



Hearings Examiner Meeting Agenda Thursday, October 15, 2020, 5:00 AM REMOTE PARTICIPATION

NOTE: The City welcomes public meeting citizen participation. TTY Relay Service: 711. In compliance with the ADA, if you need special assistance to participate in a meeting, contact the City Clerk's office at (360) 834-6864, 72 hours prior to the meeting to enable the City to make reasonable accommodations to ensure accessibility (28 CFR 35.102-35.104 ADA Title 1.).

Participate in this virtual Meeting with the online ZOOM application and/or by phone.

OPTION 1 -- Join the virtual meeting from any device:

1. First-time ZOOM users, go to www.zoom.com
 - To download the free ZOOM Cloud Meetings app for your device
 - Or, click the Join Meeting link in the top right corner and paste -

<https://zoom.us/j/92319903197>

2. From any device click the meeting link
3. Enter your email and name, and then join webinar.
4. Wait for host to start the meeting.

OPTION 2 -- Join the virtual meeting from your phone (audio only):

1. Dial 877-853-5257
2. When prompted, enter meeting ID 92319903197#, and then ###

During Public Comment periods:

1. Attendees may click the **raise hand icon** in the app and you will be called upon to comment for up to 3 minutes.
 - If listening by phone, hit *9 to "raise your hand" and you will be called upon to comment for up to 3 minutes.
2. Residents can send public comments to (limit to 300 words).

These will be entered into the meeting record. Emails received by one hour before the start of the meeting will be emailed to the Meeting Body prior to the meeting start time. During the meeting, the clerk will read aloud the submitter's name, the subject, and the date/time it was received. Emails will be accepted until 1 hour received after the meeting and will be emailed to the Meeting Body no later than the end of the next business day.

CALL TO ORDER

INTRODUCTIONS AND INSTRUCTIONS

HEARING ITEM

1. Volke Deck (MajVar20-01)

Presenter: Madeline Sutherland, Assistant Planner

ADJOURNMENT

LAND USE DECISION

STAFF REPORT

Volke Deck Major Variance

File No. MajVar20-01

Type III

Date: October 8, 2020

TO	Hearings Examiner	HEARING DATE	October 15, 2020
PROPOSAL	The applicant is proposing to reduce the front yard setback from 20 feet to 8 feet 6 inches.		
LOCATION	325 NW 14 th Ave. Parcel No. 81290000. NW ¼ of Section 11, Township 1 North, Range 3 East of the Willamette Meridian, Clark County.		
APPLICANT/ CONTACT	Ryder Group NW, Inc Attn: Steve Ryder 410 NW 44 th St Vancouver, WA 98660	OWNER	David and Lisa Volke 325 NW 14 th Ave Camas, WA 98607
APPLICATION SUBMITTED	February 28, 2020; Resubmitted April 29, 2020	APPLICATION COMPLETE	May 12, 2020
PUBLIC NOTICES	<p>Notice of Application was mailed to property owners within 300 feet of the site and published in the Post Record on May 2, 2020, Legal publication #405130.</p> <p>Notice of Public Hearing was mailed to property owners within 300 feet of the site on September 16, 2020, and published in the Post Record on September 17, 2020. Legal publication #450310.</p>		

APPLICABLE LAW: The application was submitted on February 28, 2020 and the applicable codes are those codes that were in effect at the date of application. Camas Municipal Code (CMC) Title 16 Environment, Title 17 Land Development, and Title 18, specifically (but not limited to): Chapter 18.45 - Variances, and Chapter 18.55 - Administrative Procedures.

BACKGROUND

The applicant is currently seeking a major variance approval to reduce the minimum front yard setback from 20 feet to 8 feet 6 inches to construct a deck. The existing residence has a 21.5 foot front yard setback. The proposed decks dimensions are 36 feet wide by 8 feet deep with the stairs extending approximately 8 feet beyond the proposed deck.

The site is zoned Single-Family Residential (R-7.5) and approximately 5,066 square feet. The site is surrounded by Single-Family Residential (R-7.5) zoning. To the north and west are multifamily units. To the east and south across the street are single-family residences. There are multiple residences within the vicinity that have a front yard setback of less than the required 20 feet.

The projects required permits and approvals from the city include: Major variance approval, and building permits.

PUBLIC COMMENT

One public comment was received on June 3rd requesting the property information. No other comments were received.

FINDINGS

Chapter 18.45 Variances

- A. *The board of adjustment (or hearing examiner, or planning commission, in accordance with Section 18.45.020(B)) shall consider all requests for major variances from the zoning code.*
- B. *Approval of a major variance must demonstrate with findings of compliance with all of the following criteria:*
 - 1. *The variance shall not constitute a grant of special privilege inconsistent with the limitation upon uses of other properties in the vicinity and zone in which the subject property is located;*

DISCUSSION: Per CMC 18.09.040 Table 2 the minimum front yard setback is 20 feet. The deck and staircase are proposed to be located 5 feet 6 inches from the front property line. Per CMC 18.09.130 stairways may extend into a front yard not more than 3 feet, therefore the applicant is proposing to reduce the front yard setback to 8 feet 6 inches.

There are several other properties within the vicinity that encroach the minimum front yard setback. Exhibit 12 shows properties within the vicinity with reduced front yard setbacks varying from 13 feet to less than 1 foot.

FINDING: Staff finds the major variance request to reduce the front yard setback does not grant special privilege to the specific site as there are many properties within the vicinity that encroach the front yard setback.

- 2. *That such variance is necessary, because of special circumstances or conditions relating to the size, shape, topography, location, or surroundings of the subject property, to provide it with use, rights, and privileges permitted to other properties in the vicinity and in the zone in which the subject property is located;*

FINDING: There are other properties within the area that are able to utilize their front yard. Due to the slopes on site, the applicant is requesting a variance to utilize their front yard in a similar way to their neighbors. Staff finds a reduced front yard setback will allow the owner to utilize space in the front yard due to topographic issues.

- 3. *The granting of such variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the vicinity and in the zone in which the subject property is located.*

FINDING: Per the applicants email (Exhibit 20), there was an existing front yard staircase that was located approximately 8 feet 2 inches from the front property line. Since the proposal is to extend the stairs and add a deck, staff finds the deck will not be detrimental to the public welfare.

RECCOMENDATION

Major Variance Review for the **Volke Deck (MajVar20-01)** is recommended to be approved with the following conditions:

CONDITIONS OF APPROVAL:

1. The front yard setback shall be reduced to 8 feet 6 inches.
2. Coordinate with the Community Development Engineering Project Manager for any changes to engineering requirements.



Community Development Department | Planning
616 NE Fourth Avenue | Camas, WA 98607
(360) 817-1568
communitydevelopment@cityofcamas.us

General Application Form

Case Number: MAJVAR20-01

Applicant Information

Applicant/Contact: RYDER GROUP NW, Inc Phone: (360) 771-7851
Address: 410 NW 44th St steve@rydergroupnw.com
Vancouver WA 98660
Street Address E-mail Address
City State ZIP Code

Property Information

Property Address: 325 NW 14th Ave Bellevue 98000
Camas WA 98607
Street Address County Assessor # / Parcel #
City State ZIP Code
Zoning District Site Size

Description of Project

Brief description: ADD A DECK (COVERED) TO THE FRONT OF THE HOUSE
THE DECK ENCLOSES INTO THE FRONT SETBACK.

Are you requesting a consolidated review per CMC 18.55.020(B)? YES ☐ NO ☐
Permits Requested: ☐ Type I ☐ Type II ☒ Type III ☐ Type IV, BOA, Other

Property Owner or Contract Purchaser

Owner's Name: VOLKE DAVID LISA Phone: ()
325 NW 14th Ave
Last First
Street Address Apartment/Unit #
E mail Address: CAMAS WA 98607
City State Zip

Signature

I authorize the applicant to make this application. Further, I grant permission for city staff to conduct site inspections of the property.

Signature: [Signature] Date: 02/11/2020

Note: If multiple property owners are party to the application, an additional application form must be signed by each owner. If it is impractical to obtain a property owner signature, then a letter of authorization from the owner is required.

Date Submitted: <u>2/28/20</u>	Pre-Application Date:	#1273.00 #544744 Validation of Fees
Staff:	Related Cases #	
Electronic Copy Submitted <input type="checkbox"/>		

Revised: 01/22/2019

Application Checklist and Fees [updated on January 1, 2020]

◊ Annexation	\$849 - 10% petition; \$3,608 - 60% petition	001-00-345-890-00	\$
◊ Appeal Fee		001-00-345-810-00	\$392.00
◊ Archaeological Review		001-00-345-810-00	\$135.00
◊ Binding Site Plan	\$1,848. + \$24 per unit	001-00-345-810-00	\$
◊ Boundary Line Adjustment		001-00-345-810-00	\$101.00
◊ Comprehensive Plan Amendment		001-00-345-810-00	\$5,729.00
◊ Conditional Use Permit			
Residential	\$3,360 + \$103 per unit	001-00-345-810-00	\$
Non-Residential		001-00-345-810-00	\$4,256.00
◊ Continuance of Public Hearing		001-00-345-810-00	\$515.00
◊ Critical or Sensitive Areas (fee per type)		001-00-345-810-00	\$762.00
(wetlands, steep slopes or potentially unstable soils, streams and watercourses, vegetation removal, wildlife habitat)			
◊ Design Review			
Minor		001-00-345-810-00	\$426.00
Committee		001-00-345-810-00	\$2,335.00
◊ Development Agreement	\$862 first hearing; \$530 ea. add'l hearing/continuance	001-00-345-810-00	\$
◊ Engineering Department Review - Fees Collected at Time of Engineering Plan Approval			
Construction Plan Review & Inspection	(3% of approved estimated construction costs)		
Modification to Approved Construction Plan Review	(Fee shown for information only)		\$415.00
Single Family Residence (SFR) - Stormwater Plan Review	(Fee shown for information only)		\$205.00
Gates/Barrier on Private Street Plan Review	(Fee shown for information only)		\$1,024.00
◊ Fire Department Review			
Short Plat or other Development Construction Plan Review & Insp.		115-09-345-830-10	\$280.00
Subdivision or PRD Construction Plan Review & Inspection		115-09-345-830-10	\$348.00
Commercial Construction Plan Review & Inspection		115-09-345-830-10	\$416.00
◊ Home Occupation			
Minor - Notification (No fee)			\$0.00
Major		001-00-321-900-00	\$68.00
◊ LI/BP Development	\$4,256+ \$40.00 per 1000 sf of GFA	001-00-345-810-00	\$
◊ Minor Modifications to approved development		001-00-345-810-00	\$340.00
◊ Planned Residential Development	\$34 per unit + subdivision fees	001-00-345-810-00	\$
◊ Plat, Preliminary			
Short Plat	4 lots or less: \$1,904 per lot	001-00-345-810-00	\$
Short Plat	5 lots or more: \$7,055 + \$246 per lot	001-00-345-810-00	\$
Subdivision	\$7,055 + \$246 per lot	001-00-345-810-00	\$
◊ Plat, Final:			
Short Plat		001-00-345-810-00	\$197.00
Subdivision		001-00-345-810-00	\$2,335.00
◊ Plat Modification/Alteration		001-00-345-810-00	\$1,176.00
◊ Pre-Application (Type III or IV Permits)			
No fee for Type I or II			
General		001-00-345-810-00	\$348.00
Subdivision (Type III or IV)		001-00-345-810-00	\$896.00
◊ SEPA		001-00-345-890-00	\$796.00
◊ Shoreline Permit		001-00-345-890-00	\$1,176.00
◊ Sign Permit			
General Sign Permit	(Exempt if building permit is required)	001.00.322.400.00	\$40.00
Master Sign Permit		001.00.322.400.00	\$124.00
◊ Site Plan Review			
Residential	\$1,132 + \$33 per unit	001-00-345-810-00	\$
Non-Residential	\$2,828 + \$67 per 1000 sf of GFA	001-00-345-810-00	\$
Mixed Residential/Non Residential	(see below)	001-00-345-810-00	\$
	\$3,987 + \$33 per res unit + \$67 per 1000 sf of GFA		
◊ Temporary Use Permit		001-00-321-990-00	\$79.00
◊ Variance (Minor)		001-00-345-810-00	\$683.00
◊ Variance (Major)		001-00-345-810-00	\$1,273.00
◊ Zone Change (single tract)		001-00-345-810-00	\$3,289.00

Adopted by RES 1023 AUG 2005; Revised by RES 1113 SEPT 2007; Revised by RES 1163 OCT 2009; Revised by RES 1204 NOV 2010;
 Revised by RES 15-001 JAN 2015; Revised by RES 15-007 MAY 2015; Revised by RES 15-018 DEC 2015; Revised by RES 16-019 NOV 2016;
 Revised by RES 17-015 NOV 2017; Revised by RES 18-003 APRIL 2018; Revised by RES 18-013 NOV 2018; Revised by RES 19-018 DEC 2019

Fees reviewed & approved by Planner:

Initial _____ Date _____

For office use only

Total Fees Due: \$

12,733.00

Major Variance for 325 NW 14th Ave, Camas, WA 98607

Per code 18.45.040 Major Variance

B. 1. The variance shall not constitute a grant of special privilege inconsistent with the limitations upon uses of other properties in the vicinity and zone in which the subject property is located;

The subject property is located next to 3 residences (1 to the west and 2 to the east) on the same city block. All three residences in the same block currently have setbacks that are encroaching on the front setback.

