



# **TOWN OF BRISTOL, RHODE ISLAND**

## TECHNICAL REVIEW COMMITTEE

### Technical Review Committee Agenda

Tuesday, December 03, 2024 at 11:00 AM

Community Development Office Conference Room, 235 High Street,  
1st Floor, Bristol, RI 02809

#### A. Pledge of Allegiance

#### B. New Business

- B1. Concept Review / Pre-Application for a Comprehensive Permit Proposal** - Proposal for a comprehensive permit for construction of 17 new residential dwelling units in three buildings (2 buildings with 6 units and 1 building with 5 units) in addition to the 3 existing units for a total of 20 units.

Property located at **206 Bayview Avenue**. Assessor's Plat 47, Lot 3. Owners: Fair Wind Properties, LLC. Zoned: R-10.

#### C. Adjourn

Date Posted: November 20, 2024

By: mbw

APPLICATION FORM AND SUBMISSION CHECKLIST FOR PREAPPLICATION CONFERENCE AND CONCEPT REVIEW

Preapplication Conference - An initial meeting between developers and the Town which affords developers the opportunity to present their proposals informally and to receive comments and directions from the Town and other agencies.

Concept Plan - A drawing with accompanying information showing the basic elements of a proposed land development plan or subdivision as used for pre-application meeting and early discussions, and classification of the project within the approval process.

The following completed application form and Items A, B, and C from the attached checklist shall be submitted to the Administrative Officer for a meeting with the Technical Review Committee (TRC).

Date of Submission 11/20/24 TRC Meeting Date 12/3/24

APPLICATION FORM

1. Name, address, and telephone number of the property owner: Fair Wind Properties LLC, P.O. Box 333, 401-263-6372

2. Name, address and telephone number of the applicant (If different from owner, a written, notarized confirmation from the property owner authorizing the applicant to make this submission shall also be submitted):

\_\_\_\_\_

3. Assessor's plat and lot number(s): \_\_\_\_\_

4. Zoning district(s), including any special Town or State overlay districts (i.e. Historic District, CRMC Jurisdiction, etc.): R-10

5. Area of the parcel: 2.2 Acres

6. Proposed number of buildable lots, dwellings or other proposed improvements: 17 Additional Units

7. Name and owner of existing streets or rights-of-way adjacent to the parcel:

+ Office above Garage.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

A list showing the names and addresses of all abutting and adjacent property owners shall be attached to this application.

Signature of Owner/Applicant  Date 11/20/24

Notarized:

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
NOTARY PUBLIC

**SUBMISSION CHECKLIST**  
**PREAPPLICATION CONFERENCE AND CONCEPT**  
**REVIEW**

Date &  
Initials of  
Reviewer

<b>A. Plan of Existing Conditions</b> - Five (5) blue-line or photocopies of the subject property no larger than 24" x 36" as it currently exists including locations and dimensions of existing lots if the proposed subdivision constitutes a replat or if the development consists of several lots and all natural features such as existing contours at five (5) foot intervals.	
<b>B. Concept Plans</b> - Five (5) blue-line or photocopies no larger than 24" x 36" of the concept plan for the development showing, at a minimum, the following information:	
1. Name of proposed subdivision or development;	11/20 DF
2. Name and address of the property owner and applicant;	11/20 DF
3. Name, address, and telephone number of preparer;	11/20 DF
4. Date plan prepared, with revision date(s) (if any):	11/20 DF
5. Graphic scale and north arrow;	11/20 DF
6. Assessor's Plat and lot number(s) of the subject property;	11/20 DF
7. Zoning district(s) of the subject property. If more than one district, zoning boundary lines must be shown;	11/20 DF
8. Perimeter boundary lines of the entire tract under the applicant's ownership;	11/20 DF
9. Area of the subject property and proposed number of buildable lots, dwellings or other proposed improvements;	11/20 DF
10. Location, names, and pavement and right-of-way widths of existing streets adjacent to the subject property;	11/20 DF
11. Names of abutting property owners and property owners immediately across any adjacent streets;	11/20 DF
12. Location and dimension of existing easements and rights-of-way adjacent to or within the subject property, if any;	11/20 DF
13. Notation of existing ground cover and approximate location of wooded areas (if any);	11/20 DF
14. Approximate location of wetlands, watercourses or coastal features, and other significant natural or manmade features (i.e. stone walls) within and immediately adjacent to the subdivision parcel, if any;	11/20 DF
15. Location and approximate size of existing buildings on or immediately adjacent to the subject property, if any; including, historic designation, if applicable;	11/20 DF
16. Proposed improvements including streets, lots, lot lines with approximate lot areas and dimensions and building envelopes;	11/20 DF
17. A notation of the existing on-site utilities (gas, water, sewer, electric), if any;	11/20 DF
18. Proposed connections with existing water supply and sanitary sewer systems, or a notation that wells and ISDS are proposed;	11/20 DF
19. Provisions for collecting and discharging stormwater;	11/20 DF



## SUBMISSION CHECKLIST, CONT.

	Date & Initials of Reviewer
20. Notation on the plan if the subject property is located within any of the following areas: Town Overlay Districts, Special Flood Hazard Areas, or Coastal Resources Management Council jurisdiction.	11/20 DF
<b>C. Supporting Materials -</b>	
1. One (1) copy of a narrative report providing the general description of the existing physical environment and existing use(s) of the property; and, the general description of the uses and type of development proposed by the applicant;	11/20 DF
2. A reduced copy of plans required in Items A and B above (minimum size 8 1/2" x 11", maximum size 11"x 17");	
3. Completed Application Form.	11/20 DF



## Comparison Narrative

### Original Plan Vs Proposed

TRC Members,

Here are the major differences from what we originally proposed versus what we have now. The changes are based on the last TRC meeting and the discussions we have had with Jim Houle and TRC Members. We are looking at mostly 3 bedroom units on this plan vs 3 and 4 bedroom units. We have also reduced the building sizes reducing our overall building coverage. The garages will remain and we will also add a bunch of storage space for tenants on the ground floor.

We will also be going from 23 units to 20 units. This will round out the ratio for affordable units and is needed to make the numbers work.

	Current Units	Original Design	New Design	Difference from Original Design
Total 4 bedroom Units	1	11	1	-10
Total 3 Bedroom Units	2	12	19	+6
Total 2 Bedroom Units	0	0	0	0
Total Units:	3	23	20	-3
Total Beds:	10	80	58	-22
Total Baths:	5	65	56	-9

#### Highlights of changes to the design

- 5 out of the 20 units will be affordable units. These units will be allocated in the new units proposed.
  - 5 - 3 bedroom units
- Adding 3 new buildings instead of 5 and reducing the overall footprint of the units has led to reducing the overall building lot coverage from 23.1% to 16.2% (Reduction of 6.9%) the maximum building coverage for the zone is 25%.

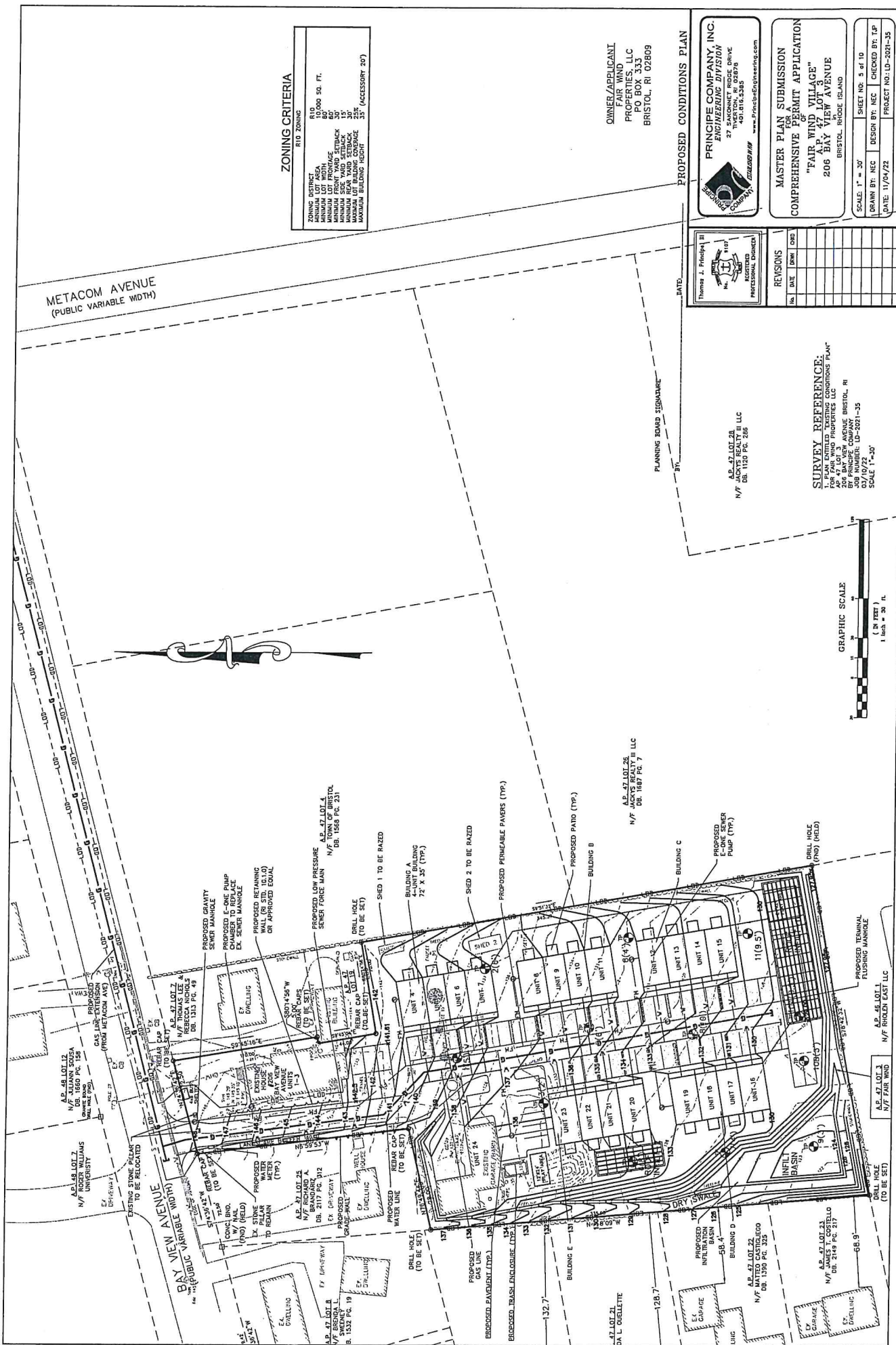
- Reducing the overall building footprint of the entire project by 6,420sq ft. This amounts to eliminating approximately 2 full buildings of the original building footprint from the site plan (the town asked for 2 buildings to be removed)
- Going from 80 bedrooms total including the current 3 family to 58 bedrooms including the current 3 family (reduction of 22). Again this reduction in bedroom count is equivalent to eliminating the 2 buildings that was discussed at the last TRC meeting.
- We will also reduce the bathroom count by 9.

This is the only way we can make the project work financially with reducing the bedroom count on the site unless we do a single apartment building. I have looked at the numbers many ways and this is our best option given the cost increases and the current conditions on interest rates, materials and labor. I think it will also allow for us to add some green areas in front of the buildings adding to the overall aesthetics of the community. Every unit has a little patio area so we will forgo the picnic area.

Even with the reduced footprint of each building, the design offers an open concept on the first floor. This results in a more spacious atmosphere. The ground floor also incorporates in-unit laundry. The units are a desirable townhouse style, side by side units, making them more attractive than the traditional stacked multi family living. This does take up a larger footprint on the site and is more costly, but is healthier for the renter. In previous research, I read that stacked living led to a lot more noise and disturbances between tenants. Less disturbances among tenants allows for a healthier environment for all.







**ZONING CRITERIA**

R10 ZONING	R10 ZONING
ZONING DISTRICT	R10
MINIMUM LOT AREA	80,000 SQ. FT.
MINIMUM LOT WIDTH	50'
MINIMUM FRONT YARD SETBACK	50'
MINIMUM SIDE YARD SETBACK	15'
MINIMUM REAR YARD SETBACK	35'
MINIMUM LOT BUILDING COVERAGE	25%
MAXIMUM BUILDING HEIGHT	35' (ACCESSORY 20')

OWNER/APPLICANT:  
 FAIR WIND  
 PROPERTIES, LLC  
 PO BOX 333  
 BRISTOL, RI 02809

**PROPOSED CONDITIONS PLAN**

**PRINCIPLE COMPANY, INC.**  
 ENGINEERING ARCHITECTURE  
 27 SACONNET RIDGE DRIVE  
 BRYANTON, RI 02809  
 401.510.8585  
 www.PrincipleEngineering.com

MASTER PLAN SUBMISSION  
 FOR A  
 COMPREHENSIVE PERMIT APPLICATION  
 "FAIR WIND VILLAGE"  
 206 BAY VIEW AVENUE  
 BRISTOL, RHODE ISLAND

SCALE: 1" = 30'	SHEET NO.: 5 of 10
DRAWN BY: REC	DESIGN BY: REC
DATE: 11/09/22	PROJECT NO.: LD-2021-35

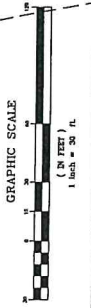
Thomas J. Principi III  
 No. 1107  
 REGISTERED  
 PROFESSIONAL ENGINEER

**REVISIONS**

NO.	DATE	DESCRIPTION

A.P. 47 LOT 26  
 N/F JACKY'S REALTY III LLC  
 DB: 1120 PC: 286

**SURVEY REFERENCE:**  
 FOR THE SURVEYED AND PROPOSED PLANT  
 FOR FAIR WIND PROPERTIES LLC  
 206 BAY VIEW AVENUE BRISTOL, RI  
 JOB NUMBER: LD-2021-35  
 03/10/22  
 SCALE 1" = 30'



PLANNING BOARD SIGNATURE  
 DATE: \_\_\_\_\_





**ZONING CRITERIA**

R10 ZONING	
ZONING DISTRICT	R10 800 SQ. FT.
MINIMUM LOT WIDTH	20'
MINIMUM FRONT YARD SETBACK	30'
MINIMUM SIDE YARD SETBACK	15'
MINIMUM REAR YARD SETBACK	15'
MINIMUM LOT BUILDING COVERAGE	25%
MAXIMUM LOT BUILDING HEIGHT	35' (ACCESSORY 40')

**OWNER/APPLICANT**  
 FAIR WIND PROPERTIES, LLC  
 PO BOX 333  
 BRISTOL, RI 02809

**PROPOSED CONDITIONS PLAN**

**PRINCIPLE COMPANY, INC.**  
 ENGINEERS  
 27 SACONNET RIDGE DRIVE  
 HYVERTON, RI 02876  
 401.876.5385  
 www.PrincipleEngineering.com

**MASTER PLAN SUBMISSION FOR A COMPREHENSIVE PERMIT APPLICATION**  
 "FAIR WIND VILLAGE"  
 A.P. 47 LOT 3  
 200 BAY VIEW AVENUE  
 BRISTOL, RHODE ISLAND

SCALE: 1" = 30'	SHEET NO: 3 of 10
DRAWN BY: NICE	DESIGN BY: NICE
DATE: 11/04/22	PROJECT NO: LD-2021-35

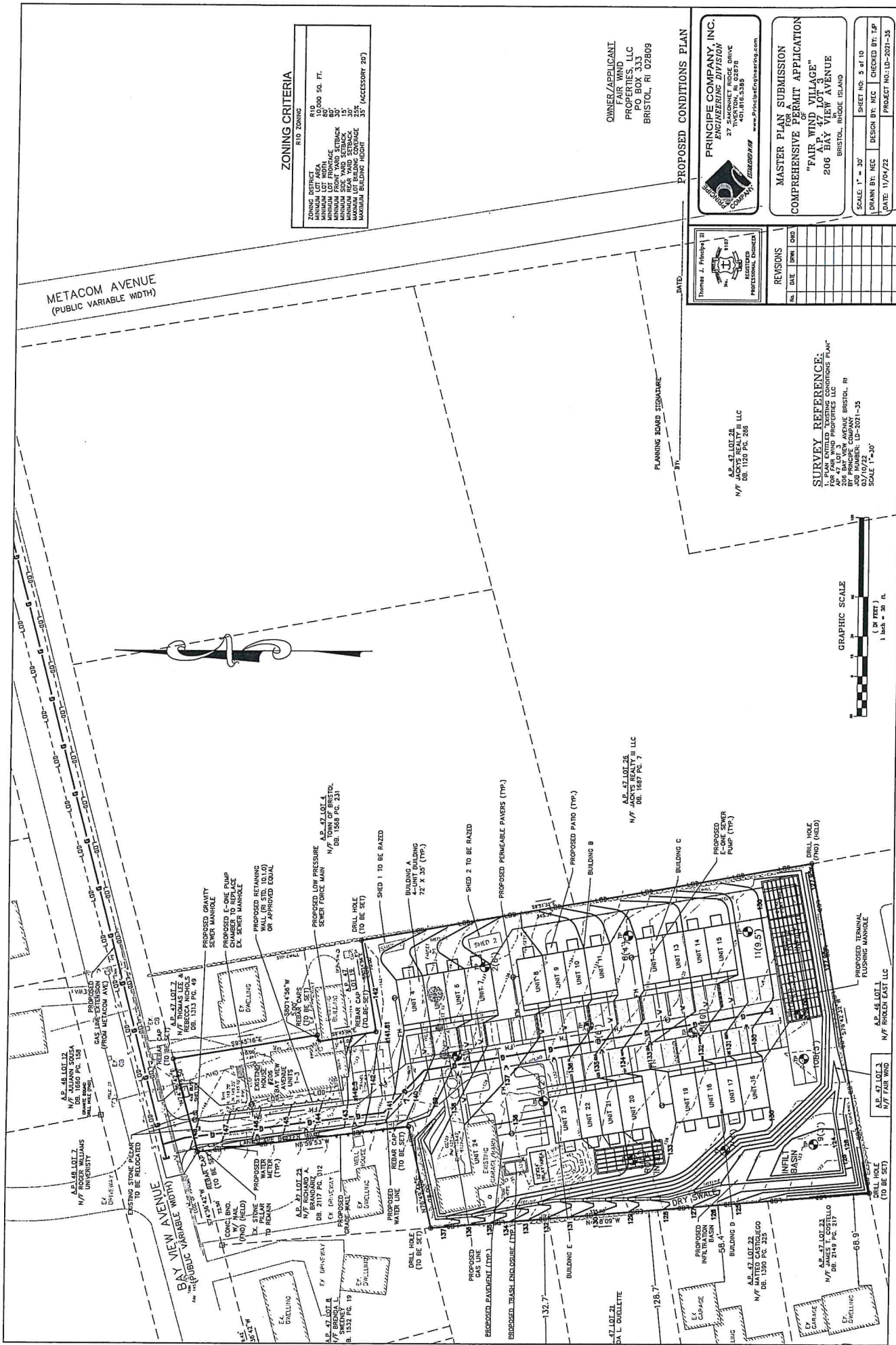
Thomas J. Principi III  
 No. 1107  
 REGISTERED PROFESSIONAL ENGINEER

**REVISIONS**

NO.	DATE	DESCRIPTION

A.P. 47 LOT 26  
 N/F JACKY'S REALTY III LLC  
 DB: 1887 PC 7

**SURVEY REFERENCE:**  
 PLAN FOR THE PROPOSED "FAIR WIND VILLAGE"  
 FOR FAIR WIND PROPERTIES LLC  
 200 BAY VIEW AVENUE BRISTOL, RI  
 02809  
 JOB NUMBER: LD-2021-35  
 DATE: 03/10/22  
 SCALE: 1" = 30'



METACOM AVENUE  
 (PUBLIC VARIABLE WIDTH)

BAY VIEW AVENUE  
 (PUBLIC VARIABLE WIDTH)

PLANNING BOARD SIGNATURE

DATE

GRAPHIC SCALE  
 ( IN FEET )  
 1 inch = 30 ft





THIS SURVEY HAS BEEN COMPLETED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE REAL PROPERTY ACT AND THE REAL PROPERTY ACT. THE SURVEYING BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015 AS FOLLOWS:

MEASUREMENTS: 1. STATIONARY  
 2. LIMITED CONTENT BOUNDARY SURVEY  
 3. SURVEYING  
 4. CLASS 1 STATIONARY

PURPOSE OF SURVEY: EXISTING CONDITIONS

BY: ROBERT A. THERIEN, P.L.S. NO. 7239

GENERAL NOTES:

1. DEED REFERENCE: BK 2147, PG 154.
2. THIS SUBJECT PARCEL IS NOT LOCATED WITHIN A FLOOD ZONE.
3. SOILS ON SITE ARE CLASSIFIED AS CANTON-UBRAN LAND, COMPLEX, VERY ROCKY (CC) AND PITTSBORO SILT LOAM, 0 TO 3 PERCENT SLOPES (Pma) AS IDENTIFIED BY THE USDA SOIL SURVEY. THERE ARE NO AREAS OF PRIME AGRICULTURAL SOIL AND/OR FARMLAND SOILS ON THE PROPERTY.
4. THERE ARE NO AREAS OF EXISTING, ACTIVE AGRICULTURAL USE ON THE PROPERTY.
5. THERE ARE NO WETLANDS OR OB IN THE VICINITY OF THE PROJECT.
6. THERE ARE NO HISTORIC GEOMETRIES PRESENT ON THE SUBJECT PARCEL IT IS NOT LOCATED WITHIN A NATURAL HERITAGE AREA AS DEFINED BY THE TOWN OF BRISTOL WEB GIS MAPS.
7. THE SUBJECT PARCEL IS NOT LOCATED WITHIN ANY SPECIAL AREA MANAGEMENT PLAN OF THE RI CRMC.
8. THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN OMTS CRITICAL RESOURCE AREA AS DEFINED BY RIDES.
9. THE SUBJECT PARCEL IS NOT LOCATED WITHIN A DRINKING WATER SUPPLY WATERSHED AS DEFINED BY RIDEM.
10. THE SUBJECT PARCEL IS NOT LOCATED WITHIN THE ROUTE 136 OVERLAY PER BRISTOL GIS.
11. THE SUBJECT PARCEL IS LOCATED WITHIN THE UPPER EAST PASSAGE HISTORIC PLACES.
12. THE DEVELOPMENT PARCEL IS NOT LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES.
13. THE SUBJECT PROPERTY IS NOT SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY A FULL EXAMINATION OF THE TITLE.
14. THE SUBJECT PARCEL IS NOT CONSIDERED TO BE WITHIN AN AQUIFER PROTECTION AREA, WELLHEAD PROTECTION OR GROUNDWATER PROTECTION AREA.
15. THERE ARE NO COASTAL FEATURES WITHIN 200 FEET OF THE SUBJECT PARCEL.
16. THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED. BOTH OVERHEAD AND UNDERGROUND UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR TOWN WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
17. THE APPLICANT AND/OR THEIR REPRESENTATIVE AND THEIR ENGINEER HAVE WALKED THE SITE OF THE PROPOSED PROJECT.

OWNER/APPLICANT  
 FAIR WIND  
 PROPERTIES, LLC  
 P.O. BOX 298  
 BRISTOL, RI 02809

EXISTING CONDITIONS PLAN

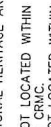
PRINCE COMPANY, INC.  
 ENGINEERING DIVISION  
 P.O. BOX 298  
 BRISTOL, RI 02809  
 www.PrinceCoEngineering.com

PRE APPLICATION SUBMISSION  
 COMPREHENSIVE PERMIT APPLICATION  
 "FAIR WIND VILLAGE"  
 206 BAY VIEW AVENUE  
 BRISTOL, RHODE ISLAND

SCALE: 1" = 30'  
 DRAWN BY: NEC  
 DESIGN BY: NEC  
 CHECKED BY: JAR  
 DATE: 03/25/22  
 SHEET NO. 2 of 4  
 PROJECT NO: UD-2021-35

REVISIONS

NO.	DATE	BY	DESCRIPTION
1.	03/25/22	JAR	TP

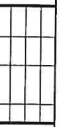
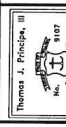
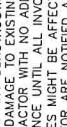


ZONING CRITERIA

RTD ZONING	R10	RTD
ZONING DISTRICT	40'000 SQ. FT.	
MINIMUM LOT WIDTH	30'	
MINIMUM FRONT YARD SETBACK	30'	
MINIMUM REAR YARD SETBACK	15'	
MINIMUM SIDE YARD SETBACK	15'	
MINIMUM BUILDING COVERAGE	25%	
MAXIMUM BUILDING HEIGHT	35'	(ACCESSORY 20')

LEGE ITEMS  
 DATE: 07/27/2022

TH.1	LEGE @ 5 FT
TH.2	LEGE @ 6 FT
TH.3	LEGE @ 2 FT
TH.4	NO LEGE
TH.5	6 FT DEEP
TH.6	LEGE @ 6 FT
TH.7	LEGE @ 4 FT
TH.8	LEGE @ 4 FT
TH.9	NO LEGE
TH.10A	8.5 FT DEEP
TH.10B	LEGE @ 3 FT
TH.11	NO LEGE
TH.12	9.3 FT DEEP





**GENERAL NOTES:**

1. DEED REFERENCE: BK 2147, PG 102.
2. THIS SUBJECT PARCEL IS NOT LOCATED WITHIN A FLOOD ZONE.
3. SOILS ON SITE ARE CLASSIFIED AS CANTON-LIBRAN LAND COMPLEX, VERY ROCKY (CC) AND PITTSFORD SILT LOAM, 0 TO 3 PERCENT SLOPES (Pma) AS IDENTIFIED BY THE USDA RI SOIL SURVEY. THERE ARE NO AREAS OF PRIME AGRICULTURAL SOIL AND/OR FARMLAND SOILS ON THE PROPERTY.
4. THERE ARE NO AREAS OF EXISTING, ACTIVE AGRICULTURAL USE ON THE SUBJECT PROPERTY.
5. SUBJECT PROPERTY IS SITUATED ON OR IN THE VICINITY OF THE PROJECT SUBJECT PARCEL.
6. THERE ARE NO HISTORIC FEATURES OR HISTORIC HERITAGE AREAS ON THE SUBJECT PARCEL, IT IS NOT LOCATED WITHIN A NATURAL HERITAGE AREA AS DERIVED BY THE TOWN OF BRISTOL GIS MAPS.
7. THE SUBJECT PARCEL IS NOT LOCATED WITHIN ANY SPECIAL AREA MANAGEMENT PLAN OF THE RI CRM.
8. THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN OWTS CRITICAL RESOURCE AREA.
9. THE SUBJECT PARCEL IS NOT LOCATED WITHIN A DRINKING WATER SUPPLY WATERSHED AS DEFINED BY RIEM.
10. THE SUBJECT PARCEL IS NOT LOCATED WITHIN THE ROUTE 136 OVERLAY PER BRISTOL GIS.
11. THE SUBJECT PARCEL IS LOCATED WITHIN THE UPPER EAST PASSAGE WATERSHED.
12. THE DEVELOPMENT PARCEL IS NOT LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES.
13. THE SUBJECT PROPERTY IS NOT SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY A FULL EXAMINATION OF THE TITLE.
14. THE SUBJECT PARCEL IS NOT CONSIDERED TO BE WITHIN AN ACQUIFER RECHARGE AREA, WELLHEAD PROTECTION OR GROUNDWATER PROTECTION AREA.
15. THERE ARE NO COASTAL FEATURES WITHIN 200 FEET OF THE SUBJECT PARCEL.
16. THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE UTILIZED PRIOR TO DRAINING ANY CONSTRUCTION OPERATIONS.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR THE CONTRACTOR WITH ALL INVOLVED UTILITY COMPANIES, AND/OR TOWN WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
18. THE APPLICANT AND/OR THEIR REPRESENTATIVE AND THEIR ENGINEER HAVE WALKED THE SITE OF THE PROPOSED PROJECT.

**ZONING CRITERIA**

RIO ZONING	R10
ZONING DISTRICT	R10
MINIMUM LOT WIDTH	40.000 50. FT.
MINIMUM FRONT YARD SETBACK	30
MINIMUM SIDE YARD SETBACK	15
MINIMUM REAR YARD SETBACK	25
MAXIMUM LOT BUILDING COVERAGE	25%
MAXIMUM BUILDING HEIGHT	35' (ACCESSORY 20')

OWNER/APPLICANT  
FAIR WIND  
PROPERTIES, LLC  
PO BOX 298  
BRISTOL, RI 02809

**EXISTING CONDITIONS PLAN**

**PRINCIPLE COMPANY, INC.**  
ENGINEERING DIVISION  
PO BOX 298  
BRISTOL, RI 02809  
TEL: 401-866-9329  
WWW.PRINCIPLEENGINEERING.COM

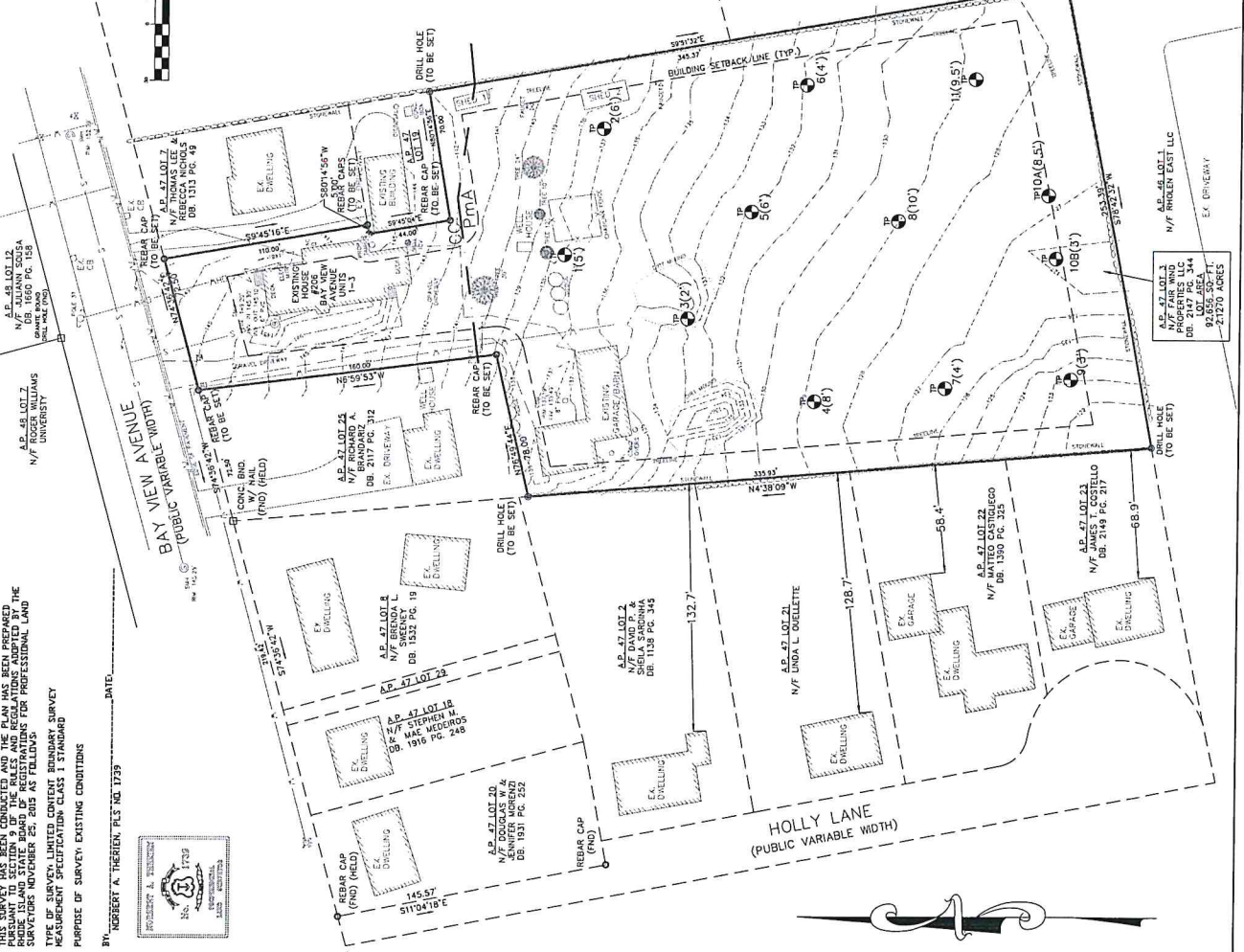
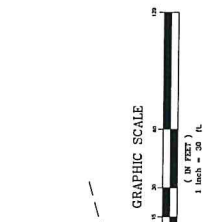
PRE APPLICATION SUBMISSION  
COMPREHENSIVE PERMIT APPLICATION  
"FAIR WIND VILLAGE"  
206 BAY VIEW AVENUE  
BRISTOL, RHODE ISLAND

SCALE: 1" = 30'  
DRAWN BY: NEC  
CHECKED BY: JAR  
DATE: 03/25/22  
PROJECT NO: LD-2021-35

Thomas J. Principe, III  
No. 8189  
REGISTERED PROFESSIONAL ENGINEER  
STATE OF RHODE ISLAND

**REVISIONS**

NO.	DATE	DESCRIPTION
1.	03/25/22	ASB
2.		
3.		
4.		
5.		
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16.		
17.		
18.		
19.		
20.		



