



# **TOWN OF BRISTOL, RHODE ISLAND**

## **HISTORIC DISTRICT COMMISSION MEETING**

**Historic District Commission Meeting Agenda  
Thursday, April 03, 2025 at 7:00 PM  
Bristol Town Hall, 10 Court Street, Bristol, RI 02809**

Written comments may be submitted to the Historic District Commission via regular mail addressed to: Historic District Commission, Bristol Town Hall, 10 Court Street, Bristol RI 02809 or via email to [ntoth@bristolri.gov](mailto:ntoth@bristolri.gov)

Application packets can be found online at: <https://bristol-ri.municodemeetings.com/>

1. **Pledge of Allegiance**
2. **Review of Previous Month's Meeting Minutes**
  1. **Review of March 6 Minutes**
  2. **Review of March 19 Special Meeting Minutes**
3. **Application Reviews**
  1. **25-18: 195 High Street, Peggy Fredrick:**

Discuss and act on addition of Dormer, Garage Doors, Windows.
  2. **25-21: 41 Church St, Thomas Bergenholtz:**

Discuss and Act on removal of storm windows, replacement of windows with Marvin Elevate replacement windows.
  3. **25-24: 41R State St, Bonnie Pacheco**

Discuss and Act on installation of hanging sign and banner.
  4. **25-25: 14 Union St, Lou Cabral**

Discuss and Act on Construction of Porch, Construction of second floor addition, Demolition of old and Construction of new detached 3 car garage.

**5. 25-27: 23 Summer St, Catherine Esselen**

Discuss and Act on proposed addition to second floor and extension of dormer

**6. 25-28: 10-14 Bradford St, Robert Lacovara**

Discuss and Act on renovation of front stairs.

**7. 25-29: 190 High Street, Carol Sterling**

Discuss and act on installation of AZEK railing.

**8. 25-12: 125 Hope Street, 125 Hope Street ,LLC**

Discuss and Act on demolition of 125 Hope Street, pending site visit by Historic District Commission.

**4. Concept Review**

**1. CR-25-2: 125 Hope St, 125 Hope Street ,LLC**

Preliminary Concept Review of House styles pending permission to demo the existing house

**5. Monitor Reports & Project Updates**

**6. HDC Coordinator Reports & Project Updates**

**7. HDC Coordinator Approvals**

**8. Other Business**

**9. Adjourn**

**TOWN OF BRISTOL, RHODE ISLAND**

**HISTORIC DISTRICT COMMISSION**



**Historic District Commission Meeting Minutes  
Thursday, March 6, 2025  
at 7:00 PM**

**Town Hall - 10 Court Street, Bristol Rhode Island**

Written comments may be submitted to the Historic District Commission via regular mail addressed to:

Historic District Commission, Bristol Town Hall, 10 Court Street, Bristol RI 02809 or via email to [ntoth@bristolri.gov](mailto:ntoth@bristolri.gov)

**1. Pledge of Allegiance**

The meeting was called to order at 7:00 PM, and the Pledge of Allegiance was promptly recited afterwards.

In attendance: Ponder, Allen, Lima, Church, Bergenholtz, O'Loughlin, Teitz, and Toth

Absent: Millard and Page

**2. Review of Previous Month's Meeting Minutes**

**2A. Review of minutes of the February 6, 2025 meeting.**

Lima: Does anyone have any comments?

Church: On page 5 at the bottom under "Voting Yea", add myself, I voted.

Lima: Anything else? Does someone want to make a motion?

Allen: Sure.

Motion made by Allen to accept the minutes of the February 6, 2025 meeting as amended; Seconded by Bergenholtz.

Voting Yea: Church, Bergenholtz, Ponder, Allen, Lima, and O'Loughlin

**2B. Review of minutes of the February 13, 2025 special meeting.**

Lima: Anyone have any comments?

Allen: No.

Lima: Can we have a motion?

Allen motion/ponder

Motion made by Allen to accept the minutes of the February 13, 2025 special meeting as presented; Seconded by Ponder.

Voting Yea: Ponder, Allen, Lima, Church, O'Loughlin, and Bergenholtz

**3. Application Reviews**

**3A. 25-13: Hope Street, Rhode Island Department of Transportation:** Discuss and Act on improvements by RIDOT to Hope Street.

Elizabeth Correia and John Bak present.

Mr. Bak: This is a great time to come and provided information to you. The project is in the preliminary phase. We are here for the finer details and looking for comments on it. Everything will be taken into account. We met with Diane Williamson and Ed Tanner in July. We received a byway grant for improvements. The project is about 4 miles long for drainage improvements, pedestrian crossings, sidewalks, ADA improvements. We have slides to present. We will be doing striping, signage, every sidewalk and wheelchair ramp will be fixed up. The sidewalks will be rehabilitated with new wheelchair ramps and ADA compliant driveways. All of the historic elements will remain in place. As you get past the Herreshoff museum, the sidewalks will be repaired. We will salvage as much as possible and the new material will be bluestone.

Bergenholtz: What are the new materials?

Mr. Bak: Bluestone.

Church: Just the bluestone sections?

Mr. Bak: Yes.

Bergenholtz: What is the rest?

Mr. Bak: Concrete.

Church: Like what's been installed north of Constitution Street?

Mr. Bak: Yes.

Church: What about the seawalls?

Mr. Bak: That's coming up next. The seawalls are a major replacement. As you can see in this slide, the photo is from the 1938 hurricane. We are not replacing the scenic pier.

Church: How will it be rebuilt? A stone wall with cement?

Mr. Bak: Yes. Boulders will be saved and reused.

Bergenholtz: On Hope Street, there will be a stone wall?

Mr. Bak: Yes. We had options of rebuilding. We want to save the stone. It's historical.

Bergenholtz: On Hope Street, you'll see a stone wall?

Mr. Bak: Yes, with veneer. We'll make it consistent the whole way.

Bergenholtz: What is the cap material?

Mr. Bak: May be concrete or leftover stone. We aware of the trees and canopy along Hope Street. Only 1 tree to be removed and the rest will be pruned, etc. If we do remove a tree, we will replace it. There are three stumps on Hope Street and we will consult with a landscape architect and replace it. Are there any other questions?

Lima: Just from Mt. Hope to Constitution? It doesn't go further north? You're not doing any traffic lights are you?

Mr. Bak: Right. There are 5 signals further down, but not in the District.

Lima: What about the pedestrian crossing at the field?

Mr. Bak: Just ADA cuts.

Church: No traffic lights in the downtown area?

Mr. Bak: No.

Church: Any new signs?

Mr. Bak: We are just upgraded the old ones to meet the new standards. No new additions.

Lima: Anyone have any questions or comments? Is there anyone in the audience who would like to speak?

Diane Williamson: Is the curbing going to be granite?

Mr. Bak: It will be in granite in the District. Also, the red, white, and blue strip is staying.

Bergenholtz: Most curbing is concrete.

Mr. Bak: In the Historic District it will be granite.

Bergenholtz: Granite in kind?

Mr. Bak: If there is granite now, it will be replaced. If there is no granite, then we will put granite in. It will be consistent.

Bergenholtz: I suggest all granite.

Lima: From the Lobster Pot to Constitution. Just a little bit further west, near Walley Street.

Ms. Williamson: High Street

Lima: High Street to Walley Street. Can you look and put granite there as well?

Ms. Williamson: It should be the entire length of project in the Historic District. Also, the other question I have is regarding the ADA ramps from the sidewalk to the

street. Will they be separate squares with bumps? What we see is poured in place.

Mr. Bak: The standard is cast iron metal.

Ms. Williamson: We have been looking at poured concrete. I don't mind cast iron.

Lima: Andy, do we need the materials package information to put in the record?

Teitz: I don't think so. You heard that almost all of the materials would be replaced in kind. Where it will not be in kind, it would be an upgrade to granite to at least Walley Street and hopefully up to the high school. There can be a finding of fact in the motion. I don't think you need anything further than that.

Lima: Can we have a motion?

Ponder: I'll do it.

Motion made by Ponder to accept the application as presented to fix sidewalk, ADA compliance on sidewalks, overlay roadway, rehab and/or reconstruct Collins Cove seawall and accept work on trees as presented with a finding of fact that the presentation showed that most of the work on the curbs will be in kind granite or upgraded to granite curbing in the Historic District while maintaining historic features and reusing materials. Also, a finding of fact that the Historic District Commission's approval will be good through June 1 2030; Seconded by Church.

Voting Yea: Ponder, Church, Allen, Lima, Bergenholtz, and O'Loughlin

Secretary of Interior Standards: #2

Project Monitor: Chris Ponder

**3B. 25-10: 260 High Street, Town of Bristol:** Discuss and act on installation of electrical box on street frontage, installation of electric pole.

Diane Williamson present.

Ms. Williamson: The Architect is unable to come as he and his family are sick with the flu. Option A is where the electric company wanted to put the box on the north side, which is not preferred. Option B is the next best location in proximity to the utility pole on the east side of the building. Option C is on the south side of building which would require much more and it is expensive to do it. There is a chart in your package. We reached out to the State and asked their opinion on Options A and B. The State preferred Option B.

Bergenholtz: Can it be put inside and remotely monitored?

Ms. Williamson: I am not sure. I was not aware of an option to put it inside. I can find out. With Option A there might not be room inside to put it there.

Lima: Do you want to do the two things separately?

Ms. Williamson: Yes, thank you. We will need a new pole just east of the existing one.

Lima: On State Street?

Ms. Williamson: Correct. Sorry I don't have an answer at this time.

Church: If it can't be located inside, I prefer Option B.

Lima: Is there anyone in the audience who would like to speak for or against this? I am going to poll the Board.

Ms. Williamson: Sheet A2-1 option A is on the top left, Option B is on the bottom right; Option C is on the bottom left. Option A is State Street, and Option B is the parking lot on Commonwealth.

Ponder: I like Option B.

Allen: Option C is great, but not at that cost. So, I prefer Option B.

Bergenholtz: I would go with Option C unless there is a way to go inside.

Ms. Williamson: I can ask about that.



Bergenholtz: I know it is more expensive, but it is a legacy.

Allen: What about using a screen with plant material?

Ms. Williamson: There are colored bollards that are needed for ADA.

Ponder: If you do Option B, will the bollards cut into the parking lot?

Ms. Williamson: Yes.

Ponder: It would look better than Option A or Option C.

Lima: Too bad we couldn't have a demonstration at the building.

Ms. Williamson: I can do a site visit.

Bergenholtz: Would be a good idea.

Ms. Williamson: I can find out about putting it inside as well.

O'Loughlin: I agree, inside.

Lima: Shall we continue this for the next meeting?

Toth: I can set up a special meeting. I can see if we can get a quorum for an upcoming site visit.

Lima: If you could have examples of the bollards, it would give us a better idea.

Ms. Williamson: A better visual.

Motion made by Allen to move the application to the April meeting pending a special meeting for a site visit;  
Seconded by Bergenholtz

Voting Yea: Allen, Church, Ponder, Bergenholtz, Lima, and O'Loughlin

**3C. 25-06: 195 High Street, Peggy Frederick:** Discuss and act on addition of fence and garage to property

Peggy Frederick present.

Ms. Frederick: I am here for an addition of a garage and fence in keeping with the original concept of the overall project.

Ponder: You had that in the concept.

Ms. Frederick: Yes.

Ponder: What about the solar panels?

Ms. Frederick: There will be 18 panels total, all facing south.

Bergenholtz: What is the door on the garage?

Ms. Frederick: I am struggling with it. Currently, I have been to 5 garage door companies. I would like a wood composite overlay. The cheapest I found is \$20,000. I will be back next month and will have more information on it. I was going to propose a steel door with glass, but I am not happy with that option. I am still looking into it.

Bergenholtz: I am happy with the design. I have no problem with it. We have approved metal before.

Allen: The house across from you on Church Street.

Bergenholtz: 35 Church Street. They are handsome doors.

Allen: Check it out, you might like it.

Ms. Frederick: What are they made of?

Bergenholtz: I know it is not steel, but we have approved it.

Toth: I will confirm the address and pull the file.

Church: The Project Monitor could approve the material.

Allen: Okay.

Teitz: First of all, I'm not comfortable about the Project Monitor determining materials. It goes beyond it. Since she will be back anyway, do not delegate to the Project Monitor.

Lima: Okay, the fence and garage. Any suggestions?

Ponder: Where will the fence be?

Ms. Frederick: It is in the back to keep my dog in. It is from the back of house going to the fence on the other side, then from the screened porch to the garage. It is 38ft back.

Allen: Wood?

Ms. Frederick: Cedar.

Lima: This one?

Ms. Frederick: Yes.

Lima: What else, solar panels?

Allen: Is that administrative?

Ms. Frederick: Do you want to know about windows?

Bergenholtz: It's a new build.

Lima: We need to know materials as there is nothing in package about windows.

Ms. Frederick: Are there restrictions on a new build?

Teitz: Yes, it is regulated. With replacement windows, repair is always preferred. On a new build, there is more flexibility, but you need to bring the cut sheets.

Ms. Frederick: I do have one, I assumed it would be required like anything else.

Lima: We can't vote tonight as we need information. Check with Nick to see what other people used on new builds.

Ms. Frederick: I was going to.

Teitz: What are they made of and clad with?

Ms. Frederick: They are wood with aluminum clad.

Teitz: The general guidelines are vinyl is a definite no. True divided light is always the best option, and then something like you said is reasonable.

Ms. Frederick: If you want the spec sheets, I can have them for next month.

Lima: Just give them to Nick for the next package.

Ponder: Can we vote on everything here?

Teitz: You can approve the structure excluding windows and doors and then come back to it next month.

Church: What about the solar panels?

Ms. Frederick: It's in the package.

Bergenholtz: What is in your house now for windows.

Ms. Frederick: Andersen woodwright windows.

Allen: We will need the information on the garage door and side door as well. Is the siding wood?

Ms. Frederick: Cedar clapboard.

Lima: We can vote on the solar panels, garage, excluding the windows and doors, and we can do the fence as well. Anyone have any questions? Is there anyone in the audience who would like to speak for or against this? Does someone want to make a motion?

Allen: I will.

Lima: What are the shingles on the roof going to be?

Ms. Frederick: They will be the same as what is on the house.

Church: What about the cupola?

Ms. Frederick: It will be all wood.

Lima: Just bring the cut sheet for roof shingles.

Ms. Frederick: I also want to discuss at next month's meeting the water table in the basement. It is high and

the basement will not be dry enough to use for storage. I want to add a dormer to the south side to give me enough height in the attic for storage.

Lima: We have to see it.

Bergenholtz: The carriage house is not enough?

Allen: Will there be any mechanicals in the dormer?

Ms. Frederick: Not in the dormer. There will be flooring and electricity and the other part of the attic will have HVAC, etc.

Teitz: The Historic District does have jurisdiction without advertising.

Motion made by Allen to accept the application as presented for the addition of a garage, with the exception of the windows and doors which will be presented at the meeting in April. Also to accept the application for the addition of the fence; Seconded by Ponder

Voting Yea: Allen, O'Loughlin, Lima, Church, Bergenholtz, and Ponder

Secretary of Interior Standards: #9

Project Monitor: John Allen

**3D. 25-09: 205 High Street, CHEVRA AGUDAS ACHIM AKA CONGREGATIONAL CHEVRA:** Discuss and act on replacement of sign with new materials.

Bradford Louison present.

Mr. Louison: I am the President of the synagogue. We want to replace the sign from wood to an aluminum composite material. The sign will be identical to what is there and will be attached to the front of building. The font and color will be as identical as possible and at the bottom we want to add "Founded in 1900". The sign that is there now is falling apart. The new materials would stand up well to weathering. We went to Silktones Sign in Warren. They gave me a list of signs in Bristol that they made including Jane Howlett's office.

Bergenholtz: I think it looks great.

Lima: I'm surprised it hasn't blown away.

Bergenholtz: I'm ready to vote.

Ponder: Is it the same size?

Mr. Louison: Yes, same.

Lima: Anyone have any questions? Is there anyone in the audience who would like to speak for or against this? Can we have a motion?

Bergenholtz: Sure.

Motion made by Bergenholtz to accept the application as presented for the installation of a new sign; Seconded by Church

Voting Yea: Ponder, Bergenholtz, Church, Lima, O'Loughlin, and Allen

Secretary of Interior Standards: #9 and #10

Project Monitor: Ory Lima

Lima: If you have any questions please contact Nick. He will give you the certificate. When you get it, just put it in the front of the building where visible. Thank you.

**3E. 25-12: 125 Hope Street, Nancy DiPrete Laurienzo:**

Discuss and act for proposed demolition of current structures on 125 Hope Street.

Greg Snyder, Nancy DiPrete Laurienzo, Madeleine Melcher, and Alfred R. Rego Jr., Esquire present.

Allen: Reads history into the record.

Attorney Rego: There is a lot of damage due to neglect and water.

Lima: Can we look at this at face value or can we look at it not knowing what will be replacing it.

Teitz: Usually, you would not approve demolition without approving the replacement. Don't act on it until the Commission is comfortable with the replacement.

Attorney Rego: We will come in with detailed plans. A concept review will be done if needed.

Lima: I wish you had it today so we could act on it.

Teitz: They are looking for your view on this in general. Some other HDCs do it like this. You can hear it and provide input.

Lima: Okay.

Mr. Snyder: I am the architect on this. I have done a number of houses in Bristol. Case farm is my work. I don't take down houses lightly. The house is clad with asbestos siding in a VE zone. If the house was in better shape we could have lifted it. It is not tied to a foundation at all. There is also a lack of insulation. It is a mid-century modern house. It's just that to go through the work of redoing everything, there is nothing to save. It needs to be demolished as it is in very poor shape and things are getting worse. It should be taken down.

Attorney Rego: There are detailed photos in the package.

Bergenholtz: You worked with Katherine Quinn?

Mr. Snyder: I did the barn.

Bergenholtz: I worked in that house for 8 years.

Mr. Snyder: I loved the kitchen. We also have streetscapes. It was a house and then it was added on. There are also 2 sheds on the property. It is a very simple cubic shape. We want to stay with the scale and massing.

Bergenholtz: We restored 2 on Thames. I think they are in the same velocity zone as this one. We were able to stabilize them.

Mr. Snyder: Were you above the flood zone?

Bergenholtz: Somewhat.

Teitz: One alternative is to raze the structure, and the other is to obtain a variance. One ground for relief is saving a historic structure.

Bergenholtz: It is a very historic and important house to Bristol.

Madeleine Melcher: I just want to summarize the structural report. The engineer stated that foundation itself is sinking especially at the corners. The attached garage is a slab with a crawl space and it is potentially failing due to cracks, and leaks in the roof are rotting everything. The design downfall is that it doesn't have lateral force protection. Due to the design of the property, it would be difficult to add it without reframing the house.

Mr. Snyder: We can only replace it.

Bergenholtz: This is demolition by neglect by someone who was very significant in Bristol. The application that appeared before you tonight had vultures in it, and it was saved.

Mr. Snyder: I have never knocked down a house without trying to save it. The house will not survive a move.

Bergenholtz: The asbestos can be mitigated.

Church: I am strongly opposed to demolishing it. It was designed by Herreshoff. According to the RI Historic Commission, there are very few homes of this style. For historic and architectural reasons, I am against it. It can be rehabilitated. Standard 5 and Standard 6 says deteriorated will be repaired rather than replaced.

Attorney Rego: I would like to have the architect, John Tschirch, speak.

Mr. Tschirch: We are faced with a stark reality. It is never easy to think a building outlived its shelf life. I read the structural report closely. It cannot be preserved. It is decaying. It cannot be totally rehabbed because so much of it is gone. It's about authenticity, how much of the building is original. It's a unique house, but not a landmark building. It is an example of modernist design. It contributes to the



historic fabric of the Town on the waterfront, and you have to judge it by its merits and conditions. This is such an exposed site. The house will either cave in by demolition by neglect or has to be rebuilt. It is reality. I'm for a new build in the spirit of the old house. The house has structural decay. There was a similar situation in Jamestown, RI at the Barnicle House. It had to be rebuilt.

Nancy DiPrete Laurienzo: I wondered about this house, but it is deteriorating and not getting better. I tried to contact Halsey Herreshoff to purchase the house, and I never heard back. I approached him again, and now we are here. When I saw the house, I got nervous. It is deteriorated. I would like to pay homage and create something to code. That's where we are here.

Bergenholtz: But not in violation of CRMC.

Mr. Snyder: We need to comply with CRMC. The roof form has to be tied to the foundation, and it is not right now.

Bergenholtz: That is possible to do with existing structure.

Mr. Snyder: We would have to lift the existing structure and take out existing windows.

Bergenholtz: Is it possible to do?

Mr. Snyder: Anything is possible. It's whether it is practical. It needs piers as well.

Bergenholtz: I've done it.

Attorney Rego: Maybe the Board can do a walk through to get a better sense.

Ponder: This is the exact same conversation with the farmhouse. Maybe we should schedule a walk through. It might be a better way.

Lima: Has anyone been in contact with the State Historic Preservation Commission?

Mr. Snyder: We went to library for streetscapes.

Teitz: You will need CRMC approval which will refer to state overlapping jurisdiction. We try to work together for it. A site visit would be a good time to invite the State Historic Preservation Commission.

Lima: Should CRMC be included?

Teitz: They have to by law.

Allen: A new survey was done recently, and this house was rated as contributing to the Historic District. The 2 houses Ben referred to were renovated. They were owned by the Town and Ben's family renovated them.

Bergenholtz: It was a challenge.

Allen: The State came in and said no to demolition.

Attorney Rego: I have not been through the house. I have just seen photos. Anything is possible with money.

Bergenholtz: If you're going to replicate it, it is easy to show plans. This implies that it won't be a reproduction of what is there.

Ms. DiPrete Laurienzo: It won't be a reproduction. It will pay homage to it, and we could take another direction. Looking for opinions tonight.

Lima: We should do a site visit and include the State. They are the ones that will have a say. I would like to propose that.

Teitz: I think a motion would be appropriate.

Lima: Okay. Is there anyone in the audience who would like to speak for or against this application?

Catherine Zipf: Will there be a vote at the site?

Teitz: It will be a site visit without a vote.

Mr. Snyder: The reason we talked about the demolition first was for this reason. We wouldn't have a blank site then come back with a proposal. We wouldn't start demolition until we have the approval of a proposed plan.

Lima: We treat it like all of the other properties.

Mr. Snyder: To direct to Ms. Church, are you referring to 151 Ferry Road?

Teitz: We are getting off subject.

Ms. Zipf: I don't need to convince you of the history of Bristol. This part is overlooked. I am advocating for keeping the structure. I was in it, and it has issues, but it seems savable. We rebuild boats all the time. We will all be disappointed in what will need to be built in its place. It is perched on the site in a way that wouldn't be possible now. I don't see it would be replaced with something that would be good for Historic District. Each building contributes to the District. Changing the size and massing of each house matters. Please save this house.

Lima: Nick will arrange for a site visit. Please let him know of dates that do or don't work for you, and we will get this going.

Ms. DiPrete Laurienzo: Thank you.

Motion made by Lima to continue the application to the next meeting pending a site visit with and to include the RI State Historic Preservation Commission; Second by Ponder.

Voting Yea: Church, Lima, Ponder, O'Loughlin, Bergenholtz, and Allen

**3F. 25-14: 23 Summer Street, Catherine Esselen:** Discuss and Act on replacement of porch in kind, replacement of windows, removal of 2 windows.

Catherine Esselen, Daniel Kusmano, Chris Goultier are present.

Mr. Kusmano: Here on behalf of the homeowner for repairs to the front porch and replacement of the 1<sup>st</sup> and 2<sup>nd</sup> floor windows and shed dormer. The front porch is in a dilapidated state. We will be replacing the existing wood in kind and stabilizing it. The deck boards will be replaced with accoya pine wood and stained for a natural look. The wood railings will be replaced in kind. The wood painted columns will be replaced in kind as well.

Also, the existing wood clapboard will be replaced in kind. We will relocate the historic plaque closer to the front door. Finally, we will be replacing the wall mounted lanterns to match what is there.

Lima: Do you have examples of the new lanterns?

Mr. Kusmano: It is in the package provided. On the 1<sup>st</sup> floor, 12 windows are to be replaced. A couple of the windows in the rear of the property were already granted a replacement. We will be replacing them in kind with Marvin elevated which are wood interior and a fiberglass exterior with the same window configuration. On the 2<sup>nd</sup> floor, windows in shed dormer, 2 windows will be removed, and the 1<sup>st</sup> and 3<sup>rd</sup> windows facing the neighbor's exterior wall to east will be replaced. These windows are not original to home as it was an addition. We are not removing any original windows. The remaining 5 windows will be replaced with Marvin elevated which will be 6 over 6 true divided lights to match the character of the original home. Wood trim will also be added. (Photos of windows are given to the Commission.)

Bergenholtz: The 4 over 1 window in the package will not be done?

Mr. Kusmano: Yes, 6 over 6.

Allen: You replaced several before. The front of the house needs to maintain the historic integrity if that's possible. We have a standing way of doing a site visit. We would prefer to repair what is there. We would like to see them.

Ms. Esselen: Some of them are in terrible shape.

Allen: Maybe you have windows on the side that are in better shape and can be moved to the front.

Ms. Esselen: They are exposed to the elements and the house takes a beating.

Lima: Nick, should I mark these exhibit numbers 1 and 2?

Toth: Yes.

Bergenholtz: Are these original to the building?

Mr. Goultier: The shed dormer was created in the 90s.

Church: Kevin did that. Maybe it should stay 2 over 1 to differentiate it from the old.

Bergenholtz: Do you have a preference?

Ms. Esselen: 6 over 6.

Ponder: Just for consistency.

Ms. Esselen: Yes.

Bergenholtz: I'm fine with it. I just want to ask about shifting of the column on the porch.

Mr. Kusmano: The columns will be in the same spots. The historic plaque is being moved over.

Ms. Esselen: It only had 3 columns.

Mr. Goultier: The columns sit on granite posts which we assume are very old if not original.

Mr. Kusmano: The photos in the package show only 3 columns have always been there. There should be 4 but only 3.

Bergenholtz: So, you are not moving them.

Mr. Kusmano: No.

Allen: What about the light fixtures.

Lima: The porch isn't original.

Mr. Kusmano: It is. The rear porch is newer and that's what you are referring to.

Lima: Okay.

Allen: What are the materials for the rebuilding of the porch?

Mr. Kusmano: Wood timber and deck boards will be accoya pine wood.

Church: It's pine wood on steroids.

Allen: Last longer.

Lima: We have some old photos. Partial west alteration and that's when windows were put in the dormer. South elevation which is the porch. These photos will be marked as Exhibit 3 and 4. Is there anyone in the audience who would like to speak for or against this project? Can we have a motion?

Allen: Sure.

Ms. Esselen: With a site visit do you come look at the windows inside and out and open them?

Allen: Yes.

Church: And we can vote at the site on it.

Ms. Esselen: Does everyone come?

Allen: Whomever is available.

Ms. Esselen: Okay.

Motion by Allen to accept the application as presented, except for the windows which will be continued for a site visit; Seconded by Ponder

Voting Yea: Ponder, Church, Allen, O'Loughlin, Bergenholtz, and Lima

Secretary of Interior Standards: #9

Project Monitor: Ben Bergenholtz

Lima: Just put the certificate in front somewhere where it is visible.

Mr. Kusmano: Absolutely.

Toth: I will wait until after site visit to issue the certificate. I can issue something with a stipulation on the windows for now.

Lima: So they can start on other things just not windows yet.

Ms. Esselen: Thank you.

**3G. 25-15: 532 Wood Street, East Bay Food Pantry & Thrift Store:** Discuss and act on constructing a new egress stair from existing lower level up to grade, Replace existing brick infilled masonry openings with new windows in kind with existing windows.

Spencer McComb and Emily Mushen present.

Mr. McComb: Some good news the pantry is doing great. They currently maintain an area for public use that has an egress on both ends. There is a large storage area in the lower level that hasn't been used and now they want to use it and it needs an egress. This is the best spot for a stairway which will be strictly an exit staircase for workers. It is a simple request as it is an asset to the community and it will be low impact to the building. There are window openings that were filled in with brick and we want to put windows in those openings again. The new windows will match the existing windows. It will be minimal construction as the openings were already there and then filled in with brick.

Bergenholtz: What they do is valued and incredible. I totally agree with the design.

Lima: How many people will be using this area going in and out.

Mr. McComb: This door is strictly for staff use.

Lima: The public will be entering from where they go now? Just being made know.

Mr. McComb: Right.

Church: I'm happy with it. Do you have a letter of approval from owner to make changes.

Ms. Mushen: We met with the owner and have verbal approval. If a letter is necessary, then we'll get one.

Lima: We prefer a letter. We can still vote. We just want to cover all bases.

Lima: Is there anyone in the audience who wants to speak for or against this application? Does someone want to make a motion?

Church: I will.

Motion made by Church to accept the application as presented for the addition of a stairway and windows; Seconded by Ponder

Voting Yea: Church, Lima, Allen, Ponder, O'Loughlin, and Bergenholtz

Secretary of Interior Standards: #9

Project Monitor: John Allen

Lima: As you probably heard me say tonight already to others, please put the certificate in the front somewhere so the public knows you have permission.

Ms. Mushen: Thank you.

**3H. 25-16: 435 Hope Street, Nicki Tyska: Discuss and Act on installation of new sign for business.**

Nicki Tyska present.

Ms. Tyska: I am opening a new men's clothing store and I am here to ask for a 2 sided sign for hanging outside of building.

Church: It is to be attached to the mortar and not actually into the brick.

Ms. Tyska: I am assuming the sign company knows that.

Lima: It says that it is going to be mounted to the brick face in the package. Please make sure they know it is in the mortar only and not into the brick.

Church: What are the materials?

Ms. Tyska: It is this composite material. It is the same material that they used at Wink.

Lima: What is the height of the sign.



Ms. Tyska: It says it on one of the drawings.

Lima: Does anyone have any questions? Is there anyone in the audience who would like to speak for or against this application? Does someone want to make a motion?

Ponder: I will.

Motion made by Ponder to accept the application as presented for the installation of a sign to be fastened to the building in the mortar and not directly to the brick; Seconded by Bergenholtz.

Voting Yea: Lima, Ponder, Church, Bergenholtz, Allen, and O'Loughlin

Secretary of Interior Standards: #9 and #10

Project Monitor: John Allen

Lima: Just put the certificate in the front window when you receive it so everyone knows you are all set.

Ms. Tyska: Thank you.

**3I. 25-11: 125 Thames Street, Bristol Lofts LLC:** Discuss and act on approval for mill conversion to apartments, including external features.

Tyler Langlois owner.

Mr. Langlois: The property did receive final planning board approval. I purchased it in December 2024. I am going through the process to get the RI historical tax credit. I am working with the Town to keep the process moving. Alyssa Augustine is also here. She has been very helpful regarding the tax credit. The mill will stay as is. I'm just restoring it. That building was supposed to be demolished.

Allen: It was presented as a concept review.

Ponder: We voted generally to allow the project to go forward knowing you would have to come back. Demolition was specifically discussed. We just got the process started.

Teitz: It was a site visit and demo was approved previously.

Mr. Langlois: Okay. Steve Greenleaf wanted to confirm it.

Allen: There are some wood windows and some aluminum. Why is that?

Mr. Langlois: The front facing windows are replicated in wood.

Allen: Why not wood to wood?

Ms. Augustine: Wood on that elevation dates to 1830 and they're not all original. The windows facing the water would be aluminum.

Lima: It was at the January 16, 2023 meeting.

Mr. Langlois: We are here for the mortar, windows, and demolition of that small building shown in the package.

Allen: What are everyone's thoughts of wood replacement.

Ponder: Reason? What we have done before.

Church: To replace wood with wood in the pink building.

Teitz: All other buildings will be aluminum.

Ms. Augustine: All of the windows will match the existing profiles, dimensions, etc. We are making sure they are operable, and the historic aesthetic being replicated.

Church: You just have to get it approved by the State and National Park Service.

Teitz: You do have your own independent jurisdiction.

Ms. Augustine: We are taking extra effort.

Lima: Is there anyone in the audience who would like to speak? Can someone make a motion?

Church: Sure.

Allen: Can we do that as it wasn't advertised?

Lima: The application also indicates that the dumpster enclosure will be paved and a stockade fence surrounding it.

Teitz: It is okay. Just findings of a lack of historic value.

Bergenholtz: What about the fence?

Mr. Langlois: We will be coming back for it.

Teitz: There was a site visit on June 8, 2021.

Motion by Church to accept the application as presented for the replacement of windows and demolition of Building 8 as indicated on Drawing D1-1 which was previously approved; Seconded by Bergenholtz.

Voting Yea: Allen, Lima, Church, Bergenholtz, Ponder, and O'Loughlin

Secretary of Interior Standards: #10

Project Monitor: Chris Ponder

Lima: Just put the certificate somewhere in the front and also put the permit for the demo in the front as well.

Mr. Langlois: Thank you.

**4. Concept Review**

**4A. CR-25-1: 8 Constitution Street, John J Marshall:**

Concept Review for addition of second story

John Marshall, Pete Dyer, Brian Clark, and Cordelia Dawson are present.

Allen: Reads history into the record.

Mr. Marshall: We want to redo the house and add a second floor for our residence. We had a concept review with Ed Tanner and Nick to get their thoughts. We want to preserve the historic nature. We want to preserve as much as we can. We want the 2<sup>nd</sup> floor to fit with the

neighborhood. Upstairs not code compliant. We want to make it into a full porch and leave the garage as is. In the back, we want to add a slider. Halsey Herreshoff didn't do much to it and now it needs a lot of love.

Cordelia Dawson: The main goal is to make it more livable. It does have a small footprint. The 2<sup>nd</sup> floor will make it more functional. There are some interesting details about the house. The windows are original, but many sash weights are gone. There are storm windows and some need to be replaced. There is some broken glass, and some need to be recalked. We need guidance. The windows on the east elevation where several are 2 over 1 and others on the front and west sides have a diamond pattern. It has lovely, exposed rafter tails we want to preserve. The front porch does not have much character. The posts are unremarkable. There is an opportunity to do something to keep with the charm of the rest of house. The front door is recessed in an alcove and needs to be replaced to be more weather tight. It can't be seen from the front porch. With the 2<sup>nd</sup> floor addition, we wanted to get your opinion. There is an opportunity to distinguish it from where the original roof line is. John is open to it. Additionally, we would like your input on the materials. John is considering hardy shingles for siding. Most of the window casings need to be replaced as you can see through them. We wanted to know if we could get a composite trim or do we need to stay with wood. Also, we wanted to add aluminum gutters. The new proposed roof is a conceptual hipped roof to match what is there. We want to try to continue the exposed rafter tails.

Bergenholtz: So, it's craftsman style?

Ms. Dawson: Yes. We are looking at Anderson E series windows. We will be keeping the diamond pattern on the first floor, and we want to distinguish the new from the old.

Ponder: On the preliminary draft, the first floor doesn't look like a diamond pattern on the windows.

Ms. Dawson: It should be. That was a mistake.

Church: So, the diamond pattern will be recreated?

Ms. Dawson: Yes.

Church: I would want to see something to delineate the 1<sup>st</sup> to 2<sup>nd</sup> floors.

Bergenholtz: Is this a Sears house?

Ms. Dawson: It could be, but I'm not sure. It does have the indication and feels like it.

Bergenholtz: Really cool.

Ms. Dawson: We are replacing the garage door with a barn style door. It might fit better since the garage is so small. They would like to demolish the chimney. Does it need to be brick or can we do something else?

Allen: Are you going to use it?

Mr. Marshall: Yes.

Church: Do you need CRMC approval? How close are you to the water?

Mr. Marshall: I will be getting a survey back in a couple of weeks to know for sure.

Bergenholtz: Is it going to be a craftsman style on the 2<sup>nd</sup> floor?

Ms. Dawson: Yes. We want to extend the style.

Mr. Marshall: I want to save as many rafter tails as possible.

Allen: And still have gutters?

Ms. Dawson: Yes. You won't see the gutter as it will be hidden by the rafter tail.

Allen: I like it.

Bergenholtz: We have been doing a lot of composite gutters.

Ms. Dawson: Have you approved fiberglass composite?

Bergenholtz: Yes.

Allen: However, the hardy shingles, I wouldn't vote for it.

Mr. Marshall: We did a hotel in Newport, and they loved it.

Allen: We're not Newport.

Mr. Marshall: I'm up for anything.

Lima: I don't know what it looks like.

Toth: I think we approved it on a new construction.

Ms. Dawson: There is a cut sheet with information on the shingles.

Ponder: Your preference is to not have a lot of exposure.

Ms. Dawson: We want to have tighter exposure so we can do shingles on the first floor and clapboards on 2<sup>nd</sup>.

Allen: Differentiate the 1<sup>st</sup> floor from the 2<sup>nd</sup> floor is a good idea.

Church: You're keeping the diamond windows on 1<sup>st</sup> floor and differentiating on the 2<sup>nd</sup>?

Mr. Marshall: Yes. So, no diamond pattern on the 2<sup>nd</sup> floor.

Lima: Was there ever a car in that garage?

Church: Could be a Sears garage too.

Ms. Dawson: We want to use the stone that's there and reset it.

Ponder: I like the concept. I think it is appropriate for the street. I agree with Sue, diamond pattern on the 1<sup>st</sup> floor windows and would like to see a differentiation from new to old.

Allen: You can use the windows from the front of house if you can.

Ms. Dawson: How do we determine that?

Allen: With a site visit. Is it the same size on the side as on the front?

Ms. Dawson: It is a double box bay.

Allen: You should use historic windows on the front.

O'Loughlin: I agree.

Lima: Is there anyone in the audience who would like to speak on this?

Elaine White: (Shows picture of the original house from the Bristol Historic Society to the Commission.) This was a postcard. Anyone who loves or visits the area appreciates the cottage style. The addition of a 2<sup>nd</sup> floor changes that.

Bergenholtz: Your house is 2 stories.

Ms. White: Three.

Bob Holt: I am against it. My great-grandfather was a doctor and his office was in the building.

Lima: East of this towards Hope Street.

Teitz: Send that in an email to Nick to have in the record.

Mr. Holt: This will impede my property and tenants. Just my opinion.

Catherine Zipf: Let's hope it is not a Sears house. This house has really unique character and features. This proposed plan strips it of uniqueness. It is not good for the District. I think another approach should be taken. It can remain a craftsman style. It could be a kit house. Maybe you can do a smaller addition and push it back.

Brian Clark: I've known John for 50 years. Constitution Street is a tight knit group. He knows what needs to be done. The Board should be comfortable with him.

Lima: Anything else?

Mr. Marshall: I'm trying to keep everything and just want to make it more livable. I came for your feedback. I appreciate your time.

Church: Would you consider moving the addition back?

Mr. Marshall: The house is only 800sqft.

Church: Catherine makes some good points.

Lima: Anyone else have anything to say.

Ponder: I like the concept. We can give you the address of the one Catherine referred to so you can look at it. It is something to consider.

Lima: Go look at the one she referred to.

Mr. Marshall: I thought we came up with a good design, but I will take a look.

Lima: It looks promising.

Allen: I'm on the fence. I just don't know if it is appropriate.

O'Loughlin: I think it makes sense to make it a little different.

Mr. Marhsall: Thank you.

- 5. **Monitor Reports & Project Updates**
- 6. **HDC Coordinator Reports & Project Updates**
- 7. **HDC Coordinator Approvals**
- 8. **Other Business**

Lima: At 96 State Street, the front porch is off. We need to check to make sure they're doing what they were supposed to be doing.

Nick: I will check that.

Church: There is a neon open sign at Roberto's Café.

Allen: Not just them, there are several in the Town.



Toth: I have spoken to all of the businesses, and they all have told me they're not going to do anything about it.

Church: What about Ray?

Nick: I will talk to Ray.

Lima: Just worried that if everyone gets neon signs, where do we stand.

Andy: We can't discuss it tonight. We have been working on it.

**9. Adjourned at 10:22 PM**



# Town of Bristol, Rhode Island

## *Historic District Commission*

10 Court Street  
Bristol, RI 02809  
[www.bristolri.gov](http://www.bristolri.gov)  
401-253-7000

Meeting Minutes for 23 Summer Street and 260 High Street Special Meeting

March 19, 2025

Attending: Oryann Lima, Chair; John Allen, Vice Chair; Benjamin Bergenholtz, Member; Susan Church, Member; Christopher Ponder, Member; Michael O’Laughlin, Member

Also Attending: Nicholas Toth, Planner/HDC Coordinator

Meeting called to Order 2:00 PM, 23 Summer Street, Bristol, RI

The commission conducted a site visit to determine whether to allow replacement of windows at 23 Summer Street.

There was concern that many of the older windows were in good condition – however since some were replacements and a number of the windows were in poor condition, it was determined that the recently installed windows could be replaced and several of the older windows could be replaced.

Motion: Made by John Allen, Seconded Christopher Ponder

To approve application 25-14 to replace windows on east elevation, repair west and south elevation on first floor. Second floor windows replaced as presented, 6 over 6 Marvin Elevate. Finding of Fact: Windows appear original to house.

Standards #9. Benjamin Bergenholtz Project Monitor.

Motion Passes Unanimously 6-0

Commissioners leave 23 Summer Street and reconvene at 260 High Street. Member O’Laughlin left the site visit at this time.

Members reconvened at 260 High Street, Bristol, RI to discuss proposed installation of an electrical box on the wall of the Town project at the former Walley School.

The proposed location was determined based on the location of the electrical room, and other locations would be cost prohibitive. The commission approved of the location, but stipulated that bollards and equipment should be painted to match the brick and installation should be in the mortar rather than brick itself.

Motion: Made By Susan Church, Seconded by John Allen

To approve application 25-10 for installation of electrical meter in proposed position B as presented, installation of bollards as presented, to be painted to match brick in color. Installation should be done in mortar rather than brick.

Standards #9, Project Monitor Susan Church

Passes Unanimously, 5-0

Member Allen makes motion to adjourn.

Meeting Adjourned 2:39 PM.



# Bristol Historic District Commission

Item 1.

## Application for Review of Proposed Work - Printable Application

HDC-25-18	Contributing	February 20, 2025
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**THIS DOCUMENT IS NOT A SUBSTITUTE FOR A BUILDING, ELECTRICAL, SIGN, MECHANICAL, DEMOLITION, SOLAR OR FENCE PERMIT APPLICATION. THESE PERMITS MUST BE APPLIED FOR AND APPROVED BY THE BRISTOL BUILDING DEPARTMENT BEFORE WORK CAN BEGIN.**

Project Address	Assessor's Plat	Assessor's Lot
195 High Street	14	72

Applicant	Applicant Phone	Applicant Email
Peggy Frederick	508-308-3069	pegfred4@gmail.com

Property Owner (If Different from Applicant)	Owner Mailing Address
	31 Bradford Street

Architect/Engineer	A/E Phone Number	A/E Email
Melissa Hutchinson	401.559.1957	mhutchinson@g.rwu.edu

Contractor	Contractor Phone Number	Contractor Email
James Tavares	4012285339	jptavaresconst@yahoo.com

Work Category:	Remodeling of Structure(s)
----------------	----------------------------

Description of proposed work:

Addition of a 17 foot dormer on the South Side of the building

Property History

Building Survey Data	
RIHPHC ID #:	BRIS00170
HISTORIC NAME:	
ARCH. STYLE:	Colonial
ORIGINAL CONSTRUCTION DATE (est.):	1800 ca

ALTERATIONS TO MAJOR ARCH. SINCE 1978 (Height, Massing, Wall Covering, Trim, Windows, Porches)

Peggy Frederick

Applicant's Name – Printed

**Peggy Frederick**

Applicant's Digital Signature

Date: February 20, 2025



# CAI Property Card

Town of Bristol, RI

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR
<b>LOCATION:</b> 195 HIGH ST <b>ACRES:</b> 0.1485 <b>PARCEL ID:</b> 014-0073-000 <b>LAND USE CODE:</b> 02 <b>CONDO COMPLEX:</b> <b>OWNER:</b> FREDERICK, PEGGY <b>CO - OWNER:</b> <b>MAILING ADDRESS:</b> 31 BRADFORD ST  <b>ZONING:</b> R-6 <b>PATRIOT ACCOUNT #:</b> 869	<b>BUILDING STYLE:</b> 2 Family <b>UNITS:</b> 1 <b>YEAR BUILT:</b> 1830 <b>FRAME:</b> Wood Frame <b>EXTERIOR WALL COVER:</b> Clapboard <b>ROOF STYLE:</b> Gable <b>ROOF COVER:</b> Asphalt Shin
	BUILDING INTERIOR
<b>SALE INFORMATION</b> <b>SALE DATE:</b> 5/17/2024 <b>BOOK &amp; PAGE:</b> 2244-153 <b>SALE PRICE:</b> 0 <b>SALE DESCRIPTION:</b> <b>SELLER:</b> BLACK VULTURE LLC	<b>INTERIOR WALL:</b> Drywall <b>FLOOR COVER:</b> Hardwood <b>HEAT TYPE:</b> Radiant Hot <b>FUEL TYPE:</b> Oil <b>PERCENT A/C:</b> False <b># OF ROOMS:</b> 8 <b># OF BEDROOMS:</b> 4 <b># OF FULL BATHS:</b> 2 <b># OF HALF BATHS:</b> 0 <b># OF ADDITIONAL FIXTURES:</b> 1 <b># OF KITCHENS:</b> 2 <b># OF FIREPLACES:</b> 1 <b># OF METAL FIREPLACES:</b> 0 <b># OF BASEMENT GARAGES:</b> 0
PRINCIPAL BUILDING AREAS	
<b>GROSS BUILDING AREA:</b> 3488 <b>FINISHED BUILDING AREA:</b> 1768 <b>BASEMENT AREA:</b> 884 <b># OF PRINCIPAL BUILDINGS:</b> 1	
ASSESSED VALUES	
<b>LAND:</b> \$220,600 <b>YARD:</b> \$0 <b>BUILDING:</b> \$137,400 <b>TOTAL:</b> \$358,000	
SKETCH	PHOTO



www.cai-tech.com

This information is believed to be correct but is subject to change and is not warranted.



# 200 feet Abutters List Report

Bristol, RI  
March 25, 2025

### Subject Property:

Parcel Number: 14-73  
CAMA Number: 14-73  
Property Address: 195 HIGH ST

Mailing Address: FREDERICK, PEGGY  
31 BRADFORD ST  
BRISTOL, RI 02809

### Abutters:

Parcel Number: 14-105  
CAMA Number: 14-105  
Property Address: CHURCH ST

Mailing Address: TOWN OF BRISTOL  
10 COURT ST  
BRISTOL, RI 02809

Parcel Number: 14-109  
CAMA Number: 14-109  
Property Address: MILK ST

Mailing Address: BARNEY, TAMARA ANN & HARRALL,  
TIMOTHY ROBERT TE  
23 MILK ST  
BRISTOL, RI 02809

Parcel Number: 14-113  
CAMA Number: 14-113  
Property Address: 67 CONSTITUTION ST

Mailing Address: LOVETT, BRIAN  
67 CONSTITUTION ST  
BRISTOL, RI 02809

Parcel Number: 14-52  
CAMA Number: 14-52  
Property Address: 213 HIGH ST

Mailing Address: TORTORICE, ANN MARIE, TRUSTEE  
TORTORICE LIV TRST 11  
43 BYFIELD ST  
BRISTOL, RI 02809

Parcel Number: 14-53  
CAMA Number: 14-53  
Property Address: 205 HIGH ST

Mailing Address: CHEVRA AGUDAS ACHIM AKA  
CONGREGATIONAL CHEVRA  
205 HIGH STREET  
BRISTOL, RI 02809

Parcel Number: 14-54  
CAMA Number: 14-54  
Property Address: 203 HIGH ST

Mailing Address: ORPHANIDES, CAROL ANN TRUSTEE  
REVOC LIVING TRUST 12-9-2014  
203 HGH ST  
BRISTOL, RI 02809

Parcel Number: 14-55  
CAMA Number: 14-55  
Property Address: 74 CHURCH ST

Mailing Address: NUNES INVESTMENTS, LLC  
81 CHESTNUT ST  
BRISTOL, RI 02809

Parcel Number: 14-56  
CAMA Number: 14-56  
Property Address: 43 BYFIELD ST

Mailing Address: TORTORICE, ANN MARIE, TRUSTEE  
TORTORICE LIV TRST 11  
43 BYFIELD ST  
BRISTOL, RI 02809

Parcel Number: 14-57  
CAMA Number: 14-57  
Property Address: 64 CHURCH ST

Mailing Address: DEL NERO, PAUL A. ETUX TE DEL  
NERO, CATHY ROBERTSON  
PO BOX 742  
BRISTOL, RI 02809

Parcel Number: 14-58  
CAMA Number: 14-58  
Property Address: 39 BYFIELD ST

Mailing Address: BLAIR, DEBORAH M & BUTLER, SARA A  
JT  
39 BYFIELD ST  
BRISTOL, RI 02809



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# 200 feet Abutters List Report

Bristol, RI  
March 25, 2025

Parcel Number: 14-60 CAMA Number: 14-60 Property Address: 33 BYFIELD ST	Mailing Address: SMITH, DORAN C & SQUILLANTE, DAVID JT 33 BYFIELD ST BRISTOL, RI 02809
Parcel Number: 14-72 CAMA Number: 14-72 Property Address: 201 HIGH ST	Mailing Address: MARKS, JOHN H & KELLY A TE 24 HIGHLAND RD TIVERTON, RI 02878
Parcel Number: 14-74 CAMA Number: 14-74 Property Address: 46 BYFIELD ST	Mailing Address: DRAWBRIDGE, CLIFFORD J. ET UX FLOYD, TERESA L TE 46 BYFIELD STREET BRISTOL, RI 02809
Parcel Number: 14-75 CAMA Number: 14-75 Property Address: 42 BYFIELD ST	Mailing Address: GAETZ, TRACEY FRANCES & FISCHER, STEPHEN C. JR TE 42 BYFIELD ST BRISTOL, RI 02809
Parcel Number: 14-76 CAMA Number: 14-76 Property Address: 38 BYFIELD ST	Mailing Address: SILVA, MICHAEL 141 HILLSIDE AVE SOMERSET, MA 02726
Parcel Number: 14-77 CAMA Number: 14-77 Property Address: 34 BYFIELD ST	Mailing Address: SIROIS, ROSEMARIE G. 34 BYFIELD ST BRISTOL, RI 02809
Parcel Number: 14-78 CAMA Number: 14-78 Property Address: 11 MILK ST	Mailing Address: CARREIRO, MARY M TRUSTEE MARY M CARREIRO FAMILY TRUST 4 OVERLOOK DR BRISTOL, RI 02809
Parcel Number: 14-79 CAMA Number: 14-79 Property Address: 15 MILK ST	Mailing Address: ROUNDS, ANDREA L. TRUSTEE OF 15 MILK ST BRISTOL, RI 02809
Parcel Number: 14-80 CAMA Number: 14-80 Property Address: 17 MILK ST	Mailing Address: CANARIO, DOROTHY LE REM-AREL, PATRICIA etal TC 17 MILK ST BRISTOL, RI 02809
Parcel Number: 14-81 CAMA Number: 14-81 Property Address: 21 MILK ST	Mailing Address: ENOS, RICHARD & PATRICIA TE PO BOX 605 BRISTOL, RI 02809
Parcel Number: 14-82 CAMA Number: 14-82 Property Address: 23 MILK ST	Mailing Address: BARNEY, TAMARA ANN & HARRALL, TIMOTHY ROBERT TE 23 MILK ST BRISTOL, RI 02809
Parcel Number: 14-89 CAMA Number: 14-89 Property Address: 189 HIGH ST	Mailing Address: DAMASKOS, JAMES C & PATTERSON, SUSAN P TE 189 HIGH ST BRISTOL, RI 02809



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# 200 feet Abutters List Report

Bristol, RI  
March 25, 2025

Parcel Number: 14-91 CAMA Number: 14-91 Property Address: 183 HIGH ST	Mailing Address: JAMES, JOSEPH & JAREST, JESSALYN TE 183 HIGH STREET BRISTOL, RI 02809
Parcel Number: 14-92 CAMA Number: 14-92 Property Address: 79 CONSTITUTION ST	Mailing Address: DEFELICE, RALPH M. TRUSTEE THE RALPH G. DEFELICE IRREV 79 CONSTITUTION ST BRISTOL, RI 02809
Parcel Number: 14-93 CAMA Number: 14-93 Property Address: 75 CONSTITUTION ST	Mailing Address: DEFELICE, REV. JONATHAN P 75 CONSTITUTION BRISTOL, RI 02809
Parcel Number: 14-94 CAMA Number: 14-94 Property Address: 73 CONSTITUTION ST	Mailing Address: SEVENTY-THREE CONSTITUTION St REALTY, INC. 35 SUNSET VIEW DR TIVERTON, RI 02878
Parcel Number: 14-95 CAMA Number: 14-95 Property Address: 65 CONSTITUTION ST	Mailing Address: 65 CONSTITUTION, LLC AGOSTINI, JOSHUA & BELL, JOSHUA C/O 65 CONSTITUTION ST BRISTOL, RI 02809
Parcel Number: 14-96 CAMA Number: 14-96 Property Address: 61 CONSTITUTION ST	Mailing Address: CARROLL, MARY T. 61 CONSTITUTION ST BRISTOL, RI 02809
Parcel Number: 14-97 CAMA Number: 14-97 Property Address: 55 CONSTITUTION ST	Mailing Address: 221 HOPE LLC 67 CONSTITUTION ST BRISTOL, RI 02809
Parcel Number: 19-116 CAMA Number: 19-116 Property Address: HIGH ST	Mailing Address: WEAVER, BARRY M. ET UX NANCY M. TE 40 SOUTH MEADOW LANE BARRINGTON, RI 02806
Parcel Number: 19-14 CAMA Number: 19-14 Property Address: 210 HIGH ST	Mailing Address: PARE, DAVID G. 14 BOWEN ST BOSTON, MA 01583
Parcel Number: 19-15 CAMA Number: 19-15 Property Address: 208 HIGH ST	Mailing Address: GARCIA, CHARLES F. SHELLEY E. 208 HIGH ST BRISTOL, RI 02809
Parcel Number: 19-16 CAMA Number: 19-16 Property Address: 202 HIGH ST	Mailing Address: WEAVER, BARRY M. ET UX NANCY M. TE 40 SOUTH MEADOW LANE BARRINGTON, RI 02806
Parcel Number: 19-17 CAMA Number: 19-17 Property Address: 198 HIGH ST	Mailing Address: NUNES INVESTMENTS, LLC 81 CHESTNUT ST BRISTOL, RI 02809



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# 200 feet Abutters List Report

Bristol, RI  
March 25, 2025

Parcel Number: 19-45  
CAMA Number: 19-45  
Property Address: 190 HIGH ST

Mailing Address: NUNES INVESTMENTS, LLC  
81 CHESTNUT ST  
BRISTOL, RI 02809

Parcel Number: 19-46  
CAMA Number: 19-46  
Property Address: 188 HIGH ST

Mailing Address: GLADUE, MARY PAULA DUPONT  
188 HIGH ST.  
BRISTOL, RI 02809

Parcel Number: 19-48  
CAMA Number: 19-48  
Property Address: 89 CONSTITUTION ST

Mailing Address: OBYRNE, FRANCIS X. JR VICKI A. TE  
89 CONSTITUTION ST  
BRISTOL, RI 02809

Parcel Number: 19-49  
CAMA Number: 19-49  
Property Address: 184 HIGH ST

Mailing Address: ALTMAN, BERN J & JULIE C TE  
184 HIGH ST  
BRISTOL, RI 02809

Parcel Number: 19-50  
CAMA Number: 19-50  
Property Address: 180 HIGH ST

Mailing Address: OLLERHEAD, JASON & OLLERHEAD,  
ANUPAMA TRUSTEES  
24 SHAWMUT AVE  
SWANSEA, MA 02777

Parcel Number: 19-51  
CAMA Number: 19-51  
Property Address: 178 HIGH ST

Mailing Address: UNITED BROTHERS LODGE 13 C/O  
STELLA MOITZO  
64 SALISBURY STREET  
REHOBOTH, MA 02769-1326



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

**BROSCO** Double-Hung Window Units  
Since 1890

- 2/1 LIGHT
- 2/2 LIGHT HORIZONTAL
- 2/2 LIGHT VERTICAL
- 3/3 LIGHT
- 4/4 LIGHT
- 6/1 LIGHT
- 6/6 LIGHT
- 8/8 LIGHT
- 9/9 LIGHT
- 12/12 LIGHT
- COTTAGE STYLE

**Window Specifications**

**FRAME** – Standard Jamb Depth of 4-9/16" features Laminated-Veneered-Lumber sides and clear pine head jamb. All exposed exterior frame parts are manufactured from highly durable, low-maintenance Composite Materials; including the Blind Stop, Sill and standard Brickmould Casing. The clear pine inside sill stop is dadoed to receive a stool cap or "picture-framed" casing. A weatherstripped head parting stop is color matched to the vinyl jamb liner\* with integral Tilt 'n Clean, Block & Tackle balances.

