



Hearings Examiner Meeting Agenda
Thursday, June 29, 2023, 5:00 PM
Council Chambers, 616 NE 4th AVE

NOTE: The City welcomes public meeting citizen participation. TTY Relay Service: 711. In compliance with the ADA, if you need special assistance to participate in a meeting, contact the City Clerk's office at (360) 834-6864, 72 hours prior to the meeting so reasonable accommodations can be made (28 CFR 35.102-35.104 ADA Title 1)

To Participate Remotely:

OPTION 1 - 1. Go to www.zoom.us and download the app or click "Join A Meeting" and use Meeting ID – 828 6693 6526

2. Or, from any device click <https://us06web.zoom.us/j/82866936526>

OPTION 2 - Join by phone (audio only): Dial 877-853-5257 and enter meeting ID# 828 6693 6526

For Public Comment:

Click the raise hand icon in the app or by phone, hit *9 to "raise your hand", or email to communitydevelopment@cityofcamas.us

These will be entered into the meeting record. Emails received up until one hour before the start of the meeting will be emailed to the Meeting Body prior to the meeting start time.

CALL TO ORDER

INTRODUCTIONS AND INSTRUCTIONS

HEARING ITEM

1. Couch Street Duplex (CUP22-04)
Presenter: Yvette Sennewald, Senior Planner

CLOSE OF MEETING

LAND USE DECISION

STAFF REPORT

Couch Street Duplex

File No. CUP22-04

(Related files: DR22-11)

<u>TO:</u>	Hearings Examiner	<u>HEARING DATE:</u>	June 29, 2023
<u>PROPOSAL:</u>	To request conditional use permit approval to construct a duplex residential structure on a property situated in the single-family residential zone.		
<u>LOCATION:</u>	The site is located on the westerly side of NW Couch Street, northerly of NW 12 th Avenue, in the NW ¼ of Section 11, Township 1 North, Range 3 East, of the Willamette Meridian; and described as tax parcel #986060366.		
<u>APPLICANT:</u>	Nick Jones, VestCapital 315 N Grand Boulevard Suite 200 Vancouver, WA 98661	<u>OWNER:</u>	Apex Education 315 N Grand Boulevard Suite 200 Vancouver, WA 98661
<u>APPLICATION SUBMITTED:</u>	October 7, 2022	<u>APPLICATION COMPLETE:</u>	March 29, 2023
<u>PUBLIC NOTICES:</u>	Notice of Application & Public Hearing was mailed to property owners within 300 feet of the site on June 14, 2023, and published in the Post Record on June 15, 2023. Legal publication #812380.		

APPLICABLE LAW: The application was submitted on October 7, 2022, and the applicable codes are those codes that were in effect at the date of application. Camas Municipal Code Chapters (CMC): Title 16 Environment, Title 17 Land Development; and Title 18 Zoning; Specifically (not limited to): Chapter 17.19 Design & Improvement Standards; Chapter 18.07 Use Authorization; Chapter 18.09 Density and Dimensions; Chapter 18.11 Parking; Chapter 18.13 Landscaping; Chapter 18.19 Design Review; Chapter 18.43 Conditional Use Permits; and Chapter 18.55 Administrative Provisions.

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SUMMARY

The applicant is proposing to construct a duplex, each unit proposed to be approximately 1,730 square-feet, on an approximately 5,001 square-foot vacant parcel that is within the R-7.5 - Single-Family Residential Zone. Duplex developments are allowed in the single-family residential zone, subject to the approval of a conditional use permit per CMC 18.07.040- Table 2.

The property is situated on the westerly side of NW Couch Street and was previously developed with a pole barn that has since been removed, with the exception of the slab that it was sitting on. The slab is proposed to be removed to facilitate the development of the duplex. Adjacent properties are also zoned R-7.5 with a mix of styles, sizes, and densities (i.e., single-family and multi-family). The application materials include photos of nearby multi-family properties as well as an aerial showing the plexes within the surrounding vicinity. There is an existing multi-family building located directly across the street from the project site and a duplex adjacent to the south of that. Several other duplexes and four-plexes are situated throughout the surrounding neighborhood.

The site is relatively flat with some overgrown brush along the northerly side of the parcel. The site contains an existing Douglas Fir tree at the northwest corner, as well as four smaller Douglas Fir trees that will remain in place. An existing gravel driveway provides access to the site. There are no critical areas or significant trees on site.

The applicant sought design review approval and a design review committee meeting was held May 18, 2023.

FINDINGS

Chapter 18.43 Conditional Use Permit

A. The proposed use will not be materially detrimental to the public welfare, or injurious to the property or improvements in the vicinity of the proposed use, or in the district in which the subject property is situated;

CMC 18.03.040 Definitions defines duplex as “a structure containing two dwelling units on one lot”. The applicant has proposed a structure with two dwelling units, which is consistent with this definition. The project is a development in a single-family residential zone but is a use than can allowed, with the approval of a conditional use permit.

The applicant’s narrative further states the building will fit in with the surrounding housing stock and shall comply with the current building code. There are many properties within the vicinity consisting of multi-family residences as well.

FINDING: The proposed development as a duplex is allowed with approval of a conditional use permit per CMC Chapter 18.07 Use Authorization and will not be detrimental to the public or adjacent uses given the existing uses in the vicinity.

B. The proposed use shall meet or exceed the development standards that are required in the zoning district in which the subject property is situated;

Development standards at CMC 18.09.040 Tables 1 and 2, for a single-family lot include building setback minimums, maximum height standards, and maximum building lot coverage standards. Parking and landscaping requirements are found in CMC Chapter 18.11 and 18.13, respectively. There are also specific building design standards for duplexes within CMC Chapter 18.19 Design Review and the Camas Design Review Manual discussed in further detail below of this staff report.

Setbacks

Building setbacks are based on lot sizes per CMC 18.09.040 Table 2. The subject property is approximately 5,001 square-feet in size. The setback standards for a lot that is between 5,000-11,999 sq. ft. are as follows: Front yard is 20-feet; Side yard is 5-feet; Rear yard is 25-feet. The proposed site plan demonstrates compliance with these setback requirements.

Parking

Residential uses must provide adequate off-street parking pursuant to CMC Chapter 18.11.130 *Standards*. A “duplex” use requires two off-street parking spaces per unit. The site plan shows that each garage includes two parking spaces, and each driveway is large enough to accommodate an additional two vehicles, therefore the parking requirement has been met.

Landscaping

Per the landscape plan, the applicant is proposing two trees in the front yard of the duplex in compliance with CMC 17.19.030.F.1 which states, “*Each dwelling unit within a new development shall be landscaped with at least one tree in the planting strip of the right-of-way, or similar location in the front yard of each dwelling unit, with the exception of flag lots and lots accessed by tracts. Required trees shall be a minimum two-inch diameter at breast height (dbh) to create a uniform streetscape (dbh is four and one-half above the ground as measured from upside of tree)*”. A duplex consists of two dwelling units; therefore, two street trees will be required. Per the applicant’s landscape plan, this criterion is met.

FINDING: Staff finds that the two trees proposed in the front yard meet the street tree requirements. The property owner is responsible for replacing the trees if they fail to survive, therefore appropriate measures shall be taken to ensure the trees survival. If a tree is removed or dies, it must be replaced within one year. A final landscape plan shall be submitted to the City prior to engineering plan approval. A condition will be warranted.

Landscape buffers:

The proposal must also comply with the applicable landscaping standards in CMC Chapter 18.13. The applicant has focused on the planting areas within the front yard adjacent to the driveways. Per CMC 18.13.055(A) Table 1- Landscape Buffers, a 5-foot (L1) landscape buffer is required for multi-family uses (i.e., duplexes) abutting residentially zoned property. The project site is adjacent to residentially zoned properties on both sides. For compliance with this standard, trees and shrubs should be provided per CMC 18.13.055.B.1 or a fully sight-obscuring fence be installed per CMC 18.13.055.B.4.b. While the site plan or landscape plan does not indicate any fencing to be installed, the applicant is aware of the requirement to either install a 5-foot L1 landscape buffer or a maximum 6-foot-high fence to meet this requirement. They have indicated a 6-foot-high fence would be utilized to fulfill this requirement and a condition is warranted.

Tree Density/Tree Survey:

There are no significant trees on site. Per CMC significant trees include “*evergreen trees eight inches DBH, and deciduous trees twelve inches DBH*” and “*does not include hazard trees or invasive species*”. The applicant is required to provide 20 tree units per acre per CMC 18.13.051. The property is .11 acres and as such, 2 tree units are required. Tree plantings are required to be a minimum of 2” cal. which calculates to two trees per CMC 18.13.051 Table 2. The two Quercus Rober “Crimson Spine” trees shown on the landscape plan are proposed to be 1.5” in size. The applicant should provide trees that are a minimum 2” caliper in size to meet this requirement.

A final landscape plan consistent with the landscaping standards in CMC Chapter 18.13 and the Camas Design Manual planting specifications and landscape notes should be submitted to the City for review and

approval prior to engineering plan approval. Trees should be installed prior to final occupancy and conditioned as such.

FINDING: Staff finds the proposed development as conditioned can or will meet the development standards that are required in the zoning district.

C. The proposed use shall be compatible with the surrounding land uses in terms of traffic and pedestrian circulation, density, building, and site design;

Traffic and Pedestrian Circulation:

The proposed development is located in an existing residential neighborhood that includes sidewalks located on one or both sides of the local roads providing for pedestrian circulation to several neighborhood parks and to the downtown area.

Roads:

The proposed project is to meet the requirements of CMC 17.19.040.B Streets.

The proposed duplex is located on the west side of NW Couch Street, which is classified as a local road per the 2016 Transportation Comprehensive Plan. The existing improved local roadway consists of approximately 30-feet of right-of-way, 24-feet of paved surfacing, curb on both sides, with curb tight sidewalk on the east side only. On-street parking is not permitted.

Per CMC 17.19.040.B Streets, when determined by the city engineering, half-width frontage improvements and right-of-way dedication may be required. As this is an existing improved local roadway, with the exception of removal and replacement of worn and deteriorated curb, neither full-depth half-width street improvements nor dedication of additional right-of-way will be required.

Staff recommends a condition of approval that prior to final engineering plan approval, the applicant should submit revised plans that include a provision for removal and replacement of the existing damaged and worn curb along the frontage.

FINDING: Staff finds that, as conditioned, the proposed development, as conditioned, can or will meet the City's road standards.

Density, Building and Site Design

The subject property is located in a residential neighborhood with a mix of designs and densities to include several multi-family residences. The design of the building is influenced by the existing character of the neighborhood to include architectural features and materials consistent with that of a residential use. The design of the building is discussed in further detail below.

FINDING: The development design is generally compatible with the surrounding land uses.

Water:

The proposed project is to meet the requirements of CMC 17.19.040.C.4 Water System. Per CMC 17.19.040.C.4.b. each unit of a duplex or townhome shall have its own water service.

There is an existing 6-inch ductile iron water main located on the west side of NW Couch Street. The applicant will be required to provide an individual water service, one per dwelling unit. The water services are to be tapped at the main, extended to the right-of-way, and a water meter box for each service is to be provided, per the Camas Design Standards Manual Water Details.

A 10-foot separation is to be maintained between the new water services and the new sanitary sewer laterals. Trenching, trench backfill, and surface restoration is to be in accordance with the Camas Design

Standards Manual (CDSM). All water services beyond the meters will be privately owned and maintained by the applicant.

FINDING: Staff finds that the applicant can and will provide water system improvements consistent with the City's standards.

Sanitary Sewer:

The proposed project is to meet the requirements of CMC 17.19.040.C.2 sanitary sewers. Per CMC 17.19.040.C.2.b duplex, tri-plex, and townhome units shall each have a dedicated sewer lateral, unless otherwise approved by the public works director or designee.

There is an existing 8-inch PVC gravity sanitary sewer main located in NW Couch Street. The applicant will be required to provide an individual sanitary sewer lateral for each dwelling unit. The sewer laterals are to be tapped at the main and extended to a cleanout at the right-of-way, per the Camas Design Standards Manual Sewer Details.

A 10-foot separation is to be maintained between the new water services and the new sanitary sewer laterals. Trenching, trench backfill, and surface restoration is to be in accordance with the Camas Design Standards Manual (CDSM). Sanitary laterals beyond the cleanout will be privately owned and maintained by the applicant.

FINDING: Staff finds that adequate provisions for sanitary sewer can or will be made.

Stormwater:

The proposed project is to meet the requirements of CMC 17.19.040.C.2 Stormwater Control.

The proposed development is located on Parcel No. 986060366, which is approximately 5,001 square feet (0.11 acres) in size. A preliminary TIR, stormwater report, dated November 13, 2022, was prepared by True North Geotechnical. Per the report the proposed development will consist of approximately 1,970 SF of non-pollution generating hard surface (Non-PGHS), approximately 420 sf of pollution generating hard surface (PGHS) for the driveway, and an overall total of 2,390 SF of new hard surface.

Per Ecology's *Stormwater Management Manual for Western Washington (SWMMWW)* Figure I-3.1 *Flow Chart for Determining Requirements New Development (Vol. I, Chapter 3)*, the following applies:

- *All new development projects shall comply with Minimum Requirement (MR) #2 – Submittal of a Stormwater Pollution Prevent Plan (SWPPP).*

At the time of building permit application, the applicant for the duplex will be required to submit a *Stormwater Pollution Prevent Plan (SWPPP)* as part of the building application. An abbreviated SWPPP is available from the Building Department.

- *If the project results in less than 5,000 sf, but more than 2,000 sf of new plus replaced hard surface area then Minimum Requirements (MR) #1- #5 will apply.*

The proposed development improvements are less than 5,000 sf but are more than 2,000 sf of new plus replaced hard surface, therefore *Minimum Requirements (MR) #1 - #5* apply. Treatment and detention, MR's 6 and 7, are not required.

The preliminary TIR, includes *Appendix I-E, is the LID Feasibility Checklist* from the *2015 Clark County Stormwater Manual*. Per CMC 14.02 Stormwater Control, the stormwater report/design is to be prepared in accordance with the latest edition of Ecology's *Stormwater Management Manual for Western Washington (SWMMWW)*. Current Ecology SWMMWW manual is the 2019 version. Additionally, the report refers to a 'single-family' residence when the proposed development is for a duplex.

Staff recommends a condition of approval that prior to final engineering plan approval, the preliminary stormwater report (TIR) should be revised to include the LID check lists from Ecology's *Stormwater Management Manual for Western Washington* and revise the discussion to reference the proposed duplex and not a single-family residence.

Per CMC 17.19.040.C.3.e. drainage for stormwater runoff from roof and footing drains is to be routed to an approved drainage system to prevent stormwater runoff impacts to adjoining parcels.

There is an existing catch basin south of the proposed development on the northwest corner of NW Couch Street and NW 12th Avenue. Refer to Ecology's latest edition of the *Stormwater Management Manual for Western Washington (SWMMWW)* for roof downspout controls. Roof downspouts and crawl spaces are to hard piped to weep holes in the new curb, to allow for stormwater to flow south via the gutter to the existing catch basin.

Staff recommends a condition of approval that prior to final engineering plan approval, the applicant should submit revised plans with roof downspouts and crawl spaces hard piped to weep holes in the new curb, to allow for stormwater to flow south via the gutter to the existing catch basin at the corner of NW Couch Street and NW 12th Avenue.

FINDING: Staff finds that adequate provisions for stormwater, as conditioned, can or will be made.

FINDINGS: Staff finds that, as conditioned, adequate provisions for streets, water, sanitary sewer, and stormwater to the site can be provided.

D. Appropriate measures have been taken to minimize the possible adverse impacts that the proposed use may have on the area in which it is located;

The duplex has been designed with a single-family residential feel and utilizes craftsman-like architectural features that are similar in nature to single family dwellings. The scale of the duplex is similar to neighboring residences. As mentioned earlier, either a 5-foot L1 landscape buffer or a maximum 6-foot-high fence is required to meet the landscape buffer requirement where a duplex is constructed adjacent to single-family residential zoned property which will minimize any potential adverse impacts of the duplex.

FINDING: Staff finds the building design and landscaping will minimize potential adverse impacts.

E. The proposed use is consistent with the goals and policies expressed in the comprehensive plan;

The citywide land use policy, Policy LU-1.3 requires compatibility of use and design of the surrounding and built environment for new development. Also, policy LU-1.5, states, "*Where compatible with surrounding uses, encourage redevelopment or infill development to support the efficient use of urban land.*" The proposed project being a duplex supports the policy of "efficient use of urban land".

Policy H-1.6, states, "*Encourage in-fill development on vacant or underutilized sites, subject to design review guidelines, that have adequate urban services, and ensure that the development is compatible with the surrounding neighborhood.*" Analysis of the surrounding neighborhood is provided within the Applicant's submittal. Staff finds that the in-fill development is compatible.

FINDING: Staff finds the development is consistent with the comprehensive plan.

F. Any special conditions and criteria established for the proposed use have been satisfied. In granting a conditional use permit the hearings examiner may stipulate additional requirements to carry out the intent of the Camas Municipal Code and comprehensive plan;

FINDING: After conducting a public hearing and deliberating over the evidence, the Hearings Examiner may include any additional conditions or criteria necessary to carry out the intent of the CMC and the Comprehensive Plan.

Chapter 18.19 Design Review

Design Review Committee member attendees: Ed Fischer, Whitney Henion, Geoerl Niles, Dawn Redmond, and Council Representative, Bonnie Carter. Kevin Breuner and Casey Wycoff were excused.

Design Review is required for new multi-family developments per CMC 18.19.020 and therefore the duplex building proposal is subject to the applicable design review standards in CMC 18.19.050.A Standard Principles and B.3.c Specific Principles for Duplex, Triplex and Four-Plex and the guidelines in the Camas Design Review Manual “DRM”. As such, a Design Review Committee public meeting was held May 18, 2023, to review the proposal and recommend conditions or other actions necessary for compliance with the Design Review Manual.

Standard Principles:

Landscaping and screening, integration, or natural features of the property, building design, and integration of historic elements;

Per CMC 18.13.055(A) Table 1- Landscape Buffers, a 5-foot (L1) landscape buffer is required for multi-family uses (i.e. duplexes) abutting residentially zoned property. The project is adjacent to residentially zoned and developed properties on both sides. For compliance with this standard, trees and shrubs should be provided per CMC 18.13.055.B.1 or a fully sight-obscuring fence be installed per CMC 18.13.055.B.4.b. Although fencing is not shown on the preliminary site plan, the applicant has indicated that they will provide fencing adjacent to the already developed single-family residential properties along the north, west, and south property lines. There is overgrown brush along the north side of the subject property that will be cleared to facilitate the construction of the proposed duplex. One large Douglas Fir tree is in the northwest corner of the site along with a few smaller Douglas Fir trees. All are proposed to remain in place. Additional trees and shrubs will be planted in the front yard area of the duplex and will meet the minimum tree density and landscaping requirements.

The modern style duplex building is proposed to be approximately 28-feet in height. Building materials such as asphalt composite shingles, vertical cedar siding, smooth stucco board, Hardie trip, and metal roofing accents will be incorporated into the design. The proposed design includes two complimenting color pallets utilizing gray, pewter green, off white, bronze, and white. Materials and colors selected are consistent with those seen on nearby residential structures. Any landscape or building lighting should be directed, hooded, or shielded away from surrounding properties, a condition is warranted.

Specific Principles:

Multi-Family Principles: Duplex, Triplex and Four-Plex

The garages account for less than 50% of the front façade. The Design Review Committee overall agreed that the duplex produced a complementary façade facing the street.

FINDING: The Design Review Committee and staff found the proposed Couch Street Duplex is generally in compliance with the Design Review Manual, and applicable design principles and guidelines of CMC Chapter 18.19.

CONCLUSION

Based on the above findings and discussion provided in this staff report, staff concludes the conditional use permit application for the Couch Street Duplex (File # CUP22-04) should be approved, because it does or can comply with the applicable standards if all conditions of approval are met.

RECOMMENDATION

Staff recommends APPROVAL of the Couch Street Duplex (File #CUP22-04) subject to the following conditions of approval in addition to the conditions of the Consolidated Decision (File No. DR22-11).

STANDARD CONDITIONS OF APPROVAL

1. Final engineering site improvement plans shall be prepared in accordance with the Camas Design Standards Manual (CDSM) and CMC 17.19.040.
 - a. Per CMC 17.19.040.C.a: All utilities designed to serve the development shall be placed underground.
2. The final engineering site plans shall be prepared by a licensed civil engineer in Washington State and submitted to the City's Community Development (CDEV) Engineering Department for review and approval.
 - a. CDEV Engineering is responsible for plan review (PR) and construction inspection (CI) of all the civil site improvements outside of building footprints.
3. Contact CDEV Project Manager for submittal requirements for CDEV Engineering's first review process.
4. CDEV shall collect a total 3% plan review and construction inspection (PR&CI) fee for the proposed development improvements outside of the building footprints. The following submittals are required:
 - a. A preliminary engineer's estimate is to be submitted prior to or with first review submittal.
 - b. The 3% fee is based on a stamped engineer's estimate.
 - c. Payment of the 3% plan review (PR) 2% construction inspection (CI) fee is to be paid prior to release of the approved construction drawings by CDev Engineering Dept.
 - d. Under no circumstances will the applicant be permitted to begin construction prior to final engineering plan approval.
5. In addition to approved civil engineering site plans, work within the right-of-way (ROW) will require a General Encroachment permit, issued by Development (CDev) Engineering.
 - a. A traffic control plan (TCP) is to be submitted with the encroachment permit for review and approval, prior to working within the right-of-way on NW Couch Street.
6. Regulations for installation of public improvements, improvement agreements, bonding, final platting, and final acceptance shall be found in CMC 17.21.
7. In the event that any item of archaeological interest is uncovered during the course of a permitted ground disturbing action or activity, all ground disturbing activities shall immediately cease, and the applicant shall notify the City, the tribes, and DAHP.
8. A building permit shall be required prior to commencement of construction of a building structure.
9. A building permit shall not be issued prior to completion of site improvements, unless otherwise approved by the Director.

10. At the time of building permit issuance, the applicant shall pay the appropriate impact fees in accordance with the provisions of CMC 3.88.
11. Prior to final acceptance, the applicant shall remove all temporary erosion prevention and sediment control measures from the site at completion of all site improvements, which includes stabilization of all disturbed soil, prior to issuance of Final Acceptance from CDEV Engineering.
12. As a component for final acceptance, final as-built construction drawing submittals shall meet the requirements of the Camas Design Standards Manual (CDSM).
 - a. The as-built cover sheet is to be the originally approved cover sheet signed by the City Engineer.
 - b. As-builts are to be submitted as PDFs.
 - c. As-builts are to be submitted in either AutoCad or Carlson formats.
13. Per CMC 17.21.050.B.2 and prior to final acceptance a 2-year warranty maintenance bond is to be submitted for all public improvements.
 - a. Per CMC 17.21.070.A Upon final acceptance of the development improvements the two-year (2) warranty bond commences.
14. Per CMC 17.21.070.E A letter of final acceptance will be issued once all items listed in 17.21.070.B-C have been completed, submitted, reviewed, and approved by the city.
15. Per CMC 18.18.070.B, prior to issuance of final occupancy permits, all public and private improvements shall be completed in accordance with CMC 17.21.070 Final Acceptance.
16. Unless construction of this site commences within two (2) years of issuance of this decision, this permit will expire.

SPECIAL CONDITIONS OF APPROVAL

Planning:

17. Prior to engineering plan approval, a final landscape plan consistent with the landscaping standards in CMC 18.13.050 and the Camas Design Manual planting specifications shall be submitted to the city for review and approval.
18. If any trees are proposed to be planted along streetscapes with overhead power lines, the landscape plan shall include only those trees identified on the City's Tree list.
19. The final landscape plan shall show either a 5-foot L1 landscape buffer or a 6-foot-high fence where adjacent to single-family residentially zoned properties.
20. The property owner is responsible for replacing the trees if they fail to survive, therefore appropriate measures shall be taken to ensure the trees survival. If a tree is removed or dies, it must be replaced within one year by the property owner.
21. Trees shall be installed prior to final occupancy.
22. Exterior lighting shall be shielded or hooded from neighboring properties.
23. If any signs are to be located on buildings or incorporated into the landscaping, they shall be unobtrusive and vandal resistant. If illuminated, they are to be front lit.

Engineering:

[Roads]

24. Prior to final engineering plan approval, the applicant shall submit revised plans that include a provision for removal and replacement of the existing damaged and worn curb along the frontage.

[Water]

No Special Conditions

[Sanitary Sewer]

No Special Conditions

[Storm Drainage]

25. Prior to final engineering plan approval, the preliminary stormwater report (TIR) shall be revised to include the LID check lists from Ecology's *Stormwater Management Manual for Western Washington* and revise the discussion to reference the proposed duplex and not a single-family residence.

26. prior to final engineering plan approval, the applicant should submit revised plans with roof downspouts and crawl spaces hard piped to weep holes in the new curb, to allow for stormwater to flow south via the gutter to the existing catch basin at the corner of NW Couch Street and NW 12th Avenue.

27. This permit shall expire two (2) years from the date of the final decision per CMC 18.55.260 if no building plans are submitted.



Community Development Department | Planning
 616 NE Fourth Avenue | Camas, WA 98607
 (360) 817-1568
 Permits@CityofCamas.us

General Application Form Couch Street Duplex

Case Number: CUP22-04

Applicant Information

Applicant/Contact: Nick Jones Phone: (503) 720-5028
 Address: 315 N Grand Blvd, Suite 200 nick@vestcapital.com
Street Address E-mail Address
Vancouver WA 98661
City State ZIP Code

Property Information

Property Address: 1241 NW Couch St 986060366
Street Address County Assessor # / Parcel #
Camas WA 98607
City State ZIP Code
 Zoning District R-7.5 Site Size 5,000 sf

Description of Project

Brief description: New duplex residence.

Are you requesting a consolidated review per CMC 18.55.020(B)? YES NO
 Permits Requested: Type I Type II Type III Type IV, BOA, Other

Property Owner or Contract Purchaser

Owner's Name: ~~VestCapital LLC~~ Apex Education Phone: (775) 412-1956
Last First
315 N Grand Blvd, Suite 200
Street Address Apartment/Unit #
 E mail Address: tanner@vestcapital.com Vancouver WA 98661
City State Zip

Signature

I authorize the applicant to make this application. Further, I grant permission for city staff to conduct site inspections of the property.

Signature: Tanner Wideriksen Digitally signed by Tanner Wideriksen
 DN: C=US, E=tanner@vestcapital.com, CN=Tanner Wideriksen
 Date: 2022.12.06 15:49:06-08'00 Date: _____

Note: If multiple property owners are party to the application, an additional application form must be signed by each owner. If it is impractical to obtain a property owner signature, then a letter of authorization from the owner is required.

Date Submitted: 12/7/22	Pre-Application Date:	<input type="checkbox"/> Electronic Copy Submitted Validation of Fees
Staff: <u>PA22-30</u>	Related Cases # <u>DR22-11</u>	
		\$6,002.00 Receipt #722640 12/7/22 CK

Application Checklist and Fees [updated on January 1, 2022]

◇ Annexation	\$863 - 10% petition; \$3,669 - 60% petition	001-00-345-890-00	\$
◇ Appeal Fee		001-00-345-810-00	\$399.00
◇ Archaeological Review		001-00-345-810-00	\$137.00
◇ Binding Site Plan	\$1,879 + \$24 per unit	001-00-345-810-00	\$
◇ Boundary Line Adjustment		001-00-345-810-00	\$103.00
◇ Comprehensive Plan Amendment		001-00-345-810-00	\$5,826.00
◇ Conditional Use Permit			
Residential	\$3,417 + \$105 per unit	001-00-345-810-00	\$ 3627
Non-Residential		001-00-345-810-00	\$4,328.00
◇ Continuance of Public Hearing		001-00-345-810-00	\$524.00
◇ Critical or Sensitive Areas (fee per type)		001-00-345-810-00	\$775.00
	(wetlands, steep slopes or potentially unstable soils, streams and watercourses, vegetation removal, wildlife habitat)		
◇ Design Review			
Minor		001-00-345-810-00	\$433.00
Committee		001-00-345-810-00	\$2,375.00
◇ Development Agreement	\$877 first hearing; \$530 ea. add'l hearing/continuance	001-00-345-810-00	\$
◇ Engineering Department Review - Fees Collected at Time of Engineering Plan Approval			
Construction Plan Review & Inspection	(3% of approved estimated construction costs)		
Modification to Approved Construction Plan Review	(Fee shown for information only)		\$420.00
Single Family Residence (SFR) - Stormwater Plan Review	(Fee shown for information only)		\$208.00
Gates/Barrier on Private Street Plan Review	(Fee shown for information only)		\$1,041.00
◇ Fire Department Review			
Short Plat or other Development Construction Plan Review & Insp.		115-09-345-830-10	\$284.00
Subdivision or PRD Construction Plan Review & Inspection		115-09-345-830-10	\$354.00
Commercial Construction Plan Review & Inspection		115-09-345-830-10	\$424.00
◇ Home Occupation			
Minor - Notification (No fee)			\$0.00
Major		001-00-321-900-00	\$69.00
◇ LI/BP Development	\$4,328 + \$41.00 per 1000 sf of GFA	001-00-345-810-00	\$
◇ Minor Modifications to approved development		001-00-345-810-00	\$346.00
◇ Planned Residential Development	\$35 per unit + subdivision fees	001-00-345-810-00	\$
◇ Plat, Preliminary			
Short Plat	4 lots or less: \$1,936 per lot	001-00-345-810-00	\$
Short Plat	5 lots or more: \$7,1755 + \$250 per lot	001-00-345-810-00	\$
Subdivision	\$7,175 + \$250 per lot	001-00-345-810-00	\$
◇ Plat, Final:			
Short Plat		001-00-345-810-00	\$200.00
Subdivision		001-00-345-810-00	\$2,375.00
◇ Plat Modification/Alteration		001-00-345-810-00	\$1,196.00
◇ Pre-Application (Type III or IV Permits)			
No fee for Type I or II			
General		001-00-345-810-00	\$354.00
Subdivision (Type III or IV)		001-00-345-810-00	\$911.00
◇ SEPA		001-00-345-890-00	\$810.00
◇ Shoreline Permit		001-00-345-890-00	\$1,196.00
◇ Sign Permit			
General Sign Permit	(Exempt if building permit is required)	001.00.322.400.00	\$41.00
Master Sign Permit		001.00.322.400.00	\$126.00
◇ Site Plan Review			
Residential	\$1,151 + \$34 per unit	001-00-345-810-00	\$
Non-Residential	\$2,876 + \$68 per 1000 sf of GFA	001-00-345-810-00	\$
Mixed Residential/Non Residential	(see below)	001-00-345-810-00	\$
	\$4,055 + \$34 per res unit + \$68 per 1000 sf of GFA		
◇ Temporary Use Permit		001-00-321-990-00	\$80.00
◇ Variance (Minor)		001-00-345-810-00	\$695.00
◇ Variance (Major)		001-00-345-810-00	\$1,295.00
◇ Zone Change (single tract)		001-00-345-810-00	\$3,345.00

Adopted by RES 1023 AUG 2005; Revised by RES 1113 SEPT 2007; Revised by RES 1163 OCT 2009; Revised by RES 1204 NOV 2010;
Revised by RES 15-001 JAN 2015; Revised by RES 15-007 MAY 2015; Revised by RES 15-018 DEC 2015; Revised by RES 16-019 NOV 2016;
Revised by RES 17-015 NOV 2017; Revised by RES 18-003 APRIL 2018; Revised by RES 18-013 NOV 2018; Revised by RES 19-018 DEC 2019
Revised by RES20-014 DEC 2020

Fees reviewed & approved by Planner:

YS

12/7/22

Initial

Date

For office use only

Total Fees Due: \$ 6,002.00

City of Camas
616 NE 4th Avenue
Camas, WA 98607
360-834-2462

Finance Office Hours:
Monday-Friday 9:00 - 5:00 p.m.

Date/Time 12/07/2022 09:47 AM
Receipt No. 00722640
Receipt Date 12/07/2022
CR plan 6,002.00
designrev
design review 2,375.00
cond.use
conditional use
permit 3,627.00

Cash: 0.00
Other: 6,002.00
0.00
Check: 0.00

Total: 6,002.00
Change: 0.00

Check No: COUCH ST DUPLEX

TANNER WIDERIKSEN
Customer #: 000000

Cashier: ckafouros
Station: IS02475



2. Conditional Use Permit

Narrative for Proposed Duplex for Tax Accounts: 986060366

The proposed duplex meets the standards identified for the conditional use permit under the CMC 18.43.050 Criteria:

- A. The proposed use will not be materially detrimental to the public welfare, or injurious to the property or improvements in the vicinity of the proposed use, or in the district in which the subject property is situated;**

The proposed duplex will fit in with other residential uses within the neighborhood. The proposed use will provide needed housing for the City of Camas and fits in with the surrounding housing stock. There are multiple plexes currently existing in and around the subject property. Providing rentable housing within neighborhoods of owner-occupied housing, creates a social connection with surrounding homeowners and a realization that these renters one day own their own homes. It also places renters close to the public facilities, parks and the walkability that this neighborhood offers.

- B. The proposed use shall meet or exceed the development standards that are required in the zoning district in which the subject property is located;**

The proposed duplex meets all setbacks (5' on the sides, 20' on the front and 25' on the rear). The duplex will be connected to all public utility services such as water and sewer. The height standards are met approx. 28' and will allow for four off street parking spots, two in the garage and two in the driveways.

- C. The proposed use shall be compatible with the surrounding land uses in terms of traffic and pedestrian circulation, density, building, and site design;**

The proposed duplex is compatible with the surrounding uses. It will have vehicular access to NW Couch St by driveway approach that meets all city development standards. The building proposed is a residential use which is in accordance with other residential uses within the neighborhood. The landscape design meets all site design requirements which will improve upon the current use.

- D. Appropriate measures have been taken to minimize the possible adverse impacts that the proposed use may have on the area in which it is located;**

The proposed duplex will have no adverse impacts on the neighborhood or surrounding homes. Though many of the existing plexes did not incorporate any of the architectural details of the existing homes in their design or construction, this proposed duplex has. It has incorporated turn of the century detail and a mix of material textures creating its construction an



improvement to the neighborhood and allow the owners to be good stewards and good neighbors.

E. The proposed use is consistent with the goals and policies expressed in the comprehensive plan;

The proposed use is consistent with the goals of having a wide variety and range of housing for all ages and income levels. It is creating the availability of another variety of residential density and housing type while preserving existing housing stock. In addition, it is development within an urban area of the city where adequate public facilities and services exist or can be provided in an efficient manner.

F. Any special conditions and criteria established for the proposed use have been satisfied. In granting a conditional use permit the hearings examiner may stipulate additional requirements to carry out the intent of the Camas Municipal Code and comprehensive plan.

No other special conditions or criteria were established at the time of the preparation of this application other than presented in pre-application notes.



3. Design Review

“Garages shall account for less than fifty percent of the front face of the structure. Garages visible from the street shall be articulated by architectural features, such as windows, to avoid a blank look.”

The garages of the new duplex face the street and meet the above standards. Windows are included in the garage doors and the front porches are forward of the garage face with posts overlapping the inside corner of the garage. This is an added element that softens the garage face.

a. Applicable setbacks, building footprint and elevations for the R-7.5 Single-Family Residential Zone. New construction must meet the following setbacks (based on lot sized between 5,000-11,999 square feet):

FRONT YARD: 20-feet

SIDE YARDS: 5-feet

REAR YARD: 25-feet

ACTUAL REAR YARD: 33'-1"

MAXIMUM BUILDING COVERAGE: 40%

ACTUAL BUILDING COVERAGE: 34.6%

b. All existing conditions shall be delineated on the site plan per CMC Section 17.11.030.B.6(a-p).

c. Off-street parking for four vehicles, or two spaces per unit per CMC Chapter 18.11 Parking.

d. Landscaping plan per CMC Chapter 18.13 Landscaping.

e. Parking areas must include 5-feet of landscaping between adjacent lot line (screening bushes and trees, and

f. Street trees must be installed in the planter strip of the frontage. One tree per unit.

Development sign. The applicant must install a 4'x8' sign on the property that provides details about the project, site plan, contact information, and includes space for public hearing information to be filled in when a date is scheduled. Staff can provide a handout if requested.

Landscaping Regulations. A Landscape, Tree, and Vegetation plans must be submitted pursuant to CMC 18.13.040.A. If trees are proposed for removal, a Tree Survey is required and must be prepared by a certified arborist or professional forester. A minimum 20-unit tree density per net acre is required to be incorporated into the overall landscape plan per CMC 18.13.051.A.



PA22-30

1241 NW Couch Street (CUP22-04 & DR22-11)

2. Conditional Use Permit

Narrative for Proposed Duplex for Tax Accounts: 986060366

Existing Site Conditions:

The existing site conditions for the proposed duplex at 1241 NW Couch Street has an existing concrete slab where a pole barn used to be located. The pole barn was removed in the past and the slab will be removed during the duplex construction. There is overgrown brush along the north side of the lot that will be cleaned up for future landscaping. There is one large Douglas Fir Tree at the northwest corner of the lot and approximately four smaller Douglas Fir Trees that will remain in place. The lot has a gravel driveway and the rest of the lot is covered in grass.

There are existing public storm, sanitary and water lines on Couch Street that will be utilized for future connections. The road is asphalt paved and has no sidewalks.



Pre-Application Meeting Notes
Couch Street Duplex
File PA 22-30

Meeting held via Zoom: Thursday, July 28th, 2022
 Notes issued via email: Tuesday, August 8, 2022

Applicant:

Apex Education
 315 Grand Blvd. Suite 200
 Vancouver, WA 98661

Representing City of Camas:

Yvette Sennewald, Senior Planner
 Robert Maul, Interim Director
 Randy Miller, Fire Marshal
 Eric Dugger, Engineering

Location:

Situated on the westerly side of Couch Street, south of 14th Avenue in the NW ¼ of Section 11, Township 1North, Range 3 East, of the Willamette Meridian.

Tax Accounts:

986060366

Zoning:

R-7.5

Description:

The applicant proposes to construct a duplex on subject 5,001 sq. ft. property, currently developed with a workshop building.

NOTICE: Notwithstanding any representation by City staff at a pre-application conference, staff is not authorized to waive any requirement of the City Code. Any omission or failure by staff to recite to an applicant all relevant applicable code requirements shall not constitute a waiver by the City of any standard or requirement. [CMC 18.55.060 (C)] This pre-application conference shall be valid for a period of 180 days from the date it is held. If no application is filed within 180 days of the conference or meeting, the applicant must schedule and attend another conference before the City will accept a permit application. [CMC 18.55.060 (D)] Any changes to the code or other applicable laws, which take effect between the pre-application conference and submittal of an application, shall be applicable. [CMC 18.55.060 (D)]. **A link to the Camas Municipal Code (CMC) can be found on the City of Camas website, <http://www.cityofcamas.us/> on the main page under "Business and Development".**

STAFF NOTES

PLANNING DIVISION

Yvette Sennewald | 817-7269

Applicable codes for development include Title 16 Environment, and Title 18 Zoning, of the Camas Municipal Code (CMC), which can be found on the city website. Please note it remains the applicant's responsibility to review the CMC and address all applicable provisions. The following pre-application notes are based on application materials and site plan submitted on June 16, 2022.

The proposed project includes the development of a duplex on a property in the single-family residential zone and requires approval of a Conditional Use Permit. This is a Type III permit and requires a public hearing before the city's Hearings Examiner.

Type III Conditional Use Permit	Fees (as of July 28 th , 2022)
Duplex - Conditional Use Permit	\$3,417 + \$105 per unit
Duplex - Design Review Committee	\$2,375

Application Requirements

Your proposal is required to comply with the general application requirements per CMC Section **18.55.110**.

The following items are required to be submitted for consideration of the proposed project:

- APPLICATION.** Required materials are listed at CMC18.55.110 (A through G) and include the following:
 - A completed city application form and required fees,
 - A complete list of the permit approvals sought by the applicant for this project,
 - One set of mailing labels for property owners as noted in CMC Section 18.55.110,
 - A detailed narrative description that describes the proposed development, existing site conditions, existing structures, public facilities and services, and other natural features. The narrative should also include ownership and maintenance of open spaces, stormwater facilities, public trails, and critical areas. It should also address any proposed building conditions or restrictions.
 - Three sets of drawings and an electronic copy (sent as a PDF by email). All documents and reports must be submitted as separate pdf files.
 - A copy of Preapplication meeting notes,
 - Preliminary Civil plans,
 - A vicinity map showing location of the site, and
 - Copy of a full title report.
- CONDITIONAL USE PERMIT.** The application should include photos of adjacent properties, and a description of the development patterns of the area. The applicant must include a written narrative that responds to each of the criteria in CMC §18.43.050 Criteria:

A. The proposed use will not be materially detrimental to the public welfare, or injurious to the property or improvements in the vicinity of the proposed use, or in the district in which the subject property is situated.

B. The proposed use shall meet or exceed the development standards that are required in the zoning district in which the subject property is situated.

C. The proposed use shall be compatible with the surrounding land uses in terms of traffic and pedestrian circulation, density, building, and site design.

D. Appropriate measures have been taken to minimize the possible adverse impacts that the proposed use may have on the area in which it is located.

E. The proposed use is consistent with the goals and policies expressed in the comprehensive plan.

F. Any special conditions and criteria established for the proposed use have been satisfied. In granting a conditional use permit the hearings examiner may stipulate additional requirements to carry out the intent of the Camas Municipal Code and comprehensive plan.

3. **DESIGN REVIEW.** The city will schedule a public meeting with the Design Review Committee (DRC) prior to the public hearing, as the DRC will provide a recommendation on the permit. An application for design review must include (at a minimum) building elevations, materials, exterior colors, and landscaping plans. There are specific standards for duplexes within the city's Design Review Manual. One of the standards states, "Garages shall account **for less than** fifty percent of the front face of the structure. Garages visible from the street shall be articulated by architectural features, such as windows, to avoid a blank look." The design should include a visible and articulated front entrance.

Preliminary site plan should show:

- a. Applicable setbacks, building footprint and elevations for the R-7.5 Single-Family Residential Zone. New construction must meet the following setbacks (based on lot sizes between 5,000-11,999 square feet):
FRONT YARD: 20-feet
SIDE YARDS: 5-feet
REAR YARD: 25-feet
MAXIMUM BUILDING COVERAGE: 40%
- b. All existing conditions shall be delineated on the site plan per CMC Section 17.11.030.B.6(a-p),
- c. Off-street parking for four vehicles, or two spaces per unit per CMC Chapter 18.11 Parking,
- d. Landscape plan per CMC Chapter 18.13 Landscaping,
- e. Parking areas must include 5-feet of landscaping between adjacent lot line (screening bushes and trees, and
- f. Street trees must be installed in the planter strip of the frontage. One tree per unit.

Development sign. The applicant must install a 4'x8' sign on the property that provides details about the project, site plan, contact information, and includes space for public hearing information to be filled in when a date is scheduled. Staff can provide a handout if requested.

Landscaping Regulations. A Landscape, Tree, and Vegetation plan must be submitted pursuant to CMC 18.13.040.A. If trees are proposed for removal, a Tree

Survey is required and must be prepared by a certified arborist or professional forester. A minimum 20-unit tree density per net acre is required to be incorporated into the overall landscape plan per CMC 18.13.051.A.

4. **SEPA.** According to RCW 43.21C.229, the proposed duplex will facilitate residential development and can be considered “infill development” therefore, is categorically exempt from State Environmental Policy Act (SEPA) requirements.

BUILDING DIVISION

Brian Smith | 817-1568

No comments at this time.

ENGINEERING DIVISION

Eric Dugger | 817-7977

General Requirements:

1. Civil site improvement plans shall be prepared by a licensed Washington State Engineer in accordance with the *Camas Design Standards Manual (CDSM)* and CMC 17.19.040.
2. Engineering civil site improvements plans are not to be submitted until after land-use decision is issued.
3. Community Development Engineering is responsible for plan review (PR) and construction inspection (CI) of all site improvements.
4. A 3% PR&CI fee is collected by engineering for all infrastructure improvements.
 - a. Under no circumstances will the applicant be allowed to begin construction prior to construction plan approval.
5. In addition to approved civil engineering site plans, work within the right-of-way (ROW) will require a General Encroachment permit, issued by Development (CDev) Engineering.
 - a. A traffic control plan (TCP) is to be submitted with the encroachment permit for review and approval, prior to working within the right-of-way on NW Couch Street.
6. Final acceptance is issued by the Community Development Engineering Dept.
7. Final acceptance is to be issued by Development Engineering, prior to issuance Final Occupancy by the Building Dept.
8. The applicant will be responsible for ensuring that private utilities; underground power, telephone, gas, CATV, interior street/parking lighting, and associated appurtenances are installed.

Traffic/Transportation:

1. A traffic study (TIA) is not required.

Streets:

1. The proposed development is located on NW Couch Street on the west side of the road on parcel No. 986060366.
2. Access for the proposed development is off NW Couch Street, which is designated as an existing local road.

3. NW Couch Street along the parcel frontage consists of approximately 40-feet of right-of-way, with an existing pavement width of 26 feet. The existing roadway consists of curb but no sidewalk along the parcel frontage.
 - a. The applicant will be required to construct a sidewalk and repair any damaged curb along the frontage of NW Couch Street.
 - b. Additionally, there will need to be a shared driveway approach to the duplex.

Stormwater:

1. The proposed development parcel is 5,001 sf (.11 acres) in size. The proposed improvements consist of approximately 2,265 sf of impervious surface, which includes footprint of the duplex and driveways.
2. Per CMC 14.02 Stormwater Control, stormwater treatment and detention shall be designed in accordance with the latest edition of Ecology's *Stormwater Management Manual for Western Washington (SWMMWW)*. Current Ecology manual is the 2019 version.
3. Refer to Ecology's Figure I-3.1 *Flow Chart for Determining Requirements for New Development (Vol. I, Chapter 3)*:
 - o All new development projects shall comply with Minimum Requirement (MR) #2 – Submittal of a *Stormwater Pollution Prevent Plan (SWPPP)*.
 - Contact Building or Engineering for a copy of the City's Abbreviated Construction SWPPP Form.
 - o As the project results in 2,000 sf, or more, of new plus replaced hard surface area then Minimum Requirements (MR) #1- #5 will apply.
4. Provisions are to be made for roof downspout controls. Stormwater from downspouts is not to be directed onto adjoining parcels, per CMC 14.02 and CMC 17.19.040.C.3.
 - o Reference Ecology's latest edition of the SWMMWW for roof downspout controls.
5. A designated concrete washout area (BMP C154, Vol. II, Chap. 3, pgs. 320-326), is to be shown on the site plans.
 - o The concrete washout area is to be removed prior to issuance of final occupancy

Erosion Control

1. Applicant is responsible for erosion prevention and sediment control during construction.
2. Mud tracking onto the road surface is discouraged and any mud tracking is to be cleaned up immediately.

Water:

1. There is an existing 6-inch ductile iron water main located on the west side of NW Couch Street.
2. A separate 1-inch water service and meter is to be provided for each dwelling unit.
3. 1-inch water services will be tapped by the city's Water/Sewer Department, in accordance with CDSM Water Detail W5 1" Water Service – Infill Lot.

- a. The applicant's contractor will be responsible for saw cutting, trenching, backfilling, and surface restoration.
4. Trenching, backfill, and surface restoration on NW Couch Street will be per CDSM General Details G2 Utility Trench Within Paved Areas and G2A Utility Trench Surface Restoration.
5. A 10-foot separation shall be maintained between water and sanitary sewer lines within the right-of-way.

Sanitary Sewer:

1. There is an existing 8-inch gravity sewer main located just east of the centerline of NW Couch Street.
2. The applicant will be required to provide a separate 6-inch min. lateral with cleanout to each dwelling unit.
3. Trenching, backfill, and surface restoration on NW Couch Street will be per CDSM Details G2 Utility Trench Within Paved Areas and G2A Utility Trench Surface Restoration.
4. A 10-foot separation shall be maintained between water and sanitary sewer lines within the right-of-way.

Garbage and Recycling:

1. The Applicant/Occupants are responsible for moving the garbage and recycling cans for pickup on NW Couch Street.

Parks/Trails:

1. Not applicable.

Impact Fees & System Development Charges (SDCs):

1. The proposed development is in the South District.
2. Impact Fees and SDCs are collected at time of building permit issuance.
3. The impact fees and SDCs noted below are for informational purposes only.
4. Impact fees and SDCs are adjusted on January 1st of each year.

Impact Fees for 2022:

Duplex/Townhome (per DU):

1. Traffic Impact Fees - \$2,253.00
2. School Impact Fees (SIF) (Camas) – 5,371.00
3. Park/Open Space Impact Fees (PIF) – \$5,217.00
4. Fire Impact Fees (FIF) - \$0.20 sf

System Development Charges (SDCs) for 2022:

- Water
 - 3/4" meter - \$8,071.00 + \$401.00 connection fee
- Sewer
 - Residential - \$2,493.00

No building or structure regulated by the building and/or fire code shall be erected, constructed, enlarged, altered, repaired, moved, converted or demolished unless a separate permit for each building or structure has first been obtained from the CWFMO Camas Municipal Code 15.04.030.D.12.a

Any inadvertent omission or failure to site or include any applicable codes or code language by the Fire Marshal's office or the City shall not be considered a waiver by the applicant.

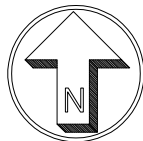
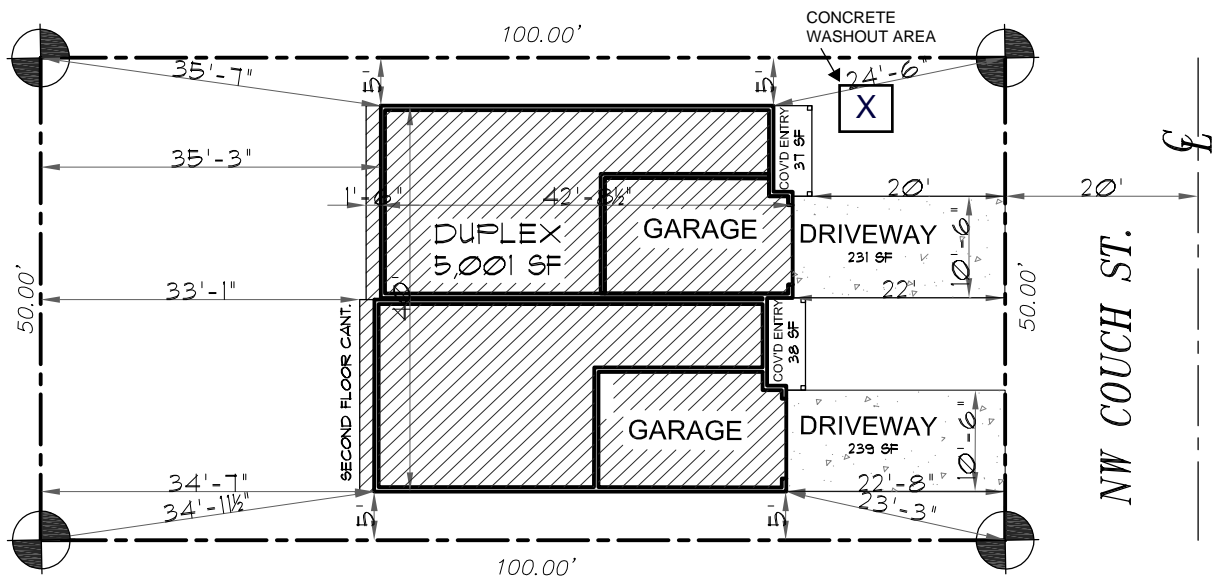
- 1) As the property develops with a residential structure, multiple permits with the Fire Marshal's Office may be required.
 - a. NFPA 13D Permit for any new residential dwelling including ADU's.
 - i. A minimum 2-inch water supply line is required OR confirm with your sprinkler contractor the size water line required by design from the meter into the house.
 - ii. A 1-inch meter if required for the fire sprinkler system has the SDC waived (fee of the actual cost difference between a 1 inch and a ¾ inch meter applies). If it is required based on any IRC/IPC building code requirements, then the SDC fees are not waived.
 - b. UST Permit. If any underground storage tanks are discovered.
 - c. Any Propane Tank installation for residential use over 125 gallons.
- 2) Additional Notes
 - a. Approved address signage required.
 - i. Provisions shall be made for temporary addresses at all times during the construction of a SFR/Duplex. There is a history of medical and or trauma calls during construction, addresses are critical in finding the patient rapidly in an emergency.
 - ii. Provisions shall be made for permanent addressing to be clearly visible and readable from the street on all SFR/Duplex building finals. Please make sure the address is high enough or positioned that a parked vehicle will not obstruct its visibility.
 - b. A flow switch is optional but recommended to tie the fire sprinkler system into the homes security system and or an outside bell.
 - c. If a PRV is needed for pressures over 80 PSI on the domestic supply, it shall be installed after the fire line supply. If the pressure is over 80 PSI a PRV may be needed on the toilet supply line supplied from the fire sprinkler system.
 - d. An inside bell or horn strobe is recommended (If system is not tied into a security system) Contact Randy Miller in the FMO for more information.
 - e. Providing fire sprinklers in garages are optional but strongly encouraged. Please contact the FMO for further details.
 - f. Washington State now requires a heat detector in all Garages.
 - g. The distance from a required fire hydrant may be increased when Residential Fire Sprinklers are installed. CMC 17.19.040.C.4.a.

