



TOWN OF BRISTOL, RHODE ISLAND

HISTORIC DISTRICT COMMISSION

**Historic District Commission Agenda
Thursday, January 04, 2024 at 7:00 PM
Bristol Town Hall, 10 Court Street, Bristol, RI 02809**

Written comments may be submitted to the Historic District Commission via regular mail addressed to:

Historic District Commission, Bristol Town Hall, 10 Court Street, Bristol RI 02809 or via email to ntoth@bristolri.gov

Application packets can be found online at www.bristolri.gov/government/commissions/historic-district-commission/

1. **Pledge of Allegiance**
2. **Review of Previous Month's Meeting Minutes**
 1. **Review of December 7 Minutes**
3. **Application Reviews**
 1. **23-149: State Street Dock, Town of Bristol**

Discuss and Act on visual shielding plan for State Street Dock fuel tank.
 2. **23-155: 203 High St, Carol Orphanides**

Discuss and act on replacement of 8 windows.
 3. **23-166: 151 Ferry Rd, Scott Hutchens**

Discuss and act on redesign of approved application 22-095 substituting Pergola for poolhouse that was previously approved.
 4. **23-168: 256 Hope St, Philip Elmer**

Discuss and act on installation of solar panels on southern elevation of house and addition.
 5. **23-173: 56 High St, Herbert Simmons:**

Discuss and act on replacement of metal gutters with fiberglass gutters.

6. 23-175: 9 Thames St, Robin Karian

Discuss and act on replacement of 6 Andersen 400 series windows in kind.

7. 23-180: 21 Bradford St, Elvio Sciaccia

Discuss and act on Fencing, decking material, AC condenser locations and driveway

4. Concept Review

5. Monitor Reports & Project Updates

6. HDC Coordinator Reports & Project Updates

1. 2023 CLG Report

2. Administrative Approvals 11/17/2023-12/15/2023

7. HDC Coordinator Approvals

8. Other Business

9. Adjourned

TOWN OF BRISTOL, RHODE ISLAND

HISTORIC DISTRICT COMMISSION



Historic District Commission Meeting Minutes

Thursday, December 7, 2023

at 7:00 PM

Town Hall - 10 Court Street, Bristol Rhode Island

Written comments may be submitted to the Historic District Commission via regular mail addressed to:

Historic District Commission, Bristol Town Hall, 10 Court Street, Bristol RI 02809 or via email to ntoth@bristolri.gov

1. Pledge of Allegiance

The meeting was called to order at 7:00 PM, and the Pledge of Allegiance was promptly recited afterwards.

In attendance at meeting: Lima, Allen, Butler, Bergenholtz, Church, Millard, and Ponder.

2. Review of Previous Month's Meeting Minutes

2A. Review of minutes of the October 5, 2023 meeting, as amended.

Lima: Let's go to the October minutes, any changes, additions, comments?

Allen: So, it is just the changes that were requested to be made from the last time?

Maynard: Yes.

Church: A list of the people that were absent from meeting, as well as who was in attendance, should be listed on the minutes in the future.

Maynard: I will do that.

Motion made by Lima to accept the October minutes as amended; Seconded by Millard.

Voting Yea: Ponder, Millard, Butler, Bergenholtz, Allen, Church, and Lima

2B. Review of minutes of the November 2, 2023 meeting.

Church: On page 4, "I can go back to the notes on "707 High", should be "707 Hope Street". Also, the recusal for Mary on 649 Hope Street needs to be noted.

Lima: On page 4, Catherine should be Ziph.

Allen: Page 13 which is 825 Hope Street, Ben had asked if lighting was hard to put in because the driveway comes right up to the turret.

Bergenholtz: Page 24, munting not molding.

Church: Page 26, motion to replace single pane, I think we added all wood single pane windows.

Lima: anything else?

Motion made by Allen to accept the minutes of the meeting, as amended; Seconded by Ponder.

Voting Yea: Allen, Butler, Millard, Church, Lima, Ponder, and Bergenholtz

3. Application Reviews

3A. 23-032 15 Burton Street, Thomas & Lee Dawson:

Discuss and act on change to previously approved project, extending addition slightly on rear elevation.

Thomas Dawson present.

Dawson: Good evening. This should be fairly simple. It is a selfish endeavor. I would like to add 2ft to the addition in the rear. The addition was 22ft in total and now it would be 24ft. My wife and I discussed this at length and this also has to do

with how we wanted the bathroom to work. That was the driver to the additional 2ft request. This is towards the rear of the house and we have plenty of room. I filed this with Zoning just so they were aware of it. That is part A. Part B is a new notch where it will hit the house. I am doing a recess after discussions with the contractor for build ability. The deep eaves at my house will make more sense. The 2ft will create a return at the eve that will be telegraphed up to the dormer. The way the dormer will overlap the roof, some of that will have to be figured out. Some is reflected in the elevations. If you look on there, the main change is the on the west elevation. There will be a corner there where before the was not a corner. This will actually do more of a separation from the existing house to the addition. It helps that situation more too.

Ponder: Currently, you were approved for the 6 inch setback?

Dawson: It will still be 6 inches at the house. In this one it will be a 2ft notch back from start. That is because of the very elaborate eve and evelet or returns on the house.

Ponder: And this is difficult to see from the front?

Dawson: Yes, only can be seen by our neighbor. I did not want to regret not doing the additional 2ft later on. I also want to play by the rules here.

Bergenholtz: I did a site visit to property when this came up. I think this is over complicated for what needs to be done since it is not visible. The extra 2ft is something no one will see.

Lima: Anyone in the audience want to speak for or against this?

Motion made by Allen to approve the application as presented adding 2ft to the already approved addition and adding bigger recess as presented; Seconded by Bergenholtz.

Voting Yea: Bergenholtz, Church, Butler, Millard, Lima, Ponder, and Allen

Secretary of Interior's Standards: #9

Project Monitor: Ben Bergeholtz

Lima: Do we need to do anything?

Toth: You will probably get the green sheet on Monday.

Lima: Put it in the window please.

Dawson: Will do. Thank you.

3B. **23-154: 31 Constitution St, Brendan Maguire:** Discuss and act on proposed windows on house, change from previously approved windows.

Brenda Maguire and Allana Scialo present.

Maguire: Basically, this is the same application as last month just 6 over 6. The difference is that it would be a wood window with cladding as all wood is not an option. We can do 6 over 6 this way.

Allen: What is the material?

Maguire: Aluminum. Showing example to Commission. Ben, you wanted to see different sizes of the bar/dividers for windows.

Bergeholtz: I like that one.

Maguire: What is on this window here is the 4th one.

Millard: The 4th one?

Maguire: Yes.

Bergeholtz: They have been spending a lot of time to come up with options. 2 over 2 was available but the 6 over 6 was not.

Allen: We steered away from Aluminum usually.

Bergeholtz: Do you want to explain?

Maguire: We tried, but it is not possible to do all wood in a 6 over 6.

Bergenholtz: We have approved 6 over 6 clad in the District. The windows there now are in poor condition. This would eliminate the storm windows and would bring the house back to 6 over 6. The windows are not original.

Ponder: You did your best to try to do all wood. The windows in there now are Frankenstein windows. I would be in favor of that. You are going to do it in the thinnest grid pattern. What is recommended by the Board?

Bergenholtz: The thinnest one.

Church: So, no one does all wood anymore?

Bergenholtz: They would have to do custom windows.

Millard: And they would have to do storm windows, etc.

Buter: Why is that?

Bergenholtz: The quality of wood is not what it used to be and would need storm windows to protect it. The house looks much cleaner without it.

Lima: We all have storms over our old wood windows.

Lima: Anyone in the audience want to speak for or against this?

Carol Orphanides: I am for this.

Bergenholtz: When I drove by one window on corner of Hope Street, that is a full-length window. How are going to tackle that? 6 over 9?

Maguire: 6 over 6.

Bergenholtz: You should do 6 over 9 to keep it uniform. You want it to read throughout the house.

Motion by Bergenholtz to approve Jeldwen aluminum clad windows 6 over 6; finding of fact is that house has replacement windows that went from 6 over 6 to 2 over 2. Windows currently there are not salvageable. The window panes should match in size and proportion and the window on corner of Hope Street should have 6 over 6 or 9 over 9 and the

munting should be the thinnest as possible.;
Seconded by Allen.

Voting Yea: Millard, Church, Bergenholtz, Butler,
Lima, Ponder, and Allen

Secretary of Interior's Standards: #9

Project Monitor: Ben Bergenholtz

3C. **23-149 State Street Dock, Town of Bristol**: Discuss
and act on proposed planting plan to shield fuel
tank at State Street Dock.

Toth: The Harbor Master not available tonight.

Ponder: This is the second time.

Allen: Let's discuss this. Can we talk about it
Andy?

Teitz: Legally you can if you have questions or
concerns.

Allen: I have an issue with the plant material.
Thought we wanted something that would hide the tank
and what is proposed is grass that is only 4ft to
6ft tall in the front and the tank can still be
seen. In the back, Easton Red Cedar trees are
proposed. Those will get 15ft tall and the people
in condos in back will not like it. The materials
are not appropriate.

Lima: Could they flip it? Trees in front and grass
in back?

Allen: They could, but it is still not appropriate.

Teitz: Maybe something that is 10ft or 12ft tall?

Millard: I have been going over this with a friend
and they said that you want an evergreen something
with fat leaves that will grow and make a nice edge.
Pyracantha would grow nicely.

Allen: The materials could be revised.

Lima: Mary, give Nick some of that information.

Millard: Sure.

Toth: We can talk about that tomorrow.

Lima: Motion to continue to the January meeting?

Motion made by Allen to continue the application to the January 2024 meeting; Seconded by Lima.

Voting Yea: Lima, Ponder, Millard, Church, Allen, Butler, and Bergenholtz.

3D. **23-155: 203 High St, Carol Orphanides:** Discuss and act on replacement of 8 windows.

Carol Orphanides present.

Orphanides: Good evening. I do not have any of the paperwork.

Allen: We have it.

Orphanides: I am requesting the Commission to allow me to put in Anderson windows which are clad as well. I am only putting in 8 windows which are really needed.

Lima: I am just going back in the records to see how long those windows have been there.

Allen: The house was built in 1960s.

Butler: So, the house is 60s?

Allen: What is the material?

Orphanides: I think it is wood with aluminum clad.

Toth: I would have to go back and look.

Lima: There is nothing about the windows.

Church: There is a project specification sheet.

Lima: No, in the file there is nothing in the file about the windows. It has been reroofed a couple of times.

Church: 6 over 6 panes?

Lima: The house was built in 1916, not 1960s.

Orphanides: An addition was put in the 1960.

Lima: In 1851 there was a small house, then in 1903 they put an L shape house on the lot.

Allen: Are these original windows?

Lima: I do not think so.

Allen: Is your intent because of drafts, etc.?

Orphanides: Yes, they are not very functional and drafty. I do not want storm windows. I had them painted because they looked so gross.

Lima: Who is Scott Dolman?

Toth: He is with the contractor, and he just helped fill out the application.

Lima: I have pictures of the siding from 2000.

Orphanides: The siding?

Lima: I mean the sides of the house, not siding.

Orphanides: Okay.

Ponder: So, the windows you are applying to put on, you said they are clad?

Orphanides: I think so.

Allen: Who is the manufacturer?

Orphanides: Anderson.

Lima: Anderson tilt wash.

Allen: I have that, but I do not see anything about the materials, unless I am missing it.

Lima: It says the colors but does not have materials listed.

Orphanides: I am sorry. If they had asked, I would have someone come tonight.

Toth: It is ok.

Lima: It has codes listed, but nothing else.

Teitz: Suggestion, what was the date of house?
1800's from survey?

Lima: Yes.

Teitz: This may not be something worthy of a site visit. My suggestion is to continue it so Nick can see what the windows are and to have a representative from Anderson come next month so they can explain what the windows are made of. We just want to get the recommendation on the record.

Orphanides: That is fine. It will not hold anything up.

Lima: Can we have a motion?

Motion made by Church to continue application to January 2024 so a site visit by staff to determine materials of existing windows can be determined, and request that applicant provide contact for installer to provide information on the windows.

Lima: If you have any questions, feel free to contact Nick.

Orphanides: I always feel free to contact Nick.

Voting yea: Bergeholtz, Lima, Ponder, Allen, Millard, Butler, and Church

4. Concept Review

1. 23-111: 14 Union Street, Lou Cabral:

Discuss concept review of garage, porch, windows, gutters, siding, windows, shutters.

Lou Cabral present.

Cabral: Good evening. I am here to continue a discussion on the concept review. My goal is to get some guidance on this project, feedback, and bring it to the architect so I can file a formal application. The last time I was here, I needed to go before the Zoning to get approval of the garage structure. Zoning gave a unanimous decision on the southeast corner of the lot. One request was to stake out the

location of the garage, which I have done. I want to see if there was a way to minimize the roof structure with the dormers proposed. I think I have accomplished that with the latest design. The second floor has been reduced from the previous plan. The back dormer, which is the east side dormer continues to be as large as it is because we need access to the second-floor area of the garage. One concern was my intent for the second floor. Before, as is now, is just for storage only. There is no plumbing. The basement does collect water and, therefore, it is not well sealed to keep items my wife and I have collected over the years safe.

Lima: Just for your sake, you are talking about the second floor of the garage, not the house.

Cabral: Correct.

Lima: Okay.

Cabral: I had asked for some ideas on roof shingles. The intent is to use architectural roof shingles on the house and garage in a pewter gray color. I have some materials here. Showing materials to the Commission.

Lima: Let's go one by one. Anyone want to talk about the garage?

Ponder: When we left it here the last time, we were on the same page. The positioning of the garage has been approved by Zoning.

Cabral: Correct.

Ponder: The only other concern is that the sketch made should stick out because it can make the garage look bigger than it actually is. When you put the application in, just have us go and look so we can look at the site before the meeting.

Cabral: I agree. The visual on the plan makes it look bigger than it actually is. We think it is a really nice plan.

Lima: That is why I wanted to go piece by piece just in case something needed to be tweaked. Are we all set with the garage?

Cabral: Ok, so on to the roof shingles. The idea is to use architectural roof shingles.

Ponder: Will the shingles match what is on the house now?

Cabral: No. New shingles which will be the same on garage and house.

Toth: We can do that administratively.

Church: Asphalt shingles?

Cabral: Yes asphalt.

Church: Okay.

Cabral: Regarding the gutters, I am asking for permission to use fiberglass gutters. I want to use 4x5 fiberglass gutter.

Allen: Do you have wood gutters now?

Cabral: There is wood on some parts of the house.

Allen: Do the gutters have the same profile?

Cabral: Yes, it matches perfectly with the front door molding that is there now. I was very pleased with the look.

Allen: Sounds good.

Cabral: Regarding the siding, I want to use all wood clapboards throughout the house as well as garage. As far as the shutters are concerned, I would like a little feedback on this. I have pictures as well as a study that was done by a college student, Jennifer Tucker, 12/14/1989. It shows that there were no shutters on the house then. Shows the Commission the report. Today there are shutters, but they are not good. They are screwed into the siding. There is no hardware. It just looks like an add-on after 1989.

Lima: In 1989, there was an application to put in siding, not shutters. Susan, your name is on here.

Ponder: So, what is it you want to do?

Cabral: I would like to take the shutters off since we are adding the porch on front. Having the shutters on there may make the front look too busy and they are not original to the house. I would ask for that consideration to not have them put on. Once the porch is on, maybe in the future I could go back to request to have them put back on, but do not want them now.

Lima: Well, we have evidence that in 1989 there were no shutters.

Ponder: When you have them functioning, they look nice but when they are not functional, they do not look nice.

Millard: Have you decided on the color scheme for the outside yet?

Cabral: I have not.

Millard: A contrasting color scheme would make the house look bigger, and shutters are not necessary.

Allen: So, no shutters?

Cabral: No shutters, thank you. I am pleased you have a much better filing system than I do.

Lima: We have to if someone wants something and we have evidence to the contrary, we can correct them. What is next?

Cabral: 6 over 1 wood windows with aluminum clad. There is a bit of an inconsistency with windows on the property. Some are Anderson crank outs and some vinyl. The windows in front of the house are in decent condition but not original. The house is from 1849 and I am pretty sure the windows are not original.

Ponder: Are you wanting to replace all of the windows and then match that with the windows for the new garage?

Cabral: Exactly. There is a lack of consistency throughout. There have been add-ons over the years. We want to have consistency throughout the house. We would be ecstatic if we did not have to put storm windows on. We want good wood-clad windows. I know

it is a topic that has been discussed for a long time. We would like the Ultimate Double Hung G2 by Marvin.

Ponder: What is the cladding?

Cabral: Aluminum. The look we are going for is something like that, shows catalog imagine.

Ponder: You get a good bit of weather there.

Cabral: Yes. During the summer it is hard to open the windows because they get stuck. Now it is too cold to open them.

Allen: One of things that we have routinely done is to arrange for a site visit. Since these may be historic windows, we would like to see what is there and if it can be repaired/redone prefer to do that than replace. However, if they are not reparable then we can talk about replacement.

Cabral: Consistency is the issue. There are some windows there that I'm sure we can fix but that may lead to an inconsistency.

Teitz: That is conjecture. Your addition should have a difference from the house. It should not be the same so the addition can be differentiated.

Cabral: Good point. Thank you.

Teitz: That is one of the Secretary of Standards.

Church: They are all pertain to the addition's overall size, scale, and massing. The new addition should be subordinate to the historic building preserving the character of the historic property. The garage should be smaller in height and footprint. We are losing that whole feeling all over the Town and it is bothering me. We are losing character of lots and plots in the Town. It is not the historic streetscape and flavor of the Town. You are putting something new on old, and we do not want to change the old to look new.

Lima: In 1989, there was an application for an addition and the windows were replaced 6 over 1.

Ponder: All of the windows?

Lima: No.

Bergenholtz: The original would have been 6 over 6 with shutters.

Lima: The addition was to have matching windows, etc. in 1989.

Allen: If that is the case, then it could only be the windows in the back?

Lima: Could be. We look to come inside because some of the applicates indicate problems of entire windows when it is not the entire window, and it can be fixed. It is a practice that we really try to maintain to treat every homeowner who is looking to do this the same. We cannot just drive by since it is a defining part.

Cabral: Absolutely. No issue with that. The windows are not in bad shape but are not energy efficient. Would rather not use storms. I understand/appreciate the differentiating of the old and new. I am hearing you loud and clear to move forward so I don't have to come back here.

Cabral: Last item is the porch. Unfortunately, I have not been able to get as much done before this particular meeting. I would like your opinion on the decking for this porch. This Commission approved this particular product on Union Street. I would like some direction that I can use that product as well.

Millard: What was the product?

Cabral: Shows sample of product to Commission.

Church: This is just for the deck?

Cabral: Yes, just for the deck. The only difference is I want to use the cognac color.

Church: It would be helpful if on the sheet there is material list for each item. Also, we need larger plans.

Toth: They are online.

Church: Well, we need them here.

Cabral: I just wanted feedback to file a formal application.

Church: The more complete it is, the easier it is to get through each step.

Lima: There is a possibility of choices. What you would like in terms of what is available, and there might be other materials that might be there. If you came with one thing and there is something else that is really close to it. I do not like us to dictate to you, but we have the standards that we have to adhere to. You should come back with different choices, etc., and check with Nick on what we have approved before. That would be helpful. The more you can give us, the better. I know it might be overwhelming, but it is easier for you and us to get it done as opposed to going back to the drawing board.

Cabral: This is why this meeting is incredibly helpful. The feedback will help in the design and plan.

Lima: That is why we recommend a concept review because a homeowner can get frustrated. Some stuff homeowners bring to us we have never heard before so we do not have to go line by line. Things are happening in the world of construction that we were not aware of.

Church: Is this product a fused bamboo mixed with a polymer?

Cabral: I am not sure. I reached out to the gentleman that used this before.

Church: It says here that it gets gray.

Cabral: I will be using a cognac color. Also, may I have the student's report back as well.

Lima: Let me get that.

Cabral: Is there anything I should be doing above and beyond what I am doing this evening to make it as comprehensive as possible?

Allen: Just to have the materials well spelled out in the application to help move through everything.

Ponder: When get to the window issue, we usually set up a site visit during the actual application.

Lima: You want to change the windows anyway so do it at the time of the application.

Cabral: So, that is all I have. Thank you for your time and I appreciate your feedback and will put a more comp plan.

Ponder: I just want to reiterate that you have 8 spots staked currently so leave it so we can go by and look at it.

Teitz: Audience comments are not required, but that is at the Chair's discretion.

Catherine Ziph: I am the Director of the Historical Preservation Society and I just wanted to offer my comments. The ideal solution here, and this is just my opinion, would be to leave the shingles and 6 over 1 part. This would save a tremendous amount of money, and then you should do different shingles and windows on the addition. Casa Bueno Builders in Providence does custom windows. Noel Sanchez is great. Last thing is this is a 200-year-old house and you will not get consistency on this type of property. It will not be perfect. I encourage you to embrace the inconsistencies. This is a beautiful old house. This is not perfection. If you want perfection, go find a lot and build a new house.

Lima: So, you have it all. We look forward to your application.

Cabral: Thank you. Appreciate it.

Lima: Thank you for bringing it to us makes our life easier.

5. Monitor Reports & Project Updates

6. HDC Coordinator Reports & Project Updates

Lima: Is there anything about those houses regarding gutters?

Toth: 96 High Street was brought up to me today.

Allen: Two things was to have gotten plans for back porch. Also, getting the plans to the Building Inspector because he is someone who has done similar projects without an application. He had told Nick that the gutters were aluminum and he was replacing them with aluminum. The application said there were wood gutters that had rotted away. I told him that night that he needed to put in an application for that. Andy, do we send him a letter?

Teitz: Yes.

Toth: I sent an email today, if we do not hear anything back, I will send hm a letter.

Lima: Some of this work should have been stopped.

Toth: The porch work was.

Lima: You go out and stop them and then when you leave, they start back up. We should bring this to Steve's attention. Andy?

Teitz: I am troubled by someone saying no wood gutters there to our face, but it is a statement made in a public body. I think this is something we should consider for municipal court.

Lima: Too many try to slide by and Nick is doing a good job trying to catch up, but unless we can make it known, more people will try. Someone put up an old certificate of appropriateness on the house.

Allen: That was the same person did that. When Nick went out there, he saw it.

Teitz: What is the address?

Toth: 96 High Street. I do not want to go in like gangbusters.

Millard: Maybe someone should call it into the paper.

Lima: We do that too. I do not think putting it the Pheonix would be a good idea.

Teitz: However, in court it would be made known.

Lima: Let's take it slowly and one step at a time.

Toth: I am trying to make things as convenient as possible. Hopefully, people will realize that it is a lot less painful than they think it is and they will come to us.

Lima: If you, Ray Falcoa, and Steve Greenleaf can go out and check. If you go out and look and if there is a question that you are not sure of, include Steve.

Butler: 101 High Street had an asphalt driveway before, but now it is all gone. It happened between yesterday and today.

Toth: I can take a drive around. I rely on reports. I do not patrol. Anything that comes in, just let me know.

Allen: Is that a new homeowner on that property?

Toth: Yes.

Church: When we have new house sales, we should give them the information.

Lima: I thought that was automatically done. If not, is there something that can be done?

Toth: I think I can work with someone at the Tax Assessor's office about it.

Lima: The sales are not always listed in the paper. Working with the Tax Assessor's office may be helpful.

Catherine Ziph: It is supposed to be in the paperwork when people are signing on a house.

Teitz: In the Rhode Island realtor inspection form, there is a spot for that, but it is like 10-page document.

Lima: We will keep trying. Thanks Nick.

Allen: Have there been any applications for alternates?

Toth: One has applied. Town Council was setting up interviews.

Lima: There have been 4 or 5 people that had applied for Zoning and Planning. They were all going to be interviewed and Melissa's suggestion was that some might be appropriate for here. They get paid, we do not. That may be why they get more applicants for that than us.

Teitz: Okay. Can we talk about the calendar for next year?

Lima: Sure.

Teitz: Two meeting dates that we are obviously not going to meet on are July 4th and October 3rd. Planning has moved their meeting off of July 11th and we can move our meeting for then. I have on July 11th in my calendar Roberto's COA expires. Is that something that was done?

Lima: Yes.

Teitz: October 3rd meeting coincides with Rosh Hashana. We can move it up to Monday, Sept 30th to keep it schedules in the same week.

Lima: Okay. Sounds good.

- 7. **HDC Coordinator Approvals**
 - 1. **Administrative Approvals**
- 8. **Other Business**
- 9. **Adjourned at 8:38pm**

PROJECT 23-149

Historic District Commission Application for Review of Proposed Work : HDC-65



Bristol Historic District Commission

Application for review of proposed Work

1. Property Address (Street & No.) State Street Dock

2. Plat # 10 Lot # 13

3. a. Applicant: Gregg Marsili

b. Owner (*if different from applicant written authorization of owner required*): Town of Bristol

Mailing Address: 10 Court Street, Bristol, RI 02809

Phone: (401) 253-7000 x 703

Email: gmarsili@bristolri.gov

4. a. Architect/Draftsman: Brooke Merriam

Phone:

Email: brookemerriam40@gmail.com

b. Contractor:

Phone:

Email:

5. Work Category:

Sign(s)/Landscaping

6. Description of proposed work:

Plantings to shield view of marine fuel tank at State Street Dock.

Gregg Marsili

TOWN OF BRISTOL PROJECT

Applicant's Name – Printed

Applicant's Signature



CAI Property Card

Town of Bristol, RI

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR	
LOCATION: THAMES ST ACRES: 0.6026 PARCEL ID: 10 13 LAND USE CODE: 78 CONDO COMPLEX: OWNER: TOWN OF BRISTOL CO - OWNER: MAILING ADDRESS: 10 COURT ST ZONING: W PATRIOT ACCOUNT #: 532	BUILDING STYLE: UNITS: 0 YEAR BUILT: 0 FRAME: EXTERIOR WALL COVER: ROOF STYLE: ROOF COVER:	
	BUILDING INTERIOR	
<th data-bbox="82 678 966 720">SALE INFORMATION</th> <td data-bbox="966 558 1529 1318"> INTERIOR WALL: FLOOR COVER: HEAT TYPE: FUEL TYPE: PERCENT A/C: False # OF ROOMS: 0 # OF BEDROOMS: 0 # OF FULL BATHS: 0 # OF HALF BATHS: 0 # OF ADDITIONAL FIXTURES: 0 # OF KITCHENS: 0 # OF FIREPLACES: 0 # OF METAL FIREPLACES: 0 # OF BASEMENT GARAGES: 0 </td>	SALE INFORMATION	INTERIOR WALL: FLOOR COVER: HEAT TYPE: FUEL TYPE: PERCENT A/C: False # OF ROOMS: 0 # OF BEDROOMS: 0 # OF FULL BATHS: 0 # OF HALF BATHS: 0 # OF ADDITIONAL FIXTURES: 0 # OF KITCHENS: 0 # OF FIREPLACES: 0 # OF METAL FIREPLACES: 0 # OF BASEMENT GARAGES: 0
<th data-bbox="82 915 966 957">PRINCIPAL BUILDING AREAS</th> <td data-bbox="966 1318 1529 1360"></td>	PRINCIPAL BUILDING AREAS	
GROSS BUILDING AREA: FINISHED BUILDING AREA: BASEMENT AREA: # OF PRINCIPAL BUILDINGS:		
<th data-bbox="82 1119 966 1161">ASSESSED VALUES</th> <td data-bbox="966 1402 1529 1444"></td>	ASSESSED VALUES	
LAND: \$72,300 YARD: \$0 BUILDING: \$0 TOTAL: \$72,300		
SKETCH	PHOTO	
<p>NO SKETCH AVAILABLE</p>	<p>NO PHOTO AVAILABLE</p>	



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200 foot Abutters List Report

Bristol, RI
October 13, 2023

Subject Property:

Parcel Number: 10-13
CAMA Number: 10-13
Property Address: THAMES ST

Mailing Address: TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

Abutters:

Parcel Number: 10-11
CAMA Number: 10-11
Property Address: 235 THAMES ST

Mailing Address: BOZARTH, PETER
235 THAMES ST
BRISTOL, RI 02809

Parcel Number: 10-12
CAMA Number: 10-12-001
Property Address: 227 THAMES ST- UNIT #1

Mailing Address: CARTWRIGHT, CORINNE M & PAUL B D
227 THAMES ST., UNIT 1
BRISTOL, RI 02809

Parcel Number: 10-12
CAMA Number: 10-12-002
Property Address: 227 THAMES ST- UNIT #2

Mailing Address: OQUENDO, VIVIAN Y
227 THAMES ST, UNIT 2
BRISTOL, RI 02809

Parcel Number: 10-12
CAMA Number: 10-12-003
Property Address: 227 THAMES ST- UNIT #3

Mailing Address: BALZANO, JOHN G & CHRISTINE R TE
82 NEWPORT RD
HULL, MA 02045

Parcel Number: 10-12
CAMA Number: 10-12-004
Property Address: 227 THAMES ST UNIT #4

Mailing Address: COLOMBO, BRITT C & MARY L JT
227 THAMES ST
BRISTOL, RI 02809

Parcel Number: 10-12
CAMA Number: 10-12-005
Property Address: 227 THAMES ST UNIT #5

Mailing Address: MATTHEWS, CHARLES C. TARA W. TE
223 OAKLAND BEACH AVE
RYE, NY 10580

Parcel Number: 10-12
CAMA Number: 10-12-006
Property Address: 227 THAMES ST -UNIT #6

Mailing Address: THAMES STREET, LLC
227 THAMES ST, Unit 6
BRISTOL, RI 02809

Parcel Number: 10-12
CAMA Number: 10-12-007
Property Address: THAMES ST

Mailing Address: BALZANO, JOHN G & CHRISTINE R TE
82 NEWPORT RD
HULL, MA 02045

Parcel Number: 10-12
CAMA Number: 10-12-008
Property Address: THAMES ST

Mailing Address: OZTERMIYECI, MUSTAFA M.
341 THAMES ST UNIT 203
BRISTOL, RI 02809

Parcel Number: 10-12
CAMA Number: 10-12-009
Property Address: THAMES ST

Mailing Address: OZTERMIYECI, MUSTAFA M.
341 THAMES ST UNIT 203
BRISTOL, RI 02809



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200 foot Abutters List Report

Bristol, RI
October 13, 2023

Parcel Number: 10-14 CAMA Number: 10-14 Property Address: THAMES ST	Mailing Address: TOWN OF BRISTOL VACANT LAND 10 COURT ST. BRISTOL, RI 02809
Parcel Number: 10-15 CAMA Number: 10-15 Property Address: 211 THAMES ST	Mailing Address: TOWN OF BRISTOL 10 COURT ST. BRISTOL, RI 02809
Parcel Number: 10-18 CAMA Number: 10-18 Property Address: 198 THAMES ST	Mailing Address: AZJ THAMES STREET, LLC 198 THAMES ST BRISTOL, RI 02809
Parcel Number: 10-20 CAMA Number: 10-20 Property Address: 205 THAMES ST	Mailing Address: TOWN OF BRISTOL 10 COURT ST. BRISTOL, RI 02809
Parcel Number: 10-21 CAMA Number: 10-21 Property Address: 201 THAMES ST	Mailing Address: TOWN OF BRISTOL VACANT LAND 10 COURT ST. BRISTOL, RI 02809
Parcel Number: 10-22 CAMA Number: 10-22 Property Address: THAMES ST	Mailing Address: TOWN OF BRISTOL 10 COURT ST BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-001 Property Address: 423 HOPE ST 1A	Mailing Address: MCKAY, SUSAN ANDON, TRUSTEE SUSAN ANDON MCKAY LIVING TRUST 186 OAKLAND ST WELLESLEY, MA 02481
Parcel Number: 10-3 CAMA Number: 10-3-002 Property Address: 423 HOPE ST 2B	Mailing Address: HAYES, MATTHEW D TRUSTEE MATTHEW D HAYES REV TRUST 423 HOPE ST UNIT B BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-003 Property Address: 423 HOPE ST 3C	Mailing Address: THOMPSON, RICHARD J - TRUSTEE RICHARD J THOMPSON TRUST 423 HOPE ST, UNIT C BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-004 Property Address: 423 HOPE ST 4D	Mailing Address: SMITH, DEBORAH ROSE & ALLEN, CHRISTOPHER TE 423 HOPE ST, UNIT D BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-005 Property Address: 423 HOPE ST 5E	Mailing Address: WARNER, GARY W & MURRAY, CATHERINE I JT PO BOX 808 BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-006 Property Address: 423 HOPE ST 6F	Mailing Address: NICHOLSON, TODD & 423 HOPE ST UNIT 6F BRISTOL, RI 02809



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200 foot Abutters List Report

Bristol, RI
October 13, 2023

Parcel Number: 10-3
CAMA Number: 10-3-007
Property Address: 423 HOPE ST 7G

Mailing Address: CLARK, ALLEN M & WHITNEY O TE
423 HOPE ST, UNIT G
BRISTOL, RI 02809

Parcel Number: 10-3
CAMA Number: 10-3-008
Property Address: 423 HOPE ST 8H

Mailing Address: MACDONALD, JAMES C
423 HOPE ST, UNIT H
BRISTOL, RI 02809

Parcel Number: 10-3
CAMA Number: 10-3-010
Property Address: 423 HOPE ST 10J

Mailing Address: SCOTT, WENDELL O & PATRICIA C TE
700 MOUNTAIN AVE
WESTFIELD, NJ 07090

Parcel Number: 10-3
CAMA Number: 10-3-011
Property Address: 423 HOPE ST 11K

Mailing Address: PAGE, ROBERT W & MYRA M,
TRUSTEES PAGE FAMILY TRUST
423 HOPE ST, Unit K
BRISTOL, RI 02809

Parcel Number: 10-3
CAMA Number: 10-3-012
Property Address: 423 HOPE ST 12L

Mailing Address: MATRONE, SANTA W JR TRUSTEE
SANTA W MATRONE JR DEC TRUST
423 HOPE ST UNIT L-12
BRISTOL, RI 02809

Parcel Number: 10-3
CAMA Number: 10-3-013
Property Address: 423 HOPE ST 13M

Mailing Address: SAILOR, LLC
423 HOPE ST, Unit 13M
BRISTOL, RI 02809

Parcel Number: 10-3
CAMA Number: 10-3-014
Property Address: 423 HOPE ST 14N

Mailing Address: SHAPIRO, DEBORA WEST
423 HOPE ST, Unit UNIT 14N
BRISTOL, RI 02809

Parcel Number: 10-3
CAMA Number: 10-3-016
Property Address: 423 HOPE ST 16P

Mailing Address: BOWMAN, GREGORY W
423 HOPE ST, UNIT P
BRISTOL, RI 02809

Parcel Number: 10-3
CAMA Number: 10-3-017
Property Address: JOHN ST 1

Mailing Address: FIXSEN, WILLIAM
25 MARCONI DR
RANDOLPH, MA 02368

Parcel Number: 10-3
CAMA Number: 10-3-018
Property Address: JOHN ST 2

Mailing Address: TOPPA, JOHNA M
44 LINCOLN AVE
ATTLEBORO, MA 02703

Parcel Number: 10-3
CAMA Number: 10-3-019
Property Address: 15 JOHN ST 1

Mailing Address: POLLOCK, JORDAN
15 JOHN ST, UNIT 1
BRISTOL, RI 02809

Parcel Number: 10-3
CAMA Number: 10-3-020
Property Address: 17 JOHN ST 2

Mailing Address: MCRAE, BEVERLY SMITH & JOSEPH
KEITH TE
17 JOHN ST, UNIT 2
BRISTOL, RI 02809



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200 foot Abutters List Report

Bristol, RI
October 13, 2023

Parcel Number: 10-3
CAMA Number: 10-3-021
Property Address: 423 HOPE ST 21U

Mailing Address: NAT PROPERTIES, LLC
26 PATRICIA ANN DR
BRISTOL, RI 02809

Parcel Number: 10-3
CAMA Number: 10-3-022
Property Address: 423 HOPE ST 22V

Mailing Address: 423 HOPE ST REDEVELOPMENT, LLC
C/O ACROPOLIS PROPERTY
MANAGEMENT 423 HOPE ST
BRISTOL, RI 02809

Parcel Number: 10-69
CAMA Number: 10-69
Property Address: THAMES ST

Mailing Address: TOWN OF BRISTOL VACANT LAND
10 COURT ST.
BRISTOL, RI 02809

Parcel Number: 10-72
CAMA Number: 10-72
Property Address: THAMES ST

Mailing Address: TOWN OF BRISTOL VACANT LAND
10 COURT ST.
BRISTOL, RI 02809

Parcel Number: 10-80
CAMA Number: 10-80
Property Address: THAMES ST

Mailing Address: BOZARTH, PETER
235 THAMES ST
BRISTOL, RI 02809

Parcel Number: 9-50
CAMA Number: 9-50
Property Address: 267 THAMES ST

Mailing Address: TSL LLC
244 GANO ST
PROVIDENCE, RI 02906

Parcel Number: 9-62
CAMA Number: 9-62
Property Address: 11 STATE ST

Mailing Address: 11 STATE STREET, LLC
116 PECK AVE
BRISTOL, RI 02809

Parcel Number: 9-64
CAMA Number: 9-64
Property Address: THAMES ST

Mailing Address: TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

Parcel Number: 9-65
CAMA Number: 9-65
Property Address: 1 STATE ST

Mailing Address: STATE PROPERTIES LLC
1 STATE ST
BRISTOL, RI 02809

Parcel Number: 9-74
CAMA Number: 9-74
Property Address: 246 THAMES ST

Mailing Address: RIVERS, ZACHARY N
PO Box 964
Bristol, RI 02809



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8-Burkii Eastern Red Cedar
planted 7' o.c.

40-Northwind Switch Grass

PARKING LOT

REMOVE ASPHALT AND
CREATE 3' WIDE
PLANTING BED

GAS
TANK

Gas Tank Planting Plan

DATE: 10/1/23
SCALE: 1"=10'

0 10 20 FT



SCALE: 1" = 10'

BRISTOL HARBOR

29

The drawings and specifications seen here are intended for Concept and bidding purposes and cannot be construed as Stamped Architectural Drawings

HDC-70



Bristol Historic District Commission

Application for review of proposed Work

1. Property Address (Street & No.) 203 High Street

2. Plat # 14 Lot # 54

3. a. Applicant: Scott Doughman

b. Owner (if different from applicant written authorization of owner required): Carol Orphanides

Mailing Address: 105 Buttonball Lane, Glastonbury CT 06033

Phone: (401) 580-9042

Email: caojourn@yahoo.com

4. a. Architect/Draftsman:

Phone:

Email:

b. Contractor: Home Depot USA, Inc.

Phone: 1-860-952-4112

Email: permits@gopermits.org

5. Work Category:

Replacing in Kind

6. Description of proposed work:

Removing and replacing 8 windows, replacing like with like, no structural changes.