**SILL** – Composite two piece Sill & Sill Connector system provides a continuous sill nose across Combined Windows as well as allowing for the addition of the optional Historic Sill Nosing.

**SASH** – All sash are 1-3/8" thick glazed with single pane glass, hand puttied into a primed exterior, clear pine interior treated wood sash. All divided light sash feature a traditional narrow muntin bar measuring 5/8" wide. Enhanced thermal performance is achieved with the addition of a Low-E Energy panel available for all layouts except 1/1.

\*Specify White or Beige



*Traditional Putty Glazed Single Pane Glass*

**6/6 LIGHT**

Rough Opening			2'-0"	2'-3"	2'-6"	2'-9"	3'-0"	3'-6"
≠ Sash Opening	2'-9"	7"	1'-9 5/8"	2'-0 5/8"	2'-3 5/8"	2'-6 5/8"	2'-9 5/8"	3'-3 5/8"
	★Glass Size		6"	7"	8"	9"	10"	12"
3'-1"	2'-9"	7"	—	—	8" x 7"	9" x 7"	—	—
3'-5"	3'-1"	8"	6" x 8"	—	8" x 8"	9" x 8"	10" x 8"	—
3'-9"	3'-5"	9"	—	7" x 9"	8" x 9"	9" x 9"	10" x 9"	—
4'-1"	3'-9"	10"	—	—	8" x 10"	9" x 10"	10" x 10"	—
4'-5"	4'-1"	11"	—	—	8" x 11"	9" x 11"	10" x 11"	—
4'-9"	4'-5"	12"	—	—	8" x 12"	9" x 12"	10" x 12"	—
5'-1"	4'-9"	13"	—	—	8" x 13"	9" x 13"	10" x 13"	—
5'-5"	5'-1"	14"	—	—	—	9" x 14"	10" x 14"	—
5'-9"	5'-5"	15"	—	—	—	9" x 15"	10" x 15"	12" x 15"
6'-1"	5'-9"	16"	—	—	—	—	10" x 16"	—

**2/2 LIGHT VERTICAL**

Rough Opening			2'-3"	2'-6"	2'-9"	2'-10"	3'-0"	3'-2"
≠ Sash Opening	2'-3"	2'-6"	2'-0 5/8"	2'-3 5/8"	2'-6 5/8"	2'-7 5/8"	2'-9 5/8"	2'-11 5/8"
	★Glass Size		10 1/2"	12"	13 1/2"	14"	15"	16"
3'-9"	3'-5"	18"	10 1/2" x 18"	—	—	—	—	—
4'-1"	3'-9"	20"	—	12" x 20"	13 1/2" x 20"	—	—	—
4'-5"	4'-1"	22"	—	—	13 1/2" x 22"	—	—	—
4'-6"	4'-2"	22 1/2"	10 1/2" x 22 1/2"	—	—	—	—	—
4'-9"	4'-5"	24"	—	12" x 24"	13 1/2" x 24"	14" x 24"	15" x 24"	—
4'-11"	4'-7"	25"	—	12" x 25"	—	—	—	—
5'-1"	4'-9"	26"	—	—	13 1/2" x 26"	14" x 26"	15" x 26"	—
5'-5"	5'-1"	28"	—	—	13 1/2" x 28"	14" x 28"	15" x 28"	—
5'-9"	5'-5"	30"	—	—	13 1/2" x 30"	14" x 30"	15" x 30"	16" x 30"
6'-1"	5'-9"	32"	—	—	—	—	15" x 32"	16" x 32"

**3/3 LIGHT**

Rough Opening			2'-9"
≠ Sash Opening	2'-9"	2'-6 5/8"	9"
	★Glass Size		9"
2'-9"	2'-5"	12"	9" x 12"

**SINGLE THICK GLASS ONLY**

**1/1 LIGHT**

Rough Opening			1'-10"	2'-6"	2'-9"
≠ Sash Opening	1'-10"	2'-6"	1'-7 5/8"	2'-3 5/8"	2'-6 5/8"
	★Glass Size		16"	24"	27"
3'-5"	3'-1"	16"	16" x 16"	24" x 16"	—
4'-1"	3'-9"	20"	—	24" x 20"	—
4'-9"	4'-5"	24"	—	24" x 24"	27" x 24"

Windows shown with optional Wood Grille.

★ Glass sizes are approximate  
≠ Actual sash size = sash opening minus 1 9/16", height 3/16".

GENERAL DOORS  
*Corporation*



Cambridge Series  
Insulated Wood Composite Doors

**Carriage House Style Doors  
with Overlay Trim Boards**

Quality Door Solutions  
Since 1947

# Cambridge Series Insulated Wood Composite Garage Doors

For homeowners or home builders who want a full range of authentic carriage house door designs and are looking to finish their doors in a true color match with the rest of their house, General Doors offers a heavy duty, insulated alternative in the Cambridge Model wood composite line of overhead garage doors.

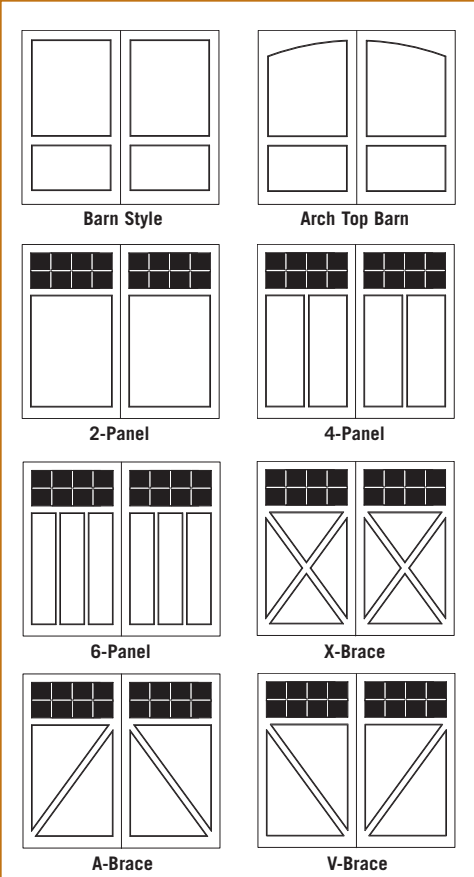


### Four Layer Construction Using Wood Frame, Tricoya ExDF Face and Waterproof Composite Overlay

- Classic carriage house designs are available by selecting either smooth or V-groove base section, and combining any of eight door designs, eight window options, and a large selection of applied decorative hardware
- Sandwich-type construction of base with 1-1/8" polystyrene core and wood frame result in R-value of 8.0

- Smooth primed door surfaces are designed for efficient, even paint application
- 3/8" thick Tricoya ExDF face provides exceptional dimensional stability and is the most durable wood panel product on the market today
- 1/2" thick Extira overlay is moisture, rot, and termite resistant
- Extra heavy duty track and hardware have a three year warranty

### Door Designs

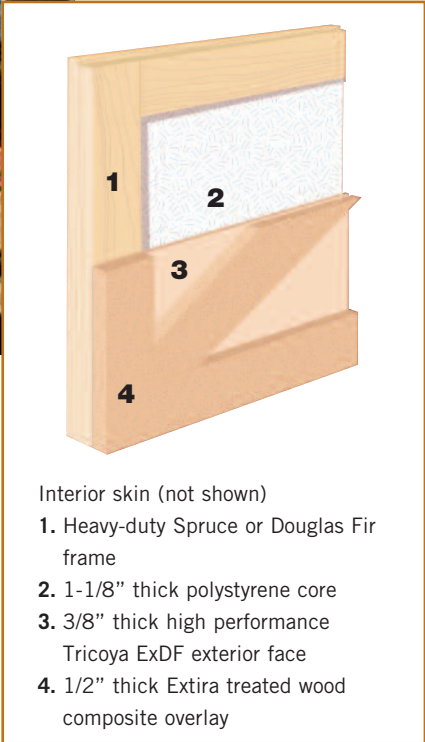


We can accommodate a variety of door heights and widths.  
 Standard widths: 8', 9', 10', 16', and 18'  
 Standard heights: 6'6" and 7'- 3 section  
 7'6" and 8'- 4 section





**Construction**



**Painting**

Every Cambridge Door is a paint grade wood product that is supplied factory primed. The prime paint is not designed to offer protection from the weather. Therefore, all surfaces on each section must be painted with a high quality exterior paint prior to, or immediately after, installation. Failure to do so will void the warranty.



**WINDOW OPTIONS**

Garage door windows have a great deal to do with the overall look of any garage door. The lite styles shown here can be matched with any door design except for the barn style designs, which are solid only.



6-Lite



6-Lite Arch



8-Lite



8-Lite Arch



12-Lite



12-Lite Arch



16-Lite



16-Lite Arch

**Decorative Hardware**

The decorative hardware of General Doors is an ideal way to customize a Cambridge door. Inspired by antique carriage door hardware and available

in wrought iron or flat black, this finishing touch can transform the look of any door and even the look of the home.



# There's a Cambridge Door for Every Garage



One piece overlay eliminates seams that can open up or curl

Solid Extra with precision milled molded edges in window section add architectural detail to doors

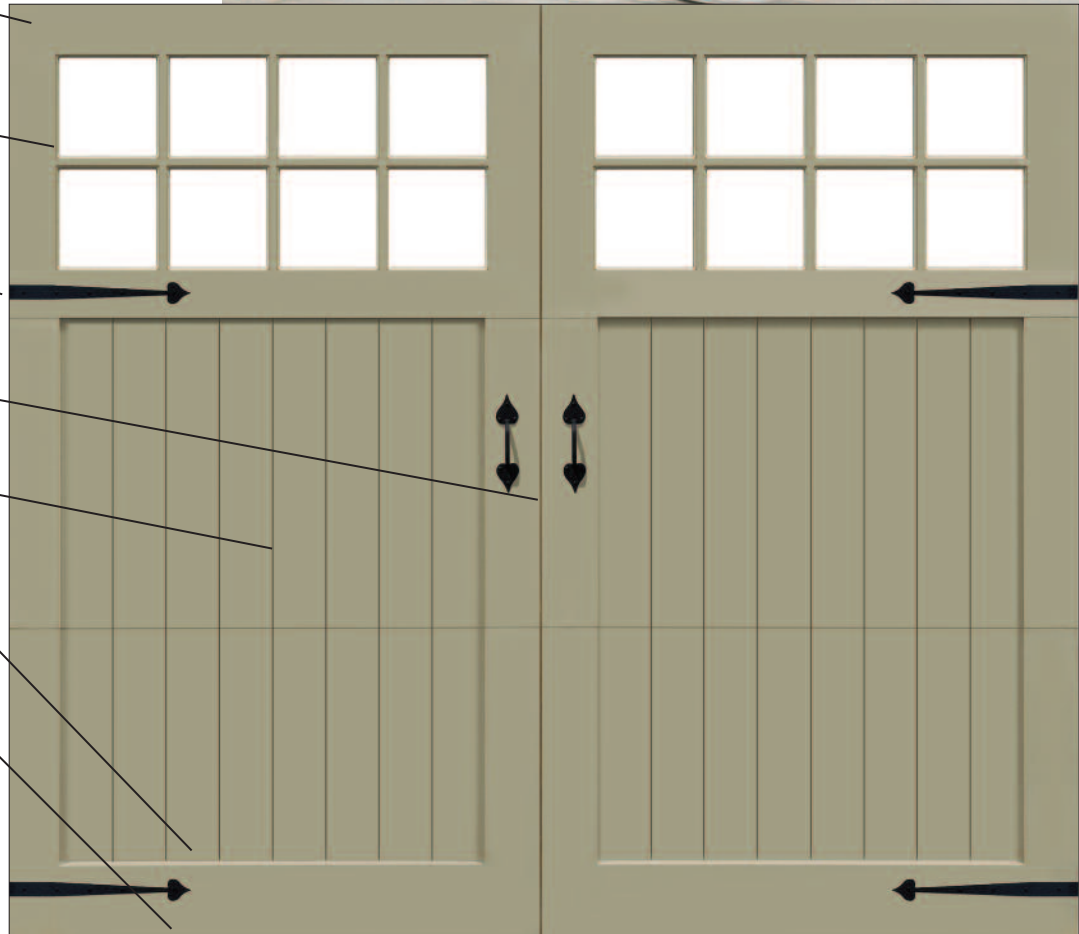
Space to mount decorative hinges above section joint

Center kerf enhances swing door look

Shown with optional V-groove; also available in herringbone pattern (shown on cover)

Square edge overlay on lower door sections

Door can be trimmed at the job site for a perfect fit every time



**Details distinguish well designed doors from ordinary doors. Details define style. Take the time to compare General Doors with any other manufacturer. You will see the difference.**

Three-year hardware warranty. See dealer for complete warranty information.

1 Monroe Street  
 PO Box 205 • Bristol, PA 19007-0205  
 215.788.9277 • Fax: 215.788.9450  
 general-doors.com  
 sales@general-doors.com



Your Authorized General Doors Distributor:

### Green Building Benefits

Energy savings from insulation value, local manufacturing, recycled content, and product longevity.

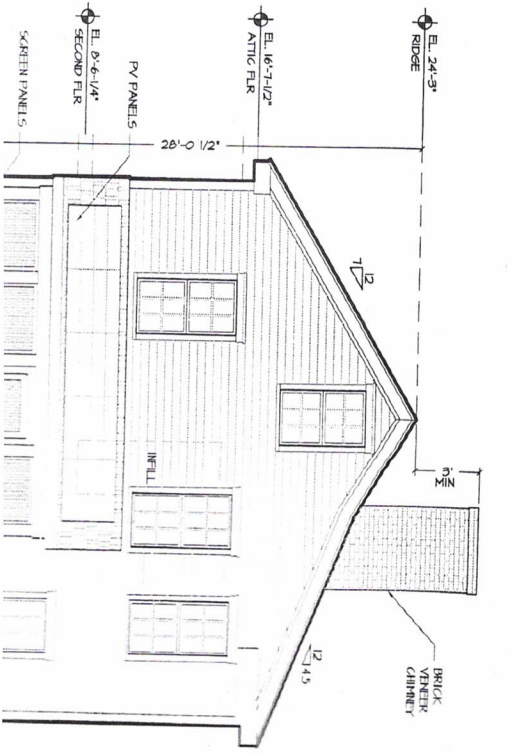
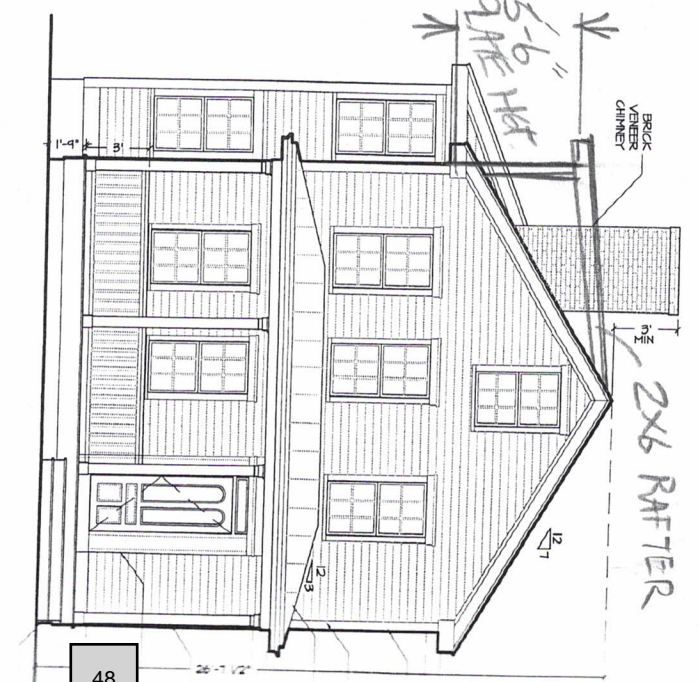


17'-9 1/2"

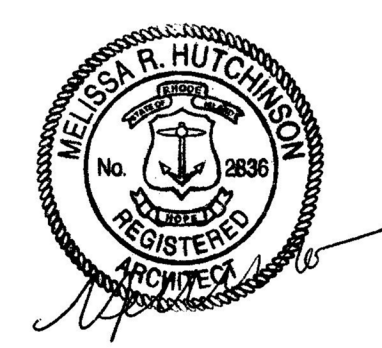
2 PROPOSED SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



1 PROPOSED EAST ELEVATION  
SCALE: 1/4" = 1'-0"



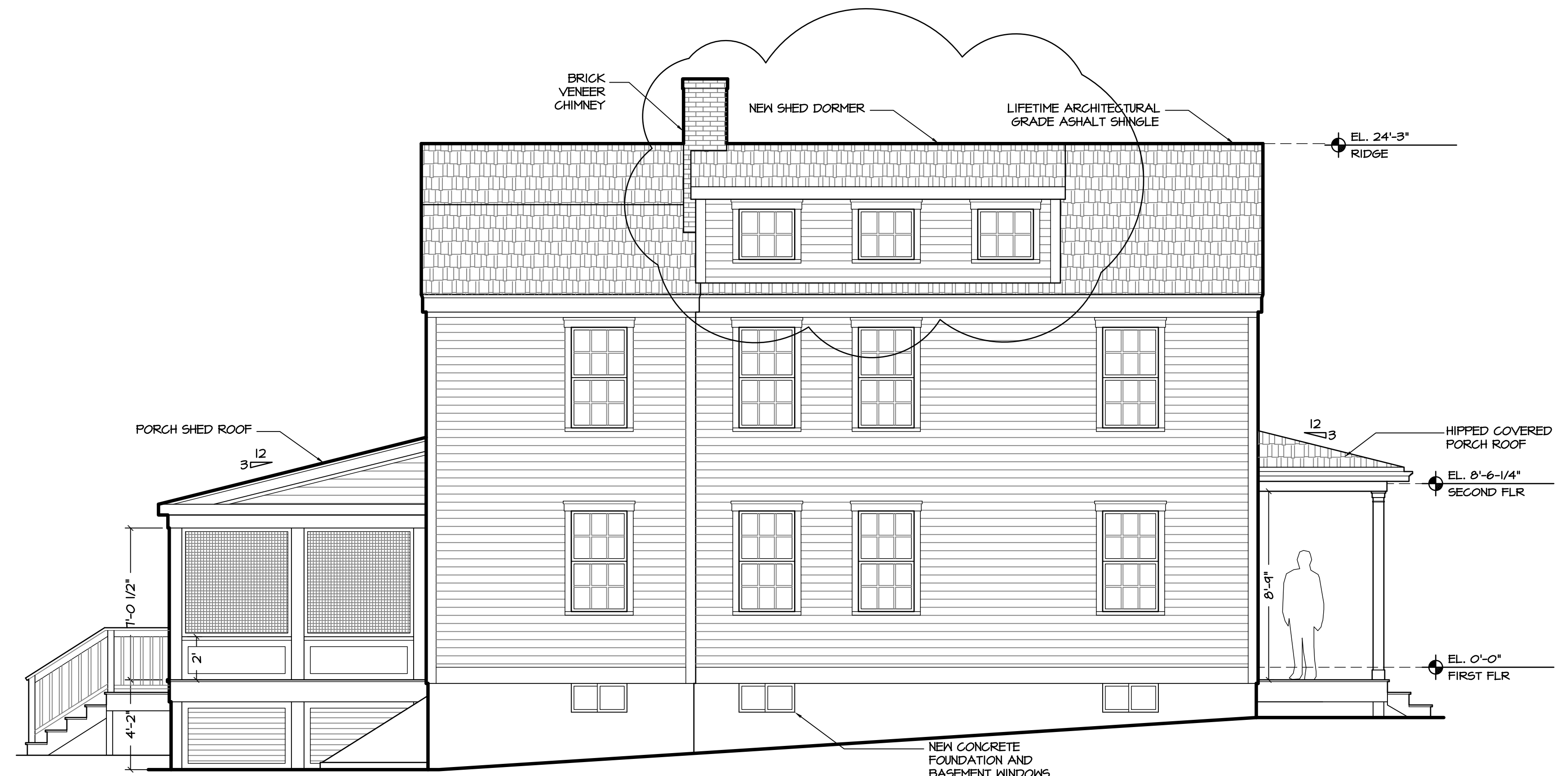




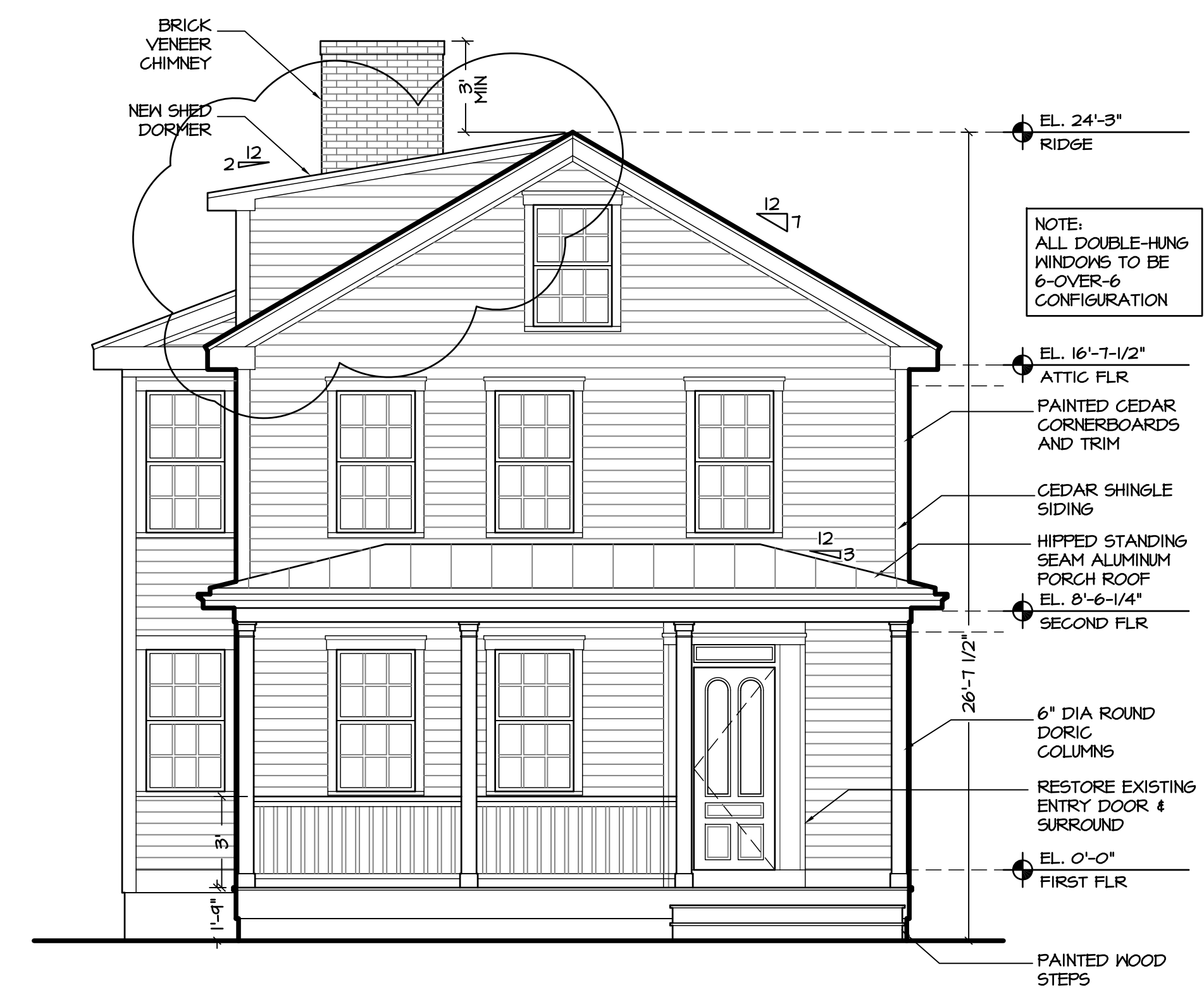
**MH Architect, LLC**  
 203 Hooper Street  
 Tiverton, RI 02878  
 401.559.1957  
 mharchitect.com

Revisions

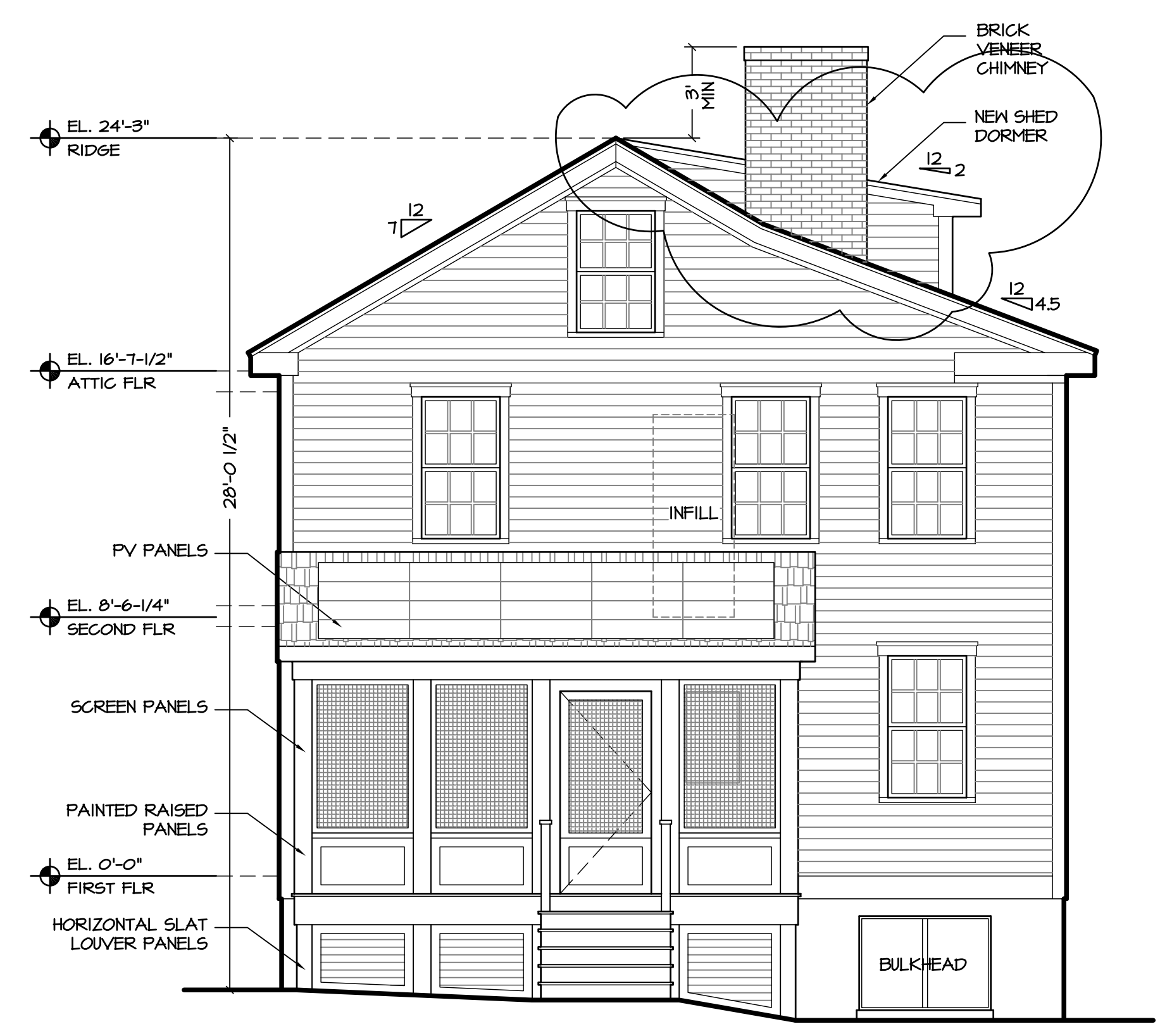
No.	Date	Description	Initials
2	3/1/2025	SOUTH SHED DORMER	MRH



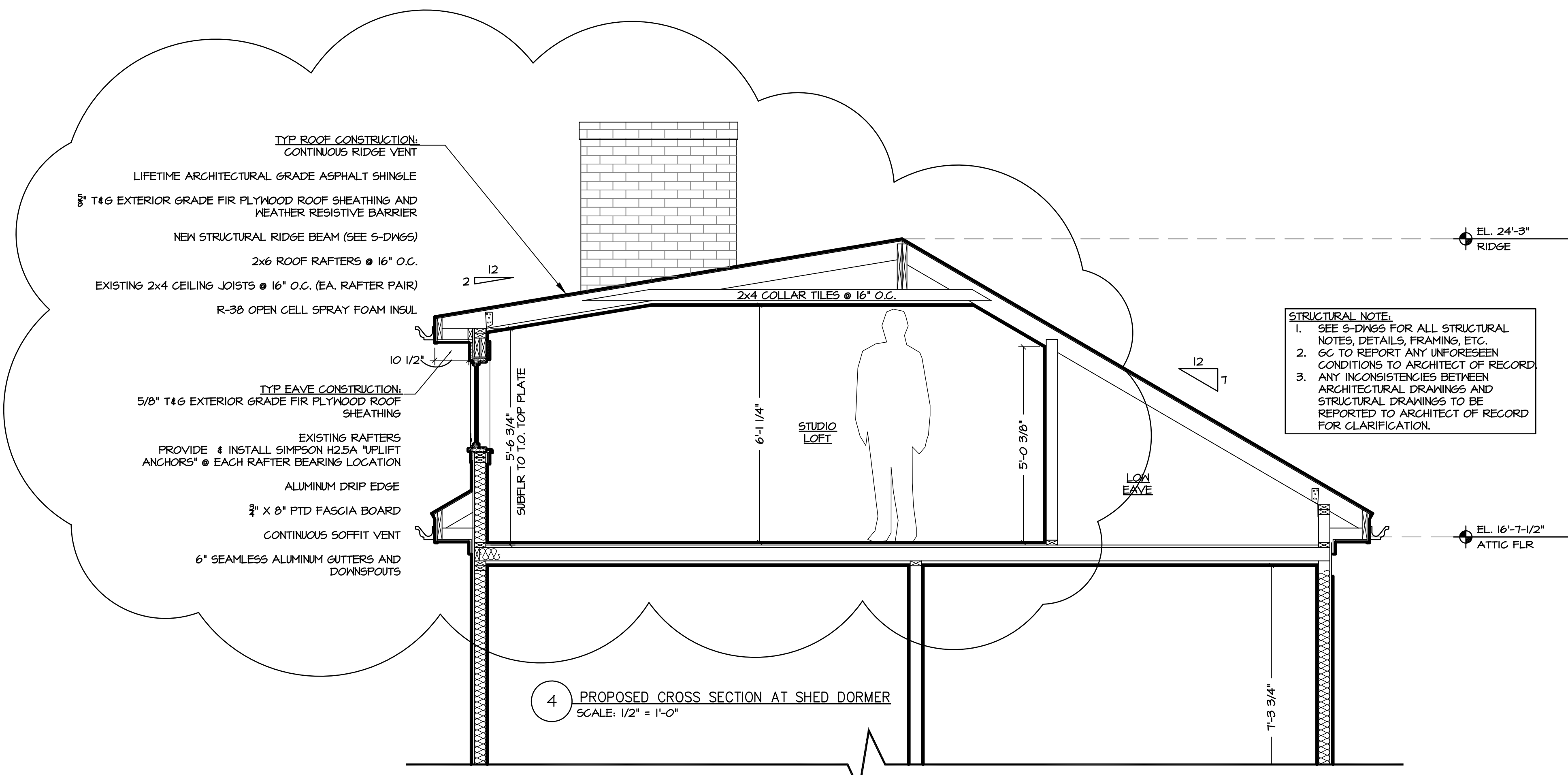
2 PROPOSED SOUTH ELEVATION  
 SCALE: 1/4" = 1'-0"



1 PROPOSED EAST ELEVATION  
 SCALE: 1/4" = 1'-0"



3 PROPOSED WEST ELEVATION  
 SCALE: 1/4" = 1'-0"



4 PROPOSED CROSS SECTION AT SHED DORMER  
 SCALE: 1/2" = 1'-0"

**STRUCTURAL NOTE:**  
 1. SEE S-DWGS FOR ALL STRUCTURAL NOTES, DETAILS, FRAMING, ETC.  
 2. GC TO REPORT ANY UNFORESEEN CONDITIONS TO ARCHITECT OF RECORD  
 3. ANY INCONSISTENCIES BETWEEN ARCHITECTURAL DRAWINGS AND STRUCTURAL DRAWINGS TO BE REPORTED TO ARCHITECT OF RECORD FOR CLARIFICATION.

**FREDERICK RESIDENCE**  
 195 HIGH STREET  
 BRISTOL, RI 02809

drawing status  
**PROGRESS PRINT**  
 NOT FOR CONSTRUCTION  
 issued 3/1/2025

Drawing Title  
 PROPOSED EXTERIOR ELEVATIONS AND CROSS SECTION - NEW SOUTH DORMER

Date  
 March 7, 2025

Scale  
 AS NOTED

Drawing Number

**A5.0**



**MH Architect, LLC**  
 203 Hooper Street  
 Tiverton, RI 02878  
 401.559.1957  
 mharchitect.com

Revisions		
Date	Description	Initials
2	3/1/2025 SOUTH SHED DORMER	MRH

**FREDERICK RESIDENCE**  
**195 HIGH STREET**  
**BRISTOL, RI 02809**

*drawing status*  
**PROGRESS PRINT**  
 NOT FOR CONSTRUCTION  
 Issued on 3/1/2025

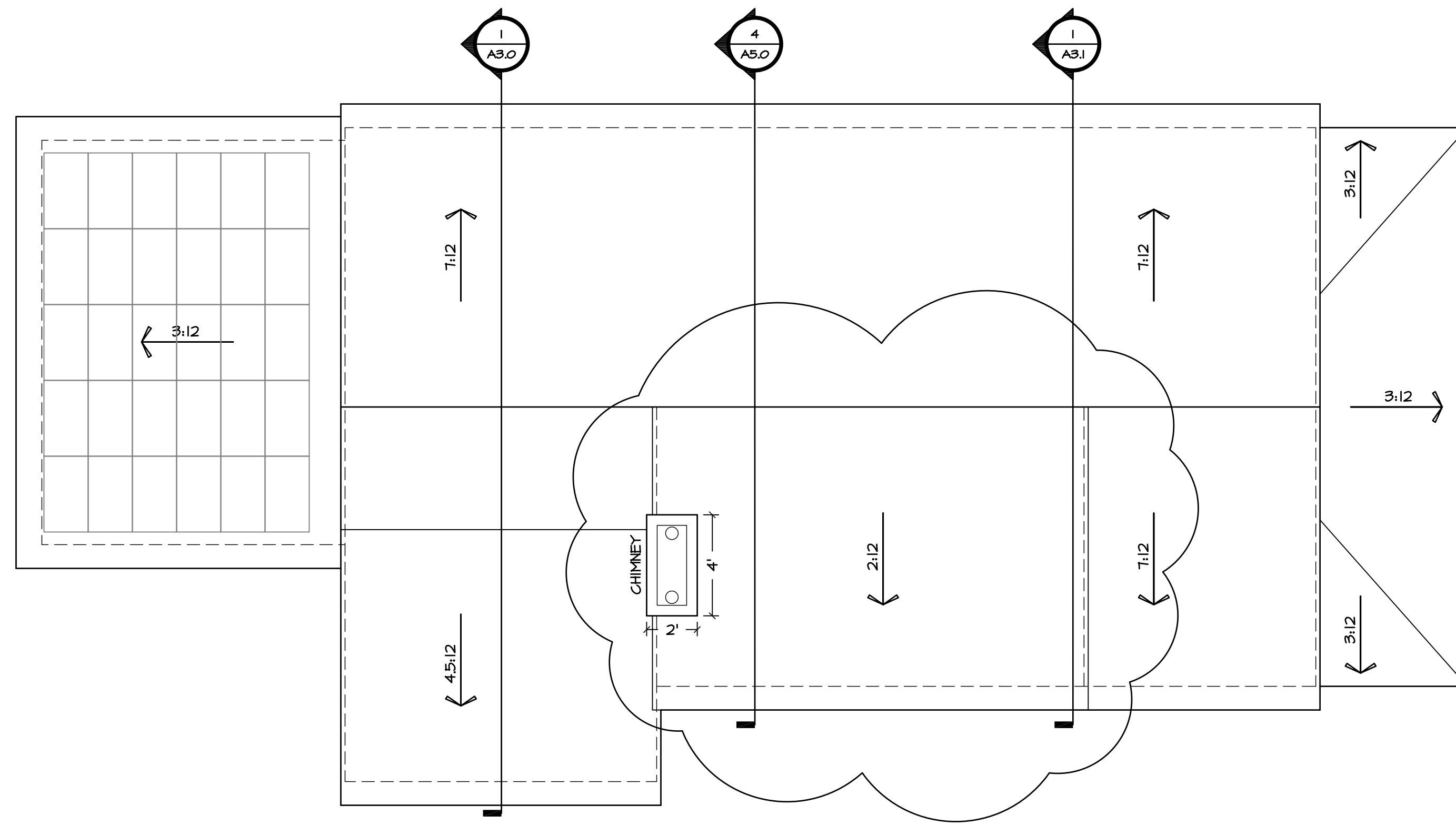
Drawing Title  
 PROPOSED FLOOR PLANS - NEW SOUTH DORMER

Date  
 March 7, 2025

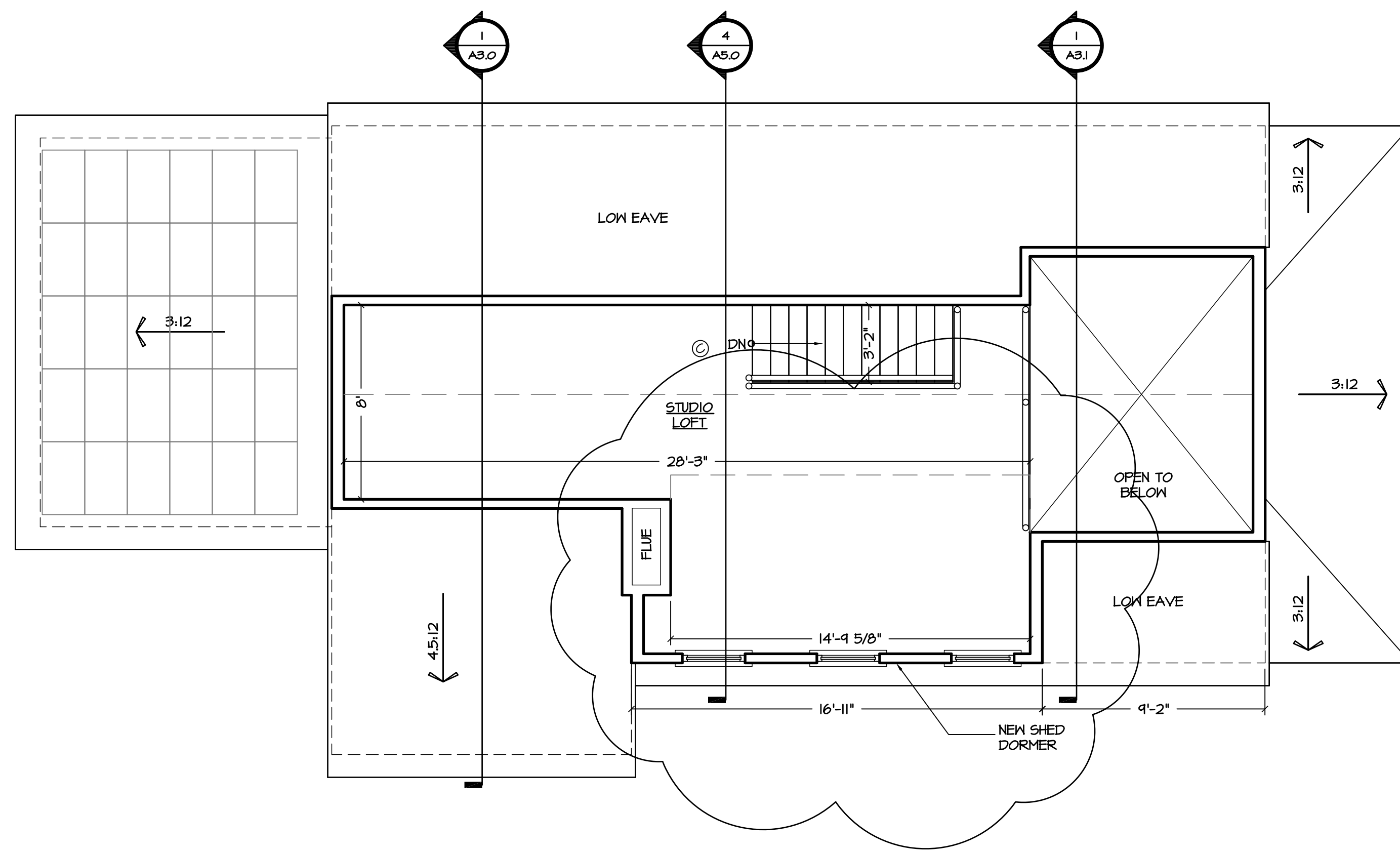
Scale  
 $\frac{1}{4}" = 1'-0"$

Drawing Number

**A5.1**



4 PROPOSED ROOF PLAN  
 SCALE: 1/4" = 1'-0"



4 PROPOSED ATTIC PLAN  
 SCALE: 1/4" = 1'-0"







# Bristol Historic District Commission

Item 2.

## Application for Review of Proposed Work - Printable Application

HDC-25-21	Contributing	March 4, 2025
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**THIS DOCUMENT IS NOT A SUBSTITUTE FOR A BUILDING, ELECTRICAL, SIGN, MECHANICAL, DEMOLITION, SOLAR OR FENCE PERMIT APPLICATION. THESE PERMITS MUST BE APPLIED FOR AND APPROVED BY THE BRISTOL BUILDING DEPARTMENT BEFORE WORK CAN BEGIN.**

Project Address	Assessor's Plat	Assessor's Lot
41 Church Street, Bristol, RI 02809	14	44

Applicant	Applicant Phone	Applicant Email
Bergenholtz, Thomas	7746965300	bergie@hhcne.com

Property Owner (If Different from Applicant)	Owner Mailing Address
	366 Hope Street #1, Bristol, RI 02809

Architect/Engineer	A/E Phone Number	A/E Email

Contractor	Contractor Phone Number	Contractor Email

Work Category:	Remodeling of Structure(s)
----------------	----------------------------

Description of proposed work:

Remove aluminum storm windows. Replace windows (not original) with original 6/6 configuration by Marvin Elevate.

Property History

Building Survey Data	
RIHPHC ID #:	BRIS00390
HISTORIC NAME:	Bush-Weaver House
ARCH. STYLE:	Greek Revival
ORIGINAL CONSTRUCTION DATE (est.):	1830-1840

ALTERATIONS TO MAJOR ARCH. SINCE 1978 (Height, Massing, Wall Covering, Trim, Windows, Porches)

Bergenholtz, Thomas

Applicant's Name – Printed

**Tom Bergenholtz**

Applicant's Digital Signature

Date: March 4, 2025



# CAI Property Card

Town of Bristol, RI

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR
<b>LOCATION:</b> 41 CHURCH ST <b>ACRES:</b> 0.1235 <b>PARCEL ID:</b> 014-0044-000 <b>LAND USE CODE:</b> 02 <b>CONDO COMPLEX:</b> <b>OWNER:</b> BERGENHOLTZ, THOMAS A. <b>CO - OWNER:</b> MARIANNE <b>MAILING ADDRESS:</b> 366 HOPE ST UNIT 1  <b>ZONING:</b> R-6 <b>PATRIOT ACCOUNT #:</b> 841	<b>BUILDING STYLE:</b> 2 Family <b>UNITS:</b> 1 <b>YEAR BUILT:</b> 1850 <b>FRAME:</b> Wood Frame <b>EXTERIOR WALL COVER:</b> Clapboard <b>ROOF STYLE:</b> Gable <b>ROOF COVER:</b> Asphalt Shin
<b>SALE INFORMATION</b>	<b>BUILDING INTERIOR</b>
<b>SALE DATE:</b> 10/26/2012 <b>BOOK &amp; PAGE:</b> 1676-109 <b>SALE PRICE:</b> 299,900 <b>SALE DESCRIPTION:</b> <b>SELLER:</b> CARVALHO, JOSEPH A. ETAL	<b>INTERIOR WALL:</b> Plaster <b>FLOOR COVER:</b> Hardwood <b>HEAT TYPE:</b> Radiant Hot <b>FUEL TYPE:</b> Gas <b>PERCENT A/C:</b> False <b># OF ROOMS:</b> 10 <b># OF BEDROOMS:</b> 6 <b># OF FULL BATHS:</b> 2 <b># OF HALF BATHS:</b> 0 <b># OF ADDITIONAL FIXTURES:</b> 1 <b># OF KITCHENS:</b> 2 <b># OF FIREPLACES:</b> 0 <b># OF METAL FIREPLACES:</b> 0 <b># OF BASEMENT GARAGES:</b> 0
<b>PRINCIPAL BUILDING AREAS</b>	
<b>GROSS BUILDING AREA:</b> 4482 <b>FINISHED BUILDING AREA:</b> 2658 <b>BASEMENT AREA:</b> 1208 <b># OF PRINCIPAL BUILDINGS:</b> 1	
<b>ASSESSED VALUES</b>	
<b>LAND:</b> \$208,600 <b>YARD:</b> \$200 <b>BUILDING:</b> \$271,600 <b>TOTAL:</b> \$480,400	
<b>SKETCH</b>	<b>PHOTO</b>



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This information is believed to be correct but is subject to change and is not warranted.



# 200 feet Abutters List Report

Bristol, RI  
March 25, 2025

### Subject Property:

Parcel Number: 14-44  
CAMA Number: 14-44  
Property Address: 41 CHURCH ST

Mailing Address: BERGENHOLTZ, THOMAS A. MARIANNE  
366 HOPE ST UNIT 1  
BRISTOL, RI 02809

### Abutters:

Parcel Number: 14-106  
CAMA Number: 14-106  
Property Address: 5 MILK ST

Mailing Address: PELLEGRINO, MARY ANN  
25 BYFIELD ST  
BRISTOL, RI 02809

Parcel Number: 14-107  
CAMA Number: 14-107  
Property Address: 38 CHURCH ST

Mailing Address: CAMPAGNA FAMILY, LP  
15 LOW LANE  
BRISTOL, RI 02809

Parcel Number: 14-112  
CAMA Number: 14-112  
Property Address: 4 MILK ST

Mailing Address: CHRISTINA, DANIEL & JULIE TE  
4 MILK ST  
BRISTOL, RI 02809

Parcel Number: 14-114  
CAMA Number: 14-114  
Property Address: 24 COURT ST

Mailing Address: CONWAY, GLEN C & KRISTEN M TE  
24 COURT ST  
BRISTOL, RI 02809-2208

Parcel Number: 14-15  
CAMA Number: 14-15  
Property Address: 55 COURT ST

Mailing Address: NASSIMS PROPERTIES, LLC  
396 NANAQUAKET RD  
TIVERTON, RI 02878

Parcel Number: 14-19  
CAMA Number: 14-19  
Property Address: COURT ST

Mailing Address: CUSTOM HOUSE SQUARE, LLC  
99 TUPELO ST  
BRISTOL, RI 02809

Parcel Number: 14-26  
CAMA Number: 14-26  
Property Address: 9 COURT ST

Mailing Address: CARDINAL NORTHSTAR HOLDINGS, LLC  
1 JACOBS POINT  
WARREN, RI 02885

Parcel Number: 14-36  
CAMA Number: 14-36  
Property Address: 60 COURT ST

Mailing Address: MCKENNA, ROBERT W & DONNA M TRUSTEES  
62 KINGSWOOD RD  
BRISTOL, RI 02809

Parcel Number: 14-37  
CAMA Number: 14-37  
Property Address: 57 CHURCH ST

Mailing Address: VASCONCELOS, ALAN  
57 CHURCH STREET  
BRISTOL, RI 02809

Parcel Number: 14-38  
CAMA Number: 14-38  
Property Address: 56 COURT ST

Mailing Address: ZNAMIROWSKI, PAUL A. JR.  
56 COURT ST  
BRISTOL, RI 02809



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# 200 feet Abutters List Report

Bristol, RI  
March 25, 2025

Parcel Number: 14-39 CAMA Number: 14-39 Property Address: 51 CHURCH ST	Mailing Address: DAVIDSON, JOSHUA B & KATHERINE N TE 51 CHURCH ST BRISTOL, RI 02809
Parcel Number: 14-40 CAMA Number: 14-40 Property Address: COURT ST	Mailing Address: TOWN OF BRISTOL 10 COURT ST BRISTOL, RI 02809
Parcel Number: 14-41 CAMA Number: 14-41 Property Address: 49 CHURCH ST	Mailing Address: FORTY-NINE CHURCH STREET, LLC 26 PATRICIA ANN DR BRISTOL, RI 02809
Parcel Number: 14-42 CAMA Number: 14-42 Property Address: 48 COURT ST	Mailing Address: BRISTOL HISTORIC AND PRESERVATION SOCIETY PO BOX 356 BRISTOL, RI 02809
Parcel Number: 14-43 CAMA Number: 14-43 Property Address: 43 CHURCH ST	Mailing Address: BONNER, KERRY S & MERRILL, DEBRA A TC 43 CHURCH ST BRISTOL, RI 02809
Parcel Number: 14-45 CAMA Number: 14-45 Property Address: 10 COURT ST	Mailing Address: TOWN OF BRISTOL 10 COURT ST BRISTOL, RI 02809
Parcel Number: 14-46 CAMA Number: 14-46 Property Address: 39 CHURCH ST	Mailing Address: SCOTT, DONALD & MARCIA TE 39 CHURCH ST BRISTOL, RI 02809
Parcel Number: 14-47 CAMA Number: 14-47 Property Address: 400 HOPE ST	Mailing Address: TOWN OF BRISTOL 10 COURT ST BRISTOL, RI 02809
Parcel Number: 14-48 CAMA Number: 14-48 Property Address: 35 CHURCH ST	Mailing Address: JACOBUS, ROBERT J & CAROLINE W TE 35 CHURCH ST BRISTOL, RI 02809
Parcel Number: 14-49 CAMA Number: 14-49 Property Address: 378 HOPE ST	Mailing Address: ST MICHAELS CHURCH P.O. BOX 414 399 HOPE ST BRISTOL, RI 02809
Parcel Number: 14-50 CAMA Number: 14-50 Property Address: 378 HOPE ST	Mailing Address: ST MICHAELS CHURCH P.O. BOX 414 399 HOPE ST BRISTOL, RI 02809
Parcel Number: 14-59 CAMA Number: 14-59 Property Address: 60 CHURCH ST	Mailing Address: WHEET, KAREN R 60 CHURCH ST BRISTOL, RI 02809



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# 200 feet Abutters List Report

Bristol, RI  
March 25, 2025

Parcel Number: 14-61  
CAMA Number: 14-61  
Property Address: 56 CHURCH ST

Mailing Address: REGO, DAVID E. FERNANDA P REGO  
IRREV LIV TRS  
652 HOPE ST  
BRISTOL, RI 02809

Parcel Number: 14-63  
CAMA Number: 14-63  
Property Address: 48 CHURCH ST

Mailing Address: CHITTICK, WILLIAM F  
48 CHURCH STREET  
BRISTOL, RI 02809

Parcel Number: 14-64  
CAMA Number: 14-64  
Property Address: 25 BYFIELD ST

Mailing Address: PELLEGRINO, MARY B. LIFE EST  
PELLEGRINO, MARY ANN  
25 BYFIELD ST  
BRISTOL, RI 02809

Parcel Number: 14-65  
CAMA Number: 14-65  
Property Address: 44 CHURCH ST

Mailing Address: ANDERSON, ZANE & ANDERSON,  
CAROLE TRUSTEES  
44 CHURCH STREET  
BRISTOL, RI 02809

Parcel Number: 14-66  
CAMA Number: 14-66  
Property Address: 40 CHURCH ST

Mailing Address: JGR, LLC  
443 HOPE ST  
BRISTOL, RI 02809

Parcel Number: 14-67  
CAMA Number: 14-67  
Property Address: 19 BYFIELD ST

Mailing Address: BAO, ELENA M - TRUSTEE ELENA M  
BAO REVOCABLE TRUST  
19 BYFIELD ST  
BRISTOL, RI 02809

Parcel Number: 14-69  
CAMA Number: 14-69  
Property Address: 11 BYFIELD ST

Mailing Address: MONAHAN-BELL LIVING TRUST  
11 BYFIELD ST  
BRISTOL, RI 02809

Parcel Number: 14-70  
CAMA Number: 14-70  
Property Address: 366 HOPE ST

Mailing Address: LEONARD PLACE LLC  
385 HIGH ST  
BRISTOL, RI 02809

Parcel Number: 14-71  
CAMA Number: 14-71  
Property Address: 344 HOPE ST

Mailing Address: JOHNSON, JOAN D TRUSTEE  
344 HOPE STREET  
BRISTOL, RI 02809



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# Harborside Holding Elevate 41 Church street.

