



## **Design Review Committee Meeting Agenda Wednesday, September 21, 2022, 4:00 PM REMOTE MEETING PARTICIPATION**

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*NOTE: The City welcomes public meeting citizen participation. TTY Relay Service: 711. In compliance with the ADA, if you need special assistance to participate in a meeting, contact the City Clerk's office at (360) 834-6864, 72 hours prior to the meeting so reasonable accommodations can be made (28 CFR 35.102-35.104 ADA Title 1)*

### **To Participate Remotely:**

#### **OPTION 1 -**

1. Go to [www.zoom.us](https://www.zoom.us) and download the app or click "Join A Meeting" and use Meeting ID – 923 9874 7239
2. Or, from any device click <https://zoom.us/j/92398747239>

#### **OPTION 2 - Join by phone (audio only):**

1. Dial 877-853-5257 and enter meeting ID# 923 9874 7239

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### **CALL TO ORDER**

### **ROLL CALL**

### **INTRODUCTIONS**

### **MEETING ITEMS**

1. Hudson East Multifamily (DR22-05)

Presenter: Lauren Hollenbeck, Senior Planner

### **CLOSE OF MEETING**



## STAFF REPORT

Hudson East Mixed-Use building

Major Design Review (DR22-05)

Related File: SPRV21-07

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<u>TO</u>	Design Review Committee
<u>FROM</u>	Lauren Hollenbeck, Senior Planner
<u>LOCATION</u>	404 NE 6 <sup>th</sup> Avenue Parcel Number 79150000
<u>APPLICANT</u>	Hudson East Living, LLC Cascadia Development Partners David Copenhaver 360-907-0062

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APPLICABLE LAW: This land use application submitted October 28, 2021 and resubmitted December 17, 2021, and the applicable codes are the codes that were in effect at the date of application. Camas Municipal Code (CMC) chapters include Title 17 Land Development and Title 18, specifically (but not limited to): Chapter 18.11 - Parking, Chapter 18.13 - Landscaping, Chapter 18.18 - Site Plan Review, Chapter 18.19 Design Review, and Chapter 18.55 Administrative Procedures.

### Summary

The applicant is currently seeking design review approval for the construction of 4-story mixed use building containing ground floor commercial space with approximately 56 apartment units above in the Downtown Commercial (DC) zone. Below grade parking is provided behind the building, which is accessed from NE Cedar Street, with additional on-street parking provided adjacent to the site.

The project site is bordered on the north by NE 6<sup>th</sup> Avenue, to the west by NE Cedar Street, and east by NE Dallas Street, and to the south by commercial uses. Two existing buildings and an associated parking lot currently occupy the site and will be demolished. The site is primarily a grassy field that slopes downward from the northeast to southwest with sparse trees and shrubs at the perimeter.

The project previously received Site Plan Review approval on April 13, 2022.

### Purpose

Design Review is required under CMC Chapter 18.19. Design review is not intended to determine the appropriate use on a parcel but rather review a proposed development for compliance with City codes and plans related to landscaping, architectural elevations, and other elements relative to required improvements. The recommendations from the Design Review Committee (DRC) must

consider the design review standards from the Design Review Manual, the Downtown Design Manual and the Camas Municipal Code (CMC). An enclosed checklist is to help guide you in your review but refer to the manual for specific details regarding the standards.

**Standard and Specific Commercial & Multi-Family Design Principles and Guidelines, including the Downtown Design elements**

The standard and specific commercial & multi-family principles and guidelines, including the Downtown Design elements, are required and must be demonstrated to have been satisfied in overall intent for design review approval. The design guidelines are developed to assist a project in meeting the established principles and each guideline should be adequately addressed. If the proposal cannot meet a specific guideline, then an explanation should be provided by the applicant as to why and how it will be mitigated to satisfy the intent of the design principles. The development guidelines include five major categories: 1) Landscaping and Screening, 2) Architecture, 3) Massing and Setbacks, 4) Historic & Heritage Preservation, and 5) Circulation and Connections.

**The Design Review Checklist is enclosed to help guide the DRC in reviewing the standard applicable specific design review principles and guidelines. *In addition, the Downtown Design manual is also enclosed for reference.***

**Recommendation**

That the Design Review Committee reviews the submitted materials, deliberates, and forwards a recommendation to staff for a final decision.



SITE PLAN FOR:  
**HUDSON EAST**  
A SITE LOCATED IN THE CITY OF CAMAS, WASHINGTON

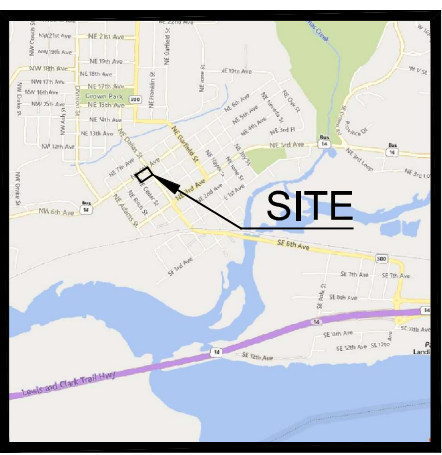


PRELIMINARY

DESIGNED:  
TLS  
CHECKED:  
JBA  
OCT 2021  
71710.001

SHEET ID  
**SP00**  
4

SHEET 4 OF 23



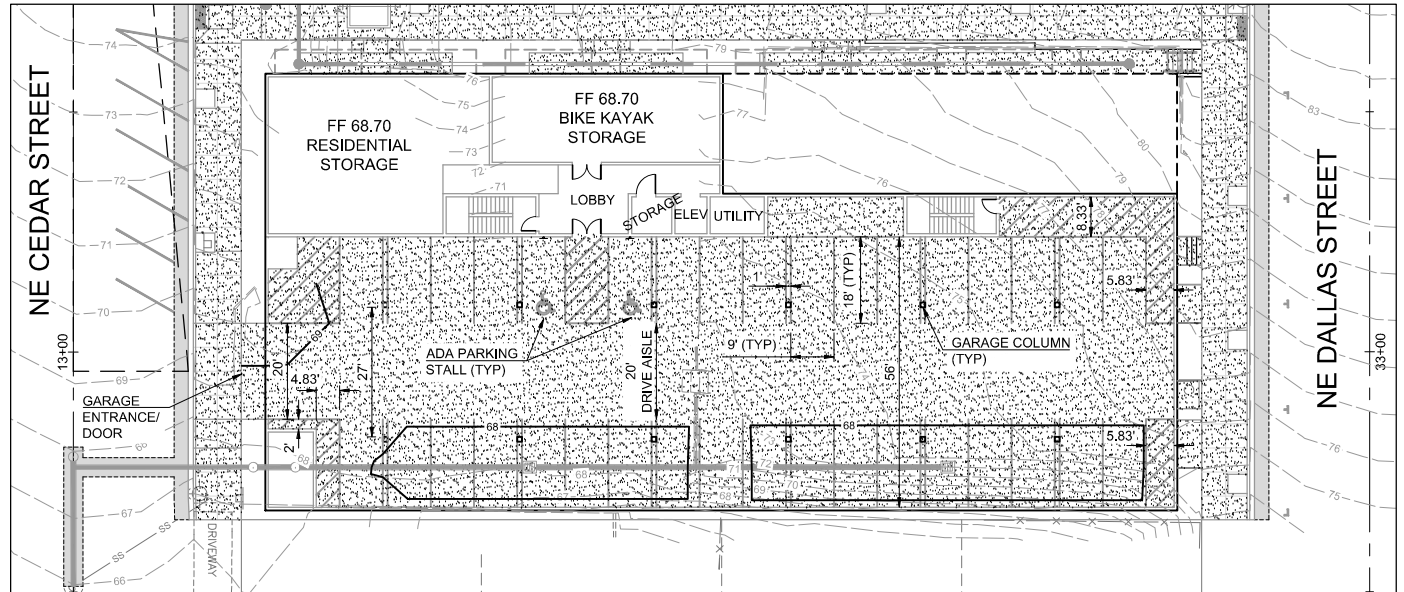
VICINITY MAP  
NOT TO SCALE

PROJECT DESCRIPTION:

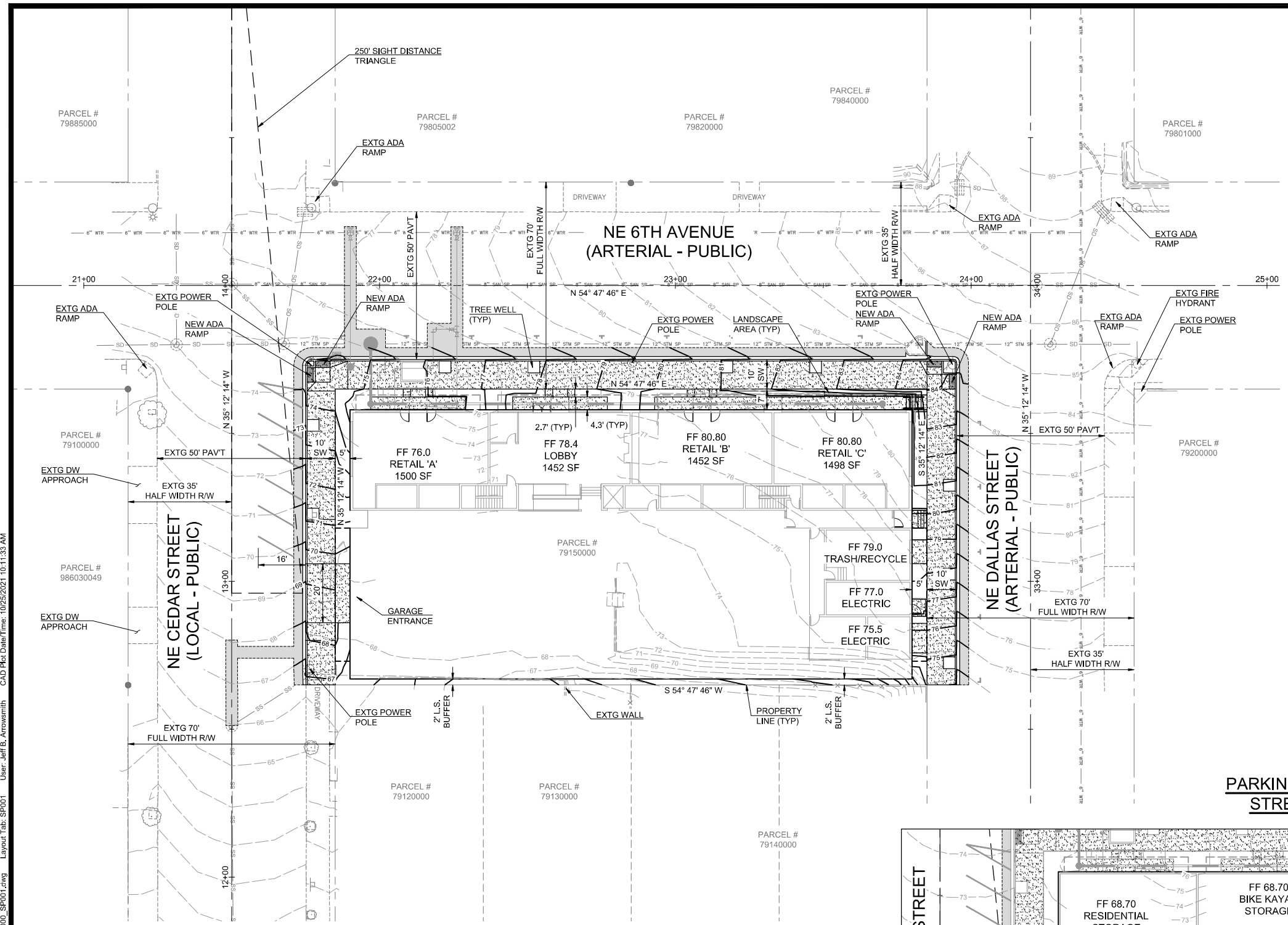
THIS PROJECT IS FOR THE DEVELOPMENT OF HUDSON EAST, AN APARTMENT COMPLEX AT 404 NE 6TH AVENUE (PARCEL # 79150000), LOCATED IN CAMAS, WA. THIS PROPERTY CONSISTS OF APPROXIMATELY 20,000 SF (0.46 AC) OF LAND AREA, TWO EXISTING BUILDINGS, AND A GRAVEL PARKING AREA. THE SITE IS TO BE RE-DEVELOPED AS A MIXED-USE BUILDING WITH A COMMERCIAL COMPONENT AND AN APARTMENT COMPLEX. THE BUILDING WILL BE 4-FLOORS WITH ONE LEVEL OF PARKING UNDER THE BUILDING. THE PROJECT WILL PROVIDE AN INGRESS / EGRESS DRIVEWAY FOR THE UNDERGROUND PARKING GARAGE OFF CEDAR, STREET LEVEL ENTRY INTO THE BUILDING ALONG THE WEST, AND EAST SIDES OF THE SITE, AND ASSOCIATED UTILITIES.

	EXISTING		PROPOSED	
	AREA (SF)	AREA (AC)	AREA (SF)	AREA (AC)
PERVIOUS	8301	0.19	1782	0.04
IMPERVIOUS	11703	0.27	18222	0.42
TOTAL	20004	0.46	20004	0.46

PARKING - GARAGE  
STREET PLAN



PRELIMINARY  
SUBJECT TO AGENCY REVIEW  
NOT FOR CONSTRUCTION



SITE INFORMATION:

PARCEL SERIAL #S: 79150000  
PARCEL SIZE: 20,000 SF / 0.46 AC  
SITE IMPROVEMENTS: NEW BUILDING, PARKING LOT, UTILITIES LANDSCAPING, STORMWATER FACILITIES AND PUBLIC SIDEWALK IMPROVEMENTS.  
ZONING: DOWNTOWN COMMERCIAL (DC)  
COMP PLAN DESIGNATION: COMMERCIAL (COM)  
NEIGHBORHOOD: N/A  
SCHOOL DISTRICT: CAMAS  
SEWER DISTRICT: CAMAS  
WATER DISTRICT: CAMAS  
SOIL TYPE(S): OIE (OLYMPIC CLAY LOAM), 60% OF PARCEL  
FN (FILL LAND), 40% OF PARCEL  
HYDRIC SOILS: NON-HYDRIC, VERY LOW LIQUEFACTION SUSCEPTIBILITY  
SLOPE(S): 5-10% ON 40% OF PARCEL, 10-15% ON 60% OF PARCEL  
LANDSLIDE HAZARDS: NO MAPPING INDICATORS  
SLOPE STABILITY: NO MAPPING INDICATORS  
FLOOD HAZARD AREA: OUTSIDE FLOOD AREA  
PRIORITY SPECIES: NO MAPPING INDICATORS  
PRIORITY HABITAT: NO MAPPING INDICATORS  
ARCHAEOLOGICAL PREDICTIVE: HIGH, 5% OF PARCEL  
MODERATE-HIGH, 95% OF PARCEL

ZONE: DC (DOWNTOWN COMMERCIAL)  
LOT AREA: 20,000 SF  
STORIES: 4 + BASEMENT GARAGE

PROGRAM	
STUDIOS:	(7) 530 - 575 SF
1-BED:	(35) 650 - 720 SF
2-BED:	(14) 910 - 920 SF
TOTAL UNITS:	(56) 39,490 SF
RETAIL:	4,458 SF
BASEMENT:	14,923 SF
GROSS AREA:	73,054 GSF
- BASEMENT:	58,131 SF
TENANT AREA:	43,948 SF
EFFICIENCY:	75.6%

PARKING  
FIRST FLOOR: RETAIL = 18 PS, (1) STUDIO, (3) 1-BEDS = 5 PS (100%)  
SECOND FLOOR: (2) STUDIOS, (11) 1-BED, (4) 2-BED = 13 PS (50%)  
THIRD FLOOR: (2) STUDIOS, (11) 1-BED, (4) 2-BED = 7 PS (25%)  
FOURTH FLOOR: (2) STUDIOS, (11) 1-BED, (4) 2-BED = 7 PS (25%)  
REQUIRED: 50 SPACES  
PROVIDED: 51 SPACES (35 ON-SITE, 16 ON-STREET)



CITY OF CAMAS

DESIGN REVIEW NARRATIVE

# HUDSON EAST

A MIXED USE DEVELOPMENT

Applicant and Developer:

Hudson East Living, LLC

C/O Cascadia Development Partners, LLC

610 Esther Street, Suite 202

Vancouver, WA 98660

David Copenhaver

(360) 907-0062



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## INTRODUCTION & SUMMARY

This narrative is provided in support of Cascadia Development Partners' (the "Applicant") application for Design Review to develop Hudson East (the "Project"), a mixed-use development in downtown Camas. The Applicant's proposal includes plans to redevelop a half city block with 56 above grade apartment units, below grade parking accessible via Cedar Street, and retail spaces lining NE 6<sup>th</sup> Avenue. The roof deck and eco-roof area located atop the parking garage, as created by a building recessed area, is designed to bring natural light to levels 1 through 4 which will provide an outdoor space for the residents to enjoy. The Project will include landscaping, lighting, utilities, and pedestrian amenities such as wide sidewalks, bike racks and outdoor seating opportunities. The proposed building includes a variety of architectural features, such as a varied color and material palate, large canopy projections on the ground floor and a variety of balconies.

