



Old Town Design Standards Review Committee Agenda

Wednesday, September 23, 2026
5:30 PM

City Hall - 141 W. Renfro
Burleson, TX 76028

1. **CALL TO ORDER**

Invocation

Pledge of Allegiance

2. **CITIZEN APPEARANCES**

Each person in attendance who desires to speak to the Committee on an item NOT posted on the agenda, shall speak during this section. A speaker card must be filled out and turned in to the City Secretary prior to addressing the Committee. Each speaker will be allowed three minutes to speak.

Each person in attendance who desires to speak on an item posted on the agenda shall speak when the item is called forward for consideration.

3. **CONSENT AGENDA**

All items listed below are considered to be routine by the Old Town Design Standards Review Committee and will be enacted with one motion. There will be no separate discussion of the items unless a Committee member or citizen so requests, in which event the item will be removed from the consent agenda and considered in its normal sequence.

- A. Consider approval of the minutes from the September 17, 2025, Old Town Design Standards Review Committee meeting.

4. **ITEMS FOR CONSIDERATION**

- A. 114 W. Ellison Street (CSP26-015): Consider and take possible action on a development plan with waivers, for a new commercial building located at 114 W. Ellison Street. (*Staff Contact: Emilio Sanchez, Development Services Deputy Director*)

5. **ADJOURN**

Staff Contact
Tony McIlwain
Director of Development Services
817-426-9684

CERTIFICATE

I hereby certify that the above agenda was posted on this the 15th of September 2026, by 5:00 p.m., on the official bulletin board at the Burleson City Hall, 141 W. Renfro, Burleson, Texas.



Amanda Campos

City Secretary

ACCESSIBILITY STATEMENT

The Burleson City Hall is wheelchair accessible. The entry ramp is located in the front of the building, accessible from Warren St. Accessible parking spaces are also available in the Warren St. parking lot. Sign interpretative services for meetings must be made 48 hours in advance of the meeting. Call the A.D.A. Coordinator at 817-426-9600, or TDD 1-800-735-2989.

Old Town Design Standards Review Committee

DEPARTMENT: Development Services
FROM: Peggy Fisher, Administrative Assistant Sr.
MEETING: September 23, 2026

SUBJECT:

Approve the minutes from September 17, 2025 Regular Session of the Old Town Design Standards Review Committee meeting.

SUMMARY:

Minutes from the September 17, 2025 Regular Session of the Old Town Design Standards Review Committee meeting

RECOMMENDATION:

Approve as presented

PRIOR ACTION/INPUT (Council, Boards, Citizens):

None

REFERENCE:

None

FISCAL IMPACT:

None

STAFF CONTACT:

Peggy Fisher
Recording Secretary
pfisher@burlesontx.com
817-426-9611

OLD TOWN DESIGN STANDARDS REVIEW COMMITTEE

September 17, 2025
MINUTES

Roll Call

Members Present

Art Brucks(Chair)
Neal Jones
Mary Slaney
Tim Spears(Vice Chair)
Jessica Shrauner
Jeremy Bleeker
Stacey Henry
Marsha Bloxom

Members Absent

Staff

Tony McIlwain, Director Development Services
Emilio Sanchez, Assistant Director Development Services

1. Call to Order – 5:30 PM

Invocation – Art Brucks

Pledge of Allegiance

2. Citizen Appearance

None

3. Consent Agenda

A. Approve the minutes from the July 17, 2025 Old Town Design Standards Review Committee meeting.

Motion was made by Committee Member Tim Spears and second by Committee Member Neal Jones to approve.

Motion passed, 7-0. Member Jeremy Bleeker arrived late for vote.

4. Items for Consideration

- A. Consider and take possible action on a right-of-way use agreement with BTX Old Town LLC and BTX Condominium Association Inc., for building balconies, signs, outdoor dining patios with attached canopies, fencing, building lighting, downspouts, and awnings that were constructed in the right-of-way, for buildings addressed as 135 & 139 W. Ellison Street. *(Staff Contact: Emilio Sanchez, Development Services Deputy Director)*

Motion was made by Committee Member Neal Jones and second by Committee Member Tim Spears to approve.

Motion passed, 8-0.

5. Reports and Discussion Items

None

6. Board Request for Future Agenda Items or Reports

None

7. Adjourn

There being no further business Chair Art Brucks adjourned the meeting.

Time – 6:05 PM

Peggy Fisher
Administrative Assistant
Recording Secretary

Old Town Design Standards Review Committee

DEPARTMENT: Development Services
FROM: Emilio Sanchez, Deputy Director
MEETING: September 23, 2026

SUBJECT:

114 W. Ellison Street (CSP26-015): Consider and take possible action on a development plan with waivers, for a new commercial building located at 114 W. Ellison Street. (*Staff Contact: Emilio Sanchez, Development Services Deputy Director*)

STRATEGIC PRIORITY AND GOAL(S):

Strategic Priority	Strategic Goal
 Dynamic & Preferred City Through Managed Growth	2.2 Promote sustainable residential and commercial development through strategic and long-term planning

SUMMARY:

On June 8, 2026, a development plan was submitted by Brad Berry with Form Studios, on behalf of Shipman Companies (Owners), of approximately 0.153 acres of land addressed as 114 W. Ellison Street. The applicants are proposing a new two-story commercial building in the "Neoclassical/Georgian Revival" architectural style.

Site Plan:

The applicants have submitted a site plan concurrently with the development plan, which does not conform to the landscaping, general yard requirements and sidewalk width requirements as outlined in the Central Commercial zoning district and the OT, Old Town overlay district.

The applicants are requesting waivers to the following:

Landscaping requirements-applicants propose to add landscaping to the Right-of-Way adjacent to the building to meet the required 20% of the total site square footage. Site is required to

provide 1,332 square feet of landscaping and the applicants are proposing 1,437 square feet of landscaping improvements in the right-of-way.

Building setbacks- the building will be setback two feet from the property line. The applicants request the encroachment of awnings, canopies and balconies to extend beyond the property line and into the adjacent right-of-way. These features will hang over the sidewalk.

City Council's approval of a *Right-of-Way Use Agreement* is required for the landscaping improvements, architectural encroachments, and any other anticipated encroachments. This is a similar approach that was taken with the Ellison Street buildings, adjacent to the Mayor Vera Calvin Plaza.

Proposed Architectural Style: Neoclassical/Georgian Revival (1880s to 1950)

Building Characteristics of Neoclassical/Georgian Revival

Two-to-four stories in height.	Contains this building characteristic
Full-height entrance porch, full-façade portico, or porch with round columns with complex capitals.	Does not contain this building characteristic
Flat roof with parapet and metal or cast stone cornice; or low-pitched hip roof, with roof-line balustrades, dormers in Classical style.	Contains this building characteristic
Rectangular windows (sometimes arched) with double-hung sashes, symmetrical, multipaned.	Contains this building characteristic
Prominent center window on second story often arched or curved.	Contains this building characteristic
Decorative pediments, brackets, cantilevered wall extensions, masonry columns and quoins, botanic garlands, rosettes, trim and brackets.	Contains this building characteristic
Exterior walls of brick, quarried stone and granite, limestone panels.	Contains this building characteristic

The Statement of Architectural and Contextual Compatibility (SACC), variance request, development plan, and building elevations are attached as Exhibit 3.

RECOMMENDATION:

Staff recommends approval of a development plan with waivers to the Planning and Zoning Commission and City Council.

PRIOR ACTION/INPUT (Council, Boards, Citizens):

None

REFERENCE:

<https://ecode360.com/39940294>

FISCAL IMPACT:

N/A

STAFF CONTACT:

Emilio Sanchez
Deputy Director
esanchezl@burlesontx.com
817-426-9686

Old Town Design Standards Review Committee

9.23.26

Case CSP26-015

PRESENTED TO OLD TOWN DESIGN STANDARDS COMMITTEE 9.23.2026

EMILIO SANCHEZ

DEVELOPMENT SERVICES DEPUTY DIRECTOR

CSP26-015– 114 W Ellison Street

Location:

- 114 W Ellison Street

Applicant:

- Brad Berry with Form Studios
- David Shipman with Shipman Companies (Owners)

Item for approval:

Development Plan/Commercial Site Plan with waivers for a new commercial building.



