



Design Review Committee Meeting Agenda Wednesday, March 22, 2023, 4:00 PM REMOTE MEETING PARTICIPATION

NOTE: The City welcomes public meeting citizen participation. TTY Relay Service: 711. In compliance with the ADA, if you need special assistance to participate in a meeting, contact the City Clerk's office at (360) 834-6864, 72 hours prior to the meeting so reasonable accommodations can be made (28 CFR 35.102-35.104 ADA Title 1)

To Participate Remotely:

OPTION 1 -

1. Go to www.zoom.us and download the app or click "Join A Meeting" and use Meeting ID – 851 6041 0902
2. Or, from any device click <https://us06web.zoom.us/j/85160410902>

OPTION 2 - Join by phone (audio only):

1. Dial 877-853-5257 and enter meeting ID# 851 6041 0902

CALL TO ORDER

ROLL CALL

INTRODUCTIONS

MEETING ITEMS

1. Fresenius Kidney Care Camas (SPRV22-08)
Presenter: Yvette Sennewald, Senior Planner

CLOSE OF MEETING



STAFF REPORT

Fresenius Kidney Care Camas
 Major Design Review (DR22-09)
 Related File: SPRV22-08

TO Design Review Committee

FROM Yvette Sennewald, Senior Planner

LOCATION 3409 Camas Meadows Drive
 Parcel Number: 986043917

APPLICANT Adrian Rodrigues
 Camas Renal Construction, LLC
 (214) 535-2930
arodriguez@healthdev.com

APPLICABLE LAW: This land use application submitted October 14, 2022, and the applicable codes are the codes that were in effect at the date of application. Camas Municipal Code (CMC) chapters include Title 17 Land Development and Title 18, specifically (but not limited to): Chapter 18.11 - Parking, Chapter 18.13 - Landscaping, Chapter 18.18 - Site Plan Review, Chapter 18.19 Design Review, and Chapter 18.55 Administrative Procedures.

Summary

The applicant is currently seeking design review approval for the construction of a 10,500 square-foot, one-story medical office building on an approximately 1.38-acre vacant parcel situated in the BP – Business Park Zone. Surface parking is provided around the building and is accessed from NW Camas Meadows Drive. Landscaping is focused on the perimeter of the site and throughout the parking area.

The project site is part of the approved Parklands at Camas Meadows Mixed Use Master Plan development agreement, which is comprised of both residential and commercial/business uses. The project site is situated on the east side of NW Camas Meadows Drive, northerly of 61st Circle and is surrounded by an office building to the north, and residential development to the west, south, and east. The subject property is relatively flat and slopes downwards at its property lines to the residential lots. Vegetation consists of shrubs along the rear property line. There are no trees on site.

The proposed medical office building is subject to Site Plan Review, which is being processed concurrently under Planning File SPRV22-08.

Purpose

Design Review is required under CMC Chapter 18.19. Design review is not intended to determine the

appropriate use on a parcel but rather review a proposed development for compliance with City codes and plans related to landscaping, architectural elevations, and other elements relative to required improvements. The recommendations from the Design Review Committee (DRC) must consider the design review standards from the Design Review Manual and the Camas Municipal Code (CMC). The enclosed checklist is to help guide your review but refer to the manual for specific details regarding the standards.

Standard and Specific Commercial Design Principles and Guidelines

The standard and specific commercial & multi-family principles and guidelines are required and must be demonstrated to have been satisfied in the overall intent for design review approval. The design guidelines are developed to assist a project in meeting the established principles and each guideline should be adequately addressed. If the proposal cannot meet a specific guideline, then an explanation should be provided by the applicant as to why and how it will be mitigated to satisfy the intent of the design principles. The development guidelines include five major categories: 1) Landscaping and Screening, 2) Architecture, 3) Massing and Setbacks, 4) Historic & Heritage Preservation, and 5) Circulation and Connections.

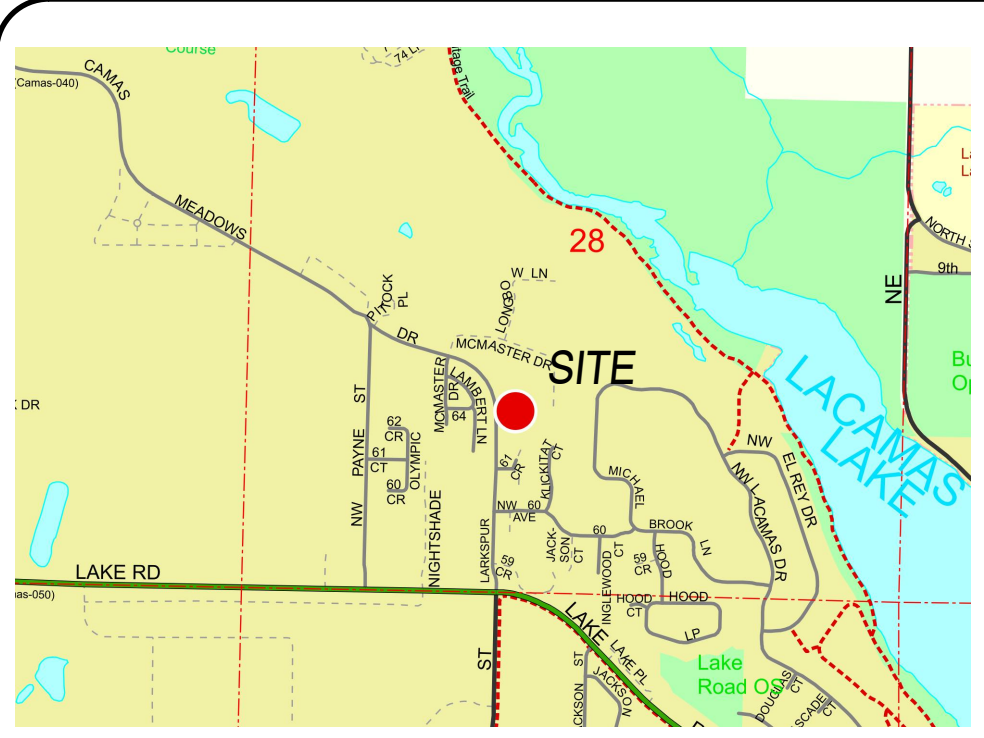
The Design Review Checklist is enclosed to help guide the DRC in reviewing the standard applicable specific design review principles and guidelines.

CMC Chapter 18.37 Business Park standards

The Design Review Committee recommendations shall also be based on the architectural design standards of CMC Chapter 18.37 Business Park standards.

Recommendation

That the Design Review Committee reviews the submitted materials, deliberates, and forwards a recommendation to staff for a final decision.



VICINITY MAP SEC. 28 T2N R3E W.M. NTS

SITE PLAN NOTES

EXISTING SITE DATA:
 PRESENT USE: VACANT AND UNUSED
 EXISTING ZONING: BUSINESS PARK (BP)
 GROSS SITE AREA: PARCEL 986043-917 IS 1.38 ACRES (60,150 SF) ACCORDING TO CLARK COUNTY GIS. 1.37 ACRES (59,600 SF) ACCORDING TO SURVEY BY AMERICAN SURVEYING AND MAPPING, INC.

TRANSIT ROUTES & STOPS: NONE IN THE VICINITY

SURROUNDING USES WITHIN 100' OF THE SITE:
 NORTH: OFFICE USE ON BP ZONED PROPERTY.
 SOUTH: SINGLE-FAMILY RESIDENTIAL USES ON R-7.5 ZONED PROPERTY.
 EAST: SINGLE-FAMILY RESIDENTIAL USES ON BP ZONED PROPERTY.
 WEST: (ACROSS CAMAS MEADOWS DRIVE) SINGLE-FAMILY ATTACHED RESIDENTIAL USES ON R-18 ZONED PROPERTY.

PROPOSED SITE DATA:
 PROPOSED USE: 10,500 SF MEDICAL OFFICE BUILDING

PROPOSED USE: WETLAND, STREAM, STEEP BANK BUFFER AREAS/PROTECTED AREAS, AND PLANNED ENHANCEMENT AREAS: NONE PROPOSED
 PROPOSED PRIVATE ROADS: NONE PROPOSED
 PROPOSED EASEMENTS: TO BE SHOWN ON FUTURE PLANS
 PROPOSED ON-SITE ROAD RIGHTS-OF-WAY: NONE PROPOSED
 PROPOSED PEDESTRIAN AND BICYCLE FACILITIES: AS SHOWN
 PROPOSED EASEMENTS FOR ACCESS, DRAINAGE, UTILITIES, ETC.: TO BE SHOWN ON FUTURE PLANS
 PROPOSED VEHICLE PARKING: AS SHOWN
 PROPOSED BICYCLE PARKING: NONE PROPOSED
 PROPOSED SEPTIC SYSTEMS: AS SHOWN
 PROPOSED OPEN SPACE/PARK/RECREATIONAL FEATURES: STEP SYSTEM PROPOSED
 PROPOSED TRANSIT FACILITIES: NONE PROPOSED
 ROAD SEGMENTS IN EXCESS OF 15% ON-SITE OR WITHIN 500' OF THE SITE: NONE KNOWN
 PROPOSED SIGNS: NONE PROPOSED AT THIS TIME
 PROPOSED LIGHTING: AS SHOWN ON LIGHTING PLAN
 PROPOSED LOTS, TRACTS, ETC.: NONE PROPOSED
 EXISTING BUILDINGS TO REMAIN: NONE
 PROPOSED LANDSCAPING (LANDSCAPE PLAN): AS SHOWN ON THE LANDSCAPE PLAN
 PROPOSED BUILDINGS: AS SHOWN
 ABOVE-GROUND UTILITIES: REFER TO CIVIL ENGINEERING PLANS
 PROPOSED FENCES: NONE PROPOSED

ALL PROPOSED ADA ACCESSIBLE PARKING AND AISLES SHALL HAVE A MAXIMUM SLOPE OF 1:48.
 ALL ACCESSIBLE ROUTES OF TRAVEL MEET ACCESSIBILITY STANDARDS.

IF ANY CULTURAL OR HISTORICAL RESOURCES ARE DISCOVERED IN THE COURSE OF UNDERTAKING THE DEVELOPMENT ACTIVITY, THE DEPARTMENT OF ARCHAEOLOGY AND HISTORIC PRESERVATION (DAHP) IN OLYMPIA AND CITY OF CAMAS DEVELOPMENT REVIEW SERVICES MUST BE NOTIFIED.
 FAILURE TO COMPLY WITH THESE STATE REQUIREMENTS MAY CONSTITUTE A CLASS C FELONY SUBJECT TO IMPRISONMENT AND/OR FINES.

SITE PLAN CALCULATIONS
 TOTAL SITE AREA: 59,600 SF
 BUILDING AREA: 10,500 SF (17.6%)
 LANDSCAPE AREA: 17,064 SF (28.6%)
 PAVED AREA (INCL. TRASH ENCL.): 32,036 SF (53.8%)

PARKING CALCULATIONS
PARKING REQUIRED
 10,500 SF MEDICAL OFFICE USE
 1 STALL PER EMPLOYEE + 1 PER 300 SF GFA
 13 EMPLOYEES + (10,500 SF / 300 SF) = 48 STALLS

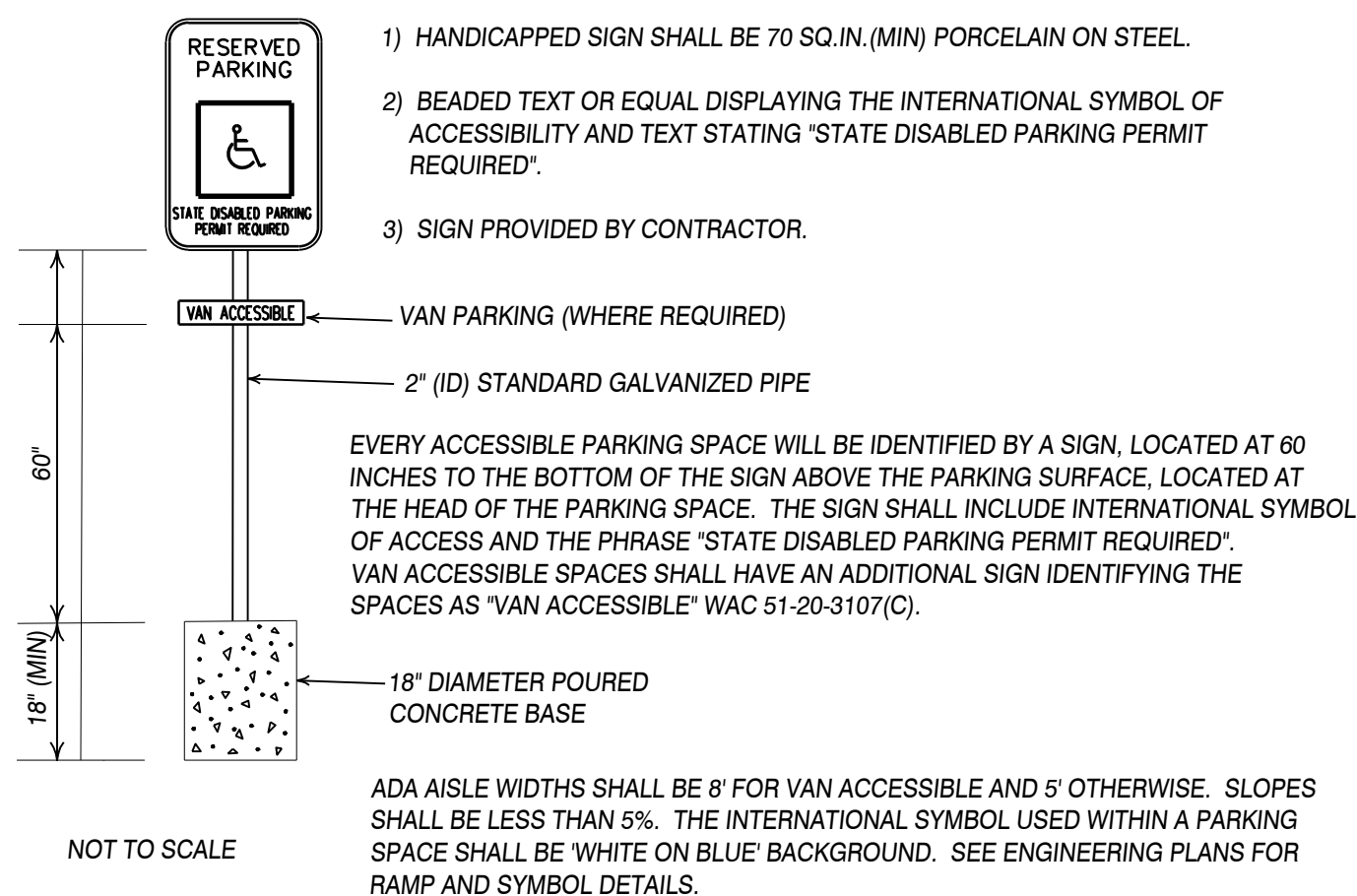
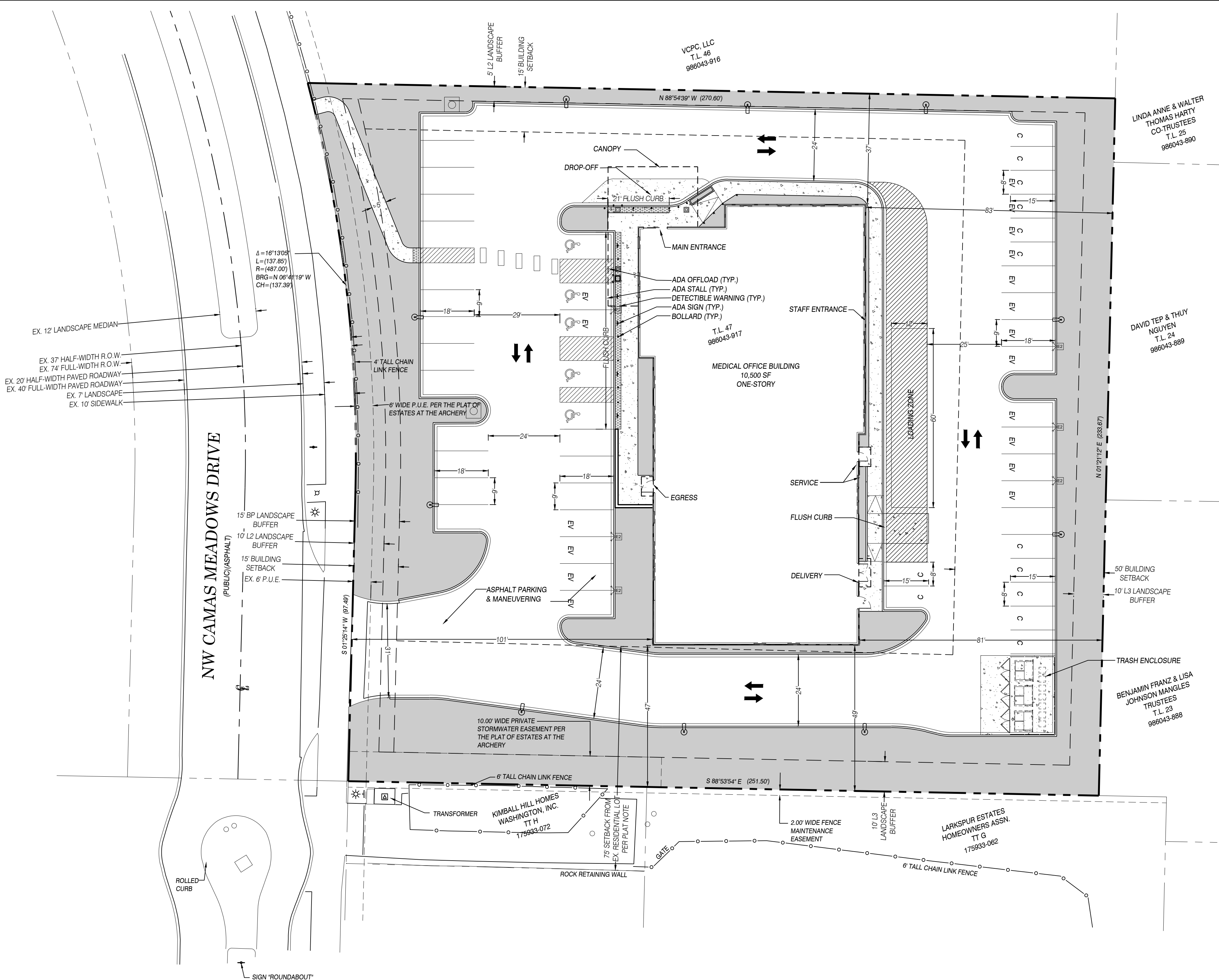
PARKING PROVIDED
 48 STALLS, WHICH INCLUDES THE FOLLOWING:
 35 STANDARD STALLS, WHICH INCLUDES 5 ADA STALL
 13 COMPACT STALLS

PARKING NOTES
 ALL PARKING STALLS HAVE A 2-FOOT CONCRETE/LANDSCAPE OVERHANG, UNLESS SHOWN OTHERWISE.
 LANDSCAPE AND SIDEWALK WIDTHS HAVE BEEN INCREASED BY AT LEAST 2 FEET TO COMPENSATE.