7. Property History

Scott Doughman

Scott Doughman

Applicant's Name – Printed

Applicant's Sign

30

Date: November 17, 2023



200 foot Abutters List Report

Bristol, RI
November 17, 2023

Subject Property:

Parcel Number: 14-54
CAMA Number: 14-54
Property Address: 203 HIGH ST

Mailing Address: ORPHANIDES, CAROL ANN TRUSTEE
REVOC LIVING TRUST 12-9-2014
203 HGH ST
BRISTOL, RI 02809

Abutters:

Parcel Number: 14-105
CAMA Number: 14-105
Property Address: CHURCH ST

Mailing Address: TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

Parcel Number: 14-28
CAMA Number: 14-28
Property Address: 73 CHURCH ST

Mailing Address: TORTORICE, ANN MARIE, TRUSTEE
TORTORICE LIV TRST 11
43 BYFIELD ST
BRISTOL, RI 02809

Parcel Number: 14-29
CAMA Number: 14-29
Property Address: 69 CHURCH ST

Mailing Address: FITCH, JEFFERY & CHERYLANNE TE
69 CHURCH ST
BRISTOL, RI 02809

Parcel Number: 14-31
CAMA Number: 14-31
Property Address: 67 CHURCH ST

Mailing Address: NUNES, DAVID J
81 CHESTNUT ST
BRISTOL, RI 02809

Parcel Number: 14-51
CAMA Number: 14-51
Property Address: 72 CHURCH ST

Mailing Address: TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

Parcel Number: 14-52
CAMA Number: 14-52
Property Address: 213 HIGH ST

Mailing Address: TORTORICE, ANN MARIE, TRUSTEE
TORTORICE LIV TRST 11
43 BYFIELD ST
BRISTOL, RI 02809

Parcel Number: 14-53
CAMA Number: 14-53
Property Address: 205 HIGH ST

Mailing Address: CHEVRA AGUDAS ACHIM AKA
CONGREGATIONAL CHEVRA
205 HIGH STREET
BRISTOL, RI 02809

Parcel Number: 14-55
CAMA Number: 14-55
Property Address: 74 CHURCH ST

Mailing Address: NUNES, DAVID J & ANGELA M TE
81 CHESTNUT ST
BRISTOL, RI 02809

Parcel Number: 14-56
CAMA Number: 14-56
Property Address: 43 BYFIELD ST

Mailing Address: TORTORICE, ANN MARIE, TRUSTEE
TORTORICE LIV TRST 11
43 BYFIELD ST
BRISTOL, RI 02809

Parcel Number: 14-57
CAMA Number: 14-57
Property Address: 64 CHURCH ST

Mailing Address: DEL NERO, PAUL A. ETUX TE DEL
NERO, CATHY ROBERTSON
PO BOX 742
BRISTOL, RI 02809





200 foot Abutters List Report

Bristol, RI
November 17, 2023

Parcel Number: 14-58 CAMA Number: 14-58 Property Address: 39 BYFIELD ST	Mailing Address: BLAIR, DEBORAH M & BUTLER, SARA A JT 39 BYFIELD ST BRISTOL, RI 02809
Parcel Number: 14-59 CAMA Number: 14-59 Property Address: 60 CHURCH ST	Mailing Address: WHEET, KAREN R 60 CHURCH ST BRISTOL, RI 02809
Parcel Number: 14-60 CAMA Number: 14-60 Property Address: 33 BYFIELD ST	Mailing Address: SMITH, DORAN C & SQUILLANTE, DAVID JT 33 BYFIELD ST BRISTOL, RI 02809
Parcel Number: 14-72 CAMA Number: 14-72 Property Address: 201 HIGH ST	Mailing Address: MARKS, JOHN H & KELLY A TE 24 HIGHLAND RD TIVERTON, RI 02878
Parcel Number: 14-73 CAMA Number: 14-73 Property Address: 195 HIGH ST	Mailing Address: RENSEHAUSEN, BERTHA T (ESTATE) 195 HIGH ST BRISTOL, RI 02809
Parcel Number: 14-74 CAMA Number: 14-74 Property Address: 46 BYFIELD ST	Mailing Address: DRAWBRIDGE, CLIFFORD J. ET UX FLOYD, TERESA L TE 46 BYFIELD STREET BRISTOL, RI 02809
Parcel Number: 14-75 CAMA Number: 14-75 Property Address: 42 BYFIELD ST	Mailing Address: GAETZ, TRACEY FRANCES & FISCHER, STEPHEN C. JR TE 42 BYFIELD ST BRISTOL, RI 02809
Parcel Number: 14-76 CAMA Number: 14-76 Property Address: 38 BYFIELD ST	Mailing Address: SILVA, MICHAEL 141 HILLSIDE AVE SOMERSET, MA 02726
Parcel Number: 14-77 CAMA Number: 14-77 Property Address: 34 BYFIELD ST	Mailing Address: SIROIS, ROSEMARIE G. 34 BYFIELD ST BRISTOL, RI 02809
Parcel Number: 14-89 CAMA Number: 14-89 Property Address: 189 HIGH ST	Mailing Address: DAMASKOS, JAMES C & PATTERSON, SUSAN P TE 189 HIGH ST BRISTOL, RI 02809
Parcel Number: 19-11 CAMA Number: 19-11 Property Address: 90 CHURCH ST	Mailing Address: JAMES, LEWIS P & LISA M, TRUSTEES LEWIS P & LISA M JAMES FAMILY TRUST 90 CHURCH ST BRISTOL, RI 02809
Parcel Number: 19-116 CAMA Number: 19-116 Property Address: HIGH ST	Mailing Address: WEAVER, BARRY M. ET UX NANCY M. TE 40 SOUTH MEADOW LANE BARRINGTON, RI 02806



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11/17/2023

Page 2 of 3



200 foot Abutters List Report

Bristol, RI
November 17, 2023

Parcel Number: 19-12
CAMA Number: 19-12
Property Address: 88 CHURCH ST

Mailing Address: CAVALCONTE, CHARLES C. CHERYL D.
88 CHURCH STREET
BRISTOL, RI 02809

Parcel Number: 19-13
CAMA Number: 19-13
Property Address: 82 CHURCH ST

Mailing Address: HASLEHURST, ERICH E & SWEENEY
TIMOTHY E TE
82 CHURCH ST
BRISTOL, RI 02809

Parcel Number: 19-14
CAMA Number: 19-14
Property Address: 210 HIGH ST

Mailing Address: PARE, DAVID G.
14 BOWEN ST
BOSTON, MA 01583

Parcel Number: 19-15
CAMA Number: 19-15
Property Address: 208 HIGH ST

Mailing Address: GARCIA, CHARLES F. SHELLEY E.
208 HIGH ST
BRISTOL, RI 02809

Parcel Number: 19-16
CAMA Number: 19-16
Property Address: 202 HIGH ST

Mailing Address: WEAVER, BARRY M. ET UX NANCY M.
TE
40 SOUTH MEADOW LANE
BARRINGTON, RI 02806

Parcel Number: 19-17
CAMA Number: 19-17
Property Address: 198 HIGH ST

Mailing Address: NUNES, DAVID J.
81 CHESTNUT ST
BRISTOL, RI 02809

Parcel Number: 19-45
CAMA Number: 19-45
Property Address: 190 HIGH ST

Mailing Address: NUNES, DAVID J.
81 CHESTNUT ST
BRISTOL, RI 02809

Parcel Number: 19-46
CAMA Number: 19-46
Property Address: 188 HIGH ST

Mailing Address: GLADUE, MARY PAULA DUPONT
188 HIGH ST.
BRISTOL, RI 02809



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CAI Property Card

Town of Bristol, RI

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR	
<p>LOCATION: 203 HIGH ST ACRES: 0.0567 PARCEL ID: 14 54 LAND USE CODE: 02 CONDO COMPLEX: OWNER: ORPHANIDES, CAROL ANN TRUSTEE CO - OWNER: REVOC LIVING TRUST 12-9-2014 MAILING ADDRESS: 203 HGH ST</p> <p>ZONING: R-6 PATRIOT ACCOUNT #: 851</p>	<p>BUILDING STYLE: 2 Family UNITS: 1 YEAR BUILT: 1960 FRAME: Wood Frame EXTERIOR WALL COVER: Wood Shngle ROOF STYLE: Gable ROOF COVER: Asphalt Shin</p>	
	BUILDING INTERIOR	
<th data-bbox="82 674 966 716">SALE INFORMATION</th> <td data-bbox="966 556 1526 1314"> <p>INTERIOR WALL: Plaster FLOOR COVER: Hardwood HEAT TYPE: Radiant Hot FUEL TYPE: Oil PERCENT A/C: False # OF ROOMS: 7 # OF BEDROOMS: 2 # OF FULL BATHS: 2 # OF HALF BATHS: 0 # OF ADDITIONAL FIXTURES: 0 # OF KITCHENS: 2 # OF FIREPLACES: 0 # OF METAL FIREPLACES: 0 # OF BASEMENT GARAGES: 0</p> </td>	SALE INFORMATION	<p>INTERIOR WALL: Plaster FLOOR COVER: Hardwood HEAT TYPE: Radiant Hot FUEL TYPE: Oil PERCENT A/C: False # OF ROOMS: 7 # OF BEDROOMS: 2 # OF FULL BATHS: 2 # OF HALF BATHS: 0 # OF ADDITIONAL FIXTURES: 0 # OF KITCHENS: 2 # OF FIREPLACES: 0 # OF METAL FIREPLACES: 0 # OF BASEMENT GARAGES: 0</p>
<th data-bbox="82 915 966 957">PRINCIPAL BUILDING AREAS</th> <td data-bbox="966 1314 1526 1356"></td>	PRINCIPAL BUILDING AREAS	
<p>GROSS BUILDING AREA: 2172 FINISHED BUILDING AREA: 1288 BASEMENT AREA: 676 # OF PRINCIPAL BUILDINGS: 1</p>		
<th data-bbox="82 1115 966 1157">ASSESSED VALUES</th> <td data-bbox="966 1398 1526 1440"></td>	ASSESSED VALUES	
<p>LAND: \$174,100 YARD: \$0 BUILDING: \$176,800 TOTAL: \$350,900</p>		
SKETCH	PHOTO	



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To Whom It May Concern:

This letter will authorize the following person(s) to act as agent(s) on behalf of Home Depot U.S.A., Inc. 2455 Paces Ferry Road HSC C-11, Atlanta, GA 30339 to pull for permits and inspections with respect to the installation, maintenance and repair of windows, siding, roofing, gutters, entry doors and insulation.

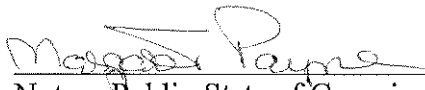
Authorized person(s):

- | | |
|----------------|----------------|
| Go Permits LLC | Jinsook Cho |
| Scott Doughman | Dat Tran |
| Glynn Norgan | David Anderson |
| Nick Rago | |
| Luis Ramos | |


 Alexis Stewart
 Home Depot U.S.A., Inc.

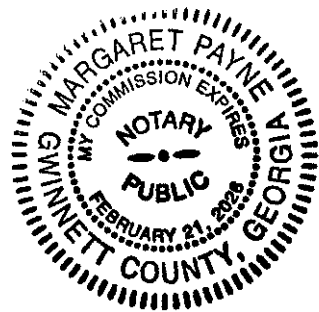
STATE OF GEORGIA
COUNTY OF COBB

The foregoing instrument was acknowledged before me this 24th day of March, 2022 by Alexis Stewart.


 Notary Public-State of Georgia
 Margaret Payne

(Seal)

Printed Name:
 02/21/2026
 My Commission Expires:
 Personally Known Or Produced Identification _____





Home Improvement Agreement: Page 1

Home Depot License #'s - For the most current listing visit www.Homedepot.com/LicenseNumbers

RI: Registered Residential /Commercial Contractor in Rhode Island Registration #9480

Robert Delisle

Salesperson Name

Registration # (Req. in CA,CT,ME,MD,MI,NJ,DC)

Home Depot U.S.A.,Inc.("Home Depot") or Authorized Service Provider named below will furnish, install and/or service the equipment listed below at the price, terms and conditions as outlined on this form.

1. Service Provider Contact Information

The Home Depot

Service Provider Contact Name

The Home Depot

Service Provider Company Name

(774) 275-2175

Phone #

customercancellationnortheast@homedepot.com

Service Provider Email Address

RI: Registered Residential /Commercial Contractor in Rhode Island Registration #9480

Service Provider License #(s)

2. Customer Information

orphanides

Customer Last Name

Carol

Customer First Name

New England South

Store # / Branch Name

F37146434

Customer Lead/ PO#

203 High Street

Customer Address

Bristol

City

RI

State

02809

Zip

Home Phone#

Work Phone#

(401) 580-9042

Cell Phone#

caojourn@yahoo.com

Customer Email Address

3. NOTICE OF RIGHT TO CANCEL

YOU MAY CANCEL THIS AGREEMENT WITHOUT PENALTY OR OBLIGATION BY CONTACTING THE SERVICE PROVIDER OR STORE DIRECTLY; EMAILING SERVICE PROVIDER AT:

customercancellationnortheast@homedepot.com

OR DELIVERING WRITTEN NOTICE TO HOME DEPOT AT:

908 Boston Turnpike Unit 1

Address

Shrewsbury

City

MA

State

01545

Zip

BY MIDNIGHT ON THE THIRD BUSINESS DAY AFTER SIGNING, UNLESS THE STATE SUPPLEMENT PROVIDES A DIFFERENT CANCELLATION PERIOD. THE STATE SUPPLEMENT CONTAINS A FORM TO USE IF ONE IS SPECIFICALLY PRESCRIBED BY LAW IN YOUR STATE. YOUR PAYMENT(S) WILL BE RETURNED WITHIN TEN (10) BUSINESS DAYS AFTER HOME DEPOT'S RECEIPT OF YOUR NOTICE. YOU MUST MAKE AVAILABLE FOR PICKUP BY HOME DEPOT OR SERVICE PROVIDER, AT YOUR SERVICE ADDRESS, AND IN SUBSTANTIALLY THE SAME CONDITION AS WHEN DELIVERED, ANY MERCHANDISE OR MATERIALS DELIVERED TO YOU. OR YOU MAY CONTACT HOME DEPOT FOR INSTRUCTIONS REGARDING RETURN SHIPMENT AT HOME DEPOT'S EXPENSE.

THE LAW REQUIRES THAT THE HOME DEPOT GIVE YOU A NOTICE EXPLAINING YOUR RIGHT TO CANCEL. PLEASE SIGN BELOW TO ACKNOWLEDGE THAT YOU HAVE BEEN GIVEN ORAL AND WRITTEN NOTICE OF YOUR RIGHT TO CANCEL.

Acknowledged by:

Carol Shuman
Customer's Signature

10/17/2023

Date



Home Improvement Agreement: Page 2

4. Description of Work to be Performed

A detailed description of the work to be performed is included in the paragraph entitled Scope of Work, Specification, Customer Summary Sheet, Quote Form, Estimate, Invoice or Measure which is included in this Agreement.

5. Anticipated Delivery Date / Installation Schedule

Approximate Start Date: 04/14/2024 Approximate Finish Date: 05/14/2024 All dates are approximate and subject to change based on unforeseen events including inclement weather, permitting delays, and delays in confirming insurance coverage of Your claim for any repair, if applicable.

6. Electronic Records Authorization

You are entitled to a paper copy of this Agreement if you choose. If you consent to an e-mailed copy, your consent applies to this Agreement and all subsequent documents and written communications related to this Agreement. By contacting your Service Provider, you may update your email address, withdraw your consent, or obtain a paper copy of the Agreement or related documents at no charge. By providing your consent and verifying your email address above, you confirm that you have access to a computer that can receive and open emails and PDF documents.

7. Contract Price and Payment Schedule

Payment of the Contract Price is due upon signing unless a different payment schedule is required by law, specified below or in a payment addendum.

Contract Price: \$ 17100.18 Includes all applicable taxes. Excludes finance charges.*
Sales Tax: \$ 0.00 (If applicable, total amount of taxes included in Contract Price)

**Maximum deposit ONLY applicable in MD, MA, ME (33%), NJ, WI (99%)*

Deposit % 25.0 Deposit Amount \$ 4275.05 Remaining Balance \$ 12825.13

8. Finance Charges

Any interest payments or other finance charges will be determined by Customer's separate cardholder or loan agreement, to which Home Depot is NOT a party, and will be in addition to Customer's payment under this Agreement. Customer is subject to the terms and conditions of the cardholder or loan agreement, as applicable. No funds should be made payable to Service Provider; however, Service Provider may collect Customer's payments made payable to Home Depot.

9. Acceptance and Authorization

By signing below, you authorize Home Depot to: (a) arrange for Service Provider to perform any Services or (b) order and arrange for the delivery of special order merchandise, including special order merchandise that may be custom made, as specified in this Agreement. Do not sign if blank or incomplete. (Service Provider's or permitting information may need to be provided to You later.) By signing, you acknowledge that: (i) You have read, understand, and accept this Agreement in its entirety, including the General Conditions and State Supplement, if any; (ii) You are receiving a complete copy of this Agreement; (iii) all rights and interests under this Agreement are solely vested in the person listed as "Customer" above; and (iv) Electronic signatures will be deemed originals for all purposes.

X [Signature] 10/17/2023
Customer's Signature Date
X /s/ The Home Depot 10/17/2023
The Home Depot Digital Signature Date

For questions related to your installation, contact Service Provider at (774) 275-2175
For any other concerns, contact The Home Depot at 1-800-466-3337



Scope of Work

orphanides

Carol

New England South

F37146434

Customer Last Name

Customer First Name

Store # / Branch Name

Lead #

Job #: (Internal Reference)	Products:	Spec Sheet(s) #:	Project Amount
F37146434	✓ Windows Entry Doors	F37146434	17100.18
	Windows Entry Doors		
	Windows Entry Doors		
	Windows Entry Doors		
	Windows Entry Doors		
		Sales Tax	0.00
		Total Contract Amount	17100.18

Notes:

Warranty:
 The warranty on the work identified above is listed in the General Terms and Conditions, or if applicable, specified in the following documents:

Warranty Name(s): 200 Series, 400 Series Windows & Patio Doors Jun 2019 - Present , 200 Series, 400 Series Windows & Patio Doors Jun 2019 - Present , Product Warranty Retractable Screens for Patiodoors 400series-200series



The Home Depot General Terms & Conditions

1. **DEFINITIONS:** “Agreement” means **(I)** the Home Improvement Agreement between You and Home Depot, **(II)** the following listed documents, and **(III)** any documents referenced in or attached to any of the following listed documents: **(a)** any Change Orders; **(b)** the State Supplement, if any; **(c)** these General Terms and Conditions (“General Conditions”); **(d)** extended installation warranty documents, if any; and **(e)** the Scope of Work. “Defect” means any Services that are found to be non-compliant with manufacturer’s installation instructions. “Home” means the real property, fixtures and any physical improvements where the Services are performed. “Services” means **(i)** the delivery and furnishing of goods, equipment, materials, and hardware; and **(ii)** any related labor and services, including without limitation, construction, consultation, fabrication, erection, installation, inspection, maintenance, repair, and testing. “Scope of Work” means a detailed description of work or Services to be performed, including, but not limited to, any quotes, schedules, invoices, specification sheets, proposals, confirmation emails or otherwise. “Service Provider” means an independent contractor, authorized by Home Depot, and its employees, agents, and subcontractors. “Work Area” means any property, buildings, or structures necessary for the staging, temporary storing and performance of the Services. “You”/“Your” means the customer identified in the Agreement
2. **HOME DEPOT’S RESPONSIBILITIES:** Home Depot or Service Provider will complete the Services in a workmanlike manner and in accordance with applicable law without causing damage to Your Home, *provided, however,* that Home Depot or Service Provider will not start or continue with any Services upon discovery of any condition at Your Home that Home Depot or Service Provider deems in its sole discretion to be hazardous, unsafe or, materially changes the Scope of Work. Unless specifically contracted to do so, neither Home Depot nor Service Provider is obligated to repair such pre-existing hazardous or unsafe conditions.
3. **ASSIGNMENT/SUBCONTRACTING:** Home Depot and Service Provider may assign this Agreement, or any right herein, or any monies due or to become due hereunder, and may delegate or subcontract any obligations or Services hereunder without Your consent. This Agreement will not be assigned by You without first receiving Home Depot’s written consent, which may be denied in Home Depot’s sole discretion.
4. **YOUR RESPONSIBILITIES:** **(a) Payment:** You agree to pay Home Depot in full for the Services pursuant to the terms of this Agreement. **(b) Safe Access:** You agree to provide Home Depot and Service Provider Safe Access to Your Home. Safe Access means safe and complete access to the Work Area, including, without limitation: **(1)** obtaining in advance of the Services consent, permission, or relief from any covenants, easements, restrictions, or other legal encumbrances affecting the Work Area; **(2)** providing the location of utilities, whether underground, concealed, overhead or visible, to Home Depot or Service Provider; **(3)** removing from the Work Area physical impediments, hazards, and building code or zoning violations that affect directly or indirectly the Work Area; **(4)** removing unsafe working conditions and hazardous materials, including environmental hazards, from the Work Area; **(5)** providing sanitary facilities to Home Depot or Service Provider convenient to the Work Area (or, alternatively, paying for the rental costs of such facilities); **(6)** providing all utilities, including without limitation, power, water, ventilation and climate control, in and for the Work Area; **(7)** removing from and protecting against minors, pets, guests and visitors in the Work Area; **(8)** keeping permits, if required, visible at all times; **(9)** disengaging, suspending or terminating any security systems protecting the Work Area; **(10)** providing adequate temporary storage space as needed for Home Depot’s or Service Provider’s performance of the Services; and **(11)** not interfering, impeding, impacting or otherwise disrupting the Work Area at any time during Home Depot’s or Service Provider’s performance of the Services. **(c) No Performance:** Services are to be performed by Home Depot or Service Provider. If You attempt to perform or assist with the Services in any way, You assume all risk for property damage and for injury to Yourself and others.



The Home Depot General Terms & Conditions

5. **MODIFICATIONS AND CHANGE ORDERS:** Without invalidating this Agreement, You may authorize Home Depot or Service Provider to perform Services beyond the scope of the Agreement (“**Change Order**”). A Change Order will be issued by Home Depot or Service Provider on behalf of Home Depot, which You may accept by signing. Upon Your signing of the Change Order, it will become part of this Agreement, subject to all of the terms of the Agreement. Change Order may also result from Home Depot or Service Provider encountering conditions at the Work Area that impact, impede or otherwise interfere with the performance of the Services, requiring an increase in cost, time, or both. Following the discovery of any conditions that impact, impede or otherwise cause the Work Area not to have Safe Access, Home Depot may immediately ask for a Change Order or discontinue the Services without further obligation to You. Home Depot may also ask for a change order in the event of errors or omissions in measurements or quantities used to determine the Contract Price. If You decline a Change Order request, You or Home Depot may terminate this Agreement.
6. **TITLE AND RISK OF LOSS:** The title to and risk of loss for any materials or goods provided to You that originate from Home Depot will pass to You when paid in full by (1) You or (2) the Service Provider as part of the Services. Title to any other materials or goods provided by Service Provider will pass to You upon completion of the Services.
7. **WARRANTY LIMITATION ON WARRANTIES AND DAMAGES:** (a) **Warranty:** Unless otherwise stated in the Agreement, Home Depot warrants for 1 year from the completion date (the “**Warranty Period**”) that all Services will: (i) be performed with good workmanship and (ii) conform to the requirements of the Agreement. During the Warranty Period and within a reasonable time after receiving notice from You of a warranty claim, Home Depot may, at its sole discretion (I) correct or replace each Defect, (II) authorize the correction or replacement of each Defect; or (III) remove each Defect and refund all or a proportional amount of the Contract Price thereof to You; *provided, however*, that all warranties are voided if (1) anyone other than Home Depot or Service Provider performs work upon or otherwise modifies any materials or Services provided under this Agreement; or (2) You fail to pay Home Depot in full as provided in this Agreement. Any warrantable corrections, replacements or repairs made in accordance with this Agreement will not extend the Warranty Period. (b) **Limitation on Warranties:** THE WARRANTIES PROVIDED IN THIS AGREEMENT ARE STRICTLY LIMITED TO THE FOREGOING EXPRESS WARRANTIES CONTAINED IN THIS PARAGRAPH IN THE WARRANTY SECTION OF THE AGREEMENT, IF ANY. YOU ACKNOWLEDGE AND AGREE THAT NO OTHER WARRANTIES ARE MADE OR GIVEN BY HOME DEPOT OR SERVICE PROVIDER, INCLUDING ANY WARRANTY FOR FITNESS OF PURPOSE, WARRANTY OF MERCHANTABILITY, OR ANY OTHER ORAL, EXPRESS OR IMPLIED WARRANTIES. HOME DEPOT'S EXPRESS WARRANTIES ARE VOIDED FOR ANY DEFECT CAUSED BY ABUSE, MISUSE, NEGLIGENCE, ACTS OF GOD, LACK OF PRESCRIBED OR STANDARD MAINTENANCE, OR IMPROPER CARE/CLEANING. ANY MANUFACTURER'S WARRANTIES PROVIDED FOR GOODS, MATERIALS, OR EQUIPMENT WILL BE PASSED THROUGH BY HOME DEPOT TO YOU, AND YOU AGREE TO LOOK SOLELY TO SUCH MANUFACTURER FOR REMEDY OF ANY DEFECT IN SUCH GOODS, MATERIALS, AND EQUIPMENT. HOME DEPOT MAY ASSIST YOU WITH WARRANTY CLAIMS AGAINST MANUFACTURERS. (c) **Limitation on Damages.** Home Depot will not be liable to YOU for indirect, incidental, special, punitive or consequential damages RESULTING FROM PERFORMANCE OF THE SERVICES, including, BUT NOT LIMITED TO, damages for lost opportunities, OR lost profits.
8. **TERMINATION:** This Agreement may be terminated by Home Depot for its convenience, and by either party for cause if the other party fails to correct a material breach within ten (10) days after receiving notice from the non-breaching party identifying the breach. In the event Home Depot terminates this Agreement because You fail to provide Safe Access to perform the Services, or if either party terminates the Agreement because You decline a Change Order request resulting from unforeseen, hazardous, or unsafe conditions or conditions that materially changes the Scope of Work, then You will pay Home Depot for Services provided through the date of termination plus any costs or expenses incurred by Home Depot or Service Provider as a result of the termination.



The Home Depot General Terms & Conditions

9. **CHOICE OF LAW; SEVERABILITY:** This Agreement will be governed by and interpreted in accordance with the laws of the State where the Project is physically located. The parties intend for the terms and conditions in the Agreement to be complementary, consistent, and enforceable under applicable laws. In the event any term or condition in the Agreement violates applicable law, such term or condition will be severed from the Agreement, but only to the extent necessary to avoid such violation, without invalidating any other terms and conditions of the Agreement.
10. **ENTIRE AGREEMENT:** This Agreement is the final, integrated, and exclusive expression of the parties' understanding, which supersedes all prior offers, orders, understandings, representations, proposals, confirmations, and negotiations between the parties, whether oral or written. No course of dealing, usage of trade, course of performance, course of conduct, or any other evidence of additional or different terms will be admissible to contradict or vary any term in the Agreement.
11. **SECURITY INTERESTS; LIENS:** If You make all payments as required under this Agreement, no security interest will be placed against Your property by Home Depot. If a security interest is placed on Your property, it creates a lien, mortgage, or other claim against Your property to secure payment and may cause a loss of Your property if You fail to pay as requested. After paying on any completed phase of the Services and before making any further payments, You should request from Home Depot or Service Provider a signed, unconditional release from, or waiver of, any right to place any claim against Your property applicable to the work then completed. You may ask an attorney about Your rights to discharge security interests.
12. **RETURNS:** Custom order merchandise (i.e., goods that are custom made, uniquely altered, colormatched, shaped, sized, or otherwise uniquely designed or fitted to the requirements of a particular space) is non-returnable, and its Contract Price cannot be refunded unless Home Depot or Service Provider **(1)** incorrectly ordered item, or **(2)** damaged item beyond repair. Special or custom order merchandise may be returned, and a refund for all or part of the Contract Price provided, in the discretion of Home Depot. Please contact The Home Depot for additional details concerning returns.
13. **AGREEMENT/SERVICE ORDER COMMUNICATION PREFERENCES:** You can visit www.homedepot.com > In-Store Special Orders at any time to access Your account for the following: **(1)** Update Your Agreement/Service Order Communication Preferences (email, text, Auto Call); **(2)** Contact Home Depot for order assistance; **(3)** View latest order status; or **(4)** Take action to schedule pickup for Your Service Orders. To **stop** any of the following communications You may visit www.homedepot.com > In-Store Special Orders to access Your account to update Your Agreement/Service Order Communication Preferences, contact The Home Depot, and take action on orders. If You signed up to receive updates about Your Agreement/Service Order(s) via: **(a) Text Message Communications**, You may receive multiple messages per order (including current and future orders) via automated technology to the mobile phone number You provided. The total number of messages received depends on the number of orders placed and order activity. Standard message and data rates apply. Not all carriers covered. You can text STOP to 97710 to stop (You will be sent a confirmation message). Call 1-877-467-2581 or 1-800-466-3337 for help; **(b) Electronic voice communications (Auto Call)**, You may receive multiple pre-recorded phone calls per order (including current and future orders) via automated technology to the phone number You provided. The total number of calls received depends on the number of orders placed and order activity. You can press 9 during a call to opt out or call 800-HOME-DEPOT for help; or **(c) Email Communications**, You may receive multiple Emails per order (including current and future orders) via automated technology to the Email address You provided. The total number of Emails received depends on the number of orders placed and order activity.
14. **LEAD PAINT:** Homes built prior to 1978 may require additional testing to determine if lead paint is present, and additional precautions if lead paint is present. You will be informed by Your Service Provider of any additional costs resulting from lead paint requirements prior to performing the Work. For additional information, visit www.epa.gov/lead/renovation-repair-and-painting-program.



CERTIFICATE OF LIABILITY INSURANCE

Item 2.
DATE (MM/DD)
02/21/2023

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER MARSH USA, INC. TWO ALLIANCE CENTER 3560 LENOX ROAD, SUITE 2400 ATLANTA, GA 30326 CN101642069-HomeD-GAW--22-25	CONTACT NAME: PHONE (A/C, No, Ext): _____ FAX (A/C, No): _____ E-MAIL ADDRESS: _____ <table border="1" style="width: 100%;"> <thead> <tr> <th style="width: 80%;">INSURER(S) AFFORDING COVERAGE</th> <th>NAIC #</th> </tr> </thead> <tbody> <tr> <td>INSURER A: Old Republic Insurance Co</td> <td>24147</td> </tr> <tr> <td>INSURER B: Indemnity Ins Co Of North America</td> <td>43575</td> </tr> <tr> <td>INSURER C: ACE American Insurance Company</td> <td>22667</td> </tr> <tr> <td>INSURER D:</td> <td></td> </tr> <tr> <td>INSURER E:</td> <td></td> </tr> <tr> <td>INSURER F:</td> <td></td> </tr> </tbody> </table>	INSURER(S) AFFORDING COVERAGE	NAIC #	INSURER A: Old Republic Insurance Co	24147	INSURER B: Indemnity Ins Co Of North America	43575	INSURER C: ACE American Insurance Company	22667	INSURER D:		INSURER E:		INSURER F:	
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INSURER E:															
INSURER F:															

COVERAGES **CERTIFICATE NUMBER:** ATL-005072225-15 **REVISION NUMBER:** 7

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> SIR: \$1,000,000 GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			MWZY 316648	03/01/2022	03/01/2025	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 1,000,000 MED EXP (Any one person) \$ EXCLUDED PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY			MWTB316649 SELF INSURED AUTO PHY DMG	03/01/2022	03/01/2025	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
A	UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED _____ RETENTION \$ _____			MWZX 316647	03/01/2022	03/01/2025	EACH OCCURRENCE \$ 10,000,000 AGGREGATE \$ 10,000,000
B C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N <input type="checkbox"/> N/A (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below			SCFC50668198 (WI) WLRC50668150 (MT) Continued on Additional Page	03/01/2023 03/01/2023	03/01/2024 03/01/2024	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 5,000,000 E.L. DISEASE - EA EMPLOYEE \$ 5,000,000 E.L. DISEASE - POLICY LIMIT \$ 5,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
EVIDENCE OF INSURANCE

CERTIFICATE HOLDER HOME DEPOT USA, INC 2455 PACES FERRY ROAD BUILDING C-20 ATLANTA, GA 30339	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE <i>Marsh USA Inc.</i>
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ADDITIONAL REMARKS SCHEDULE

AGENCY MARSH USA, INC.		NAMED INSURED THE HOME DEPOT, INC. HOME DEPOT U.S.A., INC. 2455 PACES FERRY ROAD BUILDING C-20 ATLANTA, GA 30339	
POLICY NUMBER		EFFECTIVE DATE:	
CARRIER	NAIC CODE		

ADDITIONAL REMARKS

THIS ADDITIONAL REMARKS FORM IS A SCHEDULE TO ACORD FORM,
FORM NUMBER: 25 FORM TITLE: Certificate of Liability Insurance

Workers Compensation Continued:
 Carrier: Safety National Casualty Corporation
 Policy Number: LDS4068089 (AL,AR,AZ,FL,IL,IA,IL,KS,KY,LA,MS,MO,NC,NE,NM,ND,OK,SC,SD,TN,VA,WV,WY)
 Effective Date: 03/01/2023
 Expiration Date: 03/01/2024
 (EL) Limit: \$5,000,000

Carrier: Safety National Casualty Corporation
 Policy Number: SP4068090(QSI) (CA,OR,WA)
 Effective Date: 03/01/2023
 Expiration Date: 03/01/2024
 (EL) Limit: \$5,000,000
 SIR: \$1,000,000

Carrier: ACE American Insurance Company
 Policy Number: WCUC50668095 (QSI) (GA,MI,NV,OH,UT)
 Effective Date: 03/01/2023
 Expiration Date: 03/01/2024
 (EL) Limit: \$4,000,000
 SIR: \$1,000,000
 SIR (GA):\$750,000

Carrier: Indemnity Insurance Company of North America
 Policy Number: WLRC50668058 (AK,CO,CT,DC,DE,HI,IN,MA,MD,ME,MN,NH,NJ,NY,PA,RI,VT)
 Effective Date: 03/01/2023
 Expiration Date: 03/01/2024
 (EL) Limit: \$5,000,000

TX Employers XS Indemnity:
 Carrier: Zurich American Insurance Company
 Policy Number: NSL1138319 (TX)
 Effective Date: 03/01/2023
 Expiration Date: 03/01/2024
 (EL) Limit: \$6,000,000
 SIR: \$5,000,000



ADDITIONAL REMARKS SCHEDULE

AGENCY MARSH USA, INC.		NAMED INSURED THE HOME DEPOT, INC. HOME DEPOT U.S.A., INC. 2455 PACES FERRY ROAD BUILDING C-20 ATLANTA, GA 30339	
POLICY NUMBER		EFFECTIVE DATE:	
CARRIER	NAIC CODE		

ADDITIONAL REMARKS

THIS ADDITIONAL REMARKS FORM IS A SCHEDULE TO ACORD FORM,
FORM NUMBER: 25 FORM TITLE: Certificate of Liability Insurance

*** HOME DEPOT INSUREDS***
 The Home Depot, Inc.
 Home Depot U.S.A., Inc.
 Home Depot U.S.A., Inc. dba The Home Depot
 Home Depot of Puerto Rico, Inc.
 Home Depot Product Authority, LLC
 Home Depot Store Support, Inc.
 Red Beacon, LLC
 H.D.V.I. Holding Company, Inc.
 Askuity, Inc.
 Home Depot Management Company, LLC

PROJECT SPECIFICATION



Date: <u>10/17/2023</u>	Branch: <u>New England South</u>
Sales Consultant : <u>Robert Delisle</u>	CSC Phone: <u>HOME DEPOT PHONE: (877)-903-3768</u>
Sales Consultant Phone # : <u>(774) 283-3215</u>	License(s):

INSTALLATION ADDRESS: 203 High Street

Bristol RI 02809

Job #: F37146434

PURCHASER(S):	Work Phone	Home Phone	Cell Phone
<u>Carol orphanides</u>			<u>(401) 580-9042</u>

PROJECT NAME: Windows Quote

Customer
Signature: *Carol orphanides*

Date: 10/17/2023

PROJECT SPECIFICATIONS

1	1st/DINE/Windows	Andersen, Tilt Wash Double Hung (Insert), White Int. Finish, White Ext. Finish, Width 32, Height 54, Width + Height 86, Glass - Standard, Sculptured - Simulated Divided Light w/ Spacer Grid, COLONIAL Pattern, Int. Grid Color, White Ext. Grid Color, ALL Grid Position, 1 Bar(s) Horizontal, 2 Bar(s) Vertical, ALL Grid Position, 1 Bar(s) Horizontal, 2 Bar(s) Vertical, Hardware Option(s) White Finish, Standard Hardware, Labor Option(s) Remove Storm Windows – Removal Only (Per Each)
2	1st/DINE/Windows	Andersen, Tilt Wash Double Hung (Insert), White Int. Finish, White Ext. Finish, Width 32, Height 54, Width + Height 86, Glass - Standard, Sculptured - Simulated Divided Light w/ Spacer Grid, COLONIAL Pattern, Int. Grid Color, White Ext. Grid Color, ALL Grid Position, 1 Bar(s) Horizontal, 2 Bar(s) Vertical, ALL Grid Position, 1 Bar(s) Horizontal, 2 Bar(s) Vertical, Hardware Option(s) White Finish, Standard Hardware, Labor Option(s) Remove Storm Windows – Removal Only (Per Each)
3	1st/BED/Windows	Andersen, Tilt Wash Double Hung (Insert), White Int. Finish, White Ext. Finish, Width 32, Height 50, Width + Height 82, Glass - Standard, Sculptured - Simulated Divided Light w/ Spacer Grid, COLONIAL Pattern, Int. Grid Color, White Ext. Grid Color, ALL Grid Position, 1 Bar(s) Horizontal, 2 Bar(s) Vertical, ALL Grid Position, 1 Bar(s) Horizontal, 2 Bar(s) Vertical, Hardware Option(s) White Finish, Standard Hardware, Labor Option(s) Remove Storm Windows – Removal Only (Per Each)
4	1st/LIV/Windows	Andersen, Tilt Wash Double Hung (Insert), White Int. Finish, White Ext. Finish, Width 32, Height 54, Width + Height 86, Glass - Standard, Sculptured - Simulated Divided Light w/ Spacer Grid, COLONIAL Pattern, Int. Grid Color, White Ext. Grid Color, ALL Grid Position, 1 Bar(s) Horizontal, 2 Bar(s) Vertical, ALL Grid Position, 1 Bar(s) Horizontal, 2 Bar(s) Vertical, Hardware Option(s) White Finish, Standard Hardware, Labor Option(s) Remove Storm Windows – Removal Only (Per Each)

PROJECT SPECIFICATION



Purchaser's Name: <u>Carol orphanides</u>	Job#: <u>F37146434</u>
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PROJECT NAME: Windows Quote

PROJECT SPECIFICATIONS

5	1st/LIV/Windows	Andersen, Tilt Wash Double Hung (Insert), White Int. Finish, White Ext. Finish, Width 32, Height 54, Width + Height 86, Glass - Standard, Sculptured - Simulated Divided Light w/ Spacer Grid, COLONIAL Pattern, Int. Grid Color, White Ext. Grid Color, ALL Grid Position, 1 Bar(s) Horizontal, 2 Bar(s) Vertical, ALL Grid Position, 1 Bar(s) Horizontal, 2 Bar(s) Vertical, Hardware Option(s) White Finish, Standard Hardware, Labor Option(s) Remove Storm Windows – Removal Only (Per Each)
6	1st/BED1/Windows	Andersen, Tilt Wash Double Hung (Insert), White Int. Finish, White Ext. Finish, Width 32, Height 54, Width + Height 86, Glass - Standard, Sculptured - Simulated Divided Light w/ Spacer Grid, COLONIAL Pattern, Int. Grid Color, White Ext. Grid Color, ALL Grid Position, 1 Bar(s) Horizontal, 2 Bar(s) Vertical, ALL Grid Position, 1 Bar(s) Horizontal, 2 Bar(s) Vertical, Hardware Option(s) White Finish, Standard Hardware, Labor Option(s) Remove Storm Windows – Removal Only (Per Each)
7	1st/OFC/Windows	Andersen, Tilt Wash Double Hung (Insert), White Int. Finish, White Ext. Finish, Width 32, Height 54, Width + Height 86, Glass - Standard, Sculptured - Simulated Divided Light w/ Spacer Grid, COLONIAL Pattern, Int. Grid Color, White Ext. Grid Color, ALL Grid Position, 1 Bar(s) Horizontal, 2 Bar(s) Vertical, ALL Grid Position, 1 Bar(s) Horizontal, 2 Bar(s) Vertical, Hardware Option(s) White Finish, Standard Hardware, Labor Option(s) Remove Storm Windows – Removal Only (Per Each)
8	1st/OFC/Windows	Andersen, Tilt Wash Double Hung (Insert), White Int. Finish, White Ext. Finish, Width 32, Height 54, Width + Height 86, Glass - Standard, Sculptured - Simulated Divided Light w/ Spacer Grid, COLONIAL Pattern, Int. Grid Color, White Ext. Grid Color, ALL Grid Position, 1 Bar(s) Horizontal, 2 Bar(s) Vertical, ALL Grid Position, 1 Bar(s) Horizontal, 2 Bar(s) Vertical, Hardware Option(s) White Finish, Standard Hardware, Labor Option(s) Remove Storm Windows – Removal Only (Per Each)
Job Level and Labor Options		
8-Remove Storm Windows – Removal Only (Per Each)		

Andersen Wood SPEC SHEET

Branch Name: New England South

Ship To Location:

SC: Robert Delisle

Job #: F37146434

Customer Name: Carol orphanides

Measure Tech:

Prepared By:

Date: 10/17/2023

INSTALLER:

ISM:

Page 1 of 2

SPEC SHEET #

SPR REF #

Item 2.

NEW WINDOW UNIT																																									
ITEM #	Existing Window Type		Andersen Window TYPE	Color/Finish			SC SIZE SOLD (Tip to TIP)			MEASURE TECH SIZE				FULL FRAME ONLY	DH INSERT ONLY	Frame Sash Options	Casement Handling Options				Glass OPTION	Screen (Standard is included in Base price)	Grille Options (PER SASH PRICING)										Glass OPTION	Hung LOCK OPTIONS (ST or WH included in BASE unit pricing)	Hung SASH LIFT OPTIONS	Casement Hardware OPTIONS (Traditional Folding Stone or White Option included in BASE unit pricing)		MISC LABOR OPTIONS			
Room	Floor	Existing Window Code	Series CODE	Window Style CODE	Exterior Color CODE	Interior Finish Color CODE	TW Jamb Liner Color	Standard Size AW Code	Width	Height	TOTAL UI (WIDTH + HEIGHT)	Width	Height	MT/SM Standard Size CODE	WALL DEPTH	SILL ANGLE	Sash Split	Venting / Handing				Hinge Style	Temp CODE	Screen Options	Grid Type CODE	Exterior Grid Color	Interior Grid Color	Pattern CODE	# Bars Vert (per sash)	# Bars Horiz (per sash)	Location CODE	#Bars Vert (Per Sash)	#Bars Horiz (Per Sash)	Location CODE	Pattern & Obscure CODE	Finish CODE	Type	Finish CODE	Type	Finish CODE	MISC Labor Item CODES
1	DIN E	1st	DH-ALDE R	400	DH	WH	WH		32	54	86										STD		SDL	WH	WH	COLO NIAL	2, 2	1, 1	ALL					WH	STD	WH	STD	WH	STORM		
2	DIN E	1st	DH-ALDE R	400	DH	WH	WH		32	54	86										STD		SDL	WH	WH	COLO NIAL	2, 2	1, 1	ALL					WH	STD	WH	STD	WH	STORM		
3	BED	1st	DH-ALDE R	400	DH	WH	WH		32	50	82										STD		SDL	WH	WH	COLO NIAL	2, 2	1, 1	ALL					WH	STD	WH	STD	WH	STORM		
4	LIV	1st	DH-ALDE R	400	DH	WH	WH		32	54	86										STD		SDL	WH	WH	COLO NIAL	2, 2	1, 1	ALL					WH	STD	WH	STD	WH	STORM		

BAY / BOW WINDOW															SC/Installer Notes: (include Misc. Labor, Mull Stack Options, special conditions, Use Item # to identify window/door)										MANUFACTURER NOTES: (include mulling locations, accessories, Use item # to identify window/door)				
Projection Angle: (Bay: 30° or 45°)															Top of Window to Soffit (inches)														
Bay Window Flankers (DH / Casement)															Width of Overhang (inches)														
Construct Roof 1 (Yes / No)															If tied to Soffit, color of Soffit material														

NEW DOOR UNIT																																												
ITEM #	Existing Door Type		Andersen Door TYPE	Color/Finish			SC SIZE SOLD (Tip to TIP)			MEASURE TECH SIZE				FULL FRAME ONLY		Grille Options (PER SASH PRICING)						Glass OPTION	Screen Option	Hinge Option	Hinged and Gliding Door Options										MULL / STACK OPTIONS		MISC LABOR OPTIONS		WINDOW & DOOR Energy Star Options	AW Trim for Radius Unit				
Room	Floor	Existing Door Code	Series CODE	Style CODE	Exterior Color CODE	Interior Finish Color CODE	Standard Size AW Code	Width	Height	TOTAL UI (WIDTH + HEIGHT)	Width	Height	RO / TIP	Ext Jamb Size	Inswing Extension Jamb Location	Grid Type CODE	PD Exterior Grid Color	PD Interior Grid Color	Pattern CODE	#Bars Vert (Per Sash)	#Bars Horiz (Per Sash)	Obscure CODE	Screen CODE	IN or OUT	# Panels	Gliding Door Venting / Handing	Hinged Door Venting / Handing	PD Assembly (200, 400, & A-Ser gliding only)	Lock HRDWR Type	Lock HRDWR Finish	Optional Keyed Lock	Mulled / Stacked	Special Notes	MISC Labor Item CODES	Northern ES? Note: Smartsun meets all other regional zones. Yes or No	Capillary tube?	Profile	Width	AW Coil/ Wraps	#of boxes	Color			
																																			No									
																																			No									
																																			No									

Approval _____ Print Name Carol orphanides

Title 48 Owner

Andersen Wood SPEC SHEET

Branch Name: New England South

Ship To Location:

SC: Robert Delisle

Job #: F37146434

Customer Name: Carol orphanides

Measure Tech:

Prepared By:

Date: 10/17/2023

INSTALLER:

ISM:

Page 2 of 2

SPEC SHEET #

SPR REF #

Item 2.