## PROJECT LOCATION

The Project site is located at 404 NE 6th Avenue on Clark County parcel ID 79150-000. It is owned by Hudson East Living, LLC and totals .46 acres/20,000 square feet. The site is bounded by NE Cedar Street (West), NE 6th Avenue (North), NE Dallas St. (East), with existing commercial properties to the south. The property is located in the NW ¼ of Sec. 11, T1N, R3E.

## PROPERTY BACKGROUND

GeoDesign/NV5 conducted a detailed background analysis as part of their environmental report. Based on their findings and review of historical sources, the project site was developed for religious institutional use by 1912 when the First Christian Church was constructed on the southwest portion of the Project site. In the late 1950's the education and administrative building was constructed, which is used for Sunday School and other church-related events.

The surrounding properties are a diverse blend of commercial, retail and residential uses. Adjacent uses include the following:

- North – Brester Dentistry, Camas Acupuncture and a duplex
- South – Camas Bike and Sport, Camas Auto & Exhaust
- West – Squeeze & Grind, Naturally Healthy Pet Store
- East – Union Hall facilities and associated parking lot

## SITE DESCRIPTION

### Zoning & Comprehensive Plan

The subject site is zoned Downtown Commercial (DC) with a Comprehensive Plan designation of Commercial Mixed Use (COM). There are no zoning overlays on this property.

### Existing Conditions/Structures

The site consists of two buildings and an associated parking lot. The church is a three-story, including daylight basement, wood-framed structure that encompasses approximately 7,113 square feet. The education building is a three story, including daylight basement, brick structure that was constructed between 1956 and 1957 and encompasses approximately 4,606 square feet. All structures will be demolished prior to construction.

## PROJECT DESCRIPTION

### Mixed Use Development

#### Residential

Fifty-six residential units proposed with an average unit size of 740 SF. The units will range from studios to 2 bedrooms and range in size from 483 SF to 960 SF. The goal is to accommodate a market mix of renters that will support social and economic diversity within Downtown Camas community.

#### Retail/Commercial/Office/Service

Nearly 4,500 SF of leasing area is proposed on the ground floor facing NE 6th Avenue and wrapping the corners along Cedar Street and Dallas Street.

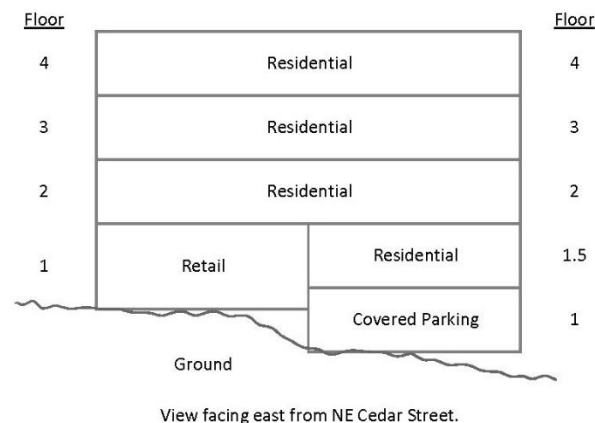
### Building Details

The retail area fronts NE 6th Avenue and is divided into three spaces (identified as retail space A, B, & C on the site plan) and can be further divided to meet individual tenant needs. The retail façades provide full height glazing to activate the building and its pedestrian connection within the downtown core as well as take advantage of natural light. The developer has extensive experience with retail development and has designed the depth and height of the spaces to accommodate a variety of retail and/or service uses. Deep canopy overhangs screen tenants from harsh direct light in the summer and provide rain protection during the rainy seasons. The retail spaces were designed to integrate and activate the existing business corridor with glazing for maximum exposure around the corners of the building along Cedar and Dallas Street.

The apartment lobby entrance is centrally located on the north face of the building with pedestrian access to NE 6<sup>th</sup> Avenue for the residential units. The leasing office, dog wash and elevator are located adjacent to the lobby and

retail spaces. Beyond the ground floor, residents can utilize the resident community room, roof deck, eco roof and residential units.

The parking garage is located on the south two-thirds of the basement floor of the building with a single vehicular entrance on Cedar Street. Due to the sloping topography of the site, the Applicant is will need to excavate the west end of the parking garage, however, the existing daylight basements together with the excavated parking, further excavation will be minimal . Although the subsurface parking will be situated across one plan, the topography of the surrounding streets will result in the east half of the parking garage sitting below grade along Dallas Street and the west half above grade at Cedar Street. In the parking garage, 35 spaces are proposed along with a bike/kayak storage room, storage units for residential tenants and access via an elevator and stairwell. Inside the building on the basement level, a lobby is located north of the parking area with elevator access to the upper floors. Please see the building section provided below.



## CMC 18.19 - DESIGN REVIEW

The City's Design Review regulations are provided for in CMC 18.19. Section 18.19.050 establishes standard and specific design principles. This section provides:

### CMC 18.19.050(A) Standard Principles

1. *Landscaping shall be done with a purpose. It shall be used as a tool to integrate the proposed development into the surrounding environment.*

**The Applicant is providing significant landscaping on all street frontages, along the sides of the building and behind the parking garage to the south. A 5' L2 landscape buffer is proposed on the east and west sides of the Project. A 2' landscape buffer will be provided to the south.**

**On the north, east, and west sides of the Project, additional landscape areas of greenspace abut the building to help soften the building lines and enhance the environment along the ground-floor where the commercial/retail is planned. Boston Ivy is proposed on the south side of the Project along the building wall. Boston Ivy naturally attaches to the concrete face without causing damage and provides visual**



interest as it transitions in color with the seasons—from green in the spring and summer to red in the fall and winter.

The Applicant will plant nine perimeter street trees with ADA tree grates meeting the Downtown Design Manual standards. The identification of existing trees and trees proposed to be planted, including their species, is provided in the landscape plan prepared by PBS Engineering.

2. *All attempts shall be made at minimizing the removal of significant natural features. Significant natural features shall be integrated into the overall site plan.*

Because of the development history of the site, and the limited amount of vegetation, and surrounding urban activity, the subject area is a low-quality habitat and provides little functional value for native flora and fauna. The site does not currently contain any trees. The site frontages along Dallas and 6<sup>th</sup> Streets do not currently have street trees. There are two existing street trees on Cedar Street, however, due to the topography of the site, the Project needed to place the garage door opening where one of the trees is located, and therefore it must be removed. In order to create a cohesive building frontage, the second tree will be replaced to match those which will be installed around perimeter of the Project.

The Project contains an outdoor deck that is a centrally located along with an eco-roof designed to provide a garden-like setting and elevate the outdoor experience. The eco/green roof will protect the building from direct solar heat, reducing the urban heat island effect, as well as minimize heat loss through added insulation on the roof.

3. *Buildings shall have a "finished" look. Any use of panelized materials shall be integrated into the development in a manner that achieves a seamless appearance.*

The proposed building mass, materials, and details will be compatible with the surrounding downtown area while also providing visual interest and individual character. The selection of durable exterior materials will include brick, concrete, simulated stucco, and composite lap siding all with natural colors that will complement the neighboring buildings. All main public entrances will front NE 6<sup>th</sup> Avenue with plenty of glazing facing the three street frontages to maximize retail exposure.

4. *A proposed development shall attempt to incorporate or enhance historic/heritage elements related to the specific site or surrounding area.*

Along its façade, the Project will utilize brick to create an architecturally timeless feel. To honor the history of the Project site, the Applicant will install a plaque either on an exterior wall of the building visible from a public sidewalk or embedded within the sidewalk, noting the development history of the site. Applicant provided a similar plaque in one of its downtown Vancouver developments honoring the legacy of the Holland restaurant, the birthplace of Burgerville.

## CMC 18.19.050(B)(2) Specific Principles – Commercial and Mixed Uses

- a. *On-site parking areas shall be placed to the interior of the development unless site development proves prohibitive. All on-site parking areas along adjacent roadways shall be screened with landscaping. Downtown commercial and mixed-use areas shall not be required to provide on-site parking.*

The parking garage is located within the building, surrounded by walls to the north, east, and south with vehicular access to the west via Cedar Street. These walls are designed to provide a visually pleasing

separation along with landscaping elements to further enhance the design. For additional details, refer to the elevations and landscape plans.

- b. *Buildings shall be used to define the streetscape unless site conditions prove prohibitive.*

The Project's ground floor uses are compatible with the surrounding built, dense urban environment. The existing adjacent users are commercial users and one duplex. The new residents and tenants of this project will further support the economic viability of these businesses. The NE 6<sup>th</sup> Avenue retail component of this project has been designed to promote access for pedestrians and mass transit passengers, the closest public bus stop is only two blocks west. The building's exterior contains elements designed to enhance the pedestrian environment that include sidewalks, attractive refuse bins, functional and decorative lighting, rain protection, landscaping and architectural detailing that complements the existing downtown charm that Camas is known for.

- c. *Structures abutting, located in, or located near less intensive uses or zoned areas (such as commercial developments next to residential areas) shall be designed to mitigate size and scale differences.*

The parcel that the Project will be constructed upon contains two vacant commercial buildings with a large unpaved parking lot. There are no open spaces adjacent to the Project in any direction. The property abuts a two-story brick retail building and a single-story auto shop to the south. To the west, across Cedar Street there is a single-story coffee drive-thru and to the east, across Dallas Street is a 30 stall parking lot servicing an adjacent office building. To the North, and across NE 6<sup>th</sup> Avenue, there is a two-story brick commercial building and single-story duplex.

The razing of the existing buildings onsite and reconstruction of the proposed Project will not change the site's relationship to nearby buildings and open space, as no true open space exists. The vertical scale of the new building will be taller than the existing buildings, but well within the height restrictions provided for in the City's zoning code and the architectural styles will be cohesive and complementary to the surrounding buildings. The Project reflects the vibrancy of downtown and contributes to furthering the variety of downtown uses and buildings. The property's zoning allows for multifamily structures and the City's density goals will be furthered by this project.

- d. *Developments containing a multiple of uses/activities shall integrate each use/activity in a manner that achieves a seamless appearance, or creates a cohesive development.*

All main public entrances for the lobby and the retail spaces will front NE 6<sup>th</sup> Avenue with plenty of glazing facing the three street frontages.

- e. *Mixed-use developments that place uses throughout the site (horizontal development) shall organize elements in a manner that minimizes their impact on adjacent lower intensity uses.*

The residential lobby entrance is centrally located on the north face of the building with pedestrian access to NE 6<sup>th</sup> Avenue. The leasing office, dog wash and elevator are located adjacent to the lobby and retail space, and will be accessible from the internal parking garage. The retail area fronts NE 6<sup>th</sup> Avenue as well and creates a cohesive frontage with the tastefully decorated and furnished residential lobby.

- f. *Walls shall be broken up to avoid a blank look and to provide a sense of scale.*

The south elevation is set back above the parking garage with brick clad "bookends" framing a further recessed wall with lap siding. The east and west elevations are broken into two masses separated by

recessed windows. There is also a mix of brick, stucco panels and concrete to help break down the massing. The south elevation facing NE 6<sup>th</sup> Avenue has a brick base with stucco panels above. All elevations have windows and balconies and a mix of materials that creates a sense of scale and avoids blank walls.

*g. Outdoor lighting shall not be directed off-site*

The Project will only produce light and glare ordinary to residential and commercial uses. The proposed landscape lighting, interior lights and exterior building lights will be used mainly during non-daylight hours. In the late hours, the light sources will be primarily for safety and aesthetic purposes. Pedestrian oriented lights on the street and on the building are encouraged to enhance pedestrian safety. Lighting for the parking garage was designed primarily to keep residents safe. Further effort was made to ensure the offsite glare won't affect neighboring properties.

## CITY OF CAMAS DOWNTOWN DESIGN MANUAL

The Downtown Design Manual is intended to provide a high degree of landscape amenities, tree lined streets, attractively landscaped frontages, screening of service areas, street furnishings, and pedestrian areas as part of a unified design.

### Streetscape Elements (D)

#### 1. Planting Design

*(a) On-site plantings that abut the public right of way shall provide multiple layers of plantings, including canopy trees, understory trees, shrubs and groundcover. Seasonal interest is encouraged to be enhanced through the use of plant materials that provide seasonal color, fragrance, and specimen plant materials.*

Street trees are planned around three sides of the development. A planting strip for Boston Ivy is proposed to soften the exterior wall that abuts the southern property line. Various shrubs, ground cover and grasses are sprinkled throughout the Project to create depth, texture and color. Please refer to landscape plan prepared by PBS Engineering for additional details.

*(b) Landscape materials shall be installed per Appendix D. Landscaping should not exceed 30" high on corners.*

Street trees will be provided along the perimeter of the property, providing seasonal color along with a variety of shrubs meant to serve as a screen and soften the building. The intended plan will meet or exceed Appendix D and the City of Camas Design Standards Manual.

*(c) Hanging baskets shall be installed so that the bottom of the basket is a minimum of 80 inches (6'8") above the finished grade of the public sidewalk. An exception to this is provided when an effective barrier such as a raised planter box, potted plant, or other physical barrier is located on the ground in such a way as to effectively mitigate a hazard created by the hanging basket.*

No hanging baskets are currently planned for this project. The Applicant will participate in any City-run or downtown business organization programs intending to provide hanging baskets along the building frontage in the future.

*(d) All plant materials shall meet or exceed specifications established by the American Association of Nurserymen for nursery stock, and be suitable for the climatic conditions encountered in Camas, Washington.*

All plant materials will meet or exceed specifications established by the American Association of Nurserymen for nursery stock and be suitable for the climatic conditions encountered for Camas, Washington.

*(e) A landscape maintenance plan per the American Association of Nurserymen's standards, and approved by the City of Camas, shall be recorded as a covenant on the project parcel for landscaping located on private property*

A landscape maintenance plan per the American Association of Nurserymen's standards, and approved by the City of Camas, will be recorded as a covenant on the Project parcel for landscaping located on private property if deemed necessary for this project by City staff.

## 2. Irrigation Design

*(a) All landscape plantings shall be irrigated with an automatic, underground irrigation system designed with water conservation in mind. Utilization of techniques such as separate water zones based on soil type, sun exposure, and plant water requirements are encouraged. Hanging baskets and individual planter pots may be hand watered. All irrigation materials located within the public right-of-way shall utilize the materials and construction techniques as listed in Appendix D and the City of Camas Design Standards Manual.*

All landscape plantings will be irrigated with an automatic, underground irrigation or drip system designed with water conservation in mind. All irrigation materials located within the public right-of-way, if any, will utilize the materials and construction techniques as listed in Appendix D and the City of Camas Design Standards Manual and as noted in the landscape plans.

## 3. Street Trees

*(a) Trees selected for use as street trees shall be long-lived species possessing qualities suitable for an urban streetscape including branching characteristics, rooting characteristics, disease resistance, and nonfruiting. Street Trees shall be selected from Appendix "C" or the Camas Design Standard Manual (This manual is available online at <http://www.ci.camass.wa.us/pworks/engforms.htm>).*

The street trees proposed are suitable for the busy urban streetscape and meet Appendix "C" or the Camas Design Standard Manual.

*(b) Street trees shall be a minimum of 2-inch caliper, fully branched, and staked at the time of planting.*

Street trees will be a minimum of 2-inch caliper, fully branched, and staked at the time of planting.

