



TOWN OF BRISTOL, RHODE ISLAND

ZONING BOARD OF REVIEW MEETING

Zoning Board of Review Meeting Agenda

Monday, October 02, 2023 at 7:00 PM

Bristol Town Hall, 10 Court Street, Bristol, RI 02809

Scanned copies of all applications and supporting materials will be available on the Town of Bristol website at <https://www.bristolri.gov/government/boards/zoning-board-of-review/>. Written comments may be submitted to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, September 28, 2023.

1. Pledge of Allegiance

2. Approval of Minutes - September 18, 2023

3. Continued Petitions

3A. 2023-27 Robert M. Kreft - Dimensional Variances: to construct a 40ft. x 42ft. accessory garage structure at a size and height greater than permitted for accessory structures, and with greater than permitted lot coverage by structures in the R-6 zoning district. Located at 22 Wall Street; Assessor's Plat 33, Lot 17; Zone: Residential R-6.

4. New Petitions

4A. 2023-35 Nicole and Keith Benjamin - Dimensional Variances: to construct a 16ft. x 20ft. single-story garage addition to an existing single-family dwelling with less than the required front yard and less than the required right side yard. Located at 38 Viking Drive; Assessor's Plat 145, Lot 9; Zone: R-10.

4B. 2023-36 TPG Architecture, LLP / Chase Bank - Special Use Permit: to operate an automated teller machine (ATM) accessory drive thru use; and Dimensional

Variances: to install a freestanding commercial sign with the proposed sign having approximately 25 square feet of sign area, at a size greater than permitted and with less than the required ground clearance for a freestanding sign in the General Business zoning district; and to install two commercial wall signs having 36.9 square feet of sign area at a size greater than permitted and exceeding the number of permitted commercial wall signs in the General Business zoning district. Located at 580 Metacom Avenue; Assessor's Plat 150, Lot 15; Zone: General Business (GB).

4C. **2023-37 Kathryn G. Low / Low Dock, LLC** - Dimensional Variances: to construct a 24ft. x 28ft. accessory garage structure at a height greater than permitted for accessory structures in a residential zoning district, and with less than the required front yard on a corner lot. Located at 24 Low Lane; Assessor's Plat 167, Lot 1; Zone: Residential R-40.

5. Correspondence

5A. 2021-44 Denise M. Lavoie, 110 King Philip Avenue - request for a one year extension of the decision for variance recorded on January 11, 2022

6. Adjourn

Date Posted: September 19, 2023

By: emt



Town of Bristol, Rhode Island
Zoning Board of Review

10 Court Street
Bristol, RI 02809
401-253-7000
www.bristolri.gov

File #2023-27

PUBLIC HEARING

Notice is hereby given by the Zoning Board of Review
that a public hearing will be held on the following application:

Monday, September 18, 2023

at 7:00 P.M.

Bristol Town Hall
10 Court Street

APPLICANT: **Robert M. Kreft**
PROPERTY OWNER: **Robert M. Kreft / Robert M. Kreft 2020 Trust**
LOCATION: **22 Wall Street**
PLAT: 33 LOT: 17
ZONE: **Residential R-6**

APPLICANT IS REQUESTING **DIMENSIONAL VARIANCES TO: construct a 40ft. x 42ft. accessory garage structure at a size and height greater than permitted for accessory structures, and with greater than permitted lot coverage by structures in the R-6 zoning district.**

Edward M. Tanner,
Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol web site at <https://www.bristolri.gov/government/boards/zoning-board-of-review/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, September 14, 2023.



Town of Bristol, Rhode Island
Department of Community Development
Zoning Board of Review

2023 JUL -6 PM 1:41
TOWN OF BRISTOL
COMMUNITY DEV.

APPLICATION

File No: 2023-27-11
Accepted by ZEO: EMT 7/6/2023

Table with 2 main sections: APPLICANT and PROPERTY OWNER. Fields include Name, Address, City, State, Zip, Telephone #, Home, and Work/Cell.

1. Location of subject property: 22 Wall Street
Assessor's Plat(s)#: 33 Lot(s) #: 17, 21
2. Zoning district in which property is located: R-6
3. Zoning Approval(s) required (check all that apply):
[X] Dimensional Variance(s)
4. Which particular provisions of the Zoning Ordinance is applicable to this application?:
Dimensional Variance Section(s): Sec.28-111
5. In a separate written statement, please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.
6. How long have you owned the property?: 2013
7. Present use of property: Apartments
8. Is there a building on the property at present?: Yes
9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet): 10,200 Sq Feet
10. Proposed use of property: Additional structure - Garage /workshop for apartment buldings and self use.

11. Give extent of proposed alterations: Addition of 42X40' Garage/Shop.

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet): 42'X40'. 1537 Square feet.

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

Front lot line(s):	Required Setback: _____	Proposed Setback: _____
Left side lot line:	Required Setback: _____	Proposed Setback: _____
Right side lot line:	Required Setback: _____	Proposed Setback: _____
Rear lot line:	Required _____	Proposed Setback: _____
Building height:	Setback: <u>20' height</u>	Proposed: <u>22' 11" height</u>

Other dimensions (building size, Required coverage, lot area, parking, sign dimensions, etc.):

Required: <u>22' X 24'</u>	Proposed: <u>40' X 42'</u>
35% Coverage - existing 46%	53% proposed Coverage

13. Number of families before/after proposed alterations: 12 Before 12 After

14. Have you submitted plans for the above alterations to the Building Official? Yes
 If yes, has he refused a permit? No If refused, on what grounds? _____

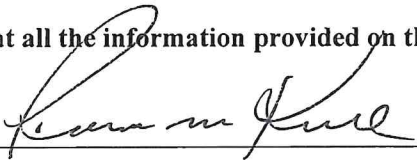
15. Are there any easements on your property?: No (If yes, their location must be shown on site plan)

16. Which public utilities service the property?: Water: X Sewer: X

17. Is the property located in the Bristol Historic District or is it an individually listed property?: No

18. Is the property located in a flood zone? No If yes, which one?: _____

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature:  Date: 6/10/23

Print Name: Robert Kreft

Property Owner's Signature: _____ Date: _____

Print Name: _____

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: Scott Partington Telephone #: 401-334-2852

Address: 2176 Mendon Rd # 2000, Cumberland, RI 02864

June 10, 2023

Town of Bristol
Attn: Zoning Department
10 Court Street
Bristol, RI 02809

Re: Request for Dimensional Variance -22 Wall Street

Zoning Board of Review:

Thank you for your consideration, I am the owner of the property at 22 Wall Street, Bristol, RI and requesting a dimensional variance approval which will support the addition of a garage and shop to support the maintenance of the property. The primary use will be storage and protection of maintenance equipment that is currently in the elements on the property. The garage will allow the spaces currently occupied by the equipment to be freed up for use of the multi-family.

We are planning to retire within the next 5 years and move to the property. I purchased 22 Wall Street (Plat 33 Lot 21) in 2012 and then in 2018 purchased the lot next door (Plat 33 Lot 17). In December 2020, the properties were combined. The proposed structure would be located on the lot that was combined. The individual lot (Plat 33 Lot 17) had a permit for a single-family dwelling, before the properties were combined.

22 Wall Street is unique as it is a large, 12 family property, located in an R-6 zone where all the structures on the same side of the street are single family homes. Across the street is zoned LB and contains large multi-family properties and a few businesses each with parking lots dedicated to their properties.

22 Wall Street currently has 25 parking spaces located around the building. Parking is needed for approximately 24 cars (2 per unit) as each unit is comprised of 2 bedrooms. The units are a mix of families and college students. The equipment including a tractor, work truck and trailer occupy 3 spaces. The addition of the garage will allow me to place the equipment inside a garage away from the elements and provide protection for the equipment as the tractor has been broken into several times. After being placed in the new garage, the open three spaces for the use of my tenants. Allowing 2 spaces for each unit.

To support my request, please find enclosed drawings with accurate measurements.

The measurements and details of the planned garage and variances sought:

Garage: The planned garage and shop will measure 42' x 40' and will be placed on the empty lot purchased in 2018 (Plat 33 Lot 17).

Variances sought;

- 1) Coverage: The property is in an R-6 zoning district and per Sec. 28-111 Maximum lot coverage by structures is set at 35%. Original lot coverage for 22 Wall was 61% with the properties combined it is currently at 46%. The new proposed garage will bring the lot coverage to a total of 53%.
- 2) Size: The property again is in an R-6 zoning district and per Sec. 28-111 Maximum size of accessory structures is set at 22' X 24'. I am asking for a variance on size to 40' x 42'.
- 3) Height: The current height requirement is 20' for accessory structures we are seeking a variance to 22' 11"

The hardship we are seeking relief from is due to the unique characteristics of the subject land, particularly after combining the properties and lack of any structure to protect the expensive equipment I require for maintenance.

The hardship is not due to any prior action of myself, I purchased the property in its present configuration. I am not

seeking relief for my own economic gain but to prevent deterioration of the equipment needed to maintain the property. The granting of the requested variance will not alter the general characteristics of the surrounding area or impair the intent or purpose of the zoning ordinance or the Comprehensive Plan of the Town of Bristol.

This relief to be granted is the least relief necessary to store equipment and provide maintenance to my property. If the dimensional variance is not granted, it would amount to more than a mere inconvenience and

In every other respect we are maintaining the lot in conformance with existing Bristol Zoning regulations. If you require anything further, please do not hesitate to contact me. Thank you for your attention to this matter.

Sincerely,

A handwritten signature in black ink, appearing to read "Robert M Kref", written in a cursive style.

Robert M Kref

PAGE:
6

SHEETS:
6

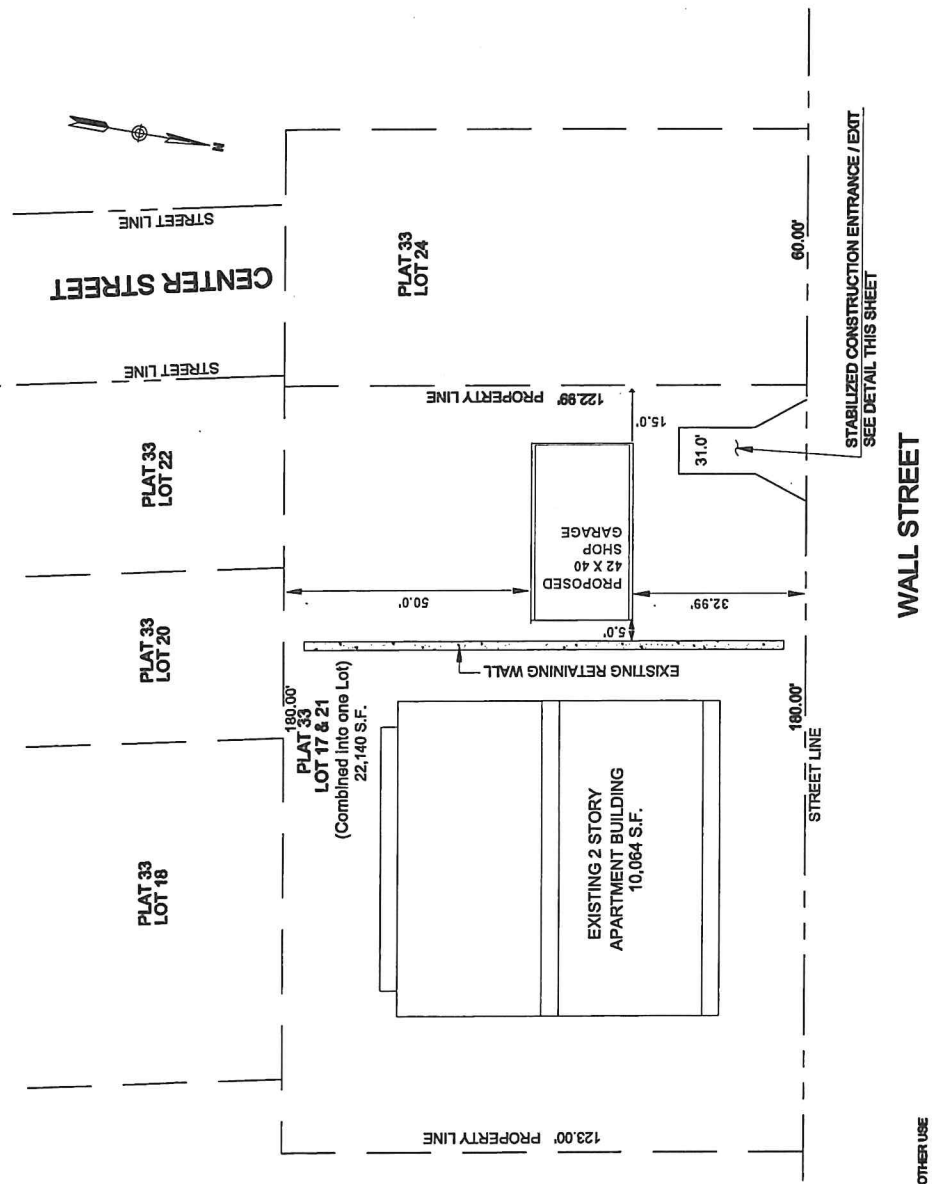
Proposed
Garage For:
Robert Kreft
16 Wall Street
Bristol, Rhode Island
Map 33 Lot 17
and
Map 33 Lot 21
Combined into one Lot

PROJECT NUMBER:	00418
Drawn By:	GM
Checked By:	X
Issue Date:	03-12-20

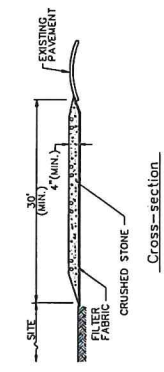
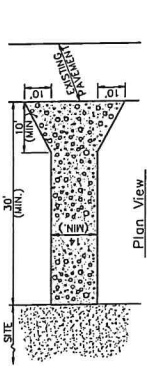
SHEET LEGEND:

Revisions No	Date	Description

Drawing Title
Site Plan
Scale: 1"=10'



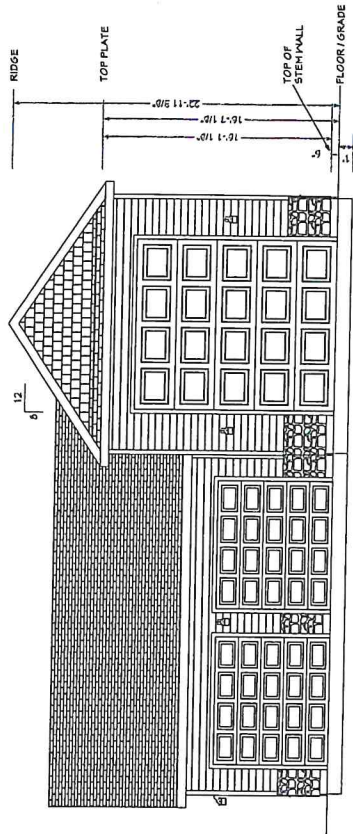
WALL STREET



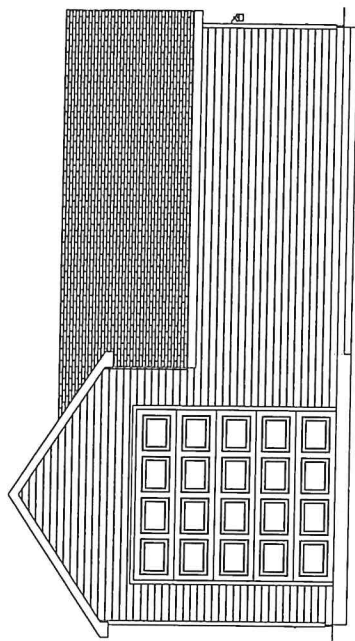
- Notes:**
- ENTRANCE WIDTH SHALL BE A FOURTEEN (14) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO ADJACENT PAVED SURFACES. THE ENTRANCE SHALL BE DRESSED WITH AN ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO SECURE THE ENTRANCE SHALL BE IMMEDIATELY WASHED OR TRAVED ONTO PAVED SURFACES. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
 - STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

STABILIZED CONSTRUCTION ENTRANCE / EXIT
NOT TO SCALE

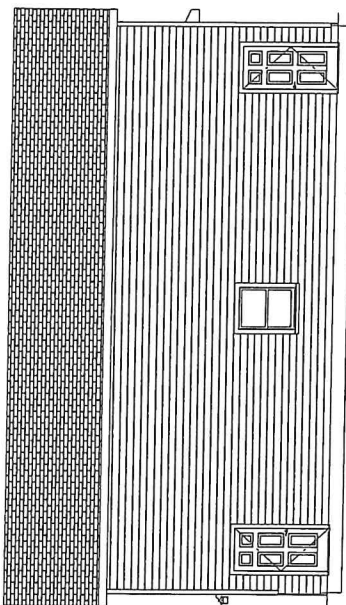
- REFERENCES:**
DRAWING IS NOT SURVEYED AND WAS DEVELOPED USING TOWN OF BRISTOL GIS MAPPING.
- R-6 ZONING SETBACKS**
MINIMUM SIDE YARD - 10 FT.
MINIMUM FRONT YARD - 20 FT.
MINIMUM REAR YARD - 20 FT.
MAXIMUM HEIGHT OF PRINCIPLE STRUCTURES - 38 FT.
MAXIMUM HEIGHT OF ACCESSORY STRUCTURES - 20 FT.
MAXIMUM LOT COVERAGE BY STRUCTURES - 30% RESIDENTIAL 30% ANY OTHER USE



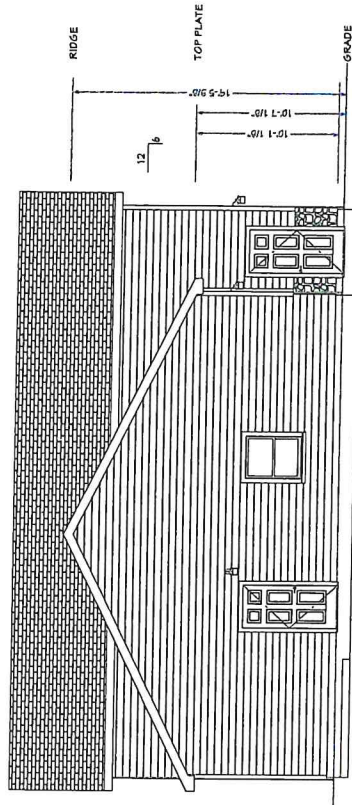
FRONT ELEVATION
SCALE: 1/4" = 1'



REAR ELEVATION
SCALE: 1/4" = 1'



RIGHT ELEVATION
SCALE: 1/4" = 1'

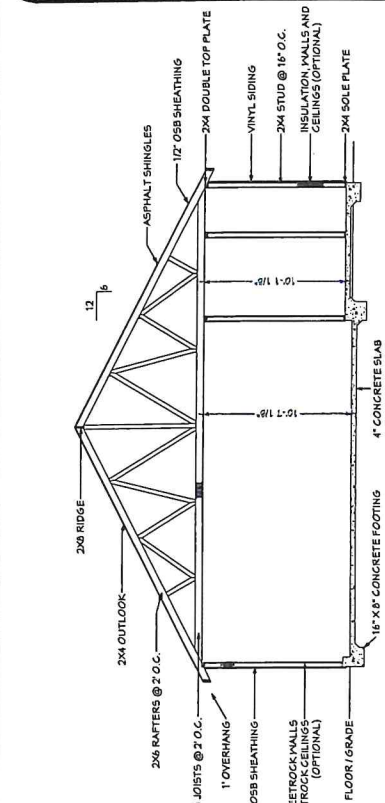


LEFT ELEVATION
SCALE: 1/4" = 1'

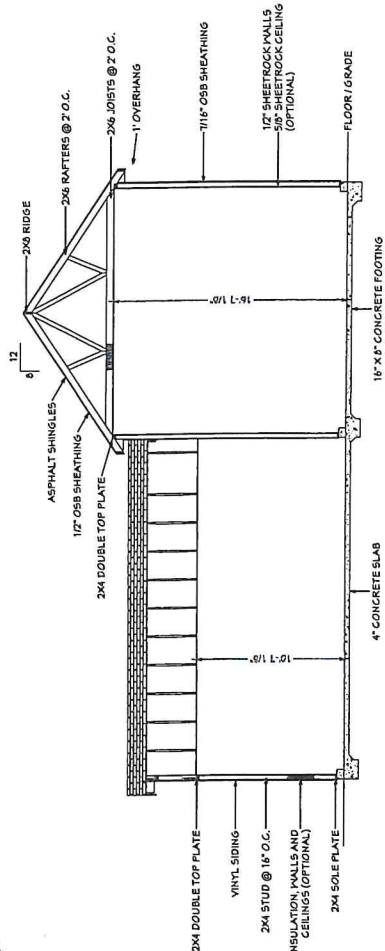


42x40 Garage #42X40G1B

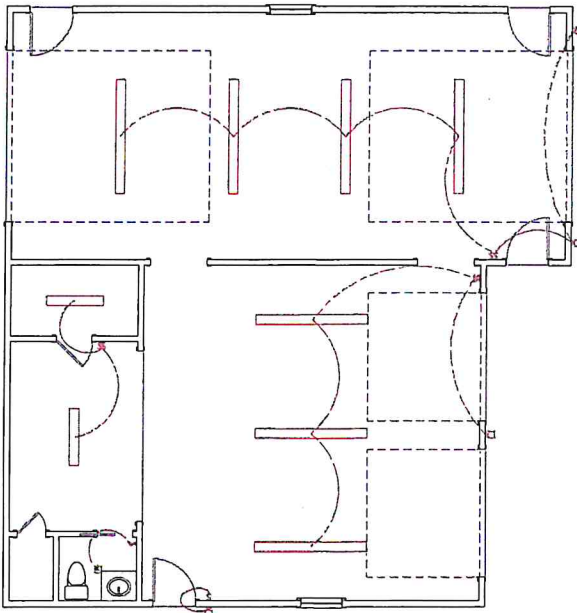
SQUARE FEET: 1537 (230 Storage)
WIDTH: 42'
DEPTH: 40'
EXTERIOR WALL STRUCTURE: 2X4 STUDS



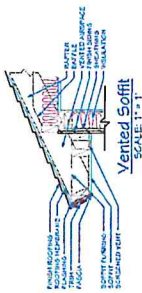
CROSS SECTION
SCALE: 1/4" = 1'



CROSS SECTION
SCALE: 1/4" = 1'

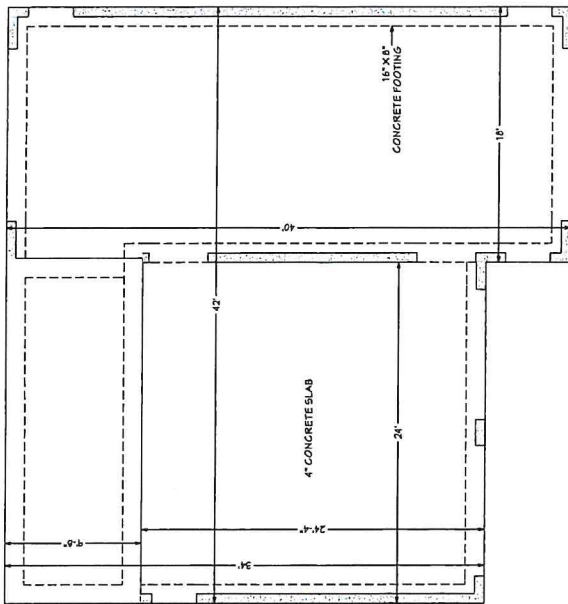


LIGHTING PLAN
SCALE: 1/4" = 1'



ALL FIXTURES TO BE INSTALLED AS PER ACTUAL VEHICLE CONDITIONS, ELECTRICAL CODE AND HOME OWNER OR INTERIOR LIGHTING CONSULTANT. SHOWN IS SUGGESTED LIGHTING FIXTURES AND MUST BE APPROVED BY HOMEOWNER PRIOR TO WORK.

- ▭ 48" FLUORESCENT LIGHT
- ▭ 48" FLUORESCENT LIGHT
- ▭ WIDE BRIM SCONCE
- ▭ RECESSED DOWN LIGHT

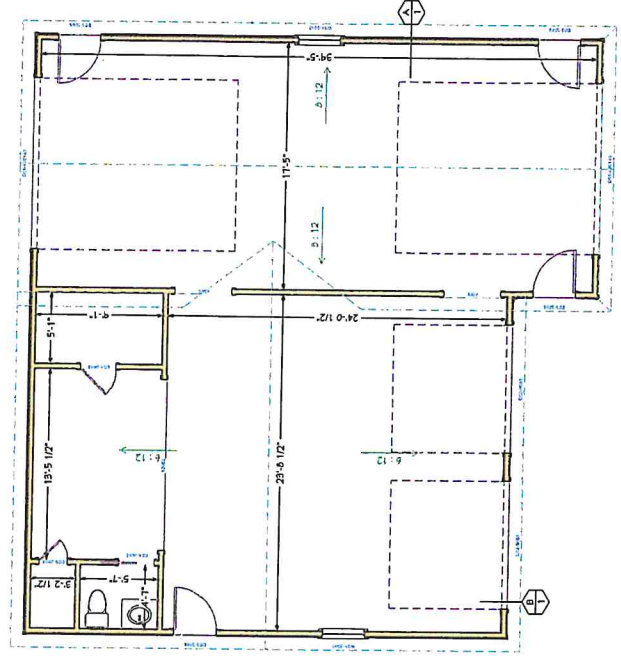
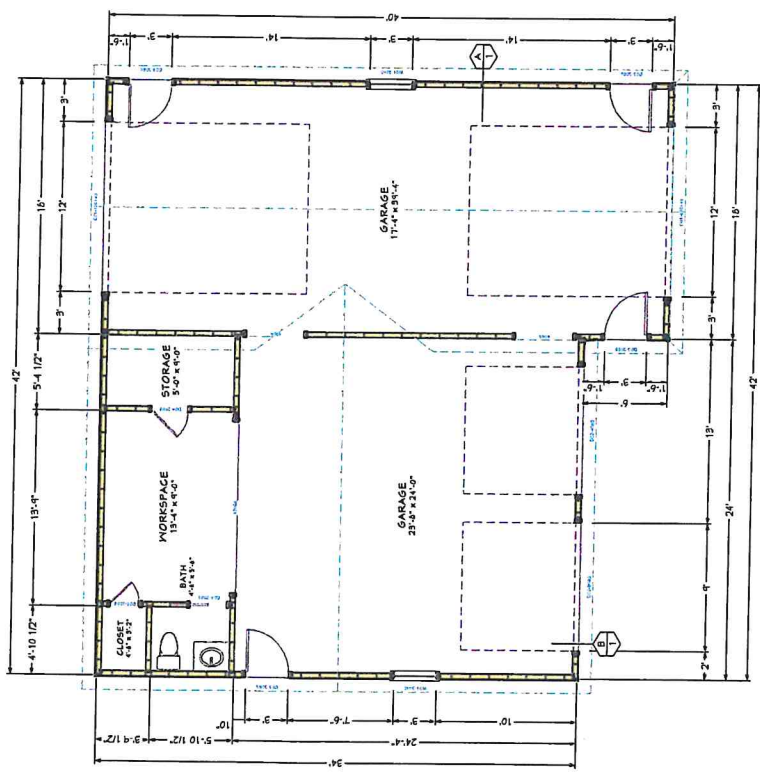


42x40 Garage
#42X40G1B

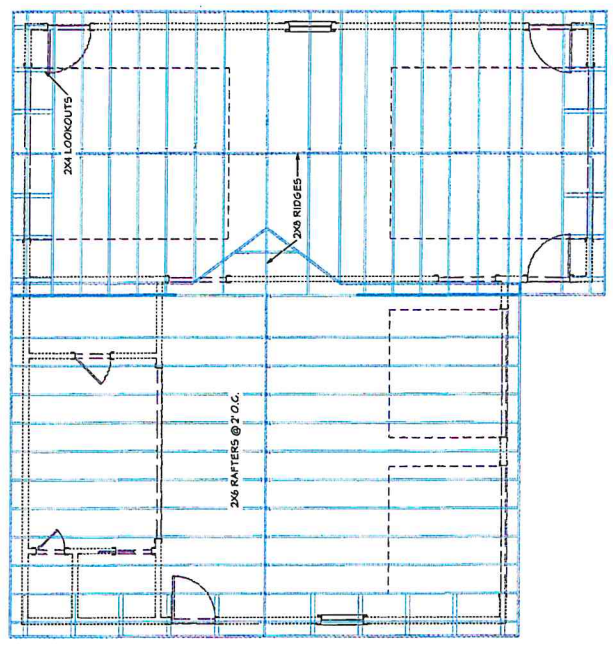
FOUNDATION PLAN
SCALE: 1/4" = 1'

NUMBER	DATE	BY	REVISION	COMMENTS
001	03-1-2014	J	1	ISSUED
002	03-1-2014	J	1	ISSUED
003	03-1-2014	J	1	ISSUED
004	03-1-2014	J	1	ISSUED
005	03-1-2014	J	1	ISSUED

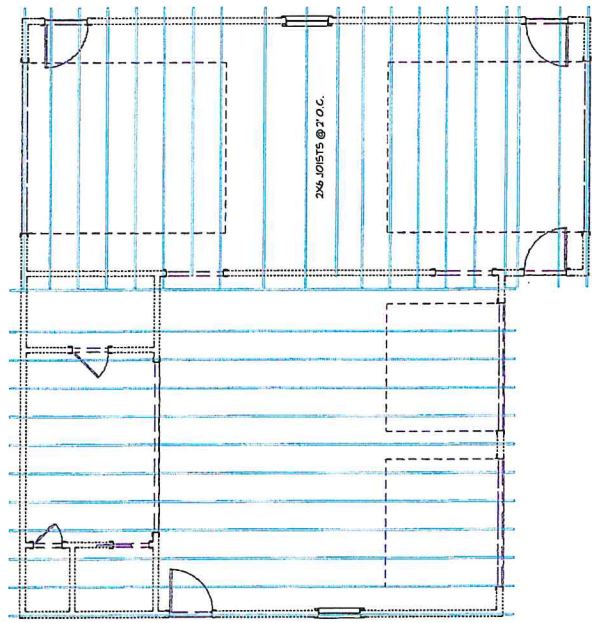
NUMBER	DATE	BY	REVISION	COMMENTS
001	03-1-2014	J	1	ISSUED
002	03-1-2014	J	1	ISSUED
003	03-1-2014	J	1	ISSUED
004	03-1-2014	J	1	ISSUED
005	03-1-2014	J	1	ISSUED



42x40 Garage
#42X40G1B



ROOF FRAMING PLAN
SCALE: 1/4" = 1'



CEILING FRAMING PLAN
SCALE: 1/4" = 1'

42x40 Garage
#42X40G1B

PAGE:

5

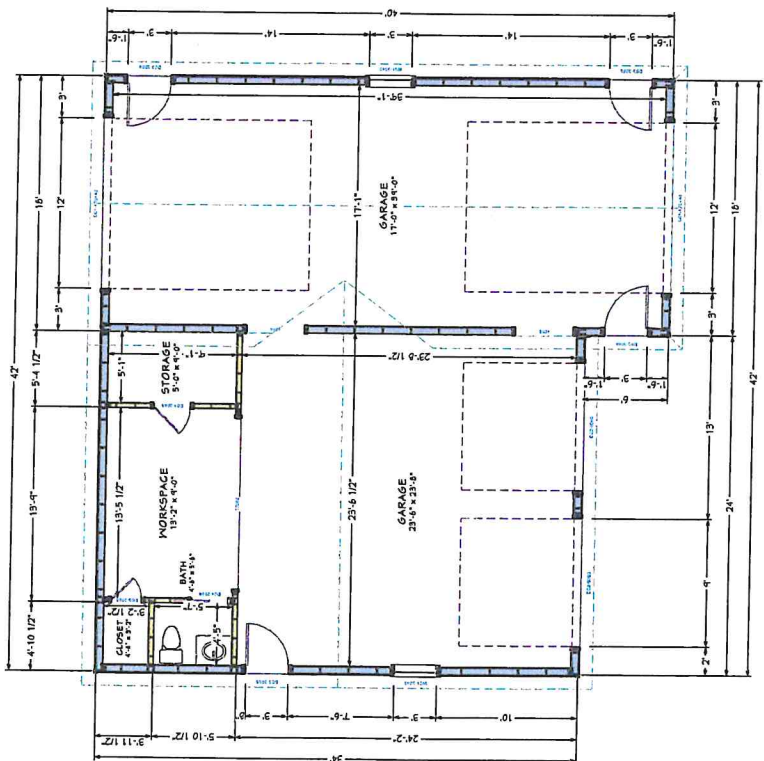
SHEETS:

6

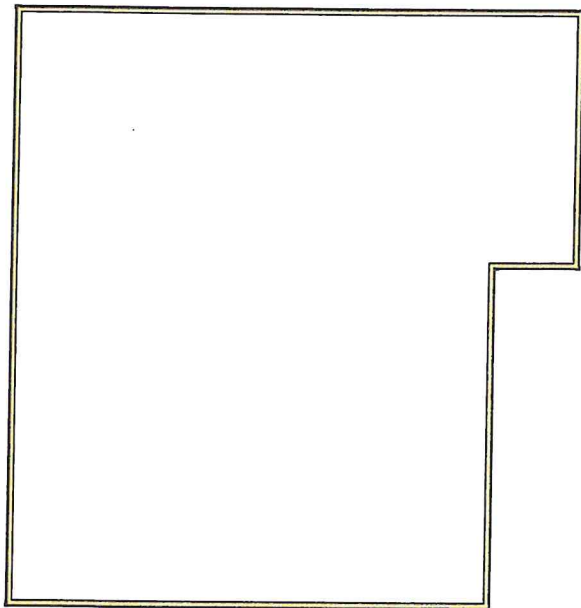
Kreft Floor Plans

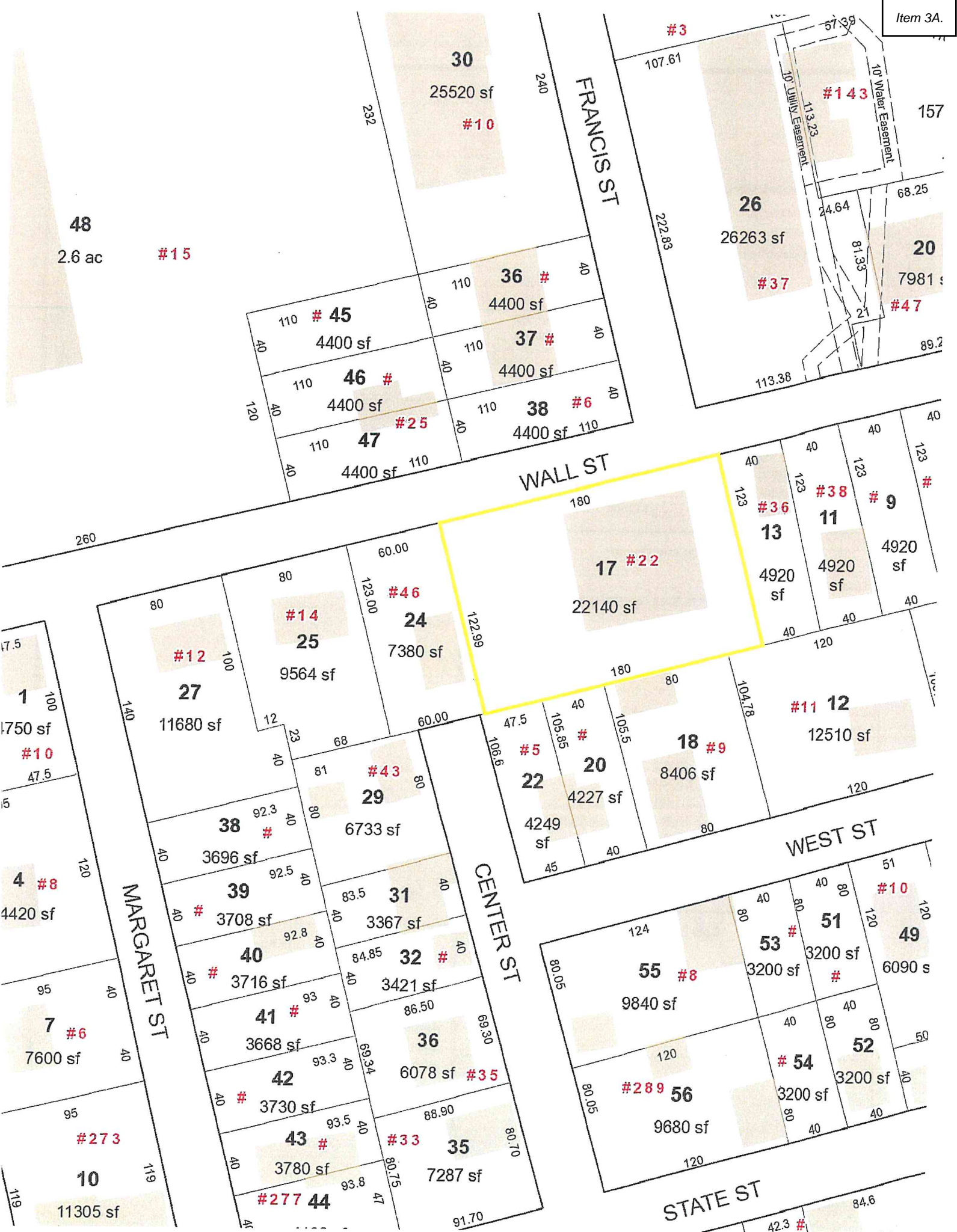
42x40 Garage
#42X40G1B

2x6 Exterior Walls @ 2' O.C.



