
Tuesday, March 25, 2025
6:00 PM

City Hall - 141 W. Renfro
Burleson, TX 76028

1. **CALL TO ORDER**

Invocation

Pledge of Allegiance

Texas Pledge:

Honor the Texas Flag, I pledge allegiance to thee, Texas, one state under God; one and indivisible

2. **CITIZEN APPEARANCES**

Other than public hearings, citizens in attendance who desire to speak to the Planning and Zoning Commission may speak during this section. Each person will be allowed three (3) minutes to speak and will not be interrupted by the Commission or staff. If you would like to speak, please fill out a speaker card and give the completed card to the City staff prior to addressing the Commission. Please note that the Commission may only take action on items posted on the agenda. The Texas Open Meetings Act prohibits the Commission from deliberating or taking action on an item not listed on the agenda. Please also note that speakers who desire to speak on an item listed for public hearing will address the Commission during the public hearing and consideration of that particular agenda item.

3. **CONSENT AGENDA**

All items listed below are considered to be routine by the Planning and Zoning Commission and will be enacted with one motion. There will be no separate discussion of the items unless a Commissioner or citizen so requests, in which event the item will be removed from the consent agenda and considered in its normal sequence. Approval of the consent agenda authorizes the Development Services Director to place each item on the City Council agenda in accordance with the Planning and Zoning Commission's recommendations.

A. Consider approval of the minutes from March 11, 2025 Planning & Zoning Commission meeting.

B. Cedar Ridge Addition; Lots 1-7R1 & 1-7R2, Block 1 (Case 24-241): Consider approval of a replat of Cedar Ridge Addition; Lots 1-7R1 & 1-7R2, Block 1, addressed as 601 SW Alsbury BLVD. (Staff Contact: Lidon Pearce, Principal Planner)

4. **PUBLIC HEARING**

A. Chick-fil-A at 111 NW John Jones (Case 25-036): Consider and take possible action on a resolution for a commercial site plan amendment with a variance to Section 132-115;

Accessory building and structure yard regulations; pertaining to drive-thru canopies. *(Staff Contact: Lidon Pearce, Principal Planner)*

B. 440 NW John Jones (Case 25-048): Hold a public hearing and consider and take possible action on a zoning ordinance change request from “SF7, Single-family district-7”, to “GR, General Retail”. *(Staff Contact: Lidon Pearce, Principal Planner)*

C. 4051 Vantage Drive (Case 25-038): Hold a public hearing and consider and take possible action on a resolution for a waiver to the Subdivision and Development Ordinance, Appendix A, Section 7.5 (d). *(Staff Contact: Marah Aqqad, Development Engineering Manager)*

5. REPORTS AND PRESENTATIONS

6. GENERAL

7. COMMUNITY INTERESTS ITEMS

8. EXECUTIVE SESSION

In accordance with Chapter 551 of the Texas Government Code, the Commission may convene in Executive Session in the City Council Workroom in City Hall to conduct a closed meeting to discuss any item listed on this Agenda.

A. Pending or Contemplated Litigation or to Seek the Advice of the City Attorney Pursuant to Section 551.071

9. ADJOURN

Staff Contact

Tony McIlwain
 Director of Development Services
 817-426-9684

CERTIFICATE

I hereby certify that the above agenda was posted on this the 19th of March 2025, by 5:00 p.m., on the official bulletin board at the Burleson City Hall, 141 W. Renfro, Burleson, Texas.



Amanda Campos

City Secretary

ACCESSIBILITY STATEMENT

The Burleson City Hall is wheelchair accessible. The entry ramp is located in the front of the building, accessible from Warren St. Accessible parking spaces are also available in the Warren St. parking lot. Sign interpretative services for meetings must be made 48 hours in advance of the meeting. Call the A.D.A. Coordinator at 817-426-9600, or TDD 1-800-735-2989.



Department Memo

Planning & Zoning Commission Meeting

DEPARTMENT: Development Services

FROM: Peggy Fisher, Administrative Assistant Sr.

MEETING: March 25, 2025

SUBJECT:

Approve the minutes from March 11, 2025 Regular Session of the Planning & Zoning Commission meeting.

SUMMARY:

Minutes from the March 11, 2025 Regular Session of the Planning & Zoning Commission meeting.

OPTIONS:

Approve as presented

RECOMMENDATION:

Approve the minutes from the March 11, 2025 Regular Session of the Planning & Zoning Commission meeting.

PRIOR ACTION/INPUT (Council, Boards, Citizens):

None

FISCAL IMPACT:

None

STAFF CONTACT:

Peggy Fisher
Recording Secretary
pfisher@burlesontx.com
817-426-9611

PLANNING AND ZONING COMMISSION

March 11, 2025
MINUTES

Roll Call

Commissioners Present

David Hadley
Dan Taylor
Cobi Tittle
Ashley Brookman
Bill Janusch
Michael Tune (Chair)
Clint Faram
Brandon Crisp
Bobby Reading

Commissioners Absent

Michael Kurmes

Staff

Jennifer Drysdale, City Attorney
Emilio Sanchez, Assistant Director Development Services
Peggy Fisher, Administrative Assistant

REGULAR SESSION

1. Call to Order – 6:00 PM

Invocation – David Hadley

Pledge of Allegiance

Texas Pledge

2. Citizen Appearance

None

3. Consent Agenda

- A.** Consider approval of the minutes from February 25, 2025 Planning and Zoning Regular Commission meeting. (Staff Contact: Tony McIlwain, Director Development Services).
- B.** Hidden Vistas, Phase 10; Lots 1 & 2, Block 1 (Case 24-168): Consider approval of a final plat of Hidden Vistas, Phase 10; Lots 1 & 2, Block 1,

addressed as 930 Hidden Vistas BLVD. (Staff Contact: Lidon Pearce, Principal Planner)

- C. Plantation Phase 1, Lot 1R, Block 1 (Case24-254): Consider and take possible action on a replat for Plantation Phase 1, Lot 1R, Block 1 addition; addressed as 1180 E Hidden Creek PKWY. (**Staff Contact: Emilio Sanchez, Development Services Deputy Director**)

Motion made by Commissioner Clint Faram and second by Commissioner Brandon Crisp to approve the consent agenda.

Motion passed, 8-0. Commissioner Michael Kurmes was absent.

4. Public Hearing

None

5. Reports and Presentations

None

6. General

None

7. Community Interest Items

None

8. Executive Session

In accordance with Chapter 551 of the Texas Government Code, the City Commission may convene in Executive Session in the City Council Workroom in City Hall to conduct a closed meeting to discuss any item listed on this Agenda.

A. **Pending or Contemplated Litigation or to Seek the Advice of the City of Attorney Pursuant to Section 551.071**

9. Adjourn

There being no further business Chair Michael Tune adjourned the meeting.
Time – 6:01PM

Peggy Fisher
Administrative Assistant
Recording Secretary

Planning & Zoning Commission Meeting

DEPARTMENT: Development Services
FROM: Lidon Pearce, Principal Planner
MEETING: March 25, 2025

SUBJECT:

Cedar Ridge Addition; Lots 1-7R1 & 1-7R2, Block 1 (Case 24-241): Consider approval of a replat of Cedar Ridge Addition; Lots 1-7R1 & 1-7R2, Block 1, addressed as 601 SW Alsbury BLVD. (Staff Contact: Lidon Pearce, Principal Planner)

SUMMARY:

On August 19, 2024, an application was submitted by Marcus Miller with Lonestar Land Surveying on behalf of Clark Stricklin with Impact Family Church (owner) for a replat of approximately 4.383 acres, to create 2 lots for non-residential development.

The plat is administratively complete and meets the requirements of Appendix A – Subdivision and Development Regulations.

RECOMMENDATION:

Approve the replat for Cedar Ridge Addition, Lots 1-7R1 & 1-7R2, Block .

PRIOR ACTION/INPUT (Council, Boards, Citizens):

N/A

REFERENCE:

[City of Burleson, TX PLAT REQUIREMENTS](#)

FISCAL IMPACT:

N/A

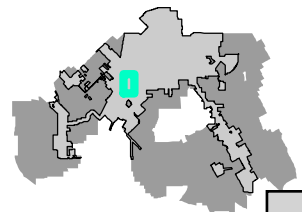
STAFF CONTACT:

Lidon Pearce, CNU-A, AICP
Principal Planner
lpearcel@burlesontx.com

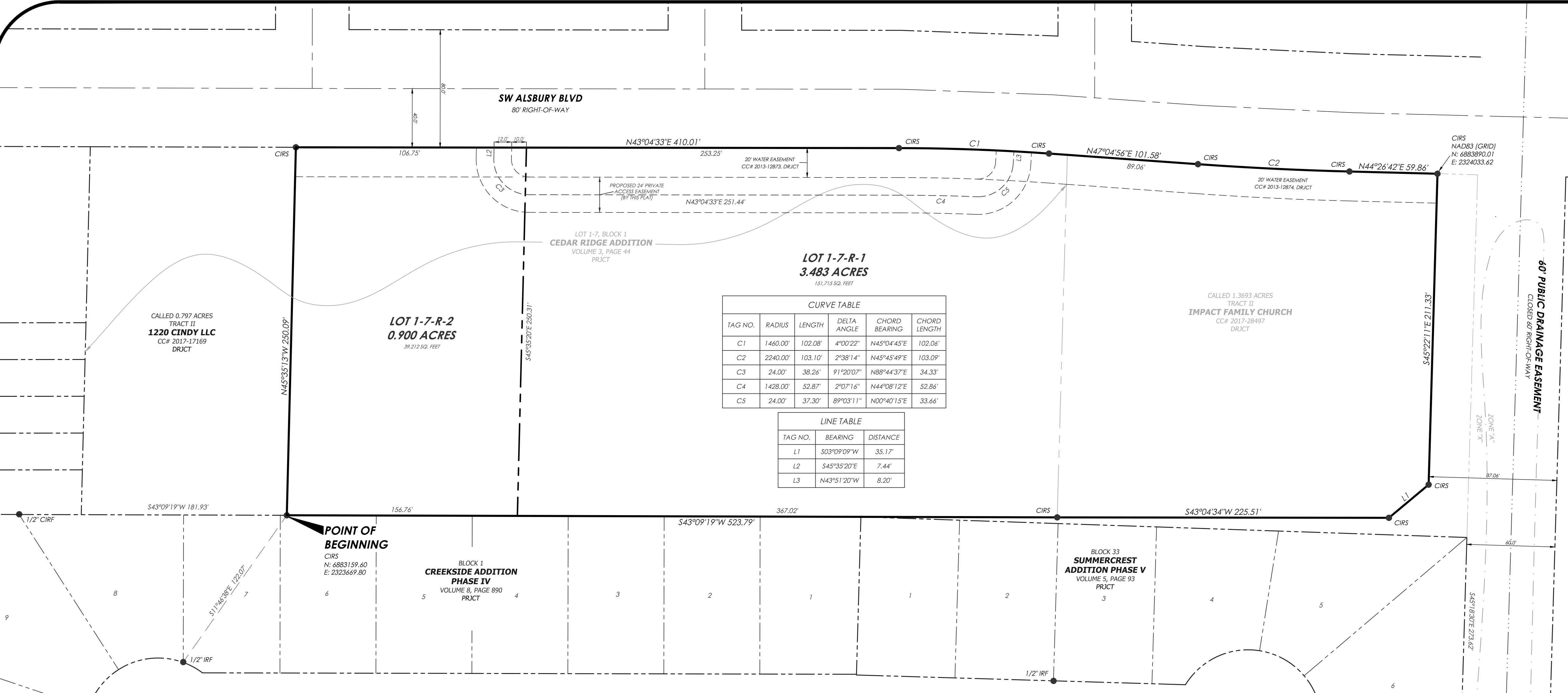
817-426-9649



Replat
Lots 1-7R1 & 1-7R2, Block 1
Cedar Ridge Addition
Case 24-241



Vicinity Map



**LOT 1-7-R-1
3.483 ACRES**
131,715 SQ. FEET

TAG NO.	RADIUS	LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	1460.00'	102.08'	4°00'22"	N45°04'45"E	102.06'
C2	2240.00'	103.10'	2°38'14"	N45°45'49"E	103.09'
C3	24.00'	38.26'	91°20'07"	N88°44'37"E	34.33'
C4	1428.00'	52.87'	2°07'16"	N44°08'12"E	52.86'
C5	24.00'	37.30'	89°03'11"	N00°40'15"E	33.66'

LINE TABLE

TAG NO.	BEARING	DISTANCE
L1	S03°09'09"W	35.17'
L2	S45°35'20"E	7.44'
L3	N43°51'20"W	8.20'

NOW THEREFORE KNOWN ALL MEN BY THESE PRESENTS:

THAT IMPACT FAMILY CHURCH, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN BEFORE DESCRIBED PROPERTY AS **LOTS 1-7-R-1 AND 1-7-R-2, CEDAR RIDGE ADDITION**, AN ADDITION TO THE CITY OF BURLESON, JOHNSON COUNTY, TEXAS, AND DO HEREBY DEDICATE TO THE PUBLIC USE FOREVER ALL STREETS, RIGHTS-OF-WAY, ALLEYS AND EASEMENTS SHOWN THEREON, THE CITY, COUNTY, OR ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS IN WHICH ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF ITS RESPECTIVE SYSTEMS ON ANY OF THESE EASEMENTS, AND THE CITY, COUNTY, OR ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS AND EGRESS TO AND FROM AND UPON THE SAID EASEMENT FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, AND PATROLLING, WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE, THIS PLAT APPROVED SUBJECT TO ALL PLATING ORDINANCES, RULES, REGULATIONS, AND RESOLUTIONS OF THE CITY OF BURLESON, TEXAS OR JOHNSON COUNTY.

IMPACT FAMILY CHURCH
NAME:
TITLE:
DATE: / /

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED _____ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN.

WITNESS MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2025.

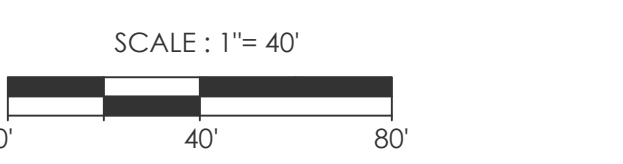
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

NOTES

- THE BASIS OF BEARING IS THE TEXAS COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983, NORTH CENTRAL ZONE, 4202.
- CITY OF BURLESON WILL BE RESPONSIBLE FOR ALL FLOODPLAIN REGULATIONS AS IT RELATES TO DEVELOPMENT. ALL FUTURE PROPOSED DEVELOPMENT SHALL FOLLOW THE CITY OF BURLESON'S FLOODPLAIN REGULATIONS.
- CITY OF BURLESON WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF SAID DRAINAGE WAYS OR FOR THE CONTROL OR EROSION.
- ALL BUILDINGS OR STRUCTURES SHALL BE CONSTRUCTED SUCH THAT ALL GROUND LEVEL, EXTERIOR SIDES OF THE BUILDING ARE WITHIN 150 FEET OF A DEDICATED STREET OR FIRE LANE. IF THE 150 FEET CANNOT BE REACHED FROM A PUBLIC STREET, A FIRE LANE CAPABLE OF SUPPORTING 80,000 LBS SHALL BE REQUIRED ON SITE AT TIME OF CONSTRUCTION.
- PROPERTY IS LOCATED WITHIN THE CITY LIMITS OF BURLESON.
- ACCORDING TO THE FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 48251C0065J DATED DECEMBER 4, 2012, THE SUBJECT PROPERTY IS LOCATED WITHIN THE FOLLOWING ZONES: ZONE "X" - AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.
- THE PURPOSE OF THIS REPLAT IS TO SUBDIVIDE LOTS 1-7 INTO 2 COMMERCIAL LOTS, BEING LOTS 1-7-R-1 AND 1-7-R-2.
- THIS PLAT DOES NOT ALTER OR REMOVE EXISTING DEED RESTRICTIONS OR COVENANTS, IF ANY, ON THIS PROPERTY.
- THE COMMON ACCESS EASEMENT IS FOR THE USE OF THE FOLLOWING PROPERTIES: LOTS 1-7-R-1 & 1-7-R-2, BLOCK 1, CEDAR RIDGE ADDITION.
NO IMPROVEMENTS SHALL BE MADE THAT IMPEDE INGRESS AND/OR EGRESS ALONG THIS EASEMENT. THE COMMON ACCESS EASEMENT SHALL BE MAINTAINED BY THE PROPERTY OWNER.
- THE UNDERSIGNED DOES COVENANT AND AGREE THAT THE PRIVATE ACCESS EASEMENT MAY BE UTILIZED BY ANY PERSON OR THE GENERAL PUBLIC FOR INGRESS AND EGRESS TO OTHER REAL PROPERTY, AND FOR THE PURPOSE OF GENERAL PUBLIC VEHICULAR AND PEDESTRIAN USE AND ACCESS, AND FOR FIRE DEPARTMENT AND EMERGENCY USE, IN, ALONG, UPON, AND ACROSS SAID PREMISES, WITH THE RIGHT AND PRIVILEGE AT ALL TIMES OF THE CITY OF BURLESON, ITS AGENTS, EMPLOYEES, WORKMEN, AND REPRESENTATIVES HAVING INGRESS, EGRESS, AND REGRESS IN, ALONG, UPON, AND ACROSS SAID PREMISES. MAINTENANCE OF PRIVATE ACCESS EASEMENTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

LEGEND
DRCT = DEED RECORDS, JOHNSON COUNTY, TEXAS
PRCT = PLAT RECORDS, JOHNSON COUNTY, TEXAS
CCR# = COUNTY CLERK'S FILE NUMBER
IRF = IRON ROD FOUND
IRS = 5/8" CAPPED IRON ROD SET STAMPED "REALSEARCH"
JCSUD = JOHNSON COUNTY SPECIAL UTILITY DISTRICT

OWNER(S)
IMPACT FAMILY CHURCH
CONTACT: CLARK STRICKLIN
601 SW ALSBURY BLVD
BURLESON, TX 76028



STANDARD NOTES

- THE FLOW OF WATER OR CONSTRUCTING IMPROVEMENTS IN THE DRAINAGE EASEMENTS, AND FILLING OR OBSTRUCTION OF THE FLOODWAY IS PROHIBITED.
- THE EXISTING CREEKS OR DRAINAGE CHANNELS TRaversing ALONG OR ACROSS THIS ADDITION WILL REMAIN AS OPEN CHANNELS AND WILL BE MAINTAINED BY THE INDIVIDUAL OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO DRAINAGE COURSES ALONG OR ACROSS SAID LOTS. CITY OF BURLESON WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF SAID DRAINAGE WAYS OR FOR THE CONTROL OF EROSION.
- CITY OF BURLESON WILL NOT BE RESPONSIBLE FOR ANY DAMAGE, PERSONAL INJURY OR LOSS OF LIFE OR PROPERTY OCCASIONED BY FLOODING OR FLOOD CONDITIONS.
- ANY PUBLIC UTILITY, INCLUDING CITY OF BURLESON, SHALL HAVE THE RIGHT TO MOVE AND KEEP MOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION OR MAINTENANCE OR EFFICACY OF ITS RESPECTIVE SYSTEMS IN ANY OF THE EASEMENTS SHOWN ON THE PLAT, AND ANY PUBLIC UTILITY, INCLUDING CITY OF BURLESON, SHALL HAVE THE RIGHT AT ALL TIMES OF INGRESS AND EGRESS TO AND FROM SAID EASEMENTS FOR THE PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTION, PATROLLING, MAINTAINING AND ADDING TO OR REMOVING ALL OR PART OF ITS RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE.
- ALL BUILDING SETBACKS ARE SUBJECT TO CURRENT CITY OF BURLESON DEVELOPMENT REGULATIONS.
- THE REQUIREMENT OF PUBLIC INFRASTRUCTURE WAS BASED ON THE UTILITY EXHIBIT DATED DECEMBER 3, 2024, SUBMITTED WITH THIS PLAT FOR REVIEW TO THE CITY OF BURLESON. ANY ADDITIONAL STRUCTURES PROPOSED ON THIS PROPERTY MAY REQUIRE THE EXISTING WATER LINES TO BE IMPROVED AND A FIRE HYDRANT(S) INSTALLED FOR FIRE PROTECTION. PLEASE CONTACT THE CITY OF BURLESON'S DEVELOPMENT SERVICES DEPARTMENT PRIOR TO ANY DEVELOPMENT PERMIT ISSUED.
- WATER PROVIDER - CITY OF BURLESON (817) 426-9801
- ELECTRIC PROVIDER - ONCOR ELECTRIC DELIVERY COMPANY (888) 313-6862
- THE CITY OF BURLESON RESERVES THE RIGHT TO REQUIRE MINIMUM FINISH FLOOR ELEVATION ON ANY LOT WITHIN THIS SUBDIVISION, THE MINIMUM ELEVATIONS SHOWN ARE BASED ON THE MOST CURRENT INFORMATION AVAILABLE AT THE TIME THE PLAT IS FILED AND MAY BE SUBJECT TO CHANGE.
- FOR ALL SINGLE-FAMILY DETACHED AND DUPLEX RESIDENCES, EXCLUDING TOWNHOUSES AND APARTMENTS, FIRE HYDRANTS SHALL BE SPACED TO HAVE A FIRE HOSE LAYING DISTANCE OF NO GREATER THAN 500 FEET. THE FIRE HOSE LAYING DISTANCE IS MEASURED BY THE LAYING OF FIRE APPARATUS HOSE LINES ALONG THE RIGHT-OF-WAY OR ACCESS EASEMENTS FROM THE NEAREST WATER SUPPLY ON A STREET TO THE MAIN ENTRANCE OF THE BUILDING.
- FOR COMMERCIAL BUILDINGS, FIRE HYDRANTS SHALL BE SPACED TO HAVE A FIRE HOSE LAY DISTANCE OF NO GREATER THAN 300 FEET. THE FIRE HOSE LAYING DISTANCE IS MEASURED BY THE LAYING OF FIRE APPARATUS HOSE LINES ALONG THE RIGHT-OF-WAY OR ACCESS EASEMENTS FROM THE NEAREST WATER SUPPLY ON A STREET TO THE MAIN ENTRANCE OF THE BUILDING.
- THE MINIMUM FIRE FLOW REQUIREMENTS FOR ONE- AND TWO-FAMILY DWELLINGS HAVING A FIRE-FLOW CALCULATION AREA WHICH DOES NOT EXCEED 3,600 SQUARE FEET SHALL BE 1,500 GALLONS PER MINUTE. FIRE FLOW AND FLOW DURATION FOR DWELLINGS HAVING A FIRE-FLOW CALCULATION AREA IN EXCESS OF 3,600 SQUARE FEET SHALL NOT BE LESS THAN THAT SPECIFIED IN TABLE B105.1 OF THE MOST CURRENT ADOPTED INTERNATIONAL FIRE CODE.
- ALL FIRE HYDRANTS MUST PROVIDE A MINIMUM OF 35 PSI STATIC PRESSURE AND A 20 PSI RESIDUAL PRESSURE.
- THE MINIMUM FIRE FLOW AND FLOW DURATION FOR BUILDINGS OTHER THAN ONE-AND TWO-FAMILY DWELLING SHALL BE AS SPECIFIED THE MOST CURRENT ADOPTED INTERNATIONAL FIRE CODE.
- THE CITY OF BURLESON IS NOT RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE OR USE OF ANY STORM WATER STORAGE FACILITY AND ASSOCIATED DRAINAGE EASEMENTS HEREINAFTER REFERRED TO AS "IMPROVEMENTS," TO BE DEVELOPED AND CONSTRUCTED BY DEVELOPER OR SUCCESSORS. DEVELOPER WILL INDEMNIFY, DEFEND AND HOLD HARMLESS THE CITY OF BURLESON, ITS OFFICERS, EMPLOYEES AND AGENTS FROM ANY DIRECT OR INDIRECT LOSS, DAMAGE, LIABILITY OR EXPENSE AND ATTORNEYS' FEES FOR ANY NEGLIGENCE WHATSOEVER, ARISING OUT OF THE DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE CONDITION OR USE OF THE IMPROVEMENTS, INCLUDING ANY NON-PERFORMANCE OF THE FOREGOING. DEVELOPER WILL REQUIRE ANY SUCCESSOR IN INTEREST TO ACCEPT FULL RESPONSIBILITY AND LIABILITY FOR THE IMPROVEMENTS. ALL OF THE ABOVE SHALL BE COVENANTS RUNNING WITH THE LAND. IT IS EXPRESSLY CONTEMPLATED THAT DEVELOPER SHALL IMPOSE THESE COVENANTS UPON LOT(S) 1-7-R-1 & 1-7-R-2 ABUTTING, ADJACENT OR SERVED BY THE IMPROVEMENTS THE FULL OBLIGATION AND RESPONSIBILITY OF MAINTAINING AND OPERATING SAID IMPROVEMENTS.
- THE UNDERSIGNED DOES COVENANT AND AGREE THAT THE PRIVATE ACCESS EASEMENT MAY BE UTILIZED BY ANY PERSON OR THE GENERAL PUBLIC FOR INGRESS AND EGRESS TO OTHER REAL PROPERTY, AND FOR THE PURPOSE OF GENERAL PUBLIC VEHICULAR AND PEDESTRIAN USE AND ACCESS, AND FOR FIRE DEPARTMENT AND EMERGENCY USE, IN, ALONG, UPON, AND ACROSS SAID PREMISES, WITH THE RIGHT AND PRIVILEGE AT ALL TIMES OF THE CITY OF BURLESON, ITS AGENTS, EMPLOYEES, WORKMEN, AND REPRESENTATIVES HAVING INGRESS, EGRESS, AND REGRESS IN, ALONG, UPON, AND ACROSS SAID PREMISES. MAINTENANCE OF PRIVATE ACCESS EASEMENTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF JOHNSON

WHEREAS, IMPACT FAMILY CHURCH, OWNER OF A 4.383 ACRE TRACT OF LAND SITUATED IN THE MEMUCAN HUNT SURVEY, ABSTRACT NUMBER 383, CITY OF BURLESON, JOHNSON COUNTY, TEXAS, AND BEING A PORTION OF LOT 1-7, BLOCK 1, CEDAR RIDGE ADDITION, AN ADDITION TO THE CITY OF BURLESON, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 3, PAGE 44, PLAT RECORDS, JOHNSON COUNTY, TEXAS, AND BEING ALL OF A CALLED 1,3693 ACRE TRACT OF LAND (TRACT II) AS DESCRIBED IN THE DEED TO IMPACT FAMILY CHURCH, FILED FOR RECORD IN COUNTY CLERK'S INSTRUMENT NO. 2017-28497, DEED RECORDS, JOHNSON COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 5/8" CAPPED IRON ROD SET STAMPED "LONESTAR RPLS6882" IN THE SOUTHEAST LINE OF SAID LOT 1-7, SAME BEING THE EASTERNMOST CORNER OF A CALLED 0.797 ACRE TRACT OF LAND (TRACT II) AS DESCRIBED IN THE DEED TO 1220 CINDY LLC, FILED FOR RECORD IN COUNTY CLERK'S INSTRUMENT NO. 2017-17169, DEED RECORDS, JOHNSON COUNTY, TEXAS, AND BEING IN THE NORTHWEST LINE OF LOT 6, BLOCK 1, CREEKSIDE ADDITION, PHASE IV, AN ADDITION TO THE CITY OF BURLESON, JOHNSON COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN VOLUME 8, PAGE 890, PLAT RECORDS, JOHNSON COUNTY, TEXAS, FROM WHICH A 1/2" IRON ROD FOUND FOR THE SOUTHERNMOST CORNER OF LOT 7, OF SAID BLOCK 1, BEARS FOR REFERENCE SOUTH 11 DEGREES 46 MINUTES 38 SECONDS EAST, A DISTANCE OF 122.07 FEET, AND FROM WHICH A 1/2" CAPPED IRON ROD FOUND (ILLEGIBLE) FOR THE WESTERNMOST CORNER OF LOT 8, OF SAID BLOCK 1, BEARS FOR REFERENCE SOUTH 43 DEGREES 09 MINUTES 19 SECONDS WEST, A DISTANCE OF 181.93 FEET;

THENCE NORTH 45 DEGREES 35 MINUTES 13 SECONDS WEST, ALONG THE NORTHEAST LINE OF SAID CALLED 0.797 ACRE TRACT, A DISTANCE OF 250.09 FEET, TO A 5/8" CAPPED IRON ROD SET STAMPED "LONESTAR RPLS6882" FOR THE NORTH CORNER OF SAID CALLED 0.797 ACRE TRACT, AND BEING IN THE NORTHWEST LINE OF SAID LOT 1-7, BEING COMMON WITH THE SOUTHEAST RIGHT-OF-WAY LINE OF ALSBURY BOULEVARD, AN 80' RIGHT-OF-WAY;

THENCE NORTH 43 DEGREES 04 MINUTES 33 SECONDS EAST, ALONG SAID COMMON LINE, A DISTANCE OF 410.01 FEET, TO A 5/8" CAPPED IRON ROD SET STAMPED "LONESTAR RPLS6882", BEING AT THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 1460.00 FEET;

THENCE ALONG SAID CURVE TO THE RIGHT, AND IN A NORTHEASTERLY DIRECTION, THROUGH A CENTRAL ANGLE OF 04 DEGREES 00 MINUTES 22 SECONDS, AN ARC LENGTH OF 102.08 FEET, AND HAVING A LONG CHORD WHICH BEARS NORTH 45 DEGREES 04 MINUTES 45 SECONDS EAST, A CHORD LENGTH OF 102.06 FEET, TO A 5/8" CAPPED IRON ROD SET STAMPED "LONESTAR RPLS6882";

THENCE NORTH 47 DEGREES 04 MINUTES 56 SECONDS EAST, CONTINUING ALONG SAID COMMON LINE, A DISTANCE OF 101.58 FEET, TO A 5/8" CAPPED IRON ROD SET STAMPED "LONESTAR RPLS6882", BEING AT THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 2240.00 FEET;

THENCE ALONG SAID CURVE TO THE LEFT, AND IN A NORTHEASTERLY DIRECTION, THROUGH A CENTRAL ANGLE OF 02 DEGREES 38 MINUTES 14 SECONDS, AN ARC LENGTH OF 103.10 FEET, AND HAVING A LONG CHORD WHICH BEARS NORTH 45 DEGREES 45 MINUTES 49 SECONDS EAST, A CHORD LENGTH OF 103.09 FEET, TO A 5/8" CAPPED IRON ROD SET STAMPED "LONESTAR RPLS6882";

THENCE NORTH 44 DEGREES 26 MINUTES 42 SECONDS EAST, CONTINUING ALONG SAID COMMON LINE, A DISTANCE OF 59.86 FEET, TO A 5/8" CAPPED IRON ROD SET STAMPED "LONESTAR RPLS6882" FOR THE NORTH CORNER OF SAID CALLED 1.3693 ACRE TRACT;

THENCE SOUTH 45 DEGREES 22 MINUTES 11 SECONDS EAST, DEPARTING SAID COMMON LINE, AND ALONG THE NORTHEAST LINE OF SAID CALLED 1.3693 ACRE TRACT, A DISTANCE OF 211.33 FEET, TO A 5/8" CAPPED IRON ROD SET STAMPED "LONESTAR RPLS6882" FOR THE UPPER EAST CORNER OF SAID CALLED 1.3693 ACRE TRACT;

THENCE SOUTH 03 DEGREES 09 MINUTES 09 SECONDS WEST, ALONG THE EAST LINE OF SAID CALLED 1.3693 ACRE TRACT, A DISTANCE OF 35.17 FEET, TO A 5/8" CAPPED IRON ROD SET STAMPED "LONESTAR RPLS6882" FOR THE LOWER EAST CORNER OF SAID CALLED 1.3693 ACRE TRACT;

THENCE SOUTH 43 DEGREES 04 MINUTES 34 SECONDS WEST, ALONG THE SOUTHEAST LINE OF SAID CALLED 1.3693 ACRE TRACT, A DISTANCE OF 225.51 FEET, TO A 5/8" CAPPED IRON ROD SET STAMPED "LONESTAR RPLS6882" FOR THE SOUTHERNMOST CORNER OF SAID CALLED 1.3693 ACRE TRACT, SAME BEING THE EAST CORNER OF SAID LOT 1-7;

THENCE SOUTH 43 DEGREES 09 MINUTES 19 SECONDS WEST, ALONG THE SOUTHEAST LINE OF SAID LOT 1-7, AT A DISTANCE OF 133.48 FEET, PASSING THE WESTERNMOST ADDITION CORNER OF SUMMERCREST ADDITION, PHASE V, AN ADDITION TO THE CITY OF BURLESON, ACCORDING TO THE PLAT RECORDED IN VOLUME 5, PAGE 93, PLAT RECORDS, JOHNSON COUNTY, TEXAS, SAME BEING THE NORTHERNMOST ADDITION CORNER OF SAID CREEKSIDE ADDITION, PHASE IV, AND CONTINUING ALONG SAID SOUTHEAST LINE, BEING COMMON WITH THE NORTHWEST LINE OF SAID CREEKSIDE ADDITION, PHASE IV, A TOTAL DISTANCE OF 523.79 FEET, TO THE **POINT OF BEGINNING** AND CONTAINING 4.383 ACRES (190,926 SQUARE FEET) OF LAND, MORE OR LESS.

FILING BLOCK

PLAT FILED _____ / _____ / _____
INSTRUMENT #: 2024 - _____
DRAWER _____ SLIDE _____
BY: _____
JOHNSON COUNTY CLERK
BY: _____
DEPUTY CLERK

APPROVED BY THE PLANNING AND ZONING COMMISSION OF BURLESON, TEXAS

THIS THE _____ DAY OF _____, 2024.

BY: _____
CHAIR OF PLANNING AND ZONING COMMISSION

BY: _____
CITY SECRETARY

SURVEYOR'S CERTIFICATION

I, MARSHALL W. MILLER, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED, UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BURLESON, TEXAS.

EXECUTED THIS THE _____ DAY OF FEBRUARY, 2025.

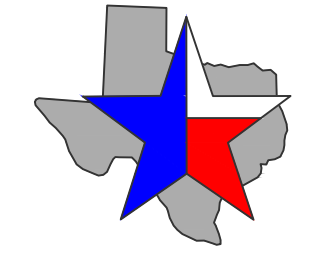
PRELIMINARY
This document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.

MARSHALL W. MILLER
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 6882

PROJECT NUMBER: 240634 DATE: FEBRUARY 24, 2025
REVISED DATE:
REVISION NOTES:
SHEET 1 OF 1

REPLAT
LOTS 1-7-R-1 AND 1-7-R-2, BLOCK 1
CEDAR RIDGE ADDITION
BEING A REPLAT OF LOT 1-7, AND 1,3693 ACRES OF LAND SITUATED IN THE MEMUCAN HUNT SURVEY, ABSTRACT NUMBER 383, CITY OF BURLESON, JOHNSON COUNTY, TEXAS.
PREPARED: FEBRUARY, 2025

2 LOTS LOCATED WITHIN THE CITY OF BURLESON, TEXAS.
CASE: RP24-241



-LONESTAR-
LAND SURVEYING, LLC
TBPELS FIRM# 10194707
3521 SW WILSHIRE BLVD.,
JOSHUA, TX 76058
817-935-8701
MARSHALL.MILLER@LONESTARLANDSURVEYING.COM

Planning & Zoning Commission Meeting

DEPARTMENT: Development Services
FROM: Lidon Pearce, Principal Planner
MEETING: March 25, 2025

SUBJECT:

Chick-fil-A at 111 NW John Jones (Case 25-036): Consider and take possible action on a resolution for a commercial site plan amendment with a variance to Section 132-115; Accessory building and structure yard regulations; pertaining to drive-thru canopies. (*Staff Contact: Lidon Pearce, Principal Planner*)

SUMMARY:

On October 28, 2024, a commercial site plan amendment with a variance to allow a drive-thru canopy in the front yard setback was submitted by Michelle Kucaba representing Interplan, LLC on behalf of Chick-fil-A, INC. (owners). The request was withdrawn prior to consideration by City Council and was resubmitted on March 3, 2025, as Case 25-036.

Development Overview:

The owners are proposing the construction of a multi-lane canopy over the existing drive-thru pavement adjacent to the building elevation that faces John Jones Drive. The commercial site plan has been attached as part of the proposed resolution, "Exhibit 3". The applicant's request and justification are attached as "Exhibit 4".

The subject property has an existing drive thru along John Jones, which is located in the designated front yard setback for this site. If allowed, the requested canopy would be approximately 3 and ½ feet from the John Jones property line. The zoning code does not allow for the construction of an accessory structure within the front yard setback (20 feet). According to the Zoning Ordinance Sec. 132-115 Accessory, building and structure yard regulations; detached accessory structures shall not be located in the front yard. Of note, gasoline service pump canopies are allowed in the front yard setback but shall be no closer than 10 feet to the property line.

If the variance is not approved by City Council, then the applicant shall submit a revised commercial site plan to staff reflecting the approved or disapproved resolution(s) related to the requested variance. The commercial site plan amendment will not be approved by staff until all conditions relating to all Council approved resolutions have been met.

Site Plan Conformance

<i>Required</i>	<i>Staff's Findings</i>
<u>Lot Size, Coverage and Setbacks</u> Specific lot information as shown on site plan	Complies. Site plan is in compliance with all development regulations with the exception of the canopy request.
<u>Landscaping –</u> 20% of Total Site shall be landscaped: 11,128 S.F.	Complies. Landscaping proposed: 13.923 S.F.
<u>Parking Requirement –</u> 1 space for every 3 seats	Complies. Parking provided: 45 spaces and has an existing parking agreement with HEB

RECOMMENDATION:

Recommend approval to City Council for a resolution for the commercial site plan amendment with a variance to Section 132-115.

PRIOR ACTION/INPUT (Council, Boards, Citizens):

Dec. 3, 2024 – P&Z recommend approval (6-1) of the site plan amendment with a variance for the canopy; the request was withdrawn prior to being considered by City Council.

REFERENCE:

[City of Burleson, TX ZONING DISTRICTS](#)

FISCAL IMPACT:

N/A

STAFF CONTACT:

Lidon Pearce, CNU-A, AICP
 Principal Planner
lpearcel@burlesontx.com
 817-426-9649

Site Plan – Chick-fil-A

Location:

- 111 NW John Jones Dr

Applicant:

Michelle Kucaba (Interplan) authorized agent on behalf of Chick-fil-A (owner)

Item for approval:

Commercial site plan amendment with a variance for a drive-thru canopy in the front yard setback (Case 25-036).