LEGE TESTS:  
DATE: 07/27/2022

- TH.1 LEUGE @ 8 FT
- TH.2 LEUGE @ 6 FT
- TH.3 LEUGE @ 2 FT
- TH.4 LEUGE @ 4 FT
- TH.5 LEUGE @ 6 FT
- TH.6 LEUGE @ 4 FT
- TH.7 LEUGE @ 4 FT
- TH.8 NO LEUGE 10 FT DEEP
- TH.9 LEUGE @ 3 FT
- TH.10A NO LEUGE 8.5 FT DEEP
- TH.10B LEUGE @ 3 FT
- TH.11 NO LEUGE 9.5 FT DEEP

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE R.I. PROFESSIONAL LAND SURVEYORS BOARD OF REGISTRATIONS FOR PROFESSIONAL LAND SURVEYORS NOVEMBER 25, 2015 AS FOLLOWS:  
TYPE OF SURVEY: LIMITED CONTENT BOUNDARY SURVEY  
PURPOSE OF SURVEY: EXISTING CONDITIONS

BY: ROBERT A. THEBEN, P.L.S. NO. 1739  
DATE:

ROBERT A. THEBEN  
No. 1739  
REGISTERED PROFESSIONAL LAND SURVEYOR  
STATE OF RHODE ISLAND



THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE BRIDGE ISLAND STATE BOARD OF REGISTRATIONS FOR PROFESSIONAL LAND SURVEYORS NOVEMBER 25, 2015 AS FOLLOWS:  
 TYPE OF SURVEY: LIMITED CONTENT BOUNDARY SURVEY  
 PURPOSE OF SURVEY: EXISTING CONDITIONS

BY: ROBERT A. THERON, PLS NO. 1739



**GENERAL NOTES:**

1. DEED REFERENCE: BK 2147 PG 254.
2. THIS SUBJECT PARCEL IS NOT LOCATED WITHIN A FLOOD ZONE.
3. SOILS ON SITE ARE CLASSIFIED AS CANTON-LIBRAN LAND COMPLEX VERY ROCKY (CC) AND PITTSBORO SILT LOAM, 0 TO 3 PERCENT SLOPES (Pma) AS IDENTIFIED BY THE USDA RI SOIL SURVEY. THERE ARE NO AREAS OF PRIME AGRICULTURAL SOIL AND/OR FARMLAND SOILS ON THE PROPERTY.
4. THERE ARE NO AREAS OF EXISTING, ACTIVE AGRICULTURAL USE ON THE PROPERTY.
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14. THE SUBJECT PARCEL IS NOT CONSIDERED TO BE WITHIN AN AQUIFER CHARGE AREA, WELL-HEAD PROTECTION OR GROUNDWATER PROTECTION AREA.
15. THERE ARE NO COASTAL FEATURES WITHIN 200 FEET OF THE SUBJECT PARCEL.
16. THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE OBSERVED AND MAINTAINED THROUGHOUT CONSTRUCTION OPERATIONS.
17. THE LOCATION AND DEPTH OF PROPOSED UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR TOWN WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
17. THE APPLICANT AND/OR THEIR REPRESENTATIVE AND THEIR ENGINEER HAVE WALKED THE SITE OF THE PROPOSED PROJECT.

**ZONING CRITERIA**

R10 ZONING	
ZONING DISTRICT	R10
MINIMUM LOT WIDTH	40,000 SQ. FT.
MINIMUM FRONT YARD SETBACK	30'
MINIMUM SIDE YARD SETBACK	15'
MINIMUM LOT BUILDING COVERAGE	25%
MAXIMUM BUILDING HEIGHT	25' (ACCESSORY 20')

**LEGE TESTS**  
DATE: 07/27/2022

TEST NO.	TEST DESCRIPTION	TEST RESULT
TH.1	LEGE @ 5 FT	
TH.2	LEGE @ 6 FT	
TH.3	LEGE @ 2 FT	
TH.4	NO LEGE	
TH.5	LEGE @ 6 FT	
TH.6	LEGE @ 4 FT	
TH.7	LEGE @ 4 FT	
TH.8	NO LEGE	
TH.9	LEGE @ 3 FT	
TH.10A	NO LEGE	
TH.10B	LEGE @ 3 FT	
TH.11	NO LEGE	
TH.12	9.5 FT DEEP	

OWNER/APPLICANT  
 FAIR WIND  
 PROPERTIES, LLC  
 PO BOX 333  
 BRISTOL, RI 02809

**EXISTING CONDITIONS PLAN**

**PRINCEPI COMPANY, INC.**  
 ENGINEERING DIVISION  
 101-1016-3333  
 www.princepi.com

PRE APPLICATION SUBMISSION  
 COMPREHENSIVE PERMIT APPLICATION  
 "FAIR WIND VILLAGE"  
 206 BAY VIEW AVENUE  
 BRISTOL, RHODE ISLAND

SCALE: 1" = 30'  
 SHEET NO. 2 of 4  
 DRAWN BY: NEC DESIGN BY: NEC CHECKED BY: JAR  
 DATE: 05/25/22 PROJECT NO: LD-2021-35



**REVISIONS**

NO.	DATE	BY	DESCRIPTION
1.	06/07/22	JAR	TP



**GENERAL NOTES:**

- DEED REFERENCE: BK 2147, PG 50
- THIS SUBJECT PARCEL IS NOT LOCATED WITHIN A FLOOD ZONE
- SOILS ON SITE ARE CLASSIFIED AS CANTON-URBAN LAND, COMPLEX, VERY ROCKY (CC) AND PITTSBORO SILT LOAM, 0 TO 3 PERCENT SLOPES (Pma) AS IDENTIFIED BY THE USDA RI SOIL SURVEY. THERE ARE NO AREAS OF PRIME AGRICULTURAL SOIL AND/OR FARMLAND SOILS ON THE PROPERTY.
- THERE ARE NO AREAS OF EXISTING, ACTIVE AGRICULTURAL USE ON THE SUBJECT PROPERTY.
- EXISTING PROPOSED WETLANDS OR IN THE VICINITY OF THE PROJECT ARE SHOWN ON THE SUBJECT PARCEL AS DEFINED BY THE TOWN OF BRISTOL WEB GIS MAPS.
- THERE ARE NO HISTORIC CHARACTER PRESERVATION DISTRICTS OR AREAS NOT LOCATED WITHIN A NATURAL HERITAGE AREA AS DEFINED BY THE TOWN OF BRISTOL.
- THE SUBJECT PARCEL IS NOT LOCATED WITHIN ANY SPECIAL AREA MANAGEMENT PLAN OF THE RI CRM.
- THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN OWT'S CRITICAL RESOURCE AREA.
- THE SUBJECT PARCEL IS NOT LOCATED WITHIN A DRINKING WATER SUPPLY WATERSHED AS DEFINED BY RIDEM.
- THE SUBJECT PARCEL IS NOT LOCATED WITHIN THE ROUTE 136 OVERLAY PER BRISTOL GIS.
- THE SUBJECT PARCEL IS LOCATED WITHIN THE UPPER EAST PASSAGE HISTORIC PLACES.
- THE DEVELOPMENT PARCEL IS NOT LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES.
- THE SUBJECT PROPERTY IS NOT SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY A FULL EXAMINATION OF THE TITLE.
- THE SUBJECT PARCEL IS NOT CONSIDERED TO BE WITHIN AN ACQUIFER PROTECTION AREA, WELL-HEAD PROTECTION OR GROUNDWATER PROTECTION AREA.
- THERE ARE NO CONSTIAL FEATURES WITHIN 200 FEET OF THE SUBJECT PARCEL.
- THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE OBSERVED AND MAINTAINED THROUGHOUT THE CONSTRUCTION OPERATIONS. CHANGING ANY EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO INVOLVING UTILITY COMPANIES.
- NO EXCAVATION SHALL COMMENCE UNTIL ALL REQUIRED PERMITS, AND/OR TOWN WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
- THE APPLICANT AND/OR THEIR REPRESENTATIVE AND THEIR ENGINEER HAVE WALKED THE SITE OF THE PROPOSED PROJECT.

**ZONING CRITERIA**

R10 ZONING

ZONING DISTRICT	R10
MINIMUM LOT WIDTH	40,000 SQ. FT.
MINIMUM LOT DEPTH	50'
MINIMUM FRONT YARD SETBACK	30'
MINIMUM SIDE YARD SETBACK	15'
MINIMUM REAR YARD SETBACK	15'
MAXIMUM LOT BUILDING COVERAGE	25%
MAXIMUM BUILDING HEIGHT	3.5 (ACCESSORY 20')

OWNER/APPLICANT:  
FAIR WIND PROPERTIES, LLC  
PO BOX 333  
BRISTOL, RI 02809

**EXISTING CONDITIONS PLAN**



**PRINCIPLE COMPANY, INC.**  
ENGINEERING DIVISION  
1401-816-3333  
www.PrincipleEngineers.com

PRE APPLICATION SUBMISSION  
COMPREHENSIVE PERMIT APPLICATION  
"FAIR WIND VILLAGE"  
206 BAY VIEW AVENUE  
BRISTOL, RHODE ISLAND

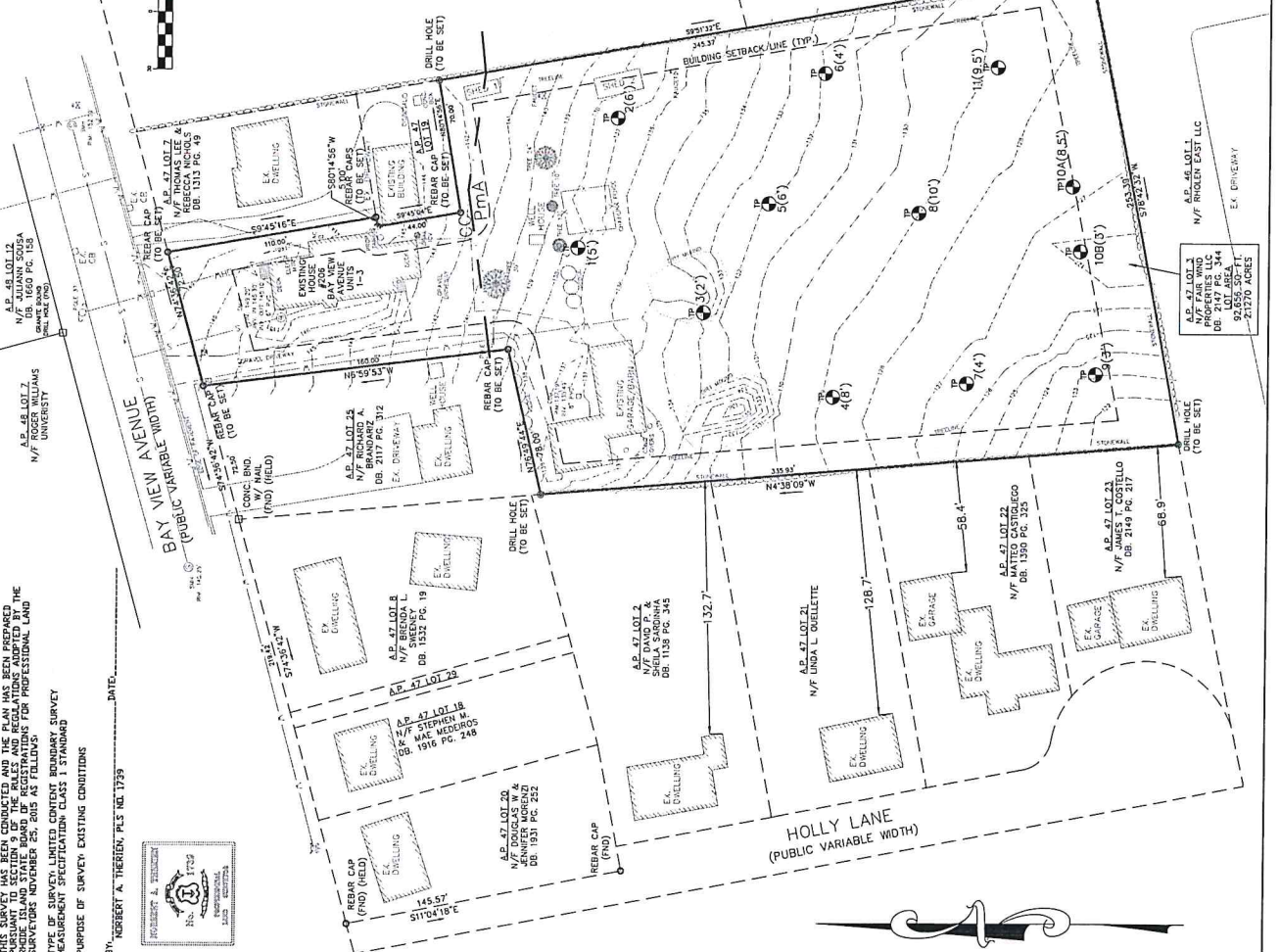
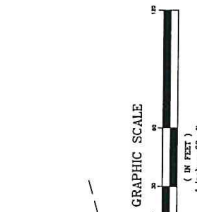
SCALE: 1" = 30'

SHEET NO. 2 of 4

DRAWN BY: REC  
DESIGN BY: REC  
CHECKED BY: JAR  
DATE: 05/25/22  
PROJECT NO: LD-2021-35

**REVISIONS**

NO.	DATE	BY	DESCRIPTION
1.	05/27/22	JAR	1P



THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE R.I. PROFESSIONAL LAND SURVEYORS NOVEMBER 25, 2015 AS FOLLOWS:  
TYPE OF SURVEY: LIMITED CONTENT BOUNDARY SURVEY  
PURPOSE OF SURVEY: EXISTING CONDITIONS

BY: ROBERT A. THERON, PLS. NO. 1739

LEGE TESTS:  
DATE: 07/27/2022

- TH 1 LEGE @ 5 FT
- TH 2 LEGE @ 6 FT
- TH 3 LEGE @ 2 FT
- TH 4 NO LEGE
- TH 5 8 FT DEEP
- TH 6 LEGE @ 6 FT
- TH 7 LEGE @ 4 FT
- TH 8 LEGE @ 4 FT
- TH 9 NO LEGE
- TH 10 10 FT DEEP
- TH 11 LEGE @ 3 FT
- TH 12 NO LEGE
- TH 13 9.5 FT DEEP

A.P. 47 LOT 26  
N/F DAVID P. & JENNIFER MORRIS  
DB: 1138 PG. 345

A.P. 46 LOT 1  
N/F RICHLEY EAST LLC  
DB: 21270 ACRES

**GENERAL NOTES.**

1. DEED REFERENCE: BK 2147, PG 100.
2. THIS SUBJECT PARCEL IS NOT LOCATED WITHIN A FLOOD ZONE.
3. SOILS ON SITE ARE CLASSIFIED AS CANTON-URBAN LAND, COMPLEX VERY ROCKY (CC) AND PITTSBORO SILT LOAM, 0 TO 3 PERCENT SLOPES (Pma) AS IDENTIFIED BY THE USDA RI SOIL SURVEY. THERE ARE NO AREAS OF PRIME AGRICULTURAL SOIL AND/OR FARMLAND SOILS ON THE PROPERTY.
4. THERE ARE NO AREAS OF EXISTING, ACTIVE AGRICULTURAL USE ON THE SUBJECT PROPERTY.
5. THERE ARE NO HISTORIC FEATURES OR MONUMENTS ON THE SUBJECT PARCEL. IT IS NOT LOCATED WITHIN A NATURAL HERITAGE AREA AS DEFINED BY THE TOWN OF BRISTOL WEB GIS MAPS.
6. THE SUBJECT PARCEL IS NOT LOCATED WITHIN ANY SPECIAL AREA MANAGEMENT PLAN OF THE RI CRMC.
7. THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN OWTS CRITICAL RESOURCE AREA.
8. THE SUBJECT PARCEL IS NOT LOCATED WITHIN A DRINKING WATER SUPPLY WATERSHED AS DEFINED BY RIDEM.
9. THE SUBJECT PARCEL IS NOT LOCATED WITHIN THE UPPER EAST PASSAGE PER BRISTOL GIS.
10. THE SUBJECT PARCEL IS NOT LOCATED WITHIN THE UPPER EAST PASSAGE WATERSHED AS DEFINED BY RIDEM.
11. THE SUBJECT PARCEL IS LOCATED WITHIN THE NATIONAL REGISTER OF HISTORIC PLACES.
12. THE SUBJECT PARCEL IS NOT LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES.
13. THE SUBJECT PROPERTY IS NOT SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY A FULL EXAMINATION OF THE TITLE.
14. THE SUBJECT PARCEL IS NOT CONSIDERED TO BE WITHIN AN AQUIFER RECHARGE AREA, WELLHEAD PROTECTION OR GROUNDWATER PROTECTION AREA.
15. THERE ARE NO CONSTIAL FEATURES WITHIN 200 FEET OF THE SUBJECT PARCEL.
16. THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE USED TO DETERMINE THE EXACT LOCATION OF UTILITIES. SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL UTILITY COMPANIES. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR TOWN WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
17. THE APPLICANT AND/OR THEIR REPRESENTATIVE AND THEIR ENGINEER HAVE WALKED THE SITE OF THE PROPOSED PROJECT.

**ZONING CRITERIA**

	R10 ZONING
ZONING DISTRICT	R10
MINIMUM LOT WIDTH	40,000 SQ. FT.
MINIMUM FRONT YARD SETBACK	30'
MINIMUM SIDE YARD SETBACK	15'
MINIMUM LOT BUILDING COVERAGE	25%
MAXIMUM BUILDING HEIGHT	35' (ACCESSORY 20')

OWNER/APPLICANT  
 FAIR WIND  
 PROPERTIES, LLC  
 PO BOX 333  
 BRISTOL, RI 02809

**EXISTING CONDITIONS PLAN**

**PRINCIPLE COMPANY, INC.**  
 ENGINEERING DIVISION  
 101-101-33378  
 www.PrincipleEngineering.com

PRE APPLICATION SUBMISSION  
 COMPREHENSIVE PERMIT APPLICATION  
 "FAIR WIND VILLAGE"  
 206 BAY VIEW AVENUE  
 BRISTOL, RHODE ISLAND

SCALE: 1" = 30'

SHEET NO. 2 of 4

DRAWN BY: REC  
 DESIGN BY: REC  
 CHECKED BY: JAR

DATE: 05/25/22  
 PROJECT NO: LD-2021-35

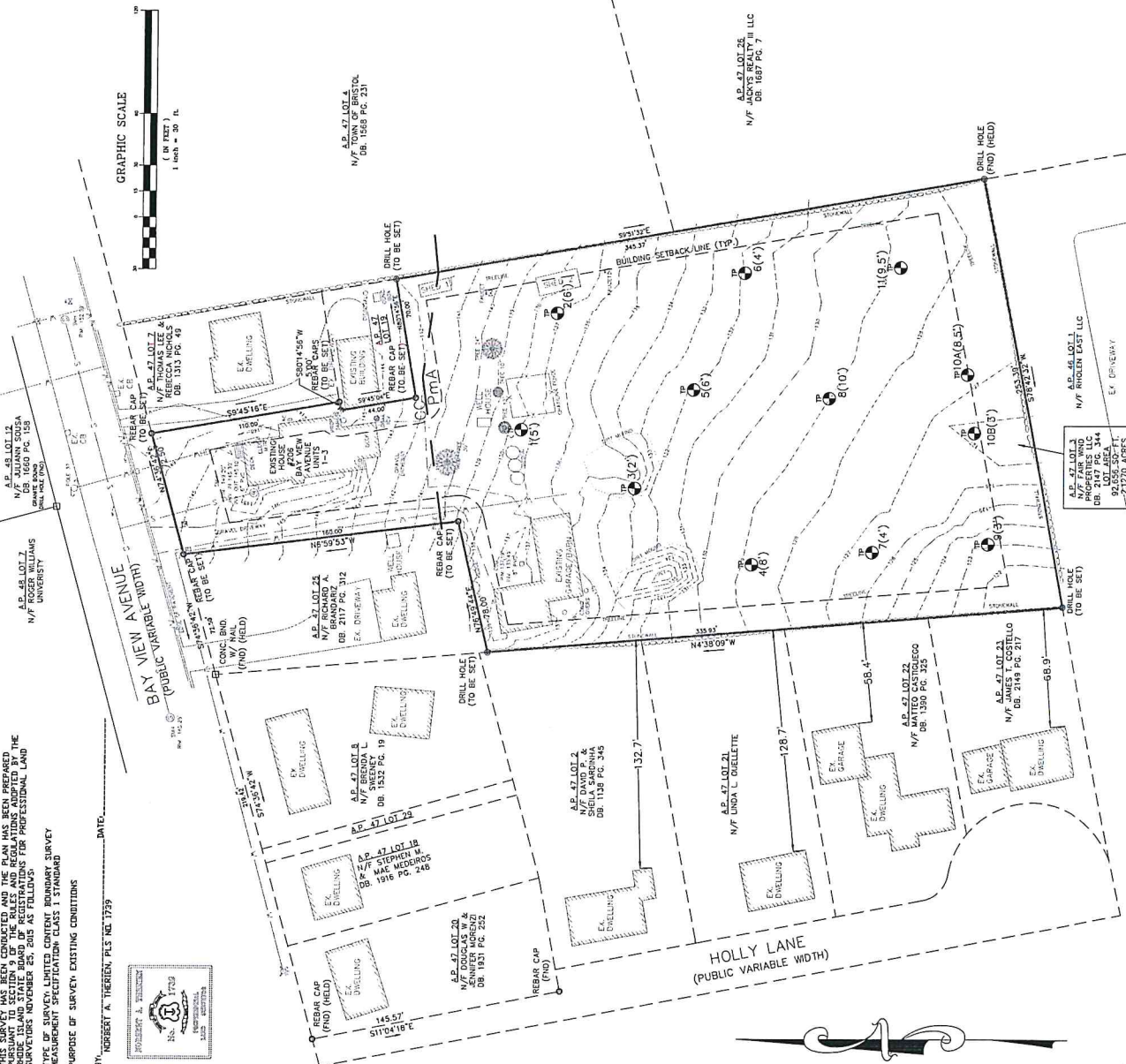
Thomas J. Principe, III  
 No. 8107  
 REGISTERED PROFESSIONAL ENGINEER

**REVISIONS**

NO.	DATE	BY	DESCRIPTION
1.	05/27/22	JAR	IF

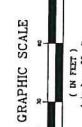
**LEGE ISSUES**

- DATE: 07/27/2022
- TH.1 LEGE @ 5 FT
  - TH.2 LEGE @ 6 FT
  - TH.3 LEGE @ 2 FT
  - TH.4 LEGE @ 8 FT DEEP
  - TH.5 LEGE @ 6 FT
  - TH.6 LEGE @ 4 FT
  - TH.7 LEGE @ 4 FT
  - TH.8 NO LEGE
  - TH.9 LEGE @ 3 FT
  - TH.10A NO LEGE
  - TH.10B 8.5 FT DEEP
  - TH.10C 8.5 FT DEEP
  - TH.11 NO LEGE
  - TH.12 9.5 FT DEEP



THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE R.I. PROFESSIONAL LAND SURVEYORS BOARD OF REGISTRATIONS FOR PROFESSIONAL LAND SURVEYORS NOVEMBER 25, 2015 AS FOLLOWS:  
 TYPE OF SURVEY: LIMITED CONTENT BOUNDARY SURVEY  
 PURPOSE OF SURVEY: EXISTING CONDITIONS

BY: ROBERT A. THERIEN, PLS No. 1239





A

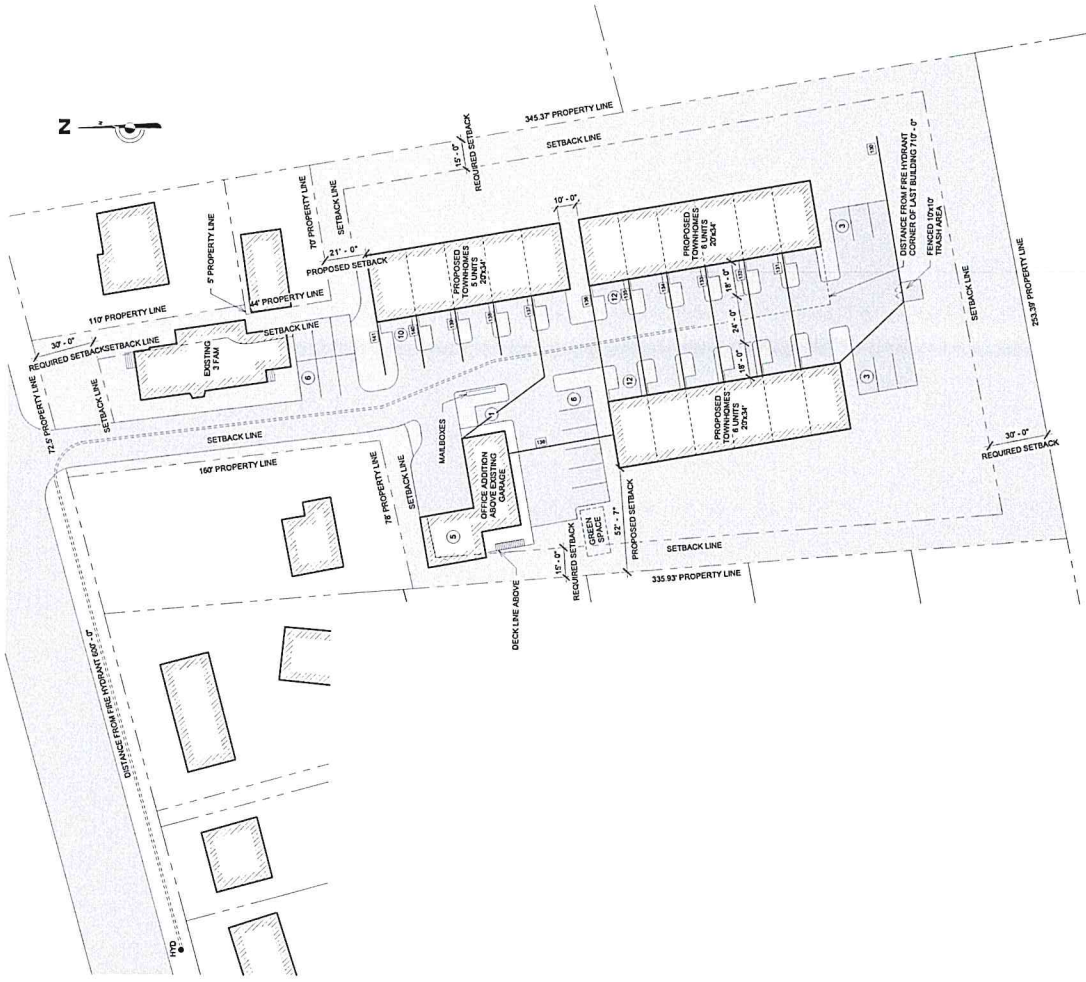
ZONING TABLE

PLAT - 47  
LOT - 3  
ZONE - R-10

ITEM	REQUIRED	PROVIDED
LOT AREA	10,000 SF / DWELLING UNIT	92,656 SF
LOT WIDTH	60'	67'
FRONT SETBACK	30'	30'
REAR SETBACK	15'	15'
SIDE SETBACK	30'	30'
LOT BUILDING COVERAGE	25%	23% (23,164 SF)
		16.2% (14,933 SF)

PARKING REQUIREMENTS:  
 (2) SPACES PER DWELLING UNIT (40) REQUIRED  
 (1) PER 300 GSF FOR OFFICE, (5) REQUIRED  
 (8) PARKING SPACES PROVIDED

B



C

D

David Sisson Architecture PC  
 245 Taylor Ave  
 Kenton, OH 45024  
 www.dsissonarch.com 401-999-2070

REV.#	DATE	ISSUED FOR
2024-10-23		OWNER REVIEW

206 Bayview Ave  
 Bristol, OH 45809  
 PROJECT NUMBER: 23001

SITE PLAN

OPT 10

A0.1

Item B1.