*(c) Street Trees shall be maintained to provide eight feet of clearance area under the canopy at the sidewalk and 10 feet of clearance at the street, per Figure 3.*

**Street trees will be maintained to provide 8 feet of clearance area under the canopy at the sidewalk and 10 feet of clearance at the street. If this is not possible, a species of tree will be selected for which the canopy does not exceed a footprint beyond that of the accompanying tree grate. The Applicant will endeavor to pursue the highest possible under-canopy clearance for street trees.**

*(d) Street trees shall be planted on all street frontages at minimum 30 feet on-center spacing, as measured along the abutting curb.*

**Street trees will be planted at minimum 30 feet on-center spacing, as measured along the abutting curb.**

*(e) Street trees shall be placed a minimum of two and one-half feet from the back of the curb as measured from the center of the tree, unless otherwise specified by the City of Camas decision maker, per Figure 3.*

**Street trees will be placed a minimum of 2.5 feet from the back of the curb as measured from the center of the trees, unless otherwise specified by the City of Camas decision maker. The current landscape plans show the street trees placed at approximately 3.5 feet from the back of the curb.**

*(f) Street tree planters shall be covered with American with Disability (“ADA”) accessible tree grates that are a minimum of six feet by six feet, street tree placement shall not impede pedestrian access and shall allow for a minimum six foot path of travel (the ADA accessible tree grates may be placed within the path of travel to meet these specifications).*

**Street tree planters will be covered with American with Disability (“ADA”) accessible tree grates that are a minimum of 6 feet by 6 feet, street tree placement shall not impede pedestrian access and shall allow for a minimum 6’ path of travel (the ADA accessible tree grates may be placed within the path of travel to meet these specifications).**

*(g) A limited tree grate exception may be granted for instances where street trees must be placed in planter beds. Such planter beds must be at least twice the size of a standard tree grate tree planter, must be landscaped per this section, must be irrigated per this section, and must allow for a minimum six foot path of travel.*

**No exception is being requested.**

*(h) Street trees shall be irrigated per Appendix D.*

**The street trees will be irrigated per the standards identified in Appendix D.**

*(i) Street tree planters, where allowed, shall include root barriers.*

**The street tree planters will include root barriers.**

#### **4. Hardscape Elements**

*Hardscape Elements provide a high degree of pedestrian amenity that encourages outdoor social interaction, promotes a sense of place, and public security. The introduction of hardscape elements such as natural stone,*



*sculpture, water features, drinking fountains, decorative sidewalks (e.g. scored concrete, colored concrete, pavers, etc.), enhanced paving, accent lighting, site furnishings, recreational facilities, and the like are strongly encouraged.*

*(a) Furnishings*

*(1) Furnishings shall consist of benches, drinking fountains, trash receptacles, and bike racks. Furnishings shall be placed such as to not impede or constrict pedestrian movement or ADA Accessibility. Outdoor seating associated with a food or beverage business may be authorized in accordance with Appendix "E".*

**Seating, bike racks and trash receptacles will be provided along NE 6th Avenue. No drinking fountains are proposed. Furnishings will be placed as such to minimize the effect on pedestrian movement, and maintain ADA Accessibility.**

*(2) Benches shall be placed within the public sidewalk, private parcels, pocket plazas and parks to encourage social interaction and extend the length of stay in the area. At a minimum one bench should be located on each side of a city block. Where opportunities exist to locate more than one bench, benches should be orientated toward each other to encourage social interaction.*

**A bench (or benches) will be placed along the public sidewalk.**

*(3) Drinking fountains shall be ADA accessible.*

**Drinking fountains are not proposed.**

*(4) Trash Receptacles shall be placed within the public sidewalk, pocket plaza, and parks to encourage public sanitation and a litter free environment. At a minimum one trash receptacle should be located on each side of a city block near the midpoint of the block. Uses that generate a high potential for immediately disposable trash such as take out restaurants are strongly encouraged (unless otherwise stated) to locate a trash receptacle within the frontage of their establishment.*

**One or two receptacles will be placed, and serviced by the property owner, within the public sidewalk. Additional receptacles will be provided in the lobby, parking garage, and as needed as the retail spaces are developed.**

*(5) Bike racks shall be placed within the public sidewalk, pocket plaza, and parks to encourage multi modal transportation and pedestrian safety. At a minimum one bike rack should be located on each side of a city block near the midpoint of the block. Uses that generate a high potential for bike parking such as arcades and movie theaters are strongly encouraged (unless otherwise stated) to locate a bike rack within the frontage of their establishment.*

**A bike rack will be placed within the public sidewalk.**

*(6) Water features are encouraged. Upon review by the Design Review Committee, and approval by the City of Camas decision maker, placement of a water feature may be in lieu of some (or all) of the required elements for particular parcel. The Design Review Committee shall determine which streetscape elements may be substituted by the water feature.*

**A small, vertical water feature is being contemplated near the primary residential entrance to the Project along NE 6<sup>th</sup> Ave.**

*(7) Public art is required to be provided at one percent of construction cost. Upon review by the Design Review Committee, and approval by the City of Camas decision maker, placement of a permanent public art display may be in lieu of some (or all) of the required elements for a particular parcel. The Design Review Committee shall determine which streetscape elements may be substituted by the public art.*

**Public Art is defined within the Downtown Design Manual as “works of art in any media that has been planned and executed with the specific intention of being sited or staged in the public domain, outdoors and accessible to all”. The Applicant proposes architecturally artistic components, which will enhance the surrounding streetscape, add visual interest for pedestrians and vehicular passersby, and further the goals articulated in the Downtown Design Manual.**

**These components include decorative planter pots containing landscaping elements beyond that which is required for the site, decorative benches within the public sidewalk that complement the building’s architecture and encourages social interaction, artistic ADA-Accessible tree grates accompanied by uplighting intended to softly illuminate the street trees, in-sidewalk solar LED lights enhancing safety and visual interest during nighttime, attractive and stylish refuse receptacles, functional, yet interesting bike racks, and a vertical water feature near the main entrance along NE 6<sup>th</sup> Avenue.**

**Though several of the above-mentioned components are among the site furnishing requirements noted within Downtown Design Manual, the Applicant intends to provide a level of beauty and function well-beyond that which is typically expected for these fixtures. The incorporation of these fixtures will provide a high degree of pedestrian amenity, both in form and function, thus meeting the goals noted within this section of the DDM.**

*(b) Street Lighting*

*(1) Themed ornamental street lighting shall be located along the public right of way. Street lights shall be located utilizing a triangular spacing per Figure 4. The street light (with hanging plant bracket) shall be the City of Camas approved downtown street light.*

**The lights will meet the City of Camas standards.**

*(2) Every lot will not be required to place a streetlight. Street light spacing will dictate those lots required to place street lights. The City of Camas decision maker shall review and approve proposed street light spacing.*

**The lights will meet the City of Camas standards.**

## **5. Screening Standards**

*Screening shall be utilized to obscure views of service, parking, and trash collection areas from view from the public right-of-way.*

*(a) General*

*(1) Sight-obscuring evergreen vegetation, screen walls, or fences may be erected within the setback area of a private parcel.*

**The screening proposed for the southern property line is Boston Ivy which will climb the wall to soften the hardscape.**

- (2) Screening shall not be placed within the public right-of-way.

**There is no screening proposed within the public right of way.**

*(b) Parking lots abutting the public right-of-way*

- (1) *Shall be screened by a wall or fence three feet in height within a planting strip.*  
 (2) *Where sufficient room exists, small to medium size trees shall be planted twenty feet on center.*

**The parking area is located partially underground and is enclosed on the south side of the site. Boston Ivy is proposed to screen the wall. An overhead door will be positioned at the garage entrance to both enhance security for residents and screen the parking area from Cedar Street.**

- (3) *The screen shall be placed so as to obscure the view of the parking area from the public right of way.*

**The parking area is enclosed so there is no view from the public right of way.**

*(c) Service / trash collection areas abutting the public right-of-way*

- (1) *Shall be screened by a wall or fence five feet in height within a planting strip.*

**The trash and recycling room is located on the ground floor and is fully enclosed.**

*(2) Where sufficient room exists, small to medium size trees shall be planted twenty feet on center.*

**This criteria doesn't apply since the trash and recycle area is located inside the building.**

- 3) *Gates providing access to these areas shall be constructed of 100% opaque solid materials.*

**There are no exterior gates proposed.**

*(d) Screen Materials*

- (1) *The height of any wall, fence, or hedge shall not interfere with safe lines of sight as determined by the City of Camas decision maker.*

**Any wall, fence or hedge deemed by the City of Camas decision maker to interfere with safe lines of site will be addressed as needed.**

- (2) *Barbed wire, razor wire, chain link, and vinyl fencing are prohibited.*

**There are no fences of any kind proposed.**

- (3) *Fences and walls shall be constructed of enduring materials such as wood, masonry, and concrete.*

**There are no fences proposed.**

- (4) *Walls and fences shall be 100% opaque.*

**There are no walls (outside of the building walls), or fences proposed.**

- (5) *Wall or fence screens shall provide visual interest through the use of varied building materials, textures, reliefs, architectural details, etc.*

**There are no walls (outside of the building walls), or fences proposed.**

*(6) To avoid a solid or blank appearance, 20% of the face of walls and fences shall utilize varying materials, colors, and other textures.*

**There are no walls (outside of the building walls), or fences proposed.**

*(7) Screening that utilizes plant materials shall incorporate plant materials capable of reaching 100% solid evergreen screen within three years of planting.*

**All areas requiring screening will utilize plant materials capable of reaching 100% solid evergreen screen within three years of planting.**

## **6. Pedestrian and Parking Lot Surfaces**

### *(a) Pedestrian Surfaces*

*(1) Pedestrian surfaces outside of the right-of-way (private property) shall be constructed of an all weather continuous surface such as asphalt, concrete, colored concrete, pavers, etc. Granular materials such as gravel may be approved by the City of Camas decision maker.*

**Pedestrian surfaces outside of the right of way area will be constructed to meet City of Camas standards along with ADA.**

*(2) Pedestrian surfaces within the public right-of-way shall be concrete per the City of Camas standard sidewalk, unless otherwise reviewed by the Design Review Committee and approved by the City of Camas decision maker.*

**All right of way improvements proposed with this Project will be in compliance with City standards.**

### *(b) Parking Lot Surfaces*

*(1) Parking lot surfaces shall be constructed of an all weather continuous surface (e.g. asphalt, concrete, permeable paving, bricks, interlocking pavers). Gravel and dirt surfaces are not permitted.*

**The parking area will be constructed of an all weather continuous surface and approved by the City of Camas engineering department.**

### *(c) ADA Accessibility*

**All site and required building elements will meet ADA accessibility guidelines.**

*(1) Notwithstanding any section of the design standards, applicable provisions of the American with Disabilities Act (ADA) shall at all times be implemented within the area. ADA design standards shall be subject to review and approval by the Building Official and City of Camas decision maker.*

**All site and required building elements will meet ADA accessibility guidelines.**

## **E. Architectural Standards**

### **1. Site Planning**

*(a) New construction shall orient the main public entrance toward the public right of way.*

**The overall pedestrian access circulation system for residents and the public incorporates all three street frontages. For those who are passing by on foot or bicycle, building access is granted via sidewalks abutting the building on 6<sup>th</sup> street**

*(b) Parking areas shall be located to the rear or side of the structure. Parking shall not occupy more than 10% of the project frontage along the public right of way. Corner lots may be allowed additional frontage parking (on the minor side street) with additional screening per review by the Design Review Committee and approval by the City of Camas decision maker. Where possible parking areas shall be accessed from an alley, buildings should be located to provide a continuous colonnade along the public right of way. Parking requirements can be found within Title 18 CMC.*

**The parking area will be located within the southern half of the building and enclosed and for building residents only.**

*(c) Feature areas should be incorporated to provide outdoor use areas such as sidewalk dining, sidewalk merchandising, courtyards, nooks, balconies, alcoves or terraces.*

**The Project will pursue a variety of residential balconies along with outdoor spaces for residential tenants. Retail tenants may choose to pursue sidewalk merchandising or sidewalk dining.**

*(d) Sufficient space shall be provided for refuse storage (and required screening) outside of the public right-of-way.*

**The refuse storage area is located inside and fully enclosed.**

*(e) The intent of these standards is not to move existing buildings.*

**This criteria does not apply.**

*(f) Downspouts shall not direct water across sidewalks.*

**All roof storm drainage will be internal roof drain with overflows. No downspouts will direct water across sidewalks.**

## 2. Signage

*(a) Signage shall be per the City of Camas Sign Ordinance.*

**Exterior signs will be provided as the building develops and the retail/commercial tenant(s) are determined. All signs will comply with applicable City permitting and design standards. Exterior tenant signage for the retail component will be limited to the portion of the fascia directly above the subject tenant's space and below the 2<sup>nd</sup> floor residential space. Project identification and/or retail signage will be tastefully designed with either individually illuminated letters.**

## 3. Building Façade

*(a) Building elevations visible from the public right of way should be designed to provide architectural interest and individual character.*

**The building façades use multiple materials, colors and forms to provide architectural interest.**

*(b) Glazing fronting the street shall be utilized on a minimum of 40%, to a maximum of 80% of the ground floor elevation abutting the public right of way. Components of Energy Smart Design should be considered where glazing is utilized.*

**Generous glazing is provided along NE 6<sup>th</sup> Avenue and partial retail space along Cedar and Dallas Streets is greater than 48%. Designed to maximize glazing but be within Washington State energy code limitations.**

*(c) Rain protection attached to buildings shall be provided along the public right of way consisting of a five foot width minimum cover along 90% of the building facade. The building may not cantilever into the public right-of-way to achieve rain protection. Rain protection may take the form of a canopy projection, recessed entry, overhead balcony, or combination there of.*



Pedestrian rain protection is limited to NE 6th Ave, which provides 90% cover. Five-foot-deep canopy overhangs screen tenants from harsh direct light in the summer and provide rain protection during the rainy season. The retail spaces were designed to integrate and activate the existing business corridor with glazing for maximum exposure around the corners of the building at Cedar and Dallas Street.

*(d) Architectural detailing should be utilized to provide visual interest and individual character. Elevations abutting the public right of way should incorporate a high degree of architectural detailing including but not limited to the use of relief panels, cornice work, window trim, balconies, overlooks, nooks, alcoves, shade panels, rain protection, finish textures, multiple color palettes, and staggered wall sections. Detailing shall be compatible with the existing and surrounding downtown area.*

The building design detailing incorporates changes in material texture and color. There is a distinct separation between the darker masonry base and lighter “stucco” panel upper floors. Ground floor retail and lobby spaces are defined by brick piers and steel canopies creating a rhythm and spacing consistent with the downtown retail frontages. The ‘piers’ continue into the upper floor to create semi recessed alcoves defining each apartment unit. These alcoves include a full height bedroom window, sliding glass door separated by a simulated wood panel. The units along 6<sup>th</sup> also have a Juliette style balcony with full living room glazing with sliding panels to offer an open air experience together with painted metal picket balcony railing further adding to the texture. Remaining units that do not have this feature will offer a full balcony. The upper floors cantilever over the base on the east and west sides to further help differentiate the base from the “body” of the building. Within the east and west brick elevations these are the same wood-appearing panels adjacent unit windows to provide a third material and some relief to the brick cladding. Recessed corridor windows facing the side street provide a separation between the front (north) elevation mass the back half of the building. The back (south) has a concrete base that provides an opportunity for a roof deck and eco roof where the upper floors step back. This provides a staggered wall section and massing while allowing daylight to the south facing units.

*(e) Building Materials shall be selected for their enduring qualities. Recycled or renewable materials should be utilized where practical. Preferred materials include natural stone, masonry, wood, architectural grade metal, architectural grade composite materials, concrete, precast concrete products, and stucco.*

Proposed exterior materials include a concrete base, brick veneer, fiber-cement “stucco” panels, fiber-cement siding emanating the look and feel of wood, painted fiber cement lap siding, painted steel canopies and balcony railings, vinyl windows and doors, and aluminum-framed storefront windows. Brick has recycled and natural ingredients and the aluminum has recycled content.

*(f) Materials specifically prohibited include vinyl siding and exposed plywood products. This shall not be interpreted to preclude laminated doors or the use of plywood in soffits. Materials shall be compatible with the existing and surrounding downtown area.*

**No vinyl or plywood siding will be used.**

*(g) Roof mounted equipment shall be screened from view from the street by providing a parapet or cornice at least equal in height to the equipment, and by painting the equipment to match the roof. For flat roofs the parapet shall surround the perimeter of the building. Screening shall be compatible with rooflines and materials so that the roof lines are harmonious.*

Due to the nature of the project, any roof-mounted mechanical equipment will be minimal, as each unit will contain its own air-conditioning equipment. The building height, combined with the parapet, will preclude any mechanical equipment from being visible from the immediate surrounding streets

*(h) Building colors shall be chosen to be compatible with neighboring structures, and natural or earth-tone colors shall predominate.*

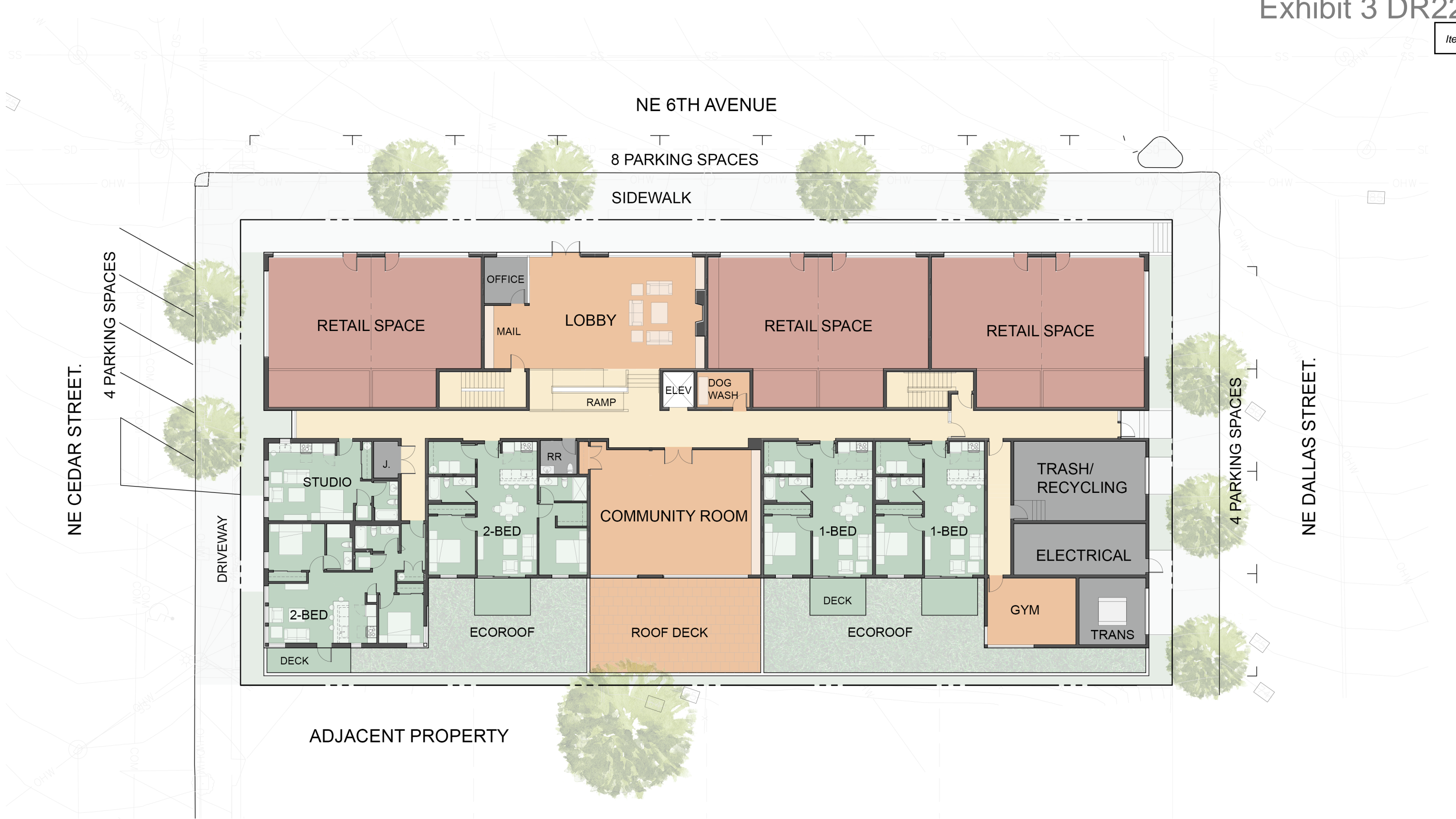
**The Applicant will use colors compatible with the neighboring structures while maintaining a neutral color palate.**

## CONCLUSION

The area surrounding the Applicant's building is comprised of a wide array of building masses, architecture, colors, materials and uses. As demonstrated above, the design of Hudson East is consistent with the site design, building form and appearance, weather protection, pedestrian amenities, landscaping, and parking guidelines provided for in the City's Downtown Design Manual.