LEGEND

---	LANDSCAPE BUFFER LINE
- - -	EXISTING EASEMENT
=====	PARKING LOT CURB AND GUTTER
-----	PARKING LOT STRIPING
---	PROPERTY LINE
---	SETBACK LINE
---	ROAD CENTERLINE
---	SIDEWALK/CONC. PAD/TRAIL
---	ADJACENT TAXLOT
⊙	ADA STALL
⊕	ADA SIGN
C	COMPACT PARKING STALL
EV	ELECTRIC VEHICLE CHARGING STALL
⊕	LIGHT
■	LANDSCAPE AREA
▨	CONCRETE

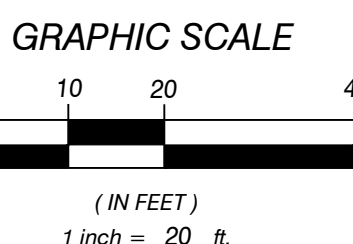
SITE PLAN BASE LAYOUT PROVIDED BY LSW ARCHITECTS, P.C.



APPLICANT:
 CAMAS RENAL CONSTRUCTION, LLC
 12655 N. CENTRAL EXPRESSWAY, SUITE 200
 DALLAS, TX 75248
 (214) 535-2930
 FAX UNAVAILABLE
 arodriguez@healthdev.com

OWNER:
 VESTCAPITAL FUND II, LLC
 315 GRAND BLVD, SUITE 200
 VANCOUVER, WA 98661

CONTACT:
 OLSON ENGINEERING, INC.
 ATTN: MIKE ODREN
 222 E. EVERGREEN BLVD.
 VANCOUVER, WA 98660
 (360) 695-1385
 FAX (360) 695-8117
 mikeo@olsonengr.com

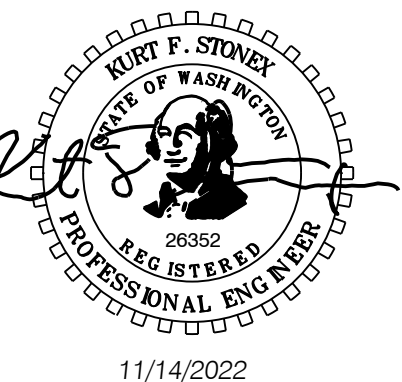


PLOT: consultant3.ctb
 FILE: J:\data\A10300\A10300\A10320\A10326\Planning\A10326.p.sitemap.prelim.dwg

PRELIMINARY SITE PLAN FOR:

FRESENIUS KIDNEY CARE CAMAS

OLSON LAND SURVEYORS ENGINEERS
 ENGINEERING INC., 222 E. EVERGREEN BLVD., VANCOUVER, WA 98660



11/14/2022

CHANGES / REVISIONS

DESCRIPTION:	DATE:

DESIGNED: CKA

DRAWN: CKA/MRO

CHECKED: KFS

DATE: OCTOBER 2022

SCALE: H: 1" = 20'

V:

COPYRIGHT 2022, OLSON ENGINEERING, INC.

FRESENIUS KIDNEY CARE

JOB NO. A10326.01.01

SHEET

SP1.0

Narrative

Existing Conditions

The site is located at 3409 NW Camas Meadows Drive, Camas, Washington, in the BP (Business Park) zoning district. The property is further identified as Tax Lot 47, tax assessor's serial number 986043917, located in the Southwest $\frac{1}{4}$ of Section 28, Township 2 North, Range 3 East of the Willamette Meridian, Clark County. The site is 1.38 acres (60,150 square feet) according to Clark County GIS, 1.37 acres (59,600 square feet) according to a survey by Olson Engineering, Inc.

The subject parcel is currently vacant and unused. Vegetation consists of a row of dead arborvitae and grass. According to Clark County GIS, there are no environmental constraints associated with the subject parcel.

Permit Approvals Requested and Project Description

With this application, the Applicant seeks Site Plan and Design Review approval to develop the following:

- An approximately 10,500 square foot, one-story medical office building with associated parking, vehicular maneuvering area and utilities.

Project Compliance

This development requires compliance with the following Camas Municipal Code ("CMC") Code of Ordinances ("Ordinances"):

Public Services – Title 13

Water

This project will require connections to the existing potable water system owned by the City of Camas. The proposal to extend the water system to the site is consistent with the adopted Water Systems Plan. The water system is designed to provide adequate flow to the site (including fire). Compliance with CMC Title 13 has been demonstrated in the preliminary utility plan provided for in the application that identifies how water service will be provided to the site. The City has sufficient water capacity to serve this project.

The development proposes to tap a new water service with a water meter to service the proposed building from the existing water line that serves the existing hydrant just north of the existing driveway on NW Camas Meadows Drive. The existing hydrant will be relocated just north of its existing location. As there is an existing hydrant adjacent to the site, no additional hydrants are proposed.

Sanitary Sewer

Sanitary sewer will be extended to serve the site. A septic tank will be installed to capture sewer solids and a connection will be made to the existing sewer system located within NW Camas Meadows Drive. Effluent received from the septic tank will be collected and sent to the public sewer system via an onsite STEP sewer facility.

Refuse Collection and Disposal

Commercial garbage and recycling will be collected on a weekly basis. One trash enclosure is proposed.

Storm Water Drainage

The proposed development intends to collect and treat runoff for stormwater generated from the property. Runoff collected from pollution-generating impervious surfaces will receive enhanced treatment and phosphorous removal via BioPod systems prior to being released into an existing stormwater system. Existing on-site soils are poor and are not conducive to infiltration. Stormwater will be treated and then conveyed to an existing city stormwater network located in NW Camas Meadows Drive.

Stormwater Provisions – Title 14

Stormwater provisions contained within this chapter have been met as indicated below:

Stormwater Control – CMC 14.02

The proposed development intends to collect and treat runoff for stormwater generated from the property. Runoff collected from pollution-generating impervious surfaces will receive enhanced treatment and phosphorous removal via BioPod systems prior to being released. Existing on-site soils are poor and are not conducive to infiltration. Stormwater will be treated and then conveyed to an existing city stormwater network located in NW Camas Meadows Drive. The stormwater facilities will be designed to meet the requirements of the City of Camas Stormwater Ordinance and Washington State Department of Ecology standards. The stormwater facilities will be owned and maintained by the

Applicant. Calculations and information regarding the drainage facilities are included in the Stormwater Report prepared by Olson Engineering, Inc.

Illicit Discharges, Dumping and Illicit Connections – CMC 14.04

The project will not illicitly discharge or dump any material to the stormwater system.

Erosion and Sediment Control – CMC 14.06

Erosion and sediment control plans will be developed as part of the final civil engineering plan submittal meeting the provisions of this section.

Environment – Title 16

SEPA - CMC 16.01 - 16.19

According to the Pre-Application Conference report, the project does not require submittal of a SEPA checklist as the original land division completed the SEPA review process and the proposed use of the site falls within the thresholds contemplated within the original SEPA checklist.

Archaeological Resource Preservation - CMC 16.31

According to the Pre-Application Conference report, no additional archaeological study is required as this requirement was met with the original land division.

Public View, Open Space Protection – CMC 16.33

The proposed development will not interfere with any views from adjacent properties of the Columbia or Washougal Rivers, Lacamas Lake or Mt. Hood from adjacent properties.

The proposed development will not pose any adverse traffic impacts that would undermine the stability, safety and/or character of downtown, a neighborhood, or surrounding areas.

Stormwater treatment and release will meet the City of Camas Stormwater Ordinance, thereby protecting ground and surface waters.

Historic Preservation - CMC 16.35

There are no known historic sites within the development or adjacent to this project. According to the Pre-Application Conference report, no additional archaeological study is required as this requirement was met with the original land division.

General Provisions for Critical Areas- CMC 16.51

All general provisions related to Critical Areas, as applicable, have been addressed in this application.

Vegetation Removal Permit - CMC 16.51.125

There are no existing trees on the subject parcel. As such, a vegetation removal permit is not required.

Wetlands - CMC 16.53

According to Clark County GIS data, there are no mapping indicators that indicate any wetlands or wetland buffers on the site.

Critical Aquifer Recharge Area - CMC 16.55

According to the City of Camas' CARA Map, the site is not located within a Wellhead Protection Area.

Frequently Flooded Areas - CMC 16.57

According to Clark County GIS, the site is not located within a floodplain or floodway.

Geologically Hazardous Areas - CMC 16.59

According to Clark County GIS data, there are no mapping indicators that indicate any geologic hazard areas on the site.

Fish and Wildlife Habitat Conservation Areas – CMC 16.61

According to Clark County GIS data, there are no mapping indicators that indicate any fish or wildlife habitat conservation areas on site.

Land Development – Title 17

Dedications – CMC 17.01.040

There are no proposed right-of-way, tract or public trail dedications required or proposed.

Boundary Line Adjustments – CMC 17.07

There are no proposed boundary line adjustments.

Short Subdivisions – CMC 17.09

There are no proposed binding site plans or short subdivisions associated with this project.

Subdivisions – CMC 17.11

A subdivision is not proposed.

Binding Site Plan – CMC 17.15

A binding site plan is not proposed.

Design and Improvements Standards – CMC 17.19

All existing infrastructural improvements were completed with the original subdivision. As such, no additional public improvements are required or proposed.

Procedures for Public Improvements – CMC 17.21

All existing infrastructural improvements were completed with the original subdivision. As such, no additional public improvements are required or proposed.

Zoning – Title 18

Per the CMC Chapter 18.55, a Type II Development Review Application (“Type II Application”) is required for this project. The completion of a Site Plan Review and a Design Review submittal are components of the Type II Application. The following addresses the Site Plan Review and Design Review content requirements pursuant to CMC 18.55.110:

Zoning Map and Districts – CMC 18.05

The site is located within the BP (Business Park) zoning district and has been designed in conformance with its underlying zoning district designation.

Use Authorization – CMC 18.07

The proposed medical office building is a Permitted Use in the BP zoning district.

Density and Dimensions – CMC 18.09

CMC 18.09.030 – Table 1 lists the density and dimensions for the BP zoning district. The existing lot exceeds the minimum ½ acre size, 100-foot lot width and 100-foot lot depth. As such, the project is in compliance with this chapter.

Parking – CMC 18.11

Vehicular access to the parking lot has been provided via an existing driveway off NW Camas Meadows Drive.

The proposal exceeds the minimum parking amount required per this section as follows:

- 10,500 square foot medical office building – 1 stall per employee + 1 stall per 300 square feet.
- 10,500 square feet / 300 square feet = 35 stalls
- 13 employees = 13 stalls
- Total parking required – 48 stalls.
- Total Parking stalls provided:
 - 48 stalls, which includes the following:
 - 35 standard stalls, which includes 5 ADA stalls and up to 18 electric vehicle (EV) stalls;
 - 13 compact stalls;

Parking stall dimensions are as follows:

- Standard parking stalls - 18 feet deep by 9 feet wide;
- Compact stalls – 15 feet deep by 8 feet wide.

The proposed drive aisle widths are a minimum of 24 feet.

A 60-foot deep by 12-foot wide loading zone has been proposed.

Please refer to the Preliminary Site Plan for more information.

Landscaping – CMC 18.13

As there are no existing trees on site, a tree survey has not been provided.

A Landscape Plan has been submitted meeting or exceeding CMC minimum landscape, screening and buffering, and tree density requirements of 20 tree units per net acre. Refer to the Preliminary Landscape Plan for more information. Further detail is provided below:

- **Landscape Buffers**
 - A minimum 5-foot wide L1 landscape buffer has been provided along the north property line.
 - A minimum 10-foot wide L3 landscape buffer has been provided along the east and south property lines.
 - A minimum 10-foot wide L2 landscape buffer has been provided along the west property line along NW Camas Meadows Drive.

Parking lot landscaping has been provided meeting the provisions of this section. As 48 parking stalls are proposed, 8 parking lot trees are required (minimum ratio of one tree per six parking stalls). The Preliminary Landscape Plan shows 8 parking lot trees (two trees along the north property line at the north end of the banks of parking stalls are considered parking lot trees).

Street trees currently exist along NW Brady Road and are proposed for retention.

Signs- CMC 18.15

There are no proposed signs with this application.

Supplemental Development Standards – CMC 18.17

There are no proposed accessory structures or fences (the existing chain link fence along NW Camas Meadows Drive will remain). While not currently proposed except for along the west side of the building, any proposed retaining walls will meet the requirements of CMC 18.17.060.

Site Plan Review – CMC 18.18

The proposed development is subject to Site Plan Review. The application for the proposed development contains the required applicable submittal material

(ref. CMC 18.18.040) and meets the criteria for approval as described below (ref. CMC 18.18.060):

A. Compatibility with the city's comprehensive plan;

The proposed development is compatible with the city's comprehensive plan by providing a use conformant with the Commercial comprehensive plan designation as described within the Camas 2035 Comprehensive Plan (Ordinance 16-010).

B. Compliance with all applicable design and development standards contained in this title and other applicable regulations;

All applicable design and development standards and other applicable regulations will be met as described in this narrative, on the plans, and elsewhere in the application package.

C. Availability and accessibility of adequate public services such as roads, sanitary and storm sewer, and water to serve the site at the time development is to occur, unless otherwise provided for by the applicable regulations;

The site is served by NW Camas Meadows Drive. Access to the site will be provided via an existing driveway.

Sanitary sewer and water are currently available to the site. Stormwater will be routed to BioPod enhanced treatment vaults for treatment prior to release into the City's stormwater system located within NW Camas Meadows Drive. Refer to the plans included in this application for more information.

D. Adequate provisions are made for other public and private services and utilities, parks and trails (e.g., provide copies of private covenant documents);

Utilities will be provided as required for this project. Please refer to the engineering plans for more information.

There are no proposed parks or trails associated with this project.

E. Adequate provisions are made for maintenance of public utilities;

There are no public utilities proposed.

F. All relevant statutory codes, regulations, ordinances and compliance with the same. The review and decision of the city shall be in

accordance with the provisions of CMC Chapter 18.55 Administration and Procedures.

This Application meets the requirements of Administration and Procedures – CMC 18.55 as described elsewhere in this narrative.

Design Review – CMC 18.19

CMC 18.19 requires the Applicant to submit for Design Review on projects located within the BP zoning designation. This section of the narrative addresses detailed design information, as well as the overall integration of architectural elements into the Preliminary Site Plan.

