaurant.
76. The applicant shall submit an addendum to the March 22, 2023, TIA separating the single-family residential number of trips versus the commercial number of trips to allow for separate payment to the City of Vancouver of the proportionate share costs based on the phased uses: Phase 3, commercial.
77. The applicant shall submit an update to the March 22, 2023, TIA providing trip distributions through all of the proportionate share intersections identified in the *Section 30 Subarea Traffic Study* table provided by City of Vancouver.

Prior to Final Engineering Plan Approval:

Planning:

78. A final landscape, tree, and vegetation plan consistent with the landscaping standards in CMC Chapter 18.13 should be submitted to the City for review and approval.
- a. Street trees utilized will need to be per the approved City's Tree list and per the Camas Design Manual planting specifications and landscape notes. For plants not on the approved City list, a characteristic card should be submitted to the City for review and approval.
 - b. Wheel stops should be used adjacent to planter areas to protect landscaping from car overhangs per CMC 18.13.060.F.
 - c. Required landscaping shall be comprised of a minimum of sixty percent native vegetation (or adapted to northwest climate), or drought-tolerant vegetation, and fifty percent evergreen per CMC 18.13.050.C.1.
 - d. All off-street parking areas are to be landscaped at all perimeters to include enough low shrubs to form a continuous screen that is opaque year-round.
 - e. CMC 17.19.030.F.1 requires one two-inch diameter street tree every 30 linear feet.
 - f. The landscape plan shall be updated to provide a five-foot L2 buffer along the commercial building's southern side facing NW Camas Meadows Drive.
 - g. Landscape irrigation shall be shown or noted as required to be design-build by the landscape contractor on the final engineering plans. Landscape meter locations and meter sizes are to be shown on the landscape plans and water utility plans. The tree plan report shall be followed.
79. Any landscape, parking lot, or building lighting should be directed, hooded, or shielded away from surrounding properties.
80. Bike parking shall be added near the commercial building and shall be shown on the final engineering plans.
81. Prior to engineering plan approval the applicant shall submit a final mitigation plan per CMC 16.51.180 that meets the WDFW requirements.

82. Detailed construction drawings per CMC 16.53.050.E.3 of the on and off-site oak mitigation shall be submitted to the City for review and approval.
83. The applicant shall submit an updated geotechnical report conducted by a qualified professional that includes geotechnical evaluations, assessments, impacts, and recommendations CMC 16.59.060.
84. Retaining walls shall comply with CMC 18.17.060.

Engineering:

Roads

[Private Roads]:

85. As shown on the preliminary site plans the vehicular access within the parking lot meets the minimum standards as required per Table 1, Note 2.c.

[Refuse and Recycling]:

86. The applicant shall confirm with the service providers for refuse/recycling that the enclosure sizing and location on site is accessible.

Sanitary

87. The applicant shall be required to submit sanitary sewer utility plans with the following revisions to the private onsite sanitary sewer system:
- a. The proposed STEP tank, located within paved surface, is to be designed with traffic rated access lids and risers.
 - b. The applicant is responsible for sizing the STEP tank for future use. Specifications, design, and calculations for sizing the STEP tank are to be submitted to the city review and approval prior to installation.
88. A note is to be added to the sanitary sewer utility plans stating, "All components of the onsite private sanitary sewer system, including the STEP tank shall be privately owned and maintained by the property owners, with a right-of-entry granted to the city for inspection purposes."

Storm Sewer

89. A note should be added to the stormwater plans stating: "All components of the onsite stormwater system shall be owned and maintained by the applicant/property owner, with right-of-entry granted to the city for inspections purposes."

Water

[Onsite Private Water System]

90. The applicant shall submit revised onsite water utility plans for review and approval with the following changes:
- a. A minimum 6-inch domestic water line to serve the proposed commercial building and the onsite fire hydrant.
 - b. The proposed size of the domestic water meter.
 - c. An above-ground reduced pressure backflow assembly (RPBA), which is to be located behind the water meter and is to be accessible for inspections and testing.
91. The water utility plans, and the landscape plans are to be revised with the location and size of the irrigation meter and backflow prevention device shown.