The Project is also compliant with the City's Design Review criteria provided for in CMC 18.19.050. Specifically, the Project's design is compliant with zoning, compatible with surrounding architecture, does not adversely impact neighboring uses, and does not adversely impact pedestrian connectivity or parking.

Furthermore, Hudson East provides expansive windows and interest-creating features such as Juliette balconies, a deck and eco roof amenity, inset building lines and walls, along with a blend of materials, color and landscaping that ensures the street-facing elevations provide plenty of depth and character. Because of these factors, Hudson East meets and exceeds these standards, the Design Review should be approved.

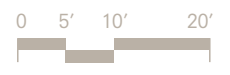


ADJACENT PROPERTY

Hudson East Apartments

404 NE 6th Avenue  
Camas, WA 98607  
10.15.21 | Project # 21012

FIRST FLOOR PLAN



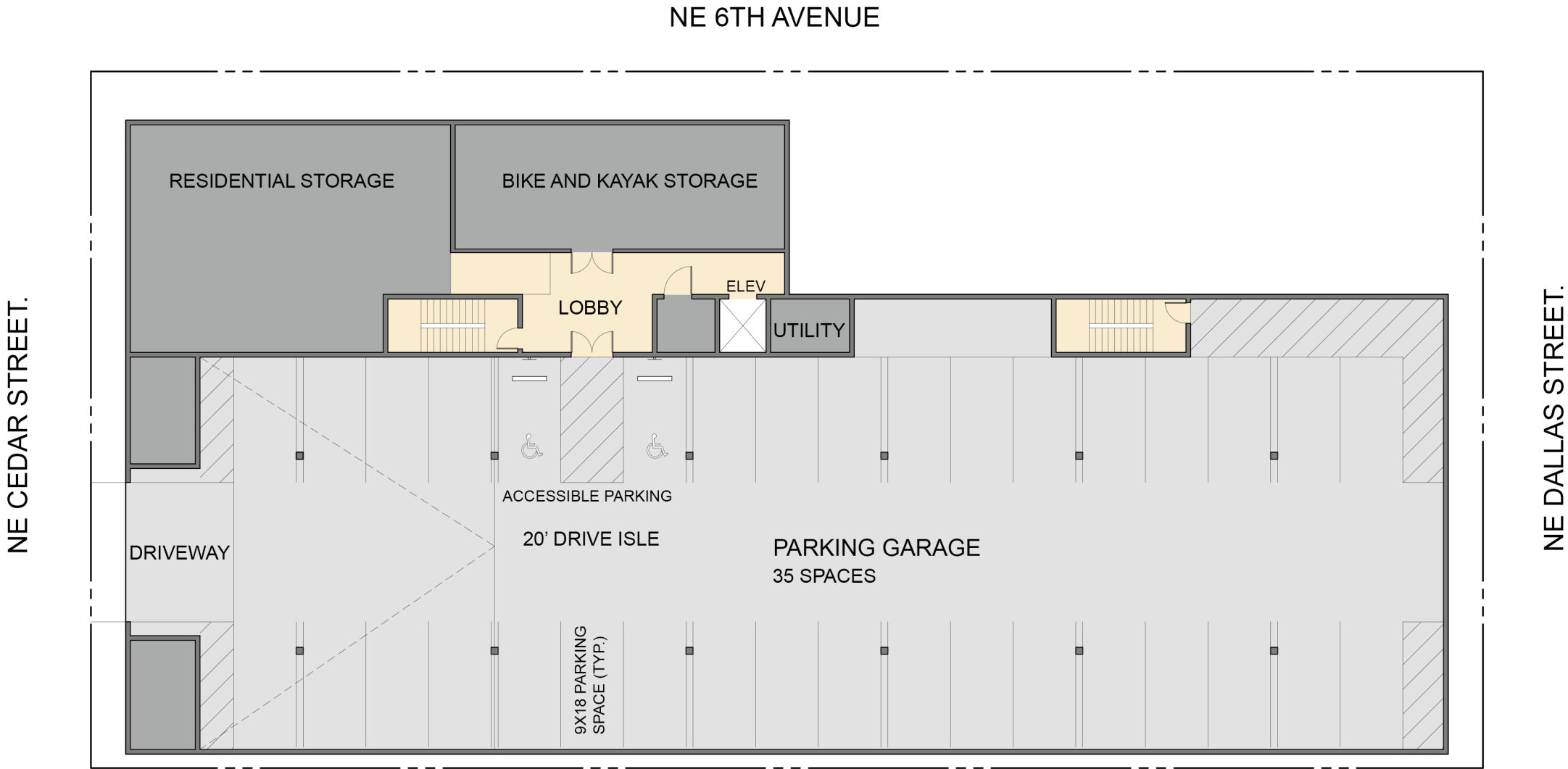


Hudson East Apartments

404 NE 6th Avenue  
Camas, WA 98607  
10.15.21 | Project # 21012

SECOND-FOURTH FLOOR PLANS





Hudson East Apartments

404 NE 6th Avenue  
Camas, WA 98607  
10.15.21 | Project # 21012

BASEMENT PLAN







## Hudson East Apartments

404 NE 6th Avenue

Camas, WA 98607

10.15.21 | Project # 21012

NW ELEVATION





Hudson East Apartments

404 NE 6th Avenue  
Camas, WA 98607  
10.15.21 | Project # 21012

SW ELEVATION





NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



Hudson East Apartments


404 NE 6th Avenue  
Camas, WA 98607  
10.15.21 | Project # 21012

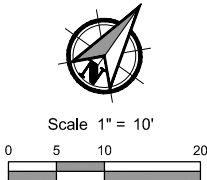
SW ELEVATION



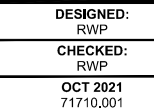
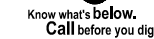




ECO-ROOF PLANT LIST							
SYM	%	QTY	NAME	SIZE	CONTAINER CONDITION	SPACING	COMMENTS
	10%	176	<i>Carex oshimensis</i> 'Everillo' Everillo Japanese Sedge	1 gallon, 8" min. height	Container	12 inches	Prepare planting areas following details shown on sheet L103.
	10%	176	<i>Carex oshimensis</i> 'Everest' Everest Japanese Sedge	1 gallon, 8" min. height	Container	12 inches	Prepare planting areas following details shown on sheet L103.
	5%	29	<i>Miscanthus sinensis</i> 'Adagio' Adagio Maiden Grass	2 gallon, 24" min. height	Container	2 feet	Prepare planting areas following details shown on sheet L103.
	10%	58	<i>Juncus patens</i> Common Rush	1 gallon, 8" min. height	Container	2 feet	Prepare planting areas following details shown on sheet L103.
	5%	116	<i>Thymus x citriodorus</i> 'Variegata' Variegated Lemon Thyme	1 gallon, 4" min. height	Container	12 inches	Prepare planting areas following details shown on sheet L103.
	5%	116	<i>Achillea millefolium</i> Yarrow (gold, white)	1 gallon, 18" min. height	Container	12 inches	Prepare planting areas following details shown on sheet L103.
	5%	29	<i>Agastache x 'Blue Fortune'</i> Blue Fortune Anise Hyssop	1 gallon, 6" min. height	Container	2 feet	Prepare planting areas following details shown on sheet L103.
	5%	116	<i>Coreopsis hybrid</i> 'Starlight' L11 Bang Starlight Coreopsis	1 gallon, 18" min. height	Container	12 inches	Prepare planting areas following details shown on sheet L103.
	10%	176	<i>Echinacea purpurea</i> 'Yellow My Darling' Coneflower	1 gallon, 18" min. height	Container	12 inches	Prepare planting areas following details shown on sheet L103.
	5%	116	<i>Helianthus annus</i> 'Florianst' Florianst Sunflower	1 gallon, 18" min. height	Container	12 inches	Prepare planting areas following details shown on sheet L103.
	10%	58	<i>Provskia atriplicifolia</i> 'Little Spire' Little Spire Russian Sage	1 gallon, 3" min. height	Container	2 feet	Prepare planting areas following details shown on sheet L103.
	20%	465	<i>Sedum</i> Various	1 gallon, 3" min. height	Container	12 inches	Prepare planting areas following details shown on sheet L103.



**LANDSCAPE PLAN FOR:**  
**HUDSON EAST**  
**A SITE LOCATED IN THE CITY OF CAMAS, WASHINGTON**



SHEET **20** OF **23**

# Artistic Site Furnishings

Hudson East

May 9, 2022

## Planter Pots

Item 1.





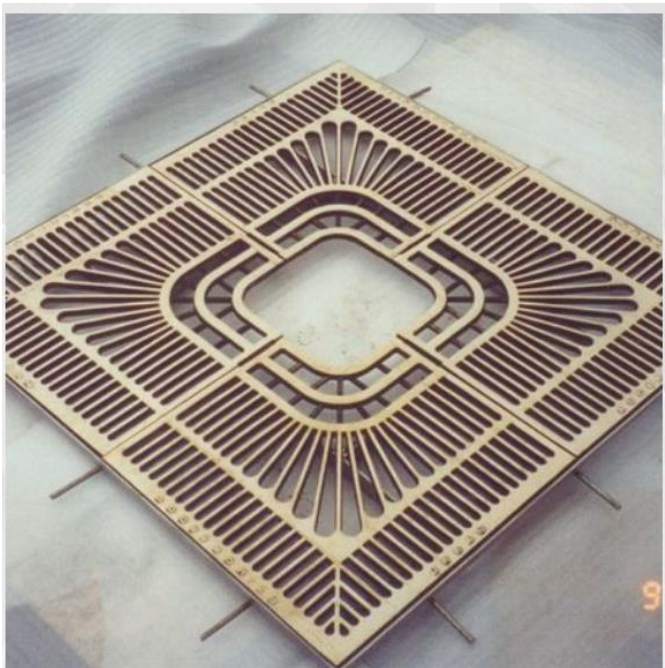
## Benches

Item 1.





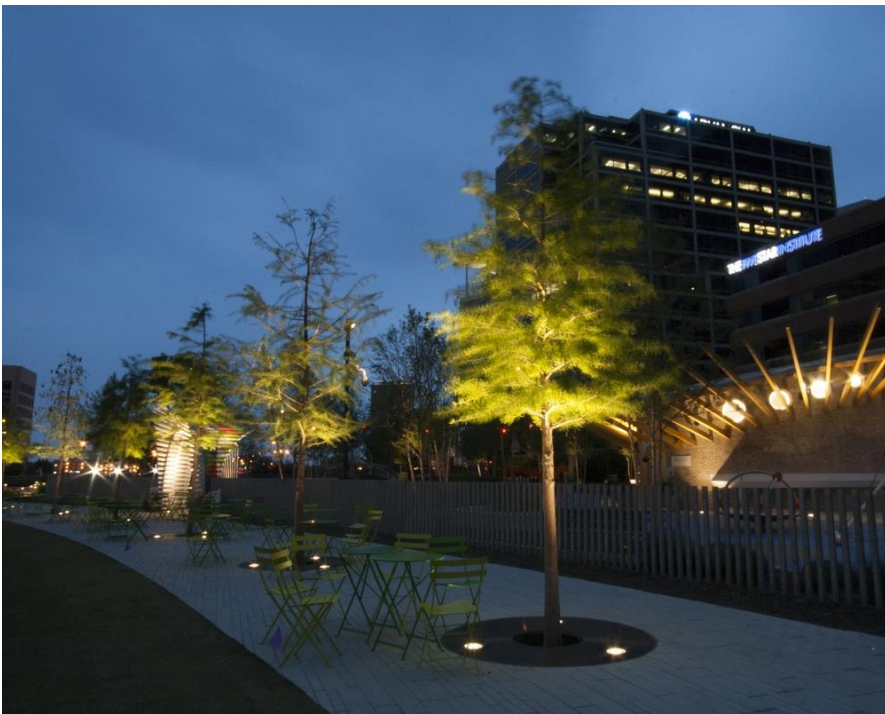
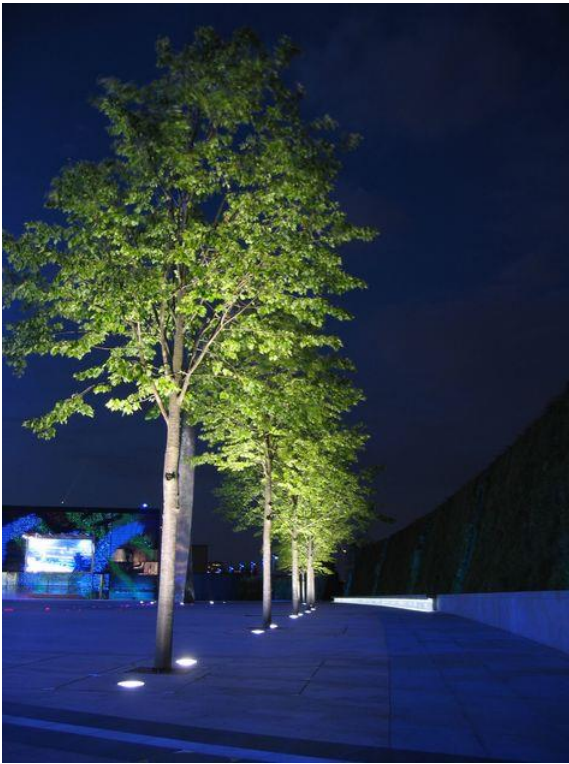
## Tree Grates





## Tree Uplighting

Item 1.



## In-Pavement Solar Lights

Item 1.



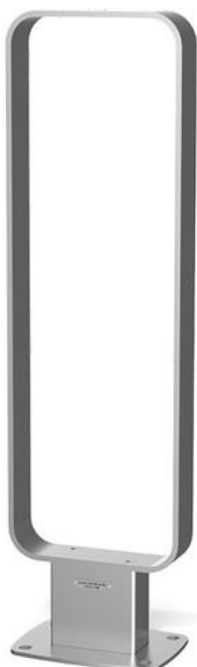


## Trash Bins

Item 1.



## Bike Racks



## Vertical Water Feature

Item 1.





## Street Art

Item 1.



# Downtown Design Manual



*City of Camas, Washington*

*Adopted by Resolution No. 1136 on September 2, 2008*

*Amended by Resolution No. 1301 on July 21, 2014*



Adopted by Resolution No. 1136  
September 2, 2008  
Revised by Resolution No. 1301  
July 21, 2014

# Downtown Design Manual

City of Camas, Washington

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**Appendix:**

Appendix A:	Definitions
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Appendix C:	Street Trees
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**Credits and Acknowledgements****Camas City Council**

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 Shelly Damore  
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**Downtown Vision Coalition**

Design & Infrastructure Committee

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## A. How to Use this Document

The Downtown Design Manual has been developed by downtown business owners in conjunction with the City of Camas. This document provides general requirements geared towards businesses considering renovations, expansions, or new site development.

The following process is suggested:

1. Read this document and note requirements that may apply to your project. Be sure to review the Appendix section. All words included in the Definitions appendix have been underlined (and are noted as bold) within this manual. Example: **Definition**
2. Review and define your project, then re-read this document.
3. If you have questions, contact the City of Camas Planning Division (360) 817-1562 to review your project. City staff will be happy to discuss your project and how it relates to this Downtown Design Manual, as well as other City codes.

