



TOWN OF BRISTOL, RHODE ISLAND

ZONING BOARD OF REVIEW AGENDA

*** AMENDED TO INCLUDE ITEM 6**

Zoning Board of Review Agenda

*** AMENDED TO INCLUDE ITEM 6 Agenda**

Monday, April 07, 2025 at 7:00 PM

Bristol Town Hall, 10 Court Street, Bristol, RI 02809

Scanned copies of all applications and supporting materials will be available on the Town of Bristol website at <https://bristol-ri.municodemeetings.com/>. Written comments may be submitted to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on **Thursday, April 3, 2025**.

1. Pledge of Allegiance

2. Approval of Minutes - February 10, 2025

3. Sitting as Board of Review - Continued Petition

3A. 2025-02 Brandon M. and Cassie M. Andrade - Dimensional Variance (continued from January): to construct a 30ft. x 34ft. two-story garage and living area addition to an existing single-family dwelling with less than the required right side yard. Located at **21 Naomi Street**; Assessor's Plat 118, Lot 100; Zone: R-15

4. Sitting as Board of Review - New Petitions

4A. 2025-08 Marissa Cabral / Wicked Awesome Pet Care and Spa, Inc. - Special Use Permit: to continue use of a conditionally approved pet grooming service business use within a residential zoning district. Located at **1282 Hope Street**; Assessor's Plat 92, Lot 16; Zone: Residential R-10

4B. 2025-09 Kristin E. and Jeremy Couto - Dimensional
Variations: to construct a 12ft. x 16ft. accessory shed structure with less than the required front yard from the Holly Lane property line; and to install a 6ft. high stockade fence along the Holly Lane property line at a height greater than permitted for a fence in the front yard. Located at **6 Rego Avenue**; Assessor's Plat 47, Lot 17; Zone: R-10.

4C. 2025-10 Geoffrey M. Vicente - Dimensional
Variance: to construct a 28ft. x 40ft. single family dwelling with less than the required front yard. Located at **Tilbury Drive**; Assessor's Plat 153, Lot 439; Zone: R-10.

4D. 2025-11 Aires H. Medeiros, Jr. - Dimensional
Variations: to construct an approximate 864 square foot single-story garage and living area addition to an existing single-family dwelling with less than the required front yard and less than the required right side yard. Located at **8 Villa Drive**; Assessor's Plat 154, Lot 112; Zone: R-10SW.

4E. 2025-12 Virginia M. and John T. Cairrao - Dimensional
Variations: to construct a 26ft. x 28ft. single-story accessory dwelling unit (ADU) and 5ft. x 6ft. basement bulkhead addition to an existing single-family dwelling with less than the required rear yard; less than the required left side yard; and with less than the required lot area for an ADU within a new structure. Located at **8 Colt Avenue**; Assessor's Plat 118, Lot 62; Zone R-10.

4F. 2025-13 Larry Oliver / L& R Properties, LLC - Special Use Permit: to construct a 28ft. x 46ft. single-family dwelling at a height over 25 feet above grade in the flood zone. Located at **92 King Phillip Avenue**; Assessor's Plat 147, Lot 77; Zone: R-10.

5. Sitting as Board of Appeal

5A. 2025-07 David J. Ramos / Ramos Landscaping, LLC - Appeal: of a Notice of Zoning Violation issued by the Zoning Enforcement Officer for the intensification of a nonconforming landscaping contract construction business without first obtaining a special use permit in the General Business zoning district; the

construction of commercial structures without first obtaining building permits; and the construction of commercial structures without first obtaining Planning Board approval for a Land Development Project in the Metacom Avenue Overlay zoning district. Located at **670 Metacom Avenue**; Assessor's Plat 128, Lot 15; Zone: GB and Metacom Avenue Overlay.

6. * Request for Extension of Variance Approval for Devin P. & Melissa L. Lannan, Roseland Avenue; Assessor's Plat 121, Lot 76; File 2020-41.

7. **Adjournment**

Date Posted: March 13, 2025

AMENDED: March 25, 2025

Posted By: emt



Town of Bristol, Rhode Island
Department of Community Development
Zoning Board of Review

TOWN OF BRISTOL
COMMUNITY DEV.

2024 DEC 11 AM 11:22

APPLICATION

File No: **2025-02**
 Accepted by ZEO: *SMT 12/11/2024*

APPLICANT:	Name: <u>Brandon Andrade</u>		
	Address: <u>21 Naomi St.</u>		
	City: <u>Bristol</u>	State: <u>RI</u>	Zip: <u>02809</u>
	Phone #: <u>774-365-1513</u>	Email: <u>brandon_andrade1@yahoo.com</u>	
PROPERTY OWNER:	Name: <u>Brandon Andrade</u>		
	Address: <u>21 Naomi St.</u>		
	City: <u>Bristol</u>	State: <u>RI</u>	Zip: <u>02809</u>
	Phone #: <u>774-365-1513</u>	Email: <u>brandon_andrade1@yahoo.com</u>	

1. Location of subject property: 21 Naomi St., Bristol, RI 02809
 Assessor's Plat(s) #: 118-0100-000 Lot(s) #: 6 ~~118-0100-000~~

2. Zoning district in which property is located: R-15

3. Zoning Approval(s) required (check all that apply):
 Dimensional Variance(s) _____ Special Use Permit _____ Use Variance

4. Which particular provisions of the Zoning Ordinance is applicable to this application?
 Dimensional Variance Section(s): _____
 Special Use Permit Section(s): _____
 Use Variance Section(s): _____

5. In a separate written statement (attach to this application), please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.

6. How long have you owned the property? 8 years (9/7/2016)

7. Present use of property: Single Family Dwelling

8. Is there a building on the property at present? yes

9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet):
26 x 34', 1,532 square ft

10. Proposed use of property: Single Family Dwelling

11. Give extent of proposed alterations: 8'X40' first floor rear addition, two story garage addition with master suite above, 6'X46 Farmers porch

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet):
addition sq ft = 1,040

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

Front lot line(s):	Required Setback: <u>35'</u>	Proposed Setback: <u>35'</u>
Left side lot line:	Required Setback: <u>20'</u>	Proposed Setback: <u>20'</u>
Right side lot line:	Required Setback: <u>20'</u>	Proposed Setback: <u>16'</u>
Rear lot line:	Required Setback: <u>35'</u>	Proposed Setback: <u>35'</u>
Building height:	Required: _____	Proposed: _____
Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):		
Required: _____	Proposed: _____	

13. Number of families before/after proposed alterations: 1 Before 1 After

14. Have you submitted plans for the above alterations to the Building Official? NO
 If yes, has he refused a permit? _____
 If refused, on what grounds? _____

15. Are there any easements on your property? NO (If yes, their location must be shown on site plan)

16. Which public utilities service the property? Water: Sewer:

17. Is the property located in the Bristol Historic District or is it an individually listed property? NO

18. Is the property located in a flood zone? NO If yes, which one?: _____

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature:  Date: 12/10/2024

Print Name: Brandon Andrade

Property Owner's Signature:  Date: 12/10/2024

Print Name: Brandon Andrade

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: _____ Phone #: _____

Address: _____

Question # 5

Property Location: 21 Naomi Street, Bristol RI, 02809

Dear Members of the Zoning Board,

I am writing to formally request a variance for the expansion of our current home at 21 Naomi Street. My family and I have thoroughly enjoyed living in this home and being part of such a supportive community. We are currently facing the joyful yet challenging situation of expanding our family—our 5-year-old is eagerly awaiting the arrival of a new sibling in early 2025.

As both my wife and I work from home, our current living space no longer adequately supports the needs of our growing family.

To ensure we continue to thrive in our home and maintain a balanced lifestyle, we are proposing an expansion to accommodate our children and provide dedicated workspaces for both of us.

We fully understand the importance of maintaining the aesthetic and integrity of our neighborhood. We are committed to making sure that our expansion will not negatively impact our neighbors' views, privacy, or the overall character of the area.

We have had positive relationships with our neighbors and plan to continue fostering those relationships by keeping open communication about the project and addressing any concerns that may arise.

We believe that this modification will not only improve our quality of life but will also preserve the long-term stability and enjoyment of our home in this community. We are more than willing to work with the planning department and neighbors to ensure that the expansion is done thoughtfully and in compliance with all regulations.

Sincerely,
Brandon Andrade

Plat/Lot 118-0100-000 **Account: 6159** **LUC.01** **Zone R-15** **Assessment** **\$393,500**

Owner ▶ Owner Account #: 50-0016-00 % Owned
 Owner 1 **ANDRADE, CASSIE M & BRANDON M TE**
 Owner 2
 Owner 3
 Address **21 NAOMI ST, BRISTOL, RI 02809**

▶ Previous Owners & Sales Information

Grantor	Date	Sale Price	Leg Ref	NAL	Deed Type
FERREIRA, CASSIE	09/08/2020	0	2055-275		Q
CATALAN, BRANDON A,	09/07/2016	315,000	1861-80	L	T
CATALAN, BRANDON A.	02/11/2014	0	1745-350	A	Q
MOSTERTZ, GAIL	04/30/2008	299,900	1433-250	A	A
NAOMI PROPERTIES I	09/02/1999	157,000	714-56	A	W

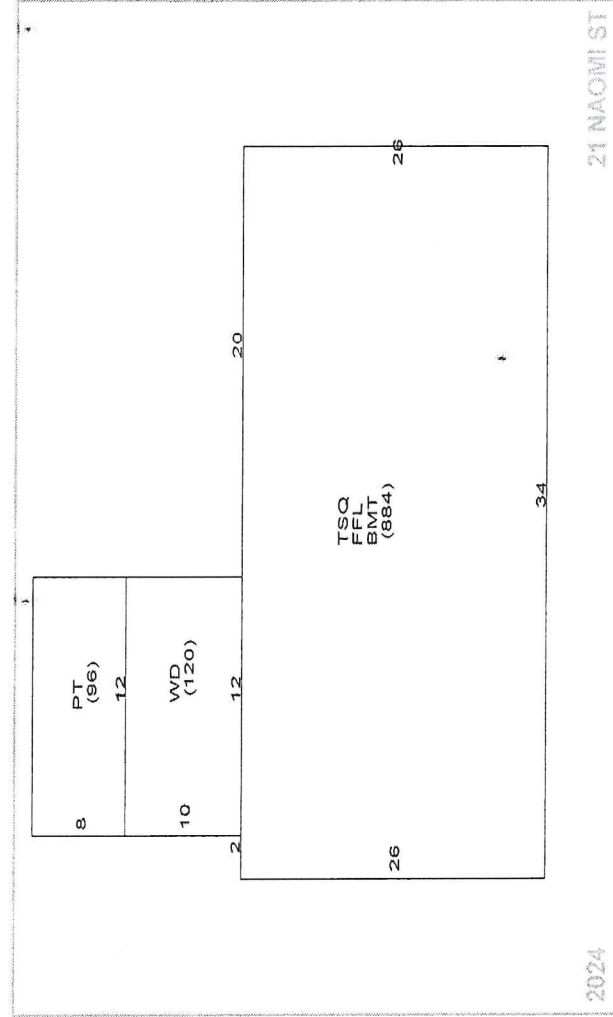
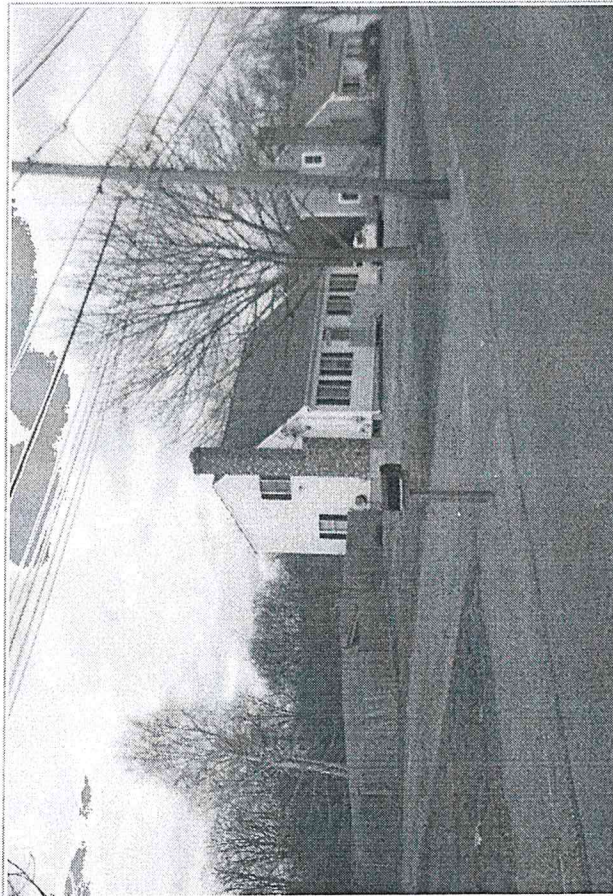
▶ Assessment

Use Code	Bldg Value	SF/Yr Value	Land Size	Land Value	AG Credit	Assessed Value
01	223,100	0	0.36	170,400	0	393,500
TOTAL	223,100	0	0.36	170,400	0	393,500

Source > Mkt Adj Cost VAL per SQ Unit/Card > 148.66 VAL per SQ Unit/Parcel > 148.66

▶ Previous Assessments

Year	LUC	Building	SF/Yr	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2024	01	223,100	0	0	170,400	0	393,500	393,500
2023	01	223,100	0	0	170,400	0	393,500	393,500
2022	01	223,100	0	0	170,400	0	393,500	393,500
2021	01	175,300	0	0	142,800	0	318,100	318,100
2020	01	175,300	0	0	142,800	0	318,100	318,100
2019	01	175,300	0	0	142,800	0	318,100	318,100



▶ Land Information

Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh	Inf 1	Inf 1 %	Inf 2	Inf 2 %	Inf 3	Inf 3 %	Appr Value	Spec Land	Juris	Fact	Use Value
1 01 Single Fam	0.34435	AC	P	1.00	555,000	489,328	E							168,500			1.00	0
2 01 Single Fam	0.01148	AC	EX	0.20	555,000	165,505	E							1,900			1.00	0
3																		
4																		

Building Information

Description	Description
BLDG Type	Cape
RES Units	1
Foundation	Concrete
Frame 1	Wood
EXT Wall 1	Vnrl Siding
Roof Type 1	Gable
Roof Cover 1	Asphalt Shir
INT Wall 1	Drywall
Floors 1	Hardwood
BMT Garages	
Plumbing	Color Electrical
Insulation	INT vs EXT
Heat Fuel	Oil
# Heat Sys	1
% Solar HW	% A/C
% COM Wall	% Vacuum
Ceil HGH	Ceiling Type
Parking Type	% Sprinkled
EXT View	

Grade

Grade	Q4	Q4
Year Built	1999	EFF Year
Alt LUC	Alt %	0.00
Depreciation		
Condition	AV	AV - Average
Functional	0.0	0.0
Economic	0.0	0.0
Special	0.0	0.0
OV	-	-
Total Depreciation % > 22.0		

Other Factors

Flood Hazard	LEVEL
Topography	PAVED
Street	Traffic
Bas \$/SQ	135.00
Size Adj	1.11
Constr Adj	1.01
Adj \$/SQ	151.24
Othr Featrs	29,500
Grade Fac	1.00
Neigh Infl	1.00
Land Factor	1.00
Adj Total	286,052
Depreciation	62,931
Depr Total	223,121

Sub-Area Detail

Code	Description	Area	Fin. Area	Rate	Undep Val
FFL	1st FLOOR	884	884	151.24	133,696
TSQ	3/4 STORY	663	663	151.24	100,272
BMT	BASEMENT	884	0	22.69	20,058
PT	PATIO	96	0	3.81	366
WD	WOOD DECK	120	0	18.00	2,160
Total		2,647	1,547		256,552

Notes

Remodeling History

Additions	Plumbing	Electric	Heating	General
Interior				
Exterior				
Kitchen				
Bath(s)				

Condo Data

Complex	Location	Tot Units	FL Level	# Floors	Bldg Seq
				0	1

Building Permits

Issue Date	Permit #	Closed Date	BP Type	Est. Cost	% Done	Status	Description/Directions
1							
2							
3							
4							
5							
6							
7							
8							
9							

Special Features & Yard Items

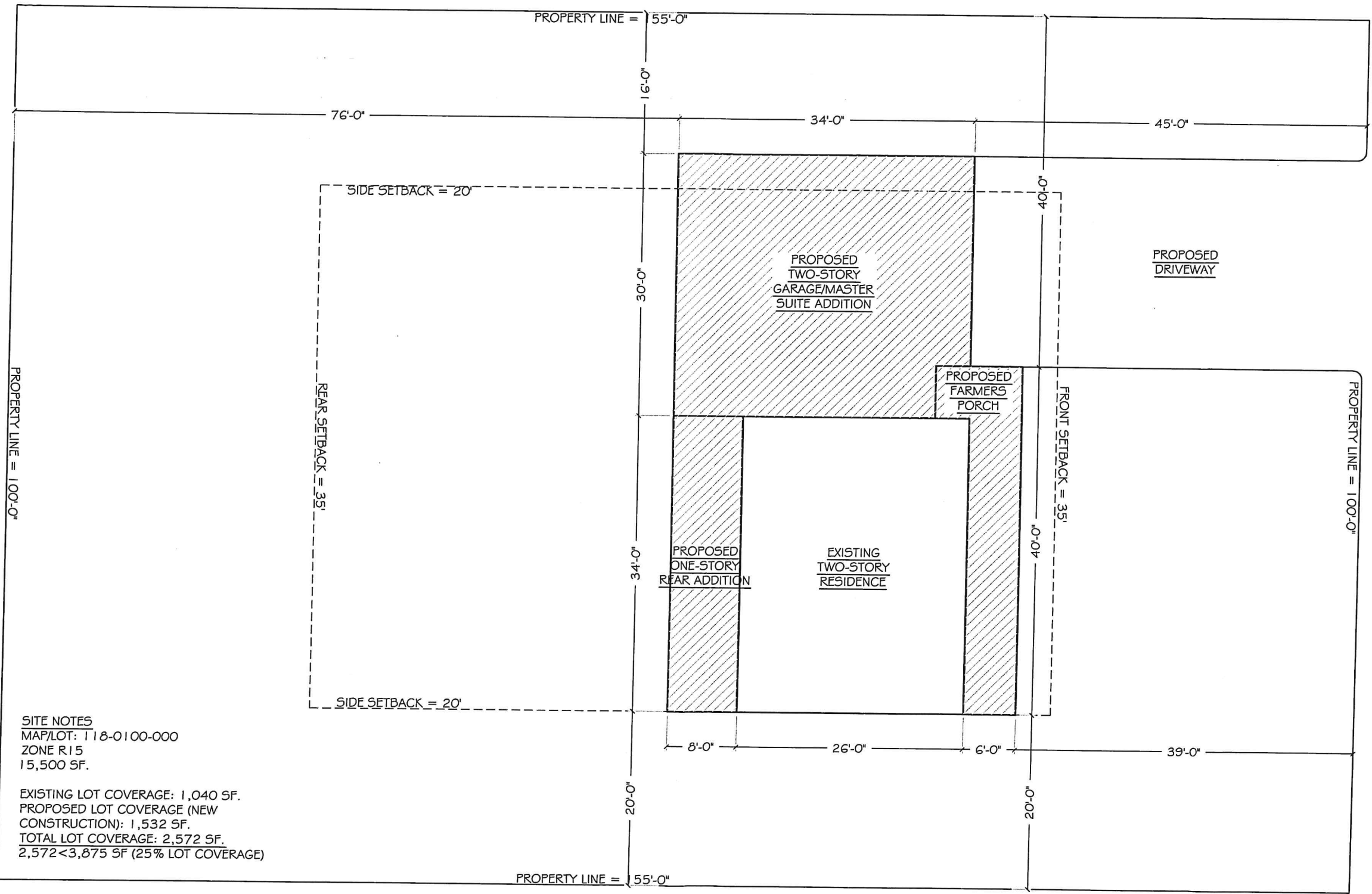
Use	Description	A	Y/S	Qty	Length	Width	SF Size	Quality	Condition	Year	Assessed Value	
1	151 S Pump1	1	Y	1				1	3	AV	1999	0
2												
3												
4												
5												
6												
7												
8												
9												
10												

Other Info.

AFDU	Priority
Priority1	
Priority2a	
Priority2b	
Priority2c	
Priority3a	
Priority3b	
Priority3c	

Room Counts by Floor

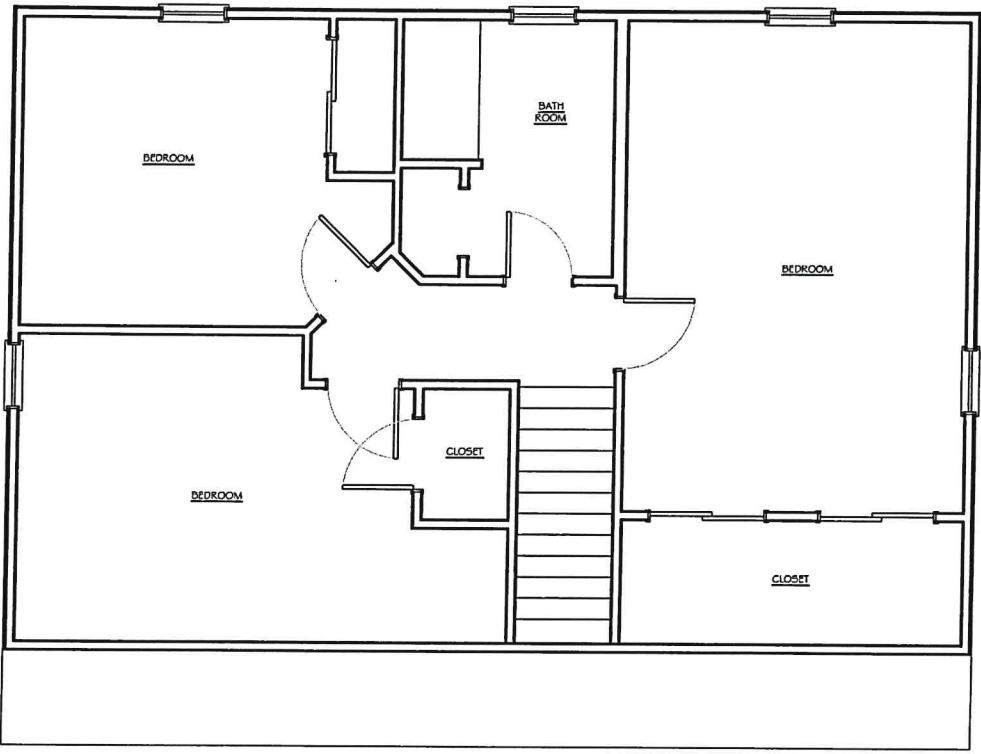
Units	# Rooms	# Bedrooms	Floor Level
1	1	7	4
2			U
3			
4			
Totals	1	7	4



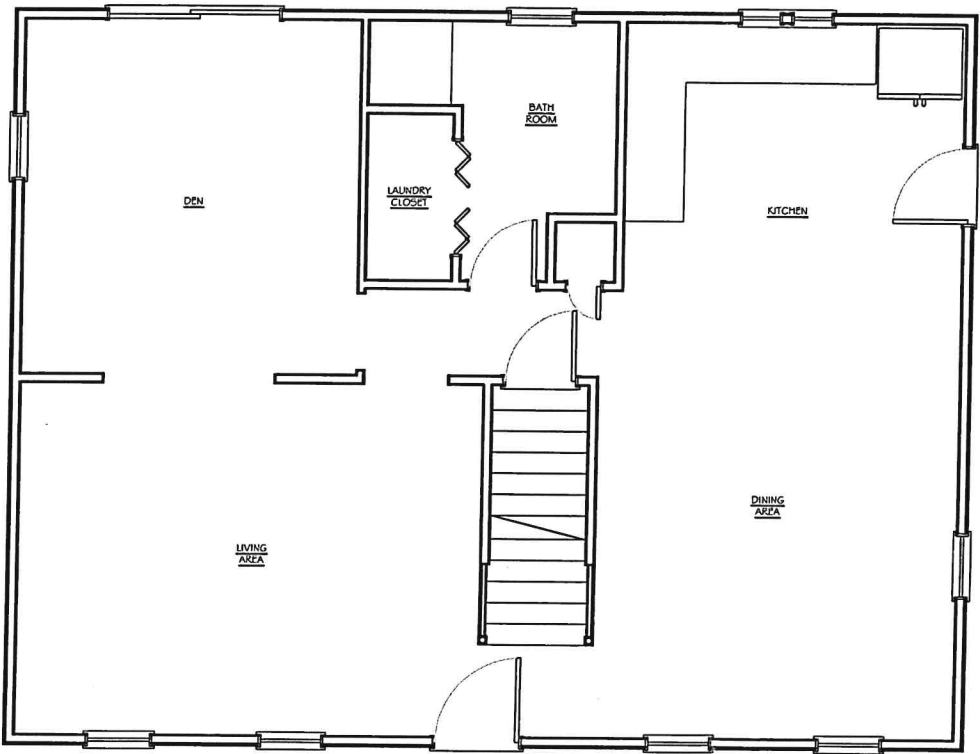
SITE NOTES
 MAP/LOT: T118-0100-000
 ZONE R15
 15,500 SF.
 EXISTING LOT COVERAGE: 1,040 SF.
 PROPOSED LOT COVERAGE (NEW CONSTRUCTION): 1,532 SF.
 TOTAL LOT COVERAGE: 2,572 SF.
 2,572 < 3,875 SF (25% LOT COVERAGE)



 R.D.G. <small>REGISTERED DESIGNER</small>	
SITE PLAN	
ANDRADE 21 NAOMI ST. BRISTOL, RI	S1
DATE: 11-25-2024 DRAWN BY: EP3	
SCALE: NTS ISSUE FOR ZONING	




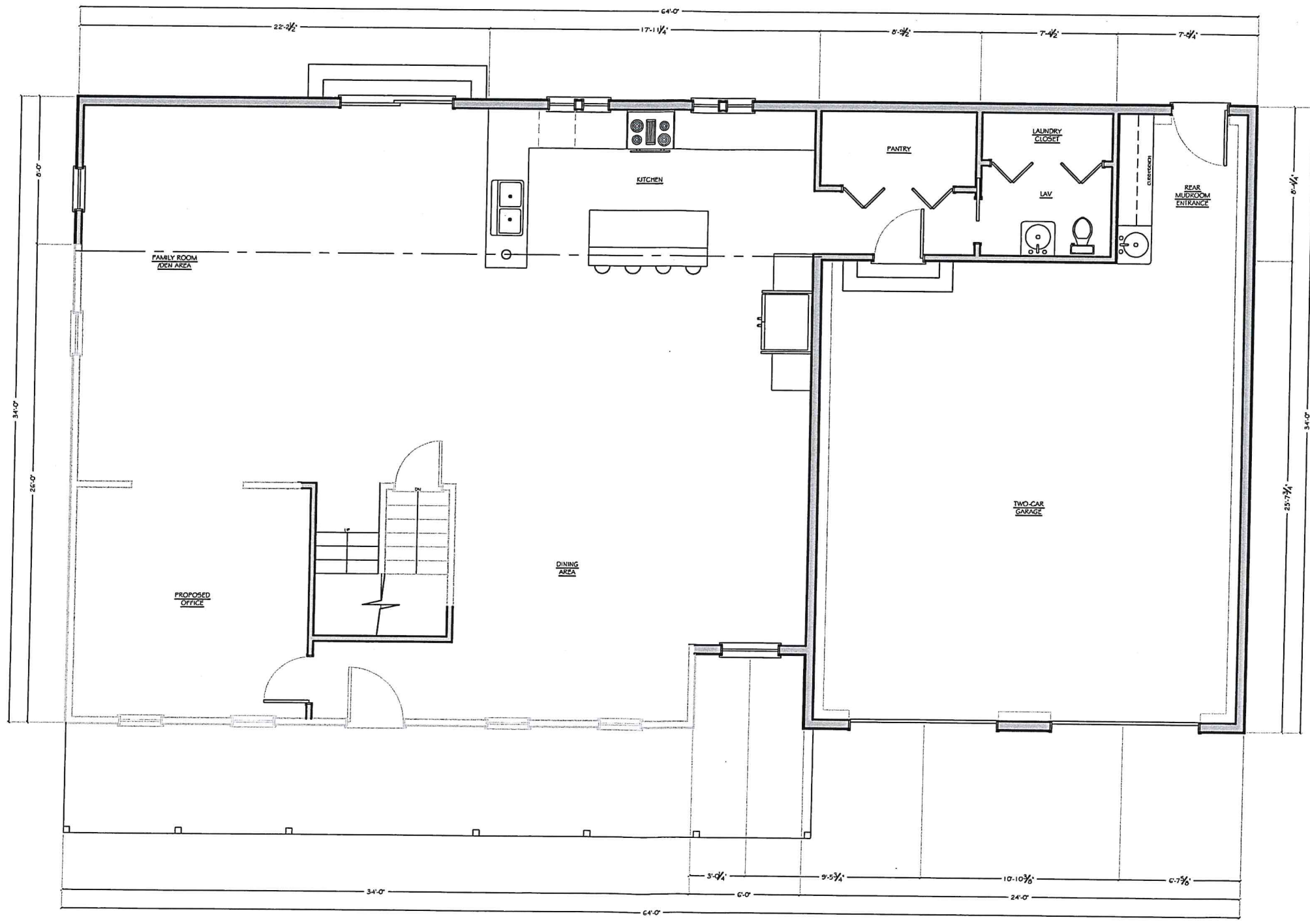
EXISTING 2nd FLOORPLAN




EXISTING 1st FLOORPLAN



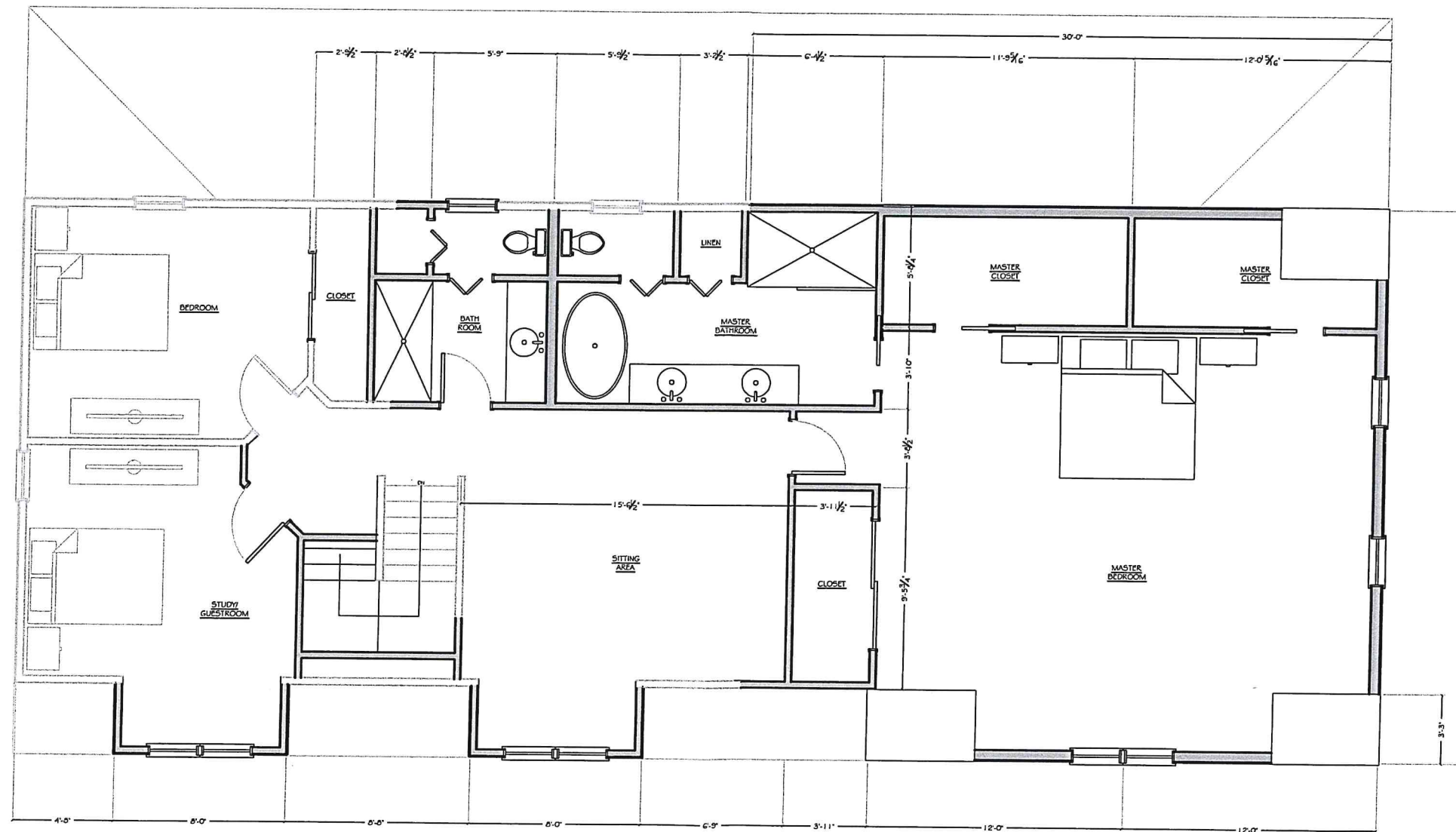
 EXISTING 1st & 2nd FLOORPLANS	
<small>ANDRADE 21 NAOMI ST. BRISTOL, RI</small>	
<small>DATE: 11.25.2004 DRAWN BY: EP3</small>	
<small>SCALE: 1/4" = 1'-0" ISSUE FOR ZONING</small>	
A1	




RDG.
 ARCHITECTURE

PROPOSED FIRST FLOOR PLAN

ANDRADE 21 NAOMI ST. BRISTOL, RI	A2
DATE: 11.28.2024 DRAWN BY: EP3	
SCALE: 1/4"=1'-0" ISSUE FOR ZONING	



R.D.G.
REGISTERED DESIGNER

PROPOSED SECOND FLOOR PLAN

ANDRADE 31 RAONI ST. BRISTOL, RI	A3
DATE: 11-25-2024 DRAWN BY: EJS	
SCALE: 1/4" = 1'-0" ISSUE FOR ZONING	

EXISTING EAST



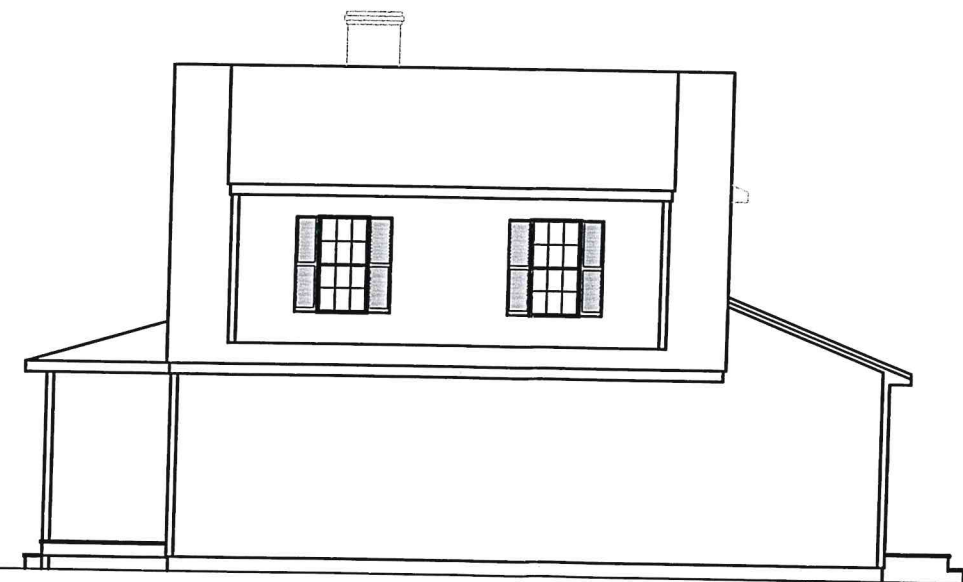
EXISTING NORTH




PROPOSED EAST



PROPOSED NORTH




R.D.G.
REGISTERED DESIGNER

**PROPOSED
ELEVATIONS**

ANDRADE
NACMI ST.
BRISTOL, RI

DATE: 11.28.2024
DRAWN BY: EP2

SCALE: 3/16" = 1'-0"
ISSUE FOR ZONING

A4

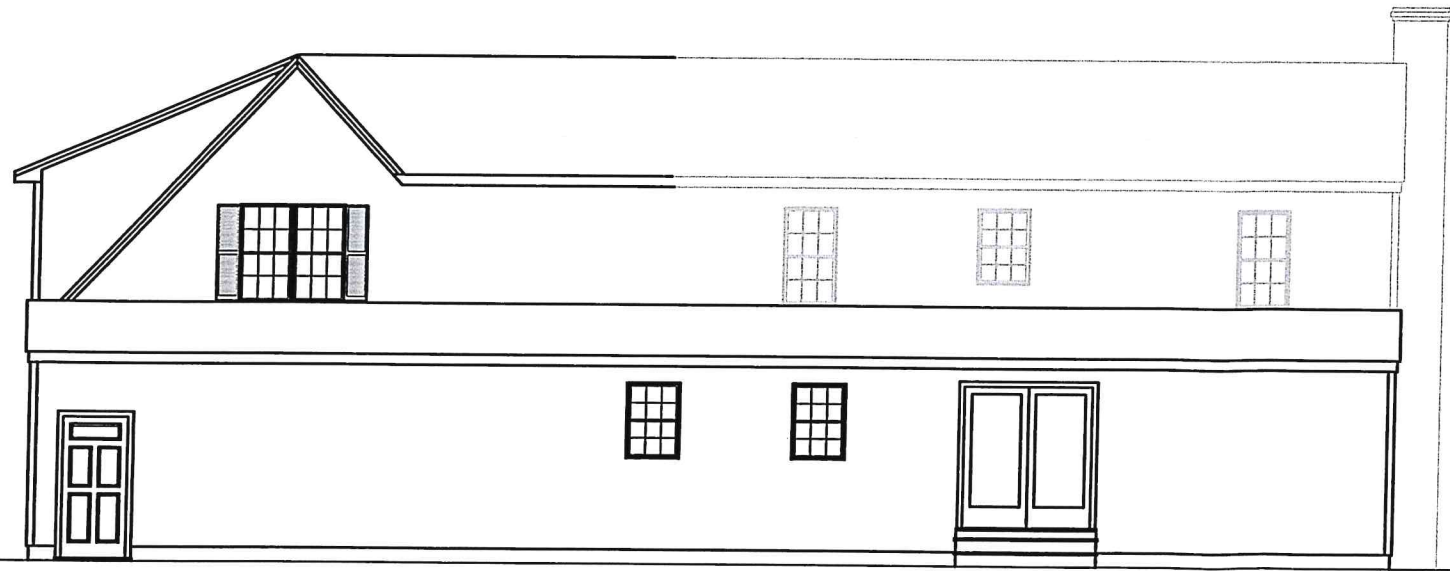
EXISTING WEST



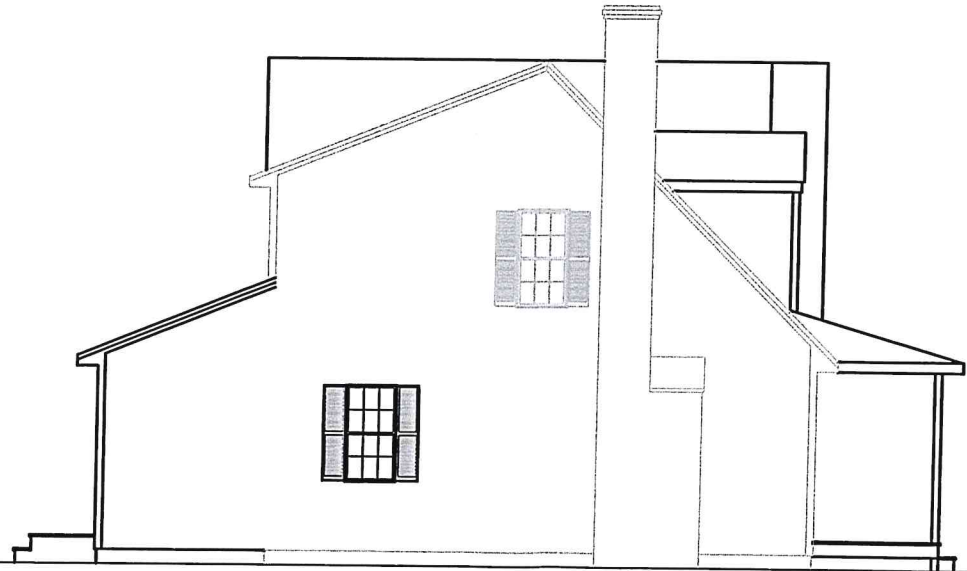
EXISTING SOUTH




PROPOSED WEST



PROPOSED SOUTH




R.D.G.
REGISTERED ARCHITECT
STATE OF RHODE ISLAND

PROPOSED ELEVATIONS

<small>ANDRADE NAOMI ST.,BRISTOL, RI</small>	A5
<small>DATE: 11.26.2024 DRAWN BY: EPJ</small>	
<small>SCALE: 3/16" = 1'-0" ISSUE FOR ZONING</small>	



21 Naomi St. - 300' Radius

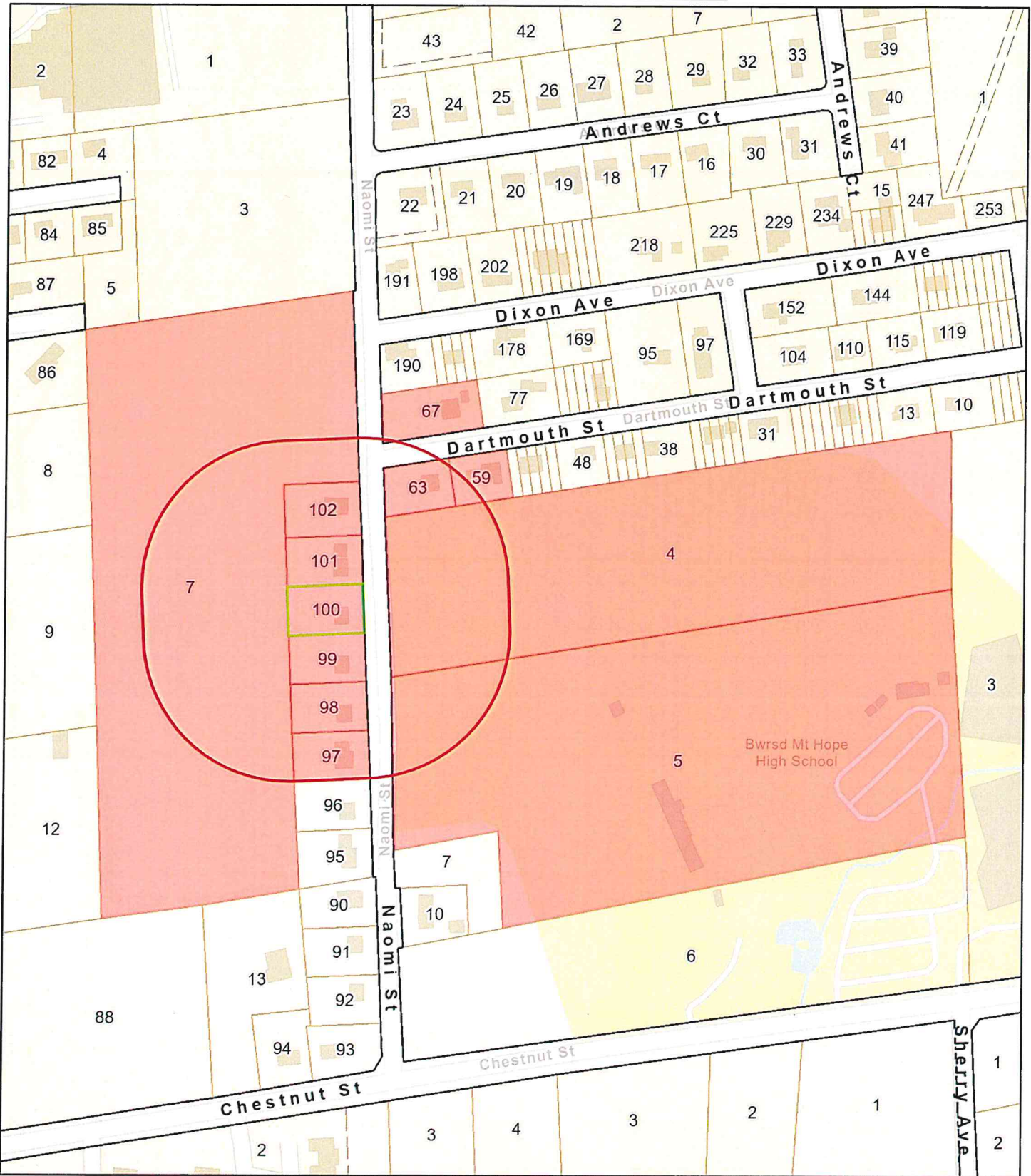
Bristol, RI



1 inch = 282 Feet

www.cai-tech.com

December 13, 2024



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



300 feet Abutters List Report

Bristol, RI
December 13, 2024

Subject Property:

Parcel Number: 118-100	Mailing Address: ANDRADE, CASSIE M & BRANDON M TE
CAMA Number: 118-100	
Property Address: 21 NAOMI ST	21 NAOMI ST
	BRISTOL, RI 02809

Abutters:

Parcel Number: 113-59	Mailing Address: PASQUAL, SUSAN
CAMA Number: 113-59	8 DARTMOUTH ST
Property Address: 8 DARTMOUTH ST	BRISTOL, RI 02809
Parcel Number: 113-63	Mailing Address: SOARES, TIAGO M & VANESSA P TE
CAMA Number: 113-63	4 DARTMOUTH ST
Property Address: 4 DARTMOUTH ST	BRISTOL, RI 02809
Parcel Number: 113-67	Mailing Address: EGAN, LINDA K.
CAMA Number: 113-67	5 DARTMOUTH ST
Property Address: 5 DARTMOUTH ST	BRISTOL, RI 02809
Parcel Number: 117-4	Mailing Address: BRISTOL HIGH SCHOOL C/O BRISTOL
CAMA Number: 117-4	HIGH SCHOOL
Property Address: NAOMI ST	235 HIGH ST
	BRISTOL, RI 02809
Parcel Number: 117-5	Mailing Address: BRISTOL HIGH SCHOOL C/O BRISTOL
CAMA Number: 117-5	HIGH SCHOOL
Property Address: 199 CHESTNUT ST	235 HIGH ST
	BRISTOL, RI 02809
Parcel Number: 118-100	Mailing Address: ANDRADE, CASSIE M & BRANDON M TE
CAMA Number: 118-100	
Property Address: 21 NAOMI ST	21 NAOMI ST
	BRISTOL, RI 02809
Parcel Number: 118-101	Mailing Address: DIETERICH, MARK K. & GRIFFITH-
CAMA Number: 118-101	DIETERICH, KAREN M.
Property Address: 23 NAOMI ST	23 NAOMI ST
	BRISTOL, RI 02809
Parcel Number: 118-102	Mailing Address: COELHO, RICHARD A. AUDREY N. TE
CAMA Number: 118-102	25 NAOMI ST
Property Address: 25 NAOMI ST	BRISTOL, RI 02809
Parcel Number: 118-7	Mailing Address: TOWN OF BRISTOL
CAMA Number: 118-7	10 COURT ST
Property Address: NAOMI ST	BRISTOL, RI 02809
Parcel Number: 118-97	Mailing Address: SEGALA, DAVID B
CAMA Number: 118-97	15 NAOMI ST
Property Address: 15 NAOMI ST	BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

12/13/2024

Page 1 of 2

ANDRADE, CASSIE M & BRAND
21 NAOMI ST
BRISTOL, RI 02809

TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

BRISTOL HIGH SCHOOL
C/O BRISTOL HIGH SCHOOL
235 HIGH ST
BRISTOL, RI 02809

COELHO, RICHARD A.
AUDREY N. TE
25 NAOMI ST
BRISTOL, RI 02809

DIETERICH, MARK K. & GRIF
23 NAOMI ST
BRISTOL, RI 02809

EGAN, LINDA K.
5 DARTMOUTH ST
BRISTOL, RI 02809

MARSHALL, DAVID M.
17 NAOMI ST
BRISTOL, RI 02809

PASQUAL, SUSAN
8 DARTMOUTH ST
BRISTOL, RI 02809

SEGALA, DAVID B
15 NAOMI ST
BRISTOL, RI 02809

SOARES, TIAGO M &
VANESSA P TE
4 DARTMOUTH ST
BRISTOL, RI 02809

SQUATRITO, PETER J.
19 NAOMI ST
BRISTOL, RI 02809



Town of Bristol, Rhode Island
Zoning Board of Review

10 Court Street
Bristol, RI 02809
401-253-7000
www.bristolri.gov

File #2025-08

PUBLIC HEARING

Notice is hereby given by the Zoning Board of Review
that a public hearing will be held on the following application:

Monday, April 7, 2025
at 7:00 P.M.
Bristol Town Hall
10 Court Street

APPLICANT: **Marissa Cabral / Wicked Awesome Pet Care and Spa, Inc.**
PROPERTY OWNER: **1282 Realty, LLC**
LOCATION: **1282 Hope Street**
PLAT: **92** LOT: **16**
ZONE: **Residential R-10**

APPLICANT IS REQUESTING A SPECIAL USE PERMIT: to continue use of a conditionally approved pet grooming service business use within a residential zoning district.

Edward M. Tanner,
Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol web site at <https://bristol-ri.municodemeetings.com/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, April 3, 2025.



Town of Bristol, Rhode Island
Department of Community Development
Zoning Board of Review

2025 FEB -7 PM 3:42

APPLICATION

File No: 2025-08
Accepted by ZEO: 2/10/25

APPLICANT:	Name: Marissa Cabral
	Address: 431 Chestnut St
	City: Bristol State: RI Zip: 02809
	Phone #: 401-332-3033 Email: marissacabral2720@gmail.com
PROPERTY OWNER:	Name: 1222 Realty
	Address: 1282 Hope St.
	City: Bristol State: RI Zip: 02809
	Phone #: 401 640 8443 Email: PFeeney9020@gmail.com

1. Location of subject property: 1282 Hope St Bristol RI 02809
 Assessor's Plat(s) #: 92 Lot(s) #: 16

2. Zoning district in which property is located: R-10, Residential / Commercial bldg

3. Zoning Approval(s) required (check all that apply):
 Dimensional Variance(s) Special Use Permit Use Variance

4. Which particular provisions of the Zoning Ordinance is applicable to this application?
 Dimensional Variance Section(s):
 Special Use Permit Section(s): 28-218 (A) & (C) & (D)
 Use Variance Section(s):

5. In a separate written statement (attach to this application), please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.

6. How long have you owned the property? March 10, 2015

7. Present use of property: Conv. store / gas station, auto repair

8. Is there a building on the property at present? Yes

9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet): 640 sq ft, 22x29 ft

10. Proposed use of property: Retail (Pet supplies & Grooming)

11. Give extent of proposed alterations: Pet grooming

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet): _____

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

Front lot line(s):	Required Setback: _____	Proposed Setback: _____
Left side lot line:	Required Setback: _____	Proposed Setback: _____
Right side lot line:	Required Setback: _____	Proposed Setback: _____
Rear lot line:	Required Setback: _____	Proposed Setback: _____
Building height:	Required: _____	Proposed: _____
Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):		
Required: _____	Proposed: _____	

13. Number of families before/after proposed alterations: n/a Before n/a After

14. Have you submitted plans for the above alterations to the Building Official? n/a
If yes, has he refused a permit? _____
If refused, on what grounds? _____

15. Are there any easements on your property? _____ (If yes, their location must be shown on site plan)

16. Which public utilities service the property? Water: Sewer:

17. Is the property located in the Bristol Historic District or is it an individually listed property? no

18. Is the property located in a flood zone? no If yes, which one?: _____

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: [Signature] Date: 2-6-25

Print Name: Marissa Cabral

Property Owner's Signature: [Signature] Date: 2/6/25

Print Name: Paul Feeney

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: _____ Phone #: _____

Address: _____

I Marissa Cabral owner of wicked
Awesome Pet Care and Spa applying for
a Continuance on special use permit
license. I have had no complaints or
issues at 1282 Hope St, Bristol RI 02809.
Nothing has changed with business
hours of operation. As well as we
continue to run our business as
appointment only. Nor are we asking
for any change.



Town of Bristol, Rhode Island
Zoning Board of Review



DECISION
Bk: 2241 Pg: 53
Instr: 2024-691

DECISION FOR SPECIAL USE PERMIT

FILE # 2024-05

RE: Application of: **Marissa Cabral / Wicked Awesome Pet Care and Spa, Inc.**
Property Owner: **1282 Realty, LLC**

For property located at **1282 Hope Street**, in Bristol, Rhode Island (Tax Assessor's Plat 92, Lot 16) in the following zoning district: **Residential R-10.**

This matter was heard before the Board at public hearings on **February 5, 2024** upon the Applicant's request for a **SPECIAL USE PERMIT** to:

Convert an existing nonconforming retail business space within a residential zoning district into a pet grooming service business use.

After due consideration of the requested Special Use Permit, (including the exhibits, testimony of the witnesses, and the entire record presented to the Board), the Board makes the following findings of fact:

1. The proposed special use to convert the existing nonconforming retail use on a portion of this property — which received a previous special use permit — to a nonconforming pet grooming service business use is permissible within a residential zoning district and is specifically authorized by Article VII, Section 28-217 and Section 28-218(8)a. of the Zoning Ordinance.
2. There are no specific standards for a pet grooming service business use within Section 28-150 of the Zoning Ordinance. However, the applicant proposes to locate a pet grooming business within the space of a former retail store area, adjacent to an existing automotive repair and service station business. The pet grooming use is a non-conforming use that is replacing a former non-conforming use. The Board heard testimony and reviewed the zoning ordinance which states that a nonconforming use is allowed to replace an existing non-conforming use if it is more in conformance than the existing Use per Section 28-218(8)a. The Board finds that the proposed pet grooming use, with clients visiting by appointment, is more in conformance with the neighborhood.
3. The granting of a Special Use Permit will not alter the general character of the surrounding area or impair the intent or purpose of the Zoning Ordinance or the Comprehensive Plan of the Town of Bristol. This property has had a history of commercial usage. Previous to this public hearing, the applicant appeared before the Planning Board's Technical Review Committee, and that committee made a motion to recommend approval of this Special Use Permit. Thus, the proposed use conforms to the criteria set forth in Section 28-409 of the zoning ordinance for granting the Special Use Permit.

Therefore the Board voted 4 to 0 to **approve** a Special Use Permit allowing the proposed pet grooming service business use within a portion of the existing building, subject to the following **special conditions**: (1) that the operating hours for the pet grooming business shall be 8:00 a.m. to 7:00 p.m. Monday through Saturday only; (2) that there will be no outdoor pet care activity, no holding area, no walking area for the animals being groomed; (3) that there will be no boarding of animals during the day or overnight; (4) that there be a maximum of four dogs at the facility at any one time; (5) that the business operate by appointment only; (6) that the pet grooming activity be limited to the designated portion of the building as depicted on the submitted plans; and (7) that this special use permit will be valid for one-year from the date in which the Special Use Permit is recorded and issued whereby the applicant must return for a review and a further special use permit with any application fee waived.

Voting to **Approve**: Asciola; Burke; Simoes; and Kern

Voting to **Deny**: None

Making a part of this Decision the application, along with required materials, plans, and exhibits filed with the Board at the meeting, and excerpts of the public hearing minutes.

Recorded as the Decision of the Town of Bristol Zoning Board of Review on

This 8th day of April, 2024.