Quote #: WKRTXFJ

A Proposal for Window and Door Products prepared for:

**Job Site:**  
02878

**Shipping Address:**  
HUMPHREYS MARVIN BUILDING CTR  
590 MAIN RD  
TIVERTON, RI 02878-1300



MARK TOWLE  
HUMPHREYS MARVIN BUILDING CTR  
590 MAIN RD  
TIVERTON, RI 02878-1300  
Phone: (401) 841-8800

Email: markt@hbsri.com

This report was generated on 6/20/2024 7:40:46 AM using the Marvin Order Management System, version 0004.08.01 (Current). Price in USD. Unit availability and price are subject to change. Dealer terms and conditions may apply.

**Project Description:**

*Please note Marvin Elevate windows are on a projected 5 week lead time from point of order. Marvin orders once placed can not be canceled or changed. Marvin orders once received at humphreys must ship out with in 2 weeks. Please note Marvin Elevate Casement windows have a max single unit size of 36", Awning and two wide casement unit quoted instead.*

**Featuring products from:**



## UNIT SUMMARY

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.

Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

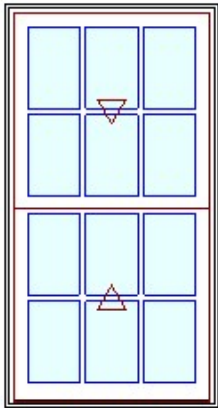
NUMBER OF LINES: 6	TOTAL UNIT QTY: 59	EXT NET PRICE: USD	34,182.52
--------------------	--------------------	--------------------	-----------

LINE	MARK UNIT	PRODUCT LINE	ITEM	NET PRICE	QTY	EXTENDED NET PRICE
1		Elevate	Double Hung Insert IO 30 3/8" X 56 1/2" Entered as Inside Opening 30 3/8" X 56 1/2"	1,195.28	20	23,905.60
2		Elevate	Double Hung Insert IO 30 3/8" X 56 1/2" Entered as Inside Opening 30 3/8" X 56 1/2"	1,371.21	2	2,742.42
3		Elevate	Double Hung Insert IO 31" X 57" Entered as Inside Opening 31" X 57"	1,195.28	3	3,585.84
4	2w option	Elevate	Elevate Assembly RO 39" X 39" Entered as RO 39" X 39"	1,574.49	1	1,574.49
5	Awning apotion.	Elevate	Awning RO 39" X 39" Entered as RO 39" X 39"	1,026.01	1	1,026.01
6		Elevate	Parts: 17001111 V2034 1" FRAME EXPANDER 144", STONE WHITE	42.13	32	1,348.16

## LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit:	Net Price:		1,195.28
Qty: 20		Ext. Net Price:	USD	23,905.60



As Viewed From The Exterior

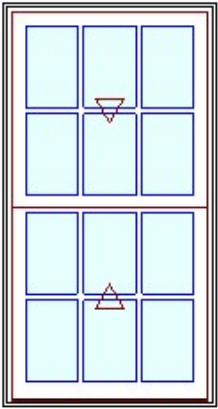
**Entered As:** IO  
**FS** 30" X 56 7/8"  
**IO** 30 3/8" X 56 1/2"  
**Egress Information**  
 Width: 26 11/32" Height: 22 61/64"  
 Net Clear Opening: 4.20 SqFt  
**Performance Information**  
 U-Factor: 0.29  
 Solar Heat Gain Coefficient: 0.28  
 Visible Light Transmittance: 0.47  
 Condensation Resistance: 56  
 CPD Number: MAR-N-424-00768-00001  
**Performance Grade**  
 Licensee #1123  
 AAMA/WDMA/CSA/101/ I.S.2/A440-08  
 LC-PG40 1067X2146 mm (42X84.5 in)  
 LC-PG40 DP +40/-40  
 FL6525

Stone White Exterior  
 White Interior  
 Elevate Double Hung Insert  
 Inside Opening 30 3/8" X 56 1/2"  
 8 Degree Frame Bevel  
 Top Sash  
 Stone White Exterior  
 White Interior  
 IG  
 Low E2 w/Argon  
 Stainless Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Stainless  
 Rectangular 3W2H  
 Stone White Ext - White Int  
 Bottom Sash  
 Stone White Exterior  
 White Interior  
 IG  
 Low E2 w/Argon  
 Stainless Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Stainless  
 Rectangular 3W2H  
 Stone White Ext - White Int  
 White Weather Strip Package  
 1 Oil Rubbed Bronze Sash Lock  
 Exterior Aluminum Screen  
 Stone White Surround  
 Bright View Mesh  
 3 1/4" Jambs  
 Thru Jamb Installation  
 Existing Sill Angle 8  
 \*\*\*Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.  
 \*\*\*Note: Unit Availability and Price is Subject to Change

Line #2	Mark Unit:	Net Price:		1,371.21
Qty: 2		Ext. Net Price:	USD	2,742.42



Stone White Exterior  
 White Interior  
 Elevate Double Hung Insert  
 Inside Opening 30 3/8" X 56 1/2"  
 8 Degree Frame Bevel  
 Glass Add For All Sash  
 Top Sash  
 Stone White Exterior  
 White Interior  
 IG  
 Tempered Low E2 w/Argon  
 Stainless Perimeter and Spacer Bar

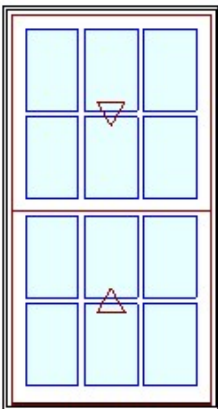


As Viewed From The Exterior

**Entered As:** IO  
**FS** 30" X 56 7/8"  
**IO** 30 3/8" X 56 1/2"  
**Egress Information**  
 Width: 26 11/32" Height: 22 61/64"  
 Net Clear Opening: 4.20 SqFt  
**Performance Information**  
 U-Factor: 0.29  
 Solar Heat Gain Coefficient: 0.28  
 Visible Light Transmittance: 0.47  
 Condensation Resistance: 56  
 CPD Number: MAR-N-424-00768-00001  
**Performance Grade**  
 Licensee #1123  
 AAMA/WDMA/CSA/101/ I.S.2/A440-08  
 LC-PG40 1067X2146 mm (42X84.5 in)  
 LC-PG40 DP +40/-40  
 FL6525

7/8" SDL - With Spacer Bar - Stainless  
 Rectangular 3W2H  
 Stone White Ext - White Int  
 Bottom Sash  
 Stone White Exterior  
 White Interior  
 IG  
 Tempered Low E2 w/Argon  
 Stainless Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Stainless  
 Rectangular 3W2H  
 Stone White Ext - White Int  
 White Weather Strip Package  
 1 Oil Rubbed Bronze Sash Lock  
 Exterior Aluminum Screen  
 Stone White Surround  
 Bright View Mesh  
 3 1/4" Jamb  
 Thru Jamb Installation  
 Existing Sill Angle 8  
 \*\*\*Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.  
 \*\*\*Note: **Unit Availability and Price is Subject to Change**

Line #3	Mark Unit:	Net Price:		1,195.28
Qty: 3		Ext. Net Price:	USD	3,585.84



As Viewed From The Exterior

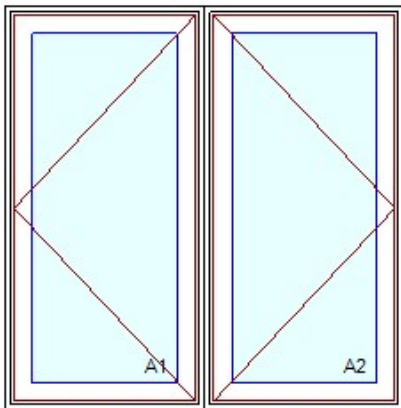
**Entered As:** IO  
**FS** 30 5/8" X 57 3/8"  
**IO** 31" X 57"  
**Egress Information**  
 Width: 26 31/32" Height: 23 13/64"  
 Net Clear Opening: 4.34 SqFt  
**Performance Information**

Stone White Exterior  
 White Interior  
 Elevate Double Hung Insert  
 Inside Opening 31" X 57"  
 8 Degree Frame Bevel  
 Top Sash  
 Stone White Exterior  
 White Interior  
 IG  
 Low E2 w/Argon  
 Stainless Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Stainless  
 Rectangular 3W2H  
 Stone White Ext - White Int  
 Bottom Sash  
 Stone White Exterior  
 White Interior  
 IG  
 Low E2 w/Argon  
 Stainless Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Stainless  
 Rectangular 3W2H  
 Stone White Ext - White Int  
 White Weather Strip Package  
 1 Oil Rubbed Bronze Sash Lock  
 Exterior Aluminum Screen

U-Factor: 0.29  
 Solar Heat Gain Coefficient: 0.28  
 Visible Light Transmittance: 0.47  
 Condensation Resistance: 56  
 CPD Number: MAR-N-424-00768-00001  
**Performance Grade**  
 Licensee #1123  
 AAMA/WDMA/CSA/101/ I.S.2/A440-08  
 LC-PG40 1067X2146 mm (42X84.5 in)  
 LC-PG40 DP +40/-40  
 FL6525

Stone White Surround  
 Bright View Mesh  
 3 1/4" Jamb  
 Thru Jamb Installation  
 Existing Sill Angle 8  
 \*\*\*Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.  
**\*\*\*Note: Unit Availability and Price is Subject to Change**

Line #4	Mark Unit: 2w option	Net Price:		1,574.49
Qty: 1		Ext. Net Price:	USD	1,574.49



As Viewed From The Exterior

**Entered As:** RO  
**FS** 38" X 38 1/2"  
**RO** 39" X 39"  
**Egress Information A1, A2**  
 Width: 10 15/64" Height: 34 3/32"  
 Net Clear Opening: 2.43 SqFt  
**Performance Information A1, A2**  
 U-Factor: 0.27  
 Solar Heat Gain Coefficient: 0.3  
 Visible Light Transmittance: 0.51  
 Condensation Resistance: 59  
 CPD Number: MAR-N-250-01012-00001  
**Performance Grade A1, A2**  
 Licensee #898  
 AAMA/WDMA/CSA/101/ I.S.2/A440-08  
 LC-PG50 610X1807 mm (25X71.5 in)  
 LC-PG50 DP +50/-50  
 FL9684

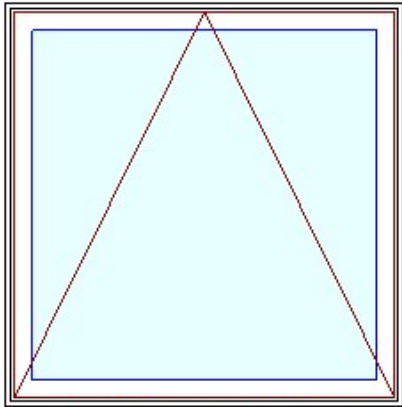
Stone White Exterior  
 White Interior  
 2W1H - Rectangle Assembly  
 Assembly Rough Opening  
 39" X 39"  
 Unit: A1  
 Elevate Casement - Left Hand  
 Basic Frame 19" X 38 1/2"  
 Rough Opening 20" X 39"  
 Stone White Exterior  
 White Interior  
 IG - 1 Lite  
 Low E2 w/Argon  
 Stainless Perimeter Bar  
 Oil Rubbed Bronze Folding Handle with Coastal Hardware  
 Interior Aluminum Screen  
 Bright View Mesh  
 White Surround

Unit: A2  
 Elevate Casement - Right Hand  
 Basic Frame 19" X 38 1/2"  
 Rough Opening 20" X 39"  
 Stone White Exterior  
 White Interior  
 IG - 1 Lite  
 Low E2 w/Argon  
 Stainless Perimeter Bar  
 Oil Rubbed Bronze Folding Handle with Coastal Hardware  
 Interior Aluminum Screen  
 Bright View Mesh  
 White Surround  
 4 9/16" Jamb  
 Nailing Fin  
**\*\*\*Note: Unit Availability and Price is Subject to Change**

Line #5	Mark Unit: Awning apotion.	Net Price:		1,026.01
Qty: 1		Ext. Net Price:	USD	1,026.01



Stone White Exterior  
 White Interior  
 Elevate Awning - Roto Operating  
 Rough Opening 39" X 39"  
 Stone White Exterior  
 White Interior



As Viewed From The Exterior

**Entered As:** RO  
**FS** 38" X 38 1/2"  
**RO** 39" X 39"  
**Egress Information**  
 No Egress Information available.  
**Performance Information**  
 U-Factor: 0.27  
 Solar Heat Gain Coefficient: 0.3  
 Visible Light Transmittance: 0.51  
 Condensation Resistance: 57  
 CPD Number: MAR-N-251-01180-00001  
**Performance Grade**  
 Licensee #899  
 AAMA/WDMA/CSA/101/ I.S.2/A440-08  
 LC-PG50 1219X1197 mm (49X47.7 in)  
 LC-PG50 DP +50/-50  
 FL9686

IG - 1 Lite  
 Low E2 w/Argon  
 Stainless Perimeter Bar  
 Oil Rubbed Bronze Folding Handle with Coastal Hardware  
 Interior Aluminum Screen  
 Bright View Mesh  
 White Surround  
 4 9/16" Jambs  
 Nailing Fin  
**\*\*\*Note: Unit Availability and Price is Subject to Change**

Line #6	Mark Unit:	Net Price:	42.13
Qty: 32		Ext. Net Price:	1,348.16
		USD	

**Marvin Parts**

17001111 V2034 1" FRAME EXPANDER 144", STONE WHITE



Project Subtotal Net Price: USD	34,182.52
7.000% Sales Tax: USD	2,392.78
<b>Project Total Net Price: USD</b>	<b>36,575.30</b>



## PRODUCT AND PERFORMANCE INFORMATION

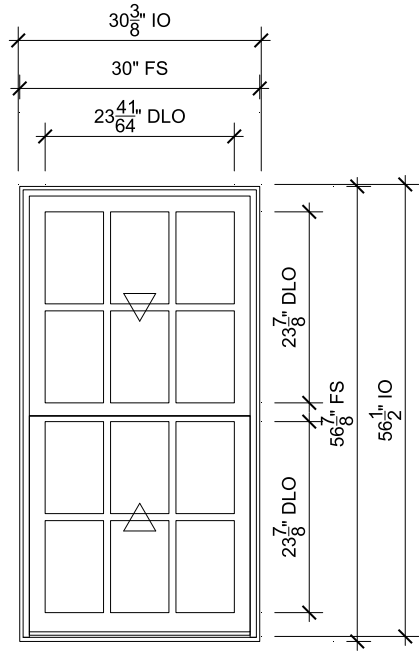
### NFRC Ratings:

NFRC energy ratings may vary depending on the exact configuration of glass thickness used on the unit. NFRC energy values and ratings may change over time due to ongoing product changes, updated test results or requirements. NFRC values and ratings are finalized on the date of manufacture.

The National Fenestration Rating Council (NFRC) has developed and operates a uniform rating system for the energy performance of fenestration products, including windows, doors and skylights. For additional information regarding this rating system, see [www.nfrc.org](http://www.nfrc.org).

### Code (residential, building or energy) Compliance:

Determining the suitability and compliance with state, provincial, local, or other applicable building codes or standards, including energy codes, is the responsibility of the buyer, user, architect, contractor, installer, and/or other construction professional.



**01**  
 SCALE: 1/2" = 1'-0"

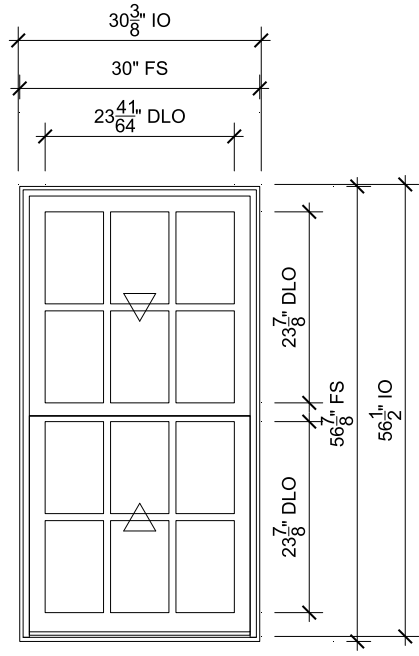
- 1  
6 Head
- 2  
6 Jamb
- 3  
6 Sill
- 4  
6 Divided Lite
- 1  
7 Check Rail

## SPECIFICATIONS

Line #: 1  
 Qty: 20  
 Mark Unit: None  
 Product Line: Elevate  
 Unit Description: Double Hung Insert  
 Frame Size: 30" X 56 7/8"  
 Unit Type: Double Hung Insert  
 Call Number: None








PROJ/JOB: Harborside Holding Elevate / 41 Church street.  
 DIST/DEALER: HUMPHREY'S WINDOW & DOOR DESIGN GLRY-GO  
 DRAWN: MARK TOWLE  
 QUOTE#: WKRTXFJ      PK VER: 0004.0



**02**

SCALE: 1/2" = 1'-0"

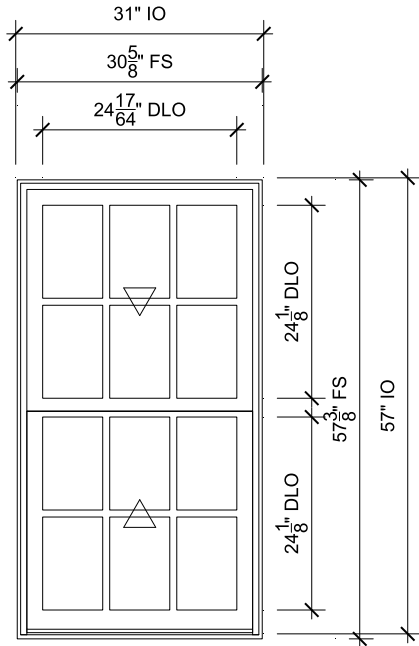
-  Head
-  Jamb
-  Sill
-  Divided Lite
-  Check Rail

## SPECIFICATIONS

Line #: 2  
 Qty: 2  
 Mark Unit: None  
 Product Line: Elevate  
 Unit Description: Double Hung Insert  
 Frame Size: 30" X 56 7/8"  
 Unit Type: Double Hung Insert  
 Call Number: None



PROJ/JOB: Harborside Holding Elevate / 41 Church street.  
 DIST/DEALER: HUMPHREY'S WINDOW & DOOR DESIGN GLRY-GO  
 DRAWN: MARK TOWLE  
 QUOTE#: WKRTXFJ PK VER: 0004.0



**03**

SCALE: 1/2" = 1'-0"

- $\frac{1}{6}$  Head
- $\frac{2}{6}$  Jamb
- $\frac{3}{6}$  Sill
- $\frac{4}{6}$  Divided Lite
- $\frac{1}{7}$  Check Rail

### SPECIFICATIONS

Line #: 3  
 Qty: 3  
 Mark Unit: None  
 Product Line: Elevate  
 Unit Description: Double Hung Insert  
 Frame Size: 30 5/8" X 57 3/8"  
 Unit Type: Double Hung Insert  
 Call Number: None



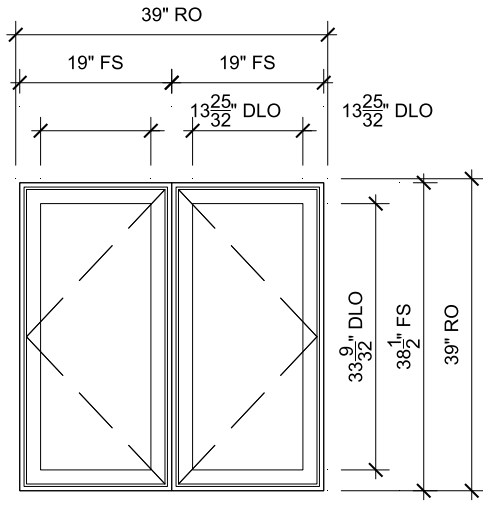
PROJ/JOB: Harborside Holding Elevate / 41 Church street.  
 DIST/DEALER: HUMPHREY'S WINDOW & DOOR DESIGN GLRY-GO  
 DRAWN: MARK TOWLE  
 QUOTE#: WKRTXFJ

PK VER: 0004.0

68

CREATED: 06/20/2024 REVISION:

SHEET  
 3  
 OF 8



**2W OPTION**  
SCALE: 1/2" = 1'-0"

- $\frac{2}{7}$  Head
- $\frac{3}{7}$  Jamb
- $\frac{4}{7}$  Vertical Mullion
- $\frac{1}{8}$  Sill

**SPECIFICATIONS**

Line #: 4  
 Qty: 1  
 Mark Unit: 2w option  
 Product Line: Elevate  
 Unit Description: Elevate Assembly  
 Frame Size: 38" X 38 1/2"  
 Unit Type: [A1] Casement, Left Hand,  
 [A2] Casement, Right Hand  
 Call Number: None

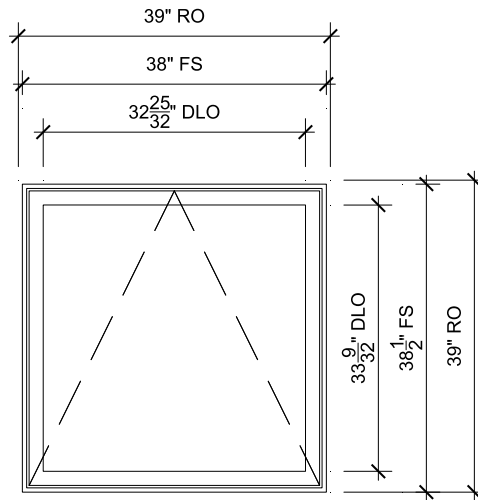


PROJ/JOB: Harborside Holding Elevate / 41 Church street.  
 DIST/DEALER: HUMPHREY'S WINDOW & DOOR DESIGN GLRY-GO  
 DRAWN: MARK TOWLE  
 QUOTE#: WKRTXFJ

PK VER: 0004.0

CREATED: 06/20/2024 REVISION:

SHEET  
4  
OF 8



**AWNING APOTION.**  
SCALE: 1/2" = 1'-0"

- $\frac{2}{7}$  Head
- $\frac{2}{8}$  Jamb
- $\frac{1}{8}$  Sill

**SPECIFICATIONS**

Line #: 5  
 Qty: 1  
 Mark Unit: Awning apotion.  
 Product Line: Elevate  
 Unit Description: Awning  
 Frame Size: 38" X 38 1/2"  
 Unit Type: Awning, Roto Operating  
 Call Number: None



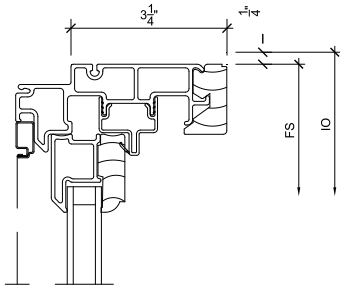
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 DIST/DEALER: HUMPHREY'S WINDOW & DOOR DESIGN GLRY-GO  
 DRAWN: MARK TOWLE  
 QUOTE#: WKRTXFJ

PK VER: 0004.0

70

CREATED: 06/20/2024 REVISION:

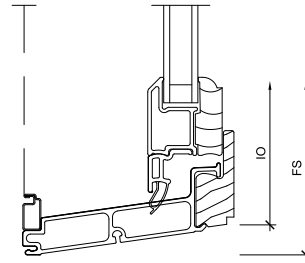
SHEET  
5  
OF 8



1  
6

Head

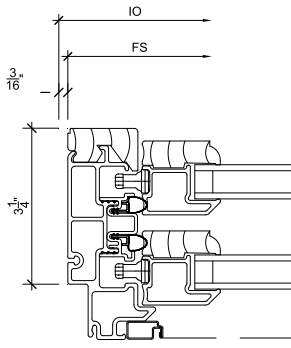
SCALE: 3" = 1'-0"



3  
6

Sill

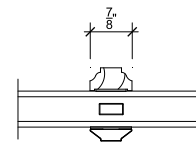
SCALE: 3" = 1'-0"



2  
6

Jamb

SCALE: 3" = 1'-0"



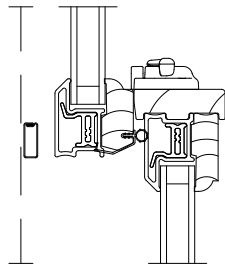
4  
6

Divided Lite

SCALE: 3" = 1'-0"



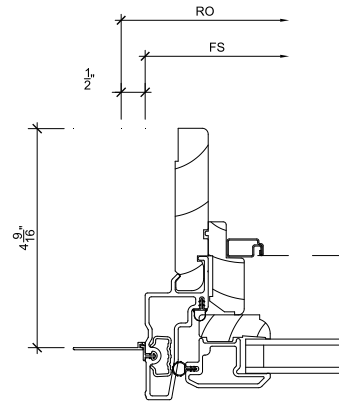
PROJ/JOB: Harborside Holding Elevate / 41 Church street.  
 DIST/DEALER: HUMPHREY'S WINDOW & DOOR DESIGN GLRY-GO  
 DRAWN: MARK TOWLE  
 QUOTE#: WKRTXFJ PK VER: 0004.0



1  
7

### Check Rail

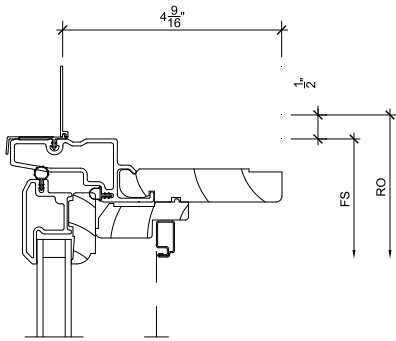
SCALE: 3" = 1'-0"



3  
7

### Jamb

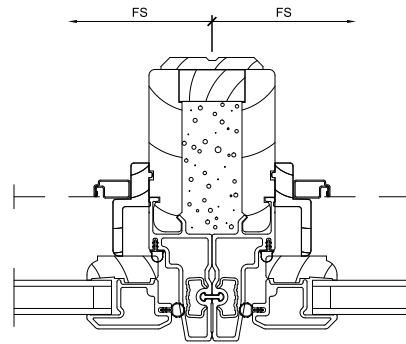
SCALE: 3" = 1'-0"



2  
7

### Head

SCALE: 3" = 1'-0"



4  
7

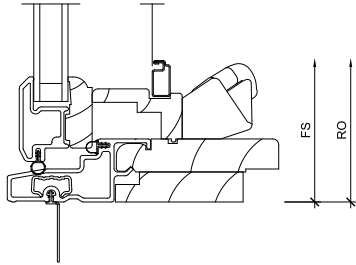
### Vertical Mullion

SCALE: 3" = 1'-0"



PROJ/JOB: Harborside Holding Elevate / 41 Church street.  
DIST/DEALER: HUMPHREY'S WINDOW & DOOR DESIGN GLRY-GO  
DRAWN: MARK TOWLE  
QUOTE#: WKRTXFJ PK VER: 0004.0





1  
8

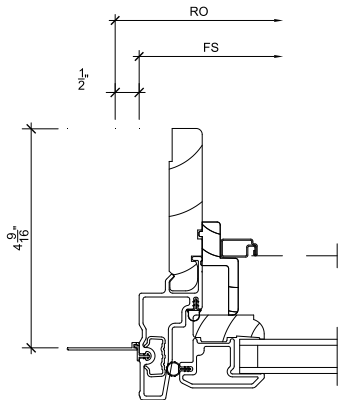
**Sill**

SCALE: 3" = 1'-0"

3  
8

**NOT USED**

SCALE: 3" = 1'-0"



2  
8

**Jamb**

SCALE: 3" = 1'-0"

4  
8

**NOT USED**

SCALE: 3" = 1'-0"



PROJ/JOB: Harborside Holding Elevate / 41 Church street.  
 DIST/DEALER: HUMPHREY'S WINDOW & DOOR DESIGN GLRY-GO  
 DRAWN: MARK TOWLE  
 QUOTE#: WKRTXFJ PK VER: 0004.0









### Bristol Historic District Commission

### Application for review of proposed Work

1. Property Address (Street & No.) 41R State St.

2. Plat # 50 Lot # 47

3. a. Applicant: Bonnie Pacheco

b. Owner (*if different from applicant written authorization of owner required*): Hope-High Realty Trust

**Mailing Address: 495 Hope St., Bristol, RI 02809**

Phone: 401-253-8040

Email: info@fedprop.com

4. a. Architect/Draftsman:

Phone:

Email:

b. Contractor:

Phone:

Email:

5. Work Category:

Sign(s)/Landscaping

6. Description of proposed work:

Install projecting 24" x 24" sign at 41R State Street

Bonnie Pacheco

Bonnie Pacheco

**Applicant's Name – Printed**

**Applicant's Sig**

77





# CAI Property Card

Town of Bristol, RI

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR	
<p><b>LOCATION:</b> 41 R STATE ST  <b>ACRES:</b> 0.0585  <b>PARCEL ID:</b> 009-0047-000  <b>LAND USE CODE:</b> 04  <b>CONDO COMPLEX:</b>  <b>OWNER:</b> HOPE-HIGH REALTY TRUST, LLC  <b>CO - OWNER:</b>  <b>MAILING ADDRESS:</b> P.O. BOX 27</p> <p><b>ZONING:</b> D  <b>PATRIOT ACCOUNT #:</b> 464</p>	<p><b>BUILDING STYLE:</b> Mixed Use  <b>UNITS:</b> 2  <b>YEAR BUILT:</b> 2010  <b>FRAME:</b> Masonry  <b>EXTERIOR WALL COVER:</b> Vinyl Siding  <b>ROOF STYLE:</b> Gable  <b>ROOF COVER:</b> Asphalt Shin</p>	
	BUILDING INTERIOR	
<th data-bbox="82 674 966 716">SALE INFORMATION</th> <td data-bbox="966 558 1523 1314"> <p><b>INTERIOR WALL:</b> Drywall  <b>FLOOR COVER:</b>  <b>HEAT TYPE:</b> BB Hot Water  <b>FUEL TYPE:</b> Gas  <b>PERCENT A/C:</b> True  <b># OF ROOMS:</b> 9  <b># OF BEDROOMS:</b> 5  <b># OF FULL BATHS:</b> 2  <b># OF HALF BATHS:</b> 2  <b># OF ADDITIONAL FIXTURES:</b> 0  <b># OF KITCHENS:</b> 2  <b># OF FIREPLACES:</b> 0  <b># OF METAL FIREPLACES:</b> 0  <b># OF BASEMENT GARAGES:</b> 0</p> </td>	SALE INFORMATION	<p><b>INTERIOR WALL:</b> Drywall  <b>FLOOR COVER:</b>  <b>HEAT TYPE:</b> BB Hot Water  <b>FUEL TYPE:</b> Gas  <b>PERCENT A/C:</b> True  <b># OF ROOMS:</b> 9  <b># OF BEDROOMS:</b> 5  <b># OF FULL BATHS:</b> 2  <b># OF HALF BATHS:</b> 2  <b># OF ADDITIONAL FIXTURES:</b> 0  <b># OF KITCHENS:</b> 2  <b># OF FIREPLACES:</b> 0  <b># OF METAL FIREPLACES:</b> 0  <b># OF BASEMENT GARAGES:</b> 0</p>
<th data-bbox="82 915 966 957">PRINCIPAL BUILDING AREAS</th> <td data-bbox="966 1314 1523 1356"></td>	PRINCIPAL BUILDING AREAS	
<p><b>GROSS BUILDING AREA:</b> 3708  <b>FINISHED BUILDING AREA:</b> 2473  <b>BASEMENT AREA:</b> 744  <b># OF PRINCIPAL BUILDINGS:</b> 1</p>		
<th data-bbox="82 1115 966 1157">ASSESSED VALUES</th> <td data-bbox="966 1398 1523 1440"></td>	ASSESSED VALUES	
<p><b>LAND:</b> \$193,200  <b>YARD:</b> \$0  <b>BUILDING:</b> \$274,900  <b>TOTAL:</b> \$468,100</p>		
SKETCH	PHOTO	



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This information is believed to be correct but is subject to change and is not warranted.



# 200 feet Abutters List Report

Bristol, RI  
March 25, 2025

### Subject Property:

Parcel Number: 9-47  
CAMA Number: 9-47  
Property Address: 41 R STATE ST

Mailing Address: HOPE-HIGH REALTY TRUST, LLC  
P.O. BOX 27  
BRISTOL, RI 02809

### Abutters:

Parcel Number: 10-1 CAMA Number: 10-1 Property Address: 443 HOPE ST	Mailing Address: REGO, JOHN J. (1/2) & REGO, LYNDA J. (1/2) 1199 HOPE ST BRISTOL, RI 02809
Parcel Number: 10-2 CAMA Number: 10-2 Property Address: 44 STATE ST	Mailing Address: 1719 PROJECT LLC 167 TOUISSET RD WARREN, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-001 Property Address: 423 HOPE ST	Mailing Address: MCKAY, SUSAN ANDON, TRUSTEE SUSAN ANDON MCKAY LIVING TRUST 186 OAKLAND ST WELLESLEY, MA 02481
Parcel Number: 10-3 CAMA Number: 10-3-002 Property Address: 423 HOPE ST	Mailing Address: HAYES, MATTHEW D TRUSTEE MATTHEW D HAYES REV TRUST 423 HOPE ST UNIT B BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-003 Property Address: 423 HOPE ST	Mailing Address: BISSONNETTE, JENNIFER NEVES 423 HOPE ST, UNIT 3C BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-004 Property Address: 423 HOPE ST	Mailing Address: SMITH, DEBORAH ROSE TRUSTEE 423 HOPE ST, UNIT 4D BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-005 Property Address: 423 HOPE ST	Mailing Address: WARNER, GARY W & MURRAY, CATHERINE I JT PO BOX 808 BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-006 Property Address: 423 HOPE ST	Mailing Address: BURNETT, JAY N. 25 SCHOOL ST REHOBOTH, MA 02769
Parcel Number: 10-3 CAMA Number: 10-3-007 Property Address: 423 HOPE ST	Mailing Address: CLARK, ALLEN M. & CLARK, WHITNEY O. TRUSTEES 423 HOE ST, UNIT G BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-008 Property Address: 423 HOPE ST	Mailing Address: MACDONALD, JAMES C 423 HOPE ST, UNIT H BRISTOL, RI 02809



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# 200 feet Abutters List Report

Bristol, RI  
March 25, 2025

Parcel Number: 10-3 CAMA Number: 10-3-010 Property Address: 423 HOPE ST	Mailing Address: SCOTT, WENDELL O & PATRICIA C TE 700 MOUNTAIN AVE WESTFIELD, NJ 07090
Parcel Number: 10-3 CAMA Number: 10-3-011 Property Address: 423 HOPE ST	Mailing Address: PAGE, ROBERT W & MYRA M, TRUSTEES PAGE FAMILY TRUST 423 HOPE ST, Unit K BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-012 Property Address: 423 HOPE ST	Mailing Address: MATRONE, SANTA W JR TRUSTEE SANTA W MATRONE JR DEC TRUST 423 HOPE ST UNIT L-12 BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-013 Property Address: 423 HOPE ST	Mailing Address: SAILOR, LLC 423 HOPE ST, Unit 13M BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-014 Property Address: 423 HOPE ST	Mailing Address: SHAPIRO, DEBORA WEST 423 HOPE ST, Unit UNIT 14N BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-016 Property Address: 423 HOPE ST	Mailing Address: BOWMAN, GREGORY W. TRUSTEE (1/2) & HAMILTON, ELIZABETH A. TRUSTEE (1/2) TRUSTEES 423 HOPE ST, UNIT 16P BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-017 Property Address: JOHN ST	Mailing Address: FIXSEN, WILLIAM 25 MARCONI DR RANDOLPH, MA 02368
Parcel Number: 10-3 CAMA Number: 10-3-018 Property Address: JOHN ST	Mailing Address: HULITZKY, DEREK E. & VIERA, KELLI L. TE 91 MAIN ST, APT 366 WARREN, RI 02885
Parcel Number: 10-3 CAMA Number: 10-3-019 Property Address: 15 JOHN ST	Mailing Address: MATTEI, IRMA S. & CRUZ, JUAN C. 15 JOHN ST, UNIT 1 BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-020 Property Address: 17 JOHN ST	Mailing Address: MCRAE, BEVERLY SMITH & JOSEPH KEITH TE 17 JOHN ST, UNIT 2 BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-021 Property Address: 423 HOPE ST	Mailing Address: NAT PROPERTIES, LLC 26 PATRICIA ANN DR BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-022 Property Address: 423 HOPE ST	Mailing Address: 423 HOPE ST REDEVELOPMENT, LLC 12650MACHIAVELLI WAY PALM BEACH GARDENS, FL 33418



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# 200 feet Abutters List Report

Bristol, RI  
March 25, 2025

Parcel Number: 10-4 CAMA Number: 10-4 Property Address: STATE ST	Mailing Address: TOWN OF BRISTOL STATE STREET 10 COURT ST BRISTOL, RI 02809
Parcel Number: 10-5 CAMA Number: 10-5-001 Property Address: 18 20 STATE ST	Mailing Address: NEW LEAF REALTY, LLC COMMERCIAL UNITS 1 & 2 18-20 STATE ST BRISTOL, RI 02809
Parcel Number: 10-5 CAMA Number: 10-5-002 Property Address: 18 20 STATE ST	Mailing Address: NEW LEAF REALTY, LLC COMMERCIAL UNITS 1 & 2 18-20 STATE ST BRISTOL, RI 02809
Parcel Number: 10-5 CAMA Number: 10-5-003 Property Address: 18 20 STATE ST	Mailing Address: SCOROBOGATY, EILEEN MARIE 18-20 STATE ST, UNIT 3 BRISTOL, RI 02809
Parcel Number: 10-5 CAMA Number: 10-5-004 Property Address: 18 20 STATE ST	Mailing Address: EIGHTEEN TWENTY, LLC 52 TALCOTT ST BARRINGTON, RI 02806
Parcel Number: 10-5 CAMA Number: 10-5-005 Property Address: 18 20 STATE ST	Mailing Address: EIGHTEEN TWENTY, LLC 52 TALCOTT ST BARRINGTON, RI 02806
Parcel Number: 10-5 CAMA Number: 10-5-006 Property Address: 18 20 STATE ST	Mailing Address: EIGHTEEN TWENTY, LLC 52 TALCOTT ST BARRINGTON, RI 02806
Parcel Number: 10-77 CAMA Number: 10-77 Property Address: 54 STATE ST	Mailing Address: REGO, JOHN J. (1/2) & REGO, LYNDA J. (1/2) 1199 HOPE ST BRISTOL, RI 02809
Parcel Number: 13-56 CAMA Number: 13-56 Property Address: 500 HOPE ST	Mailing Address: FRIENDS OF LINDEN PLACE 500 HOPE STREET BRISTOL, RI 02809
Parcel Number: 13-56 CAMA Number: 13-56-001 Property Address: 500 R HOPE ST	Mailing Address: FRIENDS OF LINDEN PLACE 500 HOPE STREET BRISTOL, RI 02809
Parcel Number: 13-57 CAMA Number: 13-57 Property Address: 474 HOPE ST	Mailing Address: TRAVERS, BRIAN J & KERRY R TE 474 HOPE ST BRISTOL, RI 02809
Parcel Number: 9-37 CAMA Number: 9-37 Property Address: 525 HOPE ST	Mailing Address: TOWN OF BRISTOL 10 COURT ST BRISTOL, RI 02809



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# 200 feet Abutters List Report

Bristol, RI  
March 25, 2025

Parcel Number: 9-38 CAMA Number: 9-38 Property Address: THAMES ST	Mailing Address: TSL LLC 244 GANO ST PROVIDENCE, RI 02906
Parcel Number: 9-42 CAMA Number: 9-42 Property Address: 515 HOPE ST	Mailing Address: FEDERAL PROPERTIES OF RI P.O. BOX 27 BRISTOL, RI 02809
Parcel Number: 9-43 CAMA Number: 9-43 Property Address: 282 THAMES ST	Mailing Address: GARVIN, GAIL & GEORGE E TC 282 THAMES ST BRISTOL, RI 02809
Parcel Number: 9-44 CAMA Number: 9-44 Property Address: 495 HOPE ST	Mailing Address: FEDERAL PROPERTIES OF RI P.O. BOX 27 BRISTOL, RI 02809
Parcel Number: 9-46 CAMA Number: 9-46 Property Address: HOPE ST	Mailing Address: FEDERAL PROPERTIES OF RI P.O. BOX 27 BRISTOL, RI 02809
Parcel Number: 9-48 CAMA Number: 9-48 Property Address: THAMES ST	Mailing Address: FEDERAL PROPERTIES OF RI P.O. BOX 27 BRISTOL, RI 02809
Parcel Number: 9-49 CAMA Number: 9-49 Property Address: 260 THAMES ST	Mailing Address: DANMOR REALTY, LLC 13 BAY RD WARREN, RI 02885
Parcel Number: 9-52 CAMA Number: 9-52 Property Address: 477 HOPE ST	Mailing Address: 477 HOPE STREET, LLC PO BOX 932 BRISTOL, RI 02809
Parcel Number: 9-54 CAMA Number: 9-54 Property Address: 467 HOPE ST	Mailing Address: FEDERAL PROPERTIES OF R.I., INC. P.O. BOX 27 BRISTOL, RI 02809
Parcel Number: 9-55 CAMA Number: 9-55 Property Address: 55 STATE ST	Mailing Address: GATOS, ARISTOTLE G & GREGORY G - TRUSTEES GEORGE & DEMETRULA GATOS TRUST 55 STATE ST BRISTOL, RI 02809
Parcel Number: 9-56 CAMA Number: 9-56 Property Address: STATE ST	Mailing Address: GATOS, GEORGE A. ET UX DEMETRULA GATOS TE 55 STATE ST. BRISTOL, RI 02809
Parcel Number: 9-57 CAMA Number: 9-57 Property Address: STATE ST	Mailing Address: GATOS, GEORGE A. ET UX DEMETRULA GATOS TE 55 STATE ST. BRISTOL, RI 02809



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# 200 feet Abutters List Report

Bristol, RI  
March 25, 2025

Parcel Number: 9-58  
CAMA Number: 9-58  
Property Address: STATE ST

Mailing Address: FEDERAL PROPERTIES OF RI  
P.O. BOX 27  
BRISTOL, RI 02809

Parcel Number: 9-59  
CAMA Number: 9-59  
Property Address: 39 STATE ST

Mailing Address: FEDERAL PROPERTIES OF RI, INC.  
PO BOX 27  
BRISTOL, RI 02809

Parcel Number: 9-60  
CAMA Number: 9-60  
Property Address: 29-31 STATE ST

Mailing Address: DANMOR REALTY, LLC  
13 BAY RD  
WARREN, RI 02885

Parcel Number: 9-61  
CAMA Number: 9-61  
Property Address: 17 STATE ST

Mailing Address: FEDERAL PROPERTIES OF RI INC.  
PO BOX 27  
BRISTOL, RI 02809

Parcel Number: 9-62  
CAMA Number: 9-62  
Property Address: 11 STATE ST

Mailing Address: 11 STATE STREET, LLC  
116 PECK AVE  
BRISTOL, RI 02809

Parcel Number: 9-63  
CAMA Number: 9-63  
Property Address: THAMES ST

Mailing Address: TOWN OF BRISTOL  
10 COURT ST  
BRISTOL, RI 02809

Parcel Number: 9-64  
CAMA Number: 9-64  
Property Address: THAMES ST

Mailing Address: TOWN OF BRISTOL  
10 COURT ST  
BRISTOL, RI 02809

Parcel Number: 9-65  
CAMA Number: 9-65  
Property Address: 1 STATE ST

Mailing Address: FEDERAL PROPERTIES OF RI, INC.  
495 HOPE ST, SUITE 8  
BRISTOL, RI 02809

Parcel Number: 9-74  
CAMA Number: 9-74  
Property Address: 246 THAMES ST

Mailing Address: RIVERS, ZACHARY N  
PO Box 964  
Bristol, RI 02809

Parcel Number: 9-75  
CAMA Number: 9-75  
Property Address: 499 HOPE ST

Mailing Address: FEDERAL PROPERTIES OF RI INC  
P.O. BOX 27  
BRISTOL, RI 02809



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**Nick Toth**

---

**From:** Nick Toth  
**Sent:** Thursday, March 20, 2025 6:08 PM  
**To:** Stephen DeLeo  
**Cc:** newenglandceremonies@gmail.com; Berta Raposo  
**Subject:** Re: HH 41R State Street Sign

Thank you, received

Sent from my T-Mobile 5G Device  
Get [Outlook for Android](#)

---

**From:** Stephen DeLeo <steve@fedprop.com>  
**Sent:** Thursday, March 20, 2025 3:48:21 PM  
**To:** Nick Toth <ntoth@bristolri.gov>  
**Cc:** newenglandceremonies@gmail.com <newenglandceremonies@gmail.com>; Berta Raposo <braposo@fedprop.com>  
**Subject:** HH 41R State Street Sign

**Caution:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe. When in doubt, contact your IT Department

Good Day,

This will act as Landlord Permission for the proposed signage at 41R State Street submitted by our tenant, New England Ceremonies, LLC.

Feel free to reach out with any questions.

Thank you.

**Hope-High Realty Trust, LLC**

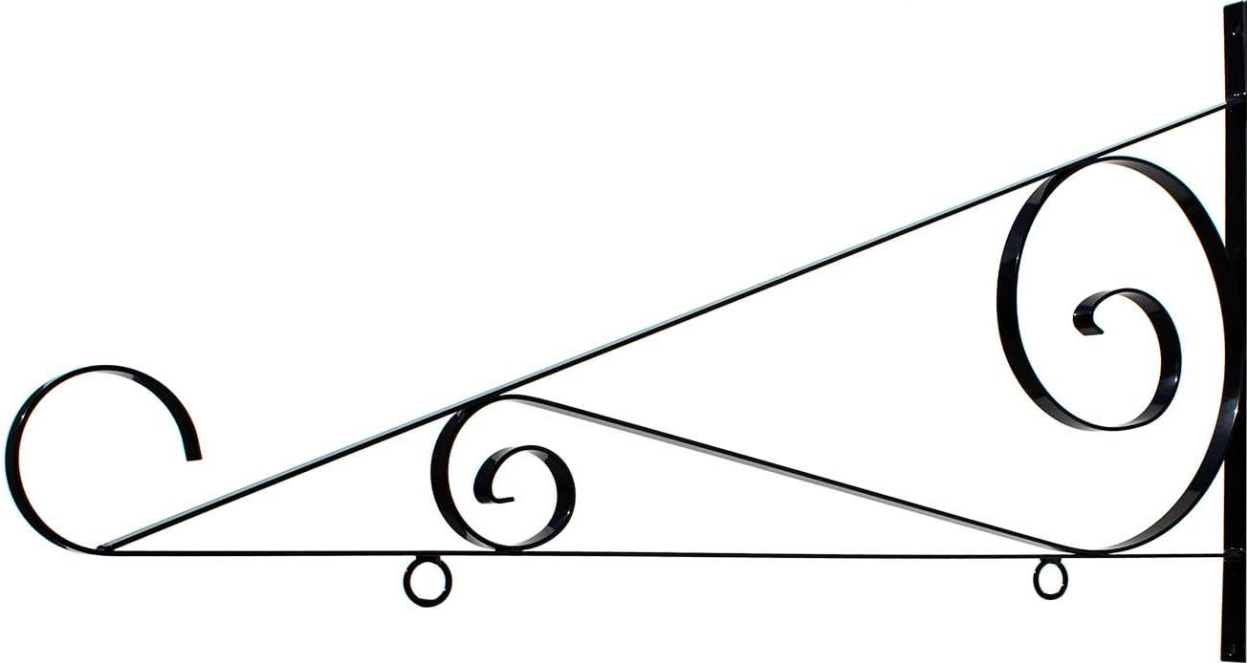
Stephen DeLeo, President

**Stephen DeLeo**  
[steve@fedprop.com](mailto:steve@fedprop.com)  
☎ 401-253-2780 Direct  
☎ 401-253-5700 Main  
📱 401-489-1848 Cell  
📠 401-253-5431 Fax

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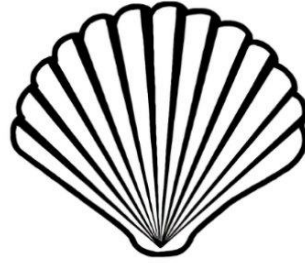












NEW  
ENGLAND  
CEREMONIES



# Bristol Historic District Commission

Item 4.

## Application for Review of Proposed Work - Printable Application

HDC-25-25	Contributing	March 11, 2025
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**THIS DOCUMENT IS NOT A SUBSTITUTE FOR A BUILDING, ELECTRICAL, SIGN, MECHANICAL, DEMOLITION, SOLAR OR FENCE PERMIT APPLICATION. THESE PERMITS MUST BE APPLIED FOR AND APPROVED BY THE BRISTOL BUILDING DEPARTMENT BEFORE WORK CAN BEGIN.**

Project Address	Assessor's Plat	Assessor's Lot
14 Union Street	15	52

Applicant	Applicant Phone	Applicant Email
Louis and Joan Cabral	774-578-5878	lcabral@cabralgrp.com

Property Owner (If Different from Applicant)	Owner Mailing Address
	304 Church Pond Drive, Tiverton RI 02878

Architect/Engineer	A/E Phone Number	A/E Email
Michael Potocki	508-679-2500	mike@cornerstonedesignbuild.com

Contractor	Contractor Phone Number	Contractor Email
FT Construction	401-749-0999	

Work Category:	Addition to Structure(s)
----------------	--------------------------

Description of proposed work:

- A. Reintroduce and construct a porch in the front of the house
- B. Construct a second floor addition on the back side where currently only one floor exists.
- C. Reconstruct existing 3 bay garage on the southeast corner of the lot with a second floor addition for storage.