3. Contact the FMO if you have any questions: 360-834-6191 or FMO@cityofcamas.us

LOT COVERAGE:
 LIVING/GARAGE = 1655 SF
 FRONT ENTRY = 75 SF
 TOTAL = 1,730 SF
 LOT = 5,000 SF
 34.6% LOT COVERAGE

SETBACKS:
 FRONT = 20'
 REAR = 25'
 SIDE YARD = 5'

AREA CALCULATIONS
 MAIN FLOOR = 1,189 SF
 UPPER FLOOR = 1,712 SF
 TOTAL = 2,901 SF
 GARAGE = 466 SF



SITE PLAN

SCALE : 1"=20'

PLAN NAME:
 DRAWN: AK
 PLOT: 6/10/22
 SCALE: 1"=50'-0"

COUCH ST. DUPLEX
 CAMAS, WA

DRAFTING CORP
 Your new home starts here

26

Building Envelope Improvements (7)		REQUIRED CREDITS	
1.1 Glazing: U-0.24	0.5	Very Small Additions (additions <500 sf)	1.5
1.2 Glazing: U-0.20	1.0	Small Additions (additions 500-1500 sf)	3
1.3 OR Glazing: U-0.25; Floor: R18; Walls: R18; Below-grade wall: R21 + R5c	0.5	Small Dwelling (dwellings <1500 and <300 sf of glazing)	3
1.4 OR Reduce the total conductive UA by 5%	1.0	Medium Dwelling (dwellings and additions ≥1500-5000 sf, sm dwellings with >300 sf of glazing)	6
1.5 OR Glazing: U-0.22, Ceiling (flat/ vaulted): R49 advanced, Walls: R16c, Floor: R35, Below-grade wall: R21 + R15c; OR Reduce the tot. cond. UA by 30%	2.0	Large Dwelling (dwelling >5000 sf)	7
1.6 OR Glazing: U-0.18, Ceiling (flat/ vaulted): R60 advanced, Walls: R16c, Floor: R48, Below-grade wall: R21 + R15c; OR Reduce the tot. cond. UA by 40%	3.0	Fuel Normalization (heating)	
1.7 OR Glazing: U-0.28, (Advanced Framing), Ceiling: R49 advanced.	0.5	1 Comb. Heating min. NAECA (2)	0.0
		2 Heat pump (3)	1.0
		3 Elec. Res. Heat only (furnace or zonal)	-1.0
		4 DHP with zonal electric resistance, per option 3.4	0.5
		5 All other heating systems	-1.0
		HE HVAC Dist. System	
		4.1 Air handlers located in cond. Space. Ducts: see R403.3.4-7. Duct leakage limit: 3 cfm/100sf of cond. space (9)	0.5
		4.2 HVAC/Duct equip. per R403.3.7 Sys. comp. cannot be located in cond. crawlspace. (10) Elec. resist. heat/ductless heat pumps not permitted. Dir. Comb. Heating <80% AFUE not permitted.	1.0
		Efficient H2O Heating	
		5.1 Drain H2O HRU captures only shower waste H2O heat (2)	0.5
		5.2 Gas or prop. H2O heater w/ UEF ≥ 0.8 (1)	0.5
		5.3 Choose from one of the following: - Gas or prop. H2O heater w/ UEF ≥ 0.91 - Solar H2O heating w/ rated min. savings of 2000kWh (SRCC) - H2O heated by ground-source heat pump meeting req. of 3.3	1.0
		5.4 Electric heat pump H2O heater meeting standards for Tier 1 of NEEA's advance H2O heating specs (1)	1.5
		5.5 Electric heat pump H2O heater meeting standards for Tier III of NEEA's advance H2O heating specs (1)	2.0
		5.6 Elec. heat pump H2O heater w/ a min. UEF of 2.9 & utilizing split-system config. w/ air-to-refrigerant heat exchanger located outdoors. Equipment shall meet Section 4, requirements for all units, of the NEEA standard Advance H2O Heating Spec w/ the UEF noted above (1)	2.5
		Renewable Electric Energy (5)	
		6.1 1 credit/1200 kWh generated per housing unit (3) (4)	1.0
		Appliance Package	
		7.1 Major appliances meet Energy Star requirements (5)	0.5

RESIDENTIAL COMPLIANCE CHECKLIST
Single Family Construction (not applicable for R-2 construction)
Circle credit selections

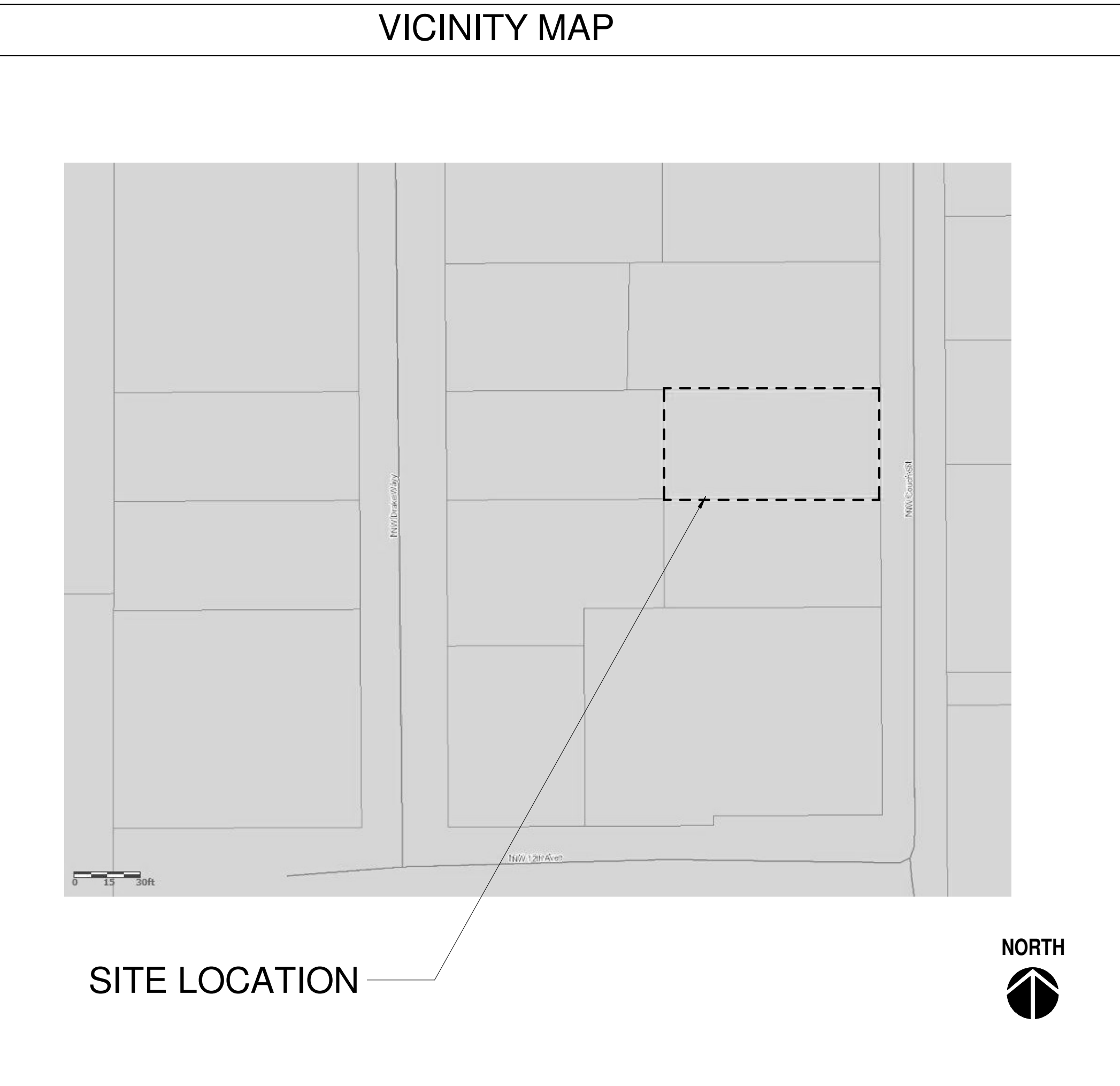
NOTES

1. An alternative heating source sized @ max of 0.5 W/sf of heated floor area or 500W, whichever is bigger, may be installed in the dwelling unit.
2. Equipment listed in Table C403.3.2(4) or C403.3.2(5)
3. Equipment listed in Table C403.3.2(1) or C403.3.2(2)
4. You cannot select more than (1) option from any category EXCEPT in category 5. Option 5.1 may be combined with options 5.2-5.6 See Table 403.3.
5. 1.0 credits for each 1200 kWh of electrical generation provided annually, up to 3 credits max. See complete Table R403.2 for all req. and option descriptions.
6. To qualify to claim this credit, the building permit drawings shall specify the option being selected & shall specify the max tested bid air leakage & show the HRV sys.
7. An alternative heating source sized at a max of 0.5 W/sf of heated floor area or 500W, whichever is bigger, may be installed in the dwelling unit.
8. To qualify to claim this credit, the bid permit drawings shall specify the option being selected & specify the heating equipment type & the min. equipment efficiency.
9. For mech. equip. outside cond. space, max 10' return duct & 5' supply duct connections to equipment may be made energy tested. All metallic ducts outside cond. space must have both transverse & longitudinal joints sealed w/ mastic. If flex ducts are used, they cannot contain splices.
10. Bid permit drawings shall specify option selected & specify heating equipment type & show the location of the heating & cooling equipment & all ductwork.
11. To qualify to claim this credit, the bid permit drawings shall specify the option being selected & shall specify the H2O heater equip. type & min. equip. efficiency.
12. Min. efficiency of 40% if installed for equal flow or a min. efficiency of 56% if installed for unequal flow. Such units shall be rated in accordance w/ CSA B55.1 or APMO IGC 346-2017 & be labeled.
13. To qualify to claim this credit, the bid permit drawings shall include a plumbing diagram that specifies drain H2O HRU & plumbing layout needed to install it. Labels or other documentation shall be provided that demonstrates that the unit complies w/ the standard.
14. Generation calculated via: For solar electric systems, the design shall be demonstrated to meet this requirement using the National Renewable Energy Laboratory calculator PVWATTS or approved alternate by the B.O.
15. Documentation of solar access shall be included on the plans. For wind generation, project design shall document annual power generations based on the following factors: the wind turbine power curve, average annual wind speed at site, frequency distribution of the wind speed at the site & height of the tower.
16. To qualify to claim this credit, the bid permit drawings shall specify the option being selected & shall show the photovoltaic or wind turbine equipment type, provide documentation of solar & wind access, & include a calculation of the min. annual energy power production.
17. To qualify to claim this credit, the bid permit drawings shall specify the option being selected & shall show the appliance type & provide documentation of Energy Star compliance. At the time of inspection, all appliances shall be installed & connected to utilities. Dryer ducts & exterior dryer vent caps are not permitted to be installed in the dwelling unit.
18. If A/C is to be installed, provide Manual J showing performance. Inspector may request Manual J prior to final in this case.
19. Building envelope components not mentioned in items 1.1-1.7 shall comply with current WA State Energy Code (Table R402.1.1)

2018 Washington State Energy Code Insulation Requirements

HVAC Summary	O.S.A. (Outside Air)		BLDG. Components
	HRV	IRV	
Must not be to be separated	Yes	No	SLAB
Efficiency Rating	BTU's	CFM	BELOW-GRADE WALL
U.S.A. (Outside Air)			FLOOR
			EXT. WALLS
			VAULTED CEILING*
			CEILING W/ ATTIC
			SKYLIGHTS
			WINDOWS
			U-0.30
			U-0.50
			R-21 (inf)
			R-38
			R-49
			R-10, 2ft down perimeter
			R-10/15c1 (inf) - TB
			Adjusted R/U Values per Credit Selections

Revised: 1/29/2021



VICINITY MAP		PROJECT INFORMATION		CODE SUMMARY																													
<p>DESCRIPTION: SINGLE FAMILY DUPLEX</p> <p>OWNER: APEX EDUCATION LLC PHONE: (775) 412-1956</p> <p>BUILDER: PALLADIAN GROUP LLC PHONE: (360) 907-5475</p> <p>STRUCTURAL ENGINEER: GREEN MOUNTAIN 6833 NW FRIBER-STRUNK ST, CAMAS, WA 98607 PHONE:</p>		<p>LOT #: 6</p> <p>SITE ADDRESS: NW COUCH STREET, CAMAS, WA</p> <p>PARCEL #: 986060366</p> <p>SITE SQUARE FOOTAGE: 5,000 SF</p> <p>BUILDING COVERAGE: 1,730 SF (34.6%)</p> <p>IMPERVIOUS AREA: 470 SF</p>		<p>CODE: 2018 International Residential Building code</p> <p>ZONING: R-7.5</p> <p>OCCUPANCY: SINGLE FAMILY</p> <p>CONSTRUCTION: TYPE V</p> <p>INSULATION: UNDERFLOOR: R-38 UNDERSLAB: R-10 (2" RIGID) WALLS: R-21 RIM JOISTS: R21 BATT = R28.4 ROOF/CEILING R-49 MIN R-21 AT EAVE WINDOWS AND GLAZED DOORS AREA WEIGHTED AVERAGE OF U. 0.30 MAX MIN 60% REQUIRED INSULATION AT DUCTS IN EXTERIOR FLOORS AND CEILINGS</p>																													
<p>TOTAL MAIN FLOOR LIVING: 594 SF</p> <p>TOTAL UPPER FLOOR LIVING: 857 SF</p> <p>TOTAL SQUARE FOOTAGE LIVING: 1451 SF</p> <p>SQUARE FOOTAGE GARAGE: 233 SF</p> <p>COVERED PORCH: 38 SF</p> <p>COVERED PATIO: NONE</p>		<p>WHOLE HOUSE MECHANICAL VENTILATION SYSTEM: INTERMITTENT WHOLE HOUSE VENTILATION INTEGRATED WITH THE FORCED AIR HVAC SYSTEM PER CODE (IRC M1507.3.5) INTERIOR ENVIRONMENT IS EPA INDOOR AIRPLUS COMPLIANT BATHROOM LAUNDRY ROOMS EXHAUST FANS MIN 50CFM KITCHEN EXHAUST 100 CFM MIN</p>		<table border="1"> <thead> <tr> <th></th> <th>LEFT UNIT</th> <th>RIGHT UNIT</th> <th>TOTAL</th> </tr> </thead> <tbody> <tr> <td>TOTAL MAIN FLOOR LIVING</td> <td>594 SF</td> <td>595 SF</td> <td>1189 SF</td> </tr> <tr> <td>TOTAL UPPER FLOOR LIVING</td> <td>857 SF</td> <td>855 SF</td> <td>1712 SF</td> </tr> <tr> <td>TOTAL SQUARE FOOTAGE LIVING</td> <td>1451 SF</td> <td>1450 SF</td> <td>2901 SF</td> </tr> <tr> <td>SQUARE FOOTAGE GARAGE</td> <td>233 SF</td> <td>233 SF</td> <td>466 SF</td> </tr> <tr> <td>COVERED PORCH</td> <td>38 SF</td> <td>37 SF</td> <td>75 SF</td> </tr> <tr> <td>COVERED PATIO</td> <td>NONE</td> <td>NONE</td> <td>NONE</td> </tr> </tbody> </table>			LEFT UNIT	RIGHT UNIT	TOTAL	TOTAL MAIN FLOOR LIVING	594 SF	595 SF	1189 SF	TOTAL UPPER FLOOR LIVING	857 SF	855 SF	1712 SF	TOTAL SQUARE FOOTAGE LIVING	1451 SF	1450 SF	2901 SF	SQUARE FOOTAGE GARAGE	233 SF	233 SF	466 SF	COVERED PORCH	38 SF	37 SF	75 SF	COVERED PATIO	NONE	NONE	NONE
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SHEET INDEX

Sheet	Sheet Name
A0	Cover Sheet (NA)
A1	Building Elevations
A2	Foundation Layout
A3	Floor Plans
A4	Electrical Plans
A5	Schedules
A6	Framing
A7	Building Sections
S1	Structural Notes
S2	Structural Plans

BUILDING CODE

DESIGNED PER:
2018 INTERNATIONAL RESIDENTIAL CODE (IRC)

GENERAL FRAMING NOTES: (See Structural & Architectural Sheets for add'l information)		
FIRST FLOOR	9'-1 1/8" HEIGHT	SECOND FLOOR
FLOOR-	7/8" FLOOR SHEATHING 9 1/2"x1 3/4" JOIST SIZE 24" JOIST SPACING R-30 INSULATION VALUE	FLOOR-
WALL-	1/2" WALL SHEATHING 24" STUD SPACING R-21 INSULATION VALUE	WALL-
		14"x1 3/4" JOIST SIZE 24" JOIST SPACING R-30 INSULATION VALUE
		1/2" WALL SHEATHING 24" STUD SPACING R-21 INSULATION VALUE

GARAGE LEFT DUPLEX COUCH STREET

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COUCH STREET DUPLEX

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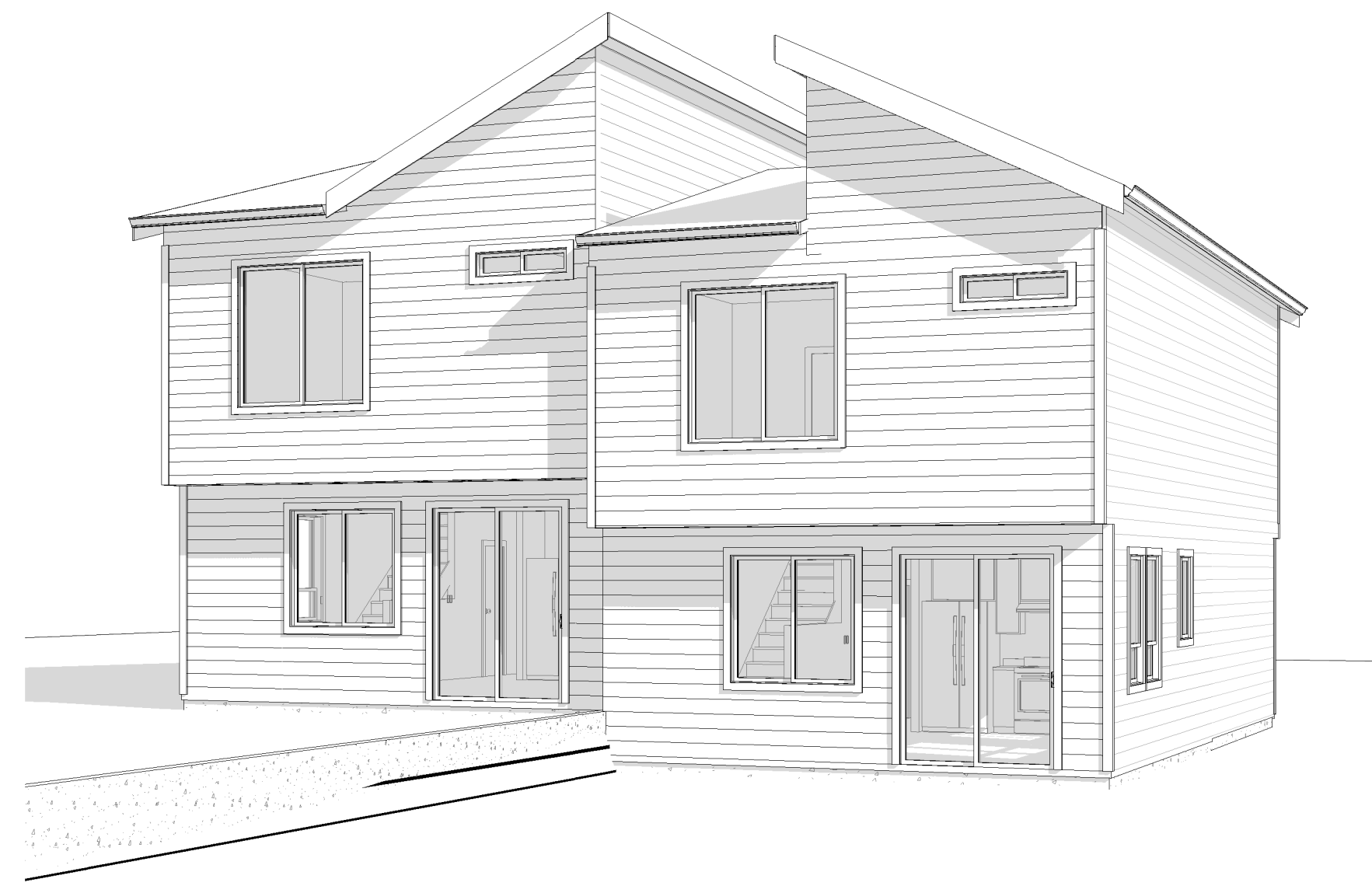
Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

SHEET
Cover Sheet (NA)

A0



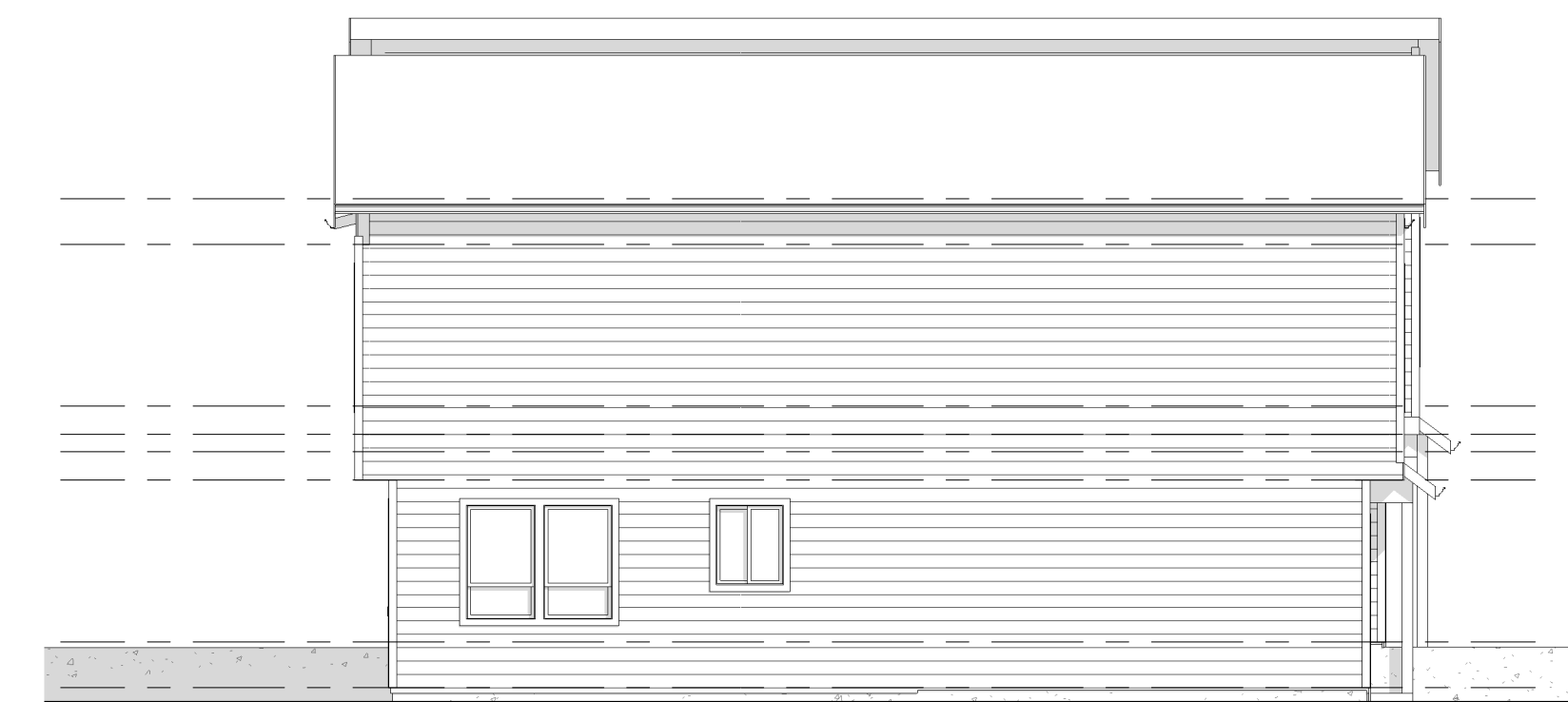
FRONT ELEVATION
 1/4" = 1'-0"



LEFT ELEVATION
 1/8" = 1'-0"



REAR ELEVATION
 1/8" = 1'-0"



RIGHT ELEVATION
 1/8" = 1'-0"



COUCH STREET DUPLEX

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SHEET
 Building Elevations

A1

FOUNDATION NOTES:

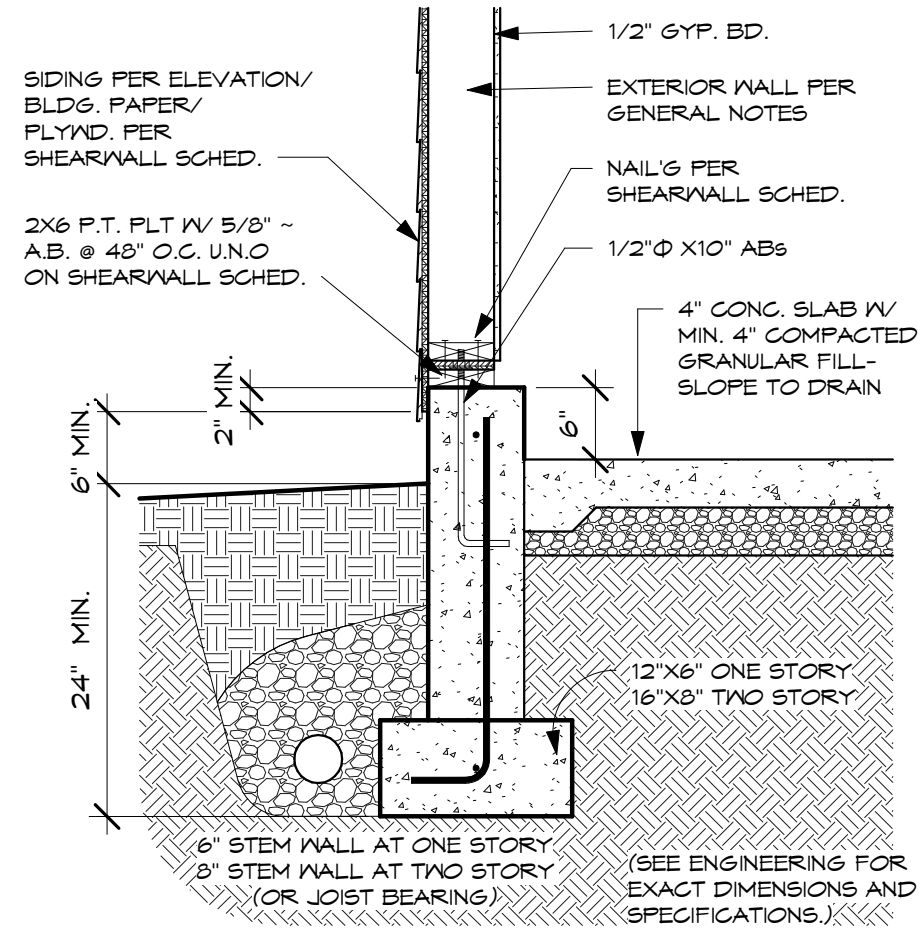
- FOOTINGS ARE TO BEAR ON UNDISTURBED LEVEL SOIL DEVOID OF ANY ORGANIC MATERIAL AND STEPPED AS REQUIRED TO MAINTAIN THE REQUIRED DEPTH BELOW THE FINAL GRADE.
- SOIL BEARING PRESSURE ASSUMED TO BE 1500 PSF.
- ANY FILL UNDER GRADE SUPPORTED SLABS TO BE A MINIMUM OF 4" GRANULAR MATERIAL COMPACTED TO 95%.
 - BASEMENT WALLS & FOUNDATIONS NOT EXPOSED TO WEATHER - 2500 PSI
 - BASEMENT & INTERIOR SLABS ON GRADE - 2500 PSI
 - BASEMENT WALLS & FOUNDATIONS EXPOSED TO THE WEATHER - 3000 PSI W/ 5 TO 7% ENTRAINED AIR
 - PORCHES, STEPS & GAROPORT SLABS EXPOSED TO WEATHER - 3000 PSI W/ 5 TO 7% ENTRAINED AIR
- CONCRETE SLABS TO HAVE CONTROL JOINTS AT 25 FT. (MAXIMUM) INTERVALS EA. WAY.
- CONCRETE SIDEWALKS TO HAVE 1/2" TOOLED JOINTS AT 5 FT. (MINIMUM) O.C.
- WIRE MESH TO BE A-105.
- EXCAVATE SITE TO PROVIDE A MINIMUM OF 18 IN. CLEARANCE UNDER ALL @RDERS.
- COVER ENTIRE GRAVSPACE WITH 6 MIL BLACK "VISQUEEN" AND EXTEND UP FDTN. WALLS TO F.T. MUDSILL.
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED OR PROTECTED WITH 55# ROLL ROOFING, MIN.
- BEAM POCKETS IN CONCRETE TO HAVE 1/2" AIRSPACE AT SIDES AND ENDS WITH A MINIMUM BEARING OF 3 IN.
- PROVIDE GRAVSPACE DRAIN AT LOW POINT
- WATERPROOF BASEMENT WALLS BEFORE BACKFILLING PROVIDING A 4 IN. DIA. PERFORATED DRAIN TILE BELOW THE TOP OF THE FOOTING (SEE BUILDING SECTIONS).
- FLOOR SHEATHING PER SPECS ON 4x8 BEAMS U.N.O. BY ENGINEER
- 4" CONCRETE SLAB W/ 6x6 10/10 W/M. OVER 6 MIL VAPOR BARRIER, ON 6" COMPACTED GRANULAR FILL. SLOPE TO ENTRANCE.
- BLOCK OUT FOR FURNACE (15')
- USE 4" CMU BELOW GRADE AT BRICK VENEER AREAS. WIDEN FOOTING 6" AT VENEERED AREAS. - SEE PLAN FOR LOCATION

ANCHOR BOLTS:

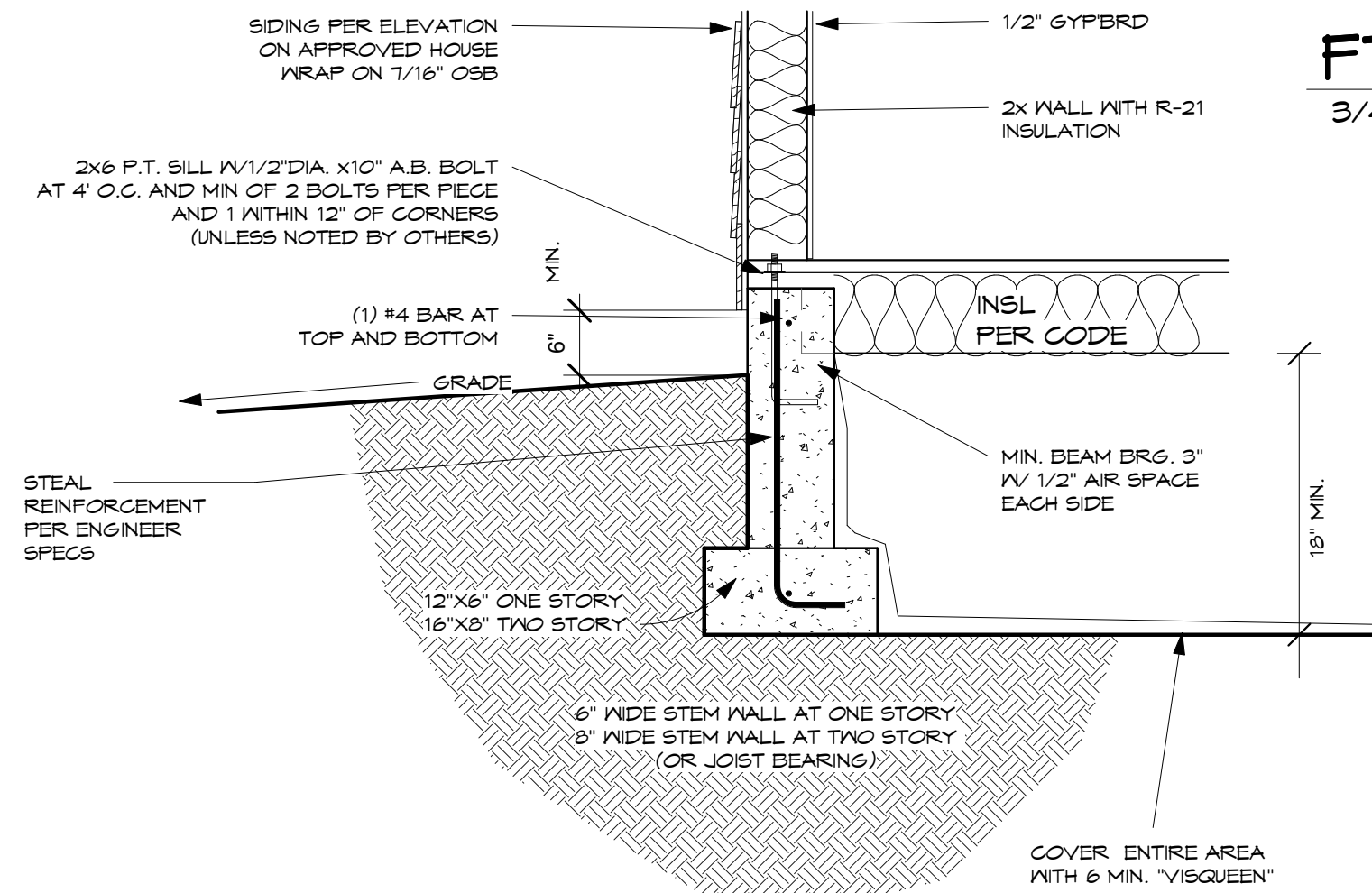
ANCHOR BOLTS MUST BE SPACED A MAXIMUM OF 6 FEET (1829 MM) ON CENTER. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PLATE SECTION WITH ONE BOLT LOCATED NOT MORE THAN 12 INCHES (305 MM) OR LESS THAN SEVEN BOLT DIAMETERS FROM EACH END OF THE PLATE SECTION. IN SEISMIC DESIGN CATEGORIES DL AND D2, ANCHOR BOLTS SHALL ALSO BE SPACED AT 6 FEET (1829 MM) ON CENTER AND LOCATED WITHIN 12 INCHES (305 MM) FROM THE ENDS OF EACH PLATE SECTION AT INTERIOR BRACED WALL LINES WHEN REQUIRED BY SECTION R602.10.9 TO BE SUPPORTED ON A CONTINUOUS FOUNDATION. BOLTS SHALL BE AT LEAST 1/2 INCH (12.7 MM) IN DIAMETER AND SHALL EXTEND A MINIMUM OF 7 INCHES (178 MM) INTO MASONRY OR CONCRETE. INTERIOR BEARING WALLS: SOLE PLATES ON MONOLITHIC SLAB FOUNDATIONS SHALL BE POSITIVELY ANCHORED WITH APPROVED FASTENERS. A NUT AND WASHER SHALL BE TIGHTENED ON EACH BOLT TO THE PLATE. SILLS AND SOLE PLATES SHALL BE PROTECTED AGAINST DECAY AND TERMITES WHERE REQUIRED BY SECTIONS R310 AND R319.

GRAVSPACE VENTILATION:

UNDER-FLOOR AREAS SHALL HAVE A NET AREA OF NOT LESS THAN 1 SQ. FT. OF VENTILATION FOR EACH 300 SQ. FT. OF UNDER-FLOOR AREA. THE UNDER FLOOR AREA = 1264 S.F. / 300 = 4.21 S.F. OF REQ'D VENTING AREA. USING 8"x14" SCREENED VENTS PROVIDES 0.68 S.F. OF VENTING FOR EACH VENT. 4.21 S.F. / 0.68 S.F. = (6) 8"x14" VENTS REQUIRED.

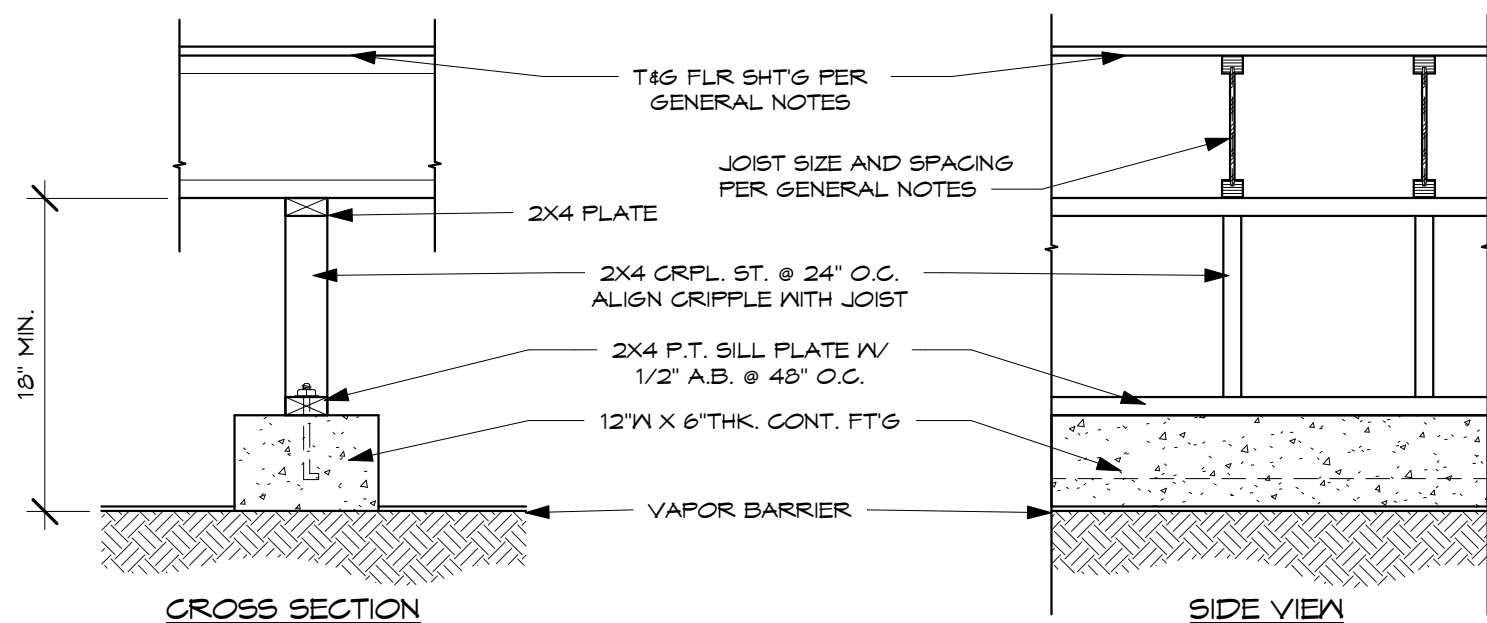


FTG / FNDN @ GARAGE
3/4" = 1'-0"



FOUNDATION DETAIL

3/4" = 1'-0"



INTERIOR CONTINUOUS FOOTING

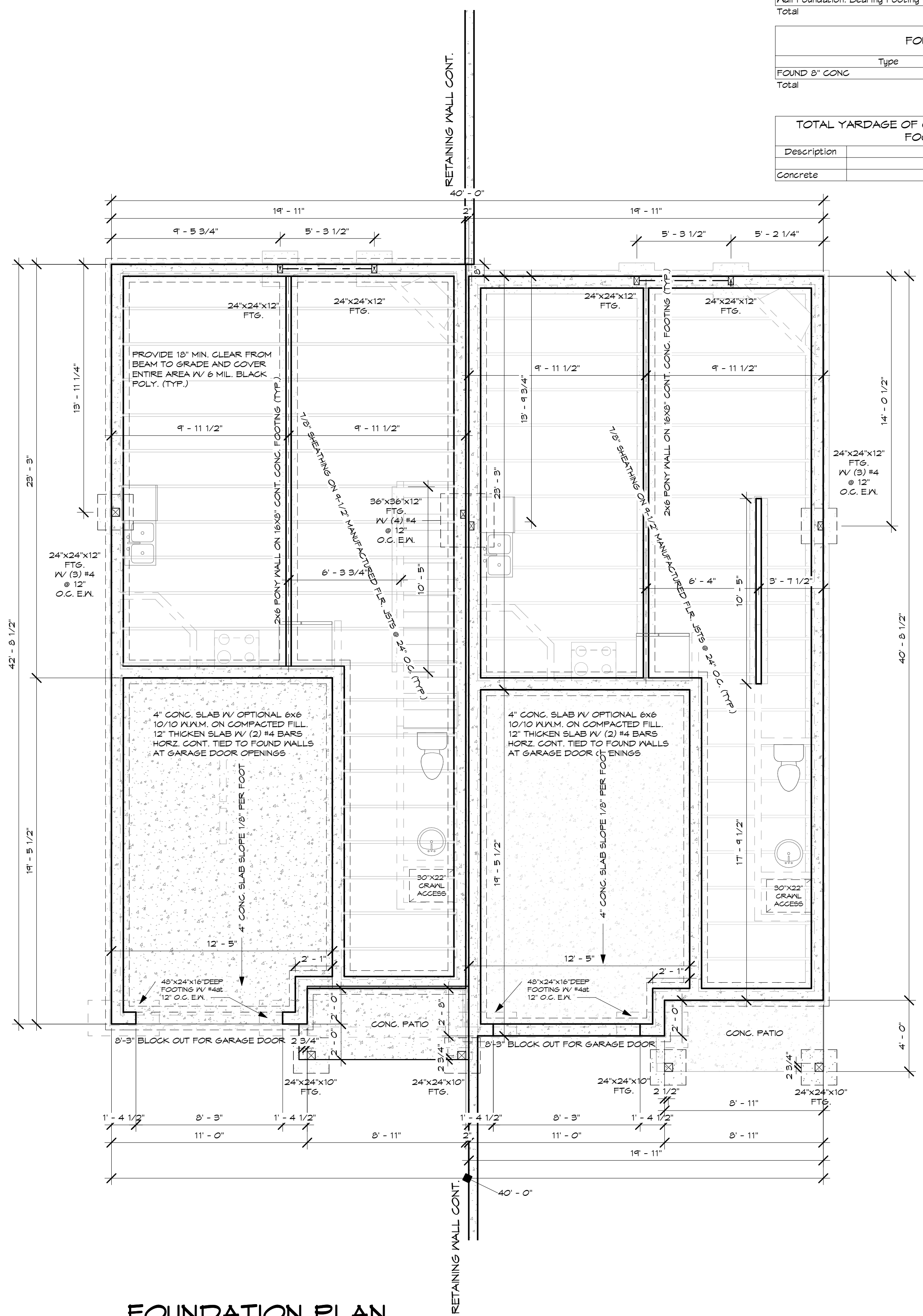
3/4" = 1'-0"

TOTAL CONCRETE FLATWORK	
Type	Yardage
Concrete Slab - 4' GARAGE	5.046 CY
Concrete Slab - 5' PATIO/PORCH	1.154 CY
Total	7.094 CY

FOOTING SCHEDULE		
Family and Type	Count	Yardage
Footing-REG. 24"x24"x10"	4	0.484 CY
Footing-REG. 24"x24"x12"	6	0.884 CY
Footing-REG. 36"x36"x12"	1	0.333 CY
Wall Foundation: Bearing Footing - 12"x6"	4	1.160 CY
Wall Foundation: Bearing Footing - 16"x8"	17	9.745 CY
Total		12.629 CY

FOUNDATION WALL		
Type	Length	Yardage
FOUND 8" CONG	306' - 4 1/4"	21.930 CY
Total	306' - 4 1/4"	21.930 CY

TOTAL YARDAGE OF CONCRETE FOUNDATION & FOOTINGS	
Description	Volume
Concrete	1.222 CY
Concrete	32.791 CY



FOUNDATION PLAN

1/4" = 1'-0"

REFER TO THE MANUFACTURES JOIST LAYOUT FOR EXACT LAYOUT AND SPECIFICATIONS.

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SHEET
Foundation
Layout

A2

GENERAL NOTES:

- ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE LATEST EDITION OF LOCAL BUILDING CODE, ONE AND TWO FAMILY DWELLING CODES AND ALL OTHER GOVERNING CODES, LAWS AND REGULATIONS.
- CONSTRUCTION DOCUMENTS AND CONSTRUCTION PHASE: CONTRACTOR SHALL NOT SCALE THE DRAWINGS, OR DETAILS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AT THE JOBSITE. NOTIFY DESIGN AGENCY IN WRITING OF ANY SIGNIFICANT DEVIATIONS, ANY CHANGES TO CONSTRUCTION DOCUMENTS OR IF ADDITIONAL DETAILS, SPECIFICATIONS ARE NEEDED FOR PROPER EXECUTION OF THE WORK. ALSO NOTIFY DESIGN AGENCY IN WRITING IF THERE ARE ANY CORRECTIONS OR CHANGES TO BE MADE TO THE CONSTRUCTION DOCUMENTS REQUIRED BY THE PLANNING/BUILDING DEPARTMENT OFFICIALS. PLANS CORRECTION LIST OR COMMENTS (FROM THE PLANNING/BUILDING DEPARTMENT OFFICIALS) MUST BE DELIVERED TO THE DESIGN AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL TRADES, INCLUDING ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL REQUIREMENTS.
- MECHANICAL AND ELECTRICAL WORK IS ON A CONTRACTOR DESIGN/BUILD BASIS. COORDINATE ALL ARCHITECTURAL AND STRUCTURAL WORK WITH MECHANICAL AND ELECTRICAL REQUIREMENTS.
- ALL DIMENSIONS ARE TO THE FACE OF FRAMING MEMBERS UNLESS NOTED OTHERWISE. ALL EXTERIOR WALLS TO BE 2X6 STUDS AT 16" O.C. ALL INTERIOR WALLS TO BE 2X4 STUDS AT 16" O.C. UNLESS NOTED OTHERWISE. COORDINATE ALL ITEMS NOT SHOWN OR NOTED WITH OWNER AND/OR DESIGNER, INCLUDING BUT NOT LIMITED TO FINISHES, COLORS, CABINETS, HARDWARE, FIXTURES, ETC.
- SEAL OR WEATHER STRIP ALL EXTERIOR OPENINGS AND PENETRATIONS IN MANNER TO PREVENT OUTSIDE AIR INFILTRATION AND MOISTURE FROM ENTERING STRUCTURAL AND OCCUPIED SPACES, INCLUDING AROUND PLUMBING AND ELECTRICAL LINES AND EQUIPMENT PASSING THROUGH WALLS, GUTTERS, DOWNSPOUTS, ETC.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO FOLLOW AND COORDINATE PER THE MANUFACTURER'S PRINTED INSTRUCTIONS, SPECIFICATIONS AND INSTALLATION DETAILS THE INSTALLATION OF ALL BUILDING PRODUCTS (INTERIOR AND EXTERIOR), FIXTURES, EQUIPMENT, ETC., OR FOLLOW THE INDUSTRY STANDARD DETAILS FOR ALL THE CONDITIONS NOT SHOWN ON THE DRAWINGS FOR PROPER EXECUTION OF THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. THE DESIGN AGENCY MUST BE NOTIFIED IN WRITING TO PROVIDE ADDITIONAL DETAILS, SPECIFICATIONS OR INFORMATION PER REQUEST OF THE GENERAL CONTRACTOR OR OWNER FOR PROPER EXECUTION OF THE WORK.

CONSTRUCTION PHASE:

THE DESIGNER SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY UNDER CONTRACT FOR CONSTRUCTION. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR CONTRACTOR'S SCHEDULES OR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.

MATERIAL SPECIFICATION NOTE:

THE DESIGNER DOES NOT REQUIRE OR SPECIFY USE OF ANY TYPE OF 'STUCCO PRODUCTS' OR EXTERIOR INSULATED AND FINISH SYSTEM (EIFS) FOR THE EXTERIOR OF THE HOUSE. THE DESIGNER WILL NOT BE LIABLE FOR ANY KIND OF DAMAGES TO THE BUILDING (STRUCTURAL OR COSMETIC) IF THE OWNER OR THE CONTRACTOR DECIDE TO USE SUCH PRODUCTS.

MISCELLANEOUS NOTES:

- EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM WIDTH OF 20 IN. AND A SILL LESS THAN 44 IN. ABOVE FIN. FLR.
- ALL WINDOWS WITHIN 18 IN. OF THE FLOOR, AND WITHIN 12 IN. OF ANY DOOR ARE TO HAVE TEMPERED GLAZING.
- SKYLIGHTS ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON INSIDE (UNLESS PLEXIGLAS). GLASS TO HAVE MAXIMUM CLEAR SPAN OF 25 IN., AND FRAME IS TO BE ATTACHED TO A 2X CURB WITH A MINIMUM OF 4 IN. ABOVE ROOF PLANE.
- ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS.
- ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHER STRIPPING. PROVIDE 1 IN. DEADBOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10 FT. (VERTICAL) OF GRADE. PROVIDE PEEP-HOLE 54 - 66 IN. ABOVE FIN. FLOOR ON EXTERIOR ENTRY DOORS.
- CONNECT ALL SMOKE DETECTORS (SEE PLAN FOR LOCATION) TO HOUSE ELECTRICAL SYSTEM AND INTER-CONNECT EACH ONE, SO THAT, WHEN ANY ONE IS TRIPPED, THEY RING ALL SOUND.
- PROVIDE COMBUSTION AIR VENTS (V SCREEN AND BACK DAMPER) FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCES WITH AN OPEN FLAME.
- BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 4 AIR EXCHANGES PER HOUR. RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE.
- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.

AREA CALCS: (RIGHT UNIT)

MAIN FLOOR	=	594	SQ. FT.
UPPER FLOOR	=	856	SQ. FT.
TOTAL	=	1451	SQ. FT.
GARAGE + SHOP	=	238	SQ. FT.

AREA CALCS: (LEFT UNIT)

MAIN FLOOR	=	594	SQ. FT.
UPPER FLOOR	=	856	SQ. FT.
TOTAL	=	1450	SQ. FT.
GARAGE	=	238	SQ. FT.

GENERAL FLOOR PLAN NOTES:

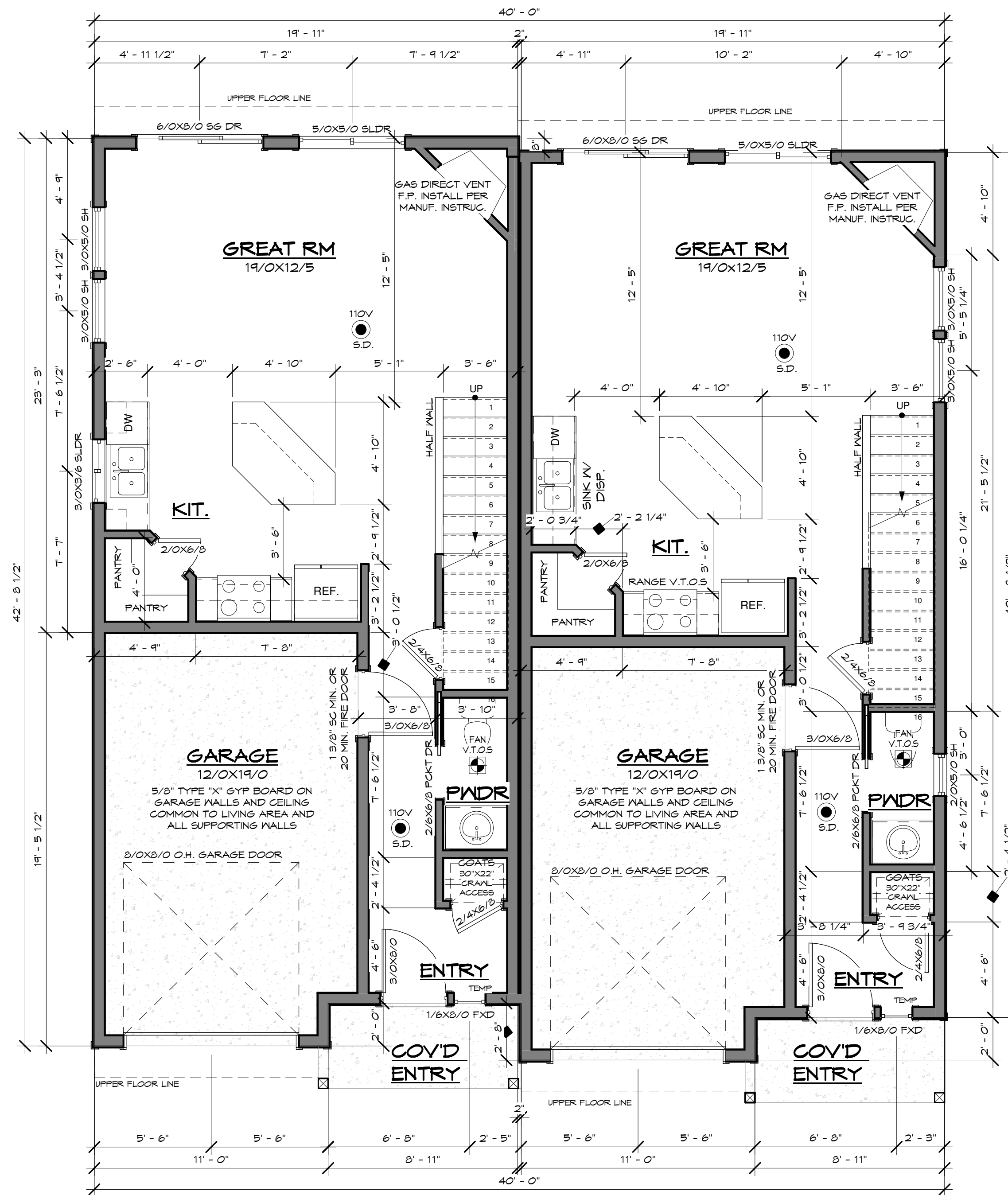
- WINDOW SIZES & ROUGH OPENINGS TO BE VERIFIED BY CONTRACTOR.
- WINDOWS THAT ARE BOTH WITHIN 24 INCHES OF A DOOR IN A CLOSED POSITION AND WITHIN 60 INCHES OF THE FLOOR SHOULD BE TEMPERED.
- WINDOWS IN ENCLOSURES FOR BATHTUBS, SHOWERS, HOT TUBS, WHIRLPOOLS, SAUNAS AND STEAM ROOMS WHERE THE GLASS IS WITHIN 60 INCHES ABOVE A DRAIN INLET SHOULD BE TEMPERED.
- WINDOWS WITH A PANE LARGER THAN NINE SQUARE FEET, HAVING A BOTTOM EDGE CLOSER THAN 18 INCHES TO THE FLOOR AND A TOP EDGE HIGHER THAN 36 INCHES ABOVE THE FLOOR SHOULD BE TEMPERED.
- FIREBLOCK ALL PLUMBING PENETRATIONS AND STAIR RUNS.
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
- TOP OF HANDRAILS SHALL BE PLACED AT 36" ABOVE THE NOSING OF TREADS & LANDINGS. THE NOSING OF TREADS AND LANDINGS, HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE HANDGRIP PORTION SHALL NOT BE LESS THAN 1 1/4" NOR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION. PROVIDE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL.
- PREFABRICATED FIREPLACES, CHIMNEYS AND RELATED COMPONENTS TO BEAR U.L. OR I.C.B.O. SEAL OF APPROVAL AND TO BE INSTALLED PER MANUFACTURER'S SPECIFICATION.
- ELEV. OF FLOOR OR LANDS 1 1/2" MAX (OR 13/4" MAX FOR INSING DR.) BELOW THRESHOLD IS REQ'D FROM THE REQ'D EXIT DOOR. WHERE DOOR IS NOT THE REQ'D EXIT DOOR, A STAIRWAY OF 2 OR FEWER RISERS IS PERMITTED WHERE DOOR DOES NOT SAING OVER RISER.

CEILING VENTILATION:

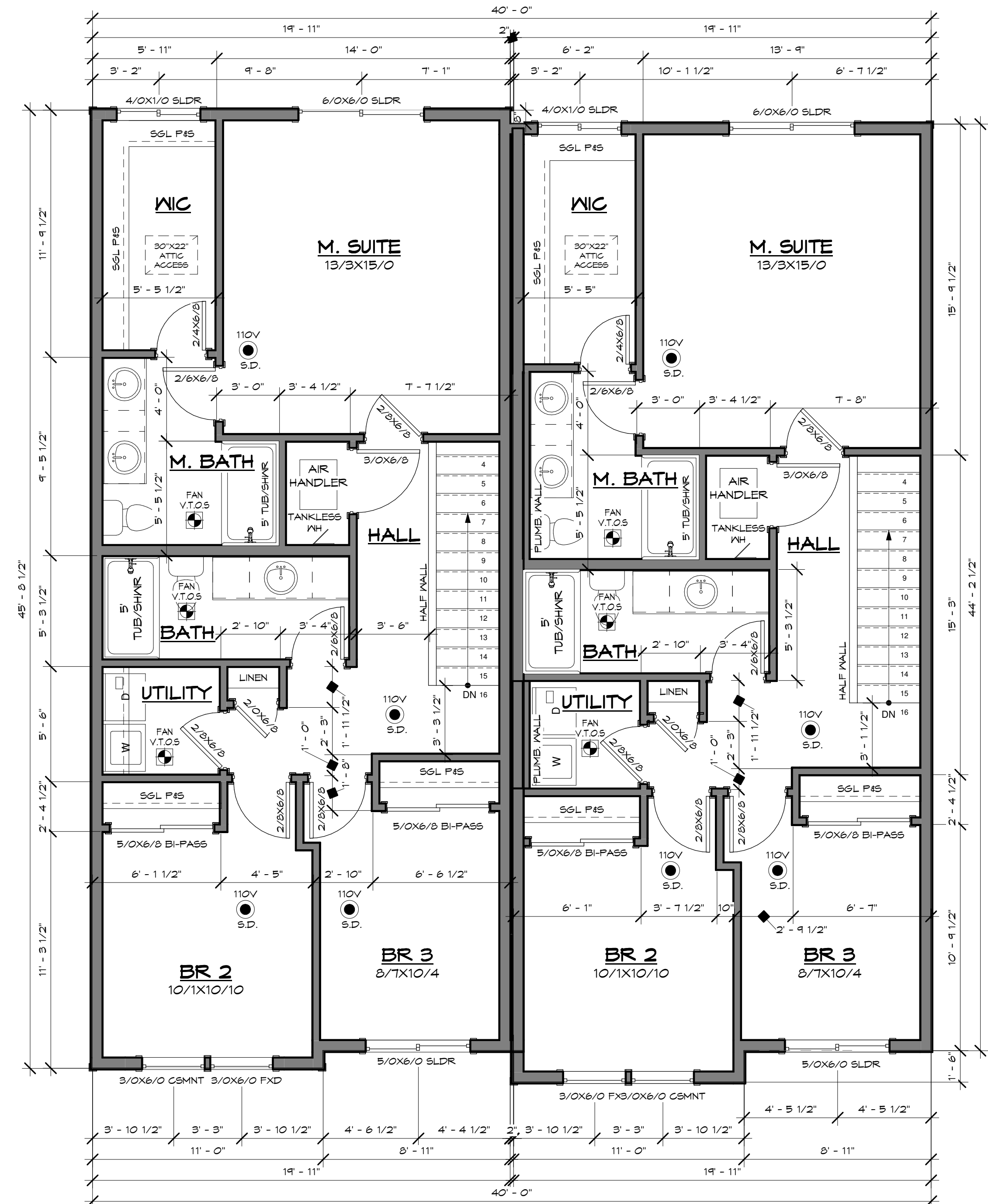
THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF SPACE TO BE VENTILATED, EXCEPT THAT THE AREA MAY BE 1/300, PROVIDED AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE VENTS. THE OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.

- 110V SMOKE & CARBON MONOXIDE COMBO DETECTORS TO BE INSTALLED AS REQUIRED PER IRC R313.3. SMOKE DETECTORS TO BE INTERCONNECTED AND POWERED BY PREMISE WIRING AND HAVE BATTERY BACKUP.