## B. Purpose

The Downtown Design Manual is intended to provide guidance for new development and redevelopment within the existing downtown core. This type of development is further expected to:

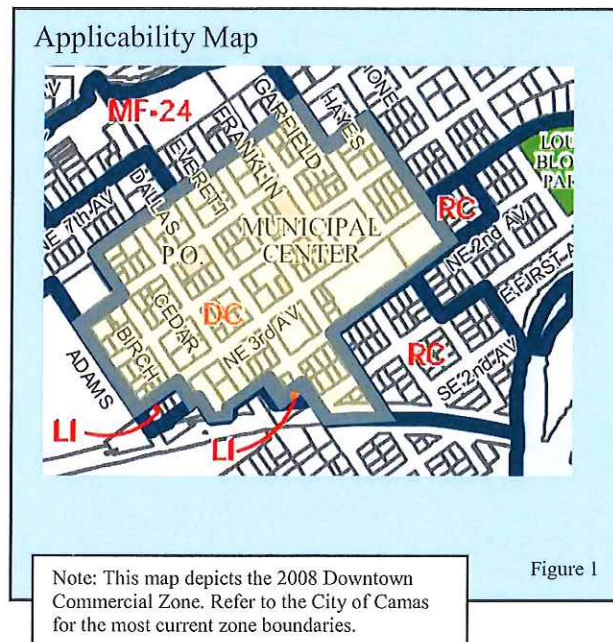
1. Achieve the goals and objectives of the City of Camas Comprehensive & Capital Facilities Plan;
2. Enhance livability, environmental quality and economic vitality with a mix of uses downtown;
3. Maximize efficient use of public facilities and services;
4. Create a safe, attractive, and convenient environment for a variety of uses including living, working, and recreating with retail businesses on the street level and housing/office units on upper levels;
5. Encourage economic development in the area by creating an environment that attracts a broad and diversified consumer base to the downtown core;
6. Encourage an economically viable atmosphere that will attract new business to the downtown core.
7. Encourage sustainable development practices.





### C. Applicability / General Requirements

1. The provisions of this section shall be applied to public spaces and private parcels located within the City of Camas downtown commercial zone. (Refer to Figure 1) The boundary is intended to include both sides of the street.
2. Private parcels shall be required to implement the improvements identified within this section for:
  - (a) all new uses;
  - (b) all **changes of use**;
  - (c) the expansion of any building or development as defined in Camas Municipal Code (“CMC”) Section 18.18.020(A) exceeding twenty percent of the existing floor or site area, or any one thousand square foot addition or increase in impervious coverage thereto, whichever is lesser.
3. The following activities are exempt from the requirements of this section.
  - (a) Routine or emergency repair or maintenance of public or private buildings, structures, landscaping or utilities;
  - (b) Interior remodeling.
4. If the requirements of the Downtown Design Manual conflict with other regulations, the more stringent of the two shall apply.
5. All work associated with the implementation of the Downtown Design Manual on private parcels shall be constructed and maintained by the land owner, unless otherwise noted.
6. All required improvements shall be subject to Design Review (CMC 18.19) prior to building permit issuance. In addition, projects may be subject to Site Plan Review (CMC 18.18) prior to building permit issuance. Project proponents are urged to contact the City of Camas for all required approval processes.
7. All work shall be completed in accordance with City of Camas Municipal Code.
8. Refer to Appendix B for a Required Elements Matrix.



9. Standards, materials, finishes, and colors specified within this manual, and the attached appendices, may be substituted with other similar elements with review by the Design Review Committee and approval by the City of Camas decision maker.

#### D. Streetscape Elements

The Downtown Design Manual is intended to provide a high degree of landscape amenities, tree lined streets, attractively landscaped frontages, screening of service areas, street furnishings, and pedestrian areas as part of a unified design.

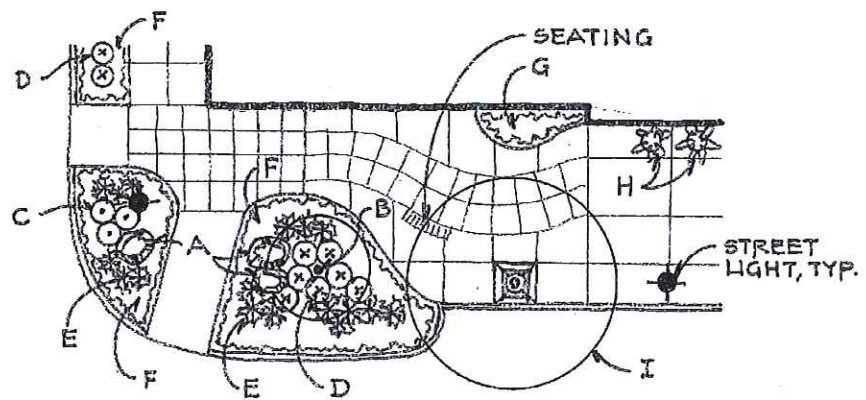


##### 1. Planting Design

(a) On-site plantings that abut the public right of way shall provide multiple layers of plantings, including canopy trees, understory trees, shrubs and groundcover. Seasonal interest is encouraged to be enhanced through the use of plant materials that provide seasonal color, fragrance, and specimen plant materials. Refer to Figure 2 for a planting example.

(b) Landscape materials shall be installed per Appendix D. Landscaping should not exceed 30" high on corners.

(c) Hanging baskets shall be installed so that the bottom of the basket is a minimum of 80 inches (6'8") above the finished grade of the public sidewalk. An exception to this is provided when an effective barrier such as a raised planter box, potted plant, or other physical barrier is located on the ground in such a way as to effectively mitigate a hazard created by the hanging basket.



- A OPTIONAL BOULDERS
- B SMALL ACCENT TREE
- C LOW EVERGREEN SHRUBS
- D LOW OR MEDIUM EVERGREEN SHRUBS
- E PERENNIALS
- F ORNAMENTAL GRASSES AND/OR GROUND COVER
- G PLANTER POCKET WHERE PRACTICAL W/ ESPALIER & ANNUALS
- H FLOWER POTS
- I STREET TREE

Planting Design Example Figure 2

(d) All plant materials shall meet or exceed specifications established by the American Association of Nurserymen for nursery stock, and be suitable for the climatic conditions encountered in Camas, Washington.



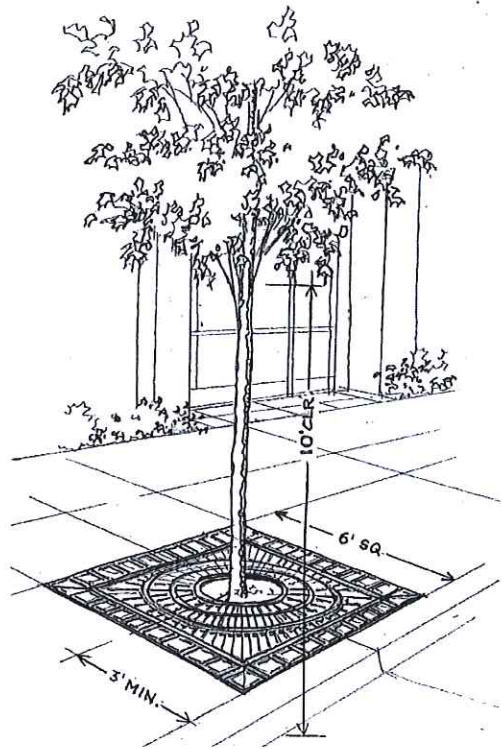
(e) A landscape maintenance plan per the American Association of Nurserymen's standards, and approved by the City of Camas, shall be recorded as a covenant on the project parcel for landscaping located on private property,

## 2. Irrigation Design

(a) All landscape plantings shall be irrigated with an automatic, underground irrigation system designed with water conservation in mind. Utilization of techniques such as separate water zones based on soil type, sun exposure, and plant water requirements are encouraged. Hanging baskets and individual planter pots may be hand watered. All irrigation materials located within the public right-of-way shall utilize the materials and construction techniques as listed in Appendix D and the City of Camas Design Standards Manual.

## 3. Street Trees

- (a) Trees selected for use as street trees shall be long-lived species possessing qualities suitable for an urban streetscape including branching characteristics, rooting characteristics, disease resistance, and non-fruiting. Street Trees shall be selected from Appendix "C" or the Camas Design Standard Manual (This manual is available online at <http://www.ci.camasa.wa.us/pworks/engforms.htm>).
- (b) Street trees shall be a minimum of 2-inch caliper, fully branched, and staked at the time of planting.
- (c) Street Trees shall be maintained to provide eight feet of clearance area under the canopy at the sidewalk and 10 feet of clearance at the street, per Figure 3.
- (d) Street trees shall be planted on all street frontages at minimum 30 feet on-center spacing, as measured along the abutting curb.
- (e) Street trees shall be placed a minimum of two and one-half feet from the back of the curb as measured from the center of the tree, unless otherwise specified by the City of Camas decision maker, per Figure 3.
- (f) Street tree planters shall be covered with American with Disability ("ADA") accessible tree grates that are a minimum of six feet by six feet, street tree placement shall not



Street Tree Placement  
Figure 3

impede pedestrian access and shall allow for a minimum six foot **path of travel** (the ADA accessible **tree grates** may be placed within the **path of travel** to meet these specifications).

- (g) A limited **tree grate** exception may be granted for instances where **street trees** must be placed in planter beds. Such planter beds must be at least twice the size of a standard **tree grate** tree planter, must be landscaped per this section, must be irrigated per this section, and must allow for a minimum six foot **path of travel**.
- (h) **Street trees** shall be irrigated per Appendix D.
- (i) **Street tree** planters, where allowed, shall include root barriers.

#### 4. **Hardscape** Elements

**Hardscape** Elements provide a high degree of pedestrian amenity that encourages outdoor social interaction, promotes a sense of place, and public security. The introduction of **hardscape** elements such as natural stone, sculpture, **water features**, **drinking fountains**, decorative sidewalks (e.g. **scored concrete**, colored concrete, pavers, etc.), **enhanced paving**, **accent lighting**, **site furnishings**, recreational facilities, and the like are strongly encouraged.



- (a) **Furnishings**
  - (1) Furnishings shall consist of benches, **drinking fountains**, trash receptacles, and bike racks. Furnishings shall be placed such as to not impede or constrict pedestrian movement or ADA Accessibility. Outdoor seating associated with a food or beverage business may be authorized in accordance with Appendix "E".
  - (2) Benches shall be placed within the public sidewalk, private parcels, pocket plazas and parks to encourage social interaction and extend the length of stay in the area. At a minimum one bench should be located on each side of a city block. Where opportunities exist to locate more than one bench, benches should be orientated toward each other to encourage social interaction.
  - (3) **Drinking fountains** shall be ADA accessible.
  - (4) Trash Receptacles shall be placed within the public sidewalk, pocket plaza, and parks to encourage public sanitation and a litter free environment. At a minimum one trash receptacle should be located on each side of a city block near the midpoint of the block. Uses that generate a high potential for immediately disposable trash such as take out restaurants are strongly encouraged (unless



otherwise stated) to locate a trash receptacle within the **frontage** of their establishment.

- (5) Bike racks shall be placed within the public sidewalk, pocket plaza, and parks to encourage multi modal transportation and pedestrian safety. At a minimum one bike rack should be located on each side of a city block near the midpoint of the block. Uses that generate a high potential for bike parking such as arcades and movie theaters are strongly encouraged (unless otherwise stated) to locate a bike rack within the **frontage** of their establishment.

- (6) **Water features** are encouraged. Upon review by the Design Review Committee, and approval by the City of Camas decision maker, placement of a **water feature** may be in lieu of some (or all) of the required elements for a particular parcel. The Design Review Committee shall determine which streetscape elements may be substituted by the **water feature**.



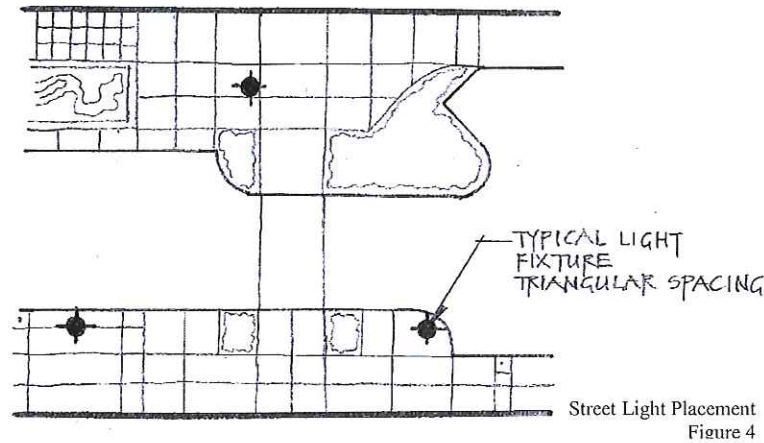
- (7) **Public art** is required to be provided at one percent of construction cost. Upon review by the Design Review Committee, and approval by the City of Camas decision maker, placement of a permanent **public art** display may be in lieu of some (or all) of the required elements for a particular parcel. The Design Review Committee shall determine which streetscape elements may be substituted by the **public art**.





## (b) Street Lighting

- (1) Themed ornamental street lighting shall be located along the public right of way. Street lights shall be located utilizing a triangular spacing per Figure 4. The street light (with hanging plant bracket) shall be the City of Camas approved downtown street light.



- (2) Every lot will not be required to place a streetlight. Street light spacing will dictate those lots required to place street lights. The City of Camas decision maker shall review and approve proposed street light spacing.

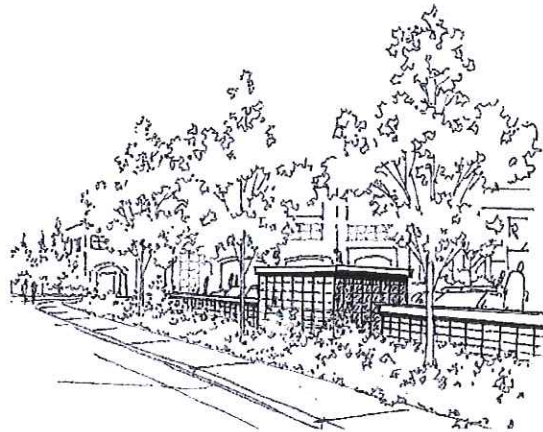
## 5. Screening Standards

Screening shall be utilized to obscure views of service, parking, and trash collection areas from view from the public right-of-way.

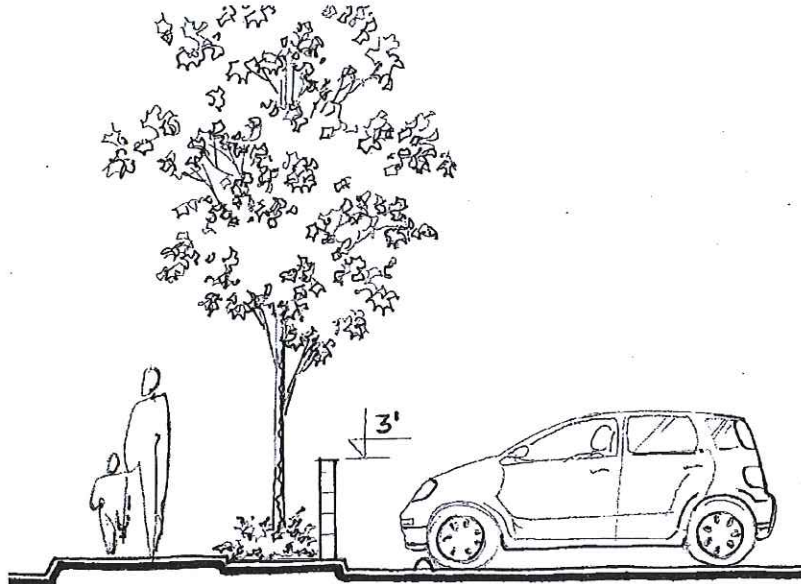
## (a) General

- (1) Sight-obscuring evergreen vegetation, screen walls, or fences may be erected within the setback area of a private parcel.
- (2) Screening shall not be placed within the public right-of-way.

- (b) Parking lots abutting the public right-of-way

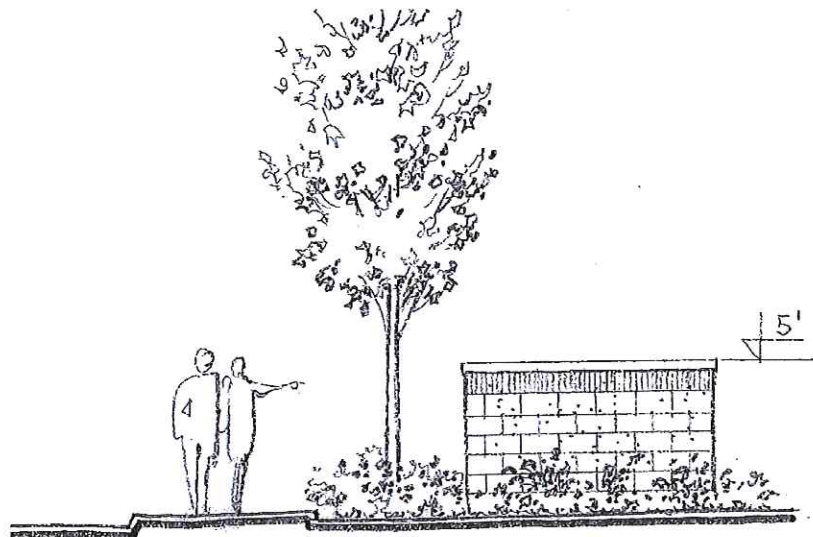


- (1) Shall be screened by a wall or fence three feet in height within a planting strip.