NEW WINDOW UNIT																																									
ITEM #	Existing Window Type		Andersen Window TYPE	Color/Finish				SC SIZE SOLD (Tip to TIP)			MEASURE TECH SIZE				FULL FRAME ONLY	DH INSERT ONLY	Frame Sash Options	Casement Handling Options				Glass OPTION	Screen (Standard is included in Base price)	Grille Options (PER SASH PRICING)										Glass OPTION	Hung LOCK OPTIONS (ST or WH included in BASE unit pricing)	Hung SASH LIFT OPTIONS		Casement Hardware OPTIONS (Traditional Folding Stone or White Option included in BASE unit pricing)		MISC LABOR OPTIONS	
Room	Floor	Window Code	Series CODE	Window Style CODE	Exterior Color CODE	Interior Color CODE	TW Jamb Liner Color	Standard Size AW Code	Width	Height	TOTAL UI (WIDTH + HEIGHT)	Width	Height	MT/SM Standard Size CODE	WALL DEPTH	SILL ANGLE	Sash Split	Venting / Handing				Hinge Style	Temp CODE	Screen Options	Grid Type CODE	Exterior Grid Color	Interior Grid Color	Pattern CODE	# Bars Vert (per sash)	# Bars Horiz (per sash)	Location CODE	#Bars Vert (Per Sash)	#Bars Horiz (Per Sash)	Location CODE	Pattern & Obscure CODE	Finish CODE	Type	Finish CODE	Type	Finish CODE	MISC Labor Item CODES
5	LIV	1st	DH-ALDE R	400	DH	WH	WH		32	54	86										STD		SDL	WH	WH	COLO NIAL	2, 2	1, 1	ALL					WH	STD	WH	STD	WH	STORM		
6	BED 1	1st	DH-ALDE R	400	DH	WH	WH		32	54	86										STD		SDL	WH	WH	COLO NIAL	2, 2	1, 1	ALL					WH	STD	WH	STD	WH	STORM		
7	OF C	1st	DH-ALDE R	400	DH	WH	WH		32	54	86										STD		SDL	WH	WH	COLO NIAL	2, 2	1, 1	ALL					WH	STD	WH	STD	WH	STORM		
8	OF C	1st	DH-ALDE R	400	DH	WH	WH		32	54	86										STD		SDL	WH	WH	COLO NIAL	2, 2	1, 1	ALL					WH	STD	WH	STD	WH	STORM		

BAY / BOW WINDOW															SC/Installer Notes: (include Misc. Labor, Mull Stack Options, special conditions, Use Item # to identify window/door)										MANUFACTURER NOTES: (include mulling locations, accessories, Use item # to identify window/door)				
Projection Angle: (Bay: 30° or 45°)																													
Bay Window Flankers (DH / Casement)																													
Construct Roof 1 (Yes / No)																													
1There is no guarantee that new shingles will match existing color.																													

NEW DOOR UNIT																																															
ITEM #	Existing Door Type		Andersen Door TYPE	Color/Finish				SC SIZE SOLD (Tip to TIP)			MEASURE TECH SIZE				FULL FRAME ONLY		Grille Options (PER SASH PRICING)						Glass OPTION	Screen Option	Hinge Option	Hinged and Gliding Door Options								MULL / STACK OPTIONS		MISC LABOR OPTIONS		WINDOW & DOOR Energy Star Options		AW Trim for Radius Unit							
Room	Floor	Existing Door Code	Series CODE	Style CODE	Exterior Color CODE	Interior Color CODE	Standard Size AW Code	Width	Height	TOTAL UI (WIDTH + HEIGHT)	Width	Height	RO / TIP	Ext Jamb Size	Inswing Extension Jamb Location	Grid Type CODE	PD Exterior Grid Color	PD Interior Grid Color	Pattern CODE	#Bars Vert (Per Sash)	#Bars Horiz (Per Sash)	Obscure CODE	Screen CODE	IN or OUT	# Panels	Gliding Door Venting / Handing	Hinged Door Venting / Handing	PD Assembly (200, 400, & A-Ser gliding only)	Lock HRDWR Type	Lock HRDWR Finish	Optional Keyed Lock	Mulled / Stacked	Special Notes	MISC Labor Item CODES	Northern ES? Note: Smartsun meets all other regional zones. Yes or No	Capillary tube?	Profile	Width	AW Coil/ Wraps	#of boxes	Color						



Bristol Historic District Commission

Application for review of proposed Work

1. Property Address (Street & No.) 151 Ferry Road

2. Plat # 165 Lot # 2

3. a. Applicant: Scott Hutchens

b. Owner (if different from applicant written authorization of owner required):

Mailing Address: PO Box 536, Bristol, RI 02809

Phone: 508-922-7264

Email: Scott@rawseafoods.com

4. a. Architect/Draftsman: Brian Mulvehill, Redwood Outdoors & Design

Phone: 339-832-6380

Email: Brian@redwoodoutdoorsma.com

b. Contractor: Boston Pergolas

Phone: 617-620-3349

Email: Sales@bostonpergolas.com

5. Work Category:

New Structure(s)

6. Description of proposed work:

Our original application (#22-095) which was approved on 9/1/2022 was for the construction of an in ground pool, patio, and two story pool house. After further review, we decided the best value and use for this space was a single level, open air, pergola instead of the pool house. The pool and patio are already under construction and we are resubmitting the pergola design for approval. The pergola is manufactured by www.struxure.com and will be a white finish which matches the existing home and garage. The rear wall will be finished with white shiplap which is also consistent with the color and design of the home. The 3D pictures are conceptual done by our designer however will look exactly like the Pergola X, Pivot 6 designs available to view on the Struxure website.

7. Property History

NORMAN HERRESHOFF HOUSE 1938: Architect Norman Herreshoff, a graduate of the Massachusetts Institute of Technology, designed this house for himself. One of the few International Style houses in Rhode Island, this 2-story, flat-roof house covered with asbestos clapboards has an open interior plan, including a sunken living room. The glazed walls of the living room and the attached dining room open to the view of Walker's Cove.

Scott Hutchens

Scott G Hutchens

Applicant's Name – Printed

Applicant's Signature

Date: November 21, 2023



CAI Property Card

Town of Bristol, RI

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR
LOCATION: 151 FERRY RD ACRES: 1.85 PARCEL ID: 165 2 LAND USE CODE: 01 CONDO COMPLEX: OWNER: HUTCHENS, SCOTT GORDON & LISA TE CO - OWNER: MAILING ADDRESS: 211-R MIDDLEBORO RD ZONING: R-40 PATRIOT ACCOUNT #: 9228	BUILDING STYLE: Contemporary UNITS: 1 YEAR BUILT: 1937 FRAME: Wood Frame EXTERIOR WALL COVER: Siding ROOF STYLE: Flat ROOF COVER: Asphalt Shin
	BUILDING INTERIOR
SALE INFORMATION SALE DATE: 7/30/2021 BOOK & PAGE: 2125-150 SALE PRICE: 2,925,000 SALE DESCRIPTION: SELLER: CONAWAY, JUDITH S	INTERIOR WALL: Plaster FLOOR COVER: Hardwood HEAT TYPE: Reg A/C FUEL TYPE: Gas PERCENT A/C: True # OF ROOMS: 8 # OF BEDROOMS: 4 # OF FULL BATHS: 4 # OF HALF BATHS: 1 # OF ADDITIONAL FIXTURES: 1 # OF KITCHENS: 1 # OF FIREPLACES: 1 # OF METAL FIREPLACES: 0 # OF BASEMENT GARAGES: 1
PRINCIPAL BUILDING AREAS	
GROSS BUILDING AREA: 6913 FINISHED BUILDING AREA: 3696 BASEMENT AREA: 1208 # OF PRINCIPAL BUILDINGS: 1	
ASSESSED VALUES	
LAND: \$1,115,500 YARD: \$34,000 BUILDING: \$1,560,800 TOTAL: \$2,710,300	
SKETCH	PHOTO



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200 foot Abutters List Report

Bristol, RI
December 18, 2023

Subject Property:

Parcel Number: 165-2
CAMA Number: 165-2
Property Address: 151 FERRY RD

Mailing Address: HUTCHENS, SCOTT GORDON & LISA TE
211-R MIDDLEBORO RD
FREETOWN, MA 02717

Abutters:

Parcel Number: 162-13
CAMA Number: 162-13
Property Address: 2 FAIRVIEW DR

Mailing Address: BIERWIRTH, THEODORE A. MARGARET
M TRST
2 FAIRVIEW DR
BRISTOL, RI 02809

Parcel Number: 162-14
CAMA Number: 162-14
Property Address: 180 FERRY RD

Mailing Address: SCHLESS, MICHAEL J. & LUNIECE OBST
TE
180 FERRY RD
BRISTOL, RI 02809

Parcel Number: 162-19
CAMA Number: 162-19
Property Address: 200 FERRY RD

Mailing Address: WINZER, MARTIN J & MALONEY
WINZER, ALYSSA TE
200 FERRY RD
BRISTOL, RI 02809

Parcel Number: 162-4
CAMA Number: 162-4
Property Address: 150 FERRY RD

Mailing Address: SWANSON, DAVID P. ET UX KATHRYN
DUNN SWANSON TE
150 FERRY ROAD
BRISTOL, RI 02809

Parcel Number: 162-5
CAMA Number: 162-5
Property Address: 142 FERRY RD

Mailing Address: MCSOLEY, JANE M
142 FERRY RD
BRISTOL, RI 02809

Parcel Number: 165-11
CAMA Number: 165-11
Property Address: 137 FERRY RD

Mailing Address: TROMP, THOMAS A. & TIJA Z.TE
137 FERRY RD
BRISTOL, RI 02809

Parcel Number: 165-3
CAMA Number: 165-3
Property Address: 145 FERRY RD

Mailing Address: RICKLIN, DONALD R & WELLS, LESLIE R
& RICKLIN, ETHAN J & ROGER D
CO 145 FERRY RD
BRISTOL, RI 02809

Parcel Number: 165-9
CAMA Number: 165-9
Property Address: 141 FERRY RD

Mailing Address: YANYAR, VIRGINIA M. LIFE EST REV LT
VIRGINIA M. YANYAR
141 FERRY RD
BRISTOL, RI 02809

Parcel Number: 21-30
CAMA Number: 21-30
Property Address: 157 FERRY RD

Mailing Address: 157 FERRY ROAD, LLC
1 W. EXCHANGE ST, UNIT 2902
PROVIDENCE, RI 02903

Parcel Number: 21-33
CAMA Number: 21-33
Property Address: 155 FERRY RD

Mailing Address: LENARCIC, MICHAEL A. LENARCIC,
ALICIA S. TRUSTEES
155 FERRY RD
BRISTOL, RI 02809



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200 foot Abutters List Report

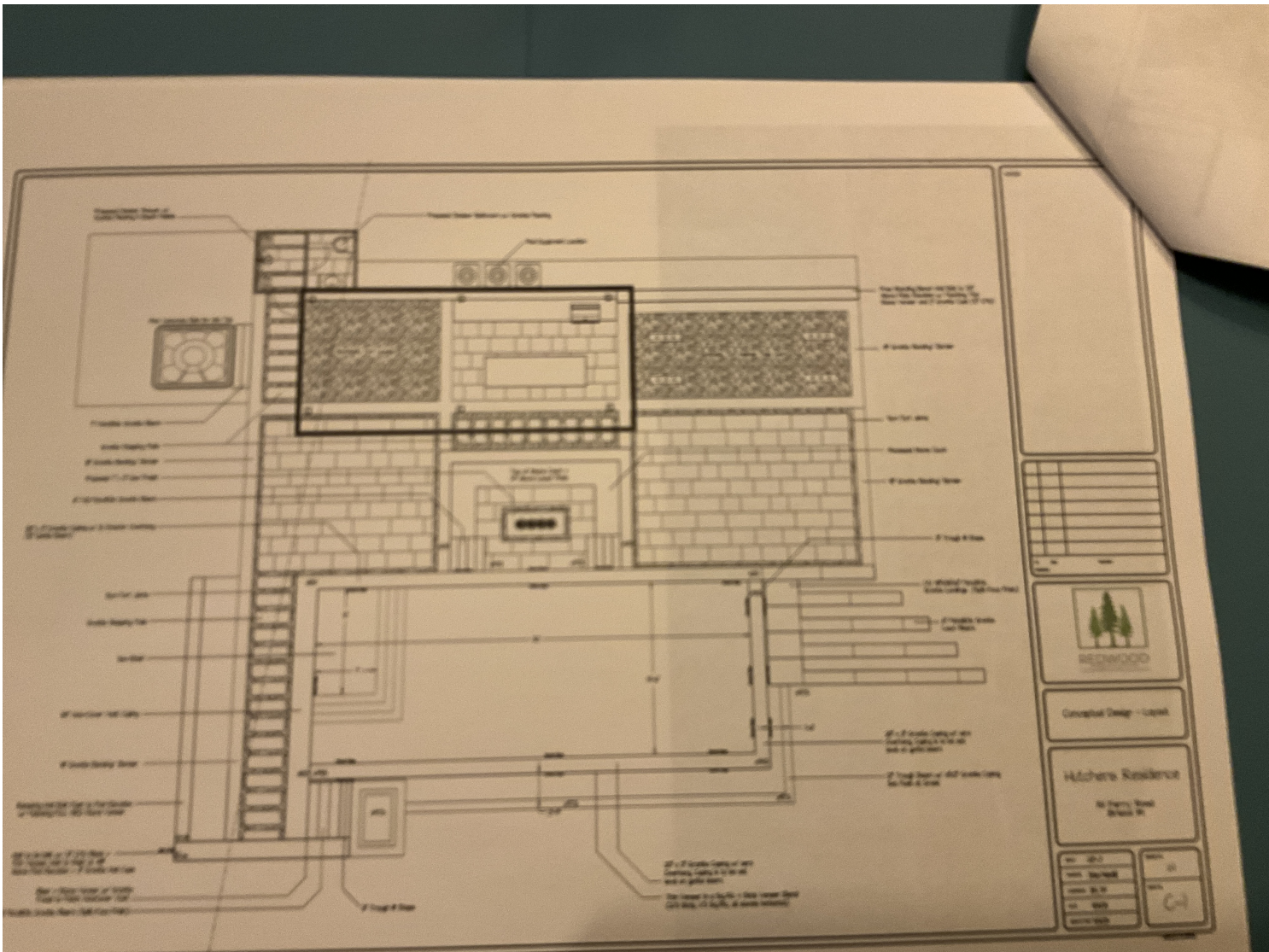
Bristol, RI
December 18, 2023

Parcel Number: 21-35
CAMA Number: 21-35
Property Address: FERRY RD

Mailing Address: TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809











Bristol Historic District Commission

Application for review of proposed Work

1. Property Address (Street & No.) 256 Hope St Bristol, RI 02809

2. Plat # 1,517 Lot # 1,517

3. a. Applicant: Phillip Elmer

b. Owner (if different from applicant written authorization of owner required): Philip Elmer

Mailing Address:

Phone: (413) 522-7135

Email: ped@mac.com

4. a. Architect/Draftsman:

Phone: 4012930527

Email:

b. Contractor:

Phone:

Email:

5. Work Category:

Addition to Structure(s)

6. Description of proposed work:

xProposal to install (22) REC Alpha REC405AA black on black solar panels on roof surface of 256 Hope St. The panels will be installed on the southern roof of the main house and southern roof of the rear addition. Panels will be installed 3-4" off of the roof surface with black rails and flashing. All conduits and wiring to be installed in attic, on side or rear of building. Equipment on the exterior of the building will be limited to (1) 10" x 13" disconnect switch mounted next to the existing utility meter. This will minimize equipment mounted outside.

7. Property History

JOHN LISCOMB-ISAAC CAMMHOUSE1787, c. 1830, c. 1910: The west section of this house, a 2-1/2-story, 3-bay end-gable-roof Greek Revival design was built in themid-19th-century. The middle section dates from1787, and a lar ell and porch date from the early1900s. The mainentrance isa Greek Revival

flat-headed sign with an overscale fret applied to the frieze and double pilaster on each side of an unusual 7 panel door. Camm, 1823-1898, who emigrated to Bristol from England, was a master of the Usher brothers' ships during the 1860s, and acquired this house in 1865.

Phillip Elmer

David McMullen

Applicant's Name – Printed

Applicant's Signature

Date: December 4, 2023



200 foot Abutters List Report

Bristol, RI
December 15, 2023

Subject Property:

Parcel Number: 15-17
CAMA Number: 15-17
Property Address: 256 HOPE ST

Mailing Address: ELMER, PHILIP W - TRUSTEE ELMER
INVESTMENT TRUST
256 HOPE ST
BRISTOL, RI 02809

Abutters:

Parcel Number: 10-52
CAMA Number: 10-52
Property Address: 275 HOPE ST

Mailing Address: MUHLBACH, LAURIE ANN
275 HOPE ST
BRISTOL, RI 02809

Parcel Number: 10-53
CAMA Number: 10-53
Property Address: 21 CONSTITUTION ST

Mailing Address: CHACE, RICHMOND N. NANCY E. ETUX
21 CONSTITUTION ST
BRISTOL, RI 02809

Parcel Number: 11-1
CAMA Number: 11-1
Property Address: 265 HOPE ST

Mailing Address: CURTIS, WILLIAM D. & LAUREL A TE
265 HOPE ST
BRISTOL, RI 02809

Parcel Number: 11-13
CAMA Number: 11-13-001
Property Address: 249 HOPE ST

Mailing Address: SYLVIA, ALAN G. ET UX ANN M.
13033 PENNINGTON PL UNIT #102
FORT MEYERS, FL 33913

Parcel Number: 11-13
CAMA Number: 11-13-002
Property Address: 249 HOPE ST

Mailing Address: MCCLOSKEY, JOHN A. JR.
249 HOPE ST UNIT 2
BRISTOL, RI 02809

Parcel Number: 11-13
CAMA Number: 11-13-003
Property Address: 249 HOPE ST

Mailing Address: SALESI, PAUL JOHN & MARYANN -
TRUSTEES SALESI LIVING TRUST
249 HOPE ST, UNIT 3
BRISTOL, RI 02809

Parcel Number: 11-13
CAMA Number: 11-13-004
Property Address: 249 HOPE ST

Mailing Address: GATES, ANNE M
4165 S. FOURMILE RUN APT 401
ARLINGTON, VA 22204

Parcel Number: 11-13
CAMA Number: 11-13-005
Property Address: 249 HOPE ST

Mailing Address: MURRAY, ROBERT F
249 HOPE ST UNIT 5
BRISTOL, RI 02809

Parcel Number: 11-13
CAMA Number: 11-13-006
Property Address: 249 HOPE ST

Mailing Address: SOUSA, MICHAEL
249 HOPE ST UNIT 6
BRISTOL, RI 02809

Parcel Number: 11-13
CAMA Number: 11-13-007
Property Address: 249 HOPE ST

Mailing Address: SCHNEIDER, ROBERT J & SCHNEIDER,
PAMELA BRITT TE
249 HOPE ST # 7
BRISTOL, RI 02809





200 foot Abutters List Report

Bristol, RI
December 15, 2023

Parcel Number: 11-13 CAMA Number: 11-13-008 Property Address: 249 HOPE ST	Mailing Address: DIPIPPO, MICHAEL C/O CUSTOM MARINE PLASTICS 281 FRANKLIN ST UNIT 1A BRISTOL, RI 02809
Parcel Number: 11-13 CAMA Number: 11-13-009 Property Address: 249 HOPE ST	Mailing Address: FERREIRA, ROBERT A. BARBARA M. TE 249 HOPE STREET BRISTOL, RI 02809
Parcel Number: 11-15 CAMA Number: 11-15-001 Property Address: 221 HOPE ST	Mailing Address: BROWN, MURIEL M. 221 HOPE ST UNIT# 1 BRISTOL, RI 02809
Parcel Number: 11-15 CAMA Number: 11-15-002 Property Address: 221 HOPE ST	Mailing Address: BURNETT, ROBIN D & BURNETT, BETH MCCANN CO-TRUST 221 HOPE ST UNIT 2 BRISTOL, RI 02809
Parcel Number: 11-15 CAMA Number: 11-15-003 Property Address: 221 HOPE ST	Mailing Address: VELLIS, PETER A. & ALMEIDA, SONIA F. TE 221 HOPE ST, Unit 3 BRISTOL, RI 02809
Parcel Number: 11-15 CAMA Number: 11-15-004 Property Address: 221 HOPE ST	Mailing Address: LUBECK, KATHLEEN R. CO-TRST KATHLEEN LUBECK LIV TRST AGMT 221 HOPE STREET UNIT 4A BRISTOL, RI 02809
Parcel Number: 11-15 CAMA Number: 11-15-005 Property Address: 221 HOPE ST 5	Mailing Address: KENNEDY, HOLLY P TRUSTEE 233 CLUB SUGARBUSH SOUTH WARREN, VT 05674-4468
Parcel Number: 11-15 CAMA Number: 11-15-006 Property Address: 221 HOPE ST	Mailing Address: CURRY, MAUREEN C. EDWARD W. TE 221 HOPE ST UNIT 6 BRISTOL, RI 02809
Parcel Number: 11-15 CAMA Number: 11-15-007 Property Address: 221 HOPE ST	Mailing Address: ASCIOLLA, NILA A 221 HOPE ST UNIT 7 BRISTOL, RI 02809
Parcel Number: 11-15 CAMA Number: 11-15-008 Property Address: 221 HOPE ST	Mailing Address: JOHNSON, SUSAN E 221 HOPE ST BRISTOL, RI 02809
Parcel Number: 11-15 CAMA Number: 11-15-009 Property Address: 221 HOPE ST	Mailing Address: PASQUAL, THOMAS A & JO-ANN TRUSTEES 221 HOPE ST UNIT # 9 BRISTOL, RI 02809
Parcel Number: 11-15 CAMA Number: 11-15-010 Property Address: 221 HOPE ST	Mailing Address: JORDAN, KEVIN E. LINDA S. ETUX TE 221 HOPE ST BRISTOL, RI 02809



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200 foot Abutters List Report

Bristol, RI
December 15, 2023

Parcel Number: 11-15 CAMA Number: 11-15-011 Property Address: 221 HOPE ST	Mailing Address: BUTLER, WILLIAM E. 30 PEABODY TERRACE CAMBRIDGE, MA 02138
Parcel Number: 11-15 CAMA Number: 11-15-012 Property Address: 221 HOPE ST	Mailing Address: MACK, JOHN C & PATRICIA M TRUSTEES JOHN C MACK & PATRICIA M MACK REVOCABLE LIVING TRU 97 PEARL ST ENGLEWOOD, FL 34223
Parcel Number: 11-15 CAMA Number: 11-15-013 Property Address: 221 HOPE ST	Mailing Address: DWYER, MARY L, TRUSTEE-MARY L DWYER TRUST 221 HOPE ST., UNIT 13 BRISTOL, RI 02809
Parcel Number: 11-15 CAMA Number: 11-15-014 Property Address: 221 HOPE ST	Mailing Address: BUTCHER, STEPHEN W & LISA B 221 HOPE ST UNIT 14 BRISTOL, RI 02809
Parcel Number: 11-15 CAMA Number: 11-15-015 Property Address: 221 HOPE ST	Mailing Address: BRAMLEY, CATHERINE M & ALAN K TE 221 HOPE ST UNIT 15 BRISTOL, RI 02809
Parcel Number: 11-15 CAMA Number: 11-15-016 Property Address: 221 HOPE ST	Mailing Address: MCKENNA, MYONG-HWA & STEPHEN W. LE MCKENNA, CAITLIN I. 221 HOPE ST, UNIT 16 BRISTOL, RI 02809
Parcel Number: 11-15 CAMA Number: 11-15-017 Property Address: 221 HOPE ST	Mailing Address: TIRPAECK, SARA JANE TRUSTEE TIRPAECK RESIDENCE TRUST 221 HOPE ST UNIT #17 BRISTOL, RI 02809
Parcel Number: 11-3 CAMA Number: 11-3 Property Address: 259 HOPE ST	Mailing Address: DE RHAM, JEREMIAH AMY TE 259 HOPE ST BRISTOL, RI 02809
Parcel Number: 11-4 CAMA Number: 11-4 Property Address: 20 CONSTITUTION ST	Mailing Address: RDH REALTY, LLC 12 CONSTITUTION ST BRISTOL, RI 02809
Parcel Number: 11-5 CAMA Number: 11-5 Property Address: 16 CONSTITUTION ST	Mailing Address: JENSEN, LEIF 16 CONSTITUTION ST BRISTOL, RI 02809
Parcel Number: 14-100 CAMA Number: 14-100 Property Address: 45 CONSTITUTION ST	Mailing Address: ROBERT W GLANVILLE REV TRUST 45 CONSTITUTION ST BRISTOL, RI 02809-2120
Parcel Number: 14-101 CAMA Number: 14-101 Property Address: 41 CONSTITUTION ST	Mailing Address: AVESON, STEVEN B & AVESON, KAREN WHITLA TE 42 LINCOLN ST MEDWAY, MA 02053



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200 foot Abutters List Report

Bristol, RI
December 15, 2023

Parcel Number: 14-103 CAMA Number: 14-103 Property Address: 31 CONSTITUTION ST	Mailing Address: MAGUIRE, BRENDAN 129 WHEELER ST REHOBOTH, MA 02769
Parcel Number: 14-111 CAMA Number: 14-111 Property Address: 35 CONSTITUTION ST	Mailing Address: TAVARES FAMILY TRUST & MORAN, A. & PASQUAL, THOMAS & JOANN TRUSTEES 35 CONSTITUTION ST BRISTOL, RI 02809
Parcel Number: 14-116 CAMA Number: 14-116 Property Address: 278 HOPE ST	Mailing Address: FOX, GREGORY A. ALISON L 290 HOPE ST BRISTOL, RI 02809
Parcel Number: 14-99 CAMA Number: 14-99 Property Address: 51 CONSTITUTION ST	Mailing Address: GOWER, SUSAN E. CURTIS C. TE 51 CONSTITUTION ST BRISTOL, RI 02809
Parcel Number: 15-10 CAMA Number: 15-10 Property Address: 52 CONSTITUTION ST	Mailing Address: 52 CONSTITUTION LLC 48 CONSTITUTION ST BRISTOL, RI 02809
Parcel Number: 15-11 CAMA Number: 15-11 Property Address: 48 CONSTITUTION ST	Mailing Address: 48 CONSTITUTION LLC 48 CONSTITUTION ST BRISTOL, RI 02809
Parcel Number: 15-12 CAMA Number: 15-12 Property Address: 46 CONSTITUTION ST	Mailing Address: O'HARE, ALEXA RIANNE & MATTHEW R. TE 46 CONSTITUTION ST BRISTOL, RI 02809
Parcel Number: 15-13 CAMA Number: 15-13 Property Address: 44 CONSTITUTION ST	Mailing Address: CORREIA, MANUEL A. JR FILOMENA 6 CEDARWOOD DR RIVERSIDE, RI 02915
Parcel Number: 15-14 CAMA Number: 15-14 Property Address: 40 CONSTITUTION ST	Mailing Address: BAER, BANKARD F. ET UX RAYNE GILL BAER 40 CONSTITUTION ST BRISTOL, RI 02809
Parcel Number: 15-15 CAMA Number: 15-15 Property Address: 36 CONSTITUTION ST	Mailing Address: PARENT, CHERYL A LE CROWELL, LISA ANN 36 CONSTITUTION ST BRISTOL, RI 02809
Parcel Number: 15-16 CAMA Number: 15-16 Property Address: 262 HOPE ST	Mailing Address: DESJARDINS, MICHAEL & MELISSA ANN TE 33 PEARL ST BRIDGEWATER, MA 02324
Parcel Number: 15-18 CAMA Number: 15-18 Property Address: 254 HOPE ST	Mailing Address: ALESSANDRO, CANDACE H. 254 HOPE ST BRISTOL, RI 02809



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200 foot Abutters List Report

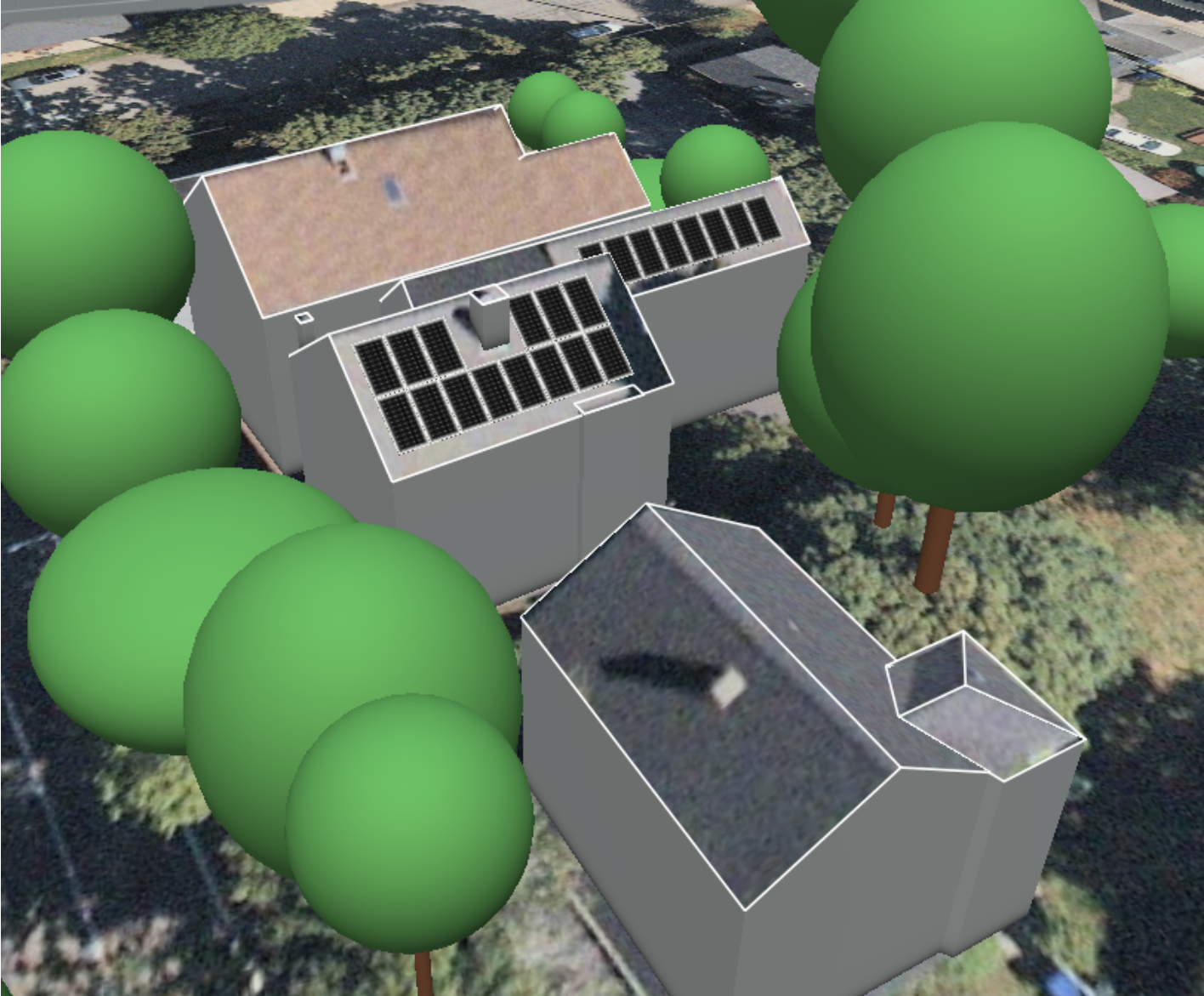
Bristol, RI
December 15, 2023

Parcel Number: 15-19 CAMA Number: 15-19 Property Address: 248 HOPE ST	Mailing Address: MAMBRO, JAMES D & CARYN M TE 248 HOPE ST. BRISTOL, RI 02809
Parcel Number: 15-22 CAMA Number: 15-22 Property Address: 19 PLEASANT ST	Mailing Address: SOUSA, AUGUSTINE P. LE COCHRAN, LORI J. 144 BRADFORD ST BRISTOL, RI 02809
Parcel Number: 15-23 CAMA Number: 15-23 Property Address: 15 PLEASANT ST	Mailing Address: BOWERS, BRENDEN T 15 PLEASANT ST BRISTOL, RI 02809
Parcel Number: 15-24 CAMA Number: 15-24 Property Address: 11 PLEASANT ST	Mailing Address: SPENCE, GERARD BRIAN CARTER & PEARCE-SPENCE, EMILY TRUSTEES- SPENCE & PEARCE-SPENCE TRUST 11 PLEASANT ST BRISTOL, RI 02809
Parcel Number: 15-25 CAMA Number: 15-25 Property Address: 7 PLEASANT ST	Mailing Address: TASSONI, LORETTA TRUSTEE 7 PLEASANT ST BRISTOL, RI 02809
Parcel Number: 15-26 CAMA Number: 15-26 Property Address: 240 HOPE ST	Mailing Address: ANTHONY, STEPHEN B. ANNE M. 240 HOPE STREET BRISTOL, RI 02809
Parcel Number: 15-84 CAMA Number: 15-84 Property Address: 260 HOPE ST	Mailing Address: AMESBURY, CHRISTOFER & NICOLE M TE 15 ANSELMO DR PORTSMOUTH, RI 02871-1519
Parcel Number: 15-97 CAMA Number: 15-97 Property Address: 244 HOPE ST	Mailing Address: ANDERSON, KIM R KAHLA 244 HOPE ST BRISTOL, RI 02809



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RESIDENTIAL SOLAR INSTALLATION CONTRACT

This Residential Solar Installation Contract (this "Contract") is made and entered into on the date set forth below by and between Newport Electric Construction Corp. ("Newport Electric Construction Corp.", "We", "Us" or "Our") whose address is 121 Broadcommon Rd, Bristol, RI 02809 and the customer(s) ("Customer", "You", or "Your") listed below (Newport Electric Construction Corp. and Customer are sometimes individually referred to as a "Party" or collectively as the "Parties").

Customer(s) Installation Address of Customer (the "Property")
Philip Elmer 256 Hope St., Bristol, RI 02809

System Specifications: 22 REC 405 W solarpanels
22 Enphase IQ8+ inverters
Critter Guards
8.91 kW System Size

TOTAL SALE PRICE \$34,913.00
RI REF Grant \$5,000.00
Estimate of Federal Tax Credit* \$8,974.00

SOLAR SYSTEM NET COST** \$20,939.00

Terms of Payment: \$1000.00 with contract signing
\$28,913.00 on start of installation
\$5,000.00 when system passes final electrical inspection, paid by REF Grant

*REF Grant: This Contract is contingent upon approval of the REF grant. If the grant is not approved, you can choose to move forward with other options provided at that time. Timeline is contingent upon grant approval date, controlled by REF.

Timeline: Based on the specifications and conditions set forth in this Contract, we estimate that the commencement of the installation will occur within ninety (90) days of the date hereof and the installation will be substantially completed within one hundred twenty (120) days of the date hereof: (Grant Application Date): October 13, 2023

BY YOUR SIGNATURE BELOW, YOU ACKNOWLEDGE AND AGREE THAT YOU HAVE READ UNDERSTAND AND AGREE TO THIS CONTRACT INCLUDING THE TERMS AND CONDITIONS THAT ARE PART OF THIS CONTRACT.

YOU, THE BUYER, MAY CANCEL THIS TRANSACTION AT ANY TIME PRIOR TO MIDNIGHT OF THE FIFTH BUSINESS DAY AFTER THE DATE OF THIS TRANSACTION. SEE ATTACHED NOTICE OF CANCELLATION FORM FOR AN EXPLANATION OF THIS RIGHT.

DocuSigned by: Philip Elmer 9/16/2023
A70877535CD0443...

DocuSigned by: Dana Goodman 9/20/2023
F0252BE56ED04F6...
Newport Electric Construction Corp. Date

YOU WILL RECEIVE THE FOLLOWING FROM US**1. Contract Inclusions**

Through installation, the following items are included with the photovoltaic solar energy system ("System") and Installation (as defined below) under and pursuant to this Contract:

- a. _22_REC 405 W panels;
- b. _22_ Enphase IQ8+ microinverters;
- c. Critter Guards
- d. Monitoring device and monitoring;
- e. System design and engineering supervised by a North American Board of Certified Energy Practitioners-certified solar installer;
- f. all standard Installation components;
- g. all electrical work supervised by a Master Electrician who is licensed and/or certified under applicable law;
- h. all permitting applications, costs and permit service fees;
- i. permit inspection oversight and scheduling;
- j. assistance with homeowner associations and historic preservation approval processes (if applicable);
- k. utility interconnection application, oversight and meter replacement scheduling;
- l. state and local rebate/grant applications preparation and processing (if applicable);
- m. solar renewable energy credit applications preparation and processing (if applicable);
- n. System remote monitor set-up and training;
- o. System training and orientation; and
- p. Any other inclusions set forth in an addendum to this Contract (if applicable).

2. System Design, Installation and Operational Date

We will install the System at the Property in the areas to be marked on a diagram to be approved by You prior to beginning the Installation (the "System Design"). "Installation" means the process by which the System components are physically attached to the Property. "Operational Date" means the date upon which, pursuant to applicable law, You have received all applicable building and electrical permits or other necessary permits and the System is authorized by the local electric utility to produce electricity.

3. Warranties, Guarantees and Other Options

Upon and after installation, the following items are included as part of Your ongoing relationship with Us.

a. *Newport Electric Construction Corp. Limited Workmanship Warranty*

We warrant that, under normal use and service conditions, the System will be free from defects in workmanship for 10 years following the date of Installation (the "Limited Workmanship Warranty"). If a defect in workmanship is discovered, We will, at no additional cost to You, provide the labor and materials to restore the System to its originally installed state.

The Limited Workmanship Warranty does not cover the following: power outages; damage to the System caused by animals; any Force Majeure Event; damage caused by unforeseeable events; or normal wear and tear of the roof or other site of the System, sub-structure, siding, plumbing or electrical work not related to the System.

The Limited Workmanship Warranty does not cover any problems caused by improper maintenance of the System or any other improper action by any Party other than Us.

No work will be done under the terms of the Limited Workmanship Warranty if You are delinquent in payments under this Contract.

b. *Manufacturers' Warranties*

The System includes a Limited Manufacturer's Warranty on [System panels] Solar Module Performance and Limited Manufacturer's Warranty on [System Inverter] (Your "Manufacturers' Warranties").

c. Newport Electric Construction Corp. Servicing Your Manufacturers' Warranties

We will service Your Manufacturers' Warranties free of charge during the term of the Limited Workmanship Warranty. You authorize Us to act on Your behalf to administer and support Your Manufacturers Warranties.

d. Newport Electric Construction Corp. Roof Warranty

We warrant any damage to Your roof within a five (5) inch radius of roof penetrations caused during Installation for the lesser of the length of the Limited Workmanship Warranty or the length of any existing warranty for Your roof.

Claims under the roof warranty is limited to the remediation and repair of the roof structure and is not intended to cover damage to the roof under normal use and service conditions nor is the roof warranty intended to cover other pre-existing conditions otherwise not detected by you prior to Our installation..

e. Additional Work Authorization

During any warranty, option, or any other maintenance related work, if We find problems in an area that have not been caused by the Installation or if the problems are not an actual problem of the System (e.g. shade or un- authorized alterations to the System), You will be responsible for paying for any new parts and materials, and We reserve the right to charge You a service charge of \$100 per hour with the minimum service charge equal to \$200.

You hereby acknowledge that a decision on Your part to not authorize recommended work by us may void some or all of Your warranties and rights in this contract such as the Limited Workmanship Warranty, Manufacturers' Warranties and the Roof Warranty.

4. Unanticipated Site Conditions

After the execution of this Contract, if We discover site conditions that increase the cost to perform the Installation, at Our choice, (a) We may unilaterally rescind this Contract with no liability to Us whatsoever and We shall issue a full refund of all deposits paid to Us; or (b) if the Parties agree, the total sale price may be renegotiated to reflect the revised cost of the Installation.

YOUR RIGHTS AND RESPONSIBILITIES

5. Customer Obligations

You agree to the following:

- a. pay all amounts when due in accordance with the terms of this Contract;
- b. make available to Us, at Your sole cost and expense, all utilities including electricity to enable Us to perform the Installation;
- c. allow Our representatives to access the Property at all reasonable times prior to the completion of the Installation;
- d. remove and replace appliances, floor coverings, bushes, and any other obstacles, hazards, or breakable items from the areas required to perform the Installation (We are not responsible for replacement of or damage to these items if they are removed by Us);
- e. notify Us immediately upon discovery of an emergency condition relating to the System, damage to the System, or theft of the System;
- f. promptly notify Us if You discover that any component of the System is not producing electricity;
- g. only have the System repaired pursuant to the Limited Workmanship Warranty;
- h. not modify the Property in a way that shades the System;
- i. keep trees and bushes trimmed so that the System receives as much sunlight as it did at Installation;
- j. not do anything, permit or allow to exist any condition or circumstance at the Property which would cause the System not to operate as intended;
- k. permit Us, after providing reasonable notice, to inspect the System for proper operation, and to make any necessary repairs; and
- l. not make any modifications, improvements, revisions or additions to the System without Our prior written consent.

In the event that You fail to comply with the provisions of this Section 5, We reserve the right to void Your Limited Workmanship Warranty.

6. Refund of Deposit

In addition to Your rights to cancel pursuant to the Notice of Cancellation attached to this Contract, prior to the start of the Installation, You may cancel this Contract and receive a refund of any deposit You paid reduced by any expenses actually incurred by Us. Should You cancel this Contract within seven (7) days after being informed by Us of a necessary System Design revision or change to estimated System production, but before the start of Installation, You will be entitled to a full refund of any deposit paid.

7. Contract Transfer by Customer

You may not assign this Contract without Our prior written consent; provided, however, that You may assign this Contract together with the applicable warranties and guarantees to any third-party purchaser of the Property without Our prior written consent so long as (i) You provide notice to Us prior to the effective date of the assignment at the following email address: solar@newportelectric.net and (ii) such third-party expressly agrees to assume all of Your duties and obligations as set forth herein and as may be set forth in any related or other agreement entered into by the Parties in connection with this Contract.

8. Ownership of Property

As of the date of Your execution of this Contract, You represent to Us that you are the owner (beneficially and of record) in fee simple of the Property.

MISCELLANEOUS

9. Insurance

We will carry commercial general liability insurance covering personal injury and property damage caused solely by the work performed under this Contract in an amount not less than \$5,000,000.

10. Payment and NSF Fees

An interest charge of two percent (2%) per month will be charged on any outstanding balance not paid when due as set forth in this Contract. In the event the account is turned over to an attorney for collection, You shall pay interest charges and reasonable attorney's fees to the full extent permitted by applicable state and federal law. You are subject to Non-Sufficient Fund (NSF) fees at the lesser of (i) twenty-five dollars (\$25.00) or (ii) the maximum amount permitted by applicable state and federal law for each check issued by You which is subsequently returned or dishonored for any reason. We are not responsible for notifying You of checks that have not been honored or returned electronic payments. We may report certain terms of this Contract along with Our payment experience with You to local credit bureaus.

11. Payment Default and Remedies

You shall be in default if You fail to pay any amount due under this Contract within thirty (30) days of such payment's applicable due date as set forth in this Contract. In the event of any breach by You of Your payment obligations under this Contract, We may be permitted and You hereby expressly authorize Us to, at Our sole and exclusive option, to access the Property at all reasonable times and disconnect, disable or repossess the System. We may without any prior notice to You, except as required by non-waivable provisions of applicable state and federal law, enforce all rights and seek all remedies available to Us under this Contract or under any law, which rights and remedies include, to the extent permitted by applicable state and federal law, the right to take possession of and remove the System from the Property or any other location. To the maximum extent permitted by applicable state and federal law, You waive all appraisal, valuation, anti-deficiency and redemption laws now or hereafter in effect. We have the right to set off any amount due to You under a SREC Agreement (as defined in Section 7) against any amounts You have not paid Us in accordance with the terms of this Contract.