92. The applicant shall submit revised water utility plans with the FDC located within 75-feet of the onsite fire hydrant.
93. The applicant shall submit water utility plans with the following revisions to the fire line water system:
- a. A note is to be added to the water utility plans stating, “All components of the onsite private water system and fire line, including FDCs and fire hydrants shall be privately owned and maintained by the property owners with right-of-entry granted to the city for inspection purposes.”
 - b. A note is to be added to the water utility plans stating that “all private fire hydrants are to be ordered direct from the factory and factory painted powder coated red.”

Erosion Control

94. The applicant shall submit a complete set of Erosion Sediment Control (ESC) plans, as a part of the site improvement plans for review and approval.

Prior to Land-Disturbing Activities:

Planning:

95. Temporary construction fencing that clearly marks in the field critical area buffers (i.e., Oregon White Oak driplines) shall be installed prior to construction and shall remain throughout permitted construction activities.

Engineering:

96. Prior to any land-disturbing activities, an electronic copy of Ecology’s NPDES GCSWP permit, an electronic copy of the SWPPP, and the financial security for erosion and sediment control are to be submitted to the city.
97. Prior to any land-disturbing activities, which includes tree cutting, clearing, and grading, an approved set of final engineering plans, including the erosion prevention and sediment control measures is required.

Prior to Final Acceptance:

Planning:

98. Permanent signs and fencing shall be installed at the edge of the critical area buffers per CMC 16.51.210.B and C. Sign and fencing specifications shall be submitted to the City for review and approval prior to installation.
99. A mitigation bond shall be posted in an amount deemed acceptable by the city to ensure the oak mitigation is fully functional per CMC 16.51.250.
100. Irrigation and landscaping shall be installed or bonded prior to final acceptance per CMC 17.19.030.F.3.

Engineering:

101. Prior to final acceptance, the applicant shall remove all temporary erosion prevention and sediment control measures from the site at completion of all site improvements, which includes stabilization of all disturbed soil, prior to issuance of Final Acceptance from CDEV Engineering.
102. Prior to final acceptance, final as-built construction drawing submittals shall meet the requirements of the Camas Design Standards Manual (CDSM).

- a. As-builts are to be submitted in both PDF and in either AutoCAD or Carlson formats.
 - b. The original approved and signed by the city engineering cover sheet is to be included with the as-builts.
 - c. The as-builts are to be a complete set of plans, including detail sheets.
103. Prior to final acceptance the two-year warranty maintenance bond is to be submitted in accordance with CMC 17.21.070.A Upon final acceptance of the development improvements a two-year (2) warranty bond commences.

Prior to Building Permit Approval:
Engineering:

104. The applicant for the commercial phase, Phase 3, shall be required to pay the proportionate share amount of \$_____ to the City of Vancouver. The applicant is to provide Camas staff with documentation of payment of said proportionate share amount for Phase 3.

Prior to Final Occupancy:
Planning:

105. Street trees adjacent to lots should be installed prior to final occupancy or bonded for per CMC 17.19.030.F.4.

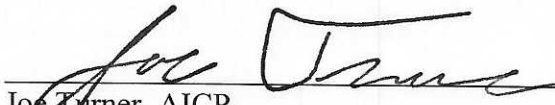
Proposed Plat Notes for SUB23-01 Only

1. A homeowner's association (HOA) will be required for this development. Copies of the CC&Rs shall be submitted and on file with the City of Camas.
2. Building permits will not be issued by the Building Department until all subdivision improvements are completed and Final Acceptance has been issued by the City.
3. The lots in this subdivision are subject to traffic impact fees, school impact fees, fire impact fees, and park/open space impact fees. Each new dwelling will be subject to the payment of appropriate impact fees at the time of building permit issuance.
4. The maximum lot coverage for a one-story building is 60% and the maximum lot coverage for a two story or more is 50%.
5. Critical areas and associated buffers shall be maintained in their natural state as described in the Final Wetland Mitigation Plan (Note: add date after approval) that is recorded with this plat by the HOA. Any modifications to critical areas and buffers must be approved in writing by the city after submittal of a revised critical area report.
6. Tree topping is not permitted within this development, nor removal of more than 20 percent of a tree's canopy. Trees that are determined to be hazardous by a licensed arborist may be removed after approval by the City. Required street trees shall be promptly replaced with an approved species.
7. In the event any item of archaeological interest is uncovered during the course of a permitted ground disturbing action or activity, all ground disturbing activities shall immediately cease, and the applicant shall notify the City and

the Department of Archaeology and Historic Preservation (DAHP).

8. Tract A, Tract B, Tract H, and Tract J, private roads, consist of a utility access and maintenance easement, conveyed to the city, over and under the water main located in the private roads.
9. Tracts A, B, C, E, H, and J: The stormwater systems located within these tracts are to be owned and maintained by the homeowners and/or Homeowners' Association (HOA) at the end of the two-year warranty period, which expires two-years after final acceptance.
10. Tract F: The stormwater facilities located on Tract F are to be owned by the homeowners and/or Homeowners' Association (HOA). Per CMC 14.02.090.A.1 Tract F will be maintained by the developer during the two-year warranty period that starts at issuance of final acceptance. Per CMC 14.02.090.A.2 at completion of two-year warranty period, maintenance will be the responsibility of the homeowners and/or Homeowners' Association (HOA).
11. Right-of-entry is to be granted to the city for inspection purposes of the stormwater facilities located on Tract F.
12. Any private rear or side yard drainage systems are to be owned and maintained by the HOA or the applicable Lot owners upon which the private stormwater systems/easements are located.
13. A utility access and maintenance easement over and under the gravity sanitary sewer mains, located in Tracts A, B, H, and J, is to be granted to the city.
14. The community STEP tanks, located in Tracts C, G, and J, from the cleanouts to the tanks and from the Community STEP tanks to the cleanouts at the right-of-way, are to be owned and maintained by the homeowners and/or Homeowners' Association (HOA) with right-of-entry granted to the city inspection purposes.
15. A utility easement is to be granted to the city for the purpose of inspections, maintenance, and pumping of each individual STEP tank installed with the single-family detached dwelling units.
16. Tracts A, B, C, E, G, H, and J are private access roads and parking lots that are to be owned and maintained by the homeowners and/or the homeowners association (HOA).

DATED this 21st day of September 2023.


 Joe Turner, AICP
 City of Camas Land Use Hearings Examiner

In re: Camas Meadows Hole 9 Ph 1 Mixed Use Development

) NO. MAJVAR24-01
)
) AFFIDAVIT OF MAILING
)
)
)
)
)
) Respondent.)

STATE OF WASHINGTON)
) ss.
 CLARK COUNTY)

I, Madeline Sutherland, on oath says:

I, Madeline Sutherland, on May 22, 2024, I directed a true and correct copy of the Notice of Application & Public Hearing be served upon the parties herein, in the above-entitled action, by depositing with the U.S. Post Office, Camas, Washington, a postage-prepaid envelope containing same addressed as follows: See attached list.

Madeline Sutherland

 SIGNATURE

SUBSCRIBED and SWORN to before me this 29th day of May, 2024.



Aireanna Baldwin

 Notary Public in and for the State of
 Washington, residing at Clark County
 My appointment expires: 10/01/2024

