



TOWN OF BRISTOL, RHODE ISLAND

HISTORIC DISTRICT COMMISSION MEETING

**Historic District Commission Meeting Agenda
Thursday, March 02, 2023 at 7:00 PM
Town Hall - 10 Court Street, Bristol Rhode Island**

Written comments may be submitted to the Historic District Commission via regular mail addressed to: Historic District Commission, Bristol Town Hall, 10 Court Street, Bristol RI 02809 or via email to: hdc@bristolri.gov

Application packets can be found online at <https://www.bristolri.gov/government/commissions/historic-district-commission/>

- 1. Pledge of Allegiance**
- 2. Review of Previous Month's Meeting Minutes - February 2, 2023**
- 3. Application Reviews**
 - 3A.** #22-077: 48 1/2 Constitution Street, 48 Constitution LLC: (original concept review heard at August 4, 2023 meeting, request to be placed on March 2023 meeting) addition of rear porches
 - 3B.** #22-117: 142 High Street, Cornelia Murphy & Thomas Ferris II (continued from January 2023 meeting): increase pitch on roof over front porch and bay window to improve drainage
 - 3C.** #23-004: 82 Thames Street, Daniel Barnes: addition of three shed-style dormers on second floor; remove and replace a total of 18 windows with 6 over 6 or 8 over 8; removal of all triple-track windows; removal of left most window on second floor (east elevation)
 - 3D.** #23-005: 44-46 State Street, Nicole & Matthew Martel: update on abandoned chimney removal; replacement of (12) windows, one which will be for egress compliance; replace wall unit ac with mini-split; in-kind repair & replacements in breezeway, east side door, exterior paint, address rotted sections

- 3E.** #023-30: 474 Thames Street, Fenwick & Oliver: add hand-painted HDU sign above window, remove old hanging sign bracket - sign size 30" h x 36" w x 1 1/2" thick
- 3F.** #23-031: 825 Hope Street, Barbara J. Beer and Robert A. Beer II: review & acceptance of skylights with placements in new roof (roof previously addressed and approved) for a total of 5 skylights; request to replace the front facade (east) with wood cedar shingles (16" eastern white cedar wood architectural or 16" cedar 1 coat R&R shingles (Monterey Gray)
- 3G.** #23-026: 467 Hope Street, Bank of America - Horton Group, LLC: install (1) new canopy mount fixture, to be full cut off LED; replace (5) interior recessed cans; install (1) interior recessed can
- 3H.** #23-028: 1200 Hope Street, MI 1200 Hope Street LLC: insignificant windows relocation change; relocation of bulkhead; minor change of rear deck to extend to edge of home; deletion of (1) window on southeast side facing back yard of home; addition of 2 in-kind wood garage door under structure to reduce automobile visibility on site; location of ac condensers; modification of accepted duplex unit to have garage & layout to accommodate due to land area being expanded

4. Concept Review

- 4A.** #23-029: Concept Review - 33 Byfield Street, Doran Smith & David Squillante: proposal to install solar panels on the roof

5. Monitor Reports & Project Updates

6. HDC Coordinator Reports & Project Updates

7. HDC Coordinator Approvals

8. Other Business

9. Adjourn



BRISTOL HISTORIC DISTRICT COMMISSION
APPLICATION FOR REVIEW OF PROPOSED WORK

~~23-024~~
23-004

paid 2/14/14
cash

Item 3C.

1. Property Address (Street & No.) 82 Thames Street
2. Plat # 10 Lot # 45 Contributing _____ Non-Contributing _____
3. a. Applicant: Daniel Barnes

Mailing Address: 82 Thames Street, Bristol RI 02809

Phone: Day 203-671-5289 Evening 203-671-5289

- b. Owner (if different from applicant written authorization of owner required): _____

Mailing Address: _____

Phone: Day _____ Evening _____

4. a. Architect/Draftsman: Cliff Drawbridge

Address: _____

Phone: Day 401-835-4802 Evening _____

- b. Contractor: Mike Martins

Address: _____

Phone: Day 401-855-2485 Evening _____

5. Work Category: ☒ Replacing in-kind* *authorization required* _____

_____ New Structure(s) _____ Partial Demolition of Structure(s)

☒ Addition to Structure(s) _____ Total Demolition of Structure(s)

_____ Remodeling of Structure _____ Sign(s) / Landscaping Features

6. Description of proposed work: Addition of three shed-style dormers on second floor.

Removal & replacement of 18 windows with historically relevant six over six or eight over eight, as follows: north elevation (6), south elevation (6), east elevation (2), and west elevation (4).

*All changes must match the existing in materials, design and configuration.

2023 FEB 14 PM 12:27

TOWN OF BRISTOL
COMMUNITY DEV.

(Continued): Removal of all 'triple-track' storm windows.

Removal of the left-most window on the second floor, east elevation.

_____ Check here if
continued on additional sheets.

7. Included with the application (check those applicable):

PHOTOGRAPHS: Please label all photographs submitted.

☒ Overall view of property from street(s) ☒ Overall views of building

☒ Existing details to be altered by work

Examples from a completed
renovation on a similar style building
at 24 Narragansett Street in
Jamestown, RI

☒ Other (Identify) _____

Drawings: Maximum size accepted: 11" x 17"

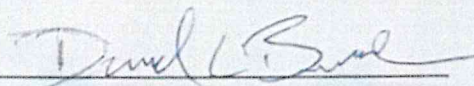
_____ Site Plan(s) (drawn to scale) _____ Floor plan(s) (drawn to scale)

_____ Exterior Elevations _____ Details

OTHER: _____ Renderings _____ Catalogue Cuts _____ Specifications

_____ Other (Identify) _____

Daniel Barnes



Applicant's Name - Printed Applicant's Signature

Date: 1/16/23

Contact Person if other than Applicant:

Name (Printed): _____

Phone: Day _____ Evening _____

A Certificate of Appropriateness (Green Sheet) is valid for one year from the date of issuance.

Note: If work on a project has started within twelve months of its approval date, you have as long as is necessary to finish the job (in other words, longer than a year).



CAI Property Card

Town of Bristol, RI

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR
LOCATION: 82 THAMES ST ACRES: 0.0987 PARCEL ID: 10 45 LAND USE CODE: 01 CONDO COMPLEX: OWNER: BARNES, DANIEL L CO - OWNER: MAILING ADDRESS: 82 THAMES ST ZONING: W PATRIOT ACCOUNT #: 564	BUILDING STYLE: Restored His UNITS: 1 YEAR BUILT: 1771 FRAME: Wood Frame EXTERIOR WALL COVER: Clapboard ROOF STYLE: Gambrel ROOF COVER: Asphalt Shin
	BUILDING INTERIOR
SALE INFORMATION SALE DATE: 10/28/2022 BOOK & PAGE: 2193-124 SALE PRICE: 415,000 SALE DESCRIPTION: SELLER: MCKENNA-ZUFELT, JILL MARY	INTERIOR WALL: Drywall FLOOR COVER: Hardwood HEAT TYPE: BB Hot Water FUEL TYPE: Oil PERCENT A/C: False # OF ROOMS: 4 # OF BEDROOMS: 2 # OF FULL BATHS: 1 # OF HALF BATHS: 0 # OF ADDITIONAL FIXTURES: 0 # OF KITCHENS: 1 # OF FIREPLACES: 0 # OF METAL FIREPLACES: 1 # OF BASEMENT GARAGES: 0
PRINCIPAL BUILDING AREAS	
GROSS BUILDING AREA: 2342 FINISHED BUILDING AREA: 1374 BASEMENT AREA: 834 # OF PRINCIPAL BUILDINGS: 1	
ASSESSED VALUES	
LAND: \$199,100 YARD: \$0 BUILDING: \$235,300 TOTAL: \$434,400	
SKETCH	PHOTO

CAI Technologies

www.cai-tech.com

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5

2/16/2023

Property Information - Bristol, RI

Page 1 of 1

Certificate of Appropriateness

82 Thames Street

Reason for Proposed Changes:

My goal is to improve the overall aesthetic of the home while also bringing historical uniformity to the exterior features. Many of the windows lack consistency and are very energy inefficient. Several are broken and both the windows and storm windows across the home do not look to be original.

I've included (very) basic outlines of these changes below, as well as examples from a completed project at a similarly styled home in Jamestown, RI.

Local examples of the dormers can also be seen at **45 High Street & 75 Constitution Street**, among others.

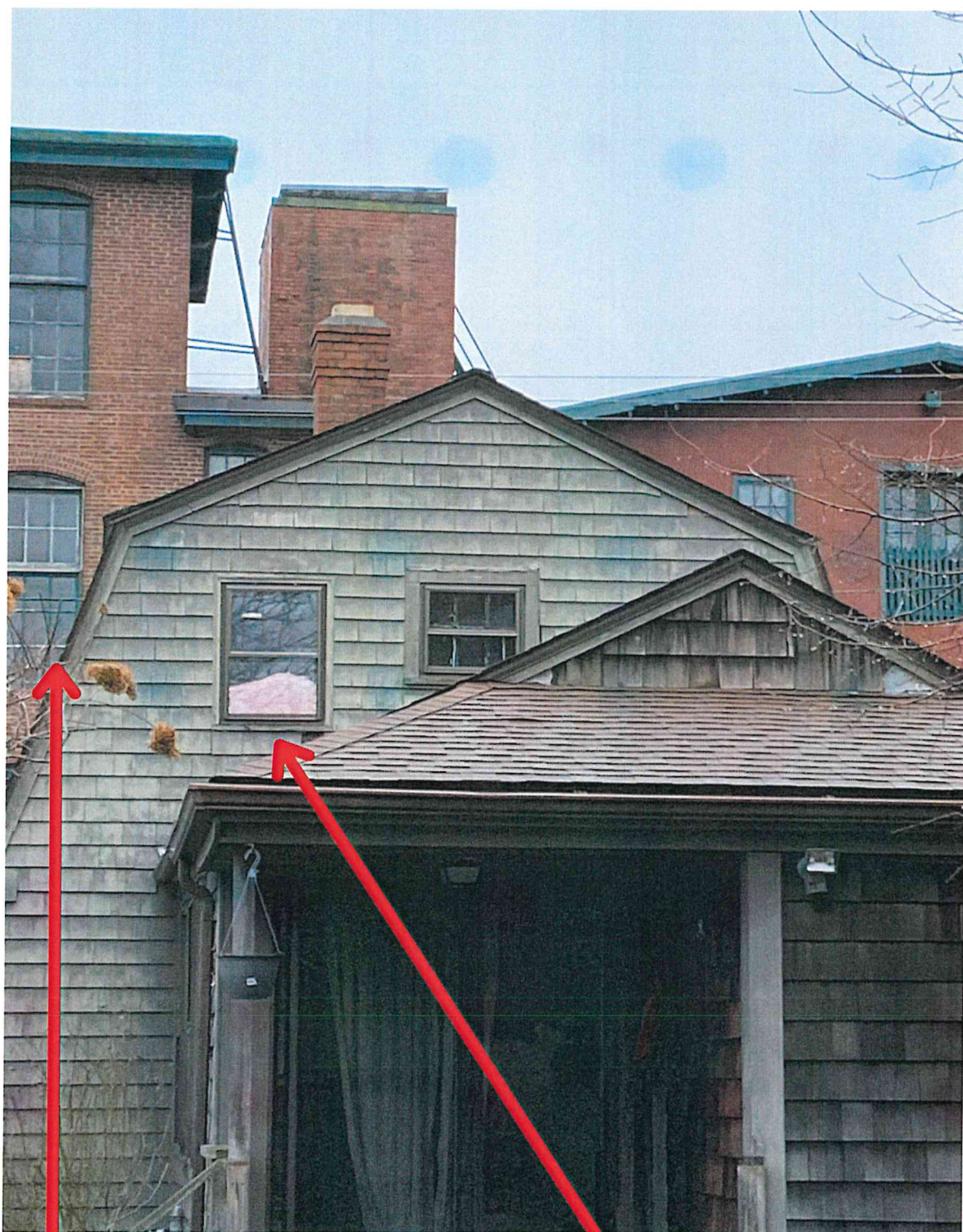
Dormer Locations & Examples



North elevation dormers will be centered between the first-floor windows. Each dormer will include one double-hung window.



South elevation dormer will be located on the right rear of the gambrel roof and include two windows.



South elevation dormer
added here

Window to be removed &
covered



Example of south elevation dormer



Example of north elevation dormers. Each north elevation dormer at 82 Thames Street will include only one window.



FEATURES OF THE ULTIMATE WOOD DOUBLE HUNG WINDOW

- Available in heights up to 8 feet or widths up to 4 feet
- Multiple design options and woods available to match historical aesthetics and design requirements
- Also available as a round top, single hung, stationary transom or picture window
- Unique wash mode allows cleaning of both sides of glass from indoors
- Available with IZ3 coastal/hurricane certification







BRISTOL HISTORIC DISTRICT COMMISSION

APPLICATION FOR REVIEW OF PROPOSED WORK

Paid
2/4
#23-005

1. Property Address (Street & No.) 44-46 State Street

2. Plat # _____ Lot # _____ Contributing _____ Non-Contributing _____

3. a. Applicant: Nicole and Matthew Martel

Mailing Address: 167 Touisset Rd.

Phone: Day 650-451-8014 Evening same

b. Owner (if different from applicant written authorization of owner required): _____

Mailing Address: _____

Phone: Day _____ Evening _____

4. a. Architect/Draftsman: _____

Address: _____

Phone: Day _____ Evening _____

b. Contractor: Matthew Martel- Wescott Building

Address: Maple Ave. Barrington RI

Phone: Day 401-301-0955 Evening Same

5. Work Category: x Replacing in-kind* *authorization required* _____

_____ New Structure(s) _____ Partial Demolition of Structure(s)

_____ Addition to Structure(s) _____ Total Demolition of Structure(s)

x Remodeling of Structure _____ Sign(s) / Landscaping Features

6. Description of proposed work: 1) Update on abandoned deteriorating chimney removal

2) Replacement of 12 windows (one of which needs to be done to meet egress code)

3) Replace wall unit AC with mini-split 4) In-kind repair and replacements in breezeway, side door

and exterior paint - See table of contents for more detailed descriptions

*All changes must match the existing in materials, design and configuration.

2023 FEB 10 PM 2:50

TOWN OF BRISTOL
COMMUNITY DEV.

(Continued): _____

_____ ☐ ☐ Check here if

continued on additional sheets.

7. Included with the application (check those applicable):

PHOTOGRAPHS: Please label all photographs submitted.

☒ Overall view of property from street(s) ☒ Overall views of building

☒ Existing details to be altered by work

_____ Other (Identify) _____

Drawings: Maximum size accepted: 11" x 17"

☒ Site Plan(s) (drawn to scale) _____ Floor plan(s) (drawn to scale)

_____ Exterior Elevations _____ Details

OTHER: ☒ Renderings ☒ Catalogue Cuts ☒ Specifications

_____ Other (Identify) _____

Nicole Martel

Applicant's Name – Printed

Nicole Martel

Applicant's Signature

Date: 2/13/2023

Contact Person if other than Applicant:

Name (Printed): _____

Phone: Day _____ Evening _____

A Certificate of Appropriateness (Green Sheet) is valid for one year from the date of issuance.

Note: If work on a project has started within twelve months of its approval date, you have as long as is necessary to finish the job (in other words, longer than a year).



Bristol

(Summary Data - may not be Complete Representation of Property)



Parcel: 10 2	Location: 44 STATE ST	Owner: 1719 PROJECT LLC	
Account: 490	User Acct:	LUC: 04 - Combo	Zoning: D

Parcel Values

Total: \$387,600	Land: \$225,400	Land Area: 0.138 AC	Building: \$162,200	Assessed: \$387,600
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Sales Information

Book and Page	Instrument Type	Date	Price	Grantor
2197-192	Warranty	12/15/2022	\$510,000	STONE FAMILY ASSOCIATES
557-75	Warranty	10/25/1995	\$0	LEHRER, FRED LOIS ET AL

Building Type: Mixed Use	Year Built: 1719	Grade: Q4	Condition: AV
Heat Fuel: Gas	Heat Type: BB Hot Water	% Air Conditioned: 0.00	Fireplaces: 2
Exterior Wall: Wood Shingle	Bsmnt Garage: 0	Roof Cover: Asphalt Shingle	# of Units: 2
# of Rooms: 6	# of Bedrooms: 4	Full Bath: 1	1/2 Baths: 1

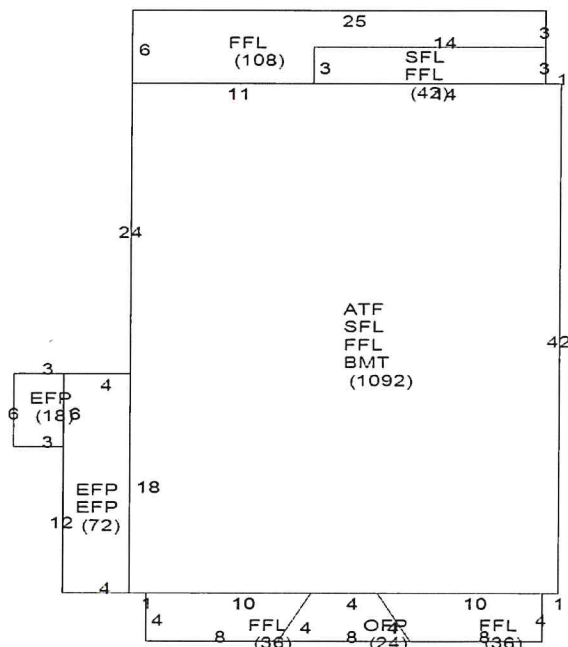
Yard Item(s)

Description	Quantity	Size	Year	Condition	Quality	Value
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Building Areas

Area	Net Area	Finished Area
1st FLOOR	1,314 SF	1,314 SF
2nd FLOOR	1,134 SF	1,134 SF
BASEMENT	1,092 SF	0 SF
ENCLOSED PORCH	162 SF	0 SF
FINISHED ATTIC	436.8 SF	436.8 SF
OPEN PORCH	24 SF	0 SF

Disclaimer: This information is for tax
assessing purposes
and is not warranted



44-46 State Street | Nicole and Matthew Martel

March 2nd Application Review Meeting

- Topic #1- ABANDONED CHIMNEY REMOVAL Pages -2-4

Remove a deteriorating abandoned that runs through the roof. The current condition is an **immediate health and safety concern**. Photos and structural assessment included. Reviewed and approved by Stephen Greenleaf as an "emergency removal"

- Topic #2- WINDOW REPLACEMENTS 2ND & 3RD FLOOR ... Pages -5-19

The windows on the 2nd and 3rd floor cannot reliably stay open without a stick to support them which is a safety concern. Many of the glass panes have been replaced due to breakage over the years. Our proposal is to install **Anderson Woodwright** replacement windows, **wood frame with full divided lights, 6 over 6** as a replacement that will be suitable to maintain the historic look of the building, enhance safety, provide energy efficiency and allow for the removal of the storm windows . Photos and specs attached

While replacing the all windows of the 2nd and 3rd floor, we are proposing the **back window** as the **best means of egress to comply with fire code (upon review with building inspector)**. Photos and specs attached.

- Topic #3- REPLACE WALL AC UNIT WITH MINI SPLIT ... Pages -20- 28

The current wall AC unit on the west side of the property is very visible. Replacing this with a mini split will allow for a **less obvious method of heating and cooling on the first floor**. Site plans and images are attached to explain our proposal

- Topic #4- REPAIRS, REPLACEMENTS IN-KIND, RESTORATION

- 1) East side exterior door will be stripped, refinished, glass panes replaced and the reinstalled. See photos for details ... Pages - 29
- 2) Rear Breezeway repairs:
Remove clap board and replace in kind in order to repair broken rotting boards ... Pages - 30
and plant infiltration. See photos for details
- 3) Exterior Painting/ Rot repair. Replacements with in-kind materials

44-46 State Street | Nicole and Matthew Martel

Topic #1- Abandon Chimney Removal



S. Hughes Engineering LLC
Contractor Support Specialist
Email: scott.hughes11@gmail.com
Phone: 401-263-7724

January 17, 2023

Matt Martel
46 State Street
Bristol, RI

Sent via email to: Matelremodeling@yahoo.com

To Whom It May Concern:

As requested, S. Hughes Engineering LLC inspected the as-built conditions of the existing chimney located on the 2nd floor of 46 State Street in Bristol, Rhode Island. Due to the deteriorated condition of the brick and mortar joints, the chimney shall be removed in its entirety.

Please do not hesitate to contact the undersigned if there are any further questions.

Very Truly yours,
S. Hughes Engineering, LLC

Scott G. Hughes, RI PE #13801
Principal

44-46 State Street | Nicole and Matthew Martel

Topic #1- Abandon Chimney Removal

CURRENT CONDITION- HEALTH AND SAFETY ISSUE



44-46 State Street | Nicole and Matthew Martel

Topic #1- Abandon Chimney Removal

EXTERIOR VIEW



44-46 State Street | Nicole and Matthew MartelTopic #2- Window Replacements 2nd and 3rd Floor - Photos

Location: 2nd floor West Side

Window pane has been replaced due to breakage over the years. The current bottom panel is cracked and does not match the 6 over 6 divided lights. There are no window weights to keep the window open and they can not be added.

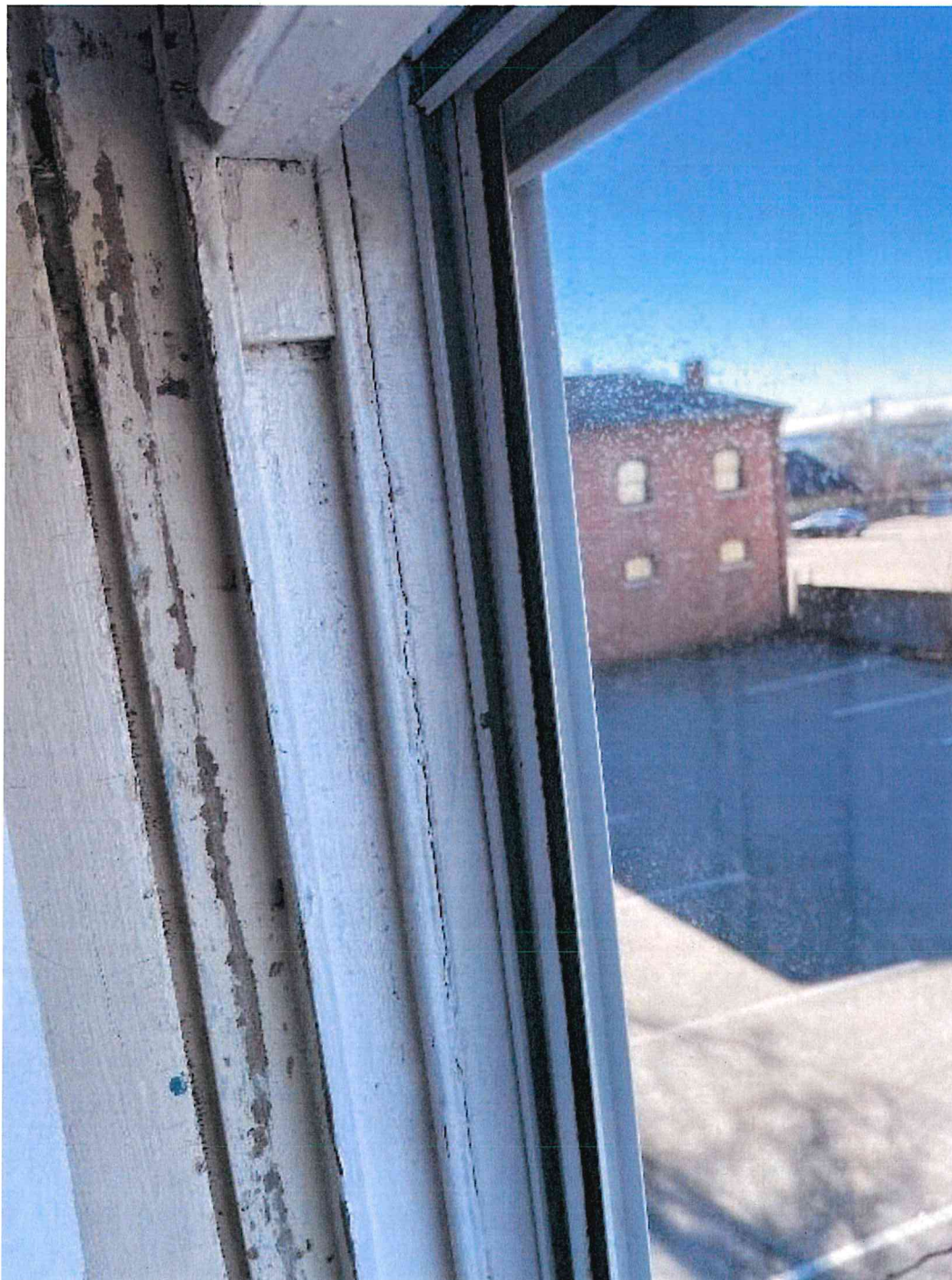
44-46 State Street | Nicole and Matthew MartelTopic #2- Window Replacements 2nd and 3rd Floor - Photos

Location: 2nd Floor West Side

Many of the windows are missing window stops as seen above

44-46 State Street | Nicole and Matthew Martel

Topic #2- Window Replacements 2nd and 3rd Floor- Photos



Location: 2nd Floor West Side

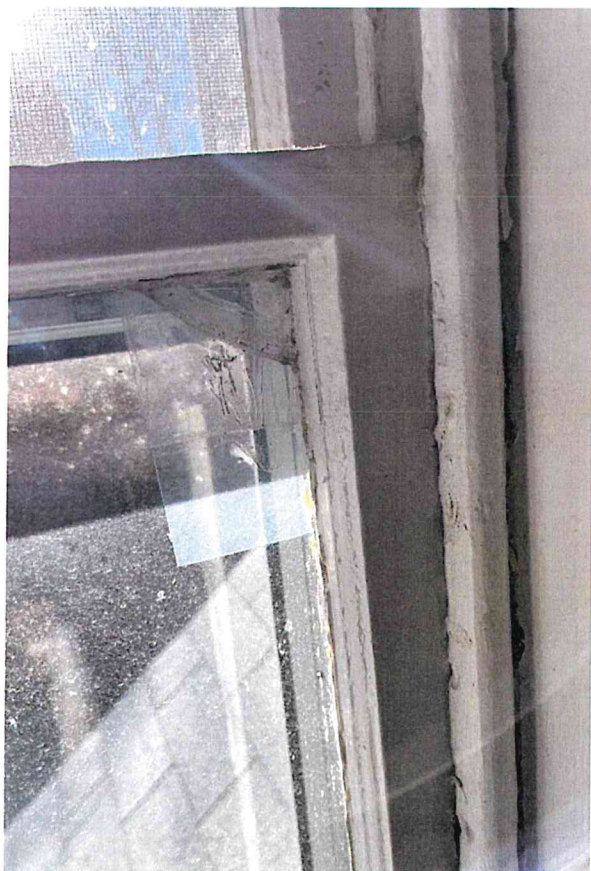
Top sashes on all window are fixed, preventing the window from opening

44-46 State Street | Nicole and Matthew Martel

Topic #2- Window Replacements 2nd and 3rd Floor- Photos

Location: 3rd Floor Rear

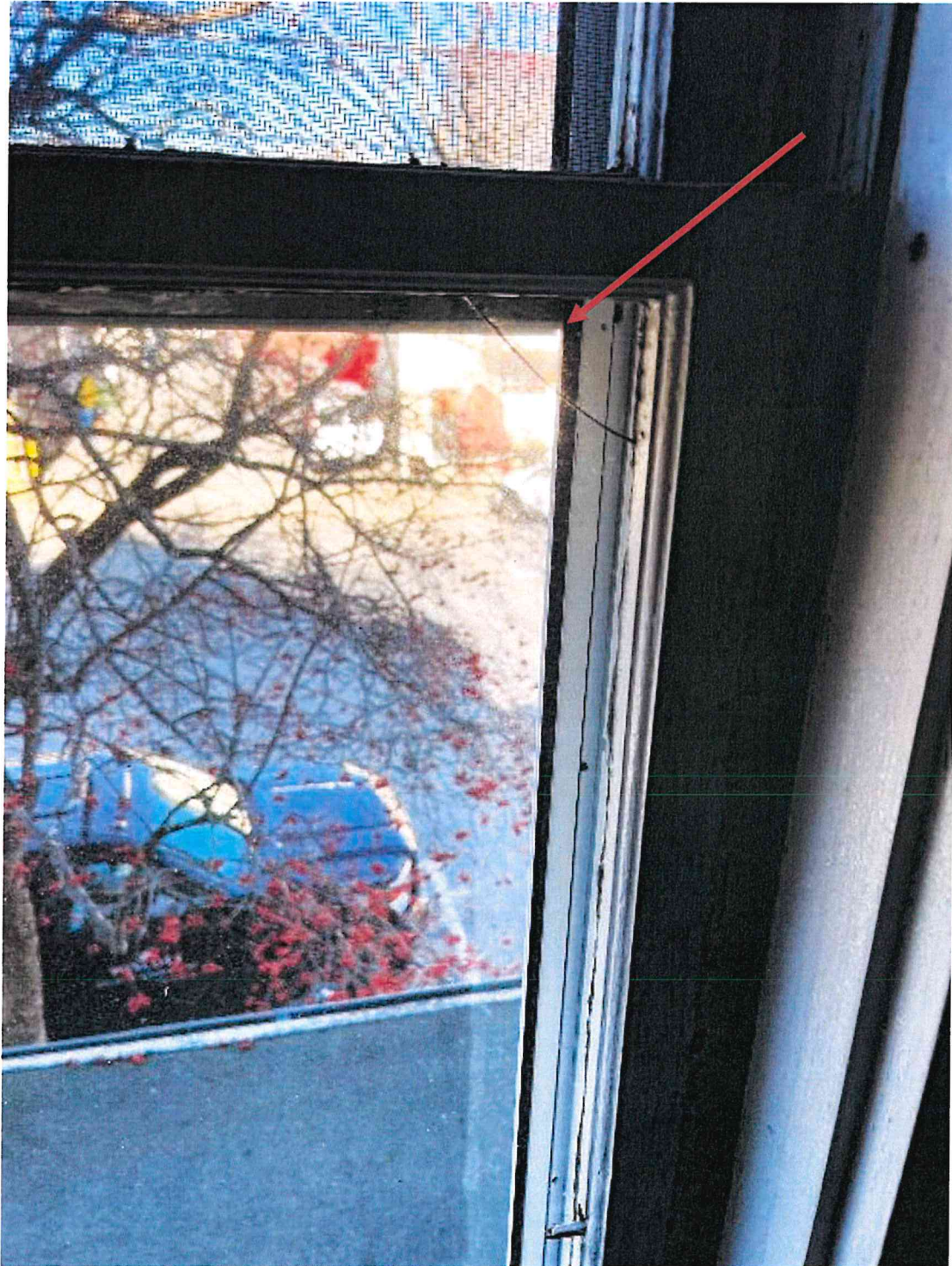
Breakage over the years. Tape holding glass together. There are no window weights to keep the window open and they can not be added.



44-46 State Street | Nicole and Matthew Martel

Topic #2- Window Replacements 2nd and 3rd Floor- Photos

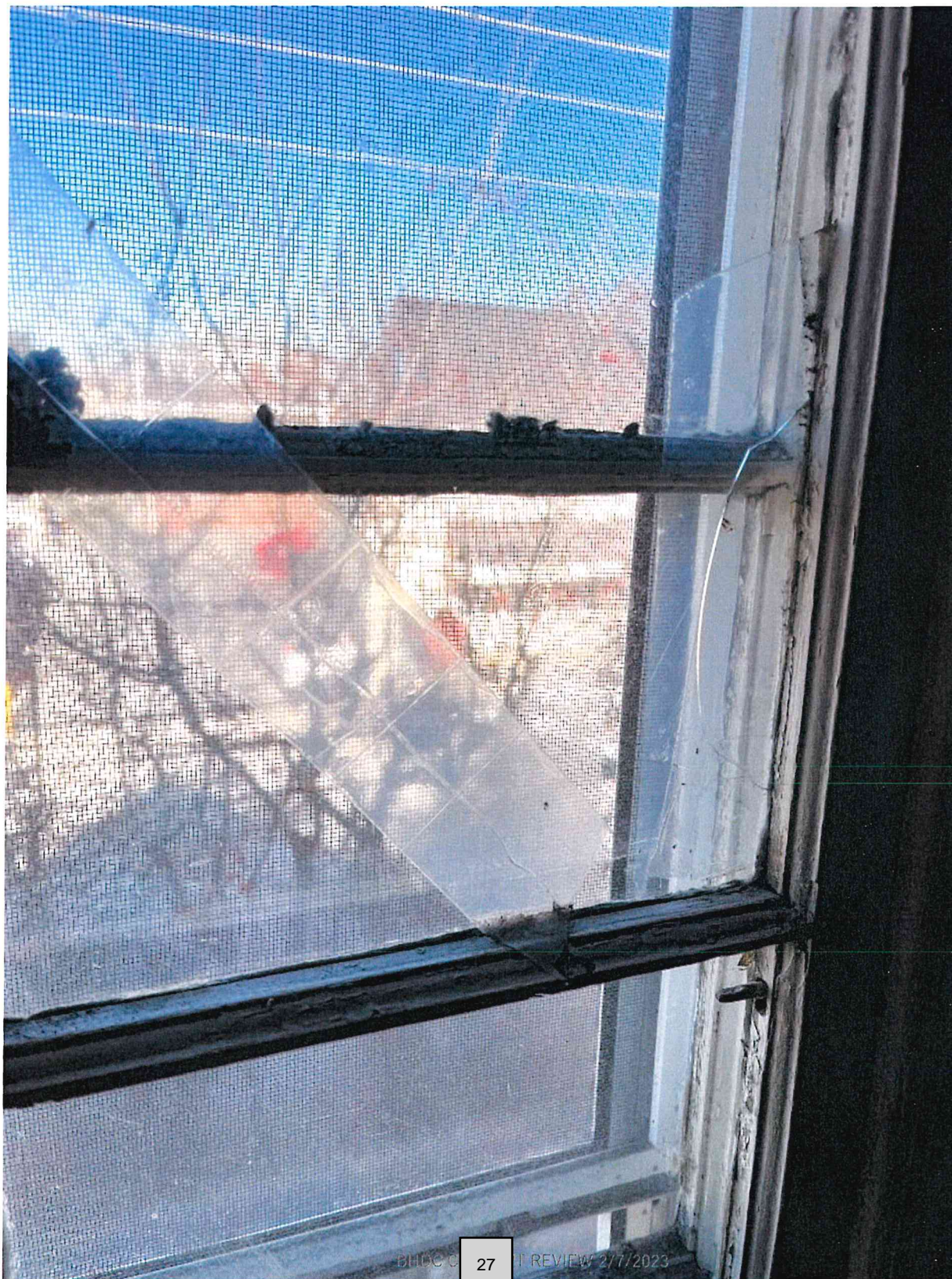
Location: 3rd Floor Front

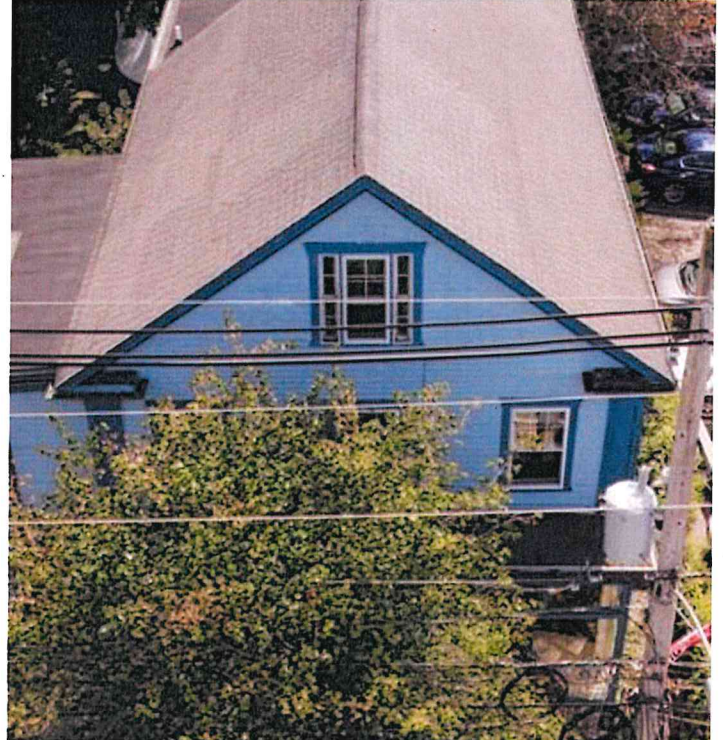


44-46 State Street | Nicole and Matthew Martel

Topic #2- Window Replacements 2nd and 3rd Floor- Photos

Location: 3rd Floor Front



44-46 State Street | Nicole and Matthew MartelTopic # 2- 3rd Floor Window Replacements– Photos

Location: 3rd floor front

Original fixed sidelights are undamaged. Propose replacement for the center window only.