12. Entire Contract

This Contract cannot be modified or discharged orally unless consent in writing is made by the Parties, and this Contract shall be binding upon the heirs, successors, and assigns of the Parties. This Contract supersedes all agreements previously made between the Parties. There are no other understandings or agreements. If there is an addendum to this Contract, the terms of that addendum supersede any and all contrary terms in this Contract. Any changes to the terms and conditions of this Contract must be approved in writing by a sales manager. Unless otherwise agreed to in writing by Us, the Installation does not include roof repair or replacement; painting, drywall repair, trench digging, engineering and/or main structure reinforcement costs; civil work; electrical panel upgrades; any upgrades to utility-owned equipment required by applicable interconnection standards; or the repair of any pre-existing electrical equipment or code violations required by municipal code, applicable law or inspectors necessary to approve inspection of the System but not directly related to the work performed by Us to install the System or anything else not clearly specified in this Contract.

13. Contract Transfer by Newport Electric Construction Corp.

You agree that We can assign any of Our rights under this Contract without Your consent and that the person to whom We assign this Contract shall be entitled to all of Our rights under this Contract. You understand that Your rights will not be affected by such assignment.

14. Disclosure, No Waiver, Governing Law, Venue and Advertising

You certify that the information furnished to Us is true and correct and authorize Us to obtain from any source of information that We may deem necessary to verify or supplement the information furnished. No delay by Us in enforcing any right hereunder shall be construed as a waiver of that or any other right; nor shall any waiver of any default by Us be construed to extend to any other default by You. A waiver by Us of any right or default shall be effective only if it is in writing. The Parties agree that this Contract shall be governed by and construed and interpreted in accordance with the laws of the jurisdiction in which the Property is located, and any action brought in connection with this Contract shall be brought only in the state and federal courts thereof. We shall have the right to post a sign advertising Newport Electric Construction Corp. on the Property during the performance of the Installation, unless prohibited by community or homeowner association rules or regulations.

15. Force Majeure

Neither Party will be in default of this Contract for any delay or failure in the performance under this Contract if the damage, delay or failure results from any event beyond the non-performing Party's reasonable control (a "Force Majeure Event"). Force Majeure Events includes acts of God such as storms, fires, floods, lightning and earthquakes, war, riot, acts of a public enemy or other civil disturbance, or a strike, walkout, lockout or other significant labor dispute. Force Majeure does not include economic hardship of either Party, a power grid failure (except if caused directly by a Force Majeure event), a failure or delay in the granting of permits, or insufficiency, unavailability, failure, or diminishment of solar resources, except as a result of an event that would otherwise qualify as a Force Majeure Event. Force Majeure Events cannot be attributable to fault or

negligence on the part of the Party claiming Force Majeure and must be caused by things beyond that Party's reasonable control.

16. Community Program

If You are purchasing Your System through a community sponsored program (the "Program"), You agree that Your Community has not made any representations or warranties to You regarding the Program and is not a party to this Contract. Further, You agree that Your Community shall have no liability or obligation to You under this Contract. "Community" means Your local town, city or similar municipality and any non-profit or other organization or association sponsoring and/or organizing the Program including their employees, officers, directors, agents and affiliates.

LIMITATION OF LIABILITY

17. Limitation of Liability

We assume no liability for damage to the following: improperly installed, improperly maintained, defective, old, or deteriorated roof coverings or supports; sub-roof within the serviced area; siding; exterior covering or paint; underground pipes; sewer or drain lines; tanks; or any other non-visible installations. Our liability for any covered damages shall be limited to the Installation area specified in the System Design. TO THE MAXIMUM EXTENT PERMITTED BY APPLICABLE LAW, IN NO EVENT SHALL NEWPORT ELECTRIC CONSTRUCTION CORP., ITS OFFICERS, EMPLOYEES, AFFILIATES, OR ANY CONTRACTOR OR SUBCONTRACTOR BE LIABLE FOR CONSEQUENTIAL, INCIDENTAL, PUNITIVE, EXEMPLARY, SPECIAL OR INDIRECT DAMAGES OR LOSSES OF ANY NATURE WHATSOEVER IN CONNECTION WITH OR RELATING TO THIS CONTRACT IRRESPECTIVE OF WHETHER SUCH DAMAGES ARE REASONABLY FORESEEABLE AND IRRESPECTIVE OF WHETHER SUCH DAMAGES ARISE OUT OF NEGLIGENCE, STRICT LIABILITY, CONTRACT, AGREEMENT, OPERATION OF LAW, OR OTHERWISE. TO THE EXTENT PERMITTED BY APPLICABLE LAW, NEWPORT ELECTRIC CONSTRUCTION CORP.'S TOTAL LIABILITY UNDER THIS CONTRACT, SHALL NOT EXCEED THE TOTAL SALE PRICE. EXCEPT AS OTHERWISE SET FORTH IN THIS CONTRACT, NEWPORT ELECTRIC CONSTRUCTION CORP. MAKES NO WARRANTIES OR GUARANTEES EXPRESS OR IMPLIED, AND NEWPORT ELECTRIC CONSTRUCTION CORP. DISCLAIMS ANY WARRANTY IMPLIED BY LAW, INCLUDING IMPLIED WARRANTIES OF MERCHANTABILITY OR FITNESS, FOR A PARTICULAR PURPOSE AND IMPLIED WARRANTIES OF TITLE, CUSTOM, INFRINGEMENT OR USAGE.

Thank you for choosing Newport Electric Construction Corp.! Should You have any questions or concerns, please contact Our Customer Service Department at solar@newportelectric.net.

NOTICE OF CANCELLATION

(enter date of transaction)

9/16/2023

(Date)

You may CANCEL this transaction, without any Penalty or Obligation, within FIVE BUSINESS DAYS from the above date.

If you cancel, any property traded in, any payments made by you under the contract or sale, and any negotiable instrument executed by you will be returned within TEN BUSINESS DAYS following receipt by the seller of your cancellation notice, and any security interest arising out of the transaction will be cancelled.

If you cancel, you must make available to the seller at your residence, in substantially as good condition as when received, any goods delivered to you under this contract or sale; or you may, if you wish, comply with the instructions of the seller regarding the return shipment of the goods at the seller's expense and risk.

If you do make the goods available to the seller and the seller does not pick them up within 20 days of the date of your Notice of Cancellation, you may retain or dispose of the goods without any further obligation. If you fail to make the goods available to the seller, or if you agree to return the goods to the seller and fail to do so, then you remain liable for performance of all obligations under the contract.

To cancel this transaction, mail or deliver a signed and dated copy of this Cancellation Notice or any other written notice to Newport Electric Construction Corp. 121 Broadcommon Rd, Bristol, RI 02809, NOT LATER THAN MIDNIGHT OF _____

(Date)

I HEREBY CANCEL THIS TRANSACTION.

(Date) _____

(Buyer's signature)_____



CAI Property Card

Town of Bristol, RI

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR
LOCATION: 256 HOPE ST ACRES: 0.1429 PARCEL ID: 15 17 LAND USE CODE: 01 CONDO COMPLEX: OWNER: ELMER, PHILIP W - TRUSTEE CO - OWNER: ELMER INVESTMENT TRUST MAILING ADDRESS: 256 HOPE ST ZONING: R-6 PATRIOT ACCOUNT #: 926	BUILDING STYLE: Restored His UNITS: 1 YEAR BUILT: 1787 FRAME: Wood Frame EXTERIOR WALL COVER: Clapboard ROOF STYLE: Gable ROOF COVER: Asphalt Shin
	BUILDING INTERIOR
SALE INFORMATION SALE DATE: 11/2/2021 BOOK & PAGE: 2142-1 SALE PRICE: 725,100 SALE DESCRIPTION: SELLER: CASTALDI, PAUL B &	INTERIOR WALL: Drywall FLOOR COVER: Hardwood HEAT TYPE: Radiant Hot FUEL TYPE: Gas PERCENT A/C: False # OF ROOMS: 12 # OF BEDROOMS: 5 # OF FULL BATHS: 2 # OF HALF BATHS: 1 # OF ADDITIONAL FIXTURES: 1 # OF KITCHENS: 1 # OF FIREPLACES: 0 # OF METAL FIREPLACES: 0 # OF BASEMENT GARAGES: 0
PRINCIPAL BUILDING AREAS	
GROSS BUILDING AREA: 4223 FINISHED BUILDING AREA: 2220 BASEMENT AREA: 824 # OF PRINCIPAL BUILDINGS: 1	
ASSESSED VALUES	
LAND: \$217,200 YARD: \$300 BUILDING: \$400,600 TOTAL: \$618,100	
SKETCH	PHOTO



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12/15/2023

PHOTOVOLTAIC ROOF MOUNT SYSTEM

22 MODULES-ROOF MOUNTED - 8.910 KW DC, 6.380 KW AC, 256 HOPE ST, BRISTOL, RI 02809

Item 4.



NEC SOLAR
121 BROADCOMMON RD.
BRISTOL, RI 02809,
PH#: (401) 644-5692
RI AC4585
MA A20803

PHOTOVOLTAIC SYSTEM SPECIFICATIONS:

SYSTEM SIZE: 8.910 KW DC
6.380 KW AC
MODULE TYPE & AMOUNT: (22) REC405AA PURE BLACK 405W
MODULE DIMENSIONS: (L/W/H) 71.7"/40"/1.2"
INVERTER: (22) ENPHASE IQ8PLUS-72-2-US [240V]
INTERCONNECTION METHOD: LOAD SIDE TAP

GOVERNING CODES

- ADOPTED CONSTRUCTION CODES
- 2018 INTERNATIONAL BUILDING CODE, IBC
 - 2018 INTERNATIONAL RESIDENTIAL CODE, IRC
 - 2020 NATIONAL ELECTRIC CODE

GENERAL NOTES:

- INSTALLATION OF SOLAR PHOTOVOLTAIC SYSTEM SHALL BE IN ACCORDANCE WITH NEC ARTICLE 690, AND ALL OTHER APPLICABLE NEC CODES WHERE NOTED OR EXISTING.
- PROPER ACCESS AND WORKING CLEARANCE AROUND EXISTING AND PROPOSED ELECTRICAL EQUIPMENT WILL COMPLY WITH NEC ARTICLE 110.
- ALL CONDUCTORS, INCLUDING THE GROUNDING ELECTRODE CONDUCTOR SHALL BE PROTECTED FROM PHYSICAL DAMAGE IN ACCORDANCE WITH NEC ARTICLE 250.
- THE PV MODULES ARE CONSIDERED NON-COMBUSTIBLE; THIS SYSTEM IS UTILITY INTERACTIVE PER UL 1741 AND DOES NOT INCLUDE STORAGE BATTERIES OR OTHER ALTERNATIVE STORAGE SOURCES.
- ALL DC WIRES SHALL BE SIZED ACCORDING TO [NEC 690.8]
- DC CONDUCTORS SHALL BE WITHIN PROTECTED RACEWAYS IN ACCORDANCE WITH [NEC 690.31]
- ALL SIGNAGE TO BE PLACED IN ACCORDANCE WITH LOCAL JURISDICTIONAL BUILDING CODE.
- PV MODULES TO BE RATED UL 1703 CLASS C FIRE RATING OR BETTER.
- ALL EQUIPMENT TO BE CERTIFIED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.

SHEET INDEX:

PV 0.0: COVER SHEET
PV 1.0: SITE PLAN
S 1.1: MOUNT DETAILS & ROOF SECTION
E 1.1: 3-LINE DIAGRAM
E 1.2: NOTES
E 1.3: WARNING LABELS
DS+: EQUIPMENT SPEC SHEET

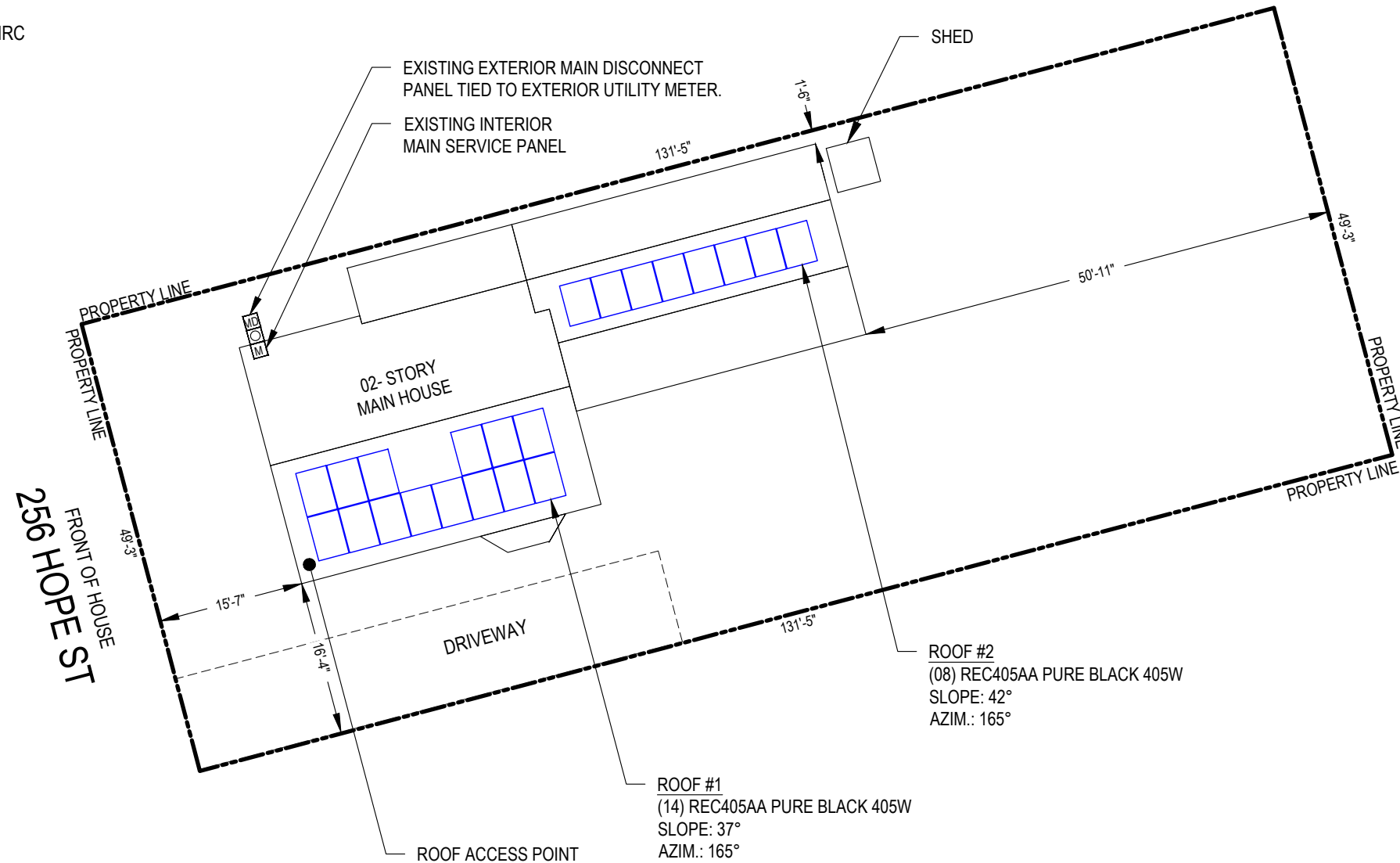
REVISIONS

Description	Date	Rev
Revision	11/8/2023	01

Signature with Seal

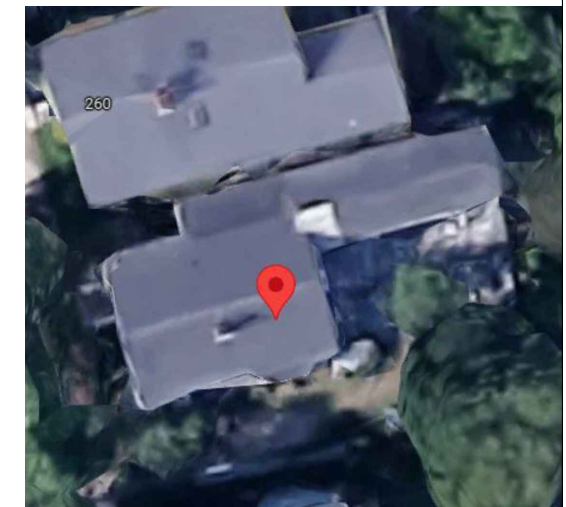
Project Name & Address

PHILIP ELMER RESIDENCE
256 HOPE ST,
BRISTOL, RI 02809
APN NO.: BRISM15L17



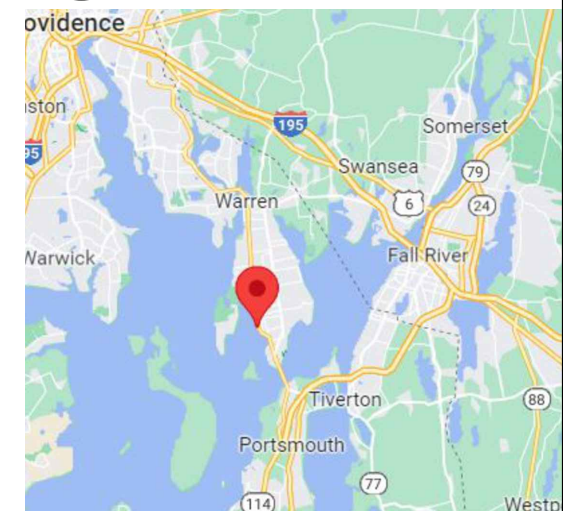
ROOF ACCESS POINT

ROOF ACCESS POINT SHALL NOT BE LOCATED IN AREAS THAT REQUIRE THE PLACEMENT OF GROUND LADDERS OVER OPENINGS SUCH AS WINDOWS OR DOORS, AND LOCATED AT STRONG POINTS OF BUILDING CONSTRUCTION IN LOCATIONS WHERE THE ACCESS POINT DOES NOT CONFLICT WITH OVERHEAD OBSTRUCTIONS SUCH AS TREE LIMBS, WIRES OR SIGNS.



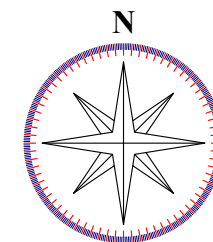
2 SATELLITE VIEW

PV 0.0 SCALE: NTS



3 VICINITY MAP

PV 0.0 SCALE: NTS



1 PLOT PLAN

PV 0.0 SCALE: 1/16" = 1'

Sheet Name

COVER SHEET

Sheet Size

ANSI B
11" X 17"

Sheet Number

PV 0.0

Drawn By

PremiumCAD



NEC SOLAR
121 BROADCOMMON RD.
BRISTOL, RI 02809,
PH#: (401) 644-5692
RI AC4585
MA A20803

PHOTOVOLTAIC SYSTEM SPECIFICATIONS:

SYSTEM SIZE: 8.91 kW DC
6.38 kW AC
MODULE TYPE & AMOUNT: (22) REC405AA PURE BLACK 405W
MODULE DIMENSIONS: (L/W/H) 71.7"/40"/1.2"
INVERTER: (22) ENPHASE IQ8PLUS-72-2-US [240V]

VISIBLE, LOCKABLE, LABELED DISCONNECT WITHIN 10' OF UTILITY METER

BILL OF MATERIALS		
NUMBER OF MODULES	22	REC405AA PURE BLACK 405W
NUMBER OF MICROINVERTER	22	ENPHASE IQ8PLUS-72-2-US [240V]
COMBINER PANEL	1	125A ENPHASE IQ COMBINER 4/4C X-IQ-AM1-240-4/4C, 240V
AC DISCONNECT	1	60A FUSIBLE AC DISCONNECT, 40A FUSES, 240V
NUMBER OF ATTACHMENTS	56	SNAPNRACK COMPOSITION L-FOOT KIT
RAILS	11	SNAPNRACK ULTRA RAIL 40 RACKING -168" SECTION
RAIL SPLICE	4	SPLICE KIT
MID CLAMPS	36	MID CLAMPS / UFO
END CLAMPS	16	END CLAMPS / STOPPER SLEEVE
GROUNDING LUG	4	GROUNDING LUG

SYSTEM LEGEND

- MD** EXISTING INTERIOR MAIN DISCONNECT PANEL & POINT OF INTERCONNECTION. TIED TO EXTERIOR UTILITY METER
- M** EXISTING INTERIOR MAIN SERVICE PANEL
- AC** NEW VISIBLE, LOCKABLE, LABELED DISCONNECT LOCATED WITHIN 10' FROM THE UTILITY METER
- C** NEW DEDICATED PV SYSTEM COMBINER PANEL.
- 22 NEW REC405AA PURE BLACK 405W MODULES WITH NEW 22 - ENPHASE IQ8PLUS-72-2-US [240V] INVERTERS, MOUNTED ON THE BACK OF EACH MODULES.
- = FIRE PATHWAY
- = ROOF OBSTRUCTIONS
- = ATTACHMENT POINTS
- = RAFTER
- = RACKING SYSTEM
- = ATTIC RUN
- = CONDUIT ROOF TOP JUNCTION BOX

REVISIONS

Description	Date	Rev
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ROOF SECTIONS

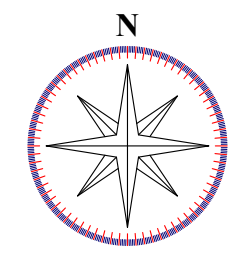
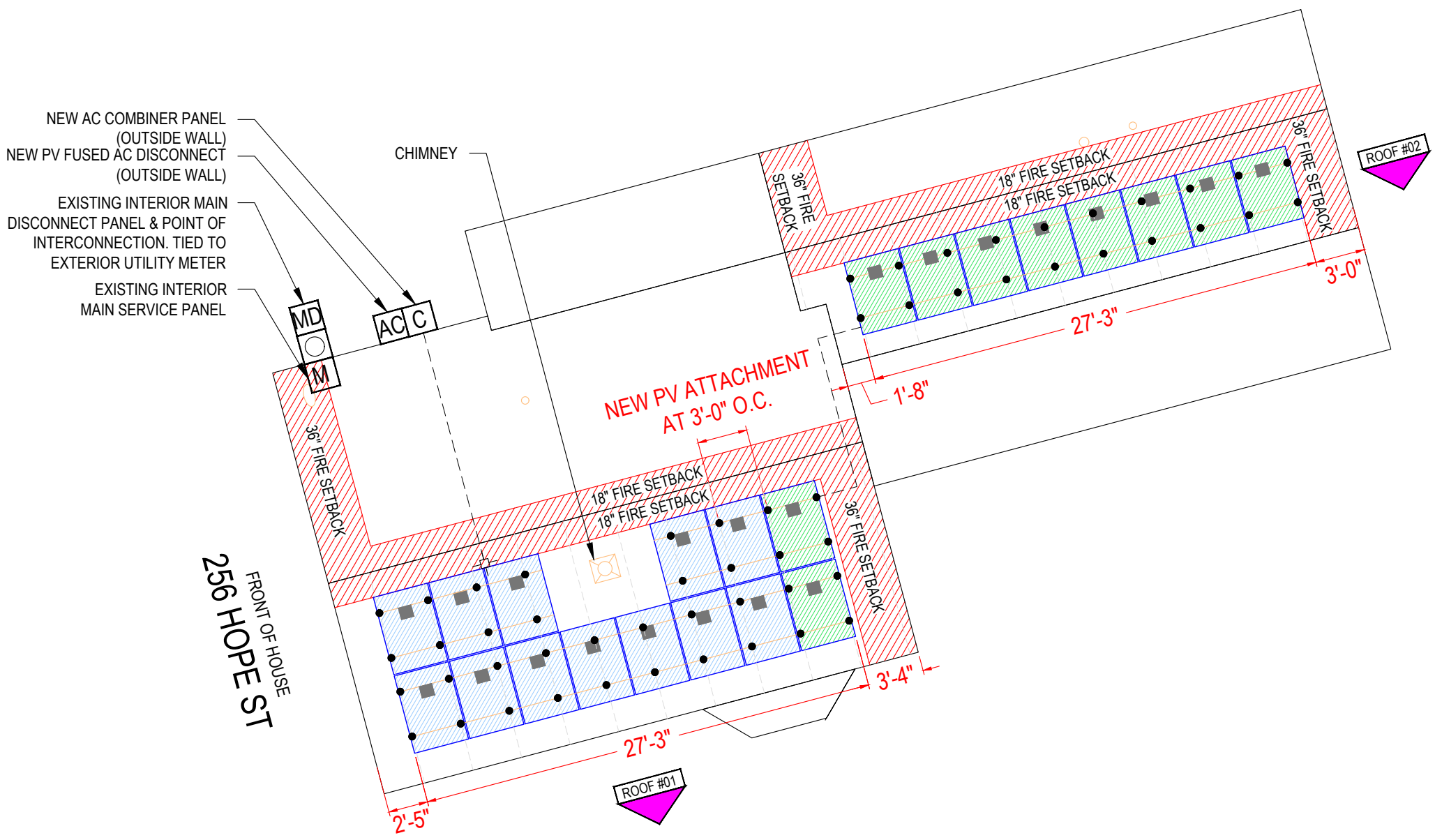
- ROOF #01** MODULE - 14
SLOPE - 37°
AZIMUTH - 165°
MATERIAL - COMP. SHINGLE
RAFTER SIZE & SPACING -3-1/2"x4" @ 36" O.C.
- ROOF #02** MODULE - 08
SLOPE - 42°
AZIMUTH - 165°
MATERIAL - COMP. SHINGLE
RAFTER SIZE & SPACING -3-1/2"x4" @ 36" O.C.

CIRCUIT(S)

- CIRCUIT #1 - 11 MODULES
- CIRCUIT #2 - 11 MODULES

MODULE, ARRAY WEIGHT (LOAD CALC'S)

Number of Modules	22	
Module Weight	45	LBS
Total Module (Array) Weight	990.00	LBS
Number of Attachment point	56	
Mounting System Weight	1.5	LBS
<i>(Per Module)</i>		
Mounting System Weight	84.00	LBS
Total System Weight	1074.00	LBS
<i>(Module Weight + Mounting System Weight)</i>		
Weight at Each Attachment Point	17.68	LBS
<i>(Array Weight / Number of Attachment Point)</i>		
Module Area (71.7"x40")	19.92	SqFt
Total Array Area	438.17	SqFt
Distributed Load	2.33	Per SqFt
<i>(Total System Weight / Total Array Area)</i>		
Total Roof Area	1684	SqFt
Total Percentage or Roof Covered	26.02%	
<i>(Total Array Area / Total Roof Area)*100</i>		





NEC SOLAR
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Sheet Name
MOUNT DETAILS & ROOF SECTION

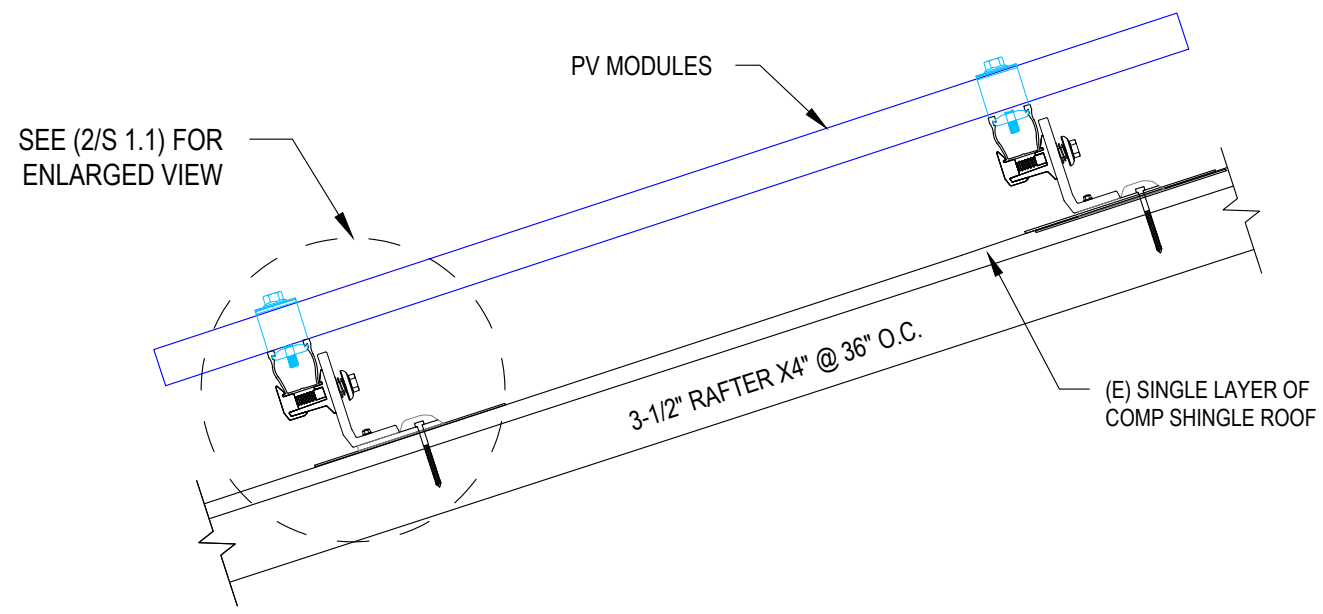
Sheet Size
**ANSI B
 11" X 17"**

Sheet Number
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GENERAL STRUCTURAL NOTES:

1. THE SOLAR PANELS ARE TO BE MOUNTED TO THE ROOF FRAMING USING THE SNAPRACK RACKING SYSTEM WITH SNAPRACK ULTRAFOOT ASSEMBLY. THE MOUNTING FEET ARE TO BE SPACED AS SHOWN IN THE DETAILS, AND MUST BE STAGGERED TO ADJACENT FRAMING MEMBERS TO SPREAD OUT THE ADDITIONAL LOAD.
2. UNLESS NOTED OTHERWISE, MOUNTING ANCHORS SHALL BE 5/16" LAG SCREWS WITH A MINIMUM OF 2-1/2" PENETRATION INTO ROOF FRAMING.
3. THE PROPOSED PV SYSTEM ADDS 2.6 PSF TO THE ROOF FRAMING SYSTEM.
4. ROOF LIVE LOAD = 20 PSF TYPICAL, 0 PSF UNDER NEW PV SYSTEM.
5. GROUND SNOW LOAD = 30 PSF
6. WIND SPEED = 137 MPH
7. EXPOSURE CATEGORY = B
8. RISK CATEGORY = II

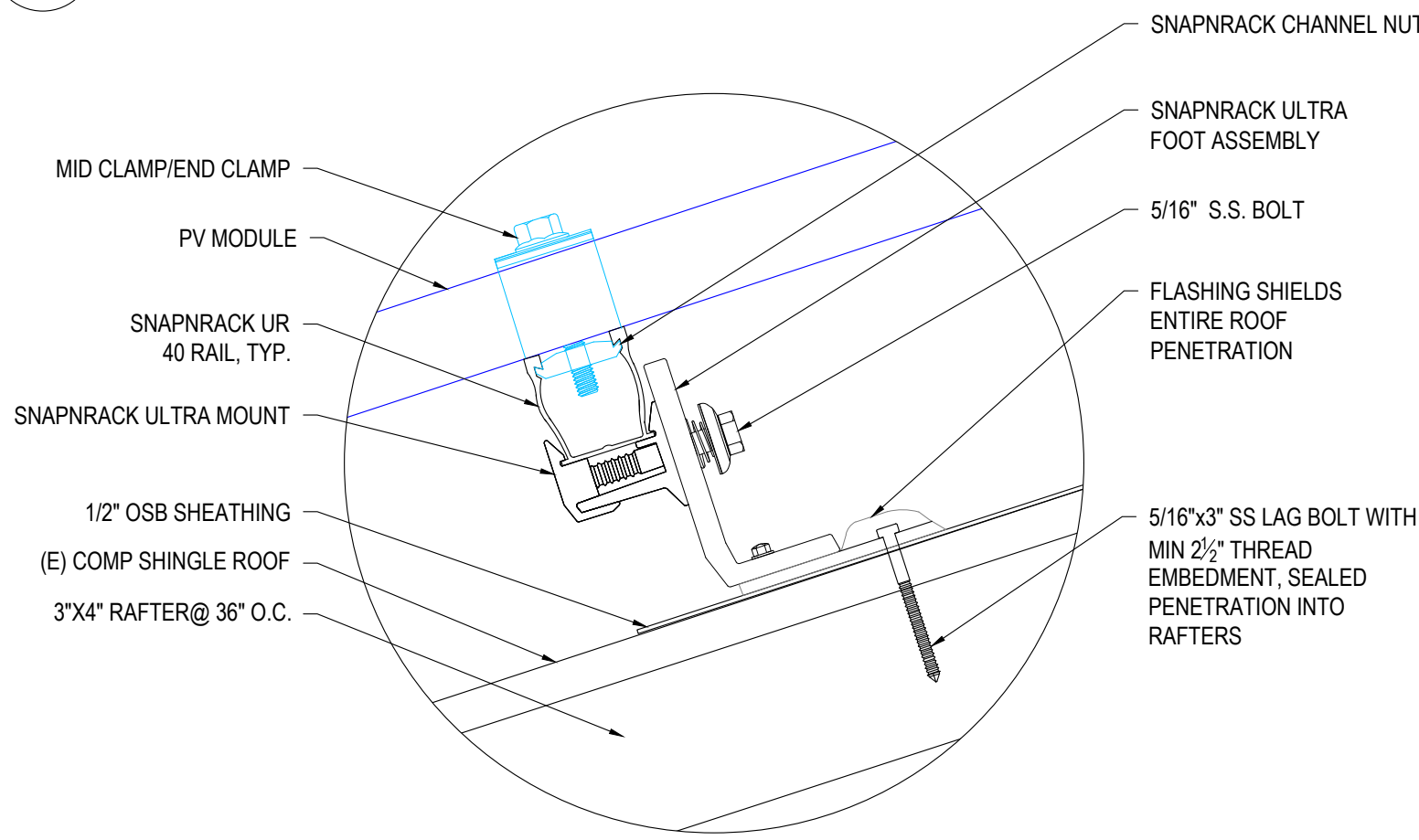


SEE (2/S 1.1) FOR ENLARGED VIEW

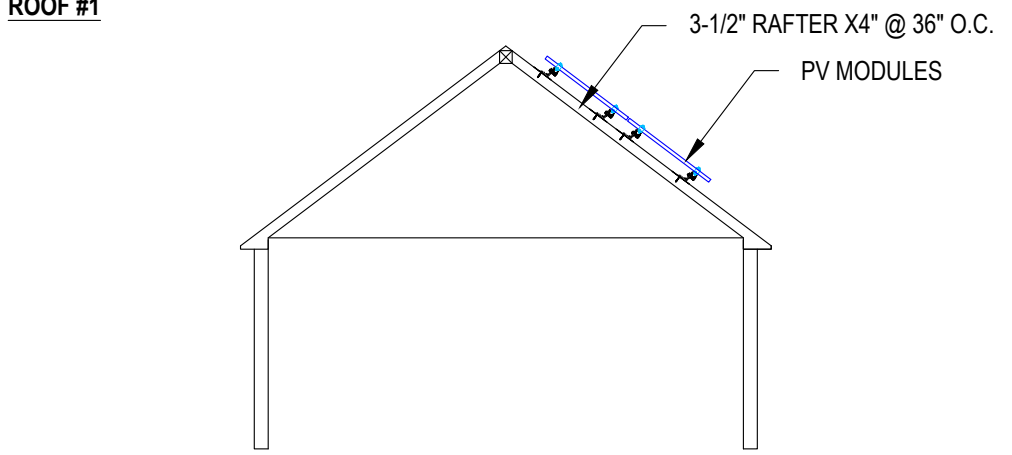
1 ATTACHMENT DETAIL (SIDE VIEW)

S 1.1

SCALE: NTS



ROOF #1

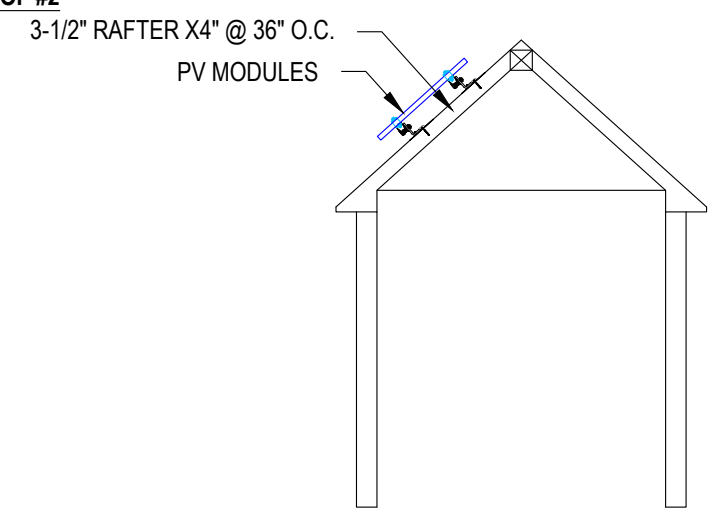


1 ROOF SECTION #1

S 1.1

SCALE: NTS

ROOF #2



2 ROOF SECTION #2


S 1.1

SCALE: NTS

2 ATTACHMENT DETAIL (ENLARGED VIEW)

S 1.1

SCALE: NTS



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Sheet Name
**3-LINE
DIAGRAM**

Sheet Size
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Sheet Number
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Rooftop conductor ampacities designed in compliance with art. 690.8, Tables 310.15(B)(2)(a), 310.15(B)(3)(a), 310.15(B)(3)(c), 310.15(B)(16), Chapter 9 Table 4, 5, & 9. Location specific temperature obtained from ASHRAE 2017 data tables

RECORD LOW TEMP	-17°
AMBIENT TEMP (HIGH TEMP 2%)	32°C
CONDUIT HEIGHT	0.5"
ROOF TOP TEMP	54°C
CONDUCTOR TEMPERATURE RATE	90°C

VISIBLE, LOCKABLE, LABELED DISCONNECT WITHIN 10' OF UTILITY METER

ENPHASE Q CABLE TO BE ATTACHED TO RAIL MIN. 3-1/2" ABOVE ROOF SURFACE

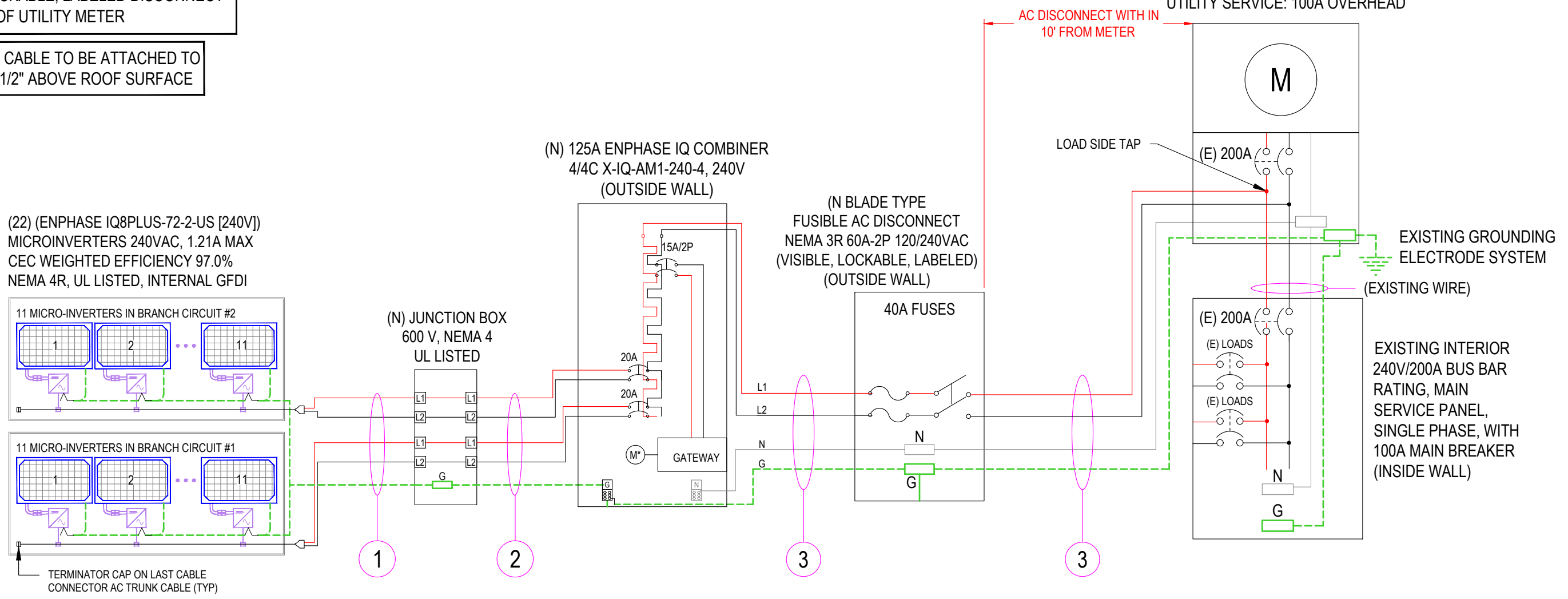
PV MODULE RATING @ STC	
MANUFACTURER	REC405AA PURE BLACK 405W
MAX. POWER-POINT CURRENT (IMP)	9.56 AMPS
MAX. POWER-POINT VOLTAGE (VMP)	42.4 VOLTS
OPEN-CIRCUIT VOLTAGE (VOC)	48.9 VOLTS
SHORT-CIRCUIT CURRENT (ISC)	10.14 AMPS
NOM. MAX. POWER AT STC (P _{MAX})	405 WATT
MAX. SYSTEM VOLTAGE	1000V
VOC TEMPERATURE COEFFICIENT	-0.24 %/°C

MODULE: (22) REC405AA PURE BLACK 405W
INVERTER: (22) ENPHASE IQ8PLUS-72-2-US [240V]

INVERTER SPECIFICATIONS	
MANUFACTURER	ENPHASE IQ8PLUS-72-2-US [240V]
MAX. DC VOLT RATING	60 VOLTS
MAX. POWER AT 40 C	290 WATTS
NOMINAL AC VOLTAGE	240 VOLTS
MAX. AC CURRENT	1.21 AMPS
MAX. OCPD RATING	20 AMPS
MAX. PANELS/CIRCUIT	13
SHORT CIRCUIT CURRENT	15 AMPS

THIS PANEL IS FED BY MULTIPLE SOURCES (UTILITY AND SOLAR)	
AC OUTPUT CURRENT	26.62A
NOMINAL AC VOLTAGE	240V

POINT OF INTERCONNECTION, LOAD SIDE TAP EXISTING EXTERIOR 240V/200A RATING, METER MAIN COMBO PANEL, SINGLE PHASE, WITH A 200A MAIN BREAKER
UTILITY COMPANY - 05660098
UTILITY SERVICE: 100A OVERHEAD



WIRE TAG #	WIRE FROM --	CONDUIT	WIRE QTY	WIRE GAUGE:	WIRE RATING	TEMP RATING:	WIRE AMP	TEMP DE-RATE:	CONDUIT FILL:	WIRE OCP:	INVERTER QTY:	NOC:	NEC:	STRING AMPS	GRND SIZE	GRND WIRE TYPE
①	ARRAY TO JUNCTION BOX	TRUNK CABLE	4	#12	THWN-2	90°	30A	x 0.96	x N/A	= 28.80A	11	x 1.21A	x 1.25	= 16.64A	#8	SBC
②	JUNCTION BOX TO COMBINER PANEL	1" PVC SCH 80	4	#10	THHN	90°	40A	x 0.76	x 0.80	= 24.32A	11	x 1.21A	x 1.25	= 16.64A	#8	THHN
③	COMBINER PANEL TO ACD	1" PVC SCH 80	3	#8	THHN	75°	50A	x 0.94	x 1.00	= 47.00A	22	x 1.21A	x 1.25	= 33.28A	#8	THHN
④	ACD TO MSP	1" PVC SCH 80	3	#6	THHN	75°	67A	x 0.94	x 1.00	= 61.10A	22	x 1.21A	x 1.25	= 33.28A	#8	THHN



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NOTES

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SITE NOTES:

1. A LADDER WILL BE IN PLACE FOR INSPECTION IN COMPLIANCE WITH OSHA REGULATIONS.
2. THE PV MODULES ARE CONSIDERED NON-COMBUSTIBLE AND THIS SYSTEM IS A UTILITY INTERACTIVE SYSTEM WITH NO STORAGE BATTERIES.
3. THE SOLAR PV INSTALLATION WILL NOT OBSTRUCT ANY PLUMBING, MECHANICAL, OR BUILDING ROOF VENTS.
4. PROPER ACCESS AND WORKING CLEARANCE AROUND EXISTING AND PROPOSED ELECTRICAL EQUIPMENT WILL BE PROVIDED AS PER SECTION NEC 110.26.
5. ROOF COVERINGS SHALL BE DESIGNED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH THIS CODE AND THE APPROVED MANUFACTURER'S INSTRUCTIONS SUCH THAT THE ROOF COVERING SERVES TO PROTECT THE BUILDING OR STRUCTURE.