C SITE - PROPOSED  
 1" = 30'-0"





**A**  
KEYED NOTES

**B**

**C**

**D**

- 1 VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT SCALE DRAWING.
- 2 ALL INTERIOR WALLS SHALL BE 1/2" C. UNLESS NOTED OTHERWISE. PROVIDE DOUBLE TOP PLATES. SEE SCHEDULE FOR FINISHES.
- 3 PROVIDE 2x4 JOISTS 4" OFF WALL UNLESS NOTED OTHERWISE.
- 4 CENTER DOORS IN WALL UNLESS NOTED OTHERWISE.
- 5 PROVIDE UNCOVERED AND INTERCONNECTED SMOKE AND CO DETECTORS WITH BATTERY BACKUP PER CODE REQUIREMENTS. AS DIRECTED BY THE LOCAL BUILDING DEPT.
- 6 PROTECT IN PLACE ALL EXISTING FIXTURES AND SURFACES SCHEDULED TO REMAIN.
- 7 PATCH AND REPAIR EXISTING WALLS LOCATED IN UNFINISHED AREAS TO MATCH EXISTING WALLS. WHETHER SHOWN ON THE DRAWINGS OR NOT.
- 8 PATCH PAINT AND REFINISH ALL EXISTING WALLS, CEILING, FLOORS AND FLOORING UNLESS NOTED OTHERWISE. MATERIALS SHALL MATCH EXISTING UNLESS NOTED OTHERWISE.
- 9 PLANS DO NOT FULLY REPRESENT ALL NEW WORK. UNLESS NOTED OTHERWISE, ALL NEW WORK SHALL BE PERFORMED TO SERVE AS GENERAL GUIDELINES.
- 10 DIMENSIONS SHOWN ARE FROM FACE OF STUD OR FINISH SURFACE UNLESS NOTED OTHERWISE.
- 11 PROVIDE ELECTRICAL PER STATE ELECTRICAL CODE REQUIREMENTS. PROVIDE ALL NEW ELECTRICAL DEVICES PER NEC REQUIREMENTS & OWNER'S REQUIREMENTS.
- 12 PROVIDE PLUMBING PER STATE PLUMBING CODE REQUIREMENTS.
- 13 HVAC SYSTEM TO BE DESIGN BUILT. PROVIDE PER STATE CODE REQUIREMENTS.
- 14 PROVIDE SOLID WOOD BLOCKING AS REQUIRED. REQUIREMENTS OF THE BUILDING OFFICIAL.
- 15 PROVIDE FIRE EXTINGUISHERS PER CODE AND PER REQUIREMENTS OF THE BUILDING OFFICIAL.
- 16 ALL BATT INSULATION FULL DEPTH AT ALL EXPOSED STUD JOINTS TO BE SPUN TO COMPLY WITH (R20 CAVITIES).
- 17 COVER ALL WALLS AND CEILING WITH 1/2" THICK GYPSUM BOARD UNLESS NOTED OTHERWISE.
- 18 ALL APPLIANCES PROVIDED BY OWNER. INSTALLED BY CONTRACTOR.
- 19 RECONNECT EXISTING FIXTURES TO NEW SWITCH LOCATIONS AS REQUIRED IN THE FIELD.
- 20 PROVIDE DIMERS AS DIRECTED BY OWNER.
- 21 TELEPHONE AND OTHER LOW VOLTAGE WIRING TO BE PROVIDED BY OTHER CONTRACTOR. LOCATIONS OF ALL LOW VOLTAGE WIRING.

- PLAN LEGEND**
- EXISTING DOOR
  - EXISTING PARTITION
  - NEW DOOR
  - FULL HEIGHT PARTITION
  - PARTIAL HEIGHT PARTITION
  - BEAM OVERHEAD
- COLUMN LOCATION
  - CO
  - SO
  - HO
  - FO

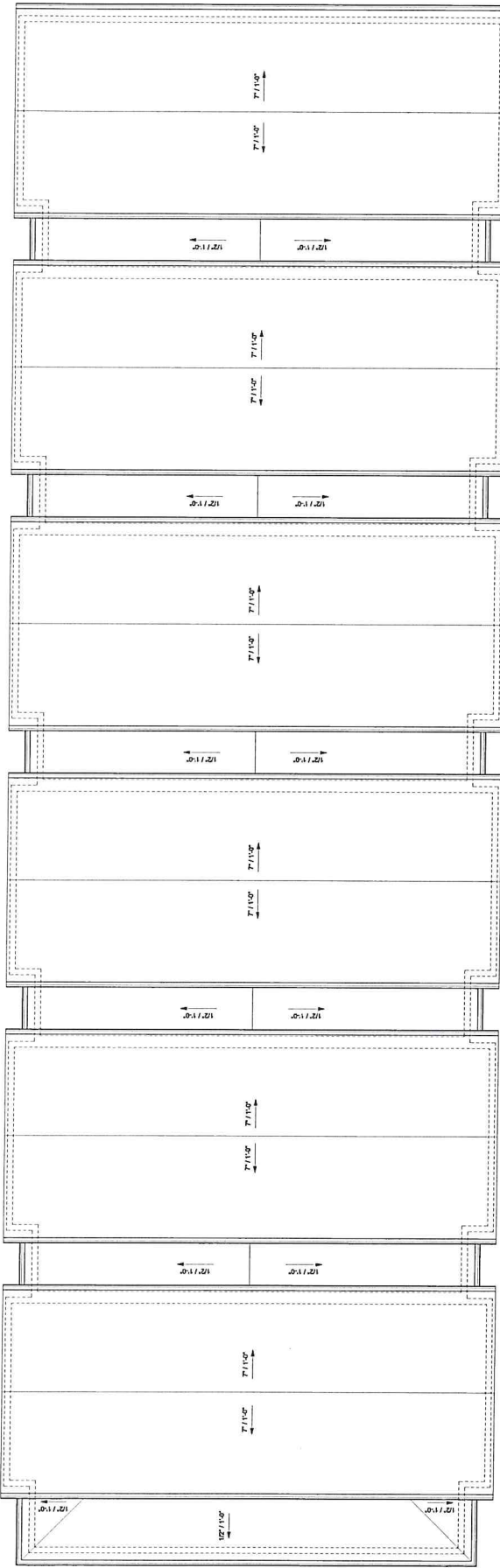
- GENERAL NOTES**
- 1 VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT SCALE DRAWING.
  - 2 ALL INTERIOR WALLS SHALL BE 1/2" C. UNLESS NOTED OTHERWISE. PROVIDE DOUBLE TOP PLATES. SEE SCHEDULE FOR FINISHES.
  - 3 PROVIDE 2x4 JOISTS 4" OFF WALL UNLESS NOTED OTHERWISE.
  - 4 CENTER DOORS IN WALL UNLESS NOTED OTHERWISE.
  - 5 PROVIDE UNCOVERED AND INTERCONNECTED SMOKE AND CO DETECTORS WITH BATTERY BACKUP PER CODE REQUIREMENTS. AS DIRECTED BY THE LOCAL BUILDING DEPT.
  - 6 PROTECT IN PLACE ALL EXISTING FIXTURES AND SURFACES SCHEDULED TO REMAIN.
  - 7 PATCH AND REPAIR EXISTING WALLS LOCATED IN UNFINISHED AREAS TO MATCH EXISTING WALLS. WHETHER SHOWN ON THE DRAWINGS OR NOT.
  - 8 PATCH PAINT AND REFINISH ALL EXISTING WALLS, CEILING, FLOORS AND FLOORING UNLESS NOTED OTHERWISE. MATERIALS SHALL MATCH EXISTING UNLESS NOTED OTHERWISE.
  - 9 PLANS DO NOT FULLY REPRESENT ALL NEW WORK. UNLESS NOTED OTHERWISE, ALL NEW WORK SHALL BE PERFORMED TO SERVE AS GENERAL GUIDELINES.
  - 10 DIMENSIONS SHOWN ARE FROM FACE OF STUD OR FINISH SURFACE UNLESS NOTED OTHERWISE.
  - 11 PROVIDE ELECTRICAL PER STATE ELECTRICAL CODE REQUIREMENTS. PROVIDE ALL NEW ELECTRICAL DEVICES PER NEC REQUIREMENTS & OWNER'S REQUIREMENTS.
  - 12 PROVIDE PLUMBING PER STATE PLUMBING CODE REQUIREMENTS.
  - 13 HVAC SYSTEM TO BE DESIGN BUILT. PROVIDE PER STATE CODE REQUIREMENTS.
  - 14 PROVIDE SOLID WOOD BLOCKING AS REQUIRED. REQUIREMENTS OF THE BUILDING OFFICIAL.
  - 15 PROVIDE FIRE EXTINGUISHERS PER CODE AND PER REQUIREMENTS OF THE BUILDING OFFICIAL.
  - 16 ALL BATT INSULATION FULL DEPTH AT ALL EXPOSED STUD JOINTS TO BE SPUN TO COMPLY WITH (R20 CAVITIES).
  - 17 COVER ALL WALLS AND CEILING WITH 1/2" THICK GYPSUM BOARD UNLESS NOTED OTHERWISE.
  - 18 ALL APPLIANCES PROVIDED BY OWNER. INSTALLED BY CONTRACTOR.
  - 19 RECONNECT EXISTING FIXTURES TO NEW SWITCH LOCATIONS AS REQUIRED IN THE FIELD.
  - 20 PROVIDE DIMERS AS DIRECTED BY OWNER.
  - 21 TELEPHONE AND OTHER LOW VOLTAGE WIRING TO BE PROVIDED BY OTHER CONTRACTOR. LOCATIONS OF ALL LOW VOLTAGE WIRING.

**1**

**2**

**3**

**4**



**A3** FLOOR PLAN - ROOF  
1/4" = 1'-0"

**4**

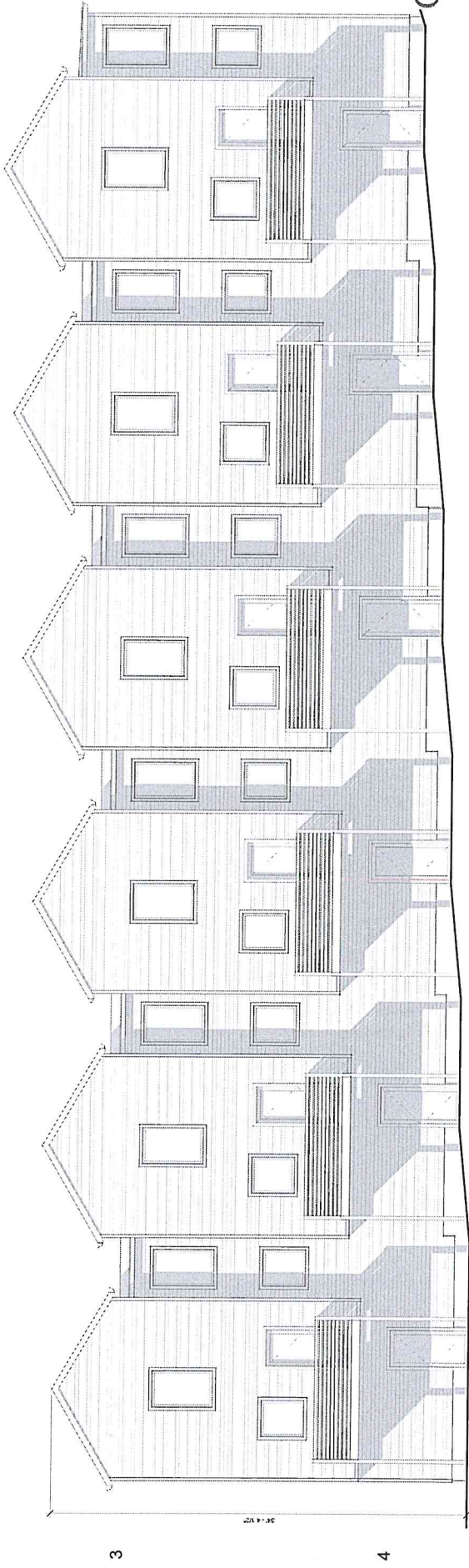
REV.#	DATE	ISSUED FOR	OWNER REVIEW

REV #	DATE	ISSUED FOR
2024-10-23	2024-10-23	OWNER REVIEW

david sisson architecture pc  
 345 Tenthon Ave  
 02811 Providence, RI 02811  
 Phone: 401-859-2070  
 Fax: 401-859-2070  
 Email: info@ds-arch.com  
 Website: www.ds-arch.com



WEST ELEVATION  
1/4" = 1'-0"



EAST ELEVATION  
1/4" = 1'-0"

A

B

C

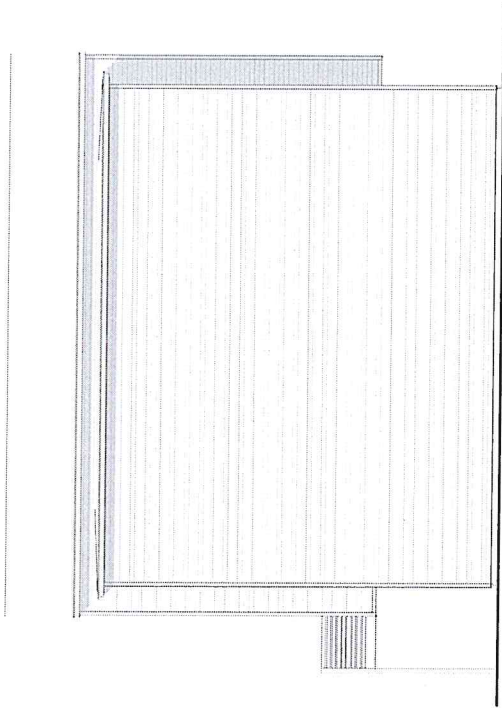
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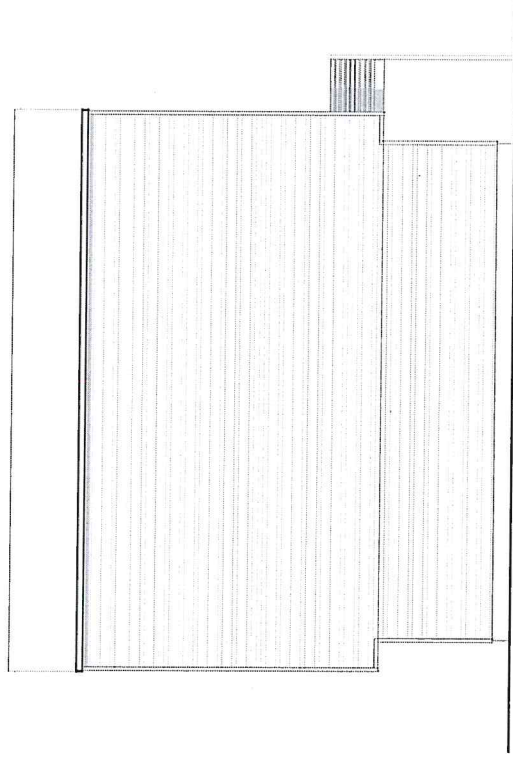
2

3

4



**N** NORTH ELEVATION  
1/4" = 1'-0"



**S** SOUTH ELEVATION  
1/4" = 1'-0"

145 Tanton Ave  
 East Providence RI 02914  
 www.davidssonarch.com info@da-arch.com 401-955-0770  
**davidsson architecture pc**

REV. #	DATE	ISSUED FOR
2024-10-23	OWNER REVIEW	

PROJECT NUMBER: 23031  
 206 Bayview Ave  
 Bristol, RI 02809

ELEVATIONS

OPT 10

A5.1

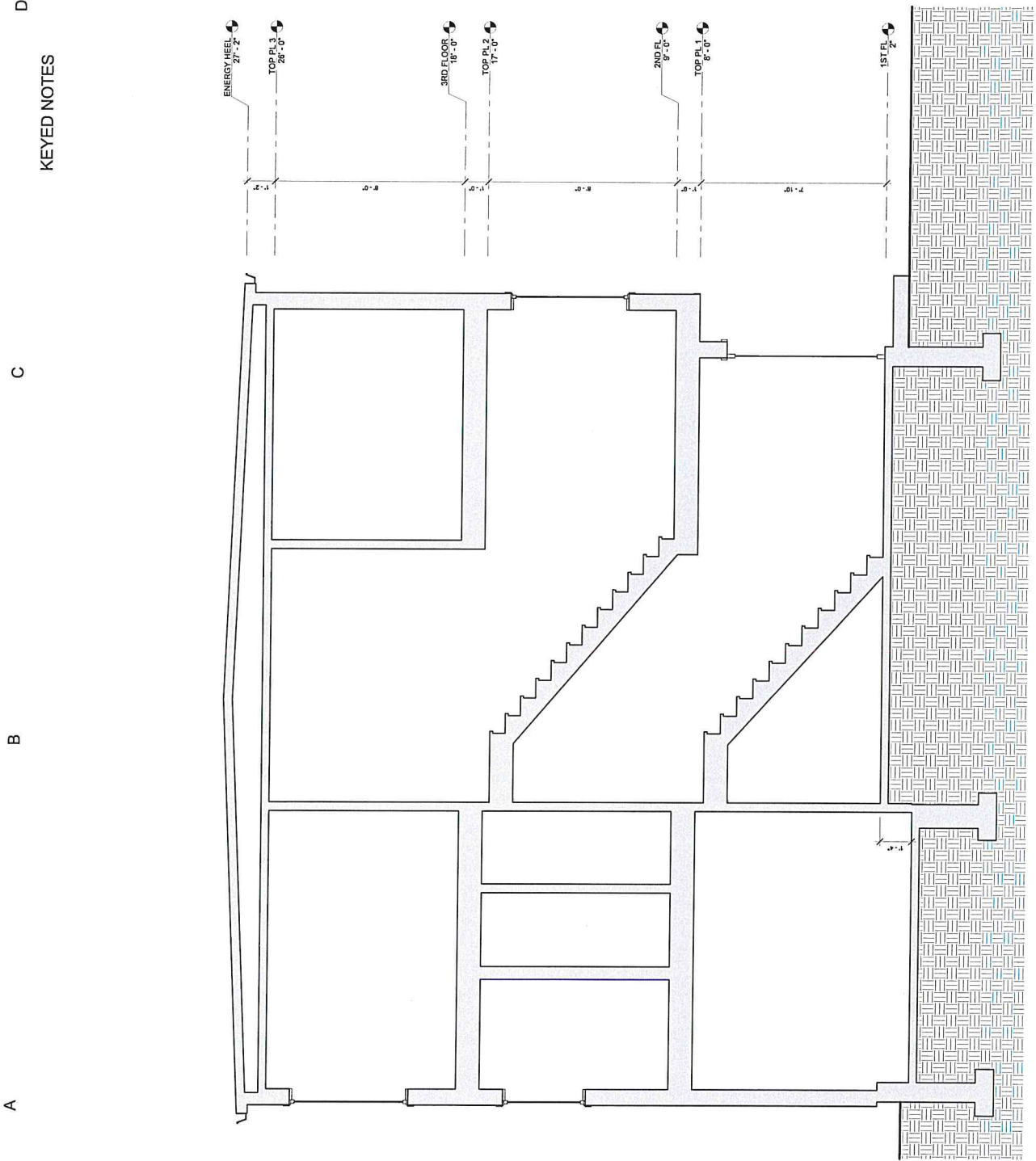
Item B1.



REV.#	DATE	ISSUED FOR
2024-10-23	OWNER REVIEW	

David Sisson architecture pc  
245 Tannock Ave  
East Providence RI 02914  
www.ds-arch.com info@ds-arch.com 401-955-0710

SECTION 1  
1/2" = 1'-0"



1 2 3 4

KEYED NOTES

D

C

B

A

A

ZONING TABLE

PLAT = 47  
LOT = 3  
ZONE = R-10

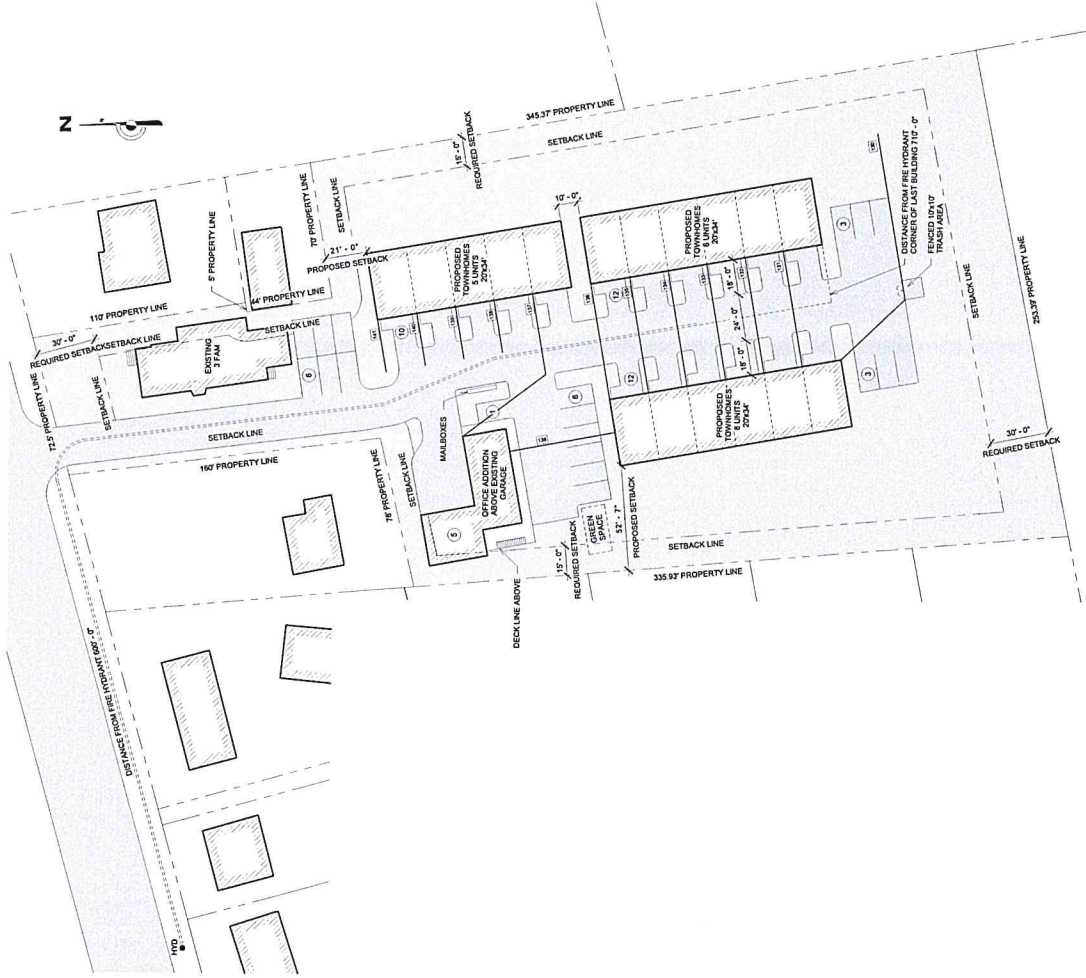
ITEM	REQUIRED	PROVIDED
LOT SIZE	10,000 SF / DWELLING UNIT	92,656 SF
LOT FRONTAGE	60'	
FRONT SETBACK	30'	
REAR SETBACK	15'	
SIDE SETBACK	30'	
HEIGHT	35'	
LOT BUILDING COVERAGE	25% (25,164 SF)	16.2% (14,933 SF)

PARKING REQUIREMENTS:  
 (2) SPACES PER DWELLING UNIT (40) REQUIRED  
 (1) PER 300 GSF FOR OFFICE (5) REQUIRED  
 (58) PARKING SPACES PROVIDED

B

C

D



SCALE - PROPOSED  
 1" = 30'-0"

1

2

3

4



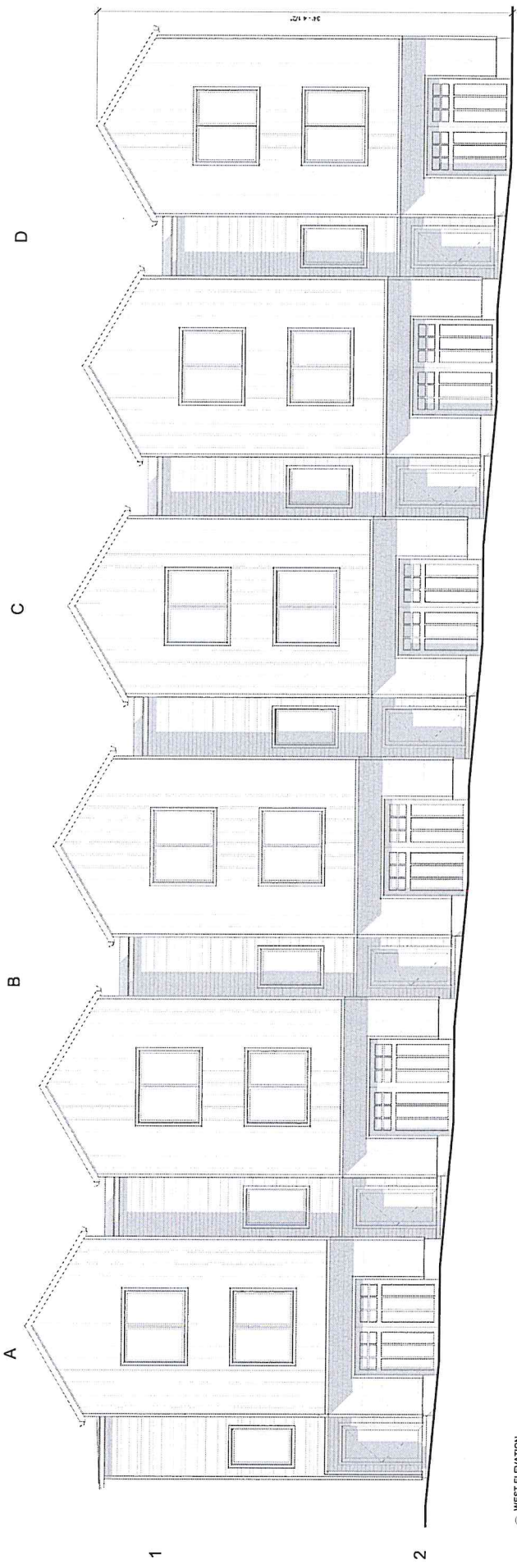




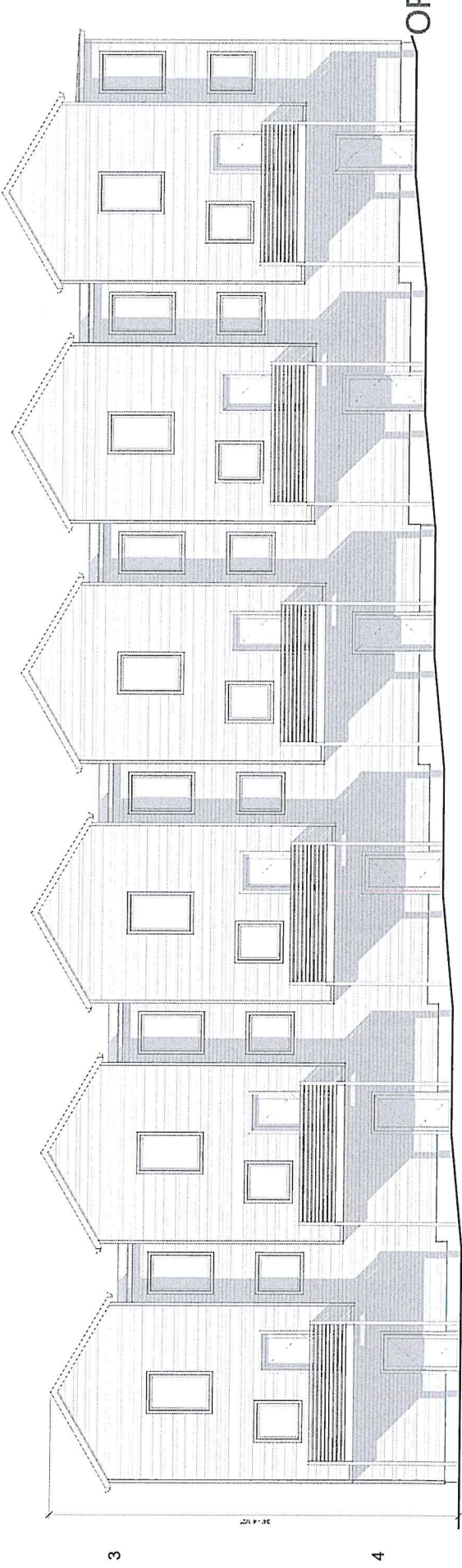


REV. #	DATE	ISSUED FOR
2024-10-23	OWNER REVIEW	

David Sisson Architecture PC  
 245 Tannock Ave  
 East Providence RI 02914  
 www.ds-arch.com 401-955-7070



WEST ELEVATION  
1/4" = 1'-0"



EAST ELEVATION  
1/4" = 1'-0"



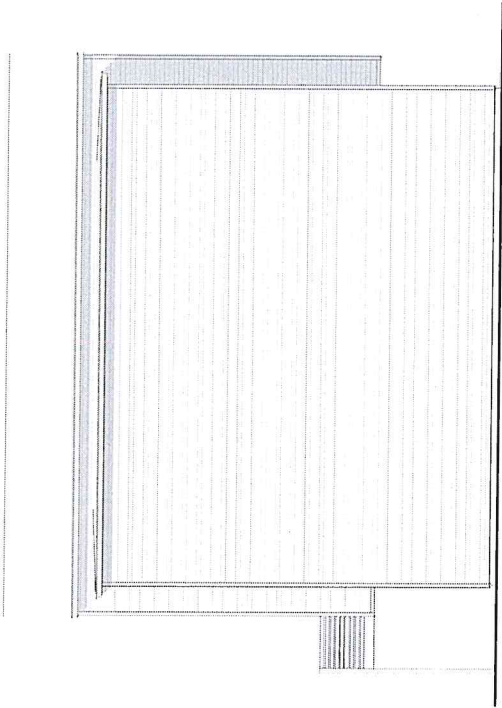
A

B

C

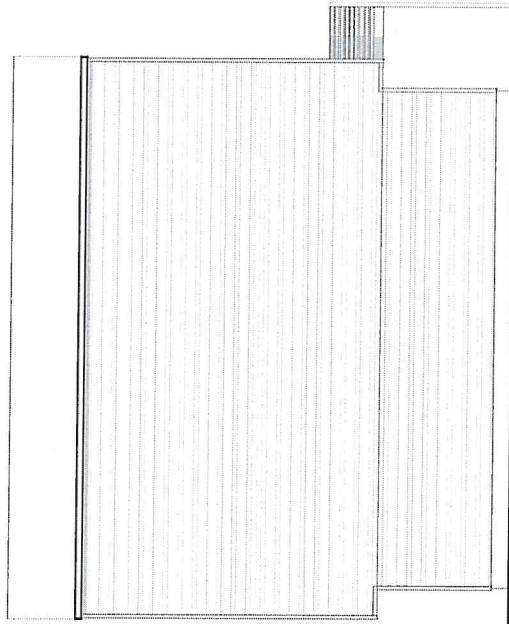
D

1



1 NORTH ELEVATION  
1/4" = 1'-0"

2



2 SOUTH ELEVATION  
1/4" = 1'-0"

3

4

David Sasson Architecture PC  
 245 Tansboro Ave  
 East Providence RI 02914  
 www.ds-arch.com info@ds-arch.com 401.995.7070

REV.#	DATE	ISSUED FOR
2024-10-23	OWNER REVIEW	

206 Bayview Ave  
 Bristol, RI 02809  
 PROJECT NUMBER: 23031

ELEVATIONS

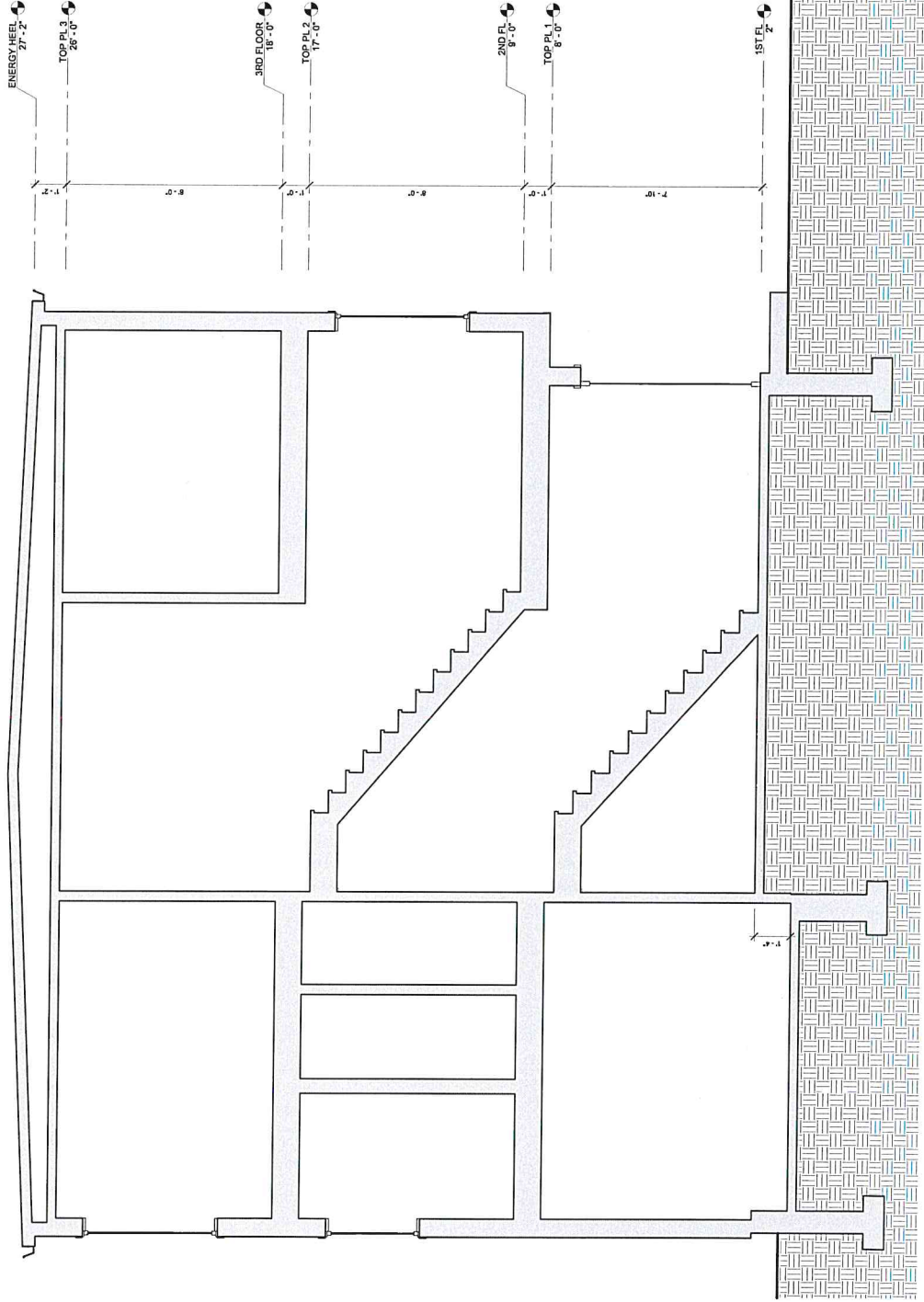
OPT 10

A5.1

Item B1.

