

Planning & Zoning Commission Agenda

Tuesday, September 12, 2023 6:00 PM City Hall - 141 W. Renfro Burleson, TX 76028

1. CALL TO ORDER

Invocation

Pledge of Allegiance

2. CITIZEN APPEARANCES

Other than public hearings, citizens in attendance who desire to speak to the Planning and Zoning Commission may speak during this section. Each person will be allowed three (3) minutes to speak and will not be interrupted by the Commission or staff. If you would like to speak, please fill out a speaker card and give the completed card to the City staff prior to addressing the Commission. Please note that the Commission may only take action on items posted on the agenda. The Texas Open Meetings Act prohibits the Commission from deliberating or taking action on an item not listed on the agenda. Please also note that speakers who desire to speak on an item listed for public hearing will address the Commission during the public hearing and consideration of that particular agenda item.

3. CONSENT AGENDA

All items listed below are considered to be routine by the Planning and Zoning Commission and will be enacted with one motion. There will be no separate discussion of the items unless a Commissioner or citizen so requests, in which event the item will be removed from the consent agenda and considered in its normal sequence. Approval of the consent agenda authorizes the Development Services Director to place each item on the City Council agenda in accordance with the Planning and Zoning Commission's recommendations.

- A. Consider approval of the minutes from August 15, 2023 Planning & Zoning Commission meeting.
- B. Preliminary Plat extension for High Country: Approve a 24-month extension to the preliminary plat for High Country, Lots 1X, 78X, 1-78, Block 1;Lots 1-20, Block 2; Lots 1-25, Block 3; Lots 1X, 1-26, Block 4; Lots 1X, 1-29, Block 5; Lots 1-20, Block 6, Lots 1-20, Block 7; and Lot 1X, Block 8 located approximately at 342 Landview Dr within the City of Burleson (Staff Presenter: Lidon Pearce, Senior Planner)
- C. Final Plat of 530B Addition (Case 23-049): Consider approval of a final plat for 530B Addition, Lots 1, 2 and 3, Block 1, located at 3201 CR 530B. (*Staff Presenter: Lidon Pearce, Senior Planner*)

D. Shannon Creek Phase 2; Lots 1-8, Block 12, Lots 10-19, Block 3, Lots 1-3 & 5-16, Block 5 (Case 22-021): Consider approval of a final plat for Lots 1-8, Block 12, Lots 10-19, Block 3, Lots 1-3 and 5-16, Block 5 of the Shannon Creek Phase 2 Development (Staff Presenter: JP Ducay, Senior Planner)

4. PUBLIC HEARING

A. **255 Centre Dr (Case 22-167):** Hold a public hearing and consider approval of an ordinance for a zoning change request from "A", Agricultural to "I", Industrial for a 0.35 acre portion of 255 Centre Dr.(*Staff Presenter: JP Ducay, Senior Planner*)

5. **REPORTS AND PRESENTATIONS**

<u>A.</u> Liquid Stone Concrete at 255 Centre Dr (Case 22-165): Consider a resolution for a site plan of Liquid Stone Concrete located at 255 Centre Dr. (*Staff Presenter: JP Ducay, Senior Planner*)

6. COMMUNITY INTERESTS ITEMS

This is a standing item on the agenda of every regular meeting of the Planning and Zoning Commission. An "item of community interest" includes the following:

- -Expression of thanks, congratulations, or condolence;
- -Information regarding holiday schedules;
- -Honorary recognitions of city officials, employees, or other citizens;
- -Reminders about upcoming events sponsored by the city or other entity that is scheduled to be attended by city official or city employee; and
- to be attended by city official of city employee; and
- -Announcements involving imminent public health and safety threats to the city.

7. RECESS INTO EXECUTIVE SESSION

In accordance with Chapter 551 of the Texas Government Code, the City Council may convene in Executive Session in the City Council Workroom in City Hall to conduct a closed meeting to discuss any item listed on this Agenda.

- A. Pending or contemplated litigation or to seek the advice of the City Attorney pursuant to Section 551.071, Texas Government Code
- B. Discussion regarding possible purchase, exchange, lease, or value of real property pursuant to Section 551.072, Texas Government Code
- C. Deliberation regarding a negotiated contract for a prospective gift or donation to the state or the governmental body Pursuant to Section 551.073, Texas Government Code
- D. Personnel matters pursuant to Section 551.074, Texas Government Code
- E. Deliberation regarding (1) the deployment, or specific occasions for implementation of security personnel or devices; or (2) a security audit Pursuant to Sec. 551.076, Texas Government Code
- F. Deliberation regarding commercial or financial information received from or the offer of a financial or other incentive made to a business prospect seeking to locate, stay or expand in or near the territory of the City and with which the City is conducting economic development negotiations pursuant to Section 551.087, Texas Government Code
- G. Pursuant to Sec. 418.183(f), Texas Government Code, deliberation of information related to managing emergencies and disasters including those caused by terroristic acts (must be tape recorded)

8. ADJOURN

<u>Staff Contact</u> Tony McIlwain Director of Development Services 817-426-9684

CERTIFICATE

I hereby certify that the above agenda was posted on this the 8th of September 2023, by 5:00 p.m., on the official bulletin board at the Burleson City Hall, 141 W. Renfro, Burleson, Texas.



Amanda Campos

City Secretary

ACCESSIBILITY STATEMENT

The Burleson City Hall is wheelchair accessible. The entry ramp is located in the front of the building, accessible from Warren St. Accessible parking spaces are also available in <u>the</u> Warren St. parking lot. Sign interpretative services for meetings must be made 48 hours in advance of the meeting. Call the A.D.A. Coordinator at 817-426-9600, or TDD 1-800-735-2989.



Department Memo

Planning & Zoning Commission Meeting

DEPARTMENT: Development Services

FROM: Peggy Fisher, Administrative Assistant Sr.

MEETING: August 29, 2023

SUBJECT:

Approve the minutes from August 15, 2023 Regular Session of the Planning & Zoning Commission meeting.

SUMMARY:

Minutes from the August 15, 2023 Regular Session of the Planning & Zoning Commission meeting.

OPTIONS:

Approve as presented

RECOMMENDATION:

Approve the minutes from the August 15, 2023 Regular Session of the Planning & Zoning Commission meeting.

PRIOR ACTION/INPUT (Council, Boards, Citizens):

None

FISCAL IMPACT:

None

STAFF CONTACT:

Peggy Fisher Recording Secretary <u>pfisher@burlesontx.com</u> 817-426-9611

PLANNING AND ZONING COMMISSION

August 15, 2023 MINUTES

Roll Call

Commissioners Absent

Commissioners Present David Hadley Dan Taylor Cobi Tittle Ashley Brookman Bill Janusch Michael Tune(Chair) Clint Faram Todd Hulsey Michael Kurmes Bobby Reading

<u>Staff</u> Matt Ribitzki, City Attorney Tony McIlwain, Director Development Services Lidon Pearce, Senior Planner Peggy Fisher, Administrative Assistant

REGULAR SESSION

1. Call to Order – 6:00 PM

Invocation – David Hadley

Pledge of Allegiance

2. Citizen Appearance

None

3. Consent Agenda

A. Consider approval of the minutes from July 25, 2023 Planning and Zoning Regular Commission meeting. (Staff Contact: Tony McIlwain, Director Development Services).

- **B.** Final Plat of QT 1872 Addition (Case 23-066): Consider approval of a final plat for QT 1872 Addition, Lots 1, Block 1, located at 449 East Renfro. *(Staff Presenter: Lidon Pearce, Senior Planner)*
- **C.** Hidden Vistas Phase 4A; Lot 13R, Block 17 (Case 23-039): Consider approval of a replat of Lot 13R, Block 17, of Hidden Vistas Phase 4A (*Staff Presenter: Lidon Pearce, Senior Planner*)
- D. Spring Valley; Lots 68A1 and 68A2 (Case 23-076): Consider approval of a replat for Lots 68A1 and 68A2 of Spring Valley (Staff Presenter: JP Ducay, Senior Planner)

Motion made by Commissioner Clint Faram and second by Commissioner Michael Kurmes to approve the consent agenda.

Motion passed, 9-0.

4. Public Hearing

None

5. <u>Reports and Presentations</u>

A. QuikTrip at 5917 W FM 917 (Case 23-031): Consider a resolution for a site plan for QuikTrip located at 5917 W FM 917. (Staff Presenter: Lidon Pearce, Senior Planner)

Lidon Pearce presented the case to the Commission, reviewed the staff report, and answered questions from the Commission.

Tommy Vilbig, applicant, answered questions from the commissioners regarding this item.

Motion made by Commissioner David Hadley and second by Commissioner Clint Faram to approve.

Motion passed, 9-0.

6. <u>Community Interest Items</u>

None

7. Executive Session

The Planning & Zoning Commission reserves the right to convene in Executive Session(s) during this meeting pursuant to the following Sections of the Government Code of the State of Texas:

1. Pursuant Sec. 551.071 to consultation with its Attorney: The Planning & Zoning Commission may conduct private consultations with its attorneys when the Planning & Zoning Commission seeks the advice of its attorney concerning any item on this agenda or a matter in which the duty of the attorney to the Planning & Zoning Commission under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551 of the Government Code.

8. Adjourn

There being no further business Chair Michael Tune adjourned the meeting. **Time – 6:07PM**

Peggy Fisher Administrative Assistant Recording Secretary



Department Memo

Planning & Zoning Commission Meeting

DEPARTMENT: Development Services

FROM: Lidon Pearce, Senior Planner

MEETING: August 15, 2023

SUBJECT:

Preliminary Plat extension for High Country: Approve a 24-month extension to the preliminary plat for High Country, Lots 1X, 78X, 1-78, Block 1;Lots 1-20, Block 2; Lots 1-25, Block 3; Lots 1X, 1-26, Block 4; Lots 1X, 1-29, Block 5; Lots 1-20, Block 6, Lots 1-20, Block 7; and Lot 1X, Block 8 located approximately at 342 Landview Dr within the City of Burleson *(Staff Presenter: Lidon Pearce, Senior Planner)*

SUMMARY:

On August 23, 2023, a preliminary plat extension request, attached as Exhibit 2; was submitted by Marc Paquette representing Peloton Land Solutions. The preliminary plat is currently scheduled to expire on October 18, 2023. An extension would allow the applicant additional time to prepare and submit a final plat for phase 2 and extend the approval of the preliminary plat to October 18, 2025.

The preliminary plat for High Country (Case 21-101) and final plat for High Country, Phase 1 (Case 21-102), were both originally approved on October 18, 2021. The High Country development contains 218 residential lots and 5 HOA lots of open space. The subject property is zoned Planned Development (PD).

Appendix A, Subdivision and Development; Article 3 - Plat Requirements, Section 3.2(6) <u>Expiration of approval</u>: Approval of a preliminary plat shall expire after 24 months from the date of approval, unless a final plat is submitted for all or part of the area that has received preliminary plat approval. The approving body may approve a time extension upon written request from the developer or may waive the 24-month termination period when the final plat is determined to be consistent with the approved preliminary plat and no additional standards have been adopted by the city. The validity of the preliminary plat shall be extended 24 months from the approval date of a final plat of any portion of the approved preliminary plat.

OPTIONS:

- 1) Approve a 24 month extension for the High Country preliminary plat; or
- 2) Deny the 24 month plat extension request

RECOMMENDATION:

Approve a 24 month extension for the High Country preliminary plat.

FISCAL IMPACT:

None.

STAFF CONTACT:

Lidon Pearce Senior Planner <u>Ipearce@burlesontx.com</u> 817-426-9649



August 22, 2023

Mr. Tony McIlwain Development Services Director City of Burleson 141 W. Renfro Street Burleson, TX 76028

Re: High Country Preliminary Plat Extension Request PP21-101

Mr. McIlwain:

On behalf of First Texas Homes, Inc., the owner and developer, please accept this request for a one-year extension of the High Country Preliminary Plat. This preliminary plat was approved on October 18, 2021 and is set to expire on October 18, 2023.

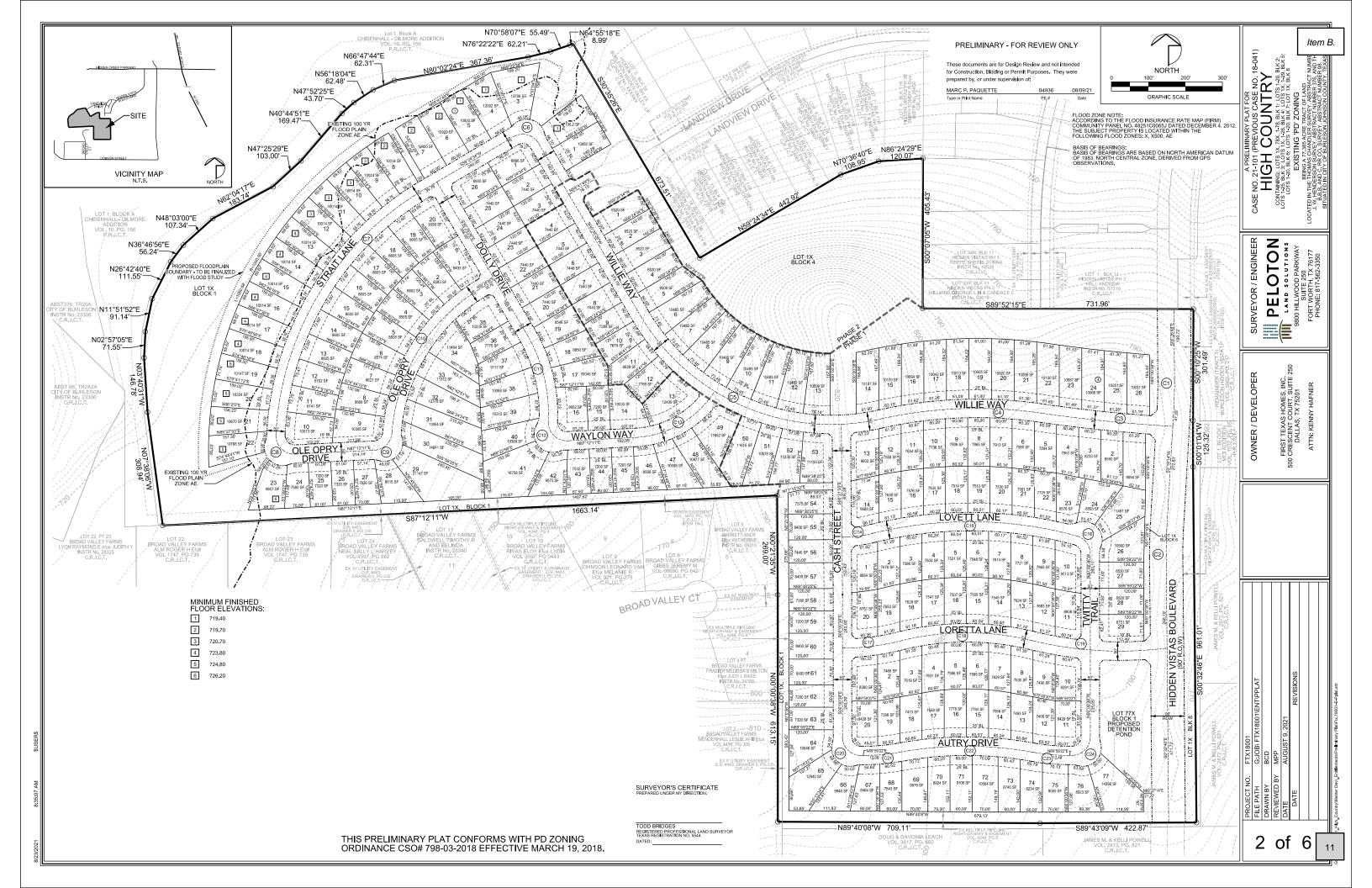
The owner/developer is not ready to proceed with phase 2 at this time and would like additional time to allow market conditions to improve. They are not prepared to submit a final plat application for approval prior to the preliminary plat expiration date.

We appreciate favorable consideration of this extension request.

Please feel free to call with any questions you may have.

Sincerely,

Marc Paquette, P.E. Senior Project Manager



PRELIMINARY -

These documents are for De for Construction, Bidding or I prepared by, or under super MARC P. PAQUETTE

MARC P. PAQUETTE Type or Print Name

BEING all of the remainder of that Number 127, J. W. Henderson Surv Abstraet Number 98, City of Burles 711, LP recorded in Instrument Nur being more particularly described as

BEGINNING at the northeast corr Vistas Boulevard as shown in the p Burleson, recorded in Volume 9, Pa west line of the remainder of that tr recorded in Volume 3860, Page 23

THENCE S 00°10'25''W, 301.49 fe addition to the City of Burleson, Joh records, Johnson County, Texas;

THENCE S 00°01'04"W, 125.32 fe northwest corner of that tract of land Volume 2872, Page 821, said Count

THENCE S 00°32'46''E, 961.01 fee of said remainder;

THENCE S 89°43'09"W, 422.87 fe northwest corner of said Powell trac to Doug & Davon:a Leach, recorded

THENCE N 89°40'08"W, 709.11 fe of said Leach tract, and being in the of Burleson, recorded in Volume 46

THENCE N 00°00'38"W, 613.15 f Lot 4 and the southeast corner of L THENCE N 00°21'35"W, 269.00 f Broad Valley Farm;

THENCE S 87°12'11"W, 1663.14 f southeast corner of Lot 1, Block A, Burleson recorded in Volume 10, Pa

THENCE with the south line of said distances:

N 07°38'06"W, 308.94 feet;

N 03°40'31''W, 146.78 feet; N 02°57'05''E, 71.55 feet; N 11°51'52''E, 91.14 feet; N 26°42'40''E, 111.55 feet;

N 36°46'56"E, 56.24 feet;

N 48°03'00'E, 107.34 feet; N 62°04'17'E, 183.74 feet;

N 47°25'29'E, 103.00 feet; N 40°44'51'E, 169.47 feet;

N 40°44'5' E, 109.47 leet; N 47°52'25''E, 43.70 feet;

N 56°18'04'E, 62.48 feet;

N 66°47'44"E, 62.31 feet;

N 80°02'24"E, 367.36 feet; N 76°22'22"E, 62.21 feet;

N 70°58'07"E, 55.49 feet;

THENCE N 64°55'18"E, 8.99 feet aforementioned H.dden Vistas Phas

THENCE with the west and south l

S 30°35'26'E, 673.51 feet, N 59°24'34'E, 442.92 feet,

N 70°36'40''E, 108.95 feet,

N 86°24'29"E, 120.07 feet,

and the northwest corner of S 00°07'05"W, 405.43 feet,

THENCE S 89°52'15"E, 731.96 fea square feet or 77.385 acres of land n

"This document was prepared under 22 T survey, and is not to be used to convey or interests implied or established by the cre subdivision for which it was prepared."

Minimum Lot Square Footage	Applicable Lots
7,200	Block 1: Lots 24-27, 36, 43-45, 54-63, 67-68, 74
	Block 3: Lots 2-10, 12, 15, 20-25
	3lock 5: Lots 13-12, 15-22
	Block 6: Lots 2-9, 12-19
	Block 7: Lots 1-20
	Block 1: Lots 23, 28, 37, 42, 46, 66, 69-71, 73, 75-76
	Block 2: Lots 1-18, 11-20
8,500	Block 3: Lots 1, 11, 16, 18-19, 26
8,500	Block 4: 1-5
	Block 5: Lot 1-2, 13-14, 23-24, 27-29
	Block 6: Lot 1, 10-11, 20
	Block 1: Lots 1-22, 29-35, 38-41, 47-53, 64-65, 72, 77
	Block 2: Lots 9-10
10,000	Block 3: Lots 13-14, 17
	Block 4: Lots 6-26
	Block 5: Lots: 25-26

NO

C15

C16

C17

C18

C19

C20

C21

C22 C23

C24

DELTA

29°06'17"

74°46'28"

14°05'00"

27°46'02"

21°00'32"

90°00'00"

10°28'31"

20°57'03"

10º28'31"

90°00'00"

RADIUS

1100.00'

50.00'

631.11'

750.00'

1000.00'

50.00'

500.00'

1000.00'

500.00'

50.00'

CURVE DATA

TANGENT LENGTH

558.77'

65.25'

155.13'

363.47'

366.67'

78.54'

91.41'

365.66'

91.41'

78.54'

285.55'

38.21'

77.96'

185.38'

185.42'

50.00'

45.83'

184.89'

45.83'

50.00'

CHD BEARING CHD LENGTH

552.78'

60.72'

154.74'

359.92'

364.62'

70.71'

91.29'

363.63'

91.29'

70.71'

S 89°20'14" E

S 37°23'52" E

N 82°56'52" E

N 89°47'23" E

S 86°49'52" E

S 45°00'38" E

N 84°45'06" E

N 89°59'22" E

S 84°46'23" E

N 44°59'22" E

HEDER CREEK PARKNAY

CURVE DATA						
\mathbb{N}	DELTA	RADIUS	TANGENT	LENGTH	CHD BEARING	CHD LENGTH
C1	03º46'02"	1200.00'	39.46'	78.90'	N 01°26'13" E	78.89'
C2	03°52'00"	1200.00'	40.51'	80.99'	N 01°23'14" E	80.97'
C3	05°07'56"	4000.00'	179.26'	358.29'	S 84°15'18" E	358.17'
C4	20°55'32"	1200.00'	221.60'	438.26'	N 87°50'54" E	435.83'
C5	72º01'26"	600.00'	436.12'	754.23'	S 66°36'09" E	705.54'
C6	90°00'00"	50.00'	50.00'	78.54'	S 75°35'26" E	70.71'
C7	56°27'36"	819.00'	439.70'	807.05'	N 31°10'46" E	774.79'
C8	95°44'48"	50.00'	55.28'	83.55'	S 44°55'26" E	74.17'
C9	82°58'29"	50.00'	44.22'	72.41'	N 45°42'56" E	66.25'
C10	55°10'53"	500.00'	261.29'	481.55'	N 31°49'08" E	463.15'
C11	33°22'29"	425.00'	127.40'	247.56'	S 13°54'11" E	244.08'
C12	95°34'53"	50.00'	55.12'	83.41'	S 45°00'23" E	74.07'
C13	54°46'54"	270.00'	139.90'	258.15'	N 59°48'43" E	248.43'
C14	13°52'45"	339.07'	41.27'	82.13'	N 83°02'59" E	81.93'

RIGHT-OF-WAY DEDICATION TABLE			
PRE DIRECTION	STREET NAME	STREET TYPE/ SUFFIX	ROW (ACRES)
	WILLIE	WAY	2.35
	STRAIT	LANE	1.37
	OLE OPRY	DRIVE	1.06
	DOLLY	DRIVE	0.79
	CASH	STREET	1.06
	LOVETT	LANE	0.83
	LORETTA	LANE	0.94
	AUTRY	DRIVE	0.77
	TWITTY	TRAIL	0.52
	WAYLON	WAY	0.64
	LANDVIEW	DRIVE	0.06
	HIDDEN VISTAS	BOULEVARD	2.87

LAND USE SUMMARY			
USES	RESIDENTIAL UNITS	NON RESIDENTIAL LOTS	+/- ACRES
SINGLE FAMILY LOTS	218		45.32
PRIVATE OPEN SPACE		5	18.81
ROW			13.26
TOTALS	218	5	77.39

THIS PRELIMINARY PLAT CONFORMS WI	τı
THIS FRELIMINART FLAT CONFORMS W	11
ORDINANCE CSO# 798-03-2018 EFFECTIV	
ORDINANCE C30# 798-03-2018 EFFECTIV	

°\$U	
8:35:08 AM	
2021	

FOR REVIEW ONLY	€ Item B.
esign Review and not intended Permit Purposes. They were rvision of:	FOR ASE NO. 18-041 LTRR LOTS 122, BLK 2: LOTS 123, BLK 2: LOTS 124, BLK 2:
84936 08/09/21 PE # Date	
Description of 77.385 Acres:	DUS CALL
t tract of land situated in the Thomas Chandler Survey, Abstract vey, Abstract Number 376 and the B.B.B. and C. RR Co. Survey, son, Johnson County, Texas described by deed to County Road mber 2015-10190, County records, Johnson County, Texas and is follows:	RELIMINAR RELIMINAR H (PREVI H COTS 12, 1-28 12,
ter of said remainder, being the southeast terminus of Hidden lat of Hidden Vistas Phase Three, an addition to the City of age 948, Plat Records, Johnson County, Texas, and being in the act of land described by deed to Burleson Hidden Vista LF, 7 of said County records (tract 5);	CASE NO. 21-10 CASE NO. 21-10 HIGH CONTANNIG: UN LOTS VAS, BLK 3-1 LOTS VAS, BLK 3-1 ENVA BABLANDC, FT BABLANDC, FT STUATED IN CITY O
cet, to the northwest corner of Lo 1, Block 1, MCI Addition, an hnson County, Texas, recorded in Volume 8, Page 35 of the plat	
eet, to the southwest corner of said Lot 1 and the most northerly id described by deed to James M. & Kelli Powell, recorded in ity records;	SURVEYOR / ENGINEER
set, with the west line of said Powell tract to the southeast corner	VEYOR / ENGINEEI PELOTON LAND SOLUTIONS DHLWOOD PARKWAY SUITE 250 SUITE 250
eet, with the north line of said Powell tract to the most southerly et and the northeast corner of that tract of land described by deed d in Volume 3617, Page 660, said County records;	JRVEYOR / ENGINEE PELOTOI LAND SOLUTION SUITE 250 FORT WORTH, IX 76177 PHONE: 817-562-3330
feet, with the north line of said Leach tract, to the northwest corner e east line of Lot 3 of Broad Valley Farm, an addition to the City 63, Page 727 of said plat records;	
feet, with the east line of said addition to the northeast corner of ot 5 of said Broad Valley Farm;	
feet, continuing with said east line to the northeast corner of said	PER vc. rte 250
feet, with the north line of said addition, to the most southerly . Chisenhall - Dilmore Addition, an addition to the City of age 156 of said Plat Records;	OWNER / DEVELOPER FIRST TEXAS HOMES, INC. 500 CRESCENT COURT, SUITE 2 DALLAS, TX 75201 ATTN: KENNY HAFNER
id Chisenhall - Dilmore Addition the following courses and	
,	ER / SCENT SCENTA
;	DWN EIRS CRES ATT
	200
, to the northwest corner of Lot 76, Block 11, of the se Three Addition;	
lines of said addition the following courses and distances:	
to the most westerly southwest corner of said addition;	
to the common southern corner of Lots 39 and 40; to the common southern corner of Lots 38 and 39;	IT/PPLAT REVISIONS
the southeast corner of Lot 38, the southwest corner of Lot 37, Lot 35;	REVI
to the southwest corner of Lot 33;	18001\E 2021
et to the POINT OF BEGINNING and containing 3,370,892 more or less.	FTX18001 G.JOBI FTX18001ENT/PPL BCD MPP AUGUST 9, 2021 REVIS
TAC 663.21, does not reflect the results of an on the ground or establich interests in real property except those rights and reation or reconfiguration of the bourdary of the political	FTX1800 G.JOB/ F BCD MPP AUGUST AUGUST
	NO. NO. DBY
SURVEYOR'S CERTIFICATE PREPARED UNDER MY DIRECTION.	PROJECT NO. FTX18001 FILE PATH G.JOBN FTX18001/ENT/PPLA DRAWN BY BCD REVIEWED BY MPP DATE AUGUST 9, 2021 DATE AUGUST 9, 2021 DATE AUGUST 9, 2021 PATE AUGUST 9, 2021 DATE AUGUST 9, 2021
H PD ZONING E MARCH 19, 2018. Date:	3 of 6 12
· DATED.	<u> </u>

Item C.



Planning & Zoning Commission Meeting

DEPARTMENT: Development Services

FROM: Lidon Pearce, Senior Planner

MEETING: September 12, 2023

SUBJECT:

Final Plat of 530B Addition (Case 23-049): Consider approval of a final plat for 530B Addition, Lots 1, 2 and 3, Block 1, located at 3201 CR 530B. (*Staff Presenter: Lidon Pearce, Senior Planner*)

SUMMARY:

On May 15, 2023, an application for a final plat, was submitted by Kaleb Griffin representing Southland Consulting Engineers on behalf of Stuart Fink with Burleson RV LLC, for three lots within the city's extra-territorial jurisdiction (ETJ) on approximately 21.208 acres. The property is being subdivided into three lots for the development of an RV park within the ETJ of the City of Burleson.

The plat is administratively complete and meets the requirements of Appendix A – Subdivision and Development Regulations.

ENGINEERING:

<u>Roadways</u>

A traffic assessment (trip generation memo) was provided by the applicant. This final plat did not trigger the requirement for a Traffic Impact Analysis (TIA).

Utilities

The property will be served by an onsite sewage facility (O.S.S.F.) - septic.

OPTIONS:

- 1) Approve the final plat; or
- 2) Deny the final plat.

RECOMMENDATION:

Approve the final plat for 530B Addition (Case 23-049).

burlesontx.com | 817.426.9600 | 141 W Renfro Street, Burleson, Texas 76028

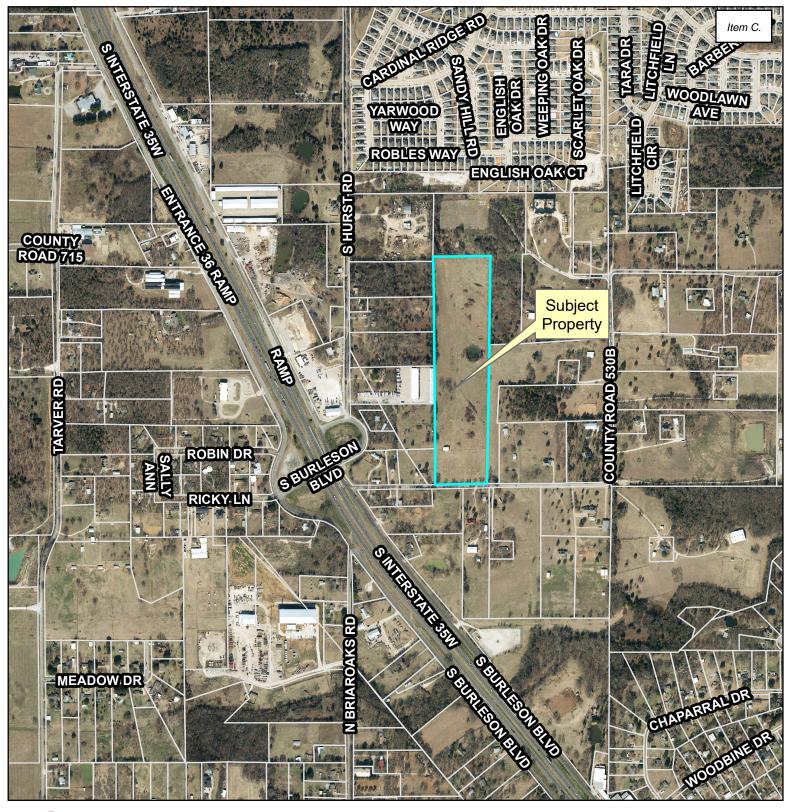
FISCAL IMPACT:

None.