Site Plan – Chick-fil-A

Site Plan Amendment(s):

- Parking spaces reoriented
- Light poles relocated
- Relocation of trash enclosure
- Relocation of menu order board and canopy
- Drive thru canopy to be removed and new one built to cover 2 meal delivery lanes



LANDSCAPE REQUIREMENTS

A. STREET TREES

REQUIRED

Large trees: 50 feet OC
Medium trees: 40 feet OC
Small trees: 30 feet OC

1. 20% of the total lot shall be landscape area
55,640 SF x 20%

= 11,128 SF of landscape area

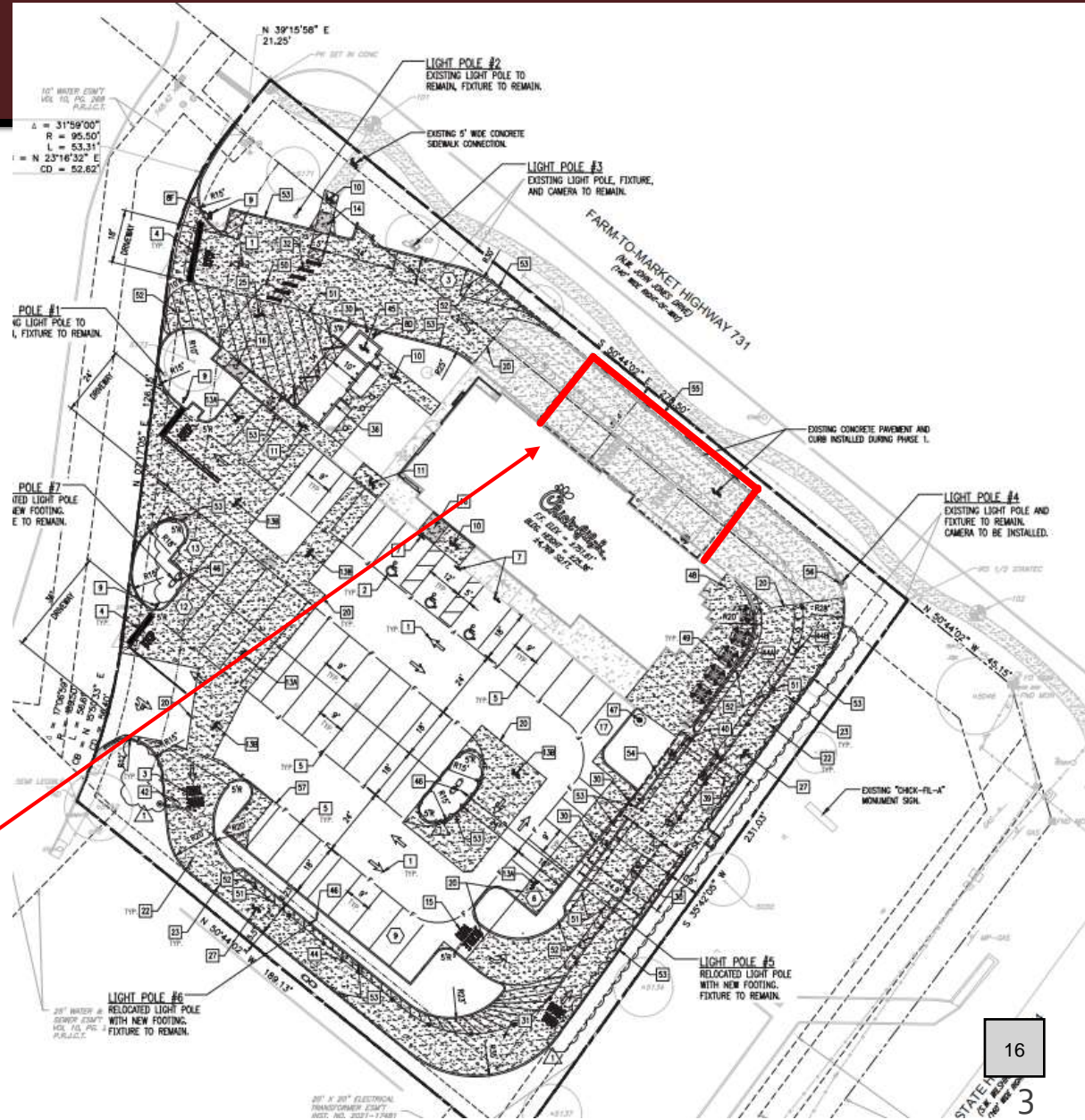
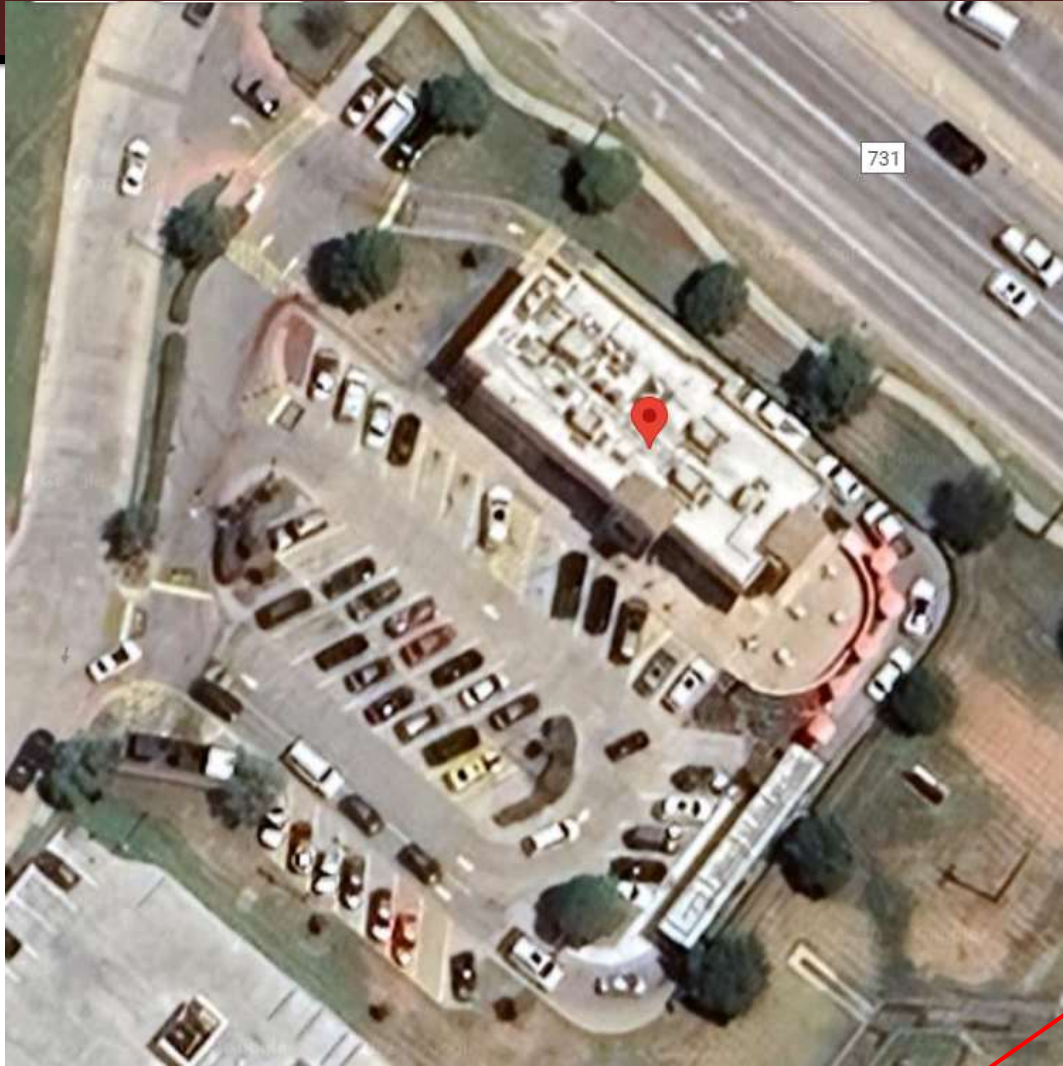
15

PROVIDED

1. Landscape area

= 11,347 SF of landscape area provided

Site Plan – Chick-fil-A



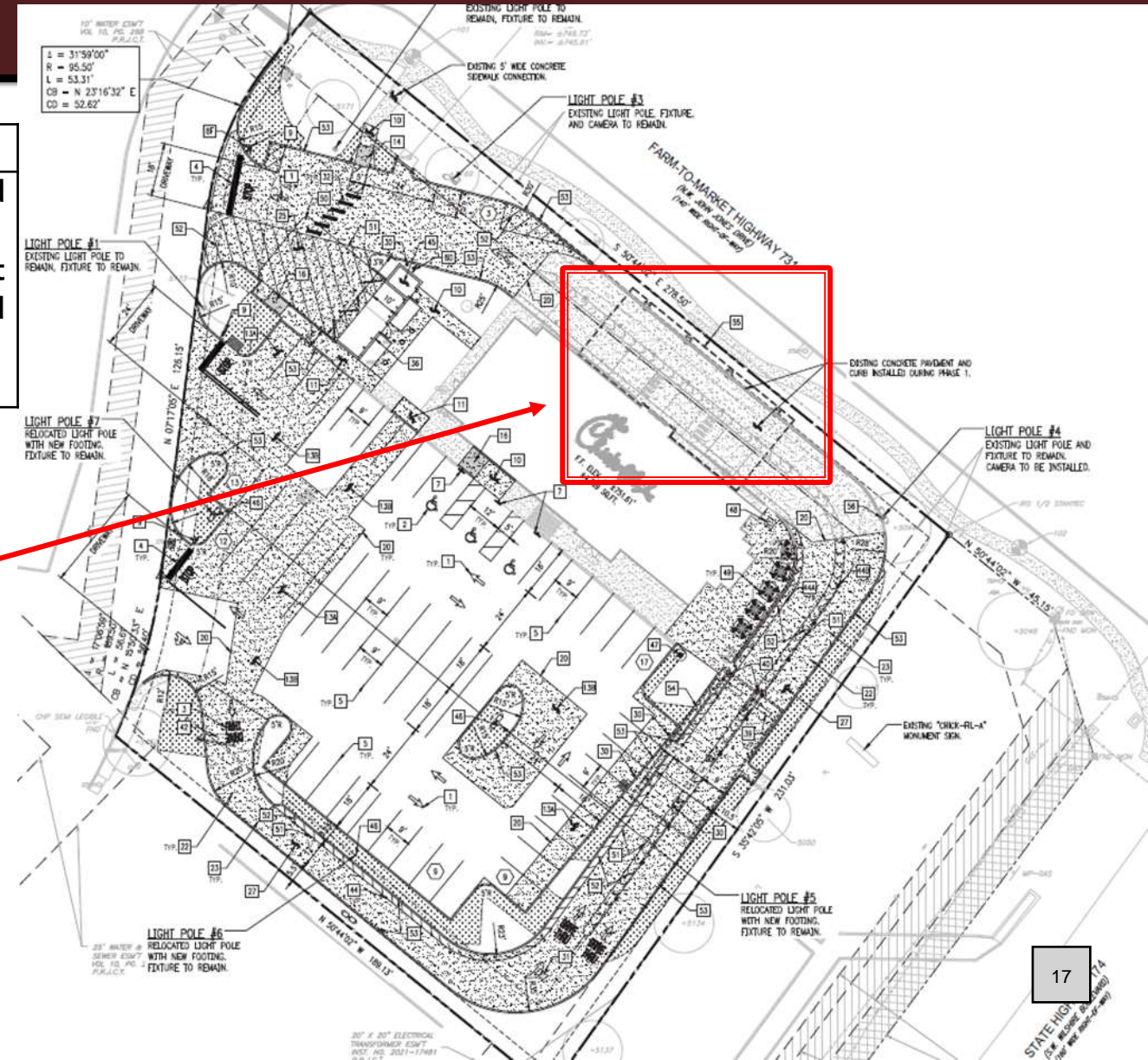
Requested canopy (variance) shown in red

Variance- Chick-fil-A

Variance Requested

Appendix B, Section 132-115; Accessory building and structure yard regulations

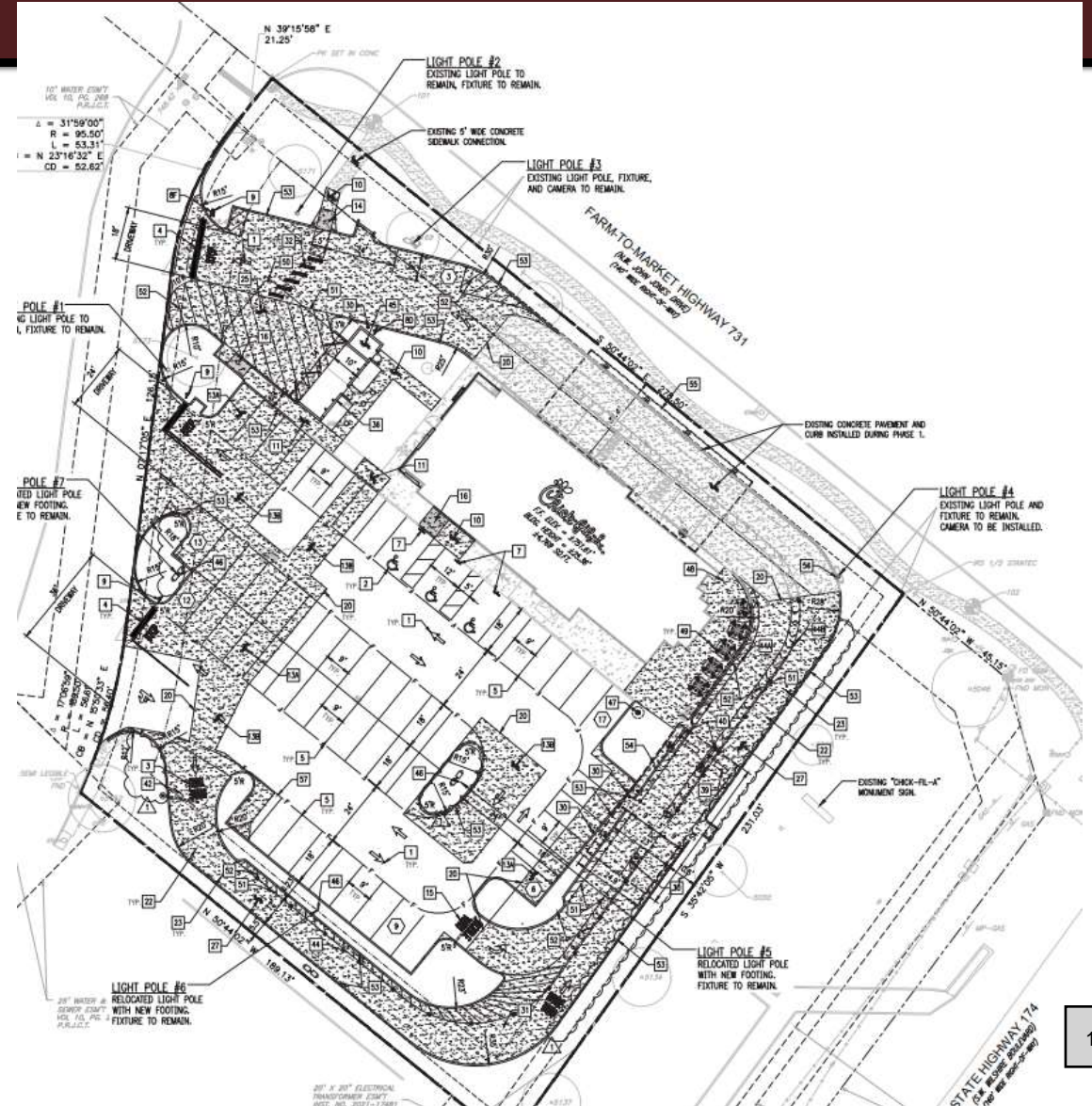
- Requesting a drive thru canopy along frontage of John Jones Drive that is forward of the main building and within the 20 ft minimum front yard setback

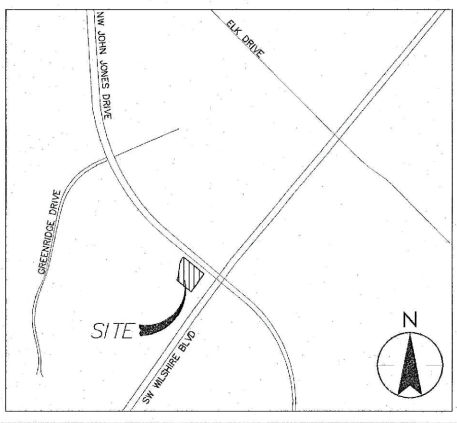


Site Plan – Chick-fil-A

Staff's Recommendation

Staff recommends approval of the resolution for the site plan amendment with a variance for a canopy within the front yard setback.





CITY OF BURLESON, JOHNSON COUNTY, TEXAS VICINITY MAP N.T.S.

TITLE POLICY NOTES:

NO. 2211005732 POLICY DATE: APRIL 7, 2011 OWNER POLICY NO. 2211005732.0 THIS SURVEY WAS PREPARED IN CONJUNCTION WITH THE TITLE COMMITMENT PREPARED BY CHICAGO TITLE INSURANCE COMPANY POLICY NO. 2211005732, DATED APRIL 7, 2011, AND IS SUBJECT TO THE STATE OF FACTS CONTAINED THEREIN, AND LISTED BELOW.

- 1. NAME OF INSURED: CHICK-FIL-A, INC., A GEORGIA CORPORATION
4. THE LAND REFERRED TO IN THIS POLICY IS DESCRIBED AS FOLLOWS: TRACT 1: BEING ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE CITY OF BURLESON, JOHNSON COUNTY, TEXAS AND BEING A PORTION OF A TRACT OF LAND CONVEYED TO HEB GROCERY COMPANY, LP, A TEXAS LIMITED PARTNERSHIP BY DEED RECORDED IN VOLUME 4049, PAGE 588 OF THE DEED RECORDS OF JOHNSON COUNTY, TEXAS...

SCHEDULE "B"

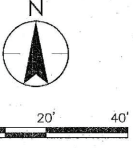
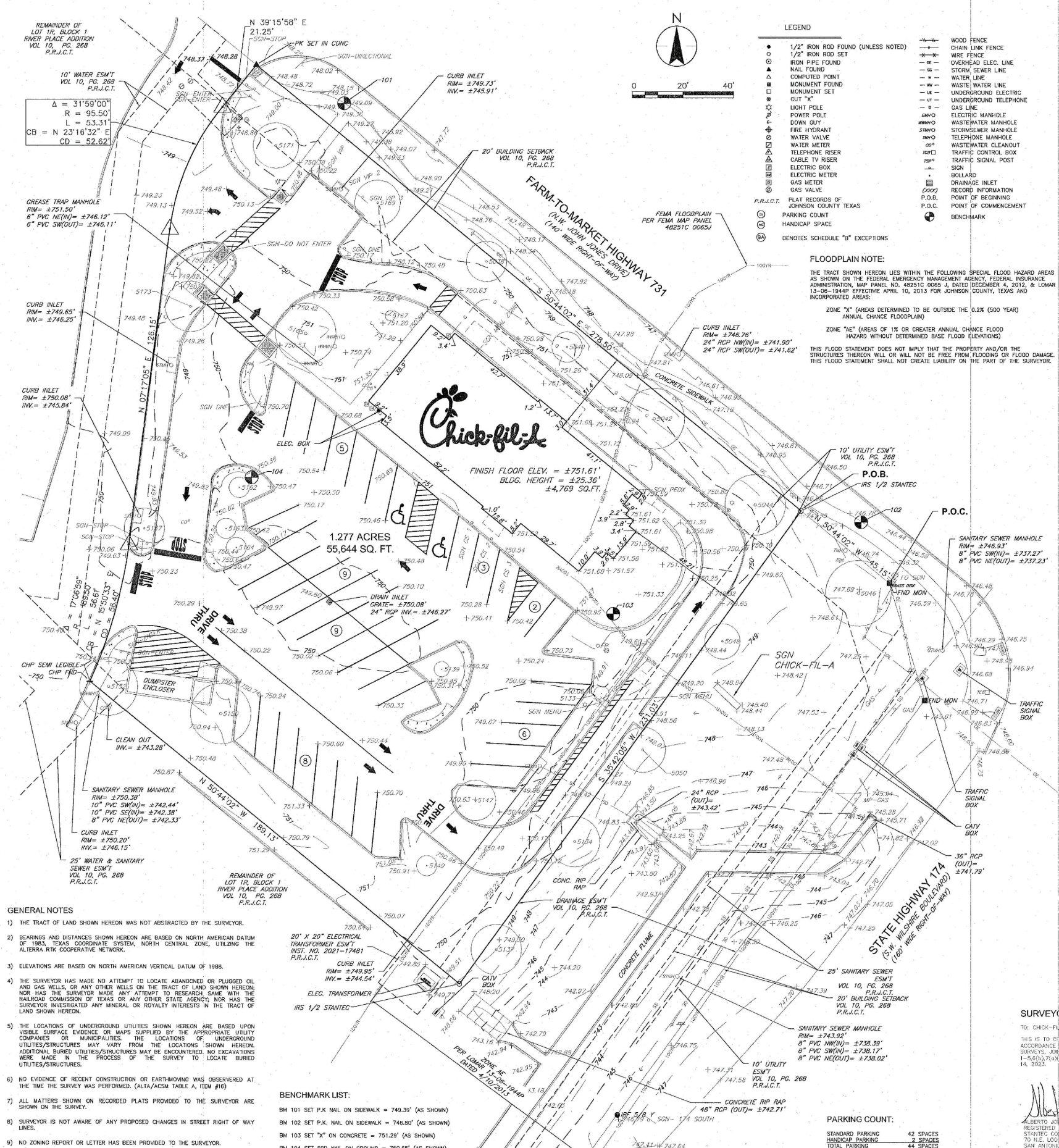
- 1. THE FOLLOWING RESTRICTIVE COVENANTS OF RECORD (HEMIZED BELOW) (WE MUST EITHER INSERT SPECIFIC RECORDING DATA OR DELETE THIS SECTION): VOLUME 4295, PAGE 722, REAL PROPERTY RECORDS, JOHNSON COUNTY, TEXAS, BUT OMITTING ANY COVENANT OR RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN UNLESS ONLY TO THE EXTENT THAT SAID COVENANT (A) IS EXEMPT UNDER CHAPTER 42, SECTION 3607 OF THE UNITED STATES CODE OR (B) RELATES TO HANDICAP BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PERSONS, SUBJECT TO:
2. SHORTAGES IN AREA (TRACT ONE)
ANY DISCREPANCIES, CONFLICTS, OR SHORTAGE IN AREA OR BOUNDARIES LINES, OR ANY ENCROACHMENTS OR PROTRUSIONS, OR ANY OVERLAP OF IMPROVEMENTS. (TRACT TWO)
3. HOMESTEAD OR COMMUNITY PROPERTY OR SURVIVORSHIP RIGHTS, IF ANY, OF ANY SPOUSE OF ANY INSURED.
4. ANY TITLE OR RIGHTS ASSERTED BY ANYONE, INCLUDING BUT NOT LIMITED TO, PERSONS, THE PUBLIC, CORPORATIONS, GOVERNMENTS OR OTHER ENTITIES. (TRACT TWO)
5. TO TIDELANDS, OR LANDS COMPRISING THE SHORES OR BEDS OF NAVIGABLE OR PERENNIAL RIVERS AND STREAMS, LAKES, BAYS, GULFS OR OCEANS, OR
6. TO LANDS BEYOND THE LINE OF THE HARBOR OR BULKHEAD LINES AS ESTABLISHED OR CHANGED BY ANY GOVERNMENT, OR
7. TO FILLED-IN LANDS, OR ARTIFICIAL ISLANDS, OR
8. TO STATUTORY WATER RIGHTS, INCLUDING REPARAN RIGHTS, OR
9. TO THE AREA EXTENDING FROM THE LINE OF MEAN LOW TIDE TO THE LINE OF VEGETATION, OR THE RIGHT OF ACCESS TO THAT AREA OR EASEMENT ALONG AND ACROSS THAT AREA.
10. STANDBY FEES, TAXES AND ASSESSMENTS BY ANY TAKING AUTHORITY FOR THE YEAR 1996, AND SUBSEQUENT YEARS, AND ASSESSMENTS BY ANY TAKING AUTHORITY FOR PRIOR YEARS DUE TO CHANGE IN LAND USAGE OR OWNERSHIP, NOT A SURVEY RELATED ITEM
a. ALL LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF COAL, LIGNITE, OIL, GAS AND OTHER MINERALS, TOGETHER WITH ALL RIGHTS, PRIVILEGES, AND IMMUNITIES RELATING THERETO, APPEARING IN THE PUBLIC RECORDS WHETHER LOCATED IN SCHEDULES A OR NOT. CHANGES, EXCEPTIONS OR RESERVATIONS OF MINERAL INTEREST THAT ARE NOT LISTED, NOT A SURVEY RELATED ITEM
b. THE FOLLOWING ITEMS AS SHOWN OR PROVIDED FOR ON PLAT RECORDED IN VOLUME 10, PAGE 288, PLAT RECORDS, JOHNSON COUNTY, TEXAS:
1) PORTION OF A TEN (10) FOOT WATER EASEMENT, SUBJECT TO, AS SHOWN
2) TEN (10) FOOT UTILITY EASEMENT, SUBJECT TO, AS SHOWN
3) PORTION OF A TWENTY FIVE (25) FOOT WATER & SANITARY SEWER LOCATED IN SOUTHWEST CORNER AREA, SUBJECT TO, AS SHOWN
4) TWENTY (20) FOOT BUILDING LINE ALONG THE NORTHEAST SIDE, SUBJECT TO, AS SHOWN
c. RELATIONSHIP RIGHTS RETAINED IN UTILITY EASEMENT RESERVED BY THE CITY OF BURLESON IN ORDINANCE C-268, DATED FEBRUARY 27, 1992, FILED MAY 29, 1992, RECORDED IN VOLUME 1821, PAGE 868, REAL PROPERTY RECORDS, JOHNSON COUNTY, TEXAS, SUBJECT TO
d. EASEMENTS (S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.
GRANTED TO: TEXAS ELECTRIC SERVICE COMPANY PURPOSE: EASEMENT AND RIGHT OF WAY RECORDING DATE: DECEMBER 22, 1975 RECORDING NO: VOLUME 678, PAGE 700, REAL PROPERTY RECORDS, JOHNSON COUNTY, TEXAS. NOT SUBJECT TO
e. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT:
ENTITLED: WATER WELL AGREEMENT DATED: MARCH 1, 1989 EXECUTED BY: TOM PETERS AND WIFE, RAMONA PETERS, AND GLENN WILSON AND WIFE, RENEE WILSON RECORDING DATE: MARCH 8, 1989 RECORDING NO: VOLUME 1407, PAGE 829, REAL PROPERTY RECORDS, JOHNSON COUNTY, TEXAS WHICH PROVIDES FOR AMONG OTHER THINGS: TERMS, CONDITIONS AND STIPULATIONS REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS, NOT SUBJECT TO
f. INLET LOCATED ON SUBJECT PROPERTY AS SHOWN ON SURVEY LAST REVISED MARCH 17, 2011. EXISTING IMPROVEMENTS SHOWN ON SURVEY.
g. AN UNRECORDED LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH THEREIN AS DISCLOSED BY THE DOCUMENT.
ENTITLED: MEMORANDUM OF LEASE LESSOR: HEB GROCERY COMPANY, LP LESSEE: JPMORGAN CHASE BANK, N.A. RECORDING DATE: FEBRUARY 27, 2011 RECORDING NO: UNDER CLERK'S FILE NO. 2011-3528, REAL PROPERTY RECORDS, JOHNSON COUNTY, TEXAS (AFFECTS TRACT 1 ONLY), SUBJECT TO
h. TERMS, PROVISIONS, CONDITIONS AND COVENANTS CONTAINED IN GROUND LEASE AGREEMENT, AS ENTERED BY SHORT FORM LEASE BY MAP BETWEEN HEB GROCERY COMPANY, LP, A TEXAS LIMITED PARTNERSHIP AND CHICK-FIL-A, INC., A GEORGIA CORPORATION, DATED APRIL 4, 2011, FILED FOR RECORD ON APRIL 7, 2011 AND RECORDED UNDER CLERK'S FILE NUMBER NO. 2011000891, REAL PROPERTY RECORDS, JOHNSON COUNTY, TEXAS, SUBJECT TO
i. ANY AND ALL LIENS ARISING BY REASON OF UNPAID BILLS OR CLAIMS FOR WORK PERFORMED OR MATERIALS FURNISHED IN CONNECTION WITH IMPROVEMENTS PLACED, OR TO BE PLACED, UPON THE SUBJECT LAND, COMMONWEALTH LAND TITLE INSURANCE COMPANY FORM T-1 (REV. 02/01/10) (ORDER #: 2211005732), PAGE 4 POLICY NO. 2211005732.0 CONTINUATION OF SCHEDULE B ORDER NO. 2211005732, NOT A SURVEY RELATED ITEM
j. SECTION 14 OF THE CONDITIONS AND STIPULATIONS OF THIS POLICY IS HEREBY DELETED.

GENERAL NOTES

- 1) THE TRACT OF LAND SHOWN HEREON WAS NOT ABSTRACTED BY THE SURVEYOR.
2) BEARINGS AND DISTANCES SHOWN HEREON ARE BASED ON NORTH AMERICAN DATUM OF 1983, TEXAS COORDINATE SYSTEM, NORTH CENTRAL ZONE, UTILIZING THE ALTA/RK COOPERATIVE NETWORK.
3) ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.
4) THE SURVEYOR HAS MADE NO ATTEMPT TO LOCATE ABANDONED OR PLUGGED OIL AND GAS WELLS, OR ANY OTHER WELLS ON THE TRACT OF LAND SHOWN HEREON. NEAR HAS THE SURVEYOR MADE ANY ATTEMPT TO RESEARCH SAME, WITH THE HALFOUR COMMISSION OF TEXAS OR ANY OTHER STATE AGENCY; NOR HAS THE SURVEYOR INVESTIGATED ANY MINERAL OR ROYALTY INTERESTS IN THE TRACT OF LAND SHOWN HEREON.
5) THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON VISIBLE SURFACE EVIDENCE OR MAPS SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES OR MUNICIPALITIES. THE LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM THE LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE IN THE PROCESS OF THE SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.
6) NO EVIDENCE OF RECENT CONSTRUCTION OR EARTHMOVING WAS OBSERVED AT THE TIME THE SURVEY WAS PERFORMED. (ALTA/MSM TABLE A, ITEM #16)
7) ALL MATTERS SHOWN ON RECORDED PLATS PROVIDED TO THE SURVEYOR ARE SHOWN ON THE SURVEY.
8) SURVEYOR IS NOT AWARE OF ANY PROPOSED CHANGES IN STREET RIGHT OF WAY LINES.
9) NO ZONING REPORT OR LETTER HAS BEEN PROVIDED TO THE SURVEYOR.

BENCHMARK LIST:

- BM 101 SET P.K. NAIL ON SIDEWALK = 749.39" (AS SHOWN)
BM 102 SET P.K. NAIL ON SIDEWALK = 746.80" (AS SHOWN)
BM 103 SET "X" ON CONCRETE = 751.29" (AS SHOWN)
BM 104 SET 800 NAIL ON GROUND = 750.65" (AS SHOWN)



LEGEND

- 1/2" IRON ROD FOUND (UNLESS NOTED)
WOOD FENCE
CHAIN LINK FENCE
WIRE FENCE
OVERHEAD ELEC. LINE
STORM SEWER LINE
WATER LINE
WASTE WATER LINE
UNDERGROUND ELECTRIC
UNDERGROUND TELEPHONE
GAS LINE
ELECTRIC MANHOLE
WASTEWATER MANHOLE
STORMSEWER MANHOLE
TELEPHONE MANHOLE
WASTEWATER CLEANOUT
TRAFFIC CONTROL BOX
TRAFFIC SIGNAL POST
SIGN
BOLLARD
DRAINAGE INLET
RECORD INFORMATION
POINT OF BEGINNING
POINT OF COMMENCEMENT
BENCHMARK
DENOTES SCHEDULE "B" EXCEPTIONS

FLOODPLAIN NOTE:

THE TRACT SHOWN HEREON LIES WITHIN THE FOLLOWING SPECIAL FLOOD HAZARD AREAS AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FEDERAL INSURANCE ADMINISTRATION, MAP PANEL NO. 48251C 0065J, DATED DECEMBER 4, 2012, & LOMAR 13-06-1844P EFFECTIVE APRIL 10, 2013 FOR JOHNSON COUNTY, TEXAS AND INCORPORATED AREAS:
ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% (500 YEAR) ANNUAL CHANCE FLOODPLAIN)
ZONE "AE" (AREAS OF 1% OR GREATER ANNUAL CHANCE FLOOD HAZARD WITHOUT DETERMINED BASE FLOOD ELEVATIONS)
THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL OR WILL NOT BE FREE FROM FLOODING OR FLOOD DAMAGE. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

TREE LIST:

Table with columns: NUMBER, DESCRIPTION, QUANTITY, and SPECIES. Lists trees such as 4" Crape Myrtle, 5" 7" West Juniper, etc.

UPDATED TITLE REPORT

THIS SURVEY WAS PREPARED IN CONJUNCTION WITH THE TITLE REPORT PREPARED BY FIDELITY NATIONAL TITLE GROUP, INC., 3830114, BEGINNING DATE SEPTEMBER 23, 1998 EXTENDING THROUGH JUNE 23, 2023 AND IS SUBJECT TO THE STATE OF FACTS CONTAINED THEREIN, AND LISTED BELOW:

- 1. TAXES
TYPE OF TAX: COUNTY
CALENDAR YEAR: 2023
AMOUNT: \$ 22,400.62 ANNUALLY
PARCEL ID# 128.2613.01020
PAID THROUGH: 2022
ASSESSMENT: \$890,645.00 (TOTAL = LAND AND IMPROVEMENTS, IF ANY). - NOT A SURVEY RELATED ITEM.
2. TAXES
TYPE OF TAX: COUNTY
CALENDAR YEAR: 2023
AMOUNT: \$ 17,605.67 ANNUALLY
PARCEL ID# 128.2613.01020
PAID THROUGH: 2022
ASSESSMENT: \$699,989.00 (TOTAL = LAND AND IMPROVEMENTS, IF ANY). - NOT A SURVEY RELATED ITEM.
3. EASEMENT AND RIGHT OF WAY IN FAVOR OF ONCOR ELECTRIC DELIVERY COMPANY L.P. A DELAWARE LIMITED LIABILITY COMPANY SET FORTH IN INSTRUMENT RECORDED ON FEBRUARY 17, 2017 IN INSTRUMENT NO. 2017-23653. DOES NOT AFFECT
4. TEMPORARY CONSTRUCTION EASEMENT AGREEMENT IN FAVOR OF COUNTRY PLACE VILLAGE AND A DISTRICTION LIMITED LIABILITY COMPANY SET FORTH IN INSTRUMENT RECORDED ON FEBRUARY 17, 2017 IN INSTRUMENT NO. 2017-23653. DOES NOT AFFECT
5. AFFIDAVIT OF COMMENCEMENT DATED FEBRUARY 6, 2019, BY AND BETWEEN HOBSON AND CHICK-FIL-A, INC. INSTRUMENT NO. 2019-3458. NOT A SURVEY RELATED ITEM.
6. EASEMENT AND RIGHT OF WAY IN FAVOR OF ONCOR ELECTRIC DELIVERY COMPANY L.P. A DELAWARE LIMITED LIABILITY COMPANY SET FORTH IN INSTRUMENT RECORDED ON MAY 14, 2021 IN INSTRUMENT NO. 2021-37483. DOES NOT AFFECT (AS SHOWN)
7. EASEMENT AND RIGHT OF WAY IN FAVOR OF ONCOR ELECTRIC DELIVERY COMPANY L.P. A DELAWARE LIMITED LIABILITY COMPANY SET FORTH IN INSTRUMENT RECORDED ON JULY 27, 2021 IN INSTRUMENT NO. 2021-37483. DOES NOT AFFECT
8. TERMS AND CONDITIONS OF MEMORANDUM OF LEASE DATED FEBRUARY 10, 2020 BY AND BETWEEN H-E-B, LP, AND VALVOLINE LLC, A DELAWARE LIMITED LIABILITY COMPANY D/B/A VALVOLINE INSTANT OIL CHANGE, RECORDED IN INSTRUMENT NO. 2021-11801. DOES NOT AFFECT
9. LIEN AFFIDAVIT FILED BY CHRIS W. CRAFT AND CRUSADERS INDUSTRIES, LLC AGAINST J.D. CONSTRUCTION SOUTHWEST, LLC, HEB BUTT GROCERY COMPANY AND VALVOLINE, LLC, DATED DECEMBER 13, 2022 AND RECORDED MAY 13, 2022 IN INSTRUMENT NO. 2022-16962. DOES NOT AFFECT
10. AFFIDAVIT FOR MECHANICS AND MATERIALMAN'S LIEN FILED BY MOORE SURVEY COMPANY AGAINST HEB BUTT GROCERY COMPANY, CRUSADERS INDUSTRIES AND JCT CONSTRUCTION, IN THE AMOUNT OF \$9643.10, DATED JULY 13, 2022 AND RECORDED JULY 14, 2022 IN INSTRUMENT NO. 2022-22001.
RELEASE OF MECHANICS AND MATERIALMAN'S LIEN DATED AUGUST 17, 2022 AND RECORDED ON AUGUST 22, 2022 IN INSTRUMENT NO. 2022-29747. NOT A SURVEY RELATED ITEM.
11. CITY OF BURLESON, TEXAS PERMANENT WATER EASEMENT IN FAVOR OF CITY OF BURLESON, TEXAS, A MUNICIPAL CORPORATION SET FORTH IN INSTRUMENT RECORDED ON AUGUST 24, 2022 IN INSTRUMENT NO. 2022-30002. DOES NOT AFFECT

LEGAL DESCRIPTION

BEING 1.277 ACRES OF LAND MORE OR LESS, AND BEING A PORTION OF LOT 1R, BLOCK 1, RIVER PLACE ADDITION, AN ADDITION TO THE CITY OF BURLESON, JOHNSON COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN VOLUME 10, PAGE 288, OF THE PLAT RECORDS OF JOHNSON COUNTY, TEXAS AND A PORTION OF A TRACT OF LAND CONVEYED TO HEB GROCERY COMPANY, LP, A TEXAS LIMITED PARTNERSHIP BY DEED RECORDED IN VOLUME 4049, PAGE 565, OF THE DEED RECORDS OF JOHNSON COUNTY, TEXAS, BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDARIES AS FOLLOWS: COMMENCING AT A FOUND TX-DOT MONUMENT TYPE II ON THE NORTH END OF A OUTBACK CORNER AT THE INTERSECTION OF FM. 731 (N.W. JOHN JONES DRIVE) AND STATE HIGHWAY 174 (S.W. WILSHIRE BOULEVARD), N 50°44'02" W, A DISTANCE OF 45.15 FEET TO A 1/2 INCH IRON ROD CAPPED "STANTEC" SET FOR THE EAST CORNER OF THIS 1.277 ACRES, SAME BEING THE POINT OF BEGINNING; THENCE ALONG THE REMAINDER OF SAID LOT 1R, BLOCK 1, RIVER PLACE ADDITION THE FOLLOWING COURSES AND DISTANCES: THENCE S 35°42'05" W, A DISTANCE OF 231.03 FEET TO A 1/2 INCH IRON ROD CAPPED "STANTEC" SET FOR THE SOUTH CORNER OF THIS 1.277 ACRES; THENCE N 50°44'02" W, A DISTANCE OF 189.13 FEET TO AN "X" FOUND ON THE CONCRETE CURB FOR THE WESTERMOST CORNER OF THIS 1.277 ACRES, SAME BEING THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT; THENCE ALONG SAID CURVE TO THE LEFT, A DISTANCE OF 58.61 FEET, HAVING A RADIUS OF 189.50 FEET, A CENTRAL ANGLE OF 17°06'59" SECONDS, A CHORD BEARING OF N 15°50'33" E AND CHORD DISTANCE OF 56.40 FEET, TO A POINT; THENCE N 07°17'05" E, A DISTANCE OF 126.15 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT A DISTANCE OF 53.31 FEET, HAVING A RADIUS OF 95.50 FEET, A CENTRAL ANGLE OF 31°59'00" A, CHORD BEARING OF N 23°16'32" E AND CHORD DISTANCE OF 52.62 FEET, TO A POINT; THENCE N 39°15'58" E, A DISTANCE OF 21.25 FEET TO A PK NAIL SET FOR THE NORTH CORNER OF THIS 1.277 ACRES, SAME BEING ALONG THE SOUTHWEST RIGHT-OF-WAY OF SAID FM. 731; THENCE ALONG THE SOUTHWEST RIGHT-OF-WAY OF SAID FM. 731, S 50°44'02" E, A DISTANCE OF 278.50 FEET TO THE POINT OF BEGINNING AND CONTAINING 1.277 ACRES OF LAND, MORE OR LESS.

