



**Planning & Zoning Commission
Agenda**

Tuesday, December 03, 2024
6:00 PM

City Hall - 141 W. Renfro
Burleson, TX 76028

1. **CALL TO ORDER**

Invocation

Pledge of Allegiance

Texas Pledge:

Honor the Texas Flag, I pledge allegiance to thee, Texas, one state under God; one and indivisible

2. **CITIZEN APPEARANCES**

Other than public hearings, citizens in attendance who desire to speak to the Planning and Zoning Commission may speak during this section. Each person will be allowed three (3) minutes to speak and will not be interrupted by the Commission or staff. If you would like to speak, please fill out a speaker card and give the completed card to the City staff prior to addressing the Commission. Please note that the Commission may only take action on items posted on the agenda. The Texas Open Meetings Act prohibits the Commission from deliberating or taking action on an item not listed on the agenda. Please also note that speakers who desire to speak on an item listed for public hearing will address the Commission during the public hearing and consideration of that particular agenda item.

3. **CONSENT AGENDA**

All items listed below are considered to be routine by the Planning and Zoning Commission and will be enacted with one motion. There will be no separate discussion of the items unless a Commissioner or citizen so requests, in which event the item will be removed from the consent agenda and considered in its normal sequence. Approval of the consent agenda authorizes the Development Services Director to place each item on the City Council agenda in accordance with the Planning and Zoning Commission's recommendations.

A. Consider approval of the minutes from November 12, 2024 Planning & Zoning Commission meeting.

4. **PUBLIC HEARING**

5. **REPORTS AND PRESENTATIONS**

6. **GENERAL**

A. Chick-fil-A at 111 NW John Jones (Case 24-326): Consider a recommendation of approval for a resolution for a commercial site plan amendment with a variance to Section 132-115;

Accessory building and structure yard regulations; pertaining to drive-thru canopies. (Staff Contact: Lidon Pearce, Principal Planner)

- B. Consider approval of a minute order setting the Planning and Zoning Commission meeting dates for calendar year 2025. (Case 24-355) (Staff Contact: Emilio Sanchez, Development Services Assistant Director)

7. **COMMUNITY INTERESTS ITEMS**

8. **EXECUTIVE SESSION**

In accordance with Chapter 551 of the Texas Government Code, the Commission may convene in Executive Session in the City Council Workroom in City Hall to conduct a closed meeting to discuss any item listed on this Agenda.

- A. **Pending or Contemplated Litigation or to Seek the Advice of the City of Attorney Pursuant to Section 551.071**

9. **ADJOURN**

Staff Contact

Tony McIlwain
Director of Development Services
817-426-9684

CERTIFICATE

I hereby certify that the above agenda was posted on this the 26th of November 2024, by 5:00 p.m., on the official bulletin board at the Burleson City Hall, 141 W. Renfro, Burleson, Texas.



Amanda Campos

City Secretary

ACCESSIBILITY STATEMENT

The Burleson City Hall is wheelchair accessible. The entry ramp is located in the front of the building, accessible from Warren St. Accessible parking spaces are also available in the Warren St. parking lot. Sign interpretative services for meetings must be made 48 hours in advance of the meeting. Call the A.D.A. Coordinator at 817-426-9600, or TDD 1-800-735-2989.

Planning & Zoning Commission Meeting

DEPARTMENT: Development Services
FROM: Lidon Pearce, Principal Planner
MEETING: December 3, 2024

SUBJECT:

Chick-fil-A at 111 NW John Jones (Case 24-326): Consider a recommendation of approval for a resolution for a commercial site plan amendment with a variance to Section 132-115; Accessory building and structure yard regulations; pertaining to drive-thru canopies. (*Staff Contact: Lidon Pearce, Principal Planner*)

SUMMARY:

On October 28, 2024, a commercial site plan amendment with a variance to allow a drive-thru canopy in the front yard setback was submitted by Michelle Kucaba representing Interplan, LLC on behalf of Chick-fil-A, INC. (owners).

DEVELOPMENT OVERVIEW:

The owners are proposing the construction of a multi-lane canopy over the existing drive-thru pavement adjacent to the building elevation that faces John Jones Drive. The commercial site plan has been attached as part of the proposed resolution, "Exhibit 3". The applicants request and justification are attached as "Exhibit 4".

The subject property has an existing drive thru along John Jones, which is located in the designated front yard setback for this site. If allowed, the requested canopy would be approximately 3 and ½ feet from the John Jones property line. The zoning code does not allow for the construction of an accessory structure within the front yard setback (20 feet). According to the Zoning Ordinance Sec. 132-115 Accessory, building and structure yard regulations; detached accessory structures shall not be located in the front yard. Of note, gasoline service pump canopies are allowed in the front yard setback but shall be no closer than 10 feet to the property line.

If the variance is not approved by City Council, then the applicant shall submit a revised commercial site plan to staff reflecting the approved or disapproved resolution(s) related to the requested variance. The commercial site plan amendment will not be approved by staff until all conditions relating to all Council approved resolutions have been met.

Site Plan Conformance

<i>Required</i>	<i>Staff's Findings</i>
<u>Lot Size, Coverage and Setbacks</u> Specific lot information as shown on site plan	Complies. Site plan is in compliance with all development regulations with the exception of the canopy request.
<u>Landscaping –</u> 20% of Total Site shall be landscaped: 11,128 S.F.	Complies. Landscaping proposed: 13.923 S.F.
<u>Parking Requirement –</u> 1 space for every 3 seats	Complies. Parking provided: 45 spaces and has an existing parking agreement with HEB

Engineering:

Engineering civil construction reviews will be required prior to the development of the site.

RECOMMENDATION:

Recommend approval to City Council for a resolution for the commercial site plan amendment with a variance to Section 132.

PRIOR ACTION/INPUT (Council, Boards, Citizens):

N/A

REFERENCE:

[City of Burleson, TX SUPPLEMENTAL REGULATIONS \(ecode360.com\)](http://ecode360.com)

FISCAL IMPACT:

None

STAFF CONTACT:

Lidon Pearce, CNU-A, AICP
 Principal Planner
lpearce@burlesontx.com
 817-426-9649

Site Plan – Chick-fil-A

Location:

- 111 NW John Jones Dr

Applicant:

Michelle Kucaba (Interplan) authorized agent on behalf of Chick-fil-A (owner)

Item for approval:

Commercial site plan amendment with a variance for a drive-thru canopy in the front yard setback (Case 24-326).



Site Plan – Chick-fil-A

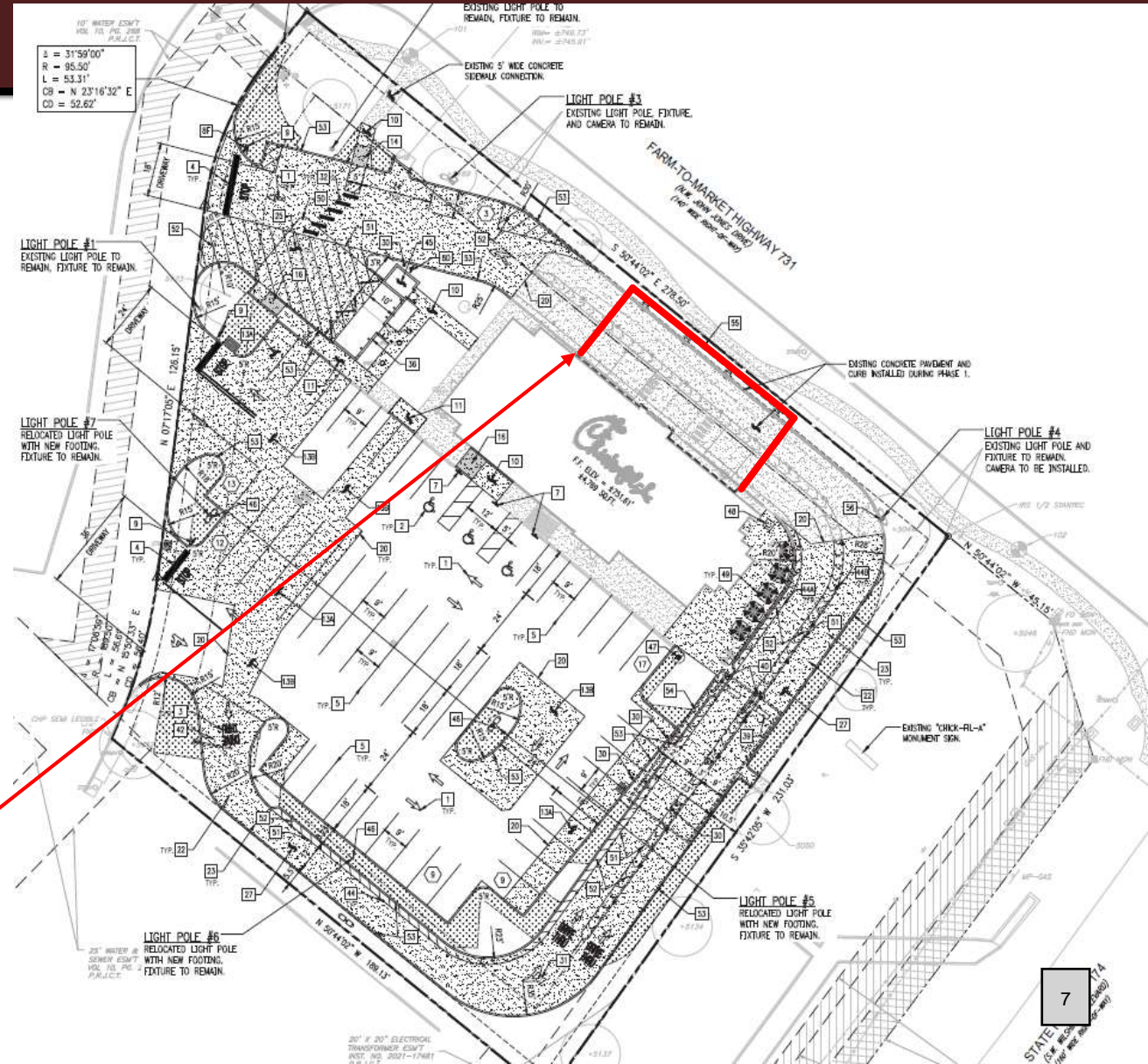
Site Plan Amendment(s):

- Parking spaces reoriented
- Light poles relocated
- Relocation of trash enclosure
- Relocation of menu order board and canopy
- Drive thru canopy to be removed and new one built to cover 2 meal delivery lanes



Landscape Calculations for the City of Burleson				
General Landscape requirements	Required		Proposed	
Minimum 20% of total lot area must be Landscape	11,128.60	(0.26 AC)	13,923	(0.32 AC)
40% of total Landscape located in front yard	4,451.44	(0.10 AC)	7,384	(0.17 AC)
Grass and/or GC shall not be over 90% of landscape	10,015.74	(0.23 AC)	8206	(0.19 AC)
Total Area = 55,643 (1.28 AC)				

Site Plan – Chick-fil-A



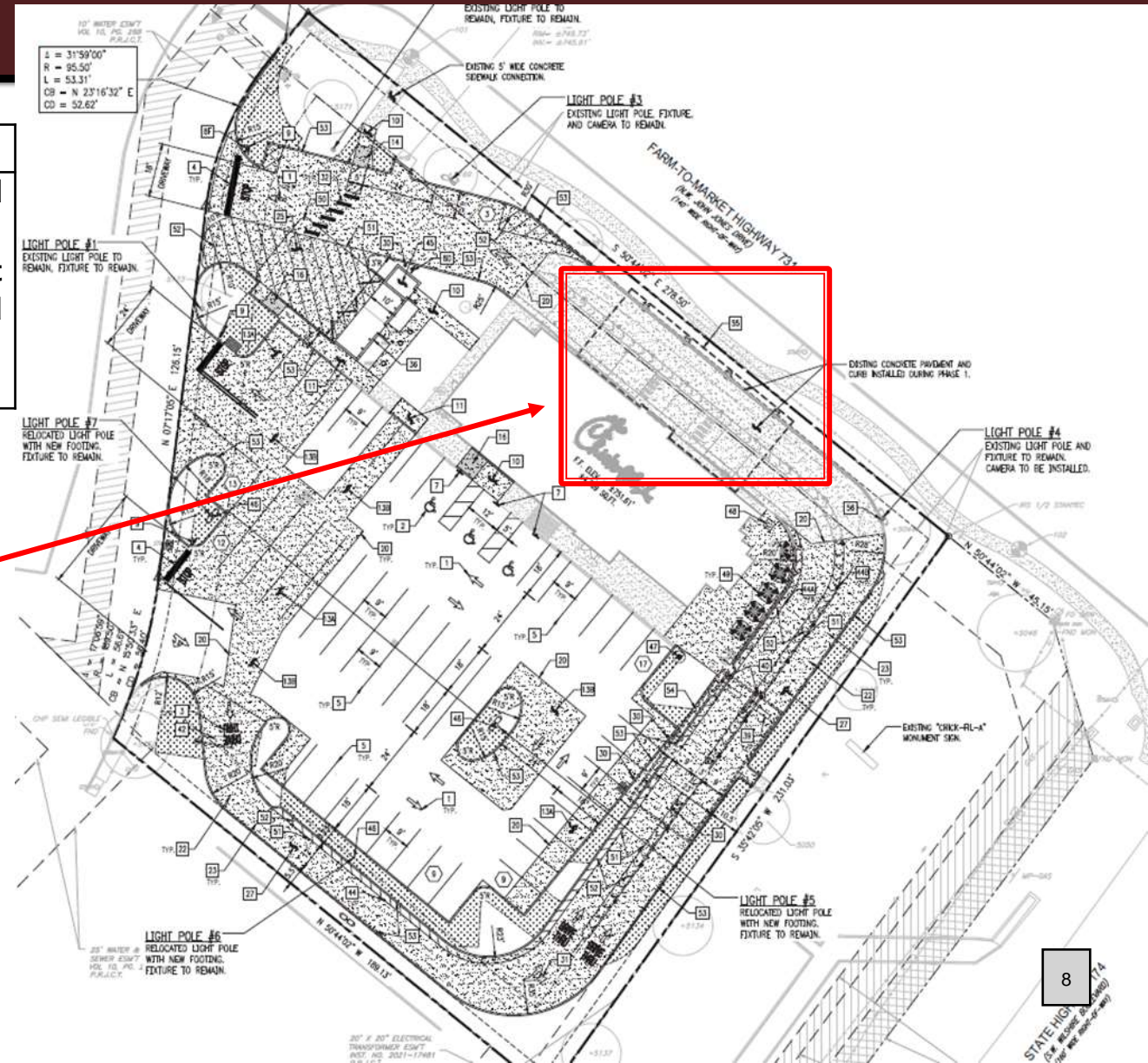
Requested canopy (variance) shown in red

Variance- Chick-fil-A

Variance Requested

Appendix B, Section 132-115; Accessory building and structure yard regulations

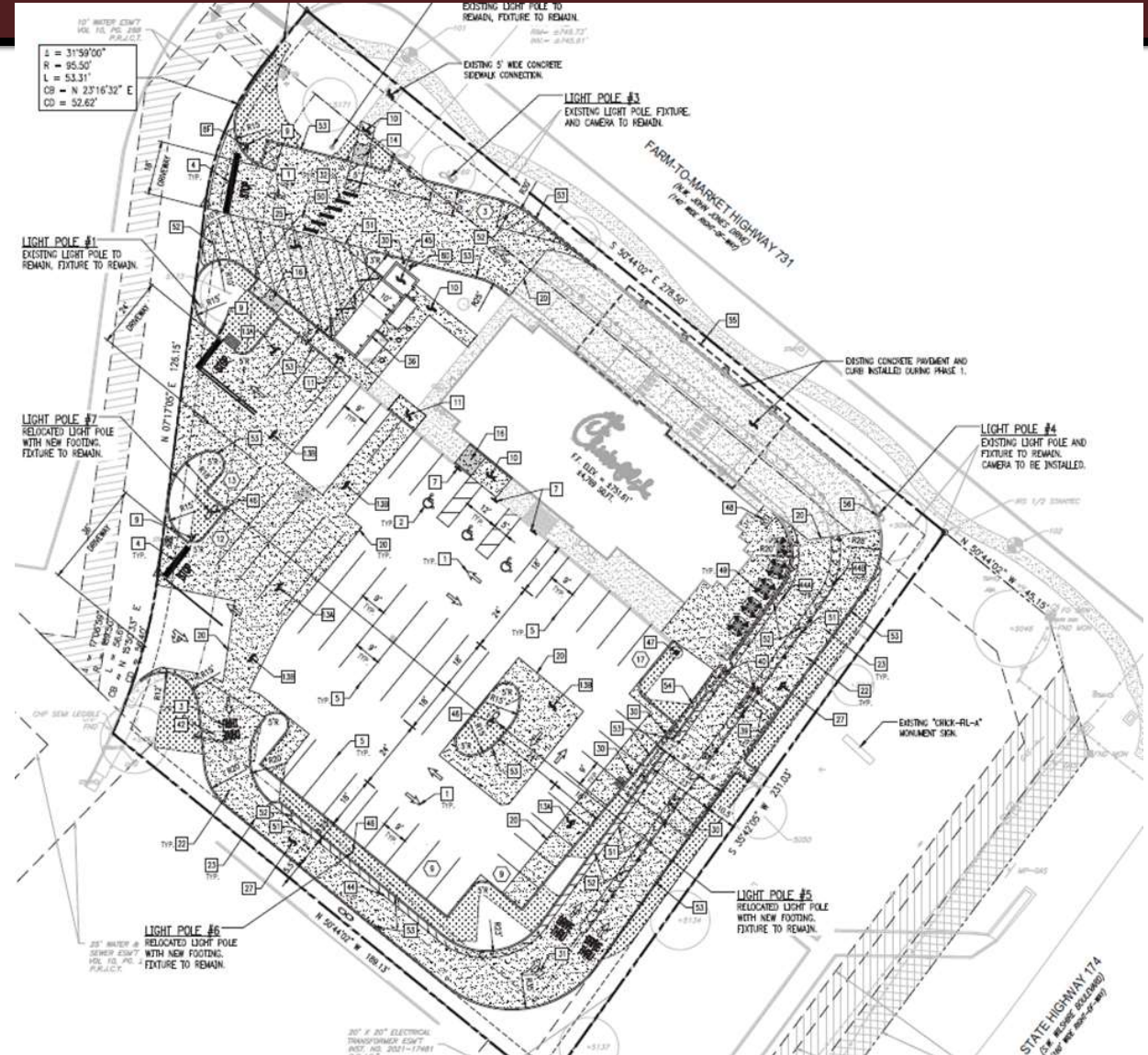
- Requesting a drive thru canopy along frontage of John Jones Drive that is forward of the main building and within the 20 ft minimum front yard setback



Site Plan – Chick-fil-A

Staff's Recommendation

Staff recommends approval of the resolution for the site plan amendment with a variance for a canopy within the front yard setback.