Property Information

Property Information:

- Zoned CC, Central Commercial District
- Located in the OT, Old Town Overlay District

Summary:

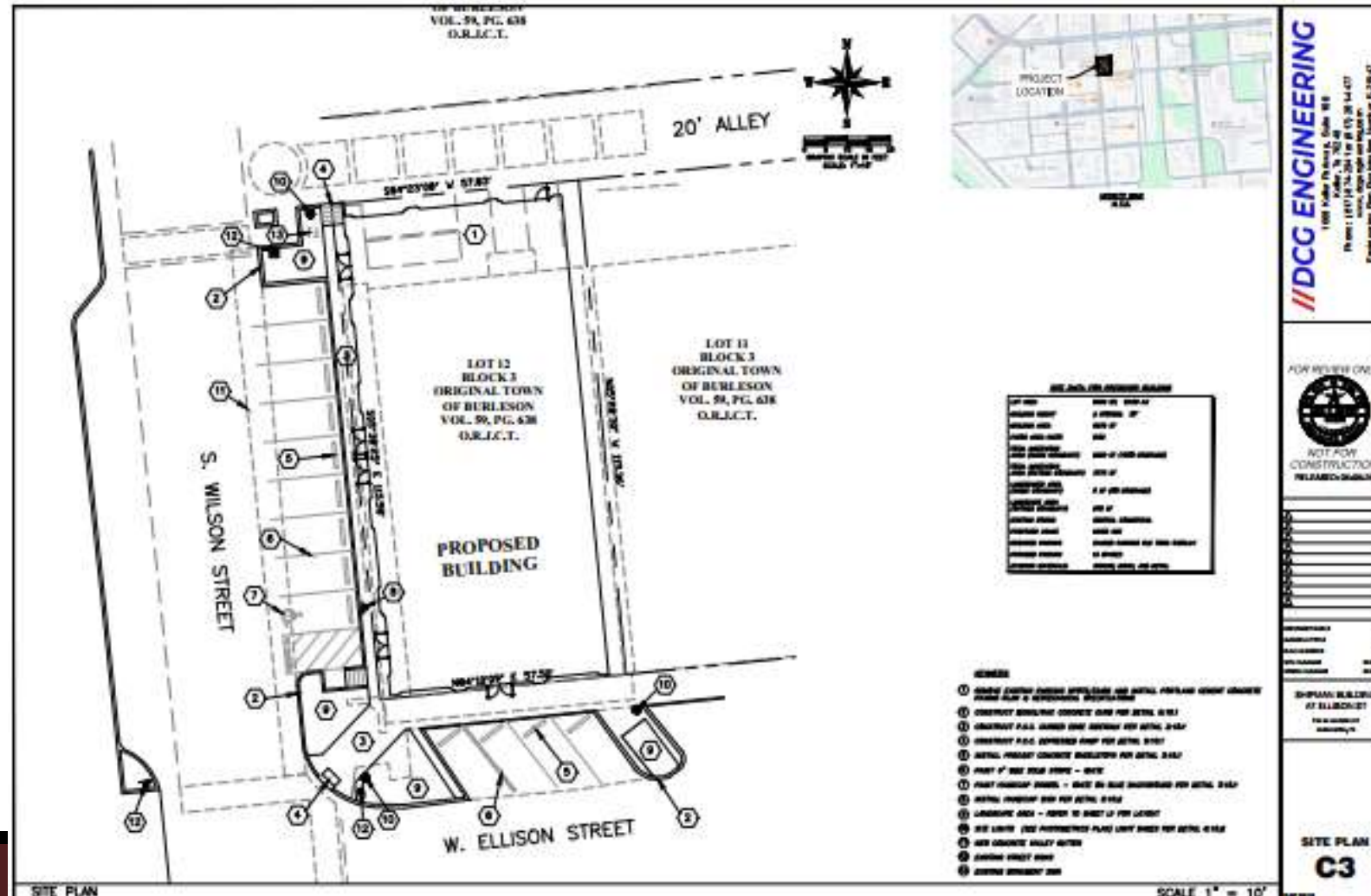
The applicant is proposing a new two-story Commercial Building in the “Neoclassical/Georgian Revival” architectural style with waivers to landscaping and setbacks.



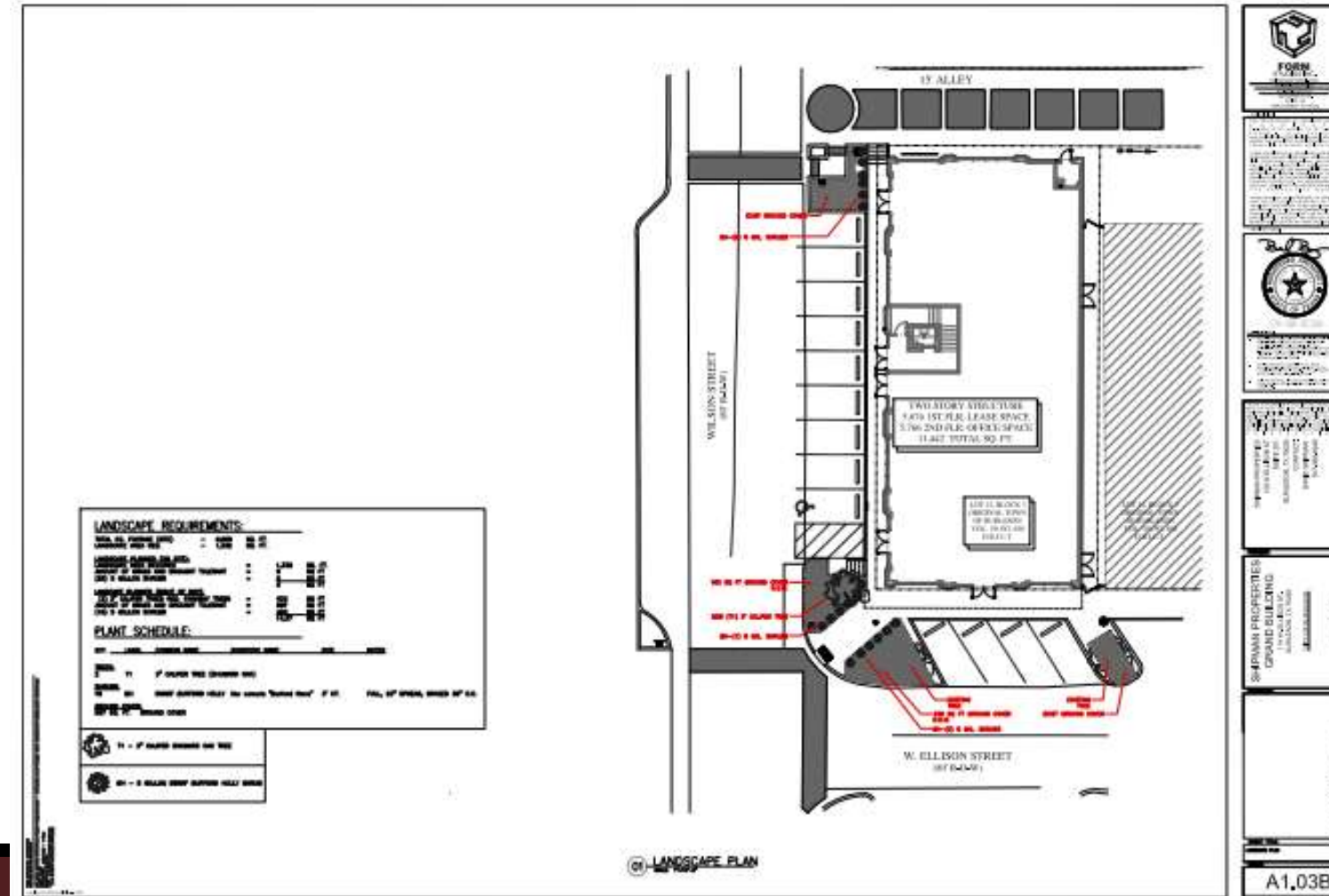
Neoclassical/Georgian Revival Building Characteristics