See Specs on page 16

44-46 State Street | Nicole and Matthew Martel

Topic #2- Window Replacements Recommendation

ANDERSON 400 SERIES WOODWRIGHT FEATURES

WOODWRIGHT® DOUBLE-HUNG INSERT WINDOWS

FEATURES

FRAME

A A Fibrex® material exterior protects the frame – beautifully. Best of all, it's low maintenance and never needs painting.

B For exceptional long-lasting performance, sill members are constructed with a wood core and a Fibrex material exterior.

C Natural wood stops are available in pine, maple, oak and prefinished white. Wood jamb liners add beauty and authenticity to the window interior.

D Multiple weatherstrip systems help provide a barrier against wind, rain and dust. The combination of spring-tension vinyl, rigid vinyl and flexible bulb weatherstrip is efficient and effective.

E Exterior stop covers are specially designed to allow easy application of high-quality sealant.

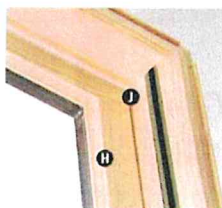
3 1/2" (83) "pocket window" jamb depth allows convenient replacement without disturbing interior window trim for most double-hung replacement situations.

F For units with white exterior color, the exterior jamb liner is white. For all other units, the exterior jamb liner is gray.

SASH

G Balancers in the sash enable contractors to screw through the jamb during installation without interfering with the window's operation.

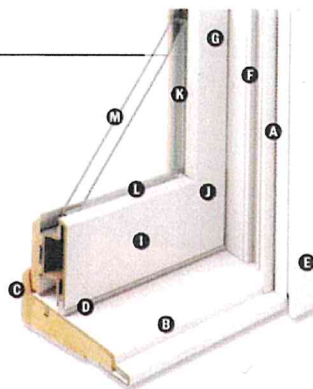
Wood Jamb Liner



H Natural wood sash interior with classic chamfer detailing. Available in pine, maple, oak or prefinished white.

I Low-maintenance sash exterior provides long-lasting protection and performance. Sash exteriors on most units include Fibrex material.

J Sash joints simulate the look of traditional mortise-and-tenon construction inside and out.



GLASS

K In addition to stainless steel glass spacers, black or white glass spacers are now available to allow the spacer to blend in with the unit color.

L Silicone bed glazing provides superior weathertightness and durability.

M High-Performance options include:

- Low-E4® glass
- Low-E4 HeatLock® glass
- Low-E4 SmartSun™ glass
- Low-E4 SmartSun HeatLock glass
- Low-E4 Sun glass

Tempered and other glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction, and simplifies finishing at the job site.

Patterned Glass

Patterned glass options are available. See page 12 for more details.

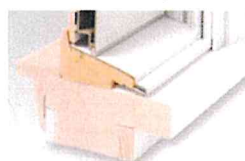
HARDWARE



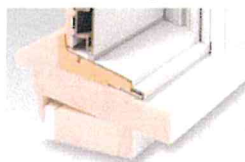
Standard lock and keeper design provides an easy tilt-to-clean feature integrated into the lock.

SILL ANGLES

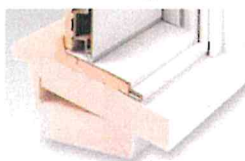
Three sill angles are available – 0°, 8° and 14° – to closely match the existing sill in window replacement applications. See page 71 for details.



0° Sill Angle



8° Sill Angle



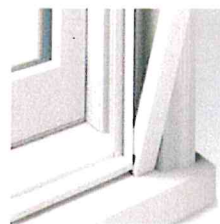
14° Sill Angle

Sill Angle Finder App

Our Sill Angle Finder App lets you quickly and easily find the sill angle of existing double-hung windows. Available for free for both iPhone® and Android™ smartphones. Download the app for iPhone from the App Store™ or for Android smartphones from the Google Play Store. The app is only available for smartphones, as tablets and other large devices are too bulky for measuring window sill angles.

INSTALLATION

Exterior Stop Cover



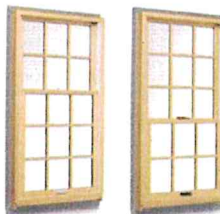
An exterior stop cover provides a clean transition from the new window to the existing window casing.

Included Installation Materials



Flat self-hanging shims, backer rod, installation screws and complete instructions are included with each insert window. See the measurement guide and worksheet at andersenwindows.com/measure.

SASH OPTIONS**



Cottage

Reverse Cottage

44-46 State Street | Nicole and Matthew Martel

Topic #2- Window Replacements Recommendation

ANDERSEN 400 SERIES WOODWRIGHT- CUSTOMIZABLE OPTIONS



400 SERIES

EXTERIOR & INTERIOR OPTIONS

EXTERIOR COLORS



INTERIOR OPTIONS



HARDWARE



Standard Lock & Keeper

Antique Brass | **Black** | Bright Brass
Brushed Chrome | Distressed Bronze
Distressed Nickel | Gold Dust
Oil Rubbed Bronze | Polished Chrome
Satin Nickel | Stone | White

OPTIONAL HARDWARE Sold Separately

CONTEMPORARY



Bar Lift

Available in all hardware finishes.
Shown in **Distressed Nickel**

ESTATE™



Hand Lift



Finger Lifts

Antique Brass | Bright Brass
Brushed Chrome | Distressed Bronze
Distressed Nickel | Oil Rubbed Bronze
Polished Chrome | **Satin Nickel**

TRADITIONAL



Bar Lift



Hand Lift



Finger Lifts

Antique Brass | **Black** | Bright Brass | Brushed Chrome
Distressed Bronze | Distressed Nickel | Gold Dust | **Oil Rubbed Bronze**
Polished Chrome | Satin Nickel | Stone | White

CLASSIC SERIES™



Bar Lift



Hand Lift



Finger Lifts

Stone | **White**

Bold name denotes finish shown.

HARDWARE FINISHES



ACCESSORIES Sold Separately

FRAME

Wood Interior Stop



Optional interior stop with matching chamfer is available.

SASH

Window Opening Control Device



A window opening control device is available, which limits sash travel to less than 4" (102) when the window is first opened. Available factory applied, or as a field-applied kit in stone or white.

INSTALLATION

Coil Stock



Andersen® aluminum coil stock can be ordered to match any of our 11 trim colors. Made from .018" thick aluminum, Andersen coil stock is available in 24" (610) x 50' (15240) rolls. Color-matched 1 1/4" (32)-long stainless steel trim nails are also available and can be ordered in 1 lb./454 kg boxes.

*TruScene insect screens let in over 25% more fresh air than standard Andersen fiberglass insect screens.

Dimensions in parentheses are in millimeters.

Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples.

Naturally occurring variations in grain, color and texture of wood make each window one of a kind. All wood interiors are unfinished unless a finish is specified.

Distressed bronze and oil rubbed bronze are "living" finishes that will change with time and use.

INSECT SCREENS

Insect Screen Frames



Choose full insect screen or half insect screen. Half insect screen (shown above) allows ventilation without affecting the view through the upper sash. Frames are available in colors to match product exteriors.

TruScene® Insect Screens

Andersen TruScene insect screens let in over 25% more fresh air* and provide 50% greater clarity than conventional Andersen insect screens, all while keeping out unwanted small insects.

Conventional Insect Screens

Conventional insect screens have charcoal powder-coated aluminum screen mesh.

GRILLES

Grilles are available in a variety of configurations and widths. For double-hung grille patterns, see page 72.

CAUTION

- Painting and staining may cause damage to rigid vinyl.
- 400 Series windows in Terratone color may be painted any color lighter than Terratone color using quality oil-based or latex paint.
- Do not paint 400 Series windows in white, carvas, Sandstone, dark bronze, forest green, or black exterior colors.
- Andersen does not warrant the adhesion or performance of homeowner applied paint over vinyl or other factory-coated surfaces.
- For vinyl painting instructions and preparation, contact your Andersen supplier.
- Do not paint weatherstrips.
- Crescent-based stains should not come in contact with Andersen products.
- Abrasive cleaners or solutions containing caustic solvents should not be used on Andersen products.

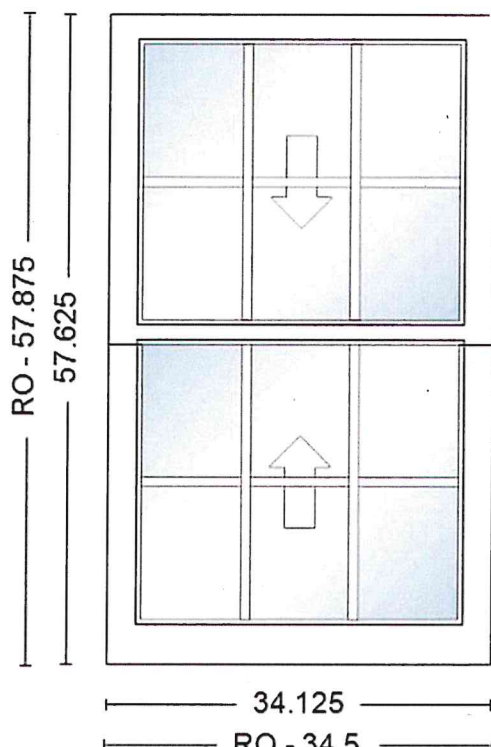
400 Series Woodwright®
Double-Hung Insert
Windows

44-46 State Street | Nicole and Matthew Martel

Topic #2- Window Replacements 2nd Floor- Spec Sheets



400 SERIES WOODWRIGHT® DOUBLE-HUNG WINDOW



BEST SELLING

The classic double-hung window

This timeless window is a best-seller for historic renovations. It offers a traditional wood interior while featuring our innovative Fibrex® material, so you get a historic look that never looks "old."

QTY 9

Location: 2nd Floor

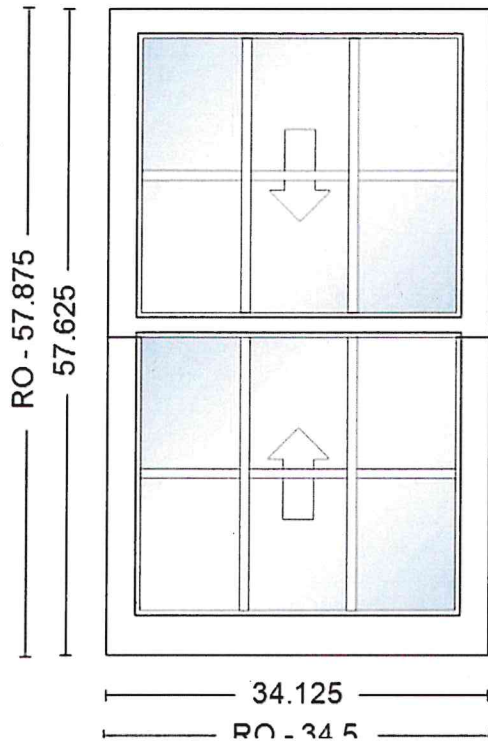
- White Exterior Frame, White Exterior Sash/Panel, Pine w/White - Painted Interior Frame Pine w/White - Painted Interior Sash/Panel
- Dual Pane Low-E4 Standard
- Full Divided Light (FDL) 3 Wide, 2 High, Specified Equal Light Pattern,
- White, Pine w/White, 3/4" Grille Bar, Stainless Glass / Grille Spacer, 1 Sash Locks White, White/White Jamb Liner,
- Full Screen, Aluminum Insect Screen

44-46 State Street | Nicole and Matthew Martel

Topic #2- Window Replacements 2nd Floor- Spec Sheets



400 SERIES WOODWRIGHT® DOUBLE-HUNG WINDOW



BEST SELLING

The classic double-hung window

This timeless window is a best-seller for historic renovations. It offers a traditional wood interior while featuring our innovative Fibrex® material, so you get a historic look that never looks "old."

QTY 1

Location: 2nd Floor

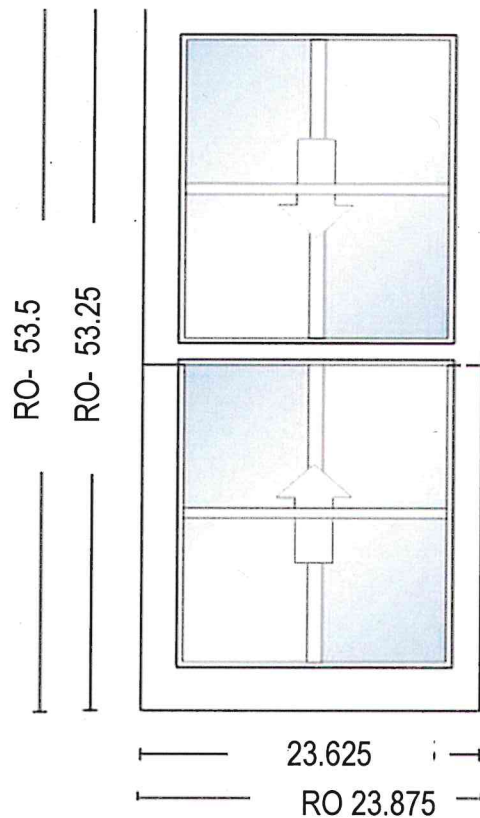
- White Exterior Frame, White Exterior Sash/Panel, Pine w/White - Painted Interior Frame Pine w/White - Painted Interior Sash/Panel
- Dual Pane Low-E4 Standard
- Full Divided Light (FDL) 3 Wide, 2 High, Specified Equal Light Pattern,
- White, Pine w/White, 3/4" Grille Bar, Stainless Glass / Grille Spacer, 1 Sash Locks White, White/White Jamb Liner,
- Full Screen, Aluminum Insect Screen

44-46 State Street | Nicole and Matthew Martel

Topic #2- Window Replacements 3rd Floor Front Window- Spec Sheets



400 SERIES WOODWRIGHT® DOUBLE-HUNG WINDOW



QTY 1

Location: 3rd Floor Front

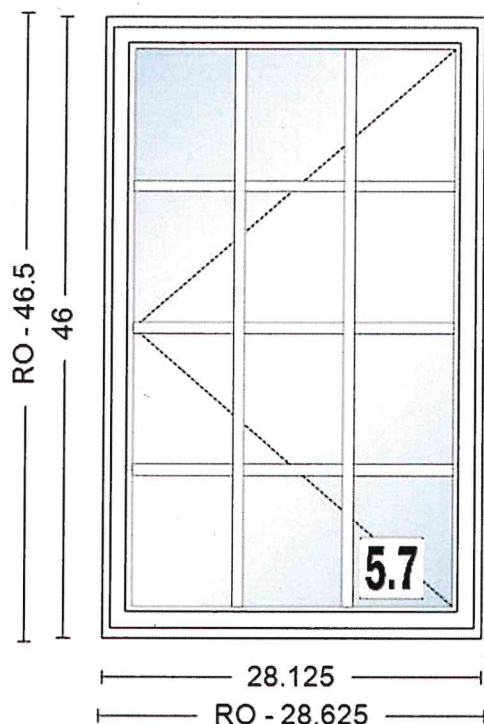
- White Exterior Frame, White Exterior Sash/Panel, Pine w/White Painted Interior Frame, Left, Hinge for Widest Clear Opening
- Dual Pane Low-E4 Standard Series Argon Fill Full Divided Light (FDL) 2 Wide, 4 High, Specified Equal Light Pattern, White, Pine w/White, Chamfer Exterior Grille Bar/ Chamfer Interior Grille Bar, 3/4" Grille Bar, Traditional Trim Stop Profile Stainless Glass / Grille Spacer,
- Traditional Folding, White, Corrosion Resistant Hardware, White, Full Screen, Aluminum Hardware

44-46 State Street | Nicole and Matthew Martel

Topic #2- Window Replacements 3rd Floor Rear Window- Spec Sheets



400 SERIES WOODWRIGHT® CASEMENT WINDOW



QTY 1

Location: 3rd Floor Rear

Egress Compliant

- White Exterior Frame, White Exterior Sash/Panel, Pine w/White Painted Interior Frame,
- Left, Hinge for Widest Clear Opening
- Dual Pane Low-E4 Standard
- Full Divided Light (FDL) 3 Wide, 4 High, Specified Equal Light Pattern, White, Pine w/White, Chamfer Exterior Grille Bar/ Chamfer Interior Grille Bar, 3/4" Grille Bar, Traditional Trim Stop Profile
- Corrosion Resistant Hardware,
- Full Screen
- Aluminum Hardware

See next topic to address egress in addition to replacement on the 3rd floor

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Topic #2- 3rd Floor Window Replacements with Egress - Photos

REAR EGRESS



28 x 46 window 3rd floor rear- Propose to change to casement- See spec on page 17



View from the 2nd floor roof

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Topic #2- 3rd Floor Window Replacements with Egress - Photos

REAR EGRESS OPTION

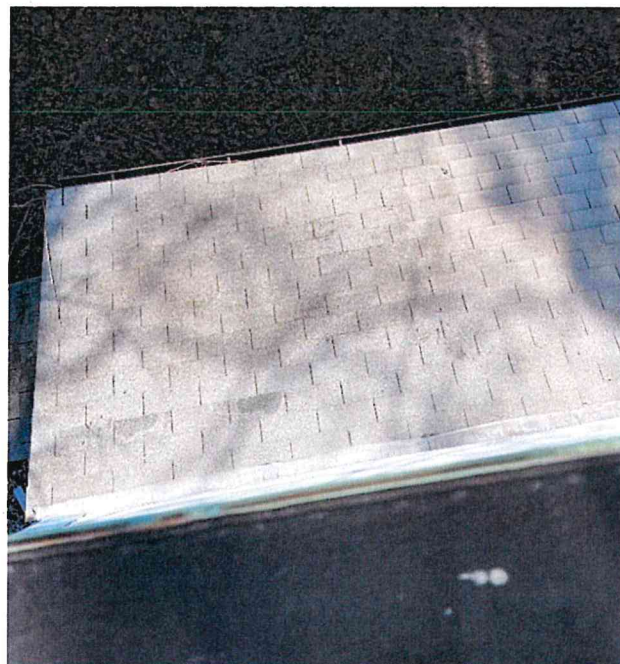


124" drop 2nd floor roof to 1st floor roof



16" Drop from window to 2nd floor roof

View from the 2nd floor roof looking down to the 1st floor roof



44-46 State Street | Nicole and Matthew Martel

Topic #3- Replace Wall Mounted AC with Mini Split



- Remove the wall AC and replace with in-kind planks, painted to match
- Add mini split to back west corner, conceal with climbing vines on the chain link fence
- Exterior piping will be painted the home body color to blend in

Mini split
location. See
Site plan

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Topic #3- Replace Wall Mounted AC with Mini Split

Site Plan Placeholder- Attached separately

44-46 State Street | Nicole and Matthew Martel

Topic #3- Replace Wall Mounted AC with Mini Split

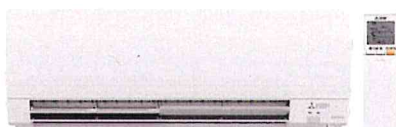
MSZ-FS18NA & MUZ-FS18NA
18,000 BTU/H DELUXE WALL-MOUNTED INDOOR UNIT
18,000 BTU/H HYPER-HEATING OUTDOOR UNIT



Job Name:

System Reference:

Date:



Indoor Unit.....MSZ-FS18NA

Outdoor Unit.....MUZ-FS18NA



INDOOR UNIT FEATURES

- Slim wall-mounted indoor units provide zone comfort control
- Dual Barrier Coating applied to the heat exchanger, vanes and fan to prevent hydrophilic and hydrophobic dirt build-up
- Multiple fan speed options: Quiet, Low, Medium, High, Super-high, Auto
- 3D i-see Sensor® enables advance features:
 - Indirect or Direct Airflow for personalized comfort
 - Absence Detection for energy-saving mode
- Double Vane features:
 - Separates airflow to deliver air across a large area
 - Simultaneously deliver to air separate sections of a room
 - Generates more comfortable natural airflow pattern
- Multiple control options available:
 - Back-lit screen handheld remote controller (provided with unit)
 - kumo cloud® smart device app for remote access
 - Third-party interface options
 - Wired or wireless controllers
- Triple-action Filtration: Nano Platinum Filter, Deodorizing Filter, & Electrostatic Anti-Allergy Enzyme Filter
- Hot-Start Technology: no cold air rush at equipment startup or when restarting after Defrost Cycle
- Quiet operation

OUTDOOR UNIT FEATURES

- INVERTER-driven compressor and LEV provide high efficiency and comfort while using only the energy needed to maintain maximum performance
- H2i plus™ performance offers 100% heating capacity at -5° and 70% to 81% heating capacity at -13° F
- Blue Fin anti-corrosion treatment applied to the outdoor unit heat exchanger for increased coil protection and longer life

44-46 State Street | Nicole and Matthew Martel

Topic #3- Replace Wall Mounted AC with Mini Split

SPECIFICATIONS: MSZ-FS18NA & MUZ-FS18NA

Cooling at 95°F ¹	Maximum Capacity	BTU/H	21,000
	Rated Capacity	BTU/H	17,200
	Minimum Capacity	BTU/H	6,450
	Maximum Power Input	W	2,220
	Rated Power Input	W	1,375
	Moisture Removal	Pints/h	4.8
	Sensible Heat Factor		0.69
Heating at 47°F ²	Power Factor [208V / 230V]	%	98.0 / 98.0
	Maximum Capacity	BTU/H	30,000
	Rated Capacity	BTU/H	19,000
	Minimum Capacity	BTU/H	5,150
	Maximum Power Input	W	4,000
	Rated Power Input	W	1,610
	Power Factor [208V / 230V]	%	98.0 / 98.0
Heating at 17°F ³	Maximum Capacity	BTU/H	27,000
	Rated Capacity	BTU/H	12,800
	Maximum Power Input	W	3,700
	Rated Power Input	W	1,160
Heating at 5°F ⁴	Maximum Capacity	BTU/H	23,000
	Maximum Power Input	W	3,130
Heating at -5°F ⁵	Maximum Capacity	BTU/H	19,000
Heating at -13°F ⁷	Maximum Capacity	BTU/H	17,100
Efficiency	SEER		21.0
	EER ¹		12.5
	HSPF [IV]		12.5
	COP at 47°F ²		3.46
	COP at 17°F at Maximum Capacity ³		2.14
	COP at 5°F at Maximum Capacity ⁴		2.0
	COP at -5°F at Maximum Capacity ⁵		2.0
	COP at -13°F at Maximum Capacity ⁷		2.0
Electrical	ENERGY STAR® Certified		Yes
	Voltage, Phase, Frequency		208/230, 1, 60
	Guaranteed Voltage Range	V AC	187 - 253
	Voltage: Indoor - Outdoor, S1-S2	V AC	208/230
	Voltage: Indoor - Outdoor, S2-S3	V DC	24
	Short-circuit Current Rating [SCCR]	kA	5
	Recommended Fuse/Breaker Size (Outdoor)	A	20
	Recommended Wire Size [Indoor - Outdoor]	AWG	14
	Power Supply		Indoor unit is powered by the outdoor unit
	MCA	A	1.0
Indoor Unit	Fan Motor Full Load Amperage	A	0.65
	Fan Motor Type		DC Motor
	Airflow Rate at Cooling, Dry	CFM	225-262-304-355-437
	Airflow Rate at Cooling, Wet	CFM	194-225-261-305-376
	Airflow Rate at Heating, Dry	CFM	201-272-350-410-514
	Sound Pressure Level [Cooling]	dB(A)	27-31-35-39-44
	Sound Pressure Level [Heating]	dB(A)	25-31-37-40-46
	Drain Pipe Size	In. [mm]	5/8 [15.88]
	Coating on Heat Exchanger		Dual Barrier Coating
	External Finish Color		Munsell 1.0Y 9.2/0.2
	Unit Dimensions	W x D x H: In. [mm]	36-7/16 x 9-3/16 x 12 (+11/16) [925 x 234 x 305 (+17)]
	Package Dimensions	W x D x H: In. [mm]	39 x 12-1/4 x 15-1/2 [990 x 310 x 400]
	Unit Weight	Lbs. [kg]	29 [13.5]
	Package Weight	Lbs. [kg]	34 [15.4]
Indoor Unit Operating Temperature Range	Cooling Intake Air Temp [Maximum / Minimum]*	*F	90 DB, 73 WB / 67 DB, 57 WB
	Heating Intake Air Temp [Maximum / Minimum]	*F	80 DB / 70 DB

NOTES:

AHRI Rated Conditions

(Rated data is determined at a fixed compressor speed)

¹Cooling (Indoor // Outdoor)²Heating at 47°F (Indoor // Outdoor)³Heating at 17°F (Indoor // Outdoor)

*F 80 DB, 67 WB // 95 DB, 75 WB

*F 70 DB, 60 WB // 47 DB, 43 WB

*F 70 DB, 60 WB // 17 DB, 15 WB

Conditions

⁴Heating at 5°F (Indoor // Outdoor)

*F 70 DB, 60 WB // 5 DB, 4 WB

⁵Heating at -5°F (Indoor // Outdoor)

*F 70 DB, 60 WB // -5 DB, -6 WB

⁷Heating at -13°F (Indoor // Outdoor)

*F 70 DB, 60 WB // -13 DB, -14 WB

*Indoor/Outdoor Unit Operating Temperature Range (Cooling Air Temp [Maximum / Minimum]):

• Applications should be restricted to comfort cooling only; equipment cooling applications are not recommended for low ambient temperature conditions.

**Outdoor Unit Operating Temperature Range (Cooling Thermal Lock-out / Re-start Temperatures; Heating Thermal Lock-out / Re-start Temperatures):

• System cuts out in heating mode to avoid thermistor error and automatically restarts at these temperatures.

44-46 State Street | Nicole and Matthew Martel

Topic #3- Replace Wall Mounted AC with Mini Split

SPECIFICATIONS: MSZ-FS18NA & MUZ-FS18NA

Outdoor Unit	MCA	A	18.0
	MOCP	A	20
	Fan Motor Full Load Amperage	A	0.93
	Fan Motor Output	W	50
	Airflow Rate [Cooling / Heating]	CFM	1801 / 1949
	Refrigerant Control		LEV
	Defrost Method		Reverse Cycle
	Coating on Heat Exchanger		Blue Fin Coating
	Sound Pressure Level, Cooling ¹	dB(A)	52
	Sound Pressure Level, Heating ²	dB(A)	55
	Compressor Type		Twin Rotary
	Compressor Model		SNB172FQKMT
	Compressor Rated Load Amps	A	17
	Compressor Locked Rotor Amps	A	13.6
	Compressor Oil [Type // Charge]	oz.	FV50S // 0.40
	External Finish Color		Munsell 3Y 7.8/1.1
	Base Pan Heater		Optional
	Unit Dimensions	W x D x H: In. [mm]	33-1/16 x 13 x 34-5/8 [840 x 330 x 880]
Outdoor Unit Operating Temperature Range	Package Dimensions	W x D x H: In. [mm]	38-3/4 x 16-3/4 x 39 [980 x 420 x 990]
	Unit Weight	Lbs. [kg]	118 [53.5]
	Package Weight	Lbs. [kg]	134 [60.5]
	Cooling Air Temp [Maximum / Minimum]*	*F	115 DB / 14 DB
Refrigerant	Cooling Thermal Lock-out / Re-start Temperatures**	*F	-4 / 0
	Heating Air Temp [Maximum / Minimum]	*F	75 DB, 65 WB / -13 DB, -14 WB
	Heating Thermal Lock-out / Re-start Temperatures**	*F	-18 / -14
	Type		R410A
Piping	Maximum Charge Quantity	Lbs, oz	3.0, 7.0
	Initial Charge Quantity	Ft. [m]	25.0 [7.5]
	Additional Refrigerant Charge Per Additional Piping Length	oz./Ft. [g/m]	0.216 [20]
	Gas Pipe Size O.D. [Flared]	In.[mm]	1/2 [12.7]
Piping	Liquid Pipe Size O.D. [Flared]	In.[mm]	1/4 [6.35]
	Maximum Piping Length	Ft. [m]	100 [30]
	Maximum Height Difference	Ft. [m]	50 [15]
	Maximum Number of Bends		10

NOTES:

AHRI Rated Conditions

(Rated data is determined at a fixed compressor speed)

¹ Cooling (Indoor // Outdoor)	*F	80 DB, 67 WB // 95 DB, 75 WB
² Heating at 47°F (Indoor // Outdoor)	*F	70 DB, 60 WB // 47 DB, 43 WB
³ Heating at 17°F (Indoor // Outdoor)	*F	70 DB, 60 WB // 17 DB, 15 WB

Conditions

⁴ Heating at 5°F (Indoor // Outdoor)	*F	70 DB, 60 WB // 5 DB, 4 WB
⁴ Heating at -5°F (Indoor // Outdoor)	*F	70 DB, 60 WB // -5 DB, -6 WB
⁷ Heating at -13°F (Indoor // Outdoor)	*F	70 DB, 60 WB // -13 DB, -14 WB

*Indoor/Outdoor Unit Operating Temperature Range (Cooling Air Temp [Maximum / Minimum]):

- Applications should be restricted to comfort cooling only; equipment cooling applications are not recommended for low ambient temperature conditions.

**Outdoor Unit Operating Temperature Range (Cooling Thermal Lock-out / Re-start Temperatures; Heating Thermal Lock-out / Re-start Temperatures):

- System cuts out in heating mode to avoid thermistor error and automatically restarts at these temperatures.