Property History

Building Survey Data	
RIHPHC ID #:	BRIS00491
HISTORIC NAME:	Congdon House
ARCH. STYLE:	Greek Revival
ORIGINAL CONSTRUCTION DATE (est.):	1835 ca; 1911

[none observed]

Louis and Joan Cabral

Applicant's Name – Printed

**Lou Cabral**

Applicant's Digital Signature

Date: March 11, 2025







# 200 feet Abutters List Report

Bristol, RI  
March 27, 2025

### Subject Property:

Parcel Number: 15-52  
CAMA Number: 15-52  
Property Address: 14 UNION ST

Mailing Address: CABRAL, LOUIS A & GREENWELL, JOAN  
F TE  
14 UNION ST  
BRISTOL, RI 02809

### Abutters:

Parcel Number: 11-15  
CAMA Number: 11-15-001  
Property Address: 221 HOPE ST

Mailing Address: ASCIOLLA, NILA  
221 HOPE ST, UNIT 1  
BRISTOL, RI 02809

Parcel Number: 11-15  
CAMA Number: 11-15-002  
Property Address: 221 HOPE ST

Mailing Address: BURNETT, ROBIN D & BURNETT, BETH  
MCCANN CO-TRUST  
221 HOPE ST UNIT 2  
BRISTOL, RI 02809

Parcel Number: 11-15  
CAMA Number: 11-15-003  
Property Address: 221 HOPE ST

Mailing Address: VELLIS, PETER A. & ALMEIDA, SONIA F.  
TE  
221 HOPE ST, Unit 3  
BRISTOL, RI 02809

Parcel Number: 11-15  
CAMA Number: 11-15-004  
Property Address: 221 HOPE ST

Mailing Address: LUBECK, KATHLEEN R. CO-TRST  
KATHLEEN LUBECK LIV TRST AGMT  
221 HOPE STREET UNIT 4A  
BRISTOL, RI 02809

Parcel Number: 11-15  
CAMA Number: 11-15-005  
Property Address: 221 HOPE ST

Mailing Address: KENNEDY, HOLLY P TRUSTEE  
233 CLUB SUGARBUSH SOUTH  
WARREN, VT 05674-4468

Parcel Number: 11-15  
CAMA Number: 11-15-006  
Property Address: 221 HOPE ST

Mailing Address: CURRY, MAUREEN C. EDWARD W. TE  
221 HOPE ST UNIT 6  
BRISTOL, RI 02809

Parcel Number: 11-15  
CAMA Number: 11-15-007  
Property Address: 221 HOPE ST

Mailing Address: ASCIOLLA, NILA A  
221 HOPE ST UNIT 7  
BRISTOL, RI 02809

Parcel Number: 11-15  
CAMA Number: 11-15-008  
Property Address: 221 HOPE ST

Mailing Address: JOHNSON, SUSAN E  
221 HOPE ST  
BRISTOL, RI 02809

Parcel Number: 11-15  
CAMA Number: 11-15-009  
Property Address: 221 HOPE ST

Mailing Address: PASQUAL, THOMAS A & JO-ANN  
TRUSTEES  
221 HOPE ST UNIT # 9  
BRISTOL, RI 02809

Parcel Number: 11-15  
CAMA Number: 11-15-010  
Property Address: 221 HOPE ST

Mailing Address: HARRIS, ERIN J. & TERESHKO, DANIEL  
N. TE  
221 HOPE ST, UNIT 10  
BRISTOL, RI 02809



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# 200 feet Abutters List Report

Bristol, RI  
March 27, 2025

Parcel Number: 11-15 CAMA Number: 11-15-011 Property Address: 221 HOPE ST	Mailing Address: BUTLER, WILLIAM E. 221 HOPE ST BRISTOL, RI 02809
Parcel Number: 11-15 CAMA Number: 11-15-012 Property Address: 221 HOPE ST	Mailing Address: MACK, JOHN C & PATRICIA M TRUSTEES JOHN C MACK & PATRICIA M MACK REVOCABLE LIVING TRU 97 PEARL ST ENGLEWOOD, FL 34223
Parcel Number: 11-15 CAMA Number: 11-15-013 Property Address: 221 HOPE ST	Mailing Address: PARKER, PAULA TRUSTEE OF THE MARY L. DWYER IRREVOCABLE TRUST 221 HOPE ST, UNIT 13 BRISTOL, RI 02809
Parcel Number: 11-15 CAMA Number: 11-15-014 Property Address: 221 HOPE ST	Mailing Address: BUTCHER, STEPHEN W & LISA B 221 HOPE ST UNIT 14 BRISTOL, RI 02809
Parcel Number: 11-15 CAMA Number: 11-15-015 Property Address: 221 HOPE ST	Mailing Address: BRAMLEY, CATHERINE M & ALAN K TE 221 HOPE ST UNIT 15 BRISTOL, RI 02809
Parcel Number: 11-15 CAMA Number: 11-15-016 Property Address: 221 HOPE ST	Mailing Address: MCKENNA, MYONG-HWA & STEPHEN W. TE 221 HOPE ST, UNIT 16 BRISTOL, RI 02809
Parcel Number: 11-15 CAMA Number: 11-15-017 Property Address: 221 HOPE ST	Mailing Address: TIRPAECK, SARA JANE TRUSTEE TIRPAECK RESIDENCE TRUST 221 HOPE ST UNIT #17 BRISTOL, RI 02809
Parcel Number: 11-16 CAMA Number: 11-16-001 Property Address: 217 HOPE ST	Mailing Address: HOPKINS, COLLEEN P & OLIVA, JEANNE M TE 217 HOPE ST., UNIT 1 BRISTOL, RI 02809
Parcel Number: 11-16 CAMA Number: 11-16-002 Property Address: 217 HOPE ST	Mailing Address: WOOD, WILLIAM J & FORSTER, ROBYN TC 217 HOPE ST, UNIT 2 BRISTOL, RI 02809
Parcel Number: 11-16 CAMA Number: 11-16-003 Property Address: 217 HOPE ST	Mailing Address: RODRIGUES, RONALD J. ET UX JOYCE C. TE 209 HOPE ST BRISTOL, RI 02809
Parcel Number: 11-16 CAMA Number: 11-16-004 Property Address: 217 HOPE ST	Mailing Address: GORHAM, MARIA C 217 HOPE ST, Unit 4 BRISTOL, RI 02809
Parcel Number: 11-16 CAMA Number: 11-16-005 Property Address: 217 HOPE ST	Mailing Address: ARAUJO, LUCILLE M TRUSTEE LUCILE M ARAUJO LIVING TRUST 54 BRIAN AVE SOMERSET, MA 02726-3768



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# 200 feet Abutters List Report

Bristol, RI  
March 27, 2025

Parcel Number: 11-16 CAMA Number: 11-16-006 Property Address: 217 HOPE ST	Mailing Address: LAGOR, JEREMY & SOUZA, LISA JT 217 HOPE ST UNIT 6 BRISTOL, RI 02809
Parcel Number: 11-16 CAMA Number: 11-16-007 Property Address: 217 HOPE ST	Mailing Address: TUMBER, WILLIAM R. & GLENDA DEE TE  955 WEST SHORE RD, UNIT 6B ALEXANDRIA, NH 03222
Parcel Number: 11-16 CAMA Number: 11-16-008 Property Address: 217 HOPE ST	Mailing Address: HURLEY, JAMES T. 217 HOPE ST, Unit 8 BRISTOL, RI 02809
Parcel Number: 11-16 CAMA Number: 11-16-009 Property Address: 217 HOPE ST	Mailing Address: BISBANO, RICHARD 688 7TH AVENUE NORTH NAPLES, FL 34102
Parcel Number: 11-16 CAMA Number: 11-16-010 Property Address: 217 HOPE ST	Mailing Address: BURSTEIN, ALEX S TRUSTEE 1304 MAINSAIL Circle Jupiter, FL 33477
Parcel Number: 11-17 CAMA Number: 11-17 Property Address: 209 HOPE ST	Mailing Address: RODRIGUES, JOYCE C 209 HOPE STREET BRISTOL, RI 02809
Parcel Number: 15-31 CAMA Number: 15-31 Property Address: 41 UNION ST	Mailing Address: MICHAELS, ANDGELA ANDRES, TRUSTEE ANGELA ANDREA MICHAELS TRUST 41 UNION ST BRISTOL, RI 02809
Parcel Number: 15-33 CAMA Number: 15-33 Property Address: 31 UNION ST	Mailing Address: BARROW, IRENE K. 31 UNION ST BRISTOL, RI 02809
Parcel Number: 15-34 CAMA Number: 15-34 Property Address: 23 UNION ST	Mailing Address: BOYCE, MICHAEL R. 23 UNION ST. BRISTOL, RI 02809
Parcel Number: 15-36 CAMA Number: 15-36 Property Address: 232 HOPE ST	Mailing Address: SOUSA, LOUIS A. CATHERINE Q. TE 232 HOPE ST BRISTOL, RI 02809
Parcel Number: 15-37 CAMA Number: 15-37 Property Address: 17 UNION ST	Mailing Address: CHRISTINA, MARTHA 17 UNION ST BRISTOL, RI 02809
Parcel Number: 15-38 CAMA Number: 15-38 Property Address: 224 HOPE ST	Mailing Address: LEONETTI, GREGORY M. & JULIA C. TE 4480 POST RD EAST GREENWICH, RI 02818



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Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.



# 200 feet Abutters List Report

Bristol, RI  
March 27, 2025

Parcel Number: 15-43 CAMA Number: 15-43 Property Address: 42 UNION ST	Mailing Address: AVERILL, PAYSON, C. KIMBERLY E. TE 42 UNION ST BRISTOL, RI 02809
Parcel Number: 15-44 CAMA Number: 15-44 Property Address: 31 NOYES AVE	Mailing Address: STILWELL, CHRISTINE B. (SOLE OWNER) 31 NOYES AVENUE BRISTOL, RI 02809
Parcel Number: 15-45 CAMA Number: 15-45 Property Address: 38 UNION ST	Mailing Address: WARDWELL, WILLIAM A JR 38 UNION ST. BRISTOL, RI 02809
Parcel Number: 15-46 CAMA Number: 15-46 Property Address: 30 UNION ST	Mailing Address: CLAIR, BRADFORD J & KAREN M TE 30 UNION ST BRISTOL, RI 02809
Parcel Number: 15-47 CAMA Number: 15-47 Property Address: 29 NOYES AVE	Mailing Address: DAVIS, JAMES F. & DAVIS, VIRGINIA C. & 51 BRADFORD ST, Unit 1 BRISTOL, RI 02809
Parcel Number: 15-48 CAMA Number: 15-48 Property Address: 29 SUMMER ST	Mailing Address: HANSON, WADE R 29 SUMMER ST BRISTOL, RI 02809
Parcel Number: 15-49 CAMA Number: 15-49 Property Address: 25 SUMMER ST	Mailing Address: BAKER, JOHN LINDA 25 SUMMER ST BRISTOL, RI 02809
Parcel Number: 15-50 CAMA Number: 15-50 Property Address: 23 SUMMER ST	Mailing Address: ESSELEN, GUSTAVUS J. IV TE & CATHERINE M. 23 SUMMER ST BRISTOL, RI 02809
Parcel Number: 15-51 CAMA Number: 15-51 Property Address: 19 SUMMER ST	Mailing Address: BERG, KEITH N. & AMY V. TRUSTEES 19 SUMMER ST BRISTOL, RI 02809
Parcel Number: 15-53 CAMA Number: 15-53 Property Address: 220 HOPE ST	Mailing Address: TANSEY, CHARLES D. 220 HOPE ST BRISTOL, RI 02809
Parcel Number: 15-54 CAMA Number: 15-54 Property Address: 218 HOPE ST	Mailing Address: AGUIAR, ALMERINDA 218 HOPE ST BRISTOL, RI 02809
Parcel Number: 15-55 CAMA Number: 15-55 Property Address: 212 HOPE ST	Mailing Address: CORTELLESA, JOSEPH M. & CORTELLESA, LORANINE A. & 208 HOPE ST BRISTOL, RI 02809



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# 200 feet Abutters List Report

Bristol, RI  
March 27, 2025

Parcel Number: 15-56 CAMA Number: 15-56 Property Address: 208 HOPE ST	Mailing Address: CORTELLESSA, JOSEPH M. & CORTELLESSA, LORRAINE A. & 208 HOPE ST BRISTOL, RI 02809
Parcel Number: 15-61 CAMA Number: 15-61 Property Address: 27 NOYES AVE	Mailing Address: PACHECO, JASON D 27 NOYES AVE BRISTOL, RI 02809
Parcel Number: 15-62 CAMA Number: 15-62 Property Address: 25 NOYES AVE	Mailing Address: GUILD, MITCHELL A & JUDITH TE 25 NOYES AVE BRISTOL, RI 02809
Parcel Number: 15-64 CAMA Number: 15-64 Property Address: 30 SUMMER ST	Mailing Address: LEVY, MARK L & KEATING, CELINE M TE 697 WEST END AVE, APT. 5-D NEW YORK, NY 10025
Parcel Number: 15-65 CAMA Number: 15-65 Property Address: 26 SUMMER ST	Mailing Address: BURKE, CHARLES A. ET AL MARI-LYNN MAURER JT 26 SUMMER ST. BRISTOL, RI 02809
Parcel Number: 15-66 CAMA Number: 15-66 Property Address: 202 HOPE ST	Mailing Address: VANDEVENTER, BRENDAN P & MONICA R TE 202 HOPE ST BRISTOL, RI 02809
Parcel Number: 15-94 CAMA Number: 15-94 Property Address: 10 SUMMER ST	Mailing Address: SCHWENGEL, ROBERT H & ELIZABETH N TRUSTEES 10 SUMMER ST BRISTOL, RI 02809



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Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.



# CAI Property Card

Town of Bristol, RI

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR
<b>LOCATION:</b> 14 UNION ST <b>ACRES:</b> 0.298 <b>PARCEL ID:</b> 015-0052-000 <b>LAND USE CODE:</b> 01 <b>CONDO COMPLEX:</b> <b>OWNER:</b> CABRAL, LOUIS A & <b>CO - OWNER:</b> GREENWELL, JOAN F TE <b>MAILING ADDRESS:</b> 14 UNION ST  <b>ZONING:</b> R-6 <b>PATRIOT ACCOUNT #:</b> 961	<b>BUILDING STYLE:</b> Restored His <b>UNITS:</b> 1 <b>YEAR BUILT:</b> 1846 <b>FRAME:</b> Wood Frame <b>EXTERIOR WALL COVER:</b> Wood Shngle <b>ROOF STYLE:</b> Gable <b>ROOF COVER:</b> Asphalt Shin
	BUILDING INTERIOR
<b>SALE INFORMATION</b> <b>SALE DATE:</b> 4/17/2020 <b>BOOK &amp; PAGE:</b> 2030-21 <b>SALE PRICE:</b> 705,000 <b>SALE DESCRIPTION:</b> <b>SELLER:</b> WESTON, EDWIN J & BETTY A LE	<b>INTERIOR WALL:</b> Plaster <b>FLOOR COVER:</b> Hardwood <b>HEAT TYPE:</b> BB Hot Water <b>FUEL TYPE:</b> Gas <b>PERCENT A/C:</b> False <b># OF ROOMS:</b> 8 <b># OF BEDROOMS:</b> 3 <b># OF FULL BATHS:</b> 1 <b># OF HALF BATHS:</b> 1 <b># OF ADDITIONAL FIXTURES:</b> 0 <b># OF KITCHENS:</b> 1 <b># OF FIREPLACES:</b> 1 <b># OF METAL FIREPLACES:</b> 1 <b># OF BASEMENT GARAGES:</b> 0
PRINCIPAL BUILDING AREAS	
<b>GROSS BUILDING AREA:</b> 3456 <b>FINISHED BUILDING AREA:</b> 1941 <b>BASEMENT AREA:</b> 1186 <b># OF PRINCIPAL BUILDINGS:</b> 1	
ASSESSED VALUES	
<b>LAND:</b> \$258,500 <b>YARD:</b> \$15,700 <b>BUILDING:</b> \$402,700 <b>TOTAL:</b> \$676,900	
SKETCH	PHOTO

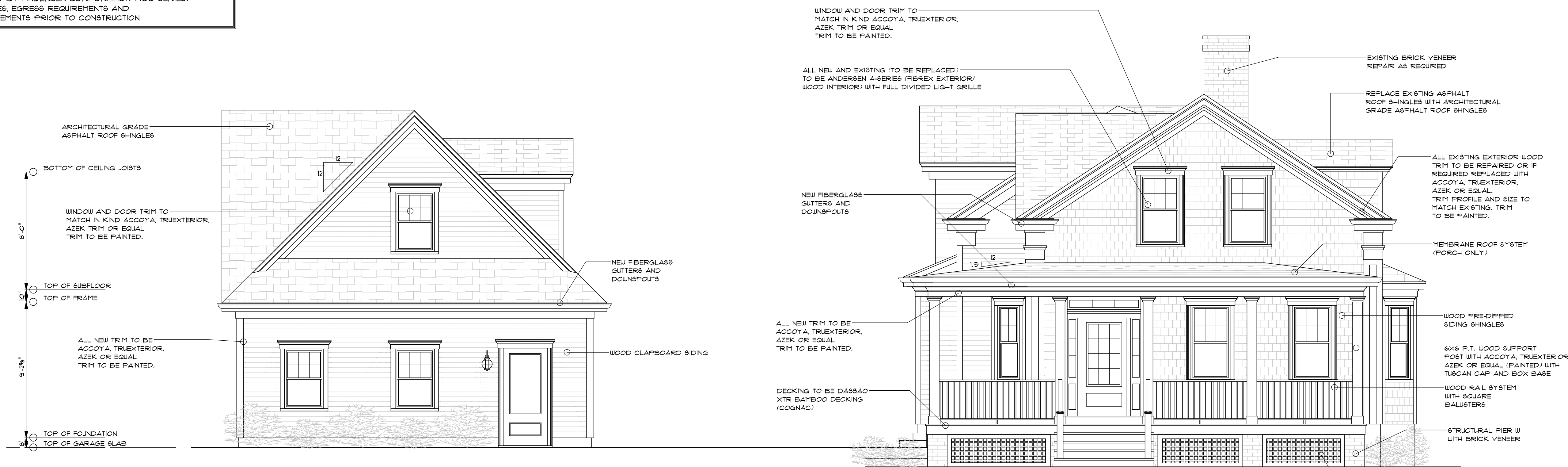


www.cai-tech.com

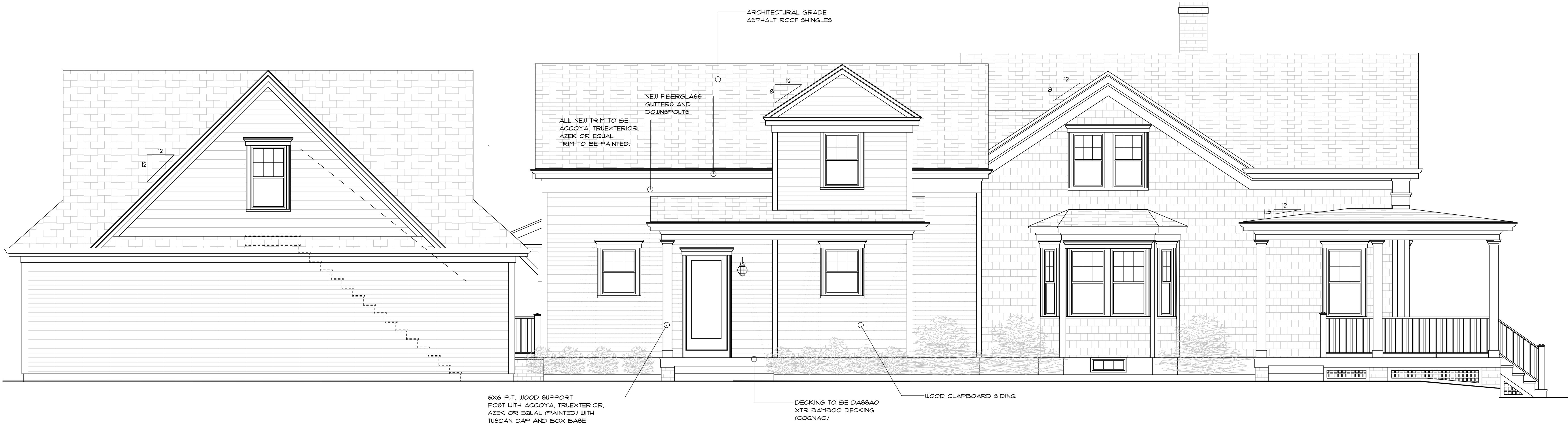
This information is believed to be correct but is subject to change and is not warranted.

**NOTES:**  
 VERIFY ALL EXISTING CONDITIONS AND MEASUREMENTS PRIOR TO ORDERING OF MATERIALS AND CONSTRUCTION.  
 ALL NECESSARY ENGINEERING DATA TO BE SUPPLIED BY CONTRACTOR OR OWNER.  
 ALL ENGINEERED LUMBER OR PREFABRICATED STRUCTURAL MEMBERS (I-JOISTS, ROOF TRUSSES) TO BE ENGINEERED BY MANUFACTURER.  
 ALL WINDOWS MANUFACTURED BY ANDERSEN CORPORATION (400 SERIES).  
 VERIFY ROUGH OPENING SIZES, EGRESS REQUIREMENTS AND TEMPERED GLASS REQUIREMENTS PRIOR TO CONSTRUCTION.

THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF CORNERSTONE DESIGN/BUILD SERVICES, INC. ALTHOUGH A LOT OF CARE HAS BEEN TAKEN INTO THE PREPARATION OF THE DRAWINGS TO ENSURE THAT THEY ARE ERROR FREE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE DRAWINGS FOR ERRORS OR OMISSIONS AND TO ADAPT THEM TO ANY SITE CONDITIONS. WRITTEN DIMENSIONS ALWAYS HAVE PRECEDENCE OVER SCALED DIMENSIONS.  
 THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF HIS OR HER WORK. MINOR DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK AND SHALL BE ACCOMPLISHED BY HIM WITH THE INTENT OF THIS PROJECT.



**NORTH ELEVATION** 1/4" = 1'-0"  
 UNION STREET



**EAST ELEVATION** 1/4" = 1'-0"

REVISIONS			
NO.	DATE	BY	CHANGE

AN ADDITION, RENOVATION AND NEW DETACHED GARAGE FOR:  
**CABRAL RESIDENCE**  
 PROJECT LOCATION:  
**14 UNION STREET**  
**BRISTOL, RHODE ISLAND**

538 WILBUR AVENUE  
 SUANSEA, MASSACHUSETTS 02111  
 TEL - (508)-678-2500  
 FAX - (508)-678-2600  
**CORNERSTONE**  
 DESIGN/BUILD SERVICES, INC.

SHEET TITLE:  
**EXTERIOR ELEVATIONS**  
 DRAWN BY: M.POTOCKI  
 REVIEWED BY: \_\_\_\_\_  
 STONE PROJECT #: 21503  
 DATE: 11 MAR 25  
 SCALE: AS NOTED  
 DRAWING NO. **A-1**  
 SHEET 1 OF -

**NOTES:**

VERIFY ALL EXISTING CONDITIONS AND MEASUREMENTS PRIOR TO ORDERING OF MATERIALS AND CONSTRUCTION.  
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 ALL WINDOWS MANUFACTURED BY ANDERSEN CORPORATION (400 SERIES).  
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○ WEST ELEVATION 1/4" = 1'-0"



○ SOUTH ELEVATION 1/4" = 1'-0"

REVISIONS			
NO.	DATE	BY	CHANGE

AN ADDITION /RENOVATION AND NEW DETACHED GARAGE FOR:  
**CABRAL RESIDENCE**  
 PROJECT LOCATION:  
 14 UNION STREET  
 BRISTOL, RHODE ISLAND

PROJECT:

538 WILBUR AVENUE  
 QUANSEA, MASSACHUSETTS 02711  
 TEL - (508)-679-2500  
 FAX - (508)-679-2600

**CORNERSTONE**  
 DESIGN/BUILD SERVICES, INC.

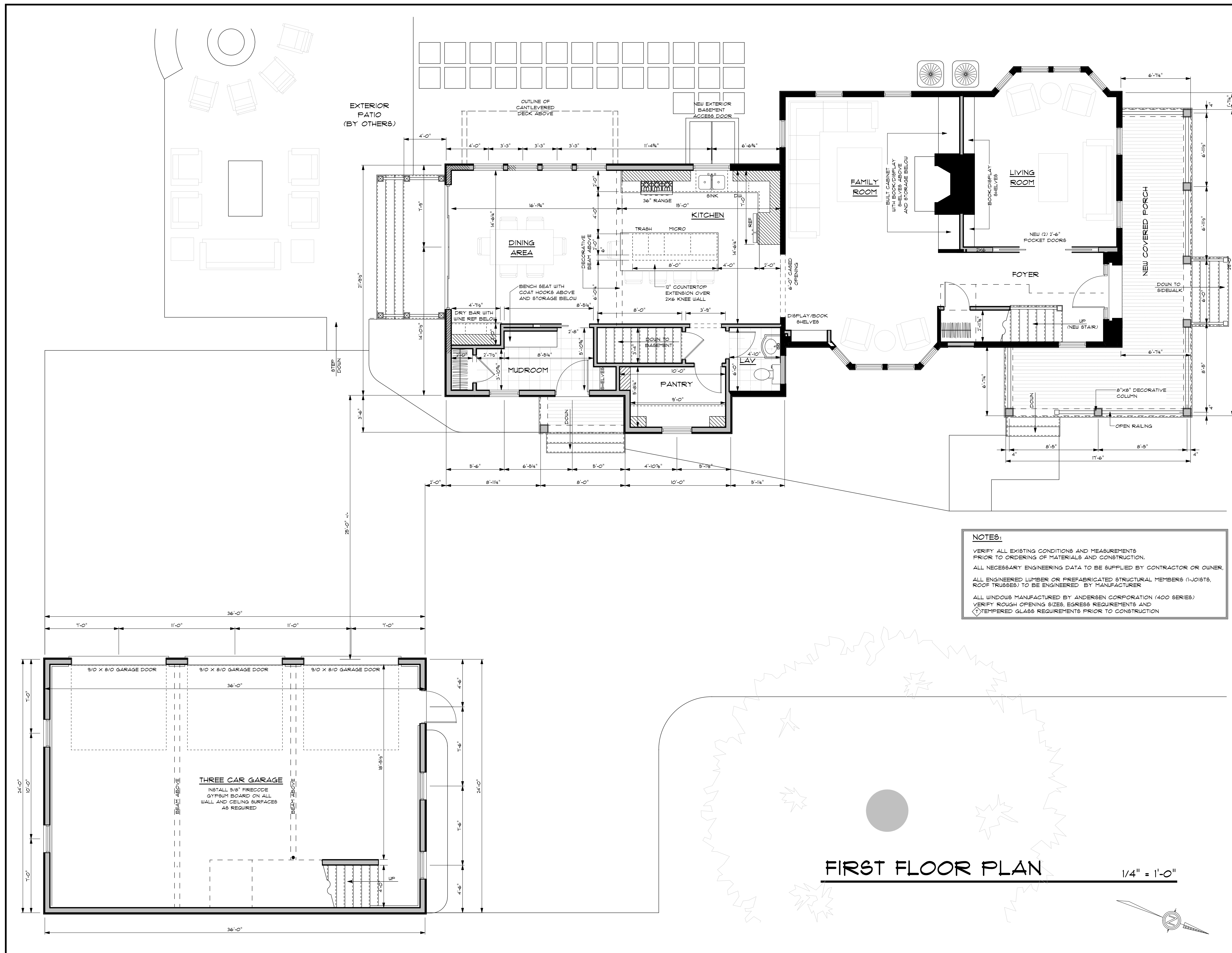
SHEET TITLE:  
**EXTERIOR ELEVATIONS**

DRAWN BY: M.POTOCKI  
 REVIEWED BY: \_\_\_\_\_

CSTONE PROJECT #: 21B03  
 DATE: 11 MAR 25  
 SCALE: AS NOTED

DRAWING NO.  
**A-2**

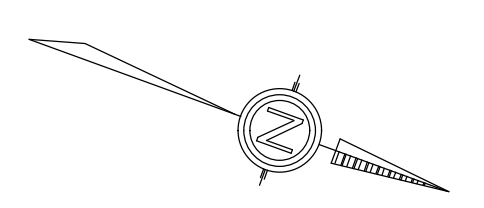
SHEET 2 OF -



**NOTES:**

- VERIFY ALL EXISTING CONDITIONS AND MEASUREMENTS PRIOR TO ORDERING OF MATERIALS AND CONSTRUCTION.
- ALL NECESSARY ENGINEERING DATA TO BE SUPPLIED BY CONTRACTOR OR OWNER.
- ALL ENGINEERED LUMBER OR PREFABRICATED STRUCTURAL MEMBERS (I-JOISTS, ROOF TRUSSES) TO BE ENGINEERED BY MANUFACTURER.
- ALL WINDOWS MANUFACTURED BY ANDERSEN CORPORATION (400 SERIES) VERIFY ROUGH OPENING SIZES, EGRESS REQUIREMENTS AND TEMPERED GLASS REQUIREMENTS PRIOR TO CONSTRUCTION.

**FIRST FLOOR PLAN** 1/4" = 1'-0"



THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF CORNERSTONE DESIGN/BUILD SERVICES, INC. ALTHOUGH A LOT OF CARE HAS GONE INTO THE PREPARATION OF THE DRAWINGS TO ENSURE THAT THEY ARE ERROR FREE IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE DRAWINGS FOR ERRORS OR OMISSIONS AND TO ADAPT THEM TO ANY SITE CONDITIONS. WRITTEN DIMENSIONS ALWAYS HAVE PRECEDENCE OVER SCALED DIMENSIONS.

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REVISIONS			
NO.	DATE	BY	CHANGE

AN ADDITION /RENOVATION AND NEW DETACHED GARAGE FOR:  
**CABRAL RESIDENCE**  
 PROJECT LOCATION:  
**14 UNION STREET  
 BRISTOL, RHODE ISLAND**

538 WILBUR AVENUE  
 SWANSEA, MASSACHUSETTS 02111  
 TEL - (508)-678-2500  
 FAX - (508)-678-2600

**CORNERSTONE**  
 DESIGN/BUILD SERVICES, INC.

SHEET TITLE:  
**FIRST FLOOR PLAN**

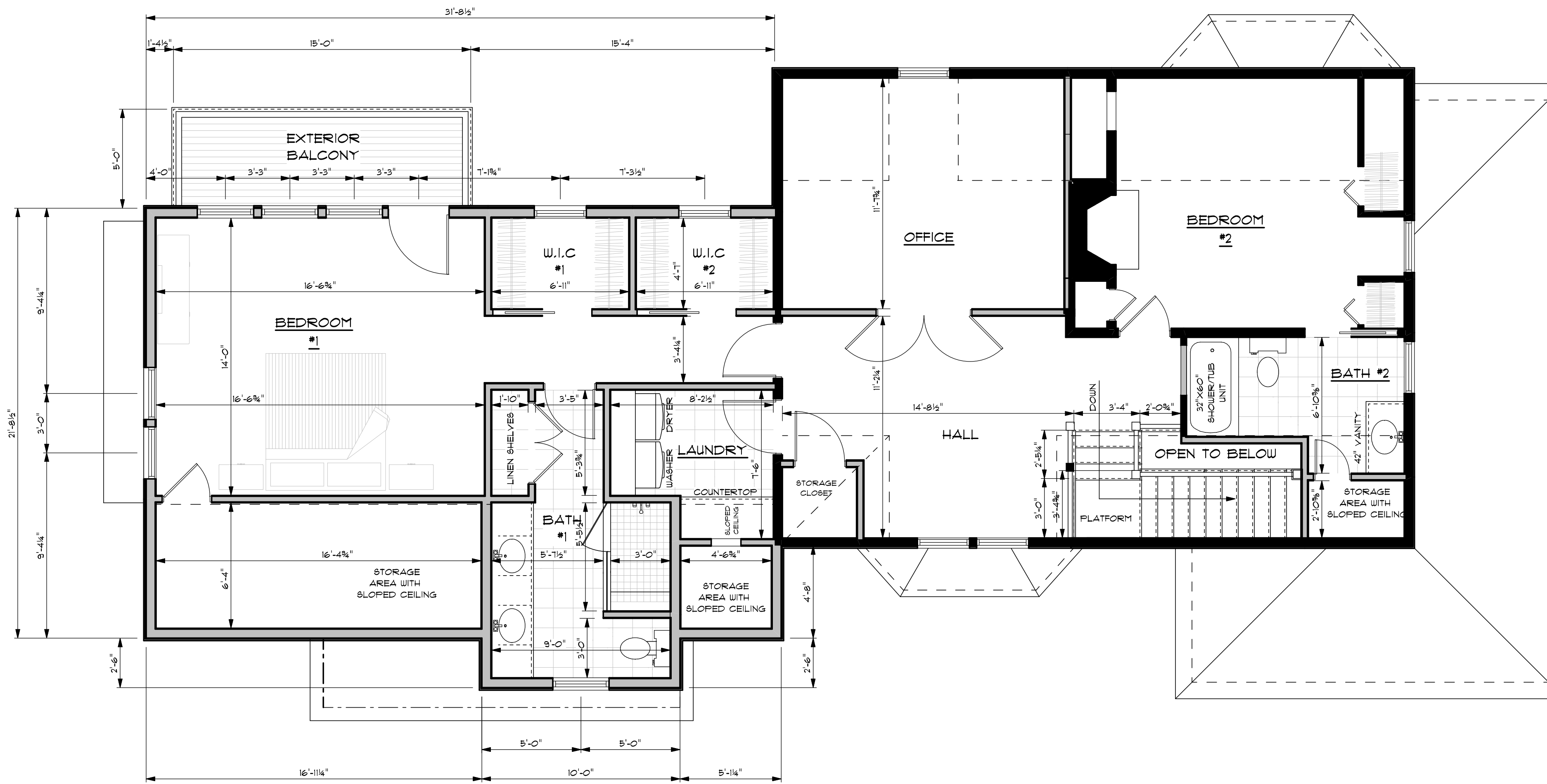
DRAWN BY: \_\_\_\_\_ M.POTOCKI  
 REVIEWED BY: \_\_\_\_\_

CORNERSTONE PROJECT #: \_\_\_\_\_ 21503  
 DATE: \_\_\_\_\_ 11 MAR 25  
 SCALE: \_\_\_\_\_ AS NOTED

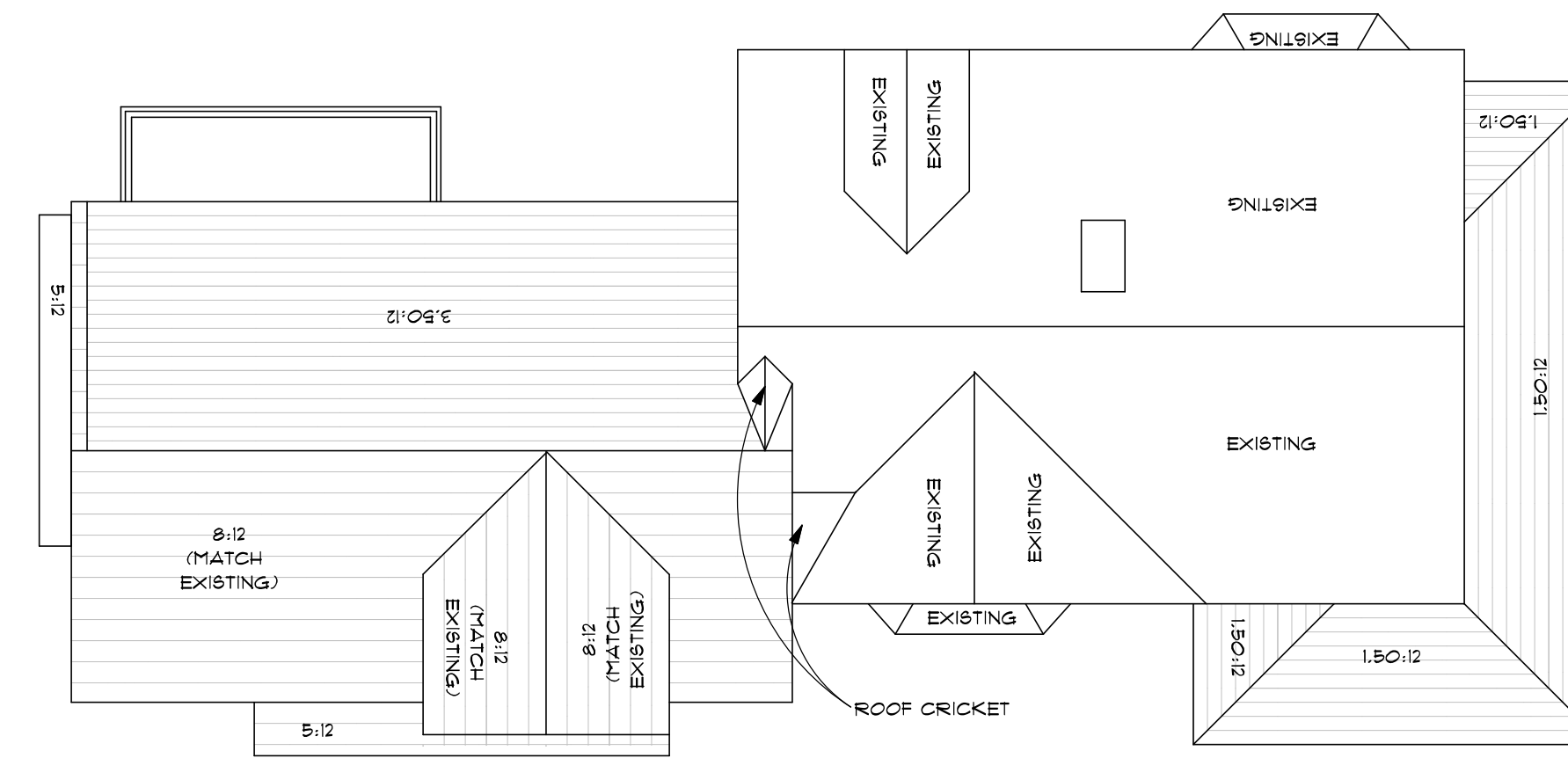
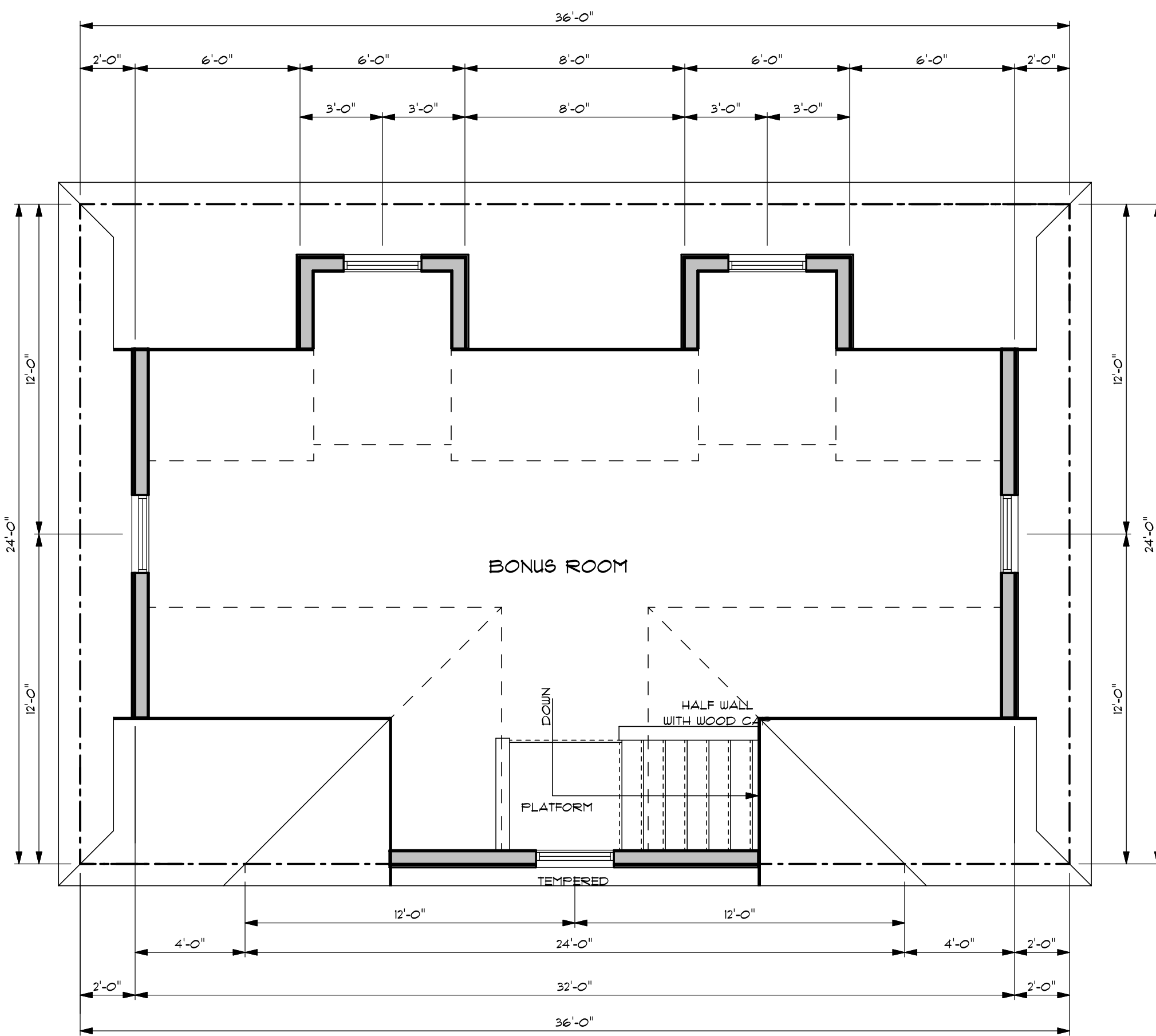
DRAWING NO. **A-3**

SHEET 3 OF \_\_\_\_\_

**NOTES:**  
 VERIFY ALL EXISTING CONDITIONS AND MEASUREMENTS PRIOR TO ORDERING OF MATERIALS AND CONSTRUCTION.  
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 ALL ENGINEERED LUMBER OR PREFABRICATED STRUCTURAL MEMBERS (JOISTS, ROOF TRUSSES) TO BE ENGINEERED BY MANUFACTURER.  
 ALL WINDOWS MANUFACTURED BY ANDERSEN CORPORATION (400 SERIES).  
 VERIFY ROUGH OPENING SIZES, EGRESS REQUIREMENTS AND TEMPERED GLASS REQUIREMENTS PRIOR TO CONSTRUCTION.



**SECOND FLOOR PLAN** 1/4" = 1'-0"



**ROOF PLAN** 1/8" = 1'-0"

(M.E.) = MATCH EXISTING

THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF CORNERSTONE DESIGN/BUILD SERVICES, INC. ALTHOUGH A LOT OF CARE HAS GONE INTO THE PREPARATION OF THE DRAWINGS TO ENSURE THAT THEY ARE ERROR FREE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE DRAWINGS FOR ERRORS OR OMISSIONS AND TO ADAPT THEM TO ANY SITE CONDITIONS. WRITTEN DIMENSIONS ALWAYS HAVE PRECEDENCE OVER SCALED DIMENSIONS.  
 THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF HIS OR HER WORK. FINISH DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPLISHED BY HIM WITH THE INTENT OF THIS PROJECT.

REVISIONS			
NO.	DATE	BY	CHANGE

AN ADDITION /RENOVATION AND NEW DETACHED GARAGE FOR:  
**CABRAL RESIDENCE**  
 PROJECT LOCATION:  
 14 UNION STREET  
 BRISTOL, RHODE ISLAND

**CORNERSTONE**  
 DESIGN/BUILD SERVICES, INC.  
 538 WILBUR AVENUE  
 SUANSEA, MASSACHUSETTS 02771  
 TEL - (508)-679-2800  
 FAX - (508)-679-2600

SHEET TITLE:  
**SECOND FLOOR PLAN**

DRAWN BY: M.POTOCKI  
 REVIEWED BY:

CSTONE PROJECT #: 21503  
 DATE: 11 MAR 25  
 SCALE: AS NOTED

DRAWING NO.  
**A-4**





# Bristol Historic District Commission

Item 5.

## Application for Review of Proposed Work - Printable Application

HDC-25-27	Contributing	March 13, 2025
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**THIS DOCUMENT IS NOT A SUBSTITUTE FOR A BUILDING, ELECTRICAL, SIGN, MECHANICAL, DEMOLITION, SOLAR OR FENCE PERMIT APPLICATION. THESE PERMITS MUST BE APPLIED FOR AND APPROVED BY THE BRISTOL BUILDING DEPARTMENT BEFORE WORK CAN BEGIN.**

Project Address	Assessor's Plat	Assessor's Lot
23 Summer Street	15	50

Applicant	Applicant Phone	Applicant Email
Catherine Esselen	401-523-1379	cesselen@gmail.com

Property Owner (If Different from Applicant)	Owner Mailing Address

Architect/Engineer	A/E Phone Number	A/E Email
JHL Tecture	607-769-5807	jlusk@jhlteature.com

Contractor	Contractor Phone Number	Contractor Email

Work Category:	Addition to Structure(s)
----------------	--------------------------

Description of proposed work:

The scope of work will include the addition of a 355 SF second floor bedroom suite at the rear (north elevation) creating a second bedroom at the second floor to comfortably accommodate visiting family and guests.

The second floor gable roof is to be extended at the rear of the house, matching the existing pitch and materials of the existing roof. The existing shed dormer on the west elevation is to be extended providing adequate ceiling height in the new bedroom. The existing gable dormer on the eastern elevation is to be replaced with a new shed dormer mirroring the west shed dormer, giving a symmetrical, uniform, balanced appearance to the house while providing functional head height at the master suite, including the master bath, laundry room, and closet. The new shed dormer, replacing the gabled dormer is in keeping with the previously approved alterations at the western elevation as documented (see photo #5 of the southwest view of the house from 1996 on page EX1.02, as well as photo #6 of the south and west elevations from 1997 on page EX1.03), the existing gable dormer on the second floor of the west elevation was previously incorporated to the current shed dormer. The new s dormer will match in detail and material the existing west dormer. Both dormers will be clad with horizontal clapboard siding painted yellow, matching the existing siding of the house.

New windows being installed in the shed dormers will be Marvin Elevate series units, with Fibrex fiberglass exterior and wood interior, creating a sustainable, low maintenance, and premium energy performance. All window trim and details to be Accoya Pine wood, painted white to match the existing.

Existing condenser units located on the flat roof at the rear of the home servicing the second floor (see photo #7 on page EX1.03) are to be relocated to the rear of the new second floor addition, installed on a wall-mounted platform between the two new windows of the new bedroom and closet. This wall mounted platform will be enclosed by wood railings, giving the appearance of a balcony while hiding the condenser unit from view on all sides.

It is to be noted that the proposed addition and alterations will not increase or alter the lot coverage of the historic property and designed to be in context with the architectural character of the existing home.

#### Property History

**BENJAMIN THOMAS MUNRO HOUSE c. 1870:** This is a 3-bay, end-gable-roof, vernacular cottage with a full-width front porch.

#### Building Survey Data

RIHPHC ID #:	BRIS00486
HISTORIC NAME:	Munro, Benjamin Thomas House
ARCH. STYLE:	Greek Rev; Col.Rev. porch
ORIGINAL CONSTRUCTION DATE (est.):	1870 ca et seq

#### ALTERATIONS TO MAJOR ARCH. SINCE 1978 (Height, Massing, Wall Covering, Trim, Windows, Porches)

Wood clapboards and trim re-installed after aluminum siding removed. Large shed dormer on W roof w/7 vinyl 2/1 windows replaced an earlier, gable-roofed dormer with 1 DH window. Gable-roofed dormer on E roof has vinyl triple window with single-light casements or sliders.

Catherine Esselen

Applicant's Name – Printed

***John Lusk***

Applicant's Digital Signature

Date: March 13, 2025



# CAI Property Card

Town of Bristol, RI

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR	
<p><b>LOCATION:</b> 23 SUMMER ST  <b>ACRES:</b> 0.1253  <b>PARCEL ID:</b> 015-0050-000  <b>LAND USE CODE:</b> 01  <b>CONDO COMPLEX:</b>  <b>OWNER:</b> ESSELEN, GUSTAVUS J. IV TE  <b>CO - OWNER:</b> &amp; CATHERINE M.  <b>MAILING ADDRESS:</b> 23 SUMMER ST</p> <p><b>ZONING:</b> R-6  <b>PATRIOT ACCOUNT #:</b> 959</p>	<p><b>BUILDING STYLE:</b> Restored His  <b>UNITS:</b> 1  <b>YEAR BUILT:</b> 1862  <b>FRAME:</b> Wood Frame  <b>EXTERIOR WALL COVER:</b> Clapboard  <b>ROOF STYLE:</b> Gable  <b>ROOF COVER:</b> Asphalt Shin</p>	
	BUILDING INTERIOR	
<th data-bbox="82 678 966 720">SALE INFORMATION</th> <td data-bbox="966 558 1526 1314"> <p><b>INTERIOR WALL:</b> Plaster  <b>FLOOR COVER:</b> Hardwood  <b>HEAT TYPE:</b> Radiant Hot  <b>FUEL TYPE:</b> Oil  <b>PERCENT A/C:</b> False  <b># OF ROOMS:</b> 8  <b># OF BEDROOMS:</b> 4  <b># OF FULL BATHS:</b> 2  <b># OF HALF BATHS:</b> 0  <b># OF ADDITIONAL FIXTURES:</b> 1  <b># OF KITCHENS:</b> 1  <b># OF FIREPLACES:</b> 0  <b># OF METAL FIREPLACES:</b> 0  <b># OF BASEMENT GARAGES:</b> 0</p> </td>	SALE INFORMATION	<p><b>INTERIOR WALL:</b> Plaster  <b>FLOOR COVER:</b> Hardwood  <b>HEAT TYPE:</b> Radiant Hot  <b>FUEL TYPE:</b> Oil  <b>PERCENT A/C:</b> False  <b># OF ROOMS:</b> 8  <b># OF BEDROOMS:</b> 4  <b># OF FULL BATHS:</b> 2  <b># OF HALF BATHS:</b> 0  <b># OF ADDITIONAL FIXTURES:</b> 1  <b># OF KITCHENS:</b> 1  <b># OF FIREPLACES:</b> 0  <b># OF METAL FIREPLACES:</b> 0  <b># OF BASEMENT GARAGES:</b> 0</p>
<th data-bbox="82 915 966 957">PRINCIPAL BUILDING AREAS</th> <td data-bbox="966 1314 1526 1356"></td>	PRINCIPAL BUILDING AREAS	
<p><b>GROSS BUILDING AREA:</b> 3545  <b>FINISHED BUILDING AREA:</b> 2028  <b>BASEMENT AREA:</b> 1065  <b># OF PRINCIPAL BUILDINGS:</b> 1</p>		
<th data-bbox="82 1115 966 1157">ASSESSED VALUES</th> <td data-bbox="966 1398 1526 1440"></td>	ASSESSED VALUES	
<p><b>LAND:</b> \$209,300  <b>YARD:</b> \$1,300  <b>BUILDING:</b> \$413,300  <b>TOTAL:</b> \$623,900</p>		
SKETCH	PHOTO	



www.cai-tech.com

This information is believed to be correct but is subject to change and is not warranted.



# 200 feet Abutters List Report

Bristol, RI  
March 27, 2025

### Subject Property:

Parcel Number: 15-50  
CAMA Number: 15-50  
Property Address: 23 SUMMER ST

Mailing Address: ESSELEN, GUSTAVUS J. IV TE &  
CATHERINE M.  
23 SUMMER ST  
BRISTOL, RI 02809

### Abutters:

Parcel Number: 15-43  
CAMA Number: 15-43  
Property Address: 42 UNION ST

Mailing Address: AVERILL, PAYSON, C. KIMBERLY E. TE  
42 UNION ST  
BRISTOL, RI 02809

Parcel Number: 15-44  
CAMA Number: 15-44  
Property Address: 31 NOYES AVE

Mailing Address: STILWELL, CHRISTINE B. (SOLE  
OWNER)  
31 NOYES AVENUE  
BRISTOL, RI 02809

Parcel Number: 15-45  
CAMA Number: 15-45  
Property Address: 38 UNION ST

Mailing Address: WARDWELL, WILLIAM A JR  
38 UNION ST.  
BRISTOL, RI 02809

Parcel Number: 15-46  
CAMA Number: 15-46  
Property Address: 30 UNION ST

Mailing Address: CLAIR, BRADFORD J & KAREN M TE  
30 UNION ST  
BRISTOL, RI 02809

Parcel Number: 15-47  
CAMA Number: 15-47  
Property Address: 29 NOYES AVE

Mailing Address: DAVIS, JAMES F. & DAVIS, VIRGINIA C.  
&  
51 BRADFORD ST, Unit 1  
BRISTOL, RI 02809

Parcel Number: 15-48  
CAMA Number: 15-48  
Property Address: 29 SUMMER ST

Mailing Address: HANSON, WADE R  
29 SUMMER ST  
BRISTOL, RI 02809

Parcel Number: 15-49  
CAMA Number: 15-49  
Property Address: 25 SUMMER ST

Mailing Address: BAKER, JOHN LINDA  
25 SUMMER ST  
BRISTOL, RI 02809

Parcel Number: 15-51  
CAMA Number: 15-51  
Property Address: 19 SUMMER ST

Mailing Address: BERG, KEITH N. & AMY V. TRUSTEES  
19 SUMMER ST  
BRISTOL, RI 02809

Parcel Number: 15-52  
CAMA Number: 15-52  
Property Address: 14 UNION ST

Mailing Address: CABRAL, LOUIS A & GREENWELL, JOAN  
F TE  
14 UNION ST  
BRISTOL, RI 02809

Parcel Number: 15-53  
CAMA Number: 15-53  
Property Address: 220 HOPE ST

Mailing Address: TANSEY, CHARLES D.  
220 HOPE ST  
BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.



