



TOWN OF BRISTOL, RHODE ISLAND

ZONING BOARD OF REVIEW MEETING

Zoning Board of Review Meeting Agenda

Tuesday, January 02, 2024 at 7:00 PM

Bristol Town Hall, 10 Court Street, Bristol, RI 02809

Scanned copies of all applications and supporting materials will be available on the Town of Bristol website at <https://www.bristolri.gov/government/boards/zoning-board-of-review/>. Written comments may be submitted to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, December 28, 2023.

1. Pledge of Allegiance

2. Approval of Minutes - November 6 & December 4, 2023

3. Continued Petitions

3A. 2023-27 Continued Petition of Robert M. Kreft - Dimensional Variances: to construct a 40ft. x 42ft. accessory garage structure at a size and height greater than permitted for accessory structures, and with greater than permitted lot coverage by structures in the R-6 zoning district. Located at **22 Wall Street**; Assessor's Plat 33, Lot 17; Zone: Residential R-6.

4. New Petitions

4A. 2024 January Staff Reports

4B. 2024-01 Thomas A. and Lee H. Dawson - Dimensional Variance: to construct an 18ft. 8in. x 24ft. two-story living area addition to the rear of an existing single-family dwelling with less than the required left side yard. Located at **15 Burton Street**; Assessor's Plat 15, Lot 79; Zone: Residential R-6.

4C. 2024-02 Anthony and Kelli Ann Baro - Dimensional Variance: to construct a 22.25ft. x 22.25ft. garage

and approximate 12ft. x 12ft. breezeway addition to an existing single-family dwelling with less than the required right side yard. Located at **1090 Hope Street**; Assessor's Plat 118, Lot 58; Zone: Residential R-10.

4D. 4C. 2024-03 Jonathan and Miranda Trahan - Dimensional Variance: to construct a new single-family dwelling with less than the required left side yard. Located at **454 Poppasquash Road**; Assessor's Plat 174, Lot 74; Zone: Residential R-80.

5. Correspondence

5A. Re: Recently Adopted Zoning Ordinance Amendments

6. Adjourn

Date Posted: December 14, 2023

By: emt



Town of Bristol, Rhode Island
Zoning Board of Review

10 Court Street
Bristol, RI 02809
401-253-7000
www.bristolri.gov

File #2023-27

PUBLIC HEARING

Notice is hereby given by the Zoning Board of Review
that a public hearing will be held on the following application:

Monday, September 18, 2023

at 7:00 P.M.

Bristol Town Hall
10 Court Street

APPLICANT: **Robert M. Kreft**
PROPERTY OWNER: **Robert M. Kreft / Robert M. Kreft 2020 Trust**
LOCATION: **22 Wall Street**
PLAT: **33** LOT: **17**
ZONE: **Residential R-6**

APPLICANT IS REQUESTING **DIMENSIONAL VARIANCES TO: construct a 40ft. x 42ft. accessory garage structure at a size and height greater than permitted for accessory structures, and with greater than permitted lot coverage by structures in the R-6 zoning district.**

Edward M. Tanner,
Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol web site at <https://www.bristolri.gov/government/boards/zoning-board-of-review/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, September 14, 2023.



Town of Bristol, Rhode Island
Department of Community Development

10 Court Street
 Bristol, RI 02809
 www.bristolri.gov
 401-253-7000

October 25, 2023

TO: Zoning Board of Review
FROM: Edward M. Tanner, Zoning Officer *EMT*
RE: *Application of Robert Kreft*
22 Wall Street

I am writing in response to the zoning board's request for additional information relative to the merger of Assessor's Lots 17 and 21 on Plat 33 (a.k.a. 22 Wall Street).

- In the early 2000's lots 21, 23 & 24 on the south side of Wall Street and the north side of Center Street were three separate Assessor's lots (originally created in the early 1900's), and they were occupied by a commercial tavern/bar and its associated parking. See **attached** assessor's map and GIS aerial photo map from circa 2006 and 2008 respectively.
- In September 2006, the Planning Board approved a subdivision of the three lots listed above in which lot 23 was split between lots 21 and 24. The resulting two lots each contained 7,380 square feet of land area and met the minimum dimensional requirements for a buildable lot in the R-6 zoning district. See **attached** assessor's map from 2010 showing this lot configuration and **attached** Zoning Certificate from 2018 stating that lot 21 is a buildable lot.
- In May 2013, Robert Kreft purchased lot 17, with the existing multi-family dwelling known as 22 Wall Street.
- In August 2018, Robert Kreft purchased the vacant lot 21 from Wood Frame Structures, Inc.
- In December 2020, Robert Kreft filed a Real Estate Lot Merger Declaration with the Tax Assessor formally merging lot 21 into lot 17 (see copy **attached**). Since that time, these previously separate lots have been considered one property totaling 22,140 square feet of land area.
- In July 2021, Robert Kreft submitted an application for a dimensional variance to the zoning board (File #2021-31) proposing construction of an accessory garage structure on the vacant portion of the property that was formerly lot 21. This petition was denied by the zoning board.
- In July 2023, Robert Kreft submitted the current application for dimensional variances to construct an accessory garage structure with a different size and configuration from the previous petition.

Should you have any questions pertaining to this matter, please feel free to contact me.

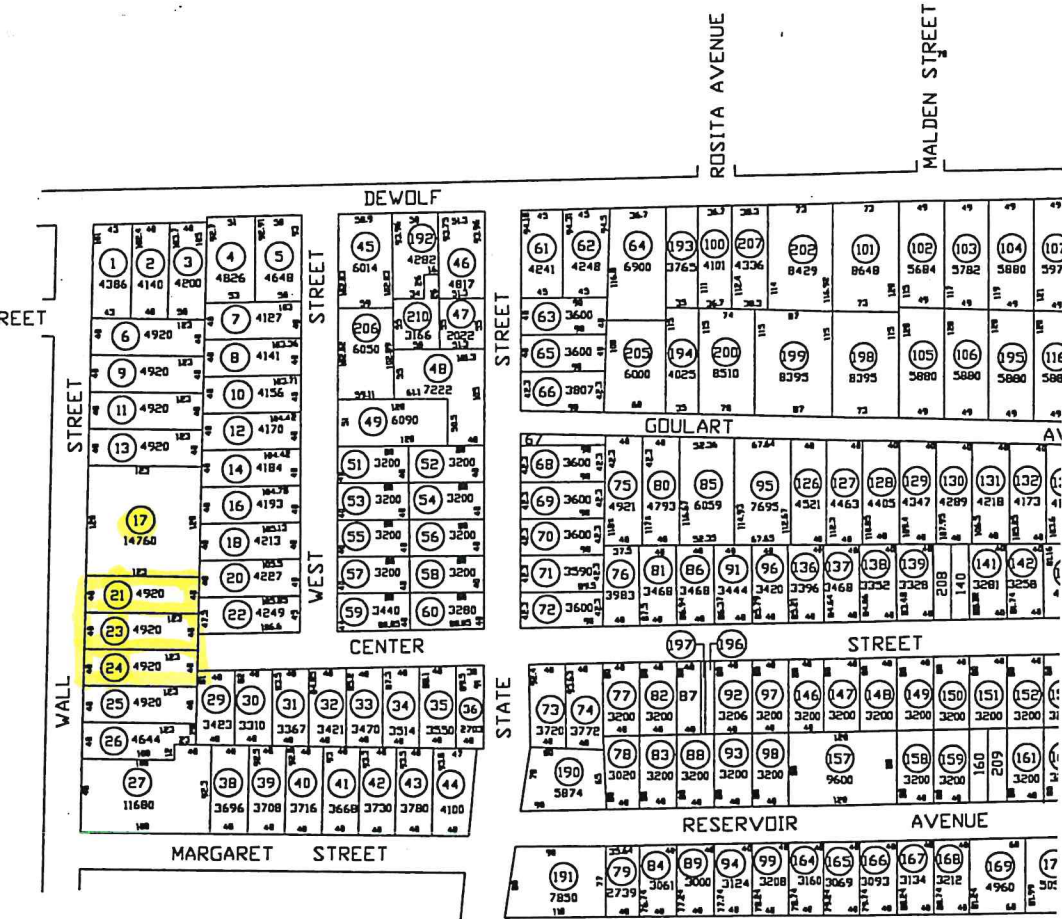
SEE PLAT MAP NO. 45

SEE PLAT MAP NO. 44

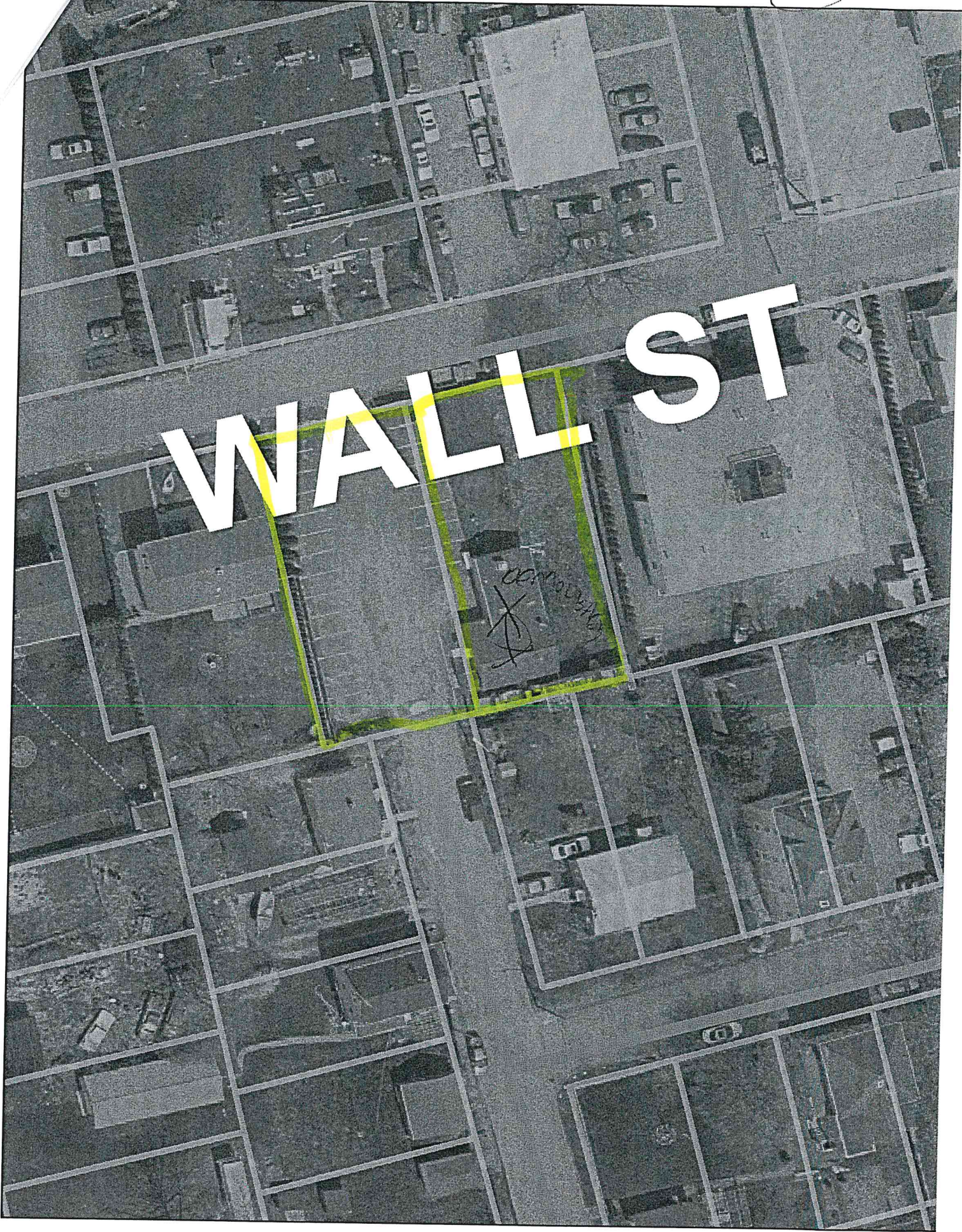
SEE PLAT MAP NO. 37

SEE PLAT MAP NO. 30

2006

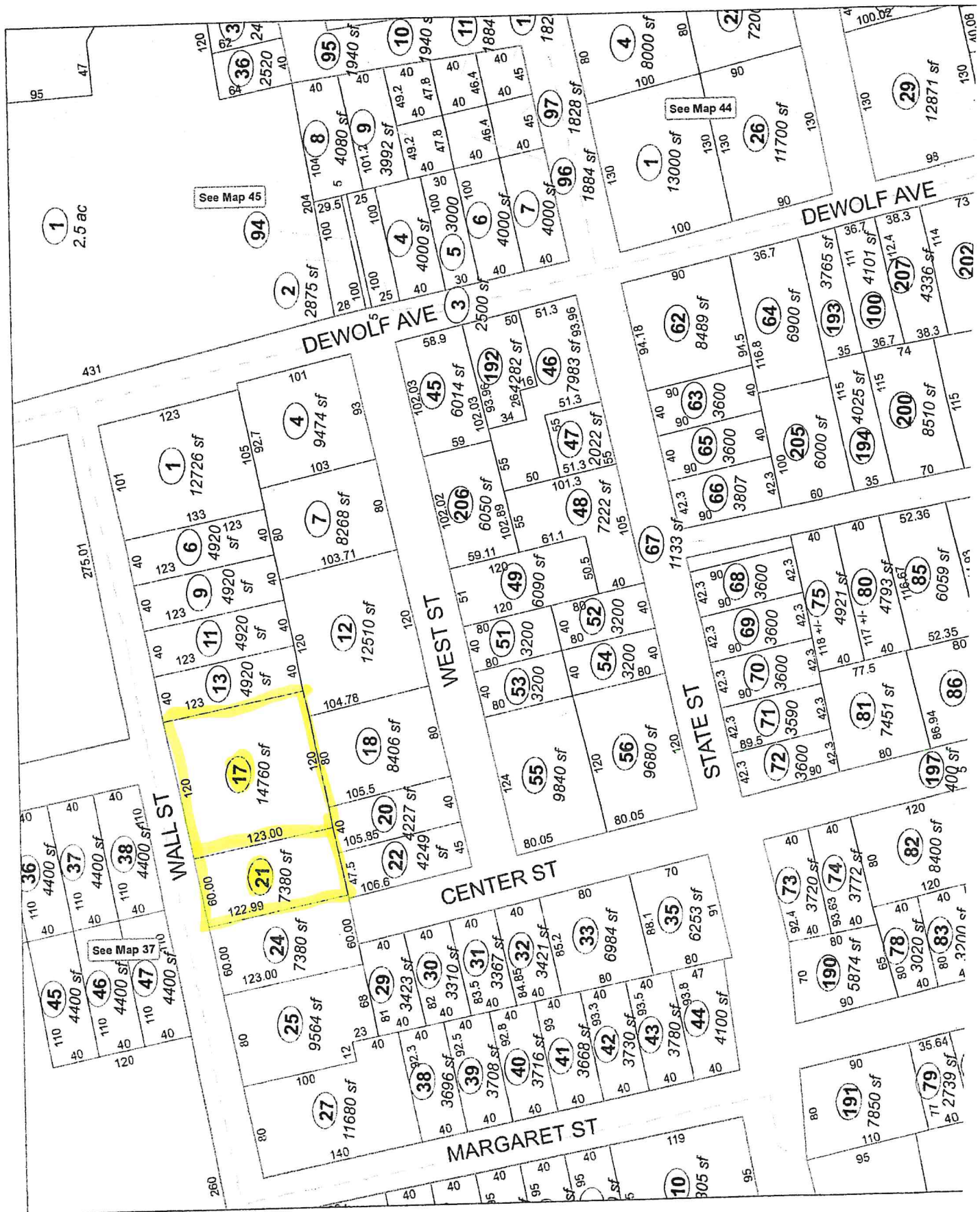


2008



WALL ST

COMMON
[Handwritten markings]



Data is valid through December 2010.

Disclaimer

This Plan shall be used only to provide general information regarding dimensions, areas, etc. and does not represent a guarantee of accuracy. The information on this map was compiled from the Town of Bristol's GIS Database, which was compiled from various records, including deeds, existing GIS data, Survey records and other documents. The information on this map was compiled from various records, including deeds, existing GIS data, Survey records and other documents. The information on this map was compiled from various records, including deeds, existing GIS data, Survey records and other documents. The information on this map was compiled from various records, including deeds, existing GIS data, Survey records and other documents.

Legend

- Leadline — Paper Street
- Property Line — ROW
- Bluff — Survey Line
- Bridge — Town Boundary
- Macchine — Water Boundary
- Historic Lot Line
- Stream
- Water Body
- Paper Street
- Easement
- Tax map boundary
- Property on adjacent tax map

TOW



TOWN OF BRISTOL
DEPARTMENT OF COMMUNITY DEVELOPMENT
10 Court Street • Bristol, Rhode Island 02809

ZONING CERTIFICATE

May 4, 2018

TO: WHOM IT MAY CONCERN

RE: Wall Street
Assessor's Plat 33, Lot 21
Zoned Residential R-6

The lot referenced above is a vacant parcel consisting of approximately 7,380 square feet of land area located on the southerly side of Wall Street. This lot was created in its current configuration via an approved and recorded subdivision plan in September 2006. Lot 21 meets the dimensional requirements for a buildable lot in the R-6 zoning district. Thus, **lot 21 is a buildable lot** and may be improved with a single-family dwelling.

The construction of any dwelling on lot 21 would be required to conform to the following minimum property line setbacks for the R-6 zoning district:

Front Yard Setback: 20 feet or average of the block (whichever is less)
Rear Yard Setback: 20 feet
Side Yard Setbacks: 10 feet

Edward M. Tanner
Principal Planner / Zoning Enforcement Officer

cc: Building Department
Tax Assessor

Town of Bristol, Rhode Island Real Estate Merging Declaration

Name: Kreft, Robert M., Trustee
Robert M. Kreft 2020 Trust
Property: 22 Wall St
Bristol, RI 02809

Pursuant to Town of Bristol Ordinance 28-221, the undersigned, as property owner/s of contiguous parcels known as Assessors Plat 033 lots 0017 and 0021 declare/s the lots herein listed to be one parcel with a total of 22,140 square feet.

This declaration is made with the full knowledge that all Town records for assessing purposes will forever reflect this change, and will only be changed or altered through the recording of a subdivision plan, properly approved by the Town of Bristol.

All valuations to be as of December 31, 2020 and subsequent revaluation anniversaries.

Owner/s *Robert M. Kreft*

STATE OF RHODE ISLAND

COUNTY OF BRISTOL

In Bristol this 9 day of December, 2020 before me personally appeared ROBERT M KREFT to me known and known by me to be the person/s executing the foregoing and said person/s acknowledge this instrument to be their free act and deed.

Catherine A Marshall *12/9/2020*
Notary Public Date

My Commission Expires: *12/21/2020*

Catherine A Marshall
Notary Public
State of Rhode Island ID# 51092
My Comm. Expires: *12/20/2020*

To be known as Assessors Plat 033 Lot 0017

Tax Assessor *[Signature]*

Director of Community Development *Daniel Williamson*

Ed Tanner

From: Robert Kreft <Rkreft@kreftgroup.com>
Sent: Monday, October 23, 2023 8:57 AM
To: Ed Tanner
Subject: Wall Street Garage
Attachments: PLOT PLAN LAYOUT 24X36 REV.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Caution: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe. When in doubt, contact your IT Department

Ed I believe attached is what the zoning board is looking for can you take a look and confirm? Can we speak for a few minutes this week?

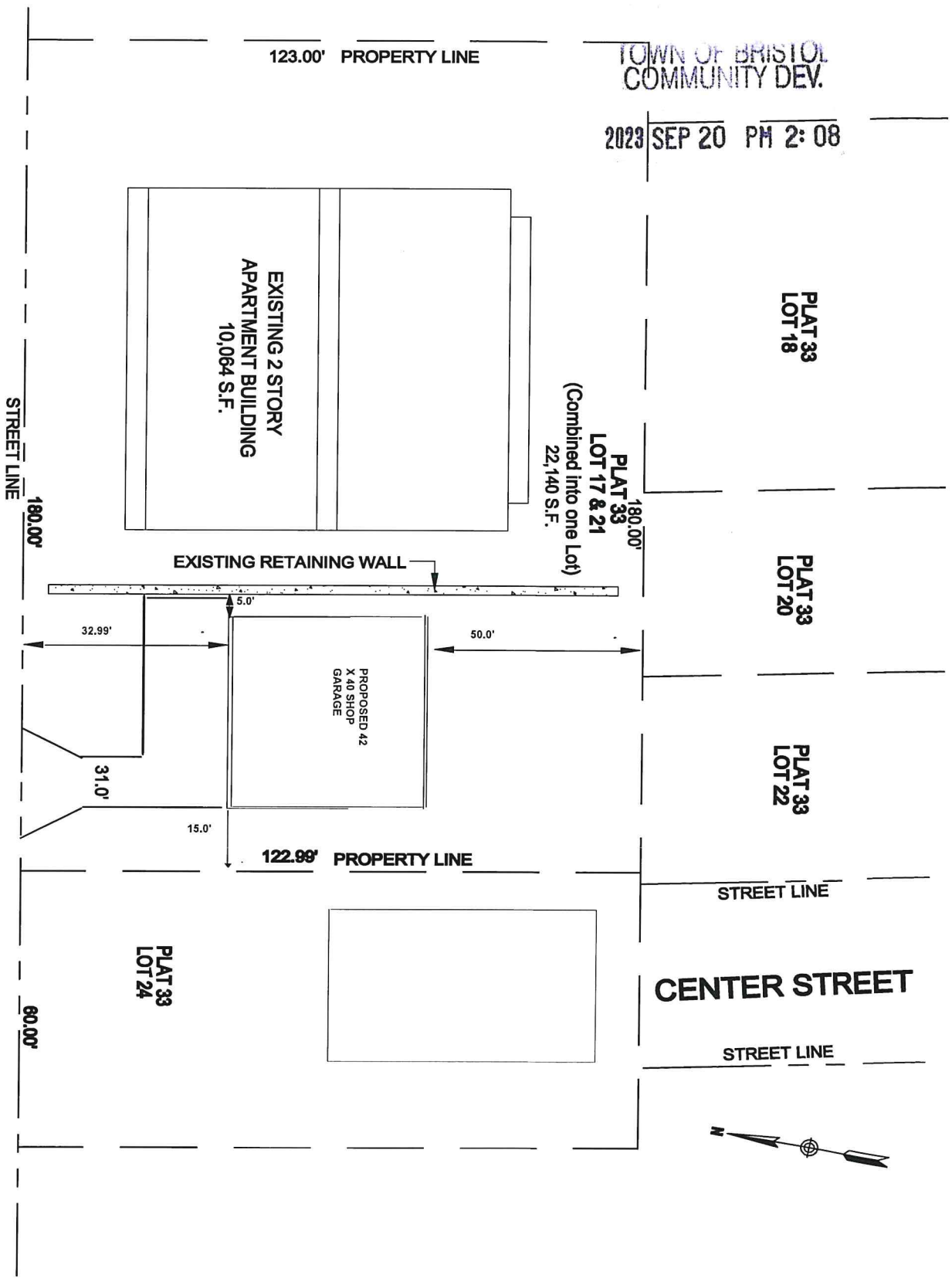
Thanks in advance

Rob Kreft

Kreft Group ■
M 401-489-0984 | F 866-843-7642
rkreft@kreftgroup.com

TOWN OF BRISTOL
COMMUNITY DEV.

2023 SEP 20 PM 2: 08



Proposed
Garage For:
Robert Kraft
16 Wall Street
Bristol, Rhode Island
Map 33 Lot 17
and
Map 33 Lot 21
Combined into one Lot

PROJECT NUMBER: 00416

Drawn By: SML

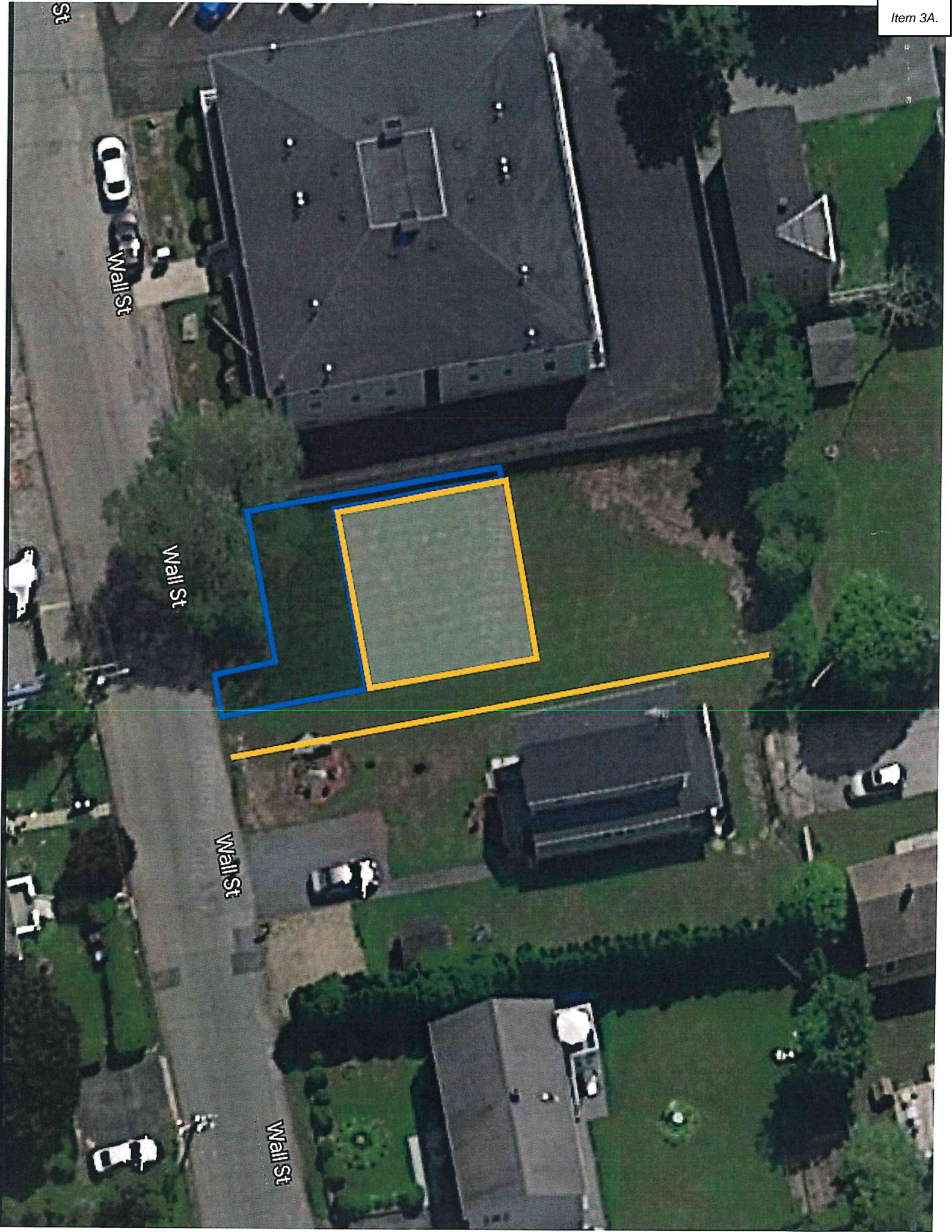
Checked By: X

Issue Date: 03-13-20

SHEET LEGEND:

Revision No	Date	Description

Drawn By:
Site Plan



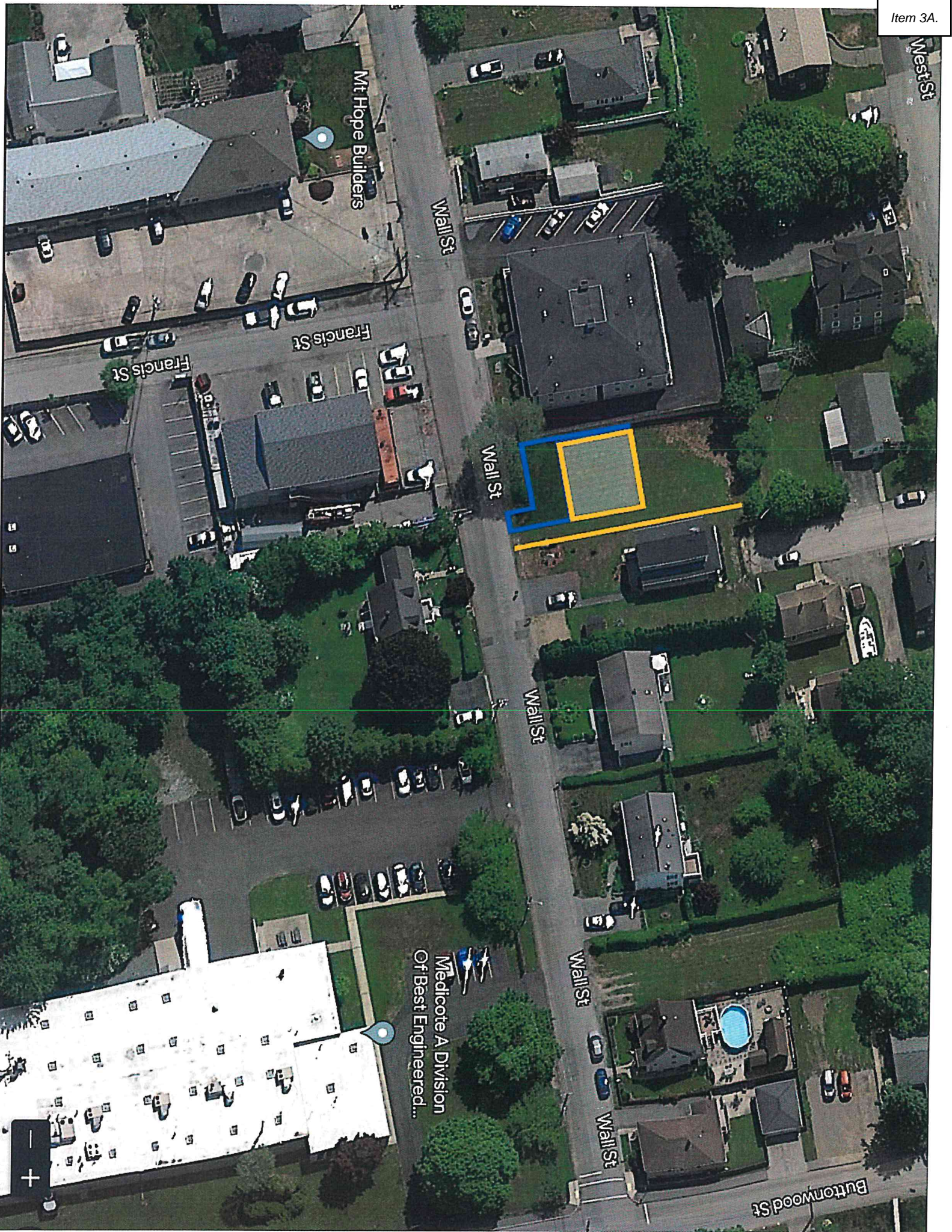
St

Wall St

Wall St

Wall St

Wall St



Mt Hope Builders

Francis St

Wall St

Wall St

Wall St

Wall St

Wall St

Buttonwood St

Medicote A Division
Of Best Engineered...

West St



Town of Bristol, Rhode Island Zoning Board of Review

STAFF REPORT FOR:

FILE NO. **2023-27**

APPLICANT: Robert M. Kreft
 LOCATION: 22 Wall Street
 PLAT: 33 LOT: 17 ZONE: R-6

APPLICANT IS REQUESTING DIMENSIONAL VARIANCES TO:

Construct a 40ft. x 42ft. accessory garage structure at a size and height greater than permitted for accessory structures, and with greater than permitted lot coverage by structures in the R-6 zoning district.

COMPREHENSIVE PLAN REVIEW:

As this application is for a dimensional variance, it does not require review by the Planning Board per Section 28-409(b) of the Zoning Ordinance.

FINDINGS AND RECOMMENDATIONS BY STAFF:


The applicant is requesting dimensional variances to construct a 40' x 42' accessory garage structure on this property located on the southerly side of Wall Street (see attached GIS map depicting property). This property consists of a 22,140 square foot lot that is currently improved with a two-story multi-family structure containing 12 residential dwelling units. The applicant proposes to construct a four stall garage with workshop area to provide storage for vehicles and maintenance equipment used on the property. According to information presented with this application, the property currently provides off-street parking for 25 vehicles, and the garage addition would free up three of these spaces, as they are currently occupied by maintenance vehicles and equipment.

The existing residential structure was constructed in the early 1990's and received dimensional variances from the zoning board in July 1991 for a 12 unit multi-family residence with less than the required lot area per dwelling unit. The site plan submitted with the application at that time depicted off-street parking on the property for up to 34 vehicles, including 10 spaces in front of the building where there is now landscaping. The zoning ordinance requires a minimum of two off-street parking spaces per residential dwelling unit.

The proposed garage would be constructed on the westerly end of the property within a portion of the parcel that was previously a separate lot (identified as assessor's lot 21). This lot was purchased by the applicant and merged with lot 17 in 2020. The proposed garage would comply with applicable setbacks for the R-6 zoning district (although a survey will be required to confirm property line locations prior to any building permit), but it would exceed the maximum height and the maximum size permitted for an accessory structure in the R-6 zone. In addition, the proposed structure would increase lot coverage by structures on this property from 46% to 53%. The zoning ordinance permits a maximum size for accessory structures in the lot coverage by structures of 30% in the R-6 zone.

The proposed garage would have a footprint of approximately 1,680 square feet. Although the zoning ordinance does not regulate lot coverage by pavement and structures in residential zones, it appears that the proposal would cover the majority of the site with impervious surfaces. As such, this project would require a Soil Erosion, Runoff and Sediment Control (ERSC) permit per Chapter 29 of Bristol Town Code. As this property is located in the Tanyard Brook Watershed, more stringent runoff mitigation requirements would apply. The applicant will need to demonstrate that the project can meet the requirements of this ordinance and plans prepared by a Professional Engineer will be required prior to issuance of a building permit for the proposed garage.

Recall that the applicant was before the Board with a similar application in July 2021 (File # 2021-31). At that time, the applicant proposed a slightly larger structure with a different design and configuration. The Board denied that application (see attached copy of decision).


Edward M. Tanner, Zoning Officer



22 Wall Street

Bristol, RI



September 13, 2023

1 inch = 35 Feet

www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



Town of Bristol, Rhode Island
Zoning Board of Review

DECISION FOR VARIANCE

FILE # 2021-31

RE: Application of: Robert Kreft

For property located at 22 Wall Street, in Bristol, Rhode Island (Tax Assessor's Plat 33, Lot 17) in the following zoning district: Residential R-6.

This matter was heard before the Board at a public hearing on July 12, 2021 upon the Applicant's request for DIMENSIONAL VARIANCES from the Zoning Ordinance to:

Construct a 24ft. x 82ft. accessory garage structure at a size greater than permitted for accessory structures in a residential zoning district, and with greater than permitted lot coverage by structures.

After due consideration of the Application, (including the exhibits, testimony of the witnesses, and the entire record presented to the Board), the Board makes the following findings of fact:

The Board finds that the applicant is requesting relief to construct a 24' x 82' accessory garage structure, which exceeds the 22' x 24' maximum size for accessory structures allowed by the Bristol Zoning Ordinance. The proposed structure would also increase lot coverage by structures to approximately 54 percent, which exceeds the 30 percent maximum lot coverage permitted in the R-6 zoning district. The Board finds that this application fails to meet all of the Standards for Relief found in the Bristol Zoning Ordinance necessary to approve a Dimensional Variance.

The Board finds that the hardship from which the applicant seeks relief is not due to the unique characteristics of the subject land or structure. The applicant proposes a six-stall garage and associated paved driveway and parking area to accommodate the residents of the 12 unit apartment building located on this property. According to Town records, this property was in compliance with off-street parking requirements when relief was originally granted for construction of the 12 unit structure. The property has since migrated to a non-conforming property from a parking standpoint. However, the space for adequate off street parking does appear to be available in the paved area surrounding the building.

Granting of the requested Dimensional Variance will alter the general characteristics of the surrounding area and will impair the intent or purpose of the Zoning Ordinance and the Comprehensive Plan of the Town of Bristol. The Zoning Ordinance requires two off-street parking spaces per residential dwelling unit; and that is what the original developer agreed to and that is what is currently available on the property, if not more than the 24 required spaces. The construction of the proposed garage and associated parking would increase lot coverage by structures and alter the characteristics of the property and surrounding area, including increasing the amount of impervious surfaces and stormwater runoff necessitating mitigation.

The relief requested to be granted is not the least relief necessary, as the applicant already has adequate space to meet the required off-street parking. The proposed garage structure would provide parking for only six (6) vehicles, which is only 25 percent of the required off-street parking, and does not appear to be the best use of the property.

The hardship that will be suffered by the owner of the subject property if the dimensional variance is not granted will not amount to more than a mere inconvenience and will have no impact on the ability to rent residential units within that property. If existing adequate parking spaces were provided adjacent to the building, it could enhance the ability to rent the property.

Therefore the Board voted 5 to 0 to DENY the application to construct a 24ft. x 82ft. accessory garage structure.

Voting to Approve petition: None
Voting to Deny petition: Asciola; Burke; Simoes; Brum; and Kern
Making a part of this Decision the application, along with required materials, plans, and exhibits filed with the Board at the meeting, and excerpts of the public hearing minutes.

Recorded as the Decision of the Town of Bristol Zoning Board of Review on

This 18th day of August, 2021.

Diane M. Williamson, Director of Community Development

Recorded Aug 18, 2021 at 12:53PM
Melissa Cordeiro Town Clerk



Town of Bristol, Rhode Island
Department of Community Development
Zoning Board of Review

2023 JUL -6 PM 1:51
TOWN OF BRISTOL
COMMUNITY DEV.

APPLICATION

File No: 2023-27-1
Accepted by ZEO: EMT 7/6/2023

Table with 2 main sections: APPLICANT and PROPERTY OWNER. Fields include Name, Address, City, State, Zip, Telephone #, Home, and Work/Cell.

1. Location of subject property: 22 Wall Street
Assessor's Plat(s)#: 33 Lot(s) #: 17, 21
2. Zoning district in which property is located: R-6
3. Zoning Approval(s) required (check all that apply):
[X] Dimensional Variance(s)
4. Which particular provisions of the Zoning Ordinance is applicable to this application?:
Dimensional Variance Section(s): Sec.28-111
5. In a separate written statement, please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.
6. How long have you owned the property?: 2013
7. Present use of property: Apartments
8. Is there a building on the property at present?: Yes
9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet): 10,200 Sq Feet
10. Proposed use of property: Additional structure - Garage /workshop for apartment buldings and self use.

11. Give extent of proposed alterations: Addition of 42X40' Garage/Shop.

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet): 42'X40'. 1537 Square feet.

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

Front lot line(s):	Required Setback: _____	Proposed Setback: _____
Left side lot line:	Required Setback: _____	Proposed Setback: _____
Right side lot line:	Required Setback: _____	Proposed Setback: _____
Rear lot line:	Required _____	Proposed Setback: _____
Building height:	Setback: <u>20' height</u>	Proposed: <u>22' 11" height</u>

Other dimensions (building size, Required coverage, lot area, parking, sign dimensions, etc.):
 Required: 22' X 24' Proposed: 40' X 42'
 35% Coverage - existing 46% 53% proposed Coverage

13. Number of families before/after proposed alterations: 12 Before 12 After

14. Have you submitted plans for the above alterations to the Building Official? Yes
 If yes, has he refused a permit? No If refused, on what grounds? _____

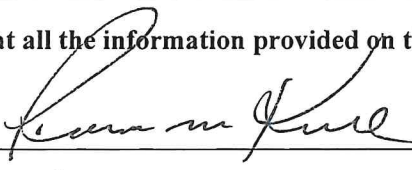
15. Are there any easements on your property?: No (If yes, their location must be shown on site plan)

16. Which public utilities service the property?: Water: X Sewer: X

17. Is the property located in the Bristol Historic District or is it an individually listed property?: No

18. Is the property located in a flood zone? No If yes, which one?: _____

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature:  Date: 6/10/23

Print Name: Robert Kreft

Property Owner's Signature: _____ Date: _____

Print Name: _____

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:
 Name: Scott Partington Telephone #: 401-334-2852
 Address: 2176 Mendon Rd # 2000, Cumberland, RI 02864

June 10, 2023

Town of Bristol
Attn: Zoning Department
10 Court Street
Bristol, RI 02809

Re: Request for Dimensional Variance -22 Wall Street

Zoning Board of Review:

Thank you for your consideration, I am the owner of the property at 22 Wall Street, Bristol, RI and requesting a dimensional variance approval which will support the addition of a garage and shop to support the maintenance of the property. The primary use will be storage and protection of maintenance equipment that is currently in the elements on the property. The garage will allow the spaces currently occupied by the equipment to be freed up for use of the multi-family.

We are planning to retire within the next 5 years and move to the property. I purchased 22 Wall Street (Plat 33 Lot 21) in 2012 and then in 2018 purchased the lot next door (Plat 33 Lot 17). In December 2020, the properties were combined. The proposed structure would be located on the lot that was combined. The individual lot (Plat 33 Lot 17) had a permit for a single-family dwelling, before the properties were combined.

22 Wall Street is unique as it is a large, 12 family property, located in an R-6 zone where all the structures on the same side of the street are single family homes. Across the street is zoned LB and contains large multi-family properties and a few businesses each with parking lots dedicated to their properties.

22 Wall Street currently has 25 parking spaces located around the building. Parking is needed for approximately 24 cars (2 per unit) as each unit is comprised of 2 bedrooms. The units are a mix of families and college students. The equipment including a tractor, work truck and trailer occupy 3 spaces. The addition of the garage will allow me to place the equipment inside a garage away from the elements and provide protection for the equipment as the tractor has been broken into several times. After being placed in the new garage, the open three spaces for the use of my tenants. Allowing 2 spaces for each unit.

To support my request, please find enclosed drawings with accurate measurements.

The measurements and details of the planned garage and variances sought:

Garage: The planned garage and shop will measure 42' x 40' and will be placed on the empty lot purchased in 2018 (Plat 33 Lot 17).

Variances sought;

- 1) Coverage: The property is in an R-6 zoning district and per Sec. 28-111 Maximum lot coverage by structures is set at 35%. Original lot coverage for 22 Wall was 61% with the properties combined it is currently at 46%. The new proposed garage will bring the lot coverage to a total of 53%.
- 2) Size: The property again is in an R-6 zoning district and per Sec. 28-111 Maximum size of accessory structures is set at 22' X 24'. I am asking for a variance on size to 40' x 42'.
- 3) Height: The current height requirement is 20' for accessory structures we are seeking a variance to 22' 11"

The hardship we are seeking relief from is due to the unique characteristics of the subject land, particularly after combining the properties and lack of any structure to protect the expensive equipment I require for maintenance.

The hardship is not due to any prior action of myself, I purchased the property in its present configuration. I am not

seeking relief for my own economic gain but to prevent deterioration of the equipment needed to maintain the property. The granting of the requested variance will not alter the general characteristics of the surrounding area or impair the intent or purpose of the zoning ordinance or the Comprehensive Plan of the Town of Bristol.

This relief to be granted is the least relief necessary to store equipment and provide maintenance to my property. If the dimensional variance is not granted, it would amount to more than a mere inconvenience and

In every other respect we are maintaining the lot in conformance with existing Bristol Zoning regulations. If you require anything further, please do not hesitate to contact me. Thank you for your attention to this matter.

Sincerely,

A handwritten signature in black ink, appearing to read "Robert M Kreft". The signature is fluid and cursive, with a large initial "R" and "K".

Robert M Kreft

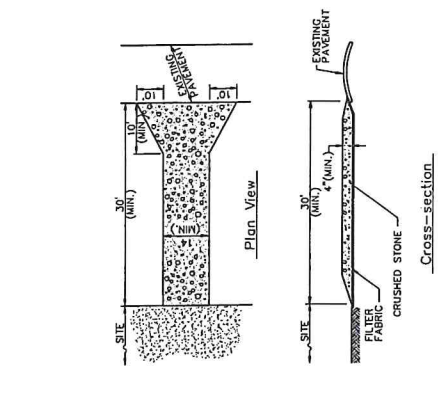
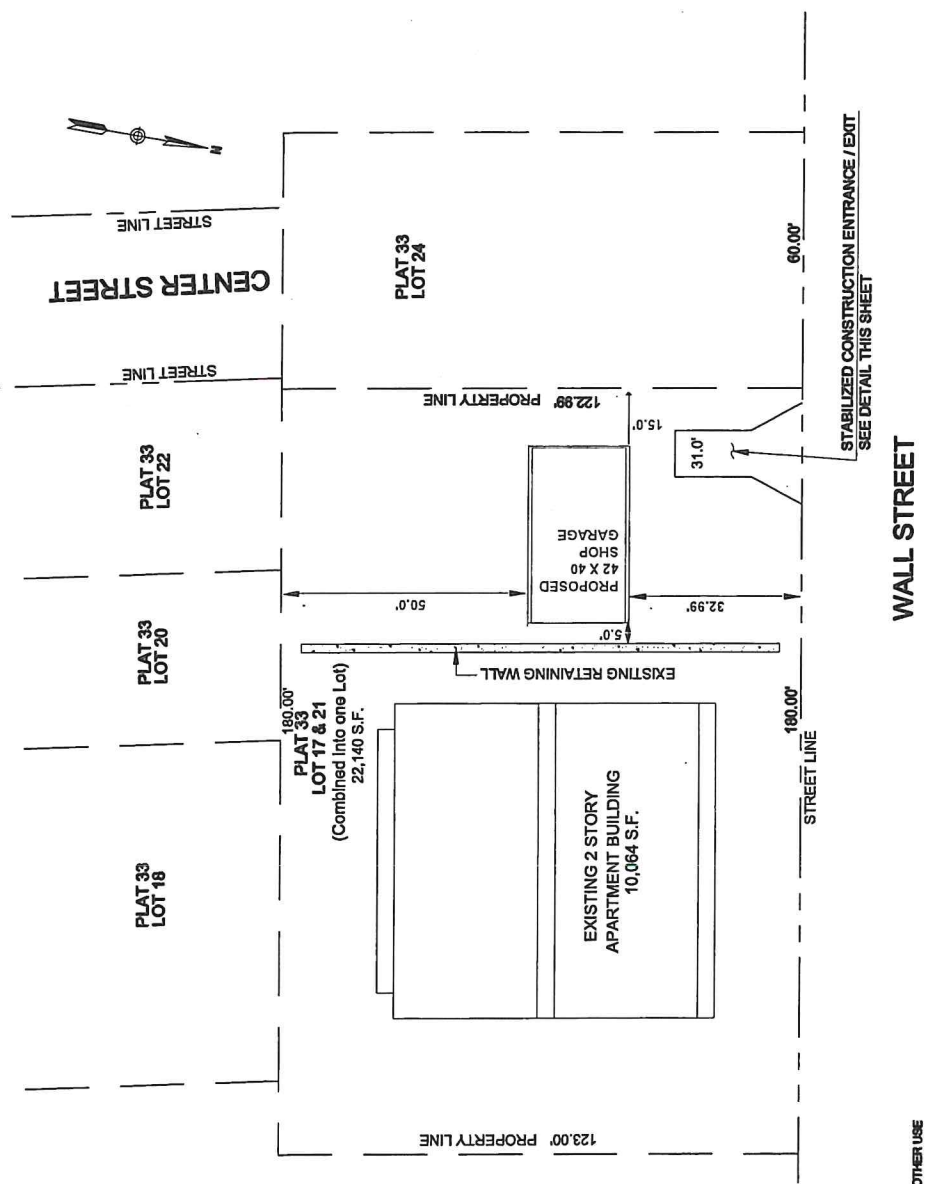
PAGE: 6
 SHEETS: 6
 Proposed Garage For Robert Kraft
 16 Wall Street
 Bristol, Rhode Island
 Map 33 Lot 17 and Map 33 Lot 21
 Combined into one Lot

PROJECT NUMBER:	00418
Drawn By:	GM
Checked By:	X
Issue Date:	03-12-20

SHEET LEGEND:

Revision No.	Date	Description

Drawing Title: **Site Plan**
 Scale: 1"=10'



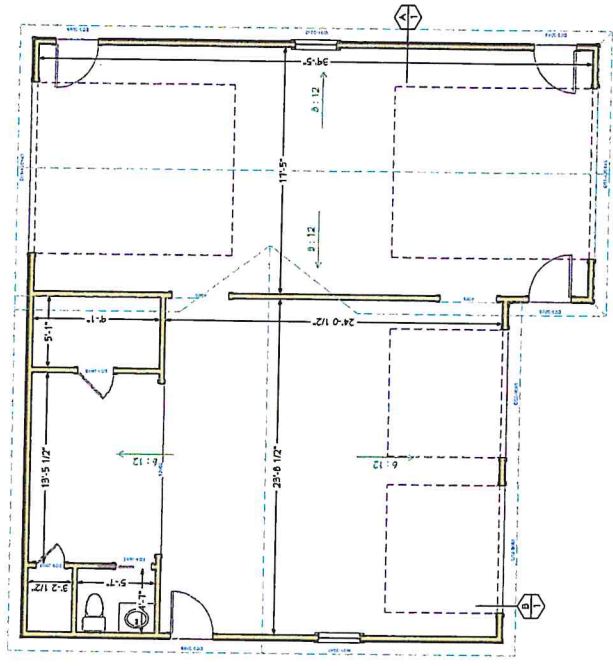
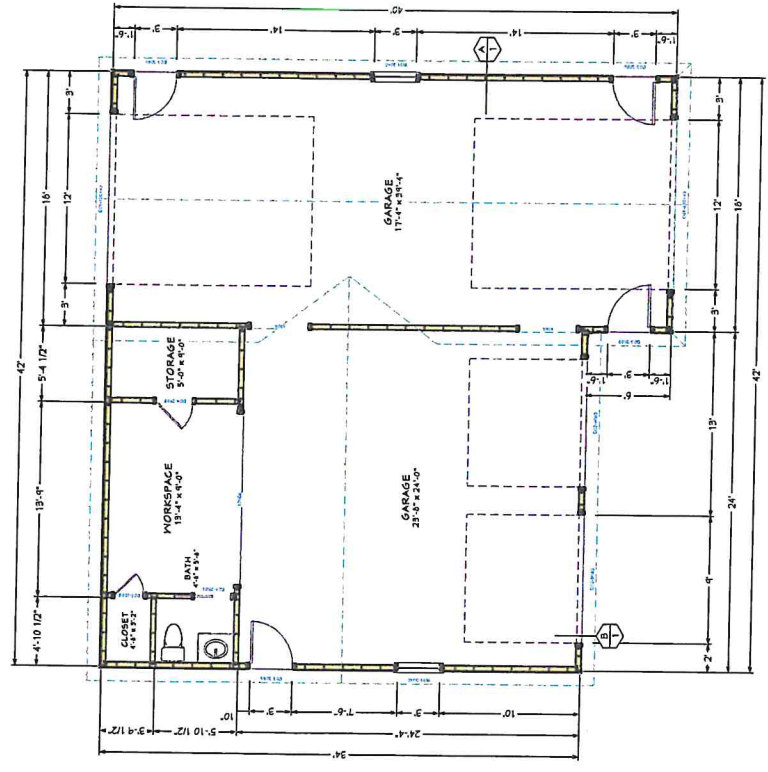
- NOTES:**
- ENTRANCE WIDTH SHALL BE A FOURTEEN (14) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP SURVEYS TO MONITOR THE ENTRANCE FOR TRACKING AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR BLOWN OFF THE ENTRANCE SHALL BE IMMEDIATELY REMOVED. IMMEDIATE PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
 - STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

STABILIZED CONSTRUCTION ENTRANCE / EXIT
 NOT TO SCALE

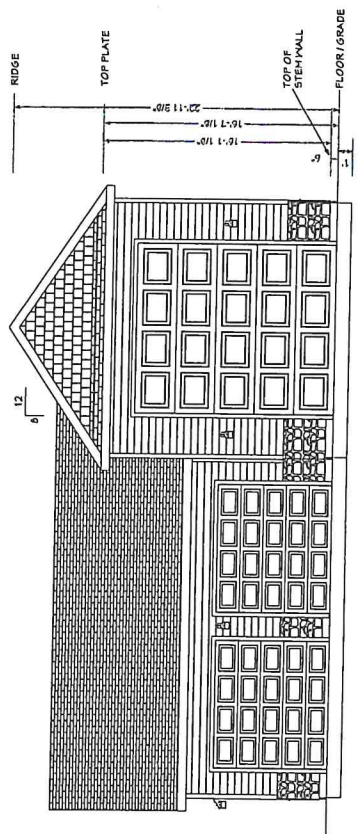
- REFERENCES:**
 DRAWING IS NOT SURVEYED AND WAS DEVELOPED USING TOWN OF BRISTOL GIS MAPPING.
- R-6 ZONING SETBACKS**
 MINIMUM SIDE YARD - 10 FT.
 MINIMUM FRONT YARD - 20 FT.
 MINIMUM REAR YARD - 20 FT.
 MAXIMUM HEIGHT OF PRINCIPLE STRUCTURES - 35 FT.
 MAXIMUM HEIGHT OF ACCESSORY STRUCTURES - 20 FT.
 MAXIMUM LOT COVERAGE BY STRUCTURES - 30% RESIDENTIAL 30% ANY OTHER USE

NUMBER	ROOM SCHEDULE	NO.	COMMENTS
001	001-1-0110	1	10'0" x 10'0"
002	002-2-0010	2	10'0" x 10'0"
003	003-3-0010	3	10'0" x 10'0"
004	004-4-0010	4	10'0" x 10'0"
005	005-5-0010	5	10'0" x 10'0"

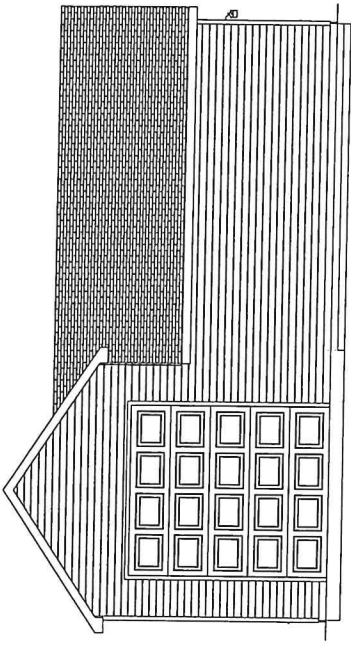
NUMBER	LEVEL	NO.	DESCRIPTION	COMMENTS
001	001-1-0110	1	10'0" x 10'0"	
002	002-2-0010	2	10'0" x 10'0"	



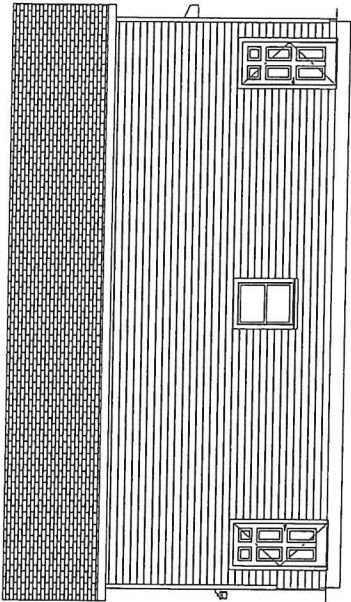
42x40 Garage
#42X40G1B



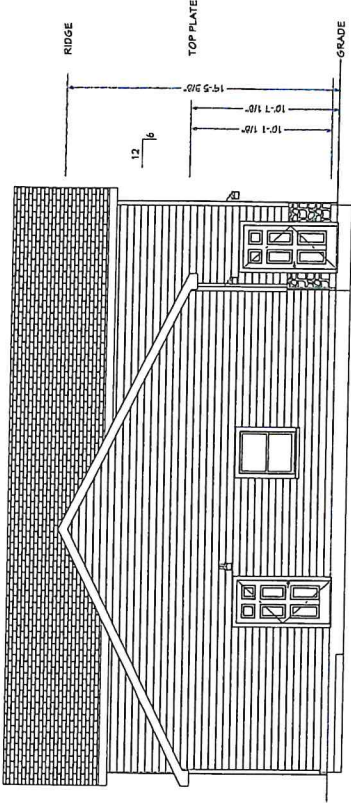
FRONT ELEVATION
SCALE: 1/8" = 1'



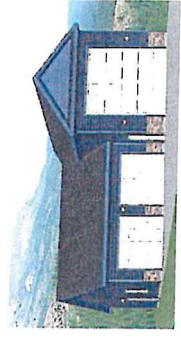
REAR ELEVATION
SCALE: 1/8" = 1'



RIGHT ELEVATION
SCALE: 1/8" = 1'

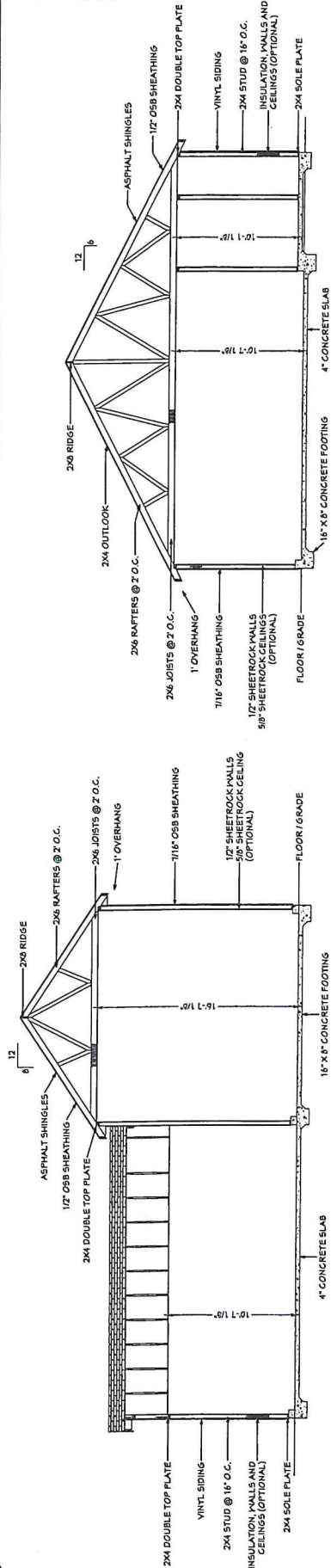


LEFT ELEVATION
SCALE: 1/8" = 1'



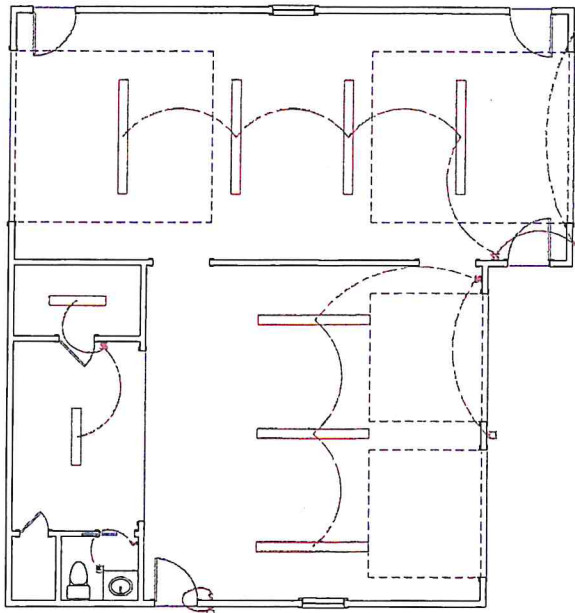
42x40 Garage #42X40G1B

SQUARE FEET: 1531 (230 Storage)
WIDTH: 42'
DEPTH: 40'
EXTERIOR WALL STRUCTURE: 2X4 STUDS

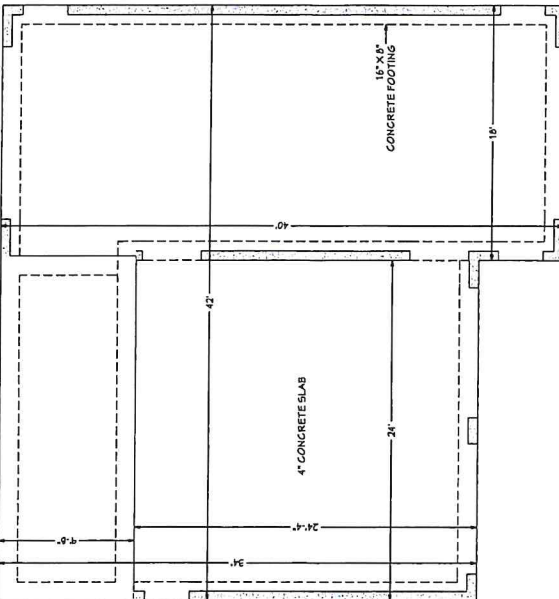


CROSS SECTION
SCALE: 1/4" = 1'

CROSS SECTION
SCALE: 1/4" = 1'

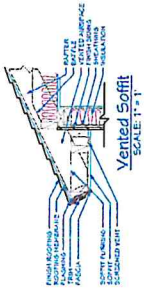


LIGHTING PLAN
SCALE: 1/4" = 1'



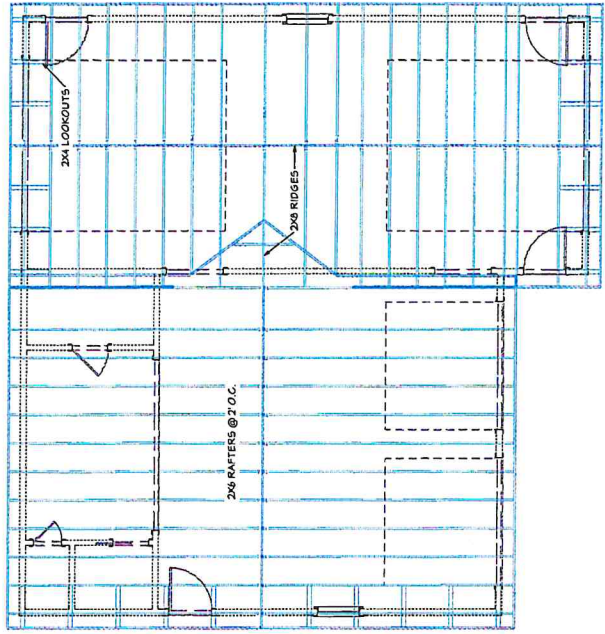
42x40 Garage
#42X40G1B

FOUNDATION PLAN
SCALE: 1/4" = 1'

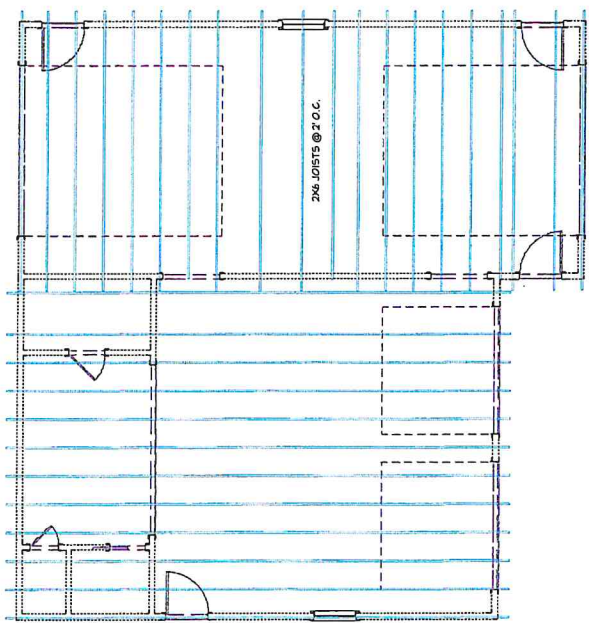


ALL LUMENING TO BE INSTALLED AS PER ACTUAL LOADS, CLIMATE CONDITIONS, ELECTRICAL CODE AND HOMEOWNER'S INTERIOR LIGHTING CONSULTANT. SHOWN IS SUGGESTED LAYOUT OF LIGHTING FIXTURES AND MUST BE APPROVED BY HOMEOWNER PRIOR TO POUR.