The house located at 313 NW 14th is setting at 10'-3" off the front property line,

The house located at 303 NW 14th is sitting at 7'-9" off the front property line.

The duplex to the west of the subject property located at 331 and 337 NW 14th have their stairs touching the front property line.

In addition to these properties there are a multitude of houses within a 300 foot radius that are also encroaching on the front setback, including 1346 Benton which is only 7'-4" from the front property line.

The major variance we are requesting does not constitute a grant of special privilege since the houses in the block and around the vicinity have setbacks encroaching on the front setback.

B.2. That such a variance is necessary, because of special circumstances of conditions relating to the size, shape, topography, location, or surroundings of the subject property, to provide it with use, rights, and privileges permitted to the other properties in the vicinity and in the zone in which the subject property is located.

The subject property is requesting the variance to be able to use the front of the property in ways similar to the adjacent properties. The subject property is located on a sloped lot. The front of the lot is substantially lower than the main area of the house. To be able to use the front of the lot would require that would require that the property be regraded and have terraces and retaining walls installed to provide a suitable topography to use the property, or to provide a deck (which is what we are requesting) to have the front available for use. Either way would require a major variance. The other properties in the adjacent area have a usable front lot. They currently have access and can utilize the front of their properties in similar fashion to what we are requesting, and have encroached onto the front setback even though the topography of their lot would not require such measures to make it usable.

B.3. The granting of such variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the vicinity and in the zone in which the subject property is located.

The subject property will not interfere with right of ways or protrude into the setback as far as the adjacent properties currently are. The deck would be a valuable addition to the neighborhood as it would invite conversations between neighbors and allow interaction that would not be possible without such an option. The addition of this deck will only increase the value of the adjacent properties by upgrading the surroundings of the properties.

List of Permit Approvals being requested

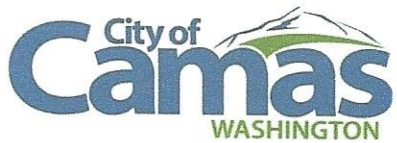
Building Permit – To add a covered front deck to an existing structure

Detailed Narrative

We are seeking to add a covered deck to an existing single family residence. The purpose of the deck is to provide use of the front portion of the lot the building sits on. The deck will encroach into the front setback by 11'-1" (this includes an 8'-0" deck and 3'-4" stair leading from the deck to the ground below. The deck will be attached to the house at the first floor. The stairs will come out from the middle of the deck to the ground below following the deck lengthwise. The deck will be 36' long from one side of the house to the other. Additionally the deck will be completely covered by a truss built roof attached to the house.

The existing house has a 21'-5" setback (see attached survey).

The deck will be built per the engineered drawings,



**Pre-Application Meeting
Volke Property
Parcel # 81290000
File PA19-44**

Thursday, October 3, 2019
3:30pm, Public Works Meeting Rm.
616 NE Fourth Avenue, Camas, WA 98607

Applicant / Contact:	Steve Ryder Ryder Group NW 410 NW 44 th Street Vancouver, WA 98660 360.771.7851 Email: steve@rydergroupnw.com
Representing City of Camas:	Lauren Hollenbeck, Senior Planner Randy Miller, Fire Marshal David Corbett, Plans Examiner
Location:	325 NW 14 th Avenue
Zoning:	Single-Family Residential (R-7.5)
Description:	Applicant is proposing construct a deck at the front of the residence, an addition to the back of the building and construct a second story addition.

NOTICE: Notwithstanding any representation by City staff at a pre-application conference, staff is not authorized to waive any requirement of the City Code. Any omission or failure by staff to recite to an applicant all relevant applicable code requirements shall not constitute a waiver by the City of any standard or requirement. [CMC 18.55.060 (C)] This pre-application conference shall be valid for a period of 180 days from the date it is held. If no application is filed within 180 days of the conference or meeting, the applicant must schedule and attend another conference before the City will accept a permit application. [CMC 18.55.060 (D)] Any changes to the code or other applicable laws, which take effect between the pre-application conference and submittal of an application, shall be applicable. [CMC 18.55.060 (D)]. A link to the Camas Municipal Code (CMC) can be found on the City of Camas website, <http://www.cityofcamas.us/> on the main page under "Business and Development".

PLANNING DIVISION

LAUREN HOLLENBECK (360) 817-7253

An application for a major variance is considered a Type III permit. Applicable codes for development include Title 16 Environment, Title 17 Land Development and Title 18 Zoning of the Camas Municipal Code ("CMC"), which can be found on the city website. Please note it remains the **applicant's responsibility** to review the CMC and address all applicable provisions. The following pre-application notes are based on the application materials and site plan submitted to the City on September 20, 2019:

Application Requirements

Your proposal will need to comply with the general application requirements per **CMC Section 18.55.110** in addition to the specific application requirements outlined below.

A. A completed city application form and required fee(s);
Fees will be based on the adopted fees at the time of application submittal. The current fees include the following:

1. Major Variance	\$1,243.00
2. Fire Department Review	\$274.00
3. Building Permit and Plan Review	*based on the valuation of the project

- B. Complete applications for other required land use proposals applicable to the proposal;
C. A vicinity map showing location of the site; and
D. A current mailing list and mailing labels of owners of real property within 300 feet of the subject property;
E. **A narrative addressing the major variance criteria per Section 18.45.040(B)(1-3)** and standards of the Camas Municipal Code. Please note this is not necessarily a complete list of applicable code sections:
Chapter 17.01 General Provisions
Chapter 17.19 Design and Improvement Standards
Chapter 17.21 Procedures for Public Improvements
Section 18.55.110 Application – Required Information
And any other applicable sections of Title 16, Title 17, and Title 18.
F. A development sign must be posted on site per CMC Section 18.55.110.H (1-5).
G. Necessary drawings. In addition to three paper copies of all application materials please submit all application materials, including drawings and reports, in an electronic format.

Major Variance

The major variance approval process is stated per CMC 18.45.020(B). Major Variances are a Type III decision and require a public hearing before a Hearings Examiner. A staff report will be prepared addressing the major variance criteria for the Hearings Examiner's consideration. A notice of hearing will be published in the local paper and mailed to property owners within 300-feet by city staff at least 15-days prior to the hearing date. The Hearings Examiner will hear testimony and make the final decision. A 14-day public appeal period will follow the Hearings Examiner's decision.

The following comments are based on the site plan materials submitted with this Pre-Application:

1. The major variance will be applied to the deck at the front of the residence because it is encroaching into the front yard setback.
2. Density and dimensional requirements are stated per CMC 18.09.040 Table 1 & 2. The setbacks for the 5,007 square foot lot are as follows:
Front Yard: 20 feet
Side Yard: 5 feet
Rear Yard: 25 feet
3. The east side of the residence is currently 3 feet 8 inches from the property line per the applicant's submittal. The second story may continue to be built in line with the residences current side yard setback of 3 feet 8 inches because the residence is existing nonconforming.
4. The house addition to the rear of the residence shall comply with the rear yard and side yard setbacks.

SEPA

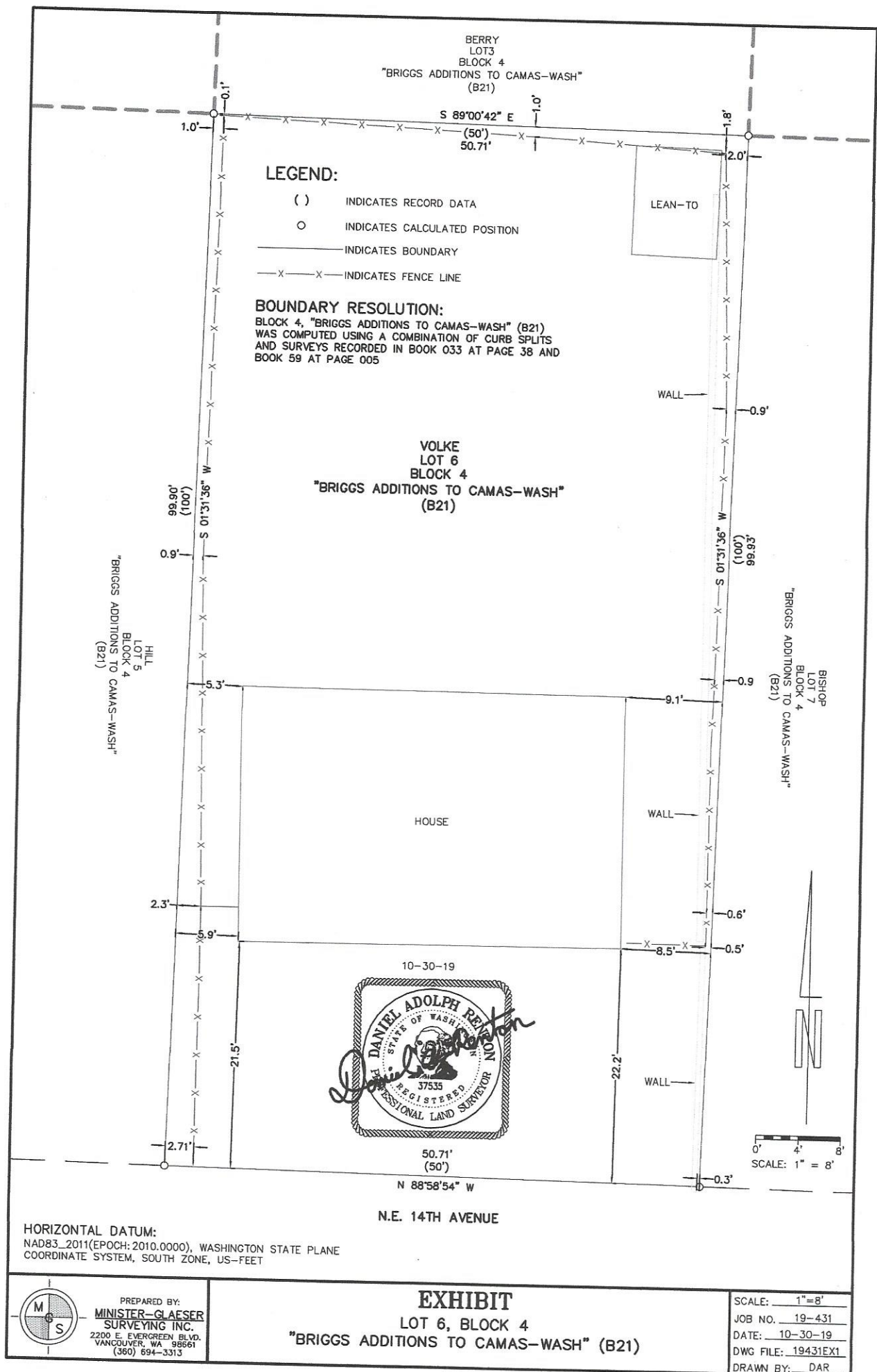
Your proposal is categorically exempt from the requirements of the State Environmental Policy Act (SEPA) per CMC Section 16.07.020 and therefore a SEPA Checklist is not required.