EQUIPMENT LOCATIONS:

1. ALL EQUIPMENT SHALL MEET MINIMUM SETBACKS AS REQUIRED BY NEC 110.26.
2. WIRING SYSTEMS INSTALLED IN DIRECT SUNLIGHT MUST BE RATED FOR EXPECTED OPERATING TEMPERATURE AS SPECIFIED BY NEC 690.31 (A),(C) AND NEC TABLES 310.15 (B)(2)(A) AND 310.15 (B)(3)(C).
3. JUNCTION AND PULL BOXES PERMITTED INSTALLED UNDER PV MODULES ACCORDING TO NEC 690.34.
4. ADDITIONAL AC DISCONNECT(S) SHALL BE PROVIDED WHERE THE INVERTER IS NOT WITHIN SIGHT OF THE AC SERVICING DISCONNECT. 2.2.6 ALL EQUIPMENT SHALL BE INSTALLED ACCESSIBLE TO QUALIFIED PERSONNEL ACCORDING TO NEC APPLICABLE CODES.
5. ALL COMPONENTS ARE LISTED FOR THEIR PURPOSE AND RATED FOR OUTDOOR USAGE WHEN APPROPRIATE.

STRUCTURAL NOTES:

1. RACKING SYSTEM & PV ARRAY WILL BE INSTALLED ACCORDING TO CODE-COMPLIANT INSTALLATION MANUAL. TOP CLAMPS REQUIRE A DESIGNATED SPACE BETWEEN MODULES, AND RAILS MUST ALSO EXTEND A MINIMUM DISTANCE BEYOND EITHER EDGE OF THE ARRAY/SUBARRAY, ACCORDING TO RAI MANUFACTURER'S INSTRUCTIONS.
2. JUNCTION BOX WILL BE INSTALLED PER MANUFACTURERS' SPECIFICATIONS. IF ROOF-PENETRATING TYPE, IT SHALL BE FLASHED & SEALED PER LOCAL REQUIREMENTS.
3. ROOFTOP PENETRATIONS FOR PV RACEWAY WILL BE COMPLETED AND SEALED W/ APPROVED CHEMICAL SEALANT PER CODE BY A LICENSED CONTRACTOR.
4. ALL PV RELATED ROOF ATTACHMENTS TO BE SPACED NO GREATER THAN THE SPAN DISTANCE SPECIFIED BY THE RACKING MANUFACTURER. 2.3.6 WHEN POSSIBLE, ALL PV RELATED RACKING ATTACHMENTS WILL BE STAGGERED AMONGST THE ROOF FRAMING MEMBERS.

WIRING & CONDUIT NOTES:

1. ALL CONDUIT AND WIRE WILL BE LISTED AND APPROVED FOR THEIR PURPOSE. CONDUIT AND WIRE SPECIFICATIONS ARE BASED ON MINIMUM CODE REQUIREMENTS AND ARE NOT MEANT TO LIMIT UP-SIZING.
2. CONDUCTORS SIZED ACCORDING TO NEC 690.8, NEC 690.7.
3. VOLTAGE DROP LIMITED TO 1.5%.
4. DC WIRING LIMITED TO MODULE FOOTPRINT. MICROINVERTER WIRING SYSTEMS SHALL BE LOCATED AND SECURED UNDER THE ARRAY W/ SUITABLE WIRING CLIPS.
5. AC CONDUCTORS COLORED OR MARKED AS FOLLOWS: PHASE A OR L1- BLACK PHASE B OR L2- RED, OR OTHER CONVENTION IF THREE PHASE PHASE C OR L3- BLUE, YELLOW, ORANGE**, OR OTHER CONVENTION NEUTRAL- WHITE OR GREY IN 4-WIRE DELTA CONNECTED SYSTEMS THE PHASE WITH HIGHER VOLTAGE TO BE MARKED ORANGE [NEC 110.15].

GROUNDING NOTES:

1. GROUNDING SYSTEM COMPONENTS SHALL BE LISTED FOR THEIR PURPOSE, AND GROUNDING DEVICES EXPOSED TO THE ELEMENTS SHALL BE RATED FOR SUCH USE.
2. PV EQUIPMENT SHALL BE GROUNDED ACCORDING TO NEC 690.43 AND MINIMUM NEC TABLE 250.122.
3. METAL PARTS OF MODULE FRAMES, MODULE RACKING, AND ENCLOSURES CONSIDERED GROUNDED IN ACCORD WITH 250.134 AND 250.136(A).
4. EQUIPMENT GROUNDING CONDUCTORS SHALL BE SIZED ACCORDING TO NEC 690.45 AND MICROINVERTER MANUFACTURERS' INSTRUCTIONS.
5. EACH MODULE WILL BE GROUNDED USING WEEB GROUNDING CLIPS AS SHOWN IN MANUFACTURER DOCUMENTATION AND APPROVED BY THE AHJ. IF WEEBS ARE NOT USED, MODULE GROUNDING LUGS MUST BE INSTALLED AT THE SPECIFIED GROUNDING LUG HOLES PER THE MANUFACTURERS' INSTALLATION REQUIREMENTS.
6. THE GROUNDING CONNECTION TO A MODULE SHALL BE ARRANGED SUCH THAT THE REMOVAL OF A MODULE DOES NOT INTERRUPT A GROUNDING CONDUCTOR TO ANOTHER MODULE.
7. GROUNDING AND BONDING CONDUCTORS, IF INSULATED, SHALL BE COLORED GREEN OR MARKED GREEN IF #4 AWG OR LARGER [NEC 250.119]
8. THE GROUNDING ELECTRODE SYSTEM COMPLIES WITH NEC 690.47 AND NEC 250.50 THROUGH 250.106. IF EXISTING SYSTEM IS INACCESSIBLE, OR INADEQUATE, A GROUNDING ELECTRODE SYSTEM PROVIDED ACCORDING TO NEC 250, NEC 690.47 AND AHJ.
9. GROUND-FAULT DETECTION SHALL COMPLY WITH NEC 690.41(B)(1) AND (2) TO REDUCE FIRE HAZARDS

DISCONNECTION AND OVER-CURRENT PROTECTION NOTES:

1. DISCONNECTING SWITCHES SHALL BE WIRED SUCH THAT WHEN THE SWITCH IS OPENED THE CONDUCTORS REMAINING ENERGIZED ARE RECONNECTED TO THE TERMINALS MARKED "LINE SIDE" (TYPICALLY THE UPPER TERMINALS).
2. DISCONNECTS TO BE ACCESSIBLE TO QUALIFIED UTILITY PERSONNEL, BE LOCKABLE, AND BE A VISIBLE-BREAK SWITCH
3. PV SYSTEM CIRCUITS INSTALLED ON OR IN BUILDINGS SHALL INCLUDE A RAPID SHUTDOWN FUNCTION TO REDUCE SHOCK HAZARD FOR EMERGENCY RESPONDERS IN ACCORDANCE WITH 690.12(A) THROUGH (D).
4. ALL OCPD RATINGS AND TYPES SPECIFIED ACCORDING TO NEC 690.8, 690.9, AND 240.
5. MICROINVERTER BRANCHES CONNECTED TO A SINGLE BREAKER OR GROUPED FUSES IN ACCORDANCE WITH NEC 110.3(B).
6. IF REQUIRED BY AHJ, SYSTEM WILL INCLUDE ARC-FAULT CIRCUIT PROTECTION ACCORDING TO NEC 690.11 AND UL1699B.

INTERCONNECTION NOTES:

1. LOAD-SIDE INTERCONNECTION SHALL BE IN ACCORDANCE WITH [NEC 705.12 (B)]
2. THE SUM OF THE UTILITY OCPD AND INVERTER CONTINUOUS OUTPUT MAY NOT EXCEED 120% OF BUSBAR RATING [NEC 705.12(D)(2)(3)].
3. THE SUM OF 125 PERCENT OF THE POWER SOURCE(S) OUTPUT CIRCUIT CURRENT AND THE RATING OF THE OVERCURRENT DEVICE PROTECTING THE BUSBAR SHALL NOT EXCEED 120 PERCENT OF THE AMPACITY OF THE BUSBAR, PV DEDICATED BACKFEED BREAKERS MUST BE LOCATED OPPOSITE END OF THE BUS FROM THE UTILITY SOURCE OCPD [NEC 705.12(B)(2)(3)].
4. AT MULTIPLE ELECTRIC POWER SOURCES OUTPUT COMBINER PANEL, TOTAL RATING OF ALL OVERCURRENT DEVICES SHALL NOT EXCEED AMPACITY OF BUSBAR. HOWEVER, THE COMBINED OVERCURRENT DEVICE MAY BE EXCLUDED ACCORDING TO NEC 705.12 (B)(2)(3)(C).
5. FEEDER TAP INTERCONNECTION (LOADSIDE) ACCORDING TO NEC 705.12 (B)(2)(1)
6. SUPPLY SIDE TAP INTERCONNECTION ACCORDING TO NEC 705.12 (A) WITH SERVICE ENTRANCE CONDUCTORS IN ACCORDANCE WITH NEC 230.42 2.7.8 BACKFEEDING BREAKER FOR ELECTRIC POWER SOURCES OUTPUT IS EXEMPT FROM ADDITIONAL FASTENING [NEC 705.12 (B)(5)].



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Sheet Name
WARNING LABELS

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! WARNING
ELECTRICAL SHOCK HAZARD
TERMINALS ON BOTH LINE AND LOAD SIDES MAY BE ENERGIZED IN THE OPEN POSITION

LABEL LOCATION:
WHERE ALL TERMINALS OF THE DISCONNECTING MEANS MAY BE ENERGIZED IN THE OPEN POSITION, A WARNING SIGN SHALL BE MOUNTED ON OR ADJACENT TO THE DISCONNECTING MEANS.
PER CODE(S): NEC 2020:
NEC 706.15(C)(4) and NEC 690.13(B)

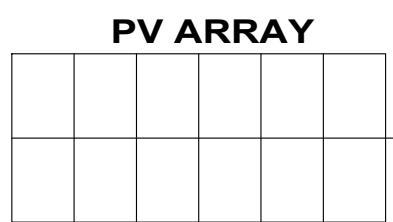
! WARNING
THIS EQUIPMENT FED BY MULTIPLE SOURCES, TOTAL RATING OF ALL OVERCURRENT DEVICES, EXCLUDING MAIN SUPPLY OVERCURRENT DEVICE, SHALL NOT EXCEED AMPACITY OF BUSBAR.

LABEL LOCATION:
PERMANENT WARNING LABELS SHALL BE APPLIED TO DISTRIBUTION EQUIPMENT, AC DISCONNECT
NEC: 2020, PER CODE: 705.12(B)(3)(3)

! WARNING DUAL POWER SOURCE
SECOND SOURCE IS PHOTOVOLTAIC SYSTEM
POINT OF INTERCONNECTION
NEC 705.12(D)(3) & NEC 690.64

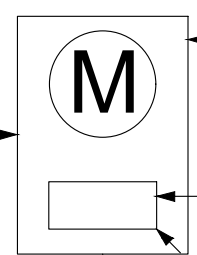
PHOTOVOLTAIC SYSTEM EQUIPPED WITH RAPID SHUTDOWN

LABEL LOCATION:
UTILITY SERVICE ENTRANCE/METER, INVERTER/DC DISCONNECT IF REQUIRED BY LOCAL AHJ, OR OTHER LOCATIONS AS REQUIRED BY LOCAL AHJ.
PER CODE(S): NEC 2020: ARTICLE 690.56(C)



WARNING: PHOTOVOLTAIC POWER SOURCE

LABEL LOCATION:
EXPOSED RACEWAY, CABLE TRAYS, JUNCTION BOX
NEC: 2020, PER CODE: NEC 690.31(D)(2)

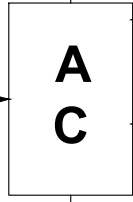


! WARNING
POWER SOURCE OUTPUT CONNECTION. DO NOT RELOCATE THIS OVERCURRENT DEVICE.

LABEL LOCATION:
MAIN SERVICE DISCONNECT
NEC: 2020, 705.12(B)(3)(2)

MAIN PHOTOVOLTAIC SYSTEM DISCONNECT

LABEL LOCATION: MAIN SERVICE DISCONNECT, NEC 2020, 690.13(B)



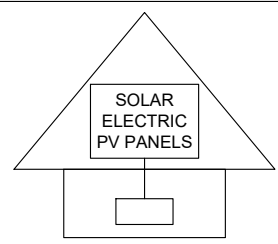
PHOTOVOLTAIC AC DISCONNECT

LABEL LOCATION:
AC DISCONNECT, NEC: 2020, (NEC 690.13(B))



SOLAR PV SYSTEM EQUIPPED WITH RAPID SHUTDOWN

TURN RAPID SHUTDOWN SWITCH TO THE "OFF" POSITION TO SHUTDOWN PV SYSTEM AND REDUCE SHOCK HAZARD IN THE ARRAY



AT INVERTER [IFC 605.11.3.1(1) & 690.56(C)]
PER CODE: NEC 2020

PHOTOVOLTAIC DC DISCONNECT

LABEL LOCATION:
DC DISCONNECT
(NEC 690.13(B))

SOLAR PHOTOVOLTAIC SYSTEMS

(PER CODE: NEC 690)

SOLAR PHOTOVOLTAIC SYSTEMS

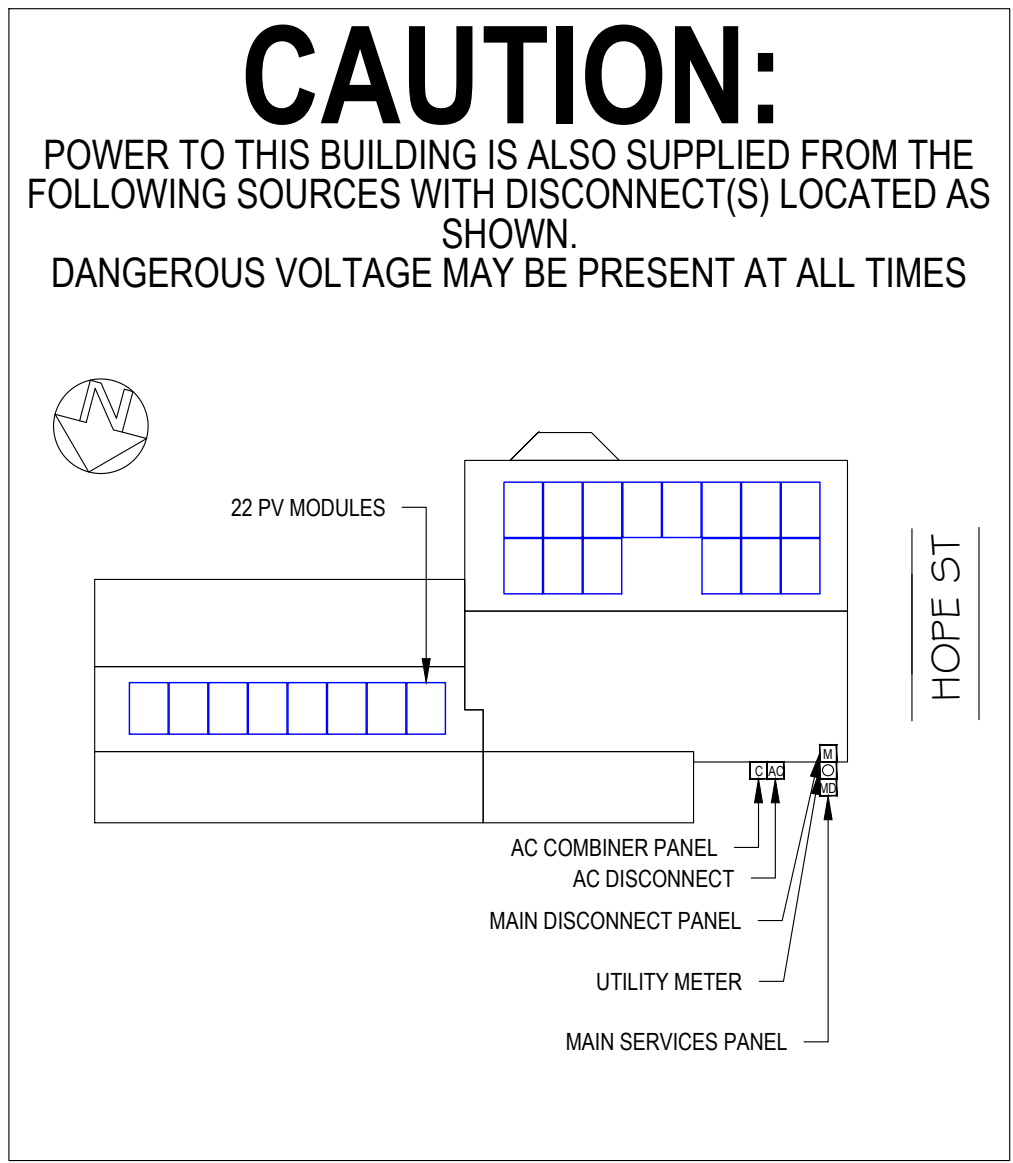
(PER CODE: NEC 690)

! WARNING DUAL POWER SOURCE
SECOND SOURCE IS PHOTOVOLTAIC SYSTEM

LABEL LOCATION:
PRODUCTION / NET METER (BI-DIRECTIONAL)
NEC: 2020
NEC 690.59, 705.12(D)(3)

PHOTOVOLTAIC SYSTEM AC DISCONNECT
RATED AC OPERATING CURRENT 26.62 AMPS
AC NOMINAL OPERATING VOLTAGE 240 VOLTS

LABEL LOCATION:
AC DISCONNECT, POINT OF INTERCONNECTION
NEC: 2020
(PER CODE: NEC 690.54)



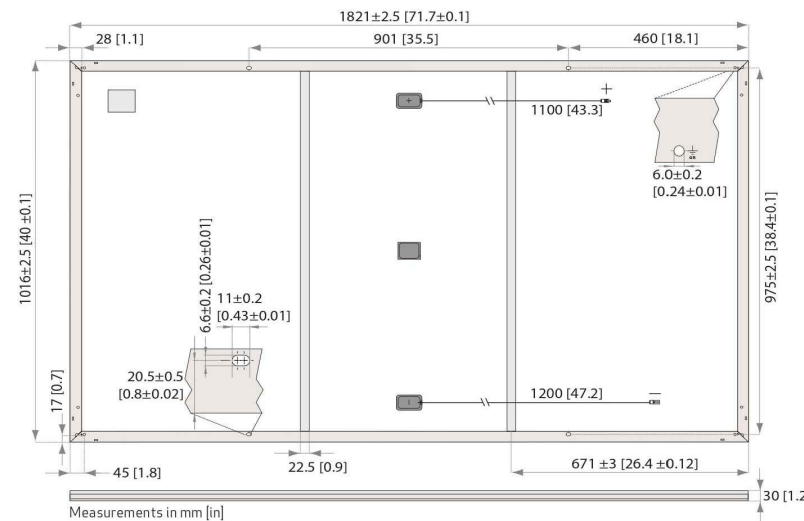


SOLAR'S MOST TRUSTED



REC ALPHA PURE BLACK SERIES > PRODUCT SPECIFICATIONS

PRODUCT SPECIFICATIONS



GENERAL DATA

Cell type:	132 half-cut REC heterojunction cells with lead-free, gapless technology 6 strings of 22 cells in series	Connectors:	Stäubli MC4PV-KBT4/KST4, 12AWG(4mm ²) in accordance with IEC 62852 IP68 only when connected
Glass:	0.13 in (3.2 mm) solar glass with anti-reflection surface treatment	Cable:	12AWG(4mm ²) PV wire, 43+47 in (11+1.2m) accordance with EN 50618
Backsheet:	Highly resistant polymer (black)	Dimensions:	71.7 x 40 x 1.2 in (1821 x 1016 x 30 mm)
Frame:	Anodized aluminum (black)	Weight:	45 lbs (20.5 kg)
Junction box:	3-part, 3 bypass diodes, IP67 rated in accordance with IEC 62790	Origin:	Made in Singapore

ELECTRICAL DATA

	Product Code*: RECxxxAA Pure Black				
Power Output - P _{MAX} (Wp)	385	390	395	400	405
Watt Class Sorting - (W)	0/+5	0/+5	0/+5	0/+5	0/+5
Nominal Power Voltage - V _{MPP} (V)	41.2	41.5	41.8	42.1	42.4
Nominal Power Current - I _{MPP} (A)	9.35	9.40	9.45	9.51	9.56
Open Circuit Voltage - V _{OC} (V)	48.5	48.6	48.7	48.8	48.9
Short Circuit Current - I _{SC} (A)	9.99	10.03	10.07	10.10	10.14
Power Density (W/sq ft)	19.3	19.6	19.8	20.1	20.3
Panel Efficiency (%)	20.8	21.1	21.3	21.6	21.9
Power Output - P _{MAX} (Wp)	293	297	301	305	309
Nominal Power Voltage - V _{MPP} (V)	38.8	39.1	39.4	39.7	40.0
Nominal Power Current - I _{MPP} (A)	7.55	7.59	7.63	7.68	7.72
Open Circuit Voltage - V _{OC} (V)	45.7	45.8	45.9	46.0	46.1
Short Circuit Current - I _{SC} (A)	8.07	8.10	8.13	8.16	8.19

Values at standard test conditions (STC: air mass AM1.5, irradiance 10.75 W/sq ft (1000 W/m²), temperature 77°F (25°C), based on a production spread with a tolerance of P_{MAX}, V_{OC} & I_{SC} ±3% within one watt class. Nominal module operating temperature (NMOT: air mass AM1.5, irradiance 800 W/m², temperature 68°F (20°C), windspeed 3.3 ft/s (1 m/s). *Where xxx indicates the nominal power class (P_{MAX}) at STC above.

CERTIFICATIONS

IEC 61215:2016, IEC 61730:2016, UL 61730 (Pending)
ISO 14001:2004, ISO 9001:2015, OHSAS 18001:2007, IEC 62941



WARRANTY

	Standard	REC ProTrust	
Installed by an REC Certified Solar Professional	No	Yes	Yes
System Size	All	≤25 kW	25-500 kW
Product Warranty (yrs)	20	25	25
Power Warranty (yrs)	25	25	25
Labor Warranty (yrs)	0	25	10
Power in Year 1	98%	98%	98%
Annual Degradation	0.25%	0.25%	0.25%
Power in Year 25	92%	92%	92%

See warranty documents for details. Conditions apply

MAXIMUM RATINGS

Operational temperature:	-40 ... +185°F (-40 ... +85°C)
Maximum system voltage:	1000 V
Maximum test load (front):	+7000 Pa (146 lbs/sq ft)*
Maximum test load (rear):	-4000 Pa (83.5 lbs/sq ft)*
Max series fuse rating:	25 A
Max reverse current:	25 A

*See installation manual for mounting instructions.
Design load = Test load / 1.5 (safety factor)

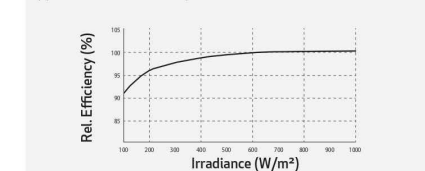
TEMPERATURE RATINGS*

Nominal Module Operating Temperature:	44°C (±2°C)
Temperature coefficient of P _{MAX} :	-0.26%/°C
Temperature coefficient of V _{OC} :	-0.24%/°C
Temperature coefficient of I _{SC} :	0.04%/°C

*The temperature coefficients stated are linear values

LOW LIGHT BEHAVIOUR

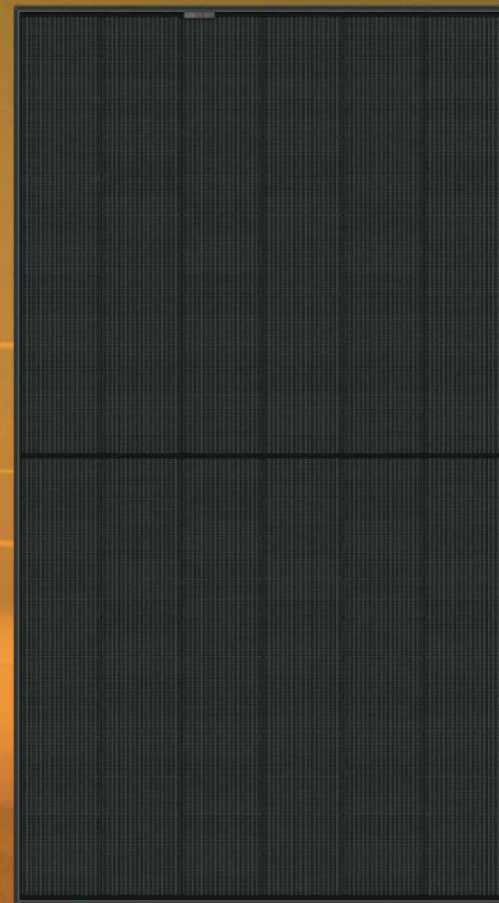
Typical low irradiance performance of module at STC:



Specifications subject to change without notice.

Ref: PM-DS-12-01-Rev-A_03.21

REC ALPHA[®] PURE BLACK SERIES
PRODUCT SPECIFICATIONS



400 WP
20.3 W/FT²



ELIGIBLE



LEAD-FREE
ROHS COMPLIANT

EXPERIENCE



PERFORMANCE



Founded in 1996, REC Group is an international pioneering solar energy company dedicated to empowering consumers with clean, affordable solar power. As Solar's Most Trusted, REC is committed to high quality, innovation, and a low carbon footprint in the solar materials and solar panels it manufactures. Headquartered in Norway with operational headquarters in Singapore, REC also has regional hubs in North America, Europe, and Asia-Pacific.



www.recgroup.com





DATA SHEET



IQ8 and IQ8+ Microinverters

Our newest IQ8 Microinverters are the industry’s first microgrid-forming, software defined microinverters with split-phase power conversion capability to convert DC power to AC power efficiently. The brain of the semiconductor-based microinverter is our proprietary application specific integrated circuit (ASIC) which enables the microinverter to operate in grid-tied or off-grid modes. This chip is built in advanced 55nm technology with high speed digital logic and has superfast response times to changing loads and grid events, alleviating constraints on battery sizing for home energy systems.



Part of the Enphase Energy System, IQ8 Series Microinverters integrate with the IQ Battery, IQ Gateway, and the Enphase App monitoring and analysis software.



IQ8 Series Microinverters redefine reliability standards with more than one million cumulative hours of power-on testing, enabling an industry-leading limited warranty of up to 25 years.



Connect PV modules quickly and easily to IQ8 Series Microinverters using the included Q-DCC-2 adapter cable with plug-n-play MC4 connectors.



IQ8 Series Microinverters are UL listed as PV Rapid Shutdown Equipment and conform with various regulations, when installed according to manufacturer’s instructions.

Easy to install

- Lightweight and compact with plug-n-play connectors
- Power Line Communication (PLC) between components
- Faster installation with simple two-wire cabling

High productivity and reliability

- Produce power even when the grid is down*
- More than one million cumulative hours of testing
- Class II double-insulated enclosure
- Optimized for the latest high-powered PV modules

Microgrid-forming

- Complies with the latest advanced grid support**
- Remote automatic updates for the latest grid requirements
- Configurable to support a wide range of grid profiles
- Meets CA Rule 21 (UL 1741-SA) and IEEE 1547:2018 (UL 1741-SB)

Note:

IQ8 Microinverters cannot be mixed together with previous generations of Enphase microinverters (IQ7 Series, IQ6 Series, etc) in the same system.

IQ8 and IQ8+ Microinverters

INPUT DATA (DC)		IQ8-60-2-US	IQ8PLUS-72-2-US
Commonly used module pairings ¹	W	235 – 350	235 – 440
Module compatibility		60-cell / 120 half-cell	54-cell / 108 half-cell, 60-cell / 120 half-cell, 66-cell / 132 half-cell and 72-cell / 144 half-cell
MPPT voltage range	V	27 – 37	27 – 45
Operating range	V	16 – 48	16 – 58
Min. / Max. start voltage	V	22 / 48	22 / 58
Max. input DC voltage	V	50	60
Max. continuous input DC current	A	10	12
Max. input DC short-circuit current	A		25
Max. module I _{sc}	A		20
Overtoltage class DC port			II
DC port backfeed current	mA		0
PV array configuration		1 x 1 Ungrounded array; No additional DC side protection required; AC side protection requires max 20A per branch circuit	
OUTPUT DATA (AC)		IQ8-60-2-US	IQ8PLUS-72-2-US
Peak output power	VA	245	300
Max. continuous output power	VA	240	290
Nominal (L-L) voltage / range ²	V		240 / 211 – 264
Max. continuous output current	A	1.0	1.21
Nominal frequency	Hz		60
Extended frequency range	Hz		47 – 68
AC short circuit fault current over 3 cycles	Arms		2
Max. units per 20 A (L-L) branch circuit ³		16	13
Total harmonic distortion			<5%
Overtoltage class AC port			III
AC port backfeed current	mA		30
Power factor setting			1.0
Grid-tied power factor (adjustable)			0.85 leading – 0.85 lagging
Peak efficiency	%		97.7
CEC weighted efficiency	%		97
Night-time power consumption	mW		60
MECHANICAL DATA			
Ambient temperature range		-40°C to +60°C (-40°F to +140°F)	
Relative humidity range		4% to 100% (condensing)	
DC Connector type		MC4	
Dimensions (H x W x D)		212 mm (8.3") x 175 mm (6.9") x 30.2 mm (1.2")	
Weight		1.08 kg (2.38 lbs)	
Cooling		Natural convection – no fans	
Approved for wet locations		Yes	
Pollution degree		PD3	
Enclosure		Class II double-insulated, corrosion resistant polymeric enclosure	
Environ. category / UV exposure rating		NEMA Type 6 / outdoor	
COMPLIANCE			
Certifications		CA Rule 21 (UL 1741-SA), UL 62109-1, IEEE 1547:2018 (UL 1741-SB), FCC Part 15 Class B, ICES-0003 Class B, CAN / CSA-C22.2 NO. 1071-01 This product is UL Listed as PV Rapid Shutdown Equipment and conforms with NEC 2014, NEC 2017, and NEC 2020 section 690.12 and C22.1-2018 Rule 64-218 Rapid Shutdown of PV Systems, for AC and DC conductors, when installed according to manufacturer’s instructions.	

(1) Pairing PV modules with wattage above the limit may result in additional clipping losses. See the compatibility calculator at <https://link.enphase.com/module-compatibility>. (2) Nominal voltage range can be extended beyond nominal if required by the utility. (3) Limits may vary. Refer to local requirements to define the number of microinverters per branch in your area.

Enphase IQ Combiner 4/4C

X-IQ-AM1-240-4
X-IQ-AM1-240-4C



X-IQ-AM1-240-4C

X-IQ-AM1-240-4

The **Enphase IQ Combiner 4/4C** with Enphase IQ Gateway and integrated LTE-M1 cell modem (included only with IQ Combiner 4C) consolidates interconnection equipment into a single enclosure and streamlines IQ microinverters and storage installations by providing a consistent, pre-wired solution for residential applications. It offers up to four 2-pole input circuits and Eaton BR series busbar assembly.

Smart

- Includes IQ Gateway for communication and control
- Includes Enphase Mobile Connect cellular modem (CELLMODEM-M1-06-SP-05), included only with IQ Combiner 4C
- Includes solar shield to match Enphase IQ Battery aesthetics and deflect heat
- Flexible networking supports Wi-Fi, Ethernet, or cellular
- Optional AC receptacle available for PLC bridge
- Provides production metering and consumption monitoring

Simple

- Centered mounting brackets support single stud mounting
- Supports bottom, back and side conduit entry
- Up to four 2-pole branch circuits for 240 VAC plug-in breakers (not included)
- 80A total PV or storage branch circuits

Reliable

- Durable NRTL-certified NEMA type 3R enclosure
- Five-year limited warranty
- Two years labor reimbursement program coverage included for both the IQ Combiner SKU's
- UL listed

Enphase IQ Combiner 4/4C

MODEL NUMBER

IQ Combiner 4 (X-IQ-AM1-240-4)	IQ Combiner 4 with Enphase IQ Gateway printed circuit board for integrated revenue grade PV production metering (ANSI C12.20 +/- 0.5%) and consumption monitoring (+/- 2.5%). Includes a silver solar shield to match the IQ Battery system and IQ System Controller 2 and to deflect heat.
IQ Combiner 4C (X-IQ-AM1-240-4C)	IQ Combiner 4C with Enphase IQ Gateway printed circuit board for integrated revenue grade PV production metering (ANSI C12.20 +/- 0.5%) and consumption monitoring (+/- 2.5%). Includes Enphase Mobile Connect cellular modem (CELLMODEM-M1-06-SP-05), a plug-and-play industrial-grade cell modem for systems up to 60 microinverters. (Available in the US, Canada, Mexico, Puerto Rico, and the US Virgin Islands, where there is adequate cellular service in the installation area.) Includes a silver solar shield to match the IQ Battery and IQ System Controller and to deflect heat.

ACCESSORIES AND REPLACEMENT PARTS (not included, order separately)

Ensemble Communications Kit COMMS-CELLMODEM-M1-06 CELLMODEM-M1-06-SP-05 CELLMODEM-M1-06-AT-05	- Includes COMMS-KIT-01 and CELLMODEM-M1-06-SP-05 with 5-year Sprint data plan for Ensemble sites - 4G based LTE-M1 cellular modem with 5-year Sprint data plan - 4G based LTE-M1 cellular modem with 5-year AT&T data plan
Circuit Breakers BRK-10A-2-240V BRK-15A-2-240V BRK-20A-2P-240V BRK-15A-2P-240V-B BRK-20A-2P-240V-B	Supports Eaton BR210, BR215, BR220, BR230, BR240, BR250, and BR260 circuit breakers. Circuit breaker, 2 pole, 10A, Eaton BR210 Circuit breaker, 2 pole, 15A, Eaton BR215 Circuit breaker, 2 pole, 20A, Eaton BR220 Circuit breaker, 2 pole, 15A, Eaton BR215B with hold down kit support Circuit breaker, 2 pole, 20A, Eaton BR220B with hold down kit support
EPLC-01	Power line carrier (communication bridge pair), quantity - one pair
XA-SOLARSHIELD-ES	Replacement solar shield for IQ Combiner 4/4C
XA-PLUG-120-3	Accessory receptacle for Power Line Carrier in IQ Combiner 4/4C (required for EPLC-01)
XA-ENV-PCBA-3	Replacement IQ Gateway printed circuit board (PCB) for Combiner 4/4C
X-IQ-NA-HD-125A	Hold down kit for Eaton circuit breaker with screws.

ELECTRICAL SPECIFICATIONS

Rating	Continuous duty
System voltage	120/240 VAC, 60 Hz
Eaton BR series busbar rating	125 A
Max. continuous current rating	65 A
Max. continuous current rating (input from PV/storage)	64 A
Max. fuse/circuit rating (output)	90 A
Branch circuits (solar and/or storage)	Up to four 2-pole Eaton BR series Distributed Generation (DG) breakers only (not included)
Max. total branch circuit breaker rating (input)	80A of distributed generation / 95A with IQ Gateway breaker included
Production metering CT	200 A solid core pre-installed and wired to IQ Gateway
Consumption monitoring CT (CT-200-SPLIT)	A pair of 200 A split core current transformers

MECHANICAL DATA

Dimensions (WxHxD)	37.5 x 49.5 x 16.8 cm (14.75" x 19.5" x 6.63"). Height is 21.06" (53.5 cm) with mounting brackets.
Weight	7.5 kg (16.5 lbs)
Ambient temperature range	-40° C to +46° C (-40° to 115° F)
Cooling	Natural convection, plus heat shield
Enclosure environmental rating	Outdoor, NRTL-certified, NEMA type 3R, polycarbonate construction
Wire sizes	<ul style="list-style-type: none"> • 20 A to 50 A breaker inputs: 14 to 4 AWG copper conductors • 60 A breaker branch input: 4 to 1/0 AWG copper conductors • Main lug combined output: 10 to 2/0 AWG copper conductors • Neutral and ground: 14 to 1/0 copper conductors Always follow local code requirements for conductor sizing.
Altitude	To 2000 meters (6,560 feet)

INTERNET CONNECTION OPTIONS

Integrated Wi-Fi	802.11b/g/n
Cellular	CELLMODEM-M1-06-SP-05, CELLMODEM-M1-06-AT-05 (4G based LTE-M1 cellular modem). Note that an Enphase Mobile Connect cellular modem is required for all Ensemble installations.
Ethernet	Optional, 802.3, Cat5E (or Cat 6) UTP Ethernet cable (not included)

COMPLIANCE

Compliance, IQ Combiner	UL 1741, CAN/CSA C22.2 No. 107.1, 47 CFR, Part 15, Class B, ICES 003 Production metering: ANSI C12.20 accuracy class 0.5 (PV production) Consumption metering: accuracy class 2.5
Compliance, IQ Gateway	UL 60601-1/CANCSA 22.2 No. 61010-1



To learn more about Enphase offerings, visit enphase.com



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CERTIFICATE OF COMPLIANCE

Certificate Number 20211109-E341165
Report Reference E341165-20210317
Issue Date 2021-11-09

Issued to: Enphase Energy Inc.
1420 N. McDowell Blvd. Petaluma, CA 94954-6515

This is to certify that representative samples of Grid Support, Utility Interactive Supporting Energy Storage, Multimode, Bi-directional Microinverters

Models IQ8-60, IQ8PLUS-72, IQ8M-72, IQ8A-72, IQ8H-208-72, IQ8H-240-72, may be f/b -2, -5, -E, or -M, may be f/b -ACM, f/b -US, may be f/b -NM, may be f/b -RMA, may be f/b -&, where "&" designates additional characters.

Has been investigated by UL in accordance with the Standard(s) indicated on this Certificate.

Standard(s) for Safety: See Page 2

Additional Information: See the UL Online Certifications Directory at www.ul.com/database for additional information

This *Certificate of Compliance* is provided as a courtesy to help our customers communicate product compliance information, as documented in our UL Follow-Up Services procedure. This Certificate of Compliance does not provide authorization to apply the UL Mark. Only the UL Follow-Up Services Procedure provides authorization to apply the UL Mark.

Only those products bearing the UL Mark shall be considered as being UL Certified and covered under UL's Follow-Up Services. Look for the UL Certification Mark on the product.

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Bruce Mahrenholz, Director North American Certification Program
UL LLC

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CERTIFICATE OF COMPLIANCE

Certificate Number 20211109-E341165
Report Reference E341165-20210317
Issue Date 2021-11-09

This is to certify that representative samples of the product as specified on this certificate were tested according to the current UL requirements.

Standards for Safety:

UL 62109-1, STANDARD FOR SAFETY OF POWER CONVERTERS FOR USE IN PHOTOVOLTAIC POWER SYSTEMS - PART 1: GENERAL REQUIREMENTS, Edition 1, Revision Date 04/30/2019

IEC 62109-2, SAFETY OF POWER CONVERTERS FOR USE IN PHOTOVOLTAIC POWER SYSTEMS - PART 2: PARTICULAR REQUIREMENTS FOR INVERTERS, Edition 1, Issue Date 06/2011

UL 1741, Inverters, Converters, Controllers and Interconnection System Equipment for Use With Distributed Energy Resources, Edition 2, Revision Date 06/10/2021, including the requirements in UL 1741 Supplement SA, sections as noted in the Technical considerations.

IEEE 1547, IEEE Standard for Interconnecting Distributed Resources with Electric Power Systems.

IEEE 1547.1, IEEE Standard for Conformance Test Procedures for Equipment Interconnecting Distributed Resources with Electric Power Systems.

CSA C22.2 No. 62109-1, Safety of Power Converters for Use in Photovoltaic Power Systems - Part 1: General Requirements, Edition 1, Issue Date 07/2016

CSA C22.2 No. 62109-2, Safety of Power Converters for Use in Photovoltaic Power Systems - Part 2: Particular Requirements for Inverters, Edition 1, Issue Date 07/2016


Bruce Mahrenholz, Director North American Certification Program
UL LLC

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SNAPNRACK UR-40 RACKING SYSTEM SHOWN MOUNTED ON ULTRA FOOT WITH UNIVERSAL END CLAMPS. FOR TILE ROOFING USE SNAPNRACK TILE REPLACEMENT, UNIVERSAL TILE HOOK, OR FLAT TILE HOOK SYSTEMS.