Diane M. Williamson
Diane M. Williamson, Director of Community Development

Received for record at Bristol, RI
4/8/2024 02:15:21 PM

Owner ▶ Owner Account #: 20-3133-02
Owner 1 1282 REALTY LLC
Owner 2
Owner 3
Address 690 WARREN AVE, EAST PROVIDENCE, RI 02914-0000

Previous Owners & Sales Information
Grantor SERPA, WILLIAM G. ET UX
Date 03/10/2015
Sale Price 300,000
Leg Ref 1793-189
NAL L
Deed Type W

Assessment
Use Code 06
Bldg Value 343,800
SFYI Value 61,500
Land Value 175,400
AG Credit 0
Assessed Value 580,700
TOTAL 343,800 61,500 175,400 0 580,700

Source > Mkt Adj Cost VAL per SQ Unit/Card > 126.78 VAL per SQ Unit/Parcel > 110.74

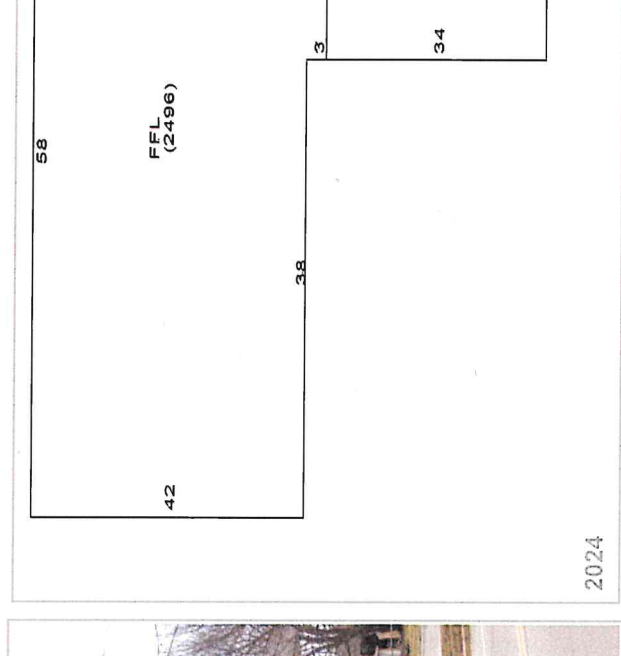
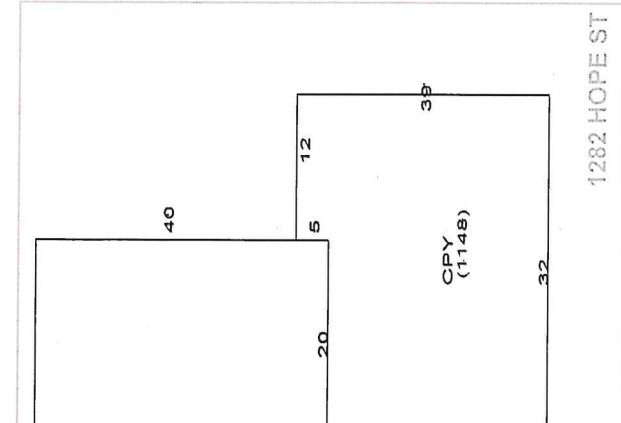
Previous Assessments

Year	LUC	Building	SFYI	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2024	06	343,800	61,500	0	175,400	0	580,700	580,700
2023	06	343,800	61,500	0	175,400	0	580,700	580,700
2022	06	343,800	61,500	0	175,400	0	580,700	580,700
2021	06	347,200	61,500	0	180,900	0	589,600	589,600
2020	06	347,200	61,500	0	180,900	0	589,600	589,600
2019	06	347,200	61,500	0	180,900	0	589,600	589,600

Assessment

Use Code	Bldg Value	SFYI Value	Land Size	Land Value	AG Credit	Assessed Value
06	343,800	61,500	0.36	175,400	0	580,700
TOTAL	343,800	61,500	0.36	175,400	0	580,700

Source > Mkt Adj Cost VAL per SQ Unit/Card > 126.78 VAL per SQ Unit/Parcel > 110.74



Land Information

Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh
1 06 Comm 2	0.22957	AC	P	1.00	615,950	616,805	C13
2 06 Comm 2	0.12626	AC	R	0.25	615,950	267,702	C13
3							
4							

Inf 1 % **Inf 2 %** **Inf 3 %** **Appr Value** **Spec Land** **Juris** **Fact** **Use Value**

1.00	1.00	1.00	141,600	1.00	1.00	0
33,800	1.00	1.00	33,800	0	0	0

Plat/Lot 092-0016-000

Account: 5273

LUC 06

Zone R-10

Assessment

\$580,700

Building Information

Table with columns: Description, GasStns, Story Height, COM Units, BMT Floor, Frame 2, EXT Wall 1, Roof Type 1, Roof Cover 1, INT Wall 1, Floors 1, BMT Garages, Plumbing, Insulation, Heat Fuel, # Heat Sys, % Solar HW, % COM Wall, Ceiling Type, % Sprinkled, EXT View, Quality.

Grade

Table with columns: Grade, Q4, Year Built, Alt LUC, Q4, EFF Year, Alt %.

Other Factors

Table with columns: Flood Hazard, Topography, Street, Traffic, Bas \$/SQ, Size Adj, Constr Adj, Adj \$/SQ, Othr Featr, Grade Fac, Neigh Infr, Land Factor, Adj Total, Depreciation, Depr Total.

Sub-Area Detail

Table with columns: Code, Description, Area, Fin. Area, Rate, Undep Val, 1st FLOOR, CPY CANOPY, Total.

Visit History

Table with columns: Date, Result, By, 10/20/2021 REVIEW, 8/3/2018 REVIEW, 7/18/2018 MEASURED, 11/23/2007 MEASURE, 11/23/2007 LISTED, 11/23/2007 MEASURE, 11/23/2007 LISTED.

Notes

W/LOT 1007. BLDG TAKES UP BOTH LOTS, BUT IS ONLY VALUED ON LOT 9216 replace lighting with energy efficient fixtures 20 fixtures 9 exterior fixtures H I D install 2 CITGO signs and wire 2013 || 3J'S VAPES

Remodeling History

Table with columns: Additions, Interior, Exterior, Kitchen, Bath(s), Plumbing, Electric, Heating, General, Complex, Location, Tot Units, FL Level, # Floors, Bldg Seq.

Condo Data

Table with columns: Total Depreciation % > 35.0, Depreciation, Depr Total.

Building Permits

Table with columns: Issue Date, Permit #, Closed Date, BP Type, BLDG, Est. Cost, % Done, Status, Description/Directions.

Special Features & Yard Items

Table with columns: Use, Description, A, Y/S, Qty, Length, Width, SF Size, Quality, Condition, Year, Assessed Value.

Room Counts by Floor

Table with columns: Units, # Rooms, # Bedrooms, Floor Level, 1 1 0 0 U, 2, 3, 4, Totals 1 0 0 0.

1282 HOPE ST
Account: 5273

LUC 06 **Zone R-10** **Assessment**
\$580,700

Owner ▶ Owner Account #: 20-3133-02
Owner 1 1282 REALTY LLC
Owner 2
Owner 3
Address 690 WARREN AVE, EAST PROVIDENCE, RI 02914-0000

% Owned
0.00
0.00

Previous Owners & Sales Information
Grantor
SERPA, WILLIAM G. ET UX
Date
03/10/2015
Sale Price
300,000
Leg Ref
1793-189
NAL
L
Deed Type
W

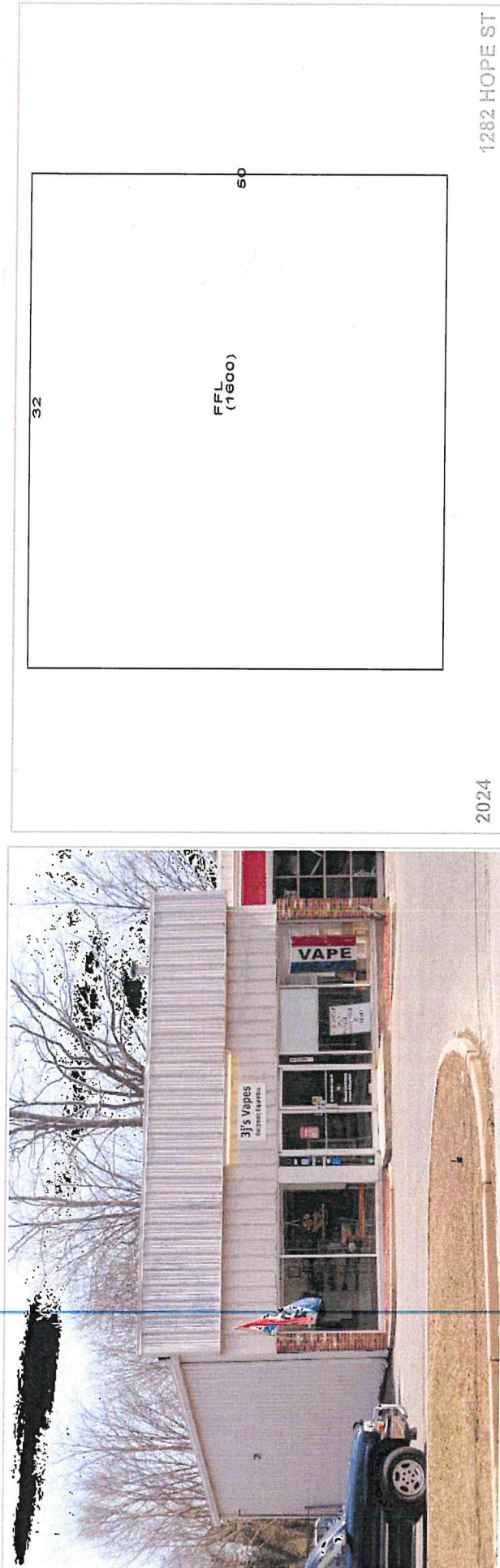
Assessment

Use Code	Bldg Value	SF/YI Value	Land Size	Land Value	AG Credit	Assessed Value
06	343,800	61,500	0.36	175,400	0	580,700
TOTAL	343,800	61,500	0.36	175,400	0	580,700

Source > Mkt Adj Cost VAL per SQ Unit/Card > 74.19 VAL per SQ Unit/Parcel > 110.74

Previous Assessments

Year	LUC	Building	SF/YI	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2024	06	343,800	61,500	0	175,400	0	580,700	580,700
2023	06	343,800	61,500	0	175,400	0	580,700	580,700
2022	06	343,800	61,500	0	175,400	0	580,700	580,700
2021	06	347,200	61,500	0	180,900	0	589,600	589,600
2020	06	347,200	61,500	0	180,900	0	589,600	589,600
2019	06	347,200	61,500	0	180,900	0	589,600	589,600



Land Information

Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh	Inf 1	Inf 1 %	Inf 2	Inf 2 %	Inf 3	Inf 3 %	Appr Value	Spec Land	Juris	Fact	Use Value	
	1																		
	2																		
	3																		
	4																		

2024

32

FFL (1600)

50

1282 HOPE ST

Plat/Lot 092-0016-000

Account: 5273

LUC 06

Zone R-10

Assessment

\$580,700

Building Information

Table with columns: Description, Retail/Stores, Story Height, COM Units, BMT Floor, Frame 1, Steel Frame, Frame 2, EXT Wall 1, Metal, EXT Wall 2, Roof Type 1, Flat, Roof Type 2, Roof Cover 1, Metal, Roof Cover 2, INT Wall 1, Drywall, INT Wall 2, Floors 1, Floors 2, BMT Garages, Color, Plumbing, Electrical, Insulation, INT vs EXT, Heat Fuel, Oil, Heat Type, Pkg A/C, # Heat Sys, % Heated, % Solar HW, % A/C, % COM Wall, % Vacuum, Ceil HGHT, 12, Ceiling Type, Parking Type, % Sprinkled, EXT View, Quantity, Quality

Visit History

Table with columns: Date, Result, By. Rows: 10/20/2021 REVIEW, 8/3/2018 REVIEW, 7/18/2018 MEASURED, 11/23/2007 MEASURE, 11/23/2007 LISTED, 11/23/2007 MEASURE, 11/23/2007 LISTED

Sub-Area Detail

Table with columns: Code, Description, Area, Fin. Area, Rate, Undep Val. Rows: FFL 1st FLOOR, Total

Other Factors

Table with columns: Code, Description, % Bas \$/SQ, Size Adj, Constr Adj, Adj \$/SQ, Othr Featrs, Grade Fac, Neigh Infl, Land Factor, Adj Total, Depreciation, Depr Total. Rows: Flood Hazard, Topography, Street, PAVED, Traffic

Grade

Table with columns: Grade, Q4, Year Built, 1985, EFF Year, Alt %, Q4. Rows: Q4, 1985, 0.00

Depreciation

Table with columns: Code, Description, % AG, AG - Avg-Goo, Functional, Economic, Special, OV, Total Depreciation % >, 31.0, Depr Total, 118,708

Notes

3J'S VAPES

Remodeling History

Table with columns: Additions, Plumbing, Electric, Heating, General, Kitchen, Bath(s), Issue Date, Permit #, Closed Date, BP Type, Est. Cost, % Done, Status, Description/Directions

Condo Data

Table with columns: Complex, Location, Tot Units, FL Level, # Floors, Bldg Seq

Building Permits

Table with columns: Issue Date, Permit #, Closed Date, BP Type, Est. Cost, % Done, Status, Description/Directions

Special Features & Yard Items

Table with columns: Use, Description, A, Y/S, Qty, Length, Width, SF Size, Quality, Condition, Year, Assessed Value

Other Info.

Table with columns: AFDU, Term/Rental, PriorID1c, PriorID2a, PriorID2b, PriorID2c, PriorID3a, PriorID3b, PriorID3c

Room Counts by Floor

Table with columns: Units, # Rooms, # Bedrooms, Floor Level. Rows: 1, 1, 0, 0, U; 2; 3; 4; Totals 1, 0, 0, 0



1282 Hope Street-300ft radius

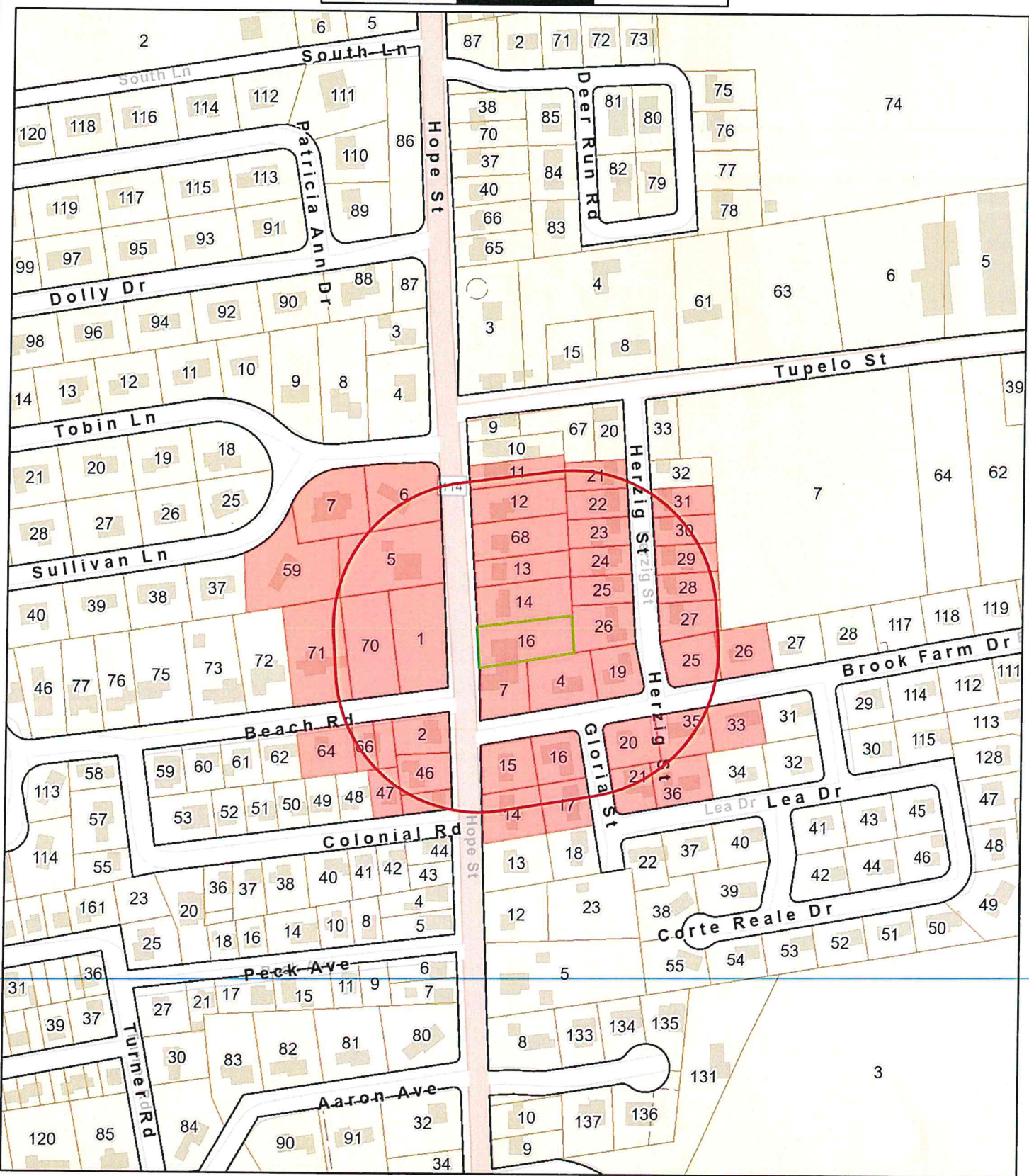
Bristol, RI



1 inch = 282 Feet

www.cai-tech.com

March 11, 2025



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Subject Property:

Parcel Number: 92-16	Mailing Address: 1282 REALTY LLC
CAMA Number: 92-16	690 WARREN AVE
Property Address: 1282 HOPE ST	EAST PROVIDENCE, RI 02914

Abutters:

Parcel Number: 100-14	Mailing Address: SQUATRITO, ROBERT J & MARGARET F TRUSTEES
CAMA Number: 100-14	1268 HOPE ST
Property Address: 1268 HOPE ST	BRISTOL, RI 02809
Parcel Number: 100-15	Mailing Address: PTASIENSKI, GABRIEL P. & ORDING, SARAH R. TE
CAMA Number: 100-15	1270 HOPE ST
Property Address: 1270 HOPE ST	BRISTOL, RI 02809
Parcel Number: 100-16	Mailing Address: CAMARA, MONICA
CAMA Number: 100-16	6 BROOKS FARM DR
Property Address: 6 BROOKS FARM DR	BRISTOL, RI 02809
Parcel Number: 100-17	Mailing Address: MCPOLAND, JOHN
CAMA Number: 100-17	7 GLORIA ST
Property Address: 7 GLORIA ST	BRISTOL, RI 02809
Parcel Number: 100-19	Mailing Address: COSTA, RICHARD
CAMA Number: 100-19	11 BROOKS FARM DRIVE
Property Address: 11 BROOKS FARM DR	BRISTOL, RI 02809
Parcel Number: 100-20	Mailing Address: DARMODY, SUSAN J.
CAMA Number: 100-20	12 GLORIA ST
Property Address: 12 GLORIA ST	BRISTOL, RI 02809
Parcel Number: 100-21	Mailing Address: MCELROY, PAMELA R & NORTON, CAITLIN M TRUSTEES-PAMELA R MCELROY TRUST
CAMA Number: 100-21	8 GLORIA ST
Property Address: 8 GLORIA ST	BRISTOL, RI 02809
Parcel Number: 100-25	Mailing Address: SILVA, ARNOLD A ELEANOR, LIFE ESTATE & DENNIS
CAMA Number: 100-25	15 BROOKS FARM DR
Property Address: 15 BROOKS FARM DR	BRISTOL, RI 02809
Parcel Number: 100-26	Mailing Address: CORDIS, EDWARD ERIC & STEPHANIE L TE
CAMA Number: 100-26	19 BROOKS FARM DR
Property Address: 19 BROOKS FARM DR	BRISTOL, RI 02809
Parcel Number: 100-33	Mailing Address: ST. ANGELO, PAUL M.
CAMA Number: 100-33	20 BROOKS FARM DR
Property Address: 20 BROOKS FARM DR	BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

3/11/2025

Page 1 of 4



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Parcel Number: 100-35 CAMA Number: 100-35 Property Address: 16 BROOKS FARM DR	Mailing Address: DA SILVA, SILVIA J. TRST MANUEL L. & SILVIA J. DASILVIA L 16 BROOKS FARM DR BRISTOL, RI 02809
Parcel Number: 100-36 CAMA Number: 100-36 Property Address: 5 LEA DR	Mailing Address: CURRY, WILLIAM M. ET UX ELIZABETH M. CURRY TE 5 LEA DRIVE BRISTOL, RI 02809
Parcel Number: 100-4 CAMA Number: 100-4 Property Address: 7 BROOKS FARM DR	Mailing Address: HAYES, KIMBERLY A. & HAYES, MELISSA A. TC 7 BROOK FARM DR BRISTOL, RI 02809
Parcel Number: 100-7 CAMA Number: 100-7 Property Address: HOPE ST	Mailing Address: 1282 REALTY, LLC 690 WARREN AVE EAST PROVIDENCE, RI 02914
Parcel Number: 55-5 CAMA Number: 55-5 Property Address: 1293 HOPE ST	Mailing Address: SHARP, HENRY S. ELLEN J. TE 1293 HOPE ST BRISTOL, RI 02809
Parcel Number: 55-59 CAMA Number: 55-59 Property Address: 6 SULLIVAN LN	Mailing Address: SULLIVAN, MARGARET M, TRUSTEE 6 SULLIVAN LANE BRISTOL, RI 02809
Parcel Number: 55-6 CAMA Number: 55-6 Property Address: 2 SULLIVAN LN	Mailing Address: BERARDO, MICHAEL S 2 SULLIVAN LN BRISTOL, RI 02809
Parcel Number: 55-7 CAMA Number: 55-7 Property Address: 4 SULLIVAN LN	Mailing Address: HANOIAN, MARY E. TRUSTEE MARY E. HANOIAN LIVING TRUST 4 SULLIVAN LN BRISTOL, RI 02809
Parcel Number: 61-1 CAMA Number: 61-1 Property Address: 1287 HOPE ST	Mailing Address: EMANUEL, MARY KAREN & MUELLER, CHARLES TOBIAS TE 1287 HOPE STREET BRISTOL, RI 02809
Parcel Number: 61-2 CAMA Number: 61-2 Property Address: 1281 HOPE ST	Mailing Address: PUMA, DANIEL R JR & TERESA C TE 1281 HOPE ST BRISTOL, RI 02809
Parcel Number: 61-45 CAMA Number: 61-45 Property Address: 1271 HOPE ST	Mailing Address: HAAS, GERALD W & DIAS, STEFANIE R TE 1271 HOPE ST BRISTOL, RI 02809
Parcel Number: 61-46 CAMA Number: 61-46 Property Address: 1277 HOPE ST	Mailing Address: BRUNELLI, ALBERT V JR ET UX 1277 HOPE STREET BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

3/11/2025

Page 2 of 4



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Parcel Number: 61-47 CAMA Number: 61-47 Property Address: 1 COLONIAL RD	Mailing Address: FERREIRA, CHRISTOPHER & KAREN A TE 1 COLONIAL RD BRISTOL, RI 02809
Parcel Number: 61-64 CAMA Number: 61-64 Property Address: 124 BEACH RD	Mailing Address: ZEXTER, MELISSA R 124 BEACH RD BRISTOL, RI 02809
Parcel Number: 61-66 CAMA Number: 61-66 Property Address: BEACH RD	Mailing Address: CONLEY, JASON R & SILVA, CHRISTOPHER J TE 128 BEACH RD BRISTOL, RI 02809
Parcel Number: 61-67 CAMA Number: 61-67 Property Address: 128 BEACH RD	Mailing Address: CONLEY, JASON R & SILVA, CHRISTOPHER J TE 128 BEACH RD BRISTOL, RI 02809
Parcel Number: 61-71 CAMA Number: 61-71 Property Address: 125 BEACH RD	Mailing Address: EMOND, RICHARD ET UX JANET EMOND TE 125 BEACH ROAD BRISTOL, RI 02809
Parcel Number: 92-11 CAMA Number: 92-11 Property Address: 1300 HOPE ST	Mailing Address: HAYES, MATTHEW D. (50%) & REILLY, RENEE (50%) TC PO BOX 90 BRISTOL, RI 02809
Parcel Number: 92-12 CAMA Number: 92-12 Property Address: 1298 HOPE ST	Mailing Address: ENES, ALEXANDRE B 13 LEILA JEAN DRIVE BRISTOL, RI 02809
Parcel Number: 92-13 CAMA Number: 92-13 Property Address: 1292 HOPE ST	Mailing Address: BULLARD, WILLIAM A. III SARAH TE 19 BEACON PARK DR EAST PROVIDENCE, RI 02915-3615
Parcel Number: 92-14 CAMA Number: 92-14 Property Address: 1290 HOPE ST	Mailing Address: SAFFORD, EDWIN R. IV 55 TOWNSEND ST BARRINGTON, RI 02806
Parcel Number: 92-16 CAMA Number: 92-16 Property Address: 1282 HOPE ST	Mailing Address: 1282 REALTY LLC 690 WARREN AVE EAST PROVIDENCE, RI 02914
Parcel Number: 92-21 CAMA Number: 92-21 Property Address: 15 HERZIG ST	Mailing Address: COSTA, ALLIE E. 15 HERZIG ST BRISTOL, RI 02809
Parcel Number: 92-22 CAMA Number: 92-22 Property Address: 11 HERZIG ST	Mailing Address: LAMOUREUX, MARC CHRISTOPHER & DONNA JEAN TE 11 HERZIG ST BRISTOL, RI 02809



www.cai-tech.com

3/11/2025

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 3 of 4



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Parcel Number: 92-23
CAMA Number: 92-23
Property Address: 9 HERZIG ST

Mailing Address: DUARTE, RAYCHELLE
9 HERZIG ST
BRISTOL, RI 02809

Parcel Number: 92-24
CAMA Number: 92-24
Property Address: 7 HERZIG ST

Mailing Address: BAKER, ROBERT H. & STAATS, DANA M.
TE
7 HERZIG ST
BRISTOL, RI 02809

Parcel Number: 92-25
CAMA Number: 92-25
Property Address: 5 HERZIG ST

Mailing Address: FERRARA, GINA L.
5 HERZIG ST
BRISTOL, RI 02809

Parcel Number: 92-26
CAMA Number: 92-26
Property Address: 1 HERZIG ST

Mailing Address: FASANO, ALEXANDRA & NECZYPOR,
EVA TE
1 HERZIG ST
BRISTOL, RI 02809

Parcel Number: 92-27
CAMA Number: 92-27
Property Address: 2 HERZIG ST

Mailing Address: WATKINSON, GLENN W
255 STATE STREET
BRISTOL, RI 02809

Parcel Number: 92-28
CAMA Number: 92-28
Property Address: 6 HERZIG ST

Mailing Address: BRUDENELL, IAN B & LINDSAY S TE
6 HERZIG ST
BRISTOL, RI 02809

Parcel Number: 92-29
CAMA Number: 92-29
Property Address: 8 HERZIG ST

Mailing Address: MEDEIROS, RICHARD S. ET UX LISA M.
MEDEIROS TE
8 HERZIG ST.
BRISTOL, RI 02809

Parcel Number: 92-30
CAMA Number: 92-30
Property Address: 10 HERZIG ST

Mailing Address: MEDEIROS, BERNADETTE
43 ACADEMY AVE
BRISTOL, RI 02809-4102

Parcel Number: 92-31
CAMA Number: 92-31
Property Address: 12 HERZIG ST

Mailing Address: LAWRENCE, JASON A.
12 HERZIG ST
BRISTOL, RI 02809

Parcel Number: 92-68
CAMA Number: 92-68
Property Address: 1296 HOPE ST

Mailing Address: VIRGADAMO, PAUL R JR WENDY H. TE
1296 HOPE ST
BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

1282 REALTY LLC
690 WARREN AVE
EAST PROVIDENCE, RI 02914

COSTA, ALLIE E.
15 HERZIG ST
BRISTOL, RI 02809

FERRARA, GINA L.
5 HERZIG ST
BRISTOL, RI 02809

1282 REALTY, LLC
690 WARREN AVE
EAST PROVIDENCE, RI 02914

COSTA, RICHARD
11 BROOKS FARM DRIVE
BRISTOL, RI 02809

FERREIRA, CHRISTOPHER & K
1 COLONIAL RD
BRISTOL, RI 02809

BAKER, ROBERT H. &
STAATS, DANA M. TE
7 HERZIG ST
BRISTOL, RI 02809

CURRY, WILLIAM M. ET UX
ELIZABETH M. CURRY TE
5 LEA DRIVE
BRISTOL, RI 02809

HAAS, GERALD W & DIAS, ST
1271 HOPE ST
BRISTOL, RI 02809

BERARDO, MICHAEL S
2 SULLIVAN LN
BRISTOL, RI 02809

DA SILVA, SILVIA J. TRST
MANUEL L. & SILVIA J. DASILV
16 BROOKS FARM DR
BRISTOL, RI 02809

HANOIAN, MARY E. TRUSTEE
MARY E. HANOIAN LIVING TR
4 SULLIVAN LN
BRISTOL, RI 02809

BRUDENELL, IAN B &
LINDSAY S TE
6 HERZIG ST
BRISTOL, RI 02809

DARMODY, SUSAN J.
12 GLORIA ST
BRISTOL, RI 02809

HAYES, KIMBERLY A. & HAYE
7 BROOK FARM DR
BRISTOL, RI 02809

BRUNELLI, ALBERT V JR
ET UX
1277 HOPE STREET
BRISTOL, RI 02809

DUARTE, RAYCHELLE
9 HERZIG ST
BRISTOL, RI 02809

HAYES, MATTHEW D. (50%) &
REILLY, RENEE (50%) TC
PO BOX 90
BRISTOL, RI 02809

BULLARD, WILLIAM A. III
SARAH TE
19 BEACON PARK DR
EAST PROVIDENCE, RI 02915-3615

EMANUEL, MARY KAREN & MUE
1287 HOPE STREET
BRISTOL, RI 02809

LAMOUREUX, MARC CHRISTOPH
DONNA JEAN TE
11 HERZIG ST
BRISTOL, RI 02809

CAMARA, MONICA
6 BROOKS FARM DR
BRISTOL, RI 02809

EMOND, RICHARD ET UX
JANET EMOND TE
125 BEACH ROAD
BRISTOL, RI 02809

LAWRENCE, JASON A.
12 HERZIG ST
BRISTOL, RI 02809

CONLEY, JASON R &
SILVA, CHRISTOPHER J TE
128 BEACH RD
BRISTOL, RI 02809

ENES, ALEXANDRE B
13 LEILA JEAN DRIVE
BRISTOL, RI 02809

MCELROY, PAMELA R & NORTO
TRUSTEES-PAMELA R MCELROY
8 GLORIA ST
BRISTOL, RI 02809

CORDIS, EDWARD ERIC & STE
19 BROOKS FARM DR
BRISTOL, RI 02809

FASANO, ALEXANDRA &
NECZYPOR, EVA TE
1 HERZIG ST
BRISTOL, RI 02809

MCPOLAND, JOHN
7 GLORIA ST
BRISTOL, RI 02809

MEDEIROS, BERNADETTE
43 ACADEMY AVE
BRISTOL, RI 02809-4102

VIRGADAMO, PAUL R JR
WENDY H. TE
1296 HOPE ST
BRISTOL, RI 02809

MEDEIROS, RICHARD S. ET U
LISA M. MEDEIROS TE
8 HERZIG ST.
BRISTOL, RI 02809

WATKINSON, GLENN W
255 STATE STREET
BRISTOL, RI 02809

PTASIENSKI, GABRIEL P. &
ORDING, SARAH R. TE
1270 HOPE ST
BRISTOL, RI 02809

ZEXTER, MELISSA R
124 BEACH RD
BRISTOL, RI 02809

PUMA, DANIEL R JR & TERES
1281 HOPE ST
BRISTOL, RI 02809

SAFFORD, EDWIN R. IV
55 TOWNSEND ST
BARRINGTON, RI 02806

SHARP, HENRY S.
ELLEN J. TE
1293 HOPE ST
BRISTOL, RI 02809

SILVA, ARNOLD A
ELEANOR, LIFE ESTATE & DE
15 BROOKS FARM DR
BRISTOL, RI 02809

SQUATRITO, ROBERT J &
MARGARET F TRUSTEES
1268 HOPE ST
BRISTOL, RI 02809

ST. ANGELO, PAUL M.
20-BROOKS FARM DR
BRISTOL, RI 02809

SULLIVAN, MARGARET M, TRU
6 SULLIVAN LANE
BRISTOL, RI 02809



Town of Bristol, Rhode Island

TOWN OF BRISTOL
COMMUNITY DEV.

Department of Community Development
Zoning Board of Review

FEB 24 AM 8:21

APPLICATION

File No: 2025-09
Accepted by ZEO: [Signature] 2/24/25

APPLICANT:	Name: Kristin & Jeremy Couto
	Address: 6 Rego Avenue
	City: Bristol
	Phone #: 401-280-5507
	State: RI
	Zip: 02809
	Email: jeremy@behanbros.com
PROPERTY OWNER:	Name: Kristin Couto
	Address: 6 Rego Avenue
	City: Bristol
	Phone #: 401-297-7093
	State: RI
	Zip: 02809
	Email: kbelmore954@cox.net

- Location of subject property: 6 Rego Avenue, Bristol, RI
 Assessor's Plat(s) #: 47 Lot(s) #: 17
- Zoning district in which property is located: R-10
- Zoning Approval(s) required (check all that apply):
 Dimensional Variance(s) _____ Special Use Permit _____ Use Variance
- Which particular provisions of the Zoning Ordinance is applicable to this application?
 Dimensional Variance Section(s): 28.111; Table B; R-10; Min Front Yard Setback (30));
 -Special-Use-Permit-Section(s): 28.142 d, 1; 28-146 fence height
 -Use-Variance-Section(s): _____
- In a separate written statement (attach to this application), please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.
- How long have you owned the property? 9 years
- Present use of property: Primary residence
- Is there a building on the property at present? Yes; single family residence
- Dimensions of existing building (size in feet, area in square feet, height of exterior in feet):
36'x26'; 2101 livable SF, 25' Height
- Proposed use of property: Primary residence (unchanged)

11. Give extent of proposed alterations: Proposed 6' fence at easterly property line on Holly Lane and proposed shed at south east property line (6' from east property line and 6' from south property line). Attached marked-up survey. Shed/fence profile TBD but dimensionally conform to accessory structures (28-111, T-B)

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet): 12' x 16'; 192 sf; 15' height

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

Front lot line(s):	Required Setback: <u>30'</u>	Proposed Setback: <u>6'</u>
Left side lot line:	Required Setback: _____	Proposed Setback: _____
Right side lot line:	Required Setback: <u>6' (28-124-d-1)</u>	Proposed Setback: <u>6'</u>
Rear lot line:	Required Setback: _____	Proposed Setback: _____
Building height:	Required: _____	Proposed: _____
Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):		
Required: <u>4' fence height</u>	Proposed: <u>6' fence height</u>	

13. Number of families before/after proposed alterations: 1 Before 1 After

14. Have you submitted plans for the above alterations to the Building Official? No; after zoning decision
 If yes, has he refused a permit? N/A
 If refused, on what grounds? N/A

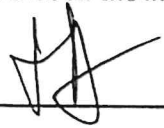
15. Are there any easements on your property? N/A (If yes, their location must be shown on site plan)

16. Which public utilities service the property? Water: Public/Rego Sewer: Public/Rego

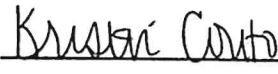
17. Is the property located in the Bristol Historic District or is it an individually listed property? No

18. Is the property located in a flood zone? No If yes, which one?: N/A

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature:  Date: 2/23/2025

Print Name: Jeremy Couto

Property Owner's Signature:  Date: 2/23/2025

Print Name: Kristin Couto

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: N/A Phone #: N/A

Address: N/A

Town of Bristol, Rhode Island Department of Community Development Zoning Board Review

Zoning Application Item 5 Written Statement (6 Rego Avenue, Bristol, RI, Plat 47, lot 17):

The proposed shed and fence at the eastern side of plat 47, lot 17 are proposed at the current back yard of the property when considering relevance to the orientation of the primary residence. The primary residence front entry/parking is directed to Rego Ave as the front lot line, not Holly Lane where the fence/shed are proposed. The property is unique given that it has two front yard lot lines and relief is being requested at the eastern front lot line to consider it as a back yard lot line both for the proposed location of shed and height of fence.

The proposed shed location at south east corner of the lot is furthest from all neighboring properties (there is no buildable lot south of lot 17).

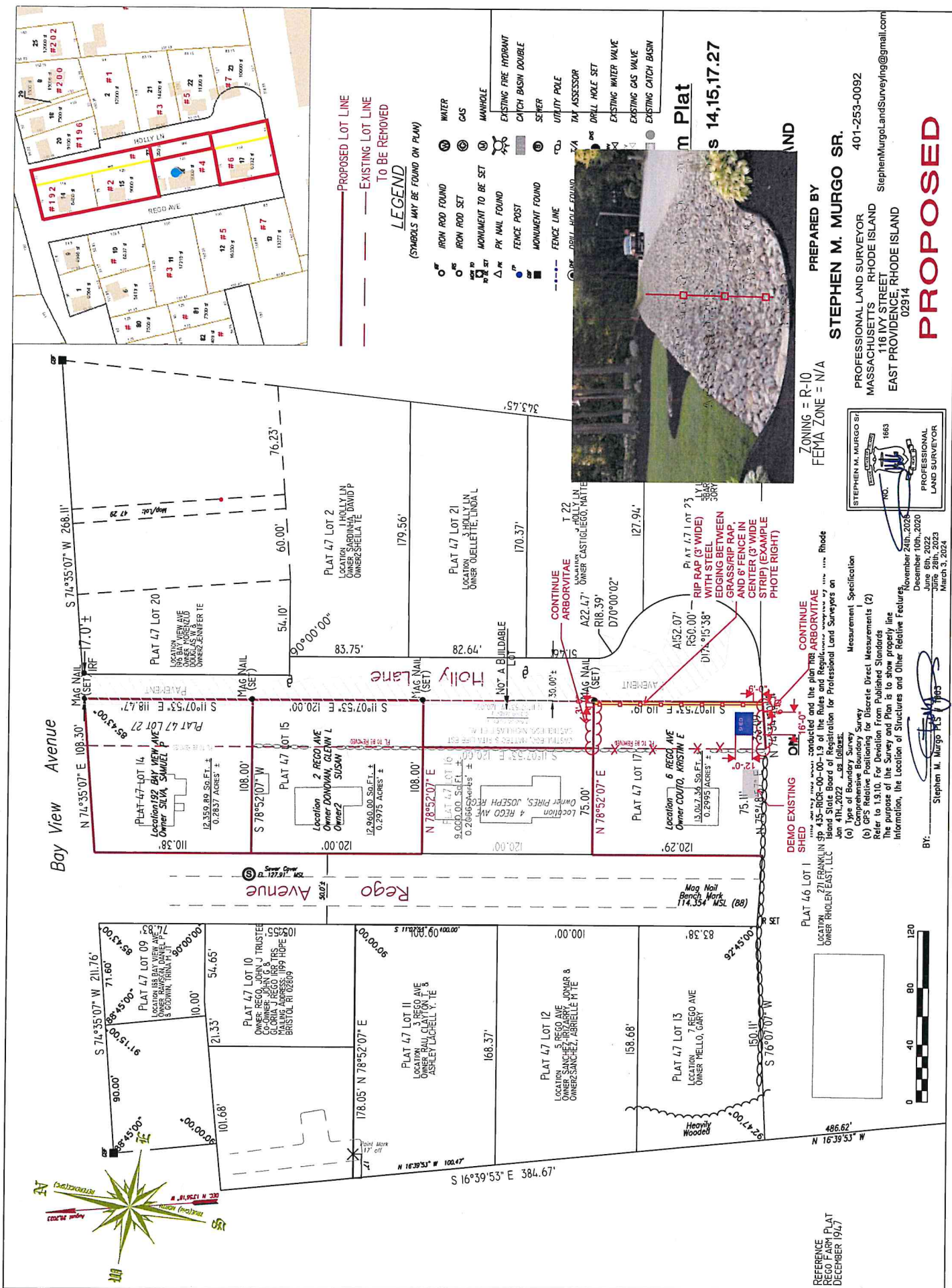
This proposal does not reflect a hardship caused by the applicant, and the applicant realizes no financial gain as proposed. The proposed area is on a dead-end street with no surrounding impacts and does no conflict with Bristol's Comprehensive Plan.

APPROXIMATE
SHED LOCATION



POSSIBLE FENCE -
SOLID WOOD OR
VINYL. EXACT
PROFILE TBD (NOT
CHAIN LINK)



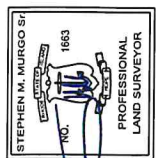


ZONING = R-10
FEMA ZONE = N/A

PREPARED BY
STEPHEN M. MURGO SR.
 401-253-0092

PROFESSIONAL LAND SURVEYOR
 MASSACHUSETTS RHODE ISLAND
 116 IVY STREET
 EAST PROVIDENCE, RHODE ISLAND
 02914

PROPOSED



Measurement Specification
 (a) Type of Boundary Survey
 (b) GPS Relative Positioning
 (c) GPS Relative Positioning
 (d) GPS Relative Positioning

BY: *[Signature]*
 Stephen M. Murgo Sr.
 Professional Land Surveyor
 No. 1663
 December 10th, 2020
 June 5th, 2022
 June 28th, 2023
 March 31, 2024

REFERENCE
 REGO FARM PLAT
 DECEMBER 1947

Owner ▶ Owner Account #: 50-0012-39

Owner	Grantor	Date	Sale Price	Leg Ref	NAL	Deed Type
Owner 1 COUTO, KRISTIN E	BELMORE KRISTIN	07/28/2020	0	2047-16		Q
Owner 2	RAPOSA, DAVID P. ET UX	01/15/2016	280,000	1831-58		W
Owner 3						

Address 6 REGO AVE, BRISTOL, RI 02809

Assessment

Use Code	Bldg Value	SFYI Value	Land Size	Land Value	AG Credit	Assessed Value	% Owned
01	222,600	800	0.19	125,700	0	349,100	
TOTAL	222,600	800	0.19	125,700	0	349,100	

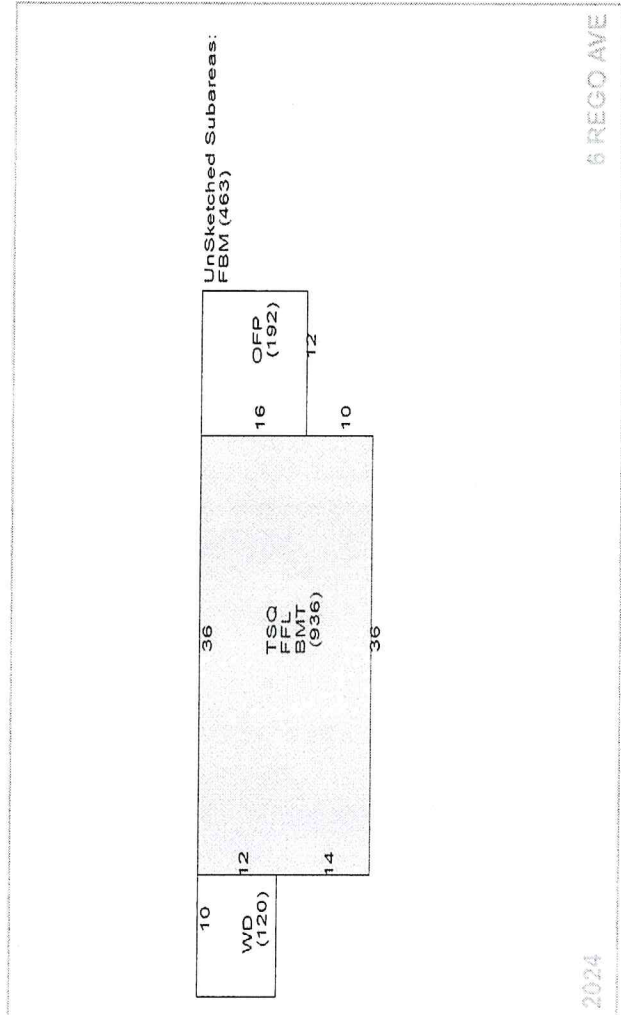
Source > Mkt Adj Cost VAL per SQ Unit/Card > 104.24 VAL per SQ Unit/Parcel > 104.24

Previous Assessments

Year	LUC	Building	SF/YI	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2024	01	222,600	800	0	125,700	0	349,100	349,100
2023	01	222,600	800	0	125,700	0	349,100	349,100
2022	01	222,600	800	0	125,700	0	349,100	349,100
2021	01	164,100	800	0	114,800	0	279,700	279,700
2020	01	164,100	800	0	114,800	0	279,700	279,700
2019	01	164,100	800	0	114,800	0	279,700	279,700

Previous Owners & Sales Information

Grantor	Date	Sale Price	Leg Ref	NAL	Deed Type
BELMORE KRISTIN	07/28/2020	0	2047-16		Q
RAPOSA, DAVID P. ET UX	01/15/2016	280,000	1831-58		W



Land Information

Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh	Inf 1	Inf 1 %	Inf 2	Inf 2 %	Inf 3	Inf 3 %	Appr Value	Spec Land	Juris	Fact	Use Value
1 01 Single Fam	0.19128	AC	P	1.00	651,000	657,152	G	Traffic	-10					125,700			1.00	0
2																		
3																		
4																		

Plat/Lot 047-0017-000

Account: 3278

LUC 01

Zone R-10

Assessment \$349,100

Building Information

Table with columns: Description, Story Height, 1/3/4 Story Finishes, BLDG Type, RES Units, Foundation, Frame 1, EXT Wall 1, Roof Type 1, Roof Cover 1, INT Wall 1, Floors 1, BMT Garages, Plumbing, Insulation, Heat Fuel, # Heat Sys, % Solar HW, % COM Wall, Ceil HIGHT, Parking Type, EXT View.

Other Factors

Table with columns: Grade, Q4, 1994 EFF Year, Q4 Alt %, Depreciation, Code, Description, AG, AG - Avg-Goo, %.

Sub-Area Detail

Table with columns: Code, Description, Area, Fin. Area, Rate, Undep Val.

Visit History

Table with columns: Date, Result, By.

Notes

DECK CONVERTED TO OPEN PORCH 12/02 EAS ECO = ABUTTS COMM MINOR INTERIOR ALTERATION - 2010

Remodeling History

Table with columns: Additions, Plumbing, Electric, Heating, General, Bath(s).

Condo Data

Table with columns: Complex, Location, Tot Units, FL Level, # Floors, Bldg Seq.

Building Permits

Table with columns: Issue Date, Permit #, Closed Date, BP Type, Est. Cost.

Special Features & Yard Items

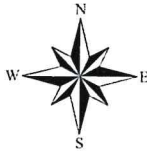
Table with columns: Use, Description, A, Y/S, Qty, Length, Width, SF Size, Quality, Condition, Year, Assessed Value.

Other Info.

Table with columns: AFDU, Rental, PriorID1c, PriorID2a, PriorID2b, PriorID2c, PriorID3a, PriorID3b, PriorID3c.

Room Counts by Floor

Table with columns: Units, # Rooms, # Bedrooms, Floor Level.



6 Rego Ave - 300' radius

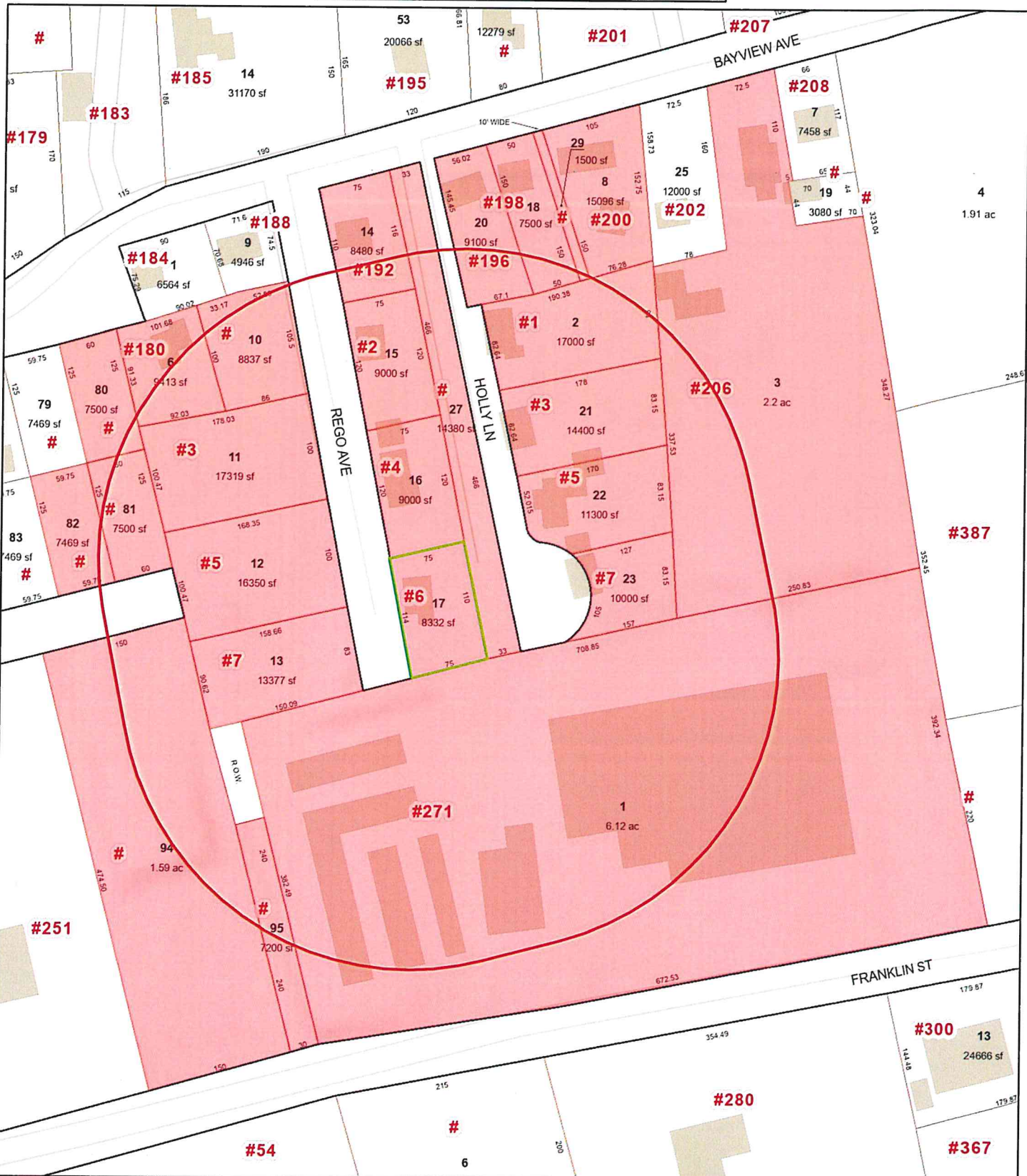
Bristol, RI

1 inch = 141 Feet



www.cai-tech.com

March 11, 2025



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Subject Property:

Parcel Number: 47-17
CAMA Number: 47-17
Property Address: 6 REGO AVE

Mailing Address: COUTO, KRISTIN ELIZABETH
6 REGO AVE
BRISTOL, RI 02809

Abutters:

Parcel Number: 37-80
CAMA Number: 37-80
Property Address: BAY VIEW AVE

Mailing Address: NARRAGANSETT ELECTRIC CO. C/O
REALISTATE TAXES
2 NORTH 9TH STREET
ALLENTOWN, PA 18101

Parcel Number: 37-81
CAMA Number: 37-81
Property Address: ROMA ST

Mailing Address: NARRAGANSETT ELECTRIC CO. C/O
REALISTATE TAXES
2 NORTH 9TH STREET
ALLENTOWN, PA 18101

Parcel Number: 37-82
CAMA Number: 37-82
Property Address: ROMA ST

Mailing Address: NARRAGANSETT ELECTRIC CO. C/O
REALISTATE TAXES
2 NORTH 9TH STREET
ALLENTOWN, PA 18101

Parcel Number: 37-94
CAMA Number: 37-94
Property Address: FRANKLIN ST

Mailing Address: NARRAGANSETT ELECTRIC CO. C/O
REALISTATE TAXES
2 NORTH 9TH STREET
ALLENTOWN, PA 18101

Parcel Number: 46-1
CAMA Number: 46-1
Property Address: 271 FRANKLIN ST

Mailing Address: RHOLEN EAST, LLC
99 POPPASQUASH RD
BRISTOL, RI 02809

Parcel Number: 47-10
CAMA Number: 47-10
Property Address: REGO AVE

Mailing Address: REGO, JOHN G. TRUSTEE
443 HOPE ST
BRISTOL, RI 02809

Parcel Number: 47-11
CAMA Number: 47-11
Property Address: 3 REGO AVE

Mailing Address: RAU, CLAYTON T. & ASHLEY LACHELL
Y. TE
3 REGO AVE
BRISTOL, RI 02809

Parcel Number: 47-12
CAMA Number: 47-12
Property Address: 5 REGO AVE

Mailing Address: KAYIRAN, ONUR & DUYGU
AKDEVELIOGLU TE
5 REGO AVE
BRISTOL, RI 02809

Parcel Number: 47-13
CAMA Number: 47-13
Property Address: 7 REGO AVE

Mailing Address: RIOS, PETER & BARBARA TE
52 WOODHAVEN BLVD
NORTH PROVIDENCE, RI 02911

Parcel Number: 47-14
CAMA Number: 47-14
Property Address: 192 BAY VIEW AVE

Mailing Address: SILVA, SAMUEL P.
192 BAY VIEW AVE
BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

3/11/2025

Page 1 of 3



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Parcel Number: 47-15 CAMA Number: 47-15 Property Address: 2 REGO AVE	Mailing Address: DONOVAN, SUSAN & GLENN TE 2 REGO AVE BRISTOL, RI 02809
Parcel Number: 47-16 CAMA Number: 47-16 Property Address: 4 REGO AVE	Mailing Address: PIRES, JOSEPH REGO & KIMBERLY M. TE 4 REGO AVENUE BRISTOL, RI 02809
Parcel Number: 47-17 CAMA Number: 47-17 Property Address: 6 REGO AVE	Mailing Address: COUTO, KRISTIN ELIZABETH 6 REGO AVE BRISTOL, RI 02809
Parcel Number: 47-18 CAMA Number: 47-18 Property Address: 198 BAY VIEW AVE	Mailing Address: MEDEIROS, STEPHEN M & MAE TE 6 JENNY LANE BRISTOL, RI 02809
Parcel Number: 47-2 CAMA Number: 47-2 Property Address: 1 HOLLY LN	Mailing Address: SARDINHA, DAVID P SHEILA TE 93B KICKEMUIT AVENUE BRISTOL, RI 02809
Parcel Number: 47-20 CAMA Number: 47-20 Property Address: 196 BAY VIEW AVE	Mailing Address: MORENZI, DOUGLAS W & JENNIFER TE 196 BAY VIEW AVE BRISTOL, RI 02809
Parcel Number: 47-21 CAMA Number: 47-21 Property Address: 3 HOLLY LN	Mailing Address: OUELLETTE, LINDA L 3 HOLLY LANE BRISTOL, RI 02809
Parcel Number: 47-22 CAMA Number: 47-22 Property Address: 5 HOLLY LN	Mailing Address: CASTIGLIEGO, MATTEO & RITA H. LE CASTIGLIEGO, NICHOLAS F. & SANCHEZ, JO ANN M. 5 HOLLY LN BRISTOL, RI 02809
Parcel Number: 47-23 CAMA Number: 47-23 Property Address: 7 HOLLY LN	Mailing Address: CONLON, BARBARA A. & JONES, GREGORY O. LE REGO, LAURYN C. & REGO, OWEN C. & BOLTREK, JOSHUA 7 HOLLY LN BRISTOL, RI 02809
Parcel Number: 47-27 CAMA Number: 47-27 Property Address: BAY VIEW AVE	Mailing Address: CASTIGLIEGO, MATTEO 6 JENNIFER DR BRISTOL, RI 02809
Parcel Number: 47-29 CAMA Number: 47-29 Property Address: BAY VIEW AVE	Mailing Address: MEDEIROS, STEPHEN M & MAE TE 6 JENNY LN BRISTOL, RI 02809
Parcel Number: 47-3 CAMA Number: 47-3 Property Address: 206 BAY VIEW AVE	Mailing Address: FAIR WIND PROPERTIES, LLC PO BOX 333 BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

3/11/2025

Page 2 of 3



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Parcel Number: 47-6
CAMA Number: 47-6
Property Address: 180 BAY VIEW AVE

Mailing Address: JGR, LLC
443 HOPE ST
BRISTOL, RI 02809

Parcel Number: 47-8
CAMA Number: 47-8
Property Address: 200 BAY VIEW AVE

Mailing Address: SWEENEY, BRENDA L.
200 BAY VIEW AVE
BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

CASTIGLIEGO, MATTEO
6 JENNIFER DR
BRISTOL, RI 02809

MORENZI, DOUGLAS W &
JENNIFER TE
196 BAY VIEW AVE
BRISTOL, RI 02809

SWEENEY, BRENDA L.
200 BAY VIEW AVE
BRISTOL, RI 02809

CASTIGLIEGO, MATTEO & RIT
CASTIGLIEGO, NICHOLAS F.
5 HOLLY LN
BRISTOL, RI 02809

NARRAGANSETT ELECTRIC CO.
C/O REALISTATE TAXES
2 NORTH 9TH STREET
ALLENTOWN, PA 18101

CONLON, BARBARA A. & JONE
REGO, LAURYN C. & REGO, O
7 HOLLY LN
BRISTOL, RI 02809

OUELLETTE, LINDA L
3 HOLLY LANE
BRISTOL, RI 02809

COUTO, KRISTIN ELIZABETH
6 REGO AVE
BRISTOL, RI 02809

PIRES, JOSEPH REGO &
KIMBERLY M. TE
4 REGO AVENUE
BRISTOL, RI 02809

DONOVAN, SUSAN & GLENN TE
2 REGO AVE
BRISTOL, RI 02809

RAU, CLAYTON T. & ASHLEY
3 REGO AVE
BRISTOL, RI 02809

FAIR WIND PROPERTIES, LLC
PO BOX 333
BRISTOL, RI 02809

REGO, JOHN G. TRUSTEE
443 HOPE ST
BRISTOL, RI 02809

JGR, LLC
443 HOPE ST
BRISTOL, RI 02809

RHOLEN EAST, LLC
99 POPPASQUASH RD
BRISTOL, RI 02809

KAYIRAN, ONUR & DUYGU AKD
5 REGO AVE
BRISTOL, RI 02809

RIOS, PETER & BARBARA TE
52 WOODHAVEN BLVD
NORTH PROVIDENCE, RI 02911

MEDEIROS, STEPHEN M &
MAE TE
6 JENNY LANE
BRISTOL, RI 02809

SARDINHA, DAVID P
SHEILA TE
93B KICKEMUIT AVENUE
BRISTOL, RI 02809

MEDEIROS, STEPHEN M &
MAE TE
6 JENNY LN
BRISTOL, RI 02809

SILVA, SAMUEL P.
192 BAY VIEW AVE
BRISTOL, RI 02809



Town of Bristol, Rhode Island
Zoning Board of Review

10 Court Street
Bristol, RI 02809
401-253-7000
www.bristolri.gov

File #2025-10

PUBLIC HEARING

Notice is hereby given by the Zoning Board of Review
that a public hearing will be held on the following application:

Monday, April 7, 2025
at 7:00 P.M.
Bristol Town Hall
10 Court Street

APPLICANT: **Geoffrey M. Vicente**
PROPERTY OWNER: **Geoffrey M. Vicente**
LOCATION: **Tilbury Drive**
PLAT: **153** LOT: **439**
ZONE: **Residential R-10**

APPLICANT IS REQUESTING A **DIMENSIONAL VARIANCE**: to construct a 28ft. x 40ft. single family dwelling with less than the required front yard.