Archeological Review

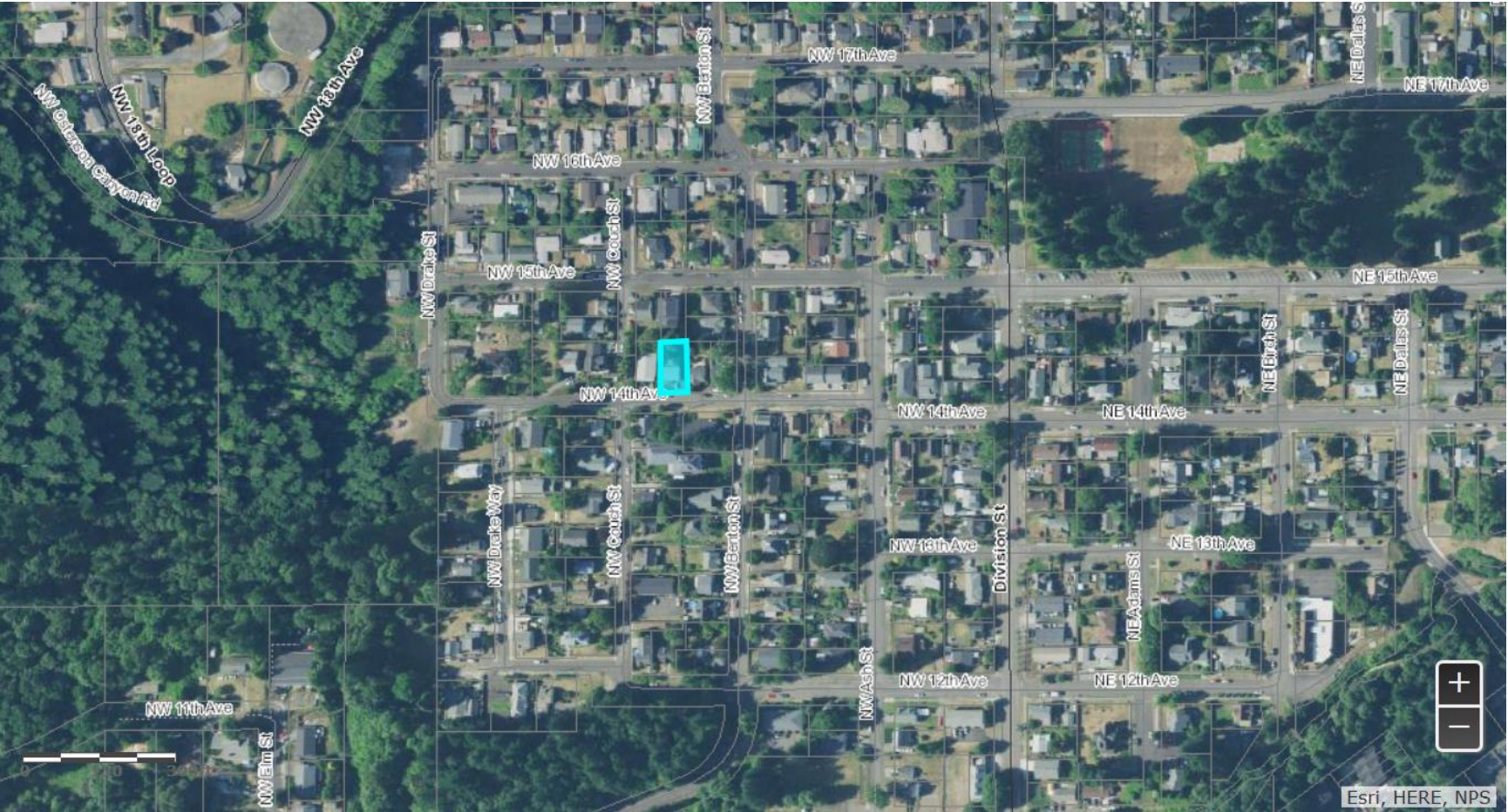
Per CMC 16.31.060(C)(2) your proposal is exempt from an archaeological predetermination report.

FIRE DEPARTMENT**RANDY MILLER (360) 834-6191**

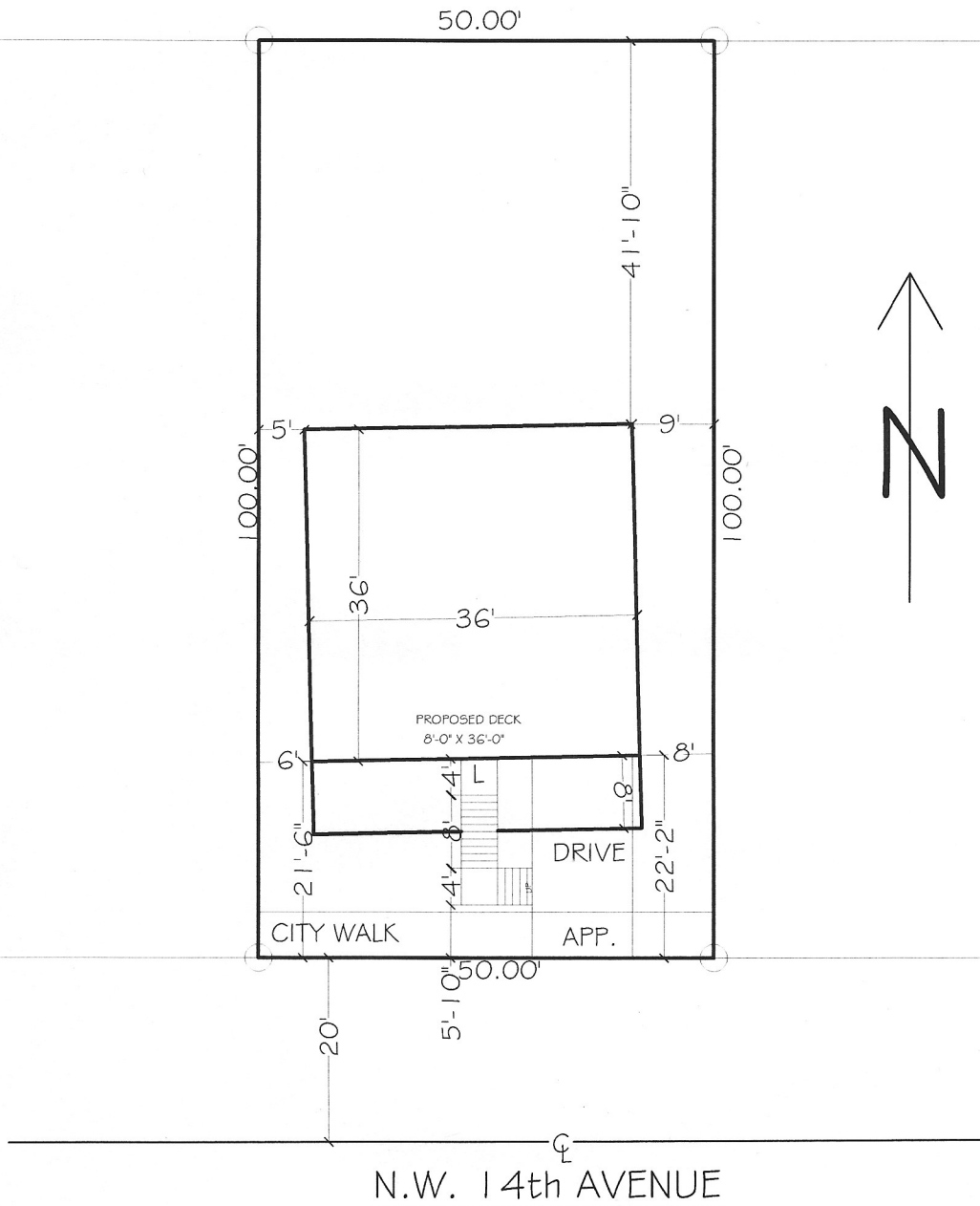
- 1) NFPA 13D Residential Fire Sprinklers required.
- 2) If a larger water meter is required and proven by design to be needed because of the fire sprinkler system and is not required for reasons of the international residential code from the building department, then the SDC up-charge is waived and the minimal cost difference in the actual meter shall be paid.
- 3) A flow switch is optional but recommended to tie into the homes security system along with an outside bell.
- 4) If a PRV is needed for the domestic supply side it is recommended it not be installed on the fire line side.
- 5) An inside bell or horn strobe is recommended (If system is not tied into a security system) Contact Randy Miller in the FMO for more information.
- 6) Water supply line from the meter into the house shall be sized per the fire sprinkler contractors design calculations or a minimum 2- inch line shall be installed.
- 7) Providing fire sprinklers in garages are optional but encouraged. Please contact the FMO for further discussion.
- 8) The distance from a required fire hydrant may be doubled when Low Flow Life Safety Residential Fire Sprinklers are installed. CMC 17.19.040.C.4.a.
- 9) Any discovered underground oil or fuel storage tank is a decommissioning permit through the FMO.
- 10) When installed A propane tank Permit is required with the Fire Marshals Office if over 124 gallons.
- 11) Address shall be provided at all times during the construction process and any final numbers shall be installed so that they are clearly visible from the street, can't be visibly blocked by a parked vehicle and have a contrasting background/color.
- 12) For questions regarding Pre-App notes, or to request FMO permit inspections contact the Fire Marshal's Office via Camas Connect or call our inspection line at 360-891-6191 x1.
- 13) Please do not hesitate to contact the FMO if you have any questions. 360-834-6191 or FMO@cityofcamas.us



Vicinity Map: Volke Deck (MajVar20-01)



TOTAL LOT AREA: 5000 SQ. FT.
 TOTAL IMPERMEABLE: 1327 SQ. FT.
 % OF IMPERMEABLE TO
 TOTAL LOT AREA: $1327/5000 = 30.08\%$