- ▭ 48" FLUORESCENT LIGHT
- ▭ 48" FLUORESCENT LIGHT
- WIDE BRIM SCENCE
- RECESSED DOWN LIGHT



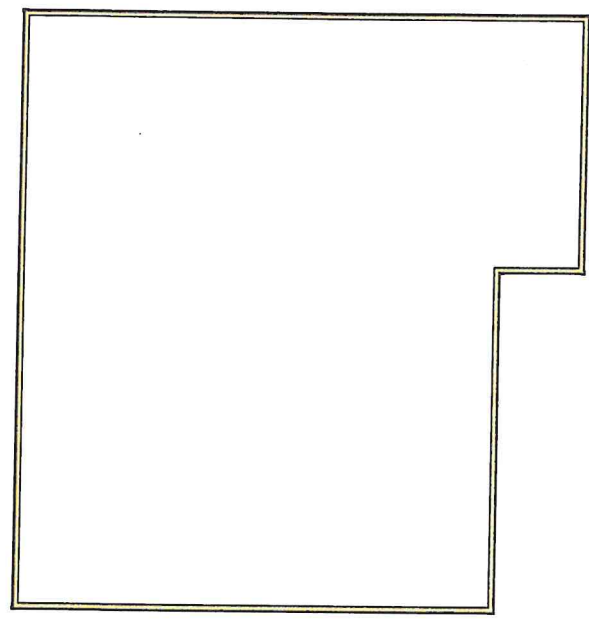
ROOF FRAMING PLAN
SCALE: 1/4" = 1'



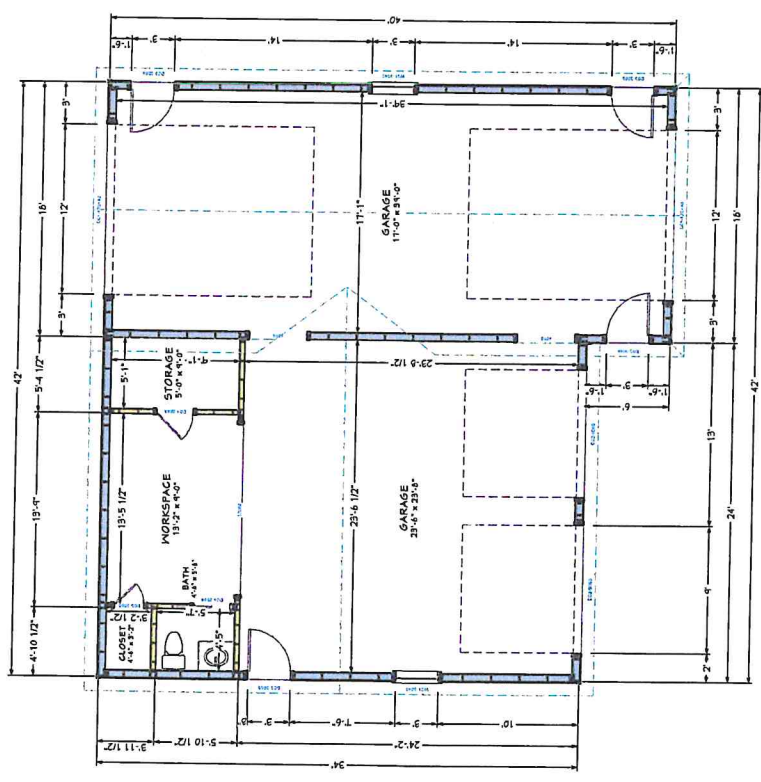
CEILING FRAMING PLAN
SCALE: 1/4" = 1'

42x40 Garage
#42X40G1B

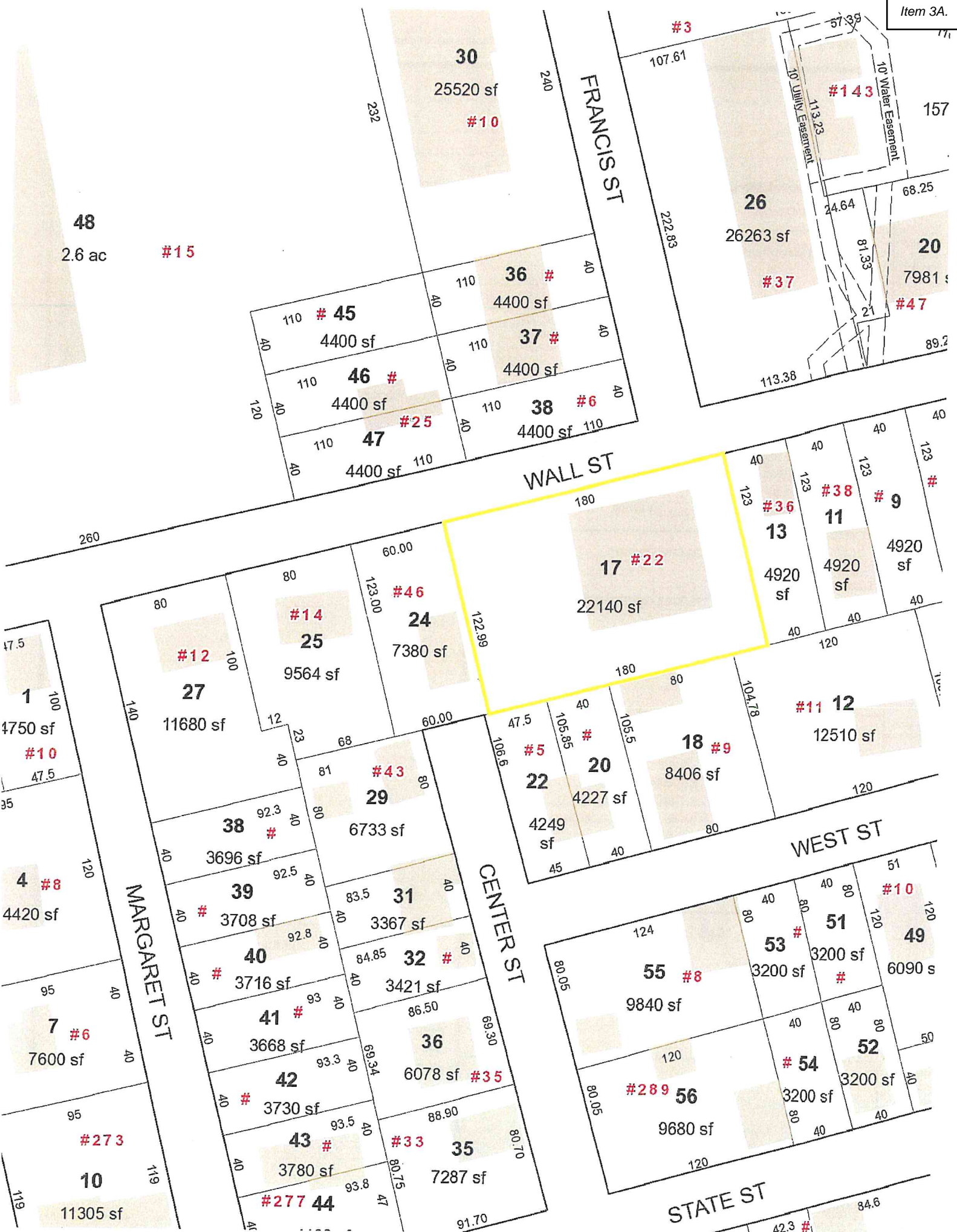
42x40 Garage
#42X40G1B



2x6 Exterior Walls @ 2' O.C.



MAIN FLOOR PLAN
SCALE: 1/8" = 1'



30
25520 sf
#10

48
2.6 ac
#15

FRANCIS ST

26
26263 sf
#37

20
7981 sf
#47

36 #
4400 sf

45 #
4400 sf

46 #
4400 sf

47 #25
4400 sf

37 #
4400 sf

38 #6
4400 sf

WALL ST

17 #22
22140 sf

13 #36
4920 sf

11 #9
4920 sf

1 #10
4750 sf

27 #12
11680 sf

25 #14
9564 sf

24 #46
7380 sf

4 #8
4420 sf

MARGARET ST

38 #
3696 sf

29 #43
6733 sf

22 #5
4249 sf

20 #9
8406 sf

12 #11
12510 sf

7 #6
7600 sf

39 #
3708 sf

31 #
3367 sf

CENTER ST

20 #
4227 sf

18 #9
8406 sf

WEST ST

10 #273
11305 sf

40 #
3716 sf

32 #
3421 sf

22 #
4227 sf

18 #9
8406 sf

51 #10
6090 sf

42 #
3730 sf

36 #35
6078 sf

55 #8
9840 sf

53 #
3200 sf

51 #
3200 sf

43 #
3780 sf

35 #33
7287 sf

56 #289
9680 sf

54 #
3200 sf

52 #
3200 sf

44 #277

STATE ST

Bristol, RI

[Home](#)
 [Search](#)
 [Print](#)
 [Previous](#)
 [Next](#)

Disclaimer: This information is for tax assessing purposes and is not warranted

Parcel Identification		Assessment	
Map/Lot	33 17	Land	\$177,800
Account	2587	Building	\$969,100
State Code	03 - Apartments	Card Total	\$1,146,900
Card	1/1	Parcel Total	\$1,146,900
User Account			



Prior Assessments

Fiscal Year	Land Value	Building Value	Outbuilding Value	Total Value
2021	\$183,300	\$780,300	\$11,000	\$974,600
2020	\$180,600	\$780,300	\$11,000	\$971,900
2019	\$180,600	\$847,800	\$11,000	\$1,039,400
2018	\$163,500	\$812,800	\$10,600	\$986,900

Location and Owner

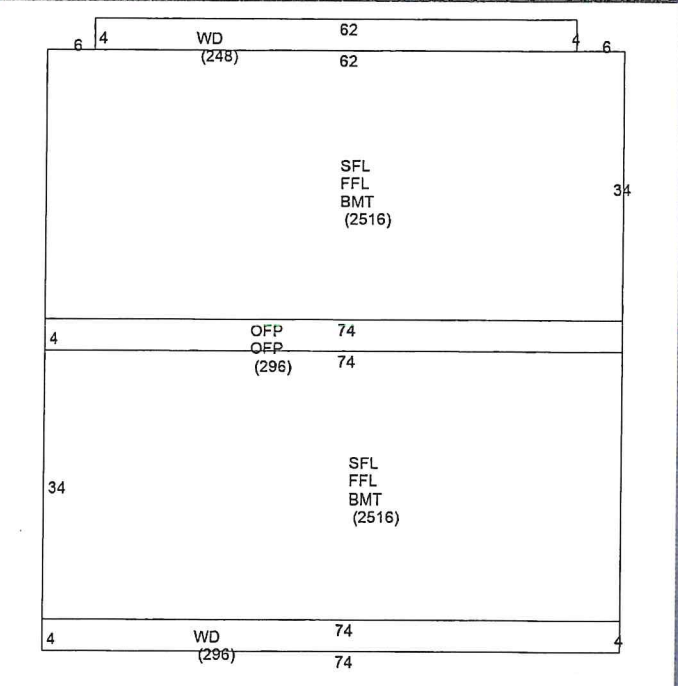
Location	22 WALL ST
Owner	KREFT, ROBERT M., TRUSTEE-ROBERT M KREFT TRUST
Owner2	
Owner3	
Address	17 SANDY LANE
Address2	
Address3	BRISTOL RI 02809

Building Information

Design	Apt
Year Built	1994
Heat	BB Hot Water
Fireplaces	0
Rooms	48
Bedrooms	24
Bathrooms	12 Full Bath\ 12 Half Bath
Above Grade Living Area	10,064 SF

Sale Information

Sale Date	Sale Price	Legal Reference	Instrument
10/09/2020	\$0	2062-174	Warranty
08/17/2018	\$112,500	1952-73	Warranty
05/23/2013	\$962,500	1709-306	Warranty
03/22/2013	\$850,000	1699-134	Warranty



Building Sub Areas

Sub Area	Net Area
1st FLOOR	5,032 SF
2nd FLOOR	5,032 SF
BASEMENT	5,032 SF
OPEN PORCH	592 SF
WOOD DECK	544 SF

Land Information

Land Area	0.508 AC
Zoning	R-6
View	-

Bristol

22 WALL ST

Card 1 of 1



Plat/Lot 33 17

Account: 2587

Zone R-6

Assessment

\$1,146,900

Owner Account #:

Owner 1 KREFT, ROBERT M., TRUSTEE-ROBERT M KREFT TRU: % Owned

Owner 2

Owner 3

Address 17 SANDY LANE, BRISTOL, RI 02809

Previous Owners & Sales Information

Grantor	Date	Sale Price	Leg Ref	NAL	Deed Type
KREFT, ROBERT M.	10/09/2020	0	2062-174	A	W
WOOD FRAME STRUCTURES	08/17/2018	112,500	1952-73		W
WALL STREET INVESTMENTS, LLC	05/23/2013	962,500	1709-306		W
MVP ASSOCIATES, LLC	03/22/2013	850,000	1699-134	L	W

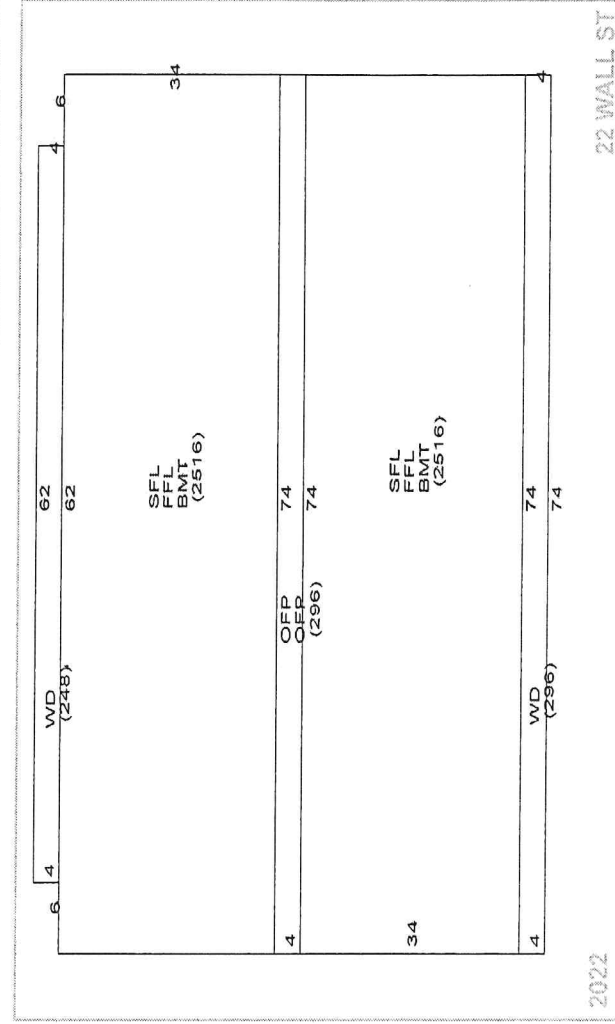
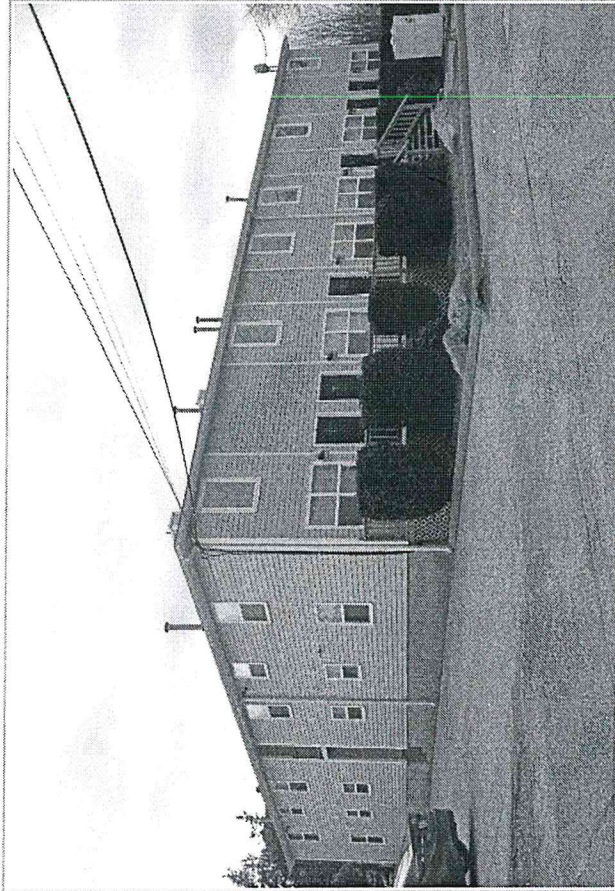
Assessment

Use Code	Bldg Value	SF/Yr Value	Land Size	Land Value	AG Credit	Assessed Value
03	958,100	11,000	0.51	177,800	0	1,146,900
TOTAL	958,100	11,000	0.51	177,800	0	1,146,900

Source > Mkt Adj Cost VAL per SQ Unit/Card > 70.66 VAL per SQ Unit/Parcel > 70.66

Previous Assessments

Year	LUC	Building	SF/Yr	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2022	03	958,100	11,000	1	177,800	0	1,146,900	1,146,900
2021	03	780,300	11,000	1	183,300	0	974,600	974,600
2020	03	780,300	11,000	0	180,600	0	971,900	971,900
2019	03	847,800	11,000	0	180,600	0	1,039,400	1,039,400
2018	03	812,800	10,600	0	163,500	0	986,900	986,900
2017	03	812,800	10,600	0	163,500	0	986,900	986,900



Land Information

Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh	Inf 1	Inf 1 %	Inf 2	Inf 2 %	Inf 3	Inf 3 %	Appr Value	Spec Land	Juris	Fact	Use Value
03 Apartment	0.22957	AC	P	1.00	615,950	616,805	C13							141,600			1.00	0
03 Apartment	0.27869	AC	R	0.25	615,950	129,893	C13							36,200			1.00	0



Building Information

Description	Quantity	Quality
BLDG Type	2 Story	Typical
RES Units	0	
Foundation	Concrete	
Frame 1	Wood	
EXT Wall 1	Clapboard	
Roof Type 1	Hip	
Roof Cover 1	Asphalt Shir	
INT Wall 1	INT Wall 2	
Floors 1	Floors 2	
BMT Garages	Color	GRAY
Plumbing	Electrical	
Insulation	INT vs EXT	
Heat Fuel	Oil	
# Heat Sys	1	BB Hot Water
% Solar HW	% Heated	100
% COM Wall	% A/C	
Ceil HGHT	% Vacuum	
Parking Type	8	Ceiling Type
EXT View	% Sprinkled	

Grade

Grade	Q4	Q4
Year Built	1994	EFF Year
Alt LUC	0.00	Alt %

Sub-Area Detail

Code	Description	Area	Fin. Area	Rate	Undep V
FFL	1st FLOOR	5,032	5,032	96.51	485,638
SFL	2nd FLOOR	5,032	5,032	96.51	485,638
BMT	BASEMENT	5,032	0	14.48	72,864
OPF	OPEN PORCH	592	0	11.03	6,530
WD	WOOD DECK	544	0	15.50	8,424
Total		16,232	####		1,059,094

Assessment

Date	Result	By
4/7/2022	N/C HEARIN'	DL
10/20/2021	REVIEW	AD
12/18/2020	CHANGE NC	MD
4/22/2019	N/C HEARIN'	JH
7/23/2018	MEASURED	JE
7/6/2018	REVIEW	JH
11/10/2014	MEASURE	
9/3/2013	LISTED	
8/3/2013	MEASURE	

Visit History

Notes

12 UNITS LAND AREA CORRECTED 12/06 EAS LOTS 15 & 19 DROPPED INTO THIS LOT 10/28/93 2 units undergoing renovations of new kitchens, baths on inspection date. KR strip and rerof new windows and siding 11-6-13 mcb || PORTION OF LOT 0023 DROPPED INTO THIS LOT SEE ENV #520 9/21/06 ASSESSMENT REDUCED BY BOARD #2011-066 11/11 EAS Lot deemed buildable by zoning 5/4/18 MD

Remodeling History

Additions	Plumbing	Electric	Heating	General
Interior				
Exterior				
Kitchen				
Bath(s)				

Building Permits

Issue Date	Permit #	Closed Date	BP Type	Est. Cost	% Done	Description/Directions
09/20/2021	B52861		BLDG	15,000		install 12 replacement windows same size same location .27 u.value
07/27/2018	B46972		BLDG	10,000	0	FOUNDATION ONLY FOR SINGLE FAMILY RESIDENCE
07/12/2018	B46826		BLDG	110,000	0	CONSTRUCT SINGLE FAMILY HOME TO MEET STATE AND LOCAL CODES
08/28/2014	B33388		BLDG	0		INSTALL 4' METAL FENCE TO SIDES AND REAR OF PROPERTY
10/23/2013	B25945		BLDG	0		INSTALL NEW WINDOWS AND SIDING
09/26/2013	B25638		BLDG	0		RESHINGLE ROOF TO CODE
07/21/2010	E2863		ELEC	0		INSTALL FIRE ALARMS

Condo Data

Complex	Location	Tot Units	FL Level	# Floors	Bldg Seg
				0	1

Depreciation

Code	Description	%
AG	AG - Avg-Goo	19.4
Functional		0.0
Economic		0.0
Special		0.0
OV		
Total Depreciation % >		19.4

Special Features & Yard Items

Use	Description	A	Y/S	Qty	Length	Width	SF Size	Quality	Condition	Year	Assessed Value
1	56 Paving-Aspt	1	Y	1			8,000	3	AV	1994	11,000

Room Counts by Floor

Units	# Rooms	# Bedrooms	Floor Level
1	12	4	2
2			U
3			
4			
Totals	12	48	24

WARRANTY DEED

I, Robert M. Kreft, of 17 Sandy Lane, Bristol, Rhode Island 02809, do hereby give and grant for good and valuable non-monetary consideration with *WARRANTY COVENANTS*, to Robert M. Kreft and his successors as trustee of the Robert M. Kreft 2020 Trust, also having an address of 17 Sandy Lane, Bristol, Rhode Island, 02809, the following described real property located in Bristol, Rhode Island:

That certain real estate with all buildings and improvements thereon set forth in Exhibit A, attached hereto and made a part hereof by reference.

This transfer is such that no documentary stamps are required and no withholding is required under R.I.G.L. Section 44-30-71.3.

The undersigned hereby certifies that this transfer is exempt from R.I.G.L. 22-28.35-1 as it is not a sale.

Being the same premises conveyed to this Grantor by Warranty Deed of Wall Street Investments, LLC dated May 23, 2013, and recorded in the Bristol Recorder of Deeds office on May 23, 2013 as Document Number 00001787 in Book 1709 beginning at page 306.

Witness my hand this 23rd day of September, 2020.

Lucia Flor
Witness

Robert M. Kreft
Robert M. Kreft

STATE OF RHODE ISLAND
COUNTY Bristol

In Bristol (city/town) on this 23rd day of September, 2020 before me personally appeared Robert M. Kreft, to me known and known by me to be the person executing the foregoing deed, and he acknowledged said instrument, by him executed, to be his free act and deed.

Lucia Flor
Notary Public
My Commission Expires:

Lucia Flor
Notary Public
State of Rhode Island ID# 756908
My Comm Expires 12-10-23

Document Number 00007381
BOOK 2062 PAGE 175

Property Address:
22 Wall Street
Bristol, RI 02809
AP 33, Lot 17

After recording, return to:
Leon C. Boghossian III, Esq.
Hinckley Allen
100 Westminster Street, Ste. 1500
Providence, RI 02903

60142920

EXHIBIT "A"

Those certain lots or parcels of land with all the buildings and improvements thereon, situated in the Town and County of Bristol, State of Rhode Island, being numbered One Hundred Forty Five (145), One Hundred Forty Six (146) and One Hundred Forty Seven (147) on plan of Gooding Manor made by Herbert A. Pratt, C.E., dated May 1918, and recorded with the Bristol Town Clerk's Office, Bristol, Rhode Island to which reference may be had for a more particular description.

Recorded Oct 09, 2020 at 01:55P.
Louis P. Cirillo Town Clerk



22 Wall St - 200' Radius

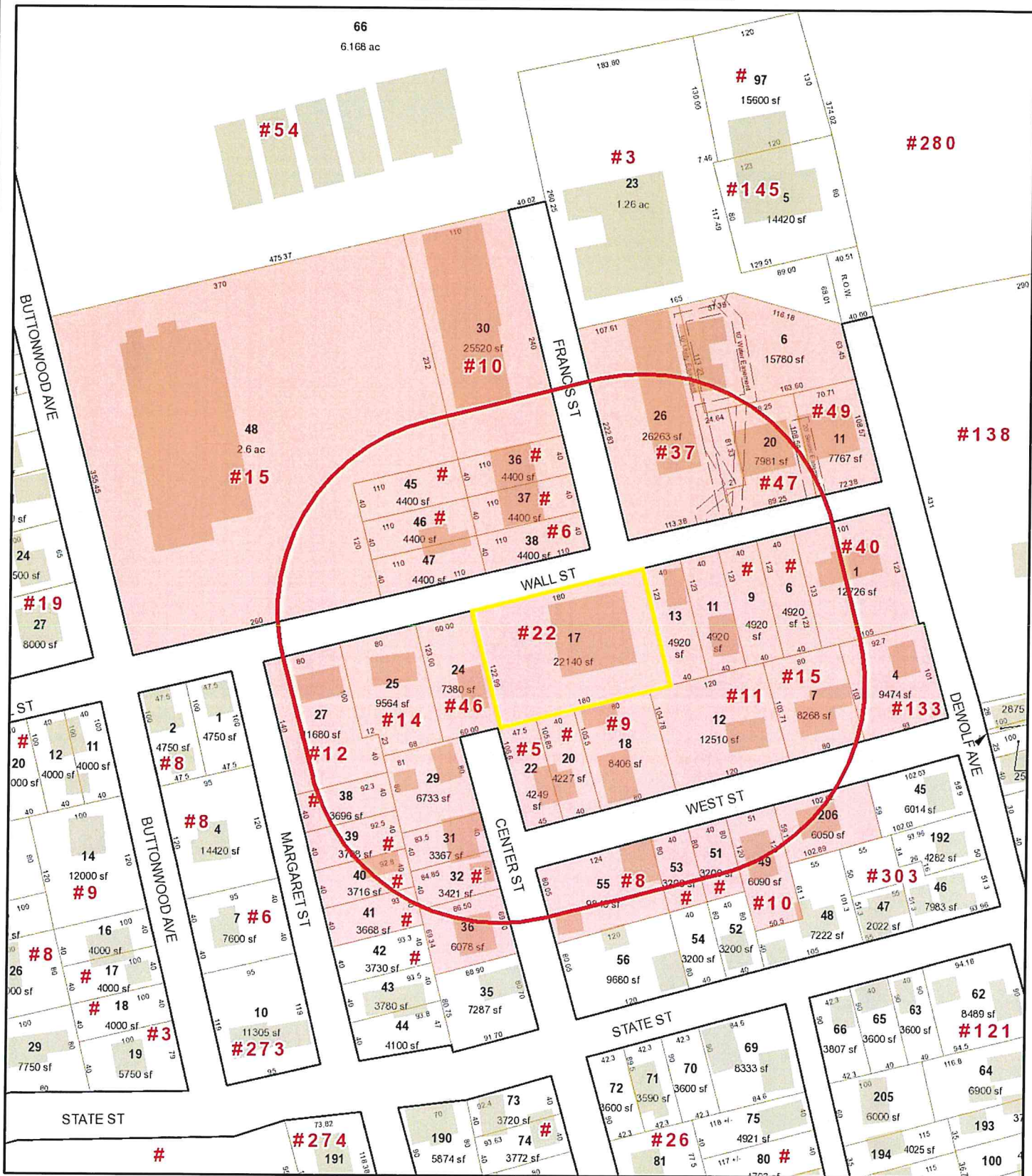
Bristol, RI



August 23, 2023

1 inch = 140 Feet

www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



200 foot Abutters List Report

Bristol, RI
August 23, 2023

Subject Property:

Parcel Number: 33-17	Mailing Address: KREFT, ROBERT M., TRUSTEE-ROBERT
CAMA Number: 33-17	M KREFT TRUST
Property Address: 22 WALL ST	17 SANDY LANE
	BRISTOL, RI 02809

Abutters:

Parcel Number: 33-1	Mailing Address: BRANCO, JOSEPH JOAN
CAMA Number: 33-1	40 WALL ST
Property Address: 40 WALL ST	BRISTOL, RI 02809

Parcel Number: 33-11	Mailing Address: FURTADO, DANIEL C
CAMA Number: 33-11	38 WALL ST
Property Address: 38 WALL ST	BRISTOL, RI 02809

Parcel Number: 33-12	Mailing Address: SKARPOS, ELIAS N
CAMA Number: 33-12	324 HILTON ST
Property Address: 11 WEST ST	TIVERTON, RI 02878

Parcel Number: 33-13	Mailing Address: KREFT, ROBERT M - TRUSTEE ROBERT
CAMA Number: 33-13	M KREFT TRUST
Property Address: 36 WALL ST	17 SANDY LANE
	BRISTOL, RI 02809

Parcel Number: 33-17	Mailing Address: KREFT, ROBERT M., TRUSTEE-ROBERT
CAMA Number: 33-17	M KREFT TRUST
Property Address: 22 WALL ST	17 SANDY LANE
	BRISTOL, RI 02809

Parcel Number: 33-18	Mailing Address: NINE WEST PROPERTIES, LLC
CAMA Number: 33-18	32 LORRAINE STREET
Property Address: 9 WEST ST	BARRINGTON, RI 02806

Parcel Number: 33-20	Mailing Address: TROTT, JENNA R & TYLER D TE
CAMA Number: 33-20	PINGITORE, RAYMOND J JT
Property Address: WEST ST	5 WEST ST
	BRISTOL, RI 02809

Parcel Number: 33-206	Mailing Address: DIGATI, GINA M
CAMA Number: 33-206	115 HIGH STREET
Property Address: 14 WEST ST	BRISTOL, RI 02809

Parcel Number: 33-22	Mailing Address: TROTT, JENNA R & TYLER D TE
CAMA Number: 33-22	PINGITORE, RAYMOND J JT
Property Address: 5 WEST ST	5 WEST ST
	BRISTOL, RI 02809

Parcel Number: 33-24	Mailing Address: FERRO, SHERRI A
CAMA Number: 33-24	46 CENTER ST
Property Address: 46 CENTER ST	BRISTOL, RI 02809



www.cai-tech.com



200 foot Abutters List Report

Bristol, RI
August 23, 2023

Parcel Number: 33-25 CAMA Number: 33-25 Property Address: 14 WALL ST	Mailing Address: COTA, JOAO S MARIA F 14 WALL STREET BRISTOL, RI 02809
Parcel Number: 33-27 CAMA Number: 33-27 Property Address: 12 WALL ST	Mailing Address: PACHECO, JOSE M TERESA J LIFE ESTATE & PACHE 12 WALL ST BRISTOL, RI 02809
Parcel Number: 33-29 CAMA Number: 33-29 Property Address: 43 CENTER ST	Mailing Address: STEINER, BLANCHE B TRUSTEE BLANCHE B STEINER TRUST 43 CENTER ST BRISTOL, RI 02809
Parcel Number: 33-31 CAMA Number: 33-31 Property Address: 41 CENTER ST	Mailing Address: HORTA, BRIAN J 41 CENTER ST BRISTOL, RI 02809
Parcel Number: 33-36 CAMA Number: 33-36 Property Address: 35 CENTER ST	Mailing Address: TEIXEIRA, ASHLEY S 35 CENTER ST BRISTOL, RI 02809
Parcel Number: 33-38 CAMA Number: 33-38 Property Address: MARGARET ST	Mailing Address: RAPOSA, RONALD & CAMPBELL, REGINA TOWN OF BRISTOL TT 57 ST ELIZABETH ST BRISTOL, RI 02809
Parcel Number: 33-39 CAMA Number: 33-39 Property Address: MARGARET ST	Mailing Address: RAPOSA, RONALD & CAMPBELL, REGINA TOWN OF BRISTOL TT 57 ST ELIZABETH ST BRISTOL, RI 02809
Parcel Number: 33-4 CAMA Number: 33-4 Property Address: 133 DEWOLF AVE	Mailing Address: ABENANTE, JULIE & DUNBAR, KATIE JT 133 DEWOLF AVE BRISTOL, RI 02809
Parcel Number: 33-40 CAMA Number: 33-40 Property Address: MARGARET ST	Mailing Address: HORTA, ARMANDO JR. SANDRA TE 277 STATE ST BRISTOL, RI 02809
Parcel Number: 33-41 CAMA Number: 33-41 Property Address: MARGARET ST	Mailing Address: HORTA, ARMANDO JR. SANDRA TE 277 STATE ST BRISTOL, RI 02809
Parcel Number: 33-49 CAMA Number: 33-49 Property Address: 10 WEST ST	Mailing Address: ANDRADE, ANTONIO S. MARY E. TE 10 WEST ST BRISTOL, RI 02809
Parcel Number: 33-51 CAMA Number: 33-51 Property Address: WEST ST	Mailing Address: SKELLY, ANNA C 293 STATE ST BRISTOL, RI 02809



www.cai-tech.com

8/23/2023

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 2 of 4



200 foot Abutters List Report

Bristol, RI
August 23, 2023

Parcel Number: 33-53 CAMA Number: 33-53 Property Address: WEST ST	Mailing Address: SKELLY, ANNA C 293 STATE ST BRISTOL, RI 02809
Parcel Number: 33-55 CAMA Number: 33-55 Property Address: 8 WEST ST	Mailing Address: MONTEIRO, KYLE R & ELYSE S TE 8 WEST ST BRISTOLT, RI 02809
Parcel Number: 33-6 CAMA Number: 33-6 Property Address: WALL ST	Mailing Address: FURTADO, DANIEL C 38 WALL ST BRISTOL, RI 02809
Parcel Number: 33-7 CAMA Number: 33-7 Property Address: 15 WEST ST	Mailing Address: ROBINSON JANET K 15 WEST STREET BRISTOL, RI 02809
Parcel Number: 33-9 CAMA Number: 33-9 Property Address: WALL ST	Mailing Address: FURTADO, DANIEL C 38 WALL ST BRISTOL, RI 02809
Parcel Number: 37-11 CAMA Number: 37-11 Property Address: 49 WALL ST	Mailing Address: MATOS ASSOCIATES, LLC 37 WALL ST BRISTOL, RI 02809
Parcel Number: 37-20 CAMA Number: 37-20 Property Address: 47 WALL ST	Mailing Address: MATOS ASSOCIATES, LLC 37 WALL ST BRISTOL, RI 02809
Parcel Number: 37-26 CAMA Number: 37-26 Property Address: 37 WALL ST	Mailing Address: MATOS ASSOCIATES, LLC 37 WALL ST BRISTOL, RI 02809
Parcel Number: 37-30 CAMA Number: 37-30 Property Address: 10 FRANCIS ST	Mailing Address: JRM PROPERTIES, LLC PO BOX 305 PORTSMOUTH, RI 02871
Parcel Number: 37-36 CAMA Number: 37-36 Property Address: FRANCIS ST	Mailing Address: RELIABLE PEST CONTROL INC 6 FRANCIS ST BRISTOL, RI 02809
Parcel Number: 37-37 CAMA Number: 37-37 Property Address: FRANCIS ST	Mailing Address: RELIABLE PEST CONTROL INC 6 FRANCIS ST BRISTOL, RI 02809
Parcel Number: 37-38 CAMA Number: 37-38 Property Address: 6 FRANCIS ST	Mailing Address: RELIABLE PEST CONTROL INC 6 FRANCIS ST BRISTOL, RI 02809



www.cai-tech.com



200 foot Abutters List Report

Bristol, RI
August 23, 2023

Parcel Number: 37-47
CAMA Number: 37-47
Property Address: 25 WALL ST

Mailing Address: ARRUDA, ALISON & GREGORY TE
52 VIKING DR
BRISTOL, RI 02809

Parcel Number: 37-48
CAMA Number: 37-48
Property Address: 15 WALL ST

Mailing Address: AJS ENTERPRISES LLC ATTN: STEVE J.
DOLAN
267 FERRY LANDING CIRCLE
PORTSMOUTH, RI 02871

Parcel Number: 37-6
CAMA Number: 37-6
Property Address: 143 DEWOLF AVE

Mailing Address: MATOS ASSOCIATES, LLC
37 WALL ST
BRISTOL, RI 02809



www.cai-tech.com

ABENANTE, JULIE & DUNBAR,
133 DEWOLF AVE
BRISTOL, RI 02809

HORTA, ARMANDO JR.
SANDRA TE
277 STATE ST
BRISTOL, RI 02809

ROBINSON JANET K
15 WEST STREET
BRISTOL, RI 02809

AJS ENTERPRISES LLC
ATTN: STEVE J. DOLAN
267 FERRY LANDING CIRCLE
PORTSMOUTH, RI 02871

JRM PROPERTIES, LLC
PO BOX 305
PORTSMOUTH, RI 02871

SKARPOS, ELIAS N
324 HILTON ST
TIVERTON, RI 02878

ANDRADE, ANTONIO S.
MARY E. TE
10 WEST ST
BRISTOL, RI 02809

KREFT, ROBERT M - TRUSTEE
ROBERT M KREFT TRUST
17 SANDY LANE
BRISTOL, RI 02809

SKELLY, ANNA C
293 STATE ST
BRISTOL, RI 02809

ARRUDA, ALISON & GREGORY
52 VIKING DR
BRISTOL, RI 02809

KREFT, ROBERT M., TRUSTEE
17 SANDY LANE
BRISTOL, RI 02809

STEINER, BLANCHE B TRUSTE
BLANCHE B STEINER TRUST
43 CENTER ST
BRISTOL, RI 02809

BRANCO, JOSEPH
JOAN
40 WALL ST
BRISTOL, RI 02809

MATOS ASSOCIATES, LLC
37 WALL ST
BRISTOL, RI 02809

TEIXEIRA, ASHLEY S
35 CENTER ST
BRISTOL, RI 02809

COTA, JOAO S
MARIA F
14 WALL STREET
BRISTOL, RI 02809

MONTEIRO, KYLE R & ELYSE
8 WEST ST
BRISTOLT, RI 02809

TROTT, JENNA R & TYLER D
PINGITORE, RAYMOND J JT
5 WEST ST
BRISTOL, RI 02809

DIGATI, GINA M
115 HIGH STREET
BRISTOL, RI 02809

NINE WEST PROPERTIES, LLC
32 LORRAINE STREET
BARRINGTON, RI 02806

FERRO, SHERRI A
46 CENTER ST
BRISTOL, RI 02809

PACHECO, JOSE M
TERESA J LIFE ESTATE & P
12 WALL ST
BRISTOL, RI 02809

FURTADO, DANIEL C
38 WALL ST
BRISTOL, RI 02809

RAPOSA, RONALD & CAMPBELL
TOWN OF BRISTOL TT
57 ST ELIZABETH ST
BRISTOL, RI 02809

HORTA, BRIAN J
41 CENTER ST
BRISTOL, RI 02809

RELIABLE PEST CONTROL INC
6 FRANCIS ST
BRISTOL, RI 02809



Town of Bristol, Rhode Island Zoning Board of Review

STAFF REPORT FOR:

FILE NO. **2024-01**

APPLICANT: Thomas A. and Lee H. Dawson
 LOCATION: 15 Burton Street
 PLAT: 15 LOT: 79 ZONE: R-6

APPLICANT IS REQUESTING A DIMENSIONAL VARIANCE TO:

Construct an 18ft. 8in. x 24ft. two-story living area addition to the rear of an existing single-family dwelling with less than the required left side yard.

COMPREHENSIVE PLAN REVIEW:


As this application is for a dimensional variance, it does not require review by the Planning Board per Section 28-409(b) of the Zoning Ordinance.

FINDINGS AND RECOMMENDATIONS BY STAFF:

The applicants are requesting a dimensional variance to construct an 18ft. 8in. x 24ft. two-story addition to the rear of an existing dwelling at this property located on the northerly side of Burton Street. This property is a nonconforming lot containing approximately 40 feet of lot width, and it is improved with a single-family dwelling and attached rear deck and patio. The applicant proposes to remove the rear deck and construct an addition to the rear of the dwelling to provide additional living space on the first and second floors. The rear left corner of the existing dwelling is located approximately 4.5 feet from the left side property line. The proposed addition would be offset six inches in from the left side of the existing structure so as to be located a minimum of 5 feet from the left side property line. The zoning ordinance requires a minimum 10 foot side yard setback in the R-6 zoning district.

Recall that the applicants were before the Board in June 2023 and received approval for a dimensional variance (File #2023-22) to construct a similar addition at a size of 8'8" x 22'. The applicants now propose to modify the previously approved design by extending the structure an additional two feet.

As this property is also located within the Bristol Historic District Overlay Zone, any alteration to the exterior of the structure requires approval from the Bristol Historic District Commission (HDC). The HDC reviewed this application and approved the proposed building addition at its December 7, 2023 meeting.


12/19/2023

Edward M. Tanner, Zoning Officer



CERTIFICATE OF APPROPRIATENESS AND FINAL APPROVAL

Bristol Historic District Commission

"Green Sheet"

Issued to: Thomas A. Dawson, Lee H. Dawson

Location: 15 Burton Street 15-79

Project: 23-032/164

THIS DOCUMENT EXPIRES ONE YEAR FROM ISSUANCE. WORK MUST COMMENCE BY December 11, 2024

THIS DOCUMENT IS NOT A SUBSTITUTE FOR A BUILDING, ELECTRICAL, SIGN, MECHANICAL, DEMOLITION, SOLAR OR FENCE PERMIT. THESE PERMITS MUST BE APPLIED FOR AND APPROVED BEFORE WORK CAN BEGIN.

Owner Contact (if different than above):

Mailing Address (if different than above):

Owner/s Tel. #: 508-498-7335

Architect/Draftsman: T. Dawson Architecture

Contractor: Carl Benevides Jr.

Work Category (Check ALL that apply to the project): Addition to Structure(s)

Description of Work: Adding 2' of length to the (already approved) addition design, & adding a bigger recess where the addition connects to the existing house. See drawings.

Historic District Commission Decision:

MOTIONS:

To approve amendment to application 23-032 (23-164) to extend addition by approx. 2 ft, change recess of addition as presented.

Chair/Vice Chair, Historic District Commission:

Date: December 11, 2023

For reasons regarding the above noted motion(s), refer to the meeting minutes dated December 7, 2023.

Date completed application received by Historic District Commission: November 19, 2023

Date of hearing: December 7, 2023

Date Building Inspector notified

Item 4A.

December 8, 2023

Assigned BHDC Project Monitor: Benjamin Bergeholtz

I have received a copy of this Certificate of Acceptability, read and understand all the conditions noted (if any) and understand that any deviations from the submitted plans and the terms of this Certificate of Acceptability (if any) are a violation of the Building Permit for this Project.

It shall be the duty of the Building Official to enforce provisions of the Article governing Bristol's Historic District. If the Building Official is informed by the Commission or otherwise finds that any provision of this Article is being violated, the Building Official shall notify, in writing, the person responsible for such violation, indicating the nature of the violation and order action necessary to correct it. Immediately upon authorization from the Town Council respecting any such violation, the Town Solicitor shall institute appropriate action to prevent, enjoin, abate or remove such violation. Any person who continues to violate any provision of this Article after receiving notice of such violation shall be guilty of a misdemeanor subject to a fine of one hundred dollars \$100 for each offense. Each day such a violation is continued is a separate offense. If any alteration or destruction of the historic or architectural fabric of a building or site covered by Section 3 of this Article occurs without Commission approval, the Commission may require that such fabric be restored or duplicated by the owner of such property. (Bristol Ordinance #1987-02)

The Applicant understands that the Project Monitor assigned to this project will have to sign this sheet for the Bristol Historic District Commission's required FINAL APPROVAL.

A Certificate of Appropriateness (Green Sheet) is valid for one year from the date of issuance.

Note: If work on a project has started within twelve months of its approval date, you have as long as is necessary to finish the job (in other words, longer than a year).

Applicant's Signature: *Thomas A. Dawson*

Project Monitor's Signature _____ Date _____



Bristol Historic District Commission
Decision Letter

TOWN HALL
10 COURT ST.
BRISTOL, RI 02809
401-253-7000

December 11, 2023

Thomas A. Dawson, Lee H. Dawson/

RE: BHDC Review

15 Burton Street

Plat #15, Lot #79

Application 23-032/164

Dear Applicant:

At its December 7, 2023 meeting, the Bristol Historic District Commission reviewed your proposed work on the property noted above; the motion on your application was as follows:

To approve amendment to application 23-032 (23-164) to extend addition by approx. 2 ft, change recess of addition as presented.

The Findings of Facts include that this decision conforms to the Secretary of the Interior's Standards for:

9 - New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Commission member Benjamin Bergenholtz will be your project monitor. If you need to speak with your monitor(s) or are ready for final review of the completed project please call me at Town Hall, 401-253-7000 x153, and I will contact them for you.

The Certificate of Appropriateness, referred to at the meeting as the "Green Sheet", is part of your permit and will be issued on approval. Work cannot begin, nor a building permit obtained, without your signing this document. Once signed and completed, a copy of the Certificate will be sent to you via the online permitting software, authorizing you to begin your work.

Sincerely,

Nicholas Toth

Planner/HDC Clerk

Town of Bristol Department of Community Development



Town of Bristol, Rhode Island
Zoning Board of Review

STAFF REPORT FOR:

FILE NO. **2024-02**

APPLICANT: Anthony and Kelli Ann Baro
 LOCATION: 1090 Hope Street
 PLAT: 118 LOT: 58 ZONE: R-10

APPLICANT IS REQUESTING A DIMENSIONAL VARIANCE TO:

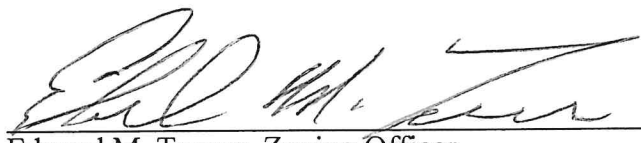
Construct a 22.25ft. x 22.25ft. garage and approximate 12ft. x 12ft. breezeway addition to an existing single-family dwelling with less than the required left side yard.

COMPREHENSIVE PLAN REVIEW:

As this application is for a dimensional variance, it does not require review by the Planning Board per Section 28-409(b) of the Zoning Ordinance.

FINDINGS AND RECOMMENDATIONS BY STAFF:

The applicants are requesting a dimensional variance to construct a 22¼ ft. x 22¼ ft. garage and approximate 12ft. x 12ft. breezeway addition to the northerly side of an existing dwelling at this property located on the easterly side of Hope Street. This property is currently improved with a single-family dwelling and attached wood deck. The applicants propose to remove the existing deck and construct the attached breezeway and two car garage addition. The breezeway would consist of a roof and deck with decorative lattice, but with no walls. The applicants also propose construction a new covered rear porch to the rear of the breezeway and a portion of the garage. The proposed garage addition would extend to within 6 feet of the northerly left side property line. The zoning ordinance requires a minimum 15 foot side yard setback in the R-10 zoning district.


 Edward M. Tanner, Zoning Officer 12/19/2023



1090 Hope Street

Bristol, RI



December 19, 2023

1 inch = 35 Feet

www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



Town of Bristol, Rhode Island
Zoning Board of Review

STAFF REPORT FOR:

FILE NO. **2024-03**

APPLICANT: Jonathan and Miranda Trahan
 LOCATION: 454 Poppasquash Road
 PLAT: 174 LOT: 74 ZONE: R-80


APPLICANT IS REQUESTING A DIMENSIONAL VARIANCE TO:
 Construct a new single-family dwelling with less than the required left side yard.

COMPREHENSIVE PLAN REVIEW:

As this application is for a dimensional variance, it does not require review by the Planning Board per Section 28-409(b) of the Zoning Ordinance.

FINDINGS AND RECOMMENDATIONS BY STAFF:

The applicants are requesting a dimensional variance to construct a new single-family dwelling and attached garages on this undeveloped waterfront property located on the westerly side of Poppasquash Road. This property was created via an approved and recorded subdivision plan in 2017, and the lot conforms to the minimum dimensional requirements for a lot in the R-80 zoning district. Although this parcel contains approximately 2.8 acres of land area, it is rather narrow, having the minimum required 150 feet of lot width. The applicants propose construction of the new dwelling and garages, along with an associated driveway, swimming pool, hardscape, and landscaping. A portion of the proposed dwelling and enclosed screen porch would extend into the left side yard to within approximately 12 feet of the southerly property line. The abutting property to the south consists of a 40 foot wide undeveloped strip of land that is identified as a private right of way. The zoning ordinance requires a minimum 25 foot side yard setback in the R-80 zoning district.


12/19/2023

Edward M. Tanner, Zoning Officer



454 Poppasquash Road

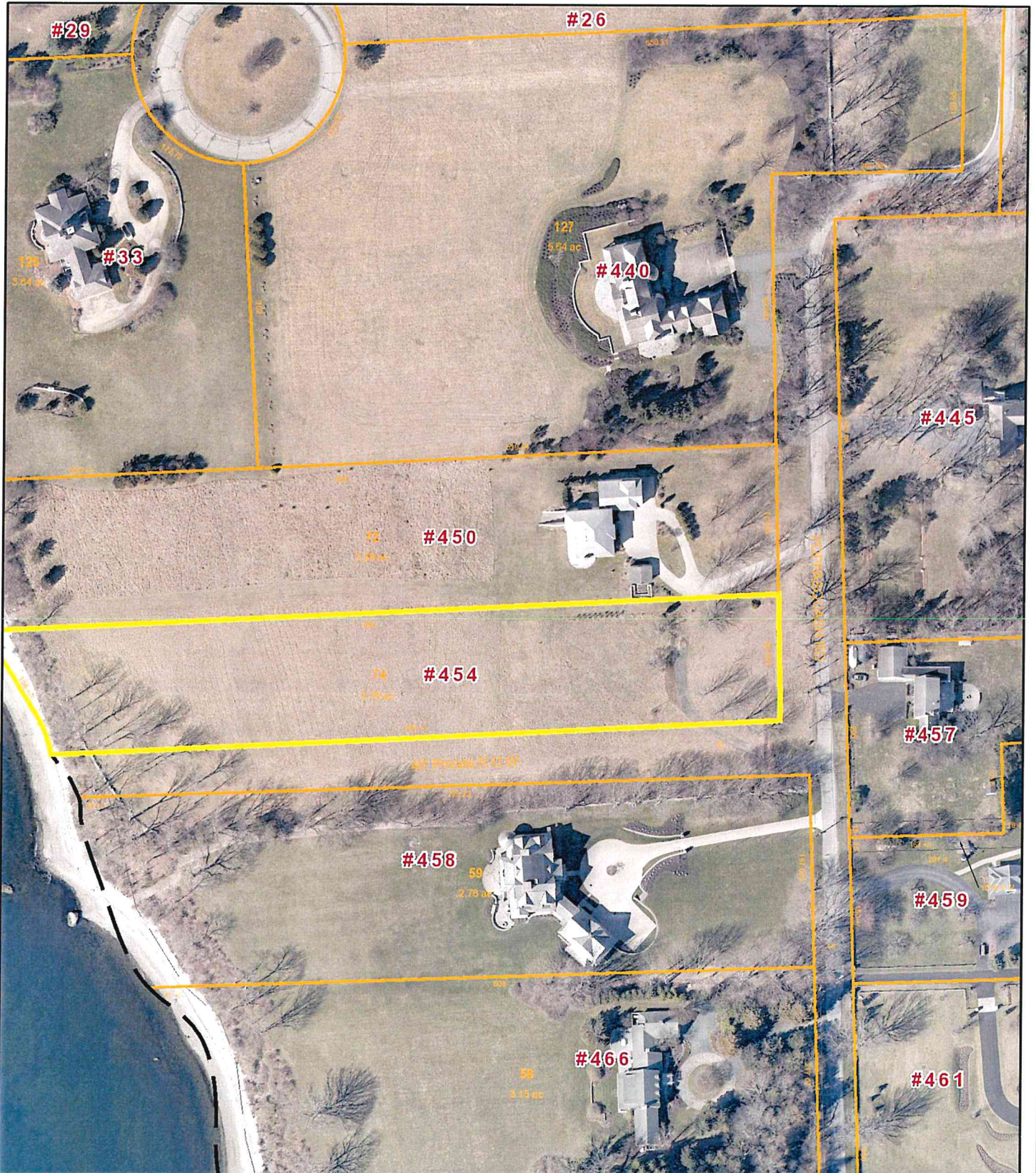
Bristol, RI



December 19, 2023

1 inch = 140 Feet

www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



Town of Bristol, Rhode Island
Zoning Board of Review

10 Court Street
 Bristol, RI 02809
 401-253-7000
 www.bristolri.gov

File #2024-01

PUBLIC HEARING

Notice is hereby given by the Zoning Board of Review
 that a public hearing will be held on the following application:

Tuesday, January 2, 2024

at 7:00 P.M.

Bristol Town Hall

10 Court Street

APPLICANT: **Thomas A. and Lee H. Dawson**

PROPERTY OWNER: **Thomas A. and Lee H. Dawson**

LOCATION: **15 Burton Street**

PLAT: **15** LOT: **79**

ZONE: **Residential R-6**

APPLICANT IS REQUESTING A **DIMENSIONAL VARIANCE**: to construct an 18ft. 8in. x 24ft. two-story living area addition to the rear of an existing single-family dwelling with less than the required left side yard.

Edward M. Tanner,
 Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol web site at <https://www.bristolri.gov/government/boards/zoning-board-of-review/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, December 28, 2023.



Town of Bristol, Rhode Island
Department of Community Development
Zoning Board of Review

TOWN OF BRISTOL
 COMMUNITY DEV.
 2023 DEC -7 PM 4: 00

APPLICATION

File No: 2024-01
 Accepted by ZEO: EMT 12/7/2023

APPLICANT:	Name: <u>THOMAS A. DANSON, LEE H. DANSON</u>		
	Address: <u>15 BURTAN ST.</u>		
	City: <u>BRISTOL,</u>	State: <u>RI</u>	Zip: <u>02809</u>
	Phone #: <u>508-498-7335</u>	Email: <u>TADANSONARCHITECT@GMAIL.COM</u>	
PROPERTY OWNER:	Name: <u>(SAME AS ABOVE)</u>		
	Address:		
	City:	State:	Zip:
	Phone #:	Email:	

1. Location of subject property: 15 BURTAN ST.
 Assessor's Plat(s) #: 15 Lot(s) #: 79
2. Zoning district in which property is located: R-6 (RESIDENTIAL)
3. Zoning Approval(s) required (check all that apply):
 Dimensional Variance(s) _____ Special Use Permit _____ Use Variance
4. Which particular provisions of the Zoning Ordinance is applicable to this application?
 Dimensional Variance Section(s): 28-111
 Special Use Permit Section(s): —
 Use Variance Section(s): —
5. In a separate written statement (attach to this application), please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.
6. How long have you owned the property? 6 YRS. + (BOUGHT IT IN 8/2017)
7. Present use of property: RESIDENTIAL, SINGLE FAMILY
8. Is there a building on the property at present? YES
9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet):
EXISTING HOUSE: 35' X 27' = 945 SQ FT. = 1,890 SF (GROSS); 32'4" FRAME TO RISE
10. Proposed use of property: SAME (RESIDENTIAL)

11. Give extent of proposed alterations: (SAME AS STATED, PREVIOUSLY APPROVED 6/5/23)
I WOULD LIKE TO ADD 2' IN LENGTH TOWARDS THE REAR; ADD NOTCH @ CORNER TO HOUSE.