MAIN FLOOR PLAN
SCALE: 1/4" = 1'





Bristol, RI

[Home](#)

[Search](#)

[Print](#)

[Previous](#)

[Next](#)

Disclaimer: This information is for tax assessing purposes and is not warranted

Parcel Identification

Map/Lot	33 17
Account	2587
State Code	03 - Apartments
Card	1/1
User Account	

Assessment

Land	\$177,800
Building	\$969,100
Card Total	\$1,146,900
Parcel Total	\$1,146,900



Prior Assessments

Fiscal Year	Land Value	Building Value	Outbuilding Value	Total Value
2021	\$183,300	\$780,300	\$11,000	\$974,600
2020	\$180,600	\$780,300	\$11,000	\$971,900
2019	\$180,600	\$847,800	\$11,000	\$1,039,400
2018	\$163,500	\$812,800	\$10,600	\$986,900

Location and Owner

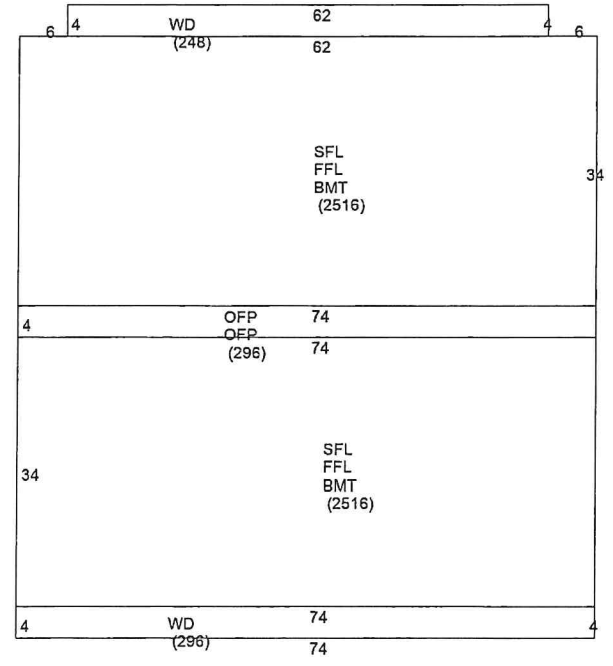
Location	22 WALL ST
Owner	KREFT, ROBERT M., TRUSTEE-ROBERT M KREFT TRUST
Owner2	
Owner3	
Address	17 SANDY LANE
Address2	
Address3	BRISTOL RI 02809

Building Information

Design	Apt
Year Built	1994
Heat	BB Hot Water
Fireplaces	0
Rooms	48
Bedrooms	24
Bathrooms	12 Full Bath\ 12 Half Bath
Above Grade Living Area	10,064 SF

Sale Information

Sale Date	Sale Price	Legal Reference	Instrument
10/09/2020	\$0	2062-174	Warranty
08/17/2018	\$112,500	1952-73	Warranty
05/23/2013	\$962,500	1709-306	Warranty
03/22/2013	\$850,000	1699-134	Warranty



Building Sub Areas

Sub Area	Net Area
1st FLOOR	5,032 SF
2nd FLOOR	5,032 SF
BASEMENT	5,032 SF
OPEN PORCH	592 SF
WOOD DECK	544 SF

Land Information

Land Area	0.508 AC
Zoning	R-6
View	-

Owner ▶ **Owner Account #:**

Owner 1	KREFT, ROBERT M., TRUSTEE-ROBERT M KREFT TRU:	% Owned
Owner 2		
Owner 3		
Address	17 SANDY LANE, BRISTOL, RI 02809	

Previous Owners & Sales Information

Grantor	Date	Sale Price	Leg Ref	Deed Type
KREFT, ROBERT M.	10/09/2020	0	2062-174	NAL
WOOD FRAME STRUCTURES	08/17/2018	112,500	1952-73	A
WALL STREET INVESTMENTS, LLC	05/23/2013	962,500	1709-306	W
MVP ASSOCIATES, LLC	03/22/2013	850,000	1699-134	L

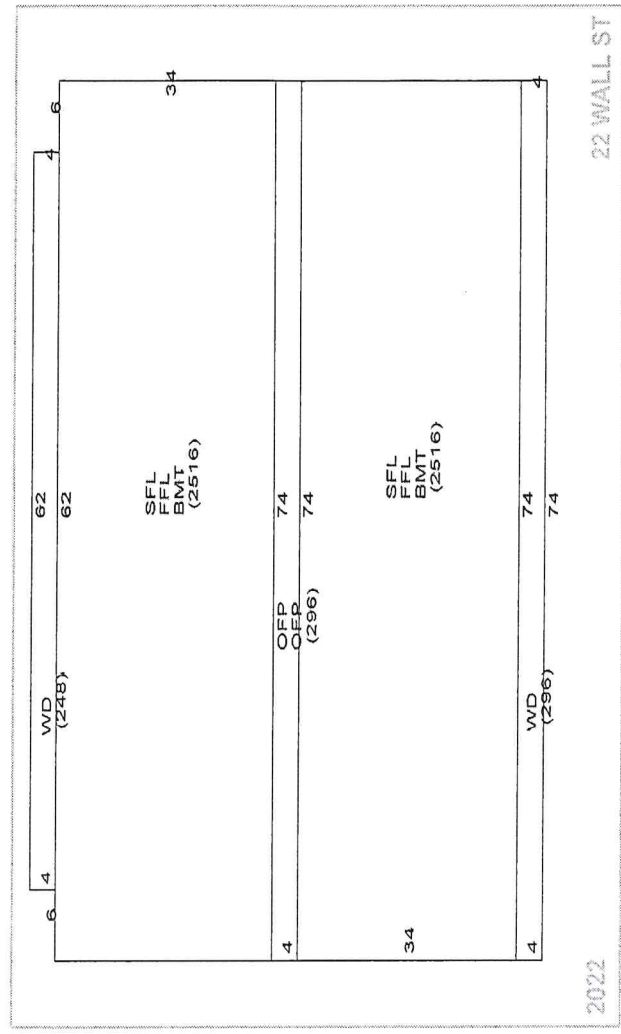
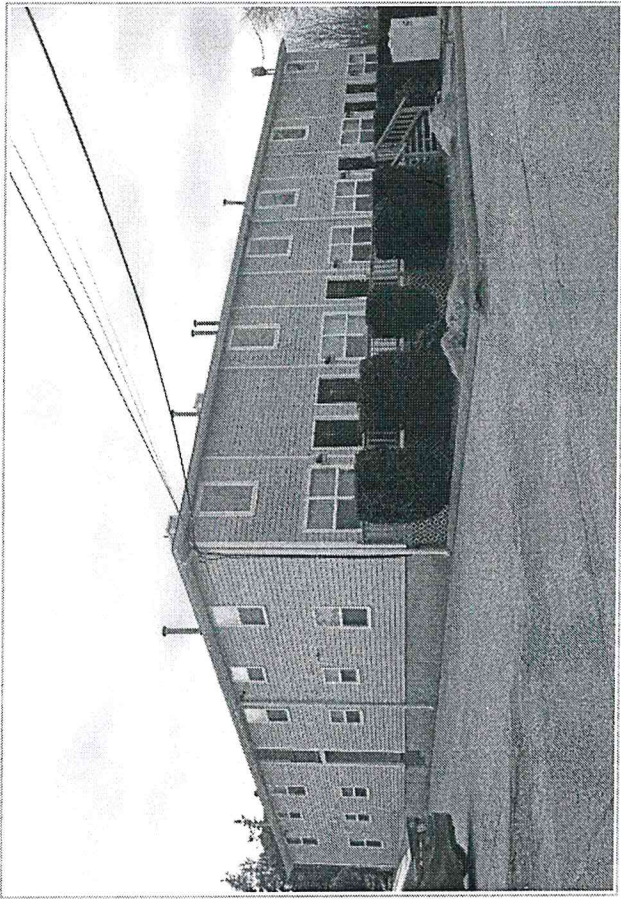
Assessment

Use Code	Bldg Value	SF/YI Value	Land Size	Land Value	AG Credit	Assessed Value
03	958,100	11,000	0.51	177,800	0	1,146,900
TOTAL	958,100	11,000	0.51	177,800	0	1,146,900

Source > Mkt Adj Cost VAL per SQ Unit/Card > 70.66 VAL per SQ Unit/Parcel > 70.66

Previous Assessments

Year	LUC	Building	SF/YI	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2022	03	958,100	11,000	1	177,800	0	1,146,900	1,146,900
2021	03	780,300	11,000	1	183,300	0	974,600	974,600
2020	03	780,300	11,000	0	180,600	0	971,900	971,900
2019	03	847,800	11,000	0	180,600	0	1,039,400	1,039,400
2018	03	812,800	10,600	0	163,500	0	986,900	986,900
2017	03	812,800	10,600	0	163,500	0	986,900	986,900



Land Information

Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh	Inf 1 %	Inf 2 %	Inf 3 %	Appr Value	Spec Land	Juris	Fact	Use Value
1 03 Apartment:	0.22957	AC	P	1.00	615,950	616,805	C13				141,600			1.00	0
2 03 Apartment:	0.27869	AC	R	0.25	615,950	129,893	C13				36,200			1.00	0
3															
4															

Item 3A.



Building Information

Description	Description
BLDG Type	2 Story
RES Units	0
Foundation	Concrete
Frame 1	Wood
EXT Wall 1	Clapboard
Roof Type 1	Hip
Roof Cover 1	Asphalt Shir
INT Wall 1	INT Wall 2
Floors 1	Floors 2
BMT Garages	Color GRAY
Plumbing	Electrical
Insulation	INT vs EXT
Heat Fuel	Oil
# Heat Sys	1
% Solar HW	% Heated
% COM Wall	% A/C
Ceill HGH	8
Parking Type	% Ceiling Type
EXT View	% Sprinkled

Other Factors

Grade	Q4	Q4	Flood Hazard	Topography	Street	LEVEL
Year Built	1994	EFF Year				PAVED
Alt LUC		Alt %				
Bas \$/SQ	115.00	Size Adj				
Constr Adj	0.87	Adj \$/SQ				
Condition	AG	AG - Avg-Goo	19.4			
Functional			0.0			
Economic			0.0			
Special			0.0			
OV						
Adj Total	1,188,694					
Depreciation	230,607					
Depr Total	958,087					
Total Depreciation %	>	19.4				

Sub-Area Detail

Code	Description	Area	Fin. Area	Rate	Unde V
FFL	1st FLOOR	5,032	5,032	96.51	485,638
SFL	2nd FLOOR	5,032	5,032	96.51	485,638
BMT	BASEMENT	5,032	0	14.48	72,864
OPF	OPEN PORCH	592	0	11.03	6,530
WD	WOOD DECK	544	0	15.50	8,424
Total		16,232	#####		1,059,094

Notes

12 UNITS LAND AREA CORRECTED 12/06 EAS LOTS 15 & 19 DROPPED INTO THIS LOT 10/28/93 2 units undergoing renovations of new kitchens, baths on inspection date. KR strip and rerof new windows and siding 11-6-13 mcb [PORTION OF LOT 0023 DROPPED INTO THIS LOT SEE ENV #520 9/21/06 ASSESSMENT REDUCED BY BOARD #2011-066 11/11 EAS Lot deemed buildable by zoning 5/4/18 MD

Remodeling History

Additions	Plumbing	Electric	Heating	General
Interior				
Exterior				
Kitchen				
Bath(s)				

Condo Data

Complex	Location	Tot Units	FL Level	# Floors	Bldg Seg
				0	1

Building Permits

Issue Date	Permit #	Closed Date	BP Type	Est. Cost	% Done	Status	Description/Directions
09/20/2021	B52861		BLDG	15,000		Closed	Install 12 replacement windows same size same location .27 u.value
07/27/2018	B46972		BLDG	10,000	0	Closed	FOUNDATION ONLY FOR SINGLE FAMILY RESIDENCE
07/12/2018	B46826		BLDG	110,000	0	Closed	CONSTRUCT SINGLE FAMILY HOME TO MEET STATE AND LOCAL CODES
08/28/2014	B33388		BLDG	0		Closed	INSTALL 4' METAL FENCE TO SIDES AND REAR OF PROPERTY
10/23/2013	B25945		BLDG	0		Closed	INSTALL NEW WINDOWS AND SIDING
09/26/2013	B25638		BLDG	0		Closed	RESHINGLE ROOF TO CODE
07/21/2010	E2863		ELEC	0		Closed	INSTALL FIRE ALARMS

Special Features & Yard Items

Use	Description	A	Y/S	Qty	Length	Width	SF Size	Quality	Condition	Year	Assessed Value
1	56 Paving-Aspt	1	Y	1			8,000	3	AV	1994	11,000

Other Info.

AFDU	Term/Rental	PriorID1c	PriorID2a	PriorID2b	PriorID2c	PriorID3a	PriorID3b	PriorID3c

Room Counts by Floor

Units	# Rooms	# Bedrooms	Floor Level
1	12	4	2
2			U
3			
4			
Totals	12	48	24



22 Wall St - 200' Radius

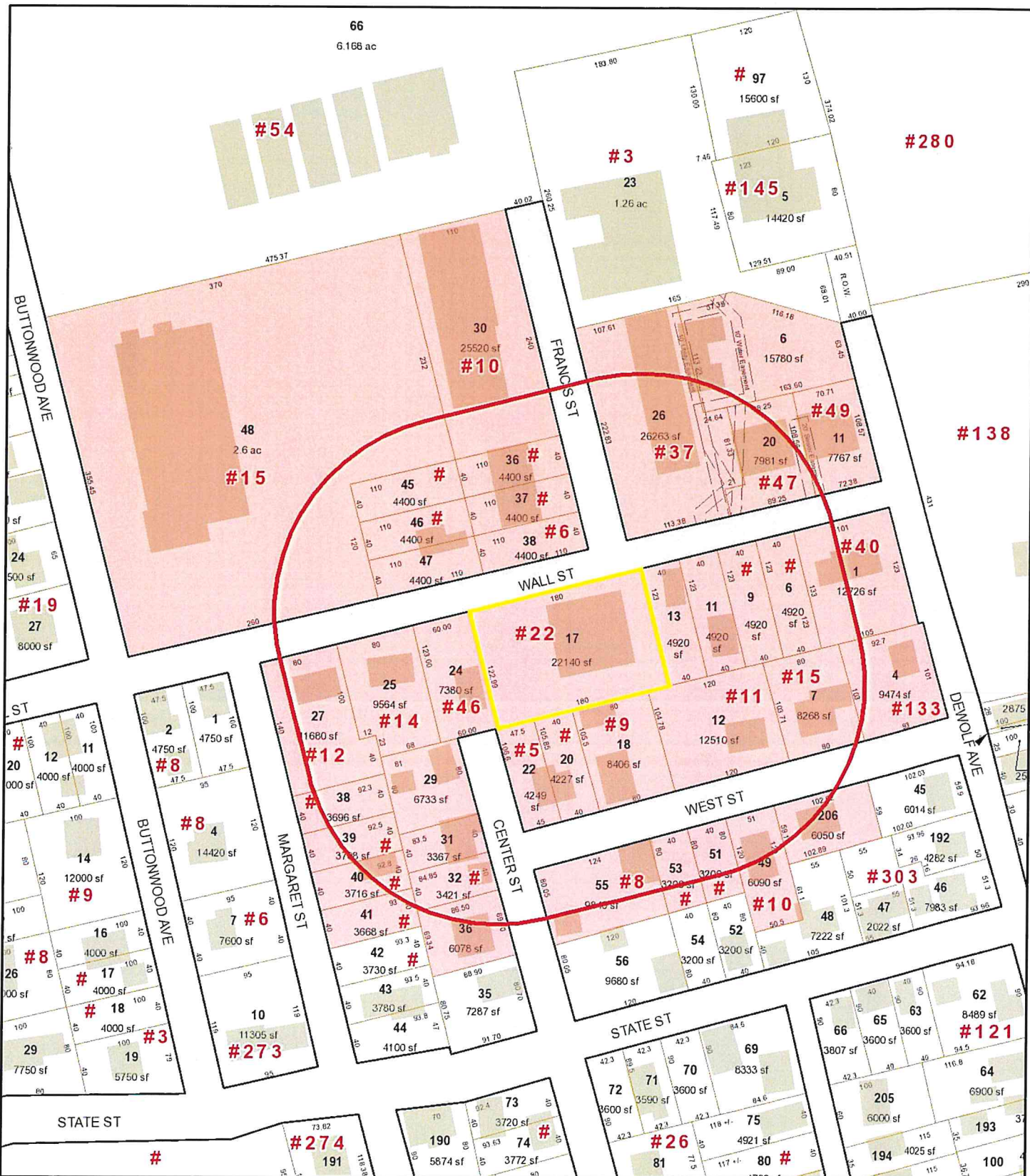
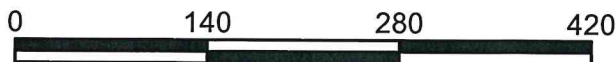
Bristol, RI



August 23, 2023

1 inch = 140 Feet

www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



200 foot Abutters List Report

Bristol, RI
August 23, 2023

Subject Property:

Parcel Number: 33-17
CAMA Number: 33-17
Property Address: 22 WALL ST

Mailing Address: KREFT, ROBERT M., TRUSTEE-ROBERT
M KREFT TRUST
17 SANDY LANE
BRISTOL, RI 02809

Abutters:

Parcel Number: 33-1
CAMA Number: 33-1
Property Address: 40 WALL ST

Mailing Address: BRANCO, JOSEPH JOAN
40 WALL ST
BRISTOL, RI 02809

Parcel Number: 33-11
CAMA Number: 33-11
Property Address: 38 WALL ST

Mailing Address: FURTADO, DANIEL C
38 WALL ST
BRISTOL, RI 02809

Parcel Number: 33-12
CAMA Number: 33-12
Property Address: 11 WEST ST

Mailing Address: SKARPOS, ELIAS N
324 HILTON ST
TIVERTON, RI 02878

Parcel Number: 33-13
CAMA Number: 33-13
Property Address: 36 WALL ST

Mailing Address: KREFT, ROBERT M - TRUSTEE ROBERT
M KREFT TRUST
17 SANDY LANE
BRISTOL, RI 02809

Parcel Number: 33-17
CAMA Number: 33-17
Property Address: 22 WALL ST

Mailing Address: KREFT, ROBERT M., TRUSTEE-ROBERT
M KREFT TRUST
17 SANDY LANE
BRISTOL, RI 02809

Parcel Number: 33-18
CAMA Number: 33-18
Property Address: 9 WEST ST

Mailing Address: NINE WEST PROPERTIES, LLC
32 LORRAINE STREET
BARRINGTON, RI 02806

Parcel Number: 33-20
CAMA Number: 33-20
Property Address: WEST ST

Mailing Address: TROTT, JENNA R & TYLER D TE
PINGITORE, RAYMOND J JT
5 WEST ST
BRISTOL, RI 02809

Parcel Number: 33-206
CAMA Number: 33-206
Property Address: 14 WEST ST

Mailing Address: DIGATI, GINA M
115 HIGH STREET
BRISTOL, RI 02809

Parcel Number: 33-22
CAMA Number: 33-22
Property Address: 5 WEST ST

Mailing Address: TROTT, JENNA R & TYLER D TE
PINGITORE, RAYMOND J JT
5 WEST ST
BRISTOL, RI 02809

Parcel Number: 33-24
CAMA Number: 33-24
Property Address: 46 CENTER ST

Mailing Address: FERRO, SHERRI A
46 CENTER ST
BRISTOL, RI 02809



www.cai-tech.com



200 foot Abutters List Report

Bristol, RI
August 23, 2023

Parcel Number: 33-25 CAMA Number: 33-25 Property Address: 14 WALL ST	Mailing Address: COTA, JOAO S MARIA F 14 WALL STREET BRISTOL, RI 02809
Parcel Number: 33-27 CAMA Number: 33-27 Property Address: 12 WALL ST	Mailing Address: PACHECO, JOSE M TERESA J LIFE ESTATE & PACHE 12 WALL ST BRISTOL, RI 02809
Parcel Number: 33-29 CAMA Number: 33-29 Property Address: 43 CENTER ST	Mailing Address: STEINER, BLANCHE B TRUSTEE BLANCHE B STEINER TRUST 43 CENTER ST BRISTOL, RI 02809
Parcel Number: 33-31 CAMA Number: 33-31 Property Address: 41 CENTER ST	Mailing Address: HORTA, BRIAN J 41 CENTER ST BRISTOL, RI 02809
Parcel Number: 33-36 CAMA Number: 33-36 Property Address: 35 CENTER ST	Mailing Address: TEIXEIRA, ASHLEY S 35 CENTER ST BRISTOL, RI 02809
Parcel Number: 33-38 CAMA Number: 33-38 Property Address: MARGARET ST	Mailing Address: RAPOSA, RONALD & CAMPBELL, REGINA TOWN OF BRISTOL TT 57 ST ELIZABETH ST BRISTOL, RI 02809
Parcel Number: 33-39 CAMA Number: 33-39 Property Address: MARGARET ST	Mailing Address: RAPOSA, RONALD & CAMPBELL, REGINA TOWN OF BRISTOL TT 57 ST ELIZABETH ST BRISTOL, RI 02809
Parcel Number: 33-4 CAMA Number: 33-4 Property Address: 133 DEWOLF AVE	Mailing Address: ABENANTE, JULIE & DUNBAR, KATIE JT 133 DEWOLF AVE BRISTOL, RI 02809
Parcel Number: 33-40 CAMA Number: 33-40 Property Address: MARGARET ST	Mailing Address: HORTA, ARMANDO JR. SANDRA TE 277 STATE ST BRISTOL, RI 02809
Parcel Number: 33-41 CAMA Number: 33-41 Property Address: MARGARET ST	Mailing Address: HORTA, ARMANDO JR. SANDRA TE 277 STATE ST BRISTOL, RI 02809
Parcel Number: 33-49 CAMA Number: 33-49 Property Address: 10 WEST ST	Mailing Address: ANDRADE, ANTONIO S. MARY E. TE 10 WEST ST BRISTOL, RI 02809
Parcel Number: 33-51 CAMA Number: 33-51 Property Address: WEST ST	Mailing Address: SKELLY, ANNA C 293 STATE ST BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.



200 foot Abutters List Report

Bristol, RI
August 23, 2023

Parcel Number: 33-53
CAMA Number: 33-53
Property Address: WEST ST

Mailing Address: SKELLY, ANNA C
293 STATE ST
BRISTOL, RI 02809

Parcel Number: 33-55
CAMA Number: 33-55
Property Address: 8 WEST ST

Mailing Address: MONTEIRO, KYLE R & ELYSE S TE
8 WEST ST
BRISTOLT, RI 02809

Parcel Number: 33-6
CAMA Number: 33-6
Property Address: WALL ST

Mailing Address: FURTADO, DANIEL C
38 WALL ST
BRISTOL, RI 02809

Parcel Number: 33-7
CAMA Number: 33-7
Property Address: 15 WEST ST

Mailing Address: ROBINSON JANET K
15 WEST STREET
BRISTOL, RI 02809

Parcel Number: 33-9
CAMA Number: 33-9
Property Address: WALL ST

Mailing Address: FURTADO, DANIEL C
38 WALL ST
BRISTOL, RI 02809

Parcel Number: 37-11
CAMA Number: 37-11
Property Address: 49 WALL ST

Mailing Address: MATOS ASSOCIATES, LLC
37 WALL ST
BRISTOL, RI 02809

Parcel Number: 37-20
CAMA Number: 37-20
Property Address: 47 WALL ST

Mailing Address: MATOS ASSOCIATES, LLC
37 WALL ST
BRISTOL, RI 02809

Parcel Number: 37-26
CAMA Number: 37-26
Property Address: 37 WALL ST

Mailing Address: MATOS ASSOCIATES, LLC
37 WALL ST
BRISTOL, RI 02809

Parcel Number: 37-30
CAMA Number: 37-30
Property Address: 10 FRANCIS ST

Mailing Address: JRM PROPERTIES, LLC
PO BOX 305
PORTSMOUTH, RI 02871

Parcel Number: 37-36
CAMA Number: 37-36
Property Address: FRANCIS ST

Mailing Address: RELIABLE PEST CONTROL INC
6 FRANCIS ST
BRISTOL, RI 02809

Parcel Number: 37-37
CAMA Number: 37-37
Property Address: FRANCIS ST

Mailing Address: RELIABLE PEST CONTROL INC
6 FRANCIS ST
BRISTOL, RI 02809

Parcel Number: 37-38
CAMA Number: 37-38
Property Address: 6 FRANCIS ST

Mailing Address: RELIABLE PEST CONTROL INC
6 FRANCIS ST
BRISTOL, RI 02809



www.cai-tech.com



200 foot Abutters List Report

Bristol, RI
August 23, 2023

Parcel Number: 37-47
CAMA Number: 37-47
Property Address: 25 WALL ST

Mailing Address: ARRUDA, ALISON & GREGORY TE
52 VIKING DR
BRISTOL, RI 02809

Parcel Number: 37-48
CAMA Number: 37-48
Property Address: 15 WALL ST

Mailing Address: AJS ENTERPRISES LLC ATTN: STEVE J.
DOLAN
267 FERRY LANDING CIRCLE
PORTSMOUTH, RI 02871

Parcel Number: 37-6
CAMA Number: 37-6
Property Address: 143 DEWOLF AVE

Mailing Address: MATOS ASSOCIATES, LLC
37 WALL ST
BRISTOL, RI 02809



www.cai-tech.com

8/23/2023

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 4 of 4

ABENANTE, JULIE & DUNBAR,
133 DEWOLF AVE
BRISTOL, RI 02809

HORTA, ARMANDO JR.
SANDRA TE
277 STATE ST
BRISTOL, RI 02809

ROBINSON JANET K
15 WEST STREET
BRISTOL, RI 02809

AJS ENTERPRISES LLC
ATTN: STEVE J. DOLAN
267 FERRY LANDING CIRCLE
PORTSMOUTH, RI 02871

JRM PROPERTIES, LLC
PO BOX 305
PORTSMOUTH, RI 02871

SKARPOS, ELIAS N
324 HILTON ST
TIVERTON, RI 02878

ANDRADE, ANTONIO S.
MARY E. TE
10 WEST ST
BRISTOL, RI 02809

KREFT, ROBERT M - TRUSTEE
ROBERT M KREFT TRUST
17 SANDY LANE
BRISTOL, RI 02809

SKELLY, ANNA C
293 STATE ST
BRISTOL, RI 02809

ARRUDA, ALISON & GREGORY
52 VIKING DR
BRISTOL, RI 02809

KREFT, ROBERT M., TRUSTEE
17 SANDY LANE
BRISTOL, RI 02809

STEINER, BLANCHE B TRUSTE
BLANCHE B STEINER TRUST
43 CENTER ST
BRISTOL, RI 02809

BRANCO, JOSEPH
JOAN
40 WALL ST
BRISTOL, RI 02809

MATOS ASSOCIATES, LLC
37 WALL ST
BRISTOL, RI 02809

TEIXEIRA, ASHLEY S
35 CENTER ST
BRISTOL, RI 02809

COTA, JOAO S
MARIA F
14 WALL STREET
BRISTOL, RI 02809

MONTEIRO, KYLE R & ELYSE
8 WEST ST
BRISTOLT, RI 02809

TROTT, JENNA R & TYLER D
PINGITORE, RAYMOND J JT
5 WEST ST
BRISTOL, RI 02809

DIGATI, GINA M
115 HIGH STREET
BRISTOL, RI 02809

NINE WEST PROPERTIES, LLC
32 LORRAINE STREET
BARRINGTON, RI 02806

FERRO, SHERRI A
46 CENTER ST
BRISTOL, RI 02809

PACHECO, JOSE M
TERESA J LIFE ESTATE & P
12 WALL ST
BRISTOL, RI 02809

FURTADO, DANIEL C
38 WALL ST
BRISTOL, RI 02809

RAPOSA, RONALD & CAMPBELL
TOWN OF BRISTOL TT
57 ST ELIZABETH ST
BRISTOL, RI 02809

HORTA, BRIAN J
41 CENTER ST
BRISTOL, RI 02809

RELIABLE PEST CONTROL INC
6 FRANCIS ST
BRISTOL, RI 02809

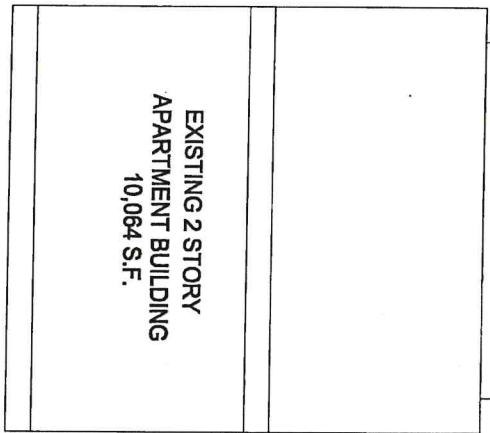
TOWN OF BRISTOL
COMMUNITY DEV.

2023 SEP 20 PM 2:07

PLAT 33
LOT 18

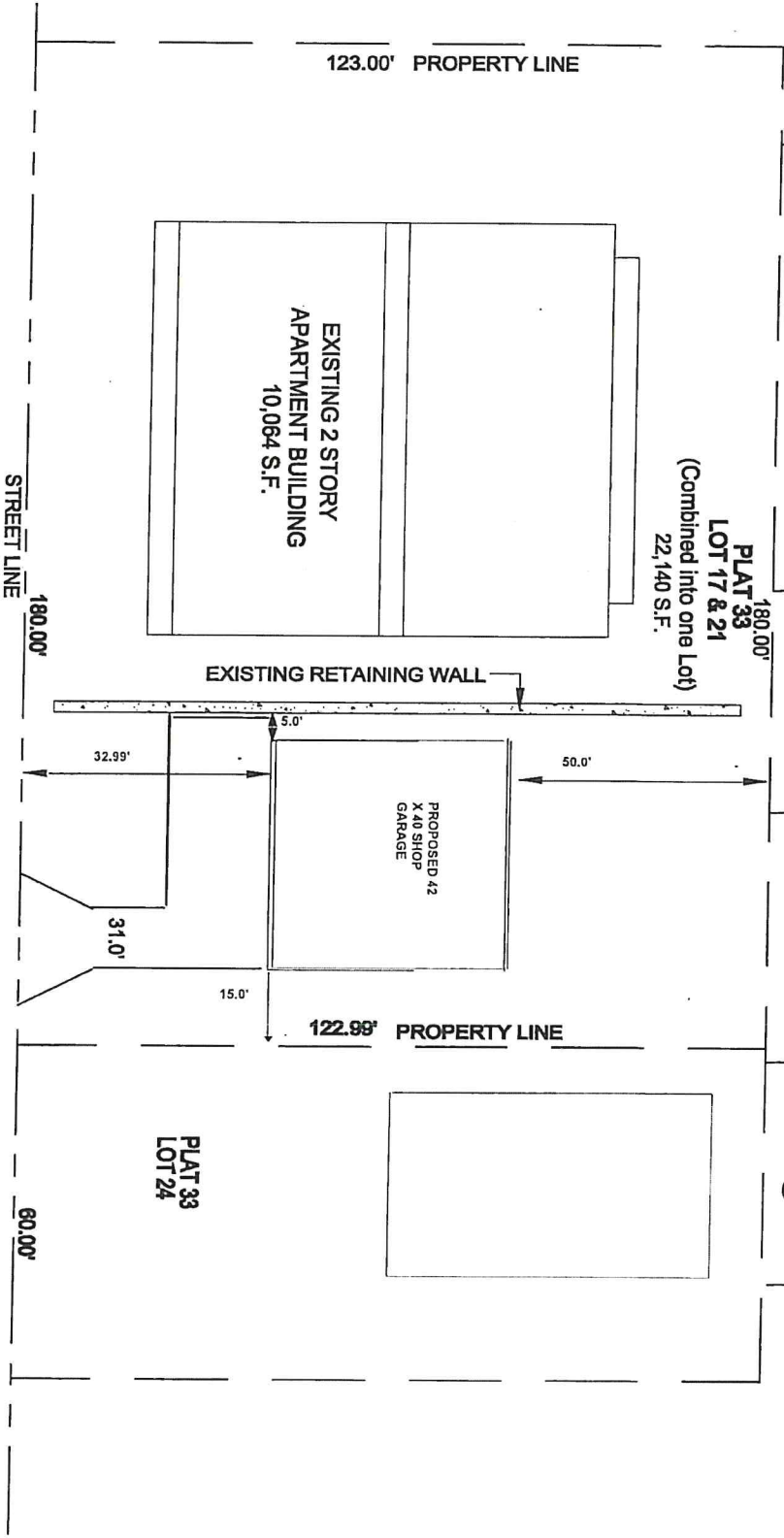
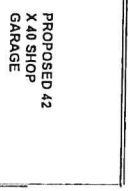
PLAT 33
LOT 20

PLAT 33
LOT 22



PLAT 33
LOT 17 & 21
(Combined into one lot)
22,140 S.F.

EXISTING RETAINING WALL



WALL STREET

CENTER STREET



Proposed
Garage For:
Robert Kerff
18 Wall Street
Bristol, Rhode Island
Map 33 Lot 17
and
Map 33 Lot 21
Combined into one lot

PROJECT NUMBER: 00419

Drawn By: SM

Checked By: X

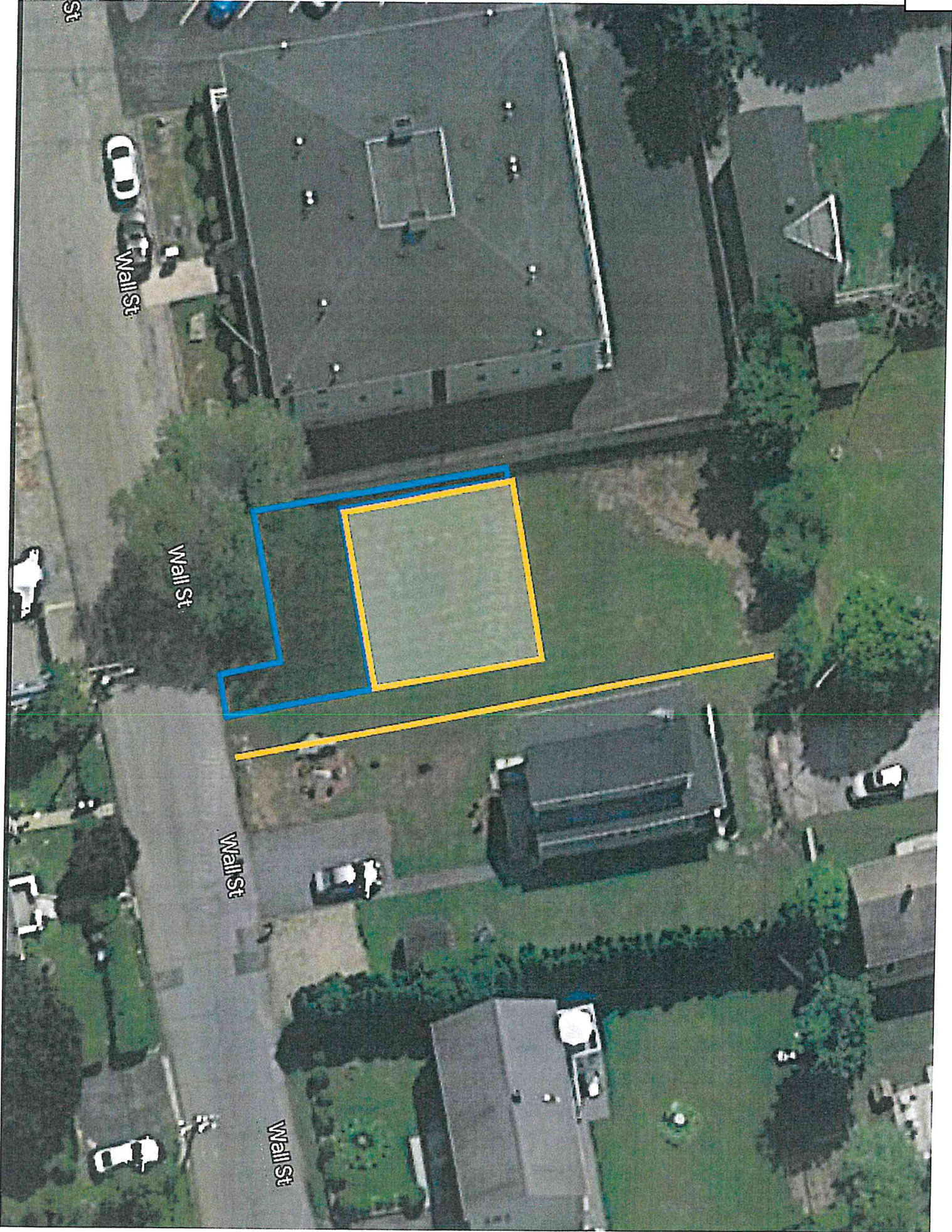
Issue Date: 03-13-20

SHEET LEGEND:

Revisions No	Date	Description

Created By:
Site Plan







Town of Bristol, Rhode Island
Zoning Board of Review

STAFF REPORT FOR:

FILE NO. 2023-35

APPLICANT: Nicole and Keith Benjamin
 LOCATION: 38 Viking Drive
 PLAT: 145 LOT: 9 ZONE: R-10

APPLICANT IS REQUESTING DIMENSIONAL VARIANCES TO:

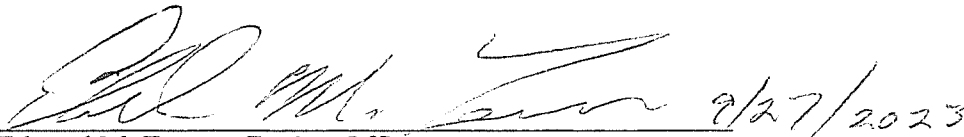
Construct a 16ft. x 20ft. single-story garage addition to an existing single-family dwelling with less than the required front yard and less than the required right side yard.

COMPREHENSIVE PLAN REVIEW:

As this application is for a dimensional variance, it does not require review by the Planning Board per Section 28-409(b) of the Zoning Ordinance.

FINDINGS AND RECOMMENDATIONS BY STAFF:

The applicants are requesting dimensional variances to construct a 16' x 20' garage addition to the existing single-family dwelling on this property located on the easterly side of Viking Drive. The proposed single-story garage addition would extend off the front right side of the existing structure. The proposed garage addition would add a single vehicle garage stall with interior access to the dwelling; and the addition would extend to within approximately 11 feet of the southerly right side property line and within approximately 12 feet 8 inches of the front property line at its closest points. The zoning ordinance requires a minimum 15 foot side yard and a minimum 30 foot front yard setback in the Residential R-10 zone.


 Edward M. Tanner, Zoning Officer



**Town of Bristol, Rhode Island
Zoning Board of Review**

10 Court Street
Bristol, RI 02809
401-253-7000
www.bristolri.gov

File #2023-35

PUBLIC HEARING

Notice is hereby given by the Zoning Board of Review that a public hearing will be held on the following application:

Monday, October 2, 2023
at 7:00 P.M.
Bristol Town Hall
10 Court Street

APPLICANT: **Nicole and Keith Benjamin**

PROPERTY OWNER: **Nicole and Keith Benjamin**

LOCATION: **38 Viking Drive**

PLAT: **145** LOT: **9**

ZONE: **Residential R-10**

APPLICANT IS REQUESTING **DIMENSIONAL VARIANCES TO: construct a 16ft. x 20ft. single-story garage addition to an existing single-family dwelling with less than the required front yard and less than the required right side yard.**

Edward M. Tanner,
Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol web site at <https://www.bristolri.gov/government/boards/zoning-board-of-review/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, September 28, 2023.

Town of Bristol, Rhode Island

TOWN OF BRISTOL
COMMUNITY DEV.

Department of Community Development

Zoning Board of Review

2023 SEP -8 AM 11:41



APPLICATION

File No: 2023-35

Accepted by ZEO: *ENT 9/8/2023*

APPLICANT	Name: Nicole and Keith Benjamin
	Address: 38 Viking Drive
	City: Bristol State: RI Zip: 02809
	Telephone #: 401-427-6212 Home: 401-440-9388 Work/Cell:
PROPERTY OWNER	Name: Nicole and Keith Benjamin
	Address: 38 Viking Drive
	City: Bristol State: RI ZIP: 02809
	Telephone #: 401-427-6212 Home: 401-440-9388 Work/Cell:

1. Location of subject property: 38 Viking Drive, Bristol, RI 02809

Assessor's Plat(s)#: 145 Lot(s) #: 9

2. Zoning district in which property is located: R-10

3. Zoning Approval(s) required (check all that apply):

Dimensional Variance(s) Special Use Permit Use Variance

4. Which particular provisions of the Zoning Ordinance is applicable to this application?:

Dimensional Variance Section(s): Article IV, Section 28-111; minimum front yard setback; minimum side yard setback

Special Use Permit Section(s): _____

Use Variance Section(s): _____

5. In a separate written statement, please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.

Please see attached addendum.

6. How long have you owned the property?: Since October 2018

7. Present use of property: Single family home

8. Is there a building on the property at present?: Yes

9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet): 61' x 31' 1,656 sq. ft. 16' high

10. Proposed use of property: Addition of attached single-car garage.

11. Give extent of proposed alterations: Addition of 16' x 20' single car garage to right side of front yard.

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet): 16' x 20' 320 sq. ft. 13' high

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

Front lot line(s):	Required Setback: <u>30'</u>	Proposed Setback: <u>12' 8"</u>
Left side lot line:	Required Setback: <u>15'</u>	Proposed Setback: <u>11'</u>
Right side lot line:	Required Setback: <u>15'</u>	Proposed Setback: <u>no relief sought</u>
Rear lot line:	Required Setback: <u>30'</u>	Proposed Setback: <u>no relief sought</u>
Building height:	Required: _____	Proposed: _____
Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):		
Required: _____	Proposed: _____	

13. Number of families before/after proposed alterations: 1 Before 1 After

14. Have you submitted plans for the above alterations to the Building Official? No
If yes, has he refused a permit? _____ If refused, on what grounds? _____

15. Are there any easements on your property?: No (If yes, their location must be shown on site plan)

16. Which public utilities service the property?: Water: Town Sewer: Town

17. Is the property located in the Bristol Historic District or is it an individually listed property?: No

18. Is the property located in a flood zone? No If yes, which one?: N/A

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: Nicole J. Benjamin Keith J. Benjamin Date: 9/8/2023

Print Name: Nicole J. Benjamin Keith J. Benjamin

Property Owner's Signature: Nicole J. Benjamin Keith J. Benjamin Date: 9/8/2023

Print Name: Nicole J. Benjamin Keith J. Benjamin

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: Nicole J. Benjamin, Esq. (pro se) Telephone #: 401-427-6212

Address: 38 Viking Drive, Bristol, RI 02809

Town of Bristol, Rhode Island
Department of Community Development
Zoning Board of Review

Addendum to the Application of Nicole and Keith Benjamin
38 Viking Drive
Bristol, RI 02809

5. In a separate written statement, please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.

The applicants are seeking zoning relief to add an attached one car garage. The home does not presently have a garage. The applicants are in the process of moving their aging parents back home to Rhode Island from their retirement home in Florida. The applicants' father has applied for admission to the Veterans Home in Bristol where he will receive appropriate memory care and the applicants anticipate that their mother will reside with them for a period of time while their father resides blocks away at the Veterans Home. The addition of a garage will allow for the necessary storage space to accommodate the applicants' mother in the short term and will also allow for the appropriate ingress and egress for the applicants' mother in inclement winter weather.

The applicants intend to reside at the property for the long term. In the longer term, the applicants anticipate that having the garage will allow them to conform to the State of Rhode Island's carbon reduction goals as they will have the ability to appropriately charge an electric vehicle in the garage space.

The applicants are seeking relief from the minimum front yard setback and minimum side yard setback set forth in Article IV – Dimensional Regulations; Section 28-111 – Residential Zones.

The property is located in the R-10 zone with a minimum front yard setback of 30 feet and a minimum side yard setback of 15 feet. The applicants seek a dimensional variance to construct an attached single-car 16' x 20' garage with less than the required front yard and side yard setback.

The hardship from which the applicants seek relief is due to the unique characteristics of the subject land and not to the general characteristics of the surrounding area and not due to a physical or economic disability of the applicants.

The property was developed and the building was constructed in 1958, prior to the Town's Zoning Code, which was first codified in 1961, and prior to the Town's Comprehensive Plan.

As a result, the building was situated closer to the road than it likely would have been situated if it had been built after the enactment of the Town's Zoning Code. As presently configured and, as a result of the shape of the land lots, the rear of the existing home presently has an 11-foot side setback. The planned garage would be in keeping with that 11-foot side setback and would not exceed it.