SITE PLAN

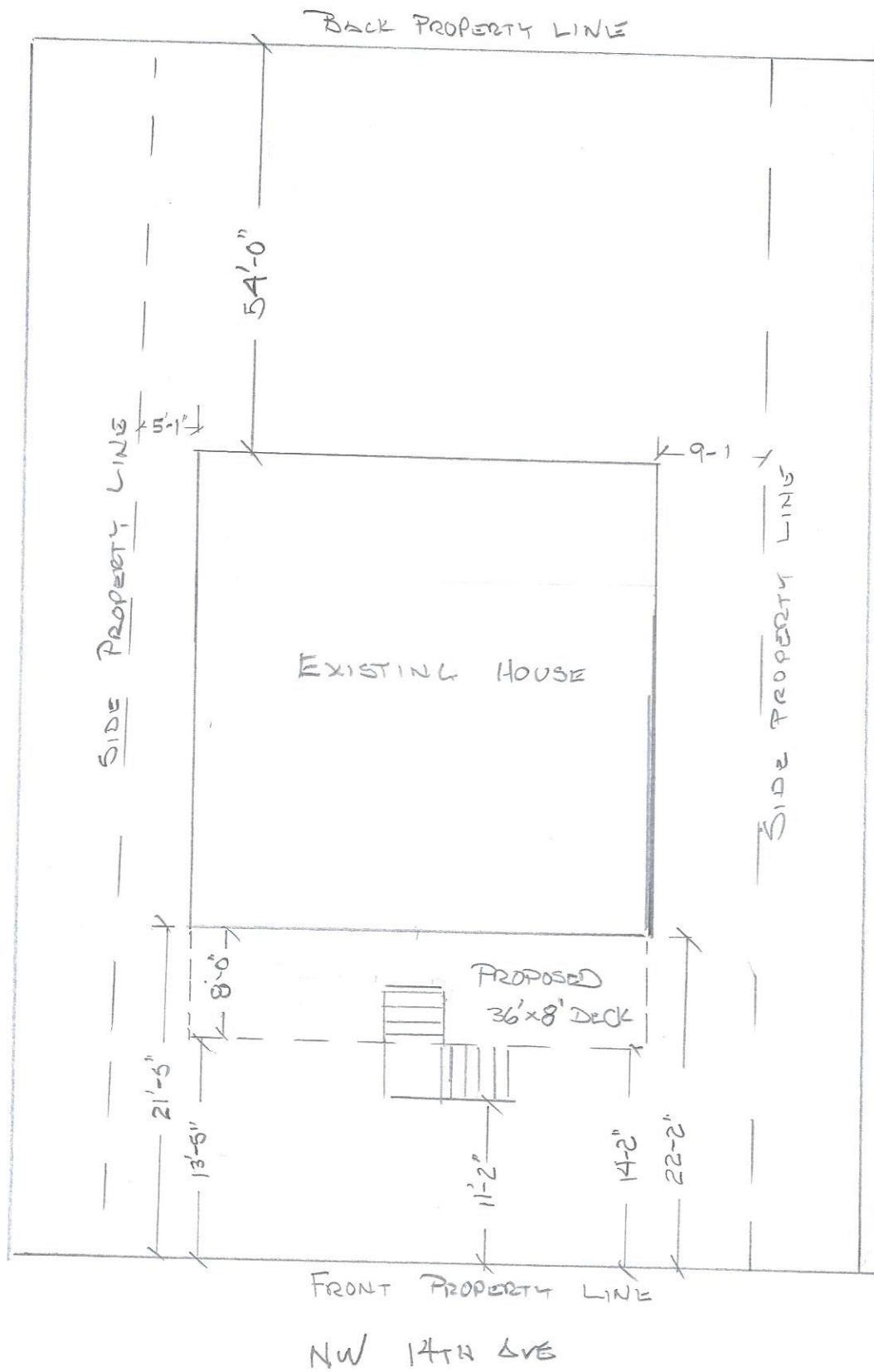
SCALE: 1" = 20'-0"

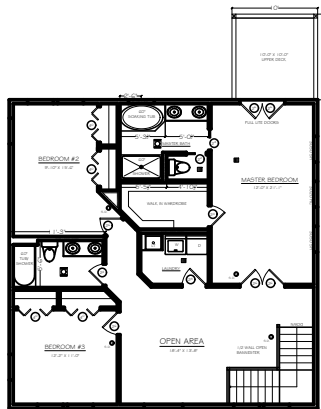
RYDER GROUP

(360) 771-7851

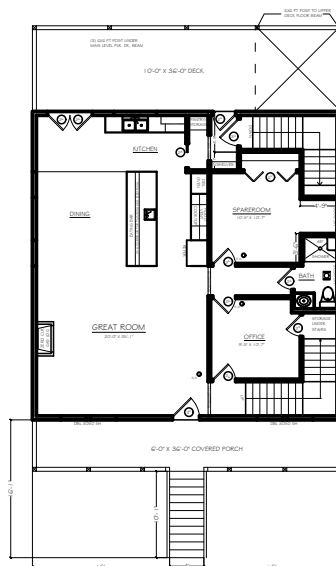
LEGAL DESCRIPTION:

BRIGGS TO CAMAS-WASH ADDITION
 LOT 6 BLOCK 4
 325 N.W. 14TH AVENUE
 CAMAS, WASH. 98607





PROPOSED UPSTAIRS PLAN



PROPOSED FRONT COVERED DECK

RYDER CONST AND DECK SCHEMATIC
 THE RYDER CONST AND DECK SCHEMATIC IS NOT A FINAL DESIGN.
 IT IS A PRELIMINARY DESIGN AND SHOULD NOT BE USED FOR CONSTRUCTION.

RYDER CONST ADDITION	
EXTERIOR DECK PLANS	
DONAHUE DESIGN FRANK DONAHUE VANCOUVER, WA, 98643 (206) 251-1000	ADD-3B

NOTE: DONAHUE DESIGN IS NOT RESPONSIBLE FOR DEVIATIONS FROM PLANS OR CHANGES.
 ANY CHANGES TO THE PLANS MUST BE APPROVED BY DONAHUE DESIGN. DONAHUE DESIGN
 IS NOT RESPONSIBLE FOR ANY CHANGES TO THE PLANS OR CHANGES TO THE PLANS.
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REAR ELEVATION



FRONT ELEVATION

SCALE: 3/8" = 1'-0"

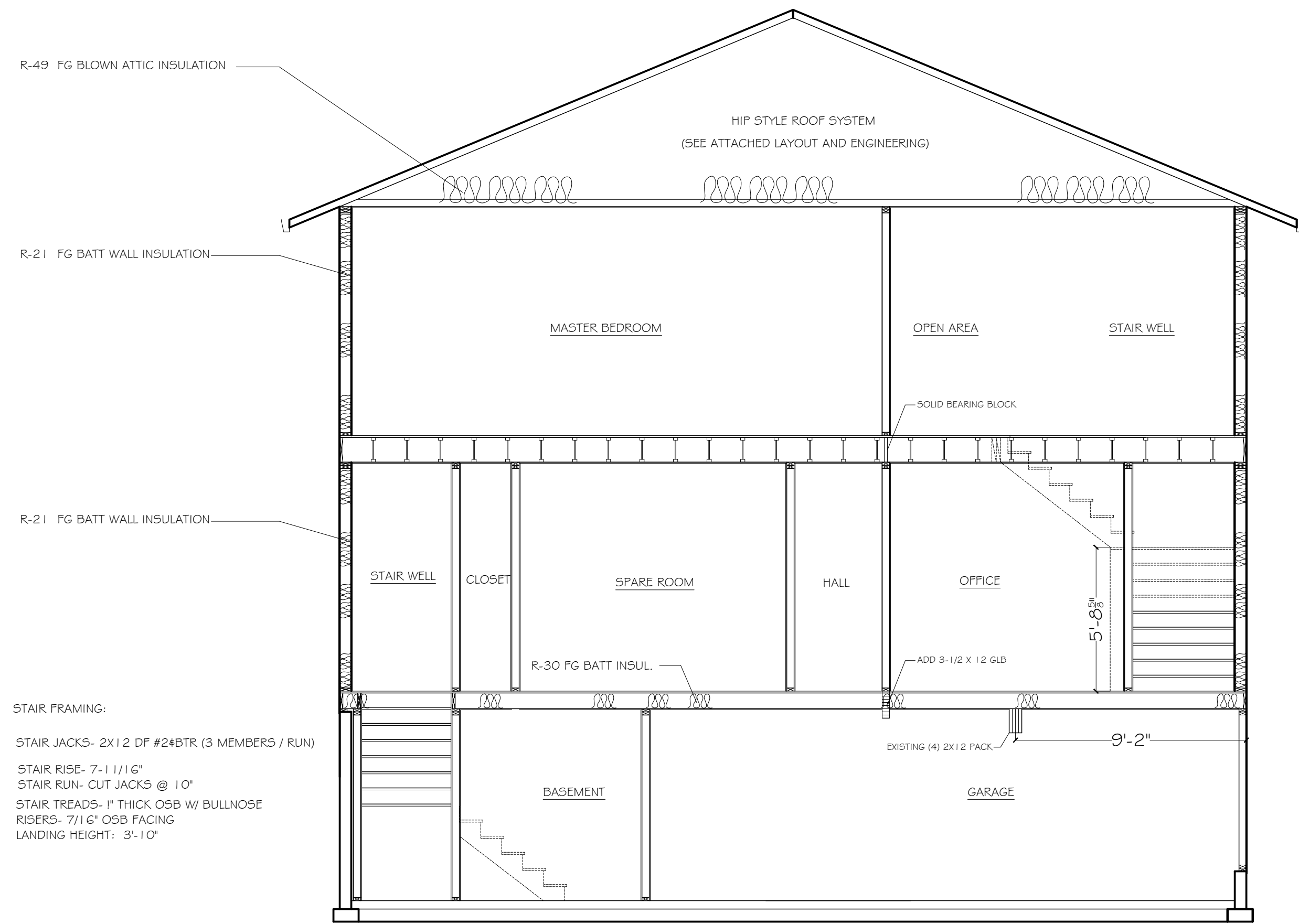


RIGHT ELEVATION

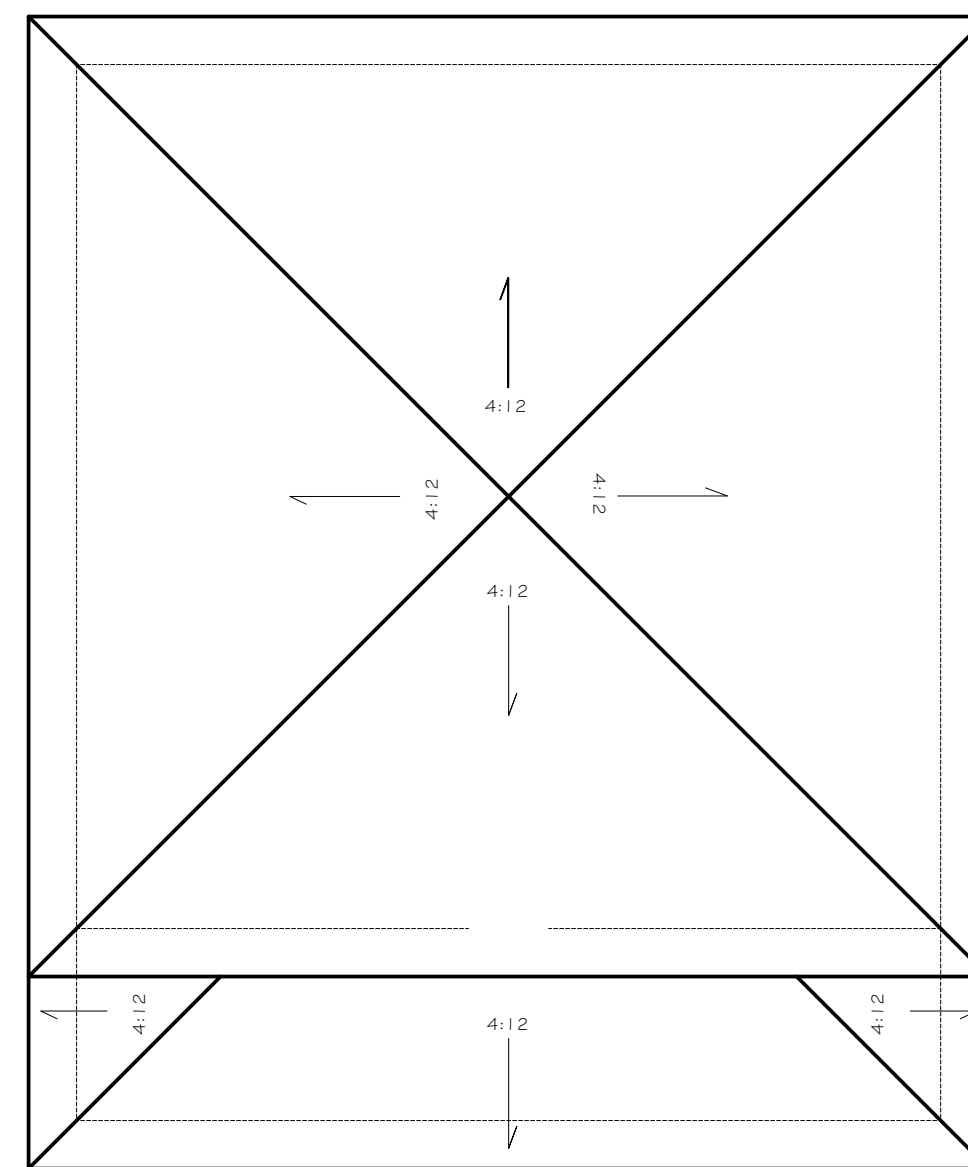
NOTE: DONAHUE DESIGN IS NOT RESPONSIBLE FOR DEVIATION FROM PLANS OR CHANGES TAKING PLACE DURING THE COURSE OF CONSTRUCTION. DONAHUE DESIGN IS NOT RESPONSIBLE FOR ANY WORK, SUBSTITUTIONS OF MATERIALS, OR ANY LABOR PERFORMED ON SITE. IT IS THE RESPONSIBILITY OF THE PURCHASER OR BUILDER OF THIS PLAN TO SEE THAT THE STRUCTURE IS BUILT IN STRICT COMPLIANCE WITH ALL GOVERNING MUNICIPAL CODES (CITY, COUNTY, STATE, AND FEDERAL). THE PURCHASER AND OR BUILDER OF THIS PROJECT ASSUMES ALL RISKS AND LIABILITIES THAT MAY ARISE DURING THE CONSTRUCTION OF THIS PROJECT.