Edward M. Tanner,
Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol web site at <https://bristol-ri.municodemeetings.com/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, April 3, 2025.



Town of Bristol, Rhode Island
Department of Community Development
Zoning Board of Review

TOWN OF BRISTOL
 COMMUNITY DEV.
 2025 MAR -5 PM 3: 14

APPLICATION

File No: **2025-10**
 Accepted by ZEO: **EMT 3/10/25**

APPLICANT:	Name: Geoffrey Vicente		
	Address: 11 Waterview Lane		
	City: Warren	State: RI	Zip: 02885
	Phone #: 508 989-2624	Email: GVicente@build4bs.com	
PROPERTY OWNER:	Name: Geoffrey Vicente		
	Address: 11 Waterview Lane		
	City: Warren	State: RI	Zip: 02885
	Phone #: 508 989-2624	Email: SAME AS ABOVE	

1. Location of subject property: 0 Tilbury Dr
 Assessor's Plat(s) #: 153 Lot(s) #: 439

2. Zoning district in which property is located: R-10

3. Zoning Approval(s) required (check all that apply):
 Dimensional Variance(s) _____ Special Use Permit _____ Use Variance

4. Which particular provisions of the Zoning Ordinance is applicable to this application?
 Dimensional Variance Section(s): Front Setback
 Special Use Permit Section(s): _____
 Use Variance Section(s): _____

5. In a separate written statement (attach to this application), please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.

6. How long have you owned the property? Approximately 3 years

7. Present use of property: NONE

8. Is there a building on the property at present? NO

9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet): _____

10. Proposed use of property: To Build A Single Family Home

11. Give extent of proposed alterations: Requesting A VARIANCE to Front set back ONLY From 21' From property LINE to 11' Due to Wetland Restrictions. All engineering plans required to SATISFY HAVE BEEN Completed AND ATTACHED to Application.

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet): 30 x 40 Single Family Home colonial style TOTAL LIVING SPACE 1st Floor 878 SFT Living space 2nd Floor 1155 SFT TOTAL 2,033

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

Front lot line(s):	Required Setback: <u>21'</u>	Proposed Setback: <u>10'</u>
Left side lot line:	Required Setback: <u>10'</u>	Proposed Setback: <u>10'</u>
Right side lot line:	Required Setback: <u>10'</u>	Proposed Setback: <u>10'</u>
Rear lot line:	Required Setback: <u>21'</u>	Proposed Setback: <u>21'</u>
Building height:	Required: <u>35'</u>	Proposed: <u>32'</u>

Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):
Required: _____ Proposed: _____

13. Number of families before/after proposed alterations: 1 Before 1 After

14. Have you submitted plans for the above alterations to the Building Official? NO
If yes, has he refused a permit? _____
If refused, on what grounds? _____

15. Are there any easements on your property? NO (If yes, their location must be shown on site plan)

16. Which public utilities service the property? Water: Sewer:

17. Is the property located in the Bristol Historic District or is it an individually listed property? NO

18. Is the property located in a flood zone? _____ If yes, which one?: _____

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: [Signature] Date: 3/5/2025

Print Name: GEOFFREY VICENTE

Property Owner's Signature: [Signature] Date: 3/5/2025

Print Name: GEOFFREY VICENTE

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: _____ Phone #: _____

Address: _____

3/5/2025

Around the beginning of 2021, I purchased ~~○~~ Tilbury Dr and shortly AFTER went through a divorce. I kept the Lot AS PART AS my marital assets portion. I decided then to sell the Lot to A Friend OF mine who is A Builder, AND ~~once~~ once he went to pull A permit, FOUND OUT there WAS AN ISSUE with wetlands that WAS NOT MADE AWARE to me when I purchased the Lot, AS A matter OF FACT, my REALTOR checked with the TOWN prior to purchasing the LAND to see if there were ANY ISSUES, AND we were told it WAS A Buildable Lot.

AFTER some research, my Friends FOUND ~~out~~ out the process to Apply For permission to disturb wetlands AND the VARIANCE process with the town WAS going to cost extra money he WASN'T expecting to pay & possibly 8-12 months in time.

I then decided in good conscious to purchase BACK the Lot & deal with the process myself & Build a Single Family Home.

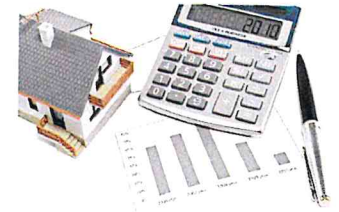
I've since completed All the engineering required For both the SET BACK VARIANCE & EROSION control with RI COASTAL.

I'm Awaiting the Approval From RI COASTAL, but so far the Feedback for Approval Has been positive. I modified the Foot print OF the house to Fit the proposed Building Box but I do NEED A VARIANCE OF THE Front only SET BACK.

REGARDS,
GEOFF VICENTE

CATALIS[®]

Bristol, RI



[Home](#)

[Search](#)

[Print](#)

[Previous](#)

[Next](#)

Disclaimer: This information is for tax assessing purposes and is not warranted

Picture Not Available

Sketch Not Available

Parcel Identification

Map/Lot 153-0439-000
 Account 8050
 State Code 13 - Res Vacant
 Card 1/1
 User Account 50-0074-69

Assessment

Land \$133,400
 Building \$0
 Card Total \$133,400
 Parcel Total \$133,400

Building Sub Areas

Land Information

Land Area 0.157 AC
 Zoning R-10
 View
 Neighborhood N

Prior Assessments

Fiscal Year	Land Value	Building Value	Outbuilding Value	Total Value
2024	\$133,400	\$0	\$0	\$133,400
2023	\$133,400	\$0	\$0	\$133,400
2022	\$133,400	\$0	\$0	\$133,400
2021	\$122,800	\$0	\$0	\$122,800
2020	\$61,400	\$0	\$0	\$61,400

Yard Item(s)

Location and Owner

Location TILBURY DR
 Owner VINCENTE, GEOFFREY
 Owner2
 Owner3
 Address 969 WATERMAN AVE
 Address2
 Address3 EAST PROVIDENCE RI 02914

Building Information

Sale Information

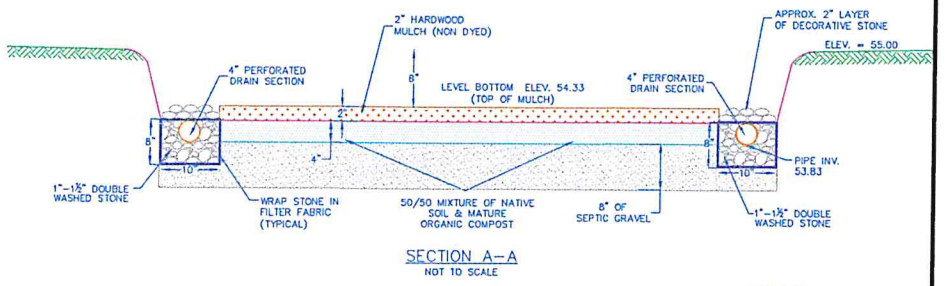
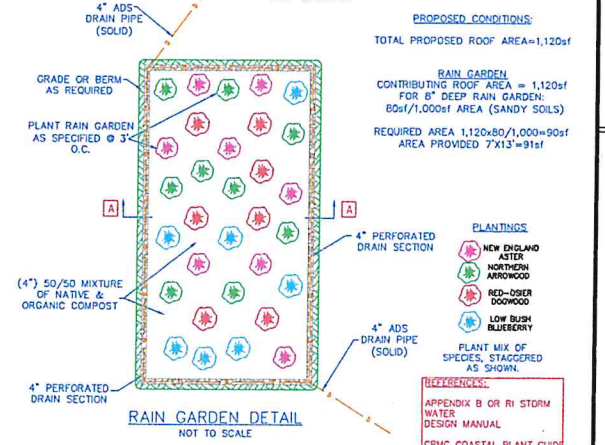
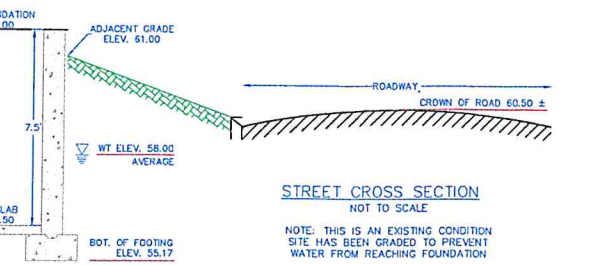
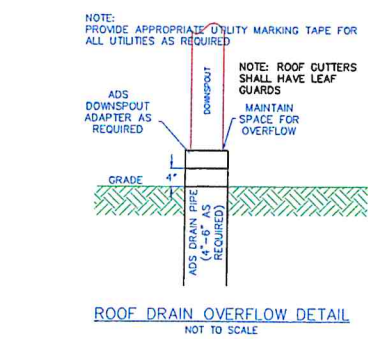
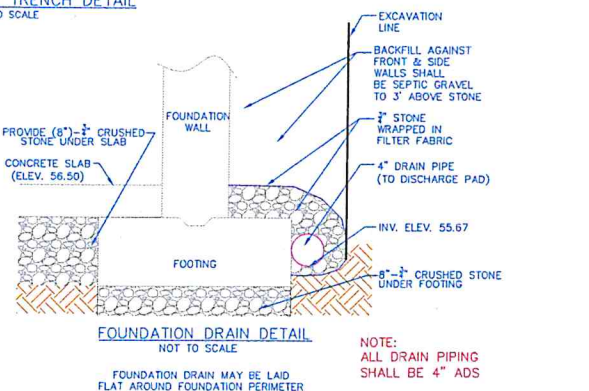
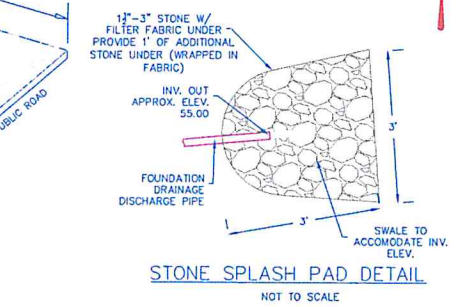
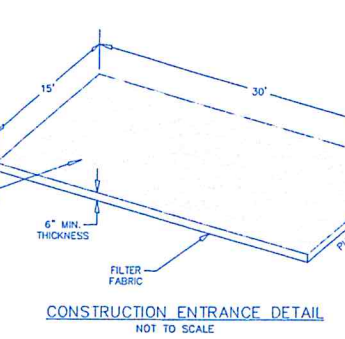
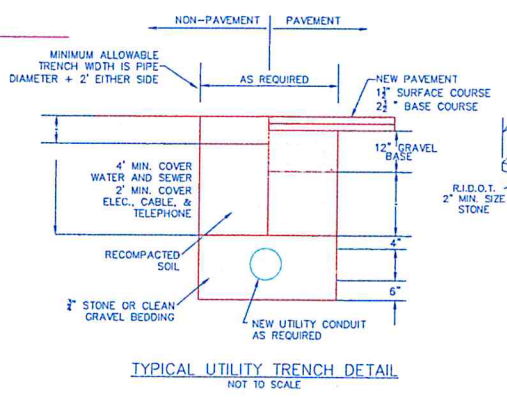
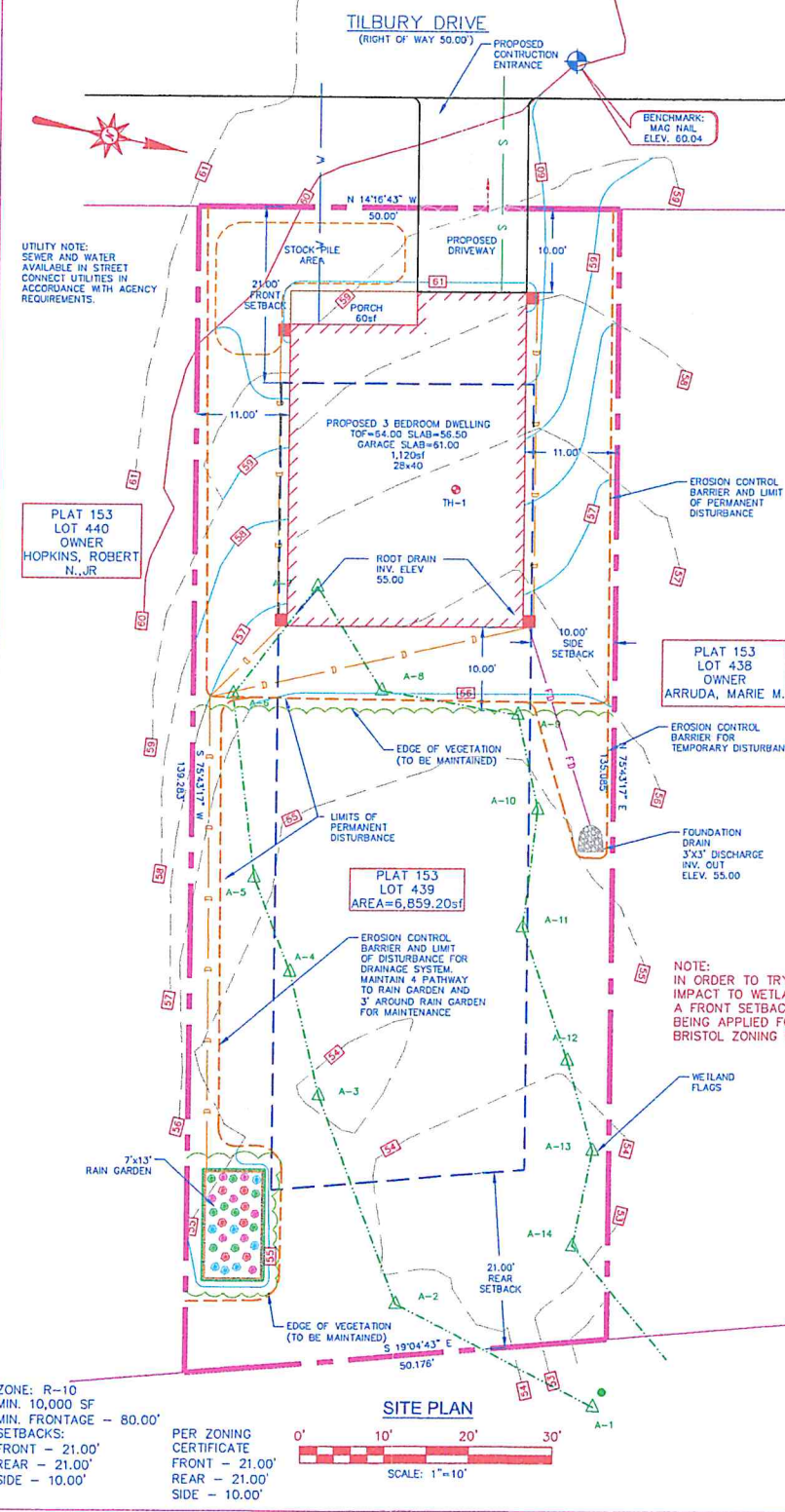
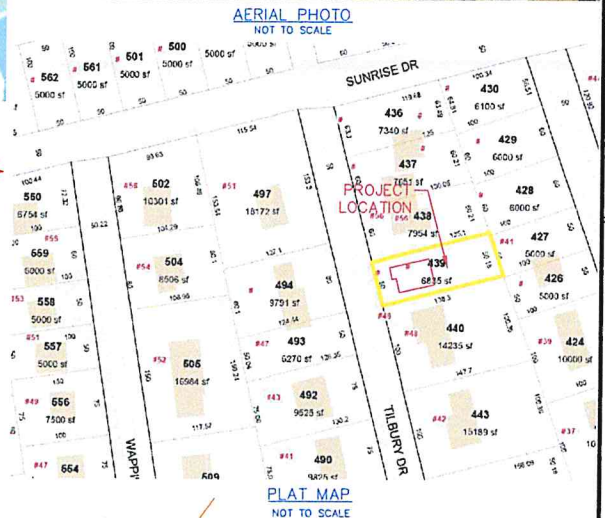
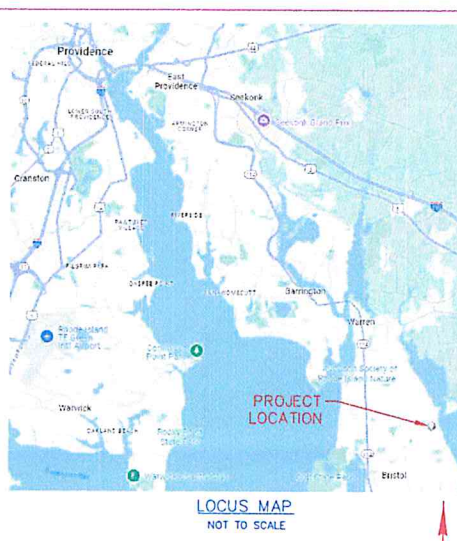
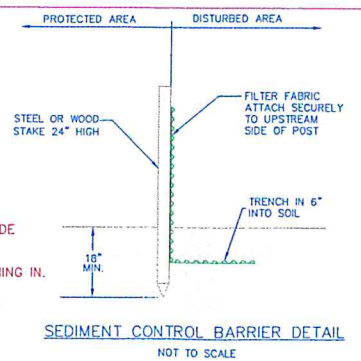
Sale Date	Sale Price	Legal Reference	Instrument
08/08/2024	\$0	2253-112	Quit Claim
04/01/2024	\$0	2240-122	Quit Claim
10/30/2023	\$150,000	2227-125	Warranty
02/18/2022	\$0	2159-194	Quit Claim
02/26/2021	\$119,000	2094-42	Warranty
12/14/2018	\$68,000	1967-147	Executor

EROSION CONTROL NOTES

1. THIS PROJECT PROPOSES TO CONSTRUCT A SINGLE FAMILY DWELLING.
2. PRIOR TO START AND AT END OF CONSTRUCTION, CONTRACTOR SHALL NOTIFY TOWN OF BRISTOL BUILDING OFFICIAL.
3. EXCAVATION WORK WILL INVOLVE APPROX. 0 CYDS OF CUT AND APPROX. 50 CYDS OF FILL.
4. IT IS EXPECTED THAT CONSTRUCTION WILL TAKE 9-12 MONTHS.
5. AT ALL TIMES DURING CONSTRUCTION EROSION CONTROL MEASURES ARE TO BE IN PLACE IN ACCORDANCE WITH THIS PLAN.
6. PRIOR TO COMPLETION OF THE PROJECT ALL DRAINAGE MITIGATION MEASURES SHALL BE IN PLACE.
7. AN EROSION CONTROL BARRIER IS TO BE IN PLACE AND PROPERLY MAINTAINED DURING ALL EXCAVATION WORK. THE EXTENT OF THE BARRIER IS SHOWN ON SITE PLAN. THE EXTENT OF DISTURBANCE WILL BE LIMITED TO THE CONFINES OF THE BARRIER.
8. INSTALLATION REQUIREMENTS FOR THE BARRIER SHALL BE IN STRICT ACCORDANCE WITH THE DETAIL. THE BARRIER SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS HAVE BEEN FINISHED GRADED AND STABILIZED WITH LOAM AND SEED. ANY AREAS THAT WILL REMAIN DISTURBED FOR A PERIOD LONGER THAN 30 DAYS SHALL BE COVERED WITH A LAYER OF STRAW MULCH.
9. A CONSTRUCTION ENTRANCE IS SHOWN ON THE PLAN. TRUCK TRAFFIC IS TO BE CONFINED TO THE DRIVEWAY AREA. THE EXISTING PAVED DRIVEWAY SHALL BE USED FOR THE CONSTRUCTION ENTRANCE.
10. IF ENTRANCE SLOPES TOWARDS ROAD, PLACE HAY BALES AT ENTRANCE AT END OF DAY.
11. THE ANTICIPATED TEMPORARY STOCKPILE AREA IS INDICATED ON THE SITE PLAN. THE CONTRACTOR MAY ADJUST THE LOCATION OF THE AREA AS MAY BE CONVENIENT FOR OPERATION PURPOSES. THE LOCATION MAY BE ANYWHERE WITHIN THE AREA PROTECTED BY THE EROSION CONTROL BARRIER. SHOULD THE CONTRACTOR DECIDE TO STOCKPILE OUTSIDE OF THE PROTECTED AREA, A SEPARATE EROSION CONTROL BARRIER MUST BE INSTALLED AND MAINTAINED ON THE DOWN GRADIENT SIDE OF THE STOCKPILE.
12. UPON COMPLETION OF SITE WORK, ALL DISTURBED AREAS SHALL BE STABILIZED WITH LOAM AND SEED. IN ADDITION, A LAYER OF STRAW MULCH SHALL BE PROVIDED.

NOTE:
USE OF SILT FENCE REQUIRES TRENCHING IN OR COVERING INSIDE FLAP WITH EARTH. UNDER NO CIRCUMSTANCES SHALL SILT FENCE BE LEFT WITHOUT TRENCHING IN.

OTHER SUITABLE EROSION BARRIER MAY BE SUBSTITUTED FOR THE ABOVE, I.E. STAKED HAYBALES OR STRAW TANGLES.



- LEGEND**
- PROPERTY LINE
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - ZONING SETBACK LINE
 - EROSION CONTROL BARRIER
 - EXISTING SEWER LINE
 - PROPOSED SEWER SERVICE
 - EXISTING WATER LINE
 - PROPOSED WATER SERVICE
 - FOUNDATION DRAIN
 - DRAIN LINE
 - DOWNSPOUT
 - IRON ROD (I.R.)
 - DRILL HOLE (D.H.)
 - PITCH TO DRAIN
 - WATER TABLE TEST HOLES
 - EXISTING UTILITY POLE
 - EQP EDGE OF PAVEMENT
 - WETLAND AREA
 - WETLAND FLAGS

SOIL TYPE:
RI RIDGEBURY
DEPTH OF HOLE TO 2'
SEEPAGE @ 6" TH-1
SOIL IS SANDY LOAM
DATE OF TEST HOLE 5/10/24

BIOLOGIST REPORTED BY:
AVIZINS
ENVIRONMENTAL SERVICES
RECEIVED 5/2/24

REFERENCE PLANS:
SURVEY PLAN BY:
STEPHEN MURGO PLS
ELECTRONIC COPY
RECEIVED 5/6/24

OWNER INFO:
VINCENT, GEOFFREY
969 WATERMAN AVE
EAST PROVIDENCE, RI 02914



NO.	DATE	DESCRIPTION	BY	APP'D
1	12/27/24	FINAL REVISIONS		

NO.	DATE	DESCRIPTION	BY	APP'D
1	9/12/24	REVISIONS		

SEI
SITE ENGINEERING INC.
CIVIL • COASTAL • STRUCTURAL
75 WOOD ST. SUITE 101
PROVIDENCE, RI 02909
PHONE: (401) 265-8281

EROSION CONTROL & DRAINAGE PLAN
PLAT 153, LOT 439
0 TILBURY DR
BRISTOL
RHODE ISLAND

SCALE: AS NOTED
(SHEET: 1 OF 2)
E&D-1

GENERAL NOTES:

FOUNDATION:

1. CONCRETE SLABS ON GRADE SHALL HAVE SHRINK CRACK CONTROL JOINTS WITH DEPTH OF AT LEAST 1/4 THE SLAB THICKNESS. THESE SHALL BE SPACED NOT MORE THAN 20 FEET IN EACH DIRECTION, RESULTING SHAPE SHALL NOT BE GREATER THAN 400 SQFT. NOR EXCEED A 1.5:1 LENGTH TO WIDTH RATIO. JOINTS SHALL BE PROVIDED WITHIN 12 HOURS OF SLAB PLACEMENT. CONTRACTION JOINTS ARE NOT REQUIRED WHERE 6x6-6/16 WELDED WIRE FABRIC OR EQUIVALENT IS PLACED AT MID-DEPTH OF THE SLAB.
2. THE COMPRESSIVE STRENGTH OF CONCRETE FOUNDATIONS AT 28 DAYS SHALL NOT BE LESS THAN 3000 LBS./SQ.IN.
3. BACKFILL FOUNDATION ONLY AFTER THE SLAB IS POURED AND WALLS ARE BRACED.
4. THE BOTTOM OF ANY POINT OF A FOUNDATION SHALL BE A MIN. OF 4'-0" BELOW FINISH GRADE.
5. THE EXTERIOR SURFACES OF MASONRY FOUNDATIONS ENCLOSING BASEMENTS SHALL BE DAMPPROOFED.
6. WALL POCKETS: ENDS OF WOOD BEAMS SUPPORTED BY CONCRETE WALLS SHALL BE PROVIDED WITH 1/2" AIR SPACE ON TOP, SIDES AND END, UNLESS APPROVED DURABLE OR TREATED WOOD IS USED.
7. FOUNDATION ANCHOR BOLTS SHALL BE A MIN. OF 5/8" DIA. THEY SHALL HAVE A MIN. EMBED OF 8" IN POURED CONCRETE. THERE SHALL BE A MIN. OF TWO ANCHORS PER SECTION OF SILL PLATE. MAXIMUM SPACING SHALL BE 48" ON CENTER AND WITHIN 12" OF BUILDING CORNERS, DOOR OPENINGS, AND WALL ENDS. NUTS AND 3"x3" PLATE WASHERS SHALL NOT BE RECESSED OR COUNTERSUNK INTO THE FIRST SILL PLATE AND SHALL BE EXPOSED FOR INSPECTION AND TIGHTNESS.
8. COORDINATE WITH ARCHITECT AND OWNER, AND VERIFY ALL DIMENSIONS, ELEVATIONS, AND SPECIFICATIONS SHOWN ON THIS PLAN PRIOR TO CONSTRUCTION.
9. ALL SOILS CONTAINING ORGANIC OR UNSUITABLE BEARING MATERIAL SHALL BE CLEARED FROM THE BUILDING FOOTPRINT.
10. ALL SOILS SUPPORTING FOOTINGS SHALL BE FOUNDED UPON COMPACTED NATURAL SUBGRADE OR COMPACTED BANK RUN GRAVEL FILL WITH PRESUMED SAFE CAPACITY OF 3000 PSF.
11. ROCK SHALL BE EXCAVATED A MIN. OF 4" BELOW BOTTOM OF FOOTING ELEVATION AND COVERED WITH A LAYER OF COMPACTED GRAVEL.
12. SOIL SHALL BE COMPACTED TO NOT LESS THAN 95% OF MAX. DRY DENSITY PER ASTM D1551 IN LIFTS NOT TO EXCEED 6" LOOSE DEPTH.
13. BACKFILL SYMMETRICALLY AGAINST ALL FOUNDATION WALLS IN INCREMENTS NOT TO EXCEED 2 FEET MAX. DIFFERENTIAL.
14. NO FOOTINGS OR SLABS SHALL BE POURED INTO OR AGAINST SUBGRADE CONTAINING FREE WATER OR ICE.
15. NO CALCIUM CHLORIDE SHALL BE USED IN ANY CONCRETE.
16. ALL REINFORCING BARS SHALL BE ASTM A-615 GRADE 60 UNLESS NOTED OTHERWISE.
17. ALL REINFORCING BARS SPLICES SHALL CONFORM TO REQUIREMENTS OF ACI 318, BUT IN NO CASE SHALL THEY BE LESS THAN 2'-0".
18. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185, Fy=60 KSI.
19. ALL WELDED WIRE FABRIC SHALL BE LAPPED TWO (2) FULL MESH PANELS AT SIDES AND ENDS AND BE SECURELY WIRED TOGETHER.
20. SEE ARCHITECTURAL DRAWINGS FOR TYPE AND LOCATION OF ALL FLOOR FINISHES, FLOOR DEPRESSIONS AND CUTOUTS.
21. COORDINATE ALL FOUNDATION PENETRATIONS WITH ARCHITECT, PLUMBER, MECHANICAL, ELECTRICAL CONTRACTORS AND LOCAL AGENCIES.

GENERAL NOTES:

GENERAL FRAMING NOTES:

1. ALL WINDOW AND DOOR HEADERS TO BE (3) 2x8 WITH 1/2" RIDGED FOAM BETWEEN EACH 2x.
2. ALL WINDOW AND DOOR OPENINGS TO HAVE (1) KING STUDS AND (1) JACK STUD ON EACH SIDE.
3. GARAGE DOOR HEADER TO BE (2) 9.5" LVL AS SPECIFIED IN FLOOR FRAMING PLAN
4. GARAGE DOOR OPENING TO HAVE (3) KING STUDS AND (2) JACK STUDS ON EACH SIDE.
5. ALL EXTERIOR WALL PLYWOOD TO BE 1/2" EXTERIOR GRADE APA RATED SHEATHING FASTENED WITH 10 RING SHANK NAILS @ 6" PANEL EDGES AND 12" OC IN THE FIELD. FLYWOOD SHEETS SHALL BE CONTINUOUS OVER ALL TOP AND BOTTOM PLATES, FURTHERMORE, ALL PLYWOOD SHEETS SHALL RUN CONTINUOUS ACROSS THE SECOND FLOOR RIM BAND JOIST.
6. ALL ROOF SHEATHING SHALL BE 1/2" APA RATED SHEATHING FASTENED WITH 8D RING SHANK NAILS @ 6" OC PANEL EDGES AND 12" OC IN THE FIELD. NAIL SPACING ON PANEL EDGES WITHIN 48" OF EAVES.
7. ALL SUB-FLOOR SHEATHING SHALL BE 3/4" T&G APA RATED PLYWOOD SUB-FLOOR FASTENED WITH 8D RING SHANK NAILS @ 6" OC AT PANEL EDGES AND 12" OC IN THE FIELD. FURTHERMORE PLYWOOD SUB-FLOOR SHALL BE ADHEARED TO ALL SUPPORTING MEMBERS WITH CONTINUOUS BEAD OF INDUSTRY STANDARD SUB-FLOOR ADHESIVE.
8. ALL FRAMING MEMBERS TO BE #2 KILN DRYED PINE OR BETTER

1. REFERENCE CODES USED INCLUDING ADOPTION DATE (IBC 2015 INTERNATIONAL BUILDING CODE WITH 2019 RI BUILDING CODES)
2. WIND DESIGN 110 MPH
3. SNOW LOAD DESIGN - 30 PSF
4. FROST DEPTH DESIGN 3'4"
5. CLIMATE ZONE - 5
6. PERFORMANCE ENERGY COMPLIANCE
7. CONSTRUCTION TYPE - 5B
8. OCCUPANCY TYPE - R3
9. BUILDING HIGHT - 34'
10. FLOOR LOAD DESIGN - 40 PSF LIVING SPACE, DECKS & BALCONIES...30 PSF ALL SLEEPING ROOMS... 20 PSF UNINHABITABLE ATTICS
11. DESCRIPTION, NEW CONSTRUCTION SINGLE FAMILT DWELLING
12. JOB LOCATION, 0 TILBURY DRIVE BRISTOL RI 02809
13. DESIGNER, CARL J REBELLO, REBELLOCONSTRUCTION
14. DESIGNERS PHONE NUMBER, 508-328-4723 EMAIL CARL@REBELLOCONSTRUCTION.COM

FLOOR PLAN NOTES:

1. INTERIOR STAIRWAY (DETAIL NOTES)
2. FIXTURE SELECTION BY OWNER
3. KITCHEN CABINETS PROVIDED BY OTHERS
4. PROVIDE COATROD & HATSHelf IN CLOSET, TYP.
5. ZERO CLEARANCE FIREPLACE AS SELECTED BY OWNER

FOUNDATION PLAN NOTES:

1. BEAM POCKET, TYP. COORDINATE SIZE WITH SPECIFIED BEAM
2. 3 1/2" DIA. STEEL COLUMN, TYP.
3. 10" DEEP CONCRETE FOOTING STRIP, COORDINATE DIMENSIONS WITH FRONT PORCH DETAIL

ELEVATION NOTES:

1. VINYL SIDING AS SELECTED BY OWNER
2. ARCH TYPE ASPHALT SHINGLES
3. PROVIDE ADEQUATE FLASHING AT ALL ROOF, WALL, CHIMNEY INTERSECTIONS
4. CONTINUOUS RIDGE VENT
5. STRUCTURAL WOOD COLUMN
6. VINYL TRIM
7. EXPOSED CONCRETE
8. GARAGE DOORS AS SELECTED BY OWNER




SECTION DRAWING NOTES:

1. WOOD GERDER PER DESIGN
2. 9.5" I JOISTS PER DESIGN SPEC
3. TRUSS ROOF PER DESIGN
4. 2" RIGID INSULATION
5. 4" MIN. COMPACT GRAVEL FILL
6. DAMPPROOFING
7. VAPOR BARRIER
8. INTERIOR FRENCH DRAIN

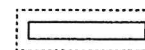



DECK NOTES:

1. 8"-12" DIA. FOOTING TUBE
2. 4"x4" PT WOOD POST, TYP.
3. GALV. STIRRUP AT BEAM CONNECTION, TYP.
4. (2) 2 x 10 PT WOOD BEAM
5. 2 x 12 PT LEDGER, PROVIDE STAND-OFFS / FLASHING
6. PT 2 x 10 JOIST @ 16" OC

FLOOR PLAN LEGEND:

-  2 x 6 EXTERIOR WALL / SIDING
-  2 x 6 WALL
-  2 x 4 WALL

FOUNDATION LEGEND:

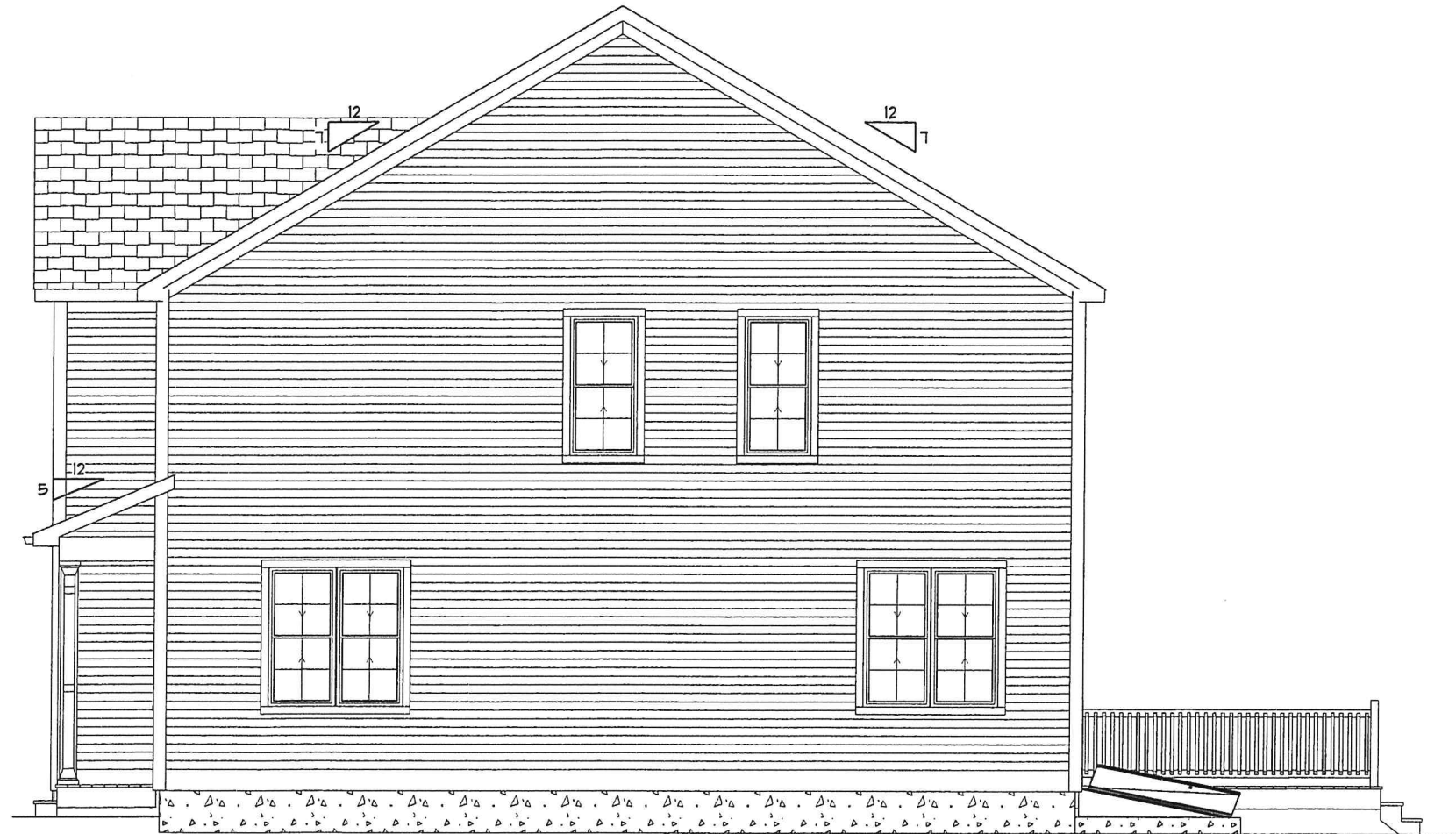
-  CONCRETE WALL & FOOTING
-  2 x 6 WALL
-  2 x 4 WALL
-  3 1/2" DIA. STEEL COLUMN



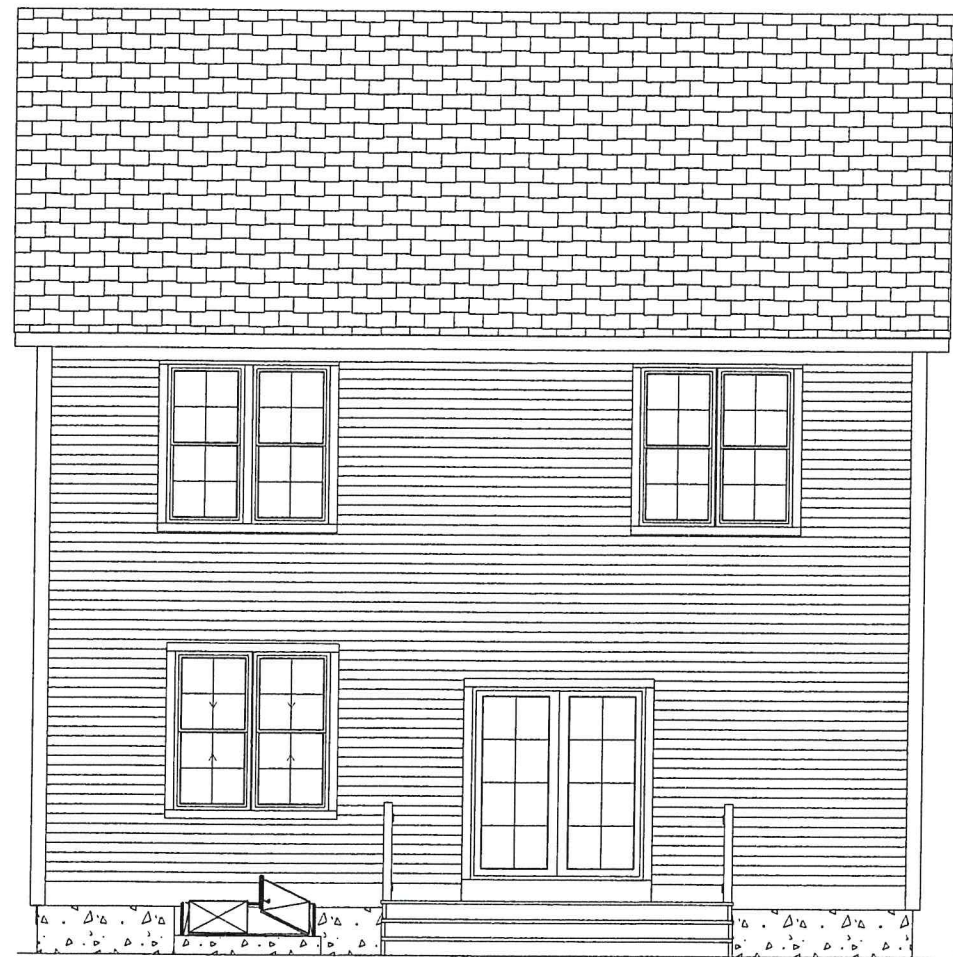
VICENTE, GEOFF
 0 TILBURY DRIVE
 BRISTOL RI, 02809



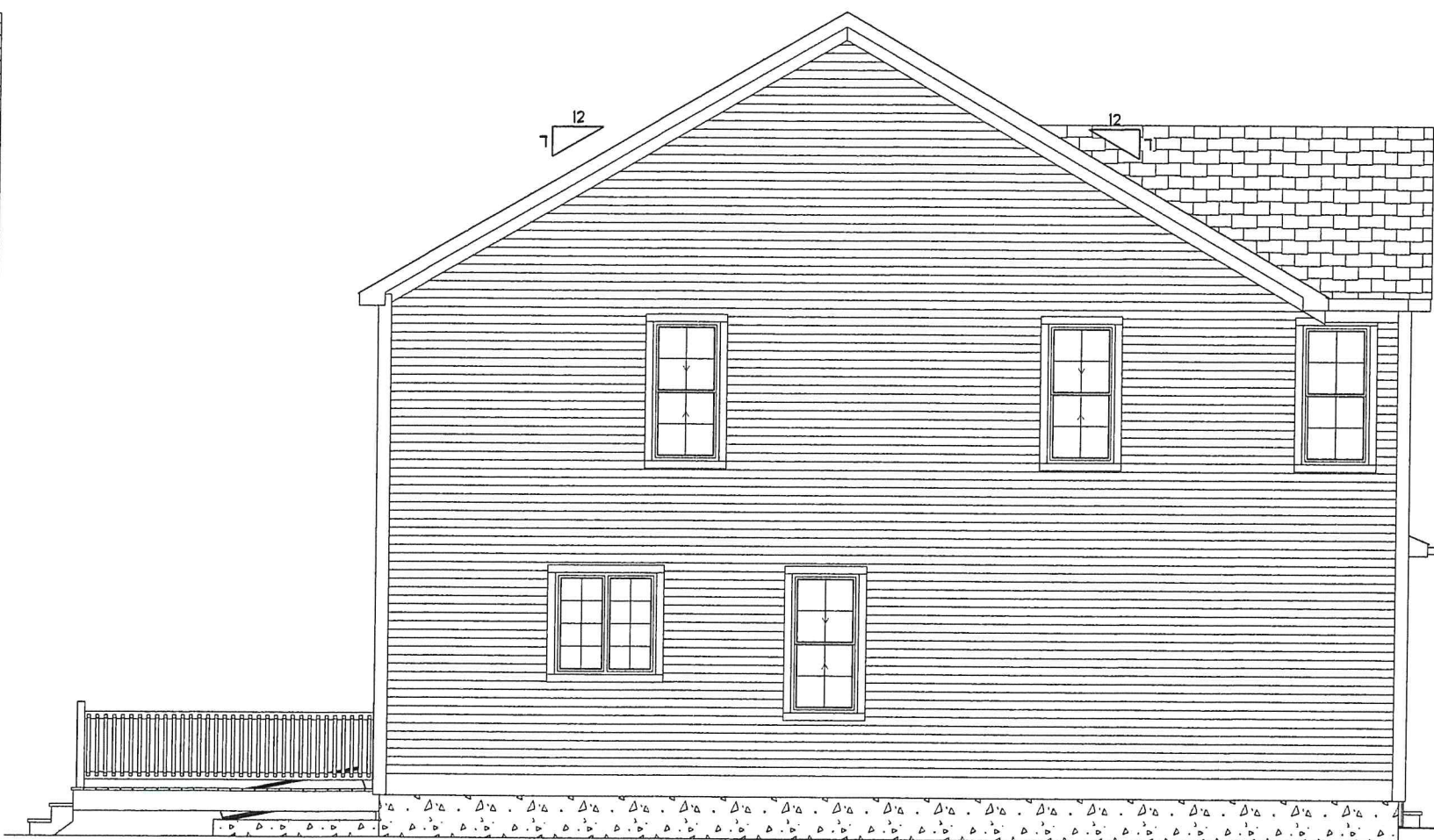
FRONT



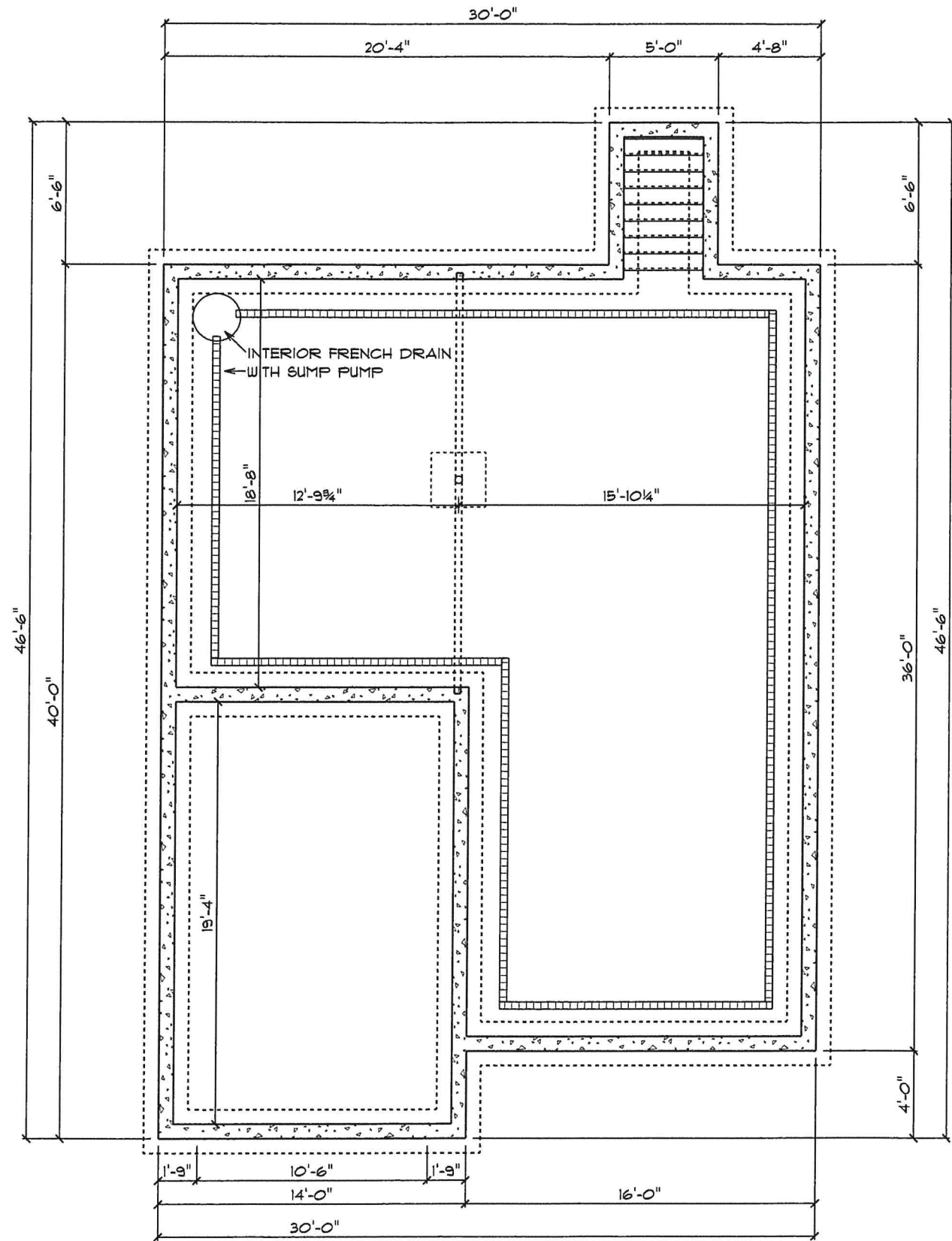
RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

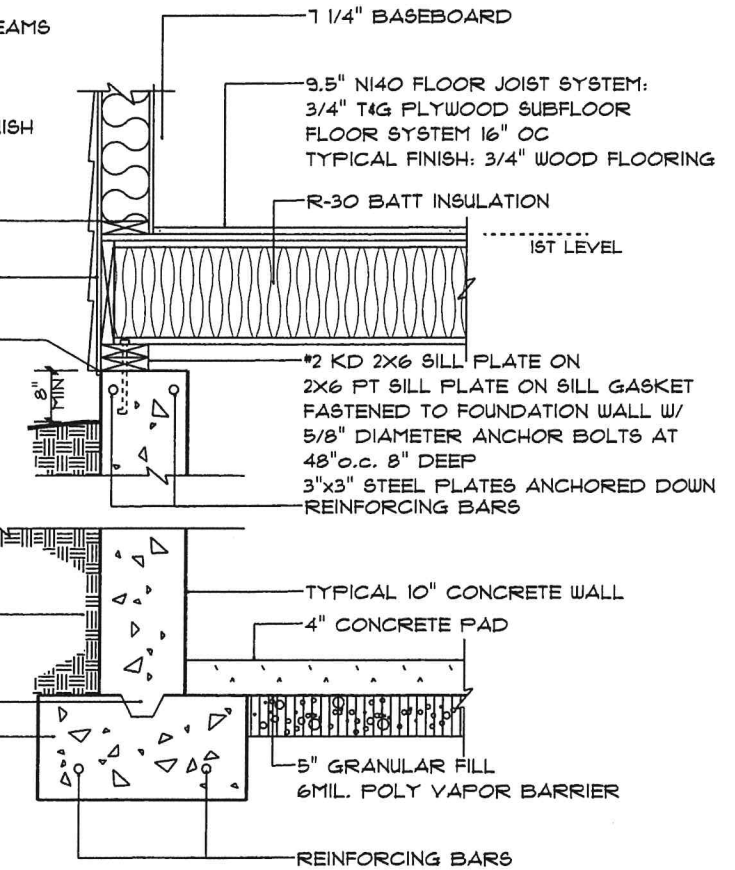


BASEMENT

2X6 SIDING EXTERIOR WALL:
 LP SMART SIDING
 1/2" VERTICAL ZIP
 PLYWOOD SHEATHING, TAPE SEAMS
 2x6 STUDS @ 16" o.c.
 R-21 DENSE PACK
 CELLULOSE INSULATION
 1/2" BLUE BOARD, PLASTER FINISH

2X6 BOTTOM PLATE
 ENGINEERED RIM BOARD
 WEATHER TIGHT CAULKING

EXTENT OF
 EXCAVATION
 BACKFILL
 KEY
 CONCRETE
 FOOTING



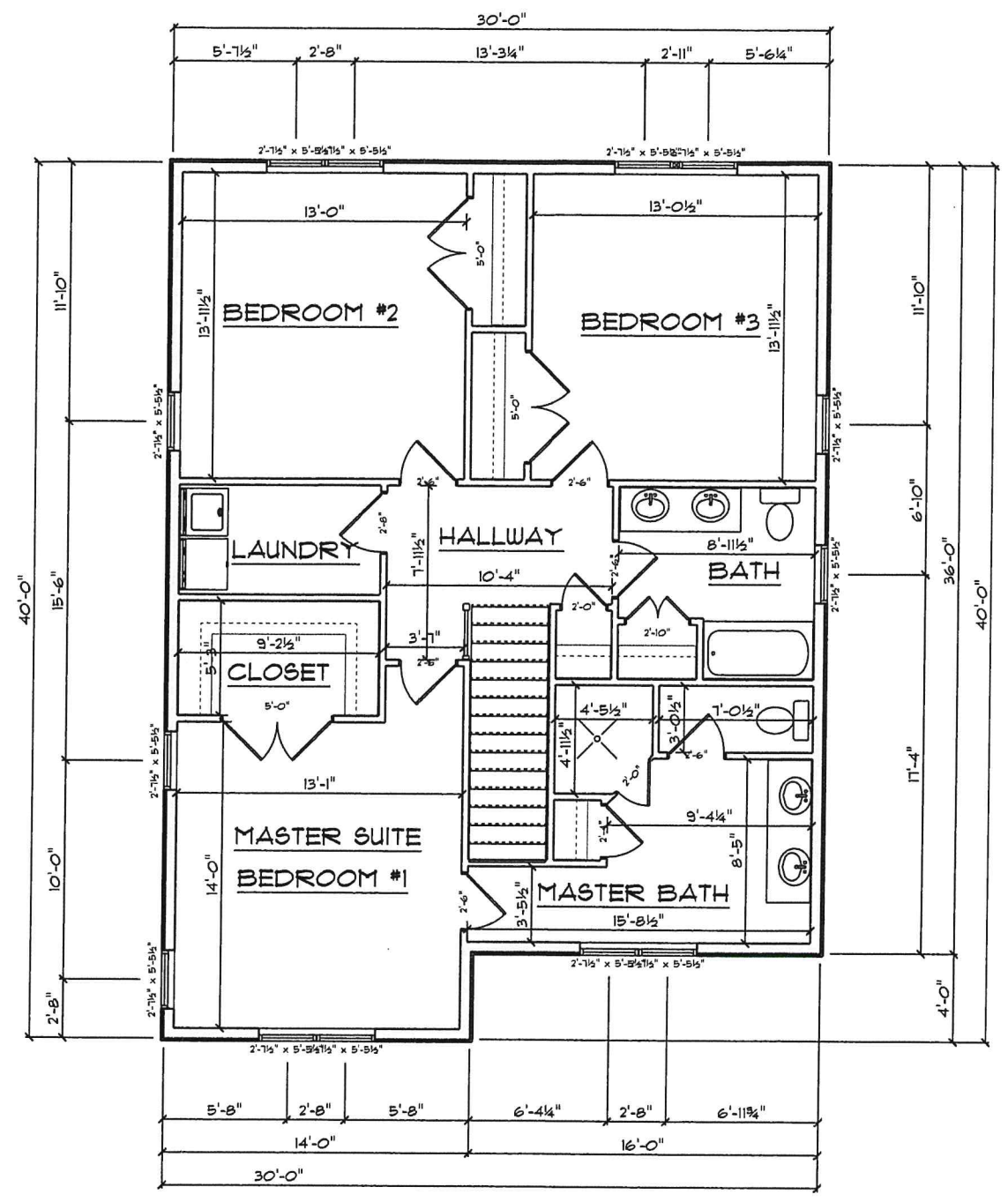
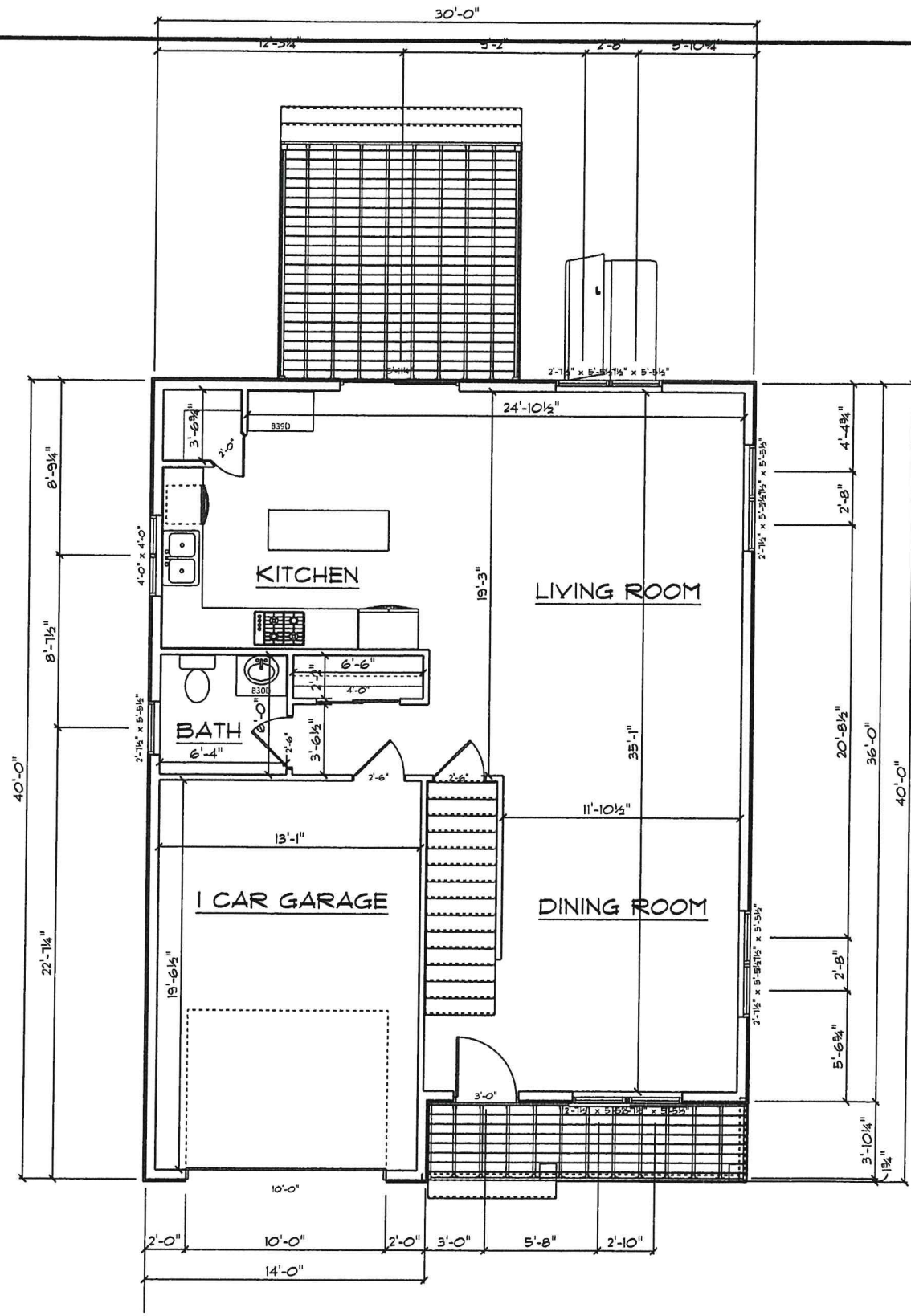
SCALE 1" = 1'-0"