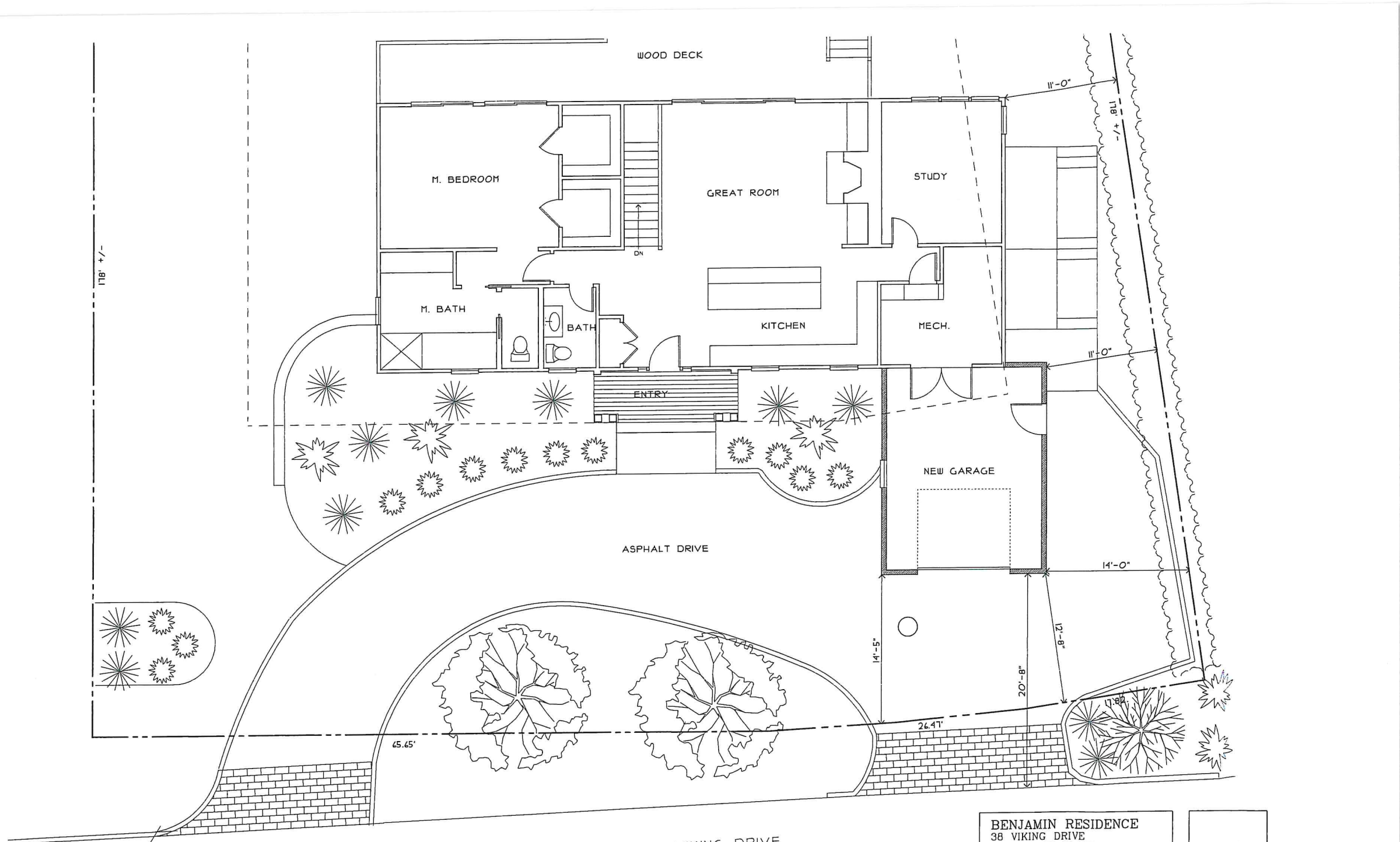
Additionally, a line of dense trees separates the applicants' property from the next abutting residential property, creating an appropriate buffer between the two properties notwithstanding that the garage would require relief from the side setback requirement.

It is not feasible to locate the garage elsewhere on the property because of the orientation of the existing building, the slope of the land and the existence of a retaining wall on the right side of the property to prevent erosion because of the topography of the land.

This hardship is not the result of any prior action of the applicants as they purchased the property in its present configuration and this hardship does not result from the desire of the applicant to realize greater financial gain.

Granting the requested variance will not alter the general characteristic of the surrounding area as other neighboring homes have less than the 30-foot front yard setback. None of the four lots to the left side of the property comport with the 30-foot setback, therefore, uniformity would not be achieved by enforcing the 30-foot setback. See <https://www.axisgis.com/BristolRI/> (145-8; 145-7; 145-6; 145-5). Additionally, nearly all neighboring homes have garages, this property being the exception.

The requested relief is the least relief necessary for the home to have a garage that will allow the applicants to accommodate their elderly mother in the near term, a goal that is in keeping with the General Assembly's recent efforts to address the State's housing shortage. In the longer term, having a garage will allow the applicants to further the General Assembly's carbon reduction goals as it will allow the applicants to appropriately charge an electric vehicle at their property.

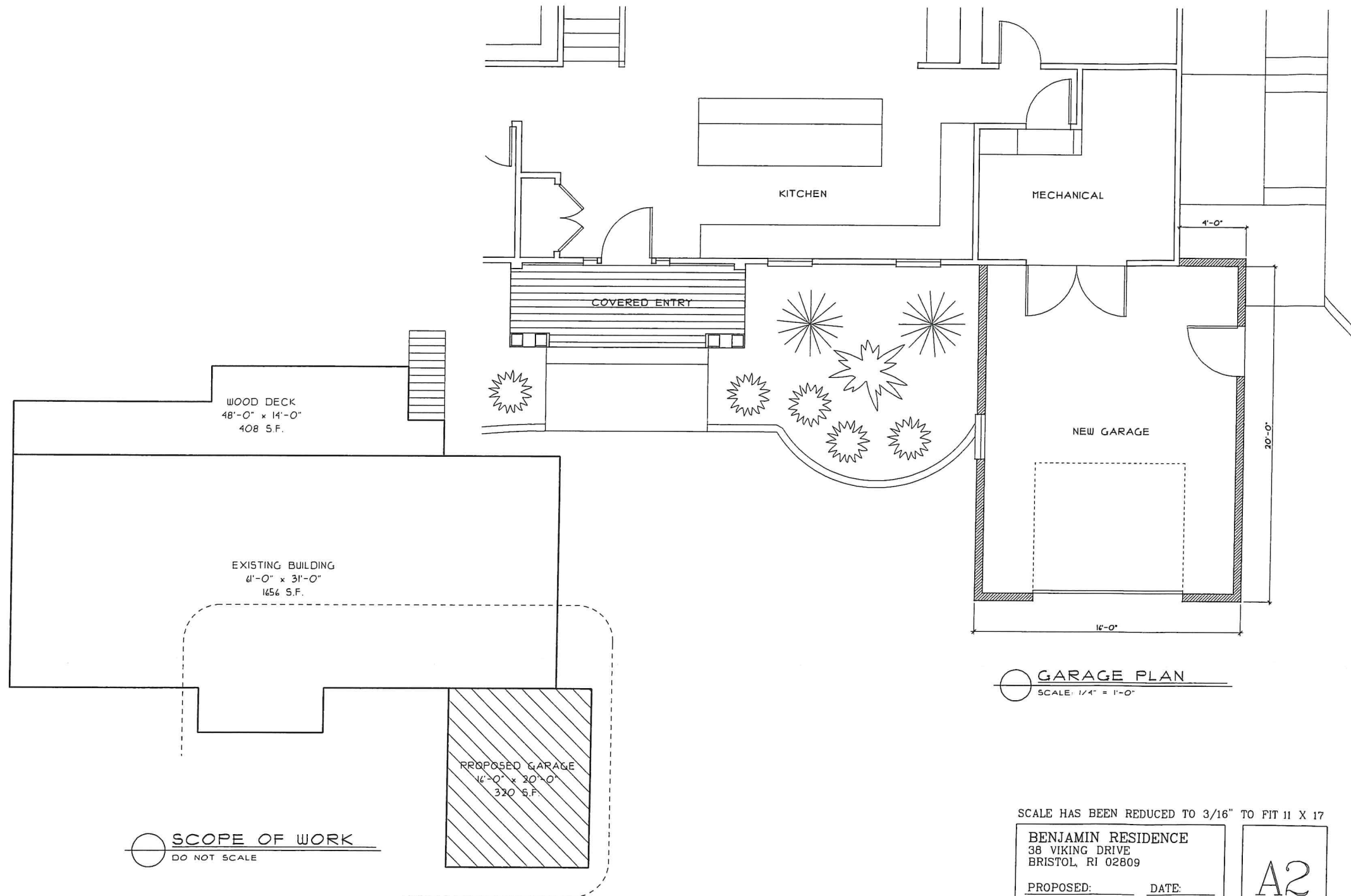


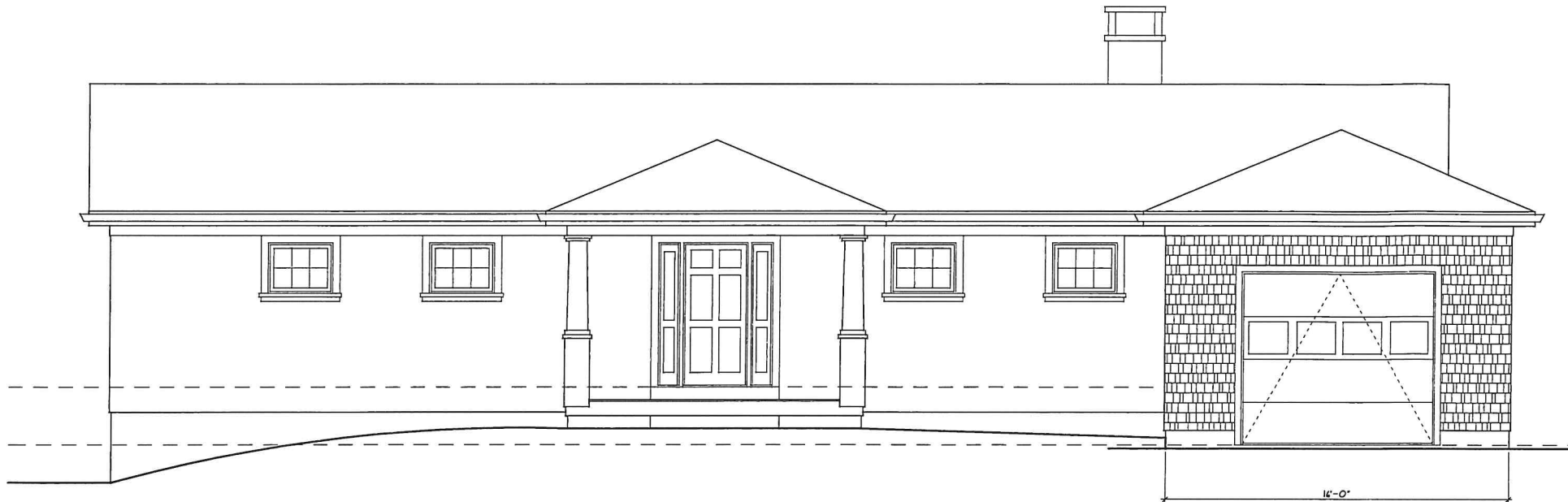
PROPOSED PLAN
 SCALE: 1/8" = 1'-0"

VIKING DRIVE

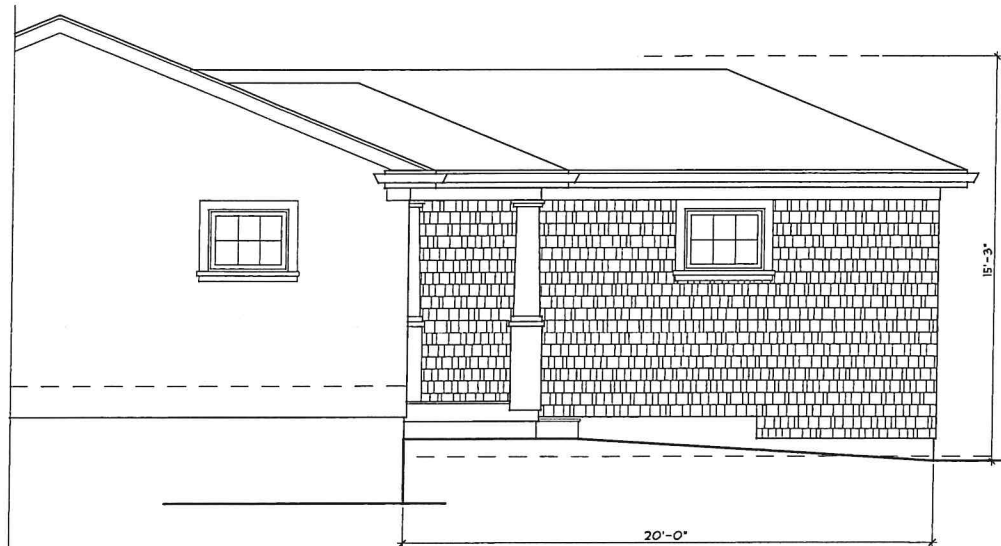
BENJAMIN RESIDENCE
 38 VIKING DRIVE
 BRISTOL, RI 02809
 PROPOSED: _____ DATE: 9/4/2023
 ELEVATIONS

A1

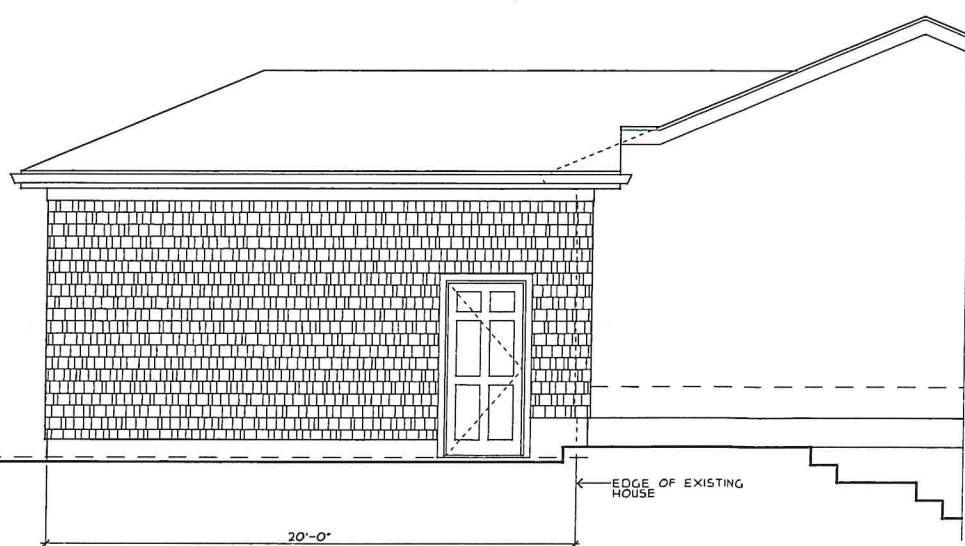




FRONT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



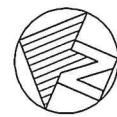
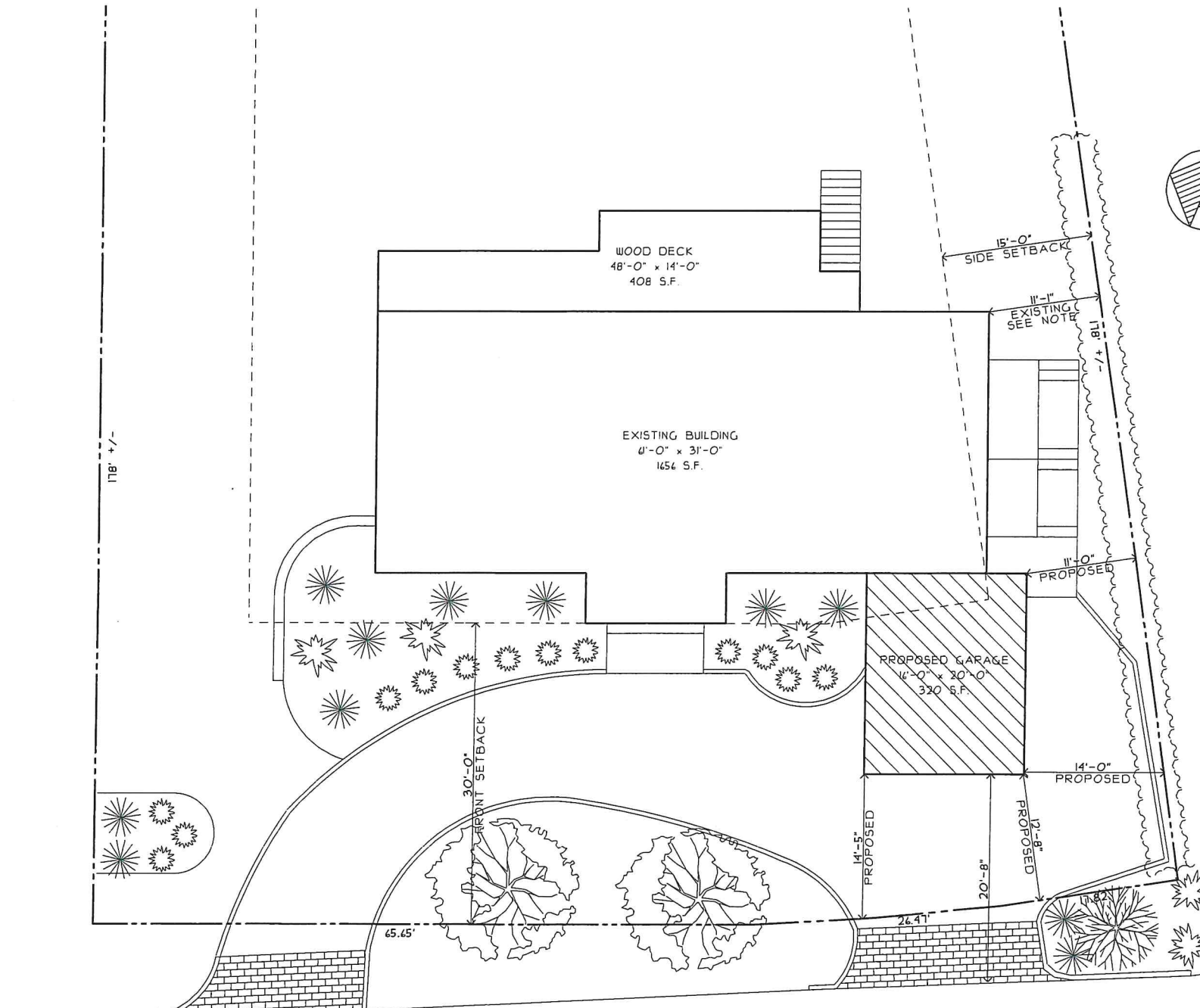
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

SCALE HAS BEEN REDUCED TO 3/16" TO FIT 11 X 17

BENJAMIN RESIDENCE
 38 VIKING DRIVE
 BRISTOL, RI 02809

PROPOSED: _____ DATE: _____
 ELEVATIONS 9/4/2023

A3



BENJAMIN RESIDENCE
38 VIKING DRIVE
BRISTOL, RI 02809

MAP-LOT: 145-9
 SIZE: 18,900 S.F.
 ZONING: R-10

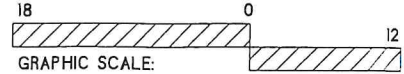
FRONT: 30'
 REAR: 30'
 SIDE: 15'

MAX. COVER: 25% OR 4,725 S.F.

EXISTING COVERAGE 41'-0" x 45'-0" 2044 S.F.	PROPOSED COVERAGE 45'-0" x 40'-0" 2384 S.F.
--	--

SOURCE REFERENCE:
 HOUSE SETBACKS SHOWN WERE TRACED FROM CLASS 1 SURVEY PREPARED BY TURNING POINT SURVEY, INC. DATED 12/19/2014. ANY INFORMATION SHOWN HAS NOT BEEN REVIEWED OR CONFIRMED AS SHOWN.

ALL MEASUREMENTS SHOWN WERE MEASURED IN FIELD USING REASONABLE ASSUMPTIONS FOR PROPERTY LINE USING ESTABLISHED FENCES, PLANTINGS, AND CURRENT LAND USEAGE. THIS IS NOT A PROFESSIONAL SURVEY.



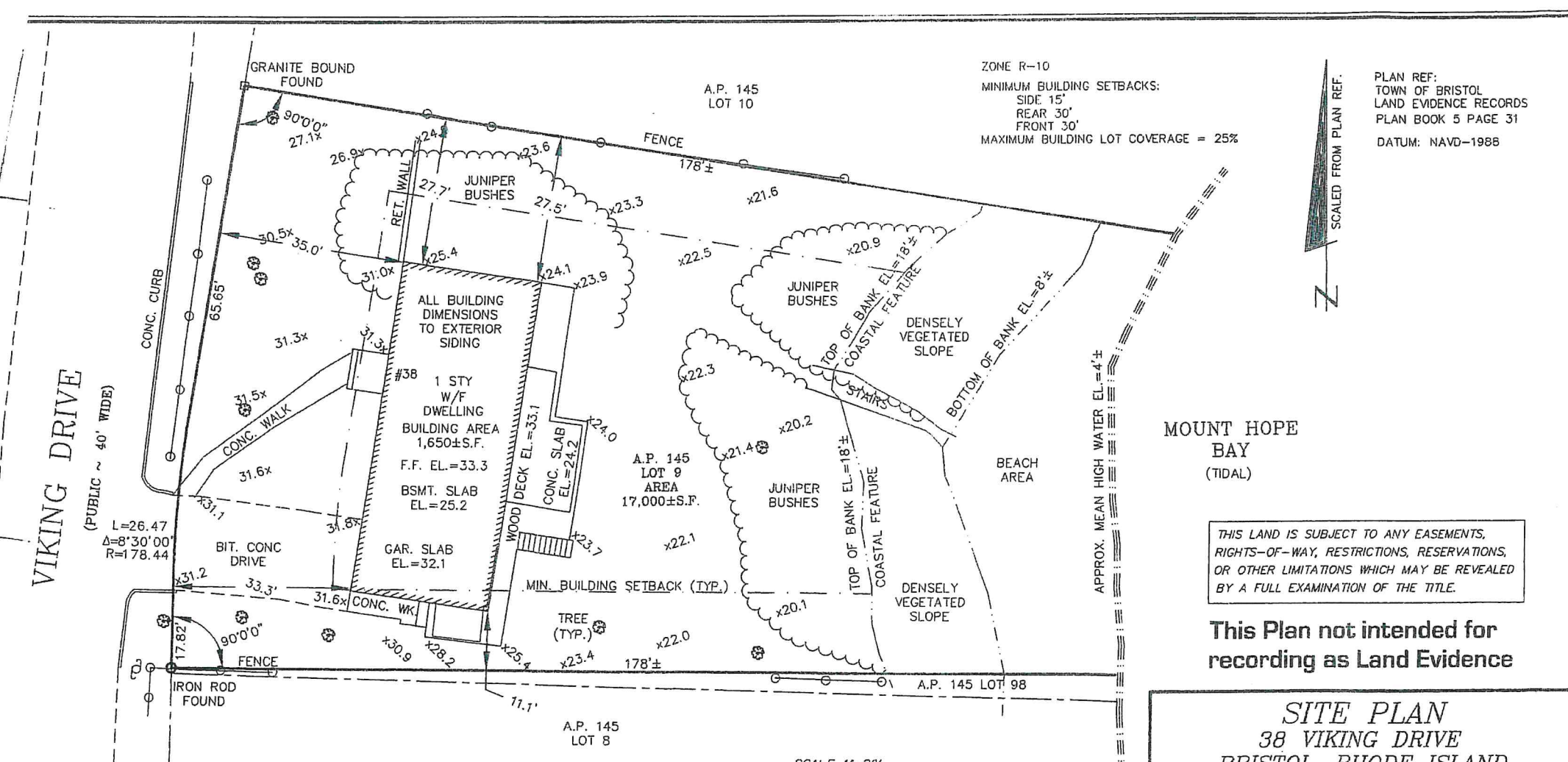
VIKING DRIVE

SITE PLAN - PROPOSED
 SCALE: 1" = 12'

BENJAMIN RESIDENCE
 38 VIKING DRIVE
 BRISTOL, RI 02809

PROPOSED: _____ DATE: _____
 SITE PLAN 9/4/2023

S1



PLAN REF:
TOWN OF BRISTOL
LAND EVIDENCE RECORDS
PLAN BOOK 5 PAGE 31
DATUM: NAVD-1988

MOUNT HOPE
BAY
(TIDAL)

THIS LAND IS SUBJECT TO ANY EASEMENTS,
RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS,
OR OTHER LIMITATIONS WHICH MAY BE REVEALED
BY A FULL EXAMINATION OF THE TITLE.

**This Plan not intended for
recording as Land Evidence**

SITE PLAN
38 VIKING DRIVE
BRISTOL, RHODE ISLAND
SURVEYED FOR IRA HOLTZ

Turning Point Survey Company, Inc.

100 Broad Common Road
Bristol, RI 02809
Ph. 401.253.1800
Turningpointsurvey.com

DEC. 19, 2014 A.P. 145 LOT 9

SCALE: 1" = 20' Proj. #14-157-02

CERTIFICATION:

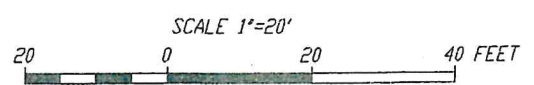
PROPERTY LINES SHOWN ON THIS PLAN WERE ESTABLISHED BY RHODE ISLAND CLASS 1 LAND SURVEYING PROCEDURES. THIS PLAN CONFORMS TO A CLASS 3 STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS, EFFECTIVE APRIL 1, 1994.

ON THE BASIS OF MY KNOWLEDGE, INFORMATION AND BELIEF, I CERTIFY TO IRA HOLTZ THAT THE LOCATION OF THE STRUCTURES AS SHOWN IS A RESULT OF A PROPERTY SURVEY PERFORMED ON THE GROUND ON DECEMBER 19, 2014, IN ACCORDANCE WITH THE NORMAL STANDARD OF CARE EXERCISED BY PROFESSIONAL LAND SURVEYORS PRACTICING IN THE STATE OF RHODE ISLAND, AND THAT THE MONUMENTS, LINES, AND CORNERS ON THIS PLAN REPRESENT THE RECORD LOT LINES AND CORNERS OF THE SUBJECT PROPERTY AS SHOWN ON THE REFERENCED PLANS AND OR DEEDS.

I ALSO FIND THAT, BY SCALE, A PORTION OF THE PROPERTY IS LOCATED WITHIN ZONE "VE-23" AND THE DWELLING IS LOCATED IN "ZONE X" (AREA OUTSIDE THE 0.2% CHANCE OF ANNUAL FLOOD) AS SHOWN ON F.I.R.M. MAP FOR BRISTOL COUNTY, RHODE ISLAND COMMUNITY PANEL #44001C0015H REVISED 7/7/2014

David G. Greenhalgh 12-22-14

PROFESSIONAL LAND SURVEYOR DATE
TURNING POINT SURVEY CO., INC.



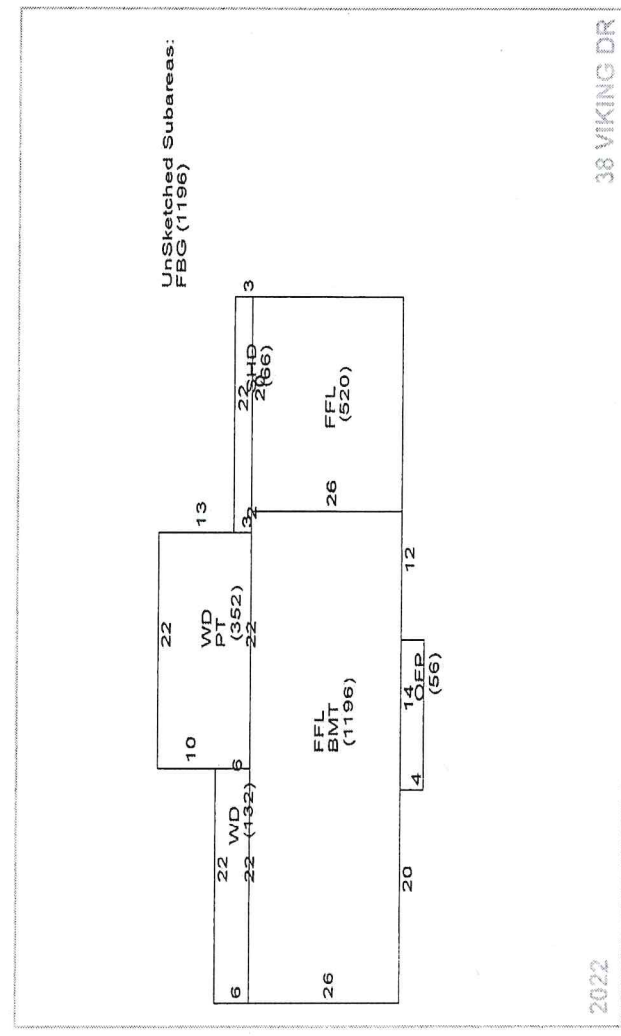
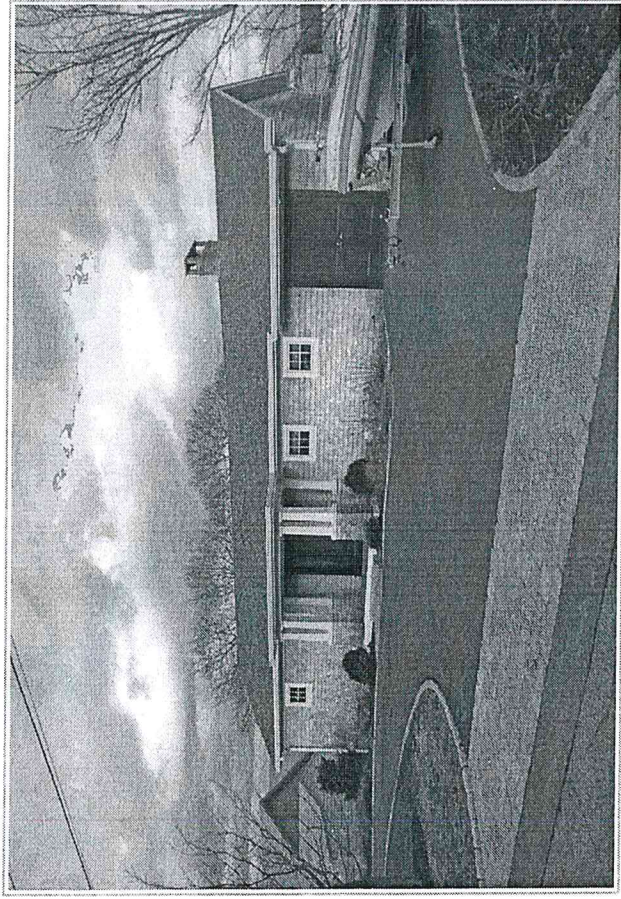
Plat/Lot 145 9 **Account: 7238** **LUC.01** **Previous Owners & Sales Information**

Grantor	Date	Sale Price	Leg Ref	Dead Type
HOLTZ, IRA	10/05/2018	1,000,000	1959-62	W
HOLTZ TRUSTEE IRA	10/05/2018	0	1959-60	W
HOLTZ IRA	10/09/2015	1	1821-82	T
MILLER, MARCIA D.	11/25/2014	599,000	1781-0044	W
WYCKOFF, DENNIS R.	08/30/2006	729,000	1319-187	W

Assessment

Year	LUC	Building	SF/YI	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2022	01	571,000	16,000	0	462,700	0	1,049,700	1,049,700
2021	01	470,800	16,000	0	425,900	0	912,700	912,700
2020	01	470,800	16,000	0	425,900	0	912,700	912,700
2019	01	470,800	16,000	0	425,900	0	912,700	912,700
2018	01	257,000	15,100	0	352,200	0	624,300	624,300
2017	01	257,000	15,100	0	352,200	0	624,300	624,300

Source > Mkt Adj Cost VAL per SQ Unit/Card > 207.20 VAL per SQ Unit/Parcel > 207.20



Land Information

Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh	Inf 1	Inf 1 %	Inf 2	Inf 2 %	Inf 3	Inf 3 %	Appr Value	Spec Land	Juris	Fact	Use Value
1 01 Single Fam	0.22957	AC	P	1.00	630,000	1,892,669	N	WF	200					434,500			1.00	0
2 01 Single Fam	0.20432	AC	EX	0.20	630,000	138,019	N							28,200			1.00	0
3																		
4																		



Building Information

Description	Story Height	Description
BLDG Type	Ranch	1 Story
RES Units	1	COM Units
Foundation	Concrete	BMT Floor
Frame 1	Wood	Frame 2
EXT Wall 1	Vinyl Siding	EXT Wall 2
Roof Type 1	Gable	Roof Type 2
Roof Cover 1	Asphalt Shir	Roof Cover 2
INT Wall 1	Drywall	INT Wall 2
Floors 1	Hardwood	Floors 2
BMT Garages		Color
Plumbing		Electrical
Insulation		INT vs EXT
Heat Fuel	Oil	Heat Type
# Heat Sys		% Heated
% Solar HW		% A/C
% COM Wall		% Vacuum
Ceil HGH		Ceiling Type
Parking Type		% Sprinkled
EXT View		Quality

Grade

Grade	Q2	Flood Hazard
Year Built	1958	Topography
Alt LUC		Street
		Traffic

Depreciation

Code	Description	%
Condition	VG - Very Goc	22.8
Functional		0.0
Economic		0.0
Special		0.0
OV		0.0
Total Depreciation % >		22.8

Remodeling History

Year	Description
2015	Plumbing
2015	Electric
2015	Heating
	General
	Bath(s)

Condo Data

Complex	Location	Tot Units	FL Level	# Floors	Bldg Seq
				0	1

Sub-Area Detail

Code	Description	Area	Fin. Area	Rate	Under V
FLL	1st FLOOR	1,716	1,716	131.95	226,426
FBG	FIN BSMT G	1,196	1,196	32.99	39,456
OFF	OPEN PORCH	56	0	19.71	1,104
PT	PATIO	352	0	2.68	943
SHD	SHED	66	0	11.29	745
WD	WOOD DECK	484	0	16.31	7,813
BMT	BASEMENT	1,196	0	19.79	23,669
Total		5,066	2,912		299,956

Notes

ELECTRICAL UPGRADE 12/06 EAS. BASEMENT IS IN THE PROCESS OF BEING REFINISHED. 1/9/15-OUTDOOR SHOWER HEAD - J.M. WATER FRONT. FBM EST.

Building Permits

Issue Date	Permit #	Closed Date	BP Type	Est. Cost	% Done	Status	Description/Directions
02/11/2016	M16752		MECH	0		Closed	INSTALL TWO (2) GAS FIREPLACE INSERTS AND VENTS
07/10/2015	186-15-E	10/10/2015	ELEC	5,200		Closed	INSTALL 200 AMP UNDER GRD SERVICE WIRING OF POOL
07/10/2015	E7679		ELEC	0		Closed	INSTALLING 200A UNDERGROUND SERVICE / EXISTING 200 AMP SERVICE FI
06/19/2015	B41525		BLDG	0		Closed	APPROVED BY CRMCINSTALL 24' X 12' INGROUND POOL
06/19/2015	319-15-B	10/10/2015	BLDG	21,000		Closed	INSTALL INGRD POOL 12 X 24
04/16/2015	M17425		MECH	0		Closed	GAS PIPE TO BOILER (1), GAS GRILLE (2), COOKTOP (1) AND POOL HEATER
04/16/2015	76-15-M	06/14/2015	MECH	500		Closed	OUTSIDE GAS PIPE TO BOILER GAS GRILL COOK TOP AND POOL HEATER
04/14/2015	91-15-E	06/14/2015	ELEC	500		Closed	LOW VOLTAGE AUDIO
04/14/2015	E6639		ELEC	0		Closed	LOW VOLTAGE (AUDIO)

Special Features & Yard Items

Use	Description	A	Y/S	Qty	Length	Width	SF Size	Quality	Condition	Year	Assessed Value
6	In Gr Pool	1	Y	1			288	4	VG	2015	14,800
13	Patio	1	Y	1			432	4	GD	2015	1,200

Other Info.

Priority	Item
PriorID1c	AFDU
PriorID2a	ArtTermRental
PriorID2b	
PriorID2c	
PriorID3a	
PriorID3b	
PriorID3c	

Room Counts by Floor

Units	# Rooms	# Bedrooms	Floor Level
1	1	4	2
2	1	2	U
3	1	2	
4	1	2	
Totals	1	4	2



38 Viking Drive - 300' Radius

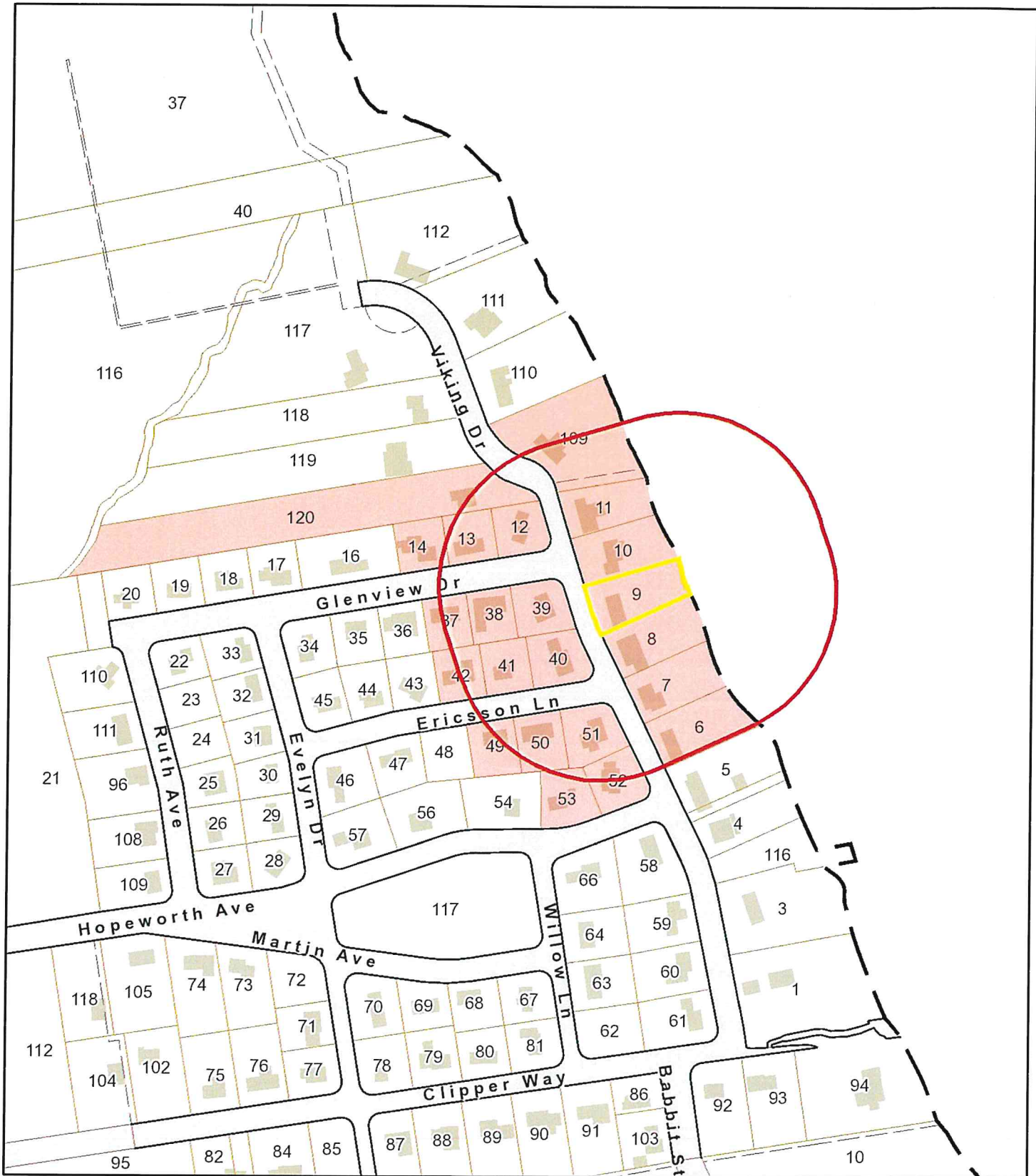
Bristol, RI



September 8, 2023

1 inch = 281 Feet

www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



300 foot Abutters List Report

Bristol, RI
September 08, 2023

Subject Property:

Parcel Number: 145-9	Mailing Address: BENJAMIN, KEITH & NICOLE TE
CAMA Number: 145-9	10 FOOTE ST
Property Address: 38 VIKING DR	BARRINGTON, RI 02806

Abutters:

Parcel Number: 145-10	Mailing Address: WAHLBERG, LARS, U SIOBHAN TE
CAMA Number: 145-10	40 VIKING DR
Property Address: 40 VIKING DR	BRISTOL, RI 02809

Parcel Number: 145-11	Mailing Address: RAMAN, ANANTH & PADMAJA TE
CAMA Number: 145-11	46 VIKING DR
Property Address: 46 VIKING DR	BRISTOL, RI 02809

Parcel Number: 145-12	Mailing Address: ANDRADE, KEITH
CAMA Number: 145-12	PO BOX 245
Property Address: 45 VIKING DR	SWANSEA, MA 02777

Parcel Number: 145-13	Mailing Address: SAWYER, HAROLD A & DOROTHY A,
CAMA Number: 145-13	TRUSTEES SAWYER FAMILY TRUST
Property Address: 6 GLEN VIEW DR	6 GLENVIEW DR
	BRISTOL, RI 02809

Parcel Number: 145-14	Mailing Address: DELMAGE, LEONORA
CAMA Number: 145-14	8 GLEN VIEW DR.
Property Address: 8 GLEN VIEW DR	BRISTOL, RI 02809

Parcel Number: 145-37	Mailing Address: WARDEN, JOHN W. III
CAMA Number: 145-37	7 GLEN VIEW DR
Property Address: 7 GLEN VIEW DR	BRISTOL, RI 02809

Parcel Number: 145-38	Mailing Address: ALLEN, CAITLIN
CAMA Number: 145-38	12 PRINCE PL
Property Address: 5 GLEN VIEW DR	STAMFORD, CT 06905

Parcel Number: 145-39	Mailing Address: NUTINI, ROBERT P & PAULA TE
CAMA Number: 145-39	39 VIKING DR
Property Address: 39 VIKING DR	BRISTOL, RI 02809

Parcel Number: 145-40	Mailing Address: KACHAPIS, JOHN A. MELISSA A. TE
CAMA Number: 145-40	121 WINDWARD LANE
Property Address: 35 VIKING DR	BRISTOL, RI 02809

Parcel Number: 145-41	Mailing Address: FISHER, MARK D. ET UX RUTH A.
CAMA Number: 145-41	11 ERICSSON LANE
Property Address: 11 ERICSSON LN	BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

9/8/2023

Page 1 of 3



300 foot Abutters List Report

Bristol, RI
September 08, 2023

Parcel Number: 145-42
CAMA Number: 145-42
Property Address: 7 ERICSSON LN

Mailing Address: MCJONES, STEPHEN & CALLENDER,
MARY TRUST
7 ERICSSON LN
BRISTOL, RI 02809

Parcel Number: 145-49
CAMA Number: 145-49
Property Address: 8 ERICSSON LN

Mailing Address: GIRRIER, WILLIAM J
8 ERICSSON LANE
BRISTOL, RI 02809

Parcel Number: 145-50
CAMA Number: 145-50
Property Address: 10 ERICSSON LN

Mailing Address: WALL, THOMAS F & NEAMTU, RODICA
TE
8 EVELYN DR
BRISTOL, RI 02809

Parcel Number: 145-51
CAMA Number: 145-51
Property Address: 29 VIKING DR

Mailing Address: BISBANO, DOLORES M. LIFE EST
BISBANO, DONALD A. ETAL TC
29 VIKING DR
BRISTOL, RI 02809

Parcel Number: 145-52
CAMA Number: 145-52
Property Address: 25 VIKING DR

Mailing Address: FCD DEVELOPMENT, LLC
26 VIKING DR
BRISTOL, RI 02809

Parcel Number: 145-53
CAMA Number: 145-53
Property Address: 159 HOPEWORTH AVE

Mailing Address: SECURO, ALICIA & JOSHUA M TE
159 HOPEWORTH AVE
BRISTOL, RI 02809

Parcel Number: 145-6
CAMA Number: 145-6
Property Address: 26 VIKING DR

Mailing Address: FITTING, MARTHA A.
26 VIKING DR
BRISTOL, RI 02809

Parcel Number: 145-7
CAMA Number: 145-7
Property Address: 30 VIKING DR

Mailing Address: MACDOUGALL, JOHN P
3 WALNUT ST
HAMPTON, NH 03842

Parcel Number: 145-8
CAMA Number: 145-8
Property Address: 34 VIKING DR

Mailing Address: MACKNIS, JOHN & DIANE S TE
34 VIKING DR
BRISTOL, RI 02809

Parcel Number: 145-9
CAMA Number: 145-9
Property Address: 38 VIKING DR

Mailing Address: BENJAMIN, KEITH & NICOLE TE
10 FOOTE ST
BARRINGTON, RI 02806

Parcel Number: 145-98
CAMA Number: 145-98
Property Address: VIKING DR

Mailing Address: TOWN OF BRISTOL BENJAMIN, KEITH &
NICOLE TT
10 COURT ST
BRISTOL, RI 02809

Parcel Number: 156-109
CAMA Number: 156-109
Property Address: 48 VIKING DR

Mailing Address: DANIELS, JOHN R. ET UX ISABEL M.
DANIELS TE
48 VIKING DRIVE
BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.