RIGHT ELEVATION

DATE: 09/03/19	REVISION:	PROJECT: STEVE RYDER AS-BUILT
APPROVED:	AREA:	DESCRIPTION: ELEVATIONS
DONAHUE DESIGN FRANK DONAHUE VANCOUVER, WA. 98663 (360) 921-3600		SCALE: 1/4" = 1'-0" UNO PAGE: ADD 1

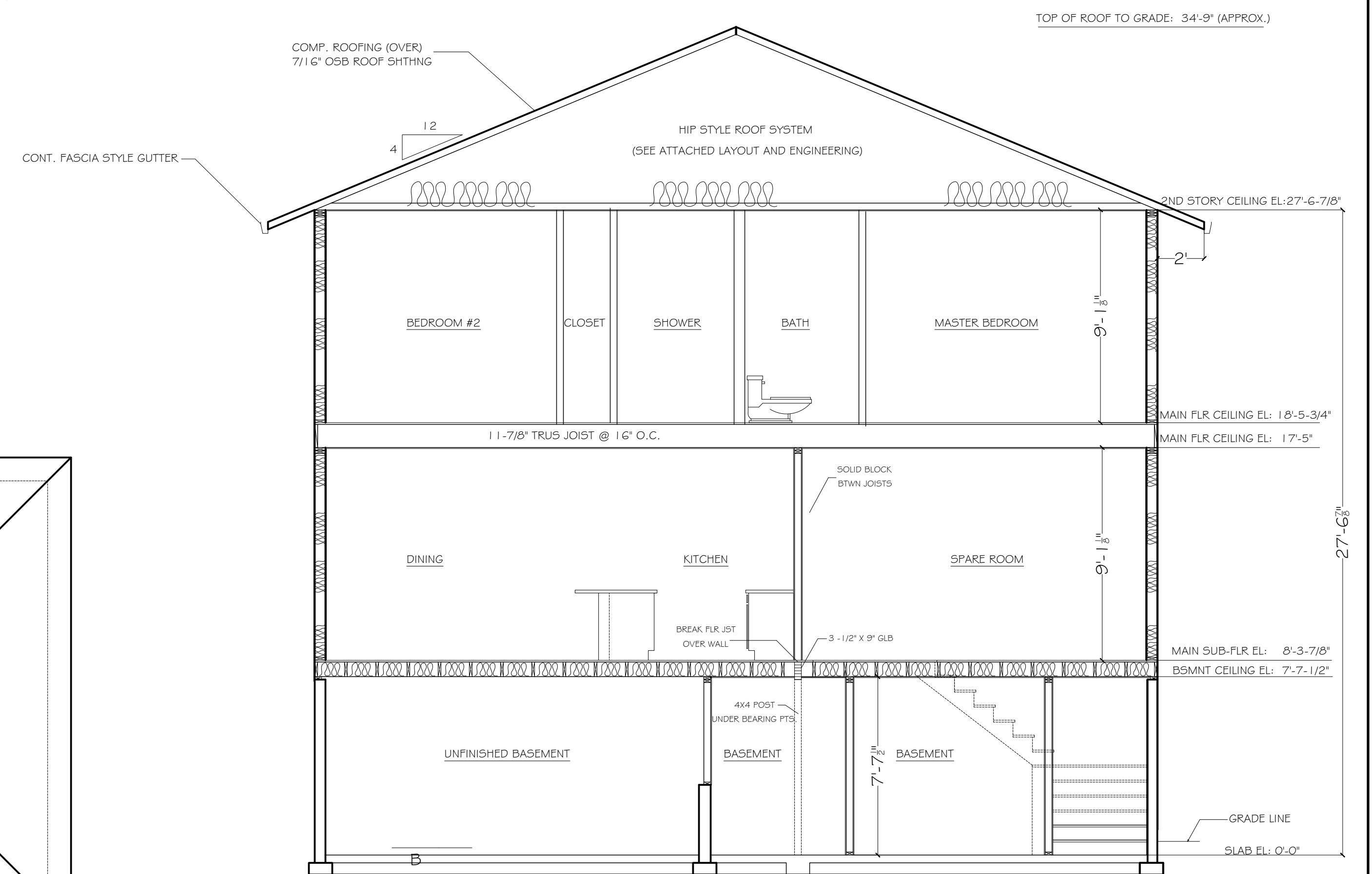


SECTION 4-B

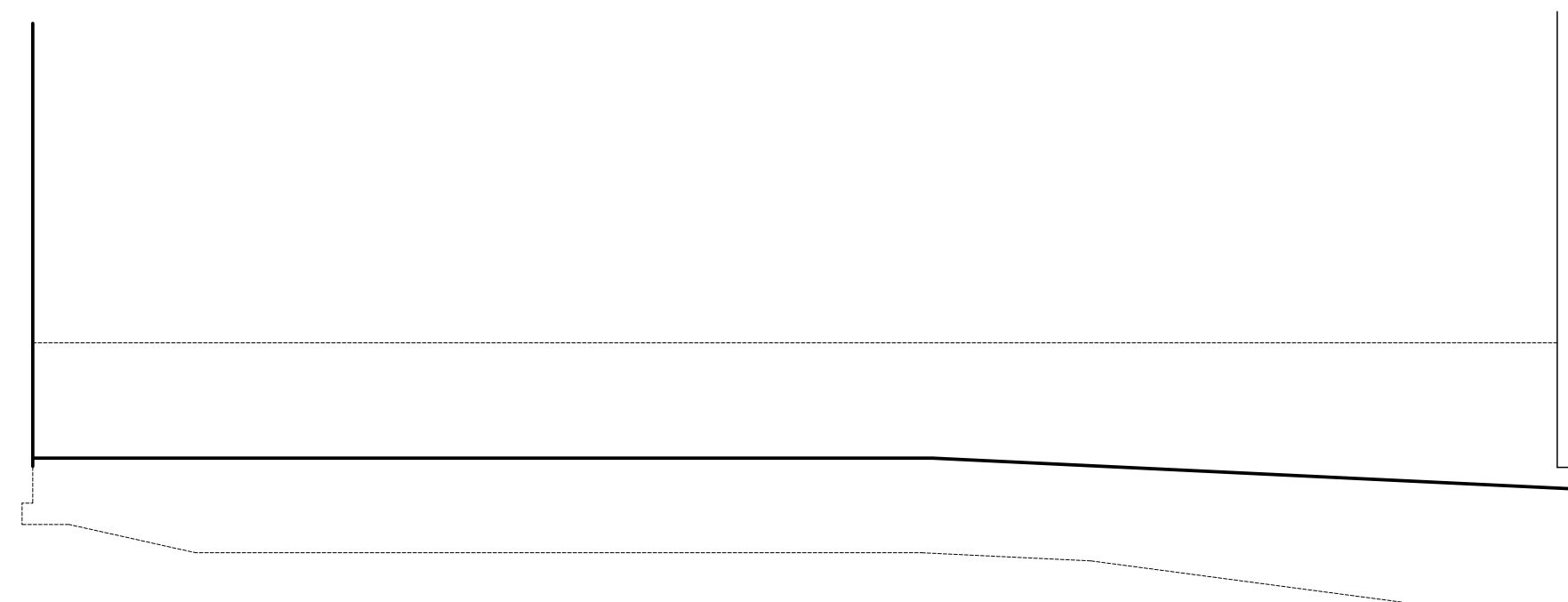


O.H. ROOF PLAN

SCALE: 1/8" = 1'-0"



SECTION 4-A



LEFT ELEVATION

NOTE: DONAHUE DESIGN IS NOT RESPONSIBLE FOR DEVIATION FROM PLANS OR CHANGES TAKING PLACE DURING THE COURSE OF CONSTRUCTION. DONAHUE DESIGN IS NOT RESPONSIBLE FOR ANY WORK, SUBSTITUTIONS OF MATERIALS, OR ANY LABOR PERFORMED ON SITE. IT IS THE RESPONSIBILITY OF THE PURCHASER OR BUILDER OF THIS PLAN TO SEE THAT THE STRUCTURE IS BUILT IN STRICT COMPLIANCE WITH ALL GOVERNING MUNICIPAL CODES (CITY, COUNTY, STATE, AND FEDERAL). THE PURCHASER AND OR BUILDER OF THIS PLAN RELEASES DONAHUE DESIGN FROM ANY CLAIMS OR LAWSUITS THAT MAY ARISE DURING THE CONSTRUCTION OF THIS STRUCTURE OR ANYTIME THEREAFTER.

DATE:	REVISION:	PROJECT:
APPROVED:	AREA:	DESCRIPTION:
DONAHUE DESIGN FRANK DONAHUE VANCOUVER, WA. 98663 (360) 921-3600	SCALE: 1/4" = 1'-0" UNO DRAWN BY:	RYDER CONST. ADDITION SECTIONS, ROOF PLAN, AND ELEVATION
		PAGE: ADD-4

STRUCTURAL GENERAL NOTES

GENERAL REQUIREMENTS

1.

All work shall conform to IBC (2015) including its referenced standards.
2.

Where details are not specifically shown, construction shall follow typical details for similar conditions, subject to review by the Architect or Engineer.
3.

Architectural drawings are the prime contract documents. Refer to the Architectural drawings for information including but not limited to: dimensions, elevations, slopes, door and window openings, non-bearing walls, curtain walls, stairs, elevators, curbs, drains, depressions, railings, waterproofing, finishes and other nonstructural items. These structural drawings may not contain details of all the construction, depending on the scope of work for which the Engineer was engaged.
4.

The Contractor is responsible for adequate bracing of the structure and parts thereof for wind, earthquake and construction forces until all structural components are permanently connected. The Contractor shall be responsible for formwork design and shoring removal schedules.
5.

The Contractor shall verify all dimensions and conditions at the site. Conflicts between the drawings and actual site conditions shall be brought to the attention of the Architect/Engineer before proceeding with the work. In case of discrepancies between the General Notes, plans, and details, the Architect/Engineer shall determine which shall govern. Discrepancies shall be brought to the attention of the Architect/Engineer before proceeding with the work.
6.

The Contractor shall determine the location of all adjacent underground utilities prior to earthwork, foundations, shoring, and excavation.
7.