DOMESTIC KITCHENS	
RANGE HOODS/DOWNDRAFT EXHAUST.	150 CFM FAN
BATHROOMS/ TOILET ROOMS	
ROOMS CONTAINING BATH AND SPA FACILITIES. (STATIC PRESSURE SHALL BE RATED AT 0.10-INCH WATER GAUGE FOR INTERMITTENT FANS.)	MIN. 80 CFM INTERMITTENT OR 20 CFM CONTINUOUS
TOILET ROOMS WITHOUT BATHING OR SPA FACILITIES, WHEN NOT PROVIDED WITH NATURAL VENTILATION IN ACCORDANCE WITH SECTION R303.3.2.	MIN. 50 CFM



MAIN FLOOR PLAN
1/4" = 1'-0"



UPPER FLOOR PLAN
1/4" = 1'-0"



COUCH STREET DUPLEX

FILE NAME :
1451/1450-40-ST-L
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1/4" = 1'-0"
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SHEET
Floor Plans

A3



COUCH STREET DUPLEX

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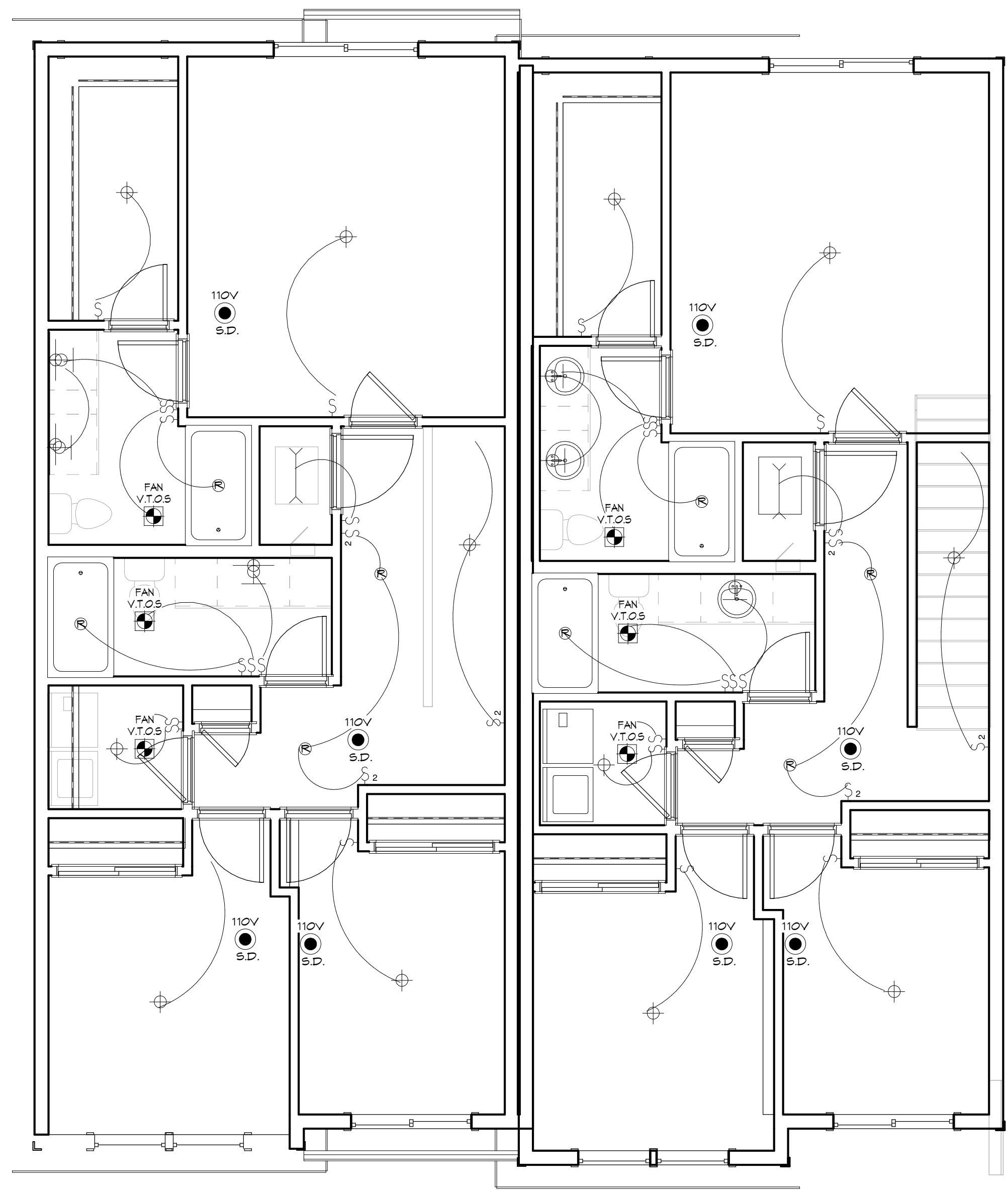
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SHEET
 Electrical Plans

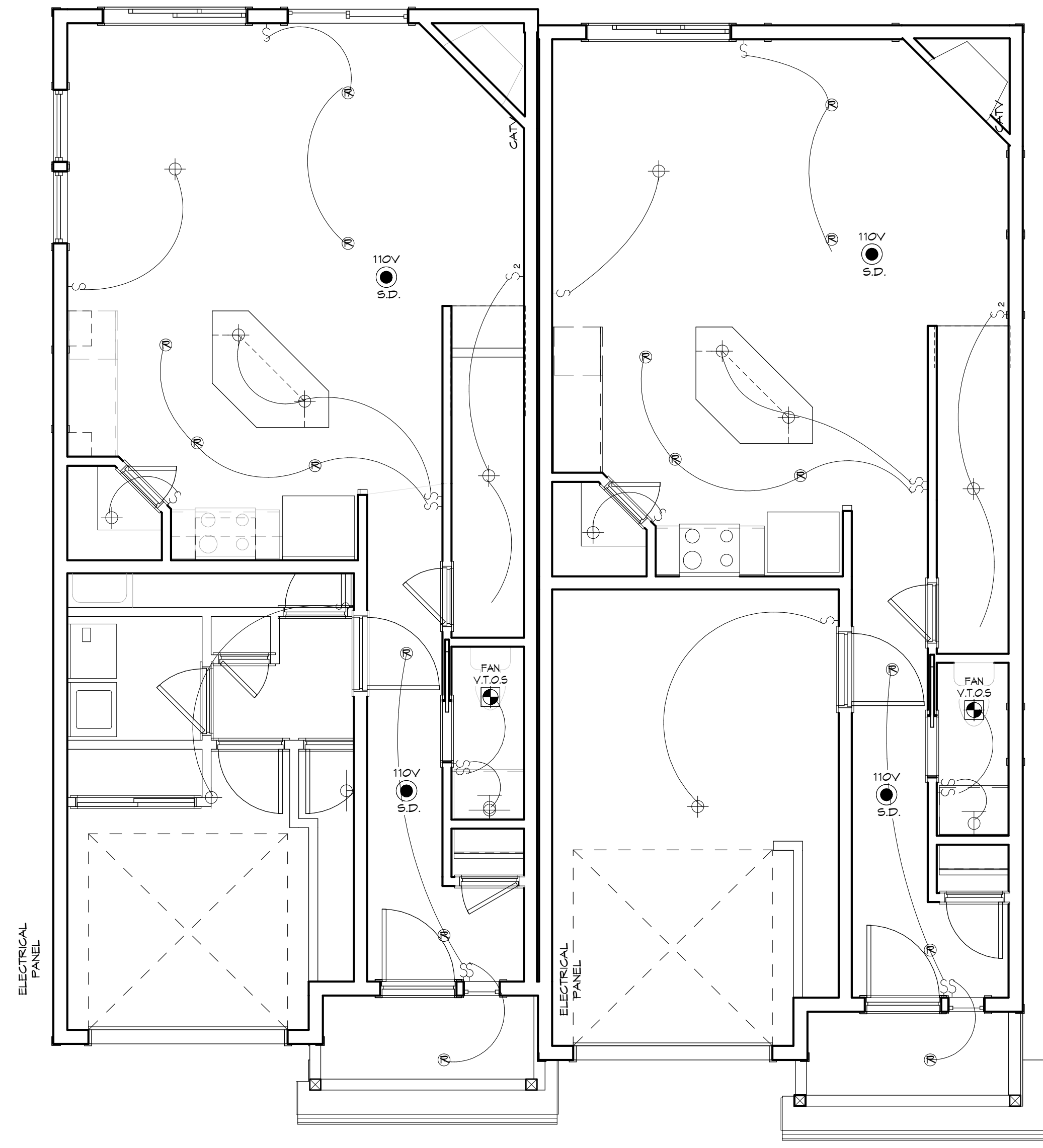
A4

CEILING PLAN LEGEND

	FLORECENT LIGHTING
	RECESSED CAN LIGHT
	CEILING LIGHT
	PORCELAIN LIGHT
	WALL LIGHT
	FAN/LIGHT COMBO
	ELEG. PANEL LOCATION
	CABLE TV
	SMOKE DETECTOR
	CEILING FAN



UPPER FLOOR ELECTRICAL PLAN
 1/4" = 1'-0"



MAIN FLOOR ELECTRICAL PLAN
 1/4" = 1'-0"



COUCH STREET DUPLEX

FILE NAME :
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SHEET
 Schedules

A5

MAIN FLOOR DOOR SCHEDULE				
To Room: Name	Family	Height	Width	Count
ENTRY	DOOR ADJ EXT COMNB	8'-0"	3'-0"	1
ENTRY	DOOR ADJ EXT COMNB	8'-0"	3'-0"	1
GARAGE	DOOR ADJ EXT GARAGE MDRN 2	8'-0"	8'-0"	1
GARAGE	DOOR ADJ EXT GARAGE MDRN 2	8'-0"	8'-0"	1
GARAGE	NARROW WINDOWS RV	8'-0"	8'-0"	1
GREAT RM	DOOR ADJ EXT SG 2PANEL	8'-0"	6'-0"	1
GREAT RM	DOOR ADJ EXT SG 2PANEL	8'-0"	6'-0"	1
GREAT RM	DOOR ADJ INT BASIC	6'-8"	2'-0"	1
GREAT RM	DOOR ADJ INT BASIC	6'-8"	2'-0"	1
ENTRY	DOOR ADJ INT BASIC	6'-8"	2'-4"	1
GREAT RM	DOOR ADJ INT BASIC	6'-8"	2'-4"	1
ENTRY	DOOR ADJ INT BASIC	6'-8"	2'-4"	1
GREAT RM	DOOR ADJ INT BASIC	6'-8"	2'-4"	1
GREAT RM	DOOR ADJ INT BASIC	6'-8"	2'-4"	1
GARAGE	DOOR ADJ INT BASIC	6'-8"	3'-0"	1
GARAGE	DOOR ADJ INT BASIC	6'-8"	3'-0"	1
PKDR	DOOR ADJ INT PKCT	6'-8"	2'-6"	1
PKDR	DOOR ADJ INT PKCT	6'-8"	2'-6"	1
TOTAL				16

UPPER FLOOR DOOR SCHEDULE				
To Room: Name	Family	Height	Width	Count
HALL	DOOR ADJ INT BASIC	6'-8"	2'-0"	1
HALL	DOOR ADJ INT BASIC	6'-8"	2'-0"	1
PK	DOOR ADJ INT BASIC	6'-8"	2'-4"	1
PK	DOOR ADJ INT BASIC	6'-8"	2'-4"	1
BATH	DOOR ADJ INT BASIC	6'-8"	2'-6"	1
BATH	DOOR ADJ INT BASIC	6'-8"	2'-6"	1
M. BATH	DOOR ADJ INT BASIC	6'-8"	2'-6"	1
M. BATH	DOOR ADJ INT BASIC	6'-8"	2'-6"	1
M. SUITE	DOOR ADJ INT BASIC	6'-8"	2'-6"	1
M. SUITE	DOOR ADJ INT BASIC	6'-8"	2'-6"	1
BR 3	DOOR ADJ INT BASIC	6'-8"	2'-6"	1
UTILITY	DOOR ADJ INT BASIC	6'-8"	2'-6"	1
BR 2	DOOR ADJ INT BASIC	6'-8"	2'-6"	1
M. SUITE	DOOR ADJ INT BASIC	6'-8"	2'-6"	1
BR 3	DOOR ADJ INT BASIC	6'-8"	2'-6"	1
UTILITY	DOOR ADJ INT BASIC	6'-8"	2'-6"	1
BR 2	DOOR ADJ INT BASIC	6'-8"	2'-6"	1
HALL	DOOR ADJ INT BASIC	6'-8"	3'-0"	1
HALL	DOOR ADJ INT BASIC	6'-8"	3'-0"	1
BR 3	DOOR ADJ INT BI-PASS BASIC	6'-8"	5'-0"	1
BR 2	DOOR ADJ INT BI-PASS BASIC	6'-8"	5'-0"	1
BR 3	DOOR ADJ INT BI-PASS BASIC	6'-8"	5'-0"	1
BR 2	DOOR ADJ INT BI-PASS BASIC	6'-8"	5'-0"	1
TOTAL				22

MAIN FLOOR WINDOW SCHEDULE					
To Room: Name	Type	Rough Opening		Count	Head Height
		Width	Height		
ENTRY	WINDOW ADJ FXD	1'-6"	8'-0"	1	8'-0"
ENTRY	WINDOW ADJ FXD	1'-6"	8'-0"	1	8'-0"
PKDR	WINDOW ADJ SH	2'-0"	5'-0"	1	8'-0"
GREAT RM	WINDOW ADJ SH (VENT)	3'-0"	5'-0"	1	8'-0"
GREAT RM	WINDOW ADJ SH (VENT)	3'-0"	5'-0"	1	8'-0"
GREAT RM	WINDOW ADJ SH (VENT)	3'-0"	5'-0"	1	8'-0"
GREAT RM	WINDOW ADJ SH (VENT)	3'-0"	5'-0"	1	8'-0"
GREAT RM	WINDOW ADJ SH (VENT)	3'-0"	5'-0"	1	8'-0"
GREAT RM	WINDOW ADJ SLDR	5'-0"	3'-6"	1	8'-0"
GREAT RM	WINDOW ADJ SLDR	5'-0"	3'-6"	1	8'-0"
TOTAL				10	

UPPER FLOOR WINDOW SCHEDULE				
Type	Rough Opening		Count	Head Height
	Width	Height		
WINDOW ADJ GCMNT	3'-0"	6'-0"	1	8'-0"
WINDOW ADJ GCMNT	3'-0"	6'-0"	1	8'-0"
WINDOW ADJ FXD	1'-6"	8'-0"	1	8'-0"
WINDOW ADJ FXD	1'-6"	8'-0"	1	8'-0"
WINDOW ADJ FXD	3'-0"	6'-0"	1	8'-0"
WINDOW ADJ FXD	3'-0"	6'-0"	1	8'-0"
WINDOW ADJ SH	2'-0"	5'-0"	1	8'-0"
WINDOW ADJ SH (VENT)	3'-0"	5'-0"	1	8'-0"
WINDOW ADJ SH (VENT)	3'-0"	5'-0"	1	8'-0"
WINDOW ADJ SH (VENT)	3'-0"	5'-0"	1	8'-0"
WINDOW ADJ SH (VENT)	3'-0"	5'-0"	1	8'-0"
WINDOW ADJ SH (VENT)	3'-0"	5'-0"	1	8'-0"
WINDOW ADJ SH (VENT)	3'-0"	5'-0"	1	8'-0"
WINDOW ADJ SLDR	3'-0"	3'-6"	1	8'-0"
WINDOW ADJ SLDR	4'-0"	1'-0"	1	8'-0"
WINDOW ADJ SLDR	4'-0"	1'-0"	1	8'-0"
WINDOW ADJ SLDR	5'-0"	5'-0"	1	8'-0"
WINDOW ADJ SLDR	5'-0"	5'-0"	1	8'-0"
WINDOW ADJ SLDR	5'-0"	6'-0"	1	8'-0"
WINDOW ADJ SLDR	5'-0"	6'-0"	1	8'-0"
WINDOW ADJ SLDR	6'-0"	6'-0"	1	8'-0"
WINDOW ADJ SLDR	6'-0"	6'-0"	1	8'-0"
TOTAL				20

TOTAL DOOR SCHEDULE				
To Room: Name	Family	Height	Width	Count
ENTRY	DOOR ADJ EXT COMNB	8'-0"	3'-0"	1
ENTRY	DOOR ADJ EXT COMNB	8'-0"	3'-0"	1
GARAGE	DOOR ADJ EXT GARAGE MDRN 2	8'-0"	8'-0"	1
GARAGE	DOOR ADJ EXT GARAGE MDRN 2	8'-0"	8'-0"	1
GARAGE	NARROW WINDOWS RV	8'-0"	8'-0"	1
GREAT RM	DOOR ADJ EXT SG 2PANEL	8'-0"	6'-0"	1
GREAT RM	DOOR ADJ EXT SG 2PANEL	8'-0"	6'-0"	1
HALL	DOOR ADJ INT BASIC	6'-8"	2'-0"	1
HALL	DOOR ADJ INT BASIC	6'-8"	2'-0"	1
GREAT RM	DOOR ADJ INT BASIC	6'-8"	2'-0"	1
GREAT RM	DOOR ADJ INT BASIC	6'-8"	2'-0"	1
ENTRY	DOOR ADJ INT BASIC	6'-8"	2'-4"	1
GREAT RM	DOOR ADJ INT BASIC	6'-8"	2'-4"	1
ENTRY	DOOR ADJ INT BASIC	6'-8"	2'-4"	1
GREAT RM	DOOR ADJ INT BASIC	6'-8"	2'-4"	1
GREAT RM	DOOR ADJ INT BASIC	6'-8"	2'-4"	1
GARAGE	DOOR ADJ INT BASIC	6'-8"	3'-0"	1
GARAGE	DOOR ADJ INT BASIC	6'-8"	3'-0"	1
PKDR	DOOR ADJ INT PKCT	6'-8"	2'-6"	1
PKDR	DOOR ADJ INT PKCT	6'-8"	2'-6"	1
TOTAL				36

TOTAL WINDOW SCHEDULE					
To Room: Name	Type	Rough Opening		Count	Head Height
		Width	Height		
BR 2	WINDOW ADJ GCMNT	3'-0"	6'-0"	1	8'-0"
BR 2	WINDOW ADJ GCMNT	3'-0"	6'-0"	1	8'-0"
ENTRY	WINDOW ADJ FXD	1'-6"	8'-0"	1	8'-0"
ENTRY	WINDOW ADJ FXD	1'-6"	8'-0"	1	8'-0"
BR 2	WINDOW ADJ FXD	3'-0"	6'-0"	1	8'-0"
BR 2	WINDOW ADJ FXD	3'-0"	6'-0"	1	8'-0"
PKDR	WINDOW ADJ SH	2'-0"	5'-0"	1	8'-0"
GREAT RM	WINDOW ADJ SH (VENT)	3'-0"	5'-0"	1	8'-0"
GREAT RM	WINDOW ADJ SH (VENT)	3'-0"	5'-0"	1	8'-0"
GREAT RM	WINDOW ADJ SH (VENT)	3'-0"	5'-0"	1	8'-0"
GREAT RM	WINDOW ADJ SH (VENT)	3'-0"	5'-0"	1	8'-0"
GREAT RM	WINDOW ADJ SH (VENT)	3'-0"	5'-0"	1	8'-0"
GREAT RM	WINDOW ADJ SH (VENT)	3'-0"	5'-0"	1	8'-0"
GREAT RM	WINDOW ADJ SLDR	5'-0"	3'-6"	1	8'-0"
PK	WINDOW ADJ SLDR	4'-0"	1'-0"	1	8'-0"
GREAT RM	WINDOW ADJ SLDR	5'-0"	5'-0"	1	8'-0"
GREAT RM	WINDOW ADJ SLDR	5'-0"	5'-0"	1	8'-0"
BR 3	WINDOW ADJ SLDR	5'-0"	6'-0"	1	8'-0"
BR 3	WINDOW ADJ SLDR	5'-0"	6'-0"	1	8'-0"
M. SUITE	WINDOW ADJ SLDR	6'-0"	6'-0"	1	8'-0"
M. SUITE	WINDOW ADJ SLDR	6'-0"	6'-0"	1	8'-0"
TOTAL				20	

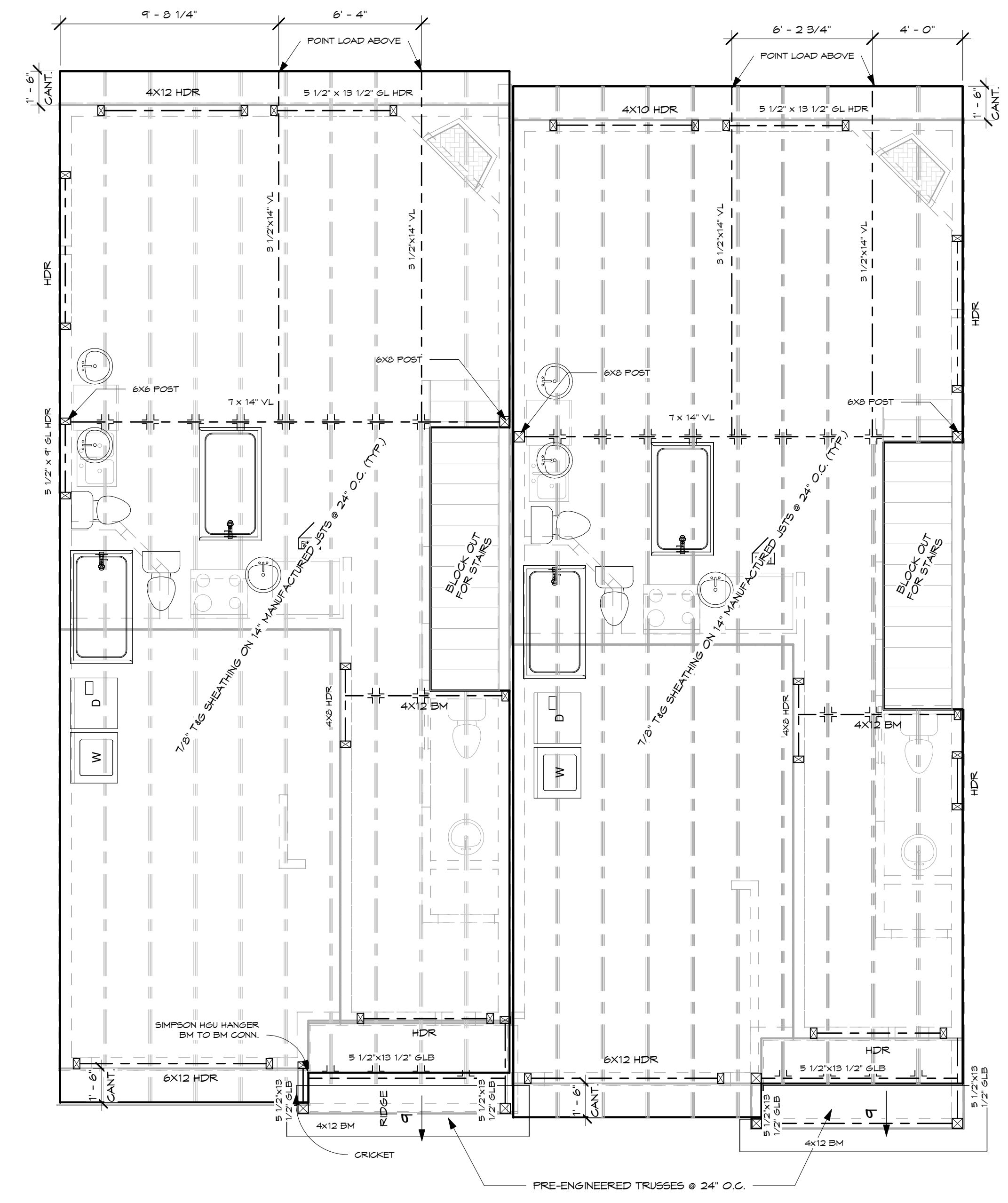
FLASHING NOTE: USE APPROVED CORROSION RESISTANT FLASHING IN ALL OF THE FOLLOWING AREAS:

1. AT THE TOP OF ALL EXTERIOR WINDOW AND DOOR OPENINGS IN SUCH A MANNER TO BE LEAK PROOF, EXCEPT THAT SELF FLASHING WINDOWS CONTINUOUS LAP OF NOT LESS THAN 1" OVER THE SHEATHING MATERIAL AROUND THE PERIMETER OF THE OPENING, INCLUDING THE CORNERS. DO NOT REQUIRE FLASHING.
2. AT THE INTERSECTION OF CHIMNEYS AND OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
3. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
4. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
5. WHERE EXTERIOR PORCHES, DECKS, OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD CONSTRUCTION.
6. AT WALL AND ROOF INTERSECTIONS.

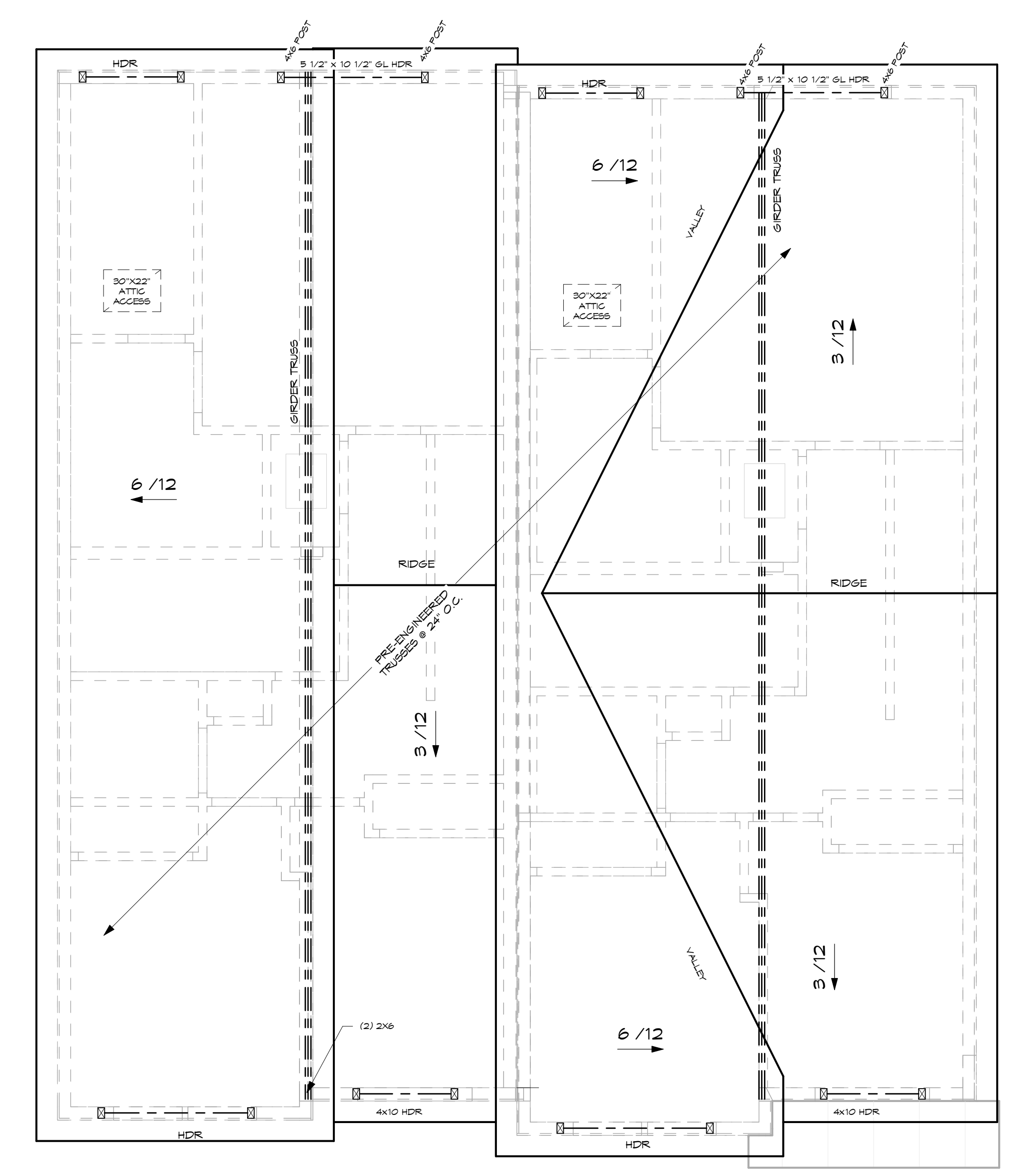
SHEAR WALL BOTTOM PLATE NAILING & ALL NAILING AT PRESSURE TREATED PLATE MEMBERS SHALL BE HOT DIPPED ZINC COATED GALV. STEEL OR STAINLESS STEEL NAILS, FASTENERS FOR PRESURE PRESERVATIVE & FIRE RETARDANT TREATED WOOD SHALL BE HOT DIPPED GALV. STEEL, STAINLESS STEEL, SILICON, BRONZE, OR COPPER. FIELD CUT END, NOTCHES, AND DRILLED HOLES OF PRESSURE TREATED WOOD SHALL BE RETREATED IN THE FIELD.

NOTE: ALL HEADERS TO BE 4x10'S UNLESS NOTED OTHERWISE

NOTE: ALL HEADERS TO BE 4x10'S UNLESS NOTED OTHERWISE



UPPER FLOOR FRAMING PLAN
 1/4" = 1'-0"
 REFER TO THE MANUFACTURES JOIST LAYOUT FOR EXACT LAYOUT AND SPECIFICATIONS.



ROOF FRAMING PLAN
 1/4" = 1'-0"
 REFER TO THE MANUFACTURES TRUSS LAYOUT FOR EXACT LAYOUT AND SPECIFICATIONS.

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COUCH STREET DUPLEX

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SHEET
 Framing

A6



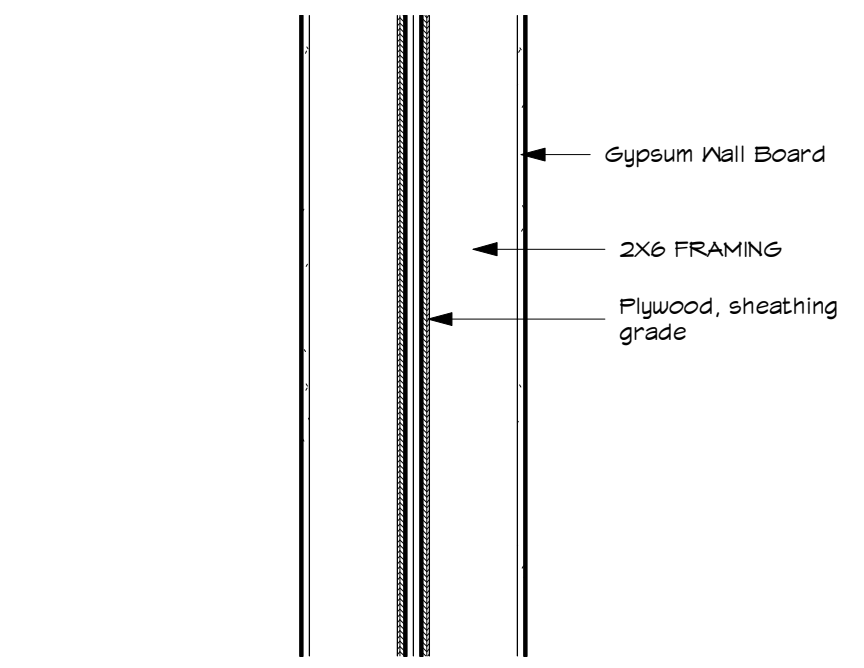
COUCH STREET DUPLEX

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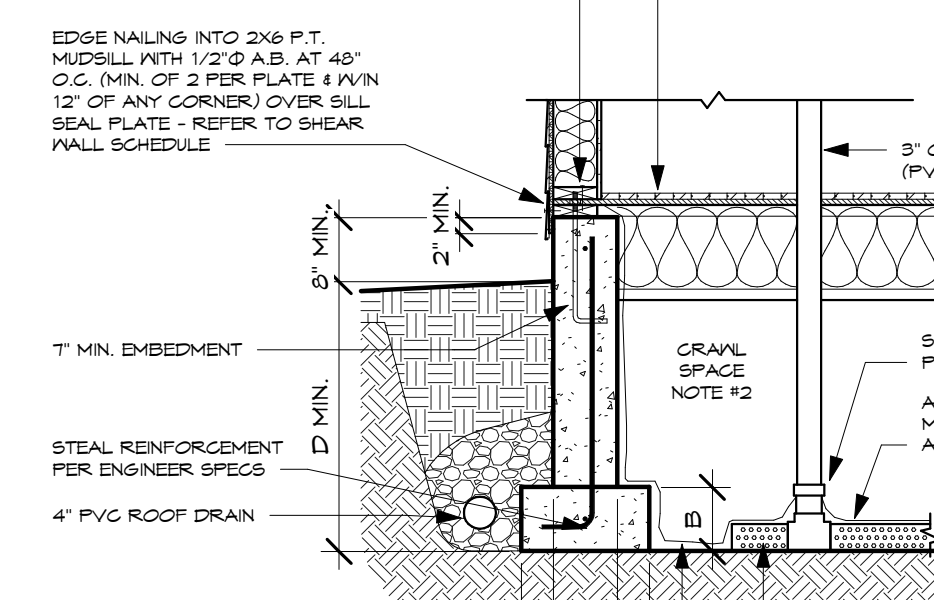
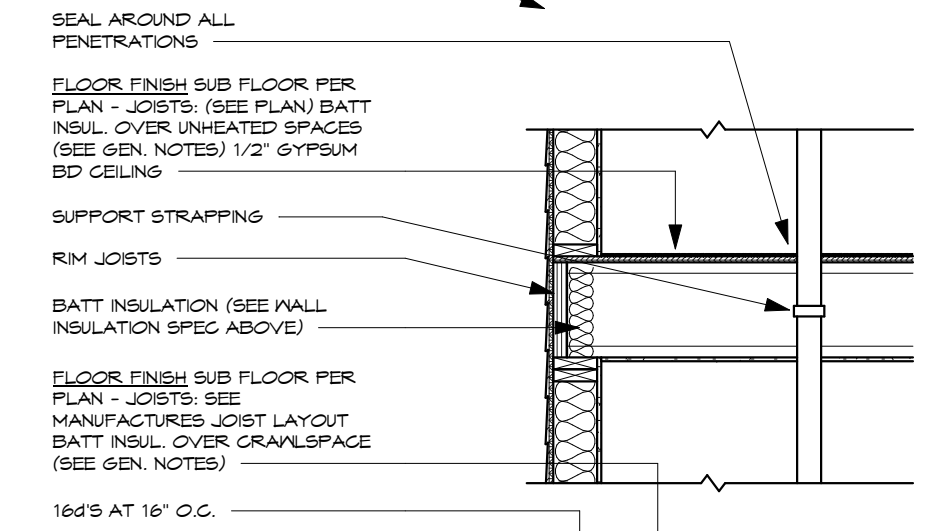
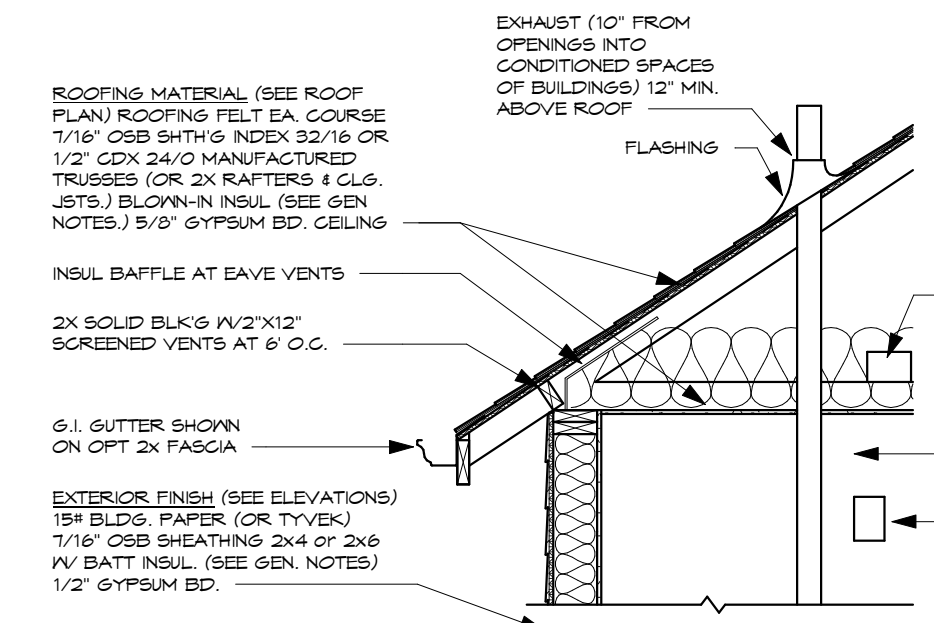
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SHEET
Building Sections

A7



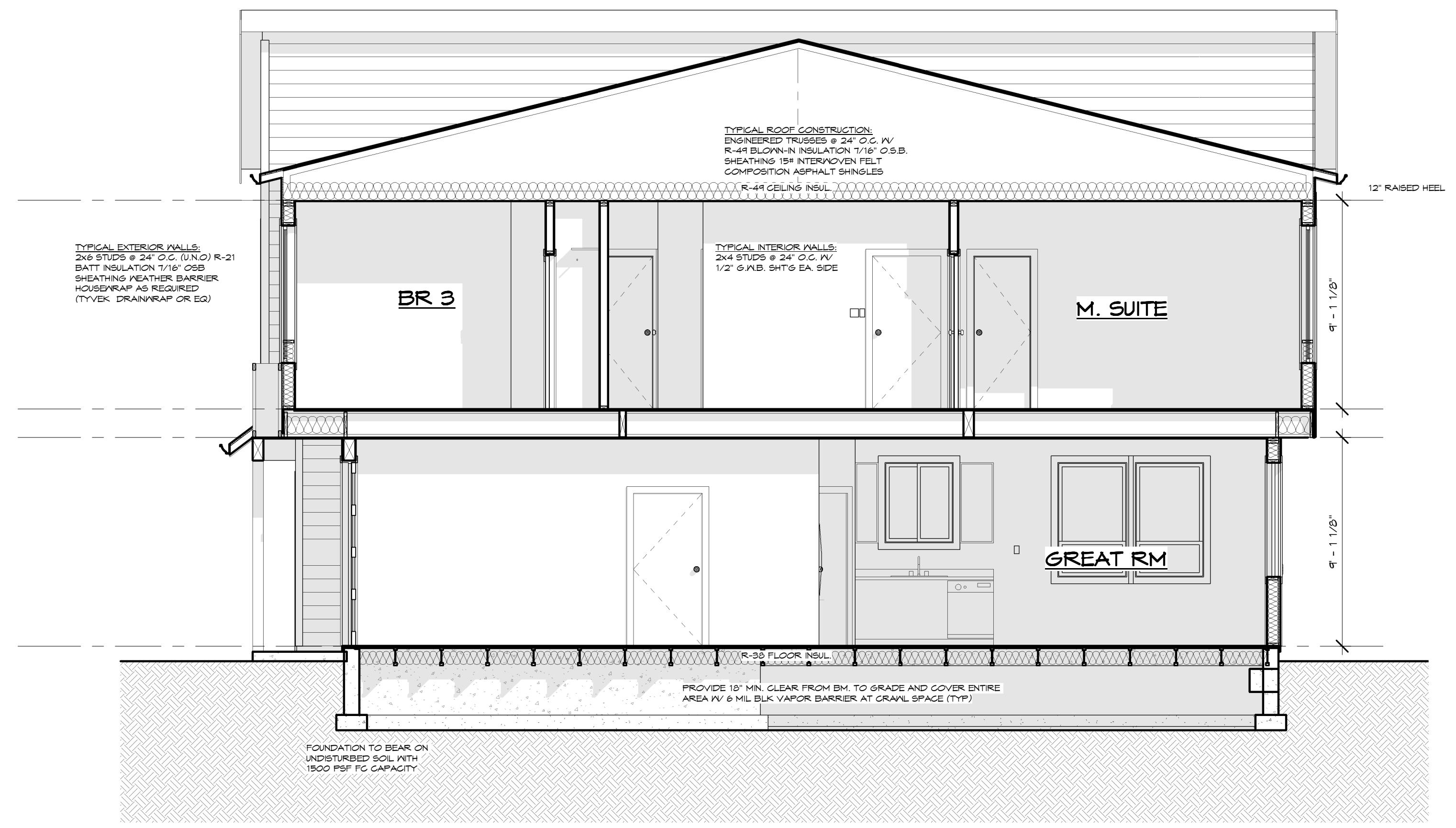
4 DOUBLE WALL DETAIL
1" = 1'-0"



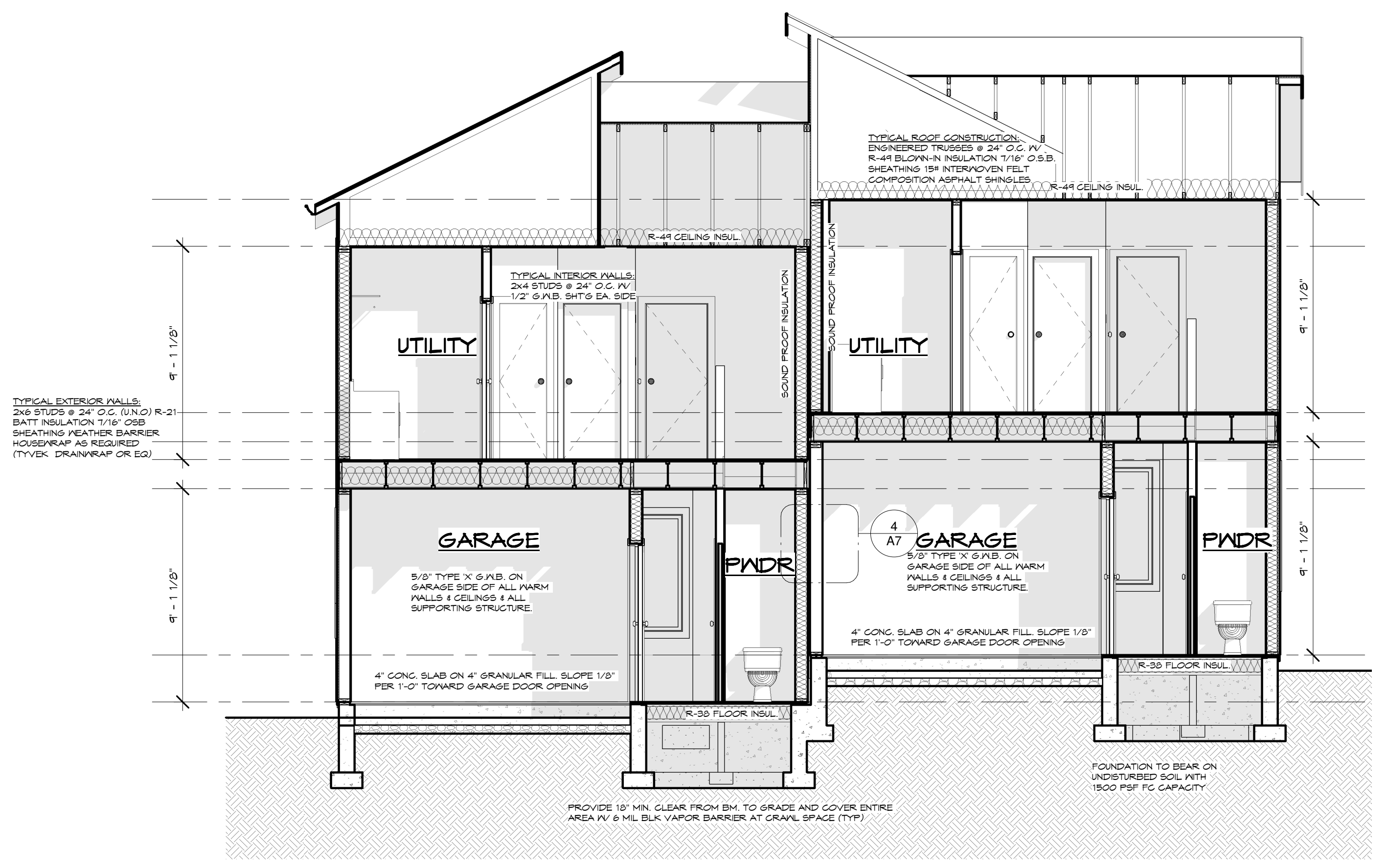
1'	10"	8"	6"	4"	1 STORY
15'	8'	7'	15'	15'	2 STORY
24'	10'	8'	18'	18'	3 STORY

MINIMUM FOUNDATION DIMENSIONS "N.G." (SEE ENGINEERING FOR EXACT DIMENSIONS AND SPECIFICATIONS.)

WALL SECTION / RADON VENT
1/2" = 1'-0"



SECTION 2
1/4" = 1'-0"



SECTION 3
1/4" = 1'-0"



GREEN MOUNTAIN
structural engineering
greenmountainse.com
68833 NW Friberg-Strunk St. Camas, WA 98607

PLANS AND NOTES
Palladian Group - Couch St. Duplex

Revisions:
Project No.: 22160
Date: 6/8/2022
Checked by: CM
Sheet No.

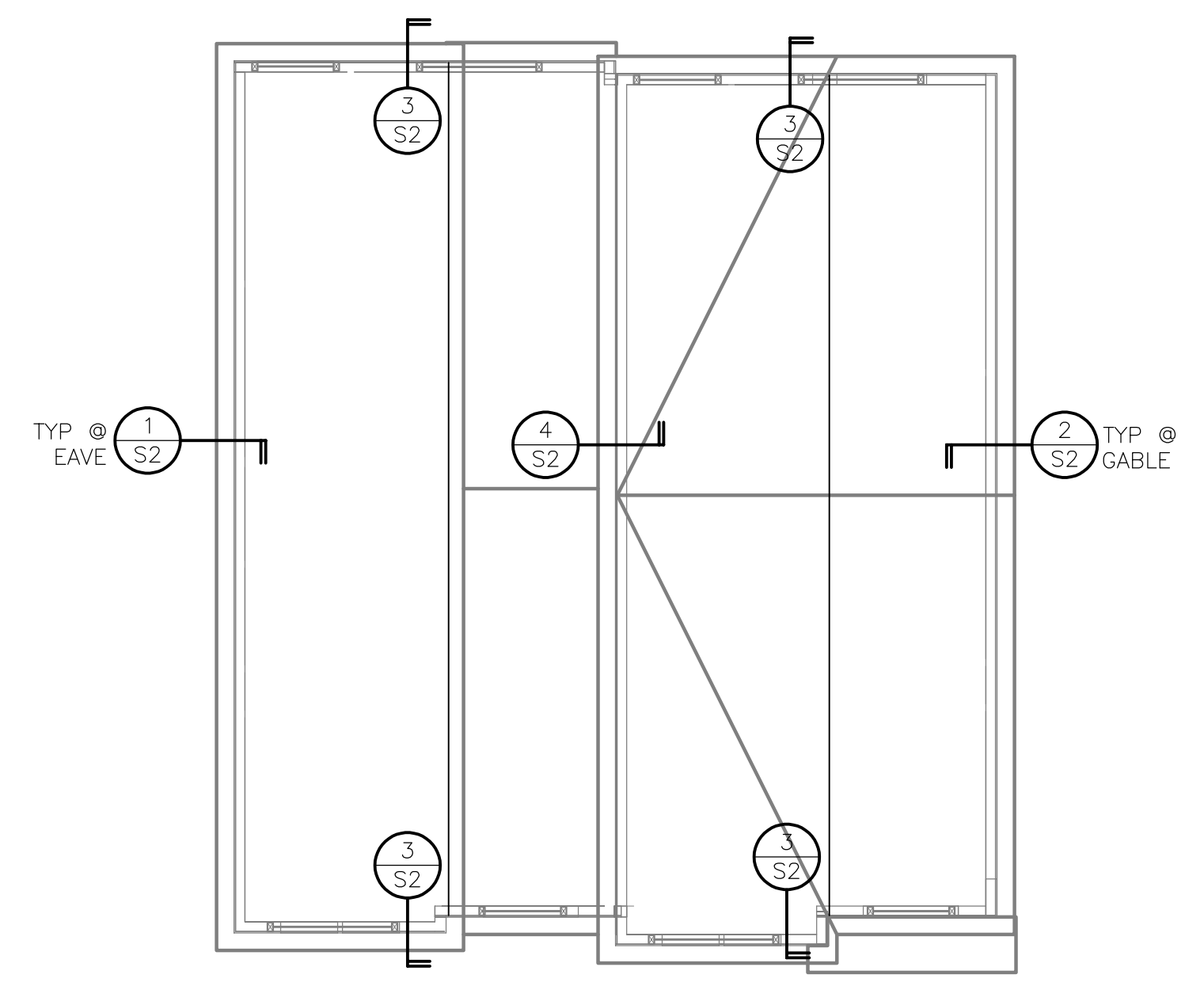
S1

STRUCTURAL NOTES

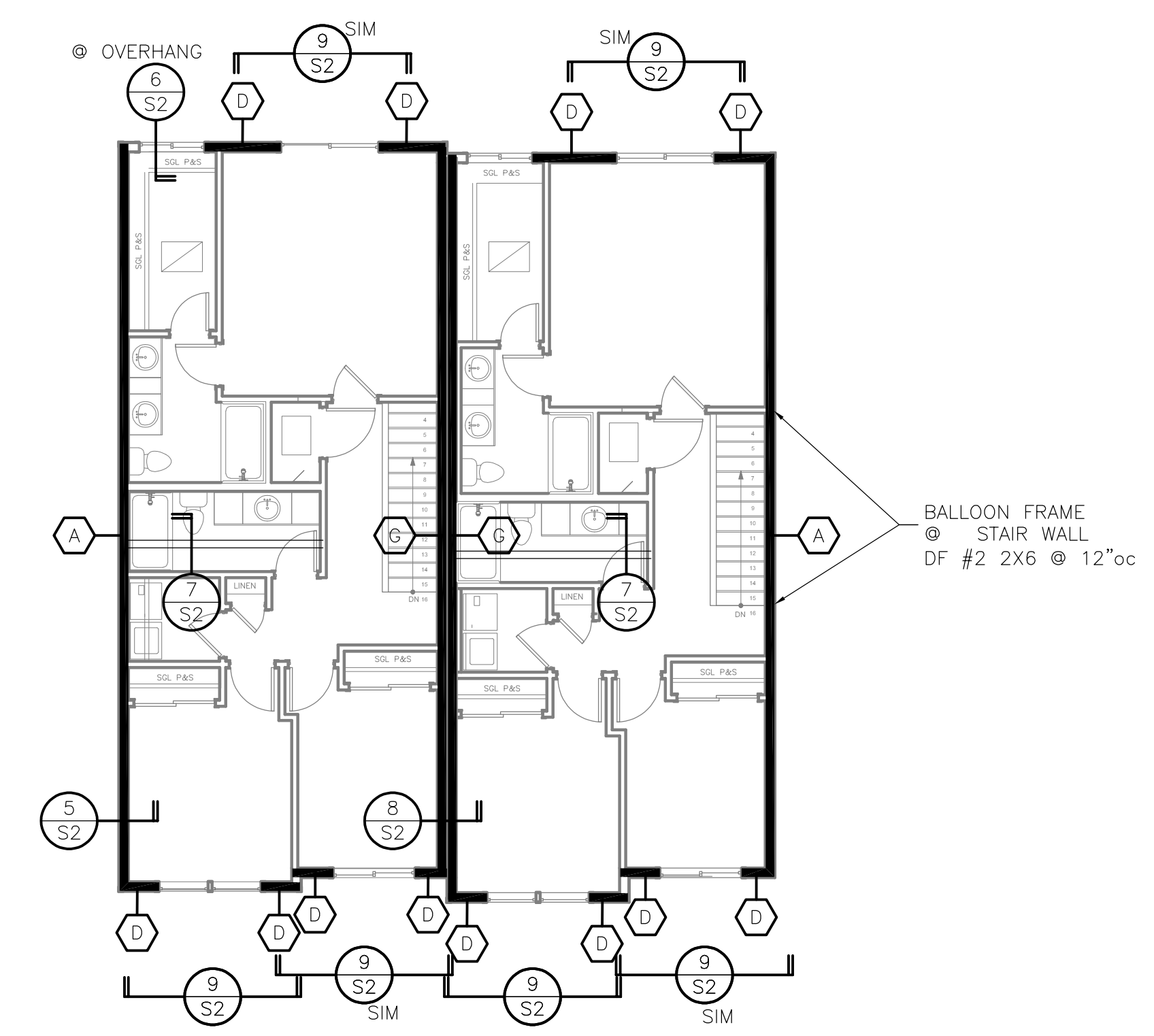
- GENERAL**
- These Structural Drawings pertain to the lateral force resisting system and framing elements as noted. See architectural plans for framing & foundation plans, dimensions and more information.
 - The governing code is the 2018 International Residential Code and the 2018 International Building Code.
 - All framing and other work shall comply with the 2018 International Residential Code for "conventional construction" unless noted otherwise as more restrictive.
 - Shop drawings, stamped by a Registered Structural Engineer licensed in the State of Washington, shall be required on: Pre-fabricated Joists and Light Metal Plate Connected Wood Trusses.
 - This structure and all of its parts must be adequately braced against wind, lateral earth and seismic forces until the permanent lateral-force resisting systems have been constructed and all attachments and connections necessary for the stability of the structure and its parts have been made.

- STRUCTURAL LOADINGS**
- Dead Load.....10 psf at floor, 15 psf at roof
 - Floor Live Load.....40 psf
 - Roof Snow Load.....25 psf
 - Wind load: IBC 3 Second Gust Wind Speed.....135 mph - Exposure B
 - Seismic load: IBC Seismic Category D..... $S_s = 1.0, S_1 = 0.34$

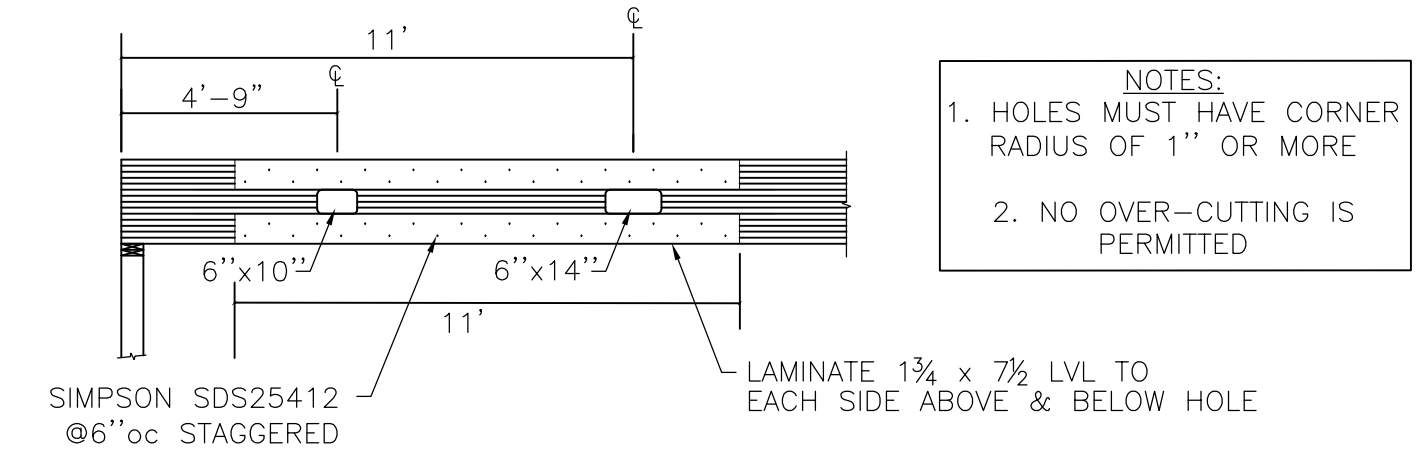
- STRUCTURAL MATERIALS**
- Foundation Soil Properties:
 - Maximum vertical bearing pressure for footings founded 1'-6" minimum below original or finish grade.....1500 psf
 - Concrete:
 - 28 day design strength F'_c2500 psi
 - Minimum cement content.....5 1/2 sacks per cubic yard
 - Maximum water/cement ratio......6 gallons per sack of cement
 - Concrete exposed to elements shall have 5% ± 1% entrained air, by volume per ASTM C260
 - Consolidate concrete using mechanical vibration.
 - Follow ACI recommendations regarding hot and cold weather.
 - Do not place concrete on loose, muddy or frozen ground.
 - Mild steel reinforcing bars.....ASTM A615, Grade 60
Note: Grade 40 Rebar is okay for rebar in footings and stemwalls of one and two story homes on flat lots without concrete basement and/ or retaining walls.
 - Wood:
 - Sawn Lumber: All framing lumber shall be as follows unless noted otherwise on drawings.
 - Studs.....DF-L or HF Stud Grade
 - Joists and Planks.....DF-L #2
 - Beams, Stringers and Posts.....DF-L #2
 - All members 3x or less shall be 19% moisture content maximum.
 - Provide solid blocking at all points of bearing, solid bridging at 8'-0" on center max shall be required where joists have a five-to-one or greater depth-to-thickness ratio and where one edge is not held in line by sheathing, wallboard, bracing, etc.
 - All plates and ledgers in contact with concrete or masonry shall be pressure treated in accordance with A.W.P.A. Standard C-2.
 - Nail in accordance with IRC Fastening Schedule Table R602.3 and drawings.
 - Glue-Laminated Members
 - Beams (typical).....AITC 117 combination 24F-V4 (DF/DF)
 - All glue laminated members shall be notched, shaped and finished in accordance with plans and specifications, and shall be fabricated with waterproof glues.
 - Erection of members shall conform to A.I.T.C. specifications.
 - Glue laminated members shall be western species and bear the A.P.A.-E.W.S. mark of American Wood Systems.
 - TrusJoist or Boise Cascade Joist Products:
 - Joists shall not exceed a live load deflection of L/600 at floors, or the working stresses as shown in the IBC standards for the appropriate loads.
 - TJ or BCI series: Manufacturer shall furnish all end and intermediate stiffeners, blocking and/or shear panels, metal bridging assemblies and hangers, as required to provide a complete floor structural system.
 - Laminated Veneer Lumber, noted on the plans as "LVL" or "ML" shall be provided by the joist manufacturer. It shall be 1-3/4" wide and match the floor joist depth.
 - Lumber noted on the plans as "Parallam" (PSL), shall be Parallel Strand Lumber, as manufactured by TrusJoist MacMillan.
 - Lumber, noted on the plans as Versolam (VL) shall be Boise Cascade Versa-Lam material.
 - Light-Metal Plate-Connected Wood Trusses:
 - Trusses shall comply with all provisions of the design specifications for light metal plate connected wood trusses of the Truss Plate Institute, unless noted otherwise.
 - Connect all trusses to supporting members with one Simpson H2.5 anchor, unless noted otherwise.
 - Plywood Sheathing:
 - All plywood sheathing shall be C-D grade, unless noted otherwise (with exterior glue), shall conform with IBC standards and shall bear the A.P.A. trademark.
 - Roof sheathing.....1/2" Index 24/0
 - 2nd Floor sheathing.....3/4" Index 48/24 T&G
 - 1st Floor sheathing.....1 1/8" 2-4-1 T&G
 - Wall sheathing.....7/16" Index 24/0
 - Nail exterior wall sheathing with 8d at 6 inches on center at panel edges and 12 inches on center in-the-field unless noted otherwise on drawings.
 - Nail (or screw) floor sheathing with 10d at 6 inches on center at panel edges and 12 inches on center in-the-field unless noted otherwise on drawings.
 - Apply a 1/4" diameter continuous bead of construction adhesive conforming to AFG-01 to tops of all joists, blocking and plates immediately before placing sheathing.
 - Plywood sheathing shall be laid with end joints staggered.
 - Block all shear wall sheathing with 2x4 flat blocking at all edges.
 - Lay out plywood to eliminate any width less than 1'-0", except at plywood floors where minimum dimension shall be 2'-0", unless all edges of the undersized sheets are supported by blocking.
 - Oriented Strand Board conforming with IBC standards, Grade 2-M-W, manufactured with exterior glue, may be substituted for plywood, provided it has equal load/span rating index and bears the A.P.A. trademark of the American Plywood Association.
 - Contractor is to protect floor and roof sheathing from extreme wet conditions to limit movements due to expansion caused by moisture.
 - Wood Connectors:
 - All plates and ledgers shall be anchored with a minimum of 3 anchors per piece.
 - Expansion anchors shall have a 3 1/2 inch minimum embedment.
 - All framing connectors shall be Simpson or approved. Fill all nail holes with nails as specified by the hanger manufacturer, unless noted otherwise.
 - Bolts and lag bolts to be ASTM A307 unless noted otherwise.
 - Provide standard plate washers under heads or nuts of bolts bearing on wood unless noted otherwise.
 - Pre-drill holes for lag threads.