# 200 feet Abutters List Report

Bristol, RI  
March 27, 2025

Parcel Number: 15-54 CAMA Number: 15-54 Property Address: 218 HOPE ST	Mailing Address: AGUIAR, ALMERINDA 218 HOPE ST BRISTOL, RI 02809
Parcel Number: 15-55 CAMA Number: 15-55 Property Address: 212 HOPE ST	Mailing Address: CORTELLESSA, JOSEPH M. & CORTELLESSA, LORANINE A. & 208 HOPE ST BRISTOL, RI 02809
Parcel Number: 15-56 CAMA Number: 15-56 Property Address: 208 HOPE ST	Mailing Address: CORTELLESSA, JOSEPH M. & CORTELLESSA, LORRAINE A. & 208 HOPE ST BRISTOL, RI 02809
Parcel Number: 15-61 CAMA Number: 15-61 Property Address: 27 NOYES AVE	Mailing Address: PACHECO, JASON D 27 NOYES AVE BRISTOL, RI 02809
Parcel Number: 15-62 CAMA Number: 15-62 Property Address: 25 NOYES AVE	Mailing Address: GUILD, MITCHELL A & JUDITH TE 25 NOYES AVE BRISTOL, RI 02809
Parcel Number: 15-63 CAMA Number: 15-63 Property Address: 23 NOYES AVE	Mailing Address: FERRATO, JAMES D. & FERRATO, PAULA TRUSTEES (1/2) TC 23 NOYES AVE BRISTOL, RI 02809
Parcel Number: 15-64 CAMA Number: 15-64 Property Address: 30 SUMMER ST	Mailing Address: LEVY, MARK L & KEATING, CELINE M TE 697 WEST END AVE, APT. 5-D NEW YORK, NY 10025
Parcel Number: 15-65 CAMA Number: 15-65 Property Address: 26 SUMMER ST	Mailing Address: BURKE, CHARLES A. ET AL MARI-LYNN MAURER JT 26 SUMMER ST. BRISTOL, RI 02809
Parcel Number: 15-66 CAMA Number: 15-66 Property Address: 202 HOPE ST	Mailing Address: VANDEVENTER, BRENDAN P & MONICA R TE 202 HOPE ST BRISTOL, RI 02809
Parcel Number: 15-76 CAMA Number: 15-76 Property Address: 11 NOYES AVE	Mailing Address: READ, CLARA E & HURD, JAY B - TRUSTEES CLARA E READ & JAY B HURD TRUST 11 NOYES AVE BRISTOL, RI 02809
Parcel Number: 15-79 CAMA Number: 15-79 Property Address: 15 BURTON ST	Mailing Address: DAWSON, THOMAS A & LEE H TE 4 JAMIE LANE HOPKINTON, MA 01748
Parcel Number: 15-80 CAMA Number: 15-80 Property Address: 11 BURTON ST	Mailing Address: FORD, DAVID STRATTON, NANCY ETUX 11 BURTON ST BRISTOL, RI 02809



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# 200 feet Abutters List Report

Bristol, RI  
March 27, 2025

Parcel Number: 15-81  
CAMA Number: 15-81  
Property Address: 190 HOPE ST

Mailing Address: STERLING, CAROL A. & ROBERT F. TE  
190 HOPE ST  
BRISTOL, RI 02809

Parcel Number: 15-85  
CAMA Number: 15-85  
Property Address: HOPE ST

Mailing Address: STERLING, CAROL A. & ROBERT F. TE  
190 HOPE ST  
BRISTOL, RI 02809

Parcel Number: 15-89  
CAMA Number: 15-89  
Property Address: NOYES AVE

Mailing Address: FORD, DAVID STRATTON, NANCY ETUX  
11 BURTON ST  
BRISTOL, RI 02809

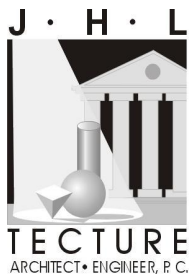
Parcel Number: 15-94  
CAMA Number: 15-94  
Property Address: 10 SUMMER ST

Mailing Address: SCHWENGEL, ROBERT H & ELIZABETH  
N TRUSTEES  
10 SUMMER ST  
BRISTOL, RI 02809



[www.cai-tech.com](http://www.cai-tech.com)

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**190 High Street, Bristol, Rhode Island 02809**

Phone: (301) 396-9630 Fax: (401) 410-0079

March 13, 2025  
Nicholas Toth, Historic District Commission Coordinator  
Historic District Commission  
235 High Street  
Bristol, RI, 02809

Dear Nicholas Toth & Historic District Commission:

On behalf of our clients Catherine and Jack Esselen, JHL is pleased to submit our plans for 23 Summer Street (Plat 15, Lot 50) to the Bristol Historic District Commission for review to obtain a Certificate of Appropriateness.

The scope of work will include the addition of a 355 SF second floor bedroom suite at the rear (north elevation) creating a second bedroom at the second floor to comfortably accommodate visiting family and guests.

The second floor gable roof is to be extended at the rear of the house, matching the existing pitch and materials of the existing roof. The existing shed dormer on the west elevation is to be extended providing adequate ceiling height in the new bedroom. The existing gable dormer on the eastern elevation is to be replaced with a new shed dormer mirroring the west shed dormer, giving a symmetrical, uniform, balanced appearance to the house while providing functional head height at the master suite, including the master bath, laundry room, and closet. The new shed dormer, replacing the gabled dormer is in keeping with the previously approved alterations at the western elevation as documented (see photo #5 of the southwest view of the house from 1996 on page EX1.02, as well as photo #6 of the south and west elevations from 1997 on page EX1.03), the existing gable dormer on the second floor of the west elevation was previously incorporated to the current shed dormer. The new shed dormer will match in detail and material the existing west dormer. Both dormers will be clad with horizontal clapboard siding painted yellow, matching the existing siding of the house.

New windows being installed in the shed dormers will be Marvin Elevate series units, with Fibrex fiberglass exterior and wood interior creating a sustainable, low maintenance, and premium energy performance. All window trim and details to be Accoya Pine wood, painted white to match the existing.

Existing condenser units located on the flat roof at the rear of the home servicing the second floor (see photo #7 on page EX1.03) are to be relocated to the rear of the new second floor addition, installed on a wall-mounted platform between the two new windows of the new bedroom and closet. This wall mounted platform will be enclosed by wood railings, giving the appearance of a balcony while hiding the condenser unit from view on all sides.

It is to be noted that the proposed addition and alterations will not increase or alter the lot coverage of the historic property and designed to be in context with the architectural character of the existing home.

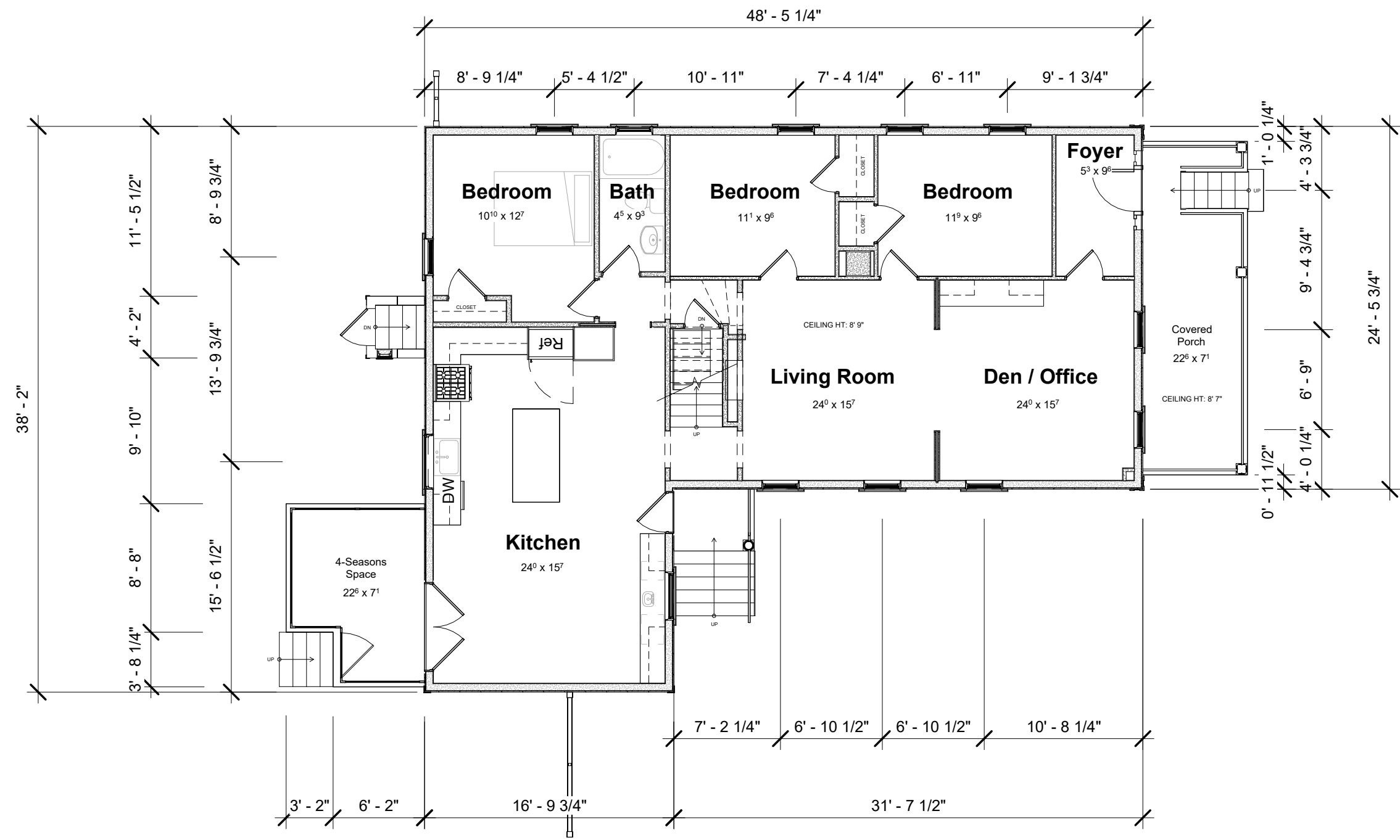
Based on the proposed addition, alterations, and improvements to the historic home, we respectfully ask for the commission's consideration and approval of the attached plans for 23 Summer Street, including granting of a Certificate of Appropriateness.

Sincerely,

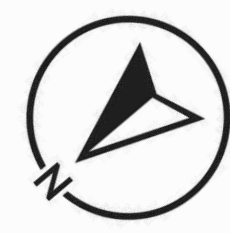
A handwritten signature in black ink that reads "John Lusk". The signature is written in a cursive style with a long horizontal flourish extending to the right.

John Lusk  
JHL Tecture

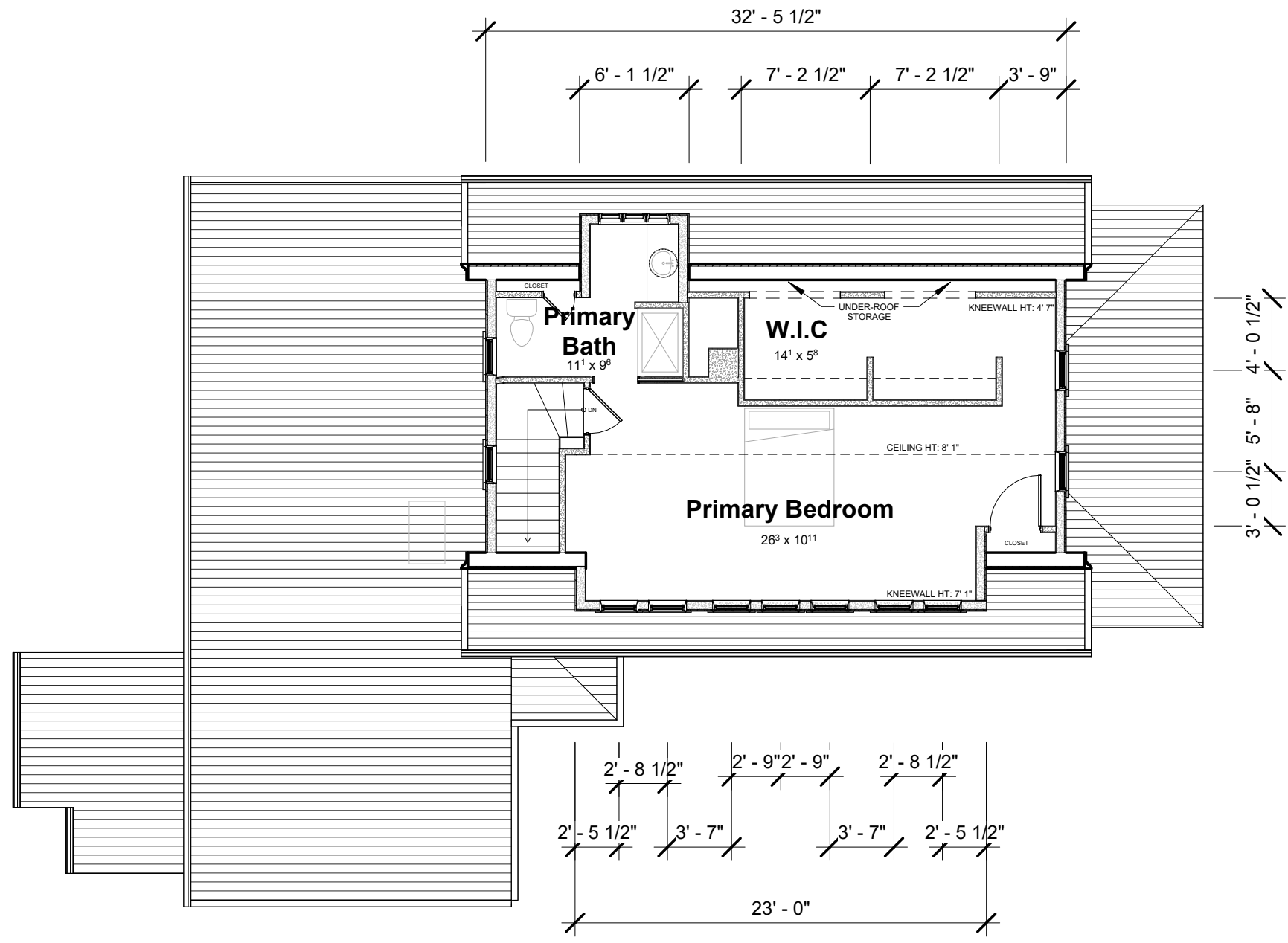




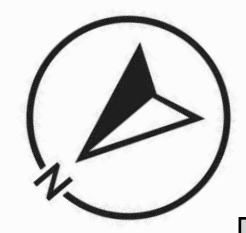
1 Existing First Floor  
1/8" = 1'-0"



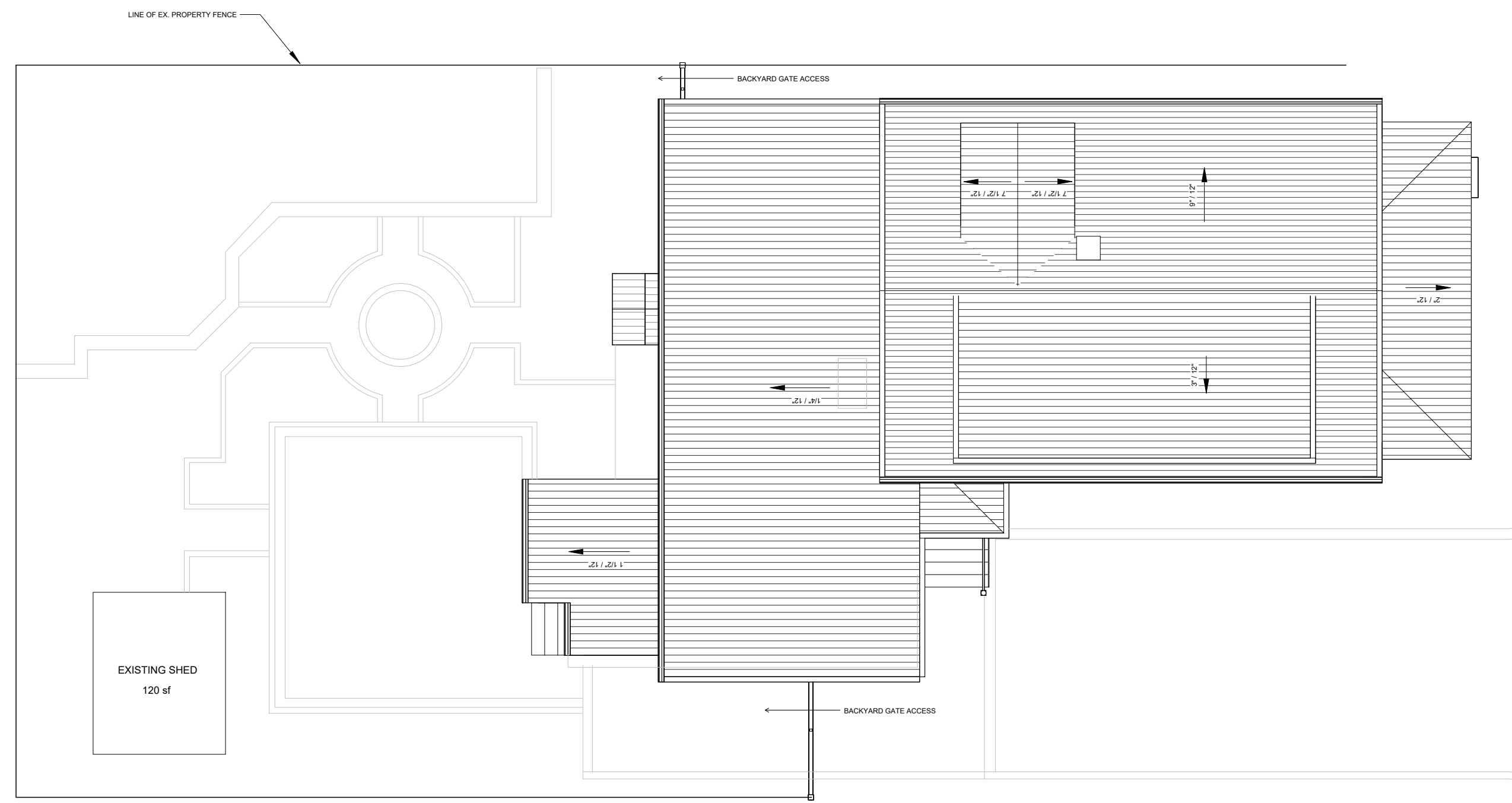
<p><b>GENERAL NOTES:</b></p> <ol style="list-style-type: none"> <li>DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.</li> <li>Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.</li> <li>The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.</li> <li>Large scale plans of details shall take precedence over smaller scale drawings.</li> <li>All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.</li> <li>All work to be performed and inspected as required by the local governing code enforcement office.</li> <li>All work is to be installed in accordance with manufacturer's recommendations and specifications.</li> </ol>	<p><b>J · H · L</b></p> <p><b>TECTURE</b> ARCHITECT • ENGINEER, P.C.</p> <p><small>150 HIGH STREET • BRISTOL, RI 02809 401.396.9630 • Fax 401.410.0079</small></p>	<p><b>ISSUED FOR:</b> HDC REVIEW</p> <p><b>NOT APPROVED</b></p> <p>THESE DRAWINGS ARE FOR REVIEW AND APPROVAL BY A HISTORIC DISTRICT AND IS SUBJECT TO REVISIONS UNTIL ALL APPROVALS ARE OBTAINED AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.</p>	<p><b>PROPOSED NEW BUILDING FOR:</b></p> <p><b>Esselen Residence Renovation</b></p> <p><b>23 Summer Street, Bristol, RI 02809</b></p>	<p>DRAWING NAME: <b>EXISTING FIRST FLOOR PLAN</b></p> <p>ISSUE DATE: DATE-MARCH 13, 2025 SCALE: 1/8" = 1'-0" DRAWN BY: JHL</p> <p>PROJECT NUMBER: <b>7487</b></p> <p>DRAWING NUMBER: <b>A0.01</b></p>
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1 Second Floor  
1/8" = 1'-0"

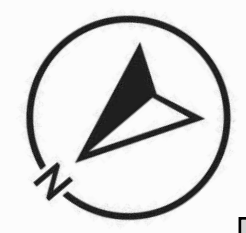


<p><b>GENERAL NOTES:</b></p> <ol style="list-style-type: none"> <li>DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.</li> <li>Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.</li> <li>The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.</li> <li>Large scale plans of details shall take precedence over smaller scale drawings.</li> <li>All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.</li> <li>All work to be performed and inspected as required by the local governing code enforcement office.</li> <li>All work is to be installed in accordance with manufacturer's recommendations and specifications.</li> </ol>	<p><b>J · H · L</b></p> <p><b>TECTURE</b> ARCHITECT • ENGINEER, P.C.</p> <p><small>150 HIGH STREET • BRISTOL, RI 02809 401.396.9630 • Fax 401.410.0079</small></p>	<p><b>ISSUED FOR:</b> HDC REVIEW</p> <p><b>NOT APPROVED</b></p> <p>THESE DRAWINGS ARE FOR REVIEW AND APPROVAL BY A HISTORIC DISTRICT AND IS SUBJECT TO REVISIONS UNTIL ALL APPROVALS ARE OBTAINED AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.</p>	<p><b>PROPOSED NEW BUILDING FOR:</b></p> <p><b>Esselen Residence Renovation</b></p> <p><b>23 Summer Street, Bristol, RI 02809</b></p>	<p>DRAWING NAME: <b>EXISTING SECOND FLOOR PLAN</b></p> <p>ISSUE DATE: DATE-MARCH 13, 2025 SCALE: 1/8" = 1'-0" DRAWN BY: JHL</p> <p>PROJECT NUMBER: <b>7487</b></p> <p>DRAWING NUMBER: <b>A0.02</b></p>
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SUMMER STREET

1 Roof Plan  
1/8" = 1'-0"



<p><b>GENERAL NOTES:</b></p> <ol style="list-style-type: none"> <li>DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.</li> <li>Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.</li> <li>The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.</li> <li>Large scale plans of details shall take precedence over smaller scale drawings.</li> <li>All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.</li> <li>All work to be performed and inspected as required by the local governing code enforcement office.</li> <li>All work is to be installed in accordance with manufacturer's recommendations and specifications.</li> </ol>	<p><b>J · H · L</b></p> <p><b>TECTURE</b> ARCHITECT • ENGINEER, P.C.</p> <p>150 HIGH STREET • BRISTOL, RI 02809 401.396.9630 • Fax 401.410.0079</p>	<p><b>ISSUED FOR:</b> HDC REVIEW</p> <p>NOT APPROVED</p> <p>THESE DRAWINGS ARE FOR REVIEW AND APPROVAL BY A HISTORIC DISTRICT AND IS SUBJECT TO REVISIONS UNTIL ALL APPROVALS ARE OBTAINED AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.</p>	<p><b>PROPOSED NEW BUILDING FOR:</b></p> <p><b>Esselen Residence Renovation</b></p> <p><b>23 Summer Street, Bristol, RI 02809</b></p>	<p>DRAWING NAME: <b>EXISTING ROOF PLAN</b></p> <p>ISSUE DATE: DATE-MARCH 13, 2025 SCALE: 1/8" = 1'-0" DRAWN BY: JHL</p> <p>PROJECT NUMBER: <b>7487</b></p> <p>DRAWING NUMBER: <b>A0.03</b></p>
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① Existing South Elevation  
1/8" = 1'-0"



② Existing West Elevation  
1/8" = 1'-0"

<p><b>GENERAL NOTES:</b></p> <ol style="list-style-type: none"> <li>DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.</li> <li>Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.</li> <li>The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.</li> <li>Large scale plans of details shall take precedence over smaller scale drawings.</li> <li>All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.</li> <li>All work to be performed and inspected as required by the local governing code enforcement office.</li> <li>All work is to be installed in accordance with manufacturer's recommendations and specifications.</li> </ol>	<p><b>J · H · L</b></p> <p><b>TECTURE</b> ARCHITECT + ENGINEER, P.C.</p> <p>150 HIGH STREET • BRISTOL, RI 02809 401.398.8930 • Fax 401.410.0078</p>	<p><b>ISSUED FOR:</b> HDC REVIEW</p> <p>NOT APPROVED</p> <p>THESE DRAWINGS ARE FOR REVIEW AND APPROVAL BY A HISTORIC DISTRICT AND IS SUBJECT TO REVISIONS UNTIL ALL APPROVALS ARE OBTAINED AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.</p>	<p><b>PROPOSED NEW BUILDING FOR:</b></p> <p><b>Esselen Residence Renovation</b></p> <p><b>23 Summer Street, Bristol, RI 02809</b></p>	<p>DRAWING NAME: <b>EXISTING ELEVATIONS 1</b></p> <p>ISSUE DATE: DATE: MARCH 13, 2025 SCALE: 1/8" = 1'-0" DRAWN BY: JHL</p> <p>PROJECT NUMBER: <b>7487</b></p> <p>DRAWING NUMBER: <b>A0.04</b></p>
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① Existing North Elevation  
1/8" = 1'-0"



② Existing East Elevation  
1/8" = 1'-0"

**GENERAL NOTES:**

- DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.
- Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.
- The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.
- Large scale plans of details shall take precedence over smaller scale drawings.
- All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.
- All work to be performed and inspected as required by the local governing code enforcement office.
- All work is to be installed in accordance with manufacturer's recommendations and specifications.



**ISSUED FOR:**  
HDC REVIEW

NOT APPROVED

THESE DRAWINGS ARE FOR REVIEW AND APPROVAL BY A HISTORIC DISTRICT AND IS SUBJECT TO REVISIONS UNTIL ALL APPROVALS ARE OBTAINED AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.

**PROPOSED NEW BUILDING FOR:**

**Esselen Residence Renovation**

**23 Summer Street, Bristol, RI 02809**

DRAWING NAME:  
**EXISTING ELEVATIONS 2**

ISSUE DATE: DATE: MARCH 13, 2025  
SCALE: 1/8" = 1'-0"  
DRAWN BY: JHL

PROJECT NUMBER: **7487**

DRAWING NUMBER:  
**A0.05**

# 23 Summer Street, Product Info & Photos

## Roofing – GAF Shingle Products

### Specifications

(All Dimensions Are Nominal)

<b>Pieces/Square</b>	<b>79</b>
<b>Bundles/Square</b>	<b>3</b>
<b>Nails/Square<sup>1</sup></b>	<b>316</b>
<b>Exposure</b>	<b>5" (127 mm)</b>
<b>Dimensions</b>	<b>12"x 36" (English); 13 1/4"x 39 3/8" (Metric)</b>

### Applicable Standards & Protocols

- Fire - UL Listed to ANSI/UL 790 Class A
- Wind - ASTM D7158, Class H
- Wind - ASTM D3161, Class F
- National - ASTM D3018, Type 1
- National - ASTM D3462\*\*
- National - Classified in accordance with ICC-ES AC438
- Regional - Miami-Dade County Product Control Approved\*\*\*
- Regional - State of Florida Approved
- Regional - Texas Department of Insurance Listed
- Regional - ICC-ES ESR- 1475\*\*\*\*
- Regional - ICC-ES ESR- 3267

**Royal Sovereign**

Weathered Gray



## PRODUCT INFORMATION SHEET

### Royal Sovereign® Shingles

English: (12" X 36" Shingles)

Beauty And Performance Meet Affordability



## PRODUCT INFORMATION

*"Professional contractors depend on Royal Sovereign® Shingles"*

### Royal Sovereign® Shingles Offer You These Great Benefits:

- **Proven Quality** . . . Over 10 billion Royal Sovereign® Shingles have been installed in North America—enough to circle the Earth more than 200 times if they were laid end to end!
- **Advanced Protection® Shingle Technology** . . . Reduces the use of precious natural resources while providing excellent protection for your home (visit [gaf.com/aps](http://gaf.com/aps) to learn more)
- **Looks Great** . . . Color Lock™ Ceramic Firing (granules) helps maintain the true shingle color
- **Excellent Wind Performance** Meets ASTM D3161, Class F and ASTM 7158, Class H — the highest wind ratings possible under these test methods
- **Excellent Performance** . . . Extra-strong Micro Weave™ Core provides long life and durability
- **Highest Fire Rating** . . . Class A fire rating from Underwriters Laboratories
- **Great For Resale** . . . A new roof may increase your home's resale value
- **Peace Of Mind** . . . 25-year ltd. transferable warranty with SmartChoice® Protection (non-prorated material and installation labor coverage) for the first five years<sup>1</sup>

<sup>1</sup>See *GAF Shingle & Accessory Ltd. Warranty* for complete coverage and restrictions.

## COLORS/AVAILABILITY

- **COLORS:** Ash Brown, Autumn Brown, Charcoal, Cypress Tan, Golden Cedar, Nickel Gray, Russet Red, Sandrift, Silver Lining, Slate, Summer Sage, Weathered Gray, and White
- **REGIONAL AVAILABILITY:**<sup>2</sup> Northeast, Southeast, Southwest, and Central Areas

<sup>2</sup>See [http://www.gaf.com/Roofing/Residential/Products/Shingles/3\\_Tab/Royal\\_Sovereign](http://www.gaf.com/Roofing/Residential/Products/Shingles/3_Tab/Royal_Sovereign) for color availability in your area



## APPLICABLE STANDARDS & PROTOCOLS

- UL 790, Class A
- Miami-Dade County Product Control Approved 12-1127.03
- Florida Building Code Approved FL10124-R12
- UL 997 modified to 110 mph
- ASTM D7158, Class H
- ASTM D3161, Class F
- ASTM D3018, Type 1
- ASTM D3462
- ICC ESR-1475, ESR-3267\*
- Texas Department of Insurance

Effective 7/1/08, existing NYC MEA's may be used but are no longer required.

\*Obtained ESR 3267 evaluation from ICC Evaluation Services based on compliance with the requirements of AC438, an acceptance criteria established by ICC Evaluation Services to evaluate asphalt shingles that contains performance tests in addition to those required by the building code. (ICC Evaluation Services provides technical evaluations of building products that directly address the issue of code compliance. Building inspectors use these evaluation reports to help determine code compliance and enforce building regulations.)

\*\*When installed properly, this product will help reduce energy costs. Actual savings will vary based on geographic location and individual building characteristics. For more information, contact GAF Technical Services at 1-800-ROOF-411, visit [gaf.com](http://gaf.com), or call 1-888-STAR-YES.

## PRODUCT/SYSTEM SPECIFICS†

- Fiberglass Asphalt Construction
- Dimensions (approx.): 12" x 36"
- Exposure: 5"
- Bundles/Square: 3
- Pieces/Square: 79
- Nails/Square: 316 (474 where 6 nails per shingle is required)††
- StainGuard® Protection: Yes (Location dependent; contact Technical Services at 800.766.3411)
- Ridge Cap: Royal Sovereign® Shingle
- Starter: Pro-Start®; WeatherBlocker™

†Refer to complete published installation instructions.

††Required by some local codes.

## INSTALLATION

Detailed installation instructions are provided on the inside of each bundle wrapper of Royal Sovereign® Shingles. Installation instructions may also be obtained at [www.gaf.com](http://www.gaf.com).

# Windows – Marvin Windows & Doors

## Marvin Elevate

### Double Hung Windows

Ultrex Fiberglass Exterior (Stone White)/ Pine Wood Interior (Painted White)



\*Will be 6x6 True Divided Lites

## Unit Features

Elevate Double Hung: ELDH

Elevate Double Hung Picture: ELDH P

Elevate Double Hung Transom: ELDH TR

Elevate Double Hung IZ3: ELDH IZ3

Elevate Double Hung Picture IZ3: ELDH P IZ3

For applicable certification and code information, refer to the Introduction and Product Performance chapter.

### Frame and Sash:

- The frame and sash exteriors are made of Ultrex® and meets all the requirements of AAMA 624-10.
- Exterior colors: Stone White, Pebble Gray, Bronze, Cashmere, Gunmetal, or Ebony. Frame and sash color may be selected independently.
- The interior is non finger-jointed pine, kiln dried to a moisture content of 6-12% at time of fabrication. Water-repellent, preservative treated.
- Interior wood is available as Pine bare wood or factory-applied white, clear, and designer black interior finish. Frame and sash color may be selected independently.

#### Frame:

- Composite frame thickness is 1 9/16", (40). Frame width is 4 9/16", (116). Flat bottom sill with 13 degree bevel. Non finger-jointed pine interior frame liner is applied to all units. Ultrex is .075" (2) thick.

#### Sash:

- Composite sash thickness is 1 17/32" (39). Ultrex is .070" (2) thick.

### Jamb Extension:

- Extension Thickness: 9/16" (14)
- Multiple depths available from 1/8" (3), 1/4"(6), and depths varying between 1/2"(13) and 4"(102) at 1/16" (2) increments
- Maximum jamb depth is 8 9/16". (217)
- 6 13/16" (173) or 6 13/16" (173) jamb extension - factory-applied
- All other jamb depth options are available shipped loose.
- Material: Bare Pine
- Option: factory applied white, designer black and clear lacquer interior finish

### Hardware:

- The balance system is a coil spring block and tackle system, with nylon cord and zinc locking shoe.
- Both sash tilt into the room for cleaning or removal for painting without removing the screen.
- High-pressure zinc die cast check rail lock and keeper.
- Lock employs a cam-lock mechanism.
  - Color: Almond Frost, White, or Matte Black. Optional Bright Brass, Oil Rubbed Bronze, and Satin Nickel.
- Each sash employs spring loaded tilt latches to allow for easy tilting or sash.
- On IZ3 units CN32 widths and wider, two locks are mounted.
- Optional factory applied Window Opening Control Device is available on all sizes. A system consisting of an acetal lever housed in an acetal shell on each stile of the top sash. This device works in accordance to ASTM F2090-10 standard specification for window fall prevention devices with emergency escape.
  - Color: White, Beige, and Black.

### Installation:

- Factory applied folding nailing fin and drip cap system
  - Optional installation brackets for masonry available
  - Optional through jamb installation method with brackets
  - Factory supplied field mulling kits are available for standard assemblies, or 30° and 45° Bay assemblies.
- Recommended method for IZ3 glazed units is installation clips and nailing fin.

## Unit Features Continued

### Glazing:

- Dual-pane units are manufactured with an 11/16" (17) IG with Low E1, E2, E3, or E3/ERS coatings including argon gas or air fill. Clear (uncoated) glass available with air fill only.
  - Tripane not available.
- Tempered glass and/or obscure glass, and California Fire glass (annealed exterior and tempered interior glazing configuration) are available as an option.
- The glazing seal is a silicone bedding on both interior and exterior surfaces utilized in a sandwich style sash.
- STC/OITC values are available for standard 3.1 mm glass thickness.
  - Optional 3.1/4.7 STC/OITC Upgrade glass is available. See the Product Performance chapter for STC and OITC ratings.
- Decorative glass options include glue chip, rain, reed, narrow reed, frost, and tinted (bronze, gray, or green). Decorative glass is not available with Low E1, Low E3/ERS or STC/OITC Upgrade options.

### IZ3 Glazing:

- Optional IZ3 available on selected sizes.
  - IZ3 for winds up to 140 miles per hour.
- Glass is laminated insulated Low E2 or E3 Argon, consisting of annealed or tempered glass exterior and laminated glass interior.
- The laminated glass is comprised of two pieces of glass with either a SGP or PVB laminate layer between.
  - Interior and exterior glazing compound is silicone, in a sandwich style glazing system.

### Weather Strip:

- All units are dual weather stripped.
- All weather strip is beige, black, or white in color.
- Jamb weather strip is a robust foam weather strip that is inserted into a rigid vinyl jamb carrier and used to seal sash to jambs. An additional jamb weather strip is inserted into Ultrex/wood and seals bottom sash to jamb.
- Parting stop is vinyl with a flexible leaf to seal between the header and the upper sash.
- Check rail weather strip is a hollow bulb weather strip attached to bottom of sash.
- Flat foam gasket is used between the jamb and sill.
- Picture and transom units is a hollow bulb weather strip that is inserted into rigid vinyl jamb carrier and head jamb carrier to seal sash. Operator units have a hollow-bulb bottom rail weather strip that seals against the sill.

### Screen:

- Full screen is standard. Half-screen option is available.
- Screen Frame: Aluminum Screen Frame. Option: None
  - Color to match exterior frame color
- Marvin BrightView™, Options: None.
- Spring loaded pins for installation.
- A screen cross bar will be added when Frame OM (height) is equal to or greater than 47 1/2" (1207).

### Interior Jamb Cap:

- Units with Designer Black or White interior finishes are assembled with Interior Jamb Caps and use Jamb Liners with kerfs on the jambs and head jamb.
- Interior Jamb Caps are color matched to the interior finish.

## Unit Features Continued

### Interior / Exterior Simulated Divided Lites (SDL):

- Interior bar: 7/8" (22) wide bars
  - Pine bare wood with optional white, clear, or designer black interior finish
- Exterior bar: 7/8" (22) wide bars Ultrex, finish to match exterior
  - Patterns available: Rectangle, Cottage style cut, 9 lite Prairie cut or 6 lite Prairie for top sash, bottom sash, or both.
- ELDHP Only: Simulated check rail option: 2 11/32" (60).
  - Patterns available: simulated rail in standard center or customer specified location with 7/8" (22) patterns above, below or both in patterns of rectangular equal lite or prairie lite cut.
- SDL is unavailable with rain, reed, and narrow reed decorative glass patterns. Glue chip pattern requires tempered glass. Available for tinted glass without spacer bars only.

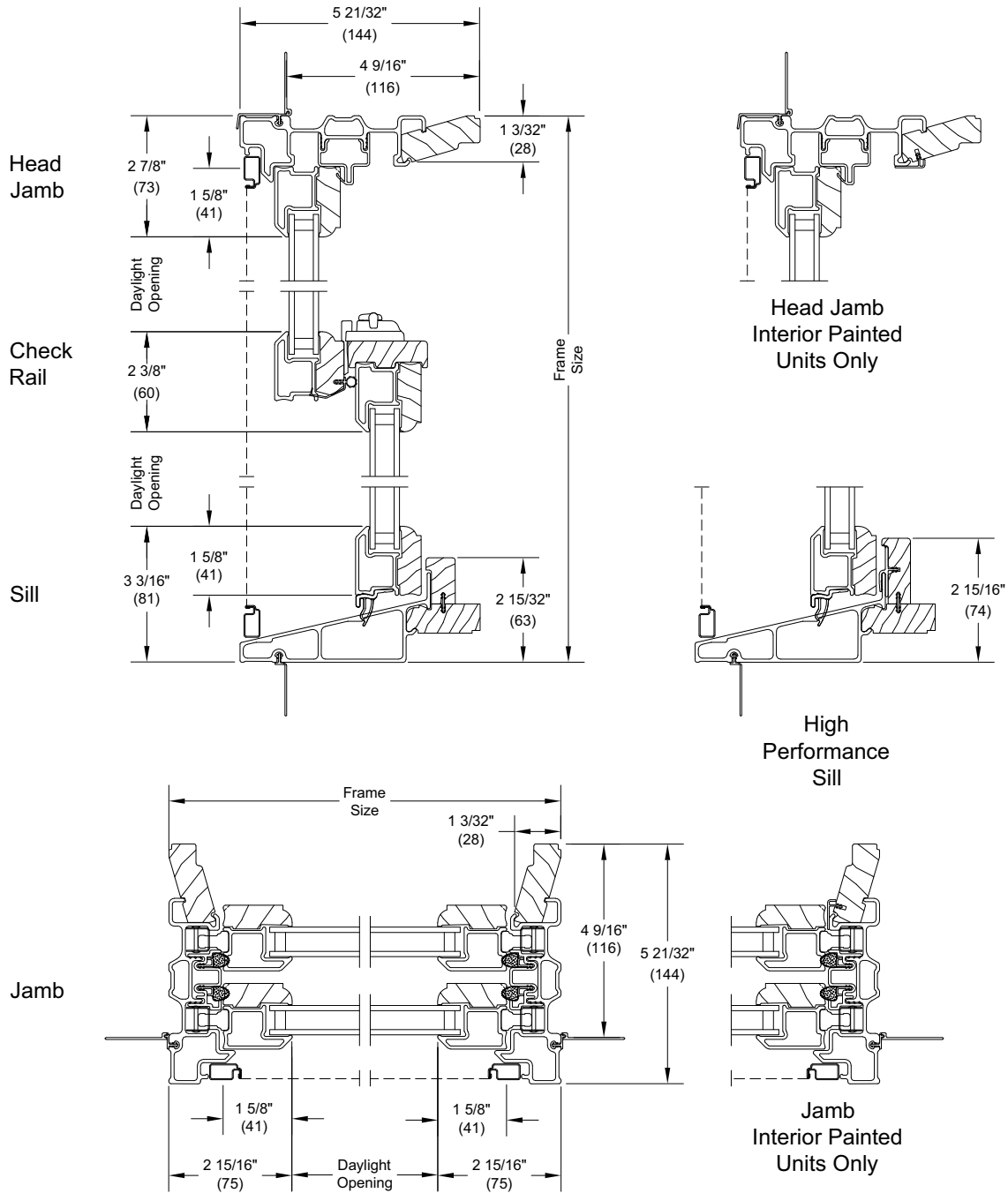
### Grilles-Between-The-Glass (GBG):

- 23/32" (18) contoured aluminum bar placed between two panes of glass
- Pattern: Standard rectangular pattern, 6 or 9 lite Prairie cut, or Cottage style cut
  - Exterior colors: Stone White, Pebble Gray, Bronze, Cashmere, Gunmetal, or Ebony
  - Interior Colors: White, Bronze or Black
- GBGs are not available on IZ3 units or tinted glass.

*NOTE: Direct Glaze Round Top with GBG or SDL will only align with the default lite cut of the unit it is intended to be milled with.  
NFRC values are now located on [www.marvin.com](http://www.marvin.com).*

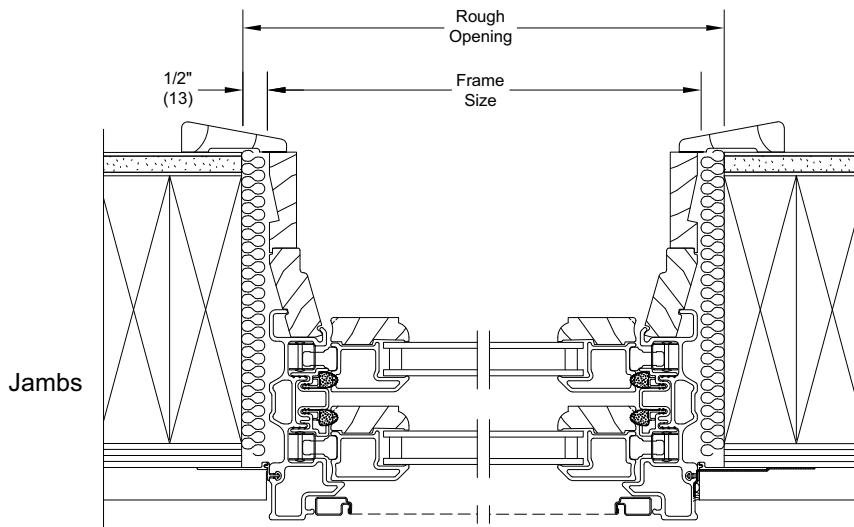
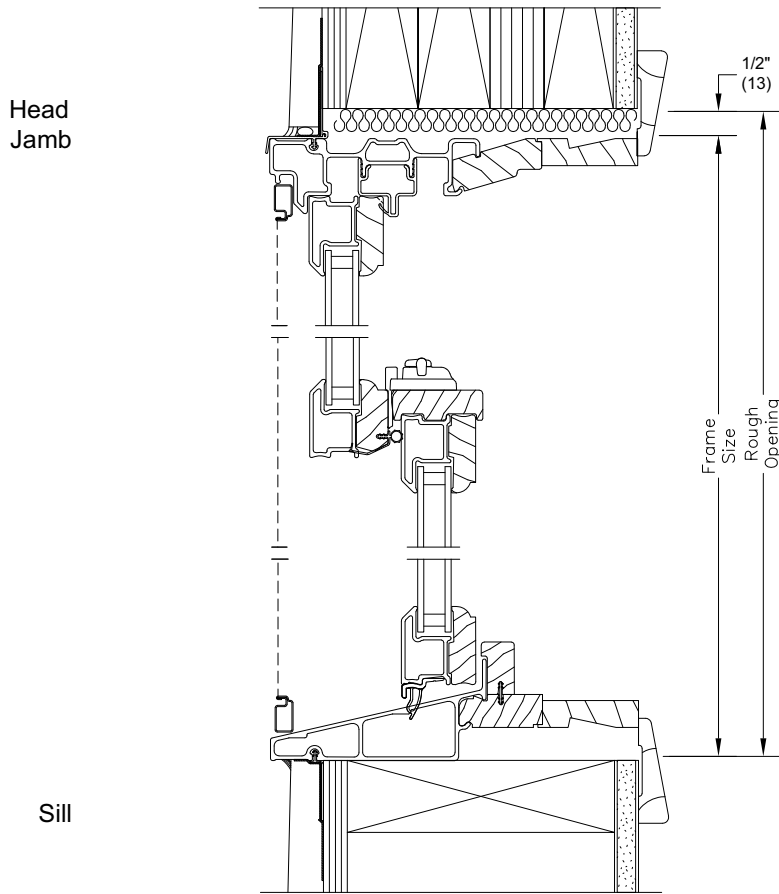
**Section Details: Operating - Double Hung (4 9/16" Jamb)**

Scale: 3" = 1' 0"



**Section Details: Installation Suggestion - Wood Siding With 2x6 Frame Construction**

Scale: 1 1/2" - 1' 0"



**NOTES:**

- The above wall sections represent typical wall conditions, these details are not intended as installation instructions. Please refer to the installation instructions provided with the purchased units.
- Picture unit installation similar. Picture units may require both nailing fin and installation brackets.
- Double Hung unit shown with jamb extension.

**Trim & Details – Accoya Wood**

Pine Wood (Painted White)







# Accoya® wood DATA SHEET

Accoya is a modified wood that sets the benchmark for wood performance, finish and sustainability. Through extensive testing and use in applications worldwide, it's proven to outperform the competition.

### Key features

Accoya wood is produced from sustainably sourced, fast growing wood and manufactured using Accsys' proprietary patented acetylation process from surface to core.

 HIGHLY STABLE	 HIGHLY DURABLE	 IDEAL FOR COATING
 EXCELLENT MACHINABILITY	 BAREFOOT FRIENDLY	 NON TOXIC
 UP TO 50 YEAR WARRANTY	 INSECT RESISTANT	 LOW MAINTENANCE
 SUSTAINABLY SOURCED	 NATURAL WOOD	 100% RECYCLABLE

### Approved Manufacturer Training Program

Accsys provides a training program for manufacturers of Accoya products. We strongly encourage all manufacturers using Accoya to participate. Contact your local Accoya representative for more information.

### Standard lengths & grades

**8', 10', 12', 14', 16'**

- > All A1 dimensions are actual rough sawn.
- > A1p is surfaced on 2 sides.
- > Companies processing Accoya can supply a wide range of standard and custom profiles from boards.
- > The sizes and grades produced at the Accoya production plant in Tennessee are summarized below:

### Standard dimensions & grades

Thickness	Widths				Grades
	4"	5"	6"	8"	
7/8			✓	✓	A1p
4/4	✓	✓	✓	✓	A1
5/4			✓	✓	A1
6/4			✓	✓	A1
8/4	✓	✓	✓	✓	A1

Material	
100% Solid Accoya wood	
Durability	
AWPA E7 & E10, Average rating > 9. Accoya is an effective barrier against a broad spectrum of wood-destroying organisms. Rigorous testing in the lab as well as in prone settings like the Southeast US, Australia, Japan and New Zealand confirm this.	
Equilibrium Moisture Content	
3–5 % at 65% relative humidity, 68°F	
Density	
Average 32 pcf at 65% RH, 68°F, Range 27 to 37 pcf	
Shrinkage	
<b>WET – 65% RH / 68°F*</b>	<b>WET – Oven Dry*</b>
Radial – 0.4%	Radial – 0.7%
Tangential – 0.8%	Tangential – 1.5%
*Average Values	
Fire Rating	
Class C (ASTM E84). Additional requirements apply to siding on buildings in designated Wild Urban Interface (WUI) zones. Accoya siding wall constructions have been tested and demonstrated to meet WUI requirements. For more details click here.	
Thermal Conductivity	
ASTM C177, $\gamma = 0.102 \text{ W/m-}$	
Bending Strength	
ASTM D143, MOR = 13,144 psi	
Bending Stiffness	
ASTM D143, MOE = 1,297,492 psi	
Janka Hardness	
ASTM D143, Side = 922 LBF, End grain = 1484 LBF.	
Certification & Approval	
Forest Stewardship Council (FSC) Certified	
Cradle-to-Cradle: GOLD Overall; Platinum in Material Health	

### Insect barrier

Accoya wood is indigestible to a wide range of pests and an effective barrier to attack. Five year ground contact testing by independent laboratories in Florida USA, the Caribbean and Okinawa, Japan and has shown less termite damage on Accoya than on naturally durable species such as FEQ Burmese Teak.

### Salt water contact and immersion

Accoya is not detrimentally affected by salt water contact or immersion. Field testing over 10 years immersion has shown minor attack on Accoya by marine organisms but less than that sustained on other durable woods in test.

### Machinability

Processing does not affect the unique properties of Accoya wood, as it is modified to the core. It is relatively easy to process and comparable to a softwood or medium density hardwood such as Yellow Poplar (Tulip Wood). With the right training no special tools are required for cross cutting, ripping, planing, routing and drilling. Further details can be found in the Accoya Wood Information Guide.

### Gluing

Both load bearing and non-load bearing applications have been tested using adhesive systems for laminating, finger jointing and frame corner joints. While good results can be achieved with most common adhesives, PU, EPI, epoxy and PRF give the best results. Results using polyvinyl acetate (PVAc) can vary greatly. MUF adhesives should be avoided. Contact your adhesive supplier for more information.

### Finishing

A finish or coating does not need to be applied to Accoya to achieve longevity and dimensional stability. Details on natural weathering of uncoated Accoya can be found in the Wood Information Guide. Most commonly used coating systems can be used on Accoya wood. Testing has been performed with a full range of oil-based and water-based coating systems. Leading coating manufacturers have found that their film form coating systems last longer on Accoya. Contact your coating supplier for more information and check the Accoya Essential Coatings Guide.

### Fastening

Stainless steel fasteners are highly recommended with Accoya. Grade 304 for inland conditions and grade 316 for coastal conditions. More information on other metals and alloys suitable for use with Accoya can be found in the Accoya Wood Information Guide.



