



TOWN OF BRISTOL, RHODE ISLAND

HISTORIC DISTRICT COMMISSION MEETING

**Historic District Commission Meeting Agenda
Thursday, November 02, 2023 at 7:00 PM
Bristol Town Hall, 10 Court Street, Bristol, RI 02809**

Written comments may be submitted to the Historic District Commission via regular mail addressed to:

Historic District Commission, Bristol Town Hall, 10 Court Street, Bristol RI 02809 or via email to ntoth@bristolri.gov

Application packets can be found online at www.bristolri.gov/government/commissions/historic-district-commission/

- 1. Pledge of Allegiance**
- 2. Review of Previous Month's Meeting Minutes**
 - 1. Review of October 5 Minutes**
- 3. Application Reviews**
 - 1. 23-140: 66 Franklin St, Richard Slocum**

Discuss and act on installation of a gate across driveway to match style of existing fence.
 - 2. 23-141: 649 Hope Street, Catharine Cromwell:**

Discuss and act on replacement of window on side elevation of garage with door.
 - 3. 23-143: 1 Constitution St, Bristol Elks Club:**

Discuss and act on replacement of windows in kind on building.
 - 4. 23-149 State Street Dock, Town of Bristol:**

Discuss and act on proposed planting plan to shield fuel tank at State Street Dock
 - 5. 23-150: 825 Hope St, Robert Beer II**

Discuss and act on the installation of exterior lighting on all elevations.

6. 23-152: 96 High St, Stephen Mello

Discuss and act on replacement of front porch including decking, newel posts, brackets, columns, steps, railings, spindles as presented.

7. 23-153: 31 Constitution St, Brendan Magurie

Discuss and act on replacement of 31 windows, repair of fascia board in-kind, installation of aluminum gutters.

4. Concept Review

5. Monitor Reports & Project Updates

6. HDC Coordinator Reports & Project Updates

7. HDC Coordinator Approvals

8. Other Business

1. Review of Administrative Approval Guidelines

Discuss and act on list of administrative approval guidelines to add, reclassify, or remove items.

9. Adjourned

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TOWN OF BRISTOL, RHODE ISLAND

HISTORIC DISTRICT COMMISSION



**Historic District Commission Meeting Minutes
Thursday, October 5, 2023
at 7:00 PM
Town Hall - 10 Court Street, Bristol Rhode Island**

Written comments may be submitted to the Historic District Commission via regular mail addressed to:

Historic District Commission, Bristol Town Hall, 10 Court Street, Bristol RI 02809 or via email to ntoth@bristolri.gov

1. Pledge of Allegiance

The meeting was called to order at 7:00 PM, and the Pledge of Allegiance was promptly recited afterwards.

2. Review of Previous Month's Meeting Minutes

2A. Review of minutes of the September 7, 2023 meeting.

Minutes reviewed.

Butler: On page 16 there is a typo near the word graft under "Allen" second line, should be "we looked" instead of "look".

Millard: Bottom of page 15 where Hartley is talking about the windows should be "6 over 6" not "6 x 6".

Motion made by Millard to accept minutes as amended; Seconded by Bergenholtz.

Voting Yea: Millard, Butler, Lima, and Bergenholtz.

3. **Application Reviews**

3A. 23-133: 707 Hope Street, John Troiano Discuss and act on re-application for 707 Hope Street as approved in application 19-34.

John Troiano present.

Troiano: I was here about three years ago because my insurance company told me that the rails on the side porch did not meet code. Then there were delays and the permit lapsed, so I am here to resubmit what I wanted to get done. You approved matching my back deck with 1" styles.

Bergenholtz: So nothing has changed?

Troiano: No.

Bergenholtz: So the time ran out?

Troiano: Yes, so I just re-applied.

Lima: Reads the history of the house into the record.

Goins: The Commission can approve and incorporate the finding from the previous meeting.

Lima: Good. Does anyone in the audience have any questions or comments or would like to speak for or against this project?

Motion made by Bergenholtz to approve the application as previously presented including the findings of fact from the previous approval; Seconded by Butler.

Voting Yeah: Butler, Lima, Bergenholtz, and Millard

Secretary of Interior's Standards: #9

Project Monitor: Oryann Lima

Lima: John, your Certificate will be ready

Toth: Online tomorrow.

Lima: Please display it in the window.

3B. **23-40 477 Hope Street, Jesse James** Discuss and act on revision to application to change structural design of third floor addition as previously approved to facilitate addition, change of gabled roof to shed roof, change of design for windows and columns.

Jesse James present.

James: After we got our engineering report the centering of the columns would not support what we wanted to do on the third floor, so we need to change the dormered roof. We need to change it to a flat roof to keep it under the height requirements. Changes height of 3rd floor façade to match every other building in the area.

Commission reviews renderings.

Bergenholtz: I walked by this a few times after I got the packet and I do not think it is going to make that much of a difference from the street from what we approved. You will not see the pitch anyway.

Butler: Will that eliminate the little gable?

James: Yes.

Bergenholtz: We approved that at the last meeting.

Butler: Can you see it from Linden Place?

Lima: No. Do we have the documentation about how and why the applicant is going to a different roof structure?

Toth: We have just what is in the packet.

James: Do you mean the engineering report?

Lima: Yes. Can you just forward that to Nick so we can have it in the packet just so we can document as to why you need that done because it is a prominent building on Hope Street. We need to at least document why you are making the changes.

Lima: Anyone have any comments? Anyone in the audience want to speak for or against this project?

Anthony Bono: I have known Jesse James since he opened his restaurant. I think what he is doing is great. Just wanted to add my two cents.

Catherine Zipf: I appreciate that I am late to this issue, but I object to the 3rd floor and the remodel. I would consider it as a character defining feature. If this is remodeling a character defining feature, then it goes against Secretary of Standards 2, 3, 5, 9, and 10. Also, the addition creates a historical style that is creating history that did not exist. This building sits on its own lot and will create additional parking problems. The Historical Society feels very strongly about this. We would support dormers on the back as long as it preserves the roof line on the front. Thank you for your time.

Lima: Any other comments?

Bergenholtz: Catherine, please come back up.

Catherine: I agree that it is a brand new building and it was created to preserve history. It is a preservation project in the sense that it is trying to preserve the history.

Millard: You are making this change because of construction concerns supporting the 3rd floor and the gable?

James: Yes. In order to support the 3rd floor, we would need to raise the height of a gabled roof beyond the limits.

Millard: What is the limit?

James: 35ft

Millard: Would it be easier to ask for a variance? Aesthetically, the 3rd floor with a flat roof creates issues. Would it be easier to go in front of Zoning?

James: We thought it would be easier to come here. The flat roof would fit in with the existing structures around the area. Just thought it made more sense. If it is a problem, I can go to Zoning, and Planning.

Millard: I think it is very pretty as it stands and popping it up to the 3rd floor might make it look strange.

James: You will not be able to see the gable because it is a shallow pitch. You are really not going to see much of a change. The 3rd floor is just a little higher. The 3rd floor addition would just be a little taller and then whichever way we go with the roof.

Millard: Are you going to use the space on the 3rd floor for anything?

James: No. Just doing this for the trusses which need to go to the outside walls for support. Not looking for more room, just for the support. We would still have to truss no matter what roof we do.

Lima: When do you want to begin this?

James: Six months ago. As soon as I can get the approvals.

Lima: Who is the "John" we are talking about?

James: John Allen. He is the Project Monitor. We discussed it and decided to come back to the Board.

Bergenholtz: Approved removal of gable to full 3rd floor?

James: Yes. Sorry, you thought the gable on the front was staying.

Motion made by Bergenholtz based on the evidence provided and the engineer's report and what was approved at the last meeting; Seconded by Millard.

Voting Yea: Bergenholtz, Millard, Lima, and Butler

Secretary of Interior's Standards: #9

Project Monitor: John Allen

Lima: Your Certificate will be available, Nick?

Toth: Jesse, we need to chat a bit and then I will get it to you.

Lima: Just please put in window so that we can have documentation and people cannot say that you are is not doing what you were supposed to.

James: Thank you.

3C. **23-134: 55 Constitution Street, Anthony F. Buono**

Discuss and act on replacement of 3 vinyl clad windows to match rest of property on north (rear) and east (side) elevations.

Anthony Buono present.

Buono: I represent 55 Constitution LLC. We are here to request approval to replace three windows on the side and rear which are not visible from the street. The house was owned by the Dyer family, and I believe that it was ten years ago they redid the roof and windows. For some reason they did not do these three windows. One is broken and we are in the process of updating the interior and exterior. We did a new paint job and the outside looks better, but we need to replace those windows before the winter.

Bergenholtz: Replacing with the same windows?

Buono: Exactly the same windows.

Lima: Did you have anything?

Toth: I could not find the file on this property.

Buono: The house was repainted, and all of the windows were redone. This is just so that all of the windows match even though you cannot see from street.

Lima: Looking at the pictures, it looks like those have been replaced.

Butler: I drove by there and thought the same.

Lima: Anyone in the audience have any questions, comments, or want to speak for or against this project?

Motion made by Butler to approve application as presented to replace windows with vinyl clad windows so as to match the existing windows; Seconded by Bergenholtz.

Voting Yeah: Lima, Butler, Millard, and Bergenholtz

Secretary of Interior's Standards: #9

Project Monitor: Ben Bergenholtz

Lima: You will get your Certificate, Nick?

Toth: In the morning. He already has a building permit.

Buono: May I speak for a moment on something?

Lima: Sure.

Buono: I just wanted to say that since Nick has come on board, and I am speaking for myself, Brian and our Superintendent, he is available, knowledgeable, and pleasant. He is there and you feel like he is servicing you. It was a very wise decision, and he has enhanced this Board tremendously.

Lima: You have more than one property in the District and we appreciate that. I will tell Diane and Ed. Thank you.

3D. **23-136: 19 Summer Street, Amy Berg** Discuss and act on replacing 8'x6' shed with 10'x10'x11" "Nantucket Loft" shed.

Amy Berg and Keith Berg present.

Keith Berg: We would like to replace a 6x8 shed with a 10x10 shed mainly because there is no garage or storage.

Bergenholtz: With the Nantucket shed, which one are going with? We have two options on this application.

Toth: Page 114, that one.

Keith Berg: The one with the door on the front with a ramp on the side.

Amy Berg: The ramp on the side is so we can put the bikes in there.

Bergenholtz: So there are two doors?

Keith Berg: Yes. One front door and one side door.

Lima: Reads the history of home read into record. "JEREMIAH INGRAHAM HOUSE c. 1786, moved 1893: This is a 2- 1/2-story, 4-bay Colonial house which was originally built at 217 Hope Street. Some original interior woodwork is intact and the wraparound porch dates from about 1900. Ingraham was a shipmaster and merchant."

Lima: Anyone have any questions or comments? Anyone in the audience for or against this project?

Motion made by Bergenholtz to approve application as presented; Seconded by Butler

Voting Yea: Bulter, Millard, Bergenholtz, and Lima

Secretary of Interior's Standards: #9

Project Monitor: Ben Bergenholtz

Lima: Your Certificate will be ready.

Toth: Online.

3E. **23-140: 66 Franklin St, Richard Slocum** Discuss and act on installation of a gate across driveway to match style of existing fence.

Richard Slocum present.

Slocum: we just purchased at 66 Franklin.

Lima: this is across the street from me. I am at 77 so does this create an issue?

Goins: Would you get notice from Zoning?

Lima: Not sure.

Toth: Google maps shows that it is just about 200 ft.

Goins: Give us a minute to look at GSI.

Bergenholtz: At a previous meeting, I had recused myself because it was happening across from my parent's house. Andy asked if the applicant would approve of my voting.

Goins: that was Andy's opinion, let me just check the abutter's list. Mary, I see that you are on here and Orly you are on here as well. Both of you are going to have to recuse yourselves and the applicant will have to come back.

Lima: I am sorry that you are going to have to come back in November.

Slocum: I understand, however, I was hoping to get this in before winter sets in.

Lima: We usually have seven members and an alternate. This is a rare instance where we do not have a voting quorum with Mary and I recused.

Goins: The next meeting is November 2nd and we can get an attendance report so we know how many are coming.

Toth: We have been getting applicants for two auxiliary members.

Slocum: I just want to ask is there a yeah, nay, or whatever? Anyone have questions?

Bergenholtz: I thought this was very straight forward.

Lima: Mary and I have to leave.

Slocum: Oh, okay.

Toth: Yes, they have to leave so this can be discussed.

Bergenholtz: I see no objections, I found this to be very well done.

Slocum: So basically we are done and I come back on November 2nd?

Goins: The application will be forwarded automatically to the next meeting.

Slocum: Thank you.

- 4. **Concept Review**
- 5. **Monitor Reports & Project Updates**
- 6. **HDC Coordinator Reports & Project Updates**
- 7. **HDC Coordinator Approvals**
- 8. **Other Business**

1. **New Auxiliary Members**

Announcement that the Bristol Town Clerk will be posting a solicitation for two new Auxiliary members to the HDC per changes in State Law. Posting made to <https://onboard.bristolri.gov/> for both positions.

Toth: This has been posted with Clerk's office. Internal discussions have been if any Commissioners are aware of any architects who might be interested, we feel it would be a major and good thing to have on the Commission, that is to have an architect on the board. Keep in mind the architect would have to go in front of the ethics commission each time they needed to present a project.

Bergenholtz: Does the Town Charter require it?

Toth: No.

Goins: There is a special rule. Requests to appear before your own board is subject to a special category of the Ethics Commission.

2. **Discussion of Possible Updates to Administrative Review Guidelines**

Discuss or act on additions or subtractions to administrative review guidelines.

Toth: The redlines I had are just suggestions. My goal is to move a few things off the Commission's plate just to keep from ballooning up the Commission meetings. I thought it was a good place to start the discussion.

Bergenholtz: Are we voting on this today?

Toth: Can we?

Goins: It says to discuss or act, so it is up to you.

Toth: It was in the packet in the last meeting as well.

Lima: I would rather have the rest of the Commission here.

Toth: I do not expect this to be a fast process. I have only been here six months. I appreciate anything the Commission says.

Lima: You have to live with this every day. I want to look at this again with Andy's things.

Toth: The only major change I did was items being replaced in kind under 10ft could be approved administratively. Andy pointed out that may be abused so he struck it.

Bergenholtz: I think having everyone here would be a good idea.

Lima: Let everyone know again that this will be on the next agenda and to review and/or go through it very carefully. Any questions can be directed to Nick to facilitate what we do at the next meeting.

Butler: This is helpful because things change.

Toth: Troiano drove from NY to basically be told you are fine. I think if we can start the New Year with this it would be great.

Lima: Agree. Anyone have anything else to discuss?

Butler: I have an issue with Citizens Bank. They put in the lights that they wanted to use and we have never really have anyone that was an expert on lighting and lumens.

Goins: I know there is a formal business ordinance.

Toth: I can check the code.

Bulter: To my eye, it seems kind of bright.

Bergenholtz: Also, the flower box sizes were not approved to be that tall.

Butler: That may have been my fault because I am the Project Monitor and they found these other boxes and wanted to know if we approved them and I said we did. I was kind of unclear what my responsibilities were.

Kathleen Maynard: From my recollection of the meeting where this was presented, Citizens Bank was supposed to put the lights in and have Sally go there at various times of the day to check the lumens and to let them know if they needed to dim it or brighten them. The lighting was to be on a dimmer, but the dimmer box would be locked so it would not be tampered with once adjusted correctly.

Catherine Zipf: Yes, you are correct.

Millard: What kind of lighting were they going to use?

Kathleen Maynard: They were using LED strip lighting in green.

Lima: Nick, could you send an email to the Commission and go by at various times to make notes about the lighting so we can assist Sally. Are there some other questions about it? The sign on the State Street side looks like plastic. I did not think we had agreed to something like that.

Millard: And the size too. The letters look gigantic.

Lima: We have signed off on it?

Toth: No.

Butler: They were supposed to contact us when it was up.

Lima: We will have them do that. Any other issues to discuss?

Bergenholtz: The State Street fueling station.

Lima: It has to come before us.

Bergenholtz: Can you include what was originally approved? The tank seems like it was moved and is taller than it was supposed to be. I would like to see what we approved prior.

Toth: It seemed to be something off about the height of the fence.

Lima: They did not come back to us with what Zoning said.

Bergenholtz: Just what was approved at our meeting. Not just concerned about what we see, but what is seen from the water.

Lima: If they put these trees in, where is the tank?

Millard: On the ground, not under.

Bergenholtz: I do not think the people in the condos would appreciate 35ft tall trees.

Lima: Anything else?

Butler: The training session. Is anyone else going?

Lima: Yes.

Bergenholtz: I signed up.

Goins: Yes

Lima: We are going to carpool. John said he would drive.

Butler: The people who did the training in March may have fulfilled the required hours.

Lima: April was half of it, and this is the second half. We did have mandatory training here and we did it. We just need to know if this is the second half. Someone must keep track.

Goins: I will have Andy handle it.

Lima: Anything else? Nick?

Toth: I do not have anything else.

9. **Adjourned at 8:09pm**

PROJECT 23-140

Historic District Commission Application for Review of Proposed Work : HDC-57



Bristol Historic District Commission

Application for review of proposed Work

1. Property Address (Street & No.) 66 Franklin Street

2. Plat # 13 Lot # 9

3. a. Applicant: Richard & Jill Slocum

b. Owner *(if different from applicant written authorization of owner required)*:

Mailing Address:

Phone: 603-930-7919

Email: rick@lcrsource.com

4. a. Architect/Draftsman: Fence Depot - Warren RI

Phone: 401-247-0707

Email: fencedepot@verizon.net

b. Contractor: Fence Depot - Warren RI

Phone: 401-247-0707

Email: fencedepot@verizon.net

5. Work Category:

Addition to Structure(s)

6. Description of proposed work:

We just purchased 66 Frankling from Paul Bishop. Project is to add a gate and fence sections across our driveway. Installation to be ~ 40 feet down the driveway from the sidewalk -- about where the back of my vehicle is in the attached photo. Project will have a fence section immediately adjacent to the house then have twin 5' wide gates across the driveway, then a fence section immediately adjacent to the neighbor's existing wood fence. Fence style: Master Halco brand, Montage Genesis style, 4 ft high. This closely matches the existing decorative fence that is in the front of our home (see photo). Material is black powder coated steel - same as existing fence at front of our home. This project will be purchased (material & installation) from Fence Depot in Warren RI.

Richard & Jill Slocum

Richard W Slocum

Applicant's Name – Printed

Applicant's Signature

Date: September 15, 2023



CAI Property Card

Town of Bristol, RI

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR
LOCATION: 66 FRANKLIN ST ACRES: 0.4371 PARCEL ID: 13 9 LAND USE CODE: 01 CONDO COMPLEX: OWNER: SLOCUM, RICHARD WILLIAM III & CO - OWNER: SLOCUM, JILL MORSE TRUSTEES MAILING ADDRESS: 66 FRANKLIN ST ZONING: R-6 PATRIOT ACCOUNT #: 745	BUILDING STYLE: Restored His UNITS: 1 YEAR BUILT: 1833 FRAME: Wood Frame EXTERIOR WALL COVER: Clapboard ROOF STYLE: Gable ROOF COVER: Asphalt Shin
	BUILDING INTERIOR
SALE INFORMATION SALE DATE: 8/29/2023 BOOK & PAGE: 2222-25 SALE PRICE: 1,270,725 SALE DESCRIPTION: SELLER: BISHOP, PAMELA J.	INTERIOR WALL: Plaster FLOOR COVER: Hardwood HEAT TYPE: FWA w/AC FUEL TYPE: Oil PERCENT A/C: True # OF ROOMS: 9 # OF BEDROOMS: 3 # OF FULL BATHS: 2 # OF HALF BATHS: 0 # OF ADDITIONAL FIXTURES: 3 # OF KITCHENS: 1 # OF FIREPLACES: 0 # OF METAL FIREPLACES: 0 # OF BASEMENT GARAGES: 0
PRINCIPAL BUILDING AREAS	
GROSS BUILDING AREA: 5558 FINISHED BUILDING AREA: 2694 BASEMENT AREA: 1092 # OF PRINCIPAL BUILDINGS: 1	
ASSESSED VALUES	
LAND: \$269,200 YARD: \$24,500 BUILDING: \$440,300 TOTAL: \$734,000	
SKETCH	PHOTO



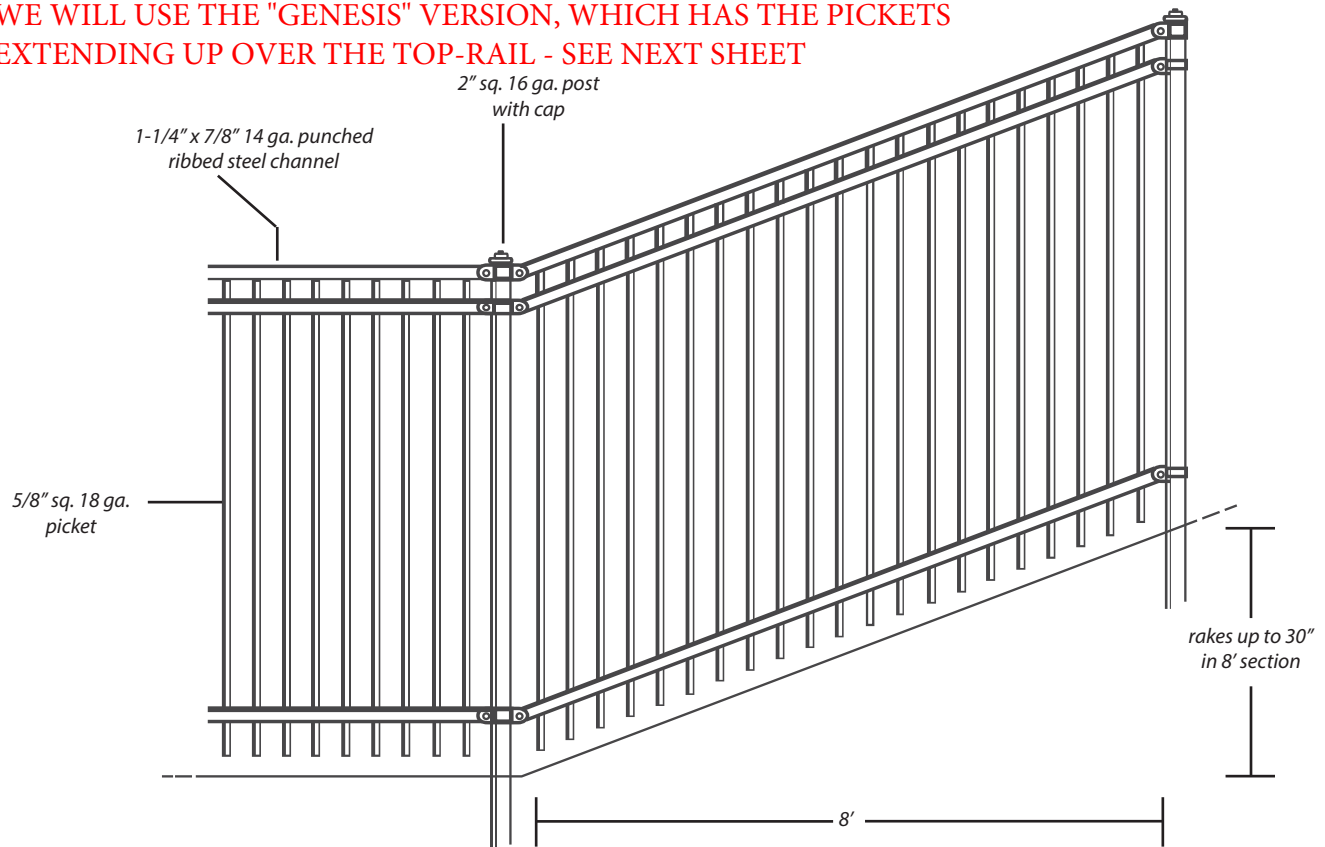
www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes, misuse or misrepresentation of this report.

8' Length ATF Panels • 5/8" SQ x 18 ga Pickets • 15/16" W x 1-1/4" H x 14 ga Rails

THIS IS THE OVERALL DESCRIPTION DATA SHEET FOR "MONTAGE" FENCE STYLE

WE WILL USE THE "GENESIS" VERSION, WHICH HAS THE PICKETS EXTENDING UP OVER THE TOP-RAIL - SEE NEXT SHEET



Style, Beauty & Protection in Residential Steel Fencing

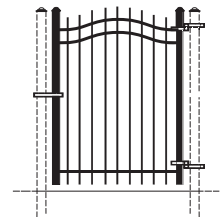
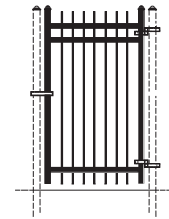
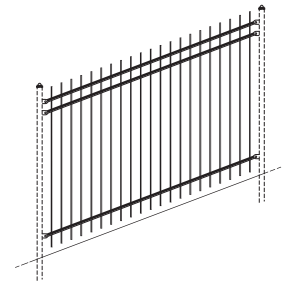
Product Features

- **Pro-Fusion welding process creates a virtually invisible structural connection at every picket-to-rail connection**
- **E-Coat finishing process delivers maintenance-free ownership for a lifetime**
- **Biasability (up to 30 inches over 8 feet) to follow the contour of the landscape**
- **Available in both 4" air gap traditional fencing and 3" air gap Pool, Pet, and Play fencing for added strength and security**
- **Wide selection of styles to complement any residential property**
- **Pre-assembled sections for quick and easy installation**
- **Gates are welded rail and picket for added strength and durability**
- **Full line of accessories available**
- **Made in USA**
- **Lifetime Limited Warranty**

8' Length ATF Panels • 5/8" SQ x 18 ga Pickets • 15/16" W x 1-1/4" H x 14 ga Rails

Genesis - 3 Rail Picket Bottom, 4" Air Gap

DESCRIPTION	PART NO. BLACK	PART NO. BRONZE	WEIGHT EA.	NOTES
4' High ATF Panel	890542	890548	42.00	
42" Wide Straight Gate	893122	893128	25.00	
4' Wide Straight Gate	893132	893138	28.00	
5' Wide Straight Gate	893142	893148	32.00	
6' Wide Straight Gate	893152	893158	40.00	
7' Wide Straight Gate	893162	893168	44.00	
8' Wide Straight Gate	893172	893178	52.00	
42" Wide Arch Gate	012548	—	28.00	
4' Wide Arch Gate	238D00	—	32.00	
5' Wide Arch Gate	012549	—	40.00	
6' Wide Arch Gate	239D00	—	45.00	
5' High ATF Panel	890552	890558	49.00	
42" Wide Straight Gate	893182	893188	30.00	
4' Wide Straight Gate	893192	893198	33.00	
5' Wide Straight Gate	893202	893208	38.00	
6' Wide Straight Gate	893212	893218	47.00	
7' Wide Straight Gate	893222	893228	51.00	
8' Wide Straight Gate	893232	893238	61.00	
42" Wide Arch Gate	012550	589E00	33.00	
4' Wide Arch Gate	360H00	177T00	52.00	
5' Wide Arch Gate	253D00	—	44.00	
6' Wide Arch Gate	294K00	—	47.00	
6' High ATF Panel	890562	890568	55.00	
42" Wide Straight Gate	893242	893248	35.00	
4' Wide Straight Gate	893252	893258	38.00	
5' Wide Straight Gate	893262	893268	44.00	
6' Wide Straight Gate	893272	893278	54.00	
7' Wide Straight Gate	893282	893288	59.00	
8' Wide Straight Gate	893292	893298	70.00	
42" Wide Arch Gate	576G00	—	38.00	
4' Wide Arch Gate	621D00	—	41.00	
5' Wide Arch Gate	921W00	—	52.00	
6' Wide Arch Gate	575G00	—	61.00	



ATF Panels are 94" actual length • All gates listed are single swing and welded with 1-1/4" x 16 ga Gate Ends and Caps • Hinges sold separately





Item 1.



24

Item 1.



25



200 foot Abutters List Report

Bristol, RI
October 06, 2023

Subject Property:

Parcel Number: 13-9
CAMA Number: 13-9
Property Address: 66 FRANKLIN ST

Mailing Address: SLOCUM, RICHARD WILLIAM III &
SLOCUM, JILL MORSE TRUSTEES
8312 SE PILOTS COVE TERRACE
HOBE SOUND, FL 33455

Abutters:

Parcel Number: 12-72
CAMA Number: 12-72
Property Address: 363 HIGH ST

Mailing Address: LIMA, GEORGE C. JR
363 HIGH ST
BRISTOL, RI 02809

Parcel Number: 12-73
CAMA Number: 12-73
Property Address: 73 FRANKLIN ST

Mailing Address: OLIVEIRA, DAVID TRUSTEE RAYMOND
CORDEIRO & ORY ANN LIMA
73 FRANKLIN ST
BRISTOL, RI 02809

Parcel Number: 12-74
CAMA Number: 12-74
Property Address: 69 FRANKLIN ST

Mailing Address: CALOURO, MOSES J. JR. PORTIA ETUX
PO BOX 612
ORLEANS, MA 02653

Parcel Number: 12-75
CAMA Number: 12-75
Property Address: 65 FRANKLIN ST

Mailing Address: REGO, LYNDA J TRUSTEE REGO 65
FRANKLIN TRUST
65 FRANKLIN ST
BRISTOL, RI 02809

Parcel Number: 12-76
CAMA Number: 12-76
Property Address: 57 FRANKLIN ST

Mailing Address: MCCLOY, CHRISTOPHER LANE &
VIRGINIA TE
4 MILLS RD, PMB 92
NEWCASTLE, ME 04553

Parcel Number: 12-77
CAMA Number: 12-77
Property Address: 55 FRANKLIN ST

Mailing Address: STEINBACH, MEREDITH L. TRUSTEE
MEREDITH L. STEINBACK LIVING
55 FRANKLIN ST.
BRISTOL, RI 02809

Parcel Number: 12-82
CAMA Number: 12-82
Property Address: 47 FRANKLIN ST

Mailing Address: RIGBY, GEORGE T JR
47 FRANKLIN ST
BRISTOL, RI 02809

Parcel Number: 13-1
CAMA Number: 13-1
Property Address: 349 HIGH ST

Mailing Address: 349 HIGH STREET, LLC
PO BOX 247
LYME, NH 03768

Parcel Number: 13-10
CAMA Number: 13-10
Property Address: 62 FRANKLIN ST

Mailing Address: 62 FRANKLIN LLC
48 CONSTITUTION ST
BRISTOL, RI 02809

Parcel Number: 13-11
CAMA Number: 13-11
Property Address: 56 FRANKLIN ST

Mailing Address: RICCIO, JAMES F ELIZABETH S LE
56 FRANKLIN ST
BRISTOL, RI 02809



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200 foot Abutters List Report

Bristol, RI
October 06, 2023

Parcel Number: 13-12
CAMA Number: 13-12
Property Address: 50 FRANKLIN ST

Mailing Address: YOCK, DOUGLAS F. ET UX KRISTEN
YOCK TE
50 FRANKLIN ST.
BRISTOL, RI 02809

Parcel Number: 13-13
CAMA Number: 13-13
Property Address: 46 FRANKLIN ST

Mailing Address: CONTI, ANGELO J LIFE ESTATE
CONTI, DIANE M. & MICHAEL A.TC
46 FRANKLIN ST
BRISTOL, RI 02809

Parcel Number: 13-2
CAMA Number: 13-2
Property Address: 70 FRANKLIN ST

Mailing Address: HUDAK, STEVEN M. MELISSA A. TE
70 FRANKLIN ST
BRISTOL, RI 02809

Parcel Number: 13-20
CAMA Number: 13-20
Property Address: 620 HOPE ST

Mailing Address: MILLARD, MARY C & CHARLES E JR -
TRUSTEES MARY C MILLARD &
CHARLES E MILLARD JR TRUSTS
620 HOPE ST
BRISTOL, RI 02809

Parcel Number: 13-21
CAMA Number: 13-21
Property Address: 325 HIGH ST

Mailing Address: WHITFIELD, AMY & CROWELL,
JONATHAN JT
325 HIGH ST
BRISTOL, RI 02809

Parcel Number: 13-22
CAMA Number: 13-22
Property Address: 34 CENTRAL ST

Mailing Address: FONSECA, RICHARD A TRUSTEE
SILVIA, CAROL E TRUSTEE
16 SHEFFIELD AVE
BRISTOL, RI 02809

Parcel Number: 13-23
CAMA Number: 13-23
Property Address: 35 CENTRAL ST

Mailing Address: SPARKMAN, THORNE III LANE T. TE
35 CENTRAL ST
BRISTOL, RI 02809

Parcel Number: 13-24
CAMA Number: 13-24
Property Address: 33 CENTRAL ST

Mailing Address: BURNHAM, H BENNETT III
33 CENTRAL STREET
BRISTOL, RI 02809

Parcel Number: 13-26
CAMA Number: 13-26
Property Address: 321 HIGH ST

Mailing Address: COLE, WILLIAM H & CYNTHIA J
321 HIGH ST
BRISTOL, RI 02809

Parcel Number: 13-27
CAMA Number: 13-27
Property Address: 32 CENTRAL ST

Mailing Address: SOUSA, ELIZABETH
32 CENTRAL ST
BRISTOL, RI 02809

Parcel Number: 13-28
CAMA Number: 13-28
Property Address: 31 CENTRAL ST

Mailing Address: ZIEGLER, MARYANNE T.
31 CENTRAL ST
BRISTOL, RI 02809

Parcel Number: 13-3
CAMA Number: 13-3
Property Address: 341 HIGH ST

Mailing Address: RIBEIRO, ALMERINDA C
341 HIGH ST
BRISTOL, RI 02809



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200 foot Abutters List Report

Bristol, RI
October 06, 2023

Parcel Number: 13-30
CAMA Number: 13-30
Property Address: 117 BRADFORD ST

Mailing Address: SANSONE FAMILY REALTY, LLC
617 HOPE ST
BRISTOL, RI 02809

Parcel Number: 13-31
CAMA Number: 13-31
Property Address: 115 BRADFORD ST

Mailing Address: 115 BRADFORD ST LLC DEBORAH J. HILL
70 FERNBROOK LN
CENTERVILLE, MA 02632-2908

Parcel Number: 13-32
CAMA Number: 13-32
Property Address: 103 BRADFORD ST

Mailing Address: LAWTON, BARBARA A
103 BRADFORD ST
BRISTOL, RI 02809

Parcel Number: 13-33
CAMA Number: 13-33
Property Address: 28 CENTRAL ST

Mailing Address: CIRILLO, LOUIS P. ET UX SUSAN E. CIRILLO TE
28 CENTRAL ST.
BRISTOL, RI 02809

Parcel Number: 13-34
CAMA Number: 13-34
Property Address: 97 BRADFORD ST

Mailing Address: WEISS, GUARY & BAILEY, BETTY TE
97 BRADFORD ST
BRISTOL, RI 02809

Parcel Number: 13-35
CAMA Number: 13-35
Property Address: 93 BRADFORD ST

Mailing Address: CAMPAGNA, MICHAEL J.
93 BRADFORD ST
BRISTOL, RI 02809

Parcel Number: 13-4
CAMA Number: 13-4
Property Address: 335 HIGH ST

Mailing Address: COTE, CHRISTOPHER ANNA TE
335 HIGH ST
BRISTOL, RI 02809

Parcel Number: 13-5
CAMA Number: 13-5
Property Address: 331 HIGH ST

Mailing Address: BRISTOL PROPERTIES, LLC
122 WYCKOFF ST, Unit STE. 1
BROOKLYN, NY 11201

Parcel Number: 13-59
CAMA Number: 13-59
Property Address: 99 BRADFORD ST

Mailing Address: FERRARA, GERARDO J ET AL C/O MARY R. FERRARA
15 VARIN DR
SMITHFIELD, RI 02917

Parcel Number: 13-6
CAMA Number: 13-6
Property Address: 329 HIGH ST

Mailing Address: KOTUBY, PETER MCKENZIE G & KOTUBY, PAUL, MICHAEL G &
41 KICKEMUIT AVE
BRISTOL, RI 02809

Parcel Number: 13-60
CAMA Number: 13-60
Property Address: 38 CENTRAL ST

Mailing Address: SOOKNAH FAMILY REVOCABLE TRUST
SOOKNAH, RAMDEO & SARA MELLO,
TRUSTEES
38 CENTRAL ST
BRISTOL, RI 02809

Parcel Number: 13-61
CAMA Number: 13-61
Property Address: 113 BRADFORD ST

Mailing Address: VISWANATH, SAI ETAL JT & KATAFIASZ, MICHELLE ANN
113 BRADFORD ST
BRISTOL, RI 02809



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200 foot Abutters List Report

Bristol, RI
October 06, 2023

Parcel Number: 13-62 CAMA Number: 13-62 Property Address: HIGH ST	Mailing Address: WHITFIELD, AMY & CROWELL, JONATHAN JT 34 THAMES ST BRISTOL, RI 02809
Parcel Number: 13-7 CAMA Number: 13-7 Property Address: 327 HIGH ST	Mailing Address: 327 HIGH PROPERTIES LLC & 32 LORRAINE STREET BARRINGTON, RI 02806
Parcel Number: 13-8 CAMA Number: 13-8 Property Address: 68 FRANKLIN ST	Mailing Address: O'DONNELL, FRANCES 68 FRANKLIN ST BRISTOL, RI 02809
Parcel Number: 17-119 CAMA Number: 17-119 Property Address: 332 HIGH ST	Mailing Address: EAST BAY COMMUNITY DEVELOPMENT CORPORATION 150 FRANKLIN ST BRISTOL, RI 02809
Parcel Number: 17-126 CAMA Number: 17-126 Property Address: 328 HIGH ST	Mailing Address: HOPE-HIGH REALTY TRUST, LLC 328 HIGH ST BRISTOL, RI 02809
Parcel Number: 17-127 CAMA Number: 17-127 Property Address: 320 HIGH ST	Mailing Address: HOPE-HIGH REALTY TRUST, LLC 328 HIGH ST BRISTOL, RI 02809
Parcel Number: 17-145 CAMA Number: 17-145 Property Address: HIGH ST	Mailing Address: MEDEIROS, ANTHONY 342 HIGH ST. BRISTOL, RI 02809
Parcel Number: 17-72 CAMA Number: 17-72 Property Address: 75 FRANKLIN ST	Mailing Address: DOSREIS, TERRY & ENES, ANTONIO J TRUSTEES 25 PECKHAM PL BRISTOL, RI 02809
Parcel Number: 17-94 CAMA Number: 17-94 Property Address: 348 HIGH ST	Mailing Address: JAREM, TODD S. 348 HIGH STREET BRISTOL, RI 02809
Parcel Number: 17-95 CAMA Number: 17-95 Property Address: 342 HIGH ST	Mailing Address: MEDEIROS, ANTHONY 342 HIGH ST. BRISTOL, RI 02809



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PROJECT 23-141

Historic District Commission Application for Review of Proposed Work : HDC-58



Bristol Historic District Commission

Application for review of proposed Work

1. Property Address (Street & No.) 649 Hope Street

2. Plat # 9 Lot # 2

3. a. Applicant: Catharine Cromwell

b. Owner *(if different from applicant written authorization of owner required)*:

Mailing Address: 649 Hope Street

Phone: 401-440-0090

Email: cara.cromwell@gmail.com

4. a. Architect/Draftsman:

Phone:

Email:

b. Contractor: Charles E Millard

Phone: 401-374-1290

Email: chuckmillard1@gmail.com

5. Work Category:

Remodeling of Structure(s)

6. Description of proposed work:

replace rotting window with door in garage

Catharine Cromwell

Catharine Cromwell

Applicant's Name – Printed

Applicant's Signature

Date: September 20, 2023

Item 2.