INNOVATIVE PROPERTY GROUP LLC
2027 NW SIERRA LN
CAMAS, WA 98607

ELDA WA MEADOWS LLC
1505 NE VILLAGE ST
FAIRVIEW, OR 97024

EAST VANCOUVER OWNER LLC
1821 DOCK ST SUITE 100
TACOMA, WA 98402

LOFTS AT CAMAS MEADOWS PHASE I
LLC
2370 E 3RD LOOP STE 100
VANCOUVER, WA 98661

FAR FROM PAR LLC
504 NE 5TH AVE
CAMAS, WA 98607

~~FAR FROM PAR LLC
504 NE 5TH AVE
CAMAS, WA 98607~~

CM#3 LLC
4857 NW LAKE ROAD, SUITE 320
CAMAS, WA 98607

~~LOFTS AT CAMAS MEADOWS PHASE I
LLC
2370 E 3RD LOOP STE 100
VANCOUVER, WA 98661~~

COUNTY PROPERTIES EAST LLC
4857 NW LAKE RD #320
CAMAS, WA 98607

~~LOFTS AT CAMAS MEADOWS PHASE
II LLC
2370 E 3RD LP STE 100
VANCOUVER, WA 98661~~

~~LOFTS AT CAMAS MEADOWS PHASE
II LLC
2370 E 3RD LP STE 100
VANCOUVER, WA 98661~~

VANPORT MANUFACTURING INC &
HERTRICH ADOLF
PO BOX 97
BORING, OR 97009

~~VANPORT MANUFACTURING INC &
HERTRICH ADOLF
PO BOX 97
BORING, OR 97009~~

BLT CLUB LLC
6733 NW LONGBOW LANE
CAMAS, WA 98603

~~COUNTY PROPERTIES EAST LLC
4857 NW LAKE RD #320
CAMAS, WA 98607~~

CM #567 LLC
915 W 11TH ST
VANCOUVER, WA 98660

~~CM #567 LLC
915 W 11TH ST
VANCOUVER, WA 98660~~

~~COUNTY PROPERTIES EAST LLC
4857 NW LAKE RD #320
CAMAS, WA 98607~~

PLEXSYS INTERFACE PRODUCTS INC
4900 NW CAMAS MEADOWS DR
CAMAS, WA 98607

~~CM#3 LLC
4857 NW LAKE ROAD, SUITE 320
CAMAS, WA 98607~~

CAMAS MEADOWS HOLE 9 LLC
4660 NE 77TH AVE STE 200
VANCOUVER, WA 98662

~~COUNTY PROPERTIES EAST LLC
4857 NW LAKE RD #320
CAMAS, WA 98607~~



Notice of Application and Public Hearing
Camas Meadows Hole 9 Ph 1 Mixed Use Development
 (File No. MAJVAR24-01)

NOTICE IS HEREBY GIVEN that a Major Variance application for the “Camas Meadows Hole 9 Mixed Use Development” to change the setbacks was received on 2/27/2024, by Stacey Shields, and deemed technically complete on 3/18/2024.

LOCATION: The subject site consists of seven parcels and is ±13.81 acres in size. The site is addressed as 4711, 4615, 4555 and 4525 Unit A & Unit B, NW Camas Meadows Drive, Camas, WA 98607. The property is identified as Clark County Parcel Numbers 175980000, 172973000, 172963000, 986035734, 986035733, 172970000, and 986026906 of the northeast, northwest and southwest ¼ of Section 28 and 29, Township 2 North, Range 3 East, Willamette Meridian. The site is zoned Mixed Use (MX) and is currently vacant with no structures on site.

SCHEDULED PUBLIC HEARING: A virtual and in-person public hearing will be held before the city’s hearings examiner on **July 9, 2024 at 4 pm**. Instructions and a link to participate will be available on the agenda page of the city’s website at least seven days prior to the meeting. The agenda is located at the following link: www.cityofcamas.us/yourgovernment/minuteagendavideo

APPLICATION MATERIALS: The Camas Meadows Hole 9 Ph 1 Mixed Use Development application included the following: narrative, site plan, residential lots map, title report, and other required submittal documents. These documents are available for review at the Community Development Department (616 NE 4th Ave., Camas, WA) during regular business hours Monday – Friday 8 am-5 pm.

PARTICIPATE: All citizens are entitled to have equal access to the services, benefits, and programs of the City of Camas. Please contact the City Clerk at (360) 834-6864 for special accommodation if needed. The city will provide translators for non-English speaking persons who request assistance at least three working days prior to a public meeting.