SURVEYOR'S CERTIFICATION:

TO: CHICK-FIL-A, INC. THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 ANNUAL STANDARD DETAIL REQUIREMENTS FOR ALTA/MSM LAND TITLE SURVEYS. I HAVE ADHERED TO ALL APPLICABLE RULES AND REGULATIONS, INCLUDING RULES 1-5.6(L), 7.0(a), 8.8, 11.13, AND 16-19 OF TABLE "A" THEREOF. THE FIELD WORK WAS COMPLETED ON JUNE 14, 2023. ALBERTO JOAQUIN PEREZ REGISTERED PROFESSIONAL LAND SURVEYOR NO. 8577 STATE OF TEXAS, EXPIRES 09/30/2026 701 N.E. LOOP 410, SUITE 1100 SAN ANTONIO, TEXAS 78219 TEL: (210) 555-9090 TEXES: FIRM NO. 0194228



Chick-fil-A 5200 Buffington Road Atlanta, Georgia 30349-2998 P: (404) 765 8000



CHICK-FIL-A STORE FSU 2786 111 NW JOHN JONES DR. BURLESON, TX 76028

BUILDING TYPE/SIZE: XXXXXXXXX

REVISION SCHEDULE table with columns: NO., DATE, DESCRIPTION. Row 1: 9/1/2023, UPDATE.

CONSULTANT PROJECT # 222012829 PRINTED FOR Project Status DATE 2023/09/01 DRAWN BY EM/KGM

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ALTA/MSM SURVEY SHEET NUMBER

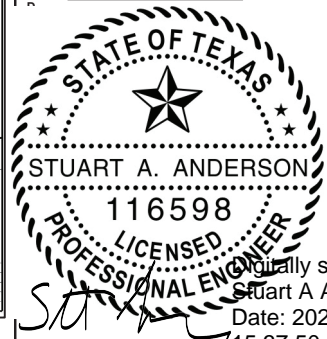
C-1.1



Chick-fil-A
 Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia
 30349-2998

INTERPLAN
 INTERPLAN LLC
 F-3219
 ARCHITECTURE
 ENGINEERING
 PERMITTING

220 E. CENTRAL PKWY, STE 4000
 ATLANTA, GEORGIA 30303
 404.645.5008



Digitally signed by
 Stuart A Anderson
 Date: 2025.01.21
 15:37:50-05'00'

CHICK-FIL-A
 SOUTH BURLESON
 111 NW. JOHN JONES DRIVE
 BURLESON, TX. 76028

FSR#02786

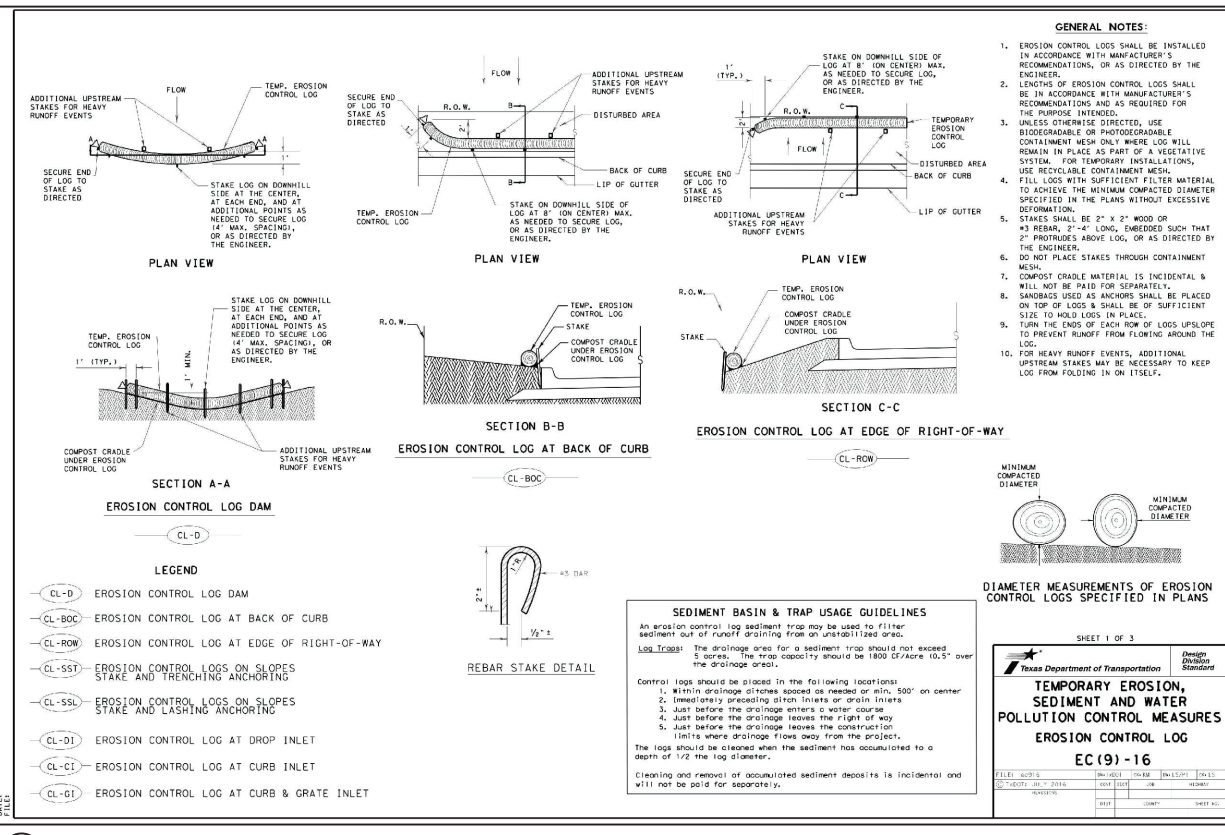
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 RELEASE: v0.23.08
 PRINTED FOR: PERMIT

REVISION SCHEDULE	
NO.	DATE
1	12/2024
	CITY COMMENTS

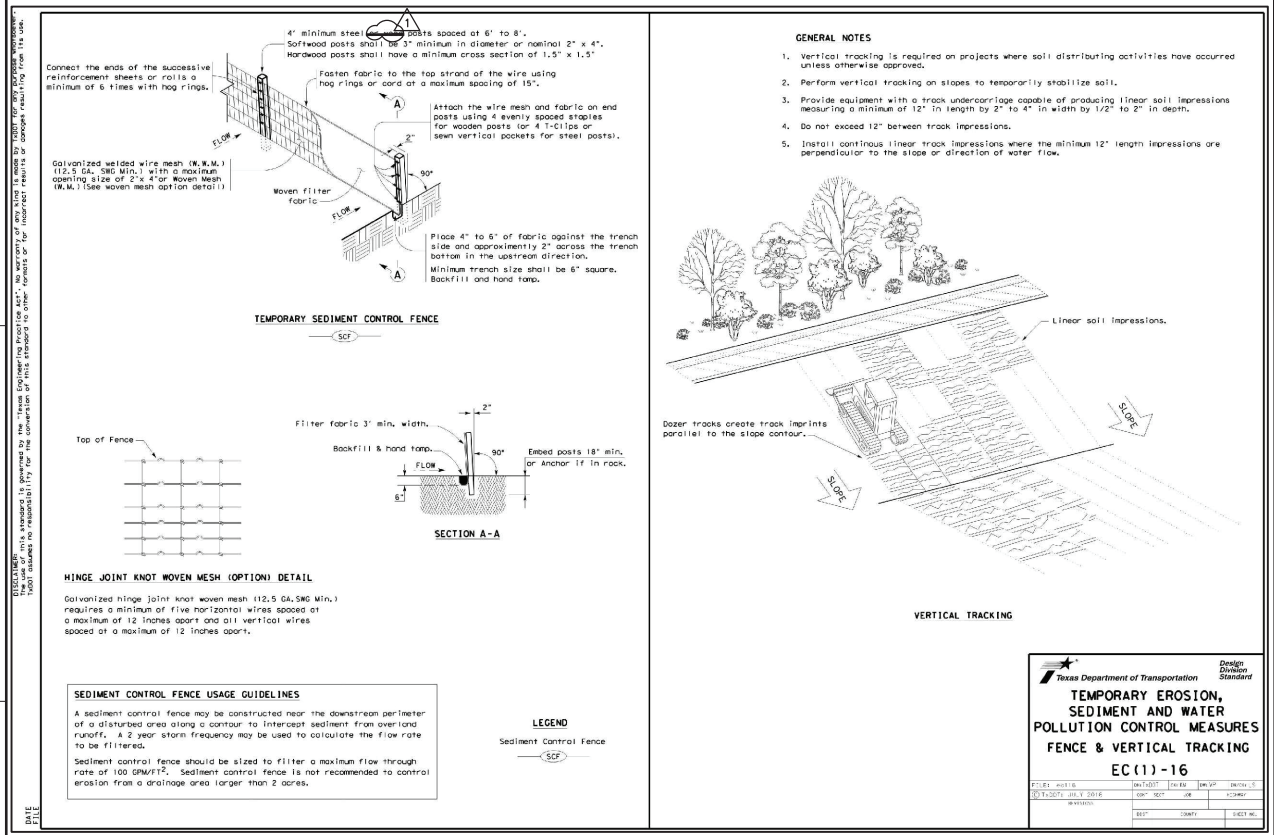
CONSULTANT PROJECT # 2024.0827
 DATE 10/2024
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EROSION CONTROL DETAILS

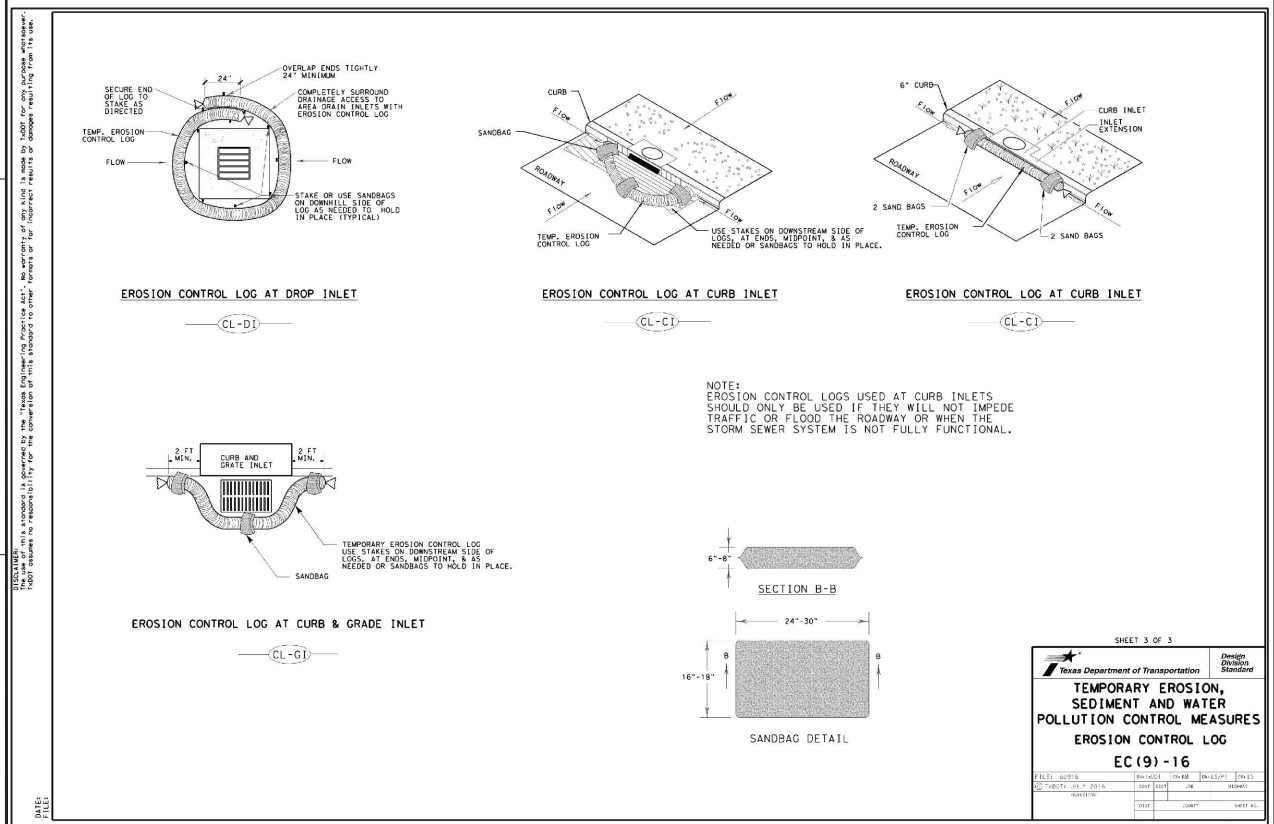
C-3.3



TXDOT EROSION CONTROL LOG DETAIL NTS



TXDOT TEMPORARY EROSION AND SEDIMENT FENCING DETAIL NTS



TXDOT EROSION CONTROL LOG DETAIL (SHEET 3 OF 3) NTS

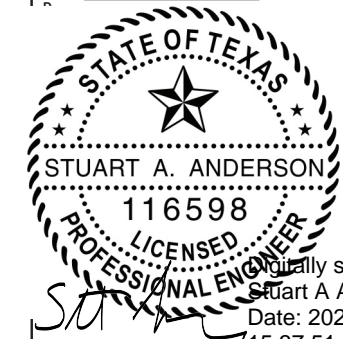


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220 E. CENTRAL PKWY., STE. 4000
 ALTAMONTE SPRINGS, FL 32701
 407.645.5008



Stuart A. Anderson
 Date: 2025.01.21
 15:37:51-05'00"

Existing Basin Map

D.A. No.	AREA (acres)	Tc (min.)	C (runoff)	Is (in/hr)	Qs (cfs)	Ito (in/hr)	Qto (cfs)	Comments
1	0.14	10	0.90	6.70	0.84	11.60	1.46	
2	0.23	10	0.90	6.70	1.39	11.60	2.40	
3	0.3	10	0.90	6.70	1.81	11.60	3.13	
4	0.14	10	0.90	6.70	0.84	11.60	1.46	
5	0.16	10	0.90	6.70	0.96	11.60	1.67	
6	0.307	10	0.90	6.70	1.85	11.60	3.21	
Total	1.277	acres		Total Qs (cfs)	7.70	Total Ito (cfs)	13.33	

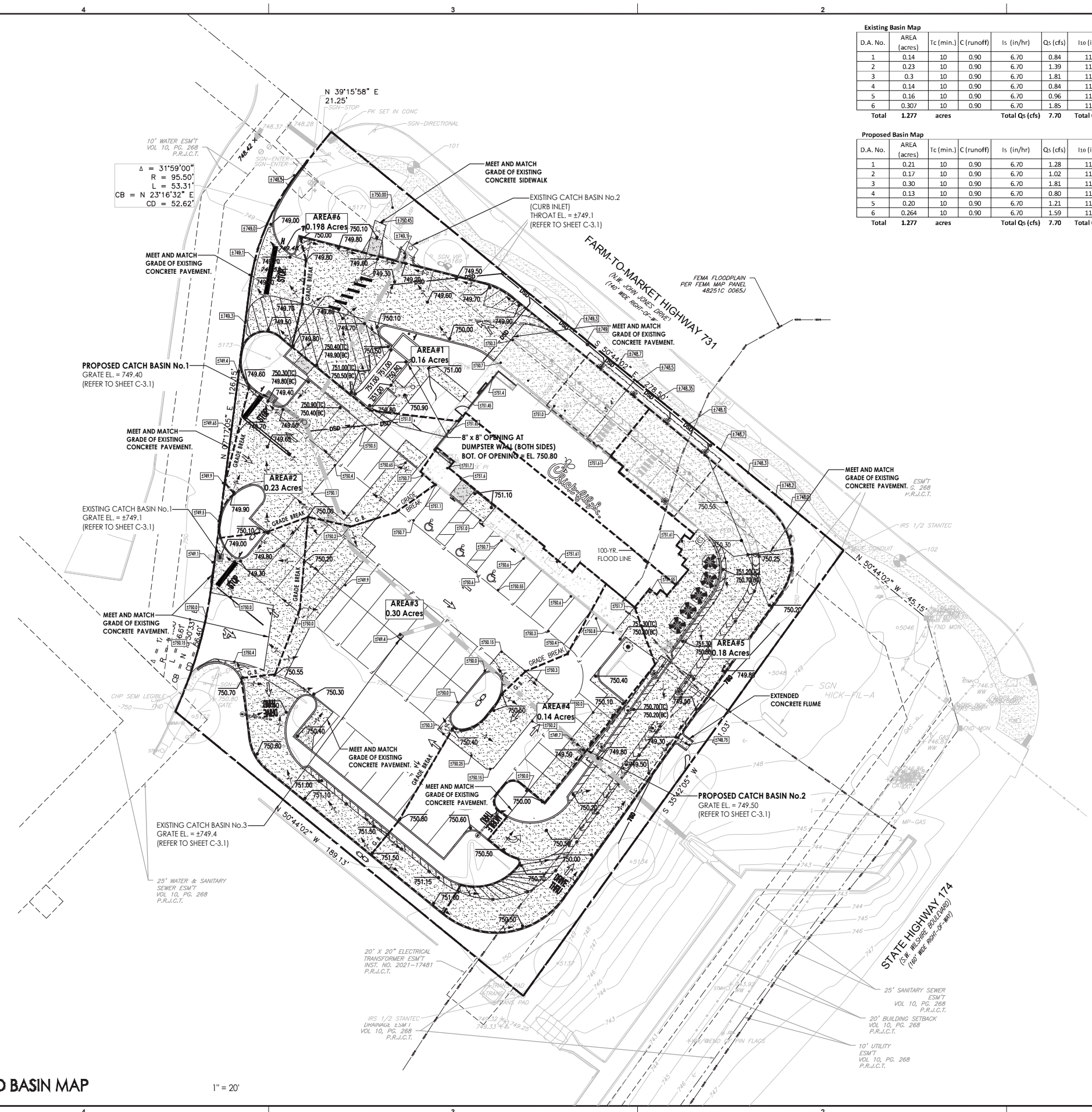
Proposed Basin Map

D.A. No.	AREA (acres)	Tc (min.)	C (runoff)	Is (in/hr)	Qs (cfs)	Ito (in/hr)	Qto (cfs)	Comments
1	0.21	10	0.90	6.70	1.28	11.60	2.21	
2	0.17	10	0.90	6.70	1.02	11.60	1.76	
3	0.30	10	0.90	6.70	1.81	11.60	3.14	
4	0.13	10	0.90	6.70	0.80	11.60	1.38	
5	0.20	10	0.90	6.70	1.21	11.60	2.09	
6	0.264	10	0.90	6.70	1.59	11.60	2.75	
Total	1.277	acres		Total Qs (cfs)	7.70	Total Ito (cfs)	13.33	

LEGEND

- EXISTING CONTOUR (BY SURVEY)
- DSD DOWN SPOUT DRAINS
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED INLET
- EXISTING INLET
- AREA# DRAINAGE AREA NUMBER
- ACRES
- DRAINAGE DIVIDE

- LEGEND**
- 1/2" ROW ROAD FOUND (UNLESS NOTED)
 - 1/2" ROW ROAD SET
 - ROW FENCE FOUND
 - RAIL FENCING FOUND
 - COMPUTED POINT
 - MONUMENT SET
 - CUT "X"
 - LIGHT POLE
 - POWER POLE
 - POWER OFF
 - FIRE HYDRANT
 - WATER VALVE
 - WATER METER
 - TELEPHONE RISE
 - CABLE TV RISE
 - ELECTRIC BOX
 - ELECTRIC METER
 - GAS METER
 - GAS VALVE
 - PLAT RECORDS OF ARROW COUNTY TEXAS
 - PARKING SPACE
 - HANDICAP SPACE
 - DOMESTIC SEWER "X" EXCEPTION
 - WOOD FENCE
 - CHAIN LINK FENCE
 - WIRE FENCE
 - CHANGING LANE LINE
 - STORM SEWER LINE
 - WATER LINE
 - WASTE WATER LINE
 - UNDERGROUND ELECTRIC
 - UNDERGROUND TELEPHONE
 - USE LINE
 - ELECTRIC MANHOLE
 - WASTEWATER MANHOLE
 - STORMWATER MANHOLE
 - TELEPHONE MANHOLE
 - WATER METER
 - TELEPHONE RISE
 - WATER METER
 - TELEPHONE RISE
 - TRAFFIC CONTROL BOX
 - TRAFFIC SIGNAL POST
 - SON
 - BENCHMARK
 - DRAINAGE INLET
 - RECORD INFORMATION
 - POINT OF BEGINNING
 - POINT OF COMMENCEMENT
 - BENCHMARK



PROPOSED BASIN MAP
 1" = 20'

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FSR#02786

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REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	12/2024	CITY COMMENTS

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PROP. BASIN MAP

SHEET NUMBER
C-3.4



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 ATLANTA, GEORGIA 30303
 407.645.5008



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 Date: 2025.01.21
 15:37:52-05'00'

CHICK-FIL-A
 SOUTH BURLESON
 111 NW. JOHN JONES DRIVE
 BURLESON, TX. 76028

FSR#02786

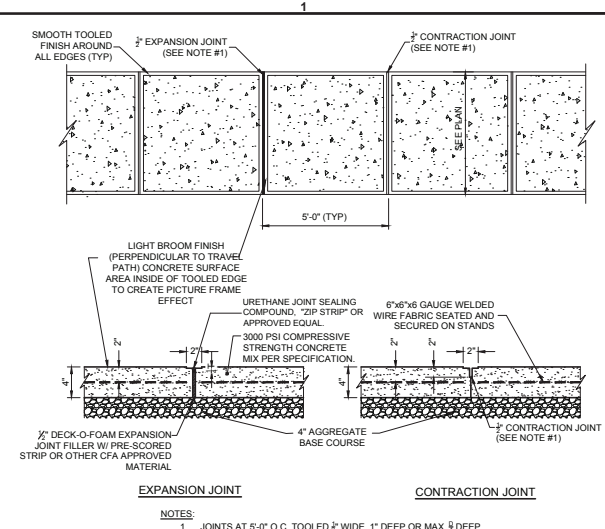
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 RELEASE: v0.23.08
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REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
1	12/2024	CITY COMMENTS

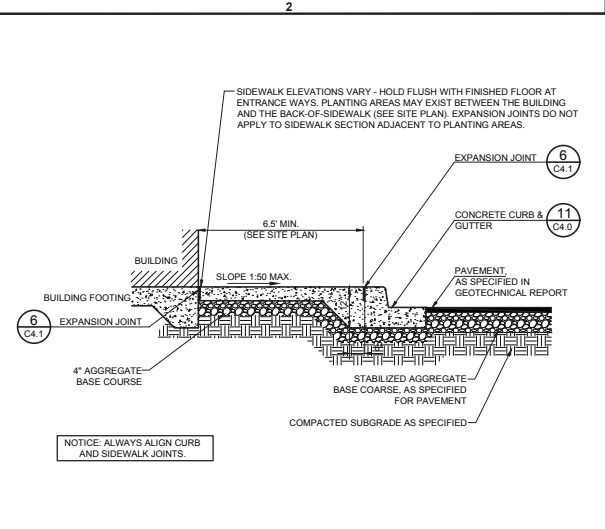
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 DATE 10/20/24
 DRAWN BY MJ
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CHICK-FIL-A STANDARD
 DETAILS
 SHEET NUMBER

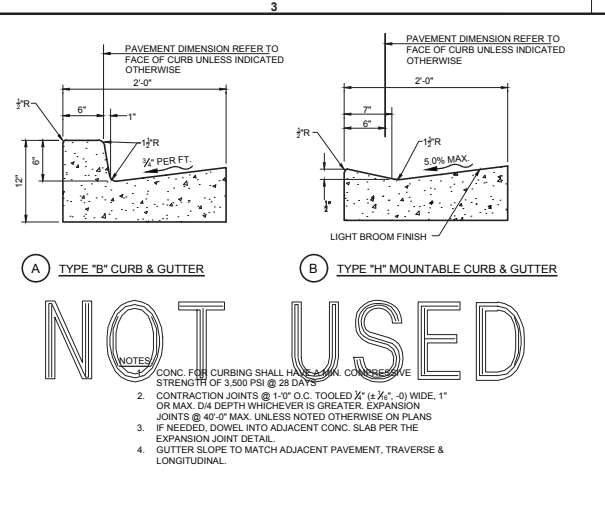
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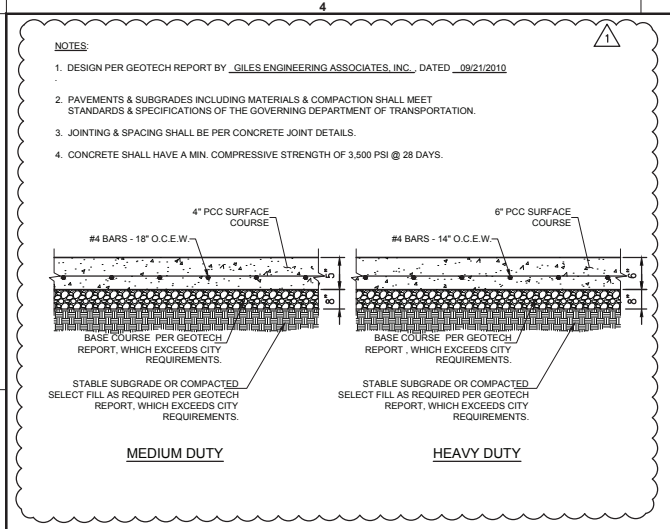
9 CONCRETE SIDEWALK
 C4.0 NOT TO SCALE



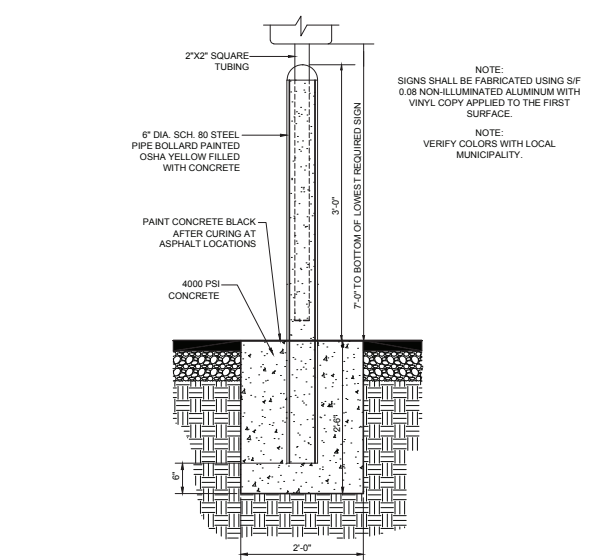
10 SIDEWALK W/ CURB & GUTTER
 C4.0 NOT TO SCALE



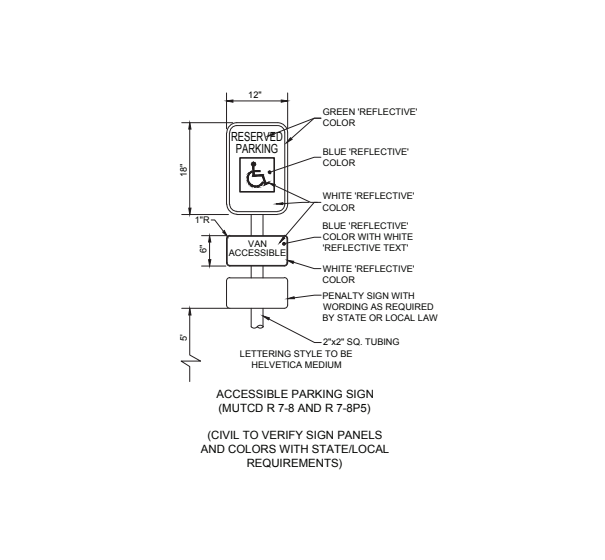
11 CONCRETE CURB & GUTTER
 C4.0 NOT TO SCALE



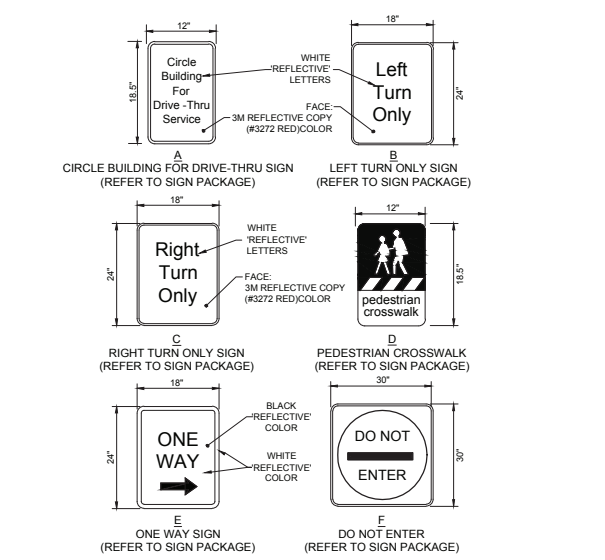
12 CONCRETE PAVEMENTS
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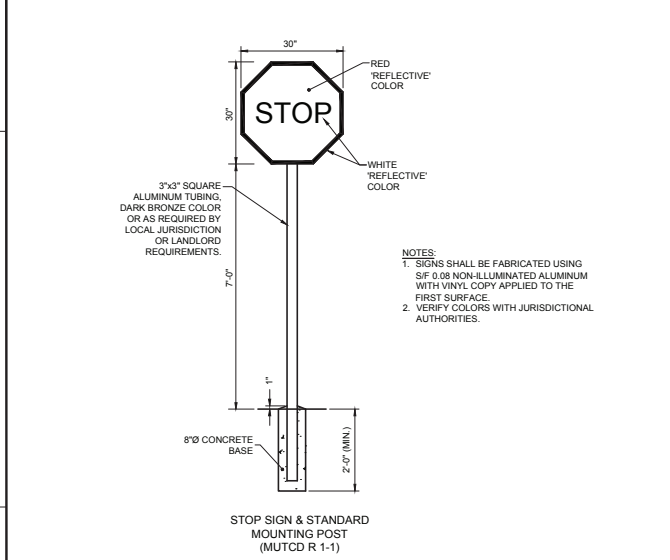
5 BOLLARD MOUNTED SIGN
 C4.0 NOT TO SCALE



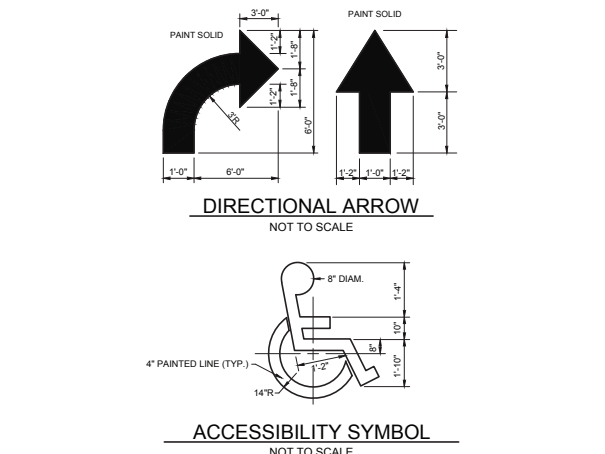
6 ACCESSIBLE PARKING SIGN
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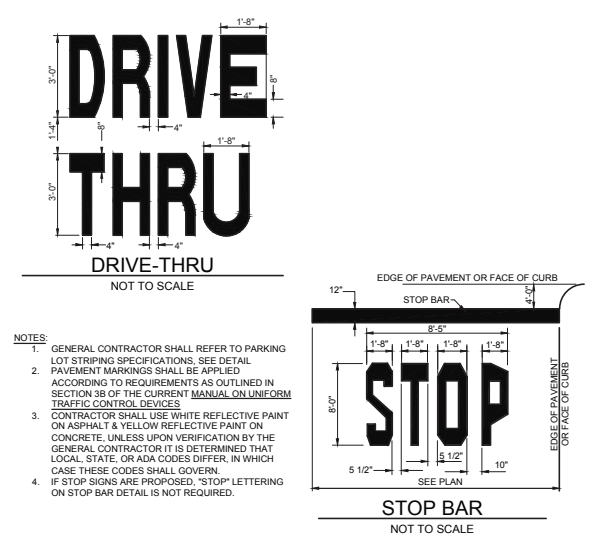
7 DIRECTIONAL SIGNAGE
 C4.0 NOT TO SCALE



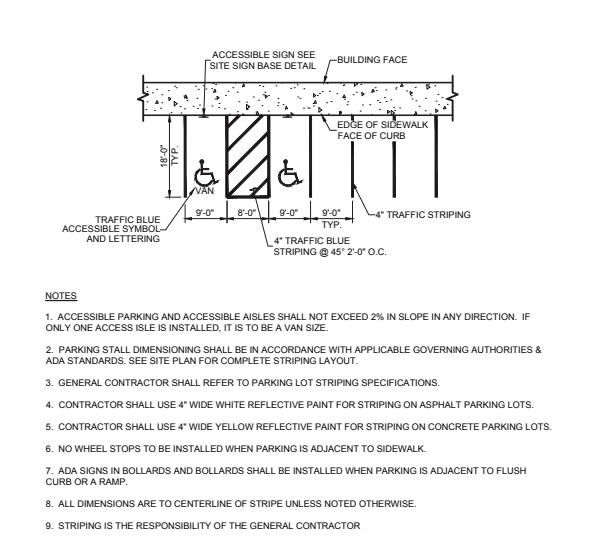
8 STOP SIGN
 C4.0 NOT TO SCALE



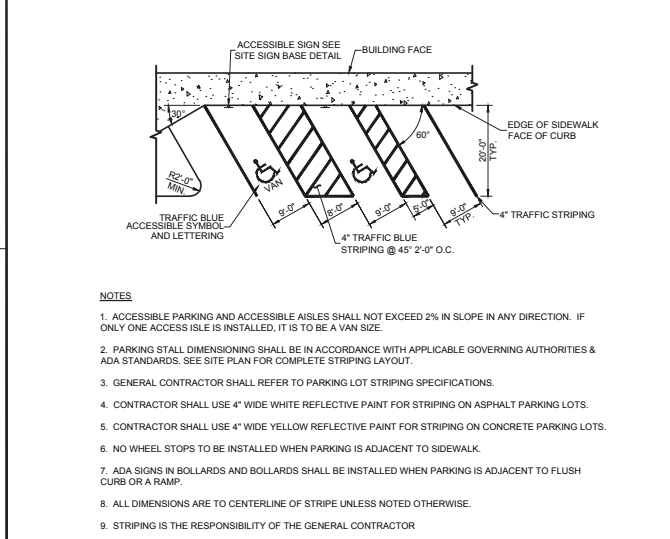
1 PAVEMENT MARKINGS - 1
 C4.0 NOT TO SCALE



2 PAVEMENT MARKINGS - 2
 C4.0 NOT TO SCALE



3 90° PARKING STRIPING
 C4.0 NOT TO SCALE



4 60° ANGLED PARKING STRIPING
 C4.0 NOT TO SCALE

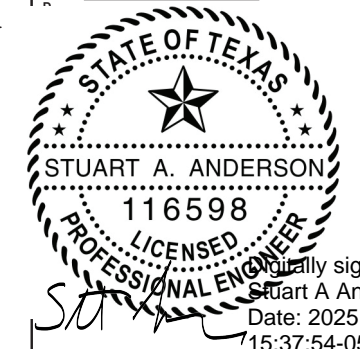


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 407.645.5008



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CHICK-FIL-A
 SOUTH BURLESON
 111 NW. JOHN JONES DRIVE
 BURLESON, TX. 76028