A B C D

KEYED NOTES



SECTION 1  
1/2" = 1'-0"

REV. #	DATE	ISSUED FOR	OWNER REVIEW

A

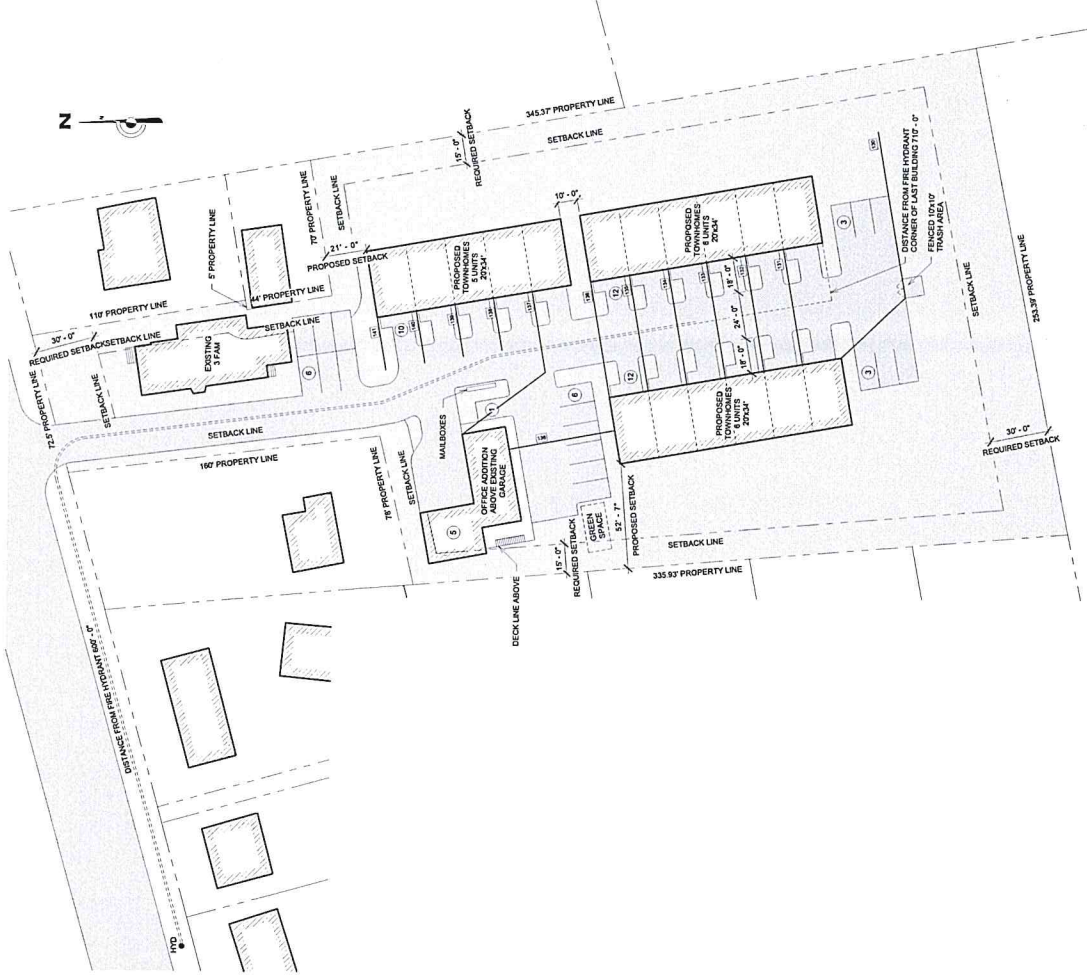
ZONING TABLE

PLAT = 47  
LOT = 3  
ZONE = R-10

ITEM	REQUIRED	PROVIDED
LOT SIZE	10,000 SF / DWELLING UNIT	92,656 SF
LOT FRONTAGE	80'	
FRONT SETBACK	30'	
REAR SETBACK	15'	
SIDE SETBACK	30'	
HEIGHT	35'	
LOT BUILDING COVERAGE	25% (23,164 SF)	16.2% (14,933 SF)

PARKING REQUIREMENTS:  
 (2) SPACES PER DWELLING UNIT (40) REQUIRED  
 (1) PER 300 GSF FOR OFFICE, (5) REQUIRED  
 (8) PARKING SPACES PROVIDED

B



C

D

1

2

3

4



**A** KEYED NOTES

**B**

**PLAN LEGEND**

- EXISTING DOOR
- EXISTING PARTITION
- NEW DOOR
- FULL HEIGHT PARTITION
- PARTIAL HEIGHT PARTITION
- BEAM OVERHEAD

**C**

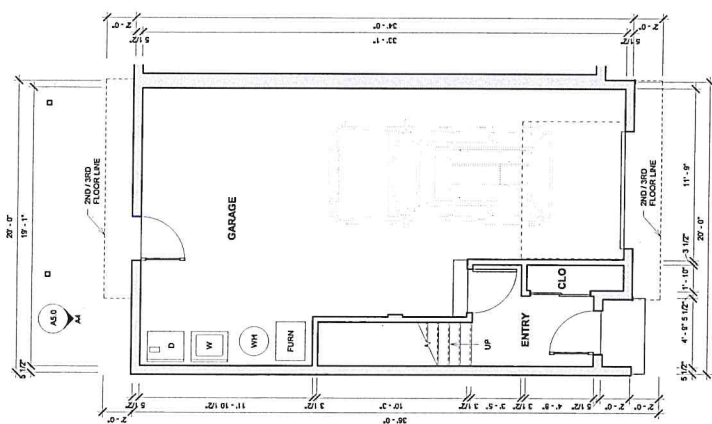
- COLUMN LOCATION
- CO
- SD
- HD
- R

**D**

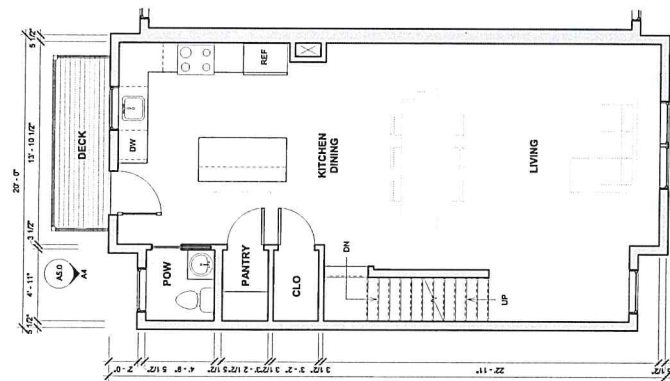
**GENERAL NOTES**

- 1 VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT SCALE.
- 2 ALL INTERIOR WALLS 2x4 AT 16" O.C. UNLESS NOTED OTHERWISE. PROVIDE DOUBLE TOP PLATES. SEE SCHEDULE 40.
- 3 PROVIDE FINISHING PER STATE PLUMBING CODE REQUIREMENTS.
- 4 CENTER DOORS IN WALL UNLESS NOTED OTHERWISE.
- 5 PROVIDE HARDWOOD AND INTERCONNECTED SMOKE AND CO DETECTORS WITH BATTERY BACKUP PER CODE AND LOCAL A.S.D. AS DIRECTED BY THE LOCAL BUILDING DEPT.
- 6 PROTECT IN PLACE ALL EXISTING FEATURES AND PATCH AND REPAIR EXISTING WALLS LOCATED IN AREAS TO BE REMOVED.
- 7 PATCH PAINT AND FINISH ALL EXISTING WALLS, WHETHER SHOWN ON THE DRAWINGS OR NOT.
- 8 PATCH PAINT AND FINISH ALL EXISTING WALLS, WHETHER SHOWN ON THE DRAWINGS OR NOT. MATERIALS MATCH WHEN DAMAGED (AT POINT OF REPAIR).
- 9 PLANS DO NOT FULLY REPRESENT ALL NEW WORK. DIMENSIONS SHOWN ARE FROM FACE OF STUD OR MOUNTING SURFACE UNLESS NOTED OTHERWISE.
- 10 MIN W/ CLOSER
- 11 PROVIDE ELECTRICAL PER STATE ELECTRICAL CODE. LOCATE NEW ELECTRICAL DEVICES PER REQUIREMENTS 4 AND OWNER'S REQUIREMENTS.
- 12 PROVIDE FINISHING PER STATE PLUMBING CODE REQUIREMENTS.
- 13 HVAC SYSTEM TO BE DESIGN BUILT. PROVIDE PER STATE CODE REQUIREMENTS.
- 14 PROVIDE SOLID WOOD BLOCKING AS REQUIRED.
- 15 PROVIDE FIRE EXTINGUISHERS PER CODE AND PER REQUIREMENTS OF THE BUILDING OFFICIAL.
- 16 ALL BATT INSULATION FULL DENSITY AT ALL EXPOSED STUD JOINTS (TYPED CELLULOSIC BATT INSULATION (GAYLOR)).
- 17 COVER ALL WALLS AND CEILING WITH THICK OPTIMUM BOARD UNLESS NOTED OTHERWISE.
- 18 ALL APPLIANCES PROVIDED BY OWNER, INSTALLED BY CONTRACTOR.
- 19 RECONNECT EXISTING EXPOSURES TO NEW SWITCH LOCATIONS AS REQUIRED IN THE FIELD.
- 20 PROVIDE DIMERS AS DIRECTED BY OWNER.
- 21 PROVIDE DIMERS AS DIRECTED BY OWNER.
- 22 PROVIDE ALL TELEPHONE AND OTHER LOW VOLTAGE WIRING PER LOCAL CODE. PROVIDE ALL WIRING PER LOCAL CODE. PROVIDE LOCATIONS OF ALL LOW VOLTAGE WIRING.

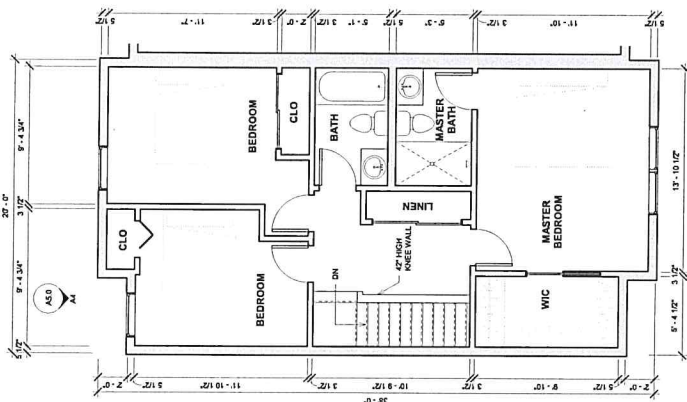
**1**



**2**



**3**



**4**

REV.#	DATE	ISSUED FOR

**A**  
KEYED NOTES

**B**

**C**

**PLAN LEGEND**

- EXISTING DOOR
  - EXISTING PARTITION
  - NEW DOOR
  - FULL HEIGHT PARTITION
  - PARTIAL HEIGHT PARTITION
  - BEAM OVERHEAD
- 1. PROVIDE ELECTRICAL PER STATE ELECTRICAL CODE
  - 2. ALL INTERIOR WALLS 2x4 AT 16" O.C. UNLESS NOTED OTHERWISE. PROVIDE DOUBLE TOP PLATES. SEE BUILDING DEPT.
  - 3. ALL DOOR JAMBS 4" OFF WALL UNLESS NOTED OTHERWISE
  - 4. CENTER DOORS IN WALL UNLESS NOTED OTHERWISE
  - 5. PROVIDE HARDWARE AND INTERCONNECTED SMOKE AND CO DETECTORS WITH BATTERY BACKUP PER CODE REQUIREMENTS. AS DIRECTED BY THE LOCAL BUILDING DEPT.
  - 6. PROTECT IN PLACE ALL EXISTING FIXTURES AND SURFACES SCHEDULED TO REMAIN.
  - 7. PATCH AND REPAIR EXISTING WALLS LOCATED IN UNFINISHED AREAS TO MATCH EXISTING WALLS. PATCH, PAINT AND REFINISH ALL EXISTING WALLS, AT ENTRANCES UNLESS NOTED OTHERWISE. MATERIALS TO MATCH EXISTING MATERIALS UNLESS NOTED OTHERWISE.
  - 8. PATCH, PAINT AND REFINISH ALL EXISTING WALLS, MATERIALS TO MATCH EXISTING MATERIALS UNLESS NOTED OTHERWISE.
  - 9. DIMENSIONS SHOWN ARE FROM FACE OF STUD OR OTHER SURFACE UNLESS NOTED OTHERWISE.
  - 10. DIMENSIONS SHOWN ARE FROM FACE OF STUD OR OTHER SURFACE UNLESS NOTED OTHERWISE.
  - 11. PROVIDE ELECTRICAL PER STATE ELECTRICAL CODE
  - 12. LOCATE NEW ELECTRICAL DEVICES PER NEC REQUIREMENTS & OWNER'S REQUIREMENTS.
  - 13. HVAC SYSTEM TO BE DESIGN BUILD. PROVIDE PER STATE CODE REQUIREMENTS.
  - 14. PROVIDE SOLID WOOD BLOCKING AS REQUIRED. REQUIREMENTS OF THE BUILDING OFFICIAL.
  - 15. COVER ALL WALLS AND CEILING WITH 1/2" THICK GYPSUM BOARD UNLESS NOTED OTHERWISE.
  - 16. PROVIDE FIRE EXTINGUISHERS PER CODE AND PER CONTRACTOR.
  - 17. ALL APPLIANCES PROVIDED BY OWNER INSTALLED BY CONTRACTOR.
  - 18. RECONNECT EXISTING FIXTURES TO NEW SWITCH LOCATIONS AS NOTED IN THE FIELD.
  - 19. PROVIDE DIMENSIONS AS DIRECTED BY OWNER.

**GENERAL NOTES**

- 1. ALL DIMENSIONS IN THE FIELD DO NOT SCALE
- 2. ALL INTERIOR WALLS 2x4 AT 16" O.C. UNLESS NOTED OTHERWISE. PROVIDE DOUBLE TOP PLATES. SEE BUILDING DEPT.
- 3. ALL DOOR JAMBS 4" OFF WALL UNLESS NOTED OTHERWISE
- 4. CENTER DOORS IN WALL UNLESS NOTED OTHERWISE
- 5. PROVIDE HARDWARE AND INTERCONNECTED SMOKE AND CO DETECTORS WITH BATTERY BACKUP PER CODE REQUIREMENTS. AS DIRECTED BY THE LOCAL BUILDING DEPT.
- 6. PROTECT IN PLACE ALL EXISTING FIXTURES AND SURFACES SCHEDULED TO REMAIN.
- 7. PATCH AND REPAIR EXISTING WALLS LOCATED IN UNFINISHED AREAS TO MATCH EXISTING WALLS. PATCH, PAINT AND REFINISH ALL EXISTING WALLS, AT ENTRANCES UNLESS NOTED OTHERWISE. MATERIALS TO MATCH EXISTING MATERIALS UNLESS NOTED OTHERWISE.
- 8. PATCH, PAINT AND REFINISH ALL EXISTING WALLS, MATERIALS TO MATCH EXISTING MATERIALS UNLESS NOTED OTHERWISE.
- 9. DIMENSIONS SHOWN ARE FROM FACE OF STUD OR OTHER SURFACE UNLESS NOTED OTHERWISE.
- 10. DIMENSIONS SHOWN ARE FROM FACE OF STUD OR OTHER SURFACE UNLESS NOTED OTHERWISE.
- 11. PROVIDE ELECTRICAL PER STATE ELECTRICAL CODE
- 12. LOCATE NEW ELECTRICAL DEVICES PER NEC REQUIREMENTS & OWNER'S REQUIREMENTS.
- 13. HVAC SYSTEM TO BE DESIGN BUILD. PROVIDE PER STATE CODE REQUIREMENTS.
- 14. PROVIDE SOLID WOOD BLOCKING AS REQUIRED. REQUIREMENTS OF THE BUILDING OFFICIAL.
- 15. COVER ALL WALLS AND CEILING WITH 1/2" THICK GYPSUM BOARD UNLESS NOTED OTHERWISE.
- 16. PROVIDE FIRE EXTINGUISHERS PER CODE AND PER CONTRACTOR.
- 17. ALL APPLIANCES PROVIDED BY OWNER INSTALLED BY CONTRACTOR.
- 18. RECONNECT EXISTING FIXTURES TO NEW SWITCH LOCATIONS AS NOTED IN THE FIELD.
- 19. PROVIDE DIMENSIONS AS DIRECTED BY OWNER.

David Sisson Architecture PC  
 245 Harbor Ave  
 Seattle, WA 98104  
 Tel: 206.467.1000  
 Fax: 206.467.1001  
 www.dsa-arch.com

REV. #	DATE	ISSUED FOR	OWNER REVIEW

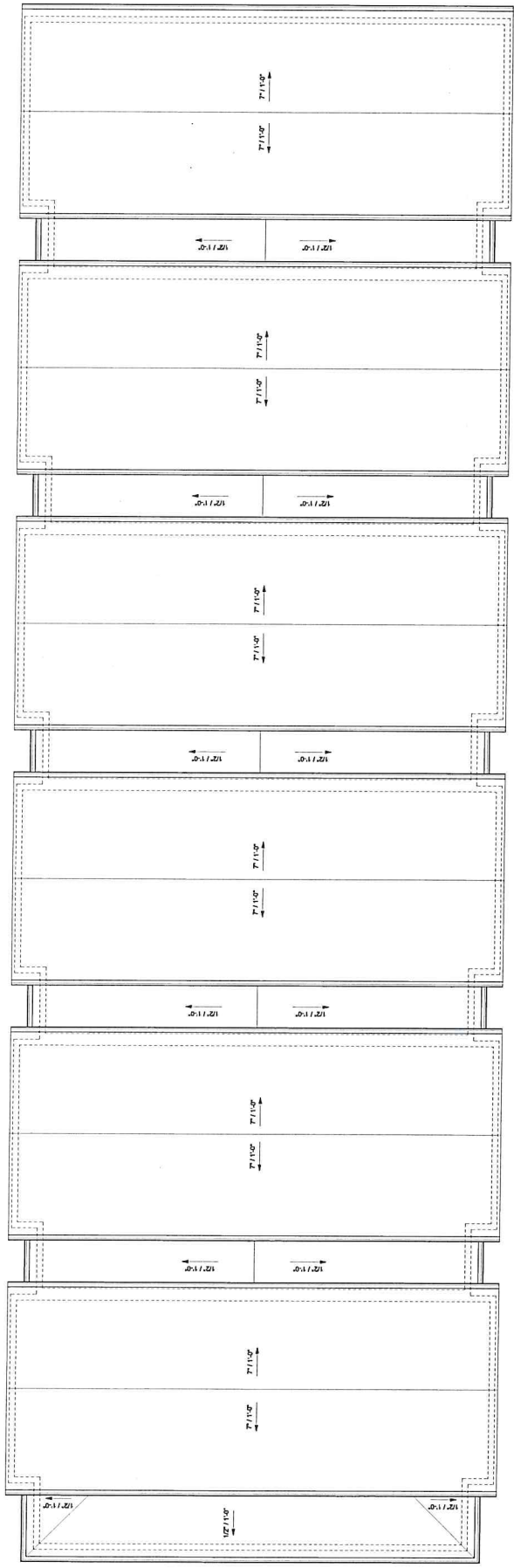
206 Bayview Ave  
 Bldg. #10208  
 PROJECT NUMBER: 23031

**PLANS - ROOF**

OPT 10

A4.2

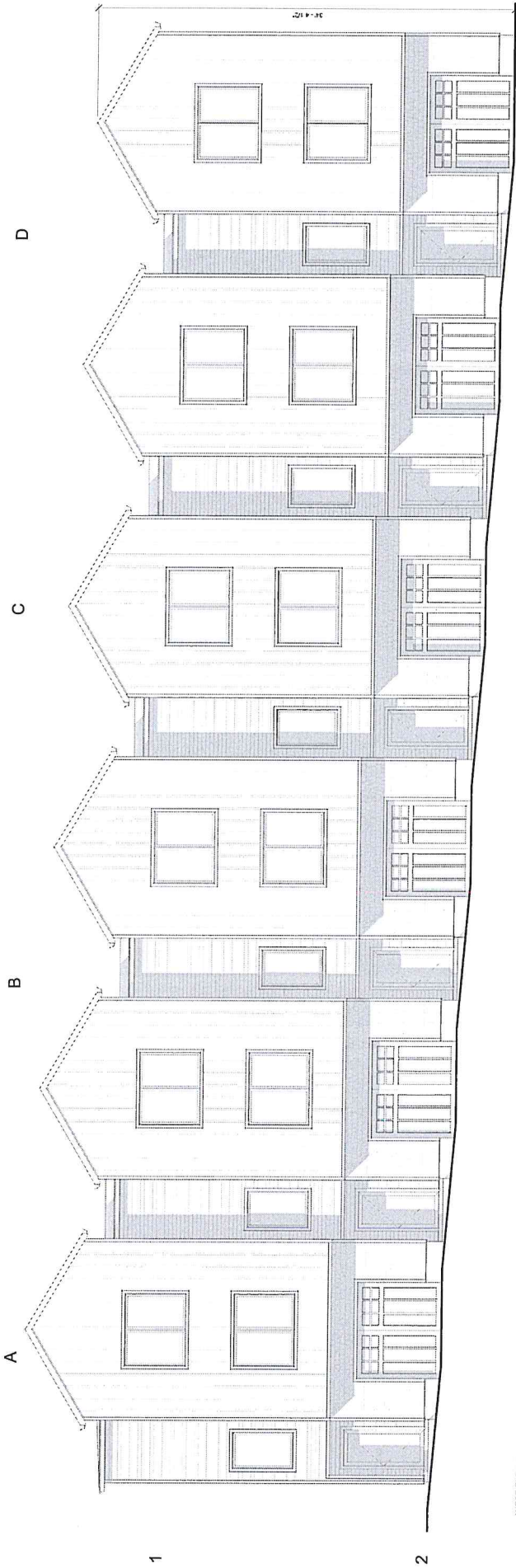
Item B1.



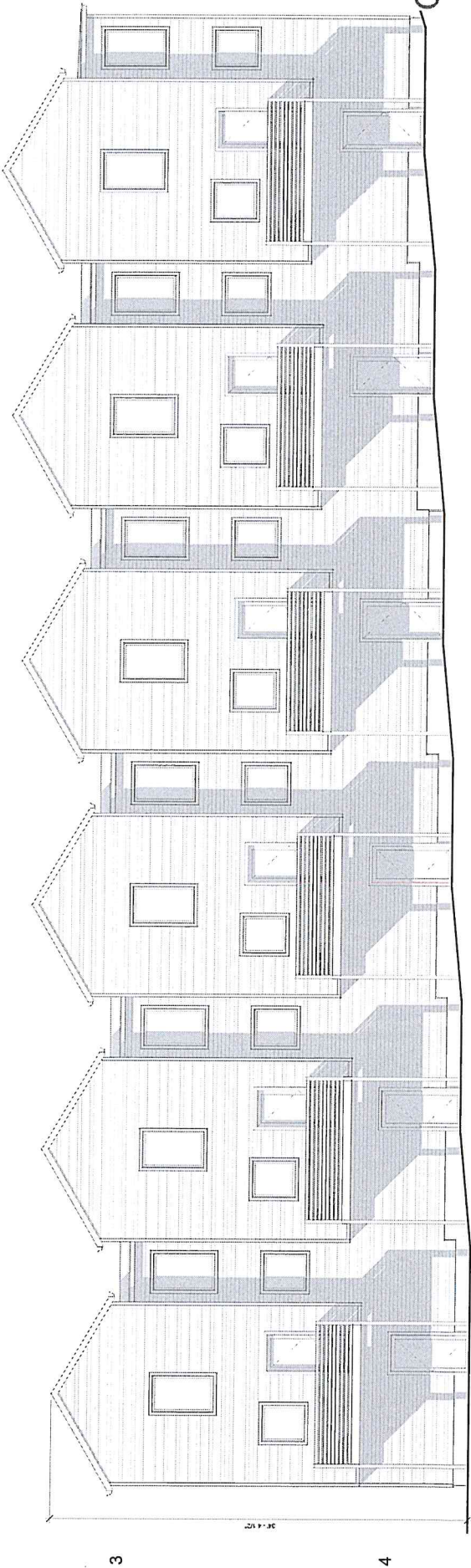
FLOOR PLAN - ROOF  
 1/4" = 1'-0"



OPT 1C



WEST ELEVATION  
 1/4" = 1'-0"



EAST ELEVATION  
 1/4" = 1'-0"



OPT 10

ELEVATIONS

Item B1.

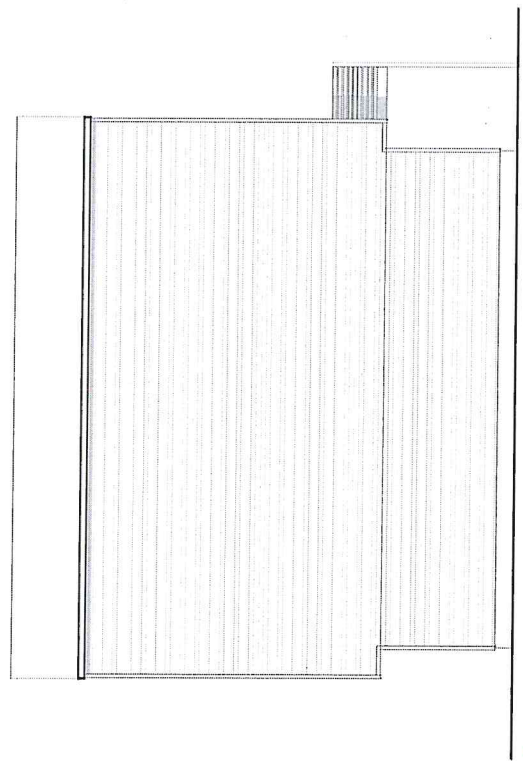
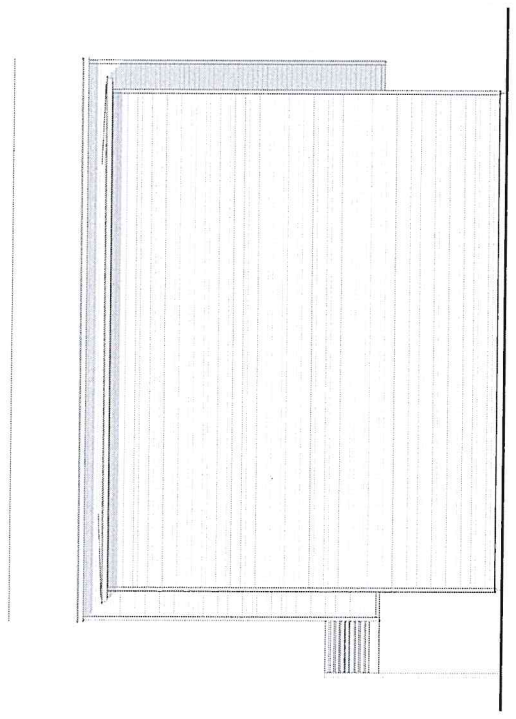
A5.1

206 Bayview Ave  
Bristol, RI 02809  
PROJECT NUMBER: 22031

REV #	DATE	ISSUED FOR
2224-12-23	OWNER REVIEW	

David SSSon architecture pc  
 245 Fairview Ave  
 East Providence, RI 02914  
 phone: 401-959-7070  
 www.ds-arch.com info@ds-arch.com 401-959-7070

A B C D



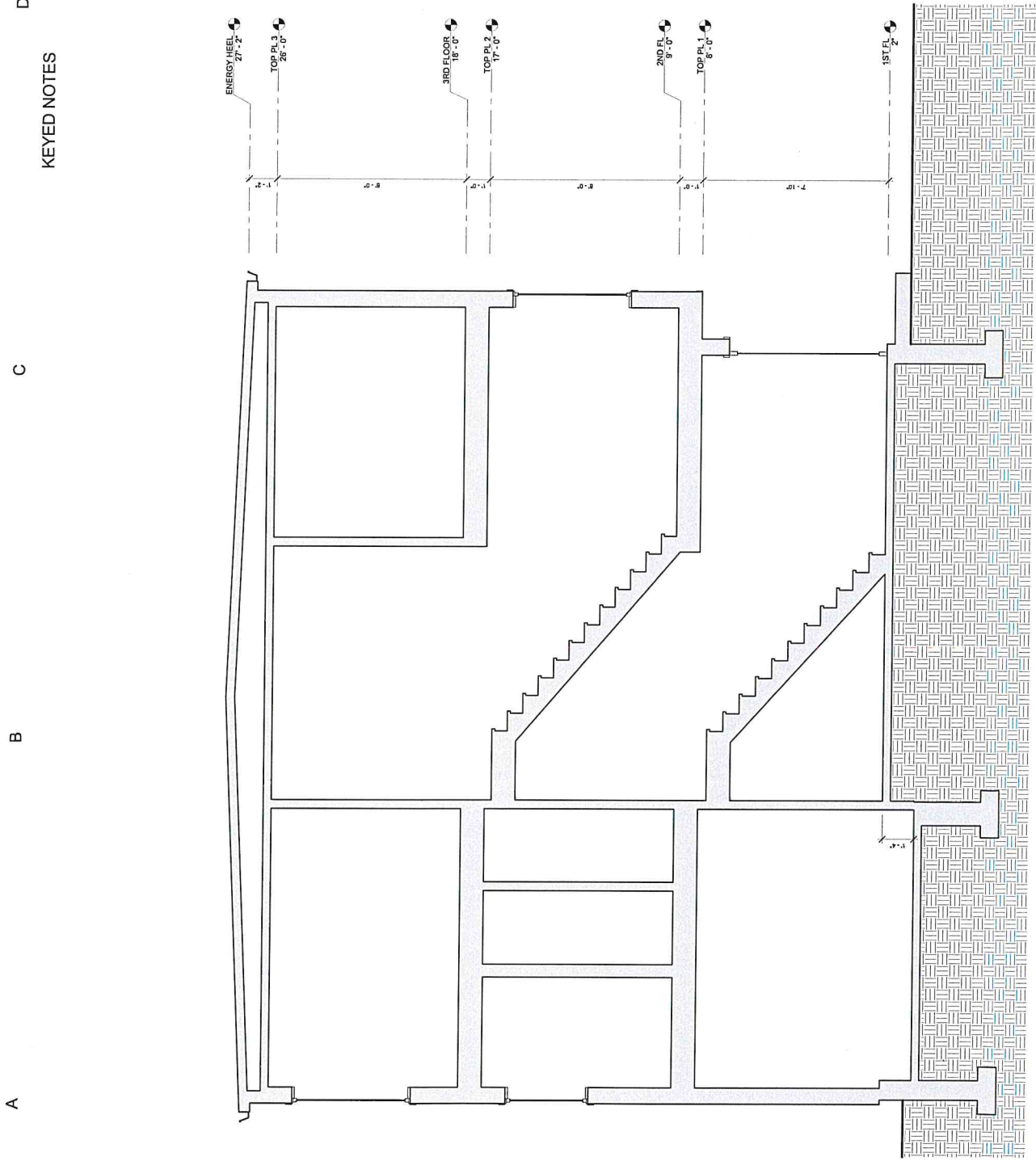
1

2

3

4

SECTION 1  
1/2" = 1'-0"



KEYED NOTES

A B C D

1

2

3

4

david sisson architecture pc  
 345 Tammam Ave  
 East Providence RI 02914  
 www.ds-arch.com info@ds-arch.com 401-885-7070

REV.#	DATE	ISSUED FOR:
2024-10-23		OWNER REVIEW

206 Bayview Ave  
 Bristol, RI 02809  
 PROJECT NUMBER: 23031

SECTIONS

OPT 10

A6.0

Item B1.