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet):
24' x 18'9" = 448 SF (x 2 FLOORS); 27'9" = FRAME TO NEW RAFF.

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line: *ALREADY APPROVED, ON 6/5/23.

Front lot line(s):	Required Setback: <u>AVERAGE ON BLOCK, OR 20'</u>	Proposed Setback: <u>AVER. ON BLOCK, OR 20'</u>
Left side lot line:	Required Setback: <u>10'-0"</u>	Proposed Setback: <u>*5'-0"</u>
Right side lot line:	Required Setback: <u>10'-0"</u>	Proposed Setback: <u>10'-0"</u>
Rear lot line:	Required Setback: <u>20'-0"</u>	Proposed Setback: <u>20'-0"</u>
Building height:	Required: <u>AVERAGE ON BLOCK, OR 35'</u>	Proposed: <u>AVER. ON BLOCK, OR 35'</u>

Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):
 Required: 30% EXISTING COVERAGE = 16.9% Proposed: ABOUT 24%

13. Number of families before/after proposed alterations: 1 Before 1 After

14. Have you submitted plans for the above alterations to the Building Official? NO
 If yes, has he refused a permit? N/A
 If refused, on what grounds? N/A

15. Are there any easements on your property? NO. (If yes, their location must be shown on site plan)

16. Which public utilities service the property? Water: ✓ Sewer: ✓

17. Is the property located in the Bristol Historic District or is it an individually listed property? YES.

18. Is the property located in a flood zone? NO. If yes, which one?: N/A

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: [Signature] Date: 12/1/2023

Print Name: THOMAS A. DANSON / LEE H. DANSON

Property Owner's Signature: [Signature] Date: 12/1/2023

Print Name: THOMAS A. DANSON / LEE H. DANSON

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: THOMAS A. DANSON, ARCHITECT Phone #: 508-498-7375

Address: 15 BURTIN ST., BRISTOL

5. The grounds for the requested dimensional variance, and meeting the standards as presented in section 28-409 of Bristol's Zoning Ordinance:

Second Application: All actions as previously approved, to remain. This filing is to add 2'-0" of length to the addition towards the rear of the property, so no new relief from the regulations are being asked for; additionally, a small jog in the new foundation where it meets the original house, is a desired change for buildability and continuity of the eaves and trim, etc. (this changes nothing compared to what has been approved by the Bristol ZBA). Please see the new drawings.

Originally approved:

We are seeking relief from the side setback requirement of 10'-0", as our existing house is 4'-6" from the side property line (see engineer's professional site plan included), between us at 15 Burton Street, and our neighbors at 11 Burton Street.

As designed and drawn, we would like to build our addition at 5'-0" from the existing property line, so a small improvement from our pre-existing non-conforming situation. Our addition is designed to be behind our existing house, with a 6" bump to the inside. This is shown on the labeled proposed drawings, also included in this submittal.

We are asking for relief because:

- We plan to retire in this town, and would like to have the option of a "future" bedroom and accessible bathroom on the first floor; and
- We have tried a design away from this side, more toward the center of the lot in the back, and this would completely consume our two (2) off-street parking spaces in the rear. We do also have resident on-street parking, but competition for these spots can get "robust" when our neighbors The Herreshoff Museum host an event, or there is a weekend wedding in their rental tent and facility. In addition,
- We have a family friend who stays with us occasionally, and he is a quadriplegic, and has stayed the night by sleeping in our current family room, since getting upstairs to bedrooms is very difficult.

Thank you for reading this, and your consideration.

Thomas A. Dawson: _____

Lee H. Dawson: _____

Original date of this document: 05-10-23.

Revised: 12-01-23.

Bristol

15 BURTON ST

Card 1 of 1

Plat/Lot 15 79

Account: 988

LUC 01

Zone R-6

Assessment

\$497,300



Owner ▶ Owner Account #:

Owner 1	DAWSON, THOMAS A &	% Owned	
Owner 2	LEE H TE	% Owned	0.00
Owner 3		% Owned	0.00

Address: 15 BURTON ST, BRISTOL, RI 02809-0000

Previous Owners & Sales Information

Grantor	Date	Sale Price	Log Ref	NAL	Deed Type
SALINGER, JOHN J III	08/10/2017	435,000	1904-130		W
SALINGER, JOHN J III	12/18/2014	1	1783-304		Q
SALINGER, JOHN J JR & JO	06/27/2008	206,500	1443-164		W

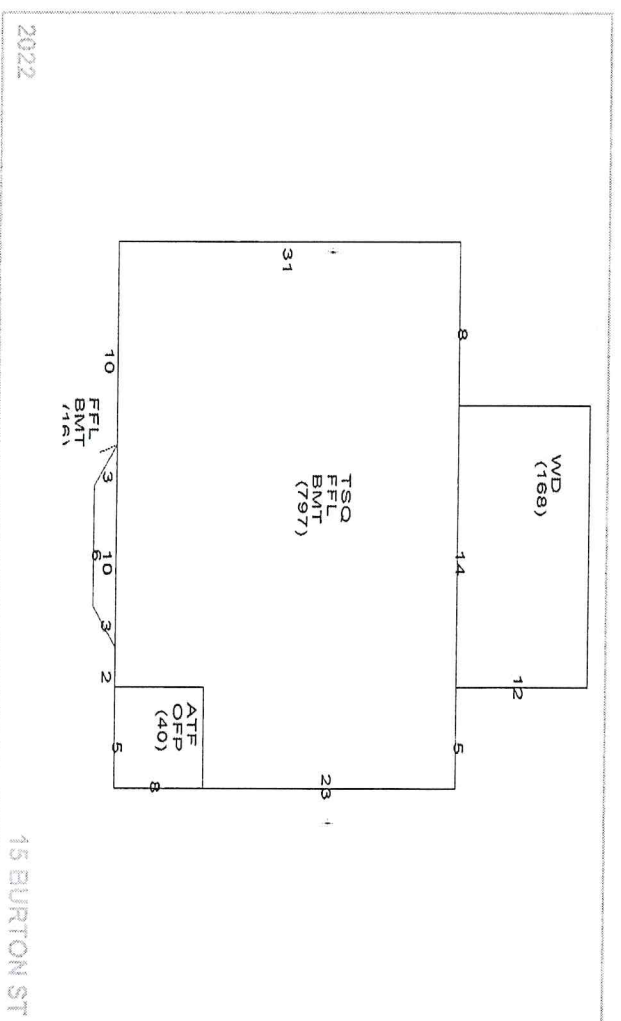
Assessment

Use Code	Bldg Value	SF/YI Value	Land Size	Land Value	AG Credit	Assessed Value
01	227,300	700	0.14	269,300	0	497,300
TOTAL	227,300	700	0.14	269,300	0	497,300

Source > Mkt Adj Cost VAL per SQ Unit/Card > 203.17 VAL per SQ Unit/Parcel > 203.17

Previous Assessments

Year	LUC	Building	SF/YI	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2022	01	227,300	700	0	269,300	0	497,300	497,300
2021	01	172,600	800	0	258,800	0	432,200	432,200
2020	01	172,600	800	0	258,800	0	432,200	432,200
2019	01	172,600	800	0	258,800	0	432,200	432,200
2018	01	119,700	0	0	248,800	0	368,500	368,500
2017	01	114,700	0	0	248,800	0	363,500	363,500



Land Information

Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh	Inf 1	Inf 1 %	Inf 2	Inf 2 %	Inf 3	Inf 3 %	Appr Value	Spec Land	Juris	Fact	Use Value
1 01 Single Fam	0.13774	AC	P	1.00	1,535,000	1,942,065	I	Partial View	25					267,500		1.00		0
2 01 Single Fam	0.00292	AC	EX	0.20	1,535,000	616,438	I							1,800		1.00		0
3																		
4																		

Bristol

15 BURTON ST

Card 1 of 1

Plat/Lot 15 79

Account: 988

LUC 01

Zone R-6

Assessment

\$497,300



Building Information

Description	Description
BLDG Type Convention	Story Height 1 3/4 Story Finish
RES Units 1	COM Units 0
Foundation Concrete	BMT Floor Concrete
Frame 1 Wood	Frame 2
EXT Wall 1 Clapboard	EXT Wall 2
Roof Type 1 Gable	Roof Type 2
Roof Cover 1 Asphalt Shnr	Roof Cover 2
INT Wall 1 Drywall	INT Wall 2
Floors 1 Hardwood	Floors 2
BMT Garages	Color
Plumbing	Electrical
Insulation	INT vs EXT
Heat Fuel Oil	Heat Type BB Hot Water
# Heat Sys	% Heated 100
% Solar HW	% A/C
% COM Wall	% Vacuum
Ceiling HIGHT	Ceiling Type
Parking Type	% Sprinkled
EXT View	
Quantity	Quality
Full Bath 2	Typical
Ext Full Bath	
Half Bath	
Ext Half Bath	
Ext Fixtures	
Kitchens 1	Typical
Ext Kitchens	
Fireplaces	Typical
W.S. Flues	

Grade

Grade	Q4+	Q4+
Year Built 1880	EFF Year	Alt %
Alt LUC	Alt %	0.00

Other Factors

Flood Hazard	LEVEL
Topography	PAVED
Street	
Traffic	
Bas \$/SQ	142.00
Size Adj	1.14
Const Adj	1.01
Ad \$/SQ	162.99
Othr Feats	29,500
Grade Fac	1.09
Neigh Infi	1.00
Land Factor	1.00
Adj Total	311,403
Depreciation	84,079
Total Depreciation % >	27.0
Depr Total	227,324

Sub-Area Detail

Code	Description	Area	Fin. Area	Rate	Unden V
FFL	1st FLOOR	813	813	163.01	132,511
TSQ	3/4 STORY	598	598	162.99	97,427
ATF	FIN ATTIC	16	16	163.02	2,608
OFF	OPEN PORCH	40	0	23.99	960
WD	WOOD DECK	168	0	16.71	2,807
BMT	BASEMENT	813	0	24.44	19,878
Total		2,448	1,427		256,191

Visit History

Date	Result	By
8/16/2021	REVIEW	JH
10/5/2018	REVIEW	JH
10/12/2018	MEASURED	JN
4/12/2008	LISTED	
4/12/2008	CALL BACK	
3/27/2008	CALL BACK	
1/12/2008	MEASURE	

Notes

PARTIAL VIEW

Remodeling History

Additions	Plumbing	Electric
Interior	2017	Heating
Exterior		General
Kitchen		
Baths)		

Condo Data

Complex Location	Tot Units	FL Level	# Floors	Bldg Seq
			0	1

Building Permits

Issue Date	Permit #	Closed Date	BP Type	Est. Cost	% Done	Status	Description/Directions
10/05/2017	0656-17-B	01/23/2018	BLDG	5,200		Closed	RESHINGLE ROOF
10/05/2017	B29728		BLDG	0		Closed	RESHINGLE ROOF TO CODEAPPROVED BY BHDC

Special Features & Yard Items

Use	Description	A	Y/S	Qty	Length	Width	SF Size	Quality	Condition	Year	Assessed Value
13	Patio	1	Y	1	17	17	289	3	AV	2010	700

Other Info.

AFDU	Priority
Term/Rental	PriorityA
	PriorityB
	PriorityC
	PriorityD
	PriorityE
	PriorityF
	PriorityG
	PriorityH
	PriorityI
	PriorityJ
	PriorityK
	PriorityL
	PriorityM
	PriorityN
	PriorityO
	PriorityP
	PriorityQ
	PriorityR
	PriorityS
	PriorityT
	PriorityU
	PriorityV
	PriorityW
	PriorityX
	PriorityY
	PriorityZ

Room Counts by Floor

Units	# Rooms	# Bedrooms	Floor Level
1	1	4	U
2	7		
3			
4			
Totals	1	7	4

NOTES

1. UTILITIES SHOWN ARE LOCATED FROM THE BEST AVAILABLE EVIDENCE AND THE SURVEYOR DOES NOT GUARANTEE THE LOCATION OF ANY UNDERGROUND POSITIONS.
2. THE LAND SHOWN HEREON IS SUBJECT TO ANY EASEMENTS, R.O.W, RESTRICTIONS OR ANY LIMITATIONS WHICH MAY BE REVEALED BY A FULL EXAMINATION OF TITLE.
3. TO THE BEST OF MY KNOWLEDGE THIS PROPERTY IS NOT IN A COASTAL FLOOD ZONE.
4. TO THE BEST OF MY KNOWLEDGE THERE ARE NO WETLANDS ON THIS SITE.

PLAT REFERENCE

PLAN ENTITLED "CAPTAIN LAWLESS COTTAGE TOWNHOUSE CONDOS."
 BY: ADAM BARON P.E. 3381
 PLAN ENTITLED "LAWLESS ESTATE BRISTOL R.I." BY: W.W. PERRY C.E.
 PLAN ENTITLED "ESTATE OF JAMES LAWLESS" BY: CHARLES F. CHASE ENG.
 PLAN BOOK 4 PAGE 36.

NORTH

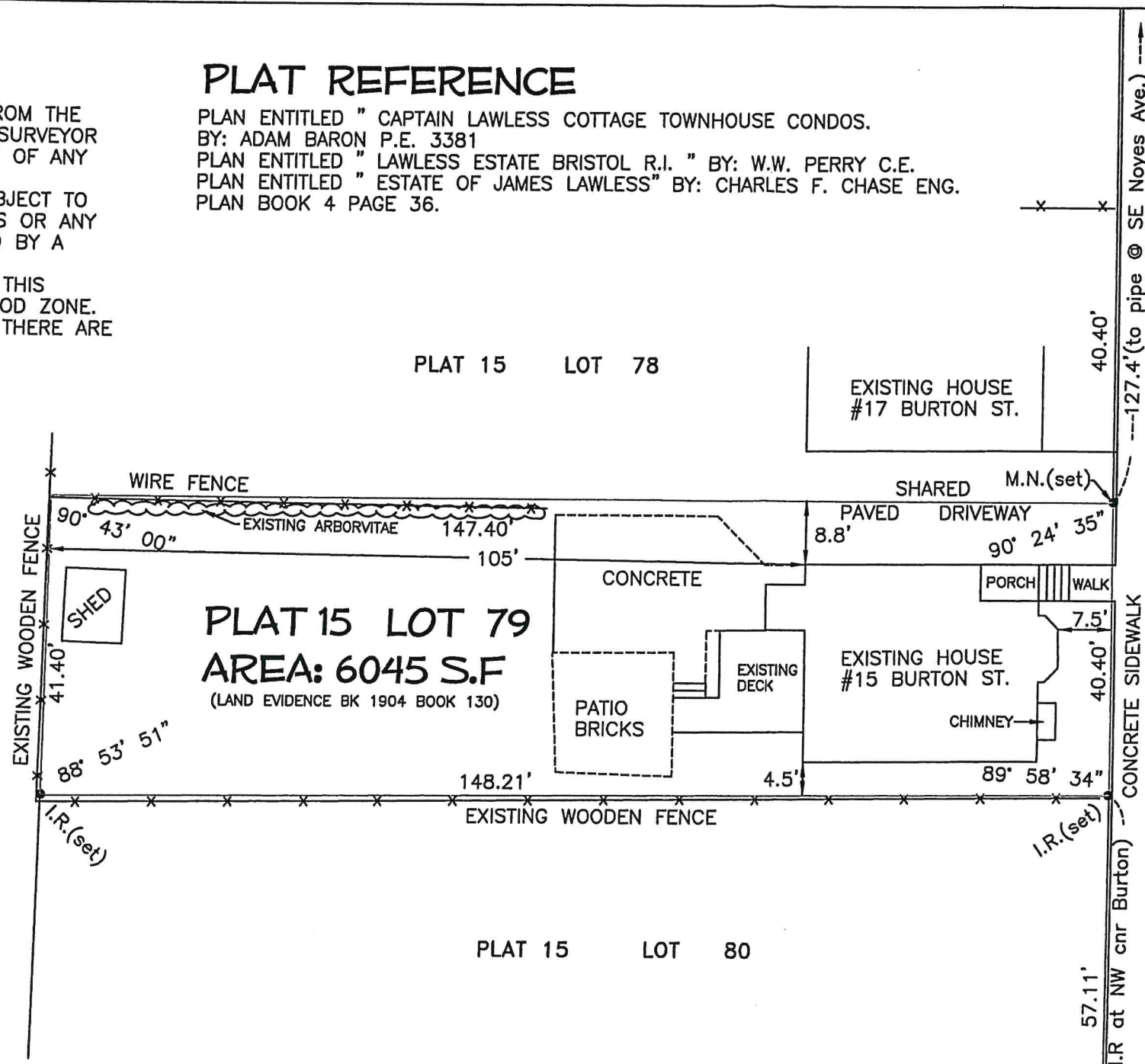
LEGEND

- I.R. IRON ROD
- D.H. GRANITE BOUND
- W- EXISTING WATER LINE
- G- EXISTING GAS LINE
- W/S WATER STOP
- GV GAS VALVE
- G.B. GRANITE BOUND
- MN. MAGNETIC NAIL

ZONING

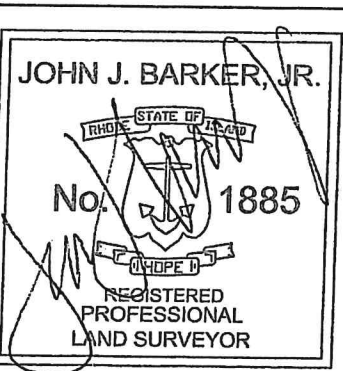
R-6 ZONE MIN. LOT AREA : 6000 S.F
 MIN LOT WIDTH : 60'
 LOT FRONTAGE : 60'
 MAX. BLDG COVERAGE : 30%
 BUILDING SETBACKS
 FRONT : AVERAGE SETBACK OF BLOCK OR 20' WHICHEVER IS LESS.
 REAR : 20'
 SIDE : 10'

PLAT 15 LOT 89
 PLAT 15 LOT 79
 PLAT 15 LOT 80



BURTON STREET
 CONCRETE SIDEWALK
 W/S
 G
 GV
 127.4' (to pipe @ SE Noyes Ave.)
 170.41' (to I.R. at NW cnr Burton)
 57.11'

CERTIFICATION



THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON 11/25/2015 AS FOLLOWS:
 TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY
 MEASUREMENT SPECIFICATION: CLASS 1 STANDARD

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: TO SHOW THE EXISTING CONDITIONS OF THE PROPERTY WITHIN THE SURVEYED BOUNDARY LINES FOR ZONING PURPOSES.

John J. Barker, Jr.
 JOHN J. BARKER, JR PLS #1885
 C.O.A # LS-A302

SITE PLAN FOR THOMAS A. & LEE H. DAWSON

15 BURTON STREET PLAT 15 LOT 79 BRISTOL R.I. 02809
 SCALE 1"=20' DATE 3/27/2023 DWN BY: JJB DWG NO. 230207-562

ZONING SUMMARY: The DAWSON RESIDENCE

15 BURTON STREET, BRISTOL, RI 02809

DETERMINED FROM MAP, this PROPERTY is in the R-6 - RESIDENTIAL (6,000 SF Lot Size)
DETERMINED FROM MAP, this PROPERTY is also in the BRISTOL HISTORIC DISTRICT (HDC)

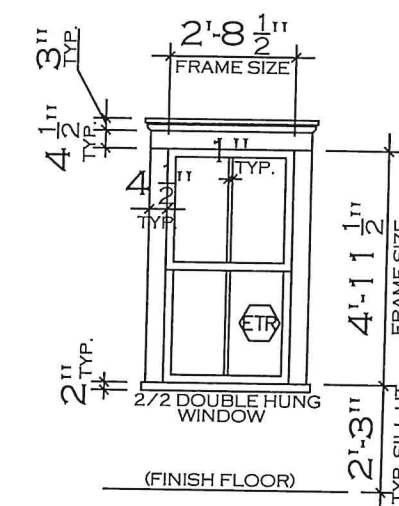
REQUIRED LOT DIMENSIONS (In SF or Feet, or as designated):

- ~ MINIMUM LOT AREA - 6,000 SF
- ~ MINIMUM LOT WIDTH - 60 FT (Single Dwelling Unit)
- ~ MINIMUM LOT FRONTAGE - 60'
- ~ MINIMUM FRONT YARD SETBACK - Average setback of the block, or 20', whichever is less.
- ~ MINIMUM SIDE YARD SETBACK - 10'
- ~ MINIMUM REAR YARD SETBACK - 20'
- ~ MAXIMUM HEIGHT - Average height of the block, or 35', whichever is greater.
- ~ MAXIMUM HEIGHT of ACCESSORY STRUCTURE - 20'
- ~ MAXIMUM SIZE of ACCESSORY STRUCTURE - 22' X 24'
- ~ MAXIMUM LOTY COVERAGE - 30% (Residential)

Done by: Thomas A. Dawson, RA, LEED AP, NCARB - Architect.
Tom Dawson Architecture, 15 Burton Street, Bristol, RI

Based upon: Bristol Zoning ByLaws, of Aug. 24, 2022, Section 28-111,
Table B, Article IV; and the Bristol Zoning Map (of Jan. 27, 2021) - both online.

The "House Standard" Window



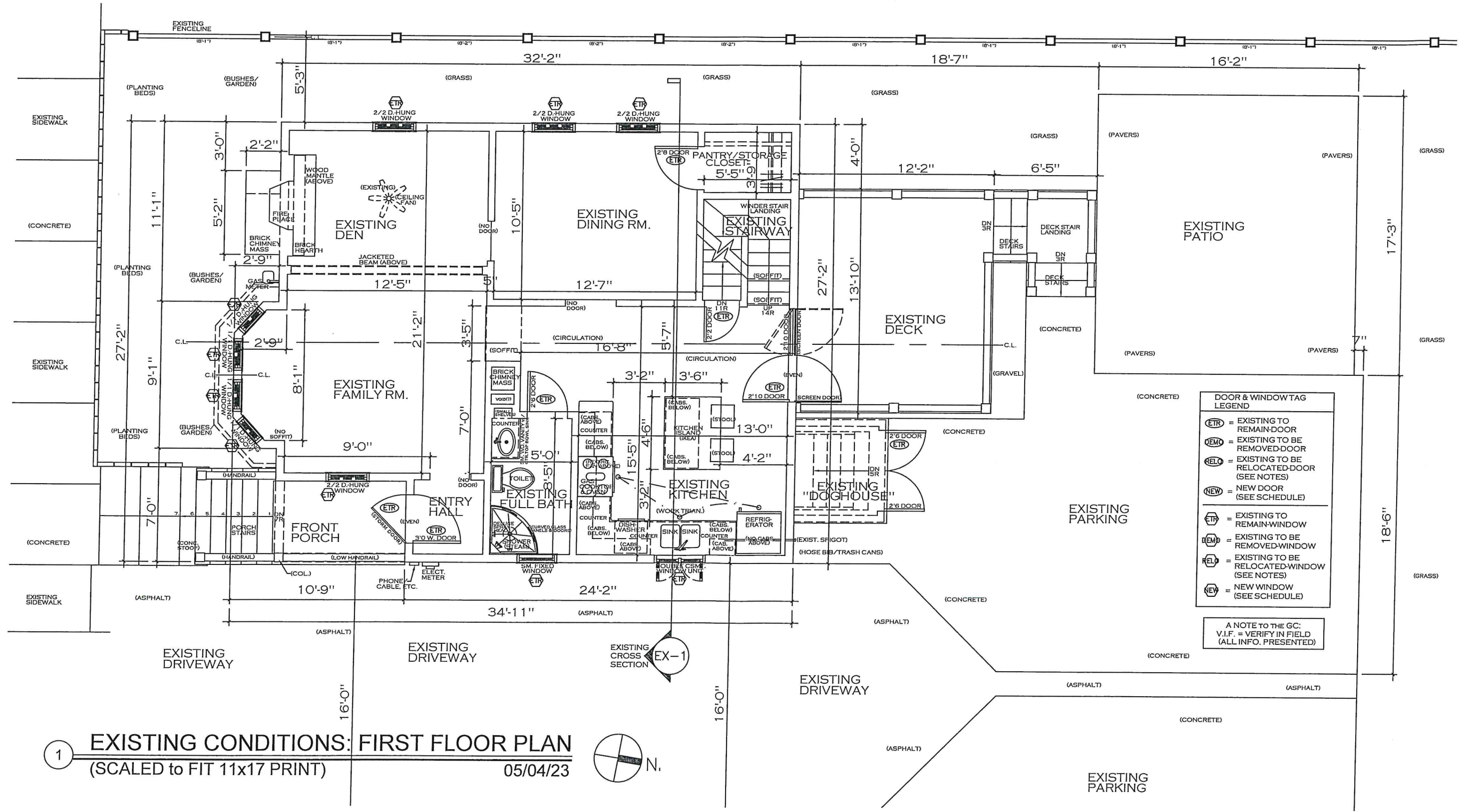
- EXISTING WINDOW SPECIFICATION:
- CALLING THIS "THE HOUSE STANDARD"
 - 2/2 DOUBLE HUNG WINDOW;
 - SIZE IS: 2'-8 1/2" WIDE X 4'-1 1/2" HIGH (FRAME SIZE; & FLOOR - SILL = 2'-3" TYPICAL;
 - THERE ARE SEVEN (7) EXISTING;
 - ALL EXISTING HAVE EXTERNAL STORM WINDOWS;

2

EXISTING CONDITIONS: ZONING & WINDOW SPEC.

(SCALED to FIT 11x17 PRINT)

05/04/23



DOOR & WINDOW TAG LEGEND

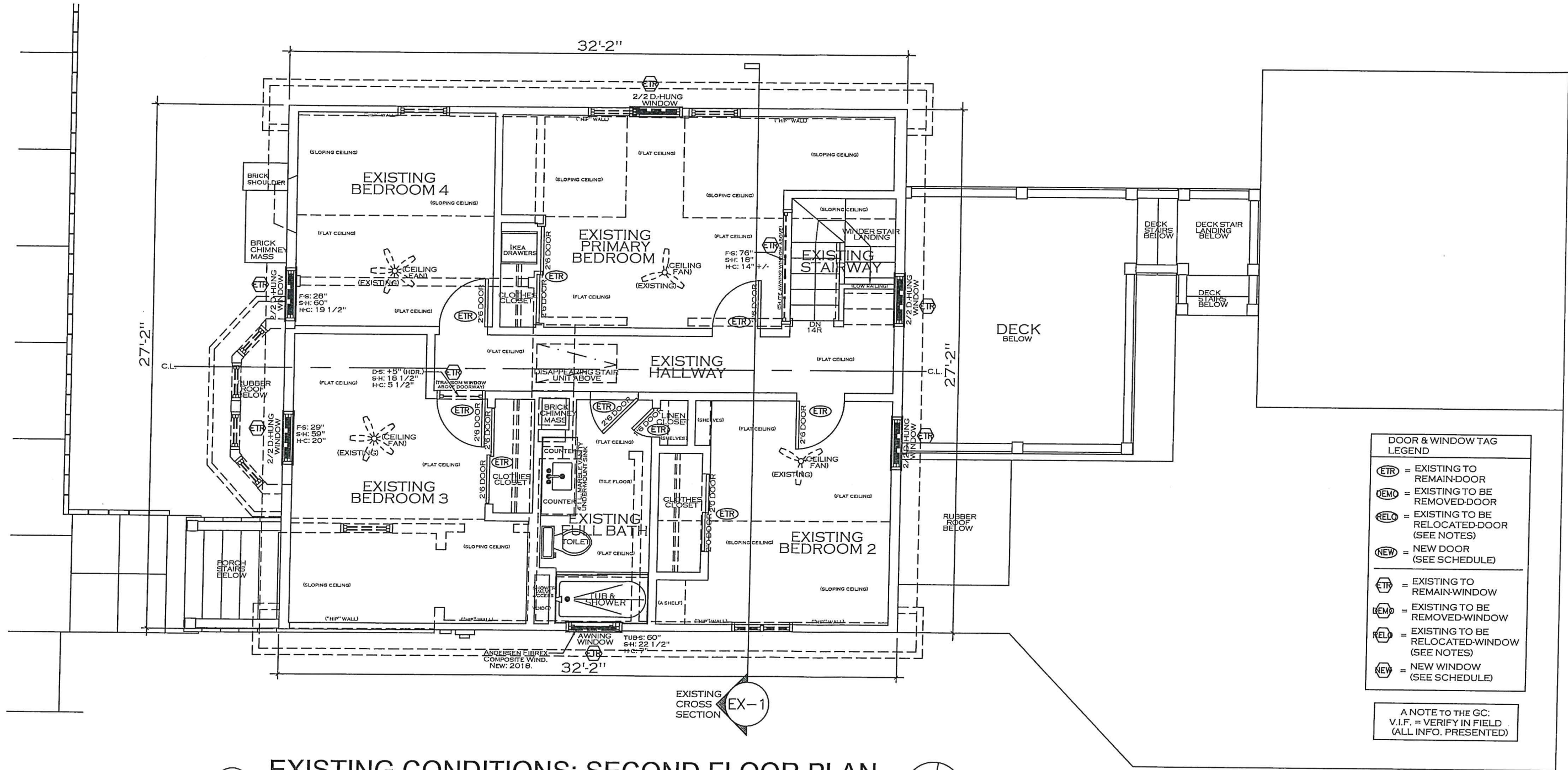
- ETR** = EXISTING TO REMAIN-DOOR
- REMO** = EXISTING TO BE REMOVED-DOOR
- RELOC** = EXISTING TO BE RELOCATED-DOOR (SEE NOTES)
- NEW** = NEW DOOR (SEE SCHEDULE)

- ETW** = EXISTING TO REMAIN-WINDOW
- REMO** = EXISTING TO BE REMOVED-WINDOW
- RELOC** = EXISTING TO BE RELOCATED-WINDOW (SEE NOTES)
- NEW** = NEW WINDOW (SEE SCHEDULE)

A NOTE TO THE GC:
 V.I.F. = VERIFY IN FIELD
 (ALL INFO. PRESENTED)

1 **EXISTING CONDITIONS: FIRST FLOOR PLAN**
 (SCALED to FIT 11x17 PRINT) 05/04/23





DOOR & WINDOW TAG LEGEND

- ETR = EXISTING TO REMAIN-DOOR
- DEMO = EXISTING TO BE REMOVED-DOOR
- RELO = EXISTING TO BE RELOCATED-DOOR (SEE NOTES)
- NEW = NEW DOOR (SEE SCHEDULE)

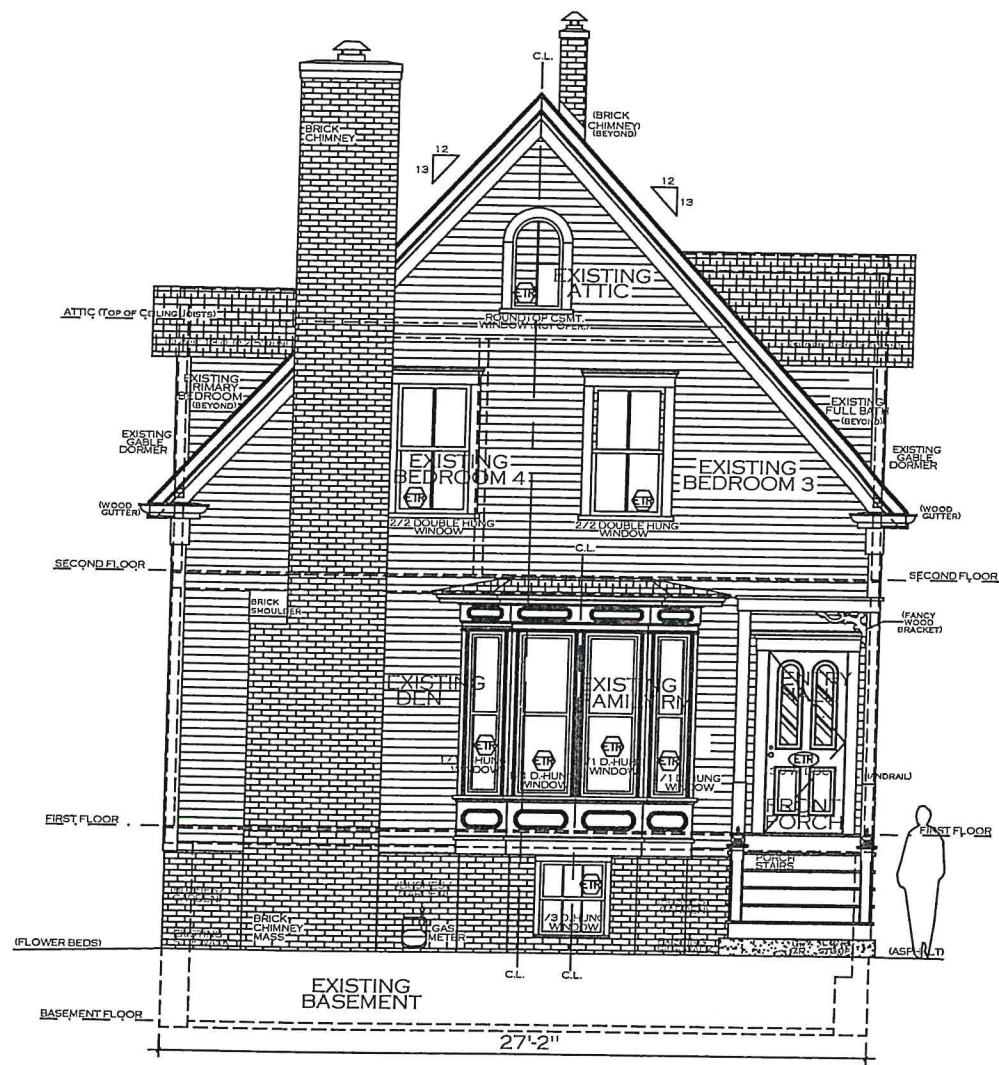
- ETP = EXISTING TO REMAIN-WINDOW
- DEMO = EXISTING TO BE REMOVED-WINDOW
- RELO = EXISTING TO BE RELOCATED-WINDOW (SEE NOTES)
- NEW = NEW WINDOW (SEE SCHEDULE)

A NOTE TO THE GC:
 V.I.F. = VERIFY IN FIELD
 (ALL INFO. PRESENTED)

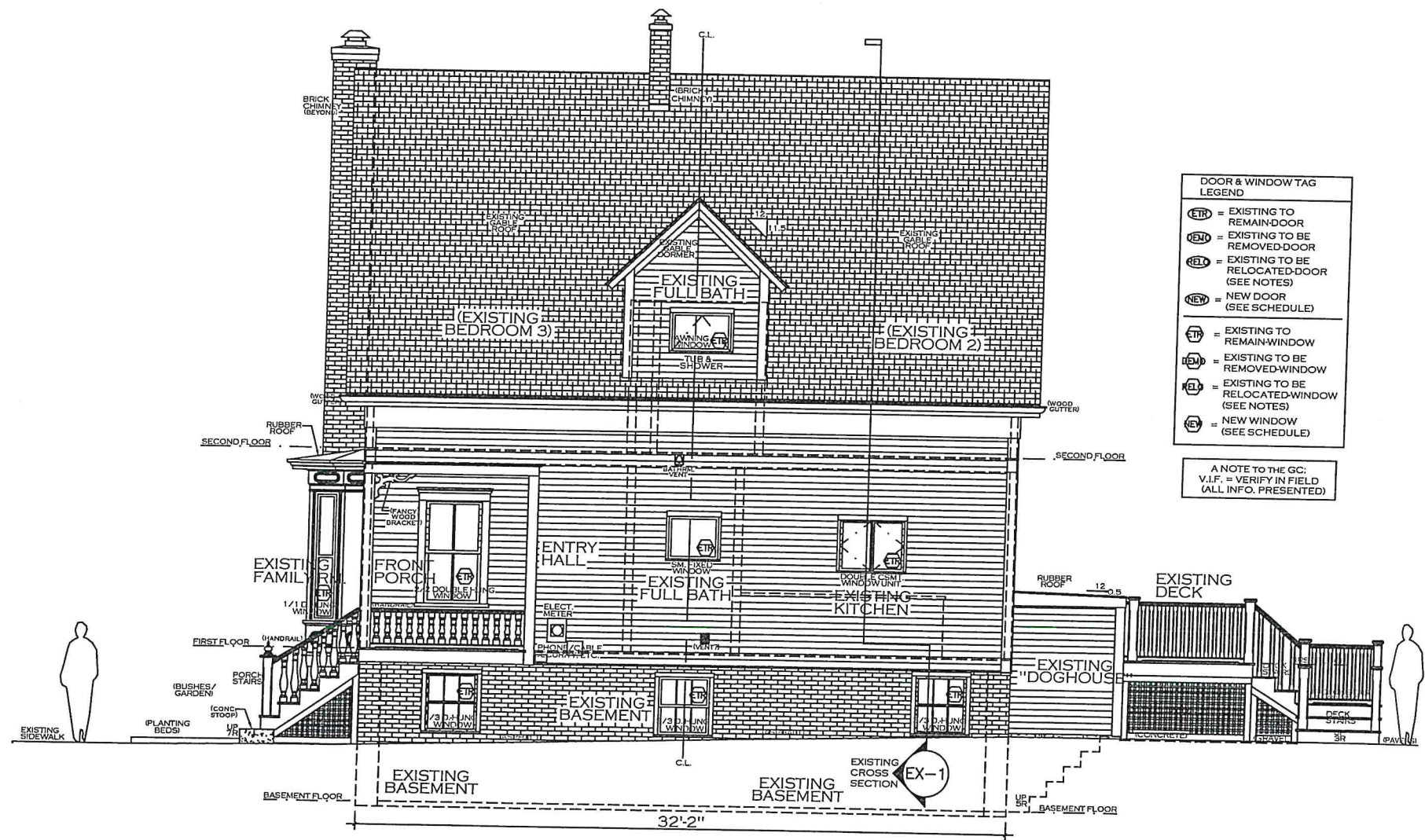
1 **EXISTING CONDITIONS: SECOND FLOOR PLAN**
 (SCALED to FIT 11x17 PRINT)

05/04/23





1 EXISTING CONDITIONS: FRONT (South) ELEVATION
 (SCALED to FIT 11x17 PRINT) 05/04/23

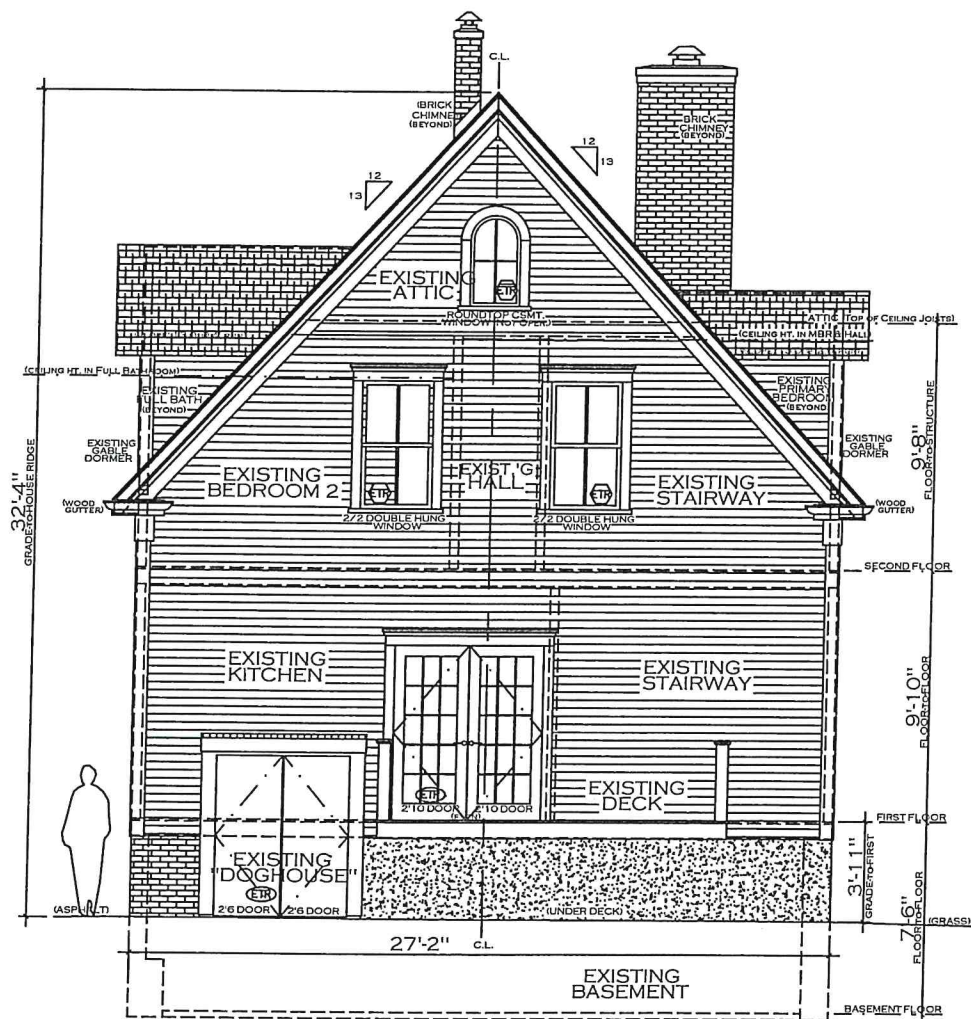


2 EXISTING CONDITIONS: SIDE (East, Driveway) ELEVATION
 (SCALED to FIT 11x17 PRINT) 05/04/23

DOOR & WINDOW TAG LEGEND

- = EXISTING TO REMAIN-DOOR
- = EXISTING TO BE REMOVED-DOOR
- = EXISTING TO BE RELOCATED-DOOR (SEE NOTES)
- = NEW DOOR (SEE SCHEDULE)
- = EXISTING TO REMAIN-WINDOW
- = EXISTING TO BE REMOVED-WINDOW
- = EXISTING TO BE RELOCATED-WINDOW (SEE NOTES)
- = NEW WINDOW (SEE SCHEDULE)

A NOTE TO THE GC:
 V.I.F. = VERIFY IN FIELD (ALL INFO. PRESENTED)

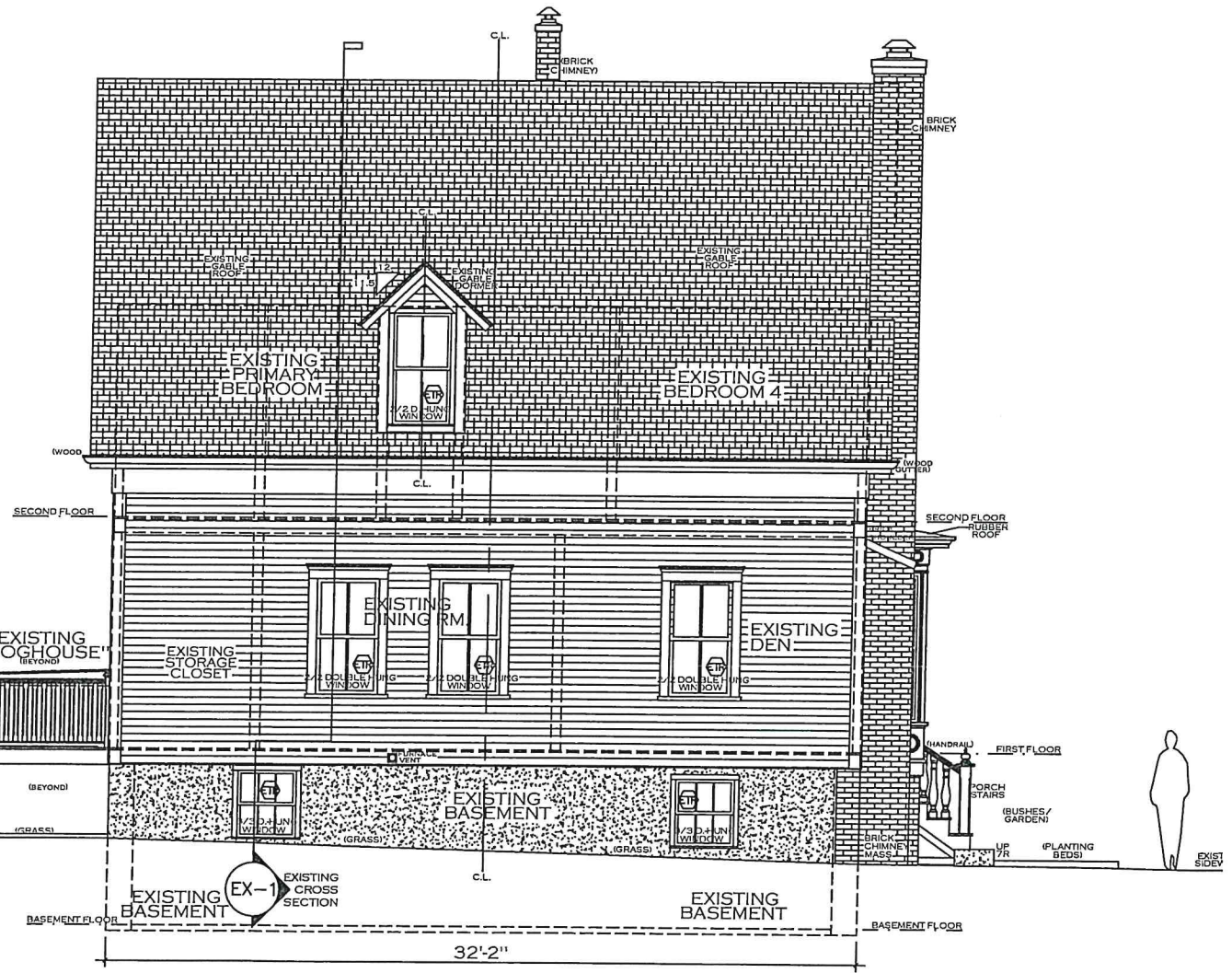
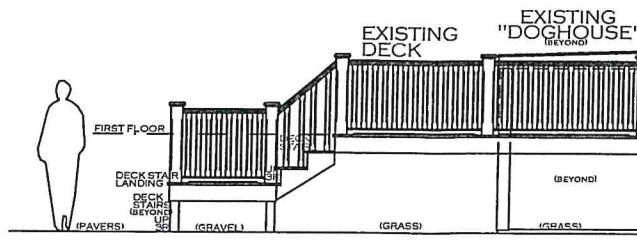


1 EXISTING CONDITIONS: REAR (North) ELEVATION
(SCALED to FIT 11x17 PRINT) 05/04/23

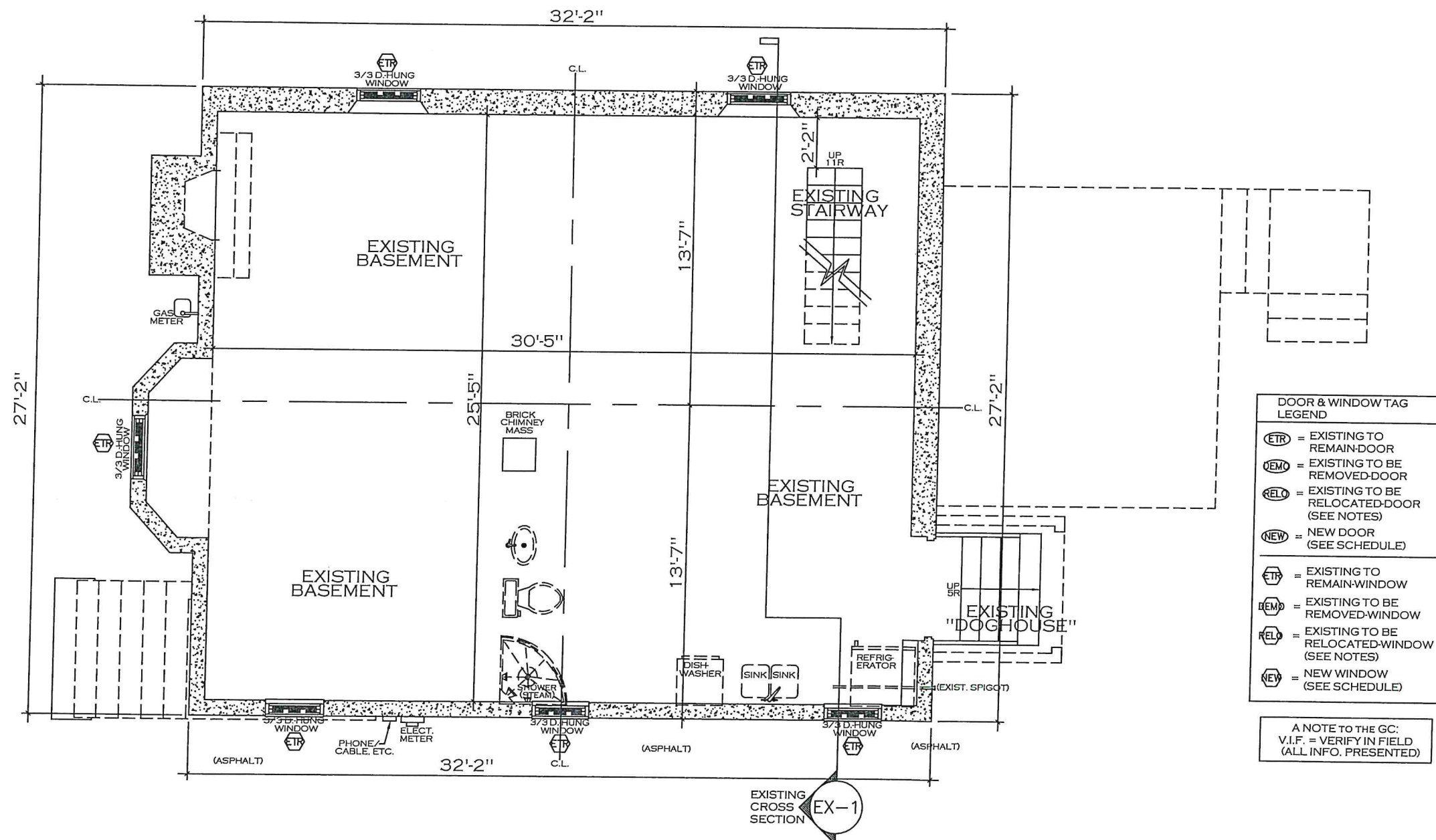
DOOR & WINDOW TAG LEGEND

ETR	= EXISTING TO REMAIN-DOOR
RETR	= EXISTING TO BE REMOVED-DOOR
RELD	= EXISTING TO BE RELOCATED-DOOR (SEE NOTES)
NEW	= NEW DOOR (SEE SCHEDULE)
ETP	= EXISTING TO REMAIN-WINDOW
RETP	= EXISTING TO BE REMOVED-WINDOW
RELD	= EXISTING TO BE RELOCATED-WINDOW (SEE NOTES)
NEW	= NEW WINDOW (SEE SCHEDULE)

A NOTE TO THE GC:
V.I.F. = VERIFY IN FIELD (ALL INFO. PRESENTED)



2 EXISTING CONDITIONS: SIDE (West, Yard) ELEVATION
(SCALED to FIT 11x17 PRINT) 05/04/23



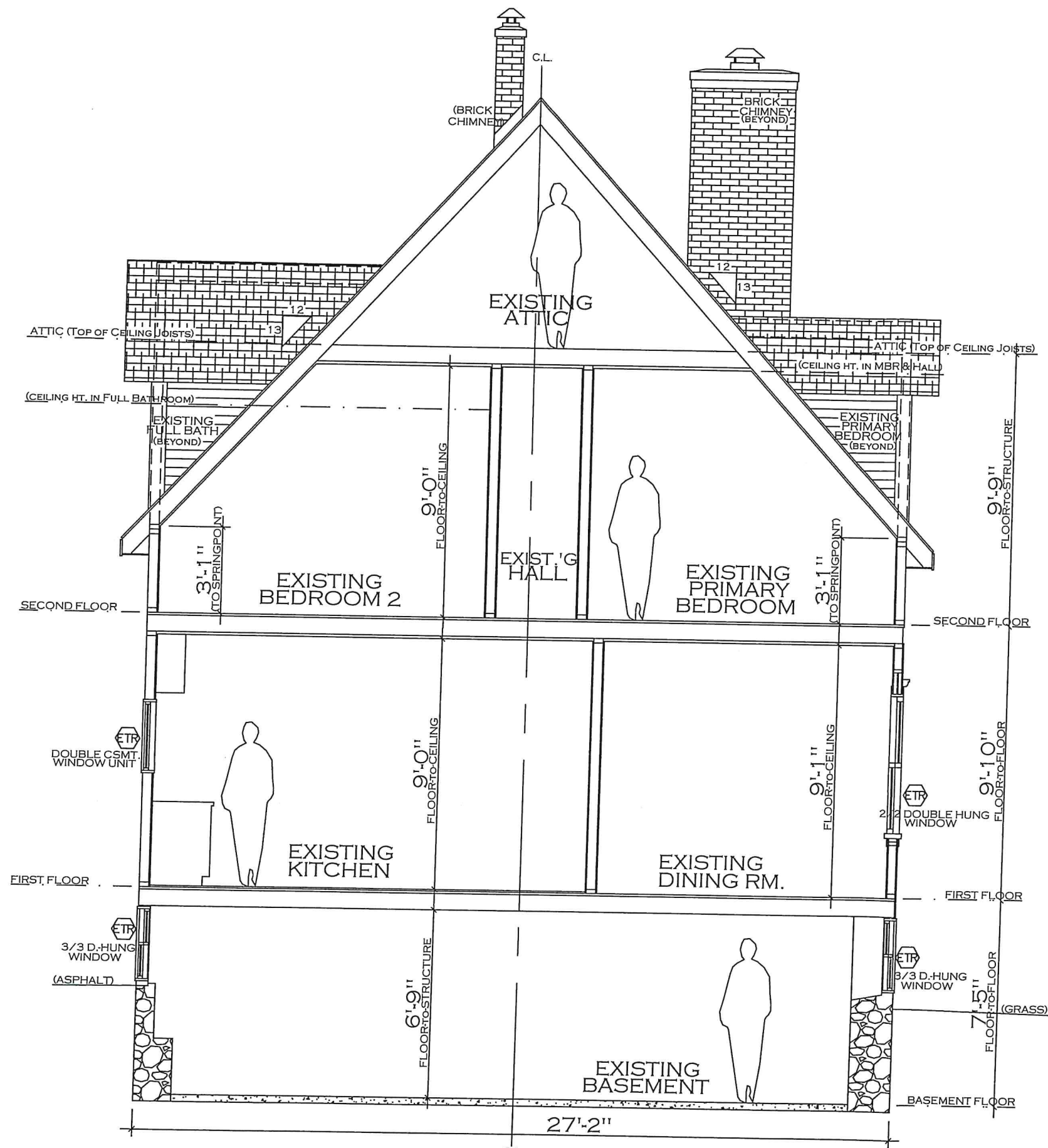
DOOR & WINDOW TAG LEGEND	
	= EXISTING TO REMAIN-DOOR
	= EXISTING TO BE REMOVED-DOOR
	= EXISTING TO BE RELOCATED-DOOR (SEE NOTES)
	= NEW DOOR (SEE SCHEDULE)
	= EXISTING TO REMAIN-WINDOW
	= EXISTING TO BE REMOVED-WINDOW
	= EXISTING TO BE RELOCATED-WINDOW (SEE NOTES)
	= NEW WINDOW (SEE SCHEDULE)

A NOTE TO THE GC:
V.I.F. = VERIFY IN FIELD
(ALL INFO. PRESENTED)

1 **EXISTING CONDITIONS: BASEMENT/FOUNDATION PLAN**
(SCALED to FIT 11x17 PRINT)

05/04/23





DOOR & WINDOW TAG LEGEND

- (ETR)** = EXISTING TO REMAIN-DOOR
- (DEM)** = EXISTING TO BE REMOVED-DOOR
- (RELO)** = EXISTING TO BE RELOCATED-DOOR (SEE NOTES)
- (NEW)** = NEW DOOR (SEE SCHEDULE)

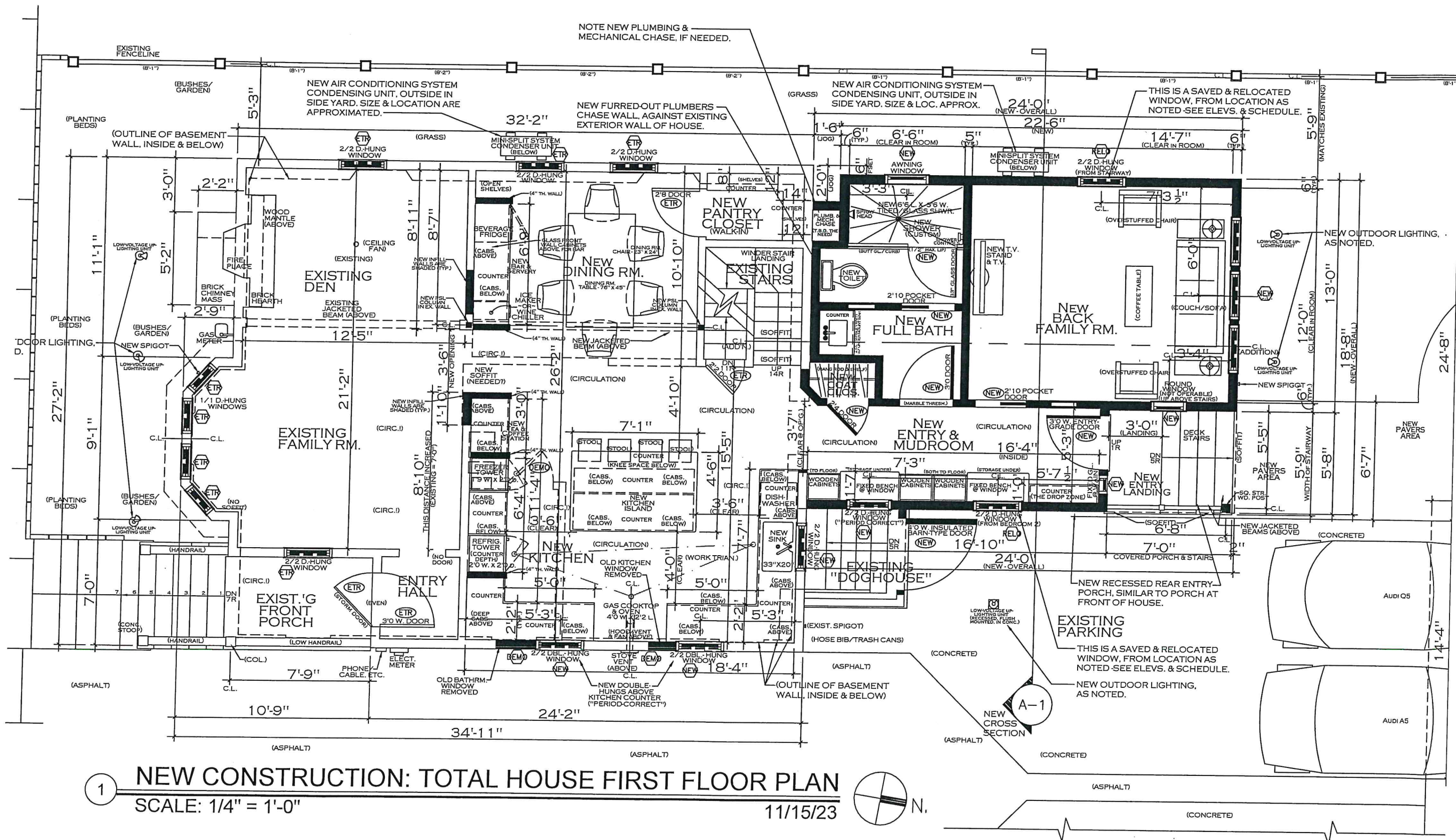
- (ETR)** = EXISTING TO REMAIN-WINDOW
- (DEM)** = EXISTING TO BE REMOVED-WINDOW
- (RELO)** = EXISTING TO BE RELOCATED-WINDOW (SEE NOTES)
- (NEW)** = NEW WINDOW (SEE SCHEDULE)