200 foot Abutters List Report

Bristol, RI
October 06, 2023

Subject Property:

Parcel Number: 9-2
CAMA Number: 9-2
Property Address: 649 HOPE ST

Mailing Address: CROMWELL, CATHERINE M.
649 HOPE ST
BRISTOL, RI 02809

Abutters:

Parcel Number: 12-85
CAMA Number: 12-85
Property Address: 686 HOPE ST

Mailing Address: DAPONTE, STEPHEN
1231 Irving St NE
Washington, DC 20017-2428

Parcel Number: 12-86
CAMA Number: 12-86
Property Address: 31 FRANKLIN ST

Mailing Address: TEIXEIRA, JOSE C.
2 DOLLY DR
BRISTOL, RI 02809

Parcel Number: 12-87
CAMA Number: 12-87
Property Address: 680 HOPE ST

Mailing Address: E BAY MENTAL HEALTH CENTER INC
C/O EAST BAY CENTER, INC.
19 BROADWAY
NEWPORT, RI 02840

Parcel Number: 12-93
CAMA Number: 12-93
Property Address: 678 HOPE ST

Mailing Address: MT HOPE LIQUORS INC
678 HOPE STREET
BRISTOL, RI 02809

Parcel Number: 13-15
CAMA Number: 13-15
Property Address: 38 FRANKLIN ST

Mailing Address: BARREIRA, MICHELLE
38 FRANKLIN ST
BRISTOL, RI 02809

Parcel Number: 13-16
CAMA Number: 13-16
Property Address: 32 FRANKLIN ST

Mailing Address: PROTO, CECILIA LIFE EST SANDO A.&
MARY J BIA
11 KAREN ANN DR
BRISTOL, RI 02809

Parcel Number: 13-17
CAMA Number: 13-17
Property Address: 674 HOPE ST

Mailing Address: SILVA SEVEN, INC
674 HOPE ST
BRISTOL, RI 02809

Parcel Number: 13-18
CAMA Number: 13-18
Property Address: 656 HOPE ST

Mailing Address: LAVELLE, JASON ET UX BETH A.
LAVELLE TTE
656 HOPE ST
BRISTOL, RI 02809

Parcel Number: 13-19
CAMA Number: 13-19
Property Address: 652 HOPE ST

Mailing Address: REGO, DAVID E. ETAL JT FERNANDA
P. REGO IRREV LIV FA
652 HOPE ST
BRISTOL, RI 02809

Parcel Number: 13-20
CAMA Number: 13-20
Property Address: 620 HOPE ST

Mailing Address: MILLARD, MARY C & CHARLES E JR -
TRUSTEES MARY C MILLARD &
CHARLES E MILLARD JR TRUSTS
620 HOPE ST
BRISTOL, RI 02809



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200 foot Abutters List Report

Bristol, RI
October 06, 2023

Parcel Number: 13-25 CAMA Number: 13-25 Property Address: 610 HOPE ST	Mailing Address: RAWSON, DAVID A. BARBARA M. TE 610 HOPE ST BRISTOL, RI 02809
Parcel Number: 8-20 CAMA Number: 8-20 Property Address: 685 HOPE ST	Mailing Address: ZAMIL, JAMES M & CHERYL A TE 685 HOPE ST BRISTOL, RI 02809
Parcel Number: 8-22 CAMA Number: 8-22 Property Address: 681 HOPE ST	Mailing Address: HOWLETT, JANE F. 865 HOPE ST. BRISTOL, RI 02809
Parcel Number: 8-23 CAMA Number: 8-23 Property Address: 17 FRANKLIN ST	Mailing Address: MONIZ, JOSEPH ET UX LUBELIA MONIZ TE 2 BORGES STREET BRISTOL, RI 02809
Parcel Number: 8-24 CAMA Number: 8-24 Property Address: 11 FRANKLIN ST	Mailing Address: REGO, DAVID E. FERNANDA P REGO IRREV LIV TRS 652 HOPE ST BRISTOL, RI 02809
Parcel Number: 8-25 CAMA Number: 8-25 Property Address: 468 THAMES ST	Mailing Address: NICHOLS, REBECCA K&THOMAS L & LUNNEY, MICHAEL P & C/O 208 BAY VIEW AVE BRISTOL, RI 02809
Parcel Number: 8-26 CAMA Number: 8-26 Property Address: 3 FRANKLIN ST	Mailing Address: SANSONE FAMILY REALTY LLC 617 HOPE ST BRISTOL, RI 02809
Parcel Number: 9-1 CAMA Number: 9-1 Property Address: 675 HOPE ST	Mailing Address: BOSI, LORI A 675 HOPE ST BRISTOL, RI 02809
Parcel Number: 9-10 CAMA Number: 9-10 Property Address: THAMES ST	Mailing Address: STATE OF RHODE ISLAND (INDEPENDENCE PARK) 235 PROMENADE ST PROVIDENCE, RI 02908
Parcel Number: 9-11 CAMA Number: 9-11 Property Address: 617 HOPE ST	Mailing Address: SANSONE, AMELIA M. TRUSTEE THE ELISA SANSONE TRUST-2013 617 HOPE ST BRISTOL, RI 02809
Parcel Number: 9-12 CAMA Number: 9-12 Property Address: 392 THAMES ST	Mailing Address: CARVARA, CYNTHIA N. 90 GRELOCK RD BRISTOL, RI 02809
Parcel Number: 9-3 CAMA Number: 9-3 Property Address: 14 FRANKLIN ST	Mailing Address: DELMAGE, MARTHA & COLLEEN N JT 14 FRANKLIN ST BRISTOL, RI 02809



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200 foot Abutters List Report

Bristol, RI
October 06, 2023

Parcel Number: 9-4
CAMA Number: 9-4-001
Property Address: 446-448 THAMES ST

Mailing Address: JRA REALTY, LLC
JONATHAN ARCARI 7 BALLISTER ST
WAKEFIELD, MA 01880

Parcel Number: 9-4
CAMA Number: 9-4-002
Property Address: 446 THAMES ST

Mailing Address: ELIZABETH GLORIA, LLC
444 THAMES ST
BRISTOL, RI 02809

Parcel Number: 9-6
CAMA Number: 9-6
Property Address: 647 HOPE ST

Mailing Address: BRAZIL, ALFRED
647 HOPE ST
BRISTOL, RI 02809

Parcel Number: 9-68
CAMA Number: 9-68
Property Address: 412 THAMES ST

Mailing Address: MELLO, GARY R
565 WARREN AVE
SWANSEA, MA 02777

Parcel Number: 9-7
CAMA Number: 9-7
Property Address: 631 HOPE ST

Mailing Address: HEWITT, NOEL T & KLONER, CHRISTINE
K TE
631 HOPE ST
BRISTOL, RI 02809

Parcel Number: 9-8
CAMA Number: 9-8
Property Address: 410 THAMES ST

Mailing Address: EAGLE AND IVY, LLC
37 FACTORY POND CIRCLE
SMITHFIELD, RI 02917

Parcel Number: 9-9
CAMA Number: 9-9
Property Address: 406 THAMES ST

Mailing Address: ALMEIDA, WALTER R. TRUSTEE
282 STATE ST
BRISTOL, RI 02809



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CAI Property Card

Town of Bristol, RI

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR	
<p>LOCATION: 649 HOPE ST ACRES: 0.3098 PARCEL ID: 9 2 LAND USE CODE: 01 CONDO COMPLEX: OWNER: CROMWELL, CATHERINE M. CO - OWNER: MAILING ADDRESS: 649 HOPE ST</p> <p>ZONING: R-6 PATRIOT ACCOUNT #: 305</p>	<p>BUILDING STYLE: Restored His UNITS: 1 YEAR BUILT: 1784 FRAME: Wood Frame EXTERIOR WALL COVER: Wood Shngle ROOF STYLE: Gable ROOF COVER: Asphalt Shin</p>	
	BUILDING INTERIOR	
<th data-bbox="82 674 966 716">SALE INFORMATION</th> <td data-bbox="966 558 1523 1314"> <p>INTERIOR WALL: Drywall FLOOR COVER: Hardwood HEAT TYPE: Radiant Hot FUEL TYPE: Oil PERCENT A/C: False # OF ROOMS: 10 # OF BEDROOMS: 4 # OF FULL BATHS: 2 # OF HALF BATHS: 1 # OF ADDITIONAL FIXTURES: 2 # OF KITCHENS: 1 # OF FIREPLACES: 2 # OF METAL FIREPLACES: 0 # OF BASEMENT GARAGES: 0</p> </td>	SALE INFORMATION	<p>INTERIOR WALL: Drywall FLOOR COVER: Hardwood HEAT TYPE: Radiant Hot FUEL TYPE: Oil PERCENT A/C: False # OF ROOMS: 10 # OF BEDROOMS: 4 # OF FULL BATHS: 2 # OF HALF BATHS: 1 # OF ADDITIONAL FIXTURES: 2 # OF KITCHENS: 1 # OF FIREPLACES: 2 # OF METAL FIREPLACES: 0 # OF BASEMENT GARAGES: 0</p>
<th data-bbox="82 915 966 957">PRINCIPAL BUILDING AREAS</th> <td data-bbox="966 1314 1523 1356"></td>	PRINCIPAL BUILDING AREAS	
<p>GROSS BUILDING AREA: 5604 FINISHED BUILDING AREA: 3492 BASEMENT AREA: 1080 # OF PRINCIPAL BUILDINGS: 1</p>		
<th data-bbox="82 1115 966 1157">ASSESSED VALUES</th> <td data-bbox="966 1398 1523 1440"></td>	ASSESSED VALUES	
<p>LAND: \$382,500 YARD: \$49,400 BUILDING: \$555,400 TOTAL: \$987,300</p>		
SKETCH	PHOTO	



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Quote Form

Item 2.

NATIONAL LUMBER WARWICK
3356 POST ROAD
WARWICK RI 02886
401-921-0400



Project Information (ID #7420108 Revision #11164544)

[Hide](#)

Project Name: Millard - Cromwell 08-14-23
Customer:
Contact Name:
Phone (Main):
Phone (Cell):
Customer Type:
Terms:

Quote Date: 8/21/2023
Submitted Date:
PO#: Millard - Cromwell 08-14-23
Sales Rep Name: Brad Borges
Salesperson:

Delivery Information

[Hide](#)

Shipping Contact:
Shipping Address:
City:
State:
Zip:

Comments:

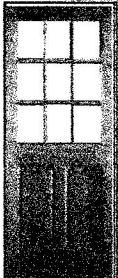
Unit Detail

[Hide All Configuration Options](#)

Item: 0001: Ext 32" x 80" F944 RHO 4 9/16" FrameSaver

Location:

Quantity: 1



Fir 32"x80" Single Door

957.61

Configuration Options [Hide](#)



EXTERIOR
Right-Hand Outswing

- **Product Category:** Exterior Doors
- **Manufacturer:** Reeb - Wood Exterior
- **Product Type:** Exterior
- **Region:** East
- **Product Material:** Standard Series Wood
- **Material Type:** Fir
- **Configuration (Units viewed from Exterior):** Single Door
- **Factory Finish Option:** No
- **Slab Width:** 32"
- **Slab Height:** 80"
- **Product Style:** 1/2 Lite
- **Raised Molding:** None
- **Glass Type:** Clear
- **Panel Type:** 3/4" Double Hip Raised

- **Grille Type:** 1-1/4" TDL
- **Insulation:** Single Pane Safety Glass
- **Model:** F944
- **Handing:** Right Hand Outswing
- **Frame Material:** FrameSaver
- **Jamb Depth:** 4 9/16"
- **Casing/Brickmould Pattern:** None
- **Hinge Type:** Radius NRP Ball Bearing
- **Hinge Brand:** Reeb
- **Hinge Finish:** US3 Bright Brass
- **Sill:** Composite Outswing
- **Sill Finish:** Mill Finish w Light Cap
- **Lock Option:** None
- **Bore:** Single Lock Bore 2-3/8" Backset
- **Weatherstrip Type:** Compression
- **Weatherstrip Color:** Bronze
- **Custom Height Option:** No
- **Kick Plate:** None
- **Finish Frame Exterior Color:** Unfinished
- **Finish Frame Interior Color:** Unfinished
- **Rough Opening Width:** 34 1/2"
- **Rough Opening Height:** 81 5/8"
- **Total Unit Width(Includes Exterior Casing):** 33 5/8"
- **Total Unit Height(Includes Exterior Casing):** 81 1/8"





HOPE STREET (continued)

this house in 1833. After his death in 1850, his widow, Abby E. Babbitt, owned both this house and the one just south at 610 Hope Street. A wooden rear wing was added by 1870, and by 1903, a full-width Colonial Revival porch existed; it was removed in the early 1980s to reveal the original pilastered entrance with an arched fanlight.

- *631 **SECOND MARTIN BENNETT HOUSE (c. 1852-55):** This is a sophisticated 2-story, 3-bay, flat-roof, Italianate dwelling. The facade has a narrow, recessed center bay containing a round-head entrance, a form repeated in the arched entrance to the console-supported balcony above. Tripartite windows flank these doors on both first and second levels, and two identical porches with cut-out posts and screens are on the first floor. The flush-board siding simulating stone and the brackets under the projecting cornice and balcony are typical Italianate details. A strong similarity exists to 117 State Street. Martin Bennett was cashier of the First National Bank of Bristol and later treasurer of the Bristol Institution for Savings. His first house was at 93 Bradford Street.
- *647 **JOSIAH TALBOT HOUSE (1838, 1850s):** Designed by Russell Warren, this 2-story, 3-bay, gable-roof Greek Revival house is one of the finest in the state. Its facade has a pair of fluted Corinthian columns, set *in antis*, a contrast to the full tetrastyle portico of the Dimond House at 617 Hope Street. A simple side-hall entrance is framed by heavy Doric pilasters, supporting a broad, plain entablature. The walls are sheathed with horizontal flush boarding and clapboards. A rear ell was added in the mid-1850s. The original interior is virtually intact. Talbot was part-owner of a schooner, and owner and master of two brigs.
- *649 **STEPHEN WARDWELL HOUSE (1784):** This 2-story, 5-bay Federal house, built on the site of the Wardwell Tavern, is unusually well preserved. The facade centers on an elliptical-arched entrance with a delicate fanlight and sidelights, framed by engaged Doric columns. The double-hung 12-over-12 and 12-over-8 windows have heavy plank casings trimmed with splayed lintels. Stephen Wardwell's heirs sold the house in 1821 to Nicholas Peck, a merchant and shipowner. The house was then sold to the Paull family in 1902, who still retain ownership. Additions include the rear northwest ell and enclosed porch.
- *658 **GARDNER-BOSWORTH HOUSE (c. 1840, c. 1893):** The original 2-1/2-story, 3-bay, end-gable-roof Greek Revival form of this dwelling was strongly influenced by Russell Warren's designs. In 1850 the house was purchased by Moses Wood, superintendent of the Namquit Mill, from the estate of Benjamin Gardner. It was extensively altered by Orin Bosworth, who purchased it in 1893. Additions include a 2-1/2-story, octagonal tower on the southwest corner; a full-width bracketed porch; and a 1-story wing on the north. The original Greek Revival entrance, with a wide entablature supported by rusticated pilasters, remains within the porch. Bosworth, descendant of one of the town's first settlers, was an attorney with an office on Bradford Street. From 1897 to 1911 he was a judge of the Fifth District Court.
- *675 **JEREMIAH WILSON HOUSE (before 1751, c. 1835):** The first house on this lot was built c. 1709 for Samuel Woodbury, town surveyor. In 1750 his son Jonathan Woodbury split the lot and sold the eastern quarter-acre,

PROJECT 23-143

Historic District Commission Application for Review of Proposed Work : HDC-60



Bristol Historic District Commission

Application for review of proposed Work

1. Property Address (Street & No.) 1 Constitution St

2. Plat # 63 Lot # 1

3. a. Applicant: Bret Milot

b. Owner (*if different from applicant written authorization of owner required*): Elks Club

Mailing Address:

Phone: 617-803-1181

Email: john.salesses@gmail.com

4. a. Architect/Draftsman:

Phone:

Email:

b. Contractor: Pella Windows

Phone: 401-575-0046

Email: bmilot@gopella.com

5. Work Category:

Replacing in Kind

6. Description of proposed work:

Replacing windows with in kind windows

Bret Milot

Arthur B. Milot

Applicant's Name – Printed

Applicant's Signature

COLT STATE PARK (continued)

September 26, 1913, the gates carry the inscription, "Colt Farm. Private property, Public welcome."

- * COLT DAIRY BARN (1917): Designed by architect Wallis E. Howe and built to house a Jersey herd, this fieldstone barn complex has a 1-1/2-story, gable-roofed, steel-framed central section with a 2-story, ogee-domed tower at the southwest corner and two large silos. This picturesque complex included a cow barn, a calf barn, a maternity ward, a bull pen, and a dairy, arranged around a spacious courtyard. It was originally roofed with red-glazed pantiles. After a fire in the 1930s, the cow barn was covered with red asphalt shingles. Colt's office in its octagonal trophy room, originally decorated with murals and Rodin sculptures (removed to Linden Place), is now the park office. Bronze lions guard the gate.

CONGREGATIONAL STREET (formerly Congregational Lane)

The Catholic Congregational Society, incorporated in 1819, leased lots on Congregational Lane (a narrow way extending from High Street to Wood Street) just south of its lot at the intersection of Franklin and High Streets. Small-scale houses built from the early 1800s to the late 1880s line both sides of this narrow street.

- *8 JULIA FISH COTTAGE (c. 1846): A 4-bay, end-gable-roof, Greek Revival type, moved here from an unknown location before 1851.
- *19 CLARK VAUGHN LEASEHOLD COTTAGE (c. 1819): A 1-story, 3-bay half-house, an early to mid-18th-century type, with heavy, pegged window casings and corner quoins. Benjamin West, a blockmaker, sold his interest in this lot to Clark Vaughn, housewright, for \$225 in 1819; subsequent deeds all refer to the "leasehold" estate which returned to the ownership of the First Congregational Church in 1978. In 1982 the house, again in private ownership, was restored.
- *36 WOODBURY LINDSEY COTTAGE (c. 1850): A typical, 3-bay, end-gable-roof, Greek Revival house. Between 1887 and 1912, the Bristol Home for Destitute Children owned the house.
- *38 WILLIAM HANDY HOUSE (c. 1855): A transitional Greek Revival/ Bracketed, 3-bay, end-gable-roof cottage. The mass, siting, and use of corner pilasters are typically Greek Revival; the brackets on the railing and eaves, round-headed windows on the second floor, and the entrance hood are in the picturesque Italianate mode.

CONSTITUTION STREET

- *1 BRISTOL YACHT CLUB/BRISTOL COUNTY LODGE #1860, BENEVOLENT AND PROTECTIVE ORDER OF ELKS (1939): Norman Francis Herreshoff designed this 2-story, flat-roof, modernist structure (now altered) to replace a 45-year old yacht clubhouse swept away by the 1938 hurricane. The design, intended to be hurricane-proof, includes steel diagonal braces in the kitchen partitions, anchored to the foundation. In 1955 the Yacht Club moved to Red Crest on Poppasquash.



200 foot Abutters List Report

Bristol, RI
October 06, 2023

Subject Property:

Parcel Number: 10-63
CAMA Number: 10-63
Property Address: 1 CONSTITUTION ST

Mailing Address: BRISTOL CNTY LODGE 1860
BENEVOLENT & PROTECTIVE
P. O. BOX 226
BRISTOL, RI 02809

Abutters:

Parcel Number: 10-42
CAMA Number: 10-42
Property Address: THAMES ST

Mailing Address: THAMES STREET NASHUA, LLC
303 MANCHESTER SUITE 303
MANCHESTER, NH 03101

Parcel Number: 10-57
CAMA Number: 10-57
Property Address: 50 THAMES ST

Mailing Address: OUELLETTE, DAVID ALAN & BURGIO,
JENNIFER JT
50 THAMES ST
BRISTOL, RI 02809

Parcel Number: 10-58
CAMA Number: 10-58
Property Address: 38 THAMES ST

Mailing Address: SALCONE, PETER M.
509 CLARKS ROW
BRISTOL, RI 02809

Parcel Number: 10-59
CAMA Number: 10-59
Property Address: 34 THAMES ST

Mailing Address: CABRAL, VICTOR G JR MA
122 MT. HOPE AVE
BRISTOL, RI 02809

Parcel Number: 10-60
CAMA Number: 10-60
Property Address: 125 THAMES ST

Mailing Address: THAMES STREET NASHUA, LLC
303 MANCHESTER SUITE 303
MANCHESTER, NH 03101

Parcel Number: 10-61
CAMA Number: 10-61
Property Address: THAMES ST

Mailing Address: THAMES STREET NASHUA, LLC
303 MANCHESTER SUITE 303
MANCHESTER, NH 03101

Parcel Number: 10-62
CAMA Number: 10-62
Property Address: CONSTITUTION ST

Mailing Address: THAMES STREET NASHUA, LLC
303 MANCHESTER SUITE 303
MANCHESTER, NH 03101

Parcel Number: 10-73
CAMA Number: 10-73
Property Address: CONSTITUTION ST

Mailing Address: THAMES STREET NASHUA, LLC
670 NORTH COMMERCIAL ST, SUITE 303
MANCHESTER, NH 03101

Parcel Number: 11-10
CAMA Number: 11-10
Property Address: 4 CONSTITUTION ST

Mailing Address: KARIAN, ROBIN
37 FACTORY POND CIRCLE
GREENVILLE, RI 02828

Parcel Number: 11-11
CAMA Number: 11-11
Property Address: THAMES ST

Mailing Address: USCG FINANCE CENTER
P.O. BOX 4109
CHESAPEAKE, VA 23327



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.



200 foot Abutters List Report

Bristol, RI
October 06, 2023

Parcel Number: 11-12
CAMA Number: 11-12
Property Address: 2 THAMES ST

Mailing Address: USCG FINANCE CENTER
P.O. BOX 4109
CHESAPEAKE, VA 23327

Parcel Number: 11-22
CAMA Number: 11-22
Property Address: CONSTITUTION ST

Mailing Address: USCG FINANCE CENTER
P.O. BOX 4109
CHESAPEAKE, VA 23327

Parcel Number: 11-23
CAMA Number: 11-23
Property Address: CONSTITUTION ST

Mailing Address: USCG FINANCE CENTER
P.O. BOX 4109
CHESAPEAKE, VA 23327



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.



Contract - Detailed

Item 3.

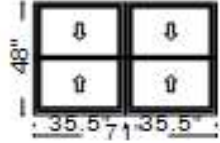
Sales Rep Name: Milot, Bret
Sales Rep Phone: 508-336-6766
Sales Rep Fax:
Sales Rep E-Mail: bmilot@gopella.com

Phone: Fax:

Customer Information	Project/Delivery Address	Order Information
<p>Elks Club of Bristol RI 1 Constitution St</p> <p>Bristol, RI 02809-1801 Primary Phone: (617) 8031181 Mobile Phone: Fax Number: E-Mail: john.salesses@gmail.com Contact Name:</p> <p>Great Plains #: 1007146328 Customer Number: 1010925459 Customer Account: 1007146328</p>	<p>Elks Club of Bristol RI 1 Constitution St</p> <p>Lot # Bristol, RI 02809-1801 County: Owner Name: Elks Club of Bristol RI Owner Phone: (617) 8031181</p>	<p>Quote Name: 9-18-23 LS</p> <p>Order Number: 182 Quote Number: 16433661 Order Type: Installed Sales Wall Depth: Payment Terms: Tax Code: RI Cust Delivery Date: None Quoted Date: 1/30/2023 Contracted Date: Booked Date: Customer PO #:</p>

Line #	Location:	Attributes
--------	-----------	------------

10	Entry	<p>Lifestyle, 2-Wide Double Hung, 71 X 48, Without HGP, White</p> <table border="1"> <thead> <tr> <th>Item Price</th> <th>Qty</th> <th>Ext'd Price</th> </tr> </thead> <tbody> <tr> <td>\$1,397.34</td> <td>1</td> <td>\$1,397.34</td> </tr> </tbody> </table>	Item Price	Qty	Ext'd Price	\$1,397.34	1	\$1,397.34
Item Price	Qty	Ext'd Price						
\$1,397.34	1	\$1,397.34						



PK #
2144

Viewed From Exterior

1: Non-Standard Size Double Hung, Equal
Frame Size: 35 1/2 X 48
Unit Type: No Program
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: **Gray**
Exterior Color / Finish: **Seacoast Enduraclad, White**
Interior Color / Finish: **Prefinished White Paint Interior**
Glass: **Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**
Hardware Options: **Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, Order Sash Lift, 1 Lift, No Integrated Sensor**
Screen: **Full Screen, White, InView™**
Performance Information: **U-Factor 0.30, SHGC 0.30, VLT 0.56, CPD PEL-N-35-00426-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements**
Grille: **No Grille,**
Vertical Mull 1: **FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical**
2: Non-Standard Size Double Hung, Equal
Frame Size: **35 1/2 X 48**
Unit Type: **No Program**
General Information: **No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color:** Gray
Exterior Color / Finish: Seacoast Enduraclad, White
Interior Color / Finish: Prefinished White Paint Interior
Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, Order Sash Lift, 1 Lift, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.30, SHGC 0.30, VLT 0.56, CPD PEL-N-35-00426-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: No Grille,
Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 238".

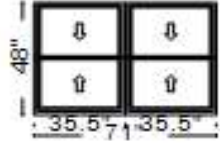
Rough Opening: 71 - 3/4" X 48 - 3/4"

Line #	Location:	Attributes
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15 Main Hall

Lifestyle, 2-Wide Double Hung, 71 X 48, Without HGP, White

Item Price	Qty	Ext'd Price
\$1,397.34	2	\$2,794.68



PK #
2144

Viewed From Exterior

1: Non-Standard Size Double Hung, Equal

Frame Size: 35 1/2 X 48

Unit Type: No Program

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: **Gray**

Exterior Color / Finish: **Seacoast Enduraclad, White**

Interior Color / Finish: **Prefinished White Paint Interior**

Glass: **Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**

Hardware Options: **Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, Order Sash Lift, 1 Lift, No Integrated Sensor**

Screen: **Full Screen, White, InView™**

Performance Information: **U-Factor 0.30, SHGC 0.30, VLT 0.56, CPD PEL-N-35-00426-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements**

Grille: **No Grille,**

Vertical Mull 1: **FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical**

2: Non-Standard Size Double Hung, Equal

Frame Size: **35 1/2 X 48**

Unit Type: **No Program**

General Information: **No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: Gray**

Exterior Color / Finish: Seacoast Enduraclad, White

Interior Color / Finish: Prefinished White Paint Interior

Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, Order Sash Lift, 1 Lift, No Integrated Sensor

Screen: Full Screen, White, InView™

Performance Information: U-Factor 0.30, SHGC 0.30, VLT 0.56, CPD PEL-N-35-00426-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements

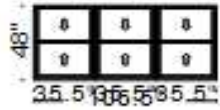
Grille: No Grille,

Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 238".

Rough Opening: 71 - 3/4" X 48 - 3/4"

Line #	Location:	Attributes
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20	Main Hall	Lifestyle, 3-Wide Double Hung, 106.5 X 48, Without HGP, White	Item Price	Qty	Ext'd Price
			\$2,115.99	1	\$2,115.99



PK #
2144

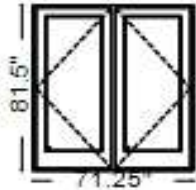
Viewed From Exterior

1: Non-Standard Size Double Hung, Equal
Frame Size: 35 1/2 X 48
Unit Type: No Program
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: **Gray**
Exterior Color / Finish: Seacoast Enduraclad, White
Interior Color / Finish: Prefinished White Paint Interior
Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, Order Sash Lift, 1 Lift, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.30, SHGC 0.30, VLT 0.56, CPD PEL-N-35-00426-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: No Grille,
Vertical Mull 1: FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical
2: Non-Standard Size Double Hung, Equal
Frame Size: 35 1/2 X 48
Unit Type: No Program
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: Gray
Exterior Color / Finish: Seacoast Enduraclad, White
Interior Color / Finish: Prefinished White Paint Interior
Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, Order Sash Lift, 1 Lift, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.30, SHGC 0.30, VLT 0.56, CPD PEL-N-35-00426-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: No Grille,
Vertical Mull 2: FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical
3: Non-Standard Size Double Hung, Equal
Frame Size: 35 1/2 X 48
Unit Type: No Program
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: **Gray**
Exterior Color / Finish: Seacoast Enduraclad, White
Interior Color / Finish: Prefinished White Paint Interior
Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, Order Sash Lift, 1 Lift, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.30, SHGC 0.30, VLT 0.56, CPD PEL-N-35-00426-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: No Grille,
Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 309".

Rough Opening: 107 - 1/4" X 48 - 3/4

Line #	Location:	Attributes
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25 Main Hall



PK #
2144

Viewed From Exterior

Pella® Reserve, Traditional, Double Outswing Door, Passive / Active, 71.25 X 81.5, White

Item Price	Qty	Ext'd Price
\$4,912.90	1	\$4,912.90

1: Traditional, 7282 Passive / Active Double Outswing Door

Frame Size: 71 1/4 X 81 1/2

General Information: Standard, Clad, Pine, 5 7/8", 4 9/16", Standard Sill, Black Finish Sill, Standard Frame Stops, Black Composite Threshold

Exterior Color / Finish: Painted, Seacoast Enduraclad, White

Interior Color / Finish: Prefinished White Paint Interior

Sash / Panel: Putty Glaze, Ogee, Standard

Glass: Insulated Dual Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Standard, White, Order Handle Set, Multipoint Lock, No Integrated Sensor, Aluminum Adjustable, White

Performance Information: U-Factor 0.28, SHGC 0.21, VLT 0.39, CPD PEL-N-212-06649-00001, Performance Class LC, PG 70, Calculated Positive DP Rating 70, Calculated Negative DP Rating 70, Year Rated 11

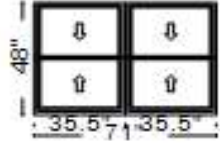
Grille: No Grille,

Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Factory Applied, Pella Recommended Clearance, Perimeter Length = 306".

Rough Opening: 72" X 82"

Line #	Location:	Attributes
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30	Billiards	<p>Lifestyle, 2-Wide Double Hung, 71 X 48, Without HGP, White</p> <table border="1"> <thead> <tr> <th>Item Price</th> <th>Qty</th> <th>Ext'd Price</th> </tr> </thead> <tbody> <tr> <td>\$1,397.34</td> <td>2</td> <td>\$2,794.68</td> </tr> </tbody> </table>	Item Price	Qty	Ext'd Price	\$1,397.34	2	\$2,794.68
Item Price	Qty	Ext'd Price						
\$1,397.34	2	\$2,794.68						



PK #
2144

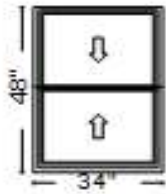
Viewed From Exterior

1: Non-Standard Size Double Hung, Equal
Frame Size: 35 1/2 X 48
Unit Type: No Program
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: **Gray**
Exterior Color / Finish: **Seacoast Enduraclad, White**
Interior Color / Finish: **Prefinished White Paint Interior**
Glass: **Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**
Hardware Options: **Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, Order Sash Lift, 1 Lift, No Integrated Sensor**
Screen: **Full Screen, White, InView™**
Performance Information: **U-Factor 0.30, SHGC 0.30, VLT 0.56, CPD PEL-N-35-00426-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements**
Grille: **No Grille,**
Vertical Mull 1: **FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical**
2: Non-Standard Size Double Hung, Equal
Frame Size: **35 1/2 X 48**
Unit Type: **No Program**
General Information: **No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color:** Gray
Exterior Color / Finish: Seacoast Enduraclad, White
Interior Color / Finish: Prefinished White Paint Interior
Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, Order Sash Lift, 1 Lift, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.30, SHGC 0.30, VLT 0.56, CPD PEL-N-35-00426-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: No Grille,
Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 238".

Rough Opening: 71 - 3/4" X 48 - 3/4"

Line #	Location:	Attributes
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35	Office 1	<p>Lifestyle, Double Hung, 34 X 48, Without HGP, White</p> <table border="1"> <thead> <tr> <th>Item Price</th> <th>Qty</th> <th>Ext'd Price</th> </tr> </thead> <tbody> <tr> <td>\$666.11</td> <td>2</td> <td>\$1,332.22</td> </tr> </tbody> </table>	Item Price	Qty	Ext'd Price	\$666.11	2	\$1,332.22
Item Price	Qty	Ext'd Price						
\$666.11	2	\$1,332.22						



PK #
2144

Viewed From Exterior

1: Non-Standard Size Non-Standard Size Double Hung, Equal
Frame Size: 34 X 48
Unit Type: No Program
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: **Gray**
 Exterior Color / Finish: **Seacoast Enduraclad, White**
 Interior Color / Finish: **Prefinished White Paint Interior**
 Glass: **Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**
 Hardware Options: **Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, Order Sash Lift, 1 Lift, No Integrated Sensor**
 Screen: **Full Screen, White, InView™**
 Performance Information: **U-Factor 0.30, SHGC 0.30, VLT 0.56, CPD PEL-N-35-00426-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Clear Opening Width 30.812, Clear Opening Height 20.75, Clear Opening Area 4.439924, Egress Does not meet typical United States egress, but may comply with local code requirements**
 Grille: **No Grille,**
 Wrapping Information: **Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 164".**

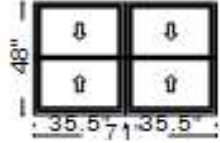
Rough Opening: 34 - 3/4" X 48 - 3/4"

Line #	Location:	Attributes
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40 Office 2

Lifestyle, 2-Wide Double Hung, 71 X 48, Without HGP, White

Item Price	Qty	Ext'd Price
\$1,397.34	1	\$1,397.34



PK #
2144

Viewed From Exterior

1: Non-Standard Size Double Hung, Equal

Frame Size: 35 1/2 X 48

Unit Type: No Program

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: **Gray**

Exterior Color / Finish: **Seacoast Enduraclad, White**

Interior Color / Finish: **Prefinished White Paint Interior**

Glass: **Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**

Hardware Options: **Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, Order Sash Lift, 1 Lift, No Integrated Sensor**

Screen: **Full Screen, White, InView™**

Performance Information: **U-Factor 0.30, SHGC 0.30, VLT 0.56, CPD PEL-N-35-00426-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements**

Grille: **No Grille,**

Vertical Mull 1: **FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical**

2: Non-Standard Size Double Hung, Equal

Frame Size: **35 1/2 X 48**

Unit Type: **No Program**

General Information: **No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: Gray**

Exterior Color / Finish: **Seacoast Enduraclad, White**

Interior Color / Finish: **Prefinished White Paint Interior**

Glass: **Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**

Hardware Options: **Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, Order Sash Lift, 1 Lift, No Integrated Sensor**

Screen: **Full Screen, White, InView™**

Performance Information: **U-Factor 0.30, SHGC 0.30, VLT 0.56, CPD PEL-N-35-00426-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements**

Grille: **No Grille,**

Wrapping Information: **Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 238".**

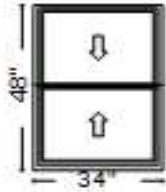
Rough Opening: 71 - 3/4" X 48 - 3/4"

Line #	Location:	Attributes
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45 Behind the Bar

Lifestyle, Double Hung, 34 X 48, Without HGP, White

Item Price	Qty	Ext'd Price
\$666.11	1	\$666.11



PK #
2144

Viewed From Exterior

1: Non-Standard Size Non-Standard Size Double Hung, Equal

Frame Size: 34 X 48

Unit Type: No Program

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: **Gray**

Exterior Color / Finish: **Seacoast Enduraclad, White**

Interior Color / Finish: **Prefinished White Paint Interior**

Glass: **Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**

Hardware Options: **Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, Order Sash Lift, 1 Lift, No Integrated Sensor**

Screen: **Full Screen, White, InView™**

Performance Information: **U-Factor 0.30, SHGC 0.30, VLT 0.56, CPD PEL-N-35-00426-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Clear Opening Width 30.812, Clear Opening Height 20.75, Clear Opening Area 4.439924, Egress Does not meet typical United States egress, but may comply with local code requirements**

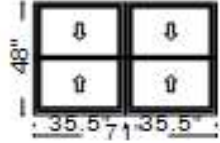
Grille: **No Grille,**

Wrapping Information: **Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 164".**

Rough Opening: 34 - 3/4" X 48 - 3/4"

Line #	Location:	Attributes
--------	-----------	------------

50	Dining	<p>Lifestyle, 2-Wide Double Hung, 71 X 48, Without HGP, White</p> <table border="1"> <thead> <tr> <th>Item Price</th> <th>Qty</th> <th>Ext'd Price</th> </tr> </thead> <tbody> <tr> <td>\$1,397.34</td> <td>3</td> <td>\$4,192.02</td> </tr> </tbody> </table>	Item Price	Qty	Ext'd Price	\$1,397.34	3	\$4,192.02
Item Price	Qty	Ext'd Price						
\$1,397.34	3	\$4,192.02						



PK #
2144

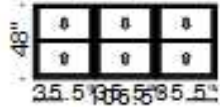
Viewed From Exterior

1: Non-Standard Size Double Hung, Equal
Frame Size: 35 1/2 X 48
Unit Type: No Program
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: **Gray**
Exterior Color / Finish: Seacoast Enduraclad, White
Interior Color / Finish: Prefinished White Paint Interior
Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, Order Sash Lift, 1 Lift, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.30, SHGC 0.30, VLT 0.56, CPD PEL-N-35-00426-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: No Grille,
Vertical Mull 1: FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical
2: Non-Standard Size Double Hung, Equal
Frame Size: 35 1/2 X 48
Unit Type: No Program
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: Gray
Exterior Color / Finish: Seacoast Enduraclad, White
Interior Color / Finish: Prefinished White Paint Interior
Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, Order Sash Lift, 1 Lift, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.30, SHGC 0.30, VLT 0.56, CPD PEL-N-35-00426-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: No Grille,
Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 238".

Rough Opening: 71 - 3/4" X 48 - 3/4"

Line #	Location:	Attributes
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55	Dining	<p>Lifestyle, 3-Wide Double Hung, 106.5 X 48, Without HGP, White</p> <table border="1"> <thead> <tr> <th>Item Price</th> <th>Qty</th> <th>Ext'd Price</th> </tr> </thead> <tbody> <tr> <td>\$2,115.99</td> <td>1</td> <td>\$2,115.99</td> </tr> </tbody> </table>	Item Price	Qty	Ext'd Price	\$2,115.99	1	\$2,115.99
Item Price	Qty	Ext'd Price						
\$2,115.99	1	\$2,115.99						



PK #
2144

Viewed From Exterior

1: Non-Standard Size Double Hung, Equal
Frame Size: 35 1/2 X 48
Unit Type: No Program
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: **Gray**
Exterior Color / Finish: **Seacoast Enduraclad, White**
Interior Color / Finish: **Prefinished White Paint Interior**
Glass: **Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**
Hardware Options: **Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, Order Sash Lift, 1 Lift, No Integrated Sensor**
Screen: **Full Screen, White, InView™**
Performance Information: **U-Factor 0.30, SHGC 0.30, VLT 0.56, CPD PEL-N-35-00426-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements**
Grille: **No Grille,**
Vertical Mull 1: **FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical**
2: Non-Standard Size Double Hung, Equal
Frame Size: **35 1/2 X 48**
Unit Type: **No Program**
General Information: **No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color:** Gray
Exterior Color / Finish: Seacoast Enduraclad, White
Interior Color / Finish: Prefinished White Paint Interior
Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, Order Sash Lift, 1 Lift, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.30, SHGC 0.30, VLT 0.56, CPD PEL-N-35-00426-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: No Grille,
Vertical Mull 2: FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical
3: Non-Standard Size Double Hung, Equal
Frame Size: 35 1/2 X 48
Unit Type: No Program
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: **Gray**
Exterior Color / Finish: **Seacoast Enduraclad, White**
Interior Color / Finish: **Prefinished White Paint Interior**
Glass: **Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**
Hardware Options: **Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, Order Sash Lift, 1 Lift, No Integrated Sensor**
Screen: **Full Screen, White, InView™**
Performance Information: **U-Factor 0.30, SHGC 0.30, VLT 0.56, CPD PEL-N-35-00426-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements**
Grille: **No Grille,**
Wrapping Information: **Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 309".**

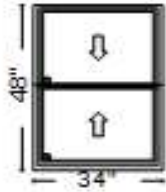
Rough Opening: 107 - 1/4" X 48 - 3/4

Line #	Location:	Attributes
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60 Dining Temp

Lifestyle, Double Hung, 34 X 48, Without HGP, White

Item Price	Qty	Ext'd Price
\$784.46	1	\$784.46



PK #
2144

Viewed From Exterior

1: Non-Standard Size Non-Standard Size Double Hung, Equal

Frame Size: 34 X 48

Unit Type: No Program

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: **Gray**

Exterior Color / Finish: **Seacoast Enduraclad, White**

Interior Color / Finish: **Prefinished White Paint Interior**

Glass: **Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**

Hardware Options: **Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, Order Sash Lift, 1 Lift, No Integrated Sensor**

Screen: **Full Screen, White, InView™**

Performance Information: **U-Factor 0.30, SHGC 0.30, VLT 0.56, CPD PEL-N-35-00427-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Clear Opening Width 30.812, Clear Opening Height 20.75, Clear Opening Area 4.439924, Egress Does not meet typical United States egress, but may comply with local code requirements**

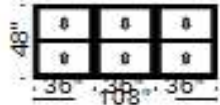
Grille: **No Grille,**

Wrapping Information: **Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 164".**

Rough Opening: 34 - 3/4" X 48 - 3/4"

Line #	Location:	Attributes
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65	Dining	<p>Lifestyle, 3-Wide Double Hung, 108 X 48, Without HGP, White</p> <table border="1"> <thead> <tr> <th>Item Price</th> <th>Qty</th> <th>Ext'd Price</th> </tr> </thead> <tbody> <tr> <td>\$2,115.99</td> <td>2</td> <td>\$4,231.98</td> </tr> </tbody> </table>	Item Price	Qty	Ext'd Price	\$2,115.99	2	\$4,231.98
Item Price	Qty	Ext'd Price						
\$2,115.99	2	\$4,231.98						



PK #
2144

Viewed From Exterior

1: Non-Standard Size Non-Standard Size Double Hung, Equal
Frame Size: 36 X 48
Unit Type: No Program
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: **Gray**
Exterior Color / Finish: **Seacoast Enduraclad, White**
Interior Color / Finish: **Prefinished White Paint Interior**
Glass: **Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**
Hardware Options: **Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, Order Sash Lift, 1 Lift, No Integrated Sensor**
Screen: **Full Screen, White, InView™**
Performance Information: **U-Factor 0.30, SHGC 0.30, VLT 0.56, CPD PEL-N-35-00426-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements**
Grille: **No Grille,**
Vertical Mull 1: **Factory Mull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical**
2: Non-Standard Size Non-Standard Size Double Hung, Equal
Frame Size: **36 X 48**
Unit Type: **No Program**
General Information: **No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color:** Gray
Exterior Color / Finish: Seacoast Enduraclad, White
Interior Color / Finish: Prefinished White Paint Interior
Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, Order Sash Lift, 1 Lift, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.30, SHGC 0.30, VLT 0.56, CPD PEL-N-35-00426-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: No Grille,
Vertical Mull 2: Factory Mull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical
3: Non-Standard Size Non-Standard Size Double Hung, Equal
Frame Size: 36 X 48
Unit Type: No Program
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: **Gray**
Exterior Color / Finish: **Seacoast Enduraclad, White**
Interior Color / Finish: **Prefinished White Paint Interior**
Glass: **Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**
Hardware Options: **Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, Order Sash Lift, 1 Lift, No Integrated Sensor**
Screen: **Full Screen, White, InView™**
Performance Information: **U-Factor 0.30, SHGC 0.30, VLT 0.56, CPD PEL-N-35-00426-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements**
Grille: **No Grille,**
Wrapping Information: **Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 312".**

Rough Opening: 108 - 3/4" X 48 - 3/4

Line #	Location:	Attributes	Item Price	Qty	Ext'd Price
70		Installation - Including removal, disposal, flashing, insulation, shimming, exterior and painted interior trim as needed	\$31,550.00	1	\$31,550.00

1000000 - Full Frame 0 - 48 Wide Installation	Qty	4
1000020 - Double Door Installation	Qty	1
1000002 - Full Frame 96 - 144 Wide Installation	Qty	4
1000001 - Full Frame 48 - 96 Wide Installation	Qty	9

Thank You For Purchasing Pella® Products

PELLA WARRANTY:

Pella products are covered by Pella's limited warranties in effect at the time of sale. All applicable product warranties are incorporated into and become a part of this contract. Please see the warranties for complete details, taking special note of the two important notice sections regarding installation of Pella products and proper management of moisture within the wall system. Neither Pella Corporation nor the Seller will be bound by any other warranty unless specifically set out in this contract. However, Pella Corporation will not be liable for branch warranties which create obligations in addition to or obligations which are inconsistent with Pella written warranties.