300 foot Abutters List Report

Bristol, RI
September 08, 2023

Parcel Number: 156-120
CAMA Number: 156-120
Property Address: 47 VIKING DR

Mailing Address: WEBSTER, LUCY CASE WOUTERS,
SALMONE WEBSTER JT
47 VIKING DR
BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

9/8/2023

Page 3 of 3

ALLEN, CAITLIN
12 PRINCE PL
STAMFORD, CT 06905

KACHAPIS, JOHN A.
MELISSA A. TE
121 WINDWARD LANE
BRISTOL, RI 02809

WALL, THOMAS F & NEAMTU,
8 EVELYN DR
BRISTOL, RI 02809

ANDRADE, KEITH
PO BOX 245
SWANSEA, MA 02777

MACDOUGALL, JOHN P
3 WALNUT ST
HAMPTON, NH 03842

WARDEN, JOHN W. III
7 GLEN VIEW DR
BRISTOL, RI 02809

BENJAMIN, KEITH &
NICOLE TE
10 FOOTE ST
BARRINGTON, RI 02806

MACKNIS, JOHN & DIANE S
34 VIKING DR
BRISTOL, RI 02809

WEBSTER, LUCY CASE
WOUTERS, SALMONE WEBSTER
47 VIKING DR
BRISTOL, RI 02809

BISBANO, DOLORES M. LIFE
BISBANO, DONALD A. ETAL T
29 VIKING DR
BRISTOL, RI 02809

MCJONES, STEPHEN &
CALLENDER, MARY TRUST
7 ERICSSON LN
BRISTOL, RI 02809

DANIELS, JOHN R. ET UX
ISABEL M. DANIELS TE
48 VIKING DRIVE
BRISTOL, RI 02809

NUTINI, ROBERT P &
PAULA TE
39 VIKING DR
BRISTOL, RI 02809

DELMAGE, LEONORA
8 GLEN VIEW DR.
BRISTOL, RI 02809

RAMAN, ANANTH & PADMAJA
46 VIKING DR
BRISTOL, RI 02809

FCD DEVELOPMENT, LLC
26 VIKING DR
BRISTOL, RI 02809

SAWYER, HAROLD A & DOROTH
SAWYER FAMILY TRUST
6 GLENVIEW DR
BRISTOL, RI 02809

FISHER, MARK D. ET UX
RUTH A.
11 ERICSSON LANE
BRISTOL, RI 02809

SECURO, ALICIA & JOSHUA M
159 HOPEWORTH AVE
BRISTOL, RI 02809

FITTING, MARTHA A.
26 VIKING DR
BRISTOL, RI 02809

TOWN OF BRISTOL
BENJAMIN, KEITH & NICOLE
10 COURT ST
BRISTOL, RI 02809

GIRRIER, WILLIAM J
8 ERICSSON LANE
BRISTOL, RI 02809

WAHLBERG, LARS, U
SIOBHAN TE
40 VIKING DR
BRISTOL, RI 02809



Town of Bristol, Rhode Island *Zoning Board of Review*

STAFF REPORT FOR:

FILE NO. 2023-36

APPLICANT: TPG Architecture, LLP / Chase Bank
 LOCATION: 580 Metacom Avenue, Unit 21
 PLAT: 150 LOT: 15 ZONE: GB

APPLICANT IS REQUESTING A SPECIAL USE PERMIT:

To operate an automated teller machine (ATM) accessory drive thru use.

APPLICANT IS ALSO REQUESTING DIMENSIONAL VARIANCES: to install a freestanding commercial sign with the proposed sign having approximately 25 square feet of sign area, at a size greater than permitted and with less than the required ground clearance for a freestanding sign in the General Business zoning district; and to install two commercial wall signs having 36.9 square feet of sign area at a size greater than permitted and exceeding the number of permitted commercial wall signs in the General Business zoning district.

COMPREHENSIVE PLAN REVIEW:

As this application is for a special use permit, it requires review by the Planning Board or the Technical Review Committee (TRC) per Section 28-409(b) of the Zoning Ordinance. The TRC reviewed this application at a meeting on September 19, 2023. The TRC voted to recommend approval of the proposed ATM drive thru use subject to the applicant submitting revised plans showing compliance with specific special use permit standards (see attached memorandum from Diane Williamson).

The application for dimensional variances does not require review by the Planning Board per Section 28-409(b) of the Zoning Ordinance.

FINDINGS AND RECOMMENDATIONS BY STAFF:

The applicant is requesting a special use permit to operate an automated teller machine (ATM) accessory drive thru use on this property located on the easterly side of Metacom Avenue and the southerly side of Narrows Road. This property formerly housed a retail pharmacy business, and the applicant proposes to utilize a portion of the former retail space as a branch location for Chase Bank. The applicant also proposes to convert the former pharmacy prescription service window drive thru, located on the northerly side of the building, into an ATM drive thru use.

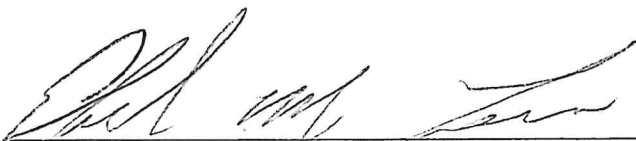
The Zoning Ordinance permits “drive-thrus” as an accessory use in the General Business (GB) zone only with a special use permit. In addition to the standards for relief for a special use permit found in Section 28-409(c)(2) of the Zoning Ordinance, the drive thru use is also subject to the eight specific standards found in Section 28-150(c). The specific standards for the accessory drive thru use include requirements for at least five stacking spaces for vehicles exiting the site, and at least five stacking spaces for vehicles waiting for service at the bank ATM. In addition, the specific standards include requirements for the drive thru to not be located in front of the building facing Metacom Avenue; for the presence of a vehicle

bypass lane; for physical separation from off-street parking spaces; for buffers from adjacent land uses; for the location of any information or menu board; and for the size of the property containing the drive thru use. The TRC reviewed all of these standards with the applicant at their September 19th meeting. Based upon comments made during that meeting by TRC members, the applicant has submitted revised site plans depicting vehicle stacking locations and landscape modifications to the existing vegetated island area intended to create a functional vehicle bypass lane at the ATM. With these modifications, it appears that this property will comply with all of the specific special use permit standards for a drive thru special use.

In addition to the special use permit for the drive thru ATM use, the applicant is also requesting dimensional variances for commercial signage for the proposed bank use. These proposed signs include one freestanding sign adjacent to Metacom Avenue, and two wall signs – one facing westerly towards Metacom Avenue and one facing southerly towards the Bell Tower Plaza parking area. The proposed freestanding sign would replace the existing former freestanding pharmacy sign, and it would measure approximately 2.5 feet wide and would extend from ground level to a height of 12 feet. This freestanding sign would have an overall sign area of 25 square feet and would have little to no ground clearance. The zoning ordinance permits freestanding signs in the GB zone to a maximum size of 15 square feet and with a minimum ground clearance of 4 feet.

The two proposed wall signs would each have a total sign area of 36.9 square feet. The zoning ordinance permits wall signs in the GB zone up to 15 square feet in size. The primary wall sign facing the street may be increased in size by 25 percent for every 100 feet of building setback. As this building is set back approximately 150 feet from Metacom Avenue, the applicant has calculated that the zoning ordinance permits this sign to a maximum size of 20.6 square feet. The southerly facing wall sign is not technically permitted by the zoning ordinance per Section 28-373(b). However, this section of the ordinance does permit an additional wall sign for buildings with a public entrance and parking in the rear as well as in the front of the building. The applicant makes the argument that the large parking lot to the south of the bank entrance and the southerly facing bank entrance door are similar to having a rear entrance; and thus, an additional wall sign should be permitted. Should the Board agree, I believe that the maximum size of this sign permitted by the ordinance should be 8 square feet, which is that permitted for a secondary wall sign in the GB zone, not the 15 square feet permitted for a primary wall sign. Please note that the applicant is also proposing the installation of a secondary wall sign facing Narrows Road. This sign measures 8 square feet in area and does not require any zoning relief. Thus, as proposed, this bank use would have three wall signs and one freestanding sign.

It has also come to my attention that in recent days several new signs for Chase Bank have been installed on the building at this location. Specifically, a primary wall sign facing Metacom Avenue and a secondary wall sign facing Narrows Road have been installed. These signs comply with the zoning ordinance requirements for sign area, and a sign permit was issued by the Building Official permitting their installation in August 2023. The primary wall sign facing Metacom Avenue is a subject of this variance request. However, it appears that a zoning compliant sign may suffice for the applicant.

 9/27/2023
Edward M. Tanner, Zoning Officer



Town of Bristol, Rhode Island

Department of Community Development

10 Court Street
Bristol, RI 02809
bristolri.gov
401-253-7000

September 25, 2023

TO: Zoning Board of Review

FROM: Diane M. Williamson, Administrative Officer
Technical Review Committee

RE: **Chase Bank Special Use Permit – Drive up ATM window**

A handwritten signature in cursive script, appearing to read "Diane W.", is written over the "FROM:" line of the memo.

The Technical Review Committee met to review the above-mentioned proposal. It was noted that this is an existing drive-thru window that was associated with the pharmacy previously occupying the building. It was also noted that this Special Use Permit use has standards in 28-151 (c).

A motion was unanimously passed to recommend that the Special Use Permit be issued subject to submission of revised plans showing the standards of the Special Use Permit as follows:

- Five vehicles waiting to exit the site;
- Five vehicles waiting to use the drive-thru; and,
- A bypass lane -- given the pre-existing structure, it was suggested that the bypass lane could be accomplished by shortening the landscaped island at the drive-thru.

Thank you.

Melanie Wolfe

From: William Dennis <bill@dennislawinc.com>
Sent: Thursday, September 21, 2023 4:17 PM
To: Ed Tanner; Diane Williamson
Cc: Melanie Wolfe
Subject: Chase Bank
Attachments: 2023-09-20_(FS)-Vehicle Queing Exhibit-A-Bristol,RI.pdf; 2023-09-20_(FS)-SUB-Site Plan Exhibit_Bristol, RI.pdf

Caution: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe. When in doubt, contact your IT Department

Good AftErnoon,

Attached please find two additional plans for the TRC/Zoning Board package. One of them is a site plan depicting vehicles waiting for ATM service as well as vehicles waiting to exit the area. The other is a plan depicting the reduction of the landscaped island per the TRC discussion this week. Please advise if they satisfy the recommendation.

Thanks,
Bill

William P. Dennis, Esquire
William P. Dennis Law Offices, Inc.
576 Metacom Avenue Unit 2
Bristol, Rhode Island 02809
Phone Number: [\(401\) 254-2992](tel:(401)254-2992)
Fax Number: [\(401\) 254-2994](tel:(401)254-2994)

This e-mail and all contained information is confidential. If you are not the intended recipient, please delete it immediately and notify sender.

METACON AVENUE
(AKA RI ROUTE 136)
(PUBLIC - VARIABLE WIDTH)
TWO WAY TRAFFIC (ASPHALT ROADWAY)

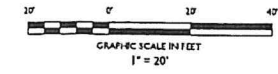
NARROWS ROAD
(PUBLIC - VARIABLE WIDTH)
TWO WAY TRAFFIC (ASPHALT ROADWAY)

CHASE
2,888 SF

PROPERTY OWNER IS RESPONSIBLE FOR ENSURING THE SITE IS IN CONFORMANCE WITH ALL APPLICABLE ADA STANDARDS INCLUDING BUT NOT LIMITED TO PATH OF TRAVEL FROM RIGHT-OF-WAY AND ADA PARKING FACILITIES TO THE BUILDING. STONEFIELD'S SCOPE OF WORK HAS BEEN LIMITED TO RECONSTRUCTION OF THE ADA PARKING SPACES AS SHOWN ON THE PLAN AND TAKES NO RESPONSIBILITY FOR ADA COMPLIANCE OF THE EXTERIOR IMPROVEMENTS AND/OR PATH OF TRAVEL FOR THE BUILDING.

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
3. ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEYS FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
4. THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE FACILITY.
7. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
9. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
10. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCEEDURE OF STREET CLOSURE PERMITS.
11. THE CONTRACTOR IS REQUIRED TO OBTAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
12. SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



GRAPHIC SCALE IN FEET
1" = 20'

ISSUE	DATE	BY	DESCRIPTION
7	09/20/2023	EB	SPECIAL PERMIT SUBMISSION
4	08/04/2023	EB	SPECIAL PERMIT SUBMISSION
5	1/17/2023	JJR	REVISED DRIVE-THRU CONCRETE MAT
4	4/18/2023	JJR	ADDENDUM #1
3	4/27/2023	JJR	REVISED PER ADA ENTRANCE LANDING
2	3/27/2023	JJR	REVISED PER ADA PARKING IMPROVEMENTS
1	3/27/2023	JJR	ISSUED FOR REVIEW

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Rutherford, NJ · New York, NY · Boston, MA
Princeton, NJ · Tampa, FL · Detroit, MI
www.stonefieldeng.com

120 Washington Street, Suite 102, Salem, MA 01970
Phone 617.203.2076

SITE PLAN

CHASE

PROPOSED BANK WITH REMOTE
DRIVE-UP ATM

MAP 150A, LOTS 1 & 15
TOWN OF BRISTOL
BRISTOL COUNTY, RHODE ISLAND

JOSHUA H. KLING, P.E.
RHODE ISLAND LICENSE No. 11027
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 20' PROJECT ID: BOS-2110076

TITLE: VEHICLE QUEUING EXHIBIT

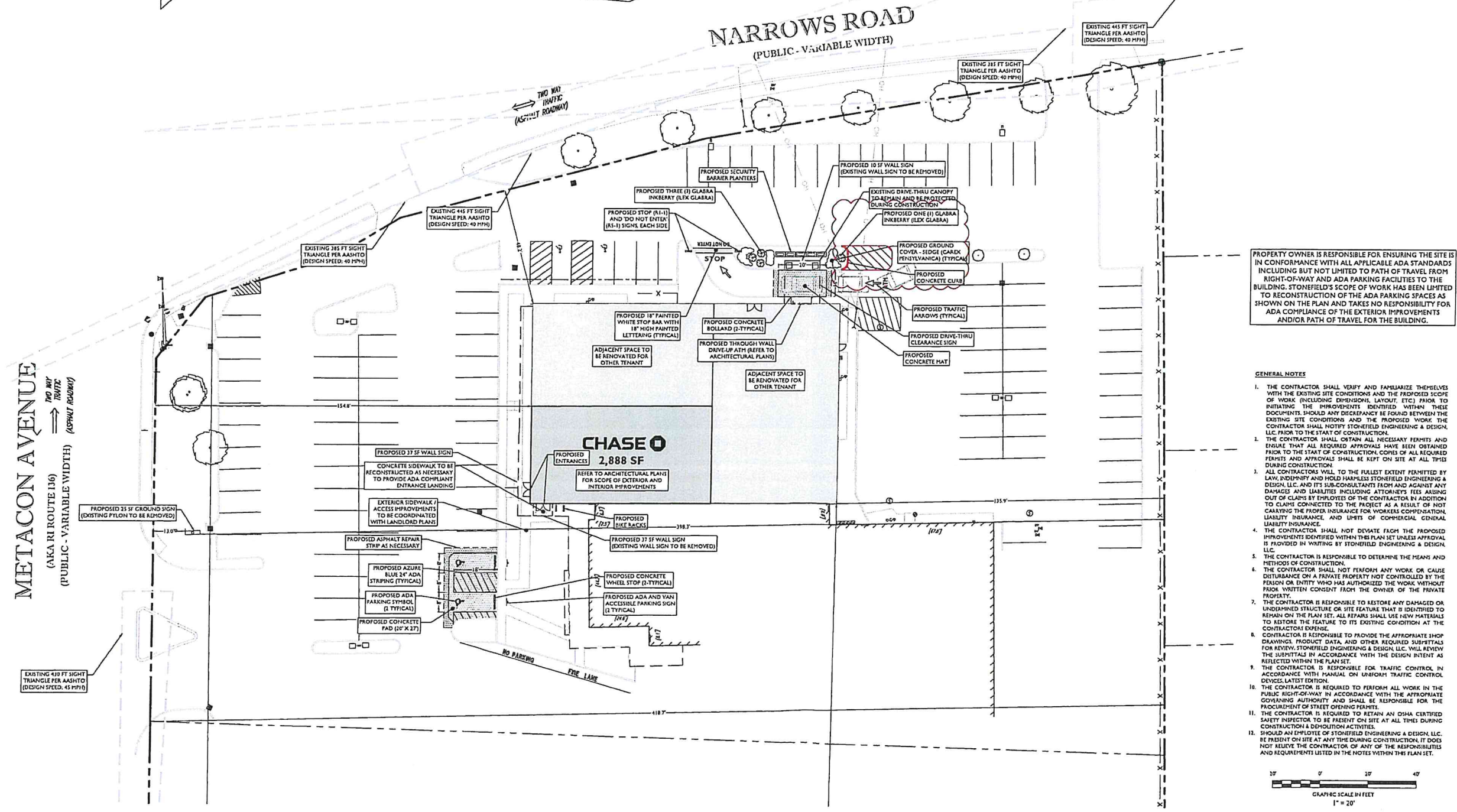
DRAWING: 1 OF 1

SIGNAGE REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
128-372(B)	MAXIMUM NUMBER OF SIGNS: NARROW: 1 WALL OR AWNING SIGN METACON AVENUE: 1 WALL OR AWNING SIGN FREESTANDING SIGN: 1 PERMITTED	1 AWNING SIGN 3 WALL SIGNS (N) 0 SIGN (E)
128-374 TABLE 1	MAXIMUM SIZE: HORIZONTAL WALL SIGN: 15 SF - (15 X 23) = 18.75 SF (E) AWNING/CANOPY SIGN: 8 SF	31.9 SF 9.2 SF (N)
128-374 TABLE 1	MINIMUM SETBACK: FREESTANDING SIGN LOT LINES = 10 RESIDENTIAL ZONE = 30 FT	13.0 FT 198.1 FT
128-372 (G)	MAXIMUM HEIGHT: 3 FT ABOVE ROOFLINE	COMPLIES
128-372 (G)	PLACEMENT STANDARDS: SIGNS SHALL NOT BE PLACED WITHIN STREET SITE TRIANGLE OR ROW	COMPLIES

VARIANCE FOR BUILDINGS WITH A PUBLIC ENTRANCE AND PARKING IN THE REAR AS WELL AS IN THE FRONT. THERE MAY BE AN ADDITIONAL WALL, PROJECTING WINDOW OR AWNING / CANOPY SIGN PLACED AT THE REAR BUILDING ENTRANCE. EXISTING Pylon SIGN TO BE REMOVED AND REPLACED SIGN MAY INCREASE 15% FOR EVERY 100 FT OF BUILDING SETBACK FROM THE STREET LINE

LAND USE AND ZONING			
MAP 155A, LOT 15			
GENERAL BUSINESS (GB)			
PROPOSED USE	PERMITTED USE	EXISTING (Y)	PROPOSED
BANK	SPECIAL USE PERMIT REQUIRED		
DRIVE-THRU			
ZONING REQUIREMENT	REQUIRED	EXISTING (Y)	PROPOSED
MINIMUM LOT AREA	8.23 AC (10,900 SF)	2.33 AC (18,033)	NO CHANGE
MINIMUM LOT WIDTH	100 FT	471.2 FT	NO CHANGE
MINIMUM LOT FRONTAGE	100 FT	191.2 FT	NO CHANGE
MAXIMUM IMPERVIOUS COVERAGE	70% (88,415 SF)	89.4% (87,675 SF) (E)	89.4% (87,633 SF)
MAXIMUM BUILDING COVERAGE	45% (11,329 SF)	33.9% (11,317 SF)	NO CHANGE
MAXIMUM BUILDING HEIGHT	35 FT	<33 FT	NO CHANGE
MAXIMUM FLOOR AREA RATIO	50% (49,011 SF)	33.9% (11,317 SF)	NO CHANGE
MAXIMUM ACCESSORY STRUCTURE HEIGHT	35 FT	N/A	NO CHANGE
MINIMUM STRUCTURE ZONE SETBACK	35 FT	123.9 FT	NO CHANGE
MINIMUM FRONT YARD SETBACK	35 FT	154.8 FT	NO CHANGE
MINIMUM SIDE YARD SETBACK	10 FT	8.0 FT (E)	NO CHANGE
MINIMUM REAR YARD SETBACK	30 FT	123.9 FT	NO CHANGE

(E) EXISTING NON-COMFORMITY
EXISTING VALUES ARE APPROXIMATE AND FOR REFERENCE ONLY. THE PROPOSED APPLICATION DOES NOT SEEK TO MAKE ANY MODIFICATIONS TO THE BUILDING.



ISSUE	DATE	BY	DESCRIPTION
7	04/20/21	EB	SPECIAL PERMIT SUBMISSION
6	04/09/21	EB	SPECIAL PERMIT SUBMISSION
5	07/09/21	JIR	REVISED DRIVE-THRU CONCRETE MAT
4	04/09/21	JIR	ADDENDUM #1
3	07/09/21	JIR	REVISED PER ADA ENTRANCE LANDING
2	07/09/21	JIR	REVISED PER ADA PARKING IMPROVEMENTS
1	07/09/21	JIR	ISSUED FOR REVIEW

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY • Boston, MA
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefielddesign.com

120 Washington Street, Suite 102, Salem, MA 01970
Phone 617.203.2076

CHASEO
PROPOSED BANK WITH REMOTE
DRIVE-UP ATM

MAP 155A, LOTS 1 & 15
METACON AVENUE (RHODE ISLAND ROUTE 136)
BRISTOL COUNTY, RHODE ISLAND

JOSHUA H. KLINE, P.E.
RHODE ISLAND LIC# RE No. 13187
LICENSED PROFESSIONAL ENGINEER

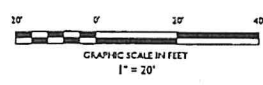
STONEFIELD
engineering & design

SCALE: 1" = 20'
PROJECT ID: BOS-210076

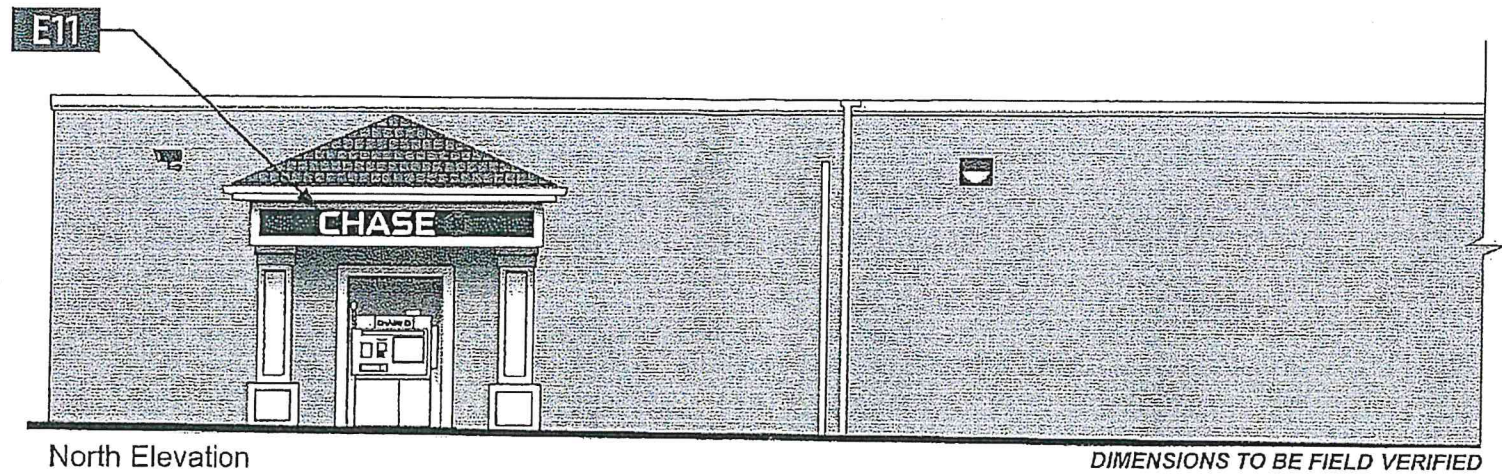
TITLE: **SITE PLAN EXHIBIT**

DRAWING: **1 OF 1**

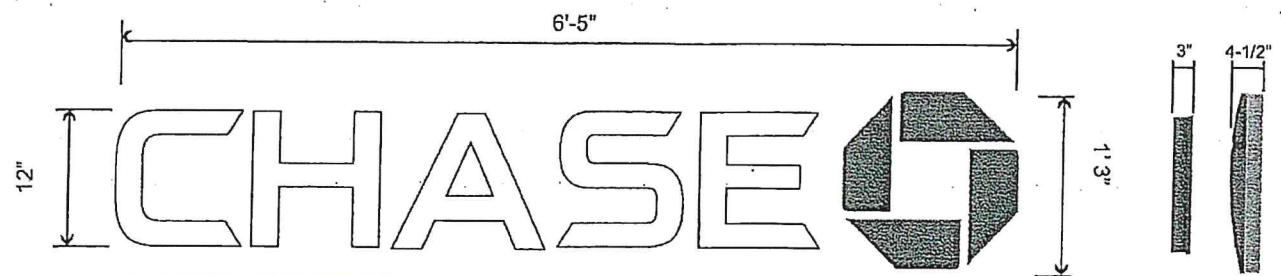
- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
 - ALL CONTRACTORS SHALL TO THE FULLEST EXTENT PERMITTED BY LAW, INDEPENDENTLY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT OBTAINING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
 - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
 - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
 - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDAMAGED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
 - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
 - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE ACQUISITION OF STREET OPENING PERMITS.
 - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
 - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



E11 - LIF-WBO-12-LED



SECONDARY WALL SIGN
 FACING NARROWS ROAD
 (ENT)
 NO VARIANCE NEEDED



LIF-WBO-12-LED
WHITE W/ BLUE OCTAGON ILLUM CHANNEL LETTERS
 SCALE: 3/4" = 1' 8.Sq ft



CHS.NB.1158 - Bristol Metacom Avenue
 576 Metacom Avenue
 Bristol, RI 02809

DESIGNER - JM
 CREATED - 10.13.22
 DRAWING - B102729

PHILADELPHIASIGN
 BRINGING THE WORLD'S BRANDS TO LIFE
 707 WEST SPRING GARDEN ST. - PALMYRA, NJ - 08065
 P: 856-829-1460 • F: 856-829-8549 • WEB: <http://www.philadelphiasign.com>

THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY P.S.C.O. IT IS SUBMITTED FOR YOUR PERSONAL USE IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU BY P.S.C.O. IT IS NOT TO BE SHOWN TO ANYONE OUTSIDE YOUR ORGANIZATION NOR IS IT TO BE USED, COPIED, REPRODUCED, OR EXHIBITED IN ANY FASHION.



Town of Bristol, Rhode Island
Zoning Board of Review

10 Court Street
 Bristol, RI 02809
 401-253-7000
 www.bristolri.gov

File #2023-36

PUBLIC HEARING

Notice is hereby given by the Zoning Board of Review
 that a public hearing will be held on the following application:

Monday, October 2, 2023

at 7:00 P.M.

Bristol Town Hall

10 Court Street

APPLICANT: **TPG Architecture, LLP / Chase Bank**

PROPERTY OWNER: **Cobble Hill Development, LLC**

LOCATION: **580 Metacom Avenue, Unit 21**

PLAT: **150** LOT: **15**

ZONE: **General Business (GB)**

APPLICANT IS REQUESTING A SPECIAL USE PERMIT TO: **operate an automated teller machine (ATM) accessory drive thru use.**

APPLICANT IS ALSO REQUESTING DIMENSIONAL VARIANCES: **to install a freestanding commercial sign with the proposed sign having approximately 25 square feet of sign area, at a size greater than permitted and with less than the required ground clearance for a freestanding sign in the General Business zoning district; and to install two commercial wall signs having 36.9 square feet of sign area at a size greater than permitted and exceeding the number of permitted commercial wall signs in the General Business zoning district.**

Edward M. Tanner,
 Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol web site at <https://www.bristolri.gov/government/boards/zoning-board-of-review/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, September 28, 2023.



Town of Bristol, Rhode Island
Department of Community Development
Zoning Board of Review

TOWN OF BRISTOL
COMMUNITY DEV.

2023 SEP -8 PM 1:03

APPLICATION

File No: **2023-36**

Accepted by ZEO: **EMT 9/8/23**

APPLICANT	Name: TPG Architecture, LLP		
	Address: 132 W 31st Street, 5th Floor		
	City: New York	State: NY	Zip: 10001
	Phone #: 201-340-4468	Email: Jkline@stonefieldeng.com	
PROPERTY OWNER	Name: Cobble Hill Development, LLC		
	Address: 132 Old River Road, Suite 103		
	City: Lincoln	State: RI	Zip: 02865
	Phone #: 401-722-3600	Email: office@sheklawfirm.com	

1. Location of subject property: 580 Metacom Ave (portion of Unit 21)
 Assessor's Plat(s)#: 150A Lot(s) #: 15

2. Zoning district in which property is located: General Business (GB)

3. Zoning Approval(s) required (check all that apply):
 Dimensional Variance(s) Special Use Permit Use Variance

4. Which particular provisions of the Zoning Ordinance is applicable to this application?:
 Dimensional Variance Section(s): Sections - 28-82, 28-150(c), 28-409(c)(2)
 Special Use Permit Section(s): Sections - ARTICLE X; 28-372, 373 et seq.; 28-409 (c)(1)
 Use Variance Section(s): _____

5. In a separate written statement, please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.

6. How long have you owned the property?: 2 Years (2021)

7. Present use of property: Shopping Center Use

8. Is there a building on the property at present?: Yes

9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet): Approx. 100' x 170' (irregular shape), Approx. 24,500 SF, & Approx. 14' to roof

10. Proposed use of property: Shopping Center with Chase Bank as new tenant and Drive-Up ATM in same location and drive thru for previous tenant, Rite Aid Pharmacy.

11. Give extent of proposed alterations: Conversion of internal space to a Chase Bank, approximate 3' x 10' building addition for through wall ATM (drive-up), lighting and landscape upgrades, and accessible parking and entrance upgrades.

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet): 3' x 10' (30 SF) at ATM location on North side of existing building.

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line: See Attached Narrative

Front lot line(s):	Required Setback: _____	Proposed Setback: _____
Left side lot line:	Required Setback: _____	Proposed Setback: _____
Right side lot line:	Required Setback: _____	Proposed Setback: _____
Rear lot line:	Required Setback: _____	Proposed Setback: _____
Building height:	Required: _____	Proposed: _____

Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):
 Required: _____ Proposed: _____

13. Number of families before/after proposed alterations: N/A Before N/A After

14. Have you submitted plans for the above alterations to the Building Official? Yes
 If yes, has he refused a permit? No If refused, on what grounds? _____

15. Are there any easements on your property?: No (If yes, their location must be shown on site plan)

16. Which public utilities service the property?: Water: Yes Sewer: Yes

17. Is the property located in the Bristol Historic District or is it an individually listed property?: No

18. Is the property located in a flood zone? No If yes, which one?: N/A

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: by its Attorney [Signature] Date: 9-7-23

Print Name: TPG Architecture, LLP

Property Owner's Signature: by its Attorney [Signature] Date: 9-7-23

Print Name: CSBB/c All Development, LLC

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:
 Name: William P. Dennis, Esq. Telephone #: 401 254-2992
 Address: 576 Metacomb Ave #2, Bristol, RI 02809

Exhibit "A"
Application 5.
Written Statement

SPECIAL USE PERMIT – DRIVE-THRU ATM

The Applicant is proposing a drive-thru ATM along the northerly side of the existing building. This is an EXISTING drive-thru location, once utilized by the former tenant – Rite Aid Pharmacy. The Applicant proposes only the construction of a 3 foot by 10 foot through wall to accommodate the ATM.

Under the Bristol Zoning Ordinance, the required standards are as follows:

(GENERAL STANDARDS)

(2) *Special Use permit.* In granting a special use permit the board shall require that evidence to the satisfaction of the following standards be entered into the record of the proceedings:

- a. That the special use is specifically authorized by this chapter, and setting forth the exact section of this chapter containing the jurisdictional authorization;
- b. That the special use meets all of the standards set forth in the subsection of this chapter (section 28-150) authorizing such special use; and
- c. That the granting of the special use permit will not alter the general character of the surrounding area or impair the intent or purpose of this chapter or the comprehensive plan of the town.

(SPECIFIC STANDARDS)

(c) *Special use standards for drive-thru uses.* Drive-thru uses, whether accessory or principal uses, shall be permitted as a special permit use, subject to the requirements of section 28-409, when and only when all of the following requirements are also met:

- 1) In addition to the parking, loading, and stacking requirements of article VIII of this chapter, there must be stacking spaces located on the parcel for a minimum of five vehicles waiting to exit the site.
- 2) A sufficient number of stacking spaces for vehicles waiting for service must be provided in accordance with the following:
 - a. Fast-food restaurants – Ten vehicles;
 - b. Bank – Five vehicles at the first window plus two for each additional window;

- c. Other uses without a menu board – Four spaces per window.

Stacking lanes shall not cross or pass through off street parking spaces. Where pedestrians will intersect with a drive-thru lane, crosswalks shall be provided with striping and/or alternative paving materials.

- 3) A drive-thru window shall be properly located within the site's parking and circulation plan to avoid any effect on off-site vehicular or pedestrian traffic; and, in no case shall a drive-thru window be located on any front building façade which faces a primary street (i.e., Metacom Avenue, Gooding Avenue, Hope Street).
- 4) A drive-thru window shall be provided with a bypass lane having a minimum width of ten feet.
- 5) Drive-thru lanes shall be physically separated from off-street parking areas and shall be striped, marked, or otherwise, distinctly delineated.
- 6) Drive-thru lanes shall be buffered against adjacent land use.
- 7) Menu boards or other informational boards shall face away from public rights-of-way.
- 8) The minimum lot area shall be no less than 40,000 square feet for a single-use building with a drive-thru use. This lot area requirement shall be exclusive of any other buildings or uses on the parcel.

THE APPLICANT MEETS ALL OF THE ABOVE STANDARDS.

a. The Special Use is specifically authorized as a special use permit use under Section 28-82(d) "drive-thrus" in a General Business zone.

b. The Special Use meets all of the standards of Section 28-150(c). Evidence that the Applicant satisfies the standards as highlighted below is contained in the plans provided as part of the Applicant's application package.

- The Chase Bank use meets all parking, loading and stacking requirements of Zoning Ordinance Article VIII.
- There are stacking spaces for at least 5 vehicles waiting to exit the site.
- There are stacking spaces for at least 5 vehicles waiting for service.
- The ATM is located within the site's parking and circulation plan to avoid any effect on off-site vehicular or pedestrian traffic.
- The ATM provides a by-pass lane having a minimum width of 10 feet.
- The drive-thru lane is physically separated from off-street parking areas and is striped, marked, or otherwise, distinctly delineated.
- The drive-thru lane is buffered against adjacent land use.
- The menu boards and informational boards face away from public rights-of-way.

- The minimum lot area is greater than 40,000 square feet.
- c. The granting of the Special Use Permit will not alter the general character of the surrounding area or impair the intent or purpose of this chapter or the comprehensive plan of the Town.

The proposed location of the Chase Bank branch and the subject ATM is located in a General Business Zone at the major intersection of Route 136, Narrows Road and Gooding Avenue. This is a location of many businesses and several financial institutions with drive-thru windows as well as ATM machines. In fact, the proposed ATM location actually existed as a pharmacy drive-thru window for many years.

DIMENSIONAL VARIANCES – SIGNAGE

The Applicant is requesting dimensional relief from the signage requirements of the Bristol Zoning Ordinance with respect to 3 specific proposed signs:

Under the Bristol Zoning Ordinance, the required standards are as follows:

- 1) *Variance*. In granting a variance, the board shall require that evidence to the satisfaction of the following standards be entered into the record of proceedings:
 - a. That the hardship from which the applicant seeks relief is due to the unique characteristics of the subject land or structure and not to the general characteristics of the surrounding area, and not due to an economic disability of the applicant.
 - b. That such hardship is not the result of any prior action of the applicant and does not result primarily from the desire of the applicant to realize greater financial gain.
 - c. That the granting of the requested variance will not alter the general characteristic of the surrounding area or impair the intent or purpose of this chapter or the comprehensive plan of the town;
 - d. That the relief to be granted is the least relief necessary;
 - e. That the Board shall in addition to the above standards, require that evidence be entered into the record of the proceedings showing that:
 2. In granting a dimensional variance, that the hardship that will be suffered by the owner of the subject property if the dimensional variance is not granted shall amount to more than a mere inconvenience. The fact that a use may be more profitable or that a structure may be more valuable after the relief is granted shall not be grounds for relief.

THE PROPOSED SIGNS

- A. A free standing, double-faced, internally illuminated pylon sign of 25 square feet. A free standing sign in front of the building on Metacom Avenue already exists and was, historically, utilized by prior tenants. The Applicant proposes replacing the existing free standing sign with a design depicted on the attached plan.

Required Dimensions	Proposed Dimensions	Variance Relief
Area 15 square feet	25 square feet	10 foot variance
Maximum height 12 feet	12 feet	None
Ground clearance 4 feet	0 feet	4 feet
Lot line distance 10 feet	Westerly Lot Line 14.5 feet Northerly Lot Line 95 feet	None
Distance from R Zones 50 feet	Exceeds 50 feet	None

The existing free standing sign at this location is 21 inches wide and has zero ground clearance. The proposed sign is designed at 29 inches wide. The site has unique characteristics with regard to topography, multiple access points along the westerly and northerly boundaries and has multiple businesses. The proposed free standing is designed to address drivers at eye level and does not impact sight lines.

- B. An internally illuminated Primary wall sign of 36.9 square feet to be located on the west elevation of the building. Because of the significant building setback from Metacom Avenue (150 feet), additional sign area is permitted under the Code.

Required Dimensions	Proposed Dimensions	Variance Relief
Area 20.6 square feet	36.9 square feet	16.3 square feet

This primary sign is the key identifier of the bank and will assist with drivers accessing convenient parking within the plaza and will safely guide customers to the appropriate area of the parking lot – traffic safety.

- C. An internally illuminated additional wall sign of 36.9 square feet to be located on the south elevation of the building. The Bristol Zoning Ordinance provides for an additional wall sign for buildings with a public entrance and parking in the rear as well as the front. The additional sign is permitted at the rear entrance.

Required Dimensions	Proposed Dimensions	Variance Relief
Area 15 square feet	36.9 square feet	21.9 square feet

The Applicant does not enjoy a rear entrance, but does rely on a SIDE entrance on the southerly side of the building which accommodates more significant parking than does the front entrance to the bank. In addition the other 20 businesses of the plaza are located across from this SIDE entrance. The distance from the side entrance to the businesses across the parking lot exceeds 150 feet. For this reason, the additional wall sign is requested.