44-46 State Street | Nicole and Matthew Martel

Topic #3- Replace Wall Mounted AC with Mini Split

INDOOR UNIT ACCESSORIES: MSZ-FS18NA

Control Interface	BACnet® and Modbus® Interface	PAC-UKPRC001-CN-1
	CN24 Relay Kit	CN24RELAY-KIT-CM3
	IT Extender	PAC-WHS01IE-E
	kumo station® for kumo cloud®	PAC-WHS01HC-E
	Lockdown bracket for remote controller	RCMKP1CB
	System Control Interface	MAC-334IF-E
	Thermostat Interface	PAC-US444CN-1
	Thermostat Interface	PAC-US445CN-1
	USNAP Adapter	PAC-WHS01UP-E
	Wireless Interface for kumo cloud®	PAC-USWHS002-WVF-2
Remote Sensor	Wireless temperature and humidity sensor for kumo cloud®	PAC-USWHS003-TH-1
Wired Remote Controller	Deluxe Wired MA Remote Controller†	PAR-40MAAU
	Simple MA Remote Controller†	PAC-YT53CRAU-J
	Touch MA Controller†	PAR-CT01MAU-SB
Wireless Remote Controller	kumo touch™ RedLINK™ Wireless Controller	MHK2
Condensate	Blue Diamond (Advanced) Mini Condensate Pump w/ Reservoir & Sensor (208/230V) [recommended]	X87-721
	Blue Diamond (MicroBlue) Mini Condensate Pump (110/208/230V) up to 18,000 BTU/H	X86-003
	Blue Diamond Alarm Extension Cable — 6.5 Ft.	C13-192
	Blue Diamond MultiTank — collection tank for use with multiple pumps	C21-014
	Blue Diamond Sensor Extension Cable — 15 Ft.	C13-103
	Drain Pan Level Sensor/Control	SS610E
	Fascia Kit for MicroBlue Pump, mounts the MicroBlue and sensor directly beneath indoor unit	T18-016
	Refco Condensate Pump (100-240 VAC)	GOBI-II
	Refco Condensate Pump (100-240 VAC) up to 120,000 BTU/H	COMBI
	Sauermann Condensate Pump	SI30-230
Disconnect Switch	(30A/600V/UL) [fits 2" X 4" utility box] - Black	TAZ-MS303
	(30A/600V/UL) [fits 2" X 4" utility box] - White	TAZ-MS303W
Drain Hose	Flexible Mini-Split Drain Hose	DRX-16
Filter	Electro Static Anti-allergy Enzyme Filter	MAC-2330FT-E
	Platinum Deodorizing Filter	MAC-3000FT-E
Lineset	15' x 1/4" x 15' / 1/2" Lineset (Twin-Tube Insulation)	MLS141212T-15
	30' x 1/4" x 30' / 1/2" Lineset (Twin-Tube Insulation)	MLS141212T-30
	50' x 1/4" x 50' / 1/2" Lineset (Twin-Tube Insulation)	MLS141212T-50
	65' x 1/4" x 65' / 1/2" Lineset (Twin-Tube Insulation)	MLS141212T-65

NOTES:

†Requires MAC-334IF-E

• M-Series EZ FIT® Recessed Ceiling Cassette, Floor-mount and Wall-mount

Allows indoor units to connect to an MA Controller:

Deluxe MA Remote Controller

Simple MA Controller

Touch MA Controller

44-46 State Street | Nicole and Matthew Martel

Topic #3- Replace Wall Mounted AC with Mini Split

OUTDOOR UNIT ACCESSORIES: MUZ-FS18NA

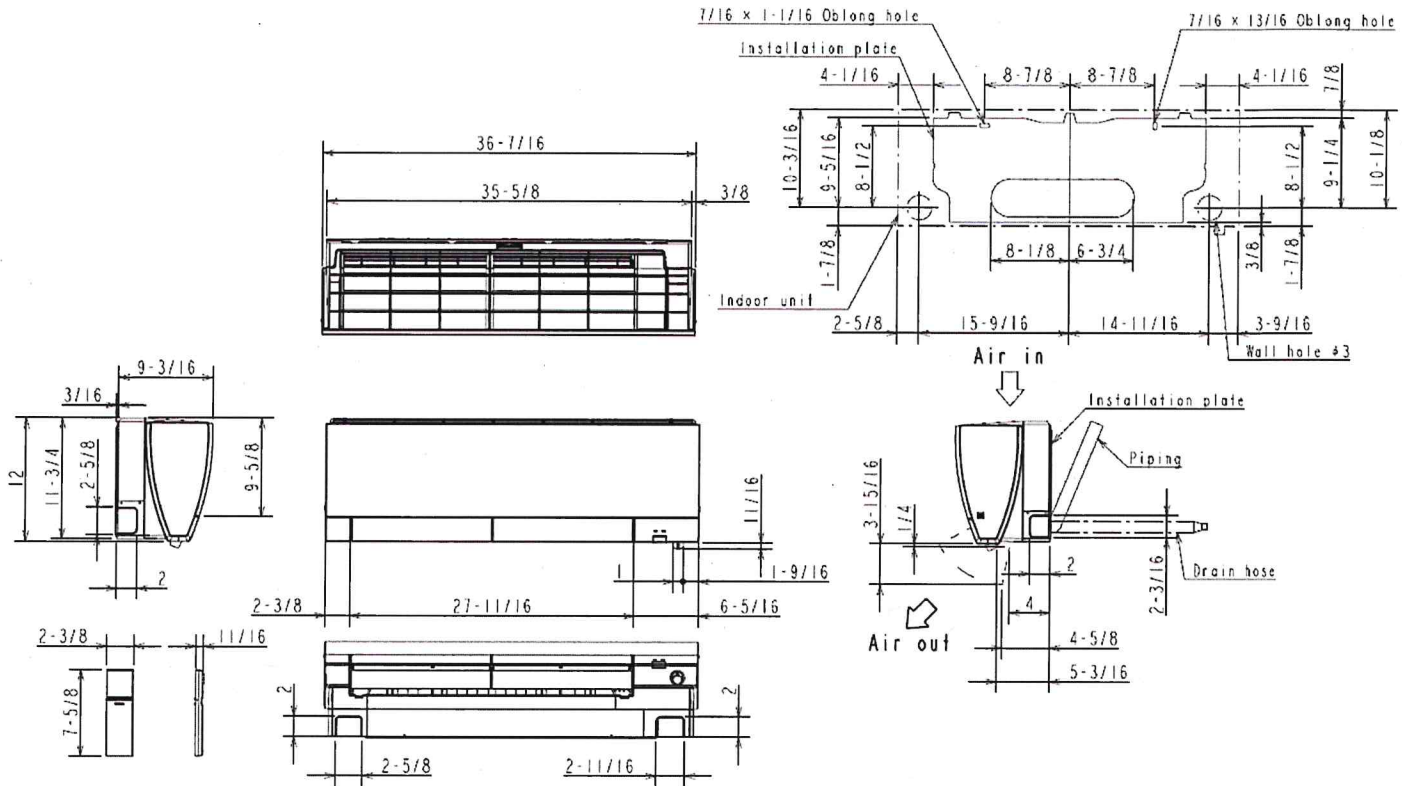
Air Outlet Guide	Air Outlet Guide	MAC-890SG-E
Control/Service Tool	M- & P-Series Maintenance Tool Cable Set	M21EC0397
	USB/UART Conversion Cable (Required for all laptop connection)	M21EC1397
Drain Socket	Drain Socket	MAC-871DS
Hail Guards	Hail Guard	HG-A7
Mini-Split Wire	14 Gauge, 4 wire MiniSplit Cable—250 ft. roll	S144-250
	14 Gauge, 4 wire MiniSplit Cable—50 ft. roll	S144-50
	16 Gauge, 4 wire MiniSplit Cable—250 ft. roll	S164-250
	16 Gauge, 4 wire MiniSplit Cable—50 ft. roll	S164-50
Mounting Pad	Condensing Unit Mounting Pad: 16" x 36" x 3"	ULTRILITE1
	Outdoor Unit 3-1/4 inch Mounting Base (Pair) - Plastic	DSD-400P
Optional Defrost Heater	Base Heater	MAC-642BH-U1
Stand	18" Single Fan Stand	QSMS1801M
	24" Single Fan Stand	QSMS2401M
	Condenser Wall Bracket	QSWB2000M-1
	Condenser Wall Bracket - Stainless Steel Finish	QSWBSS
	Outdoor Unit Stand — 12" High	QSMS1201M

44-46 State Street | Nicole and Matthew Martel

Topic #3- Replace Wall Mounted AC with Mini Split

INDOOR UNIT DIMENSIONS: MSZ-FS18NA

Unit: inch



(06/09/12 KBTU/H)

Piping	Insulation	#1-7/16 O.D.
	Liquid line	#1/4 19-11/16 (Flared connection #1/4)
	Gas line	#3/8 16-15/16 (Flared connection #3/8)
	Drain hose	Insulation #1-1/8 Connected part #5/8 O.D.

(15/18 KBTU/H)

Piping	Insulation	#1-7/16 O.D.
	Liquid line	#1/4 19-11/16 (Flared connection #1/4)
	Gas line	#3/8 16-15/16 (Flared connection #1/2)
	Drain hose	Insulation #1-1/8 Connected part #5/8 O.D.

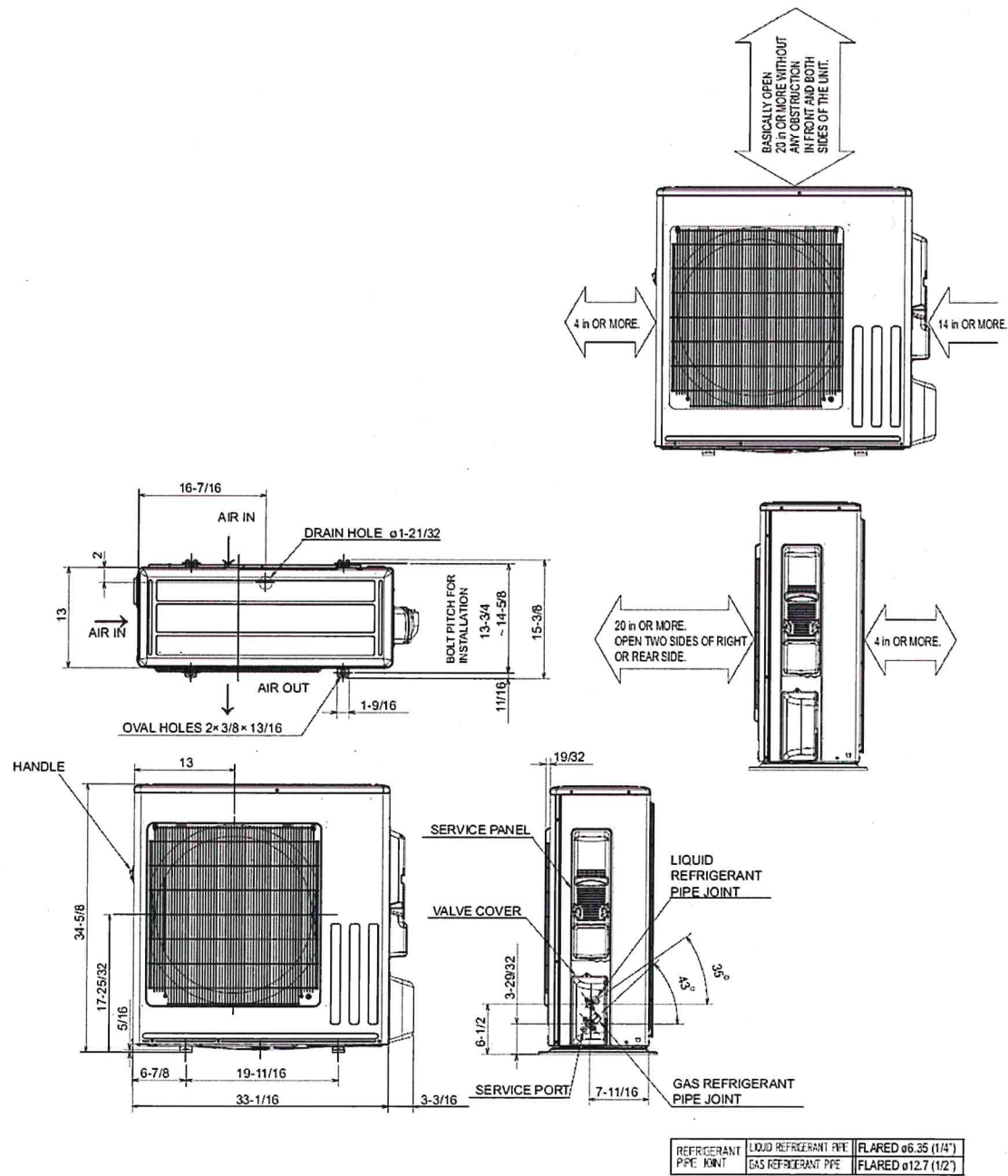
44-46 State Street | Nicole and Matthew Martel

Topic #3- Replace Wall Mounted AC with Mini Split

OUTDOOR UNIT DIMENSIONS: MUZ-FS18NA

Unit: inch

REQUIRED SPACE



44-46 State Street | Nicole and Matthew Martel

Topic #4- Exterior Door Restoration

Location: East side, facing driveway

CURRENT CONDITION

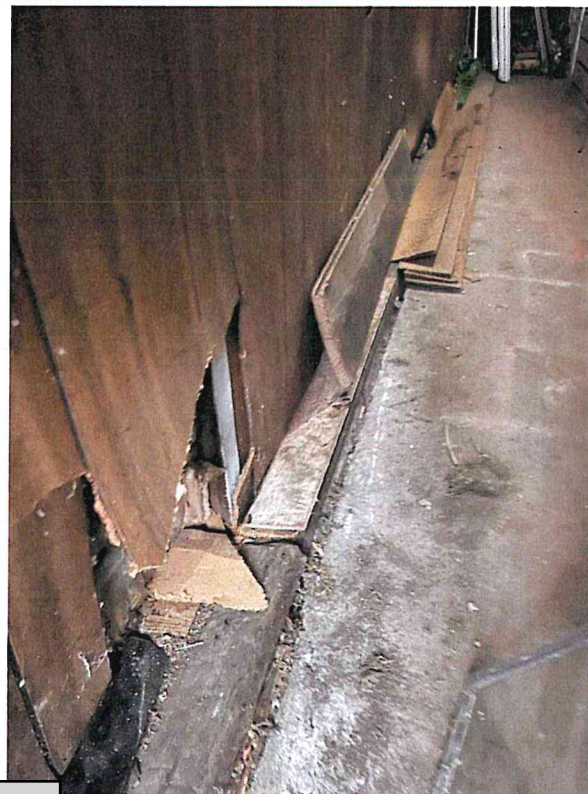


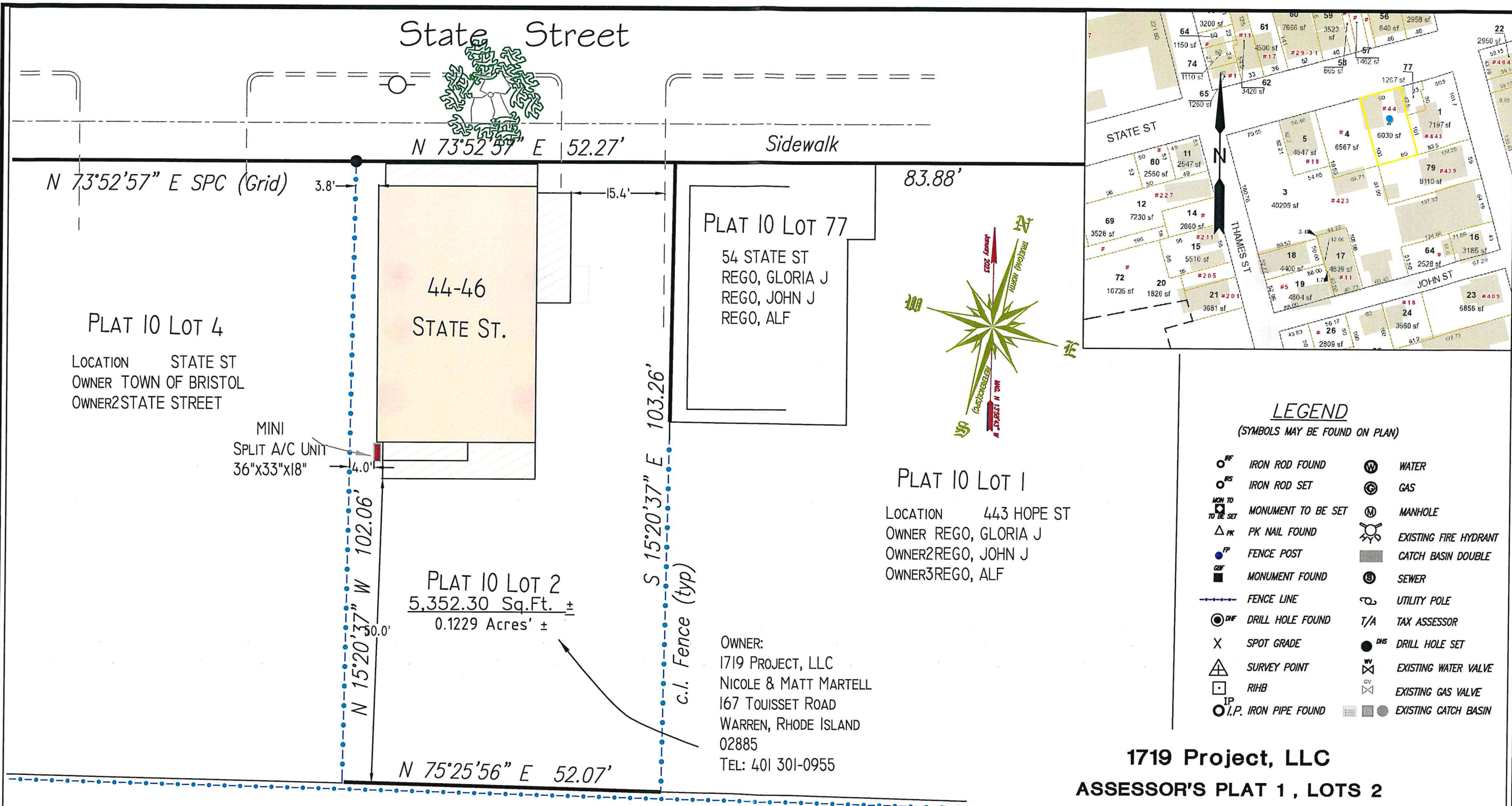
Proposal: Door will be stripped, refinished, glass planes replaced and the reinstalled with in kind materials

44-46 State Street | Nicole and Matthew Martel

Topic #4- Breezeway repairs

Remove clap board and replace in kind in order to repair broken rotting boards and plant infiltration



**CERTIFICATION:**

This survey has been conducted and the plan has been prepared pursuant to Section 9 of the Rules and Regulations adopted by the The Rhode Island State Board of Registration for Professional Land Surveyors on Jan 1st., 2016 as follows:

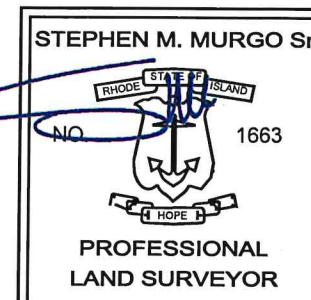
- (a) Type of Boundary Survey Measurement Specification
 Comprehensive Boundary Survey
- (b) The purpose of the Survey and Plan is to show property line information and the location on structures and other features deemed important.

Stephen M. Murgo Sr. PLS

Stephen M. Murgo PLS # 1663
 COA ES A33

Jan. 18, 2023

48



1719 Project, LLC
ASSESSOR'S PLAT 1, LOTS 2

SITUATED AT

44-46 State Street

IN

BRISTOL, RHODE ISLAND

PREPARED BY

STEPHEN M. MURGO SR.

PROFESSIONAL LAND SURVEYOR
 MASSACHUSETTS RHODE ISLAND
 162 BAY VIEW AVENUE
 BRISTOL, RHODE ISLAND
 02809

401-253-0092

SMMSURVEY@COX.NET

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 Implied, to copy the Survey except as It is
 Necessary in Conjunction with the Original
 Transaction.



BRISTOL HISTORIC DISTRICT COMMISSION

APPLICATION FOR REVIEW OF PROPOSED WORK

1. Property Address (Street & No.) 474 THAMES ST

2. Plat # _____ Lot # _____ Contributing _____ Non-Contributing _____

3. a. Applicant: FENWICK & OLIVER

Mailing Address: 474 THAMES ST

Phone: Day 401-580-2001 Evening 401-580-2001

b. Owner (if different from applicant written authorization of owner required): HENRY SANTOS

Mailing Address: 484 THAMES ST BRISTOL, R.I.

Phone: Day 401-396-5256 Evening 401-253-5899

4. a. Architect/Draftsman: _____

Address: _____

Phone: Day _____ Evening _____

b. Contractor: HAND MADE SIGN ART

Address: 426 METACOMB AVE, WARREN R.I 02885

Phone: Day 401-525-0893 Evening SAMU

5. Work Category: _____ Replacing in-kind* authorization required _____

_____ New Structure(s) _____ Partial Demolition of Structure(s)

_____ Addition to Structure(s) _____ Total Demolition of Structure(s)

_____ Remodeling of Structure ☒ Sign(s) / Landscaping Features

6. Description of proposed work: ADD SIGN ABOVE DOOR TO

WALL, REMOVE OLD HANGING SIGN BRACKET

SIGN SIZE 30" HIGH X 36" WIDE x 1 1/2 THICK

*All changes must match the existing in materials, design and configuration.

2023 JAN 20 AM 10:15

TOWN OF BRISTOL
COMMUNITY DEV.

Henry B. Santos A.

(Continued): _____

_____ ☐ ☐ Check here if
continued on additional sheets.

7. Included with the application (check those applicable):

PHOTOGRAPHS: Please label all photographs submitted.

✓ Overall view of property from street(s) _____ Overall views of building
_____ Existing details to be altered by work
_____ Other (Identify) _____

Drawings: Maximum size accepted: 11" x 17"

_____ Site Plan(s) (drawn to scale) _____ Floor plan(s) (drawn to scale)
_____ Exterior Elevations _____ Details

OTHER: _____ Renderings _____ Catalogue Cuts _____ Specifications
_____ Other (Identify) _____

Donald Ruest
Applicant's Name – Printed

[Signature]
Applicant's Signature

Date: 1-20-23

druest@5

Contact Person if other than Applicant:

Name (Printed): _____

druest57@
yahoo.
com

Phone: Day _____ Evening _____

A Certificate of Appropriateness (Green Sheet) is valid for one year from the date of issuance.
Note: If work on a project has started within twelve months of its approval date, you have as long as is necessary to finish the job (in other words, longer than a year).

Parcel: 8 21	Location: 474 THAMES ST	Owner: SANTOS, HENRY B.	
Account: 294	User Acct:	LUC: 04 - Combo	Zoning: W

Parcel Values				
Total: \$464,100	Land: \$213,200	Land Area: 0.125 AC	Building: \$250,900	Assessed: \$464,100

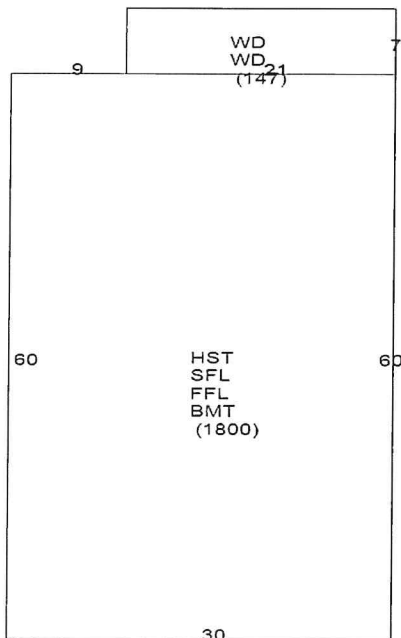
Sales Information				
Book and Page	Instrument Type	Date	Price	Grantor
UNK-412-168	Death Certificate	07/23/2013	\$0	SANTOS, HENRY B.
	Warranty	09/09/1991	\$0	IANNUCCILLO, EMILIO D. (SURV)


Building Type: Mixed Use	Year Built: 1880	Grade: Q4	Condition: FA
Heat Fuel: Oil	Heat Type: BB Hot Water	% Air Conditioned: 15.00	Fireplaces: 0
Exterior Wall: Wood Shingle	Bsmnt Garage: 0	Roof Cover: Asphalt Shingle	# of Units: 3
# of Rooms: 7	# of Bedrooms: 3	Full Bath: 2	1/2 Baths: 1

Yard Item(s)						
Description	Quantity	Size	Year	Condition	Quality	Value

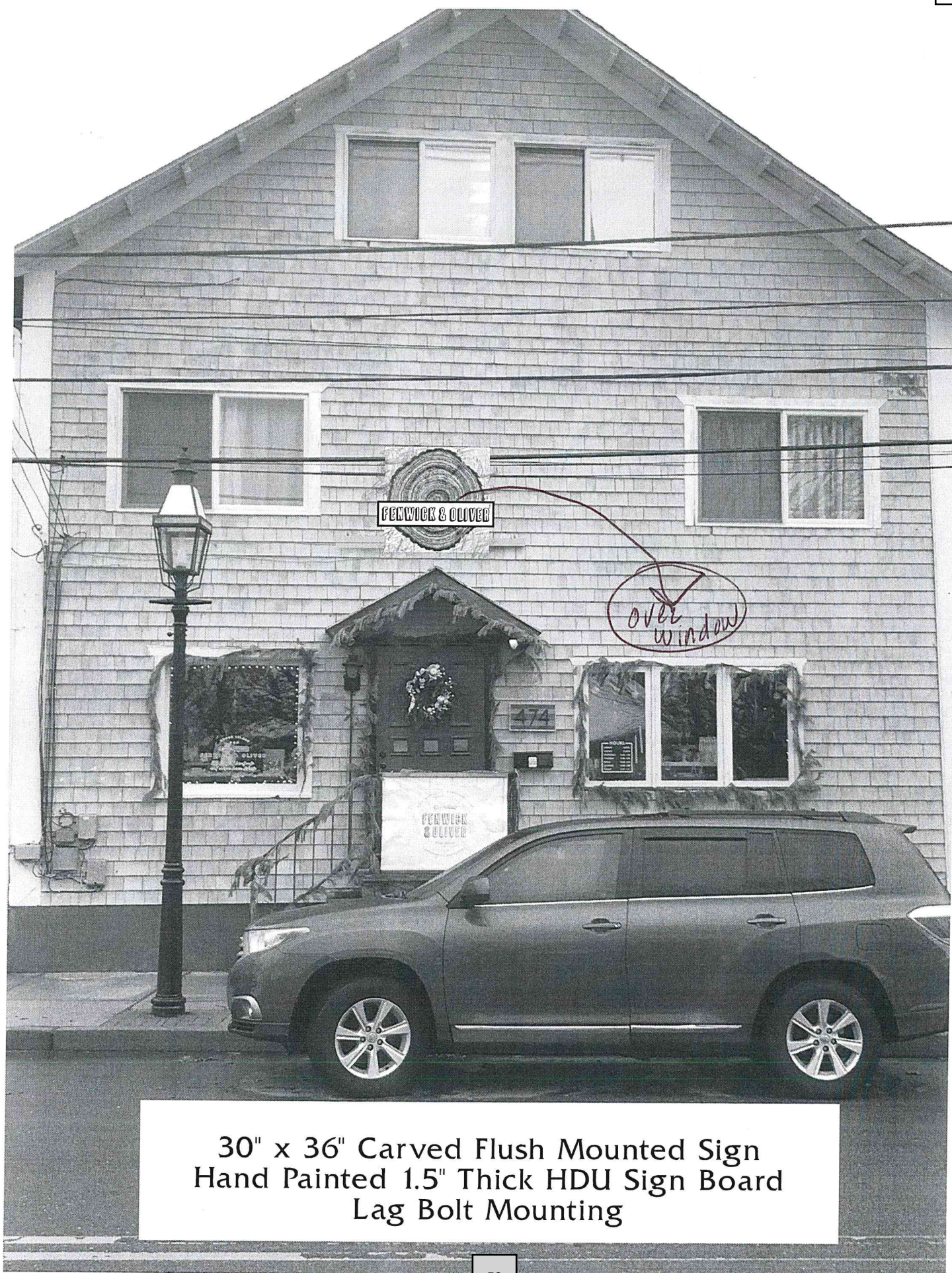
Building Areas		
Area	Net Area	Finished Area
1st FLOOR	1,800 SF	1,800 SF
2nd FLOOR	1,800 SF	1,800 SF
BASEMENT	1,800 SF	0 SF
HALF STORY	900 SF	900 SF
WOOD DECK	294 SF	0 SF

Disclaimer: This information is for tax
assessing purposes
and is not warranted

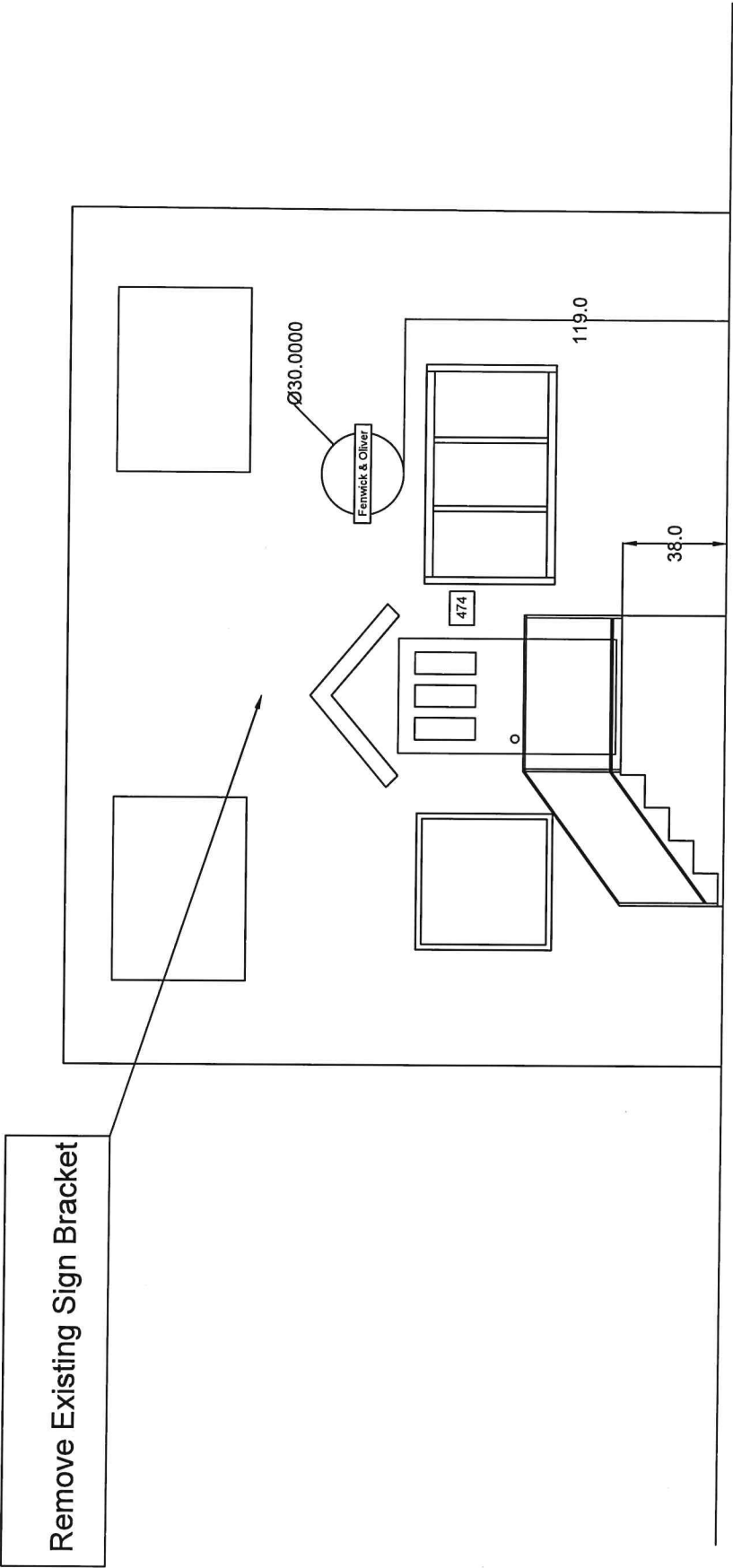




FENWICK & OLIVER



30" x 36" Carved Flush Mounted Sign
Hand Painted 1.5" Thick HDU Sign Board
Lag Bolt Mounting



23-031

N/C per Org



BRISTOL HISTORIC DISTRICT COMMISSION

APPLICATION FOR REVIEW OF PROPOSED WORK

2023 FEB -9 PM 2:05

TOWN OF BRISTOL
COMMUNITY DEV.1. Property Address (Street & No.) 825 HOPE STREET, BRISTOL, RI 028092. Plat # 5 Lot # 17 Contributing ☒ Non-Contributing ☐3. a. Applicant: BARBARA J. BEER / ROBERT A. BEER IIMailing Address: 825 HOPE STREET, BRISTOL, RI 02809Phone: Day 401-952-4546 / 401-864-9113 Evening b. Owner (if different from applicant written authorization of owner required): BARBARA J. BEER / ROBERT A. BEER IIMailing Address: 825 HOPE STREET, BRISTOL, RI 02809Phone: Day 401-952-4546 / 401-864-9113 Evening 4. a. Architect/Draftsman: JAMES ANDERSONAddress: 70 CHARLES STREET, BRISTOL, RHODE ISLAND 02809Phone: Day 508-369-6352 Evening b. Contractor: GARY BALLETT | RI General Contractor 13354Address: 786 Atwood Ave, Cranston, RI 02920, United StatesPhone: Day 401-641-9994 Evening 401-641-99945. Work Category: ☐ Replacing in-kind* *authorization required* ☐☐ New Structure(s) ☒ Partial Demolition of Structure(s)☐ Addition to Structure(s) ☐ Total Demolition of Structure(s)☒ Remodeling of Structure ☐ Sign(s) / Landscaping Features

6. Description of proposed work: REVIEW AND ACCEPTANCE OF SKY LIGHTS WITH PLACEMENTS
IN NEW ROOF (PREVIOUSLY ADDRESSED AND APPROVED). A TOTAL OF FIVE (5) SKYLIGHTS
PLACED, SIMILAR TO PLACEMENT OF ADJACENT RESTAURANT AND HOUSE.

*All changes must match the existing in materials, design and configuration.

(Continued): DUE TO THE BARE STRUCTURE OF THE HOUSE, OWNERS REQUEST TO REPLACE
THE FRONT (FACADE) OF THE HOME WITH WOOD CEDAR SHINGLES DUE TO COST

CONCERNS AND NEARBY PROPERTIES WITH SHINGLES TO MAINTAIN HISTORIC CONTINUITY

☐ ☐ Check here if

continued on additional sheets.

7. Included with the application (check those applicable):

PHOTOGRAPHS: Please label all photographs submitted.

☐ Overall view of property from street(s)

☒ Existing details to be altered by work

☐ Other (Identify) _____

Shingle Material Options: (refer to spec sheets)
 1) 16 in. Natural Eastern White Cedar Wood
 Grade C 2nd Clear Architectural Shingles (25 sq.
 ft. per Bundle)

- OR -

2) SBC Cedar 16"x3/8" Select AB Sidewall 1 Coat
 R&R Shingles (Monterey Gray 0810537)
 [QC:31066889]

☐ Overall views of building

Drawings: Maximum size accepted: 11" x 17"

☐ Site Plan(s) (drawn to scale)

☐ Floor plan(s) (drawn to scale)

☐ Exterior Elevations

☒ Details

OTHER: ☒ Renderings ☐ Catalogue Cuts ☒ Specifications

☐ Other (Identify) _____

BARBARA BEER / ROBERT BEER II

Applicant's Name - Printed

Barbara Beer Robert Beer II
 Applicant's Signature

Date: **FEBRUARY 09 2023**

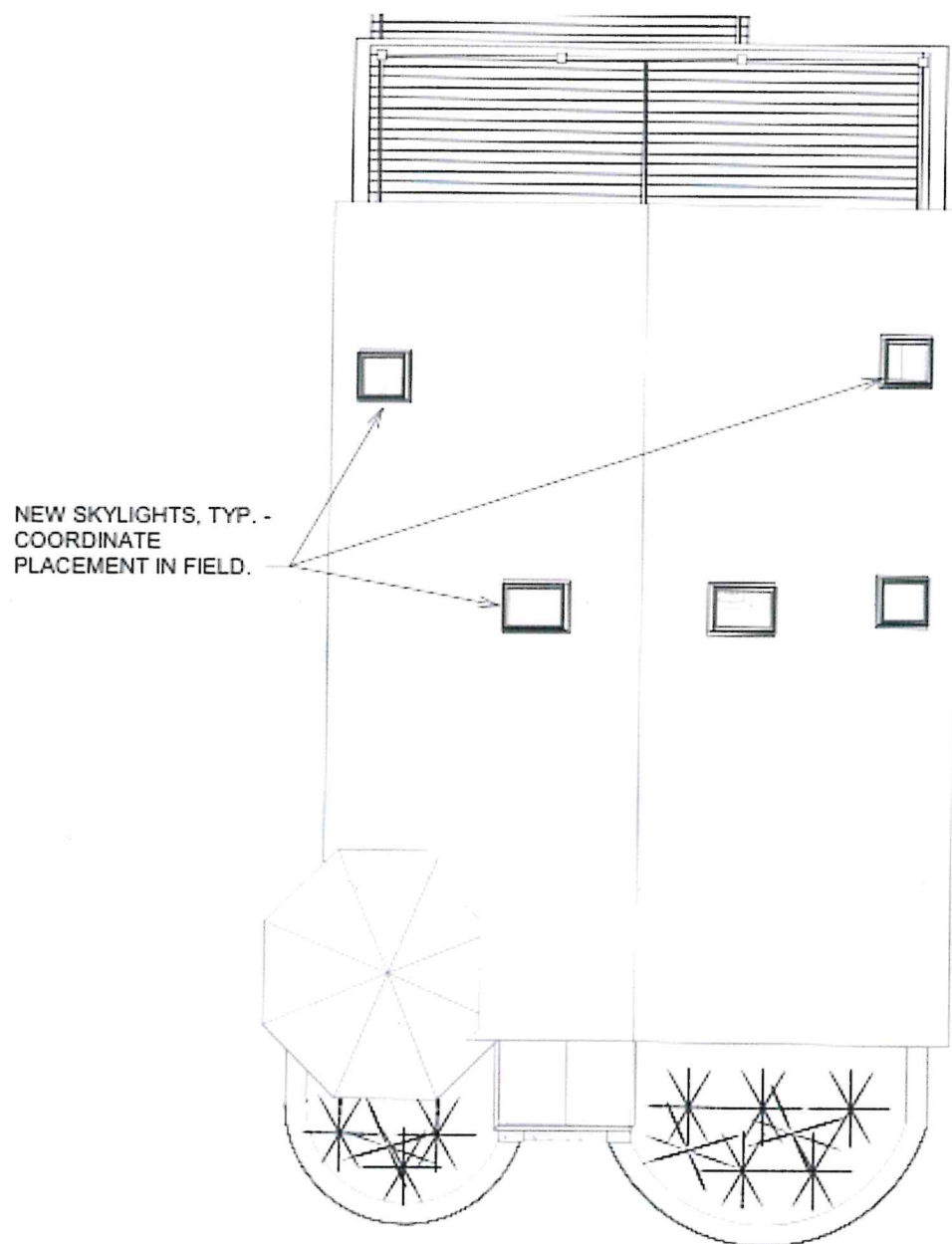
Contact Person if other than Applicant:

Name (Printed): **ROBERT BEER II**

Phone: Day **401-864-9113** Evening **BEERII.ROBERT@GMAIL.COM**

A Certificate of Appropriateness (Green Sheet) is valid for one year from the date of issuance.