A

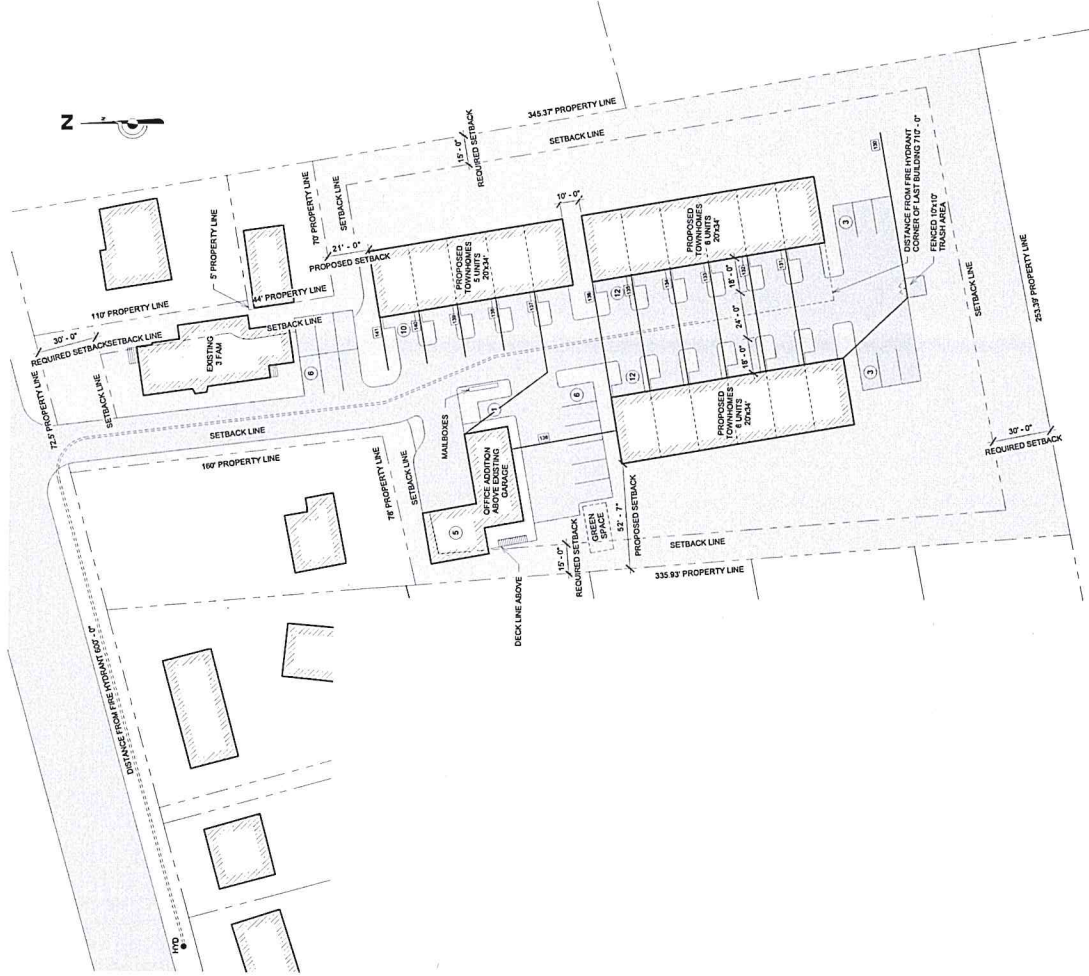
ZONING TABLE

PLAT=47  
LOT=5  
ZONE=R-10

ITEM	REQUIRED	PROVIDED
LOT SIZE	10,000 SF / DWELLING UNIT	92,656 SF
LOT FRONTAGE	60'	
FRONT SETBACK	30'	
REAR SETBACK	15'	
SIDE SETBACK	30'	
HEIGHT	35'	
LOT BUILDING COVERAGE	25% (25,164 SF)	16.2% (14,933 SF)

PARKING REQUIREMENTS:  
 (2) SPACES PER DWELLING UNIT (40) REQUIRED  
 (1) PER 300 GSF FOR OFFICE, (5) REQUIRED  
 (6) PARKING SPACES PROVIDED

B



© SITE - PROPOSED  
 1" = 30'-0"

C

D

David Sisson Architecture pc  
 245 Furman Ave  
 1st Floor, Suite 101  
 Durham, NC 27704  
 www.dsa-arch.com 919-486-4444 fax: 919-486-4444

REV. #	DATE	ISSUED FOR
2024-10-23	OWNER REVIEW	

206 Bayview Ave  
 Durham, NC 27705  
 PROJECT NUMBER: 23031

SITE PLAN

OPT 10

A0.1

Item B1.



**A**  
KEYED NOTES

**B**

**C**  
PLAN LEGEND

- EXISTING DOOR
- EXISTING PARTITION
- NEW DOOR
- FULL HEIGHT PARTITION
- PARTIAL HEIGHT PARTITION
- BEAM OVERHEAD

- COLUMN LOCATION
- CO
- SD
- HT
- S

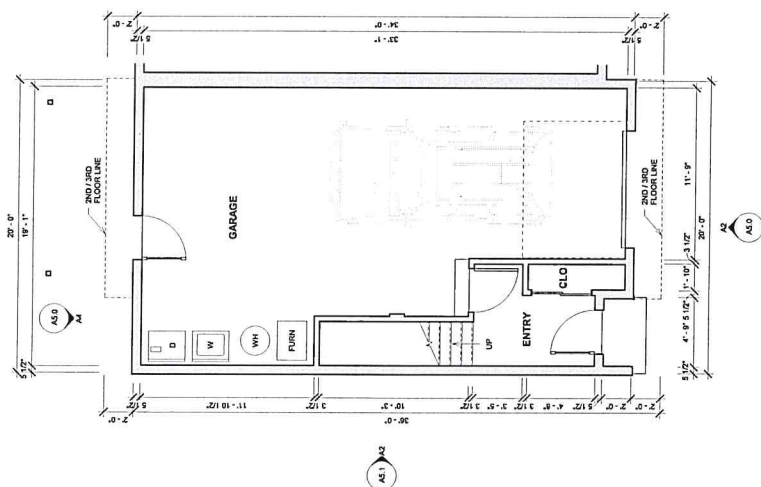
- DIMENSION TO THE FACE OF FINISH
- DIMENSION TO THE FACE OF CONSTRUCTION
- DIMENSION TO THE FACE OF FINISH
- DIMENSION TO THE FACE OF CONSTRUCTION

**D**

**GENERAL NOTES**

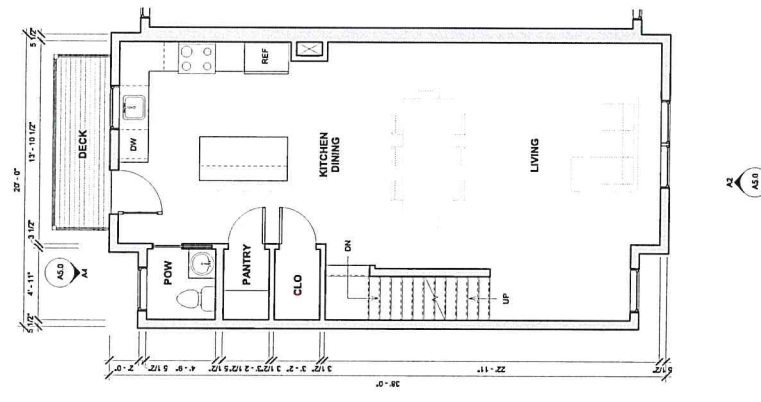
1. VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT SCALE.
2. ALL INTERIOR WALLS SHALL BE 1/2" O.C. UNLESS NOTED OTHERWISE. PROVIDE DOUBLE TOP PLATES. SEE REQUIREMENTS PER STATE PLUMBING CODE.
3. PROVIDE JAMBS 4" OFF WALL UNLESS NOTED OTHERWISE.
4. CENTER DOORS IN WALL UNLESS NOTED OTHERWISE.
5. PROVIDE HARDWARE AND INTERCONNECT HARDWARE AND INTERCONNECT HARDWARE AS SHOWN ON THE DRAWINGS OR NOTED OTHERWISE.
6. PROTECT IN PLACE ALL EXISTING FIXTURES AND SURFACES SCHEDULED TO REMAIN.
7. PATCH AND REPAIR EXISTING WALLS LOCATED IN AREAS TO BE REMOVED OR RECONSTRUCTED. PATCH, PAINT AND REFINISH ALL EXISTING WALLS, CEILING AND FLOOR SURFACES TO BE REPAIRED. MATERIALS SHALL BE MATCHED TO EXISTING MATERIALS. PATCHES SHALL BE DAMAGED AND REPAIRED.
8. PATCH, PAINT AND REFINISH ALL EXISTING WALLS, CEILING AND FLOOR SURFACES TO BE REPAIRED. MATERIALS SHALL BE MATCHED TO EXISTING MATERIALS. PATCHES SHALL BE DAMAGED AND REPAIRED.
9. PLANS DO NOT FULLY REPRESENT ALL NEW WORK TO BE INSTALLED. SEE GENERAL NOTES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
10. DIMENSIONS SHOWN ARE FROM FACE OF STUDOR UNLESS NOTED OTHERWISE.
11. PROVIDE DIMMERS AS DIRECTED BY OWNER AS SHOWN IN THE FIELD.
12. ALL NEW ELECTRICAL, TELEPHONE AND OTHER LOW VOLTAGE WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL OTHER APPLICABLE CODES.
13. PROVIDE DIMMERS AS DIRECTED BY OWNER AS SHOWN IN THE FIELD.
14. PROVIDE SOLID WOOD BLOCKING AS REQUIRED. PROVIDE PER STATE CODE REQUIREMENTS.
15. PROVIDE FIRE EXTINGUISHERS PER CODE AND PER REQUIREMENTS OF THE BUILDING OFFICIAL.
16. PROVIDE ALL MATT INSULATION FULL DEPTH AT ALL EXPOSED JOINTS AND PENETRATIONS. PROVIDE PER STATE CODE REQUIREMENTS.
17. COVER ALL WALLS AND CEILING WITH 1/2" THICK GYPSUM BOARD UNLESS NOTED OTHERWISE.
18. ALL APPLIANCES PROVIDED BY OWNER. INSTALLED BY CONTRACTOR.
19. RECONNECT EXISTING EXPOSURES TO NEW SWITCH LOCATIONS AS SHOWN IN THE FIELD.
20. PROVIDE DIMMERS AS DIRECTED BY OWNER AS SHOWN IN THE FIELD.
21. PROVIDE DIMMERS AS DIRECTED BY OWNER AS SHOWN IN THE FIELD.
22. ALL NEW ELECTRICAL, TELEPHONE AND OTHER LOW VOLTAGE WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL OTHER APPLICABLE CODES.
23. PROVIDE DIMMERS AS DIRECTED BY OWNER AS SHOWN IN THE FIELD.

**1**



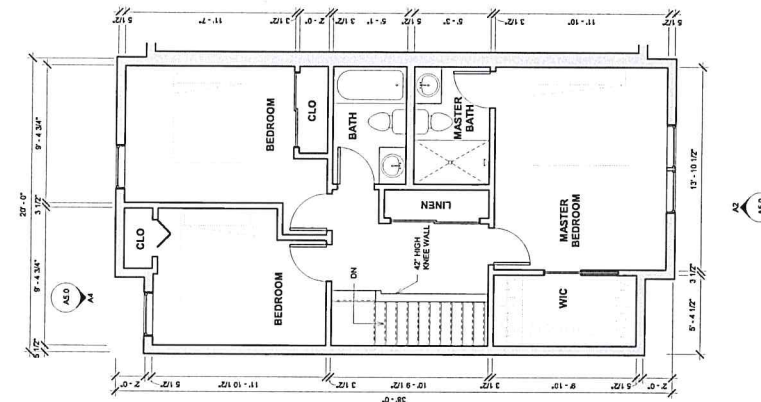
FLOOR PLAN - 1ST FL  
1/4" = 1'-0"

**2**



FLOOR PLAN - 2ND FL  
1/4" = 1'-0"

**3**



FLOOR PLAN - 3RD FL  
1/4" = 1'-0"

**4**

REV. #	DATE	ISSUED FOR

**A**  
**KEYED NOTES**

**B**

**C**  
**PLAN LEGEND**

- EXISTING DOOR
  - EXISTING PARTITION
  - NEW DOOR
  - FULL HEIGHT PARTITION
  - PARTIAL HEIGHT PARTITION
  - BEAM OVERHEAD
- REVISION TO THE FACE OF FRAMING OR FINISH AT NEW CONSTRUCTION, DIMENSION TO THE FACE OF FRAMING OR FINISH OF FINISH
  - REVISION TO THE FACE OF FINISH
  - COLUMN LOCATION
  - DESIGN NUMBER
  - DETECTOR - HANDWIRED AND INTERCONNECTED
  - SMOKE DETECTOR - INTERCONNECTED
  - HEAT DETECTOR - HANDWIRED AND INTERCONNECTED
  - FIRE RATED DOOR
  - 60 MIN W/ CLOSER

**D**  
**GENERAL NOTES**

1. PROVIDE ELECTRICAL PER STATE ELECTRICAL CODE AND ALL DIMENSIONS IN THE FIELD. DO NOT SCALE DRAWINGS.
2. ALL INTERIOR WALLS 2M AT 1/4" O.C. UNLESS NOTED OTHERWISE. PROVIDE DOUBLE TOP PLATES. SEE REQUIREMENTS.
3. ALL DOOR JAMBS 4" OFF WALL UNLESS NOTED OTHERWISE.
4. CENTER DOORS IN WALL UNLESS NOTED OTHERWISE.
5. PROVIDE HANDWIRED AND INTERCONNECTED SMOKE AND CO DETECTORS WITH BATTERY BACKUP PER CODE REQUIREMENTS OF THE BUILDING OFFICIAL.
6. PROTECT IN PLACE ALL EXISTING FEATURES AND SURFACES SCHEDULED TO REMAIN.
7. PATCH PAINT AND REFINISH ALL EXISTING WALLS, CEILING AND FLOOR SURFACES AS SHOWN ON DRAWINGS OR NOTED OTHERWISE.
8. PATCH PAINT AND REFINISH ALL EXISTING WALLS, CEILING AND FLOOR SURFACES AS SHOWN ON DRAWINGS OR NOTED OTHERWISE.
9. ALL APPLIANCES PROVIDED BY OWNER, INSTALLED BY CONTRACTOR.
10. RECONNECT EXISTING ENTURES TO NEW SWITCH LOCATIONS AS DIRECTED BY THE FIELD.
11. PROVIDE DIMENSIONS AS DIRECTED BY OWNER PER GENERAL GUIDELINES.
12. DIMENSIONS SHOWN ARE FROM FACE OF STUD OR FROM FACE OF STUD OR FROM FACE OF STUD UNLESS NOTED OTHERWISE.
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100. PROVIDE DIMENSIONS AS DIRECTED BY OWNER PER GENERAL GUIDELINES.

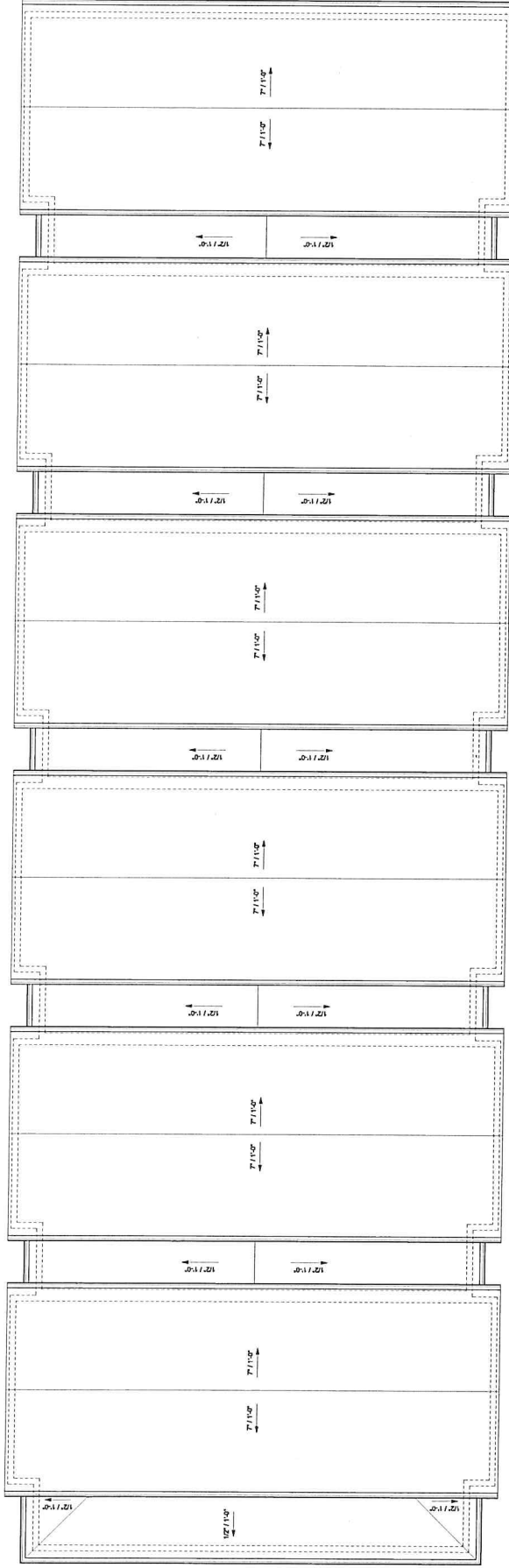
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**FLOOR PLAN - ROOF**  
1/4" = 1'-0"



PLANS - ROOF

206 Bayview Ave  
Brisbane, FL 32909  
PROJECT NUMBER: 23031

REV.#	DATE	ISSUED FOR
01	02/24/23	OWNER REVIEW

David Sisson Architecture PC  
2457 Bayview Ave  
www.david-ssison.com 401-595-7070

A4.2

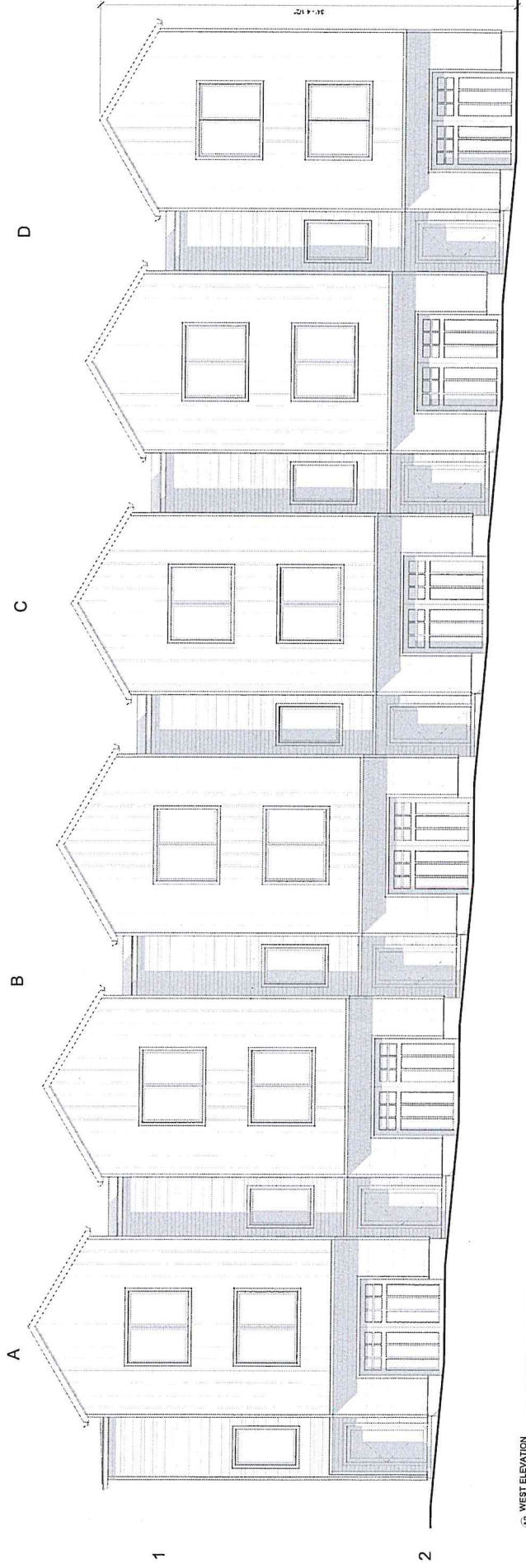
Item B1.

OPT 10

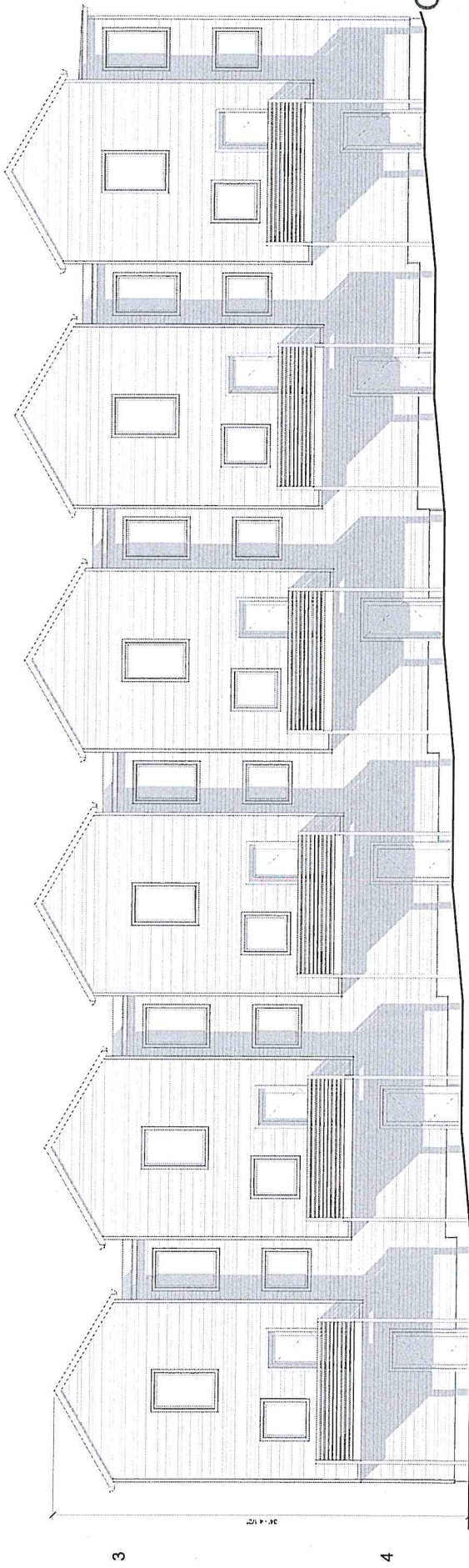


REV. #	DATE	ISSUED FOR
2024-10-23	OWNER REVIEW	

DAVID S. SASSON ARCHITECTURE PC  
 245 Bayview Ave  
 East Providence, RI 02914  
 www.ds-sasson.com info@ds-sasson.com 401-595-7070



A2- WEST ELEVATION  
1/4" = 1'-0"



A3- EAST ELEVATION  
1/4" = 1'-0"



A

B

C

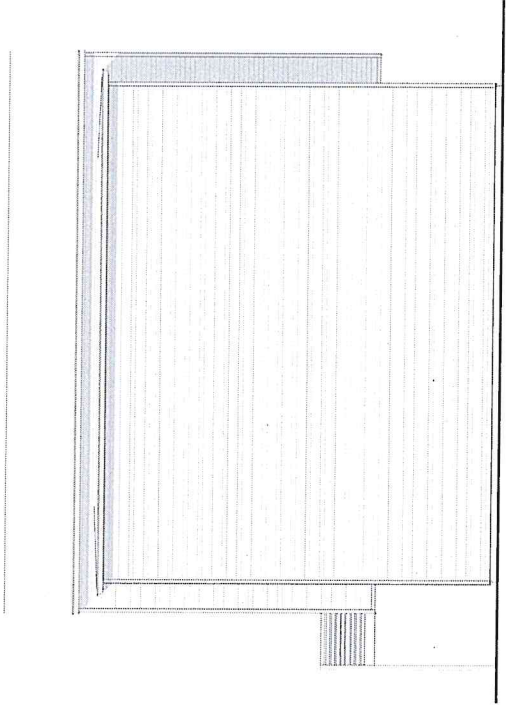
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1 NORTH ELEVATION  
1/4" = 1'-0"



2 SOUTH ELEVATION  
1/4" = 1'-0"

DAVID SASSON ARCHITECTURE PC  
245 TANNON AVE  
DUBLIN, RI 02809  
WWW.DSARCH.COM P:401-595-7070

REV. #	DATE	ISSUED FOR

206 Bayview Ave  
DUBLIN, RI 02809  
PROJECT NUMBER: 23031

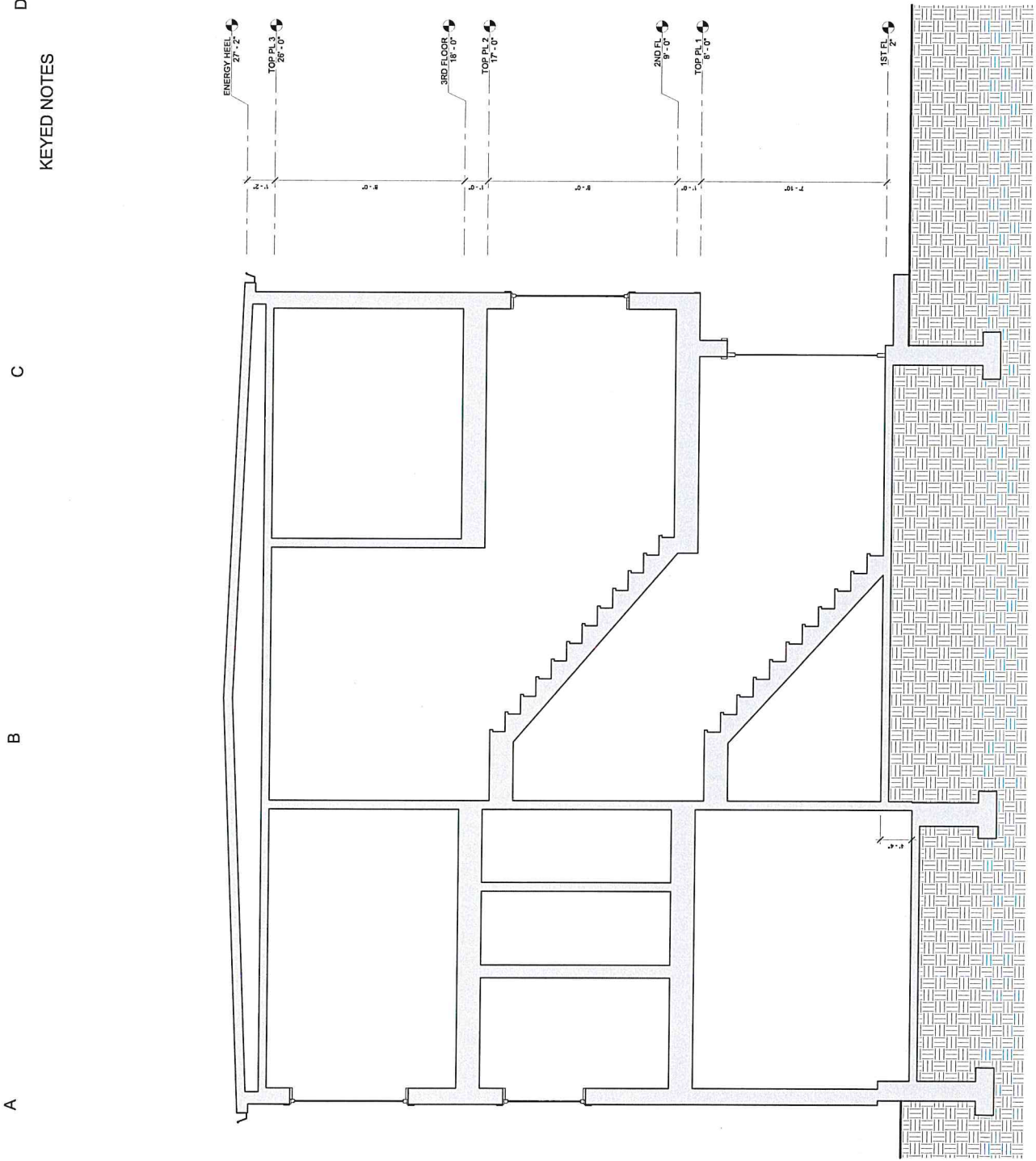
ELEVATIONS

OPT 10

A5.1

Item B1.