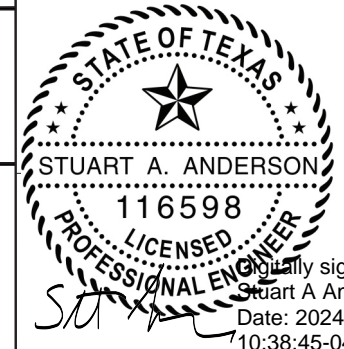
Chick-fil-A
Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998

INTERPLAN
INTERPLAN LLC
F-3219

ARCHITECTURE
ENGINEERING
PERMITTING

220 E. CENTRAL PKWY., STE 4000
ALPHARETTA, GEORGIA 30701
407.645.5008

SEAL:



Digitally signed by
Stuart A. Anderson
Date: 2024.10.28
10:38:45-04'00'

CHICK-FIL-A
SOUTH BURLESON
111 NW. JOHN JONES DRIVE
BURLESON, TX. 76028

FSR#02786

BUILDING TYPE / SIZE: SBOC - R
RELEASE: v23.08
PRINTED FOR: v23.08

CONCEPT

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 2024.0627
DATE 10/20/24
DRAWN BY MJ
CHECKED BY FAR

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design professional responsible for the project.
SHEET

DEMOLITION PLAN

SHEET NUMBER

C-1.2

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DEMOLITION NOTES

- PRIOR TO COMMENCEMENT OF DEMOLITION THE CONTRACTOR WILL COORDINATE HIS ACTIVITIES WITH ALL THE UTILITY COMPANIES SERVING THIS AREA. CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
- THE CONTRACTOR IS TO COMPLETELY REMOVE AND DISPOSE OF ALL STRUCTURES AND BUILDINGS THAT ARE SO INDICATED INCLUDING FOUNDATIONS, TIMBER AND BRUSH, EXCEPT AS OTHERWISE INDICATED. STUMPS AND ROOTS, EXISTING PAVEMENT, OTHER STRUCTURES AS SHOWN OR REASONABLY IMPLIED IN THE DRAWINGS.
- EXCEPT IN AREAS WHERE EXISTING TREES SHALL BE PRESERVED, A MINIMUM DEPTH OF REMOVAL SHALL BE (2) FOOT BELOW SUBGRADE IN ROADWAY AREAS AND TO ORIGINAL SOILS ELSEWHERE. WHERE EXISTING BUILDINGS ARE TO BE DEMOLISHED, ALL TRACES OF FOUNDATIONS AND UNDERGROUND UTILITIES ARE TO BE REMOVED (UNLESS OTHERWISE NOTED ON PLANS). THE CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL WASTE MATERIAL.
- WHERE PAVING OR STRUCTURES ARE TO BE REMOVED WHICH ABUT OR ARE A PART OF CONNECTED FACILITIES (THAT ARE OFF-SITE), RESTORATION OF ANY DAMAGE THAT MIGHT RESULT FROM DEMOLITION IS TO BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- THE LOCATION OF ALL EXISTING UTILITIES, STORM DRAINAGE AND TREES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER OR ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. PRIOR TO THE START OF DEMOLITION THE CONTRACTOR SHALL VISIT THE SITE AND DETERMINE THE EXISTENCE & LOCATION OF ALL STRUCTURES, UTILITIES & TREES SHOWN OR NOT ON THE PLANS, WHICH WOULD NEED TO BE REMOVED OR PRESERVED.
- THE CONTRACTOR IS TO COORDINATE THE RELOCATION OR REMOVAL OF ALL OVERHEAD/UNDERGROUND UTILITIES, UTILITY POLES, LIGHTS AND LINES IN THE RIGHT-OF-WAY AND ON THE PROPERTY WITH THE APPROPRIATE SERVICE PROVIDER.
- THE CONTRACTOR SHALL REFERENCE AND RESTORE PROPERTY CORNERS AND LAND MARKERS DISTURBED DURING CONSTRUCTION. (UNDER THE DIRECTION OF A STATE REGISTERED LAND SURVEYOR).

DEMOLITION KEY NOTES

① EXISTING TRAFFIC SIGN AND FOOTING TO BE REMOVED

NOTICE - PEDESTRIAN SAFETY

THE CONTRACTOR SHALL TAKE NECESSARY MEASURES TO SEPARATE EACH WORK AREA FROM PEDESTRIAN TRAFFIC AND TO INSURE SAFE PEDESTRIAN PASSAGE AT ALL TIMES. THE CONTRACTOR SHALL ALSO UTILIZE SAFE WARNING SIGNS, BARRICADES AND OTHER RELATED MEASURES, AS NECESSARY. THE CONTRACTOR SHALL COORDINATE PERIODICALLY WITH THE PROJECT MANAGER TO REVIEW SAFETY CONCERNS AND ADVISE OF ACTIVE WORK AREAS.

EROSION CONTROL NOTE

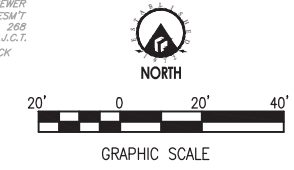
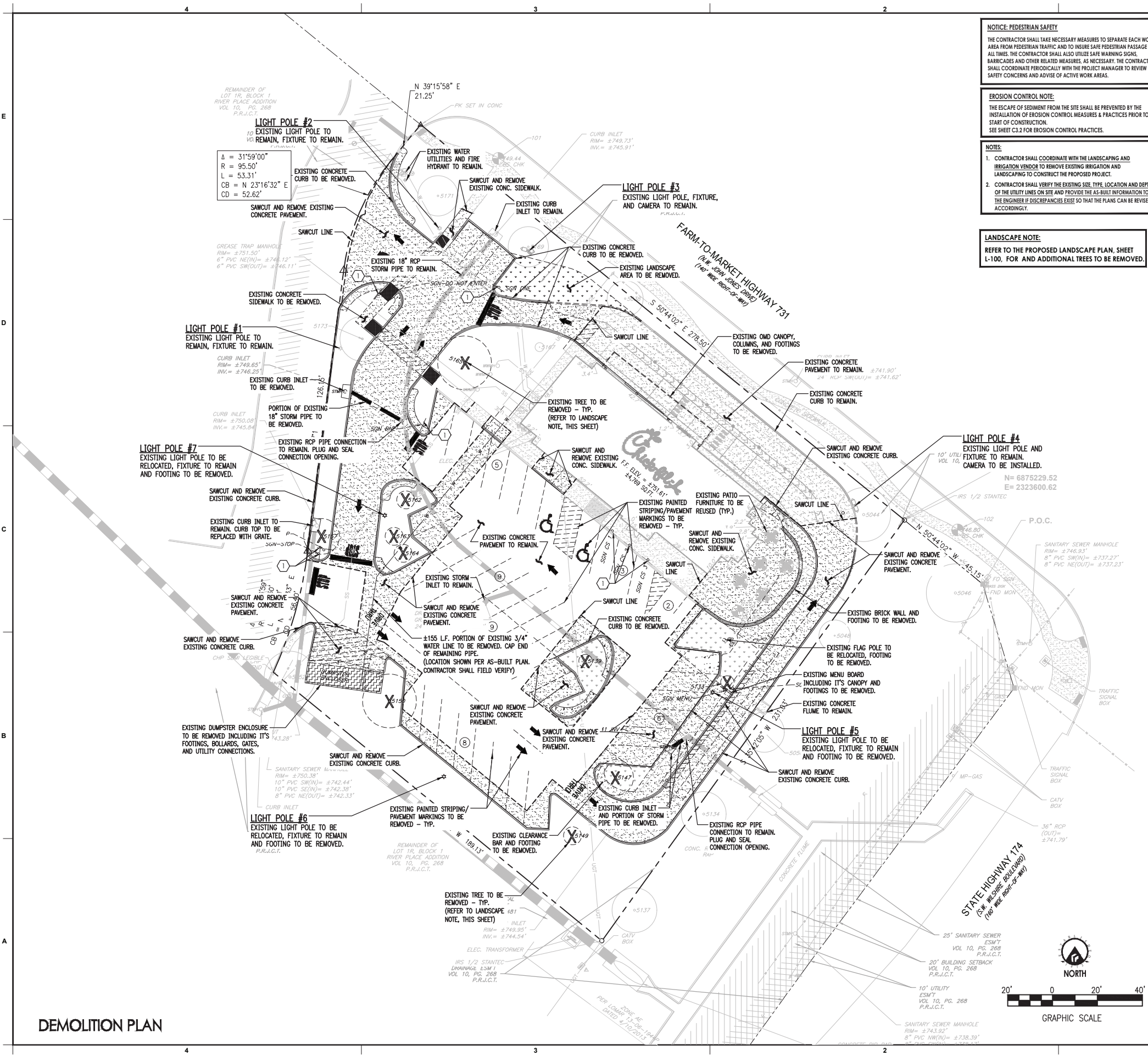
THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES & PRACTICES PRIOR TO START OF CONSTRUCTION. SEE SHEET C3.2 FOR EROSION CONTROL PRACTICES.

NOTES

- CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPING AND IRRIGATION VENDOR TO REMOVE EXISTING IRRIGATION AND LANDSCAPING TO CONSTRUCT THE PROPOSED PROJECT.
- CONTRACTOR SHALL VERIFY THE EXISTING SIZE, TYPE, LOCATION AND DEPTH OF THE UTILITY LINES ON SITE AND PROVIDE THE AS-BUILT INFORMATION TO THE ENGINEER IF DISCREPANCIES EXIST SO THAT THE PLANS CAN BE REVISED ACCORDINGLY.

LANDSCAPE NOTE

REFER TO THE PROPOSED LANDSCAPE PLAN, SHEET L-100, FOR AND ADDITIONAL TREES TO BE REMOVED.



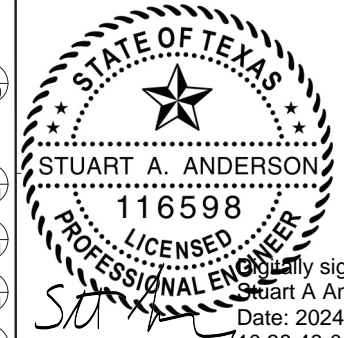
DEMOLITION PLAN



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5200 Buffington Road
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Digitally signed by Stuart A. Anderson
Date: 2024.10.28 10:38:46-04'00'

CHICK-FIL-A
SOUTH BURLESON
111 NW. JOHN JONES DRIVE
BURLESON, TX. 76028

FSR#02786

Table with columns: NO., DATE, DESCRIPTION. Includes revision schedule for CONCEPT.

CONSULTANT PROJECT # 2024.0627
DATE 10/2024
DRAWN BY MJ
CHECKED BY FAR

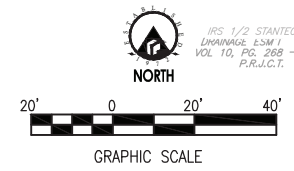
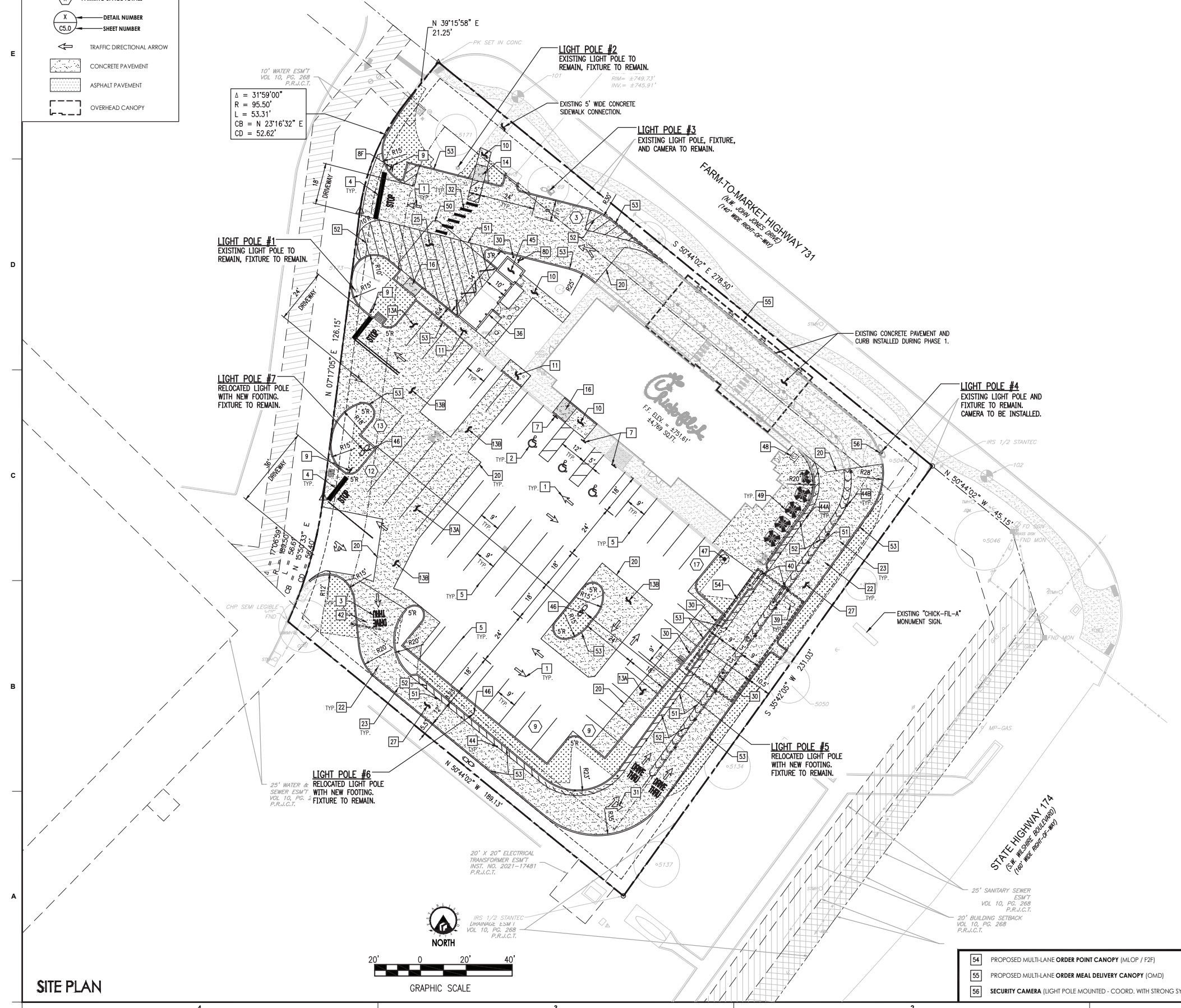
SITE PLAN
SHEET NUMBER
C-2.0
MC-JAR - 10/28/2024 10:25:41 AM

SITE PLAN DESIGN NOTES & KEY PLAN

- 1 DIRECTIONAL ARROW
2 PAINTED HANDICAP PARKING SYMBOL
3 DRIVE-THRU GRAPHICS
4 STOP LINE GRAPHIC
5 STANDARD PARKING STALL
6 BOLLARD MOUNTED SIGN
7 ACCESSIBLE PARKING SIGN
8 DIRECTIONAL SIGNAGE
... (items 9-53)

STRIPING NOTE: CONTRACTOR SHALL ERADICATE EXISTING STRIPING WITH EITHER SAND BLASTING OR WATER PRESSURE THEN SEAL EXISTING ASPHALT BEFORE APPLYING NEW STRIPING. OR USE DOUBLE BLACKOUT PAINT OVER EXISTING STRIPING.

LEGEND
PARKING SPACE TOTALS
DETAIL NUMBER
SHEET NUMBER
TRAFFIC DIRECTIONAL ARROW
CONCRETE PAVEMENT
ASPHALT PAVEMENT
OVERHEAD CANOPY



SITE PLAN

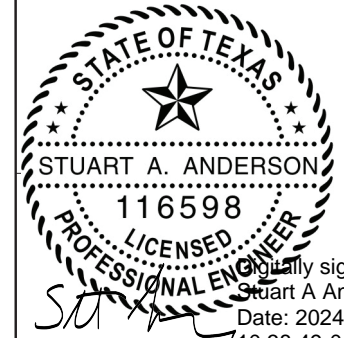


Chick-fil-A
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SOUTH BURLESON
111 NW. JOHN JONES DRIVE
BURLESON, TX. 76028

FSR#02786

BUILDING TYPE / SIZE: SBOC - R
RELEASE: PRINTED FOR v0.23.08

CONCEPT

REVISION SCHEDULE		
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DRAINAGE PLAN

SHEET NUMBER

C-3.1

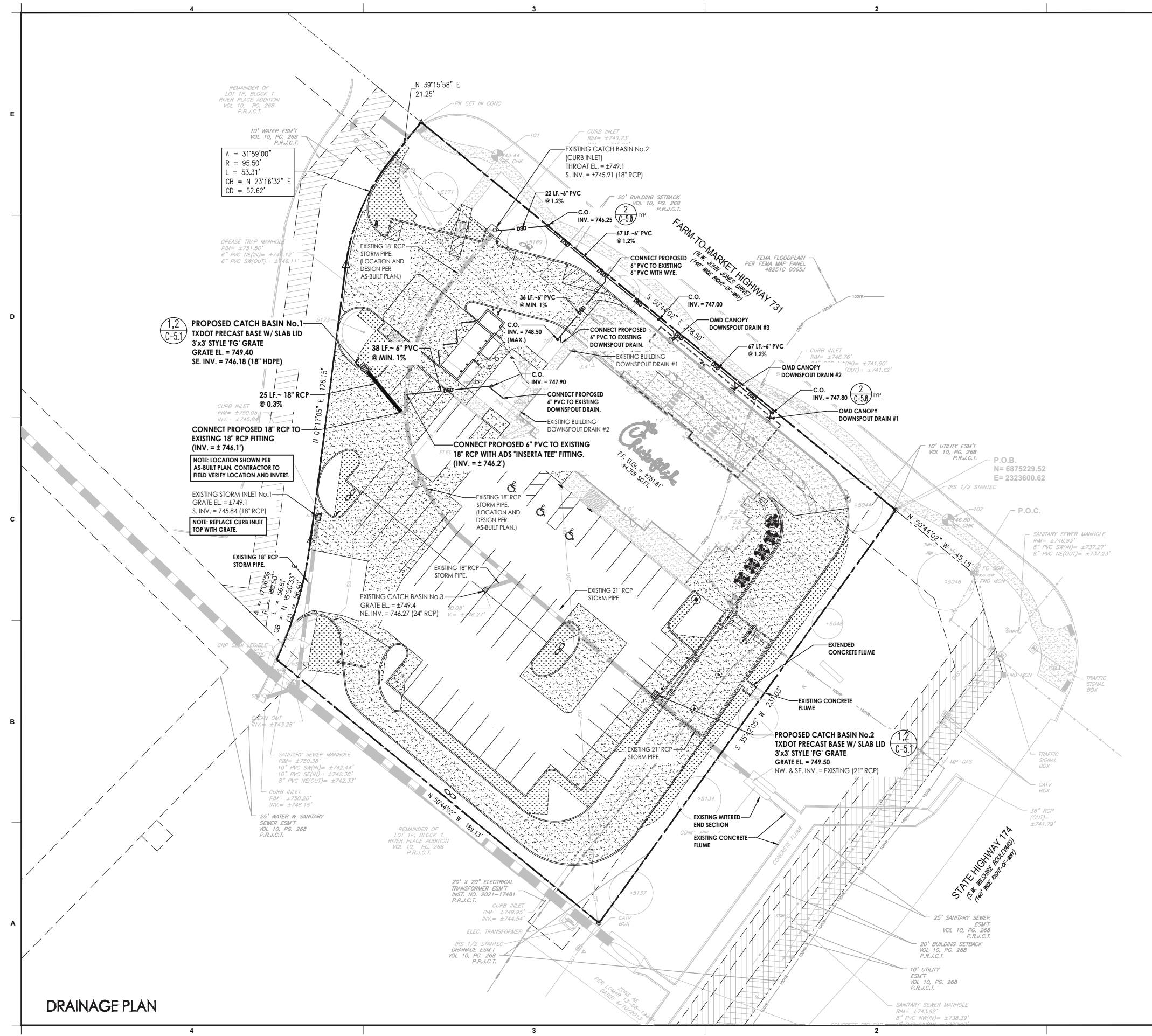
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LEGEND

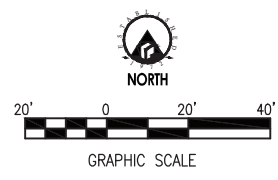
- PROPOSED SPOT ELEVATION (SEE NOTE BELOW)
- PROPOSED CONTOUR ELEVATION
- EXISTING CONTOUR (BY SURVEY)
- EXISTING SPOT-ELEVATION (APPROX.)
- DIRECTION OF FLOW AND PERCENT SLOPE
- DSD DOWN SPOUT DRAINS
- STORM SEWER
- GRADE BREAK
- BORING LOCATION (SEE GEOTECH SOILS REPORT)
- CLEANOUT (CO)
- TOP OF CURB
- BOTTOM OF CURB
- TOP OF WALL
- BOTTOM OF WALL (AT GRADE)
- MATCH EXISTING GRADING (EDGE OF PAVEMENT)
- PROPOSED INLET

NOTE: PROPOSED SPOT ELEVATIONS ARE DESIGNED TO BE AT BOTTOM OF CURB (AKA GUTTER LINE).