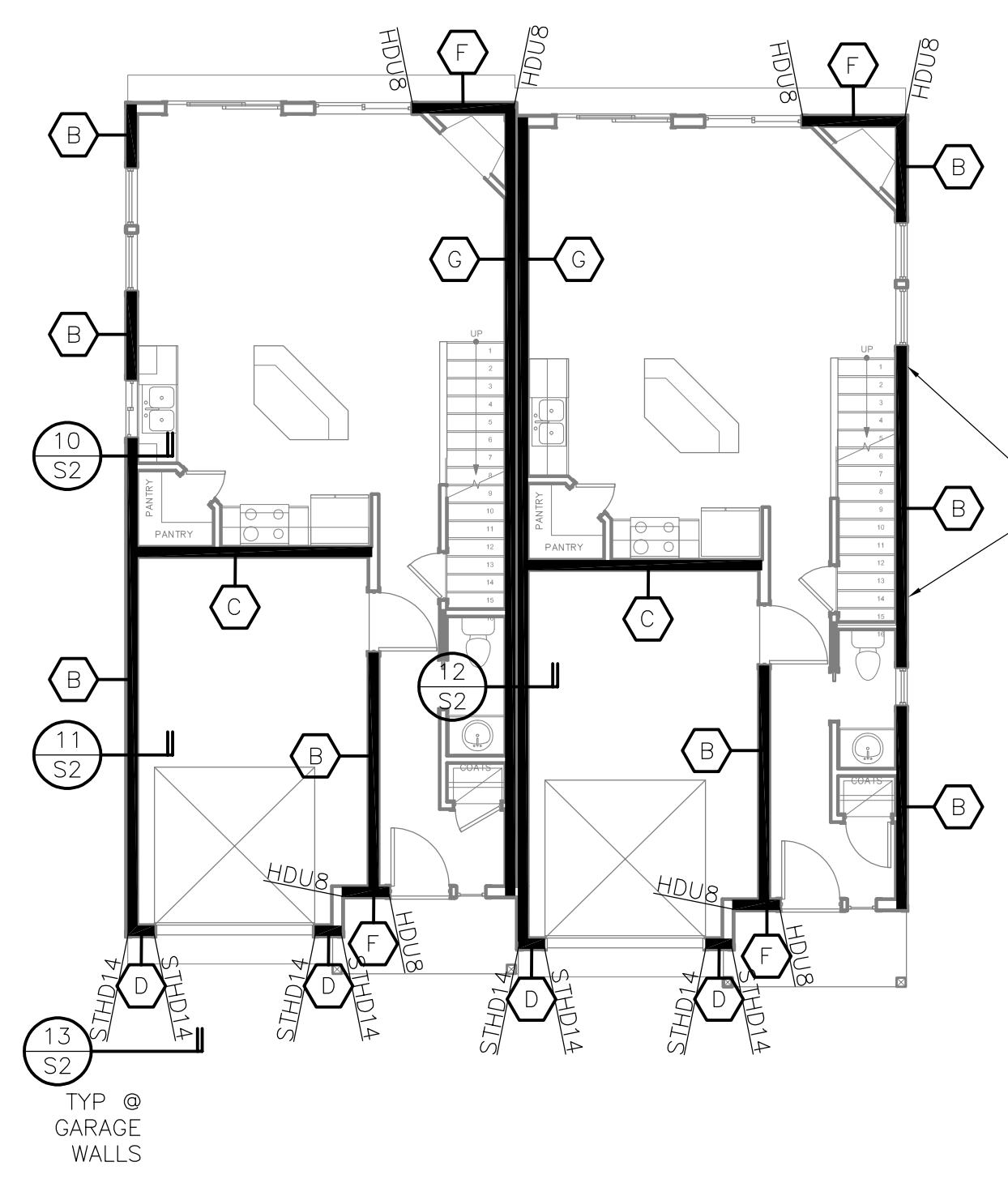
(A) S1
ROOF PLAN
1/8"=1'-0"



(B) S1
UPPER SHEARWALL PLAN
1/8"=1'-0"



(1) S1
DUCT HOLE DETAIL
1/4"=1'-0"



(C) S1
MAIN SHEARWALL PLAN
1/8"=1'-0"

- PLAN NOTES:**
- SEE ARCHITECTURAL PLANS FOR DIMENSIONS AND ADDITIONAL INFORMATION. DO NOT SCALE DRAWINGS.
 - ROOF TRUSS AND FLOOR JOIST DESIGN BY SUPPLIER. TRUSS AND JOIST SUPPLIER SHALL REVIEW THIS ENGINEERING TO VERIFY LAYOUT AND OTHER INFORMATION.
 - INDICATES SHEAR WALL TYPE. SEE SHEAR WALL SCHEDULE. NAIL EXTERIOR WALLS PER SHEAR WALL TYPE (A) UNLESS NOTED OTHERWISE.
 - INDICATES SIMPSON HOLDOWN. ATTACH TO 4x6 MINIMUM. ANCHOR TO FOUNDATION WITH SIMPSON SB7/8x28 ANCHOR. INSTALL PER SIMPSON SPECS.
 - INDICATES SIMPSON EMBEDDED STRAP HOLDOWN. ATTACH TO DOUBLE STUDS. INSTALL PER SIMPSON SPECS.

SHEAR WALL SCHEDULE						
WALL SYMBOL	SHEATHING	PANEL EDGE NAILING	TOP PLATE ANGLE ATTACHMENT TO BLOCKING	BOTTOM PLATE NAILING	ANCHOR BOLTS 3/8"	CAPACITY (PLF)
(A)	3/8" PLYWOOD	8d @ 6"oc (STAPLES @ 6")	@ 48"oc	16d @ 8"oc	@ 72"oc	160
(B)	3/8" PLYWOOD	8d @ 6"oc (STAPLES @ 4")	@ 32"oc	16d @ 8"oc	@ 48"oc	260
(C)	3/8" PLYWOOD	8d @ 4"oc (STAPLES @ 3")	@ 24"oc	16d @ 6"oc	@ 36"oc	340
(D)	3/8" PLYWOOD	8d @ 3"oc	@ 16"oc	16d @ 4"oc	@ 30"oc	480
(E)	3/8" PLYWOOD	8d @ 2"oc	@ 12"oc	16d @ 3"oc	@ 24"oc	620
(F)	3/8" PLYWOOD EA SIDE	8d @ 3"oc	@ 8"oc	16d @ 2"oc	@ 16"oc	960

- NOTES:
- SHEATHING: PLYWOOD SHALL BE 4 PLY MINIMUM AND ALL PANEL EDGES SHALL BE BLOCKED. ORIENTED STRAND BOARD (OSB) MANUFACTURED WITH EXTERIOR GLUE, MAY BE SUBSTITUTED PROVIDED IT HAS EQUAL LOAD/SPAN RATING INDEX AND BEARS THE A.P.A. TRADEMARK.
 - WOOD MATERIAL: STUDS TO BE DOUG FIR SPECIES SPACED AT 16 INCHES ON CENTER. SILL PLATE TO BE PRESSURE TREATED (HEM FIR OKAY).
 - PANEL EDGE NAILING: PROVIDE PANEL EDGE NAILING AT ALL END STUDS, SILL PLATES AND TOP PLATES.
 - NAILS/STAPLES: STAPLES MAY BE SUBSTITUTED FOR NAILS WHERE NOTED ON SHEAR WALL SCHEDULE. THEY MUST BE 16 GAUGE, WITH A MIN. CROWN WIDTH OF 7/16 INCH O.D., AND A MINIMUM PENETRATION OF 1 INCH.
 - NAILING: NAILING AT INTERMEDIATE FRAMING TO BE SPACED AT 12"oc. STAPLES AT INTERMEDIATE FRAMING TO BE SPACED AT 8"oc.
 - ABUTTING SHEATHING: WHERE SHEAR CAPACITY EXCEEDS 350 PLF (SHEARWALLS C,D,E & F), FRAMING MEMBERS (WALL STUDS) RECEIVING EDGE NAILING FROM ABUTTING PANELS SHALL BE 3x MEMBERS OR DOUBLE 2x MEMBERS NAILED TOGETHER WITH 2 ROWS OF 10D'S @ 8" OC. NAILS SHALL BE STAGGERED.
 - TOP PLATE ANGLE ATTACHMENT TO BLOCKING: LS50'S ARE REQUIRED AT THE ROOF EAVE CONNECTION. A35'S ARE REQUIRED AT OTHER FLOOR TO SHEAR WALL CONNECTIONS WHERE THE PLYWOOD DOES NOT RUN CONTINUOUSLY FROM THE UPPER WALL TO LOWER WALL. SEE DETAILS.
 - ANCHOR BOLTS SHALL HAVE 3"x3"x1/2" PLATE WASHERS. WASHERS SHALL EXTEND TO WITHIN 1/2" OF EDGE OF BOTTOM PLATE WITH SHEATHING ATTACHED.
 - EXPANSION ANCHORS OF THE SAME DIAMETER AND SPACING WITH 4 INCHES OF EMBEDMENT MAY BE SUBSTITUTED AT INTERIOR SHEAR WALLS.



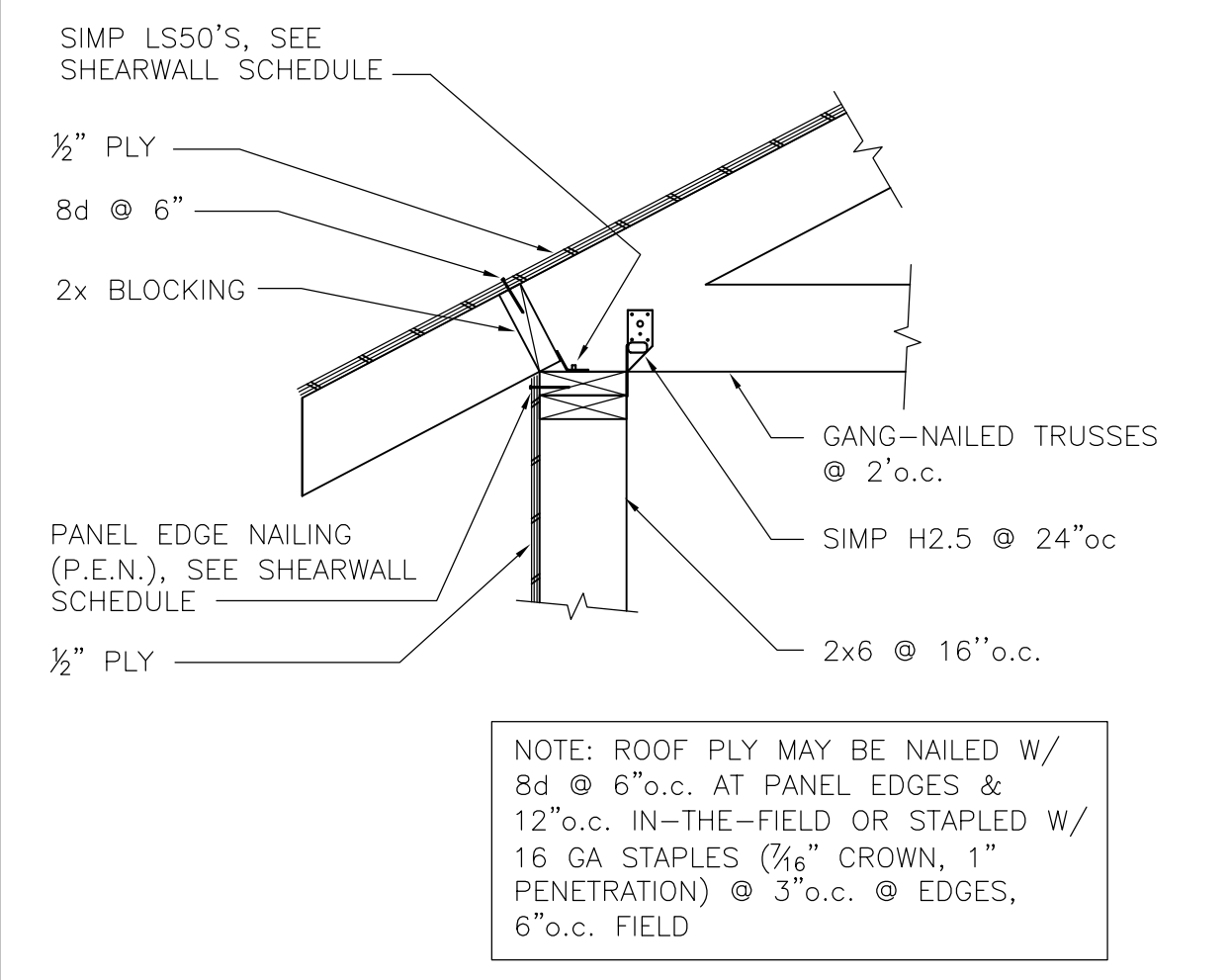
GREEN MOUNTAIN
structural engineering



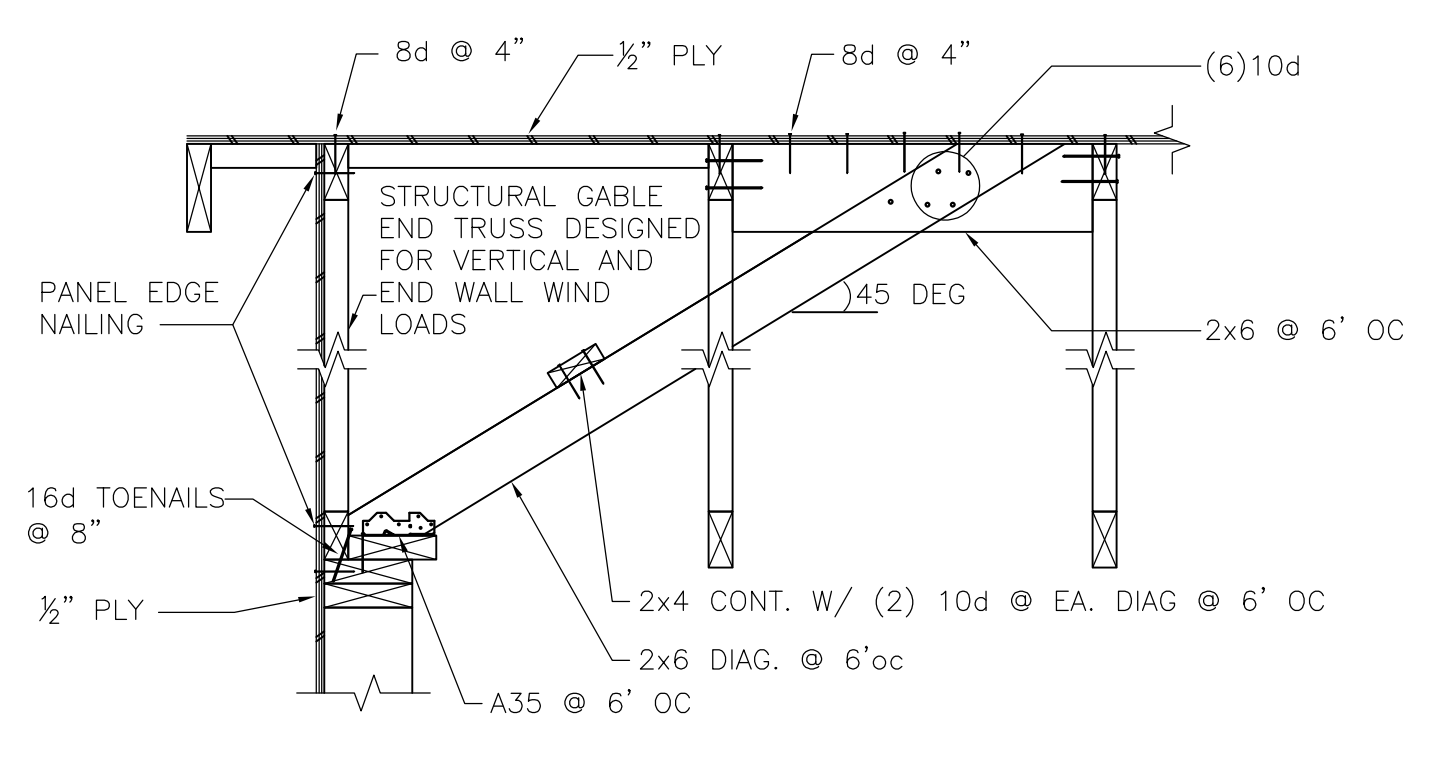
Palladian Group - Couch St. Duplex

Revisions:
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Date: 6/8/2022
Checked by: CM
Sheet No.

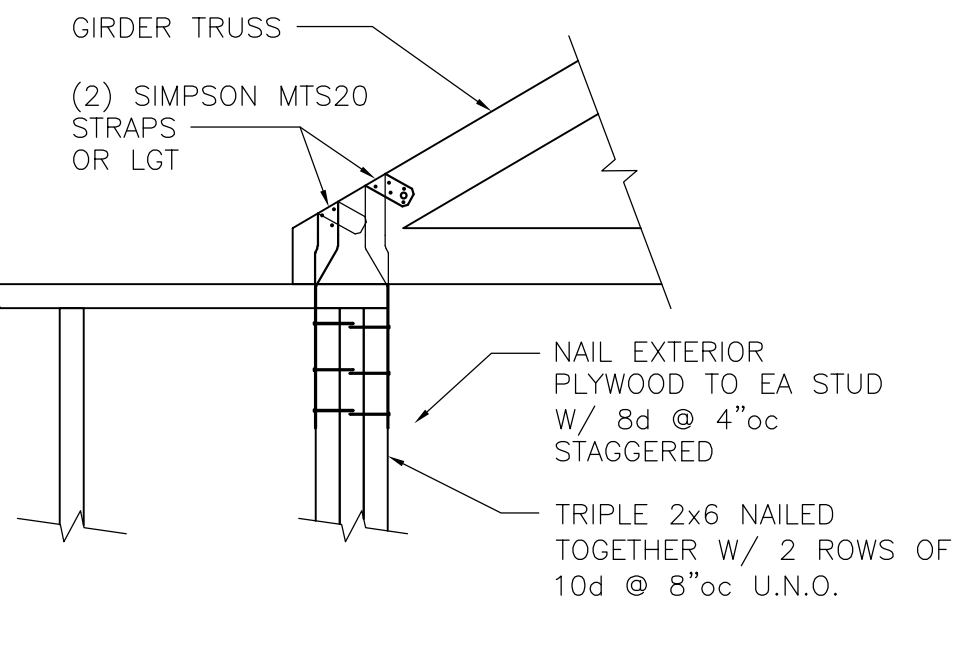
S2



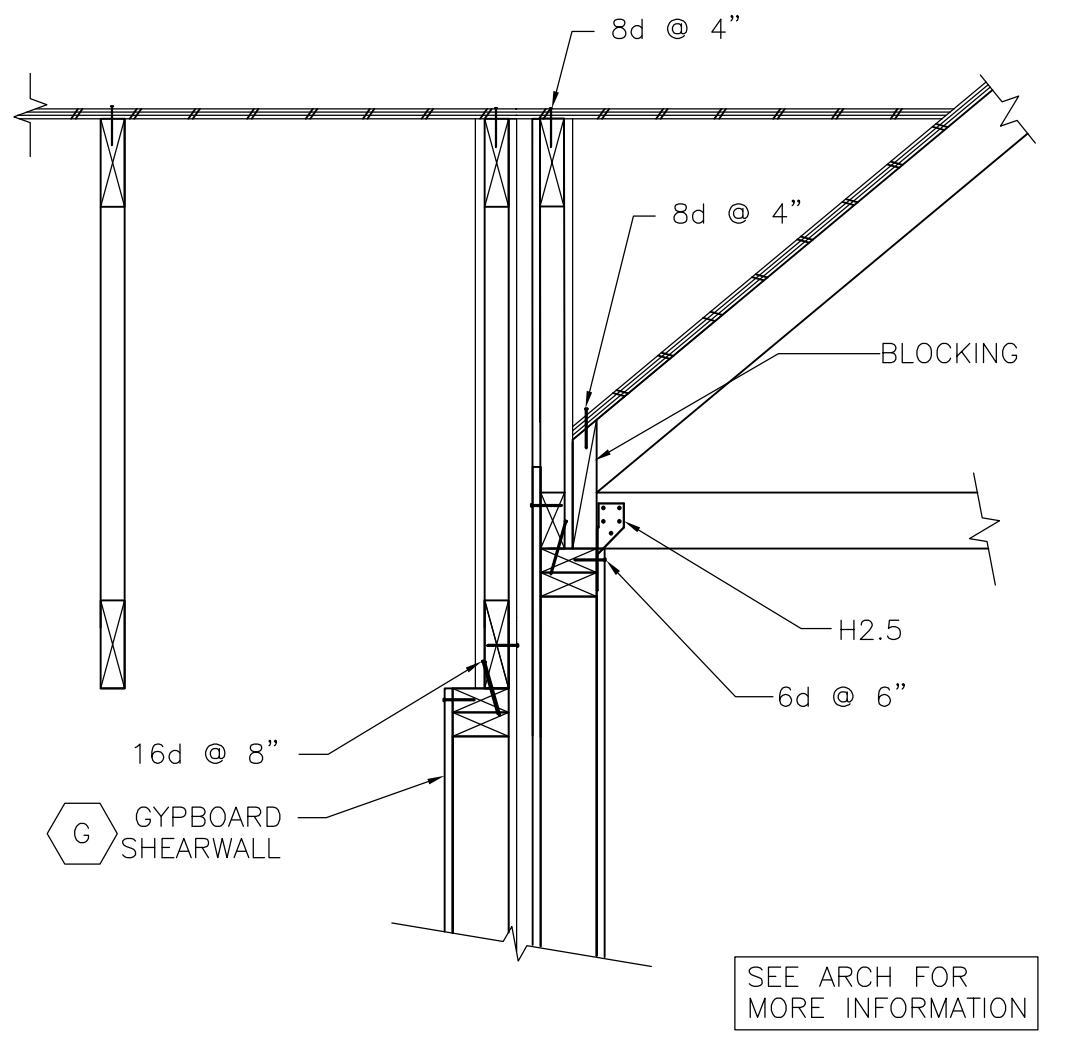
1 SECTION @ EAVE
S2 1"=1'-0"



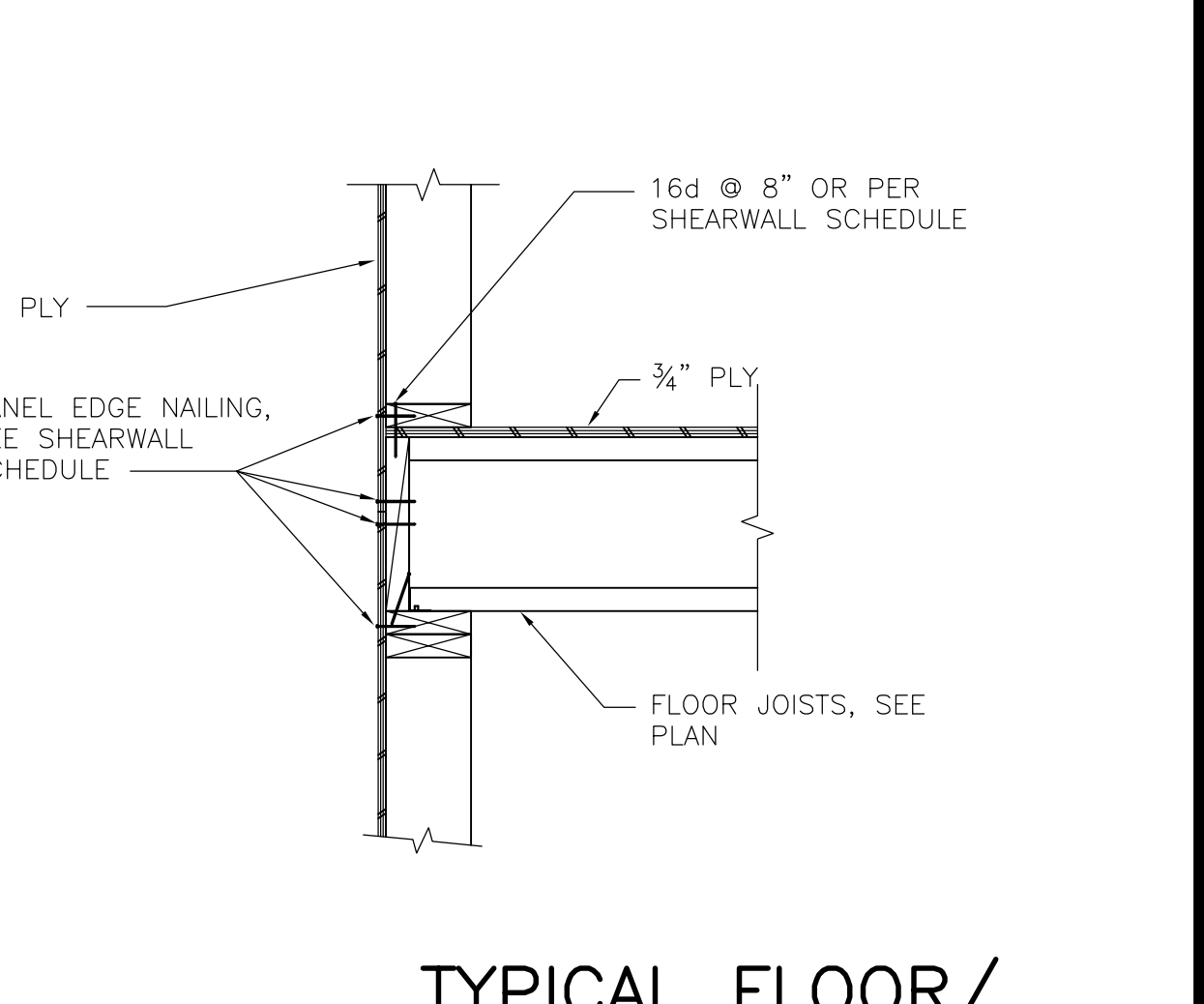
2 SECTION @ GABLE END
S2 1"=1'-0"



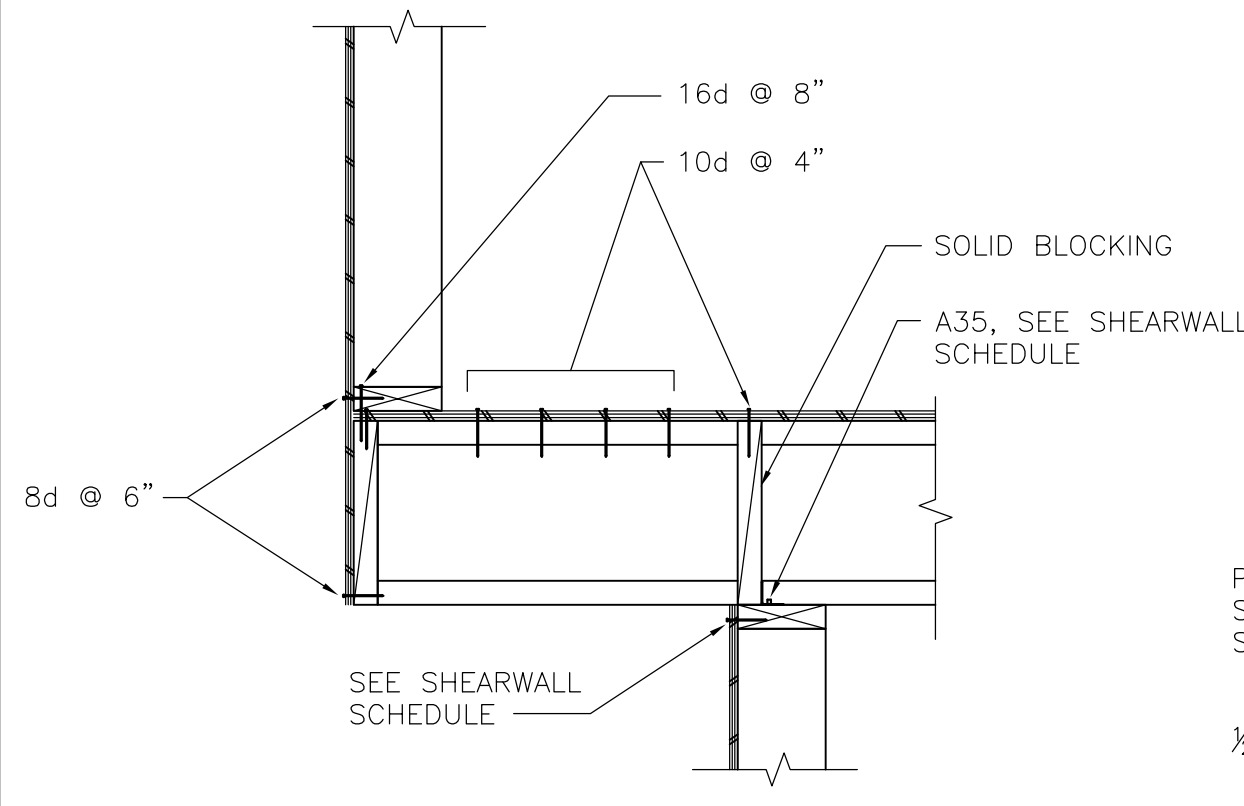
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S2 1"=1'-0"



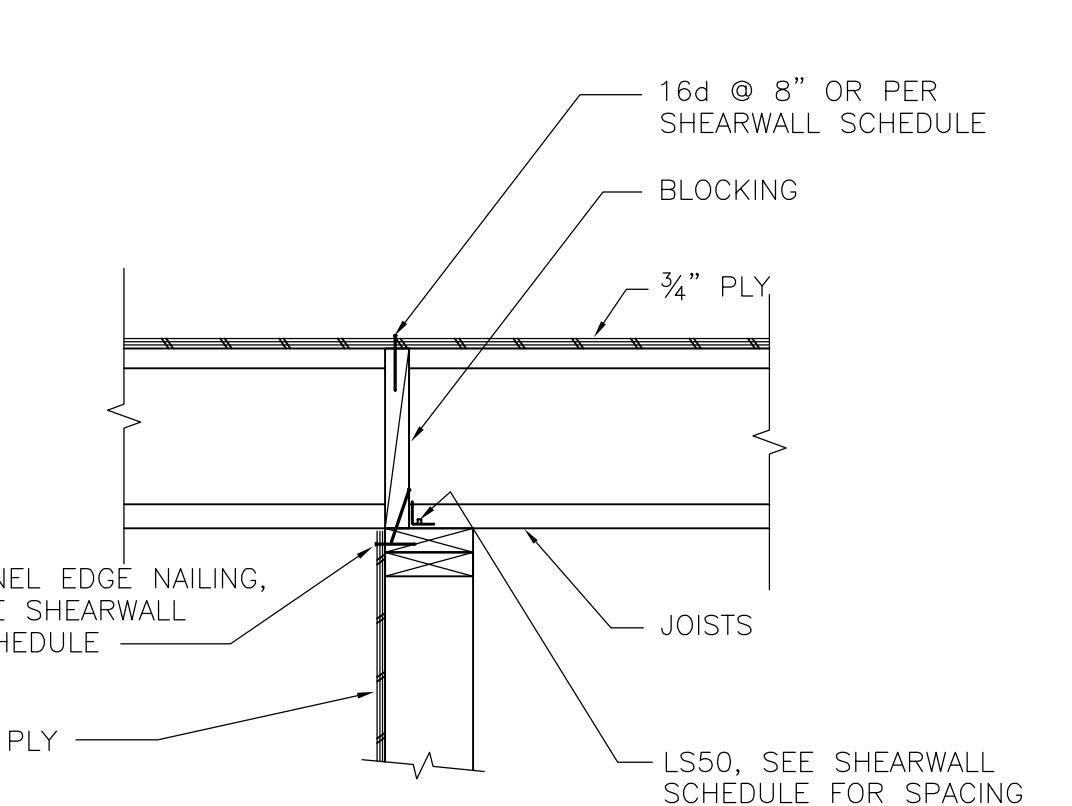
4 SECTION
S2 1"=1'-0"



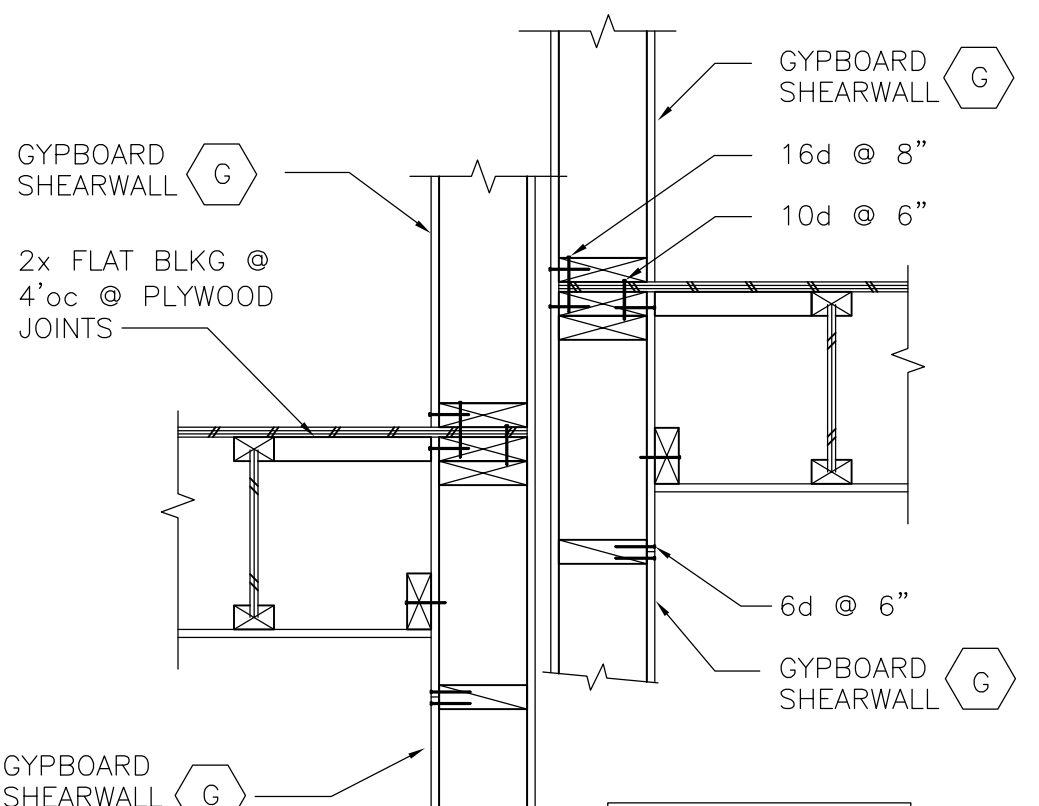
5 TYPICAL FLOOR/SHEARWALL CONNECTION
S2 1"=1'-0"



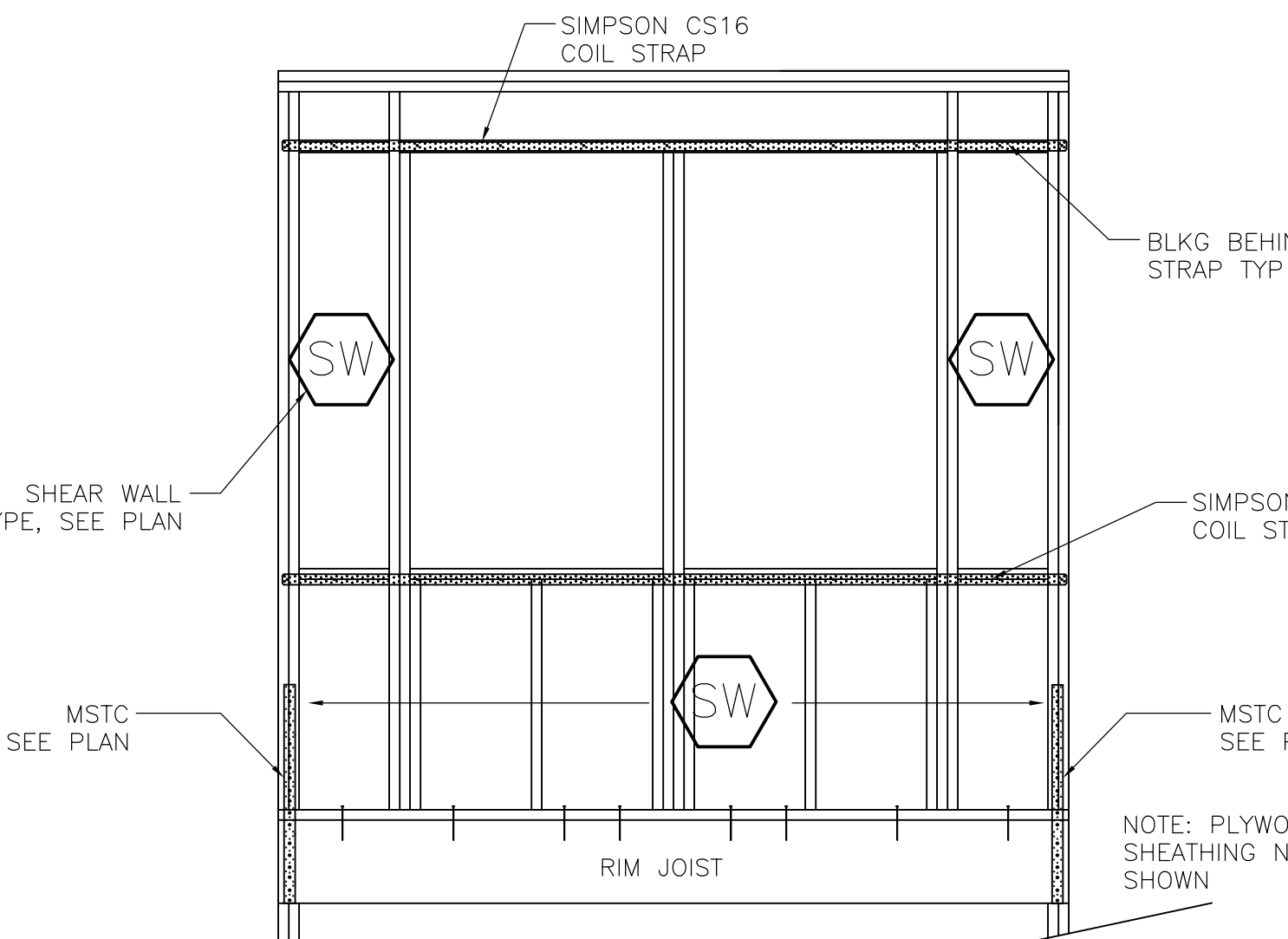
6 OVERHANG
S2 1"=1'-0"



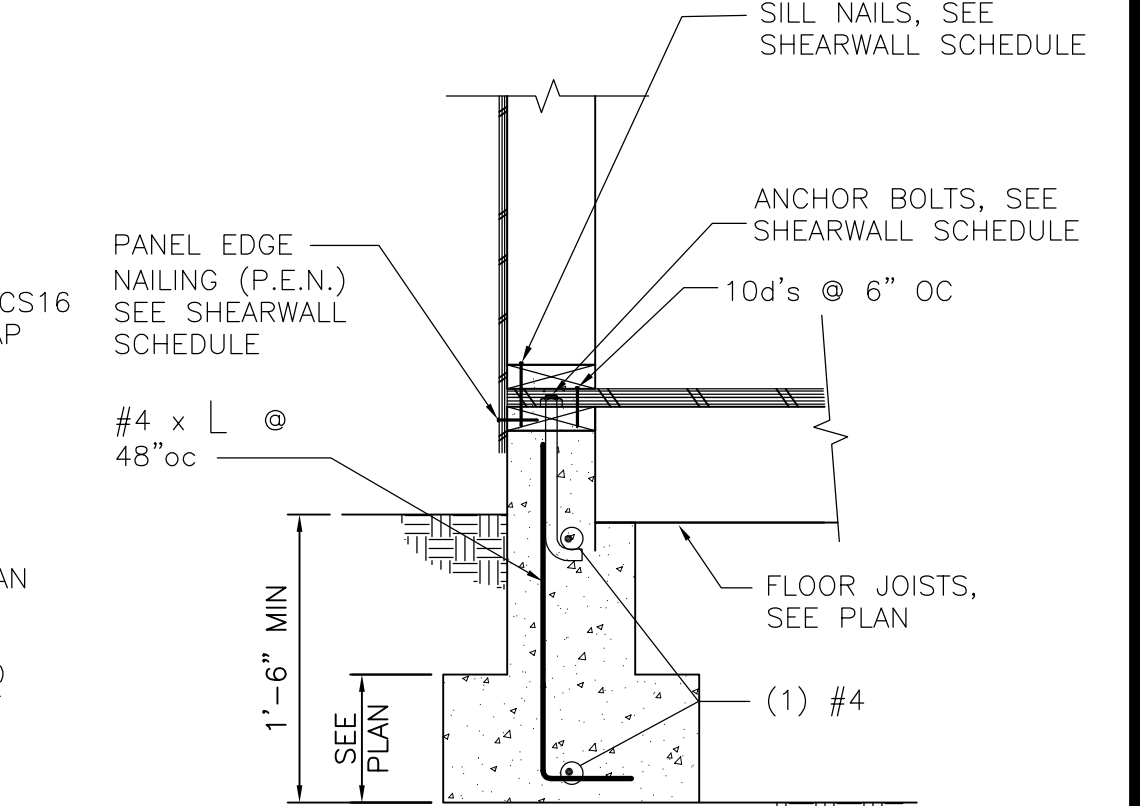
7 SECTION
S2 1"=1'-0"



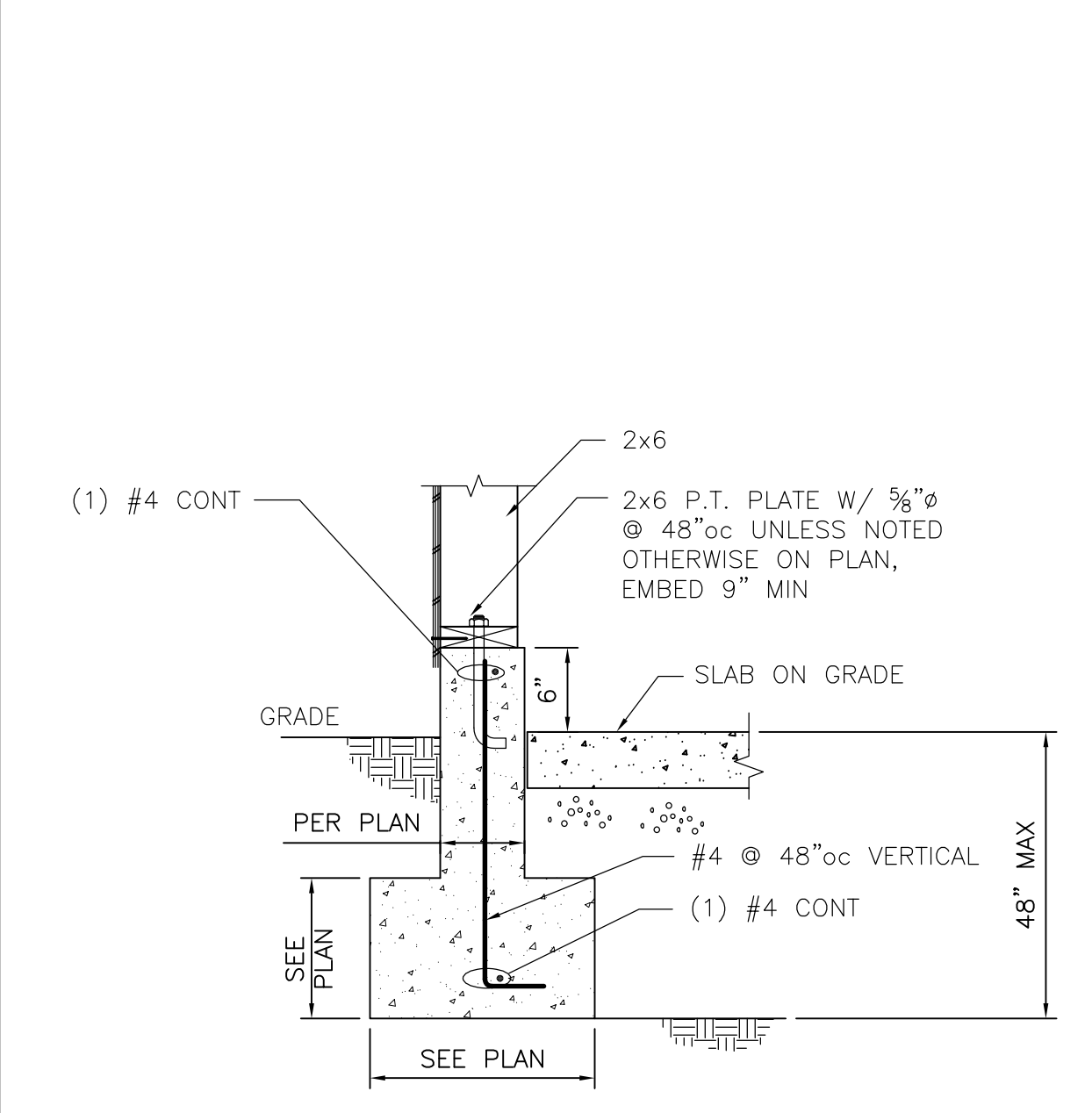
8 SHEARWALL
S2 1"=1'-0"



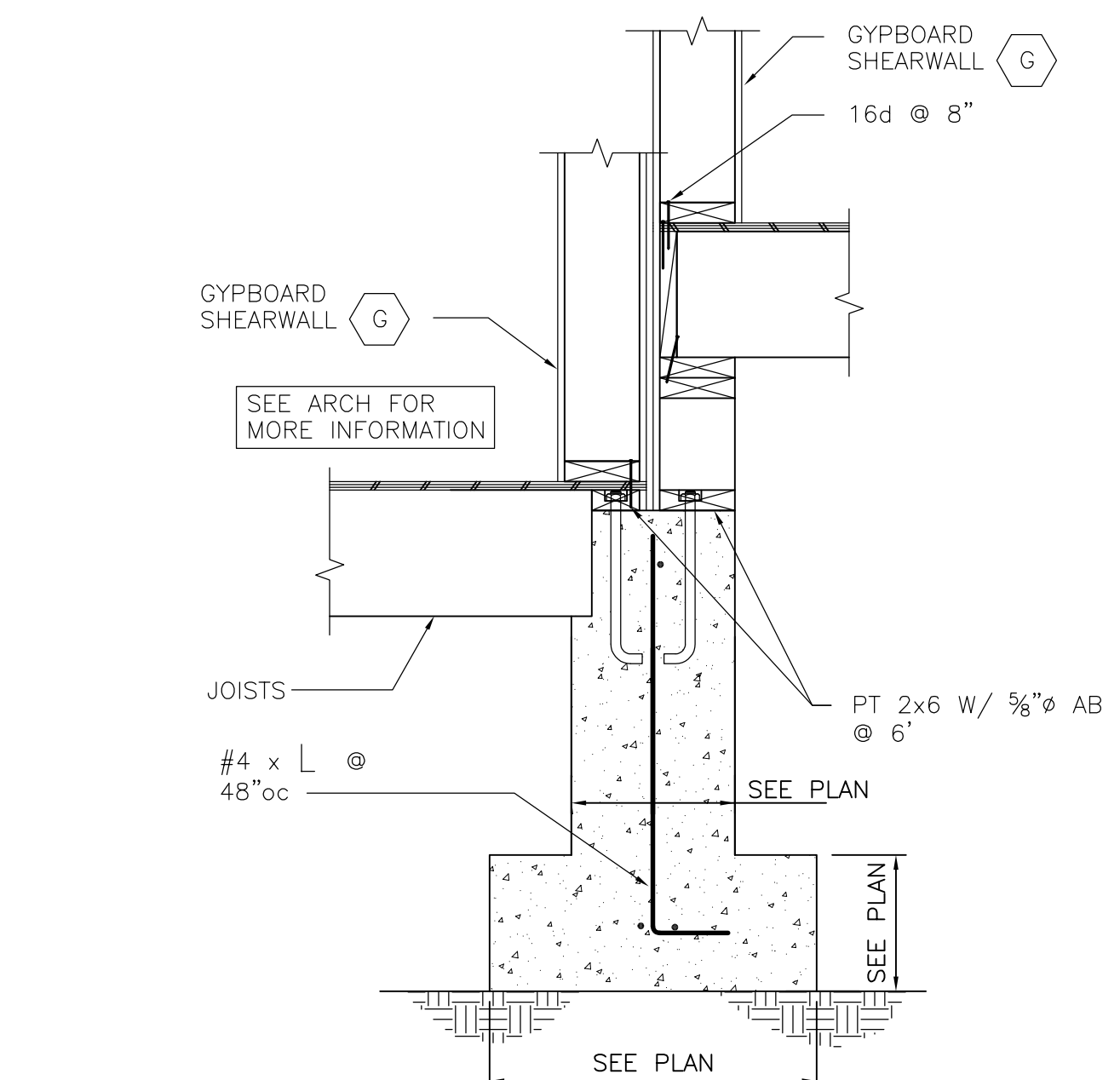
9 SHEAR WALL ELEVATION
S2 1/2"=1'-0"



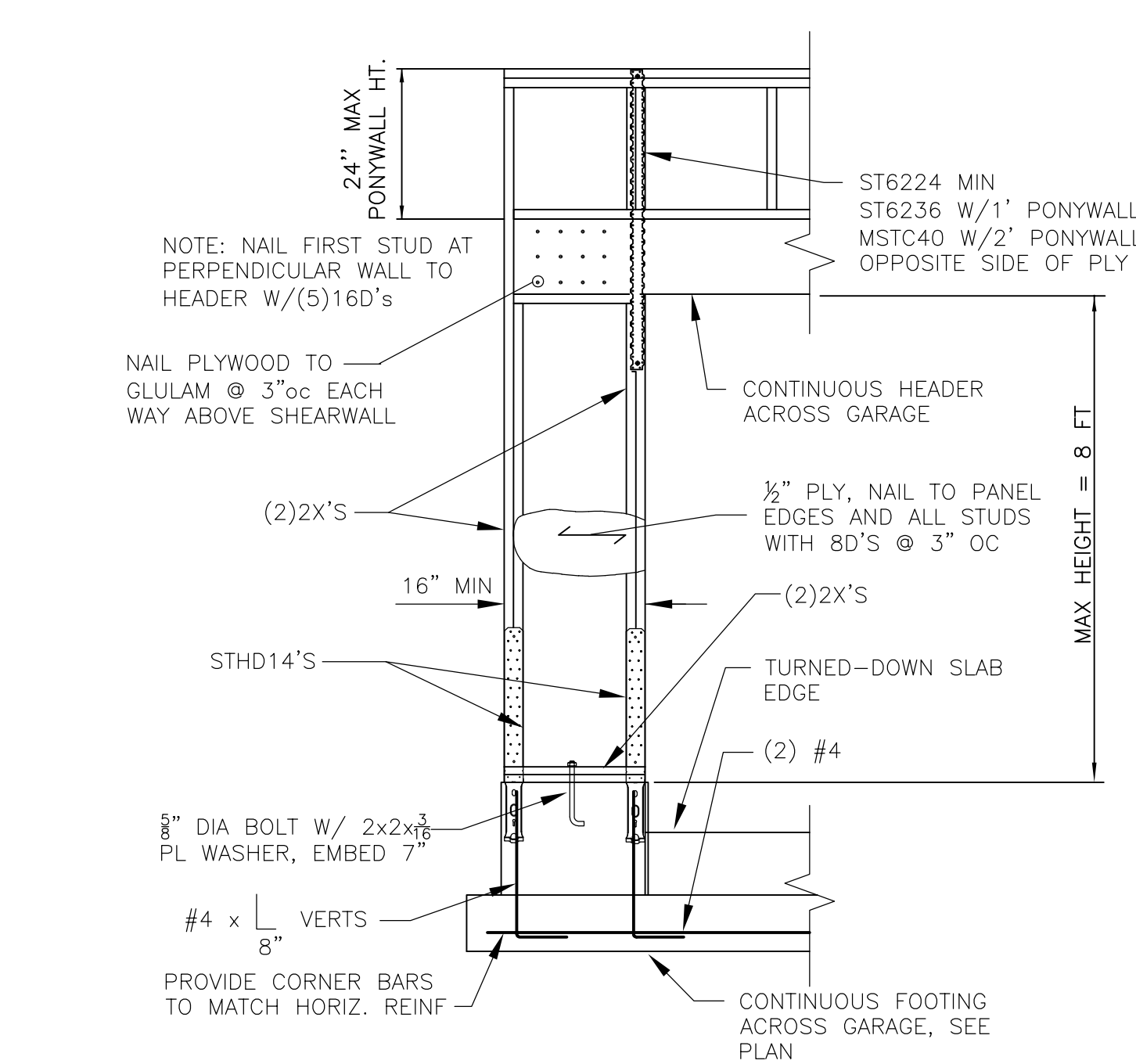
10 SECTION
S2 1"=1'-0"



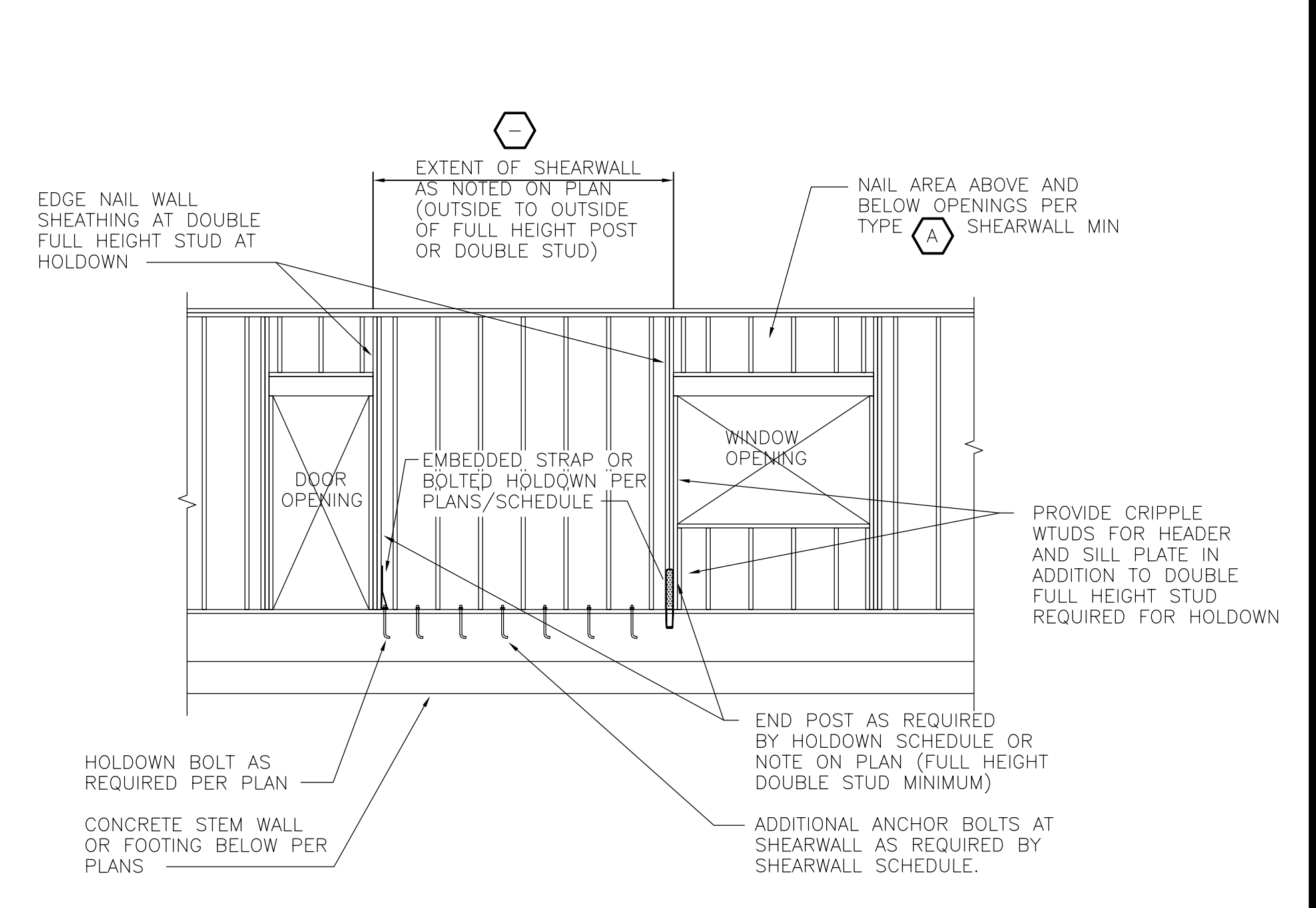
11 SECTION
S2 1"=1'-0"



12 SECTION
S2 1"=1'-0"



13 A.P.A. PORTAL FRAME
S2 1/2"=1'-0"



14 SHEARWALL ELEVATION
S2 1/4"=1'-0"



PHONE (509)602-2464



11/14/22

WASHINGTON

DRAINAGE SHEET
COUCH
DUPLX
CAMAS

LEGEND

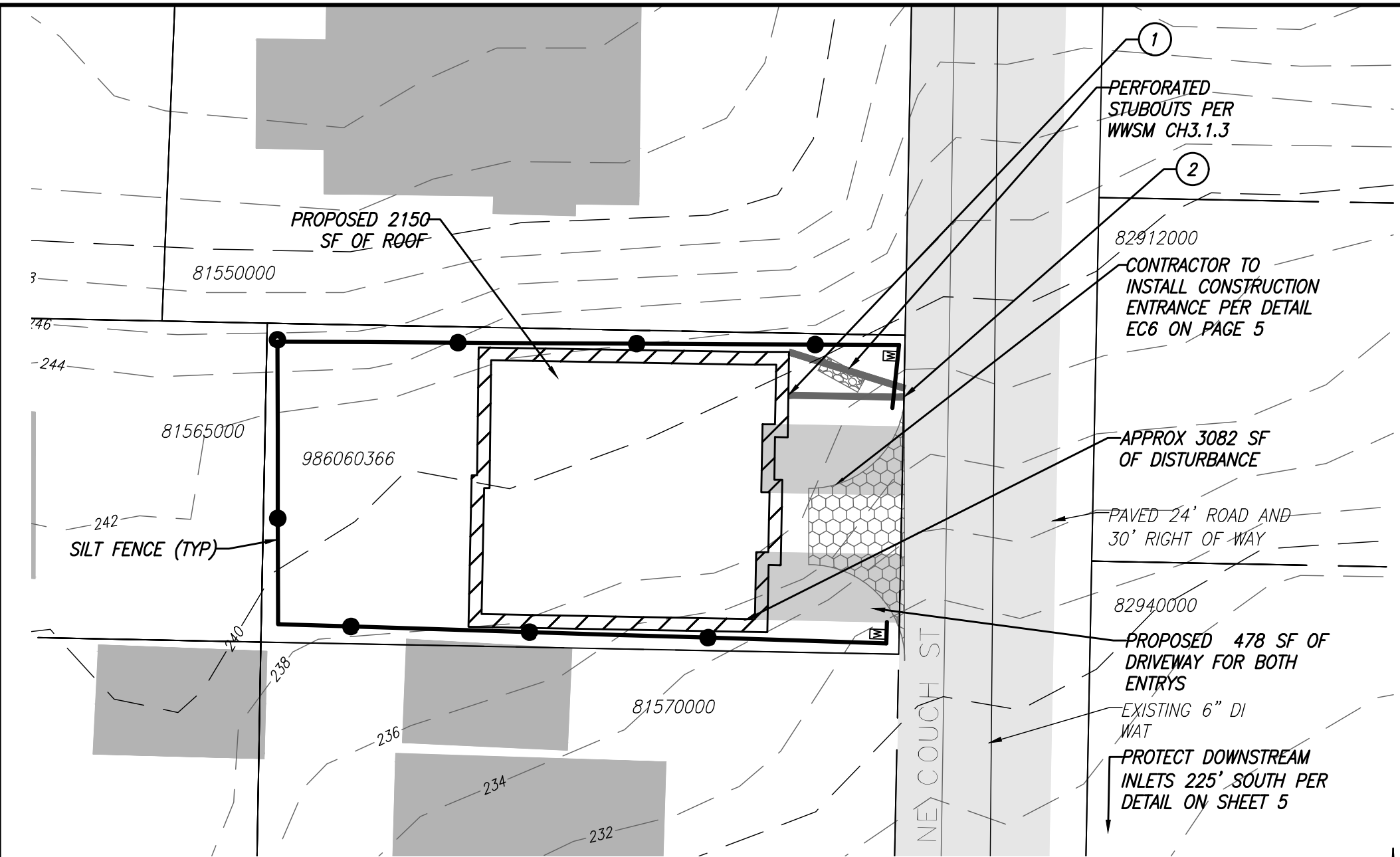
- PROPOSED BUILDING
- DISTURBED AREA
- 100 EXISTING MAJOR CONTOURS
- FLOW ARROW
- PROPOSED DRIVEWAY
- EXISTING DRIVEWAY

CRAWLSPACE LEGEND

- ① ON 6" ADS PIPE INSTALL A 3" BACKFLOW PREVENTER AND INSTALL A SLOTTED CAP.
- ② DAYLIGHT LOW POINT CRAWL SPACE DRAIN TO STREET. FIELD FIT REALITVE TO GRADING CHANGES, MIN 2% SLOPE

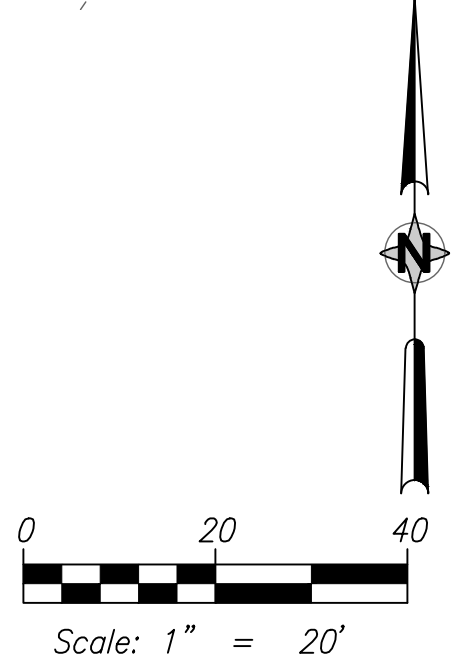
NATIVE SOIL INFILTRATION RATES:
 TESTED INFILTRATION RATE = 0.40 IN/HR
 SAFETY FACTOR OF = 4
 DESIGNED INFILTRATION RATE = 0.1 IN/HR
 1' OF CLEARANCE TO GROUND WATER BELOW SYSTEM WAS VERIFIED.