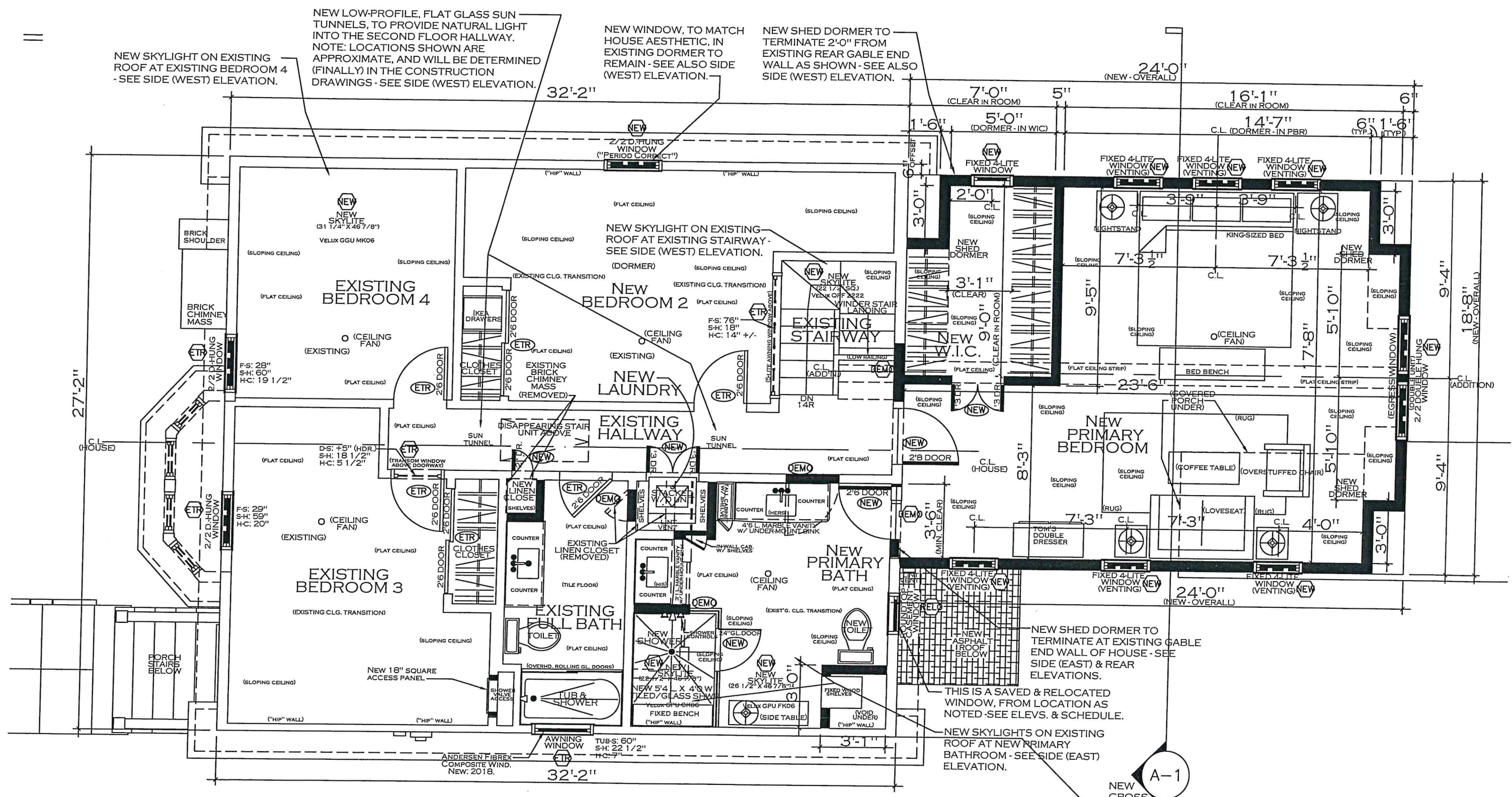
A NOTE TO THE GC:
V.I.F. = VERIFY IN FIELD
(ALL INFO. PRESENTED)

3

EXISTING CONDITIONS: CROSS SECTION EX-1
(SCALED to FIT 11x17 PRINT)

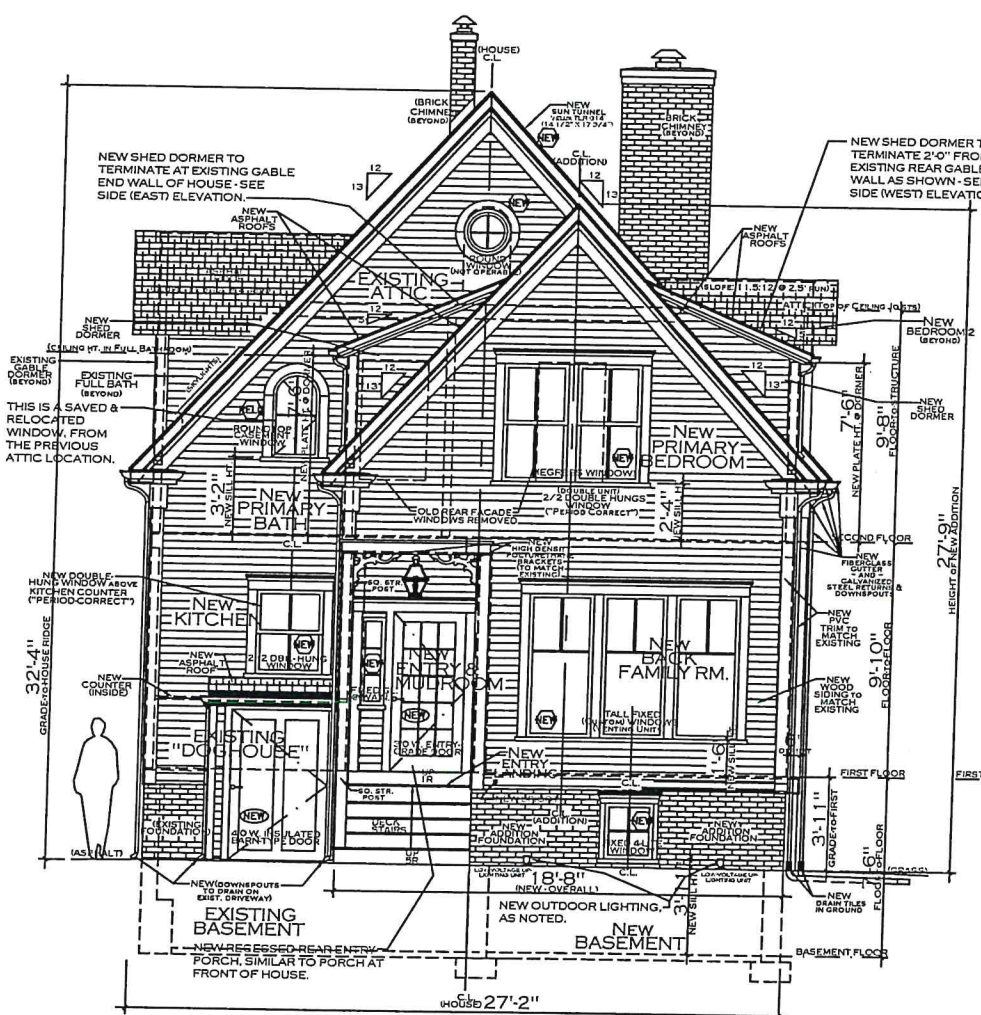
05/04/23



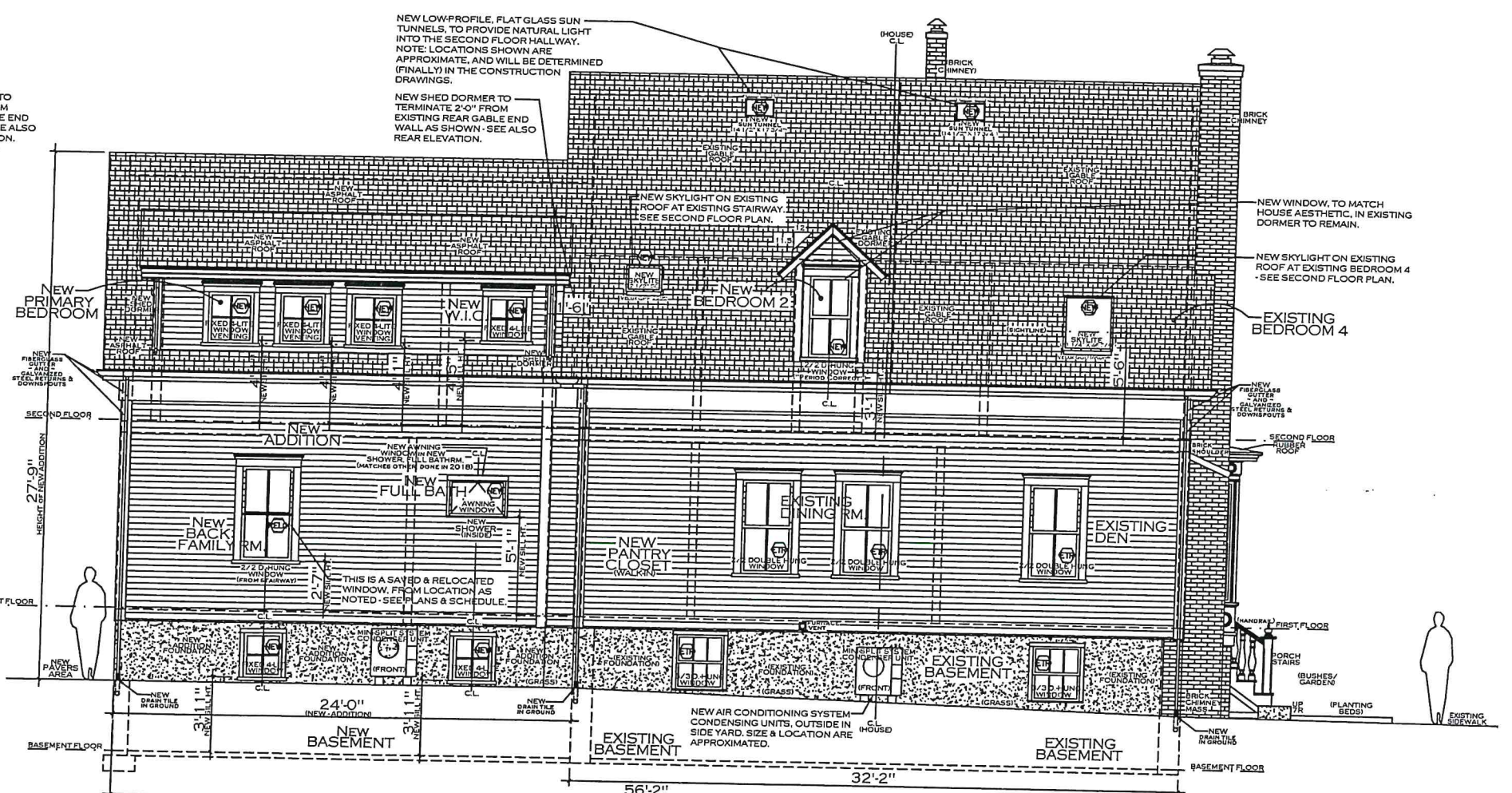


1 **NEW CONSTRUCTION: TOTAL HOUSE SECOND FLOOR PLAN**
 SCALE: 1/4" = 1'-0" 11/15/23

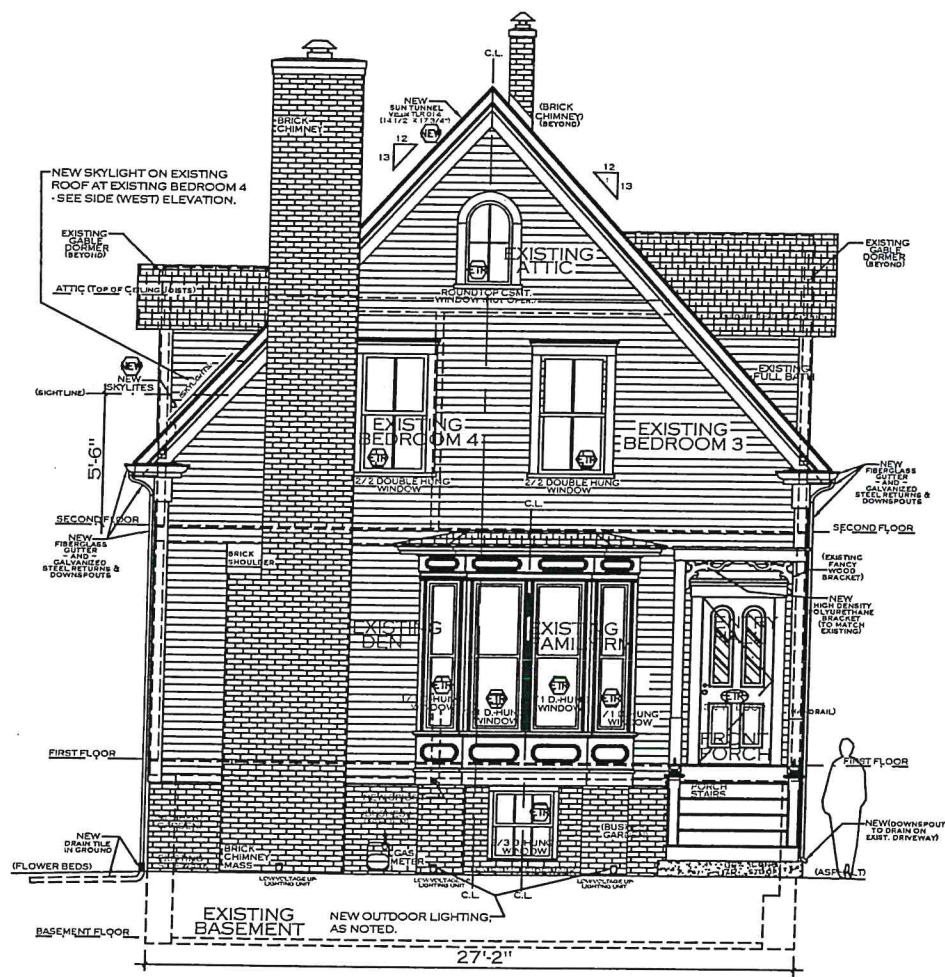




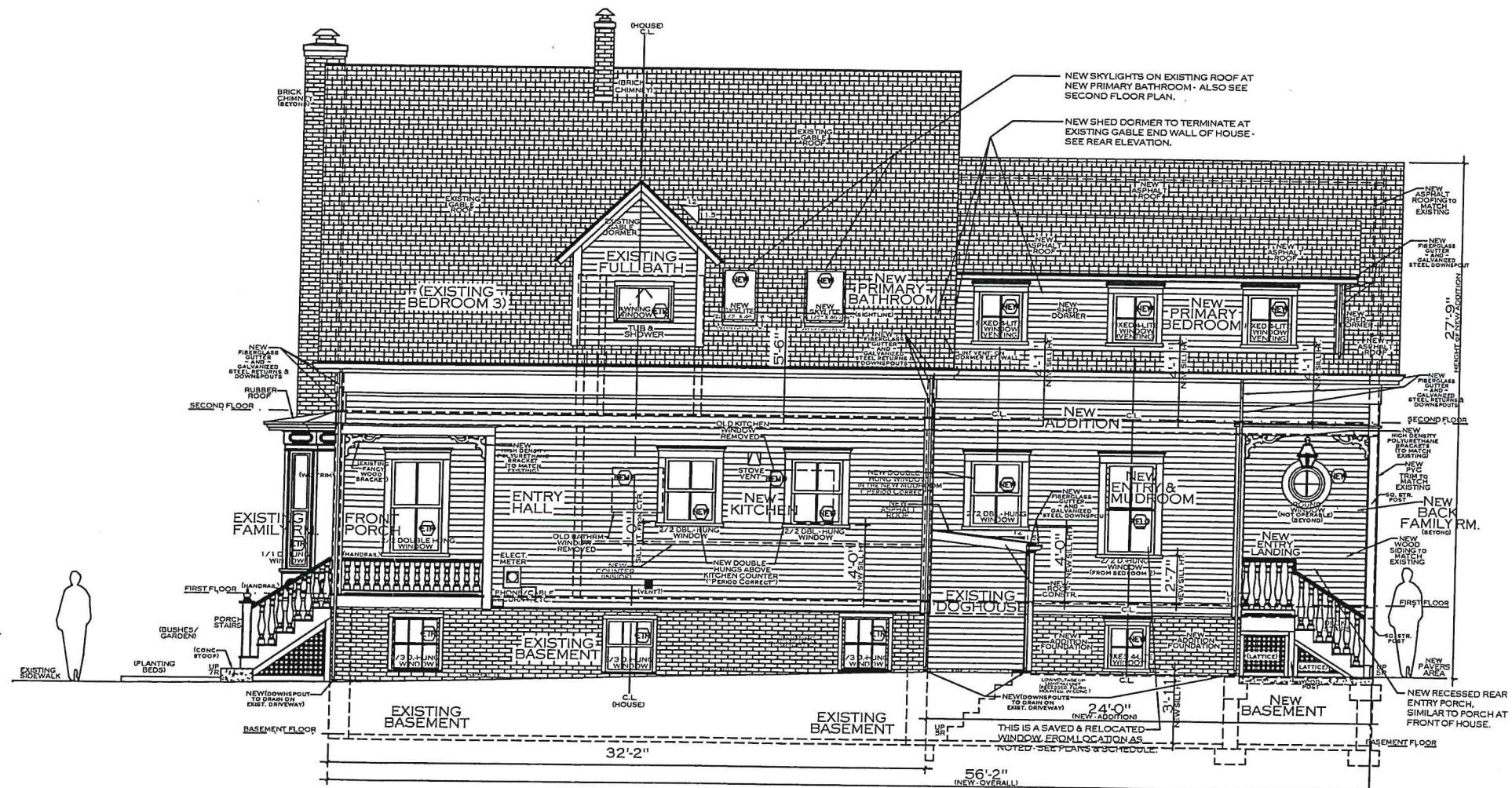
1 **NEW CONSTRUCTION: REAR (North) ELEVATION**
 SCALE: 1/4" = 1'-0" 11/15/23



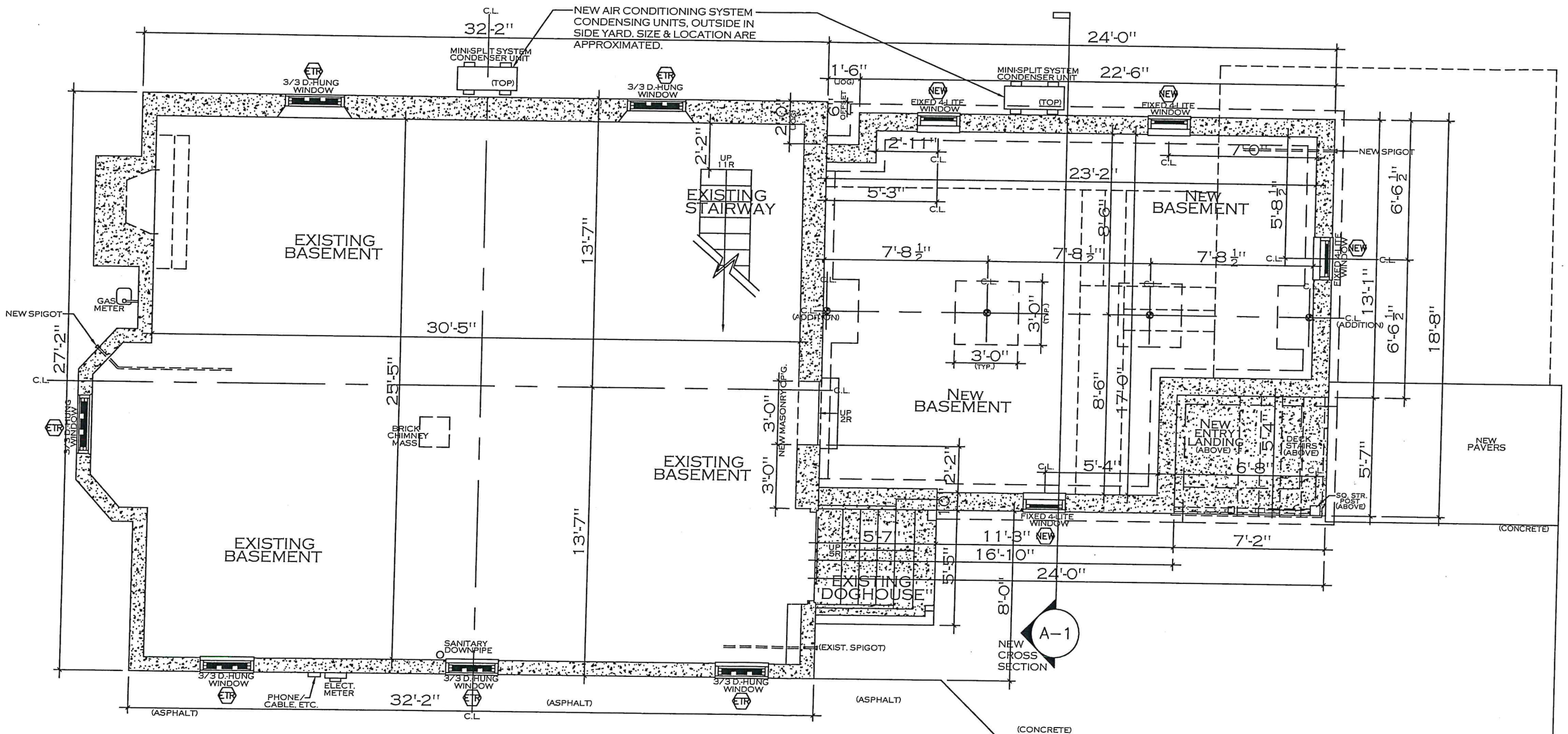
2 **NEW CONSTRUCTION: TOTAL HOUSE SIDE (West, Yard) ELEVATION**
 SCALE: 1/4" = 1'-0" 11/15/23



1 NEW CONSTRUCTION: FRONT (South) ELEVATION
 SCALE: 1/4" = 1'-0" 11/15/23



2 NEW CONSTRUCTION: TOTAL HOUSE SIDE (East, Driveway) ELEVATION
 SCALE: 1/4" = 1'-0" 11/15/23



1

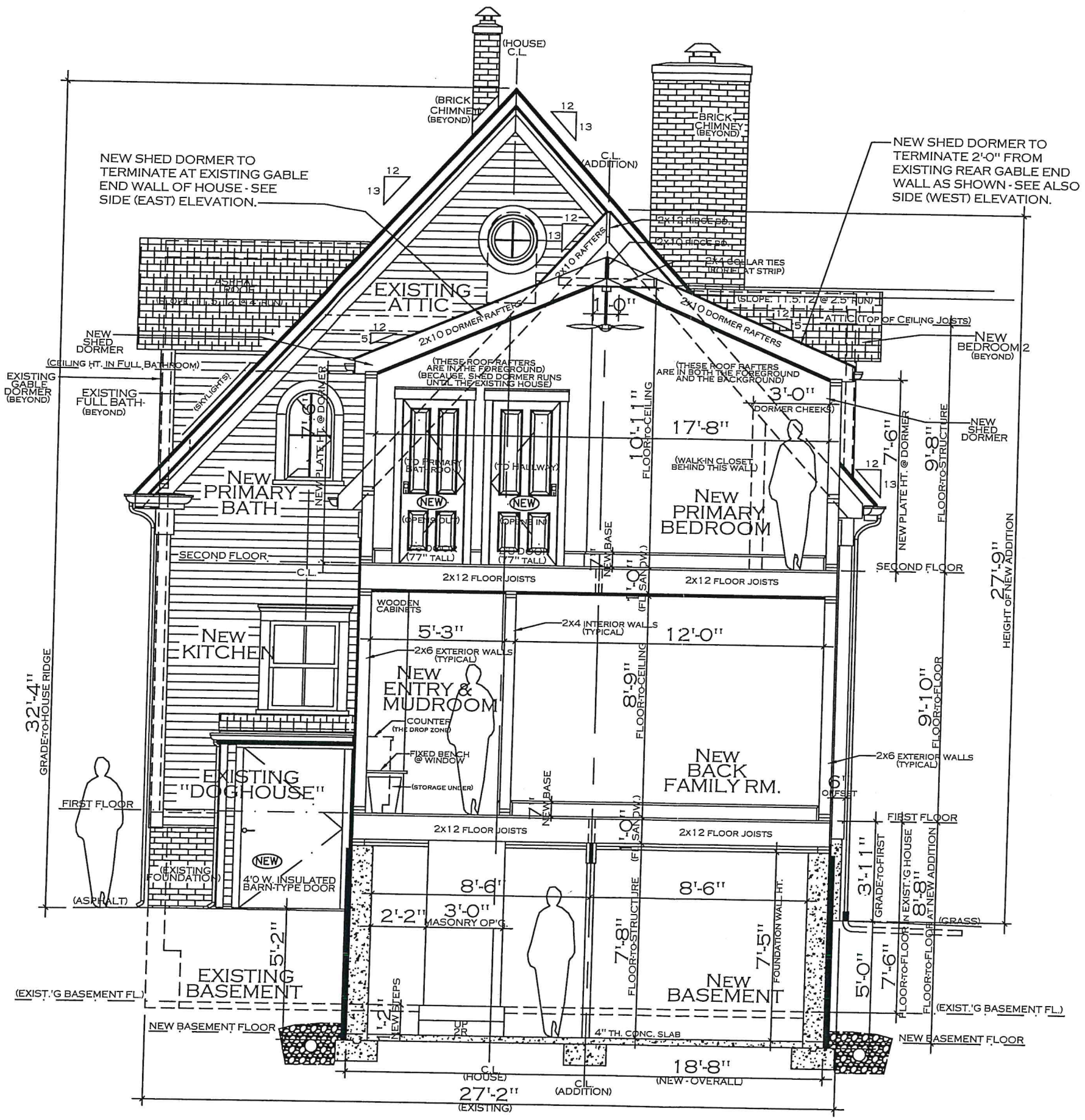
NEW CONSTRUCTION: TOTAL HOUSE BASEMENT/FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

11/15/23



(ASPHALT)



1 **NEW CONSTRUCTION: CROSS SECTION A-1**
 SCALE: 1/4" = 1'-0" 11/15/23



15 Burton Street - 200' Radius

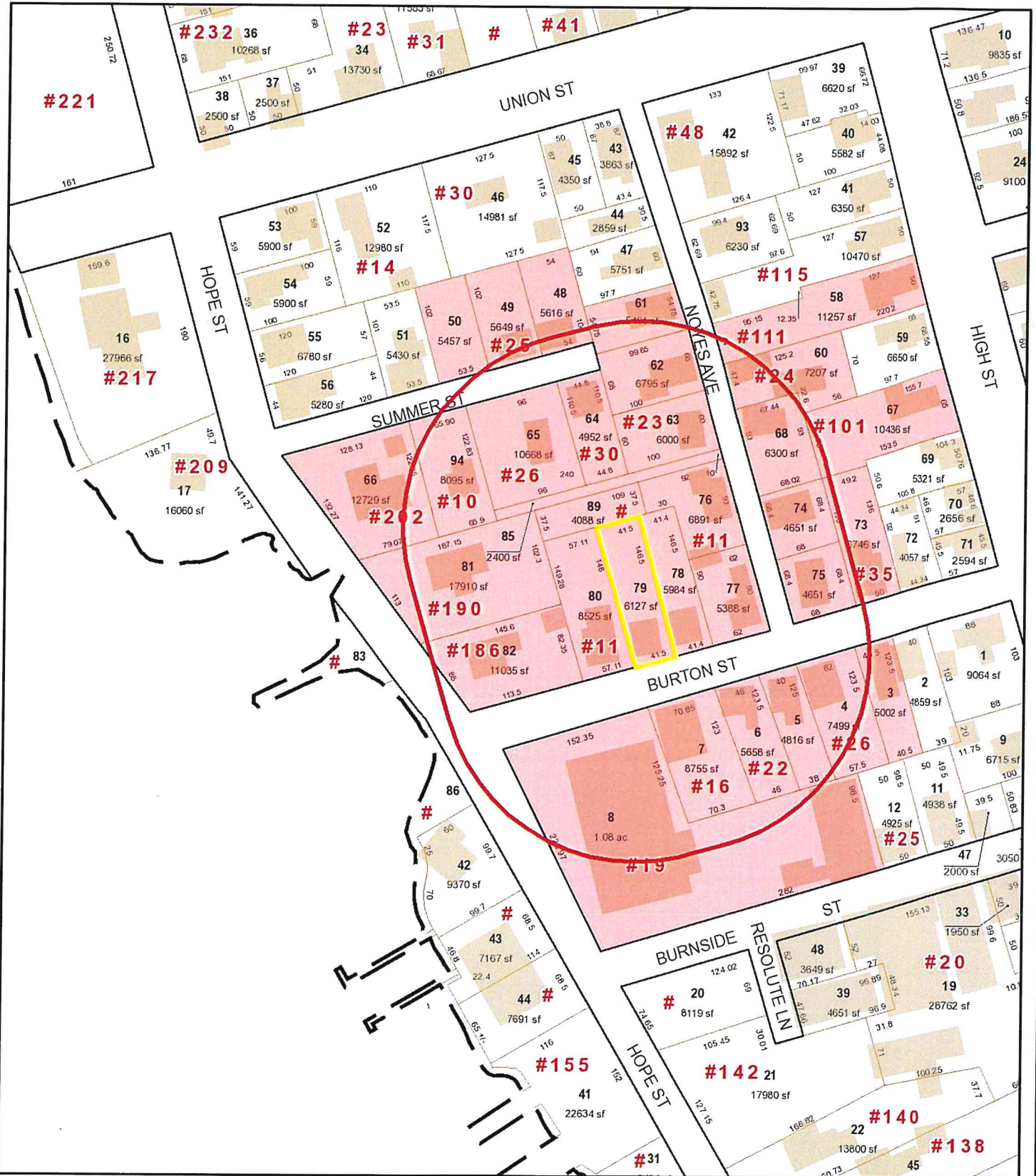
Bristol, RI



December 7, 2023

1 inch = 140 Feet

www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



200 foot Abutters List Report

Bristol, RI
December 07, 2023

Subject Property:

Parcel Number: 15-79
CAMA Number: 15-79
Property Address: 15 BURTON ST

Mailing Address: DAWSON, THOMAS A & LEE H TE
4 JAMIE LANE
HOPKINTON, MA 01748

Abutters:

Parcel Number: 15-48
CAMA Number: 15-48
Property Address: 29 SUMMER ST

Mailing Address: HANSON, WADE R
29 SUMMER ST
BRISTOL, RI 02809

Parcel Number: 15-49
CAMA Number: 15-49
Property Address: 25 SUMMER ST

Mailing Address: BAKER, JOHN LINDA
25 SUMMER ST
BRISTOL, RI 02809

Parcel Number: 15-50
CAMA Number: 15-50
Property Address: 23 SUMMER ST

Mailing Address: ESSELEN, GUSTAVUS J. IV TE &
CATHERINE M.
23 SUMMER ST
BRISTOL, RI 02809

Parcel Number: 15-58
CAMA Number: 15-58
Property Address: 111 HIGH ST

Mailing Address: YOUNG, CHRISTOPHER M & LAUREN R
TE
PO BOX 215
BARTON, VT 05822

Parcel Number: 15-60
CAMA Number: 15-60
Property Address: 24 NOYES AVE

Mailing Address: LAVOIE, ROXANNE L.
24 NOYES AVE
BRISTOL, RI 02809

Parcel Number: 15-61
CAMA Number: 15-61
Property Address: 27 NOYES AVE

Mailing Address: PACHECO, JASON D
27 NOYES AVE
BRISTOL, RI 02809

Parcel Number: 15-62
CAMA Number: 15-62
Property Address: 25 NOYES AVE

Mailing Address: GUILD, MITCHELL A & JUDITH TE
25 NOYES AVE
BRISTOL, RI 02809

Parcel Number: 15-63
CAMA Number: 15-63
Property Address: 23 NOYES AVE

Mailing Address: FERRATO, JAMES D. & FERRATO,
PAULA TRUSTEES (1/2) TC
23 NOYES AVE
BRISTOL, RI 02809

Parcel Number: 15-64
CAMA Number: 15-64
Property Address: 30 SUMMER ST

Mailing Address: LEVY, MARK L & KEATING, CELINE M
TE
697 WEST END AVE, APT. 5-D
NEW YORK, NY 10025

Parcel Number: 15-65
CAMA Number: 15-65
Property Address: 26 SUMMER ST

Mailing Address: BURKE, CHARLES A. ET AL MARI-LYNN
MAURER JT
26 SUMMER ST.
BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

12/7/2023

Page 1 of 3



200 foot Abutters List Report

Bristol, RI
December 07, 2023

Parcel Number: 15-66 CAMA Number: 15-66 Property Address: 202 HOPE ST	Mailing Address: VANDEVENTER, BRENDAN P & MONICA R TE 202 HOPE ST BRISTOL, RI 02809
Parcel Number: 15-67 CAMA Number: 15-67 Property Address: 101 HIGH ST	Mailing Address: HOWE, DAVID & KATHLEEN TE 101 HIGH ST BRISTOL, RI 02809
Parcel Number: 15-68 CAMA Number: 15-68 Property Address: 22 NOYES AVE	Mailing Address: HANNEY MICHAEL J PEGGY 22 NOYES AVE BRISTOL, RI 02809
Parcel Number: 15-73 CAMA Number: 15-73 Property Address: 35 BURTON ST	Mailing Address: OLIVER, JOHN S. 35 BURTON ST BRISTOL, RI 02809
Parcel Number: 15-74 CAMA Number: 15-74 Property Address: 8 NOYES AVE	Mailing Address: CITO, JEFFREY D & KELLY, STEPHANIE JT 8 PARK AVE WAPPINGERS, NY 12590
Parcel Number: 15-75 CAMA Number: 15-75 Property Address: 29 BURTON ST	Mailing Address: HIGH STREET HOMES, LLC 118 HIGH ST BRISTOL, RI 02809
Parcel Number: 15-76 CAMA Number: 15-76 Property Address: 11 NOYES AVE	Mailing Address: READ, CLARA E & HURD, JAY B - TRUSTEES CLARA E READ & JAY B HURD TRUST 11 NOYES AVE BRISTOL, RI 02809
Parcel Number: 15-77 CAMA Number: 15-77 Property Address: 23 BURTON ST	Mailing Address: BECKMAN, ANNA E COHEN, JESSE P TE 23 BURTON ST BRISTOL, RI 02809
Parcel Number: 15-78 CAMA Number: 15-78 Property Address: 17 BURTON ST	Mailing Address: STEPHENS, MARK S & SUZETTE R TE 17 BURTON ST BRISTOL, RI 02809
Parcel Number: 15-79 CAMA Number: 15-79 Property Address: 15 BURTON ST	Mailing Address: DAWSON, THOMAS A & LEE H TE 4 JAMIE LANE HOPKINTON, MA 01748
Parcel Number: 15-80 CAMA Number: 15-80 Property Address: 11 BURTON ST	Mailing Address: FORD, DAVID STRATTON, NANCY ETUX 11 BURTON ST BRISTOL, RI 02809
Parcel Number: 15-81 CAMA Number: 15-81 Property Address: 190 HOPE ST	Mailing Address: CARLETON, APRIL M. TRUSTEE 4 BRIAR SPRING ROAD ORLEANS, MA 02653



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

12/7/2023

Page 2 of 3



200 foot Abutters List Report

Bristol, RI
December 07, 2023

Parcel Number: 15-82 CAMA Number: 15-82 Property Address: 186 HOPE ST	Mailing Address: CAMPBELL, WILLIAM K ETUX JUDITH S. CAMPBELL TE 186 HOPE ST. BRISTOL, RI 02809
Parcel Number: 15-85 CAMA Number: 15-85 Property Address: HOPE ST	Mailing Address: CARLETON, APRIL M. TRUSTEE 190 HOPE ST BRISTOL, RI 02809
Parcel Number: 15-89 CAMA Number: 15-89 Property Address: NOYES AVE	Mailing Address: FORD, DAVID STRATTON, NANCY ETUX 11 BURTON ST BRISTOL, RI 02809
Parcel Number: 15-94 CAMA Number: 15-94 Property Address: 10 SUMMER ST	Mailing Address: SCHWENGEL, ROBERT H & ELIZABETH N TRUSTEES 10 SUMMER ST BRISTOL, RI 02809
Parcel Number: 16-3 CAMA Number: 16-3 Property Address: 34 BURTON ST	Mailing Address: SEGAL, THADDEUS G 34 BURTON ST BRISTOL, RI 02809
Parcel Number: 16-4 CAMA Number: 16-4 Property Address: 26 BURTON ST	Mailing Address: SIOBHAN HOLDINGS, LLC 207 LAMMS MILL RD WERNERSVILLE, PA 19565
Parcel Number: 16-5 CAMA Number: 16-5 Property Address: 24 BURTON ST	Mailing Address: WROBLEWSKI, ALAN F & LORING, MARIA L - TRUSTEES LORING WROBLEWSKI TRUST 24 BURTON ST BRISTOL, RI 02809
Parcel Number: 16-6 CAMA Number: 16-6 Property Address: 22 BURTON ST	Mailing Address: AUSTIN, EDWARD A III TRUSTEE EDWARD A AUSTIN III REVOCABLE LIVING TRUST C/O 45 HIGH ST BRISTOL, RI 02809
Parcel Number: 16-7 CAMA Number: 16-7 Property Address: 16 BURTON ST	Mailing Address: 16 BURTON ST LLC C/O SERAPHIN & MARJORIE DAPONT 65 VARNUM AVE BRISTOL, RI 02809
Parcel Number: 16-8 CAMA Number: 16-8-001 Property Address: 19 BURNSIDE ST	Mailing Address: HH ACQUISITIONS LLC 19 BURNSIDE ST BRISTOL, RI 02809
Parcel Number: 16-8 CAMA Number: 16-8-002 Property Address: 17 BURNSIDE ST	Mailing Address: HERRESHOFF MARINE MUSEUM P. O. BOX 450 BRISTOL, RI 02809
Parcel Number: 16-8 CAMA Number: 16-8-003 Property Address: 1 BURNSIDE ST	Mailing Address: HERRESHOFF MARINE MUSEUM P. O. BOX 450 BRISTOL, RI 02809



www.cai-tech.com

12/7/2023

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 3 of 3

16 BURTON ST LLC
C/O SERAPHIN & MARJORIE D
65 VARNUM AVE
BRISTOL, RI 02809

ESSELEN, GUSTAVUS J. IV T
& CATHERINE M.
23 SUMMER ST
BRISTOL, RI 02809

LAVOIE, ROXANNE L.
24 NOYES AVE
BRISTOL, RI 02809

AUSTIN, EDWARD A III TRUS
EDWARD A AUSTIN III REVOC
C/O 45 HIGH ST
BRISTOL, RI 02809

FERRATO, JAMES D. &
FERRATO, PAULA TRUSTEES (
23 NOYES AVE
BRISTOL, RI 02809

LEVY, MARK L & KEATING, C
697 WEST END AVE, APT. 5-D
NEW YORK, NY 10025

BAKER, JOHN
LINDA
25 SUMMER ST
BRISTOL, RI 02809

FORD, DAVID
STRATTON, NANCY ETUX
11 BURTON ST
BRISTOL, RI 02809

OLIVER, JOHN S.
35 BURTON ST
BRISTOL, RI 02809

BECKMAN, ANNA E
COHEN, JESSE P TE
23 BURTON ST
BRISTOL, RI 02809

GUILD, MITCHELL A &
JUDITH TE
25 NOYES AVE
BRISTOL, RI 02809

PACHECO, JASON D
27 NOYES AVE
BRISTOL, RI 02809

BURKE, CHARLES A. ET AL
MARI-LYNN MAURER JT
26 SUMMER ST.
BRISTOL, RI 02809

HANNEY MICHAEL J
PEGGY
22 NOYES AVE
BRISTOL, RI 02809

READ, CLARA E & HURD, JAY
CLARA E READ & JAY B HURD
11 NOYES AVE
BRISTOL, RI 02809

CAMPBELL, WILLIAM K ETUX
JUDITH S. CAMPBELL TE
186 HOPE ST.
BRISTOL, RI 02809

HANSON, WADE R
29 SUMMER ST
BRISTOL, RI 02809

SCHWENGEL, ROBERT H &
ELIZABETH N TRUSTEES
10 SUMMER ST
BRISTOL, RI 02809

CARLETON, APRIL M. TRUSTE
190 HOPE ST
BRISTOL, RI 02809

HERRESHOFF MARINE MUSEUM
P. O. BOX 450
BRISTOL, RI 02809

SEGAL, THADDEUS G
34 BURTON ST
BRISTOL, RI 02809

CARLETON, APRIL M. TRUSTE
4 BRIAR SPRING ROAD
ORLEANS, MA 02653

HH ACQUISITIONS LLC
19 BURNSIDE ST
BRISTOL, RI 02809

SIOBHAN HOLDINGS, LLC
207 LAMMS MILL RD
WERNERSVILLE, PA 19565

CITO, JEFFREY D &
KELLY, STEPHANIE JT
8 PARK AVE
WAPPINGERS, NY 12590

HIGH STREET HOMES, LLC
118 HIGH ST
BRISTOL, RI 02809

STEPHENS, MARK S & SUZETT
17 BURTON ST
BRISTOL, RI 02809

DAWSON, THOMAS A &
LEE H TE
4 JAMIE LANE
HOPKINTON, MA 01748

HOWE, DAVID & KATHLEEN TE
101 HIGH ST
BRISTOL, RI 02809

VANDEVENTER, BRENDAN P &
MONICA R TE
202 HOPE ST
BRISTOL, RI 02809

WROBLEWSKI, ALAN F & LORI
LORING WROBLEWSKI TRUST
24 BURTON ST
BRISTOL, RI 02809

YOUNG, CHRISTOPHER M &
LAUREN R TE
PO BOX 215
BARTON, VT 05822



Town of Bristol, Rhode Island
Zoning Board of Review

10 Court Street
Bristol, RI 02809
401-253-7000
www.bristolri.gov

File #2024-02

PUBLIC HEARING

Notice is hereby given by the Zoning Board of Review
that a public hearing will be held on the following application:

Tuesday, January 2, 2024
at 7:00 P.M.
Bristol Town Hall
10 Court Street

APPLICANT: **Anthony and Kelli Ann Baro**
PROPERTY OWNER: **Anthony and Kelli Ann Baro**
LOCATION: **1090 Hope Street**
PLAT: **118** LOT: **58**
ZONE: **Residential R-10**

APPLICANT IS REQUESTING A **DIMENSIONAL VARIANCE**: to construct a **22.25ft. x 22.25ft. garage and approximate 12ft. x 12ft. breezeway addition** to an existing single-family dwelling with less than the required right side yard.

Edward M. Tanner,
Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol web site at <https://www.bristolri.gov/government/boards/zoning-board-of-review/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, December 28, 2023.

Town of Bristol, Rhode Island

Department of Community Development

Zoning Board of Review

TOWN OF BRISTOL
COMMUNITY DEV.

2023 DEC -8 PM 2:49



APPLICATION

File No: 2024-02

Accepted by ZEO: EMT 12/8/2023

APPLICANT	Name: Anthony Baro
	Address: 1090 Hope Street
	City: Bristol State: RI Zip: 02809
	Telephone #: (401)489-2273 Home: (401)253-3103 Work/Cell:
PROPERTY OWNER	Name: Kelli Ann Squatrito Baro
	Address: 1090 Hope Street
	City: Bristol State: RI ZIP: 02809
	Telephone #: (401)203-1471 Home: (401)253-3103 Work/Cell:

1. Location of subject property: 1090 Hope Street, Bristol, RI, 02809

Assessor's Plat(s)#: 118 Lot(s) #: 58

2. Zoning district in which property is located: R-10

3. Zoning Approval(s) required (check all that apply):

Dimensional Variance(s) Special Use Permit Use Variance

4. Which particular provisions of the Zoning Ordinance is applicable to this application?:

Dimensional Variance Section(s): Ordinance 28-111

Special Use Permit Section(s):

Use Variance Section(s):

5. In a separate written statement, please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.

6. How long have you owned the property?: 22 years

7. Present use of property: Single family dwelling

8. Is there a building on the property at present?: Yes

9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet):

Size - 46' x 28', Area -2,631 +/- sf, Height of exterior - 25'+/-

10. Proposed use of property: Single family dwelling

11. Give extent of proposed alterations:

Two car garage with attached covered breezeway and covered sitting area behind the garage.

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet):

Garage : Size - 22.25' x 22.25', Area -495 sf | Breezeway : Size - 11.75' x12.2', Area -144 sf |
 Porch : Size - 24.67' x 13.5', Area -333 sf / Height of exterior - 23.25'

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

Front lot line(s):	Required Setback: 30'	Proposed Setback: 35.1'
Left side lot line:	Required Setback: 15'	Proposed Setback: 6.0'
Right side lot line:	Required Setback: 15'	Proposed Setback: 69'+/-
Rear lot line:	Required Setback: 30'	Proposed Setback: 20.2'
Building height:	Required: 35'	Proposed: 23.25'

Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):
 Required: lot size 10,393 sf /lot coverage - 2,598 sf (25%) Proposed: 2,279 sf

13. Number of families before/after proposed alterations: 1 Before 1 After

14. Have you submitted plans for the above alterations to the Building Official? No, submitting today
 If yes, has he refused a permit? _____ If refused, on what grounds? _____

15. Are there any easements on your property?: Unknown (If yes, their location must be shown on site plan)

16. Which public utilities service the property?: Water: Yes Sewer: Yes

17. Is the property located in the Bristol Historic District or is it an individually listed property?: No

18. Is the property located in a flood zone? No If yes, which one?: _____

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: [Signature] Date: 12/8/23

Print Name: Anthony Baro

Property Owner's Signature: [Signature] Date: 12/8/23

Print Name: Kelli Ann Squatrato Baro

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: _____ Telephone #: _____

Address: _____

Subject: Application for Side Yard Variance

Dear Members of the Zoning Board,

I am writing to formally request a side yard variance for our property located at 1090 Hope Street, Bristol, RI. We are seeking a variance to build a two car garage and attached covered breezeway with back porch 6ft off of our neighbor's property line. It is of significance that we request this variance due to the unique terrain surrounding our home. Our family of four, consisting of myself, my wife, and our two adult children, have resided in this house for the past eight years. My in-laws, Mike and Gail Squatrito designed and built this house in 1973, my wife grew up in it. My children were raised coming to visit their grandparents in this house. As all can see by driving by we have been making updates around our 50 year old home, this garage and breezeway is another update we would like to move forward with.

Unique Characteristics of the Subject Land:

Our house sits on a lot with a significant slope on the left side of the property, location of the deck side. This slope, present since the house's construction by my in-laws in 1973, has limited our ability to park our five vehicles in an organized and safe manner; making it inconvenient and unsafe. The uneven terrain makes it challenging to accommodate guests' cars, often necessitating parking on Valley Drive and within the white lines of Hope Street. The existing situation is functionally unsafe for my family, guests, neighbors, and regular traffic. The situation also detracts from the aesthetics of our property and concerns us about our neighbors' visual experience.

Prior Action and Economic Gain:

I want to emphasize that our hardship is not a result of any prior actions on our part or a desire for greater financial gain. Our family has a deep connection to this property and our intention for our house is to stay in our family.

No Alteration to Surrounding Area:

Granting the requested side yard variance will not alter the general characteristics of the surrounding area or impair the intent of the town's zoning regulations and comprehensive plan. The proposed two-car garage and attached breezeway are designed to blend harmoniously with the existing structures, ensuring a cohesive appearance on Hope Street. The backyard will remain fully accessible

Least Relief Necessary:

The relief sought is the minimum necessary to address our unique hardship. The proposed placement of a two-car garage and breezeway, 6 feet off the neighbor's property line, is

essential for effectively utilizing our land given the existing slope. This design ensures the least disruption to the surrounding area. We have considered countless other options however we have an existing shed in our backyard and even more restricted set backs in the rear of the house. Taking these limitations into mind, the two car garage will accommodate our vehicles in a safe manner. Allowing the garage and breezeway to be 6 feet off the neighbor's property line would prevent the breezeway from being too narrow and dark, and would promote ease of access for our family and guests, especially in inclement weather.

More Than a Mere Inconvenience:

The hardship we face if the variance is not granted extends beyond mere inconvenience. The current setup poses safety concerns in our driveway, surrounding neighborhood, and main road. It affects the overall functionality of our property. It is imperative that we provide an efficient driveway and covered walkway for our family and guests, ensuring everyone's safety. Safety on the main road also cannot be compromised or considered an inconvenience for a variance request.

Aesthetically Pleasing Design and Privacy Considerations:

The proposed design takes into account the aesthetics of the neighborhood and provides privacy for both us and our neighbors. A privacy lattice will be installed in the sitting area behind the garage, ensuring a visually pleasing addition to our property.

In summary, we seek relief to construct a two-car garage attached by a covered breezeway and sitting area, with a 6-foot variance from our neighbor's property line. This will enable us to accommodate our vehicles safely, provide covered entrances, and utilize our lot in the most efficient manner. Said variance will also create a new sitting porch by replacing the 40 year old dilapidated deck, contributing to the overall functionality of our property.

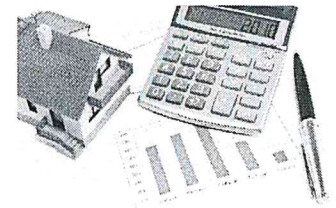
I appreciate your time and consideration of our application. I am available to attend any meetings or hearings to provide further clarification or answer any questions.

Sincerely,

Anthony Baro



Bristol, RI



Home

Search

Print

Previous

Next

Disclaimer: This information is for tax assessing purposes and is not warranted

Parcel Identification

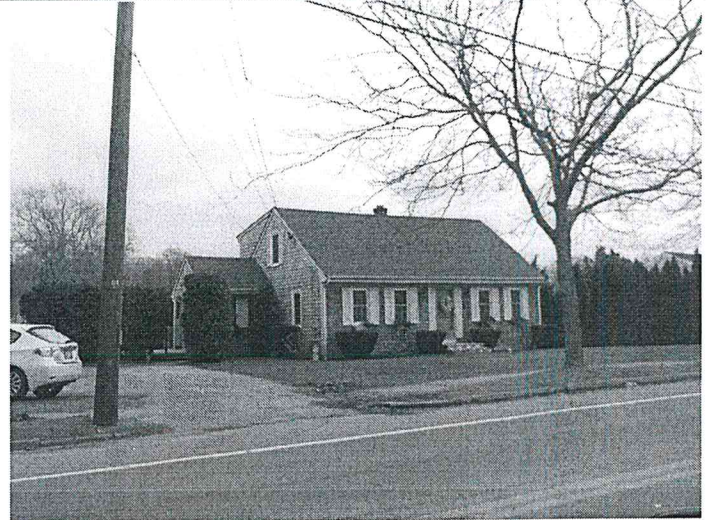
Map/Lot	118 58
Account	6118
State Code	01 - Single Fam
Card	1/1
User Account	

Assessment

Land	\$138,800
Building	\$220,400
Card Total	\$359,200
Parcel Total	\$359,200

Prior Assessments

Fiscal Year	Land Value	Building Value	Outbuilding Value	Total Value
2023	\$138,800	\$218,000	\$2,400	\$359,200
2021	\$129,000	\$165,500	\$2,400	\$296,900
2020	\$129,000	\$165,500	\$2,400	\$296,900
2019	\$129,000	\$165,500	\$2,400	\$296,900

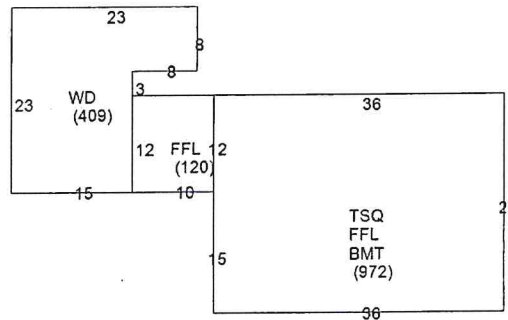


Location and Owner

Location	1090 HOPE ST
Owner	BARO, ANTHONY &
Owner2	BARO, KELLI ANN TRUSTEES
Owner3	
Address	1090 HOPE ST
Address2	
Address3	BRISTOL RI 02809

Building Information

Design	Cape
Year Built	1973
Heat	BB Hot Water
Fireplaces	0
Rooms	6
Bedrooms	3
Bathrooms	2 Full Bath
Above Grade Living Area	1,821 SF
Below Grade Finished Area	486 SF



Sale Information

Sale Date	Sale Price	Legal Reference	Instrument
04/14/2023	\$0	2208-1	Quit Claim
06/19/2015	\$51,062	1806-339	Quit Claim

Building Sub Areas

Sub Area	Net Area
1st FLOOR	1,092 SF
3/4 STORY	729 SF
BASEMENT	972 SF
FINISHED BASEMENT	486 SF
WOOD DECK	409 SF

Land Information

▶ Bristol

▶ 1090 HOPE ST

Card 1 of 1

▶ Plat/Lot 118 58

▶ Account: 6118

LUC 01

Zone R-10

▶ Assessment

\$359,200



▶ Owner

▶ Owner Account #:

Owner 1 SQUATRITO, GAIL R LIFE ESTATE

% Owned

Owner 2 BARO, KELLI ANN

0.00

Owner 3

0.00

Address 1090 HOPE ST, BRISTOL, RI 02809-0000

▶ Previous Owners & Sales Information

Grantor SQUATRITO, GAIL R. LIFE EST

Date 06/19/2015

Sale Price 51,062

Leq Ref 1806-339

NAL A

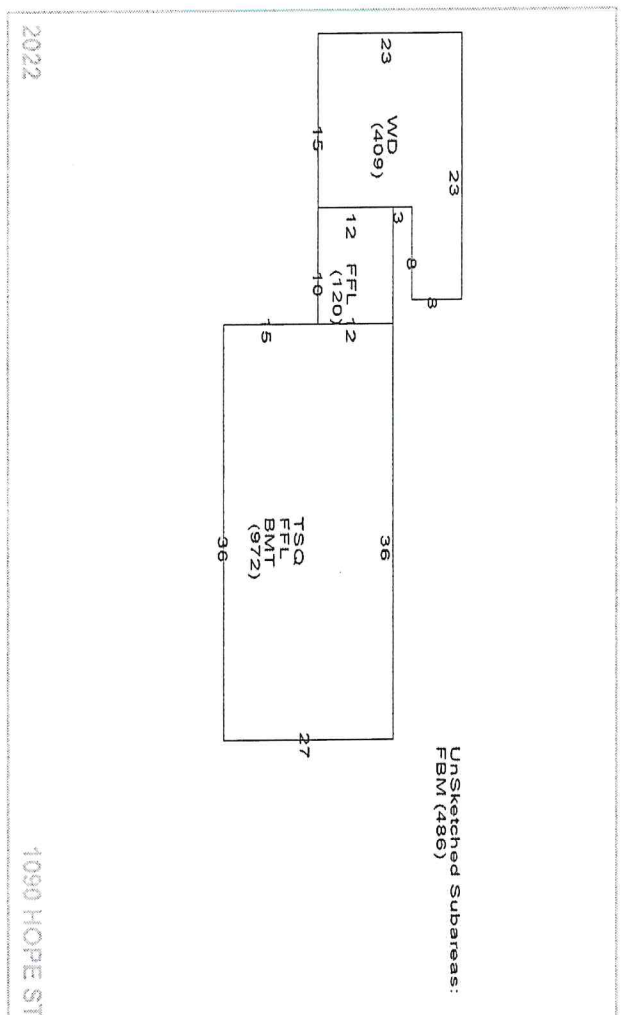
Deed Type Q

▶ Assessment

Use Code	Blgd Value	SF/YI Value	Land Size	Land Value	AG Credit	Assessed Value
01	218,000	2,400	0.24	138,800	0	359,200
TOTAL	218,000	2,400	0.24	138,800	0	359,200

▶ Previous Assessments

Year	LUC	Building	SF/YI	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2022	01	218,000	2,400	0	138,800	0	359,200	359,200
2021	01	165,500	2,400	0	129,000	0	296,900	296,900
2020	01	165,500	2,400	0	129,000	0	296,900	296,900
2019	01	165,500	2,400	0	129,000	0	296,900	296,900
2018	01	140,700	2,400	0	119,500	0	262,600	262,600
2017	01	140,700	2,400	0	119,500	0	262,600	262,600



▶ Land Information

Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh	Inf 1	Inf 1 %	Inf 2	Inf 2 %	Inf 3	Inf 3 %	Appr Value	Spec Land	Juris	Fact	Use Value
01 Single Fam	0.22957	AC	P	1.00	555,000	598,075	E	Traffic	-10					137,300		1.00	1.00	0
01 Single Fam	0.00895	AC	EX	0.20	555,000	167,598	E							1,500		1.00	1.00	0

Bristol

1090 HOPE ST

Card 1 of 1

Plat/Lot 118 58

Account: 6118

LUC 01

Zone R-10

Assessment

\$359,200



Building Information

Description	Description
BLDG Type	Cape
RES Units	COM Units
Foundation	Concrete
Frame 1	Wood
EXT Wall 1	T&G Cedar
Roof Type 1	Gable
Roof Cover 1	Asphalt Shir
INT Wall 1	Drywall
Floors 1	Carpet
BMT Garages	Plumbing
Insulation	Oil
Heat Fuel	Heat Type
# Heat Sys	% Heated
% Solar HW	% A/C
% COM Wall	% Vacuum
Ceiling HGT	Ceiling Type
Parking Type	% Sprinkled
EXT View	Quality

Grade

Grade	Q4	Q4
Year Built	1973	EFF Year
Alt LUC		Alt %

Other Factors

Flood Hazard	LEVEL
Topography	PAVED
Street	
Traffic	
Bas \$/SQ	135.00
Size Adj	1.06
Constr Adj	1.00
Adj \$/SQ	143.58
Other Feats	34,400
Grade Fac	1.00
Neigh Infl	1.00
Land Factor	1.00
Adj Total	335,421
Depreciation	117,397
Depr Total	218,024

Sub-Area Detail

Code	Description	Area	Fin. Area	Rate	Unded V
FFL	1st FLOOR	1,092	1,092	143.58	156,790
TSQ	3/4 STORY	729	729	143.58	104,670
FBM	FIN BMT	486	486	25.85	12,563
WD	WOOD DECK	409	0	14.82	6,061
BMT	BASEMENT	972	0	21.54	20,937
Total		3,688	2,307		301,021

Visit History

Date	Result	By
7/19/2021	REVIEW	MM
11/26/2018	LISTED	BT
9/28/2018	REVIEW	JH
9/10/2018	MEASURED	HS
6/18/2007	MEASURE	MP
6/18/2007	LISTED	MP

Notes

NEW ROOF 12/11 EAS

Remodeling History

Additions	Plumbing	Complex
Interior	Electric	Location
Exterior	Heating	Tot Units
Kitchen	General	FL Level
Baths(s)		# Floors
		Bldg Seq

Condo Data

Complex	Location	FL Level	# Floors	Bldg Seq
			0	1

Building Permits

Issue Date	Permit #	Closed Date	BP Type	Est. Cost	% Done	Status	Description/Directions
06/22/2021	B52402		BLDG	67,408		Closed	Strip existing siding and install new Cedar Impressions Siding to entire home.
05/08/2019	E52757		ELEC	0		Closed	1200.00,remove exterior lighting fixtures , out side GFI and meter socket, rains
09/01/2017	554-17-B	01/10/2018	BLDG	7,380		Closed	REPLACE 20 WINDOWS
09/01/2017	B29062		BLDG	0		Closed	INSTALL (20) VINYL REPLACEMENT WINDOWSNO STRUCTURAL CHANGES
06/24/2015	B25273		BLDG	0		Closed	INSTALL NEW 10' X 16' PRE FAB SHED
06/23/2015	323-15-B	08/02/2015	BLDG	2,500		Closed	INSTALLING NEW 10 X 16 PRE FAB SHED
12/16/2011	B25771		BLDG	0		Closed	RESHINGLE ROOF TO CODE

Special Features & Yard Items

Use	Description	A	Y/S	Qty	Length	Width	SF Size	Quality	Condition	Year	Assessed Value
2	Shed	1	Y	1			160	4	GD	2015	2,400

Other Info.