The project will meet the design principles of CMC 18.19.050, Design principles, as follows:

A. Standard Principles

Demonstration of Satisfaction of Standard Principles:

1. The Landscape Plan meets the landscaping, screening and buffering requirements for the parking lot, provides for year-round color and texture, and will afford the site a cohesive design with trees and shrubs that are adapted to the climate of the Pacific Northwest.
2. There are no significant natural features on the site.
3. The building will be constructed with a varied mix of materials such as stone and fiber cement siding. The materials are consistent with materials used on the existing surrounding buildings. The elements of the overall building will provide a coordinated design with a ‘finished’ appearance on all sides of the building. Refer to the building elevations for more information.
4. There are no historic/heritage elements either on-site or in the surrounding area. Therefore, there are no historic/heritage elements to incorporate into the design of the proposed development.

Compliance with the Camas Design Review Manual

In addition to compliance with the CMC 18.19.050 Design Principles described earlier in this narrative, the following provides a description of how this project meets with the 2002 Camas Design Review Manual (“DRM”) Standard Design Principles and Guidelines.

DRM Standard Design Principles

A description of how the project meets the DRM Standard Design Principles is noted earlier in this narrative.

DRM Standard Design Guidelines

Landscaping & Screening

1. Landscaping & Screening:

The proposed plant materials indicated on the Landscape Plan include a mix of low-maintenance ornamental trees and shrubs. Landscaping is proposed to provide a softening to the building, respond to the building architecture and provide screening of the parking lot while still allowing for employee, tenant and patron security and safety. The Landscape Plan meets the landscaping and screening and buffering requirements for the parking lot, provides for year-round color and texture, and will afford the site a cohesive design with trees and shrubs that are adapted to the climate of the Pacific Northwest and match surrounding environs.

2. Signage:

There is no proposed signage with this Application.

3. Outdoor Furnishings.

There are no proposed outdoor furnishings at this time.

4. Fencing:

There is no fencing proposed. The existing chain link fence along NW Camas Meadows Drive is proposed to remain.

5. Significant Trees:

There are no significant trees or other significant vegetation on site. The existing arborvitae hedge along the east side of the site will be removed as most of the shrubs are either dying or are dead.

6. Lighting:

Lighting is proposed as required to meet minimum safety standards and will be shielded to prevent off-site light intrusion to the greatest extent practicable. Refer to the lighting plans for more information.

Massing & Setbacks

1. The building has been placed generally in the central portion of the site. This is to accommodate site grading, vehicular and emergency access around the building and to separate staff and patron parking. The size and scale of the building is appropriate for the BP zoning district. Pedestrian circulation has been provided from the sidewalk along NW Camas Meadows Drive to the building.

Architecture

1. Finished Development:

The building will be constructed with a varied mix of materials such as stone and fiber cement siding. The materials are consistent with materials used on the existing surrounding buildings. The elements of the overall building will provide a coordinated design with a 'finished' appearance on all sides of the building. Refer to the building elevations for more information. No corrugated materials, standing seam, or T1-11 siding will be used as part of the design for the building. The flat roof will have a metal coping and custom metal cornice. A mix of materials is being used for articulation/massing to create a quality aesthetic for the development.

2. Placement of Buildings:

The site does not feature significant natural features.

3. Building Walls and Fences Visible from Roadways:

The west elevation of the building contains articulation to avoid a blank look. This includes areas of cement fiber siding broken up with areas of stone veneer extending to the cornice as well as a stone veneer wainscot that ties the building together.

4. Color Scheme:

The proposed design for the buildings will include neutral such as browns and tans and natural colors of materials such as stone. Bold colors are not proposed for these buildings.

Historic and Heritage Preservation

1. There are no historic/heritage elements either on-site or in the surrounding area.

Commercial & Mixed Use Principles & Guidelines

A description of how the project meets the DRM's Commercial & Mixed Use Principles & Guidelines is found below:

Design Principles

1. On-Site Parking:

The site has an approximately 20-foot elevational difference between the southwest corner of the site and the east property line. As such, the building cannot be placed directly along NW Camas Meadows Drive without significantly raising the site which would require a series of retaining walls that would be cost prohibitive. The site layout with the building roughly in the center of the site allows grade to be made up partially within a larger setback/landscape buffer than is minimally required along NW Camas Meadows Drive and a larger setback/landscape buffer than is minimally required along the east property line. As such, on-site parking has been proposed both between the building and NW Camas Meadows Drive and along the east side of the building. This is to accommodate site grading, vehicular and emergency vehicle access around the building and to separate staff and patron parking. The parking will be screened from NW Camas Meadows Drive by an L2 landscape buffer and an elevation difference of approximately 1 foot to 5 feet where the parking will be located at a lower elevation than NW Camas Meadows Drive. Parking from the residences to the east will be screened with an L3 landscape buffer that will include a row of conifer trees and a row of Oregon grape exceeding the minimum required for the L3 buffer.

2. Building Setbacks:

As the project is not a retail use, retail frontage setback limitation do not apply.

3. Streetscape

As indicated above, it is cost prohibitive to place the building along NW Camas Meadows Drive. Additionally, as this is a medical office use where patient privacy is paramount and required to be provided by the health care provider, the building cannot meet the solid to void ratio of 60%/40%.

4. Size and Scale Differences Mitigation:

Less intensive uses or zoned areas adjacent to the site include the residential uses on the west side of NW Camas Meadows Drive and along the east side of the site. While there are residential uses to the south of the site, they are separated from the site by a sanitary sewer lift station and a stormwater facility. The building and parking have been placed away from the residential uses with landscaping buffers exceeding the minimum required width and landscaping screening the parking from the residential uses. Additionally, the building will be placed at an elevation of 235.50' which below NW Camas Meadows Drive to reduce the impact to adjacent residential uses.

5. Use Activities:

As there is only one proposed use for the subject parcel, this section does not apply.

6. Impacts on Adjacent Lower Intensity Uses:

As the project is not a mixed-use development, this section does not apply.

7. Walls:

There are no retaining walls proposed except for one low wall along the west side of the building. However, should any retaining walls be proposed, they will be landscaped appropriately to reduce the impacts of the walls on adjacent properties and to avoid a blank look.

The walls of the building will be broken up by using different materials and colors to avoid a blank 'unfinished' look.

8. Outdoor Lighting:

Lighting is proposed as required to meet minimum safety standards and will be shielded to prevent off-site light intrusion to the greatest extent practicable. Refer to the lighting plans for more information.

Design Guidelines***Landscaping & Screening*****1. Landscaping/Vegetation Plan:**

The proposed plant materials indicated on the Landscape Plan include a mix of low-maintenance ornamental trees and shrubs. Landscaping is proposed to provide a softening to the buildings, respond to the building architecture and provide screening of the parking lot while still allowing for employee, tenant and patron security and safety. The Landscape Plan exceeds the landscaping and screening and buffering requirements for the parking lot, provides for year-round color and texture, and will afford the site a cohesive design with trees and shrubs that are adapted to the climate of the Pacific Northwest and match surrounding environs. The use of native Pacific Northwest plants are also proposed.

2. Intersection Lighting:

As the subject parcel is not located at an intersection, this section does not apply.

3. Parking Space Groupings:

The parking has been designed to provide parking in small groupings, with long rows of parking broken up with landscape islands.

4. Community Information Kiosk:

A community information kiosk is not planned for this development.

Massing & Setbacks**1. Building Placement:**

The site has an approximately 20-foot elevational difference between the southwest corner of the site and the east property line. As such, the building cannot be placed directly along NW Camas Meadows Drive without significantly raising the site which would require retaining walls that would be cost prohibitive. The site layout with the building roughly in the center of the site allows grade to be made up partially within a larger setback/landscape buffer than is minimally required along NW Camas Meadows Drive and a larger setback/landscape buffer than is minimally required along the east property line. As such, with the building generally in the center of the site, on-site parking has been proposed both between the building and NW Camas Meadows Drive and along the east side of the building. This is to accommodate site grading, vehicular and emergency vehicle access around the building and to separate staff and patron parking.

2. Size and Scale Mitigation for Abutting Uses:

Less intensive uses or zoned areas adjacent to the site include the residential uses on the west side of NW Camas Meadows Drive and along the east side of the site. While there are residential uses to the south of the site, they are separated from the site by a sanitary sewer lift station and a stormwater facility. The building and parking have been placed away from the residential uses with landscaping buffers exceeding the minimum required width and landscaping screening the parking from the residential uses. Additionally, the building will be placed at an elevation approximately 1 foot below at the north end and approximately 10 feet below at the south end of the frontage along NW Camas Meadows Drive to reduce the impact to adjacent residential uses.

3. On-Site Parking:

The site has an approximately 20-foot elevational difference between the southwest corner of the site and the east property line. As such, the building cannot be placed directly along NW Camas Meadows Drive without significantly raising the site which would

require a series of retaining walls that would be cost prohibitive. The site layout with the building roughly in the center of the site allows grade to be made up partially within a larger setback/landscape buffer than is minimally required along NW Camas Meadows Drive and a larger setback/landscape buffer than is minimally required along the east property line. As such, on-site parking has been proposed both between the building and NW Camas Meadows Drive and along the east side of the building. This is to accommodate site grading, vehicular and emergency vehicle access around the building and to separate staff and patron parking. The parking will be screened from NW Camas Meadows Drive by an L2 landscape buffer and an elevation difference of approximately one foot at the north end and 5 feet at the south end where the parking will be located at a lower elevation than NW Camas Meadows Drive. Parking from the residences to the east will be screened with an L3 landscape buffer that will include a row of conifer trees exceeding the minimum required for the L3 buffer.

Architecture

1. Residential Feel:

The proposed building will be only one-story where adjacent residential buildings are two-story. The one-story nature of the proposed building will help reduce the impact of the building on neighboring properties. Additionally, the proposed fiber cement siding and stone façade uses similar materials to adjacent residential building and will provide a more residential feel to the building.

2. Buildings Taller than Two Stories:

As the proposed building is one-story, this section does not apply.

3. Shielded Outdoor Lighting:

Lighting is proposed as required to meet minimum safety standards and will be shielded to prevent off-site light intrusion to the greatest extent practicable. Refer to the lighting plans for more information.

Circulation & Connections

1. Pathways:

Building placement, and the reasons for placement of the building generally in the center of the site, has been discussed elsewhere in this narrative. Pedestrian circulation will be provided from the sidewalk along NW Camas Meadows Drive to the building.

2. New Streets Intersecting Commercial Properties:

As there are no new streets proposed, this section does not apply.

Variances - CMC 18.45

There are no variances proposed.

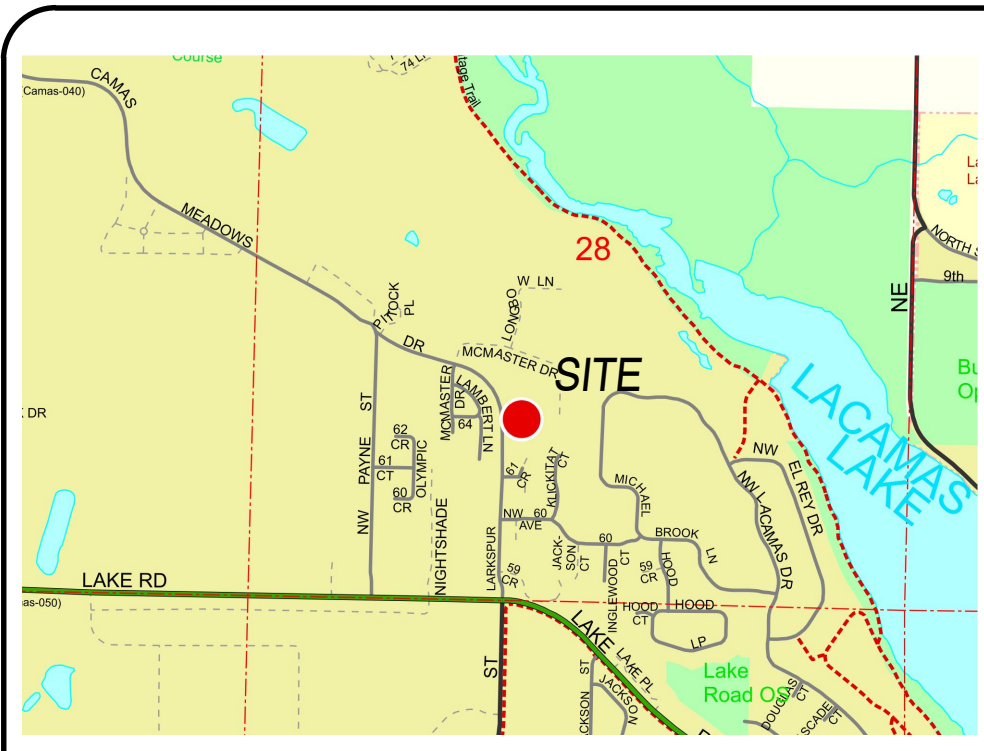
Administration and Procedures – CMC 18.55

This application is subject to a Type II Site Plan Review and a Design Review process.

A Pre-Application Conference was held on August 4, 2022.

The application contains all of the required information per CMC 18.55.110.

Current supply-chain issues, a challenging labor market, rising interest rates and State of Washington approval of the project may require a longer buildout than the two years allowed per CMC 18.55.260(A). As such, the Applicant respectfully requests a 5-year approval of the project to allow sufficient time for full build out. The Applicant will work in good faith to complete the project in a timely manner.



VICINITY MAP SEC. 28 T2N R3E W.M. NTS

EXISTING CONDITIONS NOTES

- EXISTING SITE DATA: PRESENT USE: VACANT AND UNUSED BUSINESS PARK (BP) GROSS SITE AREA: PARCEL 986043-917 IS 1.38 ACRES (80,150 SF) ACCORDING TO CLARK COUNTY GIS, 1.37 ACRES (59,600 SF) ACCORDING TO SURVEY BY OLSON ENGINEERING, INC. TRANSIT ROUTES & STOPS: NONE IN THE VICINITY EXISTING IMPROVEMENTS NOTES: EXISTING STRUCTURES: NONE EXISTING DRIVEWAYS: AS SHOWN EXISTING PARKING: NONE EXISTING LOADING: NONE EXISTING PEDESTRIAN AND BICYCLE PATHS: AS SHOWN EXISTING PASSIVE OR ACTIVE RECREATIONAL FACILITIES OR OPEN SPACE: NONE EXISTING UTILITIES: AS SHOWN EXISTING EASEMENTS: AS SHOWN EXISTING WELLS: NONE KNOWN EXISTING SEPTIC SYSTEMS: NONE KNOWN ENVIRONMENTAL & SIGNIFICANT NATURAL CONDITIONS NOTES: TOPOGRAPHY: AS SHOWN WATERCOURSES AND DRAINAGE PATTERNS: NO MAPPING INDICATORS 100 YEAR FLOODPLAIN: NO MAPPING INDICATORS DESIGNATED SHORELINE AREAS: NO MAPPING INDICATORS HIGH SEASONABLE WATER TABLE OR IMPERMEABLE SOILS: NO MAPPING INDICATORS WATER BODIES AND KNOWN WETLANDS: NO MAPPING INDICATORS WETLAND DELINEATION: NO MAPPING INDICATORS UNSTABLE GROUND, LANDSLIDE HAZARD AREAS & AREAS HAVING SEVERE EROSION POTENTIAL: NO MAPPING INDICATORS AREAS HAVING WEAK FOUNDATIONAL SOILS: NO MAPPING INDICATORS SLOPES EXCEEDING 15%: AS SHOWN SIGNIFICANT VEGETATION OR WILDLIFE HABITAT: NO MAPPING INDICATORS SIGNIFICANT HISTORIC, CULTURAL OR ARCHAEOLOGICAL RESOURCES: NONE KNOWN ROCK OUTCROPPINGS: NONE KNOWN