Public comments and questions are encouraged, and there are several opportunities available to interested citizens. *It is preferable that written comments be received five days prior to the public hearing, in order to be available with the online agenda and materials.* Comments can also be accepted during the public hearing. The public hearing will follow the quasi-judicial process described within Camas Municipal Code §18.55.180. Comments related to this development may be submitted as follows: (1) In person by testifying at the public hearing; (2) by regular mail to Planning Division staff, Madeline Sutherland, Planner, at the Camas City Hall, 616 NE 4th Avenue, Camas, WA 98607; (3) by email to: communitydevelopment@cityofcamas.us; or (4) by phone (360) 817-7237. **For questions related to this application, please contact Madeline Sutherland Planner, at (360) 817-1568 or communitydevelopment@cityofcamas.us.**

Vicinity Map for Camas Meadows Hole 9 Ph 1 (MAJVAR24-01)





July 9, 2024
 Camas Community Development
 Attn: Madeline Southerland
 616 NE 4th Avenue
 Camas, WA 98607

RE: Staff Report Response

Below is a list of comments and requested revisions regarding the Type III Staff Report for the Camas Meadows Hole 9 Major Variance (MAJVAR24-01), dated July 3, 2024.

Findings

Page 3, Second Paragraph – CMC 18.45.040.B.2

Staff is in support of increasing the front yard setback if a condition is added that the garage must be set back a minimum of 18-feet for the single-family detached Lots ~~20 22~~-56. An 18-foot setback allows for a vehicle to park in the driveway and not block the sidewalk.

Request: Revise the finding as shown above. This revision includes all detached single-family lots in the finding and provides consistency with the associated Condition 5.

Conditions of Approval

Page 5, Condition 5

The garage setback for the single-family detached lots (lots ~~20-56 21, 30-48~~) must be a minimum of 18-feet to the face of the garage.

Request: Revise the condition as shown above. This revision includes all detached single-family lots in the condition and provides consistency with the associated finding.

Sincerely,

AKS ENGINEERING & FORESTRY, LLC

Michael Andreotti
 9600 NE 126th Avenue, Suite #2520, Vancouver, WA 98682
 (360) 882-0419 | andreottim@aks-eng.com

Madeline Sutherland

From: Michael Andreotti <andreottim@aks-eng.com>
Sent: Tuesday, July 9, 2024 1:44 PM
To: Madeline Sutherland
Cc: Steve C. Morasch; Vancouver Project Coordinators
Subject: RE: MAJVAR24-01 Staff Report Comments

WARNING: This message originated outside the City of Camas Mail system. **DO NOT CLICK** on links or open attachments unless you recognize the sender and are expecting the content. If you recognize the sender as a city employee and you see this message this email is a phishing email. If you are unsure, click the Phish Alert button to redirect the email for ITD review.

Thanks, Madeline. That condition looks good.

Michael Andreotti, RLA

Land Use Planner

AKS ENGINEERING & FORESTRY, LLC

P: 360.882.0419 Ext. 316 | www.aks-eng.com | andreottim@aks-eng.com

From: Madeline Sutherland <MSutherland@cityofcamas.us>
Sent: Tuesday, July 9, 2024 1:38 PM
To: Michael Andreotti <andreottim@aks-eng.com>
Cc: Steve C. Morasch <stevem@landerholm.com>; Vancouver Project Coordinators <vancouverpcs@aks-eng.com>
Subject: RE: MAJVAR24-01 Staff Report Comments

Thanks for the explanation. I was not aware that there was a discussion to change the rear loaded to front loaded. Staff is in agreement with the proposed changes as long as it only applies to garages at the front of the lots. The 25-foot rear yard setback along the alleys remains the same whether or not the garage is at the rear.