AFDU	Priority
jrTermRental	Priority1c
	Priority2a
	Priority2b
	Priority2c
	Priority3a
	Priority3b
	Priority3c

Room Counts by Floor

Units	# Rooms	# Bedrooms	Floor Level
1	6	3	U
2			
3			
4			
Totals	1	6	3

NORTH

H O P E S T R E E T

ZONING

R-10 ZONE MIN. AREA : 10,000 S.F
 MIN. LOT WIDTH: 80'(for 1 du)
 MIN. LOT FRONTAGE : 80'
 BUILDING SETBACKS
 FRONT : 30'
 REAR : 30'
 SIDE : 15'

LEGEND

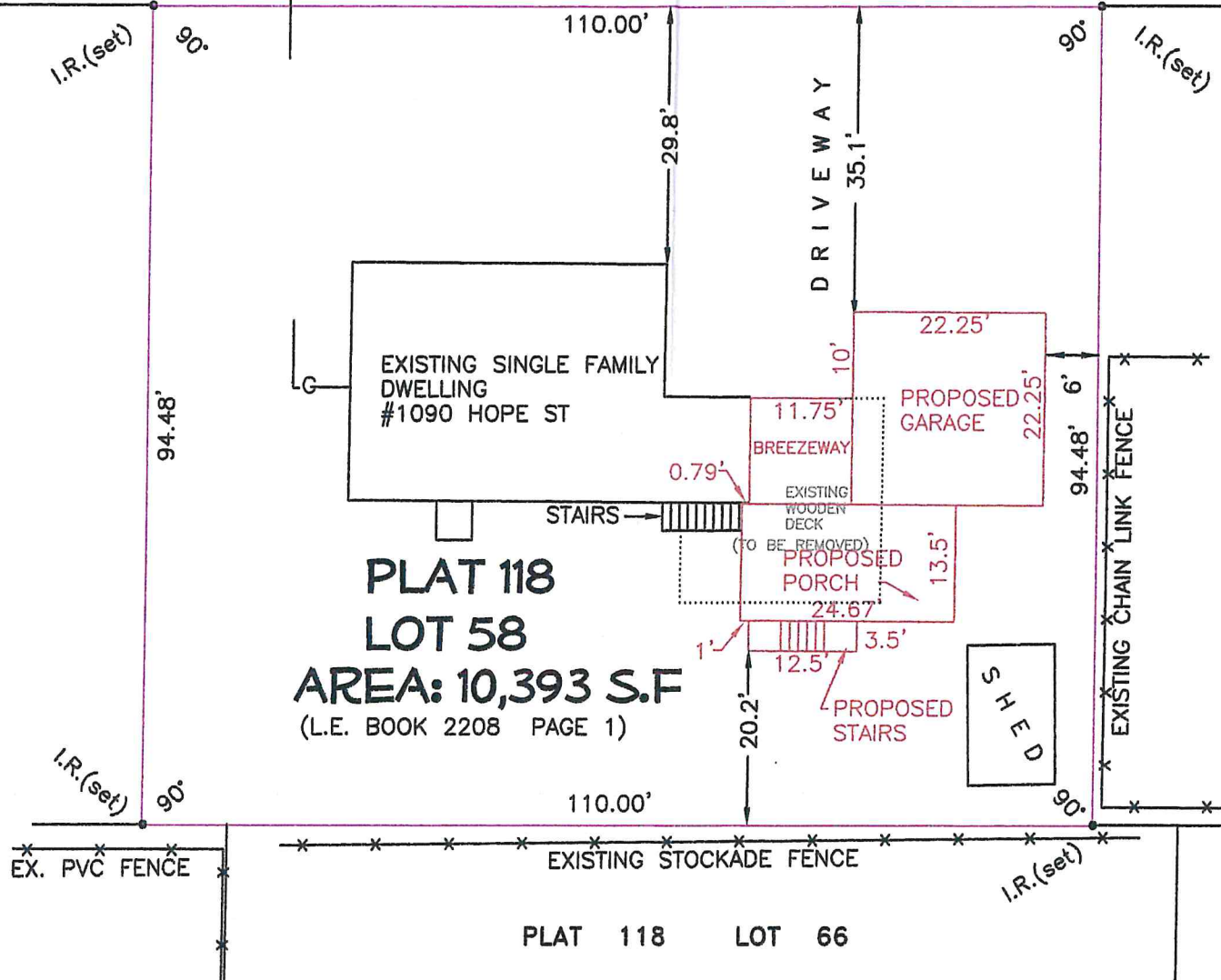
- G.B. GRANITE BOUND
- I.R. IRON ROD
- N/F NOW OR FORMERLY
- D.H. DRILL HOLE
- L.E. LAND EVIDENCE
- G- GAS LINE
- W- WATER LINE

PLAT 118 LOT 59

PLAT 118 LOT 57

PLAT REFERENCE

BEING LOT 4 ON PLAN ENTITLED "HOPE VALLEY HOMESITE"
 OWNED BY: MR. MANUEL M. CARREIRO & WIFE MARY
 SCALE 1"=50' SEPT 1959 PLAT ENVELOPE #178



**PLAT 118
 LOT 58
 AREA: 10,393 S.F**
 (L.E. BOOK 2208 PAGE 1)

NOTES

1. DIMENSIONS FROM THE HOUSE TO THE P/L ARE TO THE VINYL CORNER BOARDS.
2. TO THE BEST OF MY KNOWLEDGE THERE ARE NO WETLANDS ON THIS SITE.
3. THE LAND SHOWN IS SUBJECT TO ANY EASEMENTS, RIGHT OF WAYS, RESTRICTIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY A FULL EXAM OF TITLE.
4. THE SURVEYOR DOES NOT ACCEPT ANY LIABILITY FROM THE REFERENCED SUBDIVISION PLAN.
5. THE UTILITIES SHOWN HEREON ARE LOCATED FROM THE BEST AVAILABLE EVIDENCE & THE SURVEYOR DOES NOT GUARANTEE THE EXACT LOCATION OF ANY UNDERGRD UTILITIES SERVICING THE PROPERTY. DIG-SAFE IS TO BE NOTIFIED PRIOR TO ANY EXCAVATION ON SITE.

CERTIFICATION

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON **NOVEMBER 25, 2015** AS FOLLOWS:
 TYPE OF BOUNDARY SURVEY: MEASUREMENT SPECIFICATION
LIMITED CONTENT BOUNDARY SURVEY CLASS 1 STANDARD

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: TO SHOW THE PROPOSED GARAGE & PORCH WITHIN THE SURVEYED BOUNDARY LINES FOR ZONING PURPOSES.



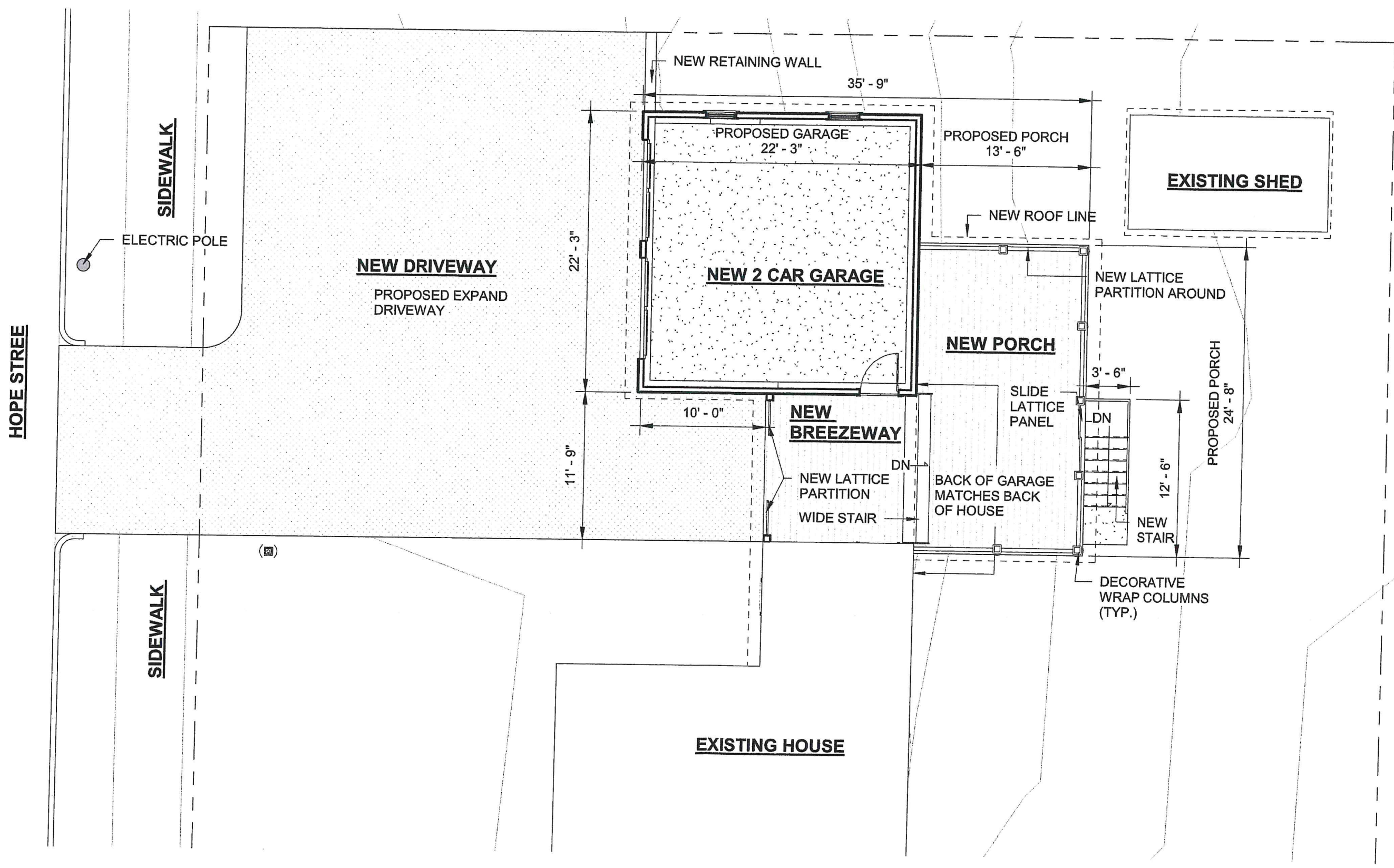
JOHN V. BARKER, JR. PLS #1885 C.O.A # LS-A302

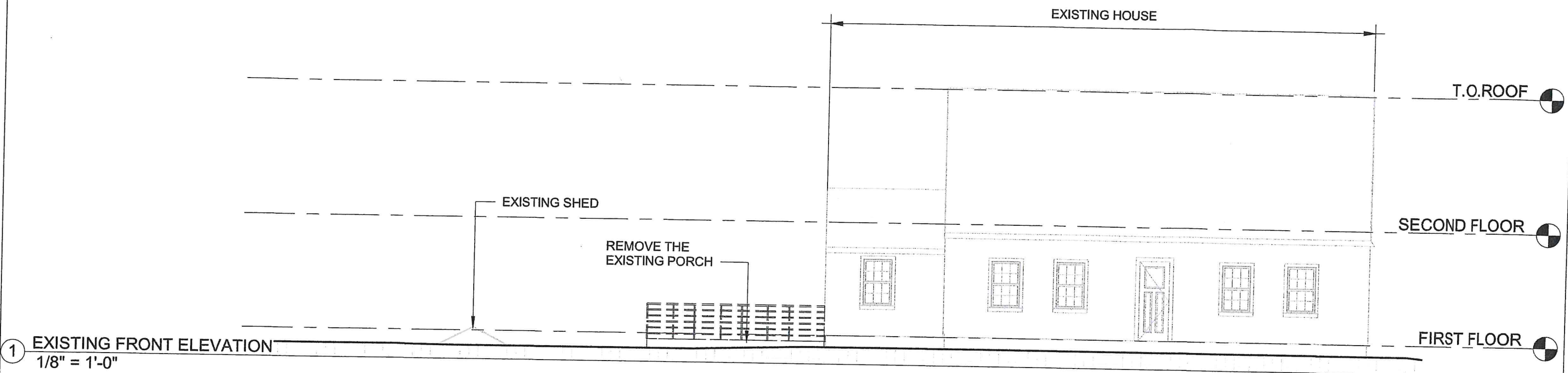
PROPOSED GARAGE & PORCH SITE PLAN FOR

ANTHONY & KELLI ANN BARO

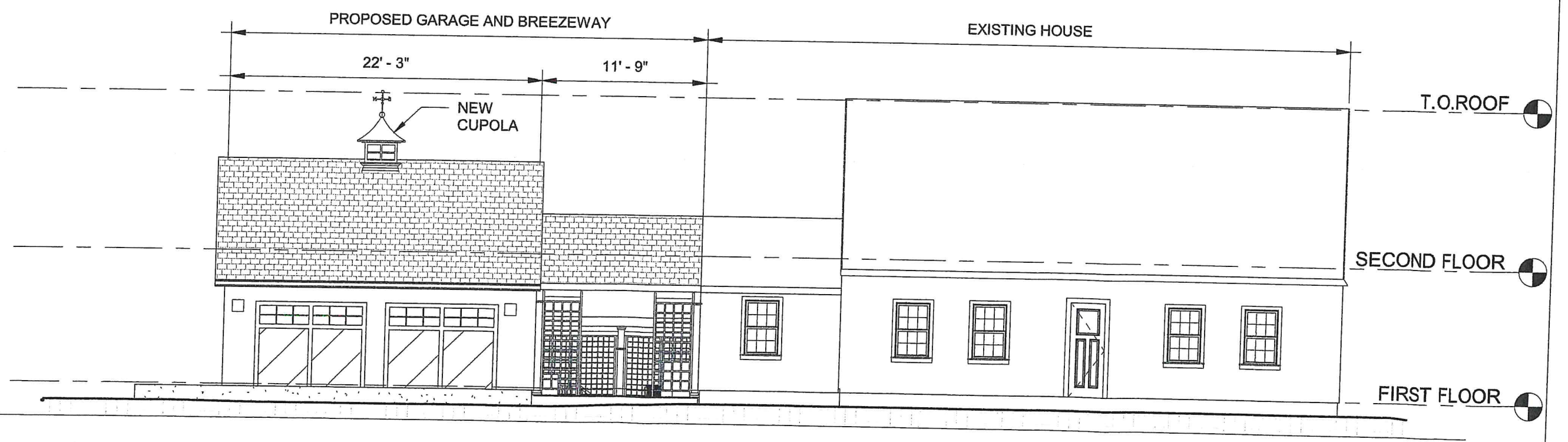
PLAT 118 LOT 58 1090 HOPE STREET BRISTOL R.I. 02809

SCALE 1"=20' DATE 12/3/2023 DWN BY: JJB DWG NO. 230607-670

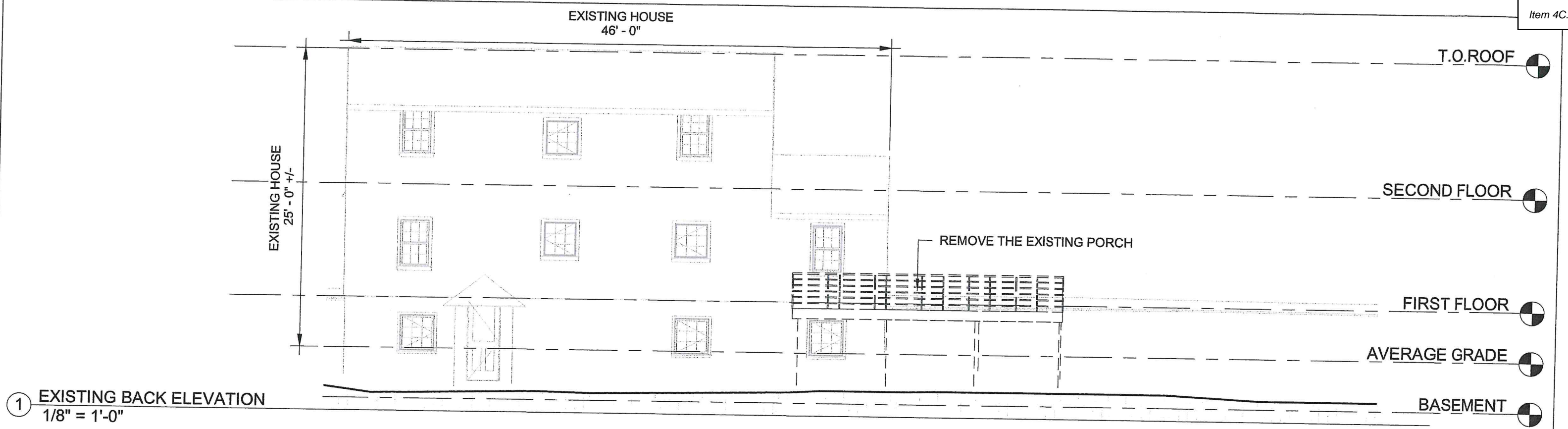




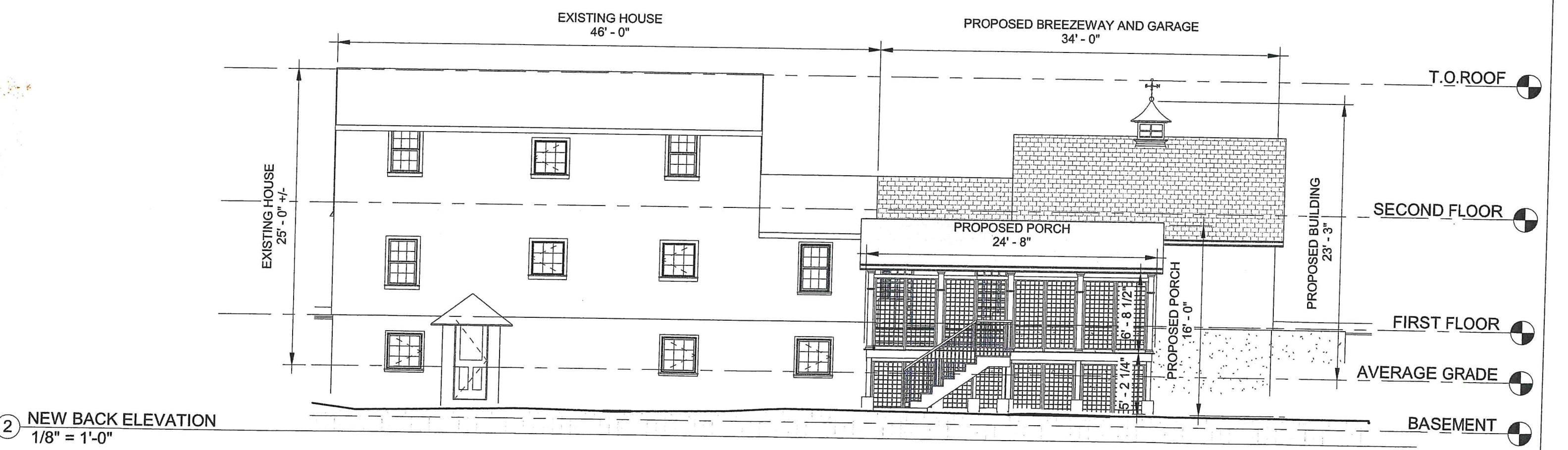
1 EXISTING FRONT ELEVATION
1/8" = 1'-0"



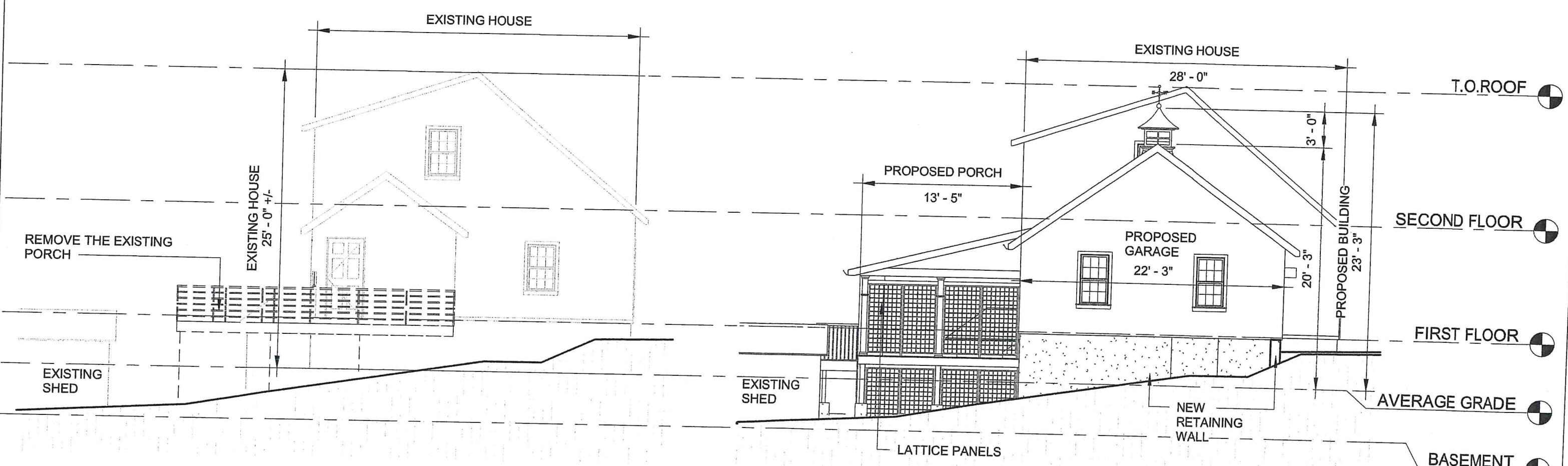
2 NEW FRONT ELEVATION
1/8" = 1'-0"



1 EXISTING BACK ELEVATION
1/8" = 1'-0"

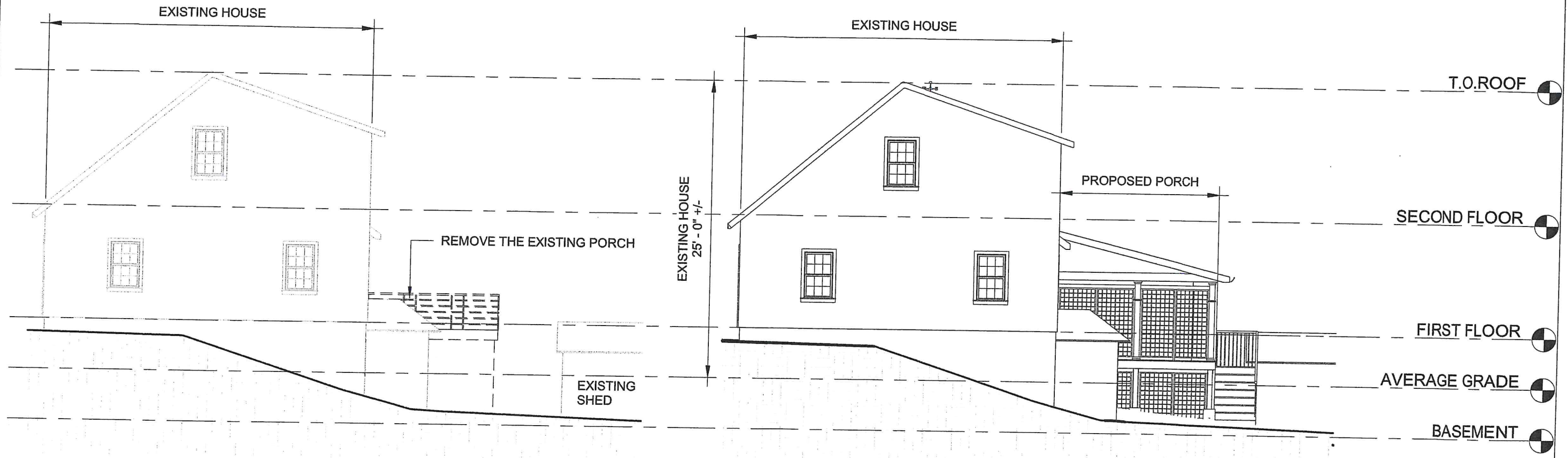


2 NEW BACK ELEVATION
1/8" = 1'-0"



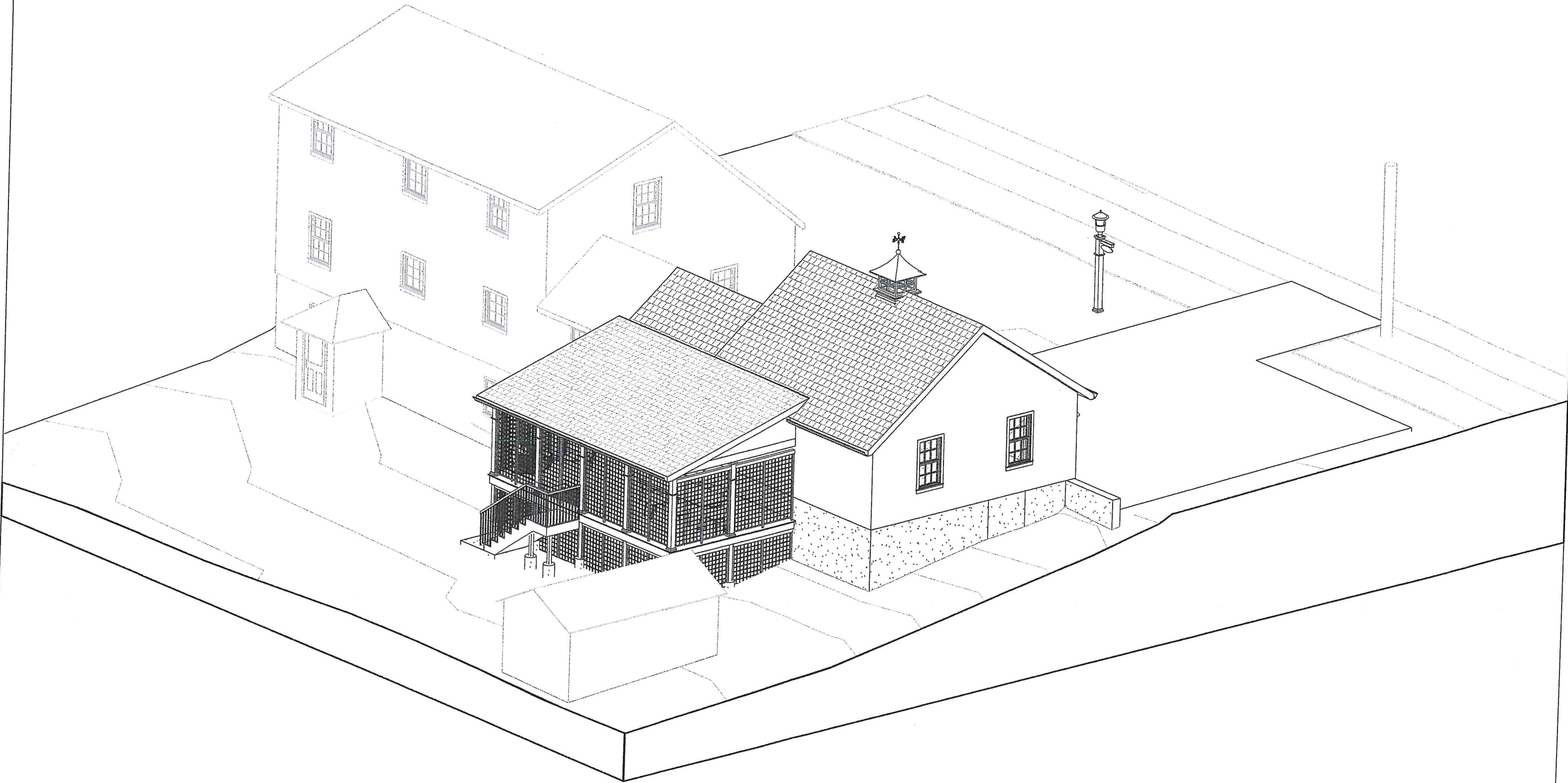
1 EXISTING NORTH ELEVATION
1/8" = 1'-0"

2 NEW NORTH ELEVATION
1/8" = 1'-0"



1 EXISTING SOUTH ELEVATION
1/8" = 1'-0"

2 NEW SOUTH ELEVATION
1/8" = 1'-0"



1 NEW PORCH AND GARAGE



1090 Hope Street - 300' Radius

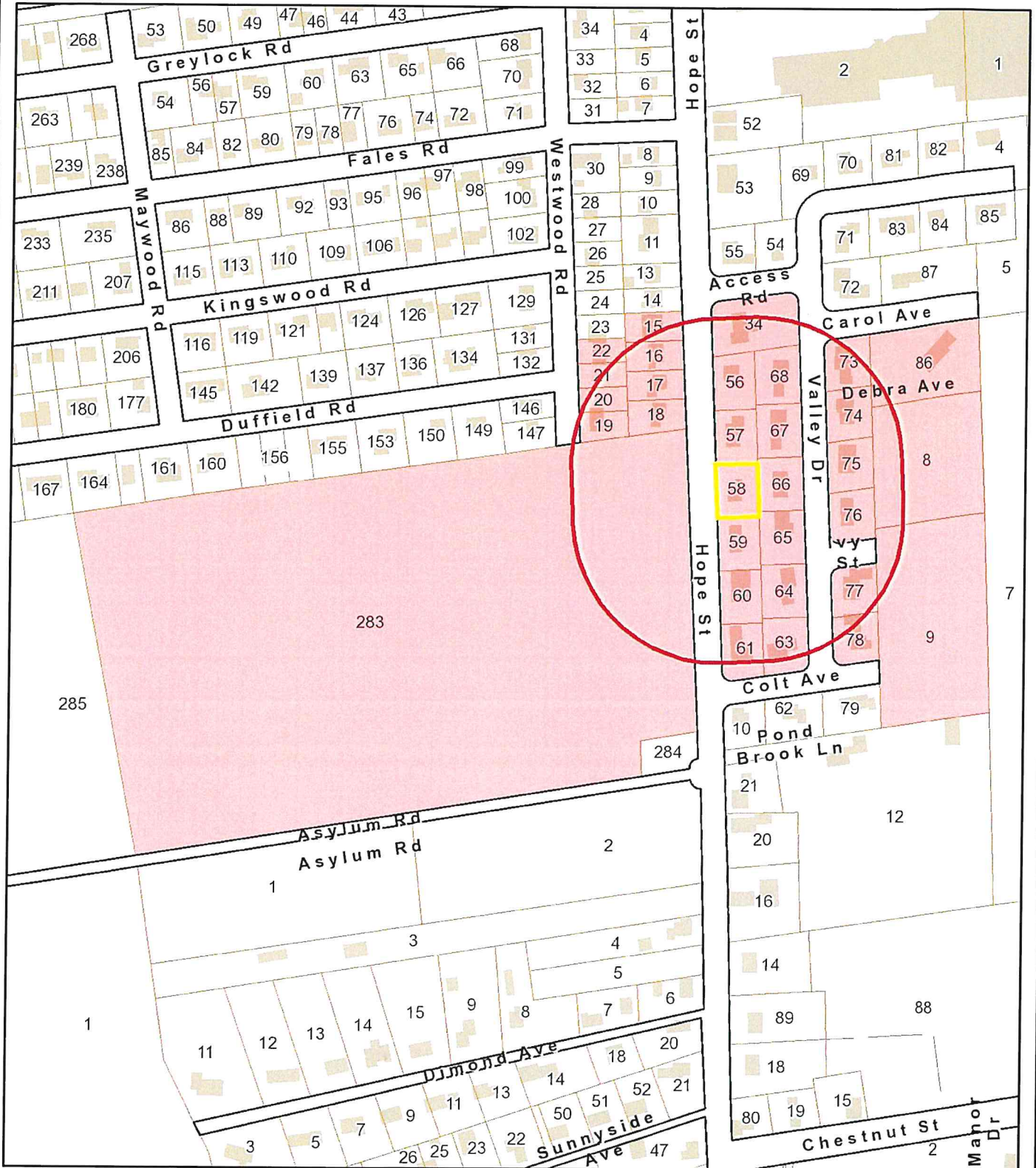
Bristol, RI



December 8, 2023

1 inch = 281 Feet

www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



300 foot Abutters List Report

Bristol, RI
December 08, 2023

Subject Property:

Parcel Number: 118-58
CAMA Number: 118-58
Property Address: 1090 HOPE ST

Mailing Address: BARO, ANTHONY & BARO, KELLI ANN
TRUSTEES
1090 HOPE ST
BRISTOL, RI 02809

Abutters:

Parcel Number: 118-34
CAMA Number: 118-34
Property Address: 1108 HOPE ST

Mailing Address: KLEITZ, DANIEL
1108 HOPE ST
BRISTOL, RI 02809

Parcel Number: 118-56
CAMA Number: 118-56
Property Address: 1104 HOPE ST

Mailing Address: BAKER, HEATHER L & PARENT,
ROBERT P JR JT
1104 HOPE ST
BRISTOL, RI 02809

Parcel Number: 118-57
CAMA Number: 118-57
Property Address: 1100 HOPE ST

Mailing Address: BUTSON, KYLE J
1100 HOPE ST
BRISTOL, RI 02809

Parcel Number: 118-58
CAMA Number: 118-58
Property Address: 1090 HOPE ST

Mailing Address: BARO, ANTHONY & BARO, KELLI ANN
TRUSTEES
1090 HOPE ST
BRISTOL, RI 02809

Parcel Number: 118-59
CAMA Number: 118-59
Property Address: 1086 HOPE ST

Mailing Address: HARVEY, HEIDI L & WALTER I TE
1086 HOPE ST
BRISTOL, RI 02809

Parcel Number: 118-60
CAMA Number: 118-60
Property Address: 1084 HOPE ST

Mailing Address: TRAVASSOS, OLIVER G MARY LE
1084 HOPE ST
BRISTOL, RI 02809

Parcel Number: 118-61
CAMA Number: 118-61
Property Address: 1080 HOPE ST

Mailing Address: BLACK, ROBERT A & MARIA I TE
1080 HOPE ST
BRISTOL, RI 02809

Parcel Number: 118-63
CAMA Number: 118-63
Property Address: 5 COLT AVE

Mailing Address: CASTRO, EDWARD & RACHEL
TRUSTEES
5 COLT AVE
BRISTOL, RI 02809

Parcel Number: 118-64
CAMA Number: 118-64
Property Address: 5 VALLEY DR

Mailing Address: RALPH NATALE JR LE NATALE,
MATTHEW B. &
5 VALLEY DR
BRISTOL, RI 02809

Parcel Number: 118-65
CAMA Number: 118-65
Property Address: 9 VALLEY DR

Mailing Address: ALVI, HAYAT
9 VALLEY DR
BRISTOL, RI 02809



www.cai-tech.com

12/8/2023

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

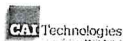
Page 1 of 3



300 foot Abutters List Report

Bristol, RI
December 08, 2023

Parcel Number: 118-66 CAMA Number: 118-66 Property Address: 15 VALLEY DR	Mailing Address: COSTA, DENISE R. TRUSTEE DENISE R. COSTA LIVING TRUST 15 VALLEY DR BRISTOL, RI 02809
Parcel Number: 118-67 CAMA Number: 118-67 Property Address: 19 VALLEY DR	Mailing Address: CAVALLARO, SHARON G 19 VALLEY DR BRISTOL, RI 02809
Parcel Number: 118-68 CAMA Number: 118-68 Property Address: 21 VALLEY DR	Mailing Address: PETERSON, ANDREW J. ET AL STACEY N. STEFANIK JT 21 VALLEY DRIVE BRISTOL, RI 02809
Parcel Number: 118-73 CAMA Number: 118-73 Property Address: 22 VALLEY DR	Mailing Address: CHASIN, MARIE 22 VALLEY DR BRISTOL, RI 02809
Parcel Number: 118-74 CAMA Number: 118-74 Property Address: 18 VALLEY DR	Mailing Address: SOUSA, ANNDEE L. ROBERT J. CO- TRUSTEES 8138 SANTA ROSA CRT SARASOTA, FL 34243
Parcel Number: 118-75 CAMA Number: 118-75 Property Address: 14 VALLEY DR	Mailing Address: FARIAS, THERESA M & BENE, REBECCA JT 14 VALLEY DR BRISTOL, RI 02809
Parcel Number: 118-76 CAMA Number: 118-76 Property Address: 10 VALLEY DR	Mailing Address: GUAN, NINGFENG & SHANG, YUN JIE JT 10 VALLEY DRIVE BRISTOL, RI 02809
Parcel Number: 118-77 CAMA Number: 118-77 Property Address: 6 VALLEY DR	Mailing Address: LEMA, JERRY A. 6 VALLEY DRIVE BRISTOL, RI 02809
Parcel Number: 118-78 CAMA Number: 118-78 Property Address: 2 VALLEY DR	Mailing Address: SQUATRITO, JOSEPH M. 2 VALLEY DR BRISTOL, RI 02809
Parcel Number: 118-8 CAMA Number: 118-8 Property Address: IVY LN	Mailing Address: TOWN OF BRISTOL 10 COURT ST BRISTOL, RI 02809
Parcel Number: 118-86 CAMA Number: 118-86 Property Address: 5 DEBRA AVE	Mailing Address: SOUSA, LORRAINE M. 5 DEBRA AVE BRISTOL, RI 02809
Parcel Number: 118-9 CAMA Number: 118-9 Property Address: IVY LN	Mailing Address: WASKIEWICZ, MADLYN M. POND BROOK LN BRISTOL, RI 02809



www.cai-tech.com

12/8/2023

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 2 of 3



300 foot Abutters List Report

Bristol, RI
December 08, 2023

Parcel Number: 80-15 CAMA Number: 80-15 Property Address: 1107 HOPE ST	Mailing Address: BUCKETT, BROOKE LORENA 1107 HOPE ST BRISTOL, RI 02809
Parcel Number: 80-16 CAMA Number: 80-16 Property Address: 1105 HOPE ST	Mailing Address: IACOVELLI, MARIANNE 1105 HOPE STREET BRISTOL, RI 02809
Parcel Number: 80-17 CAMA Number: 80-17 Property Address: 1103 HOPE ST	Mailing Address: TRUVER, BARBARA J. 1103 HOPE ST BRISTOL, RI 02809
Parcel Number: 80-18 CAMA Number: 80-18 Property Address: 1101 HOPE ST	Mailing Address: HALABURDA, JOHN D 1101 HOPE ST BRISTOL, RI 02809
Parcel Number: 80-19 CAMA Number: 80-19 Property Address: WESTWOOD RD	Mailing Address: WILSON, STEPHEN G & ANGELA M 4 WESTWOOD RD BRISTOL, RI 02809-1604
Parcel Number: 80-20 CAMA Number: 80-20 Property Address: 4 WESTWOOD RD	Mailing Address: WILSON, STEPHEN G & ANGELA M 4 WESTWOOD RD BRISTOL, RI 02809-1604
Parcel Number: 80-21 CAMA Number: 80-21 Property Address: WESTWOOD RD	Mailing Address: LOPES, DEBRA A. LE REM-LOPES, CARLOS A. JR & KAT 12 WESTWOOD RD BRISTOL, RI 02809
Parcel Number: 80-22 CAMA Number: 80-22 Property Address: WESTWOOD RD	Mailing Address: LOPES, DEBRA A. LE REM-LOPES, CARLOS A. JR & KAT 12 WESTWOOD RD BRISTOL, RI 02809
Parcel Number: 80-283 CAMA Number: 80-283 Property Address: 1081 HOPE ST	Mailing Address: NORTH BURIAL GROUND TOWN OF BRISTOL 1081 HOPE ST BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

12/8/2023

Page 3 of 3

ALVI, HAYAT
9 VALLEY DR
BRISTOL, RI 02809

FARIAS, THERESA M &
BENE, REBECCA JT
14 VALLEY DR
BRISTOL, RI 02809

RALPH NATALE JR LE
NATALE, MATTHEW B. &
5 VALLEY DR
BRISTOL, RI 02809

BAKER, HEATHER L &
PARENT, ROBERT P JR JT
1104 HOPE ST
BRISTOL, RI 02809

GUAN, NINGFENG &
SHANG, YUN JIE JT
10 VALLEY DRIVE
BRISTOL, RI 02809

SOUSA, ANNDEE L.
ROBERT J. CO-TRUSTEES
8138 SANTA ROSA CRT
SARASOTA, FL 34243

BARO, ANTHONY &
BARO, KELLI ANN TRUSTEES
1090 HOPE ST
BRISTOL, RI 02809

HALABURDA, JOHN D
1101 HOPE ST
BRISTOL, RI 02809

SOUSA, LORRAINE M.
5 DEBRA AVE
BRISTOL, RI 02809

BLACK, ROBERT A &
MARIA I TE
1080 HOPE ST
BRISTOL, RI 02809

HARVEY, HEIDI L &
WALTER I TE
1086 HOPE ST
BRISTOL, RI 02809

SQUATRITO, JOSEPH M.
2 VALLEY DR
BRISTOL, RI 02809

BUCKETT, BROOKE LORENA
1107 HOPE ST
BRISTOL, RI 02809

IACOVELLI, MARIANNE
1105 HOPE STREET
BRISTOL, RI 02809

TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

BUTSON, KYLE J
1100 HOPE ST
BRISTOL, RI 02809

KLEITZ, DANIEL
1108 HOPE ST
BRISTOL, RI 02809

TRAVASSOS, OLIVER G
MARY LE
1084 HOPE ST
BRISTOL, RI 02809

CASTRO, EDWARD &
RACHEL TRUSTEES
5 COLT AVE
BRISTOL, RI 02809

LEMA, JERRY A.
6 VALLEY DRIVE
BRISTOL, RI 02809

TRUVER, BARBARA J.
1103 HOPE ST
BRISTOL, RI 02809

CAVALLARO, SHARON G
19 VALLEY DR
BRISTOL, RI 02809

LOPES, DEBRA A. LE
REM-LOPES, CARLOS A. JR &
12 WESTWOOD RD
BRISTOL, RI 02809

WASKIEWICZ, MADLYN M.
POND BROOK LN
BRISTOL, RI 02809

CHASIN, MARIE
22 VALLEY DR
BRISTOL, RI 02809

NORTH BURIAL GROUND
TOWN OF BRISTOL
1081 HOPE ST
BRISTOL, RI 02809

WILSON, STEPHEN G & ANGEL
4 WESTWOOD RD
BRISTOL, RI 02809-1604

COSTA, DENISE R. TRUSTEE
DENISE R. COSTA LIVING TR
15 VALLEY DR
BRISTOL, RI 02809

PETERSON, ANDREW J. ET AL
STACEY N. STEFANIK JT
21 VALLEY DRIVE
BRISTOL, RI 02809



Town of Bristol, Rhode Island
Zoning Board of Review

10 Court Street
Bristol, RI 02809
401-253-7000
www.bristolri.gov

File #2024-03

PUBLIC HEARING

Notice is hereby given by the Zoning Board of Review
that a public hearing will be held on the following application:

Tuesday, January 2, 2024
at 7:00 P.M.
Bristol Town Hall
10 Court Street

APPLICANT: **Jonathan and Miranda Trahan**
PROPERTY OWNER: **Jonathan and Miranda Trahan**
LOCATION: **454 Poppasquash Road**
PLAT: 174 LOT: 74
ZONE: **Residential R-80**

APPLICANT IS REQUESTING A DIMENSIONAL VARIANCE: to construct a new single-family dwelling with less than the required left side yard.

Edward M. Tanner,
Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol web site at <https://www.bristolri.gov/government/boards/zoning-board-of-review/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, December 28, 2023.



Town of Bristol, Rhode Island

TOWN OF BRISTOL
COMMUNITY DEV.

Department of Community Development
Zoning Board of Review

REC 12 AM 11:19

APPLICATION

File No: 2024-03

Accepted by ZEO: ENT 12/12/2023

APPLICANT	Name: Jonathan Trahan		
	Address: 54 Pheasant Landing Road		
	City: Needham	State: MA	Zip: 02492
	Phone #: 781-400-5069	Email: jtrahan18@comcast.net	
PROPERTY OWNER	Name: Same		
	Address:		
	City:	State:	Zip:
	Phone #:	Email:	

1. Location of subject property: 454 Poppasquash Road, Bristol, RI 02809

Assessor's Plat(s)#: 174 Lot(s) #: 0074-000

2. Zoning district in which property is located: R-80

3. Zoning Approval(s) required (check all that apply):

Dimensional Variance(s) Special Use Permit Use Variance

4. Which particular provisions of the Zoning Ordinance is applicable to this application?:

Dimensional Variance Section(s): Left side yard

Special Use Permit Section(s): _____

Use Variance Section(s): _____

5. In a separate written statement, please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.

6. How long have you owned the property?: Two and a half years

7. Present use of property: Occasional visit

8. Is there a building on the property at present?: No

9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet): _____

Lot is vacant and undeveloped with no buildings

10. Proposed use of property: Single family residence

11. Give extent of proposed alterations: _____
 Building a single-family dwelling with garage and hardscape

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet): _____
 First Floor 2436 sqft, second floor 1862 sqft, garage 1030 sqft, building height 34.5'

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

Front lot line(s):	Required Setback: <u>40'</u>	Proposed Setback: <u>149.9'</u>
Left side lot line:	Required Setback: <u>25'</u>	Proposed Setback: <u>12.1'</u>
Right side lot line:	Required Setback: <u>25'</u>	Proposed Setback: <u>28.3'</u>
Rear lot line:	Required Setback: <u>40'</u>	Proposed Setback: _____
Building height:	Required: <u>35'</u>	Proposed: <u>34.5'</u>
Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):		
Required: _____	Proposed: _____	

13. Number of families before/after proposed alterations: 0 Before 1 After

14. Have you submitted plans for the above alterations to the Building Official? No
 If yes, has he refused a permit? _____ If refused, on what grounds? _____

15. Are there any easements on your property?: Yes (If yes, their location must be shown on site plan)

16. Which public utilities service the property?: Water: _____ Sewer: _____

17. Is the property located in the Bristol Historic District or is it an individually listed property?: No

18. Is the property located in a flood zone? No If yes, which one?: _____

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: _____ Date: 12-1-23

Print Name: Jonathan Trahan

Property Owner's Signature: _____ Date: 12-1-23

Print Name: Jonathan Trahan

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: _____ Telephone #: _____

Address: _____

Hello, I am applying for a 12' south-side set back variance against an existing 40' easement. This easement is very old and as I understand it, was originally made in order for the south portion of the Poppasquash peninsula to access the ocean for farming purposes. I have also been made aware that this easement has never been used and that my parcel of property has always maintained it.

The reasons for my proposed house location is to center the structure between the north side neighbor and the south side neighbor. In doing this, I would have to encroach on the easement's set back by 11.7', however I am hopeful that because this easement has never been used and that my property has always maintained this sliver of land that a set back against it might be a reasonable request (especially since the set back would be measured from the deck and not the house itself). In addition, as the south side neighbor's house plan or placement has not yet been determined, I am trying to maintain the best distance I can.

Thank you for your consideration of my request.

Sincerely,

Jonathan Trahan

Bristol

454 POPPASQUASH RD

Card of

Plat/Lot 174 74

Account: 9536

LUC 13

Zone R-80

Assessment

\$1,502,500



Owner

Owner Account #:

Owner 1 TRAHAN, JONATHAN & MIRANDA TE

Owner 2

Owner 3

Address 54 PHEASANT LANDING RD, NEEDHAM, MA 02492

% Owned

Previous Owners & Sales Information

Grantor

CONTENTI, JOHN

SYDLOWSKI, PAUL E. ET UX

SYDLOWSKI, PAUL E. & BARBARA M.,

OCEAN STATE OPHTHALMOLOGY INC

SYDLOWSKI, PAUL E. & BARBARA

Date

06/09/2021

04/03/2017

12/28/1998

12/28/1998

12/28/1998

Sale Price

1,540,000

985,000

0

0

0

Leq Ref

2116-327

1887-195

681-49

681-46

681-37

Deed Type

NAL

L

W

W

W

Assessment

Use Code	Bldg Value	SF/YI Value	Land Size	Land Value	AG Credit	Assessed Value
13	0	0	2.78	1,502,500	0	1,502,500
TOTAL	0	0	2.78	1,502,500	0	1,502,500

Source > Mkt Adj Cost VAL per SQ Unit/Card > VAL per SQ Unit/Parcel >

Previous Assessments

Year	LUC	Building	SF/YI	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2022	13	0	0	3	1,502,500	0	1,502,500	1,502,500
2021	13	0	0	3	1,546,700	0	1,546,700	1,546,700
2020	13	0	0	3	1,546,700	0	1,546,700	1,546,700
2019	13	0	0	3	1,546,700	0	1,546,700	1,546,700
2018	01	0	13,800	3	1,834,100	0	1,847,900	1,847,900
2017	01	1,032,000	13,800	6	1,924,300	0	2,970,100	2,970,100

2022

454 POPPASQUASH RD

Land Information

Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh	Inf 1	Inf 1 %	Inf 2	Inf 2 %	Inf 3	Inf 3 %	Appr Value	Spec Land	Juris	Fact	Use Value	
1	13	Res Vacant	P	1.00	340,000	765,838	Q	WF	150	Easement	-10			1,406,500		1.00	1.00	0	
2	13	Res Vacant	EX	0.20	340,000	101,994	Q							96,000		1.00	1.00	0	
3																			
4																			



Building Information

Description	Description
BLDG Type	Story Height
RES Units	COM Units
Foundation	BMT Floor
Frame 1	Frame 2 %
EXT Wall 1	EXT Wall 2 %
Roof Type 1	Roof Type 2 %
Roof Cover 1	Roof Cover 2 %
INT Wall 1	INT Wall 2 %
Floors 1	Floors 2 %
BMT Garages	Color
Plumbing	Electrical
Insulation	INT vs EXT
Heat Fuel	Heat Type
# Heat Sys	% Heated
% Solar HW	% A/C
% COM Wall	% Vacuum
Ceiling Hght	Ceiling Type
Parking Type	% Sprinkled
EXT View	

Other Factors

Grade	Flood Hazard	Topography	Street Traffic	Bas \$/SQ	Size Adj	Constr Adj	Adj \$/SQ	Other Feats	Grade Fac	Neigh Infl	Land Factor	Adj Total	Depreciation	Depr Total
Grade														
Year Built														
Alt LUC														
EFF Year														
Alt %														
Code														
Description														
Condition														
Functional														
Economic														
Special														
OV														
Total Depreciation % >														

Sub-Area Detail

Code	Description	Area	Fin. Area	Rate	Undeb V
Total					

Visit History

Date	Result	By
1/15/2022	SALES	VERI JL
7/28/2021	REVIEW	MM
4/9/2019	ADJ-HEARIN	JH
10/19/2018	REVIEW	JH
5/26/2015	ADJ-HEARIN	DL
7/16/2009	MEASURE	MP

Notes

LAND AREA CORRECTED 3/07 EAS.- NEW HOUSE COMPLETE 10/26/09 OLD BUILDING AREA UNDER CONSTRUCTION.- 12/09 EAS || 09-08-2021 Lot split. New lot 174-74 has 2.78 acres and the existing lot 72 now has 3.38 acres.

Remodeling History

Additions	Plumbing	Electric	Heating	General
Interior				
Exterior				
Kitchen				
Bath(s)				

Condo Data

Complex	Location	Tot Units	FL Level	# Floors	Bldg Seq

Building Permits

Issue Date	Permit #	Closed Date	BP Type	Est. Cost	% Done	Status	Description/Directions
04/02/2021	M51950		MECH	5,500		Closed	Install 1000 gallon underground propane tank and gas lines to pool house and

Special Features & Yard Items

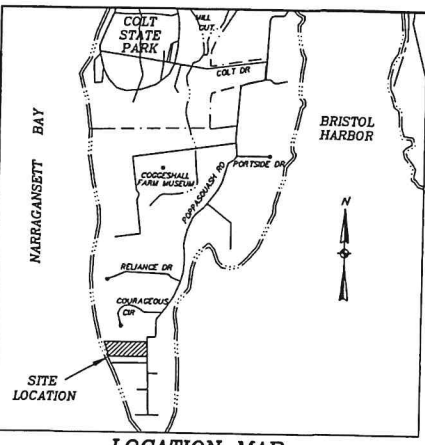
Use	Description	A	V/S	Qty	Length	Width	SF Size	Quality	Condition	Year	Assessed Value

Other Info.

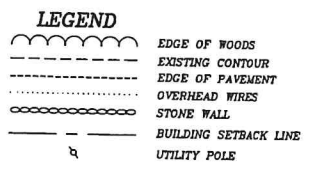
ADU	Term	Rental	PriorID1c	PriorID2a	PriorID2b	PriorID2c	PriorID3a	PriorID3b	PriorID3c

Room Counts by Floor

Units	# Rooms	# Bedrooms	Floor Level
1			
2			
3			
4			
Totals			

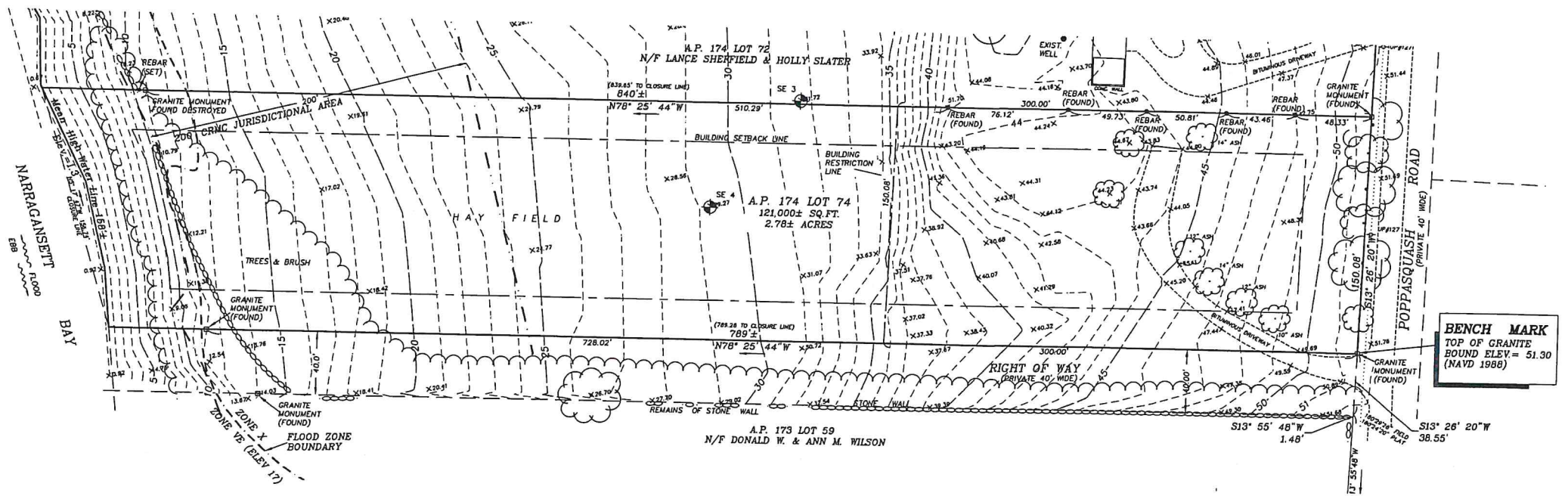


LOCATION MAP
SCALE: 1" = 2000'



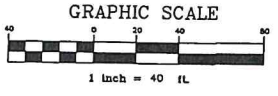
ZONING R-80
 MINIMUM LOT AREA 80,000 SQ. FT.
 MINIMUM FRONTAGE 150 FEET
 MINIMUM LOT WIDTH 150 FEET
 DIMENSIONAL REGULATIONS
 MINIMUM FRONT YARD 40 FEET
 MINIMUM SIDE YARD 25 FEET
 MINIMUM REAR YARD 40 FEET
 MAXIMUM HEIGHT OF PRINCIPAL STRUCTURE 35 FEET
 MAXIMUM HEIGHT OF ACCESSORY STRUCTURE 20 FEET
 MAXIMUM SIZE OF ACCESSORY STRUCTURE 22 FEET BY 24 FEET

NOTES
 1.) FLOOD ZONES SHOWN HEREON TAKEN FROM FIRM 4400100017H EFFECTIVE 7/7/2014
 2.) NAVD 1988 (ADJ. 2018) ELEVATIONS ESTABLISHED BY LEICA GS 16 GPS RTK OBSERVATIONS



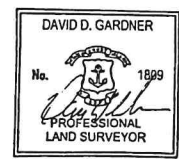
BENCH MARK
 TOP OF GRANITE
 BOUND ELEV = 51.30
 (NAVD 1988)

- REFERENCES**
- 1.) "PLAN OF SUBDIVISION IN BRISTOL, RHODE ISLAND FOR CASE FARM ESTATES PREPARED BY STANLEY ENGINEERING, INC. SCALE 1"=100' MARCH, 1984"
 - 2.) "PROPERTY ON PAPPPOSE SQUAW NECK BRISTOL, R.I. BY FRANK E. WATERMAN CO. NOVEMBER, 1924 SCALE 160FT TO AN INCH" SEE PLAT BOOK B PAGE 18
 - 3.) "PLAN OF SUBDIVISION OF PROPERTY ON POPASQUASH POINT (ALSO KNOWN AS PAPPPOSE SQUAW NECK) IN BRISTOL, R.I. SCALE 1"=200 FT. BEING A FURTHER SUBDIVISION OF THAT PLAT RECORDED DEC. 23, 1924 IN PLAT BOOK B AT PAGE 18 AND ENTITLED "PROPERTY ON PAPPPOSE SQUAW NECK BRISTOL, R.I." BY FRANK E. WATERMAN, NOV. 1924 AS REPLATED JULY 1929
 - 4.) "FINAL MAJOR SUBDIVISION RECORD PLAN CHANNEL VIEW PLAT IN BRISTOL, RHODE ISLAND FOR PAUL E. & BARBARA M. SYDLOWSKI A.P. 174 LOT 72 BY DAVID D. GARDNER & ASSOCIATES, INC. DATE: 2/13/17 SCALE 1"=40"



CERTIFICATION
 THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS EFFECTIVE NOVEMBER 25, 2015 AND ARE FOLLOWS:
 COMPREHENSIVE BOUNDARY SURVEY MEASUREMENT SPECIFICATION I
 DATA ACCUMULATION SURVEY MEASUREMENT SPECIFICATION III
 TOPOGRAPHIC SURVEY 7-1
 THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
 EXISTING CONDITIONS PLAN FOR PROPOSED DEVELOPMENT

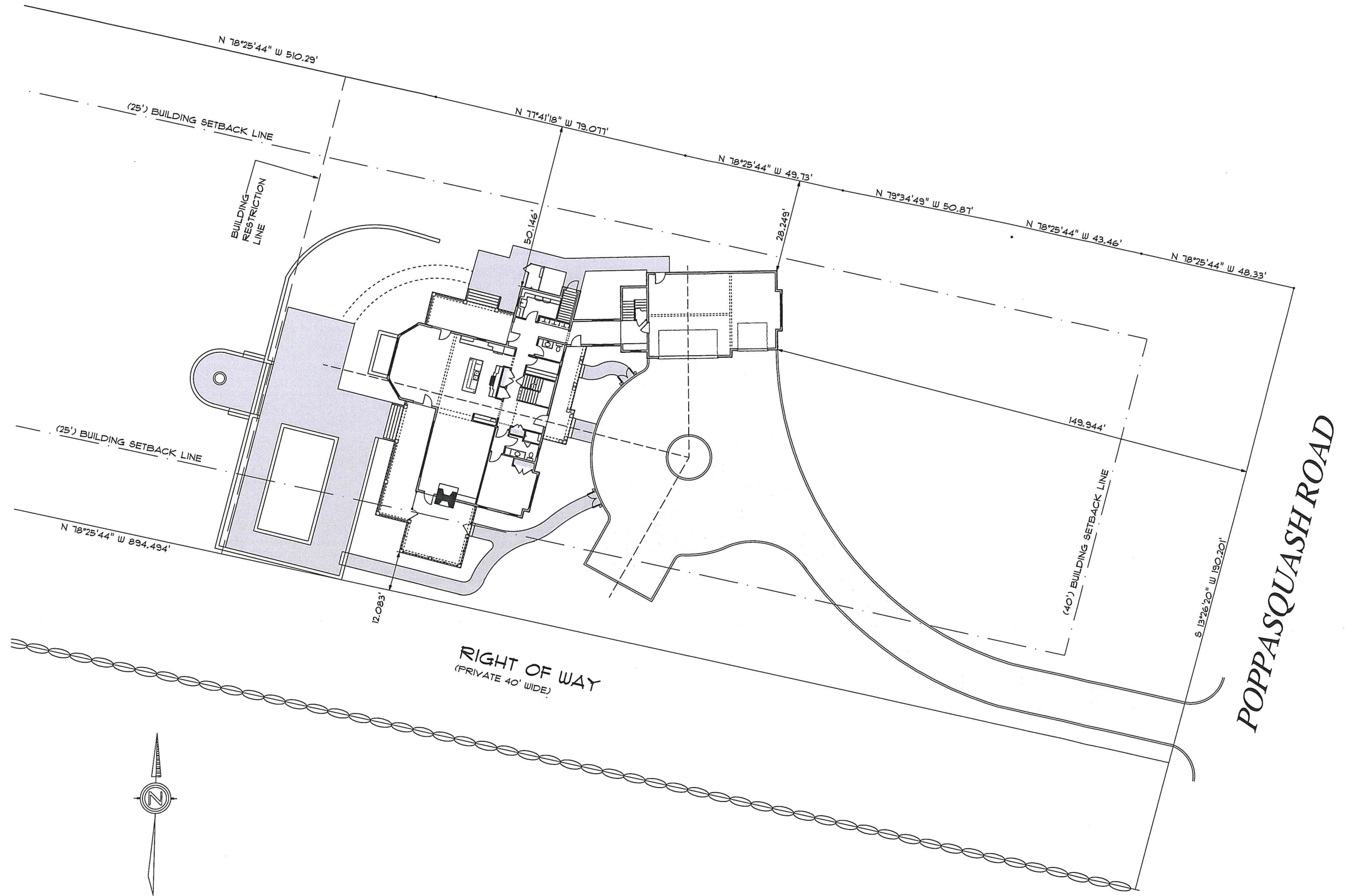
BY *David D. Gardner*
 DAVID D. GARDNER PLS LICENSE NO. 1809
 COA NO. A359



DATE	5/10/21	PROJECT NO.	21-046
SCALE	1"=40'	DRAWING NO.	
REVISIONS		DESIGNED BY	D.D.G.
		DRAWN BY	D.D.G.
		CHECKED BY	
SHEET NO.	1		
SHEET	1	OF	1

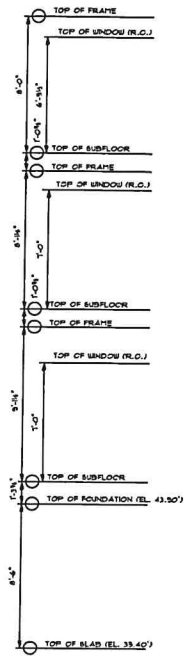
EXISTING CONDITIONS
COMPREHENSIVE BOUNDARY SURVEY
 454 POPPASQUASH ROAD
 BRISTOL, R.I.
 FOR
JOHN CONTENTI
 A.P. 174 LOT 74

DAVID D. GARDNER & ASSOCIATES, INC.
 1 HOPE COURT
 BARRINGTON, RHODE ISLAND 02806
 (401) 738-3200
 ENGINEERS • SURVEYORS • PLANNERS



NOTES:
 - VERIFY ALL EXISTING CONDITIONS AND MEASUREMENTS PRIOR TO ORDERING OF MATERIALS AND CONSTRUCTION.
 - ALL NECESSARY ENGINEERING DATA TO BE SUPPLIED BY CONTRACTOR OR OWNER.
 - ALL ENGINEERED LUMBER OR PREFABRICATED STRUCTURAL MEMBERS (I-JOISTS, ROOF TRUSSES) TO BE ENGINEERED BY MANUFACTURER.
 - ALL WINDOWS MANUFACTURED BY ANDERSEN CORPORATION (A SERIES). VERIFY ROUGH OPENING SIZES, EGRESS REQUIREMENTS AND TYPED GLASS REQUIREMENTS PRIOR TO CONSTRUCTION.

THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF CORNERSTONE DESIGN/BUILD SERVICES, INC. ALTHOUGH A LOT OF CARE HAS BEEN TAKEN IN THE PREPARATION OF THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND TO ADAPT THEM TO ANY SITE CONDITIONS. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
 THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND REQUIREMENTS NECESSARY FOR COMPLETE SUBSTITUTION ASSEMBLY AND INSTALLATION OF ALL OR NEW WORK. PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL VERIFY THE DETAILS OF THE WORK, NOT SPECIFICALLY SHOWN ON THE DRAWINGS, SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPLISHED BY HIM WITH THE INTENT OF THIS PROJECT.



EAST ELEVATION SCALE: 1/4" = 1'-0"

REVISIONS

NO.	DATE	BY	CHANGE

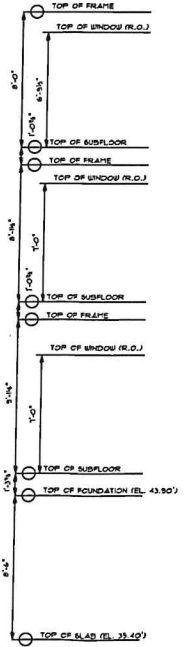
A NEW RESIDENCE FOR:
JONATHAN AND MIRANDA TRAHAN
 PROJECT LOCATION:
 454 POPPASQUASH ROAD
 BRISTOL, RHODE ISLAND

538 WALBUR AVENUE
 BUNSEA, MASSACHUSETTS 01911
 TEL - (508)475-2000
 FAX - (508)475-3400
CORNERSTONE
 DESIGN/BUILD SERVICES, INC.

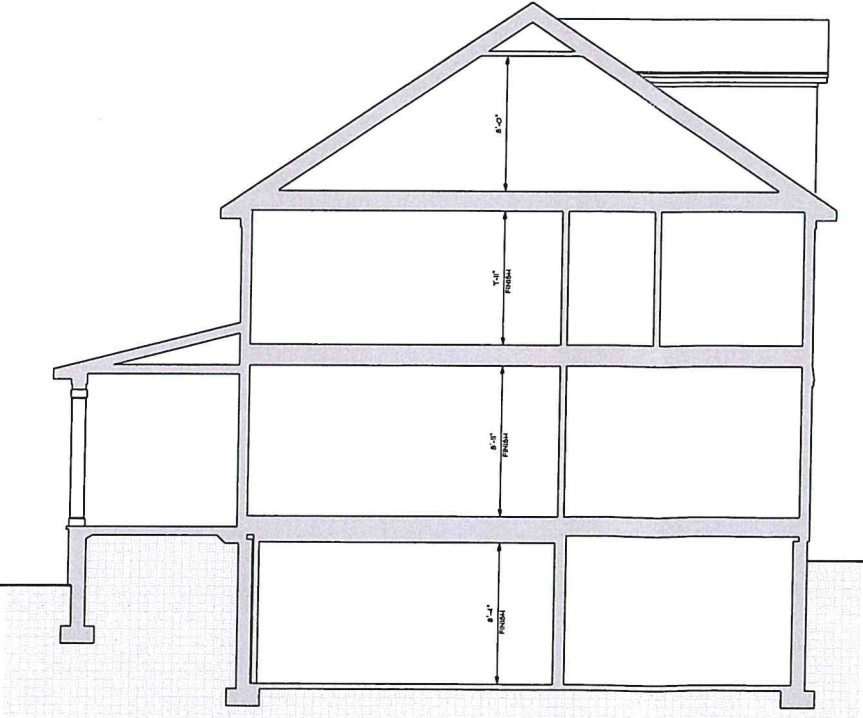
SHEET TITLE:
EXTERIOR ELEVATIONS

DRAWN BY: H. POTOCKI
 REVIEWED BY: H. POTOCKI
 CORNERSTONE PROJECT #: 33652
 DATE: 02 NOV 23
 SCALE: AS NOTED
 DRAWING NO.

A-1
 SHEET 1 OF 1



SOUTH ELEVATION SCALE: 1/4" = 1'-0"



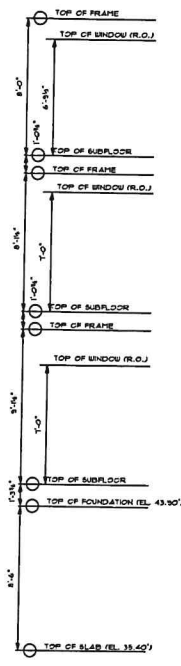
BUILDING SECTION DETAIL A-1.A SCALE: 1/4" = 1'-0"

NOTES:
 - VERIFY ALL EXISTING CONDITIONS AND MEASUREMENTS PRIOR TO ORDERING OF MATERIALS AND CONSTRUCTION.
 - ALL NECESSARY ENGINEERING DATA TO BE SUPPLIED BY CONTRACTOR OR OWNER.
 - ALL ENGINEERED LUMBER OR PREFABRICATED STRUCTURAL MEMBERS (I-JOISTS, ROOF TRUSSES) TO BE ENGINEERED BY MANUFACTURER.
 - ALL WINDOWS MANUFACTURED BY ANDERSEN CORPORATION (A SERIES) VERIFY ROUGH OPENING SIZES, EGRESA REQUIREMENTS AND TEMPERED GLASS REQUIREMENTS PRIOR TO CONSTRUCTION.

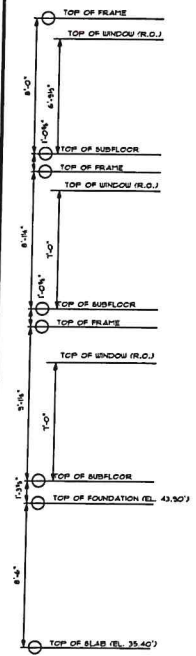
THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF CORNERSTONE DESIGN/BUILD SERVICES, INC. ALTHOUGH A LOT OF CARE HAS BEEN TAKEN IN THE PREPARATION OF THESE PLANS TO ENSURE THAT THEY ARE CORRECT, THERE IS NO RESPONSIBILITY OF CORNERSTONE DESIGN/BUILD SERVICES FOR ERRORS OR OMISSIONS AND TO ADAPT THEM TO ANY SITE CONDITIONS. UNLESS OTHERWISE ALWAYS HAVE PRECEDENCE OVER SCALED DIMENSIONS.
 THE GENERAL CONTRACTOR SHALL NOT SCALE DIMENSIONS FOR MEASUREMENTS BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF HIS OR HER WORK. FINISH DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK AND SHALL BE ACCOMPLISHED BY HIM WITH THE INTENT OF THIS PROJECT.

REVISIONS

NO.	DATE	BY	CHANGE



WEST ELEVATION SCALE: 1/4" = 1'-0"



NORTH ELEVATION SCALE: 1/4" = 1'-0"

A NEW RESIDENCE FOR:
JONATHAN AND MIRANDA TRAHAN
 PROJECT LOCATION:
 454 POPPASQUASH ROAD
 BRISTOL, RHODE ISLAND

538 ULBUR AVENUE
 SUANSEA, MASSACHUSETTS 01971
 TEL. - (508) 475-1500
 FAX - (508) 475-1500
CORNERSTONE
 DESIGN/BUILD SERVICES, INC.

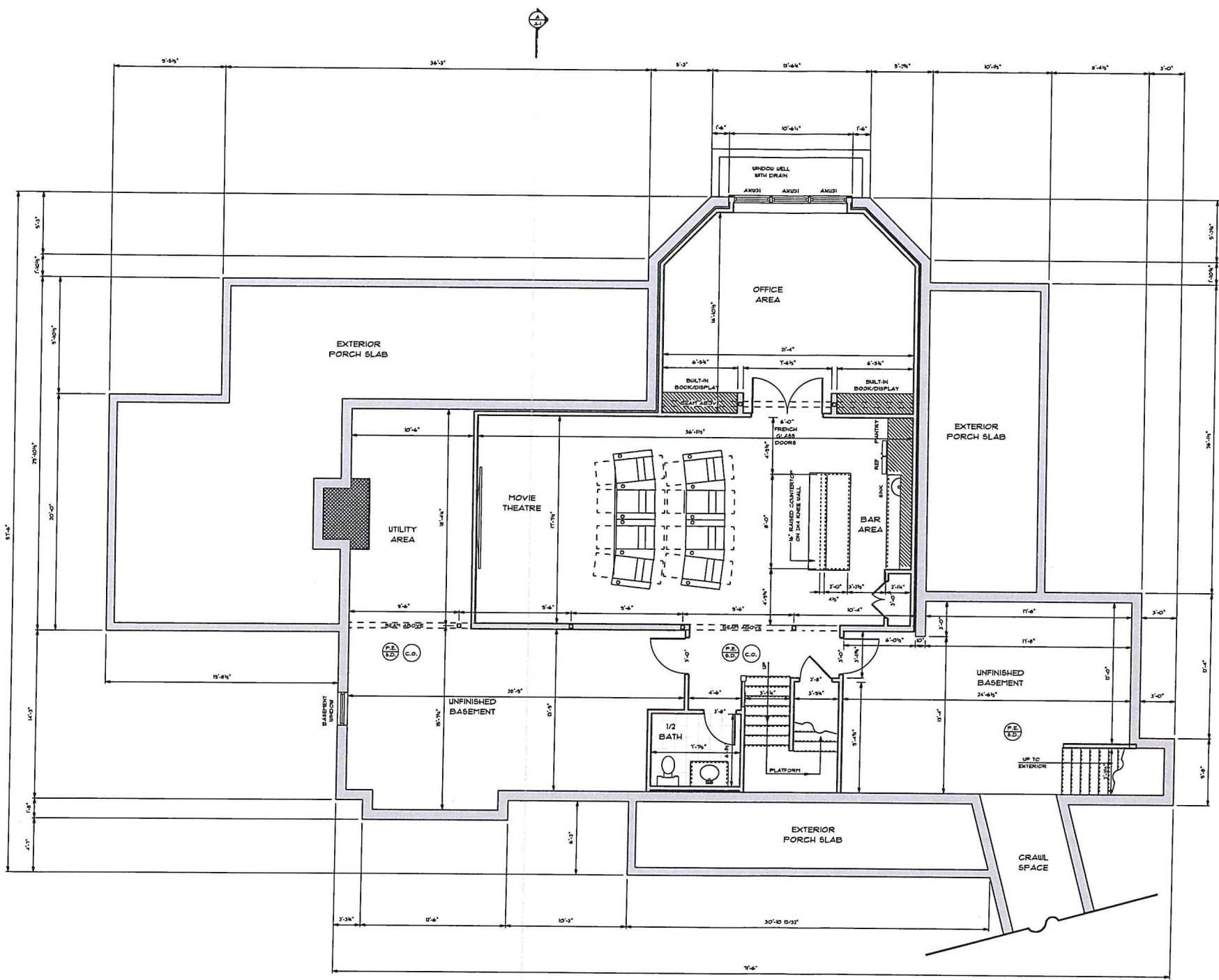
SHEET TITLE:
EXTERIOR ELEVATIONS

DRAWN BY: M. POTOCKI
 REVIEWED BY: M. POTOCKI

CORNERSTONE PROJECT #: 23652
 DATE: 02 NOV 23
 SCALE: AS NOTED

DRAWING NO.

A-2
 SHEET 2 OF



BASEMENT FLOOR PLAN SCALE: 1/4" = 1'-0"
 FINISHED AREA: 1220 SQFT (NET - WALLS NOT INCLUDED)

NOTES:

- VERIFY ALL EXISTING CONDITIONS AND MEASUREMENTS PRIOR TO ORDERING OF MATERIALS AND CONSTRUCTION.
- ALL NECESSARY ENGINEERING DATA TO BE SUPPLIED BY CONTRACTOR OR OWNER.
- ALL ENGINEERED LUMBER OR PREFABRICATED STRUCTURAL MEMBERS (I-JOISTS, ROOF TRUSSES) TO BE ENGINEERED BY MANUFACTURER.
- ALL WINDOWS MANUFACTURED BY ANDERSEN CORPORATION (A SERIES).
- VERIFY ROUGH OPENING SIZES, EGRESS REQUIREMENTS AND TEMPERED GLASS REQUIREMENTS PRIOR TO CONSTRUCTION.

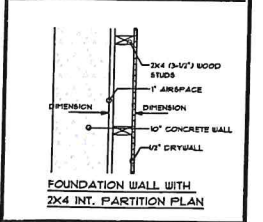
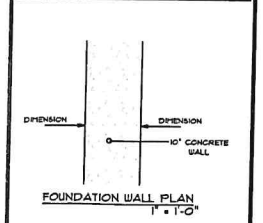
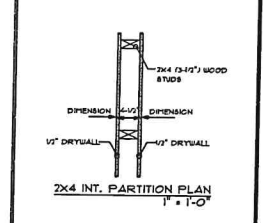
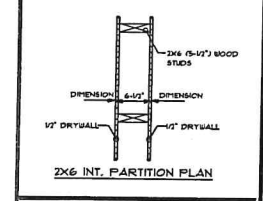
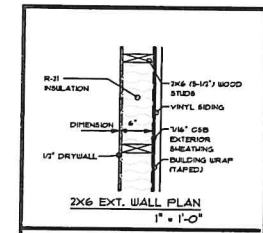
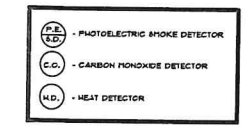
THIS PLAN IS FOR THE CONSTRUCTION OF ONE BUILDING ONLY AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF CORNERSTONE DESIGN/BUILD SERVICES, INC. ALTHOUGH A LOT OF CARE HAS BEEN TAKEN IN THE PREPARATION OF THE DRAWINGS TO ENSURE THAT THEY ARE CORRECT, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE DRAWINGS FOR ERRORS OR OMISSIONS AND TO ADAPT THEM TO ANY SITE CONDITIONS, UNLESS OTHERWISE SPECIFIED.

THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION AND INSTALLATION OF THE JOB. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT FABRICATION AND INSTALLATION OF THE WORK, NOT SPECIFICALLY SHOWN ON THE DRAWINGS, AND TO ADAPT THEM TO ANY SITE CONDITIONS, UNLESS OTHERWISE SPECIFIED.

REVISIONS			
NO.	DATE	BY	CHANGE

A NEW RESIDENCE FOR:
JONATHAN AND MIRANDA TRAHAN
 PROJECT LOCATION:
 454 POPPASQUASH ROAD
 BRISTOL, RHODE ISLAND

538 WILBUR AVENUE
 GRANBURY, MASSACHUSETTS 02711
 TEL - (508) 475-2500
 FAX - (508) 475-2600
CORNERSTONE
 DESIGN/BUILD SERVICES, INC.

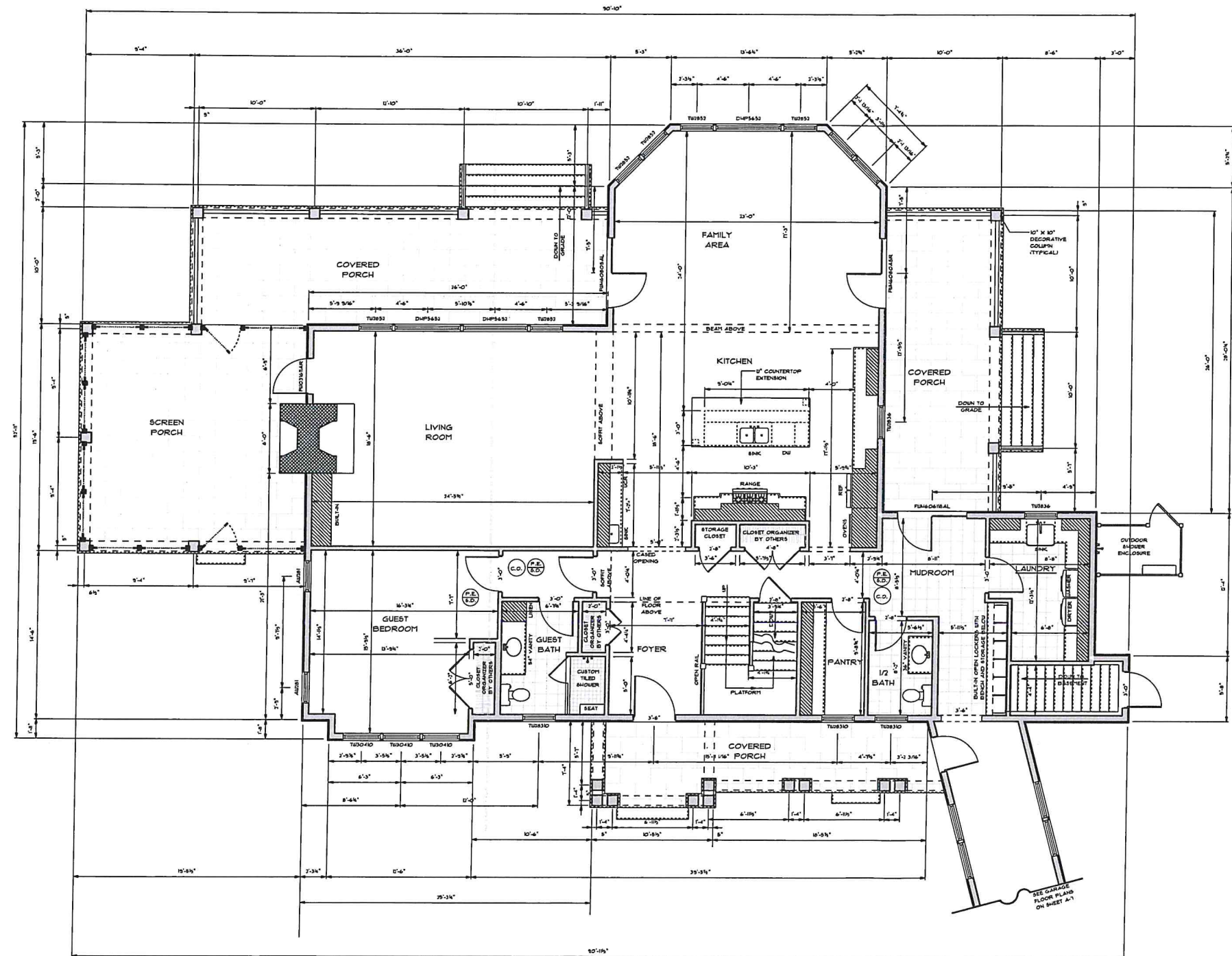


SHEET TITLE:
BASEMENT FLOOR PLAN

DRAWN BY: M. POTOCKI
 REVIEWED BY: M. POTOCKI
 STONE PROJECT #: 23653
 DATE: 23 OCT 23
 SCALE: AS NOTED
 DRAWING NO.

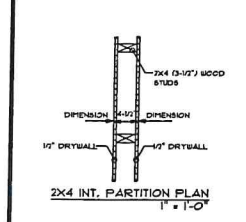
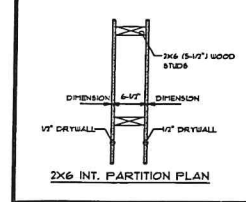
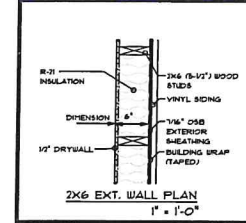
A-3
 SHEET 3 OF -

NOTES:
 THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY AND ARE NOT TO BE COPIED OR PLANT FROM WITHOUT THE DESIGNER'S SERVICES. ALTHOUGH A LOT OF CARE HAS BEEN TAKEN IN THE PREPARATION OF THESE PLANS TO ENSURE THAT THEY ARE EXACT AND CORRECT, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE DIMENSIONS FOR ERRORS OR OMISSIONS AND TO ADAPT THEM TO ANY SITE CONDITIONS. WRITTEN DIMENSIONS ALWAYS HAVE PRECEDENCE OVER SCALED DIMENSIONS.
 THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR DIMENSIONS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF MB OR HER WORK. PRIOR DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE APPROVED AND BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPANIED BY THE GENERAL CONTRACTOR WITH THE INTENT OF THIS PROJECT.
 - VERIFY ALL EXISTING CONDITIONS AND MEASUREMENTS PRIOR TO ORDERING OF MATERIALS AND CONSTRUCTION.
 - ALL NECESSARY ENGINEERING DATA TO BE SUPPLIED BY CONTRACTOR OR OWNER.
 - ALL ENGINEERED LUMBER OR PREFABRICATED STRUCTURAL MEMBERS (JOISTS, ROOF TRUSSES) TO BE ENGINEERED BY MANUFACTURER.
 - ALL WINDOWS MANUFACTURED BY ANDERSEN CORPORATION (A SERIES). VERIFY ROUGH OPENING SIZES, EGRESS REQUIREMENTS AND TEMPERED GLASS REQUIREMENTS PRIOR TO CONSTRUCTION.



FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"
 FINISHED AREA: 2436 SQFT PLUS MUDROOM AND GARAGE

- PHOTOELECTRIC SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- HEAT DETECTOR



REVISIONS			
NO.	DATE	BY	CHANGE

A NEW RESIDENCE FOR:
JONATHAN AND MIRANDA TRAHAN
 PROJECT LOCATION:
 454 POPPAGUASH ROAD
 BRISTOL, RHODE ISLAND

338 SALVUR AVENUE
 BARNSTABLE, MASSACHUSETTS 02718
 TEL. - (508)475-3600
 FAX - (508)475-3600
CORNERSTONE
 DESIGN/BUILD SERVICES, INC.

SHEET TITLE:
FIRST FLOOR PLAN

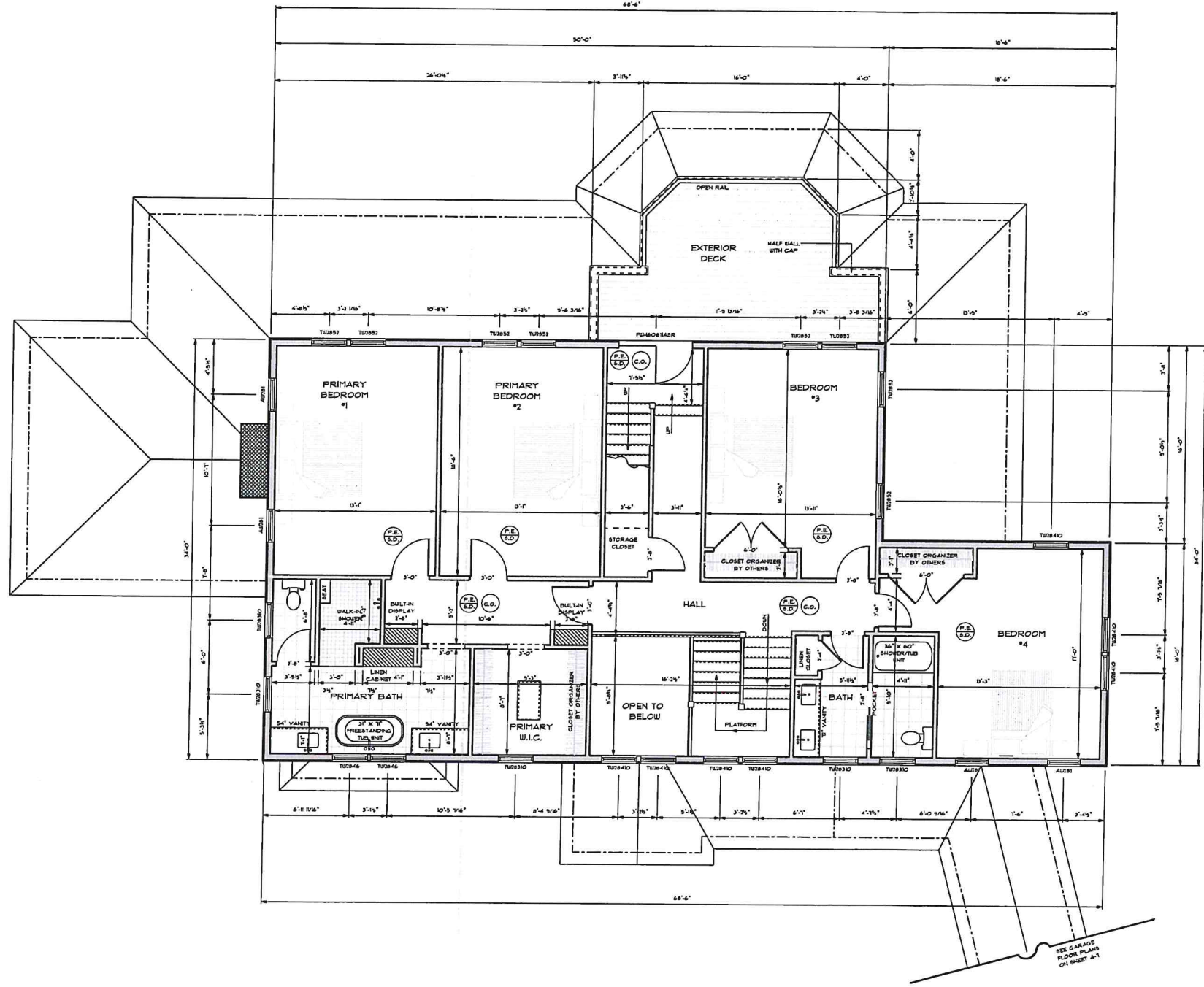
DRAWN BY: M. POTOCKI
 REVIEWED BY: M. POTOCKI
 STONE PROJECT #: 23452
 DATE: 02 NOV 23
 SCALE: AS NOTED

DRAWING NO.
A-4
 SHEET 4 OF -

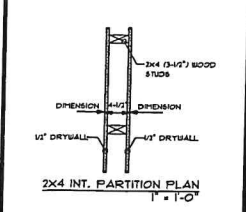
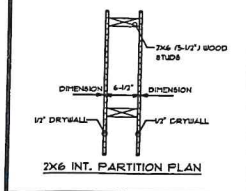
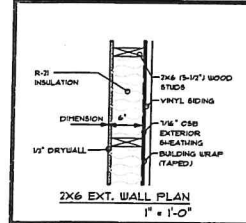
NOTES:
 - VERIFY ALL EXISTING CONDITIONS AND MEASUREMENTS PRIOR TO ORDERING OF MATERIALS AND CONSTRUCTION.
 - ALL NECESSARY ENGINEERING DATA TO BE SUPPLIED BY CONTRACTOR OR OWNER.
 - ALL ENGINEERED LUMBER OR PREFABRICATED STRUCTURAL MEMBERS (JOISTS, ROOF TRUSSES) TO BE ENGINEERED BY MANUFACTURER.
 - ALL WINDOWS MANUFACTURED BY ANDERSEN CORPORATION (A SERIES).
 - VERIFY ROUGH OPENING SIZES, EGRES REQUIREMENTS AND TEMPERED GLASS REQUIREMENTS PRIOR TO CONSTRUCTION.

THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY AND NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF CORNERSTONE DESIGN/BUILD SERVICES, INC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING THE DIMENSIONS OF THE DRAWINGS TO ENSURE THAT THEY ARE CORRECT AND TO ADAPT THEM TO ANY SITE CONDITIONS. WRITTEN DIMENSIONS ALWAYS HAVE PRECEDENCE OVER SCALED DIMENSIONS.
 THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF ALL WORK SHOWN. FROM DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ACCORDING TO THE CONTRACTOR AT THE SITE OF THE WORK AND SHALL BE ACCOMPLISHED AT HIS OWN RISK AND WITHOUT THE NEED OF THIS PROJECT.

REVISIONS			
NO.	DATE	BY	CHANGE



- (P.E.D.) - PHOTOELECTRIC SMOKE DETECTOR
- (C.D.) - CARBON MONOXIDE DETECTOR
- (H.D.) - HEAT DETECTOR



SECOND FLOOR PLAN SCALE: 1/4" = 1'-0"
 FINISHED AREA: 1862 SQFT



A NEW RESIDENCE FOR:
JONATHAN AND MIRANDA TRAHAN
 PROJECT LOCATION:
 454 POPPASQUASH ROAD
 BRISTOL, RHODE ISLAND

538 ULRICH AVENUE
 QUINCY, MASSACHUSETTS 01913
 TEL. - (508) 675-2500
 FAX - (508) 675-2600
CORNERSTONE
 DESIGN/BUILD SERVICES, INC.

SHEET TITLE:
SECOND FLOOR PLAN

DRAWN BY: M. POTOCKI
 REVIEWED BY: M. POTOCKI
 CORNERSTONE PROJECT #: 23652
 DATE: 02 NOV 23
 SCALE: AS NOTED
 DRAWING NO.

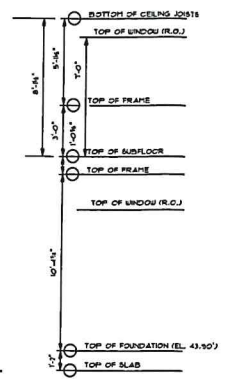
A-5
 SHEET 5 OF 5

NOTES:
 - VERIFY ALL EXISTING CONDITIONS AND MEASUREMENTS PRIOR TO ORDERING OF MATERIALS AND CONSTRUCTION.
 - ALL NECESSARY ENGINEERING DATA TO BE SUPPLIED BY CONTRACTOR OR OWNER.
 - ALL ENGINEERED LUMBER OR PREFABRICATED STRUCTURAL MEMBERS (I-JOISTS, ROOF TRUSSES) TO BE ENGINEERED BY MANUFACTURER.
 - ALL WINDOWS MANUFACTURED BY ANDERSON CORPORATION (A SERIES) VERIFY WINDOW SIZES, EGRESS REQUIREMENTS AND TEMPERED GLASS REQUIREMENTS PRIOR TO CONSTRUCTION.

THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY AND ARE NOT TO BE COPIED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN PERMISSION OF CORNERSTONE DESIGN/BUILD SERVICES, INC. A LOT OF CARE HAS GONE INTO THE PREPARATION OF THE DRAWINGS TO ENSURE THAT THEY ARE CORRECT. PLEASE IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE DRAWINGS FOR ERRORS OR OMISSIONS AND TO ADAPT THEM TO ANY SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND REQUIREMENTS NECESSARY FOR COMPLETE FABRICATION AND INSTALLATION OF ALL NEW WORK. FROM THE DATE OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK AND SHALL BE ACCOMPLISHED BY HIM WITH THE INTENT OF THIS PROJECT.

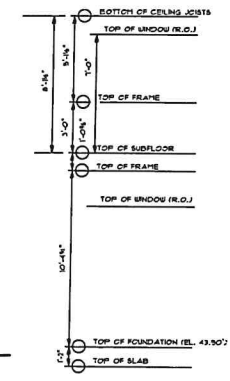
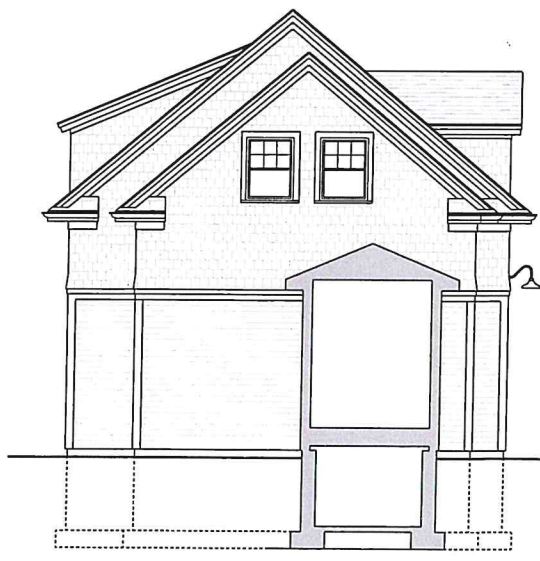
REVISIONS

NO.	DATE	BY	CHANGE



A NEW RESIDENCE FOR:
JONATHAN AND MIRANDA TRAHAN
 PROJECT LOCATION:
 454 POPPASQUASH ROAD
 BRISTOL, RHODE ISLAND

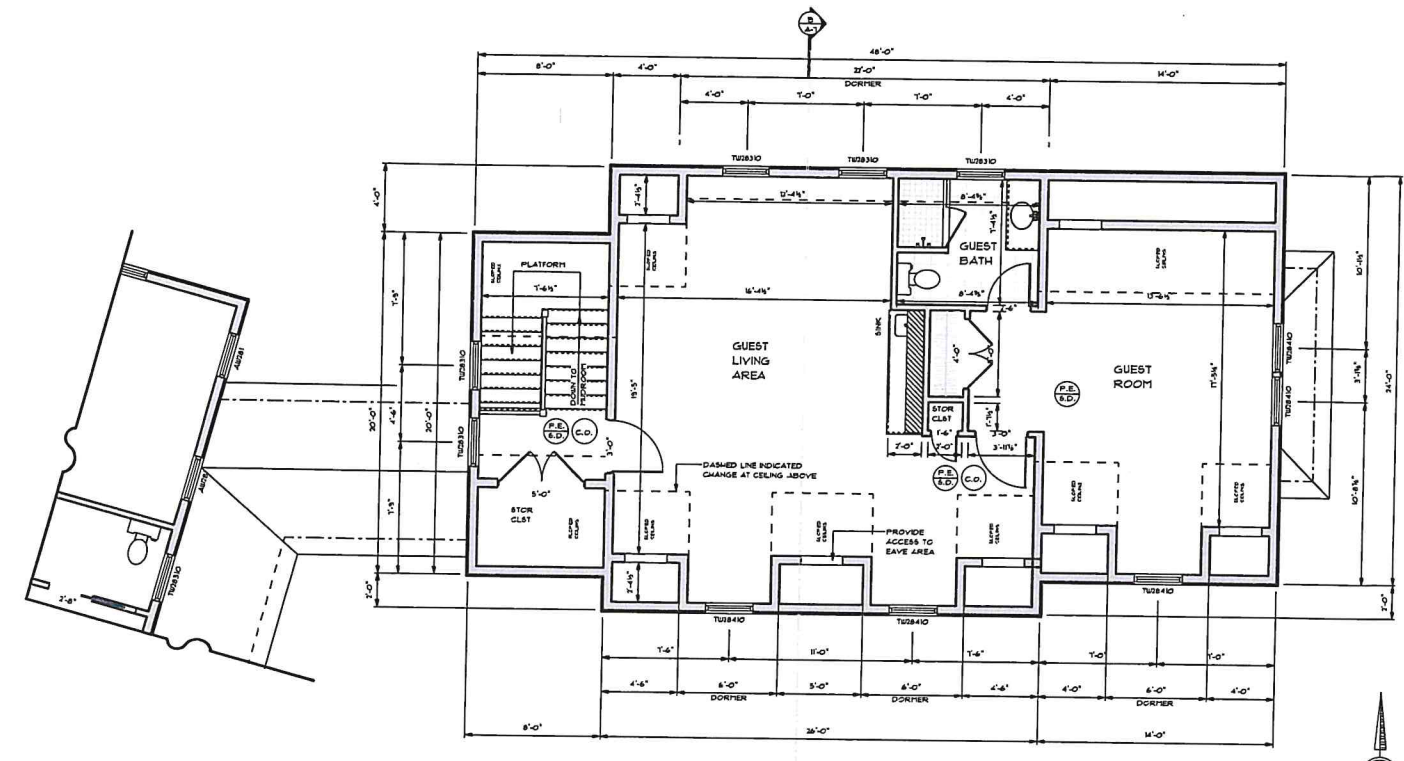
530 WILBUR AVENUE
 BUNANSEA, MASSACHUSETTS 02711
 TEL - (508) 467-2500
 FAX - (508) 467-3600
CORNERSTONE
 DESIGN/BUILD SERVICES, INC.



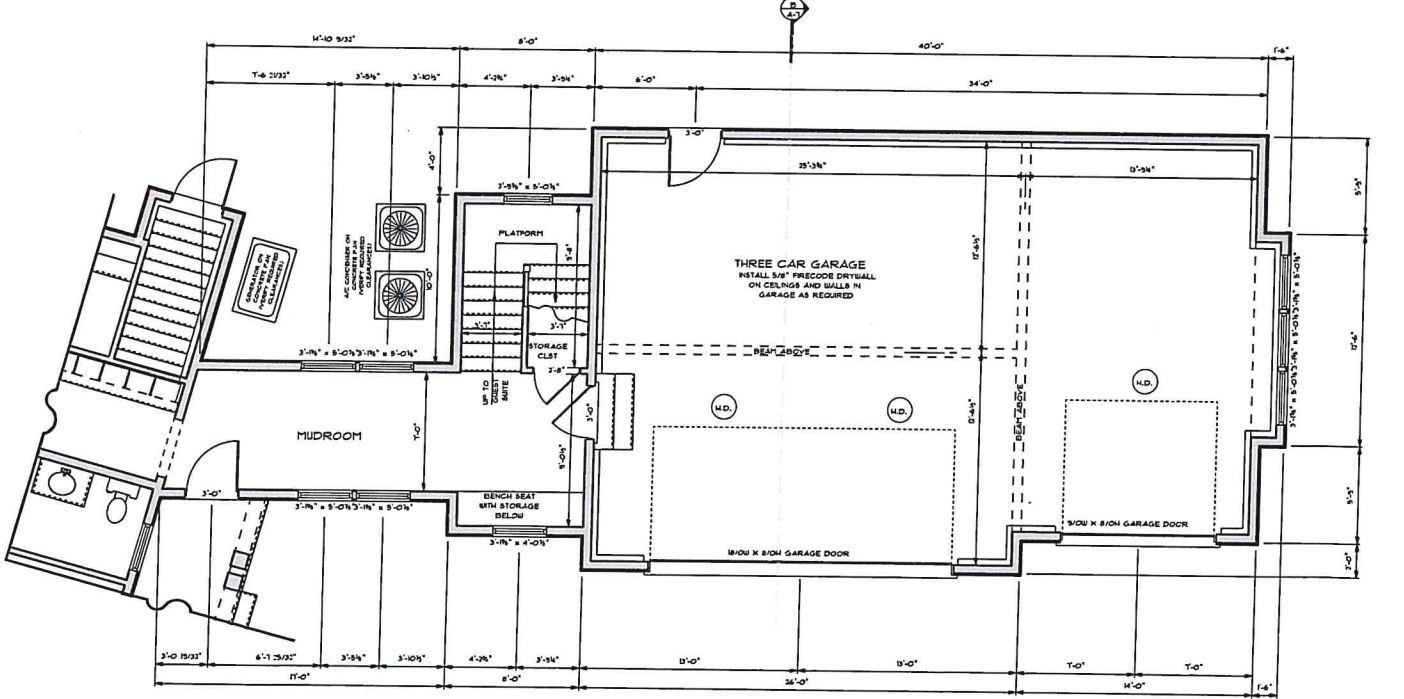
SHEET TITLE:
GARAGE EXTERIOR ELEVATIONS

DRAWN BY: M. POTOCKI
 REVIEWED BY: M. POTOCKI
 CORNERSTONE PROJECT #: 23652
 DATE: 02 NOV 23
 SCALE: AS NOTED

DRAWING NO.
A-7
 SHEET 1 OF 1

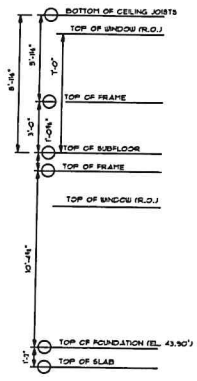


GARAGE SECOND FLOOR PLAN SCALE: 1/4" = 1'-0"
GUEST SUITE AREA: 880 SQFT

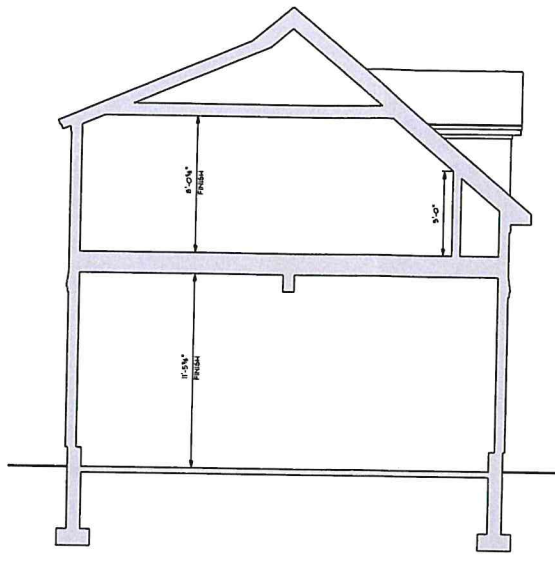


GARAGE FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"
MUDROOM AREA: 283 SQFT
GARAGE AREA: 1030 SQFT

NOTES:
 - VERIFY ALL EXISTING CONDITIONS AND MEASUREMENTS PRIOR TO ORDERING OF MATERIALS AND CONSTRUCTION.
 - ALL NECESSARY ENGINEERING DATA TO BE SUPPLIED BY CONTRACTOR OR OWNER.
 - ALL ENGINEERED LUMBER OR PREFABRICATED STRUCTURAL MEMBERS (I-JOISTS, ROOF TRUSSES) TO BE ENGINEERED BY MANUFACTURER.
 - ALL WINDOWS MANUFACTURED BY ANDERSEN CORPORATION (A SERIES).
 - VERIFY ROUGH OPENING SIZES, SQUARE REQUIREMENTS AND TEMPERED GLASS REQUIREMENTS PRIOR TO CONSTRUCTION.



BUILDING SECTION DETAIL A-7.B SCALE: 1/4" = 1'-0"



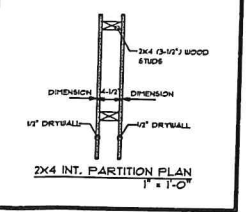
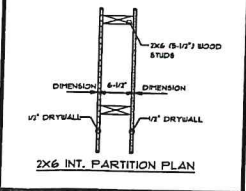
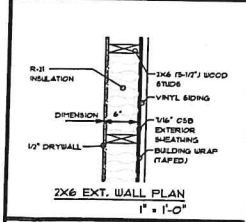
THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF CORNERSTONE DESIGN/BUILD SERVICES, INC. ALTHOUGH A LOT OF CARE HAS BEEN TAKEN IN THE PREPARATION OF THESE PLANS, THE CONTRACTOR TO CHECK THE DIMENSIONS AND CONDITIONS ON THE DRAWINGS AND TO NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES OR OMISSIONS. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALE DIMENSIONS.
 THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION AND INSTALLATION OF THE WORK. FROM THE ABOVE DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK AND SHALL BE ACCOMPLISHED BY HIM WITH THE BEST OF THE PROJECT.

REVISIONS			
NO.	DATE	BY	CHANGE

A NEW RESIDENCE FOR:
JONATHAN AND MIRANDA TRAHAN
 PROJECT LOCATION:
 454 POPPASQUASH ROAD
 BRISTOL, RHODE ISLAND

538 WILBUR AVENUE
 ROUANDELL, MASSACHUSETTS 02871
 TEL. - (508)475-1500
 FAX - (508)475-2600
CORNERSTONE
 DESIGN/BUILD SERVICES, INC.

- (P.E.D.) PHOTOELECTRIC SMOKE DETECTOR
- (C.O.) CARBON MONOXIDE DETECTOR
- (H.D.) HEAT DETECTOR



SHEET TITLE:
GARAGE FLOOR PLANS

DRAWN BY: M. POTOCKI
 REVIEWED BY: M. POTOCKI
 CORNERSTONE PROJECT #: 23652
 DATE: 02 NOV 23
 SCALE: AS NOTED
 DRAWING NO.

A-8



454 Poppasquash Rd - 300' Radius

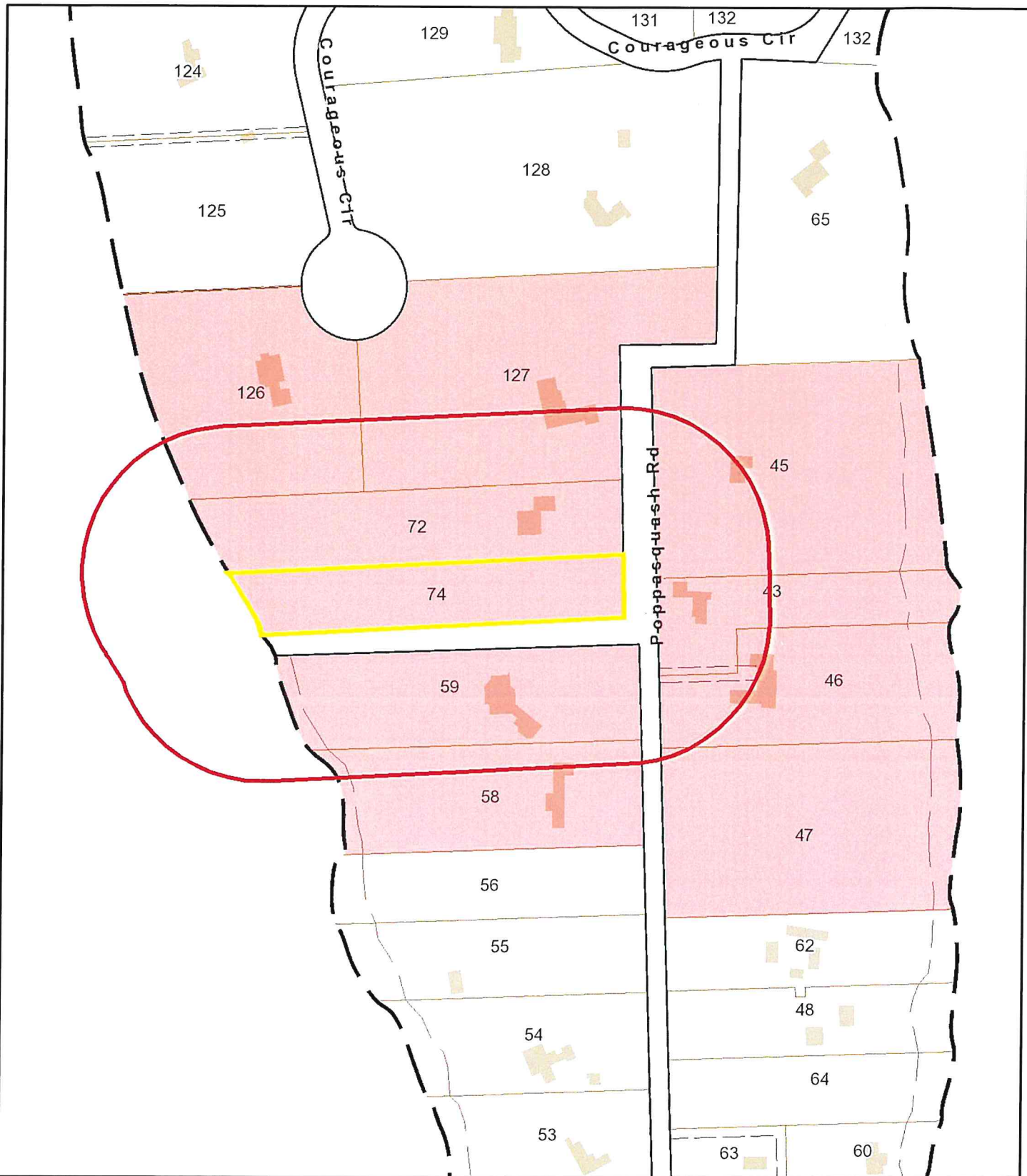
Bristol, RI



December 12, 2023

1 inch = 281 Feet

www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



300 foot Abutters List Report

Bristol, RI
December 12, 2023

Subject Property:

Parcel Number: 174-74
CAMA Number: 174-74
Property Address: 454 POPPASQUASH RD

Mailing Address: TRAHAN, JONATHAN & MIRANDA TE
54 PHEASANT LANDING RD
NEEDHAM, MA 02492

Abutters:

Parcel Number: 173-43
CAMA Number: 173-43
Property Address: 457 POPPASQUASH RD

Mailing Address: MCCARTHY, MICHAEL M. TRSTEE OF
THE MICHAEL M. MCCARTHY TRUST
457 POPPASQUASH RD
BRISTOL, RI 02809

Parcel Number: 173-45
CAMA Number: 173-45
Property Address: 445 POPPASQUASH RD

Mailing Address: MAYER, WILLIAM L. DAVID L.
TRUSTEES
PO BOX 360
BRISTOL, RI 02809

Parcel Number: 173-46
CAMA Number: 173-46
Property Address: 459 POPPASQUASH RD

Mailing Address: LENEHAN, PAMELA F. TRUSTEE
22 PHEASANT LANDING RD
NEEDHAM, MA 02492

Parcel Number: 173-47
CAMA Number: 173-47
Property Address: 461 POPPASQUASH RD

Mailing Address: EAGLE FORD AUSTIN RANCH & CATTLE
CO., LP
7941 KATY FREEWAY PMB 547
HOUSTON, TX 77024

Parcel Number: 173-58
CAMA Number: 173-58
Property Address: 466 POPPASQUASH RD

Mailing Address: VOLPE, WILLIAM S. ET UX SHARON L.
VOLPE TE
466 POPPASQUASH ROAD
BRISTOL, RI 02809

Parcel Number: 173-59
CAMA Number: 173-59
Property Address: 458 POPPASQUASH RD

Mailing Address: HAYES, GREGORY J. & RENATA P. TE
217 DEERCLIFF RD
AVON, CT 06001

Parcel Number: 174-126
CAMA Number: 174-126
Property Address: 33 COURAGEOUS CIR

Mailing Address: KESTENBERG, KAREN
33 COURAGEAOUS CIRCLE
BRISTOL, RI 02809

Parcel Number: 174-127
CAMA Number: 174-127
Property Address: 440 POPPASQUASH RD

Mailing Address: MCGINNIS, ROBERT J. KAREN B
440 POPPASQUASH RD
BRISTOL, RI 02809

Parcel Number: 174-72
CAMA Number: 174-72
Property Address: 450 POPPASQUASH RD

Mailing Address: NEWTH, SEAN P & KATHARINE L TE
18 DOWNING ST
HINGHAM, MA 02043

Parcel Number: 174-74
CAMA Number: 174-74
Property Address: 454 POPPASQUASH RD

Mailing Address: TRAHAN, JONATHAN & MIRANDA TE
54 PHEASANT LANDING RD
NEEDHAM, MA 02492



www.cai-tech.com

12/12/2023

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 1 of 1

EAGLE FORD AUSTIN RANCH &
7941 KATY FREEWAY PMB 547
HOUSTON, TX 77024

HAYES, GREGORY J. & RENAT
217 DEERCLIFF RD
AVON, CT 06001

KESTENBERG, KAREN
33 COURAGEAOUS CIRCLE
BRISTOL, RI 02809

LENEHAN, PAMELA F. TRUSTE
22 PHEASANT LANDING RD
NEEDHAM, MA 02492

MAYER, WILLIAM L.
DAVID L. TRUSTEES
PO BOX 360
BRISTOL, RI 02809

MCCARTHY, MICHAEL M. TRST
THE MICHAEL M. MCCARTHY T
457 POPPASQUASH RD
BRISTOL, RI 02809

MCGINNIS, ROBERT J.
KAREN B
440 POPPASQUASH RD
BRISTOL, RI 02809

NEWTH, SEAN P & KATHARINE
18 DOWNING ST
HINGHAM, MA 02043

TRAHAN, JONATHAN & MIRAND
54 PHEASANT LANDING RD
NEEDHAM, MA 02492

VOLPE, WILLIAM S. ET UX
SHARON L. VOLPE TE
466 POPPASQUASH ROAD
BRISTOL, RI 02809



Town of Bristol, Rhode Island
Department of Community Development

10 Court Street
Bristol, RI 02809
www.bristolri.gov
401-253-7000

December 11, 2023

TO: Zoning Board of Review
FROM: Edward M. Tanner, Zoning Officer

RE: *Recently Adopted Zoning Ordinance Amendments*

During its December 6, 2023 meeting, the Town Council adopted numerous amendments to the Bristol Zoning Ordinance. These amendments were necessary to conform the ordinance to recent changes in state law that will take effect on January 1, 2024. The newly adopted revisions touch upon several sections of the zoning ordinance as detailed within the attached documents. These amendments were prepared by the solicitor's office and community development staff, with review and concurrence by the planning board prior to adoption by the council.

The attached documents detail all adopted changes to the zoning ordinance. They are divided into three separate documents that include: general edits to the ordinance (as summarized on the top of page one); edits to the Permitted Use Table in Section 28-82 relating to special use permits; and edits to special use permit standards found in Section 28-150, including numerous new standards for specific special uses.

The amended ordinance sections will be included on the January 2, 2024 meeting agenda as an item under correspondence so that board members may discuss the changes. Should you have any questions pertaining to this matter, please feel free to contact me.

Bristol Zoning Ordinance – 2023 Amendments

This amendment to the Zoning Ordinance contains the following revisions:

- Variance standards/definition [Article I, Sec. 28-1; Article XI, Sec. 28-409]
- Dimensional modifications [Article I, Sec. 28-1; Article V, Sec. 28-152]
- Substandard lots of record [Article VII, Sec. 28-221]
- Lot merger [Article VII, Sec. 28-221]
- Amended procedures for comprehensive permit applications [Article IX, Division 6]
- Adaptive reuse [Article I, Sec. 28-1; Article V, Sec. 28-161]
- Inclusionary zoning [Article IX, Division 7]
- Unified development review [Article XI, Sec. 28-414]
- Notice and hearing requirements [Article II, Sec. 28-52; Article XI, Sec. 28-409]
- Revisions to the definition of selected uses [Article I, Sec. 28-1]

Also contained within this amendment are revisions to changes to state law that took effect in 2022, as follows:

- Quorum requirement for the Zoning Board reduced from five (5) to four (4) members [Article XI, Sec. 28-408]
- Majority vote of three (3) members required to approve applications for variances or special use permits [Article XI, Sec. 28-408]

ORDINANCE No. 2023-___

**AN ORDINANCE IN AMENDMENT TO
CHAPTER 28
OF THE ORDINANCES OF THE BRISTOL TOWN CODE – ZONING ORDINANCE**

* * *

Article I. In General.

Sec. 28-1. Definitions.