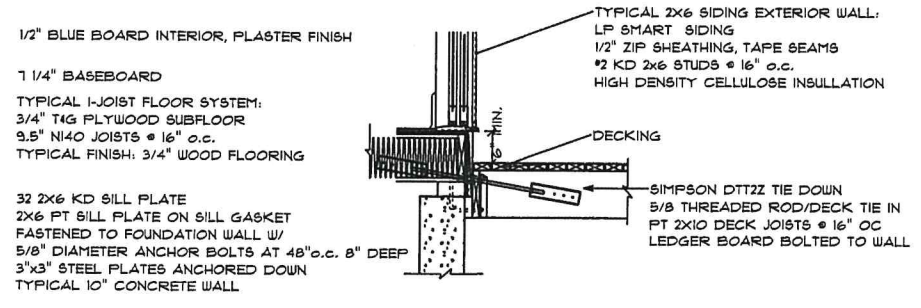
SECTION @ FOUNDATION & 1ST LEVEL



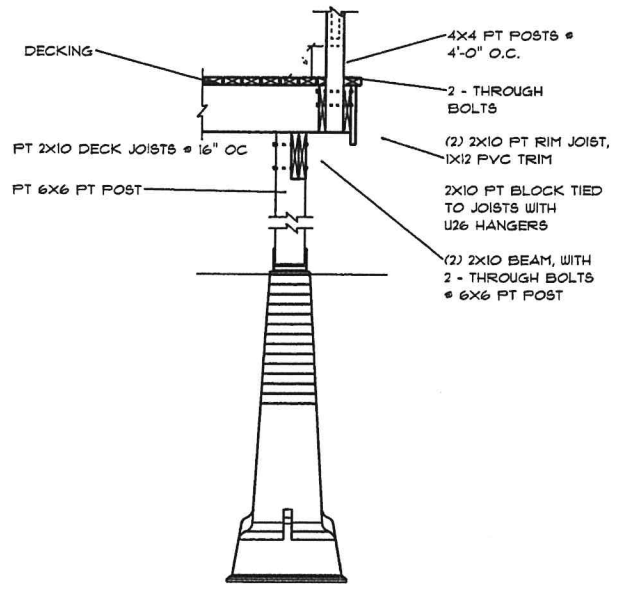
VICENTE, GEOFF
 0 TILBURY DRIVE
 BRISTOL RI, 02809

PAGE #:

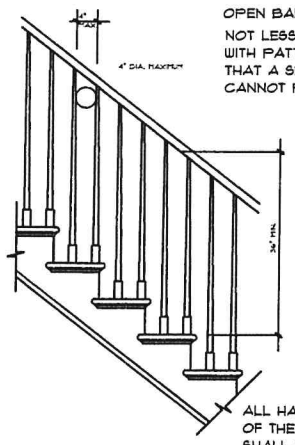




DECK & LEDGER BOARD



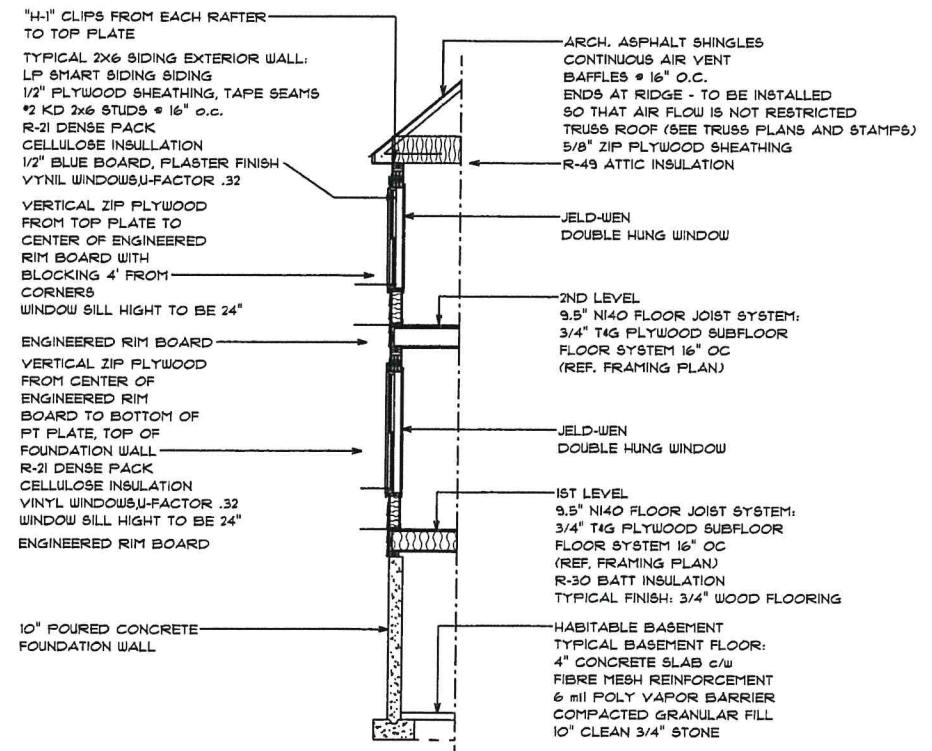
DECK SECTION DETAIL



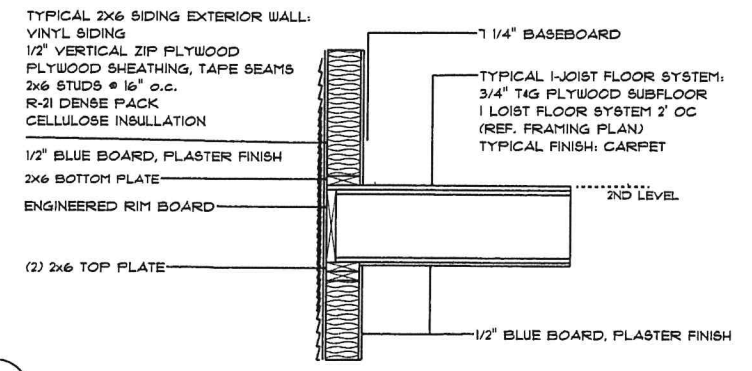
STAIR RAILING

ALL HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. HANDGRIP PORTION OF ALL HANDRAILS SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS SECTIONAL DIMENSION, OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE

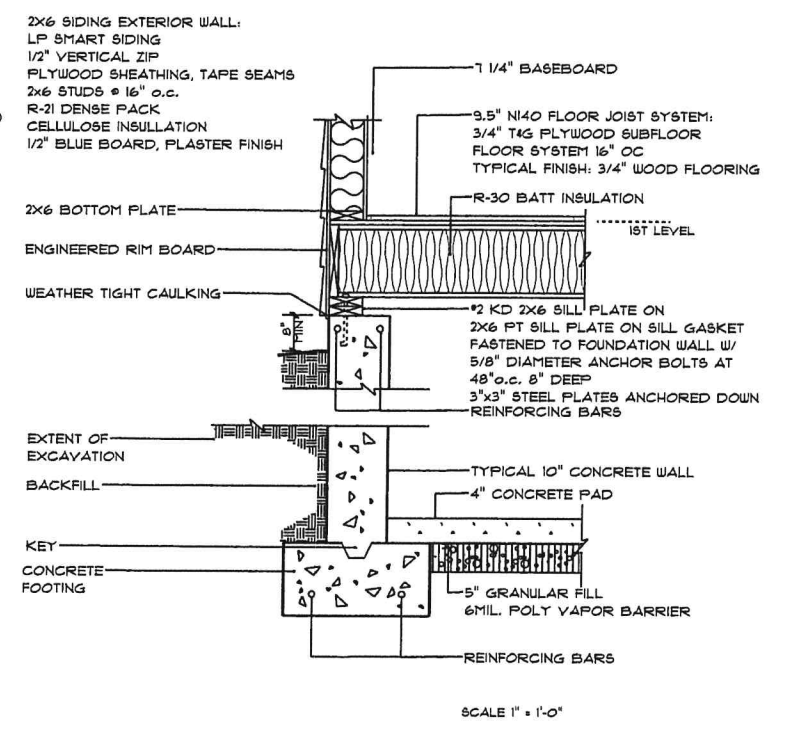
NO SCALE FALLOW NOTES



TYPICAL WALL CROSS SECTION



SECTION @ 2ND LEVEL



SECTION @ FOUNDATION & 1ST LEVEL

NOTE
ALL FRAMING MUST COMPLY WITH
WFCM MANUAL
110 MPH, EXPOSURE B

	VICENTE, GEOFF 0 TILBURY DRIVE BRISTOL RI, 02809	
	PAGE #:	



Tilbury Drive - 300' Radius

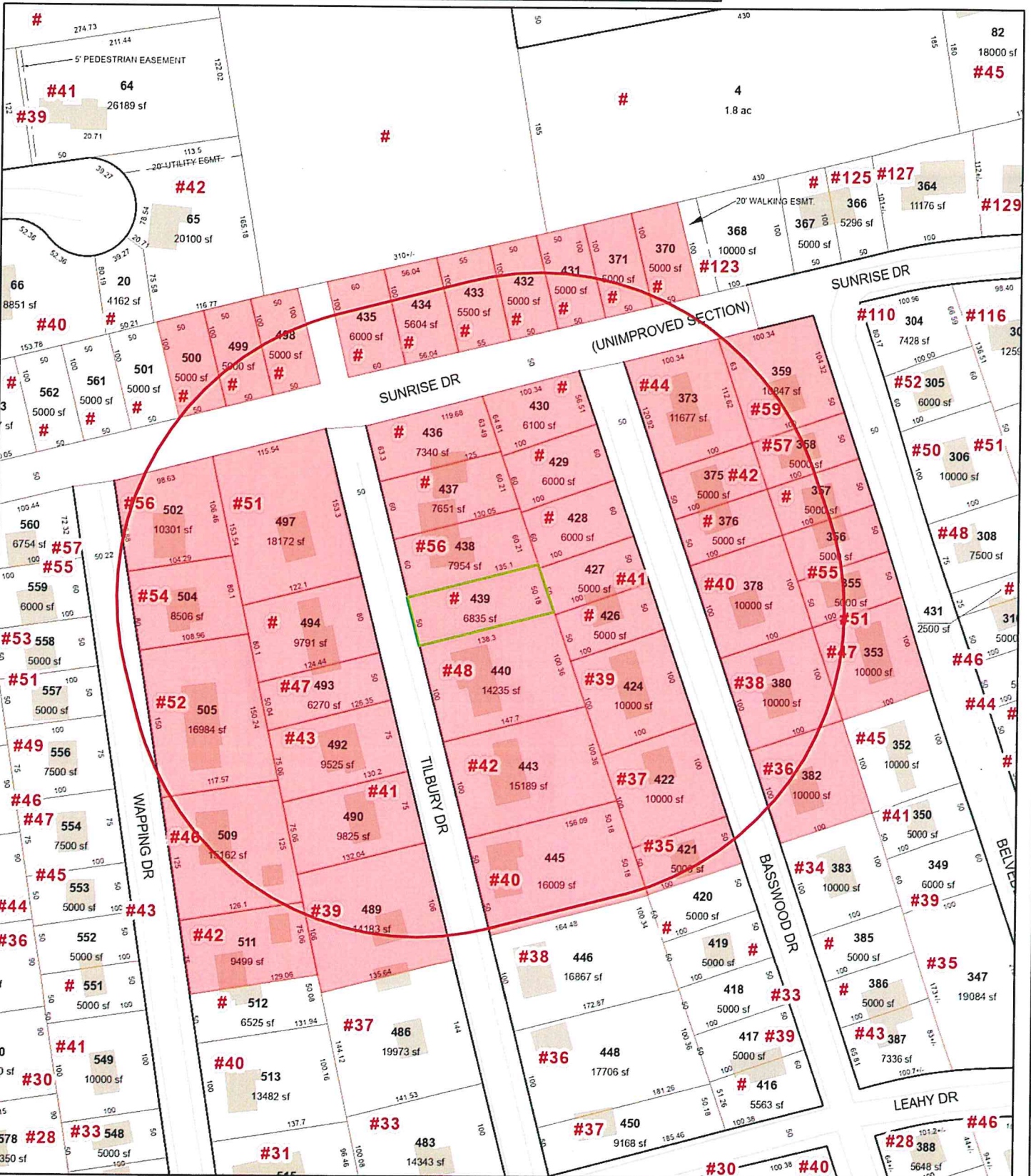
Bristol, RI

1 inch = 141 Feet



www.cai-tech.com

March 11, 2025



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Subject Property:

Parcel Number: 153-439	Mailing Address: VINCENTE, GEOFFREY
CAMA Number: 153-439	969 WATERMAN AVE
Property Address: TILBURY DR	EAST PROVIDENCE, RI 02914

Abutters:

Parcel Number: 152-353	Mailing Address: CAETANO, MANUEL A.
CAMA Number: 152-353	47 BELVEDERE DR
Property Address: 47 BELVEDERE DR	BRISTOL, RI 02809
Parcel Number: 152-355	Mailing Address: KRAKOWSKY, PATRICIA A.
CAMA Number: 152-355	151 SUNRISE DRIVE
Property Address: 51 BELVEDERE DR	BRISTOL, RI 02809
Parcel Number: 152-356	Mailing Address: SPINNER, ALBERT H. III & SUSAN Y. TE
CAMA Number: 152-356	55 BELVEDERE DRIVE
Property Address: 55 BELVEDERE DR	BRISTOL, RI 02809
Parcel Number: 152-357	Mailing Address: SPINNER, ALBERT H. III & SUSAN Y. TE
CAMA Number: 152-357	55 BELVEDERE DRIVE
Property Address: BELVEDERE DR	BRISTOL, RI 02809
Parcel Number: 152-358	Mailing Address: DALTON, JOSEPH PATRICK MAUREEN
CAMA Number: 152-358	ROSE TRS
Property Address: 57 BELVEDERE DR	BRISTOL, RI 02809
Parcel Number: 152-359	Mailing Address: GIANNINI, DAVID J. ERICA L. TE
CAMA Number: 152-359	59 BELVEDERE DR
Property Address: 59 BELVEDERE DR	BRISTOL, RI 02809
Parcel Number: 152-370	Mailing Address: TOWN OF BRISTOL
CAMA Number: 152-370	10 COURT ST
Property Address: SUNRISE DR	BRISTOL, RI 02809
Parcel Number: 152-371	Mailing Address: TOWN OF BRISTOL
CAMA Number: 152-371	10 COURT ST
Property Address: SUNRISE DR	BRISTOL, RI 02809
Parcel Number: 152-373	Mailing Address: RAMELLA, ALLAN CHRISTINA ETUX TE
CAMA Number: 152-373	44 BASSWOOD DR
Property Address: 44 BASSWOOD DR	BRISTOL, RI 02809
Parcel Number: 152-375	Mailing Address: COSTA, DIANE M.
CAMA Number: 152-375	42 BASSWOOD DR
Property Address: 42 BASSWOOD DR	BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

3/11/2025

Page 1 of 5



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Parcel Number: 152-376 CAMA Number: 152-376 Property Address: BASSWOOD DR	Mailing Address: COSTA, DIANE M. 42 BASSWOOD DR BRISTOL, RI 02809
Parcel Number: 152-378 CAMA Number: 152-378 Property Address: 40 BASSWOOD DR	Mailing Address: FERREIRA, LOUIS J 40 BASSWOOD DRIVE BRISTOL, RI 02809
Parcel Number: 152-380 CAMA Number: 152-380 Property Address: 38 BASSWOOD DR	Mailing Address: DICAMILLO, DANIEL G & SPALTHOLZ, KYLE JT 38 BASSWOOD DR BRISTOL, RI 02809
Parcel Number: 152-382 CAMA Number: 152-382 Property Address: 36 BASSWOOD DR	Mailing Address: HOLLAND, JAMES R 36 BASSWOOD DR BRISTOL, RI 02809
Parcel Number: 152-421 CAMA Number: 152-421 Property Address: 35 BASSWOOD DR	Mailing Address: REIDL, ANDREW J III MARLENE O ETUX TE 35 BASSWOOD DR BRISTOL, RI 02809
Parcel Number: 152-422 CAMA Number: 152-422 Property Address: 37 BASSWOOD DR	Mailing Address: PALAZZINI, MYKEL 37 BASSWOOD DR BRISTOL, RI 02809
Parcel Number: 152-424 CAMA Number: 152-424 Property Address: 39 BASSWOOD DR	Mailing Address: FARIA, JONATHAN P TRACEY A. TE 39 BASSWOOD DR BRISTOL, RI 02809
Parcel Number: 152-426 CAMA Number: 152-426 Property Address: BASSWOOD DR	Mailing Address: FERREIRA, JEFFREY ET UX BRENDA LEE FERREIRA TE 41 BASSWOOD DR BRISTOL, RI 02809
Parcel Number: 152-427 CAMA Number: 152-427 Property Address: 41 BASSWOOD DR	Mailing Address: FERREIRA, JEFFREY ET UX BRENDA LEE FERREIRA TE 41 BASSWOOD DR BRISTOL, RI 02809
Parcel Number: 152-428 CAMA Number: 152-428 Property Address: BASSWOOD DR	Mailing Address: TOWN OF BRISTOL 10 COURT ST BRISTOL, RI 02809
Parcel Number: 152-429 CAMA Number: 152-429 Property Address: BASSWOOD DR	Mailing Address: TOWN OF BRISTOL 10 COURT ST BRISTOL, RI 02809
Parcel Number: 152-430 CAMA Number: 152-430 Property Address: BASSWOOD DR	Mailing Address: TOWN OF BRISTOL 10 COURT ST BRISTOL, RI 02809



www.cai-tech.com

3/11/2025

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 2 of 5



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Parcel Number: 153-431 CAMA Number: 153-431 Property Address: SUNRISE DR	Mailing Address: TOWN OF BRISTOL\FEW PROP SUNRISE & TILBURY DR 10 COURT ST BRISTOL, RI 02809
Parcel Number: 153-432 CAMA Number: 153-432 Property Address: SUNRISE DR	Mailing Address: TOWN OF BRISTOL\FEW PROP SUNRISE & TILBURY DR 10 COURT ST BRISTOL, RI 02809
Parcel Number: 153-433 CAMA Number: 153-433 Property Address: SUNRISE DR	Mailing Address: TOWN OF BRISTOL\FEW PROP SUNRISE & TILBURY DR 10 COURT ST BRISTOL, RI 02809
Parcel Number: 153-434 CAMA Number: 153-434 Property Address: SUNRISE DR	Mailing Address: TOWN OF BRISTOL\FEW PROP SUNRISE & TILBURY DR 10 COURT ST BRISTOL, RI 02809
Parcel Number: 153-435 CAMA Number: 153-435 Property Address: SUNRISE DR	Mailing Address: TOWN OF BRISTOL\FEW PROP SUNRISE & TILBURY DR 10 COURT ST BRISTOL, RI 02809
Parcel Number: 153-436 CAMA Number: 153-436 Property Address: TILBURY DR	Mailing Address: ARRUDA, MARIE M & JOSE a/k/a JOSEPH TRUSTEES-ARRUDA FAMILY TRUST 56 TILBURY DR BRISTOL, RI 02809
Parcel Number: 153-437 CAMA Number: 153-437 Property Address: TILBURY DR	Mailing Address: ARRUDA, MARIE M & JOSE a/k/a JOSEPH TRUSTEES-ARRUDA FAMILY TRUST 56 TILBURY DR BRISTOL, RI 02809
Parcel Number: 153-438 CAMA Number: 153-438 Property Address: 56 TILBURY DR	Mailing Address: ARRUDA, MARIE M & JOSE a/k/a JOSEPH TRUSTEES-ARRUDA FAMILY TRUST 56 TILBURY DR BRISTOL, RI 02809
Parcel Number: 153-439 CAMA Number: 153-439 Property Address: TILBURY DR	Mailing Address: VINCENTE, GEOFFREY 969 WATERMAN AVE EAST PROVIDENCE, RI 02914
Parcel Number: 153-440 CAMA Number: 153-440 Property Address: 48 TILBURY DR	Mailing Address: HOPKINS, ROBERT N., JR. 48 TILBURY DR BRISTOL, RI 02809
Parcel Number: 153-443 CAMA Number: 153-443 Property Address: 42 TILBURY DR	Mailing Address: CORSER, JEANNE A. 42 TILBURY DR BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

3/11/2025

Page 3 of 5



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Parcel Number: 153-445 CAMA Number: 153-445 Property Address: 40 TILBURY DR	Mailing Address: CASTILLO, ANTHONY J 40 TILBURY DR BRISTOL, RI 02809
Parcel Number: 153-489 CAMA Number: 153-489 Property Address: 39 TILBURY DR	Mailing Address: ELIE, SARAH J 39 TILBURY DR BRISTOL, RI 02809
Parcel Number: 153-490 CAMA Number: 153-490 Property Address: 41 TILBURY DR	Mailing Address: DALLAIRE, LANCE 41 TILBURY DR BRISTOL, RI 02809
Parcel Number: 153-492 CAMA Number: 153-492 Property Address: 43 TILBURY DR	Mailing Address: GODBOUT, PETER JILL ETUX TE 12 EVERREADY AVE BRISTOL, RI 02809
Parcel Number: 153-493 CAMA Number: 153-493 Property Address: 47 TILBURY DR	Mailing Address: AMARAL, ROBERT C & ETHIER, AMANDA JT 47 TILBURY DR BRISTOL, RI 02809
Parcel Number: 153-494 CAMA Number: 153-494 Property Address: TILBURY DR	Mailing Address: AMARAL, ROBERT C & ETHIER, AMANDA JT 47 TILBURY DR BRISTOL, RI 02809
Parcel Number: 153-497 CAMA Number: 153-497 Property Address: 51 TILBURY DR	Mailing Address: SOUSA, ANTHONY KRISTIN M. TE 51 TILBURY RD BRISTOL, RI 02809
Parcel Number: 153-498 CAMA Number: 153-498 Property Address: TILBURY DR	Mailing Address: TOWN OF BRISTOL\FEW PROP SUNRISE & TILBURY DR 10 COURT ST BRISTOL, RI 02809
Parcel Number: 153-499 CAMA Number: 153-499 Property Address: SUNRISE DR	Mailing Address: TOWN OF BRISTOL\FEW PROP SUNRISE & TILBURY DR 10 COURT ST BRISTOL, RI 02809
Parcel Number: 153-500 CAMA Number: 153-500 Property Address: SUNRISE DR	Mailing Address: TOWN OF BRISTOL\FEW PROP SUNRISE & TILBURY DR 10 COURT ST BRISTOL, RI 02809
Parcel Number: 153-502 CAMA Number: 153-502 Property Address: 56 WAPPING DR	Mailing Address: MARINO, CAROLINE A 56 WAPPING DR BRISTOL, RI 02809
Parcel Number: 153-504 CAMA Number: 153-504 Property Address: 54 WAPPING DR	Mailing Address: MARINO, KENNETH 54 WAPPING DR. BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

3/11/2025

Page 4 of 5



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Parcel Number: 153-505
CAMA Number: 153-505
Property Address: 52 WAPPING DR

Mailing Address: MARINO, MATTHEW DANIEL & STACY
TE
52 WAPPING DR
BRISTOL, RI 02809

Parcel Number: 153-509
CAMA Number: 153-509
Property Address: 46 WAPPING DR

Mailing Address: PIMENTAL, JOSE B.
46 WAPPING DR
BRISTOL, RI 02809

Parcel Number: 153-511
CAMA Number: 153-511
Property Address: 42 WAPPING DR

Mailing Address: BOLIEIRO, ERNESTO
42 WAPPING DR
BRISTOL, RI 02809



www.cai-tech.com

3/11/2025

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 5 of 5

AMARAL, ROBERT C & ETHIER
47 TILBURY DR
BRISTOL, RI 02809

ELIE, SARAH J
39 TILBURY DR
BRISTOL, RI 02809

MARINO, KENNETH
54 WAPPING DR.
BRISTOL, RI 02809

ARRUDA, MARIE M & JOSE a/
TRUSTEES-ARRUDA FAMILY TR
56 TILBURY DR
BRISTOL, RI 02809

FARIA, JONATHAN P
TRACEY A. TE
39 BASSWOOD DR
BRISTOL, RI 02809

MARINO, MATTHEW DANIEL &
STACY TE
52 WAPPING DR
BRISTOL, RI 02809

BOLIEIRO, ERNESTO
42 WAPPING DR
BRISTOL, RI 02809

FERREIRA, JEFFREY ET UX
BRENDA LEE FERREIRA TE
41 BASSWOOD DR
BRISTOL, RI 02809

PALAZZINI, MYKEL
37 BASSWOOD DR
BRISTOL, RI 02809

CAETANO, MANUEL A.
47 BELVEDERE DR
BRISTOL, RI 02809

FERREIRA, LOUIS J
40 BASSWOOD DRIVE
BRISTOL, RI 02809

PIMENTAL, JOSE B.
46 WAPPING DR
BRISTOL, RI 02809

CASTILLO, ANTHONY J
40 TILBURY DR
BRISTOL, RI 02809

GIANNINI, DAVID J.
ERICA L. TE
59 BELVEDERE DR
BRISTOL, RI 02809

RAMELLA, ALLAN
CHRISTINA ETUX TE
44 BASSWOOD DR
BRISTOL, RI 02809

CORSER, JEANNE A.
42 TILBURY DR
BRISTOL, RI 02809

GODBOUT, PETER
JILL ETUX TE
12 EVERREADY AVE
BRISTOL, RI 02809

REIDL, ANDREW J III
MARLENE O ETUX TE
35 BASSWOOD DR
BRISTOL, RI 02809

COSTA, DIANE M.
42 BASSWOOD DR
BRISTOL, RI 02809

HOLLAND, JAMES R
36 BASSWOOD DR
BRISTOL, RI 02809

SOUSA, ANTHONY
KRISTIN M. TE
51 TILBURY RD
BRISTOL, RI 02809

DALLAIRE, LANCE
41 TILBURY DR
BRISTOL, RI 02809

HOPKINS, ROBERT N., JR.
48 TILBURY DR
BRISTOL, RI 02809

SPINNER, ALBERT H. III
& SUSAN Y. TE
55 BELVEDERE DRIVE
BRISTOL, RI 02809

DALTON, JOSEPH PATRICK
MAUREEN ROSE TRS
57 BELVEDERE DR
BRISTOL, RI 02809

KRAKOWSKY, PATRICIA A.
151 SUNRISE DRIVE
BRISTOL, RI 02809

TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

DICAMILLO, DANIEL G &
SPALTHOLZ, KYLE JT
38 BASSWOOD DR
BRISTOL, RI 02809

MARINO, CAROLINE A
56 WAPPING DR
BRISTOL, RI 02809

TOWN OF BRISTOL\FEW PROP
SUNRISE & TILBURY DR
10 COURT ST
BRISTOL, RI 02809

VINCENTE, GEOFFREY
969 WATERMAN AVE
EAST PROVIDENCE, RI 02914



Town of Bristol, Rhode Island
Zoning Board of Review

10 Court Street
Bristol, RI 02809
401-253-7000
www.bristolri.gov

File #2025-11

PUBLIC HEARING

Notice is hereby given by the Zoning Board of Review
that a public hearing will be held on the following application:

Monday, April 7, 2025
at 7:00 P.M.
Bristol Town Hall
10 Court Street

APPLICANT: Aires H. Medeiros, Jr.
PROPERTY OWNER: Aires H. Medeiros, Jr.
LOCATION: 8 Villa Avenue
PLAT: 154 LOT: 112
ZONE: Residential R-10SW

APPLICANT IS REQUESTING DIMENSIONAL VARIANCES: to construct an approximate 864 square foot single-story garage and living area addition to an existing single-family dwelling with less than the required front yard and less than the required right side yard.

Edward M. Tanner,
Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol web site at <https://bristol-ri.municodemeetings.com/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, April 3, 2025.



Town of Bristol, Rhode Island
Department of Community Development
Zoning Board of Review 2025 MAR -6 PM 12: 01

TOWN OF BRISTOL
COMMUNITY DEV.

APPLICATION

File No: **2025-11**
 Accepted by ZEO: *EMM. 3/10/25*

APPLICANT:	Name: Aires H. Medeiros, Jr.		
	Address: 8 Villa Avenue		
	City: Bristol	State: RI	Zip: 02809
	Phone #: 401-225-8893	Email: airesmedeiros2@gmail.com	
PROPERTY OWNER:	Name: Aires H Medeiros, Jr.		
	Address: 8 Villa Avenue		
	City: Bristol	State: RI	Zip: 02809
	Phone #: 401-225-8893	Email: airesmedeiros2@gmail.com	

1. Location of subject property: 8 Villa Avenue, Bristol RI

Assessor's Plat(s) #: 154 Lot(s) #: 112

2. Zoning district in which property is located: Residential R-10SW

3. Zoning Approval(s) required (check all that apply):

Dimensional Variance(s) Special Use Permit Use Variance

4. Which particular provisions of the Zoning Ordinance is applicable to this application?

Dimensional Variance Section(s): Dimensional Relief; Sect. 28-111: Minimum side yard setback

Special Use Permit Section(s): _____

Use Variance Section(s): _____

5. In a separate written statement (attach to this application), please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.

6. How long have you owned the property? Since 2010.

7. Present use of property: Primary Residence.

8. Is there a building on the property at present? Current home.

9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet): 40x24 ; 960sf

10. Proposed use of property: Maintaining as Primary Residence.

11. Give extent of proposed alterations: Addition of a garage, a with a mudroom/dining room, and a master bedroom behind the garage.

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet):
NEW Proposed coverage: 64x45 ; 1,968 sf. Connect 8x19 mudroom/dining room (152sf) . Garage 16x22 (352sf).
Master bedroom to the rear of the garage, 16x20 (320sf).

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

Front lot line(s):	Required Setback: <u>27 FEET (ENT)</u>	Proposed Setback: <u>23 FEET (ENT)</u>
Left side lot line:	Required Setback: _____	Proposed Setback: _____
Right side lot line:	Required Setback: <u>15 feet</u>	Proposed Setback: <u>4'2" SE corner</u>
Rear lot line:	Required Setback: _____	Proposed Setback: _____
Building height:	Required: _____	Proposed: _____
Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):		
Required: _____	Proposed: _____	

13. Number of families before/after proposed alterations: 1 Before 1 After

14. Have you submitted plans for the above alterations to the Building Official? No
If yes, has he refused a permit? n/a
If refused, on what grounds? n/a

15. Are there any easements on your property? No (If yes, their location must be shown on site plan)

16. Which public utilities service the property? Water: Yes Sewer: Yes

17. Is the property located in the Bristol Historic District or is it an individually listed property? Individually listed.

18. Is the property located in a flood zone? No If yes, which one?: n/a

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: [Signature] Date: 3-5-25

Print Name: Alex H. Mendonca, Jr

Property Owner's Signature: [Signature] Date: 3-5-25

Print Name: Alex H. Mendonca

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: _____ Phone #: _____

Address: _____

March 5, 2025

Dear Zoning Board Members,

My young family and I are requesting a Dimensional Variance for our primary residence at 8 Villa Ave, Bristol RI. In 2022 my family stood before you, represented by The Oracle Group for a variance, which was approved. However, the dream renovation we had worked on could not come to fruition because of the times, financial restraints and our needs had changed. The decision was made that it was not a good time to begin this project. The time allotted for the variance had expired and a secondary, much smaller plan began developing. My family and I are now requesting a dimensional variance for a much smaller renovation/addition, to improve our living situation and allow us to remain in Bristol. Our growing family is in need of additional space, and an additional bedroom. We are looking to add a much-needed dining room, and mudroom entry way. In addition, we are looking to add a garage, with a master bedroom behind it. The design and layout of our residence will be like those already in existence on our street. With costs of material and interest rates fluctuating, this seems to be the best plan for our family at this time. We look forward to meeting with you and answering any possible questions that may arise.

Thank you in advance,

Aires (AJ), Emily, Josephine, Aires III



8 Villa Avenue

Bristol, RI

1 inch = 36 Feet



www.cai-tech.com

March 10, 2025



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

Owner

Owner 1 MEDEIROS, AIRES H. JR.
Owner 2
Owner 3
Address 8 VILLA AVE, BRISTOL, RI 02809-0000

Previous Owners & Sales Information

Table with columns: Grantor, Date, Sale Price, Leg Ref, Deed Type. Row 1: ALMEIDA, MARY LOU, 10/23/2009, 201,000, 1510-141, W

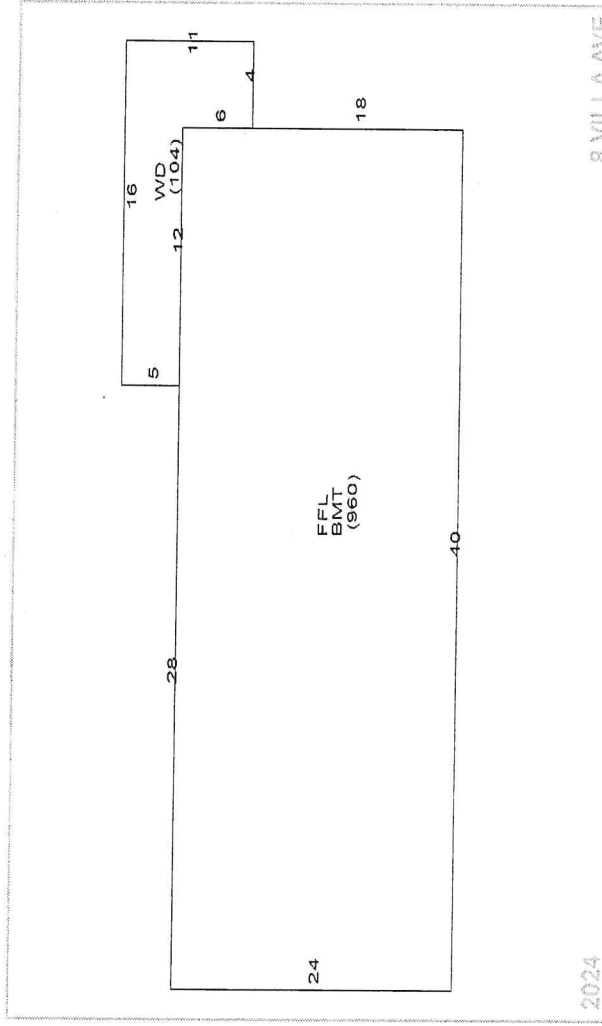
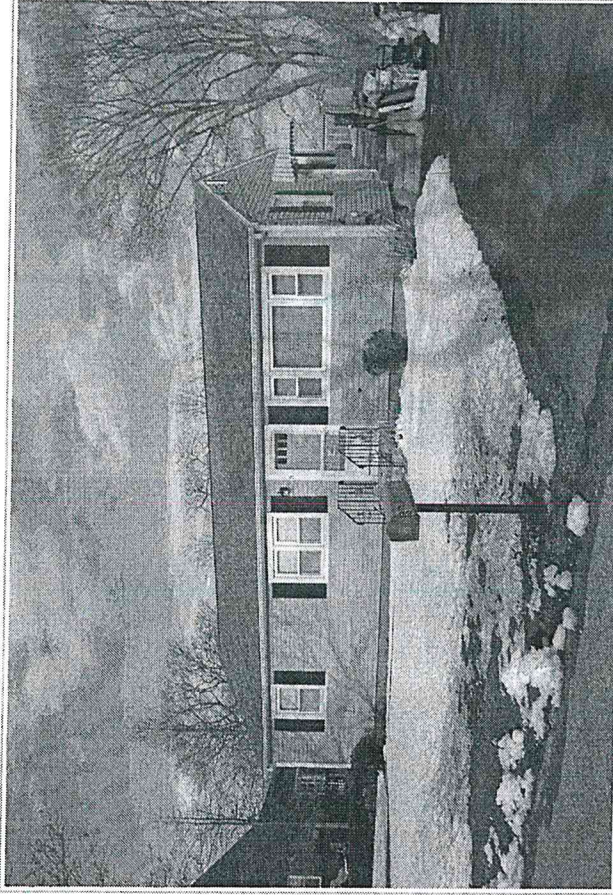
Assessment

Table with columns: Use Code, Bldg Value, SF/YI Value, Land Size, Land Value, AG Credit, Assessed Value. Row 1: 01, 128,900, 0, 0.21, 141,200, 0, 270,100

Source > Mkt Adj Cost VAL per SQ Unit/Card > 133.45 VAL per SQ Unit/Parcel > 133.45

Previous Assessments

Table with columns: Year, LUC, Building, Land Size, Land, AGR Credit, Appraised Value, Assessed Value. Rows for years 2024 to 2019.



Land Information

Table with columns: Use Description, Units, Unit Type, Land Type, LT Fact, Unit Price, Adjusted, Neigh, Inf 1-3, Appr Value, Spec Land, Juris, Fact, Use Value.

Plat/Lot 154-0112-000

Account: 8209

Zone R-10

Assessment \$270,100

Building Information

Description	Story Height	Description
BLDG Type	1 Story	1 Story
RES Units	0	0
Foundation	Concrete	Concrete
Frame 1	Wood	Frame 2
EXT Wall 1	Vinyl Siding	EXT Wall 2
Roof Type 1	Gable	Roof Type 2
Roof Cover 1	Asphalt Shir	Roof Cover 2
INT Wall 1	Drywall	INT Wall 2
Floors 1	Hardwood	Floors 2
BMT Garages		Color
Plumbing		Electrical
Insulation		INT vs EXT
Heat Fuel	Oil	Heat Type
# Heat Sys		BB Hot Water
% Solar HW		% Heated
% COM Wall		% A/C
Ceil HGHT		% Vacuum
Parking Type		Ceiling Type
EXT View		% Sprinkled

Other Factors

Grade	Q4	Q4	Flood Hazard
Year Built	1963	EFF Year	Topography
Alt LUC	0.00	Alt %	Street
			Traffic
Bas \$/SQ	121.00		
Size Adj	1.30		
Constr Adj	1.01		
Adj \$/SQ	158.87		
Other Featrs	21,000		
Grade Fac	1.00		
Neigh Infl	1.00		
Land Factor	1.00		
Adj Total	198,336		
Depreciation	69,418		
Depr Total	128,918		
Total Depreciation %	> 35.0		

Sub-Area Detail

Code	Description	Area	Fin. Area	Rate	Undep Val
FFL	1st FLOOR	960	960	158.87	152,515
BMT	BASEMENT	960	0	23.83	22,877
WD	WOOD DECK	104	0	18.69	1,944
Total		2,024	960		177,336

Notes

SHED NV KIT IN BSMT NO LONGER USED

Visit History

Date	Result	By
8/12/2021	REVIEW	
6/1/2018	MEASURED	
6/1/2018	REVIEW	
8/6/2010	MEASURE	
9/19/2007	LISTED	

Remodeling History

Additions	Plumbing	Electric	Heating	General
Interior				
Exterior				
Kitchen				
Bath(s)				

Condo Data

Complex	Location	Tot Units	FL Level	# Floors	Bldg Seg
				0	1

Building Permits

Issue Date	Permit #	Closed Date	BP Type	Est. Cost	% Done	Status	Description/Directions
1							
2							
3							
4							
5							
6							
7							
8							
9							

Special Features & Yard Items

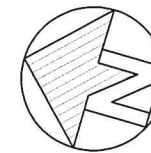
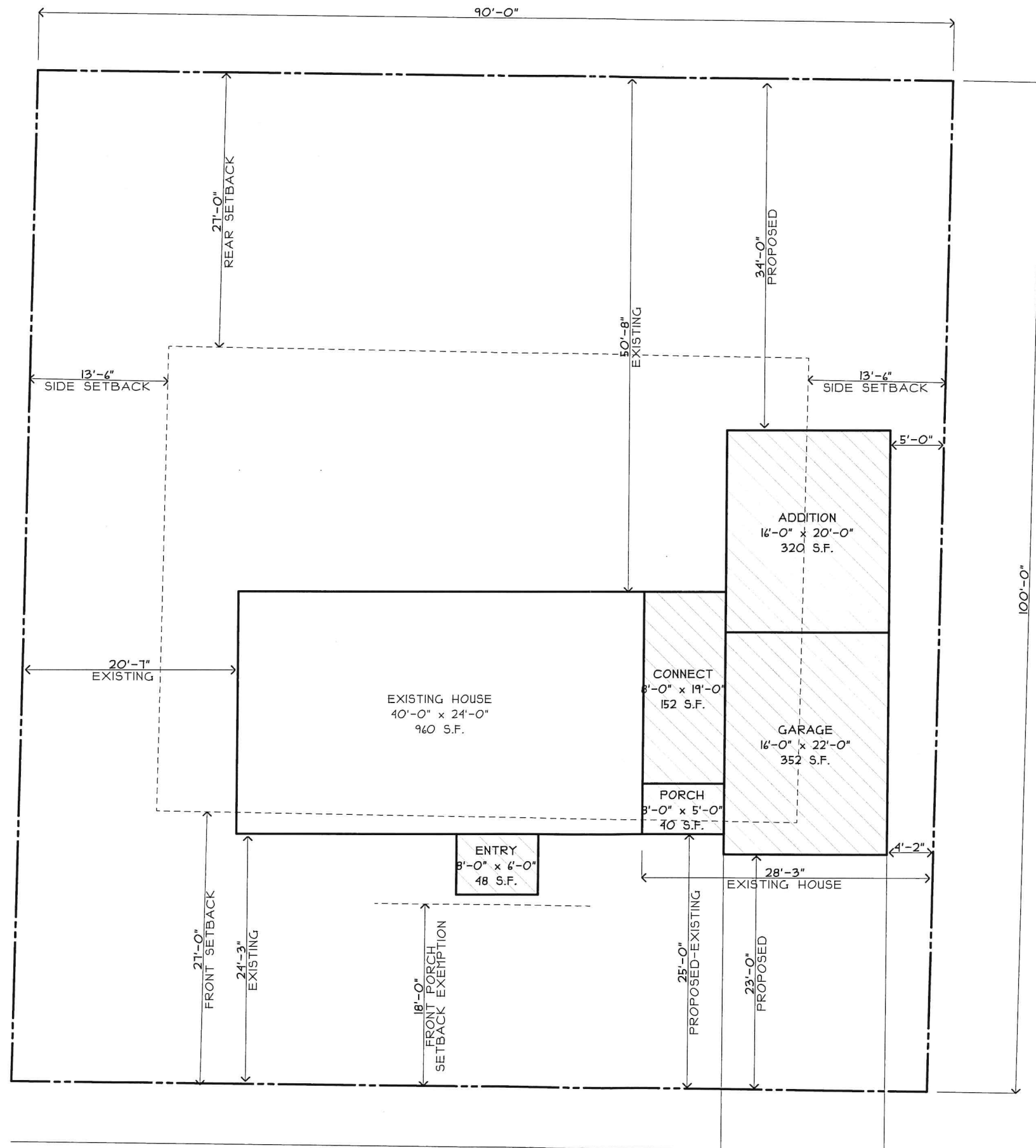
Use	Description	A	V/S	Qty	Length	Width	SF Size	Quality	Condition	Year	Assessed Value
1											
2											
3											
4											
5											
6											
7											
8											
9											
10											

Other Info.

AFDU	Term	Rental	PriorID1c	PriorID2a	PriorID2b	PriorID2c	PriorID3a	PriorID3b	PriorID3c

Room Counts by Floor

Units	# Rooms	# Bedrooms	Floor Level
1	1	5	3
2			U
3			
4			
Totals	1	5	3



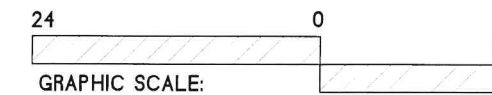
MEDEIROS RESIDENCE
 8 VILLA AVENUE
 BRISTOL, RI 02809

MAP-LOT: 154-112
 SIZE: 9,000 S.F.
 ZONING: R-10

SETBACKS:	ADJUSTED (90%)
FRONT: 30'	21
SIDE: 15'	13.5
REAR: 30'	21
MAX. COVER: 25%	28% OR 2,520 S.F.

PROPOSED COVERAGE
 64'-0" x 46'-0"
 1968 S.F.

ALL MEASUREMENTS SHOWN WERE DETERMINED USING REASONABLE ASSUMPTIONS FOR PROPERTY LINE SOURCED FROM CLASS I SURVEY PREPARED BY IN-SITE ENGINEERING, LLC DATED 4/5/2022 THIS IS NOT A PROFESSIONAL SURVEY.

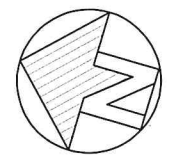
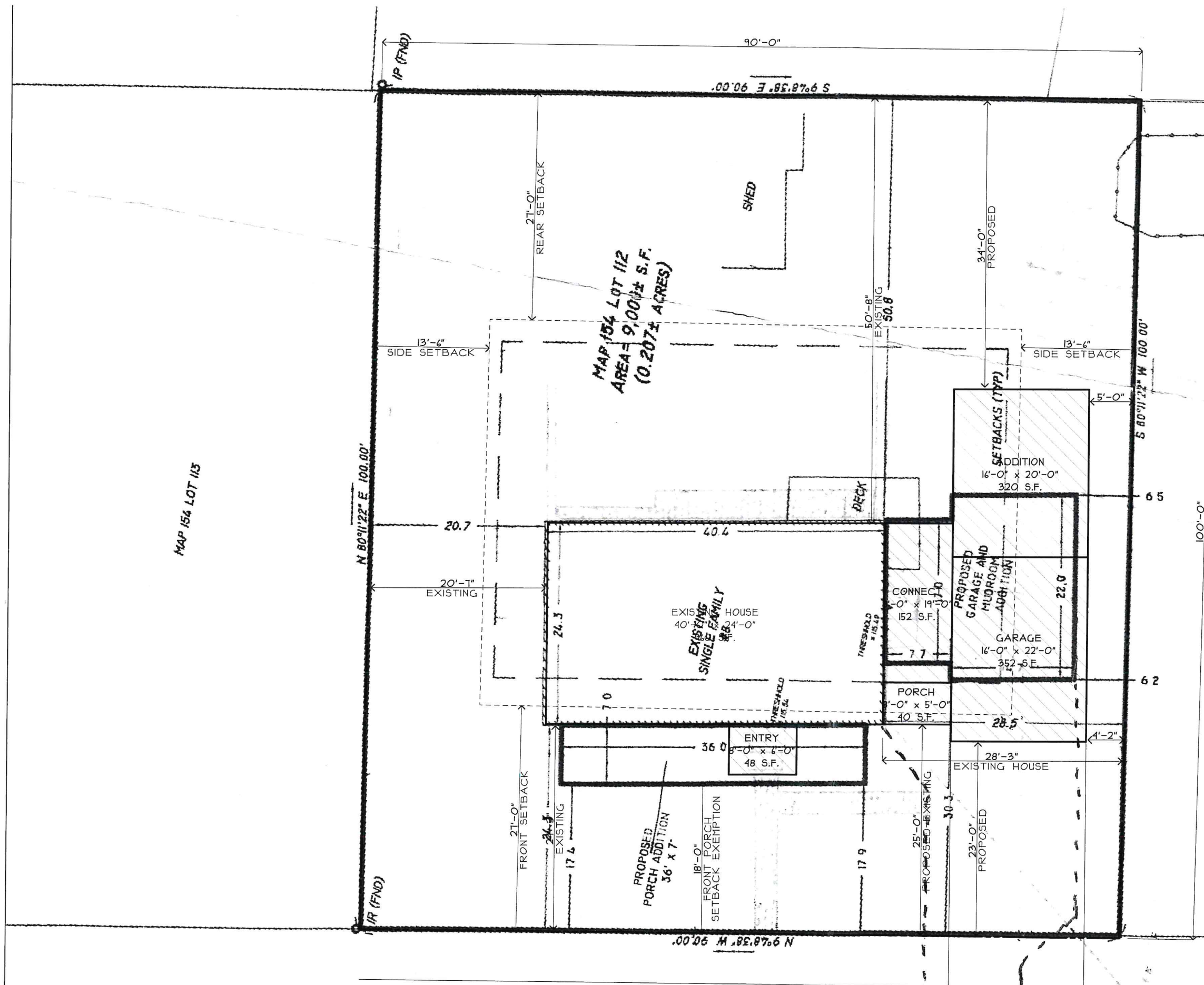


SITE PLAN
 SCALE: 1" = 12'

VILLA AVENUE

MEDEIROS RESIDENCE
 8 VILLA AVENUE
 BRISTOL, RI 002809
 PROPOSED: _____ DATE: _____
 SITE PLAN 2/9/2025

S1



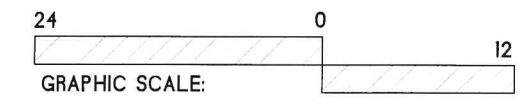
MEDEIROS RESIDENCE
8 VILLA AVENUE
BRISTOL, RI 02809

MAP-LOT: 154-112
SIZE: 9,000 S.F.
ZONING: R-10

SETBACKS:	ADJUSTED (90%)
FRONT: 30'	21
SIDE: 15'	13.5
REAR: 30'	21
MAX. COVER: 25%	28% OR 2,520 S.F.

PROPOSED COVERAGE
64'-0" x 46'-0"
1968 S.F.

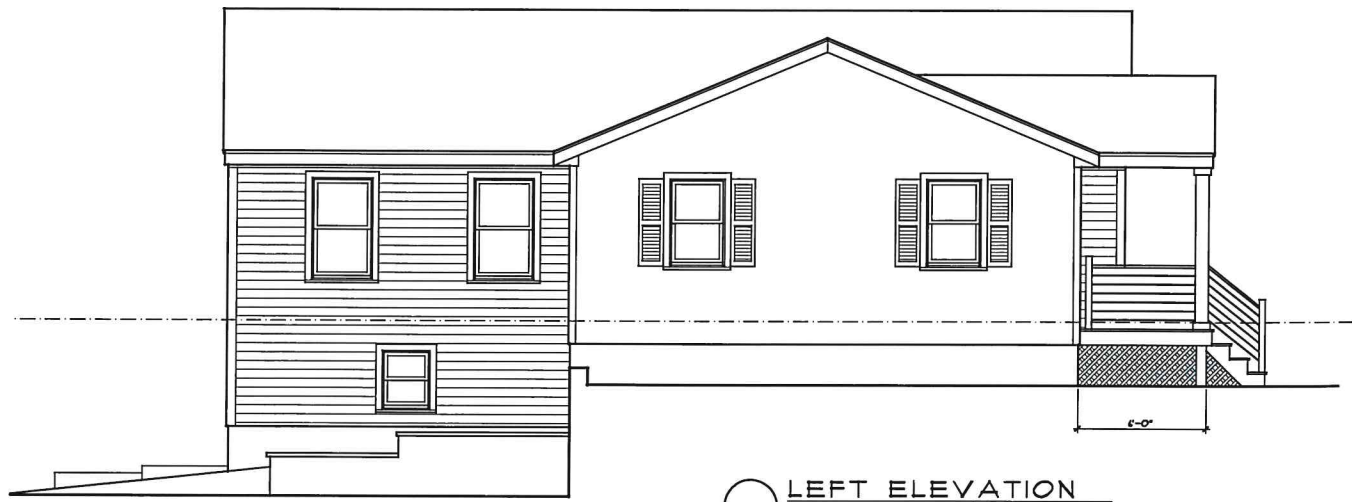
ALL MEASUREMENTS SHOWN WERE DETERMINED USING REASONABLE ASSUMPTIONS FOR PROPERTY LINE SOURCED FROM CLASS 1 SURVEY PREPARED BY IN-SITE ENGINEERING, LLC DATED 4/5/2022 THIS IS NOT A PROFESSIONAL SURVEY.