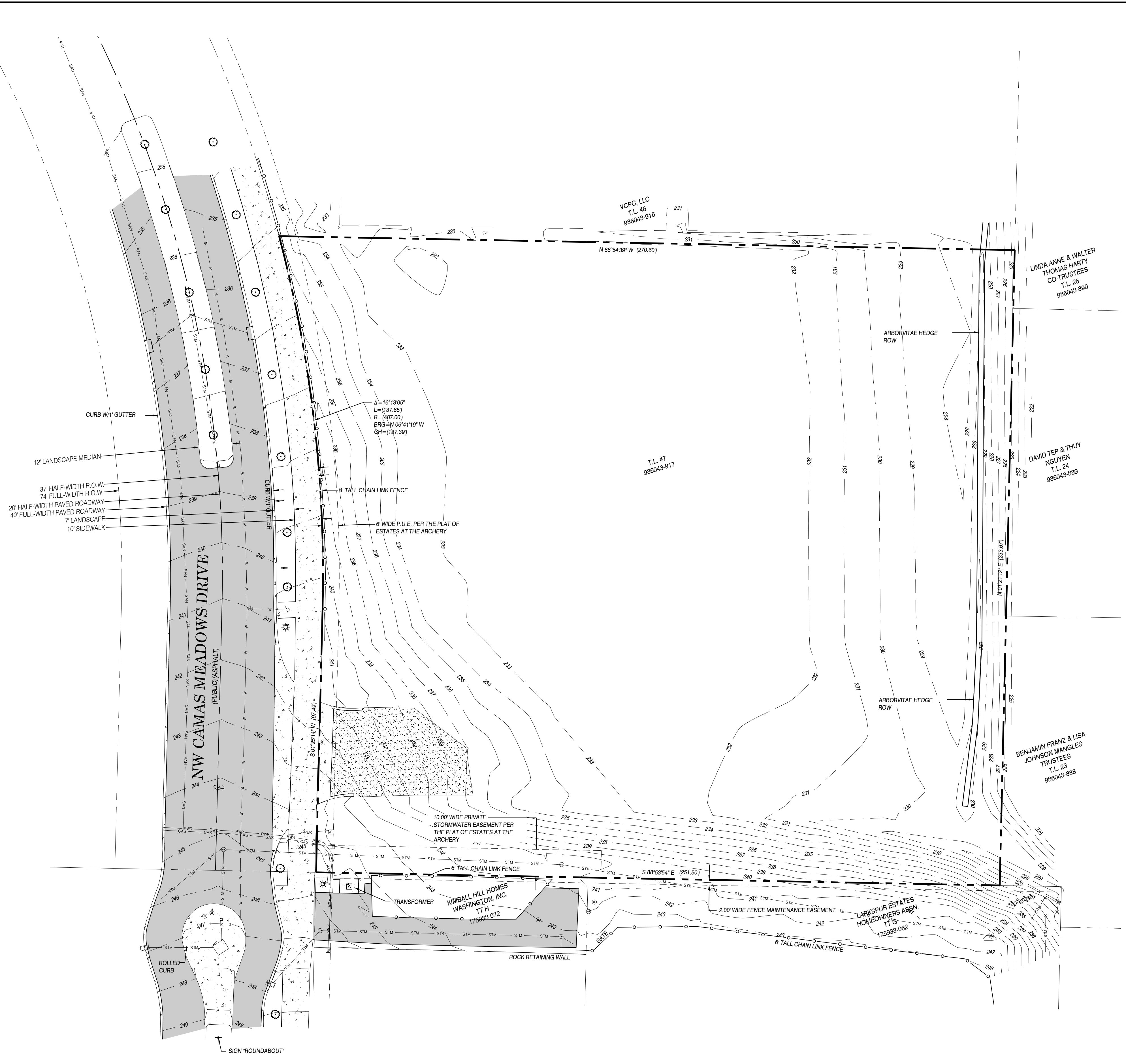
NOTES: THE LOCATION OF EXISTING UTILITY FACILITIES HAS NOT BEEN RESEARCHED. UNDERGROUND UTILITIES SHOWN HEREON ARE FROM TIES TO UTILITY PAINT MARKS MADE IN RESPONSE TO 'ONE-CALL CONCEPTS' UTILITY NOTIFICATION TICKET NO. 22018171. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES BY THE RESPECTIVE UTILITY OWNERS, NOR THE EXISTENCE OF BURIED OBJECTS WHICH ARE NOT SHOWN ON THIS PLAN.

FIELD WORK FOR THIS SURVEY WAS PERFORMED JANUARY, 2022.

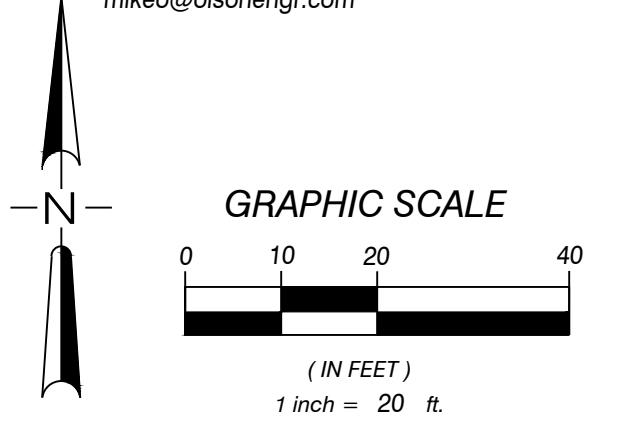
A TITLE REPORT FOR THIS SITE WAS NOT PROVIDED. EASEMENTS HAVE BEEN SHOWN, BASED ON A 2018 ALTA SURVEY BY H. A. MCCOY ENGINEERING & SURVEYING, LLC

LEGEND

- STREET LIGHT SIGN POST AS NOTED 2' DECIDUOUS STREET TREE WATER VALVE FIRE HYDRANT GAS LINE MARKER TELEPHONE RISER (C.I.) CURB INLET STORM MANHOLE AREA DRAIN SANITARY SEWER CLEANOUT ELECTRICAL JUNCTION BOX TRANSFORMER PROPERTY LINE ADJACENT TAXLOTS CENTERLINE OF RIGHT OF WAY EASEMENT AS NOTED UNDERGROUND WATER LINE UNDERGROUND SANITARY SEWER LINE UNDERGROUND GAS LINE UNDERGROUND POWER LINE UNDERGROUND STORM LINE CHAIN LINK FENCE CONTOUR CONCRETE PAVING ASPHALT PAVING GRAVEL SURFACE P.U.E. PUBLIC UTILITY EASEMENT



APPLICANT: CAMAS RENAL CONSTRUCTION, LLC 12655 N. CENTRAL EXPRESSWAY, SUITE 200 DALLAS, TX 75248 (214) 535-2930 FAX UNAVAILABLE arodriiguez@healthdev.com OWNER: VESTCAPITAL FUND II, LLC 315 GRAND BLVD, SUITE 200 VANCOUVER, WA 98661 CONTACT: OLSON ENGINEERING, INC. ATTN: MIKE ODREN 222 E. EVERGREEN BLVD. VANCOUVER, WA 98660 (360) 695-1385 FAX (360) 695-8117 mikeo@olsonengr.com



PLOT: consultant3.ctb FILE: J:\data\A10000\A10300\A10320\A10326\Planning\A10326.p.evtg.cond.dwg

EXISTING CONDITIONS PLAN FOR:

FRESENIUS KIDNEY CARE CAMAS

OLSON LAND SURVEYORS ENGINEERS ENGINEERING INC. 222 E. EVERGREEN BLVD., VANCOUVER, WA 98660

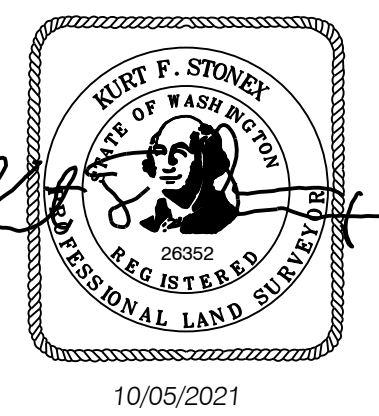
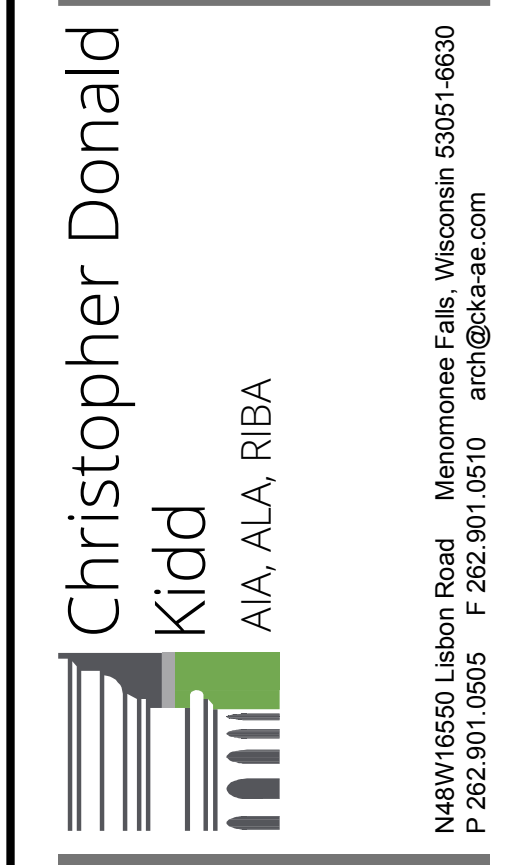


Table with 2 columns: DESCRIPTION, DATE. Header: CHANGES / REVISIONS.

Table with 2 columns: SHEET, EX1.0. Includes fields for DESIGNED, DRAWN, CHECKED, DATE, SCALE, COPYRIGHT, and PROJECT INFORMATION.

Prepared By: Christopher D. Kidd, AIA, AIA, RIBA
Washington License # 9529
Expires: July 10, 2024
ARCHITECT



Proposed Medical Office Building for:
FKC - Camas
3409 NW Camas Meadows Drive
Camas, Washington 98607



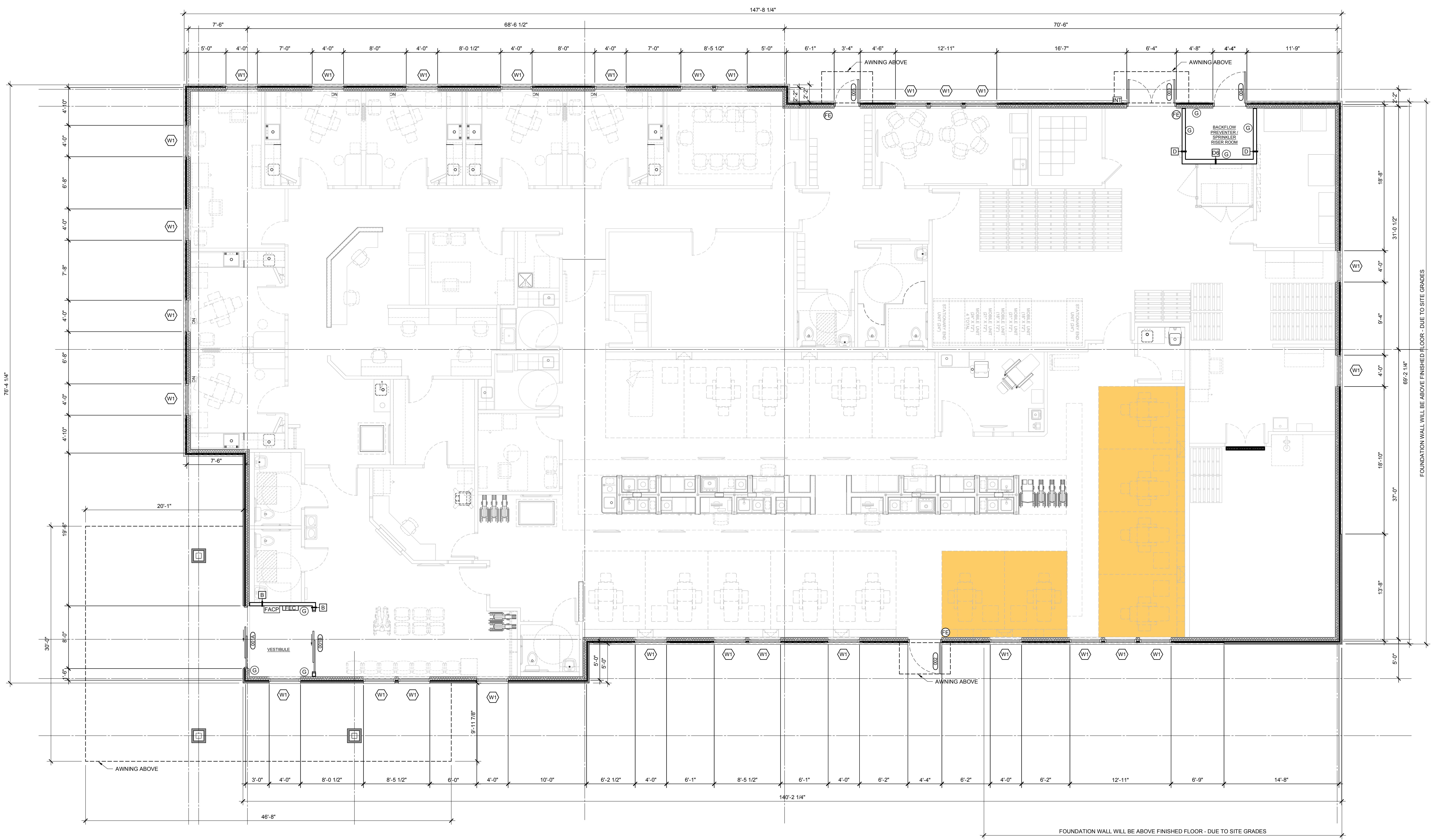
These drawings, as instruments of service, remain the property of the Architect or Engineer. Any changes, publication, or use of any kind is prohibited unless expressly authorized by said party. Copyright 2022.

Drafted By: ZSH
Checked By: ZSH
Date Drafted: XXXX/XXXX
Project #: 22003-01

REVISION DESCRIPTION	DATE

FLOOR PLAN

A210



CODE ANALYSIS NOTES

APPLICABLE CODES: ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS AND DRAWINGS, AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ALL PERMITS AND LICENSES NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR INVOLVED.

A. Type of Work: New Structures Addition Alteration M. Egress
 B. Occupancy Description CLINIC - AMBULATORY CARE Use Group BUSINESS
 C. Mixed Use: Yes No Egress Capacity/Floor: 500 Required Exits: 2 Provided Exits: 3 PUBLIC, 2 SERVICE
 If yes: Non-Separated Use Separated Use Separate Building

D. Type of Construction: 5B
 E. Fire Resistive Construction
 Exterior Walls > 10' _____ Fire Test Design Numbers
 Exterior Walls < 5' _____
 Interior Walls _____
 Floor/Ceiling _____
 Columns/Bearing Walls _____
 Exit Enclosures _____
 Shafts _____
 Corridors _____
 Tenant Separation _____
 F. Allowable Maximum Floor Area: 36,000 S.F. Actual: 10,426 S.F.
 Does the above include increase for excess frontage Yes No
 for complete sprinkler system Yes No
 G. Number of stories above grade: 1. Total stories: 1
 Height: PAGEP&T 22-07

H. Horizontal Exits: Yes No
 J. Manual Fire Alarm: Yes No * Fire alarm system & fire monitored return air ducts
 Fire Extinguishers: Yes No submitted under separate
 Limited Sprinkler System: Yes No tenant improvement package
 Full Automatic Sprinkler System: Yes No
 Standpipe System: Yes No
 Smoke Control/Removal System: Yes No
 Unlimited Area Building: Yes No
 K. Handicap Accessible: Yes No If no, state exemption
 L. Occupant Load: Yes No

Area	Square Feet	Occupants
Office	10,426	at 100 g.s.f. per person = 105
Mechanical/Storage	N/A	at 300 g.s.f. per person = 0
		105 Total Occupants

N. Restroom Fixture Counts
 Women's Water Closets: Required N/A Provided N/A
 Women's Lavatories: Required N/A Provided N/A Water Closets
 Men's Water Closets: Required N/A Provided N/A Urinals
 Men's Lavatories: Required N/A Provided N/A
 Employee Water Closets: Required N/A Provided N/A
 Employee Lavatories: Required N/A Provided N/A