Amend as follows:

* * *

Adaptive reuse means the conversion of an existing structure from the use for which it was constructed to a new use by maintaining the elements of the structure and adapting such elements to a new use.

* * *

Boatyard/marina means a commercial facility for some or all of the following: the storing, servicing, sale, repairing, fueling, berthing, and securing, launching and transporting of boats, and the sale of fuel and incidental supplies (such as marine equipment and food service and

Bristol Zoning Ordinance – 2023 Amendments

supplies) for the boat owners, crews and guests, and provision of on-water taxi and marine salvage operations.

* * *

Cemetery means land used or intended to be used for the burial of the dead and dedicated for cemetery purposes, including ~~crematories~~, mausoleums and mortuaries when operated in conjunction with and within the boundaries of such cemetery.

* * *

Modification means permission granted and administered by the zoning official and pursuant to RIGL 45-24-46 and set forth in this Chapter at Sec. 28-152, to grant a dimensional variance other than lot area requirements from the zoning ordinance to a limited degree, not to exceed fifteen percent (15%) of each of the applicable dimensional requirements.

* * *

~~*Public informational meeting* means a meeting of the planning board or other governing body preceded by a notice, open to the public and at which the public shall be heard.~~

* * *

Variance means permission to depart from the literal requirements of this chapter. An authorization for the construction or maintenance of a building or structure, or for the establishment or maintenance of a use of land, which is prohibited by this chapter. There shall be only two categories of variance, a use variance or a dimensional variance.

(1) *Use variance.* Permission to depart from the use requirements of this chapter where the applicant for the requested variance has shown by evidence upon the record that the subject land or structure cannot yield any beneficial use if it is to conform to the provisions of this chapter.

(2) *Dimensional variance.* ~~Permission to depart from the dimensional requirements of this chapter, where the applicant for the requested relief has shown, by evidence upon the record, that there is no other reasonable alternative way to enjoy a legally permitted beneficial use of the subject property unless granted the requested relief from the dimensional regulations. However, the fact that a use may be more profitable or that a structure may be more valuable after the relief is granted shall not be grounds for relief.~~ under the applicable standards set forth in RIGL 45-24-41 and set forth in this Chapter at Sec. 28-409(c).

* * *

Article II. Administration.

* * *

Division 2. Amendment of Zoning Provisions.

* * *

Amend as follows:

Bristol Zoning Ordinance – 2023 Amendments

Sec. 28-52. - Notice and hearing requirements.

(a) No provision of this chapter shall be adopted, repealed, or amended until after a public hearing has been held upon the question before the town council. The town council shall first give notice of such public hearing by publication of notice in a newspaper of general local circulation within the town at least once each week for three consecutive weeks prior to the date of such hearing, which may include the week in which the hearing is to be held, at which hearing opportunity shall be given to all persons interested to be heard upon the matter of the proposed ordinance. Written notice, which may be a copy of such newspaper notice, shall be mailed, to the parties specified in subsections (b) through (f) of this section, at least two weeks prior to the hearing. Such newspaper notice shall be published as a display advertisement, using a type size at least as large as the normal type size used by the newspaper in its news articles, and The same notice shall be posted in the town clerk's office and one other municipal building and shall be accessible on the home page of the town's website at least fourteen (14) days prior to the hearing. The notice shall:

- (1) Specify the place of the hearing and the date and time of its commencement;
- (2) Indicate the provisions for adoption, amendment or repeal of this chapter that is under consideration;
- (3) Contain a statement of the proposed amendments to this chapter that may be printed once in its entirety, or summarize or describe the matter under consideration;
- (4) Advise those interested where and when a copy of the matter under consideration may be obtained or examined and copied; and
- (5) State that the proposal shown thereon may be altered or amended prior to the close of the public hearing without further advertising, as a result of further study or because of the views expressed at the public hearing. Any such alteration or amendment must be presented for comment in the course of the hearing.

(b) Where a proposed general amendment to the existing provisions of this chapter includes changes in an existing zoning map, public notice shall be given as required by subsection (a) of this section.

(c) Where a proposed text amendment to an existing zoning ordinance would cause a conforming lot of record to become nonconforming by lot area or frontage, written notice shall be given to all owners of the real property as shown on the current real estate tax assessment records of the town. The notice shall be given at least two weeks prior to the hearing at which the text amendment is to be considered, with the content required by subsection (a). If the zoning ordinance contains an existing merger clause to which the nonconforming lots would be subject, the notice shall include reference to the merger clause and the impacts of common ownership of nonconforming lots. The notice shall be sent certified by first-class mail and a certificate of mailing from the US Postal Service shall be obtained and the certificate or an electronic copy thereof shall be retained to demonstrate proof of the mailing the sender of the notice shall submit a notarized affidavit to attest to such mailing.

Bristol Zoning Ordinance – 2023 Amendments

(d) Where a proposed amendment to an existing provision of this chapter includes a specific change in a zoning district map but does not affect districts generally, public notice shall be given as required in subsection (a) of this section, with the additional requirements that:

(1) Notice shall include a map showing the existing and proposed boundaries, zoning district boundaries, and existing streets and roads and their names, and town boundaries where appropriate; and

(2) Written notice of the date, time and place of the public hearing and the nature and purpose thereof shall be sent, by certified mail, to all owners of real property whose property is located within 200 feet of the perimeter of the area proposed for change, whether within the Town of Bristol or within an adjacent town (Warren) in which the property is located. Notice shall also be sent to any individual or entity holding a recorded conservation or preservation restriction on the property that is the subject of the amendment. The notice shall be sent by registered, certified, or first-class mail to the last known address of the owners, as shown on the current real estate tax assessment records of the town; provided for any notice sent by first-class mail, the sender of the notice shall utilize and obtain a US Postal Service certificate of mailing, PS Form 3817, or any applicable version thereof, to demonstrate proof of submit a notarized affidavit to attest to such mailing.

(e) Notice of a public hearing shall be sent by first class mail to the town council of any town to which one or more of the following pertain:

(1) Which is located within 200 feet of the boundary of the area proposed for change; or

(2) Where there is a public or quasi-public water source, or private water source that is used or is suitable for use as a public water source, within 2,000 feet of any real property that is the subject of a proposed zoning change, regardless of municipal boundaries.

(f) Notice of a public hearing shall be sent to the governing body of any state or municipal water department agency, special water district, or private water company that has riparian rights to a surface water resource and/or surface watershed that is used or is suitable for use, as a public water source and that is within 2,000 feet of any real property which is the subject of a proposed zoning change, provided, however, that the governing body of any state or municipal water company has filed with the director in the town a map survey, which shall be kept as a public record, showing areas of surface water resources and/or watersheds and parcels of land within 2,000 feet thereof.

(g) No defect in the form of any notice under this section shall render an ordinance or amendment invalid, unless such defect is found to be intentional or misleading.

(h) Costs of any notice newspaper and mailing notices required under this section shall be borne by the applicant.

* * *

Bristol Zoning Ordinance – 2023 Amendments

Article III. Permitted Uses.

Amend as follows:

Sec. 28-82. Use regulations.

~~(b) *Prohibited uses and uses not listed.* If a use is not shown herein, it is prohibited, unless the zoning enforcement officer determines in writing that such use is consistent with uses that are explicitly permitted. To the extent a proposed land use is not specifically listed, an applicant may submit a written request to the zoning enforcement officer for an evaluation and determination of whether the proposed use is of a similar type, character, and intensity as a listed use requiring a special use permit. The zoning enforcement officer will have 30 days to provide a written response. Upon such determination, the proposed use may be considered to be a use requiring a special use permit. Unlisted uses that are deemed not similar to a listed use requiring a special use permit shall be deemed prohibited. Any number of uses may be located on a lot provided each use is permitted in that district and all other requirements of this chapter are met.~~

* * *

Article V. Supplementary Regulations

Amend as follows:

Sec. 28-152. Zoning Modification Permits.

~~The zoning enforcement officer may issue a modification permit on the construction, alteration or structural modification of a conforming structure or a conforming lot of record.~~

~~(1) *Criteria.* Such modification shall not exceed 25 percent of the following dimensional requirements: Side yard; front yard; and rear yard. Such modification shall only apply to residential structures in residential zoning districts. Such modification permits shall not include nonconforming lots of record. In the case of side yard variances, there shall be a minimum of ten feet between principle structures in all cases.~~

~~(2) *General procedure.* The applicant shall make an application for a modification permit with the zoning enforcement officer which shall include a signed site plan drawn to scale. Within ten days of receipt of a complete application, the zoning enforcement officer shall make a decision as to the suitability of the modification based on the following determinations:~~

- ~~a. The modification requested is reasonably necessary for the full enjoyment of the permitted use;~~
- ~~b. If the modification is granted, neighboring property will neither be substantially injured nor its appropriate use substantially impaired;~~
- ~~e. The modification requested is in harmony with the purposes and intent of the comprehensive plan and this chapter; and~~
- ~~d. The modification requested does not require a variance of a flood hazard permit.~~

Bristol Zoning Ordinance – 2023 Amendments

~~(3) *Notice.* Upon an affirmative determination, the zoning enforcement officer shall notify abutting owners by certified mail and place an advertisement in the newspaper of the proposed modification. Such notice shall indicate that the modification will be granted unless written objection is received within 30 days of such notice. Costs of the public notice shall be borne by the applicant.~~

~~(4) *Decision.* If written objection is received within 30 days, the request for modification shall be denied. In that case the changes requested will be considered a request for a variance and may only be issued by the zoning board of review following the standard procedures for variances. If no written objections are received within 30 days, the zoning enforcement officer shall grant the modification.~~

~~(5) *Conditions.* The zoning enforcement officer may apply such special conditions to the permit as may, in the opinion of the zoning enforcement officer, be required to conform to the intent and purposes of this chapter.~~

~~(6) *Public records.* The zoning enforcement officer shall keep public records of all requests for modifications, and of findings, determinations, special conditions and any objections received.~~

The zoning officer is authorized to grant modification permits of up to and including twenty-five percent (25%) of the literal dimensional requirements of this ordinance as follows:

- a. Within ten (10) days of the receipt of a request for a modification, the zoning enforcement officer shall make a decision as to the suitability of the requested modification based on the following determinations:
 - 1. The modification is reasonably necessary for the full enjoyment of the permitted use;
 - 2. If the modification is granted, neighboring property will neither be substantially injured nor its appropriate use substantially impaired;
 - 3. The modification requested does not require a variance of a flood hazard requirement, unless the building is built in accordance with applicable regulations;
 - 4. The modification requested does not violate any rules or regulations with respect to freshwater or coastal wetlands.
- b. Upon an affirmative determination, in the case of a modification of five percent (5%) or less, the zoning enforcement officer shall have the authority to issue a permit approving the modification, without any public notice requirements. In the case of a modification of greater than five percent (5%), the zoning enforcement officer shall notify, by first class mail, all property owners abutting the property which is the subject of the modification request, and shall indicate the street address of the subject property in the notice, and shall publish in a newspaper of local circulation within the city or town that the modification will be granted unless written objection is received within fourteen (14) days of the public notice. If written objection is received within fourteen (14) days, the request for modification shall be scheduled for the next available hearing before the zoning board of review on application for a dimensional variance following the standard

Bristol Zoning Ordinance – 2023 Amendments

procedures for such variances, including notice requirements provided for under this chapter. If no written objections are received within fourteen (14) days, the zoning enforcement officer shall grant the modification.

- c. The zoning enforcement officer may apply any special conditions to the permit as may, in the opinion of the officer, be requested to conform to the intent and purposes of the zoning ordinance.
- d. The zoning enforcement officer shall keep public records of all requests for modifications, and of findings, determinations, special conditions, and any objections received.
- e. Costs of any notice required under this subsection shall be borne by the applicant requesting the modification.

* * *

Sec. 28-161. Adaptive Reuse.

- a. Permitted Use. Adaptive reuse for the conversion of any commercial building, including offices, schools, religious facilities, medical buildings, and malls into residential units or mixed-use developments is a permitted use, under the criteria described below under Eligibility.
- b. Eligibility.
 - 1. Adaptive reuse development must include at least 50% of existing gross floor area developed into residential units.
 - 2. There are no environmental land use restrictions recorded on the property preventing the conversion to residential use by RIDEM or the US EPA.
- c. Density calculations.
 - 1. For projects that meet the following criteria, the residential density shall be no less than fifteen (15) dwelling units per acre:
 - i. Where the project is limited to the existing footprint, except that the footprint is allowed to be expanded to accommodate upgrades related to the building fire code, and utility requirements.
 - ii. The development includes at least twenty percent (20%) low- and moderate-income housing.
 - iii. The development has access to public sewer and water service or has access to adequate private water, such as well and/or wastewater treatment systems approved by the relevant state agency for the entire development as applicable.
 - 2. For all other adaptive reuse projects, the residential density permitted in the converted structure shall be the maximum allowed that otherwise meets all standards of minimum

Bristol Zoning Ordinance – 2023 Amendments

housing and has access to public sewer and water services or has access to adequate private water, such as well and wastewater treatment systems approved by the relevant state agency for the entire development, as applicable.

3. The density proposed for any adaptive reuse project shall be determined to meet all public health and safety standards.
- d. Dimensional requirements.
1. Notwithstanding any other provisions of this section, existing building setbacks shall remain and are considered legal nonconforming.
 2. No additional encroachments shall be permitted into any nonconforming setback unless relief is granted by the permitting authority.
 3. Notwithstanding other provisions of this section, the height of the structure shall be considered legal nonconforming if it exceeds the maximum height of the zoning district in which the structure is located.
 - i. Any rooftop construction necessary for building or fire code compliance, or utility infrastructure is included in the height exemption.
- e. Parking requirements.
1. Adaptive reuse developments shall provide one parking space per dwelling unit. The applicant may propose additional parking in excess of one space per dwelling unit.
 2. The parking requirements and design standards in Article VIII shall apply to all uses proposed as part of the project unless otherwise approved by the applicable authority. The number of parking spaces required shall apply for uses other than residential.
- f. Allowed uses within an adaptive reuse project.
1. Residential dwelling units are a permitted use in an adaptive reuse project regardless of the zoning district in which the structure is located, in accordance with the provisions of this section.
 2. Any nonresidential uses proposed as part of an adaptive reuse project must comply with the provisions of Sec. 28-82 for the zoning district in which the structure is located.
 - 1.2. Development and Design Standards. Site design shall be in accordance with the development regulations.
 - 1.3 Procedural requirements.
- a. Adaptive reuse projects shall be subject to land development project review pursuant to the regulations.

Bristol Zoning Ordinance – 2023 Amendments

- b. In addition to the checklist requirements for the applicable review process, the applicant shall provide the following information:
 - 1. The proposed residential density and the square footage of nonresidential uses.
 - 2. A floor plan to scale for each building indicating, as applicable, the use of floor space, number of units, number of bedrooms, and the square footage of each unit.

* * *

Article VI. Development Plan Review.

Amend as follows:

Delete Sec. 28-181 through 28-186 and replace as follows:

Sec. 28-181. Development plan review established.

There shall be development plan review for uses that are permitted by right under the zoning ordinance, as provided for in this Article.

Sec. 28-182. Permitting authority. The permitting authority shall be the Planning Board.

Sec. 28-183. Uses subject to development plan review.

The following uses shall be subject to development plan review when any action is taken that requires the issuance of a building permit or certificate of occupancy, other than as excepted in section 28-185:

- (1) Nonresidential uses. All nonresidential development, including, but not limited to, commercial, retail, industrial or institutional, calculated as to the entire development both existing and proposed, where any of the following apply:

<u>Criteria</u>	<u>Downtown and Waterfront Zones</u>	<u>All Other Zones</u>
<u>The GFA is greater than:</u>	<u>10,000 s.f.</u>	<u>20,000 s.f.</u>
<u>Parking is either required or provided for more than:</u>	<u>25 vehicles</u>	<u>50 vehicles</u>
<u>The lot area of the entire parcel is equal to or greater than:</u>	<u>20,000 s.f.</u>	<u>40,000 s.f.</u>
<u>Gasoline service station:</u>	<u>All</u>	<u>All</u>

Bristol Zoning Ordinance – 2023 Amendments

<u>Criteria</u>	<u>Downtown and Waterfront Zones</u>	<u>All Other Zones</u>
<u>A use that contains a drive-up window, including an ATM:</u>	<u>All</u>	<u>All</u>
<u>Any use serving food or alcohol (other than a fast food restaurant) that has a legal capacity equal to or exceeding:</u>	<u>80 people</u>	<u>150 people</u>
<u>Any fast food restaurant that has a legal capacity equal to or exceeding:</u>	<u>40 people</u>	<u>80 people</u>
<u>Wireless telecommunications antenna:</u>	<u>All</u>	<u>All</u>

(2) Residential use. Any residential use, calculated as to the entire development both existing and proposed, where any of the following apply:

<u>Criteria</u>	<u>Downtown and Waterfront Zones</u>	<u>All Other Zones</u>
<u>There are dwelling units equal to or more than:</u>	<u>6 D.U.</u>	<u>6 D.U.</u>
<u>There are rooming units equal to or more than:</u>	<u>6 R.U.</u>	<u>12 R.U.</u>
<u>For lots containing more than two dwelling units, the lot area of the entire parcel is equal to or greater than:</u>	<u>40,000 s.f.</u>	<u>80,000 s.f.</u>

(3) DPR required in certain zones. Any use that is located in the Metacom Avenue overlay zone or Metacom mixed use zone.

Bristol Zoning Ordinance – 2023 Amendments

Sec. 28-184. Guidelines.

The review by the planning board shall be based upon the specific requirements set forth in Appendices E, F; and for those properties in the Metacom Avenue Overlay, Appendix G of the regulations.

Sec. 28-185. Exceptions to development plan review.

The following actions shall be excepted from development plan review, but only upon application to and written decision by the administrative officer:

(1) *Change of use.* A use otherwise subject to development plan review is changed to another use that is permitted on the same legal basis as the prior use, and the new use is listed in the same category in Table A—Permitted Use Table (section 28-82).

(2) *Minor changes.* A use otherwise subject to development plan review is the subject of a minor change, as defined in the regulations.

Sec. 28-186. Waivers of design standards.

The Planning Board may grant waivers of design standards, as set forth in the regulations.

Sec. 28-187 – 28-210. Reserved.

* * *

Article VII. Nonconformance

Amend as follows:

Sec. 28-221. Land nonconforming by area.

- (a) Single lots of record.
 - (1) In any district in which single-family dwellings are permitted, a single-family dwelling and customary accessory buildings may be erected on any single lot which was of record on June 28, 1961.
 - (2) Notwithstanding limitations imposed by other provisions of this chapter, such lot must be in separate ownership and not adjoining any other lots in common ownership which would result in a merger under subsection 28-221(c) below and must not have been merged by use. This provision shall apply:
 - a. Even though such lot fails to meet the requirements for total lot area or width, or both, that are generally applicable in the district as set forth in article V of this chapter; and
 - ~~b. Provided that the front and rear yard dimensions of the lot as built upon shall conform to the regulations for the district in which such lot is located as set forth in article IV of this chapter, and provided that for a lot with a lot width of 50 feet or more, each side yard shall have a minimum width of at least 20 percent of the lot width, but such yard need not exceed 25 feet in width. For any lot with a lot width of less than 50 feet, each side yard shall have a minimum width of ten feet.~~

Bristol Zoning Ordinance – 2023 Amendments

~~Lot coverage by structures shall not exceed 40 percent. Principal structures shall be compatible in size and character with the neighborhood in which they are located. Variance of building size, lot coverage or yard requirements shall be obtained only through action of the zoning board; and~~

- ~~e. Lots of 10,000 square feet or more must meet the requirements for public utilities of the zone in which it is located; and lots with less than 10,000 square feet shall either (A) be connected to both public sewer and water, or (B) shall obtain a variance from the zoning board of review to have the lot serviced by only one utility. In the granting of said variance, the zoning board of review shall consider such factors as health and safety reasons and the financial feasibility of extending the utility lines to the lot. It shall be considered financially unfeasible to extend utilities to the lot if the cost of such extension would exceed 50 percent of the value of the fully developed lot, (with street, utilities, etc., but without a building). Such financial infeasibility shall be verified by a certified appraisal as to the lot value and the BCWA estimate for water service or three estimates for the sewer line installation. If the lot is not serviced by water, the owner shall record an indemnity in the land evidence records to hold the town harmless against any and all future costs if a public utility must later be brought to service the lot.~~

(b) Notwithstanding the failure of a single substandard lot of record or contiguous lots of record to meet the dimensional and /or quantitative requirements of this zoning ordinance, and/or road frontage or other access requirements applicable to the district as stated in the ordinance, a substandard lot of record shall not be required to seek any zoning relief based solely on the failure to meet minimum lot size requirements of the district in which such lot is located. The setback, frontage, and/or lot width requirements for a structure under this section shall be reduced and the maximum building coverage requirements shall be increased by the same proportion as the lot area of the substandard lot is to the minimum lot area requirement of the zoning district in which the lot is located. All proposals exceeding such reduced requirement shall proceed with a modification request or a dimensional variance request, whichever is applicable.

~~(d)~~ (c) Provided that appropriate landscaping, including, but not limited to, trees, hedges or fences shall be installed pursuant to the direction of the director to minimize any impact on adjacent property.

(d) Merger prohibited for certain lots. The merger of lots shall not be required when the substandard lot of record has an area equal to or greater than the area of fifty percent (50%) of the lots within two hundred feet (200 ft) of the subject lot, as confirmed by the zoning enforcement officer.

* * *

Article IX. Land Development Projects and Special Zones

* * *

Bristol Zoning Ordinance – 2023 Amendments

Division 6. Low and Moderate Income Housing and Inclusionary Zoning

Amend as follows:

~~Sec. 28-361. Purpose and authority.~~

(a) Purpose.

~~(1) To promote the public health, safety and welfare by promoting the development of low and moderate income housing within the Town of Bristol in accordance with the state mandate and to provide for a full range of housing choices throughout the town for households of all incomes, ages and sizes.~~

~~(2) To promote the development of affordable housing throughout town in a manner that is consistent with the town's adopted affordable housing plan and the comprehensive community plan.~~

~~(3) To produce housing that qualifies as affordable as defined by the mandates of the State's Comprehensive Housing Production and Rehabilitation Act of 2004.~~

~~(4) To establish mixed income households within new subdivisions and land development projects throughout the town.~~

~~(5) To provide the town's developers of affordable housing the financial resources for promoting the production of affordable units throughout town, in lieu of on-site units provided within a subdivision subject to the provisions of this article.~~

~~(6) To establish an affordable housing unit or funding set aside requirement that allows for a reasonable return for property owners and developers, while recognizing the fact that most future subdivisions will be small scale because few large parcels remain for development within Bristol.~~

~~(b) Authority to grant comprehensive permits. In accordance with RIGL Tit. 45, Ch. 53, the Low and Moderate Income Housing Act (as amended) the local review board shall have the power to issue a comprehensive permit for a qualifying low or moderate income housing project, which relief shall include all permits or approvals from any local board or official who would otherwise act with respect to such application including, but not limited to, the power to attach to the permit or approval conditions and requirements with respect to setbacks, height, site plan, size, shape, building materials, landscaping, and parking consistent with the terms of the Act.~~

~~Sec. 28-362. Designation of local review board.~~

~~The town planning board is hereby designated as the local review board and all references in this division to local review board shall be to the planning board.~~

~~Sec. 28-363. Definitions.~~

~~*Affordable housing* means residential housing that has a sales price or rental amount that is within the means of a household that is moderate income or less. In the case of dwelling units for sale, housing that is affordable means housing in which principal, interest, taxes, which may be~~

Bristol Zoning Ordinance – 2023 Amendments

~~adjusted by state and local programs for property tax relief, and insurance constitute no more than 30 percent of the gross household income for a household with less than 120 percent of area median income, adjusted for family size. In the case of dwelling units for rent, housing that is affordable means housing for which the rent, heat, and utilities other than telephone constitute no more than 30 percent of the gross annual household income for a household with 80 percent or less of area median income, adjusted for family size. Such housing shall remain affordable through a land lease and/or deed restriction for 99 years or such other period that is either agreed to by the applicant and town or prescribed by the federal, state, or municipal government subsidy program but that is not less than 30 years from initial occupancy.~~

~~*Affordable housing plan* means that component of the housing element of the town comprehensive plan designed to meet the housing needs in the town.~~

~~*Approved affordable housing plan* means the affordable housing plan that has been approved by the director of administration as meeting the guidelines for the local comprehensive plan as promulgated by the state planning council.~~

~~*Affordable housing trust fund* means a restricted fund to be established by the town council for the purposes set forth in this article per RIGL Tit. 45, Ch. 53.~~

~~*Comprehensive plan* means the comprehensive plan of the town adopted and approved by the town pursuant to RIGL Chs. 22.2 and 22.3.~~

~~*Consistent with local needs* means reasonable in view of the state need for low or moderate income housing, considered with the number of low income persons in the town affected and the need (a) to protect the health and safety of the occupants of the proposed housing or of the residents of the town, (b) to promote better site and building design in relation to the surroundings, or (c) to preserve open spaces, and if the local zoning or land use ordinances, requirements, and regulations are applied as equally as possible to both subsidized and unsubsidized housing.~~

~~*Inclusionary housing agreement* means an agreement recorded in the town's land evidence records describing how the developer will comply with the provisions of this article.~~

~~*Inclusionary housing plan* means a plan setting forth in detail the manner in which the provisions of this article will be implemented.~~

~~*Inclusionary unit* means an affordable housing unit, as defined in this article.~~

~~*Local board* means any town or city official, zoning board of review, planning board or commission, board of appeal or zoning enforcement officer, local conservation commission, historic district commission, or other municipal board having supervision of the construction of buildings or the power of enforcing land use regulations, such as subdivision, or zoning laws.~~

~~*Low or moderate income housing* means any housing whether built or operated by any public agency or any nonprofit organization or by any limited equity housing cooperative or any private developer, that is subsidized by a federal, state, or municipal government subsidy under any program to assist the construction or rehabilitation of housing affordable to low or moderate~~

Bristol Zoning Ordinance – 2023 Amendments

~~income households, as defined in the applicable federal or state statute, or local ordinance and that will remain affordable through a land lease and/or deed restriction for 99 years or such other period that is either agreed to by the applicant and town or prescribed by the federal, state, or municipal government subsidy program but that is not less than 30 years from initial occupancy.~~

~~Sec. 28-364. — Applicability and eligibility.~~

~~(a) Any applicant proposing to build low or moderate income housing may submit to the local review board a single application for a comprehensive permit to build that housing in lieu of separate applications to the applicable local boards. This procedure is only available for proposals in which at least 25 percent of the housing is low or moderate income housing.~~

~~(b) Notwithstanding the foregoing, in accordance with RIGL § 45-53-4(a)(xiii) the Bristol Town Council limits the annual total number of dwelling units in comprehensive permit applications from for-profit developers to an aggregate of one percent of the total number of year-round housing units in the town, as recognized in the affordable housing plan.~~

~~(c) Notwithstanding the timetables set forth elsewhere in this division, the local review board shall have the authority to consider comprehensive permit applications from for-profit developers, which are made pursuant to this paragraph, sequentially in the order in which they are submitted.~~

~~Sec. 28-365. — Application and review procedures.~~

~~Application and review procedures shall be set forth in the Town of Bristol Subdivision and Development Review Regulations.~~

~~Sec. 28-366. — Criteria for approval.~~

~~In approving an application for a comprehensive permit, the local review board shall make positive findings, supported by legally competent evidence on the record which discloses the nature and character of the observations upon which the fact finders acted, on each of the following standard provisions, where applicable:~~

~~(1) The proposed development is consistent with local needs as identified in the local comprehensive community plan with particular emphasis on the community's affordable housing plan and/or has satisfactorily addressed the issues where there may be inconsistencies.~~

~~(2) The proposed development is in compliance with the standards and provisions of the municipality's zoning ordinance and subdivision regulations, and/or where expressly varied or waived local concerns that have been affected by the relief granted do not outweigh the state and local need for low and moderate income housing.~~

~~(3) All low and moderate income housing units proposed are integrated throughout the development; are compatible in scale and architectural style to the market rate units within the project; and will be built and occupied prior to, or simultaneous with the construction and occupancy of any market rate units.~~

Bristol Zoning Ordinance – 2023 Amendments

~~(4) There will be no significant negative environmental impacts from the proposed development as shown on the final plan, with all required conditions for approval.~~

~~(5) There will be no significant negative impacts on the health and safety of current or future residents of the community, in areas including, but not limited to, safe circulation of pedestrian and vehicular traffic, provision of emergency services, sewerage disposal, availability of potable water, adequate surface water run-off, and the preservation of natural, historical or cultural features that contribute to the attractiveness of the community.~~

~~(6) All proposed land developments and all subdivisions lots will have adequate and permanent physical access to a public street. Lot frontage on a public street without physical access shall not be considered compliance with this requirement.~~

~~(7) The proposed development will not result in the creation of individual lots with any physical constraints to development that building on those lots according to pertinent regulations and building standards would be impracticable, unless created only as permanent open space or permanently reserved for a public purpose on the approved, recorded plans.~~

Sec. 28-367. — Criteria for denial.

The local review board may deny the request for any of the following reasons:

~~(1) The town has an approved affordable housing plan and is meeting housing needs, and the proposal is inconsistent with the affordable housing plan. In this section *meeting housing needs* means adoption of the implementation program of an approved affordable housing plan and the absence of unreasonable denial of applications that are made pursuant to an approved affordable housing plan in order to accomplish the purposes and expectations of the approved affordable housing plan.~~

~~(2) The proposal is not consistent with local needs, including, but not limited to, the needs identified in an approved comprehensive plan, and/or local zoning ordinances and procedures promulgated in conformance with the comprehensive plan. Local zoning and land use ordinances, requirements, or regulations are consistent with local needs when imposed by the town council after comprehensive hearing, and, the town either has existing low or moderate income housing units in excess of ten percent of the year round housing units reported in the latest decennial census of the town, or the town has promulgated zoning or land use ordinances, requirements, and regulations to implement a comprehensive plan which has been adopted and approved pursuant to state law, and the housing element of the comprehensive plan provides for low and moderate income housing in excess of ten percent of the year round housing units.~~

~~(3) The proposal is not in conformance with the comprehensive plan.~~

~~(4) The town has met or has plans to meet the goal of ten percent of the year round units being low and moderate income housing.~~

~~(5) Concerns for the environment and the health and safety of current residents have not been adequately addressed.~~

Bristol Zoning Ordinance – 2023 Amendments

In the case of a denial, if the applicant fails to meet one or more of the criteria for approval, where applicable, then the local review board shall make negative findings on those provisions as part of its decision.

~~Sec. 28-368. Voting and appeal.~~

~~All decisions on comprehensive permits shall be by majority vote of the membership of the local review board and may be appealed by the applicant to the state housing appeals board. Any person aggrieved by the issuance of an approval may appeal to the Rhode Island Supreme Court.~~

~~Sec. 28-369. Expiration of approval and construction.~~

~~A comprehensive permit shall expire unless construction is started within 12 months and completed within 60 months of final plan approval unless a longer and/or phased period for development is agreed to by the local review board and the applicant. Low and moderate income housing units shall be built and occupied prior to, or simultaneous with the construction and occupancy of market rate units.~~

Sec. 28-361. Definitions.

“Adjustment(s)” means a request, or requests by the application to seek relief from the literal use and dimensional requirements of the zoning ordinance and/or the design standards or requirements of the land development and subdivision regulations. The standard for the local view board’s consideration of adjustments is set forth in RIGL §45-53-4(d)(2)(iii)(E)(II).

“Consistent with local needs” means reasonable in view of the state need for low- and moderate-income housing, considered with the number of low-income persons in the town affected and the need to protect the health and safety of the occupants of the proposed housing or of the residents of the town, to promote better site and building design in relation to the surroundings, or to preserve open spaces, and if the zoning ordinance, requirements, and regulations are applied as equally as possible to both subsidized and unsubsidized housing.

“Infeasible” means any condition brought about by any single factor or combination of factors, as a result of limitations imposed on the development by conditions attached to the approval of the comprehensive permit, to the extent that it makes it financially or logistically impracticable for any applicant to proceed in building or operating low- or moderate-income housing, within the limitations set by the subsidizing agency of government or local review board, on the size or character of the development, on the amount or nature of the subsidy, or on the tenants, rentals, and income permissible, and without substantially changing the rent levels and unit sizes proposed by the applicant.

“Letter of eligibility” means a letter issued by the Rhode Island housing and mortgage finance corporation in accordance with RIGL §42-55-5.3(a).

“Local review board” means the planning board.

“Low- or moderate-income housing” shall be synonymous with “affordable housing” as defined in R.I. Gen. Laws § 42-128-8.1, and further means any housing whether built or operated by any

Bristol Zoning Ordinance – 2023 Amendments

public agency or any nonprofit organization or by any limited equity housing cooperative or any private developer, that is subsidized by a federal, state, or municipal government subsidy under any program to assist the construction or rehabilitation of affordable housing and that will remain affordable through a land lease and/or deed restriction for ninety-nine (99) years or such other period that is either agreed to by the applicant and town or prescribed by the federal, state, or municipal government subsidy program but that is not less than thirty (30) years from initial occupancy.

“Meeting local housing needs” means as a result of the adoption of the implementation program of an approved affordable housing plan, the absence of unreasonable denial of applications that are made pursuant to an approved affordable housing plan in order to accomplish the purposes and expectations of the approved affordable housing plan, and a showing that at least twenty percent (20%) of the total residential units approved by a local review board or any other municipal board in a calendar year are for low- and moderate-income housing as defined in R.I. Gen. Laws § 42-128-8.1.

“Monitoring agents” means those monitoring agents appointed by the Rhode Island housing resources commission pursuant to RIGL §45-53-3.2 and to provide the monitoring and oversight set forth in this chapter, including, but not limited to, RIGL §§45-53-3.2 and 45-53-4.

Sec. 28-362. Applicability and eligibility.

- a. Any applicant proposing to build low- or moderate-income housing may submit to the local review board a single application for a comprehensive permit to build that housing in lieu of separate applications to the applicable local boards. This procedure is only available for proposals in which at least twenty five percent (25%) of the housing is low- or moderate-income housing.
- b. Notwithstanding the foregoing, in accordance with RIGL §45-53-4(d)(10), the Bristol Town Council limits the annual total number of dwelling units in comprehensive permit applications from for-profit developers to an aggregate of one percent (1%) of the total number of year-round housing units in the town, as recognized in the affordable housing plan, and notwithstanding the timetables set elsewhere in this section, the planning board shall consider comprehensive permit applications from for-profit developers sequentially in the order in which they are submitted.

Sec. 28-363. Municipal Subsidies.

In order to offset the differential cost of the low- or moderate-income housing units in the section, the following municipal subsidies shall be provided:

- a. Adjustments, meaning a request, or requests by the application to seek relief from the literal use and dimensional requirements of the zoning ordinance and/or the design standards or requirements of the land development and subdivision regulations. The standard for the planning board’s consideration of adjustments is set forth in RIGL §45-53-4(d)(2)(iii)(E)(II).

Bristol Zoning Ordinance – 2023 Amendments

- b. Density bonus. The town shall provide the following density bonuses for projects submitted under this section provided that the total land utilized under in the density calculation shall exclude wetlands, wetland buffers, area devoted to infrastructure necessary for development, and easements or rights of way of record.
1. For projects connected to public water and sewer, or eligible to be connected to public water and sewer, demonstrated through written confirmation from each respective service provider the following density bonuses are provided:
 - i. For projects providing at least twenty-five (25%) low- and moderate-income housing the density bonus shall be five (5) units per acre.
 - ii. For projects providing at least fifty percent (50%) low- and moderate-income housing the density bonus shall be nine (9) units per acre.
 - iii. For projects providing at least 100 percent (100%) low- and moderate-income housing the density bonus shall be twelve (12) units per acre.
 2. For properties not connected to either public water or sewer or both, but which provide competent evidence as to the availability of water to service the development and/or a permit for on-site wastewater treatment system to service the dwelling units from the applicable state agency the following density bonuses are provided:
 - i. For projects providing at least twenty-five (25%) low- and moderate-income housing the density bonus shall be three (3) units per acre.
 - ii. For projects providing at least fifty percent (50%) low- and moderate-income housing the density bonus shall be five (5) units per acre.
 - iii. For projects providing at least 100 percent (100%) low- and moderate-income housing the density bonus shall be eight (8) units per acre.
- c. Parking. For comprehensive permit applications one (1) off-street parking space per dwelling unit is required for units up to and including two (2) bedrooms. Bedrooms. The bedroom count of units for a comprehensive permit are not limited to any count less than three (3) bedrooms for single family dwelling units, Floor area. There are no floor area limitations for comprehensive permit applications other than those provided by §45-24.3-11.

Sec. 28-364. Application Procedure.

The application and review process for a comprehensive permit shall be as follows:

- a. Pre-application conference. A pre-application conference may be required by the administrative officer or requested by the applicant. The preapplication conference may be with the planning board, technical review committee, or administrative officer as determined appropriate by the administrative officer.

Bristol Zoning Ordinance – 2023 Amendments

1. In advance of the pre-application conference, the applicant shall submit a short written description of the project including the number of units, type of housing, density analysis, preliminary list of adjustments requested, a location map, and a conceptual site plan.
2. Upon request of the applicant for a pre-application conference, such conference will be scheduled and held within thirty (30) days of the request, unless a different timeframe is agreed to by the applicant in writing.
3. If thirty (30) days has elapsed from the filing of the pre-application submission, and no pre-application submission has taken place, nothing shall be deemed to preclude the applicant from thereafter filing and proceeding with an application for preliminary plan review.
 - b. Preliminary plan.
 1. Submission requirements. Applications for preliminary plan under this section shall include:
 - i. A letter of eligibility issued by the Rhode Island Housing Mortgage Finance Corporation, or in the case of projects primarily funded by the U.S. Department of Housing and Urban Development or other state or federal agencies, an award letter indicating the subsidy, or application in such form as may be prescribed for a municipal government subsidy; and
 - ii. A letter signed by the authorized representative of the applicant, setting forth the specific sections and provisions of applicable local ordinances and regulations from which the applicant is seeking adjustments; and
 - iii. A proposed timetable for the commencement of construction and completion of the project; and
 - iv. Those items included in the checklist for preliminary plan review with the exception of evidence of state or federal permits.
 - v. Notwithstanding the submission requirements set forth above, the planning board may request additional, reasonable documentation throughout the public hearing, including, but not limited to, opinions of experts, credible evidence of application for necessary federal and or state permits, and advice from other local boards and officials.
 2. Certification of completeness. The preliminary plan must be certified complete or incomplete by the administrative officer, provided, however, that the certificate shall be granted within twenty-five (25) days of submission of an application. The running of the time period set forth herein will be deemed stopped upon the issuance of a written certificate of incompleteness of the application by the administrative officer and will recommence upon the resubmission of a correct application by the applicant. However, in no event will the administrative officer be required to certify a corrected submission as complete or incomplete less than ten (10) days after its resubmission. If the administrative officer certifies the

Bristol Zoning Ordinance – 2023 Amendments

application as incomplete, the officer shall set forth in writing with specificity the missing or incomplete items.

3. Public hearing. A public hearing shall be noticed and held as soon as practicable after the issuance of a certificate of completeness.
 4. Notice. Public notice for the public hearing will be the same notice required under local regulations for a public hearing for a master plan. The cost of notice shall be paid by the applicant.
 5. Timeframe for review. The planning board shall render a decision on the preliminary plan application within ninety (90) days of the date the application is certified complete, or within a further amount of time that may be consented to by the applicant through the submission of written consent.
 6. Failure to act. Failure of the planning board to act within the prescribed period constitutes approval of the preliminary plan and a certificate of the administrative officer as to the failure of the planning board to act within the required time and the resulting approval shall be issued on request of the applicant. Further, if the public hearing is not convened or a decision is not rendered within the time allowed, the application is deemed to have allowed and the preliminary plan approval shall be issued immediately.
 7. Vesting. The approved preliminary plan is vested for a period of two (2) years with the right to extend for two (2), one-year extension upon written request by the applicant, who must appear before the planning board for each annual review and provide proof of valid state or federal permits as applicable. Thereafter, vesting may be extended for a longer period, for good cause shown, if requested, in writing by the applicant, and approved by the planning board. The vesting for the preliminary plan approval includes all ordinances and provisions and regulations at the time of the approval, general and specific conditions shown on the approved preliminary plan drawings and support material.
- c. Final plan. The second and final stage of review for the comprehensive permit project shall be done administratively, unless an applicant has requested and been granted any waivers from the submission of checklist items for preliminary plan review, and then, at the planning board’s discretion, it may vote to require the applicant to return for final plan review and approval.
1. The following items shall be submitted as part of the final plan submission:
 - i. All required state and federal permits must be obtained prior to the final plan approval.
 - ii. A draft monitoring agreement which identifies an approved entity that will monitor the long-term affordability of the low- and moderate-income units pursuant to RIGL §45-53-3.2.

Bristol Zoning Ordinance – 2023 Amendments

- iii. A sample land lease or deed restriction with affordability liens that will restrict use as low- and moderate-income housing in conformance with the guidelines of the agency providing the subsidy for the low- and moderate-income housing, but for a period of not less than thirty (30) years.
- iv. Those items included in the checklist for final plan review.
- v. Arrangements for completion of the required public improvements, including construction schedule and/or financial guarantees.
- vi. Certification by the tax collector that all property taxes are current.
- vii. For phased projects, the final plan for phases following the first phase, shall be accompanied by copies of as-built drawings not previously submitted of all existing public improvements for prior phases.
 - 2. Certificate of completeness. The final plan application must be certified complete or incomplete by the administrative officer according to the provisions of § 45-23-36; provided however, that, the certificate shall be granted within twenty-five (25) days of submission of the application. The running of the time period set forth herein will be deemed stopped upon the issuance of a written certificate of incompleteness of the application by the administrative officer and will recommence upon the resubmission of a corrected application by the applicant. However, in no event will the administrative officer be required to certify a corrected submission as complete or incomplete less than ten (10) days after its resubmission. If the administrative officer certifies the application as incomplete, the officer shall set forth in writing with specificity the missing or incomplete items.
 - 3. Timeframe for review. The reviewing authority shall render a decision on the final plan application within forty-five (45) days of the date the application is certified complete.
 - 4. Decision on final plan. An application filed in accordance with this article shall be approved by the administrative officer unless such application does not satisfy conditions set forth in the preliminary plan approval decision or such application does not have the requisite state and/or federal approval or other required submissions, does not post the required improvement bonds, or such application is a major modification of the plans approved at preliminary plan.
 - 5. Failure to act. Failure of the reviewing authority to act within the prescribed period constitutes approval of the final plan and a certificate of the administrative officer as to the failure to act within the required time and the resulting approval shall be issued on request of the applicant.

Bristol Zoning Ordinance – 2023 Amendments

6. Vesting. The approved final plan is vested for a period of two (2) years with the right to extend for one one-year extension upon written request by the applicant, who must appear before the planning board for the extension request. Thereafter, vesting may be extended for a longer period, for good cause shown, if requested, in writing by the applicant, and approved by the local review board.

Sec. 28-365. Modifications and changes to plans.

- a. Minor changes, as defined in the local regulations, to the plans approved at preliminary plan may be approved administratively, by the administrative officer, whereupon final plan approval may be issued. The changes may be authorized without additional public hearings, at the discretion of the administrative officer. All changes shall be made part of the permanent record of the project application. This provision does not prohibit the administrative officer from requesting a recommendation from either the technical review committee or the local review board. Denial of the proposed change(s) shall be referred to the local review board for review as a major change.
- b. Major changes, as defined in the local regulations, to the plans approved at preliminary plan may be approved only by the local review board and must follow the same review and public hearing process required for approval of preliminary plans.

Sec. 28-366. Required findings.

- a. Required findings for approval. In approving a preliminary plan application for a comprehensive permit, the local review board shall make positive findings, supported by legally competent evidence on the record which discloses the nature and character of the observations upon which the fact finders acted, on each of the following standard provisions, where applicable:
 1. The proposed development is consistent with local needs as identified in the comprehensive plan with particular emphasis on the affordable housing plan and/or has satisfactorily addressed the issues where there may be inconsistencies.
 2. The proposed development is in compliance with the standards and provisions of the zoning ordinance and subdivision regulations, and/or where adjustments are requested by the applicant, that local concerns that have been affected by the relief granted do not outweigh the state and local need for low- and moderate-income housing.
 3. All low- and moderate-income housing units proposed are integrated throughout the development; are compatible in scale and architectural style to the market rate units within the project; and will be built and occupied prior to, or simultaneous with the construction and occupancy of any market rate units.

Bristol Zoning Ordinance – 2023 Amendments

4. There will be no significant negative impacts on the health and safety of current or future residents of the community, in areas including but not limited to, safe circulation of pedestrian and vehicular traffic, provision of emergency services, sewerage disposal, availability of potable water, adequate surface water runoff, and the preservation of natural, historical, or cultural features that contribute to the attractiveness of the community.
5. All proposed land development and all subdivision lots will have adequate and permanent physical access to a public street.
6. The proposed development will not result in the creation of individual lots with any physical constraints to development that building on those lots according to pertinent regulations and building standards would be impracticable, unless created only as permanent open space or permanently reserved for a public purpose on the approved, recorded plans.
 - b. Required findings for denial. In reviewing the comprehensive permit request, the local review board may deny the request for any of the following reasons:
 1. The town has an approved affordable housing plan and is meeting housing needs, and the proposal is inconsistent with the affordable housing plan; provided that, the local review board also finds that the municipality has made significant progress in implementing the housing plan;
 2. The proposal is not consistent with local needs, including, but not limited to, the needs identified in an approved comprehensive plan, and/or local zoning ordinance and procedures promulgated in conformance with the comprehensive plan;
 3. The proposal is not in conformance with the comprehensive plan;
 4. The community has met or has plans to meet the goal of ten percent (10%) of the year-round units being low- and moderate-income housing provided that, the local review board also finds that the community has achieved or has made significant progress towards meeting the goals of the affordable housing plan; or
 5. Concerns for the environment and the health and safety of current residents have not been adequately addressed.
 - c. Infeasibility of Conditions of Approval. The burden is on the applicant to show, by competent evidence before the local review board, that proposed conditions of approval are infeasible, as defined in R.I. Gen. Laws § 45-53-3. Upon request, the applicant shall be provided a reasonable opportunity to respond to such proposed conditions prior to a final vote on the application.

Sec. 28-367 – 28-369. Reserved.

Bristol Zoning Ordinance – 2023 Amendments

Sec. 28-370. - Inclusionary zoning.

(a) *Applicability.* This section shall apply to all subdivisions of five or more units and all land development projects including new development and redevelopment of existing buildings, with five or more dwelling units, as classified under Bristol's Zoning Ordinance and Subdivision and Development Review Regulations. This section shall not apply to any project filed after January 1, 2024.

When a subdivision or land development project that creates fewer than five new dwelling units is approved on a portion of a parcel of land, leaving another portion of the same parcel undeveloped, the portion left undeveloped shall not be subdivided or developed for residential use unless the undeveloped portion is subject to the inclusionary requirements of this chapter. The number of inclusionary units required in the later development shall be calculated as if the earlier development were part of it. This provision does not apply when an entire parcel receives master plan approval and is developed in phases.

(b) *Affordability requirement.* For all applicable projects as defined in subsection 28-370(a), at least 20 percent of the units on site must qualify as affordable housing, as defined by this article. Fractions of a lot or dwelling unit shall be rounded up to the nearest whole number.

(c) *Design and building requirements.*

(1) All inclusionary units provided within a development shall:

- a. Be reasonably dispersed throughout the development.
- b. Be indistinguishable in appearance of quality of construction from the other units in the development.
- c. Contain a mix of bedrooms, up to and including three-bedroom units.
- d. Be compatible in architectural style to the market rate units within the project.
- e. Be built and occupied prior to, or simultaneous with the construction and occupancy of any market rate units.
- f. Where affordable housing units are proposed in the Metacom mixed use zone, these units shall not be located in a separate structure and must be located on the upper floors with commercial uses on the first floors.

(2) Any existing dwelling units proposed to be counted as inclusionary units must be in full compliance with all applicable construction and occupancy codes, and shall be sufficiently maintained or rehabilitated so that all major systems meet standards comparable to new construction.

(d) *Incentives.*

(1) *Reduction in minimum lot area.* All projects subject to this article shall be entitled to a density bonus allowing for reduction in the minimum lot area per dwelling unit in the development based upon the underlying zoning. The density bonus shall be 20 percent.

Bristol Zoning Ordinance – 2023 Amendments

(2) *Modification of lot dimensional requirements.* The density bonus shall correspond with a 20 percent decrease in the minimum front, rear and side yard setback requirements and a 20 percent decrease in the minimum frontage and lot width requirements of the Bristol Zoning Ordinance for the zoning district in which the property is located. Except in the R-6 zoning district where the front yard setback shall not be less than the average of the block.

(e) Reserved.

(f) *Off-site option.*

(1) *Off-site options.* The planning board at its sole discretion may allow any developer of an inclusionary project to comply with the requirements of subsection 28-370(b) through one of the following off-site exactions:

- a. Off-site rehabilitation of affordable units in existing buildings.
- b. Off-site new construction of affordable units.
- c. Donation of one or more parcels of land suitable for residential development to be held by the affordable housing trust fund.

(2) *Conditions.* Use of an off-site option shall be subject to the following conditions:

- a. Reserved.
- b. Off-site inclusionary units shall have a certificate of occupancy prior to, or simultaneous with the occupancy of any market rate units.
- c. New off-site units shall be compatible in architectural style to the existing units in the surrounding neighborhood.
- d. Renovated off-site units shall be in full compliance with all applicable construction and occupancy codes, and shall be sufficiently maintained or rehabilitated so that all major systems meet standards comparable to new construction.
- e. The planning board in its sole discretion may further condition the use of any off-site option.

(g) *Preference of options.*

(1) Reserved.

(2) Reserved.

(3) The following is the town's preferred progression of affordable housing options:

- a. *First preference.* Affordable units developed on-site.
- b. Reserved.
- c. *Second preference.* Off-site options:
 1. Off-site rehabilitation of affordable units in existing buildings.

Bristol Zoning Ordinance – 2023 Amendments

2. Off-site new construction of affordable units.

3. Donation of one or more parcels of land suitable for residential development to be held by the affordable housing trust fund.

(h) *Affordability requirements.* All affordable housing units constructed pursuant to this article must qualify as low- and moderate-income housing units as defined in RIGL Tit. 45, Ch. 53. To accomplish this, an applicant shall, at a minimum, make the following submission in conjunction with the final plan:

(1) A town approved monitoring service agreement, with a qualified organization; and,

(2) A town approved land lease and/or deed restriction that includes the town as a signatory, and grants to the town enforcement authority and the right to notice.

(3) A town approved marketing plan and residential selection plan for the low to moderate income units. The plan shall meet state and federal fair housing requirements and shall describe how the low or moderate income units will be marketed and potential homebuyers or tenants selected.

(4) *Local preference.* Priority shall be given in resident selection to local preference households for the low or moderate income units. "Local preference households" are to include those containing persons currently residing or employed in Bristol or hired to do so but not yet working within the town. They may include others such as persons having children, parents, or siblings who are residents of the town, if shown to be consistent with state and federal fair housing requirements.

(i) *Implementation of inclusionary unit provisions.* Implementation procedures, to be developed administratively by the town and approved by the planning board as part of the town's subdivision and development review regulations, shall further describe the submission requirements and review timelines for the inclusionary housing plan and inclusionary housing agreement.

* * *

Article XI. Administration, Enforcement and Relief

Amend as follows:

Sec. 28-408. Zoning board of review.

(f) Voting. The board shall be required to vote as follows:

(1) ~~Five~~ Four active members, ~~which may include alternates,~~ shall be necessary to conduct a hearing. As soon as a conflict occurs for a member, that member shall excuse himself, and shall not sit as an active member and shall take no part in the conduct of the hearing. ~~Only A~~ maximum of five active members, which may include alternates, shall be entitled to vote on any issue.

Bristol Zoning Ordinance – 2023 Amendments

(2) The concurring vote of ~~three of the five~~ a majority of members of the board sitting at a hearing shall be necessary to reverse any order, requirement, decision or determination of the historic district commission, the planning board, or any administrative officer or agency from whom an appeal was taken.

(3) The concurring vote of ~~four of the five~~ a majority of members of the board sitting at a hearing shall be required to decide in favor of an applicant on any matter within the discretion of the board upon which it is required to pass under this chapter, including variances and special use permits.

Sec. 28-409. Variances and special use permits.

* * *

(b) *Hearing and notice.* The zoning board shall immediately upon receipt of an application for a use variance or special use permit, request that the planning board report its findings and recommendations, including a statement on the general consistency of the application with the goals and purposes of the comprehensive plan of the town, in writing to the board. The planning board may, but need not, hold a public hearing on any such request to the zoning board not later than 30 days from receipt of the request by the planning board. The planning board may also delegate the review of such requests to its technical review committee pursuant to RIGL § 45-23-32(52). The zoning board shall hold a public hearing on any application for variance or special use permit in an expeditious manner after receipt in proper form of an application and the planning board recommendation, provided such recommendation is received within the specified 30 days. The zoning board shall give public notice thereof at least 14 days prior to the date of the hearing in a newspaper of ~~general~~ local circulation in the town. The same notice shall be posted in the town clerk's office and one other municipal building and shall be accessible on the home page of the town's website at least fourteen (14) days prior to the hearing. Notice of this hearing, including at least the substance of the application and the street address of the subject property, shall be sent by first class mail to the applicant and to:

(1) All owners of real property whose property is located within 200 feet of the perimeter of the subject property, if any part of the subject property is located in the D, W, LB or R-6 zones; or

(2) All owners of real property whose property is located within 300 feet of the perimeter of the subject property, if any part of the subject property is located in any zone other than the zones set forth in subsection 28-409(b)(1) of this section; and

(3) To the town council of any town to which one or more of the following pertain:

a. Which is located within 200 or 300 feet, as set forth in subsections 28-409(b)(1) and (2) of this section, of the boundary of the subject property; or

b. Where there is a public or quasi-public water source, or private water source that is used or is suitable for use as a public water source, within 2,000 feet of any part of the subject property, regardless of municipal boundaries; and

Bristol Zoning Ordinance – 2023 Amendments

(4) To the governing body of any state or municipal water department or agency, special water district, or private water company that has riparian rights to a surface water resource and/or surface watershed that is used, or is suitable for use, as a public water source and that is within 2,000 feet of any part of the subject property; provided, however, that the governing body of any state or municipal water company has filed with the director in the town a map survey, which shall be kept as a public record, showing areas of surface water resources and/or watersheds and parcels of land within 2,000 feet thereof.

Such notice as is required in subsections 28-409(b)(1) and (2) of this section shall be sent whether or not the noticed land is within the town or within an adjacent town. No defect in the form of any notice under this section shall render any variance, special use permit or decision on appeal, invalid, unless such defect is found to be intentional or misleading. For any notice sent by first-class mail, the sender of the notice shall submit a notarized affidavit to attest to such mailing.

(c) Standards for relief. The following shall be standards for relief:

(1) Variance. In granting a variance, the board shall require that evidence to the satisfaction of the following standards be entered into the record of the proceedings:

a. That the hardship from which the applicant seeks relief is due to the unique characteristics of the subject land or structure and not to the general characteristics of the surrounding area, and not due to an economic disability of the applicant;

b. That such hardship is not the result of any prior action of the applicant ~~and does not result primarily from the desire of the applicant to realize greater financial gain;~~

c. That the granting of the requested variance will not alter the general characteristic of the surrounding area or impair the intent or purpose of this chapter or the comprehensive plan of the town;

~~d. That the relief to be granted is the least relief necessary;~~

e d. The board shall, in addition to the above standards, require that evidence be entered into the record of the proceedings showing that:

1. In granting a use variance, the subject land or structure cannot yield any beneficial use if it is required to conform to the provisions of this chapter. Nonconforming use of neighboring land or structures in the same district and permitted use of land or structures in an adjacent district shall not be considered grounds for granting a use variance; and

2. In granting a dimensional variance, that the hardship that will be suffered by the owner of the subject property if the dimensional variance is not granted shall amount to more than a mere inconvenience, meaning that relief sought is minimal to a reasonable enjoyment of the permitted use to which the property is proposed to be devoted. The fact that a use may be more profitable or that a structure may be more valuable after the relief is granted shall not be grounds for relief.

* * *

Bristol Zoning Ordinance – 2023 Amendments

Add the following:

Sec. 28-414. Unified development review.

- a. Unified development review established. There shall be unified development review for the issuance of variances and special use permits for properties undergoing review by development plan review and/or land development or subdivision review.
- b. Public hearing. All land development and subdivision applications, and development plan review applications that include requests for variances and/or special-use permits submitted pursuant to this section, shall require a public hearing.
- c. In granting requests for dimensional and use variances, the planning board shall be bound to the requirements of Sec. 28-409(c)(1) relative to entering evidence into the record in satisfaction of the applicable standards.
- d. In reviewing requests for special use permits the planning board shall be bound to the conditions and procedures under which a special use permit may be issued and the criteria for the issuance of such permits, as found within the zoning ordinance at Sec. 28-409(c)(2), and shall be required to provide for the recording of findings of fact and written decisions as described in the zoning ordinance pursuant to Sec. 28-408(i).
- e. Appeals. An appeal from any decision made pursuant to this section may be taken pursuant to RIGL 45-23-71.

* * *

This ordinance shall take effect on January 1, 2024.