Old Town Design Standard Building Characteristics	Contains this Characteristic
Two to four stories in height.	Yes
Full-height entrance porch, full-façade portico or porch with round columns with complex capitals	No
Flat roof with parapet and metal or cast stone cornice; or low-pitched hip roof, with roof-line balustrades, dormers in Classical style.	Yes
Rectangular windows (sometimes arched) with double-hung sashes, symmetrical, multipaned.	Yes
Prominent center window on second story often arched or curved.	Yes
Decorative pediments, brackets, cantilevered wall extensions, masonry columns and quoins, botanic garlands, rosettes, trim and brackets.	Yes
Exterior walls of brick, quarried stone and granite, limestone panels.	Yes

114 W Ellison Street Site Plan



114 W Ellison Street Landscape Plan



114 W Ellison Street Building Rendering



NOT FOR REGULATORY
APPROVAL, PERMITTING
OR CONSTRUCTION

SHINAMI PROPERTIES
GRAND BUILDING
114 W ELLISON ST
BURLESON, TX 76010
817.222.1111

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114 W ELLISON ST
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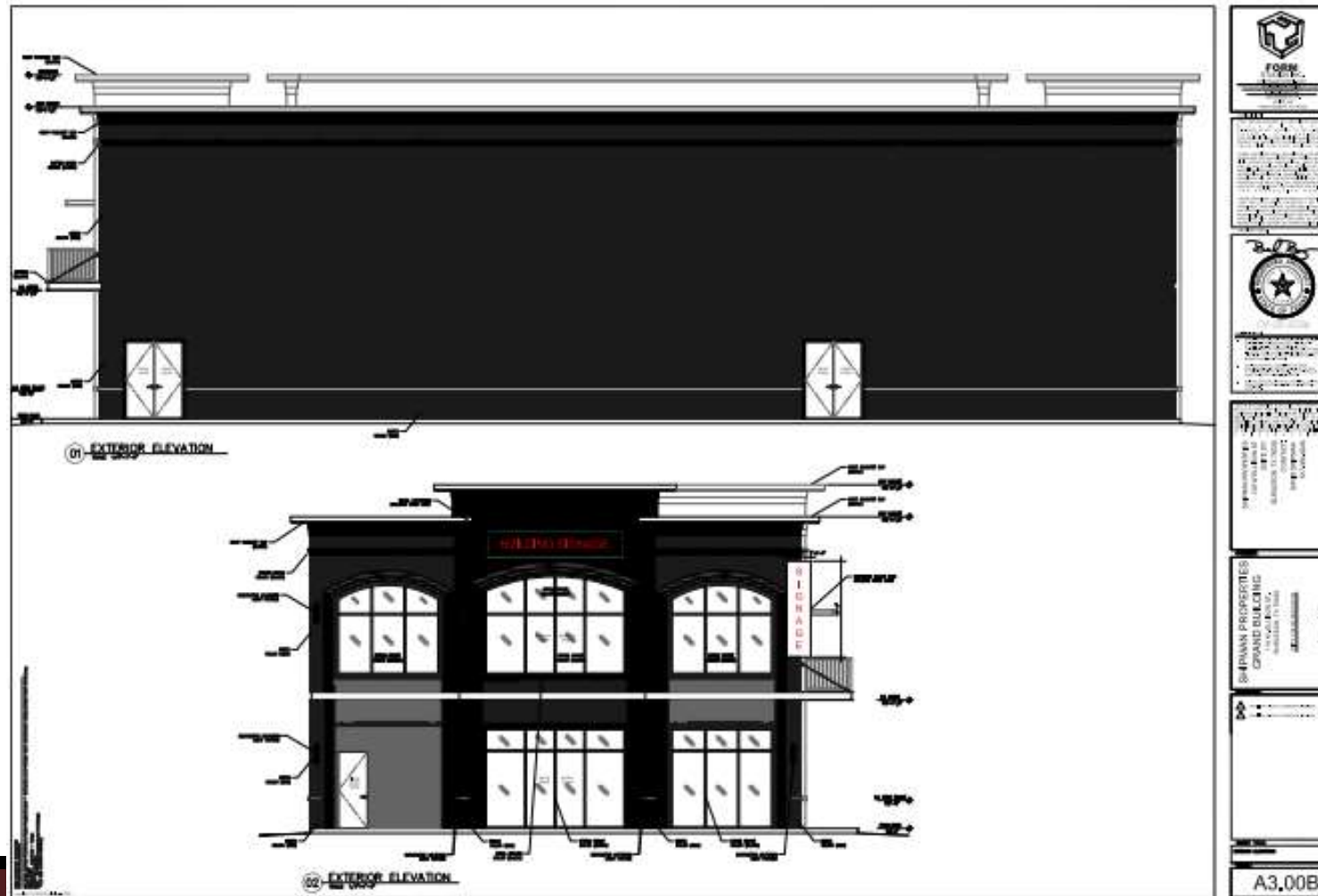
SHINAMI PROPERTIES
GRAND BUILDING
114 W ELLISON ST
BURLESON, TX 76010
817.222.1111

A3.00C

114 W Ellison Street Building Elevations



114 W Ellison Street Building Elevations



114 W Ellison Street

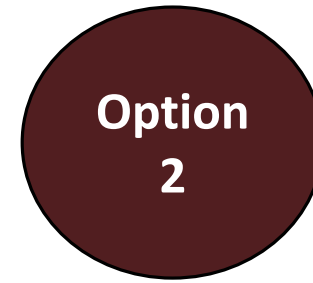
Staff Recommendation:

- Staff recommends approval of a development plan for a commercial building designed in the Neoclassical/Georgian Revival architectural style.





Approve



Deny



Questions / Comments

Emilio Sanchez
Development Services Deputy Director
esanchez@burlesontx.com
817.426.9686



STATEMENT OF ARCHITECTURAL AND CONTEXTUAL COMPATIBILITY

ADDRESS OF PROPOSED PROJECT:

114 W. ELLISON STREET
BURLESON, TX 76028

OWNER INFO:

SHIPMAN PROPERTIES
139 W. ELLISON ST.
SUITE 201
BURLESON, TX 76028

ARCHITECT:

FORM studios, LLC
Brad Berry
300 Burnett Street
Suite 120
Fort Worth, TX 76102

PROJECT INFO:

We are proposing a two-story brick building structure that is total of 11,442 square feet of mixed-use space, located at the corner of Ellison and Wilson Street. First floor lease space of 5,676 sq. ft. to be leased to Old Texas Brewing Company for expansion space. Second floor space of 5,766 sq. ft. to be new office space for Shipman Companies.

Placement of Building:

The building to be located two feet from property line along Wilson Street, two feet from alley way, façade to be on the property line along Ellison Street, and 4'-2-1/2" from property line next to Old Texas Brewing.

Parking:

Nine new parking stalls are planned on Wilson Street with one of them being a T.A.S. parking stall. Parking along Ellison is the four existing stalls.

**Building Façade:**

Architectural style of the building would be Neoclassical/Georgian revival. Building facades along Wilson Street, Ellison Street, and north side of the building to be considered as Type A facades, and the Type B façade will be on the east side of the building. The materials proposed for this building will be red, and black, with black steel awnings and railings, black storefront, and black parapet cap.

Type A façade along Wilson Street contains the following:

- Main entrances into the lease space on the first floor and the main entry into stair/elevator vestibule for the second floor (Shipman Companies).
- Large storefront windows on the first and second floor.
- Continuous steel awning along Wilson Street façade with a porch and railing for second floor porch.
- Taller parapet at center portion of the building at 35'-9 ½".
- End parapets will be 32'-5 ½" tall.
- At each window/door bay, the brick steps back three courses to give added depth and shadow line to the façade.
- Arched brick work above each window bay on the second floor.
- Each entrance has double 3'X8' glass doors and storefront glass next to the doors.
- Steel awning above doors for the second floor porch.
- There will be a brick detailed sign band at center of the building on the second floor.
- Ornate horizontal brick work near the roof parapet.
- Decorative Up/Down lighting fixture at each column.
- Ornate brick at the heads and sills of each window.
- Solider brick work to be installed below all parapet caps.
- Continuous solider brick band above windows along façade.

Type A façade along Ellison Street contains the following:

- Main entrances into the lease space on the first floor.
- Large storefront windows on the first and second floor.
- Continuous steel awning along Ellison Street façade with a porch and railing for second floor porch.
- Taller parapet at center portion of the building at 35'-9 ½".
- End parapets will be 32'-5 ½" tall.