STAFF CONTACT:

Lidon Pearce Senior Planner <u>lpearce@burlesontx.com</u> 817-426-9649

burlesontx.com | 817.426.9611 | 141 W Renfro Street, Burleson, Texas 76028







Lots 1, 2, & 3 530B Addition Final Plat Case 23-049



STATE OF TEXAS

COUNTY OF JOHNSON

§

§

WHEREAS Woodbine Equities, LLC are the owners of a 21.208 acre tract of land situated in the James Wallace Survey, Abstract Number 862, Johnson County, Texas, being all of a tract of land described to Woodbine Equities, LLC by Warranty Deed recorded in Instrument Number 2015-15050, Deed Records, Johnson County, Texas and being more particularly described by metes and bounds as follows: (Bearings and Distances are based on the State Plane Coordinate System, Texas North Central Zone (4202), North American Datum of 1983 (NAD83) (US Foot) with a combined scale factor of 1.00012);

BEGINNING at a 3/8 inch rebar found for the southwest corner of the herein described tract, same being a point on the east line of a tract of land described to Jimmy Dwaine Goldsmith by General Warranty Deed recorded in Volume 4337, Page 857, Deed Records, Johnson County, Texas and lying on the north right-of-way line of County Road 530B (Variable Width right-of-way);

THENCE North 00 degrees 17 minutes 40 seconds West, departing the north right-of-way line of said County Road 530B, with the east line of said Goldsmith tract, continuing with an east line of a tract of land described to Charles Marshall Tyson and Wife, Frances Ann Tyson by Warranty Deed recorded in Volume 516, Page 268, Deed Records, Johnson County, Texas, passing at a distance of 692.62 feet a 1/2 inch rebar found for the northeast corner of said Tyson tract, same being the southeast corner of a tract of land described to Kenneth Tootle Et Ux Ann Tootle by deed recorded in Volume 2042, Page 730, Deed Records, Johnson County, Texas and continuing with the east line of said Tootle tract, passing a 1/2 inch rebar found for the northeast corner of said Tootle tract, an additional 320.00 feet, continuing with the east line of a tract of land described to Rebecca A. Brunner by deed recorded in Instrument Number 2011-26871, Deed Records, Johnson County, Texas, continuing with the east line of a tract of land described to Russel R. Pope and Wife, Connie I. Pope by deed recorded in Volume 1590, Page 677, Deed Records, Johnson County, Texas and continuing with the east line of a tract of land described to James H. Sessums and Patricia H. Sessums Revocable Trust by deed recorded in Instrument Number 201300005299, Deed Records, Johnson County, Texas, a total distance of 1975.39 feet to a 1/2 inch rebar capped "WINDROSE" set for the southwest corner of tract of land referred to as "Tract 1" as described to Victoria Y. Barabas Webb by deed recorded in Instrument Number 2017-28150, Deed Records, Johnson County, Texas;

THENCE North 89 degrees 45 minutes 47 seconds East, with the south line of said Tract 1, continuing with Tract 2 of said Webb tract, a total distance of 485.02 feet to a fence corner post found for corner;

THENCE South 00 degrees 37 minutes 42 seconds West, with the west line Tract 3 of said Webb tract, a distance of 769.34 feet to a 3/8 inch rebar found for the southwest corner of said Tract 3, same being the northwest corner of a tract of land described to Charles B. Hogg and Wife, Nancy L. Hogg by General Warranty Deed recorded in Volume 1948, Page 5, Deed Records, Johnson County, Texas;

THENCE South 00 degrees 50 minutes 40 seconds West, with the west line of said Hogg tract, a distance of 1205.90 feet to a 1/2 inch rebar capped "WINDROSE" set for corner, said point lying on the north right-of-way line of said County Road 530B;

THENCE South 89 degrees 42 minutes 21 seconds West, with the north right-of-way line of said County Road 530B, a distance of 448.66 feet to THE POINT OF BEGINNING and containing 923,833 square feet or 21.208 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS

§

§

That we, **Woodbine Equities, LLC**, being the owners of the above described tract of land, do hereby adopt the attached plat depicting the same to be known as **530B Addition**, an addition in Johnson County, Texas, and do hereby dedicate to the public's use forever all streets, rights-of-way, alleys and easements shown thereon. The City of Burleson, Johnson County, or any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective systems on any of these easements and the City, County or and public utility shall have the right of ingress and egress to and from and upon said easements for the purpose of constructing, reconstructing, inspecting and patrolling, without the necessity of at any time of procuring the permission of anyone within reason. This plat subject to all platting ordinances, rules, regulations and resolutions of the City of Burleson, Texas.

Woodbine Equities, LLC

By: _

Authorized Representative
STATE OF TEXAS
COUNTY OF _____

STATE OF TEXAS

§

COUNTY OF DENTON

This is to certify that I, Mark N. Peeples, a Registered Professional Land Surveyor of the State of Texas, have platted the subdivision from an actual survey on the ground, and that this plat correctly represents that survey made by me or under my direction and supervision.

Mark N. Peeples, R.P.L.S. No. 6443

STATE OF TEXAS	§
COUNTY OF DENTON	§

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Mark N. Peeples, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this day of 20.

Notary Public in and for the State of Texas

NOTES:

- 1. Johnson County will be responsible for all floodplain regulations as it relates to development. In the event the property is ever annexed into the City of Burleson, all future proposed development shall follow the City of Burleson's floodplain regulations.
- 2. Blocking the flow of water or constructing improvements in the drainage easements, and filling or obstruction of the floodway is prohibited.
- 3. The existing creeks or drainage channels traversing along or across this addition will remain as open channels and will be maintained by the individual owners of the lot or lots that are traversed by or adjacent to drainage courses along or across said lots.
- 4. Johnson County will not be responsible for the maintenance and operations of said drainage ways or for the control of erosion.
- 5. Johnson County will not be responsible for any damage, personal injury or loss of life or property occasioned by flooding or flood conditions.
- 6. On-site sewage facility performance cannot be guaranteed even though all provisions of the Rules of Johnson County, Texas for Private Sewage Facilities are complied with.
- 7. Inspection and/or acceptance of a private sewage facility by the Johnson County Public Works Department shall indicate only that the facility meets minimum requirements and does not relieve the owner of the property from complying with County, State and Federal regulations. Private sewage facilities, although approved as meeting minimum standards, must be upgraded by the owner at the owner's expense if normal operation of the facility results in objectionable odors, if unsanitary conditions are created, or if the facility when used does not comply with governmental regulations.
- 8. A properly designed and constructed private sewage facility system, in suitable soil, can malfunction if the amount of water ii is required to dispose of is not controlled. II will be the responsibility of the lot owner to maintain and operate the private sewage facility in a satisfactory manner.
- 9. Any public utility, including Johnson County, shall have the right to move and keep moved all or part of any buildings, fences, trees, shrubs, other growths or improvements which in any way endanger or interfere with the construction or maintenance, or efficiency of its respective systems in any of the easements shown on the plat; and any public utility, including Johnson County, shall have the right at all times of ingress and egress to and from said easements for the purpose of construction, reconstruction, inspection, patrolling, maintaining and adding to or removing all or part of its respective systems without the necessity at any time of procuring the permission of anyone.
- 10. A minimum of 1 acre per residential structure is required for on-site sewage facilities (septic systems). If more than one structure is proposed for construction on a lot in the future, re-platting may be required.
- 11. The requirement of public infrastructure was based on the Utility exhibit that was submitted for review with this plat on May 15,

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _______, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purposes and consideration therein expressed.

20 .

OWNER/DEVELOPER

Woodbine Equities, LLC

225 Woodbine Drive,

Burleson, Texas 76028

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____

Notary Public in and for the State of Texas

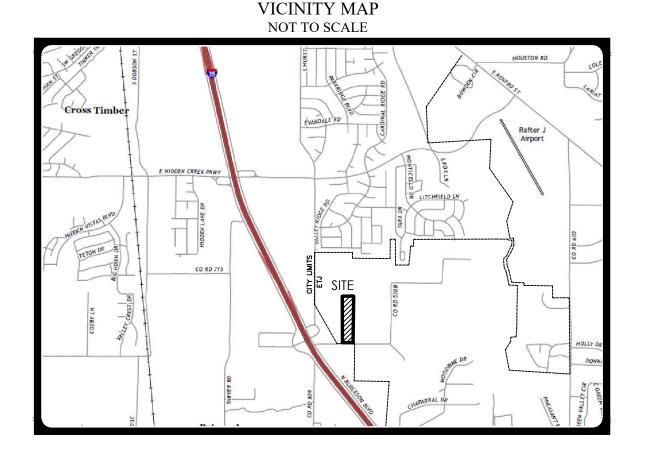
Plat Filed: Slide:

, Volume

Johnson County, Plat Records

County Clerk

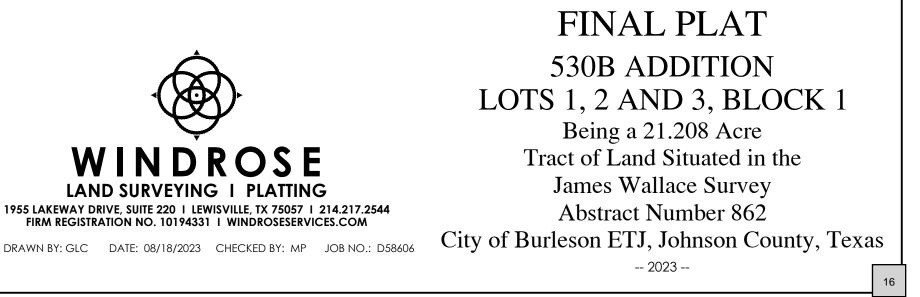
- 2023 to the City of Burleson. Any additional structures proposed on this property may require the existing water lines to be improved and fire hydrant(s) to be installed for fire protection. Please contact the City of Burleson's Development Services department prior to any development permit being issued.
- 12. No fences or other structures will be allowed within the drainage easement.
- 13. The private access and utility easement provides unrestricted use and maintenance of the property for utilities. This right extends to all utility providers. The easement also provides the City or County with the right of access for any purpose related to the exercise of a governmental service or function including, but not limited to, fire and police protection, inspection and code enforcement. The easement permits the City or County to remove any vehicle or obstacle within the street that impairs emergency access
- 14. The City of Burleson reserves the right to require minimum finish floor elevation on any lot within this subdivision. The minimum elevations shown are based on the most current information available at the time the plat is filed and may be subject to change (Ord. 6.1.H).

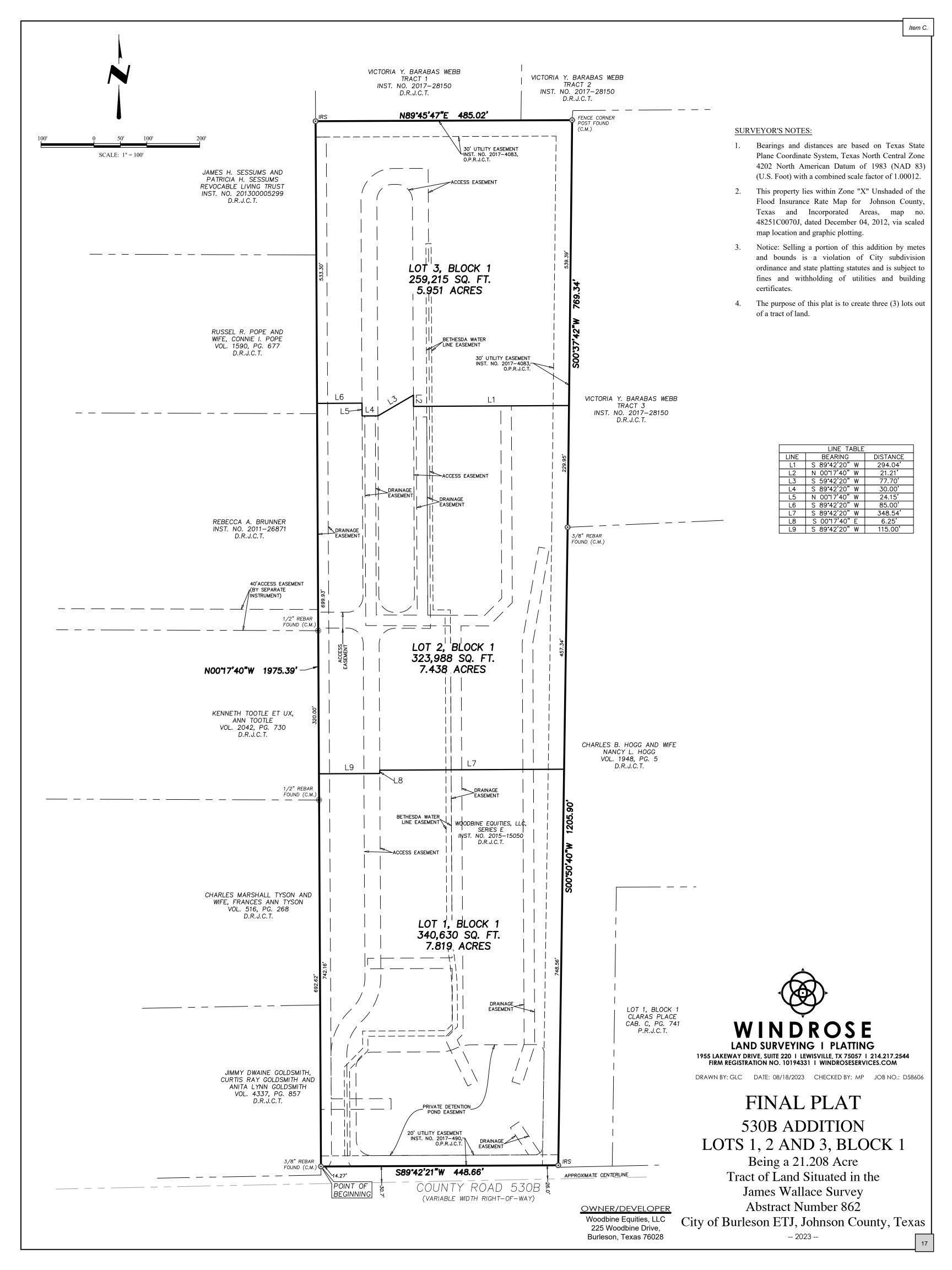


Deputy County Clerk

	-	
PLAT RECORDED, DATE:, 20, PLAT RECORDS, JOHNSON COUNTY, TEXAS. VOL. , PG. , SLIDE		Ap Bu
		Th
COUNTY CLERK		By Ch
DEPUTY COUNTY CLERK		By Ci

This the	day of , 20 .
	,
-	
By:	
Chair of Pl	anning and Loning Commission
Chair of Pl	anning and Zoning Commission
Chair of Pl	anning and Zoning Commission
	anning and Zoning Commission
Chair of Pl By; City Secret	





Item D.



Planning & Zoning Commission Meeting

DEPARTMENT: Development Services

FROM: JP Ducay, Senior Planner

MEETING: September 12, 2023

SUBJECT:

Shannon Creek Phase 2; Lots 1-8, Block 12, Lots 10-19, Block 3, Lots 1-3 & 5-16, Block 5 (Case 22-021): Consider approval of a final plat for Lots 1-8, Block 12, Lots 10-19, Block 3, Lots 1-3 and 5-16, Block 5 of the Shannon Creek Phase 2 Development (*Staff Presenter: JP Ducay, Senior Planner*)

SUMMARY:

On February 7, 2022, an application for a final plat including 7.023 acres was submitted by Zeke Saavedra with ZECO Enterprises, LLC (applicant) on behalf of Drew Wegman with Silver Leaf Communities, LLC (owner). The plat includes 33 single-family lots which make up phase 2 of the Shannon Creek development. The subject properties are zoned PD, Planned Development Shannon Creek CSO#949-12-2018. The application is administratively complete and meets the requirments of Appendix A – Subdivision and Development regulations.

OPTIONS:

- 1) Approve the Plat; or
- 2) Deny the Plat.

RECOMMENDATION:

Staff recommends approval of the Final Plat of Shannon Creek Phase 2; Lots 1-8, Block 12, Lots 10-19, Block 3, Lots 1-3 & 5-16, Block 5. (Case 22-021)

PRIOR ACTION/INPUT (Council, Boards, Citizens):

<u>August 17, 2020</u>: The Shannon Creek revised Preliminary Plat (Case 20-049) was approved by City Council.

<u>April 1, 2019</u> – The Shannon Creek Preliminary Plat (Case 18-162) was approved by City Council.

<u>December 10, 2018</u> – The Shannon Creek PD, Planned Development (Case 18-084) was approved by City Council

PUBLIC NOTIFICATION:

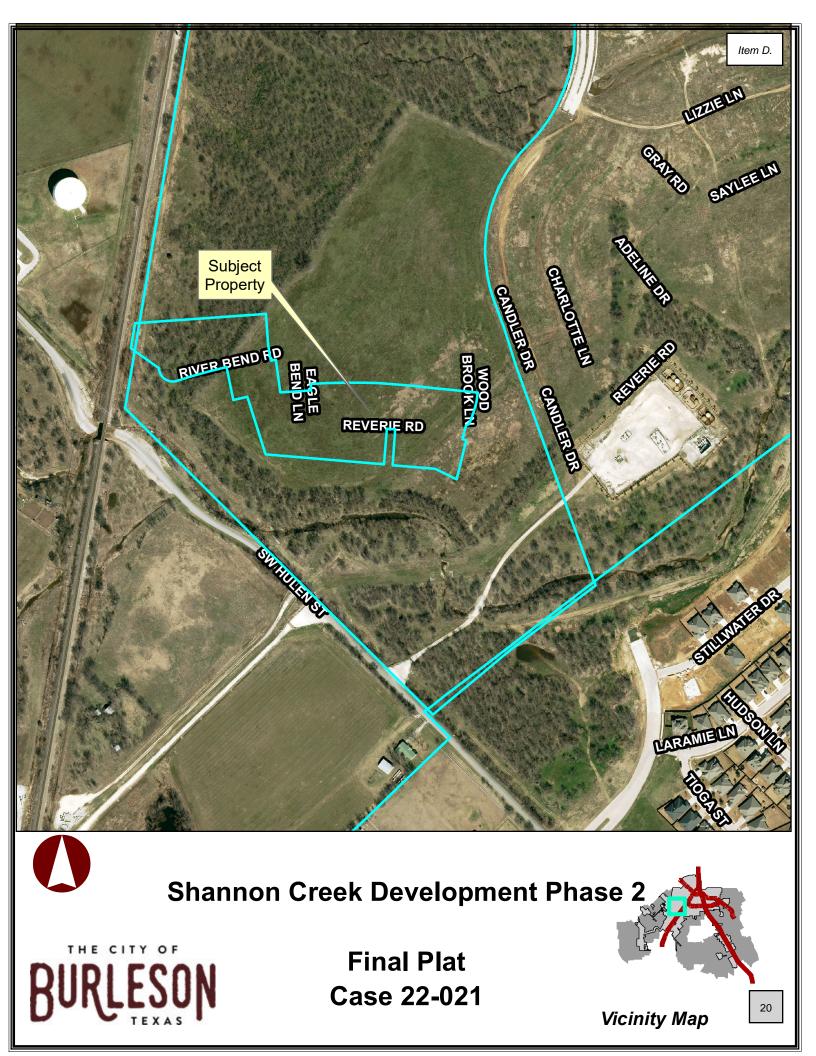
None

FISCAL IMPACT:

None

STAFF CONTACT:

JP Ducay Development Services – Senior Planner jducay@burlesontx.com 817-426-9648



PROPERTY DESCRIPTION

BEING a 7.023 Acres (305,921 square feet) tract of land situated in the Seth M. Blair Survey, Abstract No. 65, and the G.R. Shannon Survey (assignee of Buffalo Bayou, Brazos and Colorado Railroad Company Survey), Abstract No. 86, Johnson county, Texas; Being a portion of that called 15.66 acres tract of land conveyed to Silver Leaf Communities, LLC, of record in Document No. 2020-28957, Deed Records, Johnson County, Texas, (D.R.J.C.T.) and being more particularly described by metes and bounds as follows:

COMMENCING at a 1/2-inch iron rod found in the east right-of-way (R.O.W.) line of the Burleson Northern Santa Fe Railroad (BNSFRR) (100 feet wide) and the north R.O.W. line of Southwest Hulen Street (variable width) marking the southwest corner of that called 40.146 acres tract of land conveyed to Shannon Creek Apartments II, LLC, of record in Document No. 2018-33461, Deed Records, Johnson County, Texas, from which a 5/8-inch iron rod found in the north R.O.W. line of said Southwest Hulen Street bears South 45°20'50" East, 684.22 feet

THENCE, North 09°42'25" East, 196.02 feet with the east R.O.W. line of said BNSFRR to a 1/2-inch iron rod with cap stamped "APEX LAND SURVEYING" set marking the west corner of the aforementioned called 15.66 acres and the **POINT OF BEGINNING** of the herein described tract;

THENCE, North 09°42'25" East, 90.45 feet with the east R.O.W. line of said BNSFRR to a 1/2-inch iron rod with cap stamped "APEX LAND SURVEYING" set marking the southwest corner of Lots 1-3 & 6, Block 1, Shannon Creek Development, of record in Cabinet E, Slide 186, Plat Records. Johnson County, Texas (P.R.J.C.T.) and the northwest corner of the herein described tract;

THENCE, North 85°55'11" East, 468.35 feet with the south line of said Shannon Creek Development to a 1/2-inch iron rod with cap stamped "APEX LAND SURVEYING" set marking the northwest corner of Shannon Creek Development Phase 1, of record in Cabinet E, Slide 605, P.R.J.C.T.;

THENCE, with the west and south boundary lines of said Shannon Creek Development Phase 1 the following twenty two (22) courses to a 1/2-inch iron rod with cap stamped "APEX LAND SURVEYING" set marking a corner:

1. South 04°04'49" East, 110.84 feet;

2. South 08°25'58" East, 50.00 feet to the beginning of a non-tangent curve to the right;

3. 18.62 feet with the arc of said curve to the right having a radius of 1,975.00 feet, a central angle of 00°32'25" and a chord that bears South 81°50'14" West. 18.62 feet:

4. South 07°53'33" East, 117.89 feet 5. North 85°55'11" East, 110.00 feet;

6. North 04°04'49" West, 12.66 feet;

7. North 87°21'50" East, 59.86 feet; 8. North 88°45'15" East, 61.68 feet;

9. North 89°20'25" East, 57.87 feet;

10. South 89°54'19" East, 59.86 feet

11. South 85°52'07" East, 59.93 feet;

12. South 84°56'15" East, 74.56 feet;

13. South 86°05'11" East, 51.62 feet; 14. South 88°15'26" East, 84.47 feet;

15. South 83°52'42" East, 88.06 feet to the beginning of a non-tangent curve to the right;

16. 75.23 feet with the arc of said curve to the right having a radius of 225.00 feet, a central angle of 19°09'24" and a chord that bears South 10°20'54" West, 74.88 feet;

17. South 19°55'36" West. 47.83 feet:

18. South 62°28'56" West, 14.73 feet to the beginning of a non-tangent curve to the left; 19. 22.60 feet with the arc of said curve to the left having a radius of 1,225.00 feet, a central angle of 01°03'25" and a chord that bears North 75°43'28"

West, 22.60 feet 20. South 14°49'21" West, 50.01 feet to the beginning of a non-tangent curve to the right;

21. 37.52 feet with the arc said curve to the right having a radius of 1,175.00 feet, a central angle of 01°49'47" and a chord that bears South 75°23'02" East. 37.52 feet 22. South 13°50'46" West, 144.20 feet to the north line of the Remnant Portion of that called 40.146 acres tract conveyed to Shannon Creek

Apartments, LLC, of record in Document No. 2018-371, D.R.J.C.T. marking the southeast corner of the herein described tract;

THENCE, with the north boundary line of said Remnant Portion the following six (6) courses to a 1/2-inch iron rod with cap stamped "APEX LAND SURVEYING" set marking a corner

1. North 61°43'59" West, 84.01 feet;

2. North 85°05'46" West, 153,33 feet: 3. North 04°28'04" East, 128.70 feet to the beginning of a non-tangent curve to the left;

4. 30.02 feet with the arc of said curve to the left having a radius of 1,175.00 feet, a central angle of 01°27'50" and a chord that bears North 87°38'26" West, 30.02 feet;

5. South 04°28'04" West, 127.37 feet;

6. North 85°05'46" West, 425.53 feet marking an interior corner of the remnant portion of that called 40.146 acres tract conveyed to Shannon Creek Apartments, LLC, of record in Document No. 2018-33461, D.R.J.C.T. marking a southeast corner of the herein described tract;

THENCE, with the north line of said remnant portion the fallowing six (6) courses to a 1/2-inch iron rod with cap stamped "APEX LAND SURVEYING" set marking a corner

1. North 17°33'35" West, 215.20 feet to the beginning of a non-tangent curve to the left;

2. 51.47 feet with the arc of said curve to the left having a radius of 1,855.00 feet, a central angle of 01°35'23" and a chord that bears South 77°40'32" West 51.47 feet

3. North 11°34'29" West, 120.04 feet to the beginning of a non-tangent curve to the left; 4. 182.96 feet with the arc of said curve to the left having a radius of 1,975.00 feet, a central angle of 05°18'28" and a chord that bears South 74°19'15"

West, 182.89 feet to the beginning of a curve to the right; 5. 91.51 feet with the arc of said curve to the right having a radius of 50.00 feet, a central angle of 104°51'38" and a chord that bears North 55°54'10" West, 79.26 feet;

6. North 54°21'35" West, 123.56 feet to the POINT OF BEGINNING and CONTAINING 7.023 Acres (305,921 square feet) of land.

KNOW ALL MEN BY THESE PRESENTS:

THAT I RODRIC R. REESE, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON AS SET WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BURLESON, JOHNSON COUNTY, TEXAS



RODRIC R. REESE, R.P.L.S. NO. 5883

DATE

NOTES

- 3. NO FENCES OR OTHER STRUCTURES WILL BE ALLOWED WITHIN THE DRAINAGE EASEMENT
- GARAGE THAT IS FURTHEST FROM THE INTERSECTION.
- 5. FUTURE DEVELOPMENT, CONSTRUCTION, AND LANDSCAPING SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW. AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
- 6. UTILITY EASEMENTS: ALL UTILITY EASEMENTS SHALL CONFORM TO CITY OF BURLESON'S MUNICIPAL CODE OF ORDINANCES. 7. SUBSURFACE UTILITIES: UNDERGROUND UTILITIES WERE NOT LOCATED DURING THIS SURVEY. CALL 811 AND/OR UTILITY PROVIDERS BEFORE
- EXCAVATION OR CONSTRUCTION
- 8. ZONING NOTE: ALL LOTS ARE A PART OF THE PLANNED DEVELOPMENT ZONING DISTRICT "CASE 18-084" "CSO#949-12-2018".
- MUNICIPAL CODE OF ORDINANCES ZONE PD.
- PROPERTY
- SAID IMPROVEMENTS

GENERAL NOTES

- 1. TITLE COMPANY: FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT NUMBER: 9001222000030 EFFECTIVE DATE: JANUARY 10, 2020 ISSUED DATE: FEBRUARY 05, 2020
- 2. LOT CORNERS WILL BE SET UPON COMPLETION OF CONSTRUCTION OF ROADWAYS AND UTILITIES.
- 3. POSTAL DELIVERY SERVICE WITHIN SUBDIVISION WILL BE BY NEIGHBORHOOD DELIVERY AND COLLECTION BOX UNITS.
- 4. UTILITY LOCATIONS ARE OF VISIBLE EVIDENCE OBSERVED BY THE SURVEYOR DURING FIELD VISITS. SURVEYOR PROVIDES NO WARRANTY AS TO THE EXTENT OF UNDERGROUND UTILITIES FOR THIS SITE.
- (REQUEST FOR GROUND MARKINGS) OF UNDERGROUND UTILITY LINES
- 6. A DRAINAGE/UTILITY EASEMENT (DUE) IS ONLY REQUIRED, AS NECESSARY, TO SHOW ANY EXISTING/FUTURE EASEMENTS OR DRAINAGE EASEMENTS TO HELP WITH THE FLOW OF WATER OR PLACEMENT OF EASEMENTS.

DEDICATION

KNOW ALL MEN BY THESE PRESENTS

That we, Silver Leaf Communities, LLC, owners, do hereby adopt this plat designating the hereinbefore described property as Shannon Creek Development Phase 2, an addition to the city of Burleson, Johnson County, Texas, and hereby dedicate to the public use forever all streets, right-of-way, alleys and easements shown thereon. The City or any public utility shall have the right to remove and keep removed all or part of any building, fences, trees, shrubs or other improvements or growths in which any way endanger or interfere with the construction, maintenance of efficiency of its respective systems on any of these easements, and the city or any public utility shall at all times have the right ingress and egress to and from and upon the said easement for the purpose of constructing, reconstructing, inspecting and patrolling, without the necessity at any time of procuring the permission of anyone. this plat approved subject to all platting ordinance, rules, regulations, and resolutions of the city of Burleson. Texas

/itness our hand,	this the	day of

SILVER LEAF COMMUNITIES, LLC

STATE OF TEXAS:

COUNTY OF JOHNSON:

Before me, the undersigned Notary Public in and for said County and State, on this day personally appeared of SILVER LEAF COMMUNITIES, LLC, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations there in express

Given under my hand and seal of the office this the _____ day of _____, 20____

Notary Public, State of Texas

My commission expires

1. BEARINGS ARE REFERENCED TO TEXAS STATE PLANE COORDINATE SYSTEM, NORTH-CENTRAL ZONE(4202), NORTH AMERICA DATUM OF 1983(2011) AS DERIVED FROM GPS OBSERVATION. THE COMBINED SCALE FACTOR FOR THIS SITE IS 0.999885592. THIS FACTOR IS TO BE APPLIED TO ANY GROUND COORDINATE OR DISTANCE VALUES IN ORDER TO REDUCE SAID VALUES TO STATE PLANE GRID VALUES.