Section 28-82 Table A PERMITTED USE TABLE NOVEMBER 1, 2023 Revised Per Planning Board Review November 9 and 21, 2023

ZONING DISTRICTS	R-80	R-40	R-20	R-15	R-10 R-10SW R-8	R-6	LB	GB	D	W+	M	OS	EI	HPC	MMU	PI
AGRICULTURAL																
Gardening and raising of crops	Y	Y	Y	Y	Y	Y	Y	Y	N	N	Y	Y	Y	Y	Y	Y
Nursery or greenhouse/agricultural (without sales on premises)	Y	Y	Y	Y	N	N	Y	Y	N	N	N	Y	N	Y	Y	N
Nursery or greenhouse/commercial (with sales on premises)	S_*	S_*	S_*	S_*	N	N	Y	Y	N	N	N	S_*	N	N	Y	N
Nursery or greenhouse/nonprofit (with sales on premises)	S_*	S_*	S_*	S_*	N	N	Y	Y	N	N	N	S_*	N	Y	Y	N
Raising of animals for profit or consumption	S*	S*	S*	S*	N	N	N	N	N	N	N	Y	N	Y	N	N
Keeping of chicken hens+++	S*	S*	S*	S*	N	N	N	N	N	N	N	Y	N	Y	N	N
Keeping of non-domesticated animals as pets	S*	S*	S*	N	N	N	N	N	N	N	N	Y	N	Y	N	N

ZONING DISTRICTS	R-80	R-40	R-20	R-15	R-10 R- 10SW R-8	R-6	LB	GB	D	W+	M	OS	EI	HPC	MMU	PI
Keeping of non-household domesticated animals	S*	S*	S*	S*	N	N	N	N	N	N	N	Y	N	Y	N	N
Agricultural promotion uses as part of an agricultural operation on a farm lot: on-site retail of farm products, roadside stand, light food processing, farm demonstration and educational projects, pick your own produce, cafe/limited food service	Y	Y	Y	Y	Y	N	N	N	N	N	N	Y	N	N	N	N
Seasonal attractions up to 4 times a year with a permit by the zoning enforcement officer in accordance with the standards of section 28-157	Y	Y	Y	Y	Y	N	N	N	N	N	N	Y	N	N	N	N
Farm brewery, farm winery, farm cidery as part of an agricultural operation on a farm lot	S-Y	S-Y	S-Y	S-Y	N	N	N	N	N	N	N	S-N	N	N	N	N

(Supp. No. 50)

ZONING DISTRICTS	R-80	R-40	R-20	R-15	R-10 R- 10SW R-8	R-6	LB	GB	D	W+	M	OS	EI	HPC	MMU	PI
RESIDENTIAL																
Single household dwelling	Y	Y	Y	Y	Y	Y	Y	N	Y	Y	N	N	N	N	N	N
Two household dwelling	N	N	Y(1)	Y(1)	Y	Y	Y	N	Y	Y	N	N	N	N	N	N
Multi-household dwelling	N	N	N	N	N	Y	Y	N	Y	Y	N	N	N	N	Y; on upper floors of building only	N
Bed and breakfast	N	Y	Y	Y	Y	Y	N	N	Y	Y	N	N	N	Y	Y	N
Country inn with 5—10 rooms in one or more buildings with meals to guests only	N	N	N	N	N	N	N	N	SN	S-N	N	N	N	Y	N	N
Dormitory	N	N	N	N	N	NS	N	N	S	N	N	N	Y	N	N	N
Nursing home	N	N	N	S*	S*	Y	Y	S*	S*	N	N	N	N	N	Y	N
Congregate care facility	N	N	N	S*	S*	Y	Y	S*	S*	N	N	N	N	N	Y	N

(Supp. No. 50)

Created: 2023-08-17 09:32:10 [EST]

ZONING DISTRICTS	R-80	R-40	R-20	R-15	R-10 R- 10SW R-8	R-6	LB	GB	D	W+	M	OS	EI	HPC	MMU	PI
Hotel	N	N	N	N	N	N	S_*	Y	Y	Y	N	N	N	N	Y	N
Motel	N	N	N	N	N	N	N	S_*	N	N	N	N	N	N	S_*	N
Manufactured home	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N
Manufactured home park	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N
Community residence	Y	Y	Y	Y	Y	Y	Y	N	Y	Y	N	N	Y	N	Y	N
Lodging/boarding house:													Y			N
5 rooms or less	N	N	N	N	N	Y	S_*	N	Y	Y	N	N	N		S_*	N
Over 5 rooms	N	N	N	N	N	S_*	S_*	N	S_*	S_*	N	N	N		S_*	N
INSTITUTIONAL AND GOVERNMENTAL SERVICES																
Medical clinic	N	N	N	N	N	N	Y	Y	Y	N	N	N	Y	N	Y	N
Hospital	N	N	N	N	N	N	S_N	S_*	S_N	N	N	N	N	N	S_*	N
Drug and alcohol rehabilitation facility	S_*	S_*	N	N	N	S_*	S_*	Y	S_*	N	N	N	N	N	S_*	N
Halfway house	N	N	N	N	N	S_*	N	N	S_*	N	N	N	N	N	N	N

	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
Family day care home with 6 or less persons	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
ZONING DISTRICTS	R-80	R-40	R-20	R-15	R-10 R-10SW R-8	R-6	LB	GB	D	W+	M	OS	EI	HPC	MMU	PI			
Day care facility with more than 6 persons	N	N	N	N	N	S_*	Y	Y	Y	Y	N	N	Y	N	Y				N
Prison or correctional facility	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N
Cemetery	S_*	S_*	S_*	S_*	N	N	N	N	N	N	N	S_*	N	S_*	N	N	N	N	Y
Church, synagogue or religious educational building	S*	S*	S*	S*	S*	S*	Y	Y	Y	Y	N	N	Y	Y	Y	Y	Y	Y	Y
Monastery/convent active or retirement home	S_* Y	S_* Y	Y	S_* Y	S_* Y	Y	Y	Y	Y	N	N	N	Y	Y	Y	Y	N	N	N
Government-run veterans home(2)	N	N	N	N	N	N	N	N	N	N	N	N	N	Y	N	N	N	N	N
Civic/convention center and assembly hall	N	N	N	N	N	S_*	Y	Y	Y	Y	N	N	Y	N	Y	Y	Y	Y	Y
Library	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	N	N	Y	N	Y	Y	Y	Y	Y
Post office	N	N	N	N	N	N	N	N	Y	N	N	N	N	N	N	N	N	N	N
Museum, nonprofit	S_*	S_*	S_*	S_*	S_*	S_*	Y	Y	Y	Y	S_*	N	Y	Y	Y	Y	Y	Y	Y

SERVICE BUSINESS																
ZONING DISTRICTS	R-80	R-40	R-20	R-15	R-10 R- 10SW R-8	R-6	LB	GB	D	W+	M	OS	EI	HPC	MMU	PI
Restaurant, cafe, or deli with or without liquor sales	N	N	N	N	N	N	Y S*	Y	Y	Y	N	N	N	N	Y	N
Brew pub	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y	N
Restaurant, cafe, or deli with liquor sales	N	N	N	N	N	N	S	Y	Y	Y	N	N	N	N	S	N
Drive-thru restaurant	N	N	N	N	N	N	N	S*	N	N	N	N	N	N	S*	N
Fast food restaurant	N	N	N	N	N	N	S_*	Y	Y	Y	N	N	N	N	S_*	N
Tavern/bar/nightclub	N	N	N	N	N	N	S_*	Y	Y	Y	N	N	N	N	Y	N
Funeral home	N	N	N	N	N	S_*	Y	Y	Y	N	N	N	N	N	Y	N
<u>Crematory</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
Gasoline service station	N	N	N	N	N	N	S*	S*	N	N	N	N	N	N	S*	N
Catering	N	N	N	N	N	N	Y	Y	Y	Y	S *Y	N	N	N	Y	N
Massage therapist	N	N	N	N	N	N	Y	Y	Y	Y	S N	N	N	N	Y	N
Tattoo parlor	N	N	N	N	N	N	N	Y	N	N	N	N	N	N	N	N
Sign painting	N	N	N	N	N	N	S Y	Y	S N	Y S	Y	N	N	N	S Y	N

(Supp. No. 50)

Created: 2023-08-17 09:32:10 [EST]

ZONING DISTRICTS	R-80	R-40	R-20	R-15	R-10 R-10SW R-8	R-6	LB	GB	D	W+	M	OS	EI	HPC	MMU	PI
Car wash	N	N	N	N	N	N	N	S*	N	N	N	N	N	N	S*	N
Self-service storage facility (mini storage)	N	N	N	N	N	N	N	S-N	N	N	S*	N	N	N	N	N
Auto repair, minor	N	N	N	N	N	N	S*	S*	N	N	Y	N	N	N	S*	N
Laundry, self-service	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y	N
Dry-cleaning without on-site plant	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y	N
Gunsmith (gun repair)	N	N	N	N	N	N	N	Y	N	N	S-Y	N	N	N	S-N	N
Bakery	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y	N
Appliance repair	N	N	N	N	N	N	Y	Y	Y	S-Y	Y	N	N	N	Y	N
Mechanical equipment repair	N	N	N	N	N	N	Y	Y	Y	S-Y	Y	N	N	N	Y	N
Printing, blueprinting and photocopying	N	N	N	N	N	N	Y	Y	Y	Y	Y	N	N	N	Y	N
Artist work or sale space (studio/gallery)	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	Y	Y	Y, within decommissioned school buildings only

(Supp. No. 50)

ZONING DISTRICTS	R-80	R-40	R-20	R-15	R-10 R- 10SW R-8	R-6	LB	GB	D	W+	M	OS	EI	HPC	MMU	PI
Artisan manufacturing and production and sale space	N	N	N	N	N	N	Y	Y	N	Y	Y	N	N	Y	Y	Y; within decommissioned school buildings only
Photographic development	N	N	N	N	N	N	Y	Y	Y	Y	Y	N	N	N	Y	N
Hairdresser/barber	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y	N
Pet grooming	N	N	N	N	N	N	Y	Y	N	N	N	N	N	N	Y	N
Commercial or technical trades school	N	N	N	N	N	N	S*	S*	N	S*	Y	N	N	N	N	Y; within decommissioned school buildings only
Adult entertainment	N	N	N	N	N	N	N	N	N	Y (4)	N	N	N	N	N	N
Conference center	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	Y	Y	Y
Contract construction service	N	N	N	N	N	N	S*	S*	N	S*	Y	N	N	N	N	N
Kennel and Animal Care	N	N	N	N	N	N	S*	S*	N	N	Y	N	N	N	N	N
RETAIL BUSINESS																
Antique store	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y	N

(Supp. No. 50)

Created: 2023-08-17 09:32:10 [EST]

ZONING DISTRICTS	R-80	R-40	R-20	R-15	R-10 R- 10SW R-8	R-6	LB	GB	D	W+	M	OS	EI	HPC	MMU	PI
Appliance store	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y	N
Auto parts sales, new	N	N	N	N	N	N	S-Y	Y	S	N	N	N	N	N	Y	N
Auto sales	N	N	N	N	N	N	N	Y	N	N	N	N	N	N	Y	N
Bait shop	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y	N
Bakery	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y	N
Book store	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y	N
Book store/cafe	N	N	N	N	N	N	Y	Y	Y	Y	N	N	Y	N	Y	N
Car rental	N	N	N	N	N	N	N	Y	Y	N	N	N	N	N	S-Y	N
Clothing sales	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y	N
Convenience store	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y	N
Florist	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y	N
Furniture store	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y	N
Gunsmith (sales)	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N
General merchandise store	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y	N
Gift shop	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y	N

(Supp. No. 50)

Created: 2023-08-17 09:32:10 [EST]

ZONING DISTRICTS	R-80	R-40	R-20	R-15	R-10 R- 10SW R-8	R-6	LB	GB	D	W+	M	OS	EI	HPC	MMU	PI
Grocery store	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y	N
Liquor store	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y	N
Mechanical equipment sales	N	N	N	N	N	N	N	Y	N	N	S_*	N	N	N	Y	N
Newsstand	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y	N
Pet store	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y	N
Pharmacy	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y	N
Variety store	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y	N
Lumber/building products	N	N	N	N	N	N	N	Y	N	N	N	N	N	N	N	N
WHOLESALE BUSINESS																
Wholesale trade within enclosed structure	N	N	N	N	N	N	N	Y	N	Y	Y	N	N	N	Y	N
Wholesale trade, outdoor storage	N	N	N	N	N	N	N	S_*	N	N	S_*	N	N	N	S_*	N

ZONING DISTRICTS	R-80	R-40	R-20	R-15	R-10 R- 10SW R-8	R-6	LB	GB	D	WT	M	OS	EI	HPC	MMU	PI
Outdoor storage of junk, scrap, or salvage material, including junkyards	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N
Warehouse/distribution facility	N	N	N	N	N	N	N	S_*	N	N	Y	N	N	N	S_*	N
Air-supported structure	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N
Reclamation facility	N	N	N	N	N	N	N	N	N	N	S_*	N	N	N	N	N
SERVICE INDUSTRIES																
Dry-cleaning plant	N	N	N	N	N	N	N	S_*	N	N	Y	N	N	N	NS	N
Automotive body repair, major	N	N	N	N	N	N	N	S*	N	N	Y	N	N	N	S*	N
INDUSTRIAL																
Food and kindred products-manufacturing including canning or packaging	N	N	N	N	N	N	N	S_*	N	N	S_*	N	N	N	N	N
Large brewery	N	N	N	N	N	N	N	N	N	N	Y	N	N	N	N	N

ZONING DISTRICTS	R-80	R-40	R-20	R-15	R-10 R- 10SW R-8	R-6	LB	GB	D	W+	M	OS	EI	HPC	MMU	PI
Microbrewery	N	N	N	N	N	N	N	S Y	S Y	S Y	S Y	N	N	N	N	N
Processing of bakery products	N	N	N	N	N	N	S*	Y	N	N	Y	N	N	N	S*	N
Textile mill products and apparel manufacturing	N	N	N	N	N	N	N	N	N	N	Y	N	N	N	N	N
Cosmetics manufacturing	N	N	N	N	N	N	N	N	N	N	Y	N	N	N	N	N
Lumber and wood products, furniture and fixtures manufacturing	N	N	N	N	N	N	N	N	N	N	Y	N	N	N	N	N
Paper and allied products, printing, and publishing, including refinishing	N	N	N	N	N	N	N	N	N	N	Y	N	N	N	N	N
Chemicals and allied products manufacturing	N	N	N	N	N	N	N	N	N	N	S N	N	N	N	N	N
Leather and fur tanning and finish	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N

ZONING DISTRICTS	R-80	R-40	R-20	R-15	R-10 R- 10SW R-8	R-6	LB	GB	D	W+	M	OS	EI	HPC	MMU	PI
Rubber and miscellaneous plastic products-manufacturing	N	N	N	N	N	N	N	N	N	N	Y	N	N	N	N	N
Stone, clay, and glass products manufacturing	N	N	N	N	N	N	S <u>S</u> *	S *	S <u>S</u> *	N	Y	N	N	N	S <u>S</u> *	N
Pottery products manufacturing	N	N	N	N	N	N	Y	Y	S <u>S</u> *	S <u>S</u> *	Y	N	N	N	Y	N
Cement, lime, gypsum, or plaster of Paris manufacturing	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N
Fabricated metal products-manufacturing	N	N	N	N	N	N	N	N	N	S <u>N</u>	Y	N	N	N	N	N
Drop forge industries, manufacturing forgings with power hammers	N	N	N	N	N	N	N	N	N	N	S *	N	N	N	N	N
Machinery and machine parts manufacturing	N	N	N	N	N	N	N	N	N	S <u>N</u>	Y	N	N	N	N	N
Wire and cable manufacturing	N	N	N	N	N	N	N	N	N	N	Y	N	N	N	N	N

(Supp. No. 50)

Created: 2023-08-17 09:32:10 [EST]

ZONING DISTRICTS	R-80	R-40	R-20	R-15	R-10 R-10SW R-8	R-6	LB	GB	D	W+	M	OS	EI	HPC	MMU	PI
Transportation equipment manufacturing	N	N	N	N	N	N	N	N	N	N	Y	N	N	N	N	N
Boat building including fiberglass and steel	N	N	N	N	N	N	N	N	N	N	Y	N	N	N	N	N
Boat building (wooden boats only)	N	N	N	N	N	N	N	N	N	Y	Y	N	N	N	N	N
Marine trade industries	N	N	N	N	N	N	N	S*	N	S*	Y	N	N	N	S*	N
Instruments and scientific equipment manufacturing	N	N	N	N	N	N	N	S_*	N	Y	Y	N	N	N	S_*	N

ZONING DISTRICTS	R-80	R-40	R-20	R-15	R-10 R-10SW R-8	R-6	LB	GB	D	W+	M	OS	EI	HPC	MMU	PI
Jewelry, silverware, plated ware, costume jewelry manufacturing	N	N	N	N	N	N	N	N	N	S-N	Y	N	N	N	N	N
Manual assembly of jewelry parts and crafts	N	N	N	N	N	N	N	Y	Y	S-Y	Y	N	N	N	N	N
Lighting manufacturing	N	N	N	N	N	N	N	N	N	S-N	Y	N	N	N	N	N
Plating of jewelry and other metals	N	N	N	N	N	N	N	N	N	N	Y	N	N	N	N	N
Extractive industry	N	N	N	N	N	N	N	N	N	N	S-N	N	N	N	N	N
Pump station	Y	Y	Y	Y	Y	S*	Y	Y	S*	S*	S*	N	Y	N	Y	Y
Sewage treatment plant	S*	S*	S*	S*	S*	S*	S*	S*	S*	S*	Y	N	S*	N	S*	Y
Sludge compost facility, public	N	N	N	N	N	N	N	N	N	N	Y	N	N	N	N	Y
Recycling facility, indoor	N	N	N	N	N	N	N	N	N	N	Y	N	N	N	N	Y
Landfill, public	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	Y
RECREATION																

ZONING DISTRICTS	R-80	R-40	R-20	R-15	R-10 R- 10SW R-8	R-6	LB	GB	D	W+	M	OS	EI	HPC	MMU	PI
Camp for children, including music or art camp	Y	Y	S ₋ *	S ₋ *	S ₋ *	S ₋ *	S ₋ *	N	N	N	N	Y	S ₋ *	Y	N	Y; within decommissioned school buildings only
Campground	S ₋ *	S ₋ *	N	N	N	N	N	N	N	N	N	S ₋ *	N	S ₋ *	N	N
Riding stable	S ₋ *	S ₋ *	S ₋ N	S ₋ N	N	N	N	N	N	N	N	Y	S ₋ *	Y	N	N
Golf course	Y ₋ N	Y ₋ N	Y ₋ N	Y ₋ N	N	N	N	N	N	N	S ₋ N	Y	N	Y	N	N
Golf driving range	N	N	N	N	N	N	N	S ₋ S ₋ *	N	N	S ₋ N	N	N	N	N	N
Miniature golf course	N	N	N	N	N	N	S ₋ Y	Y	N	N	N	N	N	N	S ₋ Y	N
Bowling alley	N	N	N	N	N	N	S ₋ Y	Y	Y _S	N	N	N	S ₋ Y	N	Y	N
Skating/rolling rink	N	N	N	N	N	N	S ₋ Y	Y	S ₋ Y	N	S ₋ N	N	S ₋ Y	N	Y	Y
Billiards parlor	N	N	N	N	N	N	S ₋ Y	Y	Y	Y	N	N	S ₋ Y	N	Y	N
Health club	N	N	N	N	N	N	S ₋ *	Y	Y	Y	N	N	N	N	Y	N

ZONING DISTRICTS	R-80	R-40	R-20	R-15	R-10 R-10S 10SW R-8	R-6	LB	GB	D	W+	M	OS	EI	HPC	MMU	PI
Theater	N	N	N	N	N	N	S*	Y	Y	Y	N	N	Y	N	Y	Y; within decommissioned school buildings only
Playground/park	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	N	Y	Y	Y	Y	Y
Open space	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
Recreational or athletics school	N	N	N	N	N	N	Y	Y	Y	Y	N	N	S	S-Y	S-Y	Y
Nonprofit community or education center	S-N	S-N	S-N	S-N	S-N	S-Y	Y	Y	Y	Y	N	Y	Y	Y	Y	Y
Boatyard/marina	S*	S*	S*	S*	N	N	N	N	N	Y	Y	N	N	N	N	N
Yacht club	S*	S*	S*	S*	N	N	N	N	N	Y	N	N	N	N	N	N
Air-supported structure	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N
ACCESSORY USES++																
Prefabricated relocatable steel buildings, box trailers, or shipping or cargo containers	S*(5)	S*(5)	S*(5)	S*(5)	S*(5)	S*(5)	S*(5)	S*(5)	N	N	S*(5)	N	N	N	S*(5)	N

ZONING DISTRICTS	R-80	R-40	R-20	R-15	R-10 R- 10SW R-8	R-6	LB	GB	D	W+	M	OS	EI	HPC	MMU	PI
Above ground propane tanks larger than 500 gallons	N	N	N	N	N	N	N	S*	N	N	S*	N	N	N	N	N
Outdoor wood boiler(6)	Y	Y	Y	Y	Y	N	N	Y	N	N	Y	Y	Y	Y	Y	N
Wireless telecommunications antenna on an existing structure, subject to section 28-147	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	S

ZONING DISTRICTS	R-80	R-40	R-20	R-15	R-10 R- 10SW R-8	R-6	LB	GB	D	W+	M	OS	EI	HPC	MMU	PI
Wireless telecommunications facility, including tower, subject to sections 28-147 and 28-150	N	N	N	N	N	N	S*	S*	S*	S*	S*	S*	S*	S*	S*	S*
Drive-thrus	N	N	N	N	N	N	N	S*	N	N	N	N	N	N	S*	N
Gift shop	N	N	N	N	N	N	N	N	N	N	N	N	N	Y	N	N
Administrative services	N	N	N	N	N	N	N	N	N	N	N	N	N	Y	N	N
Caretaker's residence	N	N	N	N	N	N	N	N	N	N	N	Y(7)	N	(See section 28-356 et seq.)	N	N
MEDICAL MARIJUANA/CANNABIS RELATED USES																
Compassion center	N	N	N	N	N	N	N	S*	N	N	N	N	N	N	N	
Medical marijuana cultivation center	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	
Medical marijuana emporium	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	
Cannabis retailer/hybrid cannabis retailer	N	N	N	N	N	N	N	S*	N	N	N	N	N	N	N	

ZONING DISTRICTS	R-80	R-40	R-20	R-15	R-10 R- 10SW R-8	R-6	LB	GB	D	W+	M	OS	EI	HPC	MMU	PI
Cannabis cultivator	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	
Cannabis product manufacturer	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	
Cannabis testing laboratory	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	
UTILITIES																
Accessory use solar energy system, subject to sections 28-158 through 28-160	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	N	Y	Y	Y	Y
Accessory use solar canopy over parking lot (parking lot would be principal use)	N	N	N	N	N	N	N	Y	N	N	Y	N	Y	N	Y	N
Principal use solar energy system	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N
Ground mounted solar	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N

ZONING DISTRICTS	R-80	R-40	R-20	R-15	R-10 R-10S R-8	R-6	LB	GB	D	W+	M	OS	EI	HPC	MMU	PI
Large-scale ground-mounted solar photovoltaic facility, located on a remediated and restricted contamination site or a contaminated site pending remediation, as a major land development project subject to sections 28-286 through 28-291	N	N	N	N	N	N	S*	S*	S*	S*	S*	N	S*	N	S*	N
Large-scale ground-mounted solar photovoltaic facility on a closed and capped landfill subject to sections 28-286 through 28-290	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	Y

Notes:

* See special use standards in section 28-150.

+ In the W (waterfront) zone, other than for single, two-family, three-family, four-family dwellings or in an urban rehab land development project; retail business, office uses, marine trades industries, restaurants, cafes, and/or delis are required on the first floor within 50 feet of the front lot line.

++ See section 28-356 et seq. for additional language regarding accessory uses in the HPC zone.

+++ See section 28-150(e) et seq. for ~~additional language~~standards regarding the keeping of chicken hens.

See sections 28-150(h) and 28-281 for formula business (as defined in section 28-1) in the historic district zone which also require a special use permit.

(1) Two household dwellings may be permitted in the R-15 and R-20 zoning districts provided that at least one unit is deed restricted as an affordable housing unit under the Low to Moderate Income Housing Act.

(2) On state-owned land.

(3) Except as provided per section 28-153, home occupations.

(4) Only if not within 200 feet from a residential zone or residential use.

(5) Not more than one prefabricated relocatable steel building, box trailer or shipping or cargo container shall be permitted as of right for a single period of no longer than 60 days as a temporary use of any property by the property owner. The temporary use must first be approved by a permit from the building official and zoning enforcement officer to ensure compliance with standards of section 28-150(i). During that 60-day period, a property owner may apply to the zoning board for a special use permit to maintain the structure for an extended period of time.

(6) See chapter 10, article V of the Bristol Town Code for additional regulation of outdoor wood boilers.

(7) One dwelling for a caretaker may be constructed if the property has more than 20 acres.

(Ord. No. 2013-15, 10-9-13; Ord. No. 2015-15, 12-16-15; Ord. No. 2017-03, 4-26-17; Ord. No. 2018-12, 7-11-18; Ord. No. 2018-18, 2-6-19; Ord. No. 2019-07, 6-26-19; Amend. of 1-27-21; Ord. No. 2022-12, 11-16-22)

THIS PAGE INTENTIONALLY BLANK

(Supp. No. 50)

Created: 2023-08-17 09:32:10 [EST]

Amended Special Use Permit Standards
As Adopted by Bristol Town Council December 6, 2023

~~Section 28-150 (e) Special Use Standards for Keeping of non-domesticated animals and non-household domesticated animals kept as pets and/or for profit or consumption~~

- ~~(1) The animals and their shelters must be kept a minimum of 40 feet from all lot lines.~~
- ~~(2) No animals or their quarters may be kept in the front yard.~~
- ~~(3) No more than three non-domesticated animals or non-household domesticated animals may be kept on any one property, except that up to six chicken hens may be kept on any one property. As part of the granting of a special use permit the zoning board may allow more animals if neighborhood conditions are appropriate.~~
- ~~(4) Parcels qualifying (or simply meeting the definition of) as farms under the Rhode Island Department of Environmental Management (RIDEM) Farm, Forest, and Open Space Act are exempt from the provisions of subsection (2), above.~~

Section 28-150 (e) Special Use Standards for Raising of animals for profit or consumption, keeping of non-domesticated animals as pets, and, keeping of non-household domesticated animals

- 1. Keeping of non-domesticated animals and non-household domesticated animals are permitted in the rear yard only.
- 2. The keeping of non-domesticated animals and non-household domesticated animals shall be by an owner-occupant of the property which shall consist of a minimum of one acre of lot area.
- 3. Shelters and enclosures must be kept a minimum of fifty (50) feet from all lot lines. However, the Board may allow less than that if the abutting zone is other than residential or limited business.
- 4. Non-domesticated animals and non-household domesticated animals are not allowed in a residence, porch or attached garage, or to run free.
- 5. No more than three non-domesticated animals or non-household domesticated animals may be kept on any one property.
- 6. Parcels qualifying as farms under the Rhode Island Department of Environmental Management (RIDEM) Farm, Forest, and Open Space Act are exempt from the provisions of subsection (2), above.

Section 28-150 (n) Special Use Permit Standards for Nursery or Greenhouse (commercial or nonprofit) with sales on premises

- 1. The on-site sales area shall be delineated on a site plan drawn to scale to show locations of merchandise sales and customer parking. All parking and merchandise pickup areas shall be on the subject property and not impede pedestrian or vehicular traffic on adjacent public streets.
- 2. Outdoor sales areas shall be separate from customer parking areas with a physical barrier.
- 3. Hours of operation for on-site sale shall be limited to between 10:00 am and 7:00 pm unless approved otherwise by specific use permit.

*Amended Special Use Permit Standards
As Adopted by Bristol Town Council December 6, 2023*

Section 28-150 (o) Special Use Permit Standards for Keeping of chicken hens

1. Chicken coops and runs are permitted in the rear yard only.
2. Chicken coops and runs shall must be kept a minimum of forty (40) feet from all lot lines. However, the Board may allow less than that if the abutting zone is other than residential or limited business.
3. Chickens are not allowed in a residence, porch or attached garage, or to run free.
4. One chicken hen is permitted per each 800 square feet of total lot area, up to a maximum of six hens on any lot.
5. The owner of the hens shall be a resident of the dwelling on the lot.
6. Roosters are prohibited. However, if the sex of a chick cannot be determined at hatching, a chick of either sex may be kept on the property for up to six months.
7. All hens shall be confined between the hours of 9:00 p.m. and 8:00 a.m.
8. All hens shall be provided with both a chicken coop and a fenced outdoor enclosure, subject to the following provisions:
 - a. The chicken coop shall provide a minimum of two square feet per hen.
 - b. An outside, enclosed run is permitted. The run should be no larger than one hundred (100) square feet, and it must be attached to the coop.
 - c. The chicken coop and fenced enclosure shall be kept in good repair, maintained in a clean and sanitary condition, and free of vermin, obnoxious smells, and substances. The facility shall be adequately lit and ventilated.
 - d. The chicken coop shall be designed to ensure the health and well-being of the hens, including protection from predators, the elements, and inclement weather.
9. All manure shall be composted in enclosed bins.
10. Slaughtering of chickens on-site is prohibited.

Section 28-150 (p) Special Use Permit Standards for Nursing Home

1. Must have sufficient parking to meet minimum requirements of 28-252(6).
2. Resident and visitor parking to be screened by fence or vegetation from neighboring residential uses.
3. There shall be a designated drop off area for residents and visitors near an entrance to the building with a queuing area that does not block off-street vehicle parking spaces.
4. Service and delivery entrances for cooking and maintenance facilities must be located a minimum 75 feet from adjacent residential properties.
5. Service and delivery parking/loading areas must be separate from vehicle parking areas and located adjacent to facilities such as kitchen and maintenance garage entrances.
6. A parking and circulation plan shall be provided showing safe circulation for vehicles and pedestrian with clearly marked crosswalks where appropriate.
7. Nursing homes must have direct access from collector or arterial street and not a local neighborhood street.
8. When adjacent to a residential use, the following conditions must be met:

*Amended Special Use Permit Standards
As Adopted by Bristol Town Council December 6, 2023*

- a. A minimum of 25 feet of landscape buffer from adjacent residential; or a minimum of 15 feet of landscape buffer with a 6-foot-tall solid fence
 - b. Building signage must face the right-of-way or an internal parking lot. Building signage cannot face any adjacent residential property. If the residential property is across a public right-of-way, building signage facing the property is allowed.
9. Outdoor lighting must be fully shielded, hooded and cannot trespass onto any adjacent property.

Section 28-150 (q) Special Use Permit Standards for Congregate Care Facilities

1. Must have sufficient parking to meet minimum requirements of 28-252(6).
2. Resident and visitor parking to be screened by fence or vegetation from neighboring residential uses.
3. There shall be a designated drop off area for residents and visitors near an entrance to the building with a queuing area that does not block off-street vehicle parking spaces.
4. Service and delivery entrances for cooking and maintenance facilities must be located a minimum 75 feet from adjacent residential properties.
5. Service and delivery parking/loading areas must be separate from vehicle parking areas and located adjacent to facilities such as kitchen and maintenance garage entrances.
6. A parking and circulation plan shall be provided showing safe circulation for vehicles and pedestrian with clearly marked crosswalks where appropriate.
7. Congregate Care Facilities must have direct access from collector or arterial street and not a local neighborhood street.
8. When adjacent to a residential use, the following conditions must be met:
 - a. A minimum of 25 feet of landscape buffer from adjacent residential; or a minimum of 15 feet of landscape buffer with a 6-foot-tall solid fence
 - b. Building signage must face the right-of-way or an internal parking lot. Building signage cannot face any adjacent residential property. If the residential property is across a public right-of-way, building signage facing the property is allowed.
9. Outdoor lighting must be fully shielded, hooded; and cannot trespass onto any adjacent property.

Section 28-150 (r) Special Use Permit Standards for Hotel

The following standards shall govern the development and/or operation of hotels:

1. Kitchens, kitchenettes and other cooking facilities shall not be permitted within motel or hotel units except the manager's unit.
2. All uses integral to the hotel or motel development shall either be clearly accessory to the hotel or motel or shall be permitted uses or special permit uses within the zoning district in which the hotel or motel development is proposed.
3. Integral accessory uses shall generally be limited to the following:
 - (a) Meeting rooms.
 - (b) Restaurant (excluding a formula food establishment as defined in Article XIII) and dining facilities serving either guests exclusively or the general public, provided that no

*Amended Special Use Permit Standards
As Adopted by Bristol Town Council December 6, 2023*

music or other objectionable noise shall be audible beyond the boundaries of the lot on which the use is constructed.

(c) Recreational facilities, such as swimming pools and tennis courts for the provision of guests.

(d) Small personal service/retail shops fully within the hotel or motel and selling newspapers, magazines, small gifts, and similar items; and

(e) One apartment for the manager.

4. The minimum setback for any structure, parking lot or other outdoor facility from any property line adjacent to a residential zoning district shall be 100 feet.

Section 28-150 (s) Special Use Permit Standards for Motel

The following standards shall govern the development and/or operation of motels:

1. Kitchens, kitchenettes and other cooking facilities shall not be permitted within motel or hotel units except the manager's unit.
2. All uses integral to the hotel or motel development shall either be clearly accessory to the hotel or motel or shall be permitted uses or special permit uses within the zoning district in which the hotel or motel development is proposed.
3. Integral accessory uses shall generally be limited to the following:
 - a. Meeting rooms.
 - b. Restaurant (excluding a formula food establishment as defined in Article XIII) and dining facilities serving either guests exclusively or the general public, provided that no music or other objectionable noise shall be audible beyond the boundaries of the lot on which the use is constructed.
 - c. Recreational facilities, such as swimming pools and tennis courts for the provision of guests.
 - d. Small personal service/retail shops fully within the hotel or motel and selling newspapers, magazines, small gifts, and similar items; and
 - e. One apartment for the manager.
4. The minimum setback for any structure, parking lot or other outdoor facility from any property line adjacent to a residential zoning district shall be 100 feet.

Section 28-150 (t) Special Use Permit Standards for Lodging/Boarding House

1. Lodging/boarding houses must have an on-site manager on the premises when occupants are residing in the facility.
2. Unless otherwise approved by the Zoning Board as part of the Special Use Permit, the total occupancy of a lodging/boarding house shall be based on double occupancy of the approved number of bedrooms to be used for transient purposes. The Zoning Board shall ensure that the proposed occupancy of the establishment can be effectively and efficiently accommodated by the configuration of the structure and the physical layout of the property.
3. There shall be two (2) parking spaces provided for use for the resident(s)/owner(s) and one (1) additional parking space for each guest room. All parking shall be located on the parcel in which the lodging/boarding house resides. In addition to the general requirements and standards set

*Amended Special Use Permit Standards
As Adopted by Bristol Town Council December 6, 2023*

forth in Article VIII (off-street parking and loading regulations), parking areas shall also adhere to the following:

- a. A solid wall or opaque fence not less than five (5) feet nor more than six (6) feet in height or a compact evergreen screen not less than five (5) feet in height shall be erected and maintained between a parking area(s) and an adjacent residential property.
- b. Any light used to illuminate the parking area shall be arranged to reflect the light away from adjoining property and away from adjacent streets.
4. No kitchen or cooking facilities shall be allowed in guestrooms.
5. Outdoor Livability Space. At least 25% of the lot must be used for outdoor livability space such as lawns, gardens, and/or outdoor patios.
6. No exterior additions or alteration shall be made for the express purpose of maintaining or adding to a lodging/boarding house, other than those required to meet health, safety, and sanitation requirements. Minimal outward modification of the structure or grounds may be made if such changes are compatible with the character of the neighborhood and approved as part of the Special Use Permit.
7. The Lodging and boardinghouse shall contain: One (1) bathroom for every two (2) bedrooms. One (1) kitchen facility; and not over 75 percent of the heated floor area in use for sleeping quarters.
8. The lodging/boardinghouse shall be located in a structure originally constructed as and adhering to the standards of a single-family dwelling.
9. Operations. The lodging and boardinghouse shall be the permanent residence of the owner or the manager of the business; and permitted to contain home occupations and adhere to the additional standards outlined therefore (see 28-153 Home Occupations)

Section 28-150 (u) Special Use Permit Standards for Hospital

1. A certificate of need from the RI Department of Health or condition of approval shall be submitted.
2. Shall be so located to have at least one (1) lot line abutting a major street. All ingress and egress to the site shall be directly onto said thoroughfare or a marginal access service drive.
3. No building shall be located closer than 30 feet to a lot line.
4. Service entrances shall be screened from the view of adjacent residential property.
5. Height of any structure shall not exceed four floors.
6. Minimum lot area shall be no less than 5 acres.
7. No building or parking area shall be located closer than 50 feet to any side or rear lot line if adjacent to a residential use.
8. No on-site incineration shall be permitted, and all chemical, radioactive and other medical waste shall be disposed of in accordance with applicable state and federal requirements.

*Amended Special Use Permit Standards
As Adopted by Bristol Town Council December 6, 2023*

Section 28-150 (v) Special Use Permit Standards for Drug and Alcohol Rehabilitation Facility

1. A certificate of need from the RI Department of Health or condition of approval shall be submitted.
2. Drug and alcohol rehabilitation facilities shall have an on-site manager on duty at all times.
3. There shall be a minimum of three (3) off-street parking spaces. In authorizing construction of new structures, the zoning board may require sufficient yard area to be reserved as potential parking to facilitate conversion to a permitted use in the district, should the facility cease to operate.
4. Site Plan and Property Maintenance Requirements. Existing structures shall meet all the minimum property maintenance and site plan requirements for licensing. Applications for new buildings shall include a site plan, floor plan and elevations.
5. Approval of the site plan and/or special use permit shall specify compliance with the number of occupants. Violation of this condition shall result in a public hearing before the Zoning Board and shall be grounds for revocation of the Special Use Permit.
6. In reviewing an application for a special use permit, the Zoning Board shall consider the density of similar uses. In no case shall a drug and alcohol rehabilitation facility be permitted within 500 feet of another similar facility.
7. Pre-Application. Prior to application for zoning approval, the applicant shall undergo Development Plan Review with the Technical Review Committee (TRC) of the Planning Board.

Section 28-150 (w) Special Use Permit Standards for Halfway House

1. Halfway Houses shall have an on-site manager on duty at all times.
2. Halfway Houses shall have a minimum of three (3) off-street parking spaces. In authorizing construction of new structures, the zoning board may require sufficient yard area to be reserved as potential parking to facilitate conversion to a permitted use in the district, should the facility cease to operate.
3. Existing structures shall meet all the minimum property maintenance and site plan requirements for licensing. Applications for a new building shall include a site plan, floor plan and elevations.
4. Approval of the site plan and/or special use permit shall specify compliance with the number of occupants. Violation of this condition shall result in a public hearing before the Zoning Board and shall be grounds for revocation of the Special Use Permit.
5. In reviewing an application for a special use permit, the Zoning Board shall consider the density of similar uses. In no case shall a halfway house be permitted within 500 feet of another similar facility.
6. Pre-Application. Prior to application for zoning approval, the applicant shall undergo Development Plan Review with the Technical Review Committee (TRC) of the Planning Board.

Section 28-150 (x) Special Use Permit Standards for Day care facility with 6 or more persons

1. The applicant shall provide proof of state licensing.

*Amended Special Use Permit Standards
As Adopted by Bristol Town Council December 6, 2023*

2. There shall be a designated drop-off area near an entrance to the building with a minimum two vehicle queuing lane that does not block vehicle parking spaces calculated as 25% percent of facility's enrollment capacity as determined by the licensing authority.
3. The parking plan shall provide safe pedestrian circulation with clearly marked crosswalks from each parking area to the building entrance(s).
4. All outdoor activity areas are to be enclosed with fencing, a minimum of four (4) feet high, provided that such fencing is to be solid and six (6) feet in height on any property line abutting a residential use on an adjoining lot.

Section 28-150 (y) Special Use Permit Standards for Cemetery

1. No burial or memorial plots or buildings shall be located closer than 50 feet to any residential lot line, except when a dense evergreen hedge or wall or landscaped strip at least six feet in height provides complete visual screening from all adjacent residential properties. Burial or memorial plots with headstones, monuments or other grave markers limited to less than six feet in height may be located as close as 25 feet to any residential property line. This provision shall apply to both new cemeteries and proposals for expansion of existing cemeteries.
2. A cemetery shall be located so that the site has direct ingress from and egress to a major street or a minor street no more than 400 feet from its intersection with a major street.
3. No building for a cemetery use shall be located closer than thirty (30) feet to a lot line.
4. Service buildings and entrances shall be screened from the view of adjacent residential property.
5. No companion crematory shall be allowed.

Section 28-150 (z) Special Use Permit Standards for Museum, nonprofit

1. For a museum to be located in any residential district, the structure must have a direct link with an individual who inhabited the structure or event that transpired in the structure.
2. The structure must remain residential in character and may not be altered in a way that detracts from the surrounding neighborhood and must meet all zoning district requirements.

Section 28-150 (aa) Special Use Permit Standards for k-12 school

1. The applicant shall provide proof of state licensing as required.
2. The site shall otherwise comply with landscaping requirements of this chapter.
3. There shall be a designated drop-off area near an entrance to the building with a queuing lane that does not block vehicle parking spaces calculated as 25% percent of facility's enrollment capacity as determined by the licensing authority.
4. The use shall be screened along interior side and rear lot lines with a solid fence or wall, a minimum of 4 feet and a maximum of 6 feet in height. Shrubs a minimum of 10 feet in height at time of planting shall be planted linearly every 10 feet on-center along such fence or wall.

*Amended Special Use Permit Standards
As Adopted by Bristol Town Council December 6, 2023*

5. Parking shall be located in the side and rear yards of the property, behind the building(s) and parking plans shall provide safe pedestrian circulation with clearly marked crosswalks from each parking area to the building entrance(s).

Section 28-150 (bb) Special Use Permit Standards for Office of a professional

1. A professional office use may only be permitted in the M zone within a building that contains a permitted use. The professional office use shall not occupy more than 25 percent of the total gross floor area of the structure.

Section 28-150 (cc) Special Use Permit Standards for Bank

1. A bank use may only be permitted in the M zone within a building that contains a permitted use. The bank office use shall not occupy more than 25 percent of the total gross floor area of the structure.

Section 28-150 (dd) Special Use Permit Standards for Restaurant, café or deli with or without liquor sales

1. When adjacent to a residential use, the following conditions must be met:
 - A minimum of 25 feet of landscape buffer from adjacent residential; or a Minimum of 15 feet of landscape buffer with a 6-foot-fence.
 - All building signage must face the right-of-way or an internal parking lot. Building signage cannot face any adjacent residential property. If the residential property is across a public right-of-way, building signage facing the property is allowed.
 - Operating hours are limited to 7:00 a.m. to 10:00 p.m., unless otherwise approved by special use permit.
 - Outdoor lighting must be fully shielded, hooded and cannot trespass onto any adjacent property.

Section 28-150 (ee) Special Use Permit Standards for Fast food restaurant

1. Hours of operation shall be compatible with adjacent uses and residential areas and to avoid the creation of any nuisance condition.
2. The inclusion of accessory recreational facilities or similar amusement areas, including tot lots, video games and the like, as part of the fast-food establishment shall be strictly prohibited.
3. The establishment shall not alter the identity of Bristol in a way which detracts from its uniqueness or contributes to a nationwide trend of standardized fast-food offerings.
4. The establishment shall contribute to a diverse and appropriate blend of uses in the district and shall not be located within 500 feet of another fast-food establishment.
5. The establishment shall complement the uses already located in the district and must help promote and foster the economic base as a whole.
6. The establishment shall be compatible with existing surrounding uses and shall be designed and operated in a nonobtrusive manner to preserve the community's character and appearance.
7. The establishment shall not create a substantial impact to the public safety from increased traffic.

*Amended Special Use Permit Standards
As Adopted by Bristol Town Council December 6, 2023*

Section 28-150 (ff) Special Use Permit Standards for Tavern/bar/nightclub

1. When adjacent to a residential use, the following conditions must be met:
 - a. minimum of 25 feet of landscape buffer from adjacent residential; or a minimum of 15 feet of landscape buffer with a 6-foot-fence.
 - b. All building signage must face the right-of-way or an internal parking lot. Building signage cannot face any adjacent residential property. If the residential property is across a public right-of-way, building signage facing the property is allowed.
 - c. Outdoor lighting must be fully shielded, hooded and cannot trespass onto any adjacent property.

Section 28-150 (gg) Special Use Permit Standards for Funeral home

1. The funeral home shall maintain the appearance and the building and site design characteristics of a residential dwelling.
2. The funeral home shall be located on a single lot with no less than the minimum lot area specified for the zoning district.
3. Off-street parking and its associated lighting shall be both screened by an intervening landform and/or natural vegetation from neighboring residential properties and located in a rear or side yard.
4. No companion crematory shall be allowed.

Section 28-150 (hh) Special Use Permit Standards for Car wash

1. Car wash facilities shall be screened along interior side and rear lot lines with a solid fence or wall, a minimum 6 feet in height. Shrubs a minimum of 4 feet in height at time of planting shall be planted linearly every 10 feet on-center along such fence or wall.
2. When a car wash facility abuts a residential use or zoning district, there shall be a 20ft. setback from each such lot line abutting a residential use or zoning district.
3. When vacuums are included on the site, they shall include mufflers to reduce the sound of the equipment.
4. Trash receptacles shall be placed near all vacuum stations as applicable and at the entrance to the car wash entrance.
5. Structures or equipment related to cleaning vehicles (car wash bays, vacuums, vending machines) must be located at least 50 ft. from the boundary of any residential zoning district, places of residence such as nursing homes or lodging establishment.
6. Washing facilities must occur under a roofed area with at least two walls.
7. Car wash facilities next to residential zoning districts, places of residence such as nursing homes and extended care facilities, and lodging establishments: Must be screened and buffered with solid fencing at least six feet in height to minimize impact on residential properties. May operate only between 7:00 AM and 9:00 PM. Cannot have loudspeakers or equipment that emits audible signals such as beeps, buzzers and bells that would be audible off the site.

*Amended Special Use Permit Standards
As Adopted by Bristol Town Council December 6, 2023*

Section 28-150 (ii) Special Use Permit Standards for Commercial or Technical Trades School

1. The applicant shall provide proof of state licensing or approval shall be conditioned on final approval of licensing.
2. There shall be a designated drop-off area near an entrance to the building with a queuing lane that does not block vehicle parking spaces.
3. Parking plans shall include pedestrian circulation with clearly marked crosswalks from each parking area to the building entrance(s)
4. A traffic study shall be required if proposed number of students exceeds 50.

Section 28-150 (jj) Special Use Permit Standards for Contract Construction service

1. Outside storage of equipment, supplies and materials associated with any of the normal operations of must be adequately screened along the interior side yard, rear yard and road frontage with natural vegetation, landscaping, fencing and/or as shall be deemed appropriate by the Board.
2. The materials processing area shall be completely enclosed along all lot lines by an opaque fence, 6' in height.
3. Where buildings are proposed, they should be located along the street frontage, meeting setback requirements. Otherwise, screening the operation from the street, which may include fences and tall vegetation is required.
4. A narrative is required to be submitted explaining the scope of the business, including without limitation, the number of employees, the number and type of trucks and other vehicles and the provisions to protect adjoining and adjacent residential properties from noise, vibration, visual, odor, or other adverse effects.
5. The subject property shall have frontage on, and direct vehicular access to an arterial or collector street.
6. Vehicular access to the subject property shall not be by means of local streets.

Section 28-150 (kk) Special Use Permit Standards for Kennel and Animal Care

1. Exterior exercise areas shall be located in the interior side or rear yard and shall be completely enclosed along all property lines by landscaping, fencing and/or as shall be deemed appropriate by the Board.
2. Where the outside exercise area abuts a residential use or residential zoning district, there shall be a setback from the residential use or zone of 75'.
3. All overnight (between the hours of 10 p.m. – 8 a.m) boarding operations shall be located indoors and be fully enclosed and sufficiently insulated so no unreasonable noise or odor can be detected off the premises.
4. The facility shall be compliant with all state and local license requirements, or condition of approval will be subject to licenses from state and local authorities.

*Amended Special Use Permit Standards
As Adopted by Bristol Town Council December 6, 2023*

Section 28-150 (ll) Special Use Permit Standards for Mechanical Equipment Sales

1. Sales of Mechanical Equipment when associated with a manufacturing operation provided the area for the sales does not exceed 25% of the total gross floor area of the manufacturing operation.

Section 28-150 (mm) Special Use Permit Standards for Wholesale Trade Outdoor storage

1. The storage area shall be completely enclosed along all side and rear lot lines by a solid fence, 6' in height. Front lot line, along street frontage, shall be screened with a mixture of fencing and landscaping as determined appropriate by the board.
2. Storage of any kind is prohibited outside the fence or landscaping screening when adjacent to a residential use or zone. No items stored within 10' of the screening shall exceed the height of the screening.
3. The storage area should be located to the rear of the lot. Any structures shall be located in front of the storage area to obscure the view of the storage area from the street, in compliance with the front yard setback of the underlying zone.

Section 28-150 (nn) Special Use Permit Standards for Warehouse /Distribution Facility

1. A Traffic Study is required prepared by a Registered Professional Engineer.
2. The subject property shall have frontage on, and direct vehicular access to, an existing street with sufficient capacity to accommodate the type and amount of traffic to be generated by the business.
3. Vehicular access to the subject property shall not be by means of streets internal to residential subdivisions.

Section 28-150 (oo) Special Use Permit Standards for Reclamation Facility

1. Shall be located on a site not less than one (1) acre.
2. Any outside storage area shall be completely enclosed along all side and rear lot lines by a solid fence, 6' in height with a row of evergreens on the outside of the fence. Front lot line, along street frontage, shall be screened with a mixture of fencing and landscaping as determined appropriate by the board.
3. Storage of any kind is prohibited outside the fence or landscaping screening. No items stored within 10' of the screening shall exceed the height of the screening.
4. All lubricants, oils or other hazardous materials must be stored in on-site leak proof containers.
5. Owners must maintain an active EPA ID# with RIDEM as a hazardous waste generator and comply with all reporting requirements for same.

Section 28-150 (pp) Special Use Permit Standards for Dry Cleaning Plant

1. All processes and storage shall be carried on within an enclosed building.
2. All fluids used in processing shall be recycled, and the overall facility shall be designed, located and operated to protect surface waters and the groundwater reservoir from pollution.

*Amended Special Use Permit Standards
As Adopted by Bristol Town Council December 6, 2023*

Section 28-150 (qq) Special Use Permit Standards for Food and Kindred products

1. All operations shall be confined to the interior of a wholly enclosed building.
2. There shall be no outside storage of either raw materials or finished products.

Section 28-150 (rr) Special Use Permit Standards Processing of bakery Products

1. All operations shall be confined to the interior of a wholly enclosed building.
2. There shall be no outside storage of either raw materials or finished products.

Section 28-150 (ss) Special Use Permit Standards for Stone, Clay and Glass products manufacturing and Pottery Products Manufacturing

1. All operations shall be confined to the interior of a wholly enclosed building.
2. Any outside storage area shall be completely enclosed along all side and rear lot lines by a solid fence, 6' in height. Front lot line, along street frontage, shall be screened with a mixture of fencing and landscaping as determined appropriate by the board.
3. Storage of any kind is prohibited outside the fence or landscaping screening. No items stored within 25' of the screening shall exceed the height of the screening.

Section 28-150 (tt) Special Use Permit Standards for Drop Forge Industries, manufacturing forgings with power hammers.

1. There shall be no emission of toxic gases or fumes.
2. There shall be no discharge of harmful or toxic materials as runoff into public or private sewers or septic tanks, public or private waterways, or public or private land.
3. No drop forge or power hammer shall be allowed to operate within 500 feet of a zone in which they are prohibited.
4. Any outside storage area shall be completely enclosed along all side and rear lot lines by a solid fence, 6' in height.
5. A dedicated loading and unloading area shall be designated off of public streets.
6. Operation of drop forges or power hammers shall not create nuisance noise as defined by Ch 10 Art II of the Town Code of Ordinances
7. There shall be no production of heat or glare perceptible from any line of the premises on which the use is located.

Section 28-150 (uu) Special Use Permit Standards for Instruments and Scientific Equipment Manufacturing

1. All operations shall be confined to the interior of a wholly enclosed building.

*Amended Special Use Permit Standards
As Adopted by Bristol Town Council December 6, 2023*

2. Any outside storage area shall be completely enclosed along all side and rear lot lines by a solid fence, 6' in height. Front lot line, along street frontage, shall be screened with a mixture of fencing and landscaping as determined appropriate by the board.
3. Storage of any kind is prohibited outside the fence or landscaping screening. No items stored within 25' of the screening shall exceed the height of the screening.

Section 28-150 (vv) Special Use Permit Standards for Pump Station

1. The proposed facility is needed to provide service to the public.
2. The facility and its accessory elements shall be sited in accordance with the regulations of the underlying zone in which it is located or as modified to minimize any adverse impact on the existing community in which the facility is proposed to be located.

Section 28-150 (ww) Special Use Permit Standards for Sewage Treatment Plant

1. The proposed facility is needed to provide service to the public.
2. The facility and its accessory elements shall be sited in accordance with the regulations of the underlying zone in which it is located or as modified to minimize any adverse impact on the existing community in which the facility is proposed to be located.

Section 28-150 (xx) Special Use Permit Standards for Camp for Children, including music or art camp

1. There shall be a designated drop off area near an entrance to the facility.
2. Any overnight outdoor Childrens Camp shall conform to the standards for Campground.
3. All outdoor play areas in areas will be enclosed with fencing, a minimum of 4 feet, and shall be solid and 6 feet in height on any property line abutting a residential use on an adjoining lot.
4. In zones requiring special use permit, clear road signage noting presence of children (i.e. SLOW CHILDREN AT PLAY) should be posted no less than 100 feet from the camp in coordination with Bristol Department of Public Works.

Section 28-150 (yy) Special Use Permit Standards for Campground

1. Definitions
 - a. Sanitary Facilities: A closed toilet or latrine with handwashing station
 - b. Campsite: Any section or plot of ground upon which is erected any tent, tent house or camp cottage and/or for the accommodation of each automobile trailer or house car.
2. Campgrounds shall have an on-duty host or manager at all times of operation.
3. Sanitary facilities shall be provided for every 10 individual campsites.
4. Potable water shall be provided via connection to Town water supply or through spigots connected to a well supply. One water source shall be provided for at least every 10 individual campsites. Water supply shall be separate from the handwashing station in sanitary facilities.

*Amended Special Use Permit Standards
As Adopted by Bristol Town Council December 6, 2023*

5. Each individual campsite on which a tent, trailer or recreational vehicle is erected or placed, and each unit in any tourist camp upon which a camp cottage is hereafter erected or placed, shall be not less than 50 feet by 100 feet in area, clearly defined by markers in each corner.
6. Road or driveways shall be provided and shall be so located that each individual campsite is accessible.
7. Fully enclosed, permanent structures for use as sleeping units may be required to conform to state and town code for a dwelling unit.
8. Season of operation shall be not more than between March 31 and November 1.
9. Stormwater mitigation plan must be presented upon application for Special Use Permit .

Section 28-150 (zz) Special Use Permit Standards for Riding Stable

Definition: Riding Stable shall be defined as any establishment in which, for business purposes, horses or ponies are rented, hired, or loaned for riding or boarded for riding.

1. Riding Stable shall fall under the standards for non-household domesticated animals , Section 28-150 (e).
2. At least 1 acre of lot area must be provided per stable stall.

Section 28-150 (aaa) Special Use Permit Standards for Driving Range

1. Minimum lot area for driving ranges shall be 3 acres.
2. No tee or hole within any driving range station shall be closer than 100 feet from the principal structure on any abutting parcel. This shall not apply to practice putting greens.
3. Driving ranges abutting any public highway, street, sidewalk, or bicycle path shall have netting along full length of said roadway of no less than 45 feet in height.
4. Driving ranges abutting any non-open space parcel shall have netting along full length of property line of no less than 45 feet in height.
 - a. Off street parking shall be provided as follows:
 - i. employees - 1 space per employee.
 - ii. per driving range station tee area - 2 spaces.
5. Parking lots shall be shielded with a minimum 3-foot-high wall or a landscaped berm providing equivalent screening or a combination of both so that no vehicle lights shall shine onto adjacent residentially zoned property.
6. Signage shall only face street frontage or parking lot.
7. Outdoor floodlights to illuminate driving ranges shall not be allowed.
8. Stormwater mitigation plan must be presented upon application for Special Use Permit

Section 28-150 (bbb) Special Use Permit Standards for Health Club

1. For Health Clubs "LB" zones, all activities including exercise equipment, weights, etc. should be limited to indoor use as to avoid noise nuisance.
2. Outdoor lighting must be fully shielded .

*Amended Special Use Permit Standards
As Adopted by Bristol Town Council December 6, 2023*

3. Signage shall only face street frontage or parking lot.
4. At least one (1) off street parking space or equivalent shall be provided in "LB" zones. Bicycle racks may be substituted for automobile parking spaces at a rate of five (5) bicycle spaces per one (1) automobile space.
5. Automobile off street parking shall be screened by a minimum six (6) foot solid fence or minimum six (6) foot solid landscape barrier when on any property line adjacent to a residential use lot.

Section 28-150 (ccc) Special Use Permit Standards for Theater

1. In "LB" zones, acoustic deadening must be installed in performance area.
2. Parking lots shall be shielded with a minimum 3 foot high wall or a landscaping berm providing equivalent screening or a combination of both so that no vehicle lights shall shine onto adjacent residentially zoned property.
3. Signage shall only face street frontage or parking lot.
4. If liquor sales are requested, theater must meet standards for Tavern/Bar/Nightclub in a Limited Business (LB) zone.

Section 28-150 (ddd) Special Use Permit Standards for Boatyard/Marina and Yacht Club

1. A Best Management Practices (BMP's) document for marina tenants is to be submitted. This document shall include the specifications for repair and cleaning of gear and other cleaning and repair activities. Tenant agreements shall include the BMP's document and a section in the agreement that states that by signing the agreement, the tenant has read and agrees to comply with the BMP's.
2. Open areas used for boat and/or trailer storage and above ground structures storing fuel shall be screened with natural buffers or planted landscaped areas and set back a minimum of 50' from adjoining residential use or residential zone. The buffer may be reduced to 40' if the Board determines that architecturally designed fencing, compatible with the adjacent properties would effectively screen the facilities from view from the adjoining properties.
3. Large visual expanses of asphalt or concrete paving are to be avoided through the use of appropriately placed planter island and planting strips. Planting areas shall be designed and located so as to direct and control traffic flow.
4. Outdoor stacking of boats may be permitted if the activity is visually screened from abutting residential uses and residential zones.
5. The normal hoist or boating related hours of operation shall be limited to one half hour before sunrise and one half hour after sunset.
6. Stormwater mitigation plan shall be presented upon application for Special Use Permit

Section 28-150 (eee) Special Use Permit Standards for Structures in Residential Zones in the Flood Zone greater than 25' above grade

1. At a minimum, every special use permit granted pursuant to this section shall be conditioned on the construction conforming to the State Building Code requirements of the flood zone (see also Section 28-301 to 28-311).

*Amended Special Use Permit Standards
As Adopted by Bristol Town Council December 6, 2023*

2. The pitch of all roof areas shall be no less than 4/12. Roof pitches of less than 4/12 shall only be allowed directly below the footprint of a deck.
3. For lots with rear lot lines abutting a coastal feature, the minimum front yard shall be the average setback of those parcels within 250' of the parcel on the same side of the street.
4. The maximum lot coverage by structures percentage as defined by Article IV is not applicable. Instead building size shall be determined as follows:
 - i. For structures with two floors of living space (living space does not include the first floor car park and storage area), a Floor Area Ratio (FAR) 0.30 shall be used to calculate the maximum allowable gross floor area (GFA) for the parcel. The GFA is calculated by multiplying the parcel size by 0.30. The footprint of the first floor shall be no greater than 60% of the GFA and the footprint of the second floor, if any, shall be no greater than 40% of the GFA. In no case shall the area of the 2nd floor footprint exceed two-thirds of the first floor footprint.
 - ii. For structures with one floor of living space (living space does not include the first floor car park and storage area), a Floor Area Ratio of 0.2 shall be used to calculate the maximum allowable Gross Floor Area for the parcel. The GFA is calculated by multiplying the parcel size by 0.20.
 - iii. Decks shall be no greater in size than 15% of the calculated GFA. Integrated second story decks located directly over the footprint of the first floor of the structure shall not be included in this calculation. Decks located above the highest floor of living space shall not be permitted.
5. Articulation shall be required for structural walls that face a public right of way and exceed 24' in length. Articulation shall be in the form of a structural projection of at least one (1) foot in depth and six (6) feet in length and must extend along the entire vertical plane of the wall. The required projection may be divided into more than one, provided the total width of these projections is at least 6' in length.

Section 28-150 (fff) Special Use Permit Standards for Structures in a Commercial or Industrial zone in the flood zone greater than 35' above grade

1. At a minimum, every special use permit granted pursuant to this section shall be conditioned on the construction conforming to the State Building Code requirements of the flood zone (see also Section 28-301 to 28-311).
2. The applicant must present a storm preparedness plan including provisions for temporary storage of equipment/supplies outside of the flood zone.
3. The Board shall have the ability to condition any granted Special Use Permit as necessary to ensure public health and safety. Such conditions may include, but not be limited to, the following: limitations on periods of use and operation, imposition of performance standards, operational controls, and sureties, requirements on the location, construction, durability and safety of driveways and parking areas.