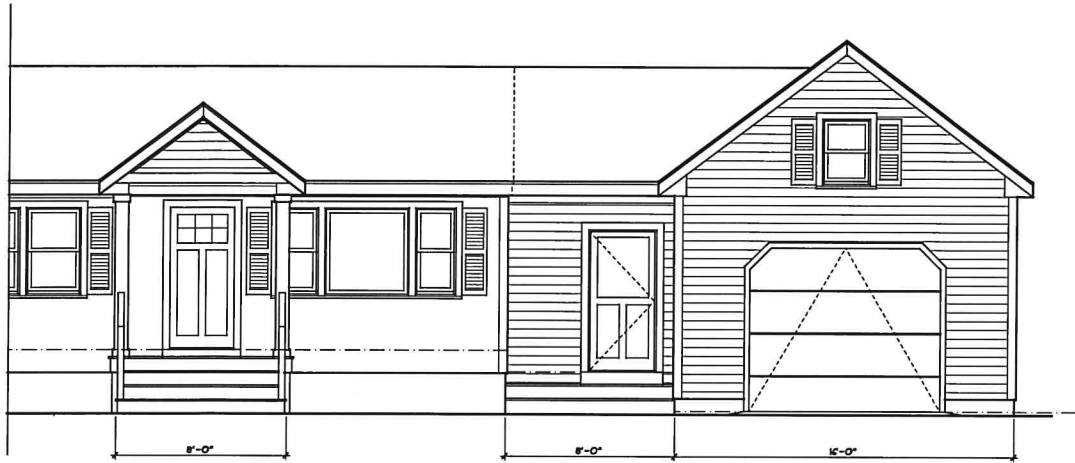
SITE PLAN
SCALE: 1" = 12'

VILLA AVENUE

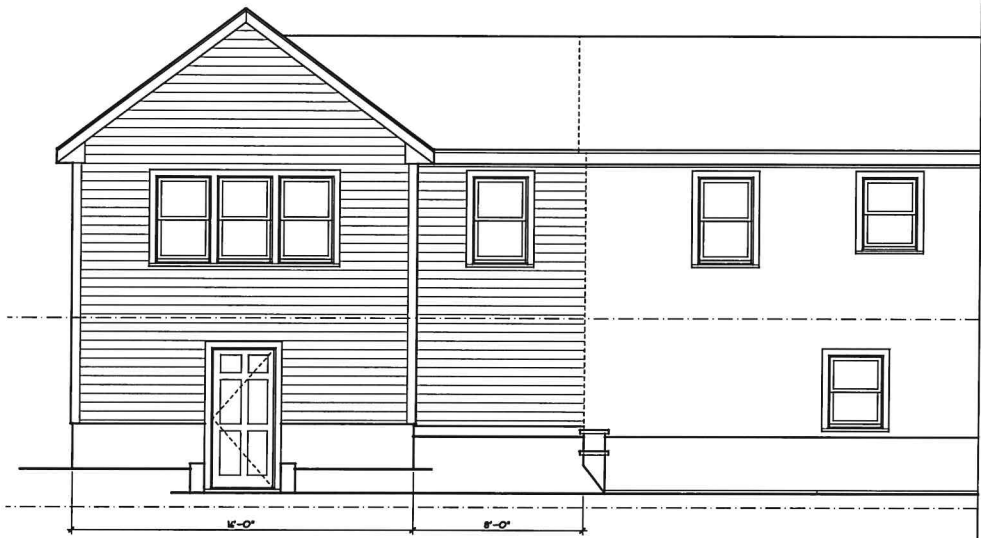
1/11/2022



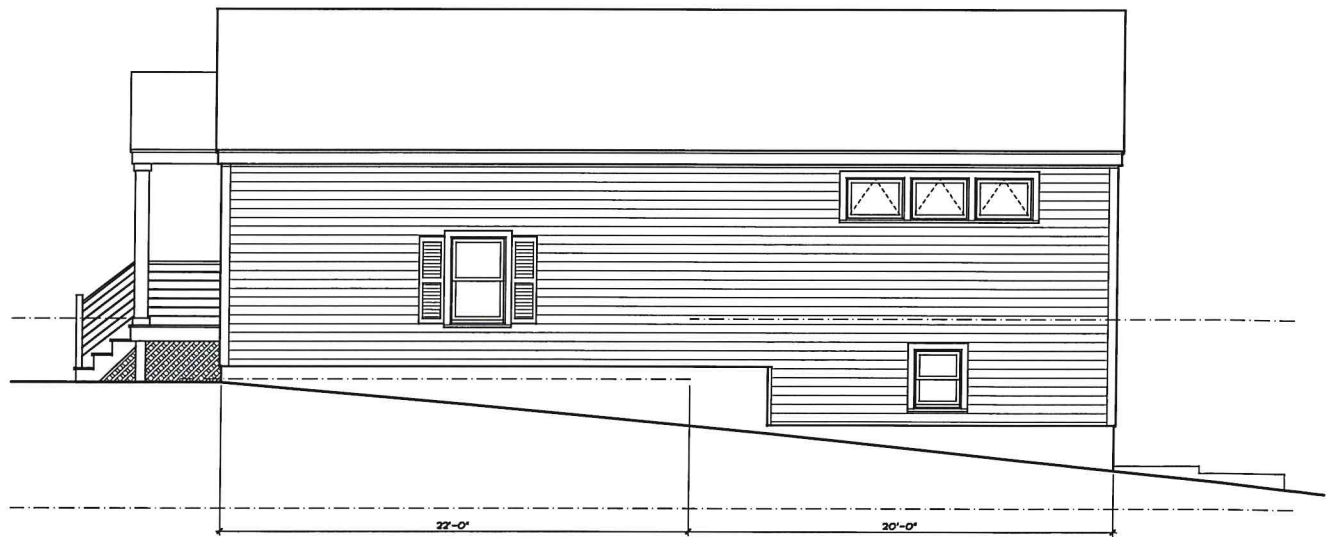
LEFT ELEVATION
SCALE: 1/4" = 1'-0"



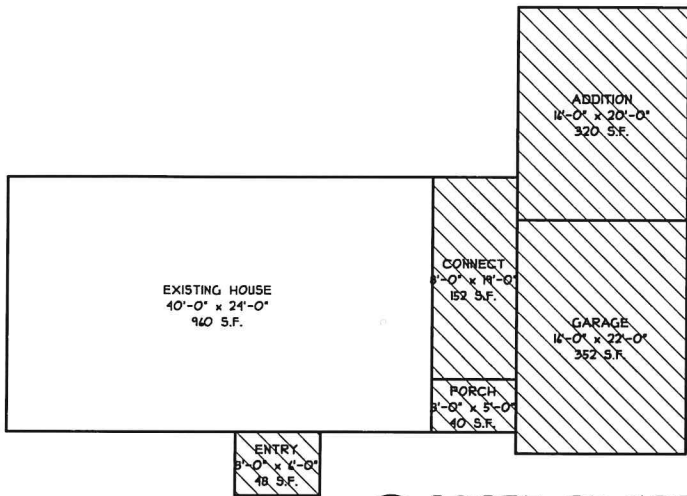
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



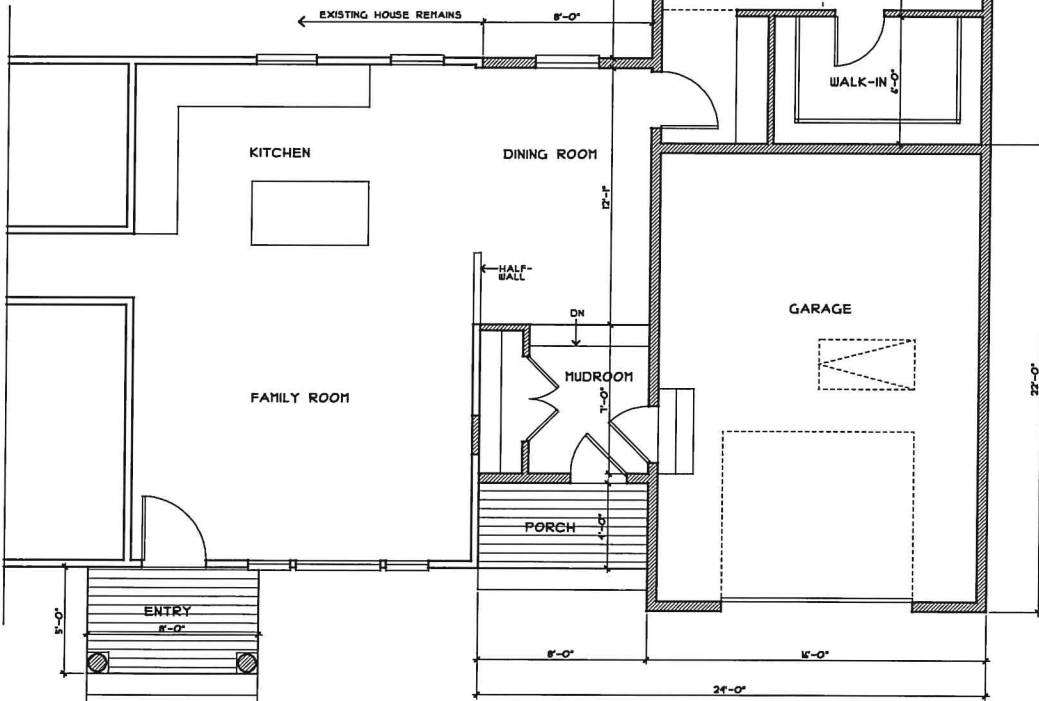
REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



SCOPE OF WORK
DO NOT SCALE



1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

MacCADD
Drafting
& Design

□ □ □

BRISTOL, RI
02809

e-mail
MacCADD@aol.com

MEDEIROS
RESIDENCE

□ □ □

8 VILLA AVENUE
BRISTOL, RI
02809

DATE: 2/8/2025

REVISIONS:

A1

SHEET NO:



8 Villa Drive - 300' radius

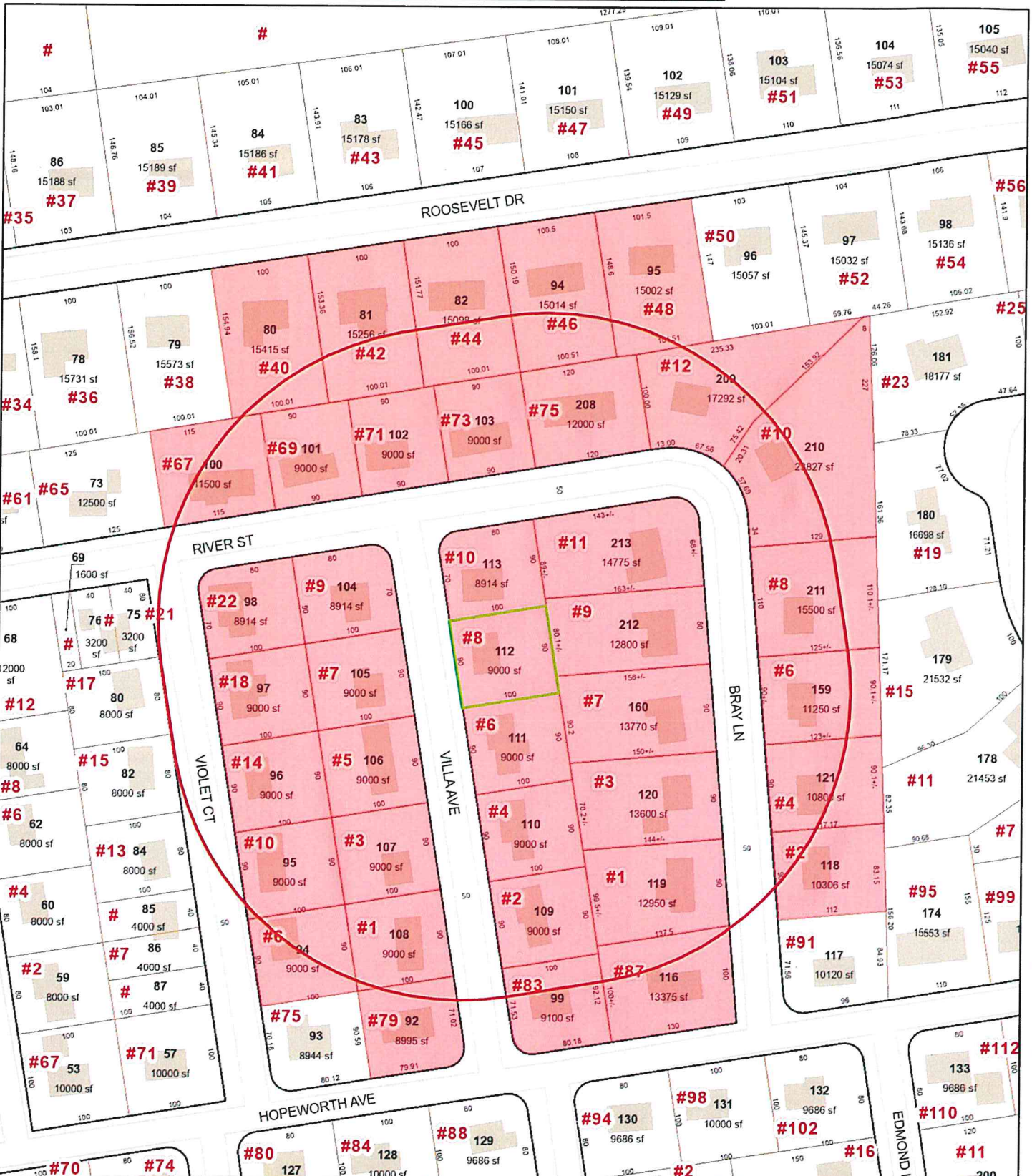
Bristol, RI

1 inch = 141 Feet



www.cai-tech.com

March 11, 2025



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Subject Property:

Parcel Number: 154-112
CAMA Number: 154-112
Property Address: 8 VILLA AVE

Mailing Address: MEDEIROS, AIRES H. JR.
8 VILLA AVE
BRISTOL, RI 02809

Abutters:

Parcel Number: 154-100
CAMA Number: 154-100
Property Address: 67 RIVER ST

Mailing Address: BRISTOL VENTURES, LLC
6 JENNY LN
BRISTOL, RI 02809

Parcel Number: 154-101
CAMA Number: 154-101
Property Address: 69 RIVER ST

Mailing Address: CLARK-LUNDY, SHEILA M. TRUST THE
CLARK-LUNDY REV TRUST
69 RIVER ST
BRISTOL, RI 02809

Parcel Number: 154-102
CAMA Number: 154-102
Property Address: 71 RIVER ST

Mailing Address: LAPARLE, LEANNE M
71 RIVER ST
BRISTOL, RI 02809

Parcel Number: 154-103
CAMA Number: 154-103
Property Address: 73 RIVER ST

Mailing Address: BERNARD, ROBERT & HEATHER TE
73 RIVER ST
BRISTOL, RI 02809

Parcel Number: 154-104
CAMA Number: 154-104
Property Address: 9 VILLA AVE

Mailing Address: MEDEIROS, KEITH LISA MARIE R
9 VILLA AVE
BRISTOL, RI 02809

Parcel Number: 154-105
CAMA Number: 154-105
Property Address: 7 VILLA AVE

Mailing Address: HORN, JOSEPH D. & MCSHANE-HORN,
LISA M TE
7 VILLA AVENUE
BRISTOL, RI 02809

Parcel Number: 154-106
CAMA Number: 154-106
Property Address: 5 VILLA AVE

Mailing Address: NADEAU, ROBERT L & NICOLE L. TE
5 VILLA AVE
BRISTOL, RI 02809

Parcel Number: 154-107
CAMA Number: 154-107
Property Address: 3 VILLA AVE

Mailing Address: SIRPENSKI, DIANE
3 VILLA AVE
BRISTOL, RI 02809

Parcel Number: 154-108
CAMA Number: 154-108
Property Address: 1 VILLA AVE

Mailing Address: ST LAURENT, JAMES & KERRI ANN TE
1 VILLA AVE
BRISTOL, RI 02809

Parcel Number: 154-109
CAMA Number: 154-109
Property Address: 2 VILLA AVE

Mailing Address: DONATO, PAUL & MEIGGS, KATHY TE
4 DORAN AVE
BRISTOL, RI 02809



www.cai-tech.com

3/11/2025

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 1 of 4



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Parcel Number: 154-110 CAMA Number: 154-110 Property Address: 4 VILLA AVE	Mailing Address: SOUSA, JOSEPH V. ANA V. LIFE EST C/O 4 VILLA AVE BRISTOL, RI 02809
Parcel Number: 154-111 CAMA Number: 154-111 Property Address: 6 VILLA AVE	Mailing Address: ALMEIDA, JACINTO ETUX LIFE E ALMEIDA, STEPHEN J. 6 VILLA AVE BRISTOL, RI 02809
Parcel Number: 154-112 CAMA Number: 154-112 Property Address: 8 VILLA AVE	Mailing Address: MEDEIROS, AIRES H. JR. 8 VILLA AVE BRISTOL, RI 02809
Parcel Number: 154-113 CAMA Number: 154-113 Property Address: 10 VILLA AVE	Mailing Address: SHEETS, WILLIAM K. & ANN TE 10 VILLA AVE. BRISTOL, RI 02809
Parcel Number: 154-116 CAMA Number: 154-116 Property Address: 87 HOPEWORTH AVE	Mailing Address: MORAN, STEVEN E KATHLEEN J. 87 HOPEWORTH AVE BRISTOL, RI 02809
Parcel Number: 154-118 CAMA Number: 154-118 Property Address: 2 BRAY LN	Mailing Address: PARELLA MARISSA A 2 BRAY LN BRISTOL, RI 02809
Parcel Number: 154-119 CAMA Number: 154-119 Property Address: 1 BRAY LN	Mailing Address: DONATO, PAUL & KATHY TE 4 DORAN AVENUE BRISTOL, RI 02809
Parcel Number: 154-120 CAMA Number: 154-120 Property Address: 3 BRAY LN	Mailing Address: GERMANO, JOSHUA M. & PINTO, ELIZABETH A. TE 3 BRAY LN BRISTOL, RI 02809
Parcel Number: 154-121 CAMA Number: 154-121 Property Address: 4 BRAY LN	Mailing Address: LAWRENCE, EDWIN A JR & LAWRENCE, JENNIFER ELIZABETH DAPONTE 4 BRAY LANE BRISTOL, RI 02809
Parcel Number: 154-159 CAMA Number: 154-159 Property Address: 6 BRAY LN	Mailing Address: ANDRADE, ALFRED LAURA TRUSTEES & ALFRED & LAU 6 BRAY LANE BRISTOL, RI 02809
Parcel Number: 154-160 CAMA Number: 154-160 Property Address: 7 BRAY LN	Mailing Address: KARDINAL LAND, INC. C/O SEAN CARNEY, PRES 128 HERITAGE DR PORTSMOUTH, RI 02871
Parcel Number: 154-208 CAMA Number: 154-208 Property Address: 75 RIVER ST	Mailing Address: MASCOLA, JEFFREY L. 75 RIVER ST. BRISTOL, RI 02809



www.cai-tech.com

3/11/2025

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 2 of 4



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Parcel Number: 154-209 CAMA Number: 154-209 Property Address: 12 BRAY LN	Mailing Address: MILLER, LANCE J. & REGEN TE 12 BRAY LN BRISTOL, RI 02809
Parcel Number: 154-210 CAMA Number: 154-210 Property Address: 10 BRAY LN	Mailing Address: BATEY, DALE R. CMDR USN & MARGARET 108 ASHVILLE RD SULLIVAN, ME 04664
Parcel Number: 154-211 CAMA Number: 154-211 Property Address: 8 BRAY LN	Mailing Address: CARNEY, DEVERE V. III & CARNEY, KAREN M. TRUSTEES 8 BRAY LN BRISTOL, RI 02809
Parcel Number: 154-212 CAMA Number: 154-212 Property Address: 9 BRAY LN	Mailing Address: BONSANTI, DONALD M. NOREEN A. 9 BRAY LN BRISTOL, RI 02809
Parcel Number: 154-213 CAMA Number: 154-213 Property Address: 11 BRAY LN	Mailing Address: ENES, ALBINO DEBRITO ET UX FILOMENA MARIA 11 BRAY LANE BRISTOL, RI 02809
Parcel Number: 154-92 CAMA Number: 154-92 Property Address: 79 HOPEWORTH AVE	Mailing Address: LANNIGAN, WILLIAM & OTT, JILL TRUSTEES 79 HOPEWORTH AVE BRISTOL, RI 02809
Parcel Number: 154-94 CAMA Number: 154-94 Property Address: 6 VIOLET CT	Mailing Address: PIMENTAL, JULIA L 6 VIOLET CT BRISTOL, RI 02809
Parcel Number: 154-95 CAMA Number: 154-95 Property Address: 10 VIOLET CT	Mailing Address: FEDERICO, MICHAEL A. FEDERICO, JENNIFER M. ETUX TE 10 VIOLET CT BRISTOL, RI 02809
Parcel Number: 154-96 CAMA Number: 154-96 Property Address: 14 VIOLET CT	Mailing Address: MACHADO, KENNETH J JR & MEAGHAN L TE 14 VIOLET CT BRISTOL, RI 02809
Parcel Number: 154-97 CAMA Number: 154-97 Property Address: 18 VIOLET CT	Mailing Address: FARIA, JESSE SR & MARIANNE TE 18 VIOLET CT BRISTOL, RI 02809
Parcel Number: 154-98 CAMA Number: 154-98 Property Address: 22 VIOLET CT	Mailing Address: CAPUANO, STEVEN J 22 VIOLET CT BRISTOL, RI 02809
Parcel Number: 154-99 CAMA Number: 154-99 Property Address: 83 HOPEWORTH AVE	Mailing Address: SWING, TERRY CLETUS & SWING, NANCY M TE 83 HOPEWORTH AVE BRISTOL, RI 02809



www.cai-tech.com

3/11/2025

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 3 of 4



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Parcel Number: 156-80
CAMA Number: 156-80
Property Address: 40 ROOSEVELT DR

Mailing Address: PESTA, THOMAS A. & PESTA, CYNTHIA
E. TRUSTEES
40 ROOSEVELT DR
BRISTOL, RI 02809

Parcel Number: 156-81
CAMA Number: 156-81
Property Address: 42 ROOSEVELT DR

Mailing Address: SIMEONE, JOSEPH G. JR.
42 ROOSEVELT DRIVE
BRISTOL, RI 02809

Parcel Number: 156-82
CAMA Number: 156-82
Property Address: 44 ROOSEVELT DR

Mailing Address: MICHELETTI, KATIE M
44 ROOSEVELT DR
BRISTOL, RI 02809

Parcel Number: 156-94
CAMA Number: 156-94
Property Address: 46 ROOSEVELT DR

Mailing Address: PERRY, JOHN P & BERRETTO, ANALEE
TC
46 ROOSEVELT DR
BRISTOL, RI 02809

Parcel Number: 156-95
CAMA Number: 156-95
Property Address: 48 ROOSEVELT DR

Mailing Address: HAWKINS, ANN T. (S)
48 ROOSEVELT DR
BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

3/11/2025

Page 4 of 4

ALMEIDA, JACINTO ETUX LIF
ALMEIDA, STEPHEN J.
6 VILLA AVE
BRISTOL, RI 02809

DONATO, PAUL & KATHY TE
4 DORAN AVENUE
BRISTOL, RI 02809

LAWRENCE, EDWIN A JR &
LAWRENCE, JENNIFER ELIZAB
4 BRAY LANE
BRISTOL, RI 02809

ANDRADE, ALFRED
LAURA TRUSTEES & ALFRED &
6 BRAY LANE
BRISTOL, RI 02809

ENES, ALBINO DEBRITO
ET UX FILOMENA MARIA
11 BRAY LANE
BRISTOL, RI 02809

MACHADO, KENNETH J JR &
MEAGHAN L TE
14 VIOLET CT
BRISTOL, RI 02809

BATEY, DALE R. CMDR USN
& MARGARET
108 ASHVILLE RD
SULLIVAN, ME 04664

FARIA, JESSE SR &
MARIANNE TE
18 VIOLET CT
BRISTOL, RI 02809

MASCOLA, JEFFREY L.
75 RIVER ST.
BRISTOL, RI 02809

BERNARD, ROBERT & HEATHER
73 RIVER ST
BRISTOL, RI 02809

FEDERICO, MICHAEL A.
FEDERICO, JENNIFER M. ETU
10 VIOLET CT
BRISTOL, RI 02809

MEDEIROS, AIRES H. JR.
8 VILLA AVE
BRISTOL, RI 02809

BONSANTI, DONALD M.
NOREEN A.
9 BRAY LN
BRISTOL, RI 02809

GERMANO, JOSHUA M. &
PINTO, ELIZABETH A. TE
3 BRAY LN
BRISTOL, RI 02809

MEDEIROS, KEITH
LISA MARIE R
9 VILLA AVE
BRISTOL, RI 02809

BRISTOL VENTURES, LLC
6 JENNY LN
BRISTOL, RI 02809

HAWKINS, ANN T. (S)
48 ROOSEVELT DR
BRISTOL, RI 02809

MICHELETTI, KATIE M
44 ROOSEVELT DR
BRISTOL, RI 02809

CAPUANO, STEVEN J
22 VIOLET CT
BRISTOL, RI 02809

HORN, JOSEPH D. &
MC SHANE-HORN, LISA M TE
7 VILLA AVENUE
BRISTOL, RI 02809

MILLER, LANCE J. & REGEN
12 BRAY LN
BRISTOL, RI 02809

CARNEY, DEVERE V. III & C
8 BRAY LN
BRISTOL, RI 02809

KARDINAL LAND, INC.
C/O SEAN CARNEY, PRES
128 HERITAGE DR
PORTSMOUTH, RI 02871

MORAN, STEVEN E
KATHLEEN J.
87 HOPEWORTH AVE
BRISTOL, RI 02809

CLARK-LUNDY, SHEILA M.
THE CLARK-LUNDY REV TRUST
69 RIVER ST
BRISTOL, RI 02809

LANNIGAN, WILLIAM &
OTT, JILL TRUSTEES
79 HOPEWORTH AVE
BRISTOL, RI 02809

NADEAU, ROBERT L & NICOLE
5 VILLA AVE
BRISTOL, RI 02809

DONATO, PAUL &
MEIGGS, KATHY TE
4 DORAN AVE
BRISTOL, RI 02809

LAPARLE, LEANNE M
71 RIVER ST
BRISTOL, RI 02809

PARELLA MARISSA A
2 BRAY LN
BRISTOL, RI 02809

PERRY, JOHN P & BERRETTO,
46 ROOSEVELT DR
BRISTOL, RI 02809

PESTA, THOMAS A. & PESTA,
40 ROOSEVELT DR
BRISTOL, RI 02809

PIMENTAL, JULIA L
6 VIOLET CT
BRISTOL, RI 02809

SHEETS, WILLIAM K. & ANN
10 VILLA AVE.
BRISTOL, RI 02809

SIMEONE, JOSEPH G. JR.
42 ROOSEVELT DRIVE
BRISTOL, RI 02809

SIRPENSKI, DIANE
3 VILLA AVE
BRISTOL, RI 02809

SOUSA, JOSEPH V.
ANA V. LIFE EST
C/O 4 VILLA AVE
BRISTOL, RI 02809

ST LAURENT, JAMES &
KERRI ANN TE
1 VILLA AVE
BRISTOL, RI 02809

SWING, TERRY CLETUS &
SWING, NANCY M TE
83 HOPEWORTH AVE
BRISTOL, RI 02809



Town of Bristol, Rhode Island
Zoning Board of Review

10 Court Street
Bristol, RI 02809
401-253-7000
www.bristolri.gov

File #2025-12

PUBLIC HEARING

Notice is hereby given by the Zoning Board of Review
that a public hearing will be held on the following application:

Monday, April 7, 2025
at 7:00 P.M.
Bristol Town Hall
10 Court Street

APPLICANT: **Virginia M. and John T. Cairrao**
PROPERTY OWNER: **Virginia M. and John T. Cairrao**
LOCATION: **8 Colt Avenue**
PLAT: **118** LOT: **62**
ZONE: **Residential R-10**

APPLICANT IS REQUESTING **DIMENSIONAL VARIANCES**: to construct a 26ft. x 28ft. single-story accessory dwelling unit (ADU) and 5ft. x 6ft. basement bulkhead addition to an existing single-family dwelling with less than the required rear yard; less than the required left side yard; and with less than the required lot area for an ADU within a new structure.

Edward M. Tanner,
Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol web site at <https://bristol-ri.municodemeetings.com/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, April 3, 2025.



Town of Bristol, Rhode Island
 Department of Community Development
 Zoning Board of Review

TOWN OF BRISTOL
 COMMUNITY DEV.

2025 MAR -7 AM 9:38

APPLICATION

File No: 2025-12
 Accepted by ZEO: EMT 3/10/25

APPLICANT	Name: <u>Virginia Cairrao + John Cairrao</u>		
	Address: <u>8 Colt Ave</u>		
	City: <u>Bristol</u>	State: <u>RI</u>	Zip: <u>02809</u>
	Phone #: <u>401-578-7312</u>	Email: <u>ginnyc812@gmail.com</u>	
PROPERTY OWNER	Name: <u>Virginia Cairrao + John Cairrao</u>		
	Address: <u>8 Colt Ave</u>		
	City: <u>Bristol</u>	State: <u>RI</u>	Zip: <u>02809</u>
	Phone #: <u>401-578-7312</u>	Email: <u>ginnyc812@gmail.com</u>	

1. Location of subject property: 8 Colt Ave
 Assessor's Plat(s)#: 118 Lot(s) #: 02

2. Zoning district in which property is located: R-10

3. Zoning Approval(s) required (check all that apply):
 Dimensional Variance(s) Special Use Permit Use Variance

4. Which particular provisions of the Zoning Ordinance is applicable to this application?:
 Dimensional Variance Section(s): rear setback, side setback, square footage
 Special Use Permit Section(s): _____
 Use Variance Section(s): _____

5. In a separate written statement, please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.

6. How long have you owned the property?: 22 years

7. Present use of property: single family home

8. Is there a building on the property at present?: yes

9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet): 48ft X 58ft, 1672 sqft

10. Proposed use of property: Accessory Dwelling Unit

11. Give extent of proposed alterations: addition of an ADU, on a lot less than 20,000 sqft, left side relief of 5ft, rear relief of 12ft

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet): 26ft x 28ft, 728 sqft, 18 ft

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

Front lot line(s):	Required Setback: _____	Proposed Setback: _____
Left side lot line:	Required Setback: <u>15ft</u>	Proposed Setback: <u>10ft</u>
Right side lot line:	Required Setback: _____	Proposed Setback: _____
Rear lot line:	Required Setback: <u>30ft</u>	Proposed Setback: <u>18ft</u>
Building height:	Required: _____	Proposed: _____
Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):		
Required: _____	Proposed: _____	

13. Number of families before/after proposed alterations: one Before one After

14. Have you submitted plans for the above alterations to the Building Official? No + yet
If yes, has he refused a permit? _____ If refused, on what grounds? _____

15. Are there any easements on your property?: NO (If yes, their location must be shown on site plan)

16. Which public utilities service the property?: Water: Bristol County Water Authority Sewer: Town of Bristol

17. Is the property located in the Bristol Historic District or is it an individually listed property?: NO

18. Is the property located in a flood zone? NO If yes, which one?: _____

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: Virginia M Cairrao

Date: 3/7/25

Print Name: VIRGINIA M. CAIRRAO

Property Owner's Signature: John T. Cairrao

Date: 3/7/25

Print Name: JOHN T CAIRRAO

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: _____ Telephone #: _____

Address: _____

March 7, 2025

Dear Bristol Zoning Board,

Our zoning application for 8 Colt Avenue tells a story of generational connection. Originally built by John's father in 1960, this home is where John grew up and where we have created our own family memories over the past 22 years. As we are approaching our retirement years, we are seeking approval to construct an Accessory Dwelling Unit on the property.

Our intention is to create a space where we can comfortably downsize while remaining connected to our family. Our eldest daughter and her family would occupy the main house, which would allow us to actively participate in our grandchildren's daily lives, including helping with school transportation and childcare. This plan offers a way to keep us connected to a place that has been the heart of our family for decades.

Our 11,040 SqFt lot presents challenges for ADU construction, requiring variances from the standard 20,000 SqFt requirement. We are also requesting side and rear setback modifications which consist of; left side relief of 5 feet, placing the structure 10 feet off the neighboring property line, and rear relief of 12 feet, placing the structure 18 feet off the neighboring property line. The ADU plans are intentionally positioned flush with the existing rear property to allow for possible garage construction in the future.

We appreciate your consideration of our request, which represents our family's dedication to maintaining our generational home while adapting to our evolving needs.

Thank you,

Virginia Cairrao
John Cairrao

Virginia Cairrao & John Cairrao

MacCADD
Drafting
& Design

BRISTOL, RI
02809

e-mail
MacCADD@aol.com

CAIRRAO
RESIDENCE

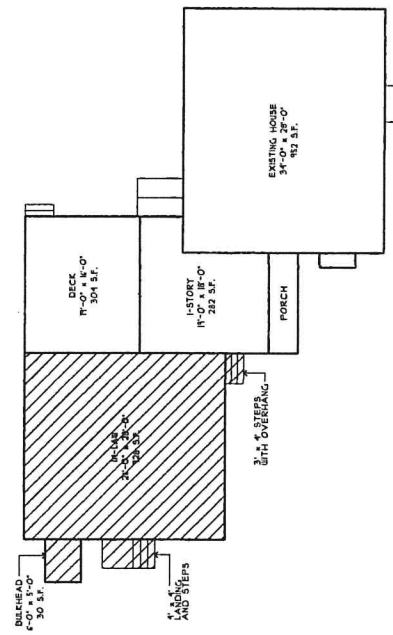
8 COLT AVENUE
BRISTOL, RI
02809

DATE: 3/4/2005

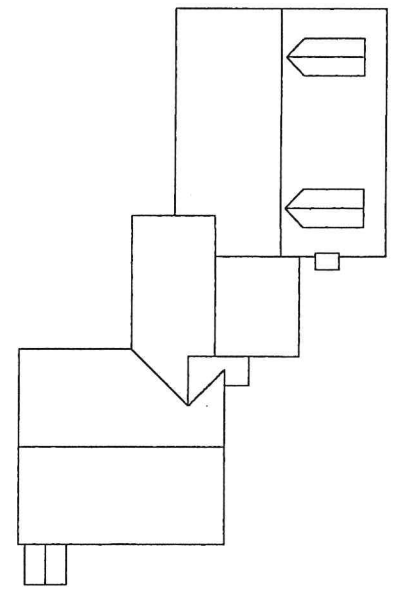
REVISIONS:

A1

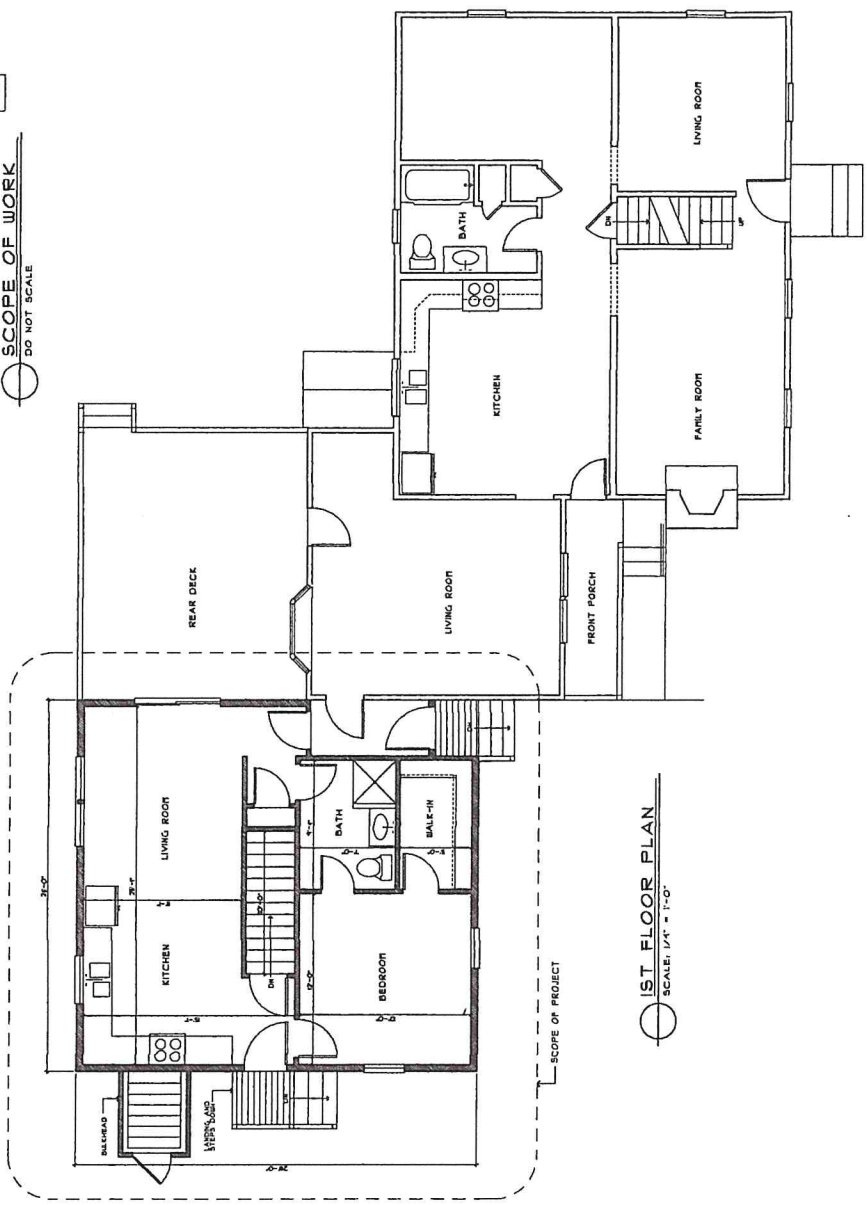
SHEET NO:



ROOF PLAN
DO NOT SCALE



ROOF PLAN
DO NOT SCALE



1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

SCOPE OF PROJECT

MacCADD
Drafting
& Design

BRISTOL, RI
02809

small
MacCADD@aol.com

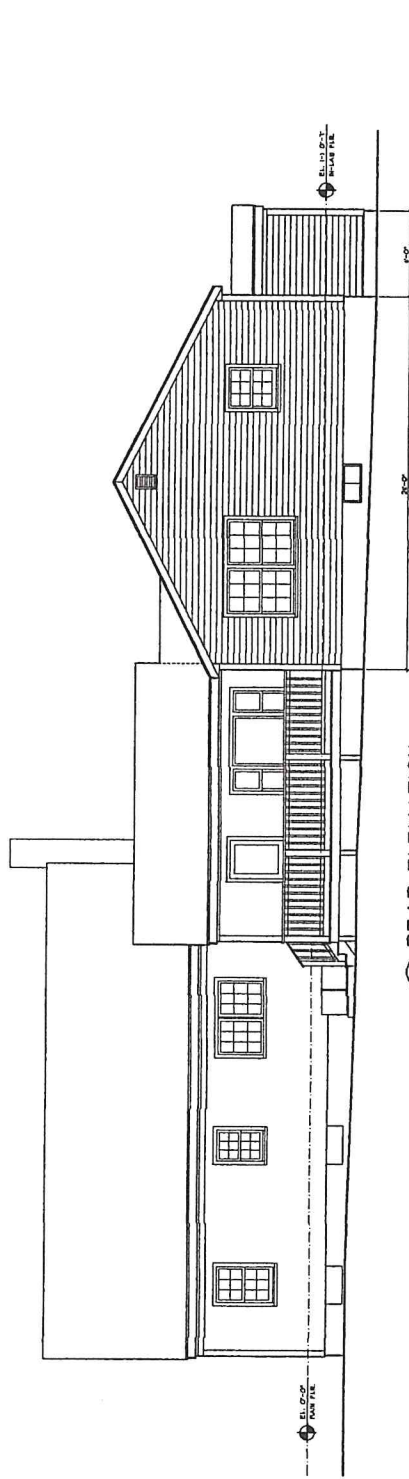
CAIRRAO
RESIDENCE

8 COLT AVENUE
BRISTOL, RI
02809

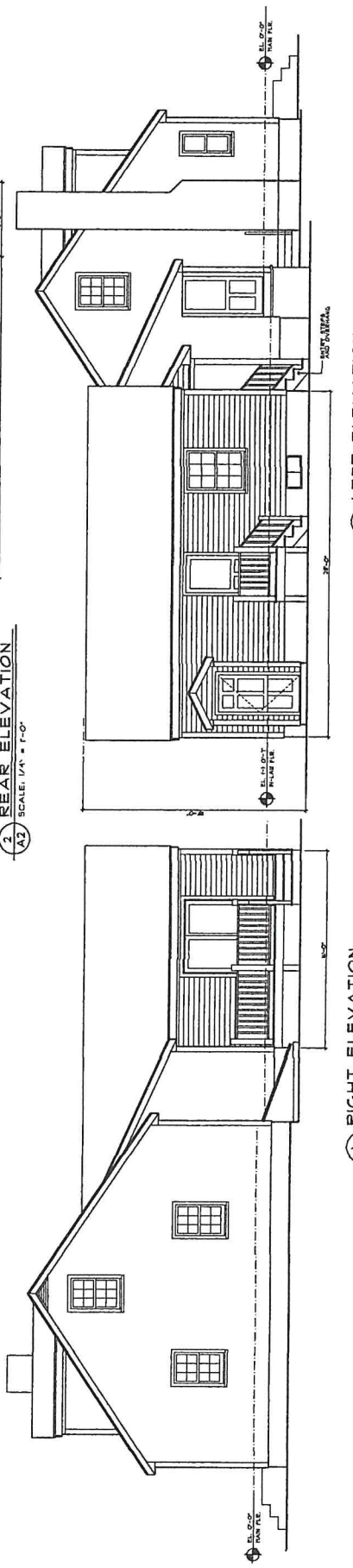
DATE: 3/1/2005

REVISIONS:

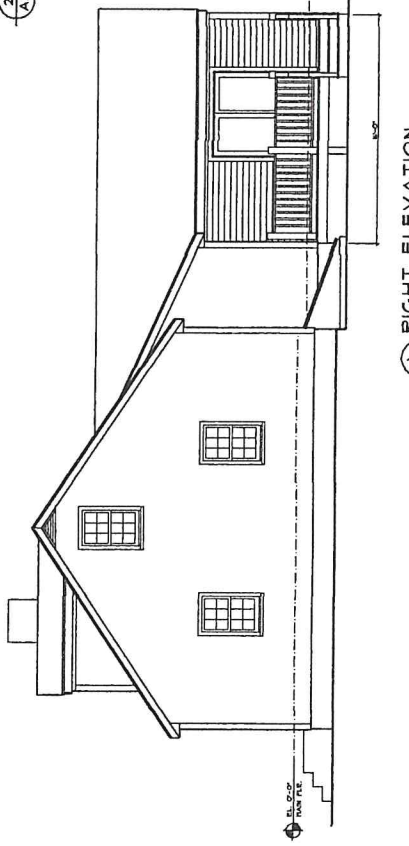
A2
SHEET NO.



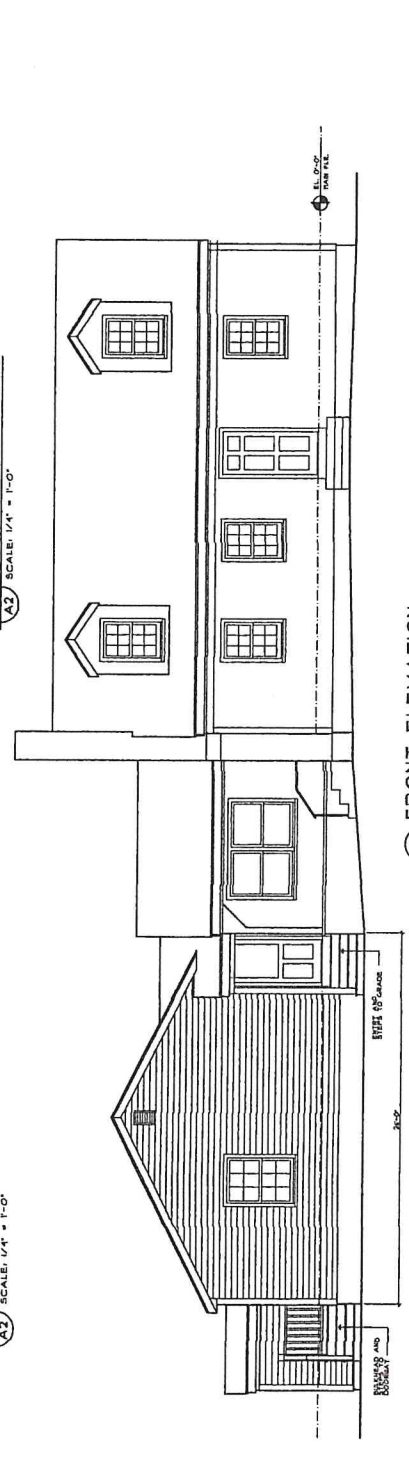
2 REAR ELEVATION
SCALE: 1/4" = 1'-0"



3 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



1 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



4 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



CAIRRAO RESIDENCE
8 COLT AVENUE
BRISTOL, RI 02809

MAP-LOT: 118-42
SIZE: 11,040 S.F.
ZONING: R-10

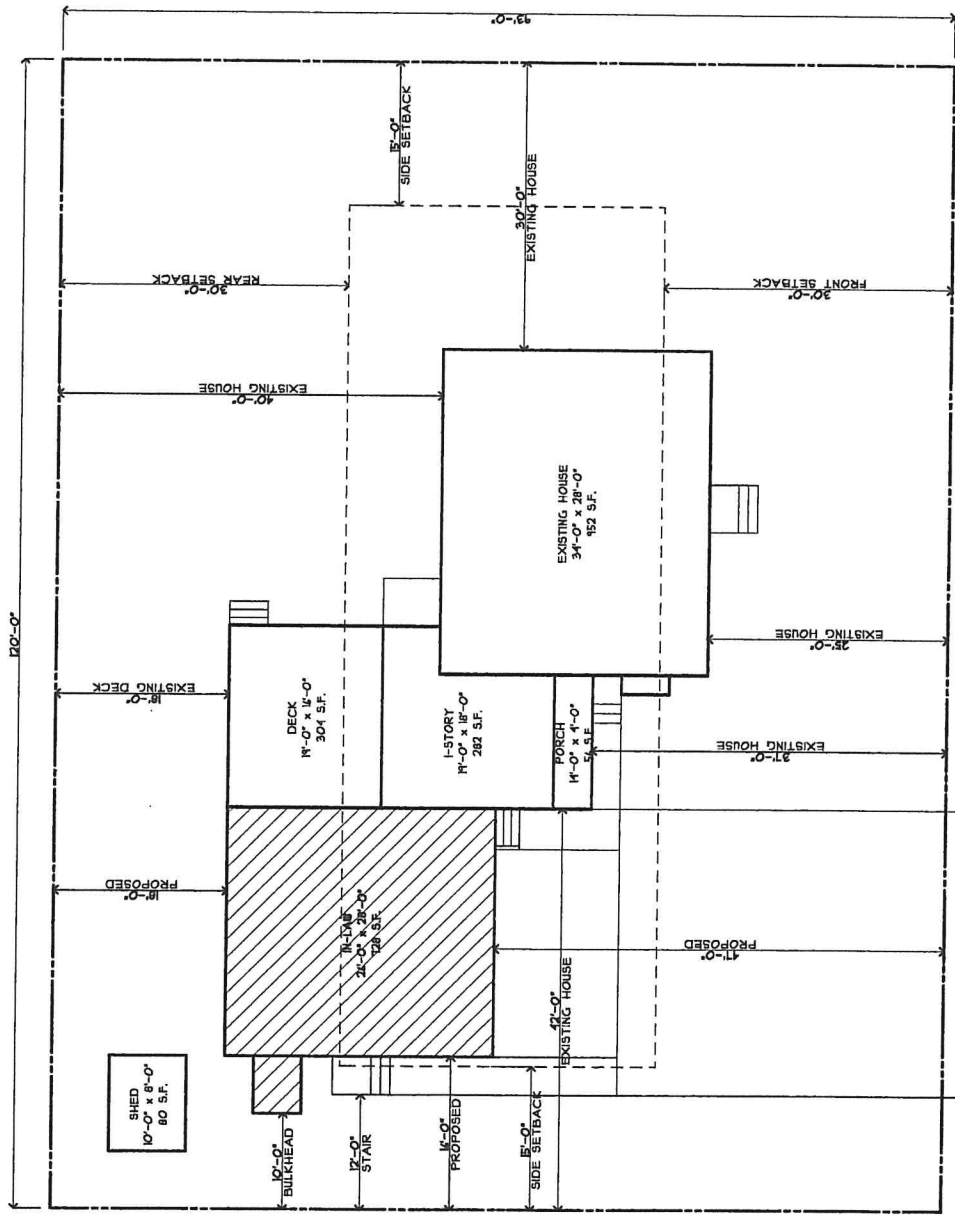
FRONT: 30'
REAR: 15'
SIDE: 30'

MAX. COVER: 25% OR 2,160 S.F.

BUILDING COVERAGE
80'-0" x 58'-0"
2,118 S.F.

EXISTING COVERAGE
18'-0" x 58'-0"
1,044 S.F.

ALL MEASUREMENTS SHOWN WERE
MEASURED IN FIELD USING REASONABLE
METHODS. PROPERTY LINE
USING ESTABLISHED PLANTINGS,
AND CURRENT LAND USAGE.
THIS IS NOT A PROFESSIONAL SURVEY.



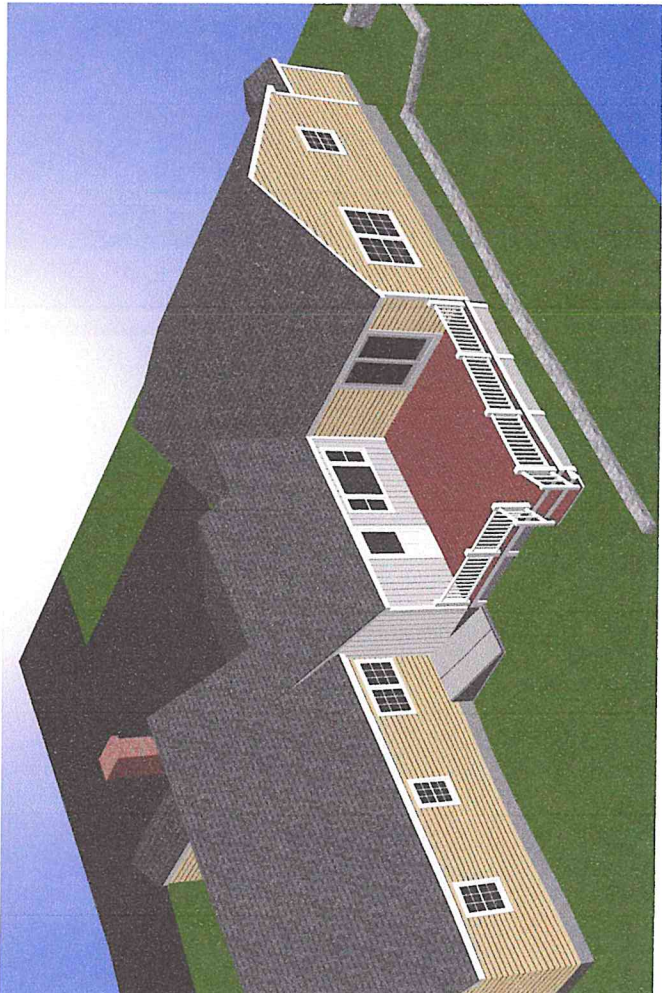
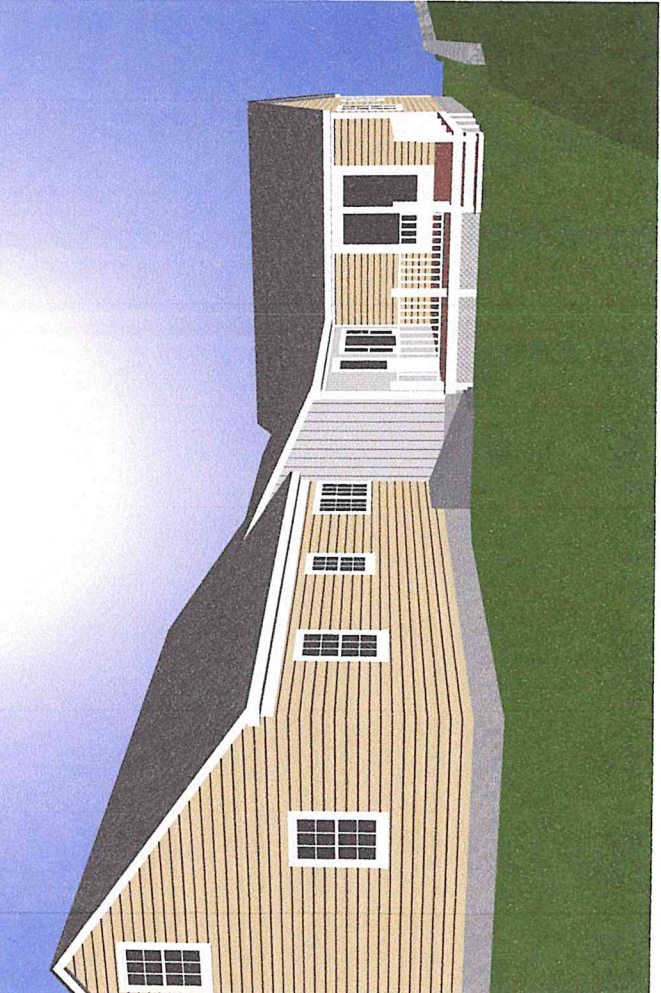
CAIRRAO RESIDENCE
8 COLT AVENUE
BRISTOL, RI 02808
PROPOSED: _____ DATE: 3/4/2025
SITE PLAN

S1

SITE PLAN
SCALE: 1" = 12'

COLT AVENUE





Owner ▶ Owner Account #: 03-0365-21

Owner	% Owned
Owner 1 CAIRRAO, JOHN T.	0.00
Owner 2 VIRGINIA M. TE	0.00
Owner 3	0.00

Address 8 COLT AVE, BRISTOL, RI 02809-0000

Previous Owners & Sales Information

Grantor	Date	Sale Price	Leg Ref	NAL	Deed Type

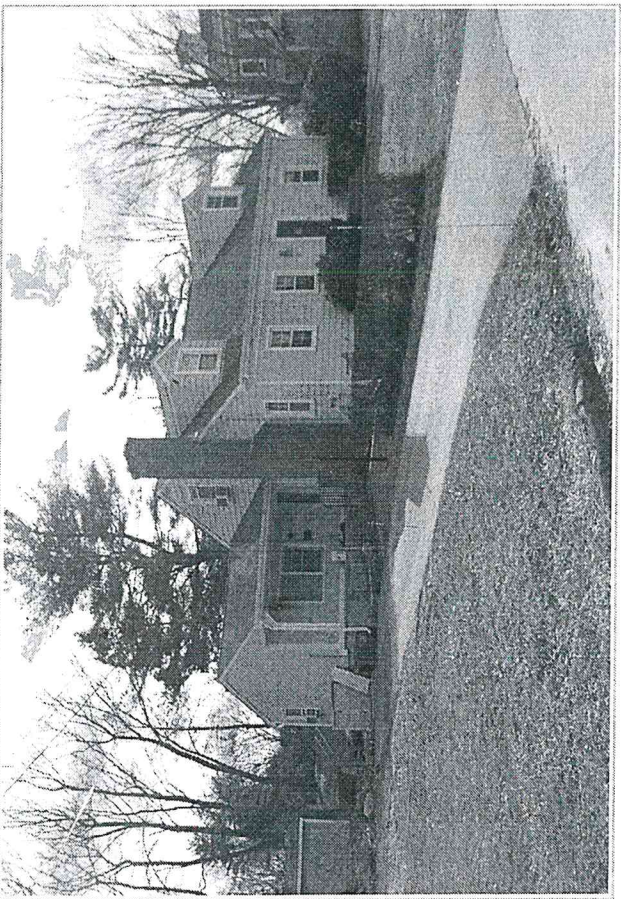
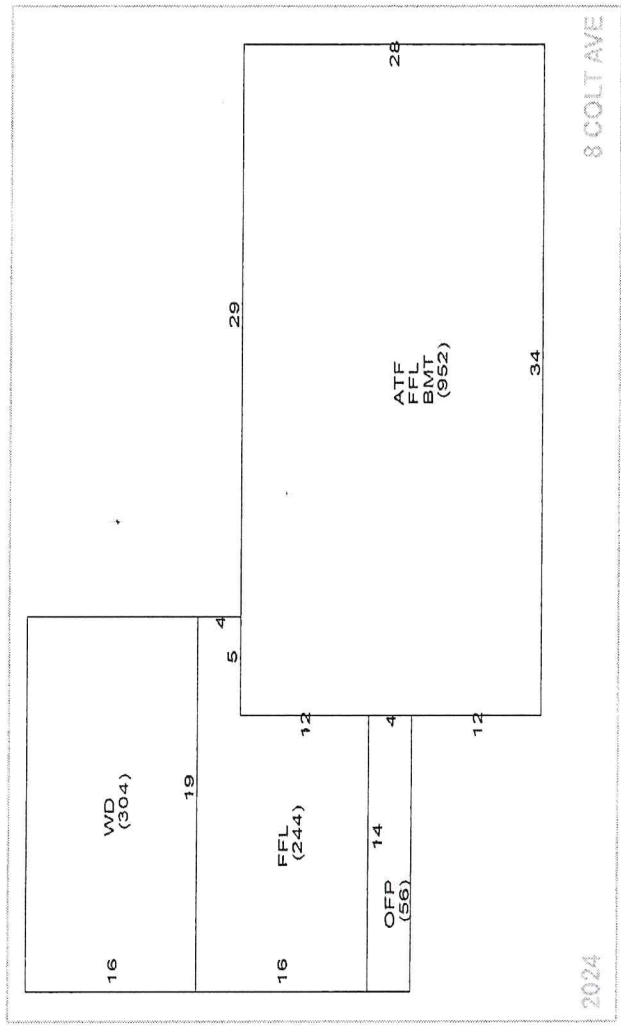
Assessment

Use Code	Bldg Value	SF/YI	Land Value	AG Credit	Assessed Value
01	187,600	0	156,600	0	344,200
TOTAL	187,600	0	156,600	0	344,200

Source > Mkt Adj Cost VAL per SQ Unit/Card > 119.15 VAL per SQ Unit/Parcel > 119.15

Previous Assessments

Year	LUC	Building	SF/YI	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2024	01	187,600	0	0	156,600	0	344,200	344,200
2023	01	187,600	0	0	156,600	0	344,200	344,200
2022	01	187,600	0	0	156,600	0	344,200	344,200
2021	01	152,300	0	0	131,100	0	283,400	283,400
2020	01	152,300	0	0	131,100	0	283,400	283,400
2019	01	152,300	0	0	131,100	0	283,400	283,400



Land Information

Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh	Inf 1 %	Inf 2 %	Inf 3 %	Appr Value	Spec Land	Juris	Fact	Use Value
1 01 Single Fam	0.22957	AC	P	1.00	555,000	664,721	E				152,600			1.00	0
2 01 Single Fam	0.02388	AC	EX	0.20	555,000	167,504	E				4,000			1.00	0
3															
4															

Building Information

Table with columns: Description, Story Height, 1 Story Attic Finish, COM Units, BMT Floor, Frame 2, EXT Wall 2, Roof Type 2, Roof Cover 2, INT Wall 2, Floors 2, Laminate, BMT Garages, Plumbing, Insulation, Heat Fuel, Heat Type, BB Hot Water, # Heat Sys, % Heated, % A/C, % Solar HW, % COM Wall, % Vacuum, Ceil HIGHT, Ceiling Type, % Sprinkled, Parking Type, EXT View

Grade

Table with columns: Grade, Q4, 1960 EFF Year, Alt LUC, Q4, Alt %

Depreciation

Table with columns: Code, Description, AV, AV - Average, %

Remodeling History

Table with columns: Additions, Plumbing, Electric, Heating, General, Bath(s)

Condo Data

Table with columns: Complex, Location, Tot Units, FL Level, # Floors, Bldg Seq

Notes

Sub-Area Detail

Table with columns: Code, Description, Area, Fin. Area, Rate, Undep Val

Visit History

Table with columns: Date, Result, By

Building Permits

Table with columns: Issue Date, Permit #, Closed Date, BP Type, Est. Cost, Status, Description/Directions

Special Features & Yard Items

Table with columns: Use, Description, A, Y/S, Qty, Length, Width, SF Size, Quality, Condition, Year, Assessed Value

Room Counts by Floor

Table with columns: Units, # Rooms, # Bedrooms, Floor Level



8 Colt Avenue

Bristol, RI

1 inch = 71 Feet

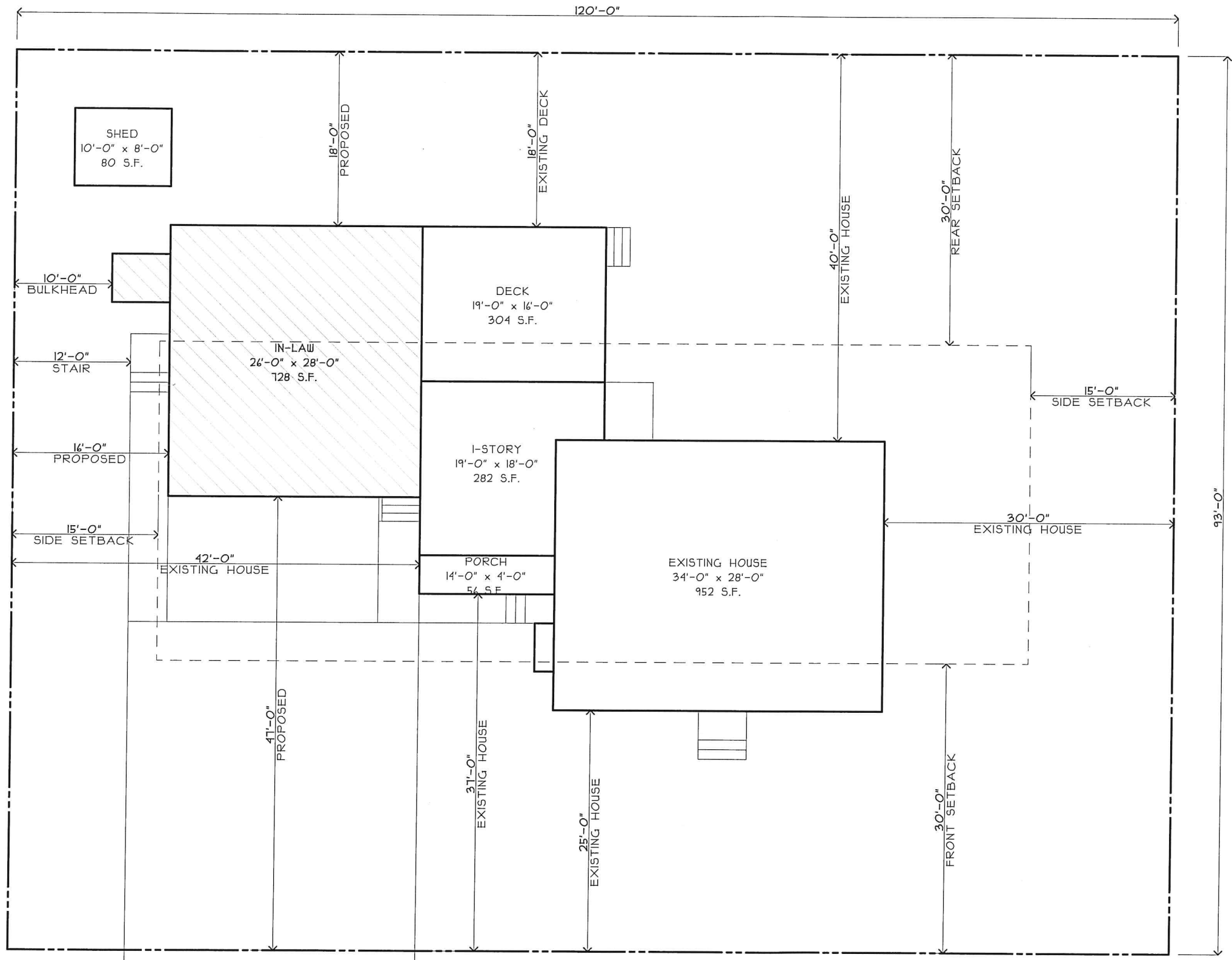


www.cai-tech.com

March 10, 2025



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



CAIRRAO RESIDENCE
8 COLT AVENUE
BRISTOL, RI 02809

MAP-LOT: 118-62
SIZE: 11,040 S.F.
ZONING: R-10

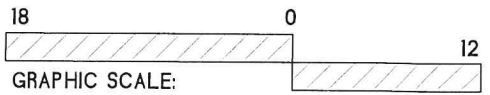
FRONT: 30'
REAR: 15'
SIDE: 30'

MAX. COVER: 25% OR 2,760 S.F.