2. AT CONTROLLED OR UNCONTROLLED INTERSECTIONS OF ANY PUBLIC STREET, THE MINIMUM INTERSECTION SIGHT DISTANCE (VISIBILITY TRIANGLES) SHALL HAVE THE DIMENSIONS ILLUSTRATED IN FIGURE I IN APPENDIX G OF THE CITY'S DESIGN MANUAL

4. DRIVEWAY APPROACH LOCATIONS ON CORNERS LOTS SHALL BE LOCATED TO APPROXIMATELY LINE UP WITH THE SIDE OF THE HOUSE OR

- 9. BUILDING SETBACK:ALL LOTS SHALL CONFORM TO CURRENT ZONING BUILDING SET BACKS AS SPECIFIED BY THE CITY OF BURLESON'S

10. ALL FUTURE CONSTRUCTION AND/OR DEVELOPMENT WITHIN THIS SUBDIVISION SHALL CONFORM TO CURRENT ZONING DISTRICT REGULATIONS OF THE CITY OF BURLESON. DROUGHT TOLERANT AND NATIVE SPECIES OF PLANTS ONLY TO BE USED IN LANDSCAPING AND GREEN SPACE. PLEASE CONSULT ALL APPLICABLE GOVERNING ENTITIES REGARDING RULES & REGULATIONS, THAT MAY AFFECT CONSTRUCTION ON THIS

11. THE CITY OF BURLESON IS NOT RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE OR USE OF ANY STORM WATER STORAGE FACILITY AND ASSOCIATED DRAINAGE EASEMENTS HEREINAFTER REFERRED TO AS "IMPROVEMENTS," TO BE DEVELOPED AND CONSTRUCTED BY DEVELOPER OR SUCCESSORS. DEVELOPER WILL INDEMNIFY, DEFEND AND HOLD HARMLESS THE CITY OF BURLESON, ITS OFFICERS, EMPLOYEES AND AGENTS FROM ANY DIRECT OR INDIRECT LOSS, DAMAGE, LIABILITY OR EXPENSE AND ATTORNEY'S FEES FOR ANY NEGLIGENCE WHATSOEVER, ARISING OUT OF THE DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE CONDITION OR USE OF THE IMPROVEMENTS, INCLUDING ANY NON-PERFORMANCE OF THE FOREGOING. DEVELOPER WILL REQUIRE ANY SUCCESSOR IN INTEREST TO ACCEPT FULL RESPONSIBILITY AND LIABILITY FOR THE IMPROVEMENTS. ALL OF THE ABOVE SHALL BE COVENANTS RUNNING WITH THE LAND. IT IS EXPRESSLY, ADJACENT OR SERVED BY THE IMPROVEMENTS THE FULL OBLIGATION AND RESPONSIBILITY OF MAINTAINING AND OPERATING

12. THE CITY OF BURLESON RESERVES THE RIGHT TO REQUIRE MINIMUM FINISH FLOOR ELEVATION ON ANY LOT WITHIN THIS SUBDIVISION

5. BEFORE DIGGING IN THIS AREA, CALL "TEXAS ONE-CALL" 1-800-545-6005 FOR FIELD LOCATIONS

, 20

Final Plat

Shannon Creek Development Phase 2

Lots 1-8, Block 2; Lots 10-19, Block 3; & Lots 1-3 & 5-16, Block 5 Burleson, TX. 76028 BEING 7.023 ACRES (305,921 SQ.FT.) TRACT OF LAND OUT OF THE G. R. SHANNON SURVEY, ABSTRACT NO. 1205, AND THE S. M. BLAIR SURVEY, ABSTRACT NO. 65, CITY OF BURLESON, JOHNSON COUNTY, TEXAS 33 RESIDENTIAL LOTS DATE: MAY, 2023

FLOODPLAIN STATEMENT:

ACCORDING TO THE FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO 48251C0065J, DATED: DECEMBER 4, 2012. REVISED BY REVISED BY FEMA LETTER OF MAP REVISIONS (LOMR) CASE NO. 21-06-2082P, EFFECTIVE DATE SEPTEMBER 8, 2022. THE SUBJECT PROPERTY IS LOCATED WITHIN THE FOLLOWING ZONES:

ZONE X- AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN ZONE X- AREAS OF 500-YEAR FLOOD

ZONE AE- BASE FLOOD ELEVATION DETERMINED

- 2. FLOOD INFORMATION PROVIDED HEREON IS BASED ON SCALING THE LOCATION OF THE SUBJECT TRACT ON THE FLOOD INSURANCE RATE MAPS, THE INFORMATION SHOULD BE USED TO DETERMINE FLOOD INSURANCE RATES ONLY AND IS NOT INTENDED TO IDENTIFY SPECIFIC FLOODING CONDITIONS. WE ARE NOT RESPONSIBLE FOR F.I.R.M.'S ACCURACY.
- THE FINISH FLOOR SHALL BE A MINIMUM OF 2 FEET ABOVE THE BASE FLOOD ELEVATION ESTABLISHED BY THE 3 FLOOD STUDY. A FORM BOARD SURVEY WITH THE TOP OF FORM ELEVATION PROVIDED WILL BE REQUIRED PRIOR TO POURING THE FOUNDATION.

SUBDIVISION DATA:

- 1. TOTAL ACREAGE: 7.023 ACRES
- 2. TOTAL LOTS: 33 SINGLE FAMILY LOTS
- 3. ELECTRIC SERVICES PROVIDED BY: UNITED COOPERATIVE SERVICES
- 4. WATER SERVICES PROVIDED BY: CITY OF BURLESON
- 5 PHONE SERVICES PROVIDED BY: AT&T
- 6. SANITARY SEWER SERVICES PROVIDED BY: THE CITY OF BURLESON

JOHNSON COUNTY RECORDING INFORMATION:

Plat Filed _____, 20 ____.

Slide ____, Vol., ____ Pg. ____ Johnson County Plat Records

By:

Becky Ivey

County Clerk

FOR PLATS APPROVED BY THE PLANNING ZONING COMMISSION

Approved by the Planning and Zoning Commission of Burleson, Texas This the ______day of _____, 20____

Chair of Planning and Zoning Commission

City Secretary



LINES & CURVE TABLES

LINE	BEARING	DISTANCE
L1	S 08°25'58"E	50.00'
L2	N 04°04'49"W	12.66'
L3	N 87°21'50"E	59.86'
L4	N 88°45'15" E	61.68'
L5	N 89°20'25" E	57.87'
L6	S 89°54'19"E	59.86'
L7	S 85°52'07"E	59.93'
L8	S 84°56'15" E	74.56'
L9	S 86°05'11" E	51.62'
L10	S 88°15'26"E	84.47'
L11	S 83°52'42" E	88.06'
L12	S 19 ° 55'36" W	47.83'
L13	S 62°28'56" W	14.73'
L14	S 14°49'21" W	50.01'
L15	N 32°00'21"W	25.00'
L16	S 85°55'11"W	60.00'
L17	S 85°55'11"W	60.33'
L18	N 17°33'35"W	14.04'
L19	N 04°04'49" W	46.40'
L20	S 89°21'37"W	57.42'
L21	S 89°21'37"W	50.21'
L22	S 89°21'37"W	50.02'
L23	S 89°21'37"W	51.78'
L24	N 47°21'36"W	14.56'
L25	N 89°21'37"E	48.62'
L26	N 89°21'37"E	60.05'
L27	N 89°21'37"E	60.02'
L28	N 89°21'37"E	60.02'
L29	N 89°21'37"E	15.81'
L30	N 04°04'49"W	25.05 '
L31	N 18°19'59"W	25.00'
L32	N 89°20'25"E	0.62'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	18.62'	1,975.00'	00*32'25"	N 81°50'14" E	18.62'
C2	75.23'	225.00'	19'09'24"	S 10°20'54" W	74.88'
C3	22.60'	1,225.00'	01*03'25"	N 75°43'28" W	22.60'
C4	37.52'	1,175.00'	01°49'47"	S 75°23'02" E	37.52'
C5	30.02'	1,175.00'	01°27'50"	S 87°38'26" E	30.02'
C6	51.47'	1,855.00'	01*35'23"	S 77°40'32" W	51.47'
C7	182.96'	1,975.00'	05*18'28"	S 74°19'15" W	182.89'
C8	91.51'	50.00'	104*51'38"	N 55°54'10" W	79.26'
C9	60.25'	2,025.00'	01*42'17"	S 80°42'53" W	60.25'
C10	60.44'	2,025.00'	01°42'37"	S 79°00'27" W	60.44'
C11	50.55'	2,025.00'	01°25'49"	S 77°26'14" W	50.55'
C12	50.76'	2,025.00'	01*26'10"	S 76°00'14" W	50.76'
C13	51.00'	2,025.00'	01*26'35"	S 74°33'51" W	51.00'
C14	17.06'	2,025.00'	00*28'58"	S 73°36'05" W	17.06'
C15	15.12'	11.00'	78•45'57"	N 67°15'26" W	13.96'
C16	31.74'	50.00'	36*22'14"	N 46°03'34" W	31.21'
C17	50.41'	50.00'	57•45'40"	S 86°52'29" W	48.30'
C18	53.64'	50.00'	61*28'00"	S 27°15'39" W	51.10'
C19	50.01'	1,975.00'	01*27'02"	N 77*42'00" E	50.00'
C20	63.41'	1,975.00'	01*50'23"	N 79°20'42" E	63.41'
C21	44.89'	1,975.00'	01*18'08"	N 80°54'58" E	44.89'
C22	3.68'	10.00'	21*06'22"	S 06°28'22" W	3.66'
C23	5.80'	10.00'	33•12'31"	N 33°37'48" E	5.72'
C24	55.04'	50.00'	63•04'30"	S 18°41'49" W	52.31'
C25	55.06'	50.00'	63 ° 05'22"	S 44°23'08" E	52.32'
C26	12.84'	50.00'	14*42'34"	N 83°17'06" W	12.80'
C27	46.50'	1,175.00'	02*16'02"	S 89°30'22" E	46.49'
C28	61.01'	1,175.00'	02*58'31"	S 85°25'16" E	61.01'
C29	64.35'	1,175.00'	03*08'17"	S 82°21'52" E	64.35'
C30	64.51'	1,175.00'	03*08'44"	S 79°13'21" E	64.50'
C31	27.72'	1,175.00'	01*21'06"	S 76°58'26" E	27.72'
C32	25.94'	1,225.00'	01*12'47"	N 76°51'35"W	25.94'
C33	49.37'	1,225.00'	02*18'33"	N 78°37'15" W	49.37'
C34	51.01'	1,225.00'	02*23'09"	N 80°58'06" W	51.01
C35	52.67'	1,225.00'	02*27'48"	N 83°23'35" W	52.66'
C36	65.64'	1,225.00'	03°04'12"	N 86°09'34" W	65.63'
C37	60.14'	1,225.00'	02*48'46"	N 89°06'03" W	60.13'
C38	2.83'	1,225.00'	00*07'57"	S 89°25'36" W	2.83'
C39	345.59'	2,000.00'	09*54'01"	S 76°37'01" W	345.16'
C40	300.84'	1,200.00'	14•21'51"	N 83°27'27" W	300.06'

LOT AREA TABLES

BLOCK 2					
Parcel #	Area	Perimeter	Acres		
1	13,452	482	0.308		
2	7,076	360	0.162		
3	7,201	388	0.165		
4	7,234	391	0.1661		
5	6,765	372	0.155		
6	6,360	355	0.146		
7	7,187	360	0.165		
8	6,805	347	0.156		

BLOCK 3					
Area	Perimeter	Acres			
8,226	374	0.1889			
6,235	344	0.1431			
6,001	333	0.1378			
6,001	328	0.1378			
7,038	346	0.1616			
6,574	340	0.1509			
6,733	345	0.15 4 6			
6,010	332	0.1380			
6,000	331	0.1377			
6,883	341	0.1580			
	Area 8,226 6,235 6,001 6,001 7,038 6,574 6,733 6,010 6,000	AreaPerimeter8,2263746,2353446,0013336,0013287,0383466,5743406,7333456,0103326,000331			

BLOCK 5					
Parcel #	Area	Perimeter	Acres		
1	6,011	342	0.1380		
2	6,760	343	0.1552		
3	7,125	354	0.1636		
5	8,714	449	0.2001		
6	10,017	449	0.2300		
7	14,799	480	0.3397		
8	7,227	348	0.1659		
9	6,481	336	0.1488		
10	6,830	348	0.1568		
11	7,179	360	0.1648		
12	7,311	367	0.1678		
13	7,459	373	0.1712		
14	7,931	380	0.1821		
15	7,775	381	0.1785		
16	8,568	401	0.1967		

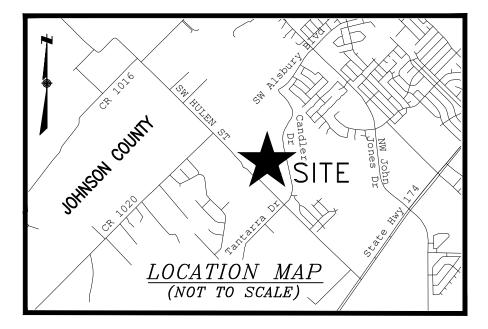
ROADS

THE RIGHT-OF-WAY DEDICATION IS GRANTED IN FEE SIMPLE TO THE CITY OF BURLESON FOR USE AS STORM WATER, PUBLIC UTILITY, PEDESTRIAN, OR OTHER PUBLIC PURPOSES.

RIGHT-OF-WAY TABLE					
PRE DIRECTION	STREET NAME	STREET TYPE/SUFFIX		RO\ (acre	
E-W	REVERIE ROAD	50'ROW		0.6	
E-W	RIVER BEND ROAD	50'	ROW	0.5	
N-S	EAGLE BEND LANE	50' ROW		0.1	
-			TOTAL	1.3	

Final Plat of Shannon Creek Development Phase 2 Lots 1-8, Block 2; Lots 10-19, Block 3; & Lots 1-3 & 5-16, Block 5 Burleson, TX. 76028

BEING 7.023 ACRES (305,921 SQ.FT.) TRACT OF LAND OUT OF THE G. R. SHANNON SURVEY, ABSTRACT NO. 1205, AND THE S. M. BLAIR SURVEY, ABSTRACT NO. 65, CITY OF BURLESON, JOHNSON COUNTY, TEXAS 33 RESIDENTIAL LOTS DATE: MAY, 2023



TITLE COMPANY: FIDELITY NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NUMBER: 9001222000030

4257, PAGE 49, DEED RECORDS, JOHNSON COUNTY, TEXAS. (AS SHOWN)

SCHEDULE B ITEMS:

1. EASEMENT TO JOHNSON COUNTY ELECTRIC COOPERATIVE ASSOCIATION, FILED DECEMBER 30, 1998, RECORDED IN VOLUME 2274, PAGE 7, DEED RECORDS, JOHNSON COUNTY, TEXAS. (BLANKET EASEMENT)

2. EASEMENT TO BETHESDA WATER SUPPLY CORPORATION, FILED APRIL 30, 2002, RECORDED IN VOLUME 2819, PAGE 690, DEED RECORDS, JOHNSON COUNTY, TEXAS. (AS SHOWN)

3. EASEMENT TO CITY OF BURLESON, TEXAS, FILED JUNE 17, 2004, RECORDED IN VOLUME 3316, PAGE 934, DEED RECORDS, JOHNSON COUNTY, TEXAS. (AS SHOWN) 4. EASEMENT TO CITY OF BURLESON, TEXAS, FILED SEPTEMBER 16, 2004, RECORDED IN VOLUME 3377, PAGE 582, DEED RECORDS, JOHNSON COUNTY, TEXAS. (AS SHOWN)

5. EASEMENT TO CITY OF BURLESON, TEXAS, FILED MARCH 23, 2007, RECORDED IN VOLUME 4052, PAGE 90, DEED RECORDS, JOHNSON COUNTY, TEXAS. (AS SHOWN) 6. OIL AND GAS LEASE AND AGREEMENT TO CONVEY SANITARY SEWER EASEMENTS, EXECUTED BY CITY OF BURLESON AND KATHERINE CROUCH HALWES AND JAMES W. CROUCH JR., FILED FEBRUARY 15, 2007, RECORDED IN VOLUME 4023, PAGE 395, DEED RECORDS, JOHNSON COUNTY, TEXAS, AS AFFECTED BY AMENDMENT RECORDED IN VOLUME 4293, PAGE 741, DEED RECORDS, JOHNSON COUNTY, TEXAS. (AS SHOWN)

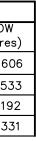
7. EASEMENT TO CITY OF BURLESON, TEXAS, FILED DECEMBER 2, 2009, RECORDED UNDER CLERK'S FILE NO. 200900036556, DEED RECORDS, JOHNSON COUNTY, TEXAS. (AS SHOWN)

8. EASEMENT TO CITY OF BURLESON, TEXAS, FILED DECEMBER 21, 2009, RECORDED UNDER CLERK'S FILE NO. 200900038468, DEED RECORDS, JOHNSON COUNTY, TEXAS. (DOES NOT APPLY)

9. EASEMENT TO CITY OF BURLESON, TEXAS, FILED DECEMBER 21, 2009, RECORDED UNDER CLERK'S FILE NO. 200900038470, DEED RECORDS, JOHNSON COUNTY, TEXAS. (DOES NOT APPLY)

10. EASEMENT TO CITY OF BURLESON, TEXAS, FILED DECEMBER 21, 2009, RECORDED UNDER CLERK'S FILE NO. 200900038471, DEED RECORDS, JOHNSON COUNTY, TEXAS. (DOES NOT APPLY) 11. UNITED ELECTRIC COOPERATIVE SERVICES, INC., FILED MAY 20, 2019, RECORDED UNDER CLERK'S FILE NO. 2019-130771, DEED RECORDS, JOHNSON COUNTY, TEXAS.

(BLANKET EASEMENT) 12. RIGHT-OF-WAY AGREEMENT, EXECUTED BY LCM PROPERTIES, LP AND CROSSTEX NORTH TEXAS GATHERING, LP, FILED DECEMBER 20, 2007, RECORDED IN VOLUME



CASE 22-021

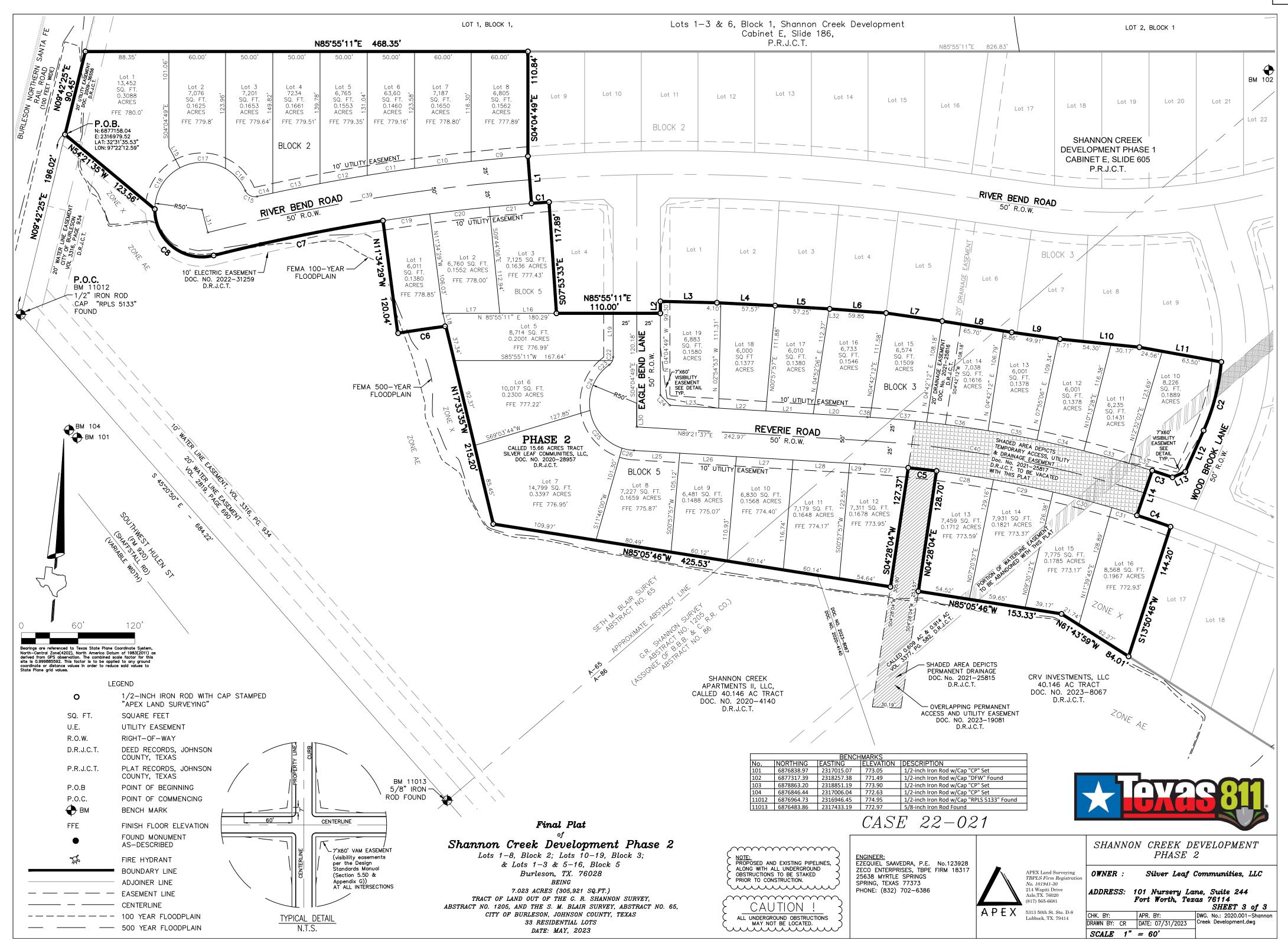
ENGINEER: EZEQUIEL SAAVEDRA, P.E. No.123928 ZECO ENTERPRISES, TBPE FIRM 18317 25638 MYRTLE SPRINGS SPRING, TEXAS 77373 PHONE: (832) 702-6386



SHANNON CREEK DEVELOPMENT PHASE 2

OWNER : Silver Leaf Communities, LLC ADDRESS: 101 Nursery Lane, Suite 244 Fort Worth, Texas 76114 SHEET 2 of 3
 CHK. BY:
 APR. BY:
 DWG. No.: 2020.001-Shannon

 DRAWN BY:
 CR
 DATE: 07/31/2023
 Creek Development.dwg







Planning & Zoning Commission Meeting

DEPARTMENT: Development Services

FROM: JP Ducay, Senior Planner

MEETING: September 12, 2023

SUBJECT:

255 Centre Dr. (Case 22-167): Hold a public hearing and consider approval of an ordinance for a zoning change request from "A", Agricultural to "I", Industrial for a 0.35 acre portion of 255 Centre Dr.

SUMMARY:

On December 13, 2022, an application was submitted by Angel Sanchez (applicant) with MAS Consulting Engineers on behalf of Jason Burghart (owner), to rezone a 0.35 acre portion of 255 Centre Dr. from "A", Agricultural to "I", Industrial. The majority of the undeveloped 4.411 acre subject site is currently zoned I, Industrial with a 0.35 acre portion being zoned A, Agricultural. In order to bring the entire site into zoning conformity, the applicant has requested to rezone the 0.35 portion to be consistent with the rest of the site and the surrounding area. The applicant has also submitted an associated Commercial Site Plan (22-165), proposing to expand Liquid Stone Concrete's operation to the subject site. Liquid Stone Concrete currently operates at 221 Centre Dr., located immediately to the west of the subject property, and is zoned I, Industrial. The proposed I, Industrial zoning district allows for permanent concrete batching plants by right. A draft ordinance for this zoning change request is included in this packet.

Planning Analysis

The City's Imagine Burleson 2030 Midpoint Update Comprehensive Plan designates this site as **Regional Office/Commercial**. This land use category is intended for uses with regional emphasis due to the area's high visibility. Uses such as large retail centers, hotels, restaurants, and corporate or professional offices are encouraged in this category. Medium to high density residential may be allowed as part of a mixed-use development. Additionally, uses in these areas should be less susceptible to noise and visual pollution because of the proximity to major thoroughfares. Due to the visibility from the roadways, architectural design and screening are important.

The proposed zoning of I, Industrial and the subsequent use of a concrete batching plant does not comply with the Comprehensive Plan designation of Regional Office/Commercial. However, the majority of the subject site is already zoned I, Industrial with the exception of 0.35 acres. If approved, this request would bring the entire site into zoning consistency. Additionally, an existing concrete batching plant is currently operating immediately to the west of the subject site. The owner is proposing to expand the business and bring the new sites zoning into conformity.

	Zoning	Use
Subject Site	I, Industrial & A, Agricultural	Undeveloped
North	C, Commercial	Developed, Commercial
East	Outside of Jurisdiction (Fort Worth)	Developed, Spinks Airport
South	I, Industrial	Developed, Industrial
West	I, Industrial	Developed, Industrial



OPTIONS:

- 1) Recommend approval of the zoning change request; or
- 2) Recommend approval of the zoning request with modifications; or
- 3) Recommend denial of the zoning change request.

RECOMMENDATION:

Staff recommends approval of the zoning change request from "A", Agricultural to "I", Industrial for a portion of 255 Centre Dr. as proposed by the applicant.

PUBLIC NOTIFICATION:

Notice was mailed to surrounding property owners within 300 feet of the acreage proposed for this zone change and published in the newspaper in accordance with City ordinances and State law. In addition, a sign was placed on the subject property.

At this time staff has not received any formal opposition regarding this case.

FISCAL IMPACT:

None

STAFF CONTACT:

JP Ducay Senior Planner, Development Services jducay@burlesontx.com 817-426-9648

255 Centre Dr ZC

Location:

- 0.35 acres
- 255 Centre Dr

Applicant/Owner:

Angel Sanchez – Applicant Jason Burghart – Owner

Item for approval:

Zoning Change (Case 22-167)



255 Centre Dr ZC

Zoning Information

- The applicant is proposing to rezone a 0.35 acre portion of 255 Centre Dr. from (A) to (I)
- The majority of the undeveloped 4.411 acre site is already zoned I, Industrial
 - If approved, this request would bring zoning consistency to the entire site.
- The applicant has also submitted a Commercial Site Plan (22-165) proposing to expand Liquid Stone Concretes operation to the subject site.
 - LSC currently operates at 221 Centre Dr, located immediately to the west of the subject property
 - The proposed (I) Zoning District allows for concrete batching plants by right



Comprehensive Plan

Regional Office/Commercial

Current Zoning Agricultural



Item A.

29

255 Centre Dr ZC

Public Hearing Notice

- Public notices mailed to property owners within 300 feet of subject property.
- Published in newspaper.
- Sign posted on the property.

Staff has not received any inquiries regarding this request.



255 Centre Dr ZC

Staff's Recommendation

Staff recommends approval of the zoning change request from "A", Agricultural to "I", Industrial for 0.35 acres of 255 Centre Dr.

- Items to be considered:
 - The proposed zoning of Industrial and the subsequent use of a concrete batching plant does not comply with the vision of the Comprehensive Plan. However, the majority of the subject site is already zoned (I).
 - If approved, this request would bring zoning consistency to the entire site.
 - Existing concrete batching plant is current operating immediately to the west of the subject site. The owner is proposing to expand the existing business to the adjacent site in question.



ORDINANCE

THE AN ORDINANCE AMENDING ORDINANCE B-582. ZONING ORDINANCE AND MAP OF THE CITY OF BURLESON, TEXAS, BY AMENDING THE OFFICIAL ZONING MAP AND CHANGING THE ZONING **ON APPROXIMATELY 0.3535 ACRES OF LAND OUT OF THE S. GRAY** SURVEY, ABSTRACT NO. 558, SITUATED IN THE CITY OF BURLESON, TARRANT COUNTY, TEXAS BEING A PORTION OF A CALLED 4.408 ACRE TRACT OF LAND CONVEYED TO PAUL AND DARLENE KARMY BY DEED OF RECORD IN DOCUMENT NUMBER D217286443 OF THE OFFICIAL PUBLIC RECORDS OF TARRANT COUNTY TEXAS, FROM AGRICULTURAL (A) DISTRIC TO INDUSTRIAL (I), MAKING THIS ORDINANCE CUMULATIVE OF PRIOR ORDINANCES; PROVIDING A SEVERABILITY CLAUSE: PROVIDING FOR THE VIOLATION OF THIS ORDINANCE; PROVIDING A PENALTY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Burleson, Texas ("City"), is a home rule city acting under its charter adopted by the electorate pursuant to Article XI, Section 5 of the Texas Constitution and Chapter 9 of the Local Government Code; and

WHEREAS, the City Council passed, approved, and adopted Ordinance B-582, being the Zoning Ordinance and Map of the City of Burleson, Texas, showing the locations and boundaries of certain districts, as amended, and codified in Appendix B of the City of Burleson Code of Ordinances (2005) (the "Zoning Ordinance and Map"); and

WHEREAS, an application for a **zoning change** was filed by **Angel Sanchez** (<u>Applicant</u>) on behalf of **Jason Burghart** (<u>Owner</u>) on <u>December 13, 2022</u>, under <u>Case Number 22-167</u>, on property described herein below filed application with the City petitioning an amendment of the Zoning Ordinance and Map so as to allow for the changing in zoning of said property from **Agricultural** (A) district to Industrial (I); and

WHEREAS, the Planning and Zoning Commission of Burleson, Texas, held a public hearing on said application after at least one sign was erected upon the property on which the change of classification is proposed in accordance with the Zoning Ordinance and Map, and after written notice of such public hearing before the Planning and Zoning Commission on the proposed Zone Change had been sent to owners of real property lying within 300 feet of the property on which the change of classification is proposed, said notice having been given not less than ten (10) days before the date set for hearing to all such owners who rendered their said property for City taxes as the ownership appears on the last approved City Tax Roll, and such notice being served by depositing the same, properly addressed and postage paid, in the U.S. mail; and

WHEREAS, after consideration of said application, the Planning and Zoning Commission of the City of Burleson, Texas voted 0 to 0 to recommend to the City Council of Burleson, Texas, that the hereinafter described property be rezoned from its classification of **Agricultural (A) district to Industrial (I)**; and

WHEREAS, notice was given of a further public hearing to be held by the City Council of the City of Burleson, Texas, to consider the advisability of amending the Zoning Ordinance and Map as recommended by the Planning and Zoning Commission, and all citizens and parties at interest were notified that they would have an opportunity to be heard, such notice of the time and place of such hearing having been given at least fifteen (15) days prior to such hearing by publication in the Fort Worth Star Telegram, Fort Worth, Texas, a newspaper of general circulation in such municipality; and

WHEREAS, all citizens and parties at interest have been given an opportunity to be heard on all the matter of the proposed rezoning and the City Council of the City of Burleson, Texas, being informed as to the location and nature of the use proposed on said property, as well as the nature and usability of surrounding property, have found and determined that the property in question, as well as other property within the city limits of the City of Burleson, Texas, has changed in character since the enactment of its classification of <u>Agriculture (A)</u>; and, by reason of changed conditions, does consider and find that this amendatory Ordinance should be enacted since its provisions are in the public interest and will promote the health, safety and welfare of the community; and

WHEREAS, the City Council of the City of Burleson, Texas, may consider and approve certain ordinances or ordinance amendments at only one meeting in accordance with Section 2-4 of the City of Burleson Code of Ordinances (2005); and

WHEREAS, the City Council of the City of Burleson, Texas, finds that this Ordinance may be considered and approved in only one meeting because the provisions of this Ordinance concern an individual zoning case that does not propose a change to the language of the City of Burleson Code of Ordinances.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BURLESON, TEXAS:

Section 1

The Zoning Ordinance and Map is hereby amended insofar as it relates to certain land described as **0.3535 acres of land out of the S. Gray Survey, Abstract No. 558, situated in the City of Burleson, Tarrant County, Texas** as shown on the attached Exhibit A incorporated herein by reference, by allowing for the change in zoning from **Agricultural (A) to Industrial (I)**.

Section 2.

The findings and recitals set forth above in the preamble of this ordinance are incorporated into the body of this ordinance as if fully set forth herein.

Section 3.

It is hereby officially found and determined that the meeting at which this ordinance is passed is open to the public and that public notice of the time, place, and purpose of said meeting was given as required by law.

Section 4.