Clear opening (egress) information does not take into consideration the addition of a Rolscreen [or any other accessory] to the product. You should consult your local building code to ensure your Pella products meet local egress requirements.

Per the manufacturer's limited warranty, unfinished mahogany exterior windows and doors must be finished upon receipt prior to installing and refinished annually, thereafter. Variations in wood grain, color, texture or natural characteristics are not covered under the limited warranty.

INSYNCTIVE PRODUCTS: In addition, Pella Insynctive Products are covered by the Pella Insynctive Products Software License Agreement and Pella Insynctive Products Privacy Policy in effect at the time of sale, which can be found at [Insynctive.pella.com](https://www.pella.com). By installing or using Your Insynctive Products you are acknowledging the Insynctive Software Agreement and Privacy Policy are part of the terms of sale.

Notice of Collection of Personal Information: We may collect your personal information when you interact with us. Under the California Consumer Privacy Act (CCPA), California residents have specific rights to request this information, request to delete this information, and opt out of the sharing or sale of this information to third parties. To learn more about our collection practices and your rights under the CCPA please visit our link <https://www.pella.com/california-rights-policy/> at [pella.com](https://www.pella.com).

ARBITRATION AND CLASS ACTION WAIVER ("ARBITRATION AGREEMENT")

YOU and Pella and its subsidiaries and the Pella Branded Distributor AGREE TO ARBITRATE DISPUTES ARISING OUT OF OR RELATING TO YOUR PELLA PRODUCTS (INCLUDES PELLA GOODS AND PELLA SERVICES) AND WAIVE THE RIGHT TO HAVE A COURT OR JURY DECIDE DISPUTES. YOU WAIVE ALL RIGHTS TO PROCEED AS A MEMBER OR REPRESENTATIVE OF A CLASS ACTION, INCLUDING CLASS ARBITRATION, REGARDING DISPUTES ARISING OUT OF OR RELATING TO YOUR PELLA PRODUCTS. You may opt out of this Arbitration Agreement by providing notice to Pella no later than ninety (90) calendar days from the date You purchased or otherwise took ownership of Your Pella Goods. To opt out, You must send notice by e-mail to pellawebsupport@pella.com, with the subject line: "Arbitration Opt Out" or by calling (877) 473-5527. Opting out of the Arbitration Agreement will not affect the coverage provided by any applicable limited warranty pertaining to Your Pella Products. For complete information, including the full terms and conditions of this Arbitration Agreement, which are incorporated herein by reference, please visit www.pella.com/arbitration or e-mail to pellawebsupport@pella.com, with the subject line: "Arbitration Details" or call (877) 473-5527. D'ARBITRAGE ET RENONCIATION AU RECOURS COLLECTIF ("convention d'arbitrage") EN FRANÇAIS SEE PELLA.COM/ARBITRATION. DE ARBITRAJE Y RENUNCIA COLECTIVA ("acuerdo de arbitraje") EN ESPAÑOL VER PELLA.COM/ARBITRATION.

Seller shall not be held liable for failure or delay in the performance of its obligations under this Agreement, if such performance is hindered or delayed by the occurrence of an act or event beyond the Seller's reasonable control (force majeure event), including but not limited to earthquakes, unusually severe weather and other Acts of God, fire, strikes and labor unrest, epidemics, riots, war, civil unrest, and government interventions. Seller shall give timely notice of a force majeure event and take such reasonable action to mitigate the impacts of such an event.

Product Performance Information:

U-Factor, Solar Heat Gain Coefficient (SHGC), and Visible Light Transmittance (VLT) are certified by the National Fenestration Rating Council (NFRC).

Manufacturer stipulates that these ratings conform to applicable NFRC procedures for determining whole product performance. NFRC ratings are determined for a fixed set of environmental conditions and a specific product size. NFRC does not recommend any products and does not warrant the suitability of any product for any specific use.

Design Pressure (DP), Performance Class, and Performance Grade (PG) are certified by a third party organization, in many cases the Window and Door Manufacturers Association (WDMA). The certification requires the performance of at least one product of the product line to be tested in accordance with the applicable performance standards and verified by an independent party. The certification indicates that the product(s) of the product line passed the applicable tests. The certification does not apply to mulled and/or product combinations unless noted. Actual product results will vary and change over the products life.

For more performance information along with information on Florida Product Approval System (FPAS) Number and Texas Dept. of Insurance (TDI) number go to www.pella.com/performance.

Including during the construction period, casement windows should never be left open and unlocked for prolong periods or during high wind conditions to avoid sash detachment/damage.

This purchase order (PO) may be used by the COMPANY as an offer to sell to the CUSTOMER the materials as set forth herein. These terms and conditions are binding on the COMPANY and the CUSTOMER and govern their relationship to this Agreement. THIS PO IS MADE FOR YOU, THE CUSTOMER, AND NO CHANGES MAY BE MADE AFTER THREE DAYS FOLLOWING THE SIGNING OF THIS PO. This PO becomes a binding contract only upon review and acceptance by an authorized Pella Windows & Doors. All promises of shipment are estimates only, and our best efforts are used in every case to ship within the time promised, but there is no guarantee to do so. COMPANY shall not be liable for any direct, indirect or consequential damage caused by delay in shipment. CUSTOMER represents that the window/door sizes and specifications shown on this order are correct and may not be changed or cancelled. COMPANY's failure to insist upon strict performance of any provision of this PO by the CUSTOMER, or take advantage of its rights hereunder, shall not be construed as a waiver by the COMPANY of any such provision. Specifically, the COMPANY reserves its right to a mechanic's lien claim against the property in which the COMPANY's materials are incorporated, whether owned by the CUSTOMER or a third party. Pursuant to the requirements of Rhode Island Law, this is a notice that COMPANY may file a mechanic's lien upon the property in the event of nonpayment. This contract shall be governed by the state in which both the CUSTOMER and the COMPANY reside. If the CUSTOMER and the COMPANY are located in different states, then the law of the Commonwealth of Massachusetts shall govern. The COMPANY reserves its right to terminate this Agreement with notice to the CUSTOMER if the CUSTOMER fails to perform any obligations or duties required under the terms of this Agreement. The CUSTOMER shall defend, indemnify and hold harmless the COMPANY against any claims or suits brought by any persons or entities alleging that any bodily injuries, death, property damage or economic losses were caused, in whole or in part, by any of the goods and/or services provided under this PO to the CUSTOMER. Any dispute arising out of the Terms and Conditions, or performance or materials which are the subject of this agreement shall be resolved through binding arbitration. The arbitration shall be conducted in the Commonwealth of Massachusetts as the exclusive venue, and brought before a single Arbitrator, whose decision shall be binding and enforceable by a court of competent jurisdiction. The arbitration proceedings shall be governed by Massachusetts Law. See "ARBITRATION AND CLASS ACTION WAIVER" for additional information regarding arbitration.

>> THE SCHEDULING DEPARTMENT WILL CALL YOU WITH YOUR DELIVERY DATE.

>> WE PROVIDE TAILGATE DELIVERY ONLY, PLEASE ARRANGE TO HAVE ASSISTANCE ON SITE AT TIME OF DELIVERY <<

>> FOR REPLACEMENT PART ORDERS PAYMENT IS REQUIRED IN FULL AT TIME OF ORDER <<

>> COD PAYMENT IS REQUIRED AT TIME OF DELIVERY UNLESS ALTERNATIVE TERMS HAVE BEEN PREVIOUSLY ARRANGED <<

>>FAILURE TO PAY IN FULL WITHIN TERMS SHALL VOID THE WARRANTY ON PELLA PRODUCTS SHIPPED PURSUANT TO THIS ORDER.

PELLA PARTNERSHIP PROGRAM

Install Seminar Yes ___ No ___

Post Install Walk Through Yes ___ No ___

Final Walk Throuh Yes ___ No ___

Accessorry Holds Yes ___ No ___

Accessory Holds & Install Yes ___ No ___

Door Assembly Yes ___ No ___

Field Mull(s) Yes ___ No ___

INSTALL OPTIONS

Installation Yes ___ No ___

Installation Doors Only Yes ___ No ___

Project Checklist has been reviewed

Customer Name (Please print)

Pella Sales Rep Name (Please print)

Customer Signature

Pella Sales Rep Signature

Date

Date

Credit Card Approval Signature

Order Totals	
Taxable Subtotal	\$28,735.71
Sales Tax @ 7%	\$2,011.50
Non-taxable Subtotal	\$31,550.00
Total	\$62,297.21
Deposit Received	\$0.00
Amount Due	\$62,297.21



CAI Property Card

Town of Bristol, RI

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR
LOCATION: 1 CONSTITUTION ST ACRES: 0.1961 PARCEL ID: 10 63 LAND USE CODE: 06 CONDO COMPLEX: OWNER: BRISTOL CNTY LODGE 1860 CO - OWNER: BENEVOLENT & PROTECTIVE MAILING ADDRESS: P. O. BOX 226 ZONING: W PATRIOT ACCOUNT #: 582	BUILDING STYLE: ClubHouses UNITS: 1 YEAR BUILT: 1940 FRAME: Wood Frame EXTERIOR WALL COVER: Siding ROOF STYLE: Gable ROOF COVER: Asphalt Shin
	BUILDING INTERIOR
SALE INFORMATION SALE DATE: 8/16/2010 BOOK & PAGE: 1550-39 SALE PRICE: 0 SALE DESCRIPTION: SELLER: BRISTOL COUNTY LODGE	INTERIOR WALL: Panel FLOOR COVER: HEAT TYPE: Forced Warm FUEL TYPE: Oil PERCENT A/C: True # OF ROOMS: 0 # OF BEDROOMS: 0 # OF FULL BATHS: 0 # OF HALF BATHS: 0 # OF ADDITIONAL FIXTURES: 14 # OF KITCHENS: 0 # OF FIREPLACES: 0 # OF METAL FIREPLACES: 0 # OF BASEMENT GARAGES: 0
PRINCIPAL BUILDING AREAS	
GROSS BUILDING AREA: 6530 FINISHED BUILDING AREA: 4858 BASEMENT AREA: # OF PRINCIPAL BUILDINGS: 1	
ASSESSED VALUES	
LAND: \$558,400 YARD: \$17,700 BUILDING: \$351,600 TOTAL: \$927,700	
SKETCH	PHOTO



www.cai-tech.com

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PROJECT 23-149

Historic District Commission Application for Review of Proposed Work : HDC-65



Bristol Historic District Commission

Application for review of proposed Work

1. Property Address (Street & No.) State Street Dock

2. Plat # 10 Lot # 13

3. a. Applicant: Gregg Marsili

b. Owner (*if different from applicant written authorization of owner required*): Town of Bristol

Mailing Address: 10 Court Street, Bristol, RI 02809

Phone: (401) 253-7000 x 703

Email: gmarsili@bristolri.gov

4. a. Architect/Draftsman: Brooke Merriam

Phone:

Email: brookemerriam40@gmail.com

b. Contractor:

Phone:

Email:

5. Work Category:

Sign(s)/Landscaping

6. Description of proposed work:

Plantings to shield view of marine fuel tank at State Street Dock.

Gregg Marsili

TOWN OF BRISTOL PROJECT

Applicant's Name – Printed

Applicant's Signature



CAI Property Card

Town of Bristol, RI

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR	
LOCATION: THAMES ST ACRES: 0.6026 PARCEL ID: 10 13 LAND USE CODE: 78 CONDO COMPLEX: OWNER: TOWN OF BRISTOL CO - OWNER: MAILING ADDRESS: 10 COURT ST ZONING: W PATRIOT ACCOUNT #: 532	BUILDING STYLE: UNITS: 0 YEAR BUILT: 0 FRAME: EXTERIOR WALL COVER: ROOF STYLE: ROOF COVER:	
	BUILDING INTERIOR	
<th data-bbox="82 674 967 716">SALE INFORMATION</th> <td data-bbox="967 554 1529 1314" rowspan="5"> INTERIOR WALL: FLOOR COVER: HEAT TYPE: FUEL TYPE: PERCENT A/C: False # OF ROOMS: 0 # OF BEDROOMS: 0 # OF FULL BATHS: 0 # OF HALF BATHS: 0 # OF ADDITIONAL FIXTURES: 0 # OF KITCHENS: 0 # OF FIREPLACES: 0 # OF METAL FIREPLACES: 0 # OF BASEMENT GARAGES: 0 </td>	SALE INFORMATION	INTERIOR WALL: FLOOR COVER: HEAT TYPE: FUEL TYPE: PERCENT A/C: False # OF ROOMS: 0 # OF BEDROOMS: 0 # OF FULL BATHS: 0 # OF HALF BATHS: 0 # OF ADDITIONAL FIXTURES: 0 # OF KITCHENS: 0 # OF FIREPLACES: 0 # OF METAL FIREPLACES: 0 # OF BASEMENT GARAGES: 0
SALE DATE: 7/10/1973 BOOK & PAGE: 180-919 SALE PRICE: 0 SALE DESCRIPTION: SELLER: TOWN OF BRISTOL,		
PRINCIPAL BUILDING AREAS		
GROSS BUILDING AREA: FINISHED BUILDING AREA: BASEMENT AREA: # OF PRINCIPAL BUILDINGS:		
ASSESSED VALUES		
LAND: \$72,300 YARD: \$0 BUILDING: \$0 TOTAL: \$72,300		
SKETCH	PHOTO	
<p>NO SKETCH AVAILABLE</p>	<p>NO PHOTO AVAILABLE</p>	



www.cai-tech.com

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200 foot Abutters List Report

Bristol, RI
October 13, 2023

Subject Property:

Parcel Number: 10-13
CAMA Number: 10-13
Property Address: THAMES ST

Mailing Address: TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

Abutters:

Parcel Number: 10-11
CAMA Number: 10-11
Property Address: 235 THAMES ST

Mailing Address: BOZARTH, PETER
235 THAMES ST
BRISTOL, RI 02809

Parcel Number: 10-12
CAMA Number: 10-12-001
Property Address: 227 THAMES ST- UNIT #1

Mailing Address: CARTWRIGHT, CORINNE M & PAUL B D
227 THAMES ST., UNIT 1
BRISTOL, RI 02809

Parcel Number: 10-12
CAMA Number: 10-12-002
Property Address: 227 THAMES ST- UNIT #2

Mailing Address: OQUENDO, VIVIAN Y
227 THAMES ST, UNIT 2
BRISTOL, RI 02809

Parcel Number: 10-12
CAMA Number: 10-12-003
Property Address: 227 THAMES ST- UNIT #3

Mailing Address: BALZANO, JOHN G & CHRISTINE R TE
82 NEWPORT RD
HULL, MA 02045

Parcel Number: 10-12
CAMA Number: 10-12-004
Property Address: 227 THAMES ST UNIT #4

Mailing Address: COLOMBO, BRITT C & MARY L JT
227 THAMES ST
BRISTOL, RI 02809

Parcel Number: 10-12
CAMA Number: 10-12-005
Property Address: 227 THAMES ST UNIT #5

Mailing Address: MATTHEWS, CHARLES C. TARA W. TE
223 OAKLAND BEACH AVE
RYE, NY 10580

Parcel Number: 10-12
CAMA Number: 10-12-006
Property Address: 227 THAMES ST -UNIT #6

Mailing Address: THAMES STREET, LLC
227 THAMES ST, Unit 6
BRISTOL, RI 02809

Parcel Number: 10-12
CAMA Number: 10-12-007
Property Address: THAMES ST

Mailing Address: BALZANO, JOHN G & CHRISTINE R TE
82 NEWPORT RD
HULL, MA 02045

Parcel Number: 10-12
CAMA Number: 10-12-008
Property Address: THAMES ST

Mailing Address: OZTERMIYECI, MUSTAFA M.
341 THAMES ST UNIT 203
BRISTOL, RI 02809

Parcel Number: 10-12
CAMA Number: 10-12-009
Property Address: THAMES ST

Mailing Address: OZTERMIYECI, MUSTAFA M.
341 THAMES ST UNIT 203
BRISTOL, RI 02809



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200 foot Abutters List Report

Bristol, RI
October 13, 2023

Parcel Number: 10-14 CAMA Number: 10-14 Property Address: THAMES ST	Mailing Address: TOWN OF BRISTOL VACANT LAND 10 COURT ST. BRISTOL, RI 02809
Parcel Number: 10-15 CAMA Number: 10-15 Property Address: 211 THAMES ST	Mailing Address: TOWN OF BRISTOL 10 COURT ST. BRISTOL, RI 02809
Parcel Number: 10-18 CAMA Number: 10-18 Property Address: 198 THAMES ST	Mailing Address: AZJ THAMES STREET, LLC 198 THAMES ST BRISTOL, RI 02809
Parcel Number: 10-20 CAMA Number: 10-20 Property Address: 205 THAMES ST	Mailing Address: TOWN OF BRISTOL 10 COURT ST. BRISTOL, RI 02809
Parcel Number: 10-21 CAMA Number: 10-21 Property Address: 201 THAMES ST	Mailing Address: TOWN OF BRISTOL VACANT LAND 10 COURT ST. BRISTOL, RI 02809
Parcel Number: 10-22 CAMA Number: 10-22 Property Address: THAMES ST	Mailing Address: TOWN OF BRISTOL 10 COURT ST BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-001 Property Address: 423 HOPE ST 1A	Mailing Address: MCKAY, SUSAN ANDON, TRUSTEE SUSAN ANDON MCKAY LIVING TRUST 186 OAKLAND ST WELLESLEY, MA 02481
Parcel Number: 10-3 CAMA Number: 10-3-002 Property Address: 423 HOPE ST 2B	Mailing Address: HAYES, MATTHEW D TRUSTEE MATTHEW D HAYES REV TRUST 423 HOPE ST UNIT B BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-003 Property Address: 423 HOPE ST 3C	Mailing Address: THOMPSON, RICHARD J - TRUSTEE RICHARD J THOMPSON TRUST 423 HOPE ST, UNIT C BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-004 Property Address: 423 HOPE ST 4D	Mailing Address: SMITH, DEBORAH ROSE & ALLEN, CHRISTOPHER TE 423 HOPE ST, UNIT D BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-005 Property Address: 423 HOPE ST 5E	Mailing Address: WARNER, GARY W & MURRAY, CATHERINE I JT PO BOX 808 BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-006 Property Address: 423 HOPE ST 6F	Mailing Address: NICHOLSON, TODD & 423 HOPE ST UNIT 6F BRISTOL, RI 02809



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200 foot Abutters List Report

Bristol, RI
October 13, 2023

Parcel Number: 10-3
CAMA Number: 10-3-007
Property Address: 423 HOPE ST 7G

Mailing Address: CLARK, ALLEN M & WHITNEY O TE
423 HOPE ST, UNIT G
BRISTOL, RI 02809

Parcel Number: 10-3
CAMA Number: 10-3-008
Property Address: 423 HOPE ST 8H

Mailing Address: MACDONALD, JAMES C
423 HOPE ST, UNIT H
BRISTOL, RI 02809

Parcel Number: 10-3
CAMA Number: 10-3-010
Property Address: 423 HOPE ST 10J

Mailing Address: SCOTT, WENDELL O & PATRICIA C TE
700 MOUNTAIN AVE
WESTFIELD, NJ 07090

Parcel Number: 10-3
CAMA Number: 10-3-011
Property Address: 423 HOPE ST 11K

Mailing Address: PAGE, ROBERT W & MYRA M,
TRUSTEES PAGE FAMILY TRUST
423 HOPE ST, Unit K
BRISTOL, RI 02809

Parcel Number: 10-3
CAMA Number: 10-3-012
Property Address: 423 HOPE ST 12L

Mailing Address: MATRONE, SANTA W JR TRUSTEE
SANTA W MATRONE JR DEC TRUST
423 HOPE ST UNIT L-12
BRISTOL, RI 02809

Parcel Number: 10-3
CAMA Number: 10-3-013
Property Address: 423 HOPE ST 13M

Mailing Address: SAILOR, LLC
423 HOPE ST, Unit 13M
BRISTOL, RI 02809

Parcel Number: 10-3
CAMA Number: 10-3-014
Property Address: 423 HOPE ST 14N

Mailing Address: SHAPIRO, DEBORA WEST
423 HOPE ST, Unit UNIT 14N
BRISTOL, RI 02809

Parcel Number: 10-3
CAMA Number: 10-3-016
Property Address: 423 HOPE ST 16P

Mailing Address: BOWMAN, GREGORY W
423 HOPE ST, UNIT P
BRISTOL, RI 02809

Parcel Number: 10-3
CAMA Number: 10-3-017
Property Address: JOHN ST 1

Mailing Address: FIXSEN, WILLIAM
25 MARCONI DR
RANDOLPH, MA 02368

Parcel Number: 10-3
CAMA Number: 10-3-018
Property Address: JOHN ST 2

Mailing Address: TOPPA, JOHNA M
44 LINCOLN AVE
ATTLEBORO, MA 02703

Parcel Number: 10-3
CAMA Number: 10-3-019
Property Address: 15 JOHN ST 1

Mailing Address: POLLOCK, JORDAN
15 JOHN ST, UNIT 1
BRISTOL, RI 02809

Parcel Number: 10-3
CAMA Number: 10-3-020
Property Address: 17 JOHN ST 2

Mailing Address: MCRAE, BEVERLY SMITH & JOSEPH
KEITH TE
17 JOHN ST, UNIT 2
BRISTOL, RI 02809



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200 foot Abutters List Report

Bristol, RI
October 13, 2023

Parcel Number: 10-3
CAMA Number: 10-3-021
Property Address: 423 HOPE ST 21U

Mailing Address: NAT PROPERTIES, LLC
26 PATRICIA ANN DR
BRISTOL, RI 02809

Parcel Number: 10-3
CAMA Number: 10-3-022
Property Address: 423 HOPE ST 22V

Mailing Address: 423 HOPE ST REDEVELOPMENT, LLC
C/O ACROPOLIS PROPERTY
MANAGEMENT 423 HOPE ST
BRISTOL, RI 02809

Parcel Number: 10-69
CAMA Number: 10-69
Property Address: THAMES ST

Mailing Address: TOWN OF BRISTOL VACANT LAND
10 COURT ST.
BRISTOL, RI 02809

Parcel Number: 10-72
CAMA Number: 10-72
Property Address: THAMES ST

Mailing Address: TOWN OF BRISTOL VACANT LAND
10 COURT ST.
BRISTOL, RI 02809

Parcel Number: 10-80
CAMA Number: 10-80
Property Address: THAMES ST

Mailing Address: BOZARTH, PETER
235 THAMES ST
BRISTOL, RI 02809

Parcel Number: 9-50
CAMA Number: 9-50
Property Address: 267 THAMES ST

Mailing Address: TSL LLC
244 GANO ST
PROVIDENCE, RI 02906

Parcel Number: 9-62
CAMA Number: 9-62
Property Address: 11 STATE ST

Mailing Address: 11 STATE STREET, LLC
116 PECK AVE
BRISTOL, RI 02809

Parcel Number: 9-64
CAMA Number: 9-64
Property Address: THAMES ST

Mailing Address: TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

Parcel Number: 9-65
CAMA Number: 9-65
Property Address: 1 STATE ST

Mailing Address: STATE PROPERTIES LLC
1 STATE ST
BRISTOL, RI 02809

Parcel Number: 9-74
CAMA Number: 9-74
Property Address: 246 THAMES ST

Mailing Address: RIVERS, ZACHARY N
PO Box 964
Bristol, RI 02809



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8-Burkii Eastern Red Cedar
planted 7' o.c.

40-Northwind Switch Grass

PARKING LOT

REMOVE ASPHALT AND
CREATE 3' WIDE
PLANTING BED

GAS
TANK

Gas Tank Planting Plan

DATE: 10/1/23
SCALE: 1"=10'

The drawings and specifications seen here are intended for Concept and bidding purposes and cannot be construed as Stamped Architectural Drawings

0 10 20 FT



SCALE: 1" = 10'



BRISTOL HARBOR

74

PROJECT 23-150

Historic District Commission Application for Review of Proposed Work : HDC-66



Bristol Historic District Commission

Application for review of proposed Work

1. Property Address (Street & No.) 825 HOPE STREET

2. Plat # 5 Lot # 17

3. a. Applicant: ROBERT BEER II

b. Owner *(if different from applicant written authorization of owner required)*:

Mailing Address: 825 HOPE ST, BRISTOL RI

Phone: 4018649113

Email: BEERII.ROBERT@GMAIL.COM

4. a. Architect/Draftsman:

Phone:

Email:

b. Contractor: GARY BALLETO

Phone:

Email:

5. Work Category:

Addition to Structure(s)

6. Description of proposed work:

The following renderings and elevations correspond to 825 Hope Street proposed exterior lighting locations and fixtures. Items #1 – 7 correspond to locations and attached fixtures with information sheets provided.

7. Property History

ROBERT BEER II

ROBERT A BEER II

Item 5.

Applicant's Name – Printed

Applicant's Signature

Date: October 19, 2023



CAI Property Card

Town of Bristol, RI

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR
LOCATION: 825 HOPE ST ACRES: 0.1521 PARCEL ID: 5 17 LAND USE CODE: 04 CONDO COMPLEX: OWNER: BEER, BARBARA J & ROBERT A II TC CO - OWNER: MAILING ADDRESS: 825 HOPE ST ZONING: W PATRIOT ACCOUNT #: 186	BUILDING STYLE: Multi-Use UNITS: 1 YEAR BUILT: 1900 FRAME: EXTERIOR WALL COVER: Clapboard ROOF STYLE: Gable ROOF COVER: Asphalt Shin
	BUILDING INTERIOR
SALE INFORMATION SALE DATE: 7/8/2022 BOOK & PAGE: 2179-221 SALE PRICE: 400,000 SALE DESCRIPTION: SELLER: IANNUCCILLO, EMILIO D &	INTERIOR WALL: FLOOR COVER: HEAT TYPE: BB Hot Water FUEL TYPE: Oil PERCENT A/C: False # OF ROOMS: 8 # OF BEDROOMS: 2 # OF FULL BATHS: 2 # OF HALF BATHS: 1 # OF ADDITIONAL FIXTURES: 0 # OF KITCHENS: 1 # OF FIREPLACES: 0 # OF METAL FIREPLACES: 0 # OF BASEMENT GARAGES: 0
PRINCIPAL BUILDING AREAS	
GROSS BUILDING AREA: 4664 FINISHED BUILDING AREA: 2684 BASEMENT AREA: 1174 # OF PRINCIPAL BUILDINGS: 1	
ASSESSED VALUES	
LAND: \$239,500 YARD: \$0 BUILDING: \$114,500 TOTAL: \$354,000	
SKETCH	PHOTO
	



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200 foot Abutters List Report

Bristol, RI
October 16, 2023

Subject Property:

Parcel Number: 5-17
CAMA Number: 5-17
Property Address: 825 HOPE ST

Mailing Address: BEER, BARBARA J & ROBERT A II TC
825 HOPE ST
BRISTOL, RI 02809

Abutters:

Parcel Number: 5-14
CAMA Number: 5-14
Property Address: 843 HOPE ST

Mailing Address: WHEELER, ELIZABETH L.
843 HOPE ST.
BRISTOL, RI 02809

Parcel Number: 5-15
CAMA Number: 5-15
Property Address: 837 HOPE ST

Mailing Address: CALABRESE JOHN & HILLARY TE
837 HOPE ST
BRISTOL, RI 02809

Parcel Number: 5-16
CAMA Number: 5-16
Property Address: 829 HOPE ST

Mailing Address: HOUSLEY, MARILYN
829 Hope Street
BRISTOL, RI 02809

Parcel Number: 5-19
CAMA Number: 5-19
Property Address: 805 HOPE ST

Mailing Address: HOLDING 805 HOPE ST LLC
805 HOPE ST
BRISTOL, RI 02809

Parcel Number: 5-29
CAMA Number: 5-29
Property Address: POPPASQUASH RD

Mailing Address: WHEELER, ELIZABETH L.
843 HOPE ST.
BRISTOL, RI 02809

Parcel Number: 5-32
CAMA Number: 5-32
Property Address: HOPE ST

Mailing Address: HOLDING 805 HOPE ST LLC
805 HOPE ST
BRISTOL, RI 02809

Parcel Number: 5-35
CAMA Number: 5-35
Property Address: HOPE ST

Mailing Address: WHEELER, ELIZABETH L.
843 HOPE ST.
BRISTOL, RI 02809

Parcel Number: 5-36
CAMA Number: 5-36
Property Address: 833 HOPE ST

Mailing Address: ROBINSON, STEPHEN W. ET UX
ELIZABETH C. ROBINSON TE
212 HEMLOCKS
LAKEVILLE, MA 02347

Parcel Number: 7-12
CAMA Number: 7-12
Property Address: 814 HOPE ST

Mailing Address: REGO, DAVID E. ETAL JT FERNANDA P.
REGO IRREV LIV FA
652 HOPE ST
BRISTOL, RI 02809

Parcel Number: 7-13
CAMA Number: 7-13
Property Address: HOPE ST

Mailing Address: TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809



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200 foot Abutters List Report

Bristol, RI
October 16, 2023

Parcel Number: 7-16
CAMA Number: 7-16
Property Address: 854 HOPE ST

Mailing Address: BALZANO, DEIRDRE B.
854 HOPE ST
BRISTOL, RI 02809

Parcel Number: 7-8
CAMA Number: 7-8
Property Address: HOPE ST

Mailing Address: TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

Parcel Number: 7-9
CAMA Number: 7-9
Property Address: 850 HOPE ST

Mailing Address: VETERANS OF FOREIGN WAR POST
237
850 HOPE ST
BRISTOL, RI 02809



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Dear Bristol Historic District Commission:

The following renderings and elevations correspond to 825 Hope Street proposed exterior lighting locations and fixtures. **Items #1 – 7 correspond to ELEVATION LOCATIONS and attached fixtures with information SPECIFICATION sheets provided.**

Please consider all indicated fixtures and locations, as they are strategically placed from previous placement, and handicapped and visually impaired persons. Thank you.

#1: TOWER & REAR LIGHTING

- Note that the lighting fixtures are recessed, **HIDDEN** and will **NOT** be visibly seen unless directly under them.
 - **TOWER**: Illumination is low and focally directed above each window to display the historical character of the tower. The front view has no other light source besides under the doorway arch. The Tower is a focal point and prefers front exterior lighting for homeowner usage.
 - **REAR DECK**: Illumination is low and focally directed to illuminate the stairs and path around the rear perimeter for the deck(documented visual impairment)
 - **Number Needed = ~12-14**
 - (since they are small, dimmable, and low illumination)
 - **POINT DIRECTLY DOWNWARD**

Lucarne 24V LED Niche Gimbal Down Light in White



Shown in **White** finish

Product Number:	P1524740 or 770119
Manufacturer:	Generation Lighting
Model Number:	955165-15
Collection:	Lucarne LED Niche
Manufacturer Finish:	White
Total Wattage:	5.5 w.
Voltage Type:	Low Voltage
Voltage Input:	24 v.
Voltage Output:	24 v.
Average Rated Life1:	50,000 hrs
Aspect:	Flat
Dimmable:	With LED / CFL Dimmer
Height:	3.50 in.
Width:	2.63 in.
Wattage Per Bulb:	5.5
Bulb Type:	LED
Base Type:	Integrated LED
Number Of Bulbs:	1

Bulb Included:	Yes
EnergyStar Compliant:	No
Recessed Trim Finish:	White
Material:	Aluminum
Shipping:	UPS Regular
Certification Agencies:	ETL
Trim Style:	Eyeball / Gimbal Ring
Can TrimShape:	Round
Wet Location:	Yes
Damp Location:	Yes
Installation Type:	Retrofit
Weight:	0.55 lbs
Kelvin Temperature:	2700
Lumens Per Bulb:	300
Color Rendering Index:	90
Made In America:	No
Title 24:	No
Total Lumens:	300.0

<https://www.destinationlighting.com/item/lucarne-24v-led-niche-gimbal-down-light-white-2700k-generation-lighting/P1524740>

#2: SIDE DOORWAY ENTRY LIGHTING

Rustic Square Black Outdoor Sconce with Seeded Glass Shade, 1-Light Wall Lantern For Deck Patio Porch (2-Pack)



Continued #2: SIDE DOORWAY ENTRY LIGHTING

Dimensions

Mounting Deck Height (in.)	6.5 in	Mounting Deck Width (in.)	4.5 in
Product Depth (in.)	7.5 in	Product Height (in.)	11 in
Product Width (in.)	6.5 in		

Details

Compatible Bulb Type	LED	Damp/Wet Rating	Wet Rated
Detection Range (ft.)	0	Durability	Rust Resistant, Weather Resistant
Exterior Lighting Product Type	Sconce	Fixture Color/Finish	Matte Black (Not Motion Sensing)
Fixture Material	Metal	Glass Type	Seeded Glass
Included	Hardware Included	Indoor/Outdoor	Outdoor
Light Bulb Base Code	E26	Light Bulb Type Included	No Bulbs Included
Light Direction	Down	Max. Bulb Wattage (W)	60 W
Number of Lights	1 Light	Outdoor Lighting Features	Dimmable
Package Quantity	2	Power Source	Hardwired
Product Size	Medium	Product Weight (lb.)	3.3 lb
Recommended Light Bulb Shape Code	ST19	Returnable	90-Day
Sconce Type	Lantern	Shade Material	Glass
Shape	Geometric, Rectangle, Square	Style	Rustic
Voltage Type	Line Voltage		

<https://www.homedepot.com/p/LNC-Modern-Rustic-Square-Black-Outdoor-Sconce-with-Seeded-Glass-Shade-1-Light-Wall-Lantern-For-Deck-Patio-Porch-2-Pack-6VZRFIHD1254D37/318491300>

***MATCHES FRONT DOORWAY ENTRY LIGHT**
***UTILIZED AS ADJACENT DECK STAIRS LIGHTING – refer to A110 Elevation**

#3: ELECTRIC VEHICLE CHARGER

*required for homeowners vehicle; no near chargers located Bristol RI as of date.



Product Specifications

Voltage and Wiring	Nominal 200-240 V AC single-phase
Current Output Range	12 - 48 amps
Terminal Blocks	12-4 AWG (3.5 - 25 mm ²), copper only
Supported Conduit Sizing	¾ in (21 mm) default, 1 in (27 mm) optional
Grounding Scheme	TN/TT
Frequency	50/60 Hz
Cable Length	7.3 m (24 ft)
Wall Connector Dimensions	Height: 13.6 in (345 mm) Width: 6.1 in (155 mm) Depth: 4.3 in (110 mm)
Wire Box Bracket Dimensions	Height: 9.8 in (250 mm) Width: 4.7 in (120 mm) Depth: 2.0 in (50 mm)
Weight (including wirebox)	10 lb. (4.5 kg)
Operating Temperature	-22 °F to 122 °F (-30 °C to 50 °C)
Storage Temperature	-40 °F to 185 °F (-40 °C to 85 °C)
Enclosure Rating	Type 3R
Ventilation	Not required
Means of Disconnect	External branch circuit breaker
Ground Fault Circuit Interrupter	Integrated, no additional required (CCID20)
Wi-Fi	2.4 GHz, 802.11b/g/n
Agency Approvals	cULus - E351001

<https://shop.tesla.com/product/wall-connector>

#4: PERIMETER + DRIVEWAY LIGHTING:

- Located at the 4 corners of the property for adequate lighting and illumination of driveway and perimeter
- Required for visual impairment
- Does not illuminate street or rear bike path
- Adjustable, wide-angle beam focused to ground
- 4 fixtures total (1 in each corner)



Continued #4: PERIMETER + DRIVEWAY LIGHTING:

Specifications

Dimensions: H 5.4 in, W 9.9 in, D 7.79 in



Power Type

Hardwired

[See Similar Items](#)

Outdoor Lighting Features

Adjustable Lamp Head
Dusk to Dawn
Water Resistant

[Show More](#) ▾

Watt Equivalence

350

[See Similar Items](#)

Included

Hardware Included

[See Similar Items](#)

Dimensions

Product Depth (in.)	7.79 in	Product Height (in.)	5.4 in
Product Length (in.)	7.79 in	Product Width (in.)	9.9 in

Details

Color Rendering Index (CRI)	70	Color Temperature	Bright White
Detection Range (ft.)	0	Exterior Lighting Product Type	Floodlight
Fixture Color/Finish	Bronze	Fixture Material	Aluminum
Glass/Lens Type	Clear	Included	Hardware Included
Light Beam Angle	90	Lumens	5000
Number of Lights	1 Light	Outdoor Lighting Features	Adjustable Lamp Head, Dusk to Dawn, Water Resistant, Weather Resistant
Pack Size	1 Pack	Power Type	Hardwired
Product Weight (lb.)	1.9 lb	Returnable	90-Day
Voltage Type	Line Voltage	Watt Equivalence	350

<https://www.homedepot.com/p/PROBRITE-175W-Equivalent-Integrated-LED-Bronze-Outdoor-Residential-Wall-Flood-Light-5000-Lumens-FSNX50-PC-4K-BZ/314317523>

#5: FRONT DOORWAY ENTRY

Farmhouse Black Outdoor Hanging Lantern 1-Light Coastal Pendant with Seeded Glass Shade for Covered Patio Porch



Continued #5: FRONT DOORWAY ENTRY



Mini

[See Similar Items](#)

1 Light

[See Similar Items](#)

Metal

[See Similar Items](#)

Hardwired

[See Similar Items](#)

Outdoor Lighting Features

Adjustable Height
Dimmable
Rust Resistant

[Show More](#) ▾

Chandelier/Pendant Design

Farmhouse
Lantern
Shaded

Dimensions

Maximum Hanging Length (in.)	59 in	Product Depth (in.)	6 in
Product Height (in.)	11.5 in	Product Width (in.)	6 in

Details

Chandelier/Pendant Design	Farmhouse, Lantern, Shaded	Compatible Bulb Type	Incandescent, LED
Exterior Lighting Product Type	Pendant	Fixture Color/Finish	Black
Fixture Material	Metal	Glass/Lens Type	Seedy
Included	Adjustable Height, Mounting Hardware Included	Light Bulb Base Code	E26
Light Bulb Type Included	No Bulbs Included	Max. Bulb Wattage (W)	60 W
Maximum Wattage (watts)	60	Mount Type	Hanging
Number of Bulbs Required	1	Number of Lights	1 Light
Outdoor Lighting Features	Adjustable Height, Dimmable, Rust Resistant, Weather Resistant	Power Type	Hardwired
Product Size	Mini	Product Weight (lb.)	4 lb
Recommended Light Bulb Shape Code	ST19	Returnable	90-Day
Voltage Type	Line Voltage		

<https://www.homedepot.com/p/LNC-Modern-Farmhouse-Black-Outdoor-Hanging-Lantern-1-Light-Coastal-Pendant-with-Seeded-Glass-Shade-for-Covered-Patio-Porch-NA7NNFHD1254P47/318490755>

***MATCHES SIDE DOOR ENTRY**

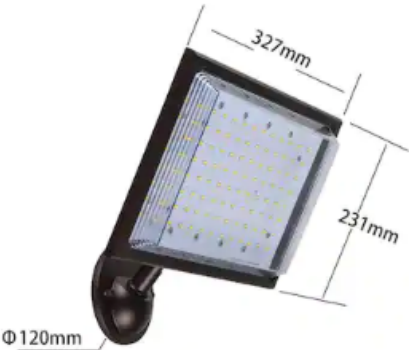
#6: REAR SPOTLIGHT:

350-Watt Equivalent Bronze Integrated LED Outdoor Street Lamp Flood Light with Dusk to Dawn Control

- **ONLY to illuminate backyard, driveway.**
- Trespasser's have been consistently coming in the backyard since ownership, and previous ownership.
- Electrician and General Contractor will angle right up to the edge of the property wall and will **NOT illuminate the bike path, or nearby neighbors/restaurant.**
- Preferred for comfortability and security on an open-access property to a high-traffic area



Hover Image to Zoom





Power Type

Hardwired

[See Similar Items](#)

Outdoor Lighting Features

Adjustable Lamp Head

Dusk to Dawn

Rust Resistant

[Show More](#) ▾

Watt Equivalence

350

[See Similar Items](#)

Included

Hardware Included

[See Similar Items](#)

Dimensions

Assembled Depth (in.)	8.50 in	Assembled Height (in.)	13.00 in
Assembled Width (in.)	12.87 in	Product Depth (in.)	5.55 in
Product Height (in.)	12.68 in	Product Length (in.)	5.55 in
Product Width (in.)	15.2 in		

Details

Color Rendering Index (CRI)	80	Color Temperature	Bright White
Detection Range (ft.)	0	Exterior Lighting Product Type	Floodlight
Fixture Color/Finish	Bronze	Fixture Material	Aluminum
Glass/Lens Type	Clear	Included	Hardware Included
Light Beam Angle	270	Lumens	5000
Number of Lights	1 Light	Outdoor Lighting Features	Adjustable Lamp Head, Dusk to Dawn, Rust Resistant, Water Resistant, Weather Resistant
Pack Size	2 Pack	Power Type	Hardwired
Product Weight (lb.)	4.17	Returnable	90-Day