FSR#02786

BUILDING TYPE / SIZE: SBOC - R
 RELEASE: v23.08

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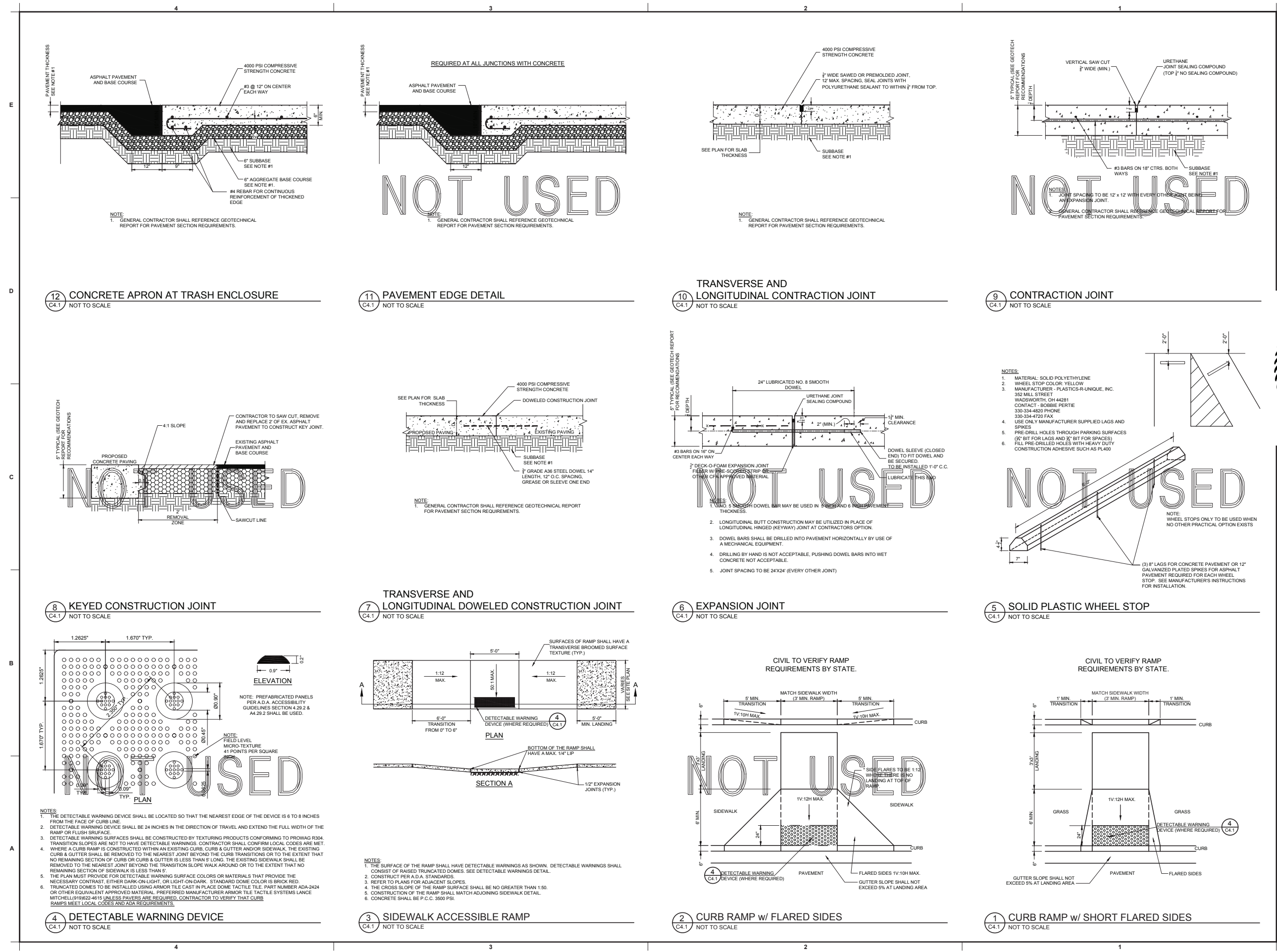
CONSULTANT PROJECT # 2024.0627
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CHICK-FIL-A STANDARD DETAILS
 SHEET NUMBER

C-4.1



12 CONCRETE APRON AT TRASH ENCLOSURE
 C4.1 NOT TO SCALE

11 PAVEMENT EDGE DETAIL
 C4.1 NOT TO SCALE

10 TRANSVERSE AND LONGITUDINAL CONTRACTION JOINT
 C4.1 NOT TO SCALE

9 CONTRACTION JOINT
 C4.1 NOT TO SCALE

8 KEYED CONSTRUCTION JOINT
 C4.1 NOT TO SCALE

7 TRANSVERSE AND LONGITUDINAL DOWELED CONSTRUCTION JOINT
 C4.1 NOT TO SCALE

6 EXPANSION JOINT
 C4.1 NOT TO SCALE

5 SOLID PLASTIC WHEEL STOP
 C4.1 NOT TO SCALE

4 DETECTABLE WARNING DEVICE
 C4.1 NOT TO SCALE

3 SIDEWALK ACCESSIBLE RAMP
 C4.1 NOT TO SCALE

2 CURB RAMP w/ FLARED SIDES
 C4.1 NOT TO SCALE

1 CURB RAMP w/ SHORT FLARED SIDES
 C4.1 NOT TO SCALE



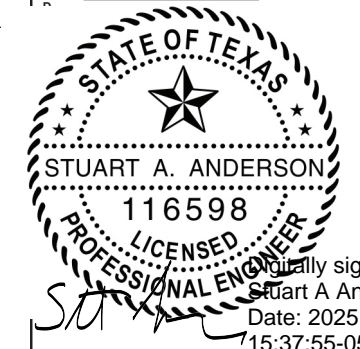
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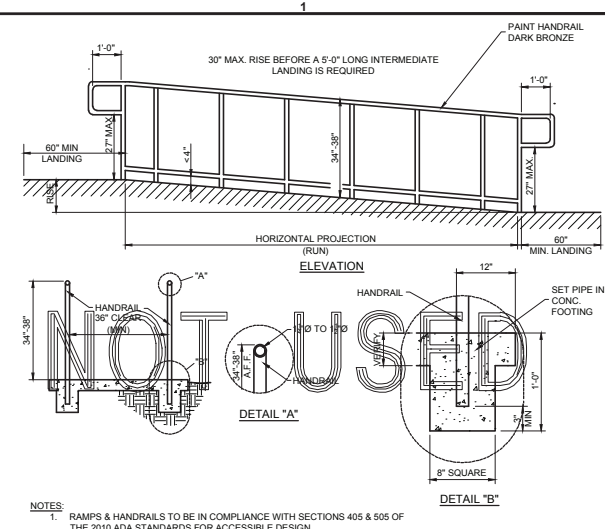
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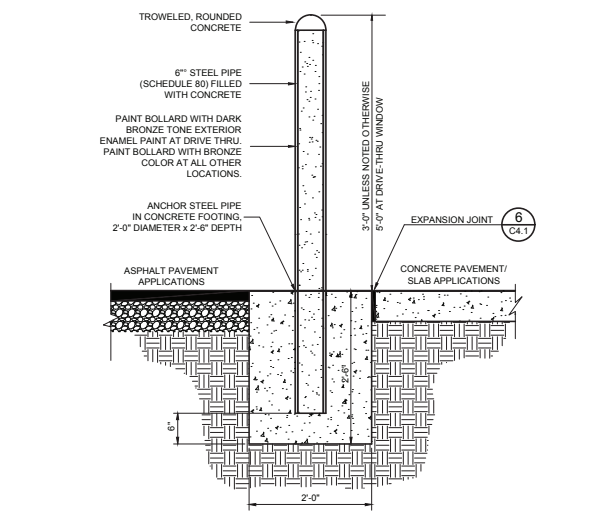
CHICK-FIL-A STANDARD
DETAILS
SHEET NUMBER

C-4.2

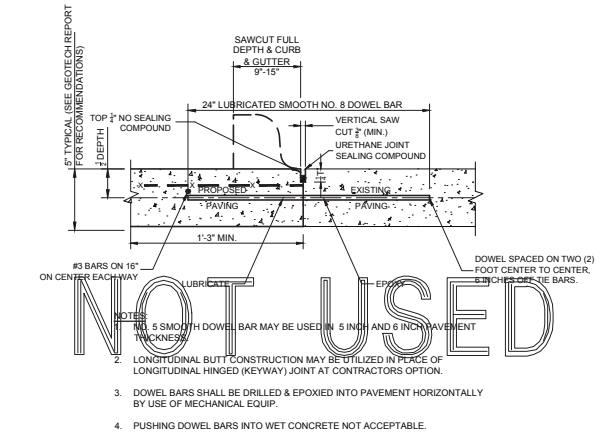
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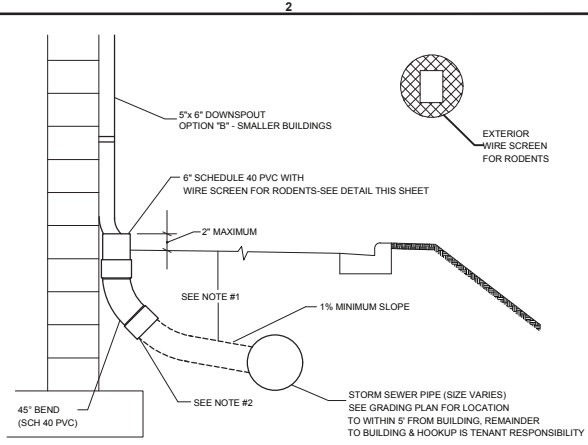
9 TYPICAL ADA RAMP & HANDRAIL
C4.2 NOT TO SCALE



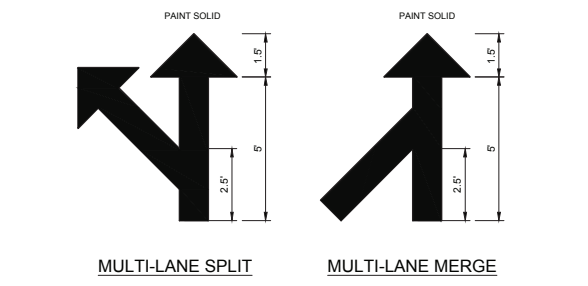
5 CONCRETE BOLLARD
C4.2 NOT TO SCALE



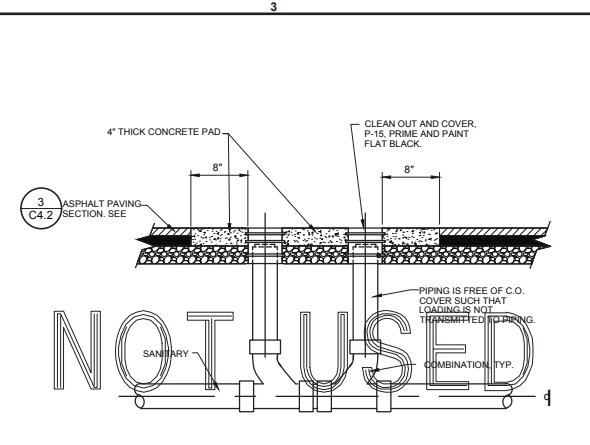
1 LONGITUDINAL BUTT JOINT
C4.2 NOT TO SCALE



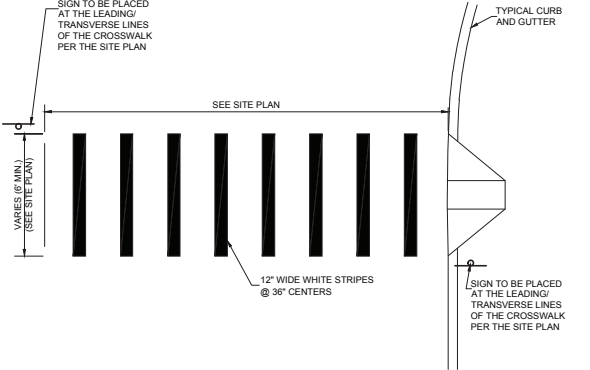
10 BUILDING DOWNSPOUT CONNECTION
C4.2 NOT TO SCALE



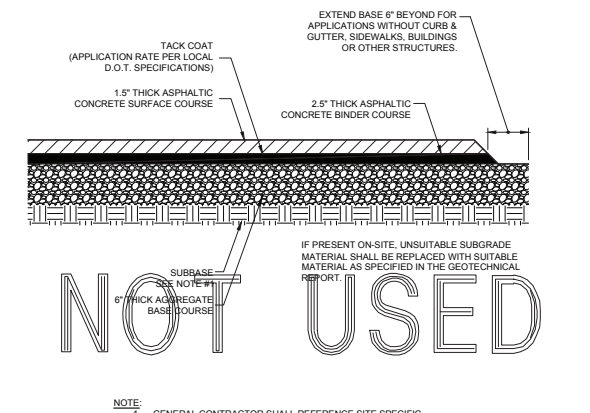
6 MULTI-LANE DIRECTIONAL GRAPHICS
C4.2 NOT TO SCALE



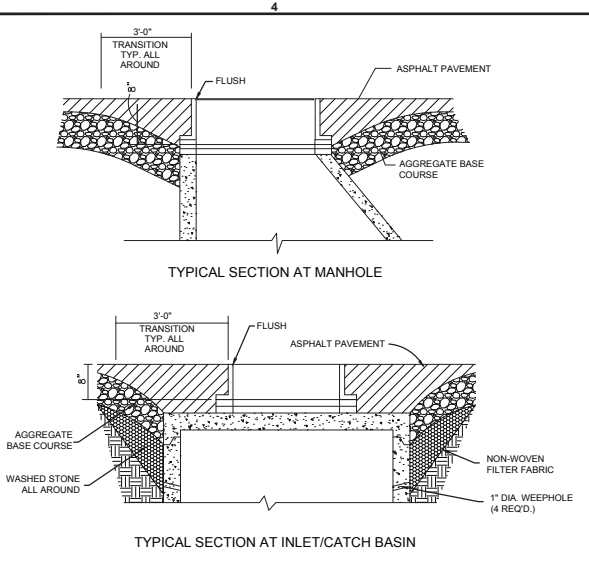
11 CLEAN-OUT OUTSIDE OF BUILDING
C4.2 NOT TO SCALE



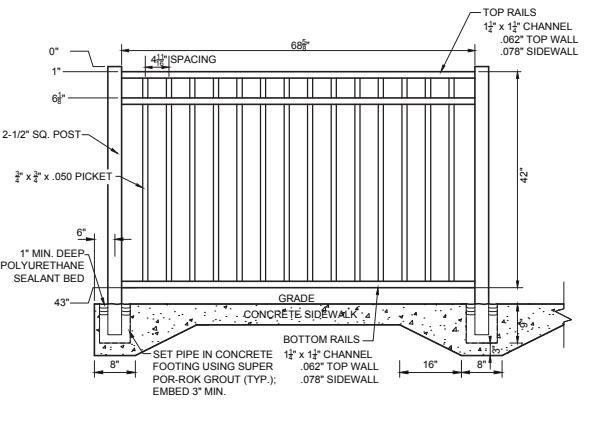
CROSSWALK MARKINGS
NOT TO SCALE



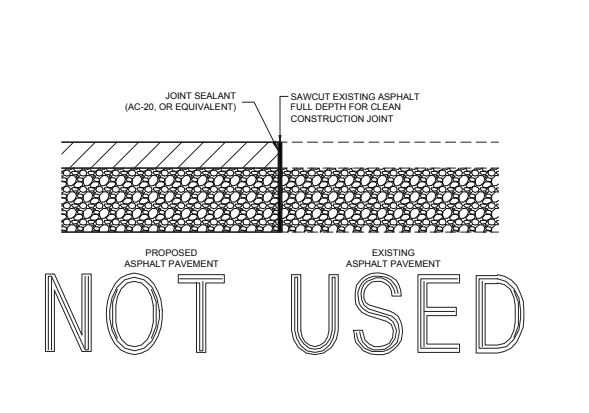
3 TYPICAL HMAC PAVEMENT SECTION
C4.2 NOT TO SCALE



12 TYPICAL SECTION @ BASINS
C4.2 NOT TO SCALE



8 ALUMINUM HANDRAIL
C4.2 NOT TO SCALE



4 BUTT JOINT
C4.2 NOT TO SCALE

E
D
C
B
A

4

3

2

1

4

3

2

1

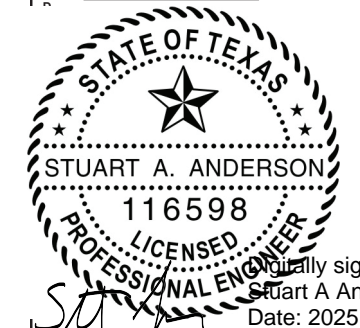


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 407.645.5008



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 Date: 2025.01.21 15:37:58-05'00'

CHICK-FIL-A
 SOUTH BURLESON
 111 NW. JOHN JONES DRIVE
 BURLESON, TX. 76028

FSR#02786
 BUILDING TYPE / SIZE: S08C - R
 RELEASE: PRINTED FOR v0.23.08

PERMIT REVISION SCHEDULE

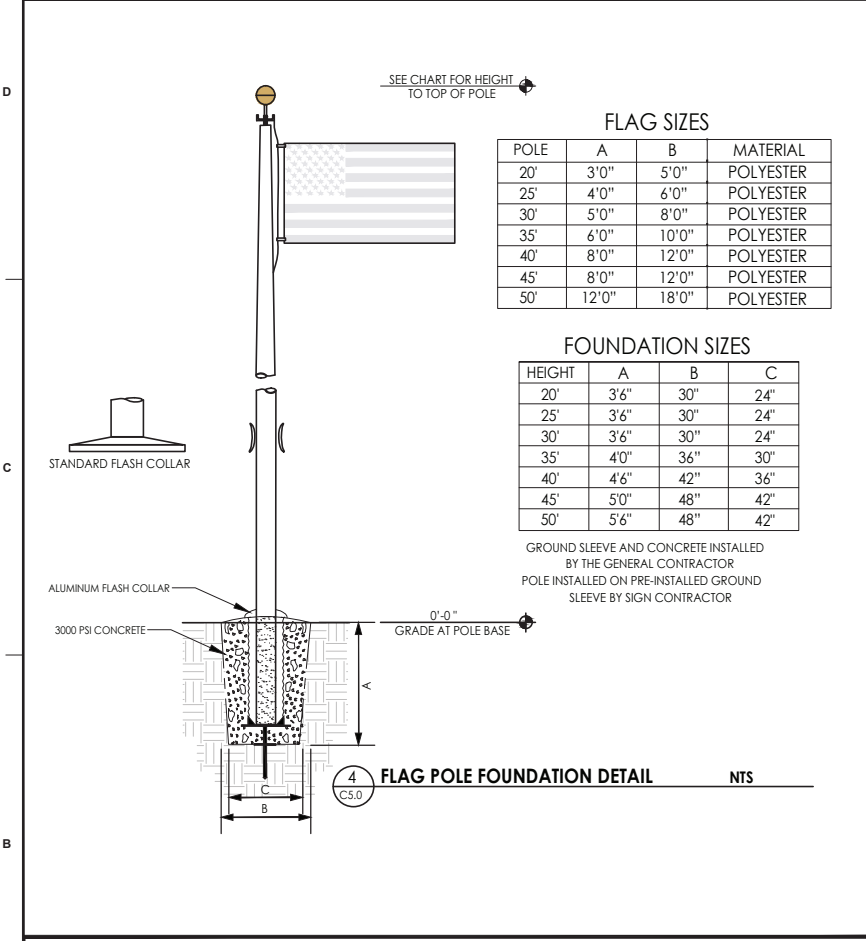
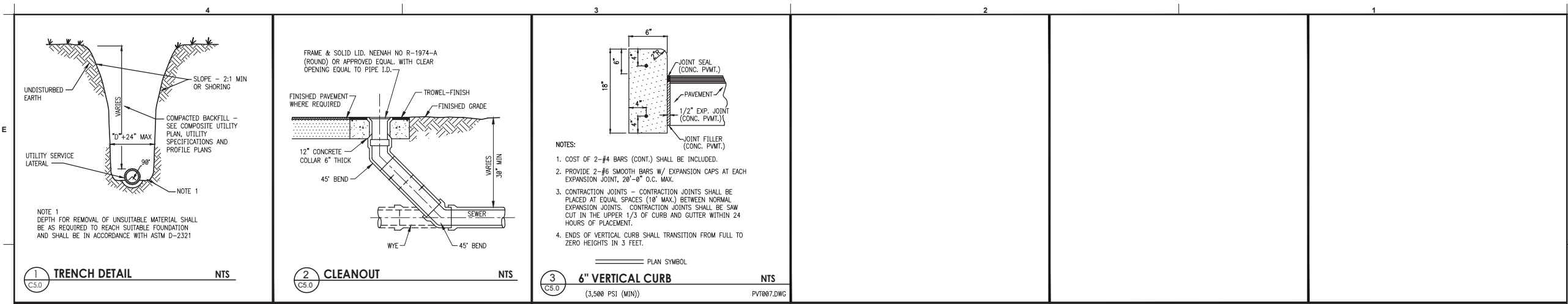
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 2024.0627
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CONSTRUCTION DETAILS

SHEET NUMBER

C-5.0





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Date: 2025.01.21
15:37:59-05'00'

CHICK-FIL-A
SOUTH BURLESON
111 NW. JOHN JONES DRIVE
BURLESON, TX. 76028

FSR#02786

BUILDING TYPE / SIZE: SBOC - R

RELEASE: v0.23.08

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REVISION SCHEDULE table with columns: NO., DATE, DESCRIPTION

CONSULTANT PROJECT # 2024.0627
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TXDOT STANDARD DETAILS

SHEET NUMBER

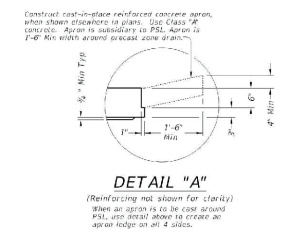
C-5.1

Table with columns: Style, Size (B x H), W, A x B (DIMENSIONS), Sheet Span (Rein. Steel Area), Long Span (Rein. Steel Area)

- FABRICATION NOTES: 1. Locate reinforcement (steel, wire, ring and cover) (style RC, ring and grate) (style RG) and frame and grate (style FH) in a corner. Only one protrusion is allowed per slab per... 2. Provide Class "M" concrete in accordance with Item 421 and having a minimum compressive strength of 5,000 psi.

- INSTALLATION NOTES: 1. Precast slab lids are intended for direct traffic and may be placed in roadway. Road curbs and grooves shall be formed in both cases in accordance with Manufacturer's recommendations. Tongue and groove joints may be formed on more than 2' between each section, or 2' less joint depth, whichever is greater.

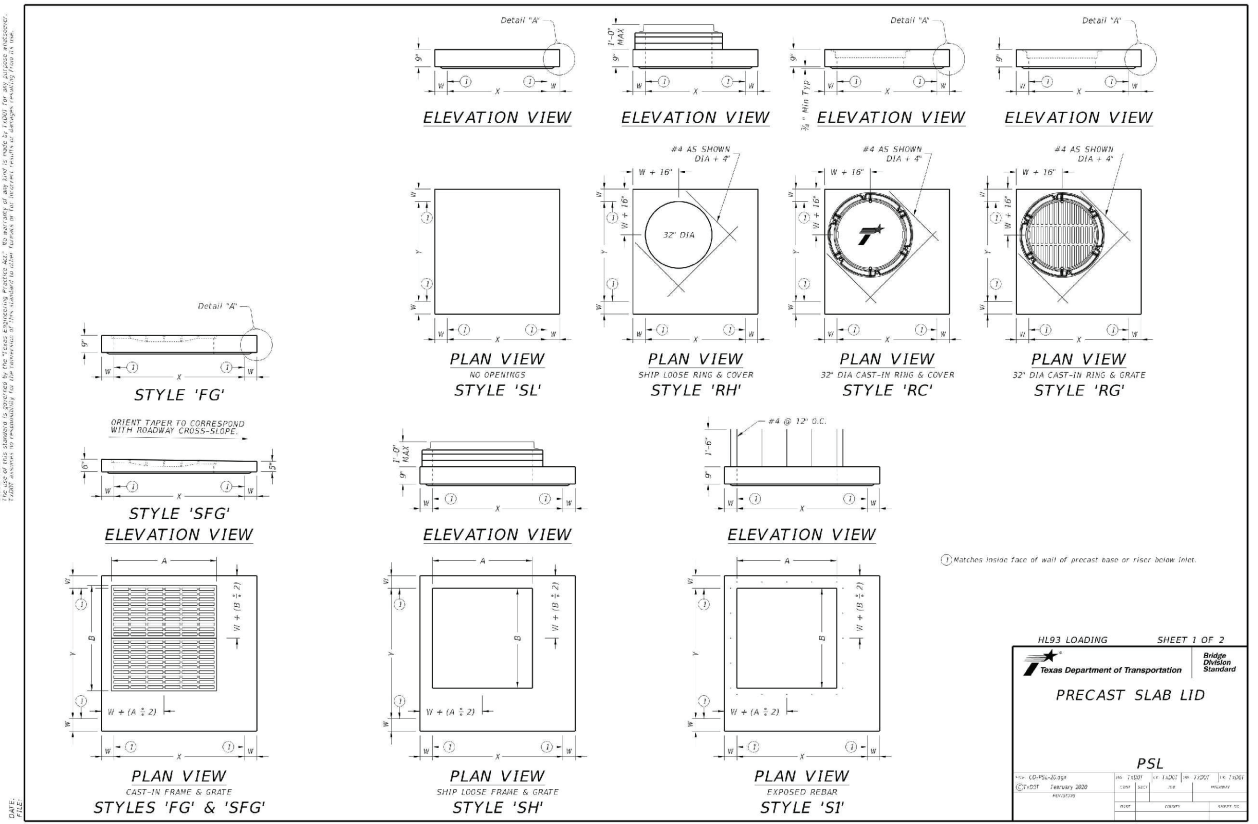
- GENERAL NOTES: 1. Dimensions conforming to ASTM D393.



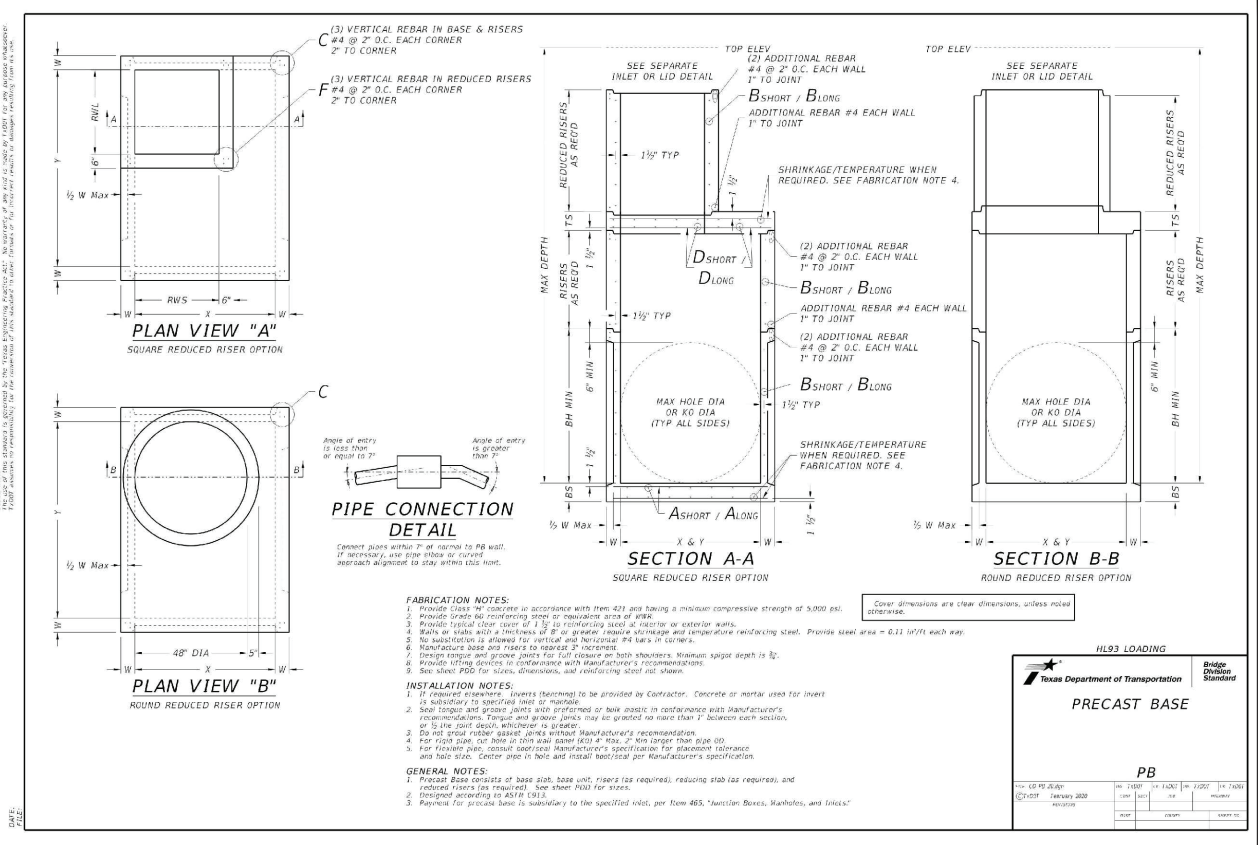
DETAIL "A"
(Reinforcing mat shown for clarity)
When an apron is to be cast around PSL, use steel above to create an apron edge on all 4 sides.

HL93 LOADING SHEET 2 OF 2
Texas Department of Transportation
PRECAST SLAB LID
PSL
10-15-03-030
REVISED February 2003

HL93 LOADING SHEET 1 OF 2
Texas Department of Transportation
PRECAST SLAB LID
PSL
10-15-03-030
REVISED February 2003



TXDOT STANDARD PRECAST SLAB LID (PSL) AND GRATE DETAIL



TXDOT STANDARD PRECAST BASE (PB) DETAIL

HL93 LOADING SHEET 1 OF 2
Texas Department of Transportation
PRECAST BASE
PB
10-15-03-030
REVISED February 2003

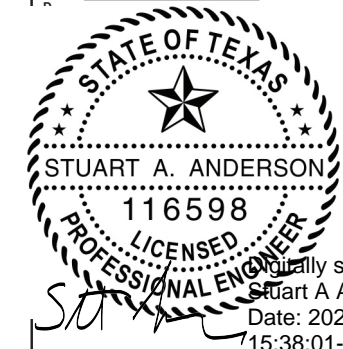


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Stuart A. Anderson
Date: 2025.01.21
15:38:01-05'00"

CHICK-FIL-A
SOUTH BURLESON
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BURLESON, TX. 76028

FSR#02786

BUILDING TYPE / SIZE: SBOC - R

RELEASE: v0.23.08

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NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 2024.0627

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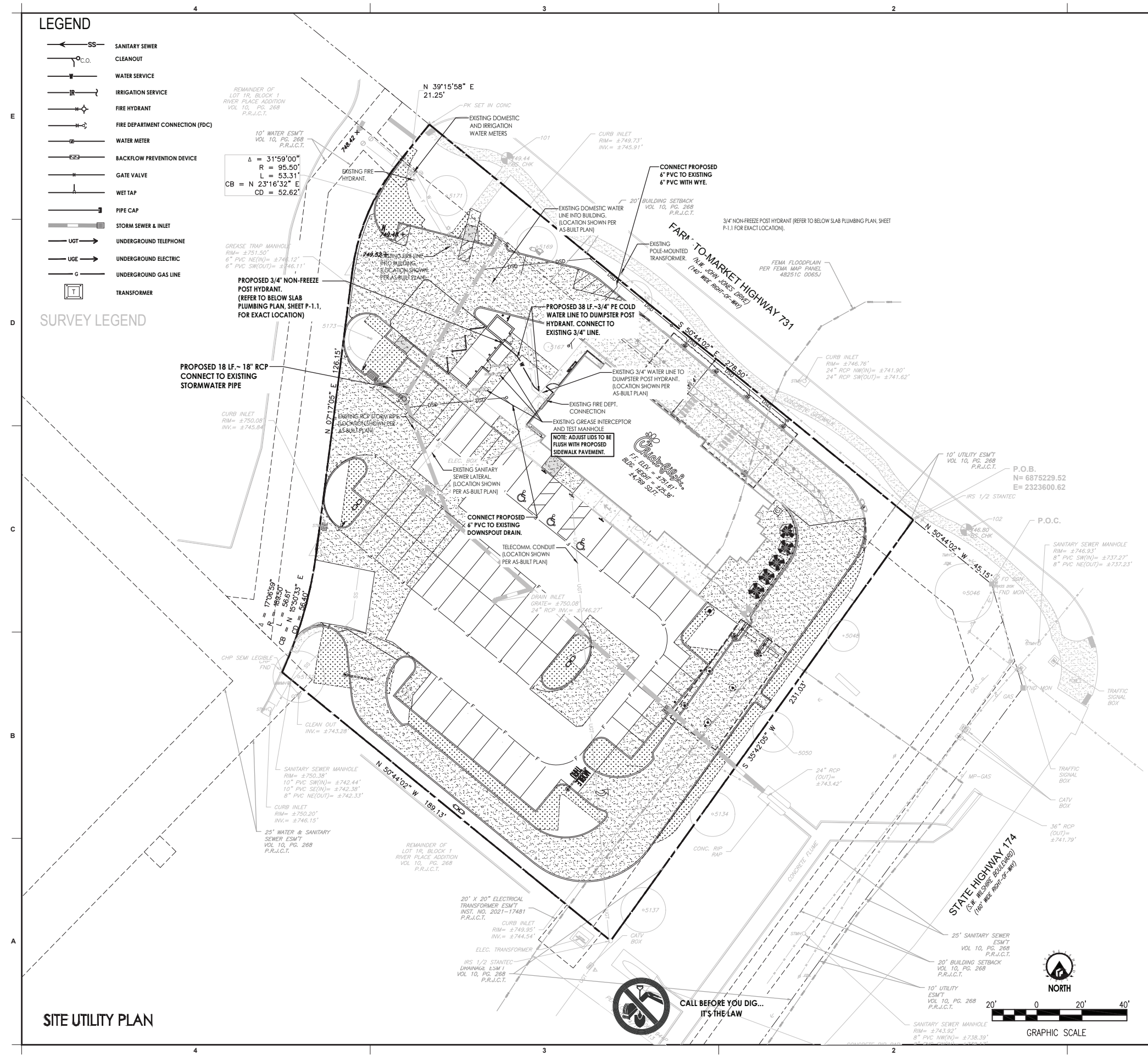
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SHEET SITE UTILITY PLAN

SHEET NUMBER

PS-1.0

34



BURIED UTILITIES NOTE

BURIED UTILITIES ARE SHOWN AT THEIR APPROXIMATE LOCATION BASED UPON INFORMATION OBTAINED FROM UTILITY COMPANIES AND FIELD EVIDENCE. OTHER BURIED UTILITIES MIGHT EXIST ON THE SUBJECT SITE WHICH ARE NOT SHOWN ON THIS DRAWING. USE EXTREME CAUTION DURING EXCAVATION PROCEDURES AND CONTACT 811 FOR EXACT LOCATION OF BURIED FACILITIES PRIOR TO EXCAVATION OPERATIONS.

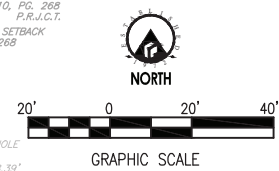
UTILITY TESTING AND DISINFECTING NOTES

HYDROSTATIC PRESSURE AND LEAKAGE TESTS SHALL BE CONDUCTED ON ALL NEWLY INSTALLED WATER DISTRIBUTION SYSTEM PRESSURE PIPES AND APPURTENANCES. THE TESTS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF AWWA C600 OR M23 AS APPLICABLE.

DISINFECTION OF THE WATER DISTRIBUTION SYSTEM SHALL BE PERFORMED IN ACCORDANCE WITH AWWA C651 DISINFECTING WATER MAINS. THE CONTRACTOR SHALL MAKE PROVISIONS TO PROTECT THE ACTIVE EXISTING MAIN FROM BACKFLOW CONTAMINATION DURING FILLING, FLUSHING, AND TESTING OF THE NEW MAIN, AS SPECIFIED IN ANSI/AWWA C651-14.

FLUSHING TIME SHALL BE AT LEAST THAT AMOUNT OF TIME

NOTE: NEEDED TO FLUSH TWO TIMES THE PIPE VOLUME AFTER 3 FPS VELOCITY IS REACHED OR UNTIL CLEAR, WHICHEVER IS LONGER.