This ordinance shall be cumulative of all provisions of ordinances of the City of Burleson, Texas, except where the provisions of this ordinance are in direct conflict with the provisions of such ordinances, in which event the conflicting provisions of such ordinances are hereby repealed. To the extent that the provisions of the City of Burleson's various development ordinances conflict with this ordinance, the terms of this ordinance shall control.

Section 5.

It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs and sections of this ordinance are severable., and if any phrase, clause, sentence, paragraph or section of this ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this ordinance, since the same would have been enacted by the city council without the incorporation in this ordinance of any such unconstitutional phrase, clause, sentence, paragraph or section.

Section 6.

An offense committed before the effective date of this ordinance is governed by the prior law and the provisions of the Code of Ordinances, as amended, in effect when the offense was committed, and the former law is continued in effect for that purpose.

Section 7.

Any person, firm, association of persons, company, corporation, or their agents, its servants, or employees violating or failing to comply with any of the provisions of this article shall be fined, upon conviction, not less than one dollar (\$1.00) nor more than two thousand dollars (\$2,000.00), and each day any violation of noncompliance continues shall constitute a separate and distinct offense. The penalty provided herein shall be cumulative of other remedies provided by State Law, and the power of injunction as provided in Texas Local Government Code 54.012 and as may be amended, may be exercised in enforcing this article whether or not there has been a complaint filed.

Section 8.

This ordinance shall be in full force and effect from and after its passage and publication as provided by law.

PASSED AND APPROVED:

First and Final Reading:	the _	day of	,	20
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Chris Fletcher, Mayor City of Burleson, Texas

ATTEST:

APPROVED AS TO FORM:

Amanda Campos, City Secretary

E. Allen Taylor, Jr., City Attorney

EXHIBIT A Metes and Bounds

LEGAL DESCRIPTION

Being a 0.3535 acre tract of land out of the S. Gray Survey, Abstract No. 558, situated in the City of Burleson, Tarrant County, Texas, being a portion of a called 4.408 acre tract of land conveyed to Paul and Darlene Karmy by deed of record in Document Number D217286443 of the Official Public Records of Tarrant County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 3/4 inch iron rod found in the West right-of-way line of Village Creek Parkway, being the Southeast corner of Lot 3, Block 1 of Burleson Sam's Addition, a subdivision of record in Document Number D213279029 of the Plat Records of Tarrant County, Texas, and being the Northeast corner of said 4.408 acre tract;

THENCE, S00°27'44"E, along the West right-of-way line of Village Creek Parkway and the common East line of said 4.408 acre tract, a distance of 88.00 feet to a point from which a 1/2 inch iron rod with plastic cap stamped "PREMIER SURVEYING" found at the Southeast corner of said 4.408 acre tract bears S00°27'44"E, a distance of 129.92 feet;

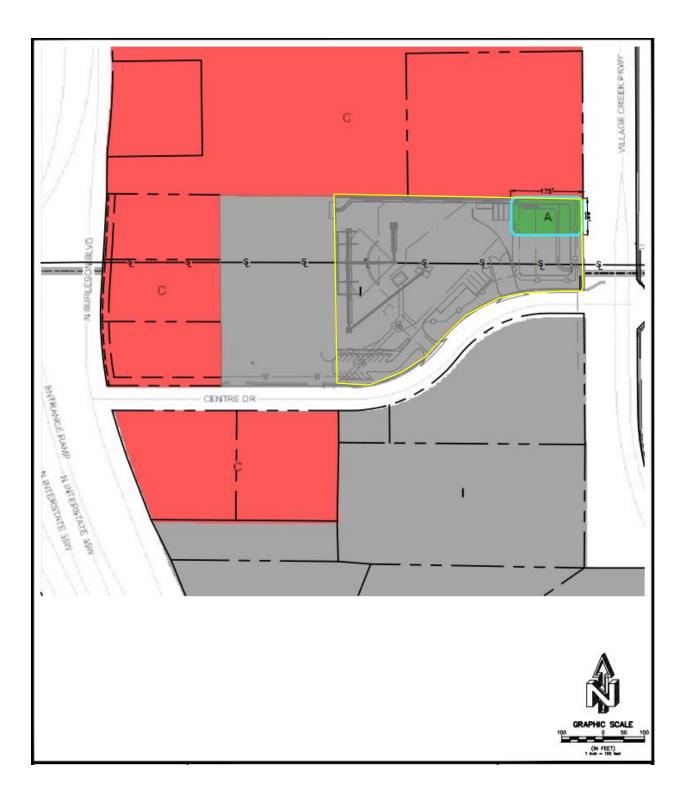
THENCE, leaving the West right-of-way line of Village Creek Parkway, over and across said 4.408 acre tract, the following two (2) courses and distances:

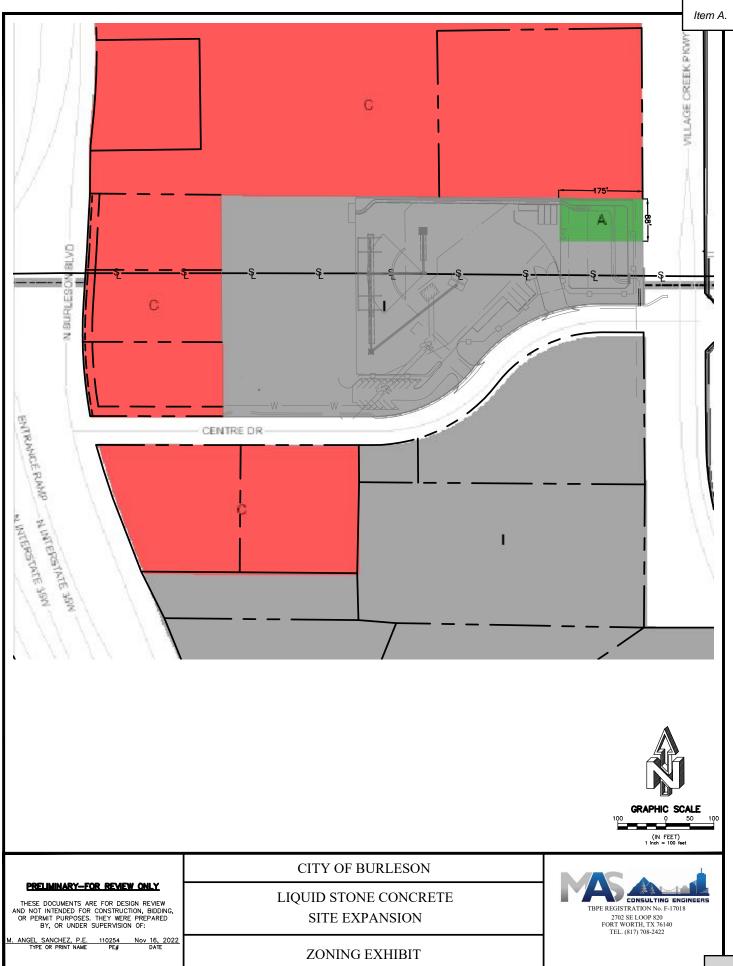
- N89°26'37"W, a distance of 175.00 feet;
- N00°27'44"W, a distance of 88.00 feet to a point in the South line of said Lot 3 and the common North line of said 4.408 acre tract from which a 1/2 inch iron rod found at the Northwest corner of said 4.408 acre tract bears N89°26'37"W, a distance of 421.07 feet;

THENCE, S89°26'37"E, along the South line of said Lot 3 and the common North line of said 4.408 acre tract, a distance of 175.00 feet to the **POINT OF BEGINNING**, and containing an area of 0.3535 of an acre (15,398 square feet) of land, more or less.

Bearings are based on GPS observations utilizing the AllTerra RTK Network, North American Datum of 1983 (Adjustment Realization 2011).

EXHIBIT B Zoning Exhibit





LEGAL DESCRIPTION

Being a 0.3535 acre tract of land out of the S. Gray Survey, Abstract No. 558, situated in the City of Burleson, Tarrant County, Texas, being a portion of a called 4.408 acre tract of land conveyed to Paul and Darlene Karmy by deed of record in Document Number D217286443 of the Official Public Records of Tarrant County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 3/4 inch iron rod found in the West right-of-way line of Village Creek Parkway, being the Southeast corner of Lot 3, Block 1 of Burleson Sam's Addition, a subdivision of record in Document Number D213279029 of the Plat Records of Tarrant County, Texas, and being the Northeast corner of said 4.408 acre tract;

THENCE, S00°27'44"E, along the West right-of-way line of Village Creek Parkway and the common East line of said 4.408 acre tract, a distance of 88.00 feet to a point from which a 1/2 inch iron rod with plastic cap stamped "PREMIER SURVEYING" found at the Southeast corner of said 4.408 acre tract bears S00°27'44"E, a distance of 129.92 feet;

THENCE, leaving the West right-of-way line of Village Creek Parkway, over and across said 4.408 acre tract, the following two (2) courses and distances:

- 1. N89°26'37"W, a distance of 175.00 feet;
- N00°27'44"W, a distance of 88.00 feet to a point in the South line of said Lot 3 and the common North line of said 4.408 acre tract from which a 1/2 inch iron rod found at the Northwest corner of said 4.408 acre tract bears N89°26'37"W, a distance of 421.07 feet;

THENCE, S89°26'37"E, along the South line of said Lot 3 and the common North line of said 4.408 acre tract, a distance of 175.00 feet to the **POINT OF BEGINNING**, and containing an area of 0.3535 of an acre (15,398 square feet) of land, more or less.

Bearings are based on GPS observations utilizing the AllTerra RTK Network, North American Datum of 1983 (Adjustment Realization 2011).

Item A.



Planning & Zoning Commission Meeting

DEPARTMENT: Development Services

FROM: JP Ducay, Senior Planner

MEETING: September 12, 2023

SUBJECT:

Liquid Stone Concrete at 255 Centre Dr (Case 22-165): Consider a resolution for a site plan of Liquid Stone Concrete located at 255 Centre Dr.

SUMMARY:

On December 13, 2022, an application was submitted by Angel Sanchez (applicant) with MAS Consulting Engineers on behalf of Jason Burghart (owner), for a site plan on approximately 4.411 acres to contain the expansion of the Liquid Stone Concrete batching plant. Liquid Stone Concrete currently operates at 221 Centre Dr, immediately abutting the subject property to the west. An ordinance for a zoning change request (22-167) was also submitted for this site and will run concurrently with the subject site plan.

"Site plan approval required by City Council. Any site plan that requires a waiver or variance to City Ordinances or is contingent upon the approval of a zoning district change must receive the approval of City Council upon recommendation of the planning and zoning commission."

The subject site plan is not only contingent upon the approval of a zoning change request, but is also proposing six waivers to City Ordinances. All six waivers are being requested to Article V. IH-35 Design Standards. According to this section, "any modification to the standards of this ordinance shall require review by the DAC, and final approval by the City Council." As a result, any waiver to this section will not require a public hearing nor a recommendation from the Planning and Zoning Commission. Subsequently, the Planning and Zoning Commission shall provide a recommendation for the separate zoning change (22-167) and the subject site plan without consideration of the associative waivers.

Background:

The subject property is currently zoned both I, Industrial and A, Agricultural and is located within the IH-35 Overlay (Specific Plan Area 1 – Spinks). The applicant has submitted a separate zoning change ordinance requesting to rezone the entire site to I, Industrial to allow for the use of a "concrete batching plant (permanent)". Liquid Stone Concrete is an existing batching plant located on the abutting property and is proposing to expand their batching operations to the site in question. This expansion proposal has been deemed, new construction, due to the owners request to leave the two operation sites subdivided rather than unify them as one platted lot. The IH-35 Design Standards shall be applied to all new construction located within its boundaries.

Site Conformance Table

Required	Staff's Findings
Lot Size, Coverage and Setbacks	Complies. Site plan is in compliance with all
Specific lot information as shown on site plan	development regulations with the exception of:
	 4 - IH-35 Building Design standards
	 1 - IH-35 Landscaping standard
	 1 - IH-35 Screening standard
Landscaping –	Complies with all General landscaping.
20% of Total Site shall be landscaped: 38,446s	Landscaping proposed: 47,644sf with credits as listed on landscaping plans.
Parking Requirement –	Complies.
1 space for each two employees: 6 spaces	Parking provided: 21 spaces
1 ADA spaces	ADA spaces: 1 spaces

Site plan exhibits are attached as Exhibit 4.

Waiver Summary:

1. Section: IH-35 Design Standards, Sec. 5-50 Building Design (a)

Required: At least one primary entryway shall face the principal street and connect directly to a sidewalk along the principal street.

Provided: The primary entryway of the 1,200sf office will not face towards nor connect directly to the principal street (Centre Dr.). However, the construction of a four foot sidewalk along the principal street will be included in the construction of the site.

Justification: The primary use of the site is industrial. This property was obtained for the continued growth of Liquid Stone as a continuation of the existing facility. The main building and site are not intended for public use and will be screened accordingly.

2. Section: IH-35 Design Standards, Sec. 5-50 Building Design (c)

Required: On the building façade facing the principal street, at least 35 percent of the wall area on the first floor between two and ten feet above grade shall consist of windows or similar glazing

Provided: The proposed buildings (south) façade facing the principal street does not provide any glazing. However, the east elevation which is also publically visible from other streets is providing 13 percent glazing and the north elevation which faces towards the on-site operations is providing 15 percent glazing.

Justification: The building is designed as a control area for the plant with specific views to the equipment and trucks for driver check-in. Windows are intended for observation of strategic operations and safety requirements.

3. Section: IH-35 Design Standards, Sec. 5-50 Building Design (d)

Required: On all other publicly visible façades, at least 20 percent of the wall area between two and ten feet above grade shall consist of windows or similar glazing.

Provided: The proposed buildings east facade is providing 13 percent glazing.

Justification: The building is designed as a control area for the plant with specific views to the equipment and trucks for driver check-in. Windows are intended for observation of strategic operations and safety requirements.

4. Section: IH-35 Design Standards, Sec. 5-50 Building Design (g)

Required: Buildings shall provide a minimum of three building design elements as provided in the IH-35 Building Design Section.

Provided: None of the building design element options are being applied to the proposed building.

Justification: The design standards are not intended to be for a safe and secure industrial facility. The building/site is not intended for public use, therefore no additional building designs or architectural elements are being installed.

5. Section: IH-35 Design Standards, Sec. 5-51 Landscaping (h) Public open space

Required: For specific plans 1, 2 and 5, developments shall provide at least 25 percent of the landscaping area required to be installed on the site as natural open space that is accessible for use and that is not a drainage swale, stormwater/water quality detention area, floodplain or a front, rear or side building yard unless approved as a useable natural area by the city manager or his or her designee.

Provided: Applicant is proposing to provide 14.3 percent open space in lieu of the required 25 percent.

Justification: Due to detention requirements, equipment circulation and safety, the public open space cannot be satisfied entirely.

6. Section: IH-35 Design Standards, Sec. 5-53 Fencing and screening (a)

Required: Waste collection, mechanical equipment, HVAC systems and other support elements for buildings, whether on the ground or on rooftop, shall be screened from view of any person standing (i) on the property line on the far side of an adjacent street or (ii) on the property line of the subject property along the frontage road of Interstate Highway 35, whichever is applicable.

Provided: Proposing to provide an 8 foot masonry wall along the south and east (principal) sides of the property and a 12 foot masonry wall along the north (rear) property boundary.

Justification: The ability to screen equipment entirely cannot be achieved due to the height of the batching equipment. Per the Texas Commission on Environmental Quality (TCEQ), a 12 foot screening wall or 50 foot buffer from all equipment shall be provided. The northern property line is the only property line that does not meet the 50' buffer requirement, therefore a 12' masonry fence is proposed.

OPTIONS:

- If the zoning change is approved, recommend approval of a resolution for a site plan for Liquid Stone Concrete; or
- 2) If the zoning change is denied, recommend denial of a resolution for a site plan.

RECOMMENDATION:

Recommend to City Council approval of a resolution for a site plan for Liquid Stone Concrete (Case 22-165).

FISCAL IMPACT:

None

STAFF CONTACT:

JP Ducay Senior Planner, Development Services jducay@burlesontx.com 817-426-9648

Location:

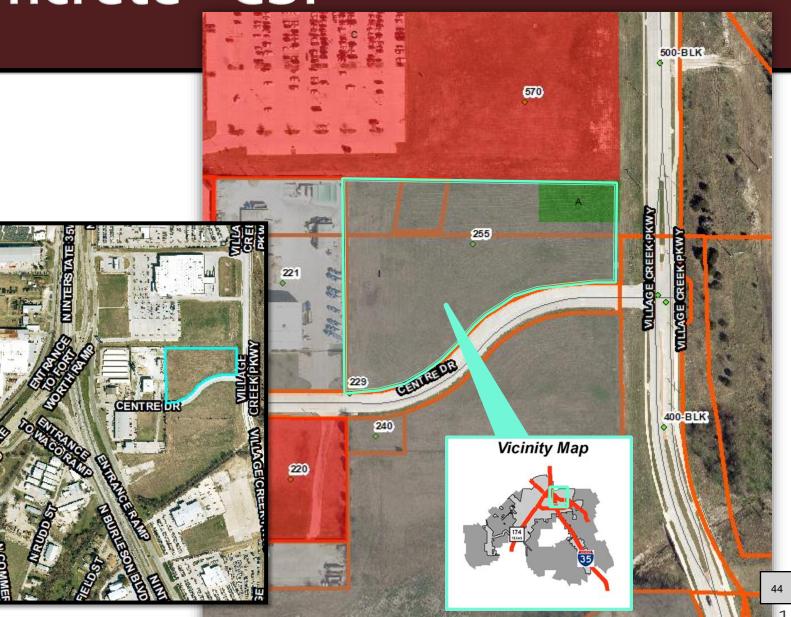
- 255 Centre Dr
- 4.41 acres

Applicant:

Angel Sanchez - Applicant Jason Burghart - Owner

Item for approval:

Site Plan (22-165)



Background:

- Liquid Stone Concrete currently operates immediately to the west of the subject site.
- Proposing to expand batching operations to the site in question.
- Site is located within the IH-35 Overlay and all standards shall be applied. However, any waivers requested to this section do not require a recommendation from P&Z.
- Recommendation of the site plan shall be made without consideration of the waivers.

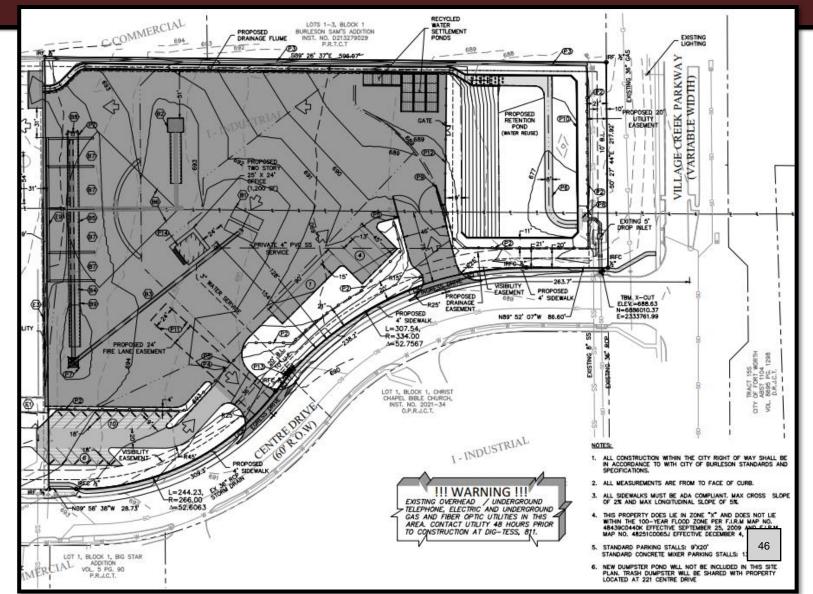


Property Information:

 Zoning change ordinance (Case 22-167) is running concurrently

Site Plan Summary:

- ➤ 1,200 SF Building
- > 24 feet in Height, two-stories
- Use Concrete batching plant (permanent)
- 6 waivers to the IH-35Standards



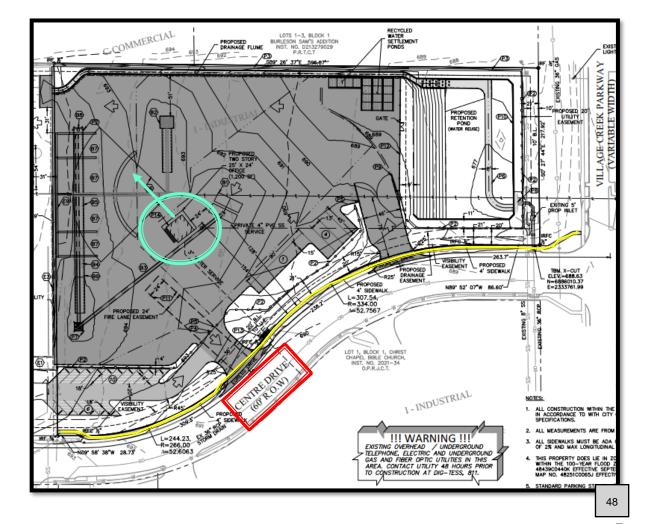
Site Conformance Table

Required	Staff's Findings				
Lot Size, Coverage and Setbacks	Complies. Site plan is in compliance with all				
Specific lot information as shown on site plan	 development regulations with the exception of: 4 - IH-35 Building Design standards 				
	• 1 - IH-35 Landscaping standard				
· · · ·	1 - IH-35 Screening standard				
Landscaping –	Complies with all General landscaping.				
20% of Total Site shall be landscaped: 38,446sf	Landscaping proposed: 47,644sf with credits as listed on landscaping plans.				
Parking Requirement –	Complies.				
1 space for each two employees: 6 spaces	Parking provided: 21 spaces				
1 ADA spaces	ADA spaces: 1 spaces				

Waiver Request:

> IH-35 Building Design (a)

<u>Required:</u>	One primary entryway shall face the principal street and connect directly to a sidewalk along the principal street.
<u>Provided:</u>	Primary entryway will not face towards nor connect to principal street. Sidewalk will be constructed along principal street.
<u>Justification:</u>	Primary use of the site is industrial. The main building / site are not intended for public use and will be screened accordingly

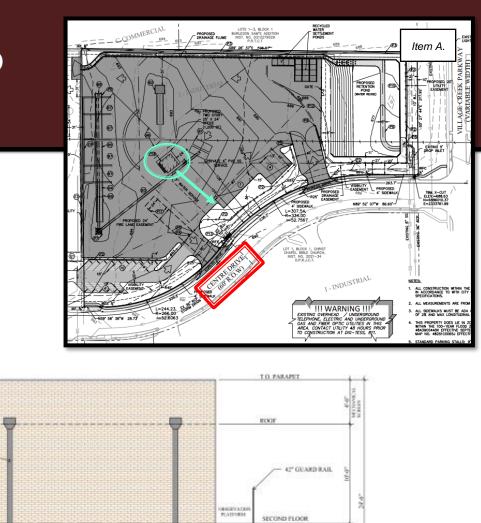


INCOME.

Waiver Request:

➢ IH-35 Building Design (c)

<u>Required:</u>	On the building façade facing the]
	principal street, at least 35 percent of the wall area on the first floor shall consist of windows or similar glazing	EACE BRICK - (LIGHT TAN)
<u>Provided:</u>	South façade facing the principal street does not provide any glazing. • North elevation: 15% • East elevation: 13%	DOWN SPOUT
<u>Justification:</u>	Building is designed as a control area for the plant with specific views to the equipment and trucks. Windows are intended for observation of strategic operations and safety requirements.	STL STAIR -



FIRST FLOOR

100% MASONRY

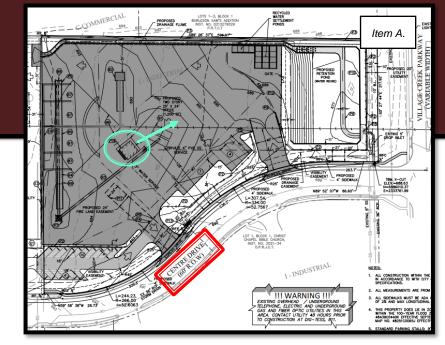
0% GLAZING

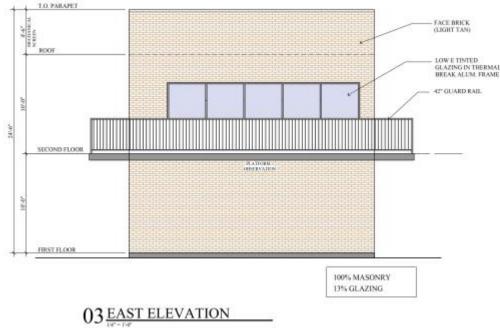
04 SOUTH ELEVATION

Waiver Request:

> IH-35 Building Design (d)

<u>Required:</u>	On all other publicly visible façades, at least 20 percent of the wall area shall consist of windows or similar glazing.
<u>Provided:</u>	Other publically visible façade to the east provides 13% glazing • North elevation: 15%
<u>Justification:</u>	Building is designed as a control area for the plant with specific views to the equipment and trucks. Windows are intended for observation of strategic operations and safety requirements.

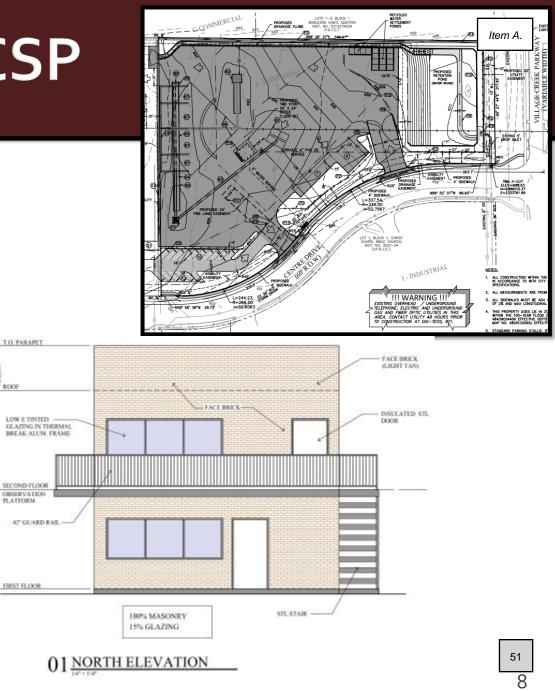




Waiver Request:

➢ IH-35 Building Design (g)

<u>Required:</u>	Buildings shall provide a minimum of three building design elements as provided in the IH-35 Building Design Section.
<u>Provided:</u>	None of the building design element options are being applied to the proposed building.
<u>Justification:</u>	The design standards are not intended to be for a safe and secure industrial facility. The building/site is not intended for public use, therefore no additional building designs or architectural elements are being installed.

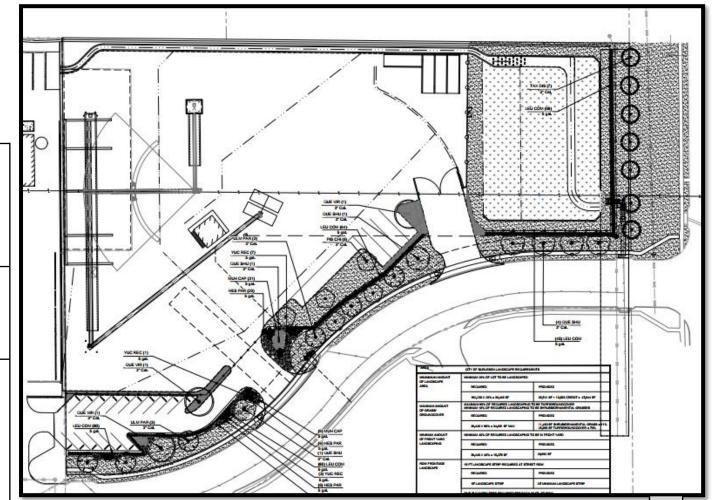


240 ROOF

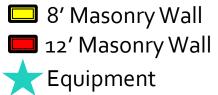
Waiver Request:

IH-35 Landscaping (h)

<u>Required:</u>	Developments shall provide at least 25 percent of the required landscaping area as natural open
<u>Provided:</u>	Proposing to provide 14.3% open space in lieu of the required 25%.
<u>Justification:</u>	Due to detention requirements, equipment circulation and safety, the public open space cannot be satisfied entirely.

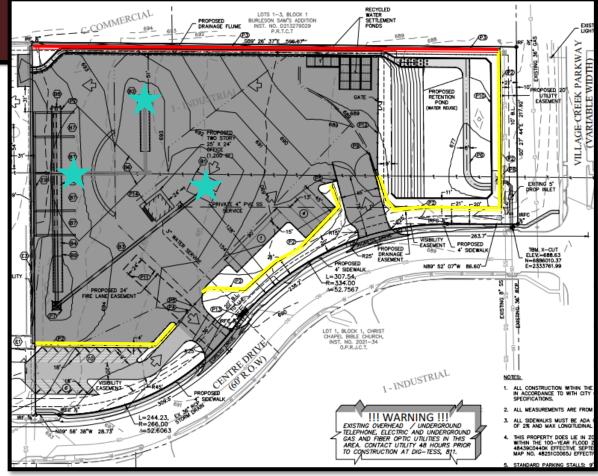


Waiver Request:



IH-35 Screening (a)

<u>Required:</u>	Mechanical equipment and other support elements for buildings shall be screened from view of any person standing on the property line.			
<u>Provided:</u>	 8' masonry wall along the south and east (principal) sides of the property 12' masonry wall along the north (rear) property boundary. 			
<u>Justification:</u>	Screening the equipment entirely cannot be achieved due to the height of batching equipment = 42 – 85 feet			



Per the Texas Commission on Environmental Quality (TCEQ):

- 12 foot screening wall; or
- 50 foot buffer from all equipment shall be provided.

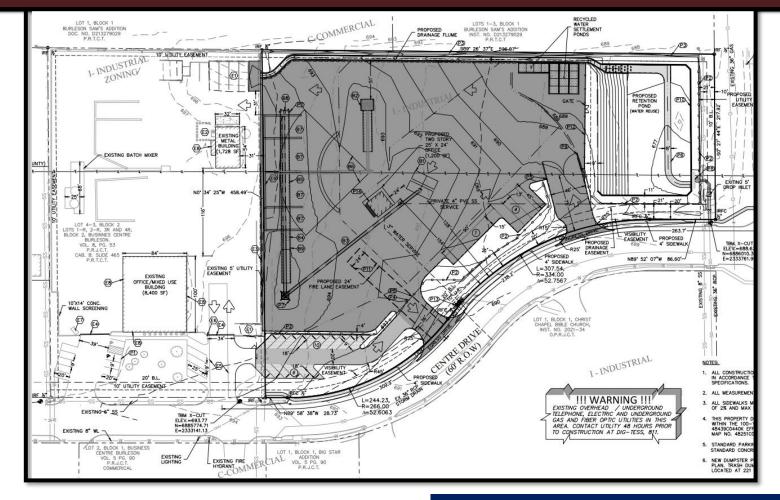
The northern property line is the only property line that does not meet th buffer requirement so a 12' masonry fence was proposed.