EROSION NOTE:
 SIGNIFICANT VARIATION AND DEGREE OF EROSION CONTROL EFFORT WILL BE DICTATED BY WEATHER CONDITIONS. THE DEVELOPER AND CONTRACTOR SHOULD BE PREPARED TO PROVIDE EXTRA EROSION CONTROL PROVISIONS AND EFFORT DURING WINTER & WET WEATHER CONDITIONS BEYOND THAT NORMALLY REQUIRED DURING SUMMER AND DRY WEATHER CONDITIONS. FINE GRAINED AND UNCONSOLIDATED SOILS ON SLOPING SITES MAY BECOME UNSTABLE WHEN SUBJECT TO EXCESSIVE MOISTURE.



DISPERSION DESIGN NOTES

- ALL RUNOFF IS WITHIN THE SAME TDA AND HAS BEEN DIRECTED TOWARD THE EXISTING STORM FLOW PATHS
- ALL DISTURBED AREA IS TO BE PER BMP T5.13 POST-CONSTRUCTION SOIL QUANTITY AND DEPTH. CONTRACTOR TO MINIMIZE DISTURBED AREA AND PRESERVE NATIVE VEGETATION FLOW PATH AREAS AS MUCH AS POSSIBLE DURING CONSTRUCTION
- ALL ROOF LINES ARE TO BE 3" OR 4" ADS PIPE WITH MIN 2% SLOPE
- CONVEYANCE STORMPIPE IS TO BE 6" PVC PIPE WITH MIN 1% SLOPE
- ROOF STORMWATER TO BE DIRECTED TO PERFORATED STUBOUTS PER WWSM CH3.1.3
- SLOPE GROUND AT 2% MIN. FOR 5' AWAY FROM BUILDING FOUNDATIONS (ALL SIDES OF HOUSE)

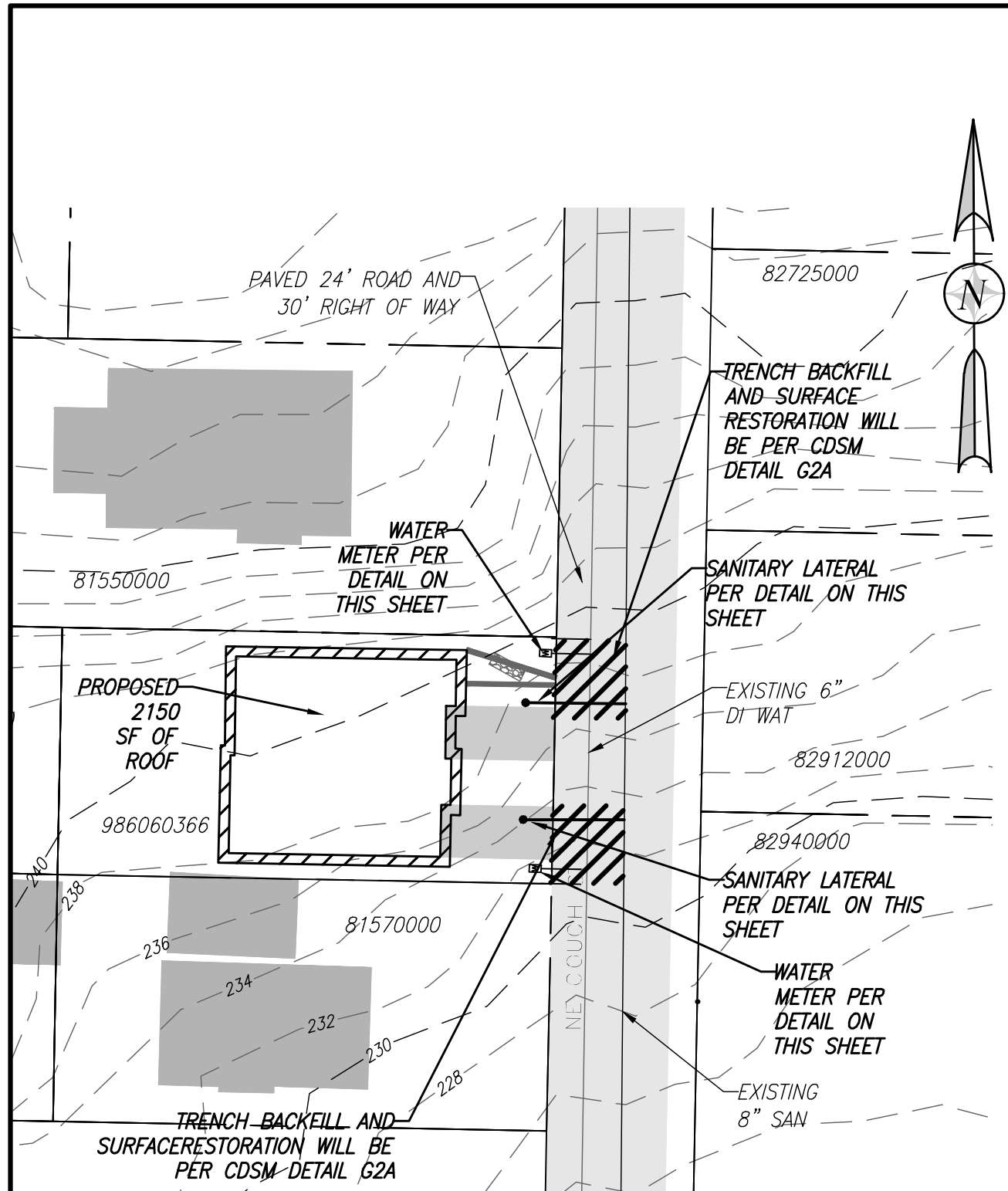


REVISIONS	

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 DRAWN BY: JRW
 CHECKED BY: JRW
 SCALE: N/A

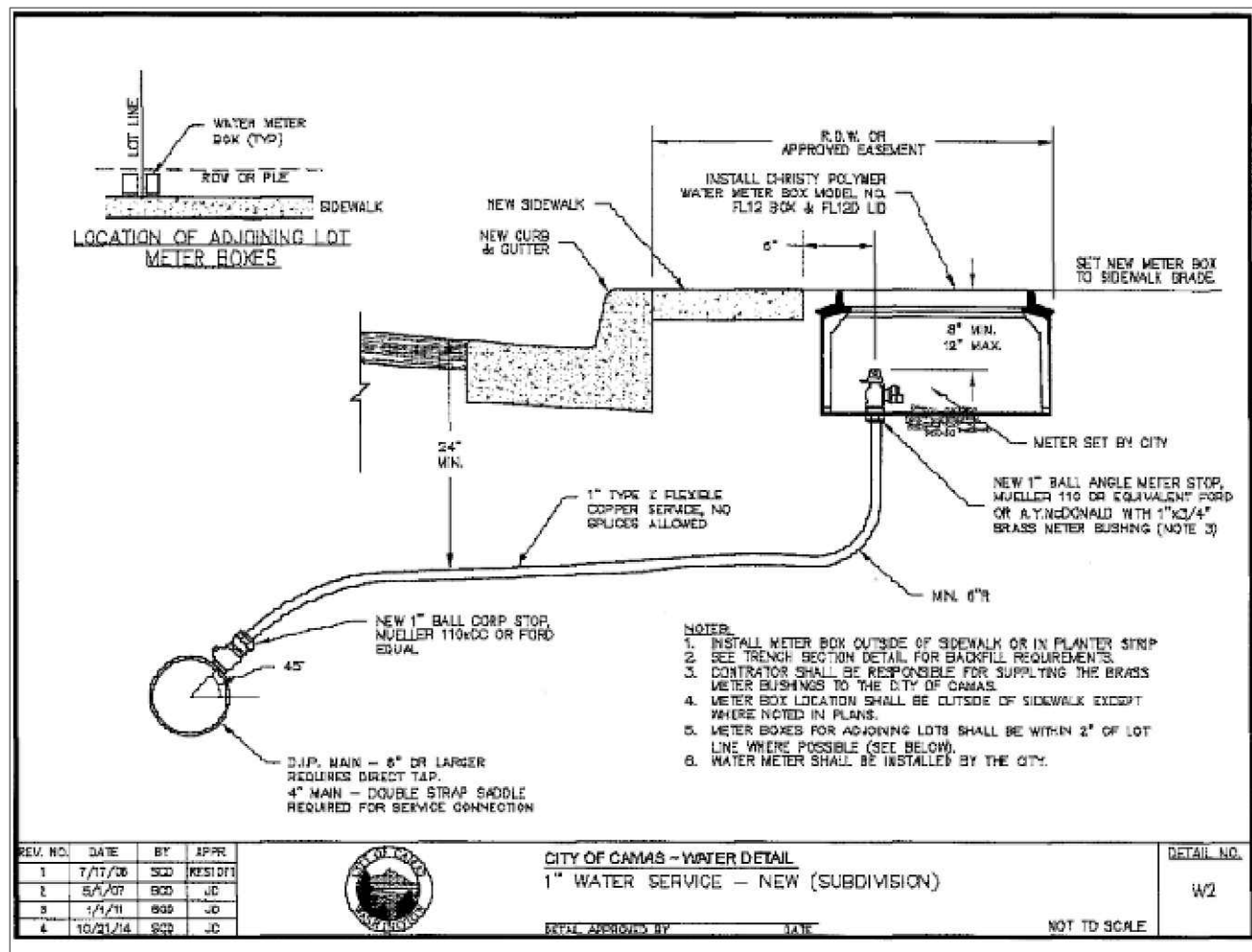
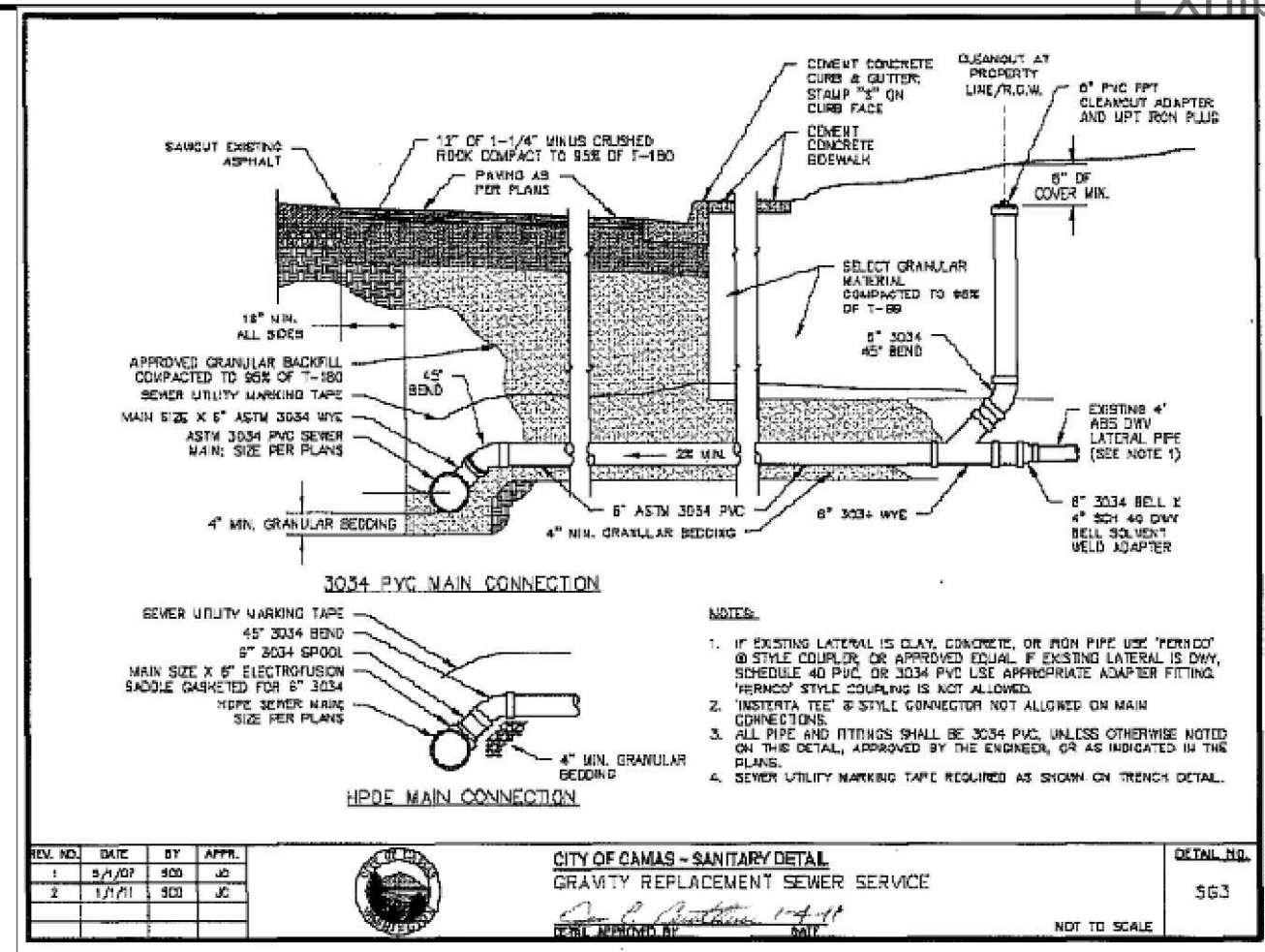
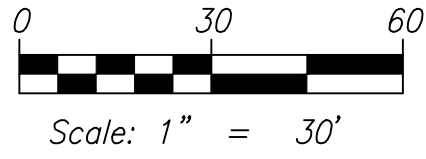
DATE PLOTTED: Nov. 14, 2022 - 3:38 PM

DATE PLOTTED: Nov. 14, 2022 - 3:38 PM



LEGEND

- PROPOSED BUILDING
- DISTURBED AREA
- EXISTING MAJOR CONTOURS
- FLOW ARROW
- PROPOSED DRIVEWAY
- EXISTING DRIVEWAY



TRUE NORTH
GEO-TECHNICAL

PHONE (503)602-2464

11/14/22

WASHINGTON

CAMAS

SANITARY AND WATER SHEET

COUCH
DUPLX

REVISIONS

NO.	DATE	DESCRIPTION

DESIGNED BY: JRW
DRAWN BY: JRW
CHECKED BY: JRW
SCALE: N/A

JOB NUMBER 39



PHONE (509)602-2464

EROSION CONTROL NOTES

WASHINGTON

CAMAS

COUCH
DUPLX

REVISIONS

NO.	DATE	DESCRIPTION

DESIGNED BY: JRW
 DRAWN BY: JRW
 CHECKED BY: JRW
 SCALE: N/A

EROSION/SEDIMENT CONTROL NOTES:

1. THE EROSION/SEDIMENT CONTROL (ESC) PLAN AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS TO BE UTILIZED AS A GUIDE TO CONTROL THE TRANSPORT OF LOOSE SOILS TO THE PROPERTY OUTSIDE OF THE CONSTRUCTION AREA AND AROUND THE CONSTRUCTION SITE. THE ESC MEASURES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DOES NOT LEAVE THE SITE.
2. THE IMPLEMENTATION OF THE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADE OF THE ESC MEASURES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND PERMANENT VEGETATION/LANDSCAPING IS ESTABLISHED.
3. IF THE CITY INSPECTOR OR ENGINEER(S) HAS EVIDENCE OF POOR CONSTRUCTION PRACTICES OR EROSION CONTROL TECHNIQUES, A "STOP WORK" ORDER SHALL BE ISSUED UNTIL PROPER MEASURES HAVE BEEN TAKEN AND APPROVED BY THE CITY ENGINEERING STAFF.
4. THE CONTRACTORS SHALL BE RESPONSIBLE TO FAMILIARIZE THEMSELVES WITH THE MOST RECENTLY ADOPTED EDITION OF THE STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON, VOL. II AND THE CITY OF CAMAS MUNICIPAL CODE 14.06 (2011).
5. ALL EROSION/SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND IN WORKING CONDITION PRIOR TO DISTURBING AND EXPOSING ANY SOIL SURFACES (I.E. CONSTRUCTION ENTRANCES, FILTER FABRIC SEDIMENT BARRIERS, AND SEDIMENTATION TRAPS) AND MAINTAINED FOR THE DURATION OF THE PROJECT. TRAPPED SEDIMENT IN EXCESS OF 1 FOOT SHALL BE REMOVED OR STABILIZED ON-SITE. DISTURBED SOIL AREAS RESULTING FROM VEGETATION REMOVAL SHALL BE PERMANENTLY STABILIZED. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
6. TO MINIMIZE EROSION AND SEDIMENTATION TRANSPORTATION, EARTHWORK SHALL NOT BE PERFORMED WHILE SOILS ARE IN AN UNSTABLE STATE DUE TO PRECIPITATION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO HAVE CLEARING LIMITS AND/OR ANY EASEMENTS, SENSITIVE OR CRITICAL AREAS, AND THEIR BUFFERS, TREES, AND DRAINAGE COURSES FLAGGED PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. FLAGGING LIMITS ARE TO BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
8. REMOVE ONLY THOSE TREES AND SHRUBS THAT NEED TO BE REMOVED FOR THE CONSTRUCTION OF ROADS, SIDEWALKS, UTILITIES, AND STORMWATER FACILITIES.
9. ALL EXISTING AND NEWLY CONSTRUCTED ROAD CATCH BASINS AND CURB INLETS AFFECTED BY CONSTRUCTION SHALL BE PROTECTED AGAINST SEDIMENT DEPOSITS. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
10. ALL POLLUTANTS THAT OCCUR ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER SYSTEM.
11. ALL DISTURBED SOIL SURFACES ARE TO BE STABILIZED BY A SUITABLE APPLICATION OF "BEST MANAGEMENT PRACTICES" (BMP'S). DURING THE PERIOD OF OCTOBER 1 THROUGH JULY 5 DISTURBED SOILS MAY REMAIN UNSTABILIZED FOR UP TO TWO DAYS WHEN NOT BEING WORKED. FROM JULY 5 THROUGH OCTOBER 1, DISTURBED SOILS MAY REMAIN UNSTABILIZED FOR UP TO 7 DAYS WHEN NOT BEING WORKED. STABILIZATION OF DISTURBED SOIL AREAS MAY CONSIST OF HYDROSEEDING, HAND-SEEDING AND MULCHING, PLACEMENT OF EROSION CONTROL BLANKETS OR PLASTIC. ALL SEEDED AREAS ARE TO BE FERTILIZED, WATERED, AND MAINTAINED TO ENSURE THAT THE GROWTH OF VEGETATION OCCURS AS SOON AS POSSIBLE.
12. ALL TEMPORARY SEDIMENT AND EROSION CONTROL BMP'S SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY BMP'S ARE NO LONGER NEEDED.

REV. NO.	DATE	BY	APPR.
1	9/18/07	SD	JC
2	1/1/11	SCD	JC



CITY OF CAMAS - EROSION CONTROL DETAIL
 EROSION/SEDIMENT CONTROL NOTES
 DETAIL APPROVED BY: [Signature] DATE: 1-4-11
 NOT TO SCALE

DETAIL NO. EC2

EC-NOTES.DWG

EROSION/SEDIMENT CONTROL NOTES (CONTINUED):

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR POLICING THE JOB SITE DAILY AND MAINTAINING THE EROSION/SEDIMENT CONTROL MEASURES THROUGHOUT ALL PHASES OF CONSTRUCTION. AN INSPECTION LOG SHALL BE KEPT AND MADE AVAILABLE TO THE CITY OF CAMAS. THE POLICING AND MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO:
 - VERIFYING THAT ALL AREAS ARE GRADED SUCH THAT ALL RUNOFF IS DIRECTED TO A SEDIMENTATION DEVICE BEFORE DISCHARGE TO SURFACE.
 - REMOVAL OF TRAPPED SILT AT SILT BARRIERS, SILT TRAPS, OR POINTS OF ACCUMULATION.
 - ADDITIONAL PROTECTIVE MEASURES DUE TO JOB SITE OR WEATHER CONDITIONS AS REQUIRED BY THE CITY OF CAMAS.
 - MONITORING OF VEHICLES LEAVING THE SITE TO MINIMIZE TRANSMISSION OF LOOSE SOILS TO THE PUBLIC ROADWAYS.
 - VERIFY THAT ALL PROPERTIES ADJACENT TO THE PROJECT SITE ARE PROTECTED FROM SEDIMENTATION DEPOSITION. THIS MAY BE ACCOMPLISHED BY INSTALLING PERIMETER CONTROLS SUCH AS SEDIMENTATION BARRIERS, FILTERS OR DIKES, SEDIMENTATION BASINS/TRAPS, OR BY A COMBINATION OF SUCH MEASURES.
14. CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. SLOPES SHALL BE STABILIZED IN ACCORDANCE WITH EROSION/SEDIMENT CONTROL NOTE 11. SLOPES FOUND TO BE ERODING EXCESSIVELY WITHIN TWO YEARS OF CONSTRUCTION MUST BE PROVIDED WITH ADDITIONAL SLOPE STABILIZING MEASURES. THESE MEASURES MAY CONSIST OF ROUGHENED SOIL SURFACES, INTERCEPTORS, DIVERSIONS OR TERRACES, TEMPORARY OR PERMANENT CHANNELS, ADDITIONAL VEGETATION, OR PIPE SLOPE DRAINS AS REQUIRED BY THE CITY OF CAMAS UNTIL THE PROBLEM IS CORRECTED.
15. THE ESC MEASURES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 24 HOURS FOLLOWING ANY STORM EVENT.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING UNDERGROUND UTILITIES AS SPECIFIED BELOW:
 - WHERE FEASIBLE, NO MORE THAN 500 FEET OF TRENCH SHALL BE OPEN AT ONE TIME.
 - WHERE CONSISTENT WITH SAFETY AND SPACE CONSIDERATIONS, EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
 - TRENCH DE-WATER DEVICES SHALL DISCHARGE INTO A SEDIMENT TRAP OR SEDIMENT POND.
17. PRIOR TO CONSTRUCTION, THE CITY OF CAMAS REQUIRES AN APPROVED FORM OF SECURITY IN THE AMOUNT OF 200% OF THE ENGINEER'S ESTIMATED COST OF THE ESC MEASURES, INCLUDING ASSOCIATED LABOR, AS SHOWN IN THE APPROVED ESC PLAN AND SWPPP.
18. SUGGESTED STANDARD SEED MIXTURE FOR THOSE AREAS WHERE A TEMPORARY VEGETATIVE COVER IS REQUIRED:

SEED VARIETY	% WEIGHT	% PURITY	% GERMINATION
CHEWINGS OR ANNUAL BLUE GRASS <small>(FESTUCA RUBRA VAR. COMMUTATA OR POA ANNA)</small>	40	98	90
PERENNIAL RYE <small>(LOLIUM PERENNE)</small>	50	98	90
REDFEET OR COLONIAL BENTGRASS <small>(AGROSTIS ALBA OR AGROSTIS TENUIS)</small>	8	92	85
WHITE DUTCH CLOVER <small>(TRIFOLIUM REPENS)</small>	5	98	80

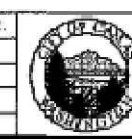
*APPLICATION RATE OF 120 LBS/ACRE AND COVERED WITH STRAW OR MULCH

19. SUGGESTED TURF SEED MIXTURE FOR DRY SITUATIONS WHERE THERE IS NO NEED FOR MUCH WATER:

SEED VARIETY	% WEIGHT	% PURITY	% GERMINATION
DWARF TALL FESCUE (SEVERAL VARIETIES) <small>(FESTUCA ARUNDINACEA VAR.)</small>	45	98	90
DWARF PERENNIAL RYE <small>(LOLIUM PERENNE VAR. BARCLAY)</small>	30	98	90
RED FESCUE <small>(FESTUCA RUBRA)</small>	20	98	90
COLONIAL BENTGRASS <small>(AGROSTIS TENUIS)</small>	5	98	90

*APPLICATION RATE OF 120 LBS/ACRE AND COVERED WITH STRAW OR MULCH

REV. NO.	DATE	BY	APPR.
1	9/18/07	SD	JC
2	1/1/11	SCD	JC



CITY OF CAMAS - EROSION CONTROL DETAIL
 EROSION/SEDIMENT CONTROL NOTES
 DETAIL APPROVED BY: [Signature] DATE: 1-4-11
 NOT TO SCALE

DETAIL NO. EC3

EC-NOTES.DWG

DATE PLOTTED: Nov. 14, 2022 - 3:39 PM



PHONE (509)602-2464

EROSION CONTROL DETAILS

WASHINGTON

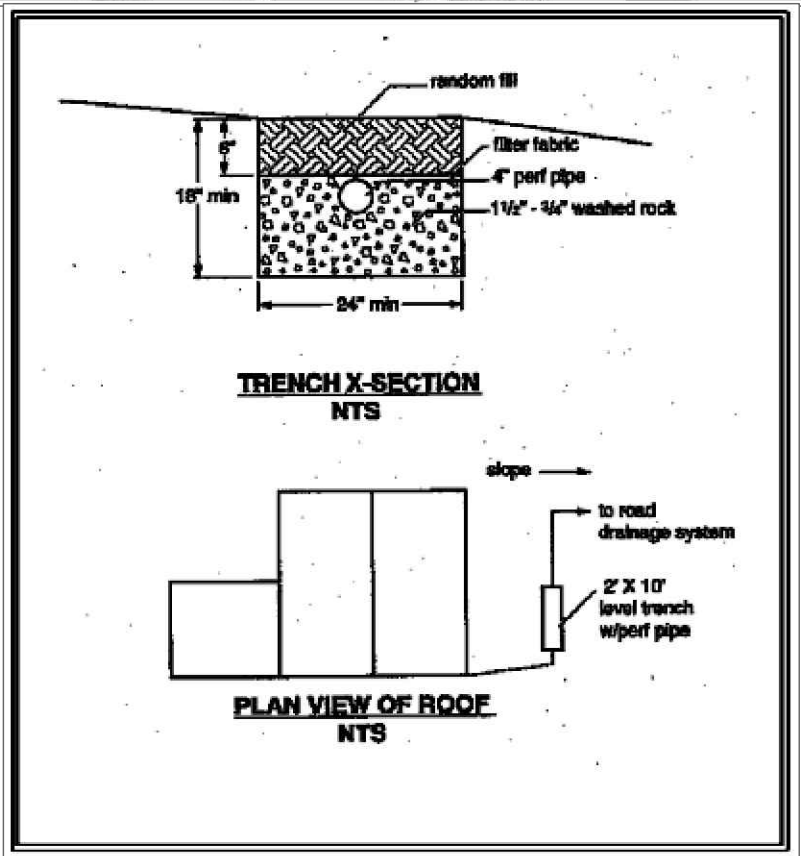
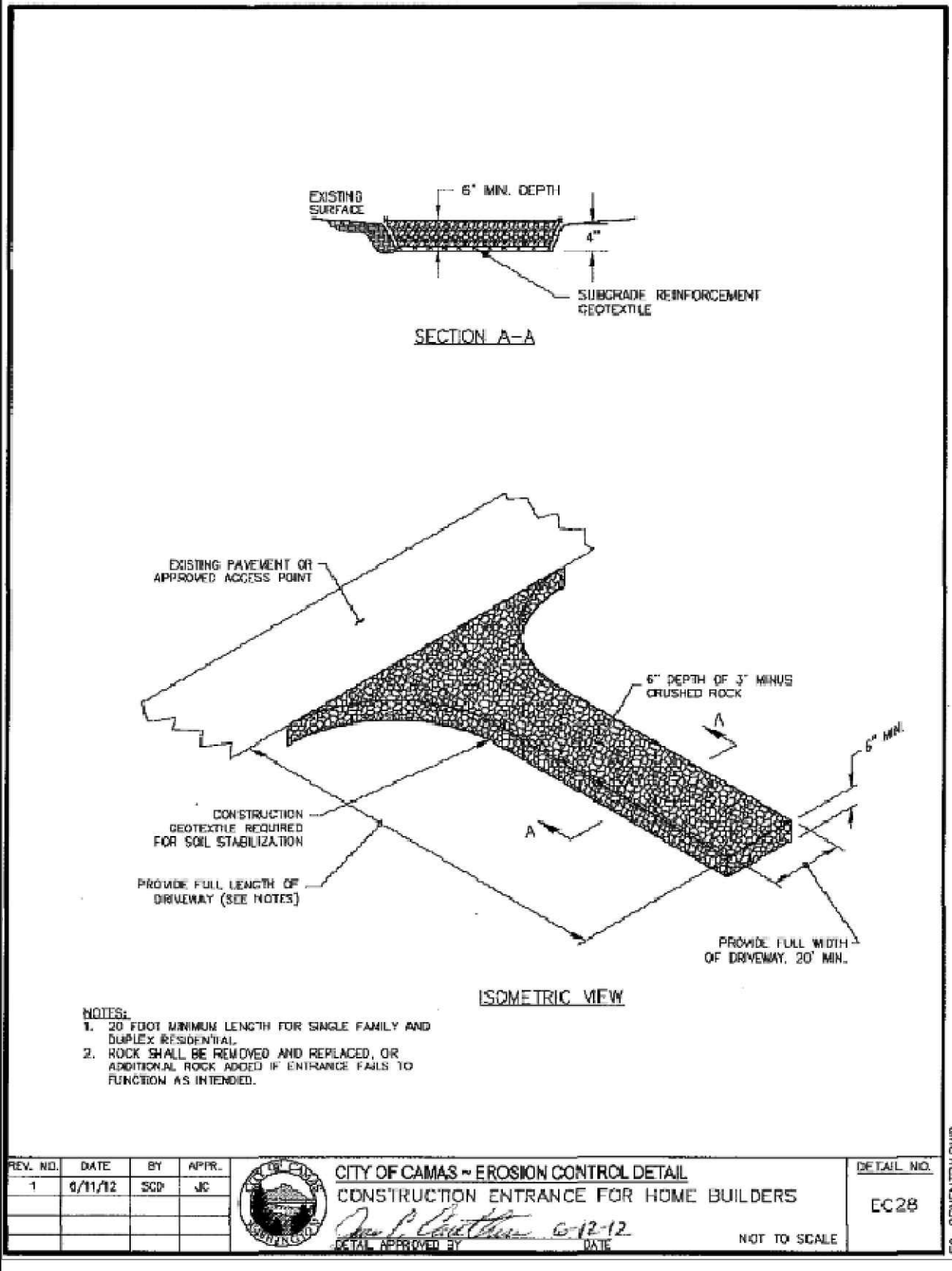
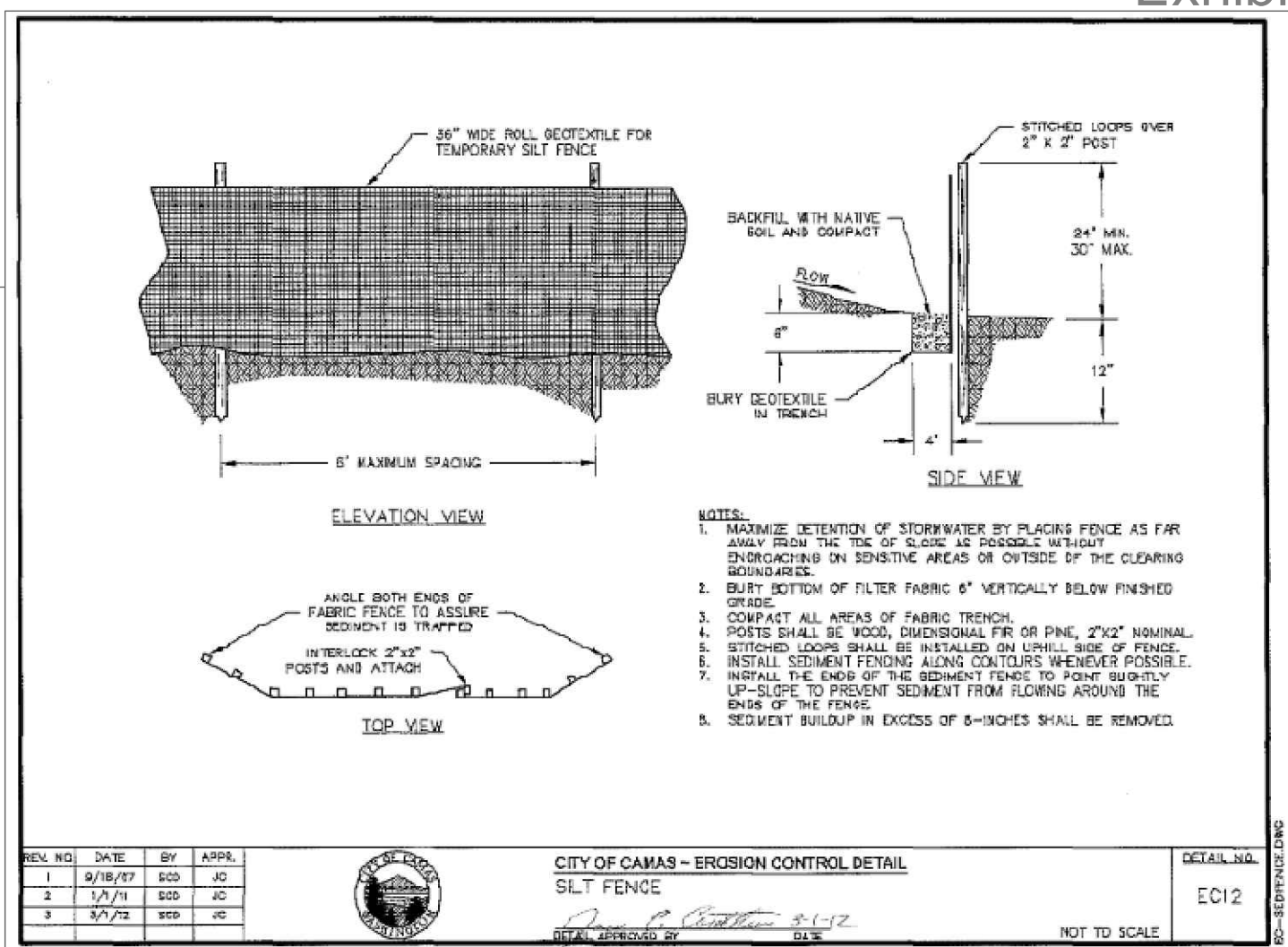
CAMAS

COUCH
DUPLX

REVISIONS

DESIGNED BY: JRW
 DRAWN BY: JRW
 CHECKED BY: JRW
 SCALE: N/A

JOB NUMBER 22-400 5 41

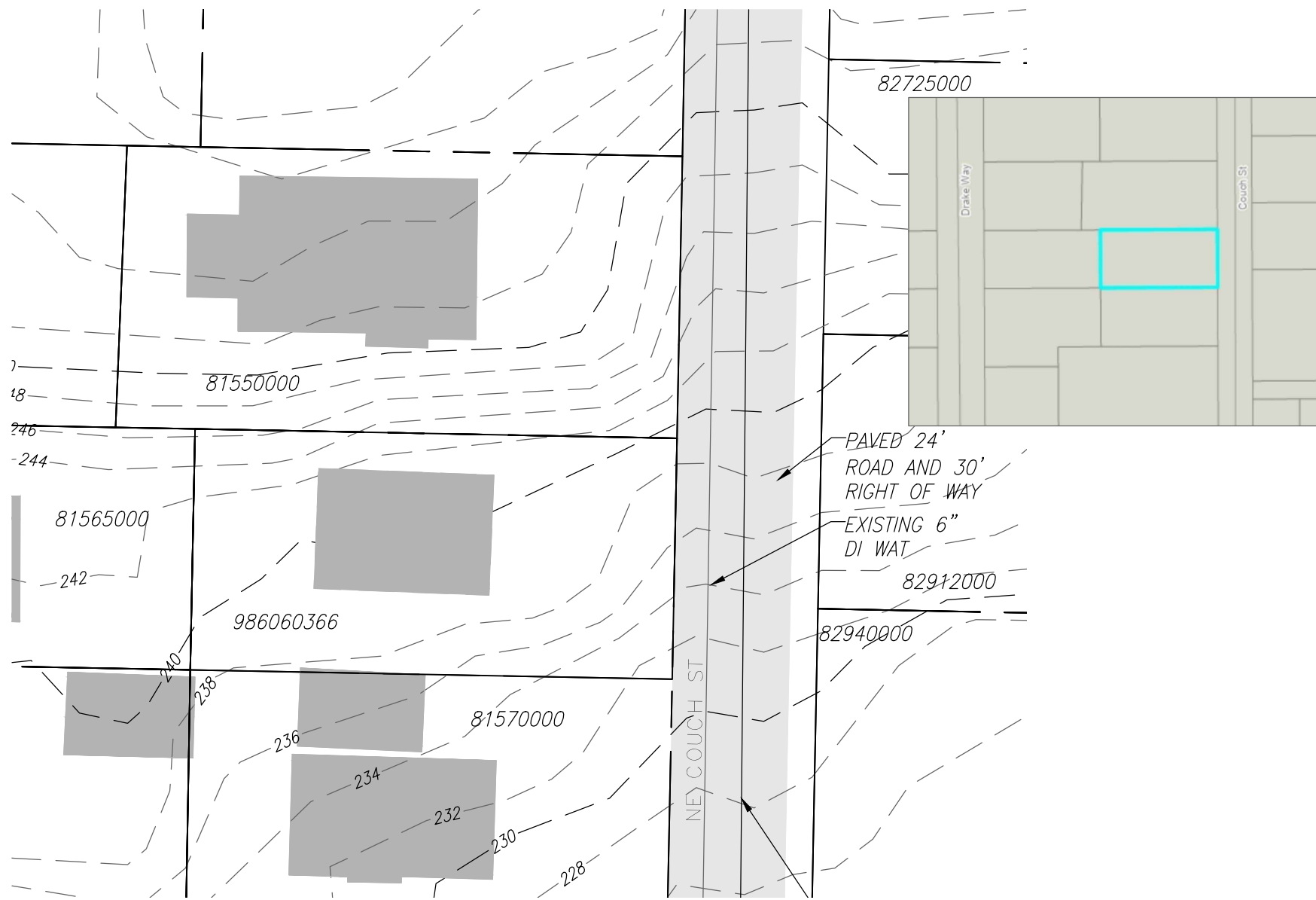
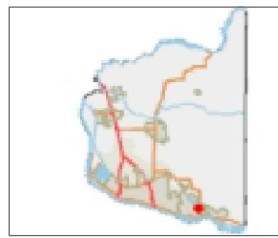


Source: King County
 Figure 3.1.8 - Perforated Stub-Out Connection

DATE PLOTTED: Nov. 14, 2022 - 3:39 PM

COUCH DUPLEX

CAMAS, WASHINGTON



GENERAL CONSTRUCTION NOTES:

- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE MOST RECENTLY ADOPTED EDITION OF THE W.S.D.O.T./APWA "STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION" AND STANDARD DETAIL SHEETS ATTACHED HEREWITH.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES, INCLUDING THE INVERT AND TOP ELEVATIONS AT CROSSING LOCATIONS, PRIOR TO THE START OF CONSTRUCTION AND TO NOTIFY THE CITY ENGINEER OF ANY POTENTIAL CONFLICTS.
- CONTRACTOR SHALL CALL CLARK COUNTY'S 24-HOUR UTILITY NOTIFICATION CENTER AT (360) 696-4848 OR (800) 553-4344 FOR UTILITIES LOCATE, A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- ALL EXISTING MONUMENTS, PROPERTY CORNERS AND SURVEY MARKERS SHALL BE PROTECTED. REPLACEMENT OF LOST, DESTROYED OR DAMAGED MARKERS SHALL BE DONE BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH R.C.W. 58.09 AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL NOT EXCAVATE OVER FOUR FEET IN DEPTH WITHOUT USING ADEQUATE SAFETY MEASURES. THE CONTRACTOR IS REFERRED TO TITLE 296 W.A.C., PART N FOR EXCAVATION, TRENCHING AND SHORING REQUIREMENTS.
- ALL UTILITIES SHALL HAVE A GRANULAR BACKFILL APPROVED BY THE CITY OF CAMAS. WATER SETTLEMENT OF UTILITY TRENCHES IS NOT ALLOWED. TRENCH LINES LOCATED WITHIN AN EXISTING ROADWAY SHALL BE PLATED OR TOPPED WITH COLD MIX. GRANULAR BACKFILL OVERNIGHT IS NOT ALLOWED. PLATES SHALL HAVE COLD MIX AROUND ALL EDGES.
- ALL EROSION/SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE EROSION/SEDIMENT CONTROL PLAN AND CITY OF CAMAS EROSION/SEDIMENT CONTROL DETAILS PRIOR TO ANY CLEARING OR THE START OF ANY CONSTRUCTION.
- IF THE CITY INSPECTOR OR ENGINEER(S) HAS EVIDENCE OF POOR CONSTRUCTION PRACTICES OR EROSION CONTROL TECHNIQUES, A "STOP WORK" ORDER SHALL BE ISSUED UNTIL PROPER MEASURES HAVE BEEN TAKEN AND APPROVED BY THE CITY ENGINEERING STAFF.
- THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY OF CAMAS PUBLIC WORKS DEPARTMENT. APPROVAL SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- THE DEVELOPER/CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE CITY OF CAMAS ENGINEERING DEPARTMENT PRIOR TO COMMENCING ANY WORK.
- ANY SIGNIFICANT DEVIATIONS FROM THE PLANS WILL REQUIRE A SUBMITTAL FROM THE APPLICANT'S ENGINEER AND APPROVAL FROM THE CITY OF CAMAS ENGINEERING DEPARTMENT.
- AN EROSION/SEDIMENT CONTROL BOND MAY BE REQUIRED BY THE CITY OF CAMAS PRIOR TO WORK COMMENCING.

REV. NO.	DATE	BY	APPR.	DETAIL NO.
1	5/1/07	SCD	JC	
2	12/1/08	SCD	JC	
3	1/1/11	SCD	JC	
4	10/21/14	SCD	JC	

CITY OF CAMAS - GENERAL DETAIL
NOTES
DETAIL APPROVED BY: _____ DATE: _____ NOT TO SCALE



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2/24/23

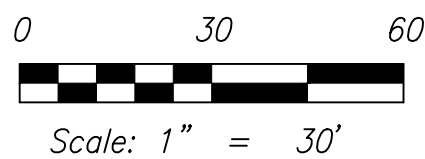
EXISTING CONDITIONS SHEET

WASHINGTON

CAMAS

COUCH DUPLEX

DATE PLOTTED: Feb. 24, 2023 - 6:47 PM



PLOT PLAN NOTE:
PLOT PLAN SHOWN IN THIS PLAN SET WAS PROVIDED BY OTHERS. TRUE NORTH PROVIDED THE STORMWATER REPORT AND PLAN SET.

PARCEL INFORMATION
986060366
UNADDRESSSED, NW COUCH ST.
CONTACT/ENGINEER
TRUE NORTH LLC
202 E. EVERGREEN BLVD SUITE B
VANCOUVER, WASHINGTON 98663
PHONE (503) 602-2464

PROPERTY OWNER
VEST CAPITAL
315 GRAND BLVD STE 200,
VANCOUVER WA 98661
775-412-1956
TANNER@VESTCAPITAL.COM



CITY OF CAMAS			
CITY ENGINEER _____		DATE _____	
REVISION NO.	SHEETS AFFECTED	INITIAL APPROVAL	DATE

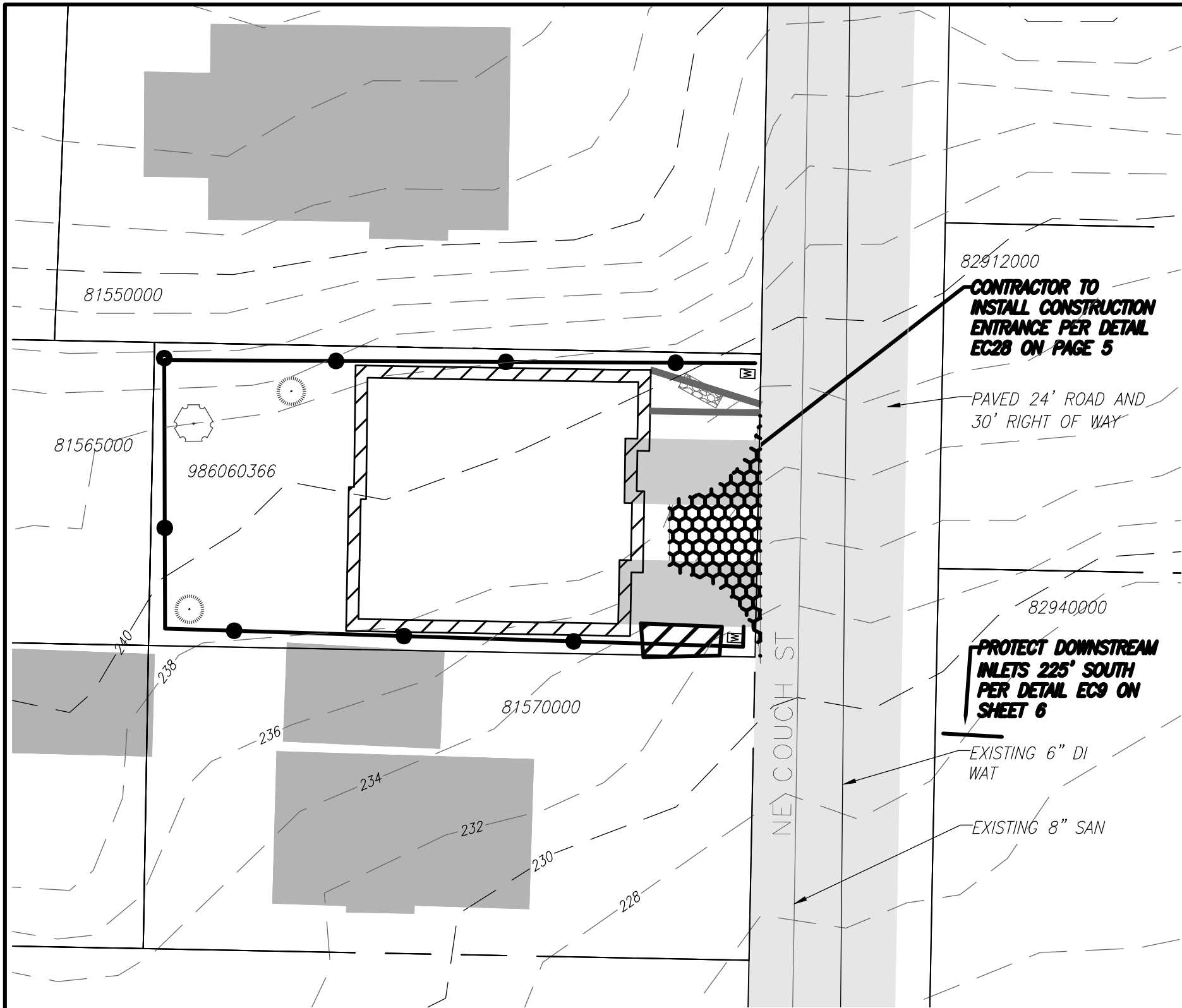
SHEET INDEX	
SHEET	DESCRIPTION
1.	EXISTING CONDITIONS SHEET
2.	GRADING PLAN
3.	DRAINAGE SHEET
4.	SANITARY AND WATER PLAN
5.	EROSION CONTROL NOTES
6.	EROSION CONTROL DETAILS
7.	CONSTRUCTION DETAILS
8.	CONSTRUCTION DETAILS 2
9.	PLANTING AND LANDSCAPING PLAN

REVISIONS	

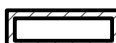

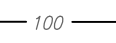
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JOB NUMBER 22-400 1 of 9 43

DATE PLOTTED: Feb. 24, 2023 - 6:47 PM



LEGEND

-  PROPOSED BUILDING
-  DISTURBED AREA
-  100 EXISTING MAJOR CONTOURS

TRUE NORTH
- GEOTECHNICAL -
PHONE (503) 802-2464

JASON R. WEEKS
STATE OF WASHINGTON
REGISTERED PROFESSIONAL ENGINEER
54967
2/24/23

GRADING PLAN SHEET

WASHINGTON

CAMAS



**COUCH
DUPLX**

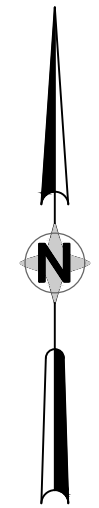
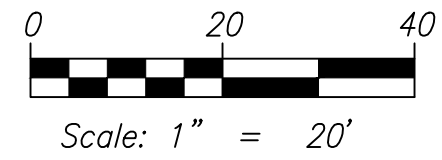
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SCALE: N/A

JOB NUMBER 2 **44**

PLANTING PLAN

-  PYRUS CALLERYANA CAPITAL (CAPITAL PEAR) or approved equal. 2" CAL AS SHOWN 1
-  THULA OCCIDENTALIS L. ARBORVITAE or approved equal. 6' TALL 3' O.C. 2





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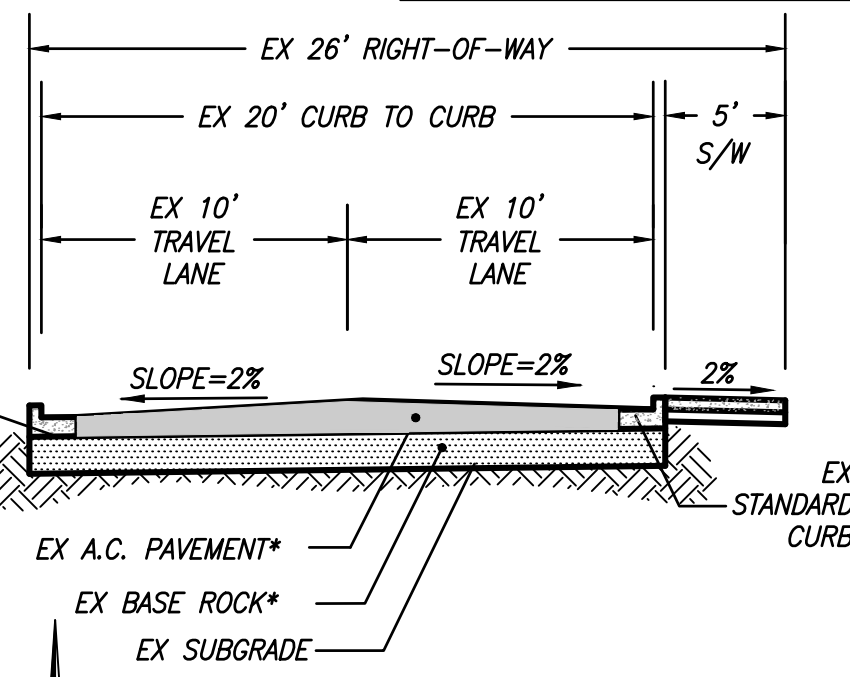
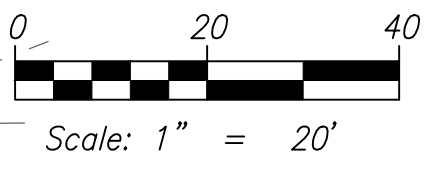
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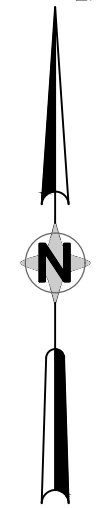
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LEGEND

- PROPOSED BUILDING
- DISTURBED AREA
- 100 EXISTING MAJOR CONTOURS
- FLOW ARROW
- PROPOSED DRIVEWAY
- EXISTING DRIVEWAY

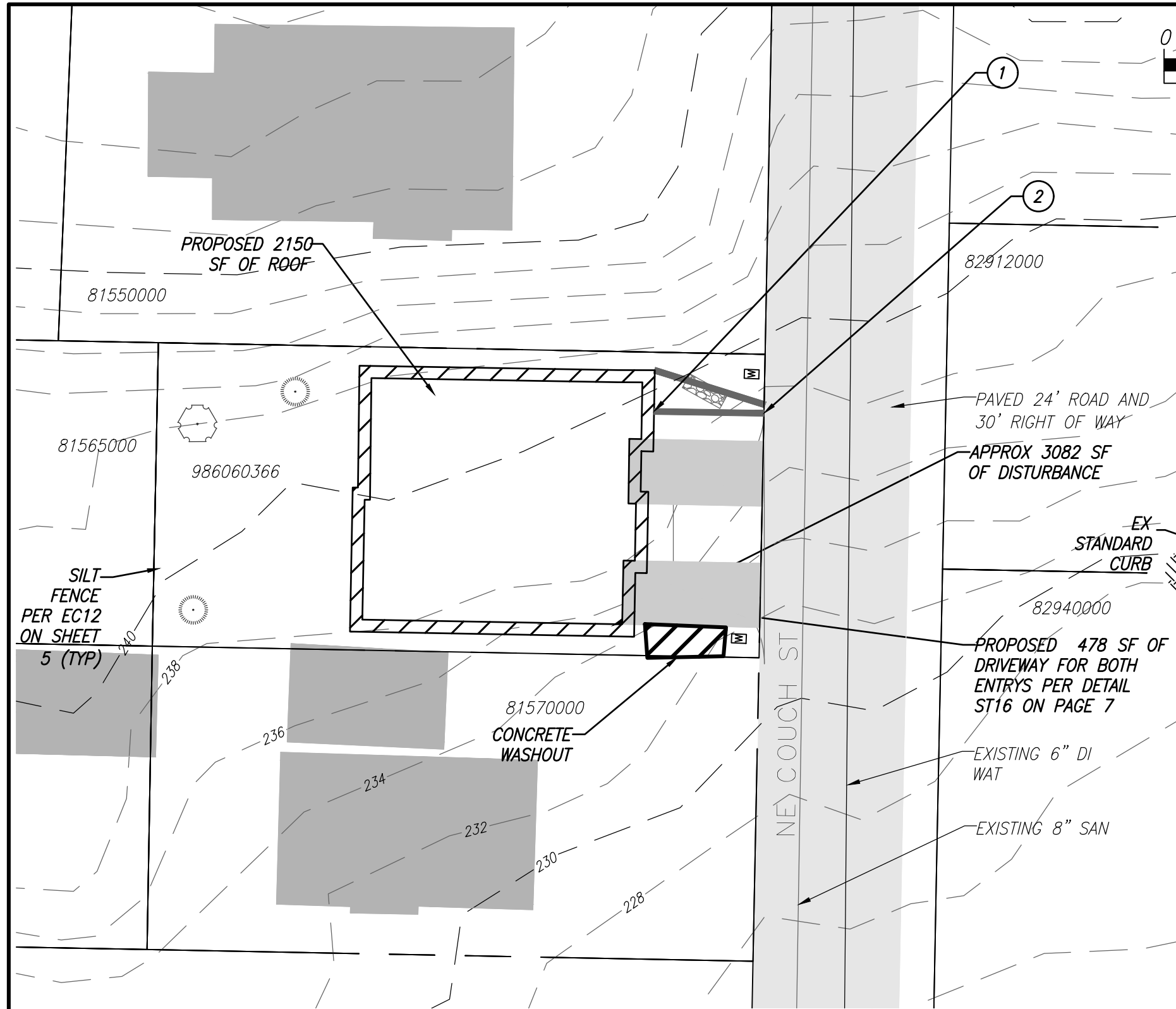


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NATIVE SOIL INFILTRATION RATES:
 TESTED INFILTRATION RATE = 0.40 IN/HR
 SAFETY FACTOR OF = 4
 DESIGNED INFILTRATION RATE = 0.1 IN/HR
 1' OF CLEARANCE TO GROUND WATER BELOW SYSTEM WAS VERIFIED.