Alternatives for specified items may be submitted to the Architect/Engineer for review.

DESIGN LOADS

WIND:

Basic Wind Speed: 135 MPH (3-second gust),
Exposure: B
Analysis procedure used: Simplified Procedure
Wind Base Shear = 9.7 kips (Front-to-Back)
= 9.7 kips (Left-to-Right)

SEISMIC:

Seismic Importance Factor: I_s = 1.0
Spectral Response Coefficient (Short Period): S_{DS} = 0.678
Seismic Design Category = D
Site Class = D
Response Modification Factor: R = 6.5 (Light framed steel shear walls)
Analysis procedure used: Equivalent Lateral Force Analysis
Seismic Base Shear = 5.8 kips

DESIGN GRAVITY LOADS:

Floor dead load15 psf UNO
Floor live load40 psf UNO

Roof dead load17 psf
Flat Roof Snow Load25 psf

SUBMITTALS

1.

Submittals are those items not designed by the project Architect and Engineer of Record (EOR). All submittals shall be presented to the Architect and EOR in electronic PDF format for review and approval prior to fabrication/installation.
2.

Concrete:

Provide mix designs for all mix types listed in the Table of Mix Designs.
3.

Wood Framing:

3.1.

Pre - Manufactured metal plate connected wood roof trusses

All trusses shall have calculations and shop drawings sealed by a licensed professional engineer registered in the state of Washington.

All trusses shall have shop drawings indicating the loading, material, size and spacing.

All floor and roof trusses shall be designed for the loading listed in the Design Loads section.

3.1.

Solid Web Wood Joists

Shop drawings shall indicate the loading, material types, size, spacing.

SOILS AND FOUNDATIONS

1.

Foundations are proportioned for a maximum bearing pressure of 1500 psf.

2.

Footings shall be constructed on undisturbed soil. Frozen soil, organic material and deleterious matter not allowed. Any over excavation shall be backfilled with granular material compacted to 95% of the ASTM D-1557 (modified proctor) maximum dry density. All slabs-on-grade shall be founded on 4" minimum compacted crushed rock, or as directed by a Geotechnical Engineer. Base of footings shall be a minimum of 1'-6" below finished grade and a minimum of 1'-0" below existing grade.

3.

Coordinate with following trades for embedded items, sleeves, shear wall holddowns, etc.

CAST-IN-PLACE CONCRETE

1.

Concrete shall be normal-weight unless specified otherwise on the drawings.

TABLE OF MIX DESIGN REQUIREMENTS					
MEMBER TYPE/LOCATION	STRENGTH (psi)	TEST AGE (days)	MAXIMUM AGGREGATE	MAXIMUM W/C RATIO	AIR CONTENT
FOUNDATIONS					
Foundations (Ret. walls & footings)	3000	28	1"	--	5%
SLABS-ON-GRADE					
Interior	3000	28	1"	0.50	--

2.

When pouring concrete in "cold" weather, follow ACI 306R.

3.

When pouring Concrete in "Hot" weather, follow ACI 305R.

CONCRETE REINFORCEMENT

1.

Concrete reinforcement shall comply with the following:

Reinforcing BarsASTM A615, Grade 60, deformed bars.

Weldable Reinforcing BarsASTM A706, Grade 60, deformed bars.

Deformed Welded Wire FabricASTM A497

2.

Bars shall not be welded unless authorized. When authorized, conform to ACI 301, Sec. 3.2.2.2. "Welding" and provide ASTM A706, grade 60 reinforcement.

3.

Reinforcing shall conform to the following cover requirements unless specifically shown otherwise on the drawings:

Concrete cast against earth3"

Concrete exposed to earth or weather1-1/2" (#5 bars and smaller)
2" (#6 bars and larger)

Ties in columns and beams1-1/2"

Bars in slabs and walls3/4"

4.

Reinforcement lap splice lengths shall comply with the following table, unless specifically shown otherwise on the drawings:

BAR SIZE	#3	#4	#5	#6
Top bars in footings	22"	29"	36"	43"
Bars in walls	21"	28"	35"	41"
Bars in slabs & elsewhere	17"	22"	28"	33"

(1) Bars shown to be continuous shall be lapped as scheduled above in straight runs, around corners, and into adjacent footings.

5.

Welded wire fabric in slabs on grade shall be chaired for 1 1/2" cover to the top of the slab.

6.

All rebar shall be fabricated and placed in accordance with ACI Detailing Manual 315.

WOOD FRAMING

1.

Certification: All sawn lumber and pre-manufactured wood products shall be identified by the grade mark or a certificate of inspection issued by the certifying agency.

2.

Materials Sawn Lumber: Conform to grading rules of WWPA, WCLIB or NLGA. Finger jointed studs are acceptable at interior walls only.

MEMBER USE	SIZE	SPECIES	GRADE
Studs	2x4, 3x4, 2x6, 3x6	DF	No. 2
Sill Plate	2x4,3x4, 2x6, 3x6	P.T. HF	No. 2
Posts	4x4, 4x6, 4x8	DF	No. 2
Joists	2x6 - 2x12	DF	No. 2
Beams	4x8 - 4x12	DF	No. 2
Beams	6x8 - 6x12	DF	No. 1
Posts & Timbers	6x6, 8x8	DF	No. 1

3.

Glued Laminated Timber: Conform to AITC 117 "Standard Specifications for Structural Glue-laminated Timber of Softwood Species, Manufacturing and Design" and ANSI/AITC A190.1 "Structural Glued Laminated Timber."

MEMBER USE	SIZE	SPECIES	SYMBOL	USES
Beams	All	DF/ DF	24F-V4	Simple Spans
	All	DF/ DF	24F-V8	Cantilever Spans

4.

Engineered Wood Products: Micro-Lams (LVL), Timberstrand (LSL), Parallams (PSL) and Versa-Lam shall be documented by ICC reports confirming design properties in the table below:

MEMBER USE	MEMBER TYPE	MEMBER SIZE	Fb (psi)	Fv (psi)	E (psi)
Beams	LVL	All	2,600	285	1,900,000
	LSL	All	2,325	310	1,550,000
	PSL	All	2,900	290	2,000,000
	Versa-Lam	All	3,100	285	2,000,000

5.

Structural Sheathing: Wood APA-rated structural sheathing includes: all veneer plywood, oriented strand board, waferboard, particleboard, T1-11 siding, and composites of veneer and wood based material with T&G joint.

Minimum APA Rating						
LOCATION	THICKNESS (3)	SPAN RATING (1)	PLYWOOD GRADE	EXPOSURE	EDGE NAILING (2)	FIELD NAILING (2)
Roof	15/32" CDX	32/16	C-D	1	10 @ 6"	8d @ 12"
Floor	23/32" T&G	48/24	Sturd-I- Floor	1	10d @ 6"	10d @ 12"
Walls	15/32" CDX	24/16	C-D	1	PER PLAN	PER PLAN

(1)

Unless noted otherwise on drawings, install roof and floor panels with long dimension across supports and with panel continuous over two or more spans. End joints shall occur over supports.

(2)

Provide minimum sheathing edge nailing unless noted otherwise in the plans or structural schedules.

(3)

CDX or OSB may be used interchangeably provided equivalent span ratings are achieved.

6.

Timber Connectors: Timber connectors shall be "Strong Tie" by Simpson Company as specified in their latest catalog. Alternate connectors by other manufacturers may be substituted subject to review by the Engineer prior to installation. Connectors shall be installed per the manufacturer's instructions. Where straps are used as hold-downs, nail straps to wood framing just prior to drywall application, as late as possible in the framing process to allow the wood to shrink and the building to settle. Premature nailing of the strap may lead to strap buckling and potential finish damage. Where connectors are in exposed exterior applications in contact with preservative treated wood (PT) other than CCA, connectors shall be either batch hot-dipped galvanized (HDG), mechanically galvanized (ASTM B695, Class 40 or greater) stainless steel, or provided with 1.85 oz/sf of zinc galvanizing equal to or better than Simpson ZMAX finish.

7.

Fasteners: Fasteners (nails, bolts, screws, etc) attaching sawn timber members or sheathing (shear walls) to PT wood shall be either HDG, mechanically galvanized (ASTM B695, Class 40 or greater) or stainless steel. Provide washers under the heads and nuts of all bolts and lag screws bearing on wood. All nails 12d and smaller shall be full length common unless noted otherwise. 16d nails may be 16d sinkers unless noted otherwise.

8.

Nails: Conform to IBC Sec 2304.9 "Connections and fasteners." Unless noted otherwise all nails shall be common. Nail sizes specified on the drawings are based on the following specifications:

SIZE	LENGTH	DIAMETER
6d	2-1/4"	.113" Ø
8d	2-1/2"	.131" Ø
10d	3"	.148" Ø
16d sinker	3 1/4"	.148" Ø
16d	3 1/2"	.162" Ø

Alternative nails may be used but are subject to review and approval by the Engineer. Substitution of staples for the nailing of rated sheathing is subject to review by the Engineer prior to construction.

9.

Nailing requirements: Provide minimum nailing in accordance with IBC Table 2304.9.1 "Fastening Schedule" except as noted on the drawings. Nailing for roof/floor diaphragms/shear walls shall be per drawings. Nails shall be driven flush and shall not fracture the surface of sheathing.

10.

Unless noted on the plans, construction shall conform to IBC Sec. 2308 "Conventional Light-Frame Construction."

INDEX

SHEET	DESCRIPTION
S1.0	STRUCTURAL GENERAL NOTES
S2.0	FOUNDATION & MAIN FLOOR FRAMING PLAN
S2.1	UPPER FLOOR & ROOF FRAMING PLAN
S4.0	FOUNDATION DETAILS
S5.0 - S5.1	FRAMING DETAILS

RYDER GROUP NW, INC.
STEVE RYDER

DATE: 10/10/19
SCALE: AS SHOWN
ENGINEER: JP
DRAFTER: JA
CHECK: BK
JOB: 2477

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CAMAS, WA 98607

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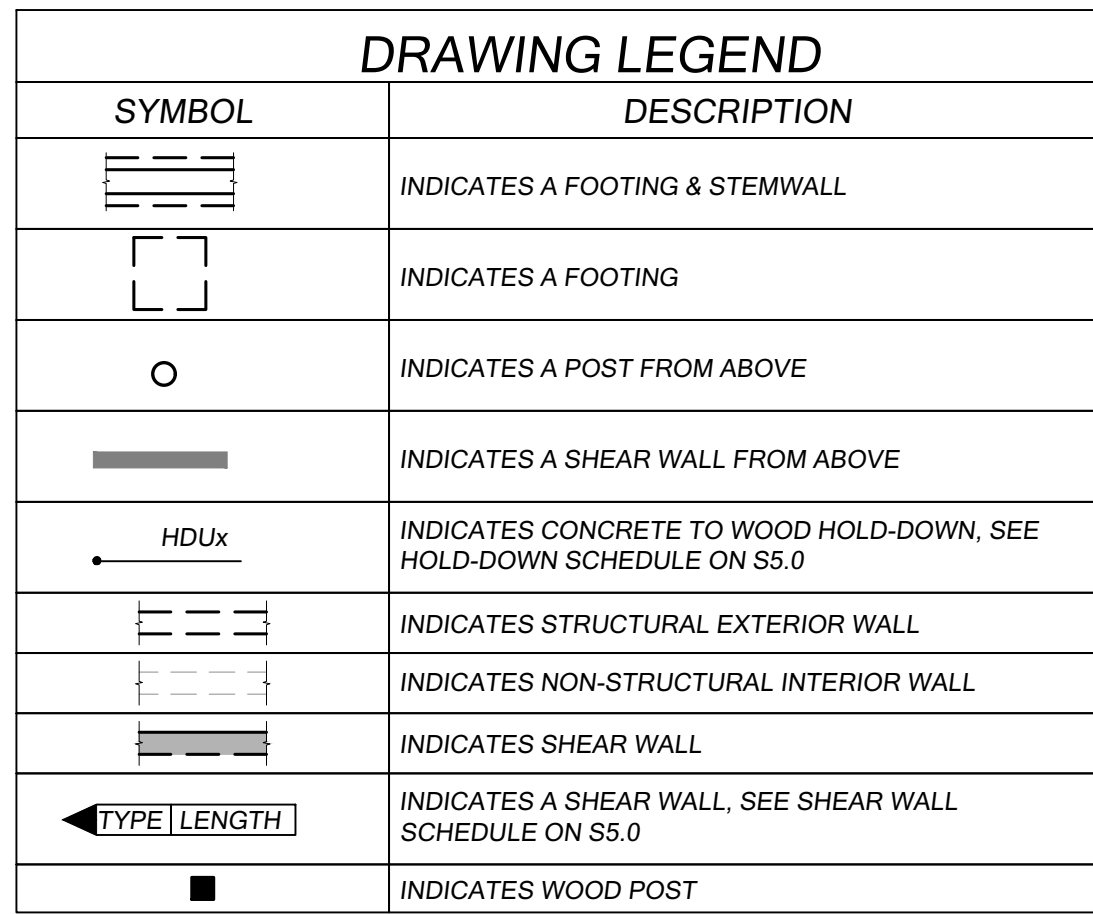
RYDER GROUP NW, INC.
STEVE RYDER