SECTION 1  
1/2" = 1'-0"



KEYED NOTES

- ENERGY SHEET 27'-2"
- TOP PL 3 26'-0"
- 3RD FLOOR 18'-0"
- TOP PL 2 17'-0"
- 2ND FL 9'-0"
- TOP PL 1 8'-0"
- 1ST FL 2

A B C D

1

2

3

4

david sisson architecture pc  
 245 Haddon Ave  
 East Providence RI 02914  
 www.ds-arch.com phone ds-arch.com 401.995.7070

REV #	DATE	ISSUED FOR	OWNER REVIEW

206 Bayview Ave  
 Bristol, RI 02809  
 PROJECT NUMBER: 23031

SECTIONS

OPT 10

A6.0

Item B1.

A

ZONING TABLE

PLAT # 47  
LOT # 3  
ZONE # R-10

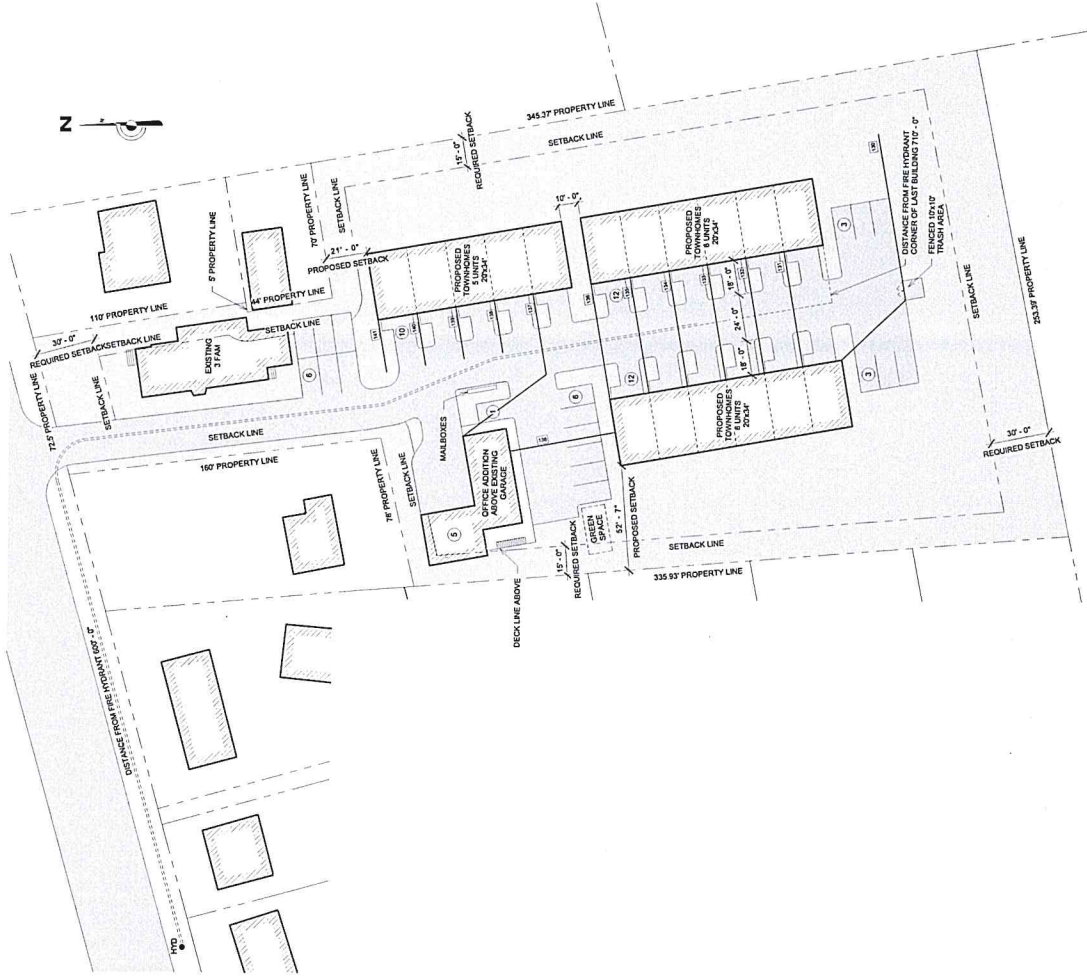
ITEM	REQUIRED	PROVIDED
LOT SIZE	10,000 SF / DWELLING UNIT	92,656 SF
LOT FRONTAGE	80'	
FRONT SETBACK	30'	
REAR SETBACK	15'	
SIDE SETBACK	30'	
HEIGHT	35'	
LOT BUILDING COVERAGE	25% (23,164 SF)	16.2% (14,933 SF)

PARKING REQUIREMENTS:  
 (C) SPACES PER DWELLING UNIT (40) REQUIRED  
 (1) PER 300 GSF FOR OFFICE, (5) REQUIRED  
 (8) PARKING SPACES PROVIDED

B

C

D



© SITE - PROPOSED  
 1" = 30'-0"

1

2

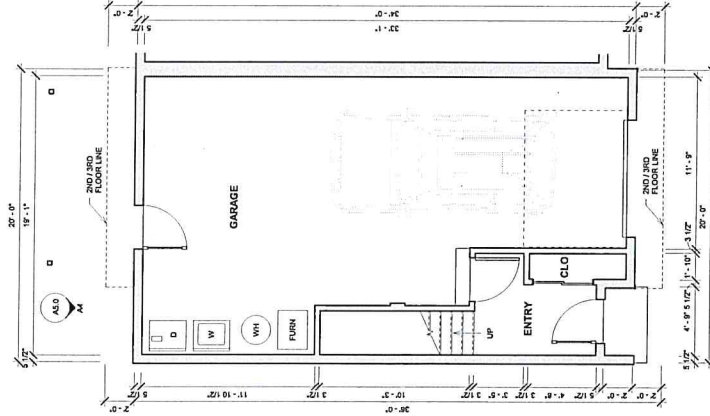
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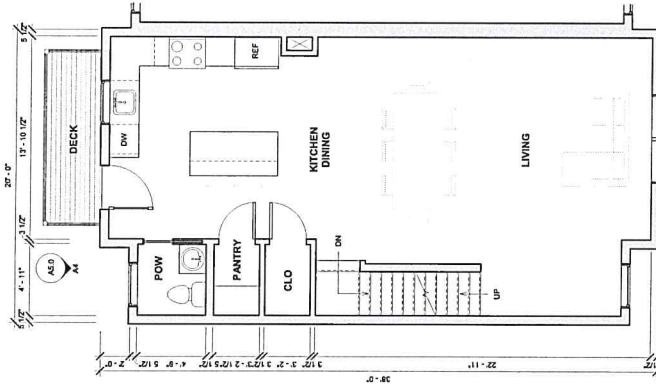


**A**  
**KEYED NOTES**

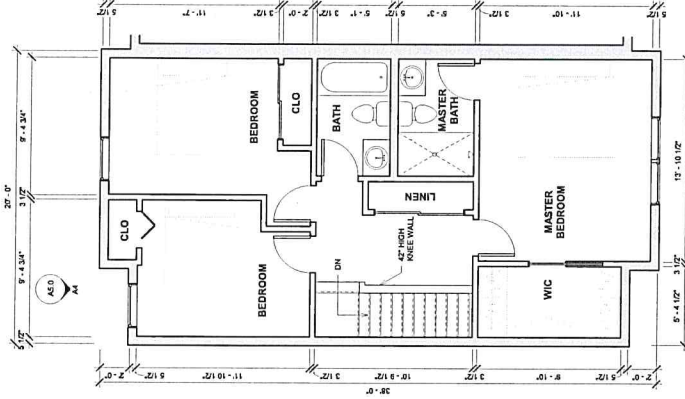
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**B**  
**PLAN LEGEND**

- [Symbol] EXISTING DOOR
- [Symbol] EXISTING PARTITION
- [Symbol] NEW DOOR
- [Symbol] FULL HEIGHT PARTITION
- [Symbol] PARTIAL HEIGHT PARTITION
- [Symbol] BEAM OVERHEAD
- [Symbol] CIRCULAR MARK
- [Symbol] SQUARED MARK
- [Symbol] TRIANGULAR MARK
- [Symbol] DIAMOND MARK
- [Symbol] HEXAGONAL MARK
- [Symbol] OVAL MARK

- 1. DIMENSION TO THE FACE OF NEW CONSTRUCTION.
- 2. DIMENSION TO THE FACE OF EXISTING CONSTRUCTION.
- 3. DIMENSION TO THE FACE OF NEW CONSTRUCTION.
- 4. DIMENSION TO THE FACE OF EXISTING CONSTRUCTION.
- 5. COLUMN LOCATION.
- 6. CEILING HATCHES.
- 7. DETECTOR HATCHES AND INTERCONNECTED.
- 8. SMOKE DETECTOR, INTERCONNECTED.
- 9. FIRE DETECTOR, INTERCONNECTED.
- 10. FIRE RATED DOOR.
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A3 - FLOOR PLAN - 1ST FL.  
1/4" = 1'-0"

B4 - FLOOR PLAN - 2ND FL.  
1/4" = 1'-0"

C5 - FLOOR PLAN - 3RD FL.  
1/4" = 1'-0"

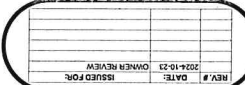
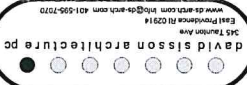
**D**  
**GENERAL NOTES**

1. PROVIDE ELECTRICAL PER STATE ELECTRICAL CODE.
2. ALL INTERIOR WALLS 3/4" AT 1/4" C. UNLESS NOTED OTHERWISE, PROVIDE DOUBLE TOP PLATES, SEE BUILDING DEPT.
3. PROVIDE DOUBLE TOP PLATES, SEE BUILDING DEPT.
4. CENTER DOORS IN WALL UNLESS NOTED OTHERWISE.
5. PROVIDE HANDRAILS AND INTERCONNECTED SMOKE AND CO DETECTORS WITH BATTERY BACKUP PER CODE AND BUILDING DEPT. AS DIRECTED BY THE LOCAL BUILDING DEPT.
6. PROTECT IN PLACE ALL EXISTING FEATURES AND PATCH AND REPAIR EXISTING WALLS LOCATED IN INTERIOR WALLS.
7. PATCH AND REPAIR EXISTING WALLS LOCATED IN INTERIOR WALLS, WHETHER SHOWN ON THE DRAWINGS OR NOT. MATERIALS FINISHES WHEN DAMAGED PAST POINT OF REPAIR.
8. PATCH PAINT AND REFINISH ALL EXISTING WALLS, WHETHER SHOWN ON THE DRAWINGS OR NOT. MATERIALS FINISHES WHEN DAMAGED PAST POINT OF REPAIR.
9. PATCH AND REPAIR EXISTING WALLS LOCATED IN INTERIOR WALLS, WHETHER SHOWN ON THE DRAWINGS OR NOT. MATERIALS FINISHES WHEN DAMAGED PAST POINT OF REPAIR.
10. PATCH AND REPAIR EXISTING WALLS LOCATED IN INTERIOR WALLS, WHETHER SHOWN ON THE DRAWINGS OR NOT. MATERIALS FINISHES WHEN DAMAGED PAST POINT OF REPAIR.
11. PROVIDE ELECTRICAL PER STATE ELECTRICAL CODE. LOCATE NEW ELECTRICAL DEVICES PER REQUIREMENTS & OWNER'S REQUIREMENTS.
12. PROVIDE PLUMBING PER STATE PLUMBING CODE REQUIREMENTS.
13. HVAC SYSTEM TO BE DESIGN BUILT, PROVIDE PER STATE CODE REQUIREMENTS.
14. PROVIDE SOLID WOOD BLOCKING AS REQUIRED.
15. PROVIDE FIRE EXTINGUISHERS PER CODE AND PER REQUIREMENTS OF THE BUILDING OFFICIAL.
16. STUD CANNOT BE PASSED THROUGH AN ATIC TRUSS (GABLES).
17. COVER ALL WALLS AND CEILING WITH 1/2" THICK GYPSUM BOARD UNLESS NOTED OTHERWISE.
18. ALL APPLIANCES PROVIDED BY OWNER, INSTALLED BY CONTRACTOR.
19. RECONNECT EXISTING FIXTURES TO NEW SWITCH LOCATIONS AS REQUIRED IN THE FIELD.
20. PROVIDE DIMMERS AS DIRECTED BY OWNER.
21. PROVIDE CANY, TELEPHONE AND OTHER LOW VOLTAGE WIRING AS REQUIRED IN THE FIELD.
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99. PROVIDE DIMMERS AS DIRECTED BY OWNER.
100. PROVIDE DIMMERS AS DIRECTED BY OWNER.

**OPT 10**

**A4.1**

Item B1.



PROJECT NUMBER: 23031  
BRIEF: RI 022909  
206 Bayview Ave

**PLAN 1ST FL, 2ND FL  
& 3RD FL**

A KEYED NOTES

B

C

D

KEYED NOTES

PLAN LEGEND

- EXISTING DOOR
- EXISTING PARTITION
- NEW DOOR
- FULL HEIGHT PARTITION
- PARTIAL HEIGHT PARTITION
- BEAM OVERHEAD
- COLUMN LOCATION
- CONNECTION UNOBSERVED AND INTERCONNECTED
- SMOKE DETECTOR - INTERCONNECTED
- WIRELESS HARDWIRED AND INTERCONNECTED
- FIRE RATED DOOR
- 60 MIN W/ CLOSER

GENERAL NOTES

- 1 VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT SCALE
- 2 ALL INTERIOR WALLS SHALL BE 1/2" Gypsum Board unless otherwise noted. PROVIDE DOUBLE TOP PLATES. SEE BRAMA
- 3 PROVIDE JAMBS 4" OFF WALL UNLESS NOTED OTHERWISE
- 4 CENTER DOORS IN WALL UNLESS NOTED OTHERWISE
- 5 PROVIDE HARDWARE AND INTERCONNECTED HARDWARE AND CO DETECTORS WITH BATTERY BACKUP PER CODE REQUIREMENTS OF THE BUILDING OFFICIAL
- 6 PROTECT IN PLACE ALL EXISTING FIXTURES AND SURFACES SCHEDULED TO REMAIN
- 7 PATCH AND REPAIR EXISTING WALLS LOCATED IN AREAS WHERE DEMOLITION IS NOT SHOWN ON THE DRAWINGS OR NOTED OTHERWISE
- 8 PATCH PAINT AND REFINISH ALL EXISTING WALLS, CEILING AND FLOOR SURFACES TO MATCH EXISTING MATERIALS FINISHES WHEN DAMAGED AS PART OF REPAIR
- 9 PLANS DO NOT FULLY REPRESENT ALL NEW WORK TO BE INSTALLED. SEE GENERAL NOTES AND REVISIONS TO SERVE AS GENERAL GUIDELINES
- 10 DIMENSIONS SHOWN ARE FROM FACE OF STUD OR OTHER FINISHING CONSTRUCTION UNLESS NOTED OTHERWISE
- 11 PROVIDE ELECTRICAL PER STATE ELECTRICAL CODE REQUIREMENTS AND ALL APPLICABLE NATIONAL AND LOCAL ELECTRICAL CODES
- 12 LOCATE NEW ELECTRICAL DEVICES PER NEC REQUIREMENTS AND OWNER'S REQUIREMENTS
- 13 PROVIDE PER STATE PLUMBING CODE REQUIREMENTS
- 14 HVAC SYSTEM TO BE DESIGNED. PROVIDE PER STATE CODE REQUIREMENTS
- 15 PROVIDE SOLID WOOD BLOCKING AS REQUIRED
- 16 PROVIDE FIRE EXTINGUISHERS PER CODE REQUIREMENTS OF THE BUILDING OFFICIAL
- 17 INSTALL BATT INSULATION FILL DEPTH AT ALL EXPOSED WALLS AND CEILING JOINTS PER STATE AND LOCAL CODES
- 18 COVER ALL WALLS AND CEILING WITH 1/2" THICK Gypsum BOARD UNLESS NOTED OTHERWISE
- 19 ALL APPLIANCES UNLESS NOTED OTHERWISE TO BE INSTALLED BY CONTRACTOR
- 20 RECONNECT EXISTING FIXTURES TO NEW SWITCH LOCATIONS AS REQUIRED IN THE FIELD
- 21 PROVIDE DIMERS AS DIRECTED BY OWNER
- 22 PER CALIFORNIA ELECTRICAL CODE (CEC) PER ARTICLE 220.42, ALL TELEPHONE AND OTHER LOW VOLTAGE WIRING SHALL BE INSTALLED IN RIGID CONDUIT UNLESS OTHERWISE NOTED
- 23 PROVIDE DIMERS AS DIRECTED BY OWNER
- 24 RECONNECT EXISTING FIXTURES TO NEW SWITCH LOCATIONS AS REQUIRED IN THE FIELD
- 25 PROVIDE DIMERS AS DIRECTED BY OWNER
- 26 PER CALIFORNIA ELECTRICAL CODE (CEC) PER ARTICLE 220.42, ALL TELEPHONE AND OTHER LOW VOLTAGE WIRING SHALL BE INSTALLED IN RIGID CONDUIT UNLESS OTHERWISE NOTED

- 1
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- EXISTING DOOR
- EXISTING PARTITION
- NEW DOOR
- FULL HEIGHT PARTITION
- PARTIAL HEIGHT PARTITION
- BEAM OVERHEAD
- COLUMN LOCATION
- CONNECTION UNOBSERVED AND INTERCONNECTED
- SMOKE DETECTOR - INTERCONNECTED
- WIRELESS HARDWIRED AND INTERCONNECTED
- FIRE RATED DOOR
- 60 MIN W/ CLOSER

- 1
- 2
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- 4

- EXISTING DOOR
- EXISTING PARTITION
- NEW DOOR
- FULL HEIGHT PARTITION
- PARTIAL HEIGHT PARTITION
- BEAM OVERHEAD
- COLUMN LOCATION
- CONNECTION UNOBSERVED AND INTERCONNECTED
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- 60 MIN W/ CLOSER

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- FIRE RATED DOOR
- 60 MIN W/ CLOSER

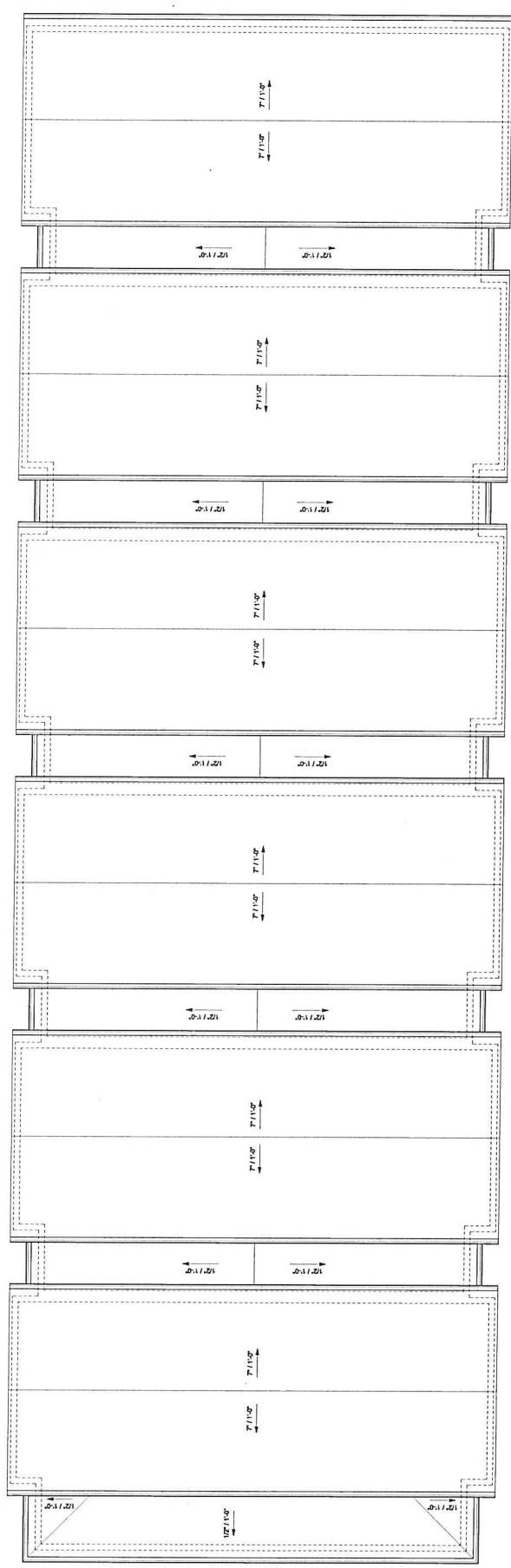
David Sisson Architecture PC  
240 Tenth Avenue  
New York, NY 10011  
www.dsssn.com 762-620-8400 ext. 401 595-7070

REV. #	DATE	ISSUED FOR
1024-10-23	OWNER REVIEW	

206 Bayview Ave  
Bklyn, NY 10208  
PROJECT NUMBER: 23031

PLANS - ROOF

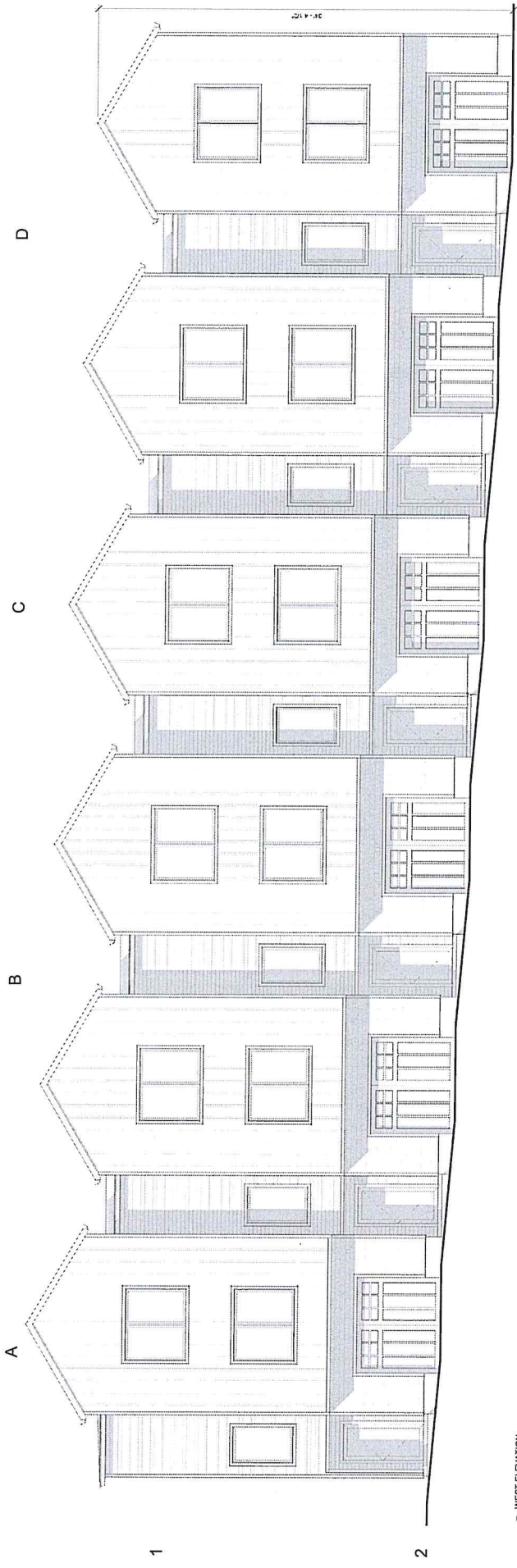
OPT 10  
A4.2  
Item B1.



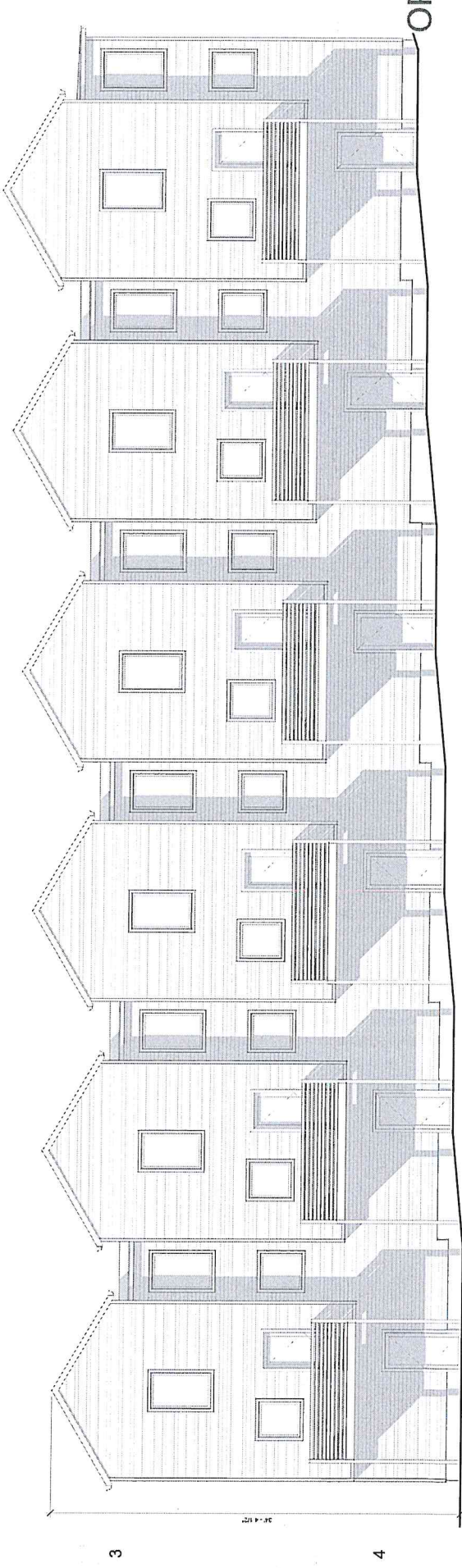
4 FLOOR PLAN - ROOF  
1/4" = 1'-0"



OPT 10



WEST ELEVATION  
 1/4" = 1'-0"



EAST ELEVATION  
 1/4" = 1'-0"

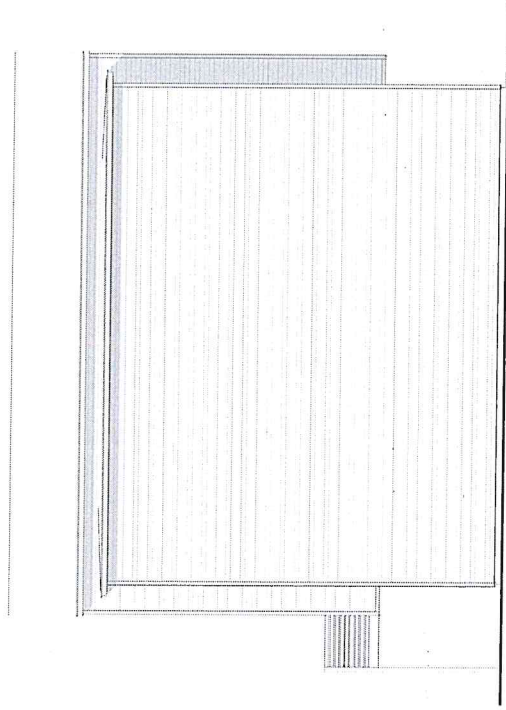


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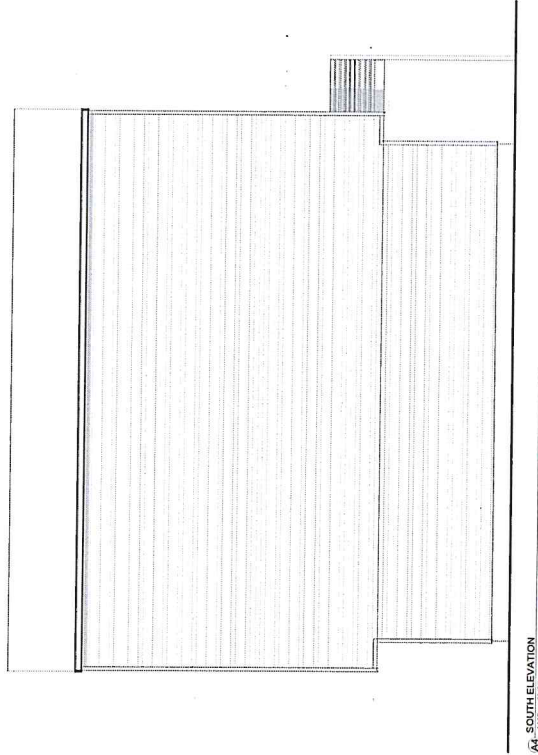
B

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D



6 NORTH ELEVATION  
1/4" = 1'-0"



6 SOUTH ELEVATION  
1/4" = 1'-0"

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David Sasson Architecture PC  
 345 Tannock Ave  
 East Providence RI 02914  
 www.ds-arch.com info@ds-arch.com 401-955-7070

REV #	DATE	ISSUED FOR

2024-10-23 OWNER REVIEW

206 Bayview Ave  
 Bristol, RI 02809  
 PROJECT NUMBER: 23031

ELEVATIONS

OPT 10

A5.1

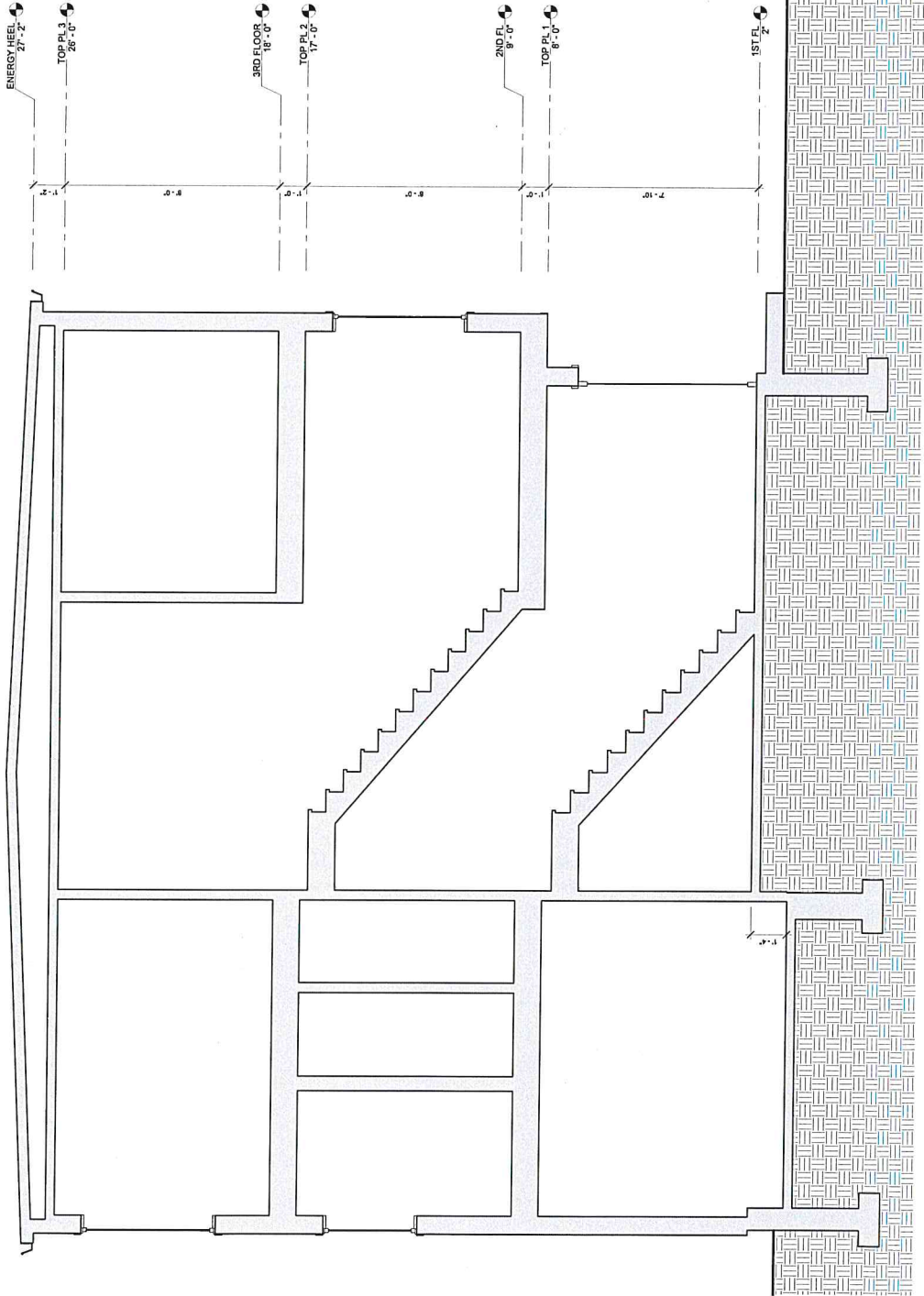
Item B1.