- At each window/door bay, the brick steps back three courses to give added depth and shadow line to the façade.
- Arched bricks work above each window bay on the second floor.
- Each entrance has double 3'X8' glass doors and storefront glass next to the doors.
- Steel awning above doors for the second-floor porch.
- There will be a detailed brick sign band at center of the building on the second floor.
- Ornate horizontal bricks work near the roof parapet.
- Decorative Up/Down lighting fixture at each column.
- Ornate brick at the heads and sills of each window.
- Solider brick work to be installed below all parapet caps.
- Continuous solider brick band above windows along façade.

Type A facade along North side of the building facing the alley way contains the following:

- Large storefront windows on the first and second floor.
- Continuous steel channel relief in brick separating from the first to second floor. Will be aligned with the steel awning that runs continuously along Wilson and Ellison Street.
- Taller parapet at center portion of the building at 35'-9 ½".
- End parapets will be 32'-5 ½" tall.
- At each window bay, the brick steps back three courses to give added depth and shadow line to the façade.
- Arched bricks work above each window bay on the second floor.
- There will be a detailed brick sign band at center of the building on the second floor.
- Ornate horizontal bricks work near the roof parapet.
- Decorative Up/Down lighting fixture at each column.
- Ornate brick at the heads and sills of each window.
- Solider brick work to be installed below all parapet caps.
- Access door to the riser room.

Type B façade that is next to Brewery contains:

- The parapet wall at the back of the building is continuous at 32'-5 ½".
- Ornate horizontal bricks work near the roof parapet.
- Solider brick work to be installed below all parapet caps.
- Doors in the façade will be: two double 3'x8' steel doors painted black.



Roofing:

- TPO membrane roof with roof sloping to the rear of the building.
- Four downspouts along backside of the building
- Parapet walls to be five feet taller than roof, to block visibility of rooftop mechanical units.

Thank you,

Brad Berry
Principal
FORM studios, LLC.

Variance Request – Burleson

Variance Request #1 – Landscaping Ordinance.

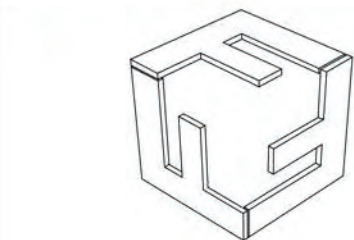
City of Burleson Landscaping Ordinance requires that landscaping equally at least 20% of the site be provided. Of that 20%, not less than 40% shall be located in the front yard.

Request – Development respectfully request that this requirement be waived as the site is located in the Old Town Overlay with the building pressed up to the property lines as customary in said district. The applicant is proposed an enhanced landscaping within the right-of-way to help compensate for lack of landscape area within the proposed development lot.

Variance Request # 2 – Awnings / Canopies

City of Burleson code requires that awnings and canopies are contained within the subject property and do not cross over property lines / right-of-way.

Request – Development requests that awnings / canopies are allowed to cross over the right-of-way line and cover the sidewalks as shown. This will keep in line and spirit with other buildings within the Old Town District of the City.



**FORM
STUDIOS INC.**
FSITEAM@FORMS.COM
817-426-3006 VOICE
817-426-3008 FAX
300 BURNETT ST.
SUITE 120
FORT WORTH, TX 76102

JURISDICTION

THE TEXAS BOARD OF ARCHITECTURAL E X A M I N E R S
P. O. BOX 12337, AUSTIN, TX 78711-2337
P H O N E (5 1 2) 3 0 5 - 9 0 0 0
HAS JURISDICTION OVER INDIVIDUALS LICENSED
UNDER THE ARCHITECT'S REGISTRATION LAW,
TEXAS CIVIL STATUTES, ARTICLE 249A

THESE ARCHITECTURAL DRAWINGS HAVE BEEN
PREPARED FOR ARCHITECTURAL DESIGN ONLY.
CIVIL, STRUCTURAL, MECHANICAL, AND OTHER
RELATED ENGINEERING DESIGNATED
SPECIFICATIONS ARE THE RESPONSIBILITY OF THE
RESPECTIVE ENGINEERS. COMPLIANCE OF THESE
DRAWINGS WILL BE THE RESPONSIBILITY OF THE
GENERAL CONTRACTOR. ALL MEASUREMENTS
SHALL BE VERIFIED BY THE CONTRACTOR DOING
T H E R E S P E C T I V E W O R K .

THESE DRAWINGS, AS INSTRUMENTS OF SERVICE
ARE THE EXCLUSIVE PROPERTY OF THE
ARCHITECT, AND ARE NOT TO BE USED IN WHOLE
OR PART WITHOUT HIS OR HER EXPRESS WRITTEN
PERMISSION. UNAUTHORIZED USE OF THESE
DRAWINGS WILL SUBJECT THE USER TO LEGAL
REMEDY BEING SOUGHT BY FORM STUDIOS INC.

ARCHITECT SEAL:

**NOT FOR REGULATORY
APPROVAL, PERMITTING
OR CONSTRUCTION.**

JOHN B BERRY
#21785

2/26/2026

CONDITION NOTES:

1. DRAWINGS ARE ONLY AN APPROXIMATION OF EXISTING
CONDITIONS. CONTRACTOR SHALL VISIT SITE AND
EXAMINE EXISTING CONSTRUCTION. NOTE ALL
CONDITIONS AS TO CHARACTER AND EXTENT OF WORK
INVOLVED. VERIFY ALL DIMENSIONS PRIOR TO LAYOUT
AND NOTIFY FORM STUDIOS OF ANY DISCREPANCIES.
BEFORE STARTING ANY WORK.
2. CONTRACTOR SHALL COORDINATE ALL TRADE
REQUIREMENTS AND REPORT CONFLICTS TO FORM
STUDIOS IMMEDIATELY. IF FOUND, THE CONTRACTOR
SHALL VERIFY ALL DIMENSIONAL DATA.
3. CONTRACTOR SHALL NOT SCALE DRAWINGS. CONTACT
FORM STUDIOS FOR DIMENSIONAL CONFLICTS AND
QUESTIONS.

THESE DOCUMENTS SHALL NOT BE USED FOR
REGULATORY REVIEW, PERMITTING NOR
CONSTRUCTION UNTIL A SIGNATURE AND DATE HAS
BEEN AFFIXED TO THE SEAL. DO NOT SCALE
DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING
CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT
OF ANY DISCREPANCIES PRIOR TO BEGINNING
C O N S T R U C T I O N

SHIPMAN PROPERTIES
139 W ELLISON ST
SUITE 201
BURLESON, TX 76028
CONTACT:
DAVID SHIPMAN
817-360-9248

PROJECT:

**SHIPMAN PROPERTIES
GRAND BUILDING**
114 W. ELLISON ST.
BURLESON, TX 76028
CITY OF BURLESON
FORM studios, Inc.
© FSI 2026

REVISIONS:

ISSUE FOR REVIEW DATED 02/25/2026

SHEET TITLE:

RENDERING

SHEET:

A3.00C



JURISDICTION-

THESE ARCHITECTURAL DRAWINGS HAVE BEEN PREPARED FOR ARCHITECTURAL DESIGN ONLY. CIVIL, STRUCTURAL, MECHANICAL, AND OTHER RELATED ENGINEERING DESIGNATED SPECIFICATIONS ARE THE RESPONSIBILITY OF THE RESPECTIVE ENGINEERS. COMPLIANCE OF THESE DRAWINGS WILL BE THE RESPONSIBILITY OF THE USER. CONTRACTOR, ARCHITECT, OR ENGINEER SHALL BE VERIFIED BY THE CONTRACTOR DOING THE RESPECTIVE WORK.

THESE DRAWINGS, AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT, AND ARE NOT TO BE USED IN WHOLE OR IN PART WITHOUT HIS OR HER EXPRESS WRITTEN PERMISSION. UNAUTHORIZED USE OF THESE DRAWINGS WILL SUBJECT THE USER TO LEGAL REMEDY BEING SOUGHT BY FIRM STUDIOS INC.