<https://www.homedepot.com/p/Commercial-Electric-350-Watt-Equivalent-Bronze-Integrated-LED-Outdoor-Street-Lamp-Flood-Light-with-Dusk-to-Dawn-Control-DW8899ABZ-B/307505233#overlay>

#7: REAR DECK LIGHTING:

1-Light Black LED Outdoor Dimmable Gooseneck Barn Light Wall Mounted Sconce, Warm White 700 Lumens

- Over each sliding door above deck, focused downward to illuminate deck area
- 2 fixtures total



<https://www.homedepot.com/p/Sunlite-1-Light-Black-LED-Outdoor-Dimmable-Gooseneck-Barn-Light-Wall-Mounted-Sconce-Warm-White-3000K-HD02908-1/315834248?MERCH=REC- -sp- -pip sponsored- -5- -n/a- -HDProdPage- -n/a- -n/a- -n/a&ITC=AUC-229612-23-12030>



Sconce Type

Barn

[See Similar Items](#)

Number of Lights

1 Light

[See Similar Items](#)

Power Source

Hardwired

[See Similar Items](#)

Light Direction

Down

[See Similar Items](#)

Damp/Wet Rating

Wet Rated

[See Similar Items](#)

Fixture Material

Metal

[See Similar Items](#)

Durability

Waterproof

[See Similar Items](#)

Lumens

700

[See Similar Items](#)

Dimensions

Mounting Deck Height (in.)	4	Mounting Deck Width (in.)	4.25
Product Depth (in.)	15.3 in	Product Height (in.)	12 in
Product Width (in.)	11 in		

Details

Actual Color Temperature (K)	3000	Color Rendering Index (CRI)	80
Color Temperature	Warm White	Damp/Wet Rating	Wet Rated
Durability	Waterproof	Exterior Lighting Product Type	Sconce
Fixture Color/Finish	Black	Fixture Material	Metal
Included	No additional accessories	Indoor/Outdoor	Outdoor
Light Bulb Type Included	Integrated LED	Light Direction	Down
Lumens	700	Number of Lights	1 Light
Outdoor Lighting Features	Dimmable	Package Quantity	1
Power Source	Hardwired	Product Size	Medium

No manufacturing attachment accessible in store or online

ALTERNATIVE:
For #4 or #7



<https://www.homedepot.com/p/Endurance-Double-Spot-30-Watt-Black-Outdoor-Integrated-LED-Spot-Light-3000K-WP-LED430-30-aBK/313501864>

Specifications

Dimensions: H 12.5 in, W 6.5 in, D 6.5 in



Dimensions

Product Depth (in.)	6.5 in	Product Height (in.)	12.5 in
Product Length (in.)	6.5 in	Product Width (in.)	6.5 in

Details

Color Rendering Index (CRI)	90	Color Temperature	Soft White
Detection Range (ft.)	20	Electrical Features	Illuminated, Rust Resistant, Weather Resistant
Exterior Lighting Product Type	Flood and Spot Lights	Fixture Color/Finish	Black
Fixture Material	Aluminum	Glass/Lens Type	Frosted
Included	Adjustable Height, Angle Mount Hardware, Cap/Plug Included, Hardware Included, Light Bulb(s) Included, Light Bulb(s) Included, Light Kit Included, Light Kit Included, Mounting Hardware Included, Shade(s) Included	Light Beam Angle	180
Light Bulb Type Included	Integrated LED	Lumens	1930
Number of Lights	2 Lights	Outdoor Lighting Features	Adjustable Detection Sensitivity, Adjustable Height, Adjustable Lamp Head, Illuminated, Motion Sensing, Rust Resistant, Water Resistant, Waterproof, Weather Resistant
Pack Size	1 Pack	Power Options	Hardwired
Power Type	Hardwired	Product Weight (lb.)	2.94 lb
Returnable	90-Day	Voltage Type	Line Voltage
Watt Equivalence	260		

Lucarne 24V LED Niche Gimbal Down Light in White 2700K by Generation Lighting

ITEM 1



Product Number: P1524740 or 770119
Manufacturer: Generation Lighting
Model Number: 95516S-15
Collection: Lucarne LED Niche
Manufacturer Finish: White
Total Wattage: 5.5 w.
Voltage Type: Low Voltage
Voltage Input: 24 v.
Voltage Output: 24 v.
Average Rated Life1: 50,000 hrs
Aspect: Flat
Dimmable: With LED / CFL Dimmer
Height: 3.50 in.
Width: 2.63 in.
Wattage: 5.5
Bulb Type: LED
Base Type: Integrated LED
Number Of Bulbs: 1
Bulb Included: Yes
EnergyStar Compliant: No

Recessed Trim Finish: White
Material: Aluminum
Shipping: UPS Regular
Certification Agencies: ETL
Trim Style: Eyeball / Gimbal Ring
Can TrimShape: Round
Wet Location: Yes
Damp Location: Yes
Installation Type: Retrofit
Weight: 0.55 lbs
Kelvin Temperature: 2700
Lumens: 300
Color Rendering Index: 90
Made In America: No
Title 24: No

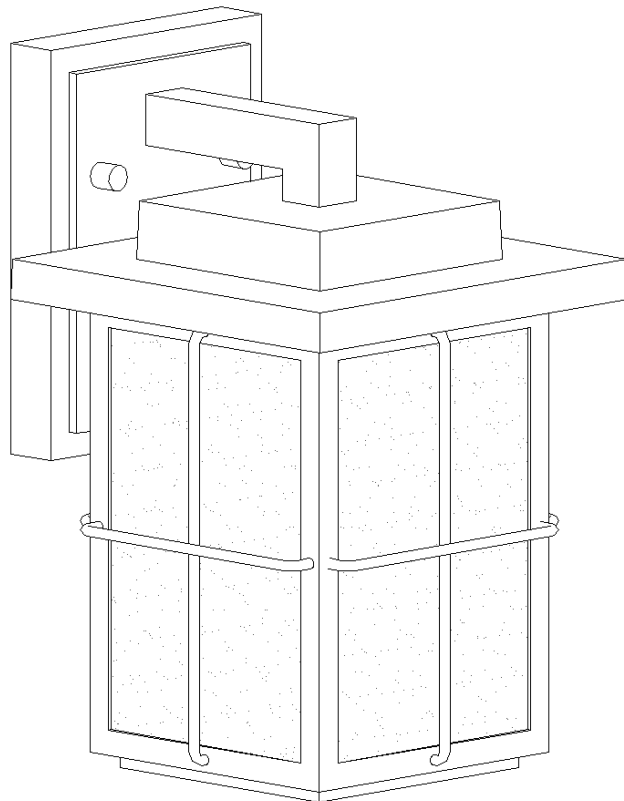
0.0 ★★★★★
No rating available

Item Number: 6VZRFIHD1254D37

WARNING (To reduce the risk of fire, electric shock, or personal injury):

1. We suggest installation by a **licensed electrician**.
2. Please read the instruction carefully and save it as you may need it at a later time.
3. Before you start, **NEVER** attempt any work without shutting off the electricity until the work is done.
 - A) Go to the main fuse, or circuit breaker, box in your home. Place the main power switch in the **"OFF"** position.
 - B) Place the wall switch in the **"OFF"** position.
4. Mounting surface should be clean, dry, flat, strong enough and 1/4" larger than the canopy on all sides. Any gaps between the mounting surface and canopy exceeding 3/16" should be corrected as required.
5. Make sure that the ceiling or wall can stand the weight of the lamp before installation.
6. Make sure the voltage you are using is **120V**. The maximum wattage is **60W** per bulb.
7. Keep the lamp away from acidic and alkaline substances in case of damaging the surface of the lamp.
8. When replacing bulbs, you should turn off or unplug the lamp and you must wait until it is cool as bulbs get hot quickly.
9. The safety instructions appearing in this manual are not meant to cover all possible conditions that may occur. It must be understood that common sense, caution and care must be used with any electrical products.


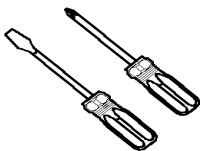

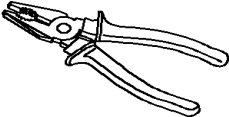
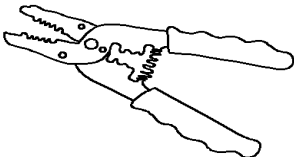
IMAGE FOR FINISHED PRODUCT:



ITEM 2

TOOLS REQUIRED (NOT INCLUDED):

Before starting assembly and installation please prepare the needed tools as below picture

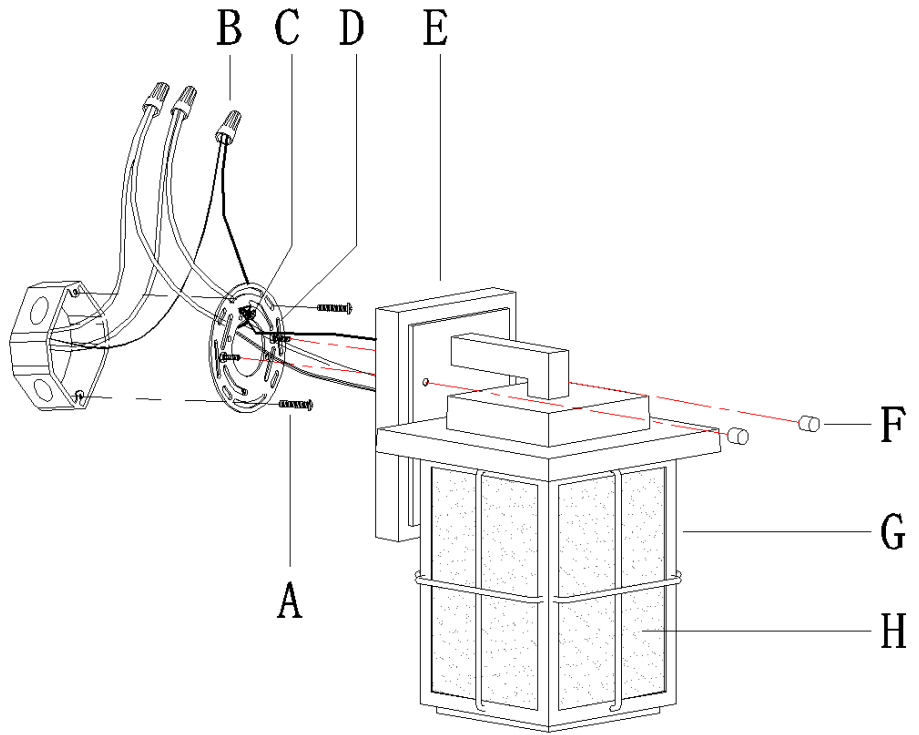
				
Ladder	Phillips head.flat blade screwdriver	Electrical tape	Pliers	Wire cutter/Stripper

PARTS INCLUDING:

- (C) Green ground screw (1)
- (D) Mounting plate (1)
- (E) Back plate (1)
- (F) Knob nut (2)
- (G) Iron frame (1)
- (H) Glass shade (4)

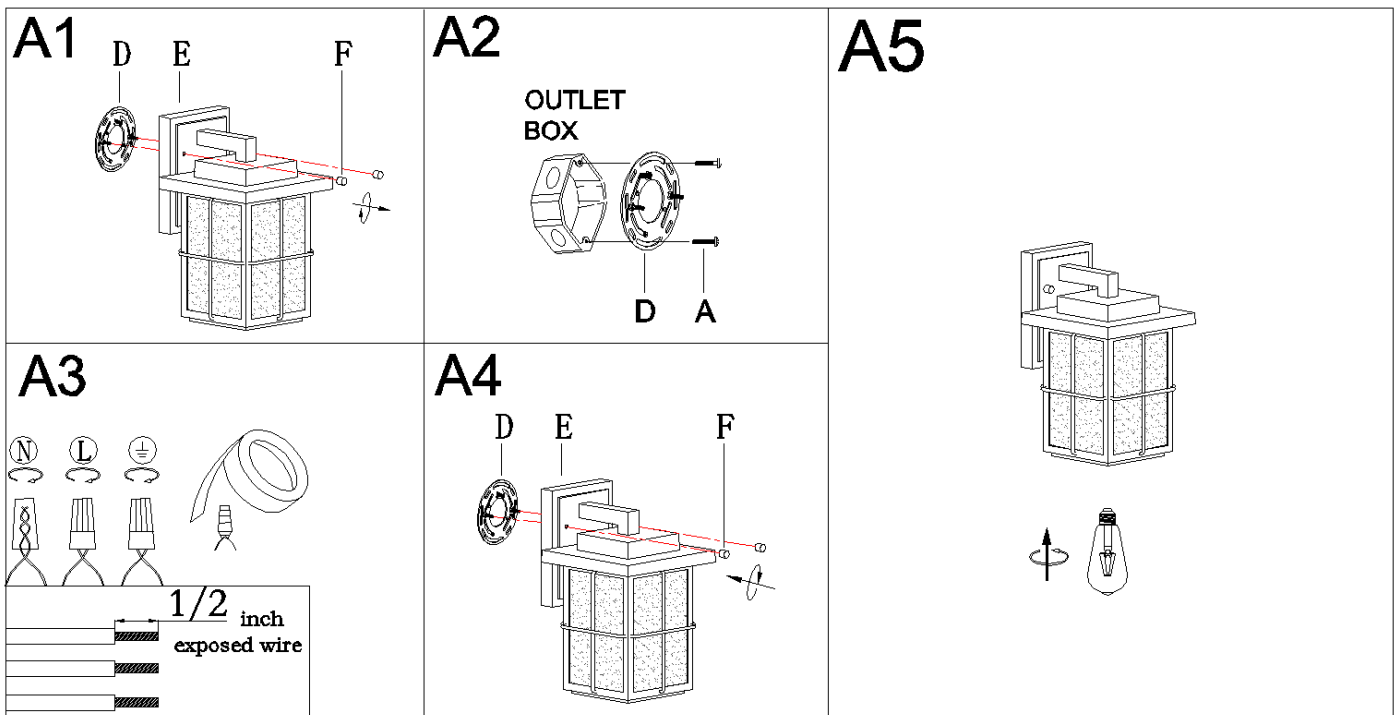
ACCESSORIES ENCLOSED:

- (A) Mounting screw (2)
- (B) Plastic wire connector (3)



ASSEMBLY & INSTALLATION INSTRUCTIONS:

1. Carefully remove the fixture from the carton and check that all parts and accessories are included as shown in the above illustration.
2. Turn off power
 - Before you start the installation, NEVER attempt any work without shutting off the electricity until the work is done.
 - A) Go to the main fuse, or circuit breaker, box in your home. Place the main power switch in the "OFF" position.
 - B) Place the wall switch in the "OFF" position.
3. Make assembly



Step A1: Unscrew knob nuts (F) from back plate (E), then set them aside for later installation.

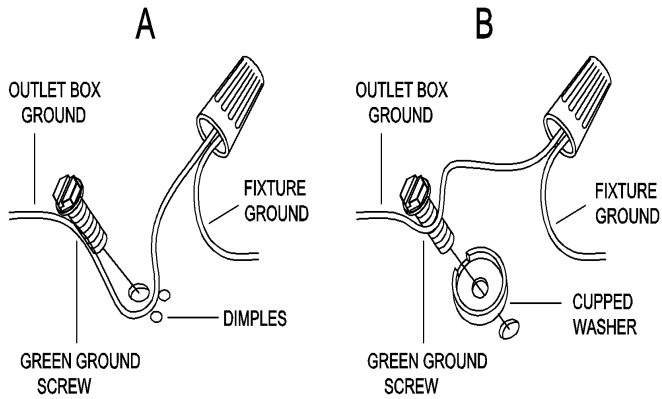
Step A2: Carefully pass the supply wires from the outlet box through mounting plate (D).

Secure mounting plate (D) to the outlet box with mounting screws (A).

Step A3: Make wire connections

Connect wires as below wires connection shown. **PLEASE NOTE THAT GROUND WIRE IS BARE COPPER WIRE, NEVER CONNECT OTHER WIRES TO GROUND WIRES.**

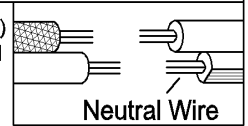
Connect ground wires according to the below chart



Connect wires according to the below chart

Connect Black or Red Supply Wire to:	Connect White Supply Wire to:
Black	White
*Parallel cord (round & smooth)	*Parallel cord (square & ridged)
Clear,Brown,Gold or Black without tracer	Clear,Brown,Gold or Black with tracer
Insulated wire (other than green) with copper conductor	Insulated wire (other than green) with silver conductor

*Note: When parallel wires (SPT I & SPT II) are used. The neutral wire is square shaped or ridged and the other wire will be round in shape or smooth (see illus.)



Twist wires together with plastic wire connectors until tightly joined, and wrap each connector with approved electrical tape. Be sure that no wire strands are exposed and then carefully tuck all wires into the outlet box.

Step A4: Align the holes in back plate (E) with the pre-assembled mounting screws, then attach back plate (E) to mounting plate (D) with the previously removed knob nuts (F). Hand tighten until snug.

NOTE: back plate (E) should be snug against the wall with knob nuts (F). If not, remove back plate (E), adjust the threaded length of pre-assembled mounting screws on mounting plate assembly (D) by unscrewing the pre-assembled hex nuts and then screwing the pre-assembled mounting screws in or out of mounting plate (D) until the secure length is achieved.

Tighten the pre-assembled hex nuts and back to Step A4.

Step A5: Install the bulb (Not included) (Please do not exceed the maximum wattage recommended on the socket.)

4. Check everything is installed properly, then you could turn on the light. Enjoy!

CLEANING

To clean, wipe the fixture with a soft cloth. Clean glass with a mild cleaner (such as mild and non-abrasive soap). Do not use abrasive materials such as scouring pads or powders, steel wool or abrasive paper.

ORDERING PARTS

Keep this sheet for future reference in case you need to order replacement parts. All parts for this fixture can be ordered from the place of purchase. Be sure to use exact wording from illustration when ordering parts.



TESLA



Gen 3 Wall Connector Manual

48A Single Phase


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IMPORTANT SAFETY INFORMATION


Read all instructions before using this product. Save these instructions. Wall Connector features built-in Type B RCD .

This manual contains important instructions for the Tesla Gen 3 Wall Connector that shall be followed during installation, operation, and maintenance. Please review all warnings and cautions before installing and using the Wall Connector.


 **WARNING:** When using electric products, basic precautions should always be followed, including the following.

INSTRUCTIONS RELATING TO RISK OF FIRE OR ELECTRIC SHOCK


 **WARNING:** Do not install or use the Wall Connector near flammable, explosive, harsh, or combustible materials, chemicals, or vapors.

 **WARNING:** Turn off power at the circuit breaker before installing or cleaning the Wall Connector.


WARNINGS


 **WARNING:** This product can expose you to one or more chemicals that are known to the state of California to cause cancer.


 **WARNING:** This device should be supervised when used around children.


 **WARNING:** The Wall Connector must be grounded through a permanent wiring system or an equipment-grounded conductor.


 **WARNING:** Use the Wall Connector only within the specified operating parameters.

 **WARNING:** Never spray water or any other liquid directly at the wall mounted control box. Never spray any liquid onto the charge handle or submerge the charge handle in liquid. Store the charge handle in the dock to prevent unnecessary exposure to contamination or moisture.

 **WARNING:** Do not use the Wall Connector if it is defective, appears cracked, frayed, broken, or otherwise damaged, or fails to operate.


 **WARNING:** Do not use the Wall Connector if the flexible power cord or cable is frayed, broken, or otherwise damaged, or fails to operate.

 **WARNING:** Do not attempt to disassemble, repair, tamper with, or modify the Wall Connector. The Wall Connector is not user serviceable. Contact Tesla for any repairs or modification.


 **WARNING:** When transporting the Wall Connector, handle with care. Do not subject it to strong force or impact or pull, twist, tangle, drag, or step on the Wall Connector, to prevent damage to it or any components.




IMPORTANT SAFETY INFORMATION

 **WARNING:** Do not touch the Wall Connector's end terminals with fingers or sharp metallic objects, such as wire, tools, or needles.


 **WARNING:** Do not insert fingers or foreign objects into any part of the Wall Connector.


 **WARNING:** Do not forcefully fold or apply pressure to any part of the Wall Connector or damage it with sharp objects.


 **WARNING:** Use of the Wall Connector may affect or impair the operation of any medical or implantable electronic devices, such as an implantable cardiac pacemaker or an implantable cardioverter defibrillator. Check with your electronic device manufacturer concerning the effects that charging may have on such electronic devices before using the Wall Connector.





CAUTIONS

 **CAUTION:** Do not use private power generators as a power source for charging.

 **CAUTION:** Incorrect installation and testing of the Wall Connector could potentially damage the vehicle's battery, components, and/or the Wall Connector itself. Any resulting damage is excluded from the New Vehicle Limited Warranty and the Charging Equipment Limited Warranty.

 **CAUTION:** Do not operate the Wall Connector in temperatures outside its operating range of -22° F to 122° F (-30° C to 50° C).

 **CAUTION:** Wall Connector should only be installed by personnel who are trained and qualified to work on electrical systems.

 **CAUTION:** Ensure that Wall Connector is within storage temperature when moving, transporting, or storing.



ITEM 3

PRODUCT OVERVIEW

This manual applies to Wall Connectors identified by part number 1457768-**-**.

Product Specifications

Voltage and Wiring	Nominal 200-240 V AC single-phase
Current Output Range	12 - 48 amps
Terminal Blocks	12-4 AWG (3.5 - 25 mm ²), copper only
Supported Conduit Sizing	¾ in (21 mm) default, 1 in (27 mm) optional
Grounding Scheme	TN/TT
Frequency	50/60 Hz
Cable Length	7.3 m (24 ft)
Wall Connector Dimensions	Height: 13.6 in (345 mm) Width: 6.1 in (155 mm) Depth: 4.3 in (110 mm)
Wire Box Bracket Dimensions	Height: 9.8 in (250 mm) Width: 4.7 in (120 mm) Depth: 2.0 in (50 mm)
Weight (including wirebox)	10 lb. (4.5 kg)
Operating Temperature	-22°F to 122°F (-30°C to 50°C)
Storage Temperature	-40°F to 185°F (-40°C to 85°C)
Enclosure Rating	Type 3R
Ventilation	Not required
Means of Disconnect	External branch circuit breaker
Ground Fault Circuit Interrupter	Integrated, no additional required (CCID20)
Wi-Fi	2.4 GHz, 802.11b/g/n
Agency Approvals	cULus - E351001

Transportation and storage: Ensure that Wall Connector is within storage temperature when moving, transporting, or storing.

This device complies with part 15 of the FCC Rules. Operation is subject to the following conditions: (1) This device may not cause harmful interference, and (2) this device must accept any interference received, including interference that may cause undesired operation.



Circuit Breaker Rating / Maximum Output

Power Output

For maximum power output, install a standard double pole 60 amp circuit breaker. Wall Connector includes integrated GFCI protection - **do not install a GFCI circuit breaker.**

Wall Connector incorporates automatic load management, which allows the max output to be customized to an existing power supply. If the electrical supply is unable to support the 60 amp configuration, select a lower amperage configuration.

Circuit breaker (amps)	Max output (amps)	Power output at 240 volts (kW)
60	48	11.5
50	40	9.6
40	32	7.6
30	24	5.7
20	16	3.8
15	12	2.8



NOTE: External disconnect switches are neither required nor recommended.



NOTE: Circuit breaker size is programmed during the commissioning process. See [Commissioning Procedure on page 28](#) for details.



NOTE: Some Tesla vehicles may draw less current than the max output. Actual charging rate depends on Wall Connector output and onboard charger in the vehicle.

Branch Circuit Conductors and Ground Wire

- If installing for less than maximum power, refer to local electrical code to select correct conductors and ground wire size that are suitable for the chosen circuit breaker.
- If installing for maximum power, use minimum 6 AWG, 90° C-rated copper wire for conductors.



NOTE: Upsize conductors if necessary.

- For sites with multiple Wall Connectors, each Wall Connector must have its own branch circuit with L1, L2/N, and Ground.
- COPPER WIRE TERMINATIONS ONLY for landing in Wall Connector wirebox terminals. Conductors can be stranded or solid.
- Hardwire branch circuits to disconnects or circuit breakers. Do **NOT** install cord-and-plug type connections.
- For outdoor installations, use watertight fittings when securing feeder wires to the wirebox.



Grounding Connections

Wall Connector must have a ground path back to the main equipment earthing point on site. Without a proper ground connection, the Wall Connector will fault during a ground assurance test. Equipment-grounding conductor must be run with the circuit conductors and connected to the equipment-grounding terminal in the wirebox. Install a ground (PE) wire sized according to local electrical code.



Using Wall Connector

1. Open the vehicle charge port by pressing the button on the charge handle, pressing on the charge port door, using the mobile app, using the vehicle touchscreen, or by pressing and holding the trunk button on the keyfob.
2. Insert the charge handle into the vehicle charge port.
3. Check the vehicle controls to verify charging.
4. To remove the charge handle from the vehicle, press and hold the button on the handle to unlock the charge port.



NOTE: The vehicle must be unlocked for the charge handle to be removable.



5. Remove the charge handle from the vehicle charge port.
6. Wrap the charge cable counter-clockwise around the Wall Connector and insert the charge handle into the holster.





Features

Connectivity

Wall Connector is equipped with Wi-Fi to communicate with local site routers, vehicles, mobile devices, other Wall Connectors, and other Tesla products.



Hosted Access Point

Wall Connector hosts a WPA2 password-secured, 2.4 GHz, 802.11 Wi-Fi access point network to facilitate commissioning and connecting to other devices.

A unique SSID Wi-Fi network name and WPA2 password for connecting to the Wall Connector are printed on a label at the rear of the main unit, as well as on the front cover of the Quickstart Guide included in the box.



Local Network

Connecting Wall Connector to a local Wi-Fi network enables it to receive over-the-air firmware updates, remote diagnostics access, and usage data tracking capability. A Wi-Fi connection is required for sites that utilize authentication, billing, and other property management features.

Wall Connector only supports WPA2/3-secured, 2.4 GHz, 802.11 infrastructure mode networks.

NOTE: Networks that are not password protected are not supported. The Wall Connector will not display non-password protected networks in the options list. Open networks without a password are not supported and will not be recognized by the Wall Connector.

NOTE: WPA enterprise will be supported in a future firmware update.



NOTE: Property management features will be enabled via future firmware updates.



Ground Fault Circuit Interruption

Integrated ground fault circuit interruption (GFCI) protection automatically detects a current mismatch between power delivery conductors that would indicate that current is flowing through the ground (PE) conductor.

If a ground fault occurs after 10 seconds of charging, Wall Connector will wait 15 minutes before automatically re-attempting to charge. Up to four attempts to charge will be made before user interaction is required.

If a residual current fault occurs within 10 seconds of charging, Wall Connector will lock out and user interaction is required to restore charging functionality.

Recommended interaction includes pressing the button on the charging handle, or removing the charging handle from the vehicle and reinserting it. If this does not resolve the issue, look for a ground fault issue such as water ingress.

Ground Assurance

Wall Connector continuously checks for the presence of a safe ground connection and automatically recovers from faults. Grounded assurance operates by injecting a small amount of current into the ground conductor in order to measure the impedance between line and ground. If high impedance is detected, the Wall Connector will lock out charging and display a fault code of two (2) red blinks. See [Fault Codes on page 38](#) for a full list of fault codes.

For ground assurance to operate on TN grids, one leg of the distribution transformer must be ground-bonded (Neutral). Ground bond should only occur at one location in a site's electrical system.

Wall Connector ground assurance may be adjusted in countries with TT or IT grid configurations and can be disabled in the commissioning procedure.

The Ground Monitor Interrupter feature monitors the Wall Connector ground connection. Select the correct option based on the installation's earthing system and earth impedance.

Depending on country, three options are available:

- **Enable:** Ground connection will be monitored and a high detected ground resistance will disable the Wall Connector. This is the preferred setting to provide protection, and should be selected where ground connection is expected to be strong (as in the case on TN networks and most TT networks), and where required by regulation.
- **Monitor:** Ground connection will be monitored but a high detected ground resistance will not disable the Wall Connector. This should be selected if the ground monitoring check yields false positives and ground impedance cannot be improved (as is the case in some TT networks).
- **Disabled:** Ground connection will not be monitored. This should be selected where the ground connection is not made (as is the case for IT networks), or where the current induced by this check would be problematic (as is the case on some TT networks with sensitive residual-current devices).



NOTE: Ground Monitoring is always enabled for installations in North America.

Temporary problems such as ground faults or utility power surges are resolved automatically.



Thermal Monitoring

Wall Connector actively monitors temperatures in multiple locations while charging to ensure stability of the charge session. Temperature sensors are located at the relays, microcontroller, charge handle, and rear of the main unit to monitor the temperature of the terminals in the wirebox.

In warmer conditions, Wall Connector may reduce current and charge speed to protect itself. When this happens, the light bar on the faceplate will continue to display the “streaming green” and a blink code of three red flashes to indicate that charging has been reduced due to high temperatures. If heat continues to rise, Wall Connector will stop charging and display a blink code of three red flashes.



NOTE: See [Fault Codes on page 38](#) for full list of error codes.

For optimal performance, install Wall Connectors in areas where ambient temperature will remain below 50°C (122°F). In rare circumstances, Wall Connector may begin reducing amperage at 35°C (95°F) ambient temperatures. Adjustments to amperage are automatic and do not require user input; Wall Connector will return to starting current when temperatures are reduced.

Power Outages

If there is a power outage while Wall Connector is charging a vehicle, charging will automatically resume within 1 to 3 minutes after power restoration. The Wall Connector will display a solid blue light on the faceplate to indicate that it is communicating with the vehicle and waiting to resume charging. Alternatively, pressing the button on the charge handle after power restoration will cause Wall Connector to resume charging immediately.

Firmware Updates

Firmware updates will be automatically applied to the Wall Connector to improve the user experience and introduce new features. Connect Wall Connector to Wi-Fi for access to the most recent firmware update. See [Commissioning Procedure on page 28](#).

Tesla vehicles can provide firmware updates to Wall Connectors.



Wall Connector External Components

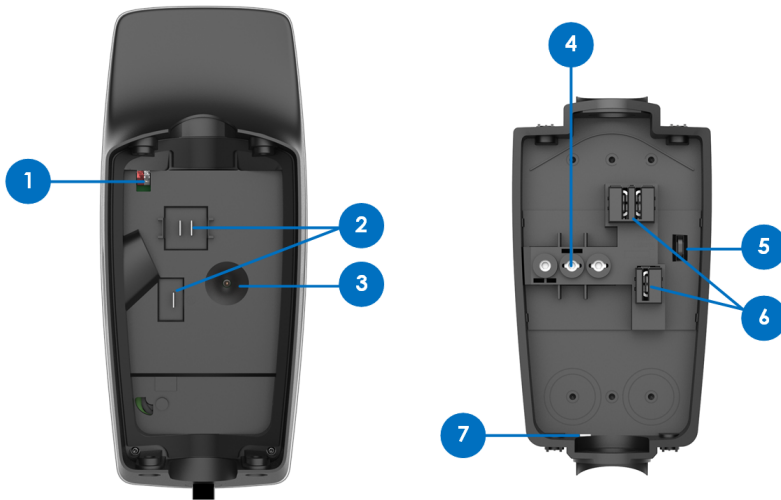
"Wall Connector" refers to the product as a whole.



1. Faceplate
2. Light bar (vertical)
3. Main unit
4. Charge handle button
5. Charge handle



Wall Connector Internal Components



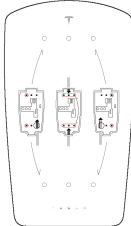








- 1. RS-485 port
- 2. Contact blades
- 3. Temperature sensor
- 4. Conductor terminals
- 5. Zip tie anchor
- 6. Sliding contacts
- 7. Wirebox drainage opening (enables Type 3R protection)




INSTALLATION

In the Box

 <p>Main Unit</p>	 <p>Wirebox</p>	 <p>Wirebox Mounting Template</p>	 <p>Hex Bit (4 mm)</p>
 <p>Zip tie (x1)</p>	 <p>Wall Connector-to-Wirebox Fastener (x4)</p>	 <p>Wirebox-to-Wall Fastener (x2)</p>	 <p>Quickstart Guide (contains sticker with SSID network name and unique password)</p> <p>SAVE THIS DOCUMENT</p>

 **NOTE:** The hex bit, zip tie, and fasteners are located in a plastic bag inside the wirebox, which comes attached to the main unit of the Wall Connector.

 **NOTE:** Wall plugs are not included. If installing in concrete or other like materials, use 6 mm wall plugs.


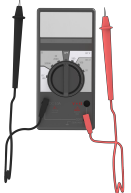


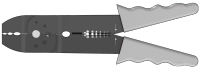








Tools

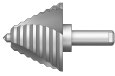
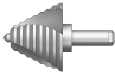

Required Tools



NOTE: Drill bit sizes assume wood mounting surfaces. If installing on concrete or other masonry, consult with an electrician for optimal pilot hole sizes.

 <p>Torque Driver (50 lbf . in, 5.6 Nm)</p>	 <p>Multimeter</p>	 <p>Stud Finder</p>	 <p>Tape Measure</p>
 <p>Wire Stripper</p>	 <p>Drill Bit, 1/4 in (6.5 mm)</p>	 <p>Drill Bit, 5/32 in (4 mm)</p>	 <p>Bit Driver</p>
 <p>Level</p>	 <p>Smartphone (with Wi-Fi)</p>	 <p>Power Drill</p>	

Optional Tools

 <p>Step Bit, 1-1/8 in (29 mm)</p>	 <p>Step Bit, 1-3/8 in (35 mm)</p>	 <p>Computer (with Wi-Fi)</p>
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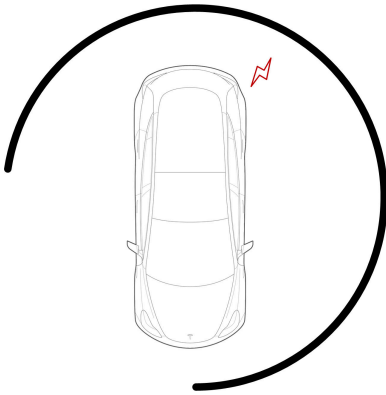


Installation Considerations

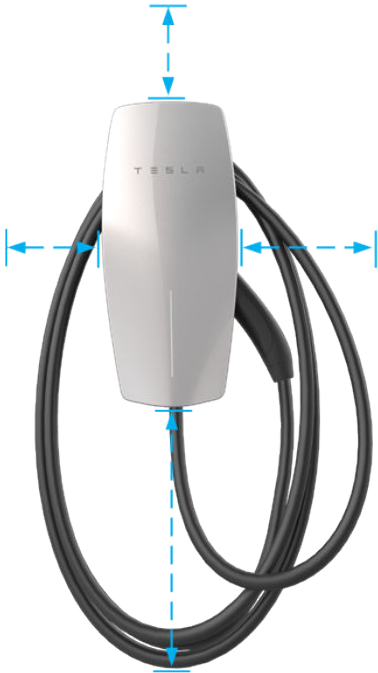
Wall Connector may be installed on any flat, vertical surface capable of supporting its weight (e.g. wall, pedestal, etc.). Wall Connector weighs .

Choosing Location

Install Wall Connector in a location that allows the charge cable to reach the vehicle charge port without putting strain on the cable. Recommended installation area for Wall Connectors with 24 ft (7.3 m) cable:



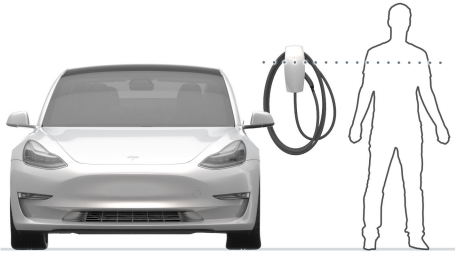
Install Wall Connector in a location with ample clearance on all sides to allow the charge cable to loop around the unit and the charge handle to comfortably land in the side dock.



NOTE: If constrained by space, a cable organizer can be installed near the Wall Connector (sold separately).




Choosing Height



- Maximum height (indoor and outdoor): 60 in (1.52 m)
- Recommended height: ~45 in (~1.15 m)
- Minimum outdoor height: 24 in (0.6 m)
- Minimum indoor height: 18 in (0.45 m)

Maximizing Wi-Fi Signal Reception

Wall Connectors should be connected to a local Wi-Fi network for optimal functionality. For maximum signal reception, avoid installing Wall Connector on opposite sides of concrete, masonry, metal studs, and other physical obstructions that could impede Wi-Fi signal reception.

 **NOTE:** If a mobile device is able to connect to local Wi-Fi at a given location, it is a good indication that Wall Connector will also be able to connect.





Wire Entry Options



Wall Connector's wirebox has multiple wire entry options. Choose one entry path and follow installation instructions based on chosen entry path.

1. Top entry location
2. Rear entry locations (left or right)
3. Bottom entry location

For additional installation considerations on sites that will have multiple Wall Connectors, see [Considerations for Power Sharing on page 33](#).



Step 1: Prepare Wirebox for Conduit Fittings and Bushings

The default conduit size is 3/4 in (21 mm). 1 in (27 mm) conduit is acceptable if needed.

Based on fittings and conduit size, prepare the wirebox.


- For top or bottom entry: Manually remove the conduit plug.
- For rear entry: Drill with 1-1/8 in (29 mm) step bit to prepare wirebox for fittings.

Table 1. For 3/4 in (21 mm) Conduit

Top Entry	Bottom Entry	Rear Left Entry	Rear Right Entry

Table 2. For 1 in (27 mm) Conduit

Top Entry	Bottom Entry	Rear Left Entry	Rear Right Entry
Do not expand.			

 **NOTE:** For 1 in (27 mm) rear and bottom entry options, drill with 1-3/8 in (35 mm) step bit to prepare wirebox for fittings.



Step 2: Prepare Mounting Surface

1. If applicable, use a stud finder to locate a wooden support stud. Plywood, or other flat wall surfaces capable of supporting the weight of the Wall Connector, may also be used.



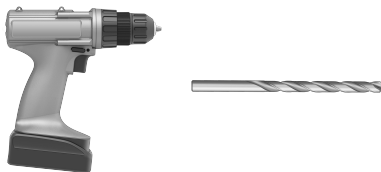
2. Based on the chosen wire entry path, position the included cardboard mounting template onto the installation surface and use a 5/32 in (4 mm) bit to drill two pilot holes (one from the top row and one from the bottom row).



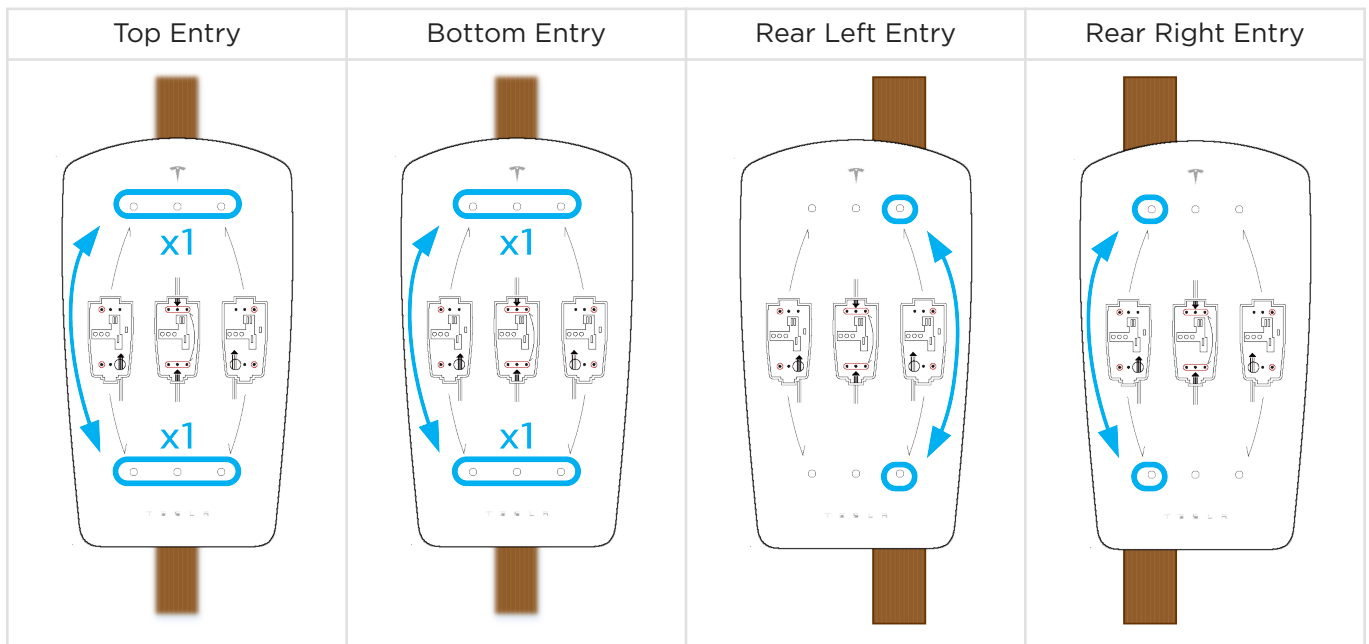
NOTE: When installing for rear left or rear right wire entry, select the two mounting holes that are on the opposite side of the wire entry point.



NOTE: Use a level tool with the cardboard mounting template to ensure a level installation as desired.