Note: If work on a project has started within twelve months of its approval date, you have as long as is necessary to finish the job (in other words, longer than a year).



4 ROOF PLAN

VELUX®**FS**

Fixed Deck-Mounted Skylight

Perfect for visually expanding areas in the home, VELUX Fixed Deck-Mounted Skylights are an energy-efficient option that make any dark room come to life with daylight and sky views. As a fixed option, this skylight is an economical choice for enhancing the brightness and beauty of your home.

Ideal Applications:

Out of reach entry ways, living rooms and bedrooms that can benefit from daylight.

FEATURES & BENEFITS

- Clean exterior profile provides natural light without obstructing roofline
- Versatile sizing allows for greater flexibility in positioning options
- Seamlessly pairs with any VELUX shades for optimal light control — select shades can be pre-installed for free
- Flashing kit required for [No Leak Warranty](#)
- Eligible for Federal Solar Tax Credit* with the addition of Solar Shades

PRODUCT DETAILS

- **Laminated LoE3 Glass:** double-paned argon-gas-filled LoE3 glass that provides excellent energy performance for year round comfort. Plus, it includes the added safety of laminated glass, which building codes require for out-of-reach applications.
- **No Leak Warranty** - 10-year installation warranty, plus 20 years on glass, 10 years on product, and 5 years on shades and controls.
- Pre-finished white painted frames
- 10 year hail with Clean, Quiet & Safe glass

OPTIONAL SKYLIGHT UPGRADES

- Impact Glass
- Snowload Glass
- Copper Cladding
- Stain Grade Wood Interior

Eligible for a
**Federal Solar
Tax Credit**

off product and
installation



ACCESSORIES

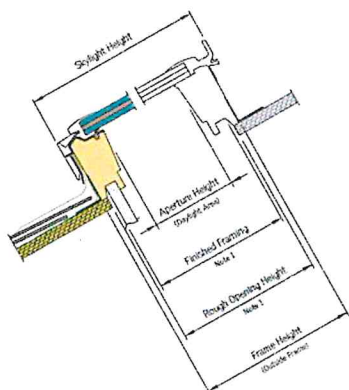
- Factory pre-installed Room-Darkening or Light Filtering shades



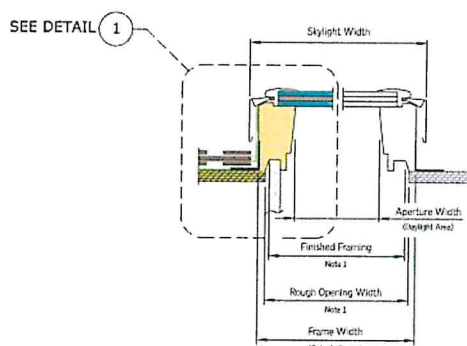
FS

VELUX®

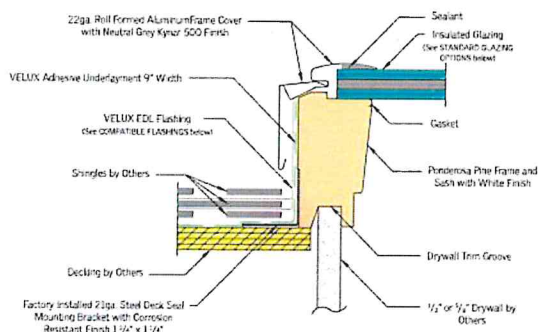
Fixed Deck-Mounted Skylight



VERTICAL CROSS SECTION




HORIZONTAL CROSS SECTION



COMPLIANCE AND CERTIFICATIONS

- DBPR Florida
- NFRC, National Fenestration Rating Council
- WDMA, Window & Door Manufacturing Association

		A06	C01	C04	C06	C08	C12	D26	D06	M02	M04	M06	M08	S01	S06
Rough Opening Width	(W-in.)	14 1/2	21	21	21	21	21	22 1/2	22 1/2	30 1/16	30 1/16	30 1/16	30 1/16	44 1/4	44 1/4
Rough Opening Height	(H-in.)	45 3/4	26 7/8	37 7/8	45 3/4	54 7/16	70 1/4	22 15/16	45 3/4	30	37 7/8	45 3/4	54 7/16	26 7/8	45 3/4
Daylight Area	(Sq. Feet)	3.56	3.04	4.43	5.43	6.52	8.52	2.78	5.94	5.15	6.64	8.13	9.77	6.92	12.36

 Model FS sizes D26 and D06 fit perfectly between roof trusses.

veluxusa.com

*For more information visit veluxusa.com/taxcredit.

FS Fixed Skylight

Technical Product Data Sheet

VELUX®

Description

- FS Fixed Deck Mount Skylight that mounts to the roof deck. Fixed skylight, provided with various glazings, is manufactured with a white finished (optional stain grade) pine frame/sash, a neutral gray aluminum profile (optional copper) and an insulated glass unit.

Installation

- Designated top, bottom, and sides for installation in one direction.
- Single unit applications or combination flashing for multiple skylight applications, over/under, side by side.
- 14 degrees to 85 degrees, use standard installation procedure.



Flashings

- EDL – Engineered neutral gray flashing for single installation with thin roofing material (1/2" max) for roof pitches from 14-85 degrees.
- EDW – Engineered neutral gray flashing for single installation with tile (over 3/4") roofing material for roof pitches from 14-85 degrees.
- EDM - Engineered neutral gray flashing for single installation with metal roof (1 1/2"-1 3/4" max profile) for roof pitches from 14-85 degrees.
- EKL- Engineered neutral gray flashing for multiple skylights with thin roofing material (Max. 5/16") on roof pitches from 14 to 85 degrees.
- EKW – Engineered neutral gray flashing for multiple skylights with high profile roofing material (Max. 3 1/2") on roof pitches from 15 to 85 degrees.
- Applications less than 14-degree roof pitch - flashing provided by others.



Standard Sizes

- A06, C01, C04, C06, C08, C12, D26, D06, M02, M04, M06, M08, S01, S06
- No custom sizes available.

Warranty

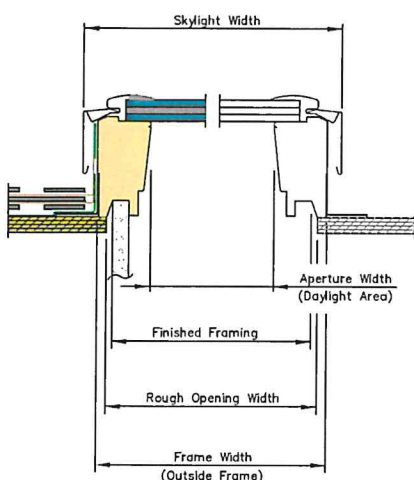
- **Installation** – 10 years from the date of purchase; VELUX No Leak Warranty warrants skylight installation. Must be installed with VELUX flashings and included adhesive underlayment.
- **Skylight** – 10 years from the date of purchase; VELUX warrants that the skylight will be free from defects in material and workmanship.
- **Glass Seal** – 20 years from the date of purchase; VELUX warrants that the insulated glass pane will not develop a material obstruction of vision due to failure of the glass seal.
- **Hail Warranty** – 10 years from the date of purchase; VELUX warrants only laminated glass panes against hail breakage.
- **Accessories and Electrical Components** – 5 years from the date of purchase; VELUX warrants Velux shades and control systems will be free from defects in material and workmanship.

Interior Accessories

- FSCD - Solar powered Room darkening - double pleated shade.
- FSLD - Solar powered Light filtering - single pleated shade.

Type Sign

- Example: FS C01 0004E 01BM05
- Located on bottom of interior frame.

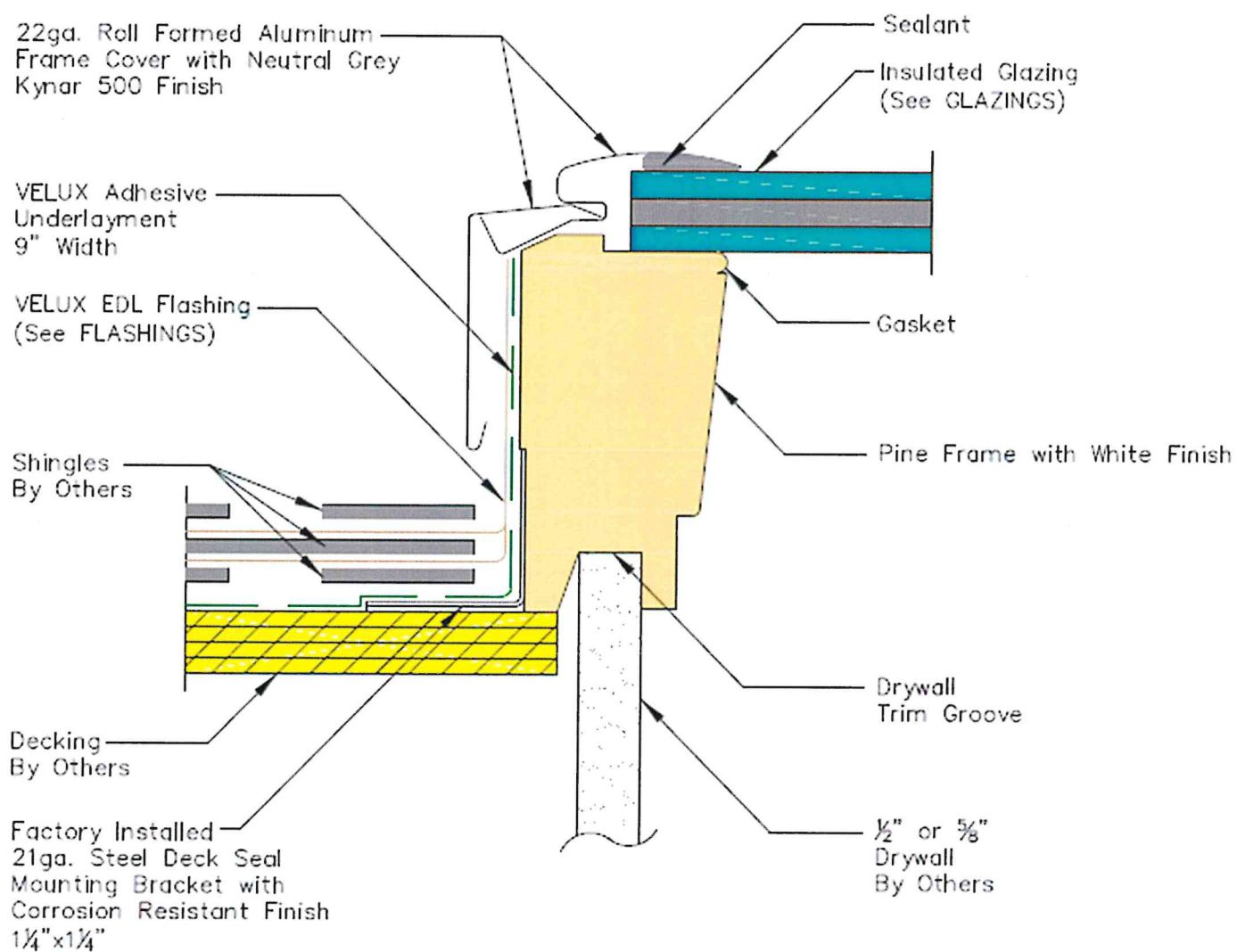
VELUX®**Cross Section**

Size	Rough Opening Width	Frame Width	Frame Aperture Width	Skylight Width	Rough Opening Height	Frame Height	Frame Aperture Height	Skylight Height	Daylight Area (Sq. Feet)
A06	14 1/2	15 1/4	11 15/16	16 1/8	45 3/4	46 1/4	42 15/16	47 1/4	3.56
C01	21	21 1/2	18 3/16	22 3/8	26 7/8	27 3/8	24 1/16	28 3/8	3.03
C04	21	21 1/2	18 3/16	22 3/8	37 7/8	38 3/8	35 1/16	39 3/8	4.43
C06	21	21 1/2	18 3/16	22 3/8	45 3/4	46 1/4	42 15/16	47 1/4	5.43
C08	21	21 1/2	18 3/16	22 3/8	54 7/16	54 15/16	51 5/8	55 15/16	6.52
C12	21	21 1/2	18 3/16	22 3/8	70 1/4	70 3/4	67 7/16	71 3/4	8.52
D26	22 1/2	23 1/2	19 15/16	24 1/16	22 15/16	23 7/16	20 1/8	24 7/16	2.78
D06	22 1/2	23 1/2	19 15/16	24 1/16	45 3/4	46 1/4	42 15/16	47 1/4	5.94
M02	30 1/16	30 9/16	27 1/4	31 7/16	30	30 1/2	27 3/16	31 1/2	5.15
M04	30 1/16	30 9/16	27 1/4	31 7/16	37 7/8	38 3/8	35 1/16	39 3/8	6.64
M06	30 1/16	30 9/16	27 1/4	31 7/16	45 3/4	46 1/4	42 15/16	47 1/4	8.13
M08	30 1/16	30 9/16	27 1/4	31 7/16	54 7/16	54 15/16	51 5/8	55 15/16	9.77
S01	44 1/4	44 3/4	41 7/16	41 9/16	26 7/8	27 3/8	24 1/16	28 3/8	6.92
S06	44 1/4	44 3/4	41 7/16	41 9/16	45 3/4	46 1/4	42 15/16	47 1/4	12.36

Glazings and Certification

Glazing	NFRC U-factor	NFRC SHGC	NFRC Vt	Hallmark 426-H-672	IAPMO-ES ER 199	Fla Prod Approval 13303	HVHZ	TDI
04 Laminated -2.3 mm laminated (0.76 mm interlayer) with tempered Low E366 outer pane.	0.44	0.26	0.60	✓	✓	✓		SK-03
06 Impact – 2.3 mm laminated (2.28 mm interlayer) with tempered Low E366 outer pane for hurricane areas.	0.41	0.26	0.60	✓	✓	✓		SK-14
08 White laminated -2.3 mm Laminated (0.76mm white interlayer) with tempered Low E366 outer pane.	0.44	0.25	0.42	✓	✓	✓		SK-03
10 Snowload - 3 mm laminated (0.76 mm interlayer) with tempered Low E366 outer pane.	0.48	0.27	0.45	✓				

Consult with Customer Service for special glazing options.

VELUX®

Corner keys made of ASA Luran in neutral grey finish.

Deliver to
Warwick 02889

Tools & Home Improvement

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Roll over image to zoom in



VELUX FS C06 2004 Skylight, 21 1/2" W x 46 1/4" H Fixed Deck-Mount w/Laminated LowE3 Glass

Brand: VELUX

3 ratings

Currently unavailable.
We don't know when or if this item will be back in stock.

Brand	Velux
Material	Glass
Room Type	Living Room, Bedroom
Power Source	Corded Electric
Control Method	App

About this item

- Velux FS C06 2004 includes blackout blind, which allows you to block 98% of the light that enters your room making it ideal for bedrooms and home theaters Features tempered energy efficient, Low-E3, argon-filled, dual glass panes Consider adding Velux solar powered blind, which is eligible for 30 percent federal solar tax credit and allows you to control the light Consider upgrading to Solar Powered Fresh Air Skylight (model VSS) to bring both natural light and fresh air into your home using onl

See more product details

Currently unavailable.
We don't know when or if this item will be back in stock.
Deliver to Warwick 02889

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SIG Skylights CM3B 24 x 48 Curb Mounted Glass Skylight w/Bronze Insulated Glass, 2"...

5

\$424.00



SIG Skylights CMB 24 x 48 Curb Mounted Glass Skylight w/Bronze Insulated Glass, 1" ...

4

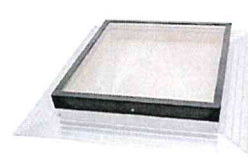
\$380.00



SIG Skylights FMB 20 1/2 x 36 1/2 Deck Mounted, Self-Flushed Skylight with Bronze I...

3

\$446.00



SIG Skylights FMB 22 1/2 x 22 1/2 Deck Mounted, Self-Flushed Skylight with Bronze I...

26

\$359.00



Velux TMR Tunnel, 14' Skylight Ac w/Pitched

\$438.00

Product Description

About the Velux FS C06 2004 Skylight, 21" x 453/4" Fixed DeckMount w/Laminated LowE3 Glass The Velux FS C06 2004 21 in. x 453/4 in. Fixed deckmounted skylight with Laminated LowE3 Glass. Velux offers you energyefficient skylights, which bring sunlight into your rooms and illuminate the space without the use of excess electricity. Velux fixed curbmound skylight helps you decrease the need for electricity, bringing natural light into your house. Installation of Velux FS C06 2004 skylight is easy, it does not need any caulk or sealants. Installation hardware is also included. You will increase the brightness and beauty of a room, decreasing the need for electricity. Flashing and blinds not included.

Product information

Technical Details

Brand	Velux
Material	Glass
Room Type	Living Room, Bedroom
Power Source	Corded Electric
Control Method	App
Shade Material	Glass
Number of Items	1
Manufacturer	VELUX
Part Number	FS C06 2004
Item Weight	39.6 pounds
Is Discontinued By Manufacturer	No
Size	21 in x 45.75 in
Item Package Quantity	1
Mounting Type	Deck Mount
Plug Format	A- US style
Batteries Included?	No
Batteries Required?	No

Additional Information

ASIN	B0038HKIZ4
Customer Reviews	3 ratings 3.3 out of 5 stars
Best Sellers Rank	#1,276,011 in Tools & Home Improvement (See Top 100 in Tools & Home Improvement) #207 in Skylights & Roof Windows
Date First Available	February 14, 2010

Feedback

Would you like to [tell us about a lower price?](#)

PRODUCT CATALOGUE



Where Quality
Comes
Naturally

GENUINE | TIMELESS | DISTINCTIVE

Founded in 1996, SBC Cedar (SBC) is a family-owned company that specializes in processing Eastern white cedar. Now, the family's 4th generation in the cedar business is at the helm. Since its very beginnings, the company has constantly evolved and is now a renowned industry leader.

SBC's corporate mission is to devote its talents and expertise to making a range of products of exceptional quality and doing so, with our employees and business partners interests at heart. Cooperation, determination, passion, respect, and integrity are the values upheld by SBC. Thanks to its professional team, paired with North America's most sophisticated machinery, SBC sets itself apart by constantly focusing on innovation.

Sustainable development is one of SBC's main concerns, our cedar logs are sourced mainly from certified forests.

SBC manufactures Eastern white cedar shingles, but offers Western red cedar shingles as well. Offering shingles that are both natural or factory-finished, SBC is capable of producing a virtually limitless range of colors and finishes. Moreover, SBC converts all of its production residues into horticultural mulch, an environmental by-product. SBC takes pride in being a fully-integrated company.

Thanks to a well-established distribution network, SBC products can be found throughout North America.

EASTERN WHITE CEDAR

SUSTAINABLE
LONG-LASTING
AUTHENTIC

Cedar's warmth, variations in shades, and rich texture is often imitated, but cannot be matched. Since this highly-resistant tree species features properties to resist decay and insects, it turns out to be ideal for exterior siding. Cedar shingles are timeless and therefore go with all kinds of architectural styles and can add a unique perspective to your project.



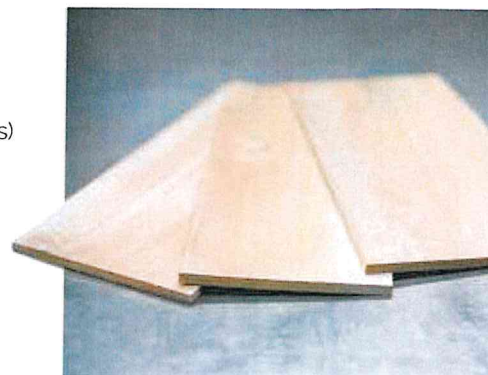
THE SBC ADVANTAGES

Each and every step of the manufacturing process, not to mention all the smallest details, is handled at our facilities. Therefore, our customers can rest assured they are getting only products of the highest quality.

- Superior minimum width (3-7/16")
- Grading on both faces
- Unmatched squaring accuracy (1/64")*
- *Easy installation system* (embossed nail line, SBC installation tool and touch-up kits)
- Drying by dehumidification
- Exclusive dipping application process
- *Peace-of-Mind* warranty program

Just a few great reasons for choosing SBC products!

*Precision cutting of each shingle produces two truly parallel sides, perfectly perpendicular with the butt, enhances the appearance, and considerably cuts installation time.



Shingle Grades

SBC shingles are manufactured by experienced operators and graded according to very strict company standards. They come in 4 different grades and can be either natural (Green or KD) or factory-finished. All Eastern white cedar shingles measure 16" long and feature a thickness of 3/8" at the butt.



Extra A

- Superior quality
- No imperfections



Sidewall Select AB

- Wider for faster installation
- No imperfections on exposed surface



Clear B

- Standard quality
- No imperfections on exposed surface



2nd Clear C

- Economy quality
- Sound knots, rustic appearance

SBC **Sidewall Select** grade consists of a mix of Extra "A" and Clear "B" grades. The average width of these cedar shingles is optimized since no edging is required for these two grades that do not feature any imperfections on their exposed surface. Once again, SBC has you in mind!

Designer Shape Shingles

Made exclusively in grade Sidewall Select, designer shape shingles add a distinctive touch to any project. Available kiln-dried (KD) or factory-finished, these shingles are sanded at the base, custom-cut to measure 4-13/16" wide and thus allow countless designs.



Round



Diamond



Fishscale



Arrow



Octagonal



Hexagonal



Diagonal



Square

Factory-Finished Shingles

Backed by the *Peace-of-Mind* warranty program, SBC shingles come in a wide range of colors and finishes.

Each manufacturing step is performed at SBC in a controlled environment. Each shingle is kiln-dried (KD) through dehumidification for optimal stability and maximal finish adherence. Then, the shingles are fully coated using our exclusive dipping process, providing an impeccable quality finish, and more stain on the exposed surface, where it counts.

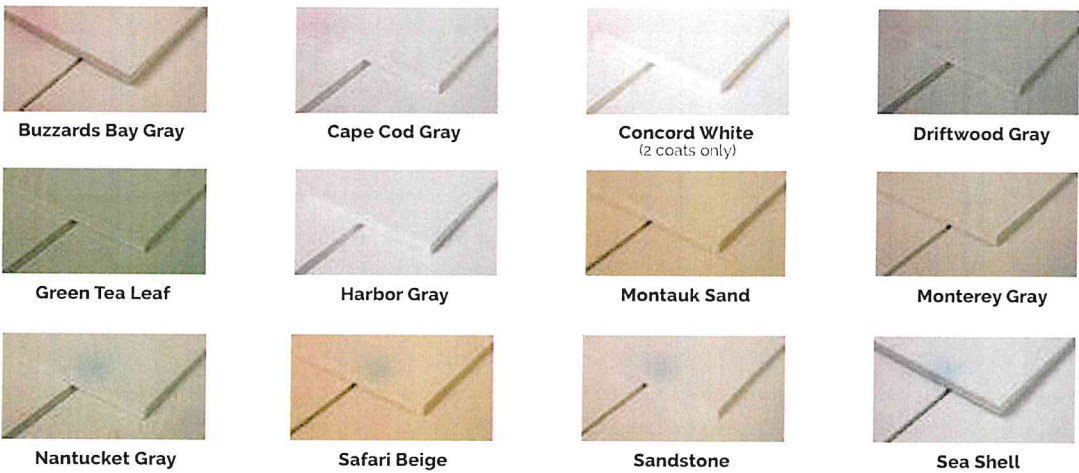
Since 2001, SBC has been working in tight collaboration with PPG/Olympic™, the creator and leader of machine applied coatings, to produce great shingles. The resulting expertise and capacity to innovate remain unparalleled. Besides their perfect appearance, SBC factory-finished shingles allow you to save both time and money!



Solid

Available in 1 and 2 coats, the solid finish applied by SBC provides optimal protection while preserving cedar's natural texture. SBC is able to produce whatever color you choose with premium quality, 100 % acrylic, waterproof solid stain. These shingles feature optimal adherence, a breathable finish as well as a flexible film, all important characteristics that allow SBC to provide unbeatable warranties.

Besides offering custom colors, SBC also has a choice of stock colors for quick delivery.



Colors may vary from actual product color. Please refer to sample before ordering.



Semi-Transparent

Rich shades of semi-transparent coatings are available in a broad range of colors. They keep wood grain visible while providing UV-ray protection. Thanks to SBC's dipping process and PPG™'s 100% acrylic stain, a single coat is enough to produce optimal results.

Note: It is recommended to provide SBC with a sample stained piece of wood so that we can develop your personalized color accurately.



Naturaltone Cedar

STOCK
COLOR

If you are among those who prefer the beauty of natural shingles, but wish to have a certain degree of protection, Olympic Maximum®'s *Naturaltone Cedar* is bound to please you. This lightly-tinted oil-based product penetrates wood to protect it and enhances its beauty.



Pro-Prime

STOCK
COLOR

In collaboration with PPG™, SBC has developed a primer stain called *Pro-Prime* to allow you to benefit from the advantages of factory-finished shingles on all faces while providing you with an additional 6 months to decide the color of your project. The flexibility you've always wanted is now available. Another great innovation by SBC!

Primed shingles are available in gray or white.



PRO-PRIME



Weathering and Bleaching Agents

STOCK
COLOR

For those seeking naturally-aged shingles, SBC uses 3 types of stains that provide excellent cedar protection and a natural-looking silvery gray appearance. Such products are not considered finishes since they simply contribute to accelerating the aging process and thereby enhance cedar's unique weathering properties, especially near the ocean.

- * Results can vary depending on exposure to the elements, such as rain and sun, as well as geographic orientation.
- * No coating warranties apply.

Enviro Bleach

Enviro Bleach is a SBC exclusivity. In fact, it is a revolutionary hybrid stain offering the appearance of oil-based weathering agents along with the environmental advantages of latex finishes. It is formulated according to the highest standards governing volatile organic compounds (VOC) and contain a mildewcide agent to reduce mildew.



Courtesy of Eastward Companies



Weathering Stain and Bleaching Oil

For those who are more traditional, SBC offers 2 types of oil-based stains with a proven, decades-long track record. These products penetrate the wood and enhance the unique weathering properties of cedar shingles.

- Bleaching oil: Produces an initial pale gray tint on the surface of the shingle.
- Weathering stain: Produces a darker gray on the surface of the shingle.



Courtesy of Sweenor Builders



WESTERN RED CEDAR

SUSTAINABLE | LONG-LASTING | AUTHENTIC

As is the case for Eastern white cedar, Western red cedar also features exceptional properties in terms of durability, character, and natural beauty.

Nothing can match the richness of real cedar shingles.

THE SBC ADVANTAGES

Utilizing SBC's expertise, Western red cedar shingles can also be factory-finished and feature a great deal of advantages:

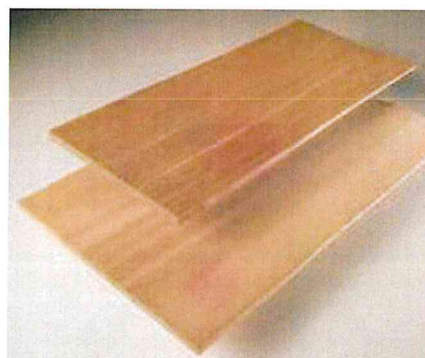
- Drying and application performed in a controlled environment
 - Exclusive dipping application process
 - Superior-quality finishes
 - Virtually unlimited choice of colors*
 - *Peace-of-Mind* warranty program
 - Quick delivery
- * Despite all the precautions taken by SBC in the drying process and during the application of finishes, it is difficult to foresee the reaction of Western red cedar's rich tannins. For this reason, it is best to avoid very light solid and semi-transparent colors in case of extractive bleeding.
- * SBC does not warrant against extractive bleeding.

Shingle Grades

The following choices are available for 18"-long shingles with a butt measuring 7/16":

- R&R No. 1: Resquared and rebuted, vertical grain, 100% heartwood and no imperfections
- Perfections No. 1: vertical grain, 100% heartwood and no imperfections
- Perfections No. 2: mixed grain, no imperfections on exposed surface

Upon request, SBC also offers other grades, thicknesses, and lengths as well as decorative shingles to add a distinctive touch to your project



Factory-Finished Shingles

Owing to the partnership between SBC and PPG/Olympic™, creator and leader of machine applied coatings, you can rest assured of getting exceptional quality. At SBC, all the processes and finishes have been tested to make sure they exceed your expectations. From kiln-drying cedar by dehumidification all the way to applying finish to all faces, SBC makes sure its shingles feature the utmost in stability along with an unmatched finish.



**SBC PEACE OF MIND
WARRANTY PROGRAM
BEST IN THE INDUSTRY**



Solid



- Optimal protection against UV rays while preserving cedar's rich texture.
- In order to minimize the risks of extractive bleeding, a primer coat of PPG's Seal Grip® is applied.
- Choice of 1 or 2 finishing coats of premium quality 100% waterproof acrylic.
- Virtually unlimited choice of colors.



Weathering/ Bleaching Agents



- Specifically for those who prefer naturally-aged cedar.
- Offers excellent cedar protection while giving a natural-looking gray look upon installation.
- Two choices of products*: Bleaching Oil (produces a light gray on the surface of the shingle) or Weathering Stain (produces a darker gray on the surface of shingle).

* These types of stains are not considered as finishes since they contribute solely to accelerating cedar's aging process.



Semi-Transparent



- Limited protection against UV rays while allowing wood grain authenticity to show through.
- Thanks to SBC's dipping process, only 1 coat of 100% acrylic finish is required.
- Almost unlimited choice of colors.

*It is recommended to provide SBC with a sample stained piece of wood so that we can develop your personalized color accurately.



Naturaltone Cedar



- Enhances cedar's natural character while protecting it.
- Olympic Maximum®'s *Naturaltone Cedar* oil finish with a hint of color penetrates cedar.



Technical Information

In order to ensure the success of a project, it is useful to know some basic information about cedar shingles. Doing so will allow you to benefit from the long life, unique cachet, and unique advantages of SBC cedar shingles with complete peace of mind.

DIMENSIONS	EASTERN WHITE CEDAR SHINGLES (THUJA OCCIDENTALIS)	WESTERN RED CEDAR SHINGLES* (THUJA PLICATA)
BUTT THICKNESS	3/8"	7/16"
LENGTH	16"	18"
WIDTH	3" to 11" (min. 3 7/16" in Extra "A" and Clear "B")	4" to 14"

* There are many other choices of thicknesses and lengths for western red cedar. Please get in touch with your distributor for additional information.

EXPOSURE	COVERAGE BY BOX OF SHINGLES		
	EASTERN WHITE CEDAR SHINGLES	WESTERN RED CEDAR SHINGLES	
	ALL GRADES	R&R (No. 1)	PERFECTIONS (No. 1 or No. 2)
4"	20 sq. ft.	Not recommended	Not recommended
5"	25 sq. ft.	36 sq. ft.	22 sq. ft.
6"	Not recommended	43 sq. ft.	27 sq. ft.
7"	Not recommended	50 sq. ft.	32 sq. ft.

Easy Installation System

Before starting, it is important to mention that SBC offers innovation mechanisms to help facilitate and accelerate the installation of our shingles.

- The SBC nail line is an embossed line on one of the SBC shingle faces (Eastern white cedar) at 6-1/8" from the butt. This visual reference point is a quick guide for the installer to perfectly align fasteners.
- The SBC easy installation tool adjusts easily to each course without you having to measure exposure. No more need to fasten a wood lath or draw a chalk line!
- The SBC touch-up kits complete the *Easy Installation System*. These small bottles of stain have a sponge applicator, are easy to carry and use. Simply give them a shake, remove the cap and apply.



Storage Prior to Installation

Shingle bundles must be kept on a pallet in a dry, well-ventilated area.

Maintenance

Your cedar shingles' performance and required maintenance depend on several factors, such as location, weather, and proximity to an ocean. As is the case for all outdoor siding, dirt or mildew build-up can occur. Although SBC uses premium quality stains, discoloration is a natural phenomenon that is not covered by our warranties. The useful life of the finish depends on the type of finish and the chosen color. One of the great advantages of cedar shingle siding is that it can be easily stained again.

Why not change style by staining another color! It is important to clean cedar siding periodically with a hose at less than 500 psi and to point the water jet downwards.

For stubborn stains, rub gently with a soft bristle brush. If needed, use a mild, non-abrasive detergent diluted in water. Then, rinse profusely.

For mildew build-up, clean with commercial fungicide or mixture of water and bleach. Always make sure to properly rinse shingles afterwards.

If applying a fresh coat of stain, do so only when shingles are clean and dry—below 15% humidity. Make sure to remove all loose particles. Outdoor temperature has to have been of at least 10°Celsius during 48 hours.

For further information on how to maintain cedar shingle siding, visit our website at sbccedar.com

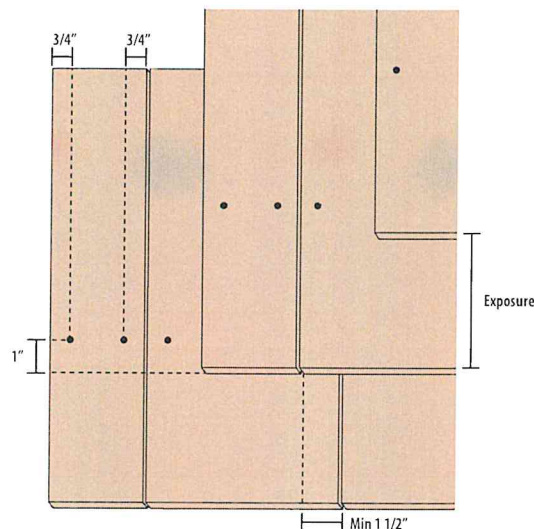
SIDING INSTALLATION – BASIC PRINCIPLES

Face Selection

Shingles generally have one face that is smoother than the other. SBC shingles are graded on both faces they can be installed on either side. Care must be taken to choose the desired face.