Site Conformance Table

Required	Staff's Findings				
Lot Size, Coverage and Setbacks	Complies. Site plan is in compliance with all				
Specific lot information as shown on site plan	 development regulations with the exception of: 4 - IH-35 Building Design standards 				
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Landscaping –	Complies with all General landscaping.				
20% of Total Site shall be landscaped: 38,446sf	Landscaping proposed: 47,644sf with credits as listed on landscaping plans.				
Parking Requirement –	Complies.				
1 space for each two employees: 6 spaces	Parking provided: 21 spaces				
1 ADA spaces	ADA spaces: 1 spaces				

Staff Recommendation

Recommends approval of a resolution for a commercial site plan (Case 22-165).



Questions/Discussic 55

RESOLUTION

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BURLESON, TEXAS, FOR APPROVAL OF A COMMERCIAL SITE PLAN FOR A ASPHALT/CONCRETE BATCHING PLANT (PERMANENT) LOCATED AT 255 CENTRE DR.

WHEREAS, the City of Burleson, Texas ("City"), is a home rule city acting under its charter adopted by the electorate pursuant to Article XI, Section 5 of the Texas Constitution and Chapter 9 of the Local Government Code; and

WHEREAS, on December 13, 2022, an application was submitted by Angel Sanchez (applicant) on behalf of Jason Burghart (owner), for a commercial site plan; and

WHEREAS, on October 2, 2023, the City Council made an inquiry into the matter and reviewed all the relevant information, and

WHEREAS, City Council has determined that commercial site plan meets the requirements of Section 131 of Article V of Appendix B, Site Plan Requirements.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BURLESON, TEXAS, THAT:

Section 1.

City Council hereby approves a commercial site plan (Case 22-165) for an asphalt/concrete batching plant (permanent) located at 255 Centre Dr.

Section 2.

This resolution shall take effect immediately from and after its passage.

PASSED, APPROVED, AND SO RESOLVED by the City Council of the City of Burleson, Texas, on the ______ day of _____, 20____.

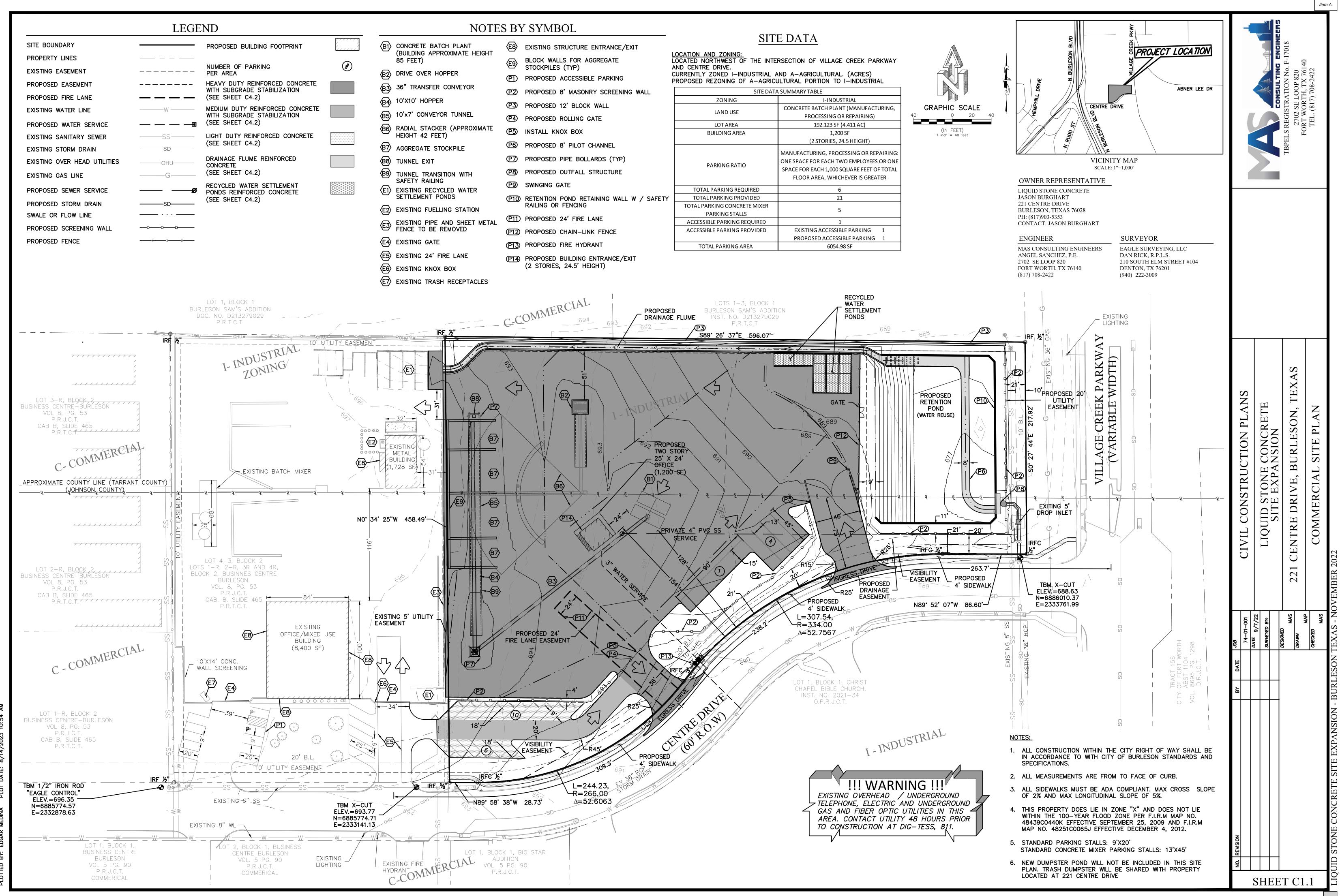
Chris Fletcher, Mayor City of Burleson, Texas

ATTEST:

APPROVED AS TO LEGAL FORM:

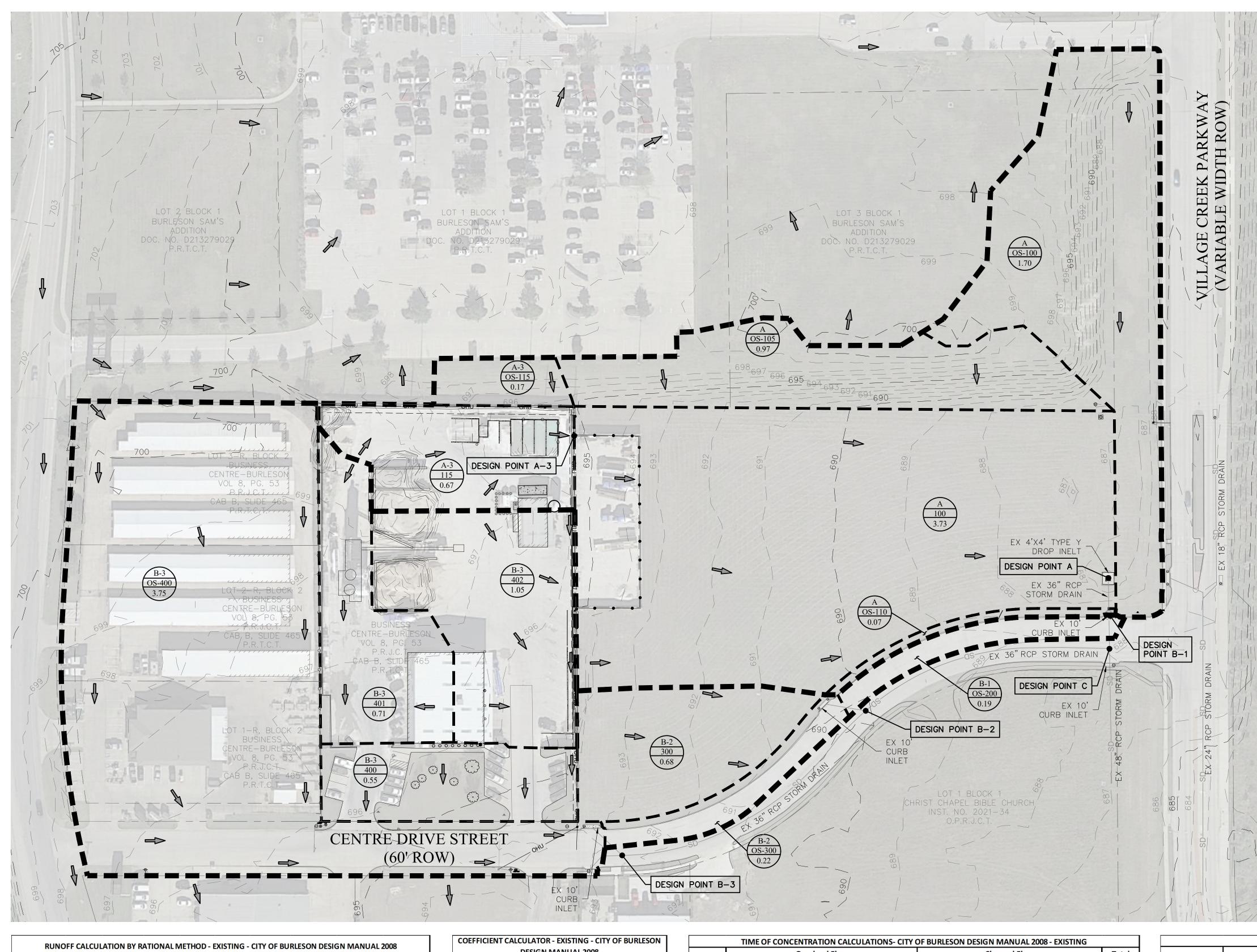
Amanda Campos, City Secretary

E. Allen Taylor, Jr., City Attorney



BATCH PLANT PPROXIMATE HEIGHT	(E8)	EXISTING STRUCTURE ENTRANCE/EXIT	LO
	(E9)	BLOCK WALLS FOR AGGREGATE STOCKPILES (TYP)	LO LO AN
HOPPER	P1	PROPOSED ACCESSIBLE PARKING	CU PR
ER CONVEYOR	P2	PROPOSED 8' MASONRY SCREENING WALL	
PER	PJ	PROPOSED 12' BLOCK WALL	
EYOR TUNNEL	P4	PROPOSED ROLLING GATE	
CKER (APPROXIMATE TEET)	P5	INSTALL KNOX BOX	
STOCKPILE	P6	PROPOSED 8' PILOT CHANNEL	
r	P7	PROPOSED PIPE BOLLARDS (TYP)	
NSITION WITH	P8	PROPOSED OUTFALL STRUCTURE	
.ING CYCLED WATER	P9	SWINGING GATE	
PONDS	<u>(P10</u>)	RETENTION POND RETAINING WALL W / SAFETY RAILING OR FENCING	,
ELLING STATION		RAILING OR FENCING	
PE AND SHEET METAL	(P11)	PROPOSED 24' FIRE LANE	
E REMOVED	(P12)	PROPOSED CHAIN-LINK FENCE	
TE	(P13)	PROPOSED FIRE HYDRANT	
' FIRE LANE	(P14)	PROPOSED BUILDING ENTRANCE/EXIT	L
OX BOX		(2 STORIES, 24.5' HEIGHT)	

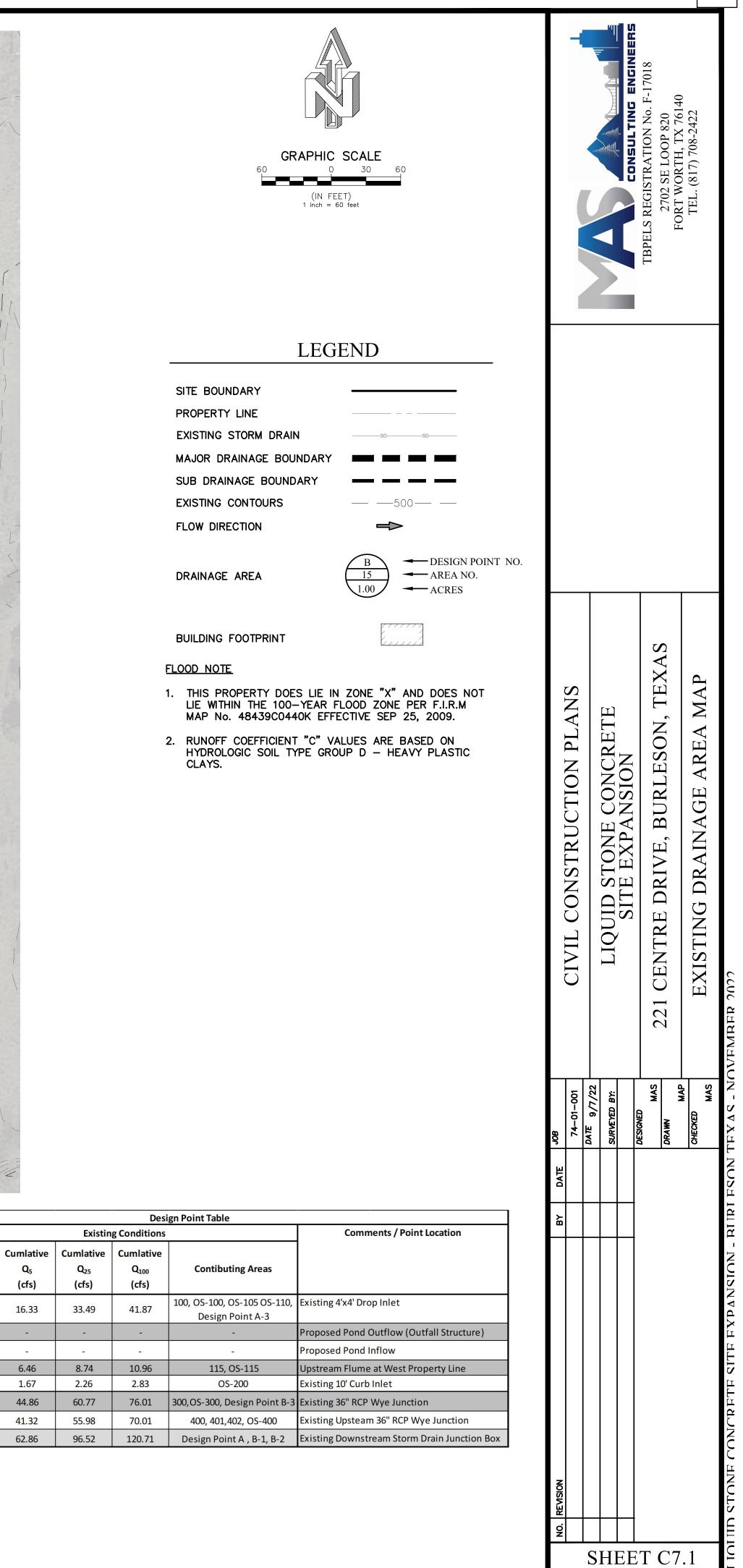
SITE DATA SUMMARY TABLE					
ZONING	I-INDUSTRIAL				
	CONCRETE BATCH PLANT (MANUFACTURING,				
LAND USE	PROCESSING OR REPAIRING)				
LOT AREA	192.123 SF (4.411 AC)				
BUILDING AREA	1,200 SF				
	(2 STORIES, 24.5 HEIGHT)				
	MANUFACTURING, PROCESSING OR REPAIRING:				
	ONE SPACE FOR EACH TWO EMPLOYEES OR ONE				
PARKING RATIO	SPACE FOR EACH 1,000 SQUARE FEET OF TOTAL				
	FLOOR AREA, WHICHEVER IS GREATER				
TOTAL PARKING REQUIRED	6				
TOTAL PARKING PROVIDED	21				
TOTAL PARKING CONCRETE MIXER	5				
PARKING STALLS	5				
ACCESSIBLE PARKING REQUIRED	1				
ACCESSIBLE PARKING PROVIDED	EXISTING ACCESSIBLE PARKING 1				
	PROPOSED ACCESSIBLE PARKING 1				
TOTAL PARKING AREA	6054.98 SF				

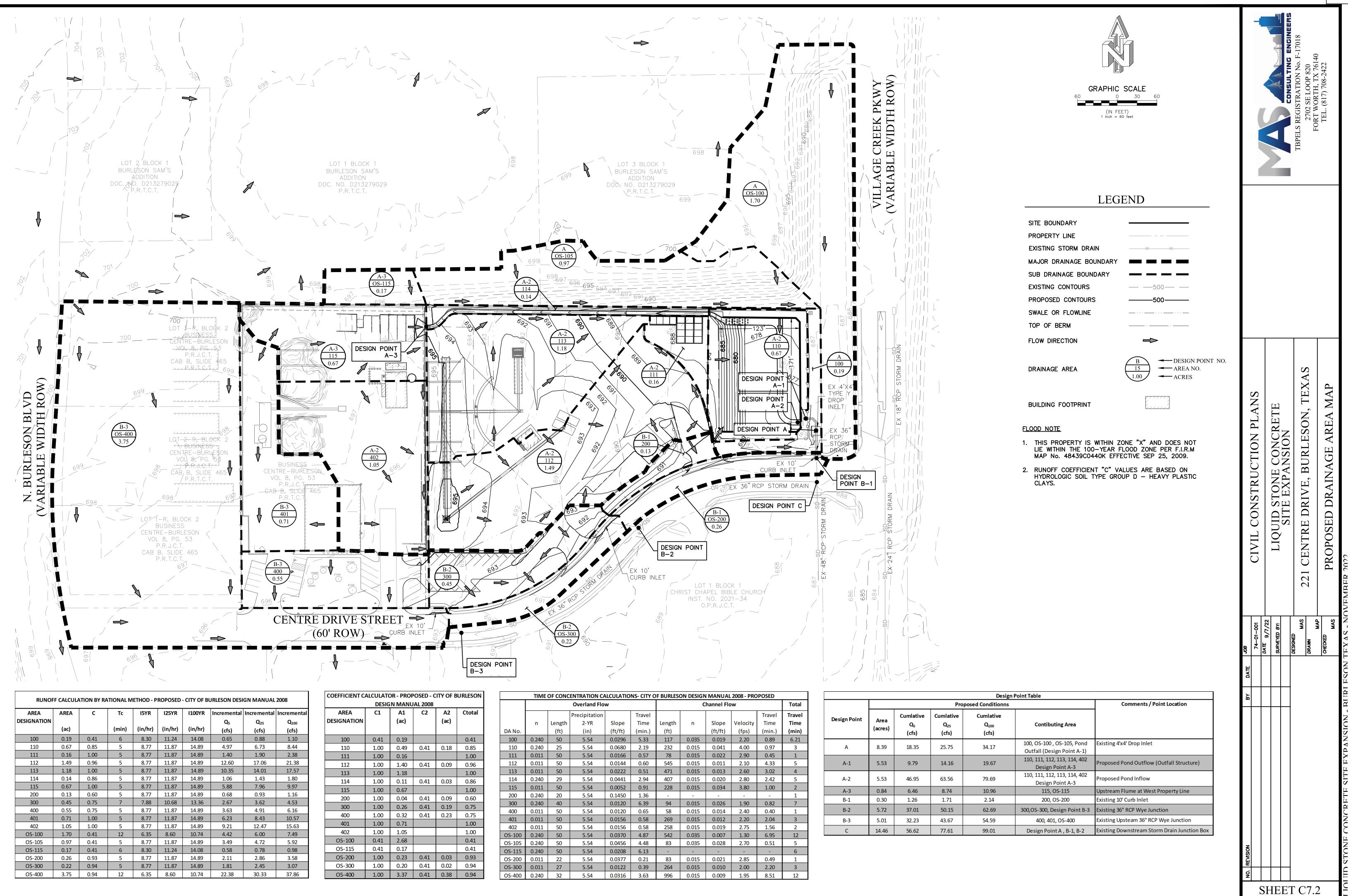


RUNO	RUNOFF CALCULATION BY RATIONAL METHOD - EXISTING - CITY OF BURLESON DESIGN MANUAL 2008								
AREA	AREA	С	Тс	I5YR	I25YR	1100YR	Incremental	Incremental	Incremental
DESIGNATION							Q₅	Q ₂₅	Q ₁₀₀
	(ac)		(min)	(in/hr)	(in/hr)	(in/hr)	(cfs)	(cfs)	(cfs)
100	3.73	0.46	14	5.91	8.01	9.99	1.71	13.69	17.08
115	0.67	1.00	5	8.77	11.87	14.89	5.88	7.96	<mark>9.97</mark>
300	0.68	0.41	10	6.87	9.31	11.63	1.92	2.60	3.24
400	0.55	0.73	5	8.77	11.87	14.89	3.51	4.75	5.95
401	0.71	1.00	5	8.77	11.87	14.89	6.23	8.43	10.57
402	1.05	1.00	5	8.77	11.87	14.89	9.21	12.47	15.63
OS-100	1.70	0.41	12	6.35	8.60	10.74	4.42	6.00	7.49
OS-105	0.97	0.41	5	8.77	11.87	14.89	3.49	4.72	5.92
OS-110	0.07	0.41	5	8.77	11.87	14.89	0.25	0.34	0.43
OS-115	0.17	0.41	6	8.30	11.24	14.08	0.58	0.78	0.98
OS-200	0.19	1.00	5	8.77	11.87	14.89	1.67	2.26	2.83
OS-300	0.22	0.84	5	8.77	11.87	14.89	1.63	2.20	2.76
OS-400	3.75	0.94	12	6.35	8.60	10.74	22.38	30.33	37.86

					DIFCON						/	<						ſ			
COEFFICIENT		N MANU			JRLESON		TIM	E OF CON	CENTRATION C		DNS- CITY	OF BURLES		N MANUA		STING	Total	-			
AREA DESIGNATION	C1	A1 (ac)	C2	A2 (ac)	Ctotal	DA No.	n	Length (ft)	Precipitation 2-YR (in)	Slope (ft/ft)	Travel Time (min.)	Length (ft)	n	Slope (ft/ft)	Velocity (fps)	Travel Time (min.)	Travel Time (min.)		Design Point	Area (acres)	C
100	1.00	0.31	0.41	3.42	0.46	100	0.240	50	5.54	0.0320	5.16	587	0.035	0.022	1.15	8.51	14	-		7.04	-
115	1.00	0.67	0.11	5.12	1.00	115	0.011	50	5.54	0.0052	0.91	228	0.015	0.034	3.80	1.00	2		A	7.31	
300	0.41	0.68			0.41	300	0.240	50	5.54	0.0206	6.16	182	0.035	0.013	0.80	3.79	10		A-1	-	
400	1.00	0.30	0.41	0.25	0.73	400	0.011	50	5.54	0.0120	0.65	58	0.015	0.014	2.30	0.42	1	Ē	A-2	-	
401	1.00	0.71			1.00	401	0.011	50	5.54	0.0156	0.58	269	0.015	0.012	2.20	2.04	3				
402	1.00	1.05			1.00	402	0.011	50	5.54	0.0156	0.58	258	0.015	0.019	2.70	1.59	2	-	A-3	0.84	-
OS-100	0.41	1.70			0.41	OS-100	0.240	50	5.54	0.0370	4.87	542	0.035	0.007	1.30	6.95	12		B-1	0.19	_
OS-105	0.41	0.97			0.41	OS-105	0.240	50	5.54	0.0456	4.48	83	0.035	0.028	2.70	0.51	5		B-2	6.96	
OS-110	0.41	0.07			0.41	OS-110	0.240	11	5.54	0.0509	1.28	-	-	-	-	-	1		B-3	6.06	
OS-115	0.41	0.17			0.41	OS-115	0.240	50	5.54	0.0208	6.13	-	-	-	-	-	6	F	С	14.46	
OS-200	1.00	0.19			1.00	OS-200	0.011	22	5.54	0.0377	0.21	83	0.015	0.021	2.85	0.49	1	L	C	14.40	
OS-300	1.00	0.16	0.41	0.06	0.84	OS-300	0.011	27	5.54	0.0122	0.39	264	0.015	0.010	2.00	2.20	3				
OS-400	1.00	3.37	0.41	0.38	0.94	OS-400	0.240	32	5.54	0.0316	3.63	996	0.015	0.009	1.95	8.51	12				

Item A.



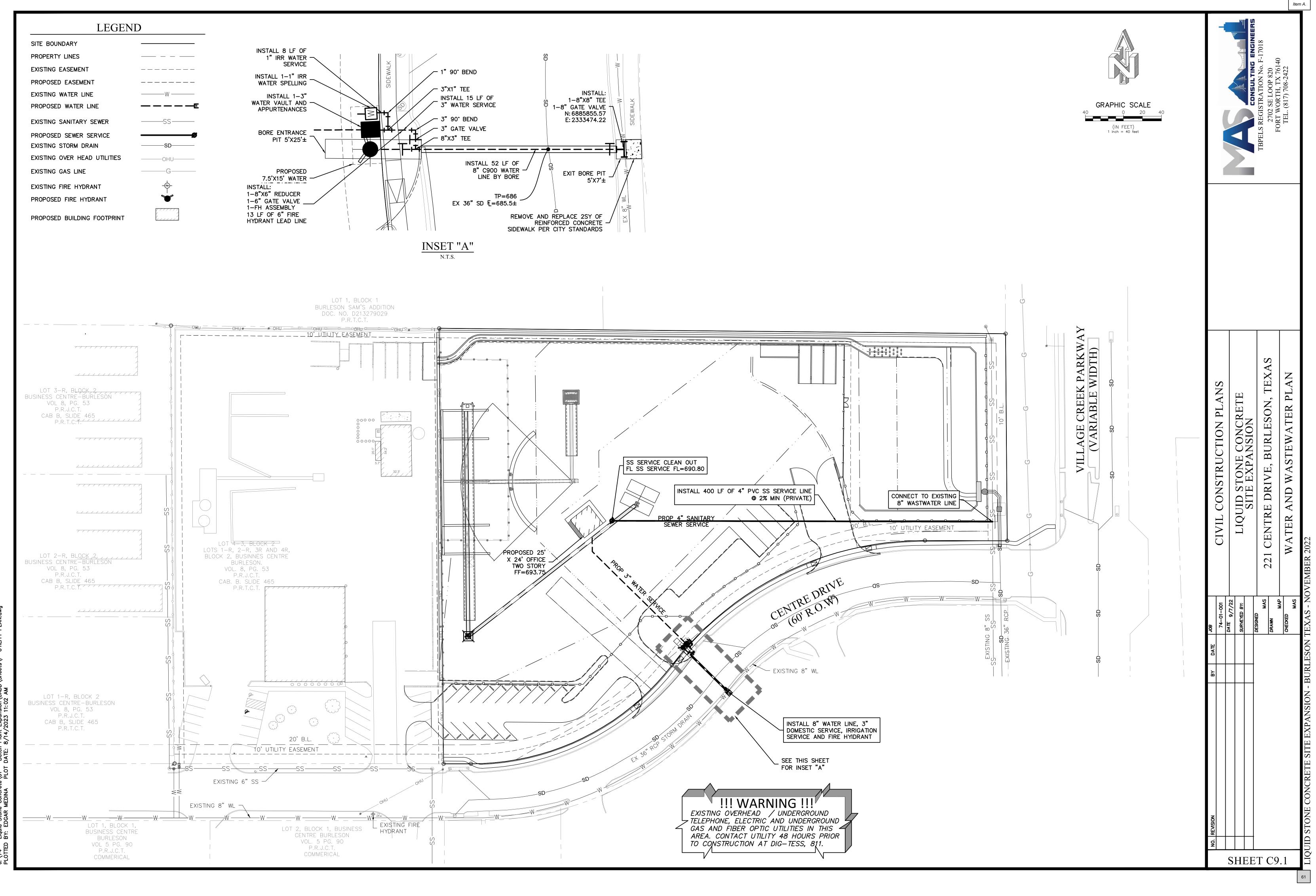


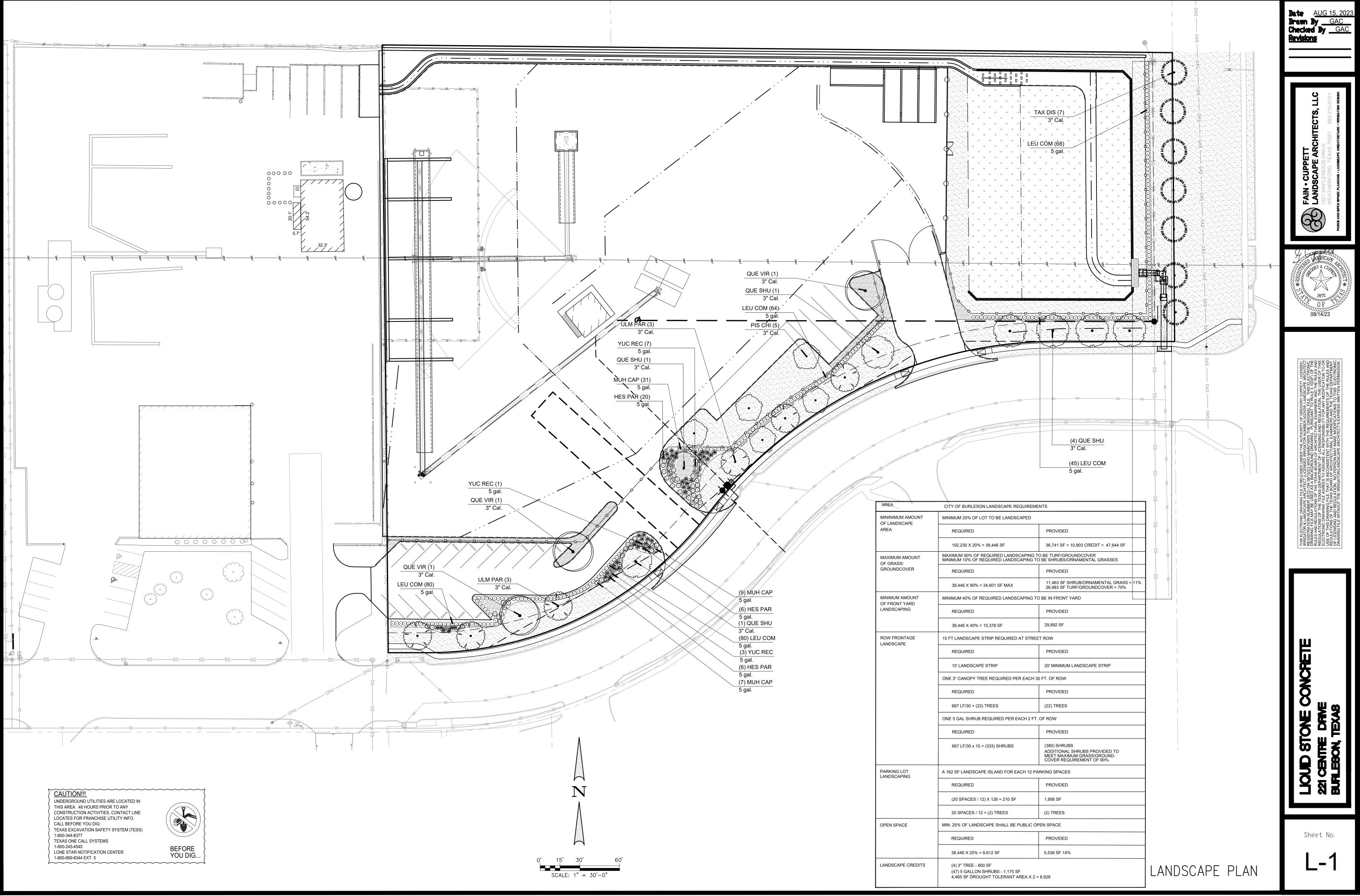
>₫

С	ITY OF B	URLESON			TIME	OF CONC	ENTRATION CA	LCULATIO	NS- CITY C	F BURLESC	ON DESIGN	MANUAL	2008 - PRO	POSED	
							Overland Flo	N		Channel Flow					Total
	A2	Ctotal					Precipitation		Travel					Travel	Travel
	(ac)				n	Length	2-YR	Slope	Time	Length	n	Slope	Velocity	Time	Time
			_	DA No.		(ft)	(in)	(ft/ft)	(min.)	(ft)		(ft/ft)	(fps)	(min.)	(min)
		0.41		100	0.240	50	5.54	0.0296	5.33	117	0.035	0.019	2.20	0.89	6.21
	0.18	0.85		110	0.240	25	5.54	0.0680	2.19	232	0.015	0.041	4.00	<mark>0.</mark> 97	3
		1.00		111	0.011	50	5.54	0.0166	0.57	78	0.015	0.022	2.90	0.45	1
	0.09	0.96	-	112	0.011	50	5.54	0.0144	0.60	545	0.015	0.011	2.10	4.33	5
		1.00		113	0.011	50	5.54	0.0222	0.51	471	0.015	0.013	2.60	3.02	4
	0.03	0.86		114	0.240	29	5.54	0.0441	2.94	407	0.015	0.020	2.80	2.42	5
		1.00		115	0.011	50	5.54	0.0052	0.91	228	0.015	0.034	3.80	1.00	2
	0.09	0.60		200	0.240	20	5.54	0.1450	1.36	-	-	-	-	-	1
	0.19	0.75	_	300	0.240	40	5.54	0.0120	6.39	94	0.015	0.026	1.90	0.82	7
	0.23	0.75		400	0.011	50	5.54	0.0120	0.65	58	0.015	0.014	2.40	0.40	1
		1.00	-	401	0.011	50	5.54	0.0156	0.58	269	0.015	0.012	2.20	2.04	3
		1.00		402	0.011	50	5.54	0.0156	0.58	258	0.015	0.019	2.75	1.56	2
		0.41	ŀ	OS-100	0.240	50 50	5.54	0.0370	4.87	542 83	0.035	0.007	1.30	6.95	12 5
		0.41		OS-105	0.240		5.54	0.0456	4.48		0.035	0.028	2.70	0.51	
	0.03	0.93	ŀ	OS-115 OS-200	0.240	50 22	5.54 5.54	0.0208	6.13 0.21	- 83	- 0.015	- 0.021	- 2.85	- 0.49	6 1
	0.02	0.94		OS-200	0.011	27	5.54	0.0377	0.21	264	0.015	0.021	2.85	2.20	3
-	0.38	0.94	ŀ	OS-300 OS-400	0.011	32	5.54	0.0122	3.63	996	0.015	0.010	1.95	8.51	3 12