- ADA COMPLIANCE NOTES:
- 2% MAX. SLOPE IN ANY DIRECTION FOR HANDICAP PARKING SPACES.
 - ACCESSIBLE ROUTES (CROSSWALK AREAS) AND SIDEWALKS SHALL NOT EXCEED A 2% MAX. CROSS SLOPE OR 5% MAX. LONGITUDINAL SLOPE.



DRAINAGE PLAN





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CHICK-FIL-A
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111 NW. JOHN JONES DRIVE
BURLESON, TX. 76028

FSR#02786

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REVISION SCHEDULE

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EROSION CONTROL PLAN

SHEET NUMBER
C-3.2

MIC.JAR - 10/28/2024 10:25:55 AM

KEY NOTES:
A. FODS TRACKOUT CONTROL SYSTEM MAT.
B. FODS SAFETY SIGN.
C. ANCHOR POINT.
D. SILT OR ORANGE CONSTRUCTION FENCE.

REMOVAL:
1. REMOVAL OF FODS TRACKOUT CONTROL SYSTEM IS REVERSE ORDER OF INSTALLATION.
2. STARTING WITH THE LAST MAT, THE MAT THAT IS PLACED AT THE INNERMOST POINT OF THE SITE OR THE MAT FURTHEST FROM THE EXIT OR PAVED SURFACE SHOULD BE REMOVED FIRST.
3. THE ANCHORS SHOULD BE REMOVED.
4. THE CONNECTOR STRAPS SHOULD BE UNBOLTED AT ALL LOCATIONS IN THE FODS TRACKOUT CONTROL SYSTEM.
5. STARTING WITH THE LAST MAT IN THE SYSTEM, EACH SUCCESSIVE MAT SHOULD THEN BE MOVED AND STACKED FOR LOADING BY FORKLIFT OR EXCAVATOR ONTO A TRUCK FOR REMOVAL FROM THE SITE.

INSTALLATION:
1. THE SITE WHERE THE FODS TRACKOUT CONTROL SYSTEM IS TO BE PLACED SHOULD CORRESPOND TO BEST MANAGEMENT PRACTICES AS MUCH AS POSSIBLE. THE SITE WHERE FODS TRACKOUT CONTROL SYSTEM IS PLACED SHOULD ALSO MEET OR EXCEED THE LOCAL JURISDICTION OR STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
2. CALL FOR UTILITY LOCATES 3 BUSINESS DAYS IN ADVANCE OF THE FODS TRACKOUT CONTROL SYSTEM INSTALLATION FOR THE MARKING OF UNDERGROUND UTILITIES. CALL THE UTILITY NOTIFICATION CENTER AT 811.
3. ONCE THE SITE IS ESTABLISHED WHERE FODS TRACKOUT CONTROL SYSTEM IS TO BE PLACED, ANY EXCESSIVE UNEVEN TERRAIN SHOULD BE LEVELED OUT OR REMOVED SUCH AS LARGE ROCKS, LANDSCAPING MATERIALS, OR SUDDEN ABRUPT CHANGES IN ELEVATION.
4. THE INDIVIDUAL MATS CAN START TO BE PLACED INTO POSITION. THE FIRST MAT SHOULD BE PLACED NEXT TO THE CLOSEST POINT OF EGRESS. THIS WILL ENSURE THAT THE VEHICLE WILL EXIT STRAIGHT FROM THE SITE ONTO THE PAVED SURFACE.
5. AFTER THE FIRST MAT IS PLACED DOWN IN THE PROPER LOCATION, MATS SHOULD BE ANCHORED TO PREVENT THE POTENTIAL MOVEMENT WHILE THE ADDITIONAL MATS ARE INSTALLED. ANCHORS SHOULD BE PLACED AT EVERY ANCHOR POINT (IF FEASIBLE) TO HELP MAINTAIN THE MAT IN ITS CURRENT POSITION.
6. AFTER THE FIRST MAT IS ANCHORED IN ITS PROPER PLACE, AN H BRACKET SHOULD BE PLACED AT THE END OF THE FIRST MAT BEFORE ANOTHER MAT IS PLACED ADJACENT TO THE FIRST MAT.
7. ONCE THE SECOND MAT IS PLACED ADJACENT TO THE FIRST MAT, MAKE SURE THE H BRACKET IS CORRECTLY SITUATED BETWEEN THE TWO MATS, AND SLIDE MATS TOGETHER.
8. NEXT THE CONNECTOR STRAPS SHOULD BE INSTALLED TO CONNECT THE TWO MATS TOGETHER.
9. UPON PLACEMENT OF EACH NEW MAT IN THE SYSTEM, THAT MAT SHOULD BE ANCHORED AT EVERY ANCHOR POINT TO HELP STABILIZE THE MAT AND ENSURE THE SYSTEM IS CONTINUOUS WITH NO GAPS IN BETWEEN THE MATS.
10. SUCCESSIVE MATS CAN THEN BE PLACED TO CREATE THE FODS TRACKOUT CONTROL SYSTEM REPEATING THE ABOVE STEPS.

USE AND MAINTENANCE:
1. VEHICLES SHOULD TRAVEL DOWN THE LENGTH OF THE TRACKOUT CONTROL SYSTEM AND NOT CUT ACROSS THE MATS.
2. DRIVERS SHOULD TURN THE WHEEL OF THEIR VEHICLES SUCH THAT THE VEHICLE WILL MAKE A SHALLOW S-TURN ROUTE DOWN THE LENGTH OF THE FODS TRACKOUT CONTROL SYSTEM.
3. MATS SHOULD BE CLEANED ONCE THE VOIDS BETWEEN THE PYRAMIDS BECOME FULL OF SEDIMENT. TYPICALLY THIS WILL NEED TO BE PERFORMED WITHIN TWO WEEKS AFTER A STORM EVENT. BRUSHING IS THE PREFERRED METHOD OF CLEANING, EITHER MANUALLY OR MECHANICALLY.
4. THE USE OF ICE MELT, ROCK SALT, SNOW MELT, DEICER, ETC. SHOULD BE UTILIZED AS NECESSARY DURING THE WINTER MONTHS AND AFTER A SNOW EVENT TO PREVENT ICE BUILDUP.

1 FODS TRACKOUT CONTROL SYSTEM NTS



EROSION CONTROL PLAN



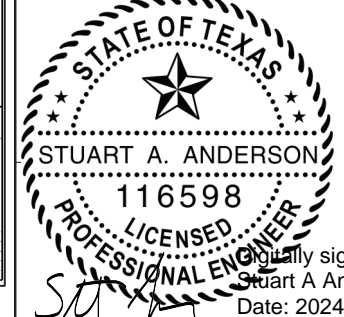
Chick-fil-A
 Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia
 30349-2998

INTERPLAN
 INTERPLAN LLC
 F-3219

ARCHITECTURE
 ENGINEERING
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220 E. CENTRAL PKWY, STE 4000
 ALTAMONTE SPRINGS, FL 32701
 407.645.5508

SEAL:



Digitally signed by
 Stuart A Anderson
 Date: 2024.10.28
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CHICK-FIL-A
 SOUTH BURLESON
 111 NW. JOHN JONES DRIVE
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FSR#02786

BUILDING TYPE / SIZE: S08C - R
 RELEASE: v0.23.08
 PRINTED FOR: CONCEPT

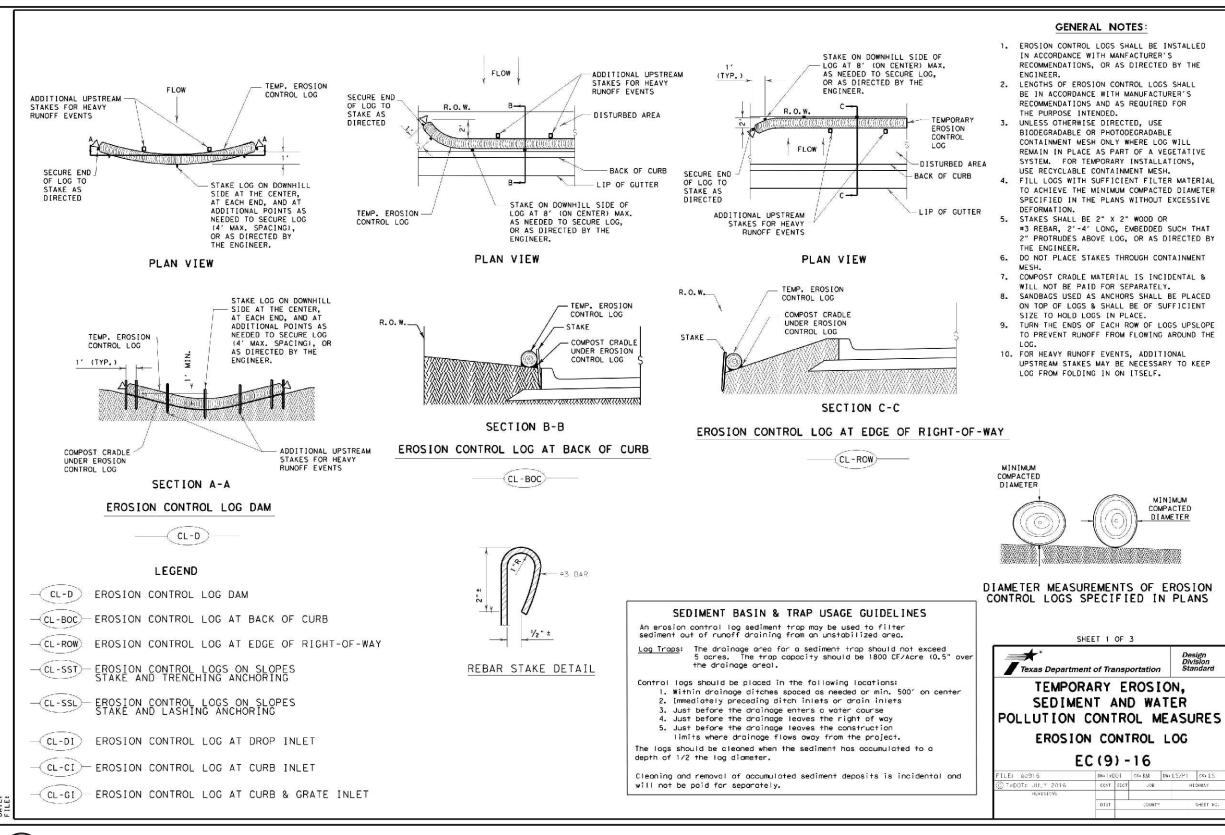
REVISION SCHEDULE		
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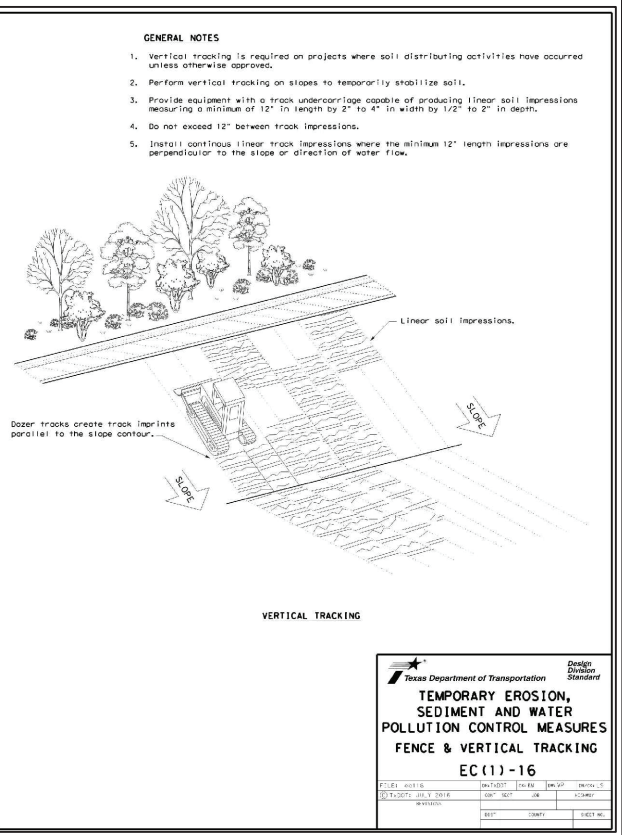
EROSION CONTROL DETAILS

SHEET NUMBER

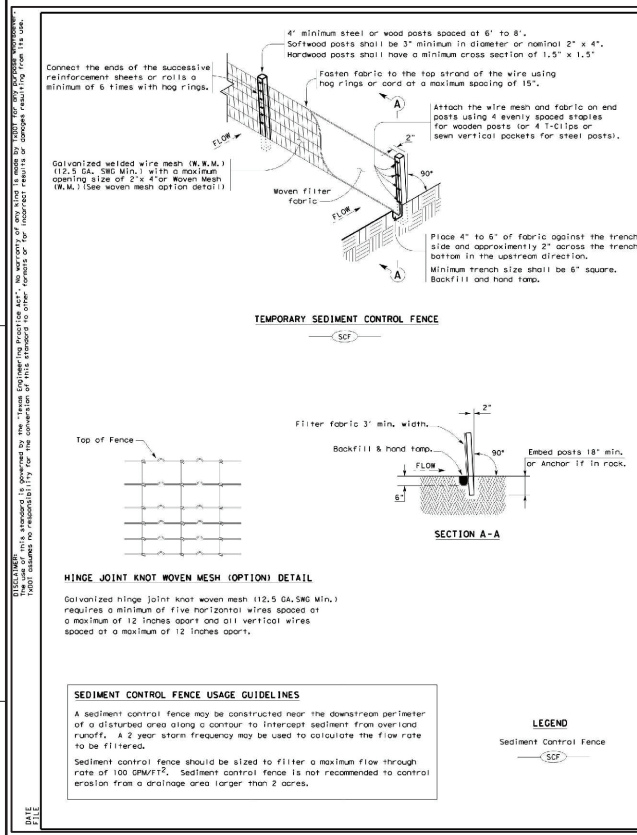
C-3.3
 MIC.JAR - 10/28/2024 10:25:58 AM



2 TXDOT EROSION CONTROL LOG DETAIL NTS



1 TXDOT TEMPORARY EROSION AND SEDIMENT FENCING DETAIL NTS



3 TXDOT EROSION CONTROL LOG DETAIL (SHEET 3 OF 3) NTS



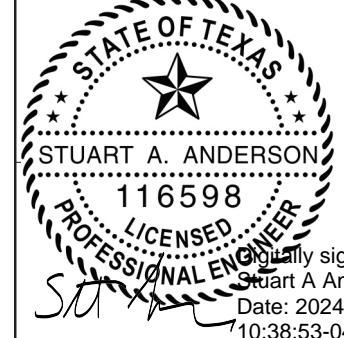
Chick-fil-A
 Chick-fil-A
 5200 Buffington Road
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INTERPLAN
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ARCHITECTURE
 ENGINEERING
 PERMITTING

220 E. CENTRAL PKWY, STE 4000
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SEAL:



Digitally signed by
 Stuart A Anderson
 Date: 2024.10.28
 10:38:53-04'00"