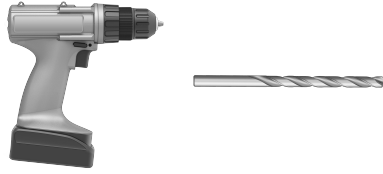
Drill bit, 5/32 in (4 mm)



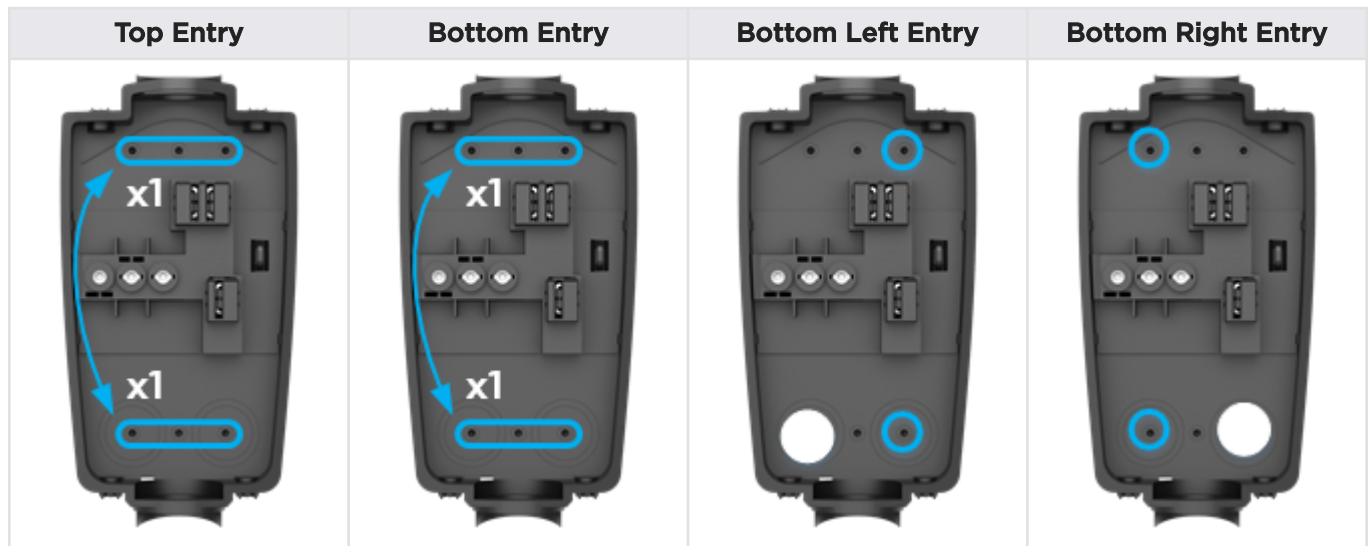


Step 3: Prepare Wirebox and Mount to Wall

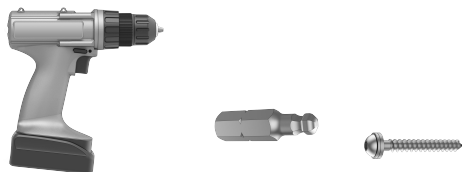
1. Use a 1/4 in (6.5 mm) bit to drill two pilot holes into the wirebox that match the locations chosen on the cardboard mounting template.



Drill bit, 1/4 in (6.5 mm)



2. Attach the wirebox to the mounting location using the included 4 mm hex bit and the two included wood fastener screws.



NOTE: Type 3R rating is only possible when washers have sealing gaskets. If mounting to alternate surface (such as a prefabricated pedestal), use alternate fasteners with sealing washers.

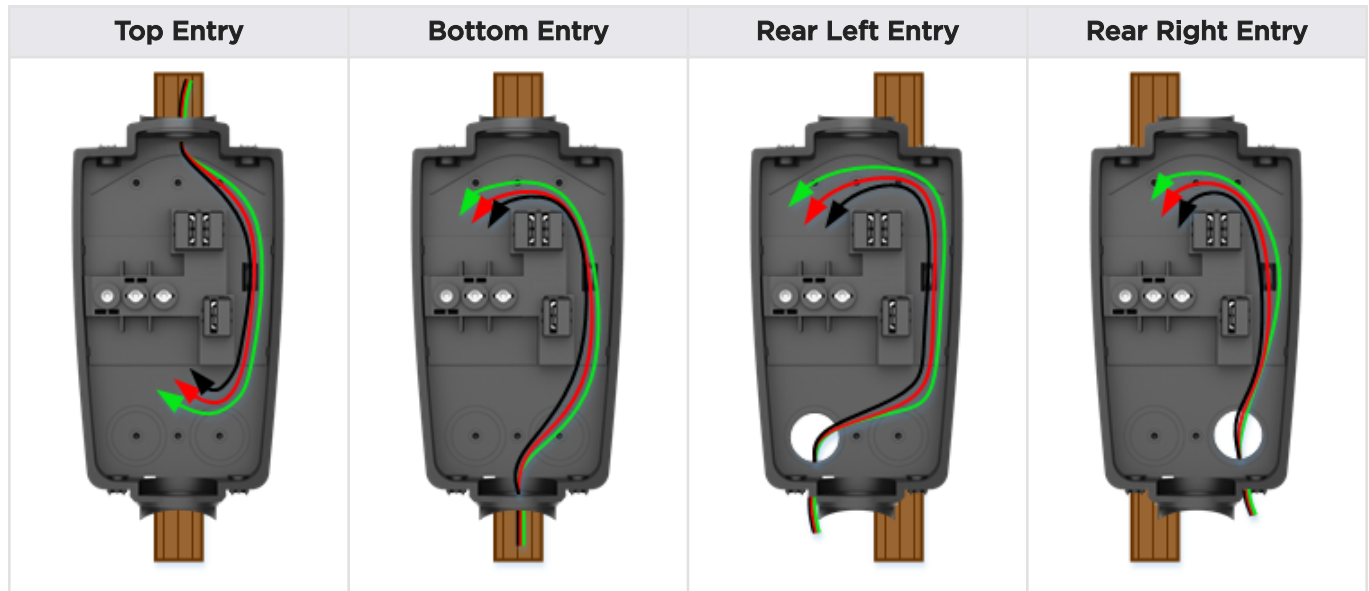


NOTE: The wood fastener screws are designed to support the weight of the entire Wall Connector, cable, and charging handle.



Step 4: Route Wiring Through Wirebox

1. Route wiring into selected entry point and through the service loop channel on the right side of the wirebox.



2. Use appropriate cable glands, bushings, or fittings to secure the wiring in place and protect from water and debris intrusion.



CAUTION: Ensure that bushings are in place to avoid damage to conductors and ground wire when pulled into wirebox.



CAUTION: Use copper conductors only.



NOTE: Compression-style fittings are recommended to prevent interference.




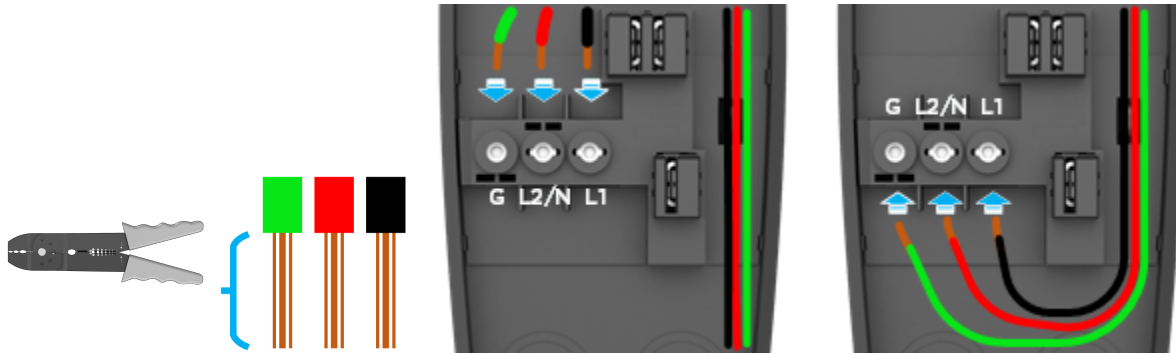
NOTE: For top or bottom wire entry, if installing fittings with a set screw, ensure that the screw is positioned to avoid interference with Wall Connector cables.



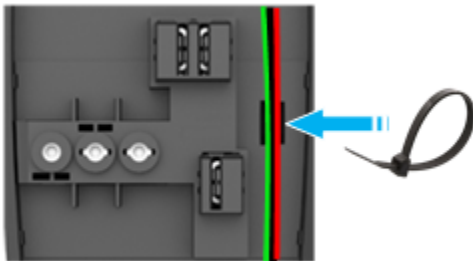
Step 5: Strip and Land Wiring

1. Strip insulation from wires $\sim 1/2$ in (~ 13 mm), route through service channel, and land each wire in its correct terminal block.

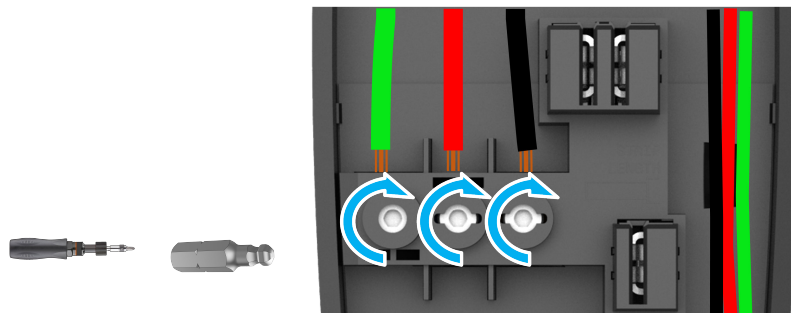
 **NOTE:** Terminals are bi-directional.




2. Secure the wiring in the service channel using the included zip tie.



3. Use a torque driver and the included 4 mm hex bit to torque the terminal screws to 50 lbf . in (5.6 Nm).



 **NOTE:** When installing Wall Connector in a split phase electrical system, use Line-to-Line instead of Line-to-Neutral.



Step 6: Attach Wall Connector to Wirebox

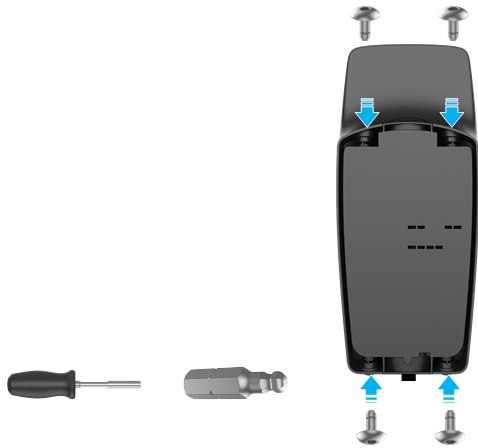
1. Attach the main unit to the wirebox by pushing it inward.



2. Secure the main unit to the wirebox with the four included fasteners and the included 4 mm hex bit using a bit driver, applying pressure to the faceplate during the process to compress the internal seal. Firmly hand-tighten the four fasteners until they are secure.



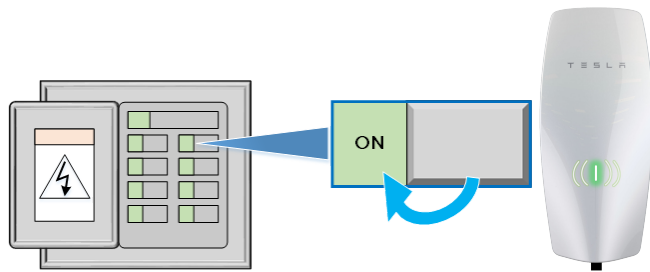
NOTE: Do not use a power drill for this step.





Step 7: Energize Wall Connector

1. Energize the Wall Connector by turning on the upstream circuit breaker.



The Wall Connector's LEDs will turn on. See [Wall Connector LEDs on page 36](#).

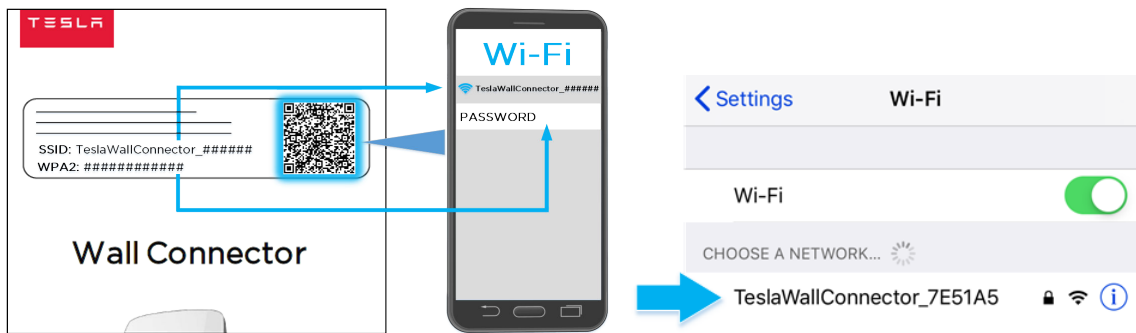
2. Proceed with commissioning.



COMMISSIONING PROCEDURE

The commissioning process for Wall Connector enables easy configuration of circuit breaker size, Wi-Fi connectivity, and power sharing options.

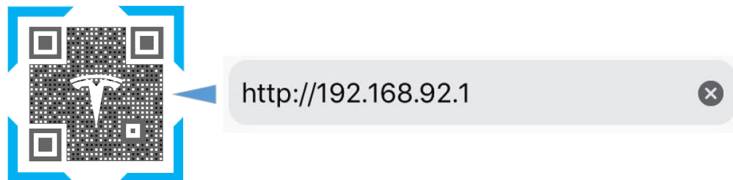
1. Turn on Wall Connector’s corresponding branch breaker to energize the unit.
During startup, Wall Connector will display green LEDs for 10 seconds to indicate the maximum circuit breaker it is configured for.
2. Use a Wi-Fi-enabled device such as a smart phone to connect to the SSID Wi-Fi signal broadcasted by the Wall Connector. Joining the Wall Connector network can be done by scanning the sticker QR code on the Quickstart Guide cover page, or by manually selecting the network and typing in the WPA2 password (found on the sticker on the Quickstart Guide cover page).



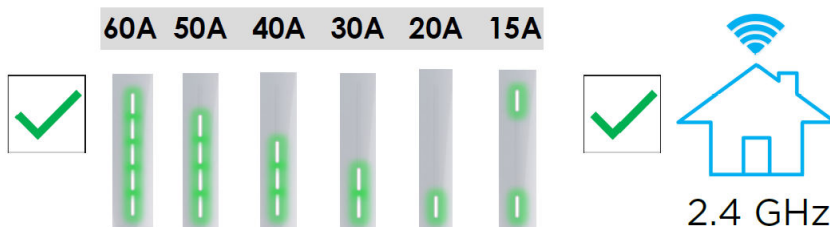
NOTE: The Wi-Fi network will broadcast for 15 minutes. To have the Wall Connector broadcast the SSID again, hold the button on the charging handle for 5 seconds or turn the circuit breaker off, then on again.

NOTE: If you are unable to connect to the Wall Connector SSID, turn off the cellular data function on your mobile device and try again.

3. Scan the QR code below with the device that is connected to the Wall Connector to access the web browser commissioning interface. Alternatively, manually type the URL address (<http://192.168.92.1>) into the web browser.



4. Follow the onscreen commissioning steps on the web browser to assign Wall Connector to its own circuit breaker and connect it to the local site Wi-Fi network.





NOTE: To have the Wall Connector broadcast the SSID again, hold the button on the charge handle for 5 seconds or turn the circuit breaker off, then on again.

Setting Up Access Control

The Charging Access Control feature provides full control over which vehicles are allowed to charge with your Wall Connector and excludes vehicles without access based on user specifications.

1. Sign into the commissioning wizard..

Use the [Commissioning Procedure on page 28](#) to sign into the commissioning wizard and connect to the Wall Connector Wi-Fi SSID by clicking on the 'Access Control' card.

2. Configure Access Control.

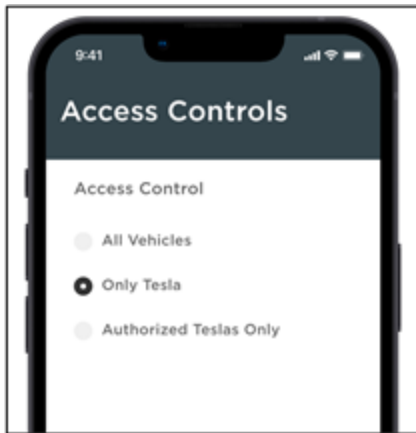
You can choose from three options:

- **'All Vehicles'**

This is the default option and will allow charging on all electric vehicles with a matching charge port. To charge with the older generation Tesla Roadster, you will need to pick the 'All Vehicles' option

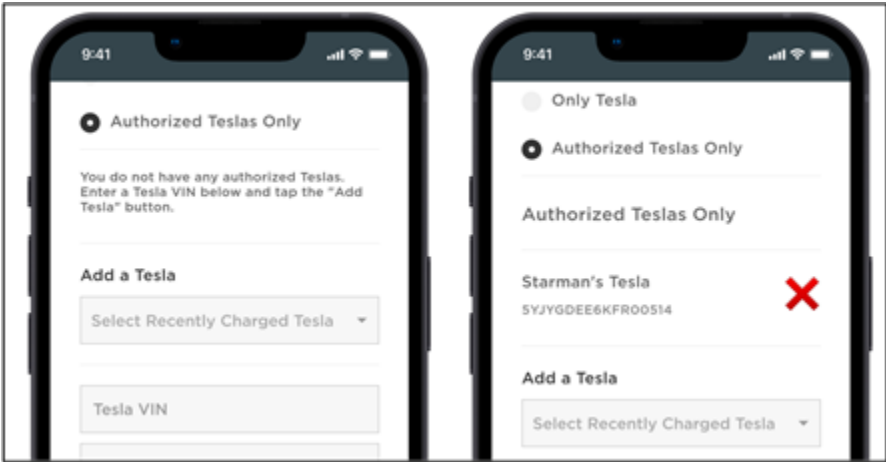
- **'Only Tesla'**

This option blocks charging on non-Tesla EVs.



- **'Authorized Teslas Only'**

This option allows you to add up to 10 specified Tesla cars by their VIN and assign an optional name. For convenience, the VIN of the last 10 cars previously connected to the Wall Connector is made available for selection. The VIN is usually displayed on your windshield and can also be found in the 'Software' tab on your vehicle touchscreen.






POWER SHARING

Power Sharing Overview

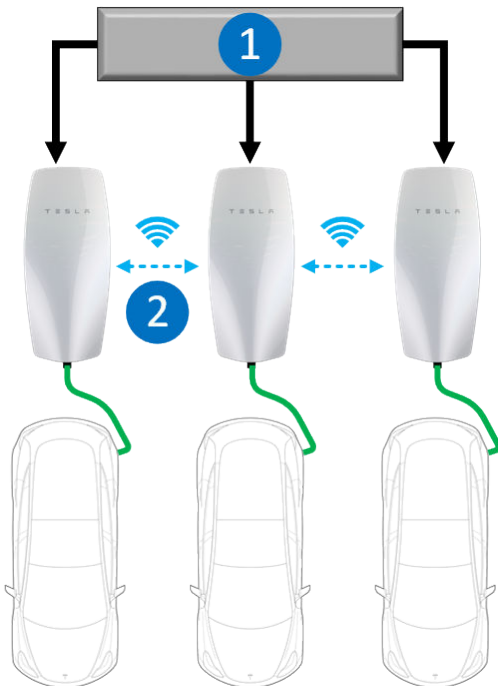
The firmware-based power sharing feature enables up to 6 Wall Connectors installed at the same site to intelligently share the site's total available power via unit-to-unit Wi-Fi. This minimizes the need for many residential and commercial applications to have specific electrical upgrades for concurrent multi-vehicle charging.

During the commissioning process,

- Wall Connectors are allocated to individual branch circuits (each up to 60 amps)
- Total power is allocated to the group of linked Wall Connectors

 **NOTE:** For instructions to commission Wall Connectors in a power sharing network, see [Gen 3 Wall Connector Power Sharing](#).

Total current output of Wall Connectors that share power will never exceed the site's total allocated power.



1. AC feed (service panel)
2. Power sharing via Wi-Fi communication

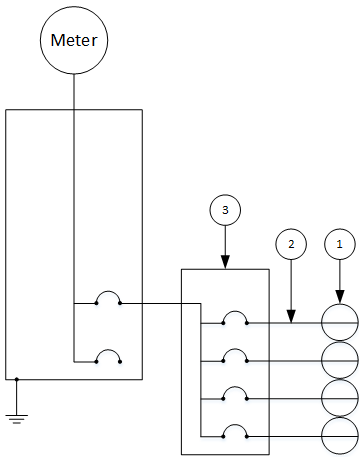


Breaker and Branch Circuit Setup

Power sharing circuits may be installed in an electrical panel that supports other loads. If space is limited or the main power supply is far from the Wall Connectors, installing a dedicated load center may be prudent.

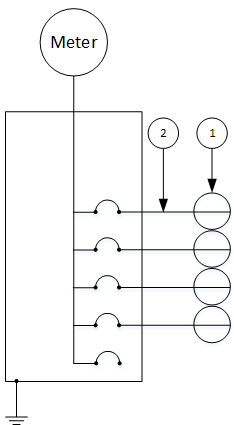
See below for examples of Wall Connector power sharing diagrams (one with sub-panel and one without). Each individual Wall Connector in below examples is capable of providing 48 amps when it is the only one in use. As more Wall Connectors begin plugging into vehicles, the system will automatically distribute power based on the total power allocated to the site.

Power Sharing Setup with Sub-Panel



1. Wall Connector
2. 60 A branch circuit
3. 100 A sub-panel / feeder breaker

Power Sharing Setup Without Sub-Panel




1. Wall Connector
2. 60 A branch circuit




Considerations for Power Sharing

Wall Connector power sharing is achieved wirelessly.

For optimal performance, Wall Connectors within a power sharing network should be installed within view of each other whenever possible.

 **NOTE:** Line of sight is recommended but not required. Wireless communication is capable of reaching around concrete corners but network range may degrade as a result.

Avoid placing Wall Connectors on opposite sides of concrete, masonry, metal studs, and other physical obstructions that would impede Wi-Fi signal strength.


 **NOTE:** If a mobile device is able to connect to the Leader Wall Connector Wi-Fi, it is a good indication that the Follower Wall Connector will also be able to connect.

Calculating Power Sharing Requirements for Existing Systems

To calculate power supply requirements per number of Wall Connectors for existing electrical systems, use the following equation:


Available continuous amperage:	Number of Wall Connectors:	Max amperage output per Wall Connector when 100% utilized:
_____	_____	_____
_____ ÷ _____ = _____		

 **NOTE:** Maximum number of Wall Connectors for power sharing is 6.

 **NOTE:** When calculating maximum amperage per Wall Connector, 100% utilization must be greater than 6 amps for power sharing operation. If maximum amperage is greater than 48 amps, power sharing is not necessary.

For large scale sites, consider expected parking time in relation to a 100% utilization rate.

Expected Park Time (hours)	Examples	Recommended Amperage per wall Connector at 100% Utilization
6+ (long term)	Long term parking, overnight parking	12+ amps
3-5 (medium term)	Workplace, hospitality	24+ amps
1-2 (short term)	Shopping and dining	32+ amps

 **NOTE:** 100% utilization represents the worst case scenario for charging speeds, where the least amount of power would be available for each individual vehicle. In most situations, not all Wall Connectors would be actively charging a vehicle, which enables faster charging for the remaining vehicles.



Power Sharing Commissioning Procedure

1. Identify and configure the wall connector.

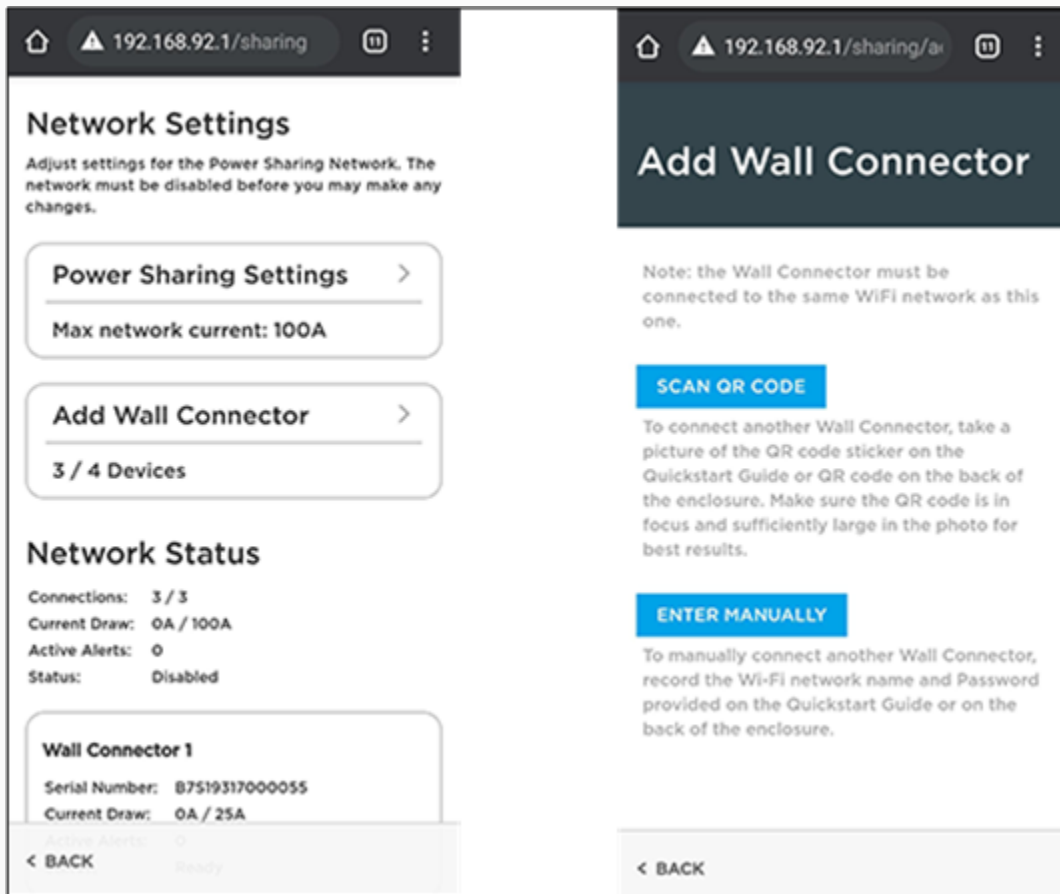
One Wall Connector will be the designated leader and provide the configuration and controls for all followers. Install and configure the leader first. Follow the process in the [Commissioning Procedure on page 28](#) to connect and configure the leader.

2. Add up to five additional followers from the lead Wall Connector.

Click on the power sharing card in the commissioning interface and add additional Wall Connectors to form a power sharing network by wirelessly pairing them to the leader.



NOTE: When pairing followers, the leader will restart, and you will lose Wi-Fi connection. If your connection does not automatically return, ensure you are still connected to the leader's Wi-Fi connection and refresh the page.




3. Set network limits.


Once all followers have been added, set the network limit. This is the total current that will be intelligently distributed between all devices that have vehicles charging.

The minimum current limit is 6 amps per Wall Connector. A six-unit network will have a minimum limit of 36 amps.

The maximum network limit is the sum of the nameplate ratings of all units in the network, minus one amp. A six-unit network of single-phase Wall Connectors can have a maximum network limit of 287 amps. If 288 amps or more electrical service is available in this scenario, then all units can charge at full power and power sharing is not needed. Chat with your electrician for further understanding of the maximum network limit.

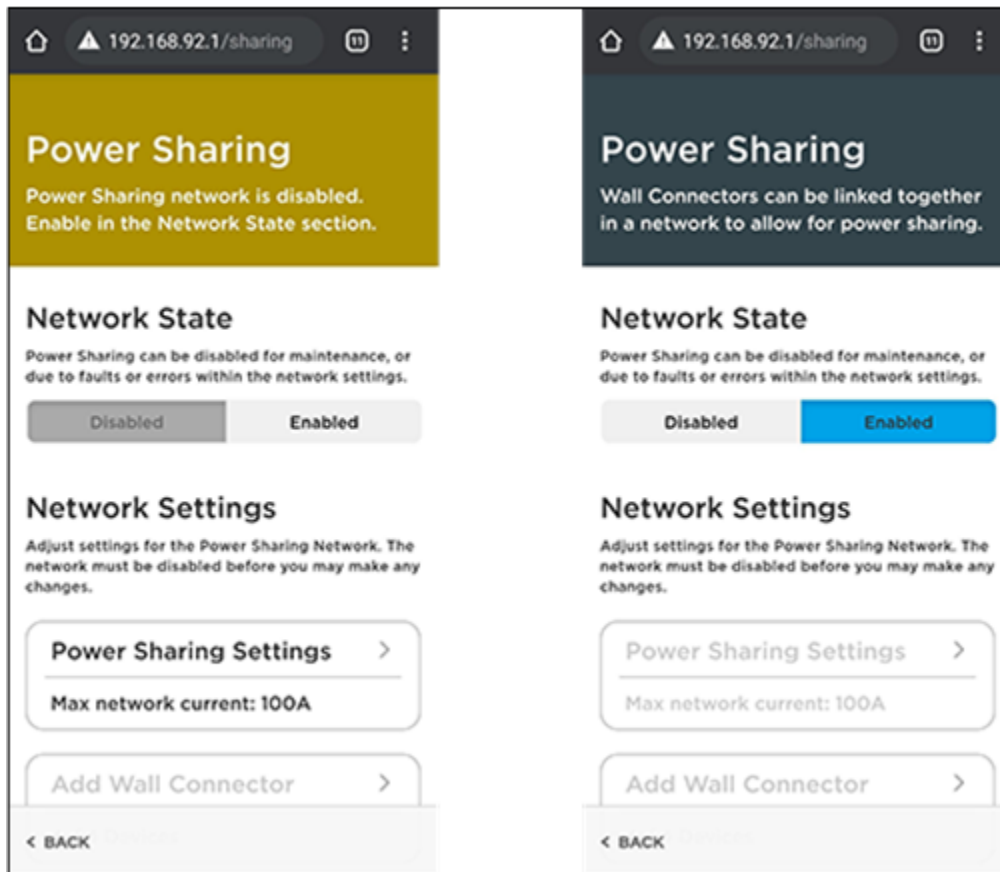



 **NOTE:** In the event that your leader and followers have different circuit breakers, you have to individually connect to each of the followers on different breakers via the Wi-Fi broadcast, and then set the correct breaker limit.

 **NOTE:** For example, in a four Wall Connector network with two 60 amp breakers, one 50 amp breaker and one 20 amp breaker where the leader has a 60 amp breaker, individually connect to the Wall Connectors with 50 amp and 20 amp breakers and set their current limit in the commissioning interface using the [Commissioning Procedure on page 28](#).

4. Enable power sharing network.

Once your power sharing network is fully established (followers paired and network limit set), you will have the ability to enable the network.



 **NOTE:** No units in the network will be able to charge the connected vehicles if the power sharing has not been enabled.



WALL CONNECTOR LEDS

Light Codes

Startup

Once energized at the circuit breaker, every LED (seven total) on the faceplate will illuminate for up to five seconds.



After Startup

After Wall Connector is energized at the circuit breaker, certain green LEDs (depending on the circuit breaker size) will illuminate for 10 seconds. See table below for exact light codes.

Circuit breaker	60 A	50 A	40 A	30 A	20 A	15 A	
Maximum output	48 A	40 A	32 A	24 A	16 A	12 A	





NOTE: To re-display the green LEDs after the initial 10 seconds, press and hold the charging handle button.

When multiple Wall Connectors are linked for power sharing, the **center blue LED** will illuminate during the 10-second startup window.

Other

Standby, waiting to plug in	Charging in progress	SSID broadcasting, ready to commission	Waiting to charge, communicating with vehicle
Top green solid	Every green streaming	Green pulsing	Blue solid



Standby, waiting to plug in	Charging in progress	SSID broadcasting, ready to commission	Waiting to charge, communicating with vehicle
			



Fault Codes

All red blink codes pause for one second, and then repeat.		
Light Bar	What It Means	Details
No Lights	Power supply issue, charging disabled	Verify that the power supply is turned on. If the issue persists, have an electrician remove the Wall Connector from the wirebox and confirm that voltage is present at the terminal block using a multimeter. Record the voltage readings for the following: L1 to L2/N, L1 to Ground, L2/N to Ground.
Solid red	Internal , charging disabled	Turn the circuit breaker off, wait 5 seconds, and turn it back on. If solid red light remains, document part number and serial number, then contact Tesla Energy.
One (1) red blink	Ground fault circuit interruption due to unsafe current path, charging disabled	Inspect the handle, cable, Wall Connector, and vehicle charge port for damage or signs of water ingress. Have an electrician check that ground is not directly connected to a conductor wire in the branch circuit.
Two (2) red blinks	Ground assurance fault, high ground resistance detected, charging disabled	Verify that the Wall Connector is properly grounded. The ground connection must be bonded in the upstream power supply for proper operation. Check all physical connections, including the wirebox terminals, electrical panel(s), and junction boxes. In residential power supplies, check the bond between ground and neutral at the main panel. If connected to a transformer, contact the transformer's manufacturer for direction on how to bond the ground connection.
Three (3) red blinks	High temperature detected; charging limited or disabled	Verify that Wall Connector is connected to Wi-Fi and updated with the latest available firmware for optimal temperature sensing functionality. Check the faceplate and cable handle for excessive warmth. Have an electrician remove the Wall Connector from the wirebox and verify that the conductors used are sized correctly and that the terminal block is torqued to specification.
Four (4) red blinks	Internet connection lost, online features disabled	Check for objects that could interfere with the area's Wi-Fi signal strength. Confirm that the local Wi-Fi router is operational. If the Wi-Fi password was changed recently, follow the commissioning process on your mobile device to update the Wi-Fi settings.
Five (5) red blinks	Power-sharing communication issue, charging reduced	Check for objects that could interfere with the area's Wi-Fi signal strength. Follow the commissioning process on your mobile device to re-link the Wall Connectors for power-sharing.
Six (6) red blinks	Overvoltage or poor grid quality detected, charging disabled	Verify that the power supply is nominal 200-240 volts. If the issue persists, have an electrician remove the Wall Connector from the wirebox and confirm that voltage readings are as expected at the terminal block using a multimeter. Record the voltage readings for the following: L1 to L2/N, L1 to Ground, L2/N to Ground.
Seven (7) red blinks	Vehicle overcurrent detected	Reduce the vehicle's charge current setting. If the issue persists and the attached vehicle is manufactured by Tesla, record the vehicle's VIN and approximate time of the fault and contact Tesla. If the vehicle is not manufactured by Tesla, contact the vehicle's manufacturer.



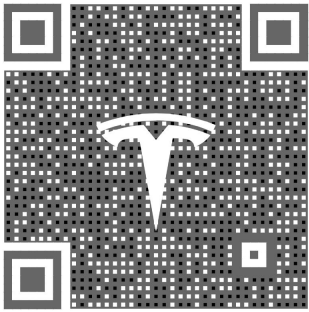
Additional Assistance for Red LED Faults

A Wall Connector's alerts are visible in the browser commissioning wizard (for instructions on how to connect to the commissioning wizard, see [Commissioning Procedure on page 28](#)).

If additional assistance is required, have the following information prepared before contacting Tesla:

- Short video of Wall Connector LED activity during faulted state
- Photo of Wall Connector's part number and serial number (located on the side label)
- Timeframe that the issue was observed
- VIN of vehicle that plugged into Wall Connector at time of faulted state
- Photo of any error messages displayed on the vehicle's screen

Visit tesla.com/support/contact or scan the QR code below to request support.



Optionally, for owner support and issue troubleshooting: (888) 765-2489

For North America Electrician and Installer support: (650) 963-5655



WARRANTY INFORMATION

Subject to the exclusions and limitations described below, the Charging Equipment Limited Warranty covers the refund, repair or replacement necessary to remedy any manufacturing defects in a Tesla manufactured and supplied Wall Connector that occur under normal personal use for a period of 48 months, or a period of 12 months for normal commercial use*, and a Tesla manufactured and supplied Mobile Connector or charging adapter that occur under normal use for a period of 12 months, starting from the date of invoice to the customer for any charging equipment. Any Tesla manufactured and supplied connector or adapter included in the initial purchase and delivery of a Tesla vehicle by Tesla is covered under the Basic Vehicle Limited Warranty section of the New Vehicle Limited Warranty for 4 years or 50,000 miles (80,000 km), whichever comes first, subject to the terms and conditions of the New Vehicle Limited Warranty.

*For warranty claims specific to Wall Connectors, “commercial use” means Wall Connectors used for purposes other than charging at a residential single family home for daily personal use, which includes, but is not limited to, charging at hotels, offices, parking lots and complexes (including apartment, condominiums and other multi-family or unit dwellings), and retail and other locations that allow (including by being listed online or publicly) for pay-for-use charging, or are located where users other than the owner could reasonably obtain access to the Wall Connector.

This Charging Equipment Limited Warranty does not cover any damage or malfunction directly or indirectly caused by, due to, or resulting from, normal wear or deterioration, abuse, misuse, negligence, accident, lack of or improper installation, use, maintenance, storage or transport, including, but not limited to, any of the following:

Failure to follow the instructions, operation, maintenance and warnings published in the documentation supplied with your Tesla connector or adapter;

External factors, including but not limited to, objects striking the Tesla connector or adapter, faulty or damaged electrical wiring or connections, external electrical faults, junction boxes, circuit breakers, receptacles or power outlets, the environment or an act of God, including, but not limited to, fire, earthquake, water, lightning and other environmental conditions;

General appearance or damage to paint, including chips, scratches, dents and cracks;

Failure to contact Tesla upon discovery of a defect covered by this Charging Equipment Limited Warranty;

Any repair, alteration or modification to the Tesla connector or adapter or any part, or the installation or use of any parts or accessories, made by a person or facility not authorized or certified to do so; and

Lack of or improper installation, repair or maintenance, including use of non-genuine Tesla accessories or parts.

Although Tesla does not require you to perform all maintenance, service or repairs at a Tesla Service Center or Tesla authorized repair facility, this Charging Equipment Limited Warranty may be voided, or coverage may be excluded, due to lack of or improper maintenance, service or repairs. Tesla Service Centers and Tesla authorized repair facilities have special training, expertise, tools and supplies with respect to Tesla connectors and adapters and, in certain cases, may employ the only persons, or be the only facilities authorized or certified to work on Tesla connectors and adapters. Tesla strongly recommends that you have all maintenance, service and repairs done at a Tesla Service Center or Tesla authorized repair facility in order to avoid voiding, or having coverage excluded under, this Charging Equipment Limited Warranty.



Limits of Liability

This Charging Equipment Limited Warranty is the only express warranty made in connection with your Tesla connector or adapter. Implied and express warranties and conditions arising under applicable local laws, federal statute or otherwise, in law or in equity, if any, including, but not limited to, implied warranties and conditions of merchantability or merchantable quality, fitness for a particular purpose, durability, or those arising by a course of dealing or usage of trade, or any warranties against latent or hidden defects, are disclaimed to the fullest extent allowable by your local law, or limited in duration to the term of this Charging Equipment Limited Warranty. To the fullest extent allowable by your local law, the performance of necessary repairs and/or replacement of new, reconditioned, or remanufactured parts by Tesla for the covered defects is the exclusive remedy under this Charging Equipment Limited Warranty or any implied warranties. To the maximum extent permissible under your local law, liability is limited to the reasonable price for repair or replacement of the applicable Tesla connector or adapter, not to exceed the manufacturer's suggested retail price. Replacement may be made with parts of like kind and quality, including non-original manufacturer's parts, or reconditioned or remanufactured parts, as necessary. This Charging Equipment Limited Warranty covers only parts and factory labor necessary to repair but does not include any on-site labor costs related to un-installing, reinstalling or removing the repaired or replacement charging equipment. Parts repaired or replaced, including replacement of a Tesla connector or adapter, under this Charging Equipment Limited Warranty are covered only until the applicable warranty period of this Charging Equipment Limited Warranty ends, or as otherwise provided by applicable law. Under no circumstances will the original warranty period be extended as a result of your Tesla connector or adapter being repaired or replaced.

Tesla shall not be liable for any defects under this Charging Equipment Limited Warranty that exceed the fair market value of the applicable Tesla connector or adapter at the time immediately preceding the discovery of the defect. In addition, the sum of all benefits payable under this Charging Equipment Limited Warranty shall not exceed the price you paid for the applicable Tesla connector or adapter.

Tesla does not authorize any person or entity to create for it any other obligations or liability in connection with this Charging Equipment Limited Warranty. Subject to local laws and regulations, the decision of whether to repair or replace a part or to use a new, reconditioned or remanufactured part will be made by Tesla, in its sole discretion. Tesla may occasionally offer to pay some or all of the cost of certain repairs that are not covered by this Charging Equipment Limited Warranty, either for specific models or on an ad hoc, case-by-case basis. Tesla reserves the right to do the above at any time without incurring any obligation to make a similar payment to other Tesla charging equipment owners.

To the maximum extent permissible under local law, Tesla hereby disclaims any and all indirect, incidental, special and consequential damages arising out of, or relating to, the Tesla connector or adapter, including, but not limited to, transportation to and from a Tesla Authorized Service Center, loss of the Tesla connector or adapter, loss of vehicle value, loss of time, loss of income, loss of use, loss of personal or commercial property, inconvenience or aggravation, emotional distress or harm, commercial loss (including but not limited to lost profits or earnings), towing charges, bus fares, vehicle rental, service call charges, gasoline expenses, lodging expenses, damage to tow vehicle, and incidental charges such as telephone calls, facsimile transmissions, and mailing expenses.

The above limitations and exclusions shall apply whether your claim is in contract, tort (including negligence and gross negligence), breach of warranty or condition, misrepresentation (whether negligent or otherwise), or otherwise at law or in equity, even if Tesla is advised of the possibility of such damages or such damages are reasonably foreseeable.

Nothing in this Charging Equipment Limited Warranty shall exclude, or in any way limit, Tesla's liability for death or personal injury solely and directly caused by Tesla's negligence, or that of its employees, agents or sub-contractors (as applicable), fraud or fraudulent misrepresentation, or any other liability to the extent the same is proven in a court of competent jurisdiction in a final nonappealable judgment and may not be excluded or limited as a matter of local law.