SITE UTILITY PLAN



Chick-fil-A
 Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia 30349-2998



MLD STUDIO
 Landscape Architecture

51 Old Canton Street
 Alpharetta, GA 30009
 770.442.8171



CHICK-FIL-A
SOUTH BURLESON
 111 NW JOHN JONES DRIVE
 BURLESON, TX 76028

FSU# 02786

REVISION SCHEDULE
 NO. DATE BY DESCRIPTION
 1 10/25/24 NEW SITE PLAN

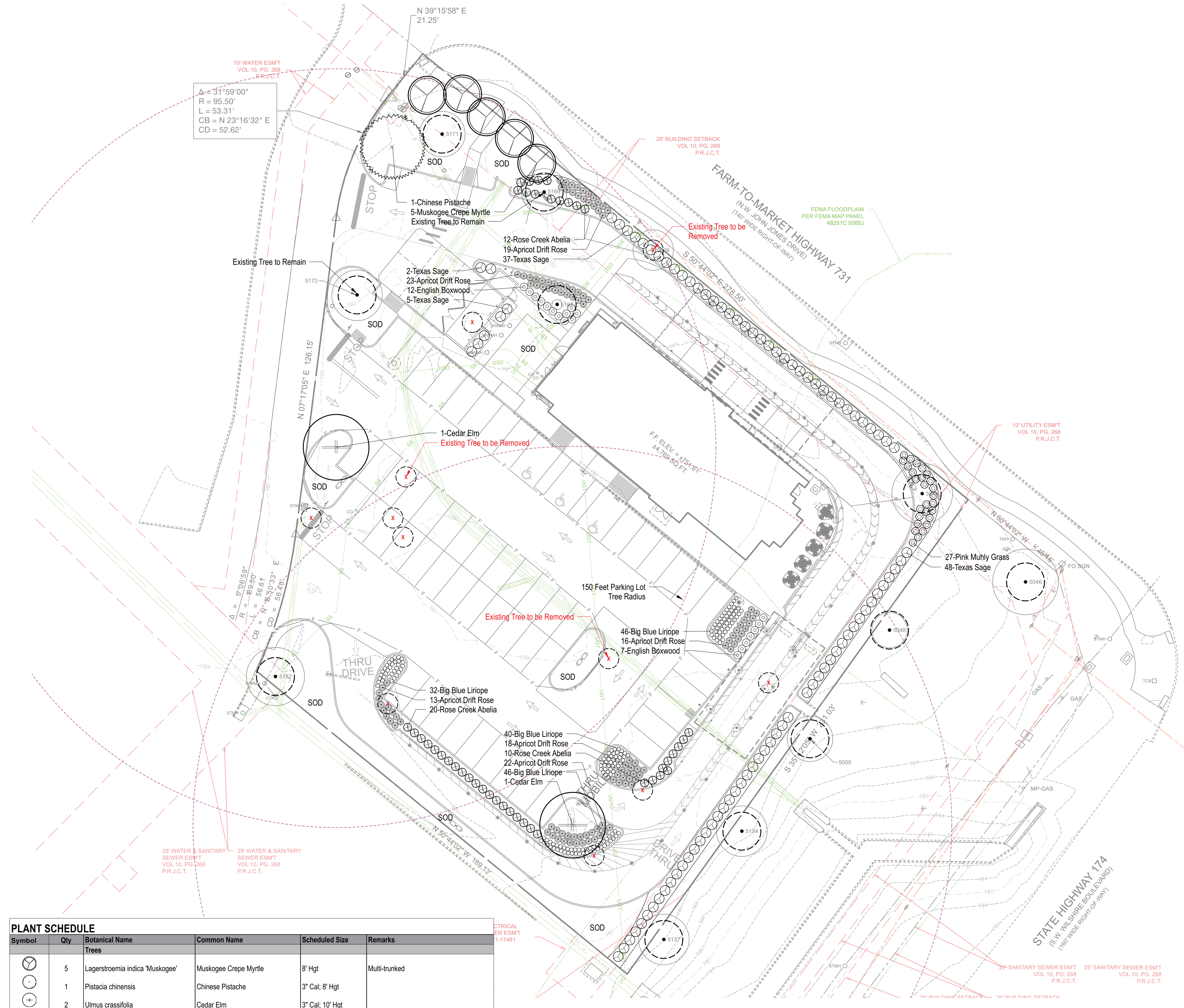
MLD PROJECT # 2024236
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SHEET
Landscape Plan

SHEET NUMBER

L-101



SOUTHWEST LANDSCAPE NOTES

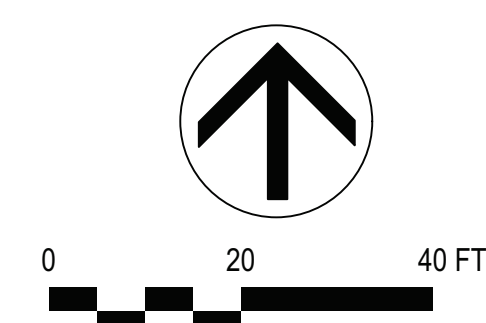
- Landscape Contractor to read and understand the Landscape Specifications prior to finalizing bids. The Landscape Specifications shall be adhered to throughout the construction process.
- Contractor is responsible for locating and protecting all underground utilities prior to digging.
- Contractor is responsible for protecting existing trees from damage during construction.
- All tree protection devices to be installed prior to the start of land disturbance, and maintained until final landscaping.
- All tree protection areas to be protected from sedimentation.
- All tree protection fencing to be inspected daily, and repaired or replaced as needed.
- No parking, storage or other construction activities are to occur within tree protection areas.
- All planting areas shall be cleaned of construction debris (ie. concrete, rock, rubble, building materials, etc) prior to adding and spreading of the topsoil.
- General Contractor is responsible for adding a min of 4" clean friable topsoil in all planting beds and all grassed areas. Graded areas to be held down the appropriate elevation to account for topsoil depth. See Landscape Specifications for required topsoil characteristics.
- Remove debris, gravel, rock, and media not suitable for planting from all parking lot islands. Fracture/loosen subgrade to a min. 24" depth and ensure proper drainage is achieved; complete water perk test. Add planting mix to achieve desired soil elevation; refer to landscape specifications and landscape island detail.
- Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.
- Any deviations from the approved set of plans are to be approved by the Landscape Architect.
- Landscaping shall be installed in conformance with ANSI Z60.1 the "American Standard for Nursery Stock" and the accepted standards of the American Association of Nurserymen.
- Existing grass in proposed planting areas shall be killed and removed. Hand rake to remove all rocks and debris larger than 1 inch in diameter, prior to adding topsoil and planting shrubs.
- Soil to be tested to determine fertilizer and lime requirements prior to laying sod.
- Annual and perennial beds: add min. 4 inch layer of organic material and till to a min. depth of 12 inches. Mulch annual and perennial beds with 2-3 inch depth of mini nuggets.
- All shrubs beds (existing and new) to be mulched with a min. 3 inch layer of rock mulch; rock mulch shall be locally sourced, type based on availability and approved by owners rep. Metal edging shall be installed to separate rock from sod or other non-rock mulched areas.
- Planting holes to be dug a minimum of twice the width of the root ball, for both shrub and tree. Set plant material 2-3" above finish grade. Backfill planting pit with topsoil and native excavated soil.
- Sod to be delivered fresh (Cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. Edge of sod at planting beds are to be "V" trenched or metal edging installed; see Landscape Details.
- Any existing grass disturbed during construction to be fully removed, regraded and replaced. All tire marks and indentations to be repaired.
- Water thoroughly twice in first 24 hours and apply mulch immediately.
- The Landscape Contractor shall guarantee all plants installed for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism. See Landscape Specifications for Warranty requirements/expectations.
- Any plant that is determined dead, in an unhealthy, unsightly condition, lost its shape due to dead branches, or other symptoms of poor, non-vigorous growth, shall be replaced by the Landscape Contractor. See Landscape Specifications for warranty requirements/expectations.
- Site to be 100% irrigated in all planting beds and grass area by an automatic underground Irrigation System. Irrigation as-built shall be provided to the owners rep within 24 hours of irrigation install completion.
- Stake all evergreen and deciduous trees as shown in the planting detail and as per the Landscape Specifications.
- Remove stakes and guying from all trees after one year from planting.

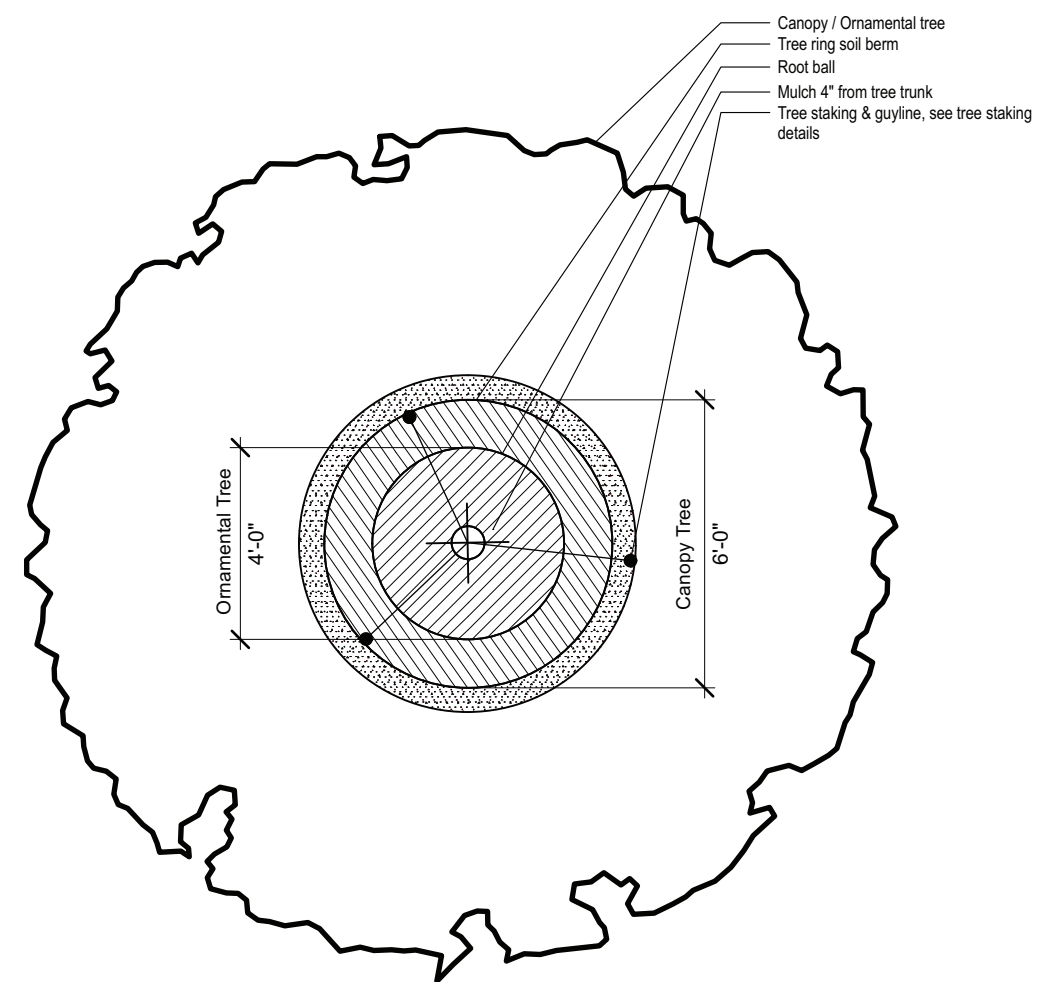
LANDSCAPE REQUIREMENTS

- A. STREET TREES**
- REQUIRED**
- Large trees: 50 feet OC
 - Medium trees: 40 feet OC
 - Small trees: 30 feet OC
- 20% of the total lot shall be landscape area = 11,128 SF of landscape area required
- PROVIDED**
- Landscape area = 11,347 SF of landscape area provided
- B. PARKING AREA LANDSCAPING**
- REQUIRED**
- Parking areas shall be screened from adjacent streets with 3 Gal shrubs
 - All parking spaces shall be located within 150 feet of a tree
- (1) 3" Cal large tree or (2) small trees per 60 LF of frontage
 - FM Hwy 731: 278 LF / 60 LF x 2 small trees = 9 small trees required
 - State Hwy 174: 231 LF / 60 LF x 1 large tree = 4 large trees required
 - (1) 3" Cal large tree or (1) 8' Hgt small tree per 20 parking spaces and (1) 8' Hgt small tree per 30 parking spaces
 - 60 parking spaces / 20 parking spaces = 3 large trees required
 - 60 parking spaces / 30 parking spaces = 2 small trees required
- PROVIDED**
- FM Hwy 731: 3 trees existing, 5 crepe myrtle, 1 pistache = 9 small trees provided
 - State Hwy 174: 4 large trees existing = 4 large trees existing
 - 1 tree existing, 2 cedar elm = 3 large trees provided
 - 2 trees existing = 2 trees existing

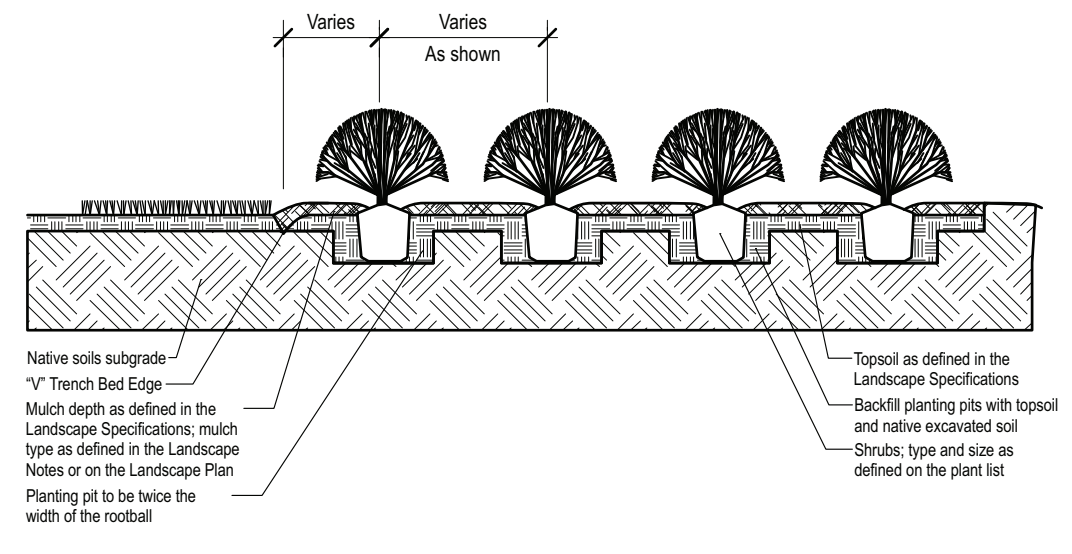
PLANT SCHEDULE

Symbol	Qty	Botanical Name	Common Name	Scheduled Size	Remarks
Trees					
⊗	5	Lagerstroemia indica 'Muskogee'	Muskogee Crepe Myrtle	8' Hgt	Multi-trunked
⊙	1	Pistacia chinensis	Chinese Pistache	3" Cal, 8' Hgt	
⊕	2	Ulmus crassifolia	Cedar Elm	3" Cal, 10' Hgt	
Shrubs					
⊗	42	Abelia x chinensis 'Rose Creek'	Rose Creek Abelia	3 Gal	
⊙	19	Buxus microphylla	English Boxwood	3 Gal	
⊕	92	Leucophyllum frutescens 'Compact'	Texas Sage	3 Gal	
⊗	27	Muhlenbergia capillaris	Pink Muhly Grass	3 Gal	
⊙	111	Rosa 'Meimirole'	Apricot Drift Rose	3 Gal	
Groundcovers					
○	164	Liriope muscari 'Big Blue'	Big Blue Liriope	1 Gal	Plant 18" OC
Other					

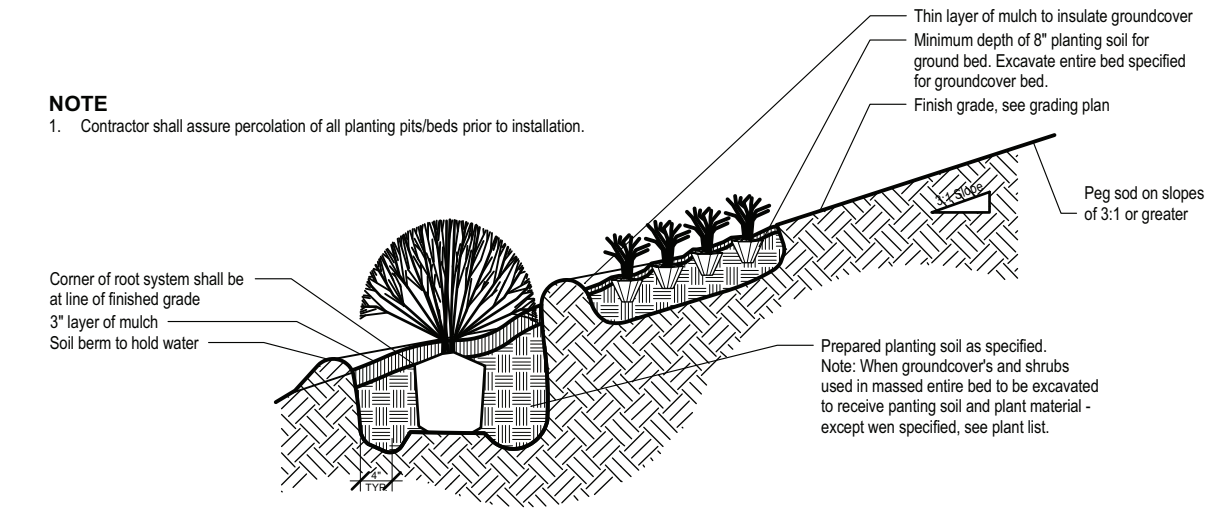




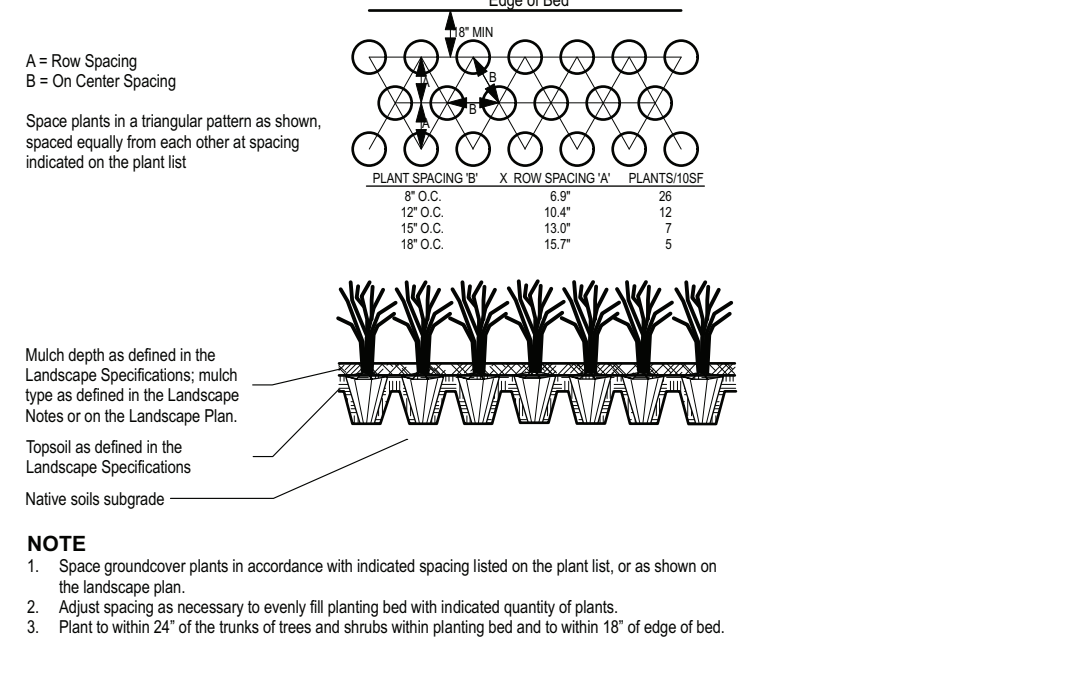
2 SHRUB BED PLANTING DETAIL
SCALE: NTS



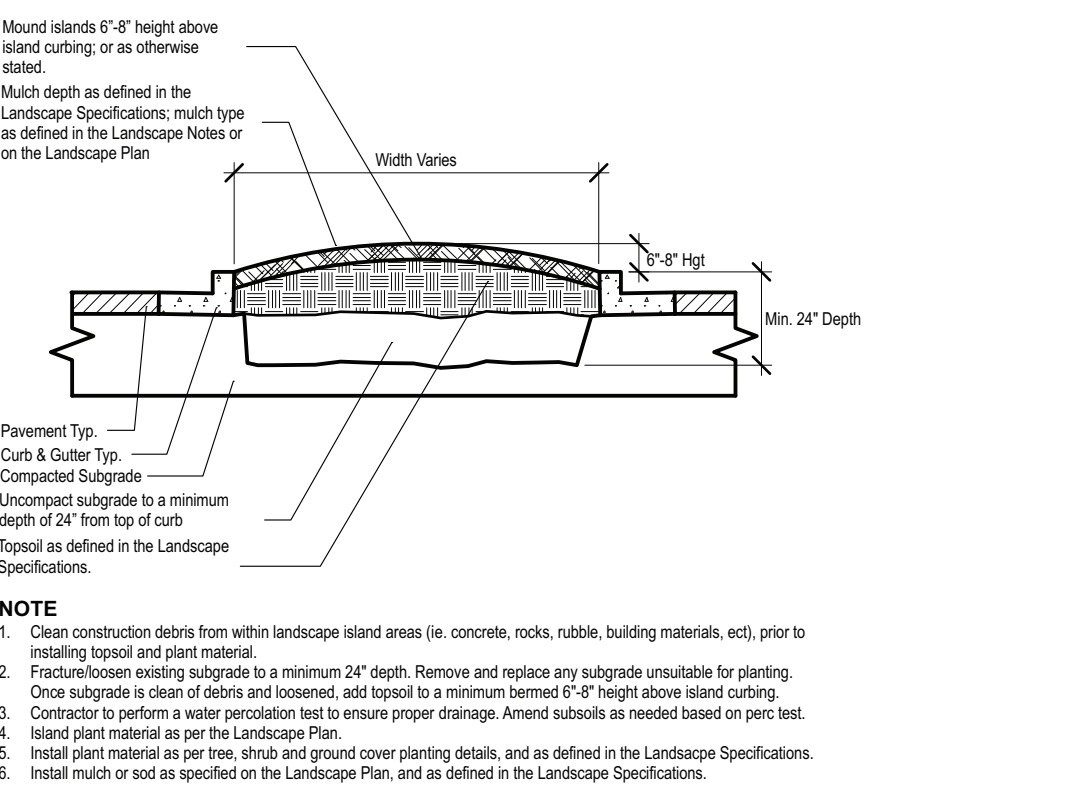
3 SLOPE PLANTING DETAIL
SCALE: NTS



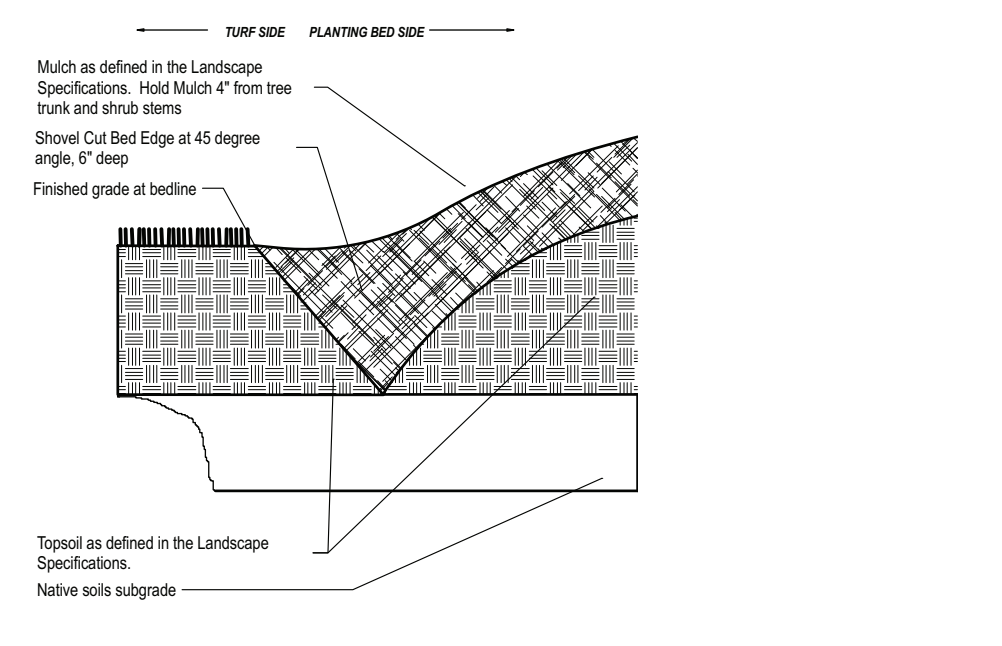
4 GROUNDCOVER PLANTING DETAIL
SCALE: NTS



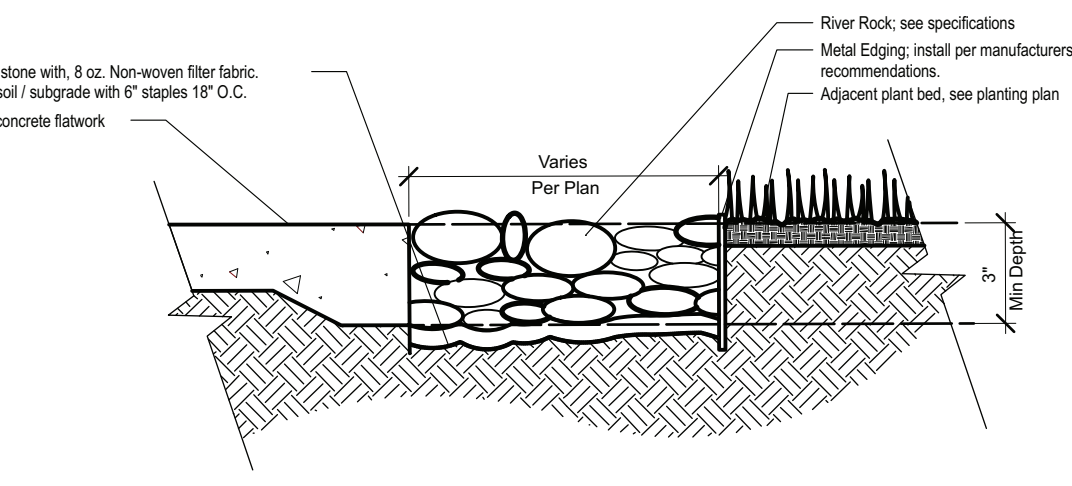
5 PARKING ISLAND DETAIL
SCALE: NTS



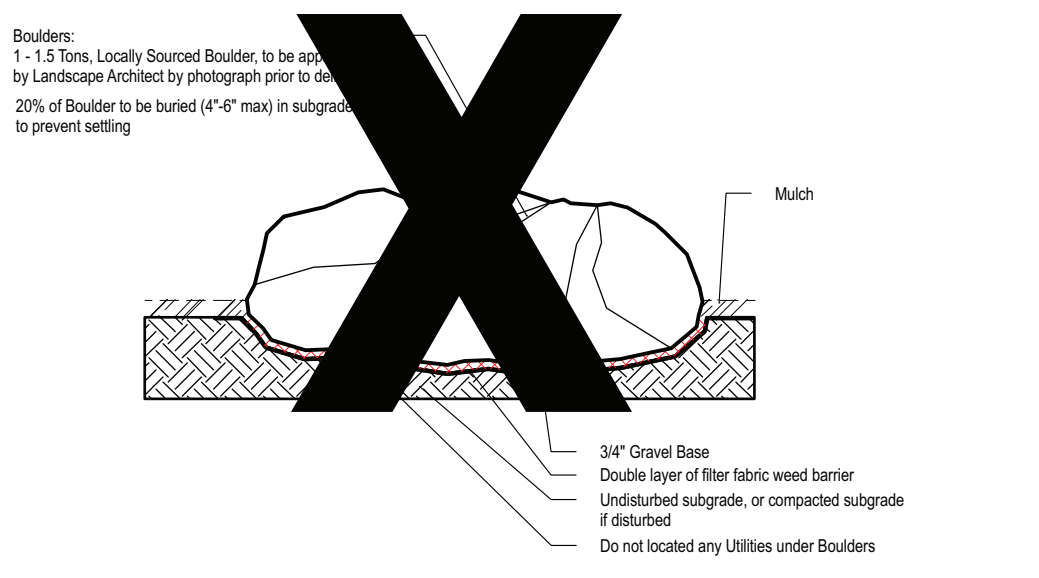
6 \"V\" TRENCH BED EDGING
SCALE: NTS



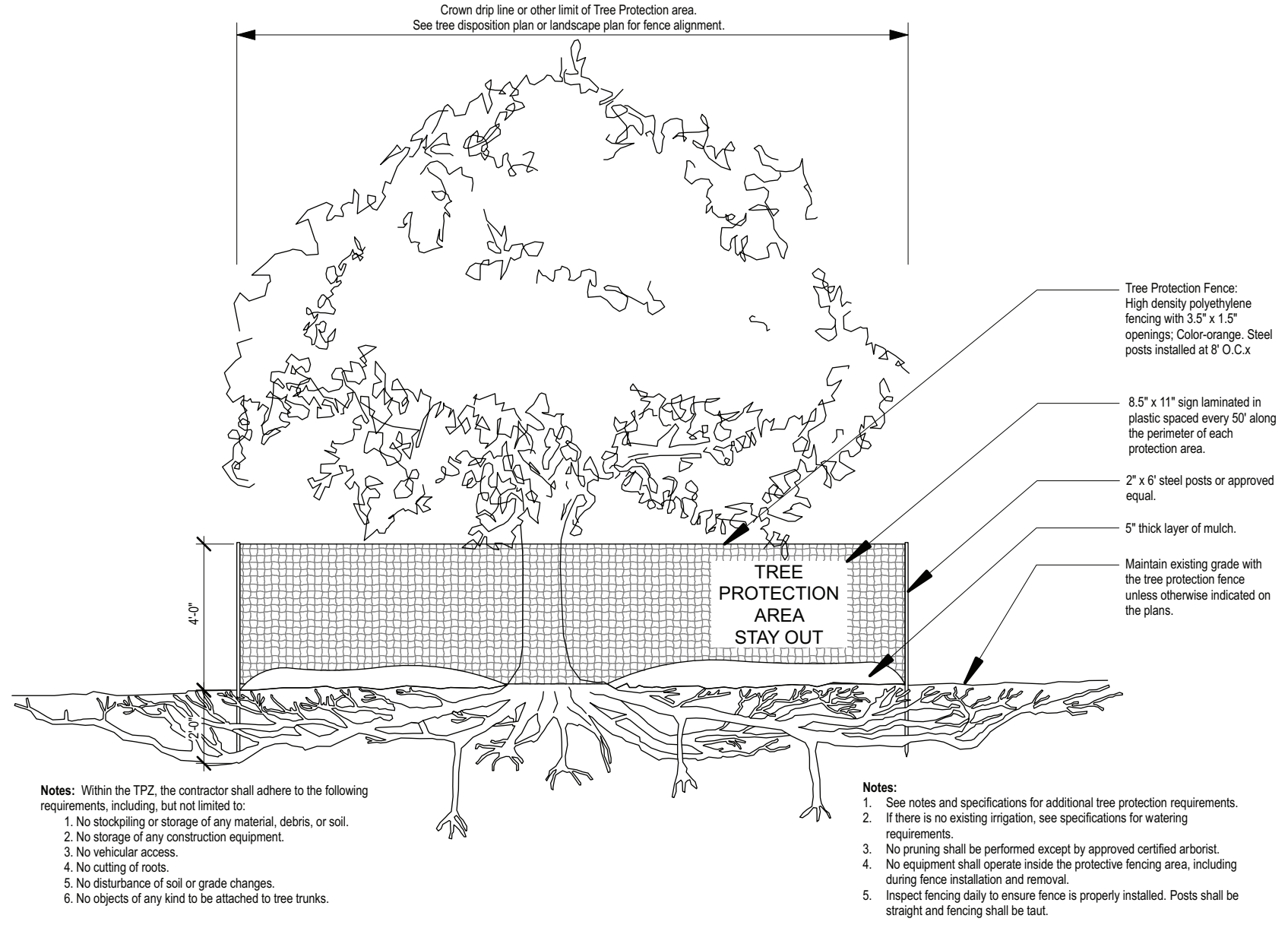
7 ROCK MULCH W/ METAL EDGING DETAIL
SCALE: NTS



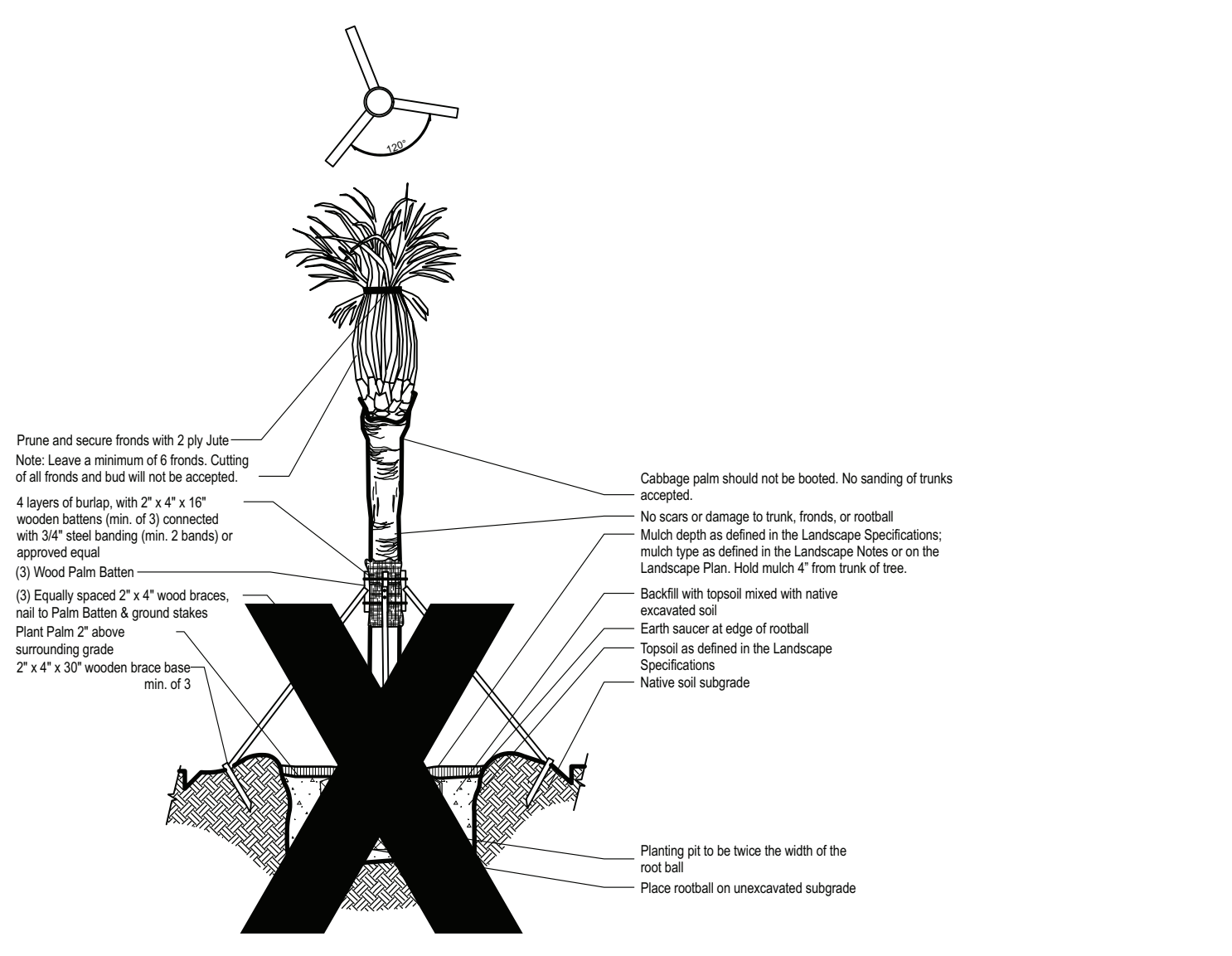
8 BOULDER INSTALLATION DETAIL
SCALE: NTS



9 TREE PROTECTION FENCING DETAIL
SCALE: NTS



10 PALM PLANTING & STAKING DETAIL
SCALE: NTS



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FSU# 02786

REVISION SCHEDULE

NO.	DATE	BY	DESCRIPTION

MLD PROJECT #	2024236
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SHEET
Landscape Details
SHEET NUMBER
L-102

LANDSCAPE SPECIFICATIONS

PART 1 - GENERAL

DESCRIPTION

Provide trees, shrubs, ground covers, sod, and annuals/perennials as shown and specified on the landscape plan. The work includes:

1. Soil preparation.
2. Trees, shrubs, ground covers, and annuals/perennials.
3. Planting mixes.
4. Top Soil, Mulch and Planting accessories.
5. Maintenance.
6. Decorative stone.

Related Work:

1. Irrigation System.

QUALITY ASSURANCE

Plant names indicated; comply with "Standardized Plant Names" as adopted by the latest edition of the American Joint Committee of Horticultural Nomenclature. Names of varieties not listed conform generally with names accepted by the nursery trade. Provide stock true to botanical name and legibly tagged.

Comply with sizing and grading standards of the latest edition of "American Standard for Nursery Stock". A plant shall be dimensioned as it stands in its natural position.

All plants shall be nursery grown under climatic conditions similar to those in the locality of the project for a minimum of 2 years.

Nursery Stock furnished shall be at least the minimum size indicated. Larger stock is acceptable, at no additional cost, and providing that the larger plants will not be cut back to size indicated. Provide plants indicated by two measurements so that only a maximum of 25% are of the minimum size indicated and 75% are of the maximum size indicated.

Before submitting a bid, the Contractor shall have investigated the sources of supply and be satisfied that they can supply the listed plants in the size, variety and quality as specified. Failure to take this precaution will not relieve the Contractor from their responsibility for furnishing and installing all plant materials in strict accordance with the Contract Documents without additional cost to the Owner. The Landscape Architect shall approve any substitutes of plant material, or changes in plant material size, prior to the Landscape Contractor submitting a bid.

DELIVER, STORAGE AND HANDLING

Take all precautions customary in good trade practice in preparing plants for moving. Workmanship that fails to meet the highest standards will be rejected. Spray deciduous plants in foliage with an approved "Anti-Desiccant" immediately after digging to prevent dehydration. Dig, pack, transport, and handle plants with care to ensure protection against injury. Inspection certificates required by law shall accompany each shipment invoice or order to stock. Protect all plants from drying out. If plants cannot be planted immediately upon delivery, properly protect them with soil, wet peat moss, or in a manner acceptable to the Landscape Architect. Water heeled-in plantings daily. No plant shall be bound with rope or wire in a manner that could damage or break the branches. Cover plants transported on open vehicles with a protective covering to prevent wind burn.

PROJECT CONDITIONS

Protect existing utilities, paving, and other facilities from damage caused by landscape operations.

A complete list of plants, including a schedule of sizes, quantities, and other requirements are shown on the drawings. In the event that quantity discrepancies or material omissions occur in the plant materials list, the planting plans shall govern.

The irrigation system will be installed prior to planting. Locate, protect and maintain the irrigation system during planting operations. Repair irrigation system components damaged during planting operations; at the Contractor's expense. Refer to the irrigation specifications, irrigation plan and irrigation details.

Do not begin landscape accessory work before completion of final grading or surfacing.

WARRANTY

Warrant plant material to remain alive, be healthy and in a vigorous condition for a period of 1 year after completion and final acceptance of entire project.

Replace, in accordance with the drawings and specifications, all plants that are dead or, are in an unhealthy, or unsightly condition, and have lost their natural shape due to dead branches, or other causes due to the Contractor's negligence. The cost of such replacement(s) is at the Contractor's expense. Warrant all replacement plants for 1 year after installation.

Warranty shall not include damage, loss of trees, plants, or ground covers caused by fires, floods, freezing rains, lightning storms, winds over 75 miles per hour, winter kill caused by extreme cold, severe winter conditions not typical of planting area, and/or acts of vandalism or negligence on a part of the Owner.

Remove and immediately replace all plants found to be unsatisfactory during the initial planting installation.

Maintain and protect plant material, lawns, and irrigation until final acceptance is made.

ACCEPTANCE

Inspection of planted areas will be made by the Owner's representative.

1. Planted areas will be accepted provided all requirements, including maintenance, have been complied with and plant materials are alive and in a healthy, vigorous condition.

Upon acceptance, the Contractor shall commence the specified plant maintenance.

CODES, PERMITS AND FEES

Obtain any necessary permits for this Section of Work and pay any fees required for permits.

The entire installation shall fully comply with all local and state laws and ordinances, and with all established codes applicable thereto; also as depicted on the landscape and irrigation construction set.