Fasteners

- Rust-resistant (heated galvanized steel, aluminum, or stainless steel).
- For nails, they must be ring shank with a blunt tip and minimum 7/32" head.
- For staples, the crown must be at least 7/16".
- Fasteners must penetrate at least 1/2" beneath stiff sheathing.
- When pneumatic tools are used, make sure to properly set their pressure to avoid driving fasteners through the wood.
- Use 2 fasteners per shingle at about 3/4" from either edge and at 1" above the butt-line of the preceding course. For shingles of over 8" wide, use 2 additional fasteners driven 1" apart near shingle center.



Ventilation

In order to ensure superior shingle durability, it is recommended to leave a gap between neighboring shingles and under sheathing. This gap can be achieved through the use of wood laths or a breathable membrane and rain screen.

Shingle Exposure

- Measure wall height, starting at the foundation, then add 1" more—this will allow the first course of shingles to overhang. Then, divide by desired exposure. You will then be able to adjust exposure to have even courses.
- Try to align courses with doors and windows or choose an exposure of at least 4".
- The last course at the top of the wall must not have an exposure of less than 4".

Alignment

Align shingles horizontally by using a temporarily fastened board or drawing a chalk line. For optimal results, use the SBC Easy Installation Tool (to order, go on SBCcedar.com).

Spacing

- Leave a gap of at least 1/8" between each shingle. This gap is very important for dry and factory-finished shingles since they tend to expand according to outdoor humidity level.
- Joints of successive courses must be offset by at least 1 1/2".

Starter Course

For the first row, always lay a double course of shingles, with the first overlapping the foundation by at least 1" and the second, 1/2" lower. Joints between two courses should never align.

Wall Corners

TWO POSSIBLE METHODS

- Alternate shingles by overlapping in such a way as to have joints alternate successively on either side of corner. Fasten lower corner of shingles with a finishing nail.
- Install a vertical molding on which shingles will rest. Leave a gap of at least 1/2" to allow for wood expansion.

Gables

- Pay special attention to shingles that are to be cut at an angle to reach the top of a gable. In order to enhance their stability, it is best to fasten or glue each of their lower corners.
- In order to enhance their stability, it is best to fasten or glue each of their lower corners.

Openings and Edges

- Metal flashing is often required to ensure weather tightness of building project.
- Sealant or self-adhesive membranes are also used when required.

Stain touch-ups/ Factory-finished shingles;

- Each surface that was cut during installation must be touched up with SBC touch-up stain (quart or small bottle with sponge applicator).
- Avoid applying stain on already finished surfaces since the color and degree of luster can thus be affected.

For further information on how to install SBC shingles, please consult our website at sbccedar.com. For Western red shingles, visit cedarbureau.org.

Important: Complying with installation, storage, and maintenance requirements as well as the building code in effect is mandatory. Failing to do so can alter the validity of some warranties.

Shims and Utility Shingles

For the handyman or artisan in you, SBC has various sizes of utility shingles and shims. They are made at our mill using state-of-the-art technology. Here are some of their advantages:

- Multiple uses and various bundle sizes
- Natural (green) or Kiln-dried (KD) by dehumidification
- Natural oils protecting them against insects and decay
- Adjustments ranging from 1/16" to 3/8"
- Easy to snap



Horticultural Mulch

SBC Cedar mulch is an ecological choice since it is entirely made from cedar and is a by-product in the cedar shingle manufacturing process. SBC operations are vertically-integrated and thus allow quality control and product consistency from beginning to end. The texture of sawn cedar shingle shavings enhances mulch's natural appearance and color absorption. By the way, SBC uses only natural pigments to make its colorings.

Why not embellish your landscaping with SBC mulch!

SBC Mulch:

- Preserves soil humidity and reduces need for watering
- Repels some insects
- Limits the presence of some weeds
- Protects roots against frost and drought

Available Mulch

- Natural, red, brown, black
- 2 & 3 cubic feet bags



Wood Fiber for Playgrounds

What can be more important than children's safety? Thanks to SBC wood fiber, you can rest your mind at ease when your children play in their outdoor modular games. SBC wood fiber is made from 100% natural cedar, without any coloring nor chemical product and is sifted to obtain a fibrous, homogenous texture that provides a shock-absorbing surface to protect in case of a fall.

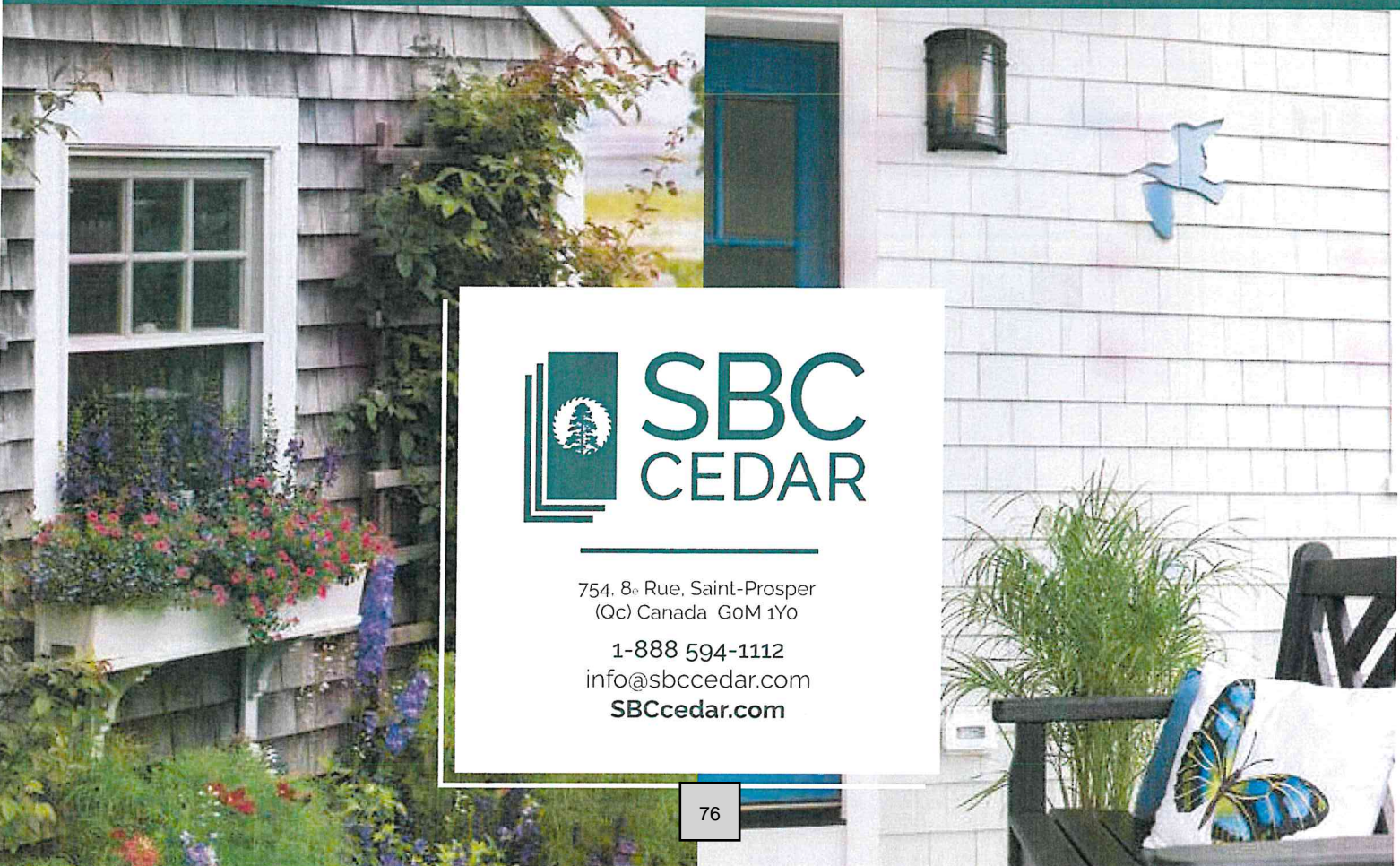
Available in 2 cubic feet bags (80 bags per skid).





This Old House® 2020 Idea House, photographed by Jared Kuzia

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Internet #202052446 Model #234075

Store SKU #465752

16 in. Natural Eastern White Cedar Wood
Grade C 2nd Clear Architectural Shingles
(25 sq. ft. per Bundle)

★★★★★ (82) ▼ [Questions & Answers \(12\)](#)



\$86⁴⁵ /bundle

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opening a new card.



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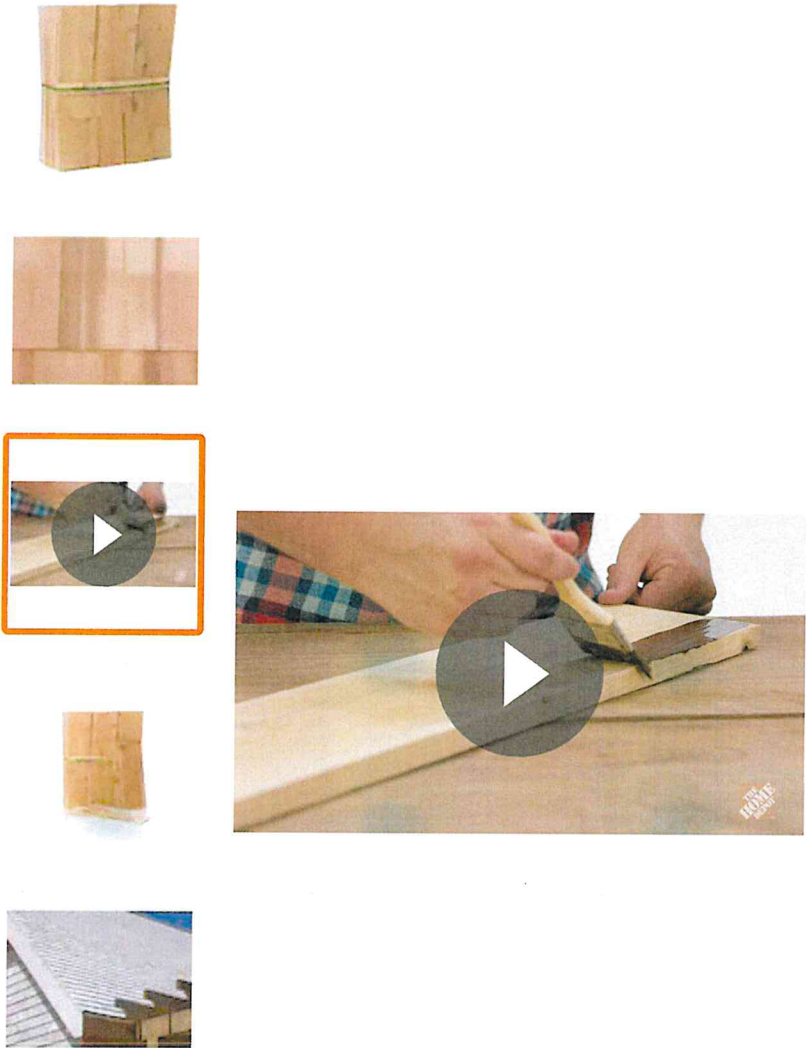
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How much will you need?

Please note: calculations are estimates and can only be made using whole numbers.

Calculate by Square Footage

Wall 1

Width:Height:

ftft

+ Add Wall

Calculate

-1+

Add to Cart

— or —

Buy now with **PayP**

Product Details



The 16 in. Eastern White Cedar Grade C 2nd Clear Shingles 25 sq. ft. per Bundle enhances the beauty of your home while blending perfectly with other natural materials such as stone and brick. Its fine even grain, low density and light weight makes it easy to work with. In addition, its natural durability and resistance to moisture, decay and insect damage makes it perfect for both interior and exterior construction. Even when left untreated, these shingles age beautifully.

Additional Resources

From the Manufacturer

You will need Adobe® Acrobat® Reader to view PDF documents. [Download](#) a free copy from the Adobe Web site.

Specifications



Dimensions

Actual Product Length (in.)	16.
Actual Product Thickness (in.)	.375
Actual Product Width (in.)	4.
Coverage Area (sq. ft.)	25 sq ft
Nominal Product Length (in.)	16
Nominal Product Thickness (in.)	.375
Nominal Product Width (in.)	4

Details

Color Family	Brown
Color/Finish	brown
Finish Type	Unfinished
Lumber Wood Species	Cedar
Material	Wood
Product Weight (lb.)	30 lb
Profiles	Shingle
Siding Features	Wood Grain Surface

Warranty / Certifications

Manufacturer Warranty	n/a
-----------------------	-----

How can we improve our product information? [Provide feedback.](#)

Questions & Answers

12 Questions



Customer Reviews

3.9 out of 5 ★★★★★ (82)



Frequently Bought Together



+



+



Price for all three:

\$116²⁵

Add all three to cart

- ✓ **This item:** 16 in. Natural Eastern White Cedar Wood Grade C 2nd Clear Architectural Shingles (25 sq. ft. per Bundle) **\$86.45**
- ✓ 2 in. x 4 in. x 8 ft. Prime Whitewood Stud **\$3.35**
- ✓ 15/32 in. x 4 ft. x 8 ft. Southern Pine Plywood **\$26.45**

× More from This Brand (8)



All Items (8)



Wood Siding (8)



5 in. x 16 in. Eastern White Cedar Kiln Dried Wall Grade

★★★★★ (1)

\$107⁰⁰ /bundle

Add to Cart



5 in. x 16 in. Eastern White Cedar Kiln Dried Wall Grade

\$107⁰⁰ /bundle

Add to Cart



5 in. x 16 in. Eastern White Cedar Kiln Dried Wall Grade

★★★★★ (1)

\$107⁰⁰ /bundle

Add to Cart



× Get Everything You Need ⁽⁹⁾

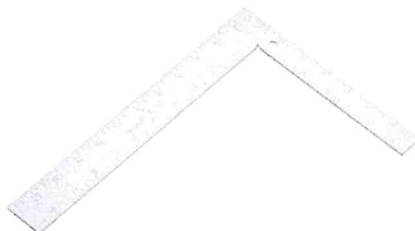


Wal-Board Tools
22 in. x 48 in. Original Drywall
T-Square

★★★★★ (260)

\$12⁹⁸

Add to Cart



Empire
8 in. x 12 in. Steel Carpenter
Square

★★★★★ (227)

\$6⁴⁷

Add to Cart



3M™ BANDED
Hearing Protector

3M
Banded Style Hearing
Protector

★★★★★ (165)

\$4⁰⁶

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Customers Also Viewed



5 in. x 16 in. Eastern
White Cedar Kiln Dried



2 in. to 12 in. W x 18
in. Wood Cedar



16 in. Eastern White
Cedar Grade D Utility

Top Rated



18 in. # 1 Perfection
Western Red Cedar



Wall Grade
Architectural Shingles

★★★★★ (24)

\$107⁰⁰ /bundle

Shingle Sliding

★★★★☆ (40)

\$16⁹⁷ /bundle

Shingles

\$16⁹⁷ /bundle

Kiln-Dried Shingle
(125-Pack)

★★★★★ (47)

\$518⁰⁰ /box

Recently Viewed



16 in. Natural Eastern
White Cedar Wood
Grade C 2nd Clear
Architectural Shingles
(25 sq. ft. per Bundle)

★★★★★ (82)

Related Searches

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roofing shingles

scaffold plank 7 ft

siding shingle


cedar shingles

outdoor wood shingle

Boise Cascade

4 Days
Customer will be notified when order
is ready for pickup

GARY BALLETO

Item Description	Model #	SKU #	Unit Price	Qty	Subtotal
 SBC Cedar 16"x3/8" Select AB Sidewall 1 Coat R&R Shingles (Monterey Gray 0810537) [QC:31066889]		1001375583	\$150.97 / each	30	\$4,529.10

Prices Valid Through: 01/19/2023
at The Home Depot #4286

Subtotal	\$14,513.80
Discounts	-\$485.20
Sales Tax	\$982.00
Quote Total	\$15,010.60



#23-026

Item 3G.

Paid ck 40915

2/10/23

BRISTOL HISTORIC DISTRICT COMMISSION

APPLICATION FOR REVIEW OF PROPOSED WORK

1. Property Address (Street & No.) 467 Hope St2. Plat # 9 Lot # 54 Contributing _____ Non-Contributing _____3. a. Applicant: Andrew Rainone- Horton Group LLCMailing Address: 1 Bishop Lane Madison CT 06443Phone: Day 203-560-5588 Evening "b. Owner (if different from applicant written authorization of owner required): Mullingar Group LLCMailing Address: 11 John St Bristol RI 02809Phone: Day 401-714-2167 Evening "4. a. Architect/Draftsman: GMR Protection ResourcesAddress: 1629 Smirl Dr Rockwall Texas 75032Phone: Day 972-772-1322 Evening _____b. Contractor: Horton Group LLCAddress: 1 Bishop Lane Madison CT 06443Phone: Day 203-560-5588 Evening "5. Work Category: _____ Replacing in-kind* *authorization required* _____

_____ New Structure(s) _____ Partial Demolition of Structure(s)

_____ Addition to Structure(s) _____ Total Demolition of Structure(s)

☒ Remodeling of Structure _____ Sign(s) / Landscaping Features6. Description of proposed work: Install (1) new canopy mount fixture, replace (5) interior recessed cans andinstall (1) new interior recessed cans. Exterior fixture to be full cut off LED.

*All changes must match the existing in materials, design and configuration.

2023 FEB 10 PM 12:05

TOWN OF BRISTOL
COMMUNITY DEV.

(Continued): _____

 _____ ☐ ☐ Check here if

continued on additional sheets.

7. Included with the application (check those applicable):

PHOTOGRAPHS: Please label all photographs submitted.

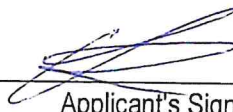
☒ Overall view of property from street(s) ☒ Overall views of building
 _____ Existing details to be altered by work
 _____ Other (Identify) _____

Drawings: Maximum size accepted: 11" x 17"

☒ Site Plan(s) (drawn to scale) _____ Floor plan(s) (drawn to scale)
☒ Exterior Elevations ☒ Details
 OTHER: ☒ Renderings ☒ Catalogue Cuts ☒ Specifications
 _____ Other (Identify) _____

Andrew Rainone

Applicant's Name – Printed


 Applicant's Signature

Date: 2/21/23

Contact Person if other than Applicant:

Name (Printed): _____

Phone: Day _____ Evening _____

A Certificate of Appropriateness (Green Sheet) is valid for one year from the date of issuance.

Note: If work on a project has started within twelve months of its approval date, you have as long as is necessary to finish the job (in other words, longer than a year).

Letter of Authorization
Proposed Security Lighting Improvements:
467 Hope St Bristol RI

I have reviewed and approved the GMR lighting plan submitted by CBRE/Bank America and permit all proposed work/filings to be completed by their contractor Horton LLC.

Mullingar Group Representative

Print: AIDAN Graham

Sign: Aidan Graham

Date: Feb 22 '23



CAI Property Card

Town of Bristol, RI

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR
LOCATION: 467 HOPE ST ACRES: 0.0679 PARCEL ID: 9 54 LAND USE CODE: 04 CONDO COMPLEX: OWNER: MULLINGAR GROUP, LLC CO - OWNER: MAILING ADDRESS: 11 JOHN ST ZONING: D PATRIOT ACCOUNT #: 469	BUILDING STYLE: Mixed Use UNITS: 2 YEAR BUILT: 1900 FRAME: Masonry EXTERIOR WALL COVER: Comm Brk ROOF STYLE: Flat ROOF COVER: Tar & Gravel
	BUILDING INTERIOR
	INTERIOR WALL: Drywall FLOOR COVER: HEAT TYPE: Warm & Cool FUEL TYPE: Oil PERCENT A/C: False # OF ROOMS: 8 # OF BEDROOMS: 4 # OF FULL BATHS: 2 # OF HALF BATHS: 0 # OF ADDITIONAL FIXTURES: 0 # OF KITCHENS: 2 # OF FIREPLACES: 0 # OF METAL FIREPLACES: 0 # OF BASEMENT GARAGES: 0
SALE INFORMATION	
SALE DATE: 8/31/2009 BOOK & PAGE: 1503-246 SALE PRICE: 0 SALE DESCRIPTION: Business Par SELLER: GRAHAM, AIDAN	
PRINCIPAL BUILDING AREAS	
GROSS BUILDING AREA: 7868 FINISHED BUILDING AREA: 4972 BASEMENT AREA: 2800 # OF PRINCIPAL BUILDINGS: 1	
ASSESSED VALUES	
LAND: \$195,000 YARD: \$0 BUILDING: \$420,600 TOTAL: \$615,600	
SKETCH	PHOTO

CAI Technologies

www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes, misuse or misrepresentation of this report.

2/10/2023

89

Property Information - Bristol, RI

Page 1 of 1

CPY Series - Version A

CPY250® LED Canopy/Soffit Luminaire

Product Description

The CPY250® LED Canopy/Soffit Luminaire has an extremely thin profile constructed of rugged cast aluminum. It can be surface mounted easily from below the canopy deck and can be pendant mounted. Direct imaging of the LEDs is eliminated with a highly efficient patterned flat or 0.91" (23mm) drop glass lens.

Applications: Petroleum canopies, CNG fueling stations, soffits

Performance Summary

Made in the U.S.A. of U.S. and imported parts

Initial Delivered Lumens: Up to 17,470

Efficacy: Up to 125 LPW

CRI: Minimum 70 CRI

CCT: 4000K (+/- 300K), 5700K (+/- 500K) Standard

Limited Warranty*: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

IP66 Rated (Direct Mount only)

Class I, Division 2 Hazardous Location for select models

* See <http://lighting.cree.com/warranty> for warranty terms

Accessories

Field-Installed	
Direct Mount Luminaires Canopy Upgrade Kits (18 ga. steel) XA-BXCCMW – for use with Jet-Philips, 21.60" (549mm) square XA-BXCCNW – for use with Elco Franciscan, 22.06" (560mm) square XA-BXCCPW – for use with LSI Dakota or Masters, 22.50" (572mm) square XA-BXCCQW – for use with Whiteway Riviera or Rig-A-Lite, 20.60" (523mm) square XA-BXCCRW – for use with Elco Merrit, 18.06" (459mm) square XA-BXCCSW – for use with LSI Richmond or Whiteway Civic, 23.00" (584mm) L x 13.00" (330mm) W Direct Mount Junction Box/Stem Kit XA-BXCCJBX – 6.0" (152mm) H x 3/4" (19mm) NPT Stem - Watertight - Rated for feed through 8 (4 in, 4 out) #12 AWC conductors Direct Mount Beauty Plates XA-BXCCBPW – 26.17" (665mm) Beauty Plate Only (18 ga. steel) XA-BXCCBPB12W – 26.17" (665mm) Beauty Plate (18 ga. steel) w/12" (305mm) Backer Plate (16 ga. steel) - For use in canopies where deck opening is larger than what is required for mounting the CPY250 luminaire. Maximum deck opening 10.75" x 15" (183mm x 375mm) XA-BXCCBPB16W – 26.17" (665mm) Beauty Plate (18 ga. steel) w/16" (406mm) Backer Plate (16 ga. steel) - For use in canopies where deck opening is larger than what is required for mounting the CPY250 luminaire. Maximum deck opening 12" x 15" (305mm x 375mm)	
Pendant Mount Luminaires Pendant Mount Kits XA-PS12KIT* – 5" (127mm) pendant XA-PS18KIT* – 11" (279mm) pendant XA-PS22KIT* – 15" (381mm) pendant - Includes two conduit fittings and 3/4-14 NPT pipe threaded on two ends Hand-Held Remote XA-SENSREM - For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required	

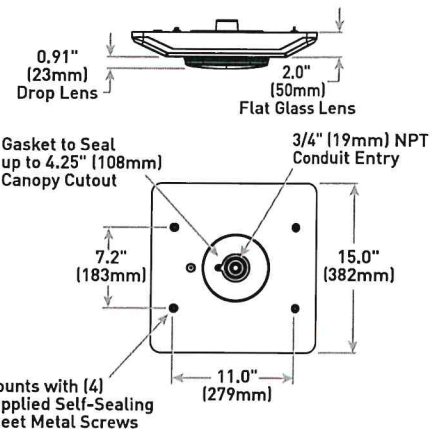
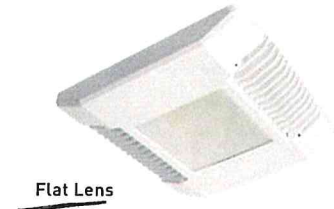
* Must specify color

Ordering Information

Example: CPY250-A-DM-D-D-UL-SV

Product	Version	Mounting	Optic	Input Power Designator	Voltage	Color Options	Options
CPY250	A	DM Direct PD Pendant	D 0.91" (23mm) Drop Lens F Flat Lens	A 82W D 140W	UL Universal 120-277V UH Universal 347-480V	BK Black BZ Bronze SV Silver WH White	DIM 0-10V Dimming - Available with D Input Power Designator only - Control by others - Refer to Dimming spec sheet for details - Can't exceed wattage of specified Input Power Designator PML Programmable Multi-Level - Available with D Input Power Designator only - Available with UL voltage only - Refer to PML spec sheet for details 40K 4000K Color Temperature - Minimum 70 CRI - Color temperature per luminaire HZ Class I, Div. 2 Hazardous Location Certification - Not available with DIM or PML options

DM Mount



Weight
12.5 lbs. (5.7kg)



US: lighting.cree.com

T (800) 236-6800 F (262) 504-5415

Rev. Date: V10 10/03/2018

Canada: www.cree.com/canada



T (800) 473-1234 F (800) 890-7507

CPY250® LED Canopy/Soffit Luminaire - Version A

Product Specifications

CONSTRUCTION & MATERIALS

- Slim, low profile design
- Easy mounting and servicing from below the deck
- Luminaire housing is constructed of rugged cast aluminum with integral heat sink specifically designed for LED
- Flat lens is 0.125" tempered Solite® glass
- Drop lens is 0.157" molded borosilicate glass
- Direct mount is suitable for use in single or double skin canopies with a minimum 4.0" (102mm) wide panels and a minimum 22 gauge, 0.030" (0.7mm) canopy thickness
- Direct mount luminaire mounts directly to the canopy deck with the drilling of a single 2" to 4" (51mm to 102mm) round hole, is secured in place with self-sealing screws that provide a weathertight seal and includes 3/4" (19mm) conduit entry for direct wire feed
- Standard pendant mount includes a mounting bracket and a J-Box for customer wiring and is intended to be mounted by 3/4 IP pendant (by others)
- Hazardous location pendant mount has a threaded hub which accepts 3/4" NPT conduit (by others) and secures with a 1/4"-20 set screw
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Black, bronze, silver and white are available
- **Weight:** 12.5 lbs. (5.7kg)

ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V or 347-480V, 50/60Hz, Class 1 drivers
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- Integral 6kV surge suppression protection standard
- To address inrush current, slow blow fuse or type C/D breaker should be used
- **10V Source Current:** 0.15mA
- **Operating Temperature Range:** Applications Requiring Class I, Division 2 Hazardous Location Ratings: -40°C - +25°C; A Input Power Designator: -40°C - +40°C (direct mount to plywood), -40°C - +45°C (direct mount to sheet metal/suspended); D Input Power Designators: -40°C - +35°C (sheet metal/suspended only)

WARNING: Exceeding maximum operating temperature may result in thermal foldback

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations when ordered with DM mount
- Suitable for damp locations when ordered with PD mount
- Suitable for wet locations when ordered with PD mount and HZ option
- Enclosure rated IP66 per IEC 60529 when ordered with DM mount
- Consult factory for CE Certified products
- 6kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15, Subpart B, Class A standards for conducted and radiated emissions
- DLC and DLC Premium qualified versions available. Please refer to <https://www.designlights.org/search/> for most current information
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- Meets Buy American requirements within ARRA
- RoHS compliant. Consult factory for additional details
- Class I, Division 2 Hazardous Location rated when ordered with the HZ option. Not available with DIM or PML options. Consult factory for additional details

CA RESIDENTS WARNING: Cancer and Reproductive Harm – www.p65warnings.ca.gov

Electrical Data*								
Input Power Designator	System Watts 120-277V	System Watts 347-480V	Total Current (A)					
			120V	208V	240V	277V	347V	480V
A	82	84	0.69	0.40	0.35	0.32	0.24	0.18
D	140	145	1.24	0.71	0.62	0.54	0.44	0.29

* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-480V +/- 10%

Recommended CPY Series - Version A Lumen Maintenance Factors (LMF) ¹						
Ambient	Input Power Designator	Initial LMF	25K hr Projected ² LMF	50K hr Projected ² LMF	75K hr Projected ² LMF	100K hr Projected ² LMF
5°C (41°F)	A	1.05	1.00	0.93	0.87	0.81
	D	1.05	0.98	0.90	0.83	0.76
10°C (50°F)	A	1.04	0.99	0.92	0.86	0.80
	D	1.04	0.98	0.89	0.82	0.75
15°C (59°F)	A	1.02	0.97	0.91	0.84	0.79
	D	1.02	0.96	0.88	0.80	0.74
20°C (68°F)	A	1.01	0.96	0.90	0.84	0.78
	D	1.01	0.95	0.87	0.80	0.73
25°C (77°F)	A	1.00	0.95	0.89	0.83	0.77
	D	1.00	0.94	0.86	0.79	0.72
30°C (86°F)	A	0.99	0.94	0.88	0.82	0.76
	D	0.99	0.93	0.85	0.78	0.72

¹ Lumen maintenance values at 25°C (77°F) are calculated per TM-21 based on LM-80 data and in-situ luminaire testing on sheet metal

² In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing (IDUT) i.e. the packaged LED chip

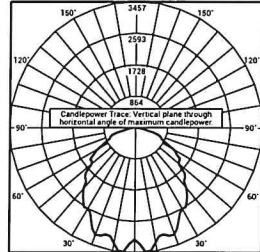
³ In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing (IDUT) i.e. the packaged LED chip

CPY250® LED Canopy/Soffit Luminaire - Version A

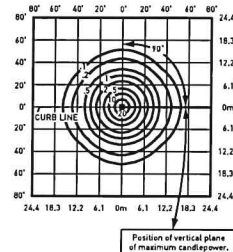
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/canopy-and-soffit/cpy-series>

DROP LENS



CESTL Test Report #: 2013-0111
CPY250-A-D-D-UL
Initial Delivered Lumens: 8,356



CPY250-A-D-D-UL
Mounting Height: 15' (4.6m)
Initial Delivered Lumens: 17,059
Initial FC at grade

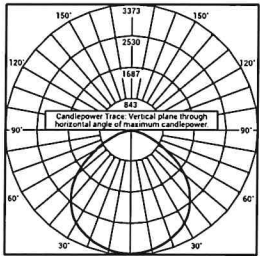
Drop Lens Distribution

Input Power Designator	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
A	7,600	B3 U2 G1	8,000	B3 U2 G1
D	16,403	B4 U3 G2	17,059	B4 U3 G2

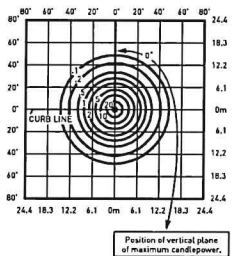
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

FLAT LENS



ITL Test Report #: 76866
CPY250-A-F-A-UL
Initial Delivered Lumens: 8,821



CPY250-A-F-A-UL
Mounting Height: 15' (4.6m)
Initial Delivered Lumens: 17,470
Initial FC at grade

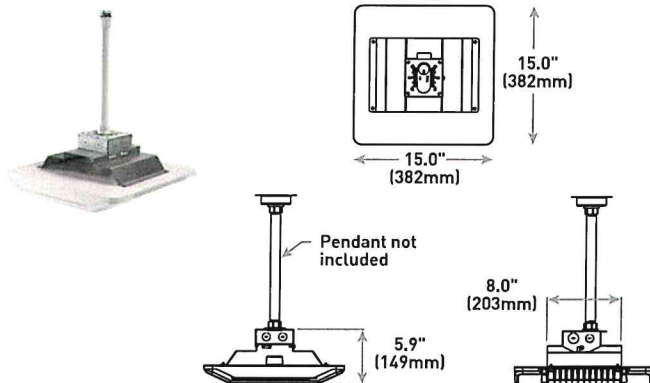
Flat Lens Distribution

Input Power Designator	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
A	7,600	B3 U0 G1	8,000	B3 U0 G1
D	16,798	B4 U0 G1	17,470	B4 U0 G1

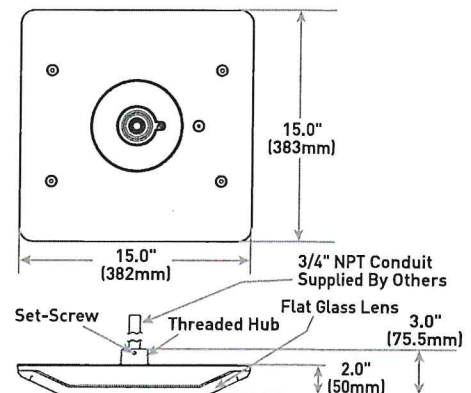
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

PD Mount



PD Mount w/HZ Option



Lumination

Lumination® LRX Series

LED Downlights



Item 3G.

CUSTOMER NAME _____

INTERIOR

Project Name _____

Date _____

Type _____

Catalog Number _____

The **Lumination®** LRX Series is a specifiable downlight for retrofit and new construction applications. The LRX series is available in round and square form factors with 5 aperture options ranging from 4in to 12in. The LRX series features field-selectable lumen options, adapter rings, and a variety of reflector and trim finishes, making it a versatile solution for commercial spaces.

CONSTRUCTION

Housing: 16 gauge aluminum spinning reflector housing

Lens: Custom engineered reflectors for wide distributions.

Paint: Powdercoat painted

Weights: Up to 4.6 pounds

Optical Assembly: High efficiency reflector and optical diffuser.

OPTICAL SYSTEM

Lumens: 1000–6000lm
Selectable: 650/1000lm, 3000/4000lm, 4000/5000/6000lm

Distribution: 90°

Efficacy: Up to 112 LPW

CCT: 3000K, 3500K, 4000K

CRI: 82

ELECTRICAL

Input Voltage: 120–277V

Input Frequency: 50/60Hz

Power Factor (PF)*: > 0.9%

Total Harmonic Distortion (THD)*: <20%

* PF and THD may vary with options

CONTROLS

Dimming: Standard 0–10V, Dimming 10%

Controls: Daintree compatible with accessory kit

AMBIENT TEMPERATURE

TYPE	TEMPERATURE RATE
OPERATING TEMPERATURE	-10°C TO +40°C (no EMBB) 0°C TO +25°C (with EMBB)

LUMEN MAINTENANCE

LXX(10K) @ Hours 50,000 HR
L85

MOUNTING

- Spring clips clamp on to existing frame.
- Accessible from beneath the ceiling.
- New construction utilizing FRAME.
- Fixture mounting to an existing metal frame, or install with new frame kit (ordered separately), interior ceiling applications only.
- Conduit connect to quick-disconnect for easy installation.