EROSION NOTE:
 SIGNIFICANT VARIATION AND DEGREE OF EROSION CONTROL EFFORT WILL BE DICTATED BY WEATHER CONDITIONS. THE DEVELOPER AND CONTRACTOR SHOULD BE PREPARED TO PROVIDE EXTRA EROSION CONTROL PROVISIONS AND EFFORT DURING WINTER & WET WEATHER CONDITIONS BEYOND THAT NORMALLY REQUIRED DURING SUMMER AND DRY WEATHER CONDITIONS. FINE GRAINED AND UNCONSOLIDATED SOILS ON SLOPING SITES MAY BECOME UNSTABLE WHEN SUBJECT TO EXCESSIVE MOISTURE.



DISPERSION DESIGN NOTES

- ALL RUNOFF IS WITHIN THE SAME TDA AND HAS BEEN DIRECTED TOWARD THE EXISTING STORM FLOW PATHS
- ALL DISTURBED AREA IS TO BE PER BMP T5.13 POST-CONSTRUCTION SOIL QUANTITY AND DEPTH. CONTRACTOR TO MINIMIZE DISTURBED AREA AND PRESERVE NATIVE VEGETATION FLOW PATH AREAS AS MUCH AS POSSIBLE DURING CONSTRUCTION
- ALL ROOF LINES ARE TO BE 3" OR 4" ADS PIPE WITH MIN 2% SLOPE
- CONVEYANCE STORMPIPE IS TO BE 6" PVC PIPE WITH MIN 1% SLOPE
- ROOF STORMWATER TO BE DIRECTED TO PERFORATED STUBOUTS PER WWSM CH3.1.3
- SLOPE GROUND AT 2% MIN. FOR 5' AWAY FROM BUILDING FOUNDATIONS (ALL SIDES OF HOUSE)

DATE PLOTTED: Feb. 24, 2023 - 6:47 PM



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2/24/23

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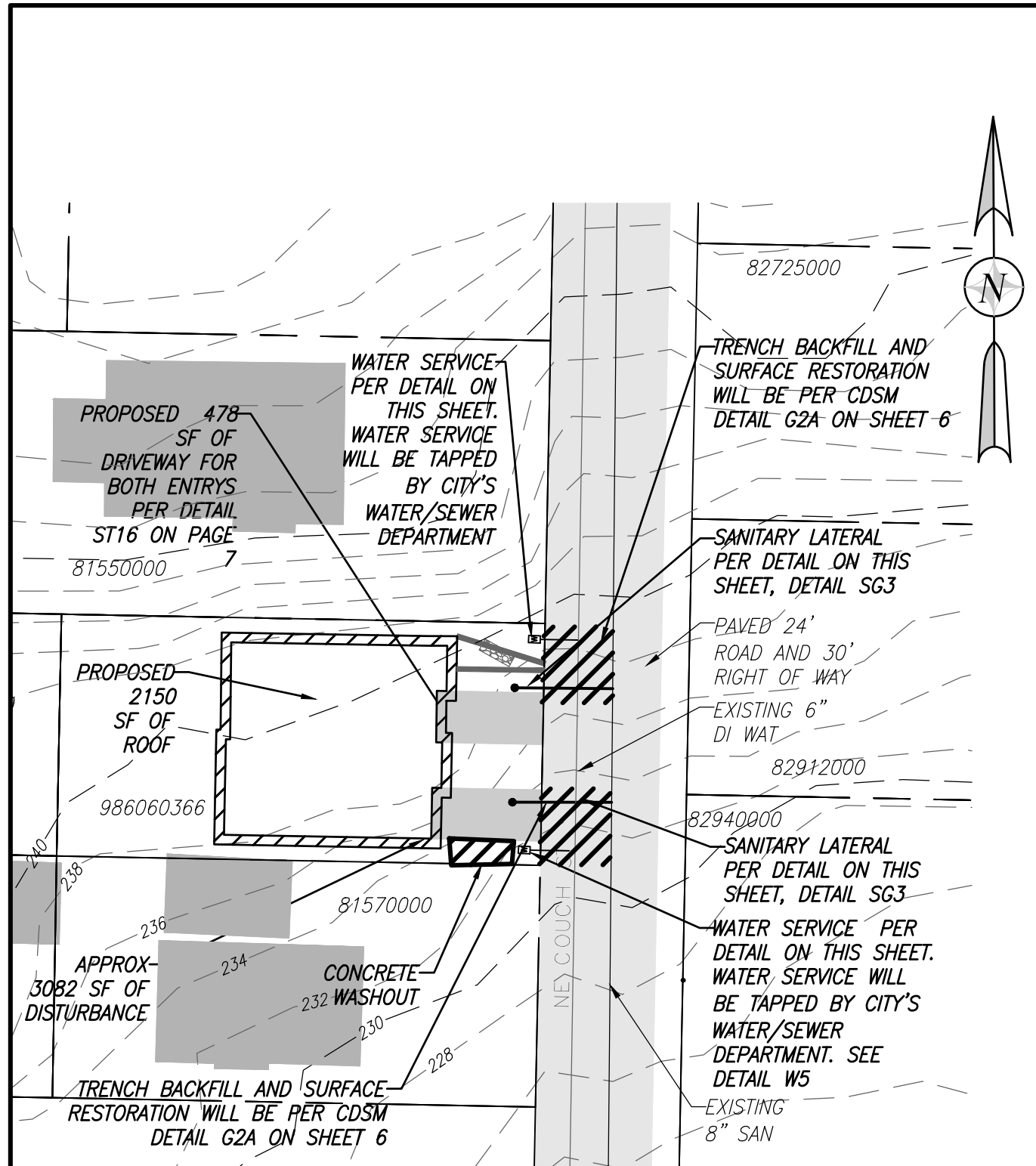
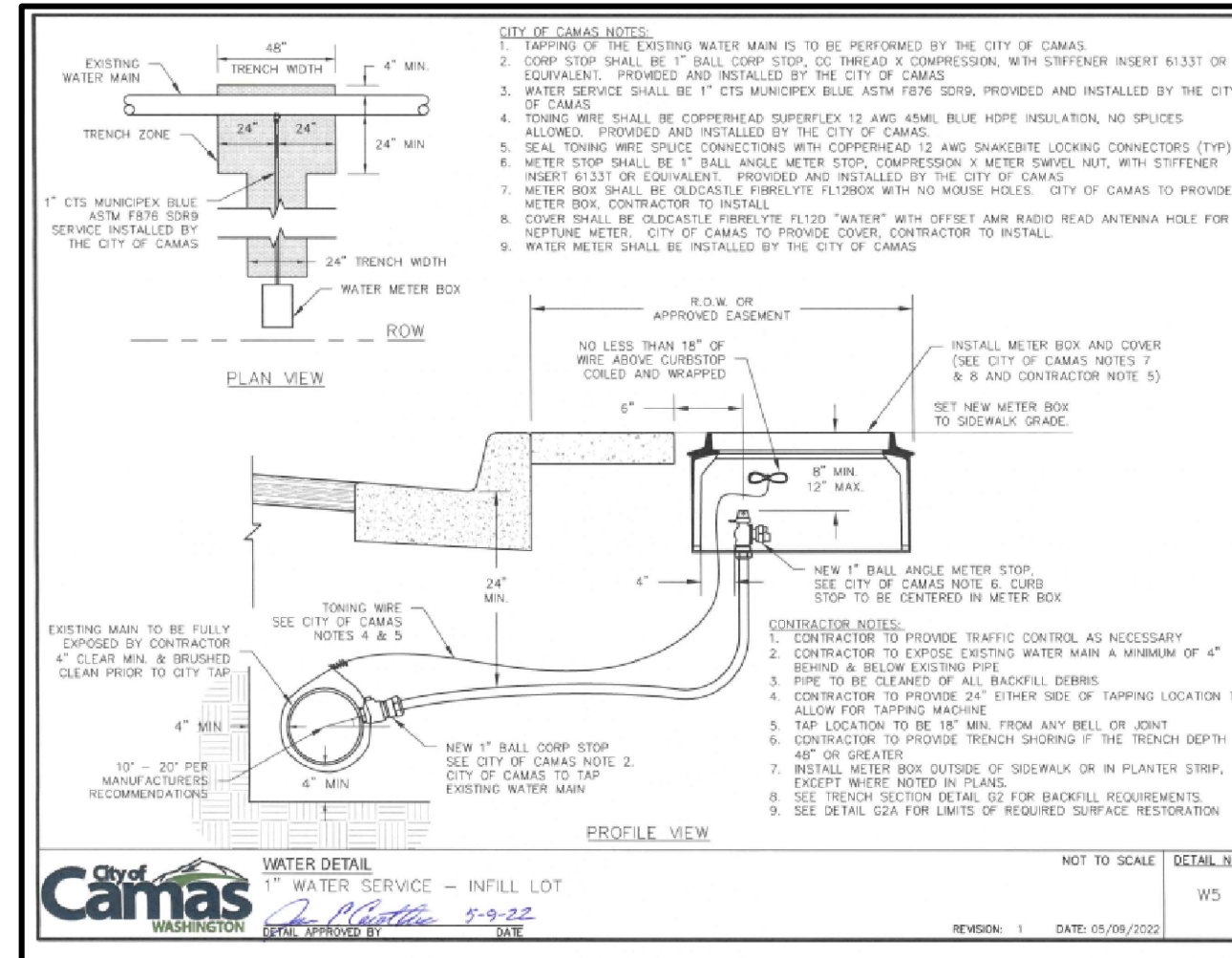
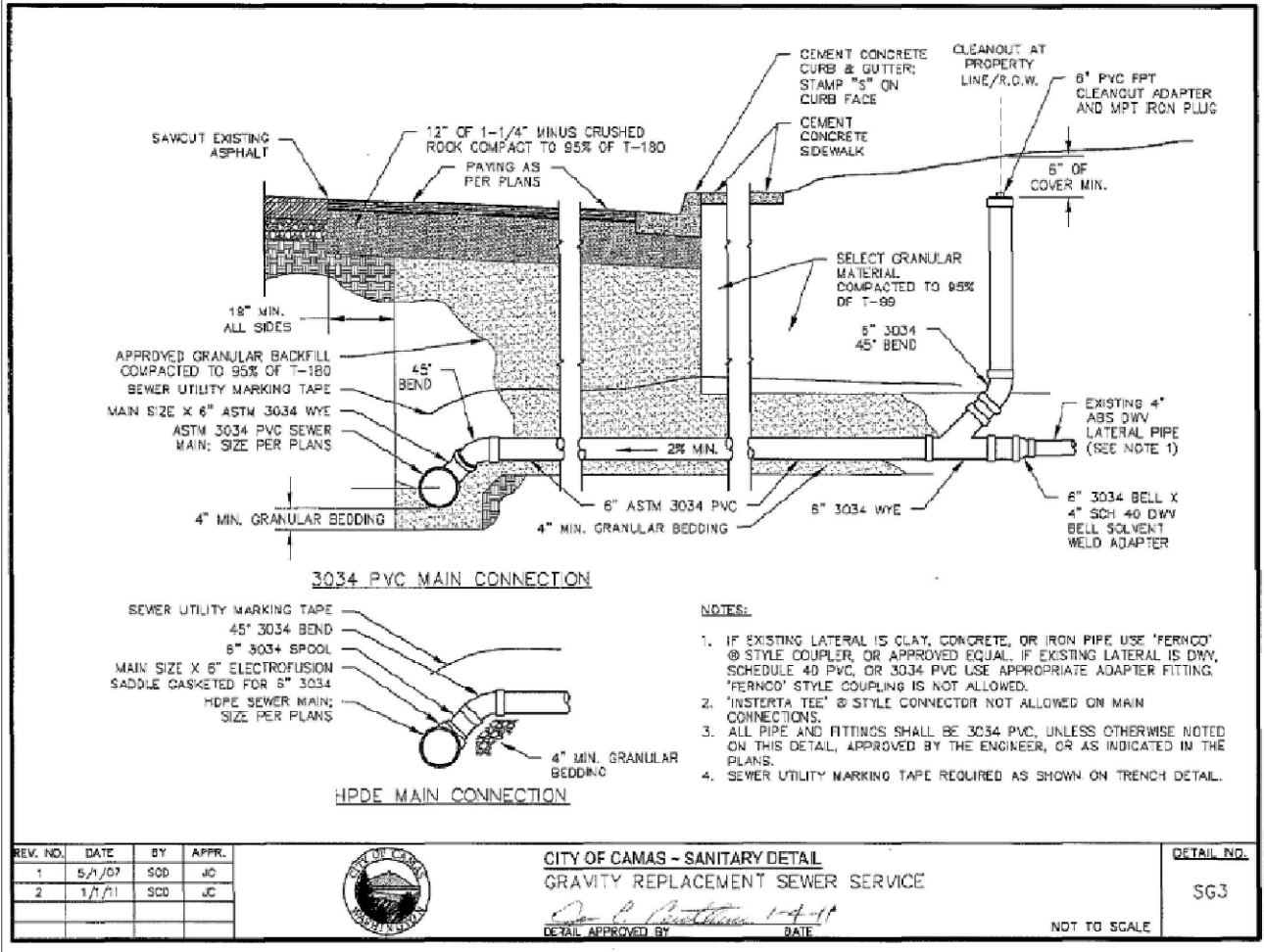
SANITARY AND WATER SHEET

CAMAS

REVISIONS

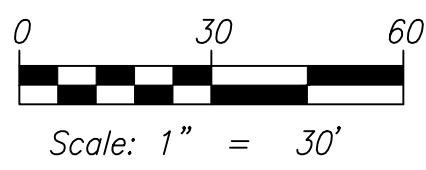
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LEGEND

- PROPOSED BUILDING
- DISTURBED AREA
- EXISTING MAJOR CONTOURS
- FLOW ARROW
- PROPOSED DRIVEWAY
- EXISTING DRIVEWAY



DATE PLOTTED: Feb. 24, 2023 - 6:47 PM



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EROSION CONTROL NOTES

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CAMAS

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 CHECKED BY: JRW
 SCALE: N/A

JOB NUMBER 22-400 5 47

EROSION/SEDIMENT CONTROL NOTES:

1. THE EROSION/SEDIMENT CONTROL (ESC) PLAN AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS TO BE UTILIZED AS A GUIDE TO CONTROL THE TRANSPORT OF LOOSE SOILS TO THE PROPERTY OUTSIDE OF THE CONSTRUCTION AREA AND AROUND THE CONSTRUCTION SITE. THE ESC MEASURES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DOES NOT LEAVE THE SITE.
2. THE IMPLEMENTATION OF THE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADE OF THE ESC MEASURES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND PERMANENT VEGETATION/LANDSCAPING IS ESTABLISHED.
3. IF THE CITY INSPECTOR OR ENGINEER(S) HAS EVIDENCE OF POOR CONSTRUCTION PRACTICES OR EROSION CONTROL TECHNIQUES, A "STOP WORK" ORDER SHALL BE ISSUED UNTIL PROPER MEASURES HAVE BEEN TAKEN AND APPROVED BY THE CITY ENGINEERING STAFF.
4. THE CONTRACTORS SHALL BE RESPONSIBLE TO FAMILIARIZE THEMSELVES WITH THE MOST RECENTLY ADOPTED EDITION OF THE STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON, VOL. II AND THE CITY OF CAMAS MUNICIPAL CODE 14.06 (2011).
5. ALL EROSION/SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND IN WORKING CONDITION PRIOR TO DISTURBING AND EXPOSING ANY SOIL SURFACES (I.E. CONSTRUCTION ENTRANCES, FILTER FABRIC SEDIMENT BARRIERS, AND SEDIMENTATION TRAPS) AND MAINTAINED FOR THE DURATION OF THE PROJECT. TRAPPED SEDIMENT IN EXCESS OF 1 FOOT SHALL BE REMOVED OR STABILIZED ON-SITE. DISTURBED SOIL AREAS RESULTING FROM VEGETATION REMOVAL SHALL BE PERMANENTLY STABILIZED. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
6. TO MINIMIZE EROSION AND SEDIMENTATION TRANSPORTATION, EARTHWORK SHALL NOT BE PERFORMED WHILE SOILS ARE IN AN UNSTABLE STATE DUE TO PRECIPITATION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO HAVE CLEARING LIMITS AND/OR ANY EASEMENTS, SENSITIVE OR CRITICAL AREAS, AND THEIR BUFFERS, TREES, AND DRAINAGE COURSES FLAGGED PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. FLAGGING LIMITS ARE TO BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
8. REMOVE ONLY THOSE TREES AND SHRUBS THAT NEED TO BE REMOVED FOR THE CONSTRUCTION OF ROADS, SIDEWALKS, UTILITIES, AND STORMWATER FACILITIES.
9. ALL EXISTING AND NEWLY CONSTRUCTED ROAD CATCH BASINS AND CURB INLETS AFFECTED BY CONSTRUCTION SHALL BE PROTECTED AGAINST SEDIMENT DEPOSITS. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
10. ALL POLLUTANTS THAT OCCUR ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER SYSTEM.
11. ALL DISTURBED SOIL SURFACES ARE TO BE STABILIZED BY A SUITABLE APPLICATION OF "BEST MANAGEMENT PRACTICES" (BMP'S). DURING THE PERIOD OF OCTOBER 1 THROUGH JULY 5 DISTURBED SOILS MAY REMAIN UNSTABILIZED FOR UP TO TWO DAYS WHEN NOT BEING WORKED. FROM JULY 5 THROUGH OCTOBER 1, DISTURBED SOILS MAY REMAIN UNSTABILIZED FOR UP TO 7 DAYS WHEN NOT BEING WORKED. STABILIZATION OF DISTURBED SOIL AREAS MAY CONSIST OF HYDROSEEDING, HAND-SEEDING AND MULCHING, PLACEMENT OF EROSION CONTROL BLANKETS OR PLASTIC. ALL SEEDED AREAS ARE TO BE FERTILIZED, WATERED, AND MAINTAINED TO ENSURE THAT THE GROWTH OF VEGETATION OCCURS AS SOON AS POSSIBLE.
12. ALL TEMPORARY SEDIMENT AND EROSION CONTROL BMP'S SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY BMP'S ARE NO LONGER NEEDED.

REV. NO.	DATE	BY	APPR.
1	9/18/07	SD	JC
2	1/1/11	SCD	JC



CITY OF CAMAS - EROSION CONTROL DETAIL
 EROSION/SEDIMENT CONTROL NOTES

DETAIL APPROVED BY: *[Signature]* DATE: 1-4-11

NOT TO SCALE

DETAIL NO.
 EC2

EC-NOTES.DWG

EROSION/SEDIMENT CONTROL NOTES (CONTINUED):

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR POLICING THE JOB SITE DAILY AND MAINTAINING THE EROSION/SEDIMENT CONTROL MEASURES THROUGHOUT ALL PHASES OF CONSTRUCTION. AN INSPECTION LOG SHALL BE KEPT AND MADE AVAILABLE TO THE CITY OF CAMAS. THE POLICING AND MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO:
 - VERIFYING THAT ALL AREAS ARE GRADED SUCH THAT ALL RUNOFF IS DIRECTED TO A SEDIMENTATION DEVICE BEFORE DISCHARGE TO SURFACE.
 - REMOVAL OF TRAPPED SILT AT SILT BARRIERS, SILT TRAPS, OR POINTS OF ACCUMULATION.
 - ADDITIONAL PROTECTIVE MEASURES DUE TO JOB SITE OR WEATHER CONDITIONS AS REQUIRED BY THE CITY OF CAMAS.
 - MONITORING OF VEHICLES LEAVING THE SITE TO MINIMIZE TRANSMISSION OF LOOSE SOILS TO THE PUBLIC ROADWAYS.
 - VERIFY THAT ALL PROPERTIES ADJACENT TO THE PROJECT SITE ARE PROTECTED FROM SEDIMENTATION DEPOSITION. THIS MAY BE ACCOMPLISHED BY INSTALLING PERIMETER CONTROLS SUCH AS SEDIMENTATION BARRIERS, FILTERS OR DIKES, SEDIMENTATION BASINS/TRAPS, OR BY A COMBINATION OF SUCH MEASURES.
14. CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. SLOPES SHALL BE STABILIZED IN ACCORDANCE WITH EROSION/SEDIMENT CONTROL NOTE 11. SLOPES FOUND TO BE ERODING EXCESSIVELY WITHIN TWO YEARS OF CONSTRUCTION MUST BE PROVIDED WITH ADDITIONAL SLOPE STABILIZING MEASURES. THESE MEASURES MAY CONSIST OF ROUGHENED SOIL SURFACES, INTERCEPTORS, DIVERSIONS OR TERRACES, TEMPORARY OR PERMANENT CHANNELS, ADDITIONAL VEGETATION, OR PIPE SLOPE DRAINS AS REQUIRED BY THE CITY OF CAMAS UNTIL THE PROBLEM IS CORRECTED.
15. THE ESC MEASURES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 24 HOURS FOLLOWING ANY STORM EVENT.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING UNDERGROUND UTILITIES AS SPECIFIED BELOW:
 - WHERE FEASIBLE, NO MORE THAN 500 FEET OF TRENCH SHALL BE OPEN AT ONE TIME.
 - WHERE CONSISTENT WITH SAFETY AND SPACE CONSIDERATIONS, EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
 - TRENCH DE-WATER DEVICES SHALL DISCHARGE INTO A SEDIMENT TRAP OR SEDIMENT POND.
17. PRIOR TO CONSTRUCTION, THE CITY OF CAMAS REQUIRES AN APPROVED FORM OF SECURITY IN THE AMOUNT OF 200% OF THE ENGINEER'S ESTIMATED COST OF THE ESC MEASURES, INCLUDING ASSOCIATED LABOR, AS SHOWN IN THE APPROVED ESC PLAN AND SWPPP.
18. SUGGESTED STANDARD SEED MIXTURE FOR THOSE AREAS WHERE A TEMPORARY VEGETATIVE COVER IS REQUIRED:

SEED VARIETY	% WEIGHT	% PURITY	% GERMINATION
CHEWINGS OR ANNUAL BLUE GRASS <small>(FESTUCA ARVENSIS VAR. COMMUTATA OR POA ANNUA)</small>	40	98	90
PERENNIAL RYE <small>(LOLIUM PERENNE)</small>	50	98	90
REDFOP OR COLONIAL BENTGRASS <small>(AGROSTIS ALBA OR AGROSTIS TENUIS)</small>	8	92	85
WHITE DUTCH CLOVER <small>(TRIFOLIUM REPENS)</small>	5	98	80

*APPLICATION RATE OF 120 LBS/ACRE AND COVERED WITH STRAW OR MULCH

19. SUGGESTED TURF SEED MIXTURE FOR DRY SITUATIONS WHERE THERE IS NO NEED FOR MUCH WATER:

SEED VARIETY	% WEIGHT	% PURITY	% GERMINATION
DWARF TALL FESCUE (SEVERAL VARIETIES) <small>(FESTUCA ARUNDINACEA VAR.)</small>	45	98	90
DWARF PERENNIAL RYE <small>(LOLIUM PERENNE VAR. BARCLAY)</small>	30	98	90
RED FESCUE <small>(FESTUCA RUBRA)</small>	20	98	90
COLONIAL BENTGRASS <small>(AGROSTIS TENUIS)</small>	5	98	90

*APPLICATION RATE OF 120 LBS/ACRE AND COVERED WITH STRAW OR MULCH

REV. NO.	DATE	BY	APPR.
1	9/18/07	SD	JC
2	1/1/11	SCD	JC



CITY OF CAMAS - EROSION CONTROL DETAIL
 EROSION/SEDIMENT CONTROL NOTES

DETAIL APPROVED BY: *[Signature]* DATE: 1-4-11

NOT TO SCALE

DETAIL NO.
 EC3

EC-NOTES.DWG

DATE PLOTTED: Feb. 24, 2023 - 6:47 PM



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EROSION CONTROL DETAILS

WASHINGTON

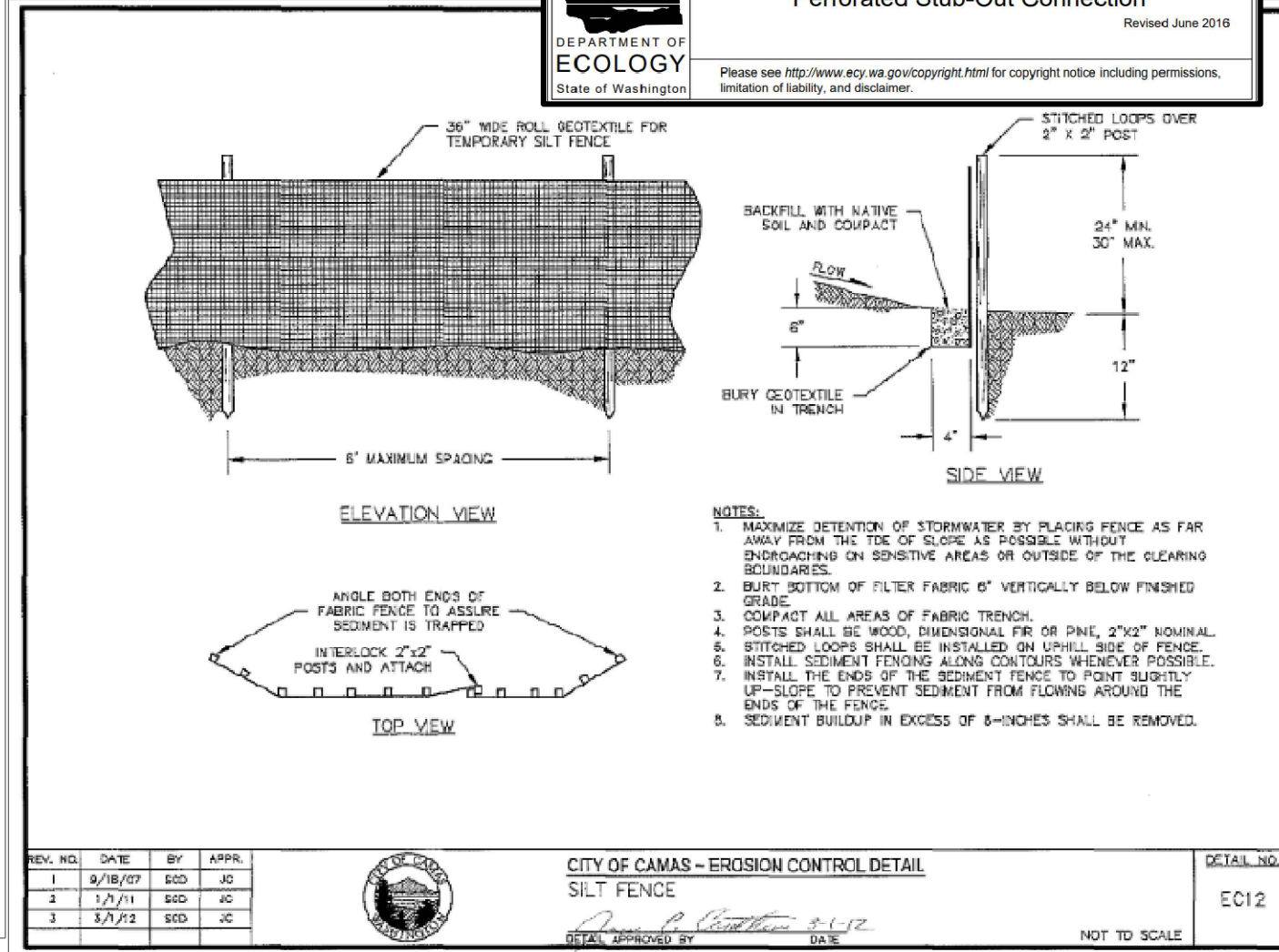
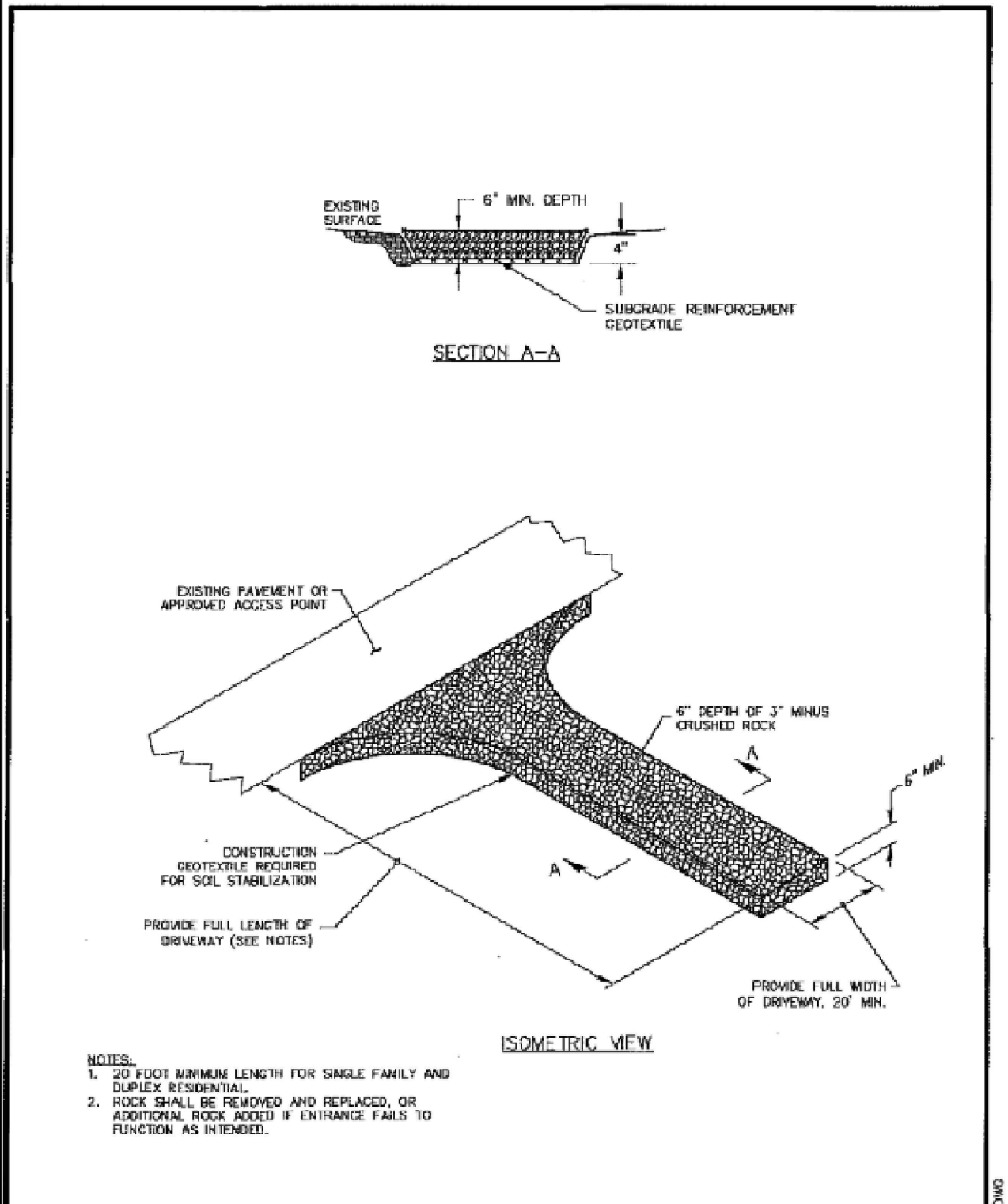
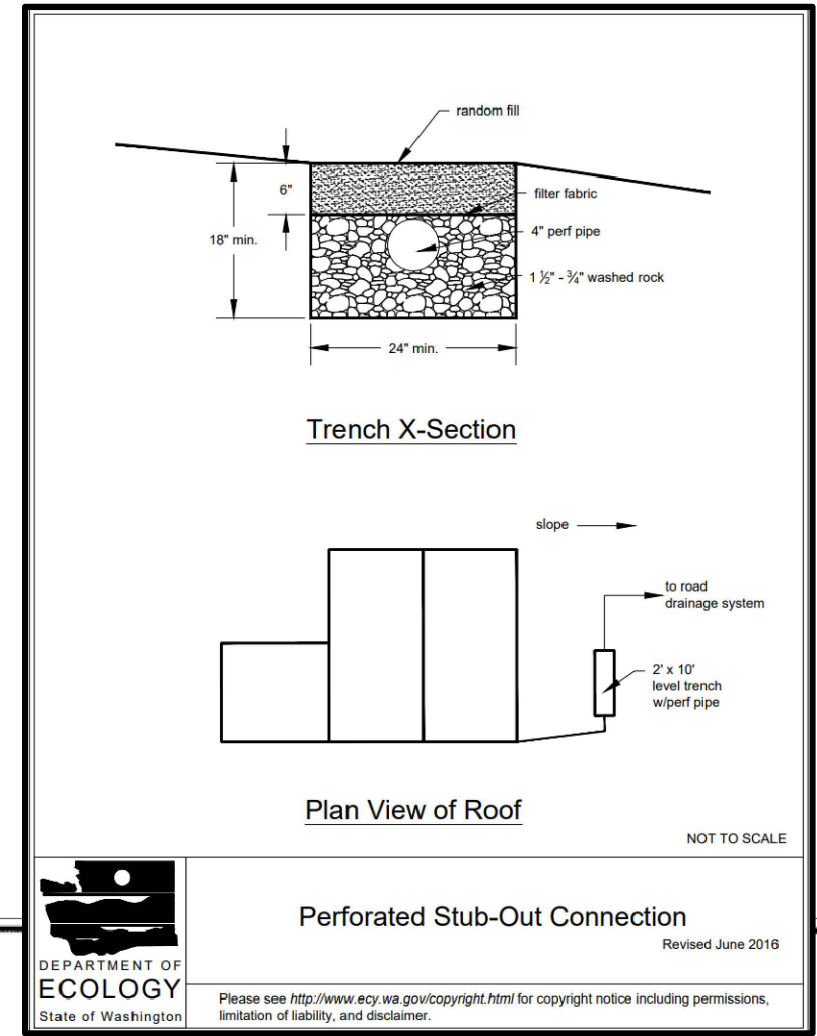
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COUCH
DUPLX

REVISIONS

DESIGNED BY: JRW
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 SCALE: N/A

JOB NUMBER 22-400 8 48
 6



REV. NO.	DATE	BY	APPR.	DETAIL NO.
1	6/11/12	SCD	JC	EC2B

CITY OF CAMAS - EROSION CONTROL DETAIL
 CONSTRUCTION ENTRANCE FOR HOME BUILDERS
 NOT TO SCALE

DATE APPROVED BY: *James P. Coathran* 6-12-12
 DATE

REV. NO.	DATE	BY	APPR.	DETAIL NO.
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2	1/1/11	SCD	JC	
3	3/1/12	SCD	JC	

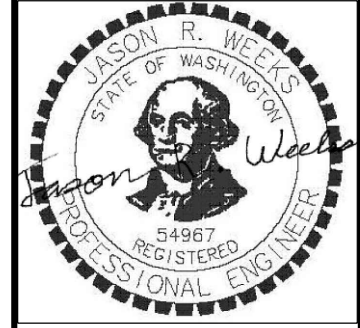
CITY OF CAMAS - EROSION CONTROL DETAIL
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DATE APPROVED BY: *James P. Coathran* 3-1-12
 DATE

DATE PLOTTED: Feb. 24, 2023 - 6:48 PM



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2/24/23

WASHINGTON

CAMAS

CONSTRUCTION DETAILS

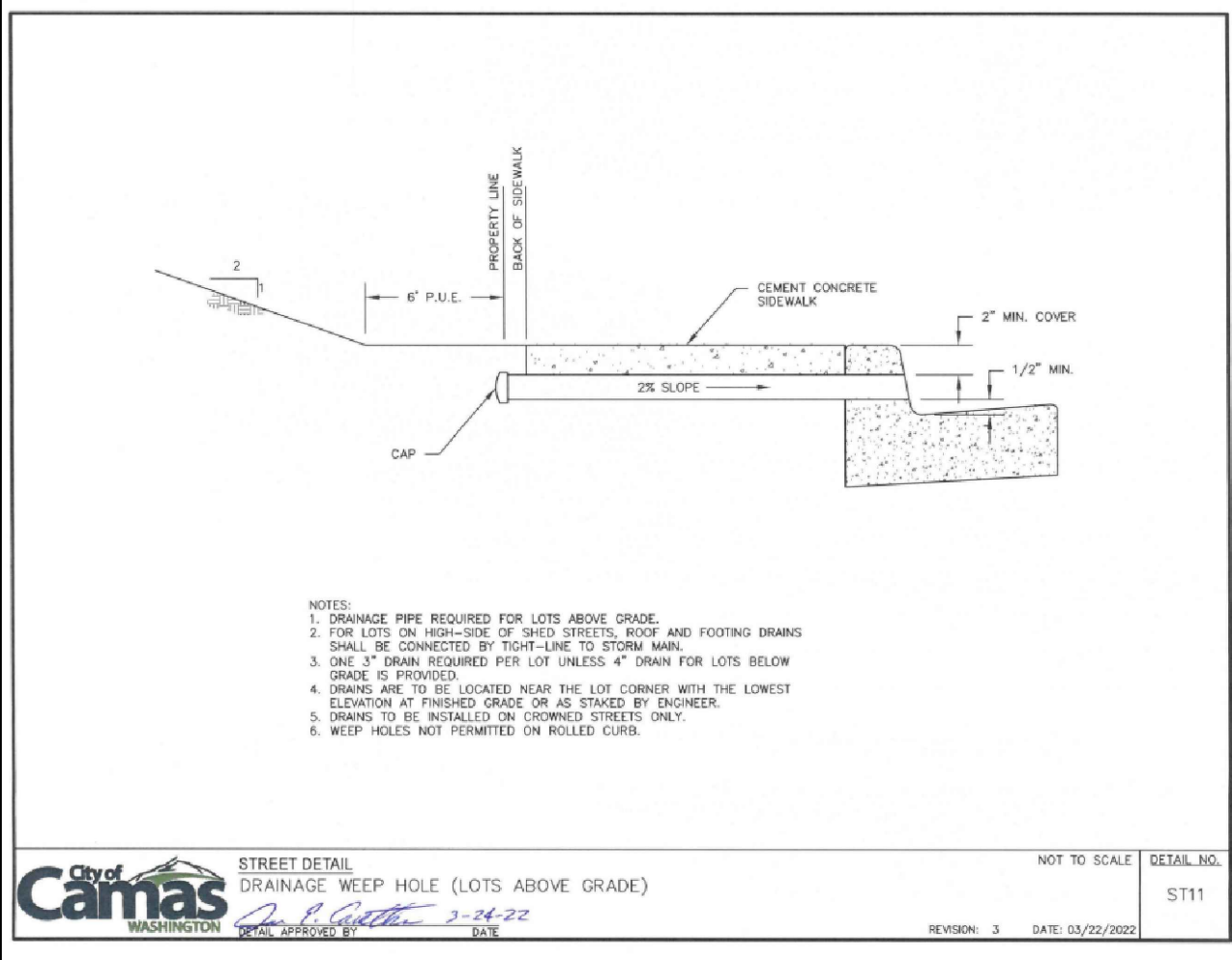
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REVISIONS

NO.	DATE	DESCRIPTION

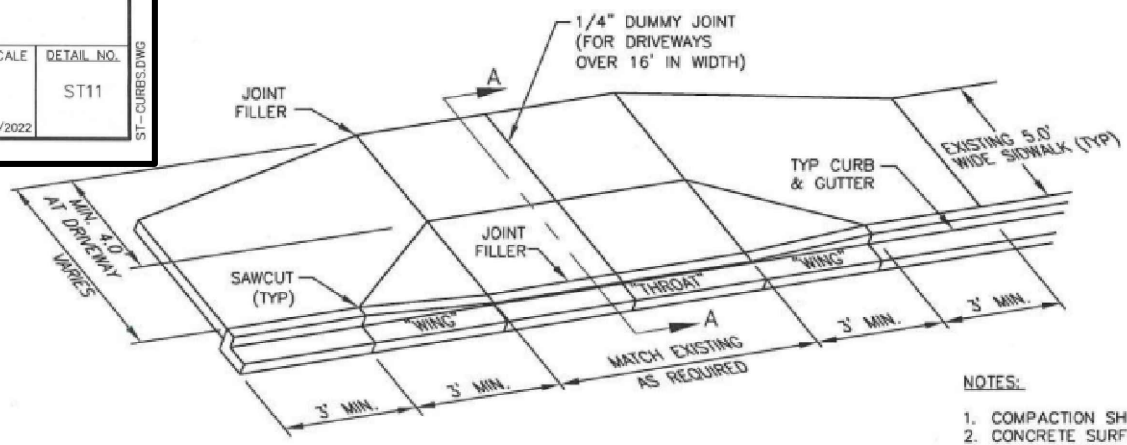
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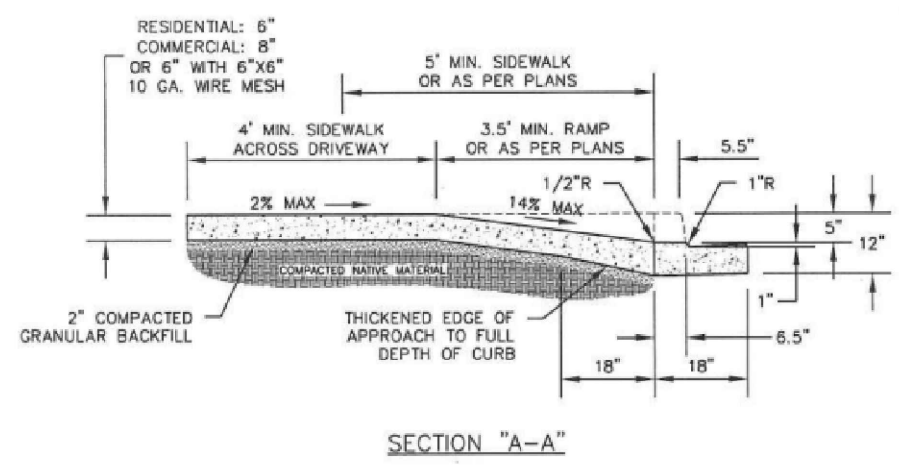


- NOTES:
1. DRAINAGE PIPE REQUIRED FOR LOTS ABOVE GRADE.
 2. FOR LOTS ON HIGH-SIDE OF SHED STREETS, ROOF AND FOOTING DRAINS SHALL BE CONNECTED BY TIGHT-LINE TO STORM MAIN.
 3. ONE 3" DRAIN REQUIRED PER LOT UNLESS 4" DRAIN FOR LOTS BELOW GRADE IS PROVIDED.
 4. DRAINS ARE TO BE LOCATED NEAR THE LOT CORNER WITH THE LOWEST ELEVATION AT FINISHED GRADE OR AS STAKED BY ENGINEER.
 5. DRAINS TO BE INSTALLED ON CROWNED STREETS ONLY.
 6. WEEP HOLES NOT PERMITTED ON ROLLED CURB.

City of Camas WASHINGTON
 STREET DETAIL
 DRAINAGE WEEP HOLE (LOTS ABOVE GRADE)
 DETAIL APPROVED BY: *[Signature]* 3-24-22 DATE
 NOT TO SCALE
 DETAIL NO. ST11
 REVISION: 3 DATE: 03/22/2022
 ST-CURBS.DWG



- NOTES:
1. COMPACTION SHALL BE 95% OF T-180.
 2. CONCRETE SURFACE SHALL BE TROWELED SMOOTH & HAIR BROOMED.
 3. PROVIDE A WEAKENED PLANE JOINT OF 2" MIN. DEPTH AND 1/8" MAX. WIDTH IN THE MIDDLE OF THE DRIVEWAY APPROACH AND GUTTER.
 4. ON MONOLITHIC CURB, GUTTER AND SIDEWALK INSTALL WEAKENED PLANE JOINTS AT EDGES OF DRIVEWAY.
 5. MAX. DRIVEWAY THROAT WIDTH = 20' FOR TWO-CAR GARAGE & 30' FOR THREE-CAR GARAGE; PROVIDING THAT DRIVEWAY THROAT WIDTH DOES NOT EXCEED 40% OF TOTAL LOT FRONTAGE. THE WIDTH FOR DRIVEWAYS ACCESSING A LIMITED ACCESS ROADWAY WILL BE DETERMINED BY THE CITY ENGINEER.
 6. CEMENT CONCRETE APPROACHES SHALL BE CONSTRUCTED OF AIR-ENTRAINED CONCRETE CLASS 3000 AND MAY BE POURED INTEGRAL WITH CURB. APPROACH THROAT AND WINGS SHALL BE 6" THICK AS SHOWN IN SECTION "A-A".
 7. DRIVEWAY DROPS SHALL NOT BE USED AS ADA CURB RAMPS. SEE CURB RAMP DETAILS.
 8. AT THE DISCRETION OF THE CITY ENGINEER, THIS DETAIL MAY BE USED WHERE PLANTER STRIP IS LESS THAN 4.5' WIDE WITH WINGS ALLOWED TO BE 3' TO 6' PROVIDED THAT SIDEWALK SLOPES ARE HELD.
 9. FOR DRIVEWAY ON ROLLED CURB, SEE DETAIL ST16, NOTE 7.



REV. NO.	DATE	BY	APPR.
1	10/19/07	SCD	JC
2	2/1/10	SCD	JC
3	1/1/11	SCD	JC

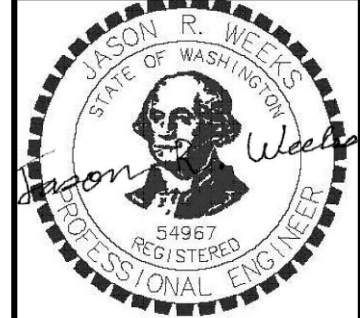


CITY OF CAMAS - STREET DETAIL
 RETRO-FIT DRIVEWAY/SIDEWALK WITHOUT PLANTER
 DETAIL APPROVED BY: *[Signature]* 1-4-11 DATE
 NOT TO SCALE
 DETAIL NO. ST16
 ST-DRIVEWAYS.DWG

DATE PLOTTED: Feb. 24, 2023 - 6:48 PM



PHONE (509) 802-2464



2/24/23

CONSTRUCTION DETAILS 2

COUCH
DUPLX

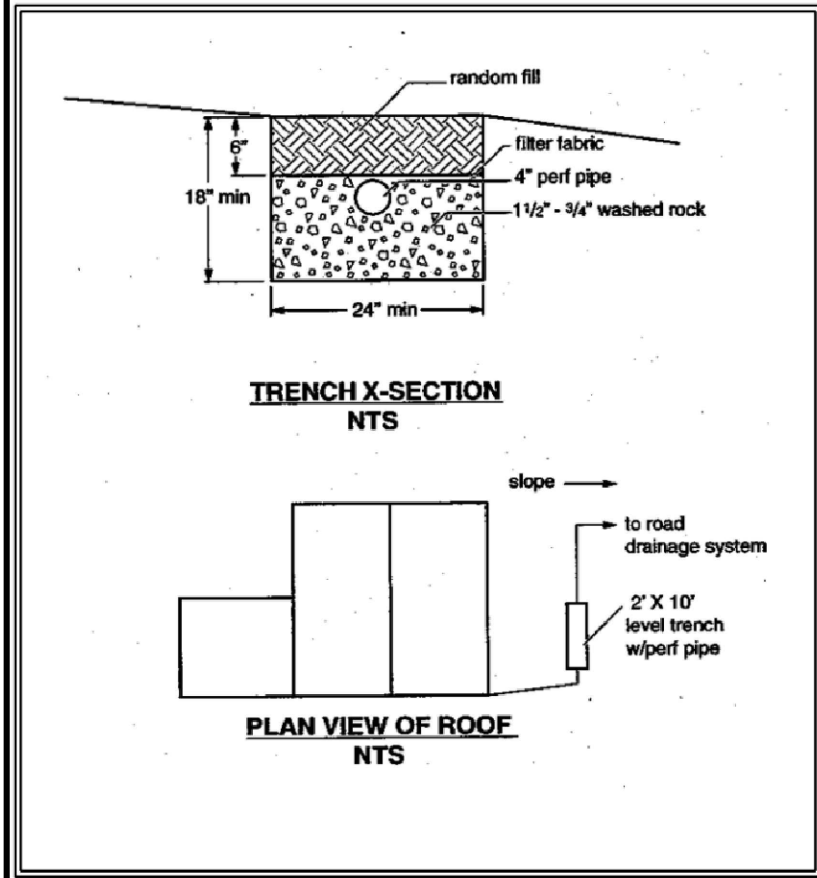
WASHINGTON

CAMAS

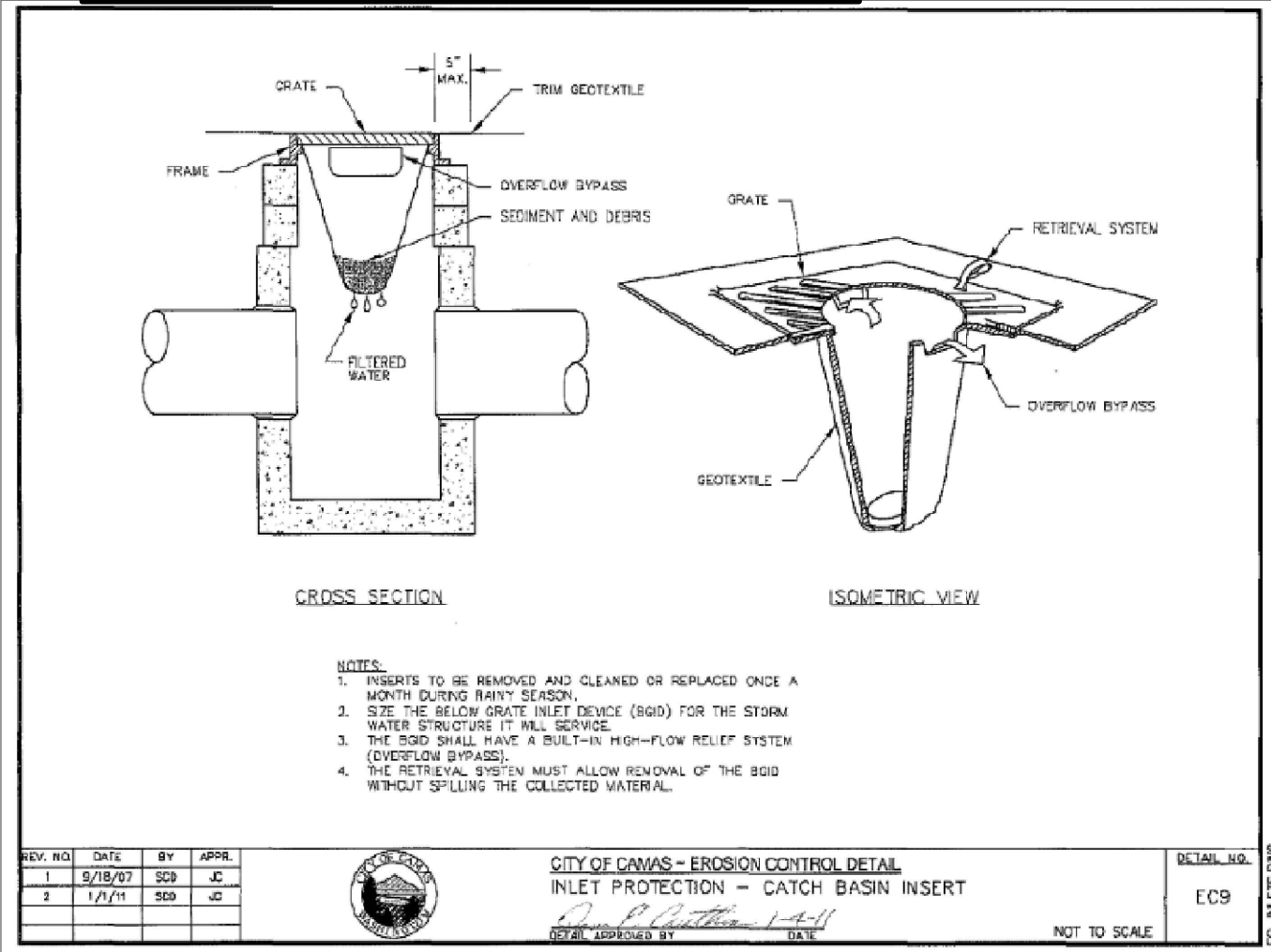
REVISIONS

DESIGNED BY: JRW
 DRAWN BY: JRW
 CHECKED BY: JRW
 SCALE: N/A

JOB NUMBER 22-400 8 50



Source: King County
 Figure 3.1.8 - Perforated Stub-Out Connection



- NOTES:
1. INSERTS TO BE REMOVED AND CLEANED OR REPLACED ONCE A MONTH DURING RAINY SEASON.
 2. SIZE THE BELOW GRATE INLET DEVICE (BGID) FOR THE STORM WATER STRUCTURE IT WILL SERVICE.
 3. THE BGID SHALL HAVE A BUILT-IN HIGH-FLOW RELIEF SYSTEM (OVERFLOW BYPASS).
 4. THE RETRIEVAL SYSTEM MUST ALLOW REMOVAL OF THE BGID WITHOUT SPILLING THE COLLECTED MATERIAL.