PART 2 - PRODUCTS

MATERIALS

Plants: Provide typical of their species or variety; with normal, densely developed branches and vigorous, fibrous root systems. Provide only sound, healthy, vigorous plants free from defects, disfiguring knots, sun scald injuries, frost cracks, abrasions of the bark, plant diseases, insect eggs, borers, and all forms of infestation. All plants shall have a fully developed form without voids and open spaces. Plants held on storage will be rejected if they show signs of growth during the storage period.

1. Balled and plants wrapped with burlap, to have firm, natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Provide ball sizes complying with the latest edition of the "American Standard for Nursery Stock". Cracked or mushroomed balls, or signs of circling roots are not acceptable.
2. Container- grown stock: Grown in a container for sufficient length of time for the root system to have developed to hold its soil together, firm and whole.
 - a. No plants shall be loose in the container.
 - b. Container stock shall not be pot bound.
 - c. Plants planted in rows shall be matched in form.
3. Plants larger than those specified in the plant list may be used when acceptable to the Landscape Architect.
 - a. If the use of larger plants is acceptable, increase the spread of roots or root ball in proportion to the size of the plant.
5. The height of the trees, measured from the crown of the roots to the top of the top branch, shall not be less than the minimum size designated in the plant list.
6. No pruning wounds shall be present with a diameter of more than 1" and such wounds must show vigorous bark on all edges.
7. Evergreen trees shall be branched to the ground or as specified in plant list.
8. Shrubs and small plants shall meet the requirements for spread and height indicated in the plant list.
 - a. The measurements for height shall be taken from the ground level to the height of the top of the plant and not the longest branch.
 - b. Single stemmed or thin plants will not be accepted.
 - c. Side branches shall be generous, well-twigged, and the plant as a whole well-bushed to the ground.
 - d. Plants shall be in a moist, vigorous condition, free from dead wood, bruises, or other root or branch injuries.

ACCESSORIES

Topsoil: Shall be Fertile, friable, natural topsoil of loamy character, without admixture of subsoil material, obtained from a well-drained arable site, reasonably free from clay lumps, coarse sands, stones, roots, sticks, and other foreign materials, with acidity range of between pH 6.0 and 6.8.

Note: All planting areas shall be cleaned of construction debris (ie. Concrete, rubble, stones, building material, etc.) prior to adding and spreading of the top soil.

1. *Sod Areas:* Spread a minimum 4" layer of top soil and rake smooth.
2. *Planting bed areas:* Spread a minimum 4" layer of top soil and rake smooth.

3. *Landscape Islands/Medians:* Fracture/loosen existing subgrade to a minimum 24" depth. Remove and replace any subgrade unsuitable for planting. Once subgrade is clean of debris and loosened, add topsoil to a minimum berm 6"-8" height above island curbing. Must ensure island have proper drainage; perk test required.
4. *Annual/Perennial bed areas:* Add a minimum of 4" organic matter and till to a minimum 12" depth.

Mulch: Type selected dependent on region and availability; see landscape plans for type of mulch to be used. Hold mulch 4" from tree trunks and shrub stems.

1. **Hardwood:** (color) dark brown, 6 month old well rotted double shredded native hardwood bark mulch not larger than 4" in length and 1/2" in width, free of wood chips and sawdust. Install minimum depth of 3".
2. **Pine Straw:** Pine straw to be fresh harvest, free of debris, bright in color. Bales to be wired and tightly bound. Needles to be dry. Install minimum depth of 3".
3. **Rock Mulch:** (color) light gray to buff to dark brown, washed, 1" – 3" in size; or as desired by Owners Representative and locally available. Install in shrub beds to an even depth of 3". Weed control barrier to be installed under all rock mulch areas. Use caution during installation not to damage plant material. Metal edging shall be installed along all edges between rock mulch and sod and/or rock mulch and other types of mulch.
4. **Mini Nuggets:** Install to a minimum depth of 2"-3" at all locations of annual and perennial beds. Lift the stems and leaves of the annuals and carefully spread the mulch to avoid injuring the plants. Gently brush the mulch off the plants.

Guying/Staking:

1. **Arboret:** Green (or white) staking and guying material to be flat, woven, polypropylene material, 3/4" wide 900 lb. break strength. Arboretic shall be fastened to stakes in a manner which permits tree movement and supports the tree.
2. **Remove Guying/Staking** after one year from planting.

Tree Wrap: Tree wraps should be used on young, newly planted thin-barked trees (Cherry, Crabapple, Honey Locust, Linden, Maple, Mountain Ash, Plum) that are most susceptible to sun scald/Sunburn. Standard waterproof tree wrapping paper, 2-1/2" wide, made of 2 layers of crepe Draft paper weighing not less than 30 lbs. per ream, cemented together with asphalt. Wrap the tree in the fall and leave the wrap in place throughout the winter and early spring. Tree wraps are temporary and no longer needed once trees develop corky bark.

PART 3 – EXECUTION

INSPECTION

Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve top soil provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, and work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.

PREPARATION

Planting shall be performed only by experienced workmen familiar with planting procedures under the supervision of a qualified supervisor.

Locate plants as indicated on the plans or as approved in the field after staking by the Landscape Contractor. If obstructions are encountered that are not shown on the drawings, do not proceed with planting operations until alternate plant locations have been selected and approved by the Landscape Architect; spacing of plant material shall be as shown on the landscape plan.

Excavate circular plant pits with vertical sides, except for plants specifically indicated to be planted in beds. Provide shrub pits at least 12" greater than the diameter of the root system and 24" greater for trees. Depth of pit shall accommodate the root system. Provide undisturbed soil grade to hold root ball at nursery grade as shown on the drawings.

INSTALLATION

Set plant material in the planting pit to proper grade and alignment. Set plants upright, plumb, and faced to give the best appearance and relationship to each other or adjacent structure. Set plant material 2" – 3" above the finish grade. No filling will be permitted around trunks or stems. Backfill the pit with topsoil mix and excavated material. Do not use frozen or muddy mixtures for backfilling. Form a ring of soil around the edge of each planting pit to retain water.

After balled and wrapped in burlap plants are set, muddle planting soil mixture around bases of balls and fill all voids.

1. Remove all burlap, ropes, and wires from the top 1/3 of the root ball

Space ground cover plants in accordance with indicated dimensions. Adjust spacing as necessary to evenly fill planting bed with indicated quantity of plants. Plant within 24" of the trunks of trees and shrubs within planting bed and to within 18" of edge of bed.

Mulching:

1. Mulch tree and shrub planting pits and shrub beds with required mulching material (see landscape plan for mulch type); depth of mulch as noted above. **Hold mulch back 4" away from tree trunks and shrub stems.** Thoroughly water mulched areas. After watering, rake mulch to provide a uniform finished surface.
- Decorative Stone: (where indicated on landscape plan)
1. Install weed control barrier over sub-grade prior to installing stone. Lap 6" on all sides.
 2. Place stone without damaging weed barrier.
 3. Arrange stones for best appearance and to cover all weed barrier fabric.
- Wrapping, guying, staking:
1. Inspect trees for injury to trunks, evidence of insect infestation, and improper pruning before wrapping.
 2. Wrapping:
 - a. Wrap trunks of all young newly planted trees known to have thin bark. Wrap spirally from bottom to top with specified tree wrap and secure in place.
 - b. Overlap 1/2 the width of the tree wrap strip and cover the trunk from the ground to the height of the second branch.
 - c. Secure tree wrap in place with wine wound spirally downward in the opposite direction, tied around the tree in at least 3 places in addition to the top and bottom.
 - d. Wrap the trees in the fall and leave the wrap in place throughout the winter and early spring.
 - e. Tree wraps are temporary and no longer needed once the trees develop corky bark.
 3. Staking/Guying:
 - a. Stake/guy all trees immediately after lawn sodding operations and prior to acceptance.
 - b. Stake deciduous trees 2" caliper and less. Stake evergreen trees under 7"-0" tall.
 1. Stakes are placed in line with prevailing wind direction and driven into undisturbed soil.
 2. Ties are attached to the tree, usually at the lowest branch.
 - c. Guy deciduous trees over 2" caliper. Guy evergreen trees 7"-0" tall and over.
 1. Guy wires to be attached to three stakes driven into undisturbed soil, with one stake placed in the direction of the prevailing wind.
 2. Ties are attached to the tree as high as practical.
 3. The axis of the stake should be at 90 degree angle to the axis on the pull of the guy wire.
 4. **Remove all guying and staking after one year from planting.**

Pruning:

1. Prune deciduous trees and evergreens only to remove broken or damaged branches.

WORKMANSHIP

During landscape/irrigation installation operations, all areas shall be kept neat and clean. Precautions shall be taken to avoid damage to existing structures. All work shall be performed in a safe manner to the operators, the occupants and any pedestrians.

Upon completion of installation operations, all excess materials, equipment, debris and waste material shall be cleaned up and removed from the site; unless provisions have been granted by the owner to use on-site trash receptacles. Sweep parking and walks clean of dirt and debris. Remove all plant tags and other debris from lawns and planting areas.

Any damage to the landscape, the structure, or the irrigation system caused by the landscape contractor shall be repaired by the landscape contractor without charge to the owner.

MAINTENANCE

Contractor shall provide maintenance until work has been accepted by the Owner's Representative.

Maintenance shall include mowing, fertilizing, mulching, pruning, cultivation, weeding, watering, and application of appropriate insecticides and fungicides necessary to maintain plants and lawns free of insects and disease.

1. Re-set settled plants to proper grade and position. Restore planting saucer and adjacent material and remove dead material.
2. repair guy wires and stakes as required. Remove all stakes and guy wires after 1 year.
3. Correct defective work as soon as possible after deficiencies become apparent and weather and season permit.
4. Water trees, plants and ground cover beds within the first 24 hours of initial planting, and not less than twice per week until final acceptance.

LANDSCAPE MAINTENANCE SPECIFICATIONS

The Contractor shall provide as a separate bid, maintenance for a period of **1 year** after final acceptance of the project landscaping. The Contractor must be able to provide continued maintenance if requested by the Owner or provide the name of a reputable landscape contractor who can provide maintenance.

STANDARDS

All landscape maintenance services shall be performed by trained personnel using current, acceptable horticultural practices.

All work shall be performed in a manner that maintains the original intent of the landscape design.

All chemical applications shall be performed in accordance with current county, state and federal laws, using EPA registered materials and methods of application. These applications shall be performed under the supervision of a Licensed Certified applicator.

APPROVALS

Any work performed in addition to that which is outlined in the contract shall only be done upon written approval by the Owner's Representative (General Manager of the restaurant).

All seasonal color selections shall be approved by the General Manager prior to ordering and installation.

SOIL TESTING

The maintenance contractor shall perform soil tests as needed to identify imbalances or deficiencies causing plant material decline. The owner shall be notified of the recommendation for approval, and the necessary corrections made at an additional cost to the owner.

Acceptable Soil Test Results

	Landscape Trees and Shrubs	Turf
pH Range	5.0-7.0	6.0-7.0
Organic Matter	>1.5%	>2.5%
Magnesium (Mg)	100-lbs./acre	100-lbs./acre
Phosphorus (P2O5)	150-lbs./acre	150-lbs./acre
Potassium (K2O)	120-lbs./acre	120-lbs./acre
Soluble salts/Conductivity	Not to exceed 900ppm/1.9 mmhos/cm in soil; not to exceed 1400 ppm/2.5 mmhos/cm in high organic mix	Not to exceed 750ppm/0.75 mmhos/cm in soil; not to exceed 2000 ppm/2.0 mmhos/cm in high organic mix

For unusual soil conditions, the following optional tests are recommended with levels not to exceed:

Boron	3 pounds per acre
Manganese	50 pounds per acre
Potassium (K2O)	450 pounds per acre
Sodium	20 pounds per acre

WORKMANSHIP

During landscape maintenance operations, all areas shall be kept neat and clean. Precautions shall be taken to avoid damage to existing structures. All work shall be performed in a safe manner to the operators, the occupants and any pedestrians.

Upon completion of maintenance operations, all debris and waste material shall be cleaned up and removed from the site, unless provisions have been granted by the owner to use on-site trash receptacles.

Any damage to the landscape, the structure, or the irrigation system caused by the maintenance contractor, shall be repaired by the maintenance contractor without charge to the owner.

TURF

GENERAL CLEAN UP

Prior to mowing, all trash, sticks, and other unwanted debris shall be removed from lawns, plant beds, and paved areas.

MOWING

Warm season grasses (i.e. Bermuda grass) shall be maintained at a height of 1" to 2" during the growing season.

Cool season grasses, including blue grass, tall fescue, perennial ryegrass, etc., shall be maintained at a height of 2" to 3" in spring and fall. From June through September, mowing height shall be maintained at no less than 3".

The mowing operation includes trimming around all obstacles, raking excessive grass clippings and removing debris from walks, curbs, and parking areas. Caution: Weed eaters should NOT be used around trees because of potential damage to the bark.

EDGING

Edging of all sidewalks, curbs and other paved areas shall be performed once every other mowing. Debris from the edging operations shall be removed and the areas swept clean. Caution shall be used to avoid flying debris.

LIMING & FERTILIZING

A soil test shall be taken to determine whether an application of limestone in late fall is necessary. If limestone is required, the landscape contractor shall specify the rate, obtain approval from the owner and apply it at an additional cost. A unit price for liming of turf shall accompany the bid based on a rate of 50 pounds per 1000 square feet.

Fertilizer shall be applied in areas based on the existing turf species.

LAWN WEED CONTROL: HERBICIDES

Selection and proper use of herbicides shall be the landscape contractor's responsibility. All chemical applications shall be performed under the supervision of a Licensed Certified Applicator. **Read the label prior to applying any chemical.**

INSECT & DISEASE CONTROL FOR TURF

The contractor shall be responsible for monitoring the site conditions on each visit to determine if any insect pest or disease problems exist. The contractor shall identify the insect pest or disease, as well as the host plant, and then consult the most current edition of the Cooperative Extension Service's "Commercial Insecticide Recommendation for Turf" for control. The licensed applicator shall be familiar with the label provided for the selected product prior to application.

Inspection and treatment to control insect pests shall be included in the contract price.

TREES, SHRUBS, & GROUND COVER

PRUNING

All ornamental trees, shrubs and ground cover shall be pruned when appropriate to remove dead or damaged branches, develop the natural shapes. **Do not shear trees or shrubs.** If previous maintenance practice has been to shear and ball, then a natural shape will be restored gradually.

Pruning Guidelines:

1. Prune those that flower before the end of June immediately after flowering. Flower buds develop during the previous growing season. Fall, winter or spring pruning would reduce the spring flowering display.
2. Prune those that flower in summer or autumn in winter or spring before new growth begins, since these plants develop flowers on new growth.
3. Delay pruning plants grown for ornamental fruits, such as cotoneasters, pyracanthas and viburnums.
4. Hollies and other evergreens may be pruned during winter in order to use their branches for seasonal decoration. However, severe pruning of evergreens should be done in early spring only.
5. Broadleaf evergreen shrubs shall be hand-pruned to maintain their natural appearance after the new shrubs harden off.
6. Hedges or shrubs that require shearing to maintain a formal appearance shall be pruned as required. Dead wood shall be removed from sheared plants before the first shearing of the season.
7. Conifers shall be pruned, if required, according to their genus.
 - A. Yews, junipers, hemlocks, arbutoviae, and false-cypress may be pruned after new growth has hardened off in late summer. If severe pruning is necessary, it must be done in early spring.
 - B. Firs and spruces may be lightly pruned in late summer, fall, or winter after completing growth. Leave side buds. Never cut central leader.
 - C. Pines may be lightly pruned in early June by reducing candles.
8. Groundcover shall be edged and pruned as needed to contain it within its borders.

9. Thinning: Remove branches and water sprouts by cutting them back to their point of origin on parent stems. This method results in a more open plant, without stimulating excessive growth. Thinning is used on crepe myrtle, ilacs, viburnums, smoke bush, etc.
10. Renewal pruning: Remove oldest branches of shrub at ground, leaving the younger, more vigorous branches. Also remove weak stems. On overgrown plants, this method may be best done over a three-year period. Renewal pruning may be used on abelia, forsythia, deutzia, spiraea, etc.

Plants overhanging passageways and parking areas and damaged plants shall be pruned as needed.

Shade trees that cannot be adequately pruned from the ground shall not be included in the Maintenance Contract. A certified arborist under a separate contract shall perform this type of work.

SPRING CLEANUP

Plant beds shall receive a general cleanup before fertilizing and mulching. Cleanup includes removing debris and trash from beds and cutting back herbaceous perennials left standing through winter, e.g. ornamental grasses, Sedum Autumn Joy and ornamental grasses.

FERTILIZING

For trees, the rate of fertilization depends on the tree species, tree vigor, area available for fertilization, and growth stage of the tree. Mature specimens benefit from fertilization every 3 to 4 years; younger trees shall be fertilized more often during rapid growth stages.

The current recommendation is based on the rate of 1000 square feet of area under the tree to be fertilized. For deciduous trees, 2 to 6 pounds of Nitrogen per 1000 square feet; for narrow-leaf evergreens, 1 to 4 pounds of Nitrogen per 1000 square feet; for broadleaf evergreens, 1 to 3 pounds of Nitrogen per 1000 square feet.

Shrubs and groundcover shall be top-dressed with compost 1" deep, or fertilized once in March with 10-6-4 analysis fertilizer at the rate of 3 pounds per 100 square feet of bed area. Eriocaeous material shall be fertilized with an ericaceous fertilizer at the manufacturer's recommended rate. If plants are growing poorly, a soil sample should be taken.

MULCHING

Annually, all tree and shrub beds will be prepared and mulched, to a minimum depth of 3" with quality mulch to match existing. Bed preparation shall include removing all weeds, cleaning up soid bed, edging and cultivating decayed mulch into the soil. Debris from edging is to be removed from beds where applicable. If deemed necessary, a pre-emergent herbicide may be applied to the soil to inhibit the growth of future weeds.

Organically maintained gardens shall not receive any pre-emergent herbicides. Mulch in excess of 4" will be removed from the bed areas. SPECIAL CARE shall be taken in the mulching operation not to over-mulch or cover the base of trees and shrubs. This can be detrimental to the health of the plants.

WEEDING

All beds shall be weeded on a continuous basis throughout the growing season to maintain a neat appearance at all times.

Pre-emergent (soil-applied) and post-emergent (foliar-applied) herbicides shall be used where and when applicable and in accordance with the product's label.

INSECT & DISEASE CONTROL: TREES, SHRUBS & GROUND COVER

The maintenance contractor shall be responsible for monitoring the landscape site on a regular basis. The monitoring frequency shall be monthly except for growing season, which will be every other week. Trained personnel shall monitor for plant damaging insect activity, plant pathogenic diseases and potential cultural problems in the landscape. The pest or cultural problem will be identified under the supervision of the contractor.

For plant damaging insects and mites identified in the landscape, the contractor shall consult and follow the recommendations of the most current edition of the state Cooperative Service publication on insect control on landscape plant material.

Plant pathogenic disease problems identified by the contractor that can be resolved by pruning or physical removal of damaged plant parts will be performed as part of the contract. For an additional charge, plant pathogenic diseases that can be resolved through properly timed applications of fungicides shall be made when the owner authorizes it.

If the contractor notes an especially insect-or disease-prone plant species in the landscape, he/she will suggest replacement with a more pest-resistant cultivar or species that is consistent with the intent of the landscape design.

NOTE: For identification of plant-damaging insects and mites, a reference textbook that can be used is *Insects that Feed on Trees and Shrubs* by Johnson and Lyon, Comstock Publishing Associates. For plant pathogenic diseases, two references are suggested: *Scouting and Controlling Woody Ornamental Diseases in Landscapes and Nurseries*, authorized by Gary Moorman, published by Penn State College of Agricultural Sciences, and *Diseases of Trees and Shrubs* by Sinclair and Lyon, published by Comstock Publishing Press.

TRASH REMOVAL

The maintenance contractor shall remove trash from all shrub and groundcover beds with each visit.

LEAF REMOVAL

All fallen leaves shall be removed from the site in November and once in December. If requested by the owner, the maintenance contractor, at an additional cost to the owner shall perform supplemental leaf removals.

WINTER CLEAN-UP

The project shall receive a general clean-up once during each of the winter months, i.e., January, February, and March.

Clean-up includes:

- Cleaning curbs and parking areas
- Removing all trash and unwanted debris
- Turning mulch where necessary
- Inspection of grounds

SEASONAL COLOR: PERENNIALS, ANNUALS, AND BULBS

The installation of perennials, annuals, and bulbs, unless specified herein, shall be reviewed with the owner, and, if accepted, installed and billed to the owner.

SEASONAL COLOR MAINTENANCE

Perennialization of Bulbs:

1. After flowering, cut off spent flower heads.
2. Allow leaves of daffodils and hyacinths to remain for six weeks after flowers have faded. Cut off at base.
3. Allow leaves of other bulbs to yellow naturally and then cut off at base.
4. Apply fertilizer after flowering in spring, possibly again in fall. Apply 10-10-10 at the rate of 2 pounds per 1000 square feet, or top-dress with compost 1" deep. Fall fertilization with a bulb fertilizer or mulching with 1" of compost is optional.

Flower Rotation:

1. Bulbs: Remove the entire plant and bulb after flowers have faded or at the direction of the owner, and install new plants if included in contract.
2. Summer Annuals or Fall Plants:
 - a. Dead heading: Pinch and remove dead flowers on annuals as necessary.
 - b. Fertilizing Summer Annuals: Fertilize using one or two methods: Apply a slow-release fertilizer in May following manufacturer's recommendations. A booster such as 10-10-10 may be necessary in late summer. Or, apply liquid fertilizations of 20-20-20 water-soluble fertilizers, not to exceed 2 pounds of 20-20-20 per 100 gallons of water, monthly; or mulch with compost 1" deep.
 - c. Removal: If fall plants are to be installed, summer annuals shall be left in the ground until the first killing frost and then removed, unless otherwise directed by the owner.

Perennials:

1. After initial installation, if a time-released fertilizer has been incorporated during plant installation, no more fertilizer need be applied the first growing season.
2. The following year:
 - a.

January 28, 2025

Emilio Sanchez
City of Burleson Development Services Department
141 W. Renfro St.
Burleson, TX 76028-4296
(817) 426.9686
esanchez@burlesontx.com

Reference: Chick-fil-A # 2786 South Burleson FSU
Address: 111 NW John Jones Drive, Burleson, TX 76028
Interplan Number: 2024.0627
Case Number: CSP23-281 (Amendment to existing/approved)
OMD Accessory Structure Front Yard Setback Encroachment Variance Narrative

Dear Mr. Sanchez and the Planning and Zoning Commission,

Please accept this letter to be heard at the soonest Planning & Zoning Commission hearing and in front of the City Council as our request on behalf of Chick-fil-A for the following variance waiver request for the Order Meal Delivery (OMD) canopy accessory structure to the front yard setback as defined in **Section 132-115(a) and Section 78-120(b) and to the front yard buffer requirement as defined in Sections 86-102 through 86-111 in the City of Burleson's Ordinance.**

(1) Special conditions exist which are peculiar to the land, structure or building involved and are not applicable to other lands, buildings or structures in the same vicinity. The city may attach such conditions to granting all or a portion of any variance necessary to achieve the purpose of this chapter; and

Due to the large drainage easement that runs northeast and southwest along Wilshire Boulevard being classified as its own lot, makes the frontage of this site adjacent to Northwest John Jones Drive. The Chick-fil-A parcel needing to meet other requirements of the Zoning Ordinance, not only including the building setback requirements but drainage and parking requirements as well, is what constituted the original layout of the site. The requirements in the ordinance limit the amount of buildable space the parcel has for improvements or expansion. Traffic directly impacts the site and the need to alleviate traffic for the adjacent property owners and Chick-fil-A specifically, so options are limited.

(2) The strict interpretation of the provisions of the chapter would deprive the applicant of rights commonly enjoyed by other properties in the vicinity under the terms of the chapter.

Literal enforcement of Appendix B Section 132-115 (a) Accessory Building and Structure Yard Regulations, an attached accessory building or structures must have a front yard not less than the main building requirement of twenty feet (20') as defined within Section 78-120(b) and in Section 86-102 through 86-111 a five-foot (5') landscaped strip is required next to all public and private property lines, will abruptly put a halt to the proposed modifications as the improvements pose the most ideal situation to aid in the traffic safety concerns on and off site.

Chick-fil-A #2786 South Burleson
January 28, 2024
Page 2 of 3

The proposed dual lane drive-thru with canopies will alleviate the traffic concerns to the shopping center and NW John Jones Drive. If the literal interpretation was enforced, it would limit the ability for Chick-fil-A to initiate any sort of site improvements that would allow the business to continue in a safe and efficient manner for the team members and guests.

(3) The special conditions and circumstances do not result from the actions of the applicant and such conditions and circumstances do not merely constitute pecuniary hardship or inconveniences; and

Granting of the variance will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, structures or building in the same zone or district as, typically, other drive-thru restaurants do not have team members outside in the elements which poses a concern for safety. With the City's continued growth, increased patronage, and new takeout/delivery and mobile ordering methods becoming a prominent way of life after 2020, Chick-fil-A tries to provide alternative options for growth and development for their sites. The proposed drive-thru modifications including a dual lane expansion with Dual Lane Order Meal Delivery (OMD) canopy, will help to keep team members and guests safe and protected from the elements. These minor improvements will increase efficiency both on and off site. The traffic congestion and circulation issues to the adjacent properties and right-of-way along John Jones Drive will then be significantly reduced and more importantly provide a safer environment for the people whom make up the community.

(4) Granting the variance will meet the objectives of the chapter and not be injurious to the adjoining property owners or otherwise detrimental to the public welfare; and

Granting of the variance will meet the objectives of the chapter and will not be injurious to the adjoining property owners or otherwise detrimental to the public welfare as the proposed improvements will aid in alleviating traffic backing up to the shopping center access drive and out on to NW John Jones Drive. Originally, this Chick-fil-a site received approval for a waiver request, 10-602(b)(1) Masonry Construction Standards for a small building addition. The existing canopies were proposed as additional improvements to the existing facades for the purpose of updating the building and providing for more of a modern look. Chick-fil-A would like to continue to provide a more efficient option to the site by installing the proposed improvements. Additionally, they would like to increase the level of safety for the team members and guests. Notating the canopies are crucial in alleviating traffic congestion and circulation concerns. These improvements will positively and directly affect the adjoining property owners and will provide certain beneficial elements to public welfare.

(5) The request will be the minimum variance necessary to alleviate the special hardship or practical difficulties faced by the applicant in meeting the requirements of this chapter; and

The requested extension of the existing single-lane Order Meal Delivery canopy to be replaced with a dual-Lane Order Meal Delivery canopy will be the minimum variance necessary to alleviate the concerns with traffic and safety on the site for both the team members and the guests. If the site is reconfigured any other way, additional variances would be needed for parking requirements. Not to mention even with a reconfiguration, it would not pose a conforming end result as there are still concerns with the fire lane, utility/easements and refuse/accessory structure concerns. Addition of the second drive-thru lane and installation of the canopy overall, will allow the site to function in a more efficient way and allows the team members to better direct and keep traffic moving at peak times. The updated design will accommodate the increased demand in the subject properties area and benefits the overall community and growth of the city aiding in addressing the current public safety concerns presented.

Chick-fil-A #2786 South Burleson
January 28, 2024
Page 3 of 3

(6) Granting of the variance will be in harmony with the spirit and purpose of this chapter.

Granting of the variance will be in harmony with the spirit and purpose of this chapter as the canopy would be extended over the proposed second lane at the delivery window with columns placed on the backside of the curb. The canopy (accessory structure) encroaches into the required front yard setback by seventeen feet (17'). Chick-fil-A is requesting a reduced front yard setback for an accessory structure to three feet (3') as the main building conforms to this requirement. Please note there is a pedestrian concrete sidewalk adjacent to NW John Jones Drive that would remain existing and in perfect line with the northern property line, leaving the existing landscape buffer between the right-of-way and road.

Please feel free to contact me at 407.645.5008 or via email at mkucaba@interplanllc.com if you have any questions or require additional information. If I am unavailable, Kendra Lewis is the Permit Manager and will be able to assist you at the number provided or via email at klewis@interplanllc.com.

Sincerely,
INTERPLAN LLC



Michelle Kucaba
Senior Permit Lead/Development Services

RESOLUTION

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BURLESON, TEXAS, FOR APPROVAL OF A COMMERCIAL SITE PLAN AMENDMENT FOR A RESTAURANT WITH A DRIVE-THRU WITH A VARIANCE TO APPENDIX B, SECTION 132-115, RELATING TO A DRIVE THRU CANOPY WITHIN THE DESIGNATED FRONT YARD AT 111 NW JOHN JONES DR.

WHEREAS, the City of Burleson, Texas (“City”), is a home rule city acting under its charter adopted by the electorate pursuant to Article XI, Section 5 of the Texas Constitution and Chapter 9 of the Local Government Code; and

WHEREAS, an application for commercial site plan amendment with a variance related to an accessory structure was filed by **Michelle Kucaba**; on **March 3, 2025**, under **Case Number 25-036**, on property described herein below filed application with the City; and

WHEREAS, on April 21, 2025, the City Council made an inquiry into the matter and reviewed all the relevant information, and

WHEREAS, City Council has determined that commercial site plan meets the requirements of Section 131 of Article V of Appendix B, Site Plan Requirements.; and

WHEREAS, Section 132-115, Accessory building and structure yard regulations, of the City of Burleson Code of Ordinances (2005) regulates the location, construction, erection, duration, use, and maintenance of structures within the jurisdiction of the City; and

WHEREAS, on April 21, 2025, the City Council made an inquiry into the matter and reviewed all the relevant information, and

WHEREAS, the City Council finds and determines that special conditions exist that are peculiar to the land, structure or building involved and are not applicable to other lands, buildings or structures in the same vicinity; and

WHEREAS, City Council finds and determines that the strict interpretation of Section 132-115 would deprive the applicant of rights commonly enjoyed by other properties in the vicinity under the terms of Appendix B; and

WHEREAS, City Council finds and determines that the special conditions and circumstances do not result from the actions of the applicant(s) and such conditions and circumstances do not merely constitute pecuniary hardship or inconveniences; and

WHEREAS, City Council finds and determines that granting the variance will meet the objectives of the ordinance and not be injurious to the adjoining property owners or otherwise detrimental to the public welfare; and

WHEREAS, City Council finds and determines that the request will be the minimum variance

necessary to alleviate the special hardship or practical difficulties faced by the applicant in meeting the requirements of Section 132-115; and

WHEREAS, City Council has determined that granting the variance will be in harmony with the spirit and purpose of Section 132-115; and

WHEREAS, the City Council finds and determines the conditions attached to the variance, if any, are necessary to achieve the purpose of Section 132-115.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BURLESON, TEXAS, THAT:

Section 1.

City Council hereby approves a commercial site plan amendment (Case 24-326) for a restaurant with a drive-thru as shown on Exhibit "A"; and

City Council hereby grants a variance to Section 132-115 (a) of Appendix B, of the City of Burleson Code of Ordinances (2005) allowing for the erection of a drive-thru canopy in the designated front yard as shown on Exhibit "A"; and

Except as otherwise specified above or as shown on Exhibit "A", all other conditions, regulations, procedures, and rules of Section 132-115, Accessory building and structure yard regulations, of the City of Burleson Code of Ordinances (2005), as amended, shall apply to the buildings at 111 NW John Jones DR.

Section 2.

This resolution shall take effect immediately from and after its passage.

PASSED, APPROVED, AND SO RESOLVED by the City Council of the City of Burleson, Texas, on the _____ day of _____, 20_____.

Chris Fletcher, Mayor
City of Burleson, Texas

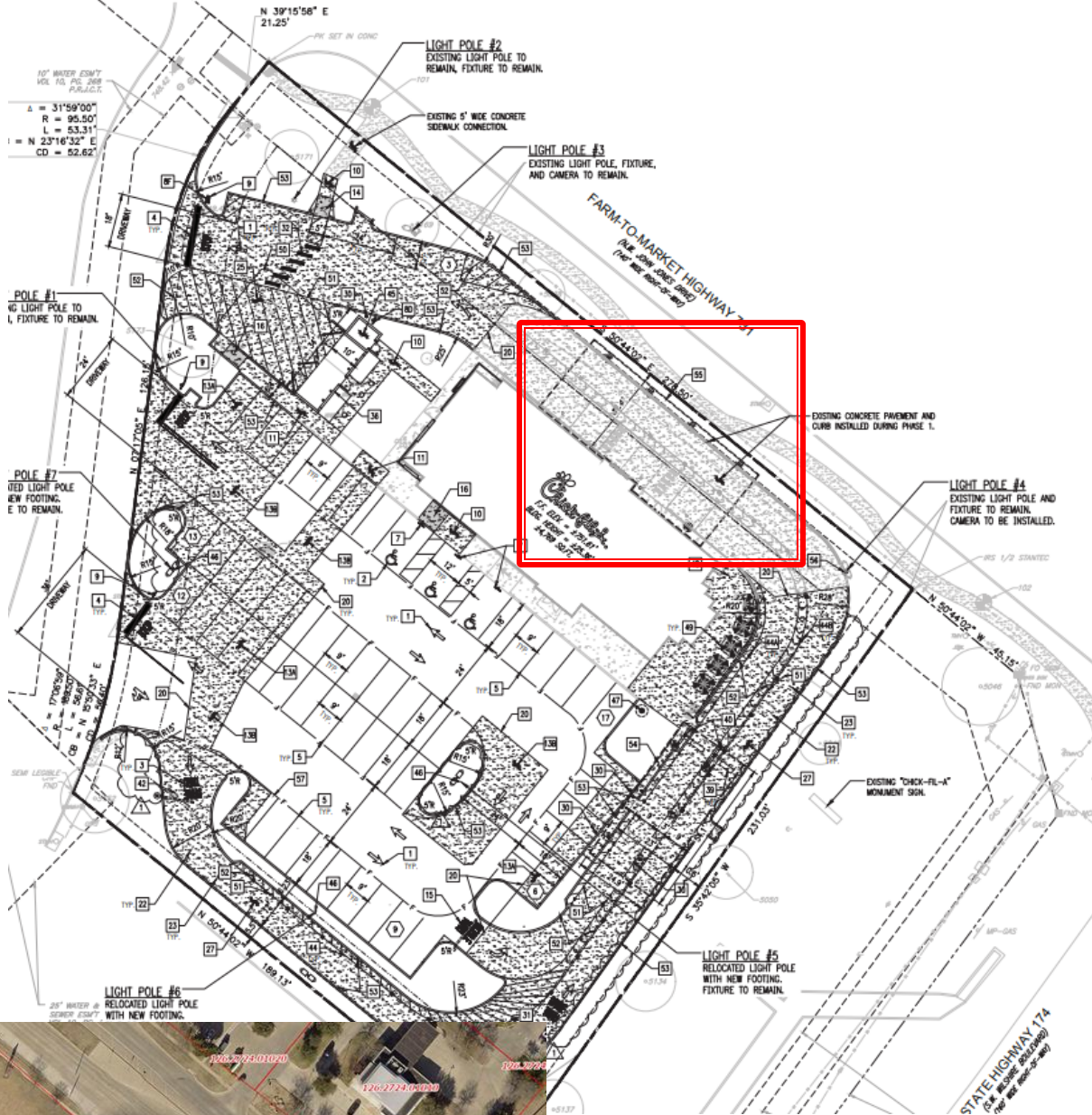
ATTEST:

APPROVED AS TO LEGAL FORM:

Amanda Campos, City Secretary
RESOLUTION

E. Allen Taylor, Jr., City Attorney

Exhibit "A" Continued Canopy location within highlighted red area



Planning & Zoning Commission Meeting

DEPARTMENT: Development Services
FROM: Lidon Pearce, Principal Planner
MEETING: March 25, 2025

SUBJECT:

440 NW John Jones (Case 25-048): Hold a public hearing and consider and take possible action on a zoning ordinance change request from "SF7, Single-family district-7", to "GR, General Retail". (*Staff Contact: Lidon Pearce, Principal Planner*)

SUMMARY:

On February 17, 2025, an application was submitted by Jack Maines with Southside Bank on behalf of Madison Burleson LTD (owner) for a zoning change request on approximately 3.610 acres of land for future development of a bank in accordance with the GR, General Retail zoning district.

Development Overview:

The applicant is proposing a bank if the zoning is approved, which is allowed by right with GR, General Retail zoning district. They have included a conceptual site plan; attached as Exhibit 4, which also contains an additional building for a future (unknown) use that would have to be developed be in accordance with the General Retail zoning district. Commercial site plan and engineering civil construction reviews will be required prior to any new development at the site.

This site is designated in the Comprehensive Plan as Community Commercial.

This land use category is intended to provide suitable areas for the development of light to medium intensity commercial uses to support surrounding urban development.

Staff supports the zoning request as the GR, General Retail zoning district conforms to the Comprehensive Plan.

RECOMMENDATION:

Recommend approval of the ordinance to City Council (Case 25-048).