PROPERTY OWNER AUTHORIZATION

Cobble Hill Development, LLC of 132 Old River Road, Lincoln, Rhode Island, as owner of Unit 21, 580 Metacom Avenue, Bristol, Rhode Island (Assessor's Plat 150A, Lot 15) hereby authorizes TPG Architecture, LLP and its attorney William P. Dennis, Esq. to submit its application for Chase Bank., Said Application to the Town of Bristol Zoning Board of Review shall be for special use permit and variance relief.

WITNESS my hand and seal this 6 day of September, 2023.

COBBLE HILL DEVELOPMENT, LLC

By [Signature]
John Shekarchi, Member

STATE OF RHODE ISLAND
COUNTY OF Kent

In Westerly on the 6 day of September, 2023, before me personally appeared John Shekarchi, Member of Cobble Hill Development, LLC to me known and known by me through satisfactory evidence to be the party executing the foregoing instrument on behalf of said limited liability company, and acknowledged that he executed said instrument with proper authority for the purpose stated therein as his free act and deed in said capacity and the free act and deed of said limited liability company.

[Signature]
Notary Public
My commission expires on

FATIMA M. RODRIGUES
Notary Public-State of Rhode Island
My Commission Expires
January 14, 2026

Bristol

580 METACOM AVE

Card 1 of 1

Plat/Lot 150 15 021

Account: 7596

LUC 24

Zone GB

Assessment

\$927,100



Owner Account #:
 Owner 1 COBBLE HILL DEVELOPMENT, LLC % Owned
 Owner 2 320 DEXTER STREET LLC
 Owner 3
 Address 132 OLD RIVER RD, SUITE 103, LINCOLN, RI 02865

Previous Owners & Sales Information

Grantor	Date	Sale Price	Leg Ref	NAL	Deed Type
BELL ACQUISITIONS LLC	06/23/2021	4,650,000	2119-165	K	W
BELL TOWER PLAZA, LLC	01/29/2015	3,150,000	1788-174	K	W

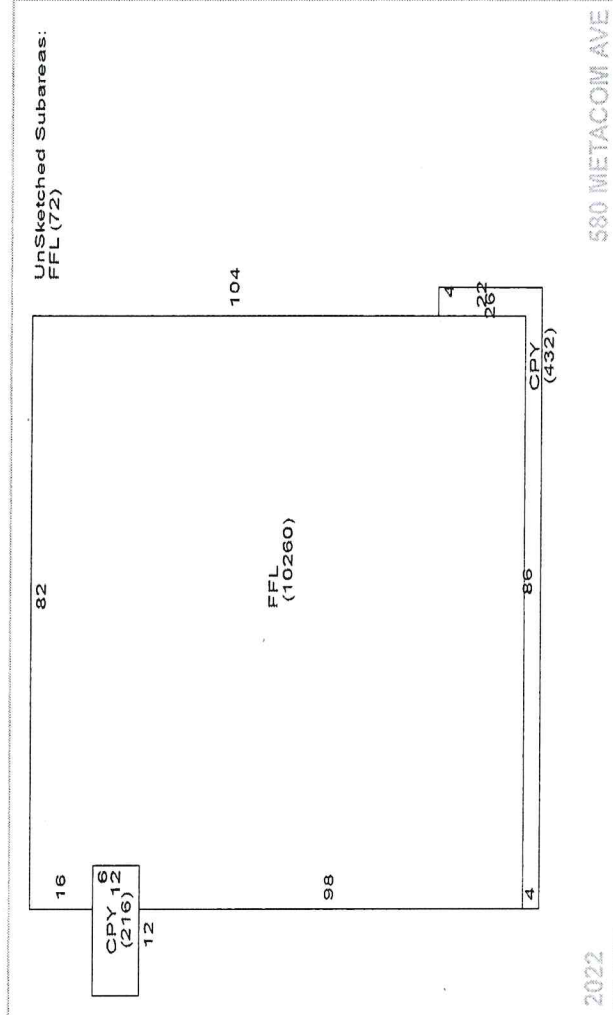
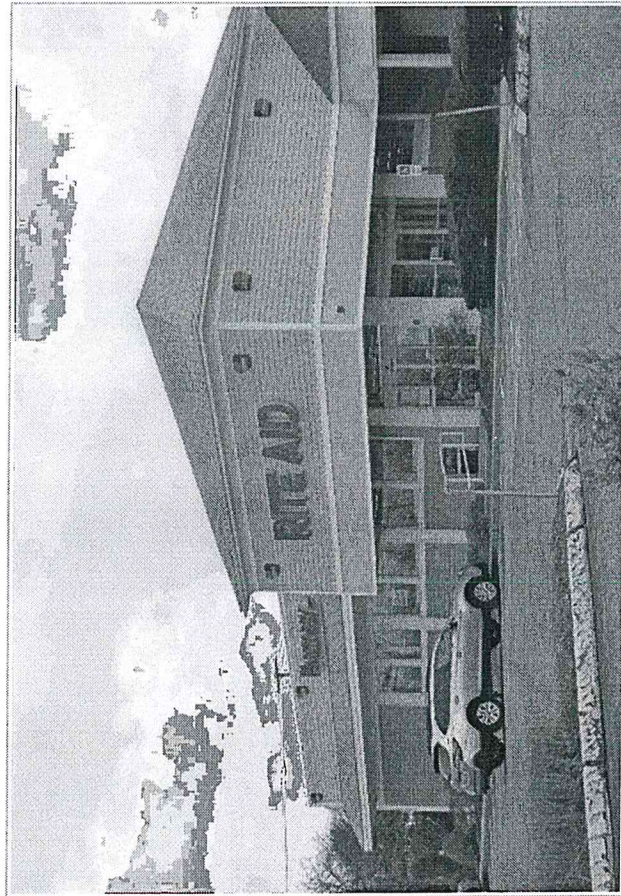
Assessment

Use Code	Bldg Value	SF/YI Value	Land Size	Land Value	AG Credit	Assessed Value
24	926,100	1,000	0.00	0	0	927,100
TOTAL	926,100	1,000	0.00	0	0	927,100

Source > Mkt Adj Cost VAL per SQ Unit/Card > 84.44 VAL per SQ Unit/Parcel > 84.44

Previous Assessments

Year	LUC	Building	SF/YI	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2022	24	926,100	1,000	0	0	0	927,100	927,100
2021	24	1,460,100	1,000	0	0	0	1,461,100	1,461,100
2020	24	1,460,100	1,000	0	0	0	1,461,100	1,461,100
2019	24	1,460,100	1,000	0	0	0	1,461,100	1,461,100
2018	24	1,153,900	1,000	0	0	0	1,154,900	1,154,900
2017	24	1,153,900	1,000	0	0	0	1,154,900	1,154,900



Land Information

Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh	Inf 1 %	Inf 2 %	Inf 3 %	Inf 3	Appr Value	Spec Land	Juris	Fact	Use Value
1																
2																
3																
4																

Item 4B.



Building Information

Description	Story Height	COM Units	BMT Floor	Description
BLDG Type	1 Story	1		1 Story
RES Units	0			
Foundation	Wood			
Frame 1	Concrete Blk			
EXT Wall 1	Flat			
Roof Type 1	Rubber			
Roof Cover 1	Drywall			
INT Wall 1	Floors 2			
Floors 1	Color			
BMT Garages	Electrical			
Plumbing	INT vs EXT			
Insulation	Heat Type			
Heat Fuel	% Heated			
# Heat Sys	% A/C			
% Solar HW	% Vacuum			
% COM Wall	Ceiling Type			
Ceil HIGHT	% Sprinkled			
Parking Type				
EXT View				

Grade

Grade	Q3	Q3	Flood Hazard
Year Built	1995	EFF Year	LEVEL
Alt LUC	0.00	Alt %	PAVED
Depreciation			
Code	Description	%	Bas \$/SQ
Condition	AV - Average	26.0	Size Adj
Functional		0.0	Constr Adj
Economic		0.0	Adj \$/SQ
Special		0.0	Other Featrs
OV		0.0	Grade Fac
		0.0	Neigh Infl
		0.0	Land Factor
		0.0	Adj Total
		0.0	Depreciation
		0.0	Depr Total
		0.0	Total Depreciation % >

Sub-Area Detail

Code	Description	Area	Fin. Area	Rate	Undep V
FFL	1st FLOOR	10,332	#####	93.89	970,071
CPY	CANOPY	648	0	7.11	4,418
Total		10,980	#####		974,489

Visit History

Date	Result	By
10/20/2021	REVIEW	AD
7/17/2018	MEASURED	JE
5/11/2018	REVIEW	JH
12/18/2007	LISTED	
12/17/2007	MEASURE	

Notes

21.29% RITE AID - ASSESSMENT REDUCED BY BOARD #2012-028 12/12 EAS. FREE STANDING - CONDO: BELL TOWER. || FORMER RITE AID, VACANT 2021

Remodeling History

Additions	Plumbing	Electric	Heating	General
Interior				
Exterior				
Kitchen				
Bath(s)				

Condo Data

Complex	Location	Total Units	FL Level	# Floors	Bldg Seq
580 METACOM	FS		1ST FLOOR	0	1

Building Permits

Issue Date	Permit #	Closed	Date	BP Type	Est. Cost	% Done	Status	Description/Directions
07/16/2009	E10114			ELEC	0		Closed	INSTALL DUPLEX OUTLET ABOVE CEILING IN MANAGER'S OFFICE FOR SEC
02/06/2008	B27922			BLDG	0		Closed	REPLACE DAMAGED WALL METAL STUDS PLYWOOD, SHEET ROCK, WOOD
06/26/2007	SG22152			SIGN	0		Closed	CHANGES FROM BROOK SIGNS TO RITE AID -- SEE PLANS
06/26/2007	E6723			ELEC	0		Closed	WIRE NEWLY INSTALLED LETTERS TO RIDE-AID AND INSTALL TRANSFORMI
04/11/2007	SG22153			SIGN	0		Closed	APPROVED BY ZONING FOR ONE WEEK PER EVENT (ALLOWED FOUR TIME
03/08/2007	E6627			ELEC	0		Closed	INSTALL ON 98 METER SATELLITE SYSTEM FOR BUSINESS PURPOSES. RG-

Special Features & Yard Items

Use	Description	A	Y/S	Y	Qty	Length	Width	SF Size	Quality	Condition	Year	Assessed Value
1	87 Sign	1	1	1	1			1	3	AV	2006	1,000

Other Info.

AFDU	Term	Rental
PriorID1c		
PriorID2a		
PriorID2b		
PriorID2c		
PriorID3a		
PriorID3b		
PriorID3c		

Room Counts by Floor

Units	# Rooms	# Bedrooms	Floor Level
1			
2			
3			
4			
Totals			



580 Metacom Ave - 300' Radius

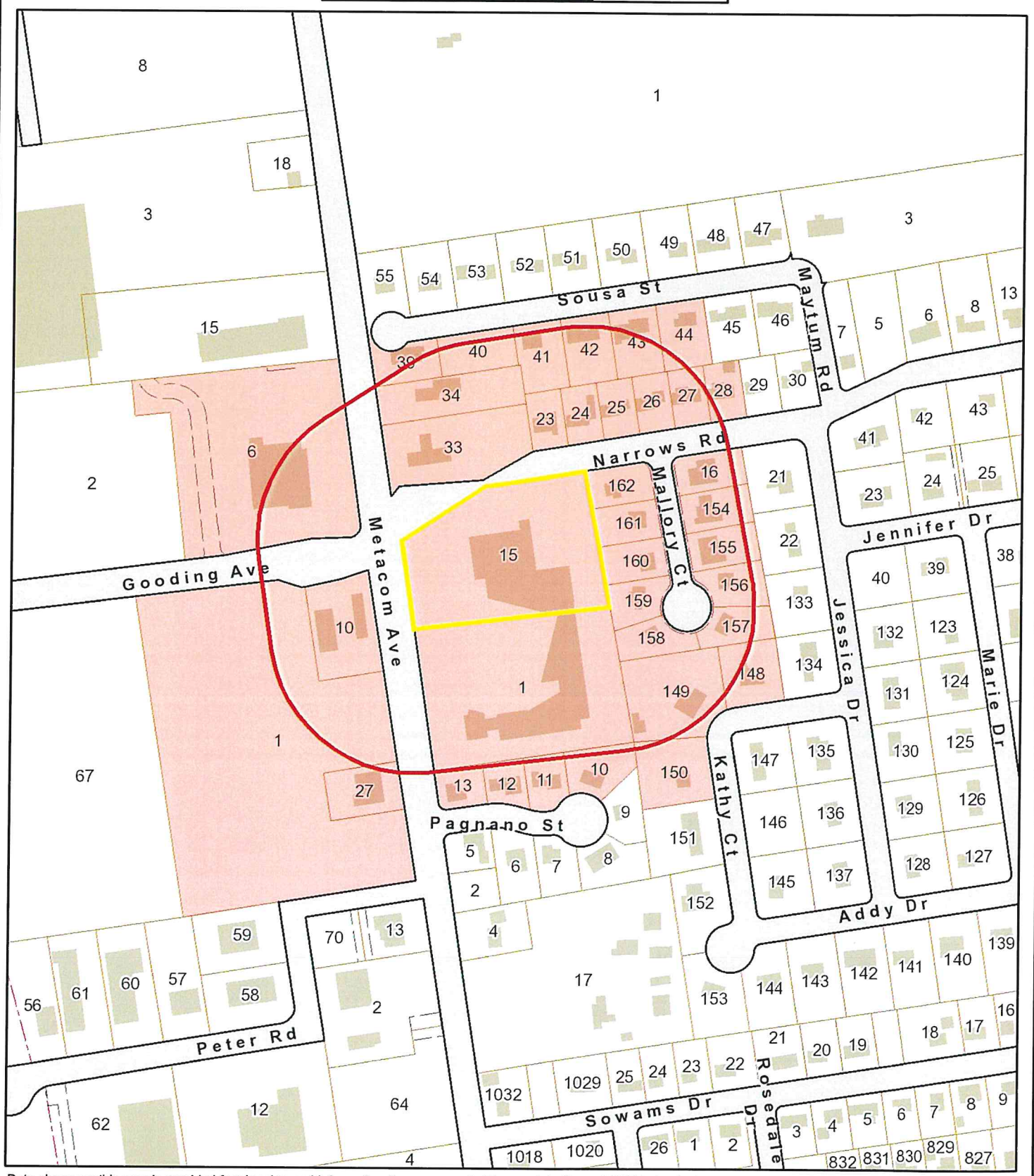
Bristol, RI



September 8, 2023

1 inch = 281 Feet

www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



300 foot Abutters List Report

Bristol, RI
September 08, 2023

Subject Properties:

Parcel Number: 150-15	Mailing Address: COBBLE HILL DEVELOPMENT, LLC 320
CAMA Number: 150-15-015	DEXTER STREET LLC
Property Address: 580 METACOM AVE	132 OLD RIVER RD, SUITE 103
	LINCOLN, RI 02865

Parcel Number: 150-15	Mailing Address: COBBLE HILL DEVELOPMENT, LLC 320
CAMA Number: 150-15-016	DEXTER STREET LLC
Property Address: 580 METACOM AVE	132 OLD RIVER RD, SUITE 103
	LINCOLN, RI 02865

Parcel Number: 150-15	Mailing Address: COBBLE HILL DEVELOPMENT, LLC 320
CAMA Number: 150-15-017	DEXTER STREET LLC
Property Address: 580 METACOM AVE	132 OLD RIVER RD, SUITE 103
	LINCOLN, RI 02865

Parcel Number: 150-15	Mailing Address: COBBLE HILL DEVELOPMENT, LLC 320
CAMA Number: 150-15-018	DEXTER STREET LLC
Property Address: 580 METACOM AVE	132 OLD RIVER RD, SUITE 103
	LINCOLN, RI 02865

Parcel Number: 150-15	Mailing Address: COBBLE HILL DEVELOPMENT, LLC 320
CAMA Number: 150-15-019	DEXTER STREET LLC
Property Address: 580 METACOM AVE	132 OLD RIVER RD, SUITE 103
	LINCOLN, RI 02865

Parcel Number: 150-15	Mailing Address: COBBLE HILL DEVELOPMENT, LLC 320
CAMA Number: 150-15-020	DEXTER STREET LLC
Property Address: 580 METACOM AVE	132 OLD RIVER RD, SUITE 103
	LINCOLN, RI 02865

Parcel Number: 150-15	Mailing Address: COBBLE HILL DEVELOPMENT, LLC 320
CAMA Number: 150-15-021	DEXTER STREET LLC
Property Address: 580 METACOM AVE	132 OLD RIVER RD, SUITE 103
	LINCOLN, RI 02865

Abutters:

Parcel Number: 108-1	Mailing Address: TOWN OF BRISTOL
CAMA Number: 108-1	10 COURT ST
Property Address: GOODING AVE	BRISTOL, RI 02809

Parcel Number: 108-10	Mailing Address: COLBEA ENTERPRISES, LLC
CAMA Number: 108-10	695 GEORGE WASHINGTON HIGHWAY
Property Address: 579 METACOM AVE	LINCOLN, RI 02865

Parcel Number: 108-27	Mailing Address: CABRAL. PAUL JOSEPH
CAMA Number: 108-27	8 VIRGINIA ST
Property Address: 585 METACOM AVE	WARREN, RI 02885



www.cai-tech.com



300 foot Abutters List Report

Bristol, RI
September 08, 2023

Parcel Number: 138-23
CAMA Number: 138-23
Property Address: 7 NARROWS RD

Mailing Address: CAVALIERI, DOMENIC A
7 NARROWS RD
BRISTOL, RI 02809

Parcel Number: 138-24
CAMA Number: 138-24
Property Address: 9 NARROWS RD

Mailing Address: PALMIERI, RAYMOND F. JR. ST
9 NARROWS RD
BRISTOL, RI 02809

Parcel Number: 138-25
CAMA Number: 138-25
Property Address: 11 NARROWS RD

Mailing Address: DANIELSON, EUGENE RAYMOND
11 NARROWS RD
BRISTOL, RI 02809

Parcel Number: 138-26
CAMA Number: 138-26
Property Address: 15 NARROWS RD

Mailing Address: FARIA, VICTORIA
15 NARROWS ROAD
BRISTOL, RI 02809

Parcel Number: 138-27
CAMA Number: 138-27
Property Address: 17 NARROWS RD

Mailing Address: DUTRA, MICHAEL J. ET UX LORI A.
DUTRA TE
17 NARROWS ROAD
BRISTOL, RI 02809

Parcel Number: 138-28
CAMA Number: 138-28
Property Address: 19 NARROWS RD

Mailing Address: MARSH, KAREN J - TRUSTEE KAREN J
MARSH FAMILY TRUST
19 NARROWS RD
BRISTOL, RI 02809

Parcel Number: 138-33
CAMA Number: 138-33
Property Address: 590 METACOM AVE

Mailing Address: MLR INVESTMENTS, LLC
C/O BANK FIVE ATTN: FINANCE DEPT 79
N MAIN ST
FALL RIVER, MA 02720

Parcel Number: 138-34
CAMA Number: 138-34
Property Address: 594 METACOM AVE

Mailing Address: FRANCIS, DAVID M & GENEVIEVE LE
FRANCIS, MATTHEW D & LISA J TE
2 SOUSA ST
BRISTOL, RI 02809

Parcel Number: 138-39
CAMA Number: 138-39
Property Address: 2 SOUSA ST

Mailing Address: FRANCIS, MATTHEW D. & LISA J. TE
2 SOUSA ST
BRISTOL, RI 02809

Parcel Number: 138-40
CAMA Number: 138-40
Property Address: SOUSA ST

Mailing Address: FRANCIS, MATTHEW D & LISA J TE
2 SOUSA ST
BRISTOL, RI 02809

Parcel Number: 138-41
CAMA Number: 138-41
Property Address: 6 SOUSA ST

Mailing Address: NERONE, KEVIN ET UX DEBORAH TE
6 SOUSA ST
BRISTOL, RI 02809

Parcel Number: 138-42
CAMA Number: 138-42
Property Address: 8 SOUSA ST

Mailing Address: LAMORA, ANDREW M
8 SOUSA ST.
BRISTOL, RI 02809



www.cai-tech.com

9/8/2023

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 2 of 6



300 foot Abutters List Report

Bristol, RI
September 08, 2023

Parcel Number: 138-43 CAMA Number: 138-43 Property Address: 10 SOUSA ST	Mailing Address: SOUSA, RICHARD C ET UX SOUSA, FRANCINE TE 10 SOUSA ST BRISTOL, RI 02809
Parcel Number: 138-44 CAMA Number: 138-44 Property Address: 12 SOUSA ST	Mailing Address: GRIFKA, JEFFREY L KATIE E ETUX TE 12 SOUSA ST BRISTOL, RI 02809
Parcel Number: 150-10 CAMA Number: 150-10 Property Address: 6 PAGNANO ST	Mailing Address: FERREIRA, WILLIAM JR 5 ALBION ST BRISTOL, RI 02809
Parcel Number: 150-1 CAMA Number: 150-1-002 Property Address: 576 METACOM AVE	Mailing Address: DENNIS, WILLIAM P, TRUSTEE THE WILLIAM P DENNIS IRREV RE 576 METACOM AVE UNIT 2 BRISTOL, RI 02809
Parcel Number: 150-1 CAMA Number: 150-1-003 Property Address: 576 METACOM AVE	Mailing Address: DI REALTY LLC 1719 GAR HIGHWAY SWANSEA, MA 02777
Parcel Number: 150-1 CAMA Number: 150-1-004 Property Address: 576 METACOM AVE	Mailing Address: COBBLE HILL DEVELOPMENT, LLC 320 DEXTER STREET LLC 132 OLD RIVER RD, SUITE 103 LINCOLN, RI 02865
Parcel Number: 150-1 CAMA Number: 150-1-005 Property Address: 576 METACOM AVE	Mailing Address: VIEIRA, CARMELA LIFE ESTATE BYRNES, VIVIAN & JENNINGS. AN 44 THAYER ST BRISTOL, RI 02809
Parcel Number: 150-1 CAMA Number: 150-1-006 Property Address: 576 METACOM AVE	Mailing Address: COBBLE HILL DEVELOPMENT, LLC 320 DEXTER STREET LLC 132 OLD RIVER RD, SUITE 103 LINCOLN, RI 02865
Parcel Number: 150-1 CAMA Number: 150-1-007 Property Address: 576 METACOM AVE	Mailing Address: COBBLE HILL DEVELOPMENT, LLC 320 DEXTER STREET LLC 132 OLD RIVER RD, SUITE 103 LINCOLN, RI 02865
Parcel Number: 150-1 CAMA Number: 150-1-008 Property Address: 576 METACOM AVE	Mailing Address: ALANO, MARK V. 47 GARFIELD AVE BRISTOL, RI 02809
Parcel Number: 150-1 CAMA Number: 150-1-009 Property Address: 576 METACOM AVE	Mailing Address: COBBLE HILL DEVELOPMENT, LLC 320 DEXTER STREET LLC 132 OLD RIVER RD, SUITE 103 LINCOLN, RI 02865
Parcel Number: 150-1 CAMA Number: 150-1-010 Property Address: 576 METACOM AVE	Mailing Address: COBBLE HILL DEVELOPMENT, LLC 320 DEXTER STREET LLC 132 OLD RIVER RD, SUITE 103 LINCOLN, RI 02865



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

9/8/2023

Page 3 of 6



300 foot Abutters List Report

Bristol, RI
September 08, 2023

Parcel Number: 150-1 CAMA Number: 150-1-011 Property Address: 576 METACOM AVE	Mailing Address: COBBLE HILL DEVELOPMENT, LLC 320 DEXTER STREET LLC 132 OLD RIVER RD, SUITE 103 LINCOLN, RI 02865
Parcel Number: 150-1 CAMA Number: 150-1-012 Property Address: 576 METACOM AVE	Mailing Address: MAIN SAIL PROPERTIES 576 METACOM AVE. UNIT 12 BRISTOL, RI 02809
Parcel Number: 150-1 CAMA Number: 150-1-013 Property Address: 576 METACOM AVE	Mailing Address: HAIR EXPERTS, INC. 576 METACOM AVE UNIT 13 BRISTOL, RI 02809
Parcel Number: 150-1 CAMA Number: 150-1-014 Property Address: 576 METACOM AVE	Mailing Address: COBBLE HILL DEVELOPMENT, LLC 320 DEXTER STREET LLC 132 OLD RIVER RD, SUITE 103 LINCOLN, RI 02865
Parcel Number: 150-1 CAMA Number: 150-1-022 Property Address: 576 METACOM AVE	Mailing Address: GABLINSKE, DOUGLAS W. 5 Pokanoket Trail Warren, RI 02885
Parcel Number: 150-11 CAMA Number: 150-11 Property Address: 4 PAGNANO ST	Mailing Address: MEDEIROS-LUTHER, KARIN A & LUTHER, THEODORE JT 4 PAGNANO ST BRISTOL, RI 02809
Parcel Number: 150-12 CAMA Number: 150-12 Property Address: 2 PAGNANO ST	Mailing Address: MARTIN, HERMAN JR TRUSTEE STEELE, PAMELA J TRUSTEE 2 PAGNANO ST BRISTOL, RI 02809
Parcel Number: 150-13 CAMA Number: 150-13 Property Address: 568 METACOM AVE	Mailing Address: PACHECO, DINIS F & MARIA TE 568 METACOM AVE BRISTOL, RI 02809
Parcel Number: 150-148 CAMA Number: 150-148 Property Address: 4 KATHY CT	Mailing Address: RAPOSO, LUIS M & MARIA G CO- TRUSTEES 4 KATHY CT BRISTOL, RI 02809
Parcel Number: 150-149 CAMA Number: 150-149 Property Address: 6 KATHY CT	Mailing Address: LOTERO, DAVID SANDRA TE 6 KATHY CT BRISTOL, RI 02809
Parcel Number: 150-150 CAMA Number: 150-150 Property Address: 8 KATHY CT	Mailing Address: MALAFRONTA, FRANK L & PAMELA TRUSTEES 8 KATHY CT BRISTOL, RI 02809
Parcel Number: 150-15 CAMA Number: 150-15-015 Property Address: 580 METACOM AVE	Mailing Address: COBBLE HILL DEVELOPMENT, LLC 320 DEXTER STREET LLC 132 OLD RIVER RD, SUITE 103 LINCOLN, RI 02865



www.cai-tech.com

9/8/2023

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 4 of 6



300 foot Abutters List Report

Bristol, RI
September 08, 2023

Parcel Number: 150-15 CAMA Number: 150-15-016 Property Address: 580 METACOM AVE	Mailing Address: COBBLE HILL DEVELOPMENT, LLC 320 DEXTER STREET LLC 132 OLD RIVER RD, SUITE 103 LINCOLN, RI 02865
Parcel Number: 150-15 CAMA Number: 150-15-017 Property Address: 580 METACOM AVE	Mailing Address: COBBLE HILL DEVELOPMENT, LLC 320 DEXTER STREET LLC 132 OLD RIVER RD, SUITE 103 LINCOLN, RI 02865
Parcel Number: 150-15 CAMA Number: 150-15-018 Property Address: 580 METACOM AVE	Mailing Address: COBBLE HILL DEVELOPMENT, LLC 320 DEXTER STREET LLC 132 OLD RIVER RD, SUITE 103 LINCOLN, RI 02865
Parcel Number: 150-15 CAMA Number: 150-15-019 Property Address: 580 METACOM AVE	Mailing Address: COBBLE HILL DEVELOPMENT, LLC 320 DEXTER STREET LLC 132 OLD RIVER RD, SUITE 103 LINCOLN, RI 02865
Parcel Number: 150-15 CAMA Number: 150-15-020 Property Address: 580 METACOM AVE	Mailing Address: COBBLE HILL DEVELOPMENT, LLC 320 DEXTER STREET LLC 132 OLD RIVER RD, SUITE 103 LINCOLN, RI 02865
Parcel Number: 150-15 CAMA Number: 150-15-021 Property Address: 580 METACOM AVE	Mailing Address: COBBLE HILL DEVELOPMENT, LLC 320 DEXTER STREET LLC 132 OLD RIVER RD, SUITE 103 LINCOLN, RI 02865
Parcel Number: 150-154 CAMA Number: 150-154 Property Address: 4 MALLORY CT	Mailing Address: MORRIS, PAUL M. ET UX EILEEN E. TE 4 MALLORY CT BRISTOL, RI 02809
Parcel Number: 150-155 CAMA Number: 150-155 Property Address: 6 MALLORY CT	Mailing Address: CLOUTIER, JOHN PAUL ETUX CLOUTIER, TRISHA A. 6 MALLORY CT BRISTOL, RI 02809
Parcel Number: 150-156 CAMA Number: 150-156 Property Address: 8 MALLORY CT	Mailing Address: MACHADO, KEVIN & BETHANY TE 84 MAIN ST RIVERSIDE, RI 02915
Parcel Number: 150-157 CAMA Number: 150-157 Property Address: 10 MALLORY CT	Mailing Address: ANDRADE, NORBERT A JR ETUX NANCY L. ANDRADE TE 10 MALLORY CT BRISTOL, RI 02809
Parcel Number: 150-158 CAMA Number: 150-158 Property Address: 9 MALLORY CT	Mailing Address: ALLEN, WILLIAM & MAGGIE TE 9 MALLORY CT BRISTOL, RI 02809
Parcel Number: 150-159 CAMA Number: 150-159 Property Address: 7 MALLORY CT	Mailing Address: PEDULLA, THOMAS & SUSAN A TE 7 MALLORY CT BRISTOL, RI 02809



www.cai-tech.com

9/8/2023

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 5 of 6



300 foot Abutters List Report

Bristol, RI
September 08, 2023

Parcel Number: 150-16
CAMA Number: 150-16
Property Address: 2 MALLORY CT

Mailing Address: ARCHAMBAULT, PETER A.
2 MALLORY CT
BRISTOL, RI 02809

Parcel Number: 150-160
CAMA Number: 150-160
Property Address: 5 MALLORY CT

Mailing Address: SHEA, JAMES
5 MALLORY CRT
BRISTOL, RI 02809

Parcel Number: 150-161
CAMA Number: 150-161
Property Address: 3 MALLORY CT

Mailing Address: LIMA, MICHAEL P & ELIZABETH DENNIS
TE
3 MALLORY CT
BRISTOL, RI 02809

Parcel Number: 150-162
CAMA Number: 150-162
Property Address: 12 NARROWS RD

Mailing Address: CORREIA, CHRISTINE L- TRUSTEE
FORMISANO FAMILY TRUST
12 NARROWS RD
BRISTOL, RI 02809

Parcel Number: 98-6
CAMA Number: 98-6
Property Address: 591 METACOM AVE

Mailing Address: SEDER, J ROBERT C/O WALGREEN CO
PO BOX 1159
DEERFIELD, IL 60015



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

9/8/2023

Page 6 of 6

ALANO, MARK V.
47 GARFIELD AVE
BRISTOL, RI 02809

DANIELSON, EUGENE RAYMOND
11 NARROWS RD
BRISTOL, RI 02809

GRIFKA, JEFFREY L
KATIE E ETUX TE
12 SOUSA ST
BRISTOL, RI 02809

ALLEN, WILLIAM & MAGGIE
9 MALLORY CT
BRISTOL, RI 02809

DENNIS, WILLIAM P, TRUSTE
THE WILLIAM P DENNIS IRRE
576 METACOM AVE UNIT 2
BRISTOL, RI 02809

HAIR EXPERTS, INC.
576 METACOM AVE
UNIT 13
BRISTOL, RI 02809

ANDRADE, NORBERT A JR ETU
NANCY L. ANDRADE TE
10 MALLORY CT
BRISTOL, RI 02809

DI REALTY LLC
1719 GAR HIGHWAY
SWANSEA, MA 02777

LAMORA, ANDREW M
8 SOUSA ST.
BRISTOL, RI 02809

ARCHAMBAULT, PETER A.
2 MALLORY CT
BRISTOL, RI 02809

DUTRA, MICHAEL J. ET UX
LORI A. DUTRA TE
17 NARROWS ROAD
BRISTOL, RI 02809

LIMA, MICHAEL P &
ELIZABETH DENNIS TE
3 MALLORY CT
BRISTOL, RI 02809

CABRAL. PAUL JOSEPH
8 VIRGINIA ST
WARREN, RI 02885

FARIA, VICTORIA
15 NARROWS ROAD
BRISTOL, RI 02809

LOTERO, DAVID
SANDRA TE
6 KATHY CT
BRISTOL, RI 02809

CAVALIERI, DOMENIC A
7 NARROWS RD
BRISTOL, RI 02809

FERREIRA, WILLIAM JR
5 ALBION ST
BRISTOL, RI 02809

MACHADO, KEVIN &
BETHANY TE
84 MAIN ST
RIVERSIDE, RI 02915

CLOUTIER, JOHN PAUL ETUX
CLOUTIER, TRISHA A.
6 MALLORY CT
BRISTOL, RI 02809

FRANCIS, DAVID M & GENEVI
FRANCIS, MATTHEW D & LISA
2 SOUSA ST
BRISTOL, RI 02809

MAIN SAIL PROPERTIES
576 METACOM AVE. UNIT 12
BRISTOL, RI 02809

COBBLE HILL DEVELOPMENT,
320 DEXTER STREET LLC
132 OLD RIVER RD, SUITE 103
LINCOLN, RI 02865

FRANCIS, MATTHEW D & LISA
2 SOUSA ST
BRISTOL, RI 02809

MALAFRONTA, FRANK L &
PAMELA TRUSTEES
8 KATHY CT
BRISTOL, RI 02809

COLBEA ENTERPRISES, LLC
695 GEORGE WASHINGTON
HIGHWAY
LINCOLN, RI 02865

FRANCIS, MATTHEW D. &
LISA J. TE
2 SOUSA ST
BRISTOL, RI 02809

MARSH, KAREN J - TRUSTEE
KAREN J MARSH FAMILY TRUS
19 NARROWS RD
BRISTOL, RI 02809

CORREIA, CHRISTINE L- TRU
FORMISANO FAMILY TRUST
12 NARROWS RD
BRISTOL, RI 02809

GABLINSKE, DOUGLAS W.
5 Pokanoket Trail
Warren, RI 02885

MARTIN, HERMAN JR TRUSTEE
STEELE, PAMELA J TRUSTEE
2 PAGNANO ST
BRISTOL, RI 02809

MEDEIROS-LUTHER, KARIN A
4 PAGNANO ST
BRISTOL, RI 02809

SOUSA, RICHARD C ET UX
SOUSA, FRANCINE TE
10 SOUSA ST
BRISTOL, RI 02809

MLR INVESTMENTS, LLC
C/O BANK FIVE ATTN: FINANCE
DEPT
79 N MAIN ST
FALL RIVER, MA 02720

TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

MORRIS, PAUL M. ET UX
EILEEN E. TE
4 MALLORY CT
BRISTOL, RI 02809

VIEIRA, CARMELA LIFE EST
BYRNES, VIVIAN & JENNINGS
44 THAYER ST
BRISTOL, RI 02809

NERONE, KEVIN ET UX
DEBORAH TE
6 SOUSA ST
BRISTOL, RI 02809

PACHECO, DINIS F & MARIA
568 METACOM AVE
BRISTOL, RI 02809

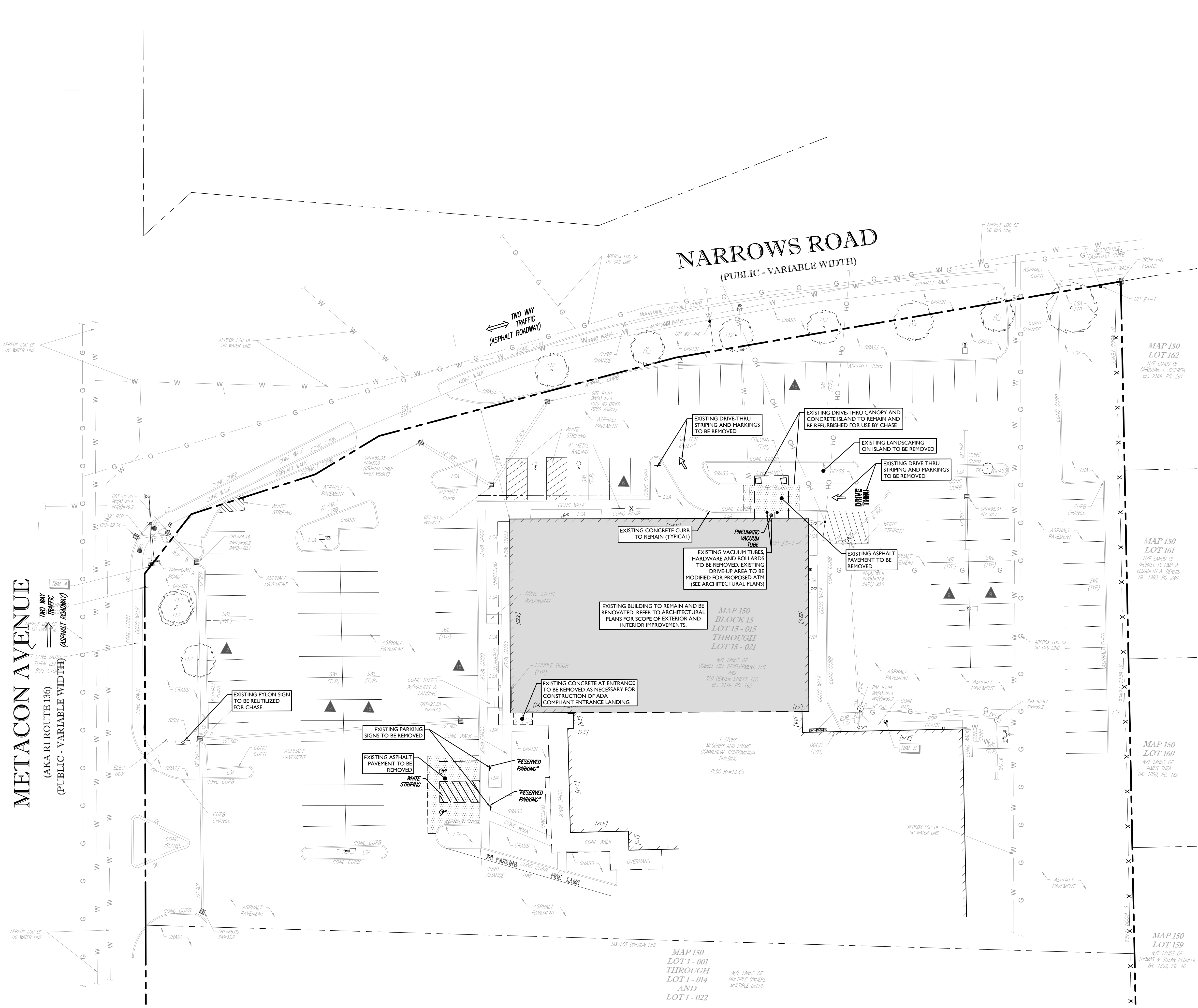
PALMIERI, RAYMOND F. JR. S
9 NARROWS RD
BRISTOL, RI 02809

PEDULLA, THOMAS & SUSAN A
7 MALLORY CT
BRISTOL, RI 02809

RAPOSO, LUIS M &
MARIA G CO-TRUSTEES
4 KATHY CT
BRISTOL, RI 02809

SEDER, J ROBERT
C/O WALGREEN CO
PO BOX 1159
DEERFIELD, IL 60015

SHEA, JAMES
5 MALLORY CRT
BRISTOL, RI 02809



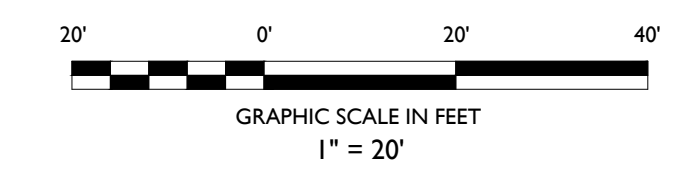
SYMBOL	DESCRIPTION
---	FEATURE TO BE REMOVED / DEMOLISHED
---	LIMIT OF DISTURBANCE

ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS



Know what's below
Call before you dig.