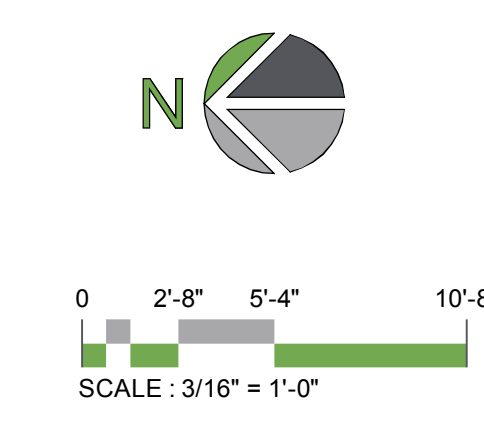
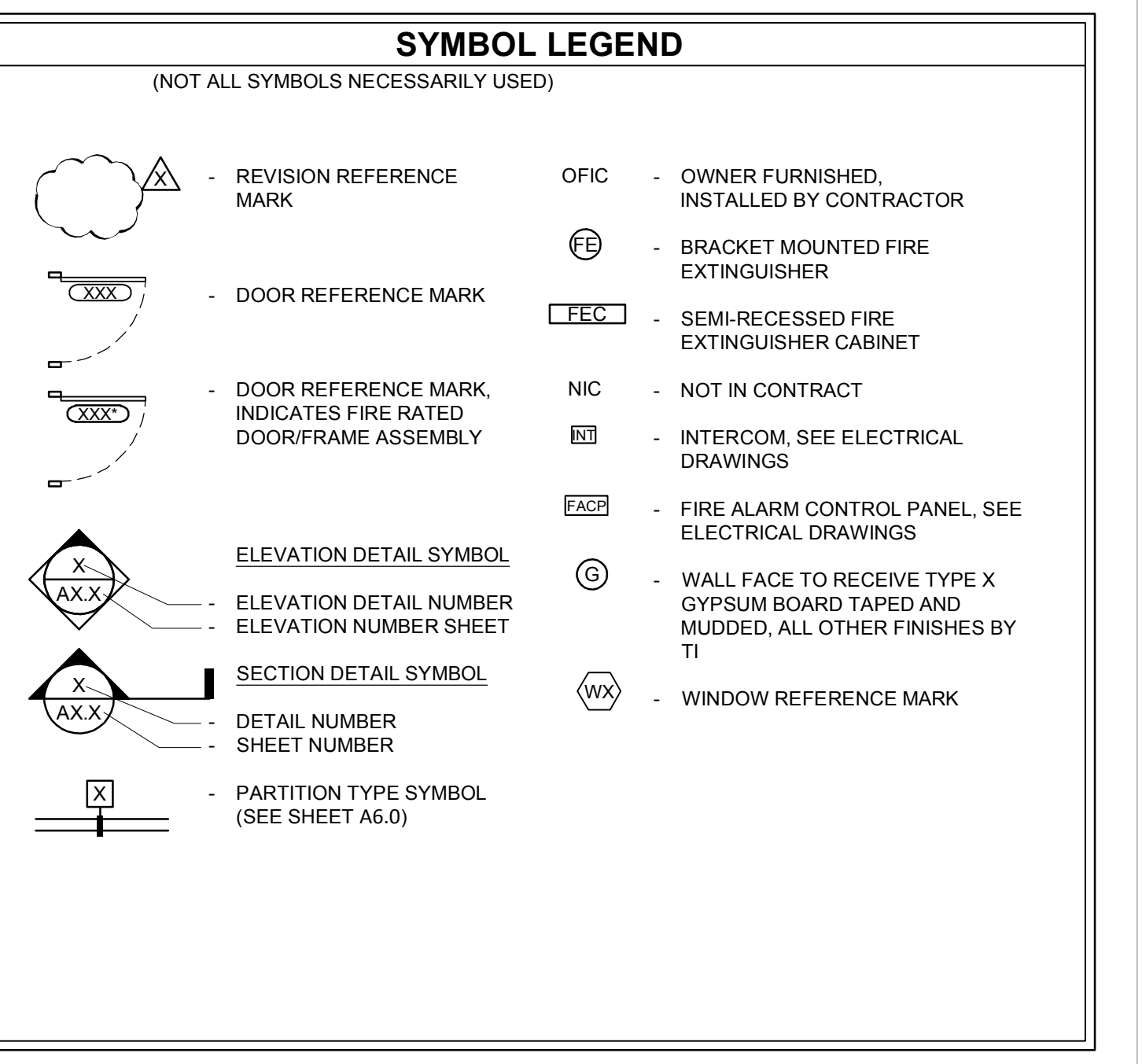
O. Project County and State: Clark County, Washington
 P. Climate zone for energy code: Climate Zone 4C

Q. Is this area within the "Warm-Humid" region? Yes No

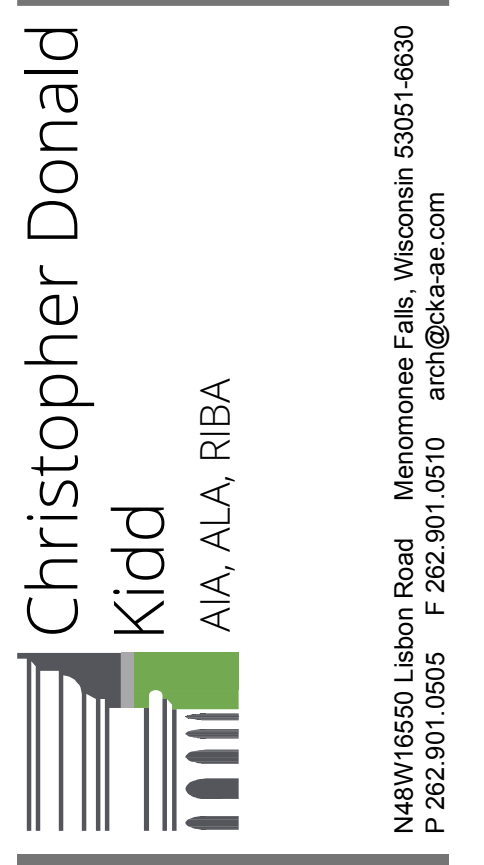
R. Roof
 Attic: Yes No Required R-49ci Provided R-49ci
 S. Walls - Above Grade
 Wood framed: Yes No Required R-15 + R-5ci Provided R-19+R-5ci
 T. Slab-on-Grade Floors: Yes No Required R-10ci Provided R-10ci

U. Glass doors
 Entrance doors: Yes No Required U-0.60 Provided U-0.60
 SHGC - SEW: 0.38 SHGC - N: 0.51
 Windows and glass doors: Yes No Required U-0.38 Provided U-0.27
 SHGC - SEW: 0.45 SHGC - N: 0.56
 PF < 0.2: Yes No Required U-0.38 Provided U-0.27
 SHGC - SEW: 0.61 SHGC - N: 0.61
 0.2 ≤ PF < 0.5: Yes No Required U-0.38 Provided U-0.27
 SHGC - SEW: 0.61 SHGC - N: 0.61
 PF ≥ 0.50: Yes No Required U-0.38 Provided U-0.27

- GENERAL NOTES**
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. DIMENSIONS AT EXTERIOR ARE FROM EDGE OF FOUNDATION TO ROUGH MASONRY OPENINGS (NOMINAL), UNLESS NOTED OTHERWISE.
 - CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND RECYCLING/DISPOSAL OF ALL CONSTRUCTION DEBRIS. (SEE SPECIFICATIONS MANUAL FOR MORE INFORMATION)
 - CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION ACTIVITIES AS WELL AS SCHEDULING AND COORDINATING PROJECT PHASING.
 - CONTRACTOR SHALL LOCATE AND INSTALL ALL FIRE EXTINGUISHERS REQUIRED BY APPLICABLE CODES NEAR ALL EXITS AND WHERE SHOWN ELSEWHERE IN THE TENANT BUILD-OUT PLANS. COORDINATE LOCATION WITH TENANT AND VERIFY WITH LOCAL FIRE MARSHAL OR AUTHORITY HAVING JURISDICTION (A.H.).
 - CONTRACTOR SHALL PROVIDE BATT INSULATION AT ALL EXTERIOR WALLS. TI CONTRACTOR SHALL PROVIDE 5/8" GYP. BD. ON VAPOR BARRIER, EXCEPT AREAS NOTED ON PLAN TO BE FINISHED BY SHELL.
 - CONTRACTOR SHALL COORDINATE THE LOCATION OF A KNOK BOX OR OTHER CITY APPROVED EMERGENCY ACCESS SYSTEM WITH THE OWNER AND THE LOCAL FIRE DEPARTMENT.
 - ALL BUILDING UTILITY SERVICES INCLUDING SANITARY LINE, DOMESTIC WATER LINE, SPRINKLER SYSTEM WATER LINE, NATURAL GAS LINE, DATA AND TELECOMMUNICATION LINES AND ELECTRICAL TRANSFORMER, MAIN SERVICE PANELS AND DISCONNECTS SHALL BE LOCATED AND COORDINATED WITH FUTURE TENANT BUILD-OUT PLANS. SERVICES SHOWN DEPICT APPROXIMATE LOCATIONS AND ESTIMATE UTILITY SIZES BASED ON GENERAL TENANT REQUIREMENTS.
 - SHELL CONTRACTOR SHALL PROVIDE (6) 4" SCHEDULE 40 PVC OR HDPE COMMUNICATIONS RACEWAYS BURIED NO LESS THAN 36" BELOW FINISH GRADE WITH FULL ROPES PROVIDED FOR LOW VOLTAGE SERVICE PROVIDERS INCLUDING TELEPHONE, INTERNET/DATA AND CABLE. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION AND PLAN FOR LOCATIONS.
 - PROVIDE TERMITE PREVENTION MEASURES TO SITE PER SPECIFICATION SECTION 02281.
 - GO SHALL PROVIDE TACTILE EXIT SIGNS AT ALL EXIT DISCHARGE LOCATIONS.
 - FLOOR TRANSITIONS SHALL NOT EXCEED 1/4" UP TO 3/4" FROM 3/4" TO 3/4" THE TRANSITION SHALL BE BEVELED WITH A 1:2 SLOPE MINIMUM.
 - CONCRETE SLAB ON GRADE SHALL BE WET CURED USING BURLAP OR PLASTIC SHEETING.
 - SEE SHEET A24 FOR ADDITION NOTES RELATED TO FLOOR SLAB MOISTURE TESTING AND FLOOR FINISHES.



Prepared By: Christopher D. Kidd, AIA, AIA, RIBA
 Washington License # 5629
 Expires: July 10, 2024
ARCHITECT



Proposed Medical Office Building for:
FKC - Camas
 3409 NW Camas Meadows Drive
 Camas, Washington 98607



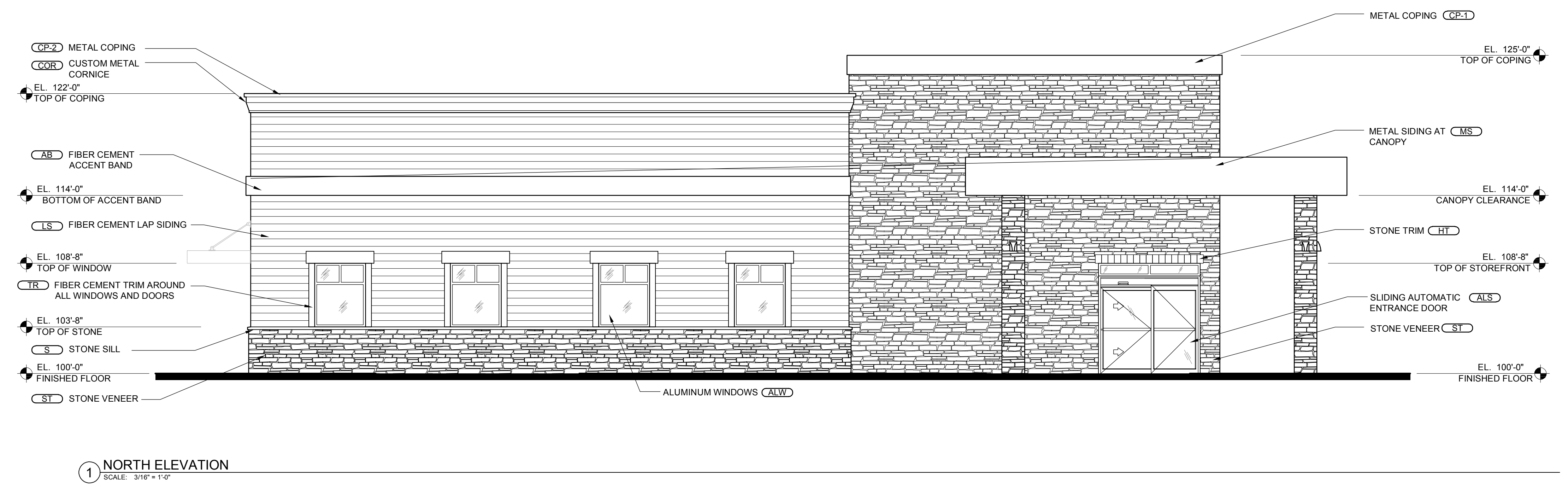
These drawings, as instruments of service, remain the property of the Architect or Engineer. Any changes, publication, or use of any kind is prohibited unless expressly authorized by said party. Copyright 2022.

Drafted By: EMC
 Checked By: ZSH
 Date Drafted: XX/XX/XXXX
 Project #: 22003-01

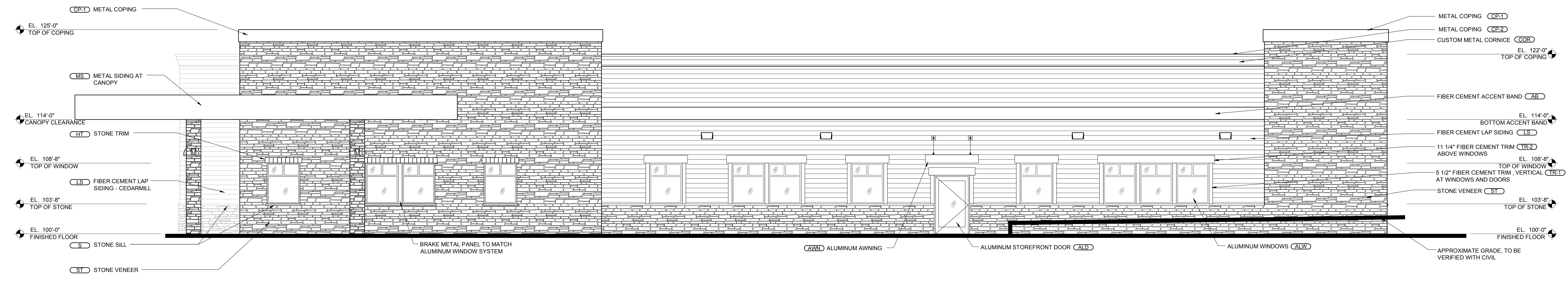
REVISION DESCRIPTION	DATE

EXTERIOR ELEVATIONS

A300

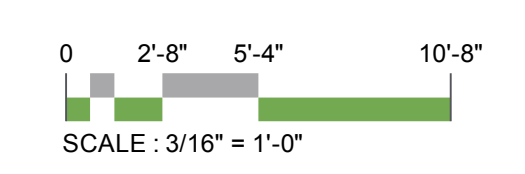


1 NORTH ELEVATION
 SCALE: 3/16" = 1'-0"

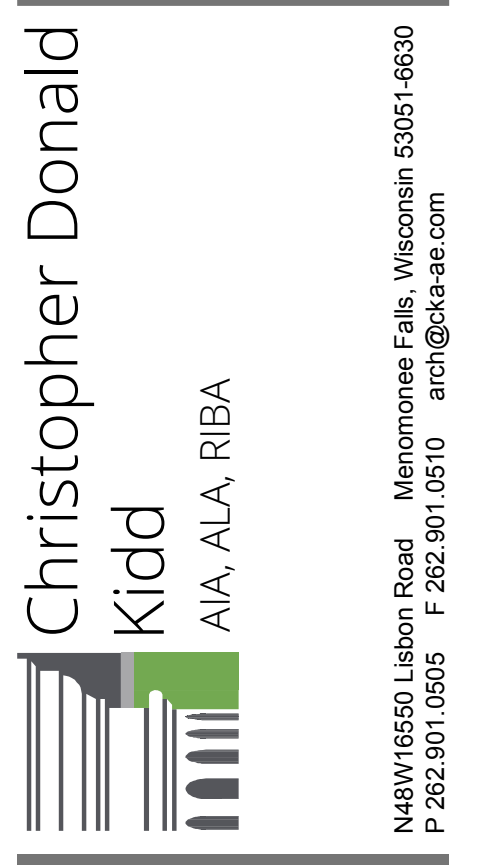


2 WEST ELEVATION
 SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES LEGEND			
(ST) MANUF COLOR FINISH PRODUCT	ELDORADO STONE SAWTOOTH (W/ BROWN MASONRY MORTAR) STANDARD RUSTIC LEDGE	(AWN) MANUF COLOR FINISH PRODUCT	LAWRENCE FABRIC MEDIUM BRONZE DURA TECH (PVDF) OR EQUAL LFS-LFA
(S) MANUF COLOR FINISH PRODUCT	ELDORADO STONE SAND STANDARD SNAPPED EDGE WAINSCOT SILL	(COP-1) MANUF COLOR FINISH PRODUCT	PETERSEN ALUMINUM MEDIUM BRONZE KYNAR 500 COATING PAC-TITE TAPERED COPING
(HT) MANUF COLOR FINISH PRODUCT	ELDORADO STONE BUCKSKIN STANDARD ASHLAR TRIM STONE: 6"X8"X2"	(COP-2) MANUF COLOR FINISH PRODUCT	PETERSEN ALUMINUM SIERRA TAN KYNAR 500 COATING PAC-TITE TAPERED COPING
(MS) MANUF COLOR FINISH PRODUCT	AEP SPAN MEDIUM BRONZE DURA TECH (PVDF) TBD	(COR-1) MANUF COLOR FINISH PRODUCT	CUSTOM SIERRA TAN KYNAR 500 COATING CUSTOM
(LS) MANUF COLOR FINISH PRODUCT	JAMES HARDIE - FIBER CEMENT SANDS OF TIME (SHERWIN-WILLIAMS SW6101) SELECT CEDARMILL (PRIMED) PLANK LAP SIDING	(ALW) MANUF COLOR FINISH PRODUCT	KAWNEER - STOREFRONT SYSTEM CLEAR ANODIZED STANDARD TRIFAB VG451T
(TR-1) MANUF COLOR FINISH PRODUCT	JAMES HARDIE - FIBER CEMENT PORTABELLO (SHERWIN-WILLIAMS SW6102) RUSTIC (PRIMED) TRIM: JAMB 5" X 1-1/4"	(ALS) MANUF COLOR FINISH PRODUCT	RECORD USA CLEAR ANODIZED STANDARD AUTOMATIC SLIDING DOOR
(TR-2) MANUF COLOR FINISH PRODUCT	JAMES HARDIE - FIBER CEMENT PORTABELLO (SHERWIN-WILLIAMS SW6102) RUSTIC (PRIMED) TRIM: HEAD 11-1/4" X 2"	(ALD) MANUF COLOR FINISH PRODUCT	KAWNEER THERMAL ENTRANCE CLEAR ANODIZED STANDARD 350T
(AB) MANUF COLOR FINISH PRODUCT	JAMES HARDIE - FIBER CEMENT TEA CHEST (SHERWIN-WILLIAMS SW6103) FINE SAND (PRIMED) ARCHITECTURAL PANEL (CUT TO MATCH ELEV.)	(MD) MANUF COLOR FINISH PRODUCT	STEELCRAFT SANDS OF TIME (SHERWIN-WILLIAMS SW6101) PAINTED STEEL INSULATE DOORS AND FRAMES