CHICK-FIL-A
 SOUTH BURLESON
 111 NW. JOHN JONES DRIVE
 BURLESON, TX. 76028

FSR#02786

BUILDING TYPE / SIZE: SBOC - R
 RELEASE: v0.23.08
 PRINTED FOR: CONCEPT

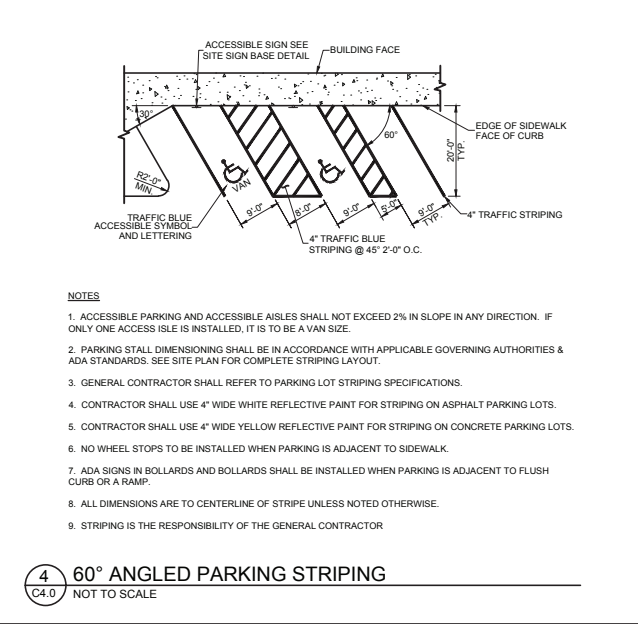
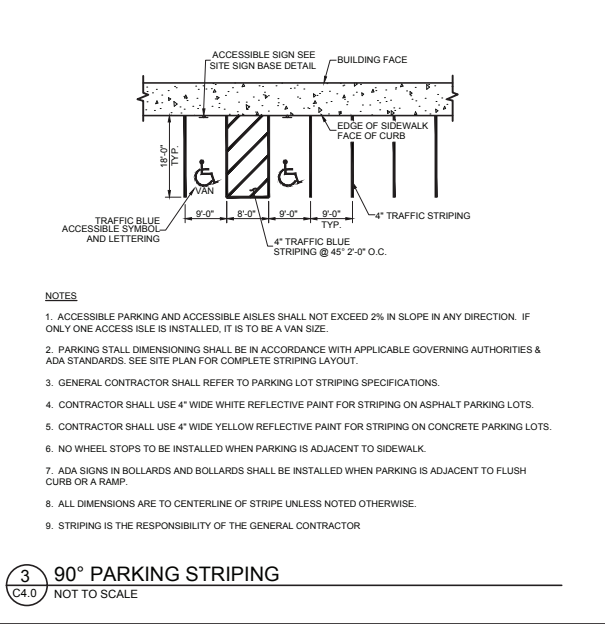
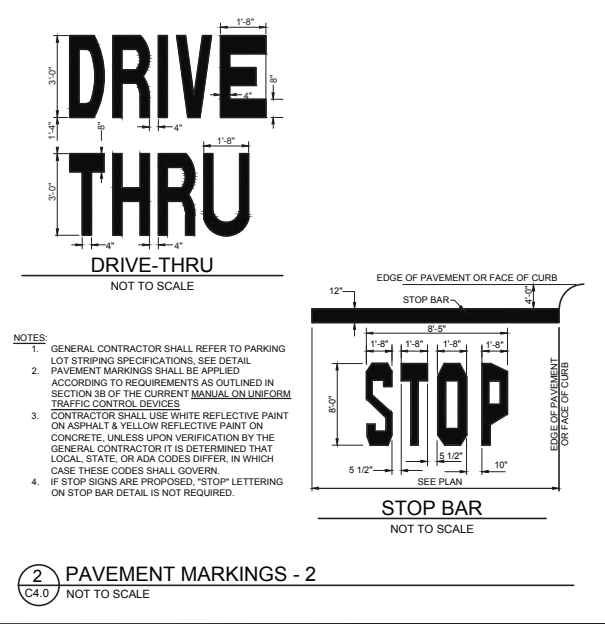
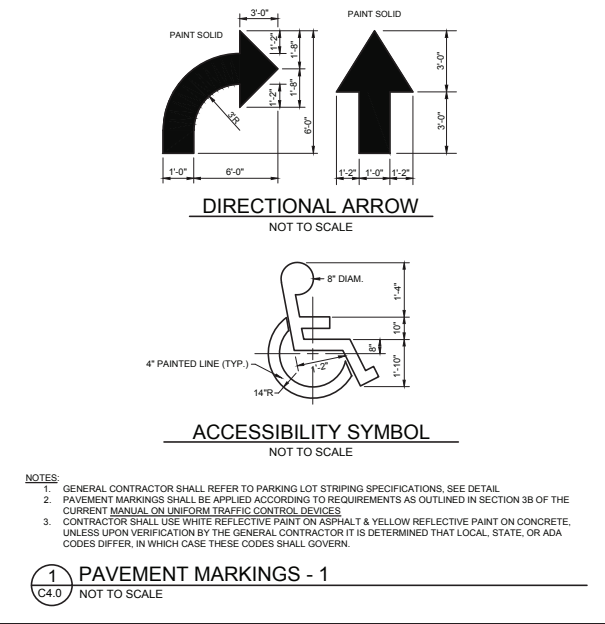
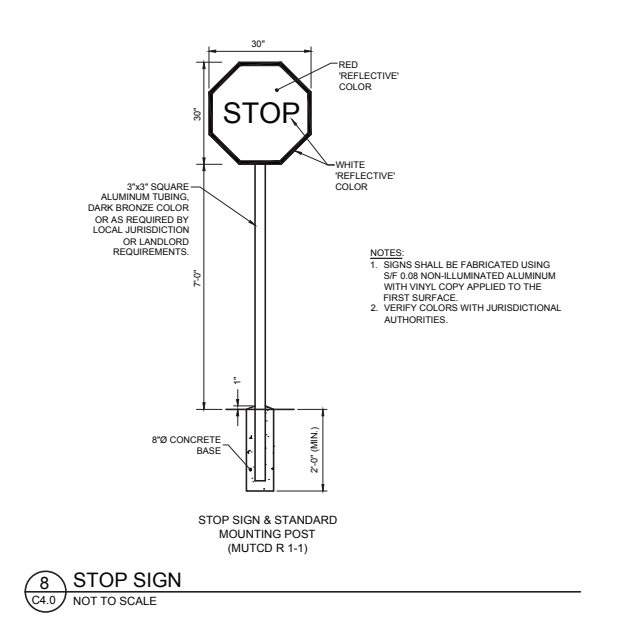
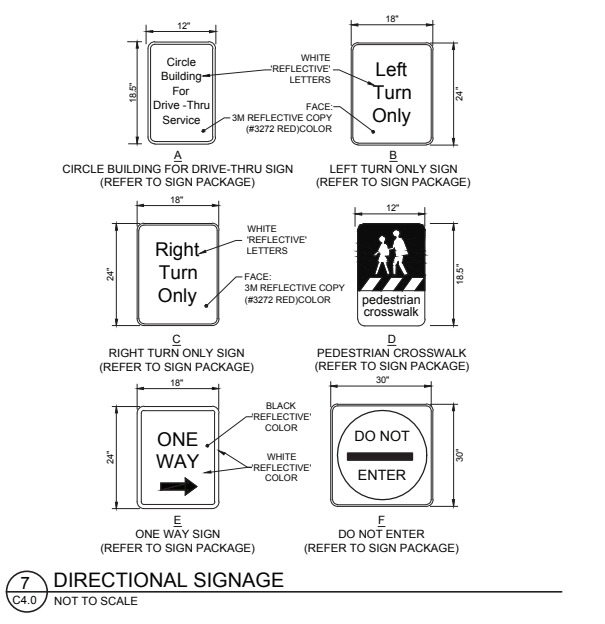
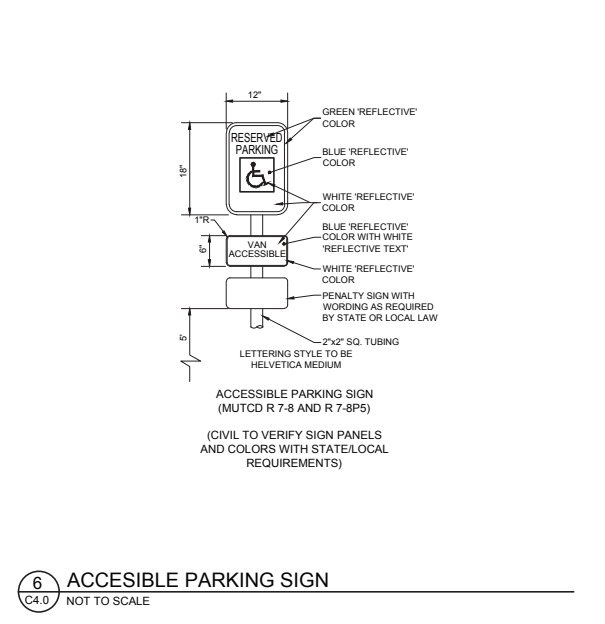
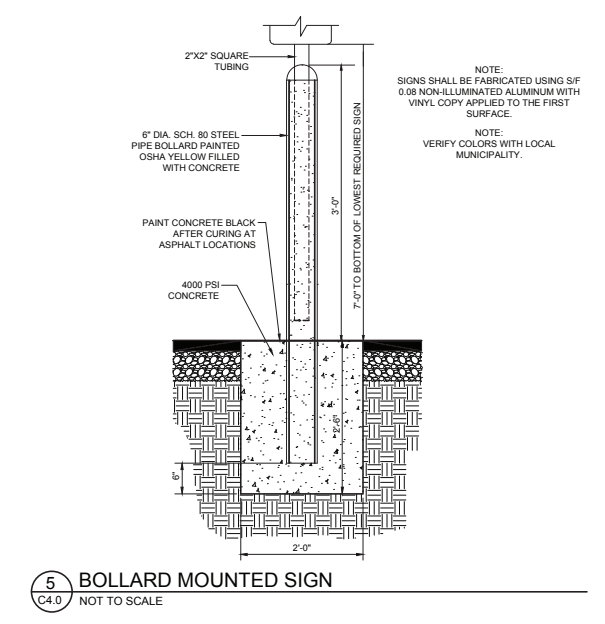
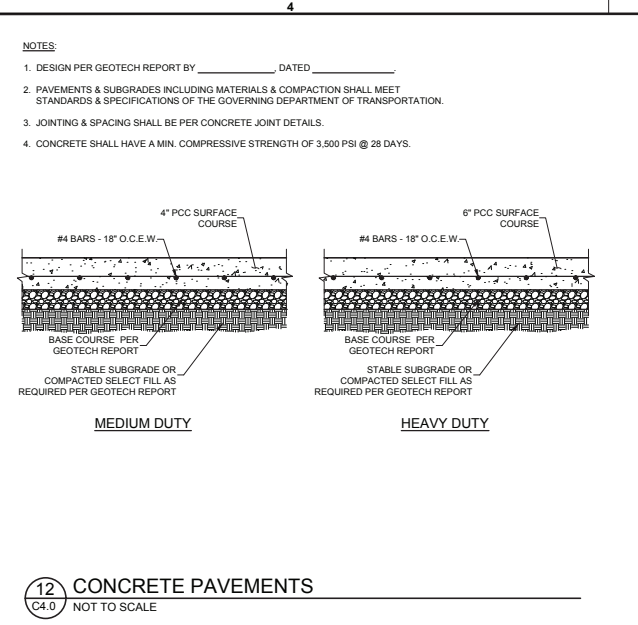
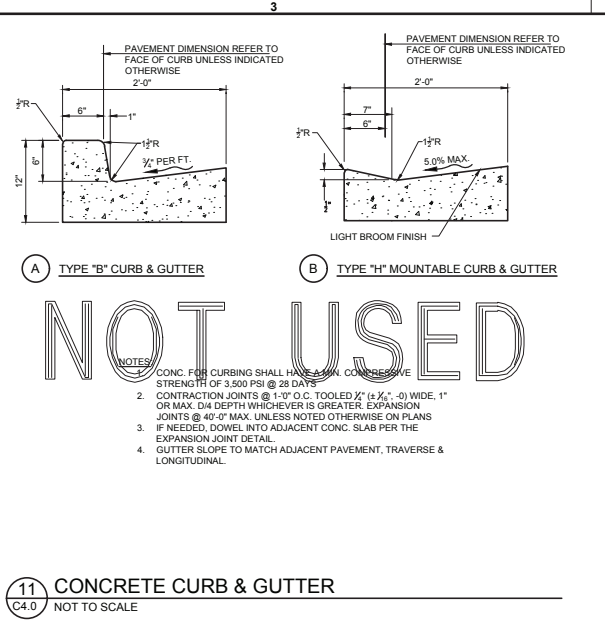
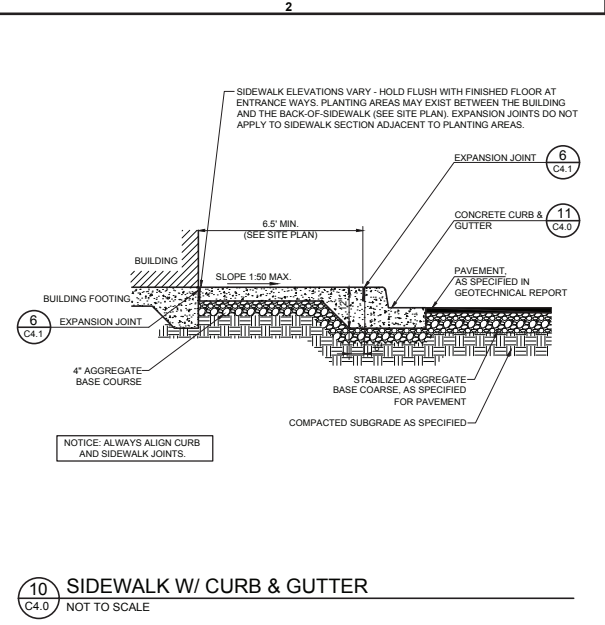
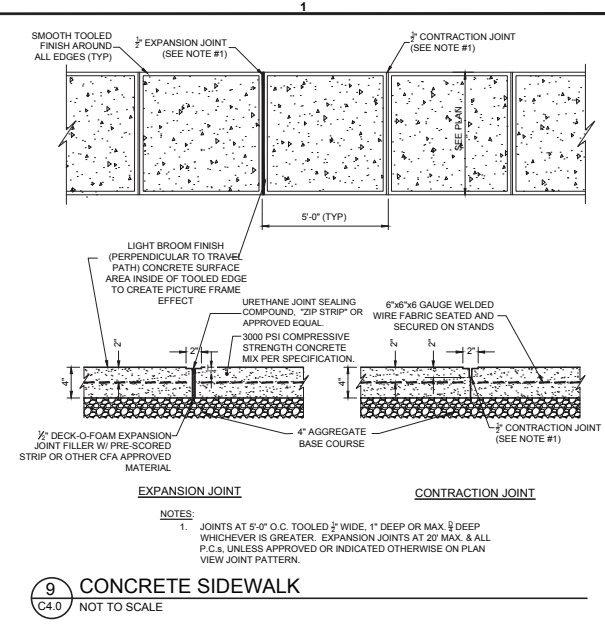
REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 2024.0627
 DATE 10/20/24
 DRAWN BY MJ
 CHECKED BY FAR

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CHICK-FIL-A STANDARD DETAILS

SHEET NUMBER
C-4.0
 MIC-JAR - 10/28/2024 10:26:02 AM



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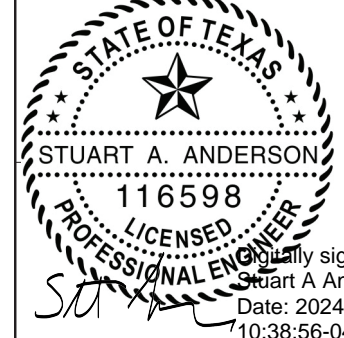
Chick-fil-A
 Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia
 30349-2998

INTERPLAN
 INTERPLAN LLC
 F-3219

ARCHITECTURE
 ENGINEERING
 PERMITTING

220 E. CENTRAL PKWY, STE 4000
 ALTAMONTE SPRINGS, FL 32701
 407.645.5208

SEAL:



Digitally signed by
 Stuart A. Anderson
 Date: 2024.10.28
 10:38:56-04'00'