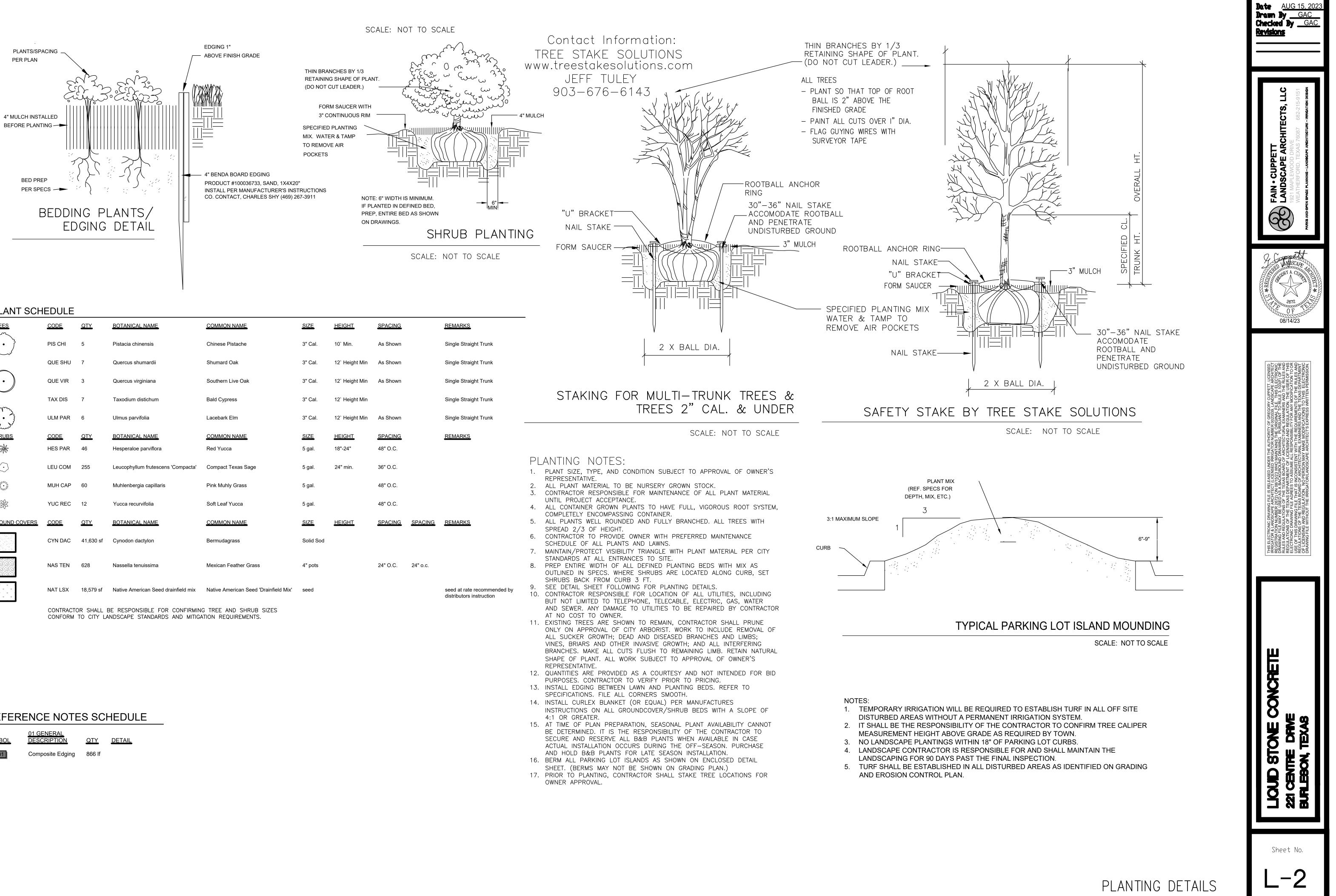
Design Point	Area (acres)	Cumlative Q₅ (cfs)
А	8.39	18.35
A-1	5.53	9.79
A-2	5.53	46.95
A-3	0.84	6.46
B-1	0.30	1.26
B-2	5.72	37.01
B-3	5.01	32.23
С	14.46	56.62

Item A.





Item A.