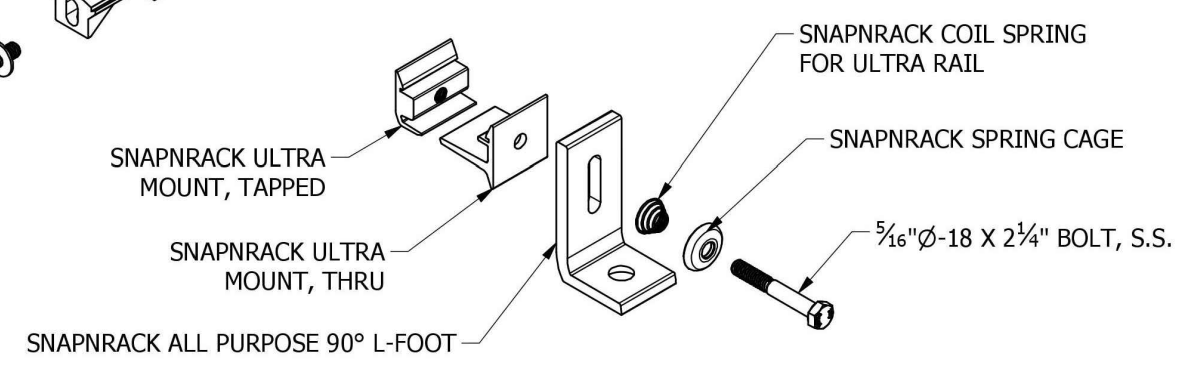
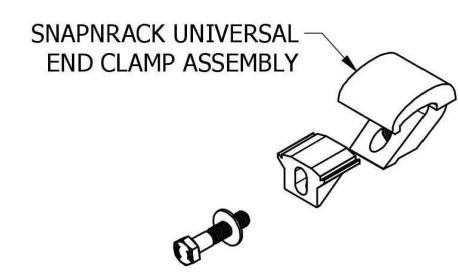
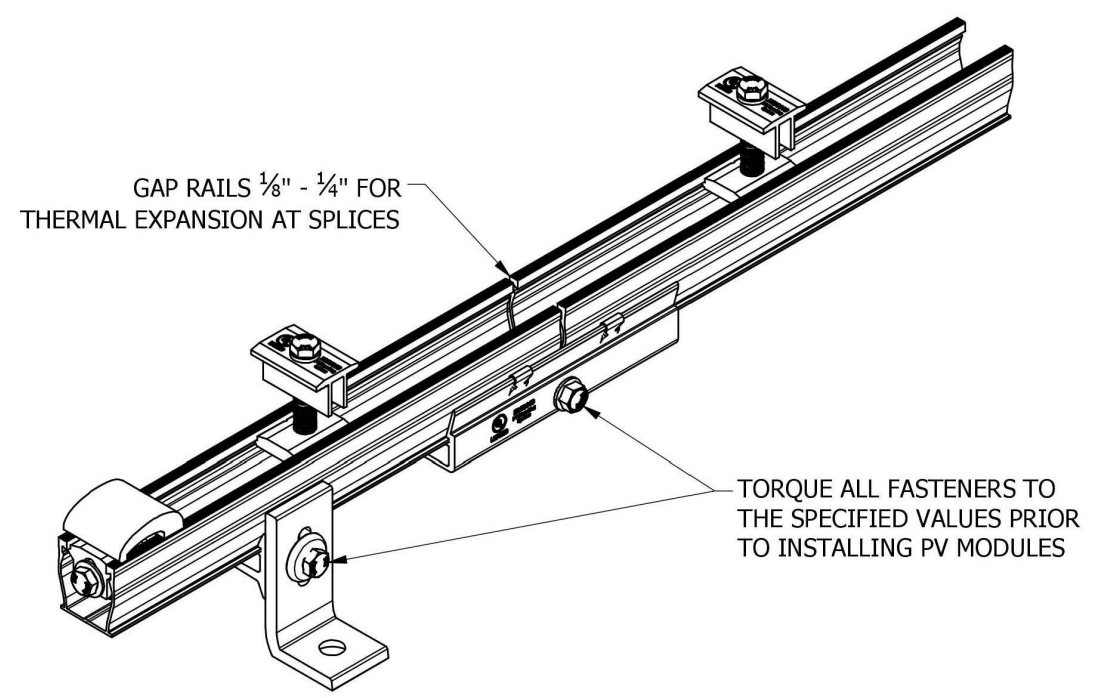
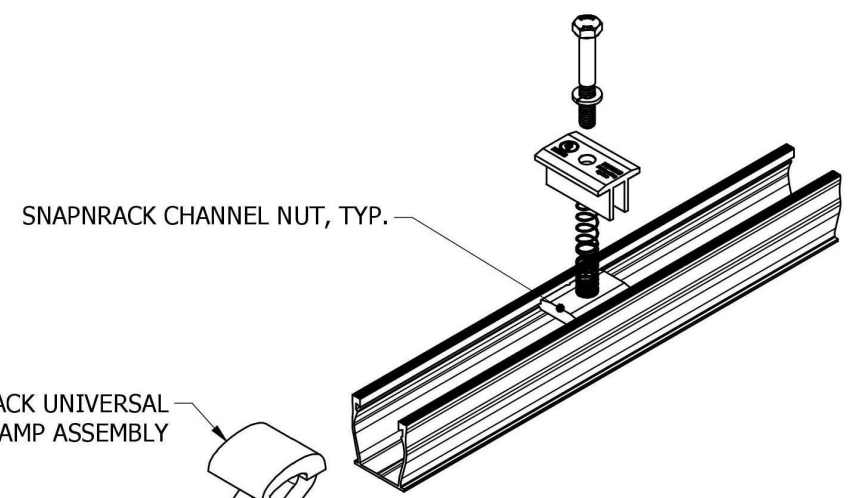
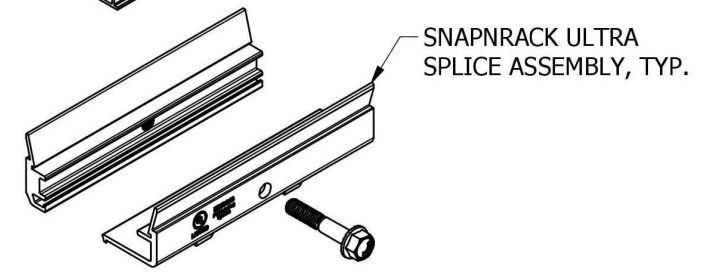
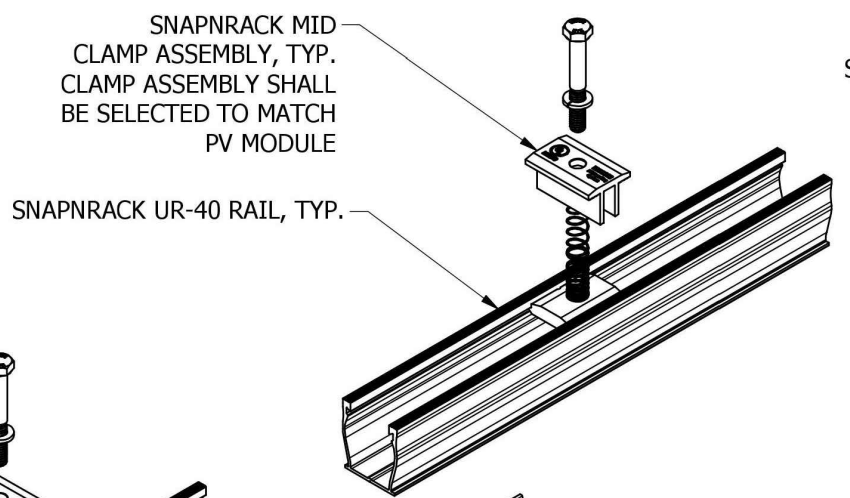
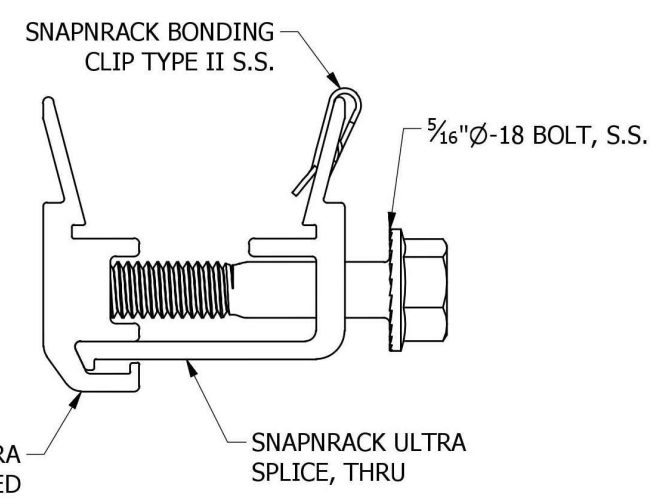
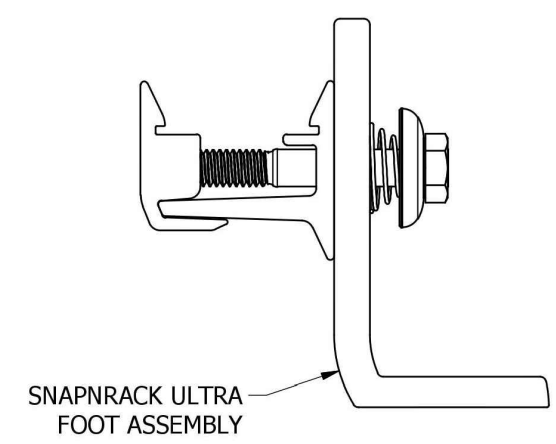
STANDARD LAG SCREW SPEC ASSUMES 5/16"Ø LAG SCREW WITH 2 1/2" MIN. EMBEDMENT INTO STRUCTURAL MEMBER.

TORQUE ALL FASTENERS TO 10-16 FT-LBS

RAILS CAN BE MOUNTED ON EITHER SIDE OF ULTRA FOOT: UPSLOPE OR DOWNSLOPE.

FOR UNEVEN ROOF SURFACES, UTILIZE THE SNAPNRACK LEVELER EXTENSION OR LEVELING SPACER. SEE DRAWINGS "UR40-D01", "UR40-D08", "UR40-D09", & "UR40-D10", FOR DETAILS AND LIMITATIONS.

REVISION:		
A	11/30/2017	NEW DETAIL MA



Sunrun South LLC
 595 MARKET STREET, 29TH FLOOR • SAN FRANCISCO, CA 94105 USA
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DESIGNER: M.Affentrager
 DRAFTER: M.Affentrager
 APPROVED BY: G.McPheeters

SCALE: DNS
 DATE: 11/30/2017

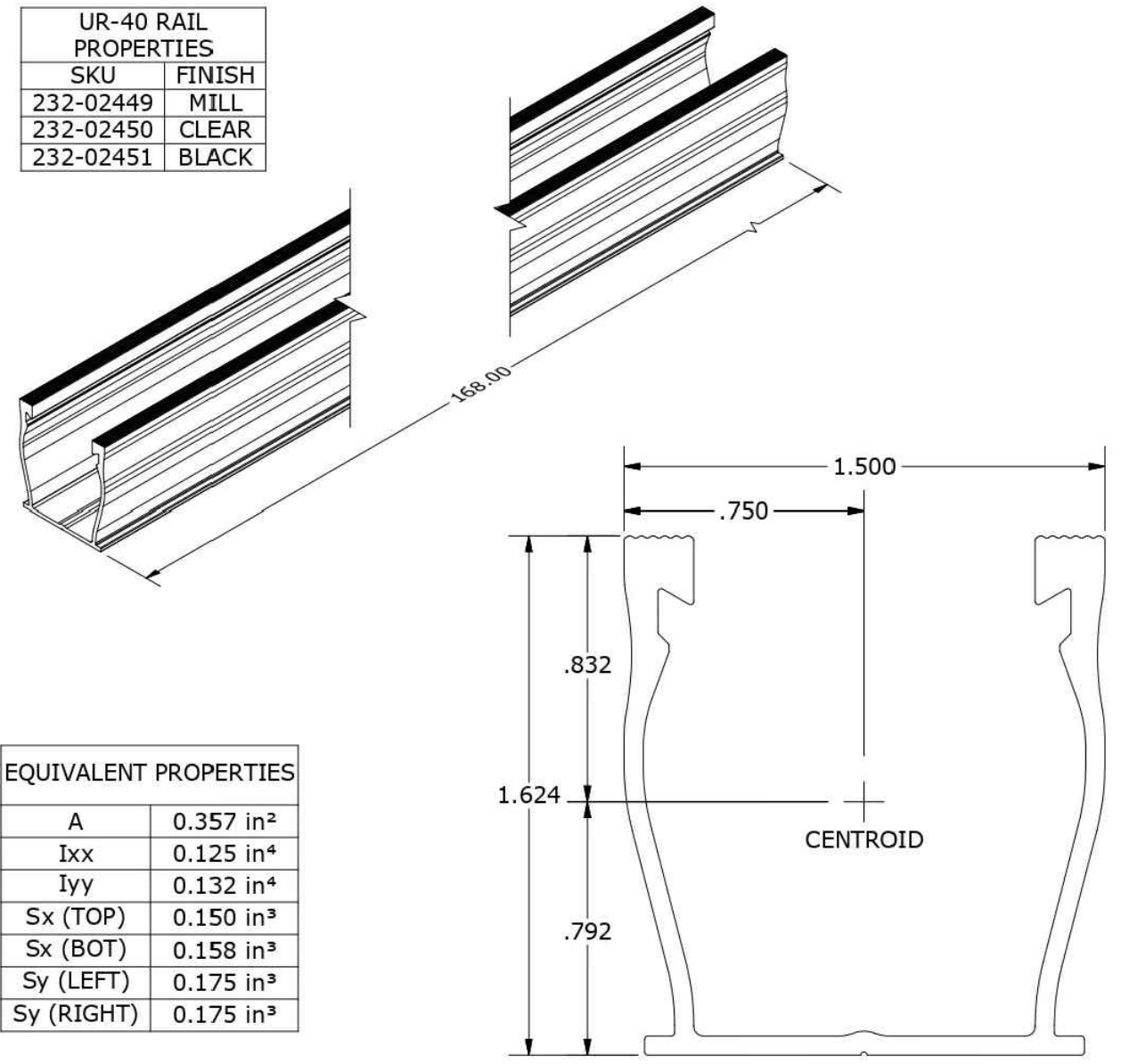
PART NUMBER: UR40-D04

DESCRIPTION: UR-40 ASSEMBLY DETAILS UEC

REV A

DESCRIPTION: SNAPNRACK, UR-40 RAIL	DRAWN BY: mwatkins	
	REVISION: B	
PART NUMBER(S): 232-02449, 232-02450, 232-02451		


UR-40 RAIL PROPERTIES	
SKU	FINISH
232-02449	MILL
232-02450	CLEAR
232-02451	BLACK



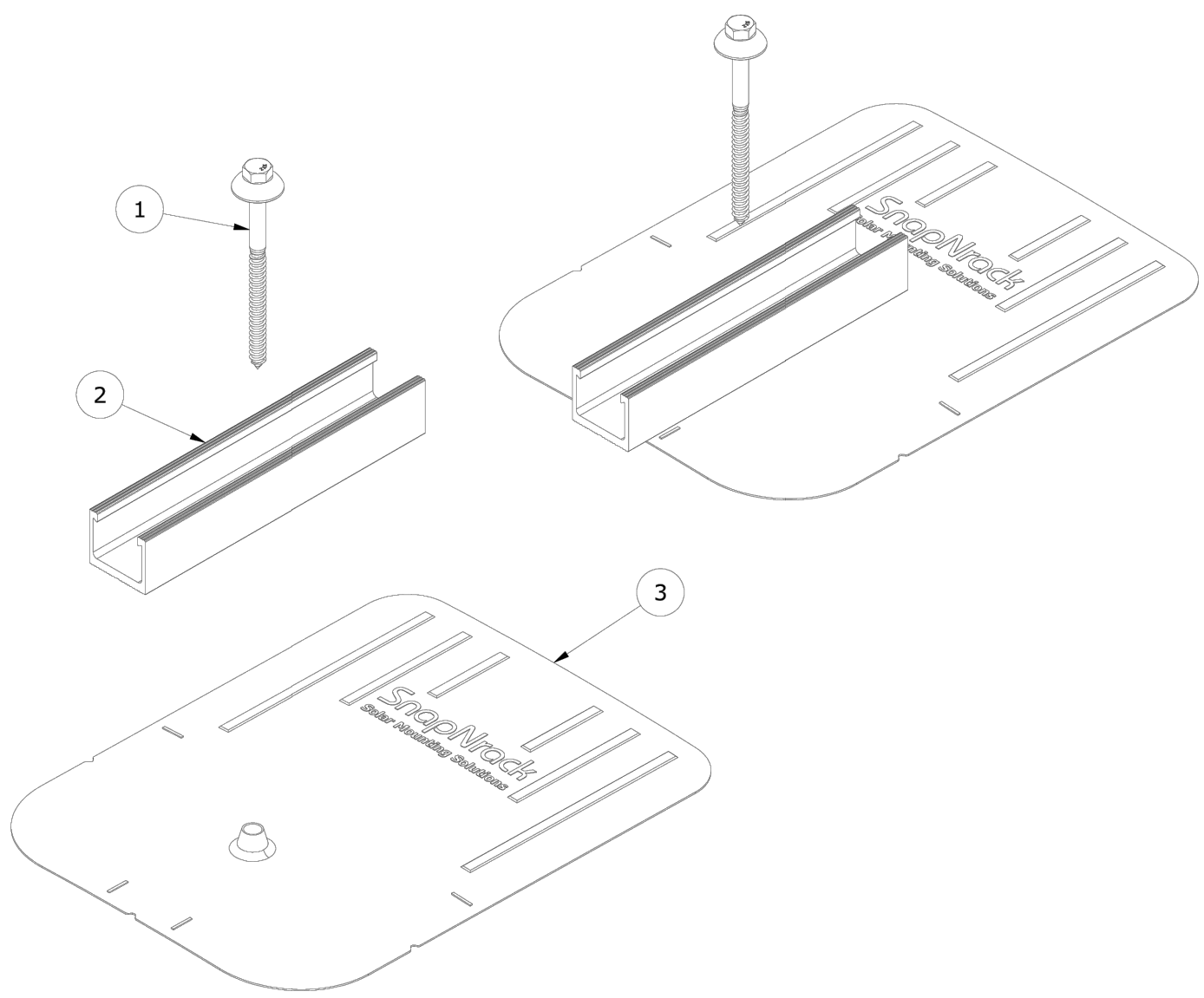
EQUIVALENT PROPERTIES	
A	0.357 in ²
Ixx	0.125 in ⁴
Iyy	0.132 in ⁴
Sx (TOP)	0.150 in ³
Sx (BOT)	0.158 in ³
Sy (LEFT)	0.175 in ³
Sy (RIGHT)	0.175 in ³

ALL DIMENSIONS IN INCHES

MATERIALS:	6000 SERIES ALUMINUM	OPTIONS:
DESIGN LOAD (LBS):	N/A	CLEAR / BLACK ANODIZED
ULTIMATE LOAD (LBS):	N/A	MILL FINISH
TORQUE SPECIFICATION:	N/A LB-FT	BUNDLES OF 144
CERTIFICATION:	UL 2703, FILE E359313	BOXES OF 8
WEIGHT (LBS):	5.85	

DESCRIPTION: SNAPNRACK, COMP FLASH TRACK KIT	DRAWN BY: mwatkins	
PART NUMBER(S): SEE BELOW	REVISION: B	

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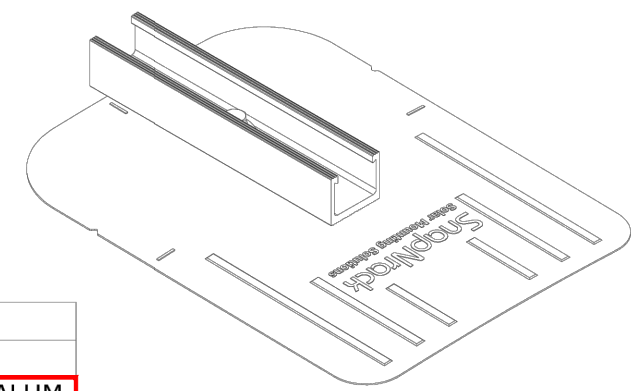


PARTS LIST			
ITEM	QTY	PART NUMBER	DESCRIPTION
1	1	242-92266	SNAPNRACK, UMBRELLA LAG, TYPE 3, 4IN, SS
2	1	232-04060	SNAPNRACK, FLASH TRACK PRC, CONE HOLE, 7-1/2IN, BLACK
3	1	232-01375, 232-01376	SNAPNRACK, COMP FLASHING, 9IN X 12IN, SILVER / BLACK ALUM

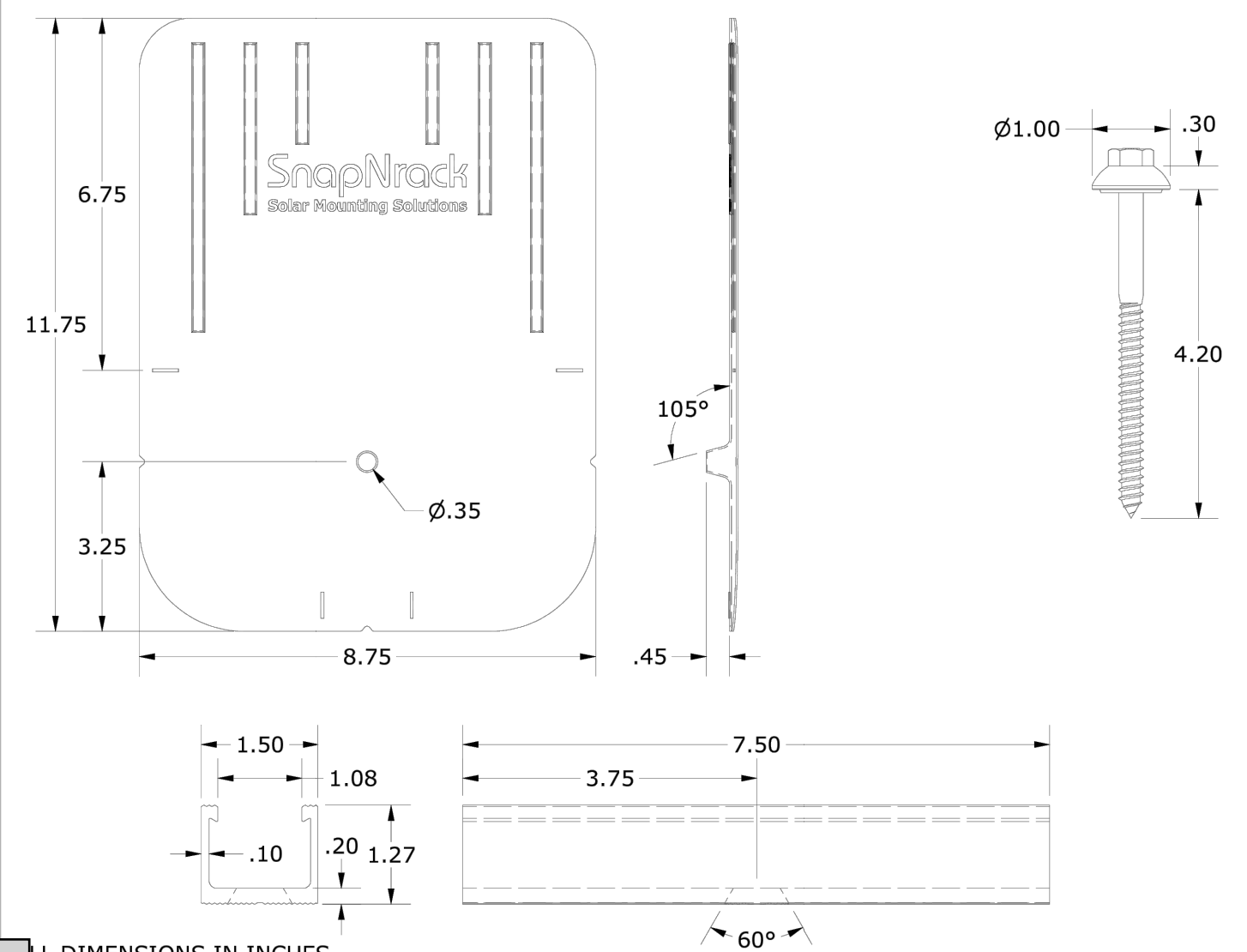
MATERIALS:	6000 SERIES ALUMINUM, STAINLESS STEEL, RUBBER
DESIGN LOAD (LBS):	306 UP, 372 DOWN, 253 SIDE (LANDSCAPE)
ULTIMATE LOAD (LBS):	N/A
TORQUE SPECIFICATION:	N/A LB-FT
CERTIFICATION:	UL 2703, FILE E359313
WEIGHT (LBS):	0.83 - 1.06

DESCRIPTION: SNAPNRACK, COMP FLASH TRACK KIT	DRAWN BY: mwatkins	
PART NUMBER(S): SEE BELOW	REVISION: B	

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COMP FLASHING PROPERTIES	
SKU	DESCRIPTION
232-01375	COMP FLASHING, 9" X 12", BLACK ALUM
232-01376	COMP FLASHING, 9" X 12", SILVER ALUM



87 ALL DIMENSIONS IN INCHES

SnapNrack UL 2703 Fire Classification

March 2019

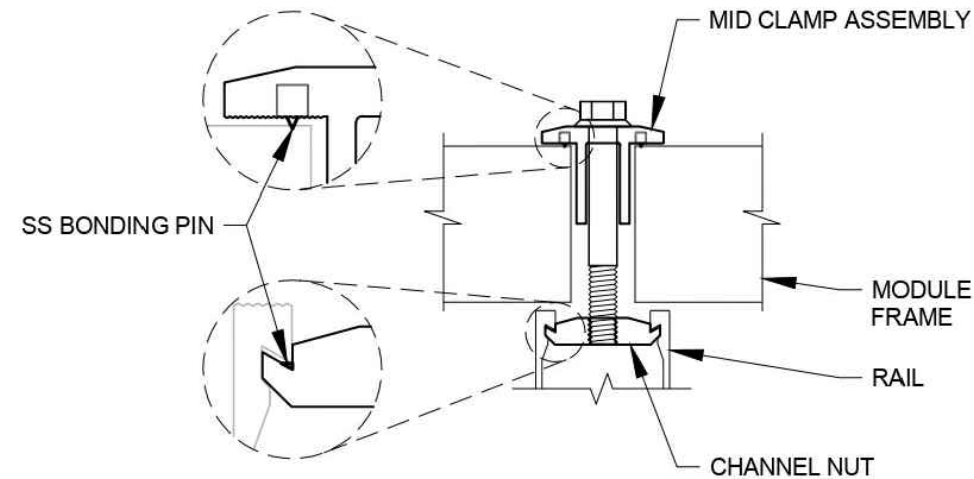
As of January 1st, 2015 many jurisdictions are now enforcing codes based upon updates to the International Building Code (IBC) and UL Standards 1703 (modules) and 2703 (mounting systems). The language included in the 2012 IBC requires that the combination of roof mounted solar modules and racking components is to be considered a system (IBC Section 1509.7.2). Additionally, it requires that this system shall meet or exceed the fire classification of the roof assembly.

The objective is to ensure that the PV system does not adversely affect the fire rating of the roof. Roof surface fire ratings are classified either A, B, or C; Class A being the most resistant to the spread of flame.

Since the physical characteristics of the PV module (material, thickness of glass, etc) also potentially affect how a fire will act, modules are now tested and assigned a "type" based upon these characteristics and spread of flame test results. There are 15 total module types, Types 1, 2 and 3 represent differences in the module composition and Types 4 - 15 are the same module compositions as Types 1 - 3 with differing fire test performance.

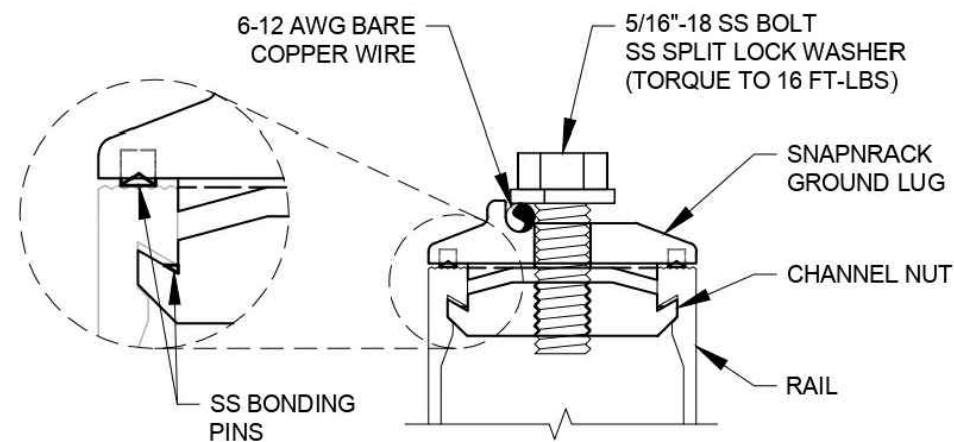
SnapNrack Series 100, Ultra Rail and RL systems have been Certified for a Class A fire rating with Type 1 and Type 2 modules, in accordance with the standards set forth in UL1703/2703 and IBC 2012. In order to maintain this classification, the SnapNrack mounting systems must be installed per the UL-approved [Installation Manuals](#). Because the test was conducted with the modules at 5 inches from the roof surface (worst case scenario), there is no restriction to the standoff height.

Attachment 1 is the SnapNrack QIMS File which is accessed through the UL Online Certification Directory, or available here: [SnapNrack QIMS File](#).



NOTE:

- ADJUSTABLE END CLAMPS USE SAME BONDING PIN DESIGN TO BOND MODULES TO RAIL



NOTE:

- ALL HARDWARE IS INCLUDED FROM MANUFACTURER
- A MINIMUM OF ONE GROUND LUG IS TO BE INSTALLED ON EVERY CONTINUOUS ROW OF MODULES
- GROUND LUG MAY BE INSTALLED IN EITHER RAIL CHANNEL
- GROUND LUG MAY BE INSTALLED SO GROUND WIRE IS PARALLEL OR PERPENDICULAR TO RAIL
- ENSURE SPLIT LOCK WASHER IS INSTALLED ON TOP OF COPPER WIRE

ASSEMBLER:

INSPECTOR:

DESCRIPTION:

SNAPNRACK MOUNTING SYSTEM
GROUNDING DETAILS

DRAWN BY: MIKE WATKINS

APPROVED BY: CODY NORMAN

REVISION:
G 1/11/2016 NEW ITEM

SnapNrack
Solar Mounting Solutions

Sunrun South LLC

595 MARKET STREET, 29TH FLOOR • SAN FRANCISCO, CA 94105 USA
PHONE (415) 580-6900 • FAX (415) 580-6902

THE INFORMATION IN THIS DRAWING IS CONFIDENTIAL AND PROPRIETARY. ANY REPRODUCTION, DISCLOSURE, OR USE THEREOF IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF SUNRUN SOUTH LLC.

PART NUMBER:

SCALE:

DNS

Resources snapnrack.com/resources
877-732-2860

Design snapnrack.com/configurator
www.snapnrack.com

Where to Buy snapnrack.com/where-to-buy
contact@snapnrack.com



BRISTOL HISTORIC DISTRICT COMMISSION APPLICATION FOR REVIEW OF PROPOSED WORK

1. Property Address (Street & No.) 56 HIGH ST

020-0071-000

2. Plat # _____ Lot # _____ Contributing _____ Non-Contributing _____

3. a. Applicant: Herbert S Simmons

Mailing Address: 56 High St BRISTOL R.I

Phone: 401 253 4309 Email: 401 253 4309

b. Owner (if different from applicant written authorization of owner required): HRBRTSMMS@gmail.com

Mailing Address: _____

Phone: _____ Email: _____

4. a. Architect/Draftsman: N/A

Address: _____

Phone: _____ Email: _____

b. Contractor: COUTO CONSTRUCTION CO

Address: 24 ERNEST ST

Phone: 508 509 4414 401 253 4309 Email: INFO@COUTOCONSTRUCTION.COM

5. Work Category: _____ Replacing in-kind* *authorization required* _____

_____ New Structure(s) _____ Partial Demolition of Structure(s)

_____ Addition to Structure(s) _____ Total Demolition of Structure(s)

_____ Remodeling of Structure _____ Sign(s) / Landscaping Features

6. Description of proposed work: Replace EXISTING front gutter (Metal) with woodlike, fiberglass gutter (45') and place Two (2) new fiberglass

*All changes must match the existing in materials, design and configuration.

(Continued): downspouts at Southwest and Northwest corners of the house

Check here if continued on additional sheets.

7. Included with the application (check those applicable):

PHOTOGRAPHS: Please label all photographs submitted.

Multiple photos on file

- Overall view of property from street(s) Overall views of building
- Existing details to be altered by work
- Other (Identify) _____

Drawings: Maximum size accepted: 11" x 17"

- Site Plan(s) (drawn to scale) Floor plan(s) (drawn to scale)
- Exterior Elevations Details

OTHER: Renderings Catalogue Cuts Specifications

Other (Identify) _____

Herbert S Simmons

Applicant's Name - Printed

Herbert S Simmons

Applicant's Signature

Date: 6 Dec 2023

Contact Person if other than Applicant:

Name (Printed): _____

Phone: _____ Email: _____

A Certificate of Appropriateness (Green Sheet) is valid for one year from the date of issuance.

Note: If work on a project has started within twelve months of its approval date, you have as long as is necessary to finish the job (in other words, longer than a year).



CAI Property Card

Town of Bristol, RI

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR
<p>LOCATION: 56 HIGH ST ACRES: 0.4397 PARCEL ID: 20 71 LAND USE CODE: 01 CONDO COMPLEX: OWNER: SIMMONS, HERBERT S & CO - OWNER: BLAIR N AS TRUSTEES LIVING MAILING ADDRESS: 56 HIGH ST</p> <p>ZONING: R-6 PATRIOT ACCOUNT #: 1457</p>	<p>BUILDING STYLE: Restored His UNITS: 1 YEAR BUILT: 1791 FRAME: Wood Frame EXTERIOR WALL COVER: Clapboard ROOF STYLE: Mansard ROOF COVER: Asphalt Shin</p>
<p align="center">SALE INFORMATION</p> <p>SALE DATE: 3/10/2015 BOOK & PAGE: 1793-169 SALE PRICE: 0 SALE DESCRIPTION: Family Sale SELLER: SIMMONS, HERBERT S.</p>	<p align="center">BUILDING INTERIOR</p> <p>INTERIOR WALL: Drywall FLOOR COVER: Hardwood HEAT TYPE: Radiant Hot FUEL TYPE: Oil PERCENT A/C: False # OF ROOMS: 12 # OF BEDROOMS: 5 # OF FULL BATHS: 2 # OF HALF BATHS: 3 # OF ADDITIONAL FIXTURES: 1 # OF KITCHENS: 1 # OF FIREPLACES: 4 # OF METAL FIREPLACES: 0 # OF BASEMENT GARAGES: 0</p>
<p align="center">PRINCIPAL BUILDING AREAS</p> <p>GROSS BUILDING AREA: 6572 FINISHED BUILDING AREA: 4098 BASEMENT AREA: 1516 # OF PRINCIPAL BUILDINGS: 1</p>	
<p align="center">ASSESSED VALUES</p> <p>LAND: \$269,400 YARD: \$0 BUILDING: \$702,400 TOTAL: \$971,800</p>	
<p align="center">SKETCH</p>	<p align="center">PHOTO</p>



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200 foot Abutters List Report

Bristol, RI
December 15, 2023

Subject Property:

Parcel Number: 20-71
CAMA Number: 20-71
Property Address: 56 HIGH ST

Mailing Address: SIMMONS, HERBERT S & BLAIR N AS
TRUSTEES LIVING
56 HIGH ST
BRISTOL, RI 02809

Abutters:

Parcel Number: 16-10
CAMA Number: 16-10
Property Address: 67 HIGH ST

Mailing Address: PACHECO, RICHARD H.
64 WOODLAWN AVE
BRISTOL, RI 02809

Parcel Number: 16-11
CAMA Number: 16-11
Property Address: 29 BURNSIDE ST

Mailing Address: TAVARES FAMILY INCOME-ONLY
IRREVOCABLE TRUST
29 BURNSIDE ST
BRISTOL, RI 02809

Parcel Number: 16-16
CAMA Number: 16-16
Property Address: 59 HIGH ST

Mailing Address: HERRESHOFF, HALSEY C. II
PO BOX 74
BRISTOL, RI 02809

Parcel Number: 16-17
CAMA Number: 16-17
Property Address: 55 HIGH ST

Mailing Address: CARLONE, ANTHONY R.
55 HIGH ST
BRISTOL, RI 02809

Parcel Number: 16-18
CAMA Number: 16-18
Property Address: 41 HIGH ST

Mailing Address: MOGER, NANCY G. R. TRUSTEE
41 HIGH ST
BRISTOL, RI 02809

Parcel Number: 16-19
CAMA Number: 16-19
Property Address: 20 BURNSIDE ST

Mailing Address: HERRESHOFF MARINE MUSEUM
P. O. BOX 450
BRISTOL, RI 02809

Parcel Number: 16-33
CAMA Number: 16-33
Property Address: 32 BURNSIDE ST

Mailing Address: WRIGHTSTUPH, LLC
PO BOX 247
LYME, NH 03768

Parcel Number: 16-36
CAMA Number: 16-36
Property Address: HIGH ST

Mailing Address: RAIOLA, LISA J.
39 HIGH ST
BRISTOL, RI 02809

Parcel Number: 16-37
CAMA Number: 16-37
Property Address: 45 HIGH ST

Mailing Address: AUSTIN, EDWARD A III TRUSTEE
EDWARD A AUSTIN III REVOCABLE
LIVING TRUST
C/O 45 HIGH ST
BRISTOL, RI 02809

Parcel Number: 16-38
CAMA Number: 16-38
Property Address: 43 HIGH ST

Mailing Address: FORTY-THREE HIGH STREET LLC
C/O 45 HIGH ST
BRISTOL, RI 02809



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200 foot Abutters List Report

Bristol, RI
December 15, 2023

Parcel Number: 16-45 CAMA Number: 16-45 Property Address: 138 HOPE ST	Mailing Address: MUMMA, JAMES M. JR. WILSON, KARYN & TRUSTEES, MUM 138 HOPE STREET BRISTOL, RI 02809
Parcel Number: 16-47 CAMA Number: 16-47 Property Address: 31 BURNSIDE ST	Mailing Address: TIHEN, WILLIAM S. CAROL H. 90 HIGH STREET BRISTOL, RI 02809
Parcel Number: 16-9 CAMA Number: 16-9 Property Address: 69 HIGH ST	Mailing Address: LOTUFF, MARY M. 118 HIGH STREET BRISTOL, RI 02809
Parcel Number: 20-100 CAMA Number: 20-100 Property Address: 9 HOWE ST	Mailing Address: HERTFELDER, ERIC K. SARAH D, TE 9 HOWE STREET BRISTOL, RI 02809
Parcel Number: 20-102 CAMA Number: 20-102 Property Address: 11 HOWE ST	Mailing Address: GOLDMAN, WAYNE & PUTNAM, CAROL TE 11 HOWE ST BRISTOL, RI 02809
Parcel Number: 20-103 CAMA Number: 20-103 Property Address: 13 HOWE ST	Mailing Address: FAY, M. DOUGLAS & PATRICIA C TE 13 HOWE ST BRISTOL, RI 02809
Parcel Number: 20-105 CAMA Number: 20-105 Property Address: 12 HOWE ST	Mailing Address: BEARDWOOD, LISA TRUSTEE 12 HOWE ST BRISTOL, RI 02809
Parcel Number: 20-58 CAMA Number: 20-58 Property Address: 4 HOWE ST	Mailing Address: ROWLAND, BARBARA 512 SPRING LN WYNDMOOR, PA 19038
Parcel Number: 20-60 CAMA Number: 20-60 Property Address: 60 BURTON ST	Mailing Address: LAMPL, PAUL & SUSAN etal BRUNO, NICHOLAS & JILLLIAN TC 25 POPLAR LN COMMACK, NY 11725-2410
Parcel Number: 20-61 CAMA Number: 20-61 Property Address: 56 BURTON ST	Mailing Address: BOYLE, KENNETH JR. ET UX VIRGINIA TE 56 BURTON ST BRISTOL, RI 02809
Parcel Number: 20-63 CAMA Number: 20-63 Property Address: 78 HIGH ST	Mailing Address: SYLVIA, FRANK J LORRAI 78 HIGH ST BRISTOL, RI 02809
Parcel Number: 20-68 CAMA Number: 20-68 Property Address: 64 HIGH ST	Mailing Address: HOPE-HIGH REALTY TRUST, LLC 328 HIGH ST BRISTOL, RI 02809



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200 foot Abutters List Report

Bristol, RI
December 15, 2023

Parcel Number: 20-69 CAMA Number: 20-69 Property Address: 70 HIGH ST	Mailing Address: KING, GARY W & AMY E TRUSTEES 168 FAIRVIEW LANE PORTSMOUTH, RI 02781
Parcel Number: 20-70 CAMA Number: 20-70-001 Property Address: 10 HOWE ST	Mailing Address: HOFFMAN, NORA 10 HOWE ST BRISTOL, RI 02809
Parcel Number: 20-70 CAMA Number: 20-70-002 Property Address: 10 HOWE ST	Mailing Address: CARD, JOHN W. 1999 TRUST 206 COLGATE AVENUE KENSINGTON, CA 94708
Parcel Number: 20-70 CAMA Number: 20-70-003 Property Address: 10 HOWE ST	Mailing Address: MITCHELL, WILLIAM B. PATRICIA TE 10 HOWE ST BRISTOL, RI 02809
Parcel Number: 20-70 CAMA Number: 20-70-004 Property Address: 8 HOWE ST	Mailing Address: MCBRIDE, SUZANNE TRUSTEE 8 HOWE ST UNIT 1 BRISTOL, RI 02809
Parcel Number: 20-70 CAMA Number: 20-70-005 Property Address: 8 HOWE ST	Mailing Address: MCPHERSON, JANE 8 HOWE ST UNIT 2 BRISTOL, RI 02809
Parcel Number: 20-70 CAMA Number: 20-70-006 Property Address: 8 HOWE ST	Mailing Address: OWEN, PETER & ESTHER F. LE OWEN, SCOTT R. 8 HOWE ST BRISTOL, RI 02809
Parcel Number: 20-72 CAMA Number: 20-72-001 Property Address: 42 HIGH ST	Mailing Address: JENKINS, HAROLD D & CHASE, HOPE TE 7470 WEATHERWORN WAY COLUMBIA, MD 21046
Parcel Number: 20-72 CAMA Number: 20-72-002 Property Address: 42 HIGH ST	Mailing Address: VENABLE, COLLEEN 42 HIGH ST BRISTOL, RI 02809
Parcel Number: 20-72 CAMA Number: 20-72-003 Property Address: 42 HIGH ST	Mailing Address: FOSTER, KAREN L & MOREAU, RUSSELL TE 42 HIGH ST UNIT 3 BRISTOL, RI 02809
Parcel Number: 20-72 CAMA Number: 20-72-004 Property Address: 42 HIGH ST	Mailing Address: ROTONDO, JANE E 538 MORTON ST STOUGHTON, MA 02072
Parcel Number: 20-72 CAMA Number: 20-72-005 Property Address: 42 HIGH ST	Mailing Address: CLARK, KERRY ANNE 42 HIGH STREET 5 CODMAN PLACE BRISTOL, RI 02809



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200 foot Abutters List Report

Bristol, RI
December 15, 2023

Parcel Number: 20-72 CAMA Number: 20-72-006 Property Address: 42 HIGH ST	Mailing Address: DORMAN, PETER & DORFMAN, KAREN L TE 42 HIGH ST, Unit 6 BRISTOL, RI 02809
Parcel Number: 20-72 CAMA Number: 20-72-007 Property Address: 42 HIGH ST	Mailing Address: BARNEY, MARIA TRUSTEE MARIA BARNEY LIV TRUST 42 HIGH ST UNIT #7 BRISTOL, RI 02809
Parcel Number: 20-73 CAMA Number: 20-73 Property Address: 14 HOWE ST	Mailing Address: LeBLANC, GEORGE L & LYNN M TE 14 HOWE ST BRISTOL, RI 02809
Parcel Number: 20-85 CAMA Number: 20-85-001 Property Address: 6 HOWE ST	Mailing Address: FLANAGAN, CATHERINE E, TRUSTEE- MASKEE TRUST 99 Pond Ave #519, Unit 1 Brookline, MA 02445
Parcel Number: 20-85 CAMA Number: 20-85-002 Property Address: 6 HOWE ST	Mailing Address: LYMAN, DOUGLAS P LAURI TE 6 HOWE ST # 2 BRISTOL, RI 02809
Parcel Number: 20-85 CAMA Number: 20-85-003 Property Address: 6 HOWE ST	Mailing Address: FURTADO, BARBARA P. 14 TOBIN LN BRISTOL, RI 02809
Parcel Number: 20-85 CAMA Number: 20-85-004 Property Address: 6 HOWE ST	Mailing Address: DUSANG, ALICESON NICOLE 6 HOWE ST, UNIT 4 BRISTOL, RI 02809



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HDC-23-175



Bristol Historic District Commission

Application for review of proposed Work

1. Property Address (Street & No.) 9 Thames St.

2. Plat # 11 Lot # 8

3. a. Applicant: Marshall Building Acquisition LLC

b. Owner (if different from applicant written authorization of owner required): Robin Karian

Mailing Address:

Phone: 401-924-1000

Email: bluechina2@gmail.com

4. a. Architect/Draftsman: n/a

Phone: n/a

Email: n/a

b. Contractor: Marshall Building Acquisition LLC

Phone: 401-438-1499

Email: jackie@marshallbr.com

5. Work Category:

Replacing in Kind

6. Description of proposed work:

Remove six existing Andersen Series 400 windows and install 6 Andersen Series 400 windows, in-kind, same sizes & locations, specs attached.