BUILDING COVERAGE
80'-0" x 58'-0"
2418 S.F.

EXISTING COVERAGE
48'-0" x 58'-0"
1672 S.F.

ALL MEASUREMENTS SHOWN WERE MEASURED IN FIELD USING REASONABLE ASSUMPTIONS FOR PROPERTY LINE USING ESTABLISHED FENCES, PLANTINGS, AND CURRENT LAND USAGE. THIS IS NOT A PROFESSIONAL SURVEY.

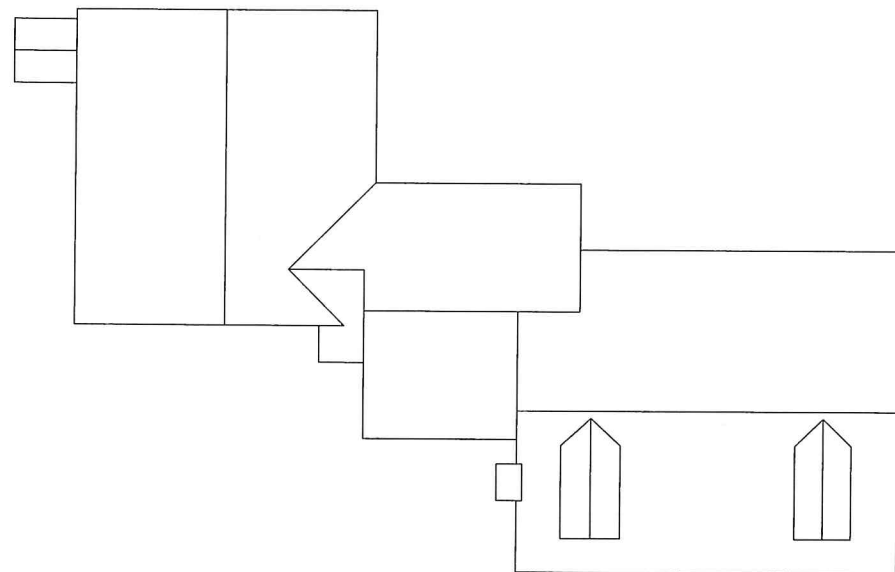


COLT AVENUE

SITE PLAN
SCALE: 1" = 12'

CAIRRAO RESIDENCE
8 COLT AVENUE
BRISTOL, RI 02809
PROPOSED: _____ DATE: 3/4/2025
SITE PLAN

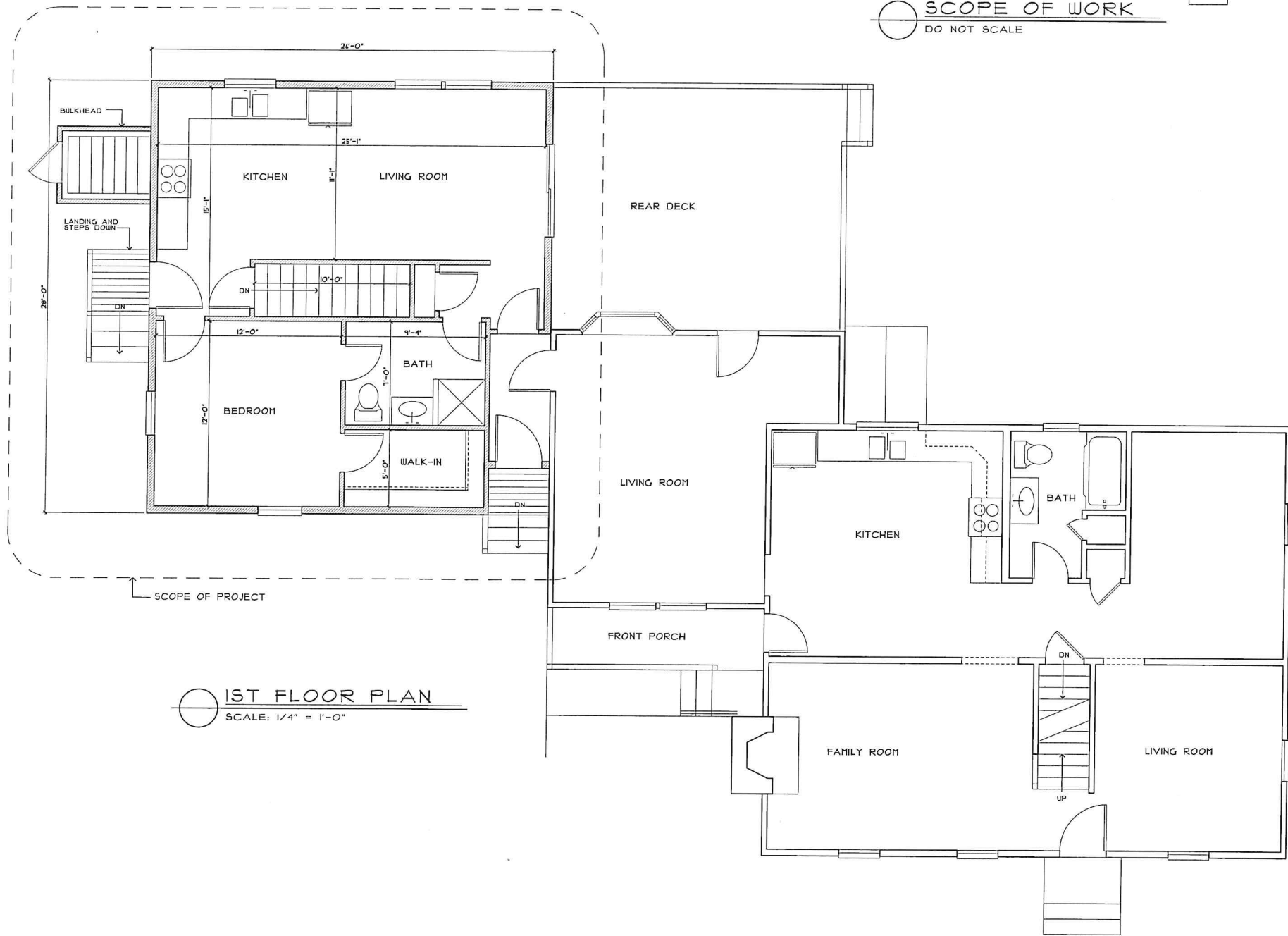
S1



ROOF PLAN
DO NOT SCALE



SCOPE OF WORK
DO NOT SCALE



1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

MacCADD
Drafting
& Design



BRISTOL, RI
02809

e-mail
MacCADD@aol.com

CAIRRAO
RESIDENCE



8 COLT AVENUE
BRISTOL, RI
02809

DATE: 3/4/20025

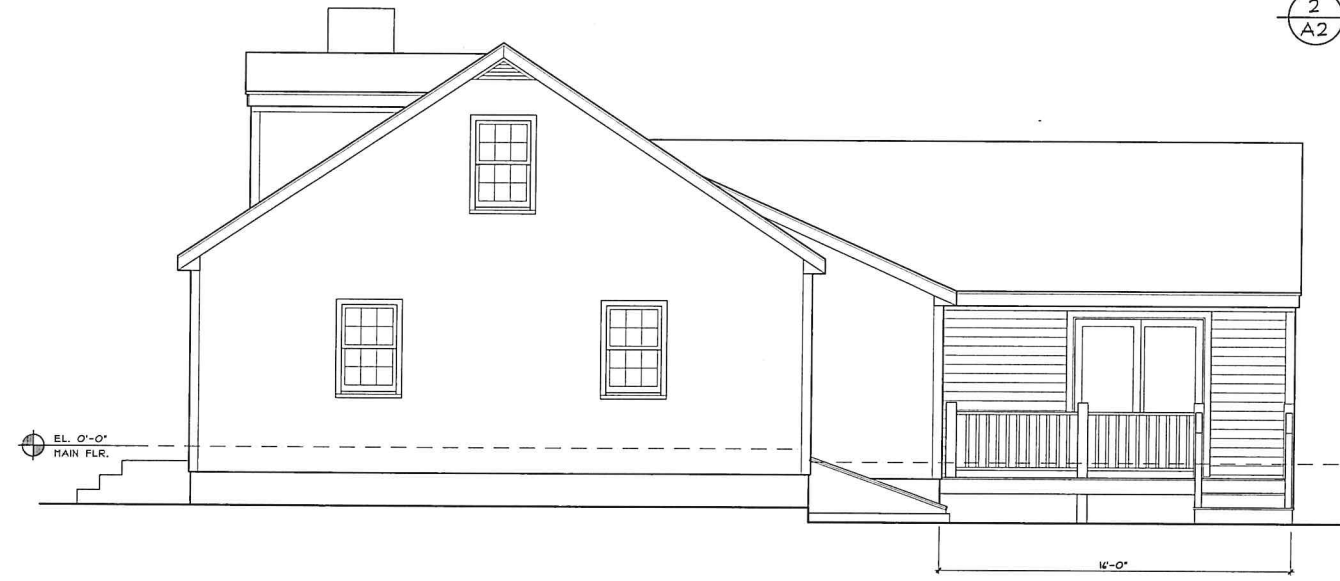
REVISIONS:

A1

SHEET NO.



2 REAR ELEVATION
A2 SCALE: 1/4" = 1'-0"



1 RIGHT ELEVATION
A2 SCALE: 1/4" = 1'-0"



3 LEFT ELEVATION
A2 SCALE: 1/4" = 1'-0"



4 FRONT ELEVATION
A2 SCALE: 1/4" = 1'-0"

MacCADD
Drafting
& Design



BRISTOL, RI
02809

e-mail
MacCADD@aol.com

CAIRRAO
RESIDENCE



8 COLT AVENUE
BRISTOL, RI
02809

DATE: 3/4/20025

REVISIONS:

A2
SHEET NO:

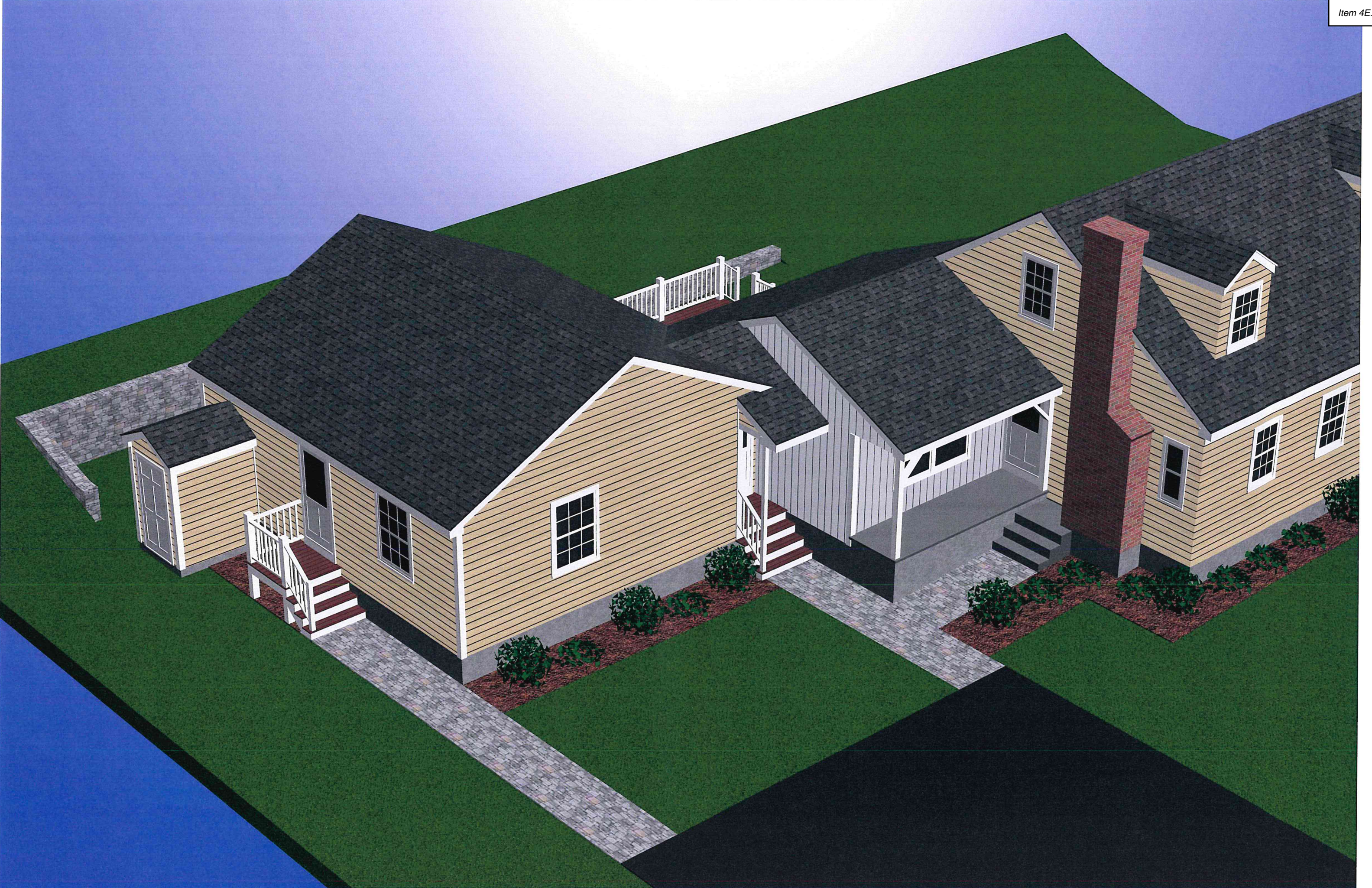


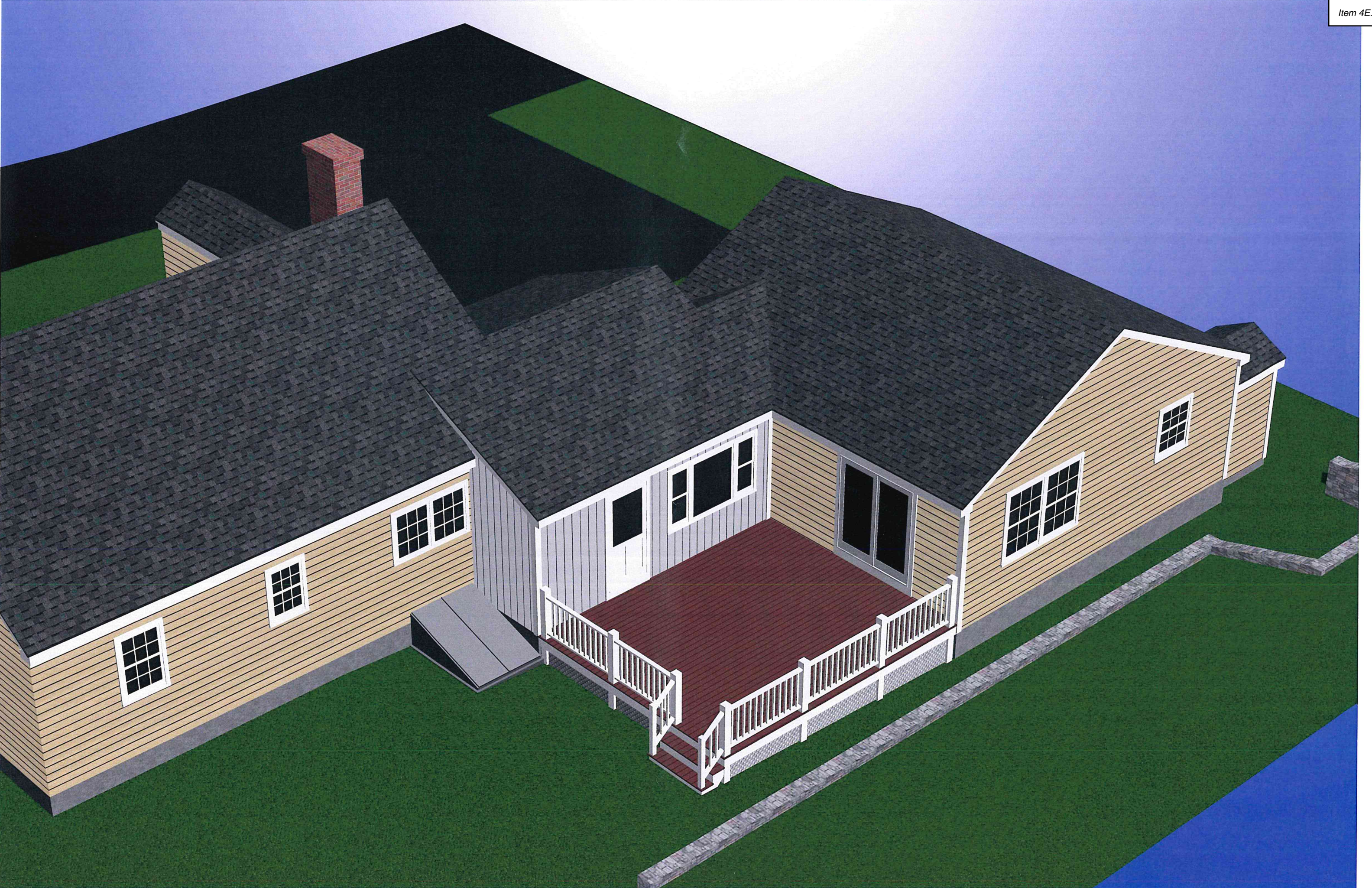














8 Colt Ave - 300' Radius

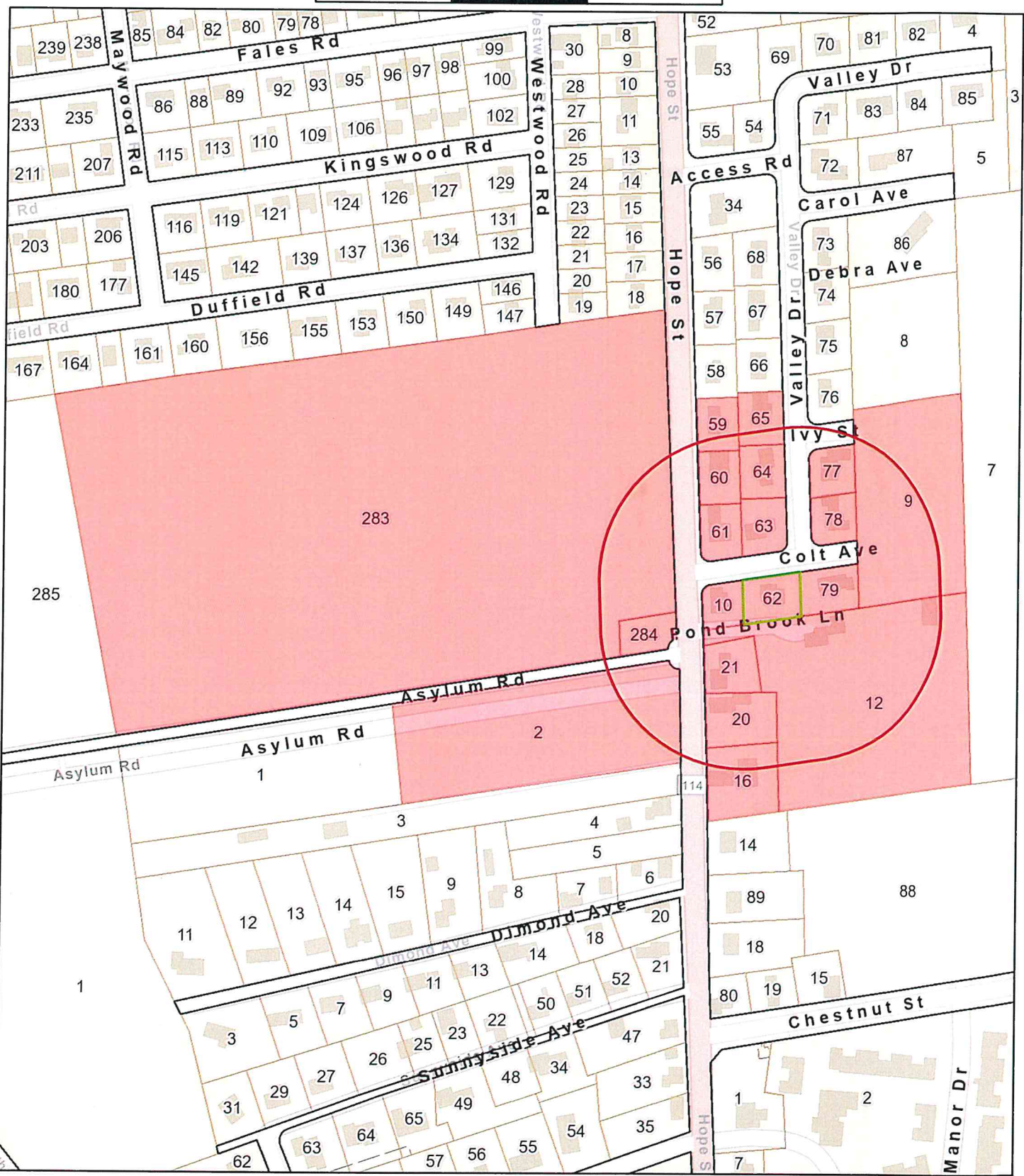
Bristol, RI

1 inch = 282 Feet



www.cai-tech.com

March 11, 2025



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Subject Property:

Parcel Number: 118-62
CAMA Number: 118-62
Property Address: 8 COLT AVE

Mailing Address: CAIRRAO, JOHN T. VIRGINIA M. TE
8 COLT AVE
BRISTOL, RI 02809

Abutters:

Parcel Number: 118-10
CAMA Number: 118-10
Property Address: 1072 HOPE ST

Mailing Address: SALZILLO, SANDRA & PEKNIC,
CHRISTOPHER TE
1072 HOPE ST
BRISTOL, RI 02809

Parcel Number: 118-12
CAMA Number: 118-12
Property Address: 1 POND BROOK LN

Mailing Address: WASKIEWICZ, MADLYN ET UX MATHEW
R.
1 POND BROOK LANE
BRISTOL, RI 02809

Parcel Number: 118-16
CAMA Number: 118-16
Property Address: 1064 HOPE ST

Mailing Address: 1064 HOPE STREET REALTY, LLC
851 HIGHLAND AVE
FALL RIVER, MA 02720

Parcel Number: 118-20
CAMA Number: 118-20
Property Address: 1068 HOPE ST

Mailing Address: LANDAY, SANDRA C. LIFE ESTATE
LANDAY, NESSER, S. TRST
1068 HOPE ST
BRISTOL, RI 02809

Parcel Number: 118-21
CAMA Number: 118-21
Property Address: 1070 HOPE ST

Mailing Address: LAKE, STEPHEN M & LAUREN M TE
1070 HOPE ST
BRISTOL, RI 02809

Parcel Number: 118-59
CAMA Number: 118-59
Property Address: 1086 HOPE ST

Mailing Address: HARVEY, HEIDI L & WALTER I TE
1086 HOPE ST
BRISTOL, RI 02809

Parcel Number: 118-60
CAMA Number: 118-60
Property Address: 1084 HOPE ST

Mailing Address: TRAVASSOS, MARY LE TRAVASSOS,
ALBANO
1084 HOPE ST
BRISTOL, RI 02809

Parcel Number: 118-61
CAMA Number: 118-61
Property Address: 1080 HOPE ST

Mailing Address: BLACK, ROBERT A & MARIA I TE
1080 HOPE ST
BRISTOL, RI 02809

Parcel Number: 118-62
CAMA Number: 118-62
Property Address: 8 COLT AVE

Mailing Address: CAIRRAO, JOHN T. VIRGINIA M. TE
8 COLT AVE
BRISTOL, RI 02809

Parcel Number: 118-63
CAMA Number: 118-63
Property Address: 5 COLT AVE

Mailing Address: CASTRO, EDWARD & RACHEL
TRUSTEES
5 COLT AVE
BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Parcel Number: 118-64 CAMA Number: 118-64 Property Address: 5 VALLEY DR	Mailing Address: RALPH NATALE JR LE NATALE, MATTHEW B. & 5 VALLEY DR BRISTOL, RI 02809
Parcel Number: 118-65 CAMA Number: 118-65 Property Address: 9 VALLEY DR	Mailing Address: ALVI, HAYAT 9 VALLEY DR BRISTOL, RI 02809
Parcel Number: 118-77 CAMA Number: 118-77 Property Address: 6 VALLEY DR	Mailing Address: LEMA, JERRY A. 6 VALLEY DRIVE BRISTOL, RI 02809
Parcel Number: 118-78 CAMA Number: 118-78 Property Address: 2 VALLEY DR	Mailing Address: SQUATRITO, JOSEPH M. 2 VALLEY DR BRISTOL, RI 02809
Parcel Number: 118-79 CAMA Number: 118-79 Property Address: 10 COLT AVE	Mailing Address: COSTA, KEVIN 10 COLT AVE BRISTOL, RI 02809
Parcel Number: 118-9 CAMA Number: 118-9 Property Address: IVY LN	Mailing Address: WASKIEWICZ, MADLYN M. POND BROOK LN BRISTOL, RI 02809
Parcel Number: 80-283 CAMA Number: 80-283 Property Address: 1081 HOPE ST	Mailing Address: NORTH BURIAL GROUND TOWN OF BRISTOL 1081 HOPE ST BRISTOL, RI 02809
Parcel Number: 80-284 CAMA Number: 80-284 Property Address: STATE	Mailing Address: DEM PARKS AND RECREATION 1100 TOWER HILL RD ATTN: KIMBERLY LAPIERRE NORTH KINGSTOWN, RI 02852
Parcel Number: 82-2 CAMA Number: 82-2 Property Address: STATE	Mailing Address: DEM PARKS AND RECREATION 1100 TOWER HILL RD ATTN: KIMBERLY LAPIERRE NORTH KINGSTOWN, RI 02852



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

3/11/2025

Page 2 of 2

1064 HOPE STREET REALTY,
851 HIGHLAND AVE
FALL RIVER, MA 02720

LEMA, JERRY A.
6 VALLEY DRIVE
BRISTOL, RI 02809

ALVI, HAYAT
9 VALLEY DR
BRISTOL, RI 02809

NORTH BURIAL GROUND
TOWN OF BRISTOL
1081 HOPE ST
BRISTOL, RI 02809

BLACK, ROBERT A &
MARIA I TE
1080 HOPE ST
BRISTOL, RI 02809

RALPH NATALE JR LE
NATALE, MATTHEW B. &
5 VALLEY DR
BRISTOL, RI 02809

CAIRRAO, JOHN T.
VIRGINIA M. TE
8 COLT AVE
BRISTOL, RI 02809

SALZILLO, SANDRA &
PEKNIC, CHRISTOPHER TE
1072 HOPE ST
BRISTOL, RI 02809

CASTRO, EDWARD &
RACHEL TRUSTEES
5 COLT AVE
BRISTOL, RI 02809

SQUATRITO, JOSEPH M.
2 VALLEY DR
BRISTOL, RI 02809

COSTA, KEVIN
10 COLT AVE
BRISTOL, RI 02809

TRAVASSOS, MARY LE
TRAVASSOS, ALBANO
1084 HOPE ST
BRISTOL, RI 02809

DEM PARKS AND RECREATION
1100 TOWER HILL RD
ATTN: KIMBERLY LAPIERRE
NORTH KINGSTOWN, RI 02852

WASKIEWICZ, MADLYN ET UX
MATHEW R.
1 POND BROOK LANE
BRISTOL, RI 02809

HARVEY, HEIDI L &
WALTER I TE
1086 HOPE ST
BRISTOL, RI 02809

WASKIEWICZ, MADLYN M.
POND BROOK LN
BRISTOL, RI 02809

LAKE, STEPHEN M & LAUREN
1070 HOPE ST
BRISTOL, RI 02809

LANDAY, SANDRA C. LIFE ES
LANDAY, NESSER, S. TRST
1068 HOPE ST
BRISTOL, RI 02809



Town of Bristol, Rhode Island
Department of Community Development
Zoning Board of Review

TOWN OF BRISTOL
COMMUNITY DEV.

2025 MAR -7 PM 1:52

APPLICATION

File No: 2025-13
Accepted by ZEO: ECTT 3/10/25

APPLICANT:	Name:	LARRY OLIVER - L&R PROPERTIES		
	Address:	97 Cottage St		
	City:	Pawtucket	State:	RI Zip: 02860
	Phone #:		Email:	
PROPERTY OWNER:	Name:	L&R PROPERTIES		
	Address:	97 Cottage St		
	City:	Pawtucket	State:	RI Zip: 02860
	Phone #:	401-481-4922	Email:	REARVIEWREALTY@gmail.com

1. Location of subject property: 92 King Phillip Ave.
 Assessor's Plat(s) #: 147 Lot(s) #: 0077

2. Zoning district in which property is located: R10

3. Zoning Approval(s) required (check all that apply):
 Dimensional Variance(s) Special Use Permit Use Variance

4. Which particular provisions of the Zoning Ordinance is applicable to this application?
 Dimensional Variance Section(s): _____
 Special Use Permit Section(s): 28-150 (EEF)
 Use Variance Section(s): _____

5. In a separate written statement (attach to this application), please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.

6. How long have you owned the property? 2 years

7. Present use of property: Vacant land

8. Is there a building on the property at present? NO

9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet): N/A

10. Proposed use of property: Single Family Residence

11. Give extent of proposed alterations: Build Single Family Residence

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet):
28' x 46' 1558 SF

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

Front lot line(s):	Required Setback: _____	Proposed Setback: _____
Left side lot line:	Required Setback: _____	Proposed Setback: _____
Right side lot line:	Required Setback: _____	Proposed Setback: _____
Rear lot line:	Required Setback: _____	Proposed Setback: _____
Building height:	Required: _____	Proposed: _____

Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):
Required: _____ Proposed: _____

13. Number of families before/after proposed alterations: 1 Before 1 After

14. Have you submitted plans for the above alterations to the Building Official? Yes
If yes, has he refused a permit? Yes
If refused, on what grounds? Building Height in a Flood Zone

15. Are there any easements on your property? NO (If yes, their location must be shown on site plan)

16. Which public utilities service the property? Water: Sewer:

17. Is the property located in the Bristol Historic District or is it an individually listed property? NO

18. Is the property located in a flood zone? NO if yes, which one?: _____

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: [Signature] Date: 3-4-2025

Print Name: Larry Oliver

Property Owner's Signature: [Signature] Date: 3-4-2025

Print Name: Larry Oliver

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: John M. Lannan Phone #: 401-808-0111

Address: 34 Broadcommon Rd Bristol, RI

Owner ▶ Owner Account #: 50-0086-25 % Owned
 Owner 1 L&R PROPERTIES, LLC
 Owner 2
 Owner 3
 Address 21400 SHERIDAN RUN, ESTERO, FL 33928

Previous Owners & Sales Information

Grantor	Date	Sale Price	Leg Ref	NAL	Deed Type
GARNER, HAROLD J & REBECCA C TE	04/01/2024	535,000	2240-149		W
CARON, JOSEPH WILLIAM &	09/01/2021	470,000	2131-48		W
SHAW, ROBERT I. ET AL	05/07/2019	369,900	1980-287	K	W

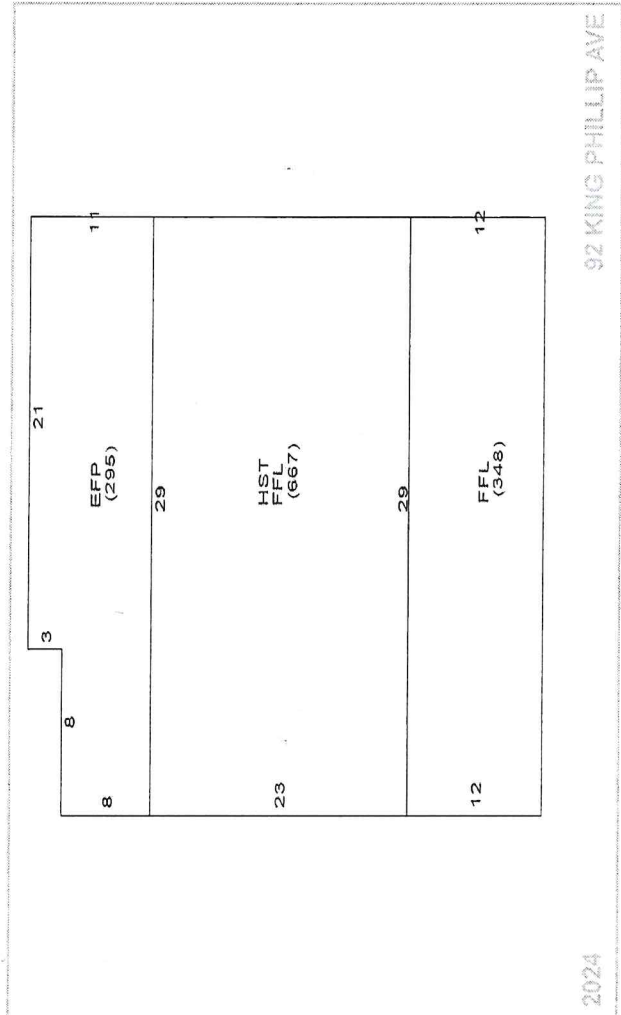
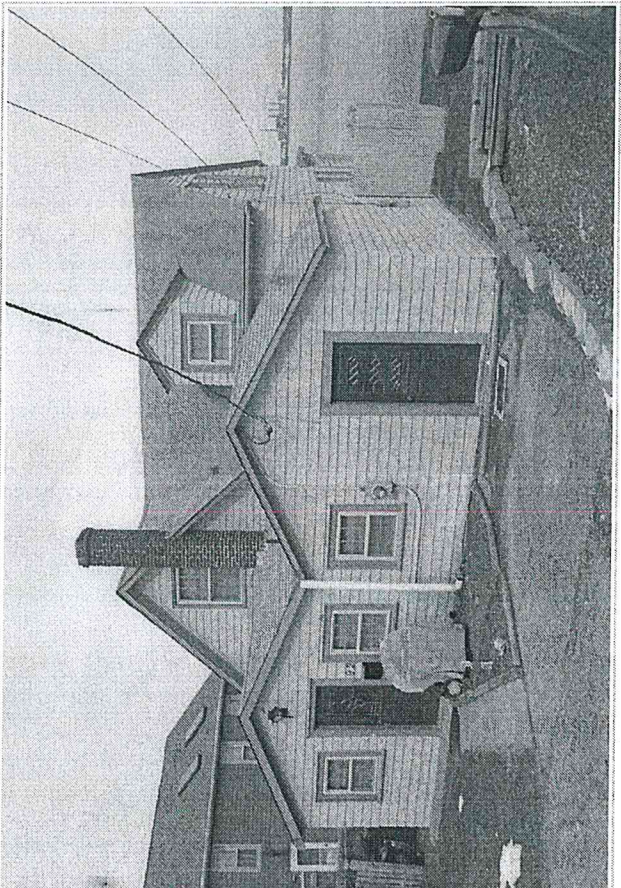
Assessment

Use Code	Bldg Value	SFYI Value	Land Size	Land Value	AG Credit	Assessed Value
01	36,600	0	0.19	414,100	0	450,700
TOTAL	36,600	0	0.19	414,100	0	450,700

Source > Mkt Adj Cost VAL per SQ Unit/Card > 274.23 VAL per SQ Unit/Parcel > 274.23

Previous Assessments

Year	LUC	Building	SFYI	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2024	01	36,600	0	0	414,100	0	450,700	450,700
2023	11	36,600	0	0	414,100	0	450,700	450,700
2022	11	36,600	0	0	414,100	0	450,700	450,700
2021	11	109,000	0	0	381,200	0	490,200	490,200
2020	11	121,100	0	0	381,200	0	502,300	502,300
2019	11	121,100	0	0	381,200	0	502,300	502,300



Land Information

Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh	Inf 1	Inf 1 %	Inf 2	Inf 2 %	Inf 3	Inf 3 %	Appr Value	Spec Land	Juris	Fact	Use Value	
1 01 Single Fam	0.18641	AC	P	1.00	630,000	2,221,447	N	WF	200					414,100			1.00	0	
2																			
3																			
4																			

Plat/Lot 147-0077-000

Account: 7442

Zone R-10

Assessment \$450,700

Building Information

Description	Quantity	Quality
BLDG Type Convention	1	Typical
RES Units	0	
Foundation Concrete	1	Typical
Frame 1 Wood	1	Typical
EXT Wall 1 Wood Shingl	1	Typical
Roof Type 1 Gable	1	Typical
Roof Cover 1 Asphalt Shir	1	Typical
INT Wall 1 Panel	1	Typical
Floors 1 Carpet	1	Typical
BMT Garages	0	
Plumbing	0	
Insulation	0	
Heat Fuel Electric	0	
# Heat Sys	0	
% Solar HW	0	
% COM Wall	0	
Ceiling Type	0	
Parking Type	0	
EXT View	0	

Description	Quantity	Quality
Story Height 1 1/2 Story Finishes	0	
COM Units	0	
BMT Floor	0	
Frame 2	0	
EXT Wall 2	0	
Roof Type 2	0	
Roof Cover 2	0	
INT Wall 2 Plaster	0	
Floors 2 Vinyl	0	
Color	0	
Electrical	0	
INT vs EXT	0	
Heat Type BB Electric	0	
% Heated	0	
% A/C	0	
% Vacuum	0	
Ceiling Type	0	
% Sprinkled	0	

Description	Quantity	Quality
Full Bath	1	Typical
Ext Full Bath	0	
Half Bath	0	
Ext Half Bath	0	
Ext Fixtures	0	
Kitchens	1	Typical
Ext Kitchens	0	
Fireplaces	0	
W.S. Flues	1	Typical

Description	Quantity	Quality
Room Counts by Floor		
Units		
# Rooms		
# Bedrooms		
Floor Level		
1	8	5
2		
3		
4		
Totals	8	5

Other Factors

Flood Hazard	LEVEL
Topography	PAVED
Street	
Traffic	

Bas \$/SQ	Size Adj	Const Adj	Adj \$/SQ	Othr Featrs	Grade Fac	Neigh Infl	Land Factor	Adj Total	Depreciation	Depr Total
142.00	1.16	0.98	160.86	22,500	0.63	1.00	1.00	153,910	117,356	36,554

Code	Description	PR	PR - Poor	%
Condition				52.5
Functional				0.0
Economic				0.0
Special	01 - Under Ct			50.0
OV				

Code	Description	PR	PR - Poor	%
Condition				52.5
Functional				0.0
Economic				0.0
Special	01 - Under Ct			50.0
OV				

Code	Description	PR	PR - Poor	%
Condition				52.5
Functional				0.0
Economic				0.0
Special	01 - Under Ct			50.0
OV				

Code	Description	PR	PR - Poor	%
Condition				52.5
Functional				0.0
Economic				0.0
Special	01 - Under Ct			50.0
OV				

Code	Description	PR	PR - Poor	%
Condition				52.5
Functional				0.0
Economic				0.0
Special	01 - Under Ct			50.0
OV				

Code	Description	PR	PR - Poor	%
Condition				52.5
Functional				0.0
Economic				0.0
Special	01 - Under Ct			50.0
OV				

Code	Description	PR	PR - Poor	%
Condition				52.5
Functional				0.0
Economic				0.0
Special	01 - Under Ct			50.0
OV				

Code	Description	PR	PR - Poor	%
Condition				52.5
Functional				0.0
Economic				0.0
Special	01 - Under Ct			50.0
OV				

Code	Description	PR	PR - Poor	%
Condition				52.5
Functional				0.0
Economic				0.0
Special	01 - Under Ct			50.0
OV				

Code	Description	PR	PR - Poor	%
Condition				52.5
Functional				0.0
Economic				0.0
Special	01 - Under Ct			50.0
OV				

Code	Description	PR	PR - Poor	%
Condition				52.5
Functional				0.0
Economic				0.0
Special	01 - Under Ct			50.0
OV				

Code	Description	PR	PR - Poor	%
Condition				52.5
Functional				0.0
Economic				0.0
Special	01 - Under Ct			50.0
OV				

Code	Description	PR	PR - Poor	%
Condition				52.5
Functional				0.0
Economic				0.0
Special	01 - Under Ct			50.0
OV				

Code	Description	PR	PR - Poor	%
Condition				52.5
Functional				0.0
Economic				0.0
Special	01 - Under Ct			50.0
OV				

Code	Description	PR	PR - Poor	%
Condition				52.5
Functional				0.0
Economic				0.0
Special	01 - Under Ct			50.0
OV				

Sub-Area Detail

Code	Description	Area	Fin. Area	Rate	Undep Val
FFL	1st FLOOR	1,015	1,015	160.86	163,273
HST	HALF STORY	334	334	160.86	53,647
EFP	ENCL PORCH	295	0	16.55	4,882
Total		1,644	1,349		221,802

Code	Description	Area	Fin. Area	Rate	Undep Val
FFL	1st FLOOR	1,015	1,015	160.86	163,273
HST	HALF STORY	334	334	160.86	53,647
EFP	ENCL PORCH	295	0	16.55	4,882
Total		1,644	1,349		221,802

Code	Description	Area	Fin. Area	Rate	Undep Val
FFL	1st FLOOR	1,015	1,015	160.86	163,273
HST	HALF STORY	334	334	160.86	53,647
EFP	ENCL PORCH	295	0	16.55	4,882
Total		1,644	1,349		221,802

Code	Description	Area	Fin. Area	Rate	Undep Val
FFL	1st FLOOR	1,015	1,015	160.86	163,273
HST	HALF STORY	334	334	160.86	53,647
EFP	ENCL PORCH	295	0	16.55	4,882
Total		1,644	1,349		221,802

Code	Description	Area	Fin. Area	Rate	Undep Val
FFL	1st FLOOR	1,015	1,015	160.86	163,273
HST	HALF STORY	334	334	160.86	53,647
EFP	ENCL PORCH	295	0	16.55	4,882
Total		1,644	1,349		221,802

Code	Description	Area	Fin. Area	Rate	Undep Val
FFL	1st FLOOR	1,015	1,015	160.86	163,273
HST	HALF STORY	334	334	160.86	53,647
EFP	ENCL PORCH	295	0	16.55	4,882
Total		1,644	1,349		221,802

Code	Description	Area	Fin. Area	Rate	Undep Val
FFL	1st FLOOR	1,015	1,015	160.86	163,273
HST	HALF STORY	334	334	160.86	53,647
EFP	ENCL PORCH	295	0	16.55	4,882
Total		1,644	1,349		221,802

Code	Description	Area	Fin. Area	Rate	Undep Val
FFL	1st FLOOR	1,015	1,015	160.86	163,273
HST	HALF STORY	334	334	160.86	53,647
EFP	ENCL PORCH	295	0	16.55	4,882
Total		1,644	1,349		221,802

Code	Description	Area	Fin. Area	Rate	Undep Val
FFL	1st FLOOR	1,015	1,015	160.86	163,273
HST	HALF STORY	334	334	160.86	53,647
EFP	ENCL PORCH	295	0	16.55	4,882
Total		1,644	1,349		221,802

Code	Description	Area	Fin. Area	Rate	Undep Val
FFL	1st FLOOR	1,015	1,015	160.86	163,273
HST	HALF STORY	334	334	160.86	53,647
EFP	ENCL PORCH	295	0	16.55	4,882
Total		1,644	1,349		221,802

Code	Description	Area	Fin. Area	Rate	Undep Val
FFL	1st FLOOR	1,015	1,015	160.86	163,273
HST	HALF STORY	334	334	160.86	53,647
EFP	ENCL PORCH	295	0	16.55	4,882
Total		1,644	1,349		221,802

Code	Description	Area	Fin. Area	Rate	Undep Val
FFL	1st FLOOR	1,015	1,015	160.86	163,273
HST	HALF STORY	334	334	160.86	53,647
EFP	ENCL PORCH	295	0	16.55	4,882
Total		1,644	1,349		221,802

Code	Description	Area	Fin. Area	Rate	Undep Val
FFL	1st FLOOR	1,015	1,015	160.86	163,273
HST	HALF STORY	334	334	160.86	53,647
EFP	ENCL PORCH	295	0	16.55	4,882
Total		1,644	1,349		221,802

Code	Description	Area	Fin. Area	Rate	Undep Val
FFL	1st FLOOR	1,015	1,015	160.86	163,273
HST	HALF STORY	334	334	160.86	53,647
EFP	ENCL PORCH	295	0	16.55	4,882
Total		1,644	1,349		221,802

Code	Description	Area	Fin. Area	Rate	Undep Val
FFL	1st FLOOR	1,015	1,015	1	



92 King Phillip Avenue

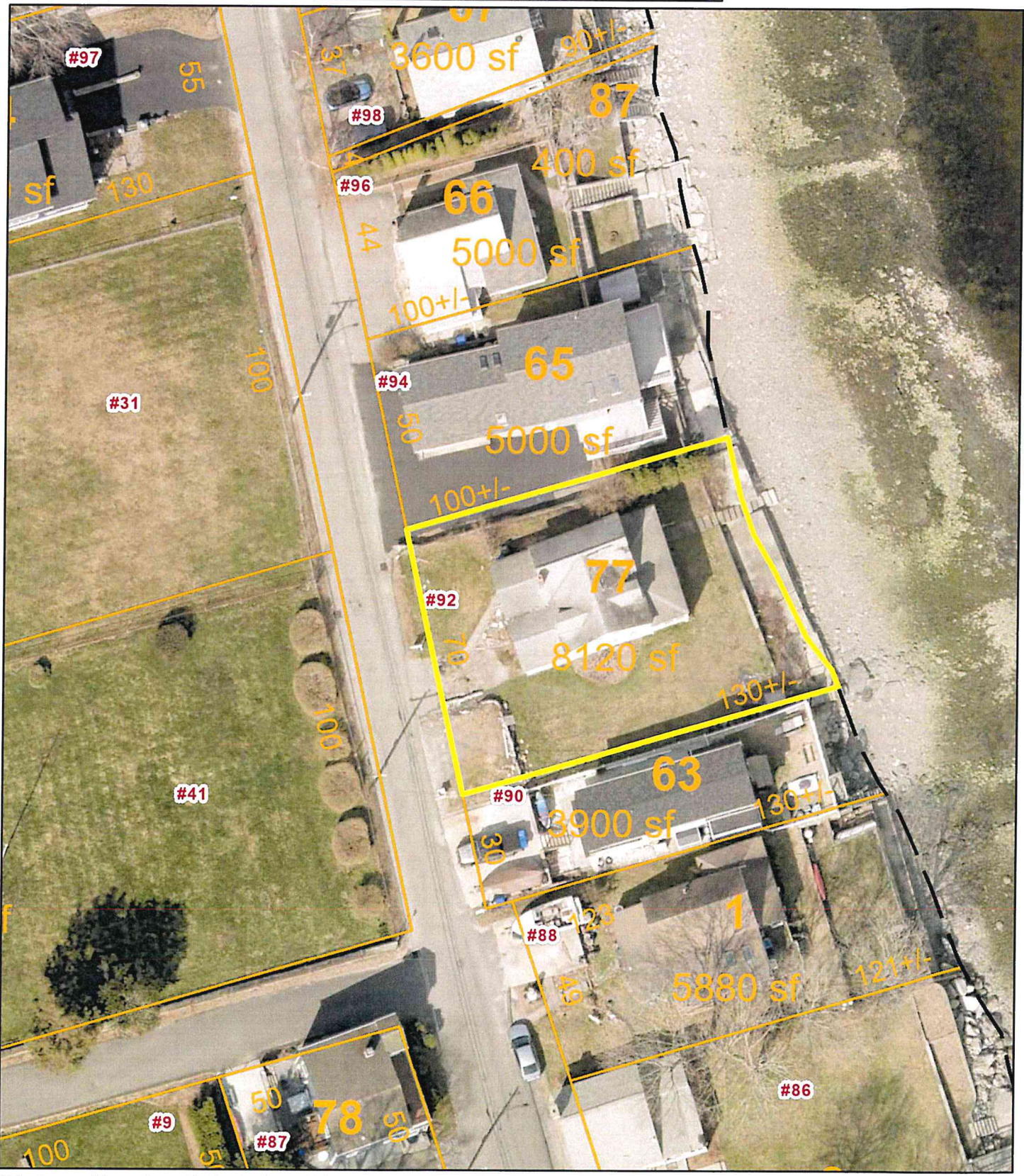
Bristol, RI



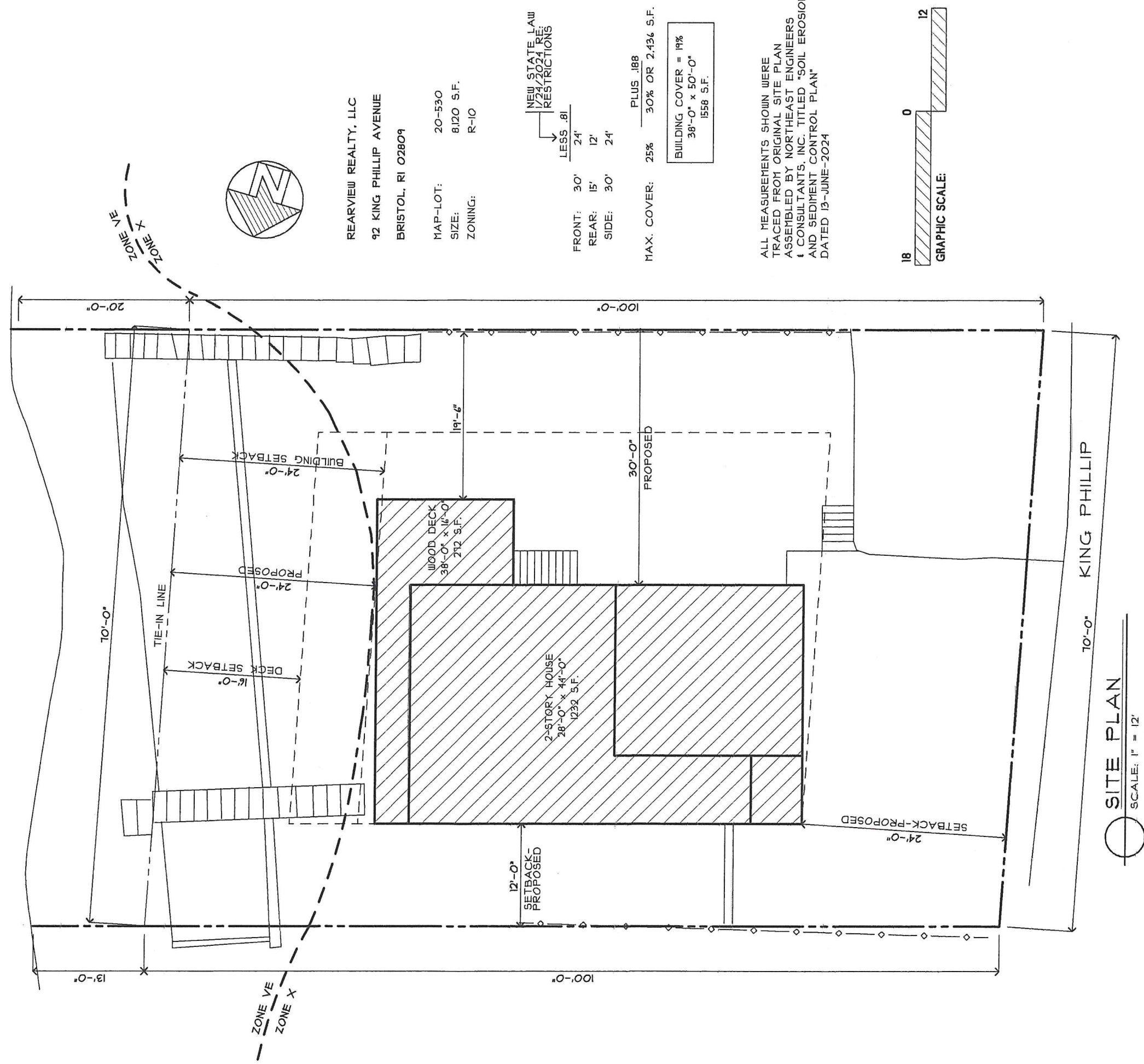
1 inch = 36 Feet

www.cai-tech.com

March 10, 2025



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



REARVIEW REALTY, LLC
 92 KING PHILLIP AVENUE
 BRISTOL, RI 02809

MAP-LOT: 20-530
 SIZE: 8120 S.F.
 ZONING: R-10

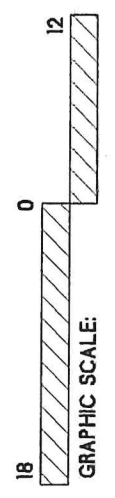
NEW STATE LAW
 2/2/2024 RE:
 RESTRICTIONS

LESS .81
 FRONT: 30'
 REAR: 15'
 SIDE: 30'

MAX. COVER: 25% PLUS .188
 30% OR 2,436 S.F.

BUILDING COVER = 19%
 38'-0" x 50'-0"
 1556 S.F.

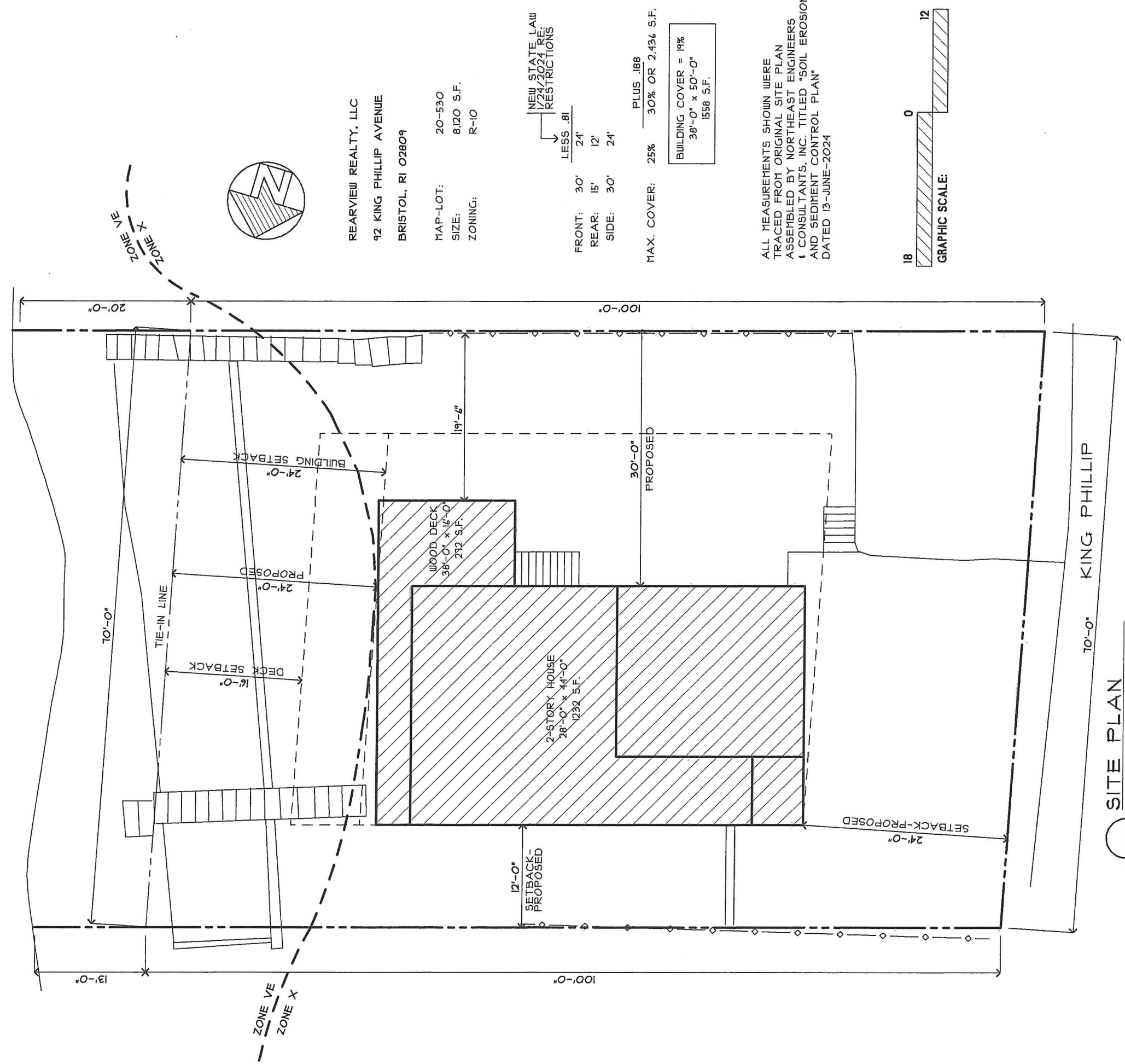
ALL MEASUREMENTS SHOWN WERE
 TRACED FROM ORIGINAL SITE PLAN
 ASSEMBLED BY NORTHEAST ENGINEERS
 & CONSULTANTS, INC. TITLED "SOIL EROSION
 AND SEDIMENT CONTROL PLAN"
 DATED 13-JUNE-2024



SITE PLAN
 SCALE: 1" = 12'

REARVIEW REALTY, LLC
 92 KING PHILLIP AVENUE
 BRISTOL, RI 02809
 PROPOSED: _____ DATE: 3/6/2025
 SITE PLAN

S1



REARVIEW REALTY, LLC
 92 KING PHILLIP AVENUE
 BRISTOL, RI 02809

MAP-LOT: 20-530
 SIZE: 8,120 S.F.
 ZONING: R-10

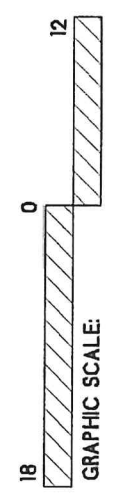
NEW STATE LAW
 1/24/2024 RE:
 RESTRICTIONS

LESS .81
 FRONT: 30' 24'
 REAR: 15' 12'
 SIDE: 30' 24'

MAX. COVER: 25% PLUS .188 30% OR 2,436 S.F.