ADDITIONAL NOTES

- Non-IC Rated
- IK00 Impact Resistant
- Optional black, white or silver trims available (ordered separately)

DESIGN LIFE & WARRANTY

- **Current's Limited 5-year Warranty:**
Please refer to document [IND599](#) for more information.



Lumination

Lumination® LRX Series

LED Downlights

Ordering Information

Item 3G.

CUSTOMER NAME _____
 Project Name _____
 Date _____ Type _____
 Catalog Number _____

LRX

8

MD

FAMILY	SHAPE/SIZE	LUMENS	CRI	CCT	DIMMING	OPTIONS
LRX = Lumination® LRX Series Downlight	R4 = 4" Round Retrofit Downlight	10' = 1000lm/650lm	8 = 82 CRI	30 = 3000K 35 = 3500K 40 = 4000K	MD = 0-10V Dimming	Blank = None EL = EMBB Ready
	S4 = 4" Square Retrofit Downlight					
	R6 = 6" Round Retrofit Downlight	10' = 1000lm/650lm 18 = 1800lm				
	S6 = 6" Square					
	R8 = 8" Round Retrofit Downlight	10' = 1000lm/650lm 18 = 1800lm				
	S8 = 8" Square Retrofit Downlight	30 = 3000lm 40' = 4000lm/3000lm				
	R10' = 10" Round Retrofit Downlight	30' = 3000lm 60' = 4000lm/5000lm/6000lm				
	R12' = 12" Round Retrofit Downlight	60' = 4000lm/5000lm/6000lm				

Notes:

1. Selectable Lumen packages allow for field adjustments to light output. See page 7 for details.
2. The standard trim is white. Colored trim options are available see page 4 for details.
3. Attach to existing frame or install with new frame kit (ordered separately) per UL.
4. 10inch and 12inch 3000lm & 4000/5000/6000lm only for MD=0-10V dimming.

0-10V DIMMING							
NOMINAL LUMENS	650	1000	1800	3000	4000	5000	6000
Delivered Lumens - LRX*4	700	1020	N/A	N/A	N/A	N/A	N/A
Delivered Lumens - LRX*6	700	1050	1900	N/A	N/A	N/A	N/A
Delivered Lumens - LRX*8	750	1200	2000	3300	N/A	N/A	N/A
Delivered Lumens - LRXR10	N/A	N/A	N/A	3180	4600	5400	6200
Delivered Lumens - LRXR12	N/A	N/A	N/A	N/A	4650	5450	6250
System Input Power (W)	8.5	13	22	35	41	49	59.5
System Efficacy (LPW)	88	92	91	94	112	110	104

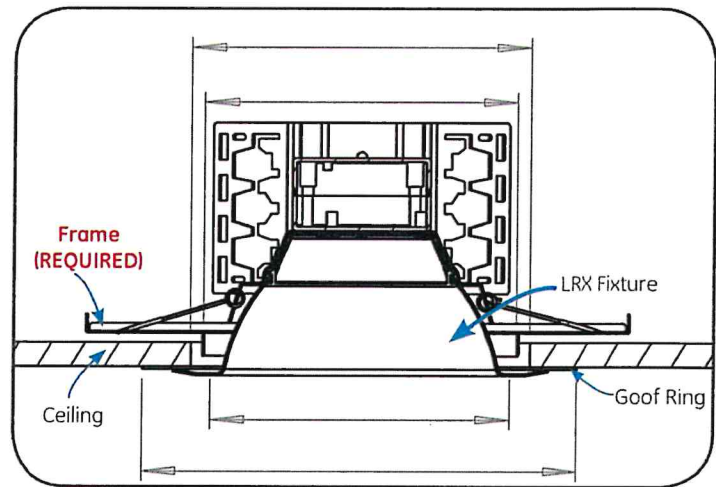
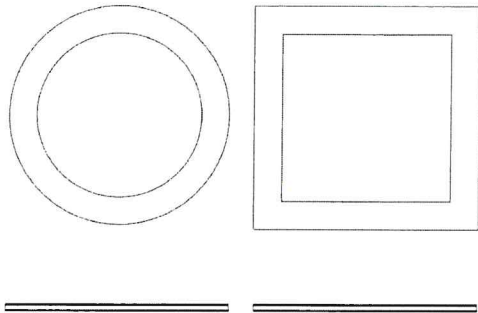
DELIVERED LUMEN MULTIPLIERS	
CCT	MULTIPLIERS
4000K	1
3500K	0.98
3000K	0.94

CUSTOMER NAME _____
Project Name _____
Date _____ Type _____
Catalog Number _____

ACCESSORIES: LUMINATION® LRX SERIES - REMODEL (GOOF) RINGS

The essential accessory for any project, the goof ring helps to cover openings in the ceiling with a trim that blends with the existing LRX trim. Goof rings are available in white only. Verify the existing opening and LRX fixture to order the correct goof ring, details shown in the table below. Always verify proper installation per the Installation Guide.

Installation Position



Notes: Please check the compatibility of the goof ring and the fixture by referring to the table below.

Goof Rings










FOR NEW CONSTRUCTION									FOR RETROFIT	
GOOF RING SKU	GOOF RING DESCRIPTION	GOOF RING SHAPE	SUITABLE FIXTURE	SUITABLE FRAME	INSIDE OF GOOF RING (IN)	OUTSIDE OF GOOF RING (IN)	CEILING HOLD MIN. (IN)	CEILING HOLE MAX. (IN)	SUITABLE FRAME DIMENSION (IN)	FRAME HOLE (IN)
93114516	GRRX4R6PTWT	ROUND	LRXR4XXXXXX	FRAME4RXXXX	4.48	7.09	5.20	6.69	12.60 x 7.64 x 3.54	4.20–4.70
93114517	GRRX4S6PTWT	SQUARE	LRXS4XXXXXX	FRAME4SXXXX	4.48	7.09	5.20	6.19	12.60 x 7.64 x 3.54	4.20–4.90
93114518	GRRX6R8PTWT	ROUND	LRXR6XXXXXX	FRAME6RXXXX	6.18	9.00	6.50	8.60	12.60 x 7.64 x 3.54	5.91–6.50
93114519	GRRX6S8PTWT	SQUARE	LRXS6XXXXXX	FRAME6SXXXX	6.22	8.98	7.50	8.08	13.35 x 11.34 x 3.54	5.95–7.50
93114520	GRRX8R10PTWT	ROUND	LRXR8XXXXXX	FRAME8RXXXX	7.87	10.50	8.27	10.10	15.55 x 11.34 x 3.54	7.68–8.27
93114521	GRRX8S10PTWT	SQUARE	LRXS8XXXXXX	FRAME8SXXXX	8.23	10.98	9.50	10.08	13.35 x 11.34 x 3.54	7.95–9.50
93114522	GRRX8R12PTWT	ROUND	LRXR8XXXXXX	FRAME8RXXXX	7.87	12.99	10.10	12.59	15.55 x 11.34 x 3.54	7.68–8.27
93114523	GRRX8S12PTWT	SQUARE	LRXS8XXXXXX	FRAME8SXXXX	8.23	12.99	10.58	12.09	13.35 x 11.34 x 3.54	7.95–9.50

CUSTOMER NAME _____
 Project Name _____
 Date _____ Type _____
 Catalog Number _____

ACCESSORIES: LUMINATION® LRX SERIES

PRODUCT DESCRIPTION	MATERIAL DESCRIPTION	MATERIAL	NOTES
EMERGENCY BATTERY BACKUP KIT (7W)	LRXEMBBKIT07	93043031	7 WATT EMBB QUICK CONNECT KIT (MUST HAVE FIXTURE WITH "EL" OPTION)
EMERGENCY BATTERY BACKUP KIT (10W)	LRXEMBBKIT10	93043540	10 WATT EMBB QUICK CONNECT KIT (MUST HAVE FIXTURE WITH "EL" OPTION)
4" NEW CONSTRUCTION ROUND FRAME KIT	FRAME4R	93090208	RECOMMENDED FOR NEW CONSTRUCTION APPLICATIONS
6" NEW CONSTRUCTION ROUND FRAME KIT	FRAME6R	93025091	RECOMMENDED FOR NEW CONSTRUCTION APPLICATIONS
8" NEW CONSTRUCTION ROUND FRAME KIT	FRAME8R	93025092	RECOMMENDED FOR NEW CONSTRUCTION APPLICATIONS
10" NEW CONSTRUCTION ROUND FRAME KIT	FRAME10R	93124880	RECOMMENDED FOR NEW CONSTRUCTION APPLICATIONS
12" NEW CONSTRUCTION ROUND FRAME KIT	FRAME12R	93124881	RECOMMENDED FOR NEW CONSTRUCTION APPLICATIONS
4" NEW CONSTRUCTION SQUARE FRAME KIT	FRAME4S	93090209	RECOMMENDED FOR NEW CONSTRUCTION APPLICATIONS
6" NEW CONSTRUCTION SQUARE FRAME KIT	FRAME6S	93045426	RECOMMENDED FOR NEW CONSTRUCTION APPLICATIONS
8" NEW CONSTRUCTION SQUARE FRAME KIT	FRAME8S	93045427	RECOMMENDED FOR NEW CONSTRUCTION APPLICATIONS
347V KIT	LRX347V277	93036250	347V TRANSFORMER QUICK CONNECT KIT
DAINTREE CONTROLS ACCESSORY KIT	LCABAVTQUNGALV	93057194	SEE LCA KIT LITERATURE & INSTALL GUIDE, DOES NOT INCLUDE SENSOR
SENSOR ACCESSORY KIT - DAINTREE ENTERPRISE	LSAATZFM6	93098473	SEE LSA KITS LITERATURE & INSTALL GUIDE
SENSOR ACCESSORY KIT - DAINTREE ONE & EZ CONNECT	LSAAT/T1FM6	93098472	SEE LSA KITS LITERATURE & INSTALL GUIDE
HANGER BAR, C-CHANNEL, 25 - 1/4" (BOXED PAIR)	BH3	93110306	RECOMMENDED FOR NEW CONSTRUCTION APPLICATIONS

ACCESSORIES: LUMINATION® LRX SERIES COLORED ROUND TRIM OPTIONS

ROUND					SQUARE			
SILVER	BLACK	SPECULAR WITH WHITE TRIM	SEMI-DIFFUSE WITH WHITE TRIM	SEMI-DIFFUSE WITH MATCHING TRIM	SILVER	BLACK	SPECULAR WITH WHITE TRIM	SEMI-DIFFUSE WITH WHITE TRIM
								
93151744 LRXTRIMR4SV	93151745 LRXTRIMR4BL	93151746 LRXTRIMR4SP	93151747 LRXTRIMR4SD		93151748 LRXTRIMS4SV	93151749 LRXTRIMS4BL	93151750 LRXTRIMS4SP	93151751 LRXTRIMS4SD
93059502 LRXTRIMR6SV	93059501 LRXTRIMR6BL	93151752 LRXTRIMR6SP	93151753 LRXTRIMR6SD	93152569 LRXTRIMR6SA	93151754 LRXTRIMS6SV	93151755 LRXTRIMS6BL	93151756 LRXTRIMS6SP	93151757 LRXTRIMS6SD
93059504 LRXTRIMR8SV	93059503 LRXTRIMR8BL							

Lumination

Lumination® LRX Series

LED Downlights

Dimensions

Item 3G.

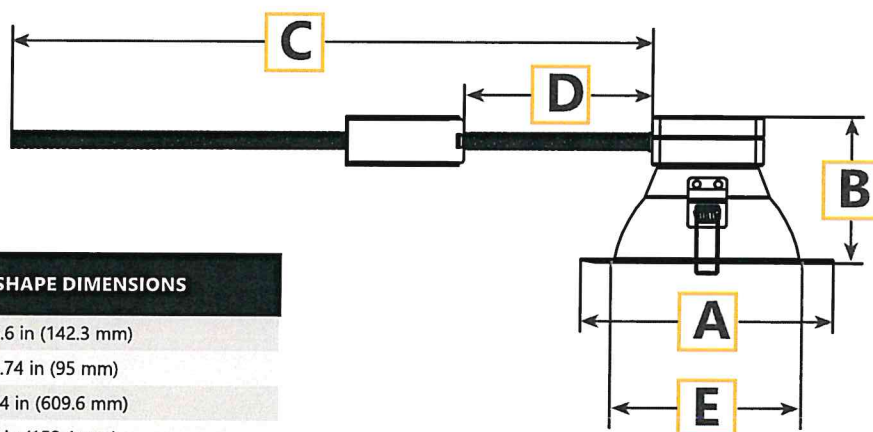
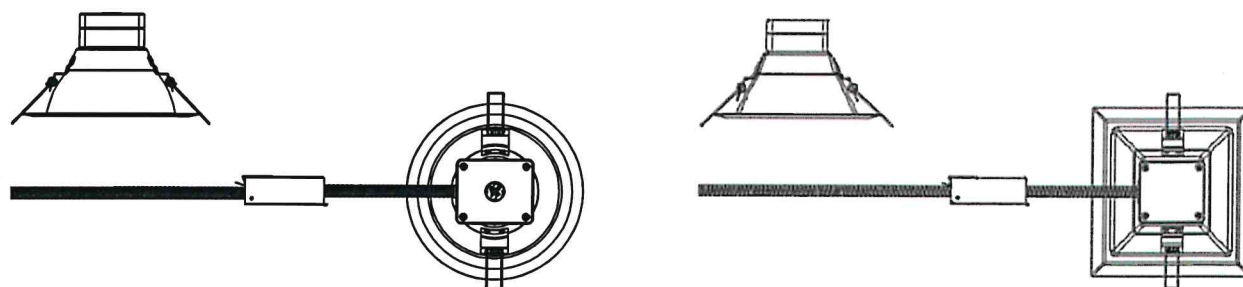
CUSTOMER NAME _____

Project Name _____

Date _____ Type _____

Catalog Number _____

DIMENSIONS



ROUND SHAPE DIMENSIONS		
4 in	A	5.6 in (142.3 mm)
	B	3.74 in (95 mm)
	C	24 in (609.6 mm)
	D	6 in (152.4 mm)
	E	Ceiling Cutout Min: 4.4 in
6 in	A	7.75 in (196.8 mm)
	B	4.5 in (114.2 mm)
	C	24 in (609.6 mm)
	D	6 in (152.4 mm)
8 in	E	Ceiling Cutout Min: 5.7 in
	A	9.75 in (247.6 mm)
	B	5.1 in (129.4 mm)
	C	24 in (609.6 mm)
	D	6 in (152.4 mm)
10 in	E	Ceiling Cutout Min: 7.7 in
	A	12 in (305 mm)
	B	5.8 in (148.2 mm)
	C	24.0 in (609.6 mm)
	D	6 in (152.4 mm)
12 in	E	Ceiling Cutout Min: 9.7 in
	A	14 in (355 mm)
	B	6.23 in (158.2 mm)
	C	24 in (609.6 mm)
	D	6 in (152.4 mm)
	E	Ceiling Cutout Min: 11.7 in

SQUARE SHAPE DIMENSIONS		
4 in	A	5.75 in (146 mm)
	B	3.74 in (95 mm)
	C	24 in (609.6 mm)
	D	6 in (152.4 mm)
	E	Ceiling Cutout Min: 4 in for ceiling thickness ≤ 10 mm; 4.2 in for ceiling thickness > 10 mm
6 in	A	7.75 in (196.8 mm)
	B	4.5 in (114.2 mm)
	C	24 in (609.6 mm)
	D	6 in (152.4 mm)
	E	Ceiling Cutout Min: 5.6 in
8 in	A	9.75 in (247.6 mm)
	B	5.1 in (129.4 mm)
	C	24 in (609.6 mm)
	D	6 in (152.4 mm)
	E	Ceiling Cutout Min 7.6 in

Lumination

Lumination® LRX Series

LED Downlights
Photometrics

Item 3G.

CUSTOMER NAME _____

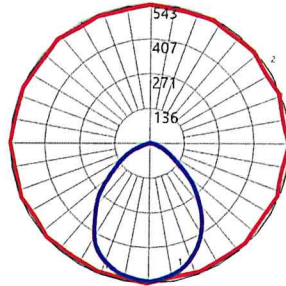
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Date _____ Type _____

Catalog Number _____

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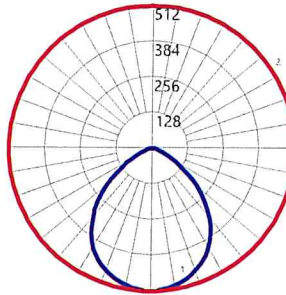
4" Round LRX
1059 LM
LRXR410830MD



ZONE	LUMENS
0-10	50.98
10-20	143.53
20-30	208.85
30-40	226.68
40-50	194.68
50-60	131.45
60-70	66.78
70-80	29.04
80-90	6.9

ZONE	LUMENS	% OF FIXTURE
0-20	194.51	18.4
0-30	403.36	38.1
0-40	630.04	59.5
0-60	956.17	90.3
0-80	1052.0	99.3
0-90	1058.9	100.0

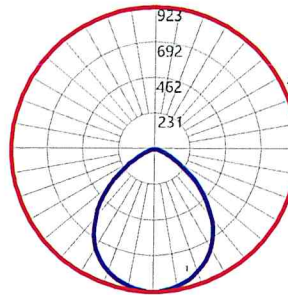
6" Round LRX
1000 LM
LRXR610830MD



ZONE	LUMENS
0-10	48.26
10-20	135.99
20-30	199.14
30-40	221.96
40-50	188.12
50-60	118.95
60-70	54.04
70-80	25.47
80-90	7.78

ZONE	LUMENS	% OF FIXTURE
0-20	184.25	18.4
0-30	383.39	38.3
0-40	605.34	60.5
0-60	912.41	91.2
0-80	991.92	99.2
0-90	999.70	100.0

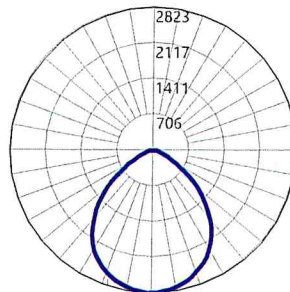
8" Round LRX
1797 LM
LRXR818830MD



ZONE	LUMENS
0-10	87.00
10-20	245.00
20-30	357.94
30-40	405.72
40-50	355.72
50-60	213.19
60-70	84.35
70-80	37.58
80-90	10.61

ZONE	LUMENS	% OF FIXTURE
0-20	332.00	18.4
0-30	689.94	38.3
0-40	1095.66	60.9
0-60	1664.57	92.5
0-80	1786.51	99.2
0-90	1797.12	99.8

10" Round LRX
5893 LM
LRXR1030830MD



ZONE	LUMENS
0-10	265.56
10-20	751.07
20-30	1109.15
30-40	1284.03
40-50	1192.46
50-60	797.55
60-70	323.82
70-80	129.46
80-90	639.60

ZONE	LUMENS	% OF FIXTURE
0-20	538.49	17.2
0-30	2125.78	36.0
0-40	3409.81	57.8
0-60	5399.82	91.5
0-80	5853.11	99.2
0-90	5892.71	99.9
10-90	5627.15	95.4
20-40	2393.19	40.6
20-50	3585.65	60.8
40-70	2313.83	39.2
60-80	453.28	7.7
70-80	129.46	2.2
80-90	39.60	0.7

Lumination

Lumination® LRX Series

LED Downlights

Photometrics

Item 3G.

CUSTOMER NAME _____

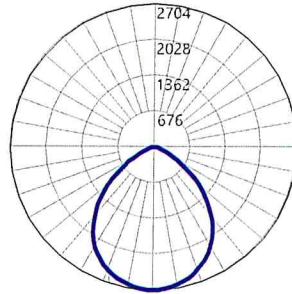
Project Name _____

Date _____ Type _____

Catalog Number _____

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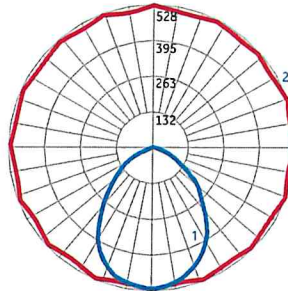
12" Round LRX
6070 LM
LRXR1260830MD



ZONE	LUMENS
0-10	254.76
10-20	726.52
20-30	1087.30
30-40	1279.70
40-50	1270.85
50-60	939.08
60-70	372.27
70-80	106.14
80-90	33.16

ZONE	LUMENS	% OF FIXTURE
0-20	981.28	16.1
0-30	2068.58	34.0
0-40	3348.28	55.1
0-60	5558.22	91.5
0-80	6036.63	99.3
0-90	6069.79	99.9
10-90	5815.03	95.7
20-40	2367.00	39.0
20-50	3637.86	59.9
40-70	2582.21	42.5
60-80	478.41	7.9
70-80	106.14	1.7
80-90	33.16	0.5

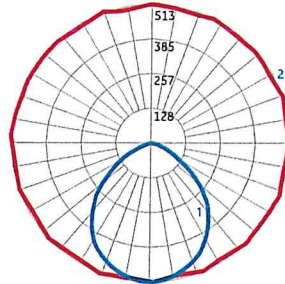
4" Square LRX
1045 LM
LRXS410830MD



ZONE	LUMENS
0-10	48.79
10-20	136.05
20-30	195.03
30-40	214.18
40-50	192.29
50-60	143.00
60-70	81.10
70-80	27.89
80-90	6.20

ZONE	LUMENS	% OF FIXTURE
0-20	184.85	17.7
0-30	379.88	36.3
0-40	594.06	56.7
0-60	929.35	88.8
0-80	1038.34	99.2
0-90	1044.54	99.8

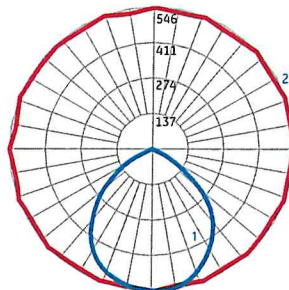
6" Square LRX
1050 LM
LRXS610830MD



ZONE	LUMENS
0-10	48.40
10-20	137.38
20-30	203.26
30-40	229.80
40-50	202.64
50-60	136.51
60-70	63.03
70-80	22.61
80-90	6.12

ZONE	LUMENS	% OF FIXTURE
0-20	185.78	17.7
0-30	389.04	37.1
0-40	618.84	58.9
0-60	957.99	91.2
0-80	1043.63	99.4
0-90	1049.74	100.0

8" Square LRX
1199 LM
LRXS810830MD



ZONE	LUMENS
0-10	51.81
10-20	147.65
20-30	220.84
30-40	258.58
40-50	243.12
50-60	169.22
60-70	75.23
70-80	25.23
80-90	7.77

ZONE	LUMENS	% OF FIXTURE
0-20	199.46	16.6
0-30	420.3	35.0
0-40	678.88	56.6
0-60	1091.68	90.9
0-80	1191.68	99.3
0-90	1199.45	100.0

AGENT/DISTRIBUTOR NAME-LOGO _____

Project Name _____

Date _____ Type _____

Catalog Number _____

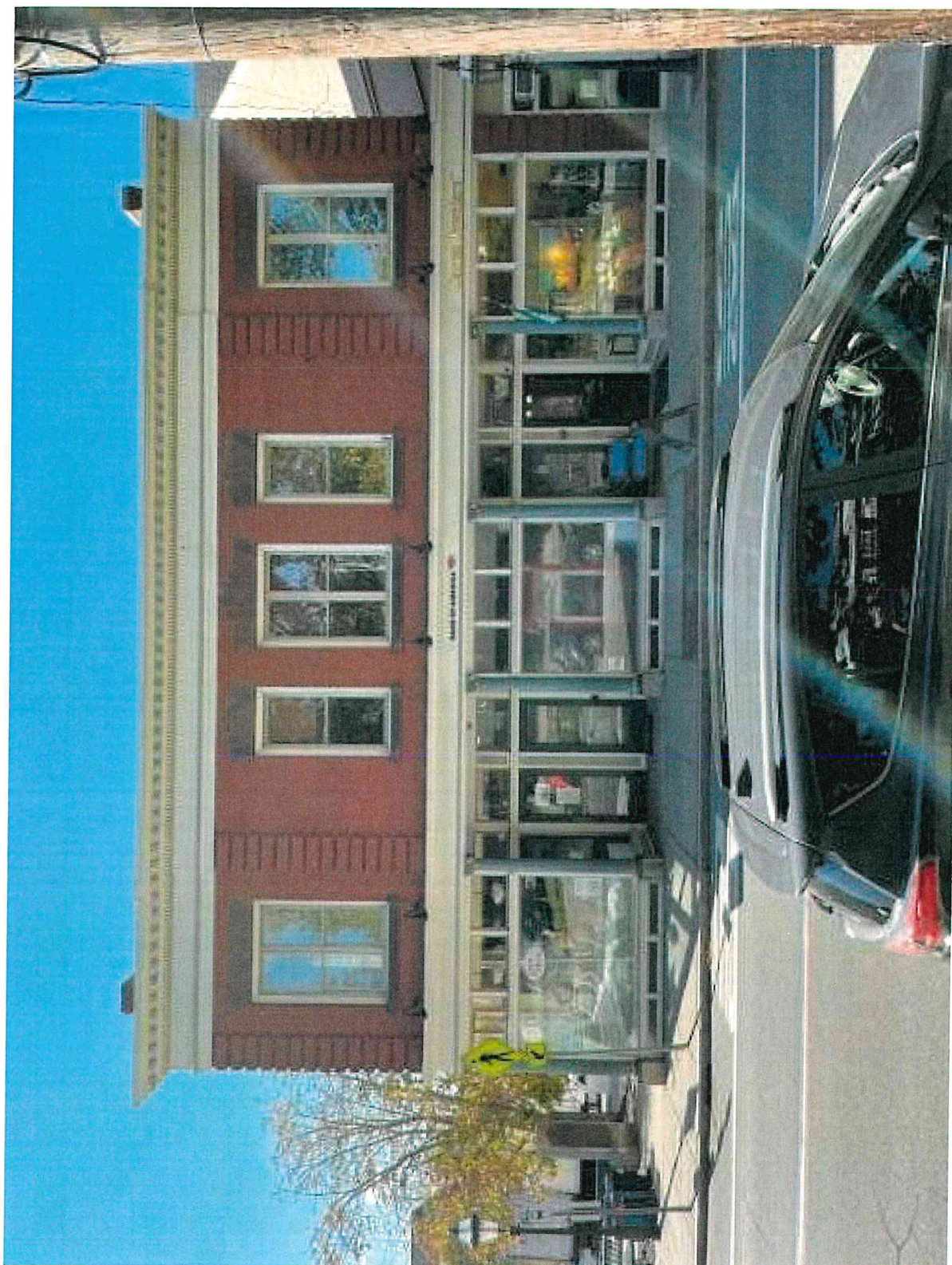
DAINTREE CONTROLS

Daintree® Wireless Controls:

There is no one size fits all for wireless controls. Some networks want simple solutions that reduce energy consumption and meet code compliance while others are more ambitious, looking to capitalize on the LED and controls savings to fund a scalable, enterprise-grade, internet of things solution. The advantage of the Daintree® Wireless platform is it's ability to integrate into indoor, outdoor and high bay environments. The Daintree® Wireless Controls provide the infrastructure to future proof your buildings, easily upgrade to Networked solutions and provide the ability to integrate into IoT solutions that are right for your business.

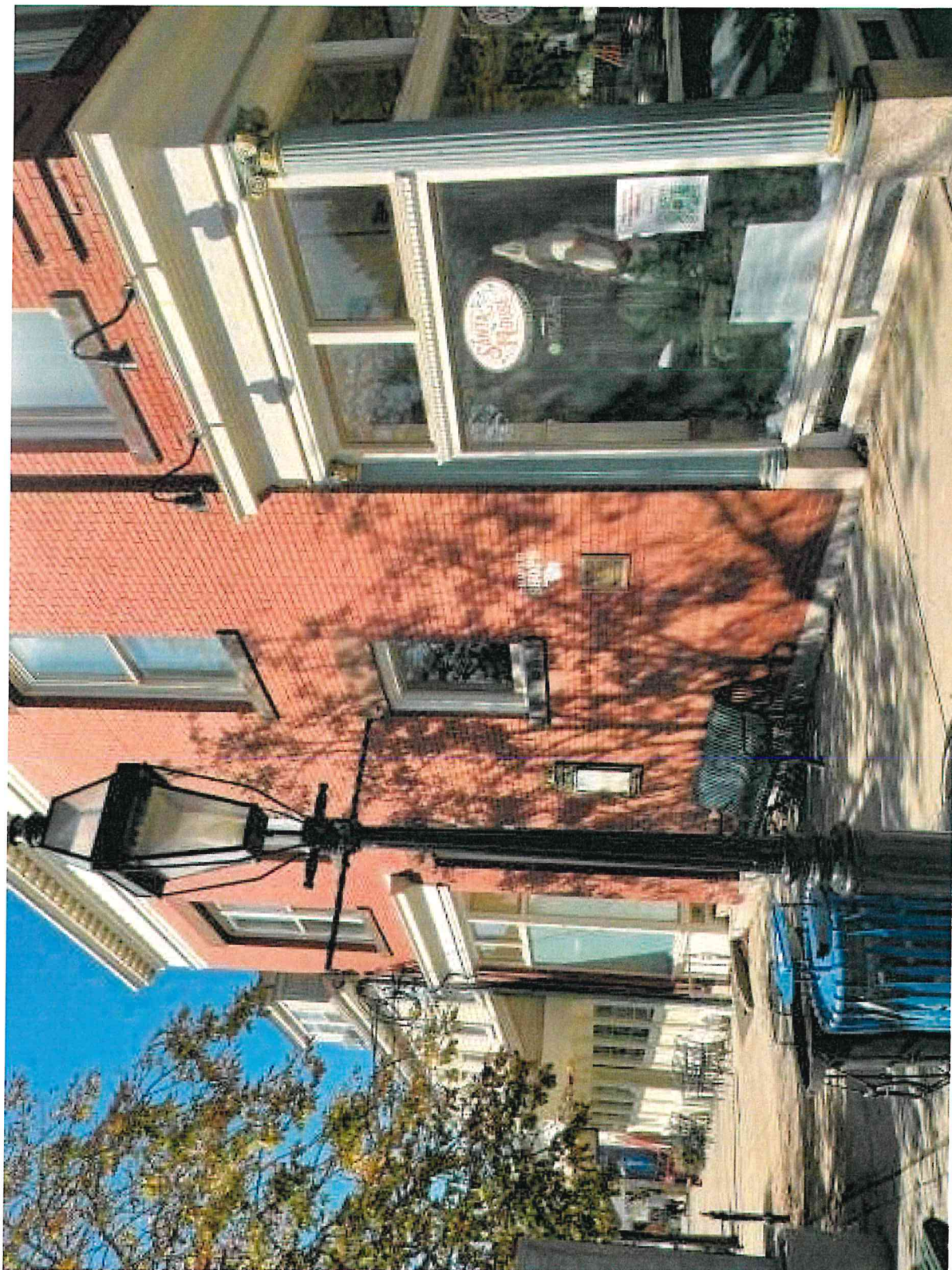
- Daintree® One: Standalone Wireless Controls
- Daintree® EZ Connect: Room-Based Wireless Lighting Controls
- Daintree® Networked: Networked Lighting Controls for Smart Building & IoT Enablement.

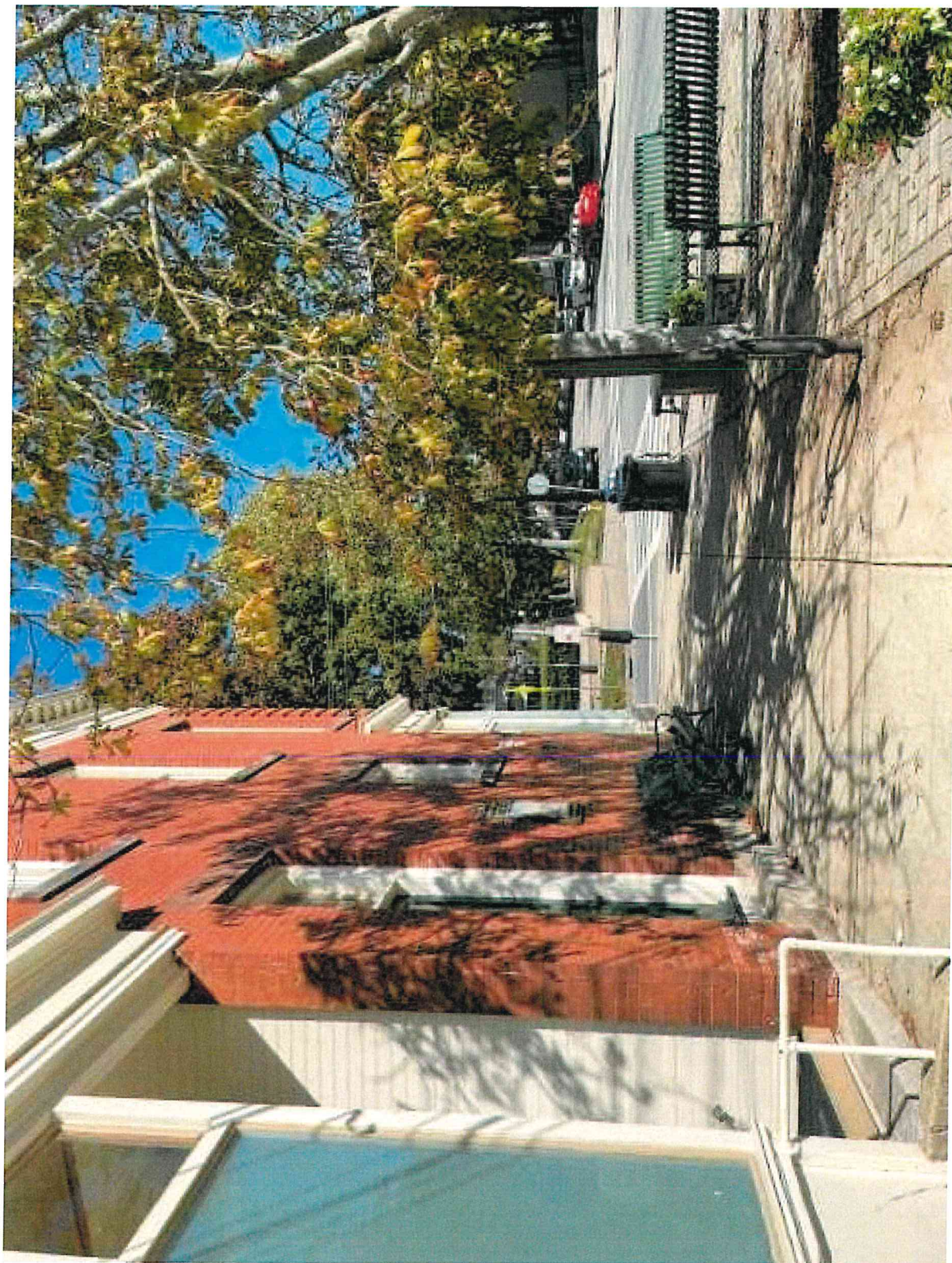
Daintree® Wireless Controls are already integrated in your favorite Current LED fixtures. Integrating the controls into the fixture cuts labor costs considerably since the sensors are already embedded in the lighting fixtures. There's no need to get above the ceiling plenum and install additional devices. Visit our website <https://products.gecurrent.com> for a complete list of LED Fixtures.