7. Property History

Marshall Building Acquisition LLC

Anne T. Dominguez

Applicant's Name – Printed

Applicant's Signa

Date: December 11, 2023



200 foot Abutters List Report

Bristol, RI
December 15, 2023

Subject Property:

Parcel Number: 11-8
CAMA Number: 11-8
Property Address: 5 THAMES ST

Mailing Address: ALLISTER, ROBIN K
37 FACTORY POND CIRCLE
SMITHFIELD, RI 02828

Abutters:

Parcel Number: 10-53
CAMA Number: 10-53
Property Address: 21 CONSTITUTION ST

Mailing Address: CHACE, RICHMOND N. NANCY E. ETUX
21 CONSTITUTION ST
BRISTOL, RI 02809

Parcel Number: 10-54
CAMA Number: 10-54
Property Address: 17 CONSTITUTION ST

Mailing Address: DEMOPULOS, HAROLD W. TRUST
AGREEMENT
3601 WISCONSIN AVE NW, Unit 704
WASHINGTON, DC 20016

Parcel Number: 10-55
CAMA Number: 10-55
Property Address: 11 CONSTITUTION ST

Mailing Address: CALM REALTY, LLC
11 CONSTITUTION ST
BRISTOL, RI 02809

Parcel Number: 10-56
CAMA Number: 10-56
Property Address: 9 CONSTITUTION ST

Mailing Address: HARTLEY, JOHN P. ET UX PAULA
ARSENAULT HARTLEY
9 CONSTITUTION STREET
BRISTOL, RI 02809

Parcel Number: 10-57
CAMA Number: 10-57
Property Address: 50 THAMES ST

Mailing Address: OUELLETTE, DAVID ALAN & BURGIO,
JENNIFER JT
50 THAMES ST
BRISTOL, RI 02809

Parcel Number: 10-58
CAMA Number: 10-58
Property Address: 38 THAMES ST

Mailing Address: SALCONE, PETER M.
509 CLARKS ROW
BRISTOL, RI 02809

Parcel Number: 10-59
CAMA Number: 10-59
Property Address: 34 THAMES ST

Mailing Address: CABRAL, VICTOR G JR MA
122 MT. HOPE AVE
BRISTOL, RI 02809

Parcel Number: 10-60
CAMA Number: 10-60
Property Address: 125 THAMES ST

Mailing Address: THAMES STREET NASHUA, LLC
303 MANCHESTER SUITE 303
MANCHESTER, NH 03101

Parcel Number: 10-61
CAMA Number: 10-61
Property Address: THAMES ST

Mailing Address: THAMES STREET NASHUA, LLC
303 MANCHESTER SUITE 303
MANCHESTER, NH 03101

Parcel Number: 10-62
CAMA Number: 10-62
Property Address: CONSTITUTION ST

Mailing Address: THAMES STREET NASHUA, LLC
303 MANCHESTER SUITE 303
MANCHESTER, NH 03101



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200 foot Abutters List Report

Bristol, RI
December 15, 2023

Parcel Number: 10-73 CAMA Number: 10-73 Property Address: CONSTITUTION ST	Mailing Address: THAMES STREET NASHUA, LLC 670 NORTH COMMERCIAL ST, SUITE 303 MANCHESTER, NH 03101
Parcel Number: 11-10 CAMA Number: 11-10 Property Address: 4 CONSTITUTION ST	Mailing Address: KARIAN, ROBIN 37 FACTORY POND CIRCLE GREENVILLE, RI 02828
Parcel Number: 11-11 CAMA Number: 11-11 Property Address: THAMES ST	Mailing Address: USCG FINANCE CENTER P.O. BOX 4109 CHESAPEAKE, VA 23327
Parcel Number: 11-12 CAMA Number: 11-12 Property Address: 2 THAMES ST	Mailing Address: USCG FINANCE CENTER P.O. BOX 4109 CHESAPEAKE, VA 23327
Parcel Number: 11-13 CAMA Number: 11-13-001 Property Address: 249 HOPE ST	Mailing Address: SYLVIA, ALAN G. ET UX ANN M. 13033 PENNINGTON PL UNIT #102 FORT MEYERS, FL 33913
Parcel Number: 11-13 CAMA Number: 11-13-002 Property Address: 249 HOPE ST	Mailing Address: MCCLOSKEY, JOHN A. JR. 249 HOPE ST UNIT 2 BRISTOL, RI 02809
Parcel Number: 11-13 CAMA Number: 11-13-003 Property Address: 249 HOPE ST	Mailing Address: SALESI, PAUL JOHN & MARYANN - TRUSTEES SALESI LIVING TRUST 249 HOPE ST, UNIT 3 BRISTOL, RI 02809
Parcel Number: 11-13 CAMA Number: 11-13-004 Property Address: 249 HOPE ST	Mailing Address: GATES, ANNE M 4165 S. FOURMILE RUN APT 401 ARLINGTON, VA 22204
Parcel Number: 11-13 CAMA Number: 11-13-005 Property Address: 249 HOPE ST	Mailing Address: MURRAY, ROBERT F 249 HOPE ST UNIT 5 BRISTOL, RI 02809
Parcel Number: 11-13 CAMA Number: 11-13-006 Property Address: 249 HOPE ST	Mailing Address: SOUSA, MICHAEL 249 HOPE ST UNIT 6 BRISTOL, RI 02809
Parcel Number: 11-13 CAMA Number: 11-13-007 Property Address: 249 HOPE ST	Mailing Address: SCHNEIDER, ROBERT J & SCHNEIDER, PAMELA BRITT TE 249 HOPE ST # 7 BRISTOL, RI 02809
Parcel Number: 11-13 CAMA Number: 11-13-008 Property Address: 249 HOPE ST	Mailing Address: DIPIPPO, MICHAEL C/O CUSTOM MARINE PLASTICS 281 FRANKLIN ST UNIT 1A BRISTOL, RI 02809



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12/15/2023

Page 2 of 3



200 foot Abutters List Report

Bristol, RI
December 15, 2023

Parcel Number: 11-13 CAMA Number: 11-13-009 Property Address: 249 HOPE ST	Mailing Address: FERREIRA, ROBERT A. BARBARA M. TE 249 HOPE STREET BRISTOL, RI 02809
Parcel Number: 11-20 CAMA Number: 11-20 Property Address: 8 CONSTITUTION ST	Mailing Address: HALSEY PROPERTIES, LLC PO BOX 687 18 BURNSIDE ST BRISTOL, RI 02809
Parcel Number: 11-21 CAMA Number: 11-21 Property Address: THAMES ST	Mailing Address: GORDON KARIAN IRREVOCABLE TRST ROBIN KARIAN ALLISTER TRUSTEE 37 FACTORY POND CIRCLE GREENVILLE, RI 02828
Parcel Number: 11-22 CAMA Number: 11-22 Property Address: CONSTITUTION ST	Mailing Address: USCG FINANCE CENTER P.O. BOX 4109 CHESAPEAKE, VA 23327
Parcel Number: 11-23 CAMA Number: 11-23 Property Address: CONSTITUTION ST	Mailing Address: USCG FINANCE CENTER P.O. BOX 4109 CHESAPEAKE, VA 23327
Parcel Number: 11-4 CAMA Number: 11-4 Property Address: 20 CONSTITUTION ST	Mailing Address: RDH REALTY, LLC 12 CONSTITUTION ST BRISTOL, RI 02809
Parcel Number: 11-5 CAMA Number: 11-5 Property Address: 16 CONSTITUTION ST	Mailing Address: JENSEN, LEIF 16 CONSTITUTION ST BRISTOL, RI 02809
Parcel Number: 11-6 CAMA Number: 11-6 Property Address: 12 CONSTITUTION ST	Mailing Address: HOLT, ROBERT C & DIANE M TE 12 CONSTITUTION ST BRISTOL, RI 02809
Parcel Number: 11-7 CAMA Number: 11-7 Property Address: 10 CONSTITUTION ST	Mailing Address: RDH REALTY, LLC 12 CONSTITUTION ST BRISTOL, RI 02809
Parcel Number: 11-9 CAMA Number: 11-9 Property Address: THAMES ST	Mailing Address: GORDON KARIAN IRREVOCABLE TRST ROBIN KARIAN ALLISTER TRUSTEE 37 FACTORY POND CIRCLE GREENVILLE, RI 02828



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SOLD BY:

Lansing Building Products-Warwick
PO Box 6649
Richmond, VA 23230-0649
Fax: 781-899-2072

SOLD TO:

Marshall Bldg & Rem Co
152 Forbes Street
SUITE 1
East Providence, RI 02915

CREATED DATE
11/10/2023

LATEST UPDATE
11/13/2023

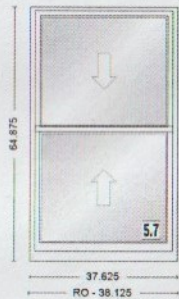
OWNER
Chirstine
Ciaramitaro

Abbreviated Quote Report - Customer Pricing

Karian

QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID
Tim T 11.10, Marshall	MARSHALL BLDG & REM CO 1027520	4952139		762352

ORDER NOTES: DELIVERY NOTES:



Item	Qty	Operation	Location
100	6	AA	None Assigned



RO Size = 38 1/8" x 64 7/8"

Unit Size = 37 5/8" x 64 7/8"

WDH3052E, Unit, 400 Series Woodwright Double-Hung, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/Unfinished Interior Frame, Pine w/Unfinished Interior Sash/Panel, AA, Dual Pane Low-E4 PassiveSun HeatLock Standard Argon Fill Stainless Glass / Grille Spacer, Traditional, 2 Sash Locks Stone, White/GrayJamb Liner, White, Full Screen, Aluminum Wrapping: 6 9/16" Interior Extension Jamb Pine / Unfinished Standard Head and Side Member Extension Jambs, Factory Applied, Pine / Unfinished Stool

Insect Screen 1: 400 Series Woodwright Double-Hung, WDH3052E Full Screen Aluminum White PN:1610141

Stool Option: WDH3052E 6 9/16" Wall Thickness Pine Unfinished PN:1613754

Unit #	U-Factor	SHGC	ENERGY STAR	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	0.26	0.46	YES	A1	33.8750	28.2500	6.64000



CAI Property Card

Town of Bristol, RI

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR
LOCATION: 5 THAMES ST ACRES: 0.0692 PARCEL ID: 11 8 LAND USE CODE: 01 CONDO COMPLEX: OWNER: ALLISTER, ROBIN K CO - OWNER: MAILING ADDRESS: 37 FACTORY POND CIRCLE ZONING: R-6 PATRIOT ACCOUNT #: 606	BUILDING STYLE: Ranch UNITS: 1 YEAR BUILT: 1900 FRAME: Wood Frame EXTERIOR WALL COVER: Clapboard ROOF STYLE: Hip ROOF COVER: Asphalt Shin
	BUILDING INTERIOR
SALE INFORMATION SALE DATE: 10/10/2006 BOOK & PAGE: 1329-33 SALE PRICE: 0 SALE DESCRIPTION: SELLER: KARIAN, GORDON	INTERIOR WALL: Drywall FLOOR COVER: Hardwood HEAT TYPE: BB Electric FUEL TYPE: Electric PERCENT A/C: False # OF ROOMS: 4 # OF BEDROOMS: 1 # OF FULL BATHS: 1 # OF HALF BATHS: 0 # OF ADDITIONAL FIXTURES: 1 # OF KITCHENS: 1 # OF FIREPLACES: 1 # OF METAL FIREPLACES: 0 # OF BASEMENT GARAGES: 0
PRINCIPAL BUILDING AREAS	
GROSS BUILDING AREA: 2601 FINISHED BUILDING AREA: 1062 BASEMENT AREA: 819 # OF PRINCIPAL BUILDINGS: 1	
ASSESSED VALUES	
LAND: \$234,700 YARD: \$0 BUILDING: \$145,900 TOTAL: \$380,600	
SKETCH	PHOTO



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hallbr.com
438-1499

tle for less?

Search Google Maps



Item 6.



4 Constitution St

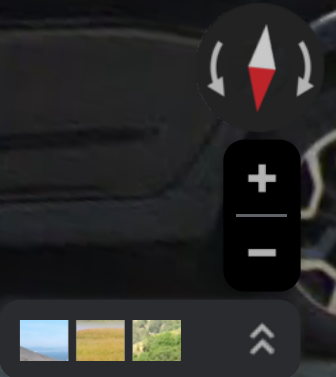
Bristol, Rhode Island



Google Street View

Jul 2023

See more dates



HDC-23-180



Bristol Historic District Commission

Application for review of proposed Work

1. Property Address (Street & No.) 21 Bardford St.

2. Plat # 9 Lot # 22

3. a. Applicant: Ledgehill Properties, LLC

b. Owner (if different from applicant written authorization of owner required):

Mailing Address:

Phone: 5089589231

Email:

4. a. Architect/Draftsman: Cordelia Dawson

Phone: 4014241612

Email: cordy.dawson@gmail.com

b. Contractor: Ledgehill Properties, LLC

Phone: 5089859231

Email: esciacca@verizon.net

5. Work Category:

Sign(s)/Landscaping

6. Description of proposed work:

Fencing, decking material, AC condenser locations and driveway proposed

7. Property History

Ledgehill Properties, LLC

Elvio Sciacca

Applicant's Name – Printed

Applicant's Sign

105

Date: December 19, 2023



CAI Property Card

Town of Bristol, RI

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR
LOCATION: 21 BRADFORD ST ACRES: 0.1274 PARCEL ID: 9 22 LAND USE CODE: 02 CONDO COMPLEX: OWNER: LEDGEHILL PROPERTIES, LLC CO - OWNER: MAILING ADDRESS: 86 PEEPTOAD ROAD ZONING: W PATRIOT ACCOUNT #: 325	BUILDING STYLE: 3 Family UNITS: 1 YEAR BUILT: 1754 FRAME: Wood Frame EXTERIOR WALL COVER: Wood Shngle ROOF STYLE: Gable ROOF COVER: Asphalt Shin
	BUILDING INTERIOR
SALE INFORMATION SALE DATE: 3/15/2019 BOOK & PAGE: 1975-330 SALE PRICE: 350,000 SALE DESCRIPTION: Foreclosure/ SELLER: US BANK TRUST NA TRUSTEE	INTERIOR WALL: Drywall FLOOR COVER: Hardwood HEAT TYPE: BB Hot Water FUEL TYPE: Oil PERCENT A/C: False # OF ROOMS: 11 # OF BEDROOMS: 3 # OF FULL BATHS: 3 # OF HALF BATHS: 0 # OF ADDITIONAL FIXTURES: 2 # OF KITCHENS: 3 # OF FIREPLACES: 0 # OF METAL FIREPLACES: 0 # OF BASEMENT GARAGES: 0
PRINCIPAL BUILDING AREAS	
GROSS BUILDING AREA: 5131 FINISHED BUILDING AREA: 2872 BASEMENT AREA: 1196 # OF PRINCIPAL BUILDINGS: 1	
ASSESSED VALUES	
LAND: \$213,000 YARD: \$0 BUILDING: \$255,400 TOTAL: \$468,400	
SKETCH	PHOTO

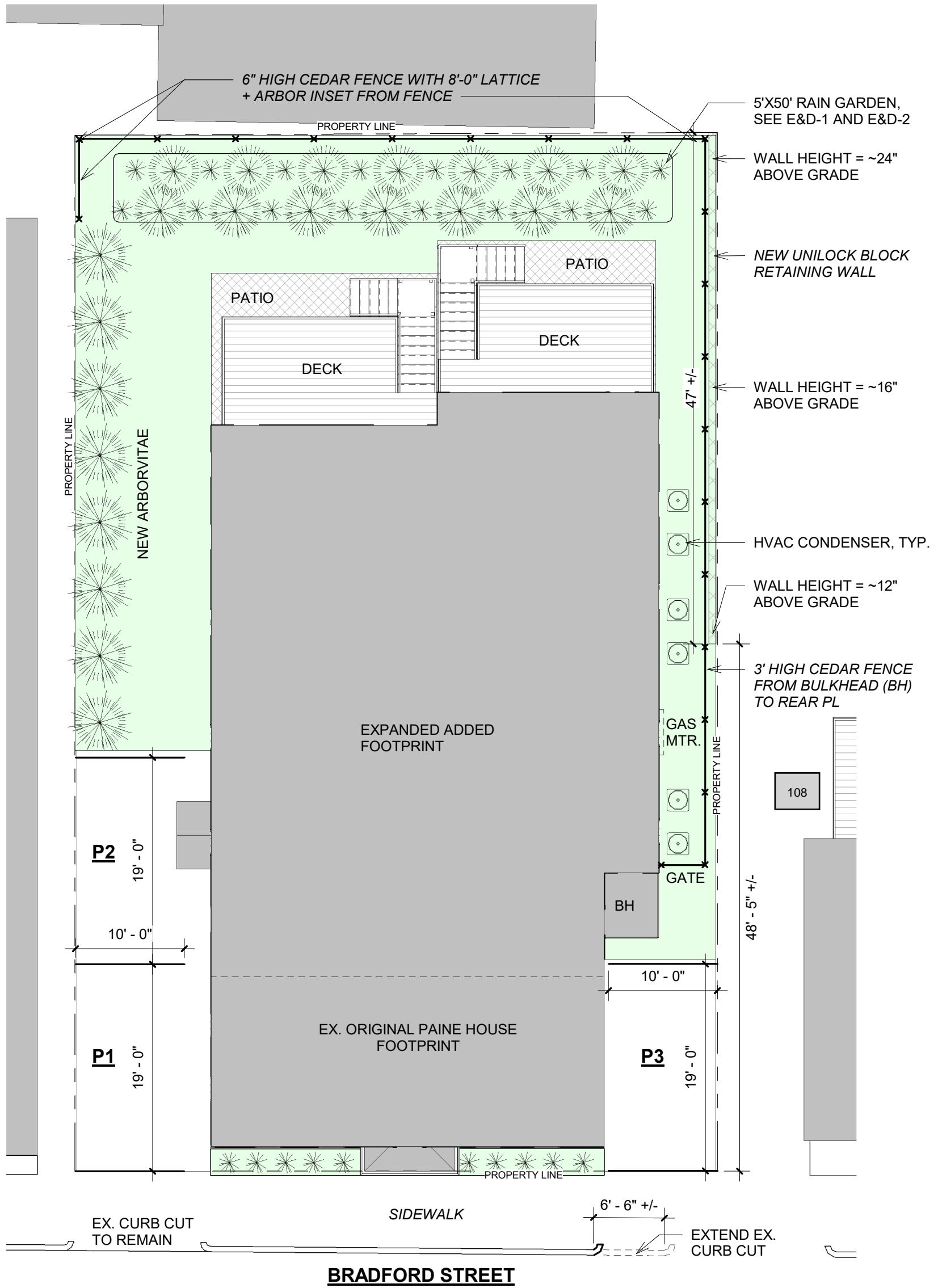


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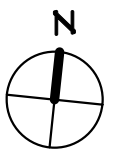
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SPECIFICATIONS

- 3' HIGH FENCING: Wood & Wire Cedar Spaced Classic Picket Fence
- 6' HIGH FENCING: Wood & Wire Cedar Flatboard with Cap
- LATTICE + ARBOR: Custom 16" cedar 1x1 square cedar lattice capped by 1x4 cedar arbor on 4x4 cedar posts. To extend from top of 6' High Fencing to 8' above grade.
- EXTERIOR DECKING: Timbertech Prime + Composite
- EXTERIOR RAILING SYSTEM: Timbertech Composite Cable Rail system
- EXTERIOR DECK TRIM: Azek Trim boards
- EXTERIOR DECK POST COVERINGS: Azek Deck Column Wraps
- PATIO PAVERS: Unilock Pavers, 'Beacon Hill'
- RETAINING WALL: Nicolock 'Alta Wall'
- DRIVENAYS/PARKING [P 1, P 2, + P 3]: Asphalt



① NEW LANDSCAPE PLAN
1" = 10'-0"



3 ATTACHED TOWNHOUSE CONDOMINIUMS
RENO/ ADDITION
21 Bradford Street
Bristol, RI 02809

EXT. IMPROVEMENTS
SKA-17

Project No.: R31920	Drawn by: CD
Date: 12/15/23	Checked by: -
Scale: 1" = 10'-0"	



200 foot Abutters List Report

Bristol, RI
December 18, 2023

Subject Property:

Parcel Number: 9-22
CAMA Number: 9-22
Property Address: 21 BRADFORD ST

Mailing Address: LEDGEHILL PROPERTIES, LLC
86 PEEPTOAD ROAD
SCITUATE, RI 02857

Abutters:

Parcel Number: 9-11
CAMA Number: 9-11
Property Address: 617 HOPE ST

Mailing Address: SANSONE, AMELIA M. TRUSTEE THE
ELISA SANSONE TRUST-2013
617 HOPE ST
BRISTOL, RI 02809

Parcel Number: 9-12
CAMA Number: 9-12
Property Address: 392 THAMES ST

Mailing Address: CARVARA, CYNTHIA N.
90 GRELOCK RD
BRISTOL, RI 02809

Parcel Number: 9-14
CAMA Number: 9-14
Property Address: 601 HOPE ST

Mailing Address: BAYCOAST BANK C/O ACCOUNTS
PAYABLE
330 SWANSEA MALL DR
SWANSEA, MA 02777

Parcel Number: 9-15
CAMA Number: 9-15
Property Address: 382 THAMES ST

Mailing Address: DEALMEIDA, LOUIS A
406 THAMES ST
BRISTOL, RI 02809

Parcel Number: 9-16
CAMA Number: 9-16
Property Address: 583 HOPE ST

Mailing Address: SHUSMAN, MAYNARD (TRUSTEE)
147 BAY SPRING AVE
BARRINGTON, RI 02806

Parcel Number: 9-17
CAMA Number: 9-17
Property Address: 573 HOPE ST

Mailing Address: DAVIS, MARIA K.
573 HOPE ST
BRISTOL, RI 02809

Parcel Number: 9-18
CAMA Number: 9-18
Property Address: BRADFORD ST

Mailing Address: SHUSMAN, MAYNARD (TRUSTEE)
147 BAY SPRING AVE
BARRINGTON, RI 02806

Parcel Number: 9-19
CAMA Number: 9-19
Property Address: 49 BRADFORD ST

Mailing Address: 49 BRADFORD ST, LLC
5 KYALIN AVE
WARREN, RI 02885

Parcel Number: 9-20
CAMA Number: 9-20
Property Address: BRADFORD ST

Mailing Address: 49 BRADFORD ST, LLC
5 KYALIN AVE
WARREN, RI 02885

Parcel Number: 9-21
CAMA Number: 9-21
Property Address: 31 BRADFORD ST

Mailing Address: MILL PND BLDG AND DESIGN, INC
31 BRADFORD ST
BRISTOL, RI 02809



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200 foot Abutters List Report

Bristol, RI
December 18, 2023

Parcel Number: 9-23
CAMA Number: 9-23
Property Address: 1 BRADFORD ST

Mailing Address: ONE BRADFORD, LLC
1 BRADFORD ST
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-001
Property Address: 345 THAMES ST 101N

Mailing Address: JOHNSON, PETER T & ANDREA R TE
345 THAMES ST UNIT N101
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-002
Property Address: 345 THAMES ST 102N

Mailing Address: SAUL, DEBRA A
345 THAMES ST # 102
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-003
Property Address: 345 THAMES ST 103N

Mailing Address: SB2, LLC
345 THAMES ST, UNIT N-110
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-004
Property Address: 345 THAMES ST 104N

Mailing Address: BARRENECHEA, MARIO I. & ANA MARIA G. TE
345 THAMES ST UNIT N104
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-005
Property Address: 345 THAMES ST 105N

Mailing Address: WAYLAND WILLIAM F & LORNA E TRUSTEES REVOC
345 THAMES ST UNT 105 N
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-006
Property Address: 345 THAMES ST 106N

Mailing Address: DEMARCO, MICHAEL D. ELIZABETH M. TE
345 THAMES ST UNIT 106N
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-008
Property Address: 345 THAMES ST 108N

Mailing Address: CHRISTOPHER, JANET E TRUSTEE
CHRISTOPHER FAMILY TRUST
345 THAMES ST #108
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-009
Property Address: 345 THAMES ST 109N

Mailing Address: HURST, JAMES WILLIAM & RANDELLE LEE, TRUSTEES HURST FAMILY 2012 TRUST
345 THAMES ST, Unit N109
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-010
Property Address: 345 THAMES ST 110N

Mailing Address: HOLLAND, JOYCE A.
345 THAMES ST UNIT 110N
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-011
Property Address: 345 THAMES ST 201N

Mailing Address: BUNN, JAMES BENNING SR & BUNN, JACQUELINE BRYAN TE
141A Main St
Tuckahoe, NY 10707

Parcel Number: 9-24
CAMA Number: 9-24-012
Property Address: 345 THAMES ST 202N

Mailing Address: KUFFNER, TAMARA
9 WALNUT RD
BARRINGTON, RI 02806



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200 foot Abutters List Report

Bristol, RI
December 18, 2023

Parcel Number: 9-24 CAMA Number: 9-24-013 Property Address: 345 THAMES ST 203N	Mailing Address: SHERMAN, MAX CHRISTOPHER & MARY B. TE 746 SPINNAKER BEACHHOUSE VILLA SEABROOK ISLAND, SC 29456
Parcel Number: 9-24 CAMA Number: 9-24-014 Property Address: 345 THAMES ST 204N	Mailing Address: BERNARDO, MATTHEW P 345 THAMES ST, UNIT 204N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-015 Property Address: 345 THAMES ST 205N	Mailing Address: MCSTAY, JAMES P. CHERYL A. ETUX TE 345 THAMES ST UNIT 205N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-016 Property Address: 345 THAMES ST 206N	Mailing Address: OBRIEN, MICHAEL T. DENISE E. TE 345 THAMES ST UNIT 206N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-017 Property Address: 345 THAMES ST 207N	Mailing Address: CAPODILUPO, PETER & JENNIFER C 345 Thames St Unit 207 Bristol, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-018 Property Address: 345 THAMES ST 208N	Mailing Address: FITZPATRICK, CAROL A., TRUSTEE CAROL A FITZPATRICK REVOCABLE TRUST 345 THAMES ST, UNIT 208N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-019 Property Address: 345 THAMES ST 209N	Mailing Address: SARKISIAN, HERBERT A. JANET E. TE 345 THAMES ST UNIT N209 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-020 Property Address: 345 THAMES ST 210N	Mailing Address: FEINS, NEIL R & CHRISTINE TRUSTEES 19 MARSHAL ST BROOKLINE, MA 02446
Parcel Number: 9-24 CAMA Number: 9-24-021 Property Address: 345 THAMES ST 301N	Mailing Address: ROSS, MICHAEL C & ASTRID L TRUSTEES 363 ADAMS ST DENVER, CO 80206
Parcel Number: 9-24 CAMA Number: 9-24-022 Property Address: 345 THAMES ST 302N	Mailing Address: ZELINGER, ELIZABETH A & GERALD D TE 345 THAMES ST UNIT N302 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-023 Property Address: 345 THAMES ST 303N	Mailing Address: SHAMS, NICOLE 345 THAMES ST., UNIT N-303 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-024 Property Address: 345 THAMES ST 304N	Mailing Address: PHILLIPS, JOHN S & KIMBERLY L TE 345 THAMES ST 304N BRISTOL, RI 02809



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Bristol, RI
December 18, 2023

Parcel Number: 9-24 CAMA Number: 9-24-025 Property Address: 345 THAMES ST 305N	Mailing Address: HANKIN, ROBERT B & CHERYL B, TRUSTEES ROBERT B & CHERYL B HANKIN TRUST TC 56 RAMBLING DR SCOTCH PLAINS, NJ 07076-2955
Parcel Number: 9-24 CAMA Number: 9-24-026 Property Address: 345 THAMES ST 306N	Mailing Address: LI, HSI-CHENG TRUSTEE 345 THAMES ST UNIT N306 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-027 Property Address: 345 THAMES ST 307N	Mailing Address: SUTTON, HOWARD G & KIMBERLY G P TE 14685 KELSON CIRCLE NAPLES, FL 34114
Parcel Number: 9-24 CAMA Number: 9-24-028 Property Address: 345 THAMES ST 308N	Mailing Address: FRIDOVICH, SHEILA CONSTANCE TR 345 THAMES ST # N308 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-029 Property Address: 345 THAMES ST 309N	Mailing Address: RIPP, PETER & MARI TRUSTEES 345 THAMES ST UNIT N309 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-030 Property Address: 345 THAMES ST 310N	Mailing Address: BUSCH, ROBERT S. (1/2) TRUSTEE & BUSCH, KATHLEEN B. (1/2) TRUSTEE 52 BENTWOOD COURT EAST ALBANY, NY 12203
Parcel Number: 9-24 CAMA Number: 9-24-031 Property Address: 345 THAMES ST 401N	Mailing Address: LOUISE I. PLACIDO IRREVOCABLE TRUST KAUFMAN, BRETT A. TRUSTEE 345 THAMES ST, Unit 401N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-032 Property Address: 345 THAMES ST 402N	Mailing Address: PINK, LOIS & ANDREW TRUSTEES 345 THAMES ST UNIT402N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-033 Property Address: 345 THAMES ST 403N	Mailing Address: BOLTON, ALICE C & FOREST E TE 345 THAMES ST UNIT 403N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-034 Property Address: 345 THAMES ST 404N	Mailing Address: VAN DEVENTER, MARY P. & BRENNAN, KIMBERLY C. TRUSTEES 345 THAMES ST, UNIT 404N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-035 Property Address: 345 THAMES ST 405N	Mailing Address: FLORIO, IRENE M TRUSTEE IRENE M FLORIO TRUST 345 THAMES ST UNIT 405N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-036 Property Address: 345 THAMES ST 406N	Mailing Address: JACKSON, LISA R 345 THAMES ST, UNIT N-406 BRISTOL, RI 02809



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Bristol, RI
December 18, 2023

Parcel Number: 9-24
CAMA Number: 9-24-037
Property Address: 345 THAMES ST 407N

Mailing Address: RHODE, GRANT F & KATZ, JUDITH TRUSTEES
345 THAMES ST UNT 407N
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-038
Property Address: 345 THAMES ST 408N

Mailing Address: ROWE, ABIGAIL CAMPBELL & DAY, SARAH CAMPBELL TRUSTEES
215 COTTONTAIL DRIVE
PORTSMOUTH, RI 02871

Parcel Number: 9-24
CAMA Number: 9-24-039
Property Address: 345 THAMES ST 409N

Mailing Address: MARTIN, WILLIAM R & JOAN P TRUSTEES
345 THAMES ST UNIT 409N
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-040
Property Address: 345 THAMES ST 410N

Mailing Address: CASTRIOTTA, LAURA J - TRUSTEE
LAURA J CASTRIOTTA TRUST
345 THAMES ST, UNIT N410
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-041
Property Address: 345 THAMES ST 501N

Mailing Address: DAVIDSON, ASIA MARIA
345 THAMES ST, UNIT 501N
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-042
Property Address: 345 THAMES ST 502N

Mailing Address: DUNN, JOHN G. JR TRUSTEE
345 THAMES ST UNIT N502
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-043
Property Address: 345 THAMES ST 503N

Mailing Address: WANG, YINGFEI
59 CRESTVIEW RD
MILTON, MA 02186

Parcel Number: 9-24
CAMA Number: 9-24-044
Property Address: 345 THAMES ST 504N

Mailing Address: SUGARMAN, LOUIS TRST ETAL JT MARAGHY, PAUL
345 THAMES ST UNIT 504N
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-045
Property Address: 345 THAMES ST 505N

Mailing Address: CHAMPAGNE, MICHEALA J.
345 THAMES ST UNIT 505N
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-046
Property Address: 345 THAMES ST 506N

Mailing Address: LUCINI, GREGORY L & PATRICIA A TE
345 THAMES ST UNIT 506N
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-047
Property Address: 343 THAMES ST 101M

Mailing Address: SPANG, HENRY A IV & LINDA TE
343 THAMES ST UNIT M-101
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-048
Property Address: 343 THAMES ST 102M

Mailing Address: HICKEY, MICHAEL J. & KATHLEEN O. TRUSTEES
74 CARNEGIE HEIGHTS DR
PORTSMOUTH, RI 02871



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200 foot Abutters List Report

Bristol, RI
December 18, 2023

Parcel Number: 9-24 CAMA Number: 9-24-049 Property Address: 343 THAMES ST 103M	Mailing Address: RATFORD, VINCENT MARGUERITE TE 343 THAMES ST UNIT 103M BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-050 Property Address: 343 THAMES ST 104M	Mailing Address: ISRAEL, SCOTT & JAFFE, ALICE TE 88 ABBOT ST ANDOVER, MA 01810
Parcel Number: 9-24 CAMA Number: 9-24-051 Property Address: 343 THAMES ST 301M	Mailing Address: CIVALE, CHRISTOPHER J & BELLAMY, KARA E TRUSTEES 343 THAMES ST # M 301 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-052 Property Address: 343 THAMES ST 302M	Mailing Address: FETTER, JANET M TRUSTEE JANET M FETTER TRUST 343 THAMES ST 302M BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-053 Property Address: 343 THAMES ST 303M	Mailing Address: GOODNOW, CHRISTOPHER & ANDREA TE 343 THAMES ST, UNIT M-303 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-054 Property Address: 343 THAMES ST 304M	Mailing Address: NASTRO, KIMBERLY & DAVID TE 29 WEST 85th ST, APT 3 NEW YORK, NY 10024
Parcel Number: 9-24 CAMA Number: 9-24-055 Property Address: 341 THAMES ST 101S	Mailing Address: KITS VAN HEYNINGEN, ROBERT W. DEBRA A TE 18 FESSER AVE BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-056 Property Address: 341 THAMES ST 102S	Mailing Address: JON JACQUELINE JORDAN RP TRUST 6924 HICKORY HILL AVE MCLEAN, VA 22101
Parcel Number: 9-24 CAMA Number: 9-24-057 Property Address: 341 THAMES ST 103S	Mailing Address: JACKSON, DEBRA P 174 PINE GLEN DR EAST GREENWICH, RI 02818
Parcel Number: 9-24 CAMA Number: 9-24-058 Property Address: 341 THAMES ST 104S	Mailing Address: LUDLOW, LYNN LEE & LAWRENCE, JAMES S ESQ TRUSTEES-ABRAMSON & LUDLOW TRUST 341 THAMES ST, UNIT 104S BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-059 Property Address: 341 THAMES ST 105S	Mailing Address: FALTEN, PAUL J. & CAROL MILLIAN TE 341 THAME ST, Unit 105S BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-060 Property Address: 341 THAMES ST 106S	Mailing Address: LEIBOWITZ, DAVID E & PEGGY A TE 341 THAMES ST UNIT 106S BRISTOL, RI 02809



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Bristol, RI
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Parcel Number: 9-24
CAMA Number: 9-24-061
Property Address: 341 THAMES ST 107S

Mailing Address: BERKELEY, DUNCAN & AMY TE
67 CENTRAL ST
GEORGETOWN, MA 01833

Parcel Number: 9-24
CAMA Number: 9-24-062
Property Address: 341 THAMES ST 108S

Mailing Address: TETU, NORMAND P GINNY L. TE
190 BICENTENNIAL DR
HOOKSETT, NH 03106

Parcel Number: 9-24
CAMA Number: 9-24-063
Property Address: 341 THAMES ST 109S

Mailing Address: SAWYER, MICHAEL
341 THAMES ST, UNIT 109S
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-064
Property Address: 341 THAMES ST 110S

Mailing Address: LEENUTAPHONG, DEBORAH LYNN &
NARUEKORN TRUSTEES
341 THAMES ST UNIT S110
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-065
Property Address: 341 THAMES ST 201S

Mailing Address: LAPOINTE, WILLIAM H. & LAPOINTE,
DONNE M. TRUSTEES
3756 JUNGLE PLUM DR E
NAPLES, FL 34114

Parcel Number: 9-24
CAMA Number: 9-24-066
Property Address: 341 THAMES ST 202S

Mailing Address: BOUCHARD, KENNETH & RIKKI HANSEN
- TRUSTEES KENNETH P & RIKKI
HANSEN BOUCHARD TRUSTS
25 RELIANCE DR
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-067
Property Address: 341 THAMES ST 203S

Mailing Address: OZTERMIYECI, MUSTAFA MURAT &
MATOOK, DEBORAH JOY TE
341 THAMES ST UNIT S203
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-068
Property Address: 341 THAMES ST 204S

Mailing Address: CAMOSCI, ROBERT E & GAIL D TE
341 THAMES ST UNIT 204S
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-069
Property Address: 341 THAMES ST 205S

Mailing Address: KAWAOKA, ERIC J & ESTA TRUSTEES
FAMILY TRUST
341 THAMES ST 205S
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-070
Property Address: 341 THAMES ST 206S

Mailing Address: BRAVE, ILENE E & DENNIS G -
TRUSTEES ILENE E BRAVE TRUST
PO BOX 906
BROOKLANDVILLE, MD 21022

Parcel Number: 9-24
CAMA Number: 9-24-071
Property Address: 341 THAMES ST 207S

Mailing Address: PETERSON, JEFFREY
519 GREGORY AVE
WILMETTE, IL 60091

Parcel Number: 9-24
CAMA Number: 9-24-072
Property Address: 341 THAMES ST 208S

Mailing Address: GARRITY, JOHN
341 THAMES ST, UNIT 208S
BRISTOL, RI 02809



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Bristol, RI
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Parcel Number: 9-24
CAMA Number: 9-24-073
Property Address: 341 THAMES ST 209S

Mailing Address: FAY, PAUL D & CURTIS, JULIE M TE
1443 BEACON ST
BROOKLINE, MA 02446

Parcel Number: 9-24
CAMA Number: 9-24-074
Property Address: 341 THAMES ST 210S

Mailing Address: GRAY, ROBERT C & PATRICIA A
TRUSTEES
341 THAMES ST 210S
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-075
Property Address: 341 THAMES ST 301S

Mailing Address: BRUNING, KARLA GANTZ, KATHLEEN
341 THAMES ST 301S
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-076
Property Address: 341 THAMES ST 302S

Mailing Address: MORSE, ANN R. TRUSTEE ANN R.
MORSE 1993 TRUST
341 THAMES ST 302 S
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-077
Property Address: 341 THAMES ST 303S

Mailing Address: MUSKET, DAVID B.
1655 BAY HARBOR LN
SARASOTA, FL 34231

Parcel Number: 9-24
CAMA Number: 9-24-079
Property Address: 341 THAMES ST 305S

Mailing Address: REIG, VIBEKE G TRUSTEE VIBEKE
REIG LIVING TRUST
341 THAMES ST UNIT S305
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-080
Property Address: 341 THAMES ST 306S

Mailing Address: LYNCH, JOHN J TRUSTEE
341 THAMES ST UNIT S306
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-081
Property Address: 341 THAMES ST 307S

Mailing Address: DEMARCO, GREGORY M. & AMY
TRUSTEES
341 THAMES ST S-307
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-082
Property Address: 341 THAMES ST 308S

Mailing Address: WILKER, RICHARD E & WILKER,
PHYLLIS BLOOM TRUSTEES
341 THAMES ST UNIT S-308
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-083
Property Address: 341 THAMES ST 309S

Mailing Address: KUBLIN, DONNA E & STANLEY B TR
341 THAMES ST UNIT 309S
BRISTOL, RI 02809

Parcel Number: 9-24
CAMA Number: 9-24-101
Property Address: THAMES ST

Mailing Address: STONE HARBOUR MARINA, LLC C/O
WILLIAM MARTIN
691 15TH AVE SOUTH
NAPLES, FL 34102-7424

Parcel Number: 9-24
CAMA Number: 9-24-102
Property Address: THAMES ST

Mailing Address: STONE HARBOUR MARINA, LLC C/O
JOHNSON, PETER & ANDREA
345 THAMES ST UNIT N101
BRISTOL, RI 02809



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200 foot Abutters List Report

Bristol, RI
December 18, 2023

Parcel Number: 9-24 CAMA Number: 9-24-103 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC. CHAMPAGNE, KEVIN & MICHAELA 4525 S. ATLANTIC AVE PORT ORANGE, FL 32177-7061
Parcel Number: 9-24 CAMA Number: 9-24-104 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC. NASTRO, DAVID & KIM 343 THAMES ST M304 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-105 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O MUSKET, DAVID B. 1655 BAY HARBOR LN SARASOTA, FL 34231
Parcel Number: 9-24 CAMA Number: 9-24-106 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC. OZTERMIYECI, MUSTAFA M 341 THAMES ST S203 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-107 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O VIBEKE REIG LIV TRUST 341 THAMES ST S305 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-108 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC RIPP, PETER & MARI 345 THAMES ST N309 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-109 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O GREG LUNCINI 345 THAMES ST, Unit N506 BRISTOL, RI 02809-4116
Parcel Number: 9-24 CAMA Number: 9-24-110 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O MARIO BARRENECHEA 345 THAMES ST, Unit N104 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-111 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O ROBERT & PATRICIA GRAY 341 THAMES ST UNT S210 BRISTOL, RI 02809-2407
Parcel Number: 9-24 CAMA Number: 9-24-112 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O JOHN G DUNN 345 THAMES ST N502 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-113 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA LLC C/O KUBLIN, DONNA & STAN 341 THAMES ST 309S BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-114 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O ROBERT B HANKIN TRUST 56 RAMBLING DR SCOTCH PLAINS, NJ 07076



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200 foot Abutters List Report