CHICK-FIL-A
 SOUTH BURLESON
 111 NW. JOHN JONES DRIVE
 BURLESON, TX. 76028

FSR#02786

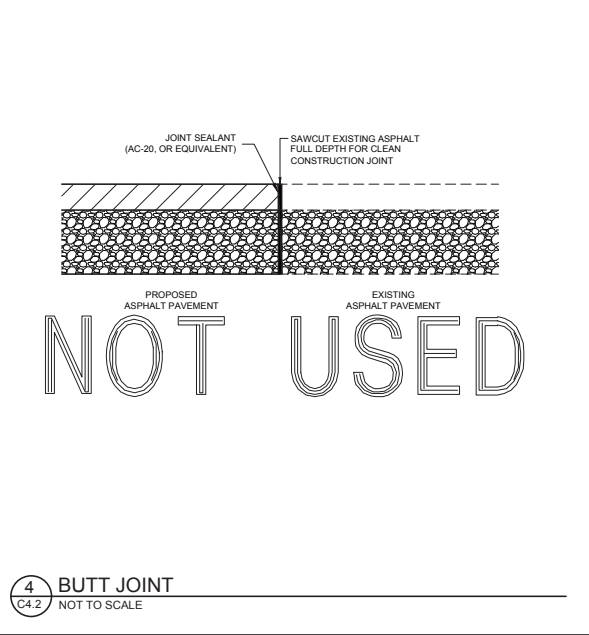
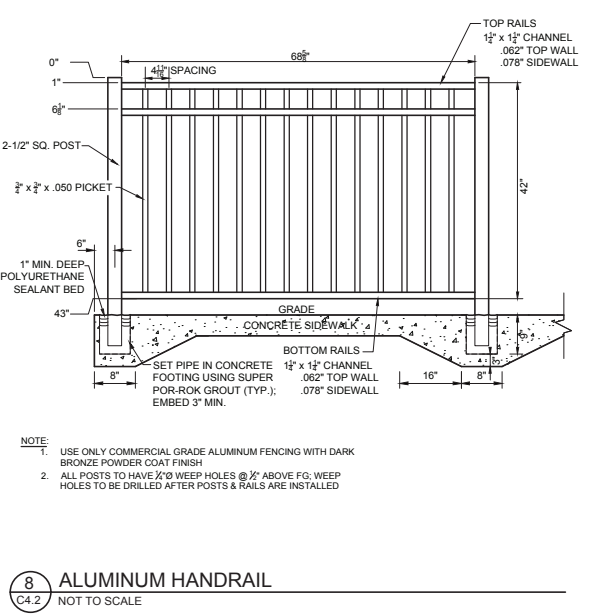
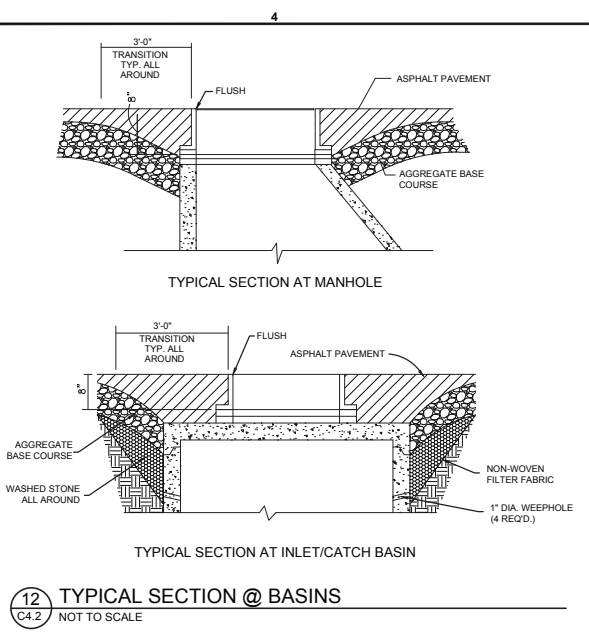
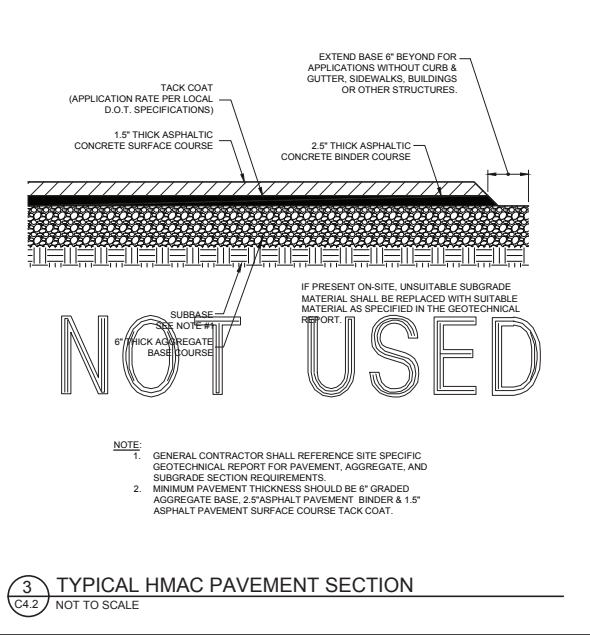
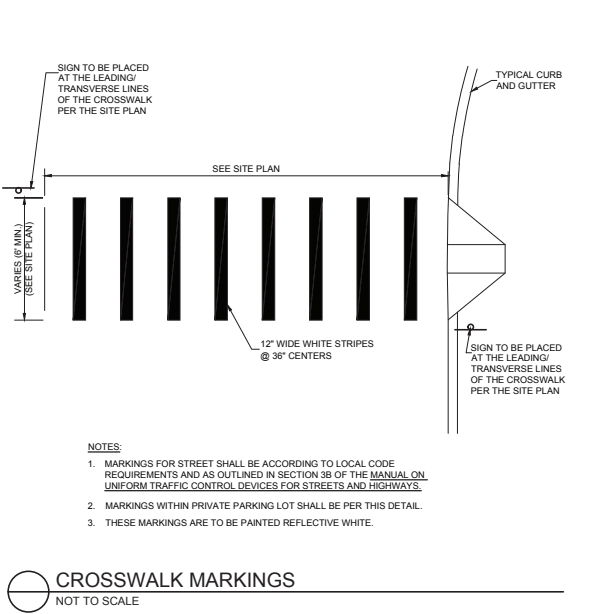
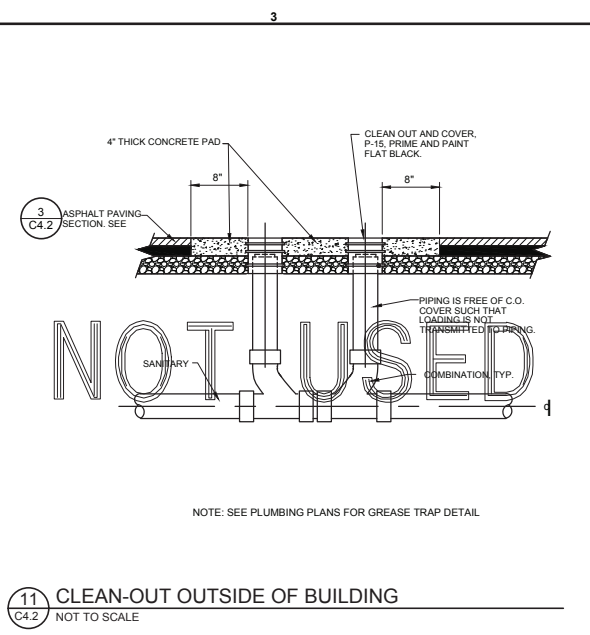
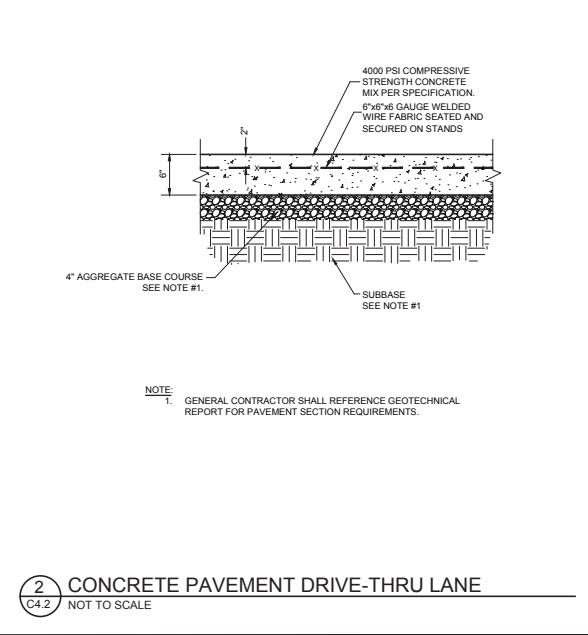
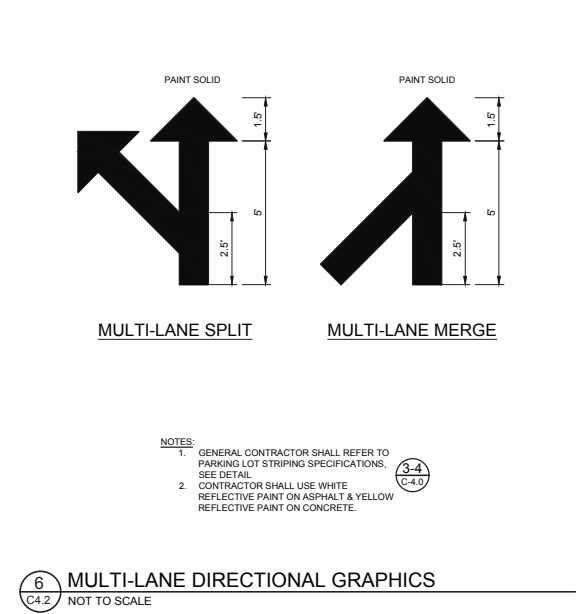
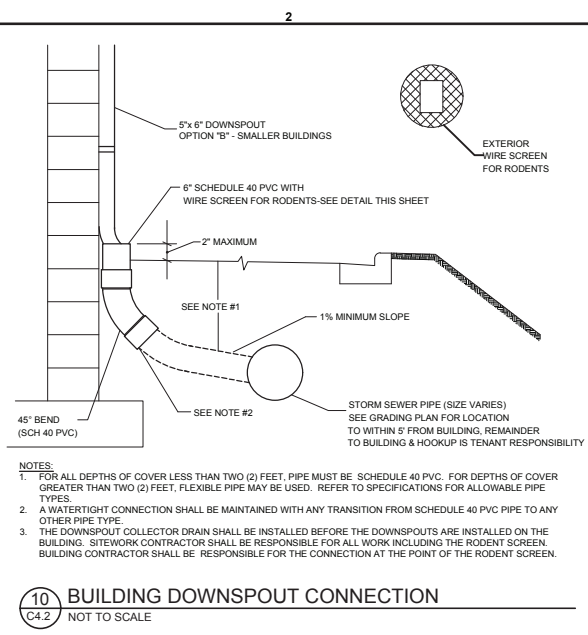
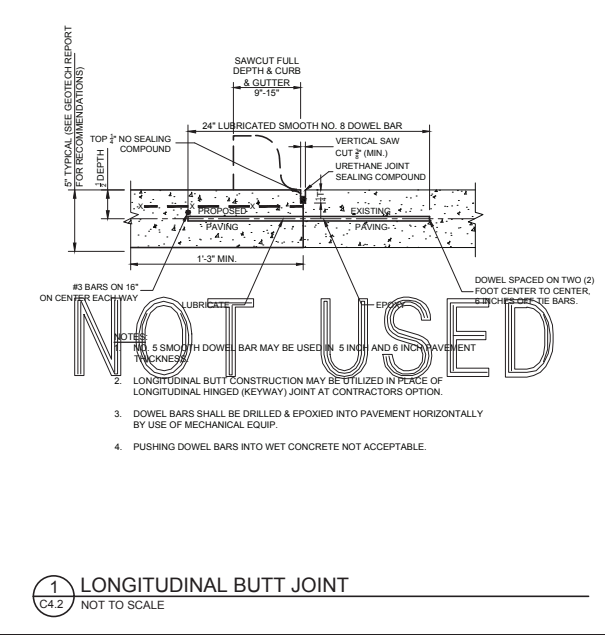
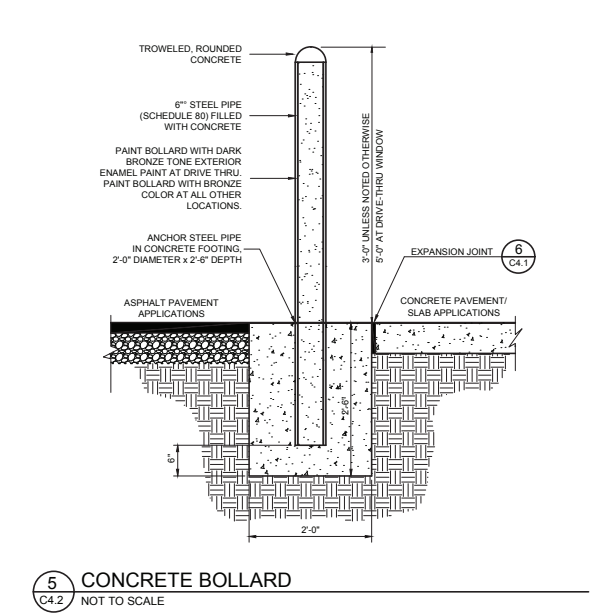
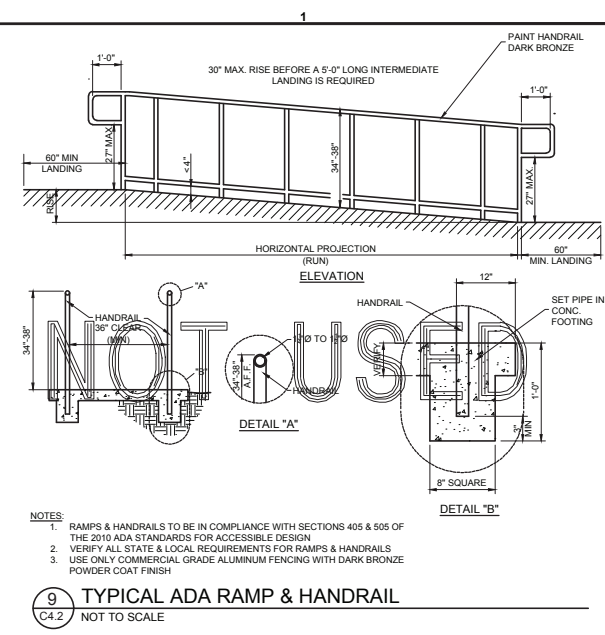
BUILDING TYPE / SIZE: SBOC - R
 RELEASE: v0.23.08
 PRINTED FOR: CONCEPT

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 2024.0627
 DATE 10/2024
 DRAWN BY MJ
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CHICK-FIL-A STANDARD DETAILS
 SHEET NUMBER
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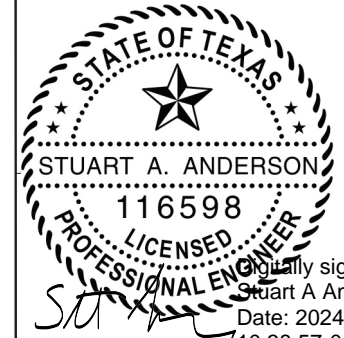
Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998

INTERPLAN
INTERPLAN LLC
F-3219

ARCHITECTURE
ENGINEERING
PERMITTING

220 E. CENTRAL PKWY, STE 4000
ALPHARETTA SPRINGS, GA 30701
407.645.5008

SEAL:



Digitally signed by
Stuart A. Anderson
Date: 2024.10.28
10:38:57-04'00'

CHICK-FIL-A
SOUTH BURLESON
111 NW. JOHN JONES DRIVE
BURLESON, TX. 76028

FSR#02786

BUILDING TYPE / SIZE: SBOC - R

RELEASE: v23.08

PRINTED FOR: CONCEPT

REVISION SCHEDULE

NO. DATE DESCRIPTION

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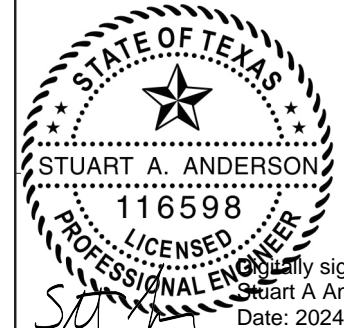
Chick-fil-A
 Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia
 30349-2998

INTERPLAN
 INTERPLAN LLC
 F-3219

ARCHITECTURE
 ENGINEERING
 PERMITTING

220 E. CENTRAL PKWY, STE 4000
 ALPHAMONTE SPRINGS, FL 32701
 407.645.5008

SEAL:



Digitally signed by
 Stuart A Anderson
 Date: 2024.10.28
 10:38:59-04'00'

CHICK-FIL-A
 SOUTH BURLESON
 111 NW. JOHN JONES DRIVE
 BURLESON, TX. 76028

FSR#02786
 BUILDING TYPE / SIZE: S08C - R
 RELEASE: v0.23.08
 PRINTED FOR:

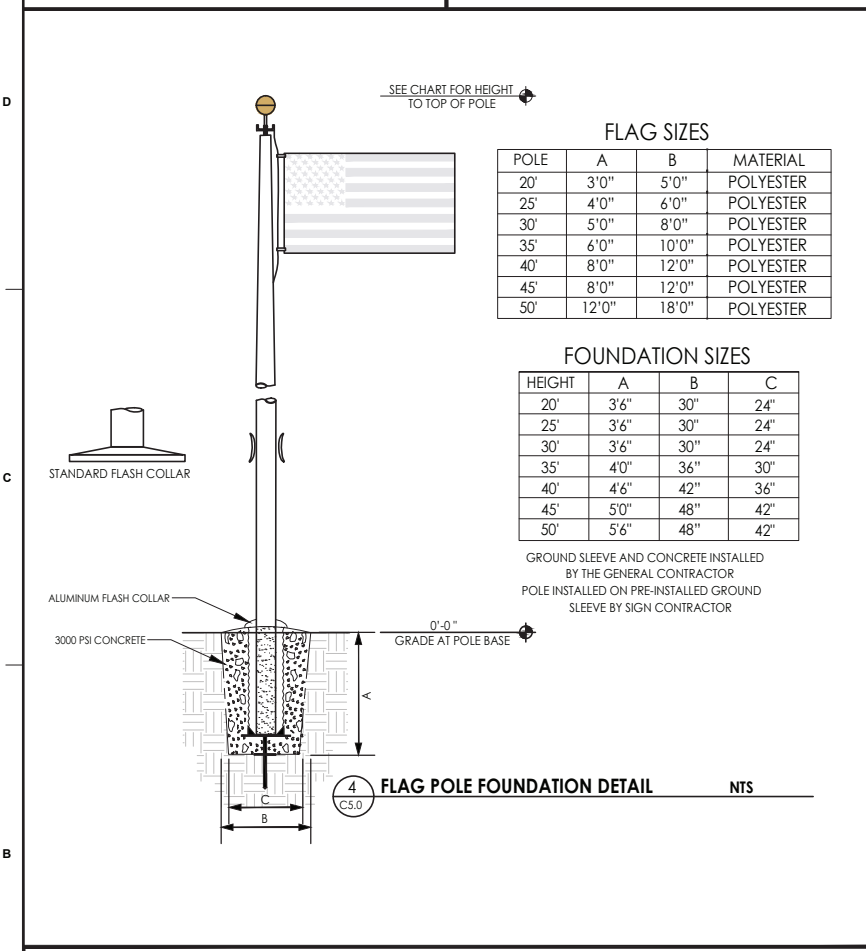
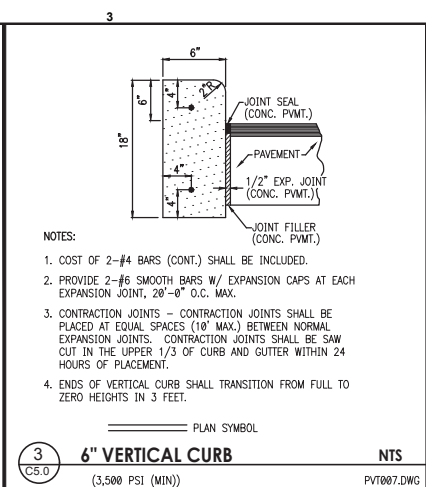
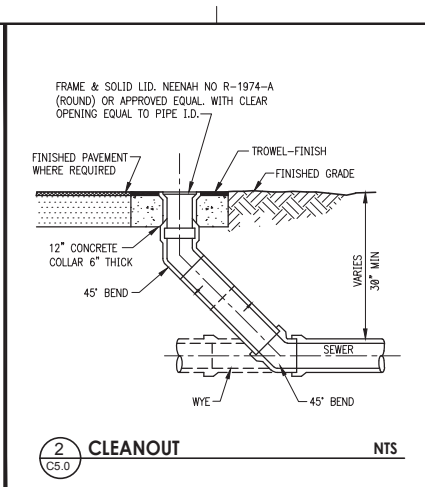
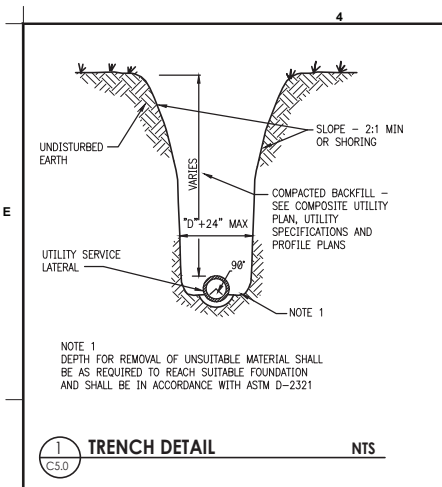
CONCEPT

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 2024.0627
 DATE 10/2024
 DRAWN BY MJ
 CHECKED BY FAR

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CONSTRUCTION DETAILS
 SHEET NUMBER
C-5.0
 MIC/JAR - 10/28/2024 10:26:15 AM



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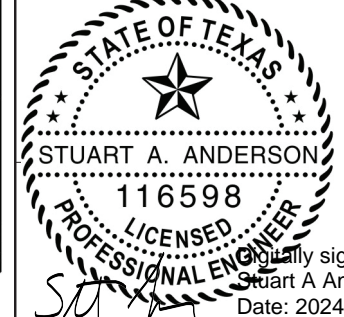
Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998

INTERPLAN
INTERPLAN LLC
F-3219

ARCHITECTURE
ENGINEERING
PERMITTING

220 E. CENTRAL PKWY, STE 4000
ALTIMONTE SPRINGS, FL 32701
407.645.5508

SEAL:



Digitally signed by
Stuart A Anderson
Date: 2024.10.28
10:39:00-04'00'

CHICK-FIL-A
SOUTH BURLESON
111 NW. JOHN JONES DRIVE
BURLESON, TX. 76028

FSR#02786

BUILDING TYPE / SIZE: SBOC - R

RELEASE: v0.23.08

PRINTED FOR: CONCEPT

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 2024.0827

DATE 10/20/24

DRAWN BY MJ

CHECKED BY FAR

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TXDOT STANDARD DETAILS

SHEET

C-5.1

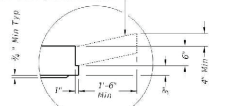
MICAR - 10/28/2024 10:26:18 AM

Style	Size (B x H)	W	A x B (MINIMUM)	Sheet Span (Riser Size) Area	Long Span (Riser Size) Area
SL	3'x3'	3'	3'x3'	0.37 sq/ft	0.37 sq/ft
AN.MC.RE.SH.SI.PG.	3'x3'	3'	3'x3' w/ 32" Dia.	0.37 sq/ft	0.37 sq/ft
SFG	3'x3'	3'	3'x3'	0.37 sq/ft	0.37 sq/ft
SL	4'x4'	4'	4'x4'	0.44 sq/ft	0.44 sq/ft
AN.MC.RE.SH.SI.PG.	4'x4'	4'	4'x4' w/ 32" Dia.	0.44 sq/ft	0.44 sq/ft
SFG	4'x4'	4'	4'x4'	0.44 sq/ft	0.44 sq/ft
SL	4'x3'	4'	4'x3'	0.44 sq/ft	0.44 sq/ft
AN.MC.RE.SH.SI.PG.	4'x3'	4'	4'x3' w/ 32" Dia.	0.44 sq/ft	0.44 sq/ft
SFG	4'x3'	4'	4'x3'	0.44 sq/ft	0.44 sq/ft
SL	4'x2'	4'	4'x2'	0.44 sq/ft	0.44 sq/ft
AN.MC.RE.SH.SI.PG.	4'x2'	4'	4'x2' w/ 32" Dia.	0.44 sq/ft	0.44 sq/ft
SFG	4'x2'	4'	4'x2'	0.44 sq/ft	0.44 sq/ft
SL	3'x2'	3'	3'x2'	0.44 sq/ft	0.44 sq/ft
AN.MC.RE.SH.SI.PG.	3'x2'	3'	3'x2' w/ 32" Dia.	0.44 sq/ft	0.44 sq/ft
SFG	3'x2'	3'	3'x2'	0.44 sq/ft	0.44 sq/ft
SL	3'x1'	3'	3'x1'	0.44 sq/ft	0.44 sq/ft
AN.MC.RE.SH.SI.PG.	3'x1'	3'	3'x1' w/ 32" Dia.	0.44 sq/ft	0.44 sq/ft
SFG	3'x1'	3'	3'x1'	0.44 sq/ft	0.44 sq/ft
SL	2'x2'	2'	2'x2'	0.44 sq/ft	0.44 sq/ft
AN.MC.RE.SH.SI.PG.	2'x2'	2'	2'x2' w/ 32" Dia.	0.44 sq/ft	0.44 sq/ft
SFG	2'x2'	2'	2'x2'	0.44 sq/ft	0.44 sq/ft
SL	2'x1'	2'	2'x1'	0.44 sq/ft	0.44 sq/ft
AN.MC.RE.SH.SI.PG.	2'x1'	2'	2'x1' w/ 32" Dia.	0.44 sq/ft	0.44 sq/ft
SFG	2'x1'	2'	2'x1'	0.44 sq/ft	0.44 sq/ft
SL	1'x1'	1'	1'x1'	0.44 sq/ft	0.44 sq/ft
AN.MC.RE.SH.SI.PG.	1'x1'	1'	1'x1' w/ 32" Dia.	0.44 sq/ft	0.44 sq/ft
SFG	1'x1'	1'	1'x1'	0.44 sq/ft	0.44 sq/ft

- FABRICATION NOTES:**
- Locate reinforcement (steel, wire, ring and cover) (style RCL, ring and grate) (style RGL) and frame and grate (style FRS) in a corner. Only one protrusion is allowed per slab top.
 - Provide Class "M" concrete in accordance with Item 421 and having a minimum compressive strength of 5,000 psi.
 - Provide rebar and reinforcing steel in accordance with manufacturer's recommendations. Taper and groove joints may be tapered or more than 2" between each section, or 2" line joint depth, whichever is greater.
 - Provide rebar cover of 2" to reinforcing from inner surface (bottom) of slab for structural reinforcement and 2" from mid-slab for shrinkage and temperature reinforcing. Provide steel area in 0.11 sq/ft each way.
 - Slabs with a thickness of 8" or greater require shrinkage and temperature reinforcing. Provide steel area in 0.11 sq/ft each way.
 - No substitution is allowed for diagonal #4 bars around openings.
 - Design tapered and groove joints per manufacturer's specifications. Minimum width shall be 1/2".
 - Provide fitting devices in accordance with manufacturer's recommendations.
- INSTALLATION NOTES:**
- Precast slab tops are intended for direct traffic and may be placed in roadway.
 - Soil under and groove joints with or without an underlayment in accordance with manufacturer's recommendations. Taper and groove joints may be tapered or more than 2" between each section, or 2" line joint depth, whichever is greater.
 - Do not use rubber gasket joints without manufacturer's recommendation.
 - Install installation of grate adjustment rings for styles SL and SFG is limited to 1-1/2" dia. as shown.
 - Grate adjustment rings for styles RH and SH may be increased to 2-1/2" dia. when future construction affects final grade of structure. Make adjustments greater than 2-1/2" with additional rebar. Measurements shall be made to the base depth shown on sheet PSL. Structure must be evaluated if base depth will be increased.
 - Grate ring dimensions of grate slabs perpendicular to traffic, unless noted otherwise in plans.
- GENERAL NOTES:**
- Designing according to ASTM D959.
 - Payment for lot is per Item 465, "Injection Boxes, Manholes, and Slits" by Item, style, size, and spacing size when applicable.