ARCHITECT SEA



CONDITIONAL NOTES:

- THESE DOCUMENTS SHALL NOT BE USED FOR REGULATORY REVIEW, PERMITTING NOR CONSTRUCTION UNTIL A SIGNATURE AND DATE HAVE BEEN AFFIXED TO THE SEAL. DO NOT SCALE DRAWINGS CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS-NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION

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PROJECT:

FORM studios, Inc.

REVISIONS

- SHEET TITLE:**
EXTERIOR ELEVATIONS

5433

A3.00A

28

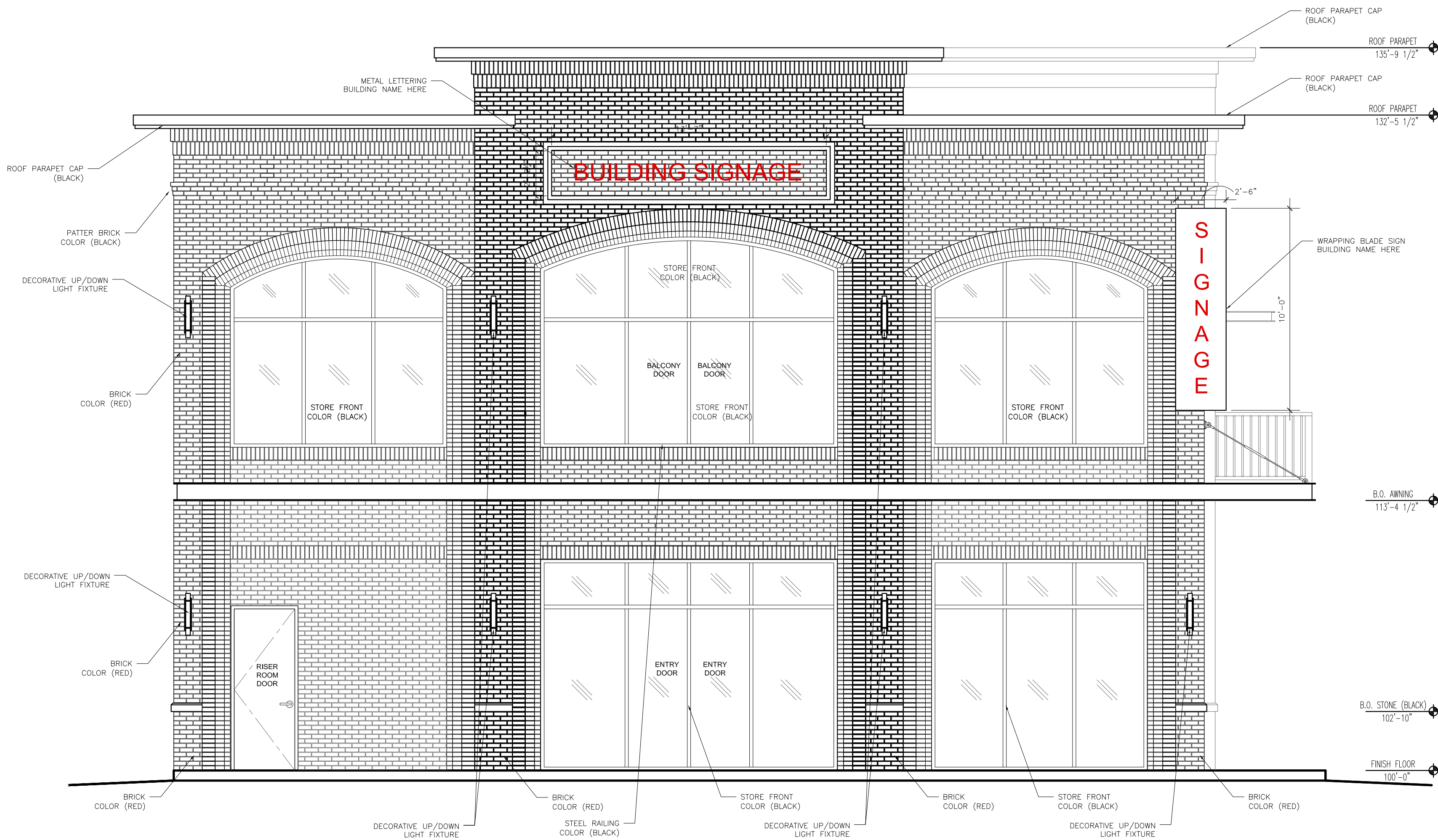


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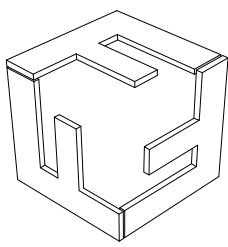
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SHEE, ALVA
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XREF: 201 SHEPAM GRAND-BUILDING SOURCE.dwg
SHEET NAME: C:\WORK\STUDIOS\form\Studios\Inpspec\p19619 - 2025\2025-10-29 SHEPAM GRAND BUILDING\3000 SERIES-SHEPAM GRAND BUILDING.dwg
B174-276-2020# for



01 EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

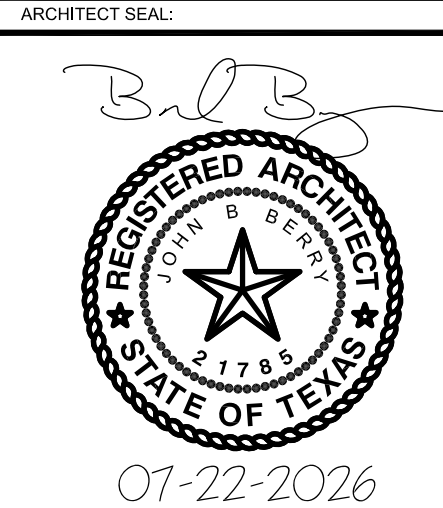


02 EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



**FORM
STUDIOS INC.**
FSITEAM@FORMSI.COM
817-426-3006 VOICE
817-426-3006 FAX
300 BURNETT ST.
SUITE 120
FORT WORTH, TX 76102

JURISDICTION:
THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS (T.B.A.E.) HAS JURISDICTION OVER INDIVIDUALS LICENSED UNDER THE ARCHITECTS REGISTRATION LAW, TEXAS CIVIL STATUTES, ARTICLE 249A
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THESE DRAWINGS, AS INSTRUMENTS OF SERVICE ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT, AND ARE NOT TO BE USED IN WHOLE OR PART WITHOUT HIS OR HER EXPRESS WRITTEN PERMISSION. UNAUTHORIZED USE OF THESE DRAWINGS WILL SUBJECT THE USER TO LEGAL REMEDY BEING SOUGHT BY FORM STUDIOS INC.



- CONDITION NOTES:
- DRAWINGS ARE ONLY AN APPROXIMATION OF EXISTING CONDITIONS. CONTRACTOR SHALL VISIT SITE AND EXAMINE EXISTING CONSTRUCTION. NOTE ALL CONDITIONS AS TO CHARACTER AND EXTENT OF WORK. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO LAYOUT AND NOTIFY FORM STUDIOS OF ANY DISCREPANCIES.
 - CONTRACTOR SHALL COORDINATE ALL TRADE REQUIREMENTS AND REPORT CONFLICTS TO FORM STUDIOS IMMEDIATELY. IF FOUND, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONAL DATA.
 - CONTRACTOR SHALL NOT SCALE DRAWINGS. CONTACT FORM STUDIOS FOR DIMENSIONAL CONFLICTS AND QUESTIONS.

THESE DOCUMENTS SHALL NOT BE USED FOR REGULATORY REVIEW, PERMITTING NOR CONSTRUCTION UNTIL A SIGNATURE AND DATE HAS BEEN AFFIXED TO THE SEAL. DO NOT SCALE DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION.