PRIOR ACTION/INPUT (Council, Boards, Citizens):

N/A

REFERENCE:

[City of Burleson, TX ZONING DISTRICTS](#)

FISCAL IMPACT:

N/A

STAFF CONTACT:

Lidon Pearce, CNU-A, AICP
Principal Planner
lpearcel@burlesontx.com
817-426-9649

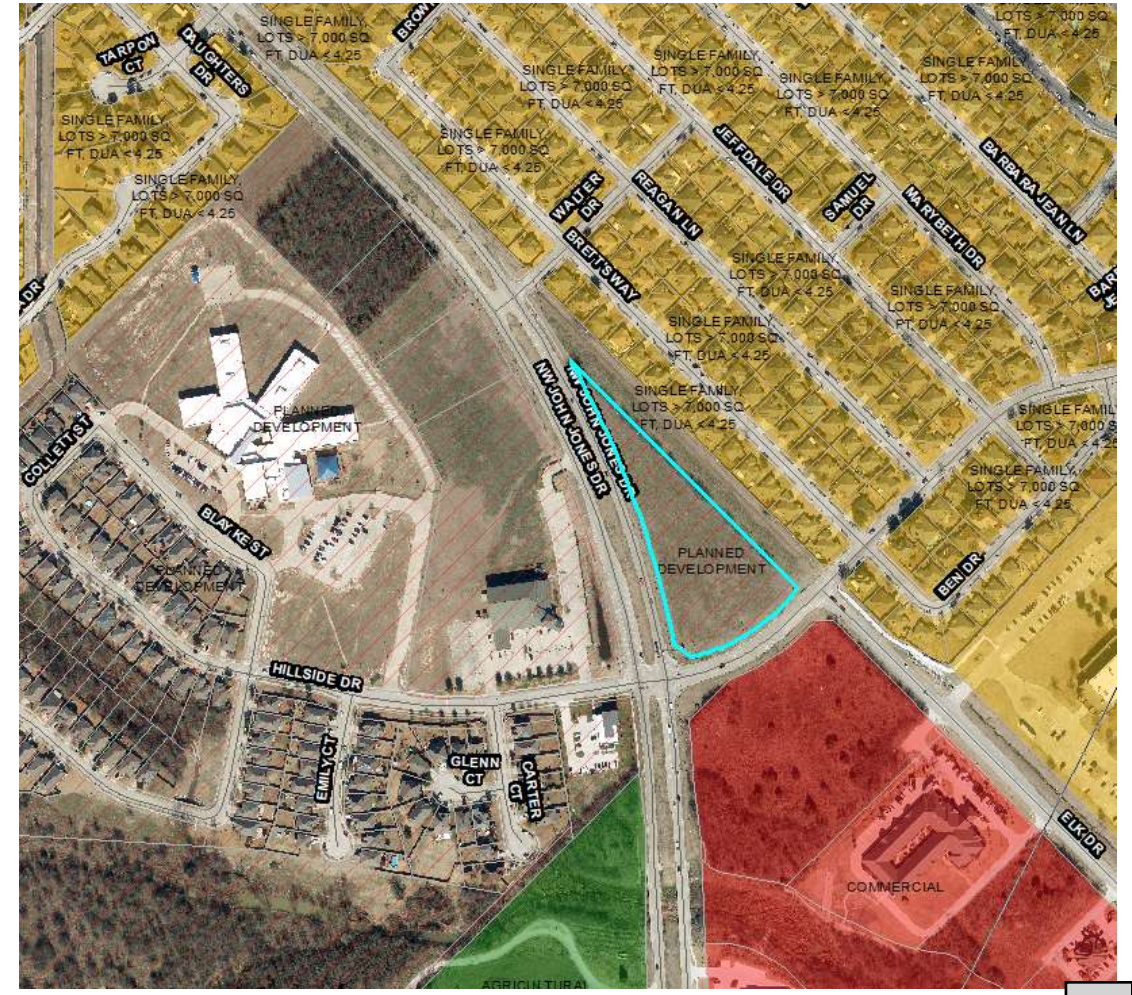
Comprehensive Plan

Community Commercial

Zoning

SF7, Single-Family-7

Item B.



Parcel was not incorporated as part of the Planned Development ordinance

ZC – 440 NW John Jones

Allowed by-right	SUP required
Antique shop	Amusement
Auto fuel sales	Auto rental
Bakery / retail	Fairgrounds
Child care	Liquor store
Drugstore or pharmacy	Plumbing shop
Office; medical, business, and professional	Taxidermy
Restaurant	
School / Religious institution	
Studio; music, dance, drama	
Variety store / retail	

Applicant is proposing to develop a bank– would be allowed as Office, Business and Professional

ZC – 440 NW John Jones

Item B.



ZC – 440 NW John Jones

Public Hearing Notice

- Public notices were mailed to property owners (based on current JCAD records) within 300 feet of subject property
- Published in newspaper
- Signs Posted on the property



Legend

- 300 ft. Buffer
- Subject Property
- Properties within 300 ft.
- Burleson

ZC – 440 NW John Jones

Staff's Recommendation

- Staff recommends approval of an ordinance for the zoning change request to “GR, General Retail.
- Retail use conforms with the Comprehensive Plan



Ordinance

AN ORDINANCE AMENDING ORDINANCE B-582, THE ZONING ORDINANCE OF THE CITY OF BURLESON, TEXAS, BY AMENDING THE OFFICIAL ZONING MAP AND CHANGING THE ZONING ON APPROXIMATELY 3.610 ACRES OF LAND SITUATED IN THE W.R. SHANNON SURVEY, ABSTRACT NUMBER (NO.) 1206, CITY OF BURLESON, JOHNSON, COUNTY, TEXAS, BEING ALL OF THAT TRACT OF LAND DESCRIBED AS TRACT 4 IN DEED TO MADISON BURLESON PROPERTY, LTD., OF THE DEED RECORDS JOHNSON COUNTY, TEXAS (D.R.J.C.T) FROM "SF7" SINGLE FAMILY DWELLING DISTRICT-7 TO "GR" GENERAL RETAIL AT THE LOCATION ADDRESSED AS 440 NW JOHN JONES, MAKING THIS ORDINANCE CUMULATIVE OF PRIOR ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR THE VIOLATION OF THIS ORDINANCE; PROVIDING A PENALTY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Burleson, Texas ("City"), is a home rule city acting under its charter adopted by the electorate pursuant to Article XI, Section 5 of the Texas Constitution and Chapter 9 of the Local Government Code; and

WHEREAS, the City Council passed, approved, and adopted Ordinance B-582, being the Zoning Ordinance and Map of the City of Burleson, Texas, showing the locations and boundaries of certain districts, as amended, and codified in Appendix B of the City of Burleson Code of Ordinances (2005) (the "Zoning Ordinance and Map"); and

WHEREAS, an application for a zoning change was filed by Jack Maines on February 17, 2025, under Case Number 25-048, on property described herein below filed application with the City petitioning an amendment of the Zoning Ordinance and Map so as to rezone and reclassify said property from its current zoning classification; and

WHEREAS, the Planning and Zoning Commission of Burleson, Texas, held a public hearing on said application after at least one sign was erected upon the property on which the change of classification is proposed in accordance with the Zoning Ordinance and Map, and after written notice of such public hearing before the Planning and Zoning Commission on the proposed rezoning had been sent to owners of real property lying within 300 feet of the property on which the change of classification is proposed, said notice having been given not less than ten (10) days before the date set for hearing to all such owners who rendered their said property for City taxes as the ownership appears on the last approved City Tax Roll, and such notice being served by depositing the same, properly addressed and postage paid, in the U.S. mail; and

WHEREAS, after consideration of said application, the Planning and Zoning Commission of the City of Burleson, Texas voted X to 0 to recommend XX to the City Council of Burleson, Texas, that the hereinafter described property be rezoned from its classifications of Single-Family Dwelling District-7 (SF7) to General Retail (GR); and

WHEREAS, notice was given of a further public hearing to be held by the City Council of the City of Burleson, Texas, to consider the advisability of amending the Zoning Ordinance and Map as recommended by the Planning and Zoning Commission, and all citizens and parties at interest

were notified that they would have an opportunity to be heard, such notice of the time and place of such hearing having been given at least fifteen (15) days prior to such hearing by publication in the Fort Worth Star Telegram, Fort Worth, Texas, a newspaper of general circulation in such municipality; and

WHEREAS, all citizens and parties at interest have been given an opportunity to be heard on all the matter of the proposed rezoning and the City Council of the City of Burleson, Texas, being informed as to the location and nature of the use proposed on said property, as well as the nature and usability of surrounding property, have found and determined that the property in question, as well as other property within the city limits of the City of Burleson, Texas, has changed in character since the enactment of its classification of **Single-Family Dwelling District-7 (SF7)** and, by reason of changed conditions, does consider and find that this amendatory Ordinance should be enacted since its provisions are in the public interest and will promote the health, safety and welfare of the community; and

WHEREAS, the City Council of the City of Burleson, Texas, may consider and approve certain ordinances or ordinance amendments at only one meeting in accordance with Section 2-4 of the City of Burleson Code of Ordinances (2005); and

WHEREAS, the City Council of the City of Burleson, Texas, finds that this Ordinance may be considered and approved in only one meeting because the provisions of this Ordinance concern an individual zoning case that does not propose a change to the language of the City of Burleson Code of Ordinances.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BURLESON, TEXAS:

**Section 1
MAP AND ZONING AMENDMENT**

The Official Zoning Map is hereby amended insofar as it relates to certain land described as 3.610 acres of land situated in the W.R. Shannon Survey, Abstract Number (No.) 1206, City of Burleson, Johnson, County, Texas, being all of that tract of land described as Tract 4 in deed to Madison Burleson Property, Ltd., of the Deed Records Johnson County, Texas (D.R.J.C.T), described in Exhibit A, from SF7, Single-Family Dwelling District-7 to GR, General Retail.

Section 2.

The findings and recitals set forth above in the preamble of this ordinance are incorporated into the body of this ordinance as if fully set forth herein.

Section 3.

It is hereby officially found and determined that the meeting at which this ordinance is passed is open to the public and that public notice of the time, place, and purpose of said meeting was given as required by law.

Section 4.

This ordinance shall be cumulative of all provisions of ordinances of the City of Burleson, Texas, except where the provisions of this ordinance are in direct conflict with the provisions of such ordinances, in which event the conflicting provisions of such ordinances are hereby repealed. To the extent that the provisions of the City of Burleson's various development ordinances conflict with this ordinance, the terms of this ordinance shall control.

Section 5.

It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs and sections of this ordinance are severable., and if any phrase, clause, sentence, paragraph or section of this ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this ordinance, since the same would have been enacted by the city council without the incorporation in this ordinance of any such unconstitutional phrase, clause, sentence, paragraph or section.

Section 6.

An offense committed before the effective date of this ordinance is governed by the prior law and the provisions of the Code of Ordinances, as amended, in effect when the offense was committed and the former law is continued in effect for that purpose.

Section 7.

Any person, firm, association of persons, company, corporation, or their agents, its servants, or employees violating or failing to comply with any of the provisions of this article shall be fined, upon conviction, not less than one dollar (\$1.00) nor more than two thousand dollars (\$2,000.00), and each day any violation of noncompliance continues shall constitute a separate and distinct offense. The penalty provided herein shall be cumulative of other remedies provided by State Law, and the power of injunction as provided in Texas Local Government Code 54.012 and as may be amended, may be exercised in enforcing this article whether or not there has been a complaint filed.

Section 8.

This ordinance shall be in full force and effect from and after its passage and publication as provided by law.

PASSED AND APPROVED:

First and Final Reading: the _____ day of _____, 20_____.

Chris Fletcher, Mayor
City of Burleson, Texas

ATTEST:

APPROVED AS TO FORM & LEGALITY:

Amanda Campos, City Secretary

E. Allen Taylor, Jr., City Attorney

Exhibit A
Property Description

DESCRIPTION OF
3.610 ACRES OR 157,235 SQ. FT.

BEING 3.610 ACRE A TRACT OF LAND SITUATED IN THE W.R. SHANNON SURVEY, ABSTRACT NUMBER (NO.) 1206, CITY OF BURLESON, JOHNSON, COUNTY, TEXAS, BEING ALL OF THAT TRACT OF LAND DESCRIBED AS TRACT 4 IN DEED TO MADISON BURLESON PROPERTY, LTD., OF THE DEED RECORDS JOHNSON COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS, (BEARINGS AND DISTANCES ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE (4202) NORTH AMERICAN DATUM 83 (NAD83)(US FOOT) WITH A COMBINED SCALE FACTOR OF 0.999880014):

BEGINNING AT A 3-INCH BRASS TXDOT MONUMENT FOUND FOR THE WESTERNMOST SOUTHWEST CORNER OF SAID TRACT 4, AT THE END OF A CUT-BACK OF JOHN JONES DRIVE (ALSO KNOWN AS F.M. 731), (CALLED VARIABLE WIDTH RIGHT-OF-WAY) AND THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT;

THENCE, IN A NORTHERLY DIRECTION, WITH THE CURVING EAST RIGHT-OF-WAY (ROW) LINE OF SAID JOHN JONES DRIVE, ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 2,694.68 FEET, A CENTRAL ANGLE OF 18 DEG. 03 MIN. 56 SEC., AN ARC LENGTH OF 849.64 FEET, AND A CHORD BEARING AND DISTANCE OF NORTH 20 DEG. 04 MIN. 01 SEC. WEST, - 846.13 FEET TO A 1/2-INCH IRON ROD CAPPED "WINDROSE" SET (TYP.) FOR THE NORTH CORNER OF SAID TRACT 4;

THENCE, SOUTH 44 DEG. 53 MIN. 54 SEC. EAST, WITH THE NORTHEAST LINE OF SAID TRACT 4, A DISTANCE OF 899.29 FEET TO A 3-INCH BRASS TXDOT MONUMENT FOUND ON THE NORTHWEST ROW LINE OF HILLSIDE DRIVE (CALLED 60' ROW), FOR THE EAST CORNER OF SAID TRACT 4 AND THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT;

THENCE, IN A SOUTHWESTERLY DIRECTION, WITH THE CURVING NORTHWEST ROW LINE OF SAID HILLSIDE DRIVE, ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 520.31 FEET, A CENTRAL ANGLE OF 39 DEG. 36 MIN. 09 SEC., AN ARC LENGTH OF 359.64 FEET, AND A CHORD BEARING AND DISTANCE OF SOUTH 57 DEG. 35 MIN. 41 SEC. WEST, - 352.52 FEET TO A 1/2-INCH IRON ROD SET FOR THE SOUTHWEST CORNER OF SAID TRACT 4, AND THE BEGINNING OF SAID CUT-BACK;

THENCE, NORTH 56 DEG. 20 MIN. 25 SEC. WEST, WITH THE NORTHEAST ROW LINE OF SAID JOHN JONES DRIVE, A DISTANCE OF 56.25 FEET TO THE POINT OF BEGINNING AND CONTAINING WITHIN THE METES AND BOUNDS HEREIN RECITED 3.610 ACRES OR 157,235 SQUARE FEET OF LAND.



SI #: Project Number

SOUTHSIDE BANK BURLESON

440 NW JOHN JONES DR.
BURLESON, TEXAS 76028

SEAL:

NOT FOR CONSTRUCTION
WARREN L. INCE - #21539
**NOT FOR REGULATORY
APPROVAL, PERMITTING OR
CONSTRUCTION.**

STUDIO INDIGO DESIGN, LLC
Do NOT scale drawings. Use given dimensions only. If not shown, verify correct dimension with ARCHITECT. Contractor shall check and verify all dimensions and conditions of job site.

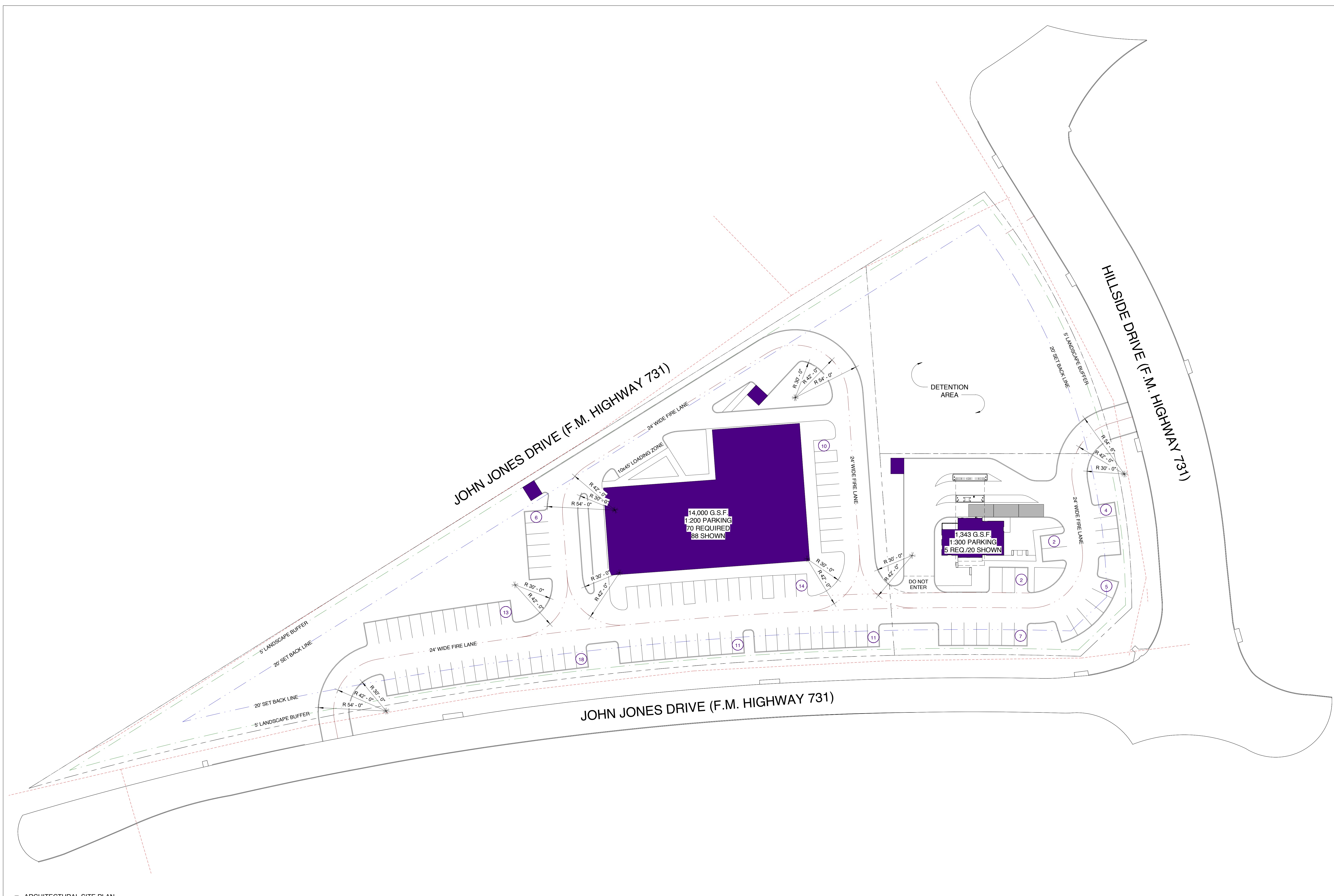
REVISIONS		
DATE	#	DESCRIPTION

DATE: 2025.02.10
DRAWN BY: WLI

ARCHITECTURAL SITE PLAN

DRAWING NUMBER:
AS100

SCALE: AS INDICATED



1 ARCHITECTURAL SITE PLAN
1" = 30'-0"

Planning & Zoning Commission Meeting

DEPARTMENT: Development Services
FROM: Marah Aqqad, Development Engineering Manager
MEETING: March 25, 2025

SUBJECT:

4051 Vantage Drive (Case 25-038): Hold a public hearing and consider and take possible action on a resolution for a waiver to the Subdivision and Development Ordinance, Appendix A, Section 7.5 (d). (*Staff Contact: Marah Aqqad, Development Engineering Manager*)

SUMMARY:

On December 9, 2024, a replat was submitted by Yemi Durosawo representing Westwood Engineering on behalf of BGO-Sre Burleson LP (owners).

The property was originally developed as a single lot with two buildings. The property owner has submitted a replat (attached as Exhibit 4) to subdivide the property into two lots to allow the buildings to stand independently as separate properties to have different ownership, lenders, and tenants in the future. A waiver to the City's Subdivision and Development Ordinance is required, as the ordinance prohibits private utility services from crossing property lines. To address this, the applicant is proposing private easements for the sanitary sewer that will cross the newly created property line.

If the variance is denied, the applicant cannot proceed with the replat unless they reconstruct the existing utilities to comply with the City of Burleson Engineering Design Standards.

RECOMMENDATION:

Staff supports the waiver request to the City's Subdivision and Development Ordinance, Appendix A, Section 7.5 (d).

Recommend approval to City Council for a resolution for the Variance to the Subdivision and Development Ordinance (Case 25-038).

PRIOR ACTION/INPUT (Council, Boards, Citizens):

N/A

REFERENCE:

City of Burleson, TX WATER AND SANITARY SEWE

FISCAL IMPACT:

None

STAFF CONTACT:

Marah Aqqad, P.E.
Development Engineering Manager
maqqad@burlesontx.com
817-426-9652

4051 Vantage High Business Park of Burleson

Location:

- 4051 Vantage
- 20.79 acres

Applicant:

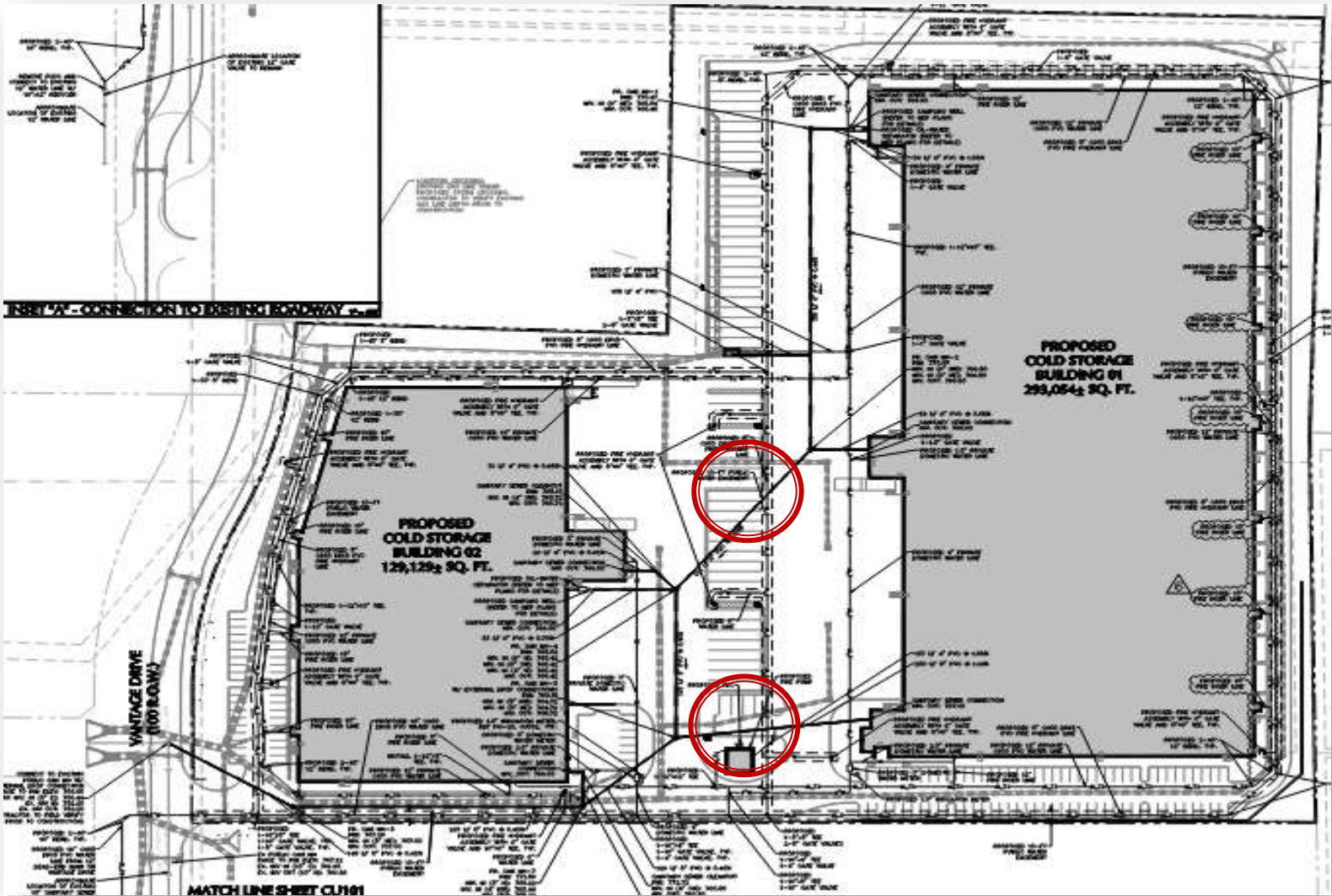
BGO-Sre Burleson LP

Items for approval:

Waiver to the Subdivision and Development Ordinance (Case 25-038)



4051 Vantage High Business Park of Burleson



4051 Vantage High Business Park of Burleson

Waiver Requested

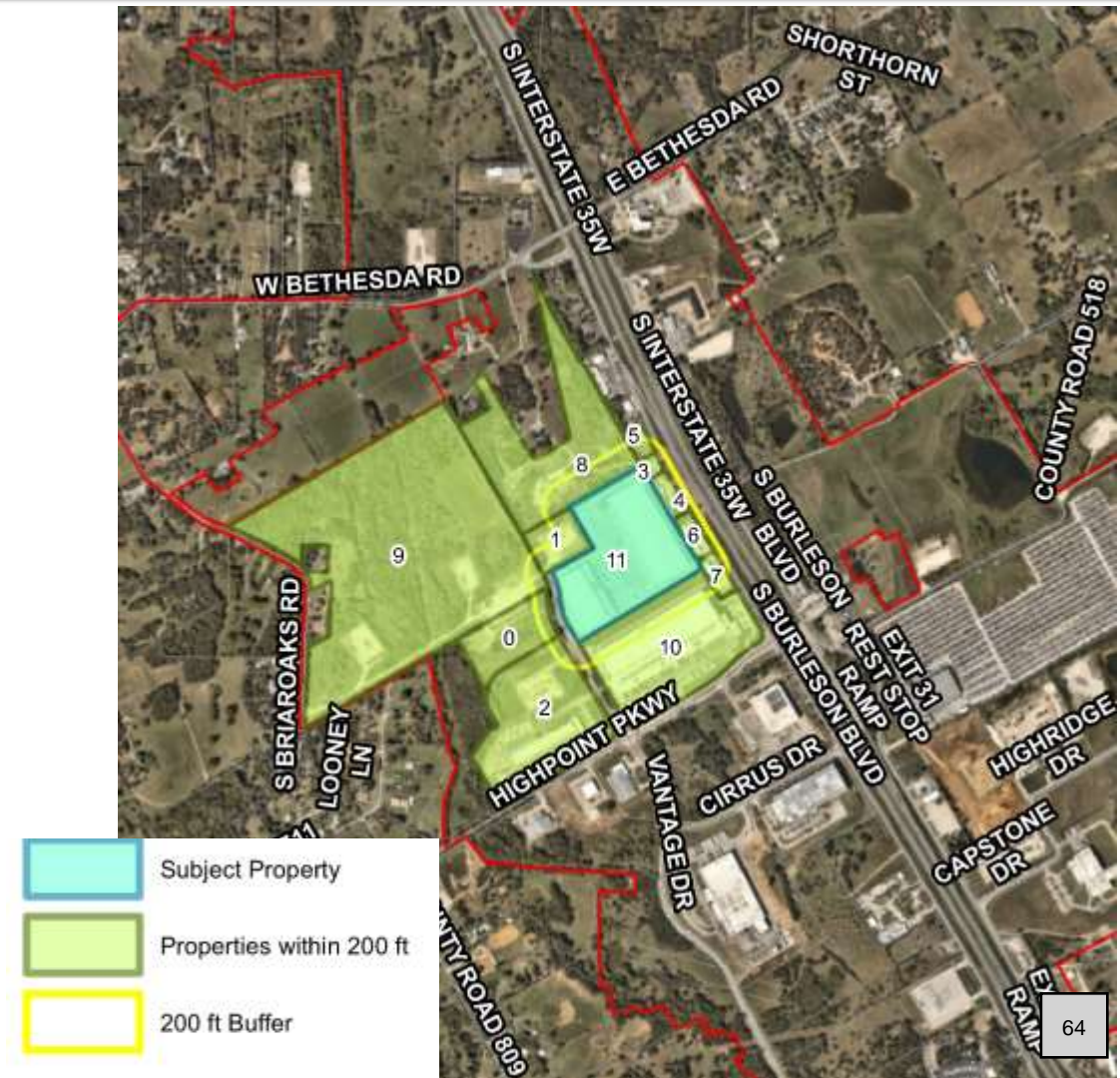
Waiver	Applicant's Justification
<p>Appendix A, Article VII Section 7.5(d):</p> <p>Water or sanitary sewer service lines shall not cross any adjacent lot. The public main shall be extended so as not to require the service to extend across another lot. Water and sanitary sewer service lines shall be maintained by the property owner.</p> <p>No waiver shall be granted unless the council or commission finds that.</p> <ul style="list-style-type: none"> • The requirement places an unreasonable burden on the development and does not bear a rough proportionality to the requirements necessary to serve the development; or • There are special circumstances or conditions affecting the land such that the strict application of the provisions of this appendix and/or the design standards manual would deprive the applicant of the reasonable use of the applicant's land; and • modification, exception or waiver is necessary for the preservation and enjoyment of a substantial property right of the applicant; and • The granting of the modification, exception or waiver will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this appendix and the design standards manual. 	<p>The applicant stated the subdivision is to allow the buildings to stand independently as separate properties and have different ownership, lenders, and tenants, etc. in the future.</p>

4051 Vantage High Business Park of Burleson

Public Hearing Notice

- Public notices mailed to property owners within 300 feet of subject property.
- Published in newspaper.

Staff has not received any inquiries regarding this request.



RESOLUTION

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BURLESON, TEXAS, FOR A REPLAT TO A WAIVER TO THE SUBDIVISION AND DEVELOPMENT ORDINANCE, APPENDIX A ARTICLE VII SECTION 7.5.D FOR 4051 VANTAGE DR.

WHEREAS, the City of Burleson, Texas (“City”), is a home rule city acting under its charter adopted by the electorate pursuant to Article XI, Section 5 of the Texas Constitution and Chapter 9 of the Local Government Code; and

WHEREAS, on February 3, 2025, an application was submitted by Yemi Durasmó, for a waiver to Subdivision and Development Ordinance as prescribed in Appendix A, Water and Sanitary Sewer Requirements, Article VII, Section 7.5 (d), to allow service lines to cross another lot, and

WHEREAS, on March 25, 2025, the Planning and Zoning Commission, made an inquiry into the matter, and reviewed all the relevant information at a duly called public meeting, after which the Commission made a recommendation to the City Council; and

WHEREAS, on April 21, 2025, the City Council held a public meeting, made an inquiry into the matter, and reviewed all the relevant information at a duly called public meeting, and

WHEREAS, the City Council finds and determines that there are special circumstances existing on the property on which the application is made related to size, shape, area, topography, surrounding conditions, and location that do not apply generally to other property in the same area; and

WHEREAS, City Council finds and determines that a waiver is necessary to permit the applicant the same rights in the use of his property that are presently enjoyed, under Section 7.5 (d), by other properties in the vicinity and zone, but which rights are denied to the property on which the application is made; and

WHEREAS, City Council finds and determines that the granting of the waiver on the specific property will not adversely affect the land use pattern as outlined by the land use plan and will not adversely affect any other feature of the comprehensive plan of the city; and

WHEREAS, City Council finds and determines that the waiver, if granted, will not be materially detrimental to the public welfare of the use, enjoyment, or value of property within the vicinity; and

WHEREAS, the City Council finds and determines the conditions attached to the waiver, if any, are necessary to achieve the purpose of Section 7.5 (d); and

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BURLESON, TEXAS, THAT:

Section 1.

City Council hereby grants a waiver and variance to Appendix A, Water and Sanitary Sewer Requirements, Article VII, Section 7.5, of the City of Burleson

Except as otherwise specified above, all other conditions, regulations, procedures, and rules of the City of Burleson, shall apply.

Section 2.

This resolution shall take effect immediately from and after its passage.

PASSED, APPROVED, AND SO RESOLVED by the City Council of the City of Burleson, Texas, on the _____ day of _____, 20____.

Chris Fletcher, Mayor
City of Burleson, Texas

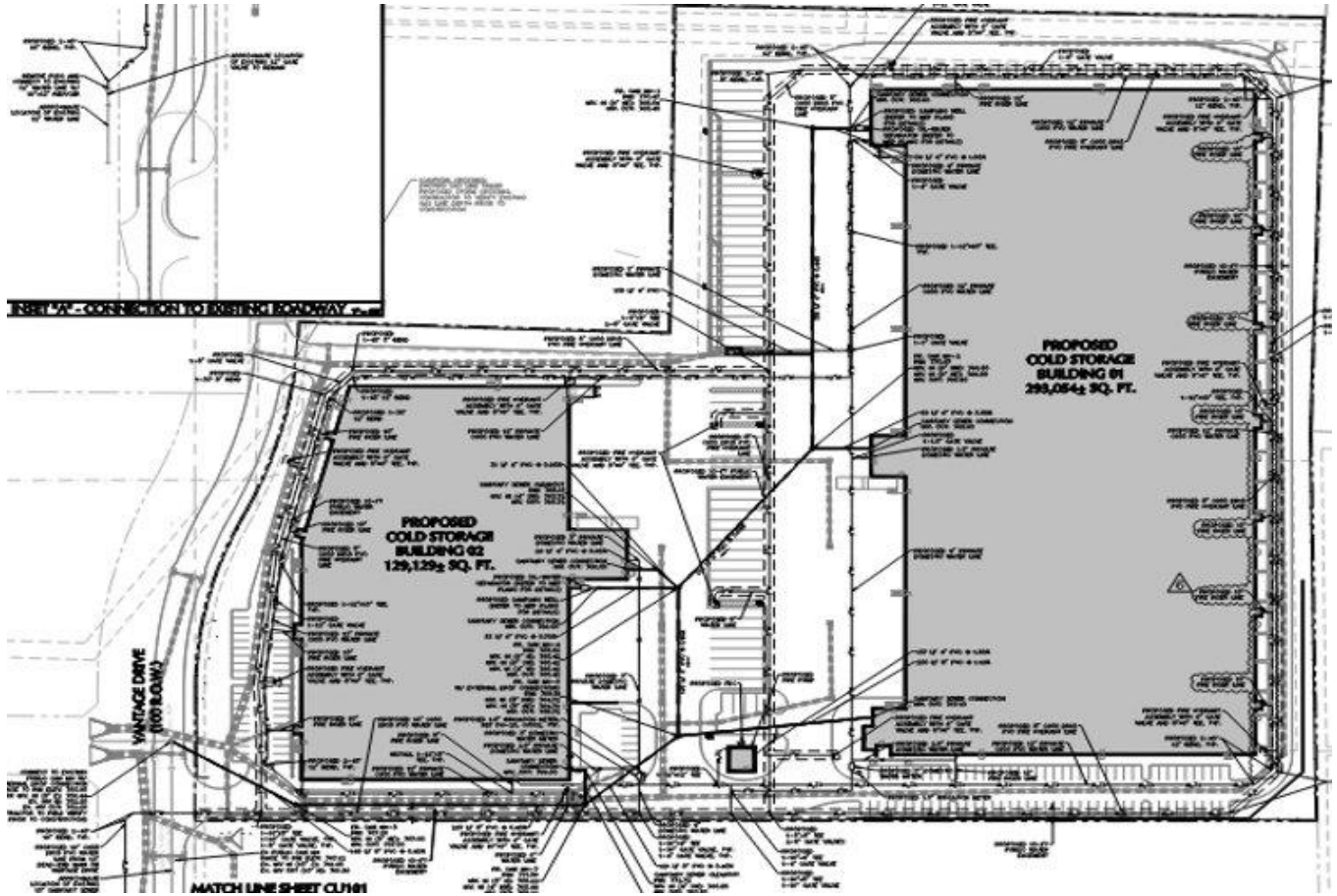
ATTEST:

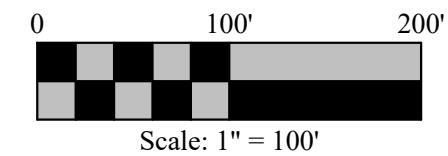
APPROVED AS TO LEGAL FORM:

Amanda Campos, City Secretary

E. Allen Taylor, Jr., City Attorney

Exhibit "A"



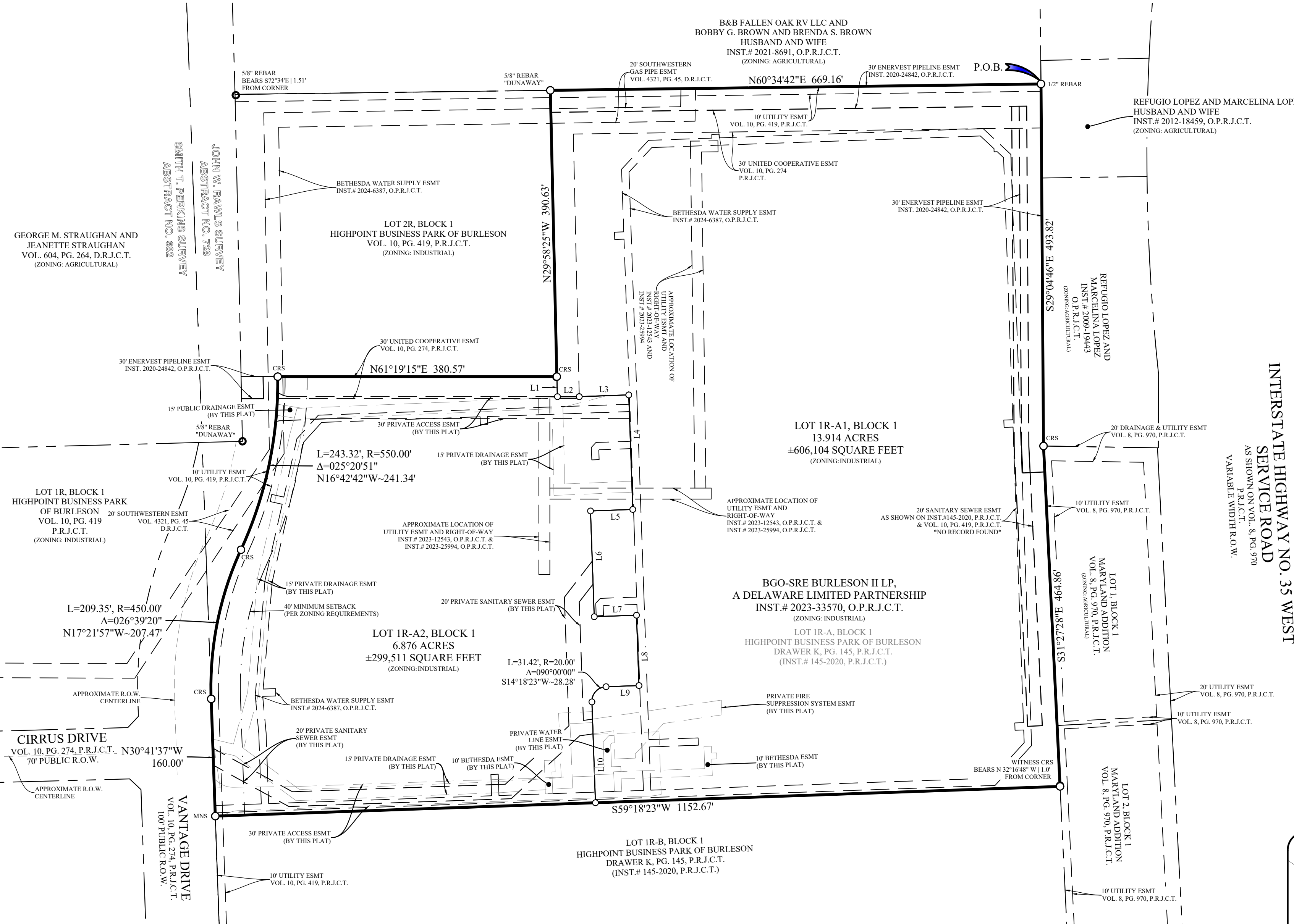


LEGEND OF ABBREVIATIONS

US.SyFt. United States Survey Feet
 TxCS,'83,NCZ Texas Coordinate System of 1983, North Central Zone
 P.R.J.C.T. Plat Records of Johnson County, Texas
 O.P.R.J.C.T. Official Public Records of Johnson County, Texas
 D.R.J.C.T. Deed Records of Johnson County, Texas
 VOL/Pg/INST# Volume/Page/Instrument Number
 ESMT/BL Easement/ Building Line
 POB/POC Point of Beginning/Point of Commencing
 R.O.W. Right of Way

MONUMENTS / DATUMS / BEARING BASIS

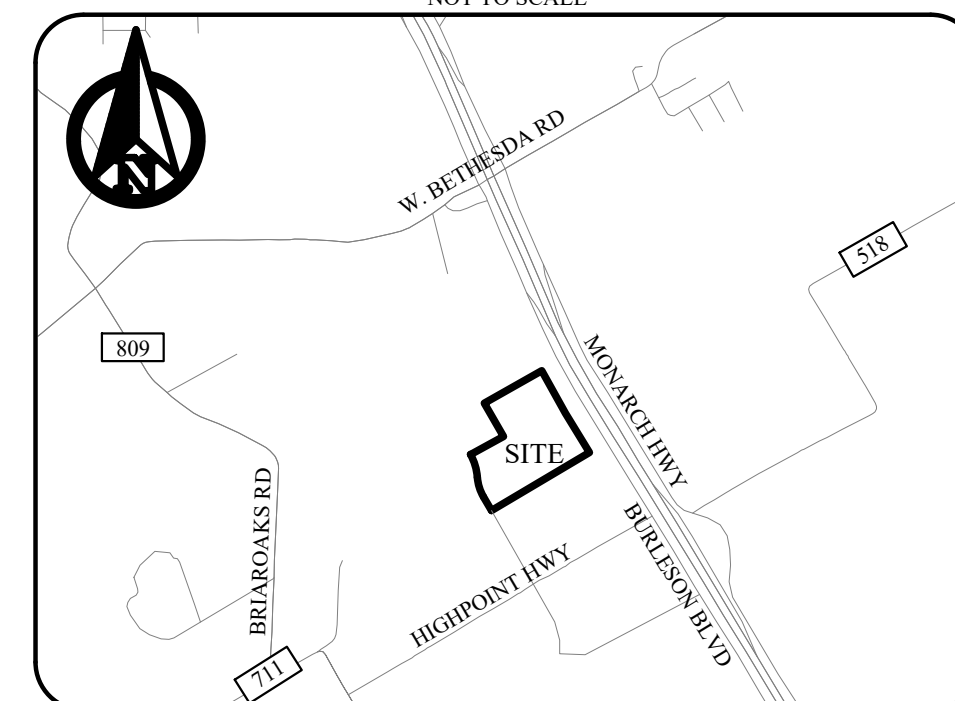
CRS ○ 1/2" rebar stamped "JPH Land Surveying" found
 MNS ○ Mag nail & washer stamped "JPH Land Surveying" found
 "+" ○ "+" in concrete
 ○ Vertex or common point (not a monument)
 Coordinate values, if shown, are US.SyFt./TxCS,'83,NCZ
 Bearings are based on grid north (TxCS,'83,NCZ)



INTERSTATE HIGHWAY NO. 35 WEST
 SERVICE ROAD
 AS SHOWN ON VOL. 8, PG. 970
 P.R.J.C.T.
 VARIABLE WIDTH R.O.W.