For more information please refer to the Wood Information Guide at [www.accoya.com](http://www.accoya.com)



Photo #1: Front West side view, bottom of Summer Street



Photo #2: Front West side view, southwest corner of property


<p><b>GENERAL NOTES:</b></p> <ol style="list-style-type: none"> <li>DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.</li> <li>Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.</li> <li>The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.</li> <li>Large scale plans of details shall take precedence over smaller scale drawings.</li> <li>All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.</li> <li>All work to be performed and inspected as required by the local governing code enforcement office.</li> <li>All work is to be installed in accordance with manufacturer's recommendations and specifications.</li> </ol>	<p><b>J · H · L</b></p>  <p><b>TECTURE</b> ARCHITECT • ENGINEER, P.C.</p> <p><small>100 HIGH STREET • BRISTOL, RI 02809 401.398.8930 • Fax 401.410.0079</small></p>	<p><b>ISSUED FOR:</b> <b>HDC REVIEW</b></p> <p><b>NOT APPROVED</b></p> <p><small>THESE DRAWINGS ARE FOR REVIEW BY OWNER AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.</small></p>	<p><b>PROPOSED NEW BUILDING FOR:</b></p> <p><b>Esselen Residence Renovation</b></p> <p><b>23 Summer Street, Bristol, RI 02809</b></p>	<p><small>DRAWING NAME:</small> <b>SITE PHOTOS</b></p> <hr/> <p><small>ISSUE DATE: DATE: MARCH 13, 2025</small></p> <p><small>SCALE:</small> DRAWN BY: JHL</p> <hr/> <p><small>PROJECT NUMBER:</small> <b>7487</b></p> <hr/> <p><small>DRAWING NUMBER:</small> <b>EX1.00</b></p>
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Photo #3: Front East side view, southeast corner of property



Photo #4: Front East side view, top of Summer Street

<p><b>GENERAL NOTES:</b></p> <ol style="list-style-type: none"> <li>DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.</li> <li>Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.</li> <li>The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.</li> <li>Large scale plans of details shall take precedence over smaller scale drawings.</li> <li>All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.</li> <li>All work to be performed and inspected as required by the local governing code enforcement office.</li> <li>All work is to be installed in accordance with manufacturer's recommendations and specifications.</li> </ol>	<p><b>J · H · L</b></p> <p><b>TECTURE</b> ARCHITECT • ENGINEER, P.C.</p> <p><small>100 HIGH STREET • BRISTOL, RI 02809 401.398.8930 • Fax 401.410.0078</small></p>	<p><b>ISSUED FOR:</b> <b>HDC REVIEW</b></p> <p style="text-align: center;">NOT APPROVED</p> <p><small>THESE DRAWINGS ARE FOR REVIEW BY OWNER AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.</small></p>	<p><b>PROPOSED NEW BUILDING FOR:</b></p> <p style="text-align: center;"><b>Esselen Residence Renovation</b></p> <p style="text-align: center;"><b>23 Summer Street, Bristol, RI 02809</b></p>	<p><small>DRAWING NAME:</small> <b>SITE PHOTOS 2</b></p> <hr/> <p><small>ISSUE DATE: DATE: MARCH 13, 2025</small></p> <p><small>SCALE:</small> DRAWN BY: JHL</p> <hr/> <p><small>PROJECT NUMBER:</small> <b>7487</b></p> <hr/> <p><small>DRAWING NUMBER:</small> <b>EX1.01</b></p>
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Photo #5: Front view of southwest corner of site, 06/06/1996

<p><b>GENERAL NOTES:</b></p> <ol style="list-style-type: none"> <li>DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.</li> <li>Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.</li> <li>The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.</li> <li>Large scale plans of details shall take precedence over smaller scale drawings.</li> <li>All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.</li> <li>All work to be performed and inspected as required by the local governing code enforcement office.</li> <li>All work is to be installed in accordance with manufacturer's recommendations and specifications.</li> </ol>	<p><b>J · H · L</b></p> <p><b>TECTURE</b> ARCHITECT • ENGINEER, P.C.</p> <p><small>100 HIGH STREET • BRISTOL, RI 02809 401.398.8930 • Fax 401.410.0079</small></p>	<p><b>ISSUED FOR:</b> <b>HDC REVIEW</b></p> <p><b>NOT APPROVED</b></p> <p><small>THESE DRAWINGS ARE FOR REVIEW BY OWNER AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.</small></p>	<p><b>PROPOSED NEW BUILDING FOR:</b></p> <p><b>Esselen Residence Renovation</b></p> <p><b>23 Summer Street, Bristol, RI 02809</b></p>	<p><small>DRAWING NAME:</small> <b>SITE PHOTOS 3</b></p> <p><small>ISSUE DATE: DATE: MARCH 13, 2025 SCALE: DRAWN BY: JHL</small></p> <p><small>PROJECT NUMBER:</small> <b>7487</b></p> <p><small>DRAWING NUMBER:</small> <b>EX1.02</b></p>
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Photo #6: South & West elevations, 06/05/1997



Photo #7: View of second floor condenser unit located on flat roof at rear of the home

<p><b>GENERAL NOTES:</b></p> <ol style="list-style-type: none"> <li>DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.</li> <li>Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.</li> <li>The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.</li> <li>Large scale plans of details shall take precedence over smaller scale drawings.</li> <li>All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.</li> <li>All work to be performed and inspected as required by the local governing code enforcement office.</li> <li>All work is to be installed in accordance with manufacturer's recommendations and specifications.</li> </ol>	<p><b>J · H · L</b></p> <p><b>TECTURE</b> ARCHITECT • ENGINEER, P. C.</p> <p><small>100 HIGH STREET • BRISTOL, RI 02809 401.398.8930 • Fax 401.410.0079</small></p>	<p><b>ISSUED FOR:</b> <b>HDC REVIEW</b></p> <p><b>NOT APPROVED</b></p> <p><small>THESE DRAWINGS ARE FOR REVIEW BY OWNER AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.</small></p>	<p><b>PROPOSED NEW BUILDING FOR:</b></p> <p><b>Esselen Residence Renovation</b></p> <p><b>23 Summer Street, Bristol, RI 02809</b></p>	<p><small>DRAWING NAME:</small> <b>SITE PHOTOS 4</b></p> <hr/> <p><small>ISSUE DATE: DATE: MARCH 13, 2025</small></p> <p><small>SCALE:</small> DRAWN BY: JHL</p> <hr/> <p><small>PROJECT NUMBER:</small> <b>7487</b></p> <hr/> <p><small>DRAWING NUMBER:</small> <b>EX1.03</b></p>
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PROPOSED WORK FOR:

# Esselen Residence Renovation

**JHL TECTURE # 7487**

**Jack & Catherine Esselen**  
**23 Summer Street, Bristol, RI 02809**  
**HDC REVIEW**

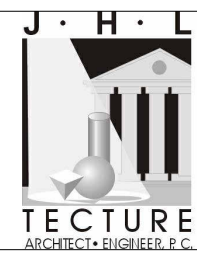


## PROJECT DIRECTORY

TENANT  
 Jack & Catherine Esselen  
 23 Summer Street, Bristol, RI 02809

PROPERTY OWNER  
 Jack & Catherine Esselen  
 23 Summer Street, Bristol, RI 02809

ARCHITECT  
 JHL TECTURE A.E. P.C.  
 HORNELL STUDIO      BRISTOL STUDIO  
 97 MAIN STREET      190 HIGH STREET  
 HORNELL, NY 14843      BRISTOL, RI 02809



## PROJECT DRAWING LIST

GENERAL	
TS0.01	COVER SHEET
ARCHITECTURAL	
EX1.00	SITE PHOTOS
EX1.01	SITE PHOTOS 2
EX1.02	SITE PHOTOS 3
EX1.03	SITE PHOTOS 4
A0.01	EXISTING FIRST FLOOR PLAN
A0.02	EXISTING SECOND FLOOR PLAN
A0.03	EXISTING ROOF PLAN
A0.04	EXISTING ELEVATIONS 1
A0.05	EXISTING ELEVATIONS 2
A1.01	PROPOSED SECOND FLOOR PLAN
A1.02	PROPOSED ROOF PLAN
A1.03	PROPOSED ELEVATIONS 1
A1.04	PROPOSED ELEVATIONS 2
A1.05	PROPOSED CONDENSER LOCATION SOLUTION

## LOCUS MAP

PROJECT LOCATION

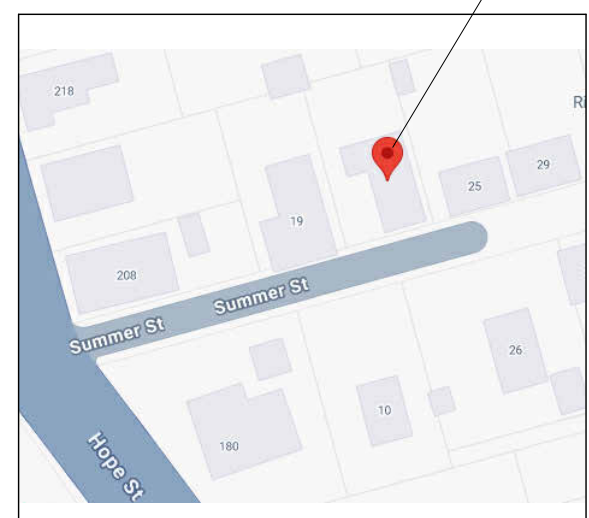




Photo #1: Front West side view, bottom of Summer Street



Photo #2: Front West side view, southwest corner of property

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Photo #3: Front East side view, southeast corner of property



Photo #4: Front East side view, top of Summer Street

<p><b>GENERAL NOTES:</b></p> <ol style="list-style-type: none"> <li>DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.</li> <li>Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.</li> <li>The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.</li> <li>Large scale plans of details shall take precedence over smaller scale drawings.</li> <li>All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.</li> <li>All work to be performed and inspected as required by the local governing code enforcement office.</li> <li>All work is to be installed in accordance with manufacturer's recommendations and specifications.</li> </ol>	<p><b>J · H · L</b></p> <p><b>TECTURE</b> ARCHITECT • ENGINEER, P.C.</p> <p><small>100 HIGH STREET • BRISTOL, RI 02809 401.398.8930 • Fax 401.410.0078</small></p>	<p><b>ISSUED FOR:</b> <b>HDC REVIEW</b></p> <p><b>NOT APPROVED</b></p> <p><small>THESE DRAWINGS ARE FOR REVIEW BY OWNER AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.</small></p>	<p><b>PROPOSED NEW BUILDING FOR:</b></p> <p><b>Esselen Residence Renovation</b></p> <p><b>23 Summer Street, Bristol, RI 02809</b></p>	<p><small>DRAWING NAME:</small> <b>SITE PHOTOS 2</b></p> <hr/> <p><small>ISSUE DATE: DATE: MARCH 13, 2025</small></p> <p><small>SCALE:</small> DRAWN BY: JHL</p> <hr/> <p><small>PROJECT NUMBER:</small> <b>7487</b></p> <hr/> <p><small>DRAWING NUMBER:</small> <b>EX1.01</b></p>
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Photo #5: Front view of southwest corner of site, 06/06/1996

<p><b>GENERAL NOTES:</b></p> <ol style="list-style-type: none"> <li>DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.</li> <li>Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.</li> <li>The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.</li> <li>Large scale plans of details shall take precedence over smaller scale drawings.</li> <li>All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.</li> <li>All work to be performed and inspected as required by the local governing code enforcement office.</li> <li>All work is to be installed in accordance with manufacturer's recommendations and specifications.</li> </ol>	<p><b>J · H · L</b></p> <p><b>TECTURE</b> ARCHITECT • ENGINEER, P.C.</p> <p><small>100 HIGH STREET • BRISTOL, RI 02809 401.398.8930 • Fax 401.410.0079</small></p>	<p><b>ISSUED FOR:</b> <b>HDC REVIEW</b></p> <p><b>NOT APPROVED</b></p> <p><small>THESE DRAWINGS ARE FOR REVIEW BY OWNER AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.</small></p>	<p><b>PROPOSED NEW BUILDING FOR:</b></p> <p><b>Esselen Residence Renovation</b></p> <p><b>23 Summer Street, Bristol, RI 02809</b></p>	<p><small>DRAWING NAME:</small> <b>SITE PHOTOS 3</b></p> <p><small>ISSUE DATE: DATE: MARCH 13, 2025 SCALE: DRAWN BY: JHL</small></p> <p><small>PROJECT NUMBER:</small> <b>7487</b></p> <p><small>DRAWING NUMBER:</small> <b>EX1.02</b></p>
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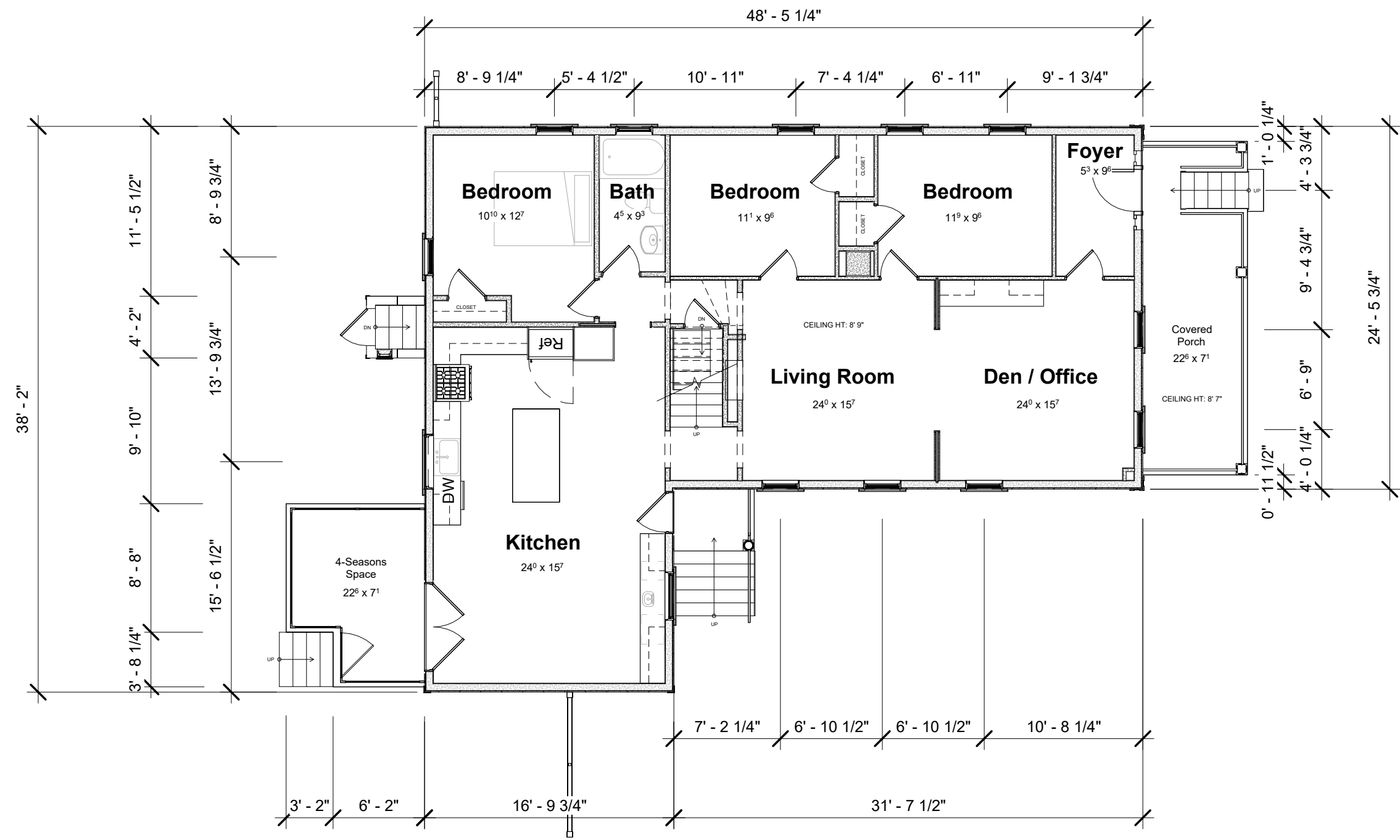


Photo #6: South & West elevations, 06/05/1997

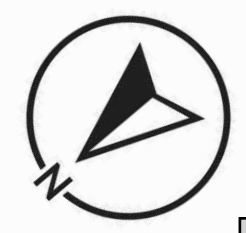


Photo #7: View of second floor condenser unit located on flat roof at rear of the home

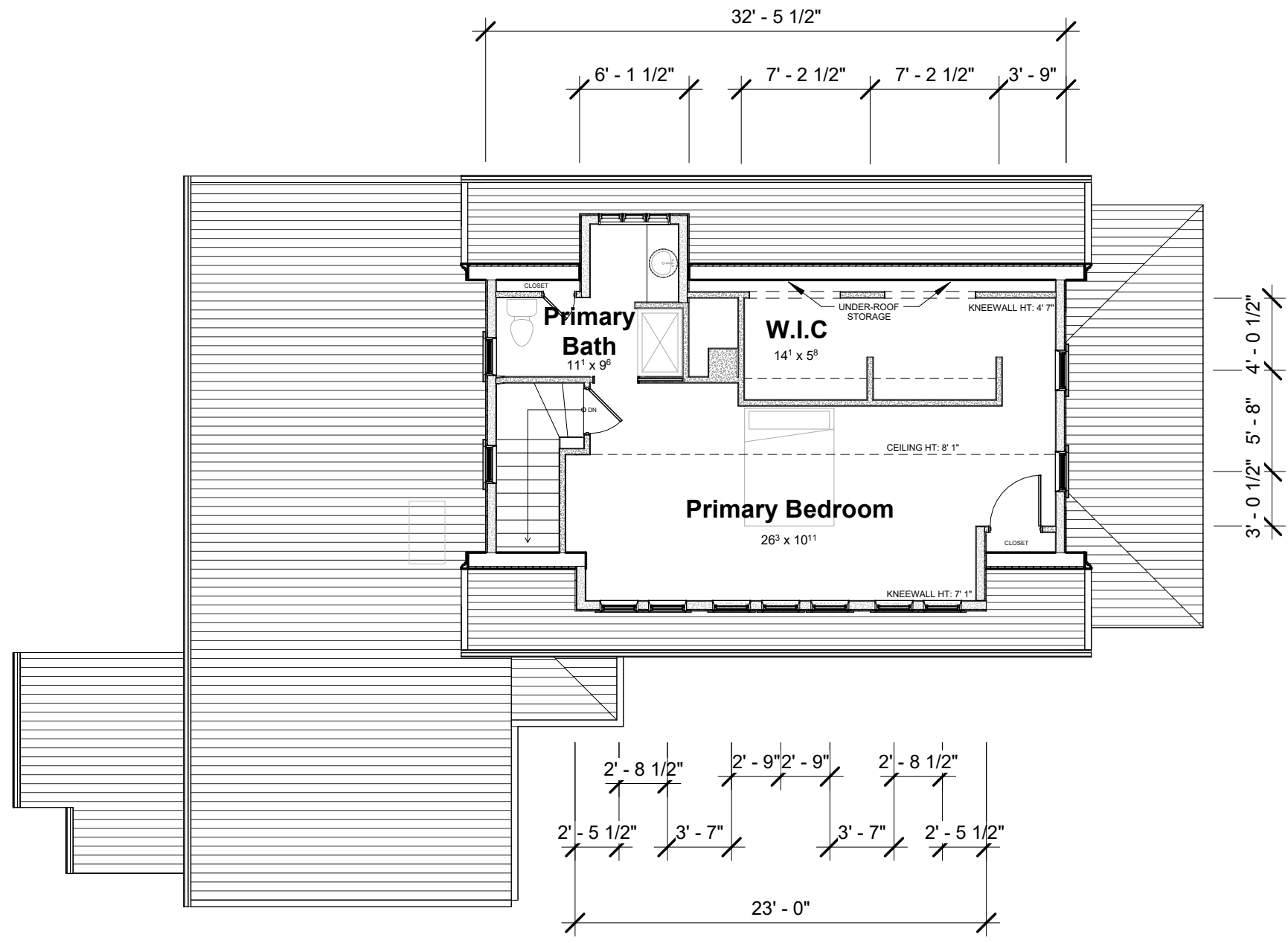
<p><b>GENERAL NOTES:</b></p> <ol style="list-style-type: none"> <li>DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.</li> <li>Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.</li> <li>The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.</li> <li>Large scale plans of details shall take precedence over smaller scale drawings.</li> <li>All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.</li> <li>All work to be performed and inspected as required by the local governing code enforcement office.</li> <li>All work is to be installed in accordance with manufacturer's recommendations and specifications.</li> </ol>	<p><b>J · H · L</b></p> <p><b>TECTURE</b> ARCHITECT • ENGINEER, P. C.</p> <p><small>100 HIGH STREET • BRISTOL, RI 02809 401-398-8930 • Fax 401-410-0079</small></p>	<p><b>ISSUED FOR:</b> HDC REVIEW</p> <p>NOT APPROVED</p> <p><small>THESE DRAWINGS ARE FOR REVIEW BY OWNER AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.</small></p>	<p><b>PROPOSED NEW BUILDING FOR:</b></p> <p><b>Esselen Residence Renovation</b></p> <p><b>23 Summer Street, Bristol, RI 02809</b></p>	<p><small>DRAWING NAME:</small> <b>SITE PHOTOS 4</b></p> <hr/> <p><small>ISSUE DATE: DATE: MARCH 13, 2025</small></p> <p><small>SCALE:</small> DRAWN BY: JHL</p> <hr/> <p><small>PROJECT NUMBER:</small> <b>7487</b></p> <hr/> <p><small>DRAWING NUMBER:</small> <b>EX1.03</b></p>
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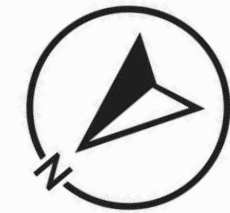
1 Existing First Floor  
1/8" = 1'-0"



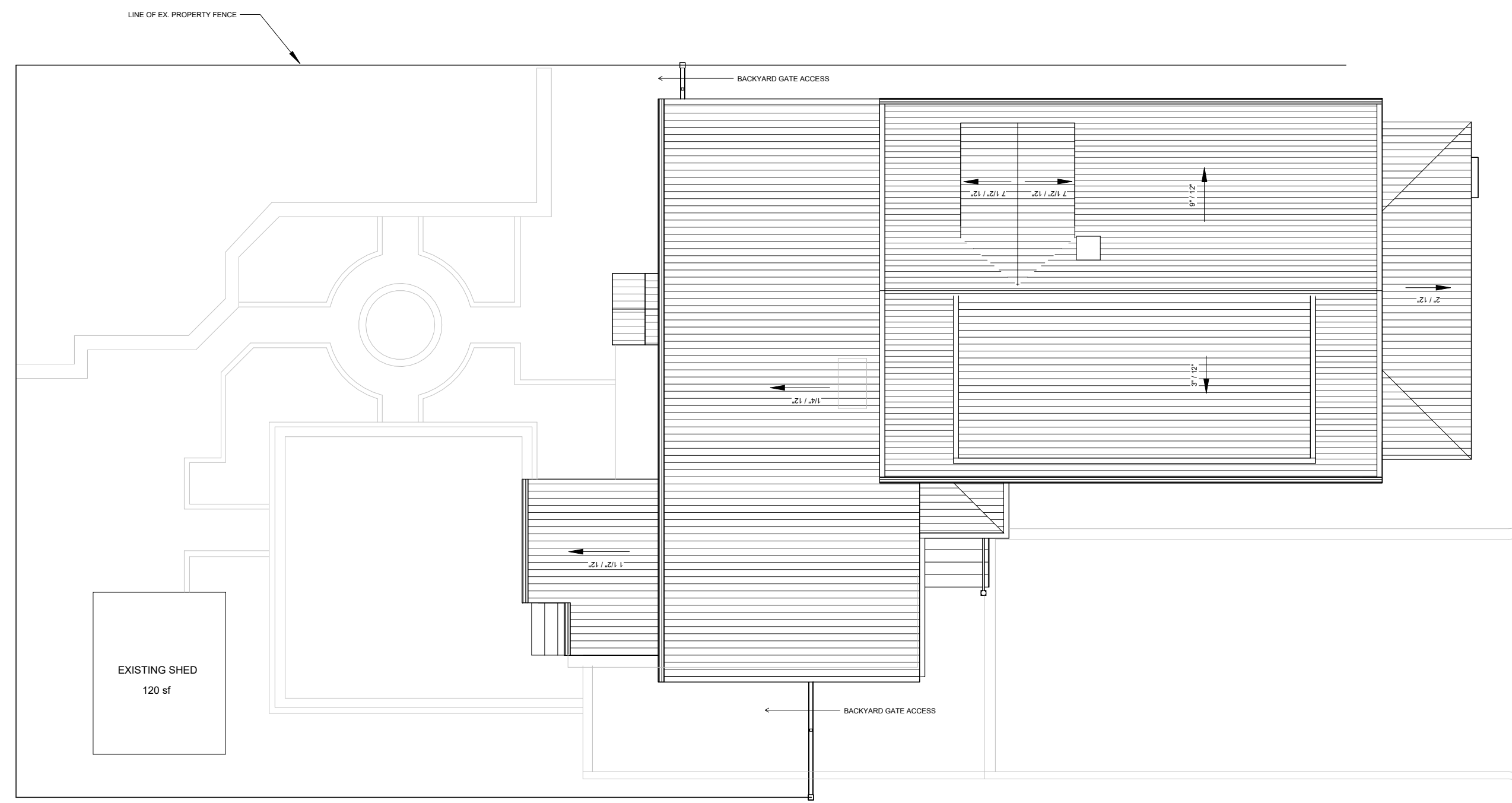
<p><b>GENERAL NOTES:</b></p> <ol style="list-style-type: none"> <li>DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.</li> <li>Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.</li> <li>The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.</li> <li>Large scale plans of details shall take precedence over smaller scale drawings.</li> <li>All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.</li> <li>All work to be performed and inspected as required by the local governing code enforcement office.</li> <li>All work is to be installed in accordance with manufacturer's recommendations and specifications.</li> </ol>	<p><b>J · H · L</b></p> <p><b>TECTURE</b> ARCHITECT • ENGINEER, P.C.</p> <p><small>150 HIGH STREET • BRISTOL, RI 02809 401.396.9630 • Fax 401.410.0079</small></p>	<p><b>ISSUED FOR:</b> HDC REVIEW</p> <p><b>NOT APPROVED</b></p> <p>THESE DRAWINGS ARE FOR REVIEW AND APPROVAL BY A HISTORIC DISTRICT AND IS SUBJECT TO REVISIONS UNTIL ALL APPROVALS ARE OBTAINED AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.</p>	<p><b>PROPOSED NEW BUILDING FOR:</b></p> <p><b>Esselen Residence Renovation</b></p> <p><b>23 Summer Street, Bristol, RI 02809</b></p>	<p>DRAWING NAME: <b>EXISTING FIRST FLOOR PLAN</b></p> <p>ISSUE DATE: DATE-MARCH 13, 2025 SCALE: 1/8" = 1'-0" DRAWN BY: JHL</p> <p>PROJECT NUMBER: <b>7487</b></p> <p>DRAWING NUMBER: <b>A0.01</b></p>
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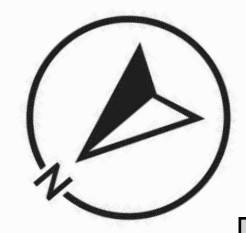
1 Second Floor  
1/8" = 1'-0"



<p><b>GENERAL NOTES:</b></p> <ol style="list-style-type: none"> <li>DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.</li> <li>Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.</li> <li>The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.</li> <li>Large scale plans of details shall take precedence over smaller scale drawings.</li> <li>All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.</li> <li>All work to be performed and inspected as required by the local governing code enforcement office.</li> <li>All work is to be installed in accordance with manufacturer's recommendations and specifications.</li> </ol>	<p><b>J · H · L</b></p> <p><b>TECTURE</b> ARCHITECT • ENGINEER, P.C.</p> <p><small>150 HIGH STREET • BRISTOL, RI 02809 401.396.9630 • Fax 401.410.0079</small></p>	<p><b>ISSUED FOR:</b> HDC REVIEW</p> <p><b>NOT APPROVED</b></p> <p>THESE DRAWINGS ARE FOR REVIEW AND APPROVAL BY A HISTORIC DISTRICT AND IS SUBJECT TO REVISIONS UNTIL ALL APPROVALS ARE OBTAINED AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.</p>	<p><b>PROPOSED NEW BUILDING FOR:</b></p> <p><b>Esselen Residence Renovation</b></p> <p><b>23 Summer Street, Bristol, RI 02809</b></p>	<p>DRAWING NAME: <b>EXISTING SECOND FLOOR PLAN</b></p> <p>ISSUE DATE: DATE-MARCH 13, 2025 SCALE: 1/8" = 1'-0" DRAWN BY: JHL</p> <p>PROJECT NUMBER: <b>7487</b></p> <p>DRAWING NUMBER: <b>A0.02</b></p>
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1 Roof Plan  
1/8" = 1'-0"



<p><b>GENERAL NOTES:</b></p> <ol style="list-style-type: none"> <li>DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.</li> <li>Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.</li> <li>The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.</li> <li>Large scale plans of details shall take precedence over smaller scale drawings.</li> <li>All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.</li> <li>All work to be performed and inspected as required by the local governing code enforcement office.</li> <li>All work is to be installed in accordance with manufacturer's recommendations and specifications.</li> </ol>	<p><b>J · H · L</b></p> <p><b>TECTURE</b> ARCHITECT • ENGINEER, P.C.</p> <p>150 HIGH STREET • BRISTOL, RI 02809 401.396.9630 • Fax 401.410.0079</p>	<p><b>ISSUED FOR:</b> HDC REVIEW</p> <p>NOT APPROVED</p> <p>THESE DRAWINGS ARE FOR REVIEW AND APPROVAL BY A HISTORIC DISTRICT AND IS SUBJECT TO REVISIONS UNTIL ALL APPROVALS ARE OBTAINED AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.</p>	<p><b>PROPOSED NEW BUILDING FOR:</b></p> <p><b>Esselen Residence Renovation</b></p> <p><b>23 Summer Street, Bristol, RI 02809</b></p>	<p>DRAWING NAME: <b>EXISTING ROOF PLAN</b></p> <p>ISSUE DATE: DATE-MARCH 13, 2025 SCALE: 1/8" = 1'-0" DRAWN BY: JHL</p> <p>PROJECT NUMBER: <b>7487</b></p> <p>DRAWING NUMBER: <b>A0.03</b></p>
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① Existing South Elevation  
1/8" = 1'-0"



② Existing West Elevation  
1/8" = 1'-0"

<p><b>GENERAL NOTES:</b></p> <ol style="list-style-type: none"> <li>DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.</li> <li>Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.</li> <li>The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.</li> <li>Large scale plans of details shall take precedence over smaller scale drawings.</li> <li>All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.</li> <li>All work to be performed and inspected as required by the local governing code enforcement office.</li> <li>All work is to be installed in accordance with manufacturer's recommendations and specifications.</li> </ol>	<p><b>J · H · L</b></p> <p><b>TECTURE</b> ARCHITECT + ENGINEER, P.C.</p> <p><small>100 HIGH STREET • BRISTOL, RI 02809 401.398.8930 • Fax 401.410.0078</small></p>	<p><b>ISSUED FOR:</b> HDC REVIEW</p> <p><b>NOT APPROVED</b></p> <p>THESE DRAWINGS ARE FOR REVIEW AND APPROVAL BY A HISTORIC DISTRICT AND IS SUBJECT TO REVISIONS UNTIL ALL APPROVALS ARE OBTAINED AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.</p>	<p><b>PROPOSED NEW BUILDING FOR:</b></p> <p><b>Esselen Residence Renovation</b></p> <p><b>23 Summer Street, Bristol, RI 02809</b></p>	<p>DRAWING NAME: <b>EXISTING ELEVATIONS 1</b></p> <p>ISSUE DATE: DATE: MARCH 13, 2025 SCALE: 1/8" = 1'-0" DRAWN BY: JHL</p> <p>PROJECT NUMBER: <b>7487</b></p> <p>DRAWING NUMBER: <b>A0.04</b></p>
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① Existing North Elevation  
1/8" = 1'-0"



② Existing East Elevation  
1/8" = 1'-0"

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**ISSUED FOR:**  
HDC REVIEW

NOT APPROVED

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**PROPOSED NEW BUILDING FOR:**

**Esselen Residence Renovation**

**23 Summer Street, Bristol, RI 02809**

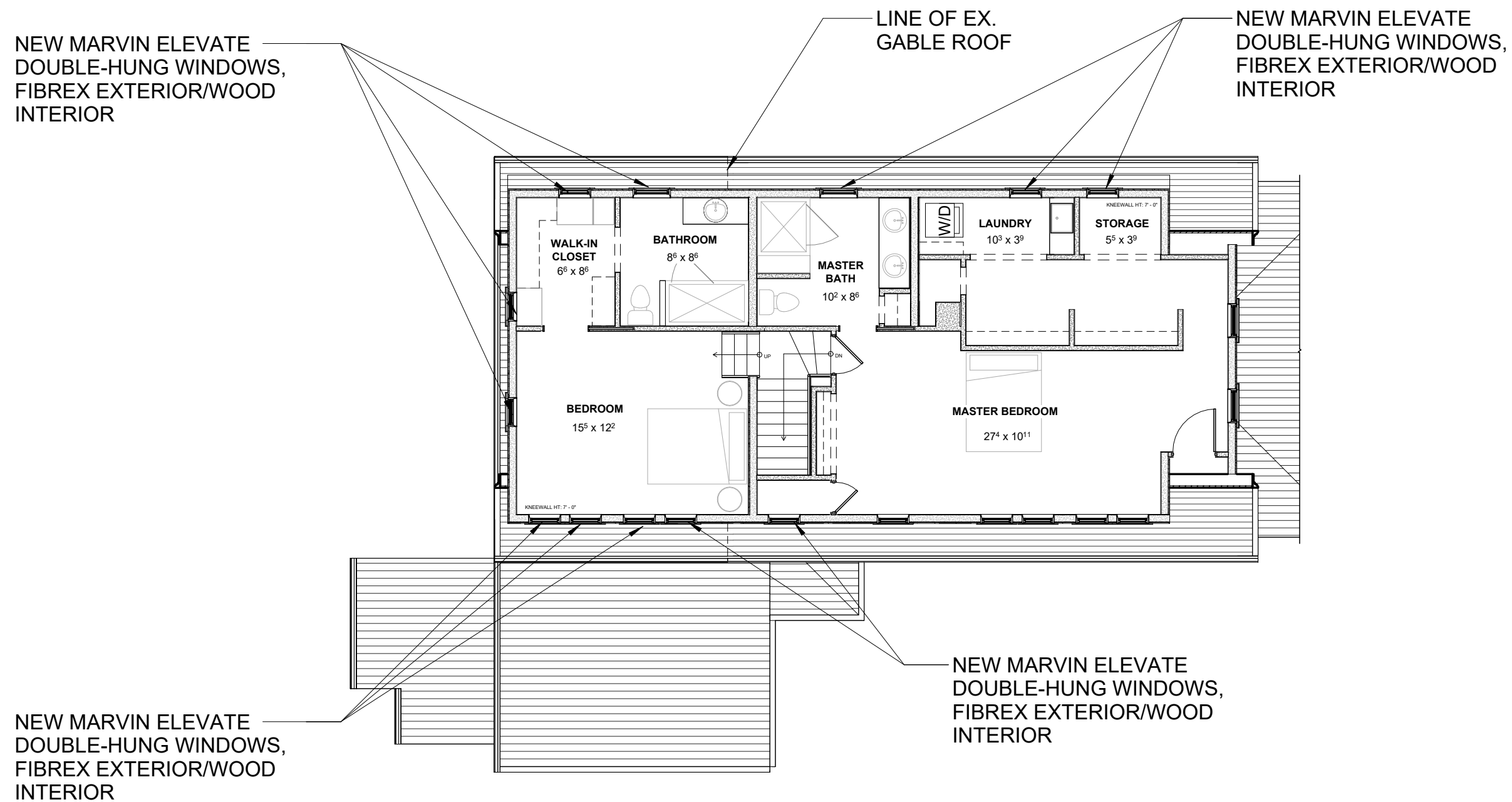
DRAWING NAME:  
**EXISTING ELEVATIONS 2**

ISSUE DATE: DATE: MARCH 13, 2025  
SCALE: 1/8" = 1'-0"  
DRAWN BY: JHL

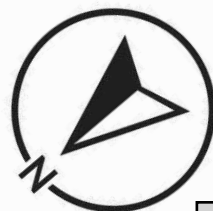
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DRAWING NUMBER:  
**A0.05**

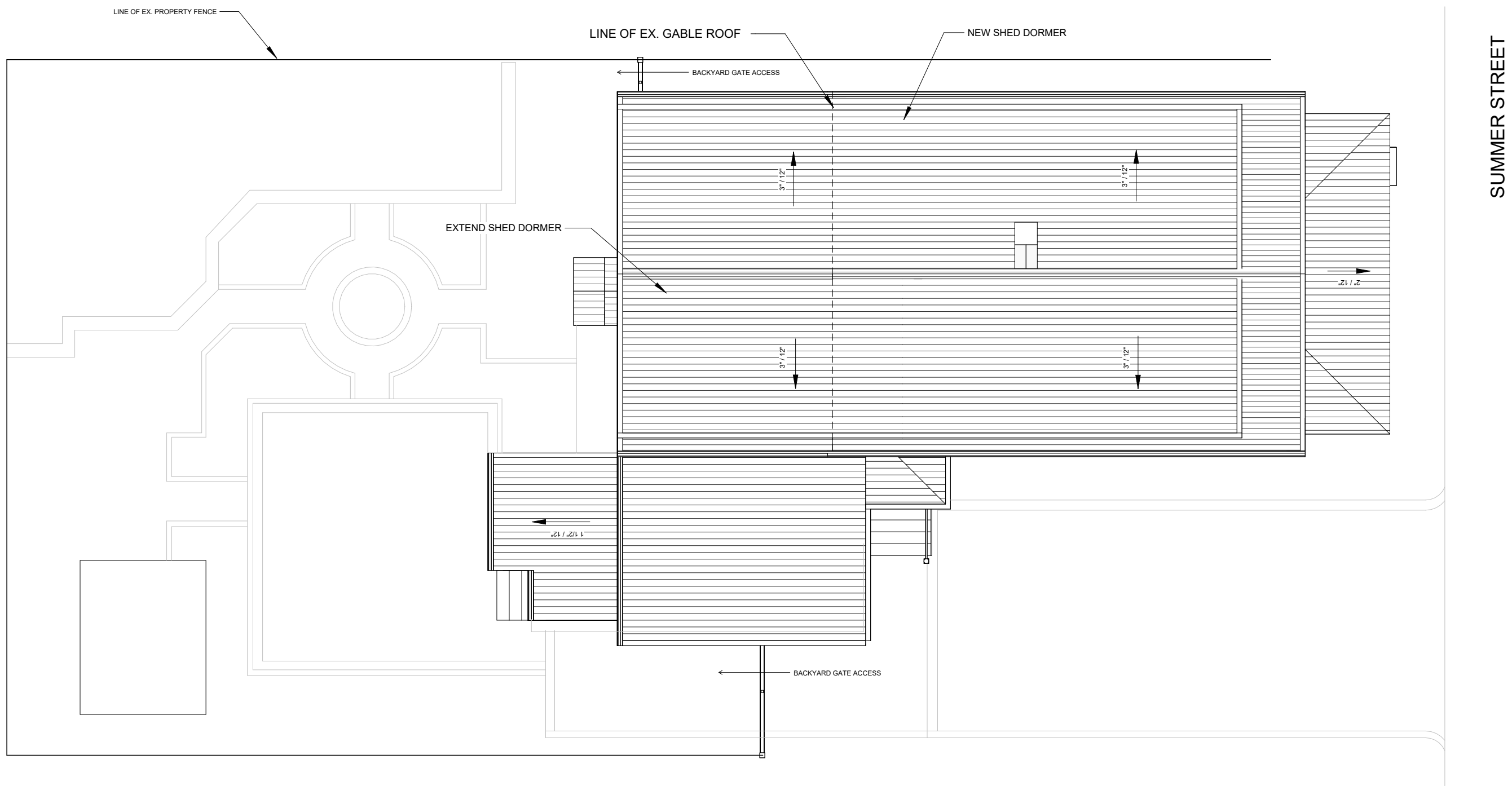




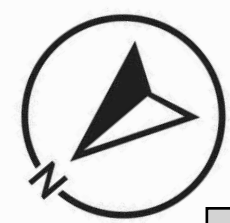
1 Proposed Second Floor  
1/8" = 1'-0"




<p><b>GENERAL NOTES:</b></p> <ol style="list-style-type: none"> <li>DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.</li> <li>Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.</li> <li>The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.</li> <li>Large scale plans of details shall take precedence over smaller scale drawings.</li> <li>All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.</li> <li>All work to be performed and inspected as required by the local governing code enforcement office.</li> <li>All work is to be installed in accordance with manufacturer's recommendations and specifications.</li> </ol>	<p><b>J · H · L</b></p> <p><b>TECTURE</b> ARCHITECT • ENGINEER, P. C.</p> <p><small>100 HIGH STREET • BRISTOL, RI 02809 401.396.9630 • Fax 401.410.0079</small></p>	<p><b>ISSUED FOR:</b> HDC REVIEW</p> <p><u>NOT APPROVED</u></p> <p>THESE DRAWINGS ARE FOR REVIEW BY OWNER AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.</p>	<p><b>PROPOSED NEW BUILDING FOR:</b></p> <p><b>Esselen Residence Renovation</b></p> <p><b>23 Summer Street, Bristol, RI 02809</b></p>	<p>DRAWING NAME: <b>PROPOSED SECOND FLOOR</b></p> <p>ISSUE DATE: DATE: MARCH 13, 2025 SCALE: 1/8" = 1'-0" DRAWN BY: JHL</p> <p>PROJECT NUMBER: <b>7487</b></p> <p>DRAWING NUMBER: <b>A1.01</b></p>
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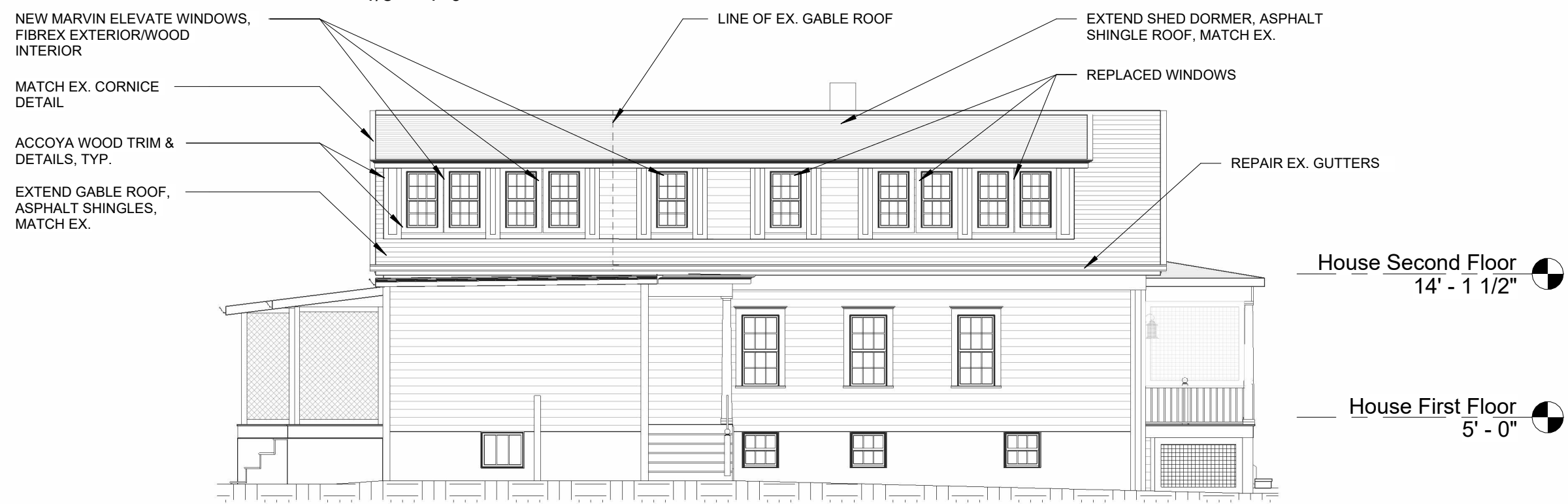
1 Proposed Roof Plan  
1/8" = 1'-0"



<p><b>GENERAL NOTES:</b></p> <ol style="list-style-type: none"> <li>DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.</li> <li>Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.</li> <li>The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.</li> <li>Large scale plans of details shall take precedence over smaller scale drawings.</li> <li>All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.</li> <li>All work to be performed and inspected as required by the local governing code enforcement office.</li> <li>All work is to be installed in accordance with manufacturer's recommendations and specifications.</li> </ol>	<p><b>J · H · L</b></p>  <p><b>TECTURE</b> ARCHITECT • ENGINEER, P. C.</p> <p><small>100 HIGH STREET • BRISTOL, RI 02809 401.396.9630 • Fax 401.410.0079</small></p>	<p><b>ISSUED FOR:</b> <b>HDC REVIEW</b></p> <p><u>NOT APPROVED</u></p> <p>THESE DRAWINGS ARE FOR REVIEW BY OWNER AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.</p>	<p><b>PROPOSED NEW BUILDING FOR:</b></p> <p><b>Esselen Residence Renovation</b></p> <p><b>23 Summer Street, Bristol, RI 02809</b></p>	<p>DRAWING NAME: <b>PROPOSED ROOF PLAN</b></p> <p>ISSUE DATE: DATE: MARCH 13, 2025 SCALE: 1/8" = 1'-0" DRAWN BY: JHL</p> <p>PROJECT NUMBER: <b>7487</b></p> <p>DRAWING NUMBER: <b>A1.02</b></p>
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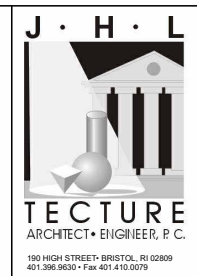
1 Proposed South Elevation  
1/8" = 1'-0"



2 Proposed West Elevation  
1/8" = 1'-0"

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- 7: All work is to be installed in accordance with manufacturer's recommendations and specifications.



ISSUED FOR:  
HDC REVIEW

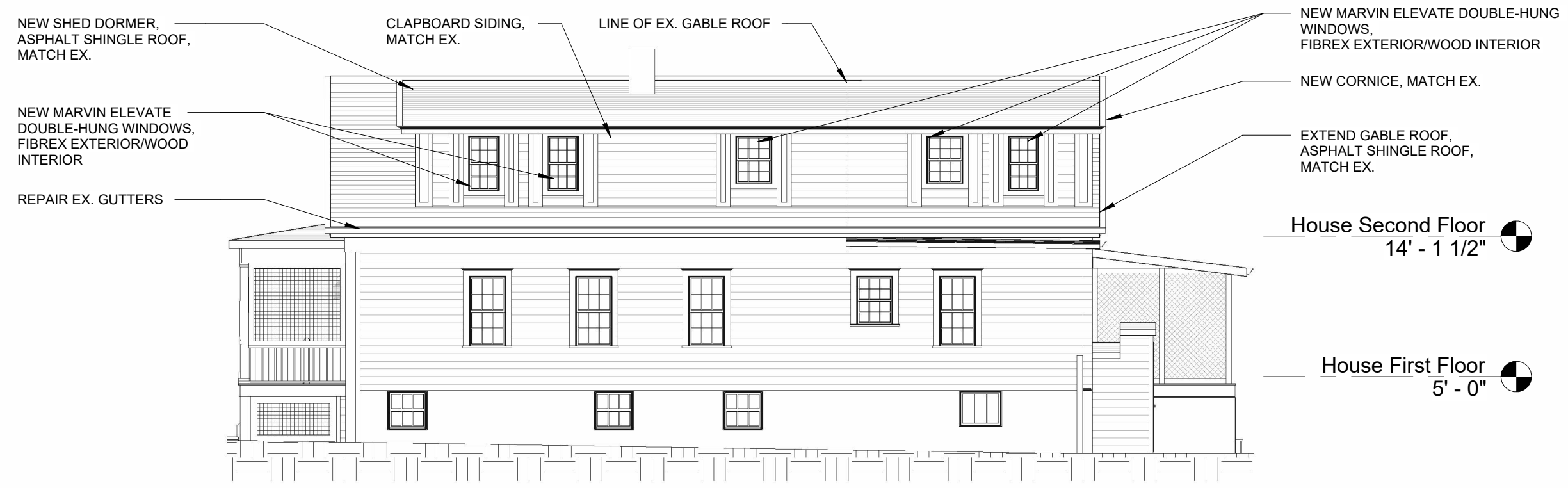
NOT APPROVED  
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PROPOSED NEW BUILDING FOR:  
**Esselen Residence Renovation**  
23 Summer Street, Bristol, RI 02809

DRAWING NAME: <b>PROPOSED ELEVATIONS 1</b>
ISSUE DATE: DATE: MARCH 13, 2025 SCALE: 1/8" = 1'-0" DRAWN BY: JHL
PROJECT NUMBER: <b>7487</b>
DRAWING NUMBER: <b>A1.03</b>

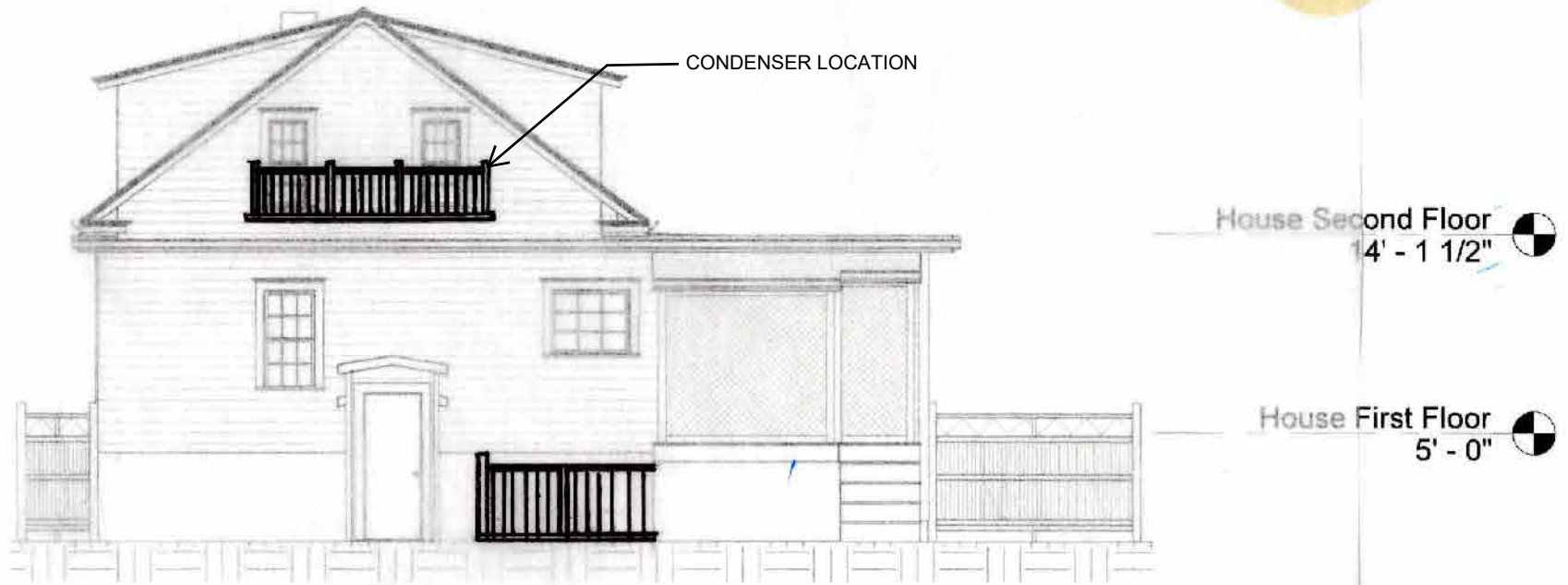


① Proposed North Elevation  
1/8" = 1'-0"

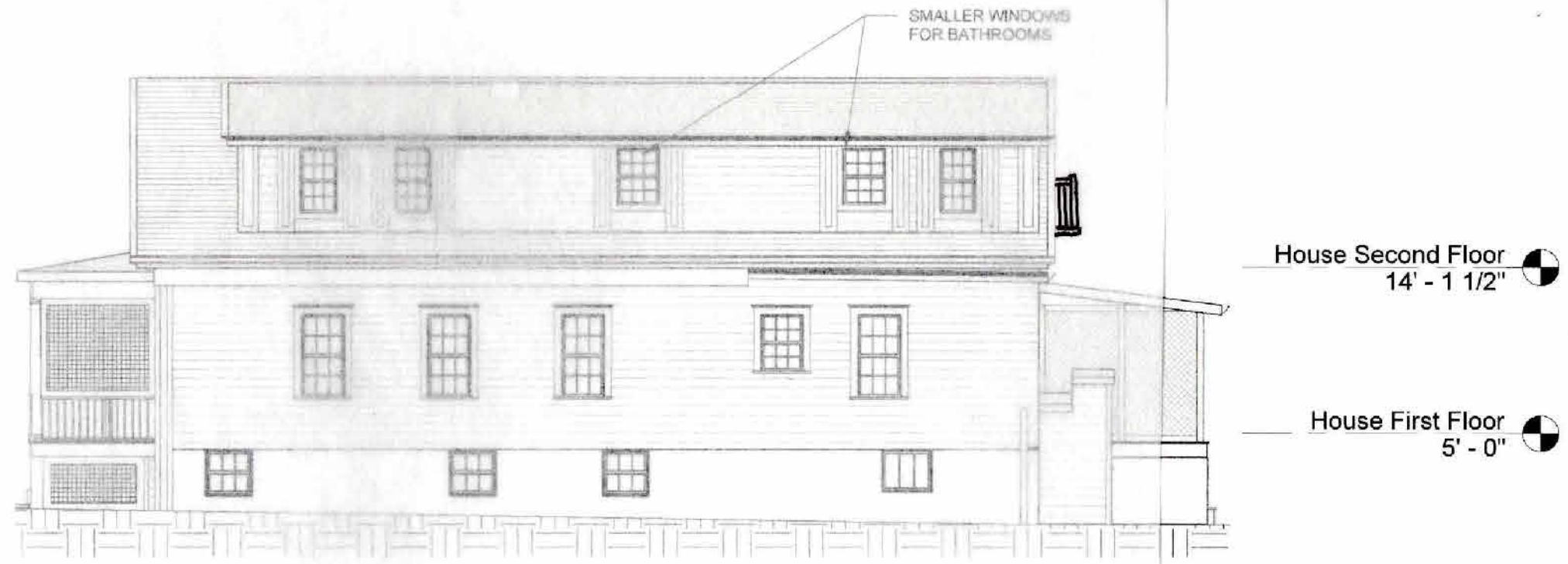


② Proposed East Elevation  
1/8" = 1'-0"

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		NOT APPROVED  THESE DRAWINGS ARE FOR REVIEW BY OWNER AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.		ISSUE DATE: DATE: MARCH 13, 2025 SCALE: 1/8" = 1'-0" DRAWN BY: JHL PROJECT NUMBER: <b>7487</b> DRAWING NUMBER: <b>A1.04</b>



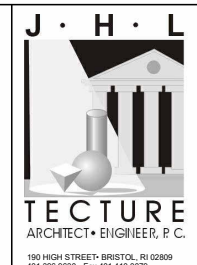
1 Proposed North Elevation  
1/8" = 1'-0"



2 Proposed East Elevation  
1/8" = 1'-0"



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HDC REVIEW

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**PROPOSED NEW BUILDING FOR:**

**Esselen Residence Renovation**

**23 Summer Street, Bristol, RI 02809**

DRAWING NAME:  
**PROPOSED CONDENSER LOCATION SOLUTION**

ISSUE DATE: DATE: MARCH 13, 2025  
SCALE:  
DRAWN BY: JHL

PROJECT NUMBER: **7487**

DRAWING NUMBER:  
**A1.05**



# Bristol Historic District Commission

Item 6.

Application for Review of Proposed Work - Printable Application

60798 - 25-28

Non-Contributing

March 13, 2025

**THIS DOCUMENT IS NOT A SUBSTITUTE FOR A BUILDING, ELECTRICAL, SIGN, MECHANICAL, DEMOLITION, SOLAR OR FENCE PERMIT APPLICATION. THESE PERMITS MUST BE APPLIED FOR AND APPROVED BY THE BRISTOL BUILDING DEPARTMENT BEFORE WORK CAN BEGIN.**

Project Address	Assessor's Plat	Assessor's Lot
10 Bradford St, Bristol, RI 02809	9	32

Applicant	Applicant Phone	Applicant Email
Robert Lacovara	215-510-9707	bob.lacovara@gmail.com

Property Owner (If Different from Applicant)	Owner Mailing Address
	14 Bradford St, Bristol, RI 02809

Architect/Engineer	A/E Phone Number	A/E Email
N/A	N/A	N/A

Contractor	Contractor Phone Number	Contractor Email
N/A	N/A	n/A

Work Category:	Remodeling of Structure(s)
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Description of proposed work:

Renovate front entry using wood steps to match existing front porch

Property History

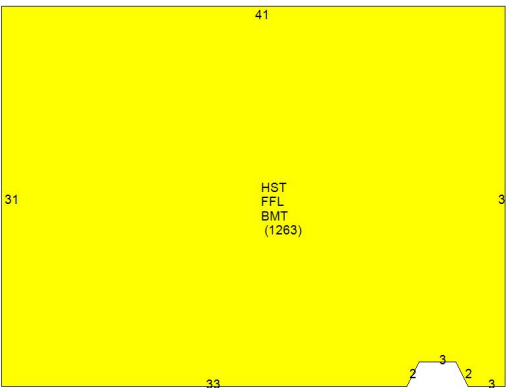

Building Survey Data	
RIHPHC ID #:	BRIS00264
HISTORIC NAME:	Gifford, Ephraim, Double House
ARCH. STYLE:	Greek Revival
ORIGINAL CONSTRUCTION DATE (est.):	1853 ca
ALTERATIONS TO MAJOR ARCH. SINCE 1978 (Height, Massing, Wall Covering, Trim, Windows. Porches)	

**Robert R Lacovara**  
 Applicant's Digital Signature  
 Date: March 13, 2025



# CAI Property Card

Town of Bristol, RI

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR	
<p><b>LOCATION:</b> 14 BRADFORD ST  <b>ACRES:</b> 0.0657  <b>PARCEL ID:</b> 009-0032-000  <b>LAND USE CODE:</b> 28  <b>CONDO COMPLEX:</b>  <b>OWNER:</b> LACOVARA, ROBERT R &amp; BARBARA  <b>CO - OWNER:</b>  <b>MAILING ADDRESS:</b> 14 BRADFORD ST</p> <p><b>ZONING:</b> W  <b>PATRIOT ACCOUNT #:</b> 454</p>	<p><b>BUILDING STYLE:</b> 3 Family  <b>UNITS:</b> 1  <b>YEAR BUILT:</b> 1850  <b>FRAME:</b> Wood Frame  <b>EXTERIOR WALL COVER:</b> Vinyl Siding  <b>ROOF STYLE:</b> Gable  <b>ROOF COVER:</b> Asphalt Shin</p>	
	BUILDING INTERIOR	
<th data-bbox="82 674 966 716">SALE INFORMATION</th> <td data-bbox="966 558 1523 1314"> <p><b>INTERIOR WALL:</b> Drywall  <b>FLOOR COVER:</b> Hardwood  <b>HEAT TYPE:</b> BB Hot Water  <b>FUEL TYPE:</b> Oil  <b>PERCENT A/C:</b> False  <b># OF ROOMS:</b> 11  <b># OF BEDROOMS:</b> 6  <b># OF FULL BATHS:</b> 3  <b># OF HALF BATHS:</b> 0  <b># OF ADDITIONAL FIXTURES:</b> 2  <b># OF KITCHENS:</b> 3  <b># OF FIREPLACES:</b> 0  <b># OF METAL FIREPLACES:</b> 0  <b># OF BASEMENT GARAGES:</b> 0</p> </td>	SALE INFORMATION	<p><b>INTERIOR WALL:</b> Drywall  <b>FLOOR COVER:</b> Hardwood  <b>HEAT TYPE:</b> BB Hot Water  <b>FUEL TYPE:</b> Oil  <b>PERCENT A/C:</b> False  <b># OF ROOMS:</b> 11  <b># OF BEDROOMS:</b> 6  <b># OF FULL BATHS:</b> 3  <b># OF HALF BATHS:</b> 0  <b># OF ADDITIONAL FIXTURES:</b> 2  <b># OF KITCHENS:</b> 3  <b># OF FIREPLACES:</b> 0  <b># OF METAL FIREPLACES:</b> 0  <b># OF BASEMENT GARAGES:</b> 0</p>
<th data-bbox="82 915 966 957">PRINCIPAL BUILDING AREAS</th> <td data-bbox="966 1314 1523 1356"></td>	PRINCIPAL BUILDING AREAS	
<p><b>GROSS BUILDING AREA:</b> 3789  <b>FINISHED BUILDING AREA:</b> 1895  <b>BASEMENT AREA:</b> 1263  <b># OF PRINCIPAL BUILDINGS:</b> 1</p>		
<th data-bbox="82 1115 966 1157">ASSESSED VALUES</th> <td data-bbox="966 1398 1523 1440"></td>	ASSESSED VALUES	
<p><b>LAND:</b> \$186,400  <b>YARD:</b> \$1,200  <b>BUILDING:</b> \$231,300  <b>TOTAL:</b> \$418,900</p>		
SKETCH	PHOTO	
		



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This information is believed to be correct but is subject to change and is not warranted.