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139 W ELLISON ST
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BURLESON, TX 76028
CONTACT:
DAVID SHIPMAN
817-360-9248

PROJECT:
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GRAND BUILDING
114 W. ELLISON ST.
BURLESON, TX 76028
CITY OF BURLESON

- REVISIONS:
- | | |
|---|-------------------------------------|
| △ | REVISION 1 - DAC COMMENTS 6-26-2026 |
| △ | REVISION 2 - DAC COMMENTS 7-21-2026 |

SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET:
A3.00B



02 SITE MAP

SCALE: NTS

NOTE 1 – T.A.S. CHANGE IN LEVELS

- IF AN ACCESSIBLE ROUTE HAS CHANGES GREATER THAN $\frac{1}{2}$ " THEN A CURB RAMP, RAMP, ELEVATOR OR PLATFORM LIFT SHALL BE PROVIDED.
- AT ENTRY OR DOORWAY MAX. VERTICAL DISTANCE IS $\frac{1}{2}$ " TOTAL HEIGHT INCLUDING ANY DOOR HARDWARE OR THRESHOLD.
- AT CHANGES IN FLOORING MATERIAL MAX. CHANGE IN HEIGHT IS $\frac{1}{2}$ " (TOTAL HEIGHT).

T.A.S. CONCRETE SURFACE

- SURFACES OF CURB RAMPS SHALL COMPLY WITH SECTION 4.5 ABOVE.
(1) TEXTURES SHALL CONSIST OF EXPOSED CRUSHED STONE AGGREGATE, ROUGHENED CONCRETE, RUBBER, RAISED ABRASIVE STRIPS, OR GROOVES EXTENDING THE FULL WIDTH AND DEPTH OF THE CURB RAMP. SURFACES THAT ARE RAISED, ETCHED, OR GROOVED IN A WAY THAT WOULD ALLOW WATER TO ACCUMULATE ARE PROHIBITED.
- FOR PURPOSES OF WARNING, THE FULL WIDTH AND DEPTH OF CURB RAMPS SHALL HAVE A LIGHT REFLECTIVE VALUE AND TEXTURE THAT SIGNIFICANTLY CONTRASTS WITH THAT OF ADJOINING PEDESTRIAN ROUTES.

T.A.S. PAVING SLOPE REQUIREMENTS

- | | |
|----------------------------------|----------------------------------|
| 1. ACCESSIBLE ROUTE | <5% SLOPE
<2% CROSS SLOPE |
| 2. RAMP & CURB RAMP | <8.33% (1:12)
<2% CROSS SLOPE |
| 3. T.A.S. PARKING & ACCESS AISLE | <2% SLOPE IN ANY DIRECTION |
- < = LESS THAN

SITE IRRIGATION:

- A LOW VOLUME IRRIGATION SYSTEM, THAT PROVIDES 100% COVERAGE TO ALL PROPOSED PLANTINGS, WILL BE DESIGNED AND INSTALLED BY THE CONTRACTOR AND WILL BE MAINTAINED BY OWNER.
- THE PROPOSED IRRIGATION SYSTEM MUST MEET OR EXCEED ALL APPLICABLE CITY CODE REQUIREMENTS. (I.E., BACK FLOW PREVENTION, AUTOMATIC RAIN SHUTOFF DEVICE, ETC...)
- IRRIGATION SHOP DRAWINGS MUST BE SUBMITTED AND APPROVED BY THE CITY PRIOR TO THE COMMENCEMENT OF WORK.
- IRRIGATION SYSTEM MUST BE INSPECTED AND ACCEPTED BY CITY PROJECT MANAGER PRIOR TO INSTALLATION OF MULCH.
- UNDERGROUND IRRIGATION SYSTEM PLANS DESIGNED BY A LICENSED IRRIGATOR WILL BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION.

LOT SQUARE FOOTAGE:

TOTAL SQ. FOOTAGE (SITE)	=	6,659	SQ. FT.
BUILDING PAD SQ. FOOTAGE	=	5,676	SQ. FT.

PARKING IN R-O-W:

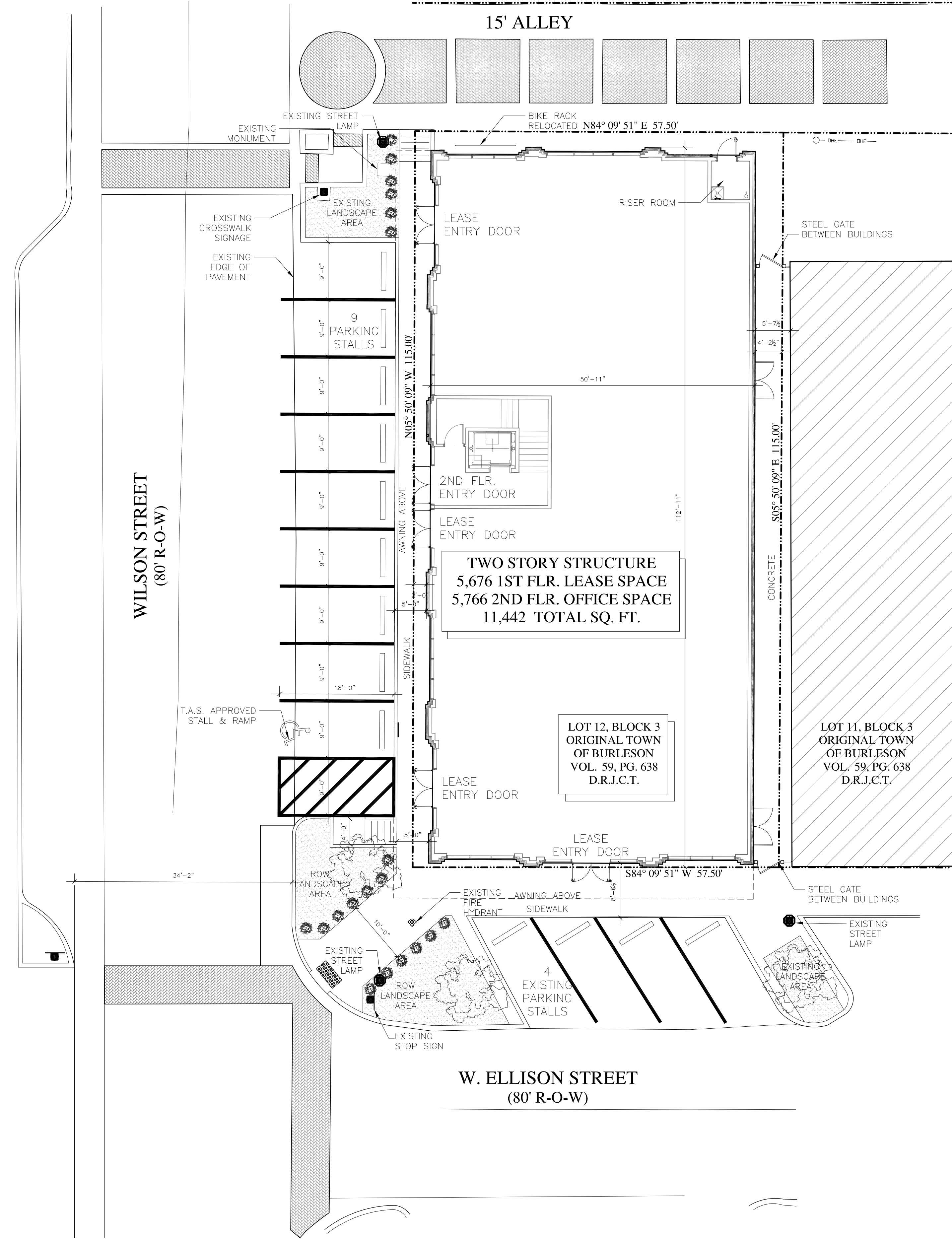
PARKING PLANNED	=	13
HANDICAP STALLS	=	1

SITE LIGHTING / BUILDING LIGHTING:

- POWER TO BE CONTROLLED BY ELECTRIC EYE.
- REFER TO A2.04 SERIES LIGHT LEGEND FOR FIXTURE SPECIFICATIONS.

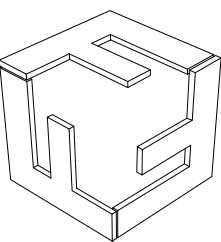
GENERAL NOTES: T.A.S.

- ALL PAVING AND CURBING TO COMPLY WITH T.A.S. GUIDELINES FOR SURFACES, SLOPE, AND CROSS SLOPE. T.A.S. 4.3.2, 4.3.3, 4.3.4, 4.3.5, 4.3.6, 4.3.7, 4.3.8, 4.5.1, 4.5.2, AND 4.5.3.
- PARKING TO COMPLY WITH T.A.S. 4.6.1, 4.6.2, AND 4.6.3.
- RAMPS TO COMPLY WITH T.A.S. 4.7.1, 4.7.2, 4.7.3, 4.7.4, 4.7.5, 4.7.6, 4.7.8, 4.7.9, 4.7.10, 4.8.