Dispute Resolution

To the fullest extent allowed by local law, Tesla requires that you first provide written notification of any manufacturing defect within a reasonable time, and within the applicable coverage period specified in this Charging Equipment Limited Warranty, and allow Tesla an opportunity to make any needed repairs before submitting a dispute to our dispute settlement program (described below). Please send written notification on dispute resolution to the following address:

Vehicles registered in the U.S.:

Tesla, Inc

3500 Deer Creek Road

Palo Alto, California

Attention: Charging Equipment Warranty Claims

Phone number: 1-877-79-TESLA (1-877-798-3752)

Please include the following information:

- Tesla connector or adapter invoice date
- Your name and contact information
- Name and location of the Tesla Store and/or Tesla Service Center nearest to you
- Description of the defect
- History of the attempts you have made with Tesla to resolve the concern, or of any repairs or services that were not performed by Tesla
- In the event any disputes, differences, or controversies arise between you and Tesla related to this Charging Equipment Limited Warranty, Tesla will explore all possibilities for an amicable settlement

Agreement to Arbitrate

Please carefully read this provision, which applies to any dispute between you and Tesla, Inc. and its affiliates (together “Tesla”).

If you have a concern or dispute, please send a written notice describing it and your desired resolution to resolutions@tesla.com.

If not resolved within 60 days, you agree that any dispute arising out of or relating to any aspect of the relationship between you and Tesla will not be decided by a judge or jury but instead by a single arbitrator in an arbitration administered by the American Arbitration Association (AAA) under its Consumer Arbitration Rules. This includes claims arising before this Charging Equipment Limited Warranty, such as claims related to statements about our products.

Tesla will pay all AAA fees for any arbitration, which will be held in the city or county of your residence. To learn more about the Rules and how to begin an arbitration, you may call any AAA office or go to www.adr.org.

The arbitrator may only resolve disputes between you and Tesla and may not consolidate claims without the consent of all parties. The arbitrator cannot hear class or representative claims or requests for relief on behalf of others purchasing or leasing Tesla products. In other words, you and Tesla may bring claims against the other only in your or its individual capacity and not as a plaintiff or class member in any class or representative action. If a court or arbitrator decides that any part of this agreement to arbitrate cannot be



WARRANTY INFORMATION

enforced as to a particular claim for relief or remedy (such as injunctive or declaratory relief), then that claim or remedy (and only that claim or remedy) shall be severed and must be brought in court and any other claims must be arbitrated.

If you prefer, you may instead take an individual dispute to small claims court.

You may opt out of arbitration within 30 days after signing this Charging Equipment Limited Warranty by sending a letter to: Tesla, Inc.; P.O. Box 15430; Fremont, CA 94539-7970, stating your name, product, and intent to opt out of the arbitration provision. If you do not opt out, this agreement to arbitrate overrides any different arbitration agreement between us, including any arbitration agreement in a lease or finance contract.

TESLA

Revision 1.1

PROBRITE®

LED Security Flood Light

ITEM 4

Catalog No. : FSNX50-PC-4K-BZ

Type : Flood/Wallpack

Project Name :

Location :

Qty :

Date :



PROBRITE's incredibly versatile and reliable LED Flood Light with optional wallpack mount kit offers a wide range of outdoor security lighting applications, including landscape lighting, building perimeter lighting, driveway, or even signage lighting. PROBRITE's FUSION X Dark Bronze 45-Watt LED Wall Pack offers 4000K of bright white light and emits 5000 Lumens of brightness, which is powerful enough to illuminate any space. The light comes with two mounting options, wall/eave mount using the mounting plate and swivel knuckle flood mount.



FLOOD MOUNT
OPTION



PRODUCT PERFORMANCE AT A GLANCE

SYSTEM WATTAGE	LUMENS	LPW	CRI	REPLACES (Incandescent)
45W	5000 lm	100 lm/w	>70	350W



DUSK-TO-DAWN

HOUSING

Die cast aluminum housing with corrosion resistant powder-coated paint finish. It is designed to ensure cooling by natural convection and passive airflow, to let driver perform efficiently.

IP RATING & LISTINGS

LED light engine is weather proof and water tight rated IP65. UL Listed, suitable for Wet Location.

OPTICS

Clear polycarbonate lens, does not alter beam and provide focused and clear lighting output.

MOUNTING

It can be mount on wall or eave and can also mount on ground as well with swivel knuckle flood mount.

FINISH

Fade, weather, and abrasion resistant, electrostatically applied, thermally cured, triglycidal isocyanurate (TGIC) textured polyester powdercoat bronze paint finish.

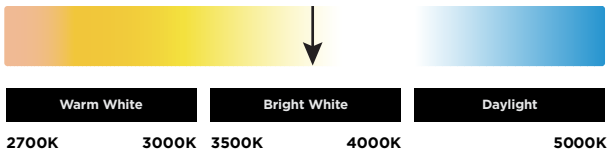
WARRANTY

Covered by a 5-year limited warranty. See probrite.com/warranty for details.

PROBRITE®

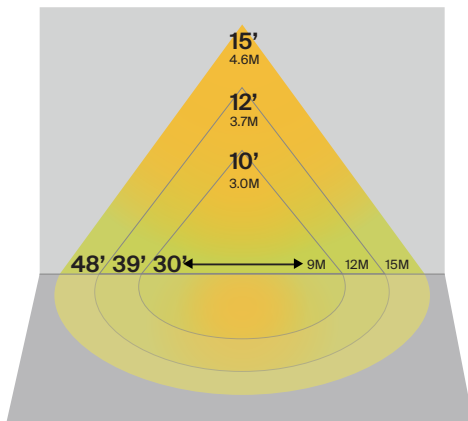
PRODUCT SPECIFICATION

Product Dimensions	: 9.90" x 7.79" x 1.85"
Weight	: 1.9 lbs
Lumens	: 5000
LED Wattage	: 45W
Efficacy	: 100
CRI	: >70
Replaces (Incandescent)	: 350W
Mounting	: Wall Mount/Eave Mount
Frequency	: 50-60Hz
THD (Total Harmonic Distortion)	: <20%
PF(Power Factor)	: >0.9
Ambient Operating Temperature	: (-30)-40°C
Input Voltage	: 120-277V
LED Chip	: -
Photocell	: Yes
Driver	: Non-dimming
Standard Lifetime	: 50,000 hrs
Standard Warranty	: 5 Years
Water Proofing Grade	: Suitable for wet location
CCT	: 4000K Bright White Light
Certifications	: IP 65, Energy Star, FCC Certified, UL Certified

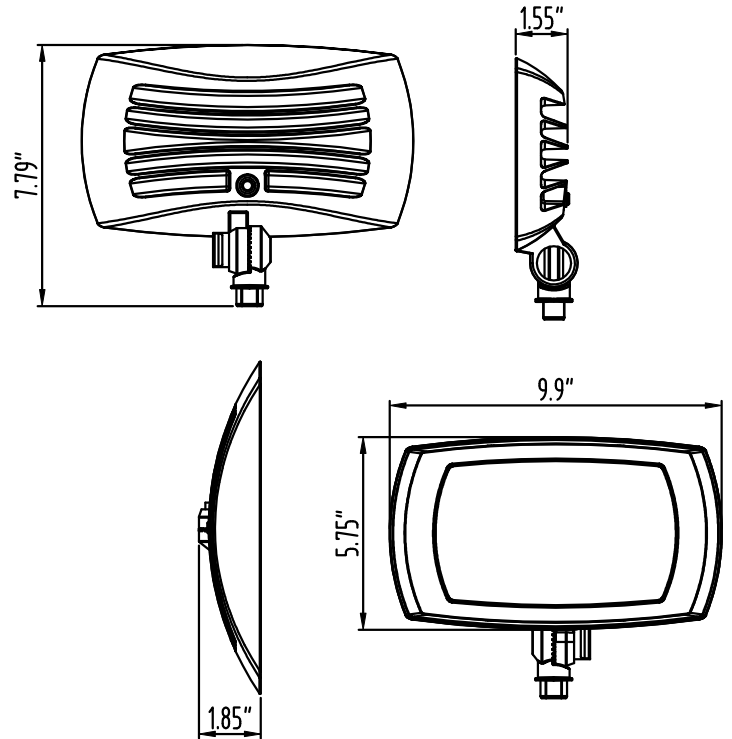


SUGGESTED MOUNTING HEIGHT:
6-12 FT.(1.8-3.7 M)

3D PHOTOMETRIC VIEW



PRODUCT LINE DRAWING



APPLICATION

SUITABLE FOR MULTIPLE APPLICATIONS

SECURITY • GENERAL LIGHTING • ENTRYWAYS
• DRIVEWAYS • BACKYARDS • SIGNAGE



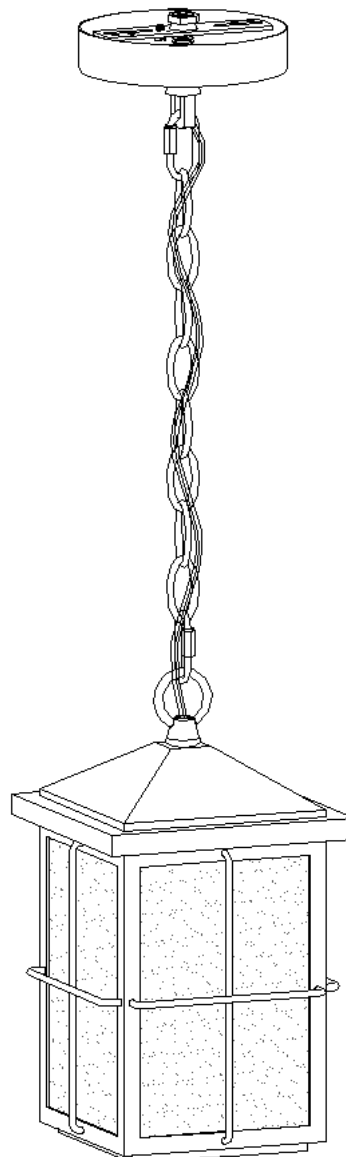
Item Number: NA7NNFHD1254P47

WARNING (To reduce the risk of fire, electric shock, or personal injury):

ITEM 5


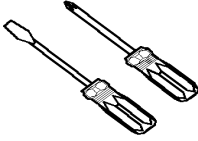

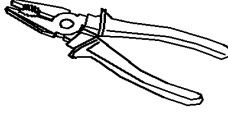
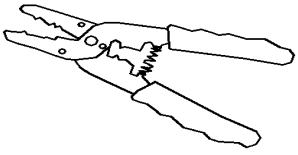
1. We suggest installation by a **licensed electrician**.
2. Please read the instruction carefully and save it as you may need it at a later time.
3. Before you start, **NEVER** attempt any work without shutting off the electricity until the work is done.
 - A) Go to the main fuse, or circuit breaker, box in your home. Place the main power switch in the “**OFF**” position.
 - B) Place the wall switch in the “**OFF**” position.
4. Mounting surface should be clean, dry, flat, strong enough and 1/4” larger than the canopy on all sides. Any gaps between the mounting surface and canopy exceeding 3/16” should be corrected as required.
5. Make sure that the ceiling or wall can stand the weight of the lamp before installation.
6. Make sure the voltage you are using is **120V**. The maximum wattage is **Type A,Max 60W** per bulb.
7. Keep the lamp away from acidic and alkaline substances in case of damaging the surface of the lamp.
8. When replacing bulbs, you should turn off or unplug the lamp and you must wait until it is cool as bulbs get hot quickly.
9. The safety instructions appearing in this manual are not meant to cover all possible conditions that may occur. It must be understood that common sense, caution and care must be used with any electrical products.

IMAGE FOR FINISHED PRODUCT:



TOOLS REQUIRED (NOT INCLUDED):

Before starting assembly and installation please prepare the needed tools as below picture

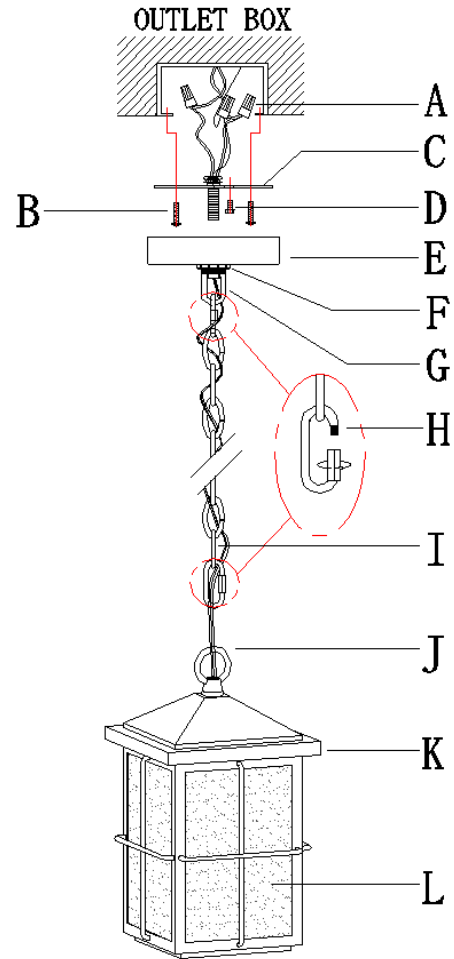
				
Ladder	Phillips head, flat blade screwdriver	Electrical tape	Pliers	Wire cutter/Stripper

PARTS TYPE & QTY INCLUDING:

- (C) Single bar (1)
- (D) Green ground screw (1)
- (E) Canopy (1)
- (F) Collar ring (1)
- (G) Collar loop (1)
- (H) Quick link (2)
- (I) Chain (1)
- (J) Loop (1)
- (K) Lid (1)
- (L) Glass shade (4)

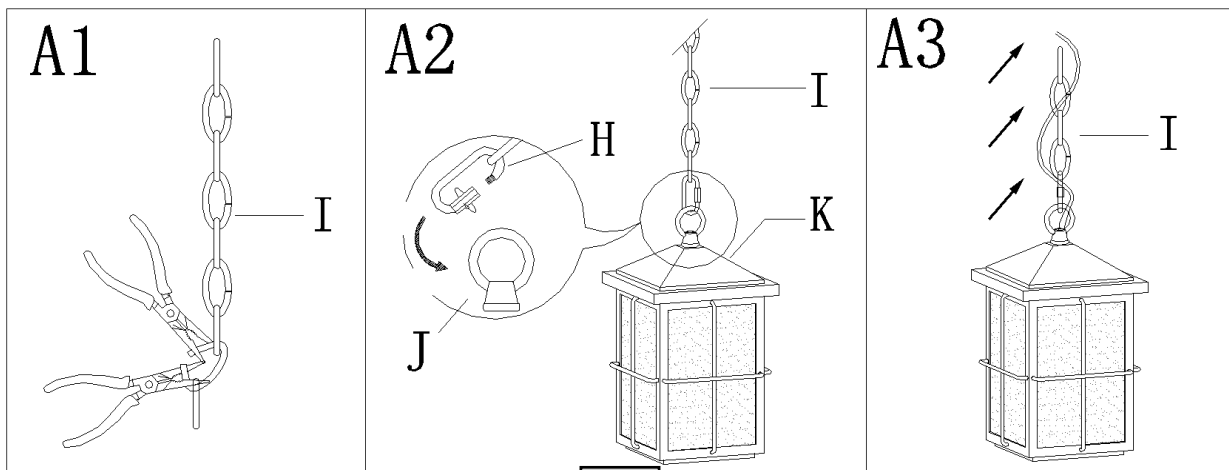
ACCESSORIES & QTY ENCLOSED:

- (A) Wire connector (3)
- (B) Mounting screw (2)



ASSEMBLY & INSTALLATION INSTRUCTIONS:

1. Carefully remove the fixture from the carton and check that all parts and accessories are included as shown in the above illustration.
2. Make pre-installation



Step A1: By measuring, determine the correct number of links needed for proper hanging height. Using the chain pliers, disconnect and discard the unwanted part.

Step A2: Screw loop (J) onto the top of lid (K).

Attach quick link (H) to chain (I) and loop (J) on the top of lid (K).

Step A3: Carefully weave the fixture wires through chain (I) in and out of every other link and stop just when you reach the top of chain (I). Gently pull the wires to ensure the wires are not stressed.

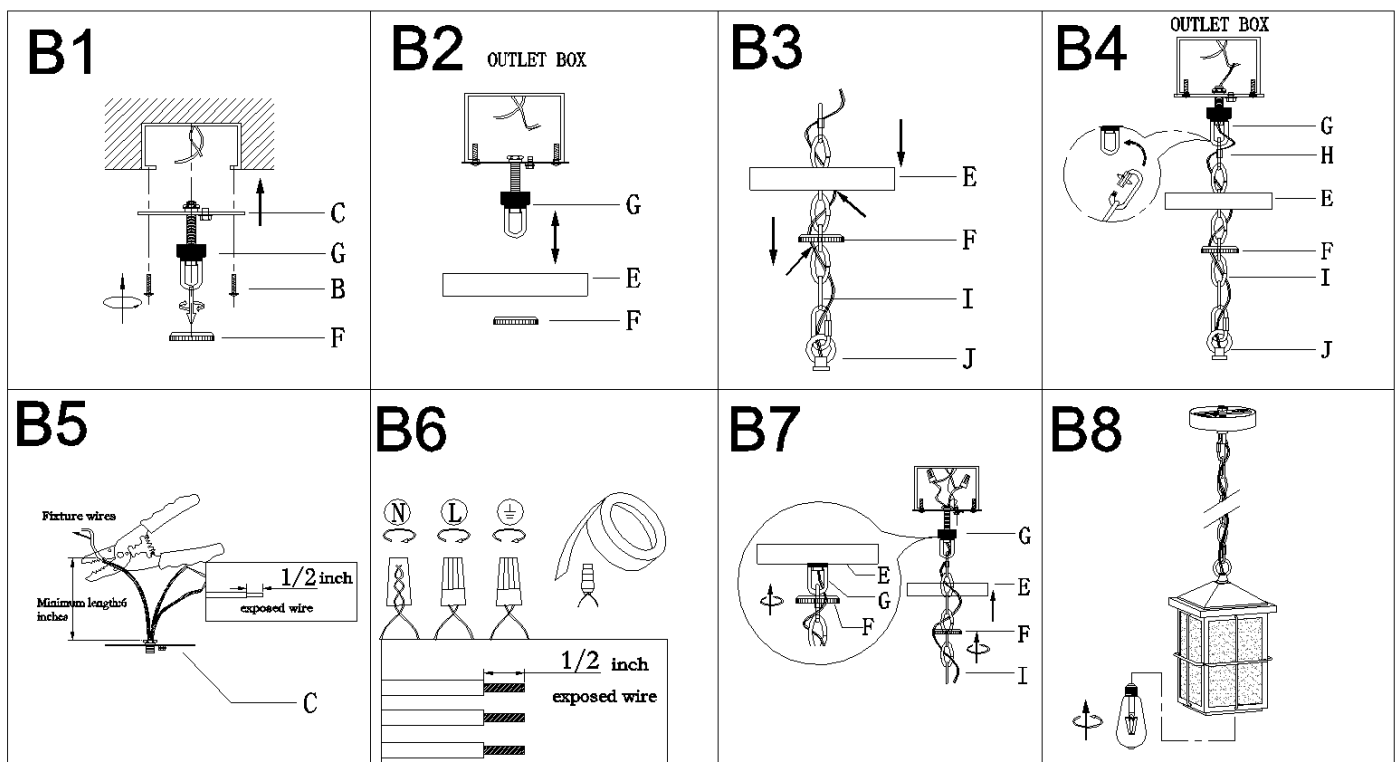
3. Turn off power

Before you start the installation, **NEVER** attempt any work without shutting off the electricity until the work is done.

A) Go to the main fuse, or circuit breaker, box in your home. Place the main power switch in the "OFF" position.

B) Place the wall switch in the "OFF" position.

4. Make installation



Step B1: Remove collar ring (F) from collar loop (G). Attach single bar (C) to the outlet box with mounting screws (B).

Note: the side of single bar (C) marked "GND" must face out.

Step B2: Raise canopy (E) over collar loop (G) and screw collar ring (F) to measure a proper position.

NOTE: canopy (E) should be snug against the ceiling and collar loop (G) should be screwed enough threads (no less than 6 threads) on the pre-assembled threaded nipple for more secure hanging. If not, adjust collar loop (G) on single bar assembly (C) by screwing collar loop (G) in or out of single bar (C) until the secure length is achieved.

Step B3: Pass chain (I) through collar ring (F) and then through canopy (E).

Step B4: Open quick link (H), attach quick link (H) to collar loop (G). Close quick link (H).

Pass the fixture wires through collar loop (G) to the top of the pre-assembled threaded nipple and gently pull to ensure the wires are not stressed.

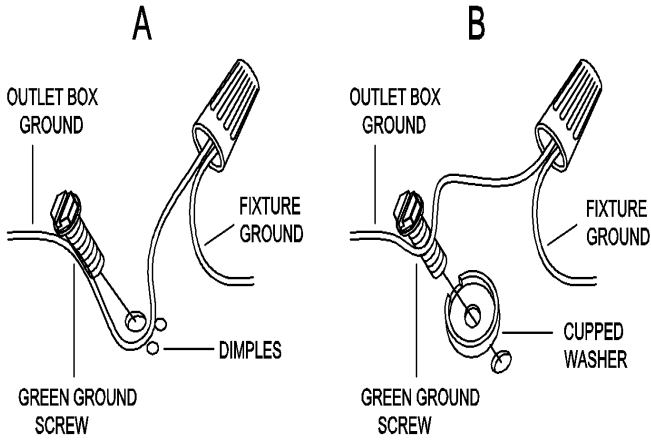
Step B5: If needed, shorten the length of fixture wires. At this point, the remaining wire length measured above single bar (C) is at least 6".

Step B6: Make wire connections

Connect wires as below wires connection shown. **PLEASE NOTE THAT GROUND WIRE IS BARE COPPER WIRE, NEVER CONNECT OTHER WIRES TO GROUND WIRES.**

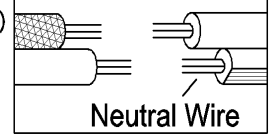
Connect ground wires according to the below chart

Connect wires according to the below chart



Connect Black or Red Supply Wire to:	Connect White Supply Wire to:
Black	White
*Parallel cord (round & smooth)	*Parallel cord (square & ridged)
Clear,Brown,Gold or Black without tracer	Clear,Brown,Gold or Black with tracer
Insulated wire (other than green) with copper conductor	Insulated wire (other than green) with silver conductor

*Note: When parallel wires (SPT I & SPT II) are used. The neutral wire is square shaped or ridged and the other wire will be round in shape or smooth (see illus.)



Twist wires together with plastic wire connectors until tightly joined, and wrap each connector with approved electrical tape. Be sure that no wire strands are exposed and then carefully tuck all wires into the outlet box.

Step B7: Raise canopy (E) to the ceiling and secure canopy (E) in place by tightening collar ring (F) onto collar loop (G).

Step B8: Install the bulb (not included) (Please do not exceed the maximum wattage recommended on the socket.)

5. Check everything is already installed properly, then you could turn on the light. Enjoy!

CLEANING.

To clean, wipe the fixture with a soft cloth. Clean glass with a mild cleaner (such as mild and non-abrasive soap). Do not use abrasive materials such as scouring pads or powders, steel wool or abrasive paper.

ORDERING PARTS.

Keep this sheet for future reference in case you need to order replacement parts. All parts for this fixture can be ordered from the place of purchase. Be sure to use exact wording from illustration when ordering parts.

PRODUCT SPECIFICATIONS

LED OUTDOOR AREA&SECURITY LIGHTING

DW8899ABZ-B
SKU# 1002076258

ITEM 6



ADVANTAGES

- 300 Watt Equivalent
- 50,000 Hours of Continuous Use
- 5 Year Warranty
- Durable All-weather Construction
- Non-motion Security Light
- 80 CRI Provides High Color Quality
- Dusk to Dawn
- Adjustable lamp head
- Multi-Volt
- MCompatible HID Bulb type
- Antique bronze

Estimated
Energy Cost

\$5.54*
per year

Wall or Eave
Mountable



INTEGRATED Maintenance-Free,
Light Shines
Brighter** & Lasts
Up To 45 Years*

LED
TECHNOLOGY

NO BULBS REQUIRED

SPECIFICATIONS

Model Number	DW8899ABZ-B
SKU	1002086258
OSMID	306179204
Power	46 W
AC Voltage, Frequency	100-277 V, 60 Hz
Color Temp (nom.)	4000K
Operation Temp	-22°F ~ 90°F
CRI	80
Lumen Output (min.)	5200 lm
Lifetime Rating	50000Hrs
Efficacy	113.04 lm/watt

PACKAGING

Weight (±0.5 lb)	3.13 lbs
Size (L x W x H) (±0.1 in)	12.87in x 5.69in x 13.03in
Box Dimensions	15.31in x 5.67in x 12.87in
Gross Weight	4.17 lbs
UPC	008938106283



INCLUDED IN BOX

- LED WALL AREA LIGHT (1)
- MOUNTING HARDWARE (1)
- INSTRUCTION MANUAL (1)

APPLICATIONS

Suitable for Wet Location
IP65 rated



BRISTOL HISTORIC DISTRICT COMMISSION

APPLICATION FOR REVIEW OF PROPOSED WORK

TOWN OF BRISTOL
COMMUNITY DEV.
DESIGNATED WORK
MAY 15 AM 8:56

1. Property Address (Street & No.) 96 High Street

2. Plat # 20 Lot # 47 Contributing _____ Non-Contributing _____

3. a. Applicant: Stephen Mello STEPHEN MELLO @ gmail.com

Mailing Address: 96 High St, Bristol RI 02809

Phone: Day 401-369-2008 Evening 401-369-2008

b. Owner (if different from applicant written authorization of owner required): Same as owner

Mailing Address: _____

Phone: Day _____ Evening _____

4. a. Architect/Draftsman: Same as owner

Address: _____

Phone: Day _____ Evening _____

b. Contractor: R.A. Anya Paining & Construction

Address: 70 Summer Ave. Central Falls, RI 02863

Phone: Day 401-365-7077 Evening 401-365-7077

5. Work Category: Replacing in-kind* *authorization required* _____

New Structure(s) Partial Demolition of Structure(s)

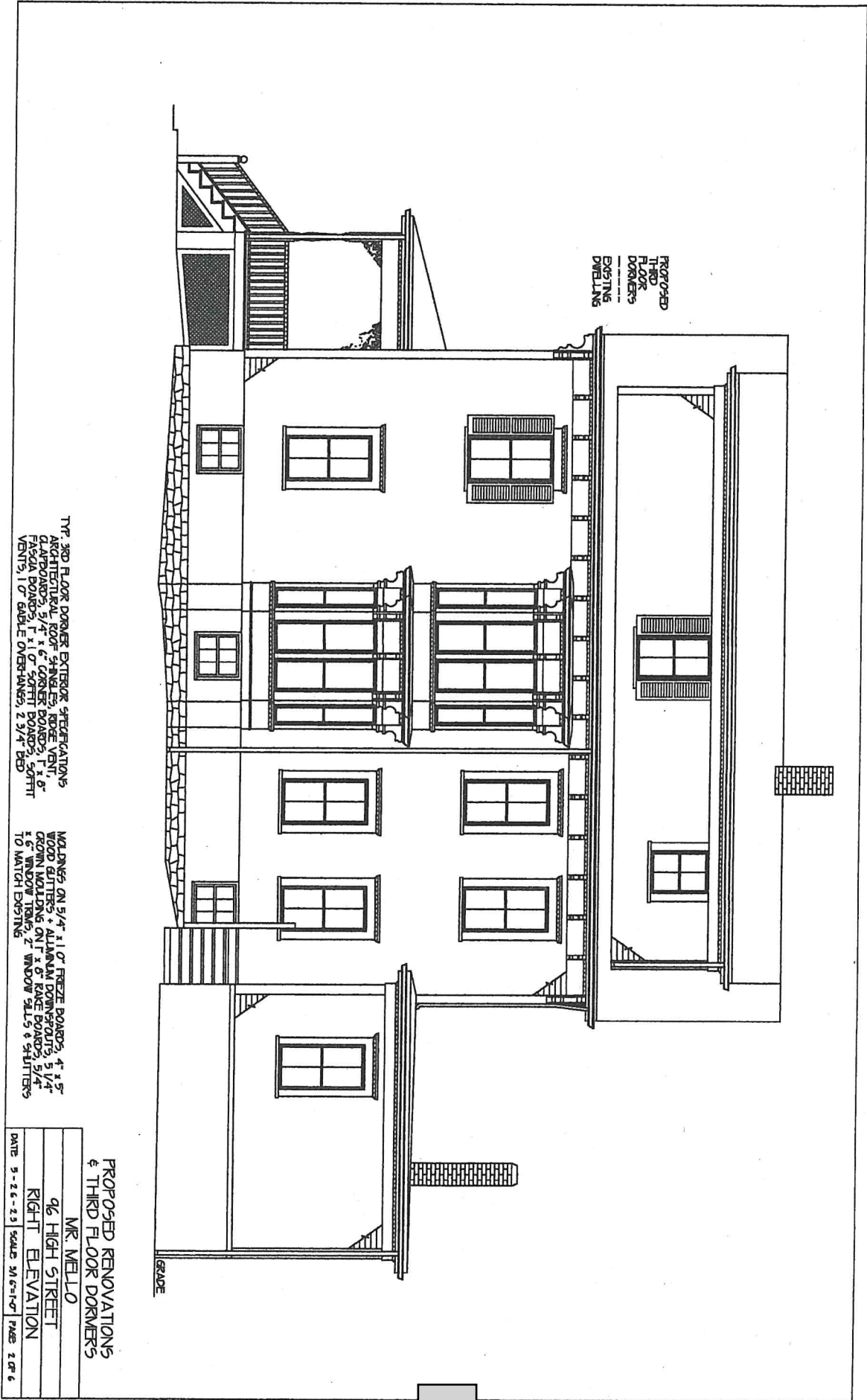
Addition to Structure(s) Total Demolition of Structure(s)

Remodeling of Structure Sign(s) / Landscaping Features

6. Description of proposed work: _____

We are repairing/ partially replacing a front porch which has deteriorated over time. We will be restoring the columns, newel posts, heavy door header and decorative brackets. The roof and ceiling will also remain. We will be replacing the flooring, steps, railings, and spindles, which were deteriorated beyond repair, with mahogany wood. The spindles will match the original columns that are being restored.

*All changes must match the existing in materials, design and configuration.



PROPOSED
THIRD
FLOOR
DORMERS
EXISTING
DWELLING

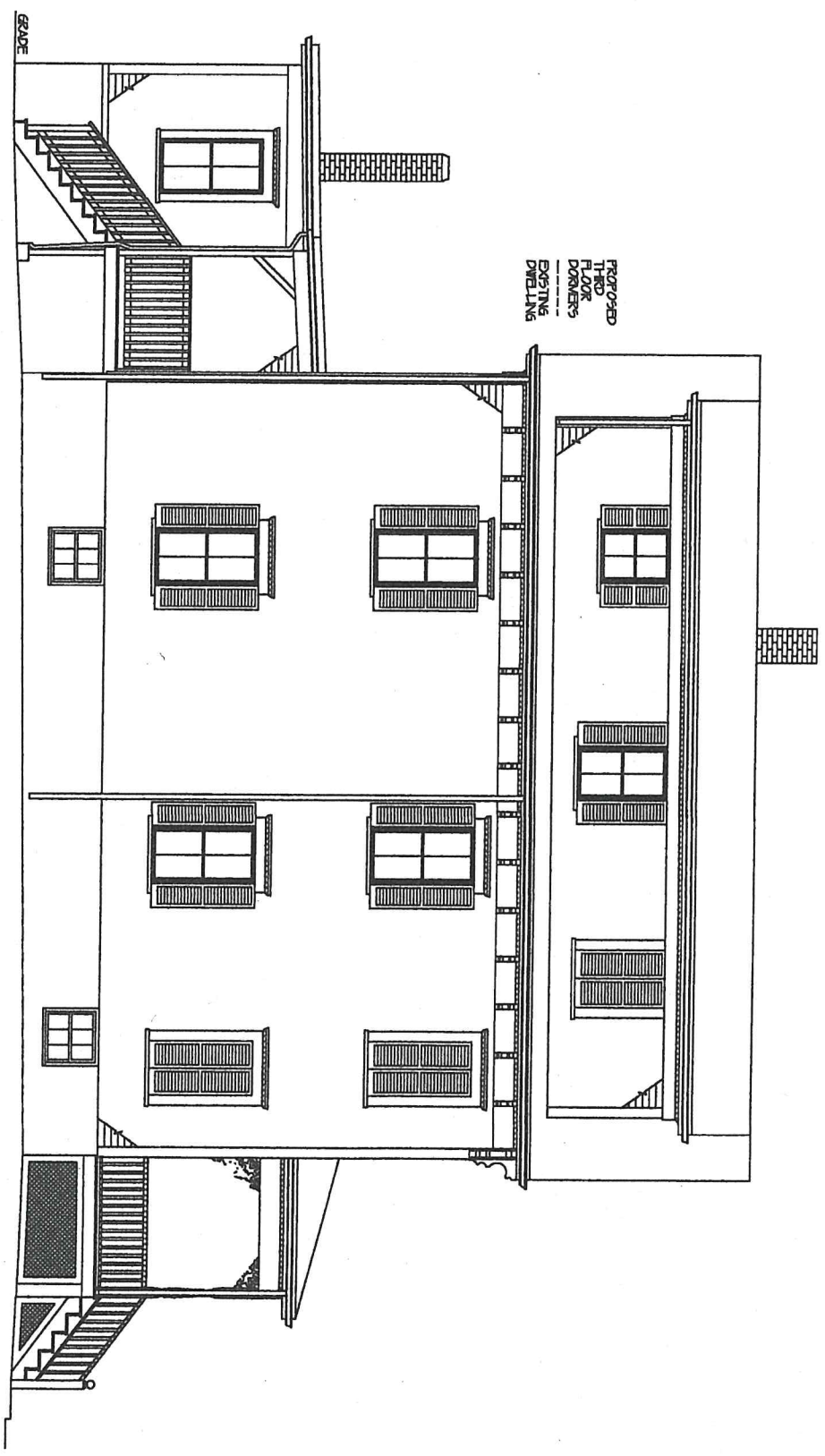
TOP: 3RD FLOOR DORMER EXTERIOR SPECIFICATIONS
DOWNHILL SIDE: ROOF: 1/2" PINE SHINGLES, RAKE VENT,
FASCIA BOARD: 1" x 6" SOFT BOARD, 5/8" T
VENTS, 1" x 6" GABLE OVERHANGS, 2 3/4" BED

MOLDINGS ON 5/4" 1" x 6" FREEZE BOARD, 4" x 5"
WOOD GUTTERS & ALUMINUM DOWNSPOUTS, 5 1/4"
1" x 6" WINDOW TRIMS, 2" WINDOW SILLS & SHUTTERS
TO MATCH EXISTING

PROPOSED RENOVATIONS
& THIRD FLOOR DORMERS

MR. MELLO
96 HIGH STREET
RIGHT ELEVATION

DATE: 5-26-23 SCALE: 3/8"=1'-0" PAGE: 2 OF 6

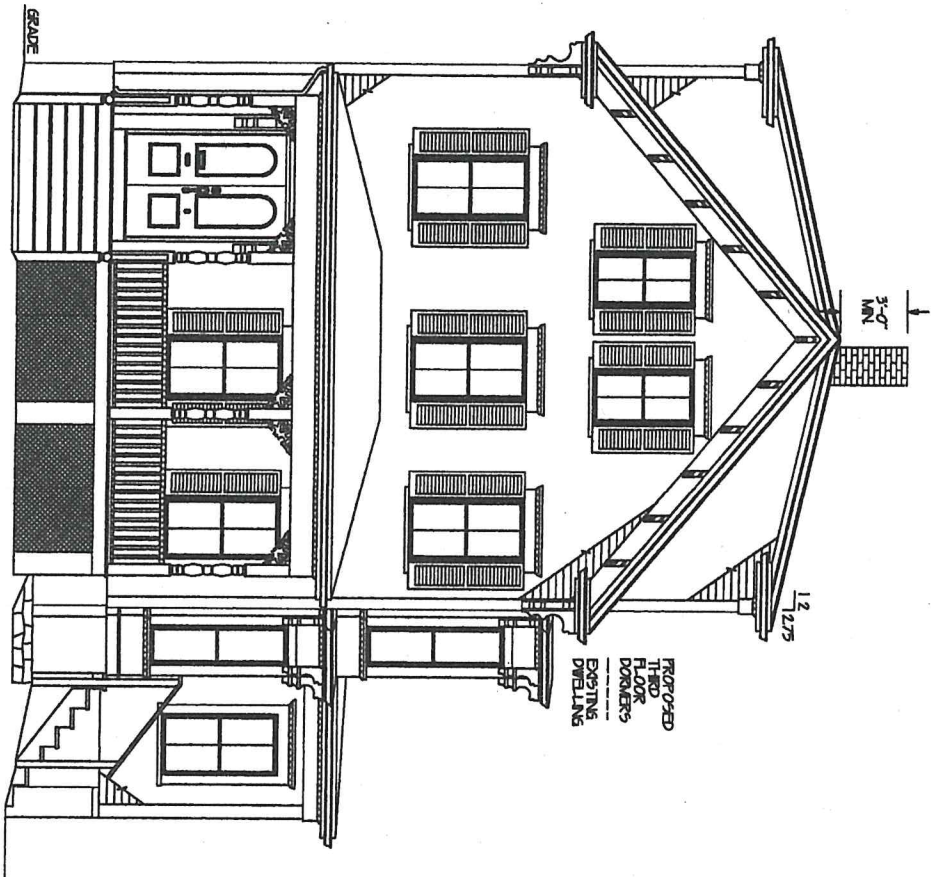


**PROPOSED RENOVATIONS
 & THIRD FLOOR DORMERS**

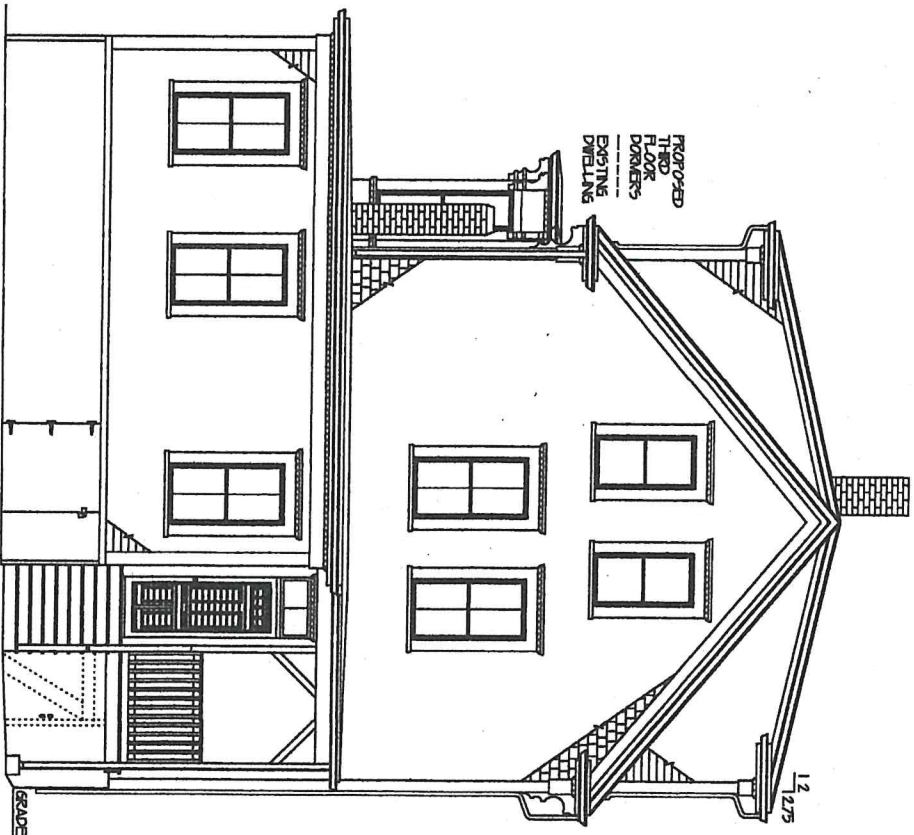
MR. MELLO

96 HIGH STREET	
LEFT ELEVATION	
DATE 5-26-23	SCALE 3/8"=1'-0" PAGES 3 OF 6

FRONT ELEVATION



REAR ELEVATION



TYPE 3RD FLOOR DORMER EXTERIOR SPECIFICATIONS
 ARCHITECTURAL ROOF SHINGLES, EDGE VENT,
 CLAPBOARDS, 5/4" x 6" CORNER BOARDS, 1" x 6"
 PASCO BOARDS, 1" x 10" SOFTWOOD BOARDS, SOFTWOOD
 VENTS, 1" x 6" GABLE OVERHANGS, 2 3/4" DSD

MOLDINGS ON 5/4" x 1" x 1" FREEZE BOARD, 4" x 5"
 FRONT DORMERS, ALUMINUM DOWNPOUTS, 5/4"
 x 6" WINDOW TRIM, 2" WINDOW SILLS & SHUTTERS
 TO MATCH EXISTING

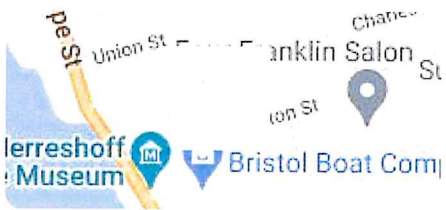
PROPOSED RENOVATIONS & THIRD FLOOR DORMERS	
MR. MELLO	
96 HIGH STREET	
FRONT & REAR ELEVATIONS	
DATE 5-26-23	SCALE 3/8"=1'-0"
	PAGE 1 OF 6