REV. #	DATE	ISSUED FOR
2024-10-23	OWNER REVIEW	

David Sisson architecture pc  
345 Trafton Ave  
East Providence, RI 02914  
www.ds-arch.com info@ds-arch.com 401-595-2070

A B C D

KEYED NOTES



SECTION 1  
1/2" = 1'-0"

1

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3

4

A

B

C

D

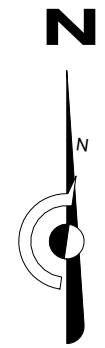
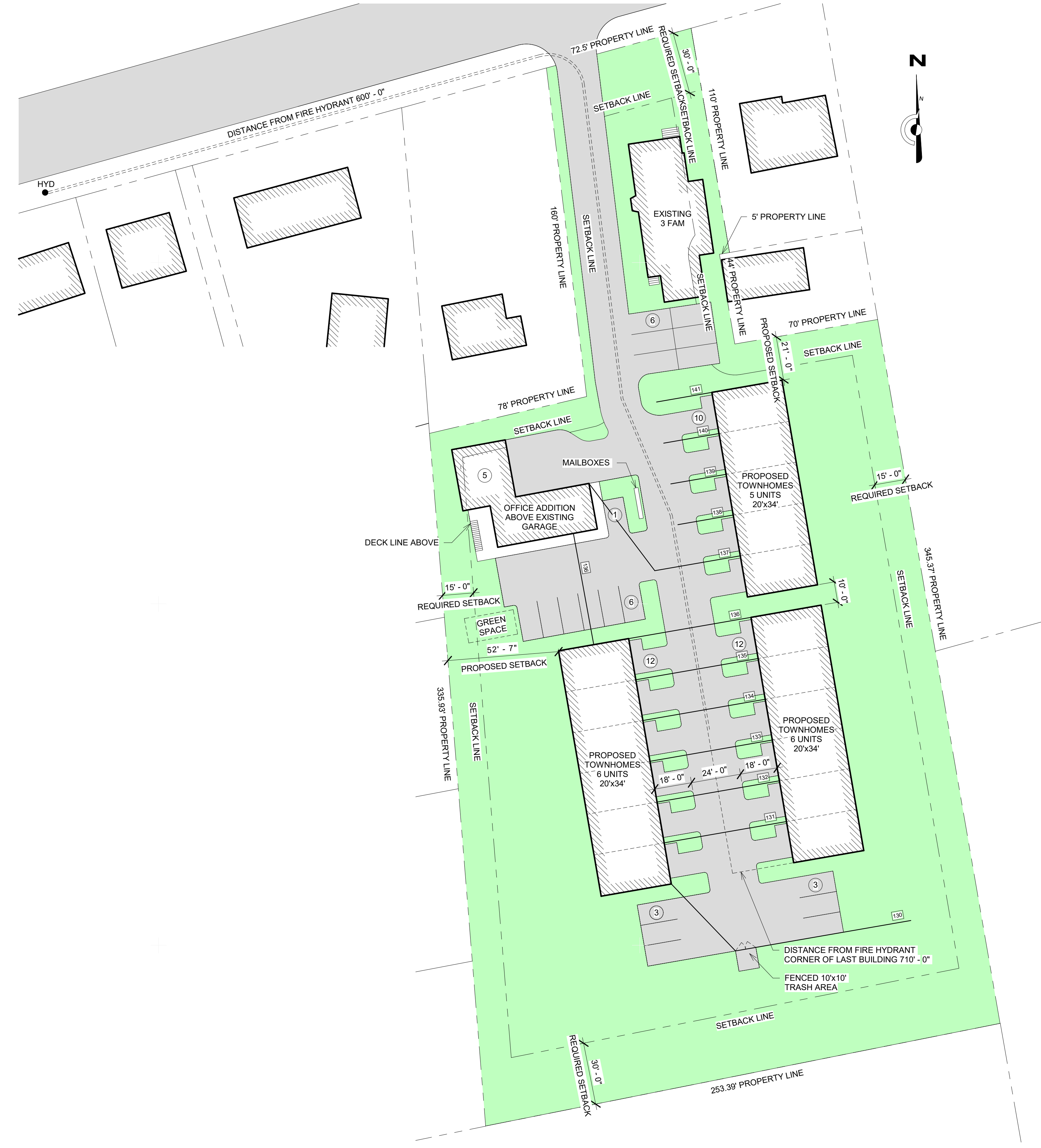
ZONING TABLE

PLAT = 47  
LOT = 3

ZONE = R-10

ITEM	REQUIRED	PROVIDED
LOT SIZE	10,000 SF / DWELLING UNIT	92,656 SF
LOT WIDTH	80'	
LOT FRONTAGE	80'	
FRONT SETBACK	30'	
SIDE SETBACK	15'	
SIDE SETBACK	15'	
REAR SETBACK	30'	
HEIGHT	35'	
LOT BUILDING COVERAGE	25% (23,164 SF)	16.2% (14,933 SF)

PARKING REQUIREMENTS:  
 (2) SPACES PER DWELLING UNIT, (40) REQUIRED  
 (1) PER 300 GSF FOR OFFICE, (5) REQUIRED  
 (58) PARKING SPACES PROVIDED

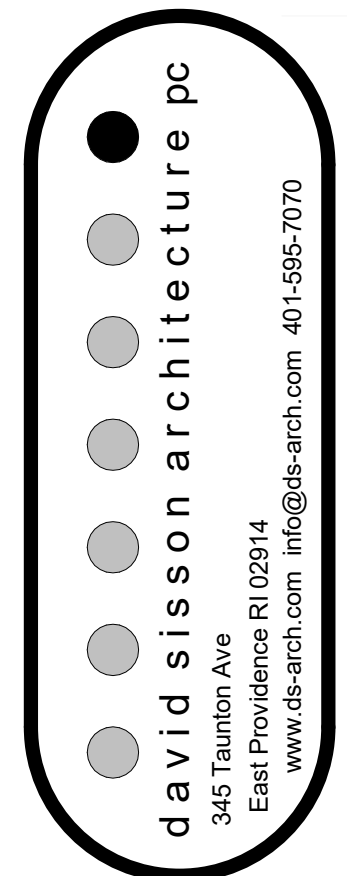


1

2

3

4



REV #	DATE	ISSUED FOR:
	2024-10-23	OWNER REVIEW

**206 Bayview Ave**  
 Bristol, RI 02809  
 PROJECT NUMBER: 23031

**SITE PLAN**

**OPT 10**

**A0.1**

©4 SITE - PROPOSED  
 1" = 30'-0"



# A KEYED NOTES

# B

# C

# D

## PLAN LEGEND

- EXISTING DOOR
- EXISTING PARTITION
- NEW DOOR
- FULL HEIGHT PARTITION
- PARTIAL HEIGHT PARTITION
- BEAM OVERHEAD
- COLUMN LOCATION
- CARBON MONOXIDE DETECTOR - HARDWIRED AND INTERCONNECTED
- SMOKE DETECTOR - HARDWIRED AND INTERCONNECTED
- HEAT DETECTOR - HARDWIRED AND INTERCONNECTED
- FIRE RATED DOOR 60 MIN W/ CLOSER

## GENERAL NOTES

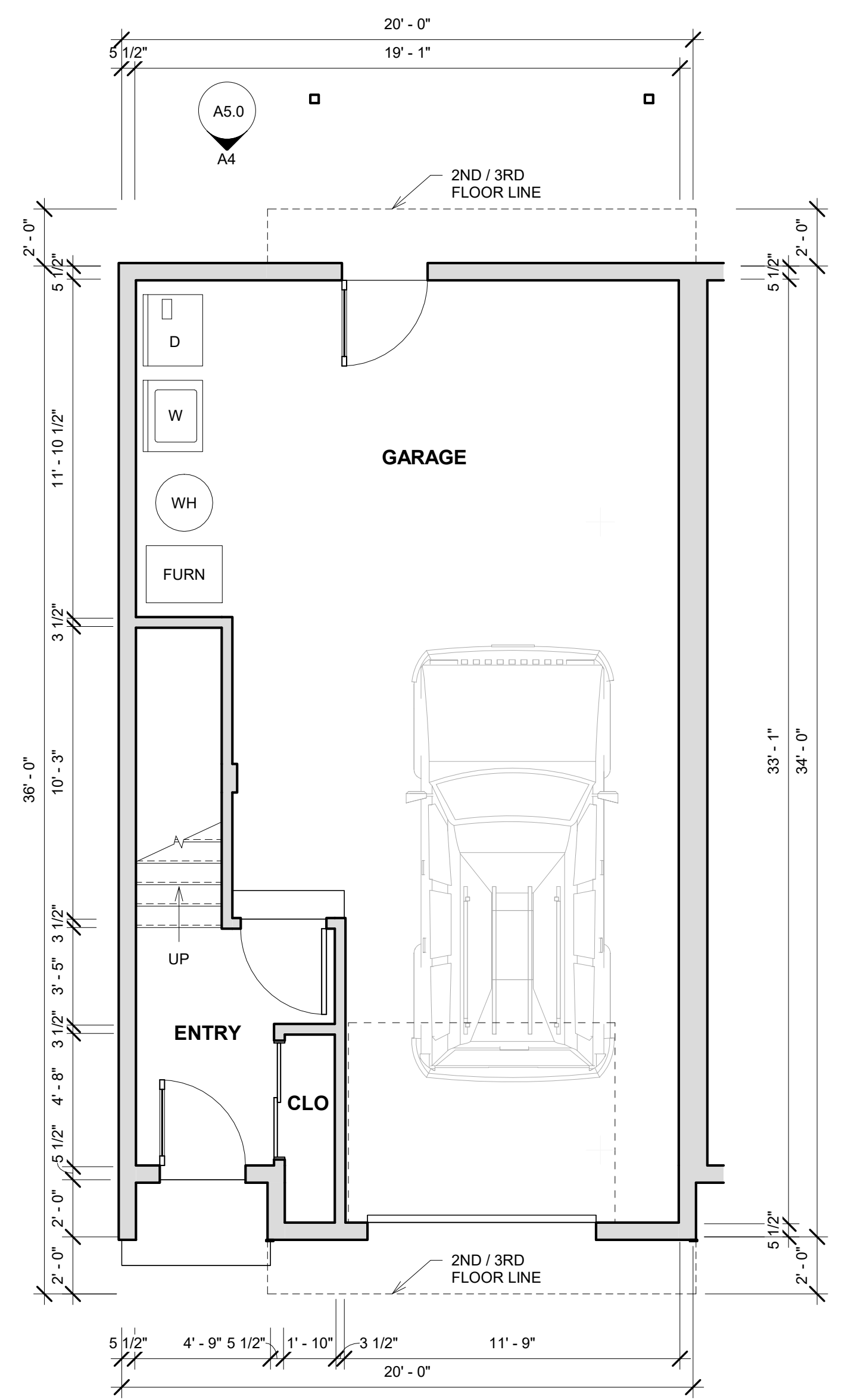
1. VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT SCALE DRAWINGS.
2. ALL INTERIOR WALLS 2X4 AT 16" O.C. UNLESS NOTED OTHERWISE. PROVIDE DOUBLE TOP PLATES. SEE B4/A0.0
3. ALL DOOR JAMBS 4" OFF WALL UNLESS NOTED OTHERWISE
4. CENTER DOORS IN WALL UNLESS NOTED OTHERWISE
5. PROVIDE HARDWIRED AND INTERCONNECTED SMOKE AND CO DETECTORS WITH BATTERY BACKUP PER CODE REQUIREMENTS & AS DIRECTED BY THE LOCAL BUILDING DEPT.
6. PROTECT IN PLACE ALL EXISTING FIXTURES AND SURFACES SCHEDULED TO REMAIN.
7. PATCH AND REPAIR EXISTING WALLS LOCATED IN UNALTERED AREAS AFFECTED BY ALL NEW WORK, WHETHER SHOWN ON THE DRAWINGS OR NOT.
8. PATCH, PAINT AND REFINISH ALL EXISTING WALLS, FLOORS, CEILINGS & TRIM THROUGHOUT REPLACE MATERIALS IN-KIND WHEN DAMAGED PAST POINT OF REPAIR.
9. PLANS DO NOT FULLY REPRESENT ALL NEW WORK. THE CONSTRUCTION DOCUMENTS ARE INTENDED TO SERVE AS GENERAL GUIDELINES.
10. DIMENSIONS SHOWN ARE FROM FACE OF STUD OR FACE OF EXISTING CONSTRUCTION UNLESS NOTED OTHERWISE.
11. PROVIDE ELECTRICAL PER STATE ELECTRICAL CODE REQUIREMENTS. PROVIDE POWER FOR ALL APPLIANCES. LOCATE NEW ELECTRICAL DEVICES PER NEC REQUIREMENTS & OWNER'S REQUIREMENTS.
12. PROVIDE PLUMBING PER STATE PLUMBING CODE REQUIREMENTS
13. HVAC SYSTEM TO BE DESIGN BUILD. PROVIDE PER STATE CODE REQUIREMENTS.
14. PROVIDE SOLID WOOD BLOCKING AS REQUIRED.
15. PROVIDE FIRE EXTINGUISHERS PER CODE AND PER REQUIREMENTS OF THE BUILDING OFFICIAL.
16. INSTALL BATT INSULATION FULL DEPTH AT ALL EXPOSED STUD CAVITIES (CLOSED CELL SPRAY FOAM AT ATTIC ROOF CAVITIES)
17. COVER ALL WALLS AND CEILINGS W/1/2" THICK GYPSUM BOARD UNLESS NOTED OTHERWISE.
18. PROVIDE MOISTURE AND MOLD RESISTANT GYPSUM BOARD AT BATHROOMS UNLESS NOTED OTHERWISE.
19. ALL APPLIANCES PROVIDED BY OWNER, INSTALLED BY CONTRACTOR.
20. RECONNECT EXISTING FIXTURES TO NEW SWITCH LOCATIONS AS REQUIRED IN THE FIELD.
21. PROVIDE DIMMERS AS DIRECTED BY OWNER
22. A/V, CATV, TELEPHONE AND OTHER LOW VOLTAGE WIRING NOT SHOWN. SYSTEM TO BE DESIGN/BUILD. CONTACT OWNER FOR LOCATIONS OF ALL LOW VOLTAGE WIRING.

1

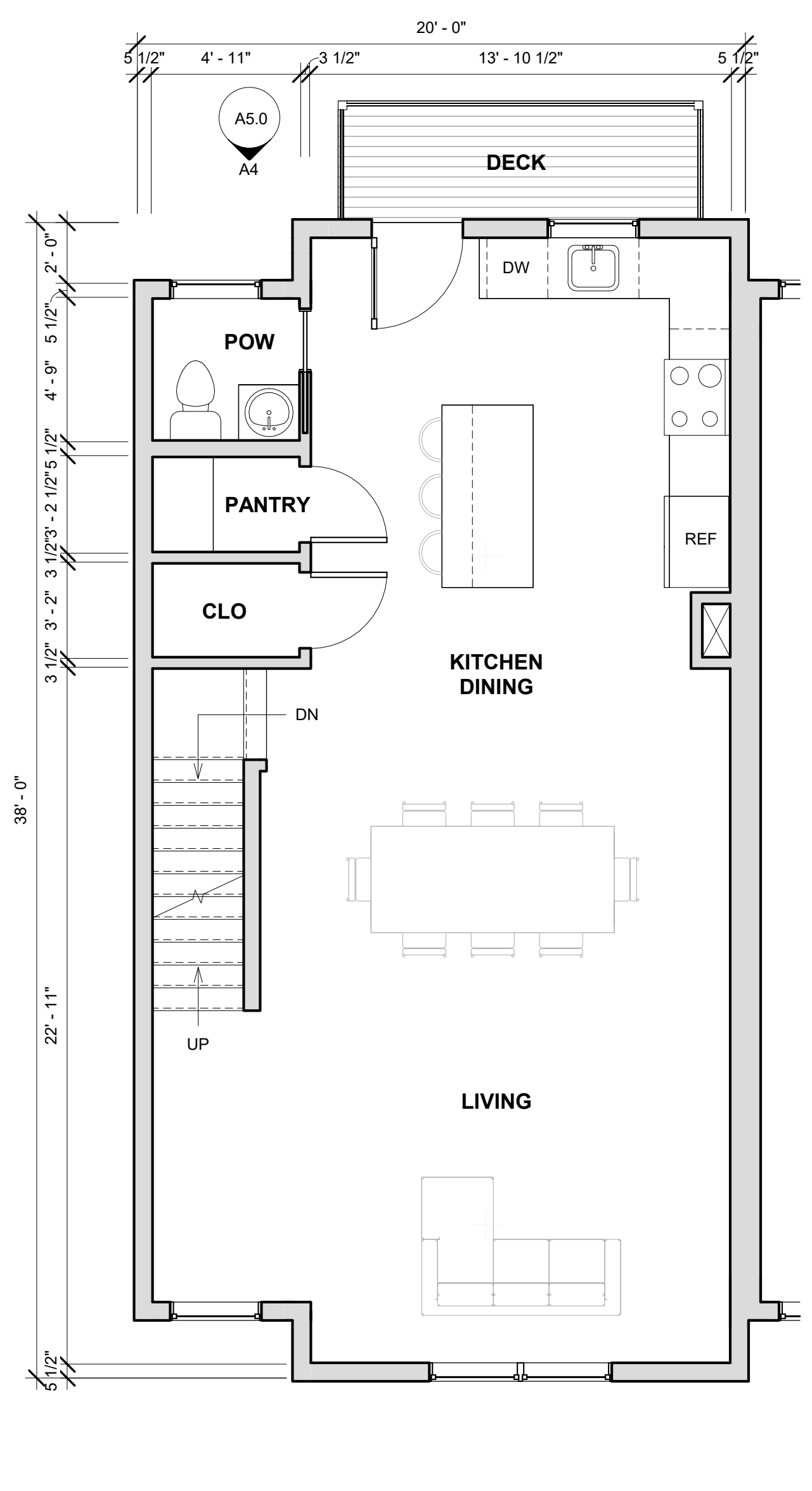
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3

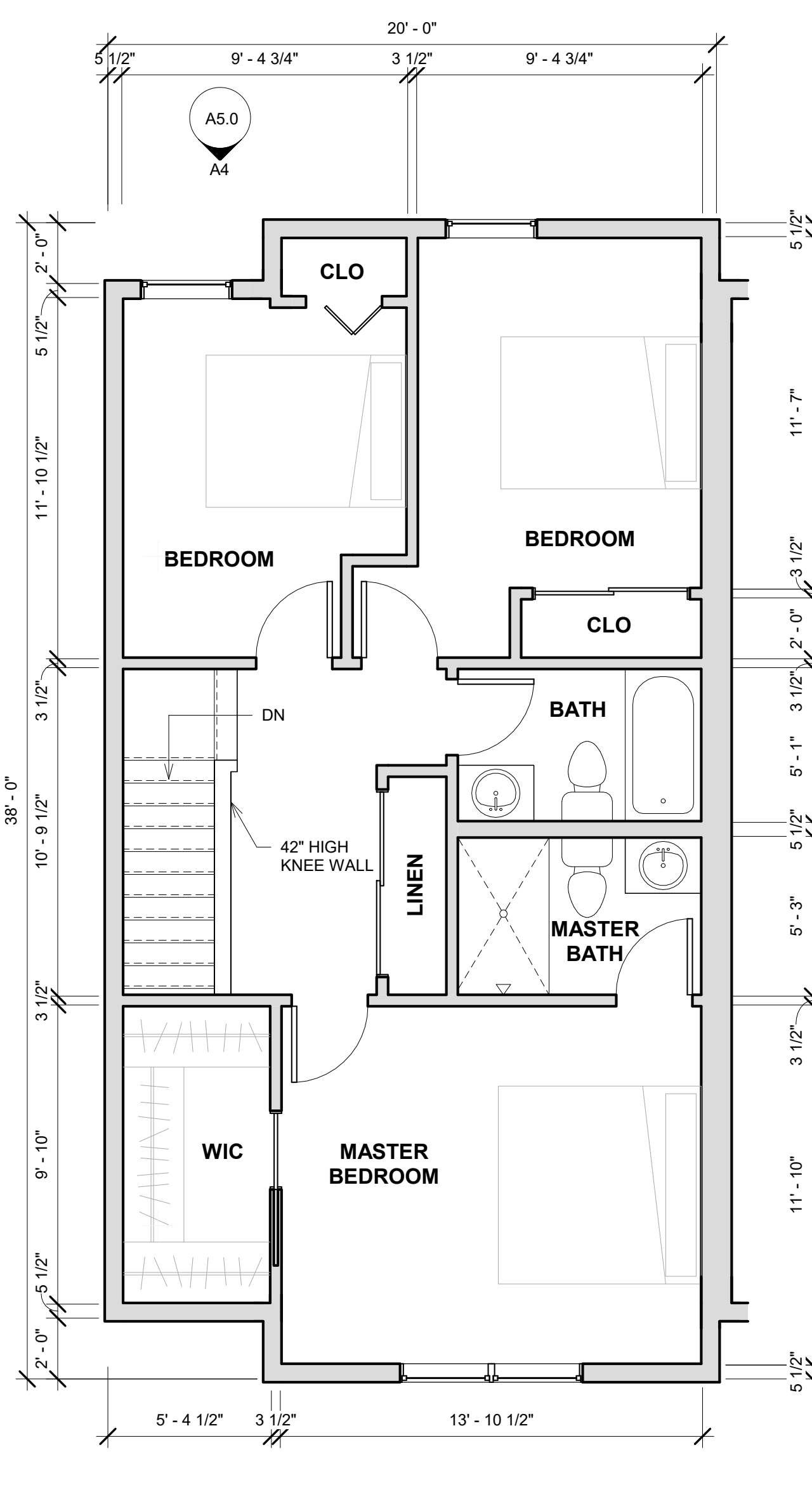
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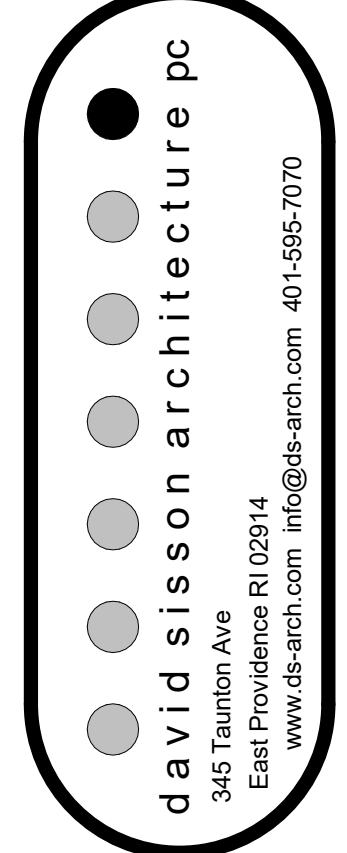
**A4** FLOOR PLAN - 1ST FL  
1/4" = 1'-0"



**B4** FLOOR PLAN - 2ND FL  
1/4" = 1'-0"



**C4** FLOOR PLAN - 3RD FL  
1/4" = 1'-0"



REV #	DATE	ISSUED FOR:
	2024-10-23	OWNER REVIEW

**206 Bayview Ave**  
Bristol, RI 02809  
PROJECT NUMBER: 23031

**PLAN 1ST FL, 2ND FL & 3RD FL**

# OPT 10

# A4.1

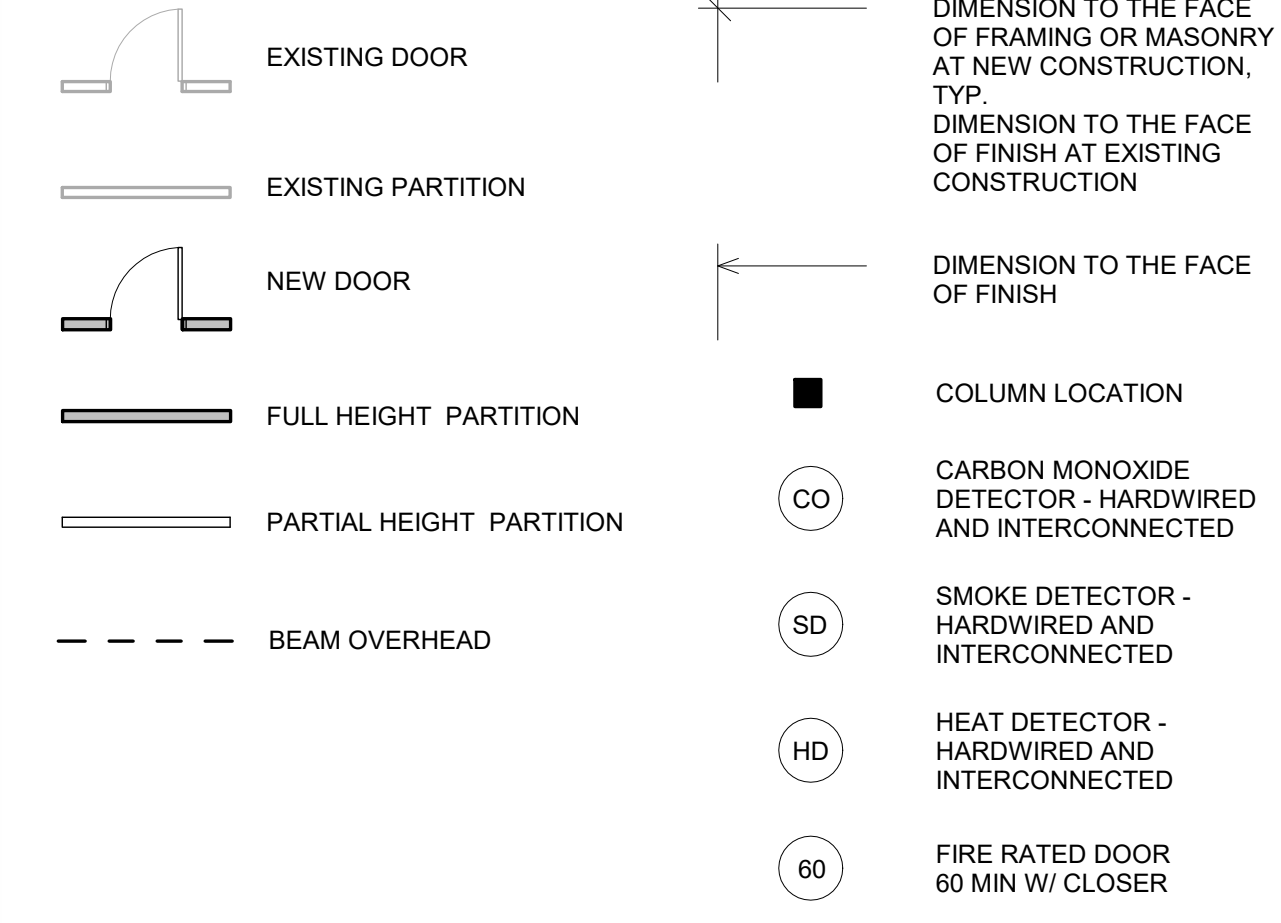
# A KEYED NOTES

# B

# C

# D

## PLAN LEGEND



## GENERAL NOTES

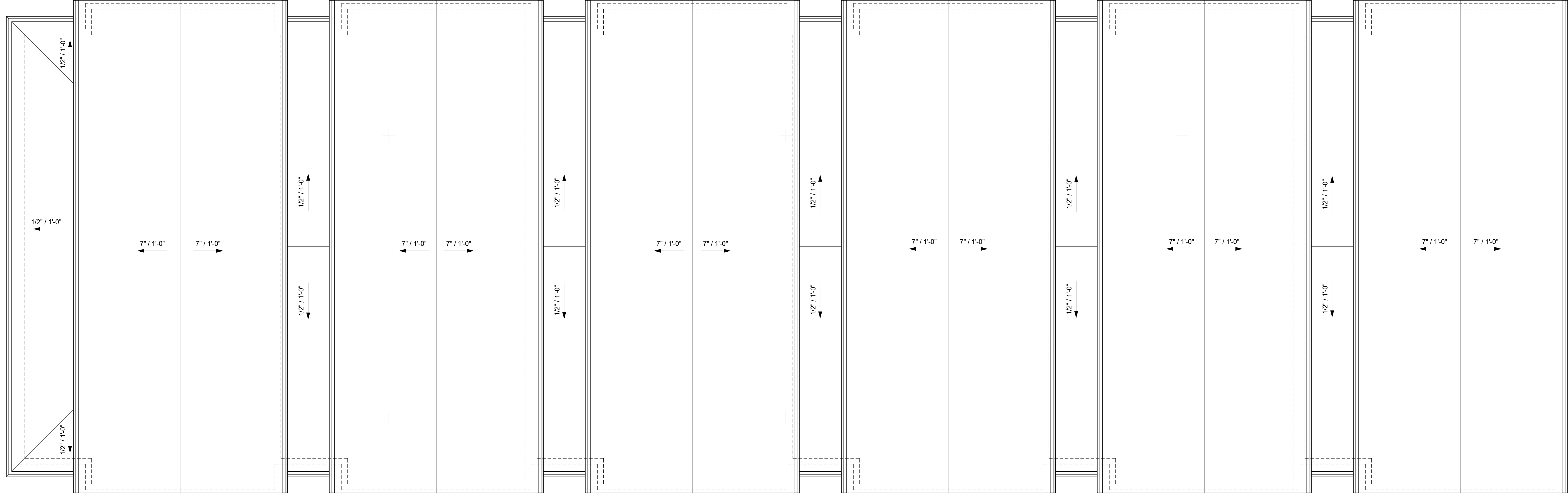
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1