02 SITE PLAN

SCALE: 1"=10'-0"



FORM
STUDIOS INC.
FSITEAM@FORMS.COM
817-426-3006 VOICE
817-426-3006 FAX
300 BURNETT ST.,
SUITE 120
FORT WORTH, TX 76102

JURISDICTION:

THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS
P.O. BOX 12337, AUSTIN, TX 78711-2337
PHONE: (512) 305-9000
HAS JURISDICTION OVER INDIVIDUALS LICENSED UNDER THE ARCHITECTS REGISTRATION LAW, TEXAS CIVIL STATUTES, ARTICLE 249A

THESE ARCHITECTURAL DRAWINGS HAVE BEEN PREPARED FOR ARCHITECTURAL DESIGN ONLY. CIVIL, STRUCTURAL, MECHANICAL, AND OTHER RELATED ENGINEERING DESIGNATED SPECIFICATIONS ARE THE RESPONSIBILITY OF THE RESPECTIVE ENGINEERS. COMPLIANCE OF THESE DRAWINGS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL MEASUREMENTS SHALL BE VERIFIED BY THE CONTRACTOR DURING THE RESPECTIVE WORK.

THESE DRAWINGS, AS INSTRUMENTS OF SERVICE ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT, AND ARE NOT TO BE USED IN WHOLE OR PART WITHOUT HIS OR HER EXPRESS WRITTEN PERMISSION. UNAUTHORIZED USE OF THESE DRAWINGS WILL SUBJECT THE USER TO LEGAL REMEDY BEING SOUGHT BY FORM STUDIOS INC.

ARCHITECT SEAL:



CONDITION NOTES:

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SHIPMAN PROPERTIES
139 W ELLISON ST
SUITE 201
BURLESON, TX 76028
CONTACT:
DAVID SHIPMAN
817-360-9248

PROJECT:

SHIPMAN PROPERTIES
GRAND BUILDING
114 W. ELLISON ST.
BURLESON, TX 76028
CITY OF BURLESON

REVISIONS:

SHEET TITLE:

SITE PLAN

SHEET:

A1.03A

ISSUE FOR REVIEW DATED 05/26/2026

FORM STUDIOS INC. 817-426-3006 FAX 817-426-3006
FILE NAME: C:\Users\jdoody\Documents\2023\2023-05-01 SHIPMAN GRAND BUILDING\A1.03B LANDSCAPE PLAN.dwg
DATE: 05/01/2023 11:13 AM
DRAWN BY: jdoody
CHECKED BY: jdoody
SCALE: 1"=10'-0"

LANDSCAPE REQUIREMENTS:

TOTAL SQ. FOOTAGE (SITE) - 6,659 SQ. FT.
LANDSCAPE AREA REQ. - 1,332 SQ. FT.

LANDSCAPE PLANNED (ON SITE):
LANDSCAPE AREA REQUIRED = 1,332 SQ. FT.
AMOUNT OF GRASS AND DROUGHT TOLERANT = 0 SQ. FT.
(28) 5 GALLON SHRUBS = 0 SQ. FT.
= 0 SQ. FT.

LANDSCAPE PLANNED (RIGHT OF WAY):
(2) 3" CALIPER TREES REQ. PARKWAY TREES = 400 SQ. FT.
AMOUNT OF GRASS AND DROUGHT TOLERANT = 587 SQ. FT.
(18) 5 GALLON SHRUBS = 450 SQ. FT.
= 14.37 SQ. FT.

PLANT SCHEDULE:

QTY.	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
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TREES:
2 T1 3" CALIPER TREE (SHUMARD OAK)

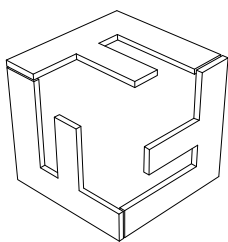
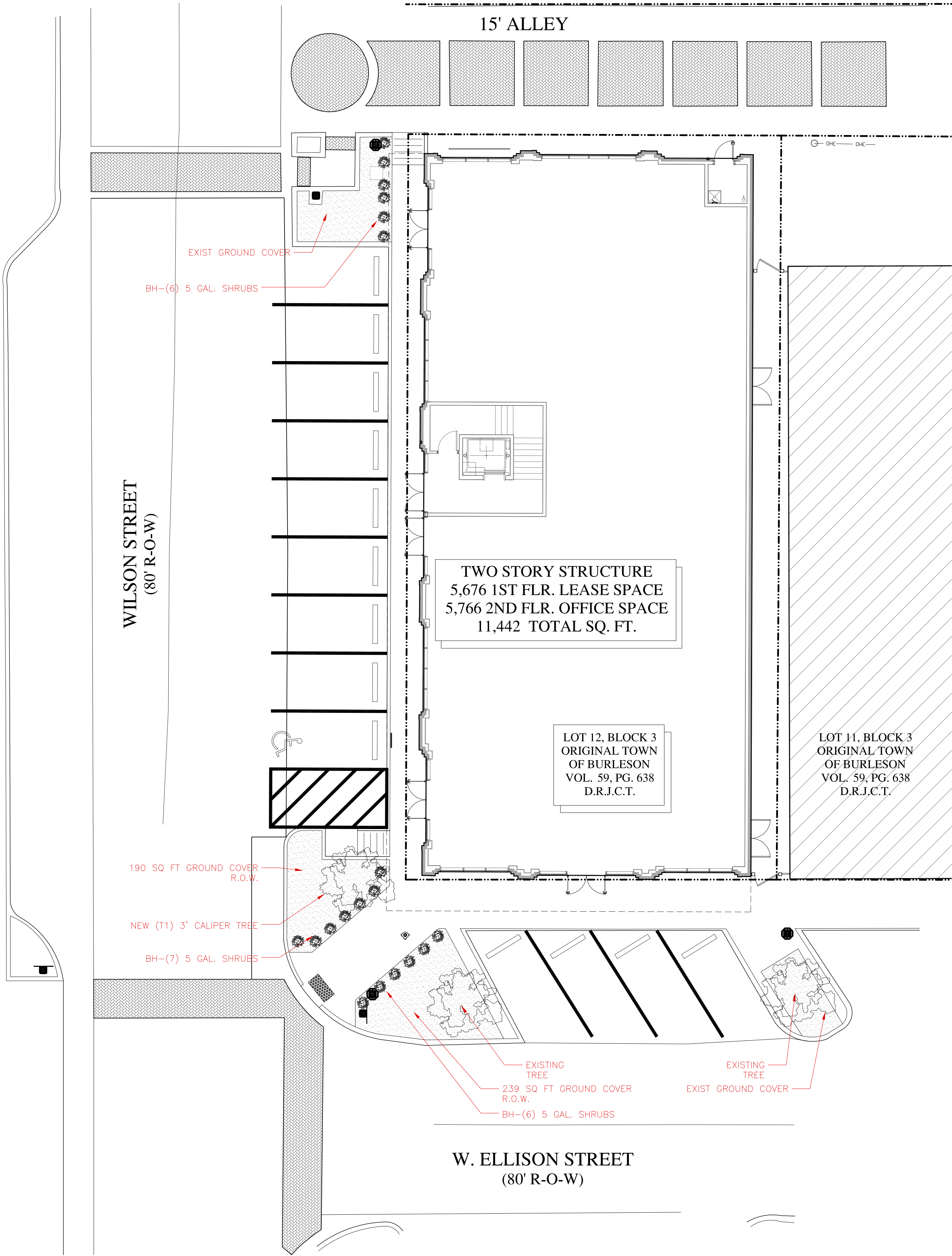
SHRUBS:
18 BH DWARF BURFORD HOLLY liex comuta "Burford Nana" 3' HT. FULL, 20" SPREAD, SPACED 36" O.C.