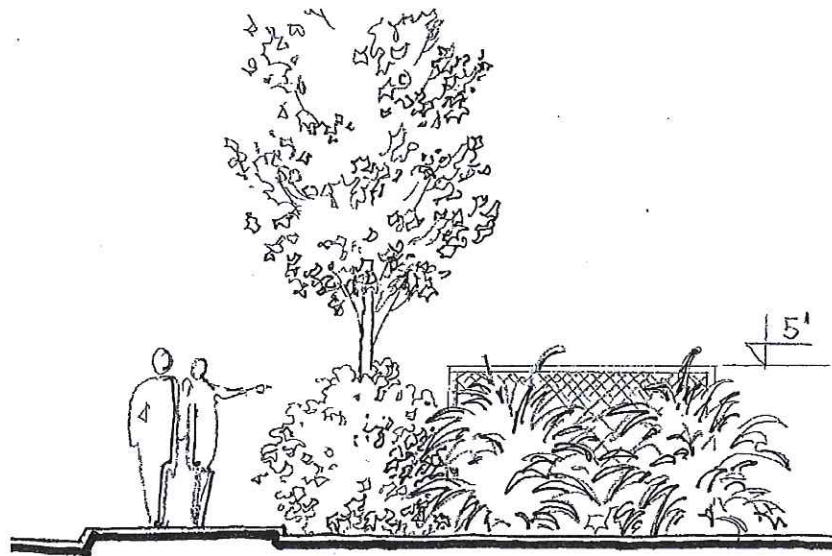
Parking Screen - Figure 5

- (2) Where sufficient room exists, small to medium size trees shall be planted twenty feet on center.
  - (3) The screen shall be placed so as to obscure the view of the parking area from the public right of way.
- (c) Service / trash collection areas abutting the public right-of-way
- (1) Shall be screened by a wall or fence five feet in height within a planting strip.



Service Screening with Landscape and Wall - Figure 6

- (2) Where sufficient room exists, small to medium size trees shall be planted twenty feet on center.



Service Screening with Landscape and Fence - Figure 7

- (3) Gates providing access to these areas shall be constructed of 100% opaque solid materials.

(d) Screen Materials

- (1) The height of any wall, fence, or hedge shall not interfere with safe lines of sight as determined by the City of Camas decision maker.
- (2) Barbed wire, razor wire, chain link, and vinyl fencing are prohibited.
- (3) Fences and walls shall be constructed of enduring materials such as wood, masonry, and concrete.
- (4) Walls and fences shall be 100% opaque.
- (5) Wall or fence screens shall provide visual interest through the use of varied building materials, textures, reliefs, architectural details, etc.
- (6) To avoid a solid or blank appearance, 20% of the face of walls and fences shall utilize varying materials, colors, and other textures.
- (7) Screening that utilizes plant materials shall incorporate plant materials capable of reaching 100% solid evergreen screen within three years of planting.



## 6. Pedestrian and Parking Lot Surfaces

### (a) Pedestrian Surfaces

- (1) Pedestrian surfaces *outside* of the right-of-way (private property) shall be constructed of an all weather continuous surface such as asphalt, concrete, colored concrete, pavers, etc. Granular materials such as gravel may be approved by the City of Camas decision maker.
- (2) Pedestrian surfaces within the public right-of-way shall be concrete per the City of Camas standard sidewalk, unless otherwise reviewed by the Design Review Committee and approved by the City of Camas decision maker.

### (b) Parking Lot Surfaces

- (1) Parking lot surfaces shall be constructed of an all weather continuous surface (e.g. asphalt, concrete, permeable paving, bricks, interlocking pavers). Gravel and dirt surfaces are not permitted.

### (c) ADA Accessibility

- (1) Notwithstanding any section of the design standards, applicable provisions of the American with Disabilities Act (ADA) shall at all times be implemented within the area. ADA design standards shall be subject to review and approval by the Building Official and City of Camas decision maker.

## E. Architectural Standards

### 1. Site Planning

- (a) New construction shall orient the main public entrance toward the public right of way.
- (b) Parking areas shall be located to the rear or side of the structure. Parking shall not occupy more than 10% of the project **frontage** along the public right of way. Corner lots may be allowed additional **frontage** parking (on the **minor side street**) with additional screening per review by the Design Review Committee and approval by the City of Camas decision maker. Where possible parking areas shall be accessed from an alley, buildings should be located to provide a continuous colonnade along the public right of way. Parking requirements can be found within Title 18 CMC.



- (c) Feature areas should be incorporated to provide outdoor use areas such as sidewalk dining, sidewalk merchandising, courtyards, nooks, balconies, alcoves or terraces.
- (d) Sufficient space shall be provided for refuse storage (and required screening) outside of the public right-of-way.
- (e) The intent of these standards is not to move existing buildings.
- (f) Downspouts shall not direct water across sidewalks.

## 2. Signage

- (a) Signage shall be per the City of Camas Sign Ordinance.

## 3. Building Façade

- (a) Building elevations visible from the public right of way should be designed to provide architectural interest and individual character.
- (b) **Glazing** fronting the street shall be utilized on a minimum of 40%, to a maximum of 80% of the ground floor elevation abutting the public right of way. Components of Energy Smart Design should be considered where **glazing** is utilized.
- (c) **Rain protection** attached to buildings shall be provided along the public right of way consisting of a five foot width minimum cover along 90% of the building facade. The building may not cantilever into the public right-of-way to achieve **rain protection**. **Rain protection** may take the form of a canopy projection, recessed entry, overhead balcony, or combination there of.
- (d) Architectural detailing should be utilized to provide visual interest and individual character. Elevations abutting the public right or way should incorporate a high degree of architectural detailing including but not limited to the use of relief panels, **cornice** work, window trim, balconies, overlooks, nooks, alcoves, shade panels, **rain protection**, finish textures, multiple color pallets, and staggered wall sections. Detailing shall be compatible with the existing and surrounding downtown area.



Example of rain protection



Example of detailing



- (e) Building Materials shall be selected for their enduring qualities. Recycled or renewable materials should be utilized where practical. Preferred materials include natural stone, masonry, wood, architectural grade metal, architectural grade composite materials, concrete, precast concrete products, and stucco.
- (f) Materials specifically prohibited include vinyl siding and exposed plywood products. This shall not be interpreted to preclude laminated doors or the use of plywood in soffits. Materials shall be compatible with the existing and surrounding downtown area.
- (g) Roof mounted equipment shall be screened from view from the street by providing a **parapet** or cornice at least equal in height to the equipment, and by painting the equipment to match the roof. For flat roofs the **parapet** shall surround the perimeter of the building. Screening shall be compatible with rooflines and materials so that the roof lines are harmonious.
- (h) Building colors shall be chosen to be compatible with neighboring structures, and natural or earth-tone colors shall predominate.



## Appendix A – Definitions

- Accent lighting: controlled and focused light used to accent exterior elements or architectural details.
- Canopy trees: a species of tree which normally bears crown foliage no lower than eight feet above ground level upon maturity.
- Change in Use: change in the activity or purpose for which land or premises, or a building thereon is designed, arranged, or intended, or for which it is occupied or maintained, rented or leased as determined by the City of Camas Community Development Director.
- Cornice: any prominent, continuous, horizontally projecting feature surmounting a wall or other construction.
- Covenant: an agreement, usually formal, between two or more persons to do or not do something specified.
- Deciduous: trees that drop all or most of their leaves in winter.
- Drinking fountain: a public structure to provide drinking water.
- Enhanced paving: any permeable or impermeable decorative pavement material intended for pedestrian or vehicular use. Examples of enhanced pavement include brick or stone pavers, grass paver, exposed aggregate concrete, and stamped pavement.
- Evergreen: trees that keep all or most of their leaves or needles year-round.
- Fragrance: the state or quality of having a pleasant odor.
- Frontage: that portion of a parcel of property which abuts a dedicated public street or highway, or private road or driveway approved by the City of Camas decision maker.
- Glazing: windows or transparent material on a building façade.
- Groundcover: natural plants of species which normally reach a height of less than two feet upon maturity, installed in such a manner so as to form a continuous cover over the ground.
- Hardscape: Elements added to a natural landscape, such as paving stones, paving, walkways, irrigation systems, roads, retaining walls, sculpture, street amenities, fountains, and other mechanical features.
- Landscape located on private property: landscape materials located and/or installed by the property owner.
- Minor side street: Local streets providing direct access to abutting land and access to the higher level arterials. They offer the lowest level of mobility and usually contain no bus routes. Service to through traffic movement usually is deliberately discouraged.
- Parapet: a low screen wall at the edge of a balcony or roof.
- Path of travel: a continuous, unobstructed way of pedestrian passage by means of which an area may be approached, entered, and exited, and which connects the area to an entrance to a facility or other nearby areas.
- Public art: works of art in any media that has been planned and executed with the specific intention of being sited or staged in the public domain, outdoors and



accessible to all. Examples of public art could be water features, ornamental street furniture, statues, historic wall plaques, and murals.

- Rain protection: device or architectural detail designed to provide relief from inclement weather
- Seasonal color: the use of blooming annuals, flowering perennials, and tree/shrubs, and foliage color to accent landscape design with an ever-changing display of color.
- Scored concrete: A concrete sidewalk that is etched in a pattern (typically 30" square).
- Shrubs (bushes): woody plants of relatively low height, having several stems arising from the base, and lacking a single trunk.
- Site furnishings: man-made articles (such as benches and trash receptacles) that are needed in public spaces to service the needs of the public, or that assist in the safe and orderly management and use of the space.
- Specimen plants: Specimen plants are plants grown by themselves in a lawn or garden for ornamental effect, rather than being massed with others as are bedding plants or edging plants. Specimen plants can thus serve as focal points in landscape design. An example of a specimen plant is a flowering tree that has a prominent spot reserved for it on a lawn.
- Street tree: Any tree planted or maintained within the public easement. All new replacements will be selected from Appendix "C" or the Camas Design Standard Manual.
- Tree grate: coverings for tree wells designed to provide visual accent, ADA walkable surfaces, and space for water and air infiltration. See appendix D.
- Understory trees: small tree such as dogwood and holly, which rarely grow tall, and grow in the shade of a larger tree's canopy.
- Water feature: a landscape focal point with either still or moving water; may include fountains, waterspouts, waterfalls, formal or informal ponds, bogs, or container water gardens.

## Appendix B – Required Elements Matrix

Design Feature	Required Elements	Encouraged Elements
Landscape	Street trees @ 30' o.c. minimum	Seasonal color
	Multiple layers of plantings	Fragrance
	Canopy trees	Fall color
	Understory trees	Specimen plants
	Shrubs	
	Groundcover	
	Individual character	
	Maintenance plan covenant	
	Irrigation	
Hardscape	ADA Accessible tree grates <sup>1</sup>	Benches
	Street lighting <sup>2</sup>	Trash receptacle
	Public art (1% of construction cost)	Bike racks
		Drinking fountains
		Water Feature
Screening (parking lots)	3' wall or fence in landscape strip	
	Visual interest – no blank walls	
	Medium size trees 20' o.c. minimum <sup>3</sup>	
Screening (service / trash collection areas)	5' wall or fence in landscape strip	
	Visual interest – no blank walls	
	Medium size trees 20' o.c. minimum <sup>4</sup>	
	100% solid opaque gates	
Private Pedestrian & Parking Surfaces	All weather concrete or asphalt	Pavers, Colored Concrete
	ADA accessibility	
	Minimum 4' pedestrian path of travel	
Pedestrian Surfaces w/in Public Right-of- Way	ADA accessibility	Meandering sidewalks with special concrete scoring patterns
	Decorative sidewalk (e.g. <u>scored</u> <u>concrete</u> , colored concrete, pavers, etc.)	
	Minimum <del>6</del> 4' (48") pedestrian path of travel	
Architectural / Site Planning	10 % maximum parking abutting the project frontage along the public way <sup>5</sup>	Parking accessed from alley
	Main entrance oriented towards public way	Building located to form continuous colonnade along

		frontage
<b>Design Feature</b>	<b>Required Elements</b>	<b>Encouraged Elements</b>
Architectural / Site Planning continued	40% minimum to a maximum of 80% glazing of the ground floor elevation abutting the public way	Feature areas such as courtyards, sidewalk merchandising, etc.
	5' wide rain protection attached to building along 90% of frontage <sup>6</sup>	Retail or restaurants on street level.
	Roof mounted equipment screening via parapet or cornice	Office and residential units on upper floors.
	Architectural detailing compatible with the existing downtown area	
	Architectural materials compatible with the existing downtown area	
	Natural – Compatible Colors	Energy Smart design

<sup>1</sup> Limited Exceptions (D.3.i).

<sup>2</sup> Dependent on approved light spacing (D.4.b.2).

<sup>3</sup> Where sufficient room exist (D.5.b.2).

<sup>4</sup> Where sufficient room exist (D.5.c.2).

<sup>5</sup> Corner lots may be allowed additional frontage parking (on the minor side street) with additional screening per review and approval (E.1.b).

<sup>6</sup> The building may not cantilever into the public right-of-way to achieve rain protection (E.3.c).



## Appendix C – Street Trees

This short list of trees is commonly found within the downtown commercial core of the city. An expanded list of approved street trees is located within the *Camas Design Standard Manual* (<http://www.ci.camass.wa.us/pworks/engforms.htm>).

### Minimum 4' Planting Strip Width

Common Name:	Scientific Name:	Cultivar:	Height (in FT)	Width (in FT)
Raywood Ash	<i>Fraxinus oxycarpa</i>	Raywood	40	28
Leprechaun Ash	<i>Fraxinus pennsylvanica</i>	Johnson	18	16
Capital Pear	<i>Pyrus calleryana</i>	Capital	35	12
Chanticleer Pear	<i>Pyrus calleryana</i>	Chanticleer	40	15
Redspire Pear	<i>Pyrus calleryana</i>	Redspire	35	25

### Minimum 6' Planting Strip Width

(\*Refer to 4' tree list for additional trees for use under power lines)

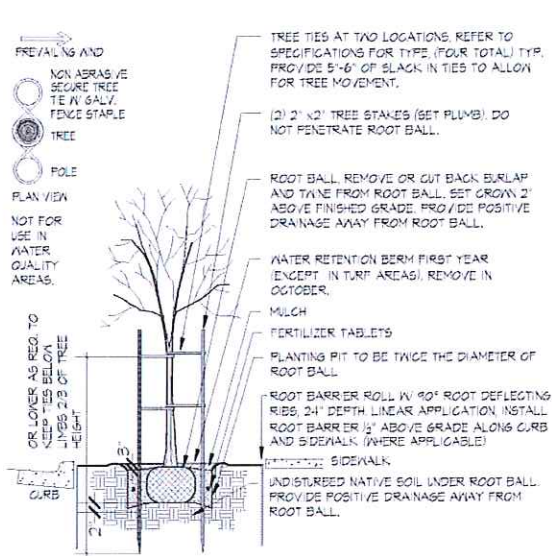
Common Name:	Scientific Name:	Cultivar:	Height (in FT)	Width (in FT)
Columnar Norway Maple	<i>Acer platanoides</i>	Columnar	35	15
European Hornbeam	<i>Carpinus betulus</i>	Fastigiata	35	25
Marshall Ash	<i>Fraxinus pennsylvanica</i>	Marshall	50	40
Summit Ash	<i>Fraxinus pennsylvanica</i>	Summit	45	25
Aristocrat Pear	<i>Pyrus calleryana</i>	Aristocrat	40	28
Greenspire Linden	<i>Tilia cordata</i>	Greenspire	40	30
Sterling Silver Linden	<i>Tilia tomentosa</i>	Sterling	45	35
Wireless Zelkova	<i>Zelkova serrata</i>	Schmidtlow	25	35
Village Green Zelkova	<i>Zelkova serrata</i>	Village Green	40	38

### Minimum 8' Planting Strip Width

(\*Refer to 4' tree list for additional trees for use under power lines)

Common Name:	Scientific Name:	Cultivar:	Height (in FT)	Width (in FT)
Crimson King Maple	<i>Acer platanoides</i>	Crimson King	40	35
Emerald Queen Maple	<i>Acer platanoides</i>	Emerald Queen	50	40
Summershade Maple	<i>Acer platanoides</i>	Summershade	42	40
Green Vase Zelkova	<i>Zelkova serrata</i>	Green Vase	50	40

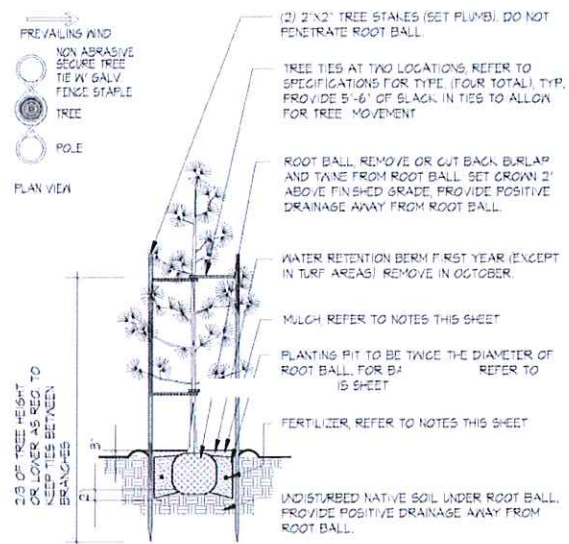
## Appendix D – Planting & Irrigation Details