VICINITY MAP

NOT TO SCALE



REPLAT
LOTS 1R-A1 & 1R-A2, BLOCK 1
HIGHPOINT BUSINESS PARK BURLESON

20.790 ACRES
 BEING A REPLAT OF
 LOT 1R-1, BLOCK 1, HIGHPOINT BUSINESS PARK BURLESON
 SITUATED IN THE
 CITY OF BURLESON, JOHNSON COUNTY, TEXAS
 PREPARED: APRIL 2024 | REVISED: NOVEMBER 2024 - JANUARY 2025
 PAGE 1 OF 4

REFER TO PAGE 2 FOR PROPOSED EASEMENT DISTANCES
 REFER TO PAGE 3 FOR LINE | CURVE TABLE

SURVEYOR:

Robert W. Bryan
 2999 Olympus Blvd, Suite 165
 Dallas, TX 75019
 (817) 328-3200
 rbryan@langan.com

OWNER:

BGO-SRE Burleson II LP,
 a Delaware limited partnership
 c/o BentallGreenOak (U.S.) limited
 partnership
 399 Park Avenue, Floor 18,
 New York, New York 10022

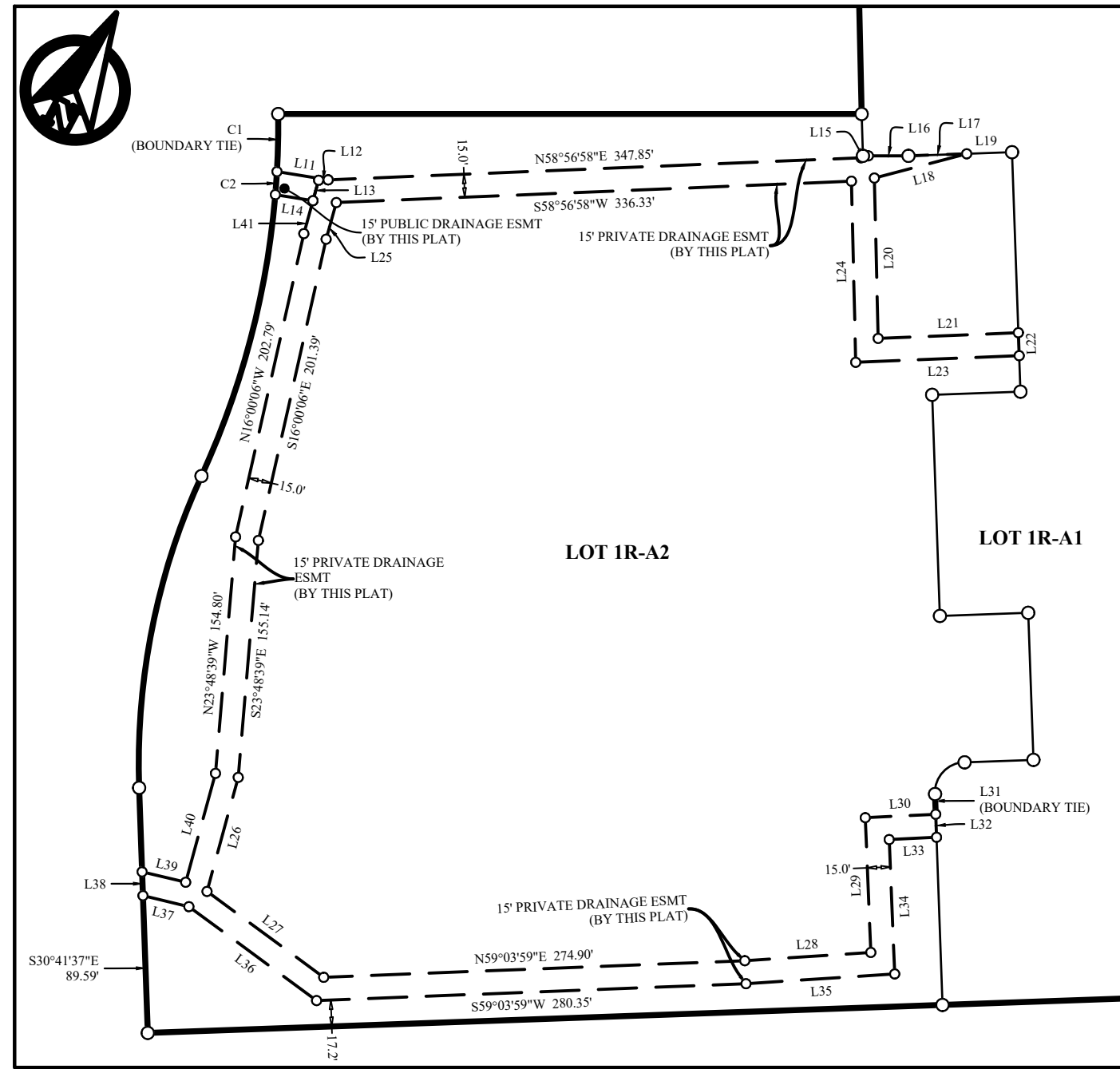
LANGAN

Langan Engineering and
 Environmental Services, LLC
 2999 Olympus Blvd, Suite 165
 Dallas, TX 75019

T: 817.328.3200 www.langan.com

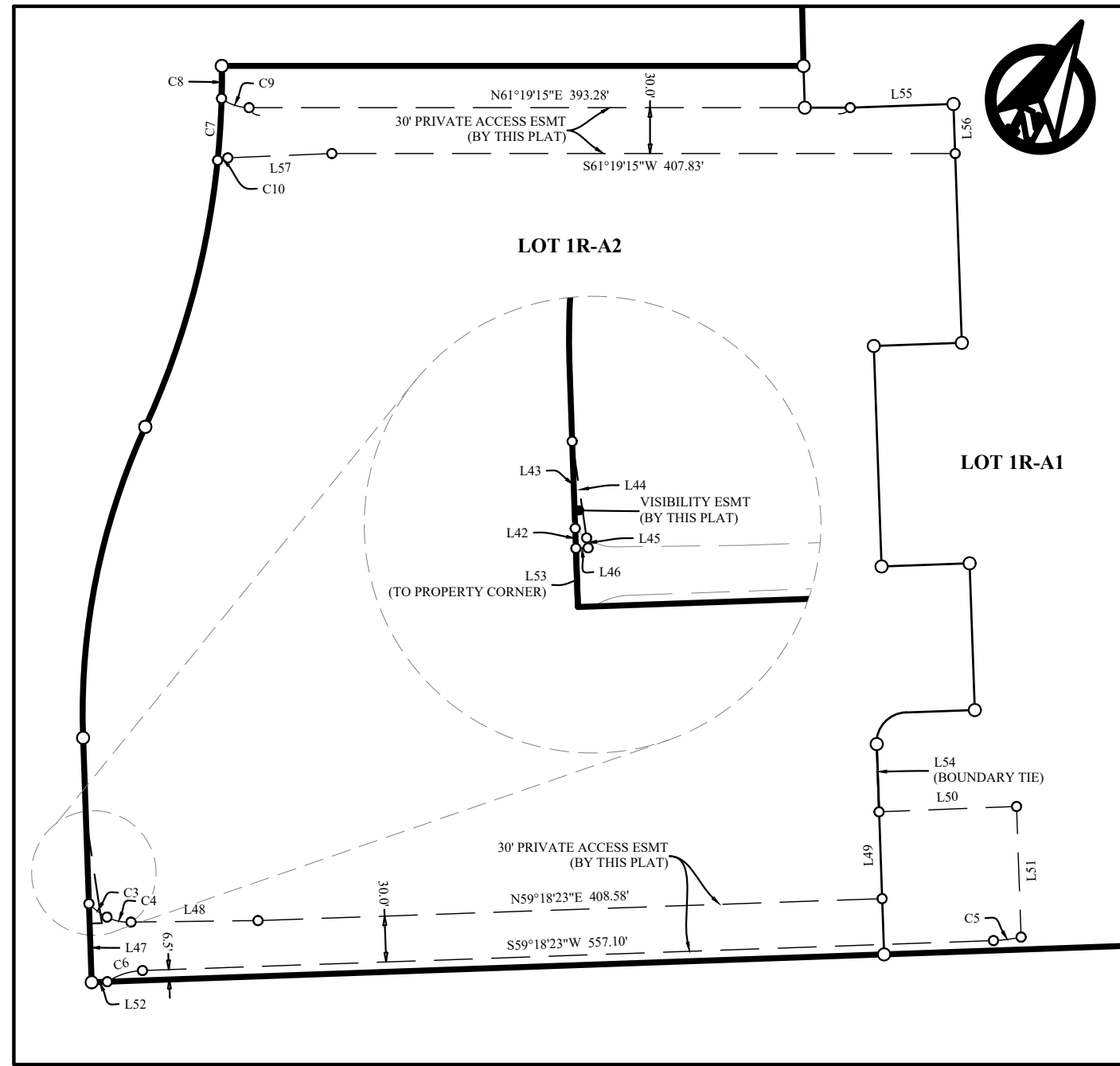
EASEMENTS DETAIL A

SCALE: 1" = 100'



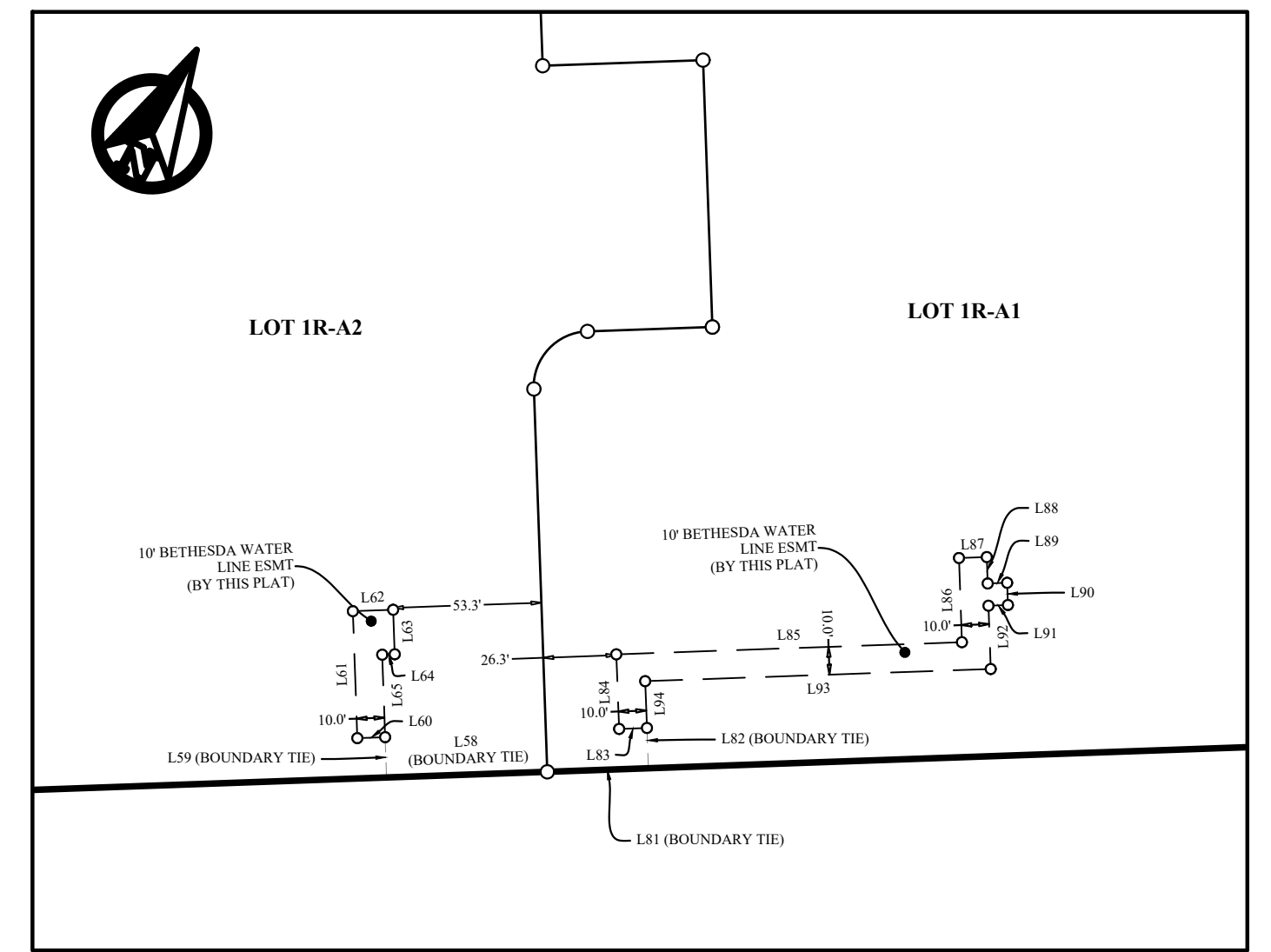
EASEMENTS DETAIL B

SCALE: 1" = 100'



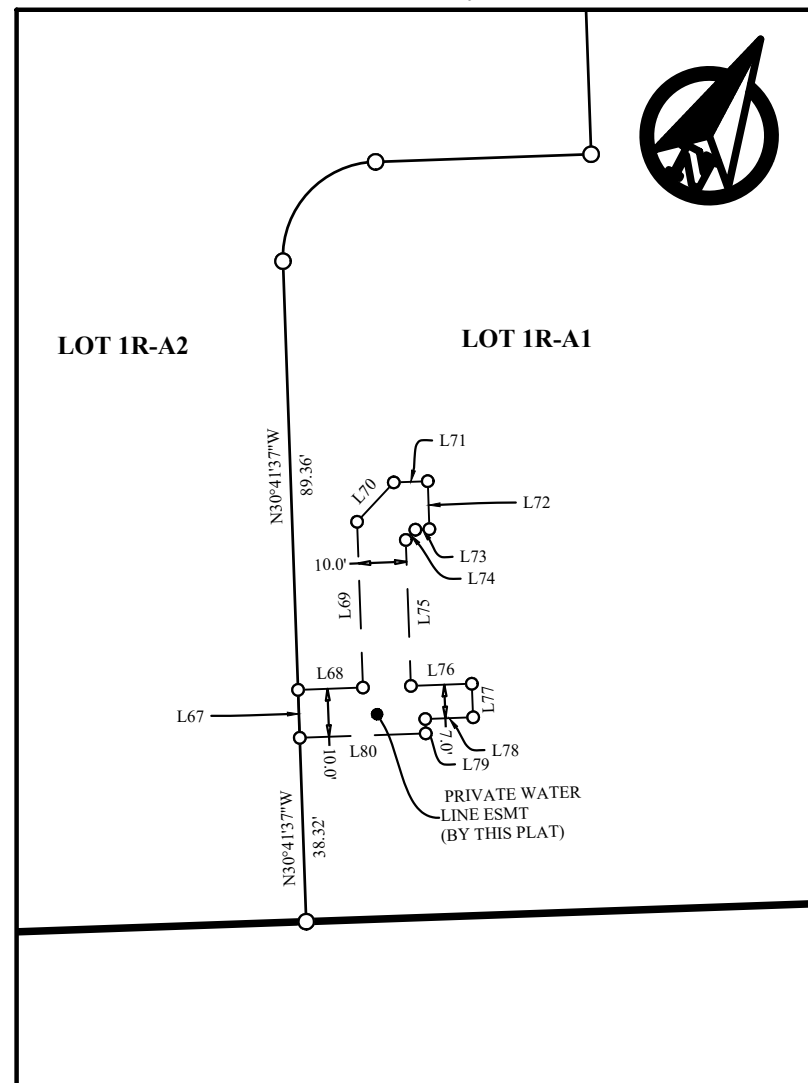
EASEMENTS DETAIL C

SCALE: 1" = 60'



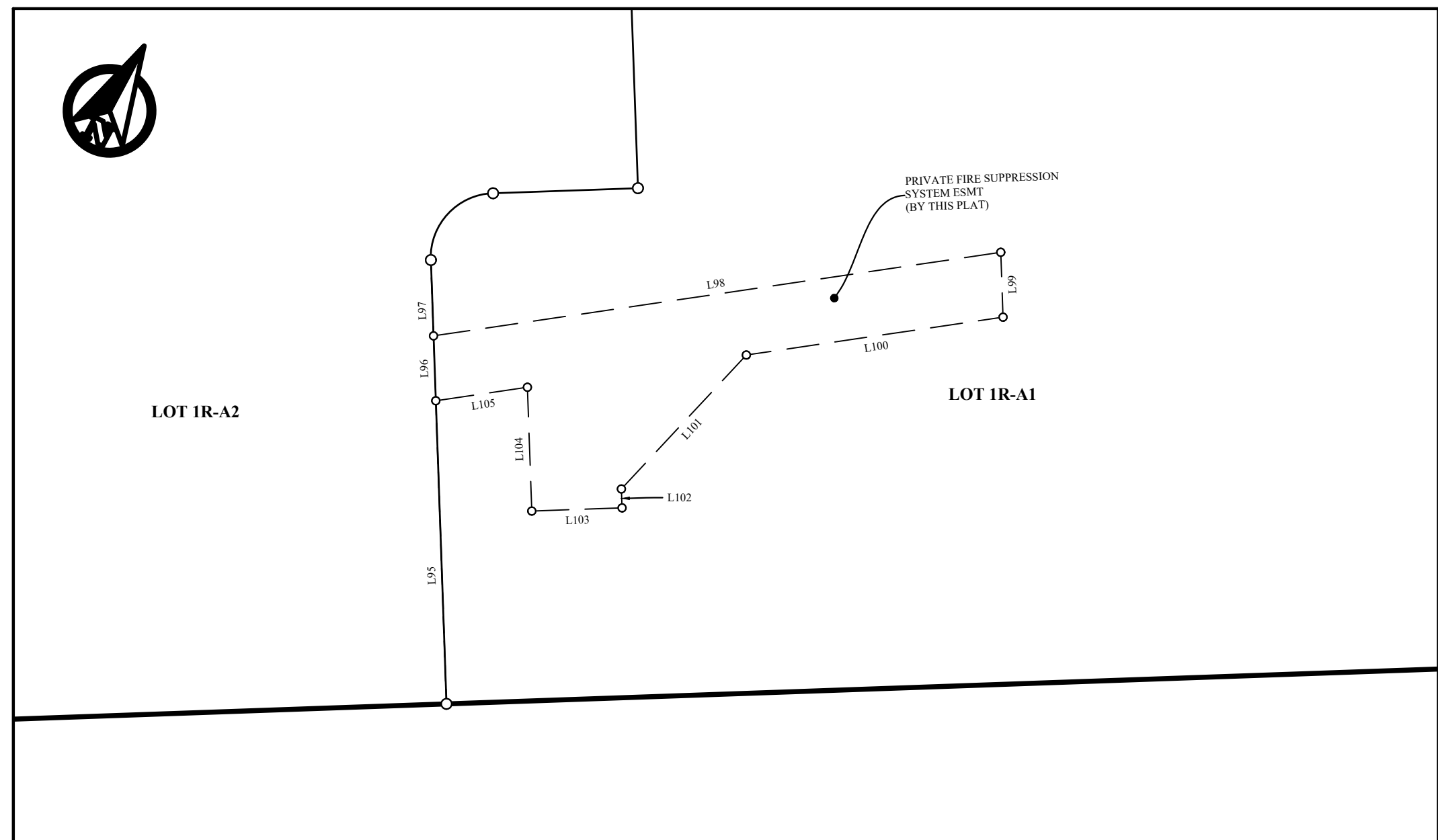
EASEMENTS DETAIL D

SCALE: 1" = 40'



EASEMENTS DETAIL E

SCALE: 1" = 40'



REFER TO PAGE 3 FOR LINE | CURVE TABLE

SURVEYOR:
 Robert W. Bryan
 2999 Olympus Blvd, Suite 165
 Dallas, TX 75019
 (817) 328-3200
 rbryan@langan.com

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T: 817.328.3200 www.langan.com

TBPELS Firm #10194888

REPLAT LOTS 1R-A1 & 1R-A2, BLOCK 1 HIGHPOINT BUSINESS PARK BURLESON

20.790 ACRES
 BEING A REPLAT OF
 LOT 1R-1, BLOCK 1, HIGHPOINT BUSINESS PARK BURLESON
 SITUATED IN THE
 CITY OF BURLESON, JOHNSON COUNTY, TEXAS
 PREPARED: APRIL 2024 | REVISED: NOVEMBER 2024 - JANUARY 2025
 PAGE 2 OF 4

Lot Line Data Table		
Line #	Bearing	Distance
L1	S30°30'43"E	27.31'
L2	N61°19'15"E	29.71'
L3	N59°18'23"E	67.59'
L4	S30°41'37"E	156.33'
L5	S59°18'23"W	57.67'
L6	S30°41'37"E	144.33'
L7	N59°18'23"E	57.67'
L8	S30°41'37"E	96.00'
L9	S59°18'23"W	44.92'
L10	S30°41'37"E	137.68'

Easement Curve Data Table					
Curve #	Arc	Radius	Delta	Chord Bearing	Chord
C1	37.60'	550.00'	003°55'02"	S27°25'37"E	37.59'
C2	15.06'	550.00'	001°34'08"	N24°41'02"W	15.06'
C3	14.79'	45.00'	018°49'48"	S81°59'50"E	14.72'
C4	16.26'	30.00'	031°03'48"	N73°03'22"E	16.07'
C5	18.25'	100.00'	010°27'23"	S54°04'33"W	18.22'
C6	24.49'	45.00'	031°10'44"	S43°43'01"W	24.19'
C7	40.54'	550.00'	004°13'25"	N25°03'24"W	40.54'
C8	21.28'	550.00'	002°13'01"	N28°16'37"W	21.28'
C9	19.32'	30.01'	036°53'27"	N79°46'25"E	18.99'
C10	6.88'	15.00'	026°16'58"	S47°50'16"W	6.82'

Easement Line Data Table		
Line #	Bearing	Distance
L11	N70°27'59"E	33.82'
L12	S58°56'58"W	6.22'
L13	S13°10'08"E	13.84'
L14	S70°27'59"W	24.84'
L15	N46°36'10"E	5.02'
L16	N61°19'15"E	26.17'
L17	N59°18'23"E	37.98'
L18	S46°36'10"W	62.27'
L19	N59°18'23"E	29.61'
L20	S30°01'59"E	104.63'
L21	N59°00'06"E	91.56'
L22	S30°41'36"E	15.00'
L23	S59°00'06"W	106.74'
L24	N30°01'59"W	118.18'
L25	S13°10'08"E	24.83'
L26	S13°23'06"E	77.13'
L27	S82°20'01"E	94.51'
L28	N57°34'17"E	82.40'
L29	N31°01'53"W	87.98'
L30	N58°33'05"E	46.02'

Easement Line Data Table		
Line #	Bearing	Distance
L31	N30°41'37"W	13.23'
L32	S30°41'37"E	15.00'
L33	S58°33'05"W	30.93'
L34	S31°01'53"E	87.73'
L35	S57°34'17"W	97.23'
L36	N82°20'01"W	103.39'
L37	S74°46'29"W	30.84'
L38	N30°41'37"W	15.56'
L39	N74°46'29"E	29.25'
L40	N13°23'06"W	73.65'
L41	N13°10'08"W	22.28'
L42	N30°41'37"W	13.04'
L43	N30°41'37"W	56.96'
L44	S37°12'49"E	63.88'
L45	S37°12'49"E	6.57'
L46	S59°18'23"W	8.00'
L47	N30°41'37"W	51.45'
L48	N60°38'17"E	83.09'
L49	N30°41'37"W	56.82'
L50	N59°04'40"E	90.00'

Easement Line Data Table		
Line #	Bearing	Distance
L51	S30°41'37"E	85.52'
L52	S59°18'23"W	10.20'
L53	S30°41'37"E	38.42'
L54	N30°41'37"W	44.36'
L55	N59°18'23"E	67.59'
L56	S30°41'37"E	32.40'
L57	S58°55'16"W	68.14'
L58	S59°18'23"W	57.82'
L59	N30°41'37"W	14.49'
L60	S59°18'23"W	10.00'
L61	N30°41'37"W	45.66'
L62	N59°18'23"E	14.50'
L63	S30°41'37"E	16.00'
L64	S59°18'23"W	4.50'
L65	S30°41'37"E	29.66'
L67	N30°41'37"W	10.00'
L68	N59°18'23"E	13.52'
L69	N30°41'37"W	34.56'
L70	N14°18'23"E	11.21'
L71	N59°18'23"E	7.07'

Easement Line Data Table		
Line #	Bearing	Distance
L72	S30°41'37"E	10.00'
L73	S59°18'23"W	2.93'
L74	S14°18'23"W	2.93'
L75	S30°41'37"E	30.42'
L76	N59°18'23"E	12.70'
L77	S30°54'29"E	7.00'
L78	S59°18'23"W	9.98'
L79	S30°33'01"E	3.00'
L80	S59°18'23"W	26.25'
L81	N59°18'23"E	36.35'
L82	N30°41'37"W	14.49'
L83	S59°18'23"W	10.00'
L84	N30°52'28"W	26.83'
L85	N59°18'23"E	124.31'
L86	N30°41'37"W	30.28'
L87	N59°18'23"E	10.00'
L88	S30°41'37"E	9.50'
L89	N59°18'23"E	7.00'
L90	S30°41'37"E	8.00'
L91	S59°18'23"W	7.00'

Easement Line Data Table		
Line #	Bearing	Distance
L92	S30°41'37"E	22.78'
L93	S59°18'23"W	124.28'
L94	S30°52'28"E	16.83'
L95	N30°41'37"W	94.03'
L96	N30°41'37"W	20.12'
L97	N30°41'37"W	23.53'
L98	N52°56'13"E	177.67'
L99	S30°41'37"E	20.12'
L100	S52°56'13"W	80.41'
L101	S14°18'23"W	56.78'
L102	S30°41'37"E	5.86'
L103	S59°18'23"W	28.00'
L104	N30°41'37"W	38.40'
L105	S52°56'13"W	28.69'

LANGAN

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REPLAT
LOTS 1R-A1 & 1R-A2, BLOCK 1
HIGHPOINT BUSINESS PARK BURLESON

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PREPARED: APRIL 2024 | REVISED: NOVEMBER 2024 - JANUARY 2025
PAGE 3 OF 4

OWNER'S CERTIFICATE

STATE OF TEXAS §

COUNTY OF JOHNSON §

WHEREAS BGO-SRE Burleson II LP, a Delaware limited partnership, is the owner of that certain tract being all of Lot 1R-A, Block A, Highpoint Business Park Burleson, an addition in the City of Burleson, Johnson County, Texas, according to the plat thereof recorded in Drawer K, Page 145, Plat Records, Johnson County, Texas (P.R.J.C.T.) (Instrument No. 145-2020, P.R.J.C.T.), and being the same tract described in the deed to said BGO-SRE Burleson II LP, a Delaware limited partnership recorded under Instrument Number 2023-33570, Official Public Records, Johnson County, Texas; the subject tract is more particularly described as follows:

BEGINNING at a 1/2 inch rebar found at the north corner of said Lot 1R-A;

THENCE with the perimeter and to the corners of said Lot 1R-A, the following calls:

- 1. SOUTH 29°04'46" EAST, a distance of 493.82 feet to a found 1/2 inch capped rebar stamped "JPH Land Surveying";
2. SOUTH 31°27'28" EAST, a distance of 464.86 feet to a lot corner, from which a found 1/2 inch capped rebar stamped "JPH Witness Corner" bears NORTH 32°16'48" WEST, a distance of 1.0 feet;
3. SOUTH 59°18'23" WEST, a distance of 1,152.67 feet to a found Mag Nail with Metal Washer stamped "JPH Land Surveying";
4. NORTH 30°41'37" WEST, a distance of 160.00 feet to a 1/2 inch capped rebar stamped "JPH Land Surveying" found at the beginning of a curve concave easterly (curve to the right), having a radius of 450.00 feet;
5. In a northerly direction, along the arc of said curve, passing through a central angle of 26°39'20", an arc length of 209.35 feet (a chord bearing of NORTH 17°21'57" WEST, a chord distance of 207.47 feet) to a 1/2 inch capped rebar stamped "JPH Land Surveying" found in a point of reverse curvature, concave westerly (curve to the left) having a radius of 550.00 feet;
6. In a northerly direction, along the arc of said curve, passing through a central angle of 25°20'51", an arc length of 243.32 feet (a chord bearing of NORTH 16°42'42" WEST, a chord distance of 241.34 feet) to a found 1/2 inch capped rebar stamped "JPH Land Surveying";
7. NORTH 61°19'15" EAST, a distance of 380.57 feet to a found 1/2 inch capped rebar stamped "JPH Land Surveying";
8. NORTH 29°58'25" WEST, a distance of 390.63 feet to a found 5/8 inch capped rebar stamped "Dunaway";
9. NORTH 60°34'42" EAST, a distance of 669.16 feet returning to the POINT OF BEGINNING and enclosing 20.790 acres (±905,615 square feet).

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That BGO-SRE Burleson II LP, a Delaware limited partnership, acting herein by and through its duly authorized officer, does hereby adopt this plat designating the hereinabove described property as Lots 1R-A1 & 1R-A2, Block A, Highpoint Business Park Burleson, an addition in the City of Burleson, Johnson County, Texas, and does hereby dedicate to the public use forever all streets, tight-of-way, alleys and easements shown thereon. The City of any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other improvements or growths in which any way endanger or interfere with the construction, maintenance or efficiency of its respective systems on any of these easements, and the City or any public utility shall at all times have the right of ingress and egress to and from and upon the said easement for the purpose of constructing, reconstructing, inspecting, and patrolling, without the necessity at any time of procuring the permission of anyone. This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Burleson, Johnson County, Texas.

WITNESS my hand this the ___ day of _____, 20__.

Authorized Officer of _____ Name
BGO-SRE Burleson II LP,
a Delaware limited liability company

STATE OF TEXAS §
COUNTY OF _____ §

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____, authorized officer of BGO-SRE Burleson II LP, a Delaware limited partnership, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this the ___ day of _____, 20__.

Notary Public in and for the State of Texas

GENERAL PLAT NOTES:

- 1. The purposed of this replat is to subdivide the existing Lot 1R-A, Block A, into two (2) lots.
2. This replat does not alter or remove existing deed restriction or covenants, if any, on this property.
3. Selling a portion of any lot within this addition by metes and bounds is a violation of state law and city ordinance and is subject to fines and withholding of utility services and building permits.
4. The private access and utility easement provides unrestricted use and maintenance of the property for utilities. These rights extend to all utility providers. The easement also provides the City or County with the right of access for any purpose related to the exercise of a governmental service or function including, but not limited to, fire and police protection, inspection and code enforcement. The easement permits the City of County to remove any vehicle or obstacle within the street that impairs emergency access.
5. The fieldwork was completed in April 2024.
6. Zoning information shown hereon are based on the City of Burleson interactive maps (https://www.burlesontx.com/600/Maps).
7. The City of Burleson reserves the right to require minimum finish floor elevation on any lot within this subdivision. The minimum elevations shown are based on the most current information available at the time the plat is filed and may be subject to change.
8. No fences or other structures will be allowed within the drainage easement.
9. The requirement of public infrastructure was based on the Utility exhibit that was submitted for review with this plat on December 09, 2024 to the City of Burleson. Any additional structures proposed on this property may require the existing water lines to be improved and fire hydrant(s) to be installed for fire protection. Please contact the City of Burleson's Development Services department prior to any development permit being issued.
10. According to the Flood Insurance Rate Map (FIRM) Community Panel No. 48251C0200J dated 2012/12/04 the subject property is located within the following zone: Zone X - Areas determined to be outside the 500-year floodplain.
11. The City of Burleson is not responsible for the design, construction, operation, maintenance or use of any storm water storage facility and associated drainage easements hereinafter referred to as "improvements," to be developed and constructed by developer or successors. Developer will indemnify, defend and hold harmless the City of Burleson, its officers, employees and agents from any direct or indirect loss, damage, liability or expense and attorneys' fees for any negligence whatsoever, arising out of the design, construction, operation, maintenance condition or use of the improvements, including any non-performance of the foregoing. Developer will require any successor in interest to accept full responsibility and liability for the improvements. All of the above shall be covenants running with the land. It is expressly contemplated that developer shall impose these covenants upon Lot(s) 1R-A2 abutting, adjacent or served by the improvements the full obligation and responsibility of maintaining and operating said improvements.
12. The undersigned does covenant and agree that the private access easement may be utilized by any person or the general public for ingress and egress to other real property, and for the purpose of general public vehicular and pedestrian use and access, and for Fire Department and emergency use, in, along, upon, and across said premises, with the right and privilege at all times of the City of Burleson, its agents, employees, workmen, and representatives having ingress, egress, and regress in, along, upon, and across said premises. Maintenance of private access easements shall be the responsibility of the property owner.
13. No improvements greater than 2 feet in height will be allowed within the visibility easements including but not limited to fences, walls, landscaping, signs, etc.
14. The existing drainage system within the boundaries of Lots 1R-A1 and 1R-A2 was designed and constructed as a private drainage system. The City of Burleson will have no maintenance responsibility for any storm drainage facility located within private drainage easements as noted on the plat.
15. Bethesda Water Supply nor the City of Burleson will have any maintenance responsibility for the 12 inch private fire line that supports the fire suppression system. The developer shall be responsible for the maintenance of the 12-inch private fire line.

PLANNING AND ZONING APPROVAL

Approved by the Planning and Zoning Commission of Burleson, Texas this the _____, day of _____, 20__.

By: _____
Chair of Planning and Zoning Commission

By: _____
City Secretary

JOHNSON COUNTY RECORDING

Plat Filed _____

Instrument Number: _____ - _____

Drawer _____, Slide _____

By: _____
Johnson County Clerk

By: _____
Deputy Clerk

SURVEYOR'S CERTIFICATION

STATE OF TEXAS §

COUNTY OF DALLAS §

THIS is to certify that I, Robert W. Bryan, a Registered Professional Land Surveyor for the State of Texas, have platted the above subdivision from an actual survey on the ground; and that all lot corners, angle points, and points of curve have been properly marked on the ground, and that this plat correctly represents that survey made by me.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

Robert W. Bryan
Registered Professional
Land Surveyor No. 5508
rbryan@langan.com

REPLAT
LOTS 1R-A1 & 1R-A2, BLOCK 1
HIGHPOINT BUSINESS PARK BURLESON

20.790 ACRES
BEING A REPLAT OF
LOT 1R-1, BLOCK 1, HIGHPOINT BUSINESS PARK BURLESON
SITUATED IN THE
CITY OF BURLESON, JOHNSON COUNTY, TEXAS
PREPARED: APRIL 2024 | REVISED: NOVEMBER 2024 - JANUARY 2025
PAGE 4 OF 4



TBPELS Firm #10194888

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(817) 328-3200
rbryan@langan.com

OWNER:
BGO-SRE Burleson II LP,
a Delaware limited partnership
c/o BentallGreenOak (U.S.) limited
partnership
399 Park Avenue, Floor 18,
New York, New York 10022