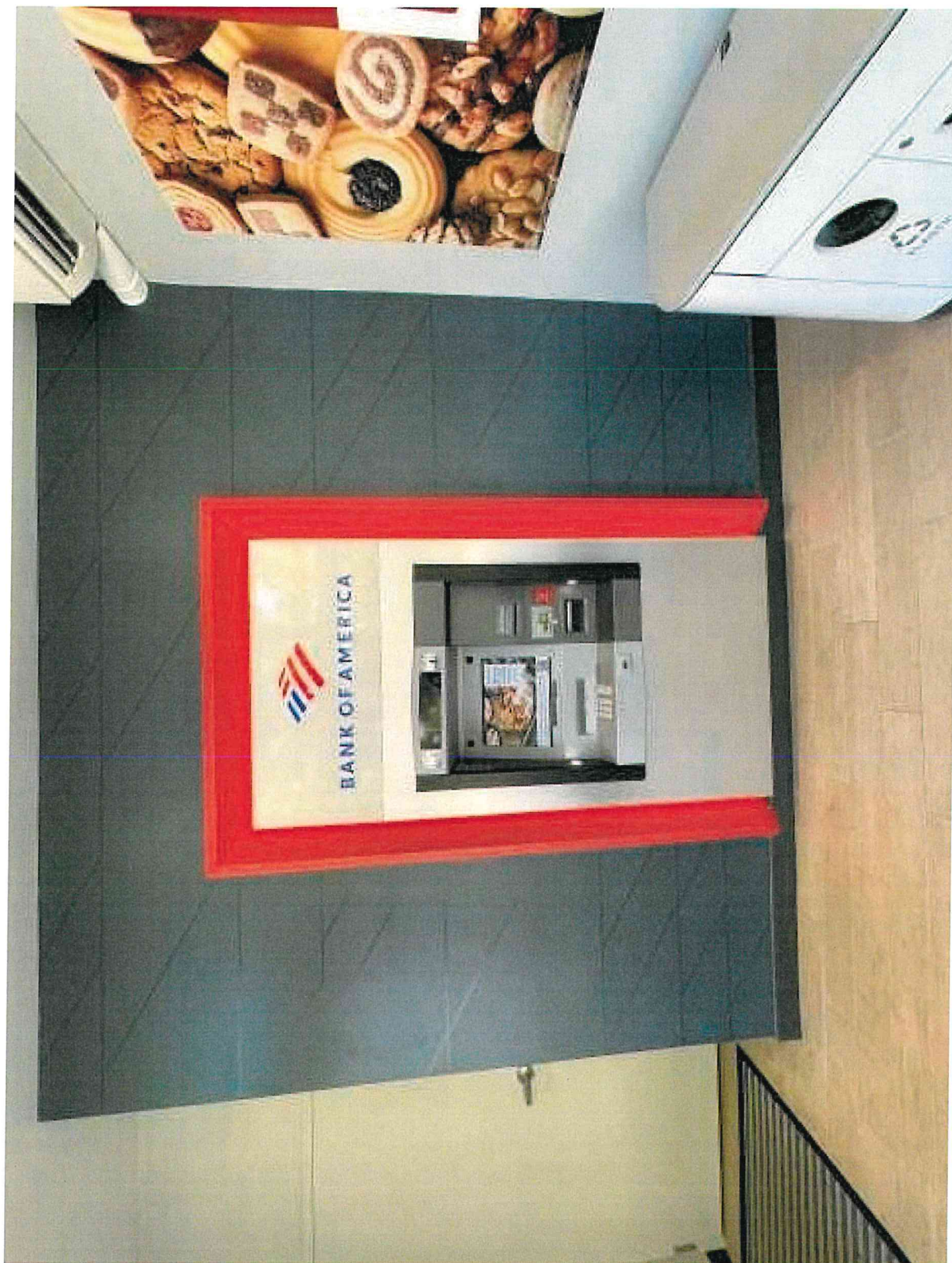




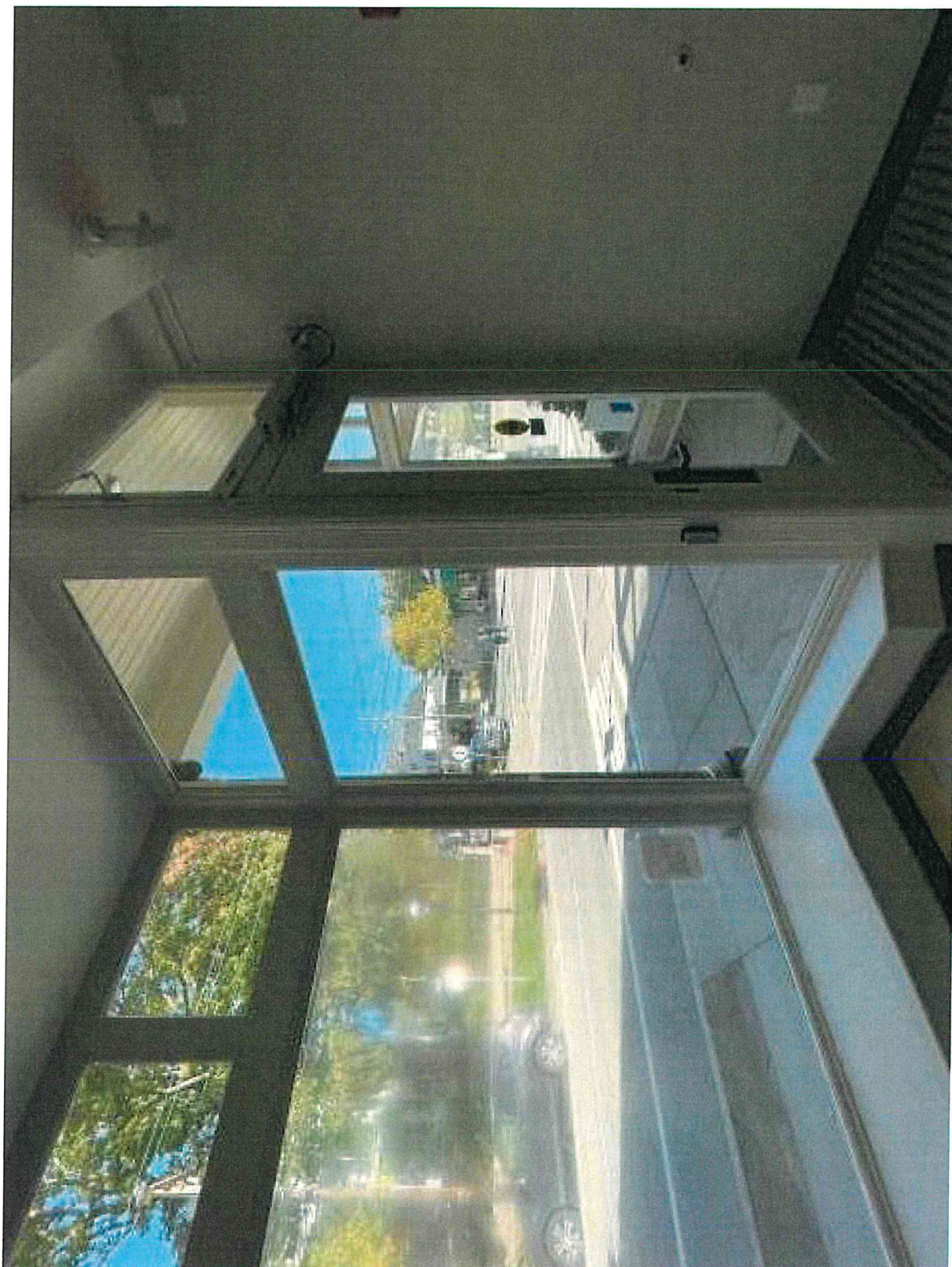


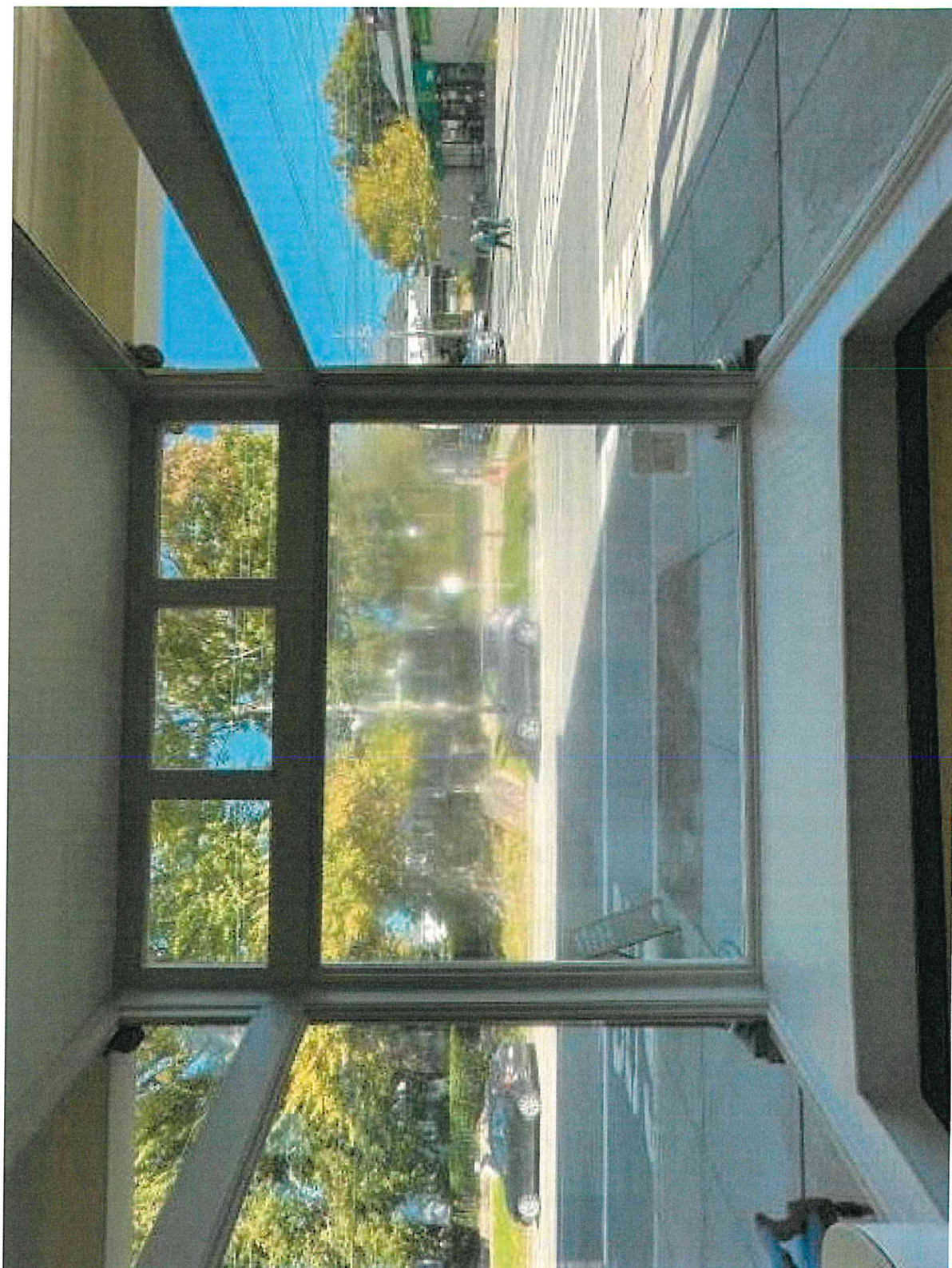




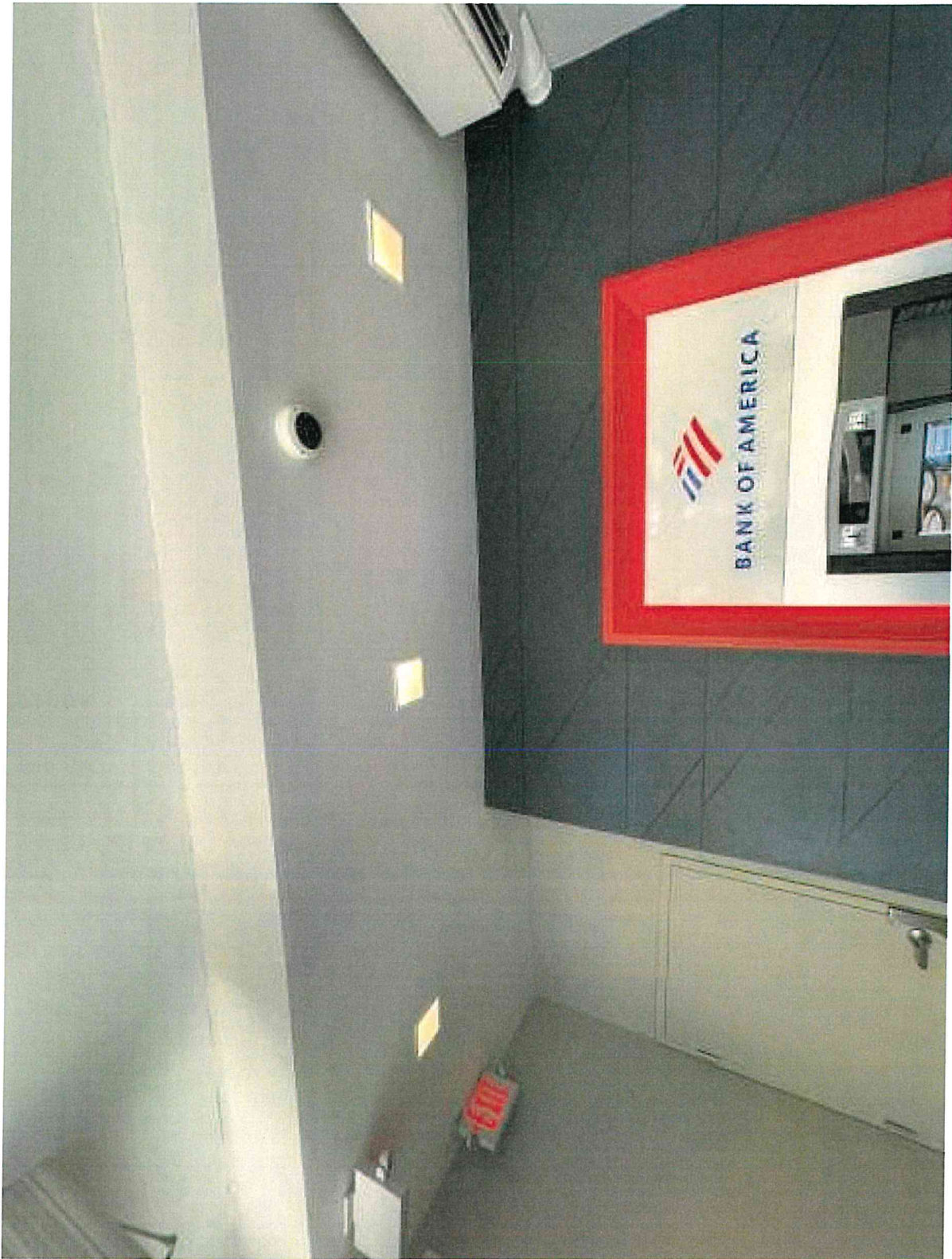














23-028



BRISTOL HISTORIC DISTRICT COMMISSION

APPLICATION FOR REVIEW OF PROPOSED WORK

1. Property Address (Street & No.) 1200 Hope St. Bristol RI
2. Plat # 103 Lot # 2 + 14 Contributing Significant Non-Contributing _____
3. a. Applicant: MI 1200 Hope St LLC
 Mailing Address: 120 Tallman Ave, Portsmouth RI 02781
 Phone: 401-999-0869 Email: kyle@expressrealtytrustllc.com
- b. Owner (if different from applicant written authorization of owner required): _____
 Mailing Address: _____
 Phone: _____ Email: _____
4. a. Architect/Draftsman: Mark Fontaine
 Address: 304 Thames St
 Phone: 401-965-4886 Email: markcfontaine@aol.com
- b. Contractor: RCSRI LLC
 Address: 513 Broadway, Newport RI
 Phone: 401-999-0869 Email: kyle@rcsri.com
5. Work Category: X Replacing in-kind* authorization required _____
X New Structure(s) _____ Partial Demolition of Structure(s)
 _____ Addition to Structure(s) _____ Total Demolition of Structure(s)
X Remodeling of Structure _____ Sign(s) / Landscaping Features
6. Description of proposed work: Insignificant Windows location change, relocation of bulkhead,
minor change of rear deck to extend to edge of home, deletion of 1 window on SE side facing
back yard of home, Addition of 2- in kind wood garage door for under structure to reduce
automobile visibility on site, location of exterior ac condensers, modification of accepted
duplex unit to have garage and layout to accomodate due to land area being expanded
 *All changes must match the existing in materials, design and configuration.

2023 FEB 13 PM 2:20

 TOWN OF BRISTOL
 COMMUNITY DEV.

(Continued): _____

☒ Check here if continued on additional sheets.

7. Included with the application (check those applicable):

PHOTOGRAPHS: Please label all photographs submitted.

X Overall view of property from street(s) X Overall views of building
X Existing details to be altered by work
 _____ Other (Identify) _____

Drawings: Maximum size accepted: 11" x 17"

X Site Plan(s) (drawn to scale) X Floor plan(s) (drawn to scale)
X Exterior Elevations _____ Details

OTHER: _____ Renderings _____ Catalogue Cuts _____ Specifications
 _____ Other (Identify) _____

Kyle Ritchie, Manager

Applicant's Name – Printed

Applicant's Signature

Date: 2/11/23

Contact Person if other than Applicant:

Name (Printed): _____

Phone: _____ Email: _____

A Certificate of Appropriateness (Green Sheet) is valid for one year from the date of issuance.

Note: If work on a project has started within twelve months of its approval date, you have as long as is necessary to finish the job (in other words, longer than a year).

2023 FEB 13 PM 2:20
 TOWN OF ELIZABETH
 COMMUNITY DEV.



Bristol

(Summary Data - may not be Complete Representation of Property)



Parcel: 103 2	Location: 1200 HOPE ST	Owner: MI 1200 HOPE ST LLC
Account: 5652	User Acct:	LUC: 01 - Single Fam Zoning: R-10

Parcel Values

Total: \$763,900	Land: \$191,200	Land Area: 1.2 AC	Building: \$572,700	Assessed: \$763,900
-------------------------	------------------------	--------------------------	----------------------------	----------------------------

Sales Information

Book and Page	Instrument Type	Date	Price	Grantor
2173-176	Warranty	05/19/2022	\$0	EXPRESS REALTY TRUST, LLC
2110-96	Warranty	05/07/2021	\$800,000	1200 HOPE ST LONGFIELD PROJECT LL

Building Type: Victorian	Year Built: 1900	Grade: Q3+	Condition: AG
Heat Fuel: Gas	Heat Type: BB Hot Water	% Air Conditioned: 0.00	Fireplaces: 2
Exterior Wall: Clapboard	Bsmnt Garage: 0	Roof Cover: Asphalt Shingle	# of Units: 1
# of Rooms: 15	# of Bedrooms: 5	Full Bath: 2	1/2 Baths: 0

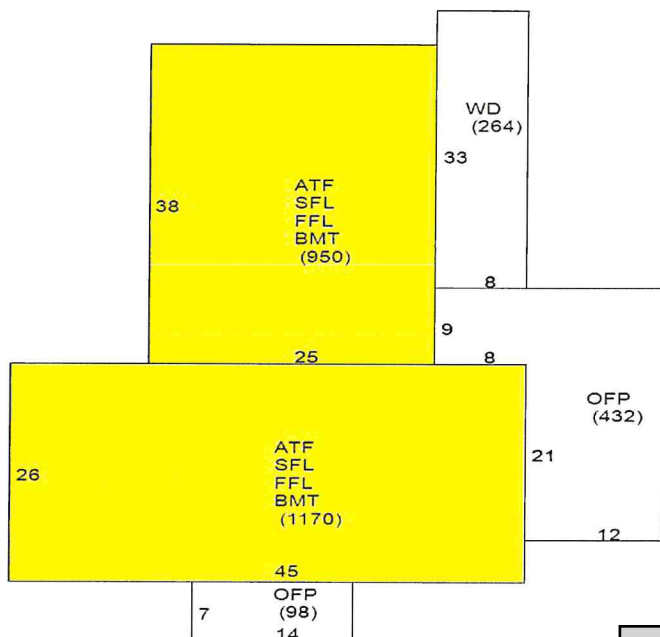
Yard Item(s)

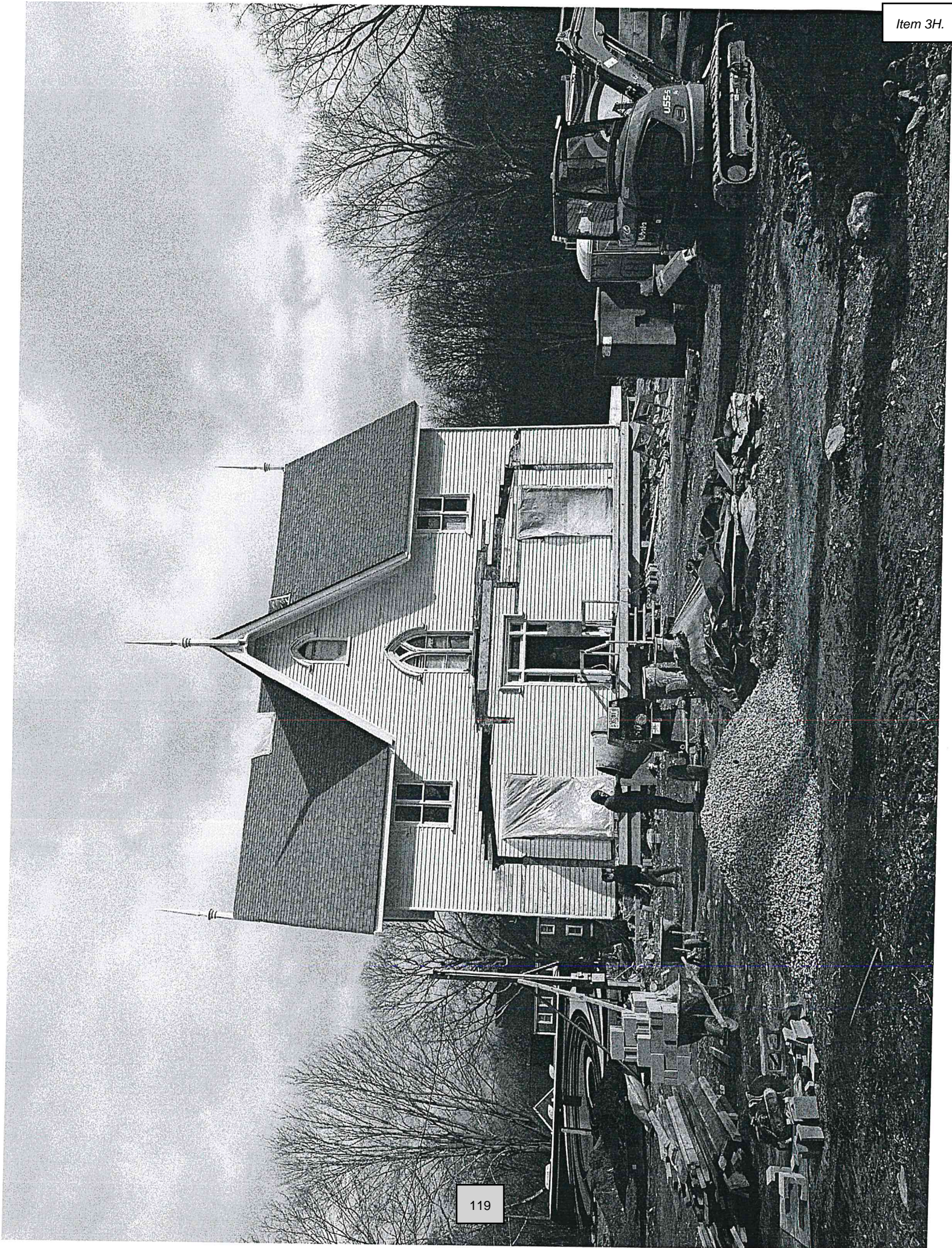
Description	Quantity	Size	Year	Condition	Quality	Value
-------------	----------	------	------	-----------	---------	-------

Building Areas

Area	Net Area	Finished Area
1st FLOOR	2,120 SF	2,120 SF
2nd FLOOR	2,120 SF	2,120 SF
BASEMENT	2,120 SF	0 SF
FINISHED ATTIC	848 SF	848 SF
OPEN PORCH	530 SF	0 SF
WOOD DECK	264 SF	0 SF

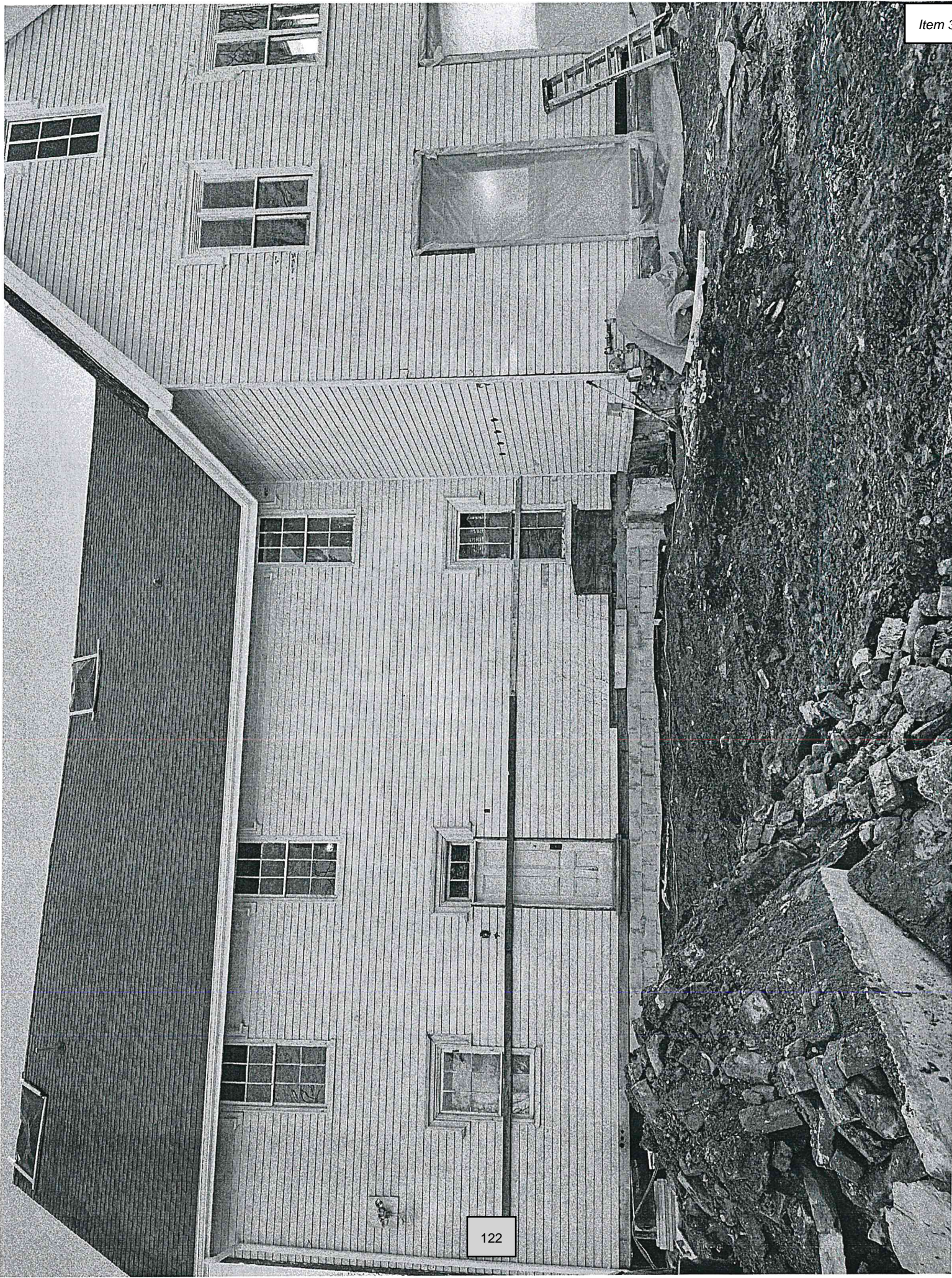
Disclaimer: This information is for tax
assessing purposes
and is not warranted

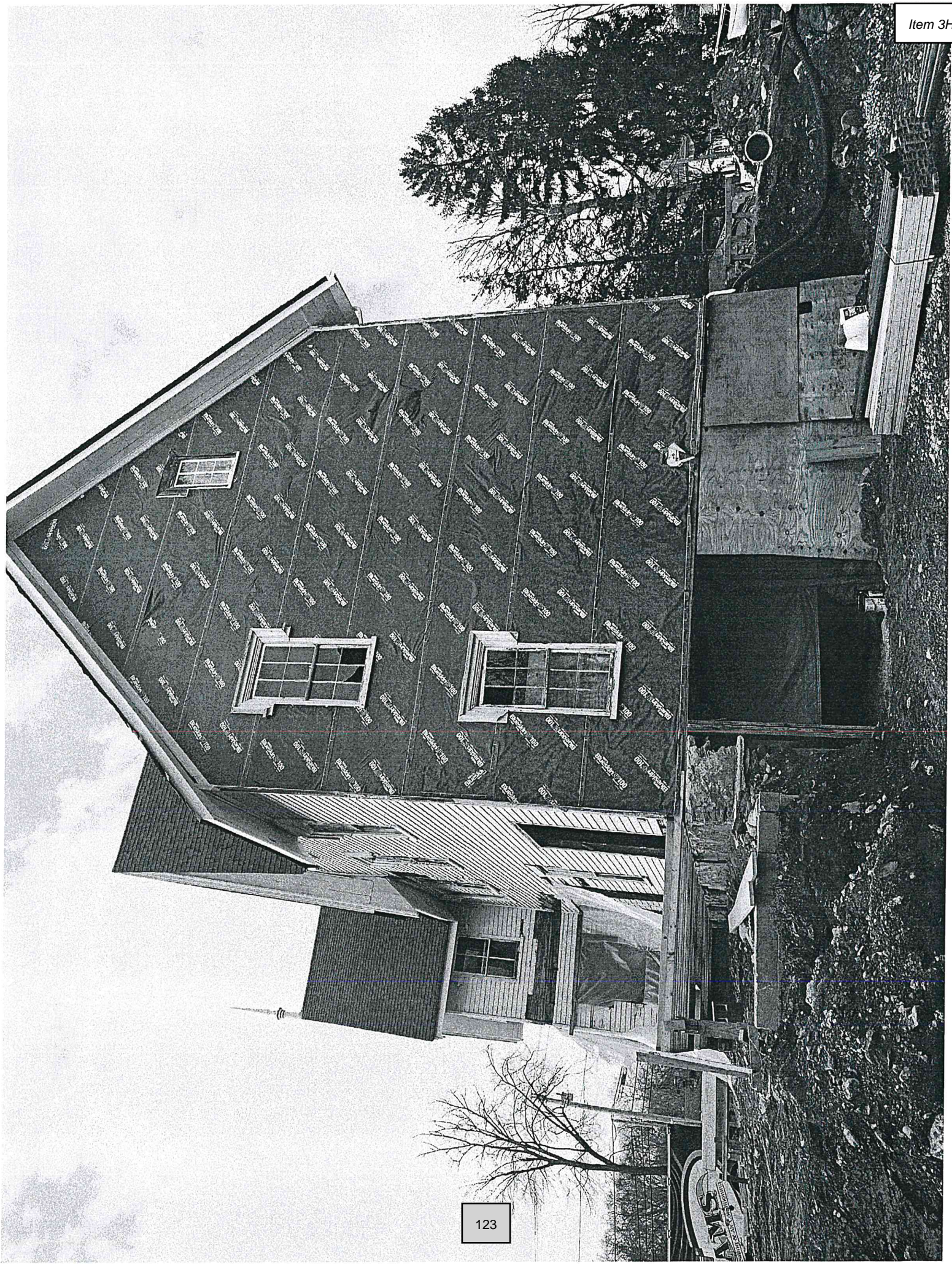
















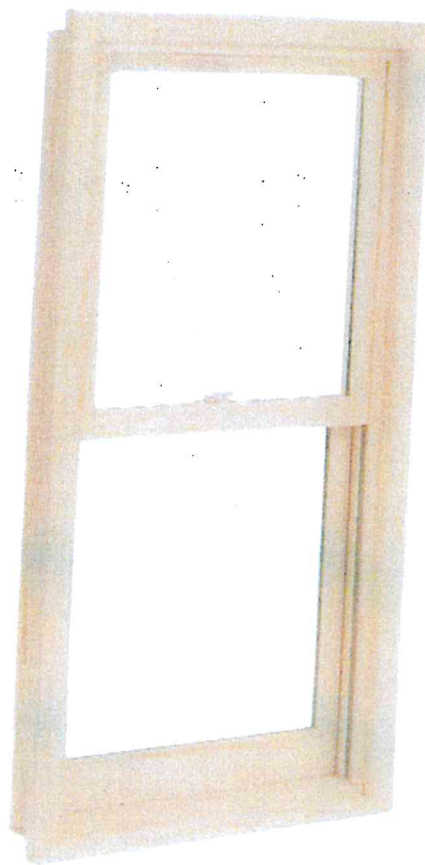
ULTIMATE WOOD DOUBLE HUNG

Previously known as Wood Ultimate Double Hung



The all-wood Marvin Signature™ Ultimate Wood Double Hung window is a classic style ideal for historic projects where a wood exterior is needed to match original architectural details. Flexible design options like wood species and stains coupled with single hung or stationary sash configurations assist with historical accuracy, while modern options like wash mode for easy cleaning and built in Lock Status Sensor options bring modern convenience.