- DEMOLITION NOTES**
1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
 2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
 3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
 4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
 5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



ISSUE	DATE	BY	DESCRIPTION
7	09/08/2023	EB	SPECIAL PERMIT SUBMISSION
6	08/04/2023	EB	SPECIAL PERMIT SUBMISSION
5	5/27/2023	JJR	REVISED DRIVE-THRU CONCRETE MAT
4	4/10/2023	JJR	ADDENDUM #1
3	4/5/2023	JJR	REVISED PER ADA ENTRANCE LANDING
2	3/29/2023	JJR	REVISED PER ADA PARKING IMPROVEMENTS
1	3/2/2023	JJR	ISSUED FOR REVIEW

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY • Boston, MA
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefielddesign.com

120 Washington Street, Suite 102, Salem, MA 01970
Phone 617.203.2076

CHASE
PROPOSED BANK WITH REMOTE
DRIVE-UP ATM

MAP 150A LOTS 1 & 15
576 METACON AVENUE (RHODE ISLAND ROUTE 136)
TOWN OF BRISTOL
BRISTOL COUNTY, RHODE ISLAND

JOSHUA H. KLINE, P.E.
RHODE ISLAND LICENSE NO. 13607
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 20' PROJECT ID: BOS-220076

TITLE:
DEMOLITION PLAN

DRAWING:

C-3

CODE SECTION	REQUIRED	PROPOSED
§ 28-373(B)	MAXIMUM NUMBER OF SIGNS: NARROWS RD: 1 WALL OR AWNING SIGN METACOM AVENUE: 1 WALL OR AWNING SIGN FREESTANDING SIGN: 1 PERMITTED	1 AWNING SIGN 2 WALL SIGNS (V) 0 SIGN (H)
§ 28-374 TABLE 1	MAXIMUM SIZE: HORIZONTAL WALL SIGN: 15 SF + (15 X 0.25) = 18.75 SF (****) AWNING/CANOPY SIGN: 8 SF	36.9 SF 9.2 SF (V)
§ 28-374 TABLE 1	MINIMUM SETBACK: FREESTANDING SIGN: LOT LINES = 10 RESIDENTIAL ZONE = 50 FT	13.0 FT 398.2 FT
§ 28-373(G)	MAXIMUM HEIGHT: 5 FT ABOVE ROOFLINE	COMPLIES
§ 28-373(G)	PLACEMENT STANDARDS: SIGNS SHALL NOT BE PLACED WITHIN STREET SITE TRIANGLE OR ROW	COMPLIES

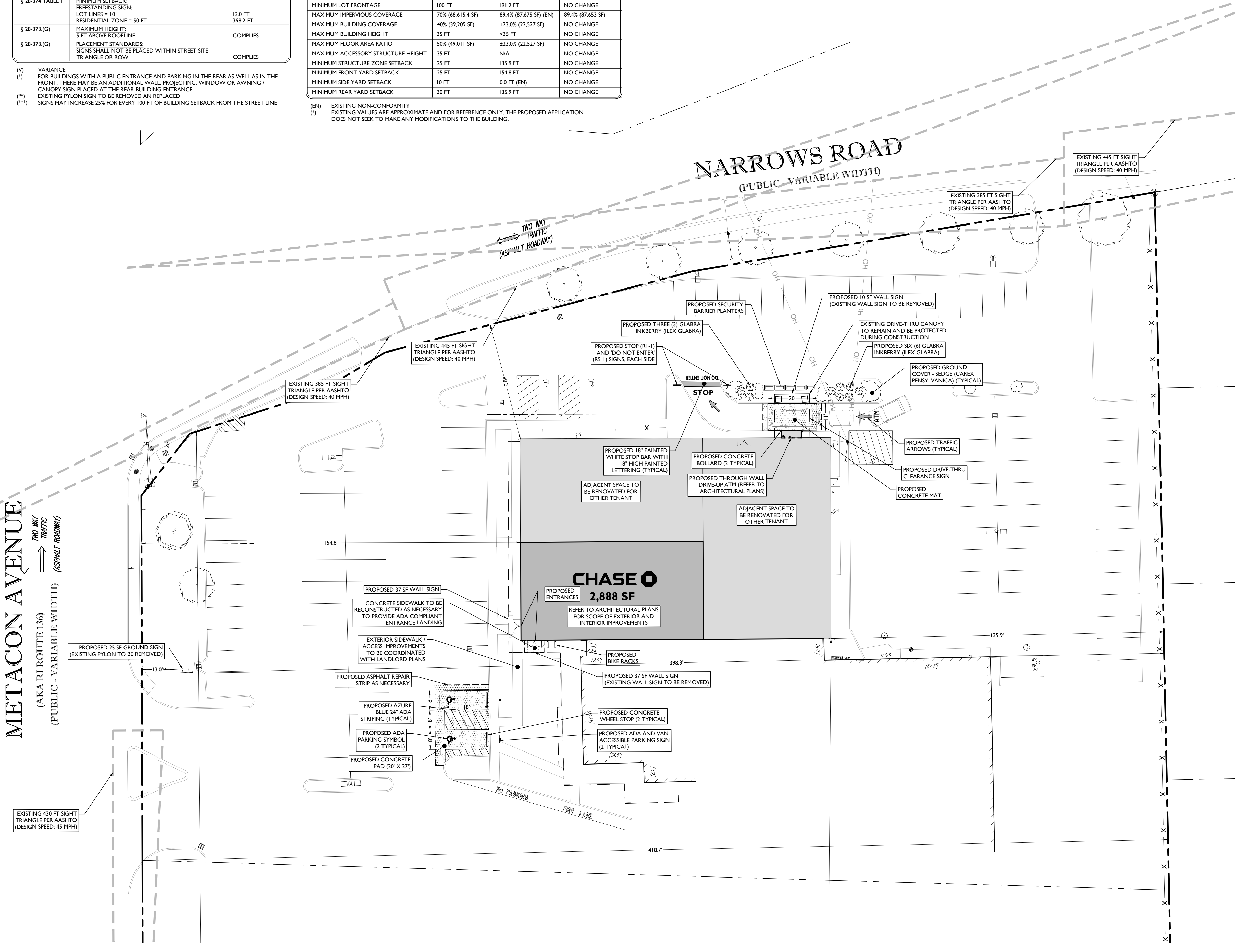
(V) VARIANCE
(*) FOR BUILDINGS WITH A PUBLIC ENTRANCE AND PARKING IN THE REAR AS WELL AS IN THE FRONT, THERE MAY BE AN ADDITIONAL WALL, PROJECTING WINDOW OR AWNING / CANOPY SIGN PLACED AT THE REAR BUILDING ENTRANCE.
(**) EXISTING PYLON SIGN TO BE REMOVED AND REPLACED
(****) SIGNS MAY INCREASE 25% FOR EVERY 100 FT OF BUILDING SETBACK FROM THE STREET LINE

LAND USE AND ZONING			
MAP 150A, LOT 15			
GENERAL BUSINESS (GB)			
PROPOSED USE	PERMITTED USE		
	REQUIRED	EXISTING (*)	PROPOSED
BANK			
DRIVE-THRU			
ZONING REQUIREMENT			
MINIMUM LOT AREA	0.23 AC (10,000 SF)	2.25 AC (98,022)	NO CHANGE
MINIMUM LOT WIDTH	100 FT	471.2 FT	NO CHANGE
MINIMUM LOT FRONTAGE	100 FT	191.2 FT	NO CHANGE
MAXIMUM IMPERVIOUS COVERAGE	70% (88,615.4 SF)	89.4% (87,675 SF) (EN)	89.4% (87,653 SF)
MAXIMUM BUILDING COVERAGE	40% (39,209 SF)	+23.0% (22,527 SF)	NO CHANGE
MAXIMUM BUILDING HEIGHT	35 FT	<35 FT	NO CHANGE
MAXIMUM FLOOR AREA RATIO	50% (49,011 SF)	+23.0% (22,527 SF)	NO CHANGE
MAXIMUM ACCESSORY STRUCTURE HEIGHT	35 FT	N/A	NO CHANGE
MINIMUM STRUCTURE ZONE SETBACK	25 FT	135.9 FT	NO CHANGE
MINIMUM FRONT YARD SETBACK	25 FT	154.8 FT	NO CHANGE
MINIMUM SIDE YARD SETBACK	10 FT	0.0 FT (EN)	NO CHANGE
MINIMUM REAR YARD SETBACK	30 FT	135.9 FT	NO CHANGE

(EN) EXISTING NON-CONFORMITY
(*) EXISTING VALUES ARE APPROXIMATE AND FOR REFERENCE ONLY. THE PROPOSED APPLICATION DOES NOT SEEK TO MAKE ANY MODIFICATIONS TO THE BUILDING.

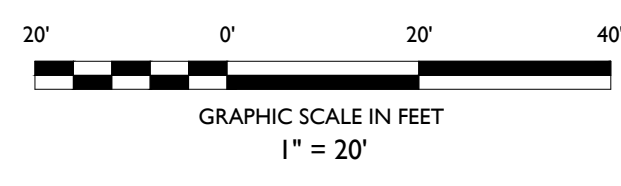
METACOM AVENUE
(AKA RI ROUTE 136)
TWO WAY TRAFFIC (ASPHALT ROADWAY)

NARROWS ROAD
(PUBLIC - VARIABLE WIDTH)



PROPERTY OWNER IS RESPONSIBLE FOR ENSURING THE SITE IS IN CONFORMANCE WITH ALL APPLICABLE ADA STANDARDS INCLUDING BUT NOT LIMITED TO PATH OF TRAVEL FROM RIGHT-OF-WAY AND ADA PARKING FACILITIES TO THE BUILDING. STONEFIELD'S SCOPE OF WORK HAS BEEN LIMITED TO RECONSTRUCTION OF THE ADA PARKING SPACES AS SHOWN ON THE PLAN AND TAKES NO RESPONSIBILITY FOR ADA COMPLIANCE OF THE EXTERIOR IMPROVEMENTS AND/OR PATH OF TRAVEL FOR THE BUILDING.

- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
 - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
 - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
 - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
 - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
 - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
 - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
 - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



ISSUE	DATE	BY	DESCRIPTION
7	09/08/2023	EB	SPECIAL PERMIT SUBMISSION
6	08/04/2023	EB	SPECIAL PERMIT SUBMISSION
5	5/27/2023	JJR	REVISED DRIVE-THRU CONCRETE MAT
4	4/10/2023	JJR	ADDENDUM #1
3	4/5/2023	JJR	REVISED PER ADA ENTRANCE LANDING
2	3/29/2023	JJR	REVISED PER ADA PARKING IMPROVEMENTS
1	3/2/2023	JJR	ISSUED FOR REVIEW

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY • Boston, MA
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefielddesign.com

120 Washington Street, Suite 102, Salem, MA 01970
Phone 617.203.2076

CHASE
PROPOSED BANK WITH REMOTE
DRIVE-UP ATM

SITE PLAN

MAP 150A, LOTS 1 & 15
576 METACOM AVENUE (RHODE ISLAND ROUTE 136)
TOWN OF BRISTOL
BRISTOL COUNTY, RHODE ISLAND

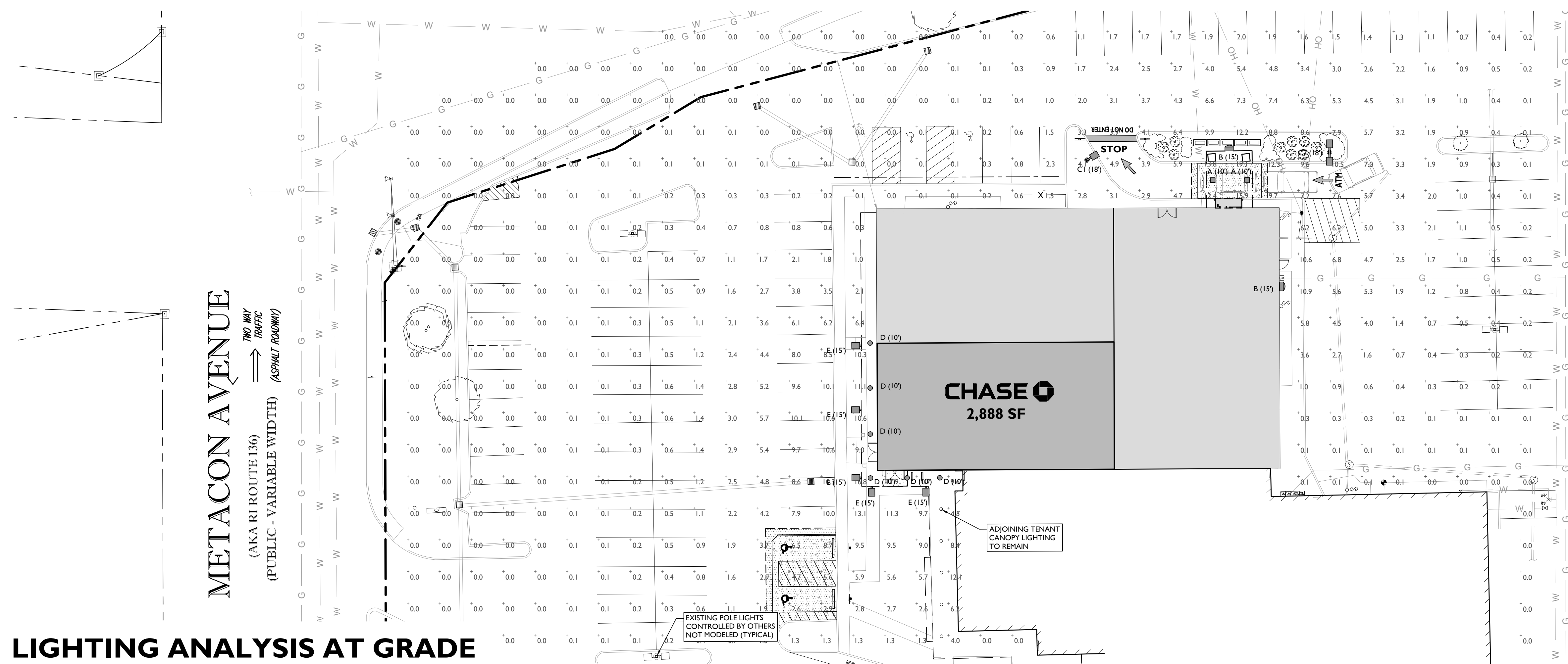
JOSHUA H. KLINE, P.E.
RHODE ISLAND LICENSE No. 13607
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 20' PROJECT ID: BOS-220076

TITLE: SITE PLAN

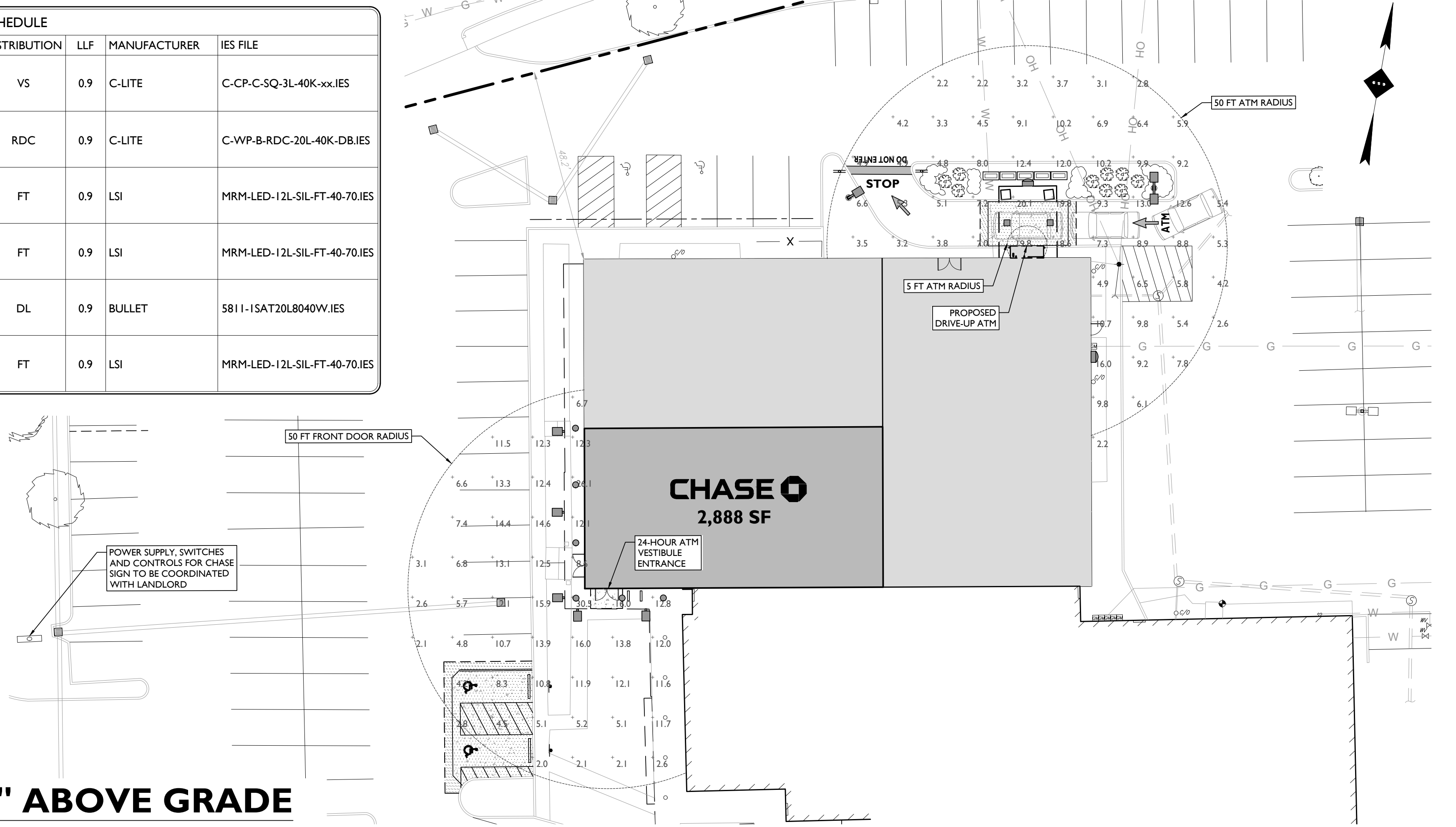
DRAWING: C-4



LIGHTING ANALYSIS AT GRADE

PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
■	A	2	C-CP-C-SQ SERIES SQAURE LED CANOPY LIGHT	VS	0.9	C-LITE	C-CP-C-SQ-3L-40K-xx.IES
■	B	2	C-LITE CUTOFF LED WALL PACK (C-WP-B-RDC-20L-40K-DB.IES)	RDC	0.9	C-LITE	C-WP-B-RDC-20L-40K-DB.IES
■	C1	1	MRM MIRADA SHIELDED POLE MOUNTED SINGLE AREA LIGHT	FT	0.9	LSI	MRM-LED-12L-SIL-FT-40-70.IES
■	C2	1	MRM MIRADA SHIELDED POLE MOUNTED SINGLE AREA LIGHT	FT	0.9	LSI	MRM-LED-12L-SIL-FT-40-70.IES
●	D	6	OUTDOOR RECESSED FIXED DOWNLIGHT	DL	0.9	BULLET	5811-ISAT20L8040V.IES
■	E	5	MRM MIRADA WALL MOUNTED AREA LIGHT	FT	0.9	LSI	MRM-LED-12L-SIL-FT-40-70.IES

STANDARD CHASE BANK ATM / AHD REQUIREMENTS	
REQUIRED	PROPOSED
MINIMUM 10 FOOTCANDLES AT FACE OF ATM EXTENDING 5 FEET OUTWARD IN ALL DIRECTIONS MEASURED 36" ABOVE GRADE	16.0
MINIMUM 2 FOOTCANDLES AT FACE OF ATM EXTENDING 50 FEET OUTWARD IN ALL DIRECTIONS MEASURED 36" ABOVE GRADE	2.2
MINIMUM 2 FOOTCANDLES AT FACE OF FRONT DOOR EXTENDING 50 FEET OUTWARD IN ALL DIRECTIONS MEASURED 36" ABOVE GRADE WITHIN PATH OF ACCESS	2.0



LIGHTING ANALYSIS AT 36" ABOVE GRADE

- GENERAL LIGHTING NOTES**
- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
 - WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
 - UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
 - THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING/ PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
 - THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

- ATM LIGHTING NOTES:**
- THE CONTRACTOR SHALL REPLACE LAMP COVERS, RE-LAMP AND RE-BALLAST EXISTING LIGHT FIXTURES AS INDICATED WITHIN THE PLAN SET. THE EXISTING FIXTURE HEIGHT SHALL BE MAINTAINED UNLESS INDICATED OTHERWISE. THE LIGHTING DESIGN IS SUBJECT TO CHANGE IF THE EXISTING LIGHT FIXTURES ARE NOT GREATER THAN OR EQUAL TO THE FOLLOWING WATTAGE:
 - FIXTURE "X" = MINIMUM "X" WATTS
 - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING IF THE EXISTING LIGHT FIXTURES ARE NOT THE MINIMUM WATTAGE SPECIFIED WITHIN THE PLAN SET.
 - THE CONTRACTOR IS RESPONSIBLE TO CONFIRM THAT ANY EXISTING LIGHT POLES IDENTIFIED FOR REUSE WITH A PROPOSED LIGHT FIXTURE(S) SHALL BE IN ACCEPTABLE WORKING CONDITION AND HAVE THE CAPACITY TO SUPPORT THE PROPOSED LIGHT FIXTURE(S). ANY MOUNTING EQUIPMENT REQUIRED TO ATTACH THE PROPOSED LIGHTING FIXTURE TO THE EXISTING LIGHT POLE SHALL BE PROVIDED BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL CONFIRM THAT THE LOCATION OF ANY PROPOSED BUILDING MOUNTED LIGHTING FIXTURE WILL NOT CONFLICT WITH ANY EXISTING OR PROPOSED STRUCTURAL ELEMENT (E.G. CANOPY SUPPORT BEAMS). THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING OF ANY FIXTURE CONFLICT PRIOR TO THE START OF CONSTRUCTION.
 - ALL EXISTING TREE LIMBS WITHIN THE 60 FOOT ATM RADIUS SHOWN IN THE PLAN SET SHALL BE TRIMMED TO A MINIMUM OF 6 FEET ABOVE GRADE. ALL SHRUBS WITHIN THE 60 FOOT ATM RADIUS SHALL BE TRIMMED TO A MINIMUM OF 36 INCHES ABOVE GRADE. ALL BRUSH SHALL BE REMOVED. THE CONTRACTOR SHALL CONSIDER ALL FUTURE GROWTH AND FULL BLOOM WHEN TRIMMING LANDSCAPING. EXISTING TREE LIMBS ADJACENT TO LIGHTING FIXTURES SHALL BE TRIMMED AS REQUIRED TO PREVENT LIGHT INTERFERENCE.
 - PRIOR TO BID, CONTRACTOR SHALL VERIFY EXISTING EXTERIOR LIGHTING CONDITIONS AFTER DUSK AND NOTIFY THE DEVELOPER/OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC, OF DAMAGED OR INOPERABLE LIGHTS. THE CONTRACTOR SHALL REPAIR ALL INOPERABLE LIGHTS UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET.
 - THE ILLUMINATION LEVELS DEPICTED WITHIN THE PLAN SET ARE BASED ON REGULATORY STATE STANDARDS FOR SAFETY LIGHTING AND ON CLIENT STANDARDS.
 - ALL LIGHTING FIXTURES, UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET, HAVE THE PHOTOCELL OPTION ENABLED.
 - EXISTING LIGHTING FIXTURES CONTROLLED BY OUTSIDE ENTITIES (E.G. LANDLORD) HAVE BEEN EXCLUDED FROM THE LIGHTING ANALYSIS REFLECTED WITHIN THE PLAN SET. THE PROPOSED LIGHT LEVELS HAVE BEEN DESIGNED TO COMPLY WITH ALL APPLICABLE ATM AND SAFETY LIGHTING REQUIREMENTS INDEPENDENT OF ANY UNCONTROLLED LIGHT FIXTURES.

ISSUE	DATE	BY	DESCRIPTION
7	09/08/2023	EB	SPECIAL PERMIT SUBMISSION
6	08/04/2023	EB	SPECIAL PERMIT SUBMISSION
5	5/27/2023	JJR	REVISED DRIVE-THRU CONCRETE MAT
4	4/10/2023	JJR	ADDENDUM #1
3	4/5/2023	JJR	REVISED PER ADA ENTRANCE LANDING
2	3/29/2023	JJR	REVISED PER ADA PARKING IMPROVEMENTS
1	3/2/2023	JJR	ISSUED FOR REVIEW

STONEFIELD
engineering & design

Rutherford, NJ · New York, NY · Boston, MA
Princeton, NJ · Tampa, FL · Detroit, MI
www.stonefielddesign.com

120 Washington Street, Suite 102, Salem, MA 01970
Phone 617.203.2076

CHASE
PROPOSED BANK WITH REMOTE DRIVE-UP ATM

MAP 150A, LOTS 1 & 15
576 METACON AVENUE (RHODE ISLAND ROUTE 136)
TOWN OF BRISTOL
BRISTOL COUNTY, RHODE ISLAND

JOSHUA H. KLINE, P.E.
RHODE ISLAND LICENSE No. 13607
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 20' PROJECT ID: BOS-220076

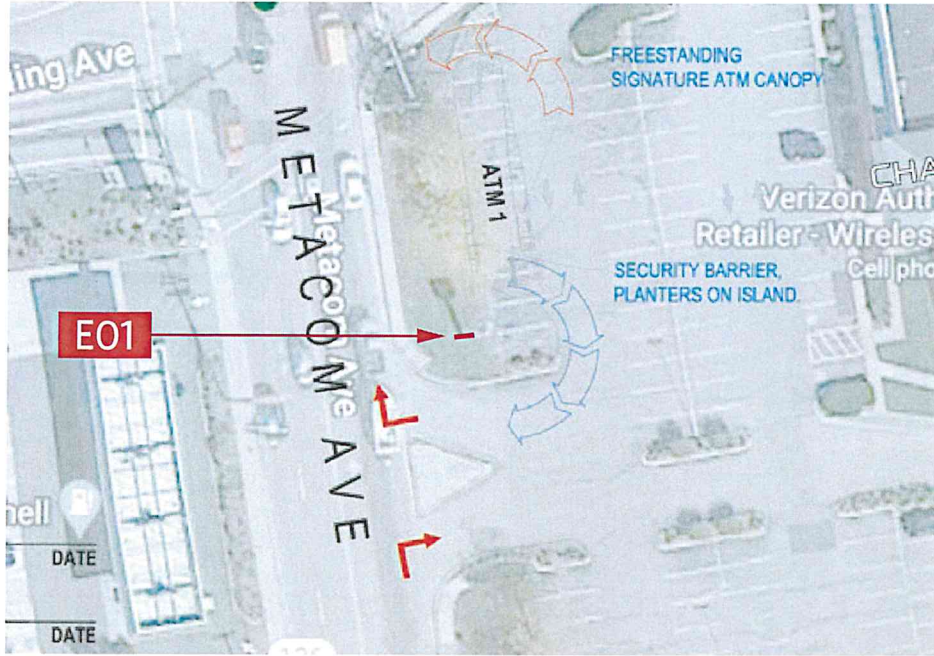
TITLE: LIGHTING PLAN

DRAWING: C-5

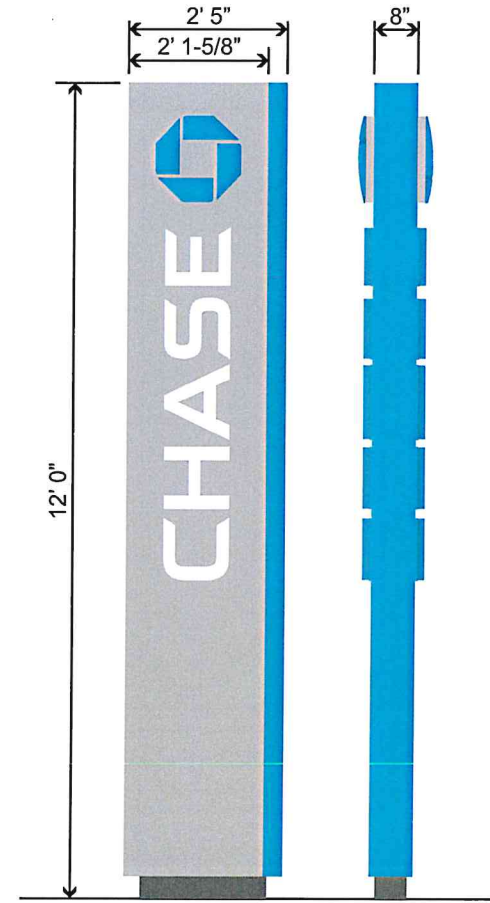
2:40:07:04020230220203.TPG_ARCHITECTURE - BRISTOL - METACON AVENUE - BRISTOL - RHODE ISLAND - LIGHTING

E01 - P-25

ADDITIONAL APPROVAL REQUIRED



Close-Up View



P-25
DOUBLE-FACED ILLUMINATED PYLON - 25SF
 SCALE: 3/8" = 1' 0"



CHS.NB.1158 - Bristol Metacom Avenue
 576 Metacom Avenue
 Bristol, RI 02809

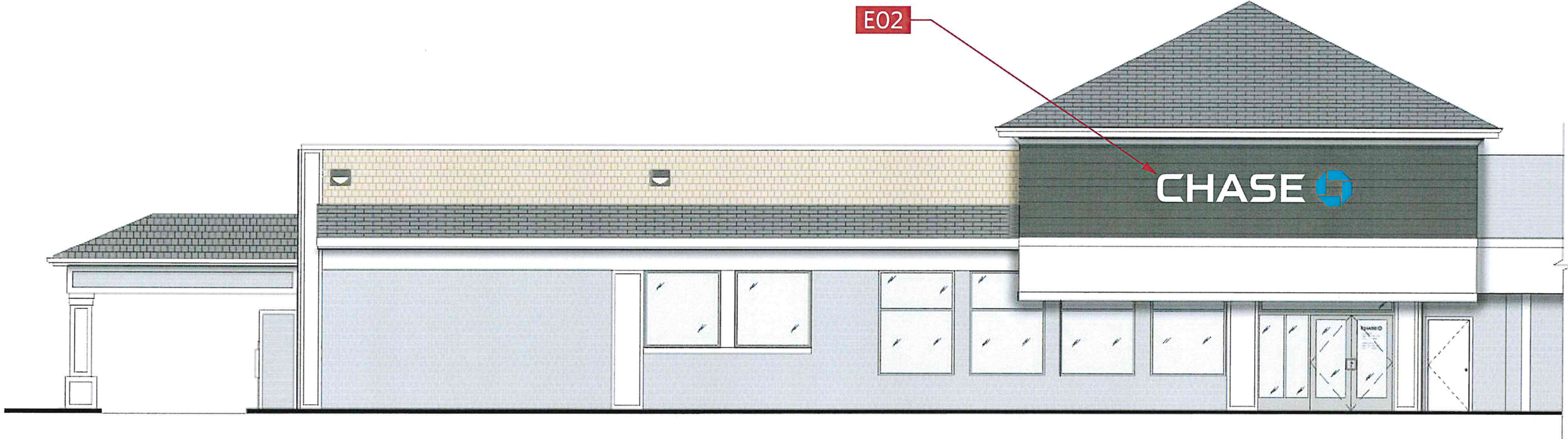
DESIGNER - JM
 CREATED - 10.13.22
 DRAWING - B102729

PHILADELPHIASIGN
 BRINGING THE WORLD'S BRANDS TO LIFE
 707 WEST SPRING GARDEN ST • PALMYRA, NJ • 08065
 P: 856-829-1460 • F: 856-829-8549 • WEB: <http://www.philadelphiasign.com>

THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY P.S.C.O. IT IS SUBMITTED FOR YOUR PERSONAL USE IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU BY P.S.C.O. IT IS NOT TO BE SHOWN TO ANYONE OUTSIDE YOUR ORGANIZATION NOR IS IT TO BE USED, COPIED, REPRODUCED, OR EXHIBITED IN ANY FASHION.

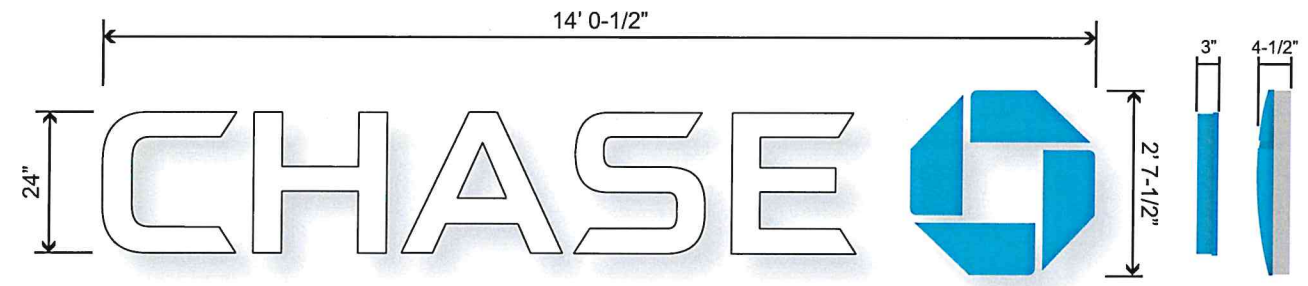
E02 - LIF-WBO-24-LED

ADDITIONAL APPROVAL REQUIRED



West Elevation

- SHERWIN WILLIAMS ROCK BOTTOM GRAY PAINTED HARDIE SIDING
- SHERWIN WILLIAMS LIGHT GRAY PAINT TO MATCH EXISTING
- SILVER ANODIZED MULLIONS



LIF-WBO-24-LED
WHITE W/ BLUE OCTAGON ILLUM CHANNEL LETTERS - 36.9SF
 SCALE: NTS



CHS.NB.1158 - Bristol Metacom Avenue
 576 Metacom Avenue
 Bristol, RI 02809




DESIGNER - JM
 CREATED - 10.13.22
 DRAWING - B102729

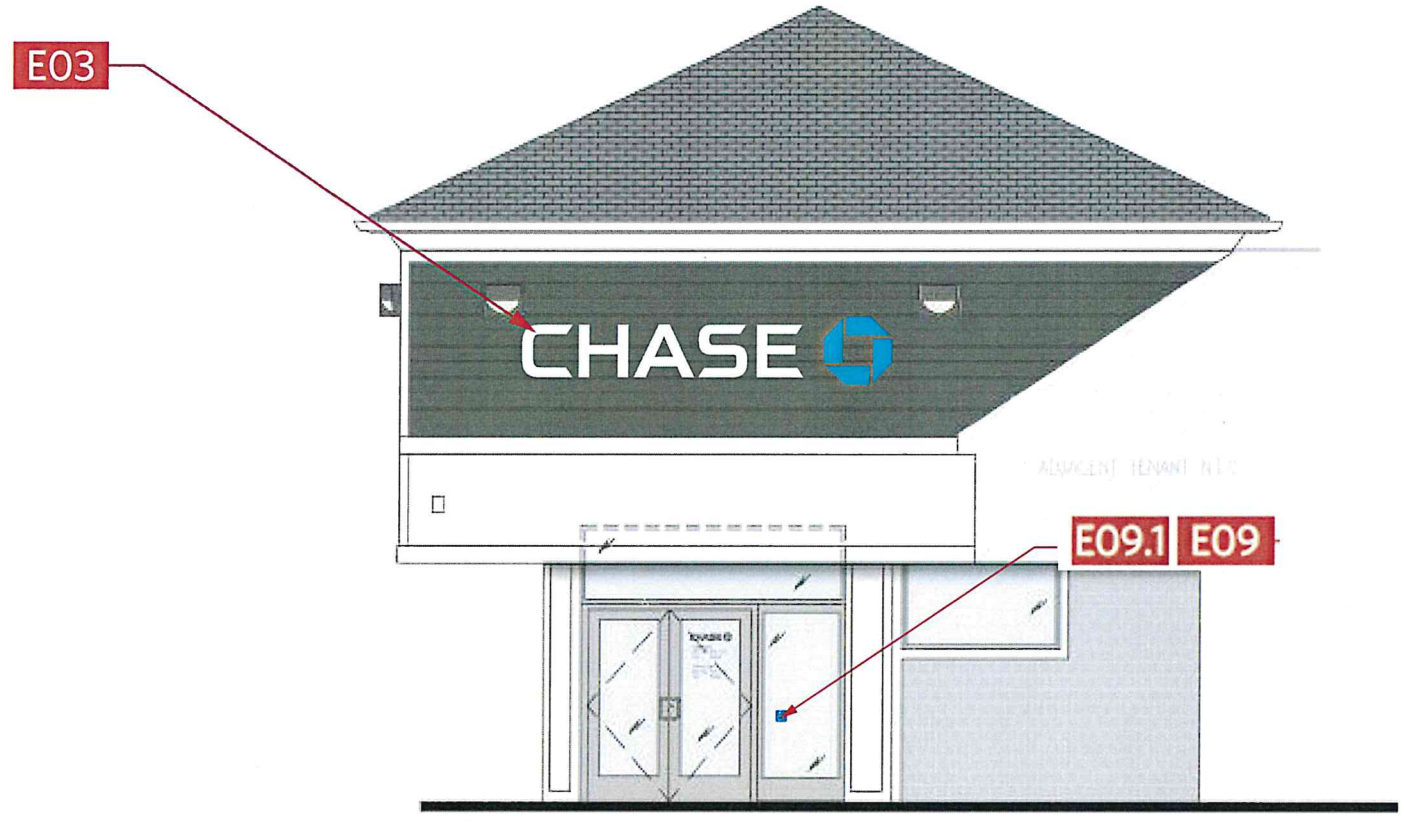
707 WEST SPRING GARDEN ST • PALMYRA, NJ • 08065
 P: 856-829-1460 • F: 856-829-8549 • WEB: <http://www.philadelphiasign.com>

THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY P.S.C.O. IT IS SUBMITTED FOR YOUR PERSONAL USE IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU BY P.S.C.O. IT IS NOT TO BE SHOWN TO ANYONE OUTSIDE YOUR ORGANIZATION NOR IS IT TO BE USED, COPIED, REPRODUCED, OR EXHIBITED IN ANY FASHION.

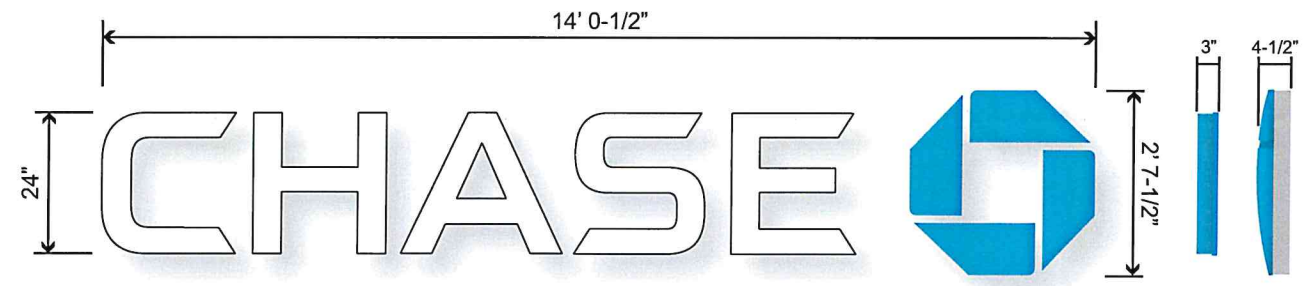
E03 - LIF-WBO-24-LED

ADDITIONAL APPROVAL REQUIRED

-  SHERWIN WILLIAMS ROCK BOTTOM GRAY PAINTED HARDIE SIDING
-  SHERWIN WILLIAMS LIGHT GRAY PAINT TO MATCH EXISTING
-  SILVER ANODIZED MULLIONS



South Elevation



LIF-WBO-24-LED
WHITE W/ BLUE OCTAGON ILLUM CHANNEL LETTERS - 36.9SF
 SCALE: NTS



CHS.NB.1158 - Bristol Metacom Avenue
 576 Metacom Avenue
 Bristol, RI 02809

DESIGNER - JM
 CREATED - 10.13.22
 DRAWING - B102729

 PHILADELPHIASIGN
 BRINGING THE WORLD'S BRANDS TO LIFE
 707 WEST SPRING GARDEN ST • PALMYRA, NJ • 08065
 P: 856-829-1460 • F: 856-829-8549 • WEB: <http://www.philadelphiasign.com>

THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY P.S.C.O. IT IS SUBMITTED FOR YOUR PERSONAL USE IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU BY P.S.C.O. IT IS NOT TO BE SHOWN TO ANYONE OUTSIDE YOUR ORGANIZATION NOR IS IT TO BE USED, COPIED, REPRODUCED, OR EXHIBITED IN ANY FASHION.