94 High St



Bristol, Rhode Island
 Google Street View
 Jul 2023 See more dates

Image capture: Jul 2023 © 2023 Google





2012















CAI Property Card

Town of Bristol, RI

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR
LOCATION: 96 94 HIGH ST ACRES: 0.1791 PARCEL ID: 20 47 LAND USE CODE: 02 CONDO COMPLEX: OWNER: MELLO, STEPHEN A. CO - OWNER: MAILING ADDRESS: PO BOX 522 ZONING: R-6 PATRIOT ACCOUNT #: 1428	BUILDING STYLE: Cape UNITS: 4 YEAR BUILT: 1950 FRAME: Wood Frame EXTERIOR WALL COVER: Wood Shngle ROOF STYLE: Gable ROOF COVER: Asphalt Shin
	BUILDING INTERIOR
SALE INFORMATION SALE DATE: 9/2/2011 BOOK & PAGE: 1610-326 SALE PRICE: 377,500 SALE DESCRIPTION: SELLER: HERRESHOFF, HALSEY C &	INTERIOR WALL: Drywall FLOOR COVER: Hardwood HEAT TYPE: BB Hot Water FUEL TYPE: Oil PERCENT A/C: False # OF ROOMS: 28 # OF BEDROOMS: 10 # OF FULL BATHS: 1 # OF HALF BATHS: 0 # OF ADDITIONAL FIXTURES: 0 # OF KITCHENS: 1 # OF FIREPLACES: 0 # OF METAL FIREPLACES: 0 # OF BASEMENT GARAGES: 0
PRINCIPAL BUILDING AREAS	
GROSS BUILDING AREA: 5885 FINISHED BUILDING AREA: 3579 BASEMENT AREA: # OF PRINCIPAL BUILDINGS: 2	
ASSESSED VALUES	
LAND: \$239,400 YARD: \$0 BUILDING: \$462,900 TOTAL: \$702,300	
SKETCH	PHOTO



www.cai-tech.com

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200 foot Abutters List Report

Bristol, RI
October 16, 2023

Subject Property:

Parcel Number: 20-47
CAMA Number: 20-47
Property Address: 96 94 HIGH ST

Mailing Address: MELLO, STEPHEN A.
PO BOX 522
BRISTOL, RI 02809

Abutters:

Parcel Number: 15-58
CAMA Number: 15-58
Property Address: 111 HIGH ST

Mailing Address: YOUNG, CHRISTOPHER M & LAUREN R
TE
PO BOX 215
BARTON, VT 05822

Parcel Number: 15-59
CAMA Number: 15-59
Property Address: 107 HIGH ST

Mailing Address: MELLO, JOSEPH A.
107 HIGH STREET
BRISTOL, RI 02809

Parcel Number: 15-60
CAMA Number: 15-60
Property Address: 24 NOYES AVE

Mailing Address: LAVOIE, ROXANNE L.
24 NOYES AVE
BRISTOL, RI 02809

Parcel Number: 15-67
CAMA Number: 15-67
Property Address: 101 HIGH ST

Mailing Address: HOWE, DAVID & KATHLEEN TE
101 HIGH ST
BRISTOL, RI 02809

Parcel Number: 15-69
CAMA Number: 15-69
Property Address: 95 HIGH ST

Mailing Address: BENEVIDES, JOSEPH E.
23 AMBROSE DRIVE
BRISTOL, RI 02809

Parcel Number: 15-70
CAMA Number: 15-70
Property Address: 93 HIGH ST

Mailing Address: MORRIS, JULIA L.
93 HIGH ST.
BRISTOL, RI 02809

Parcel Number: 15-71
CAMA Number: 15-71
Property Address: 87 HIGH ST

Mailing Address: AYERLE, ROBERT A. & CHRISTINE
725 SKIPPACK PK STE 340
BLUE BELL, PA 19422-1752

Parcel Number: 15-72
CAMA Number: 15-72
Property Address: 37 BURTON ST

Mailing Address: BROUGHAL, KELLY & MEANDRO,
TIMOTHY TE
37 BURTON ST
BRISTOL, RI 02809

Parcel Number: 15-73
CAMA Number: 15-73
Property Address: 35 BURTON ST

Mailing Address: OLIVER, JOHN S.
35 BURTON ST
BRISTOL, RI 02809

Parcel Number: 16-1
CAMA Number: 16-1
Property Address: 85 HIGH ST

Mailing Address: JACOBS, DAVID LAURA TE
85 HIGH ST
BRISTOL, RI 02809



www.cai-tech.com

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200 foot Abutters List Report

Bristol, RI
October 16, 2023

Parcel Number: 16-2 CAMA Number: 16-2 Property Address: 36 BURTON ST	Mailing Address: SANTOLUPO, MICHAEL J 36 BURTON ST BRISTOL, RI 02809
Parcel Number: 20-31 CAMA Number: 20-31 Property Address: 22 COTTAGE ST	Mailing Address: COLLINS, HARRIET M. (ESTATE) 22 COTTAGE ST BRISTOL, RI 02809
Parcel Number: 20-32 CAMA Number: 20-32 Property Address: 18 COTTAGE ST	Mailing Address: ENOS, JOHN A ET UX ENOS, DOROTHY LE 18 COTTAGE ST BRISTOL, RI 02809
Parcel Number: 20-33 CAMA Number: 20-33 Property Address: 110 HIGH ST	Mailing Address: HOPPER, GEOFFREY V. JUDITH S. TE 110 HIGH ST BRISTOL, RI 02809
Parcel Number: 20-34 CAMA Number: 20-34 Property Address: 106 HIGH ST	Mailing Address: FORREST, JOHN L. KATHRYN M. ET UX TE 106 HIGH ST BRISTOL, RI 02809
Parcel Number: 20-42 CAMA Number: 20-42 Property Address: 69 BURTON ST	Mailing Address: BARRY, GEORGE F. ET UX LISA-ANN 69 BURTON STREET BRISTOL, RI 02809
Parcel Number: 20-43 CAMA Number: 20-43 Property Address: 63 BURTON ST	Mailing Address: ARRUDA, SANDREA J TRUSTEE 63 BURTON ST BRISTOL, RI 02809
Parcel Number: 20-44 CAMA Number: 20-44 Property Address: 59 BURTON ST	Mailing Address: KULKARNI, VIKRAM N & CLAIR, KATHERINE J TE 59 BURTON ST BRISTOL, RI 02809
Parcel Number: 20-45 CAMA Number: 20-45 Property Address: 57 BURTON ST	Mailing Address: KURCON, PHILIP M & EILEEN M 57 BURTON STREET BRISTOL, RI 02809
Parcel Number: 20-46 CAMA Number: 20-46 Property Address: 100 HIGH ST	Mailing Address: DUEMACK PROPERTIES, LLC 11 HOPE ST BRISTOL, RI 02809
Parcel Number: 20-48 CAMA Number: 20-48 Property Address: 53 BURTON ST	Mailing Address: MURRAY, ROBERT F. 53 BURTON ST BRISTOL, RI 02809
Parcel Number: 20-49 CAMA Number: 20-49 Property Address: 90 HIGH ST	Mailing Address: TIHEN, WILLIAM S. CAROL H. 90 HIGH STREET BRISTOL, RI 02809



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200 foot Abutters List Report

Bristol, RI
October 16, 2023

Parcel Number: 20-56 CAMA Number: 20-56 Property Address: 68 BURTON ST	Mailing Address: TSCHIRCH, F. DANA TRUSTEE THE F. DANA TSCHIRCH LIVING T 68 BURTON ST BRISTOL, RI 02809
Parcel Number: 20-59 CAMA Number: 20-59 Property Address: 62 BURTON ST	Mailing Address: LAVERS, ELISABETH E. LAWRENCE D. TE 62 BURTON ST BRISTOL, RI 02809
Parcel Number: 20-60 CAMA Number: 20-60 Property Address: 60 BURTON ST	Mailing Address: LAMPL, PAUL & SUSAN etal BRUNO, NICHOLAS & JILLLIAN TC 25 POPLAR LN COMMACK, NY 11725-2410
Parcel Number: 20-61 CAMA Number: 20-61 Property Address: 56 BURTON ST	Mailing Address: BOYLE, KENNETH JR. ET UX VIRGINIA TE 56 BURTON ST BRISTOL, RI 02809
Parcel Number: 20-62 CAMA Number: 20-62 Property Address: 82 HIGH ST	Mailing Address: WIP LLC 337 SLOCUM RD NORTH DARTMOUTH, MA 02747
Parcel Number: 20-63 CAMA Number: 20-63 Property Address: 78 HIGH ST	Mailing Address: SYLVIA, FRANK J LORRAI 78 HIGH ST BRISTOL, RI 02809
Parcel Number: 20-77 CAMA Number: 20-77 Property Address: 24 COTTAGE ST	Mailing Address: DIGATI, MARIA C. 24 COTTAGE STREET BRISTOL, RI 02809
Parcel Number: 20-78 CAMA Number: 20-78 Property Address: 30 COTTAGE ST	Mailing Address: PREZIOSO, MARIA C. THOMAS M. TE 24 COTTAGE STREET BRISTOL, RI 02809
Parcel Number: 20-80 CAMA Number: 20-80 Property Address: 65 BURTON ST	Mailing Address: CIOCIOLA, ROBERT 65 BURTON STREET BRISTOL, RI 02809



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HIGH STREET (continued)

and terrace added; the Victorian bay windows on the south were retained. This well maintained house is a High Street landmark.

- *64 **JOHN BROWN HERRESHOFF HOUSE (1870):** John Brown Herreshoff, president and treasurer of the Herreshoff Manufacturing Company, built this house at the head of Burnside Street, overlooking his boat works. This 2-1/2-story, 3-bay, mansard-roof Second Empire dwelling has a projecting central entrance bay with a 2-level turret containing a barrel-vault dormer and a round window. The portico has Corinthian columns on square bases, a modillion cornice, and turned balustrade; the original full-width porch has been removed. Herreshoff lived here until his death in 1915; the house has been converted to condominiums.
- *85 **RICHMOND-DIXON HOUSE (c. 1845, c. 1900):** The core of this attractive home was a typical 2-1/2-story, 3-bay, end-gable-roof Greek Revival house built in the mid-1840s for the Richmond family. About 1900 Frederick M. Dixon bought the house and chose Wallis E. Howe to enlarge it in the popular Colonial Revival style, adding the wraparound porch with Ionic columns, an Adamesque balustrade with urns, and an oversize stair window topped by elliptical fanlight on the south facade. During this renovation, a 1-story ell and a conservatory were added to the south, and the interior was altered.
- *96 **JAMES F. AND LYDIA W. STOUGHTON HOUSE (1874):** In 1874 David A. Pierce sold this lot to Lydia, wife of grocer James F. Stoughton. This typical 2-1/2-story, 3-bay, end-gable-roof house is in a cluster of houses dating from the last quarter of the 19th century. All have bracketed porches with turned balusters. Exterior details include the bracketed, 2-story, semi-octagonal bay on the south side; sawn brackets on all roof cornices; the flat-head double door containing round-head glass panels; and a heavy bracketed door hood.
- NOYES PLAT:** By 1870 Seraphine Noyes owned the entire northeast section of the block formed by Union, High, Burton and Hope Streets. In 1881 her estate was platted into 27 house lots, and Noyes Avenue was opened. Along High Street is a row of 19th-century tradesmen's houses which are probably all the work of the same unknown carpenter.
- *111 **CHARLES S. DARLING HOUSE (c. 1885):** Built for a teamster, this 3-bay cottage has a full-width porch with cut-out "sea-serpent" brackets that are typical of this row.
- *115 **JOHN RUSSELL PEARSE HOUSE (c. 1886):** A 2-1/2-story, 3-bay, end-gable-roof house, built for a State Street grocer; its bracketed porch is elaborated by a cornice with pendants identical to those at 123 High Street.
- *119 **GEORGE W. DOUGLAS HOUSE (c. 1885):** A 2-1/2-story, 2-bay house, which has a distinctive bracketed entrance hood with vigorous, cut-out brackets nearly identical to those at 115 High Street.
- *123 **CONNERY HOUSE (c. 1881):** A 3-bay, end-gable-roof house with porch brackets nearly identical to those at 115 High Street.

PROJECT 23-153

Historic District Commission Application for Review of Proposed Work : HDC-69



Bristol Historic District Commission

Application for review of proposed Work

1. Property Address (Street & No.) 31 Constitution Street, Bristol, RI, 02809

2. Plat # 14 Lot # 103

3. a. Applicant: Brendan Maguire

b. Owner (if different from applicant written authorization of owner required):

Mailing Address:

Phone: 857-261-4193

Email: brendanmaguirework@gmail.com

4. a. Architect/Draftsman:

Phone:

Email:

b. Contractor: Willie Connolly

Phone: 857-719-2012

Email:

5. Work Category:

Replacing in Kind

6. Description of proposed work:

Windows, fascia board, gutters. Replacing windows in-kind with full wood window. Auralast pine wood, double hung, matching existing grid pattern with simulated divided light. No exterior cladding - no vinyl, aluminum, fibrex, or composite, all wood on interior and exterior to match historic integrity. Repair in fascia board, replacing a portion. We will repair the vast majority of the fascia board (anything which can be repaired), however will certainly be replacing a portion of the fascia board along the western face of the building. This portion is plain missing, presumably fell off some years ago and was neglected by previous ownership (illustrated in the attached files). Installation of aluminum gutters. To my knowledge, there have never been any gutters at the property, so there is nothing to replace in-kind. Though wood or fiberglass gutters may convey a more "colonial" aesthetic, they are not original to the property, and would

constitute a greater impact on the original character. Aluminum gutters are the least disruptive option with respect to impacting the existing structure - other than not having gutters. Unfortunately, due to water penetration in the basement, we need gutters.

7. Property History

BERIAH BROWNING HOUSE/DIMAN PLACE c. 1824, c. 1900: In 1823 the lot for this 2-story, 5-bay, hip-roof Federal house, built of brick with sandstone lintels and sills, was purchased by Beriah Browning, merchant and mariner. The house, known as Diman Place, changed hands frequently in the 19th century, and by 1903 it had been converted to a tailor shop. Today, the recessed, semi-circular-fanlight entrance to the house is covered by a flared cast-iron hood, and modern metal railing has replaced the original cast-iron stair railing.

Brendan Maguire

Brendan Maguire

Applicant's Name – Printed

Applicant's Signature

Date: October 17, 2023



CAI Property Card

Town of Bristol, RI

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR	
LOCATION: 31 CONSTITUTION ST ACRES: 0.0528 PARCEL ID: 14 103 LAND USE CODE: 02 CONDO COMPLEX: OWNER: MAUIRE, BRENDAN CO - OWNER: MAILING ADDRESS: 129 WHEELER ST ZONING: R-6 PATRIOT ACCOUNT #: 898	BUILDING STYLE: 4 Family UNITS: 1 YEAR BUILT: 1810 FRAME: Wood Frame EXTERIOR WALL COVER: Brick ROOF STYLE: Hip ROOF COVER: Asphalt Shin	
	BUILDING INTERIOR	
<th data-bbox="82 674 966 716">SALE INFORMATION</th> <td data-bbox="966 558 1526 1314"> INTERIOR WALL: Drywall FLOOR COVER: Hardwood HEAT TYPE: BB Hot Water FUEL TYPE: Oil PERCENT A/C: False # OF ROOMS: 12 # OF BEDROOMS: 4 # OF FULL BATHS: 4 # OF HALF BATHS: 0 # OF ADDITIONAL FIXTURES: 0 # OF KITCHENS: 4 # OF FIREPLACES: 3 # OF METAL FIREPLACES: 0 # OF BASEMENT GARAGES: 0 </td>	SALE INFORMATION	INTERIOR WALL: Drywall FLOOR COVER: Hardwood HEAT TYPE: BB Hot Water FUEL TYPE: Oil PERCENT A/C: False # OF ROOMS: 12 # OF BEDROOMS: 4 # OF FULL BATHS: 4 # OF HALF BATHS: 0 # OF ADDITIONAL FIXTURES: 0 # OF KITCHENS: 4 # OF FIREPLACES: 3 # OF METAL FIREPLACES: 0 # OF BASEMENT GARAGES: 0
<th data-bbox="82 915 966 957">PRINCIPAL BUILDING AREAS</th> <td data-bbox="966 1314 1526 1356"></td>	PRINCIPAL BUILDING AREAS	
GROSS BUILDING AREA: 4050 FINISHED BUILDING AREA: 3240 BASEMENT AREA: 810 # OF PRINCIPAL BUILDINGS: 1		
<th data-bbox="82 1115 966 1157">ASSESSED VALUES</th> <td data-bbox="966 1398 1526 1440"></td>	ASSESSED VALUES	
LAND: \$170,200 YARD: \$0 BUILDING: \$357,300 TOTAL: \$527,500		
SKETCH	PHOTO	



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200 foot Abutters List Report

Bristol, RI
October 17, 2023

Subject Property:

Parcel Number: 14-103
CAMA Number: 14-103
Property Address: 31 CONSTITUTION ST

Mailing Address: MAUIRE, BRENDAN
129 WHEELER ST
REHOBOTH, MA 02769

Abutters:

Parcel Number: 10-46
CAMA Number: 10-46
Property Address: 297 HOPE ST

Mailing Address: BAER, BANKARD F. RAYNE G.
40 CONSTITUTION STREET
BRISTOL, RI 02809

Parcel Number: 10-47
CAMA Number: 10-47
Property Address: 281 HOPE ST

Mailing Address: STEWART, GORDON & BENITZ, MAIJA
TE
281 HOPE ST
BRISTOL, RI 02809

Parcel Number: 10-51
CAMA Number: 10-51
Property Address: 295 HOPE ST

Mailing Address: RAMOS, MICHAEL A PAULA
289 HOPE ST #1
BRISTOL, RI 02809-2016

Parcel Number: 10-52
CAMA Number: 10-52
Property Address: 275 HOPE ST

Mailing Address: NATHAN, RICHARD W & DE NATHAN,
ILSI ARREAZA TE
C/O WASHINGTON TRUST 23 BROAD ST
WESTERLY, RI 02891-1879

Parcel Number: 10-53
CAMA Number: 10-53
Property Address: 21 CONSTITUTION ST

Mailing Address: CHACE, RICHMOND N. NANCY E. ETUX
21 CONSTITUTION ST
BRISTOL, RI 02809

Parcel Number: 10-54
CAMA Number: 10-54
Property Address: 17 CONSTITUTION ST

Mailing Address: DEMOPULOS, HAROLD W. TRUST
AGREEMENT
3601 WISCONSIN AVE NW, Unit 704
WASHINGTON, DC 20016

Parcel Number: 10-74
CAMA Number: 10-74
Property Address: HOPE ST

Mailing Address: THAMES STREET NASHUA, LLC
670 NORTH COMMERCIAL ST SUITE 303
MANCHESTER, NH 03101

Parcel Number: 10-75
CAMA Number: 10-75
Property Address: 315 HOPE ST

Mailing Address: BOOTH, PATRICIA J
316 HOPE ST
BRISTOL, RI 02809

Parcel Number: 10-78
CAMA Number: 10-78
Property Address: 301 HOPE ST

Mailing Address: 301 HOPE STREET, LLC
P.O. BOX 903
BRISTOL, RI 02809

Parcel Number: 11-1
CAMA Number: 11-1
Property Address: 265 HOPE ST

Mailing Address: CURTIS, WILLIAM D. & LAUREL A TE
265 HOPE ST
BRISTOL, RI 02809



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200 foot Abutters List Report

Bristol, RI
October 17, 2023

Parcel Number: 11-3 CAMA Number: 11-3 Property Address: 259 HOPE ST	Mailing Address: DE RHAM, JEREMIAH AMY TE 259 HOPE ST BRISTOL, RI 02809
Parcel Number: 11-4 CAMA Number: 11-4 Property Address: 20 CONSTITUTION ST	Mailing Address: RDH REALTY, LLC 12 CONSTITUTION ST BRISTOL, RI 02809
Parcel Number: 14-100 CAMA Number: 14-100 Property Address: 45 CONSTITUTION ST	Mailing Address: ROBERT W GLANVILLE REV TRUST 45 CONSTITUTION ST BRISTOL, RI 02809-2120
Parcel Number: 14-101 CAMA Number: 14-101 Property Address: 41 CONSTITUTION ST	Mailing Address: AVESON, STEVEN B & AVESON, KAREN WHITLA TE 42 LINCOLN ST MEDWAY, MA 02053
Parcel Number: 14-102 CAMA Number: 14-102 Property Address: 290 HOPE ST	Mailing Address: FOX, GREGORY A. ALISON L 290 HOPE ST BRISTOL, RI 02809
Parcel Number: 14-111 CAMA Number: 14-111 Property Address: 35 CONSTITUTION ST	Mailing Address: TAVARES FAMILY TRUST & MORAN, A. & PASQUAL, THOMAS & JOANN TRUSTEES 35 CONSTITUTION ST BRISTOL, RI 02809
Parcel Number: 14-116 CAMA Number: 14-116 Property Address: 278 HOPE ST	Mailing Address: FOX, GREGORY A. ALISON L 290 HOPE ST BRISTOL, RI 02809
Parcel Number: 14-119 CAMA Number: 14-119 Property Address: 12 MILK ST	Mailing Address: FEINSTEIN, CAROL M 22 BYFIELD ST BRISTOL, RI 02809
Parcel Number: 14-87 CAMA Number: 14-87 Property Address: 314 HOPE ST	Mailing Address: SAFE WAY REALTY, LLC C/O STEPHEN COELHO PO BOX 210 BRISTOL, RI 02809
Parcel Number: 14-88 CAMA Number: 14-88 Property Address: 300 HOPE ST	Mailing Address: WIRSA BRISTOL, LLC 2 MEADOW CIRCLE BARRINGTON, RI 02806
Parcel Number: 15-11 CAMA Number: 15-11 Property Address: 48 CONSTITUTION ST	Mailing Address: 48 CONSTITUTION LLC 48 CONSTITUTION ST BRISTOL, RI 02809
Parcel Number: 15-12 CAMA Number: 15-12 Property Address: 46 CONSTITUTION ST	Mailing Address: SLOCUM, RICHARD WILLIAMS III JILL MORSE TRST & RICHARD WILL 3 VALE CT AMHERST, NH 03031



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200 foot Abutters List Report

Bristol, RI
October 17, 2023

Parcel Number: 15-13
CAMA Number: 15-13
Property Address: 44 CONSTITUTION ST

Mailing Address: CORREIA, MANUEL A. JR FILOMENA
6 CEDARWOOD DR
RIVERSIDE, RI 02915

Parcel Number: 15-14
CAMA Number: 15-14
Property Address: 40 CONSTITUTION ST

Mailing Address: BAER, BANKARD F. ET UX RAYNE GILL
BAER
40 CONSTITUTION ST
BRISTOL, RI 02809

Parcel Number: 15-15
CAMA Number: 15-15
Property Address: 36 CONSTITUTION ST

Mailing Address: PARENT, CHERYL A LE CROWELL,
LISA ANN
36 CONSTITUTION ST
BRISTOL, RI 02809

Parcel Number: 15-16
CAMA Number: 15-16
Property Address: 262 HOPE ST

Mailing Address: DESJARDINS, MICHAEL & MELISSA ANN
TE
33 PEARL ST
BRIDGEWATER, MA 02324

Parcel Number: 15-17
CAMA Number: 15-17
Property Address: 256 HOPE ST

Mailing Address: ELMER, PHILIP W - TRUSTEE ELMER
INVESTMENT TRUST
256 HOPE ST
BRISTOL, RI 02809

Parcel Number: 15-18
CAMA Number: 15-18
Property Address: 254 HOPE ST

Mailing Address: ALESSANDRO, CANDACE H.
254 HOPE ST
BRISTOL, RI 02809

Parcel Number: 15-84
CAMA Number: 15-84
Property Address: 260 HOPE ST

Mailing Address: AMESBURY, CHRISTOFER & NICOLE M
TE
15 ANSELMO DR
PORTSMOUTH, RI 02871-1519



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BRISTOL HISTORIC DISTRICT COMMISSION

APPLICATION FOR REVIEW OF PROPOSED WORK

1. Property Address (Street & No.) 31 Constitution Street

2. Plat # 14 Lot # 103 Contributing _____ Non-Contributing _____

3. a. Applicant: Brendan Maguire

Mailing Address: 31 Constitution Street, Bristol, RI

Phone: Day 857-261-4193 Evening _____

b. Owner (if different from applicant written authorization of owner required): _____

Mailing Address: _____

Phone: Day _____ Evening _____

4. a. Architect/Draftsman: William Connolly

Address: _____

Phone: Day _____ Evening _____

b. Contractor: _____

Address: _____

Phone: Day _____ Evening _____

5. Work Category: Replacing in-kind* *authorization required* _____

_____ New Structure(s) _____ Partial Demolition of Structure(s)

Addition to Structure(s) _____ Total Demolition of Structure(s)

_____ Remodeling of Structure _____ Sign(s) / Landscaping Features

6. Description of proposed work: Windows, fascia board, gutters. Replacing windows in-kind, with fully wood window - Auralust Pine Wood double hung, primed wood SDL. Repairing fascia board

*All changes must match the existing in materials, design and configuration.

(Continued): Around most of the property, replacing (in-kind)
portion along Hope Street, which is missing. Installation of aluminum
gutters - there are no existing gutters to replace Check here if
in-kind, or any knowledge of previous gutters.
continued on additional sheets.

7. Included with the application (check those applicable):

PHOTOGRAPHS: Please label all photographs submitted.

- Overall view of property from street(s) Overall views of building
- Existing details to be altered by work
- Other (Identify) _____

Drawings: Maximum size accepted: 11" x 17"

- Site Plan(s) (drawn to scale) Floor plan(s) (drawn to scale)
- Exterior Elevations Details

OTHER: Renderings Catalogue Cuts Specifications

Other (Identify) _____

Brendan Maguire Brendan Maguire
Applicant's Name - Printed Applicant's Signature

Date: 9/19/2023

Contact Person if other than Applicant:

Name (Printed): _____

Phone: Day _____ Evening _____

A Certificate of Appropriateness (Green Sheet) is valid for one year from the date of issuance.

Note: If work on a project has started within twelve months of its approval date, you have as long as is necessary to finish the job (in other words, longer than a year).





**sill and
trim rot**



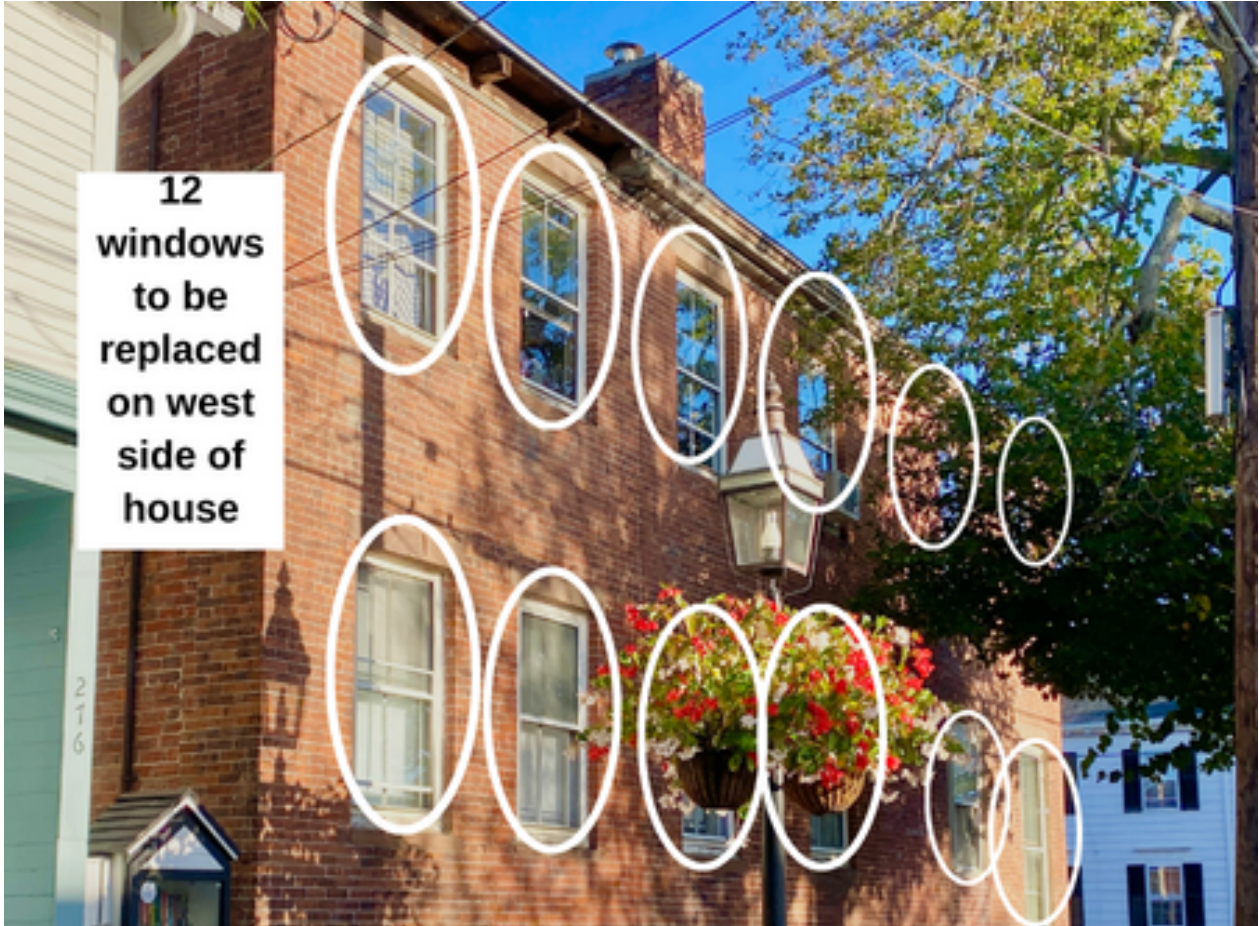


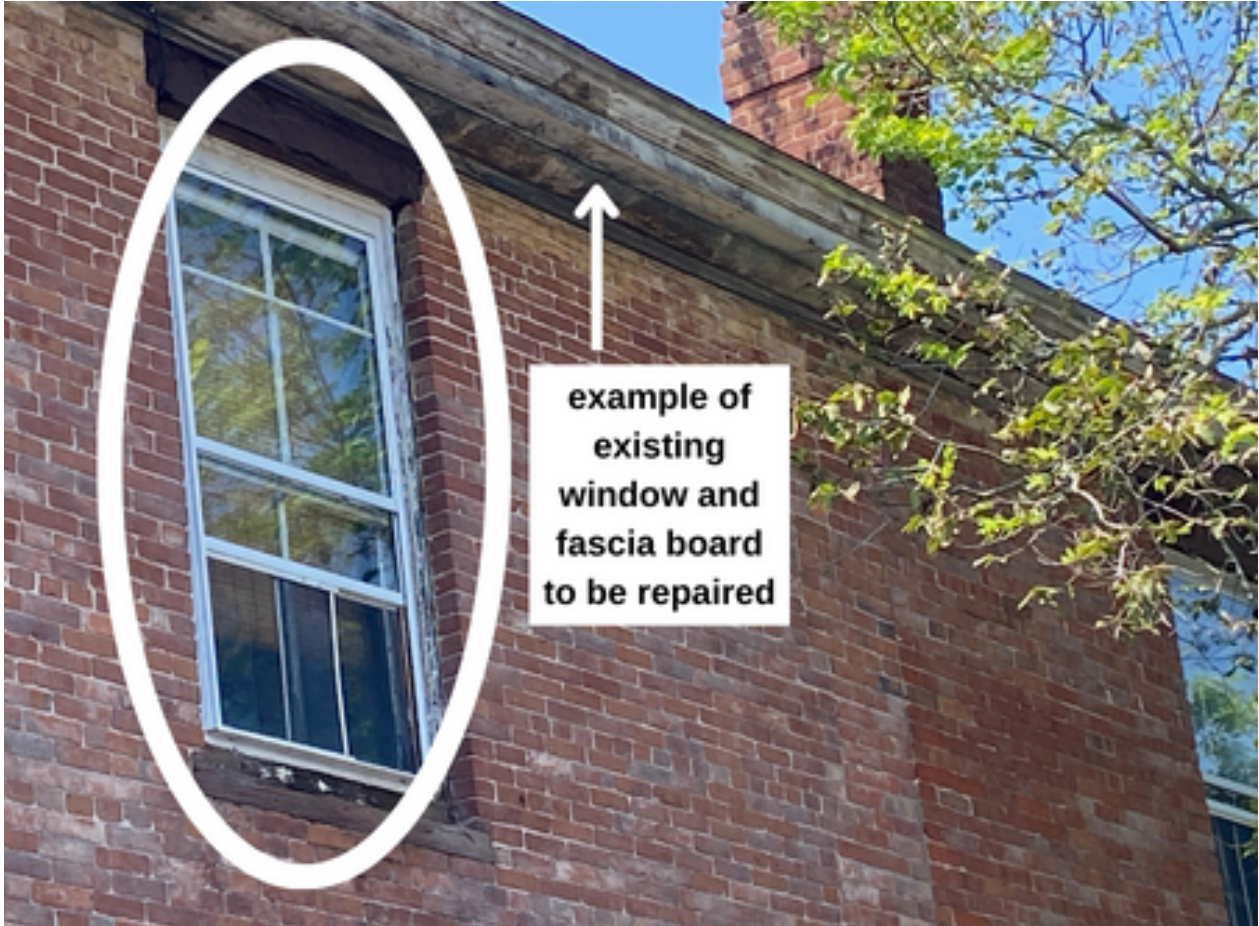
**sill and
trim rot**

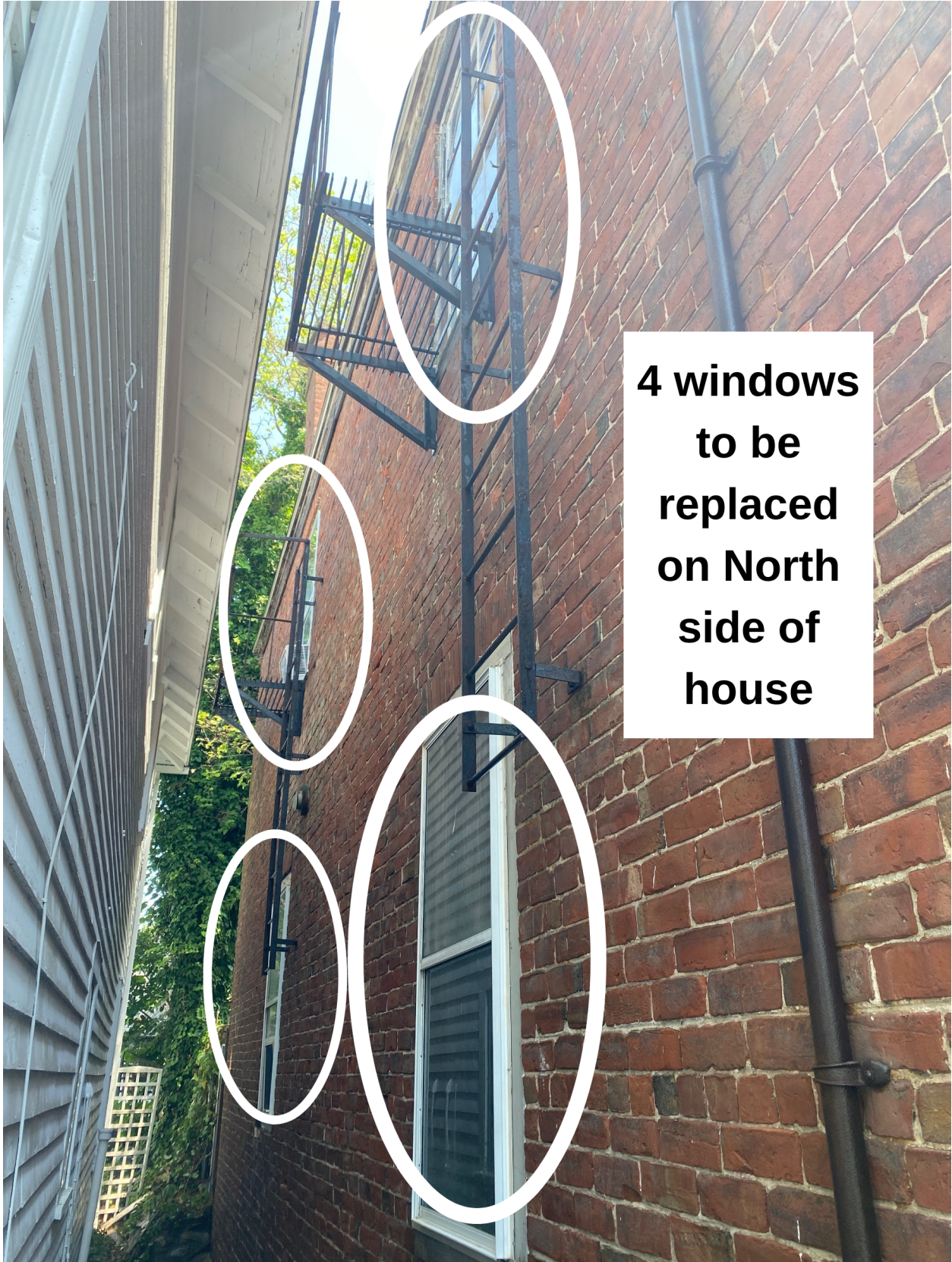




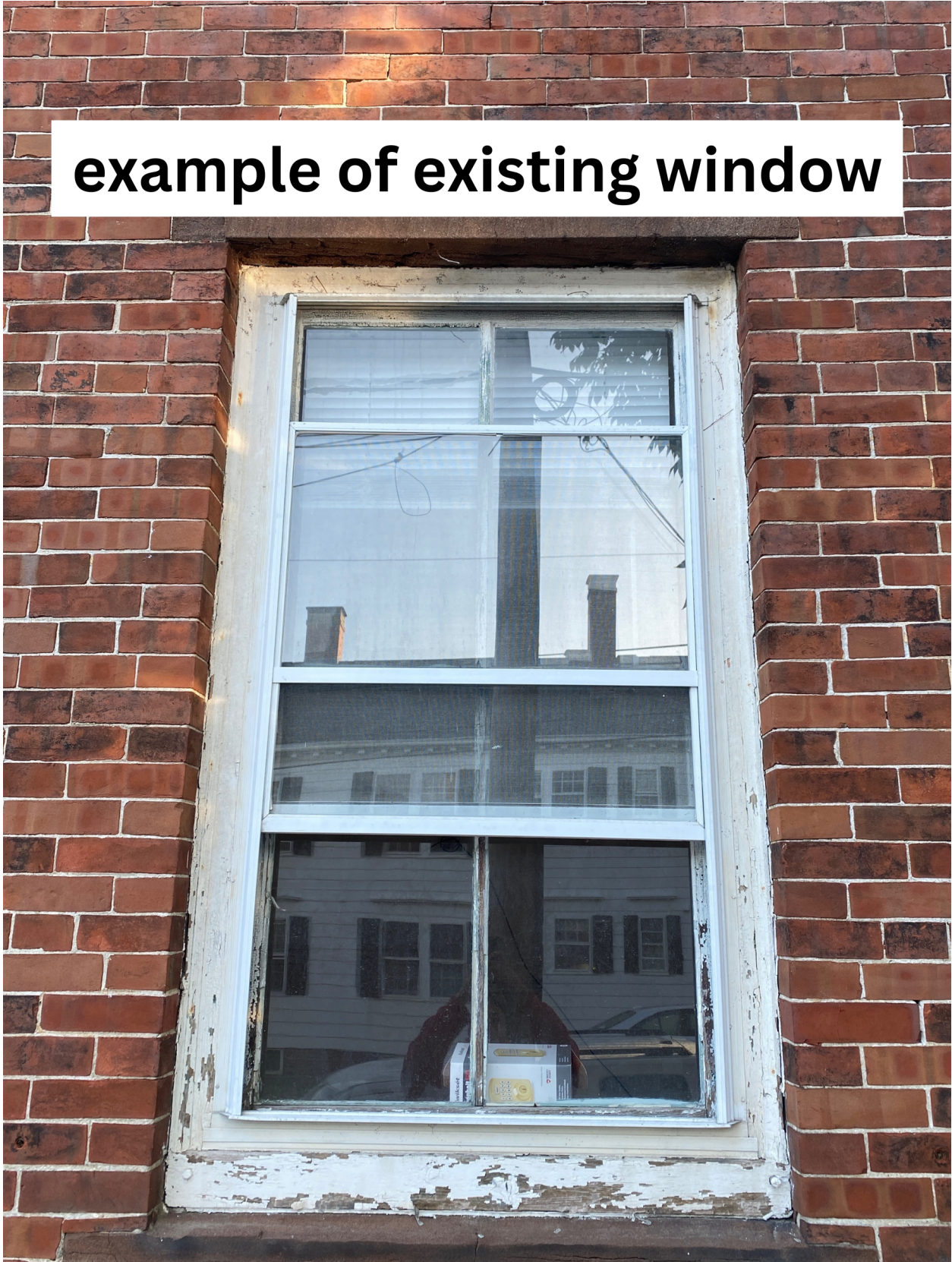








example of existing window





example of existing window



Eric MacIver

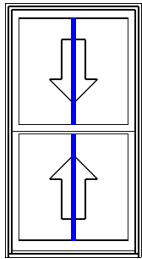
QUOTE BY : Jack Haines
SOLD TO : Brendan Maguire
Brendan
Phone : (857) 261-4193
PO# :
Ship Via : Ground

QUOTE # : JW23080138N - Version 0
SHIP TO :
PROJECT NAME :
REFERENCE : ALL WOOD OPTION

U-Factor Weighted Average: 0.26

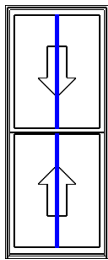
SHGC Weighted Average: 0.18

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 1	Pocket Opening : 32 1/2 X 59 1/4	Siteline Wood Double Hung, Auralast Pine, Pocket Unit, Pocket Opening = 32 1/2 X 59 1/4 Primed Exterior, Natural Interior, 3 1/4 Jamb, 14 Deg Sill, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist with HeatSave Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 2 Wide 1 High Top, 2 Wide 1 High Btm, BetterVue Mesh Brilliant White Screen, IGThick=0.698(3/32 / 3/32), Clear Opening:28.2w, 26.3h, 5.1 sf U-Factor: 0.26, SHGC: 0.18, VLT: 0.41, CR: 48.00, CPD: JEL-N-908- 01177-00001 PEV 2023.3.0.4399/PDV 7.119 (09/06/23)NW	\$993.72	30	\$29,811.60




Viewed from Exterior. Scale: 1/2" =1'

Line 2	Pocket Opening : 36 1/2 X 88 1/4	Siteline Wood Double Hung, Auralast Pine, Pocket Unit, Pocket Opening = 36 1/2 X 88 1/4 Primed Exterior, Natural Interior, 3 1/4 Jamb, 14 Deg Sill, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist with HeatSave Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 2 Wide 1 High Top, 2 Wide 1 High Btm, BetterVue Mesh Brilliant White Screen, IGThick=0.698(3/32 / 3/32), Clear Opening:32.2w, 40.8h, 9.1 sf U-Factor: 0.26, SHGC: 0.18, VLT: 0.41, CR: 48.00, CPD: JEL-N-908- 01177-00001 PEV 2023.3.0.4399/PDV 7.119 (09/06/23)NW	\$1,360.33	1	\$1,360.33
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Viewed from Exterior. Scale: 1/2" =1'

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Total:					\$31,171.93
MA Tax (6.2500%):					\$1,948.25
Net Total:					\$33,120.18
Total Units:					31

 Protect yourself when you choose JELD-WEN AuraLast pine products backed by a limited lifetime warranty against wood rot and termite damage.