# 200 feet Abutters List Report

Bristol, RI  
March 27, 2025

### Subject Property:

Parcel Number: 9-32  
CAMA Number: 9-32  
Property Address: 14 BRADFORD ST

Mailing Address: LACOVARA, ROBERT R & BARBARA  
14 BRADFORD ST  
BRISTOL, RI 02809

### Abutters:

Parcel Number: 9-14  
CAMA Number: 9-14  
Property Address: 601 HOPE ST

Mailing Address: BAYCOAST BANK C/O ACCOUNTS  
PAYABLE  
330 SWANSEA MALL DR  
SWANSEA, MA 02777

Parcel Number: 9-15  
CAMA Number: 9-15  
Property Address: 382 THAMES ST

Mailing Address: DEALMEIDA, LOUIS A  
406 THAMES ST  
BRISTOL, RI 02809

Parcel Number: 9-18  
CAMA Number: 9-18  
Property Address: BRADFORD ST

Mailing Address: HBSBRI, LLC  
34 WAGONWHEEL RD  
SUDBURY, MA 01776

Parcel Number: 9-19  
CAMA Number: 9-19  
Property Address: 49 BRADFORD ST

Mailing Address: 49 BRADFORD ST, LLC  
5 KYALIN AVE  
WARREN, RI 02885

Parcel Number: 9-20  
CAMA Number: 9-20  
Property Address: BRADFORD ST

Mailing Address: 49 BRADFORD ST, LLC  
5 KYALIN AVE  
WARREN, RI 02885

Parcel Number: 9-21  
CAMA Number: 9-21  
Property Address: 31 BRADFORD ST

Mailing Address: MILL PND BLDG AND DESIGN, INC  
31 BRADFORD ST  
BRISTOL, RI 02809

Parcel Number: 9-22  
CAMA Number: 9-22  
Property Address: 21 BRADFORD ST

Mailing Address: LEDGEHILL PROPERTIES, LLC  
86 PEEPTOAD ROAD  
SCITUATE, RI 02857

Parcel Number: 9-23  
CAMA Number: 9-23  
Property Address: 1 BRADFORD ST

Mailing Address: ONE BRADFORD, LLC  
1 BRADFORD ST  
BRISTOL, RI 02809

Parcel Number: 9-24  
CAMA Number: 9-24-001  
Property Address: 345 THAMES ST

Mailing Address: JOHNSON, PETER T. & ANDREA R. TE  
345 THAMES ST, UNIT 101  
BRISTOL, RI 02809

Parcel Number: 9-24  
CAMA Number: 9-24-002  
Property Address: 345 THAMES ST

Mailing Address: SAUL, DEBRA A  
345 THAMES ST # 102  
BRISTOL, RI 02809



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# 200 feet Abutters List Report

Bristol, RI  
March 27, 2025

Parcel Number: 9-24 CAMA Number: 9-24-003 Property Address: 345 THAMES ST	Mailing Address: SB2, LLC 345 THAMES ST, UNIT N-110 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-004 Property Address: 345 THAMES ST	Mailing Address: BARRENECHEA, MARIO I. & ANA MARIA G. TE 345 THAMES ST UNIT N104 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-005 Property Address: 345 THAMES ST	Mailing Address: WAYLAND WILLIAM F & LORNA E TRUSTEES REVOC 345 THAMES ST UNT 105 N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-006 Property Address: 345 THAMES ST	Mailing Address: DEMARCO, MICHAEL D. ELIZABETH M. TE 345 THAMES ST UNIT 106N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-008 Property Address: 345 THAMES ST	Mailing Address: CHRISTOPHER, JANET E TRUSTEE CHRISTOPHER FAMILY TRUST 345 THAMES ST #108 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-009 Property Address: 345 THAMES ST	Mailing Address: HURST, JAMES WILLIAM & RANDELLE LEE, TRUSTEES HURST FAMILY 2012 TRUST 345 THAMES ST, Unit N109 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-010 Property Address: 345 THAMES ST	Mailing Address: HOLLAND, JOYCE A. TRUSTEE 345 THAMES ST, UNIT 110N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-011 Property Address: 345 THAMES ST	Mailing Address: BUNN, JAMES BENNING SR & BUNN, JACQUELINE BRYAN TE 141A Main St Tuckahoe, NY 10707
Parcel Number: 9-24 CAMA Number: 9-24-012 Property Address: 345 THAMES ST	Mailing Address: KUFFNER, TAMARA 9 WALNUT RD BARRINGTON, RI 02806
Parcel Number: 9-24 CAMA Number: 9-24-013 Property Address: 345 THAMES ST	Mailing Address: SHERMAN, MAX CHRISTOPHER & MARY B. TE 746 SPINNAKER BEACHHOUSE VILLA SEABROOK ISLAND, SC 29456
Parcel Number: 9-24 CAMA Number: 9-24-014 Property Address: 345 THAMES ST	Mailing Address: BERNARDO, MATTHEW P 345 THAMES ST, UNIT 204N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-015 Property Address: 345 THAMES ST	Mailing Address: MCSTAY, JAMES P. CHERYL A. ETUX TE 345 THAMES ST UNIT 205N BRISTOL, RI 02809



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# 200 feet Abutters List Report

Bristol, RI  
March 27, 2025

Parcel Number: 9-24  
CAMA Number: 9-24-016  
Property Address: 345 THAMES ST

Mailing Address: OBRIEN, MICHAEL T. DENISE E. TE  
345 THAMES ST UNIT 206N  
BRISTOL, RI 02809

Parcel Number: 9-24  
CAMA Number: 9-24-017  
Property Address: 345 THAMES ST

Mailing Address: CAPODILUPO, PETER & JENNIFER C  
345 Thames St Unit 207  
Bristol, RI 02809

Parcel Number: 9-24  
CAMA Number: 9-24-018  
Property Address: 345 THAMES ST

Mailing Address: FITZPATRICK, CAROL A., TRUSTEE  
CAROL A FITZPATRICK REVOCABLE TRUST  
345 THAMES ST, UNIT 208N  
BRISTOL, RI 02809

Parcel Number: 9-24  
CAMA Number: 9-24-019  
Property Address: 345 THAMES ST

Mailing Address: SARKISIAN, HERBERT A. JANET E. TE  
345 THAMES ST UNIT N209  
BRISTOL, RI 02809

Parcel Number: 9-24  
CAMA Number: 9-24-020  
Property Address: 345 THAMES ST

Mailing Address: ROEDIGER, HENRY L. III &  
MCDERMOTT, KATHLEEN B. TR  
345 THAMES ST, UNIT 210  
BRISTOL, RI 02809

Parcel Number: 9-24  
CAMA Number: 9-24-021  
Property Address: 345 THAMES ST

Mailing Address: ROSS, MICHAEL C & ASTRID L  
TRUSTEES  
363 ADAMS ST  
DENVER, CO 80206

Parcel Number: 9-24  
CAMA Number: 9-24-022  
Property Address: 345 THAMES ST

Mailing Address: ZELINGER, ELIZABETH A & GERALD D  
TE  
345 THAMES ST UNIT N302  
BRISTOL, RI 02809

Parcel Number: 9-24  
CAMA Number: 9-24-023  
Property Address: 345 THAMES ST

Mailing Address: SHAMS, NICOLE  
345 THAMES ST., UNIT N-303  
BRISTOL, RI 02809

Parcel Number: 9-24  
CAMA Number: 9-24-024  
Property Address: 345 THAMES ST

Mailing Address: PHILLIPS, JOHN S & KIMBERLY L TE  
345 THAMES ST 304N  
BRISTOL, RI 02809

Parcel Number: 9-24  
CAMA Number: 9-24-025  
Property Address: 345 THAMES ST

Mailing Address: HANKIN, ROBERT B & CHERYL B,  
TRUSTEES ROBERT B & CHERYL B  
HANKIN TRUST TC  
56 RAMBLING DR  
SCOTCH PLAINS, NJ 07076-2955

Parcel Number: 9-24  
CAMA Number: 9-24-026  
Property Address: 345 THAMES ST

Mailing Address: LI, HSI-CHENG TRUSTEE  
345 THAMES ST UNIT N306  
BRISTOL, RI 02809

Parcel Number: 9-24  
CAMA Number: 9-24-027  
Property Address: 345 THAMES ST

Mailing Address: SUTTON, HOWARD G. & SUTTON,  
KIMBERLY G. P. TRUSTEES  
14685 KELSON CIRCLE  
NAPLES, FL 34114



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# 200 feet Abutters List Report

Bristol, RI  
March 27, 2025

Parcel Number: 9-24  
CAMA Number: 9-24-028  
Property Address: 345 THAMES ST

Mailing Address: FRIDOVICH, SHEILA CONSTANCE TR  
345 THAMES ST # N308  
BRISTOL, RI 02809

Parcel Number: 9-24  
CAMA Number: 9-24-029  
Property Address: 345 THAMES ST

Mailing Address: RIPP, PETER & MARI TRUSTEES  
345 THAMES ST UNIT N309  
BRISTOL, RI 02809

Parcel Number: 9-24  
CAMA Number: 9-24-030  
Property Address: 345 THAMES ST

Mailing Address: JOHNSTON, EDWIN M III. & ALEXANDRA S. TE  
345 THAMES ST UNIT 310N  
BRISTOL, RI 02809

Parcel Number: 9-24  
CAMA Number: 9-24-031  
Property Address: 345 THAMES ST

Mailing Address: LOUISE I. PLACIDO IRREVOCABLE TRUST KAUFMAN, BRETT A. TRUSTEE  
345 THAMES ST, Unit 401N  
BRISTOL, RI 02809

Parcel Number: 9-24  
CAMA Number: 9-24-032  
Property Address: 345 THAMES ST

Mailing Address: PINK, LOIS & ANDREW TRUSTEES  
345 THAMES ST UNIT402N  
BRISTOL, RI 02809

Parcel Number: 9-24  
CAMA Number: 9-24-033  
Property Address: 345 THAMES ST

Mailing Address: BOLTON, ALICE C & FOREST E TE  
345 THAMES ST UNIT 403N  
BRISTOL, RI 02809

Parcel Number: 9-24  
CAMA Number: 9-24-034  
Property Address: 345 THAMES ST

Mailing Address: VAN DEVENTER, MARY P. & BRENNAN, KIMBERLY C. TRUSTEES  
345 THAMES ST, UNIT 404N  
BRISTOL, RI 02809

Parcel Number: 9-24  
CAMA Number: 9-24-035  
Property Address: 345 THAMES ST

Mailing Address: FLORIO, IRENE M TRUSTEE IRENE M FLORIO TRUST  
345 THAMES ST UNIT 405N  
BRISTOL, RI 02809

Parcel Number: 9-24  
CAMA Number: 9-24-036  
Property Address: 345 THAMES ST

Mailing Address: JACKSON, LISA R  
345 THAMES ST, UNIT N-406  
BRISTOL, RI 02809

Parcel Number: 9-24  
CAMA Number: 9-24-037  
Property Address: 345 THAMES ST

Mailing Address: RHODE, GRANT F & KATZ, JUDITH TRUSTEES  
345 THAMES ST UNT 407N  
BRISTOL, RI 02809

Parcel Number: 9-24  
CAMA Number: 9-24-038  
Property Address: 345 THAMES ST

Mailing Address: ROWE, ABIGAIL CAMPBELL & DAY, SARAH CAMPBELL TRUSTEES  
215 COTTONTAIL DRIVE  
PORTSMOUTH, RI 02871

Parcel Number: 9-24  
CAMA Number: 9-24-039  
Property Address: 345 THAMES ST

Mailing Address: STONE HARBOUR 409 N LLC  
7918 STAYSAIL CT  
LAKELAND RANCH, FL 34202



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# 200 feet Abutters List Report

Bristol, RI  
March 27, 2025

Parcel Number: 9-24 CAMA Number: 9-24-040 Property Address: 345 THAMES ST	Mailing Address: CASTRIOTTA, LAURA J - TRUSTEE LAURA J CASTRIOTTA TRUST 345 THAMES ST, UNIT N410 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-041 Property Address: 345 THAMES ST	Mailing Address: DAVIDSON, ASIA MARIA TRUSTEE 345 THAMES ST, UNIT 501N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-042 Property Address: 345 THAMES ST	Mailing Address: DUNN, JOHN G. JR TRUSTEE 345 THAMES ST UNIT N502 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-043 Property Address: 345 THAMES ST	Mailing Address: DELL'ORO, JOHN DINO 345 THAMES ST, UNIT 503N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-044 Property Address: 345 THAMES ST	Mailing Address: SUGARMAN, LOUIS TRST ETAL JT MARAGHY, PAUL 345 THAMES ST UNIT 504N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-045 Property Address: 345 THAMES ST	Mailing Address: CHAMPAGNE, MICHEALA J. 345 THAMES ST UNIT 505N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-046 Property Address: 345 THAMES ST	Mailing Address: LUCINI, GREGORY L & PATRICIA A TE 345 THAMES ST UNIT 506N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-047 Property Address: 343 THAMES ST	Mailing Address: SPANG, HENRY A IV & LINDA TE 343 THAMES ST UNIT M-101 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-048 Property Address: 343 THAMES ST	Mailing Address: HICKEY, MICHAEL J. & KATHLEEN O. TRUSTEES 74 CARNEGIE HEIGHTS DR PORTSMOUTH, RI 02871
Parcel Number: 9-24 CAMA Number: 9-24-049 Property Address: 343 THAMES ST	Mailing Address: RATFORD, VINCENT FRANCIS & RATFORD, MARGUERITE ELIZABETH TRUSTEES 343 THAMES ST, UNIT 103M BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-050 Property Address: 343 THAMES ST	Mailing Address: ISRAEL, SCOTT & JAFFE, ALICE & ISRAEL, JOEL & ISRAEL, NATHAN TRUSTEES 4420 GALT OCEAN DR FORT LAUDERDALE, FL 33308
Parcel Number: 9-24 CAMA Number: 9-24-051 Property Address: 343 THAMES ST	Mailing Address: CIVALE, CHRISTOPHER J & BELLAMY, KARA E TRUSTEES 343 THAMES ST # M 301 BRISTOL, RI 02809



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# 200 feet Abutters List Report

Bristol, RI  
March 27, 2025

Parcel Number: 9-24 CAMA Number: 9-24-052 Property Address: 343 THAMES ST	Mailing Address: FETTER, JANET M TRUSTEE JANET M FETTER TRUST 343 THAMES ST 302M BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-053 Property Address: 343 THAMES ST	Mailing Address: GOODNOW, CHRISTOPHER & ANDREA TE 343 THAMES ST, UNIT M-303 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-054 Property Address: 343 THAMES ST	Mailing Address: NASTRO, KIMBERLY & DAVID TE 343 THAMES ST UNIT M304 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-055 Property Address: 341 THAMES ST	Mailing Address: KITS VAN HEYNINGEN, ROBERT W. DEBRA A TE 18 FESSER AVE BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-056 Property Address: 341 THAMES ST	Mailing Address: JON JACQUELINE JORDAN RP TRUST 6924 HICKORY HILL AVE MCLEAN, VA 22101
Parcel Number: 9-24 CAMA Number: 9-24-057 Property Address: 341 THAMES ST	Mailing Address: JACKSON, DEBRA P 174 PINE GLEN DR EAST GREENWICH, RI 02818
Parcel Number: 9-24 CAMA Number: 9-24-058 Property Address: 341 THAMES ST	Mailing Address: LUDLOW, LYNN LEE & LAWRENCE, JAMES S ESQ TRUSTEES-ABRAMSON & LUDLOW TRUST 341 THAMES ST, UNIT 104S BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-059 Property Address: 341 THAMES ST	Mailing Address: FALTEN, PAUL J. & CAROL MILLIAN TE 341 THAMES ST 105 S, Unit 105S BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-060 Property Address: 341 THAMES ST	Mailing Address: LEIBOWITZ, DAVID E & PEGGY A TE 341 THAMES ST UNIT 106S BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-061 Property Address: 341 THAMES ST	Mailing Address: BERKELEY, DUNCAN & AMY TE 67 CENTRAL ST GEORGETOWN, MA 01833
Parcel Number: 9-24 CAMA Number: 9-24-062 Property Address: 341 THAMES ST	Mailing Address: TETU, NORMAND P GINNY L. TE 190 BICENTENNIAL DR HOOKSETT, NH 03106
Parcel Number: 9-24 CAMA Number: 9-24-063 Property Address: 341 THAMES ST	Mailing Address: SAWYER, MICHAEL 341 THAMES ST, UNIT 109S BRISTOL, RI 02809



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# 200 feet Abutters List Report

Bristol, RI  
March 27, 2025

Parcel Number: 9-24 CAMA Number: 9-24-064 Property Address: 341 THAMES ST	Mailing Address: LEENUTAPHONG, DEBORAH LYNN & NARUEKORN TRUSTEES 341 THAMES ST UNIT S110 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-065 Property Address: 341 THAMES ST	Mailing Address: LAPOINTE, WILLIAM H. & LAPOINTE, DONNE M. TRUSTEES 14517 MARSALA WAY NAPLES, FL 34109
Parcel Number: 9-24 CAMA Number: 9-24-066 Property Address: 341 THAMES ST	Mailing Address: BOUCHARD, KENNETH & RIKKI HANSEN - TRUSTEES KENNETH P & RIKKI HANSEN BOUCHARD TRUSTS 25 RELIANCE DR BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-067 Property Address: 341 THAMES ST	Mailing Address: OZTERMIYECI, MUSTAFA MURAT & MATOOK, DEBORAH JOY TE 341 THAMES ST UNIT S203 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-068 Property Address: 341 THAMES ST	Mailing Address: CAMOSCI, ROBERT E & GAIL D TE 341 THAMES ST UNIT 204S BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-069 Property Address: 341 THAMES ST	Mailing Address: KAWAOKA, ERIC J & ESTA TRUSTEES FAMILY TRUST 341 THAMES ST 205S BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-070 Property Address: 341 THAMES ST	Mailing Address: BRAVE, ILENE E & DENNIS G - TRUSTEES ILENE E BRAVE TRUST PO BOX 906 BROOKLANDVILLE, MD 21022
Parcel Number: 9-24 CAMA Number: 9-24-071 Property Address: 341 THAMES ST	Mailing Address: PETERSON, JEFFREY 519 GREGORY AVE WILMETTE, IL 60091
Parcel Number: 9-24 CAMA Number: 9-24-072 Property Address: 341 THAMES ST	Mailing Address: GARRITY, JOHN 341 THAMES ST, UNIT 208S BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-073 Property Address: 341 THAMES ST	Mailing Address: MARTIN, WILLIAM R. & JOAN P. TE 691 15TH AVE SOUTH NAPLES, FL 34102
Parcel Number: 9-24 CAMA Number: 9-24-074 Property Address: 341 THAMES ST	Mailing Address: GRAY, ROBERT C & PATRICIA A TRUSTEES 341 THAMES ST 210S BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-075 Property Address: 341 THAMES ST	Mailing Address: BRUNING, KARLA GANTZ, KATHLEEN 114 EAST 72ND ST APT 19A NEW YORK, NY 10021



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# 200 feet Abutters List Report

Bristol, RI  
March 27, 2025

Parcel Number: 9-24  
CAMA Number: 9-24-076  
Property Address: 341 THAMES ST

Mailing Address: MORSE, ANN R. TRUSTEE ANN R.  
MORSE 1993 TRUST  
341 THAMES ST 302 S  
BRISTOL, RI 02809

Parcel Number: 9-24  
CAMA Number: 9-24-077  
Property Address: 341 THAMES ST

Mailing Address: MUSKET, DAVID B.  
1655 BAY HARBOR LN  
SARASOTA, FL 34231

Parcel Number: 9-24  
CAMA Number: 9-24-079  
Property Address: 341 THAMES ST

Mailing Address: REIG, VIBEKE G TRUSTEE VIBEKE  
REIG LIVING TRUST  
341 THAMES ST UNIT S305  
BRISTOL, RI 02809

Parcel Number: 9-24  
CAMA Number: 9-24-080  
Property Address: 341 THAMES ST

Mailing Address: LYNCH, JOHN J TRUSTEE  
341 THAMES ST UNIT S306  
BRISTOL, RI 02809

Parcel Number: 9-24  
CAMA Number: 9-24-081  
Property Address: 341 THAMES ST

Mailing Address: DEMARCO, GREGORY M. & AMY  
TRUSTEES  
341 THAMES ST S-307  
BRISTOL, RI 02809

Parcel Number: 9-24  
CAMA Number: 9-24-082  
Property Address: 341 THAMES ST

Mailing Address: WILKER, RICHARD E & WILKER,  
PHYLLIS BLOOM TRUSTEES  
341 THAMES ST UNIT S-308  
BRISTOL, RI 02809

Parcel Number: 9-24  
CAMA Number: 9-24-083  
Property Address: 341 THAMES ST

Mailing Address: FARBER, WILLIAM A. & JANICE M. TE  
1339 WESTWAY DR  
SARASOTA, FL 34236

Parcel Number: 9-26  
CAMA Number: 9-26  
Property Address: 555 HOPE ST

Mailing Address: JOHN ANDRADE FOR ANDRADE  
EQUIPMENT COMPANY  
559 HOPE STREET  
BRISTOL, RI 02809

Parcel Number: 9-27  
CAMA Number: 9-27  
Property Address: 549 HOPE ST

Mailing Address: NUNES, PETER A.  
4 HOPKINS LN  
PEACE DALE, RI 02883

Parcel Number: 9-28  
CAMA Number: 9-28  
Property Address: 44 BRADFORD ST

Mailing Address: OCONNELL, ELLEN  
30 PARKER ST  
WATERTOWN, MA 02472-3914

Parcel Number: 9-29  
CAMA Number: 9-29  
Property Address: 36 BRADFORD ST

Mailing Address: WATSON, JAMES CALVIN & ALLISON  
ANITA, TRUSTEES JIM & ALLISON  
WATSON LIVING TRUST  
4906 S DEERFIELD DR  
STILLWATER, OK 74074

Parcel Number: 9-30  
CAMA Number: 9-30  
Property Address: 30 BRADFORD ST

Mailing Address: SJS ASSOCIATES LLC  
93 HIGHLAND RD  
BRISTOL, RI 02809



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# 200 feet Abutters List Report

Bristol, RI  
March 27, 2025

Parcel Number: 9-31  
CAMA Number: 9-31  
Property Address: 22 BRADFORD ST

Mailing Address: 22 BRADFORD LLC  
67 CONSTITUTION ST  
BRISTOL, RI 02809

Parcel Number: 9-33  
CAMA Number: 9-33  
Property Address: 326 THAMES ST

Mailing Address: FENSTER, ZACHARY  
80 BUTTERWORTH AVE  
BRISTOL, RI 02809

Parcel Number: 9-34  
CAMA Number: 9-34  
Property Address: 322 THAMES ST

Mailing Address: BRAUN, EVELYN R & JOHN L TE  
118 CONSTITUTION ST  
BRISTOL, RI 02809

Parcel Number: 9-36  
CAMA Number: 9-36  
Property Address: 539 HOPE ST

Mailing Address: TOWN OF BRISTOL  
10 COURT ST  
BRISTOL, RI 02809

Parcel Number: 9-37  
CAMA Number: 9-37  
Property Address: 525 HOPE ST

Mailing Address: TOWN OF BRISTOL  
10 COURT ST  
BRISTOL, RI 02809

Parcel Number: 9-38  
CAMA Number: 9-38  
Property Address: THAMES ST

Mailing Address: TSL LLC  
244 GANO ST  
PROVIDENCE, RI 02906

Parcel Number: 9-69  
CAMA Number: 9-69  
Property Address: 42 BRADFORD ST

Mailing Address: DOYNE, DERMOT & TERESA TE  
1058 WASHINGTON ST  
BRAintree, MA 02184

Parcel Number: 9-76  
CAMA Number: 9-76  
Property Address: HOPE ST

Mailing Address: NUNES, PETER A.  
4 HOPKINS LN  
PEACE DALE, RI 02883

Parcel Number: 9-78  
CAMA Number: 9-78  
Property Address: BRADFORD ST

Mailing Address: 22 BRADFORD LLC  
67 CONSTITUTION ST  
BRISTOL, RI 02809



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10 Bradford St. -  
Proposed revision  
of entry steps to match  
front porch



Current Entry

10 Bradford St. -  
Proposed revision  
of entry steps to match  
front porch

Current Entry





# Bristol Historic District Commission

Item 7.

## Application for Review of Proposed Work - Printable Application

60807 - 25-29

Non-Contributing

March 14, 2025

**THIS DOCUMENT IS NOT A SUBSTITUTE FOR A BUILDING, ELECTRICAL, SIGN, MECHANICAL, DEMOLITION, SOLAR OR FENCE PERMIT APPLICATION. THESE PERMITS MUST BE APPLIED FOR AND APPROVED BY THE BRISTOL BUILDING DEPARTMENT BEFORE WORK CAN BEGIN.**

Project Address	Assessor's Plat	Assessor's Lot
190 Hope street	84	15

Applicant	Applicant Phone	Applicant Email
Carol Sterling	4015882720	

Property Owner (If Different from Applicant)	Owner Mailing Address
Carol sterling	

Architect/Engineer	A/E Phone Number	A/E Email

Contractor	Contractor Phone Number	Contractor Email
Bruce Donahue	4015882720	Bdonahue5@cox.net

Work Category:	Remodeling of Structure(s)
----------------	----------------------------

Description of proposed work:

current rails are rotted PT, need to replace with white to match Azek for maintenance.

Property History

Building Survey Data	
RIHPHC ID #:	BRIS00618
HISTORIC NAME:	
ARCH. STYLE:	Neo-Shingle?
ORIGINAL CONSTRUCTION DATE (est.):	1989
ALTERATIONS TO MAJOR ARCH. SINCE 1978 (Height, Massing, Wall Covering, Trim, Windows. Porches)	

***Bruce Donahue***


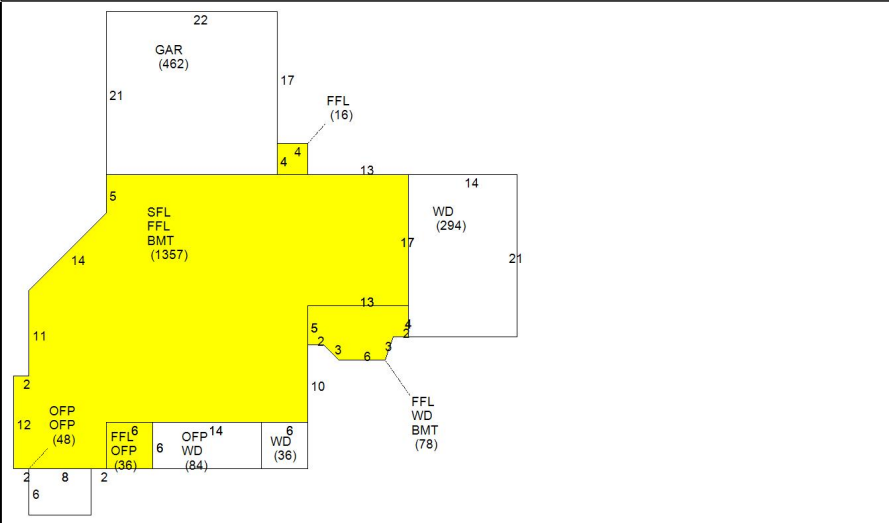
Applicant's Digital Signature

Date: March 14, 2025



# CAI Property Card

Town of Bristol, RI

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR
<p><b>LOCATION:</b> 190 HOPE ST  <b>ACRES:</b> 0.4112  <b>PARCEL ID:</b> 015-0081-000  <b>LAND USE CODE:</b> 01  <b>CONDO COMPLEX:</b>  <b>OWNER:</b> STERLING, CAROL A. &amp; ROBERT F. TE  <b>CO - OWNER:</b>  <b>MAILING ADDRESS:</b> 190 HOPE ST</p> <p><b>ZONING:</b> R-6  <b>PATRIOT ACCOUNT #:</b> 990</p>	<p><b>BUILDING STYLE:</b> Colonial  <b>UNITS:</b> 1  <b>YEAR BUILT:</b> 1988  <b>FRAME:</b> Wood Frame  <b>EXTERIOR WALL COVER:</b> Wood Shngle  <b>ROOF STYLE:</b> Gable  <b>ROOF COVER:</b> Asphalt Shin</p>
SALE INFORMATION	BUILDING INTERIOR
<p><b>SALE DATE:</b> 6/28/2024  <b>BOOK &amp; PAGE:</b> 2248-221  <b>SALE PRICE:</b> 1,999,999  <b>SALE DESCRIPTION:</b>  <b>SELLER:</b> MARSHALL, JASON P. TRUSTEE OF THE</p>	<p><b>INTERIOR WALL:</b> Drywall  <b>FLOOR COVER:</b> Hardwood  <b>HEAT TYPE:</b> Reg A/C  <b>FUEL TYPE:</b> Gas  <b>PERCENT A/C:</b> True  <b># OF ROOMS:</b> 8  <b># OF BEDROOMS:</b> 3  <b># OF FULL BATHS:</b> 2  <b># OF HALF BATHS:</b> 1  <b># OF ADDITIONAL FIXTURES:</b> 2  <b># OF KITCHENS:</b> 1  <b># OF FIREPLACES:</b> 1  <b># OF METAL FIREPLACES:</b> 0  <b># OF BASEMENT GARAGES:</b> 0</p>
PRINCIPAL BUILDING AREAS	 <p style="text-align: right; font-size: small;">2024/09/05 10:05:22</p>
<p><b>GROSS BUILDING AREA:</b> 5449  <b>FINISHED BUILDING AREA:</b> 2844  <b>BASEMENT AREA:</b> 1435  <b># OF PRINCIPAL BUILDINGS:</b> 1</p>	
ASSESSED VALUES	
<p><b>LAND:</b> \$481,300  <b>YARD:</b> \$800  <b>BUILDING:</b> \$434,200  <b>TOTAL:</b> \$916,300</p>	
SKETCH	PHOTO
	



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This information is believed to be correct but is subject to change and is not warranted.



# 200 feet Abutters List Report

Bristol, RI  
March 27, 2025

### Subject Property:

Parcel Number: 15-81  
CAMA Number: 15-81  
Property Address: 190 HOPE ST

Mailing Address: STERLING, CAROL A. & ROBERT F. TE  
190 HOPE ST  
BRISTOL, RI 02809

### Abutters:

Parcel Number: 11-17  
CAMA Number: 11-17  
Property Address: 209 HOPE ST

Mailing Address: RODRIGUES, JOYCE C  
209 HOPE STREET  
BRISTOL, RI 02809

Parcel Number: 15-48  
CAMA Number: 15-48  
Property Address: 29 SUMMER ST

Mailing Address: HANSON, WADE R  
29 SUMMER ST  
BRISTOL, RI 02809

Parcel Number: 15-49  
CAMA Number: 15-49  
Property Address: 25 SUMMER ST

Mailing Address: BAKER, JOHN LINDA  
25 SUMMER ST  
BRISTOL, RI 02809

Parcel Number: 15-50  
CAMA Number: 15-50  
Property Address: 23 SUMMER ST

Mailing Address: ESSELEN, GUSTAVUS J. IV TE &  
CATHERINE M.  
23 SUMMER ST  
BRISTOL, RI 02809

Parcel Number: 15-51  
CAMA Number: 15-51  
Property Address: 19 SUMMER ST

Mailing Address: BERG, KEITH N. & AMY V. TRUSTEES  
19 SUMMER ST  
BRISTOL, RI 02809

Parcel Number: 15-55  
CAMA Number: 15-55  
Property Address: 212 HOPE ST

Mailing Address: CORTELLESSA, JOSEPH M. &  
CORTELLESSA, LORANINE A. &  
208 HOPE ST  
BRISTOL, RI 02809

Parcel Number: 15-56  
CAMA Number: 15-56  
Property Address: 208 HOPE ST

Mailing Address: CORTELLESSA, JOSEPH M. &  
CORTELLESSA, LORRAINE A. &  
208 HOPE ST  
BRISTOL, RI 02809

Parcel Number: 15-61  
CAMA Number: 15-61  
Property Address: 27 NOYES AVE

Mailing Address: PACHECO, JASON D  
27 NOYES AVE  
BRISTOL, RI 02809

Parcel Number: 15-62  
CAMA Number: 15-62  
Property Address: 25 NOYES AVE

Mailing Address: GUILD, MITCHELL A & JUDITH TE  
25 NOYES AVE  
BRISTOL, RI 02809

Parcel Number: 15-63  
CAMA Number: 15-63  
Property Address: 23 NOYES AVE

Mailing Address: FERRATO, JAMES D. & FERRATO,  
PAULA TRUSTEES (1/2) TC  
23 NOYES AVE  
BRISTOL, RI 02809



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# 200 feet Abutters List Report

Bristol, RI  
March 27, 2025

Parcel Number: 15-64 CAMA Number: 15-64 Property Address: 30 SUMMER ST	Mailing Address: LEVY, MARK L & KEATING, CELINE M TE 697 WEST END AVE, APT. 5-D NEW YORK, NY 10025
Parcel Number: 15-65 CAMA Number: 15-65 Property Address: 26 SUMMER ST	Mailing Address: BURKE, CHARLES A. ET AL MARI-LYNN MAURER JT 26 SUMMER ST. BRISTOL, RI 02809
Parcel Number: 15-66 CAMA Number: 15-66 Property Address: 202 HOPE ST	Mailing Address: VANDEVENTER, BRENDAN P & MONICA R TE 202 HOPE ST BRISTOL, RI 02809
Parcel Number: 15-76 CAMA Number: 15-76 Property Address: 11 NOYES AVE	Mailing Address: READ, CLARA E & HURD, JAY B - TRUSTEES CLARA E READ & JAY B HURD TRUST 11 NOYES AVE BRISTOL, RI 02809
Parcel Number: 15-77 CAMA Number: 15-77 Property Address: 23 BURTON ST	Mailing Address: BECKMAN, ANNA E COHEN, JESSE P TE 23 BURTON ST BRISTOL, RI 02809
Parcel Number: 15-78 CAMA Number: 15-78 Property Address: 17 BURTON ST	Mailing Address: STEPHENS, MARK S & SUZETTE R TE 17 BURTON ST BRISTOL, RI 02809
Parcel Number: 15-79 CAMA Number: 15-79 Property Address: 15 BURTON ST	Mailing Address: DAWSON, THOMAS A & LEE H TE 4 JAMIE LANE HOPKINTON, MA 01748
Parcel Number: 15-80 CAMA Number: 15-80 Property Address: 11 BURTON ST	Mailing Address: FORD, DAVID STRATTON, NANCY ETUX 11 BURTON ST BRISTOL, RI 02809
Parcel Number: 15-82 CAMA Number: 15-82 Property Address: 186 HOPE ST	Mailing Address: CAMPBELL, WILLIAM K ETUX JUDITH S. CAMPBELL TE 186 HOPE ST. BRISTOL, RI 02809
Parcel Number: 15-85 CAMA Number: 15-85 Property Address: HOPE ST	Mailing Address: STERLING, CAROL A. & ROBERT F. TE 190 HOPE ST BRISTOL, RI 02809
Parcel Number: 15-89 CAMA Number: 15-89 Property Address: NOYES AVE	Mailing Address: FORD, DAVID STRATTON, NANCY ETUX 11 BURTON ST BRISTOL, RI 02809
Parcel Number: 15-94 CAMA Number: 15-94 Property Address: 10 SUMMER ST	Mailing Address: SCHWENGEL, ROBERT H & ELIZABETH N TRUSTEES 10 SUMMER ST BRISTOL, RI 02809



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# 200 feet Abutters List Report

Bristol, RI  
March 27, 2025

Parcel Number: 16-42  
CAMA Number: 16-42  
Property Address: 169 HOPE ST

Mailing Address: FANTINI, JOANNE  
12 GOULD ST  
NEWPORT, RI 02840

Parcel Number: 16-6  
CAMA Number: 16-6  
Property Address: 22 BURTON ST

Mailing Address: AUSTIN, EDWARD A III TRUSTEE  
EDWARD A AUSTIN III REVOCABLE  
LIVING TRUST  
C/O 45 HIGH ST  
BRISTOL, RI 02809

Parcel Number: 16-7  
CAMA Number: 16-7  
Property Address: 16 BURTON ST

Mailing Address: 16 BURTON ST LLC C/O SERAPHIN &  
MARJORIE DAPONT  
65 VARNUM AVE  
BRISTOL, RI 02809

Parcel Number: 16-8  
CAMA Number: 16-8-001  
Property Address: 19 BURNSIDE ST

Mailing Address: HH ACQUISITIONS LLC  
19 BURNSIDE ST  
BRISTOL, RI 02809

Parcel Number: 16-8  
CAMA Number: 16-8-002  
Property Address: 17 BURNSIDE ST

Mailing Address: HERRESHOFF MARINE MUSEUM  
P. O. BOX 450  
BRISTOL, RI 02809

Parcel Number: 16-8  
CAMA Number: 16-8-003  
Property Address: 1 BURNSIDE ST

Mailing Address: HERRESHOFF MARINE MUSEUM  
P. O. BOX 450  
BRISTOL, RI 02809



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# Bristol Historic District Commission

Item 8.

## Application for Review of Proposed Work - Printable Application

HDC-25-12	Contributing	February 11, 2025
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**THIS DOCUMENT IS NOT A SUBSTITUTE FOR A BUILDING, ELECTRICAL, SIGN, MECHANICAL, DEMOLITION, SOLAR OR FENCE PERMIT APPLICATION. THESE PERMITS MUST BE APPLIED FOR AND APPROVED BY THE BRISTOL BUILDING DEPARTMENT BEFORE WORK CAN BEGIN.**

Project Address	Assessor's Plat	Assessor's Lot
125 Hope Street	16	51

Applicant	Applicant Phone	Applicant Email
Nancy DiPrete Laurienzo	508 857-7934	nancy@NDLdesigns.com

Property Owner (If Different from Applicant)	Owner Mailing Address
	Two Stafford Court Cranston, RI 02920

Architect/Engineer	A/E Phone Number	A/E Email
Gregory J Snider, Architect	401 421-3130	gs@sniderarchitects.com

Contractor	Contractor Phone Number	Contractor Email
Butera Builder	401 245-9577	Buterabuilder.com

Work Category:	New Structure(s)
----------------	------------------

Description of proposed work:

We would like to demo the existing house and garage and build something new that meets Flood and Velocity codes.

Property History

Building Survey Data	
RIHPHC ID #:	BRIS00604
HISTORIC NAME:	Herreshoff, A. Sidney, House
ARCH. STYLE:	Early 20th c.
ORIGINAL CONSTRUCTION DATE (est.):	1940 ca

ALTERATIONS TO MAJOR ARCH. SINCE 1978 (Height, Massing, Wall Covering, Trim, Windows, Porches)

[none observed]

Nancy DiPrete Laurienzo  
Applicant's Name – Printed

**Nancy DiPrete Laurienzo**  
Applicant's Digital Signature

Date: February 11, 2025



# CAI Property Card

Town of Bristol, RI

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR
<b>LOCATION:</b> 125 HOPE ST <b>ACRES:</b> 0.3108 <b>PARCEL ID:</b> 016-0051-000 <b>LAND USE CODE:</b> 01 <b>CONDO COMPLEX:</b> <b>OWNER:</b> 125 HOPE ST, LLC <b>CO - OWNER:</b> <b>MAILING ADDRESS:</b> 2 STAFFORD CT  <b>ZONING:</b> R-6 <b>PATRIOT ACCOUNT #:</b> 1052	<b>BUILDING STYLE:</b> Colonial <b>UNITS:</b> 1 <b>YEAR BUILT:</b> 1930 <b>FRAME:</b> Wood Frame <b>EXTERIOR WALL COVER:</b> Asbestos <b>ROOF STYLE:</b> Hip <b>ROOF COVER:</b> Asphalt Shin
	BUILDING INTERIOR
<b>SALE INFORMATION</b> <b>SALE DATE:</b> 1/8/2025 <b>BOOK &amp; PAGE:</b> 2270-86 <b>SALE PRICE:</b> 725,000 <b>SALE DESCRIPTION:</b> <b>SELLER:</b> HERRESHOFF, HALSEY C, TRUSTEE	<b>INTERIOR WALL:</b> Plaster <b>FLOOR COVER:</b> Hardwood <b>HEAT TYPE:</b> BB Hot Water <b>FUEL TYPE:</b> Oil <b>PERCENT A/C:</b> False <b># OF ROOMS:</b> 10 <b># OF BEDROOMS:</b> 4 <b># OF FULL BATHS:</b> 3 <b># OF HALF BATHS:</b> 0 <b># OF ADDITIONAL FIXTURES:</b> 1 <b># OF KITCHENS:</b> 1 <b># OF FIREPLACES:</b> 1 <b># OF METAL FIREPLACES:</b> 0 <b># OF BASEMENT GARAGES:</b> 0
PRINCIPAL BUILDING AREAS	<b>PHOTO</b> 
<b>GROSS BUILDING AREA:</b> 3784 <b>FINISHED BUILDING AREA:</b> 2402 <b>BASEMENT AREA:</b> 1362 <b># OF PRINCIPAL BUILDINGS:</b> 1	
ASSESSED VALUES	
<b>LAND:</b> \$687,600 <b>YARD:</b> \$3,000 <b>BUILDING:</b> \$226,600 <b>TOTAL:</b> \$917,200	
SKETCH	
	



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This information is believed to be correct but is subject to change and is not warranted.



# 200 feet Abutters List Report

Bristol, RI  
February 24, 2025

### Subject Property:

Parcel Number: 16-51  
CAMA Number: 16-51  
Property Address: 125 HOPE ST

Mailing Address: 125 HOPE ST, LLC  
2 STAFFORD CT  
CRANSTON, RI 02920

### Abutters:

Parcel Number: 16-25  
CAMA Number: 16-25  
Property Address: 136 HOPE ST

Mailing Address: DEININGER, THOMAS D.  
136 HOPE ST  
BRISTOL, RI 02809

Parcel Number: 16-26  
CAMA Number: 16-26  
Property Address: 120 HOPE ST

Mailing Address: STOLYAR, MARK TRUSTEE &  
LEVERTOV, YELENA TRUSTEE  
120 HOPE ST  
BRISTOL, RI 02809

Parcel Number: 16-27  
CAMA Number: 16-27  
Property Address: 129 HOPE ST

Mailing Address: BRISTOL HOPE, LLC  
84 CENTER SQUARE  
EAST LONGMEADOW, MA 01028

Parcel Number: 16-28  
CAMA Number: 16-28  
Property Address: 119 HOPE ST

Mailing Address: LOBSTER POT REALTY INC.  
PO BOX 905  
BRISTOL, RI 02809

Parcel Number: 16-29  
CAMA Number: 16-29-001  
Property Address: 4 WALLEY ST

Mailing Address: SMITH BENJAMIN M TRUSTEE  
6 WALLEY ST  
BRISTOL, RI 02809

Parcel Number: 16-29  
CAMA Number: 16-29-002  
Property Address: 6 WALLEY ST

Mailing Address: SMITH BENJAMIN M TRUSTEE  
6 WALLEY ST  
BRISTOL, RI 02809

Parcel Number: 16-29  
CAMA Number: 16-29-003  
Property Address: 8 WALLEY ST

Mailing Address: ABRAMS, RICHARD I JOAN  
P O BOX 899  
BRISTOL, RI 02809

Parcel Number: 16-29  
CAMA Number: 16-29-004  
Property Address: 10 WALLEY ST

Mailing Address: ABRAMS, RICHARD I JOAN  
P O BOX 899  
BRISTOL, RI 02809

Parcel Number: 16-30  
CAMA Number: 16-30  
Property Address: HOPE ST

Mailing Address: TOWN OF BRISTOL  
10 COURT ST  
BRISTOL, RI 02809

Parcel Number: 16-34  
CAMA Number: 16-34  
Property Address: 124 HOPE ST

Mailing Address: BROWN, CHRISTIAN & KELCIE A TE  
124 HOPE ST  
BRISTOL, RI 02809



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# 200 feet Abutters List Report

Bristol, RI  
February 24, 2025

Parcel Number: 16-35  
CAMA Number: 16-35  
Property Address: 30 WALLEY ST

Mailing Address: BARBOUR-WEBB, ALEXIS S & WEBB,  
PAUL M CO-TRUSTEES  
30 WALLEY ST  
BRISTOL, RI 02809

Parcel Number: 16-40  
CAMA Number: 16-40  
Property Address: 131 HOPE ST

Mailing Address: EDDLESTON, STEVEN R & GLORIA B  
TRUSTEES  
9 MONKEY WRENCH LN  
BRISTOL, RI 02809

Parcel Number: 16-50  
CAMA Number: 16-50  
Property Address: 132 HOPE ST

Mailing Address: BURKHARDT, ANN - TRUSTEE THE ANN  
BURKHARDT TRUST  
132 HOPE ST  
BRISTOL, RI 02809



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125 HOPE STREET, BRISTOL, RHODE ISLAND  
STRUCTURAL INSPECTION, JANUARY 16, 2025

---



Prepared for:

Nancy Diprete Laurienzo  
125 Hope Street, LLC  
C/O DiPrete Law Offices  
Two Stafford Court  
Cranston, RI 02920

WSP USA Buildings Inc.

1223 Mineral Spring Ave  
North Providence, RI 02904

100 Summer Street, 13<sup>th</sup> Floor  
Boston, MA 02110

Tel.: +1 401.724.1771  
wsp.com



## TABLE OF CONTENTS

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EXECUTIVE SUMMARY	3
INTRODUCTION	3
STANDARD OF CARE AND USE OF REPORT	3
DOCUMENTS AVAILABLE	4
KEY PLAN	4
ACTIONS TAKEN	5
EXISTING BUILDINGS DESCRIPTIONS	5
OBSERVED STRUCTURAL DEFICIENCIES, POTENTIAL PROBLEM .	
AREAS, AND COMMENTS	6
STRUCTURAL ANALYSIS	30
CONCLUSION	33





## EXECUTIVE SUMMARY

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It is our professional opinion that the existing buildings are in generally poor condition and have numerous issues which will need to be addressed to maintain the serviceability of the structures. Please refer to the section OBSERVED STRUCTURAL DEFICIENCIES, POTENTIAL PROBLEM AREAS for descriptions and recommendations.

Furthermore, due to the fact that the existing structure is out of compliance with flood resistant construction provisions of the building code, we believe that a complete reconstruction of the building (including raising the structure up by at least 18") would be required in order to comply with the appropriate provisions. Given the poor condition of the structural framing, foundations, and connections, such a reconstruction is likely to be challenging and impractical.

## INTRODUCTION

---

At your request, this office has conducted a structural inspection of the buildings located at 125 Hope Street in Bristol, Rhode Island. This inspection included a visual inspection of the accessible areas of the building's interior and exterior. The following is a report of our findings and recommendations.

## STANDARD OF CARE AND USE OF REPORT

---

Please note that the results of this inspection are limited to cursory visual observations of the accessible areas only. While we have reviewed the areas of interest, portions of the structural framing are concealed by architectural finishes, soil, or was otherwise inaccessible, and therefore unforeseen damage or conditions may be present. The findings of this report represent our professional opinion based on the information available to us at this time.

We understand that this report is intended for your use to determine the current structural condition of the existing building. In any budgeting, adequate contingency for hidden or unforeseen conditions that are not identified or are worse than described herein must be carried.

Please note that all dimensions of the existing structure given herein are approximate and based on measurements or estimates of representative members. Dimensions can and will vary and must be considered as "+/-" in all cases (whether or not the "+/-" symbol is indicated).

## DOCUMENTS AVAILABLE

---

No documents were available for review at the time of authoring this report.

## KEY PLAN

---



*Overall aerial plan photo of 125 Hope Street taken by WSP with a drone. North is oriented approximately down on the page.*

## ACTIONS TAKEN

---

We took the following actions to complete this investigation:

- On Thursday, January 16, 2025, Mr. Robert Bowen, from this office, performed a walk-around tour of the accessible interior and exterior portions of the building and made visual observations of the existing structure and its condition. Mr. Bowen also operated a small un-manned aerial system ("drone") to photograph the building exterior.
- Prepared this written summary of findings and recommendations.
- Discussed with and reviewed by David J. Odeh.

## EXISTING BUILDINGS DESCRIPTIONS

---

The property located at 125 Hope Street in Bristol, RI, has three building structures; the house, east addition (consisting of finished living space that is connected to the house via small hallway, and has a triple-bay garage below) and a shed. The house and shed were built in 1930, and the east addition was built in the 1950's. The buildings are all wood-framed structures with wood plank decking and sheathing. Foundations appear to be reinforced, cast-in-place concrete and/or field stone with a cast-in-place concrete outer layer. No distinct lateral force resistance system was observed. The house is approximately 28 feet wide, 30 feet long, and has two floors with a full basement. The northwest corner of the house was a one car garage, but it has been converted to a laundry room, and has a crawlspace below, and is approximately 11 feet wide and 16 feet long. The east addition is approximately 18 feet wide, 29 feet long, and has one floor with a loft space above, and a full garage below. The shed is a single level with a partial loft space and is approximately 15 feet wide and 30 feet long.

The house roof framing is 2x8 wood rafters spaced 16" on center, and the floor framing is 2x10 wood joists spaced 16" on center. The shed roof framing is 2x6 wood rafters spaced 30" on center, with a partial loft space that is framed with 2x6 wood joists spaced 30" on center. The east addition roof framing was not accessible, but the main floor framing is 2x10 wood joists spaced 16" on center.



*Overall aerial photo of 125 Hope Street taken by WSP with a drone looking approximately north.*

## OBSERVED STRUCTURAL DEFICIENCIES, POTENTIAL PROBLEM AREAS, AND COMMENTS

---

The following structural deficiencies and potential problem areas are examples of visually apparent deficiencies observed by WSP during our walk-through inspection of the existing buildings.



1. Openings in east addition roof.
  - Comments and recommendations: The east addition roof has gaps and/or missing components which may allow weather to infiltrate the building envelope which may cause deterioration to the structural system and/or interior finishes. It is recommended that the deficiencies be repaired by a qualified contractor to ensure weather-tightness of the building envelope and structural integrity of the building.



2. Detached gutter on east addition.
  - o Comments and recommendations: The gutter along the north side of the east addition has detached at the east end. This is a sign of potential deterioration along roof eave and/or top of wall and may be allowing weather to infiltrate the building envelope which may cause deterioration to the structural system and/or interior finishes. Additionally, if the gutter were to fall from the building it may cause damage to property or injure people. It is recommended that the deficiencies be repaired by a qualified contractor to ensure weather-tightness of the building envelope and structural integrity of the building.



3. Insufficient anchorage of east addition wall.
  - o Comments and recommendations: The east addition wall sill plate which supports the floor joists and exterior walls above is not properly anchored to the concrete foundation wall. The anchor appears to be partially contacting the sill plate at the edge, rather than being centered upon the sill plate. The purpose of the anchors is to prevent uplift of the building walls, such as when experiencing lateral loads (wind and/or seismic) or buoyancy due to flooding. This is a structural hazard and it is recommended that appropriate anchorage be designed by a Structural Engineer and installed by a qualified contractor.



4. Floor joist in east addition has split.
  - o Comments and recommendations: A floor joist in the east addition has split from its bottom edge to approximately halfway up its depth. This is a structural hazard as the load carrying capacity of the joist has been greatly reduced which can cause load to be redistributed to the adjacent joists which may overstress them. It is recommended that a repair be designed by a Structural Engineer and installed by a qualified contractor.