DATE: 10/10/19

SCALE: AS SHOWN

ENGINEER: JP

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FOOTING SCHEDULE					
MARK F#.#	DIMENSIONS			REINFORCEMENT EACH WAY (BOT.)	REINFORCEMENT EACH WAY (TOP)
	"L"	"W"	"H"		
F2.0	2'-0"	2'-0"	1'-0"	(2)-#4	N.A.
F3.0	3'-0"	3'-0"	1'-3"	(3)-#4	N.A.
F3.5	3'-6"	3'-6"	1'-3"	(4)-#4	N.A.



1. FOR STRUCTURAL GENERAL NOTES, DESIGN CRITERIA, AND SCHEDULES REFERENCE S1.0 AND S5.0.
2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECT'S DRAWINGS. ALL EXISTING DIMENSIONS SHALL BE FIELD VERIFIED.
3. FLOOR SHEATHING SHALL BE 23/32" TONGUE AND GROOVE A4-RATED STURD-I-FLOOR. SHEATHING SHALL BE GLUED AND NAILED TO FRAMING WITH 10d NAILS @ 6" OC AT PANEL EDGES AND @ 12" OC FIELD, UNO. LAY SHEATHING WITH FACE GRAIN (LONG DIRECTION) PERPENDICULAR TO SUPPORTS AND STAGGER PANEL END JOINTS. ALLOW 1/8" SPACE BETWEEN PANEL ENDS AND EDGES.
4. ALL EXTERIOR WALLS (BEARING AND NON-BEARING) SHALL BE 2x6 @ 16" OC UNO.
5. ALL INTERIOR WALLS (BEARING OR NON-BEARING) SHALL BE 2x4 @ 16" OC UNO.
6. ALL EXTERIOR WALLS SHALL BE SHEAR WALL TYPE 1W UNO.

7. ALL 2x, DOUBLE 2x AND 4x HANGERS SHALL BE FACE MOUNT TYPE LUS, UNO. GLULAM, PARALLAM AND MICROLAM HANGERS ARE AS SPECIFIED ON PLAN.
8. HEADERS SHOWN BUT NOT SPECIFIED SHALL BE A MINIMUM OF 4x10. HEADERS SHOWN ON FRAMING PLAN SHALL BE SUPPORTED BY (1) TRIMMER AND (1) KING STUD MINIMUM. UNO TRIMMERS SHALL BE CONTINUOUS LOAD PATH TO THE FOUNDATION.
9. BEAMS ARE FLUSH FRAMED WITH JOISTS UNLESS NOTED OTHERWISE ON DETAILS.
10. BEAMS SHOWN ON FRAMING PLAN SHALL BE SUPPORTED BY BUNDLED STUDS EQUAL TO THE BEAM WIDTH. UNO. CONTINUOUS LOAD PATH TO THE FOUNDATION.
11. ALL RIM JOISTS SHALL BE 2x8 UNO.
12. PROVIDE DOUBLE JOISTS AROUND ALL FLOOR AND ROOF OPENINGS OF 16" TO 32" ON ONE SIDE.

FOUNDATION PLAN NOTES:

1. FOR STRUCTURAL GENERAL NOTES, DESIGN CRITERIA AND SCHEDULES REFERENCE S1.0 AND S5.0.
2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS.
3. CONTRACTOR SHALL LOCATE AND VERIFY THE FOLLOWING WITH OTHERS PRIOR TO POURING CONCRETE; ALL BLOCKOUTS FOR DUCTS, PIPES AND VENTS.
4. TYPICAL BOTTOM OF EXTERIOR FOOTINGS SHALL BE 1'-6" MINIMUM BELOW EXISTING GRADE UNO.
5. ALL FOOTINGS AND SLABS SHALL BEAR ON COMPETENT NATIVE SOIL AND/OR STRUCTURAL FILL WITH A MINIMUM SOIL PRESSURE OF 1500 psf.
6. TYPICAL SLAB ON GRADE:
 - 6" COMPACTED CRUSHED ROCK BASE
 - MOISTURE BARRIER
 - 4" CONCRETE SLAB W/ #3 @ 18" OC EACH WAY OR 6x6 W2.9-W2.9 WWF CHAIRD FOR 1'-12" COVER FROM TOP OF SLAB

- * CONTROL JOINTS AT OWNER'S OPTION
8. CONTRACTOR TO VERIFY TOP OF CONCRETE (7/CONC) WALL ELEVATIONS PRIOR TO POURING CONCRETE.
9. ALL WOOD EXPOSED TO CONCRETE, WEATHER, OR WITHIN 8" FINISHED GRADE SHALL BE PRESSURE-TREATED.
10. ANCHOR BOLTS FOR FOUNDATION SILL PLATES TO BE 5/8" DIA. WITH A MINIMUM EMBEDMENT OF 48" OC UNDO ON STEAR WALL SCHEDULE 40. PROVIDE FOUR (4) GALVANIZED ANCHOR BOLT AT PRESSURE-TREATED SILL PLATES. 3" x 3" x 1/4" HOT DIP GALVANIZED PLATE WASHERS SHALL BE PLACED BETWEEN THE SILL PLATE AND NUT. REFERENCE 4/54.0 FOR TYPICAL SILL PLATE ANCHORAGE.
11. MOISTURE PROOF ALL CONCRETE STEM AND BASEMENT WALLS WHERE REQUIRED PER ARCHITECT/DESIGNER.
12. REFERENCE TYPICAL DETAILS AS FOLLOWS:

2/S4.0	TYPICAL CORNER REINFORCEMENT AT CONCRETE FOOTINGS
3/S4.0	TYPICAL CORNER REINFORCEMENT AT CONCRETE WALLS
4/S4.0	TYPICAL SILL PLATE ANCHORAGE DETAIL


BEAM SCHEDULE				
BEAM MARK	BEAM TYPE	LEFT SUPPORT (LS)	RIGHT SUPPORT (RS)	NOTES
MAIN FLOOR ROOF BEAMS				
M1	5 1/2" x 10 1/2" GLB	PT 6x6	PT 6x6	
M2	(2)- 2x8	LUMBER POST	LUMBER POST	
M3	6 3/4" x 12" GLB	6X6 POST	MGU7,00-SDS	SEE DETAIL 9/S5.1
M4	3 1/2" x 11 1/4" LVL	6X6 POST	6X6 POST	
M5	3 1/2" x 9 1/4" LVL	LUMBER POST	LUMBER POST	
DB	PT 6x12	PT 6 x 6 POST	PT 6 x 6 POST	HUC610z HANGER AS NEEDED

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

MAIN FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"




MD Structural Engineering

PHONE: 360-433-9093
EMAIL: MIKE@MDSTRUCTURAL.COM

113 W 7th ST SUITE 205
VANCOUVER, WA. 98660

DATE:	10/10/19
SCALE:	AS SHOWN
ENGINEER:	JP
DRAFTER:	SCS
CHECK:	BK
JOB:	2477

REVISIONS						

RYDER GROUP NW, INC.
STEVE RYDER

CLIENT

VOLKE REMODEL ADDITION
325 NW 14TH AVE
CAMAS, WA 98607

PROJECT

SHEET TITLE:
**FOUNDATION
&
MAIN FLOOR
FRAMING PLAN**

S2.0

1 RET. WALL @ (E) CRAWLSPACE FNDN.
SCALE: NONE

5 NEW FOOTING IN EXISTING SLAB ON GRADE

8 RETROFIT SHEAR WALL ANCHORAGE

NOTES:

1. FOR SPLICE LENGTHS REFERENCE LAP SPLICE AND DEVELOPMENT LENGTH SCHEDULE.
2. FOR WALL REINFORCING REFERENCE PLAN OR ELEVATIONS, SECTIONS AND DETAILS.
3. AT FOOTING AND STEM WALLS, CORNER REINFORCING TO MATCH FOOTING AND STEM WALL HORIZONTAL REINFORCING.

2 TYP CORNER REINF AT CONCRETE FOOTINGS
SCALE: NONE

6 EXTERIOR SPREAD FOOTING

NOTES:

1. SPECIAL INSPECTION REQUIRED.
2. INSTALLATION INTO CONCRETE OR SOLID GROUTED CONCRETE MASONRY ONLY

9 TYPICAL HOLE PREPARATION FOR EPOXIED ANCHORAGE
SCALE: NONE

NOTES:

1. FOR SPLICE LENGTHS REFERENCE LAP SPLICE AND DEVELOPMENT LENGTH SCHEDULE.
2. FOR WALL REINFORCING REFERENCE PLAN OR ELEVATIONS, SECTIONS AND DETAILS.
3. AT FOOTING AND STEM WALLS, CORNER REINFORCING TO MATCH FOOTING AND STEM WALL HORIZONTAL REINFORCING.

3 TYP CORNER REINFORCING @ CONCRETE WALLS

7 CONNECTION TO EXISTING FOUNDATION

4 TYPICAL SILL PLATE ANCHORAGE DETAIL
SCALE: NONE

NOTE									
(1) PLACE SLAB BEFORE BACKFILLING, SLAB RESTRAINS WALL FROM SLIDING									
(2) PLACE BACKFILL BEFORE FRAMING WALL ABOVE.									
						DOWELS			
'H'	'B'	'T'	'W'	't'		'a'	'b'	'c'	'd'
8'-0"	4'-9"	2'-9"	8"	12"		3'-6"	3'-1"	9"	#4
10'-0"	6'-3"	4'-3"	8"	12"		5'-6"	4'-7"	6"	#5

10 RETAINING WALL w/ 50 psf SURCHARGE
SCALE: NONE



NON-BEARING WALL STUDS		
STUD SIZE	MAX DIAMETER OF BORED HOLE	MIN DEPTH REMAINING AFTER BORED HOLE
2x4	2 1/4"	5/8" EA SIDE OF HOLE
2x6	3 5/8"	5/8" EA SIDE OF HOLE

BORED HOLES IN WOOD STUDS

NOTE:
BORED HOLE NOT PERMITTED IN MORE THAN THREE
ADJACENT STUDS W/O REVIEW BY ENGINEER.