BUILDING COVER = 19%
 38'-0" x 50'-0"
 1558 S.F.

ALL MEASUREMENTS SHOWN WERE
 TRACED FROM ORIGINAL SITE PLAN
 ASSEMBLED BY NORTHEAST ENGINEERS
 & CONSULTANTS, INC. TITLED "SOIL EROSION
 AND SEDIMENT CONTROL PLAN"
 DATED 13-JUNE-2024



SITE PLAN
 SCALE: 1" = 12'

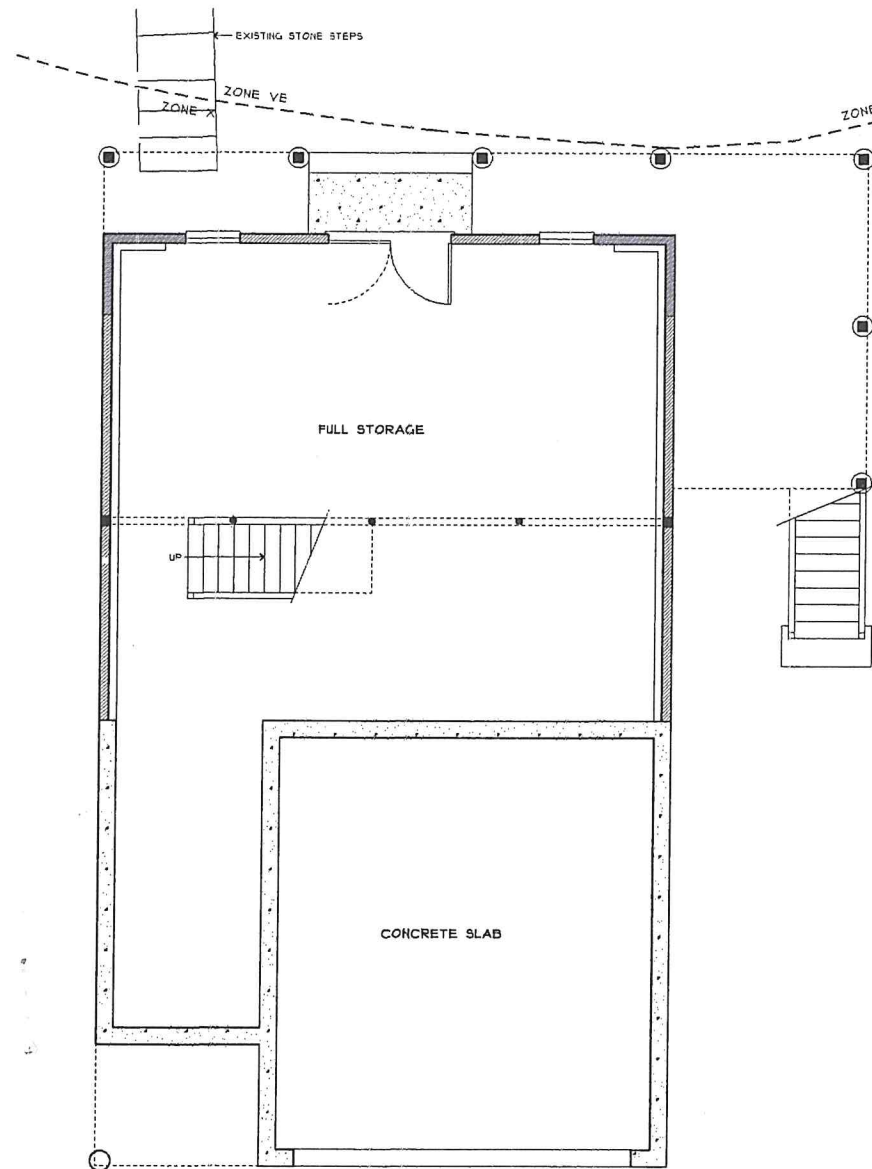
REARVIEW REALTY, LLC
 92 KING PHILLIP AVENUE
 BRISTOL, RI 02809
 PROPOSED: _____ DATE: _____
 SITE PLAN 3/6/2025

S1

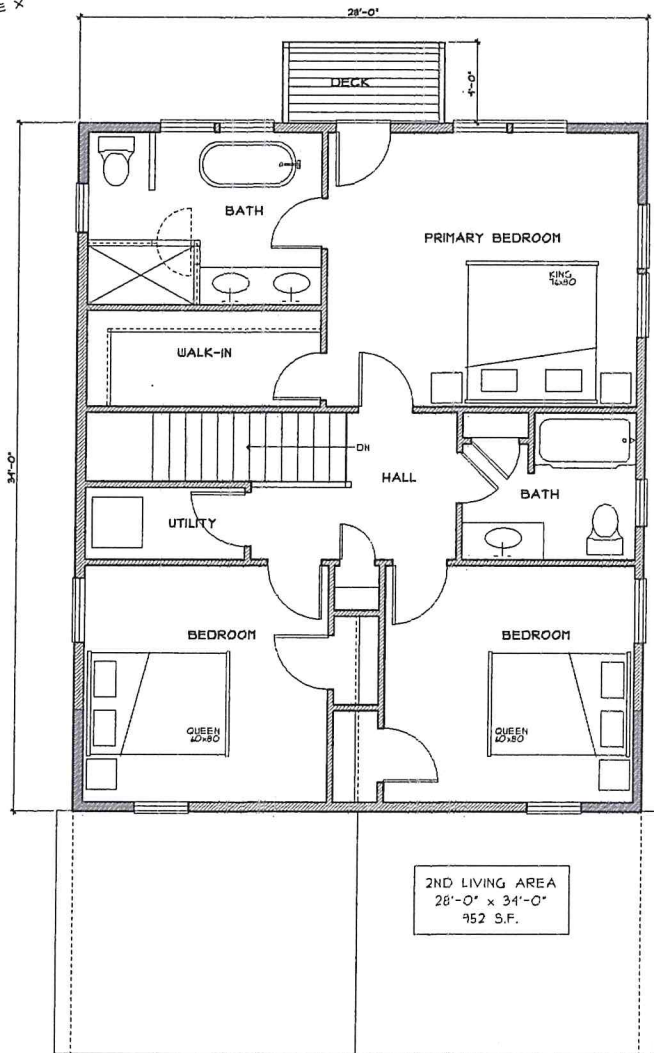
NEW RESIDENCE

92 KING PHILLIP AVENUE - BRISTOL, RI 02809

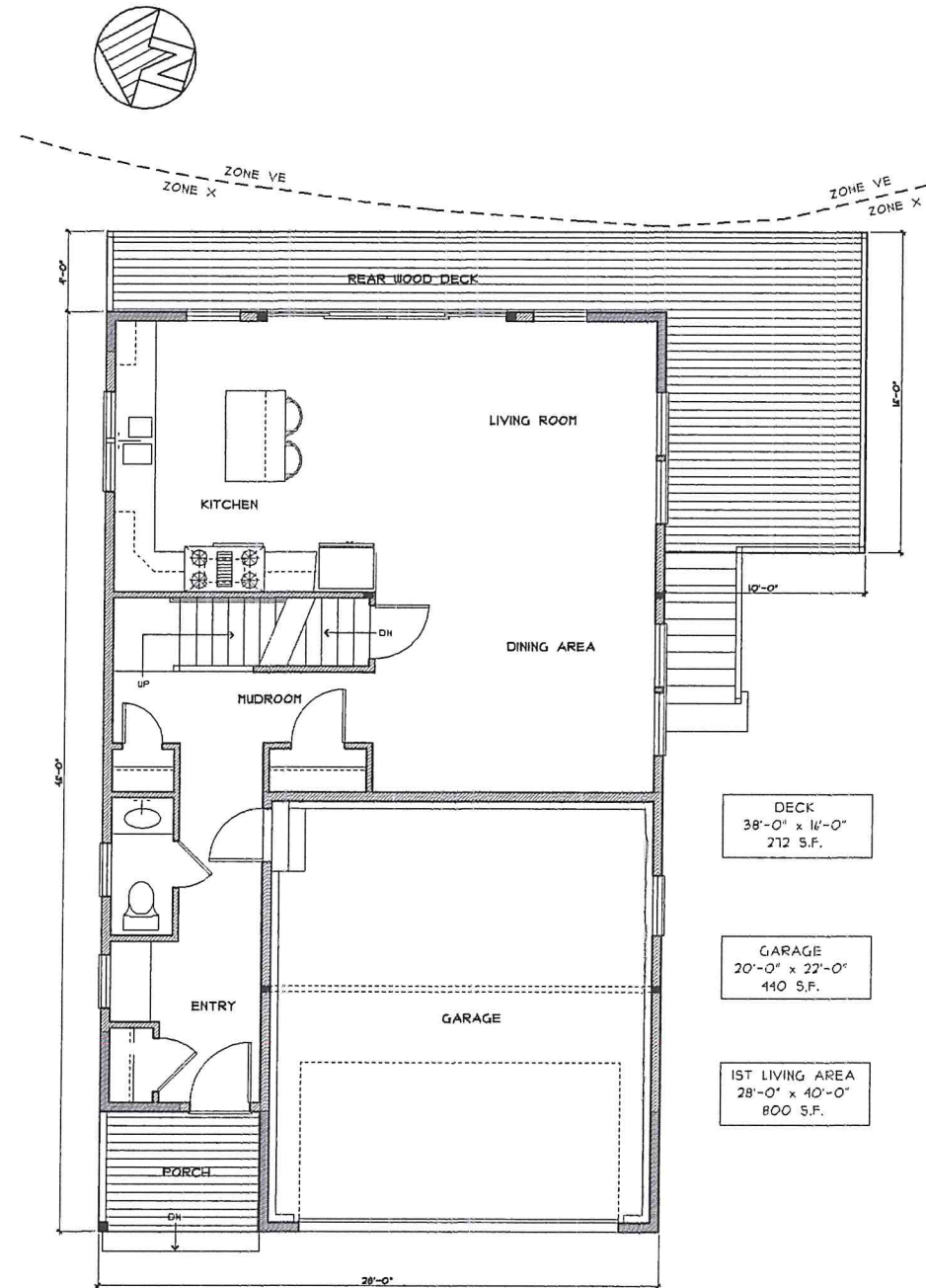
L & R Properties, LLC - Pawtucket, RI



3 BASEMENT PLAN
AI SCALE: 1/4" = 1'-0"



2 2ND FLOOR PLAN
AI SCALE: 1/4" = 1'-0"



1 1ST FLOOR PLAN
AI SCALE: 1/4" = 1'-0"

NEW RESIDENCE

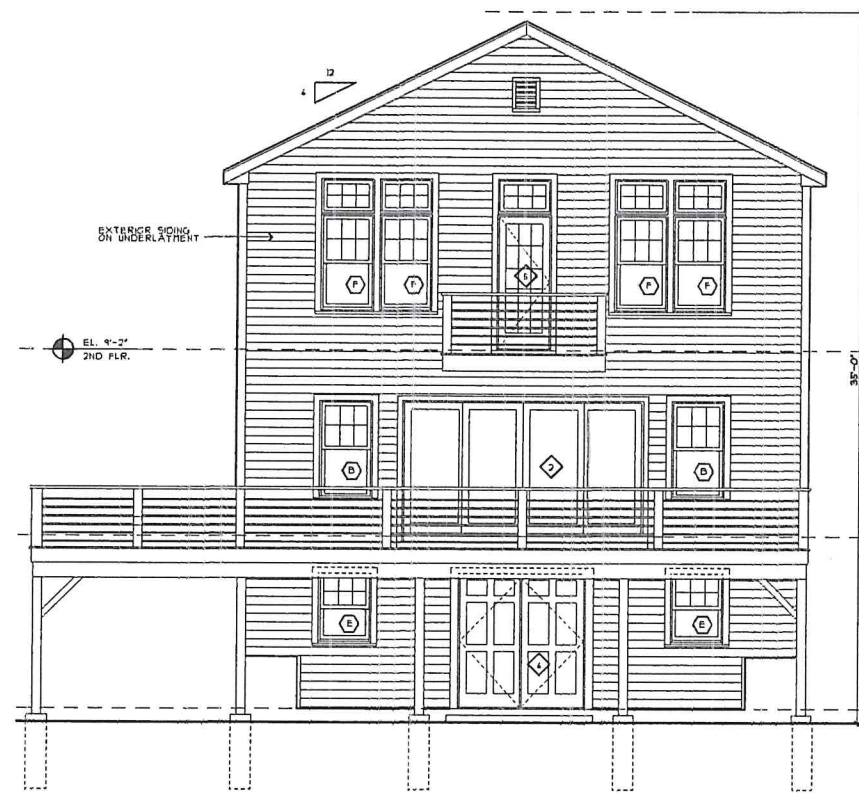
92 KING PHILLIP AVE.
BRISTOL, RI
02809

DATE: 3/6/2025

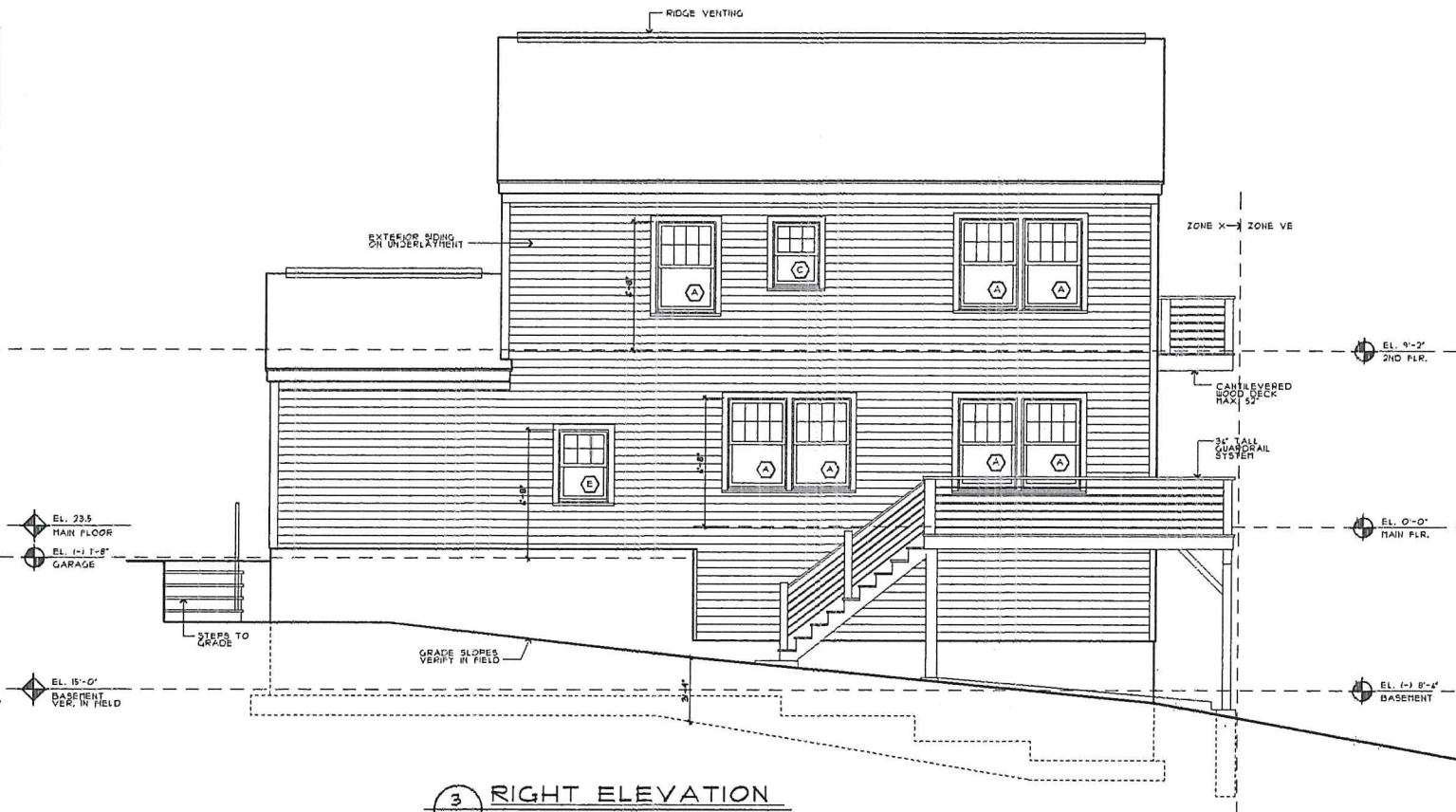
REVISIONS:

A1

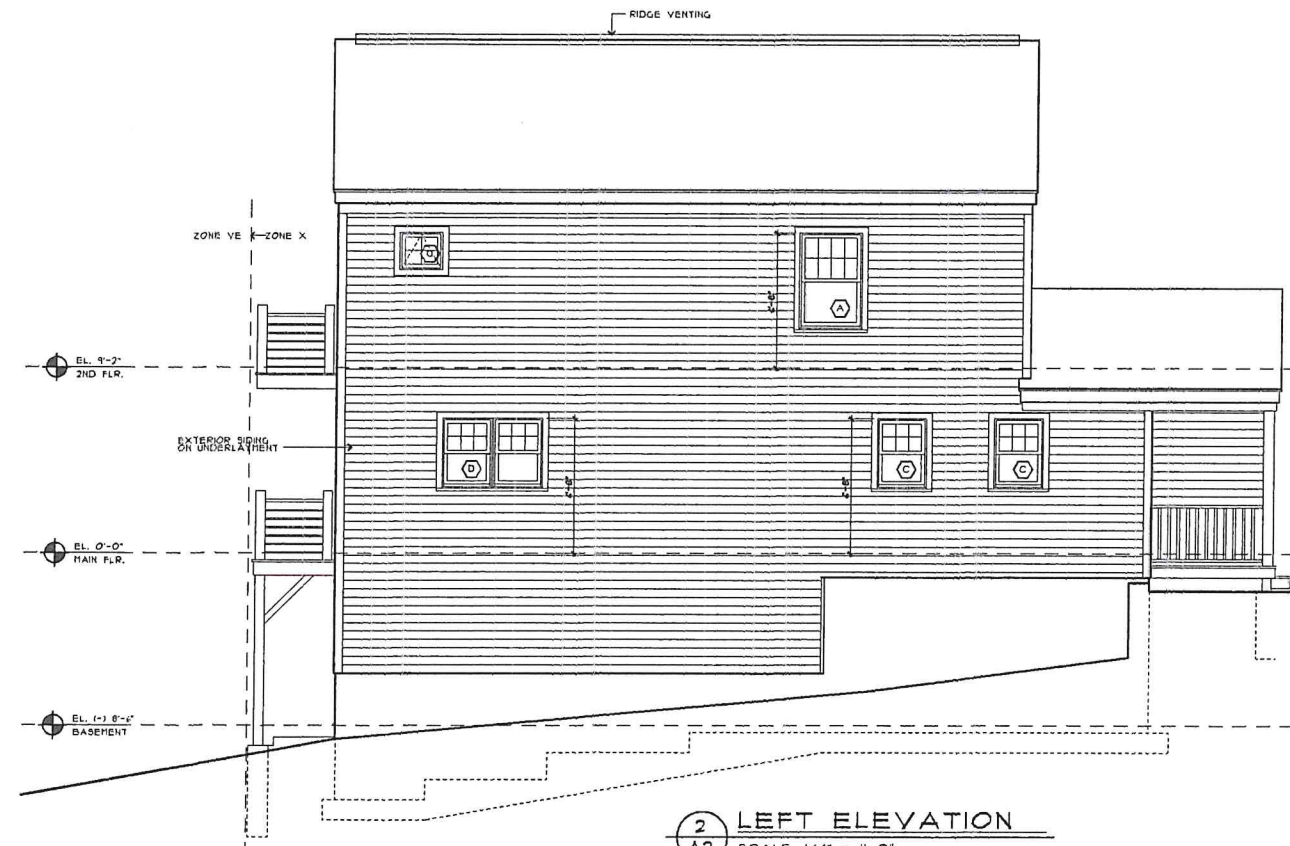
SHEET NO:



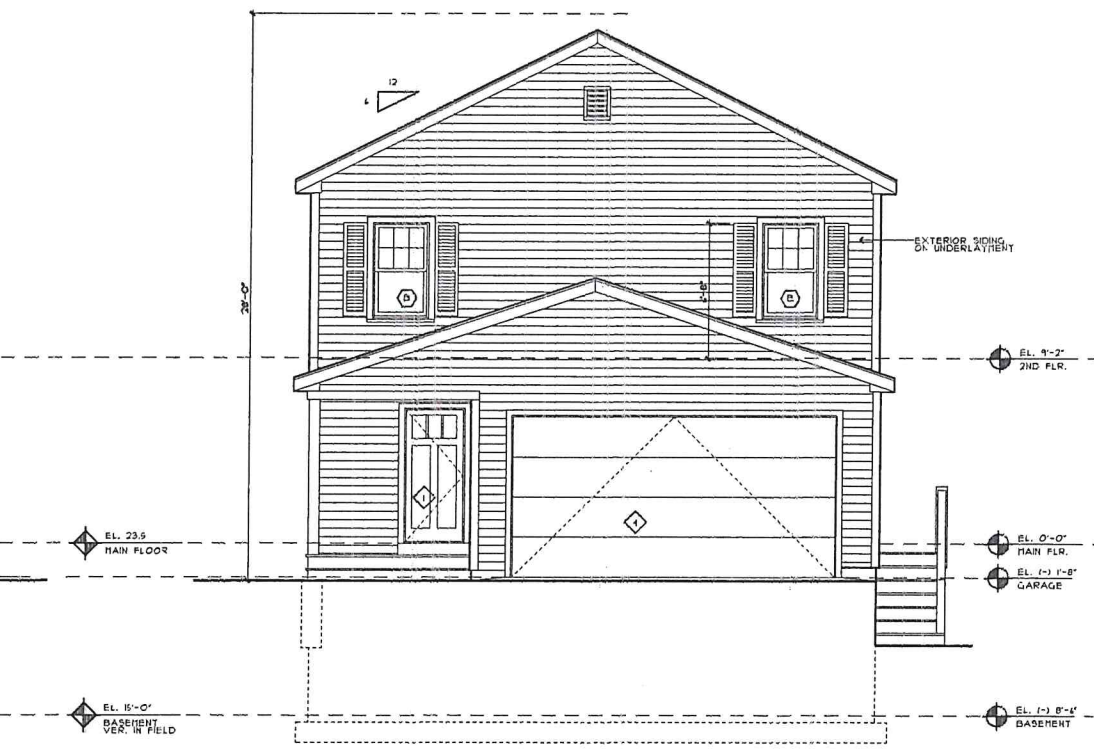
1 REAR ELEVATION
A2 SCALE: 1/4" = 1'-0"



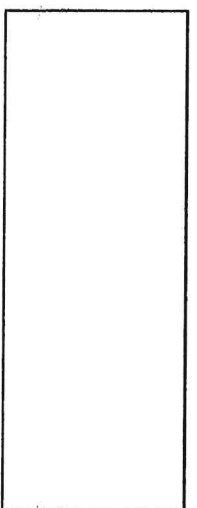
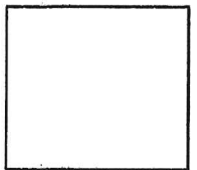
3 RIGHT ELEVATION
A2 SCALE: 1/4" = 1'-0"



2 LEFT ELEVATION
A2 SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION
A2 SCALE: 1/4" = 1'-0"



NEW
RESIDENCE

□ □ □

92 KING PHILLIP AVE.
BRISTOL, RI
02809

DATE: 3/6/2025

REVISIONS:

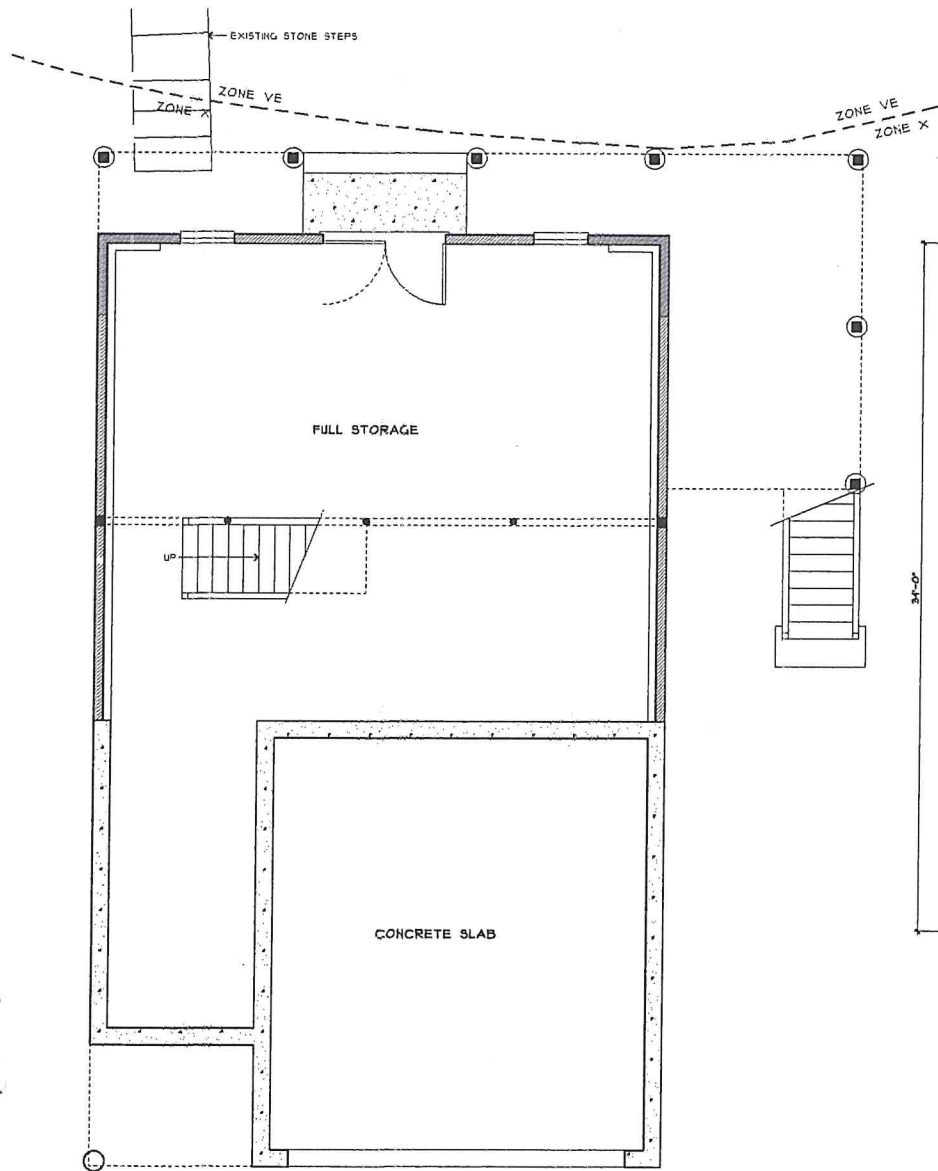
A2

SHEET NO:

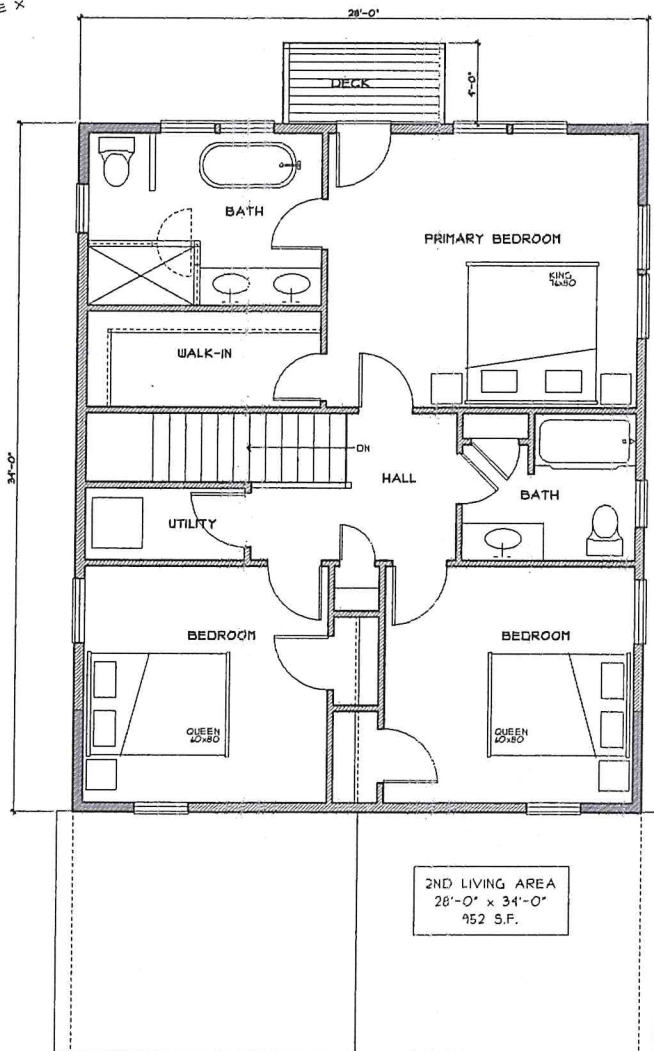
NEW RESIDENCE

92 KING PHILLIP AVENUE - BRISTOL, RI 02809

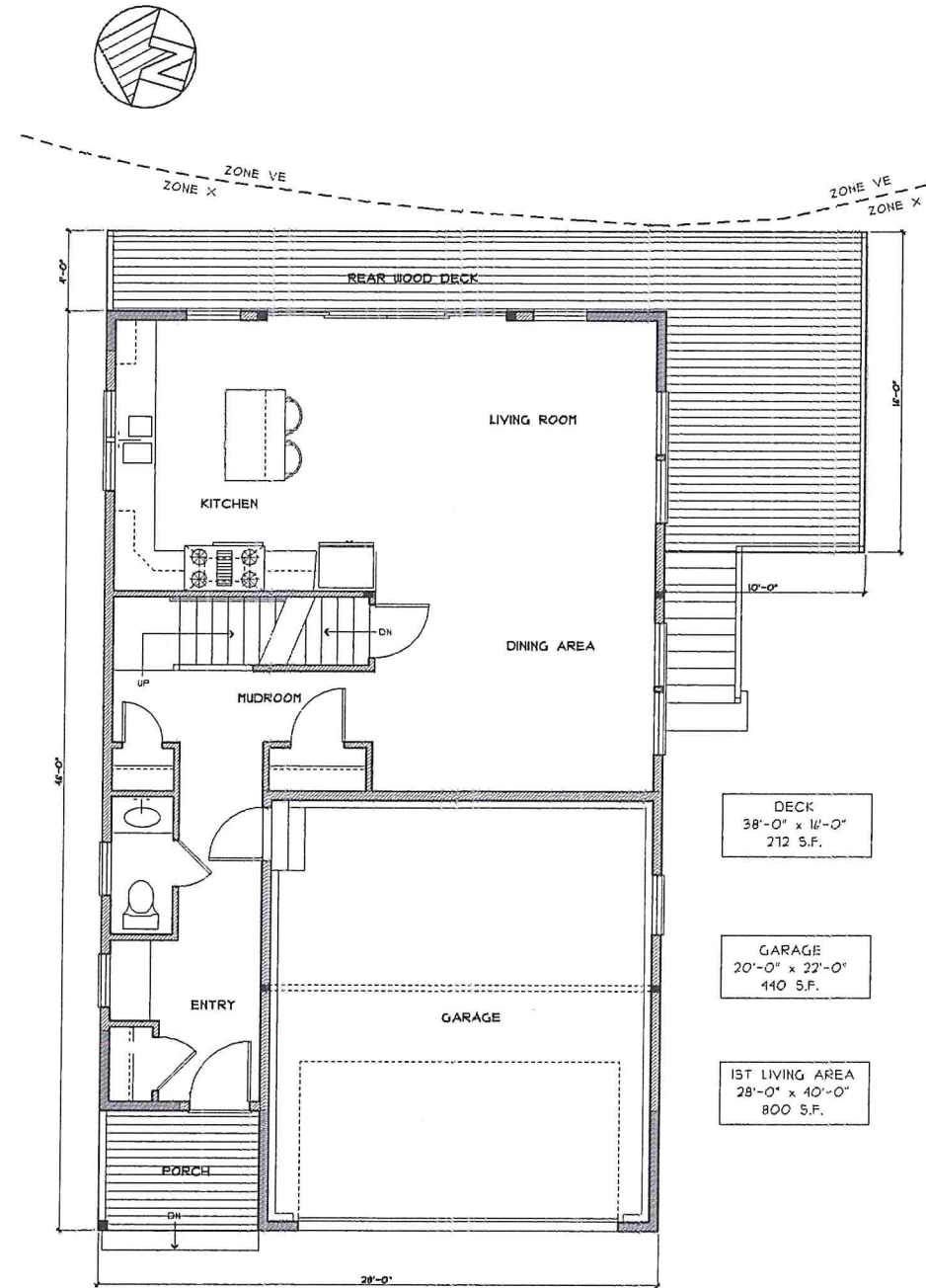
L & R Properties, LLC - Pawtucket, RI



3 BASEMENT PLAN
AI SCALE: 1/4" = 1'-0"



2 2ND FLOOR PLAN
AI SCALE: 1/4" = 1'-0"



1 1ST FLOOR PLAN
AI SCALE: 1/4" = 1'-0"

- DECK
38'-0" x 16'-0"
212 S.F.
- GARAGE
20'-0" x 22'-0"
440 S.F.
- 1ST LIVING AREA
28'-0" x 40'-0"
800 S.F.

NEW RESIDENCE

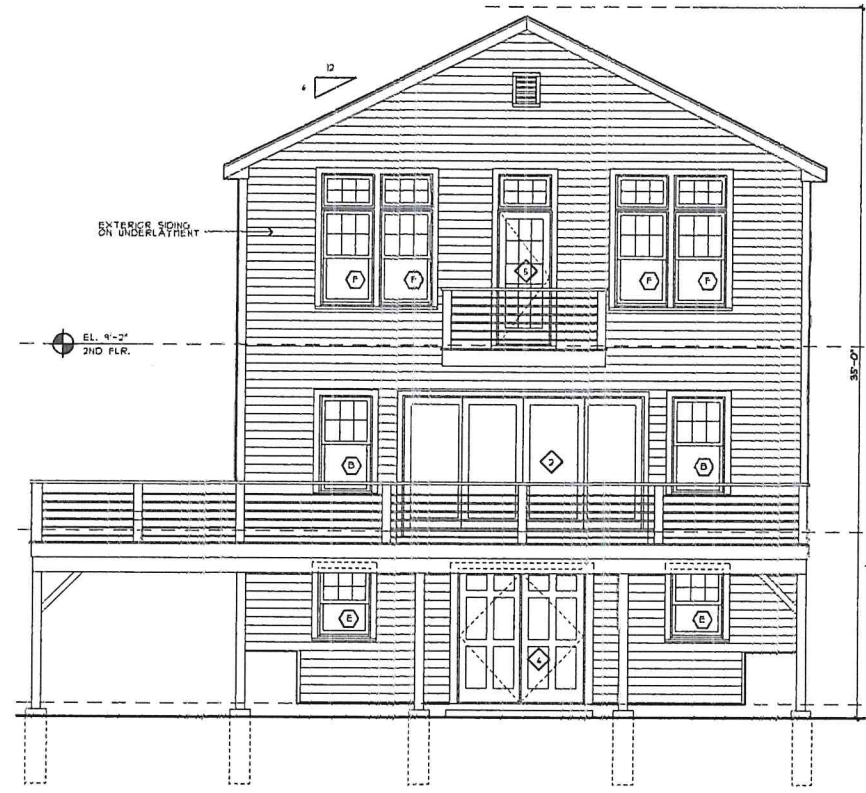
92 KING PHILLIP AVE.
BRISTOL, RI
02809

DATE: 3/6/2025

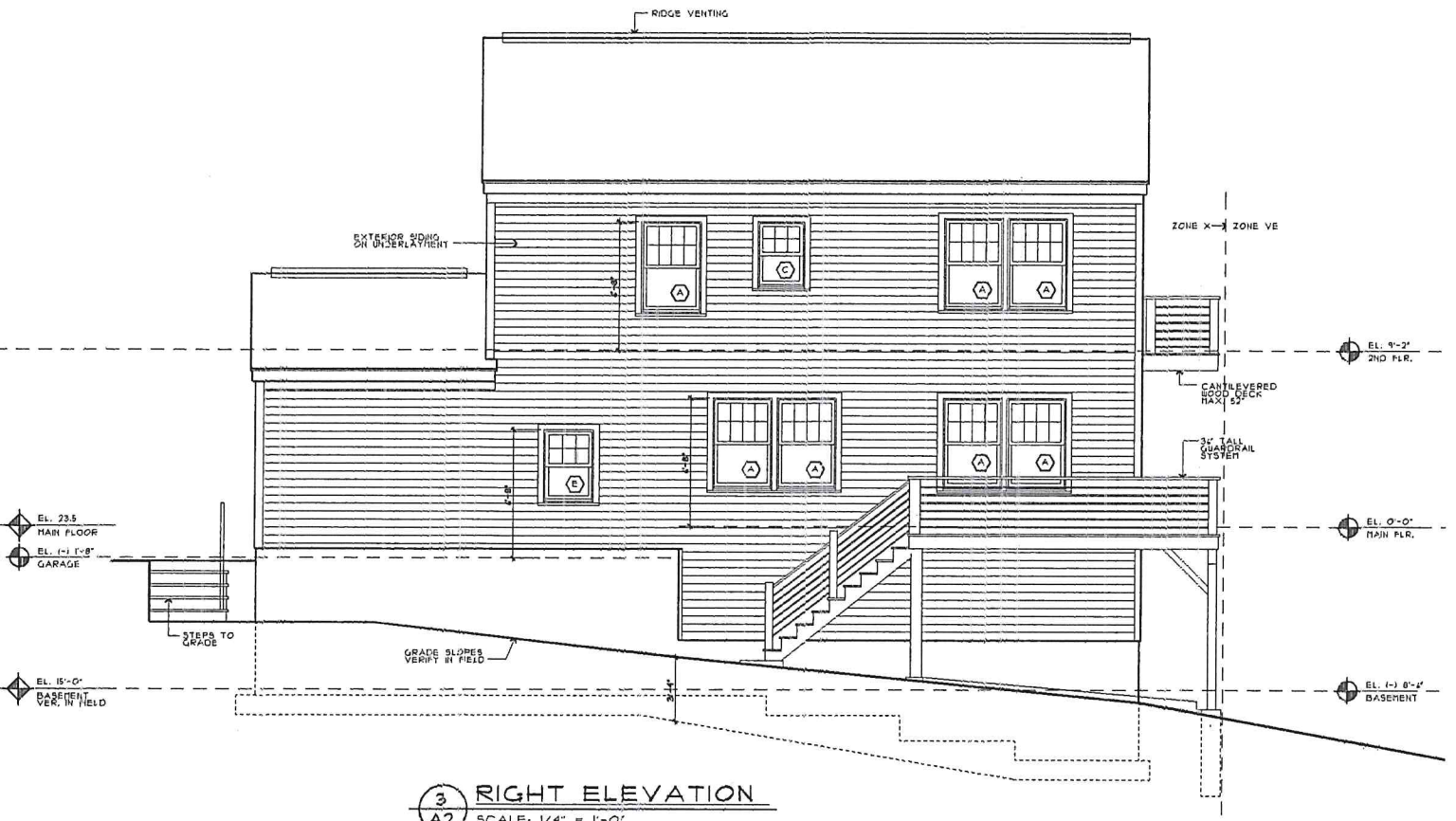
REVISIONS:

A1

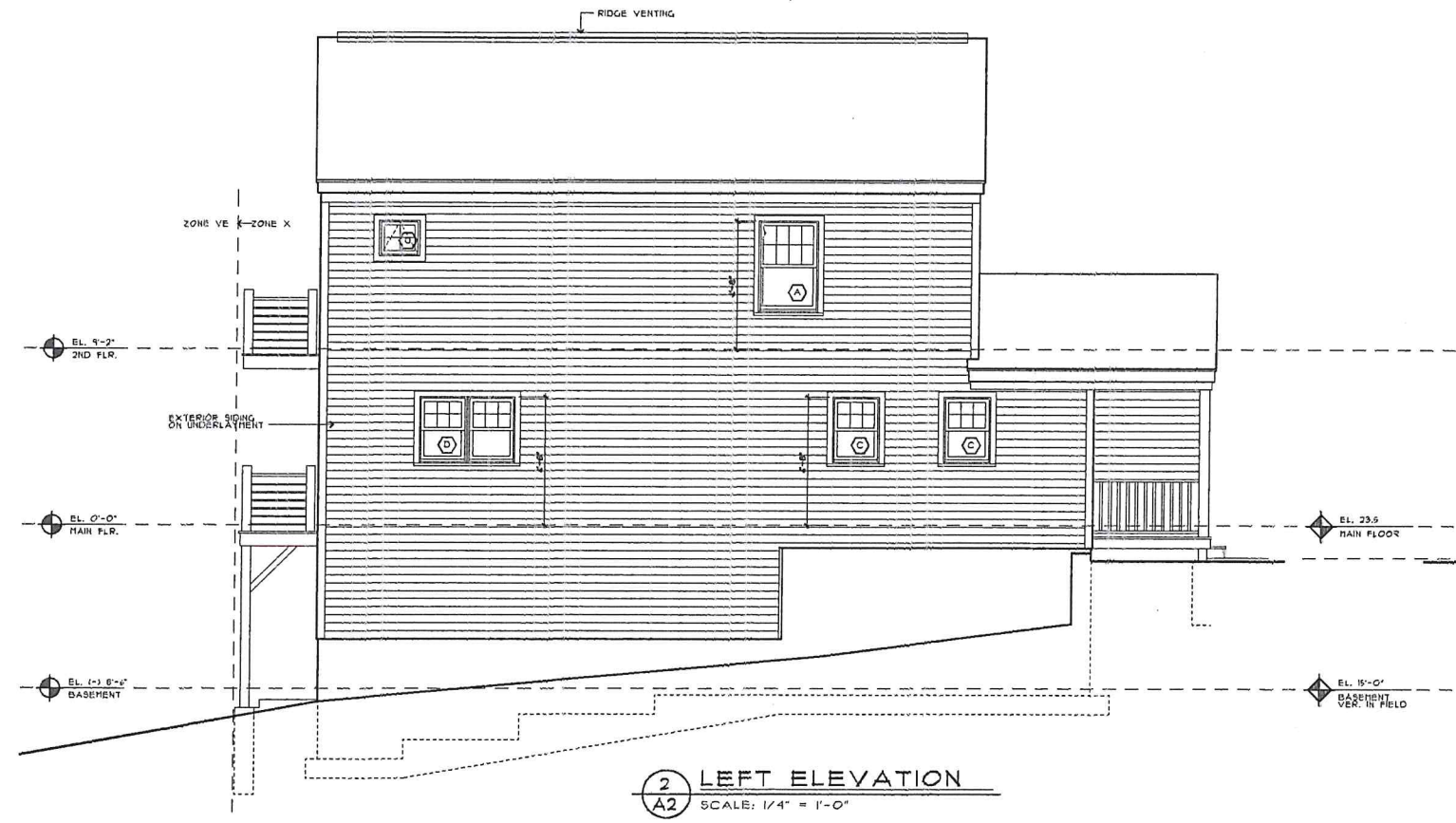
SHEET NO.



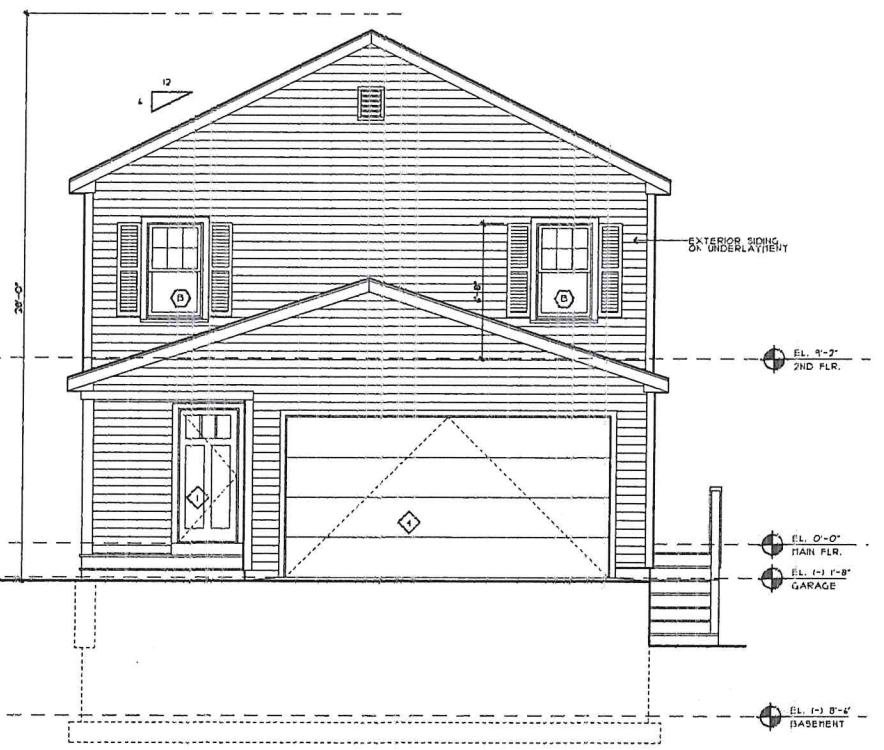
4 REAR ELEVATION
A2 SCALE: 1/4" = 1'-0"



3 RIGHT ELEVATION
A2 SCALE: 1/4" = 1'-0"



2 LEFT ELEVATION
A2 SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION
A2 SCALE: 1/4" = 1'-0"

NEW RESIDENCE

□ □ □

92 KING PHILLIP AVE.
BRISTOL, RI
02809

DATE: 3/6/2025

REVISIONS:

A2

SHEET NO:



92 King Philip Ave - 300' Radius

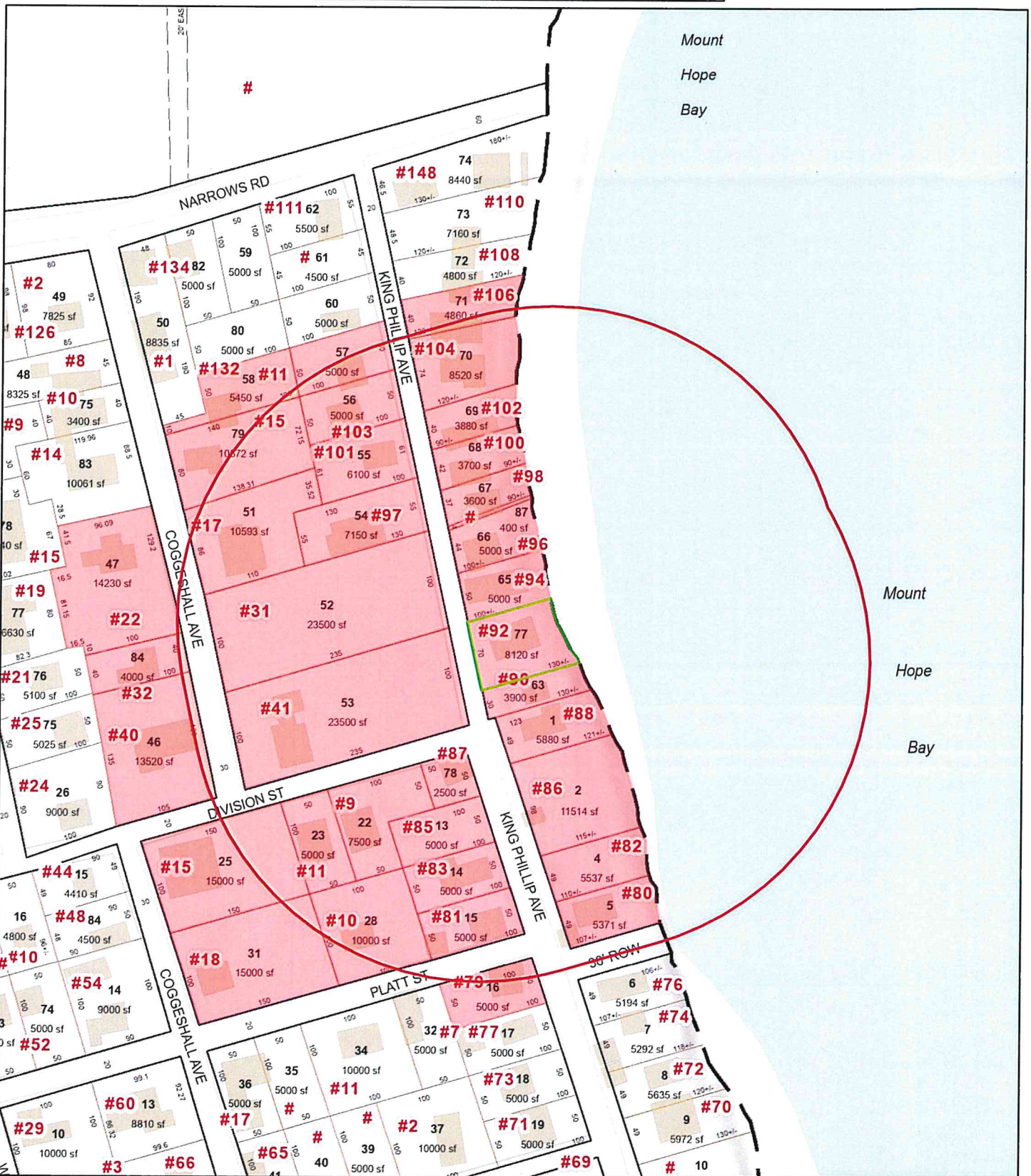
Bristol, RI

1 inch = 141 Feet



www.cai-tech.com

March 11, 2025



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Subject Property:

Parcel Number: 147-77
CAMA Number: 147-77
Property Address: 92 KING PHILLIP AVE

Mailing Address: L&R PROPERTIES, LLC
21400 SHERIDAN RUN
ESTERO, FL 33928

Abutters:

Parcel Number: 147-1
CAMA Number: 147-1
Property Address: 88 KING PHILLIP AVE

Mailing Address: DARLING, ROGER D
88 KING PHILIP AVE
BRISTOL, RI 02809

Parcel Number: 147-13
CAMA Number: 147-13
Property Address: 85 KING PHILLIP AVE

Mailing Address: BECKETT, BARBARA OLIVER
750 WARD LN
CHESHIRE, CT 06410

Parcel Number: 147-14
CAMA Number: 147-14
Property Address: 83 KING PHILLIP AVE

Mailing Address: FURTADO KERRI R
83 KING PHILLIP AVE
BRISTOL, RI 02809

Parcel Number: 147-15
CAMA Number: 147-15
Property Address: 81 KING PHILLIP AVE

Mailing Address: MACIEL, JOHN A.
PO BOX 227 81 KING PHILLIP AVENUE
BRISTOL, RI 02809

Parcel Number: 147-16
CAMA Number: 147-16
Property Address: 79 KING PHILLIP AVE

Mailing Address: BAYVIEW PARK REALTY, LLC C/O M.
SOLOW
12 BROOKRIDGE ROAD
NEW ROCHELLE, NY 10804

Parcel Number: 147-2
CAMA Number: 147-2
Property Address: 86 KING PHILLIP AVE

Mailing Address: POHOLEK, CONSTANT S JR etal TC
FINOCCHI, KAREN A TRUSTEE
165 WALCOTT RD
N. ATTLEBORO, MA 02760

Parcel Number: 147-22
CAMA Number: 147-22
Property Address: 9 DIVISION ST

Mailing Address: DATTELO, ANNE MARIE
9 DIVISION ST
BRISTOL, RI 02809

Parcel Number: 147-23
CAMA Number: 147-23
Property Address: 11 DIVISION ST

Mailing Address: CASSATA, MARA S & MICHAEL J TE
11 DIVISION ST
BRISTOL, RI 02809

Parcel Number: 147-25
CAMA Number: 147-25
Property Address: 15 DIVISION ST

Mailing Address: REZENDES, MARK F.
15 DIVISION ST
BRISTOL, RI 02809

Parcel Number: 147-28
CAMA Number: 147-28
Property Address: 10 PLATT ST

Mailing Address: LOURIA, DAVID W & WALKER, DVORA J
JT
10 PLATT ST
BRISTOL, RI 02809



www.cai-tech.com



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Parcel Number: 147-31 CAMA Number: 147-31 Property Address: 18 PLATT ST	Mailing Address: REZENDES, MARK F. 15 DIVISION ST BRISTOL, RI 02809
Parcel Number: 147-4 CAMA Number: 147-4 Property Address: 82 KING PHILLIP AVE	Mailing Address: GOES, JOANNE R BRUCE JT 82 KING PHILLIP AVE BRISTOL, RI 02809
Parcel Number: 147-46 CAMA Number: 147-46 Property Address: 40 COGGESHALL AVE	Mailing Address: BENEVIDES, KENNETH A. MARY LOU ETU 40 COGGESHALL AVE BRISTOL, RI 02809
Parcel Number: 147-47 CAMA Number: 147-47 Property Address: 22 COGGESHALL AVE	Mailing Address: ANDERSON, ANSEL K 22 COGGESHALL AVE BRISTOL, RI 02809
Parcel Number: 147-5 CAMA Number: 147-5 Property Address: 80 KING PHILLIP AVE	Mailing Address: CARTER, RUSSELL L PHYLLIS C JT 80 KING PHILIP AVE BRISTOL, RI 02809
Parcel Number: 147-51 CAMA Number: 147-51 Property Address: 17 COGGESHALL AVE	Mailing Address: SLYE, ROBERT C & TRACY R TE 17 COGGESHALL AVE BRISTOL, RI 02809
Parcel Number: 147-52 CAMA Number: 147-52 Property Address: 31 COGGESHALL AVE	Mailing Address: BRANCA-SANTOS, PAULA & SANTOS RICHARD JR TE 135 REMSEN RD YONKERS, NY 10710
Parcel Number: 147-53 CAMA Number: 147-53 Property Address: 41 COGGESHALL AVE	Mailing Address: PIRES, EDMUND A JR, TRUSTEE-PIRES TRUST ARMITAGE-BRISTOW, MARSHA; TRUSTEE,ARMITAGE-BRISTOW 41 COGGESHALL AVE BRISTOL, RI 02809
Parcel Number: 147-54 CAMA Number: 147-54 Property Address: 97 KING PHILLIP AVE	Mailing Address: GIBALDI, JUDITH M. TRUSTEE 20 LANGDON GROVE CARMEL, NY 10512
Parcel Number: 147-55 CAMA Number: 147-55 Property Address: 101 KING PHILLIP AVE	Mailing Address: GORHAM, COURTNEY LOUISE & MONTESANO, MICHAEL JOSEP 101 KING PHILIP AVE BRISTOL, RI 02809
Parcel Number: 147-56 CAMA Number: 147-56 Property Address: 103 KING PHILLIP AVE	Mailing Address: LOWE, DIANE VERDOLOTTI 23 CONE DR WEST WARWICK, RI 02893
Parcel Number: 147-57 CAMA Number: 147-57 Property Address: 105 KING PHILLIP AVE	Mailing Address: THURSTON, -PILLER RENA S. 105 KING PHILLIP AVE BRISTOL, RI 02809



www.cai-tech.com

3/11/2025

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Parcel Number: 147-58
CAMA Number: 147-58
Property Address: 11 COGGESHALL AVE

Mailing Address: BOTELHO, EDWARD
4 MUNRO AVE
WARREN, RI 02885

Parcel Number: 147-63
CAMA Number: 147-63
Property Address: 90 KING PHILLIP AVE

Mailing Address: MERKLE, ALYSSA & DESCHENES,
TIMOTHY TE
1868 COMMONWEALTH AVE
BRIGHTON, MA 02135

Parcel Number: 147-65
CAMA Number: 147-65
Property Address: 94 KING PHILLIP AVE

Mailing Address: DUSHAY, KEVIN M.
453 SW 5TH AVE
Fort Lauderdale, FL 33315-3806

Parcel Number: 147-66
CAMA Number: 147-66
Property Address: 96 KING PHILLIP AVE

Mailing Address: REGO, ALFRED R. JR TRUSTEE
443 HOPE ST
BRISTOL, RI 02809

Parcel Number: 147-67
CAMA Number: 147-67
Property Address: 98 KING PHILLIP AVE

Mailing Address: BEEBE, KEVIN J. MARY JANE TE
98 KING PHILLIP AVE
BRISTOL, RI 02809

Parcel Number: 147-68
CAMA Number: 147-68
Property Address: 100 KING PHILLIP AVE

Mailing Address: CASHMAN, MURIEL A. LE ETAL YOUNG,
DARLENE M.
100 KING PHILLIP AVE
BRISTOL, RI 02809

Parcel Number: 147-69
CAMA Number: 147-69
Property Address: 102 KING PHILLIP AVE

Mailing Address: DAVIDOFF, SCOTT & BRANDY NICOLE
TE
6409 MEADOWVIEW CT
PLANO, TX 75024

Parcel Number: 147-70
CAMA Number: 147-70
Property Address: 104 KING PHILLIP AVE

Mailing Address: IRONS, STEPHEN L & KAREN M TE
104 KING PHILLIP AVE
BRISTOL, RI 02809

Parcel Number: 147-71
CAMA Number: 147-71
Property Address: 106 KING PHILLIP AVE

Mailing Address: LAVOIE, DENISE M
34 MERRIAM LN
SUTTON, MA 01590

Parcel Number: 147-77
CAMA Number: 147-77
Property Address: 92 KING PHILLIP AVE

Mailing Address: L&R PROPERTIES, LLC
21400 SHERIDAN RUN
ESTERO, FL 33928

Parcel Number: 147-78
CAMA Number: 147-78
Property Address: 87 KING PHILLIP AVE

Mailing Address: BELANGER, SHEILA A.
87 KING PHILLIP AVE
BRISTOL, RI 02809

Parcel Number: 147-79
CAMA Number: 147-79
Property Address: 15 COGGESHALL AVE

Mailing Address: MERKLE, JEFFREY C & EILEEN TE
15 COGGESHALL AVE
BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Parcel Number: 147-84
CAMA Number: 147-84
Property Address: 32 COGGESHALL AVE

Mailing Address: PICCIRILLI, MARIA E.
32 COGGESHALL AVENUE
BRISTOL, RI 02809

Parcel Number: 147-87
CAMA Number: 147-87
Property Address: KING PHILLIP AVE

Mailing Address: GIBALDI, JUDITH M. TRUSTEE
20 LANGDON GROVE
CARMEL, NY 10512



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

ANDERSON, ANSEL K
22 COGGESHALL AVE
BRISTOL, RI 02809

CASSATA, MARA S &
MICHAEL J TE
11 DIVISION ST
BRISTOL, RI 02809

L&R PROPERTIES, LLC
21400 SHERIDAN RUN
ESTERO, FL 33928

BAYVIEW PARK REALTY, LLC
12 BROOKRIDGE ROAD
NEW ROCHELLE, NY 10804

DARLING, ROGER D
88 KING PHILIP AVE
BRISTOL, RI 02809

LAVOIE, DENISE M
34 MERRIAM LN
SUTTON, MA 01590

BECKETT, BARBARA OLIVER
750 WARD LN
CHESHIRE, CT 06410

DATTELO, ANNE MARIE
9 DIVISION ST
BRISTOL, RI 02809

LOURIA, DAVID W &
WALKER, DVORA J JT
10 PLATT ST
BRISTOL, RI 02809

BEEBE, KEVIN J.
MARY JANE TE
98 KING PHILLIP AVE
BRISTOL, RI 02809

DAVIDOFF, SCOTT & BRANDY
6409 MEADOWVIEW CT
PLANO, TX 75024

LOWE, DIANE VERDOLOTTI
23 CONE DR
WEST WARWICK, RI 02893

BELANGER, SHEILA A.
87 KING PHILLIP AVE
BRISTOL, RI 02809

DUSHAY, KEVIN M.
453 SW 5TH AVE
Fort Lauderdale, FL 33315-3806

MACIEL, JOHN A.
PO BOX 227
81 KING PHILLIP AVENUE
BRISTOL, RI 02809

BENEVIDES, KENNETH A.
MARY LOU ETU
40 COGGESHALL AVE
BRISTOL, RI 02809

FURTADO KERRI R
83 KING PHILLIP AVE
BRISTOL, RI 02809

MERKLE, ALYSSA & DESCHENE
1868 COMMONWEALTH AVE
BRIGHTON, MA 02135

BOTELHO, EDWARD
4 MUNRO AVE
WARREN, RI 02885

GIBALDI, JUDITH M. TRUSTE
20 LANGDON GROVE
CARMEL, NY 10512

MERKLE, JEFFREY C & EILEE
15 COGGESHALL AVE
BRISTOL, RI 02809

BRANCA-SANTOS, PAULA & SA
135 REMSEN RD
YONKERS, NY 10710

GOES, JOANNE R
BRUCE JT
82 KING PHILLIP AVE
BRISTOL, RI 02809

PICCIRILLI, MARIA E.
32 COGGESHALL AVENUE
BRISTOL, RI 02809

CARTER, RUSSELL L
PHYLLIS C JT
80 KING PHILIP AVE
BRISTOL, RI 02809

GORHAM, COURTNEY LOUISE &
101 KING PHILIP AVE
BRISTOL, RI 02809

PIRES, EDMUND A JR, TRUST
ARMITAGE-BRISTOW, MARSHA;
41 COGGESHALL AVE
BRISTOL, RI 02809

CASHMAN, MURIEL A. LE ETA
YOUNG, DARLENE M.
100 KING PHILLIP AVE
BRISTOL, RI 02809

IRONS, STEPHEN L & KAREN
104 KING PHILLIP AVE
BRISTOL, RI 02809

POHOLEK, CONSTANT S JR et
FINOCCHI, KAREN A TRUSTEE
165 WALCOTT RD
N. ATTLEBORO, MA 02760

REGO, ALFRED R. JR TRUSTE
443 HOPE ST
BRISTOL, RI 02809

REZENDES, MARK F.
15 DIVISION ST
BRISTOL, RI 02809

SLYE, ROBERT C &
TRACY R TE
17 COGGESHALL AVE
BRISTOL, RI 02809

THURSTON, -PILLER RENA S.
105 KING PHILLIP AVE
BRISTOL, RI 02809



Town of Bristol, Rhode Island
Zoning Board of Review

10 Court Street
Bristol, RI 02809
401-253-7000
www.bristolri.gov

File #2025-07

PUBLIC HEARING

Notice is hereby given by the Zoning Board of Review
sitting as the **Board of Appeal**
that a public hearing will be held on the following application:

Monday, April 7, 2025

at 7:00 P.M.