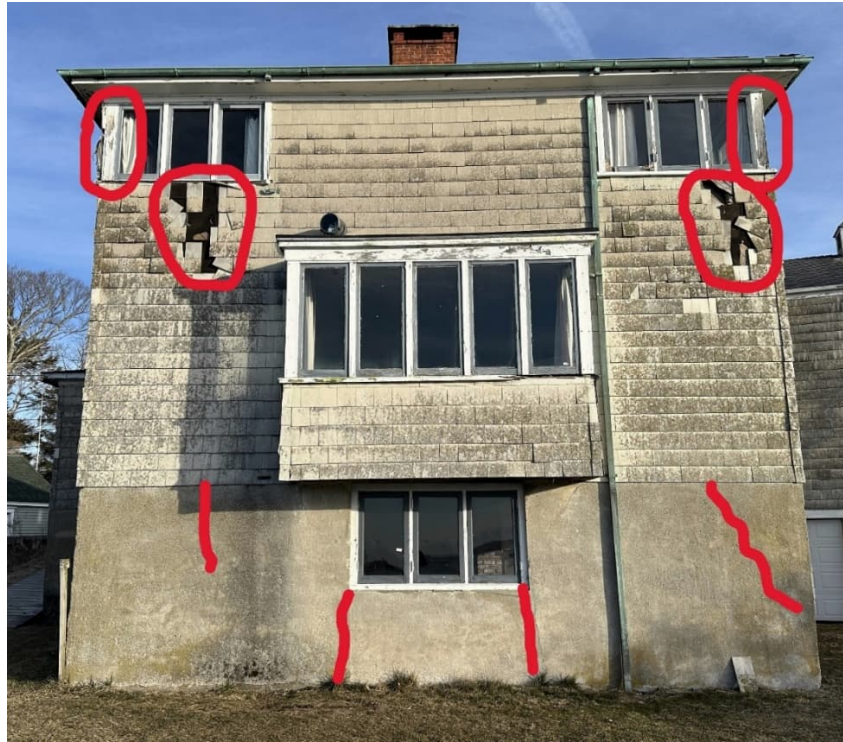
5. Mortar gaps at house chimney.
  - Comments and recommendations: The mortar joints of the brick columns which support the house chimney cap have significant deterioration. If the brick columns were to fail, the chimney cap could fall and possibly damage property or injure people. It is recommended that the mortar joints be repaired by a qualified mason.



6. Holes in the roof and walls.
  - o Comments and recommendations: There are holes in the roof and exterior walls at various locations. These holes have been allowing weather to infiltrate the building envelope and have caused deterioration of the structural system. This is a structural hazard as failure of the roof or wall framing could allow collapse of the building. The roof framing is fully accessible; thus, it is recommended that a Structural Engineer be engaged to design appropriate repairs to be performed by a qualified contractor. The wall framing is not accessible; thus, the amount of deterioration is unknown. The exterior wall sheathing or interior finishes would need to be removed to determine the extent of the deterioration such that appropriate repairs can be designed and implemented.



*This photo shows deterioration of the house roof framing due to holes in the roof.*



#### 7. Exterior wall deterioration.

- Comments and recommendations: The exterior walls are showing signs of deterioration and cracking at various locations. The paint on the corner columns has peeled away and the wood appears to be rotting. Failure of the corner columns could allow the walls to move outward and/or the roof framing to collapse. It is recommended that the columns be removed and replaced.
- Wall shingles are missing which has exposed the wood sheathing and allowed weather to infiltrate the building envelope which may have allowed deterioration within the walls. Deterioration of the walls could lead to their failure. The exterior wall sheathing or interior finishes would need to be removed to determine the extent of the deterioration such that appropriate repairs can be designed and implemented.
- The concrete foundation walls have cracks at various locations. The cracks may be due to settlement (there are several sinkholes in the backyard). The cracks do not currently appear to be a structural hazard. However, the cracks may allow weather to infiltrate into the wall which may lead to additional deterioration. It is recommended that the cracks be repaired by qualified personnel.
- The size and location of wall openings create a discontinuity in the lateral force resistance system from the roof to the foundation. Lateral forces were not a consideration when the house was constructed. It is recommended that a Structural Engineer be engaged to design an appropriate lateral force resistance system.



8. Foundation wall cracks with exposed rusting reinforcement.
  - o Comments and recommendations: The foundation walls below the northwest corner of the house bump-out (former garage, current laundry room) has large horizontal cracks and exposed rusting reinforcement. There also appears to have been previous repairs performed at the wall corner and over the crawlspace doorway opening. The cracks may be due to lateral forces, settlement, and/or building expansion/contraction from changes in temperature and humidity. The cracks may allow weather to infiltrate the wall and cause further damage. The exposed rusting reinforcement will expand and cause further cracking of the wall, thus, exposing more reinforcement and continuing the cycle. It is recommended that the cracks and exposed rusting reinforcement be repaired by qualified personnel using high-performance repair materials.



9. Slab cracks and deflection, efflorescence at previous repair.
  - Comments and recommendations: In the crawlspace below the northwest corner of the house bump-out (former garage, current laundry room), the slab overhead has some longitudinal cracks and is visibly deflected. This is a structural hazard as the cracks and deflection are an indication that the slab may be failing. It is recommended that a Structural Engineer be engaged to design shoring to support the slab.
  - Efflorescence is visible around the edge of a previous wall repair. Efflorescence is a sign of water infiltration into the building envelope which may lead to damage of the wall. It is recommended that a Building Envelope Specialist be engaged to determine the source of the water infiltration and the associated repairs.



10. Spalled foundation wall, exposed rusting reinforcement.

- Comments and recommendations: The foundation wall adjacent to the main entrance stairs has large areas of spalling, some cracks and exposed rusting reinforcement. The spalling may be due to previous cracks that allowed weather to infiltrate the wall causing expansion of the concrete. The current cracks may allow weather to infiltrate the wall and cause further damage. The exposed rusting reinforcement will expand and cause further cracking of the wall, thus, exposing more reinforcement and continuing the cycle. It is recommended that the cracks and exposed rusting reinforcement be repaired by qualified personnel using high-performance repair materials.



11. Deteriorated stairs.

- Comments and recommendations: The exterior stairs to the hallway between the house and east addition have deteriorated and are failing. The stairs are in a hazardous condition and should be replaced. Where the stair connected to the house appears to also be deteriorating and should be investigated further.





12. Peeling paint and efflorescence at interior foundation walls.

- Comments and recommendations: The interior foundation walls have various areas of peeling paint and efflorescence. Efflorescence is a sign of water infiltration into the building envelope which may lead to damage of the wall. It is recommended that a Building Envelope Specialist be engaged to determine the source of the water infiltration and the associated repairs.



13. Efflorescence at fireplace in basement.

- Comments and recommendations: The fireplace in the basement is showing signs of efflorescence and deterioration. Efflorescence is a sign of water infiltration into the building envelope which may lead to damage of the wall. It is recommended that a Building Envelope Specialist be engaged to determine the source of the water infiltration and the associated repairs. It is also recommended that the brick be repaired and/or replaced by a qualified mason.



14. Gaps and deterioration at windows.

- Comments and recommendations: Gaps and deterioration was observed at most of the windows. The gaps allow weather to infiltrate the building envelope which can cause the deterioration. The deterioration of the window frames and sills may allow weather to get into the wall cavity which may allow deterioration of the wall structure. It is recommended that further investigation into the wall cavity be performed to determine its condition.



15. Wall and ceiling cracks at house corners.
- Comments and recommendations: The walls and ceilings are cracked at each of the house corners. The cracks are due to movement of the building. The exterior corner columns and walls are showing signs of deterioration which may be allowing the walls to displace. Please refer to comment D.7 for additional information.



16. Interior wall finish buckling.

- Comments and recommendations: A portion of plaster on an interior wall of the house has detached and buckled outward. This is an indication that the wall behind the plaster may have moved. It is recommended that further investigation of the wall, requiring removal of the plaster, be performed to determine the structural stability of the wall.



17. Staining on laundry room ceiling.

- Comments and recommendations: There are stains on the laundry room ceiling which indicate the infiltration of water. Prolonged water infiltration may cause deterioration to the roof elements, structural system, and interior finishes. Further investigation is required to determine the cause of the water infiltration and if there is damage to the structure.



18. Laundry room concrete floor slab and wall cracks.

- Comments and recommendations: Cracks in the laundry room concrete floor slab and wall were observed. The cracks are most likely due to building movement and/or settlement. It is recommended that the cracks be repaired using high-performance materials by qualified personnel.



19. Deterioration and vegetation at shed exterior.

- Comments and recommendations: Deterioration of the exterior wood and attached vegetation on the shed was observed at various locations. It is recommended that the deteriorated parts be replaced in-kind and the vegetation be removed as it can create openings in the building envelope which may allow water and air infiltration that could cause damage to the structure and/or exterior of the shed.





20. Shed foundation wall cracks.

- Comments and recommendations: The shed foundation wall has cracks at various locations. The cracks may be due to lateral forces, settlement, and/or building expansion/contraction from changes in temperature and humidity. The cracks may allow weather to infiltrate the wall and cause further damage. It is recommended that the cracks be repaired by qualified personnel using high-performance repair materials.



21. Shed roof framing connections potentially insufficient for uplift.
- Comments and recommendations: The shed roof framing appears to be connected to the perimeter beam by a single nail which is potentially insufficient to resist design wind uplift forces. It is recommended that joist hurricane straps be installed to connect the joist to the perimeter beam.



22. No sill anchors.

- Comments and recommendations: The shed sill plate does not appear to be anchored to the foundation wall. The purpose of the sill plate anchors is to prevent uplift of the building walls and columns, such as when experiencing lateral loads (wind and/or seismic). This is a structural hazard, and it is recommended that appropriate anchorage be designed by a Structural Engineer and installed by a qualified contractor.

## STRUCTURAL ANALYSIS

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Based on our review of the possible project scope of work provided by the Architect, we understand that the potential renovations to the building may include one or more of the following scope items:

- Reconstruction or replacement of the buildings. In either case the intent would be to conform to modern building codes due to the extent of work.

Note that only preliminary plans were provided as part of this report, so all findings are preliminary and subject to revision based on the final architectural program.

### BUILDING CODE REQUIREMENTS

Structural analysis of the existing buildings is governed by the current Rhode Island State building Code (RISBC-2) for One and Two Family Dwellings as amended. The code is based on the International Residential Code 2018 (IRC 2018) and its referenced standards. Referenced code sections below refer to the IRC2018 and relevant provisions.

#### Proposed Alterations:

Should the work proceed as a renovation of the existing building, we recommend that the governing provisions of the code would be Appendix J (non-mandatory) "Existing Buildings and Structures". Per AJ501.4 Structural, the building may be evaluated for the minimum design loads applicable at the time of the original construction, and structural elements found to be unsound or dangerous "shall be made to comply with the applicable requirements of this code."

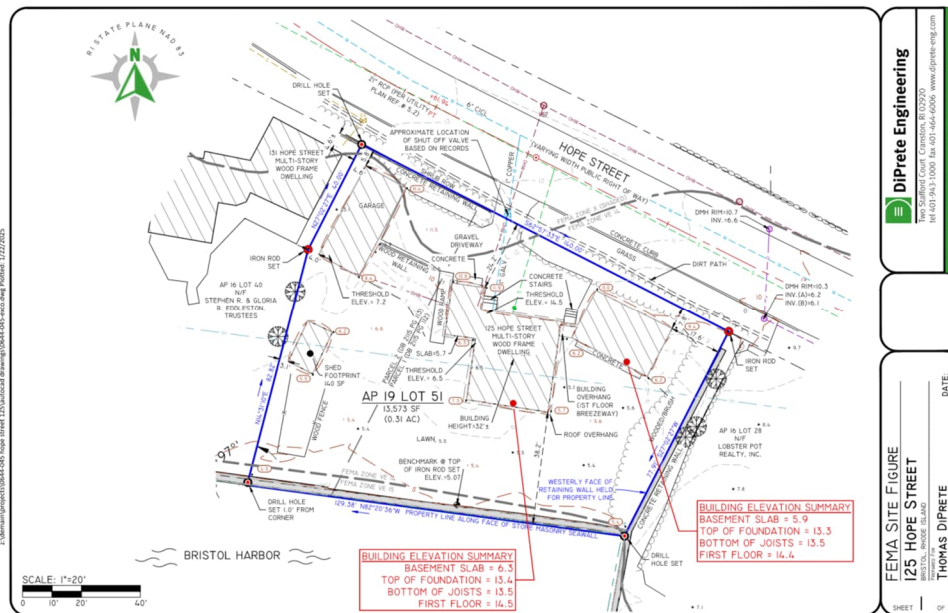
It is our professional opinion that there are several areas of significant structural damage in the building as described above. The most important area of concern is the lateral force resisting system of the structure (exterior walls, floors and roofs). For example, deficiency D.6 suggests that the exterior wall boards (which provide lateral stability) are in very poor condition in critical areas of the building. Also, deficiency D.21 shows inadequate anchorage of the roof framing in some areas for wind uplift forces. Given the location of the house with direct exposure to the waterfront, even the original design of the building is not in compliance with the wind loading provisions of the current IRC – thus repair of the deficiencies should be designed to upgrade the entire structure to meet modern hurricane resistant standards per RISBC-2.

Additionally, the existing floor construction in the east addition appears to be inadequately designed for the minimum floor loads required for a residential occupancy, and would likely require reconstruction or reinforcement to meet this requirement.

### Flood Resistant Construction

Should the proposed work on the site be deemed to comprise a “substantial improvement” per R105.3.1.1, the buildings would need to be upgraded to comply with the provisions of section R322 “Flood-Resistant Construction”.

We are in receipt of survey results from DiPrete Engineering dated January 22, 2025 that indicate that “the site is located within a *Special Flood Hazard Area VE wave velocity zone*, Base Flood Elevation = 14.0”. According to this report, the bottom of the lowest horizontal structural members are located at elevation 13.5 at both buildings.



According to section R322 of the building code, the following are some of the key provisions would be applicable to this construction on this site (NOTE: only significant structural provisions are indicated in this report - a full analysis of all provisions, including architectural and mechanical systems requirements, would be required as part of any design for the proposed project):

- R322.1.2 Structural systems must be designed, connected and anchored to resist flotation, collapse or permanent lateral movement due to structural loads and stresses from flooding equal to the design flood elevation. COMMENT: Due to the observed deficiencies in the building structure and connections described above, it is our opinion that the existing structure would require significant structural upgrade to meet this requirement.

- R322.1.3 Flood Resistant construction – buildings and structures are required to be constructed using methods to minimize flood damage. COMMENT: The condition and type of materials used in the existing structure would require replacement or reconstruction in our opinion to meet this requirement.
  
- R322.3.2 (1) The bottom of the lowest horizontal members supporting the lowest floor must be elevated to be at or above the base flood elevation plus one foot (or design flood elevation chosen for the project, whichever is higher). COMMENT: According to the survey report referenced above, the bottom of the existing floor joists are located 18” below the required elevation per this provision of the code. Therefore, in order to comply with this provision, the owner would require a variance or physically raise the building by at least 18” to comply. Given the state of the existing structure, it is our professional opinion that raising the building would be difficult and likely impractical given the condition of the structure.
  
- R322.3.3 Buildings and structures must be supported on pilings or columns and anchored thereto. The space below the elevated building must be either free of obstruction, or enclosed with breakaway walls as per R322.3.5. Shallow foundations (such as footings) must be engineered for adequate protection from scour and erosion. COMMENT: The existing support walls and foundations do not appear to comply with this provision. Complete reconstruction of the support structure below the floors would be required in order to comply with this requirement.
  
- R322.3.5 Walls and partitions enclosing areas below the design flood elevation must be designed either as breakaway walls, or (as permitted, only for enclosure of egress stairs) engineered for flood loading. COMMENT: The existing support walls are not designed as breakaway walls and would require reconstruction in order to comply with this requirement.
  
- R322.3.6 Enclosed areas below the design flood elevation may be used solely for parking of vehicles, building access, or storage.

## CONCLUSION

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In conclusion, it is our professional opinion that the existing buildings are in generally poor condition and have numerous issues which will need to be addressed to maintain the serviceability of the structures. Please refer to the section Observed Building Deficiencies and Potential Problem Areas for descriptions and recommendations.

Furthermore, due to the fact that the existing structure is out of compliance with flood resistant construction provisions of the building code, we believe that a complete reconstruction of the building (including raising the structure up by at least 18") would be required in order to comply with the appropriate provisions. Given the poor condition of the structural framing, foundations, and connections, such a reconstruction is likely to be challenging and impractical.

We trust that this report meets your needs at the present time. If we can answer any questions or provide you with additional information, please do not hesitate to contact us.

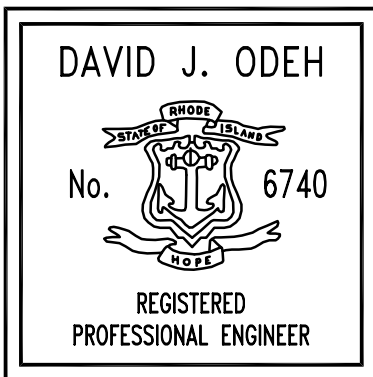
Sincerely,

---

David J. Odeh, PE (RI and 23 others)  
SE, F. SEI, F. ASCE  
Senior Vice President  
National Director of Building Structures

---

Robert A. Bowen, PE (PA)  
Consultant  
Building Structures



z:\dmain\projects\0644-045 hope street 125\autocad drawings\0644-045-exco.dwg Plotted: 1/22/2025



FUTURE FINISH FLOOR ELEVATION = 16.25



BASE FLOOD ELEVATION = 14.0

FUTURE FINISH FLOOR CALCULATION

BFE + 1.0' TO LOWEST HORIZONTAL MEMBER + 15" (1.25') FUTURE JOISTS AND SUBFLOOR

= 14.0 + 1.0' + 1.25' = 16.25



FUTURE FINISH FLOOR ELEVATION = 16.25

BASE FLOOD ELEVATION = 14.0



Two Stafford Court Cranston, RI 02920  
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport

ELEVATION VIEWS  
125 HOPE STREET  
BRISTOL, RHODE ISLAND

PREPARED FOR  
**THOMAS DIPRETE**  
2 STAFFORD COURT, CRANSTON, RHODE ISLAND 02920  
DATE: 1/22/2025

DE JOB No: 0644-045 COPYRIGHT 2025 BY DIPRETE ENGINEERING ASSOCIATES, INC.





February 3, 2025

125 Hope St, LLC  
c/o NDL Designs  
148 Thayer Drive  
Portsmouth RI, 02871

RE: 125 Hope Street – Existing Building Elevation Summary  
Bristol, Rhode Island  
Project #: 0644-045

Dear Ms. Laurienzo:

In August of 2024, DiPrete Engineering performed a boundary and topographic survey of the above referenced subject property. The site is located within a Special Flood Hazard Area (VE wave velocity zone, Base Flood Elevation = 14.0). This was determined by consulting FEMA Flood Map panel no. 44001C0014H, bearing an effective date of July 7, 2014. The existing elevations on the lot are all below this Base Flood Elevation. On January 20, 2025, additional floor elevation detail survey work was performed. This survey focused on obtaining the lowest floor elevation (basement slab) and other existing structural elements.

The enclosed figures summarize these elevations. The site plan figure lists the obtained existing lowest floor, bottom of existing joists, top of foundation and existing first floor elevations of the existing main structures. These elevations are summarized below. The second figure has pictures of the existing front and rear of these buildings with lines superimposed on them representing the existing Base Flood Elevation and proposed future finish floor elevations to show the impact on the existing buildings.

	Central Main Building	Eastern Building
Basement Slab Elevation	6.3	5.9
Top of Foundation Elevation	13.4	13.3
Bottom of Joist Elevation	13.5	13.5
First Floor Elevation	14.5	14.4

This shows that the lowest horizontal structural member (joists at elevation 13.5) is approximately 18 inches below the building code requirement to be at least a foot above the base flood elevation (14.0 + 1.0 = 15.0). Also, the existing mechanical systems that are in this lower area, while slightly elevated off the basement floor (mechanicals at approximately elevation 7.0), are still well below the base flood elevation by at least 7 feet.

If you have any further questions on this matter, please feel free to contact me at your earliest convenience.

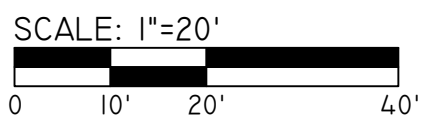
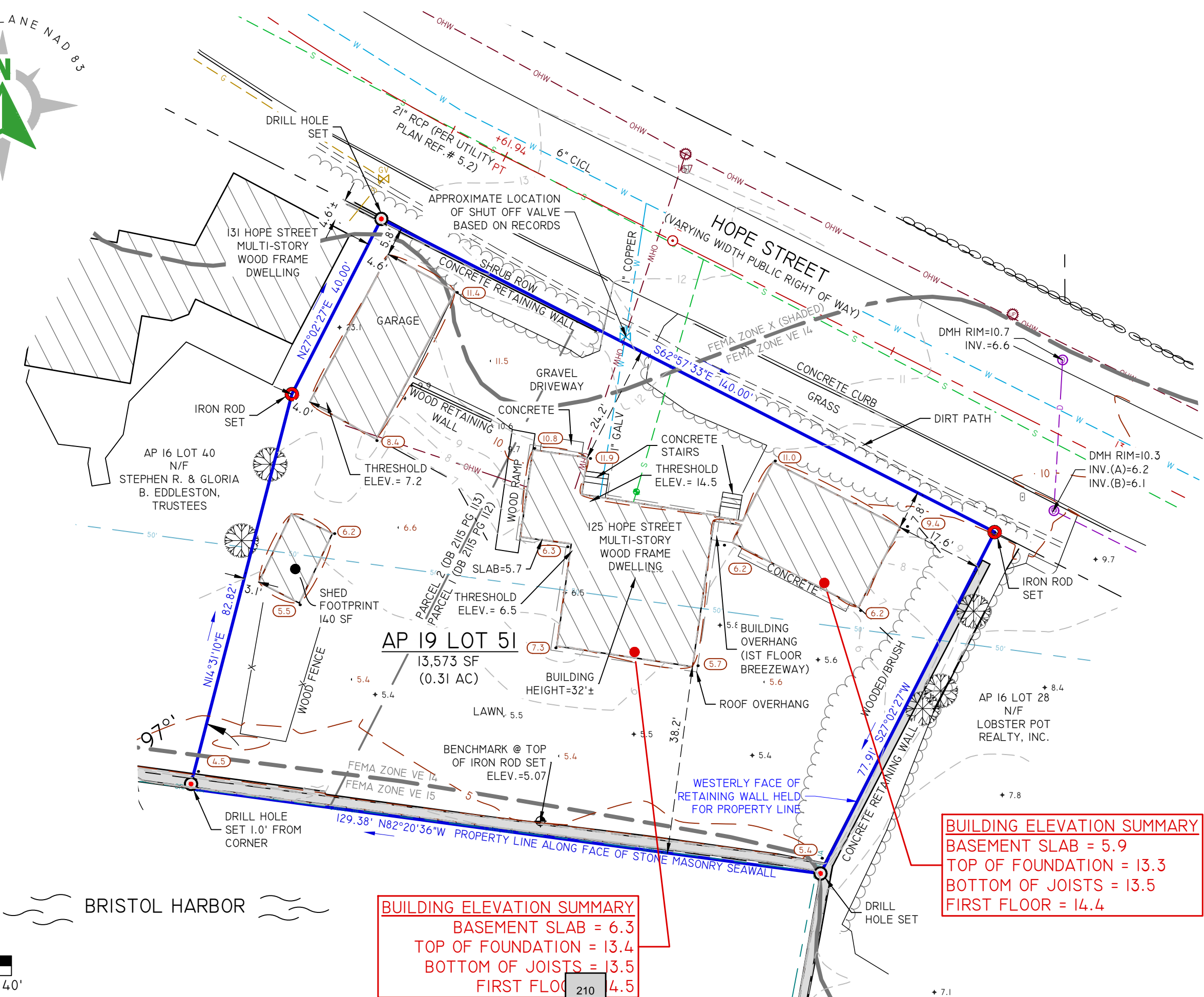
Sincerely,  
DiPrete Engineering Associates, Inc.

Michael Gavitt, PLS, LLS  
Senior Survey Project Manager  
mgavitt@diprete-eng.com

*Enclosure: Figures summarizing elevations*



z:\dmain\projects\0644-045 hope street 125\autocad drawings\0644-045-exco.dwg Plotted: 1/22/2025



BRISTOL HARBOR

**BUILDING ELEVATION SUMMARY**  
 BASEMENT SLAB = 6.3  
 TOP OF FOUNDATION = 13.4  
 BOTTOM OF JOISTS = 13.5  
 FIRST FLOOR = 14.5

**BUILDING ELEVATION SUMMARY**  
 BASEMENT SLAB = 5.9  
 TOP OF FOUNDATION = 13.3  
 BOTTOM OF JOISTS = 13.5  
 FIRST FLOOR = 14.4



Two Stafford Court Cranston, RI 02920  
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

**Boston • Providence • Newport**

FEMA SITE FIGURE  
125 HOPE STREET  
BRISTOL, RHODE ISLAND

PREPARED FOR  
**THOMAS DIPRETE**  
2 STAFFORD COURT, CRANSTON, RHODE ISLAND 02920  
DATE: 1/22/2025

DE JOB No: 0644-045 COPYRIGHT 2025 BY DIPRETE ENGINEERING ASSOCIATES, INC.



# Bristol Historic District Commission

Item 1.

## Request For Concept Review

Request #: CRHD-25-2 Submitted Date: March 12, 2025

Property Address:	Assessor's Plat:	Assessor's Lot:
125 Hope Street	16	51

Property Owner/Applicant:	Property Owner/Applicant Phone:	Property Owner/Applicant Email:
Nancy DiPrete Laurienzo	508 857-7934	nancy@NDLdesigns.com

Property Owner (If Different from Applicant)	Mailing Address (If Different from Property Address)
125 Hope Street ,llc	Two Stafford Court, Cranston, RI 02920

Description of Proposed Work
Preliminary Concept Review of House styles pending permission to demo the existing house

Questions for the Commission



# CAI Property Card

Town of Bristol, RI

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR	
<p><b>LOCATION:</b> 125 HOPE ST  <b>ACRES:</b> 0.3108  <b>PARCEL ID:</b> 016-0051-000  <b>LAND USE CODE:</b> 01  <b>CONDO COMPLEX:</b>  <b>OWNER:</b> 125 HOPE ST, LLC  <b>CO - OWNER:</b>  <b>MAILING ADDRESS:</b> 2 STAFFORD CT</p> <p><b>ZONING:</b> R-6  <b>PATRIOT ACCOUNT #:</b> 1052</p>	<p><b>BUILDING STYLE:</b> Colonial  <b>UNITS:</b> 1  <b>YEAR BUILT:</b> 1930  <b>FRAME:</b> Wood Frame  <b>EXTERIOR WALL COVER:</b> Asbestos  <b>ROOF STYLE:</b> Hip  <b>ROOF COVER:</b> Asphalt Shin</p>	
	BUILDING INTERIOR	
<th data-bbox="82 674 966 716">SALE INFORMATION</th> <td data-bbox="966 558 1526 1314"> <p><b>INTERIOR WALL:</b> Plaster  <b>FLOOR COVER:</b> Hardwood  <b>HEAT TYPE:</b> BB Hot Water  <b>FUEL TYPE:</b> Oil  <b>PERCENT A/C:</b> False  <b># OF ROOMS:</b> 10  <b># OF BEDROOMS:</b> 4  <b># OF FULL BATHS:</b> 3  <b># OF HALF BATHS:</b> 0  <b># OF ADDITIONAL FIXTURES:</b> 1  <b># OF KITCHENS:</b> 1  <b># OF FIREPLACES:</b> 1  <b># OF METAL FIREPLACES:</b> 0  <b># OF BASEMENT GARAGES:</b> 0</p> </td>	SALE INFORMATION	<p><b>INTERIOR WALL:</b> Plaster  <b>FLOOR COVER:</b> Hardwood  <b>HEAT TYPE:</b> BB Hot Water  <b>FUEL TYPE:</b> Oil  <b>PERCENT A/C:</b> False  <b># OF ROOMS:</b> 10  <b># OF BEDROOMS:</b> 4  <b># OF FULL BATHS:</b> 3  <b># OF HALF BATHS:</b> 0  <b># OF ADDITIONAL FIXTURES:</b> 1  <b># OF KITCHENS:</b> 1  <b># OF FIREPLACES:</b> 1  <b># OF METAL FIREPLACES:</b> 0  <b># OF BASEMENT GARAGES:</b> 0</p>
<th data-bbox="82 915 966 957">PRINCIPAL BUILDING AREAS</th> <td data-bbox="966 1314 1526 1356"></td>	PRINCIPAL BUILDING AREAS	
<p><b>GROSS BUILDING AREA:</b> 3784  <b>FINISHED BUILDING AREA:</b> 2402  <b>BASEMENT AREA:</b> 1362  <b># OF PRINCIPAL BUILDINGS:</b> 1</p>		
<th data-bbox="82 1115 966 1157">ASSESSED VALUES</th> <td data-bbox="966 1398 1526 1440"></td>	ASSESSED VALUES	
<p><b>LAND:</b> \$687,600  <b>YARD:</b> \$3,000  <b>BUILDING:</b> \$226,600  <b>TOTAL:</b> \$917,200</p>		
SKETCH	PHOTO	



www.cai-tech.com

This information is believed to be correct but is subject to change and is not warranted.



# 200 feet Abutters List Report

Bristol, RI  
March 27, 2025

### Subject Property:

Parcel Number: 16-51  
CAMA Number: 16-51  
Property Address: 125 HOPE ST

Mailing Address: 125 HOPE ST, LLC  
2 STAFFORD CT  
CRANSTON, RI 02920

### Abutters:

Parcel Number: 16-25  
CAMA Number: 16-25  
Property Address: 136 HOPE ST

Mailing Address: DEININGER, THOMAS D.  
136 HOPE ST  
BRISTOL, RI 02809

Parcel Number: 16-26  
CAMA Number: 16-26  
Property Address: 120 HOPE ST

Mailing Address: STOLYAR, MARK TRUSTEE &  
LEVERTOV, YELENA TRUSTEE  
120 HOPE ST  
BRISTOL, RI 02809

Parcel Number: 16-27  
CAMA Number: 16-27  
Property Address: 129 HOPE ST

Mailing Address: BRISTOL HOPE, LLC  
84 CENTER SQUARE  
EAST LONGMEADOW, MA 01028

Parcel Number: 16-28  
CAMA Number: 16-28  
Property Address: 119 HOPE ST

Mailing Address: LOBSTER POT REALTY INC.  
PO BOX 905  
BRISTOL, RI 02809

Parcel Number: 16-29  
CAMA Number: 16-29-001  
Property Address: 4 WALLEY ST

Mailing Address: SMITH BENJAMIN M TRUSTEE  
6 WALLEY ST  
BRISTOL, RI 02809

Parcel Number: 16-29  
CAMA Number: 16-29-002  
Property Address: 6 WALLEY ST

Mailing Address: SMITH BENJAMIN M TRUSTEE  
6 WALLEY ST  
BRISTOL, RI 02809

Parcel Number: 16-29  
CAMA Number: 16-29-003  
Property Address: 8 WALLEY ST

Mailing Address: ABRAMS, RICHARD I JOAN  
P O BOX 899  
BRISTOL, RI 02809

Parcel Number: 16-29  
CAMA Number: 16-29-004  
Property Address: 10 WALLEY ST

Mailing Address: ABRAMS, RICHARD I JOAN  
P O BOX 899  
BRISTOL, RI 02809

Parcel Number: 16-30  
CAMA Number: 16-30  
Property Address: HOPE ST

Mailing Address: TOWN OF BRISTOL  
10 COURT ST  
BRISTOL, RI 02809

Parcel Number: 16-34  
CAMA Number: 16-34  
Property Address: 124 HOPE ST

Mailing Address: BROWN, CHRISTIAN & KELCIE A TE  
124 HOPE ST  
BRISTOL, RI 02809



www.cai-tech.com

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# 200 feet Abutters List Report

Bristol, RI  
March 27, 2025

Parcel Number: 16-35  
CAMA Number: 16-35  
Property Address: 30 WALLEY ST

Mailing Address: BARBOUR-WEBB, ALEXIS S & WEBB,  
PAUL M CO-TRUSTEES  
30 WALLEY ST  
BRISTOL, RI 02809

Parcel Number: 16-40  
CAMA Number: 16-40  
Property Address: 131 HOPE ST

Mailing Address: EDDLESTON, STEVEN R & GLORIA B  
TRUSTEES  
9 MONKEY WRENCH LN  
BRISTOL, RI 02809

Parcel Number: 16-50  
CAMA Number: 16-50  
Property Address: 132 HOPE ST

Mailing Address: BURKHARDT, ANN - TRUSTEE THE ANN  
BURKHARDT TRUST  
132 HOPE ST  
BRISTOL, RI 02809



[www.cai-tech.com](http://www.cai-tech.com)

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Nancy DiPrete Laurienzo

Member : 125 Hope St, llc

508 857-7934 Nancy@NDLdesigns.com

March 21, 2025

Nicholas Toth, MPA  
Planner/HDC Coordinator  
Town of Bristol  
235 High St, Bristol, RI

Dear Nick,

Please see the attached options of proposed elevations and site plans for what we would like to build at 125 Hope St.

After engineering reports indicted that the existing house was not code compliant with FEMA's flood and velocity codes or structurally sound, we engaged a design team who has thoughtfully worked with us to design anew. We are proposing to subdivide the existing lot to build two code compliant homes with view corridors between them and on either side where driveways lead to under house parking.

The current overall horizontal mass of the existing house and garage is 92'-2", blocking most of the water view from the street. Our proposed horizontal mass is significantly less and vertically consistent with many surrounding homes.

In our design process we wanted to pay homage to the Herreshoff house and legacy and while it is not our intent to try to duplicate the house or recreate history we have considered it in each option we are proposing. Because the Herreshoff house would have been considered modern when it was built, we have designed an updated modern scenario as well as two more traditional options that seem in keeping with Bristol. Each of the three scenarios show two complementing houses. We realize that this is a starting point and welcome design direction from the HDC and RIHPHC.

Sincerely yours,



Nancy DiPrete Laurienzo

GREGORY J. SNIDER ARCHITECTS

534 ANGELL STREET  
PROVIDENCE, RHODE ISLAND 02903  
PHONE: 601.421.3130 FAX: 601.421.3133  
GS@SNIDERARCHITECTS.COM

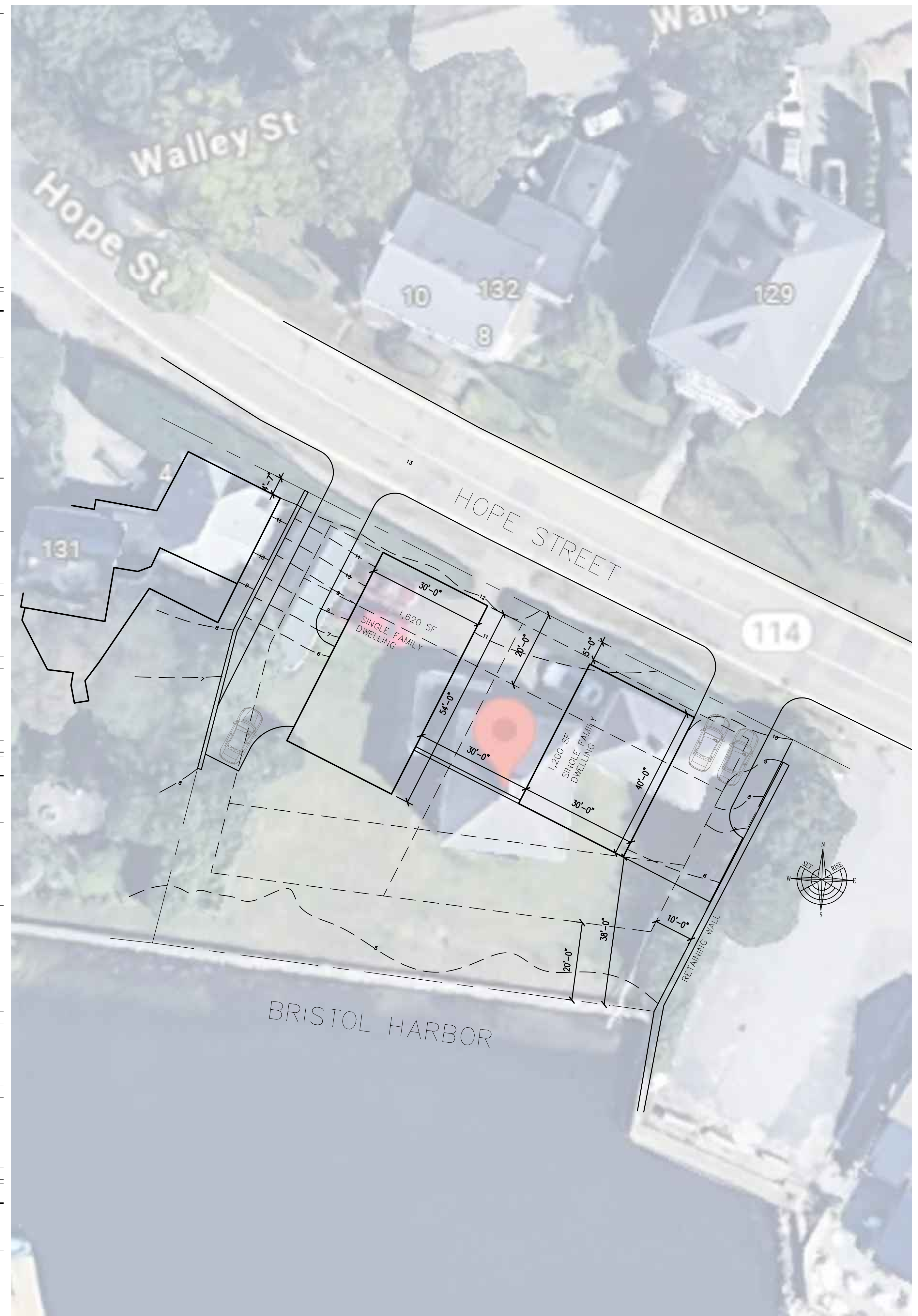
Project  
125 HOPE STREET  
BRISTOL RI 02809

Sheet Title:  
SITE PLAN

ISSUED FOR:	CD	
DATE:	JANUARY 29TH, 2025	
SCALE:	AS NOTED	
DRAWN BY:		
CHECKED BY:	GIS	
FILE NAME:		
DATE	REVISION	BY

Sheet Number:

A 1.0

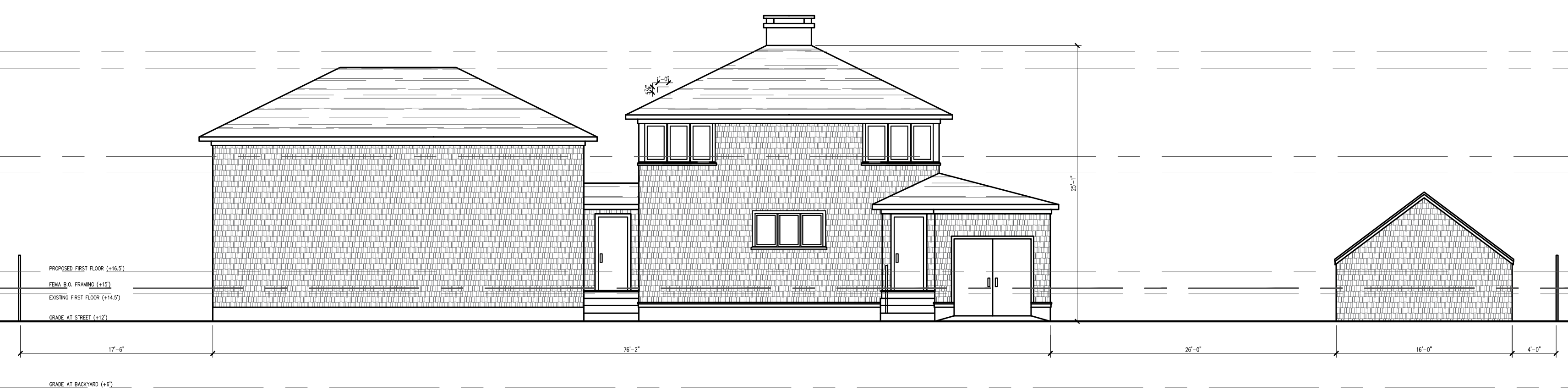
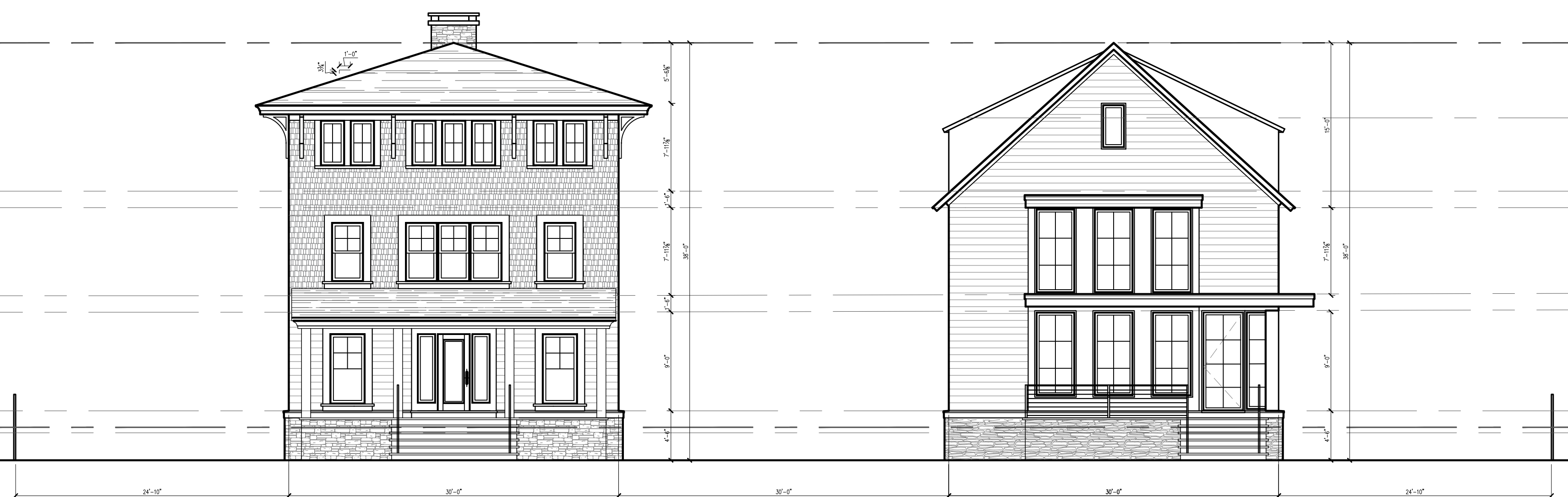
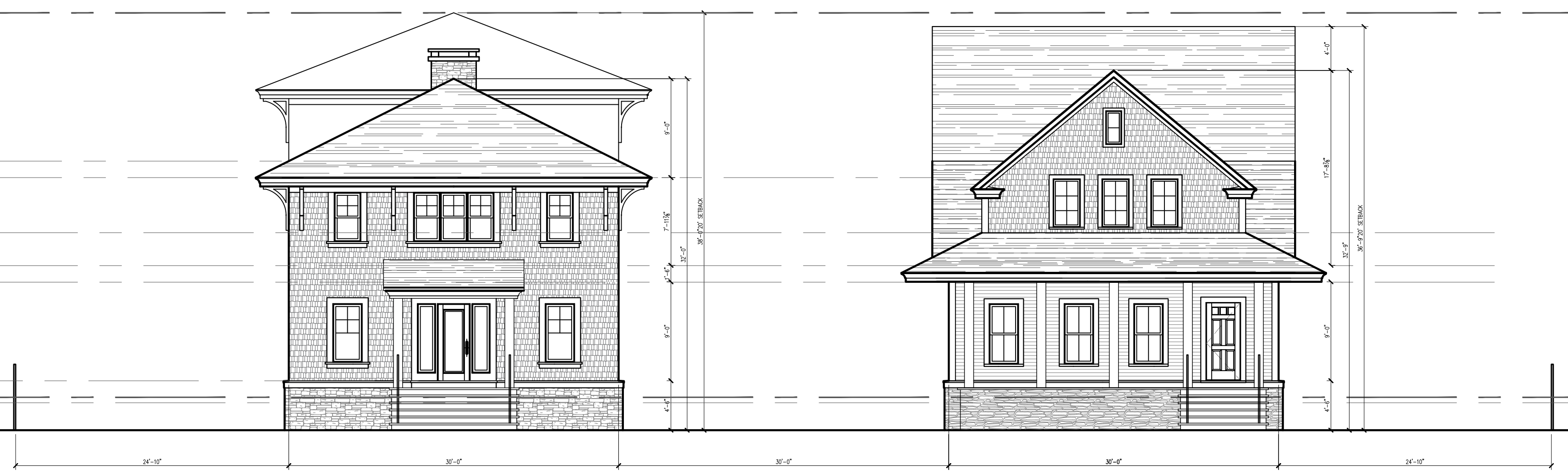


PROPOSED SITE PLAN  
SCALE: 1/16" = 1'-0"

EXISTING STREET ELEVATION  
SCALE: 1/8" = 1'-0"

PROPOSED STREET ELEVATION  
SCALE: 1/8" = 1'-0"

PROPOSED STREET ELEVATION  
SCALE: 1/8" = 1'-0"





GREGORY J. SNIDER ARCHITECTS

534 ANGELL STREET  
PROVIDENCE, RHODE ISLAND 02903  
PHONE: 601.421.3130 FAX: 601.421.3133  
GS@SNIDERARCHITECTS.COM

Project  
125 HOPE STREET  
BRISTOL RI 02809

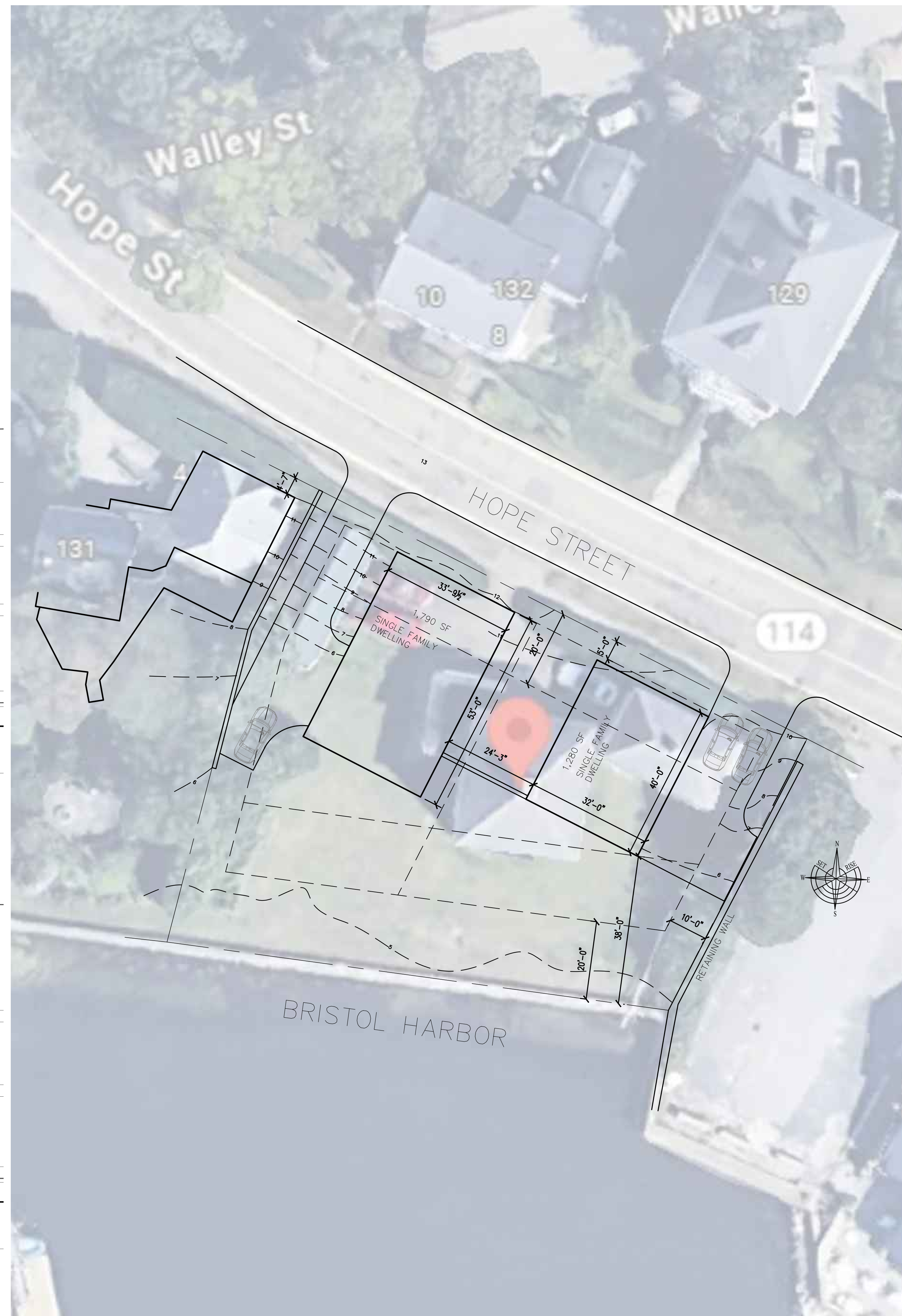
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SITE PLAN

ISSUED FOR:	CD	
DATE:	JANUARY 29TH, 2025	
SCALE:	AS NOTED	
DRAWN BY:	-	
CHECKED BY:	GIS	
FILE NAME:		
DATE	REVISION	BY

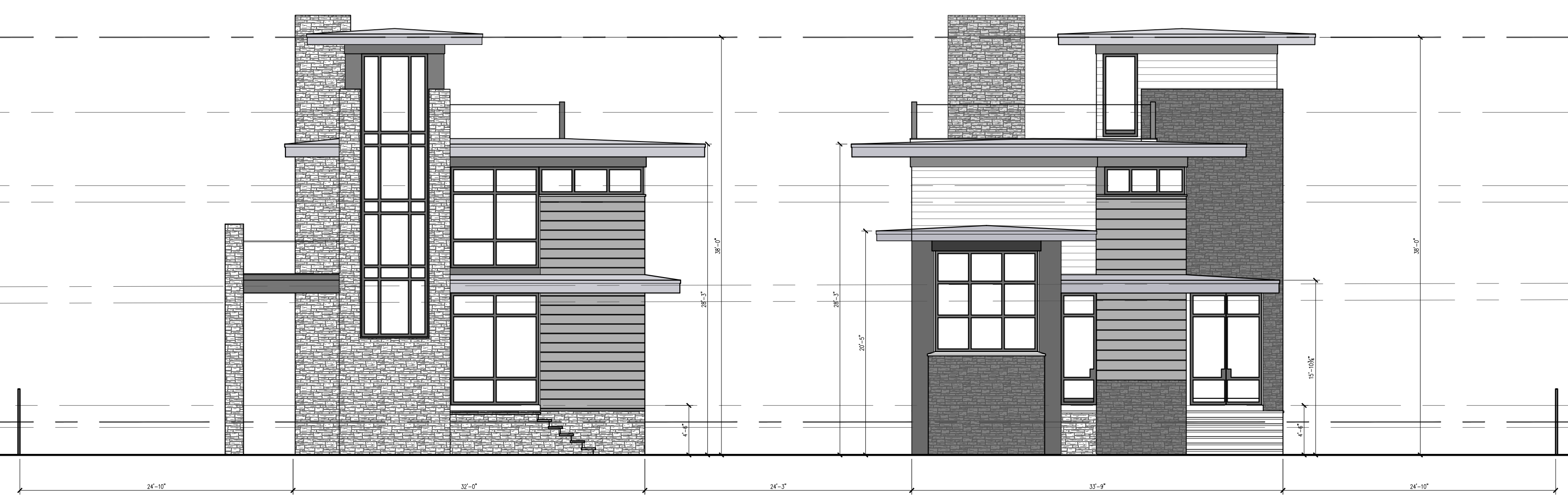
Sheet Number:

A 1.1

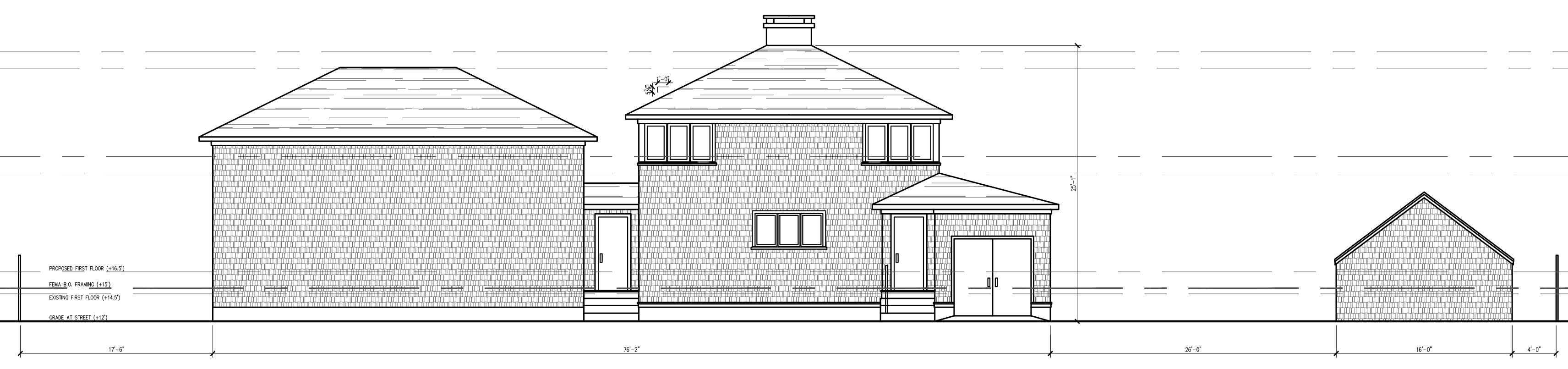
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PROPOSED SITE PLAN  
SCALE: 1/16" = 1'-0"



PROPOSED STREET ELEVATION  
SCALE: 1/8" = 1'-0"



EXISTING STREET ELEVATION  
SCALE: 1/8" = 1'-0"