SITELINE® | POCKET DOUBLE-HUNG

WOOD WINDOWS

ARCHITECTURAL DESIGN MANUAL | July 2023

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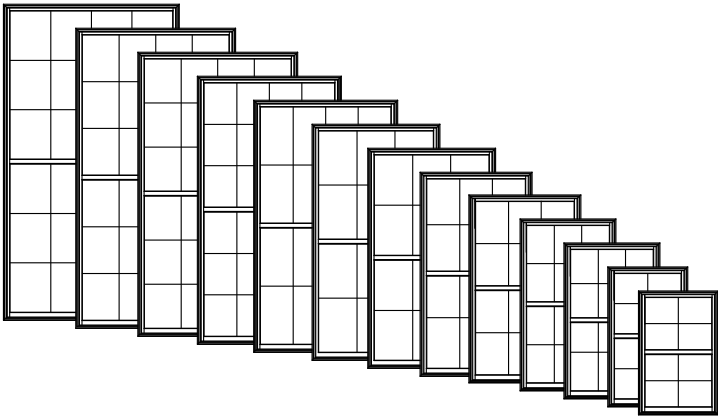
PRODUCT INFORMATION

GENERAL INFORMATION & POCKET SIZING	3
GRID PATTERNS	4
GRID, BOTTOM RAIL & GLASS STOP OPTIONS	5
CLEAR OPENING FORMULAS	6
FRAME SIZE FORMULAS	7

SECTION DETAILS

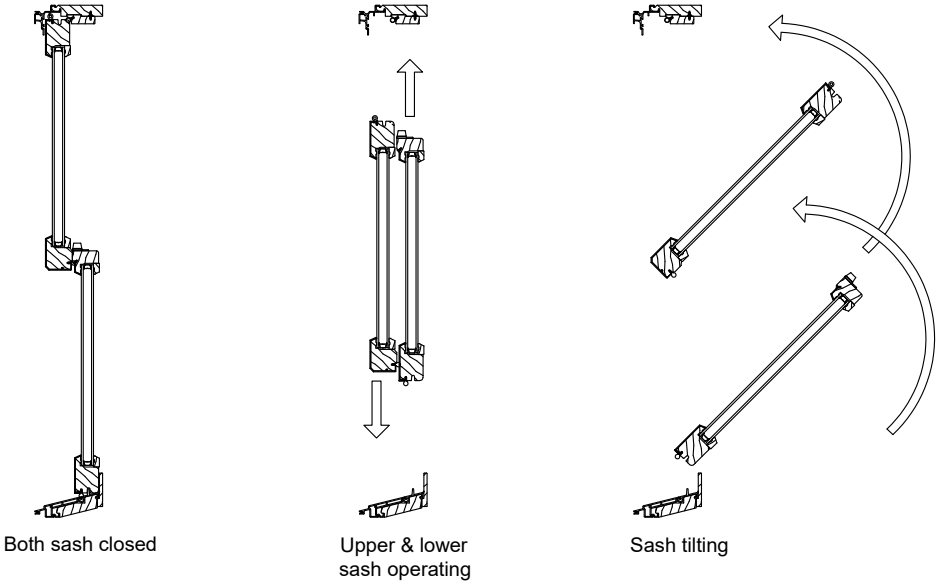
OPERATOR SECTIONS	8
STATIONARY SECTIONS	9
TRANSOM SECTIONS	10

GENERAL INFORMATION & POCKET SIZING



Dimensional Windows

Siteline® Wood Pocket Double-Hung windows may be specified as "dimensional" by adjusting the desired pocket opening width or height. Siteline® Wood Pocket Double-Hung windows feature fully operating upper and lower sash which can be tilted or removed for easy cleaning.

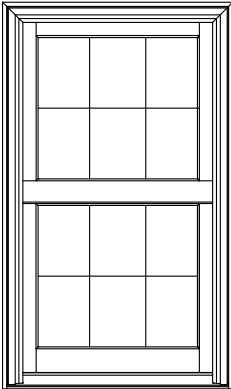


Wood Pocket Double-Hung Min/Max Sizing		
Min/Max	Rating	Width x Height
Minimum Size		
Operating	PG35/PG50	21 3/8" x 31 7/32"
Stationary & Transom	PG35/PG50	21 3/8" x 15"
Maximum Size		
Operating	PG35	45 3/8" x 91 7/32"
Operating	PG50	45 3/8" x 71 7/32"
Stationary	PG35	66 3/8" x 91 7/32"
Stationary	PG50	66 3/8" x 71 7/32"
Transom	PG50	74 3/4" x 35 7/32"

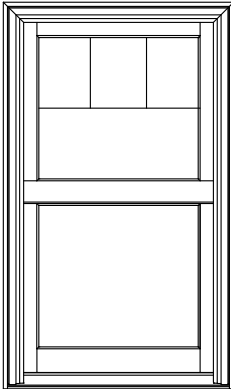
Standard sizes are shown. Smaller or larger sizes may be available as custom orders. Contact JELD-WEN Customer Service for more information.

GRID PATTERNS

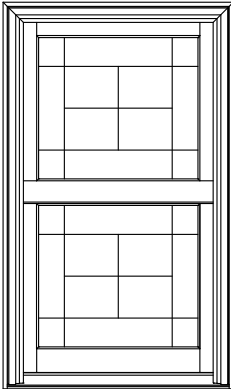
Siteline® Wood Pocket Double-Hung Windows are available with Grilles Between Glass (GBG), or Simulated Divided Lites (SDL) in various widths and styles. The standard grid patterns are shown below. Special grid patterns can include a wide variety of straight line and radius patterns. Non-standard patterns are subject to factory approval.



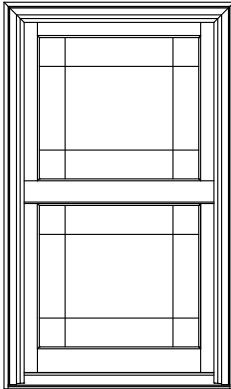
Colonial



Colonial From Top Down



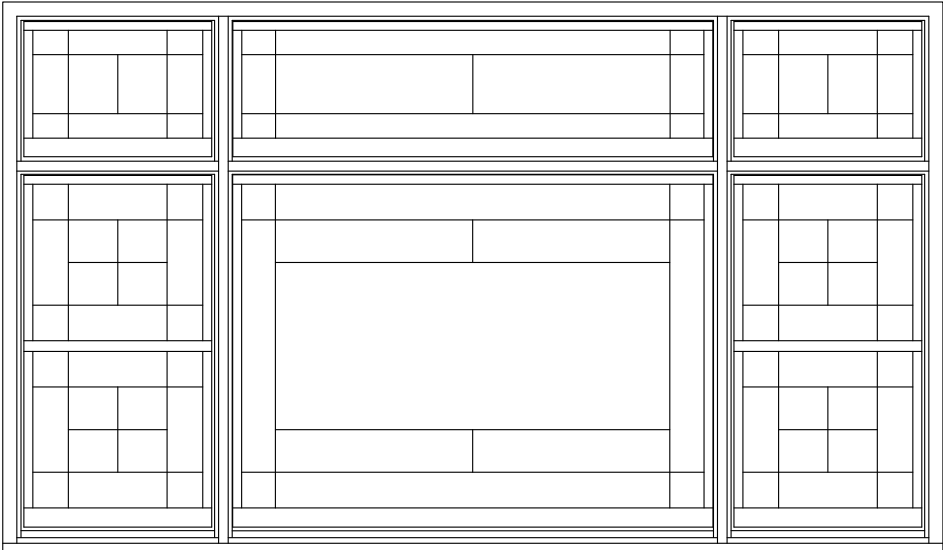
Uneven



Prairie

Bar Alignment

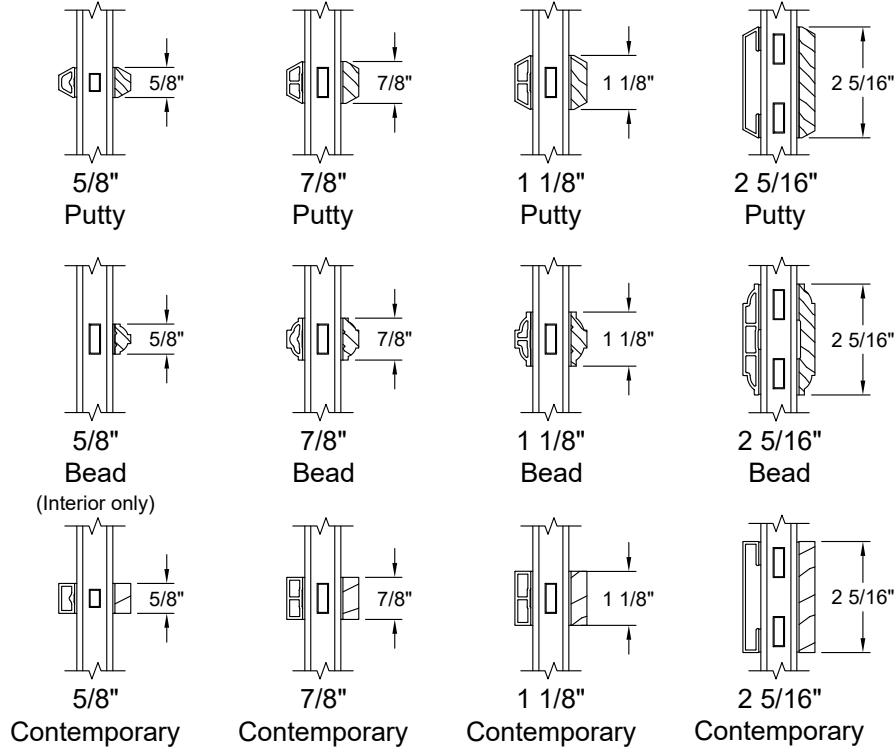
Alignment of bars from product to product is often required. SDL, GBG, and wood grilles may be specified with bars aligned.



GRID, BOTTOM RAIL & GLASS STOP OPTIONS

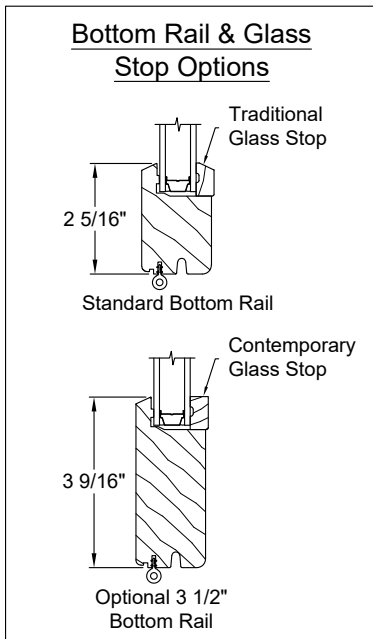
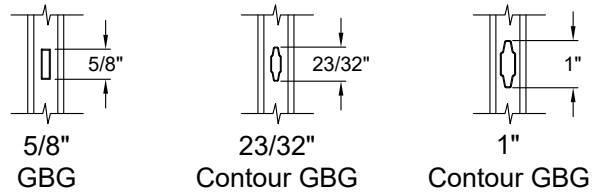
Exterior ← → Interior

SDL Options

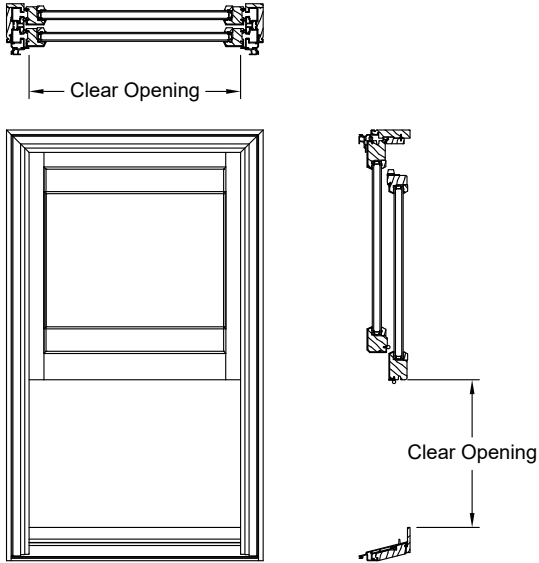


Various Combinations of the SDL Bars Shown are Available

GBG Options

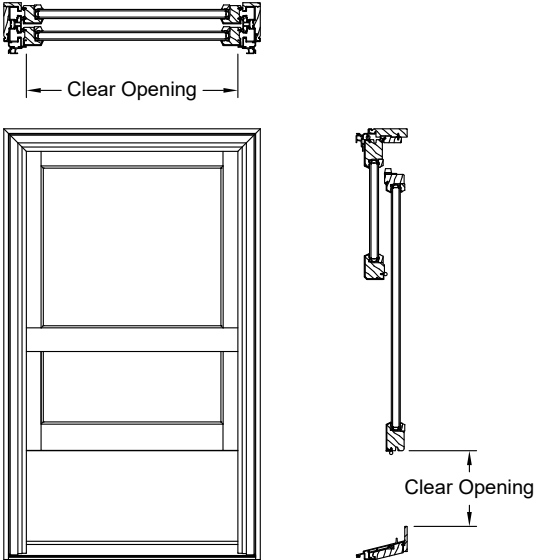


CLEAR OPENING FORMULAS



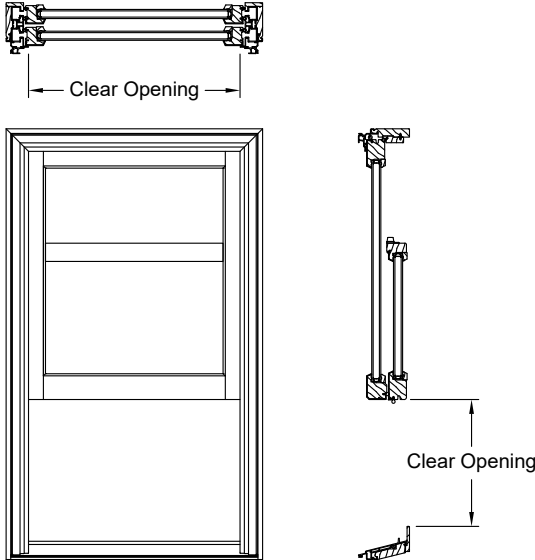
Double-Hung (Even Divide)

Width = Frame Width - 3 3/4"
 Height = (Frame Height / 2) - 3 1/8"



Cottage Double-Hung

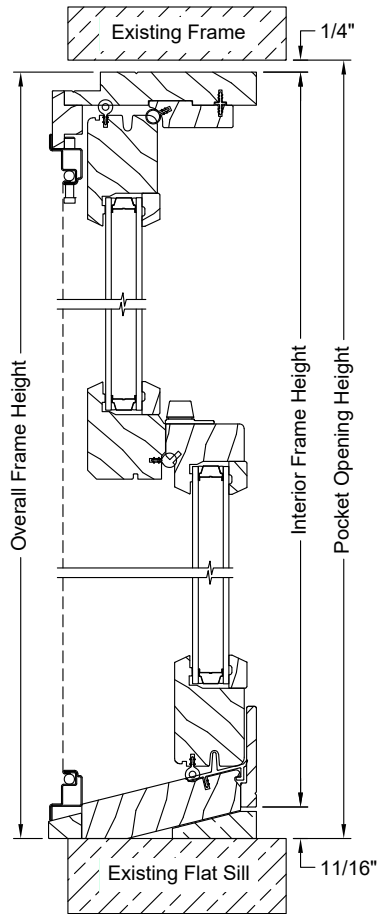
Width = Frame Width - 3 3/4"
 Height = (Frame Height / 2) - 5 25/32"



Reverse Cottage Double-Hung

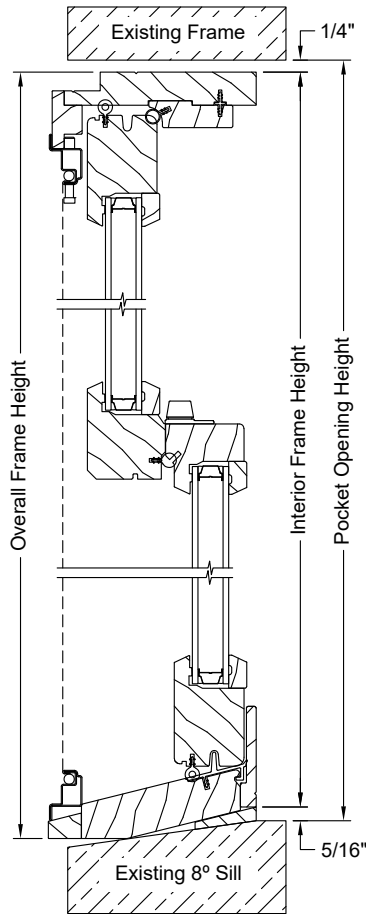
Width = Frame Width - 3 3/4"
 Height = (Frame Height / 2) - 5 5/8"

FRAME SIZE FORMULAS



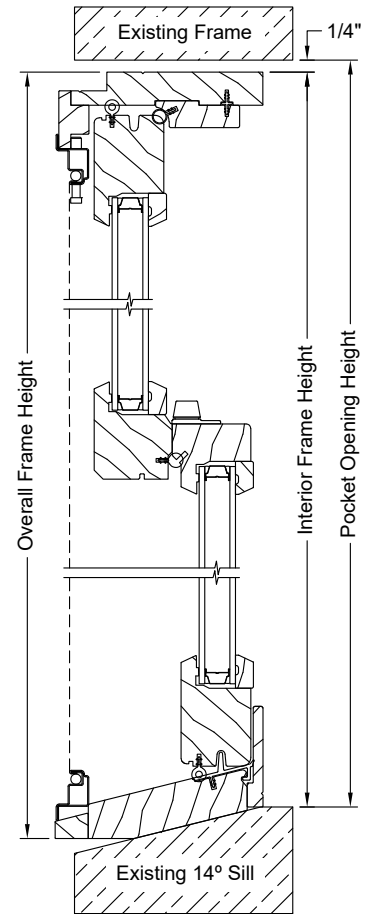
Interior Frame Size =
Pocket Opening Height - 15/16"

Overall Frame Height =
Pocket Opening Height - 1/4"



Interior Frame Size =
Pocket Opening Height - 9/16"

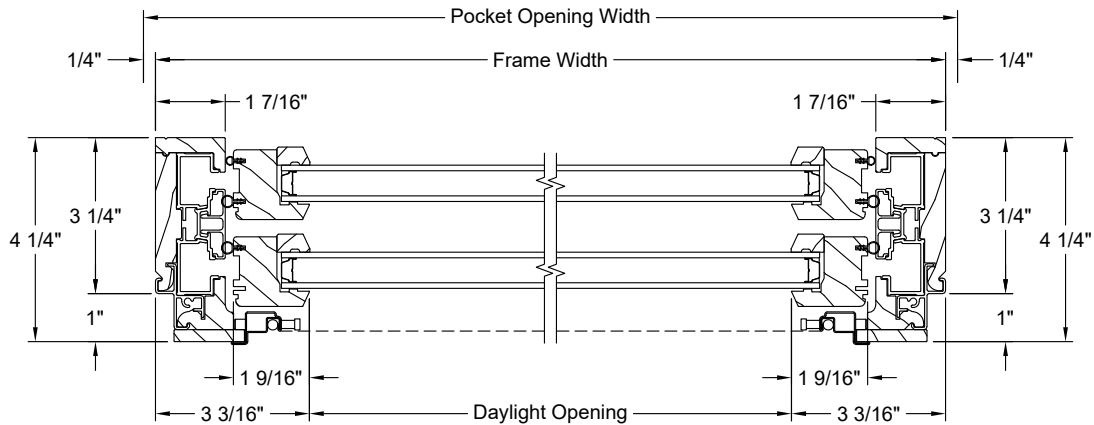
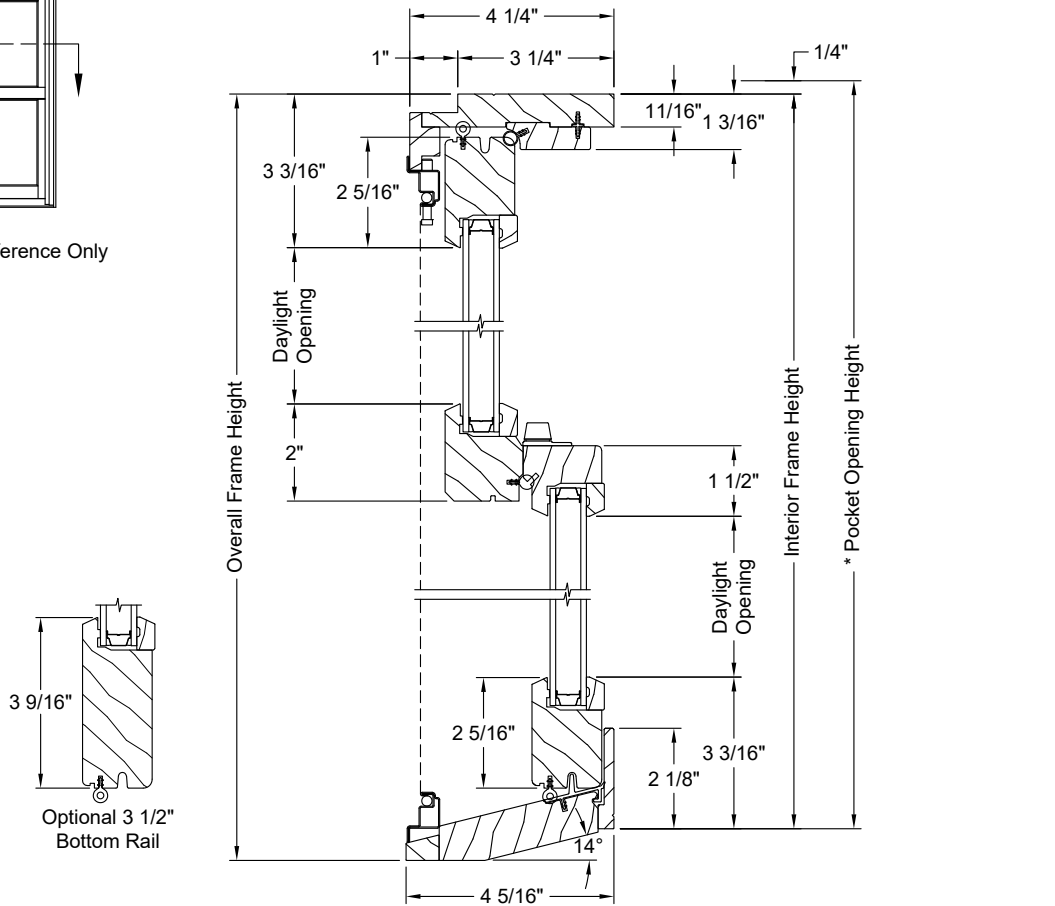
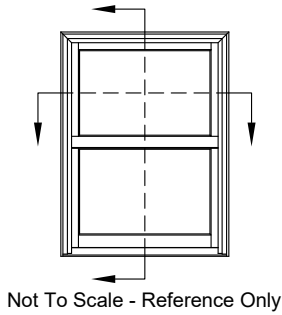
Overall Frame Height =
Pocket Opening Height + 1/8"



Interior Frame Size =
Pocket Opening Height - 1/4"

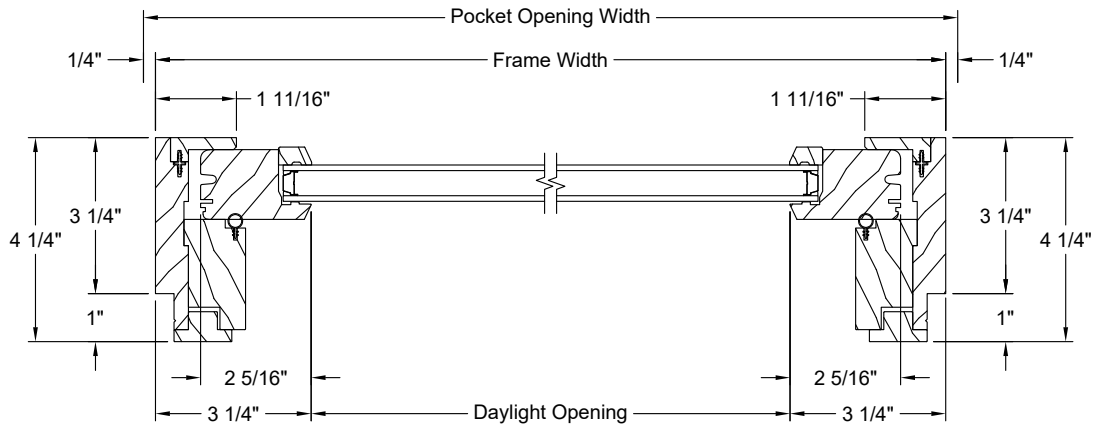
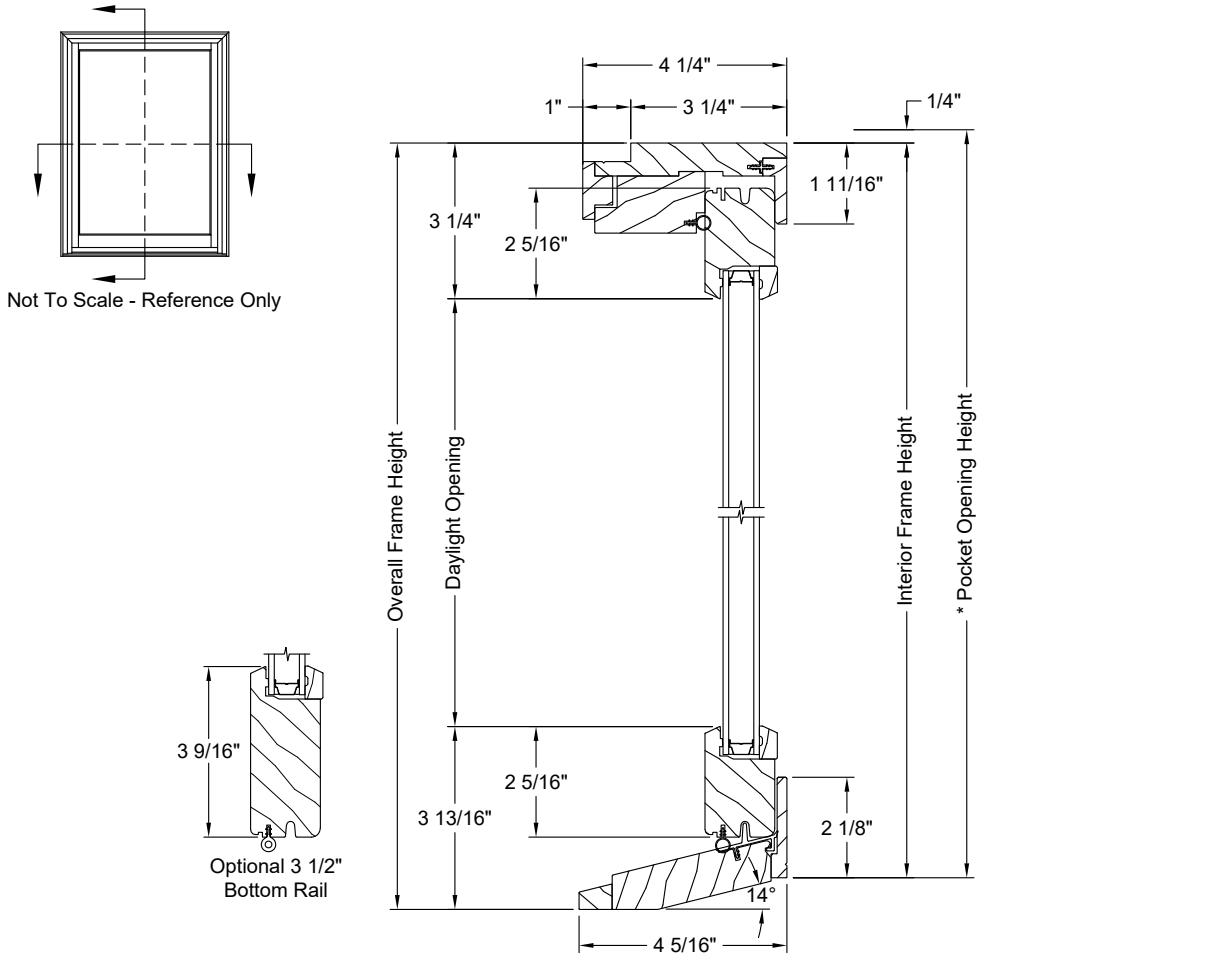
Overall Frame Height =
Pocket Opening Height + 7/16"

OPERATOR SECTIONS



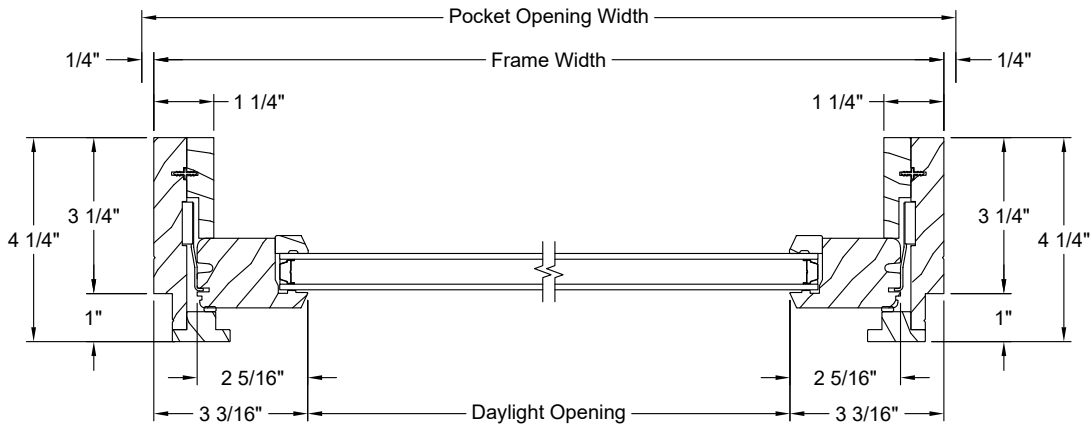
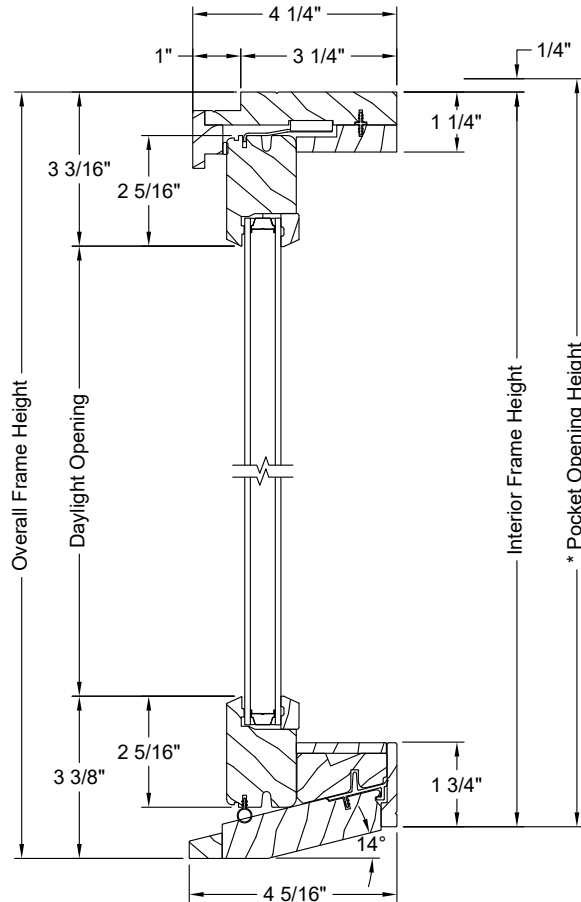
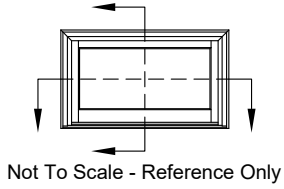
* Pocket Opening height varies by existing sill slope. 14° sill is shown in this example. See page 6 for all variations.

STATIONARY SECTIONS



* Pocket Opening height varies by existing sill slope. 14° sill is shown in this example. See page 6 for all variations.

TRANSOM SECTIONS



* Pocket Opening height varies by existing sill slope. 14° sill is shown in this example. See page 6 for all variations.



BRISTOL HISTORIC DISTRICT COMMISSION

TOWN HALL
10 COURT ST.
BRISTOL, RI 02809
401-253-7000

AMENDMENTS TO RULES OF PROCEDURE EXEMPTION FROM REVIEW, ADMINISTRATIVE REVIEW, AND APPROVAL AUTHORITY

Adopted by the Bristol Historic District Commission on December 3rd, 2015.
Last updated on July 4th, 2016.

Section 1: Exemption from Review

The following actions and appurtenances are exempt from Review by the Commission, and no notification by the owner to the Commission is required provided that no other features or parts of the property whatsoever are altered or removed:

1. Flags (non commercial)
2. Buzzers, intercoms, security cameras, flood lights, Fire Dept. Key Boxes
3. Garden furnishings and lawn irrigation systems
4. Painting (using conventional paint)
5. Landscaping (plant material, not hardscape)
6. Portable window air conditioners
7. Signs for handicapped access
8. Temporary signs (Commission to work with Zoning Officer to clarify)
9. Window boxes
10. Decorating
11. Storm Windows (only metal or wood, provided no alteration to window frame or trim)
12. Chimney Caps
13. Satellite dishes, antennas
14. Repair or in-kind replacement of gutters and downspouts where there is no change of material or design
15. Changes to flat roofs, as long as the change cannot be seen from the ground
16. Fabric awnings, except those that function as signs
17. Resealing existing driveways
18. Weathervanes (as exempt per zoning)
19. Temporary (less than one year) Tents (Commission to work with Zoning Officer to Clarify)
20. Re-pointing brick foundations and chimneys, provided that a lime-mortar mix is used for old brick
21. Temporary removal of shutters, trim, or other ornaments to facilitate painting or other maintenance
22. Beehives not permanently attached to the ~~building~~building.
23. Storm or Screen Doors (wood or metal only) provided no new framing is installed.

22. Ordinary repair of single features (i.e. stylized bracket, set of balusters, fence pickets, window trim, corner boards, fascia boards under 10 linear feet provided materials and design match existing design)

Section 2: Administrative Review and Approval Authority

The Bristol Historic District Commission hereby delegates to its staff the authority to review the following projects, without a public hearing, and to issue a Certificate of Appropriateness provided the following conditions are met.

- 1. The Application is for in-kind replacements and repairs, using identical materials in a configuration that exactly matches the existing design. This condition applies to the following activities:
 - a. Roofing (roof material only – not to include replacement, repair or addition of gutters)
 - b. Common siding materials (clapboards and shingles) provided, however, that no more than 25% of the total siding materials on the structure are being replaced. Applications requesting more than 25% replacement shall be reviewed and acted upon by the full HDC at a public hearing
 - c. Porch decking, railings, posts and columns
 - d. Stair treads and risers (not including any associated work on railings, posts or columns)
 - ~~e. Storm or screen doors~~
 - ~~f.e.~~ Lighting and light fixtures
 - ~~g.f.~~ Ordinary repair of single features (i.e. stylized bracket, set of balusters, fence pickets, window trim, corner boards, fascia boards over 10 linear feet total, provided identical materials are used and design is matched.
 - ~~g.~~ Fences on street frontage with no change in design, construction or material
 - ~~h.~~ Replacement of wood gutters with fiberglass ~~or equivalent~~, provided new gutters match the profile of original wood gutters
 - ~~h.i.~~ Doors not on street frontage

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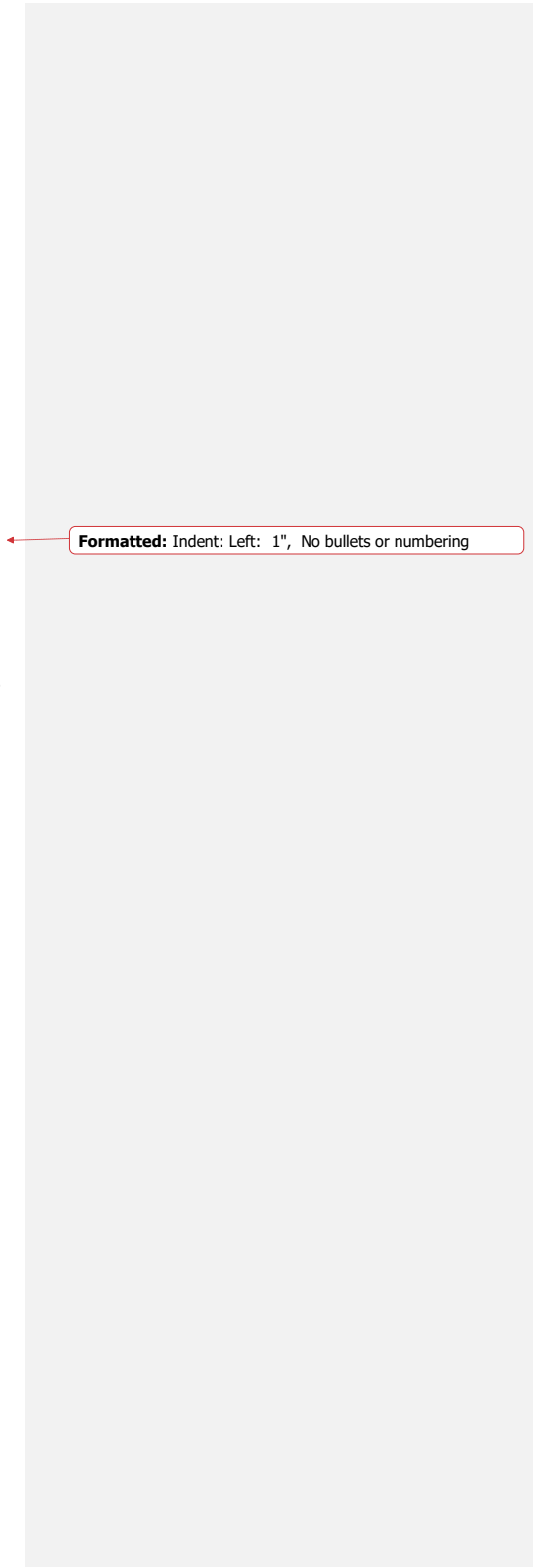
or

- 2. The Application is for one or more of the following items:
 - a. Temporary (less than one year) handicap ramps and railings
 - b. Permanent handicap ramps or elevators, if in rear or not visible from street, not destroying original fabric or defining details. Landscaping shall not be suitable for meeting the requirement to be not visible from the street
 - c. New fences not located on a street frontage
 - d. Maintenance and repairs to existing driveways, excluding any increase in size over 25% of existing driveway
 - e. Changes in driveway material, excluding new asphalt, or increase in size of 25% of existing driveway.
 - f. Ground level patio

- g. Ground mounted generators, HVAC and mechanical equipment, including propane tanks, gas and electric meters if not facing street frontage and not visible from the street by virtue of buildings and structures. Landscaping shall not be suitable for meeting the requirement to be not visible from the street.
- h. Window signs with reversible logos and/or lettering
- i. New logo/lettering on existing signs
- j. Replacement of vinyl windows with all wood true divided-light windows
- k. Installation of wood trellises, privacy screens, or other fence-like adjacent structures provided they are not on street frontage.
- l. Emergency repairs with a letter of support from the Building Official and written notification to the Commission.
- Projects approved by the State Historical Preservation & Heritage Commission
- m. Permanent ADA accessibility improvements to Government Buildings and Facilities

- 3. the Application is complete, containing all required information for a thorough review, and
- 4. the work proposed in the Application conforms to the Secretary of the Interior’s Standards for Rehabilitation and other adopted BHDC standards and guidelines, and
- 5. the Application is reviewed by the Chairman of the Bristol Historic District Commission, who concurs with the staff opinion that it meets the criteria for granting a Certificate of Appropriateness.

Notwithstanding the foregoing authority, the HDC staff shall have the authority to not exercise this delegation, and to refer any application, including for work that may meet these conditions, for review by the full HDC at a public hearing.



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