To clarify this, staff will recommend the revision below to the examiner:

*Page 5, Condition 5: The **front yard** garage setback for the single-family detached lots (lots 20-~~56 21, 30-48~~) must be a minimum of 18- feet to the face of the garage.*

Thanks,

Madeline Sutherland, AICP

Planner

Desk 360-817-7237

Cell 360-326-5524

www.cityofcamas.us | msutherland@cityofcamas.us

The City of Camas has gone digital! Apply for permits online through our new Civic Access Portal at www.cityofcamas.us/permits.

From: Michael Andreotti <andreottim@aks-eng.com>
Sent: Tuesday, July 9, 2024 1:06 PM
To: Madeline Sutherland <MSutherland@cityofcamas.us>
Cc: Steve C. Morasch <stevem@landerholm.com>; Vancouver Project Coordinators <vancouverpcs@aks-eng.com>
Subject: RE: MAJVAR24-01 Staff Report Comments

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Madeline –

These were initially anticipated to be rear loaded, but during the final engineering process and in discussion with potential buyers it was determined these may be better as front load lots due to the grades necessary for the townhome lots and the alley. If the condition includes all these lots, then they have the option to be either front load or rear load and the City would have the requirement to set a garage back 18-feet from the front.

Thanks,

Michael Andreotti, RLA
Land Use Planner
AKS ENGINEERING & FORESTRY, LLC
P: 360.882.0419 Ext. 316 | www.aks-eng.com | andreottim@aks-eng.com

From: Madeline Sutherland <MSutherland@cityofcamas.us>
Sent: Tuesday, July 9, 2024 8:57 AM
To: Michael Andreotti <andreottim@aks-eng.com>
Cc: Steve C. Morasch <stevem@landerholm.com>; Vancouver Project Coordinators <vancouverpcs@aks-eng.com>
Subject: RE: MAJVAR24-01 Staff Report Comments

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Micheal,

Staff did not include lots 22-29 and 49-56 because they are rear alley-loaded, therefore the garage will comply with the rear yard setback of 25 ft. The condition only relates to the front yard because the request is to change the front yard setback from 10 ft to 15 ft. I did not see a request in the narrative requesting the reduction of the rear yard setbacks. Let me know if I am not understanding the letter correctly.

Regards,

Madeline Sutherland, AICP
Planner
Desk 360-817-7237

Cell 360-326-5524

www.cityofcamas.us | msutherland@cityofcamas.us

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From: Michael Andreotti <andreottim@aks-eng.com>

Sent: Tuesday, July 9, 2024 8:37 AM

To: Madeline Sutherland <MSutherland@cityofcamas.us>

Cc: Steve C. Morasch <stevem@landerholm.com>; Vancouver Project Coordinators <vancouverpcs@aks-eng.com>

Subject: MAJVAR24-01 Staff Report Comments

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Madeline –

We have reviewed the staff report and I have attached a letter with a couple of requested changes for clarity.

Please let me know if you have any questions or concerns with the requested changes.

Thanks,

Michael Andreotti, RLA
Land Use Planner



AKS ENGINEERING & FORESTRY, LLC

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**Camas Meadows Hole 9 Mixed Use Development
(MAJVAR24-01)
Index of Exhibits**

Exhibit No.	Title/Description	Document Date
1	Application Form and Receipt	2/27/24
2	Narrative 1 st Submittal	2/20/24
3	Narrative 2 nd Submittal	4/25/24
4	Development Sign Posted	
5	Development Sign with Hearing Date	
6	Original Plans	8/3/23
7	Preliminary Site Plan	
8	Proposed Development Plans	1/19/24
9	Major Modification Update Plans	4/23/24
10	Residential Lots Map	
11	Title Report	
12	Pre-Application Waiver Confirmation	1/19/24
13	Technically Complete Letter	3/18/24
14	Mailing Labels	1/16/24
15	Notice of Application and Public Hearing	5/23/24
16	Final Order	9/21/23
17	Affidavit of Mailing Notice of Application and Public Hearing	5/23/24
18	Applicant Response to Staff Report	7/9/24
19	Staff Response with Updated Condition	7/9/24