PLANT	SCHEDULE
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	TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING
	$\left\{\cdot\right\}$	PIS CHI	5	Pistacia chinensis	Chinese Pistache	3" Cal.	10` Min.	As Showr
~~~•	- Contraction of the contraction	QUE SHU	7	Quercus shumardii	Shumard Oak	3" Cal.	12` Height Min	As Showr
		QUE VIR	3	Quercus virginiana	Southern Live Oak	3" Cal.	12` Height Min	As Showr
		TAX DIS	7	Taxodium distichum	Bald Cypress	3" Cal.	12` Height Min	
***NY 1		ULM PAR	6	Ulmus parvifolia	Lacebark Elm	3" Cal.	12` Height Min	As Showr
	SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING
	×	HES PAR	46	Hesperaloe parviflora	Red Yucca	5 gal.	18"-24"	48" O.C.
	$\bigcirc$	LEU COM	255	Leucophyllum frutescens 'Compacta'	Compact Texas Sage	5 gal.	24" min.	36" O.C.
		MUH CAP	60	Muhlenbergia capillaris	Pink Muhly Grass	5 gal.		48" O.C.
	Ř	YUC REC	12	Yucca recurvifolia	Soft Leaf Yucca	5 gal.		48" O.C.
	GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING
		CYN DAC	41,630 sf	Cynodon dactylon	Bermudagrass	Solid Sod		
		NAS TEN	628	Nassella tenuissima	Mexican Feather Grass	4" pots		24" O.C.
	* * * * * * * * *	NAT LSX	18,579 sf	Native American Seed drainfield mix	Native American Seed 'Drainfield Mix'	seed		
		CONTRACT	OR SHALL I	BE RESPONSIBLE FOR CONFIRMIN	G TREE AND SHRUB SIZES			

### REFERENCE NOTES SCHEDULE

SYMBOL 01-01

#### TREES, SHRUBS, AND GROUNDCOVERS

#### PART I GENERAL

- 1.01 DESCRIPTION OF WORK
- _____
- A. Scope
  - Bed prep
     Metal edging
  - Topsoil
     Planting
  - Mulching
     Guarantee
- B. Related Work Specified Elsewhere
  - .
  - General Requirements All locations
     Section 02740 Irrigation Trenching
- 3. Section 02750 Irrigation
- 4. Section 02800 Lawns

### 1.02 QUALITY ASSURANCE

A. Contractor Qualifications

characteristics and size.

Minimum of three (3) years experience on projects of similar

- B. Reference Standards:
  - 1. American Joint Committee Of Horticultural Nomenclature:
  - Standardized Plant Names, Second Edition, 1942;American Association Of Nurserymen: American Standard For
  - Nursery Stock, 1973

#### C. Substitutions

- Substitutions accepted only upon written approval of Landscape Architect and Owner.
- 2. Submit substitutions possessing same characteristics as indicated on plans and specifications.

#### D. Inspection and Testing

- 1. The project Owner's representative reserves the right to inspect and tag plants at the place of growth with the Contractor.
- Inspection at place of growth does not preclude the right of rejection due to improper digging or handling.
   Owner's representative reserves the right to request soil samples
- and analysis of soil and plant mix. Remove or correct unacceptable soil. Cost of testing by Contractor.

### 1.03 SUBMITTALS

#### A. Certificates

- Submit State and Federal certificates of inspection with invoice.
- (Only if required by Landscape Architect.)2. File certificates with Owner's representative prior to material acceptance.

#### 1.04 PRODUCT DELIVERY, STORAGE, & HANDLING

#### A. Preparation of Delivery

- 1. Balled & Burlaped (B&B) Plants
- a. Dig and prepare for shipment in manner that will not damage roots, branches, shape, and future development after
- replanting. b. Ball with firm, natural ball of soil, wrapped tightly with burlap
- covering entire ball.c. Ball size and ratios: conform to American Association of
- Nurserymen standards unless otherwise shown on plant list.
- 2. Pack plant material to protect against climatic & seasonal damage, as well as breakage injuries during transit.
- . Securely cover plant tops with ventilated tarpaulin or canvas to
- minimize wind-whipping and drying in transit.
   Pack and ventilate to prevent sweating of plants during transit. Give special attention to insure prompt delivery and careful handling to point of delivery at job site.

#### B. Delivery

- Deliver fertilizer, fertilizer tablets, peat, mulch, soil additives, and amendment materials to site in original, unopened containers, bearing manufacturer's guaranteed chemical analysis, name, trade name, trademark, and conformance to State law.
- Deliver plants with legible identification and size labels on example plants.
   Protect during delivery to prevent damage to root ball or desiccation
- of leaves.4. Notify Owner's representative of delivery schedule in advance so
- plant material may be inspected upon arrival at job site. Deliver plants to job site only when areas are prepared.

#### C. Storage

- Protect roots of plant material from drying or other possible injury with wetted mulch or other acceptable material.
- Protect from weather.
   Maintain and protect plant material not to be planted immediately upon delivery.

#### D. Handling

- 1. Do not drop plants.
- Do not damage ball, trunk, or crown.
   Lift and handle plants from bottom of container or ball.

#### 1.05 JOB CONDITIONS

- A. Planting Season Perform actual planting only when weather and soil
- conditions are suitable in accordance with locally acceptable practices. B. Protection Before excavations are made, take precautionary measures to
- protect areas trucked over and where soil is temporarily stacked.

#### 1.06 GUARANTEE

- A. Guarantee new plant material for one year after acceptance of final
- installation (ie. Final Acceptance of project).B. Make replacement (one per plant) during one year guarantee period at
- appropriate season with original plant type, size and planting mixture.C. Repair damage to other plants, lawns, & irrigation caused during plant
- replacement at no cost to Owner.D. Use only plant replacements of indicated size and species.

#### PART II PRODUCTS

2.01 MATERIALS

#### A. Plant Materials

- 1. Hardy under climatic conditions similar to locality of project.
- True to botanical and common name variety.
   Sound, healthy, vigorous, well branched, and densely foliated when
- in leaf; with healthy well-developed root system.
- 4. Free from disease, insects, and defects such as knots, sun-scald, windburn, injuries, disfigurement, or abrasions.
- 5. Conform to measurements after pruning with branches in normal
- positions.6. Conform to American Association of Nurserymen standards unless shown differently on plant list.

#### 7. Trees:

- a. Single, straight trunks, unless indicated otherwiseb. Trees with weak, thin trunks not capable of support will not be
- accepated.c. All multi-stem trees are to have a minimum of three stems,
- similar in size and shape, with a spread of approximately 2/3 of the height. All yaupons to be female. Crape myrtle color selection by Landscape Architect.
- Nursery grown stock only.
   Subject to approval of Landscape Architect.
- 10. Seasonal color:
- a. Annuals in 4" pots or as specified
- b. Perennials in 4" pots, clumps, bulbs as specified

#### B. Topsoil

- Natural, fertile, friable soils having a textural classification of loam or sandy loam possessing characteristics of soils in vicinity which produce heavy growth of crops, grass, or other vegetation.
   Free of subsoil, brush, organic litter, objectionable weeds, clods,
- shale, stones ¾" diameter or larger, stumps, roots or other material harmful to grading, planting, plant growth, or maintenance operations.
- Presence of vegetative parts of Bermuda grass (Cynodon dactylon), Johnson grass, nut grass (Cyperus rotundus), and other hard to eradicate weeds or grass will be cause for rejection of topsoil.

#### 4. Test topsoil (cost by Contractor):

- a. Available nitrogen
- b. Available phosphorusc. Available potash
- d. Iron
- e. Ph: 5.5 to 7.0f. Decomposed organic matter: 6-10%

#### C. Mulch

- 1. Top Dressing Mulch Shredded cypress or hard wood only
- 2. 12" of amended soil for all planting beds.
- Soil prep 3 Parts native soil to 1 Part composted landscape mix.
   In pre-packaged bags only; bulk shredded material is unacceptable

### D. Peat Moss Commercially available baled peat moss or approved equivalent.

E. Staking Material

#### 1. Stakes for tree support:

- a. Metal, below grade
- b. Size as appropriate for specified plant

#### 2. Stake removal

a. Stakes removed after 1 year in ground

F. Water

- 1. Free of oils, acids, alkali, salt, and other substances harmful to plant
- 2. Location: Furnish temporary hoses and connections on site.
- G. Sand Washed builders sand
- . . . . .
- H. Antidesicant "Wilt-proof" or equal.
- I. Edging 3/16" X 4" green, new and unused; with stakes.

#### 2.02 MIXES

- A. Planting Mixture
- 1. Existing topsoil 50%
- Shredded pine bark 50%
   Fertilizer 10:20:10 at 30 lb./1000 SF
- B. Planting Mix for Annuals/Perennials
- 1. Prepare above mix
- 2. Add 2" of sand
- C. Azalea mix: solid peat moss in hole 9" wider than root ball each direction. Plant in solid peat moss and provide mound at base of plant to allow for
- drainage.D. Japanese maple, dogwood, camellias: Provide 50/50 peat moss to topsoil mix, raise for drainage.

#### PART III - EXECUTION

- **3.01 UTILITIES** verify location of all utilities prior to initiating construction; repair any damage caused by construction at no cost to owner.
- 3.02 INSPECTION
- A. Inspect plants for injury and insect infestation; prune prior to installation.B. Inspect site to verify suitable job conditions.

#### 3.03 FIELD MEASUREMENTS

- A. Location of all trees and shrubs to staked in the field and approved by
- Owner's representative prior to installation.B. Location of all groundcover and seeding limits as shown on plans.

3.04 EXCAVATION FOR PLANTING

#### A. Pits

- Shape Vertical hand scarified sides and flat bottom.
   Size for trees 2 feet wider or twice the root ball, whichever is
- greater. Size for shrubs – Size of planting bed as shown on drawings.
- Rototill soil mix thoroughly, full depth.
   NOTE: If beds are proposed beneath drip line of existing tree canopy, pocket prep plants. Do not roto-till beneath existing trees.

#### B. Obstructions Below Ground

- 1. Remove rock or underground obstructions to depth necessary to
- permit planting.If underground obstructions cannot be removed, notify Owner's representative for instruction.
- C. Excess Soil Dispense of unacceptable or excess soil away from the project site at Contractor's expense.

#### 3.05 PLANTING

- A. General
  - Set plants 2" above existing grade to allow for settling.
     Set plants plumb and rigidly braced in position until planting mixture
  - has been tamped solidly around ball.3. Apply soil in accordance with standard industry practice for the
  - region. 4. Thoroughly settle by water jetting and tamping soil in 6" lifts.
  - Prepare 3" dish outside root ball after planting.
  - 6. Thoroughly water all beds and plants.
  - Stake trees and large shrubs as indicated on plans.
     Apply anti-desicant according to manufacturer's instructions.
  - Apply anitodesicant according to manufactures instructions.
     Apply commercially manufactured root stimulator as directed by printed instruction.
  - 10. Plant and fertilize bedding plants per trade standards.
- 11. Apply 4" mulch top dressing.

#### B. Balled Plants

- 1. Place in pit of planting mixture that has been hand tamped prior to placing plant.
- 2. Place with burlap intact to ground line. Top of ball to be 2" above
- surrounding soil to allow for settling.
- Remove binding at top of ball and lay top of burlap back 6".
   Do not pull wrapping from under ball, but cut all binding cord.
- 5. Do not plant if ball is cracked or broken before or during planting
- process or if stem or trunk is loose.

root ball from can. Do not injure root ball.

Cover planting bed evenly with 4" of mulch.

Backfill with planting mixture in 6" lifts.

Water immediately after mulching.

Make cuts flush, leaving no stubs.

4" thickness.

6. Backfill with planting mixture in 6" lifts.

#### C. Container Grown Plants

D. Mulching

1.

D. Pruning

1. Place in pit on planting mixture that has been hand tamped prior to placing plant.

Cut cans on two sides with an acceptable can cutter, and remove

Carefully remove plants without injury or damage to root balls.

Where mulch has settled, add additional mulch to regain

4. Hose down planting area with fine spray to wash leaves of plants.

1. Prune minimum necessary to remove injured twigs and branches,

Paint cuts over 1" diameter with approved tree wound paint.

4. Do not prune evergreens except to remove injured branches.

dead wood, and succors; remove approximately 1/3 of twig growth as directed by landscape architect; do not cut leaders or other

major branches of plant unless directed by landscape architect.

#### 3.06 EDGING

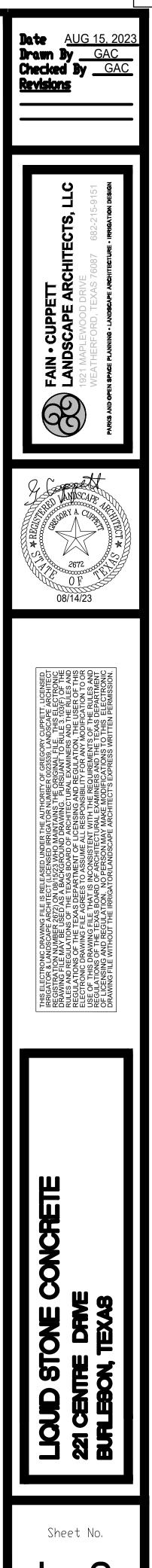
- A. Stake edging alignment with string line prior to installation. Use framing
- square to insure right angles are true.B. Install all edging straight and true as indicated on drawings. Where edging
- layout is circular in design, maintain true and constant radii as shown.
- C. When required on slopes, make vertical cuts (approximately 6" on center) on bottom of edging to allow bending without crimping edging.
- D. Install edging so that approximately 1" is exposed on lawn side. Edging
- should not be visible from bed side after application of mulch.E. Align edging with architectural features (ie pavement joints, windows,
- columns, wall, etc.) when drawings indicate. F. Bend all corners, do not cut corners.
- G. Interlock all pieces with pre-fabricated connectors.
- H. Install with all stakes on inside of planting bed.I. Remove, file off all sharp corners and burrs.
- 3.07 CLEAN-UP
- A. Sweep and wash all paved surfaces.

Remove all planting and construction debris from site, including rocks, trash and all other miscellaneous materials.

#### 3.08 MAINTENANCE

- A. Contractor responsible for routine, and regular maintenance of site until Final Acceptance is awarded by Owner. Work includes:
- 1. Weeding (weekly)
- Watering (as required)
   Pruning
- 4. Spraying
- Fertilizing
   Mulching
- 7. Mowing (weekly)
- B. Provide Owner and Landscape Architect with preferred maintenance schedule in writing. Schedule shall include the above-listed tasks and shall address all frequencies, rates, times, levels, etc.

END OF SECTION



## PLANTING SPECIFICATIONS

____

#### SECTION 02800

#### FINISH GRADING, LAWN WORK, WILD FLOWERS

#### PART I - GENERAL

#### 1.01 DESCRIPTION

- A. Work includes turf establishment (sod, hydromulch, etc.) as described on drawings.
- B. Make required analysis and material tests for topsoil, fertilizers, and other materials of similar character per current methods of the Association of Official Agricultural Chemists, when required.
- C. Grass seed shall conform to tolerances for germination and purity per applicable standards of U.S. Department of Agriculture.
- D. The turf contractor shall have a stand of grass established prior to substantial completion of the project. If this is not possible due to time of year or schedule, he shall maintain and protect the seeded areas until the grass is established.

#### **PART II - PRODUCTS**

2.01 TOPSOIL MATERIAL

- A. Topsoil material (stockpiled, as specified in Specifications) has been saved for use in finish grading. After sifting out all plant growth, rubbish, and stones, use for areas designated to receive grass. If stockpiled topsoil is not sufficient quantity to complete work, furnish acceptable topsoil from another approved source to provide four inches (4") of topsoil for grass areas unless otherwise noted on drawings. Grass areas shall be defined as the graded areas disturbed during construction not to be paved or built upon.
- B. Acceptable topsoil material shall be defined as natural, fertile, agricultural soil, capable of sustaining vigorous plant growth, uniform composition throughout admixture of subsoil, free of stones, lumps, plants, and their roots, sticks, or other extraneous matter; do not deliver while in a frozen or muddy condition.

#### 2.02 FERTILIZER

- A. Provide a commercial balanced fertilizer delivered to the job in bags labeled with manufacturer's guaranteed analysis. Store in weatherproof storage, place in such a manner that its effectiveness will not be impaired.
- B. Fertilizer shall be a grade containing the percentages of plant food elements by weight as specified elsewhere in these specifications.
- C. Availability of various elements shall be per Standards of the Association of Official Agricultural Chemists.

#### 2.03 GRASS SEED

- A. Grass seed shall be of the previous season's crop and the date of analysis shown on each bag shall be within nine (9) months of the time of delivery to the project. When requested by the Owner or Representative, the seeding contractor shall furnish a sample of seed from each bag for testing.
- . The seed shall comply with all provisions of the U.S. Department of Agriculture as to labeling, purity, and germination.

#### 2.04 MULCHING

- A. Dry straw or hay of good quality, free of seeds of competing plants and at such rate of 1 1/2 2 tons per acre; or,
- B. Wood cellulose or cane fiber mulch at a rate of 1,000 pounds per acre when the slope is 3/4:1 and steeper; or,
- C. A combination of good quality dry straw or hay free of seeds of competing plants at a rate of 2 1/2 tons per acre and wood cellulose or cane fiber mulch at a rate of 500 pounds per acre. This combination shall be used when the slope is flatter than 3/4:1; or,
- D. Sericea lespedza seed bearing hay at a rate of 3 tons per acre. This mulch may be applied green or air dried, but must contain mature seed.
- E. Manufactured mulch materials, such as soil retention blankets, erosion control netting, or others that may be required on special areas of high water concentration or unstable soils. When these materials are used, follow the manufacturer's recommendations for installation.

#### 2.05 HYDRO-MULCHING

Wood cellulose fiber or cane fiber mulch will be applied with hydraulic seeding and fertilizing equipment. All slurry ingredients shall be mixed to form a homogeneous slurry and spray applied within one hour after the mixture is made.

When wood cellulose or cane fiber mulch is used at the 500 pound per acre rate, straw or hay mulch with asphalt emulsion is applied over this to complete the mulch.

Wood cellulose or cane fiber mulch at the 1,000 pound per acre rate is used alone where other mulch material will not stick.

Wood cellulose or cane fiber mulch is self anchoring.

#### PART III - EXECUTION

#### 3.01 RESPONSIBILITY

The site grading contractor will be responsible to stockpile acceptable topsoil in a sufficient quantity to provide four inches (4") minimum cover for all grass areas, including but not limited to all curbed islands, and topsoil planting mounds/berms at the appropriate height and width as defined and shown on the landscaping and/or planting drawings. The topsoil and grass areas shall be further defined as any area disturbed during the grading and construction process.

The site grading contractor, shall be responsible to spread the topsoil within all perimeter graded areas and future building areas only.

The site grading contractor shall be responsible for backfilling of all curbed islands and planting mounds/berms. They shall also be responsible for removal of all stones, roots, and raking of all topsoil areas hat are to be seeded and/or planted. It will also be the site grading contractor's responsibility to provide fertilizer, grass seed, and any additional topsoil required and mulching.

#### 3.02 GRASS SEEDING

A. Remove stones, roots, rubbish and other deleterious materials from topsoiled areas that are to be seeded.

- B. Immediately prior to sowing seed, scarify ground as necessary; rake until surface is smooth and friable. Sow seed evenly, lightly wood rake into ground, then roll ground with suitable roller; water thoroughly with fine spray. During any weather, keep lawn watered with sprinklers or other approved methods. Re-seed any areas not doing well or damaged. At intervals as may be required according to seasonal conditions, mow and water grass and execute necessary weeding until acceptable and full stand of grass has been obtained.
- C. Provide permanent grass seeding for lawn areas so indicated. Seed in accordance with the following schedule (unless otherwise directed by Owner or Owner's Representative::
  - 1. Sow areas ready for seeding between March 1 and October 1 with Hulled Common Bermuda at a rate of 85 pounds per acre.
  - Sow areas ready for seeding between October 1 and March 1 with Unhulled Common Bermuda at a rate of 90 pounds per acre, and Annual Rye Grass at the rate of 50 pounds per acre.
- 3. Apply fertilizer at a rate of 20/25 pounds per 1,000 square feet.

#### 3.03 WILD FLOWERS

A. Areas indicated on plans to receive wild flower coverage shall br fine graded, fertilized, and prepared in a manner similar to traditional turf establishment.

В.	Area to be hydromulche	ed with seed mix as follows:
	Tickseed	10 pounds/acre
	Cosmos	15 pounds/acre
	Ox-Eyed Daisy	5 pounds/acre
	Side Oats Grama	4 pounds/acre
	Showy Primrose	0.5 pounds/acre
	Plains Coreopsis	2 pounds/acre
	Black Eyed Susan	2 pounds/acre
	Indian Blanket	10 pounds/acre
	Texas Bluebonnet	4 pounds/acre
	Little Bluestem	4 pounds/acre

#### 3.04 MULCH

- A. All areas to be seeded shall be mulched.
- B. Mulch materials shall be applied uniformly over the seeded area. Mulch shall be straw and shall be at the rate of 1 1/2 2 tons per acre

C. Mulch shall be anchored with an emulsified asphalt binder at the rate of 10 gallons per 1,000 square feet.

3.05 PROTECTION

Provide, at no additional cost to Owner, fencing, railing, wire or other types of protection for topsoiled and seeded areas against trespassing and damage. If lawns are damaged prior to Final Acceptance, treat or replace them as directed. Remove protection when so directed.

#### 3.06 MAINTENANCE

Provide maintenance from start of work until Final Acceptance. Maintenance includes watering of lawns, weeding, mowing, edging, repairs of wash-outs and gullies, repairs to protection, and other necessary work of maintenance. Maintain slopes against erosion.

#### 3.07 REHYDROMULCHING

The Owner's representative will designate areas to be replanted. Areas on which a stand of growing grass is not present in a reasonable length of time, (Bermuda grass seed should be germinating in 6-8 days) shall be prepared, reseeded and remulched, as specified for original planting at no additional cost to Owner. A stand shall be defined as live plants from seed occurring at a rate of not less than 1,000 growing plants per square foot. Replanting required because of faulty operations or negligence on the part of the Contractor shall be performed without cost to Owner.

#### 3.08 FINAL CLEAN-UP

- A. At time of final inspection of work, and before final acceptance, clean paved areas that are soiled or stained by operations of work of this section. Clean by sweeping or washing, and remove all defacements or stains.
- B. Remove construction equipment, excess material and tools. Cart away from site any debris resulting from work of this section and dispose of as directed.

#### END OF SECTION

#### SECTION 02922 SODDING

#### PART I - GENERAL

- 1.01 DESCRIPTION
- A. Work Included
- 1. Sod bed preparation
- Fertilizing
   Sodding
- 4. Miscellaneous management practices
- B. Related Work Specified Elsewhere

### Finish Grading, Section 02800 Lawns and Grasses, Section 02930

- 1.02 REFERENCE STANDARDS
- A. Standardized Plant Names

American Joint Committee of Horticultural Nomenclature, Second Edition, 1942.

B. Texas Highway Department - Standard Specifications for Construction, Item 164, Seeding for Erosion Control.

#### 1.03 SUBMITTALS

- A. Vendors Certification That Sod Meets Texas State Sod Law
  - 1. Include labeling requirements.
  - 2. Include purity and type.

#### 1.04 PRODUCT DELIVERY, STORAGE AND HANDLING

#### A Sod:

- Previous season's crop with date of analysis on each bag.
   Furnish and deliver each variety in separate bags or containers.
- 3. Sod to be cut no more than three days before delivery.
- B. Fertilizer:
- 1. Unopened bags labeled with the analysis.
- 2. Conform to Texas Fertilizer Law.

### 1.05 JOB CONDITIONS

- A. Planting Season:
  - Only during suitable weather and soil conditions.
     As specifically authorized by the Owner's Representative.
- B. Schedule Only after all other construction is complete
- C. Protect and Maintain Sodded Areas
  - From traffic and all other use.
     Until sodding is complete and accepted.

#### PART II - PRODUCTS

#### 2.01 MATERIALS

A. Sod:

- 1. Sod: As specified on drawings, weed, insect, and disease free having a minimum of 1 inch of topsoil attached to the roots and cut
- no more than three days prior to installation.
  2. The sod shall be cut in strips of at least 1/2 sq. yd. and not more than 1 sq. yd. Sod shall be cut into strips not less than 12" in width or more than 9' in length. At the time of harvest, the top growth shall
- not exceed 3" in length.
  3. All sod shall conform to the laws of the State and shall be obtained from sources meeting the approval of the Department of Agriculture, Division of Entomology.
- B. Fertilizer:
- 1. Uniform in composition, free flowing.
- Suitable for application in approved equipment.
   Analysis of 16-20-0, 16-8-8 or as directed.
- -----
- C. Water:
  - 1. Free of oil, acid, alkali, salts or other substances harmful to growth of grasses.

Item A.

Date <u>AUG 15, 202</u> Drawn By <u>GAC</u>

#### PART III - EXECUTION

#### 3.01 SOD BED PREPARATION

- A. Cultivate to a depth of four (4") inches by disking and tilling with a power tiller.
- B. Clear surfaces of all materials:
- 1. Stumps, stones, and other objects larger than one inch (1").
- Roots, brush, wire, stakes, etc.
   Any objects that may interfere with sodding or maintenance.
- C. Prepare sod bed:
  - 1. Remove soil clods larger than one inch (1").
  - 2. Grade areas to smooth, even surface, removing ridges and filling depressions. Final grade to be below finish grade of curbing and edging as shown on details. All grades shall meet approval of Owner's Representative before sodding.

#### 3.02 SODDING

#### A. Sodding:

- 1. Lightly water prepared grade, lay sod with staggered joints and with edges touching. Topdress with topsoil at edges if necessary to provide smooth surface. On slopes of 2 to 1 and greater, fasten sod in place with wood pegs (two each piece) or other approved method. Sod damaged by storage or during installation shall be rejected. Following settling, topdress with screened, approved topsoil.
- 2. Water and fertilize at 5 lbs. per 1,000 sq. ft.
- Sod shall not be placed during a drought, nor during periods when sod is not normally placed in the area, and shall not be placed on frozen ground. No dry or frozen sod is acceptable.
- 4. The contractor shall keep all keep all sodded areas moist and growing until Final Acceptance. All areas shall be maintained in an acceptable condition until acceptance by Owner.

#### B. Rolling:

- 1. After placing sod, roll with a hand roller, weighing not more than 100
- Ibs. per foot of width, in two directions.Eliminate all air pockets; finished surface should be free of
- excessive undulations.

#### 3.05 MAINTENANCE AND MANAGEMENT

A. Includes protection, replanting, maintaining grades, repair of erosion damage. Also includes weekly mowing at 1 1/2" height until final acceptance.

#### B. Resodding:

- 1. Resod damaged or unacceptable areas.
- 2. Ruts, ridges, and other surface irregularities shall be corrected.

END OF SECTION





## TURF SPECIFICATIONS

SECTION 32 15 40 DECOMPOSED GRANITE SURFACING	1.03 DELIVERY,	STORAGE, AND HANDLING	
NOTE: These specifications were current at the time of publication but are subject to	A. Comply with S	Section 01 60 00.	
change at any time without notice. Please confirm the accuracy of these specifications with the manufacturer and/or distributor prior to installation.		ials: Accept delivery of materia brand name and manufacture	als only in unopened and undamage 's identification.
PART 1 - GENERAL			anite surfacing material arriving at th cket containing the following minimu
A.SUMMARY	4. Quarry	of origin.	
B. Section Includes:	5. Amoun	, weight and type of material.	
<ol> <li>Naturally occurring decomposed granite and crushed stone surfacing as shown on Drawings and specified herein. Include sub-grade, edging and related accessories.</li> </ol>		ame and manufacturer's ident	ification.
C.Related Sections:		nposed granite surface surfaci ore under cover.	ng materials from contamination unti
1. Section 31 22 00 "Grading".	Installation. St	ore under cover.	
	1.04 PROJECT C	ONDITIONS	
1.02 REFERENCES			facing shall be frost free and free of
A.ASTM C136 - Standard Test Method for Sieve Analysis of Fine and Coarse Aggregates.	B. Do not install o	decomposed granite surfacing	roper installation of the surfacing sys when subbase course is muddy or s