**A B & B Tree Planting Detail**

Not To Scale

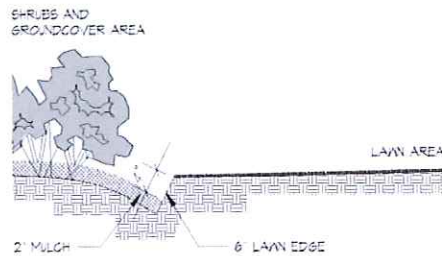
SECTION / PLAN VIEW



**B B & B Tree Planting Detail: Evergreen under 6' Height**

Not To Scale

SECTION / PLAN VIEW



**C Lawn Edge Detail**

Not To Scale

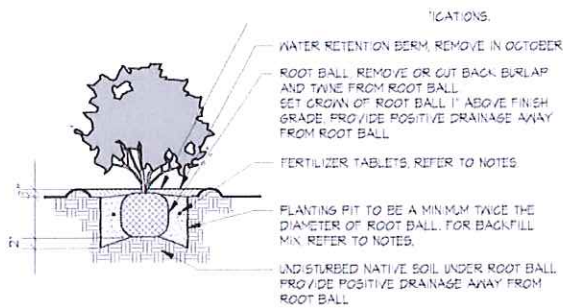
SECTION



**D Ground Cover Planting Detail**

Not To Scale

PLAN VIEW



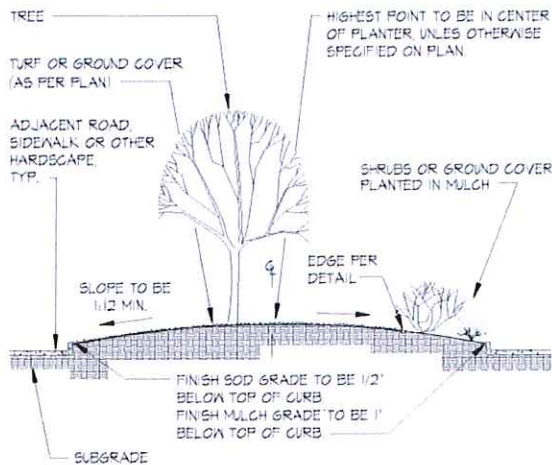
**E B & B Shrub Planting Detail**

Not To Scale

SECTION

All details shown are for reference only and are intended to be used as a general guide. Specific projects will require details specific to that project.

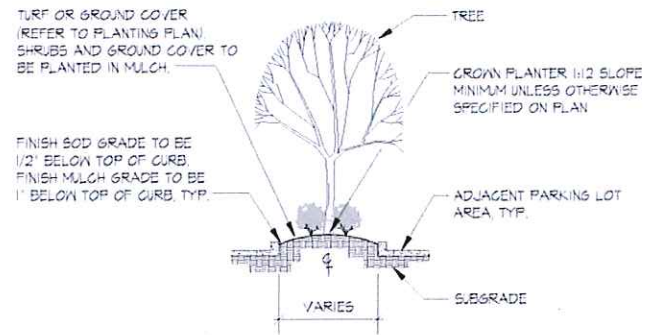




**F Typical Curbed Planter Area**

Not To Scale

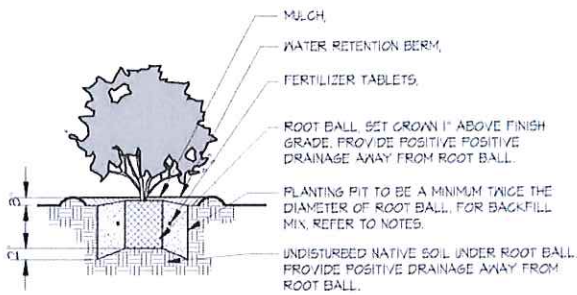
SECTION A-A



**G Typical Parking Finger Planter Area**

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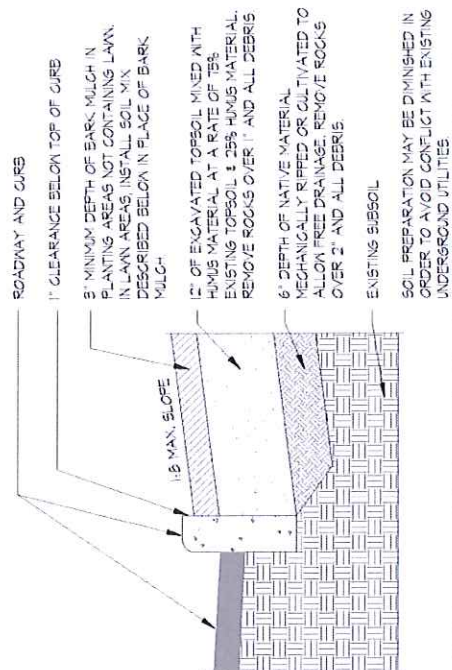
SECTION B-B



**H Container Ground Cover Planting Detail**

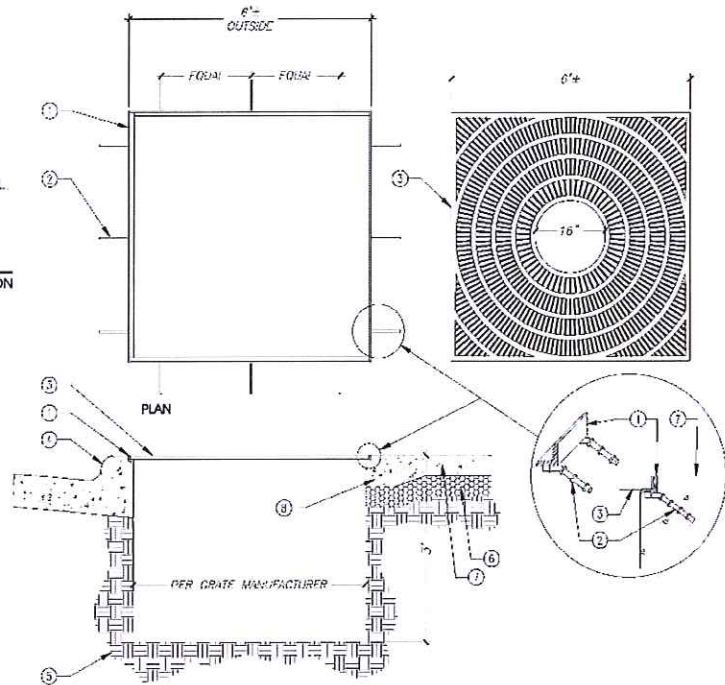
Not To Scale

SECTION



**I Soil Section at Curb within Planting Strips & Finger Islands**

Not To Scale



**NOTES:**

- ① 1" x 1" x 1/4" L STEEL FRAME
- ② #3 REBAR, WELD TO FRAME
- ③ 3/4" THICK TREE GRATE, CAST IN 2 PIECES, NO OPENINGS GREATER THAN 3/8", 16" DIA. CENTER OPENING
- ④ CURB AND GUTTER, REFER TO CIVIL PLANS
- ⑤ COMPACTED SUBGRADE, REFER TO CIVIL PLANS FOR % COMPACTION
- ⑥ LAYER OF 3/4" MINUS GRAVEL, REFER TO CIVIL PLANS
- ⑦ 4" CONCRETE SIDEWALK, SEE ENGINEERING DRAWINGS
- ⑧ THICKENED EDGE (6"x6")

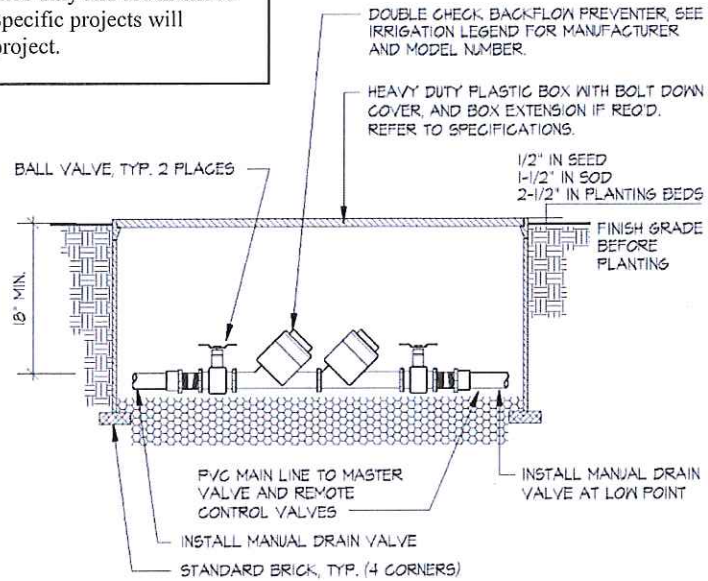
REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.

**J Tree Well & Tree Grate Detail**

Not To Scale

SECTION / PLAN VIEW

All details shown are for reference only and are intended to be used as a general guide. Specific projects will require details specific to that project.



NOTES:

1. EQUIPMENT TO BE INSTALLED A MINIMUM OF 24" FROM ANY STRUCTURE OR HARDCAPING.
2. USE TEFLON TAPE ON ALL THREADED FITTINGS.

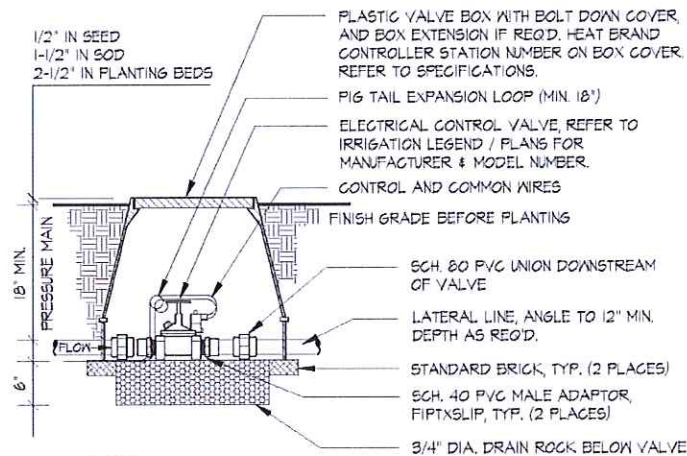


**Backflow Preventer Detail (2" & Smaller)**

Not To Scale

DOUBLE CHECK

SECTION



NOTES:

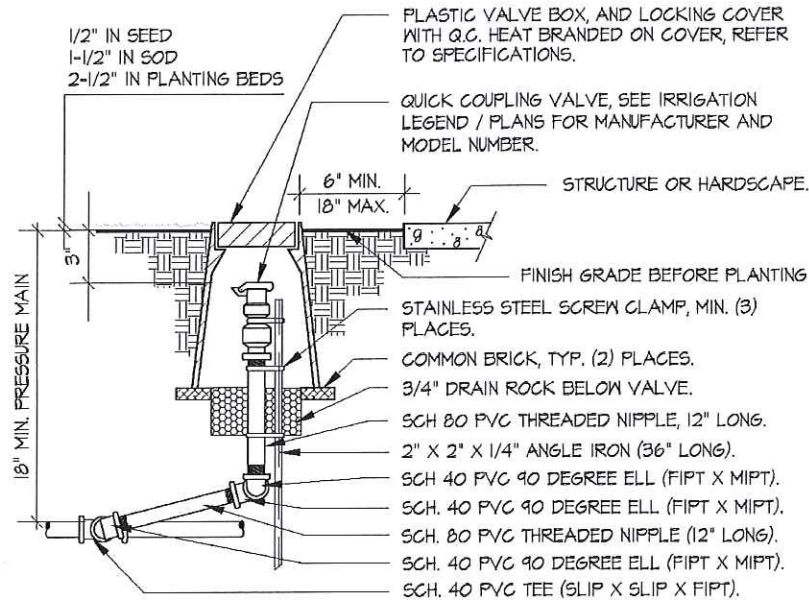
1. INSTALL VALVES A MINIMUM OF 12" FROM STRUCTURES OR HARDCAPING.
2. INSTALL VALVES IN PLANTING BEDS WHEREVER POSSIBLE.
3. PLACE VALVE BOX AT RIGHT ANGLES TO STRUCTURES OR HARDCAPING.
4. INSTALL VALVE BOX SO THAT TOP OF VALVE BOX IS FLUSH WITH ADJACENT HARDCAPING.
5. PLACE 3/4" DIA. DRAIN ROCK PRIOR TO INSTALLATION OF VALVE BOX.
6. USE TEFLON TAPE ON ALL THREADED FITTINGS.



**Electric Control Valve Detail: 3" & Smaller**

Not To Scale

SECTION



All details shown are for reference only and are intended to be used as a general guide. Specific projects will require details specific to that project.

#### NOTES:

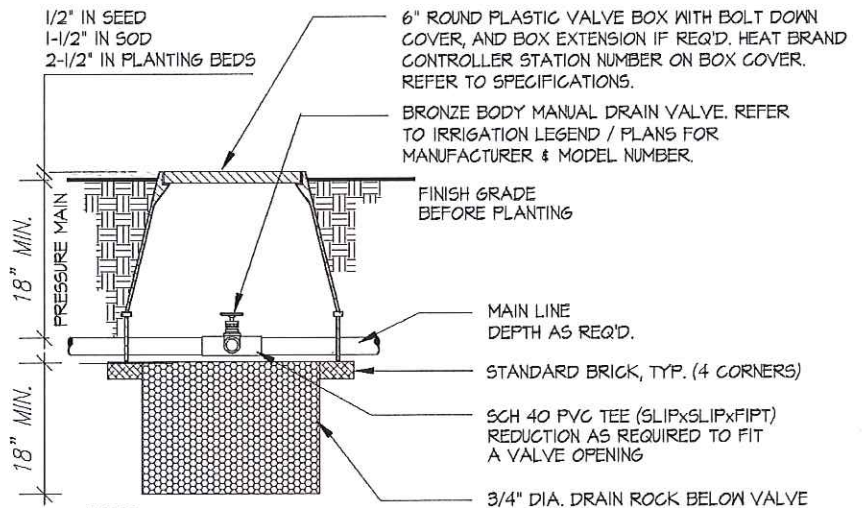
1. INSTALL QUICK COUPLING VALVES IN PLANTING BEDS WHEREVER POSSIBLE.
2. INSTALL VALVE BOX SO THAT TOP OF VALVE BOX IS FLUSH WITH ADJACENT HARDSCAPING.
3. PLACE 3/4" DIA. DRAIN ROCK PRIOR TO INSTALLATION OF VALVE BOX.
4. SIZE OF ASSEMBLY TO BE EQUAL TO THE FIPT OF THE QUICK COUPLER.

SPECIFICATIONS ARE INCLUDED WITHIN PLAN SHEETS, LANDSCAPE NOTES AND SPECIFICATIONS. REFER TO ALL PRIOR TO BIDDING AND CONSTRUCTION.

### C Quick Coupling Valve Detail (Within Valve Box)

Not To Scale

SECTION



#### NOTES:

1. PLACE VALVE BOX AT RIGHT ANGLES TO STRUCTURES OR HARDSCAPING.
2. INSTALL VALVE BOX SO THAT TOP OF VALVE BOX IS FLUSH WITH ADJACENT HARDSCAPING.
3. PLACE 3/4" DIA. DRAIN ROCK PRIOR TO INSTALLATION OF VALVE BOX.

SPECIFICATIONS ARE INCLUDED WITHIN PLAN SHEETS, LANDSCAPE NOTES AND SPECIFICATIONS. REFER TO ALL PRIOR TO BIDDING AND CONSTRUCTION.

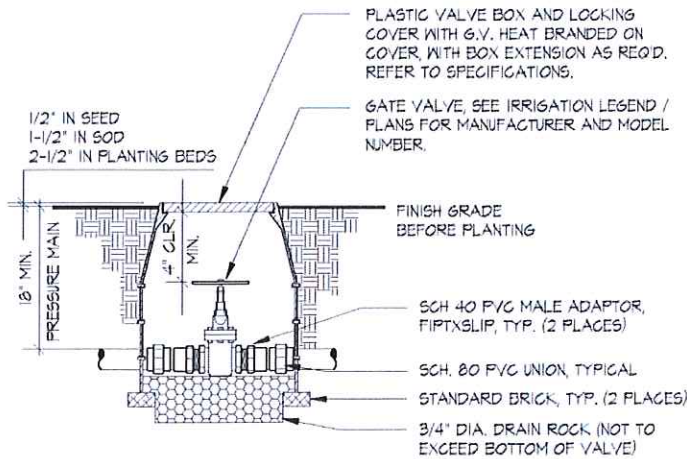
### # Manual Drain Valve

Not To Scale

SECTION

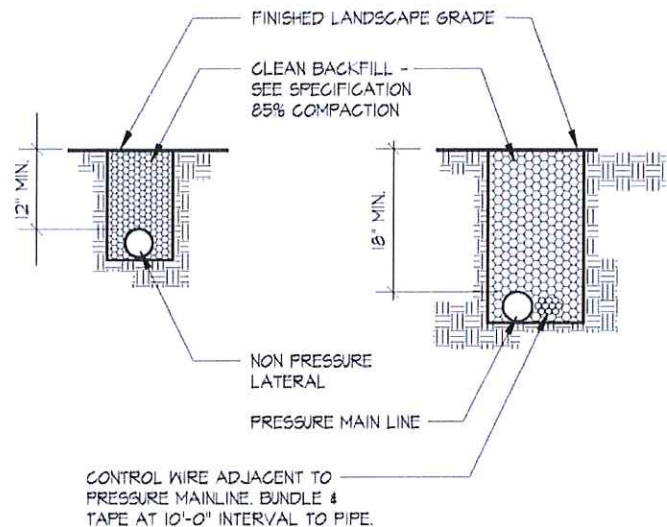


All details shown are for reference only and are intended to be used as a general guide. Specific projects will require details specific to that project.