Prepared By: Christopher D. Kidd, AIA, AIA, RIBA
Washington License # 6529
Expires: July 10, 2024
ARCHITECT



Proposed Medical Office Building for:
FKC - Camas
3409 NW Camas Meadows Drive
Camas, Washington 98607



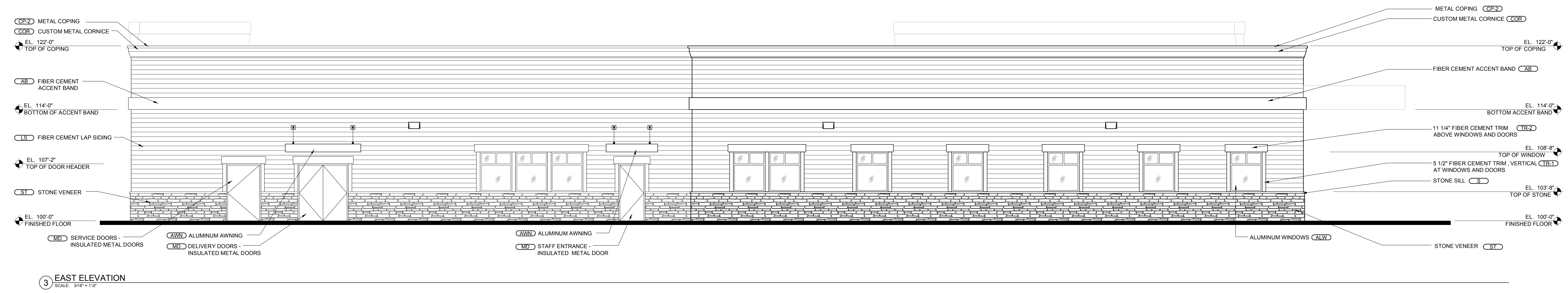
These drawings, as instruments of service, remain the property of the Architect or Engineer. Any changes, publication, or use of any kind is prohibited unless expressly authorized by said party. Copyright 2022.

Drafted By: EMC
Checked By: ZSH
Date Drafted: XX/XX/XXXX
Project #: 22003-01

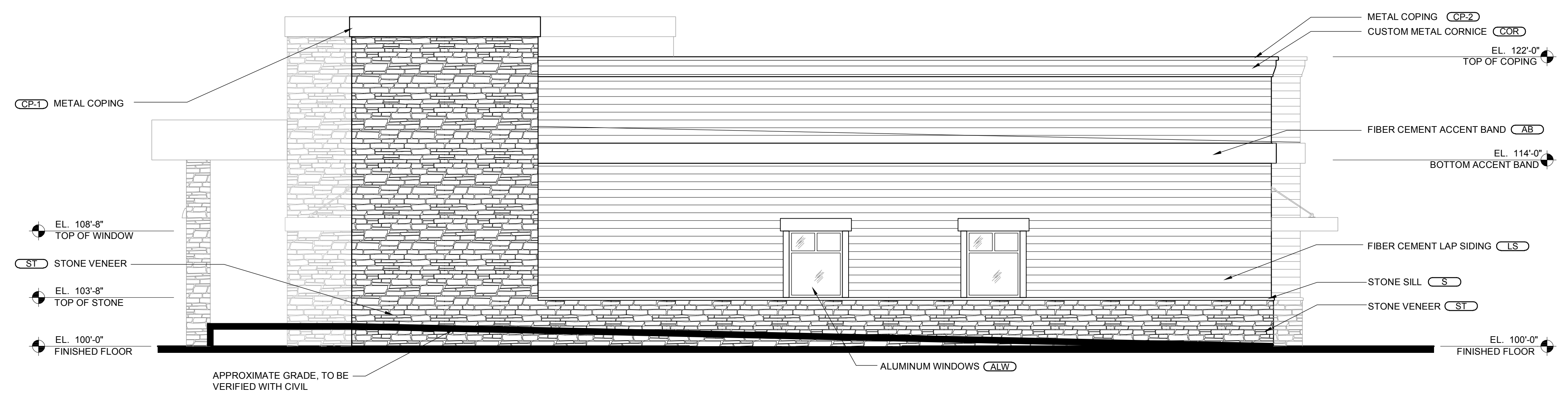
NO.	REVISION DESCRIPTION	DATE

EXTERIOR ELEVATIONS

A310

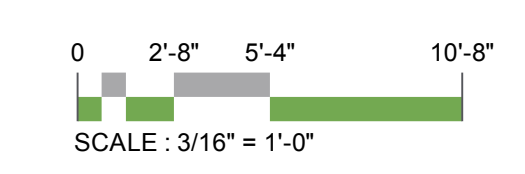


3 EAST ELEVATION
SCALE: 3/16" = 1'-0"



4 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES LEGEND			
MANUF COLOR FINISH PRODUCT (ST)	ELDORADO STONE SAWTOOTH (W/ BROWN MASONRY MORTAR) STANDARD RUSTIC LEDGE	MANUF COLOR FINISH PRODUCT (AWND)	LAWRENCE FABRIC MEDIUM BRONZE DURA TECH (PVDF) OR EQUAL LFS-LFA
MANUF COLOR FINISH PRODUCT (S)	ELDORADO STONE SAND STANDARD SNAPPED EDGE WAINSCOT SILL	MANUF COLOR FINISH PRODUCT (CE-1)	PETERSEN ALUMINUM MEDIUM BRONZE KYNAR 500 COATING PAC-TITE TAPERED COPING
MANUF COLOR FINISH PRODUCT (TR-1)	ELDORADO STONE BUCKSKIN STANDARD ASHLAR TRIM STONE: 6'X8'X2"	MANUF COLOR FINISH PRODUCT (CE-2)	PETERSEN ALUMINUM SIERRA TAN KYNAR 500 COATING PAC-TITE TAPERED COPING
MANUF COLOR FINISH PRODUCT (MS)	AEP SPAN MEDIUM BRONZE DURA TECH (PVDF) TBD	MANUF COLOR FINISH PRODUCT (COOR)	CUSTOM SIERRA TAN KYNAR 500 COATING CUSTOM
MANUF COLOR FINISH PRODUCT (LS)	JAMES HARDIE - FIBER CEMENT SANDS OF TIME (SHERWIN-WILLIAMS SW6101) SELECT CEDARMILL (PRIMED) FLANK LAP SIDING	MANUF COLOR FINISH PRODUCT (ALW)	KAWNEER - STOREFRONT SYSTEM CLEAR ANODIZED STANDARD TRIFAB V6451T
MANUF COLOR FINISH PRODUCT (TR-2)	JAMES HARDIE - FIBER CEMENT PORTABELLO (SHERWIN-WILLIAMS SW6102) RUSTIC (PRIMED) TRIM: JAMB 5' X1-11/4"	MANUF COLOR FINISH PRODUCT (ALS)	RECORD USA CLEAR ANODIZED STANDARD AUTOMATIC SLIDING DOOR
MANUF COLOR FINISH PRODUCT (AB)	JAMES HARDIE - FIBER CEMENT TEA CHEST (SHERWIN-WILLIAMS SW6103) FINE SAND (PRIMED) ARCHITECTURAL PANEL (CUT TO MATCH ELEV.)	MANUF COLOR FINISH PRODUCT (ALD)	KAWNEER THERMAL ENTRANCE CLEAR ANODIZED STANDARD 350T
		MANUF COLOR FINISH PRODUCT (MD)	STEELCRAFT SANDS OF TIME (SHERWIN-WILLIAMS SW6101) PAINTED STEEL INSULATE DOORS AND FRAMES





NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



Christopher Kidd and Associates, LLC
ARCHITECTS ENGINEERS PLANNERS
N48W16500 Lisbon Road - Menomonie Falls, Wisconsin 53051-6630
P 262.901.0505 F 262.901.0510 ckid@ckid-ae.com ckid-ae.com



Proposed Medical Office Building for:
FKC - Camas
3409 NW Camas Meadows Drive
Camas, Washington 98607

This graphic is an artist rendition. While efforts were made to best represent the finished project, variations in display, hardware and printing may cause finishes, material patterns, and colors to vary in appearance both electronically and in physical deliverables. This artistic rendering is proposed and not an actual, real life project depiction. Any renderings, sketches, graphic materials, features, dimensions, existing or future views depicted or otherwise described herein are proposed and conceptual only, and are based upon preliminary development plans, which are subject to withdrawal, revisions, and other changes. This rendering should not be relied upon as any warranties or representations express or implied, of the final detail of the proposed improvements. Any features or colors described are representative only, and Christopher Kidd & Associates, LLC reserves the right to make changes or substitutions of equal or better quality.
COPYRIGHT CHRISTOPHER KIDD & ASSOCIATES, LLC 2022
N48W16500 LISBON ROAD, MENOMONEE FALLS, WISCONSIN 53051-6630
P 262.901.0505 / F 262.901.0510

LANDSCAPE LEGEND

SYMBOL	COMMON NAME	SIZE/COND.	SPACING
TREES			
AGG	Autumn Gold Ginkgo Ginkgo biloba 'Autumn Gold'	2" CAL.	AS SHOWN
FEM	Frontier Elm Ulmus 'Frontier'	2" CAL.	25' O.C.
HC	Hogan Cedar Thuja plicata 'Hogan'	6' HEIGHT	15' O.C.
IC	Incense Cedar Calocedrus decurrens	6' HEIGHT	15' O.C.
RBC	Royal Burgundy Cherry Prunus serrulata 'Royal Burgundy'	2" CAL.	15' O.C. & AS SHOWN
SSM	Scarlet Sentinel Maple Acer rubrum 'Scarsen'	2" CAL.	30' O.C.
SHRUBS			
COG	Compact Oregon Grape Mahonia aquifolium 'Compactum'	3 GAL.	3' O.C.
DF	Dwarf Fothergilla Fothergilla gardenii	3 GAL.	3' O.C.
DL	Daylily Hemerocallis 'Stella d'Oro'	1 GAL.	2' O.C.
DWE	Dwarf Winged Euonymus Euonymus alata 'Compacta'	5 GAL.	3' O.C.
FRG	Feather Reed Grass Calamagrostis x acutiflora 'Kari Foerster'	1 GAL.	3' O.C.
HB	Heavenly Bamboo Nandina domestica 'Gulf Stream'	3 GAL.	3' O.C.
JA	Japanese Andromeda Peris japonica 'Mt. Fire'	5 GAL.	4' O.C.
LB	Lydia Broom Genista lydia	1 GAL.	3' O.C.
MEG	Maiden Eulalia Grass Miscanthus sinensis 'Gracillimus'	1 GAL.	4' O.C.
MR	Meidiland Rose Rosa x Meidiland 'Scarlet'	2 GAL.	3' O.C.
MV	Mariesi Viburnum Viburnum plicatum tomentosum 'Mariesi'	5 GAL.	5' O.C.
NDE	Newport Dwarf Escallonia Escallonia 'Newport Dwarf'	3 GAL.	3' O.C.
NZR	Nova Zembra Rhododendron Rhododendron 'Nova Zembra'	5 GAL.	4' O.C.
OG	Oregon Grape Mahonia aquifolium	3 GAL.	3.5' O.C.
OLL	Otto Luyken Laurel Prunus laurocerasus 'Otto Luyken'	5 GAL.	3' O.C.
SF	Sword Fern Polystichum munitum	1 GAL.	3' O.C.
VC	Victoria Ceanothus Ceanothus 'Victoria'	5 GAL.	5' O.C.
VD	Variiegated Dogwood Cornus alba 'Elegantissima'	5 GAL.	4' O.C.
GROUND COVER			
	Bearberry Cotoneaster Cotoneaster dammeri	1 GAL.	30' O.C.
	Emerald Carpet Rubus Rubus calycinoides 'Emerald Carpet'	1 GAL.	18' O.C.

LANDSCAPE AREA CALCULATION

Required Landscape Area 15% of net site area
 Development Site Area 59,600 sq. ft.
 Total Landscape Area 17,101 sq. ft. (28.7% of site area)

TREE UNITY CALCULATIONS

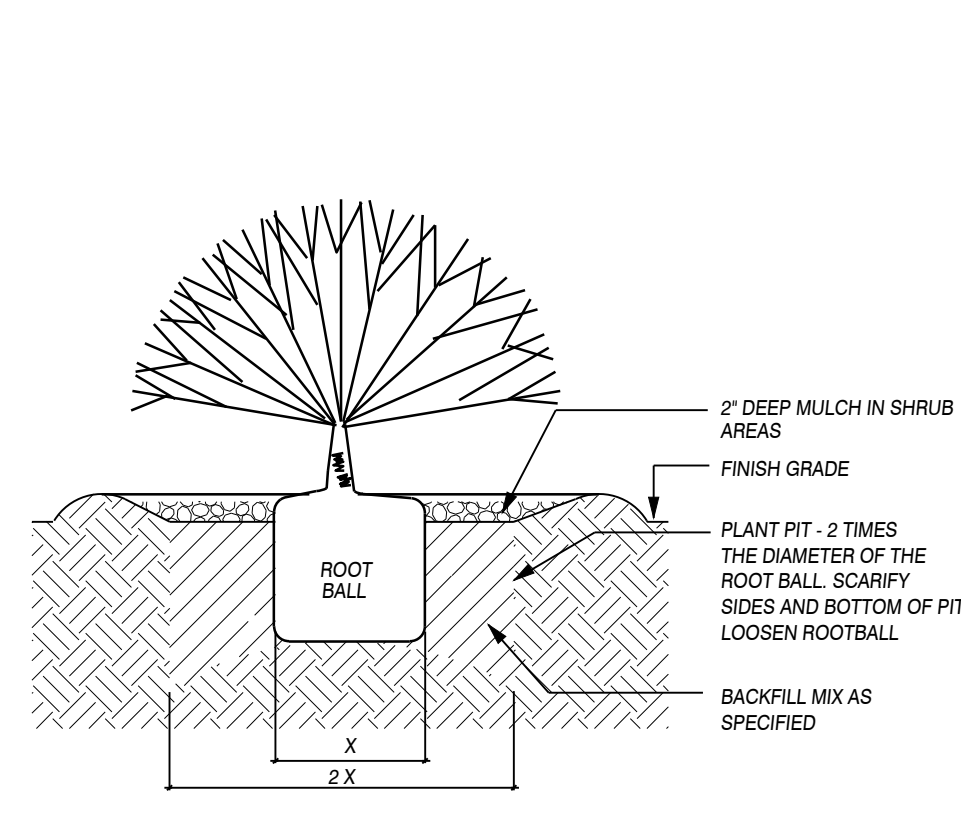
1.37 acres x 20 tree units/acre = 27 total tree units required
 Tree Unit Credits for Existing Street Trees = 6 tree units
 27 - 6 = 21 tree units required to be added

Proposed Interior Deciduous Trees - 31 trees @ 2" cal. (1 tree unit per) = 31 tree units
 Proposed Interior Conifer Trees - 18 trees @ 6" (1 tree unit per) = 18 tree units
 Total Proposed Tree Units - 31 + 18 = 49 tree units