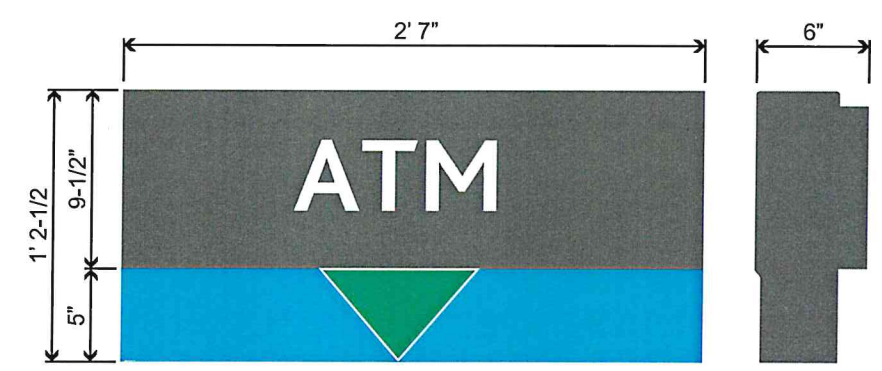
E12 - DC-U-A

E13 - TC-CL-W

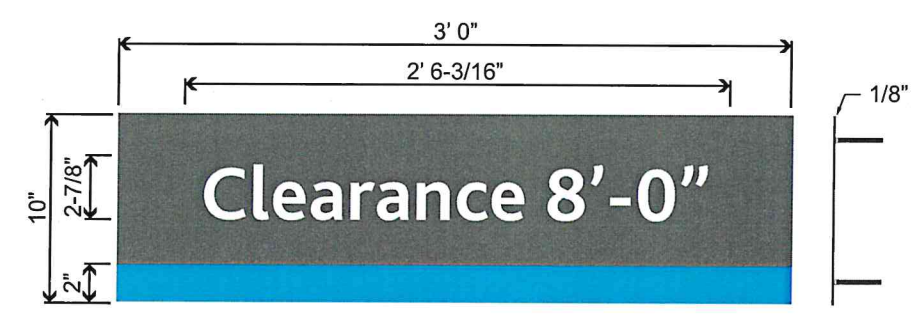


East Elevation

DIMENSIONS TO BE FIELD VERIFIED



DU-C-A
ILLUMINATED DRIVE-UP LANE DESIGNATOR "ATM" - 3.1SF
 SCALE: NTS



TC-CL-W
NON-ILLUMINATED CLEARANCE SIGN - 2.1SF
 SCALE: NTS



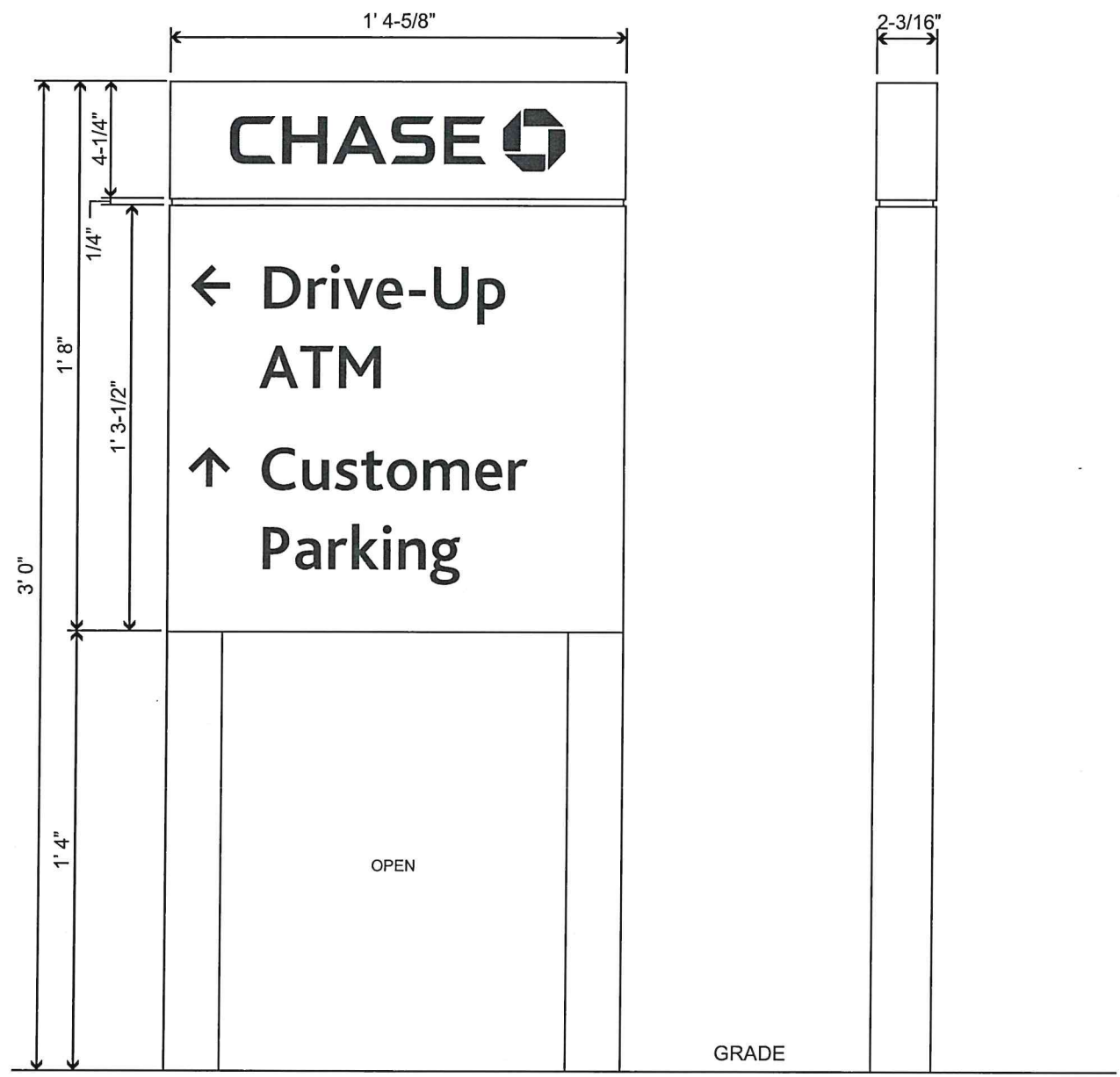
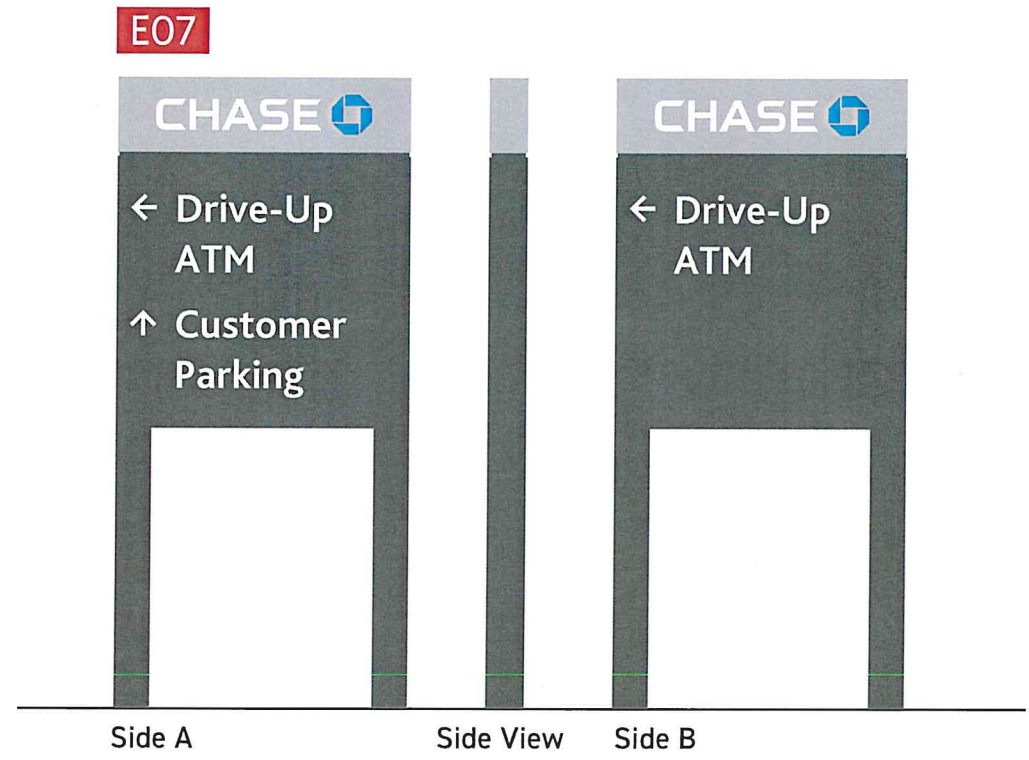
CHS.NB.1158 - Bristol Metacom Avenue
 576 Metacom Avenue
 Bristol, RI 02809

DESIGNER - JM
 CREATED - 10.13.22
 DRAWING - B102729

PHILADELPHIASIGN
 BRINGING THE WORLD'S BRANDS TO LIFE
 707 WEST SPRING GARDEN ST • PALMYRA, NJ • 08065
 P: 856-829-1460 • F: 856-829-8549 • WEB: <http://www.philadelphiasign.com>

THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY P.S.C.O. IT IS SUBMITTED FOR YOUR PERSONAL USE IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU BY P.S.C.O. IT IS NOT TO BE SHOWN TO ANYONE OUTSIDE YOUR ORGANIZATION NOR IS IT TO BE USED, COPIED, REPRODUCED, OR EXHIBITED IN ANY FASHION.

E07 - D-2-RE



D-2-RE
DOUBLE-FACED NON-ILLUMINATED DIRECTIONAL (RE-ENGINEERED) - 2.3SF
 SCALE: NTS



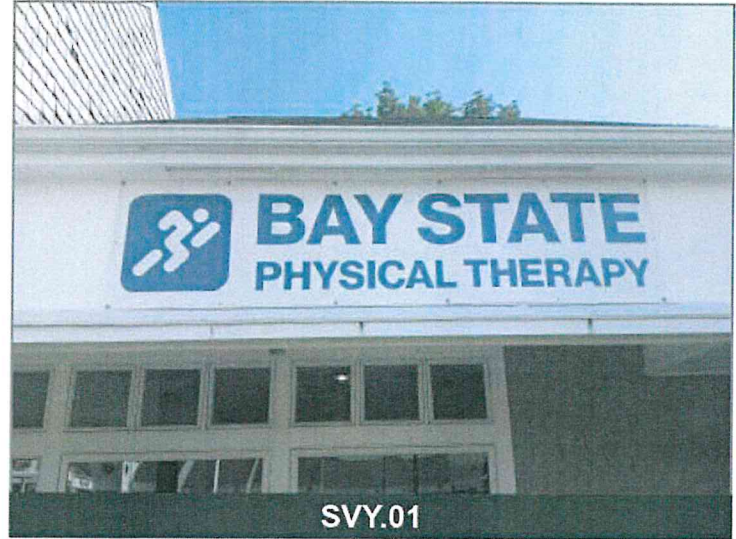
CHS.NB.1158 - Bristol Metacom Avenue
 576 Metacom Avenue
 Bristol, RI 02809

DESIGNER - JM
 CREATED - 10.13.22
 DRAWING - B102729

PHILADELPHIASIGN
 BRINGING THE WORLD'S BRANDS TO LIFE
 707 WEST SPRING GARDEN ST • PALMYRA, NJ • 08065
 P: 856-829-1460 • F: 856-829-8549 • WEB: <http://www.philadelphiasign.com>

THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY P.S.C.O. IT IS SUBMITTED FOR YOUR PERSONAL USE IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU BY P.S.C.O. IT IS NOT TO BE SHOWN TO ANYONE OUTSIDE YOUR ORGANIZATION NOR IS IT TO BE USED, COPIED, REPRODUCED, OR EXHIBITED IN ANY FASHION.

Survey Photos



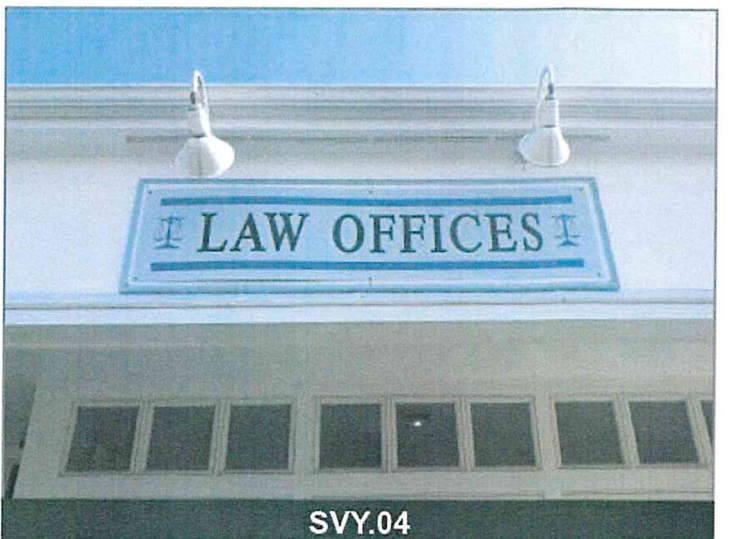
SVY.01



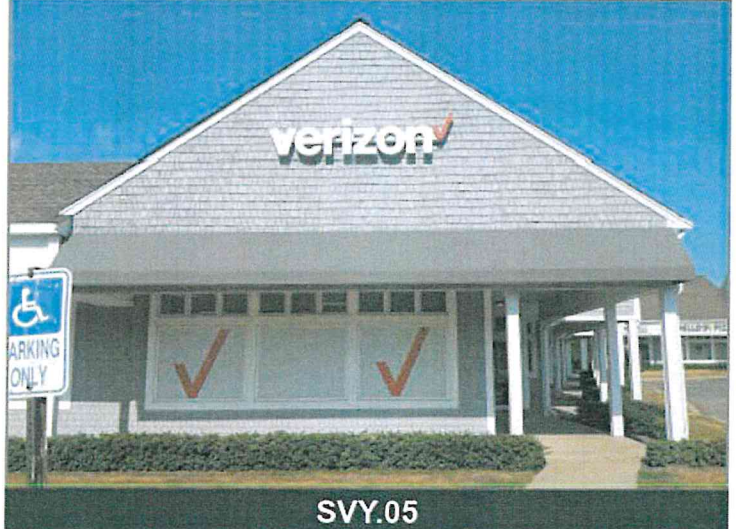
SVY.02



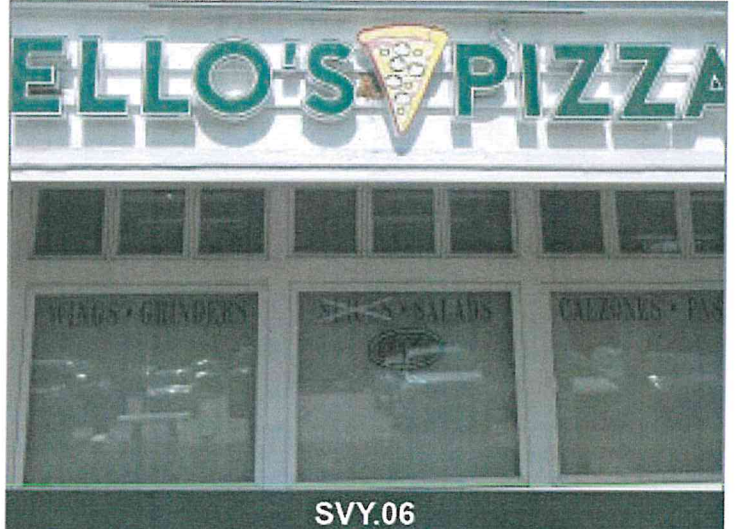
SVY.03



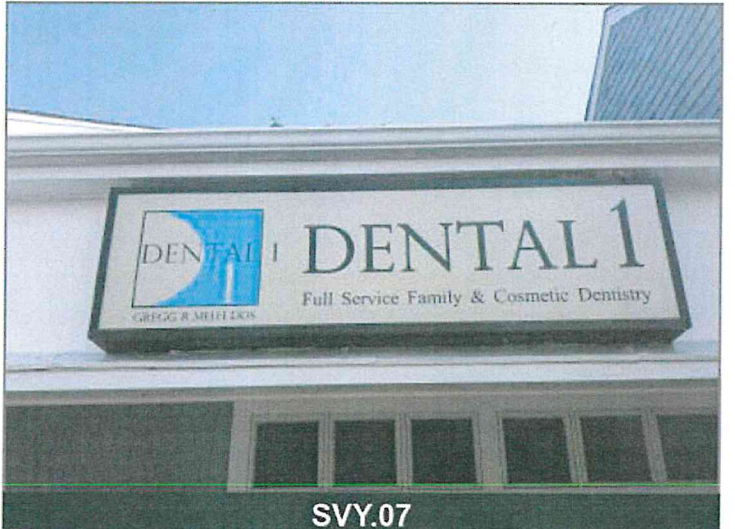
SVY.04



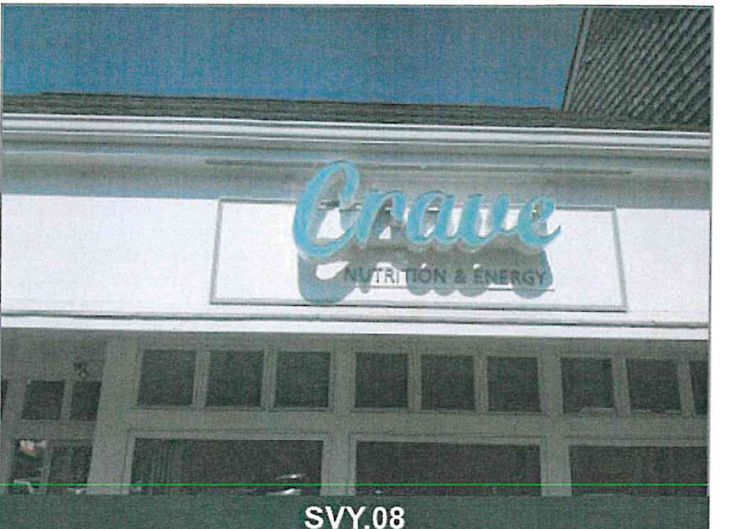
SVY.05



SVY.06



SVY.07



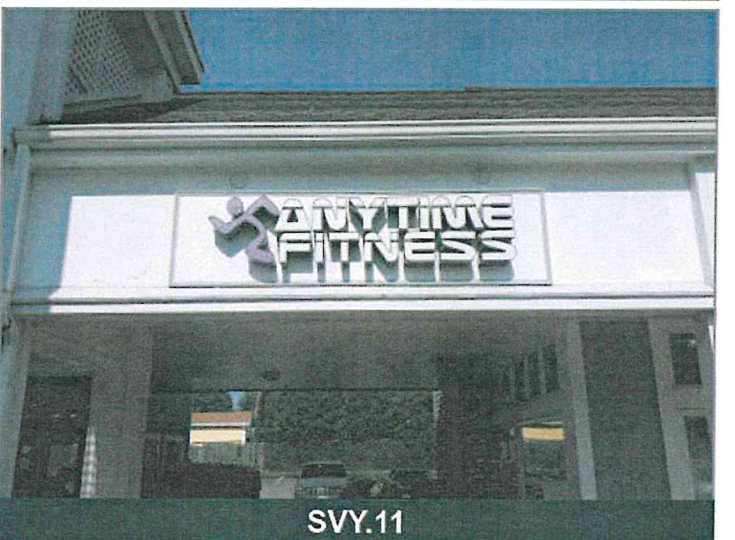
SVY.08



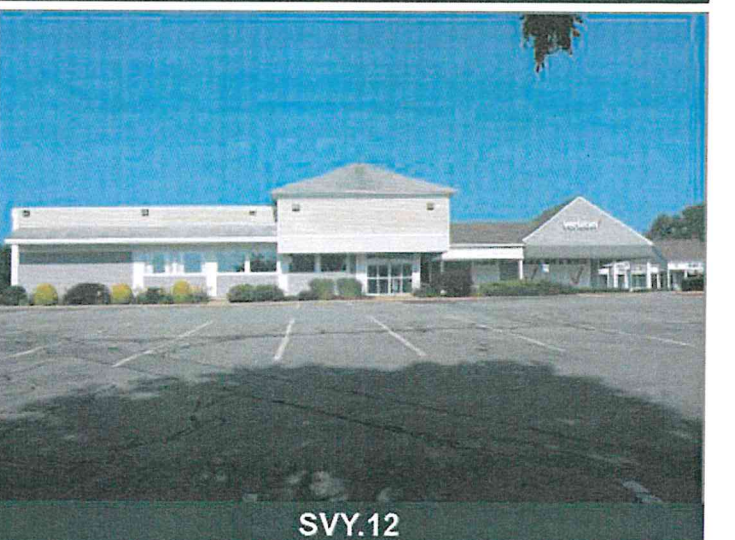
SVY.09



SVY.10



SVY.11



SVY.12



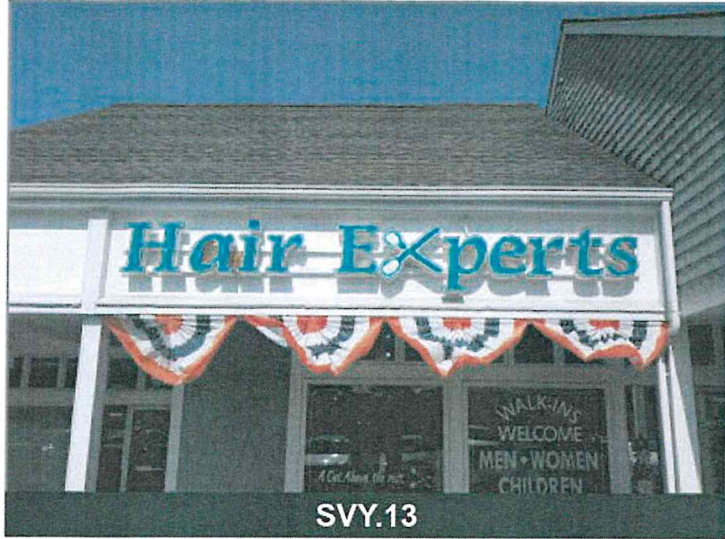
CHS.NB.1158 - Bristol Metacom Avenue
576 Metacom Avenue
Bristol, RI 02809

DESIGNER - JM
CREATED - 10.13.22
DRAWING - B102729

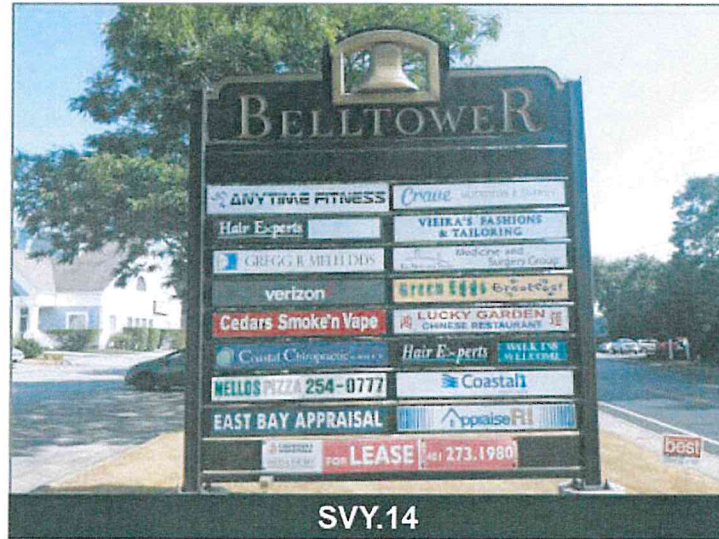
 PHILADELPHIASIGN
BRINGING THE WORLD'S BRANDS TO LIFE
707 WEST SPRING GARDEN ST • PALMYRA, NJ • 08065
P: 856-829-1460 • F: 856-829-8549 • WEB: <http://www.philadelphiasign.com>

THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY P.S.C.O. IT IS SUBMITTED FOR YOUR PERSONAL USE IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU BY P.S.C.O. IT IS NOT TO BE SHOWN TO ANYONE OUTSIDE YOUR ORGANIZATION NOR IS IT TO BE USED, COPIED, REPRODUCED, OR EXHIBITED IN ANY FASHION.

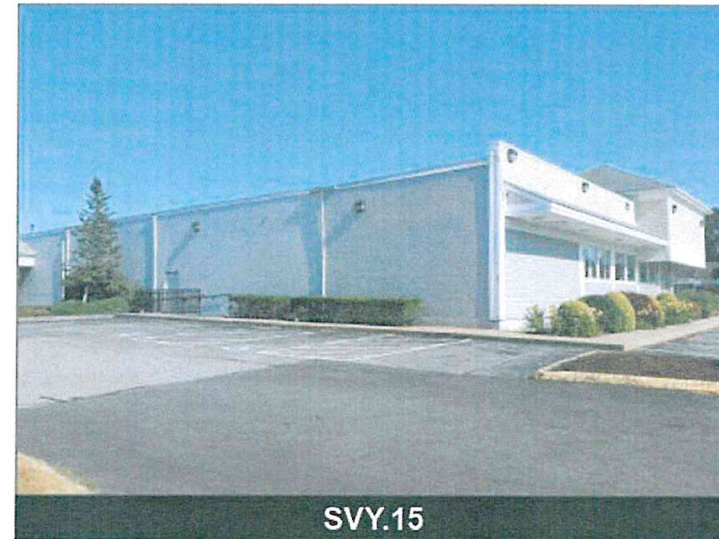
Survey Photos



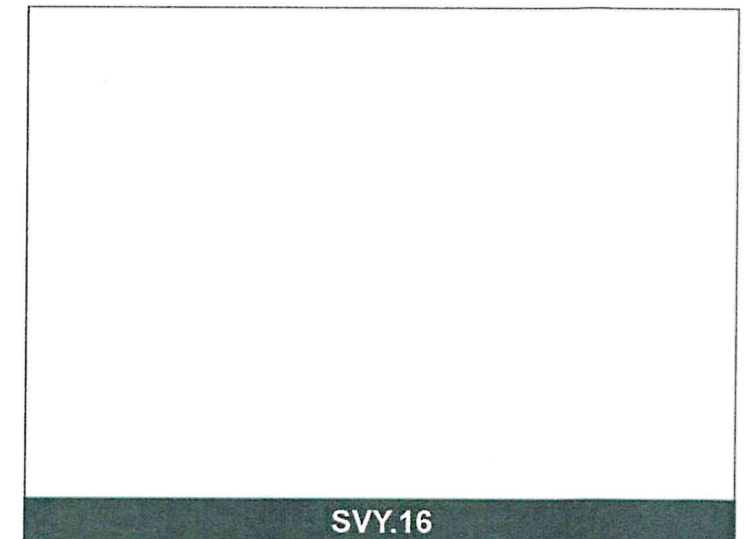
SVY.13



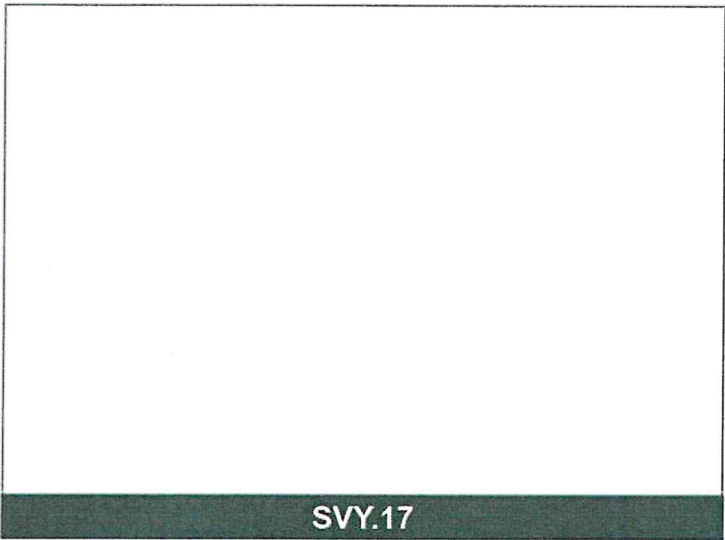
SVY.14



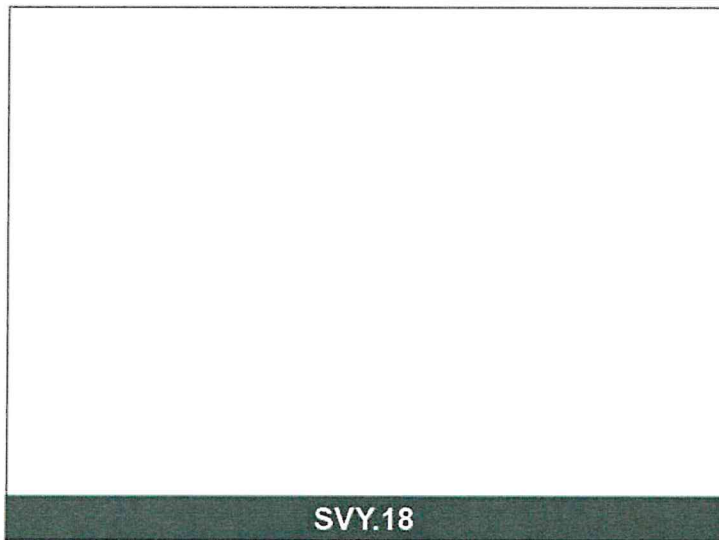
SVY.15



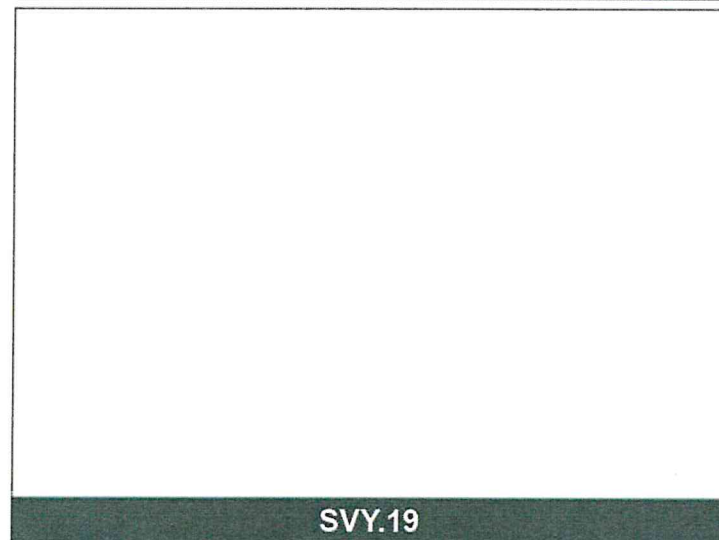
SVY.16



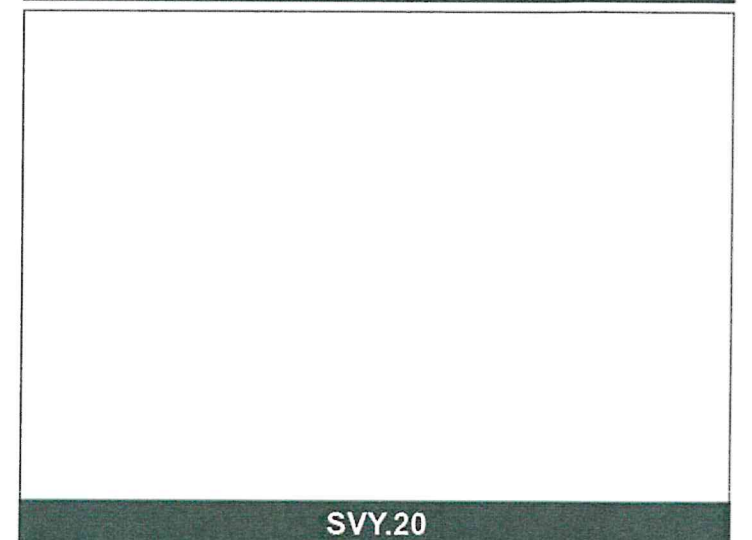
SVY.17



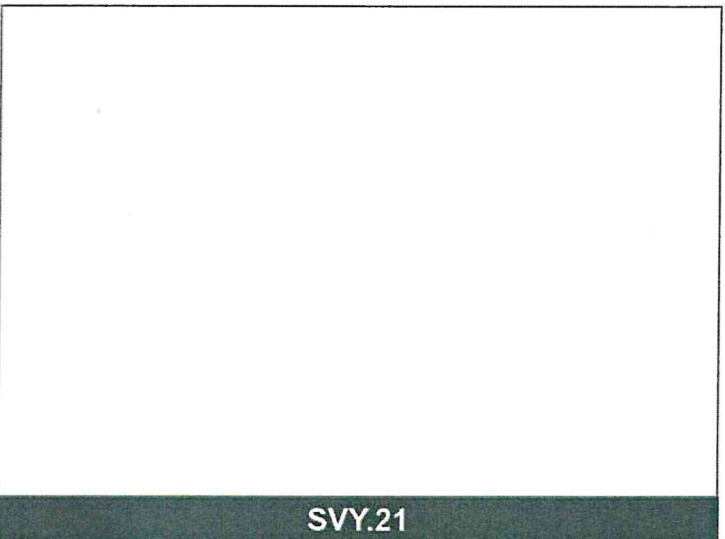
SVY.18



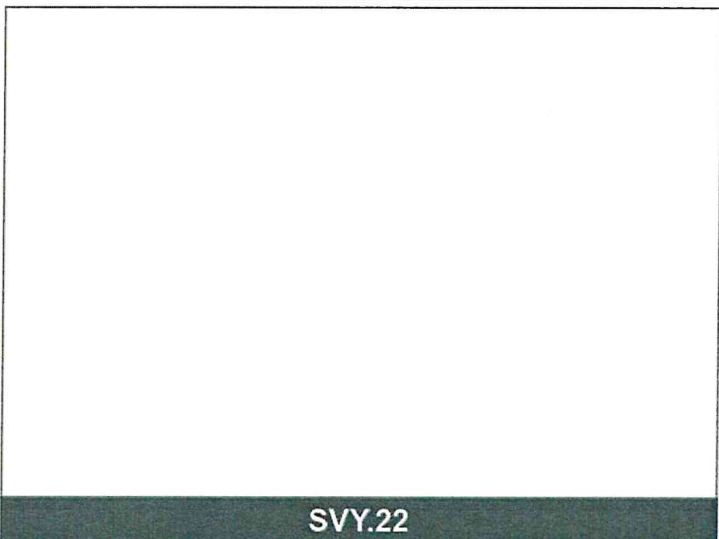
SVY.19



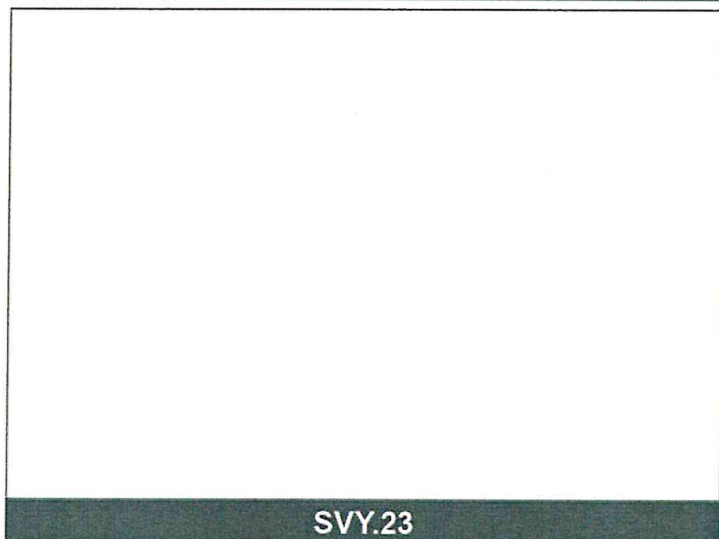
SVY.20



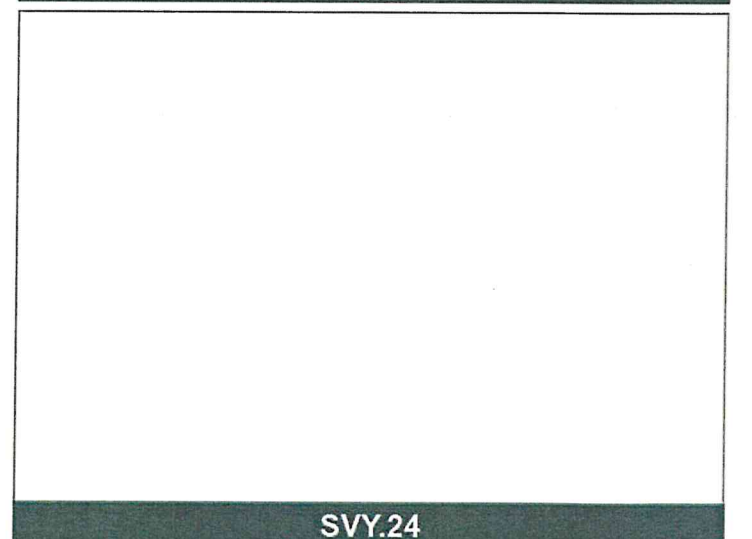
SVY.21



SVY.22



SVY.23



SVY.24

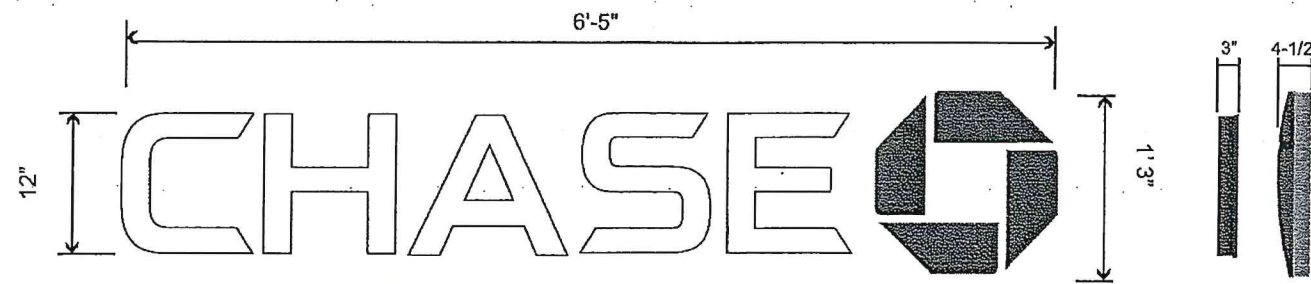
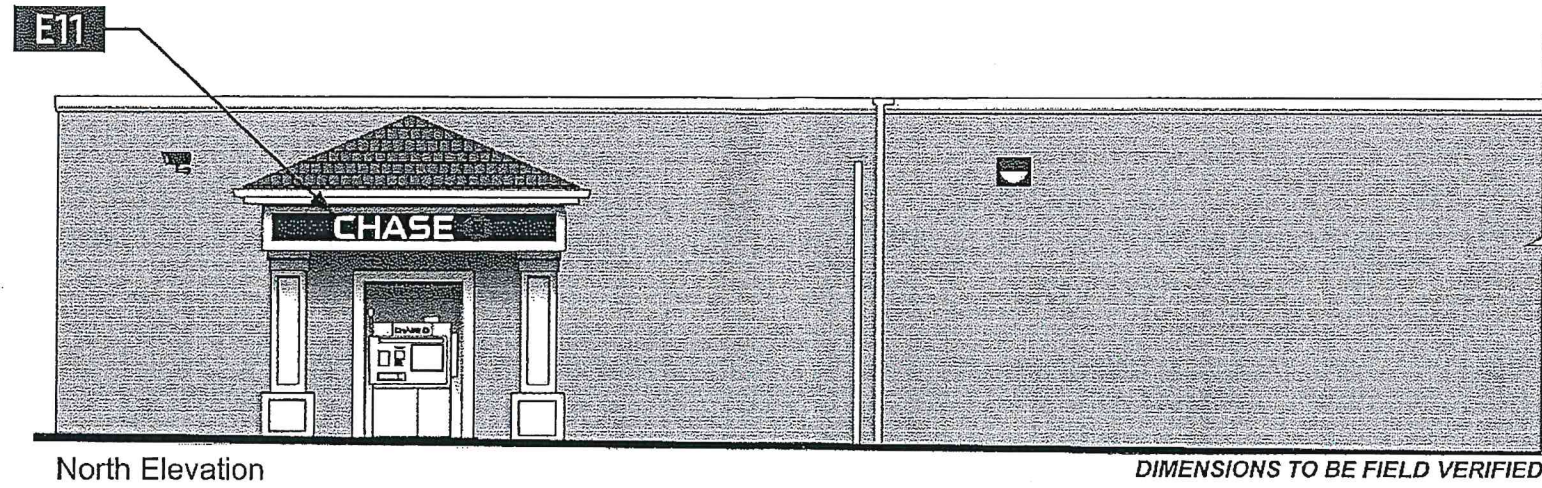


CHS.NB.1158 - Bristol Metacom Avenue
576 Metacom Avenue
Bristol, RI 02809

DESIGNER - JM
CREATED - 10.13.22
DRAWING - B102729

 PHILADELPHIASIGN
BRINGING THE WORLD'S BRANDS TO LIFE
707 WEST SPRING GARDEN ST • PALMYRA, NJ • 08065
P: 856-829-1460 • F: 856-829-8549 • WEB: <http://www.philadelphiasign.com>

THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY P.S.C.O. IT IS SUBMITTED FOR YOUR PERSONAL USE IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU BY P.S.C.O. IT IS NOT TO BE SHOWN TO ANYONE OUTSIDE YOUR ORGANIZATION NOR IS IT TO BE USED, COPIED, REPRODUCED, OR EXHIBITED IN ANY FASHION.



LIF-WBO-12-LED

WHITE w/ BLUE OCTAGON ILLUM CHANNEL LETTERS

SCALE: 3/4"-1' = 8.Sq ft

CHS.NB.1158 - Bristol Metacom Avenue
 576 Metacom Avenue
 Bristol, RI 02809

DESIGNER - JM
 CREATED - 10.13.22
 DRAWING - B102729

PHILADELPHIASIGN
 BRINGING THE WORLD'S BRANDS TO LIFE
 707 WEST SPRING GARDEN ST. PALMYRA, NJ - 08065
 P: 856-829-1460 • F: 856-829-8549 • WEB: <http://www.philadelphiasign.com>

THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY P.S.C.O. IT IS SUBMITTED FOR YOUR PERSONAL USE IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU BY P.S.C.O. IT IS NOT TO BE SHOWN TO ANYONE OUTSIDE YOUR ORGANIZATION NOR IS IT TO BE USED, COPIED, REPRODUCED, OR EXHIBITED IN ANY FASHION.





Town of Bristol, Rhode Island
Zoning Board of Review

STAFF REPORT FOR:

FILE NO. 2023-37

APPLICANT: Kathryn G. Low / Low Dock, LLC
 LOCATION: 24 Low Lane
 PLAT: 167 LOT: 1 ZONE: R-40

APPLICANT IS REQUESTING DIMENSIONAL VARIANCES TO:

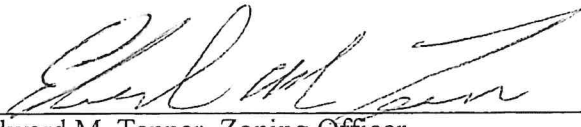
Construct a 24ft. x 28ft. accessory garage structure at a height greater than permitted for accessory structures in a residential zoning district, and with less than the required front yard on a corner lot.

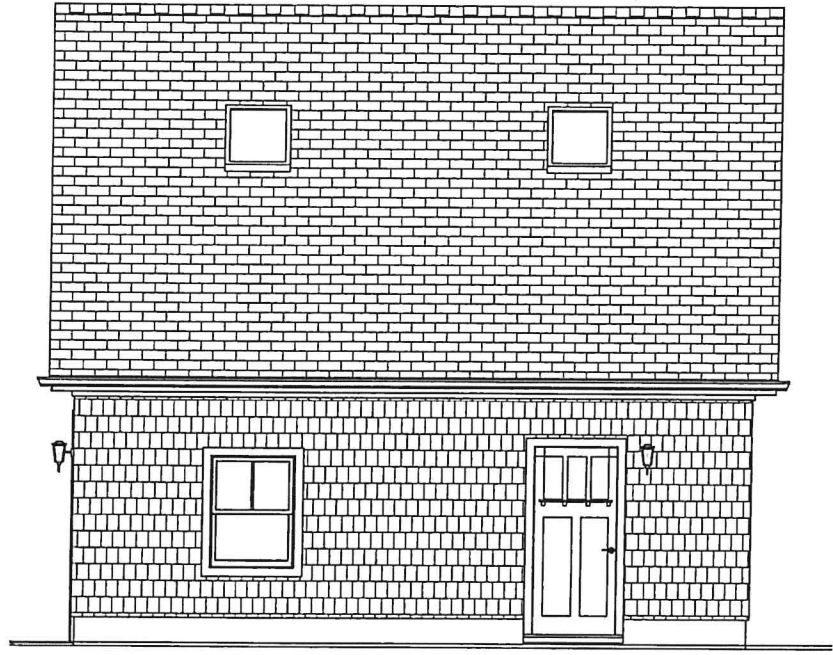
COMPREHENSIVE PLAN REVIEW:

As this application is for a dimensional variance, it does not require review by the Planning Board per Section 28-409(b) of the Zoning Ordinance.