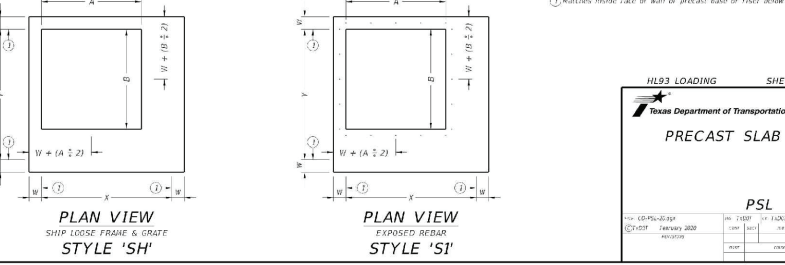
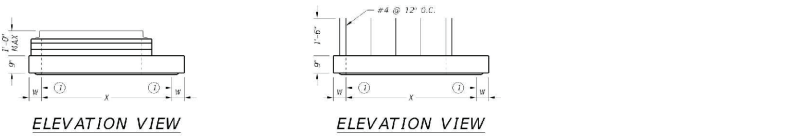
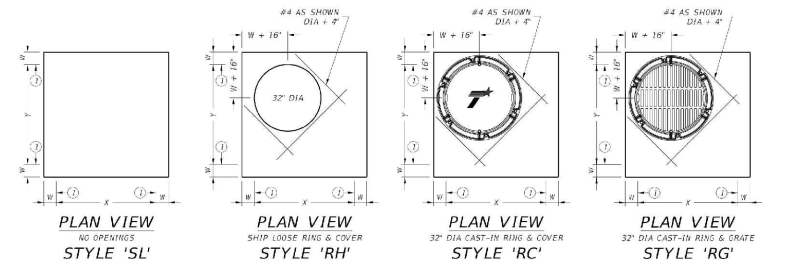
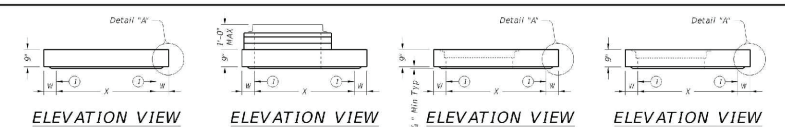
② See sheet PSD for corresponding wall thickness (W) of base and riser.

Contract cast-in-place reinforced concrete apron, when shown elsewhere in plans. Use Class "M" concrete. Apron is subsidiary to PSL. Apron to 1-1/2" dia. with several parallel steel bars.

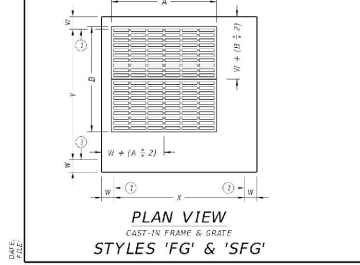
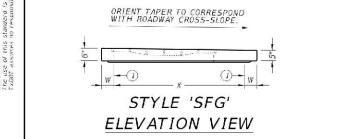
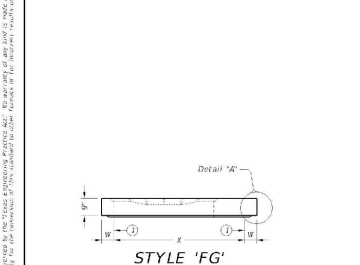


DETAIL "A"
(Reinforcing not shown for clarity)
When an apron is to be cast around PSL, use steel above to create an apron edge on all 4 sides.

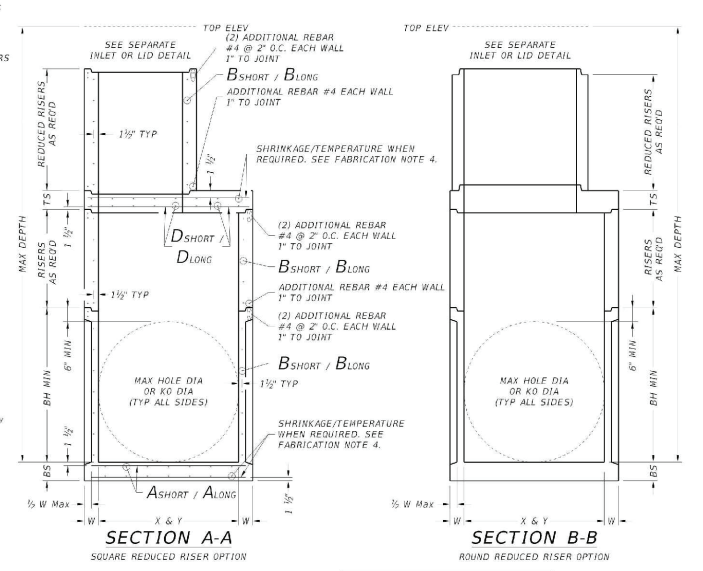
HL93 LOADING SHEET 2 OF 2
Texas Department of Transportation Bridge Division Standard
PRECAST SLAB LID
PSL
REVISED February 2020



HL93 LOADING SHEET 1 OF 2
Texas Department of Transportation Bridge Division Standard
PRECAST SLAB LID
PSL
REVISED February 2020

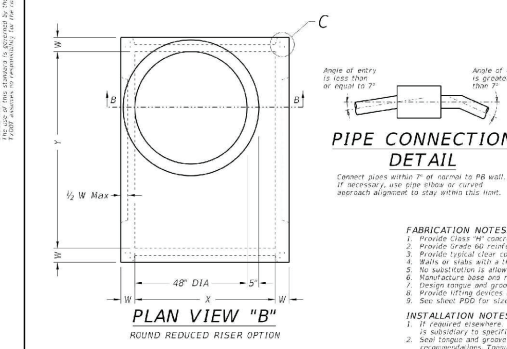
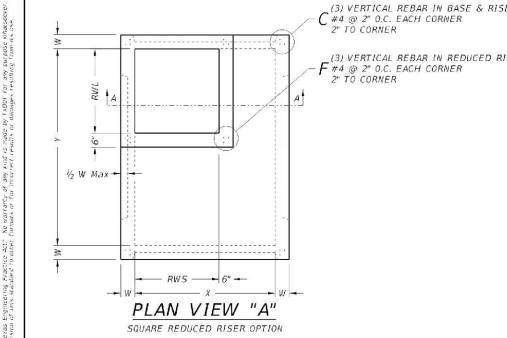


① TXDOT STANDARD PRECAST SLAB LID (PSL) AND GRATE DETAIL NTS



- FABRICATION NOTES:**
- Provide Class "M" concrete in accordance with Item 421 and having a minimum compressive strength of 5,000 psi.
 - Provide rebar and reinforcing steel in accordance with manufacturer's recommendations. Taper and groove joints may be tapered or more than 2" between each section, or 2" line joint depth, whichever is greater.
 - Slabs with a thickness of 8" or greater require shrinkage and temperature reinforcing steel. Provide steel area = 0.11 sq/ft each way.
 - No substitution is allowed for vertical and horizontal #4 bars in slabs.
 - Manufacture base and risers to resist 2" increments.
 - Design tapered and groove joints per manufacturer's specifications. Minimum width shall be 1/2".
 - Provide fitting devices in accordance with manufacturer's recommendations.
 - See sheet PSD for slabs dimensions, and reinforcing steel not shown.
- INSTALLATION NOTES:**
- If riser/reinforcing (where shown) to be provided by contractor. Concrete or mortar used for joints is subsidiary to specified base or riser.
 - Soil under and groove joints with or without an underlayment in accordance with manufacturer's recommendations. Taper and groove joints may be tapered or more than 2" between each section, or 2" line joint depth, whichever is greater.
 - Do not use rubber gasket joints without manufacturer's recommendation.
 - For riser joints, use steel in both base and riser or use 2" dia. steel in base only.
 - For riser joints, install vertical manufacturer's specification for standard tolerance and face steel. Center steel in hole and install vertical per manufacturer's specification.
- GENERAL NOTES:**
- Precast Base consists of base slab, base unit, riser (as required), reducing slab (as required), and reduced riser (as required). See sheet PSL for details.
 - Designed according to ASTM 191.3.
 - Repeal for precast base is subsidiary to the specified riser, per Item 465, "Injection Boxes, Manholes, and Slits"

HL93 LOADING
Texas Department of Transportation Bridge Division Standard
PRECAST BASE
PB
REVISED February 2020



- FABRICATION NOTES:**
- Provide Class "M" concrete in accordance with Item 421 and having a minimum compressive strength of 5,000 psi.
 - Provide rebar and reinforcing steel in accordance with manufacturer's recommendations. Taper and groove joints may be tapered or more than 2" between each section, or 2" line joint depth, whichever is greater.
 - Slabs with a thickness of 8" or greater require shrinkage and temperature reinforcing steel. Provide steel area = 0.11 sq/ft each way.
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- If riser/reinforcing (where shown) to be provided by contractor. Concrete or mortar used for joints is subsidiary to specified base or riser.
 - Soil under and groove joints with or without an underlayment in accordance with manufacturer's recommendations. Taper and groove joints may be tapered or more than 2" between each section, or 2" line joint depth, whichever is greater.
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 - For riser joints, use steel in both base and riser or use 2" dia. steel in base only.
 - For riser joints, install vertical manufacturer's specification for standard tolerance and face steel. Center steel in hole and install vertical per manufacturer's specification.
- GENERAL NOTES:**
- Precast Base consists of base slab, base unit, riser (as required), reducing slab (as required), and reduced riser (as required). See sheet PSL for details.
 - Designed according to ASTM 191.3.
 - Repeal for precast base is subsidiary to the specified riser, per Item 465, "Injection Boxes, Manholes, and Slits"

② TXDOT STANDARD PRECAST BASE (PB) DETAIL NTS



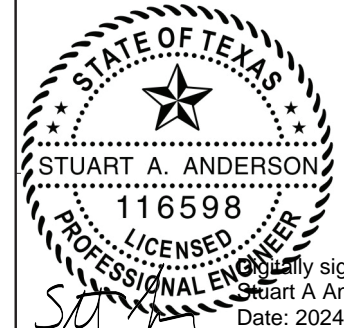
Chick-fil-A
Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998

INTERPLAN
INTERPLAN, LLC
F-3219

ARCHITECTURE
ENGINEERING
PERMITTING

220 E. CENTRAL PKWY., STE 4000
ALPHARETTA, GEORGIA 30201
407.645.5008

SEAL:



Digitally signed by
Stuart A Anderson
Date: 2024.10.28
10:39:01-04'00'

CHICK-FIL-A
SOUTH BURLESON
111 NW. JOHN JONES DRIVE
BURLESON, TX. 76028

FSR#02786

BUILDING TYPE / SIZE: SBOC - R
RELEASE: v0.23.08
PRINTED FOR: CONCEPT

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 2024.0627
DATE 10/20/24
DRAWN BY MJ
CHECKED BY FAR

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authoring professional organization.

SITE UTILITY PLAN

SHEET NUMBER

PS-1.0

MICJAR - 10/28/2024 10:26:21 AM

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LEGEND

- SS SANITARY SEWER
- C.O. CLEANOUT
- WATER SERVICE
- IRRIGATION SERVICE
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER METER
- BACKFLOW PREVENTION DEVICE
- GATE VALVE
- WET TAP
- PIPE CAP
- STORM SEWER & INLET
- UGT UNDERGROUND TELEPHONE
- UGE UNDERGROUND ELECTRIC
- UGL UNDERGROUND GAS LINE
- T TRANSFORMER

SURVEY LEGEND

REMAINDER OF LOT 14, BLOCK 1 RIVER PLACE ADDITION VOL. 10, PG. 268 P.R.J.C.T.
 $\Delta = 31^{\circ}59'00''$
 $R = 95.50'$
 $L = 53.31'$
 $CB = N 23^{\circ}16'32'' E$
 $CD = 52.62'$

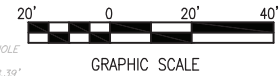
PROPOSED 3/4" NON-FREEZE POST HYDRANT. (REFER TO BELOW SLAB PLUMBING PLAN, SHEET P-1.1, FOR EXACT LOCATION)

PROPOSED 3/8" 574" PP-COLD WATER LINE TO DUMPSTER POST HYDRANT. CONNECT TO EXISTING 3/4" LINE.

EXISTING GREASE INTERCEPTOR AND TEST MANHOLE. NOTE: ADJUST LIDS TO BE FLUSH WITH PROPOSED SIDEWALK PAVEMENT.

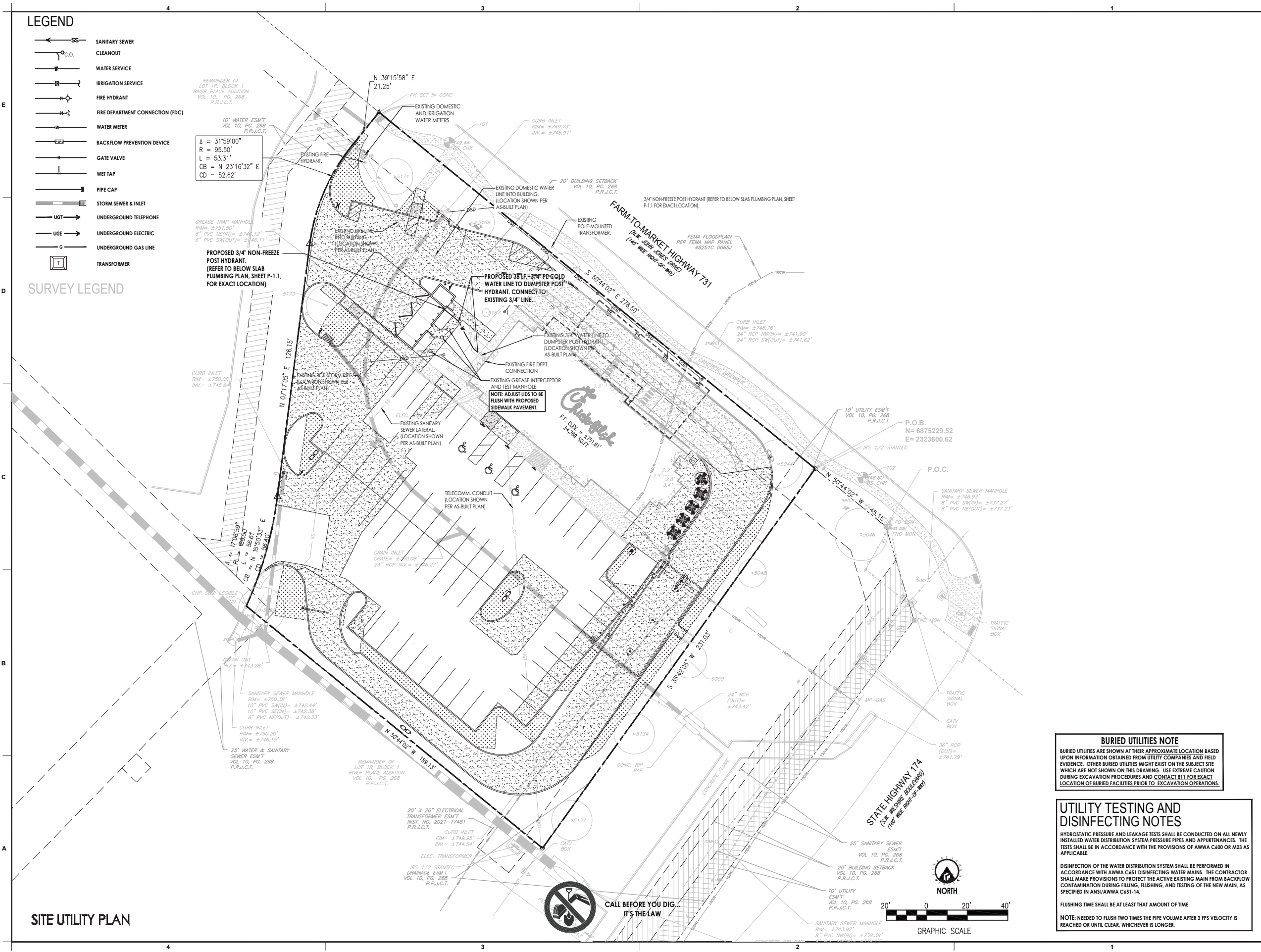
CALL BEFORE YOU DIG... IT'S THE LAW

STATE HIGHWAY 74
(S.W. MICHIGNE BOULEVARD)
(160' WIDE ROAD-OF-WAY)



BURIED UTILITIES NOTE
BURIED UTILITIES ARE SHOWN AT THEIR APPROXIMATE LOCATION BASED UPON INFORMATION OBTAINED FROM UTILITY COMPANIES AND FIELD EVIDENCE. OTHER BURIED UTILITIES MIGHT EXIST ON THE SUBJECT SITE WHICH ARE NOT SHOWN ON THIS DRAWING. USE EXTREME CAUTION DURING EXCAVATION PROCEDURES AND CONTACT 811 FOR EXACT LOCATION OF BURIED FACILITIES PRIOR TO EXCAVATION OPERATIONS.