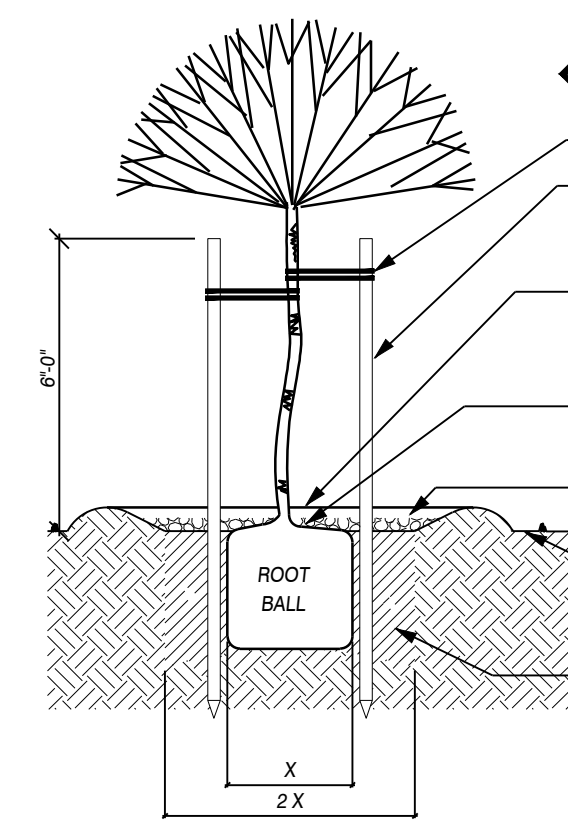
Total Tree Units Provided On Site - 49 proposed tree units + 6 existing tree units = 55 total tree units
 55 - 27 = 28 tree units exceeded

NOTES

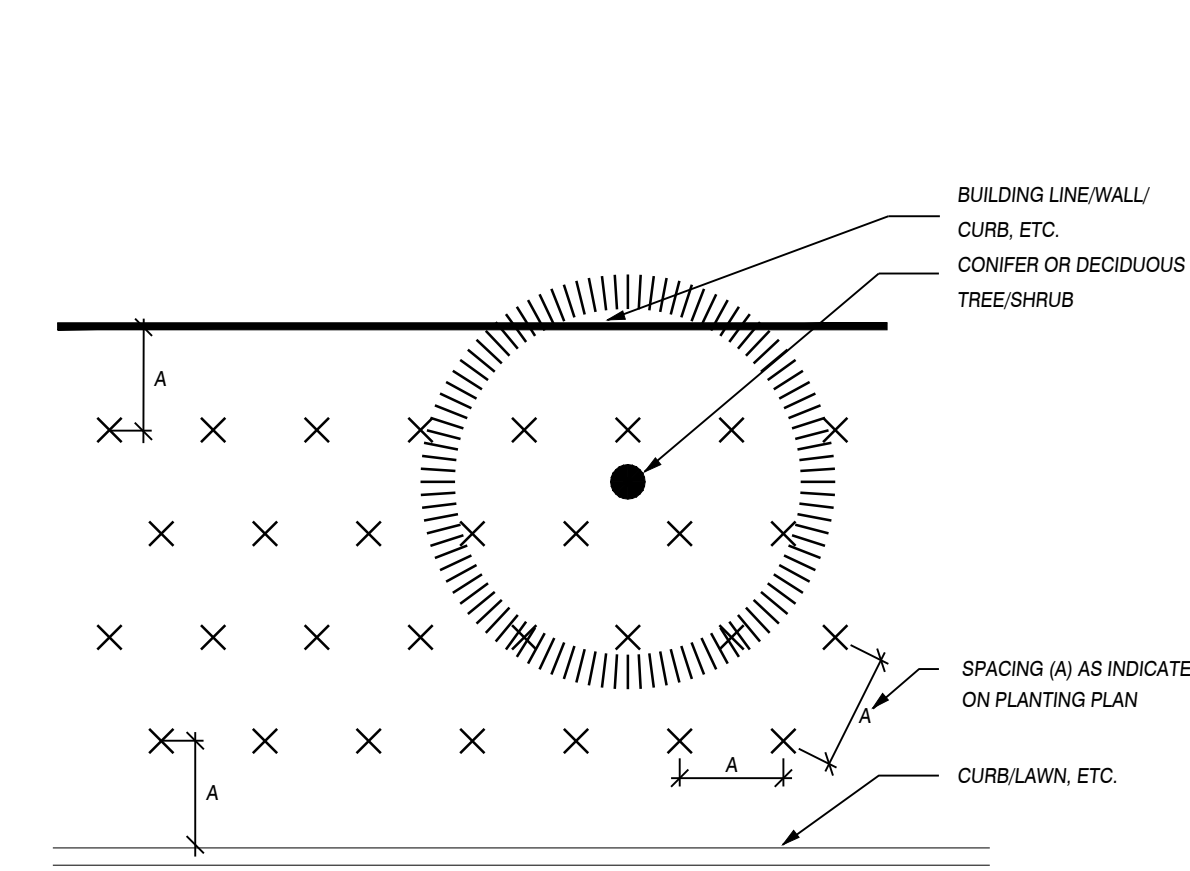
- Installation shall fully comply with all landscape code requirements and any City of Camas conditions of approval.
- Irrigation shall be provided by a fully automatic underground system design/build by the landscape contractor.
- All landscaping shall be installed in a sound workman-like manner, and according to accepted good planting procedures with quality plant materials.
- The owner, or his agent, shall be responsible for the maintenance of all landscaping which shall be maintained in good condition so as to present a healthy, neat, and orderly appearance, and shall be kept free from refuse and debris.
- All existing vegetation shall be removed from areas to receive construction activities.
- There are no berms or fences proposed at this time. The existing fence along NW Camas Meadows Drive will remain. Retaining walls are proposed as shown. Buffers are as shown on the plan.
- There are no surface water management features integrated with the landscape.
- There are no active or passive recreational features or open space proposed.
- Plants shall be spaced as indicated above unless otherwise shown on the plan. If a discrepancy exists, the plan shall prevail.
- Contractor shall verify species and quantities of all plant material prior to bid.
- Install jute erosion control fabric on all slopes 2:1/2:1 and greater. Refer to Civil Engineering plans.
- Install root control barrier on all trees located within 8' of any paved/concrete surface, curb or wall, 18"-inches deep, 08-inches or 2 mm thick, 10 feet long. Center barrier on trunk of tree. Install adjacent to back of sidewalk, pavement, curb and/or wall as per manufacturers recommendations and specifications.
- Prior to installation of topsoil in tree, shrub and groundcover planting areas as indicated on the Landscape Plan, cross-rip at 18 inches on center or rototill subgrade to an 8-inch to 12-inch depth.
- Install minimum 12-inch depth imported topsoil in all tree, shrub and groundcover planting areas as indicated on the Landscape Plan. Amend planting area topsoil with 2-inch minimum layer composted yard debris prior to installation of plant material. Imported planting area topsoil shall be a sandy loam topsoil with a combined silt and clay content less than 20% and medium to very fine sand 60%-70% which shall be percentages by weight of those particles passing a 2mm screen. The remaining percentages shall be particles larger than medium to very fine sand (coarse or very coarse sand or gravel sized particles). All particles shall pass a 1/2-inch screen. All topsoil shall be free from subsoil, debris, turf, mushrooms, weeds or any other objectionable material. If subgrade is comprised of rock, rock fill or cement treated soil, remove subsoil from site and deposit topsoil to the following depths: 24-inch minimum depth in all planting areas, 36-inch minimum depth at all tree locations in a 5 foot diameter. Allow no cross contamination of cement treated soil with placed topsoil.
- Install minimum 2-inches bark mulch in all new landscape areas within 2 days of planting.



1 SHRUB/GROUND COVER PLANTING
NOT TO SCALE



2 DECIDUOUS/CONIFER TREE PLANTING
NOT TO SCALE

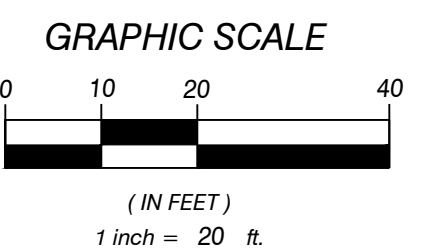


3 GROUND COVER PLANTING
NOT TO SCALE

APPLICANT:
 CAMAS RENTAL CONSTRUCTION, LLC
 12855 N. CENTRAL EXPRESSWAY, SUITE 200
 DALLAS, TX 75248
 (214) 535-2930
 FAX UNAVAILABLE
 arodriguez@healthdev.com

OWNER:
 WESTCAPITAL FUND II, LLC
 315 GRAND BLVD, SUITE 200
 VANCOUVER, WA 98661

CONTACT:
 OLSON ENGINEERING, INC.
 ATTN: MIKE ODREN
 222 E. EVERGREEN BLVD.
 VANCOUVER, WA 98660
 (360) 695-1385
 FAX (360) 695-8117
 mikeo@olsonengr.com



PLOT: consultant3.ctb
 FILE: J:\data\A10000\A10300\A10320\A10326\Planning\A10326.p.sitesplan.prelim.dwg

FRESENIUS KIDNEY CARE CAMAS

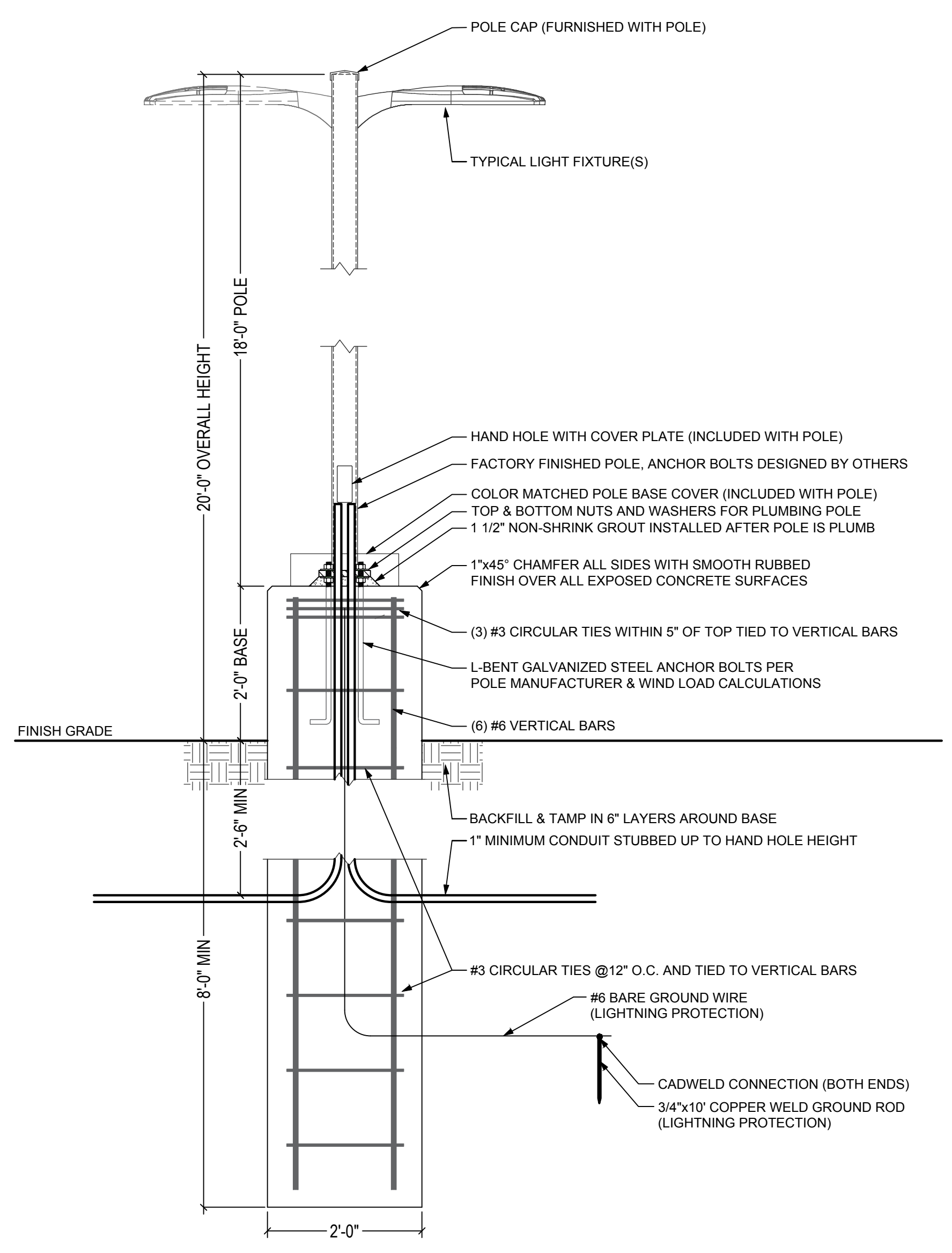
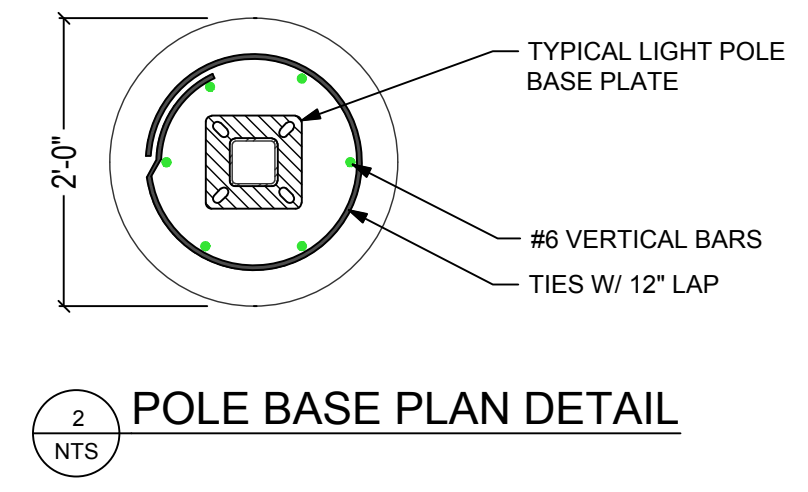
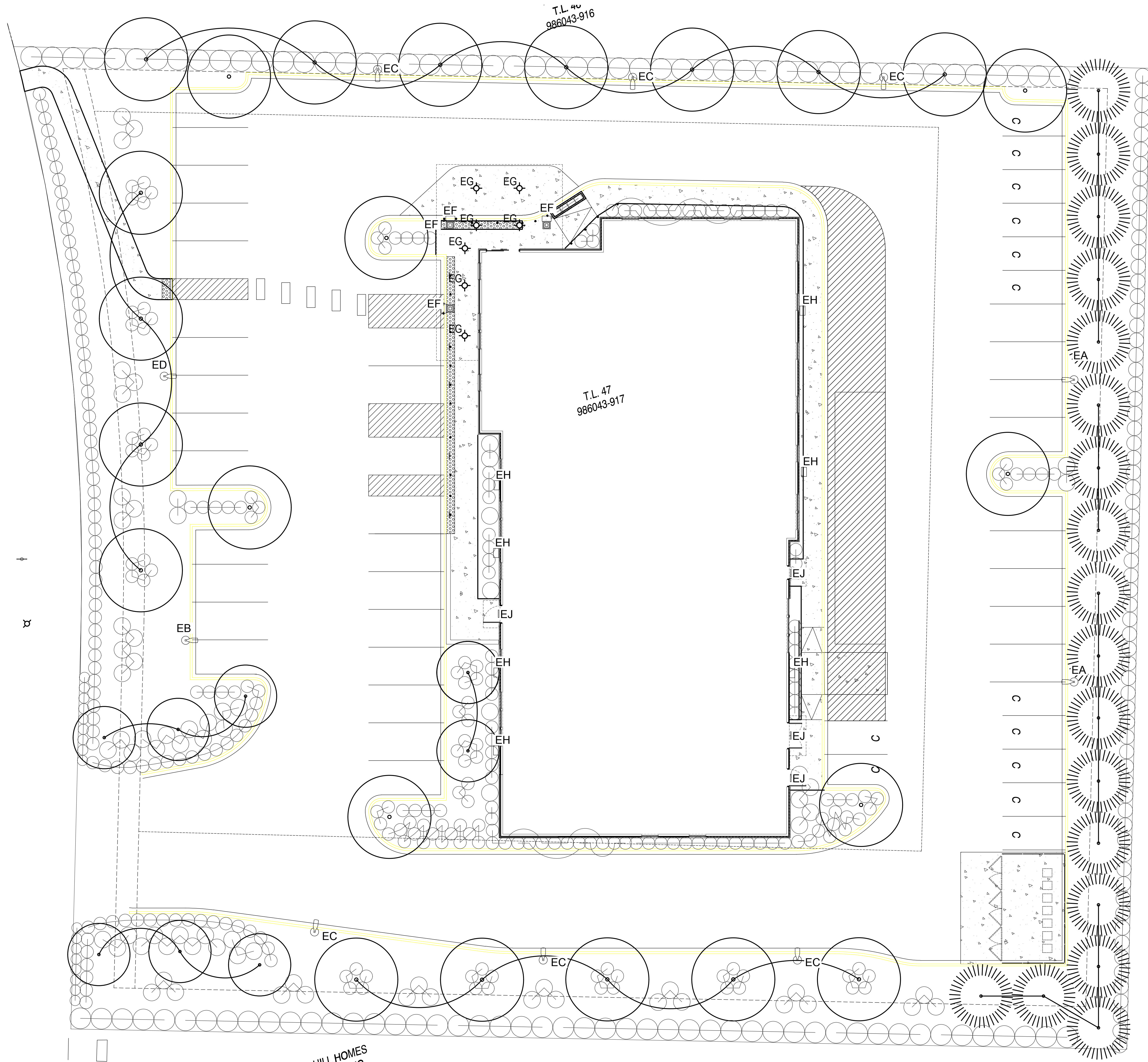
PRELIMINARY LANDSCAPE PLAN FOR:

OLSON ENGINEERING INC.
 LAND SURVEYORS
 ENGINEERS
 222 E. EVERGREEN BLVD., VANCOUVER, WA 98660



STATE OF WASHINGTON REGISTERED LANDSCAPE ARCHITECT
 MICHAEL R. ODREN
 CERTIFICATE NO. 891
 11/14/22

DESCRIPTION	DATE
CHANGES / REVISIONS	
DESIGNED: MRO	
DRAWN: MRO	
CHECKED: MRO	
DATE: OCTOBER 2022	
SCALE: H: 1" = 20' V:	
COPYRIGHT 2022, OLSON ENGINEERING, INC.	
FRESENIUS KIDNEY CARE	
JOB NO. A10326.01.01	
SHEET	
LS1.0	

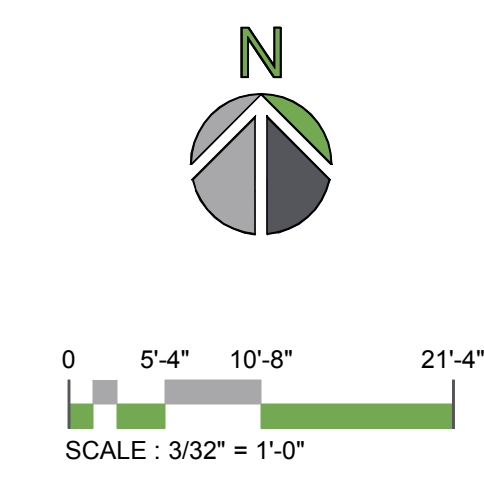


1 LIGHT POLE AND POLE BASE FOUNDATION SECTION

- NOTES:
- IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE.
 - FOUNDATION EXCAVATION SHALL BE BY 24" AUGER IN UNDISTURBED OR PROPERLY COMPACTED FILL PER SPECIFICATIONS. USE TEMPORARY SLEEVE IF REQUIRED.
 - FOUNDATION SHALL HAVE A MINIMUM ALLOWABLE END BEARING OF 2000 P.S.F. (TO BE VERIFIED BY ON-SITE GEOTECH) INCREASE BASE DEPTH AS REQUIRED.
 - EXACT LOCATIONS OF PARKING LOT LIGHTING STANDARDS SHALL BE COORDINATED WITH APPROVED ARCHITECTURAL SITE PLAN AND PARKING LOT LAYOUT.
 - ELECTRICAL CONTRACTOR SHALL INSTALL EACH LIGHTING POLE PLUMB AND TRUE.
 - IF ROCK IS ENCOUNTERED 3'-0" OR LESS FROM FINISH GRADE, SOCKET CONCRETE BASE 4'-0" INTO ROCK. IF ROCK IS ENCOUNTERED BETWEEN 3'-0" AND 5'-0" FROM FINISH GRADE, SOCKET CONCRETE BASE 2'-0" INTO ROCK. USE SQUARE FLARED BASE IN SANDY OR LOOSE SOIL.
 - 3500 P.S.I. MINIMUM 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL. CONTRACTOR TO VIBRATE CONCRETE AS REQUIRED TO REMOVE AIR POCKETS. EXPOSED SURFACES TO BE SMOOTH RUBBED FINISH.
 - ALLOW A MINIMUM OF 30 DAYS FOR CONCRETE TO CURE BEFORE INSTALLATION OF POLE AND FIXTURES.

EXTERIOR LIGHTING FIXTURE SCHEDULE					
TYPE	LAMPS		Description	Manufacturer	Model Number
	Quantity	Catalog Number			
EA	-	LED 4000K	LED SINGLE HEAD POLE LIGHT MOUNTED AT 20' AFF	LITHONIA	DSX1LED-P3-40K-8LC-MVOLT-SPA-PIRH-DOBXD
EB	-	LED 4000K	LED SINGLE HEAD POLE LIGHT MOUNTED AT 20' AFF	LITHONIA	DSX1LED-P3-40K-TFM-MVOLT-SPA-PIRH-HS-DOBXD
EC	-	LED 4000K	LED SINGLE HEAD POLE LIGHT MOUNTED AT 20' AFF	LITHONIA	DSX1LED-P2-40K-T4M-MVOLT-SPA-PIRH-HS-DOBXD
ED	-	LED 4000K	LED SINGLE HEAD POLE LIGHT MOUNTED AT 20' AFF	LITHONIA	DSX1LED-P6-40K-TFM-MVOLT-SPA-PIRH-HS-DOBXD
EF	-	LED 4000K	WALL MOUNTED LED LIGHT MOUNTED AT 10' AFF	SILIMONIX	SLIM20NLC
EG	-	LED 4000K	RECESSED 6" LED DOWNLIGHT WITH EMERGENCY VIA INVERTER	GOTHAM LIGHTING	EV06-4015-AR-WD-LSS-MVOLT-GZ10
EH	-	LED 4000K	WALL MOUNTED LED LIGHT MOUNTED AT 13' AFF	RAB LIGHTING	SLIMFC62N
EJ	-	#84LM 5000K LED	EXTERIOR MILLION SIDE MOUNTED RECESS FIXTURE WITH REMOTE MOUNTED DRIVER	EXTRONIX	NFS-WB-10L-MWM-BK-G2

ALL WALL MOUNTED EXTERIOR BUILDING, CANOPY AND SITE LIGHTING SHALL BE CONTROLLED VIA LIGHTING CONTROL PANEL. SEE SCHEDULE FOR FURTHER INFORMATION.
POLE LIGHTING SHALL BE FURNISHED WITH SQUARE POLE LITHONIA 'SSS-18-DM(AS REQUIRED)-DBL'.



ELECTRICAL SITE PLAN

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF THE ENGINEER OF RECORD. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

Prepared By: Michael Paul Hanbeck, P.E.
Washington License # 55866
Expires: September 9, 2022
ENGINEER



CKA REGISTRATION # 603-144-883

Proposed Medical Office Building for:
FKC - Camas
3409 NW Camas Meadows Drive
Camas, Washington 98607



These drawings, as instruments of service, remain the property of the Architect or Engineer. Any changes, publication, or use of any kind is prohibited unless expressly authorized by said party. Copyright 2022.

Drafted By: BGG
Checked By: BGG
Date Drafted: 09/20/2022
Project #: 22003-01

#	DATE	REVISION DESCRIPTION

E2.2

Item 1.



2020 Aerial Photography

Account: 986043917
Owner: VESTCAPITAL FUND II LLC
Address: 315 GRAND BLVD STE 200
C/S/Z: VANCOUVER, WA 98661

Printed on: June 28, 2022



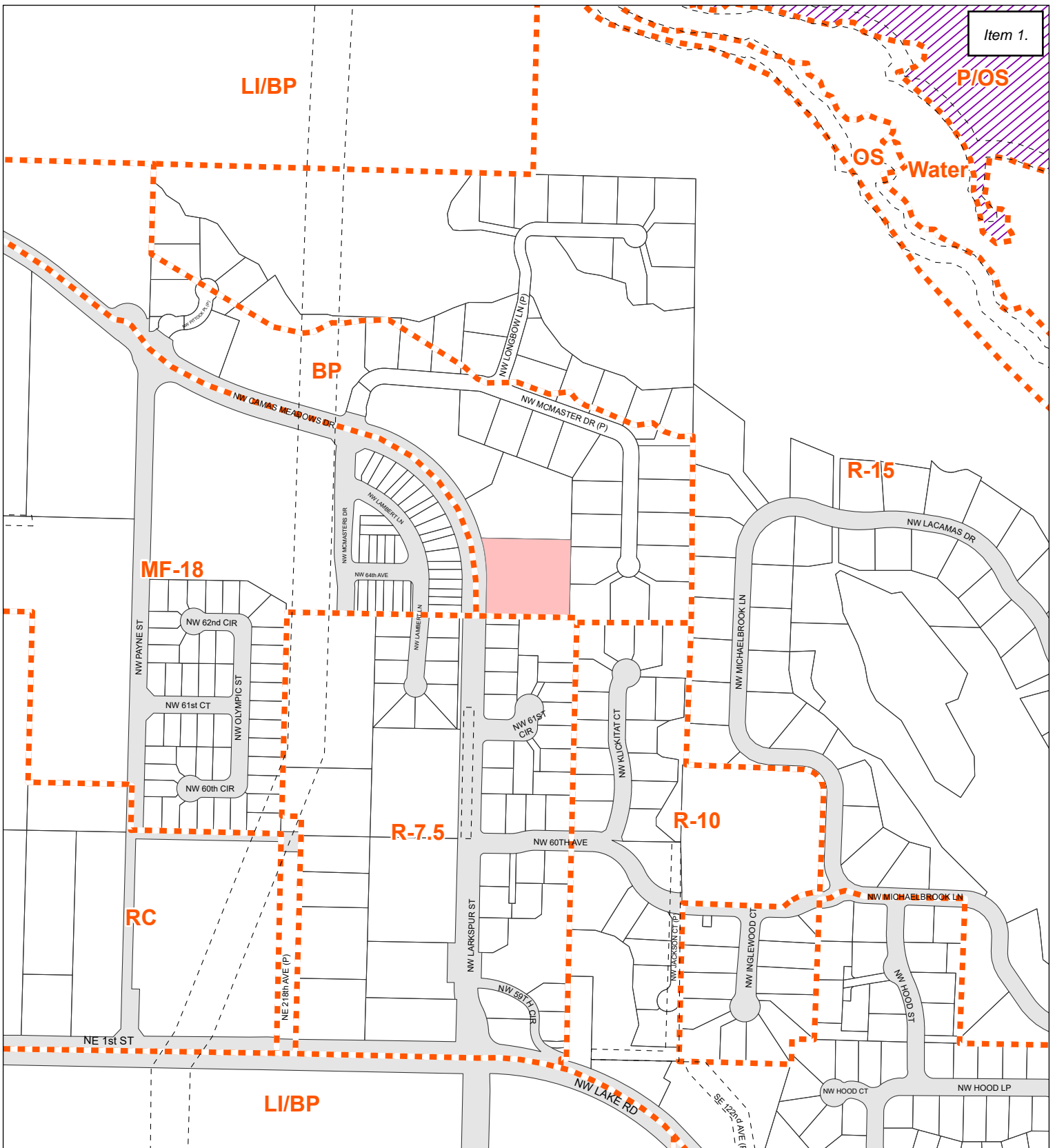
Geographic Information System

0 200 400 Feet

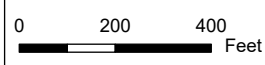
 Subject Property(s)

23120	23121	23122
23129	23130	23127
23132	23133	23134

Information shown on this map was collected from several sources. Clark County accepts no responsibility for any inaccuracies that may be present.



Item 1.



Information shown on this map was collected from several sources. Clark County accepts no responsibility for any inaccuracies that may be present.

Zoning Designations

Account: 986043917
 Owner: VESTCAPITAL FUND II LLC
 Address: 315 GRAND BLVD STE 200
 C/S/Z: VANCOUVER, WA 98661

- Subject Property(s)
- Public Road
- Transportation or Major Utility Easement
- Zoning Boundary
- Urban Holding - 10 (UH-10)
- Urban Holding - 20 (UH-20)
- Urban Holding - 40 (UH-40)
- Surface Mining Overlay District

Printed on: June 28, 2022

23120	23121	23122
23129	23130	23127
23132	23133	23134



Community Development Department
 616 NE Fourth Avenue Camas, WA 98607

Item 1.

Design Review Checklist- DR22-09 Fresenius Kidney Care Camas

The purpose of this sheet is to provide a simplified and expedited review of the design review principles and guidelines using objective review standards. The standards are intended as tool for the decision-maker in making findings that the proposal either achieves compliance with the intent of the principles or reasonably mitigates any conflict. When reviewing the check sheet, the proposal should as a whole “comply” with the standards and thus be generally consistent with the overriding principles. [Yes = In Compliance; No = Not In Compliance; NA = Not Applicable]

Standard Principles and Guidelines

ARCHITECTURE				
Yes	No	NA	Principles and Guidelines	Comments
			Corrugated materials, standing seam, T-1 11, or similar siding materials are avoided unless it produces a high visual (or aesthetic) quality.	
			Buildings walls or fences visible from roadways are articulated in order to avoid a blank look.	
			The use of bold colors has been avoided unless used as minor accents.	
			Higher density/larger structures abutting lower density residential structures have been designed to mitigate size and scale differences.	
LANDSCAPING AND SCREENING				
Yes	No	NA	Principles and Guidelines	Comments
			Vegetation for landscaping includes native, low maintenance plantings. Significant trees are retained if feasible.	
			Trees planted along streetscapes with overhead power lines include only those trees identified on the City’s Tree list.	
			Landscaping, including trees, shrubs, and vegetative groundcover, is provided to visually screen and buffer	

DESIGN REVIEW CHECKLIST

Item 1.

			the use from adjoining less intense uses including parking.	
			Proposed fencing is incorporated into the landscaping so as to have little or no visual impact.	
			Signs located on buildings or incorporated into the landscaping are unobtrusive and vandal resistant. If illuminated they are front lit.	
			Landscape lighting - low voltage, non-glare, indirect lighting is directed, hooded or shielded away from neighboring properties.	
			Street lighting (poles, lamps) is substantially similar or architecturally more significant than other street lighting existing on the same street and do not conflict with any City approved street lighting plans for the street.	
			Parking and building lighting is directed away from surrounding properties through the use of hooding, shielding, siting and/or landscaping.	
			Outdoor furniture samples are consistent with the overall project design.	
			Existing trees over 6" dbh that are not required to be removed to accommodate the proposed development are retained and incorporated into the landscape plan.	
			Rock outcroppings, forested areas and water bodies are retained.	
HISTORIC AND HERITAGE PRESERVATION				
Yes	No	NA	Principles and Guidelines	Comments
			The use of Historic Markers, information kiosks, project names, architectural features, or other elements of the project promote the historic heritage of the site or surrounding area.	

DESIGN REVIEW CHECKLIST

Item 1.

Specific Principles and Guidelines

COMMERCIAL & MIXED USES				
ARCHITECTURE				
Yes	No	NA	Principles and Guidelines	Comments
			Office and retail buildings provide a minimum solid to void ratio of 60%/40%	
			The development is built with a residential feel (i.e. size, scale, and materials compatible with neighboring buildings) if surrounded by residential areas or adjacent to residentially zoned properties.	
			Buildings over two stories have the third story and above offset from the first two stories, if surrounding developments are less than three stories or land use designations on adjacent zones do not allow more than three story development.	
LANDSCAPING & SCREENING				
Yes	No	NA	Principles and Guidelines	Comments
			Intersections are illuminated, but not dominated by lighting. Lighting is incorporated into the landscape and illuminates the quality of the natural environment. Street light poles and lamps are compatible with other nearby lighting on the same street.	
			Parking spaces are clustered in small groupings and separated by landscaping to create a pedestrian friendly, park like environment.	
STREETSCAPE				
Yes	No	NA	Principles and Guidelines	Comments
			On-site parking areas are located to the interior of the development unless site development proved prohibitive.	
			Parking areas are screened with landscaping.	
			Buildings are placed close to streets and roads unless site constraints made it impossible, or characteristics of the surrounding properties already developed made it	

DESIGN REVIEW CHECKLIST

Item 1.

		incompatible. Otherwise, retail frontage setbacks do not exceed 25 feet from back of curb.	
		Window and door placement provides a high degree of transparency at the lower levels of the building and maximize visibility of pedestrian active uses.	
		Each use/activity in a development containing multiple uses/activities is integrated in a manner that achieves a seamless appearance or creates a cohesive development.	
		Watering system will maintain proposed landscaping for a period to ensure that plants are well established.	
		New streets intersecting commercial properties are designed to create a safe environment. "Coving" techniques and "round-a-bouts" were considered for traffic calming when appropriate.	