BRISTOL HISTORIC
DISTRICT COMMISSION

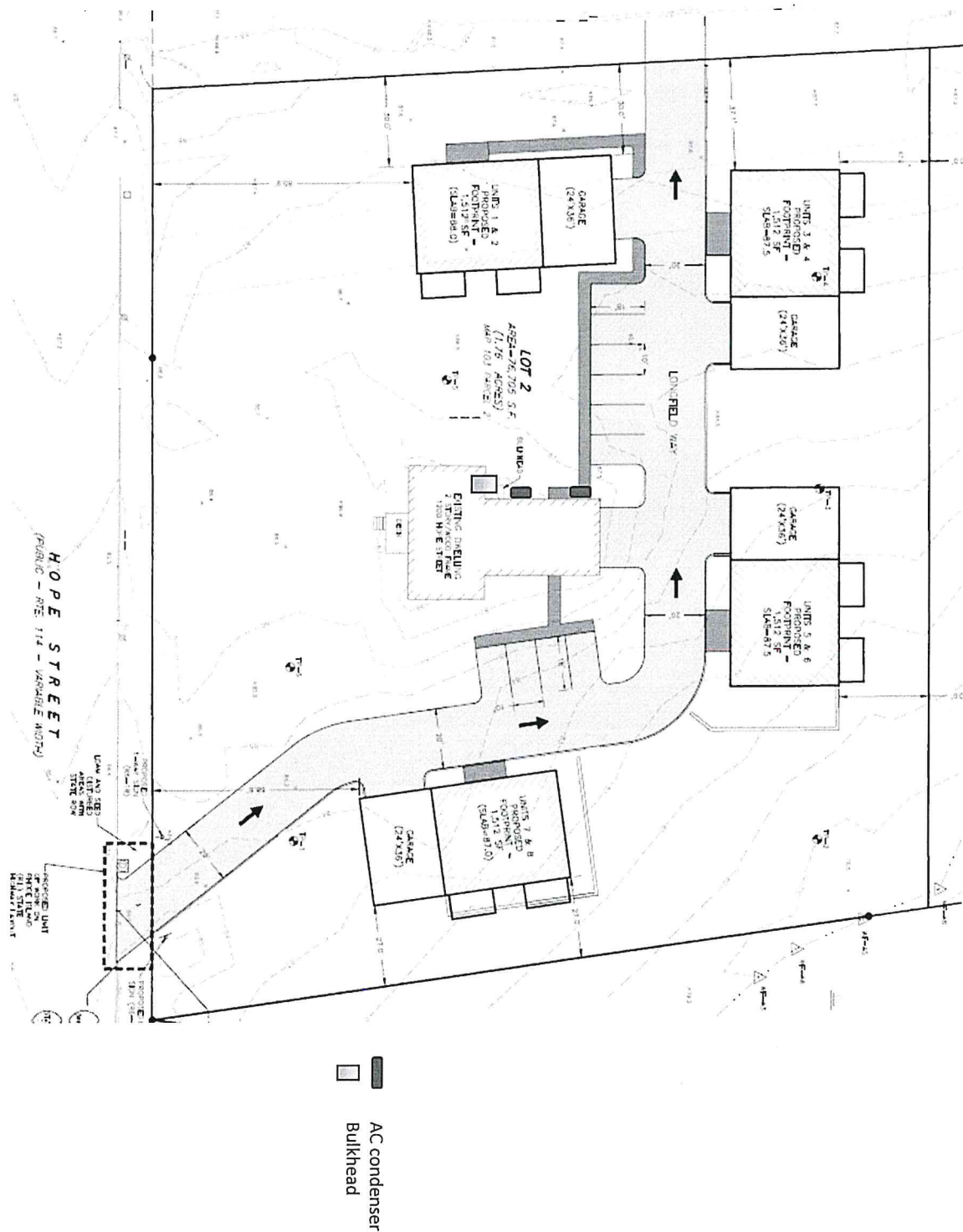


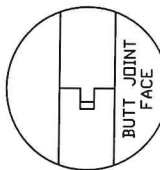
INTERIOR

EXTERIOR

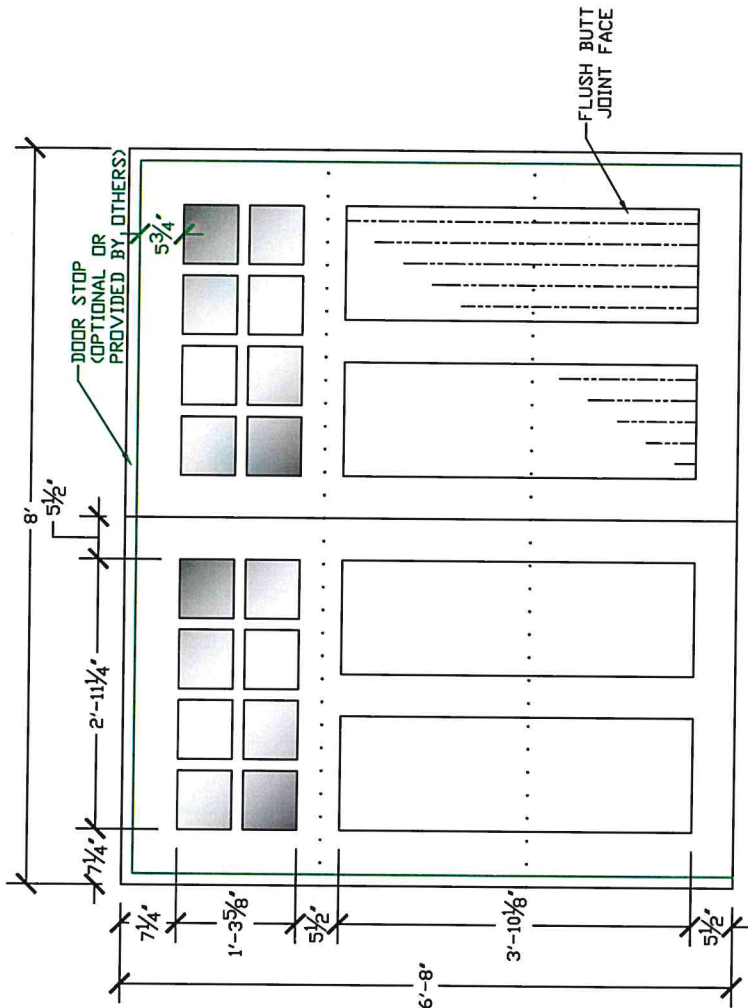
Features of the Ultimate Wood Double Hung Window

- Available in heights up to 8 feet or widths up to 4 feet
- Multiple design options and woods available to match historical aesthetics and design requirements
- Also available as a round top, single hung, stationary transom or picture window
- Unique wash mode allows cleaning of both sides of glass from indoors

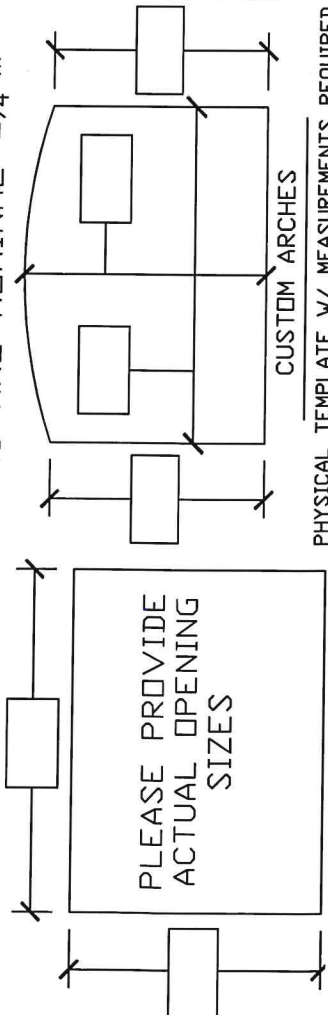




AS SHOWN ON DRAWING
NOT TO SCALE



ALL PROVIDED DIMENSIONS ARE NOMINAL $\pm \frac{1}{4}$ "

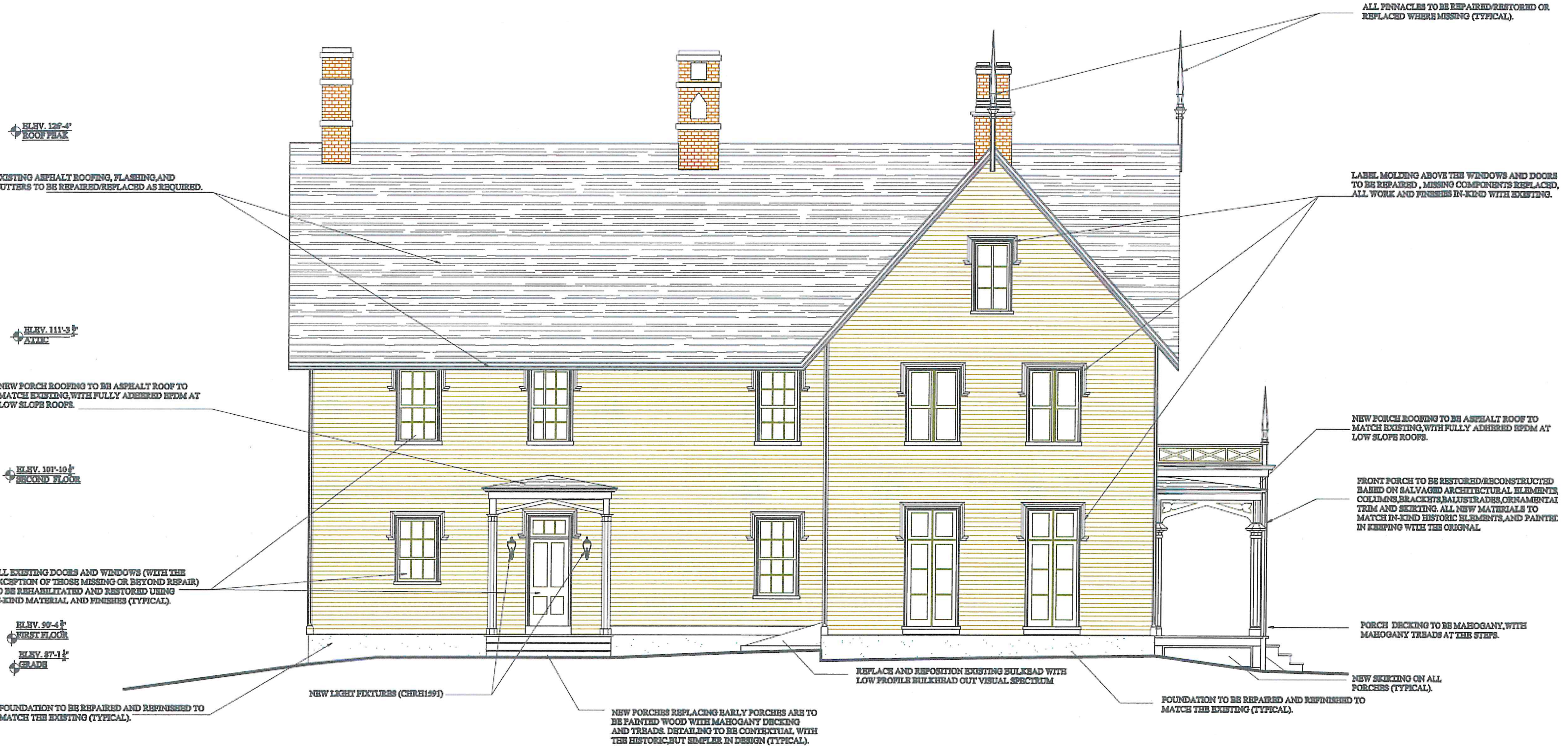


PLEASE CHOOSE EDGE DETAIL		COMPANY NAME		NOMINAL TRIM DIMENSIONS $\pm \frac{1}{4}$ "
<input type="checkbox"/> SQUARE EDGE	<input type="checkbox"/> DGEED EDGE	GARAGE H.Q.		1X8 7 1/4"
<input type="checkbox"/> EASED EDGE	<input type="checkbox"/> CHAMFER EDGE	JOB NAME: 1200 HOPE ST	SECTION CUT SCALE	1X6 5 3/4"
		DOOR MATERIAL: CWR CEDAR	3 1/2" = 1'	1X4 3 1/2"
		PROPOSAL # 59285R.2	DOOR SIZE (W X H)	NOMINAL V-GROOVE DIMENSIONS $\pm \frac{1}{4}$ "
		8'X6'8"		1/2" X 4 3 1/2"
		SIGN HERE FOR APPROVAL		1/2" X 6 5 1/4"
		DATE		



FRONT WEST ELEVATION

SCALE: 1/4" = 1'-0"



NORTH SIDE ELEVATION

ELEV. 126'-4"
ROOF PEAK

LABEL MOLDING ABOVE THE WINDOWS AND DOORS
TO BE REPAIRED, MISSING COMPONENTS REPLACED,
ALL WORK AND FINISHES IN-KIND WITH EXISTING.

ELEV. 111'-3"
ATTIC

NEW PORCH ROOFING TO BE ASPHALT ROOF TO
MATCH EXISTING, WITH FULLY ADHERED EPDM AT
LOW SLOPE ROOFS.

SOUTH HEXAGONAL BAY PORCH TO BE
CONSTRUCTED IN-KIND WITH THE DETAILING
REPLACING THE FRONT PORCH AND AS
ILLUSTRATED IN THE HISTORIC PHOTOGRAPHS. THE
PORCH IS TO BE ENCLOSED CREATING A NEW
CONSERVATORY WITH IN THE HISTORICALLY
ACCURATE FRAMEWORK OF THE PORCH.

ELEV. 101'-10"
SECOND FLOOR

NEW PORCHES REPLACING EARLY PORCHES ARE TO
BE PAINTED WOOD WITH MAHOGANY T&G DECKING
AND TREADS. DETAILING TO BE CONTEXTUAL WITH
THE HISTORIC, BUT SIMPLER IN DESIGN (TYPICAL).

ALL EXISTING DOORS AND WINDOWS (WITH THE
EXCEPTION OF THOSE MISSING OR BEYOND REPAIR)
TO BE REHABILITATED AND RESTORED USING
IN-KIND MATERIAL, AND FINISHES (TYPICAL).

ELEV. 90'-4"
FIRST FLOOR

ELEV. 87'-1 1/2"
GRADE

ALL FINNACLES TO BE REPAIRED/RESTORED OR
REPLACED WHERE MISSING (TYPICAL).

EXISTING ASPHALT ROOFING, FLASHING, AND
GUTTERS TO BE REPAIRED/REPLACED AS REQUIRED.

NEW PORCH ROOFING TO BE ASPHALT ROOF TO
MATCH EXISTING, WITH FULLY ADHERED EPDM AT
LOW SLOPE ROOFS.

NEW WINDOWS AND LABEL MOLDINGS TO MATCH
EXISTING, USING IN-KIND MATERIALS AND FINISH.

NEW PORCHES REPLACING EARLY PORCHES ARE TO
BE PAINTED WOOD WITH MAHOGANY DECKING
AND TREADS. DETAILING TO BE CONTEXTUAL WITH
THE HISTORIC, BUT SIMPLER IN DESIGN (TYPICAL).

FOUNDATION TO BE REPAIRED AND REFINISHED TO
MATCH THE EXISTING (TYPICAL).

SEE ATTACHED GARAGE DOOR DETAIL PAGE

REAR EAST ELEVATION
SCALE: 1/4" = 1'-0"

ALL PINNACLES TO BE REPAIRED/RESTORED OR REPLACED WHERE MISSING (TYPICAL).

ELEV. 126'-4"
ROOF PEAK

LABEL MOLDING ABOVE THE WINDOWS AND DOORS TO BE REPAIRED, MISSING COMPONENTS REPLACED, ALL WORK AND FINISHES IN-KIND WITH EXISTING.

ELEV. 111'-3 1/2"
ATTIC

ALL EXISTING DOORS AND WINDOWS (WITH THE EXCEPTION OF THOSE MISSING OR BEYOND REPAIR) TO BE REHABILITATED AND RESTORED USING IN-KIND MATERIAL AND FINISHES (TYPICAL).

ELEV. 101'-10 1/2"
SECOND FLOOR

FRONT PORCH TO BE RESTORED/RECONSTRUCTED BASED ON SALVAGED ARCHITECTURAL ELEMENTS, COLUMNS, BRACKETS, BALUSTRADES, ORNAMENTAL TRIM AND SKIRTING. ALL NEW MATERIALS TO MATCH IN-KIND HISTORIC ELEMENTS AND PAINTED IN KEEPING WITH THE ORIGINAL.

ELEV. 99'-4 1/2"
FIRST FLOOR

ELEV. 87'-1 1/2"
GRADE

PORCH DECKING TO BE T&G MAHOGANY, WITH MAHOGANY TREADS AT THE STEPS.

NEW SKIRTING ON ALL PORCHES (TYPICAL).

SOUTH HEXAGONAL BAY PORCH TO BE CONSTRUCTED IN-KIND WITH THE DETAILING REPLACING THE FRONT PORCH AND AS ILLUSTRATED IN THE HISTORIC PHOTOGRAPHS. THE PORCH IS TO BE ENCLOSED CREATING A NEW CONSERVATORY WITH IN THE HISTORICALLY ACCURATE FRAMEWORK OF THE PORCH.

LABEL MOLDING ABOVE THE WINDOWS AND DOORS TO BE REPAIRED, MISSING COMPONENTS REPLACED, ALL WORK AND FINISHES IN-KIND WITH EXISTING.

EXISTING ASPHALT ROOFING, FLASHING, AND GUTTERS TO BE REPAIRED/REPLACED AS REQUIRED.

NEW PORCH ROOFING TO BE ASPHALT ROOF TO MATCH EXISTING, WITH FULLY ADHERED EPDM AT LOW SLOPE ROOFS.

EXISTING WINDOW MOVED TO ALIGN WITH WINDOW ABOVE

ALL EXISTING WINDOWS AND DOORS (WITH THE EXCEPTION OF THOSE MISSING OR BEYOND REPAIR) TO BE REHABILITATED AND RESTORED USING IN-KIND MATERIAL AND FINISHES (TYPICAL).

NEW PORCHES REPLACING EARLY PORCHES ARE TO BE PAINTED WOOD WITH MAHOGANY T&G DECKING AND TREADS. DETAILING TO BE CONTEXTUAL WITH THE HISTORIC, BUT SIMPLER IN DESIGN (TYPICAL).

FOUNDATION TO BE REPAIRED AND REFINISHED TO MATCH THE EXISTING (TYPICAL).

SOUTH SIDE ELEVATION

SCALE: 1/4" = 1'-0"



FRONT SOUTH ELEVATION

LONGFIELD ESTATES
CARRIAGE HOUSES
UNITS #1 & #2



WEST SIDE ELEVATION

NOTE: ALL MATERIALS TO CONTEXTUALLY MATCH
MAIN HOUSE.

LONGFIELD ESTATES
CARRIAGE HOUSES
UNITS #1 & #2



EAST SIDE ELEVATION



ALL MATERIALS TO BE MATCHED TO
HISTORIC MATERIALS



concept review

BRISTOL HISTORIC DISTRICT COMMISSION

APPLICATION FOR REVIEW OF PROPOSED WORK

1. Property Address (Street & No.) 33 Byfield Street

2. Plat # _____ Lot # _____ Contributing _____ Non-Contributing _____

3. a. Applicant: Doran Smith & David Squillante

Mailing Address: 33 Byfield St. Bristol, RI 02809

Phone: Day 401-835-6623 Evening ← same

b. Owner (if different from applicant written authorization of owner required): _____

Mailing Address: _____

Phone: Day _____ Evening _____

4. a. Architect/Draftsman: _____

Address: _____

Phone: Day _____ Evening _____

b. Contractor: Smart Green Solar

Address: 33 Broad St Providence, RI 02903

Phone: Day 508-212-2140 Evening _____

5. Work Category: _____ Replacing in-kind* *authorization required* _____

_____ New Structure(s) _____ Partial Demolition of Structure(s)

_____ Addition to Structure(s) _____ Total Demolition of Structure(s)

_____ Remodeling of Structure _____ Sign(s) / Landscaping Features

6. Description of proposed work: solar panels to be installed
on the roof - proposal is attached, which includes
a bird's eye view of the roof + where the panels

*All changes must match the existing in materials, design and configuration.

2023 FEB -8 AM 8:13

TOWN OF BRISTOL
COMMUNITY DEV.

(Continued): would be. They will not be on the south side or facing the street, but we wanted to check in because they will be visible from the street. ☐ ☐ Check here if continued on additional sheets.

7. Included with the application (check those applicable):

PHOTOGRAPHS: Please label all photographs submitted.

_____ Overall view of property from street(s) _____ Overall views of building

_____ Existing details to be altered by work

☒ Other (Identify) photo of the roof & where panels would be

Drawings: Maximum size accepted: 11" x 17"

_____ Site Plan(s) (drawn to scale)

_____ Floor plan(s) (drawn to scale)

_____ Exterior Elevations

_____ Details

OTHER: _____ Renderings _____ Catalogue Cuts _____ Specifications

_____ Other (Identify) _____

Doran Smith

Applicant's Name - Printed

Doran Smith

Applicant's Signature

Date: Feb 6, 2023

Contact Person if other than Applicant:

Name (Printed): _____

Phone: Day _____ Evening _____

A Certificate of Appropriateness (Green Sheet) is valid for one year from the date of issuance.

Note: If work on a project has started within twelve months of its approval date, you have as long as is necessary to finish the job (in other words, longer than a year).

Bristol

NORTHEAST
EVALUATION GROUP LLC

(Summary Data - may not be Complete Representation of Property)

NORTHEAST
EVALUATION GROUP LLCParcel: 14 60
Account: 857Location: 33 BYFIELD ST
User Acct:Owner: SMITH, DORAN C & SQUILLANTE, DAVID JT
LUC: 01 - Single Fam Zoning: R-6

Parcel Values

Total: \$437,200 Land: \$169,900 Land Area: 0.055 AC Building: \$267,300 Assessed: \$437,200

Sales Information

Book and Page	Instrument Type	Date	Price	Grantor
2044-17	Warranty	07/15/2020	\$535,000	WALSH, GERALD E ETUX TE
600-224		03/03/1997	\$0	

Building Type: Conventional Year Built: 1950 Grade: Q4+ Condition: GD
 Heat Fuel: Oil Heat Type: Radiant Hot Water % of Units: 0.00 Fireplaces: 0
 Exterior Wall: Wood Shingle Bsmnt Garage: 0 Roof Cover: Asphalt Shingle # of Units: 1
 # of Rooms: 7 # of Bedrooms: 4 Full Bath: 2 1/2 Baths: 0

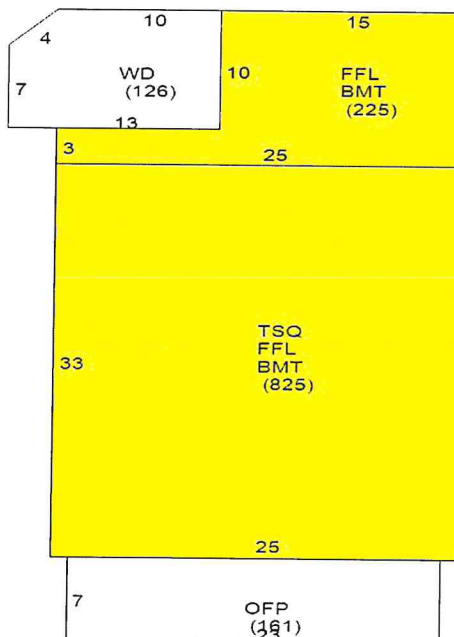
Yard Item(s)

Description	Quantity	Size	Year	Condition	Quality	Value
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Building Areas

Area	Net Area	Finished Area
1st FLOOR	1,050 SF	1,050 SF
3/4 STORY	618.75 SF	618.75 SF
BASEMENT	1,050 SF	0 SF
FINISHED BASEMENT	400 SF	400 SF
OPEN PORCH	161 SF	0 SF
WOOD DECK	126 SF	0 SF

Disclaimer: This information is for tax
assessing purposes
and is not warranted





ENERGY SAVINGS REPORT FOR

DAVID SQUILLANTE

33 Byfield St, Bristol, RI 02809

(401) 835-6623

smith.doran@gmail.com

Your Solar Design

Modules

**Hanwha Q.PEAK DUO
BLK ML-G10+ 400 (x18)**

Inverter

**Enphase IQ8PLUS-72-2-
US(x18)**

140

System Size

7.2 kW

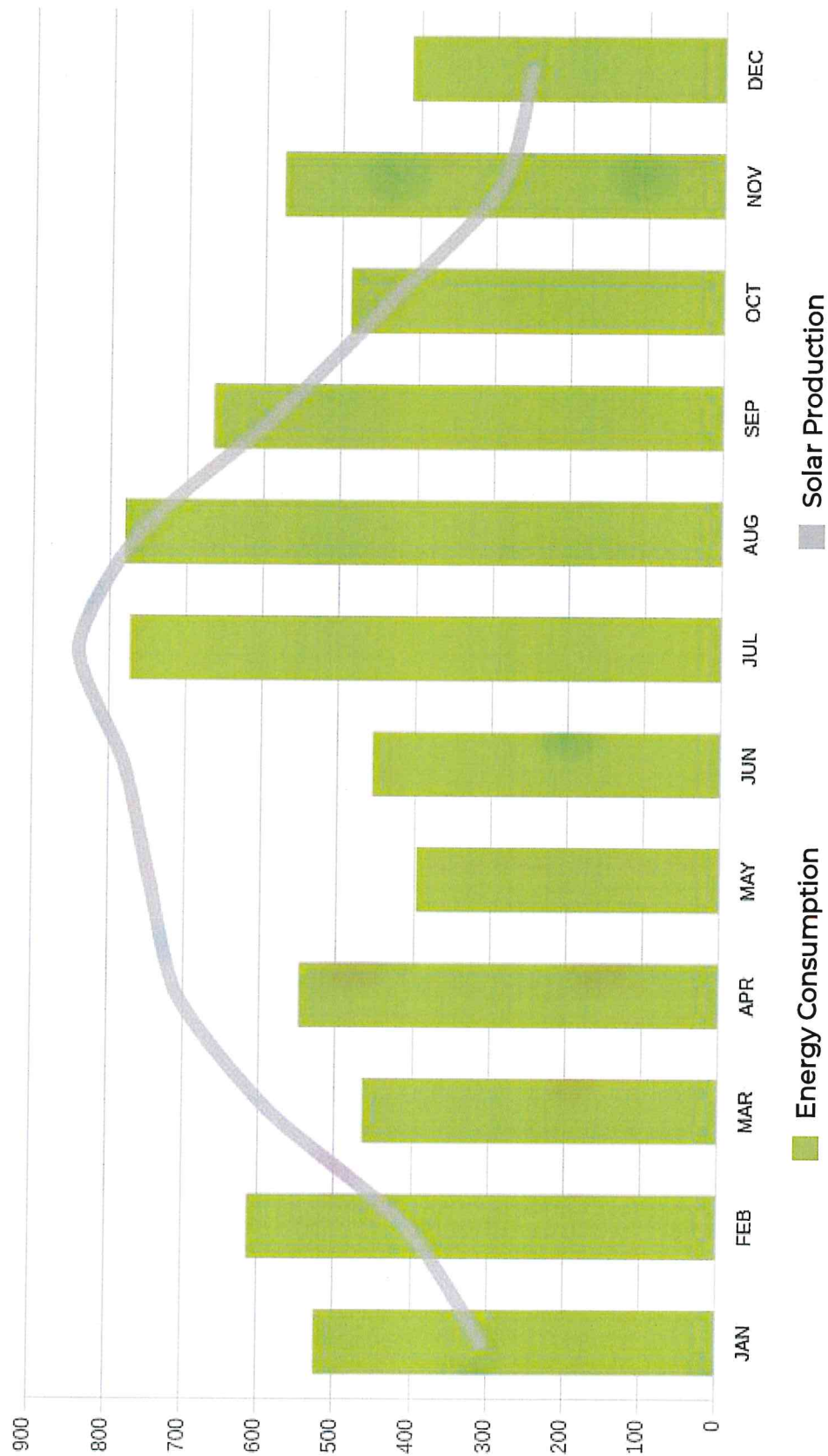
Estimated Yearly
Production

6,691 kWh

SYSTEM DETAILS



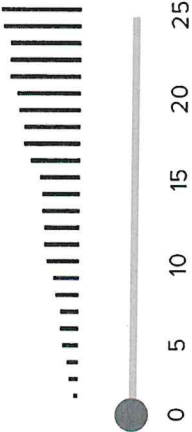
**





YOUR CURRENT
UTILITY BILL

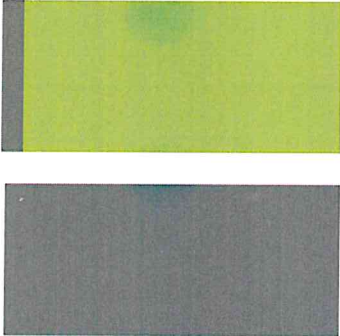
\$185



Current Cost per kWh **\$0.331/kWh**

YOUR
SOLAR PAYMENT

\$175



New Utility Bill: \$11

Avg. 25-yr Cost per Solar kWh **\$0.337/kWh**

25-YEAR SAVINGS

\$38,916

Dividend 25yr 3.99
(30% ITC)

Select Finance Option

HOW WILL YOU USE YOUR INCENTIVE?



Federal Tax Credit (30%)

\$13,857.84

MONTHS 2 - 16

\$175

MONTHS 17 - 300

\$175

The APR for this Loan is 3.99%. The payment amount disclosed above assumes that you make your Incentive Payment as provided in your loan agreement. If you do not make the Incentive Payment, your payment amount will increase. Please see the terms of your loan agreement for additional details regarding the timing and amount of the Incentive Payment. It is important to note that you may or may not qualify for this tax credit; your qualification is dependent on your individual tax liability. We do not provide tax advice and you should consult your tax professional to understand if you will qualify for any or all of the credit.

*For display purposes only, not a prediction or guarantee of actual utility cost increases.

**Estimated utility costs are based on your utility expenses. Any savings projections assume your energy usage is consistent with prior consumption.

***Savings are based on a number of assumptions, see last page for reference.

Loan Amount

\$46,192.81

Federal Tax Credit (30%)

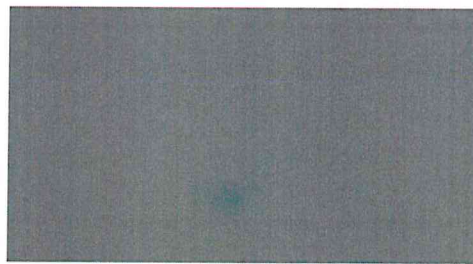
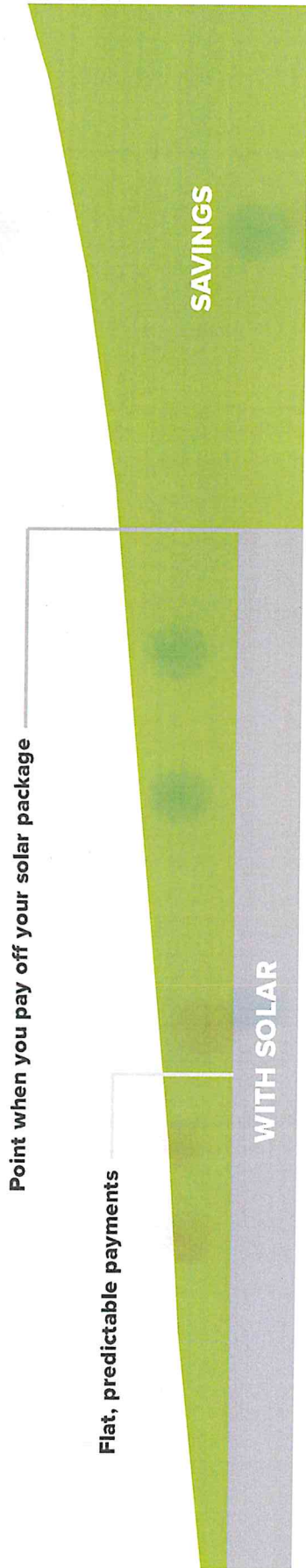
(\$13,857.84)

Net System Cost

\$32,335

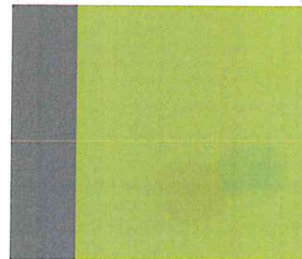


THE SAVINGS



\$105,927

STAY WITH ELECTRIC



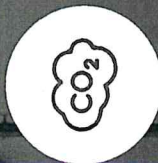
\$67,011

SWITCH TO SOLAR

\$185 Current Average Bill	→	\$626 Average Bill in 25 years
\$2,219 Current Annual Utility Bill	→	\$7,516 Annual Utility Bill in 25 years
\$105,927 25 year cost of doing nothing		

THE FACTS

More solar will be installed in the United States in the **next two years** than the **last 40+ years combined**



3

Tons of
CO₂ Offset*

([source](#)).



111

Equivalent Number
of Trees Planted

([source](#)).



\$ 21,960

Estimated Value
Added to Your Home*

([source](#)).

THE PROCESS

- STEP 1**
Savings Report
- STEP 2**
Approval Process
- STEP 3**
Documents
- STEP 4**
Site Survey
- STEP 5**
CAD/Permit
- STEP 6**
Installation
- STEP 7**
System Activation

SmartGreen Advantage

100% PEACE OF MIND GUARANTEE

100% Price Match Promise

We will match and beat our competitors price as long as they are using tier 1 products and services.

Tier 1 Banking Partners

Our lending partners offer the most competitive rates available and deliver exceptional customer service. Making your solar investment an easy and positive experience

Local In-house Installation & Support

Unlike most solar companies, we support every part of your system. From lending, to installation and beyond, you have 1 partner who handles it all.

Power Production Guarantee

We guarantee your first year production or we will cut you a check for the difference. It pays to go with Smart Green Solar!

PROPOSAL DETAILS

Utility

Annual Utility Bill	\$2,219
Current Consumption	6,696 kWh
Estimated Cost Per kWh	\$0.331/kWh
Annual Utility Price Escalator	5%
Current Rate Plan	Schedule A-16 (Net Metering)
Post Solar Rate Plan	Schedule A-16 (Net Metering)
Utility Company	Rhode Island Energy (National Grid)

System

System Size	7.2 kW
Year 1 Solar Production	6,691 kWh
Annual Degradation	0.56%
25 Year System Production	156,031 kWh
Estimated Cost Per kWh	\$0.337/kWh

Cost

Total Loan Amount	\$46,192.81
APR	3.99%
Loan Term	25yr
Post Solar Annual Utility Bill	\$133

Smartgreen solar does not provide tax or legal advice. You should consult your tax advisor for more information. The interest rate provided in this proposal is subject to credit approval by the financing provider for your loan. The data provided in this proposal is a preliminary estimate and does not represent a binding agreement or obligation. No party provides and guarantees, warranties, or representations regarding the production, utility rate increases, or any other data in this sales proposal. This proposal is a preliminary estimate and not an approval for financing. [1]