REV. NO.	DATE	BY	APPR.
1	9/18/07	SCB	JC
2	1/1/11	SCB	JC

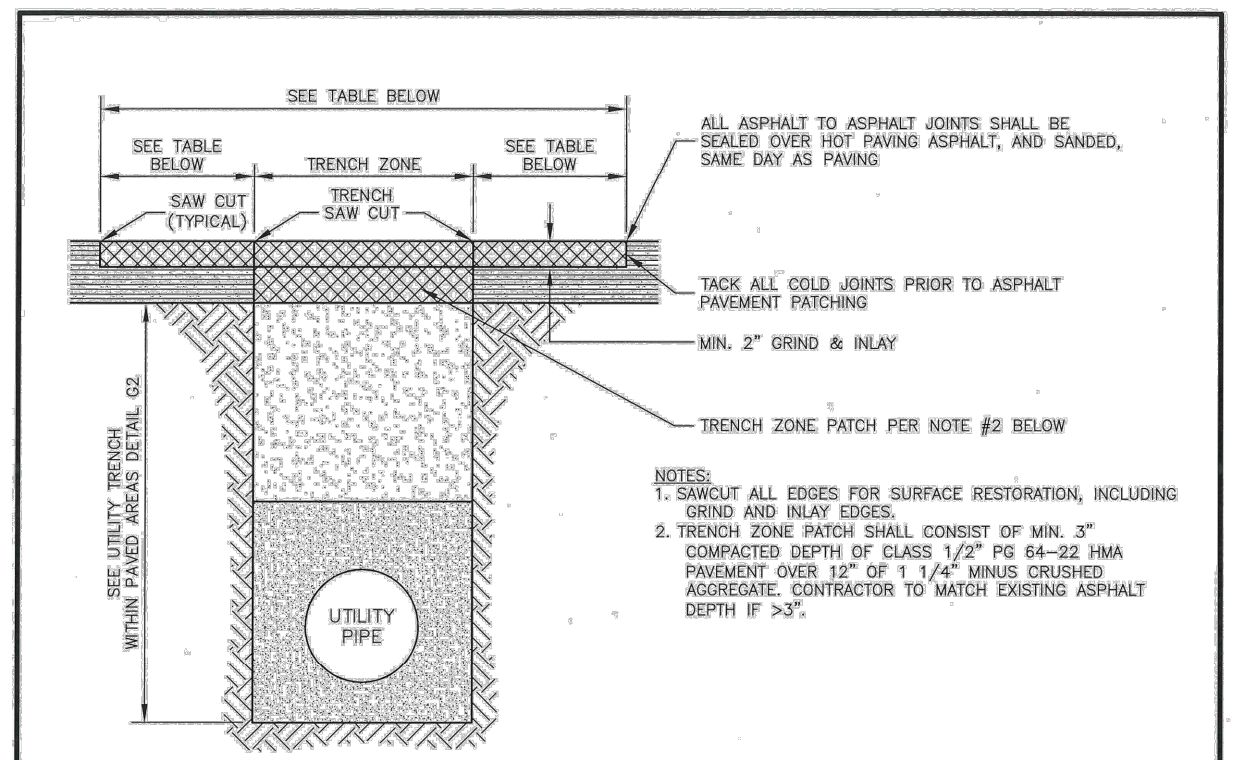


CITY OF CAMAS - EROSION CONTROL DETAIL
 INLET PROTECTION - CATCH BASIN INSERT

DETAIL APPROVED BY: [Signature] DATE: [Blank]

NOT TO SCALE

DETAIL NO. EC9



- NOTES:
1. SAWCUT ALL EDGES FOR SURFACE RESTORATION, INCLUDING GRIND AND INLAY EDGES.
 2. TRENCH ZONE PATCH SHALL CONSIST OF MIN. 3" COMPACTED DEPTH OF CLASS 1 1/2" PG 64-22 HMA PAVEMENT OVER 12" OF 1 1/4" MINUS CRUSHED AGGREGATE. CONTRACTOR TO MATCH EXISTING ASPHALT DEPTH IF >3".

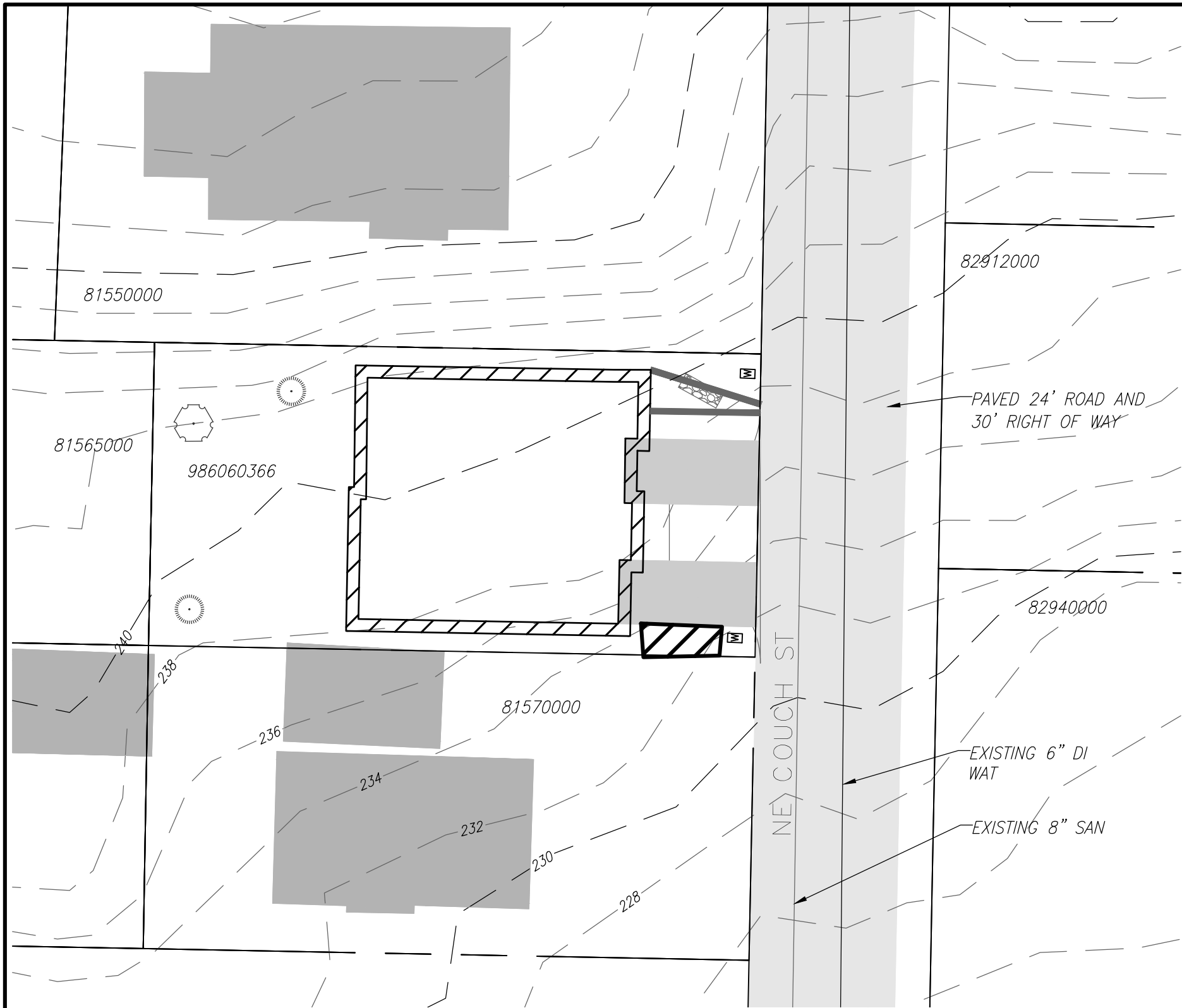
STREET CLASSIFICATION	TRANSVERSE TRENCH REQUIREMENTS	LONGITUDINAL TRENCH REQUIREMENTS
LOCAL INCLUDING CUL-DE-SACS & DEAD ENDS (A)	3" MINIMUM EACH SIDE OF TRENCH; 10 FT MINIMUM TOTAL (B)(C)	FULL LANE WIDTH GRIND & INLAY (B)
LOCAL THROUGH STREETS (A)	12 FT GRIND & INLAY EACH SIDE OF TRENCH (C)	FULL LANE WIDTH GRIND & INLAY
COLLECTOR	12 FT GRIND & INLAY EACH SIDE OF TRENCH	FULL LANE WIDTH GRIND & INLAY
ARTERIAL	12 FT GRIND & INLAY EACH SIDE OF TRENCH	FULL LANE WIDTH GRIND & INLAY

(NOTES)
 A. MINIMUM REQUIREMENTS FOR PUBLIC AND PRIVATE STREETS
 B. OPTIONAL FULL DEPTH PATCH, OR GRIND AND INLAY
 C. SURFACE RESTORATION LESS THAN MIN. SHOWN REQUIRES PRIOR APPROVAL

City of Camas WASHINGTON
 GENERAL DETAIL
 UTILITY TRENCH SURFACE RESTORATION
 NOT TO SCALE
 DETAIL NO. G2A
 REVISION: 1 DATE: 4/18/2019
 DETAIL APPROVED BY: [Signature] DATE: [Blank]

DATE PLOTTED: Feb. 24, 2023 - 6:48 PM

DATE PLOTTED: Feb. 24, 2023 - 6:48 PM



LEGEND

- PROPOSED BUILDING
- DISTURBED AREA
- 100 EXISTING MAJOR CONTOURS

TRUE NORTH
 GEOTECHNICAL
 PHONE (503) 802-2464

JASON R. WEEKS
 STATE OF WASHINGTON
 REGISTERED PROFESSIONAL ENGINEER
 54967
 2/24/23

PLANTING AND LANDSCAPING PLAN SHEET
 WASHINGTON
 CAMAS
**COUCH
 DUPLEX**

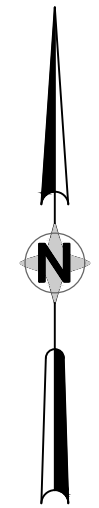
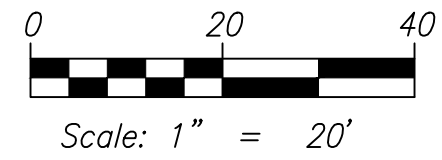
REVISIONS

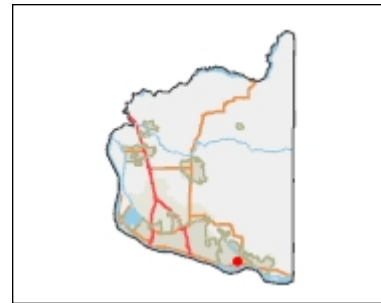
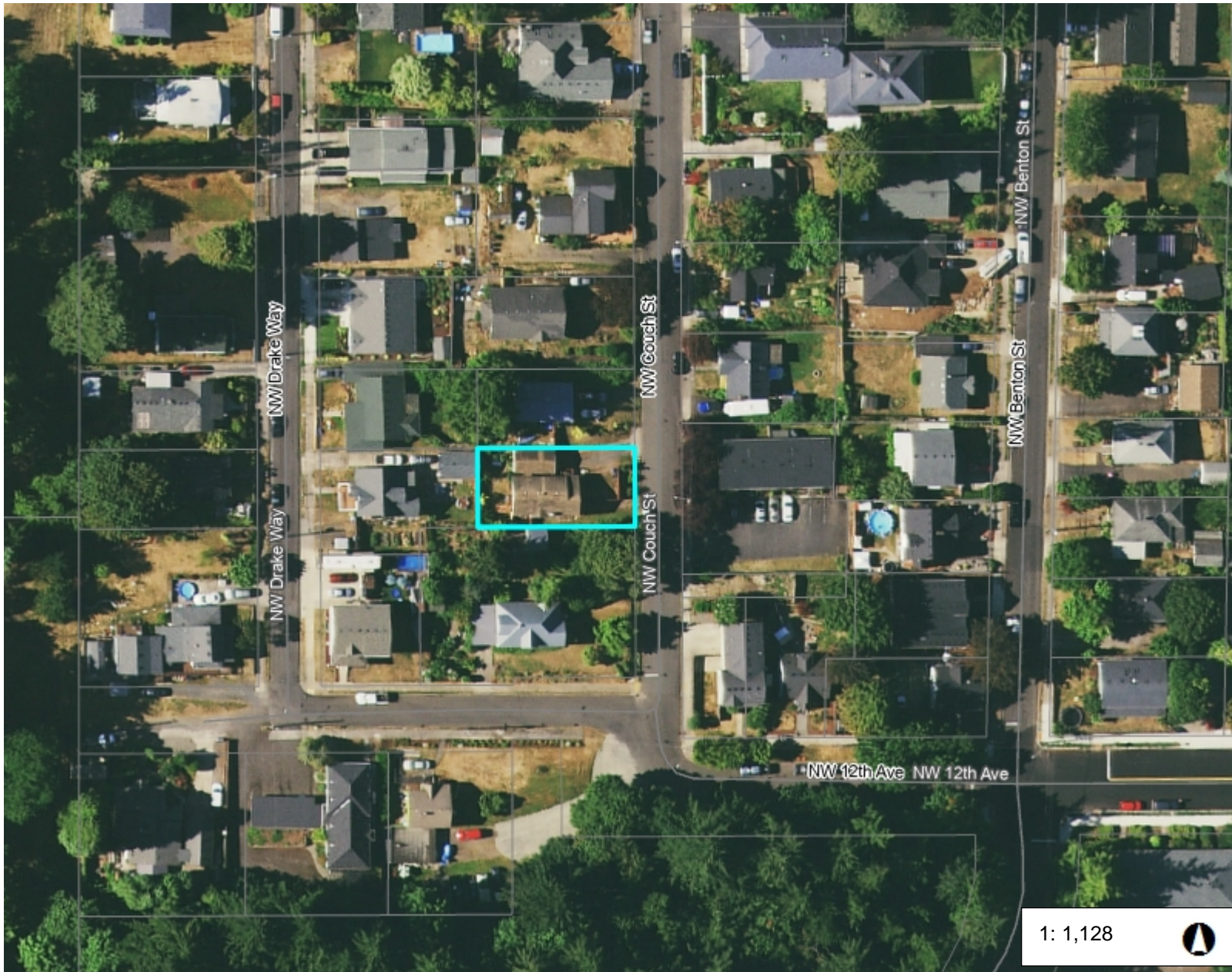
DESIGNED BY: JRW
 DRAWN BY: JRW
 CHECKED BY: JRW
 SCALE: N/A

JOB NUMBER 9 51

PLANTING PLAN

- PYRUS CALLERYANA CAPITAL (CAPITAL PEAR) or approved equal. 2" CAL AS SHOWN 1
- THULA OCCIDENTALIS L. ARBORVITAE or approved equal. 6' TALL 3' O.C. 2





Legend

- Taxlots

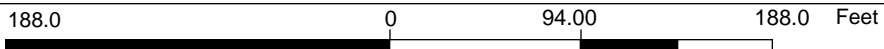
All Roads

- Interstate
- State Route
- Arterial
- Forest Arterial
- Minor Collector
- Forest Collector
- - - Private or Other

All Roads

- Interstate or State Route
- Arterial
- Collector
- Private or Other

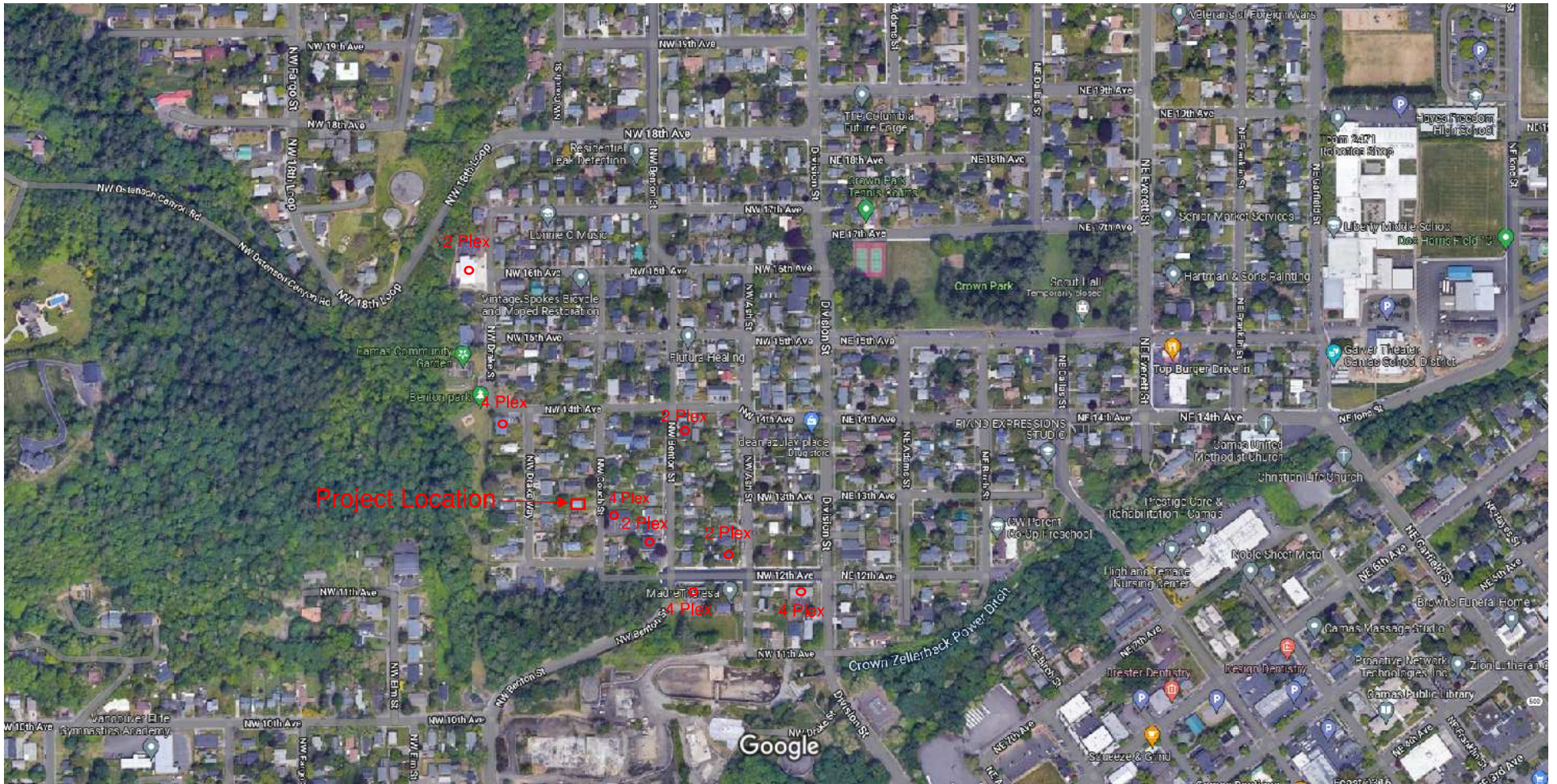
Notes:



WGS_1984_Web_Mercator_Auxiliary_Sphere
 Clark County, WA. GIS - <http://gis.clark.wa.gov>

This map was generated by Clark County's "MapsOnline" website. Clark County does not warrant the accuracy, reliability or timeliness of any information on this map, and shall not be held liable for losses caused by using this information. Taxlot (i.e., parcel) boundaries cannot be used to determine the location of property lines on the ground.

Project Location and Neighborhood Plexes



Imagery ©2022 Maxar Technologies, Metro, Portland Oregon, State of Oregon, U.S. Geological Survey, USDA/FPAC/GEO, Map data ©2022 200 ft

◦ Neighborhood Plexes

Project Recently Completed



Project Under Construction





Google





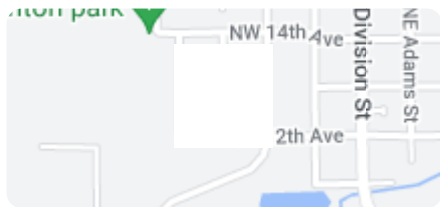


Google Maps 1215 NW Couch St



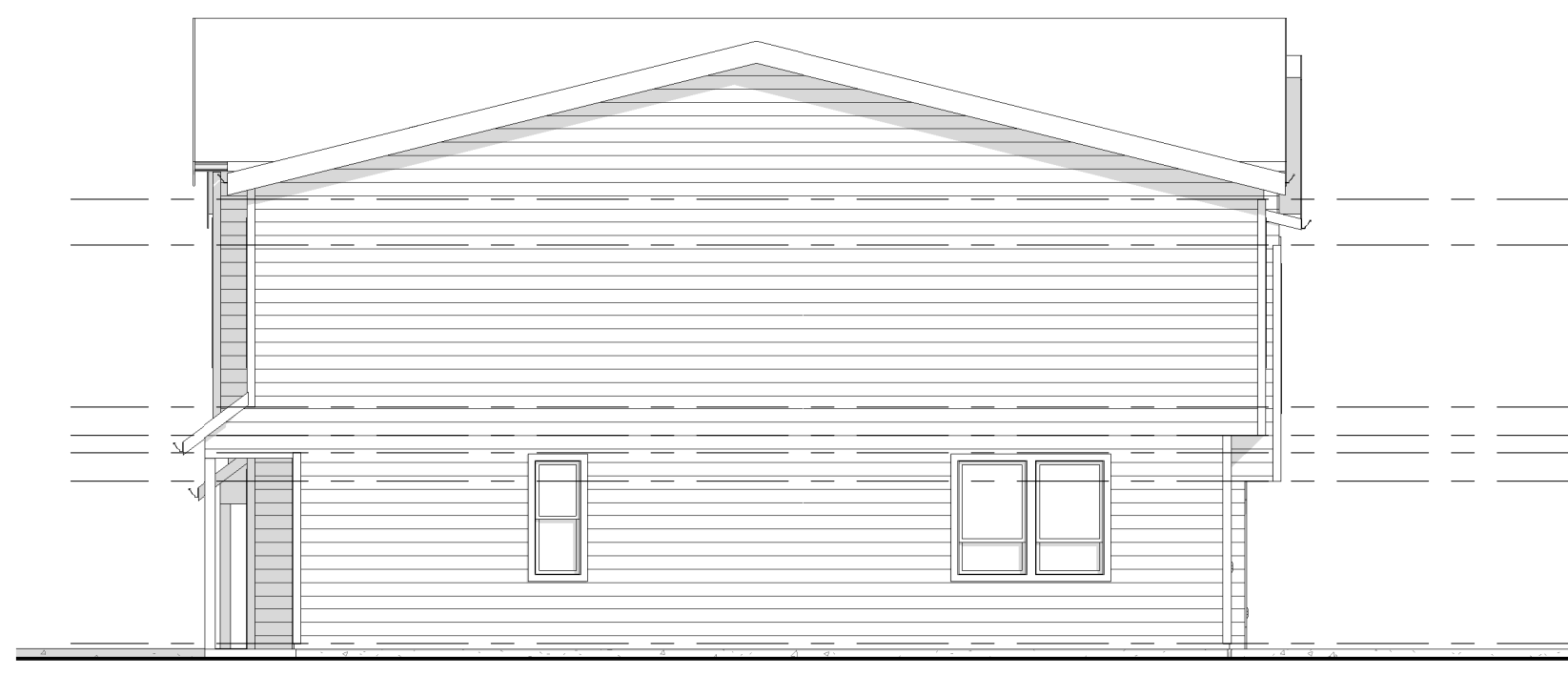
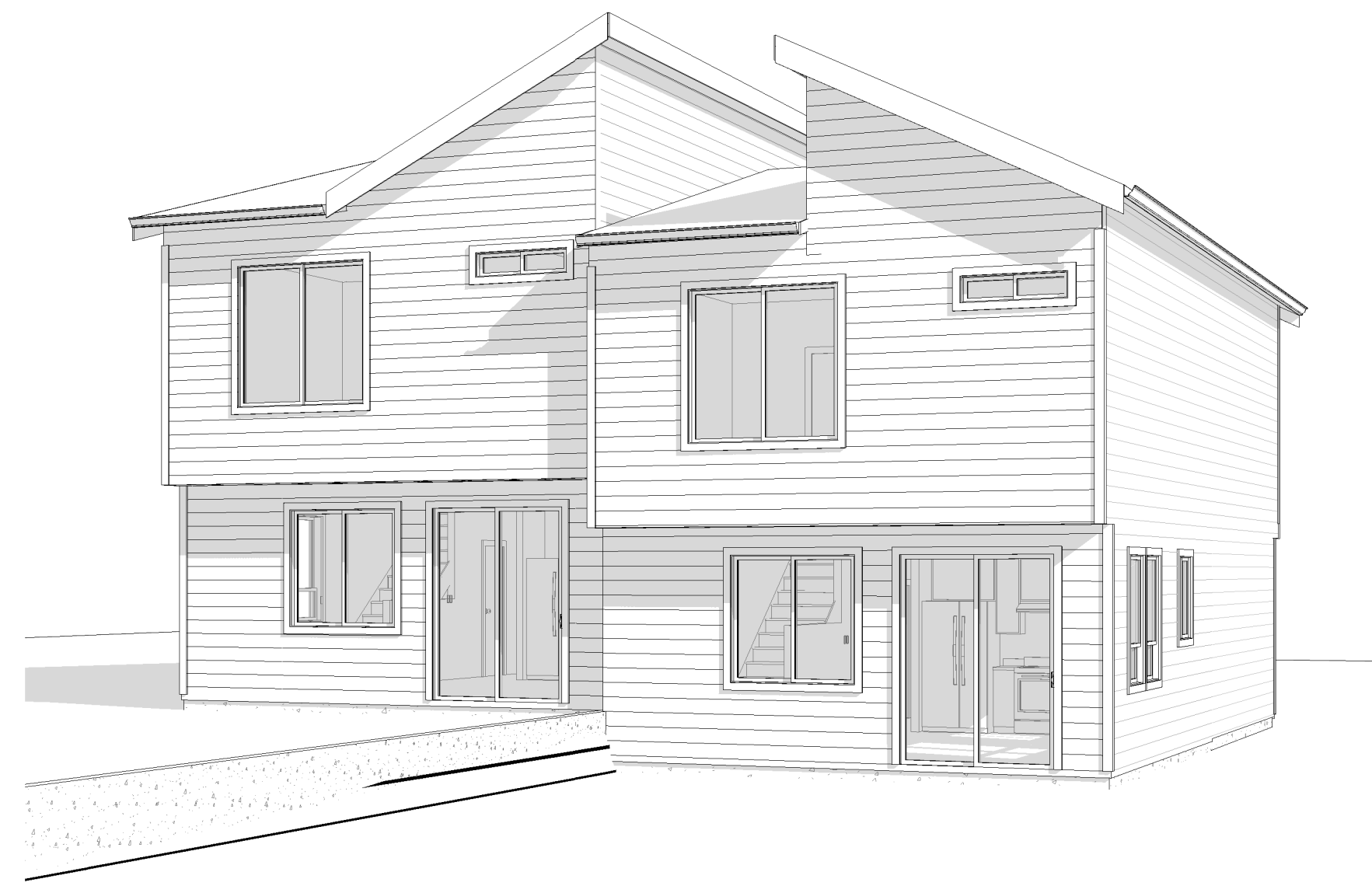
Camas, Washington
 Google Street View
 Aug 2014 See more dates

Image capture: Aug 2014 © 2023 Google





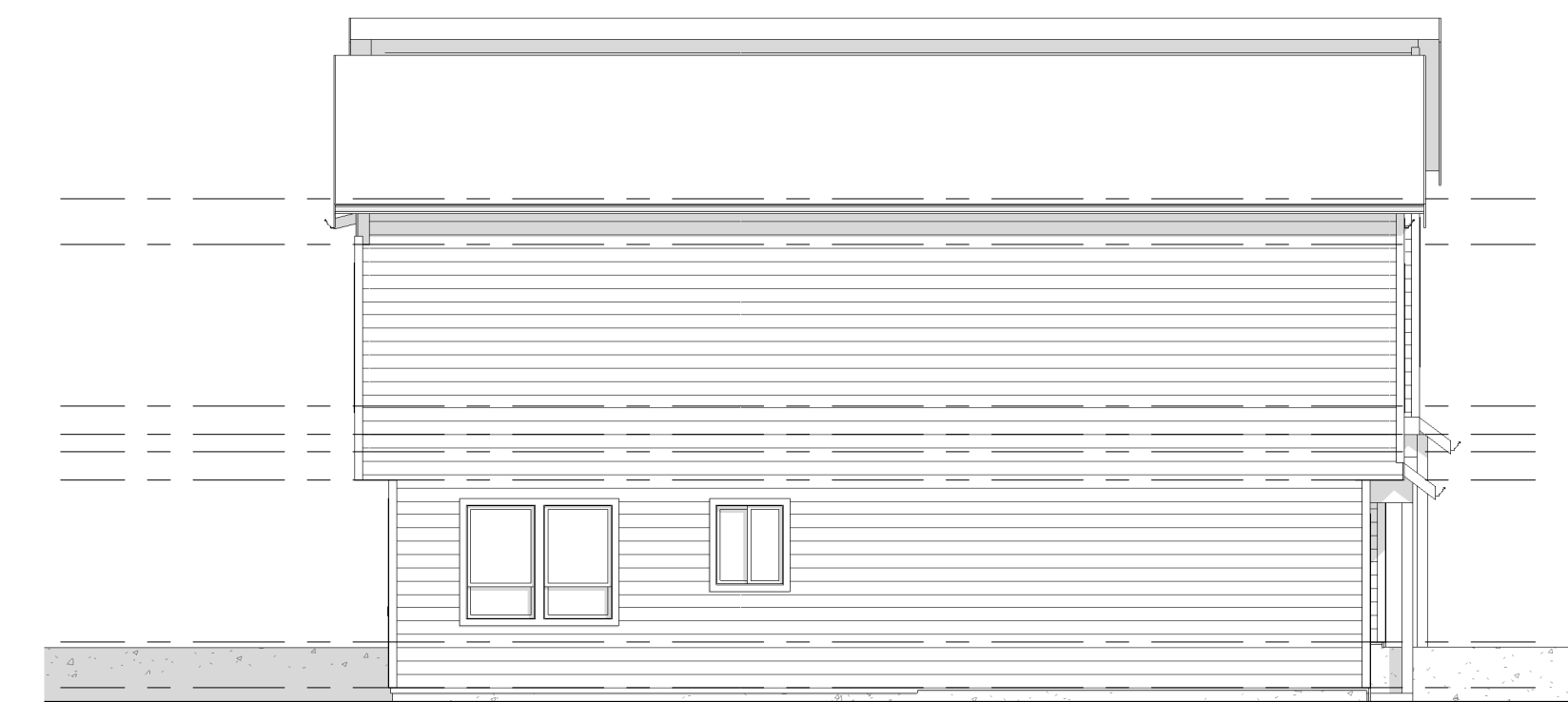
FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"

DRAFTING
CORP
Your new home starts here

Email: edrafting@hotmail.com
Brian Emrich: 960-409-4592

COUCH STREET DUPLEX

FILE NAME :
1451/1450-40-ST-L
DRAWN BY:
E DRAFTING
SCALE :
As Indicated
PLOT DATE :
6/13/2022
1:26:01 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

SHEET
Building Elevations

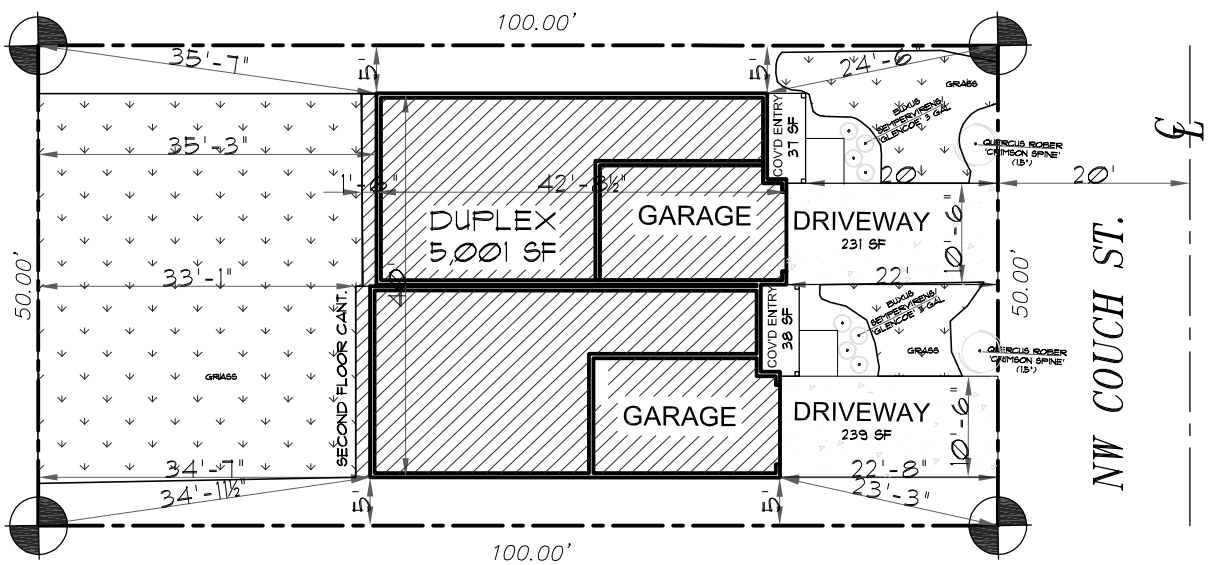
A1

Landscape Plan

LOT COVERAGE:
 LIVING/GARAGE = 1655 SF
 FRONT ENTRY = 75 SF
 TOTAL = 1,730 SF
 LOT = 5,000 SF
 34.6% LOT COVERAGE

SETBACKS:
 FRONT = 20'
 REAR = 25'
 SIDE YARD = 5'

AREA CALCULATIONS
 MAIN FLOOR = 1,189 SF
 UPPER FLOOR = 1,112 SF
 TOTAL = 2,901 SF
 GARAGE = 466 SF



SITE PLAN

SCALE : 1"=20'

PLAN NAME:
 DRAWN: AK
 PLOT: 12/1/22
 SCALE: 1"=50'-0"

COUCH ST. DUPLEX
 CAMAS, WA

DRAFTING CORP.
 Your new home starts here

First Unit Color pattern



Sample House (Not the Duplex)

Exterior 3 (3).jpg

<p>✓ FEATURED IN SCENE</p> <p>SW 6199 Rare Gray Locator Number: 216-C3</p>	<p>✓ FEATURED IN SCENE</p> <p>SW 7571 Casa Blanca Locator Number: 264-C4</p>
<p>✓ FEATURED IN SCENE</p> <p>SW 6208 Pewter Green Locator Number: 217-C6</p>	

SHERWIN-WILLIAMS.

Actual color may vary from on-screen representation. To confirm your color choices prior to purchase, please view a physical color chip, color card, or painted sample.


Sherwin-Williams is not responsible for the content and photos shared by users of their color selection tools.

Second Unit color pattern



Sample House (Not Duplex model)

Exterior 3.jpg

<p>✓ FEATURED IN SCENE</p> <p>SW 7669 Summit Gray Locator Number: 282-C5</p>	<p>✓ FEATURED IN SCENE</p> <p>SW 7006 Extra White Locator Number: 257-C1</p>
<p>✓ FEATURED IN SCENE</p> <p>SW 7048 Urbane Bronze Locator Number: 245-C7</p>	
 <p>SHERWIN-WILLIAMS.</p> <p>Actual color may vary from on screen representation. To confirm your color choices prior to purchase, please view a physical color chip, color card, or painted sample. Sherwin-Williams is not responsible for the content and photos shared by users of their color selection tools.</p>	

PARSILLE ROBERT J & PARSILLE
CHRISTINE M
1346 NW COUCH ST
CAMAS, WA 98607

THOMPSON ROBERT G &
THOMPSON SUZANNE K
1233 NW DRAKE WAY
CAMAS, WA 98607

DEK PROPERTIES LLC
29910 NW 18TH PL
RIDGEFIELD, WA 98642

WETZLER KEVIN B & WETZLER
ELIZABETH E
1239 NW BENTON ST
CAMAS, WA 98607

CAINE ROBERT S
1225 NW BENTON ST
CAMAS, WA 98607

WILDER MARIJKE
1215 NW COUCH ST
CAMAS, WA 98607

YOSHIDA MIKA LEIGH & PFEIFER
JASON KRISTIAN
305 NW 12TH AVE
CAMAS, WA 98607

MCIVER JENNIFER
1316 NW DRAKE WAY
CAMAS, WA 98607

TULLIS KAITLIN ASHLEY
1241 NW DRAKE WAY
CAMAS, WA 98607

CHOUINARD GENE M & CHOUINARD
NANCY F CO-TRUSTEES
50570 MAPLE AVE
SCAPPOOSE, OR 97056

PATTERSON BRUCE & PATTERSON
JANET
1329 NW BENTON
CAMAS, WA 98607

1317 NW BENTON ST LLC
1940 NE ADAMS ST
CAMAS, WA 98607

HUNTER JESSICA
1306 NW COUCH ST
CAMAS, WA 98607

VALENCIA GERARDO & VALENCIA
ANA ISABEL (C/B)
1303 NW BENTON ST
CAMAS, WA 98607

KUNG ANDREW &
MATSUSHITA-KUNG MAYUMI
5703 NE 52ND CT
VANCOUVER, WA 98661

KASHAS LESTER & KASHAS SUSAN
448 NW 12TH AVE
CAMAS, WA 98607

RUSCH DEANNA L
1238 NW BENTON ST
CAMAS, WA 98607

GREENING PETER & GREENING
KATHLEEN
1225 NW DRAKE WAY
CAMAS, WA 98607

LARSEN KIRK
1228 NW BENTON ST
CAMAS, WA 98607

CURTIS LARRY D & CURTIS PENNY M
437 NW 12TH AVE
CAMAS, WA 98607

HARRIS STINA ELSA VICTORIA &
HARRIS KENNETH DALE TRUSTEES
PO BOX 874021
VANCOUVER, WA 98687

TRICOLA BRAD LEE NELSON &
TRICOLA HEATHER DIANA
1208 NW BENTON ST
CAMAS, WA 98607

CRUZEN DUSTIN L
436 NW 12TH AVE
CAMAS, WA 98607

SMITH BRAXTON H & SMITH LINDA
TRUSTEE
1351 NW BENTON ST
CAMAS, WA 98607

SEASHOLTZ CONDER T & SEASHOLTZ
TAMARA
1313 NW COUCH ST
CAMAS, WA 98607

DUGGER ELIZABETH
11944 SE BROOKSIDE DR
PORTLAND, OR 97266

RJHS HOLDINGS 4 LLC
PO BOX 928
BATTLE GROUND, WA 98604

CITY OF CAMAS
616 NE 4TH AVE
CAMAS, WA 98607

REDDIG MIKE A & REDDIG LAURINDA
C
1203 NW DRAKE WAY
CAMAS, WA 98607

HARRIS STINA ELSA VICTORIA &
HARRIS KENNETH DALE TRUSTEES
PO BOX 874021
VANCOUVER, WA 98687

BENTON CAMAS LLC
13503 PROUD CLAIRON ST
FRISCO, TX 75035

WILCOX AARON S & WILCOX AUBREY
L
5209 NW 14TH CIR
CAMAS, WA 98607

CITY OF CAMAS
430 NE EVERETT ST
CAMAS, WA 98607

SIBLEY MICHAEL D & SCHATZ JACK W
2405 NE 12TH AVE
PORTLAND, OR 97212

MILLER JODY
1301 NW COUCH ST
CAMAS, WA 98607

TOTHMAN GROUP
333 S STATE ST, #V269
LAKE OSWEGO, OR 97034

DAVIS DERRICK E
1304 NW DRAKE WAY
CAMAS, WA 98607

WAGEMAN JANE A TRUSTEE
1321 NW COUCH ST
CAMAS, WA 98607

REID TIMOTHY C & REID CARISSA J
1325 NW COUCH ST
CAMAS, WA 98607

NEKETIN KIMBERLY & HOUSE
ALEXANDER
1328 NW DRAKE WAY
CAMAS, WA 98607

GIBBONS JEFFREY A & GIBBONS
MARTINE
9405 NE LIVINGSTON MTN CT
CAMAS, WA 98607

ERRINGER ALAN & ERRINGER ANU
3327 NE BRYCE ST
PORTLAND, OR 97212

HESFORD ARTHUR J
760 NE STOKES TER
JENSEN BEACH, FL 34957

CITY OF CAMAS
430 NE EVERETT ST
CAMAS, WA 98607

SUSMAN JONATHAN JAY & CONTRIS
DANIELLE NICOLE
1306 NW BENTON ST
CAMAS, WA 98607

HERIGSTAD DARICE LYNN
1250 NW BENTON ST
CAMAS, WA 98607

VESTCAPITAL LLC
315 GRAND BLVD STE 200
VANCOUVER, WA 98661

SAMPSON LARRY D & SAMPSON
SHELLEY A
1234 NW DRAKE WAY
CAMAS, WA 98607

YOUNG NEIL A & YOUNG KRISTIN
1224 NW DRAKE WAY
CAMAS, WA 98607

APEX EDUCATION LLC
315 GRAND BLVD STE 200
VANCOUVER, WA 98661

**COMMUNITY DEVELOPMENT DEPARTMENT**

616 NE 4th Avenue
 Camas, WA 98607
www.cityofcamas.us

January 20, 2023

Apex Education
 Attn: Nick Jones
 Sent via email to: nick@vestcapital.com

RE: 1241 NW Couch Street (CUP22-04 & DR22-11) application completeness review

Dear Nick,

Thank you for your application for the property located at 1241 NW Couch Street. I am the Case Planner assigned to your project. The purpose of this letter is to inform you that the above applications submitted on October 7, 2022, have been deemed incomplete in accordance with Camas Municipal Code (CMC) Section 18.55.130 and there are items that need to be addressed prior to proceeding with the review. Once the items below are submitted, staff will review the information to verify whether the application can be deemed complete. As a reminder, staff is not authorized to waive any requirement of the City Code. Any omission or failure by staff to recite applicable code requirements shall not constitute a waiver by the City of any standard or requirement.

Items necessary for completeness:

- A copy of a full title report.
- Two copies of full-sized site plan, preliminary grading plan, landscape plan, and building elevations.
- As per CMC 18.43.050 A-F Criteria of Approval for Conditional Use Permit:
 - A. The proposed use shall meet or exceed the development standards that are required in the zoning district in which the property is situated;
 - The application did not include an engineering site plan showing the following:
 - Full width of the adjacent road; including rights-of-way limits, existing sidewalks, including the dimensions of the paved surface, right-of-way, sidewalks, etc.
 - Nearest existing cross streets.
 - Existing water main and proposed location of future water services; one per dwelling unit.
 - Existing sewer main and proposed location of future sewer laterals; one per dwelling unit.

If you have any questions, please contact me at YSennewald@cityofcamas.us

Respectfully,

A handwritten signature in black ink that reads "Yvette Sennewald". The signature is fluid and cursive, with a large loop at the end of the last name.

Yvette Sennewald, Senior Planner

**COMMUNITY DEVELOPMENT DEPARTMENT**

616 NE 4th Avenue
Camas, WA 98607
www.cityofcamas.us

February 10, 2023

Apex Education
Attn: Nick Jones
Sent via email to: nick@vestcapital.com

RE: 1241 NW Couch Street (CUP22-04 & DR22-11) application completeness review

Dear Nick,

Your second submittal was received on January 26, 2023. There are still some items necessary to deem your project technically complete. Once the items below are submitted, staff will review the information to verify whether the application can be deemed complete. As a reminder, staff is not authorized to waive any requirement of the City Code. Any omission or failure by staff to recite applicable code requirements shall not constitute a waiver by the City of any standard or requirement.

Items necessary for completeness:

- Two copies of full-sized preliminary grading plan and landscape plan.
 - No preliminary grading plan was received with the second submittal.
 - The landscape plan submitted is a site plan with the addition of a "Landscape Plan" title. The landscape plan should show all proposed landscaping and include a detailed plant and tree material legend. It should also include a table showing the number of tree units required/proposed for the project.
 - If any trees are required to be removed to facilitate the development of the duplex, a Tree Survey is required.
- Your project narrative is missing information regarding the existing site conditions.
- A Development Sign is required for this project. Please submit proof of installation by submitting a photo for our files.

If you have any questions, please contact me at YSennewald@cityofcamas.us

Respectfully,

A handwritten signature in black ink that reads "Yvette Sennewald". The signature is fluid and cursive, with a large loop at the end of the last name.

Yvette Sennewald, Senior Planner

**COMMUNITY DEVELOPMENT DEPARTMENT**

616 NE 4th Avenue
Camas, WA 98607
www.cityofcamas.us

March 29, 2023

Vest Capital
Attn: Nick Jones
Sent via email: nick@vestcapital.com

RE: Completeness Review for Planning Cases CUP22-04 & DR22-11: Couch Street Duplex

Dear Nick,

The purpose of this letter is to inform you that the above application submitted on December 7, 2022, has been **deemed technically complete** in accordance with Camas Municipal Code (CMC) Section 18.55.130. Staff will begin reviewing the application and will contact you if we have comments and/or questions.

If you have any questions related to this project, please feel free to contact me by email: YSennewald@cityofcamas.us or by phone: (360) 817-7269.

Respectfully,

A handwritten signature in black ink that reads "Yvette Sennewald". The signature is fluid and cursive, with a large loop at the end of the last name.

Yvette Sennewald, Senior Planner

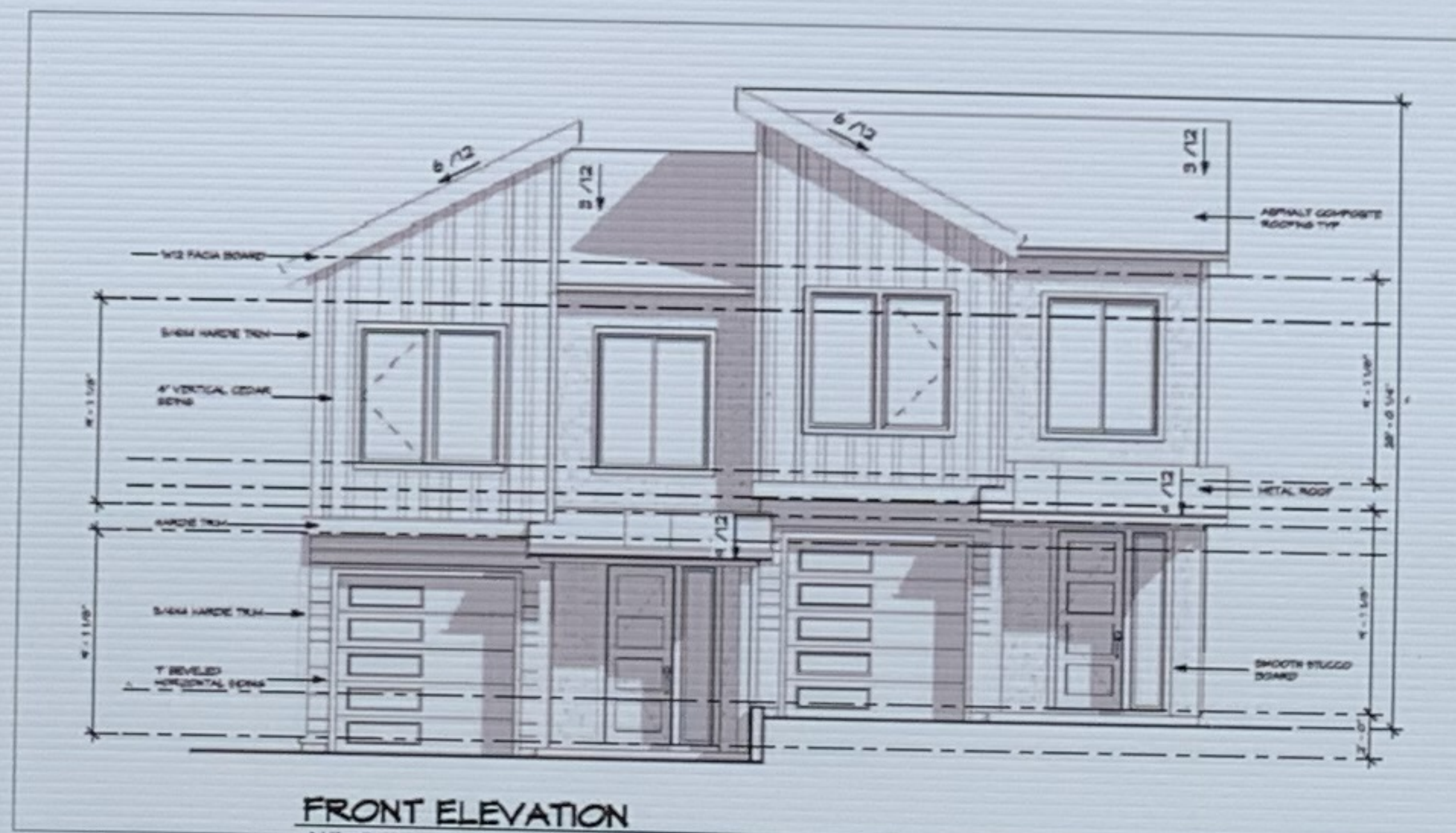
Notice of Proposed Development

Couch Street Duplex

City of Camas, Washington



City Contact:
Yvette Sennewald, Senior Planner
(360) 817-7269
YSennewald@cityofcamas.us



VEST CAPITAL

PROJECT NUMBERS:

CUP 22-04
DR22-11

PUBLIC HEARING:

A PUBLIC HEARING IS REQUIRED; DATE AND LOCATION TO BE POSTED BELOW ONCE SCHEDULED

June 29th, 2023 at 5:00pm
Camas City Hall
616 NE 4th Ave, Camas, WA 98607

COMMENTS OR QUESTIONS:



ENGINEER OF RECORD
TRUE NORTH LLC
219 W. 4th STREET
VANCOUVER, WASHINGTON 98660
503-602-2464
JASON@TNORTHGEO.COM

PROPERTY OWNER
VEST CAPITAL
315 GRAND BLVD STE 200,
VANCOUVER WA 98661
775-412-1956
TANNER@VESTCAPITAL.COM



Notice of Design Review Committee Meeting Thursday, May 18, 2023

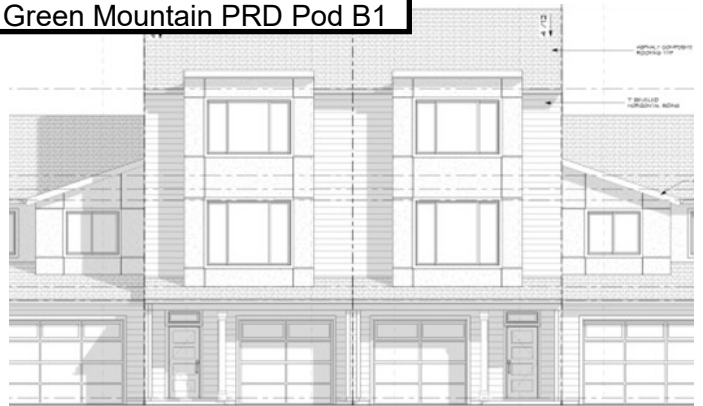
A public meeting of the Design Review Committee will be held on Thursday May 18, 2023, beginning at 4:00 p.m., via Zoom. All citizens are entitled to have equal access to the services, benefits and programs of the City of Camas. Please contact the City Clerk at (360) 817-1591 for special accommodations if needed. The City will provide translators for non-English speaking persons who request assistance at least three working days prior to a public meeting. **The following applications are included on the agenda:**

Project	Green Mountain PRD Pod B1	Geacu Duplex	Couch Street Duplex
File No.	DR23-04	DR22-10	DR22-11
Location	East of NE Ingle Road at 90th Ave Tax Parcels 173178000 & 986037307	633 NE 7th Avenue Tax Parcel 986039342	1241 NW Couch Street Tax Parcel 986060366
Zone	Multi-Family Residential (MF-18)	Multi-Family Residential (MF-18)	Residential (R-7.5)
Applicant	Brian Emrich	Gheorghe and Daniela Geacu	Nick Jones VestCapital
Proposal	111-lot residential development	To construct a duplex on vacant 5,663 square-foot property	To construct a duplex on vacant 5,001 square-foot property

MORE INFORMATION

The meeting agenda and supporting documents will be available for review on the city’s website at the “Public Meeting” portal or follow this link: www.cityofcamas.us/meetings. Also, Planning Division staff can respond to questions and comments in regard to the public meeting or the projects under review. **Contact staff at (360) 817-1568** or by email at: communitydevelopment@cityofcamas.us.

Green Mountain PRD Pod B1



OPPORTUNITY FOR COMMENT

You are invited to offer comments regarding important design issues, which you believe, should be addressed in the decision for these projects. Procedures for a public meeting will be followed in accordance with RCW 42.30, which differs from a public hearing. Comments may be submitted by regular mail to the Planning Division, City of Camas, 616 Northeast Fourth Avenue, Camas, WA 98607; or by email to: communitydevelopment@cityofcamas.us.

Geacu Duplex



Couch Street Duplex



DESIGN REVIEW COMMITTEE (“DRC”)

The DRC conducts a public meeting for the purpose of reviewing specific proposals, and recommending conditions and/or other actions necessary for consistency with the principles of the Design Review Manual. The DRC does not issue a decision, but issues a written recommendation, together with findings to support the recommendation.



STAFF REPORT

Couch Street Duplex

Major Design Review (DR22-11)

Related File: CUP22-04

TO Design Review Committee

FROM Yvette Sennewald, Senior Planner

LOCATION 1241 NW Couch Street
Parcel Number: 986060366

APPLICANT Nick Jones, VestCapital
(503) 720-5028
nick@vestcapital.com

APPLICABLE LAW: This land use application submitted December 7, 2022, and the applicable codes are the codes that were in effect at the date of application. Camas Municipal Code (CMC) chapters include Title 17 Land Development and Title 18, specifically (but not limited to): Chapter 18.11 - Parking, Chapter 18.13 - Landscaping, Chapter 18.18 - Site Plan Review, Chapter 18.19 Design Review, and Chapter 18.55 Administrative Procedures.

Background

The applicant is currently seeking design review approval for the construction of a duplex, each unit proposed to be approximately 1,730 square-feet in size, on an approximately 5,001 square-foot vacant lot that was previously developed with a workshop building, situated in the R-7.5 – Single Family Residential Zone. Each residential unit contains a single car garage accessed at the front of the building, with additional parking provided on the driveway. Landscaping is provided on site.

The project area is bordered on each side by single-family residential homes. Existing plex's are located within the project vicinity.

Purpose

Design Review is required under CMC Chapter 18.19. Design review is not intended to determine the appropriate use on a parcel but rather review a proposed development for compliance with City codes and plans related to landscaping, architectural elevations, and other elements relative to required improvements. The recommendations from the Design Review Committee (DRC) must consider the design review standards from the Design Review Manual and the Camas Municipal Code (CMC). The enclosed checklist is to help guide your review but refer to the manual for specific details regarding the standards.

Standard and Multi-Family Design Principles and Guidelines

The standard and multi-family principles and guidelines are required and must be demonstrated to have been satisfied in the overall intent for design review approval. The design guidelines are developed to assist a project in meeting the established principles and each guideline should be adequately addressed. If the proposal cannot meet a specific guideline, then an explanation should be provided by the applicant as to why and how it will be mitigated to satisfy the intent of the design principles. The development guidelines include five major categories: 1) Landscaping and Screening, 2) Architecture, 3) Massing and Setbacks, 4) Historic & Heritage Preservation, and 5) Circulation and Connections.

The Design Review Checklist is enclosed to help guide the DRC in reviewing the standard applicable specific design review principles and guidelines.

Recommendation

That the Design Review Committee reviews the submitted materials, deliberates, and forwards a recommendation to staff for a final decision.



Community Development Department
616 NE Fourth Avenue Camas, WA 98607

Design Review Checklist for Couch Street Duplex (DR22-11)

The purpose of this sheet is to provide a simplified and expedited review of the design review principles and guidelines using objective review standards. The standards are intended as tool for the decision-maker in making findings that the proposal either achieves compliance with the intent of the principles or reasonably mitigates any conflict. When reviewing the check sheet, the proposal should as a whole “comply” with the standards and thus be generally consistent with the overriding principles. [Yes = In Compliance; No = Not In Compliance; NA = Not Applicable]

Standard Principles and Guidelines

ARCHITECTURE				
Yes	No	NA	Principles and Guidelines	Comments
X			Corrugated materials, standing seam, T-1 11, or similar siding materials are avoided unless it produces a high visual (or aesthetic) quality.	
X			Building walls or fences visible from roadways are articulated in order to avoid a blank look.	
X			The use of bold colors has been avoided unless used as minor accents.	
X			Higher density/larger structures abutting lower density residential structures have been designed to mitigate size and scale differences.	
LANDSCAPING AND SCREENING				
Yes	No	NA	Principles and Guidelines	Comments
X			Vegetation for landscaping includes native, low maintenance plantings. Significant trees are retained if feasible.	
			Trees planted along streetscapes with overhead power lines include only those trees identified on the City’s Tree list.	COA
X			Landscaping, including trees, shrubs, and vegetative groundcover, is provided to visually screen and buffer the use from adjoining less intense uses including parking.	
		X	Proposed fencing is incorporated into the landscaping to have little or no visual impact.	
		X	Signs located on buildings or incorporated into the landscaping are unobtrusive and vandal resistant. If illuminated, they are front lit.	

DESIGN REVIEW CHECKLIST

			Landscape lighting - low voltage, non-glare, indirect lighting is directed, hooded, or shielded away from neighboring properties.	COA
		X	Street lighting (poles, lamps) is substantially similar or architecturally more significant than other street lighting existing on the same street and do not conflict with any City approved street lighting plans for the street.	
			Parking and building lighting are directed away from surrounding properties using hooding, shielding, siting and/or landscaping.	COA
		X	Outdoor furniture samples are consistent with the overall project design.	
		X	Existing trees over 6" dbh that are not required to be removed to accommodate the proposed development are retained and incorporated into the landscape plan.	
		X	Rock outcroppings, forested areas and water bodies are retained.	
HISTORIC AND HERITAGE PRESERVATION				
Yes	No	NA	Principles and Guidelines	Comments
		X	The use of Historic Markers, information kiosks, project names, architectural features, or other elements of the project promote the historic heritage of the site or surrounding area.	