Bristol Town Hall
10 Court Street

APPLICANT: David J. Ramos / Ramos Landscaping, LLC

PROPERTY OWNER: David J. Ramos

LOCATION: 670 Metacom Avenue

PLAT: 128 LOT: 15

ZONE: General Business (GB) and Metacom Avenue Overlay

APPLICANT HAS FILED AN APPEAL OF: a Notice of Zoning Violation issued by the Zoning Enforcement Officer for the intensification of a nonconforming landscaping contract construction business without first obtaining a special use permit in the General Business zoning district; the construction of commercial structures without first obtaining building permits; and the construction of commercial structures without first obtaining Planning Board approval for a Land Development Project in the Metacom Avenue Overlay zoning district.

Edward M. Tanner,
Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol web site at <https://bristol-ri.municodemeetings.com/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, April 3, 2025.



Town of Bristol, Rhode Island TOWN OF BRISTOL
COMMUNITY DEV.
Department of Community Development
Zoning Board of Review 2025 JAN 31 PM 1:35

APPLICATION FOR APPEAL

File No.: **2025-07**
 Certified Complete:

APPELLANT:	Name: <u>David Ramos</u>		
	Address: <u>670 Metacom Ave</u>		
	City: <u>Bristol</u>	State: <u>RI</u>	Zip: <u>02809</u>
	Telephone #: <u>401-867-1126</u>	Email:	
PROPERTY OWNER:	Name: <u>David Ramos</u>		
	Address: <u>670 Metacom Ave</u>		
	City: <u>Bristol</u>	State: <u>RI</u>	ZIP: <u>02809</u>

1. Location of subject property: 670 Metacom Ave
 Assessor's Plat(s) #: 128 Lot(s) #: 15

2. Zoning district in which property is located: GB

3. Upon which agency or officer is this appeal being taken?: Owner

4. In a separate written statement, please describe the decision in which you are appealing, the applicable section(s) of the Zoning Ordinance that apply to your appeal, and the specific grounds for the appeal.
** See Attached Letter **

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: *DJR* Date: 1/28/25
 Print Name: David J Ramos.

Name of attorney or agent, if any, who is authorized to represent the applicant:

Name: N/A Telephone #: _____
 Address: _____

Mr. Tanner/ Mrs. Williamson

This letter is in response to your letter sent to me on the 10th day of December 2024. I have reviewed your letter and would like to request a meeting sometime in January with the two of you, along with the Building Official, Town Administrator, Town Solicitor, Code Compliance Coordinator, a member of the zoning board and any others you would like to attend.

My intent at this meeting is to make progress on the next steps you would like me to take on your violation of plat 128 lot 15. Although my tent is just that, a tent and not a building. The two of you as well as the building official requested that I apply for a building permit during our site meeting at my property on the 25th of November 2024.

I simply put a temporary tent on my property, where my family has been operating out of long before my time to protect my equipment from the elements. We have had many temporary prefabricated tents, containers, jobsite trailers, etc. on the property over the years, never requiring any types of permit(s). Regardless, I applied for a building permit via the town's online portal and have only received a response from what I believe to be the Fire Marshall with a sign off on his portion of the permit. What I do not understand is what type of special use I am requesting? I am not using the property for anything it has not been used for over the last 50 years by me or my family. I am simply dry storing in a tent on my property that I have already been using for years with the same existing layout as decades the site has not changed. This is not the first time for a TENT on the property. Which arises my question of what I am applying for as far as a special use permit. I have already applied for a building permit for a tent. Just know, that I will be requesting the viewing of the building/special use permits for tents, containers, jobsite trailers around the Town of Bristol. I believe in a fair playing field and I promise to hold you to that same standard when discussing my endeavors.

At this point I am constantly being badgered. I have been hassled more than any other business in this town from the beginning stages of my business on Bayview Ave, to where I am now. Whether its dust, noise, my dumpster, violations from Bristol Police provoked on your behalf, for unregistered off-season vehicles stored on one of my properties, now my tent, the list could go on, this town is always against me. I sponsor many events/traditions/and organizations in this town. I sponsor Little League teams, 4th of July floats, Fundraisers, give my time and equipment to hang the high school score board on a Sunday or helping set parts onto the Santa House at the common all things I do because I love this town, and I love having my business and family here.

I move my BUISNESS across town to a general BUISNESS location that I own and have been using for years anyway, and you follow me here to hassle me again. Can you just leave me and my small business alone. Look away if you're always going to look for problems. If you want me to get a building permit for a TENT, no problem, but I will not get a special use permit to do what my family has been doing here for decades running a small business. When I decide to put up a BUILDING, alter/change/develop the property known as lot 16 in any way. I have no problem applying for whatever special use permits you would like me to obtain to build an actual building, but it will be when I'm ready to invest and build an actual building again this is a tent.

I know your famous line of "we aren't talking about those properties we're talking about your property" so please save that line because I will not be discussing this special use permit with either of you any further until you can show me the building and special use permits for similar TENT structures like the ones on the corner of Franklin St and Buttonwood St. I am just curious what type of special use permit did they receive? How'd they go about it? Those TENT structure(s), containers along with dozens of others around town? All there long before my TENT/containers/jobsite trailer. Maybe that could help point me in the right direction?

I want this meeting to be quick-easy-productive, so just let me get a few of my points out of the way. I will pay for and receive the building permit for the already erected tent that is not coming down. I will not apply for a special use permit until I decide to take part in actual site/building construction on lot 16, which is totally separate from lot 15. I DO NOT YET OWN LOT 16 on paper I am waiting for the right financial time. The two lots in my lifetime/ownership will never be seen together on one site plan they will never be owned/possessed by the same entity unless I sell them. They are two separate properties. I am not required to show them both to you on one site plan. When we had our preliminary meeting back in July 2024 regarding my future plans for lot 16. I was very clear that lot 15 & 16 would not be shown on the same site plan because they are totally separate properties just sharing the same easement. Aside from the shared easement, they have no correlation. That has and will not change if were discussing lot 15 were discussing lot 15 if were discussing lot 16 were discussing lot 16 they're not related for what we are currently disputing. Regarding lot 15, I am not currently developing the lot. I am not going to be forced into doing what's best for Metacom overlay, installing a sidewalk, or whatever the agenda is. When I am ready to develop any property, it will be in a way that's going to be reviewed by the two of you as well as whatever zoning/planning boards needing to review. We all know what comes with the special use permit, drainage, sidewalks, trees, opinions and neighbors. We have been working on this property long before Lisa Lane/Casey drive extension was installed in 2005. The current use of the property should come to no surprise to any neighbors/citizens, or town officials, and should not require any "special" approvals or permits. When I am ready to invest and develop lot 16 you are more than welcome to hassle me, but that time has not yet come. For now, we're discussing lot 15 and the lot layout has not changed. There is simply a TENT so let's put this issue to rest. Thank you for reading this response letter.

Happy Holidays,

David J Ramos

Bristol Resident

Bristol Business Owner

A handwritten signature in black ink, appearing to read 'DJR', with a long horizontal stroke extending to the right.

Cc:

Town Administrator,

Town Solicitor,

Code Compliance,



TOWN OF BRISTOL
DEPARTMENT OF COMMUNITY DEVELOPMENT
10 Court Street • Bristol, Rhode Island 02809

12/10/2024
10:18:58 AM
2 Pages
VIOLATION
Bk: 2266 Pg: 167
Instr: 2024-2844

NOTICE OF VIOLATION – ZONING ORDINANCE

DATED: December 10, 2024

VIA CERTIFIED & REGULAR US MAIL

David J. Ramos
12 Ruth Avenue
Bristol, RI 02809

91 7199 9991 7032 0545 6848

91 7199 9991 7032 0545 6831

Ramos Landscaping, LLC
156 Bayview Avenue
Bristol, RI 02809

**Re: Violation of Ordinances of the Town of Bristol at
670 Metacom Avenue
Bristol, Rhode Island
Plat 128, Lot 15
Zoning District: General Business (GB) / Metacom Avenue Overlay**

Dear Mr. Ramos,

The Notice is a follow up to our site meeting with you on Monday, November 25, 2024 at the above mentioned property which the Building Official, Director of Community Development and myself attended. As discussed during this meeting, certain improvements have been made to Lot 15 relating to the operations of Ramos Landscaping, LLC without the necessary building permits. Specifically, the construction of a structure comprised of two prefabricated storage containers connected with a metal framed plastic membrane roof and a solid concrete slab floor; and the installation of an office trailer. These structures were constructed and installed without first applying for or obtaining building permits from the Town of Bristol. This is a violation of Article XI., Section 28-402 of Bristol’s Zoning Ordinance which requires submittal of plans and the issuance of a permit for any new construction. In addition, these improvements have intensified the existing nonconforming landscaping contract construction business operation at this site, which was in existence outdoors within a limited area of the property as a pre-existing non-conforming use. This is a violation of Section 28-218(7) of Bristol’s Zoning Ordinance as a contract construction service business use requires a special use permit within the General Business (GB) Zoning District.

In addition to the intensification of a nonconforming use, the construction of new commercial structures on this property requires prior review by the Planning Board as a Land Development Project pursuant to Article VI. of Bristol’s Zoning Ordinance due to the property’s location on Metacom Avenue within the Metacom Avenue Overlay. In accordance with recently adopted state-wide land use legislation, a project

David J. Ramos
Ramos Landscaping, LLC
December 10, 2024
Page 2

that triggers both a Special Use Permit and a Land Development Review is considered a Unified Development that the Planning Board has jurisdiction over. Accordingly, you are hereby directed to bring your property into compliance by removing the offending structure and office trailer on or before **December 31, 2024** (hereafter the 'compliance date').

Alternatively, you may reply in writing by the compliance date indicating that you will comply with zoning requirements by filing a complete application for a Minor Land Development/Unified Development application on or before **February 10, 2025**. The application must include both lots 15 and 16 on Assessor's Plat 128 since both of these contiguous lots are being used for the contract construction business. Failure to remove the offending structure or to respond in writing by the compliance date will result in additional enforcement action.

In the event that this violation is not corrected or a timely appeal has not been filed by the compliance date, I will have no choice but to assess a fine in accordance with R.I. Gen. Laws § 45-24-60(a) and Sec. 28-407 of the Zoning Ordinance. The Town may then choose to pursue this matter in the Municipal Court, at which time we will seek an order compelling you to comply with the Zoning Ordinance, in addition to fines for failure to comply. You may appeal this Notice of Violation to the Zoning Board by filing the appropriate application on or before **December 31, 2024**, as provided in Sec. 28-410 of the Zoning Ordinance.

Your cooperation in correcting the violations noticed herein is expected. Please feel free to contact me to discuss the resolution of this matter.



Edward M. Tanner
Zoning Enforcement Officer

cc: Town Administrator
Town Solicitor
Code Compliance Coordinator

Received for record at Bristol, RI
12/10/2024 10:18:58 AM



NOTICE: A copy of this notice has been recorded in the Land Evidence Records of the Town of Bristol as of the date and time stamped above

TOWN OF BRISTOL
BUILDING INSPECTION DEPT.



235 High St.
Bristol, RI 02809
(401) 253-7000

DATE November 4, 2024

David Ramos
Ramos Landscaping LLC
156 Bayview Avenue
Bristol, RI 02809

RE: Assessor's Plat 128, Lots 15 and 16

STOP-WORK ORDER

Dear Mr. Ramos,

This letter is to follow up regarding our meeting at your property on Metacom Avenue, (referenced above). Along with Town Planner, Diane Williamson and Zoning Officer, Ed Tanner, I met you to discuss the new structures that had been built along with the related sitework. The structures in question include 2 fabric structures, one set on large blocks and the other on shipping containers. Also present were a trailer with an attached deck. All this work was done without a required Town Building Permit.

Pursuant to the RI State Building Code 23-27.3-123.0 you are hereby issued a **Stop-Work Order**. All work must be immediately stopped and shall not resume until a Building Permit is issued.

You have (10) ten days from receipt of this letter to respond to this notice. The owner of the property may:


1. Deny in writing that the violation exists and request reconsideration, citing specific reasons for the request.
2. Cause the violation to be cured.

A fee will be added for work performed without a permit.

This matter requires your prompt attention. Please file a Building Permit through the online permitting portal. Town Zoning and Planning requirements will be communicated separately.

Very truly yours,

TOWN OF BRISTOL, RI


Stephen Greenleaf, Building Official

Cc: Diane Williamson, Town Planner, Raymond Falcoa, CCC, Edward Tanner, Zoning Officer, Amy Goins, Town Solicitor.

Owner ▶ Owner Account #: 50-0088-32 % Owned

Owner 1	RAMOS, DAVID J.	
Owner 2		
Owner 3		
Address	12 RUTH AVE, BRISTOL, RI 02809	

Previous Owners & Sales Information

Grantor	Date	Sale Price	Leg Ref	NAL	Deed Type
EAST BAY HOLDING & REALTY LLC	12/01/2023	250,000	2230-118		W
MLR INVESTMENTS, LLC	01/31/2022	300,000	2156-172		W
REGO PROPERTIES LLC	06/01/2018	0	1941-225	A	W
REGO FAMILY PARTNERSHIP	10/02/2015	1	1820-117	A	W

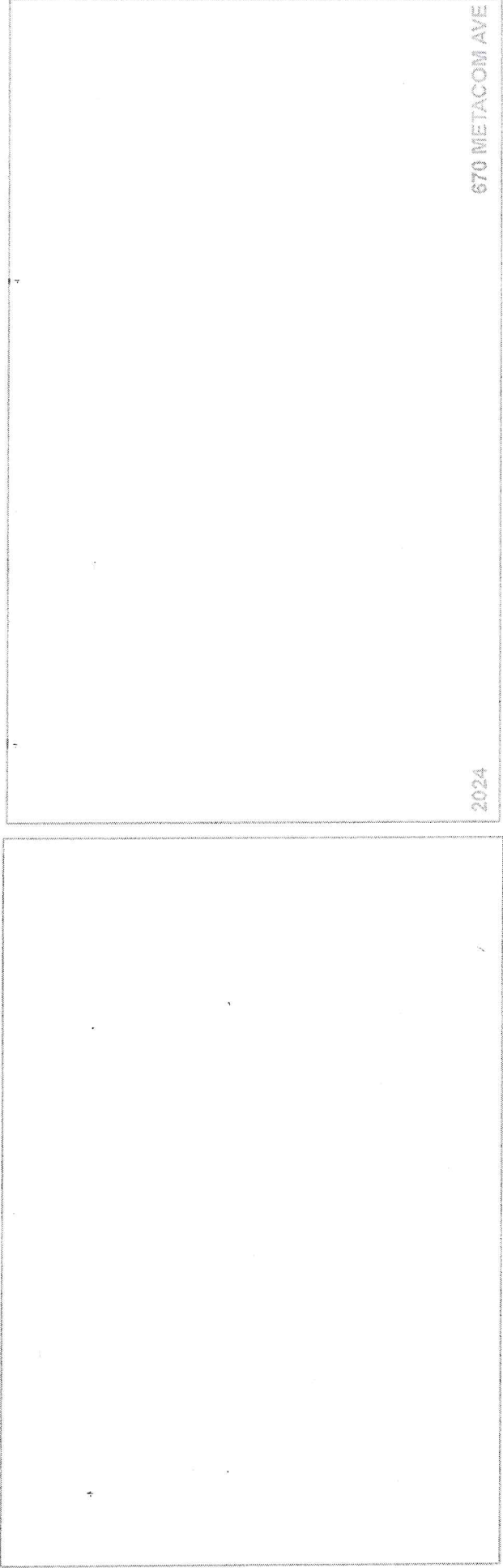
Assessment

Use Code	Bldg Value	SFYI Value	Land Size	Land Value	AG Credit	Assessed Value
13	0	0	1.45	178,000	0	178,000
TOTAL	0	0	1.45	178,000	0	178,000

Source > Mkt Adj Cost VAL per SQ Unit/Card > VAL per SQ Unit/Parcel >

Previous Assessments

Year	LUC	Building	SFYI	Land Size	Land	Appraised Value	Assessed Value
2024	13	0	0	1	178,000	178,000	178,000
2023	13	0	0	1	178,000	178,000	178,000
2022	13	0	0	1	178,000	178,000	178,000
2021	13	0	0	1	181,000	181,000	181,000
2020	13	0	0	1	181,000	181,000	181,000
2019	13	0	0	1	181,000	181,000	181,000



Land Information

Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh	Inf 1	Inf 1 %	Inf 2	Inf 2 %	Inf 3	Inf 3 %	Spec Land	Juris	Fact	Use Value
1	13	Res Vacant	AC	P	1.00	472,000	O	Traffic	-10							1.00	0
2	13	Res Vacant	AC	EX	0.20	472,000	O	Wet/Unbuild	-20							1.00	0
3																	
4																	

Plat/Lot 128-0015-000

Assessment \$178,000

► Building Information

Description	Description
BLDG Type	Story Height
RES Units	COM Units
Foundation	BMT Floor
Frame 1	Frame 2
EXT Wall 1	EXT Wall 2
Roof Type 1	Roof Type 2
Roof Cover 1	Roof Cover 2
INT Wall 1	INT Wall 2
Floors 1	Floors 2
BMT Garages	Color
Plumbing	Electrical
Insulation	INT vs EXT
Heat Fuel	Heat Type
# Heat Sys	% Heated
% Solar HW	% A/C
% COM Wall	% Vacuum
Ceiling Hght	Ceiling Type
Parking Type	% Sprinkled
EXT View	

► Grade

Year Built	EFF Year	Alt LUC	Alt %

Code	Description	%
Condition	-	
Functional	-	
Economic	-	
Special	-	
OV	-	
Total Depreciation % >		

► Sub-Area Detail

Code	Description	Area	Fin. Area	Rate	Undep Val
Total					

► Visit History

Date	Result	By
8/2/2021	REVIEW	
4/25/2019	N/C HEARIN	
4/27/2018	REVIEW	
4/4/2018	VACANT LO	

► Depreciation

Code	Description	%
Bas \$/SQ		
Size Adj		
Constr Adj		
Adj \$/SQ		
Othr Featrs		
Grade Fac		
Neigh Infl		
Land Factor		
Adj Total		
Depreciation		
Depr Total		

► Other Factors

Flood Hazard	Topography	LEVEL
Street	PAVED	
Traffic		

► Notes

Code	Description	Area	Fin. Area	Rate	Undep Val
Total					

► Remodeling History

Additions	Plumbing	Electric	Heating	General
Interior				
Exterior				
Kitchen				
Bath(s)				

► Building Permits

Issue Date	Permit #	Closed Date	BP Type	Est. Cost	% Done	Description/Directions

► Condo Data

Complex	Location	Tot Units	FL Level	# Floors	Bldg Seq

► Special Features & Yard Items

Use	Description	A	Y/S	Qty	Length	Width	SF	Size	Quality	Condition	Year	Assessed Value
1												
2												
3												
4												
5												
6												
7												
8												
9												
10												

► Remodeling History

Additions	Plumbing	Electric	Heating	General
Interior				
Exterior				
Kitchen				
Bath(s)				

► Building Permits

Issue Date	Permit #	Closed Date	BP Type	Est. Cost	% Done	Description/Directions

► Condo Data

Complex	Location	Tot Units	FL Level	# Floors	Bldg Seq

► Room Counts by Floor

Units	# Rooms	# Bedrooms	Floor Level
1			
2			
3			
4			
Totals			

► Other Info.

AFDU	PartTerm	Rental	PriorID1c	PriorID2a	PriorID2b	PriorID2c	PriorID3a	PriorID3b	PriorID3c



670 Metacom Ave - 300 Radius

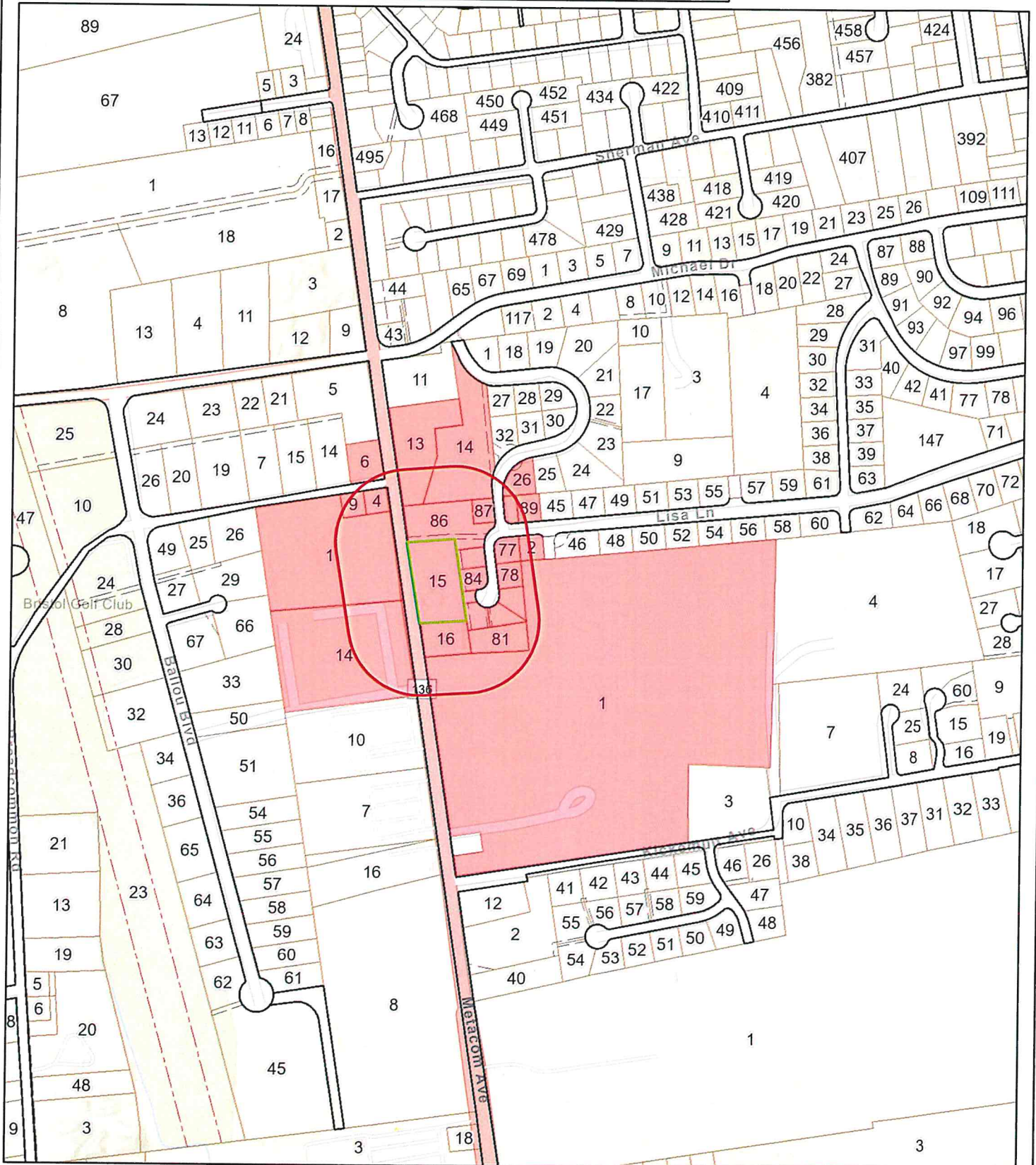
Bristol, RI



1 inch = 563 Feet

www.cai-tech.com

March 11, 2025



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Subject Property:

Parcel Number: 128-15
CAMA Number: 128-15
Property Address: 670 METACOM AVE

Mailing Address: RAMOS, DAVID J.
12 RUTH AVE
BRISTOL, RI 02809

Abutters:

Parcel Number: 128-13
CAMA Number: 128-13
Property Address: METACOM AVE

Mailing Address: VEADER REALTY RI, LLC
2283 GAR HWAY
SWANSEA, MA 02777

Parcel Number: 128-14
CAMA Number: 128-14
Property Address: CASEY DR

Mailing Address: TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

Parcel Number: 128-15
CAMA Number: 128-15
Property Address: 670 METACOM AVE

Mailing Address: RAMOS, DAVID J.
12 RUTH AVE
BRISTOL, RI 02809

Parcel Number: 128-16
CAMA Number: 128-16
Property Address: 668 METACOM AVE

Mailing Address: RAMOS, LIONEL J
9 SCOTT LANE
BRISTOL, RI 02809

Parcel Number: 128-2
CAMA Number: 128-2
Property Address: 36 LISA LN

Mailing Address: SYLVIA, GEORGE M & KAREN A TE
36 LISA LN
BRISTOL, RI 02809

Parcel Number: 128-26
CAMA Number: 128-26
Property Address: 26 CASEY DR

Mailing Address: HANON, JAMES W & SHARON A TE
26 CASEY DR
BRISTOL, RI 02809

Parcel Number: 128-77
CAMA Number: 128-77
Property Address: 38 LISA LN

Mailing Address: DASILVA, JOSEPH A.
38 LISA LANE
BRISTOL, RI 02809

Parcel Number: 128-78
CAMA Number: 128-78
Property Address: 40 LISA LN

Mailing Address: RICHMOND, JONATHAN W & NICOLE M.
TE
40 LISA LN
BRISTOL, RI 02809

Parcel Number: 128-79
CAMA Number: 128-79
Property Address: 42 LISA LN

Mailing Address: TROCCHIO, MATTHEW J. & HAUGH,
CIRI E. TE
42 LISA LN
BRISTOL, RI 02809

Parcel Number: 128-80
CAMA Number: 128-80
Property Address: 44 LISA LN

Mailing Address: ANNIS, JAMES D. JAMES A. JT
44 LISA LN
BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

3/11/2025

Page 1 of 9



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Parcel Number: 128-81
CAMA Number: 128-81
Property Address: LISA LN

Mailing Address: TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

Parcel Number: 128-82
CAMA Number: 128-82
Property Address: 46 LISA LN

Mailing Address: LAGARTO, SHANNON M
46 LISA LN
BRISTOL, RI 02809

Parcel Number: 128-83
CAMA Number: 128-83
Property Address: LISA LN

Mailing Address: TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

Parcel Number: 128-84
CAMA Number: 128-84
Property Address: 43 LISA LN

Mailing Address: PHELAN, CAROL
43 LISA LN
BRISTOL, RI 02809

Parcel Number: 128-85
CAMA Number: 128-85
Property Address: 41 LISA LN

Mailing Address: DESANO, ANTHONY R. JR. JENNIFER L
TE
41 LISA LN
BRISTOL, RI 02809

Parcel Number: 128-86
CAMA Number: 128-86
Property Address: METACOM AVE

Mailing Address: TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

Parcel Number: 128-87
CAMA Number: 128-87
Property Address: 29 CASEY DR

Mailing Address: CARINHA, BARRY S
29 CASEY DR
BRISTOL, RI 02809

Parcel Number: 128-88
CAMA Number: 128-88
Property Address: LISA LN

Mailing Address: TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

Parcel Number: 128-89
CAMA Number: 128-89
Property Address: 37 LISA LN

Mailing Address: PACHECO, JOE M
37 LISA LANE
BRISTOL, RI 02809

Parcel Number: 134-1
CAMA Number: 134-1
Property Address: 648 METACOM AVE

Mailing Address: FALES, FRANK M. JR. DONALD G. TRST
& THE FALES FA
648 METACOM AVE
BRISTOL, RI 02809

Parcel Number: 87-6
CAMA Number: 87-6
Property Address: 697 METACOM AVE

Mailing Address: ELJ INC
703 METACOM AVE
BRISTOL, RI 02809

Parcel Number: 94-1
CAMA Number: 94-1
Property Address: 685 METACOM AVE

Mailing Address: HEAVY M REAL ESTATE, LLC
685 METACOM AVE
BRISTOL, RI 02809



www.cai-tech.com

3/11/2025

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 2 of 9



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Parcel Number: 94-14
CAMA Number: 94-14-001
Property Address: 663 METACOM AVE

Mailing Address: FUSCO, JAMIE & SUNHE TE
663 METACOM AVE, UNIT 1
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-002
Property Address: 663 METACOM AVE

Mailing Address: SWIFT, ROBERT F
30 DOLLY DR
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-003
Property Address: 663 METACOM AVE

Mailing Address: KAMIYAMA, MASAKUNI & FUJII-
KAMIYAMA, MINO
663 METACOM AVE
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-004
Property Address: 663 METACOM AVE

Mailing Address: NOLETTE, MICHAEL JOSEPH & ANNA
LANORA TE
663 METACOM AVE, UNIT 4
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-005
Property Address: 665 METACOM AVE

Mailing Address: MCLEOD, LAURA K.
665 METACOM AVE, UNIT 5
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-007
Property Address: 665 METACOM AVE

Mailing Address: CRUZ, BENJAMIN JR. ADELIN ETUX
665 METACOM AVE UNIT 7
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-008
Property Address: 665 METACOM AVE

Mailing Address: BOUCHARD, MARIANNE L
665 METACOM AVE UNIT 8
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-009
Property Address: 665 METACOM AVE

Mailing Address: BERWICK, JULIA
425 EAST 82ND ST APT 3-B
NEW YORK, NY 10028

Parcel Number: 94-14
CAMA Number: 94-14-010
Property Address: 665 METACOM AVE

Mailing Address: DANSEREAU, JASON C
665 METACOM AVE UNIT 10
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-011
Property Address: 667 METACOM AVE

Mailing Address: MEDEIROS, SHAUNI-LEE
667 METACOM AVE UNIT 11
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-012
Property Address: 667 METACOM AVE

Mailing Address: BORGES, GEORGE E & ROSE TE
667 METACOM AVE UNIT 12
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-013
Property Address: 667 METACOM AVE

Mailing Address: SWIFT, ROBERT F
667 METACOM AVE UNIT 13
BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Parcel Number: 94-14 CAMA Number: 94-14-014 Property Address: 667 METACOM AVE	Mailing Address: KURKOSKI, HAYLEE 667 METACOM AVE, UNIT 14 BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-015 Property Address: 667 METACOM AVE	Mailing Address: LAGARTO, DANIEL L 667 METACOM AVE, UNIT 15 BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-016 Property Address: 667 METACOM AVE	Mailing Address: FEIJO, JORDAN JOSEPH & GEREMIA, KASEY MARIE TE 667 METACOM AVE UNIT 16 BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-017 Property Address: 669 METACOM AVE	Mailing Address: STORTI, ANNE L. UNIT 17 669 METACOM AVE BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-018 Property Address: 669 METACOM AVE	Mailing Address: LEONARD, LOUISE A. 669 METACOM AVE UNIT 18 BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-019 Property Address: 669 METACOM AVE	Mailing Address: OLIVEIRA, MARIA BEATRIZ UNIT 19 669 METACOM AVE BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-020 Property Address: 669 METACOM AVE	Mailing Address: RAMOS, RYAN M 669 METACOM AVE, UNIT 20 BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-021 Property Address: 669 METACOM AVE	Mailing Address: CHABOT, DONNA M. UNIT 21 669 METACOM AVE BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-022 Property Address: 669 METACOM AVE	Mailing Address: CORKUM, JODIE-LYNN 669 METACOM AVE, UNIT 22 BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-023 Property Address: 669 METACOM AVE	Mailing Address: RENAUD, CAROL 669 METACOM AVE, UNIT 23 BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-024 Property Address: 669 METACOM AVE	Mailing Address: BREWER, JAMES 669 METACOM AVE UNIT 24 BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-025 Property Address: 669 METACOM AVE	Mailing Address: SHEPARD, KATHLEEN F. 669 METACOM AVE, UNIT 25 BRISTOL, RI 02809



www.cai-tech.com



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Parcel Number: 94-14 CAMA Number: 94-14-026 Property Address: 669 METACOM AVE	Mailing Address: BELL, MICHAEL T TRUSTEE REVOCABLE LIVING TRUST OF MICHAEL T BELL 669 METACOM AVE UNIT 26 BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-027 Property Address: 669 METACOM AVE	Mailing Address: TRIVISONNO, TIA TRUSTEE OF THE KAREN TRIVISONNO IRREVOCABLE TRUST 669 METACOM AVE, UNIT 27 BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-028 Property Address: 669 METACOM AVE # 28	Mailing Address: TROIA, DANIEL B 669 METACOM AVE # 28 BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-029 Property Address: 671 METACOM AVE	Mailing Address: MCKENNA, JARED D 671 METACOM AVE UNIT 29 BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-030 Property Address: 671 METACOM AVE	Mailing Address: PEREIRA, DANNY 1 LANDMARK RD WALLINGFORD, CT 06494
Parcel Number: 94-14 CAMA Number: 94-14-031 Property Address: 671 METACOM AVE	Mailing Address: SENNOTT, GEORGE F. III & MAGHINI, JILLIAN JT 671 METACOM AVE, UNIT 31 BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-032 Property Address: 671 METACOM AVE	Mailing Address: LIMA, TYLER G 671 METACOM AVE, Unit 32 BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-033 Property Address: 671 METACOM AVE	Mailing Address: ORBAN CONSTANTINO REALTY LLC 337 NORTH LN BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-034 Property Address: 671 METACOM AVE	Mailing Address: BRITO ENTERPRISES, INC. 101 TUPELO ST BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-035 Property Address: 671 METACOM AVE	Mailing Address: SMITH, LINDA BIRD 671 METACOM AVE UNIT 35 BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-036 Property Address: 671 METACOM AVE	Mailing Address: DEMELO, HUMBERTO S. & MARIA LE BOTELHO, SANDRA 671 METACOM AVE, UNIT 36 BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-037 Property Address: 671 METACOM AVE	Mailing Address: CHILD, MARIA F 671 METACOM AVE UNIT 37 BRISTOL, RI 02809



www.cai-tech.com



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Parcel Number: 94-14
CAMA Number: 94-14-038
Property Address: 671 METACOM AVE

Mailing Address: RIBEIRO DANIEL T
671 METACOM AVE #38
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-039
Property Address: 671 METACOM AVE

Mailing Address: BRITO ENTERPRISES, INC.
101 TUPELO ST
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-040
Property Address: 671 METACOM AVE

Mailing Address: COUTO HORACIO L
1265 NW 22ND AVE
DELRAY BEACH, FL 33445

Parcel Number: 94-14
CAMA Number: 94-14-041
Property Address: 673 METACOM AVE

Mailing Address: TAVARES, KATIE L
673 METACOM AVE, UNIT 41
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-042
Property Address: 673 METACOM AVE

Mailing Address: HERNANDEZ, JUSTIN A
673 METACOM AVE, UNIT 42
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-043
Property Address: 673 METACOM AVE

Mailing Address: ANGELONE JILIAN M
1 CHRISTINE CT
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-044
Property Address: 673 METACOM AVE

Mailing Address: MEDEIROS, ROBERT M. & LARUE,
ISADORA JT
673 METACOM AVE UNIT 44
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-045
Property Address: 673 METACOM AVE

Mailing Address: SALVAGGIO, JAMES J
673 METACOM AVE # 45
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-046
Property Address: 673 METACOM AVE

Mailing Address: SACCHETTI, CAROL L.
673 METACOM AVENUE UNIT 46
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-047
Property Address: 673 METACOM AVE

Mailing Address: KOTUBY, PAUL M JR
673 METACOM AVE UNIT 47
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-048
Property Address: 673 METACOM AVE

Mailing Address: GEORGIU, PAULA & GEORGIU,
JENNIFER SOPHIA JT
673 METACOM AVE, UNIT 48
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-049
Property Address: 673 METACOM AVE

Mailing Address: NORMANDIN, PHILIP TRUSTEE PHILIP
NORMANDIN REV LIVING TRUST
673 METACOM AVE UNIT 49
BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

3/11/2025

Page 6 of 9



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Parcel Number: 94-14 CAMA Number: 94-14-050 Property Address: 673 METACOM AVE	Mailing Address: KELLEY, CHERYL 673 METACOM AVE, Unit 50 BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-051 Property Address: 673 METACOM AVE	Mailing Address: GONSALVES, ANDREW J. 673 METACOM AVE BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-052 Property Address: 673 METACOM AVE	Mailing Address: D'ELIA, WILLIAM J. & GAIL K. TE 673 METACOM AVE, UNIT 52 BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-053 Property Address: 675 METACOM AVE	Mailing Address: WELLS, RICHARD D. TRUSTEE 675 METACOM AVE, UNIT 53 BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-054 Property Address: 675 METACOM AVE	Mailing Address: ROGERS, ROSE M. 675 METACOM AVE UNIT 54 BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-055 Property Address: 675 METACOM AVE	Mailing Address: CCB ENETERPRISES LLC 18 WHEELER AVE BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-056 Property Address: 675 METACOM AVE	Mailing Address: MEDEIROS, GAILELYN & EUGENE TE 675 METACOM AVE BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-057 Property Address: 675 METACOM AVE	Mailing Address: GREY, SALLY M.P. LE CROKE, ALISON L. & 675 METACOM AVE, UNIT 57 BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-058 Property Address: 675 METACOM AVE	Mailing Address: SHATTUCK, ALAN DOUGLAS JR TRUSTEE 261 LINCOLN AVE BARRINGTON, RI 02806
Parcel Number: 94-14 CAMA Number: 94-14-059 Property Address: 677 METACOM AVE	Mailing Address: SPAULDING, LUCAS 677 METACOM AVE, UNIT 59 BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-060 Property Address: 677 METACOM AVE	Mailing Address: BALZANO, JOHN E. & JANE MARIE TE 677 METACOM AVE, UNIT 60 BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-061 Property Address: 677 METACOM AVE	Mailing Address: SWIFT, ROBERT 30 DOLLY DR BRISTOL, RI 02809



www.cai-tech.com



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Parcel Number: 94-14
CAMA Number: 94-14-062
Property Address: 677 METACOM AVE

Mailing Address: EIKENBERG, SHERI
677 METACOM AVE, UNIT 62
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-063
Property Address: 677 METACOM AVE

Mailing Address: LOPES, NELSY
677 METACOM AVE UNIT 63
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-064
Property Address: 677 METACOM AVE

Mailing Address: FARINA-ROSENDALE, HOLLIS M
677 METACOM AVE UNIT 64
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-065
Property Address: 679 METACOM AVE

Mailing Address: SOUSA, MARGUERITE Q
679 METACOM AVE UNIT 65
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-066
Property Address: 679 METACOM AVE

Mailing Address: DONAHUE, COLIN M.
7 EVERETT ST
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-067
Property Address: 679 METACOM AVE

Mailing Address: VIEIRA, CARMELA LIFE ESTATE
BYRNES, VIVIAN & ANGELA M TC
44 THAYER STREET
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-068
Property Address: 679 METACOM AVE

Mailing Address: VIEIRA, CARMELA LIFE ESTATE
BYRNES, VIVIAN & ANGELA M TC
44 THAYER STREET
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-069
Property Address: 679 METACOM AVE

Mailing Address: CHASE, MARY R.
679 METACOM AVE, UNIT 69
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-070
Property Address: 679 METACOM AVE

Mailing Address: BHANDARI, HUM NATH & SARITA
POUDYAL TE
679 METACOM AVE UNIT 70
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-071
Property Address: 679 METACOM AVE

Mailing Address: SMITH, ROBERT B & SUNDERLAND,
CATHERINE T JT
679 METACOM AVE UNIT 71
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-072
Property Address: 681 METACOM AVE

Mailing Address: GORMAN, DAVID UNIT 72
681 METACOM AVE
BRISTOL, RI 02809

Parcel Number: 94-14
CAMA Number: 94-14-073
Property Address: 681 METACOM AVE

Mailing Address: HOSHUE, HEIDI
17101 SW 204TH STREET
MIAMI, FL 33187-3518



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

3/11/2025

Page 8 of 9



300 feet Abutters List Report

Bristol, RI
March 11, 2025

Parcel Number: 94-14 CAMA Number: 94-14-074 Property Address: 681 METACOM AVE	Mailing Address: RUGGIERO, CHERYL A. 681 METACOM AVE UNIT 74 BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-075 Property Address: 681 METACOM AVE	Mailing Address: CRATTY, LAUREN M. 681 METACOM AVE, UNIT 75 BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-076 Property Address: 681 METACOM AVE	Mailing Address: NOVY, PRESTON 33 OHEHYAHTAH PL DANBURY, CT 06810
Parcel Number: 94-14 CAMA Number: 94-14-077 Property Address: 681 METACOM AVE	Mailing Address: MELT PROPERTIES LLC 32 HICKORY LN WATERFORD, CT 06385
Parcel Number: 94-14 CAMA Number: 94-14-078 Property Address: 681 METACOM AVE	Mailing Address: SWIFT, ROBERT F 30 DOLLY DR BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-079 Property Address: 683 METACOM AVE UNIT 79	Mailing Address: PELENDO, ISAAC 683 METACOM AVE UNIT 79 BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-080 Property Address: 683 METACOM AVE UNIT80	Mailing Address: MORAN, CHARLES J & MARY BETH TE 683 METACOM AVE., #80 BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-081 Property Address: 683 METACOM AVE	Mailing Address: SCOTT, KIARA 683 METACOM AVE, UNIT 81 BRISTOL, RI 02809
Parcel Number: 94-14 CAMA Number: 94-14-082 Property Address: 683 METACOM AVE	Mailing Address: FOX, KEITH M. UNIT 82 683 METACOM AVE BRISTOL, RI 02809
Parcel Number: 94-4 CAMA Number: 94-4 Property Address: 691 METACOM AVE	Mailing Address: HEAVY M REAL ESTATE, LLC 685 METACOM AVE BRISTOL, RI 02809
Parcel Number: 94-9 CAMA Number: 94-9 Property Address: BROADCOMMON RD	Mailing Address: HEAVY M REAL ESTATE, LLC 685 METACOM AVE BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

3/11/2025

Page 9 of 9

ANGELONE JILIAN M
1 CHRISTINE CT
BRISTOL, RI 02809

CARINHA, BARRY S
29 CASEY DR
BRISTOL, RI 02809

DASILVA, JOSEPH A.
38 LISA LANE
BRISTOL, RI 02809

ANNIS, JAMES D.
JAMES A. JT
44 LISA LN
BRISTOL, RI 02809

CCB ENETERPRISES LLC
18 WHEELER AVE
BRISTOL, RI 02809

D'ELIA, WILLIAM J. & GAIL
673 METACOM AVE, UNIT 52
BRISTOL, RI 02809

BALZANO, JOHN E. & JANE M
677 METACOM AVE, UNIT 60
BRISTOL, RI 02809

CHABOT, DONNA M.
UNIT 21
669 METACOM AVE
BRISTOL, RI 02809

DEMELO, HUMBERTO S. & MAR
BOTELHO, SANDRA
671 METACOM AVE, UNIT 36
BRISTOL, RI 02809

BELL, MICHAEL T TRUSTEE
REVOCABLE LIVING TRUST OF
669 METACOM AVE UNIT 26
BRISTOL, RI 02809

CHASE, MARY R.
679 METACOM AVE, UNIT 69
BRISTOL, RI 02809

DESANO, ANTHONY R. JR.
JENNIFER L TE
41 LISA LN
BRISTOL, RI 02809

BERWICK, JULIA
425 EAST 82ND ST APT 3-B
NEW YORK, NY 10028

CHILD, MARIA F
671 METACOM AVE UNIT 37
BRISTOL, RI 02809

DONAHUE, COLIN M.
7 EVERETT ST
BRISTOL, RI 02809

BHANDARI, HUM NATH &
SARITA POUDYAL TE
679 METACOM AVE UNIT 70
BRISTOL, RI 02809

CORKUM, JODIE-LYNN
669 METACOM AVE, UNIT 22
BRISTOL, RI 02809

EIKENBERG, SHERI
677 METACOM AVE, UNIT 62
BRISTOL, RI 02809

BORGES, GEORGE E &
ROSE TE
667 METACOM AVE UNIT 12
BRISTOL, RI 02809

COUTO HORACIO L
1265 NW 22ND AVE
DELRAY BEACH, FL 33445

ELJ INC
703 METACOM AVE
BRISTOL, RI 02809

BOUCHARD, MARIANNE L
665 METACOM AVE UNIT 8
BRISTOL, RI 02809

CRATTY, LAUREN M.
681 METACOM AVE, UNIT 75
BRISTOL, RI 02809

FALES, FRANK M. JR.
DONALD G. TRST & THE FALE
648 METACOM AVE
BRISTOL, RI 02809

BREWER, JAMES
669 METACOM AVE UNIT 24
BRISTOL, RI 02809

CRUZ, BENJAMIN JR.
ADELINE ETUX
665 METACOM AVE UNIT 7
BRISTOL, RI 02809

FARINA-ROSENDALE, HOLLIS
677 METACOM AVE UNIT 64
BRISTOL, RI 02809

BRITO ENTERPRISES, INC.
101 TUPELO ST
BRISTOL, RI 02809

DANSEREAU, JASON C
665 METACOM AVE
UNIT 10
BRISTOL, RI 02809

FEIJO, JORDAN JOSEPH &
GEREMIA, KASEY MARIE TE
667 METACOM AVE UNIT 16
BRISTOL, RI 02809

FOX, KEITH M.
UNIT 82
683 METACOM AVE
BRISTOL, RI 02809

KAMIYAMA, MASAKUNI & FUJI
663 METACOM AVE
BRISTOL, RI 02809

MCLEOD, LAURA K.
665 METACOM AVE, UNIT 5
BRISTOL, RI 02809

FUSCO, JAMIE & SUNHE TE
663 METACOM AVE, UNIT 1
BRISTOL, RI 02809

KELLEY, CHERYL
673 METACOM AVE, Unit 50
BRISTOL, RI 02809

MEDEIROS, GAILELYN &
EUGENE TE
675 METACOM AVE
BRISTOL, RI 02809

GEORGIU, PAULA & GEORGIO
673 METACOM AVE, UNIT 48
BRISTOL, RI 02809

KOTUBY, PAUL M JR
673 METACOM AVE UNIT 47
BRISTOL, RI 02809

MEDEIROS, ROBERT M. &
LARUE, ISADORA JT
673 METACOM AVE
UNIT 44
BRISTOL, RI 02809

GONSALVES, ANDREW J.
673 METACOM AVE
BRISTOL, RI 02809

KURKOSKI, HAYLEE
667 METACOM AVE, UNIT 14
BRISTOL, RI 02809

MEDEIROS, SHAUNI-LEE
667 METACOM AVE UNIT 11
BRISTOL, RI 02809

GORMAN, DAVID
UNIT 72
681 METACOM AVE
BRISTOL, RI 02809

LAGARTO, DANIEL L
667 METACOM AVE, UNIT 15
BRISTOL, RI 02809

MELT PROPERTIES LLC
32 HICKORY LN
WATERFORD, CT 06385

GREY, SALLY M.P. LE
CROKE, ALISON L. &
675 METACOM AVE, UNIT 57
BRISTOL, RI 02809

LAGARTO, SHANNON M
46 LISA LN
BRISTOL, RI 02809

MORAN, CHARLES J & MARY B
683 METACOM AVE., #80
BRISTOL, RI 02809

HANON, JAMES W & SHARON A
26 CASEY DR
BRISTOL, RI 02809

LEONARD, LOUISE A.
669 METACOM AVE UNIT 18
BRISTOL, RI 02809

NOLETTE, MICHAEL JOSEPH &
663 METACOM AVE, UNIT 4
BRISTOL, RI 02809

HEAVY M REAL ESTATE, LLC
685 METACOM AVE
BRISTOL, RI 02809

LIMA, TYLER G
671 METACOM AVE, Unit 32
BRISTOL, RI 02809

NORMANDIN, PHILIP TRUSTEE
PHILIP NORMANDIN REV LIVI
673 METACOM AVE UNIT 49
BRISTOL, RI 02809

HERNANDEZ, JUSTIN A
673 METACOM AVE, UNIT 42
BRISTOL, RI 02809

LOPES, NELSY
677 METACOM AVE UNIT 63
BRISTOL, RI 02809

NOVY, PRESTON
33 OHEHYAHTAH PL
DANBURY, CT 06810

HOSHUE, HEIDI
17101 SW 204TH STREET
MIAMI, FL 33187-3518

MCKENNA, JARED D
671 METACOM AVE
UNIT 29
BRISTOL, RI 02809

OLIVEIRA, MARIA BEATRIZ
UNIT 19
669 METACOM AVE
BRISTOL, RI 02809

ORBAN
CONSTANTINO REALTY LLC
337 NORTH LN
BRISTOL, RI 02809

RICHMOND, JONATHAN W &
NICOLE M. TE
40 LISA LN
BRISTOL, RI 02809

SMITH, ROBERT B &
SUNDERLAND, CATHERINE T J
679 METACOM AVE UNIT 71
BRISTOL, RI 02809

PACHECO, JOE M
37 LISA LANE
BRISTOL, RI 02809

ROGERS, ROSE M.
675 METACOM AVE UNIT 54
BRISTOL, RI 02809

SOUSA, MARGUERITE Q
679 METACOM AVE
UNIT 65
BRISTOL, RI 02809

PELENDO, ISAAC
683 METACOM AVE UNIT 79
BRISTOL, RI 02809

RUGGIERO, CHERYL A.
681 METACOM AVE UNIT 74
BRISTOL, RI 02809

SPAULDING, LUCAS
677 METACOM AVE, UNIT 59
BRISTOL, RI 02809

PEREIRA, DANNY
1 LANDMARK RD
WALLINGFORD, CT 06494

SACCHETTI, CAROL L.
673 METACOM AVENUE UNIT 46
BRISTOL, RI 02809

STORTI, ANNE L.
UNIT 17
669 METACOM AVE
BRISTOL, RI 02809

PHELAN, CAROL
43 LISA LN
BRISTOL, RI 02809

SALVAGGIO, JAMES J
673 METACOM AVE # 45
BRISTOL, RI 02809

SWIFT, ROBERT
30 DOLLY DR
BRISTOL, RI 02809

RAMOS, DAVID J.
12 RUTH AVE
BRISTOL, RI 02809

SCOTT, KIARA
683 METACOM AVE, UNIT 81
BRISTOL, RI 02809

SWIFT, ROBERT F
30 DOLLY DR
BRISTOL, RI 02809

RAMOS, LIONEL J
9 SCOTT LANE
BRISTOL, RI 02809

SENNOTT, GEORGE F. III &
671 METACOM AVE, UNIT 31
BRISTOL, RI 02809

SWIFT, ROBERT F
667 METACOM AVE
UNIT 13
BRISTOL, RI 02809

RAMOS, RYAN M
669 METACOM AVE, UNIT 20
BRISTOL, RI 02809

SHATTUCK, ALAN DOUGLAS JR
261 LINCOLN AVE
BARRINGTON, RI 02806

SYLVIA, GEORGE M
& KAREN A TE
36 LISA LN
BRISTOL, RI 02809

RENAUD, CAROL
669 METACOM AVE, UNIT 23
BRISTOL, RI 02809

SHEPARD, KATHLEEN F.
669 METACOM AVE, UNIT 25
BRISTOL, RI 02809

TAVARES, KATIE L
673 METACOM AVE, UNIT 41
BRISTOL, RI 02809

RIBEIRO DANIEL T
671 METACOM AVE #38
BRISTOL, RI 02809

SMITH, LINDA BIRD
671 METACOM AVE UNIT 35
BRISTOL, RI 02809

TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

TRIVISONNO, TIA TRUSTEE O
KAREN TRIVISONNO IRREVOCA
669 METACOM AVE, UNIT 27
BRISTOL, RI 02809

TROCCHIO, MATTHEW J. &
HAUGH, CIRI E. TE
42 LISA LN
BRISTOL, RI 02809

TROIA, DANIEL B
669 METACOM AVE # 28
BRISTOL, RI 02809

VEADER REALTY RI, LLC
2283 GAR HWAY
SWANSEA, MA 02777

VIEIRA, CARMELA LIFE ESTA
BYRNES, VIVIAN & ANGELA M
44 THAYER STREET
BRISTOL, RI 02809

WELLS, RICHARD D. TRUSTEE
675 METACOM AVE, UNIT 53
BRISTOL, RI 02809