Bristol, RI
December 18, 2023

Parcel Number: 9-24 CAMA Number: 9-24-115 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O CAPODILUPO, PETER & JENNIFER 345 THAMES ST UNIT 207 BRISTOL, 02809
Parcel Number: 9-24 CAMA Number: 9-24-116 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC JAMES & RANDELLE HURST 345 THAMES ST UNIT 109N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-117 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC TRUSTEES OF THE HURST FAMILY 345 THAMES ST 109N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-118 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC. MICHAEL & DENISE O'BRIEN 345 THAMES ST 206N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-119 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC HERBERT & JANET SARKISIAN 345 THAMES ST N209 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-120 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O WILLIAM & DONNA LAPOINTE TRUSTEES 341 THAMES ST S201 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-121 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC. GINNY & NORMAND TETU 190 BICENTENNIAL DR HOOKSETT, NH 03106-2702
Parcel Number: 9-24 CAMA Number: 9-24-122 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC. C/O ABRAMSON, SUSAN & EDWARD 341 THAMES ST UNT 104S BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-123 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC. C/O BUSCH, ROBERT & KATHLEEN 52 BENTWOOD CT ALBANY, NY 12203-4810
Parcel Number: 9-24 CAMA Number: 9-24-124 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC. C/O MATTHEW BERNARDO 345 THAMES ST, Unit 204N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-125 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC BUSCH, ROBERT & KATHY 52 BENTWOOD CT ALBANY, NY 12203
Parcel Number: 9-24 CAMA Number: 9-24-126 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC. C/O NEIL & CHRISTINE FEINS 19 MARSHAL ST BROOKLINE, MA 02446-5418



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200 foot Abutters List Report

Bristol, RI
December 18, 2023

Parcel Number: 9-24 CAMA Number: 9-24-127 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC. C/O BRAVE, ILENE E. & DENNIS G. TRUSTEES 341 THAMES ST S206 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-128 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC. LI, HSI- CHENG 345 THAMES ST UNT 306 N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-129 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC. LI, HSI- CHENG 345 THAMES ST UNIT 306N BRISTOL, RI 02809-9195
Parcel Number: 9-24 CAMA Number: 9-24-130 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O SHERMAN, MAX CHRISTOPHER & MARY B. 341 THAMES ST UNIT 205S BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-131 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC. JANET M FETTER REVOCABLE TRUST 1998 343 THAMES ST UNIT M302 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-132 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O MICHAEL & DENISE O'BRIEN 345 THAMES ST 206N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-133 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O JOHN S & KIMBERLY PHILLIPS 265 TWIN LAKES DR GETTYSBURG, PA 17325-8540
Parcel Number: 9-24 CAMA Number: 9-24-134 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O GRANT RHODE 345 THAMES ST N407 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-135 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC ARTHUR PLACIDO 345 THAMES ST N401 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-136 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O PAUL MARAGHY 345 THAMES ST, Unit N504 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-137 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA SPANG, AUSTIN & LINDA 343 Thames Street Unit M101 Bristol, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-138 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O CAMPBELL, MICHAEL 345 THAMES ST, UNIT N408 BRISTOL, RI 02809



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200 foot Abutters List Report

Bristol, RI
December 18, 2023

Parcel Number: 9-24 CAMA Number: 9-24-139 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O MARIO BARRENECHEA 345 THAMES ST, Unit N104 BRISTOL, RI 02809
Parcel Number: 9-25 CAMA Number: 9-25 Property Address: 567 HOPE ST	Mailing Address: BBH, LLC 567 HOPE ST BRISTOL, RI 02809
Parcel Number: 9-26 CAMA Number: 9-26 Property Address: 555 HOPE ST	Mailing Address: JOHN ANDRADE FOR ANDRADE EQUIPMENT COMPANY 559 HOPE STREET BRISTOL, RI 02809
Parcel Number: 9-28 CAMA Number: 9-28 Property Address: 44 BRADFORD ST	Mailing Address: OCONNELL, ELLEN 30 PARKER ST WATERTOWN, MA 02472-3914
Parcel Number: 9-29 CAMA Number: 9-29 Property Address: 36 BRADFORD ST	Mailing Address: WATSON, JAMES CALVIN & ALLISON ANITA, TRUSTEES JIM & ALLISON WATSON LIVING TRUST 4906 S DEERFIELD DR STILLWATER, OK 74074
Parcel Number: 9-30 CAMA Number: 9-30 Property Address: 30 BRADFORD ST	Mailing Address: SJS ASSOCIATES LLC 93 HIGHLAND RD BRISTOL, RI 02809
Parcel Number: 9-31 CAMA Number: 9-31 Property Address: 22 BRADFORD ST	Mailing Address: 22 BRADFORD LLC 48 CONSTITUTION ST BRISTOL, RI 02809
Parcel Number: 9-32 CAMA Number: 9-32 Property Address: 14 BRADFORD ST	Mailing Address: LACOVARA, ROBERT R & BARBARA 14 BRADFORD ST BRISTOL, RI 02809
Parcel Number: 9-33 CAMA Number: 9-33 Property Address: 326 THAMES ST	Mailing Address: FENSTER, ZACHARY 80 BUTTERWORTH AVE BRISTOL, RI 02809
Parcel Number: 9-34 CAMA Number: 9-34 Property Address: 322 THAMES ST	Mailing Address: BRAUN, EVELYN R & JOHN L TE 118 CONSTITUTION ST BRISTOL, RI 02809
Parcel Number: 9-38 CAMA Number: 9-38 Property Address: THAMES ST	Mailing Address: TSL LLC 244 GANO ST PROVIDENCE, RI 02906
Parcel Number: 9-69 CAMA Number: 9-69 Property Address: 42 BRADFORD ST	Mailing Address: DOYNE, DERMOT & TERESA TE 1058 WASHINGTON ST BRAINTREE, MA 02184



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200 foot Abutters List Report

Bristol, RI
December 18, 2023

Parcel Number: 9-7	Mailing Address: HEWITT, NOEL T & KLONER, CHRISTINE
CAMA Number: 9-7	K TE
Property Address: 631 HOPE ST	631 HOPE ST
	BRISTOL, RI 02809

Parcel Number: 9-76	Mailing Address: NUNES, PETER A.
CAMA Number: 9-76	4 HOPKINS LN
Property Address: HOPE ST	PEACE DALE, RI 02883

Parcel Number: 9-78	Mailing Address: 22 BRADFORD LLC
CAMA Number: 9-78	48 CONSTITUTION ST
Property Address: BRADFORD ST	BRISTOL, RI 02809

Parcel Number: 9-9	Mailing Address: ALMEIDA, WALTER R. TRUSTEE
CAMA Number: 9-9	282 STATE ST
Property Address: 406 THAMES ST	BRISTOL, RI 02809



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FENCING



Spaced Classic

3'-0" High Cedar Fence
Wood & Wire Fence Co. Inc

6'-0" High Cedar Fence
Wood & Wire Fence Co. Inc

Custom 8'-0" High Cedar Lattice and Arbor
inset from fence on 4x4 cedar posts



Flatboard with Cap
(some assembly required)



OUR STORY

TIMBER + TECH

At TimberTech, our goal is to help our customers live their best lives outdoors. To do that, we deliver a superior product that embodies an unrivaled combination of Timber + Tech. Our name says it all. "Timber" captures the beauty, textures, and colors of real wood. "Tech" defines how our decking is engineered to perform far better than wood (or any other composite product), to be low maintenance and high performance—and give you a lifetime of enjoyment.



IN SHORT? TIMBERTECH IS

EVERYTHING WOOD SHOULD BE™

DECKING

Item 7.

WHY CHOOSE

TimberTech®

Timber: The Most Realistic Wood Looks

Designed to resemble the looks of your clients' favorite wood species and types, TimberTech delivers the most natural-looking composite decking — and the largest selection of colors and textures to suit every project.

Tech: Engineered for Performance

With innovative materials technology, our decking **resists fading and staining** — and **won't splinter, peel, crack, or rot**. So your deck will look and perform beautifully for decades with little to no maintenance required. That means you can spend more time with the ones you love — and less time (and money) working on your deck.

Planet: Made Sustainably

Made from up to 80% recycled content — utilizing landfill-bound waste such as milk jugs, plastic bags and even post-industrial scrap like vinyl siding — TimberTech decking is an environmentally friendly choice

PRIME+ COLLECTION®*



Traditional Wood Aesthetic

Opt for a simple, traditional wood aesthetic with the natural, inviting colors and textured straight grain pattern of the Prime+ Collection. The authentic wood visual, minimal maintenance needs, and attainable price point make this collection the ideal choice for clients looking to upgrade from wood.



COCONUT HUSK® SEA SALT GRAY DARK COCOA

PRODUCT DESCRIPTION	TimberTech Model Number		
	12'	16'	20'
PRIME+ COLLECTION			
1 x 6 Grooved Coconut Husk	PRGV5412CH	PRGV5416CH	PRGV5420CH
1 x 6 Square-Shoulder Coconut Husk	—	PR5416CH	PR5420CH
1 x 6 Grooved Sea Salt Gray	PRGV5412ST	PRGV5416ST	PRGV5420ST
1 x 6 Square-Shoulder Sea Salt Gray	—	PR5416ST	PR5420ST
1 x 6 Grooved Dark Cocoa	PRGV5412DC	PRGV5416DC	PRGV5420DC
1 x 6 Square-Shoulder Dark Cocoa	—	PR5416DC	PR5420DC
PRIME+ FASCIA			
12" Fascia Coconut Husk	FBE12CH	—	—
12" Fascia Sea Salt Gray	FBE12ST	—	—
12" Fascia Dark Cocoa	FBE12DC	—	—
PRIME+ RISER			
7-1/4" Riser Coconut Husk	ERISERCH	—	—
7-1/4" Riser Sea Salt Gray	ERISERST	—	—
7-1/4" Riser Dark Cocoa	ERISERDC	—	—

PROFILE OPTIONS

STANDARD



RISER



FASCIA



Illustration does not represent capping.



CEDAR GRAY

Availability varies by region.

RELIABOARD®

ReliaBoard delivers an elegant cathedral grain and monochromatic color that resembles the simple beauty of painted wood. These boards are protected with a four-sided, low-maintenance shell and offer a practical, attainable option for homeowners looking to ditch wood for good. Covered by a 30-Year Limited Product Warranty and WUI-Compliant, ideal for homes in fire zones.

PRODUCT DESCRIPTION	TimberTech Model Number		
	12'	16'	20'
RELIABOARD			
1 x 6 Square Shoulder Cedar	RB5412C	RB5416C	RB5420C
1 x 6 Square Shoulder Gray	RB5412G	RB5416G	RB5420G
FASCIA			
12" TwinFascia Board Cedar	FBVG12C	—	—
12" TwinFascia Board Gray	FBVG12G	—	—
RISER			
7-1/4" TwinRiser Board Cedar	FBRISERC	—	—
7-1/4" TwinRiser Board Gray	FBRISERG	—	—

PROFILE OPTIONS

STANDARD



RISER



FASCIA



Illustration does not represent capping.

*TimberTech Prime+, Prime, and Premier Collections are covered by a 25-Year Limited Product Warranty and a 3-Year Fade & Stain Limited Warranty. *The proprietary capping on the Prime+, Prime, and Premier Collections does not feature Mold Guard Technology.

TIMBERTECH® COMPOSITE RAILING

Made from a mix of recycled wood and plastic fibers, our composite railing boasts superior durability to wood, while being extremely low maintenance. Your clients can explore stylish railing options from traditional milled-wood-inspired looks to sleek, contemporary designs to find the right fit for their space.



125

CLASSIC COMPOSITE SERIES

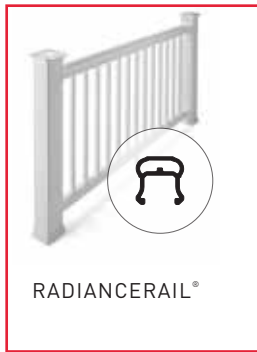
With several top rails and a universal bottom rail, the Classic Composite Series offers the most customization options, making mixing and matching components a breeze.

TOP RAIL PROFILES



DRINK RAIL

Compatible with full profile, square-shouldered boards. Not compatible with glass infill.



RADIANCERAIL®



PREMIER RAILING®



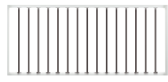
TRADEMARK RAIL™

Only available in White and Matte White.

INFILL OPTIONS



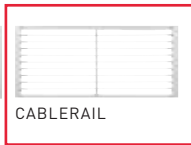
COMPOSITE



ALUMINUM



GLASS



CABLERAIL

COLOR OPTIONS



WHITE



BLACK



MATTE WHITE

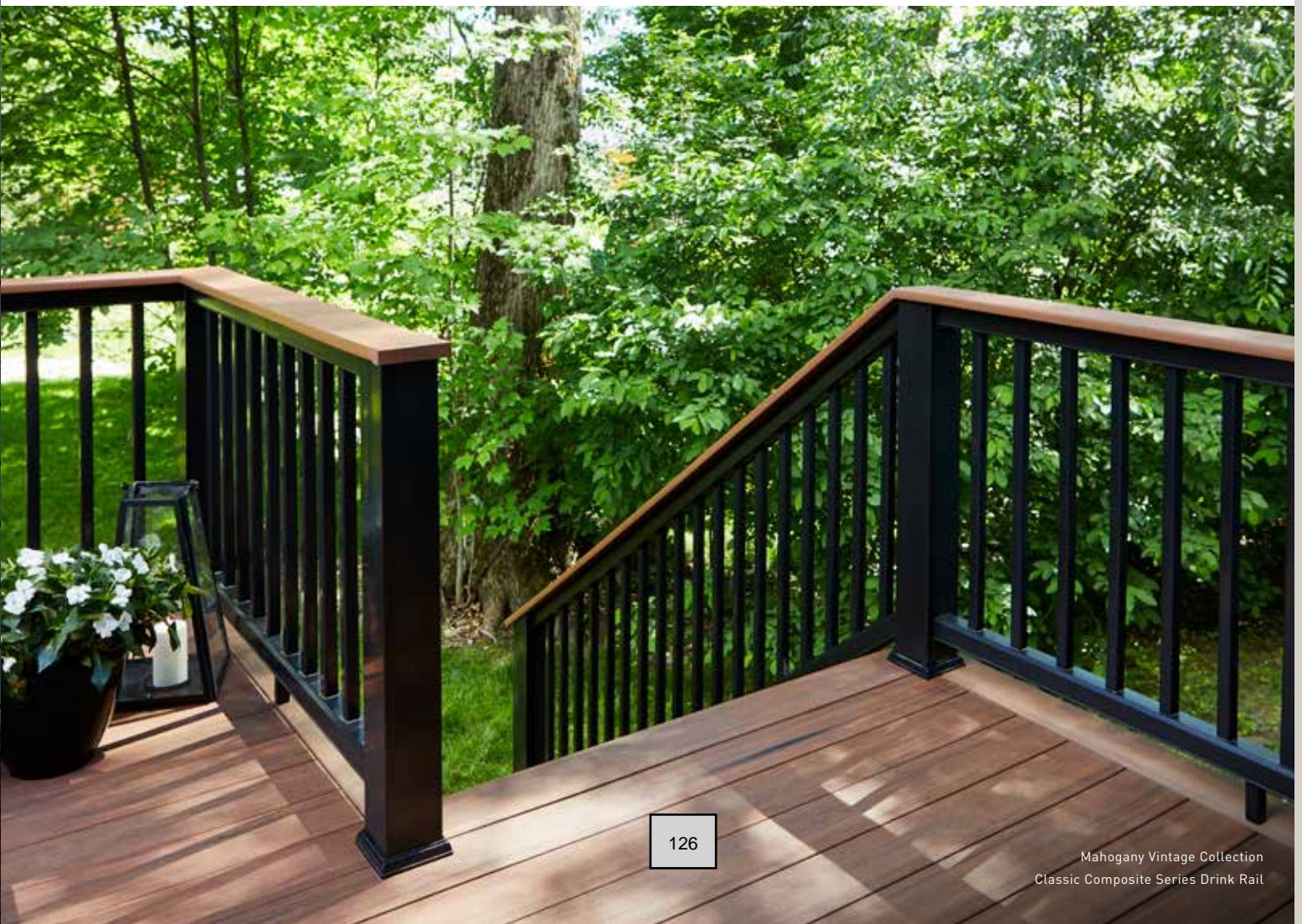


MATTE ESPRESSO



MATTE BLACK

Matte colors also include a 25-Year Fade & Stain Limited Warranty





#1 in Performance Trim JOIST TRIM + COLUMN WRAP

AZEK Trim is the perfect replacement for wood trim and also performs beautifully as fascia, soffit, beadboard, cornerboards, window and door surrounds, column wraps, decorative mouldings, millwork, and much more.



TRIM - SMOOTH



TRIM - WOODGRAIN



RABBETED TRIM



UNIVERSAL SKIRT BOARD



INTEGRATED DRIP EDGE



ONE-PIECE SKIRT BOARD



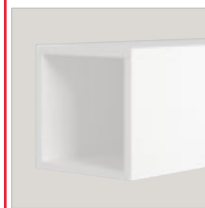
CORNERBOARDS - SMOOTH



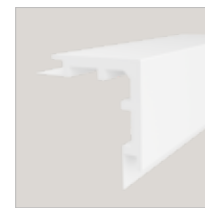
CORNERBOARDS - WOODGRAIN



RABBETED CORNERBOARDS



COLUMN WRAP



QUICK CORNER®



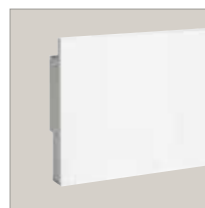
BEADBOARD



AZEK SHEETS



AZEK-TO-MILL (ATM)



AZEK FLANGE SLOTTED WINDOW TR



J-CASING



BRICK MOULD J-CASING



TONGUE-AND-GROOVE

AZEK® Trim with Protective Film

AZEK Trim is cellular PVC with a crisp white semi-matte finish providing years of low maintenance for homeowners. To ensure that it looks as beautiful on your homes as it does when it leaves our facilities, our Classic AZEK Trim in Smooth and Woodgrain finish is now produced with a protective film.

AZEK Trim with protective film should be kept dry prior to installation. Do not expose film to direct sunlight for extended periods. Protective film can be removed prior to, during or immediately after installation.

AZEK TRIM FILM WILL BE ON THE FOLLOWING SMOOTH AND WOODGRAIN TRIM PRODUCTS

Nominal Thickness	Nominal Width						
	4	5	6	8	10	12	16
5/8
4/4
5/4



	12'	18'	20'
5/8" TRIMBOARD, 5/8" THICKNESS			
5/8" x 3-1/2" Trimboard Smooth	AT06204144	AT06204216	—
5/8" x 3-1/2" Trimboard Woodgrain	AF06204144	AF06204216	—
5/8" x 5-1/2" Trimboard Smooth	AT06206144	AT06206216	—
5/8" x 5-1/2" Trimboard Woodgrain	AF06206144	AF06206216	—
5/8" x 7-1/4" Trimboard Smooth	AT06208144	AT06208216	—
5/8" x 7-1/4" Trimboard Woodgrain	AF06208144	AF06208216	—
5/8" x 9-1/4" Trimboard Smooth	AT06210144	AT06210216	—
5/8" x 9-1/4" Trimboard Woodgrain	AF06210144	AF06210216	—
5/8" x 11-1/4" Trimboard Smooth	AT06212144	AT06212216	—
5/8" x 11-1/4" Trimboard Woodgrain	AF06212144	AF06212216	—
5/8" x 15-1/4" Trimboard Smooth	AT06216144	AT06216216	—
5/8" x 15-1/4" Trimboard Woodgrain	AF06216144	AF06216216	—

		12'	18'	20'
4/4" TRIMBOARD, 3/4" THICKNESS				
Nominal	Actual			
4/4 x 2	3/4" x 1-1/2" Trimboard Smooth	—	AT10002216	—
4/4 x 2	3/4" x 1-1/2" Trimboard Woodgrain	—	AF10002216	—
4/4 x 3	3/4" x 2 1/2" Trimboard Smooth	—	AT10003216	—
4/4 x 4	3/4" x 3-1/2" Trimboard Smooth	AT10004144	AT10004216	—
4/4 x 4	3/4" x 3-1/2" Trimboard Woodgrain	AF10004144	AF10004216	—
4/4 x 5	3/4" x 4-1/2" Trimboard Smooth	AT10005144	AT10005216	—
4/4 x 5	3/4" x 4-1/2" Trimboard Woodgrain	AF10005144	AF10005216	—
4/4 x 6	3/4" x 5-1/2" Trimboard Smooth	AT10006144	AT10006216	—
4/4 x 6	3/4" x 5-1/2" Trimboard Woodgrain	AF10006144	AF10006216	—
4/4 x 8	3/4" x 7-1/4" Trimboard Smooth	AT10008144	AT10008216	—
4/4 x 8	3/4" x 7-1/4" Trimboard Woodgrain	AF10008144	AF10008216	—
4/4 x 10	3/4" x 9-1/4" Trimboard Smooth	AT10010144	AT10010216	—
4/4 x 10	3/4" x 9-1/4" Trimboard Woodgrain	AF10010144	AF10010216	—
4/4 x 12	3/4" x 11-1/4" Trimboard Smooth	AT10012144	AT10012216	—
4/4 x 12	3/4" x 11-1/4" Trimboard Woodgrain	AF10012144	AF10012216	—
4/4 x 16	3/4" x 15-1/4" Trimboard Smooth	AT10016144	AT10016216	—
4/4 x 16	3/4" x 15-1/4" Trimboard Woodgrain	AF10016144	AF10016216	—

Classic AZEK Trim, Smooth and Woodgrain

AZEK Trim is a finishing touch that is far superior to wood. AZEK Trim is more durable and keeps its appearance longer with little maintenance. It is easily milled, routed, and heat formed for exquisite custom looks or curved applications. No staining or sealing needed. AZEK Trim is easily painted for personal styling.



	8'	10'	12'	18'	20'
BEADBOARD, SMOOTH FINISH					
Actual					
3/4" x 5-1/2" Beadboard E & CB	—	—	—	AM1006216ECB	—
1/2" x 3 1/2" Beadboard E & CB	—	—	—	AM01204216ECB	—
3/4" x 3 1/2" Beadboard E & CB	—	—	—	AM1004216ECB	—
5/8" x 3-1/2" Beadboard	—	—	—	AM0620418	—
1/2" x 5-1/2" Beadboard	—	—	—	AM0120618F	—
1/2" x 4' Beadboard Sheet E & CB	AS01248096ECB				

	8'	10'	12'	18'	20'
TONGUE AND GROOVE					
Actual					
3/4" x 5-1/2" WP4/Nickel Gap	—	—	—	AM1006216WPN	—
3/4" x 5-1/2" Tongue & Groove Shiplap	—	—	—	AM10006216TGS	—
3/4" x 7-1/4" Tongue & Groove Shiplap	—	—	—	AM10008216TGS	—

		8'6"	10'
AZEK 3-PLUS-1 COLUMN WRAP			
Nominal	Inside Dimension	Outside Dimension	
4 x 4	3-3/4" x 3-3/4"	4-3/4" x 4-3/4"	ATCW0404096.6
6 x 6	5-3/4" x 5-3/4"	6-3/4" x 6-3/4"	ATCW0606096.6
8 x 8	7-3/4" x 7-3/4"	8-3/4" x 8-3/4"	ATCW0808096.6

	4"	6"
COLUMN KITS AND ACCESSORIES (for 3-Plus-1 Column Wraps only)		
Description		
TRIM KIT - BASE MLDG	ACW4"TRIMKITBASE	ACW6"TRIMKITBASE
TRIM KIT - BED MLDG	ACW4"TRIMKITBED	ACW6"TRIMKITBED
TRIM KIT - BED MLDG XL	ACW4"TRIMKITBEDXL	ACW6"TRIMKITBEDXL
TRIM KIT - CROWN MLDG	ACW4"TRIMKITCROWN	ACW6"TRIMKITCROWN
TRIM KIT - CROWN MLDG XL	ACW4"TRIMKITCROWNXL	ACW6"TRIMKITCROWNXL
ACCENT WRAP 10"	ACWAW040410	ACWAW060610 * for use with Accent Wraps.

	5'	6'
TAPERED COLUMN WRAP		
Actual		
12" base / 8" cap x 5' Tapered Column Wrap	ATCWT1208060	ATCWT1208072
16" base / 12" cap x 6' Tapered Column Wrap	ATCWT1612060	ATCWT1612072

	12'	18'	20'
SOFFIT SYSTEM			
Nominal	Actual		
1/2 x 12	1/2" x 12" Vented Soffit	—	ATVS01212216
1/2 x 16	1/2" x 16" Vented Soffit	—	ATVS01216216
1/2 x 12	1/2" x 12" Solid Soffit	—	ATSS01212216
1/2 x 16	1/2" x 16" Solid Soffit	—	ATSS01216216
1 x 8	3/4" x 7-1/4" Notched Fascia	—	AT10008216NF
5/4 x 6	5/4 x 6 Frieze Board	—	AT12508216FB

Beadboard

AZEK Beadboard is reversible with an edge and center bead on one side and a v-groove on the other. AZEK Beadboard (E & CB) is certified UL580 class 90 wind gust uplift-resistant, making it ideal for use in coastal areas.

Nickel Gap and Shiplap

AZEK Tongue-and Groove profiles, available in shiplap and reversible WP4/nickel gap form factors, offer enhanced design and installation flexibility.

Columns

AZEK Column Wrap profile allows for easy one-person installation, saving time and costs. Three connected panels and a fourth "locking" panel fit easily around a structural support with press fit seams and smooth, finished corners. AZEK Column Wrap is available in semi-matte white smooth finish.

New Soffit System

Available in two profiles, solid and vented. Both provide climate-resistant material for smooth, beautiful finishing to match any home exterior. Add the notched fascia and frieze board and you have an efficient, easy-to-install system.

PRODUCT DETAIL



BEACON HILL™ FLAGSTONE

Inspired by natural cut flagstone, the blended colors and distinctive texture of Beacon Hill Flagstone has a relaxed look and feel, with all the benefits of Enduracolor technology. The subtle surface texture is comfortable to walk on in bare feet, but appears more dramatic in the light of sunrise and sunset. Sold in a random bundle of three relatively large sizes, Beacon Hill Flagstone can be laid in a number of patterns for a more, or less, random appearance. A larger, XL rectangle is now available in most regions, to be used alone or in combination with the traditional random bundle. Together, these characteristics have made Beacon Hill Flagstone one of our most popular pavers for patios, pool surrounds and walkways.



GRANITE MIST - LARGE RECTANGLE

COLORS



APPLICATIONS



Residential
Pedestrian



PRODUCT DETAIL



ENDURACOLOR

The refined surface of Unilock EnduraColor products is achieved with a two step manufacturing process that combines a base of coarser aggregates for a stronger foundation, with concentrated color and wear-resistant finer aggregates on top. This process protects the surface from the appearance of fading over time because the top layer prevents large, lighter color aggregates from ever showing through.

OUR TECHNOLOGIES

COLORS

GRANITE MIST



PICK A COLOR

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Alta Wall

RETAINING WALL



Alta Wall is a versatile wall for everyday landscape applications. Its tapered design simplifies installation of inside and outside curves so you can design with freedom. The hollow core design and rear lip connection make this wall system a go-to system for professionals.

Wall Systems



Adobe Blend



Alta Wall



	HEIGHT	WIDTH	DEPTH	PCS/SF	SF/PALLET	PCS/PALLET	LBS/PALLET
A	6"	16"	12"	1.5	26.6	40	1,962
B	6"	8"	12"	2	24	48	2,164

Sizes sold separately



ADOBE BLEND



FIRE ISLAND BLEND



GOLDEN BROWN BLEND



GRANITE CITY BLEND



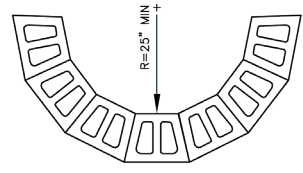
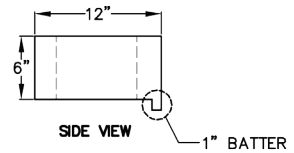
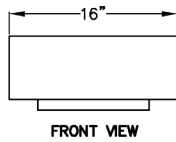
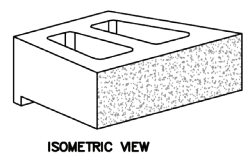
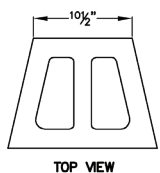
TRAVERTINA*



WESTCHESTER BLEND

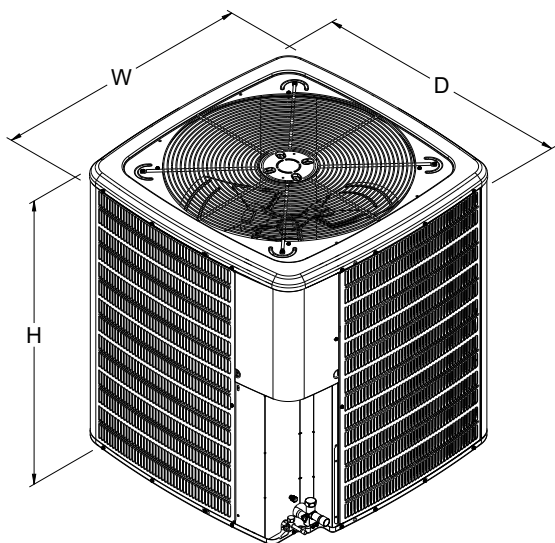
*Premium Color

ALTA WALL UNITS (6"X16" UNIT)



NOTE: All walls over 2' in height or as required by local code should be designed by a licensed professional engineer. All measurements are nominal. Variance in square footage or linear footage coverage can be up to 5% depending on joint width. The possible occurrence of efflorescence does not affect the structural integrity of the product. Efflorescence is a normal occurrence in concrete products and will dissipate with normal weathering. The use of concrete as a base or setting bed may increase the possibility of efflorescence.





MODEL	DIMENSIONS		
	W"	D"	H"
GSXN3N1810A*	26	26	27
GSXN3N2410A*	26	26	32½
GSXN3N3010A*	29	29	32½
GSXN3N3610A*	29	29	32½
GSXN3N4210A*	29	29	39½
GSXN3N4810A*	35½	35½	35¾
GSXN3N6010A*	35½	35½	39½

*Note: All the Dimensions (W, D, H) are for reference only.

ACCESSORIES

MODEL #	DESCRIPTION	GSXN3 N1810A*	GSXN3 N2410A*	GSXN3 N3010A*	GSXN3 N3610A*	GSXN3 N4210A*	GSXN3 N4810A*	GSXN3 N6010A*
ABK-20	Anchor Bracket Kit ^	X	X	X	X	X	X	X
ASC-01	Anti-Short Cycle Kit	X	X	X	X	X	X	X
Factory Installed Hard-start Kit			X	X				
CSR-U-1	Hard-start Kit	X			X			
CSR-U-2	Hard-start Kit				X	X	X	X
CSR-U-3	Hard-start Kit						X	X
FSK01A ¹	Freeze Protection Kit	X	X	X	X	X	X	X
LSK02A ²	Liquid Line Solenoid Kit	X	X	X	X	X	X	X
LAKT01	Low-Ambient Kit	X	X	X	X	X	X	
0130R00000S	Low-Pressure Switch Kit	X	X	X	X	X	X	X
TXV-FX-KX-2T ²	TXV Kit	X	X					
TXV-FX-KX-3T ²	TXV Kit			X	X			
TXV-FX-KX-5T ²	TXV Kit					X	X	X

[^] Contains 20 brackets; four brackets needed to anchor unit to pad

¹ Installed on indoor coil

² Condensing units and heat pumps with reciprocating or rotary compressors require the use of start-assist components when used in conjunction with an indoor coil using a non-bleed thermal expansion valve refrigerant metering device or liquid line solenoid kit. The TXV should always be sized based on the tonnage of the outdoor unit.

All AHRI system ratings are accessible in the System Configurator tool via PartnerLink.

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CLG Contact Information

Reporting Period:	October 1, 2022 - September 30, 2023	Town/City of:	Bristol
Name of Contact Person:	Nicholas Toth	Address:	10 Court St, 02809
Phone Number:	(401) 253-7000 ext. 153	Email Address:	ntoth@bristolri.gov

CRITERION #1: Local Governments must enforce local legislation for the designation and protection of historic properties.

1. Was the HDC's enabling legislation amended?	<input type="radio"/> Yes	<input checked="" type="radio"/> No	If YES, ATTACH a copy of the amendment.		
2. Were procedural or design guidelines developed or amended?	<input checked="" type="radio"/> Yes	<input type="radio"/> No	If YES, ATTACH a copy of new or amended guidelines.		
3. What are the current design standards in use by the HDC? (Name document(s) if applicable.)	Secretary of Interior's Standards for Preservation.				
4. Use this chart to summarize the types of applications reviewed this year:	Type of Project	# Approved	# Denied	# Pending	# Appealed
	Alterations	168	3	18	
	Demolitions				
	New Construction				
	Relocations				
5. Were any of the projects listed in the chart above given automatic approval through expiration of the time limit for review?	<input type="radio"/> Yes	<input checked="" type="radio"/> No			
6. Were any petitions approved which did not conform to the Secretary of the Interior's Standards or other approved local standards?	<input type="radio"/> Yes	<input checked="" type="radio"/> No	If YES, ATTACH an explanation of how the case was reviewed and why an exception was permitted		
7. Were any districts enlarged?	<input type="radio"/> Yes	<input checked="" type="radio"/> No	If YES, ATTACH a copy of the revised district map and indicate how many historic properties were added.		
8. Were any new Historic Districts added?	<input type="radio"/> Yes	<input checked="" type="radio"/> No	If YES, ATTACH a copy of the district map(s).		
9. Were any new properties designated?	<input type="radio"/> Yes	<input checked="" type="radio"/> No	If YES, ATTACH a list of the properties and addresses.		

CRITERION #2: Local Governments must have established an adequate and qualified Historic District Commission.

1. Commission Membership: List Commission members, dates of appointment and expiration, and, as applicable, their qualifications in a preservation-related field:

Name	Date Appointed	Date Term Ends	Professional Discipline	E-mail Address
Oryann Lima	7/1/2021	7/1/2024		c426@verizon.net
John Allen	7/1/2021	7/1/2024		jallen02809@gmail.com
Mary Millard	7/1/2022	7/1/2025		merisea46@gmail.com
Benjamin Bergeholtz	7/1/2023	7/1/2026		bb@hhcne.com
Sara Butler	7/1/2021	7/1/2024		sbutler@rwu.edu
Victor Cabral	7/1/2020	7/1/2023		vic4334@aol.com
Christopher Ponder	7/1/2023	7/1/2026		cgponder@gmail.com
Susan Church	7/1/2023	7/1/2026		sacch29@yahoo.com

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2. Meetings Held and Attendance: indicate total number of meetings held and complete attendance chart for each commissioner.

Check box for all months in which a meeting was held:	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Commissioner Name	Oct. 2022	Nov. 2022	Dec. 2022	Jan. 2023	Feb. 2023	Mar. 2023	Apr. 2023	May 2023	Jun. 2023	Jul. 2023	Aug. 2023	Sept. 2023
Oryann Lima	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
John Allen	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Mary Millard	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Benjamin Bergenholtz	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Sara Butler	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Victor Cabral	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Christopher Ponder	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Susan Church	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Notes: Victor Cabral's commission expired July 1 2023 and he did not seek reappointment.

3. State law requires that HDC meeting minutes are filed with the Secretary of State's Office within 35 days of a meeting. Are all meeting minutes for the reporting period posted online on the Secretary of State's website? Yes No

4. Total number of vacancies during the year: 2 **5. Was each vacancy filled within 90 days?** Yes No

4. Were vacancies filled by professionals who meet the Professional Qualification Standards in 36 CFR 61? Yes No

5. If vacancies were not filled within 90 days or were not filled by professionals meeting the Professional Qualification Standards, please provide an explanation here:
 The one vacancy on the board proper was filled nearly immediately after an advertising period by the existing alternate member, who is qualified for the position by virtue of being the former Historic District Administrator for the Town. The 2 vacancies for alternates are in the process of being filled - we did not immediately advertise as State Law was in the process of being changed to allow an additional alternate member. We waited until this law was changed before advertising the position.

6. Describe any relevant trainings, conferences, workshops, or RIHPHC-sponsored trainings/events attended by commission members or staff. Include the name of the event and the name(s) of the member(s) who attended.
 None during specified time

If you have suggestions for topics for future HDC training to be offered by RIHPHC, please list/describe suggestions here as well.

CRITERION #3: Local Governments must maintain a system for the survey and inventory of historic properties.

1. Has any survey work been completed?	<input type="radio"/> Yes	<input checked="" type="radio"/> No	2. If yes, how many properties have been surveyed?	
3. Has the RIHPHC had an opportunity to participate in the work?	<input type="radio"/> Yes	<input checked="" type="radio"/> No	4. Was the survey work recorded on RIHPHC forms?	<input type="radio"/> Yes <input checked="" type="radio"/> No
5. Did the RIHPHC receive duplicate forms, maps, and photographs within sixty days of completion?	<input type="radio"/> Yes	<input checked="" type="radio"/> No		

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CRITERION #4: Local Governments must satisfactorily perform the responsibilities delegated to them under the National Historic Preservation Act.

1. Did you evaluate the National Register eligibility of any properties?	<input checked="" type="radio"/> Yes	<input type="radio"/> No	2. Did you prepare any National Register forms?	<input type="radio"/> Yes	<input checked="" type="radio"/> No
3. Did you review and comment on any National Register nominations sent to you by the RIHPHC?			<input type="radio"/> Yes	<input checked="" type="radio"/> No	
4. List any grants-in-aid projects completed or currently in progress. Briefly describe the status:	We are currently in the process of re-surveying the Bristol Waterfront Historic District utilizing grant funding from RIHPHC. The consultant is in the early stages of documentation, and is expecting to wrap up by the end of February 2024.				

CRITERION #5: Local Governments must provide for adequate participation in local historic preservation programs, including the process of recommending properties for the National Register.

1. Are all records including meeting minutes publicly accessible?	<input checked="" type="radio"/> Yes	<input type="radio"/> No	2. Are notices of public meetings published or posted in advance?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
3. Briefly describe how the public is given opportunity to comment on National Register nominations:	The public is able to access all application documents prior to meetings through the Municode System, along with all agendas, which are posted on the Municode and RI Secretary of State's websites. The Public is provided with contact information for the HDC Coordinator, who relays public comment during commission meetings. Commission meetings are also open to the public for comment.				

NARRATIVE:

1. Provide a brief narrative of the HDC's notable activities or accomplishments for FFY 2023.

The Bristol Historic District Commission has had a productive year, with several major accomplishments in addition to its normal activities and duties.

During the previous year one member stepped down - Victor Cabral, who did not accept reappointment in July 2023 at the expiration of his term - and one new member was appointed. This new member, Susan Church, has served as the alternate for several years, and was elevated to full member to fill the seat left vacant.

One change to how the commission operates has been the addition of a second alternate member seat, which was precipitated by changes in state law and local ordinance. This seat, along with the first alternate seat, are currently vacant - the Town Council is in the process of reviewing applications. Once these seats are filled, there will be fewer issues with maintaining a quorum - this is especially an issue in small, dense Bristol, where members of the commission must frequently recuse themselves due to proximity to properties before the commission.

A major win for preservation in Bristol during this reporting period is the ongoing restoration of 1200 Hope St, known locally as the Longfield House. This long decrepit but highly historic home built in 1848 has been a target for restoration for decades, however, nothing had yet come to fruition. However, a developer recently purchased the property with the aim of restoring the main house and building several carriage house style buildings adjacent, creating a condominium community. This project was approved in early 2023 and renovations to Longfield are well underway.

One of the major accomplishments was this implementation of Online permitting for HDC Applications, which has massively reduced turnaround and has cut the amount of staff time required for processing to a fraction of what it once was. It also aids in tracking, reporting, and especially transparency, as all applications filed after May 2023 are now available online.

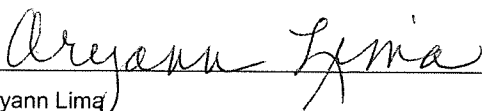
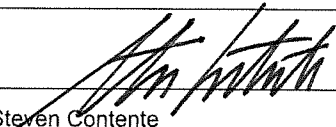
Another major accomplishment has been the award of a project to re-survey the Historic District, a project not started during this reporting period but underway at the time of the writing of this report. The survey is aimed at documenting the current state of all properties in the district - the last time this was done was the late 1970s, when the historic district was created. While records have been kept for improvements to the property, an updated survey will allow for better understanding of where the district stands and assist with decisions going forward.

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Assurances

I hereby certify:

- I. All Historic District Commission meetings have been announced and meet the requirements of the Open Meetings Law, Title 42, Chapter 46, of the General Laws of the State of Rhode Island.
- II. Historic District Commission Members are in compliance with the Conflict of Interest Law, Title 36, Chapter 14, of the General Laws of the State of Rhode Island.
- III. The Historic District Commission meets the requirements for certification in accordance with the CLG Memorandum of Agreement between the Town/City and the Rhode Island Historical Preservation & Heritage Commission.

Signature of Historic District Chairman		Date	12-13-23
Printed/typed name	Oryann Lima		
Signature of Chief Elected Official		Date	12-12-23
Printed/typed name	Steven Contente		

ATTACHMENTS CHECKLIST

Check to confirm required materials are provided electronically with this report:

<input checked="" type="checkbox"/>	Attachment A: Sample approval letter to an applicant.
<input checked="" type="checkbox"/>	Attachment B: Resumes for any new commission members.
<input checked="" type="checkbox"/>	Any additional attachments required per answers on page 1 of this report; e.g. maps of amended districts, lists of newly designated properties, etc.

Administrative Approvals 11/17/2023 – 12/15/2023

Permit #	Project #	Permit Type	Address	Description of Work
57852	23-179	Mechanical Permit	1 BURNSIDE ST, BRISTOL, RI 02809	Replace Two existing failed Roof Top Units
57392	23-167	Mechanical Permit	82 THAMES ST, BRISTOL, RI 02809	install one multi zone mini split
HDC-23-176	23-176	HDC Permit	Independence Park/Thames St	Temporary Ice Rink in Independence Park for holiday season. Removing asphalt over concrete driveway and replacing with stamped concrete driveway due to deterioration. Replacement of ground level back patio. Repairing front and rear steps by removing loose concrete and bricks. Replacing with poured concrete with granite top and brick fascia. Replacing blue stone patio with stamped concrete patio.
HDC-23-174	23-174	HDC Permit	101 High St	Emergency request for the construction of a unilock wall on the east side of the property to address erosion and water being drained against the building that is entering into the basement due to the lower grade elevation between properties.
HDC-23-172	23-172	HDC Permit	21 Bradford St	The placement and installation of two central air conditioning condensers above FEMA flood threshold, affixed securely with metal brackets and a built platform of wood, at the South Elevation (non-traffic facing), obstructed by Tower angle and to-be-planted shrubbery. Adjacent to the side door of the property in the middle.
HDC-23-169	23-169	HDC Permit	825 Hope St	
HDC-23-165	23-165	HDC Permit	203 High St, Bristol, RI 02809	Replacement of outdoor lighting fixtures in kind
HDC-23-161	23-161	HDC Permit	11 Pleasant Street, Bristol RI	Replace Existing Roof which is currently leaking
57850	23-178	Building Permit	317 HOPE ST, BRISTOL, RI 02809	repair rotted wood on storefront and replace glass with insulated glass
57807	23-171	Building Permit	833 HOPE ST, BRISTOL, RI 02809	Replacing Roof with the same color shingle
57633	23-162	Building Permit	775 HOPE ST, BRISTOL, RI 02809	Strip roof and re shingle, add 1/2 in plywood 30 squares