UTILITY TESTING AND DISINFECTING NOTES
HYDROSTATIC PRESSURE AND LEAKAGE TESTS SHALL BE CONDUCTED ON ALL NEWLY INSTALLED WATER DISTRIBUTION SYSTEM PRESSURE PIPES AND APPURTENANCES. THE TESTS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF AWWA C600 OR M23 AS APPLICABLE.
DISINFECTION OF THE WATER DISTRIBUTION SYSTEM SHALL BE PERFORMED IN ACCORDANCE WITH AWWA C651 DISINFECTING WATER MAINS. THE CONTRACTOR SHALL MAKE PROVISIONS TO PROTECT THE ACTIVE EXISTING MAIN FROM BACKFLOW CONTAMINATION DURING FILLING, FLUSHING, AND TESTING OF THE NEW MAIN, AS SPECIFIED IN ANSI/AWWA C651-14.
FLUSHING TIME SHALL BE AT LEAST THAT AMOUNT OF TIME
NOTE: NEEDED TO FLUSH TWO TIMES THE PIPE VOLUME AFTER 3 FPS VELOCITY IS REACHED OR UNTIL CLEAR, WHICHEVER IS LONGER.



SITE UTILITY PLAN

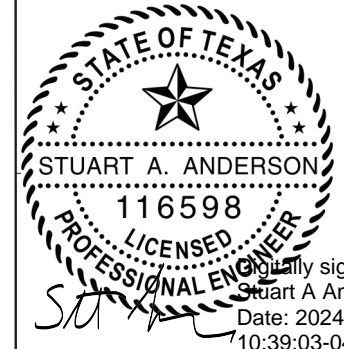


Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998

INTERPLAN
INTERPLAN LLC
F-3219

ARCHITECTURE
ENGINEERING
PERMITTING

220 E. CENTRAL PKWY., STE 4000
ALPHARETTA, GA 30201
407.645.5008



Digitally signed by
Stuart A. Anderson
Date: 2024.10.28
10:39:03-04'00"

CHICK-FIL-A
SOUTH BURLESON
111 NW. JOHN JONES DRIVE
BURLESON, TX. 76028

FSR#02786
BUILDING TYPE / SIZE: SBOC - R
RELEASE: v0.23.08

CONCEPT REVISION SCHEDULE

NO.	DATE	DESCRIPTION

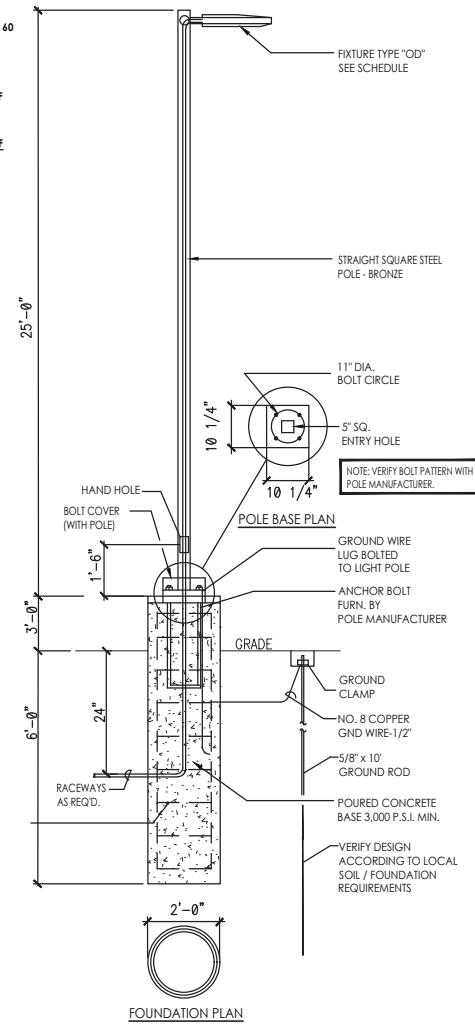
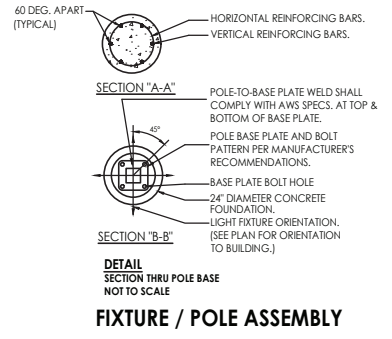
CONSULTANT PROJECT # 2024.0627
DATE 10/20/24
DRAWN BY MJ
CHECKED BY FAR

ELECTRICAL SITE LIGHTING
AND PHOTOMETRICS PLAN

ES-1.0

MCI:AR - 10/28/2024 10:26:24 AM

- NOTES:**
- 3000 PSI MINIMUM 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 RE-BAR.
 - IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE.
 - FOUNDATION EXCAVATION SHALL BE BY 24" AUGER IN UNDISTURBED OR PROPERLY COMPACTED FILL. AN INSPECTION DURING THE CONSTRUCTION OF THE SITE LIGHT POLE MUST BE PERFORMED AND RECORDED BY A CERTIFIED SPECIAL INSPECTOR EMPLOYED BY THE OWNER.
 - MINIMUM ALLOWABLE SOIL BEARING PRESSURE 3000 PSF. NOTIFY ENGINEER IF BEARING PRESSURE IS LESS.
 - AIR ENTRAINMENT: 4 TO 6%
 - POLE TO BE CERTIFIED FOR 110 MPH WIND LOAD BY MANUFACTURER.



LIGHTING NOTE:
THIS PLAN IS PROVIDED FOR LIGHT POLE PLACEMENT AND PHOTOMETRIC DESIGN ONLY. THE PROJECT ELECTRICAL ENGINEER WILL SPECIFY THE CUTTING OF THE SITE AND BUILDING LIGHTING AS WELL AS PROVIDING THE POWER AND SWITCHES IN THE BUILDING'S ELECTRICAL PANEL.

- NOTES:**
- REFER TO SHEET ES-1.1 FOR ELECTRICAL CIRCUIT PLAN.
 - ALL POLES ARE TO BE PLACED 3'-0" BEHIND BACK OF CURBS.

Luminaire Schedule

Symbol	Qty	Label	Description	Luminaire Lumens	Luminaire Watts
□	14	CL	CRUS-SC-LW-40	10725	73
□	2	P4 (2) (RL)	PRV-C60-D-UNV-T4-BZ	19984	153
□	3	P4 (3) (RL)	PRV-C60-D-UNV-T4-BZ (L90-R90)	19984	153

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking Lot	Illuminance	Fc	5.98	52.7	0.8	7.48	65.88
Property Line	Illuminance	Fc	3.28	14.7	0.1	32.80	147.00

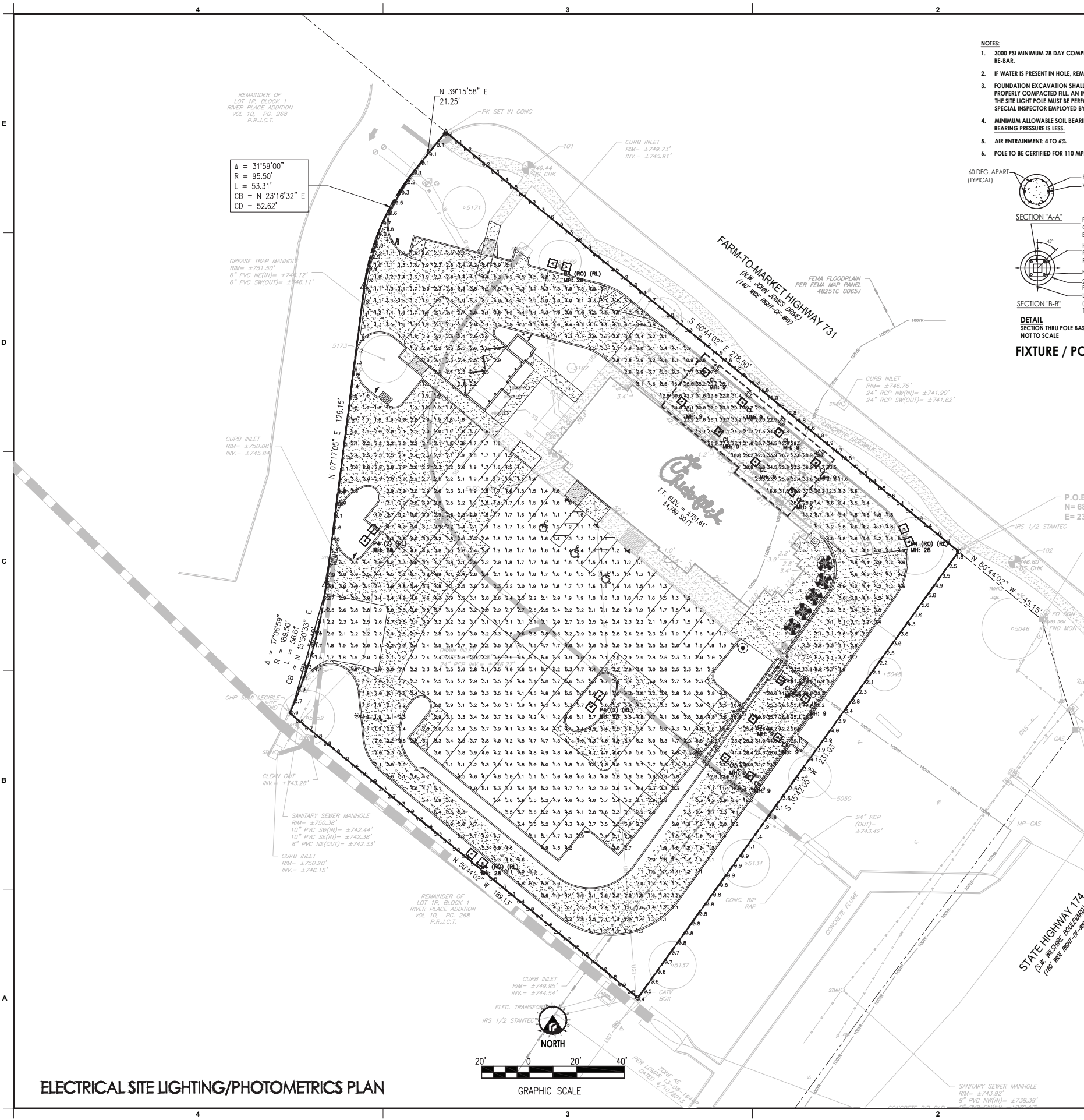
Luminaires & Lamps Furnished By Villa Lighting Inc. St Louis, MO. 63103
(800)325-0693
www.villalighting.com

The electrical contractor shall be responsible for receiving, storage, installation and wiring of light fixtures.

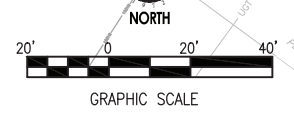
The electrical contractor shall report any damaged light fixtures or missing parts to Villa Lighting within 48 hours of receipt of light fixture package.

Design is based on current information provided at the time of request. Any changes in mounting height, mounting location, lamp wattage, lamp type, and existing field conditions that effect any of the previously mentioned will void the current layout and require a change request and recalculation. Calculations are based upon a computer simulation and actual field calculations may vary.

Fixtures mounted on 25' pole & 3' base
Light level calculated on the ground



ELECTRICAL SITE LIGHTING/PHOTOMETRICS PLAN



Lumark **Prevail LED**

Area / Site Luminaire

Product Features

- Ordering Information page 2
- Mounting Details page 3
- Optical Configurations page 3
- Product Specifications page 3
- Energy and Performance Data page 4
- Control Options page 5

Quick Facts

- Lumen packages range from 4,800 - 52,300 lumens (35W - 350W)
- Replaces 70W up to 1,000W HID equivalents
- Efficiencies up to 160 lumens per watt
- Energy and maintenance savings up to 85% versus HID solutions
- Standard universal quick mount arm with universal drill pattern

Dimensional Details

Interactive Menu

- Ordering Information page 2
- Mounting Details page 3
- Optical Configurations page 3
- Product Specifications page 3
- Energy and Performance Data page 4
- Control Options page 5

Product Certifications

Connected Systems

- WaveLinx

PS500012N page 1
December 6, 2023 1:30 AM

Lumark **Prevail LED**

Ordering Information

SAMPLE NUMBER: PRV-XL-C75-D-UNV-T4-SA-BZ

Product Family	Light Engine	Order	Voltage	Distribution	Mounting	Color
PRV-P-Prevail Petite	C16-(1) LED 4,800 Nominal Lumens C15-(1) LED 6,500 Nominal Lumens C14-(1) LED 8,200 Nominal Lumens C13-(1) LED 11,300 Nominal Lumens	D-Downward (D-UV)	100V-Universal (120-277V) 247-247V 480-480V 277-480V (277-480V) **	T2-Type II T3-Type III T4-Type IV T5-Type V	SA-Standard Versatile Arm MA-Mast Arm WA-Wall Mount Arm T5-Type V	BZ-Bronze AP-White BK-Black DP-Dark Platinum GM-Graphite Metallic WH-White
PRV-M-Prevail M	C16-(1) LED 7,100 Nominal Lumens C15-(1) LED 9,100 Nominal Lumens C14-(1) LED 11,300 Nominal Lumens C13-(1) LED 15,000 Nominal Lumens					
PRV-XL-Prevail XL	C16-(1) LED 26,100 Nominal Lumens C15-(1) LED 33,100 Nominal Lumens C14-(1) LED 40,100 Nominal Lumens C13-(1) LED 52,300 Nominal Lumens C12-(1) LED 69,300 Nominal Lumens					

Notes:

1. Luminaire is not available for engineering purposes to confirm code and fixture compatibility for all applications. Refer to the Luminaire Data Sheet.
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4. For use with the universal quick mount arm, refer to the Luminaire Data Sheet for additional details and compatibility information.
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LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

Product Family	Camera Type	Camera Lens	Data Backup
L-Local/Remote Technology	2-Remote Camera, 1-Local Camera	2-Remote Camera, 1-Local Camera	2-Remote Camera, 1-Local Camera
	2-Remote Camera, 1-Local Camera	2-Remote Camera, 1-Local Camera	2-Remote Camera, 1-Local Camera
	2-Remote Camera, 1-Local Camera	2-Remote Camera, 1-Local Camera	2-Remote Camera, 1-Local Camera

Stock Ordering Information

Product Family	Light Engine	Voltage	Distribution
PRV-P-Prevail	C16-(1) LED 7,100 Nominal Lumens C15-(1) LED 9,100 Nominal Lumens C14-(1) LED 11,300 Nominal Lumens C13-(1) LED 15,000 Nominal Lumens	100V-Universal (120-277V) 247-247V	T2-Type II T3-Type III
PRV-XL-Prevail XL	C16-(1) LED 26,100 Nominal Lumens C15-(1) LED 33,100 Nominal Lumens C14-(1) LED 40,100 Nominal Lumens C13-(1) LED 52,300 Nominal Lumens C12-(1) LED 69,300 Nominal Lumens		

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December 6, 2023 1:30 AM

Lumark **Prevail LED**

Mounting Details

Pole Mount Arm (PRV-P & PRV-F)

Pole Mount Arm (PRV-XL)

Wall Mount (PRV & PRV-F)

Wall Mount (PRV-XL)

Mast Arm Mount (PRV & PRV-F)

Mast Arm Mount (PRV-XL)

Versatile Mount System

Mounting Configurations and EPAs

Optical Configurations

Product Specifications

Construction

- Single-piece die-cast aluminum housing
- Thermally die-cast aluminum door

Optics

- Dark Sky Approved (2000K CCT and warmer only)
- Precision molded polycarbonate optics

Electrical

- 40°C maximum operating temperature
- 40°C maximum operating temperature
- > 9 power factor
- <20% total harmonic distortion
- Class 2 Electronic Drivers have expected life of 100,000 hours with <1% failure rate

Typical Applications

- Parking lots, Walkways, Roadways and Building Areas

Finish

- Five-stage super TBC polyester powder coat paint, 2.5 mil nominal thickness

Shipping Data

- Prevail Petite: 18 lbs. (7.94 kg.)
- Prevail XL: 20 lbs. (9.09 kg.)
- Prevail XL: 45 lbs. (20.41 kg.)

Warranty

- Five year limited warranty, consult website for details. www.cooperlighting.com/warranty

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December 6, 2023 1:30 AM

Chick-fil-A

5200 Buffington Road
Atlanta, Georgia
30349-2998

INTERPLAN
INTERPLAN LLC
F-3219

ARCHITECTURE
ENGINEERING
PERMITTING

220 E. CENTRAL PKWY, STE 4000
ATLANTA, GA 30303
404.645.5008

SEAL:

STUART A. ANDERSON
116598
PROFESSIONAL ENGINEER

Digitally signed by
Stuart A. Anderson
Date: 2024.10.28
10:39:04-04'00'

Lumark **Prevail LED**

Energy and Performance Data

View PRV-P IES files | View PRV-F IES files | View PRV-XL IES files

Product Family	Prevail Petite	Prevail	Prevail XL
Power (Watts)	35 49 73 94 52 96 131 153 176 217 264 285 346		
Input Current @ 120V (A)	0.29 0.41 0.61 0.79 0.43 0.80 1.09 1.32 1.50 1.84 2.21 2.38 2.92		
Input Current @ 277V (A)	0.13 0.18 0.27 0.35 0.19 0.35 0.48 0.57 0.66 0.82 0.97 1.04 1.25		
Input Current @ 347V (A)	0.11 0.16 0.23 0.29 0.17 0.30 0.41 0.48 0.54 0.66 0.79 0.84 1.02		
Input Current @ 480V (A)	0.08 0.12 0.17 0.22 0.12 0.22 0.30 0.36 0.40 0.48 0.57 0.62 0.74		

Notes:

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Lumen Maintenance

Configuration	T80-L70 Lumen Maintenance (50,000 Hours)	Theoretical L70 (Hours)
Prevail and Prevail Petite at 25°C	91.30%	> 194,000
Prevail and Prevail Petite at 40°C	87.99%	> 194,000
Prevail XL at 25°C	91.40%	> 204,000
Prevail XL at 40°C	89.41%	> 158,000

Sensor Color Reference Table (SPX)

Housing Finish	Sensor Color
AP-Gray	Gray
BZ-Bronze	Bronze
BK-Black	Black
DP-Dark Platinum	Gray
GM-Graphite Metallic	Black
WH-White	White

Lumen Multiplier

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99

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December 6, 2023 1:30 AM

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KW SSP **Square Non-Tapered Steel Poles**

Pole Shaft

The pole shaft is one piece construction, being fabricated from a weldable grade carbon steel structural tubing which has a uniform wall thickness of 7 gauge (0.1793"). The pole shaft material shall conform to ASTM A500 Grade C with a minimum yield strength of 50,000 psi. The pole shaft has a full length longitudinal resistance weld and is uniformly square in cross-section with flat sides, small corner radii and excellent torsional properties.

Base Plate

The anchor base is fabricated from a structural quality hot rolled carbon steel plate that meets or exceeds a minimum yield strength of 36,000 psi. The anchor base telescopes the pole shaft and is circumferentially welded top and bottom. All welds are performed in accordance with the American Welding Society specification AWS D1.1, latest edition.

Bolt Circle: 8.00 (in.) Dimension: 8.00 (in.) Thickness: 0.75 (in.) Conduit Opening: 3 (in.)
Consult KW representative for non-standard dimensions.

Anchor Bolts

Anchor bolts are fabricated from commercial quality hot rolled carbon steel bar that meets or exceeds a minimum yield strength of 55,000 psi. Four properly sized anchor bolts, each with two regular hex nuts and washers, are furnished and shipped with all poles unless otherwise specified. Anchor bolts shall have the threaded end galvanized a minimum of 8 inches in accordance with ASTM A153. Fully galvanized anchor bolts are available upon request.

Handhole

An oval reinforced gasketed handhole, having a nominal 3" x 5" inside opening, located 1' - 6" above base, is standard on all poles. A grounding provision is located inside the handhole ring.