Specific Principles and Guidelines

MULTI-FAMILY				
Yes	No	NA	Principles and Guidelines	Comments
1. DUPLEX, TRIPLEX & FOUR-PLEX				
		X	Corner lots are preferred, and include fronts oriented to the street (In other words, each unit faces a street).	
X			Attached garages account for less than 50% of the front face of the structure (as measured by lineal footage).	COA
X			Garages visible from the street are articulated by architectural features, such as windows, to avoid a blank look.	
X			Buildings provide a complementary façade that faces the public right of way and is the primary entrance to a unit or multiple units, unless impracticable.	



Notice of Application and Public Hearing

Couch Street Duplex (CUP22-04 & DR22-11)

NOTICE IS HEREBY GIVEN that an application for the “Couch Street Duplex” to develop a duplex in the R-7.5 – Single-Family Residential Zone was received on 12/07/2022, by Nick Jones, and deemed technically complete on 3/29/2023.

LOCATION: The subject 0.11-acre site is situated on the westerly side of NW Couch Street, northerly of NW 12th Avenue, Camas, Washington, and is in the R-7,500 Single-Family Residential (R-7.5). The location of tax parcel 986060366 is in the NW 1/4, Section 11, Township 1 North, Range 3 East of the Willamette Meridian (E.W.M.).

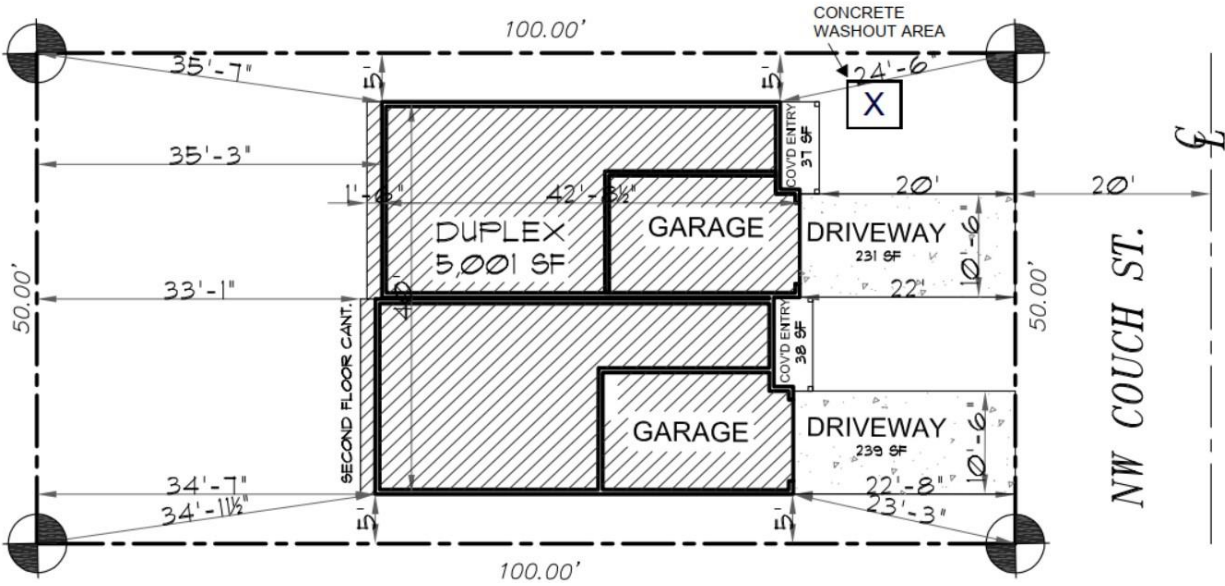
SCHEDULED PUBLIC HEARING: A virtual and in-person public hearing will be held before the city’s hearings examiner on **June 29, 2023 at 5 pm**. Instructions and a link to participate will be available on the agenda page of the city’s website at least seven days prior to the meeting. The agenda is located at the following link: www.cityofcamas.us/yourgovernment/minuteagendavideo

APPLICATION MATERIALS: The Couch Street Duplex application included the following: narrative, site plan, pre-application meeting notes, building elevations, and other required submittal documents. These documents are available for review at the Community Development Department (616 NE 4th Ave., Camas, WA) during regular business hours Monday – Friday 8 am-5 pm.

PARTICIPATE: All citizens are entitled to have equal access to the services, benefits, and programs of the City of Camas. Please contact the City Clerk at (360) 834-6864 for special accommodation if needed. The city will provide translators for non-English speaking persons who request assistance at least three working days prior to a public meeting.

Public comments and questions are encouraged, and there are several opportunities available to interested citizens. *It is preferable that written comments be received five days prior to the public hearing, in order to be available with the online agenda and materials.* Comments can also be accepted during the public hearing. The public hearing will follow the quasi-judicial process described within Camas Municipal Code §18.55.180. Comments related to this development may be submitted as follows: (1) In person by testifying at the public hearing; (2) by regular mail to Planning Division staff, Yvette Sennewald, Senior Planner, at the Camas City Hall, 616 NE 4th Avenue, Camas, WA 98607; (3) by email to: communitydevelopment@cityofcamas.us; or (4) by phone (360) 817-7237. **For questions related to this application, please contact Yvette Sennewald, Senior Planner, at (360) 817-1568 or communitydevelopment@cityofcamas.us.**

Excerpt from Conditional Use Permit Application Couch Street Duplex (File #CUP22-04 & DR22-11)



In re: Couch Street Duplex

) NO. CUP22-04
)
) AFFIDAVIT OF MAILING
)
)
)
)
)
)
)
 Respondent.)

STATE OF WASHINGTON)
) ss.
 CLARK COUNTY)

I, Carey Certo, on oath says:

I, Carey Certo, on June 14, 2023, I directed a true and correct copy of the Notice of Application and Public Hearing be served upon the parties herein, in the above-entitled action, by depositing with the U.S. Post Office, Camas, Washington, a postage-prepaid envelope containing same addressed as follows: See attached list.

Carey Certo
 SIGNATURE

SUBSCRIBED and SWORN to before me this 15th day of June, 2023.



Aireanna Baldwin
 Notary Public in and for the State of
 Washington, residing at Clark County
 My appointment expires: 10/1/2024



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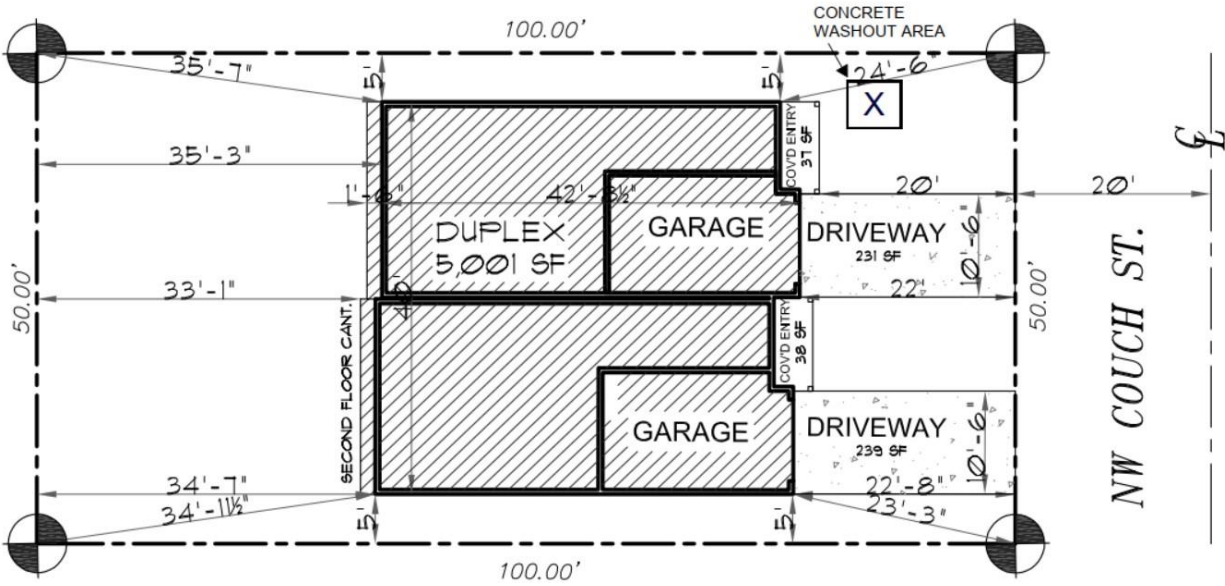
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Excerpt from Conditional Use Permit Application Couch Street Duplex (File #CUP22-04 & DR22-11)



PARSILLE ROBERT J & PARSILLE
CHRISTINE M
1346 NW COUCH ST
CAMAS, WA 98607

THOMPSON ROBERT G &
THOMPSON SUZANNE K
1233 NW DRAKE WAY
CAMAS, WA 98607

DEK PROPERTIES LLC
29910 NW 18TH PL
RIDGEFIELD, WA 98642

WETZLER KEVIN B & WETZLER
ELIZABETH E
1239 NW BENTON ST
CAMAS, WA 98607

CAINE ROBERT S
1225 NW BENTON ST
CAMAS, WA 98607

WILDER MARIJKE
1215 NW COUCH ST
CAMAS, WA 98607

YOSHIDA MIKA LEIGH & PFEIFER
JASON KRISTIAN
305 NW 12TH AVE
CAMAS, WA 98607

MCIVER JENNIFER
1316 NW DRAKE WAY
CAMAS, WA 98607

TULLIS KAITLIN ASHLEY
1241 NW DRAKE WAY
CAMAS, WA 98607

CHOUINARD GENE M & CHOUINARD
NANCY F CO-TRUSTEES
50570 MAPLE AVE
SCAPPOOSE, OR 97056

PATTERSON BRUCE & PATTERSON
JANET
1329 NW BENTON
CAMAS, WA 98607

1317 NW BENTON ST LLC
1940 NE ADAMS ST
CAMAS, WA 98607

HUNTER JESSICA
1306 NW COUCH ST
CAMAS, WA 98607

VALENCIA GERARDO & VALENCIA
ANA ISABEL (C/B)
1303 NW BENTON ST
CAMAS, WA 98607

KUNG ANDREW &
MATSUSHITA-KUNG MAYUMI
5703 NE 52ND CT
VANCOUVER, WA 98661

KASHAS LESTER & KASHAS SUSAN
448 NW 12TH AVE
CAMAS, WA 98607

RUSCH DEANNA L
1238 NW BENTON ST
CAMAS, WA 98607

GREENING PETER & GREENING
KATHLEEN
1225 NW DRAKE WAY
CAMAS, WA 98607

LARSEN KIRK
1228 NW BENTON ST
CAMAS, WA 98607

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CAMAS, WA 98607

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HARRIS KENNETH DALE TRUSTEES
PO BOX 874021
VANCOUVER, WA 98687

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436 NW 12TH AVE
CAMAS, WA 98607

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TRUSTEE
1351 NW BENTON ST
CAMAS, WA 98607

SEASHOLTZ CONDER T & SEASHOLTZ
TAMARA
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CAMAS, WA 98607

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BATTLE GROUND, WA 98604

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616 NE 4TH AVE
CAMAS, WA 98607~~

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C
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CAMAS, WA 98607

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HARRIS KENNETH DALE TRUSTEES
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VANCOUVER, WA 98687~~

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FRISCO, TX 75035

WILCOX AARON S & WILCOX AUBREY
L
5209 NW 14TH CIR
CAMAS, WA 98607

~~CITY OF CAMAS
430 NE EVERETT ST
CAMAS, WA 98607~~

SIBLEY MICHAEL D & SCHATZ JACK W
2405 NE 12TH AVE
PORTLAND, OR 97212

MILLER JODY
1301 NW COUCH ST
CAMAS, WA 98607

TOTHMAN GROUP
333 S STATE ST, #V269
LAKE OSWEGO, OR 97034

DAVIS DERRICK E
1304 NW DRAKE WAY
CAMAS, WA 98607

WAGEMAN JANE A TRUSTEE
1321 NW COUCH ST
CAMAS, WA 98607

REID TIMOTHY C & REID CARISSA J
1325 NW COUCH ST
CAMAS, WA 98607

NEKETIN KIMBERLY & HOUSE
ALEXANDER
1328 NW DRAKE WAY
CAMAS, WA 98607

GIBBONS JEFFREY A & GIBBONS
MARTINE
9405 NE LIVINGSTON MTN CT
CAMAS, WA 98607

ERRINGER ALAN & ERRINGER ANU
3327 NE BRYCE ST
PORTLAND, OR 97212

HESFORD ARTHUR J
760 NE STOKES TER
JENSEN BEACH, FL 34957

~~CITY OF CAMAS
430 NE EVERETT ST
CAMAS, WA 98607~~

SUSMAN JONATHAN JAY & CONTRIS
DANIELLE NICOLE
1306 NW BENTON ST
CAMAS, WA 98607

HERIGSTAD DARICE LYNN
1250 NW BENTON ST
CAMAS, WA 98607

VESTCAPITAL LLC
315 GRAND BLVD STE 200
VANCOUVER, WA 98661

SAMPSON LARRY D & SAMPSON
SHELLEY A
1234 NW DRAKE WAY
CAMAS, WA 98607

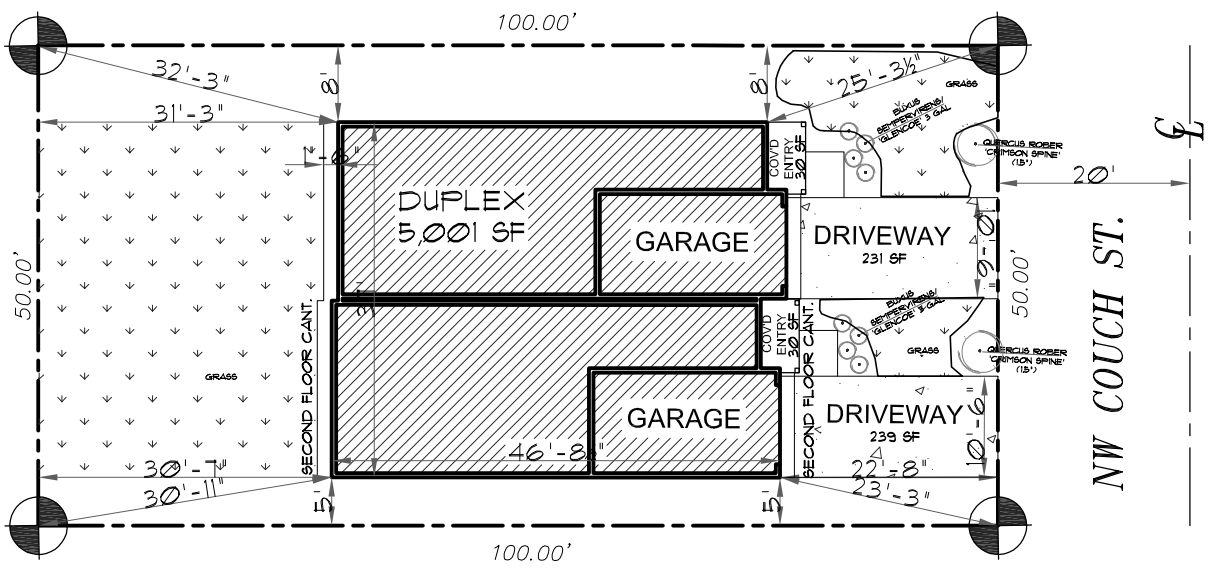
YOUNG NEIL A & YOUNG KRISTIN
1224 NW DRAKE WAY
CAMAS, WA 98607

APEX EDUCATION LLC
315 GRAND BLVD STE 200
VANCOUVER, WA 98661

LOT COVERAGE:
 LIVING/GARAGE = 1694 SF
 FRONT ENTRY = 60 SF
 TOTAL = 1,803 SF
 LOT = 5,000 SF
 33.9% LOT COVERAGE

SETBACKS:
 FRONT = 20'
 REAR = 25'
 SIDE YARD = 5'

AREA CALCULATIONS
 MAIN FLOOR = 1,267 SF
 UPPER FLOOR = 1,726 SF
 TOTAL = 2,993 SF
 GARAGE = 421 SF



SITE PLAN

SCALE : 1"=20'

PLAN NAME:
 DRAWN: AK
 PLOT: 6/16/23
 SCALE: 1"=50'-0"

COUCH ST. DUPLEX
 CAMAS, WA

DRAFTING CORP
 Your new home starts here

83



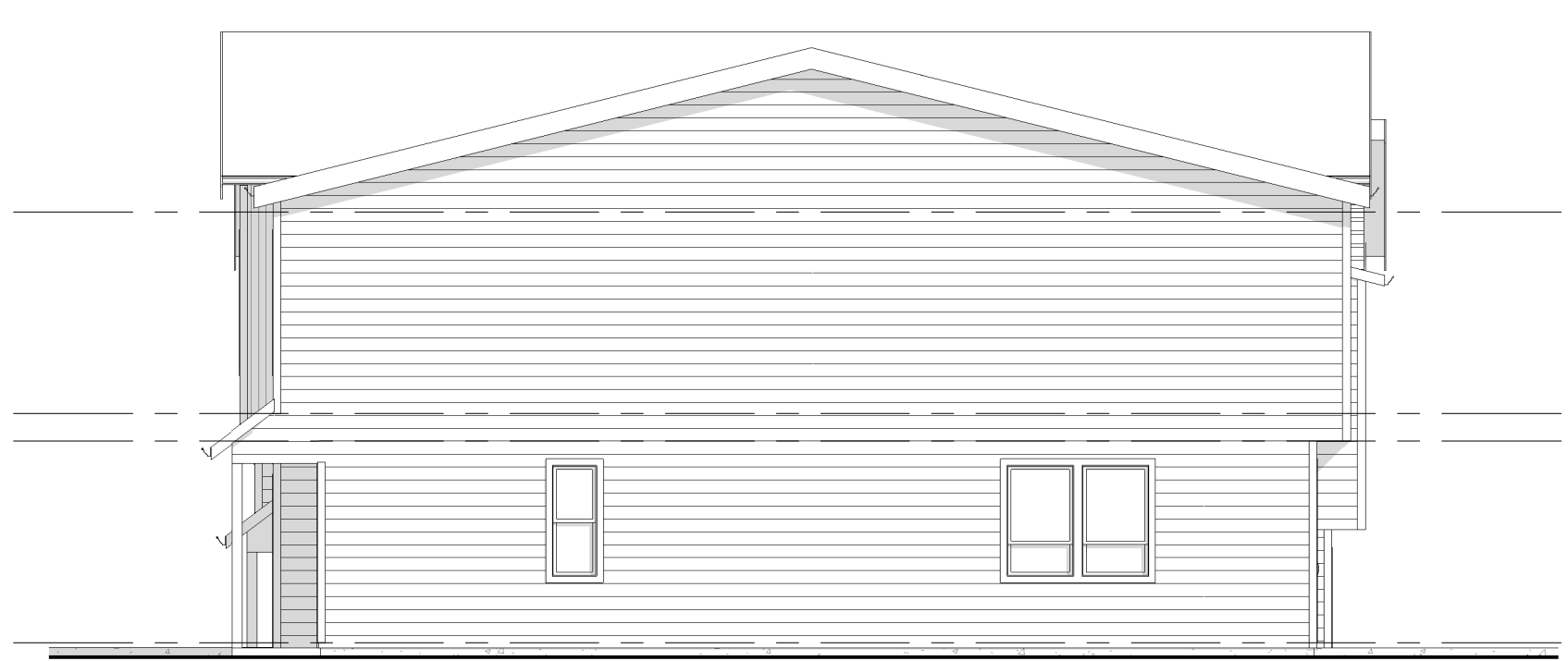
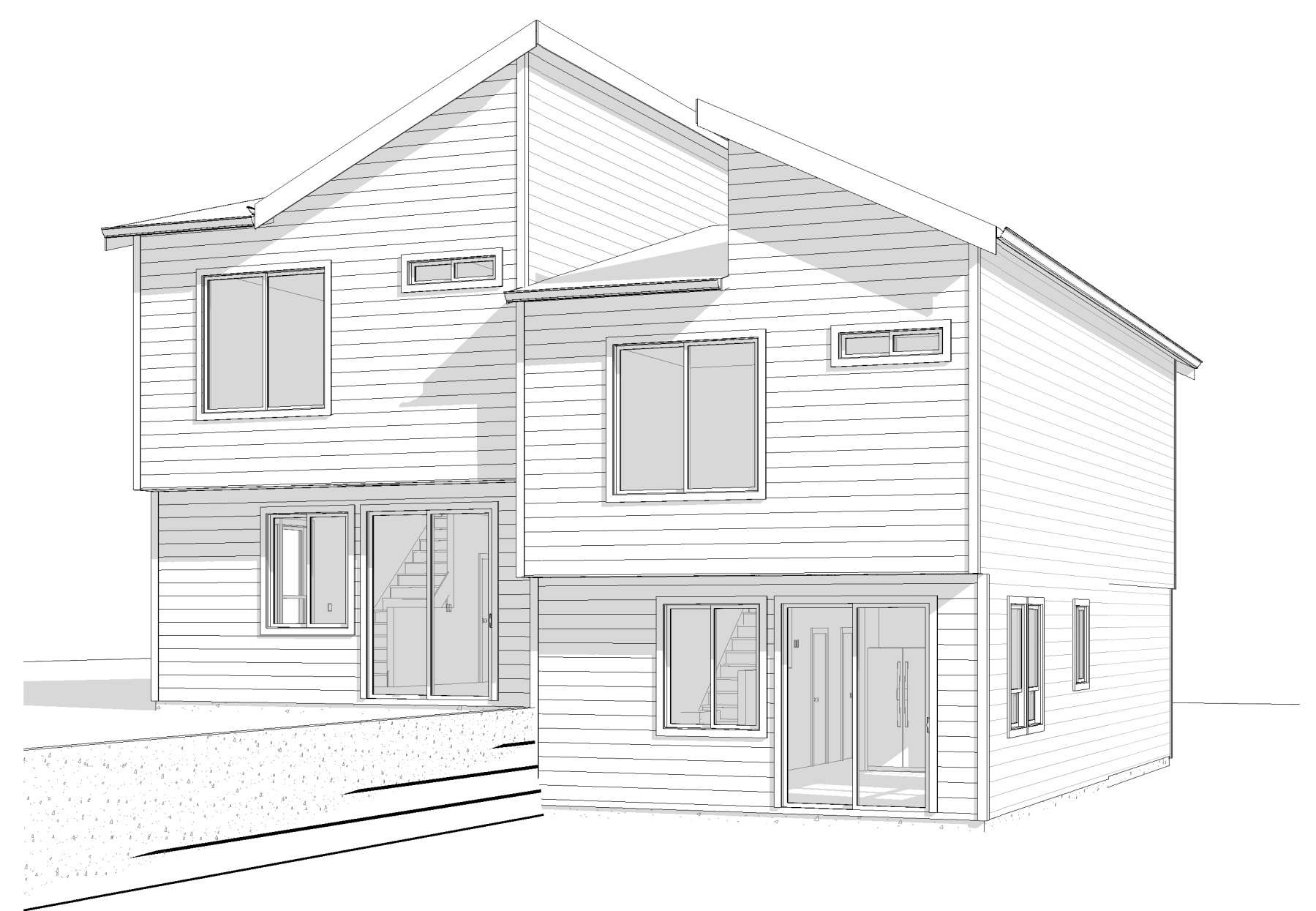
COUCH STREET DUPLEX

FILE NAME :
 1497/1496-40-ST-L
 DRAWN BY:
 E DRAFTING
 SCALE :
 As Indicated
 PLOT DATE :
 6/15/2023
 2:53:06 PM

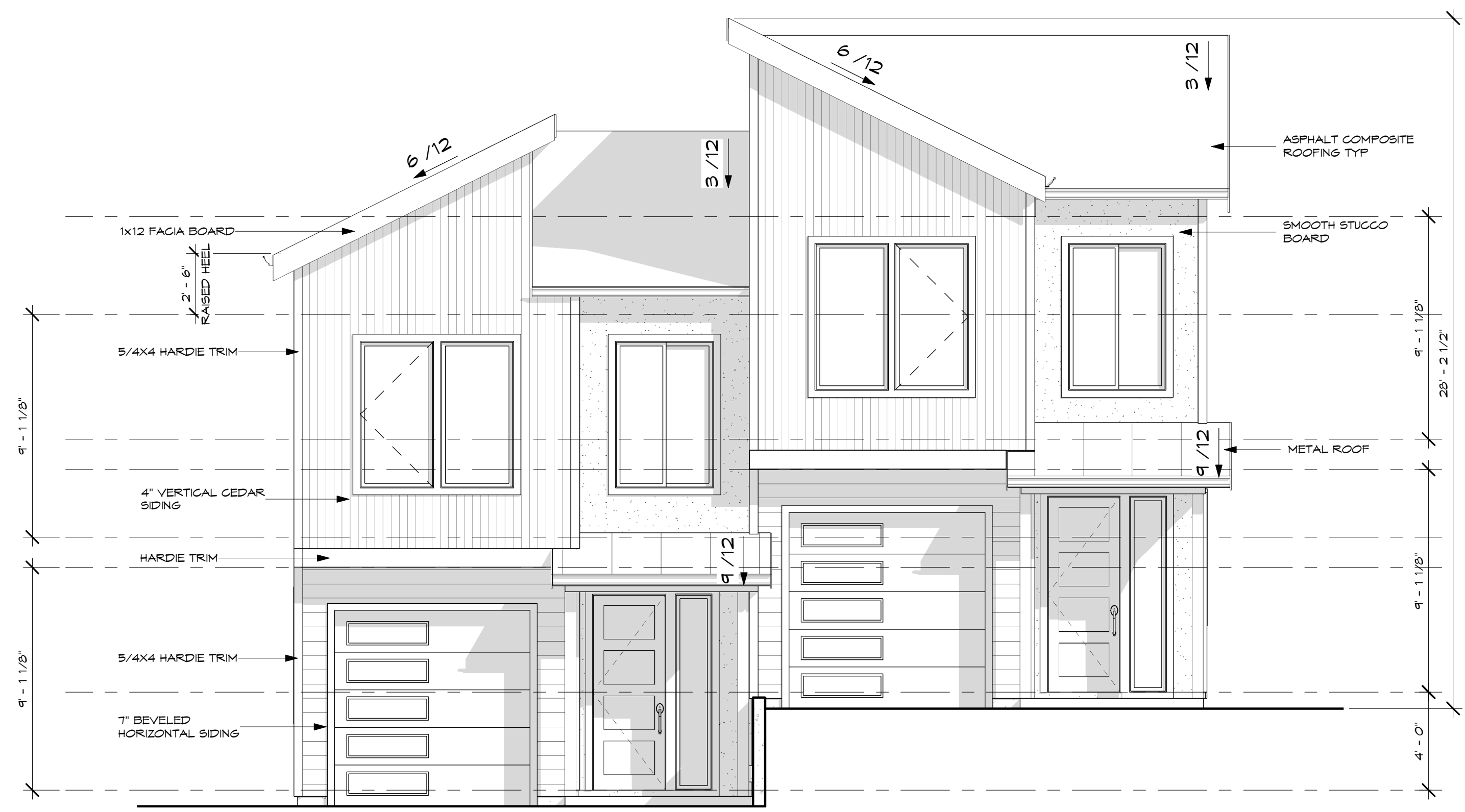
Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

SHEET
 Building Elevations

A1



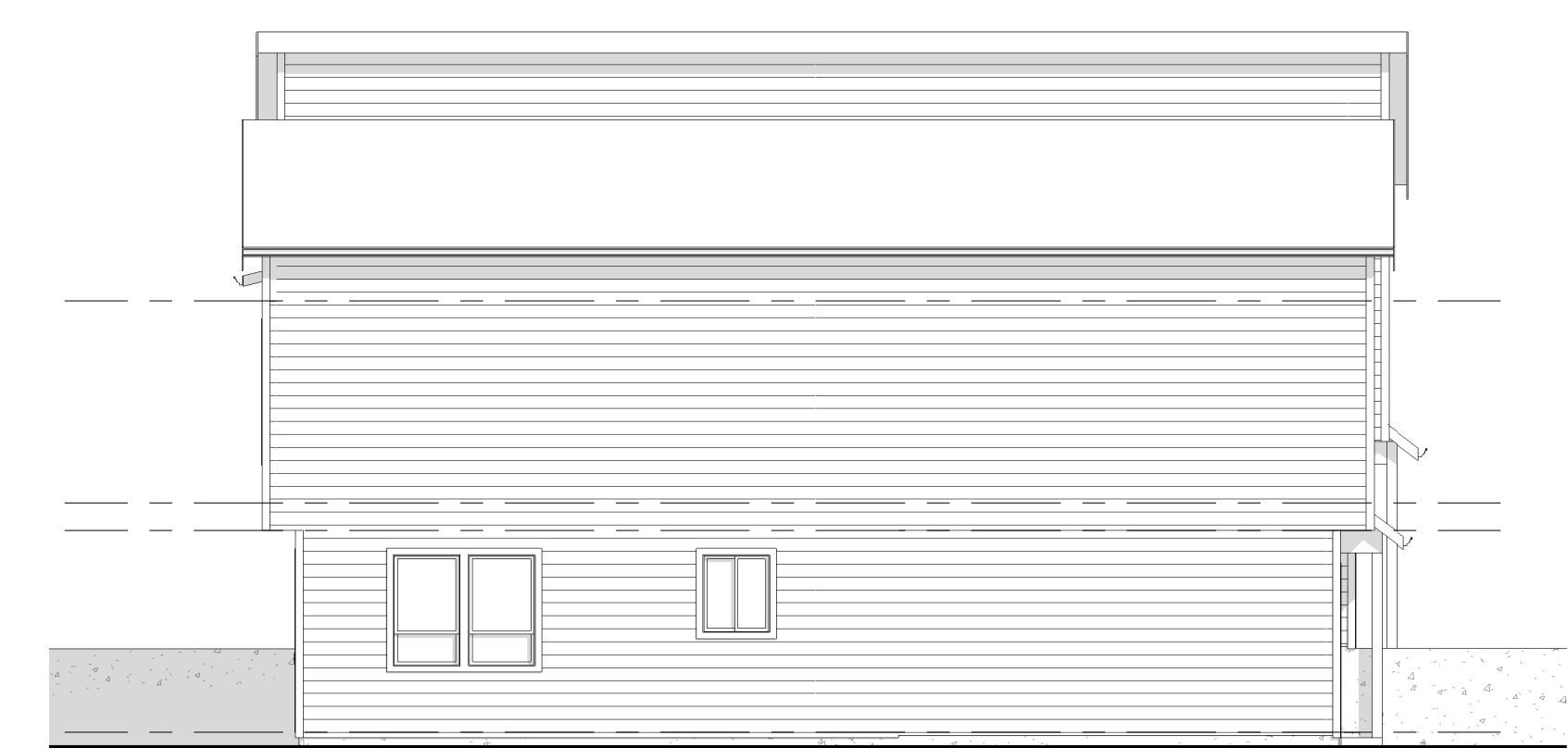
LEFT ELEVATION
 1/8" = 1'-0"



FRONT ELEVATION
 1/4" = 1'-0"



REAR ELEVATION
 1/8" = 1'-0"



RIGHT ELEVATION
 1/8" = 1'-0"

GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF LOCAL BUILDING CODE, ONE AND TWO FAMILY DWELLING CODES AND ALL OTHER GOVERNING CODES, LAWS AND REGULATIONS.
- SITE/CONSTRUCTION DOCUMENTS AND CONSTRUCTION PHASE CONTRACTOR SHALL NOT SCALE THE DRAWINGS, OR DETAILS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AT THE JOBSITE. NOTIFY DESIGN AGENCY IN WRITING OF ANY SIGNIFICANT DEVIATIONS, ANY CHANGES TO CONSTRUCTION DOCUMENTS OR IF ADDITIONAL DETAILS, SPECIFICATIONS ARE NEEDED FOR PROPER EXECUTION OF THE WORK. ALSO NOTIFY DESIGN AGENCY IN WRITING IF THERE ARE ANY CORRECTIONS OR CHANGES TO BE MADE TO THE CONSTRUCTION DOCUMENTS REQUIRED BY THE PLANNING/BUILDING DEPARTMENT OFFICIALS. PLANS CORRECTION LIST OR COMMENTS (FROM THE PLANNING/BUILDING DEPARTMENT OFFICIALS) MUST BE DELIVERED TO THE DESIGN AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL TRADES, INCLUDING ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL REQUIREMENTS.
- MECHANICAL AND ELECTRICAL WORK IS ON A CONTRACTOR DESIGN/BUILD BASIS. COORDINATE ALL ARCHITECTURAL AND STRUCTURAL WORK WITH MECHANICAL AND ELECTRICAL REQUIREMENTS. ALL DIMENSIONS ARE TO THE FACE OF FRAMING MEMBERS UNLESS NOTED OTHERWISE. ALL EXTERIOR WALLS TO BE 2x6 STUDS AT 16" O.C., ALL INTERIOR WALLS TO BE 2x4 STUDS AT 16" O.C. UNLESS NOTED OTHERWISE. COORDINATE ALL ITEMS NOT SHOWN OR NOTED WITH OWNER AND/OR DESIGNER, INCLUDING BUT NOT LIMITED TO FINISHES, COLORS, CABINETS, HARDWARE, FIXTURES, ETC.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO FOLLOW AND COORDINATE PER THE MANUFACTURER'S PRINTED INSTRUCTIONS, SPECIFICATIONS AND INSTALLATION DETAILS THE INSTALLATION OF ALL BUILDING PRODUCTS (INTERIOR AND EXTERIOR), FIXTURES, EQUIPMENT, ETC., OR FOLLOW THE INDUSTRY STANDARD DETAILS FOR ALL THE CONDITIONS NOT SHOWN ON THE DRAWINGS FOR PROPER EXECUTION OF THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. THE DESIGN AGENCY MUST BE NOTIFIED IN WRITING TO PROVIDE ADDITIONAL DETAILS, SPECIFICATIONS OR INFORMATION PER REQUEST OF THE GENERAL CONTRACTOR OR OWNER FOR PROPER EXECUTION OF THE WORK.

CONSTRUCTION PHASE:

THE DESIGNER SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY UNDER CONTRACT FOR CONSTRUCTION. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR CONTRACTOR'S SCHEDULES OR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.

MATERIAL SPECIFICATION NOTE:

THE DESIGNER DOES NOT RECOMMEND OR SPECIFY USE OF ANY TYPE OF 'STUCCO PRODUCTS' OR EXTERIOR INSULATED AND FINISH SYSTEM (EIFS) FOR THE EXTERIOR OF THE HOUSE. THE DESIGNER WILL NOT BE LIABLE FOR ANY KIND OF DAMAGES TO THE BUILDING (STRUCTURAL OR COSMETIC) IF THE OWNER OR THE CONTRACTOR DECIDE TO USE SUCH PRODUCTS.

GENERAL FLOOR PLAN NOTES:

- WINDOW SIZES & ROUGH OPENINGS TO BE VERIFIED BY CONTRACTOR.
- WINDOWS THAT ARE BOTH WITHIN 24 INCHES OF A DOOR IN A CLOSED POSITION AND WITHIN 60 INCHES OF THE FLOOR SHOULD BE TEMPERED.
- WINDOWS IN ENCLOSURES FOR BATHTUBS, SHOWERS, HOT TUBS, WHIRLPOOLS, SAUNAS AND STEAM ROOMS WHERE THE GLASS IS WITHIN 60 INCHES ABOVE A DRAIN INLET SHOULD BE TEMPERED.
- WINDOWS WITH A PANE LARGER THAN NINE SQUARE FEET, HAVING A BOTTOM EDGE CLOSER THAN 18 INCHES TO THE FLOOR AND A TOP EDGE HIGHER THAN 36 INCHES ABOVE THE FLOOR SHOULD BE TEMPERED.
- FIREBLOCK ALL PLUMBING PENETRATIONS AND STAIR RUNS.
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
- TOP OF HANDRAILS SHALL BE PLACED AT 36" ABOVE THE NOSING OF TREADS & LANDINGS THE NOSING OF TREADS AND LANDINGS, HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE HANDGRIP PORTION SHALL NOT BE LESS THAN 1 1/4" NOR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION. PROVIDE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL.
- PREFABRICATED FIREPLACES, CHIMNEYS AND RELATED COMPONENTS TO BEAR U.L. OR I.C.B.O. SEAL OF APPROVAL AND TO BE INSTALLED PER MANUFACTURER'S SPECIFICATION.
- ELEV. OF FLOOR OR LAND 1 1/2" MAX (OR 1 3/4" MAX FOR INSING DR) BELOW THRESHOLD IS REGD FROM THE REGD EXIT DOOR, WHERE DOOR IS NOT THE REGD EXIT DOOR A STAIRWAY OF 2 OR FEWER RISERS IS PERMITTED WHERE DOOR DOES NOT SWING OVER RISER.

CEILING VENTILATION:

THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF SPACE TO BE VENTILATED, EXCEPT THAT THE AREA MAY BE 1/500 OF THE AREA IF AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE VENTS. THE OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.

- 110V S.D. SMOKE & CARBON MONOXIDE COMBO DETECTORS TO BE INSTALLED AS REQUIRED PER IRC R313.3. SMOKE DETECTORS TO BE INTERCONNECTED AND POWERED BY PREMISE WIRING AND HAVE BATTERY BACKUP.

DOMESTIC KITCHENS	
RANGE HOODS/DOWNDRAFT EXHAUST.	150 CFM FAN
BATHROOMS/ TOILET ROOMS	
ROOMS CONTAINING BATH AND SPA FACILITIES. (STATIC PRESSURE SHALL BE RATED AT 0.10-INCH WATER GAUGE FOR INTERMITTENT FANS.)	MIN. 80 CFM INTERMITTENT OR 20 CFM CONTINUOUS
TOILET ROOMS WITHOUT BATHING OR SPA FACILITIES, WHEN NOT PROVIDED WITH NATURAL VENTILATION IN ACCORDANCE WITH SECTION R303.3.2.	MIN. 50 CFM

MISCELLANEOUS NOTES:

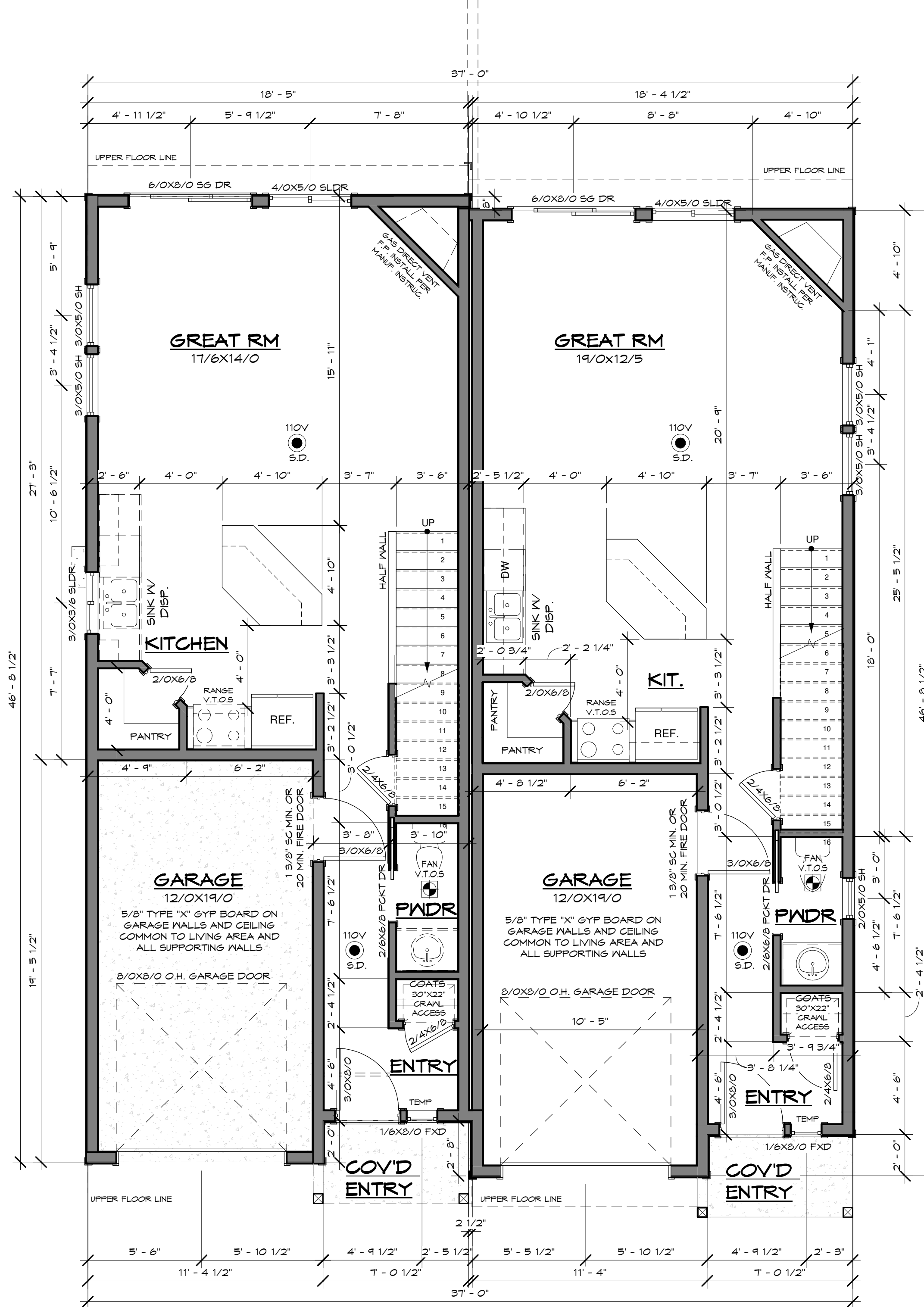
- EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM WIDTH OF 20 IN. AND A SILL LESS THAN 44 IN. ABOVE FIN. FLR.
- ALL WINDOWS WITHIN 18 IN. OF THE FLOOR, AND WITHIN 12 IN. OF ANY DOOR ARE TO HAVE TEMPERED GLAZING SKYLIGHTS ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON INSIDE (UNLESS FLEXIGLASS). GLASS TO HAVE MAXIMUM CLEAR SPAN OF 25 IN., AND FRAME IS TO BE ATTACHED TO A 2X CURB WITH A MINIMUM OF 4 IN. ABOVE ROOF PLANE.
- ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS.
- ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHER STRIPPING. PROVIDE 1 IN. DEADBOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10 FT. (VERTICAL) OF GRADE. PROVIDE PEEP-HOLE 54 - 66 N. ABOVE FIN. FLOOR ON EXTERIOR ENTRY DOORS.
- CONNECT ALL SMOKE DETECTORS (SEE PLAN FOR LOCATION) TO HOUSE ELECTRICAL SYSTEM AND INTERCONNECT EACH ONE, SO THAT WHEN ANY ONE IS TRIPPED, THEY WILL ALL SOUND.
- PROVIDE COMBUSTION AIR VENTS (W/ SCREEN AND BACK DAMPER) FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCES WITH AN OPEN FLAME.
- BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 4 AIR EXCHANGES PER HOUR. RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE.
- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.C.O. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.

AREA CALCS: (LEFT UNIT)

MAIN FLOOR	=	633	SQ. FT.
UPPER FLOOR	=	863	SQ. FT.
TOTAL	=	1496	SQ. FT.
GARAGE + SHOP	=	238	SQ. FT.

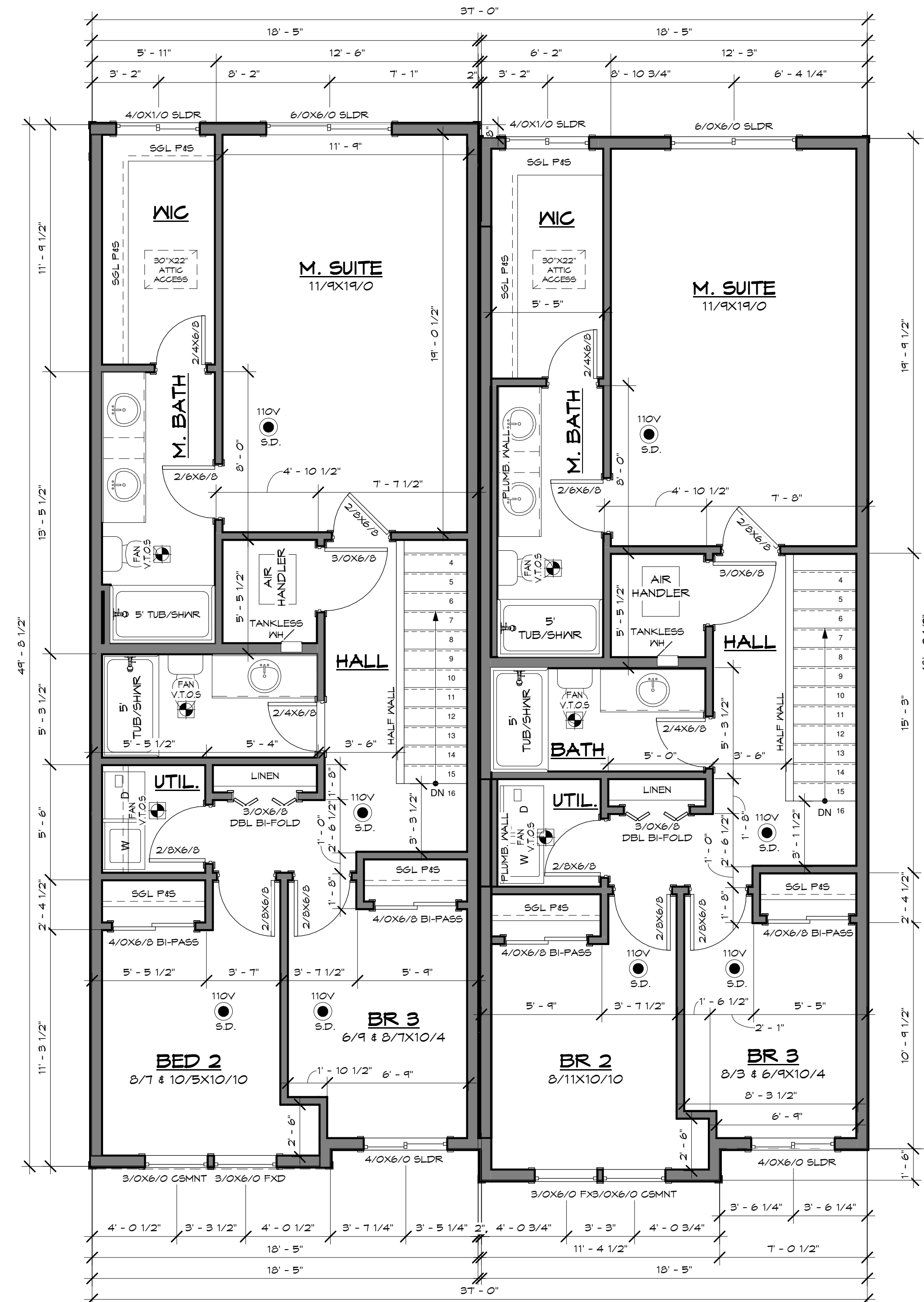
AREA CALCS: (RIGHT UNIT)

MAIN FLOOR	=	634	SQ. FT.
UPPER FLOOR	=	863	SQ. FT.
TOTAL	=	1497	SQ. FT.
GARAGE	=	238	SQ. FT.



MAIN FLOOR PLAN

1/4" = 1'-0"



UPPER FLOOR PLAN

1/4" = 1'-0"



COUCH STREET DUPLEX

FILE NAME :
1497/1496-40-ST-L
DRAWN BY:
E DRAFTING
SCALE:
1/4" = 1'-0"
PLOT DATE :
6/15/2023
2:53:07 PM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

SHEET
Floor Plans

A3

**BEFORE THE LAND USE HEARINGS EXAMINER
FOR THE CITY OF CAMAS, WASHINGTON**

Regarding an application by Nick Jones for conditional use permit approval to construct a duplex residence in a single-family residential zone on the west side of NW Couch Street, in the City of Camas, Washington) **FINAL ORDER**
)
) **CUP22-04**
) **(Couch Street Duplex)**

A. SUMMARY

1. The applicant, Nick Jones, requests Conditional Use Permit (“CUP”) approval to build a duplex residence in a single-family residential zone. The duplex is proposed on a 5,001 square foot parcel located on the west side of NW Couch Street, north of NW 12th Avenue, known as tax account no. 986060-366 (the “site”). The site is currently vacant. The site and surrounding properties are zoned R-7.5 (Single-Family Medium, 7,500 square foot minimum lot size). There are several other multi-family (duplex and fourplex) residences in the surrounding neighborhood. Additional basic facts about the site and surrounding land and applicable approval standards are provided in the Staff Report to the Hearing Examiner (the "Staff Report").

2. No one else testified orally or in writing.

3. Based on the findings provided or incorporated herein, the examiner approves the application subject to the conditions at the conclusion of this final order.

B. HEARING AND RECORD HIGHLIGHTS

1. The examiner received testimony at a public hearing about this application on June 29, 2023. All exhibits and records of testimony are filed at the City of Camas. At the beginning of the hearing, the examiner described how the hearing would be conducted and how interested persons could participate. The examiner disclaimed any *ex parte* contacts, bias or conflicts of interest. The following is a summary by the examiner of selected testimony and evidence offered at the public hearing.

2. City planner Yvette Sennewald summarized the Staff Report. She noted that the site and all surrounding properties are zoned R-7.5. The surrounding neighborhood contains a variety of size, style, and density or residential development, including several multi-family (duplex and fourplex) dwellings. The applicant will be required to provide five-foot L1 buffer on the boundaries of the site to buffer the duplex from surrounding R-7.5 zoned properties.

3. The applicant, Nick Jones, accepted the findings and conditions in the Staff Report without exception.

4. No one else testified at the hearing. The examiner closed the record and announced his intention to approve the application subject to recommended conditions.

C. DISCUSSION

1. City staff recommended approval of the application, based on the affirmative findings and subject to conditions of approval in the Staff Report. The applicant accepted those findings and conditions without exceptions.

2. The Examiner finds that the Staff Report identifies all of the applicable approval standards for the application and contains sufficient findings showing the application does or can comply with those standards subject to conditions of approval. These findings were not disputed and are supported by substantial evidence in the record. The Examiner adopts the findings in the Staff Report as his own.

D. CONCLUSION

Based on the above findings and discussion provided or incorporated herein, the examiner concludes that CUP22-04 (Couch Street Duplex) should be approved, because it does or can comply with the applicable standards of the Camas Municipal Code, the Revised Code of the State of Washington.

E. DECISION

Based on the findings, discussion, and conclusions provided or incorporated herein and the public record in this case, the examiner hereby approves CUP22-04 (Couch Street Duplex), subject to the following conditions of approval:

CONDITIONS OF APPROVAL

STANDARD CONDITIONS OF APPROVAL

1. Final engineering site improvement plans shall be prepared in accordance with the Camas Design Standards Manual (CDSM) and CMC 17.19.040.
 - a. Per CMC 17.19.040.C.a: All utilities designed to serve the development shall be placed underground.
2. The final engineering site plans shall be prepared by a licensed civil engineer in Washington State and submitted to the City's Community Development (CDEV) Engineering Department for review and approval.
 - a. CDEV Engineering is responsible for plan review (PR) and construction inspection (CI) of all the civil site improvements outside of building footprints.
3. Contact CDEV Project Manager for submittal requirements for CDEV Engineering's first review process.
4. CDEV shall collect a total 3% plan review and construction inspection (PR&CI) fee for the proposed development improvements outside of the building footprints. The following submittals are required:

- a. A preliminary engineer's estimate is to be submitted prior to or with first review submittal.
 - b. The 3% fee is based on a stamped engineer's estimate.
 - c. Payment of the 3% plan review (PR) 2% construction inspection (CI) fee is to be paid prior to release of the approved construction drawings by CDev Engineering Dept.
 - d. Under no circumstances will the applicant be permitted to begin construction prior to final engineering plan approval.
5. In addition to approved civil engineering site plans, work within the right-of-way (ROW) will require a General Encroachment permit, issued by Development (CDev) Engineering.
 - a. A traffic control plan (TCP) is to be submitted with the encroachment permit for review and approval, prior to working within the right-of-way on NW Couch Street.
 6. Regulations for installation of public improvements, improvement agreements, bonding, final platting, and final acceptance shall be found in CMC 17.21.
 7. In the event that any item of archaeological interest is uncovered during the course of a permitted ground disturbing action or activity, all ground disturbing activities shall immediately cease, and the applicant shall notify the City, the tribes, and DAHP.
 8. A building permit shall be required prior to commencement of construction of a building structure.
 9. A building permit shall not be issued prior to completion of site improvements, unless otherwise approved by the Director.
 10. At the time of building permit issuance, the applicant shall pay the appropriate impact fees in accordance with the provisions of CMC 3.88.
 11. Prior to final acceptance, the applicant shall remove all temporary erosion prevention and sediment control measures from the site at completion of all site improvements, which includes stabilization of all disturbed soil, prior to issuance of Final Acceptance from CDEV Engineering.
 12. As a component for final acceptance, final as-built construction drawing submittals shall meet the requirements of the Camas Design Standards Manual (CDSM).
 - a. The as-built cover sheet is to be the originally approved cover sheet signed by the City Engineer.
 - b. As-builts are to be submitted as PDFs.
 - c. As-builts are to be submitted in either AutoCad or Carlson formats.

13. Per CMC 17.21.050.B.2 and prior to final acceptance a 2-year warranty maintenance bond is to be submitted for all public improvements.
 - a. Per CMC 17.21.070.A Upon final acceptance of the development improvements the two- year (2) warranty bond commences.
14. Per CMC 17.21.070.E A letter of final acceptance will be issued once all items listed in 17.21.070.B-C have been completed, submitted, reviewed, and approved by the city.
15. Per CMC 18.18.070.B, prior to issuance of final occupancy permits, all public and private improvements shall be completed in accordance with CMC 17.21.070 Final Acceptance.
16. Unless construction of this site commences within two (2) years of issuance of this decision, this permit will expire.

SPECIAL CONDITIONS OF APPROVAL

Planning:

17. Prior to engineering plan approval, a final landscape plan consistent with the landscaping standards in CMC 18.13.050 and the Camas Design Manual planting specifications shall be submitted to the city for review and approval.
18. If any trees are proposed to be planted along streetscapes with overhead power lines, the landscape plan shall include only those trees identified on the City's Tree list.
19. The final landscape plan shall show either a 5-foot L1 landscape buffer or a 6-foot-high fence where adjacent to single-family residentially zoned properties.
20. The property owner is responsible for replacing the trees if they fail to survive, therefore appropriate measures shall be taken to ensure the trees survival. If a tree is removed or dies, it must be replaced within one year by the property owner.
21. Trees shall be installed prior to final occupancy.
22. Exterior lighting shall be shielded or hooded from neighboring properties.
23. If any signs are to be located on buildings or incorporated into the landscaping, they shall be unobtrusive and vandal resistant. If illuminated, they are to be front lit.

Engineering: [Roads]

24. Prior to final engineering plan approval, the applicant shall submit revised plans that include a provision for removal and replacement of the existing damaged and worn curb along the frontage.

[Water]

No Special Conditions

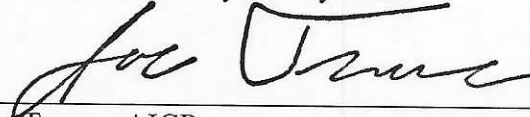
[Sanitary Sewer]

No Special Conditions

[Storm Drainage]

25. Prior to final engineering plan approval, the preliminary stormwater report (TIR) shall be revised to include the LID check lists from Ecology's *Stormwater Management Manual for Western Washington* and revise the discussion to reference the proposed duplex and not a single-family residence.
26. prior to final engineering plan approval, the applicant should submit revised plans with roof downspouts and crawl spaces hard piped to weep holes in the new curb, to all of for stormwater to flow south via the gutter to the existing catch basin at the corner of NW Couch Street and NW 12th Avenue.
27. This permit shall expire two (2) years from the date of the final decision per CMC 18.55.260 if no building plans are submitted.

DATED this 3rd day of July 2023.



Joe Turner, AICP

City of Camas Land Use Hearings Examiner

Couch Street Duplex (CUP22-04)

Index of Exhibits

Exhibit No.	Title/Description	Date Submitted
1	Application Form and Fees	12/7/22
2	Applicants Narrative	12/7/22
3	Pre-Application Conference Notes	8/8/22
4	Site Plan	6/10/22
5	Plans	6/13/22
6	Plan Set 3 rd Submittal	2/24/23
7	Vicinity Map	
8	Aerial with Neighboring Plexes	5/18/23
9	Elevations	6/13/22
10	Landscape Plan	12/7/22
11	Building Colors	12/7/22
12	Mailing Labels	12/7/22
13	Incomplete Review Letter	1/20/23
14	Second Submittal Review Letter	2/10/23
15	Completeness Review Letter	2/28/23
16	Development Sign Posting Confirmation	3/29/23
17	Design Review Meeting Notice	
18	Design Review Staff Report	5/9/23
19	Design Review Checklist	5/18/23
20	Notice of Application and Public Hearing	6/15/23
21	Affidavit of Mailing Notice of Application and Public Hearing	6/15/23
22	Revised Site Plan	6/16/23
23	Revised Building Elevations and Floor Plan	6/15/23