B. ASTM D448 - Standard Classification for Sizes of Aggregate for Road and Bridge Construction.	standing wate C. Perform work		is sufficiently stable to be properly o
1.03 ACTION SUBMITTALS	PART 2 - PRODI	UCTS	
A.Comply with Section 01 33 00.		LE MANUFACTURER	
B. Shop Drawings: Submit plan layout of all decomposed granite surfacing areas and detail			
drawings showing the various components of the surfacing system, including subbase and edging.	<ul><li>A. As specified o</li><li>B. Requests for s</li></ul>		l in accordance with provisions of Se
C.Product Data: Manufacturer's literature completely describing all components of the decomposed granite surfacing system, including:		SED GRANITE SURFACING N	
1. Preparation instructions and recommendations.			
2. Installation methods and application procedures.	A. Recycled Con [ <b>50%][75%][1</b> 0		r Crushed Stone Surfacing Materials
D.Samples for Verification:			ggregate: Provide high quality mater
1. Submit samples of each of the following:		utar, durable stone particles, in ther deleterious substances.	ee from clay lumps, organic materia
<ul> <li>Three pound sample of each type and color of decomposed granite surfacing material.</li> </ul>		nufacturer's standard mix of w of coarse sand and rock dust	rell-graded materials in accordance v are not acceptable.
b. Edging material, each type not less than 12 inches long.	Standard	Pathway Optimal Gradat	ion
	Sieve	Sieve Size (mm	
E. Certification:	3/8"	9.51	100%
1. Manufacturer and Installer Qualifications.	#4 #8	4.76 2.36	80-100% 65-90%
	#8	1.18	40-60%
	#10	0.6	25-55%
1.04 LEED REQUIREMENTS			
A.LEED Submittals: In accordance with [LEED] [and] [Section 01 35 21 LEED Requirements]	#50	0.3	15-35%
	#100 #200	0.149 0.074	10-20% 7-15%
1. Submit required letters, calculations, spreadsheets and templates prepared by			7-13/0
[Engineer] [Consultant] [Architect] [] for submitting to USGBC for Credit Interpretation Requests.			
<ol> <li>Submit Project Materials and Cost Data: Provide statement for total cost for building materials used for Project.</li> </ol>		de Material" specification for C	pecification for Aggregates - Granula Granular A material.
1. Materials and Resources Credit: MRc Building Product Disclosure and Optimization - Sourcing of Raw Materials: Submit product data and certification letter(s)] of proposed	base an		oad rock, road gravel, aggregate bas standard is set by Cal Trans and mo
materials with recycled content.	2.04 ACCESSOR	RIES	
1.02 QUALITY ASSURANCE			inants that would be deleterious to th
A.Comply with Section 01 40 00.		granite surfacing. EDGE composite edging or ap	pproved equal. 4-inch deeps.
B. Manufacturer: Company specializing in manufacturing Work of this Section with minimum 25 years documented experience.	1. Stakes:	12-inch long Epic stake or ap maximum.	proved equal; locate at 36-inch on c
C.Single Source Responsibility: Obtain each type of decomposed granite surfacing from single manufacturer.	as "restricted	use" for locations and conditio	ontrol, registered by the EPA, and non- ns of application. Application of the h the installer or the general public.
D. Maak I. In: Dravida a maak up for evoluction of surface proportion installation to shrip up	pose no snort	or long term nearth threats to	are moraner or the general public.

- D.Mock Up: Provide a mock-up for evaluation of surface preparation, installation techniques and quality of application.
- 1. Install a 4-feet x 4-feet minimum of decomposed granite surfacing, including subbase course and edging, at location approved by Landscape Architect.
- 2. Do not proceed with remaining work until installation of decomposed granite surfacing is approved by Landscape Architect.

Approved mock-up may remain as part of completed Work.

### ened and undamaged containers

#### material arriving at the job site in he following minimum information:

o contamination until ready for

- rost free and free of oil or any n of the surfacing system. course is muddy or saturated with
- able to be properly compacted.

with provisions of Section 01 25

- e Surfacing Materials:
- e high quality materials consisting nps, organic materials, frozen

rials in accordance with ASTM

- ggregates Granular A, B, M and
- ravel, aggregate base, AB, asphalt by Cal Trans and most common is

- d be deleterious to the l-inch deeps.
- ocate at 36-inch on center
- d by the EPA, and not classified Application of the herbicide shall

PART 3 - EXECUTION

3.01 EXAMINATION

A. Examine areas and conditions under which Work of this Section will be performed. Notify Landscape Architect of unsatisfactory preparation before proceeding.

B. Correct conditions detrimental to timely and proper completion of Work.

C.Do not proceed until unsatisfactory conditions are corrected.

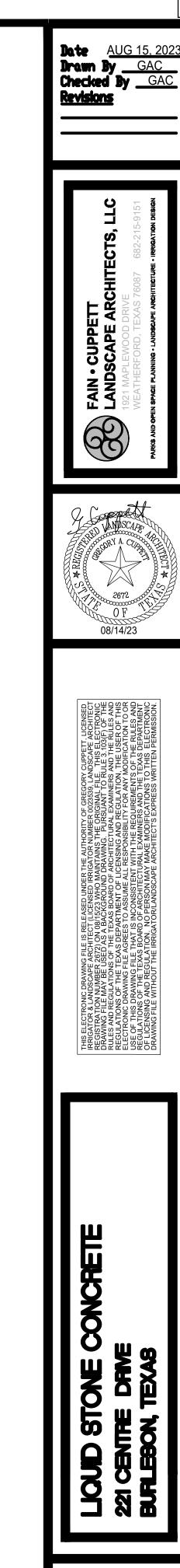
D. Lay out work prior to the commencement of installation.

#### 3.02 PREPARATION

- A.Excavation: Excavate to depth required so edges of decomposed granite surfacing will match adjacent grades and have a maximum cross-slope of 2 percent. Ensure edges and bottom of excavation are in a smooth and even line.
- B. Subgrade Preparation: Plow, harrow and mix the entire surface of the in-place subgrade to a depth of at least 6-inches. After the material has been thoroughly mixed, the subgrade shall be brought to line and grade and compacted to 95% of the maximum laboratory dry density as determined by the Standard Proctor test.
- C. Herbicide: Apply herbicide per manufacturer's written instructions. Limit the application to the area to receive decomposed granite surfacing.
- D. Subbase Course Preparation: Place the subbase coarse aggregate free from ridges, depressions or hollows. Rake and compact to 95% Standard Proctor Density.

#### 3.03 INSTALLATION

- A. Composite Edging: Install edging flush with the top of the decomposed granite surfacing. Provide sufficient stakes to secure edging in place during and after decomposed granite surfacing material installation.
- B. Subgrade: Proof-roll the subgrade with heavy pneumatic-tired equipment to locate unstable areas and to identify soft pockets and areas of excess yielding. Do not proof-roll wet or saturated subgrades.
- 1. Excavate soft spots, unsatisfactory soils, and areas of excessive pumping or rutting, as determined by Landscape Architect, and replace with compacted backfill or fill as directed.
- 2. The surface of the completed subgrade shall be bladed to a smooth and uniform texture.
- 3. The finished subgrade shall be uniform and free from deleterious debris such as organic materials, nails, stones and loose soil.
- C. Subbase: Install aggregate subbase to a compacted depth of 4 to 6-inches minimum for pedestrian traffic, and 8 to 12-inches minimum for vehicular traffic in accordance with manufacturer's recommendations. Install the subbase in multiple 3 to 4-inch lifts, and compact to a minimum 95% density.
- D. Compaction: Compact each lift of the subgrade, subbase and final finish decomposed granite surfacing materials with a one to three-ton roller or compactor. In small areas that are difficult to access with compaction equipment, hand tamping may be performed with multiple passes to achieve the required density.
- 1. Lightly spray surface area following compaction. Do not disturb aggregate surface with spray action.
- 3.04 INSTALLATION OF DECOMPOSED GRANITE SURFACING
- A. Spread decomposed granite surfacing material in 3 to 4-inch lifts. Spread the pathway mix evenly and smoothly before compacting. Allow for 20-25% compaction. Screed if possible.
- B. Wet the mix to ensure water has penetrated the full depth of the decomposed granite surfacing material, and roll each lift to form a uniform, smooth surface with a cross slope of 2% maximum. Compact each lift to a minimum 95% density.
- C. Grade and smooth to the required elevation; compact final lift with 1-3 ton drum roller or compactor.
- D. Minimum Compacted Thickness:
- 1. Pedestrian Paths: 4-inches.
- 2. Vehicular Drives and Roadways: 6-inches.
- E. Surface shall follow grades per plans. Remove crown, allow 1-2% cross pitch.
- F. Completed surface shall be of consistent quality and shall not have depressions or humps greater than 1/4-inch in 10-feet.



3.05 INSTALLATION TOLERANCES

A. Decomposed Granite Surfacing Thickness: Allow for 20-25% compaction.

1. Subbase Course: Plus or minus 1/2-inch.

2. Surface Course: Plus 1/4-inch, no minus.

B. Decomposed Granite Surfacing Smoothness: Produce a surface smoothness within 1/4-inch tolerance when measured with a 10-foot straightedge.

1. Crowned Surfaces: Test with crowned template centered and at right angle to crown. Maximum allowed variance from template is 1/4-inch.

3.06 CLEAN-UP AND PROTECTION

A. Thoroughly clean all areas where work has occurred. Remove from site excess material, debris and rubbish.

B. Take all precautions necessary to protect completed work until Substantial Completion of project.

END OF SECTION

SPECIAL SPECIFICATION

2099

#### DECOMPOSED GRANITE

**1. DESCRIPTION.** Furnish and install decomposed granite beds and as shown on the plans or as directed.

2. MATERIALS. Provide decomposed granite, aggregate base material, necessary subgrade fill material, weed barrier fabric, binding material, and other miscellaneous items as shown on the plans.

3. CONSTRUCTION. All materials furnished will be installed as shown on the plans or as directed by the Engineer.

A. Decomposed Granite. Place over filter fabric. Remove loose material from the exposed subgrade. Place decomposed granite aggregate in maximum 2 in. deep lifts, wet thoroughly, and let set according to the supplier's instructions. Compact to not less than 90% nor more than 95% of maximum dry density (ASTM D 698) with a roller. Do not use a tamp plate.

4. MEASUREMENT. This item will be measured by Square Yard, complete in place for the project, as shown on the plans.

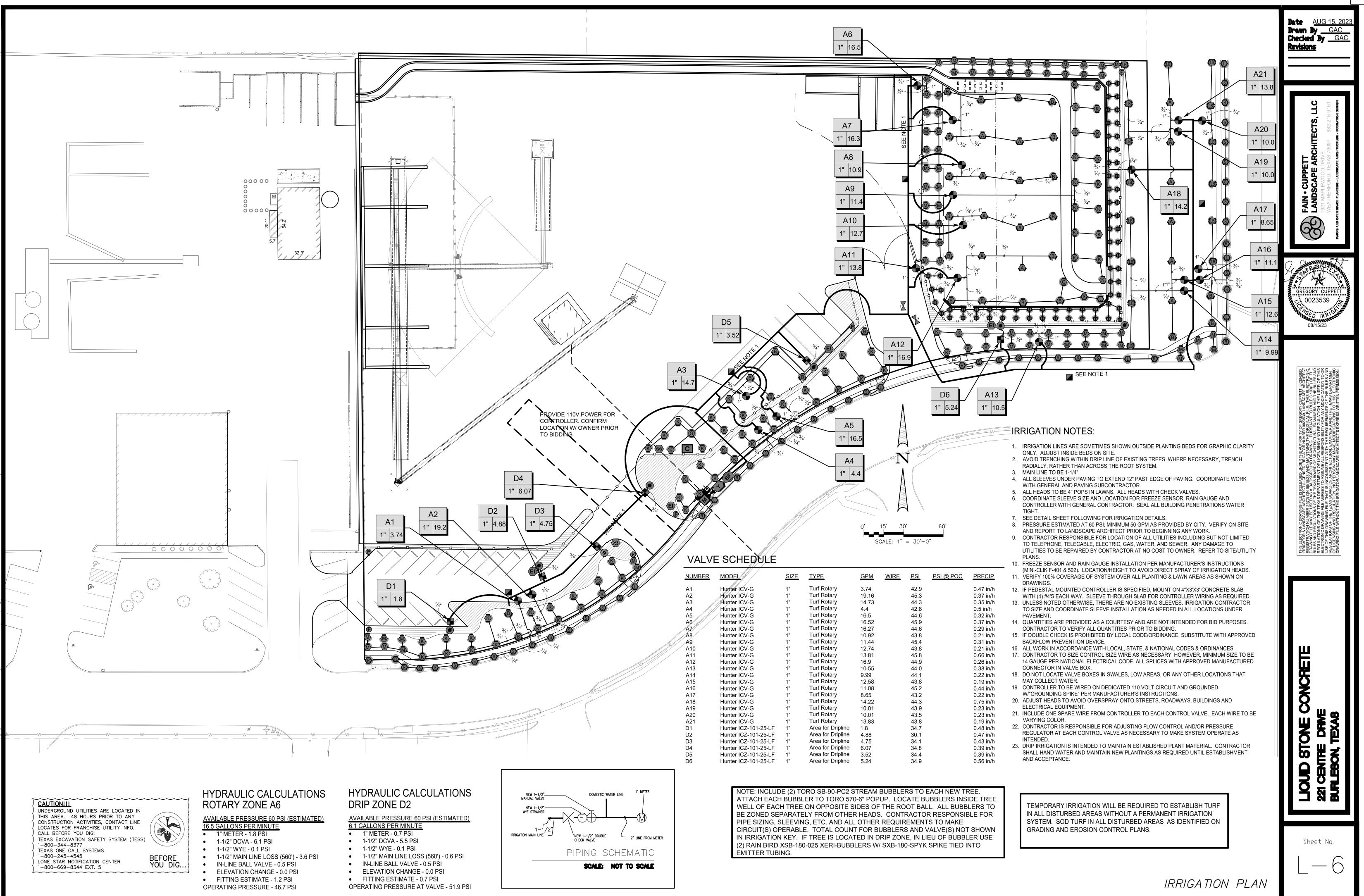
**5. PAYMENT.** The work performed and materials furnished in accordance with this item and as provided under "Measurement" will be paid for at the unit price bid of Square Yard for "Decomposed Granite". This price is full compensation for furnishing, installing, testing, and for all other materials, labor, tools, equipment, and incidentals.

END OF SECTION

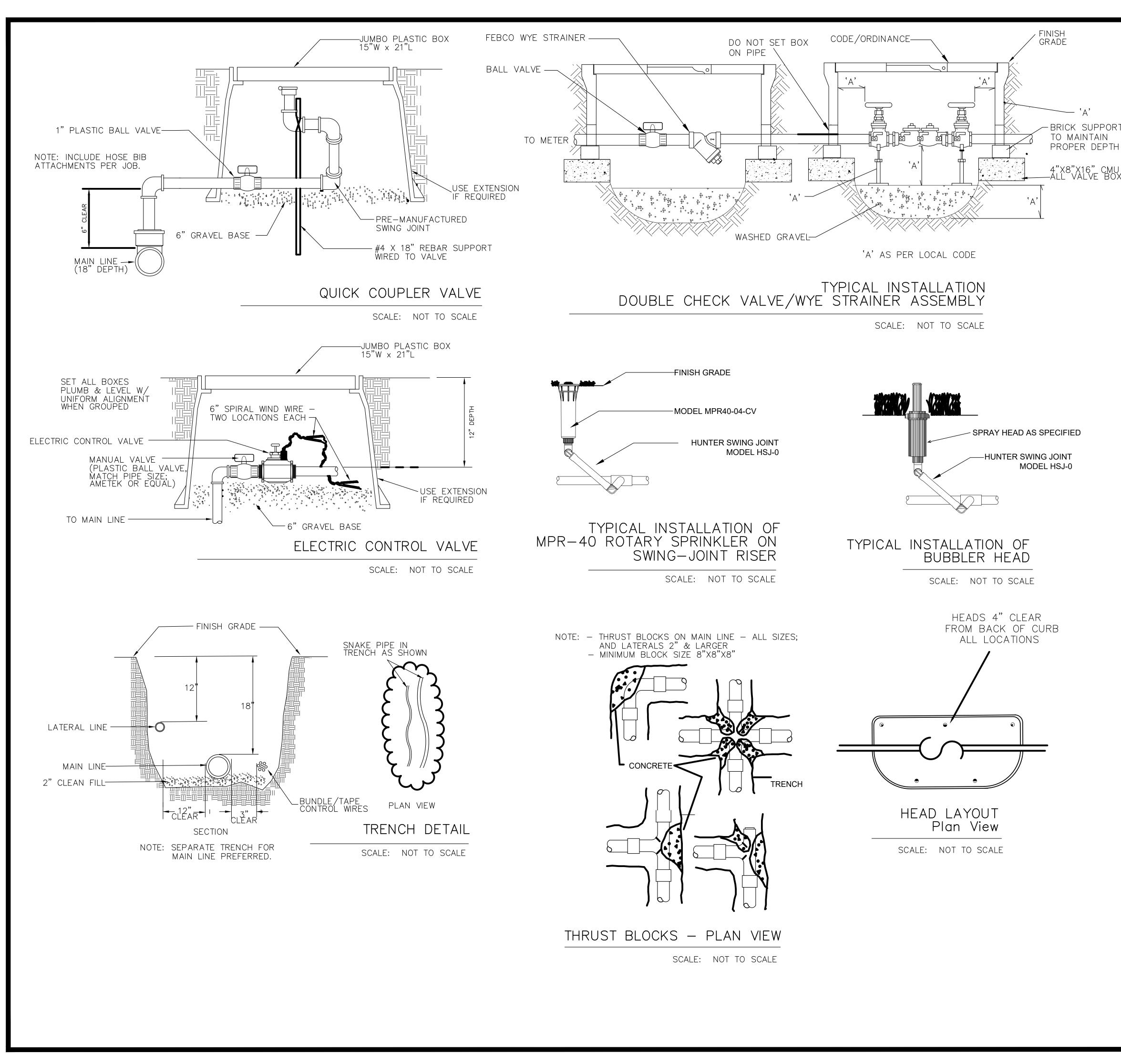
## DECOMPOSED GRANITE SPECIFICATIONS

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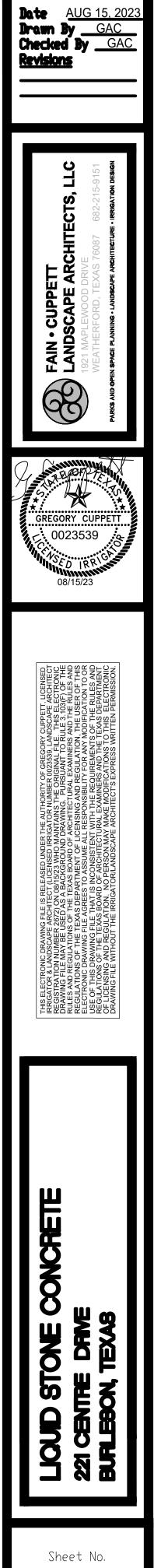






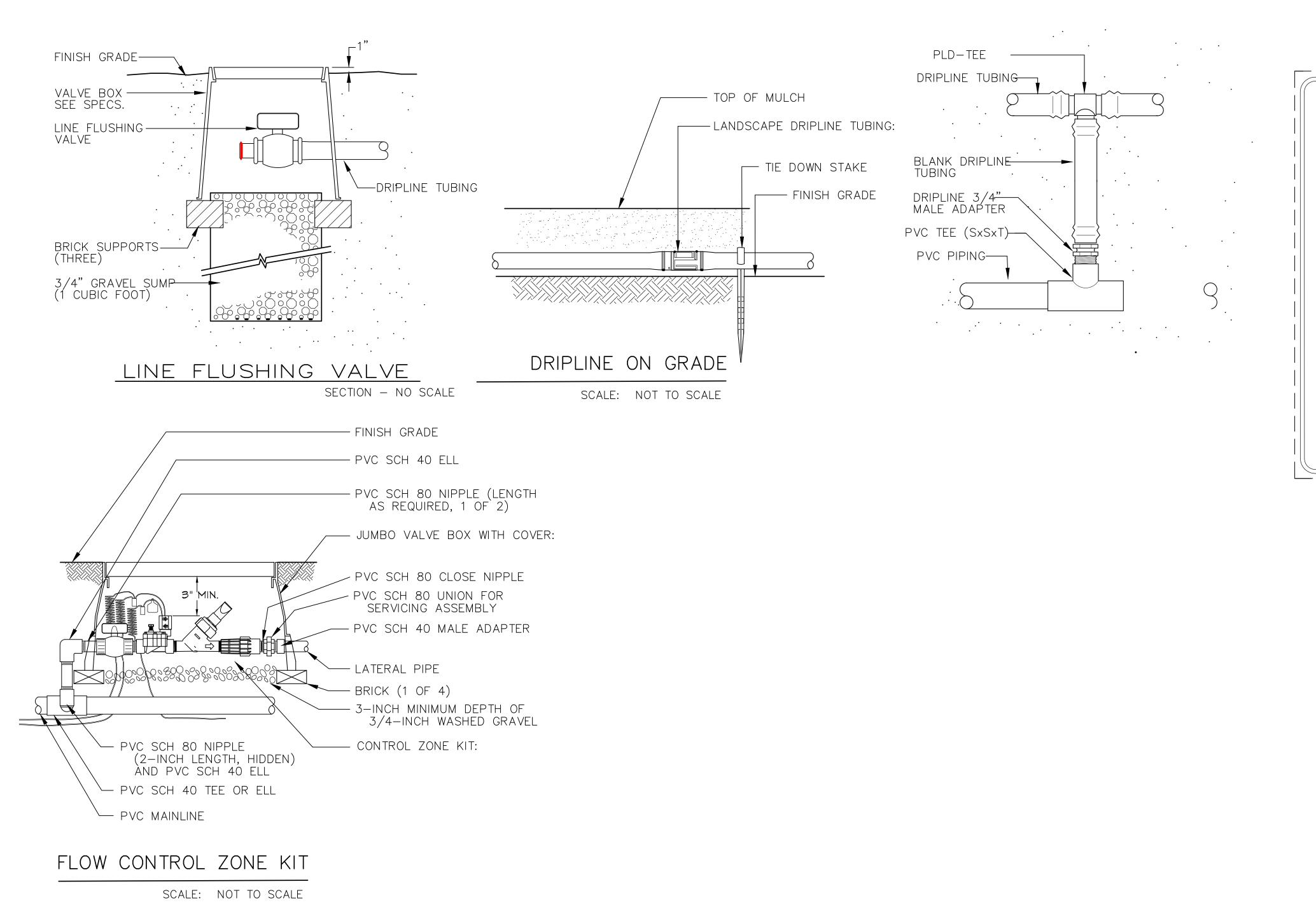
Item A.

<u>SYMBOL</u>	MANUFACTURER/MODEL/DESCRIPTION	QTY	
LST SST RST	Hunter MP Strip PROS-04-PRS40-CV-F Turf Rotator, 4in. pop-up with factory installed check valve, floguard, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. LST=Ivory left strip, SST=Brown side strip, RST=Copper right strip.	55	
<b>(1) (1) (1)</b>	Hunter MP1000 PROS-04-PRS40-CV-F Turf Rotator, 4in. pop-up with check valve, floguard, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. M=Maroon adj arc 90 to 210, L=Light Blue 210 to 270 arc, O=Olive 360 arc.	69	
<b>® ®</b>	Hunter MP2000 PROS-04-PRS40-CV-F Turf Rotator, 4in. pop-up with factory installed check valve, floguard, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. K=Black adj arc 90-210, G=Green adj arc 210-270, R=Red 360 arc.	74	
₿₩₽	Hunter MP3000 PROS-04-PRS40-CV-F Turf Rotator, 4in. pop-up with factory installed check valve, floguard, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. B=Blue adj arc 90-210, Y=Yellow adj arc 210-270, A=Gray 360 arc.	40	
œ	Hunter MP3500 PROS-04-PRS40-CV-F Turf Rotator, 4in. Pop-up with factory installed check valve, floguard, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. LB=light brown adjustable arc, 90-210.	15	
<b>0 0</b> 800 A 800 F	Hunter MP800SR PROS-04-PRS40-CV-F Turf Rotator, 4in. pop-up with check valve, floguard, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. ADJ=Orange and Gray ( arc 90-210), 360=Lime Green and Gray (arc 360)	68	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	Hunter ICZ-101-25-LF Drip Control Zone Kit. 1in. ICV Globe Valve with 1in. HY100 filter system. Pressure Regulation: 25 psi. Flow Range: .5 GPM - 15 GPM. 150 mesh stainless steel screen.	6	
۲	Pipe Transition Point above grade Pipe transition point from PVC lateral to drip tubing with riser to above grade installation.	7	
¢	Netafim TLSOV Netafim TLSOV- 1/2in. manual flush valve, barbed insert. Install in 10in. box, with adequate blank or in.cobrain. tubing to extend valve out of valve box. 2/3 in fits Techline HCVXR, HCVXR-RW/RWP, CV, DL, RW and RWP driplines, and PE irrigation hose	6	
	Hunter ECO-ID ECO-ID: 1/2in. FPT connection with 12 psi-70 psi operating pressure. Specify with Hunter SJ swing joint.	5	
	Area to Receive Dripline Hunter HDL-04-18-CV HDL-04-18-CV: Hunter Dripline w/ 0.4 GPH emitters at 18" O.C. Check valve, dark brown tubing with tan striping. Dripline laterals spaced at 18" apart, with emitters offset for triangular pattern. Install with Hunter PLD barbed or PLD-LOC fittings.	6,234 l.f.	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL
•	Hunter ICV-G 1in., 1-1/2in., 2in., and 3in. Plastic Electric Remote Control Valves, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use.	21	
	Hunter HQ-3RC Quick coupler valve, yellow rubber cover, red brass and stainless steel, with 3/4in. NPT inlet, 1-piece body.	5	
M	Landscape Products Inc. BBV 1/2in., 3/4in., 1in., 1-1/4in., 1-1/2in., 2in., 2-1/2in., 3in. Full Port Brass Ball Valve. Suitable for a full range of liquids and gases in residential and commercial applications.	1	
X	Landscape Products Inc. CWV Slip Socket 1/2in., 3/4in., 1in., 1-1/4in., 1-1/2in.,2in. Slip Socket Plastic Ball Valve. Quarter-turn shutoff designed for irrigation, spas, pools and other general cold water applications. 125 psi rating. Same size as mainline.	2	
BF	Febco 850 1" Double Check Backflow prevention, 1/2in. to 2in.	1	
С	Hunter I2C-2400-M 24 Station Outdoor Modular Controller. With two ICM-800 Module. Commercial Use. Metal Cabinet.	1	
<b>SS</b>	Hunter WSS Wireless Solar, rain freeze sensor with outdoor interface, connects to Hunter PCC, Pro-C, and I-Core Controllers, install as noted. Includes 10 year lithium battery and rubber module cover, and gutter mount bracket.	1	
Y M	Wye Wye Strainer Water Meter 1"	1	
	Irrigation Lateral Line: PVC Class 200 SDR 21	5,697 l.f.	
	Valve Callout		



IRRIGATION DETAILS

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Date <u>AUG 15, 2023</u> Drawn By <u>GAC</u> Checked By <u>GAC</u> <u>Revisions</u>

 $\mathcal{C}$ 

 $\mathbf{X}$ 

GREGORY CUPPET

08/15/23

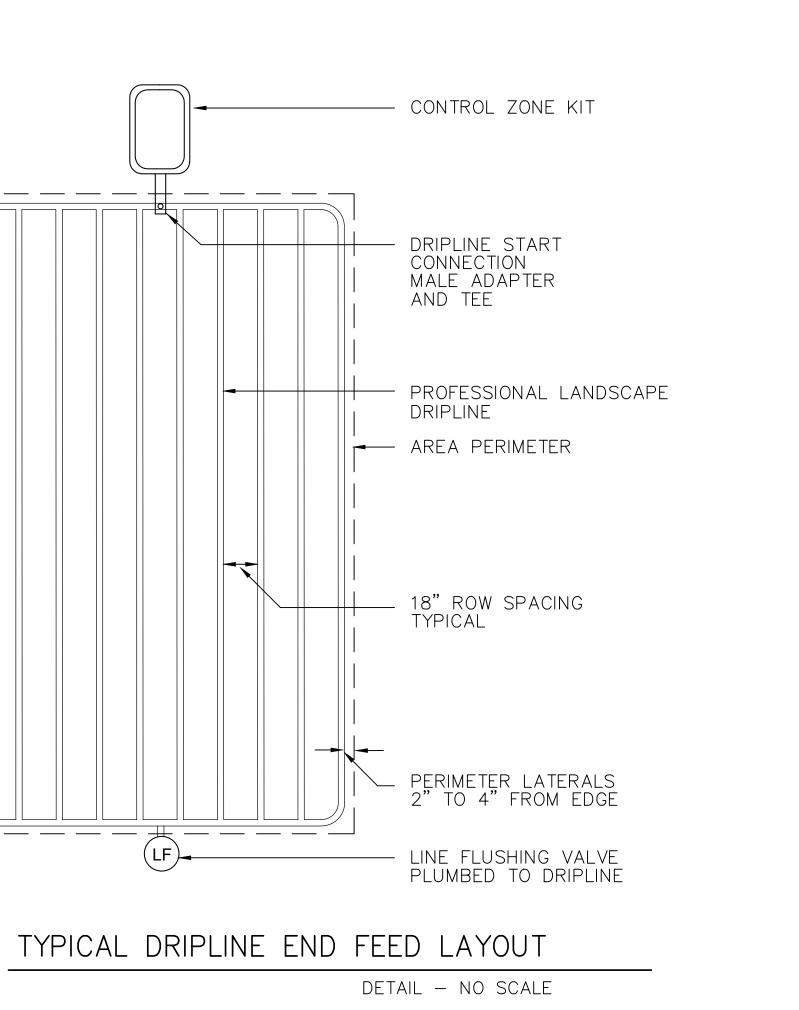
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#### SECTION 02750

#### IRRIGATION

#### PART I-GENERAL

- 1.01 DESCRIPTION
- A. Work Included
  - Piping and fittings.
  - Connection to existing water lines.
  - Valves, bubblers, and spray heads. All miscellaneous fittings and accessories required 4
  - to complete and operate system.
  - Excavation and backfill. Testing and adjusting.
  - 7. Clean up.
- B. Related Work Specified Elsewhere

### 1.02 QUALITY ASSURANCE

### A. Codes and Standards:

- 1. All applicable local and national Plumbing Ordinances,
- Electrical Codes, and Building Codes. 2. National Plumbing Code.
- B. Licenses:
  - 1. All work shall be performed by or under the direct supervision of an irrigator or plumber licensed to practice under the authority of the State of Texas.
- C. Reference Standards:
  - ASTM D-2241-78

2. CS 256-63

### 1.03 SUBMITTALS

- A. Maintenance Materials: At completion of the job, furnish spare parts and all special tools and equipment required to operate and maintain system.
- B. Maintenance Data: Furnish two copies of parts list and repair manuals and all special tools and equipment required to operate and maintain system.
- C. Manufacturer's Literature: Submit catalogue data indicating, performance, weight, size and function of each item of equipment and material. Also provide manufacturer's operating manual.
- Project Record Documents: Record on a clean set of plans in colored pencil D. and also a reproducible mylar:
  - All piping and wiring, including control wires by dimensions. 2. Locate all valves by dimension from two directions.

		PRODUCTS	PART III - EXECUTION
2.01	GENE	ERAL	3.01 GENERAL
A.	Equi	ipment and Material Requirements:	Install all equipment and products in recommendations.
	1. 2.	Standard product of acceptable manufacturer. In-service performance records to verify published capabilities.	3.02 INSTALLATION
~ ~ ~	3.	New and unused.	A. PVC Pipe and Fittings:
			1. Handle and install PVC pipe, o
A.		Pipe and Fittings:	with manufacturer's recomment 2. All PVC fittings shall be molde and shall be suitable for each
	1.	Polyvinyl chloride pipe (PVC) in accordance with ASTM D-2241-78 made to SDR-PR dimensions and approved by National Sanitation Foundation.	and shall be suitable for solver screwed connections. 3. No fittings made of other mate
	2.	2 inch pipe and smaller: Solvent weld PVC Type "Bell-End" pipe may be used.	specified in the plans and deta 4. Space pipe length in jointing a
	3.	2 inch pipe fittings and smaller: Solvent weld type as recommended by pipe manufacturer.	contraction. 5. Thoroughly clean interior of the
	4.	All pipe downstream of backflow preventer to be Class 200 PVC; all swing joints and risers to be Schedule 80.	being lowered into trench. Kee means of plugs or other appro
B.	Join	ts and Fittings:	6. Do not lay pipe in water or whe unsuitable for work. Keep wate
	1.	Nipples and risers: Schedule 80 threaded PVC pipe.	completed. 7. When work is not in progress,
	2.	Fittings: Schedule 80 PVC.	fittings so that no trench water pipes or fittings.
C.	Valv	ves:	<ol> <li>Take up and relay any pipe the after laying.</li> </ol>
	1.	Double Check Double Gate Valve	<ol> <li>Fittings at bends in the pipe lin wedged against the vertical fa</li> </ol>
		a. Factory assembled and tested valve train.	10. Make joints in all screwed fittin threads.
		<ul><li>b. Two spring loaded all brass check valves with soft rubber discs.</li><li>c. Two all brass shutoff valves.</li></ul>	11. Only schedule 80 pipe may be
		<ul><li>d. Assembled with brass nipples.</li><li>e. In accordance with AWWA and ASSE specifications.</li></ul>	B. Valves:
	•	f. Approved Product: FEBCO.	1. Install all new valves as indica required for the proper control
	2.	Manual Control Valve	are incorporated. 2. Bury valves deep enough so th
		<ul><li>a. Straight type globe valve.</li><li>b. Size to match upstream pipe or as shown on drawings.</li></ul>	above the ground. 3. Set valves vertically and locate
		<ul> <li>c. Cross handle control wheel.</li> <li>d. Brass or bronze body and parts, Class 150.</li> <li>c. Full floating value diag with replaceable cost and weakers.</li> </ul>	possible. 4. Adjust flow control to give corr
		<ul> <li>e. Full floating valve disc with replaceable seat and washers.</li> <li>f. Removable bonnet and stem assembly with packing gland</li> </ul>	3.03 FIELD QUALITY CONTROL
	2	and nut.	A. Leak Test:
	3.	a. With flow control.	1. When the main line or sections
		<ul> <li>a. With flow control.</li> <li>b. Globe valve.</li> <li>c. Manual bleed.</li> </ul>	swing joints and valves have b will then be pressurized to the drawings. The pressure will the
		<ul> <li>d. 24 VAC solenoid.</li> <li>e. Electric control, in-line.</li> </ul>	hour leak test period. 2. All leaks will be repaired and r
		f. Size to match upstream pipe or as shown on drawings.	<ol> <li>An leaks will be repaired and i</li> <li>Any leaks developed during the pressures due to improper inst</li> </ol>
	4.	Quick Coupler	contractor at no expense to the
		<ul><li>a. 1" female inlet.</li><li>b. Brass or bronze construction.</li></ul>	B. Cleaning and Flushing System:
		<ul> <li>c. 150 psi capacity.</li> <li>d. Self closing cover.</li> </ul>	1. After pipe, fittings, and valves made to water source, flush pi
		<ul> <li>e. One piece, single lug, single key construction.</li> <li>f. Provide owner with two quick coupler keys &amp; hose bib</li> </ul>	shavings, and other debris bef 2. After heads have been installe
		attachments. g. Install in "jumbo" plastic valve box, rectangular, heavy duty.	final inspection. 3. Immediately before final inspe
D.	Valv	re Boxes:	Clean if necessary. 4. Remove nozzles of all heads a
	1.	Box for Double check double gate valve:	heads before final inspection.
		a. Concrete box with cast iron cover (or per code).	C. Maintenance Instructions:
		<ul> <li>b. Sufficient size to house entire assembly and permit inspection, maintenance and repair.</li> </ul>	1. School at least two of the Owr maintaining the irrigation syste
	2.	Box for Electric Valves, Manual Valves, and Double Check Valves	procedures. 2. Include operation of controllers
		a. "Jumbo", rectangular	and maintenance of all equipm replacement of valve and cont
		<ul><li>b. Heavy duty plastic construction.</li><li>c. With locking lid.</li></ul>	3.04 CLEANUP
E.	Spri	nkler Heads:	A. Make final cleanup of all parts of wor
	1.	Bubbler, Flood Type	B. Remove all construction materials ar
		a. Plastic construction.	C. Prepare site in an orderly and finishe
		<ul><li>b. 1/2" IPS female inlet.</li><li>c. Adjustable flow via screen.</li></ul>	D. Remove from site any rock or extra s
			restore site to its original condition.

END OF SECTION

Jointing Material: Teflon tape for threads on PVC pipe. 1 Control Wire: Direct Burial, size for voltage drop, minimum size per 2. National Electric Code.

а. 4" рор/12" рор

а. 12" рор/4"рор

3. Rotary Heads

Solid state.

UL listed.

Battery backup.

Digital readout. Dust Barrier.

4. Pump/master valve circuit switch.

F. Controllers:

1

5

6.

7.

8.

G. Accessories:

b. Plastic construction.

e. Stationary or gear driven.

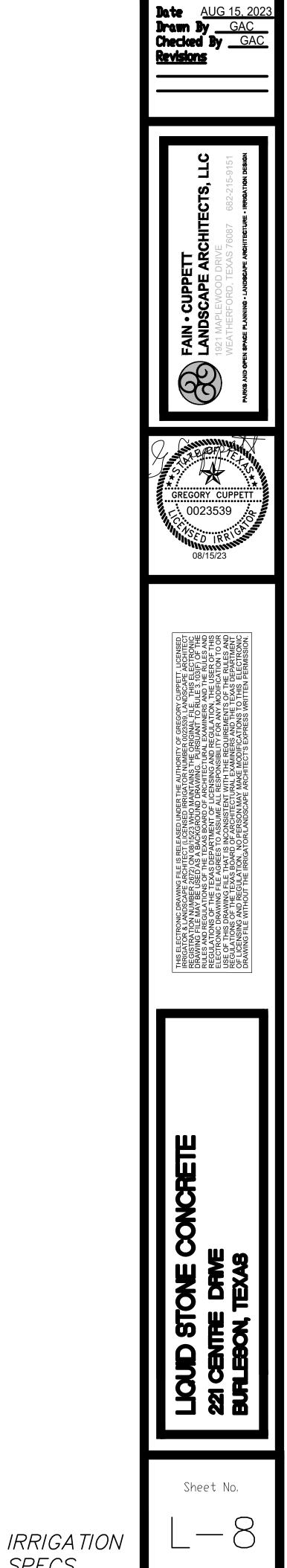
c. Stainless steel retraction spring. d. Serviceable filter screen and nozzle.

c. Stainless steel retraction spring. d. Serviceable filter screen and nozzle.

0-60 minute timing per station or as specified.

Up to three start times/day with manual override.

b. Full and part circle heads as drawings indicate.



#### in accordance with manufacturer's

e, couplings, and fittings in accordance nendations and industry standards. Ided of the same material as the pipe vent weld, slip joint ring tight seal, or

aterial shall be used except copper as etails g and snake to allow for expansion and

the pipe of all foreign matter before Keep clean during laying operation by proved method. when trench or weather conditions are ater out of trench until the joints are

ss, securely close open ends of pipe and ater, earth or other substances will enter

that has the grade or joints disturbed

line and at ends of lines shall be firmly face of the trench. ttings by applying teflon tape on male

be threaded.

icated on the plans or as may be rol of the piping systems in which they

o that valve box lid will not protrude

cate 12 inches from sidewalks where

correct pressure at sprinkler head.

ons of the main line, e.g. loops with e been installed, the system (or section) the operating pressure indicated on the then be maintained for a twenty four

d retested prior to backfilling lines. the first under normal operating installation shall be repaired by the the owner.

es have been installed and connections n pipe free of all rock, dirt, trash, pipe before installing heads. alled, use system several times before

pection, check all heads for stoppage.

Is and flush pipes. Clean and replace

wner's employees that will be stem in operating and maintenance lers and valves, balancing of the system,

ipment including removal and ontroller components.

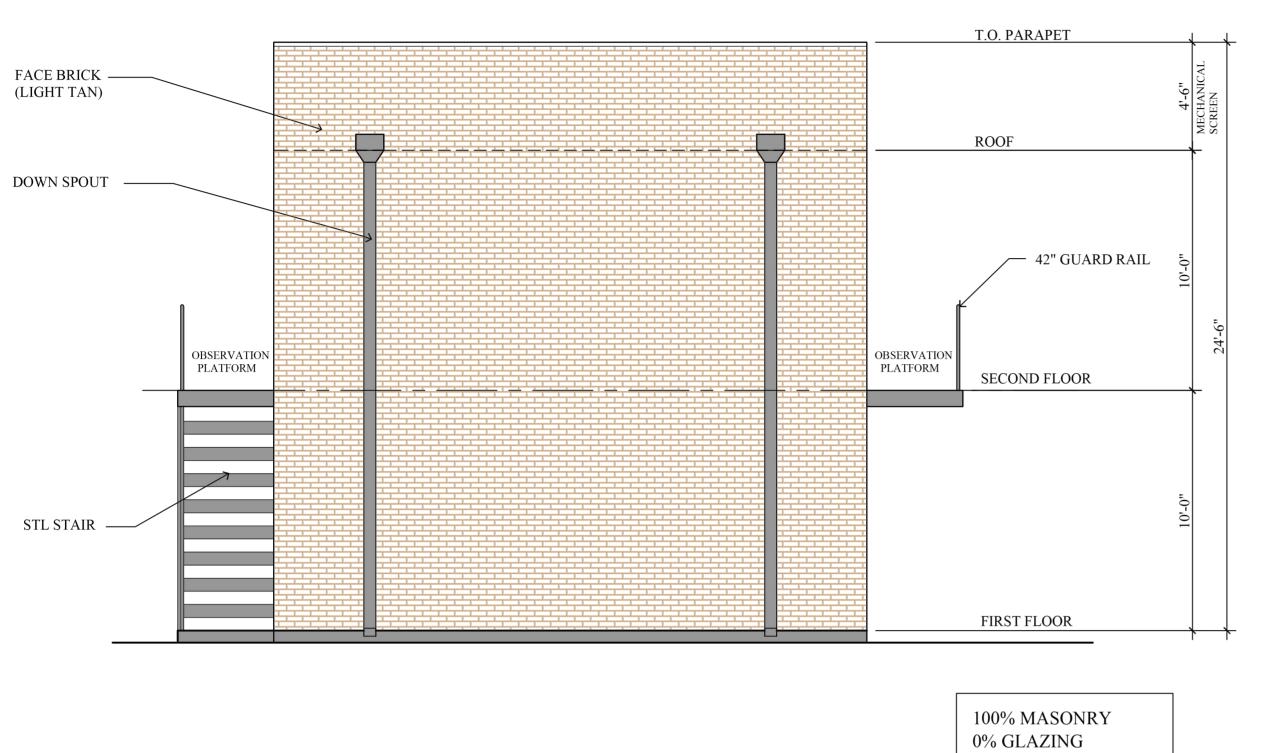
vork before final acceptance.

and equipment.

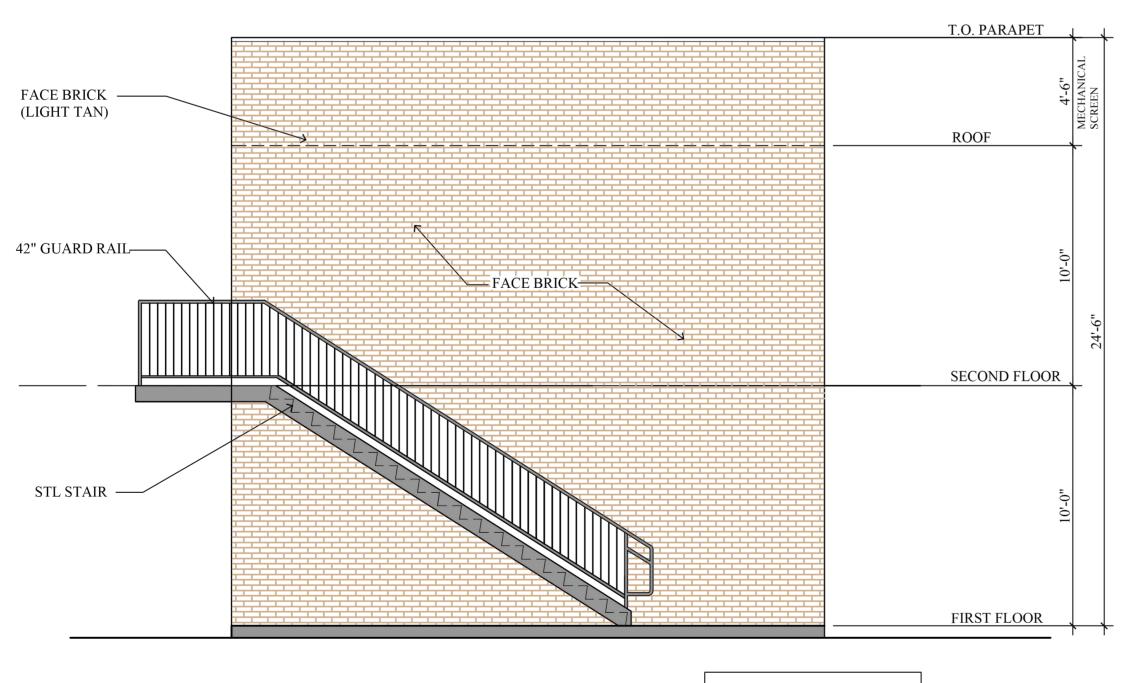
shed appearance.

a soil that resulted from this work and

## SPECS

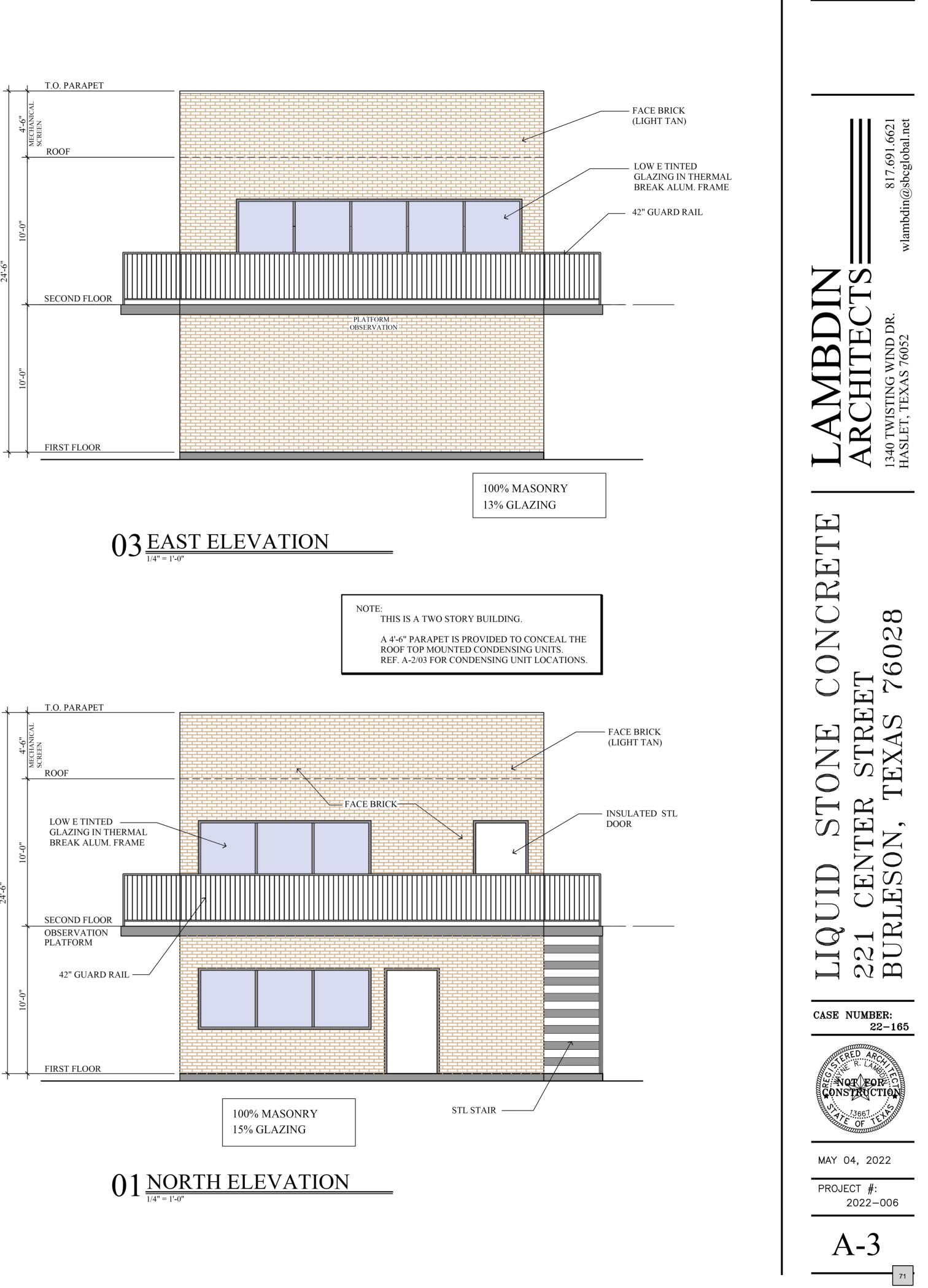


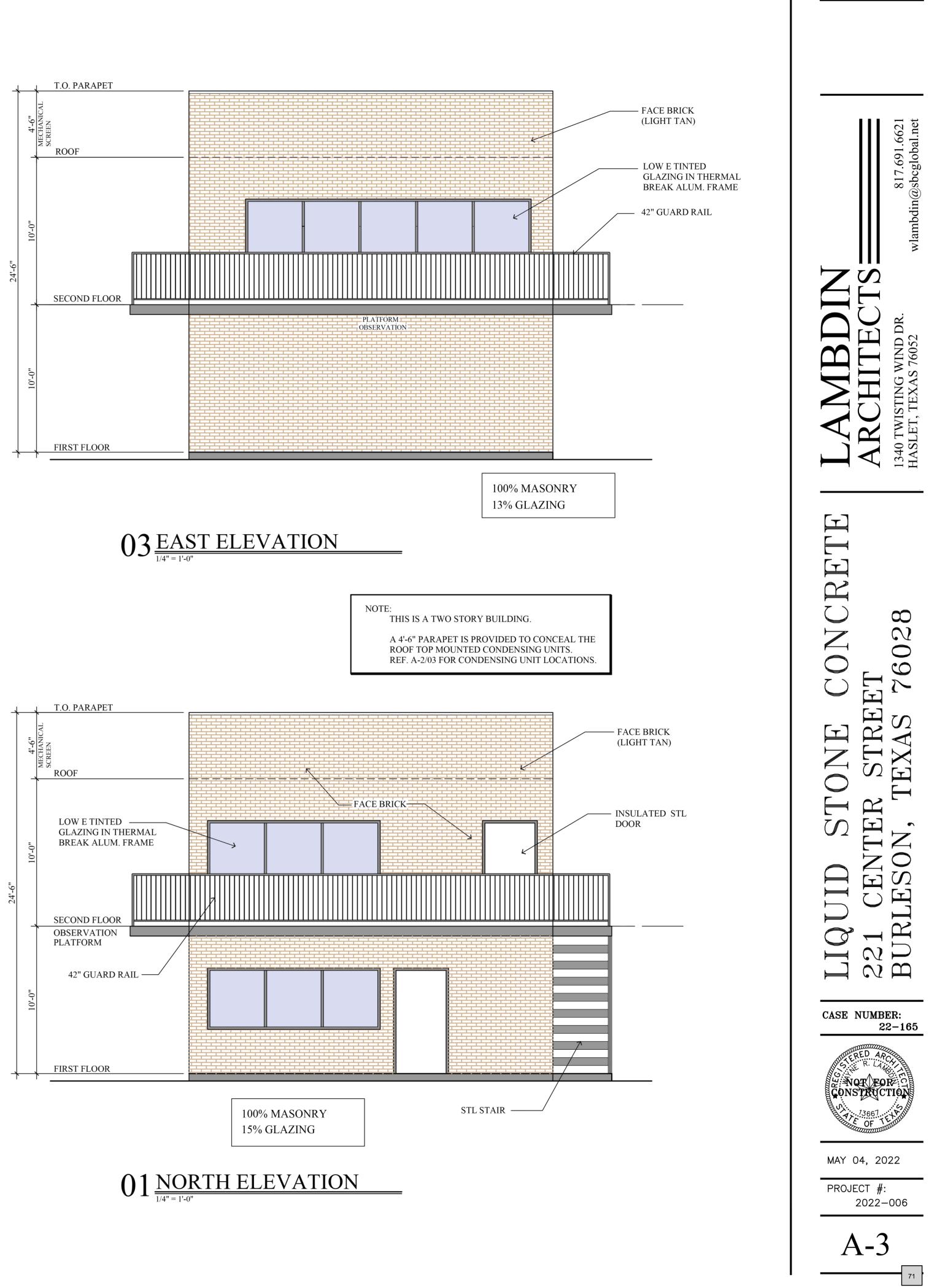
 $04 \frac{\text{SOUTH ELEVATION}}{\frac{1}{4} = 1^{-0}}$ 

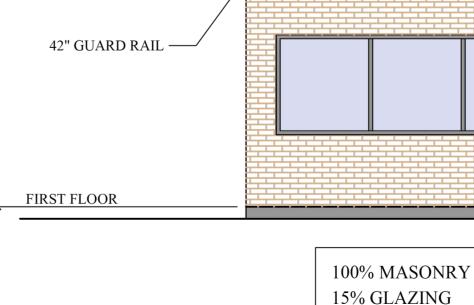


100% MASONRY 0% GLAZING









Item A.

REVISIONS

ltem	A

APPLICAN	IT/OWNER
Applicant or Authorized Agent	Owner
Name: Brooks Baca	Name: Jason Burghart
Company: MAS Consulting	Company: Liquid Stone Concrete
Address: 101 Summit Avenue, Suite 1030 Fort	Address: 221 Centre, Burleson, Texas 76028
Worth, Texas 76102	
Telephone: 817-708,2422	Telephone: 817-903-5353
Email: bbaca@mas-civil.com	Email: jason@lsctx.com
Signature:	Signature:

	SITE INFORMATION
Address: 221 Centre, Burleson, Texas 76028	
Current Zoning: Industrial/Agriculture	
Proposed Zoning: Industrial	
Proposed Use: Extension of existing Concrete	Batch Plant Facility

WAIVER/VARIANCE INFO	
Applicable Section of City Ordinance/Code	Waiver/Variance requested
Article V. IH-35 DESIGN STANDARDS, Sec. 5-50. Building	The primary use of the site and the zoning for the site is
design. (a)	industrial. This property was obtained for the continued
	growth of Liquid Stone and is a continuation of the
	existing facility. The building/site are not intended for
	public use.
Article V. IH-35 DESIGN STANDARDS, Sec. 5-50. Building	This building is designed as a control area for the plant
design. (c)	with specific views to the equipment and trucks for
	driver check in. Windows are intended for observation
	of strategic operations and safety requirements. Glazing
	provided is 15%.
Article V. IH-35 DESIGN STANDARDS, Sec. 5-50. Building	This building is designed as a control area for the plant
design. (d)	with specific views to the equipment and trucks for
	driver check in. Windows are intended for observation
	of strategic operations and safety requirements. Glazing
	provided is 13%.
Article V. IH-35 DESIGN STANDARDS, Sec. 5-50. Building	The design standards are not intended to be for a safe
design. (g)	and secure industrial facility. The building/site are not
	intended for public use, therefore no display windows,
	arcades, canopies, arches, water features, etc. are being
	installed.

Article V. IH-35 DESIGN STANDARDS, Sec. 5-51. Landscaping. (h) Public open space.	Due to detention requirements, equipment circulation and safety the public open space of 25% will not be satisified. Open space provided is 15%.
Article V. IH-35 DESIGN STANDARDS, Sec. 5-53. Fencing and screening.	Requesting a waiver for an 8' masonry wall along the south and east sides of the property and a 12' masonry wall along the rear. The ability to screen entirely cannot be achieved due to height of equipment. 12' is TCEQ requirement for facility.

# Hilltop Concrete

#### CHISELSTONE PRECAST CONCRETE FENCE

The timeless appearance of old-world stone combined with the inherent strength of concrete.



#### A CONCRETE FENCE FOR YOUR NEXT SCREENING WALL PROJECT

Our unique ChiselStone concrete fence is one of our most popular designs offering a look and feel of chiseled slate masonry, combined with the inherent beauty of rock. Concrete is one of the most common products utilized on every construction site so it is no wonder that our ChiselStone precast concrete fence system fits right in! ChiselStone has all the benefits precast concrete has to offer, including resistance to weather and climate and long-lasting sustainability. With the ChiselStone system, Hilltop Concrete is able to provide a turnkey product that is easy to install without having to wait for concrete to cure onsite. This benefit means that we are able to minimize wait time and costs associated with your project.





#### A PROVEN PRECAST SCREEN WALL

As with all our precast fencing systems, ChiselStone mimics the appearance you would expect from a much more expensive system. The ChiselStone concrete fence system is used in a lot of cases where our customers are trying to achieve a specific architectural detail to complete their project. In fact, the ChiselStone precast concrete fence system is an attractive addition to any property and has been used for a multitude of applications from personal residential fences, to DoD security walls, to DOT sound barriers.





#### AUTHENTIC STONE AESTHETICS

The ChiselStone system is also fully customizable. All components of the ChiselStone system are textured on both sides to ensure you have a complete system front and back! This system is commonly configured as a 6' high, 7' high or 8' high system to provide your property with adequate security. Since our ChiselStone concrete fence system is intended to be painted or stained, you gain the ability to make your fence blend in or stand out from surrounding features. Our team at Hilltop Concrete will help you select the perfect color for your project and we love watching the final product transform before our eyes during the application of color. You can select from our proven customer favorites or we can match a color already integrated on your property or project.