Finish

Standard - The exterior surface is cleaned with an alkaline rinse to remove surface contaminants and shot blasted to specifications as published by the Steel Structures Painting Council Standards SSPC-SP10 (near white). The exterior surface is chemically pretreated with an iron phosphate conversion coating then rinsed with ambient fresh water containing special surfactants and sealers forming a dry light micro-crystalline coating. A polyester thermosetting powder coating applied to the surface of the substrate to a minimum of 3 mils is standard on all color finishes. The interior surface including the powder coated area at the base-end is coated with **WIPOL**, a thermoplastic hydrocarbon resin system specially formulated for application over untreated steel surfaces, to a thickness of 3 mils. The interior coating shall contain special corrosion inhibitors and is capable of passing 1000 hours of salt spray exposure (ASTM B117).

Series: SSP - Square Non-Tapered Steel Poles
Nominal Height: 25' Base Diameter: 4.0" Gauge: 7
Finish: BRZ - Standard - Bronze
Mounting Designation: DM10 - Drilled for 1 Luminaire
Options: BC - Base Cover

Height (ft.)	Pole Shaft (in.) x (ft.)	Gauge	Handhole Size (in.)	Anchor Bolt (in.) x (in.) x (in.)	Bolt Circle (in.)	80 MPH (ft.)	90 MPH (ft.)	100 MPH (ft.)	Ship Wt. (lbs.)
25	4.0 x 25.0	7	3 x 5	0.75 x 3.0 x 3	8	12.2	8.7	6	266

SSP25-4.0-7-BRZ-DM10-BC

Print This Page **Main Menu**

Terms and Conditions of Sale

TERMS
Net 30 days from the date of Company's invoice unless otherwise specified. A 1-1/2% per month late charge will be added to accounts past due.

PRICES
Published prices are subject to change without notice. Possession of price sheets in no way obligates Company to sell to the Purchaser possessing such price sheet. All orders are subject to final approval and acceptance by the Company. Once accepted and approved, orders will be billed at prices currently in effect at the time of invoicing, or at prices quoted by the Company and accepted by the Purchaser if the order involves an item or items covered by special quotation. THE MINIMUM INVOICE CHARGE SHALL BE \$50.00 NET.

<https://submit.info/SubmitSheet.asp>

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DELIVERY
All goods sold are deliverable F.O.B. KW Industries, Inc., Sugar Land, Texas 77478.

TAXES
The Company's prices do not include Federal, State or municipal sales, use, excise, or similar taxes. Consequently, the Company reserves the right to add to the sales price of its product any present or future sales, use, excise or other similar tax which shall be paid by the Purchaser, or in lieu thereof, the Purchaser shall provide the Company with a tax exemption certificate acceptable to the taxing authorities.

FREIGHT
All of the Company's products are priced and sold F.O.B. KW Industries, Inc., Sugar Land, Texas 77478. Transportation charges will be prepaid by the Company and added to the net sales price unless specified by the Purchaser.

ROUTING
The Company will specify the method and routing of all products to ensure the most efficient and economical shipment in behalf of the Purchaser. The Purchaser will assume charges for special services such as cartage, air freight, express or multiple deliveries on one order.

CANCELLATION
The written consent of the Company shall be obtained prior to a cancellation of any order. Cancellation of an order may subject the Purchaser to a cancellation charge based upon expenses already incurred and commitments made by the Company.

RETURNED GOODS
Specific written request and arrangements must be made in advance for Purchaser to obtain credit or replacement on material returned. On material accepted for return, Purchaser must prepay return shipment and pay minimum restocking charge of 40% plus any charge necessary to rework goods to a resalable condition. Custom fabricated products by special order are not subject to return.

DELAYS, DAMAGE OR LOSS
The Company is not and shall not be

October 28, 2024

Emilio Sanchez
City of Burleson Development Services Department
141 W. Renfro St.
Burleson, TX 76028-4296
(817) 426.9686
esanchez@burlesontx.com

Reference: Chick-fil-A # 2786 South Burleson FSU
Address: 111 NW John Jones Drive, Burleson, TX 76028
Interplan Number: 2024.0627
Case Number: CSP23-281 (Amendment to existing/approved)
OMD Accessory Structure Front Yard Setback Encroachment Variance Narrative

Dear Mr. Sanchez and the Planning and Zoning Commission

Please accept this letter to be heard at the soonest Planning & Zoning Commission hearing and in front of City Council as our request on behalf of Chick-fil-A for the following variance waiver request for the Order Meal Delivery (OMD) canopy accessory structure to the front yard setback as defined in **Section 132-115(a) and Section 78-120(b) and to the front yard buffer requirement as defined in Sections 86-102 through 86-111 in the City of Burleson's Ordinance.**

(1) Special conditions exist which are peculiar to the land, structure or building involved and are not applicable to other lands, buildings or structures in the same vicinity. The city may attach such conditions to granting all or a portion of any variance necessary to achieve the purpose of this chapter; and

Due to the large drainage easement that runs northeast and southwest along Wilshire Boulevard being classified as its own lot make the frontage of this site adjacent to Northwest John Jones Drive. The Chick-fil-A parcel needing to meet other requirements of the Zoning Ordinance not only including the building setback requirements, but drainage and parking requirements as well, is what constituted the original layout of the site. The requirements in the ordinance limit the amount of buildable space the parcel has for improvements or expansion. Traffic directly impacts the site and the need to alleviate traffic for the adjacent property owners and Chick-fil-A specifically, so options are limited.

(2) The strict interpretation of the provisions of the chapter would deprive the applicant of rights commonly enjoyed by other properties in the vicinity under the terms of the chapter.

Literal enforcement of Appendix B Section 132-115 (a) Accessory Building and Structure Yard Regulations, an attached accessory building or structures must have a front yard not less than the main building requirement of twenty feet (20') as defined within Section 78-120(b) and in Section 86-102 through 86-111 a five-foot (5') landscaped strip is required next to all public and private property lines, will abruptly put a halt to the proposed modifications as the improvements pose the most ideal situation to aid in the traffic safety concerns on and off site.

Chick-fil-A #2786 South Burleson
October 28, 2024
Page 2 of 3

The proposed dual lane drive-thru with canopies will alleviate the traffic concerns to the shopping center and NW John Jones Drive. If the literal interpretation was enforced, it would limit the ability for Chick-fil-A to initiate any sort of site improvements that would allow the business to continue in a safe and efficient manner for the team members and guests.

(3) The special conditions and circumstances do not result from the actions of the applicant and such conditions and circumstances do not merely constitute pecuniary hardship or inconveniences; and

Granting of the variance will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, structures or building in the same zone or district as, typically, other drive-thru restaurants do not have team members outside in the elements which poses a concern for safety. With the City's continued growth, increased patronage, and new takeout/delivery and mobile ordering methods becoming a prominent way of life after 2020, Chick-fil-A tries to provide alternative options for growth and development for their sites. The proposed drive-thru modifications including a dual lane expansion with Dual Lane Order Meal Delivery (OMD) canopy, will help to keep team members and guests safe and protected from the elements. These minor improvements will increase efficiency both on and off site. The traffic congestion and circulation issues to the adjacent properties and right-of-way along John Jones Drive will then be significantly reduced and more importantly provide a safer environment for the people whom make up the community.

(4) Granting the variance will meet the objectives of the chapter and not be injurious to the adjoining property owners or otherwise detrimental to the public welfare; and

Granting of the variance will meet the objectives of the chapter and will not be injurious to the adjoining property owners or otherwise detrimental to the public welfare as the proposed improvements will aid in alleviating traffic backing up to the shopping center access drive and out on to NW John Jones Drive. Originally, this Chick-fil-a site received approval for a waiver request, 10-602(b)(1) Masonry Construction Standards for a small building addition. The existing canopies were proposed as additional improvements to the existing facades for the purpose of updating the building and providing for more of a modern look. Chick-fil-A would like to continue to provide a more efficient option to the site by installing the proposed improvements. Additionally, they would like to increase the level of safety for the team members and guests. Notating the canopies are crucial in alleviating traffic congestion and circulation concerns. These improvements will positively and directly affect the adjoining property owners and will provide certain beneficial elements to public welfare.

(5) The request will be the minimum variance necessary to alleviate the special hardship or practical difficulties faced by the applicant in meeting the requirements of this chapter; and

The requested extension of the existing single-lane Order Meal Delivery canopy to be replaced with a dual-Lane Order Meal Delivery canopy will be the minimum variance necessary to alleviate the concerns with traffic and safety on the site for both the team members and the guests. If the site is reconfigured any other way, additional variances would be needed for parking requirements. Not to mention even with a reconfiguration, it would not pose a conforming end result as there are still concerns with the fire lane, utility/easements and refuse/accessory structure concerns. Addition of the second drive-thru lane and installation of the canopy overall, will allow the site to function in a more efficient way and allows the team members to better direct and keep traffic moving at peak times. The updated design will accommodate the increased demand in the subject properties area and benefits the overall community and growth of the city aiding in addressing the current public safety concerns presented.

Chick-fil-A #2786 South Burleson
October 28, 2024
Page 3 of 3

(6) Granting of the variance will be in harmony with the spirit and purpose of this chapter.

Granting of the variance will be in harmony with the spirit and purpose of this chapter as the canopy would be extended over the proposed second lane at the delivery window with columns placed on the backside of the curb. The canopy (accessory structure) encroaches into the required front yard setback by seventeen feet (17'). Chick-fil-A is requesting a reduced front yard setback for an accessory structure to three feet (3') as the main building conforms to this requirement. Please note there is a pedestrian concrete sidewalk adjacent to NW John Jones Drive that would remain existing and in perfect line with the northern property line, leaving the existing landscape buffer between the right-of-way and road.

Please feel free to contact me at 407.645.5008 or via email at mkucaba@interplanllc.com if you have any questions or require additional information. If I am unavailable, Kendra Lewis is the Permit Manager and will be able to assist you at the number provided or via email at klewis@interplanllc.com.

Sincerely,
INTERPLAN LLC



Michelle Kucaba
Senior Permit Lead, Development Services

RESOLUTION

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BURLESON, TEXAS, FOR APPROVAL OF A COMMERCIAL SITE PLAN AMENDMENT FOR A RESTAURANT WITH A DRIVE-THRU WITH A VARIANCE TO APPENDIX B, SECTION 132-115, RELATING TO A DRIVE THRU CANOPY WITHIN THE DESIGNATED FRONT YARD AT 111 NW JOHN JONES DR.

WHEREAS, the City of Burleson, Texas (“City”), is a home rule city acting under its charter adopted by the electorate pursuant to Article XI, Section 5 of the Texas Constitution and Chapter 9 of the Local Government Code; and

WHEREAS, an application for commercial site plan amendment with a variance related to an accessory structure was filed by **Michelle Kucaba**; on **October 28, 2024**, under **Case Number 24-326**, on property described herein below filed application with the City; and

WHEREAS, on January 6, 2025, the City Council made an inquiry into the matter and reviewed all the relevant information, and

WHEREAS, City Council has determined that commercial site plan meets the requirements of Section 131 of Article V of Appendix B, Site Plan Requirements.; and

WHEREAS, Section 132-115, Accessory building and structure yard regulations, of the City of Burleson Code of Ordinances (2005) regulates the location, construction, erection, duration, use, and maintenance of structures within the jurisdiction of the City; and

WHEREAS, on January 6, 2025, the City Council made an inquiry into the matter and reviewed all the relevant information, and

WHEREAS, the City Council finds and determines that special conditions exist that are peculiar to the land, structure or building involved and are not applicable to other lands, buildings or structures in the same vicinity; and

WHEREAS, City Council finds and determines that the strict interpretation of Section 132-115 would deprive the applicant of rights commonly enjoyed by other properties in the vicinity under the terms of Appendix B; and

WHEREAS, City Council finds and determines that the special conditions and circumstances do not result from the actions of the applicant(s) and such conditions and circumstances do not merely constitute pecuniary hardship or inconveniences; and

WHEREAS, City Council finds and determines that granting the variance will meet the objectives of the ordinance and not be injurious to the adjoining property owners or otherwise detrimental to the public welfare; and

WHEREAS, City Council finds and determines that the request will be the minimum variance

necessary to alleviate the special hardship or practical difficulties faced by the applicant in meeting the requirements of Section 132-115; and

WHEREAS, City Council has determined that granting the variance will be in harmony with the spirit and purpose of Section 132-115; and

WHEREAS, the City Council finds and determines the conditions attached to the variance, if any, are necessary to achieve the purpose of Section 132-115.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BURLESON, TEXAS, THAT:

Section 1.

City Council hereby approves a commercial site plan amendment (Case 24-326) for a restaurant with a drive-thru as shown on Exhibit "A"; and

City Council hereby grants a variance to Section 132-115 (a) of Appendix B, of the City of Burleson Code of Ordinances (2005) allowing for the erection of a drive-thru canopy in the designated front yard as shown on Exhibit "A"; and

Except as otherwise specified above or as shown on Exhibit "A", all other conditions, regulations, procedures, and rules of Section 132-115, Accessory building and structure yard regulations, of the City of Burleson Code of Ordinances (2005), as amended, shall apply to the buildings at 111 NW John Jones DR.

Section 2.

This resolution shall take effect immediately from and after its passage.

PASSED, APPROVED, AND SO RESOLVED by the City Council of the City of Burleson, Texas, on the _____ day of _____, 20_____.

Chris Fletcher, Mayor
City of Burleson, Texas

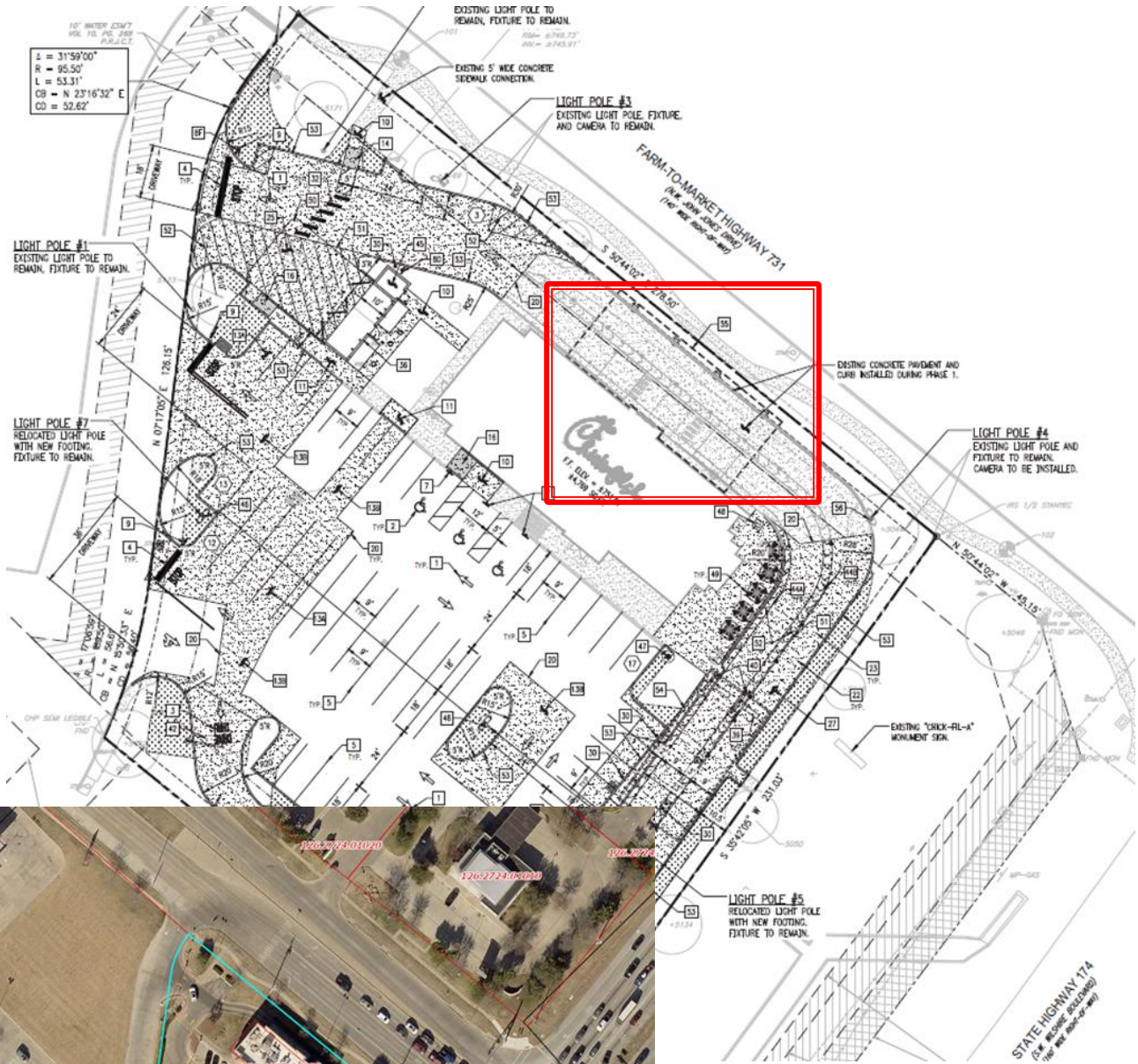
ATTEST:

APPROVED AS TO LEGAL FORM:

Amanda Campos, City Secretary
RESOLUTION

E. Allen Taylor, Jr., City Attorney

Exhibit "A" Continued Canopy location within highlighted red area



Planning & Zoning Commission Meeting

DEPARTMENT: Development Services

FROM: Emilio Sanchez, Development Services Assistant Director

MEETING: December 3, 2024

SUBJECT:

Consider approval of a minute order setting the Planning and Zoning Commission meeting dates for calendar year 2025. (Case 24-355) (Staff Contact: Emilio Sanchez, Development Services Assistant Director)

SUMMARY:

The purpose of this item is to review and approve the 2025 meeting calendar for the Planning and Zoning Commission. Staff has prepared and attached a calendar for review as Exhibit 3. Staff is requesting the Planning and Zoning Commission approve the calendar as presented, or with modifications. The approved 2025 City Council meeting dates are included in the subject calendar.

RECOMMENDATION:

- 1) Approve the calendar as presented or with modifications; or
- 2) Deny the calendar.

PRIOR ACTION/INPUT (Council, Boards, Citizens):

None

REFERENCE:

None

FISCAL IMPACT:

None

STAFF CONTACT:

Emilio Sanchez
Development Services Assistant Director
esanchez@burlesontx.com

817-426-9686

2025 P&Z Meeting Calendar



Request:

- Review P&Z Meeting Calendar
 - Approve as presented
 - Approved with modification

- Council Dates (Yellow) have already been approved.

January:	
Jan 01	New Year's Day
Jan 20	M L King Day
May:	
May 26	Memorial Day
July:	
Jul 04	Independence Day
September:	
Sep 01	Labor Day
November:	
Nov 27	Thanksgiving Day
Nov 28	Thanksgiving Holiday
December:	
Dec 24	Christmas Holiday
Dec 25	Christmas Day
<input type="checkbox"/>	City Council Meetings
<input type="checkbox"/>	P&Z Meetings

2025 P&Z Meeting Calendar



January						
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2025

Planning and Zoning Meeting Calendar

January:	
Jan 01	New Year's Day
Jan 20	M L King Day
May:	
May 26	Memorial Day
July:	
Jul 04	Independence Day
September:	
Sep 01	Labor Day
November:	
Nov 27	Thanksgiving Day
Nov 28	Thanksgiving Holiday
December:	
Dec 24	Christmas Holiday
Dec 25	Christmas Day

■	City Council Meetings
■	P&Z Meetings

2025 P&Z Meeting Calendar



Staff's Recommendation

Staff recommends approval of the calendar as presented or as modified by the Planning and Zoning Commission for the 2025 Meeting Calendar (Case 24-355)

January							February							March								
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Planning and Zoning Meeting Calendar

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