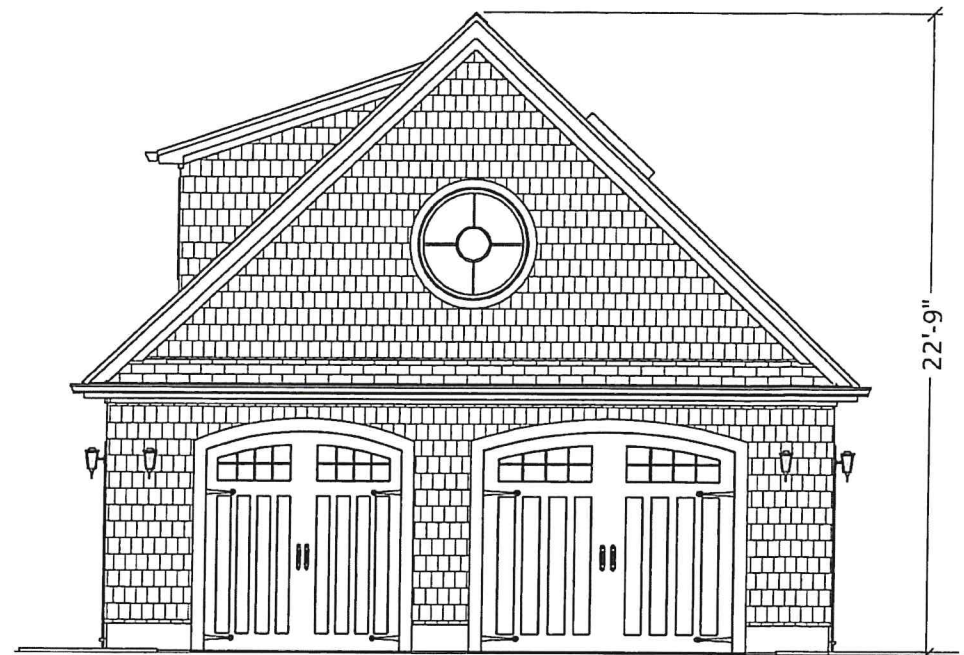
FINDINGS AND RECOMMENDATIONS BY STAFF:

The applicant is requesting dimensional variances to construct a 24' x 28' accessory garage structure on this mostly undeveloped property located on the southerly side of Low Lane and the westerly side of Monkey Wrench Lane. The proposed garage would be constructed in conjunction with a proposed new single family dwelling on this approximate two acre property. The proposed two-vehicle accessory garage would be located to the north of the proposed dwelling, and approximately 25 feet from the northerly property line at Low Lane. Low Lane in this location consists of an unimproved right of way with a pedestrian path to the shoreline of Narragansett Bay. As this is a corner lot, the property has two front yards for purposes of determining zoning setbacks. The zoning ordinance requires a minimum 40 foot front yard setback in the Residential R-40 zone. The proposed garage would have an overall size of 24' x 28' with a roof peak that would extend to approximately 22 feet 9 inches above grade. Although the zoning ordinance permits accessory structures in the R-40 zone to a maximum size of 26' x 28', the maximum height of accessory structures in this zone remains at 20 feet as in other residential zoning districts. Thus, the proposed structure requires dimensional variances for building height and for the front yard setback from Low Lane.

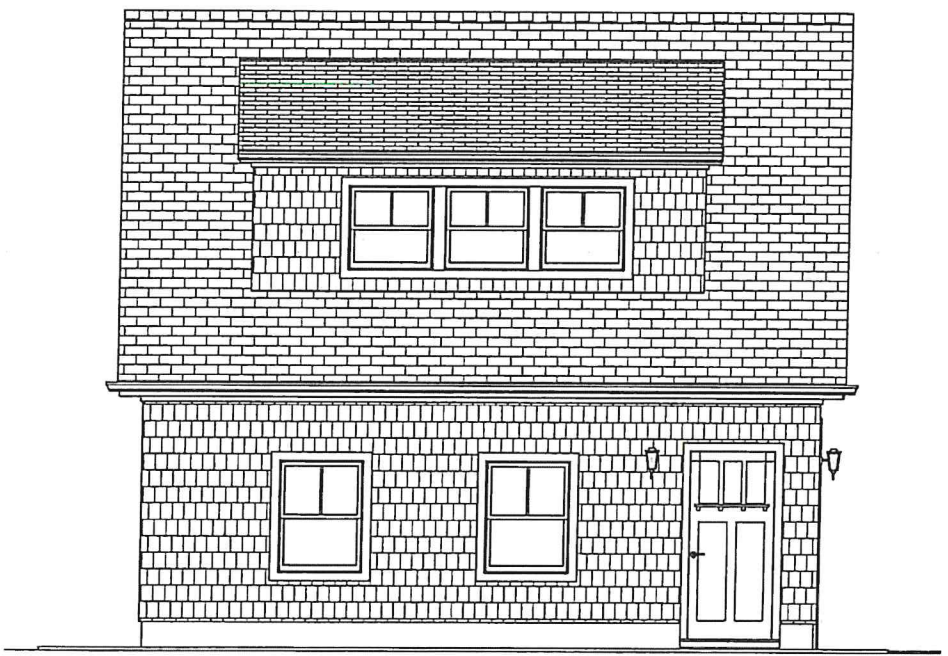
 9/27/2023
 Edward M. Tanner, Zoning Officer



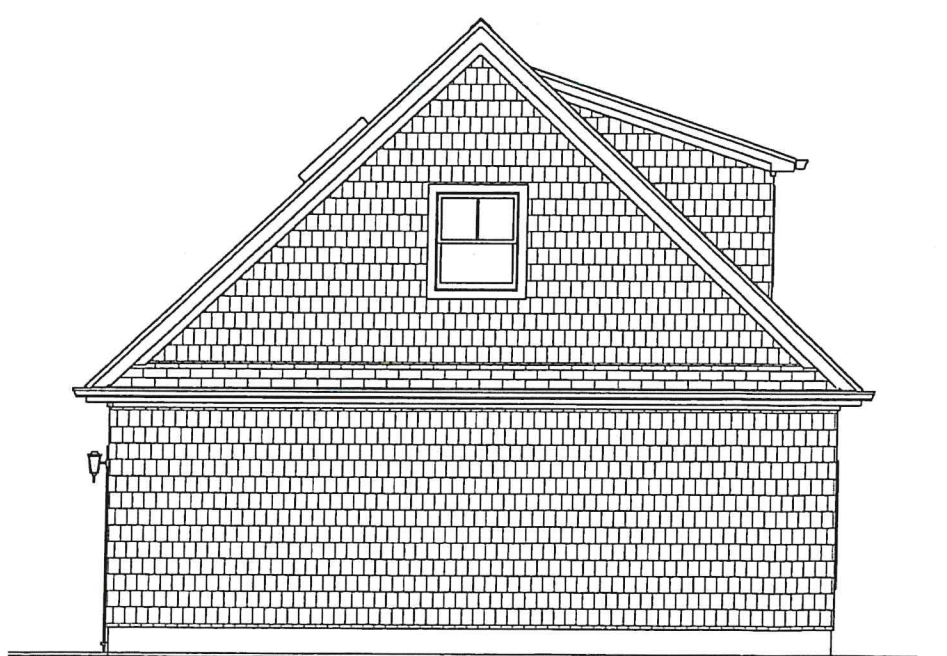
1 ■ ELEVATION - FRONT (EAST)
5/32" = 1' - 0"



2 ■ ELEVATION - LEFT (SOUTH)
5/32" = 1' - 0"



3 ■ ELEVATION - REAR (WEST)
5/32" = 1' - 0"



4 ■ ELEVATION - RIGHT (NORTH)
5/32" = 1' - 0"

EXTERIOR ELEVATIONS

SHEET NUMBER	2
<p>LOW RESIDENCE 24 LOW LANE PLAT 167 LOT 1 <small>DRAWN BY: TJR DATE: 9/7/23</small></p>	
<p>GARAGE DIMENSIONAL VARIANCE</p>	
<p>NEW ENGLAND HOME DESIGN, LLC TIM REED, RESIDENTIAL DESIGNER, AIBD P.O. BOX 468 BRISTOL, RI 02809 401-441-8069 TIMREED@NEHOMEDSIGN.NET</p>	
<p>NIE HID</p>	



Town of Bristol, Rhode Island
Zoning Board of Review

10 Court Street
Bristol, RI 02809
401-253-7000
www.bristolri.gov

File #2023-37

PUBLIC HEARING

Notice is hereby given by the Zoning Board of Review
that a public hearing will be held on the following application:

Monday, October 2, 2023
at 7:00 P.M.
Bristol Town Hall
10 Court Street

APPLICANT: **Kathryn G. Low / Low Dock, LLC**

PROPERTY OWNER: **Low Dock, LLC**

LOCATION: **24 Low Lane**

PLAT: **167** LOT: **1**

ZONE: **Residential R-40**

APPLICANT IS REQUESTING **DIMENSIONAL VARIANCES TO: construct a 24ft. x 28ft. accessory garage structure at a height greater than permitted for accessory structures in a residential zoning district, and with less than the required front yard on a corner lot.**

A handwritten signature in blue ink, appearing to read "Ed M. Tanner", written over a horizontal line.

Edward M. Tanner,
Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol web site at <https://www.bristolri.gov/government/boards/zoning-board-of-review/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, September 28, 2023.



Town of Bristol, Rhode Island
Department of Community Development
Zoning Board of Review

TOWN OF BRISTOL
 COMMUNITY DEV.
 2023 SEP -8 PM 3: 31

APPLICATION

File No: 2023-37
 Accepted by ZEO: Erin 9/8/2023

APPLICANT	Name: <u>KATHY LOW</u>		
	Address: <u>63 HILL CREST ST.</u>		
	City: <u>AUBURN</u>	State: <u>ME</u>	Zip: <u>04210</u>
	Phone #: <u>207-577-7050</u>	Email: <u>KLOW@BATES.EDU</u>	
PROPERTY OWNER	Name: <u>LOW DOCK, LLC</u>		
	Address: <u>63 HILL CREST ST</u>		
	City: <u>AUBURN</u>	State: <u>ME</u>	Zip: <u>04210</u>
	Phone #: <u>207-577-7050</u>	Email: <u>KLOW@BATES.EDU</u>	

1. Location of subject property: 24 LOW LANE
 Assessor's Plat(s)#: 167 Lot(s) #: 1

2. Zoning district in which property is located: R-40

3. Zoning Approval(s) required (check all that apply):
 Dimensional Variance(s) Special Use Permit Use Variance

4. Which particular provisions of the Zoning Ordinance is applicable to this application?:
 Dimensional Variance Section(s): SEC 28-111
 Special Use Permit Section(s): —
 Use Variance Section(s): —

5. In a separate written statement, please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.

6. How long have you owned the property?: LOW FAMILY OWNED SINCE 1882; LLC SINCE 2010

7. Present use of property: RECREATION / SOCIAL GATHERING / GARDEN

8. Is there a building on the property at present?: NO (ONLY FOUNDATION OF PREVIOUS HOUSE)

9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet): _____

10. Proposed use of property: SINGLE-FAMILY DWELLING

11. Give extent of proposed alterations: CONSTRUCT A NEW SINGLE-FAMILY DWELLING AND DETACHED GARAGE AS INDICATED ON SITE PLAN AND AS DESCRIBED IN THE NARRATIVE

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet): THE DETACHED GARAGE SHALL BE ~24' X 28', AN AREA OF ~672^{sq} FT WITH A MAXIMUM HEIGHT OF 23'

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

Front lot line(s): (EAST)	Required Setback: <u>40'</u>	Proposed Setback: <u>126' +</u>
Left side lot line: (SOUTH)	Required Setback: <u>25'</u>	Proposed Setback: <u>124' +</u>
Right side lot line: (NORTH)	Required Setback: <u>40' (2ND FRONT)</u>	Proposed Setback: <u>25'</u>
Rear lot line: (WEST)	Required Setback: <u>40'</u>	Proposed Setback: <u>280' +</u>
Building height:	Required: <u>20'</u>	Proposed: <u>23'</u>
Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):		
Required: _____	Proposed: _____	

13. Number of families before/after proposed alterations: 0 Before 1 After

14. Have you submitted plans for the above alterations to the Building Official? YES, FOR DWELLING
If yes, has he refused a permit? NO If refused, on what grounds? _____

15. Are there any easements on your property?: NO (If yes, their location must be shown on site plan)

16. Which public utilities service the property?: Water: YES Sewer: NO

17. Is the property located in the Bristol Historic District or is it an individually listed property?: NO

18. Is the property located in a flood zone? YES If yes, which one?: VE .15 + FLOOD X STRUCTURE WELL OUTSIDE.

SEE SITE PLAN

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: [Signature] Date: 9/7/23

Print Name: Kathryn G. Low

Property Owner's Signature: [Signature] Date: 9/7/23

Print Name: Kathryn G. Low
Manager, Low Dock LLC

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: _____ Telephone #: _____

Address: _____

2023 SEP - 8 PM 3: 31
TOWN OF BRISTOL
COMMUNITY DEV.

Low Residence Plat 167 Lot 1Project Narrative

After many years of planning, we are rebuilding on the site of what was once my great grandfather's residence on Low Lane, built in 1882. The original shingled house and contents burned to the ground in 1939. The house was quite large -- the 90'w and 35'd outline is represented on the site plan -- and the foundation and remnants of its stone walls are still visible on the property. Given the long family history at this location, we feel a strong responsibility to build ethically and responsibly, and have been very careful in the plan for re-development, considering aesthetics, scale, materials, and neighbors. As a result, we have spent years exploring various designs, and have determined that we will build a single, modest home on this 2-acre waterfront property. Plans were initially developed for a larger 5-bedroom house approximately the dimensions of the original home, but after two years of consideration, we've scaled back considerably and opted for a high-efficiency, net-zero 3-bedroom home with a greatly reduced footprint, physically and environmentally. The high efficiency home we are building will also go up quickly, reducing traffic, noise and disruption for the neighborhood. The smaller house helps preserve the openness of the property and is in keeping with the surroundings, which ultimately, were most important to us. We will use some of the stones from the existing foundation and walls in landscaping. The proposed new dwelling, which is a shingled cape-style home, requires no zoning relief, as it will conform to all regulations of setback, building height, and zoning. The dwelling will be located on the site of the original home, as described below.

The new house will be nearly centered north-south on the former house foundation, with its front entrance facing Monkey Wrench Lane. It is moved slightly south to make room for the north garage. This location is on the edge of an existing raised area just before the land drops away rather steeply, which lends itself to the designed walk-out basement, a design strategy that obviated the need for a full second floor, and allowed the home to have a low profile. The line of the bluff creates a natural separation of the upper front-yard area and the lower rear-yard where we've established a meadow. The upper area of the property, the location of the original home, is the logical location for the new dwelling, detached garage, and related driveway.

The proposed detached garage details are still under development, and the structure shall not exceed the allowable accessory building footprint of 26 x 28. **However, we are requesting a variance for its height to be a maximum of 23'.** This will allow us the flexibility to create an architecturally-balanced ratio of width to height that will complement the house design, and will allow for storage or work space on the second floor. Having the detached garage effectively creates smaller, architecturally pleasing structures instead of merging the house and garage into one large view-blocking mass, preserving sightlines for neighbors that are adjacent and behind.

As the site plan indicates, we propose building the garage on the north end of the property. We have a 40-foot "front-yard" setback on Monkey Wrench Lane, but we have learned just this week that a "corner" is created by the 110-foot road extension of Low Lane along what is a 518-foot-long north property line, requiring a 40-foot setback on the Low Lane side of the property, as well. This extension provides access to the north neighbor's driveways, the Town right-of-way and our north driveway exit.

Low Residence Plat 167 Lot 1

The second, 40' front-yard setback exists because of a stub of road approximately one-fifth the length of the property line bordering the paper road – a unique condition. **Regardless, we are respectfully seeking relief for the various reasons below to locate the garage 25' from the north boundary and Town right-of-way, effectively reducing this 2nd front-yard setback to a side-yard setback.** The variance would allow us to site the detached garage in a way that addresses the issues that follow.

Locating the garage outside the 40-foot setback but on the north side of the property would result in the garage being in what we consider the “front yard” and blocking a portion of the house (and morning light) on the Monkey Wrench side, something we would like to avoid. Further, the proposed garage location fits the flow and balance of the property and addresses some additional concerns about privacy and security. While we support the public right-of-way created at the bottom of Low Lane by the Town for water access, the wooded footpath to the water immediately abuts the property, and there is considerable traffic to the beach, particularly on early summer mornings. The placement of the detached garage will not guarantee privacy, but may act as a buffer and mitigate the noise created by beachgoers, fishermen/clammers, and Roger Williams students walking on the trail while talking, playing music, or unloading gear at the bottom of Low Lane. Roger Williams students have also tended to use the right-of-way late at night. The garage location will also provide some privacy in terms of sightlines from the right of way. In addition, there is an existing small, stone and slate-roofed outbuilding on the property that served as a pumphouse for the original home that is adjacent to the northern property line in the setback (see site plan) which will be preserved. Having a new garage in proximity may offer some additional security for this 150-year old structure. Visitors have frequently accessed the existing foundation and the pumphouse despite fencing and clear “no trespassing” postings, creating privacy, security and liability issues. We hope that the siting of the new buildings in relation closer to the pump house may discourage access, establish a clearer boundary, and provide some privacy for the side yard.

We hope a garage that is visible and near the gate may serve as a barrier to those who might trespass or park illegally. Finally, we intend to make this our retirement home and have designed it with an eye to the future. Based on our experiences in the neighborhood, we know that a south-facing driveway and garage greatly reduce the potential for dangerous icing of walkway and driveway surfaces in the winter. We also intend to retain the existing stone walls and pillars accenting the driveway entrance on Monkey Wrench Lane and we will use that as our main entrance. Accessing a garage with a north/south orientation from this entrance will be much easier if it is located on the north end of the property and is south facing, and the direct line will reduce the need for additional paving and driveway work. An important secondary benefit of keeping the garage to the north side of the property is the preservation of the greenspace between us and our neighbor to the south, a space that has been preserved and shared for more than a century.

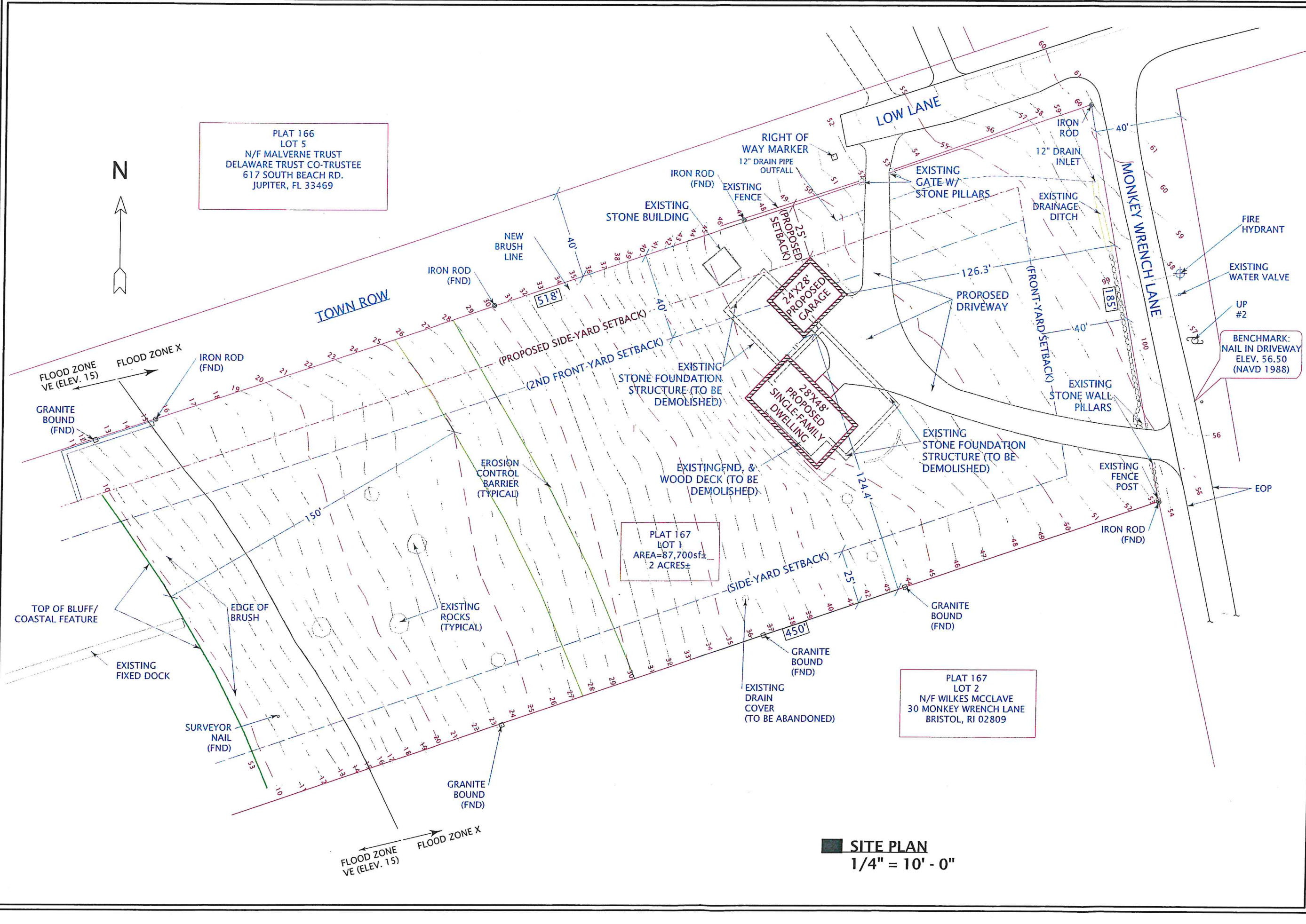
We greatly appreciate your time and consideration of this request.

Thank you,

William H. Low and Kathryn Graff Low



PLAT 166
 LOT 5
 N/F MALVERNE TRUST
 DELAWARE TRUST CO-TRUSTEE
 617 SOUTH BEACH RD.
 JUPITER, FL 33469



PLAT 167
 LOT 1
 AREA=87,700sf±
 2 ACRES±

PLAT 167
 LOT 2
 N/F WILKES MCCLAVE
 30 MONKEY WRENCH LANE
 BRISTOL, RI 02809

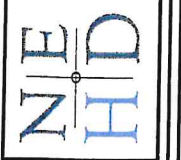
SITE PLAN
 1/4" = 10' - 0"

SHEET NUMBER
1

LOW RESIDENCE
 24 LOW LANE
 PLAT 167 LOT 1
 DATE: 9/7/23
 DRAWN BY: TJR

**GARAGE
 DIMENSIONAL
 VARIANCE**

NEW ENGLAND HOME DESIGN, LLC
 TIM REED, RESIDENTIAL DESIGNER, AIBD
 P.O. BOX 468 BRISTOL, RI 02809
 401-441-8069
 TIMREED@NEHOMEDSIGN.NET



▶ Bristol

▶ LOW LN

Card of



▶ Plat/Lot 167 1

▶ Account: 9261

LUC 12 Zone R-40

▶ Assessment

\$1,253,600

NORTHEAST REVALUATION GROUP LLC

▶ Owner ▶ Owner Account #:

Owner	% Owned
Owner 1 LOW DOCK, LLC	0.00
Owner 2	0.00
Owner 3	0.00

Address C/O KATHRYN LOW 63 HILL CREST ST, AUBURN, ME 04210-0000

▶ Previous Owners & Sales Information

Grantor	Date	Sale Price	Leg Ref	NAL	Deed Type
MEMORANDUM OF TRUST	08/12/2010	0	1549-257		
LOW, J GILMAN, TRUSTEE	08/12/2010	0	1549-254	A	T
LOW, WILLIAM H. ETAL	08/12/2010	0	1549-249	A	Q
GILMAN REVOCABLE TRUST	11/18/1999	0	722-236		
EXECUTORS DEED	08/04/1992	0	445-100		

▶ Assessment

Use Code	Bldg Value	SF/YI	Value	Land Size	Land Value	AG Credit	Assessed Value	% Owned
12	0	74,600	1,179,000	2.00	1,179,000	0	1,253,600	0.00
TOTAL	0	74,600	1,179,000	2.00	1,179,000	0	1,253,600	0.00

Source > Mkt Adj Cost VAL per SQ Unit/Card > VAL per SQ Unit/Parcel >

▶ Previous Assessments

Year	LUC	Building	SF/YI	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2022	12	0	74,600	2	1,179,000	0	1,253,600	1,253,600
2021	12	0	74,600	2	871,700	0	946,300	946,300
2020	12	0	74,600	2	871,700	0	946,300	946,300
2019	12	0	74,600	2	871,700	0	946,300	946,300
2018	12	0	75,600	2	956,200	0	1,031,800	1,031,800
2017	12	0	75,600	2	956,200	0	1,031,800	1,031,800

▶ Land Information

Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh	Inf 1 %	Inf 2 %	Inf 3 %	Appr Value	Spec Land	Juris	Fact	Use Value
1 12 Oth Imprv	0.91827	AC	P	1.00	399,000	1,198,340	M	WF	200		1,100,400			1.00	0
2 12 Oth Imprv	1.08173	AC	EX	0.20	399,000	72,661	M				78,600			1.00	0
3															
4															

2022

LOW LN

Item 4C.

Plat/Lot 167 1

Account: 9261

LUC 12 Zone R-40

Assessment \$1,253,600



Building Information

Description	Description
BLDG Type	Story Height
RES Units	COM Units
Foundation	BMT Floor
Frame 1	Frame 2 %
EXT Wall 1	EXT Wall 2 %
Roof Type 1	Roof Type 2 %
Roof Cover 1	Roof Cover 2 %
INT Wall 1	INT Wall 2 %
Floors 1	Floors 2 %
BMT Garages	Color
Plumbing	Electrical
Insulation	INT vs EXT
Heat Fuel	Heat Type
# Heat Sys	% Heated
% Solar HW	% A/C
% COM Wall	% Vacuum
Ceiling HIGHT	Ceiling Type
Parking Type	% Sprinkled
EXT View	

Grade

Grade	EFF Year	Street	PAVED
Year Built	Alt %	Traffic	

Depreciation

Code	Description	%	Bas \$/SQ	Constr Adj	Adj \$/SQ	Other Feats	Grade Fac	Neigh Infl	Land Factor	Adj Total	Depreciation	Depr Total
Condition	-											
Functional	-											
Economic	-											
Special	-											
OV	-											
Total Depreciation % >												

Remodeling History

Additions	Plumbing	Electric	Heating	General
Interior				
Exterior				
Kitchen				
Bath(s)				

Condo Data

Complex	Location	Tot Units	FL Level	# Floors	Bldg Seq

Building Permits

Issue Date	Permit #	Closed Date	BP Type	Est. Cost	% Done	Status	Description/Directions
1							
2							
3							
4							
5							
6							
7							
8							
9							

Sub-Area Detail

Code	Description	Area	Fin. Area	Rate	Undepr V
Total					

Notes

DOCK ADDED 12/09 EAS

Other Factors

Flood Hazard	Topography	Street	PAVED

Visit History

Date	Result	By
8/10/2021	REVIEW	JH
6/22/2018	REVIEW	JH
6/1/2018	VACANT LO	JN

Room Counts by Floor

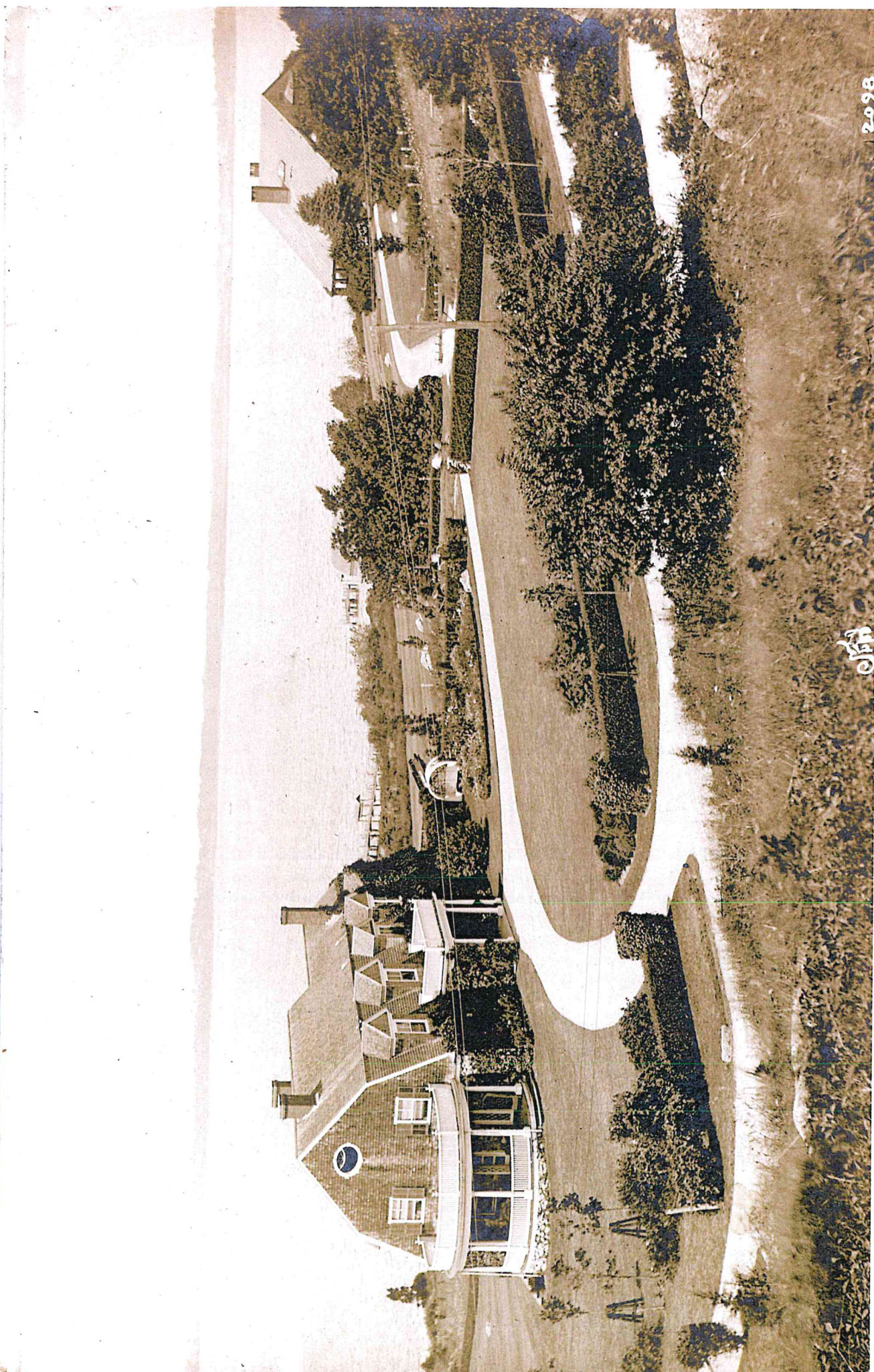
Units	# Rooms	# Bedrooms	Floor Level
1			
2			
3			
4			
Totals			

Special Features & Yard Items

Use	Description	A	Y/S	Qty	Length	Width	SF Size	Quality	Condition	Year	Assessed Value
1	15 Station Dk	1	Y	1			2,480	3	AV	2009	73,700
2	17 Floating Dk	1	Y	1			60	1	AV	2009	900

Other Info.

AFDU	Priority	Priority	Priority	Priority	Priority



1971

2098



24 Low Lane - 300' Radius

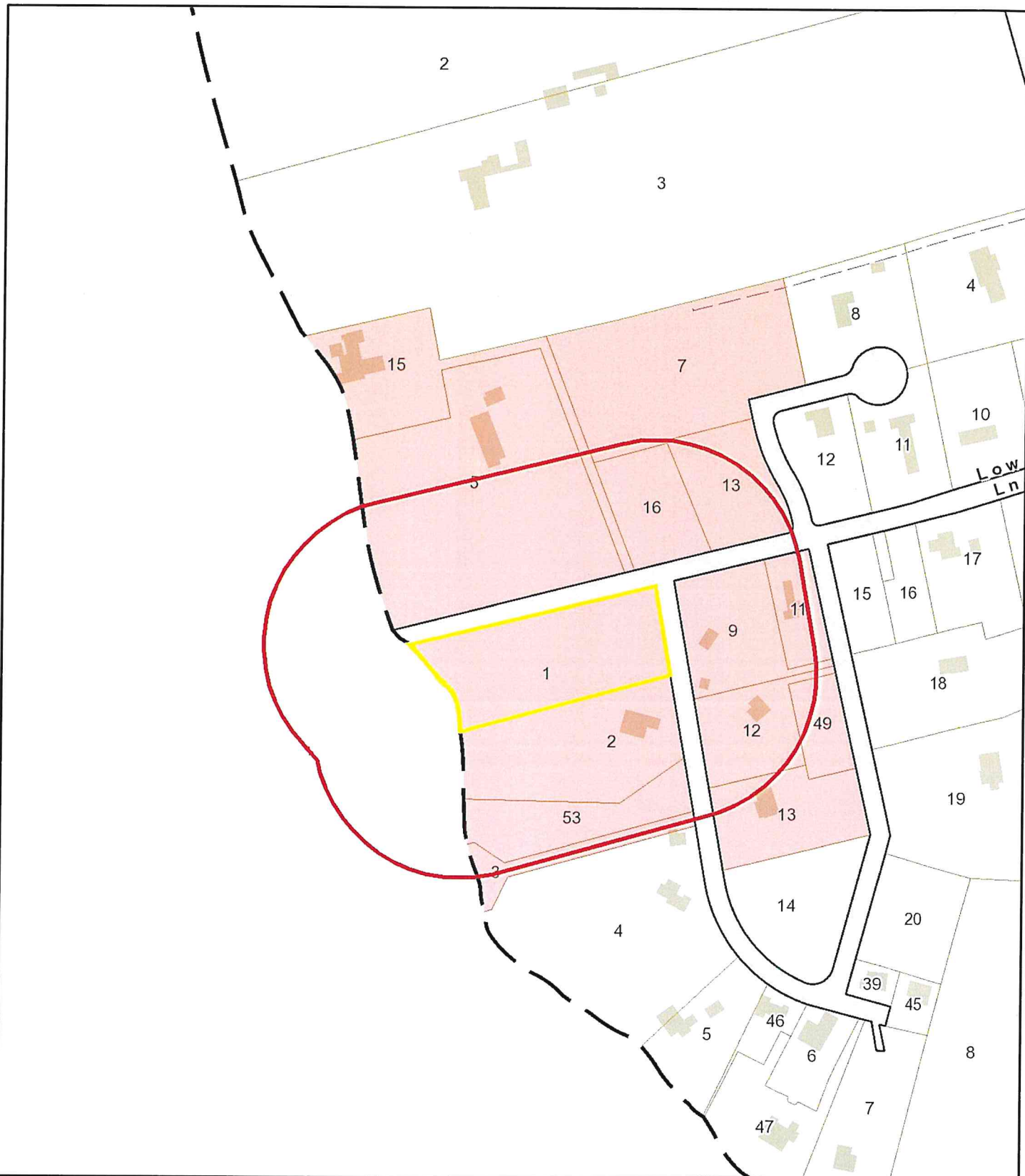
Bristol, RI



September 11, 2023

1 inch = 281 Feet

www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



300 foot Abutters List Report

Bristol, RI
September 11, 2023

Subject Property:

Parcel Number: 167-1
CAMA Number: 167-1
Property Address: LOW LN

Mailing Address: LOW DOCK, LLC
C/O KATHRYN LOW 63 HILL CREST ST
AUBURN, ME 04210

Abutters:

Parcel Number: 166-13
CAMA Number: 166-13
Property Address: LOW LN

Mailing Address: MALVERNE TRUST
C/O BART KAVANAUGH & BETTY SAKS
619 SOUTH BEACH RD
JUPITER, FL 33469

Parcel Number: 166-15
CAMA Number: 166-15
Property Address: 15 LOW LN

Mailing Address: CAMPAGNA, VINCENT M & CAROLINE
TRUSTEES
15 LOW LN
BRISTOL, RI 02809

Parcel Number: 166-16
CAMA Number: 166-16
Property Address: LOW LN

Mailing Address: MALVERNE TRUST C/O BART
KAVANAUGH &
619 SOUTH BEACH RD
JUPITER, FL 33469

Parcel Number: 166-5
CAMA Number: 166-5
Property Address: 13 LOW LN

Mailing Address: MALVERNE TRUST DELAWARE TRUST
CO -CO-TRUSTEE
619 SOUTH BEACH RD
JUPITER, FL 33469

Parcel Number: 166-7
CAMA Number: 166-7
Property Address: FERRY RD

Mailing Address: ROGER WILLIAMS UNIVERSITY
1 OLD FERRY RD
BRISTOL, RI 02809

Parcel Number: 167-1
CAMA Number: 167-1
Property Address: LOW LN

Mailing Address: LOW DOCK, LLC
C/O KATHRYN LOW 63 HILL CREST ST
AUBURN, ME 04210

Parcel Number: 167-11
CAMA Number: 167-11
Property Address: 14 LOW LN

Mailing Address: LOW, J. GILMAN TRUST (75%) LOW,
NICHOLAS E & HARRIET P (25%)
3758 TALKING CIR
LANGLEY, WA 98260

Parcel Number: 167-12
CAMA Number: 167-12
Property Address: 3 MONKEY WRENCH LN

Mailing Address: SPARROW KATHERINE FULTON
TRUSTEE1
3 MONKEY WRENCH LN
BRISTOL, RI 02809

Parcel Number: 167-13
CAMA Number: 167-13
Property Address: 7 MONKEY WRENCH LN

Mailing Address: DWYER, HARRIET F. TRUSTEE
HARRIET F. DWYER TRUST
10 MONKEY WRENCH LN
BRISTOL, RI 02809

Parcel Number: 167-2
CAMA Number: 167-2
Property Address: 30 MONKEY WRENCH LN

Mailing Address: MCCLAVE, WILKES
PO BOX 247
LYME, NH 03768



www.cai-tech.com

9/11/2023

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 1 of 2



300 foot Abutters List Report

Bristol, RI
September 11, 2023

Parcel Number: 167-3
CAMA Number: 167-3
Property Address: MONKEY WRENCH LN

Mailing Address: HOWE DOCK ASSOCIATION INC. C/O
Dewolf Fulton
28 Monkey Wrench Ln
Bristol, RI 02809

Parcel Number: 167-49
CAMA Number: 167-49
Property Address: MONKEY WRENCH LN

Mailing Address: HOWE DOCK ASSOCIATION INC. C/O
DEWOLF FULTON
28 MONKEY WRENCH LN
BRISTOL, RI 02809

Parcel Number: 167-53
CAMA Number: 167-53
Property Address: 28 MONKEY WRENCH LN

Mailing Address: FULTON, W. DEWOLF, TRUSTEE W.
DEWOLF FULTON TRUST
28 MONKEY WRENCH LN
BRISTOL, RI 02809

Parcel Number: 167-9
CAMA Number: 167-9
Property Address: 20 LOW LN

Mailing Address: LOW, WILLIAM H
63 HILL CREST ST
AUBURN, ME 04210



www.cai-tech.com

CAMPAGNA, VINCENT M &
CAROLINE TRUSTEES
15 LOW LN
BRISTOL, RI 02809

MCCLAVE, WILKES
PO BOX 247
LYME, NH 03768

DWYER, HARRIET F. TRUSTEE
HARRIET F. DWYER TRUST
10 MONKEY WRENCH LN
BRISTOL, RI 02809

ROGER WILLIAMS UNIVERSITY
1 OLD FERRY RD
BRISTOL, RI 02809

FULTON, W. DEWOLF, TRUSTE
W. DEWOLF FULTON TRUST
28 MONKEY WRENCH LN
BRISTOL, RI 02809

SPARROW KATHERINE FULTON
3 MONKEY WRENCH LN
BRISTOL, RI 02809

HOWE DOCK ASSOCIATION INC
C/O DEWOLF FULTON
28 MONKEY WRENCH LN
BRISTOL, RI 02809

LOW, J. GILMAN TRUST (75
LOW, NICHOLAS E & HARRIET
3758 TALKING CIR
LANGLEY, WA 98260

LOW DOCK, LLC
C/O KATHRYN LOW
63 HILL CREST ST
AUBURN, ME 04210

LOW, WILLIAM H
63 HILL CREST ST
AUBURN, ME 04210

MALVERNE TRUST
C/O BART KAVANAUGH & BETTY
SAKS
619 SOUTH BEACH RD
JUPITER, FL 33469

MALVERNE TRUST
C/O BART KAVANAUGH &
619 SOUTH BEACH RD
JUPITER, FL 33469

MALVERNE TRUST
DELAWARE TRUST CO -CO-TRU
619 SOUTH BEACH RD
JUPITER, FL 33469