GROUND COVER:
587 SQ. FT. GROUND COVER

T1 - 3" CALIPER SHUMARD OAK TREE

BH - 5 GALLON DWARF BURFORD HOLLY SHRUB

01 LANDSCAPE PLAN
SCALE: 1"=10'-0"



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ARCHITECT SEAL:



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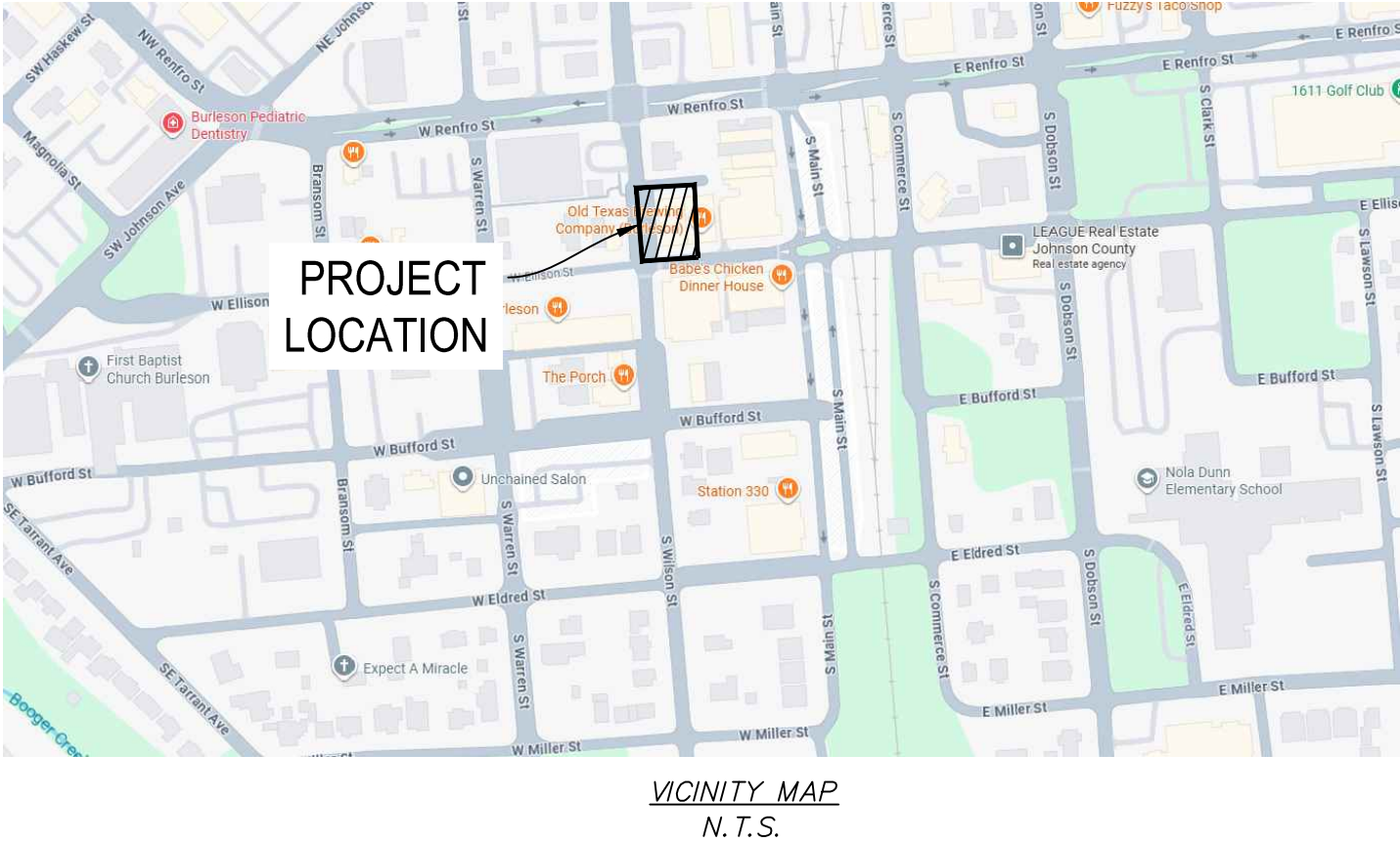
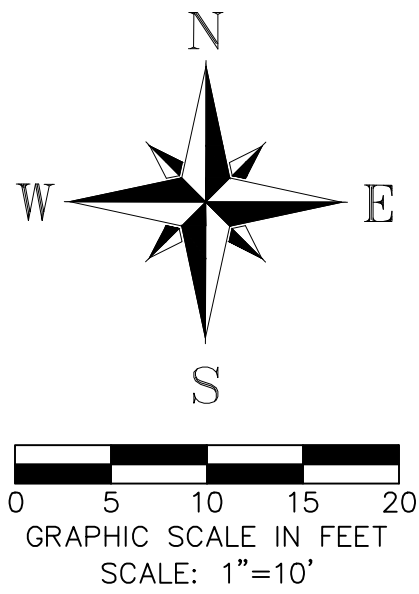
ISSUE FOR REVIEW DATED 05/26/2026

SHEET TITLE:
LANDSCAPE PLAN

SHEET:

A1.03B

OF BURLESON
VOL. 59, PG. 638
O.R.J.C.T.



DCC ENGINEERING

1668 Keller Parkway, Suite 100
Keller, TX 76248
Phone: (817) 874-2941 or (817) 201-4477
www.dccengineering.com
Engineering Firm Registration Number F-21947

FOR REVIEW ONLY



NOT FOR
CONSTRUCTION
RELEASED: 06-08-26

JOB NO. 1157-02

CONTRACT DATE: 1
BUILDING TYPE: 1
PLAN VERSION: 1
SITE NUMBER: XXXXXX
STORE NUMBER: XXXXXX

SHIPMAN BUILDING
AT ELLISON ST
114 W ELLISON ST
BURLESON, TX

SITE PLAN
C3

PLOT DATE:

LOT 12
BLOCK 3
ORIGINAL TOWN
OF BURLESON
VOL. 59, PG. 638
O.R.J.C.T.

LOT 11
BLOCK 3
ORIGINAL TOWN
OF BURLESON
VOL. 59, PG. 638
O.R.J.C.T.

**PROPOSED
BUILDING**

SITE DATA FOR PRESCHER BUILDING

LOT AREA	6659 SF; 0.153 AC
BUILDING HEIGHT	2 STORIES; 30'
BUILDING AREA	5676 SF
FLOOR AREA RATIO	0.85
TOTAL IMPERVIOUS AREA (INSIDE BOUNDARY)	6659 SF (100% COVERAGE)
TOTAL IMPERVIOUS AREA (OUTSIDE BOUNDARY)	3775 SF
LANDSCAPED AREA (INSIDE BOUNDARY)	0 SF (0% COVERAGE)
LANDSCAPE AREA (OUTSIDE BOUNDARY)	678 SF
EXISTING ZONING	CENTRAL COMMERCIAL
PROPOSED USAGE	MIXED USE
REQUIRED PARKING	SHARED PARKING OLD TOWN OVERLAY
PROVIDED PARKING	13 SPACES
EXTERIOR MATERIALS:	STUCCO, BRICK, AND METAL

KEYNOTES

- REMOVE EXISTING PARKING SPOTS/CURB AND INSTALL PORTLAND CEMENT CONCRETE PAVING PLAN & GEOTECHNICAL SPECIFICATIONS
- CONSTRUCT MONOLITHIC CONCRETE CURB PER DETAIL 9:10.1
- CONSTRUCT P.C.C. CURBED EDGE SIDEWALK PER DETAIL 2:10.1
- CONSTRUCT P.C.C. DEPRESSED RAMP PER DETAIL 5:10.1
- INSTALL PRECAST CONCRETE WHEELSTOPS PER DETAIL 3:10.1
- PAINT 4" WIDE SOLID STRIPE - WHITE
- PAINT HANDICAP SYMBOL - WHITE ON BLUE BACKGROUND PER DETAIL 7:10.1
- INSTALL HANDICAP SIGN PER DETAIL 5:10.2
- LANDSCAPE AREA - REFER TO SHEET L1 FOR LAYOUT
- SITE LIGHTS (SEE PHOTOMETRICS PLAN) LIGHT BASES PER DETAIL 6:10.2
- NEW CONCRETE VALLEY GUTTER
- EXISTING STREET SIGNS
- EXISTING MONUMENT SIGN

SITE PLAN

SCALE 1" = 10'