313 NW 14th Ave
House is 10'-3" FRONT SETBACK



303 NW 14TH

7'-9" FRONT SETBACK



331 NW 14TH AVE

337 NW 14TH AVE

0'-0" FRONT SETBACK



1346 BENTON

7'-4" FRONT SETBACK



229 NW 14th Ave
11'-1" FROM SET BACK
(STAIRS ARE AT 1'-7" SETBACK)



213 NW 14TH AVE
14'-6" FRONT SETBACK



414 NW 16TH AVE



334 NW 16TH AVE



Notice of Proposed Development

Project: 10000 1st Ave S, Seattle, WA 98148

The applicant is in the early stages of the development process and is seeking public input on the proposed development. The applicant is seeking input on the proposed development.

Project Address: 10000 1st Ave S, Seattle, WA 98148



Project Name: 10000 1st Ave S, Seattle, WA 98148

ALDRIDGE MICAH & ALDRIDGE
1427 NW BENTON ST
CAMAS WA, 98607

ELLIOTT CHERIE LYNN
5555 CHILDS RD
LAKE OSWEGO OR, 97035

HUTCHISON RYAN J & VOLLNOGLE
405 NW 15TH AVE
CAMAS WA, 98607

ANDERSON TERI L
1436 NW BENTON ST
CAMAS WA, 98607

FRYMAN DOROTHY L
1417 NW ASH ST
CAMAS WA, 98607

IRISH ERNIE B & IRISH JILL R
PO BOX 966
CAMAS WA, 98607

BERRY BRYAN C
6504 NE 17TH AVE
VANCOUVER WA, 98665

GAASCH TODD M & GAASCH RENEE L
310 NW ILWACO CT
CAMAS WA, 98607

KOITZSCH SHARON M
1331 NW ASH
CAMAS WA, 98607

BISHOP TANGEE J
12907 SE FOREST ST
VANCOUVER WA, 98683

GEORGE BRYANA K & GEORGE
204 NW 14TH AVE
CAMAS WA, 98607

KRAMER PHYLLIS B
441 NW 15TH AVE
CAMAS WA, 98607

BOUGHEN JAMES
333 NW 15TH AVE
CAMAS WA, 98607

GIBSON JAMES & GIBSON DIANA ETAL
4720 SW 5TH AVE
CAMAS WA, 98607

KUNTZ SAMUEL J
1328 NW DRAKE WAY
CAMAS WA, 98607

BROWN EUGENE & BROWN JEANETTE
1429 NW BENTON ST
CAMAS WA, 98607

GREEN DONNA TRUSTEE
1306 NW COUCH ST
CAMAS WA, 98607

LANCIAULT ERIC & LANCIAULT TRACY
303 NW 14TH AVE
CAMAS WA, 98607

CAMAS 14 LLC
PO BOX 71
CHETEK WI, 54728

GREY NOEL NATHAN & GREY ANNE
3393 SE TIBBETTS ST
PORTLAND OR, 97202

LANGER STEVEN M & LANGER
6211 NE LIVINGSTON RD
CAMAS WA, 98607

CHALLED EDWARD A & CHALLED GINA
1433 NW ASH ST
CAMAS WA, 98607

HESFORD ARTHUR J
760 NE STOKES TER
JENSEN BEACH FL, 34957

LARSEN THOR & LARSEN LILLA
811 39TH ST
WASHOUGAL WA, 98671

DAVIS DERRICK E
1304 NW DRAKE WAY
CAMAS WA, 98607

HIEN DUY VU & MY ANH PHAM
2550 NW LACAMAS DR
CAMAS WA, 98607

LEE RICKEY A & LEE WENDY (C/B)
PO BOX 1192
WASHOUGAL WA, 98671

DUGGER ELIZABETH
11944 SE BROOKSIDE DR
PORTLAND OR, 97266

HILL DAVID M
331 NW 14TH AVE
CAMAS WA, 98607

LYNCH DONNA RAE & LYNCH DENNIS J
PO BOX 414
CAMAS WA, 98607

MATHIESEN SHAWN L & MATHIESEN
414 NW 16TH AVE
CAMAS WA, 98607

PROI IMMO LLC
19215 SE 34TH ST #106-108
CAMAS WA, 98607

VOLKE DAVID ROBERT LLOYD &
325 NW 14TH AVE
CAMAS WA, 98607

MCCUSKER TIMOTHY & MCCUSKER
1413 NW COUCH ST
CAMAS WA, 98607

REID TIMOTHY C & REID CARISSA J
1325 NW COUCH ST
CAMAS WA, 98607

WAGEMAN JANE A
1321 NW COUCH ST
CAMAS WA, 98607

MCHUGH JOHN & MCHUGH CHARLENE
PO BOX 427
CAMAS WA, 98607

SANFORD OWEN JOHN
3511 NE HAYES ST
CAMAS WA, 98607

WAITE GREGORY JOHN & WAITE
1429 NW ASH ST
CAMAS WA, 98607

MCIVER JENNIFER
1316 NW DRAKE WAY
CAMAS WA, 98607

SEASHOLTZ CONDER T & SEASHOLTZ
1313 NW COUCH ST
CAMAS WA, 98607

WAKIMOTO ROBERT & WAKIMOTO
1424 NW BENTON ST
CAMAS WA, 98607

MERIDIAN MANAGEMENT LLC
24616 NE 123RD CT
BRUSH PRAIRIE WA, 98606

SHELDON DAVID
1533 NW BENTON ST
CAMAS WA, 98607

WRIGHT BERNICE Y
1306 NW BENTON ST
CAMAS WA, 98607

MILLER JODY
1301 NW COUCH ST
CAMAS WA, 98607

SMITH BRAXTON H & SMITH LINDA
1351 NW BENTON ST
CAMAS WA, 98607

WURZER NORMAN W & WURZER LORI
1430 NW DRAKE ST
CAMAS WA, 98607

MILLS SHERRY D
328 NW 16TH AVE
CAMAS WA, 98607

SMITH RUSSELL & SMITH SHARYN
229 NW 14TH
CAMAS WA, 98607

PARSILLE ROBERT J & PARSILLE
1346 NW COUCH ST
CAMAS WA, 98607

TRUJILLO ANIANO & TRUJILLO MANDY
430 NW 15TH AVE
CAMAS WA, 98607

PATTERSON BRUCE & PATTERSON
1329 NW BENTON
CAMAS WA, 98607

VALENCIA GERARDO & VALENCIA ANA
1303 NW BENTON ST
CAMAS WA, 98607

PAULSON DERICK
215 NW 15TH AVE
CAMAS WA, 98607

VANDEBURGH JANNETJE
1504 NW BENTON
CAMAS WA, 98607



COMMUNITY DEVELOPMENT DEPARTMENT

616 NE 4th Avenue
Camas, WA 98607
www.ci.camas.wa.us

March 16, 2020

Ryder Group NW
360.771.7851
Sent via email stever@rydergroupnw.com

RE: Volke Deck (MajVar20-01)

Dear Steve Ryder,

Thank you for your application submittal for a covered deck. There are items that remain to be addressed with your application. The purpose of this letter is to inform you that the above application submitted on February 28, 2020 has been deemed incomplete in accordance with Camas Municipal Code (CMC) Section 18.55.130. You have 180 days from the date of application to submit the missing information pursuant to CMC 18.55.130.C. If the below requested information is submitted, staff will again verify whether the application is complete.

Items necessary for completeness:

1. A site plan to scale with the deck location and dimensions.
2. Mailing labels of property owners within 300 feet of the subject property per CMC 18.55.110(C).
3. A development sign is required per CMC 18.55.110(H) along with photo proof it has been placed and constructed.
4. An electronic submittal of all application items.

Once the application is deemed complete, the City will begin its review of the project application and provide subsequent comments. If you have any questions, please contact me at (360) 817-7237.

Respectfully,

A handwritten signature in black ink, appearing to read "Madeline Sutherland", written over a horizontal line.

Madeline Sutherland,
Assistant Planner



COMMUNITY DEVELOPMENT DEPARTMENT

616 NE 4th Avenue
Camas, WA 98607
www.ci.camass.wa.us

May 12, 2020

Ryder Group NW
360.771.7851
Sent via email steve@rydergroupnw.com

RE: Volke Deck (MajVar20-01)

Dear Steve Ryder,

The purpose of this letter is to inform you that the above application submitted on February 28, 2020 and resubmitted April 29th has been deemed complete in accordance with Camas Municipal Code (CMC) Section 18.55.130. Staff will begin reviewing the application and contact you should we have questions/comments.

If you have any questions, please email me.

Respectfully,

A handwritten signature in black ink, appearing to read "Madeline Sutherland", written over a horizontal line.

Madeline Sutherland,
Assistant Planner

Notice of Public Hearing

Volke Deck Major Variance (File No. MajVar20-01)

A public hearing will be held on Thursday, October 15, 2020 at 5:00 p.m., or soon thereafter, before the City's Hearings Examiner to consider a major variance to reduce a front yard setback. The public hearing will be held via Zoom. The applicant proposes to reduce the front yard setback to construct an attached deck. The .11-acre site is located at 325 NW 14th Ave in the NW ¼ of Section 11, Township 1 North, Range 3 East; Camas, WA. Parcel Number includes 81290-000. The application was considered to be technically complete on May 12, 2020.

Questions/Comments: The public hearing will follow the quasi-judicial process described within Camas Municipal Code §18.55.180. Comments related to this development may be submitted as follows: **(1)** By testifying at the virtual public hearing; **(2)** by regular mail to Community Development Department staff, Madeline Sutherland, Assistant Planner, at Camas City Hall, 616 Northeast Fourth Avenue, Camas, WA 98607; **(3)** by phone at **(360) 817-1568**; or **(4)** by email to: communitydevelopment@cityofcamas.us. It is preferable that written comments be received at least five working days prior to the public hearing, in order to be available with the online agenda and materials (October 7, 2020). After the agenda has been posted online, all other written comments must be received no later than noon (12:00 p.m.) the day of the hearing, in order for those comments to be provided to the Hearings Examiner by Staff. Written and oral comments may also be submitted during the hearing.

Application Materials: The application included the following: project narrative, elevations, site plan, and survey, as required for a complete application pursuant to Camas Municipal Code (CMC) §18.55.110. The application materials may also be available for viewing at the Community Development Department (616 NE 4th Avenue, Camas, WA) during regular business hours Monday – Friday 8 a.m.-5 p.m.

Participate: All citizens are entitled to have equal access to the services, benefits and programs of the City of Camas. Please contact the **City Clerk at (360) 817-1591** for special accommodations if needed. The City will provide translators for non-English speaking persons who request assistance at least three working days prior to a public meeting or hearing.

More Information: The public hearing agenda and supporting documents will be available for review on the City's website at the "Minutes, Agendas & Videos" link within the drop-down menu that is labeled "Your Government" or follow this link:
<http://www.cityofcamas.us/yourgovernment/minuteagendavideo>.





Community Development Department

Notice of Application

Volke Deck Major Variance

File No. MajVar20-01

“NOTICE IS HEREBY GIVEN” that an application for “Volke Deck” a covered deck encroaching the front yard setback was received on February 28, 2020 and deemed complete May 12, 2020. A public hearing is required for the Major Variance, and will be scheduled at a later time. A separate public notice for the public hearing will be mailed to all property owners within 300-feet of the subject development and published in the Post Record.

LOCATION: The .11 acre site is zoned single-family residential (R-7.5) and located in the NW ¼ quarter of Section 11, Township 1 North, Range 3 East of the Willamette Meridian; Camas, WA. Parcel Number 81290000.

APPLICATION MATERIALS: The application included the following: project narrative; structural drawings; floor plan; elevations and other required submittal documents. These documents are available for viewing at the Community Development Department (616 NE 4th Avenue, Camas, WA) during regular business hours Monday – Friday 8am-5pm.

Questions/Comments: For questions related to this application, please contact Madeline Sutherland, Assistant Planner, at (360) 817-1568 or by email at communitydevelopment@cityofcamas.us.

Excerpt from Major Variance Application
Volke Deck (File #MajVar20-01)