## NOTES:

1. INSTALL GATE VALVES A MINIMUM OF 12" FROM STRUCTURES OR HARDSCAPING.
2. INSTALL GATE VALVES IN PLANTING BEDS WHEREVER POSSIBLE.
3. INSTALL VALVE BOX SO THAT TOP OF VALVE BOX IS FLUSH WITH ADJACENT HARDSCAPING.
4. USE TEFLON TAPE ON ALL THREADED FITTINGS.
5. PLACE 3/4" DIA. DRAIN ROCK PRIOR TO INSTALLATION OF VALVE BOX.



G

**Pipe Trenching Detail (w/in Landscape Areas)**

Not To Scale

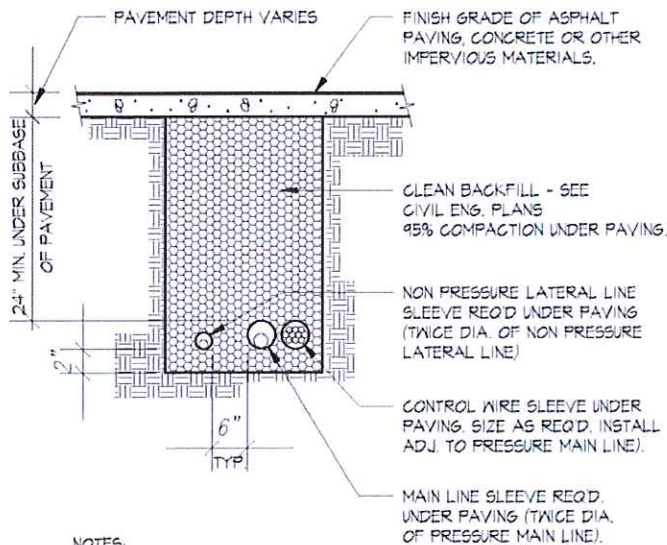
SECTION

E

**Gate Valve Detail: Threaded Ends (3" & Smaller)**

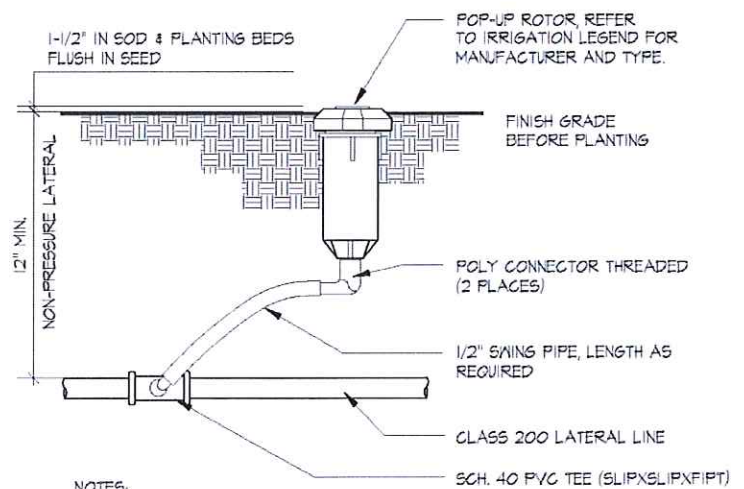
Not To Scale

SECTION



## NOTES:

1. ALL SLEEVES TO BE SCH. 40 PVC.
2. EXTEND ALL SLEEVES 12" BEYOND EDGE OF HARDSCAPING AT BOTH ENDS, CAP ENDS AND FLAG LOCATIONS.



## NOTES:

1. LOCATE HEAD 2" FROM WALKS, CURBS, HARDSCAPING, MOW STRIPS, HEADER BOARDS, AND THE EDGE OF LAWN AREAS.
2. LOCATE HEAD 12" FROM STRUCTURES.

H

**Pop-Up Rotor Detail**

Not To Scale

SECTION

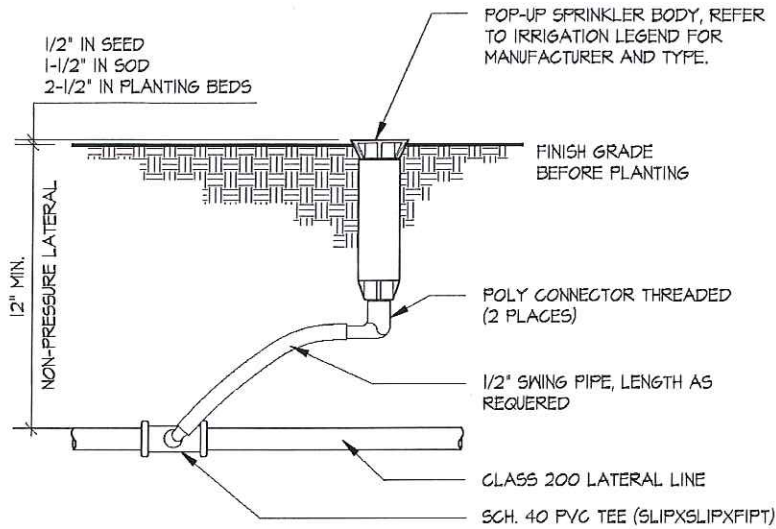
#

**Pipe Trenching Under Pavement Detail**

Not To Scale

SECTION





All details shown are for reference only and are intended to be used as a general guide. Specific projects will require details specific to that

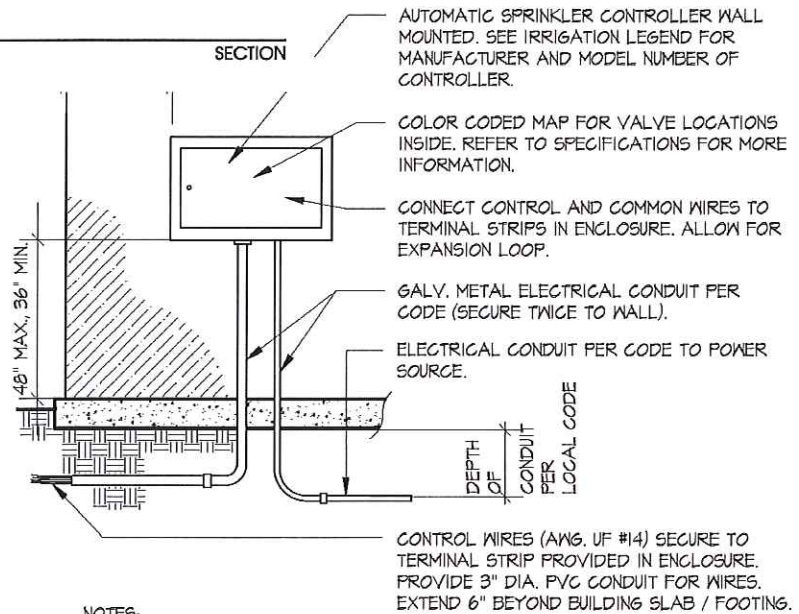
#### NOTES:

1. LOCATE HEAD 2" FROM WALKS, CURBS, HARDSCAPING, MOW STRIPS, HEADER BOARDS, AND THE EDGES OF LAWN AREAS.
2. LOCATE STREAM SPRAY / BUBBLERS 6" FROM ALL STRUCTURES, AND SPRAY HEADS 12" FROM ALL STRUCTURES, BUT 6" FROM ALL STRUCTURES IN GROUND COVER AREAS.

### Pop-Up Spray Detail

Not To Scale

SECTION



#### NOTES:

1. COMMON WIRE TO BE WHITE AND CONTROL WIRE TO BE RED IN COLOR. BUNDLE AND TAPE WIRING AT INTERVALS OF 10' O.C.
2. NO SPLICES TO BE MADE BETWEEN CONTROLLER AND REMOTE VALVE UNDER 500 LINEAR FEET.
3. PAINT CONTROLLER AND CONDUIT SUPPLY LINE TO MATCH BUILDING EXTERIOR COLOR.

### Automatic Controller Detail (Wall Mounted)

Not To Scale

SECTION

## **Appendix E – Outdoor Seating Associated with a Food or Beverage Business**

The City of Camas may allow outdoor seating associated with a food or beverage business subject to the following standards.

1. Submittal of an Encroachment Permit application to include a drawing of the table layout, circulation, barriers and spacing dimensions. The drawing shall include sidewalk width, table widths, barrier separation from inside the curblane, and distance from tree wells or other barriers.
2. Minimum Standards:
  - a. 48 inch cleared pedestrian sidewalk not including curb.
  - b. Encroachment not to extend beyond building limits or lease/owned space.
  - c. Barriers for areas serving alcohol shall meet standards and be a minimum of 42 inches in height with no opening greater than 10 feet along any wall.
  - d. City may allow a variation to the 48 inch standards for a distance of up to 10 feet dependent upon site constraints.
3. The City will require an insurance accord form with the City of Camas named as an additionally insured.



Community Development Department  
616 NE Fourth Avenue Camas, WA 98607

Item 1.

## Design Review Checklist- DR22-05 Hudson East Mixed-Use building

The purpose of this sheet is to provide a simplified and expedited review of the design review principles and guidelines using objective review standards. The standards are intended as tool for the decision-maker in making findings that the proposal either achieves compliance with the intent of the principles or reasonably mitigates any conflict. When reviewing the check sheet, the proposal should as a whole “comply” with the standards and thus be generally consistent with the overriding principles. [Yes = In Compliance; No = Not In Compliance; NA = Not Applicable]

### Standard Principles and Guidelines

ARCHITECTURE				
Yes	No	NA	Principles and Guidelines	Comments
			Corrugated materials, standing seam, T-1 11, or similar siding materials are avoided unless it produces a high visual (or aesthetic) quality.	
			Buildings walls or fences visible from roadways are articulated in order to avoid a blank look.	
			The use of bold colors has been avoided unless used as minor accents.	
			Higher density/larger structures abutting lower density residential structures have been designed to mitigate size and scale differences.	
LANDSCAPING AND SCREENING				
Yes	No	NA	Principles and Guidelines	Comments
			Vegetation for landscaping includes native, low maintenance plantings. Significant trees are retained if feasible.	
			Trees planted along streetscapes with overhead power lines include only those trees identified on the City’s Tree list.	
			Landscaping, including trees, shrubs, and vegetative groundcover, is provided to visually screen and buffer the use from adjoining less intense uses including parking.	
			Proposed fencing is incorporated into the landscaping so as to have little or no visual impact.	
			Signs located on buildings or incorporated into the landscaping are unobtrusive and vandal resistant. If illuminated they are front lit.	
			Landscape lighting - low voltage, non-glare, indirect lighting is directed, hooded or shielded away from neighboring properties.	

## DESIGN REVIEW CHECKLIST

Item 1.

			Street lighting (poles, lamps) is substantially similar or architecturally more significant than other street lighting existing on the same street and do not conflict with any City approved street lighting plans for the street.	
			Parking and building lighting is directed away from surrounding properties through the use of hooding, shielding, siting and/or landscaping.	
			Outdoor furniture samples are consistent with the overall project design.	
			Existing trees over 6" dbh that are not required to be removed to accommodate the proposed development are retained and incorporated into the landscape plan.	
			Rock outcroppings, forested areas and water bodies are retained.	
<b>HISTORIC AND HERITAGE PRESERVATION</b>				
<b>Yes</b>	<b>No</b>	<b>NA</b>	<b>Principles and Guidelines</b>	<b>Comments</b>
			The use of Historic Markers, information kiosks, project names, architectural features, or other elements of the project promote the historic heritage of the site or surrounding area.	

## Specific Principles and Guidelines

COMMERCIAL & MIXED USES				
ARCHITECTURE				
<b>Yes</b>	<b>No</b>	<b>NA</b>	<b>Principles and Guidelines</b>	<b>Comments</b>
			Office and retail buildings provide a minimum solid to void ratio of 60%/40%	
			The development is built with a residential feel (i.e. size, scale, and materials compatible with neighboring buildings) if surrounded by residential areas or adjacent to residentially zoned properties.	
			Buildings over two stories have the third story and above offset from the first two stories, if surrounding developments are less than three stories or land use designations on adjacent zones do not allow more than three story development.	
LANDSCAPING & SCREENING				
<b>Yes</b>	<b>No</b>	<b>NA</b>	<b>Principles and Guidelines</b>	<b>Comments</b>
			Intersections are illuminated, but not dominated by lighting. Lighting is incorporated into the landscape and illuminates the quality of the natural environment. Street light poles and lamps are compatible with other nearby lighting on the same street.	
			Parking spaces are clustered in small groupings and separated by landscaping to create a pedestrian friendly, park like environment.	



## DESIGN REVIEW CHECKLIST

Item 1.

STREETSCAPE				
Yes	No	NA	Principles and Guidelines	Comments
			On-site parking areas are located to the interior of the development unless site development proved prohibitive. Otherwise, parking areas are screened with landscaping.	
			Buildings are placed close to streets and roads unless site constraints made it impossible, or characteristics of the surrounding properties already developed made it incompatible. Otherwise, retail frontage setbacks do not exceed 25 feet from back of curb.	
			Window and door placement provides a high degree of transparency at the lower levels of the building and maximize visibility of pedestrian active uses.	
			Each use/activity in a development containing multiple uses/activities is integrated in a manner that achieves a seamless appearance or creates a cohesive development.	
			Watering system will maintain proposed landscaping for a period to ensure that plants are well established.	
			New streets intersecting commercial properties are designed to create a safe environment. "Coving" techniques and "round-a-bouts" were considered for traffic calming when appropriate.	

## Downtown Design Review – Appendix B

Compliance Y/N			Required Elements	Encouraged Elements	Comments
Yes	No	N/A	Landscape		
			Street trees @ 30' o.c. minimum	Seasonal color	
			Multiple layers of plantings	Fragrance	
			Canopy trees	Fall color	
			Understory trees	Specimen plants	
			Shrubs		
			Groundcover		
			Individual character		
			Maintenance plan covenant		
			Irrigation		
Yes	No	N/A	Hardscape		
			ADA Accessible tree grates <sup>1</sup>	Benches	
			Street lighting <sup>2</sup>	Trash receptacle	
			Public art (1% of construction cost)	Bike racks	
				Drinking fountains	

## DESIGN REVIEW CHECKLIST

Item 1.

				Water Feature	
Yes	No	N/A	<b>Screening (parking lots)</b>		
			3' wall or fence in landscape strip		
			Visual interest – no blank walls		
			Medium size trees 20' o.c. minimum <sup>3</sup>		
Yes	No	N/A	<b>Screening (service / trash collection areas)</b>		
			5' wall or fence in landscape strip		
			Visual interest – no blank walls		
			Medium size trees 20' o.c. minimum <sup>4</sup>		
			100% solid opaque gates		
Yes	No	N/A	<b>Private Pedestrian &amp; Parking Surfaces</b>		
			All weather concrete or asphalt	Pavers, Colored Concrete	
			ADA accessibility		
			Minimum 4' pedestrian path of travel		
Yes	No	N/A	<b>Pedestrian Surfaces w/in Public Right-of-Way</b>		
			ADA accessibility	Meandering sidewalks with special concrete scoring patterns	
			Decorative sidewalk (e.g. scored concrete, colored concrete, pavers, etc.)		
			Minimum 6' pedestrian path of travel		
Yes	No	N/A	<b>Architectural / Site Planning</b>		
			10 % maximum parking abutting the project frontage along the public way <sup>5</sup>	Parking accessed from alley	
			Main entrance oriented towards public way	Building located to form continuous colonnade along frontage	
			40% minimum to a maximum of 80% glazing of the ground floor elevation abutting the public way	Feature areas such as courtyards, sidewalk merchandising, etc.	
			5' wide rain protection attached to building along 90% of frontage <sup>6</sup>	Retail or restaurants on street level.	
			Roof mounted equipment screening via parapet or cornice	Office and residential units on upper floors.	
			Architectural detailing compatible with the existing downtown area		
			Architectural materials compatible with the existing downtown area		
			Natural – Compatible Colors	Energy Smart design	

## Hudson East Apartments (DR22-05)

Item 1.

### Index of Exhibits

Exhibit No.	Title/Description	Document Date
1	Site Plan	10/21
2	Narrative	9/21
3	First Floor Plan	10/15/21
4	Second-Fourth Floor Plan	10/15/21
5	Basement Plan	10/15/21
6	Elevations	10/15/21
7	Exterior Rendering	
8	Landscape Plan	10/21
9	Site Furnishing	5/9/22
10	Downtown Design Review Manual	7/21/14
11	Design Review Checklist	