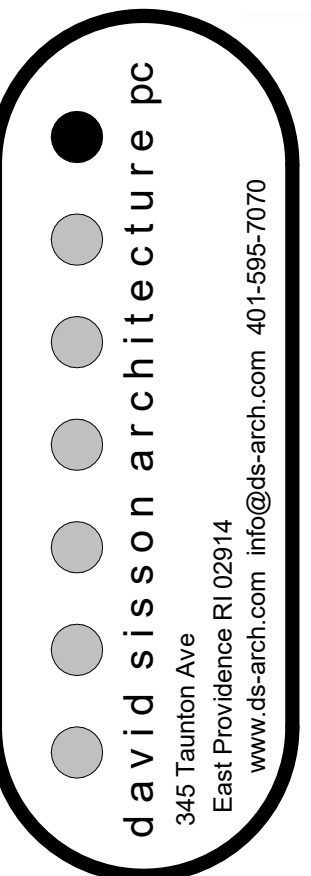
2

3

4



A4 FLOOR PLAN - ROOF  
1/4" = 1'-0"



REV #	DATE	ISSUED FOR:
	2024-10-23	OWNER REVIEW

206 Bayview Ave  
Bristol, RI 02809  
PROJECT NUMBER: 23031

PLANS - ROOF

OPT 10

A4.2







A

B

C

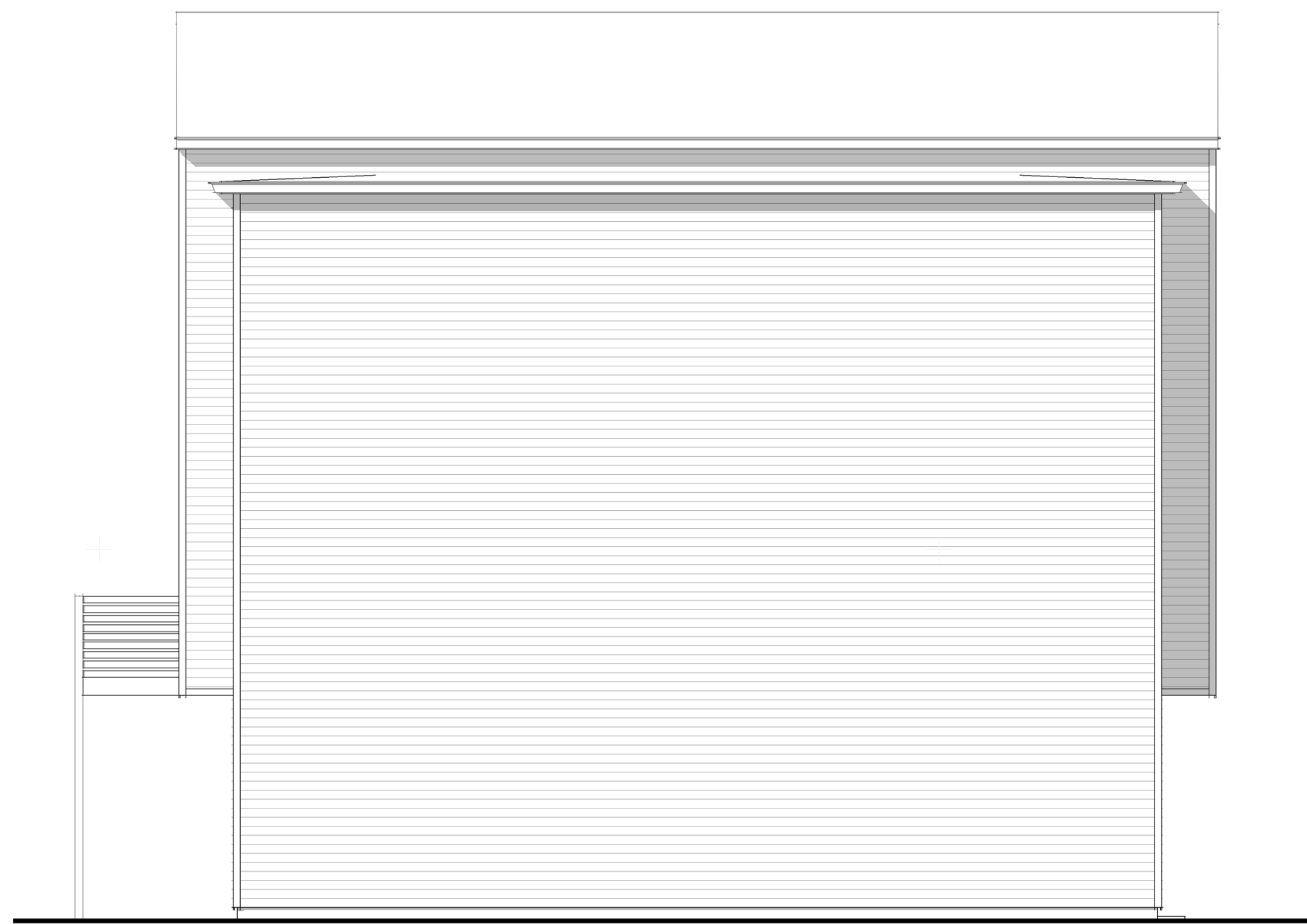
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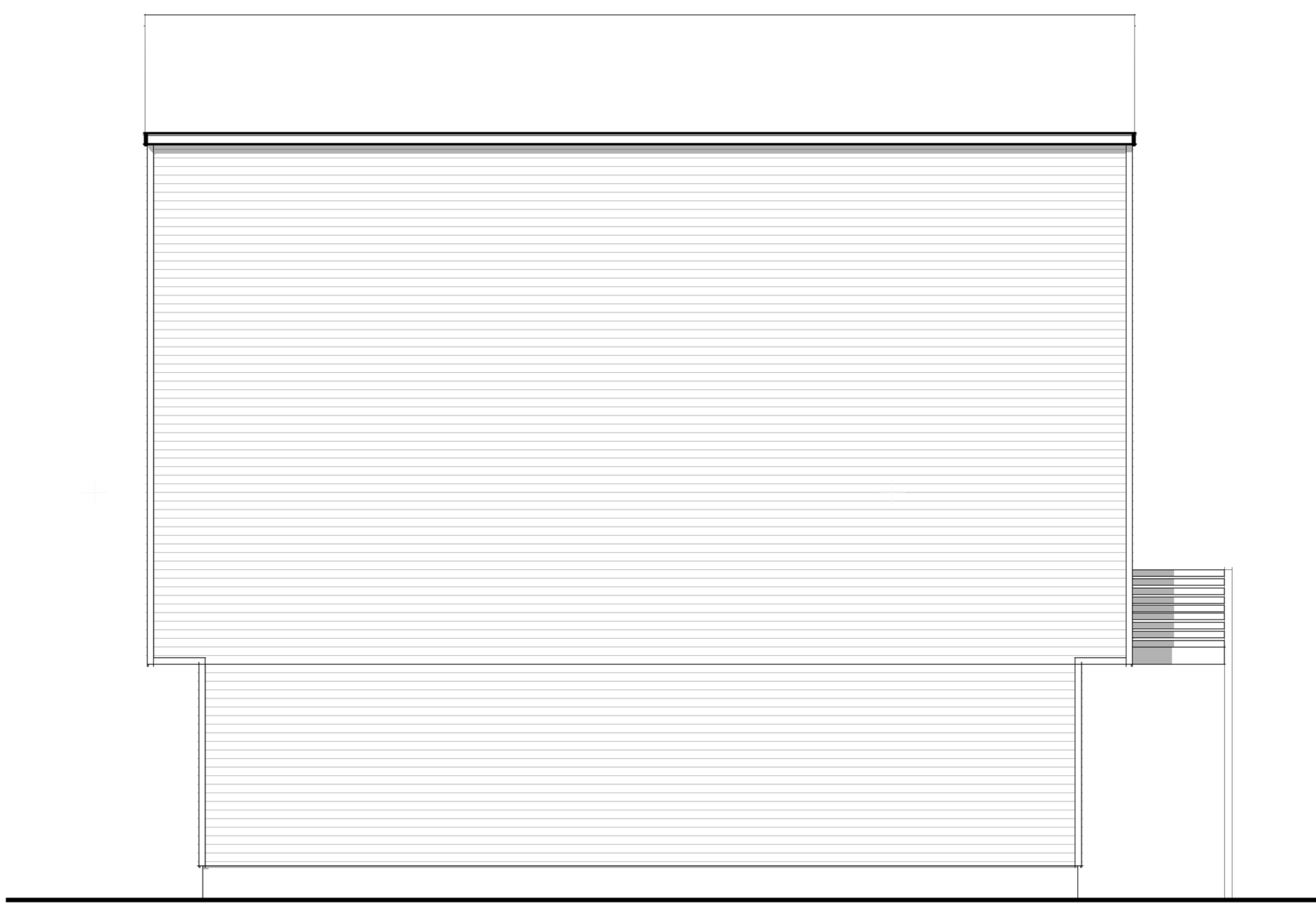
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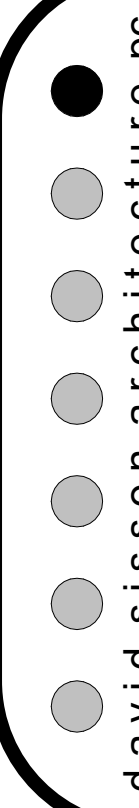
4



A2 NORTH ELEVATION  
1/4" = 1'-0"



A4 SOUTH ELEVATION  
1/4" = 1'-0"

  
**david sisson architecture pc**  
 345 Taunton Ave  
 East Providence RI 02914  
 www.ds-arch.com info@ds-arch.com 401-595-7070

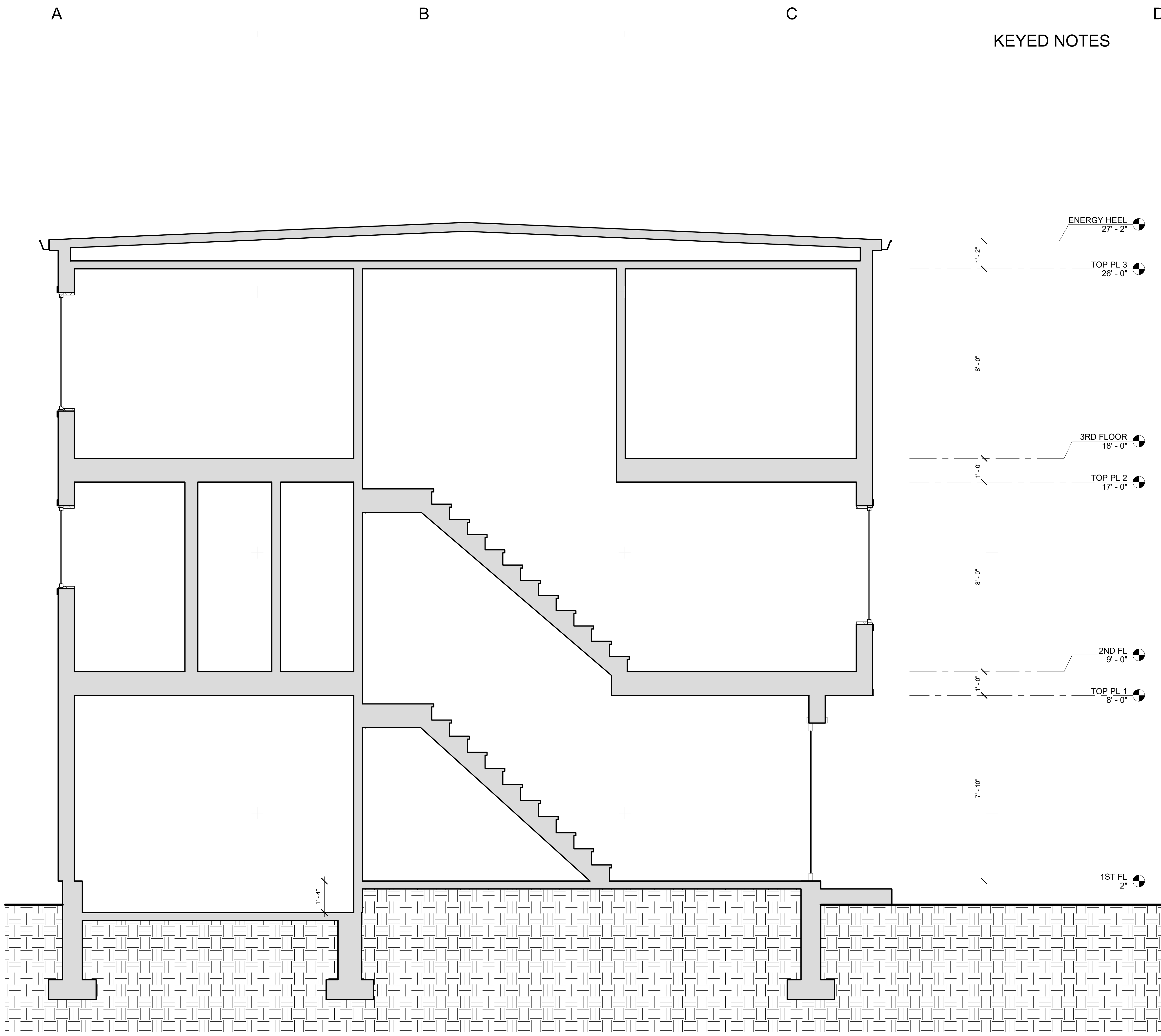
REV #	DATE	ISSUED FOR:
	2024-10-23	OWNER REVIEW

**206 Bayview Ave**  
 Bristol, RI 02809  
 PROJECT NUMBER: 23031

**ELEVATIONS**

**OPT 10**

**A5.1**



KEYED NOTES

A3 SECTION 1  
1/2" = 1'-0"

david sisson architecture pc
   
 345 Taunton Ave
   
 East Providence RI 02914
   
 www.ds-arch.com info@ds-arch.com 401-595-7070

REV #	DATE	ISSUED FOR:
	2024-10-23	OWNER REVIEW

**206 Bayview Ave**
  
 Bristol, RI 02809
   
 PROJECT NUMBER: 23031

SECTIONS

OPT 10

A6.0



THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATIONS FOR PROFESSIONAL LAND SURVEYORS NOVEMBER 25, 2015 AS FOLLOWS:

TYPE OF SURVEY: LIMITED CONTENT BOUNDARY SURVEY  
MEASUREMENT SPECIFICATION: CLASS 1 STANDARD

PURPOSE OF SURVEY: EXISTING CONDITIONS

BY: NORBERT A. THERIEN, PLS NO. 1739 DATE: \_\_\_\_\_

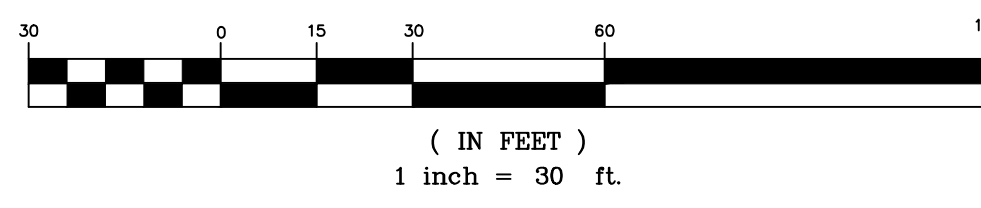


A.P. 48 LOT 7  
N/F ROGER WILLIAMS  
UNIVERSITY

A.P. 48 LOT 12  
N/F JULIANN SOUSA  
DB. 1660 PG. 158  
GRANITE BOUND  
DRILL HOLE (FND)

A.P. 47 LOT 7  
N/F THOMAS LEE &  
REBECCA NICHOLS  
DB. 1313 PG. 49

GRAPHIC SCALE



A.P. 47 LOT 4  
N/F TOWN OF BRISTOL  
DB. 1568 PG. 231

- GENERAL NOTES:
- DEED REFERENCE: BK 2147, PAGE 344.
  - THIS SUBJECT PARCEL IS NOT LOCATED WITHIN A FLOOD ZONE.
  - SOILS ON SITE ARE CLASSIFIED AS CANTON-UBRAN LAND COMPLEX, VERY ROCKY (CC) AND PITSTOWN SILT LOAM, 0 TO 3 PERCENT SLOPES (PmA) AS IDENTIFIED BY THE USDA RI SOIL SURVEY. THERE ARE NO AREAS OF PRIME AGRICULTURAL SOIL AND/OR FARMLAND SOILS ON THE PROPERTY.
  - THERE ARE NO AREAS OF EXISTING, ACTIVE AGRICULTURAL USE ON THE SUBJECT PROPERTY.
  - THERE ARE NO WETLANDS ON OR IN THE VICINITY OF THE PROJECT.
  - THERE ARE NO HISTORIC CEMETERIES PRESENT ON THE SUBJECT PARCEL. IT IS NOT LOCATED WITHIN A NATURAL HERITAGE AREA AS DEFINED BY THE TOWN OF BRISTOL WEB GIS MAPS.
  - THE SUBJECT PARCEL IS NOT LOCATED WITHIN ANY SPECIAL AREA MANAGEMENT PLAN OF THE RI CRMC.
  - THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN OWTS CRITICAL RESOURCE AREA AS DEFINED BY RIDEM.
  - THE SUBJECT PARCEL IS NOT LOCATED WITHIN A DRINKING WATER SUPPLY WATERSHED AS DEFINED BY RIDEM.
  - THE SUBJECT PARCEL IS NOT LOCATED WITHIN THE ROUTE 136 OVERLAY PER BRISTOL GIS.
  - THE SUBJECT PARCEL IS LOCATED WITHIN THE UPPER EAST PASSAGE WATERSHED.
  - THE DEVELOPMENT PARCEL IS NOT LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES.
  - THE SUBJECT PROPERTY IS NOT SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY A FULL EXAMINATION OF THE TITLE.
  - THE SUBJECT PARCEL IS NOT CONSIDERED TO BE WITHIN AN AQUIFER RECHARGE AREA, WELLHEAD PROTECTION OR GROUNDWATER PROTECTION AREA.
  - THERE ARE NO COASTAL FEATURES WITHIN 200 FEET OF THE SUBJECT PARCEL.
  - THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR TOWN WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
  - THE APPLICANT AND/OR THEIR REPRESENTATIVE AND THEIR ENGINEER HAVE WALKED THE SITE OF THE PROPOSED PROJECT.

LEDGE TESTS:  
DATE: 07/27/2022

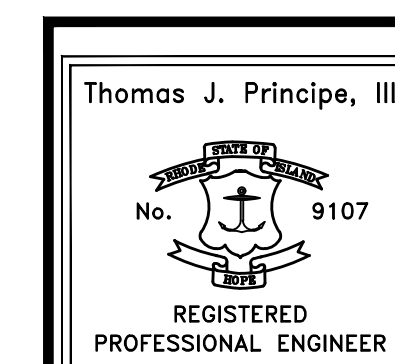
- TH 1  
LEDGE @ 5 FT
- TH 2  
LEDGE @ 6 FT
- TH 3  
LEDGE @ 2 FT
- TH 4  
NO LEDGE  
8 FT DEEP
- TH 5  
LEDGE @ 6 FT
- TH 6  
LEDGE @ 4 FT
- TH 7  
LEDGE @ 4 FT
- TH 8  
NO LEDGE  
10 FT DEEP
- TH 9  
LEDGE @ 3 FT
- TH 10A  
NO LEDGE  
8.5 FT DEEP
- TH 10B  
LEDGE @ 3 FT
- TH 11  
NO LEDGE  
9.5 FT DEEP

ZONING CRITERIA

R10 ZONING	
ZONING DISTRICT	R10
MINIMUM LOT AREA	10,000 SQ. FT.
MINIMUM LOT WIDTH	80'
MINIMUM LOT FRONTAGE	80'
MINIMUM FRONT YARD SETBACK	30'
MINIMUM SIDE YARD SETBACK	15'
MINIMUM REAR YARD SETBACK	30'
MAXIMUM LOT BUILDING COVERAGE	25%
MAXIMUM BUILDING HEIGHT	35' (ACCESSORY 20')

OWNER/APPLICANT  
FAIR WIND  
PROPERTIES, LLC  
PO BOX 333  
BRISTOL, RI 02809

EXISTING CONDITIONS PLAN



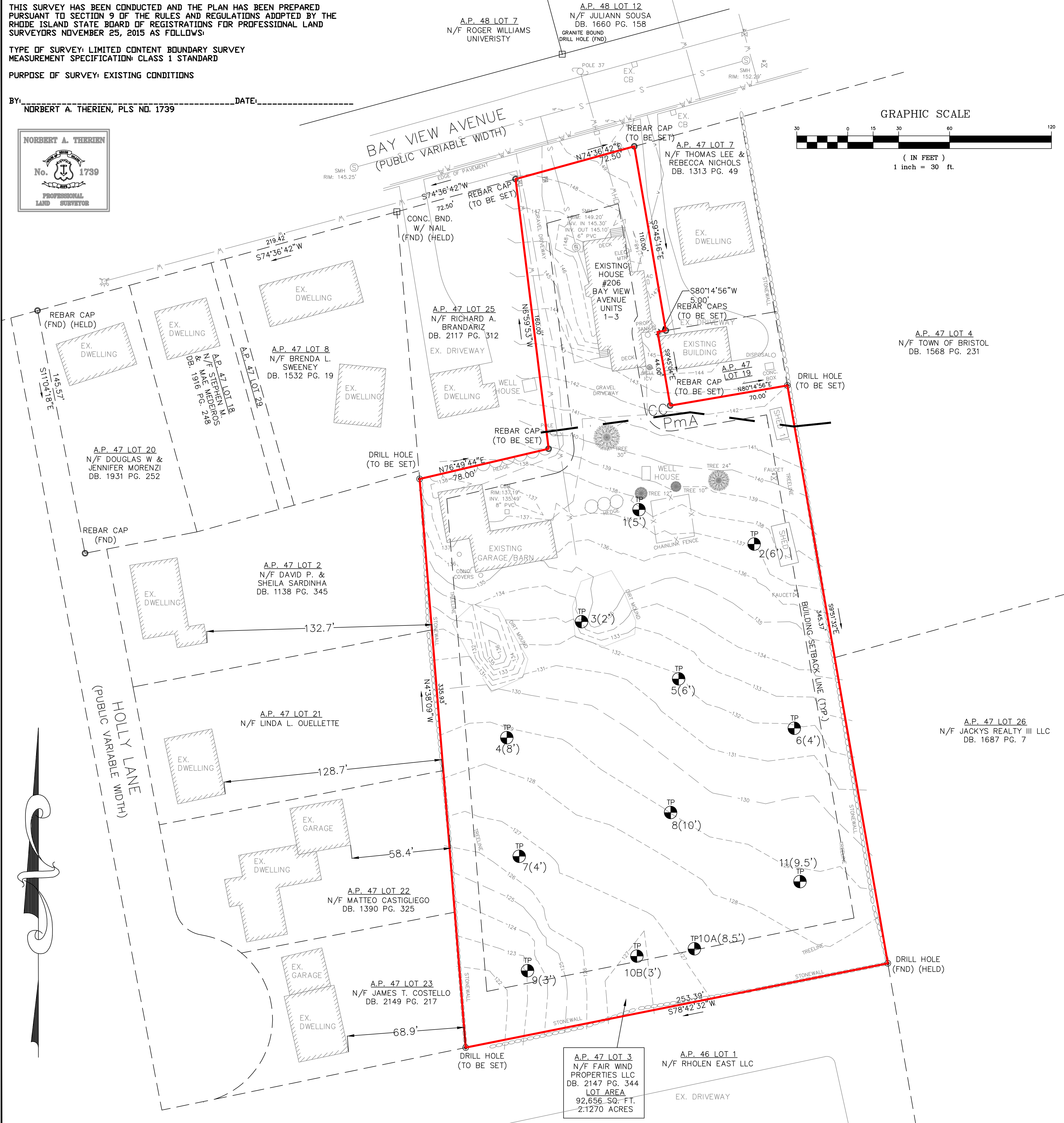
**PRINCIPE COMPANY, INC.**  
ENGINEERING DIVISION  
PO BOX 298  
TIVERTON, RI 02878  
401-816-5385  
www.PrincipeEngineering.com

REVISIONS

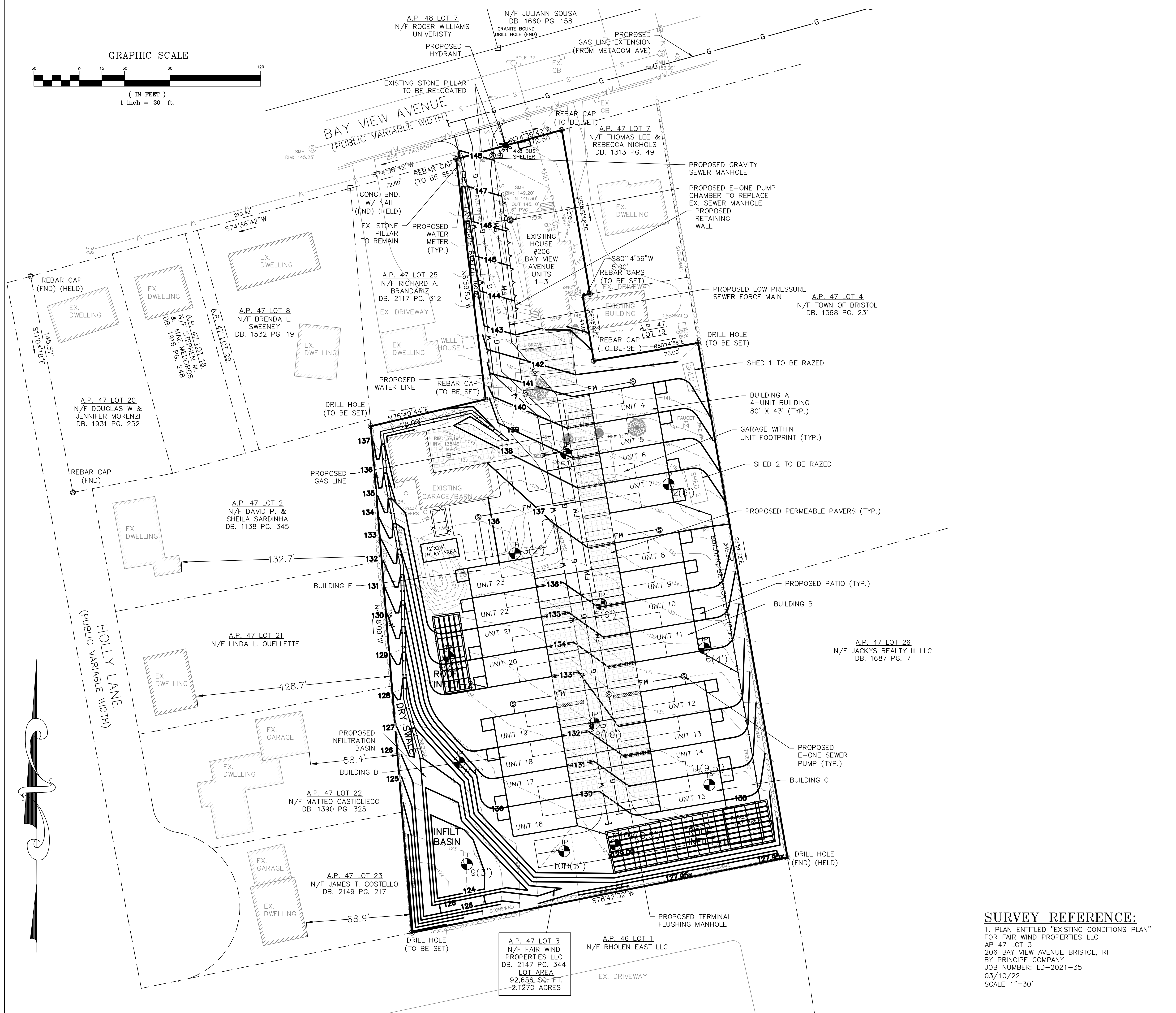
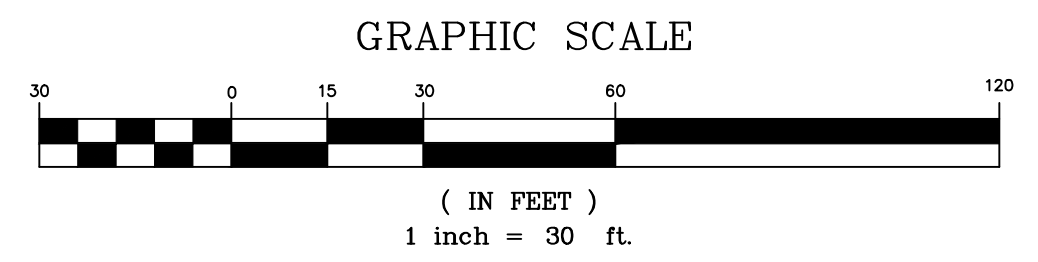
No.	DATE	DRWN	CHKD
1.	08/19/22	KAB	TJP

PRE APPLICATION SUBMISSION  
FOR A  
COMPREHENSIVE PERMIT APPLICATION  
OF  
"FAIR WIND VILLAGE"  
A.P. 47 LOT 3  
206 BAY VIEW AVENUE  
in  
BRISTOL, RHODE ISLAND

SCALE: 1" = 30'	SHEET NO: 2 of 4
DRAWN BY: NEC	DESIGN BY: NEC
DATE: 05/25/22	CHECKED BY: JAR
	PROJECT NO.: LD-2021-35







**ZONING CRITERIA**  
R10 ZONING

ZONING DISTRICT	R10
MINIMUM LOT AREA	10,000 SQ. FT.
MINIMUM LOT WIDTH	80'
MINIMUM LOT FRONTAGE	80'
MINIMUM FRONT YARD SETBACK	30'
MINIMUM SIDE YARD SETBACK	15'
MINIMUM REAR YARD SETBACK	30'
MAXIMUM LOT BUILDING COVERAGE	25%
MAXIMUM BUILDING HEIGHT	35' (ACCESSORY 20')

**OWNER/APPLICANT**  
FAIR WIND  
PROPERTIES, LLC  
PO BOX 333  
BRISTOL, RI 02809

**PROPOSED CONDITIONS PLAN**

Thomas J. Principe, III  
No. 9107  
REGISTERED  
PROFESSIONAL ENGINEER

**PRINCIPE COMPANY, INC.**  
ENGINEERING DIVISION  
PO BOX 298  
TIVERTON, RI 02878  
401-816-5385  
www.PrincipeEngineering.com

**REVISIONS**

No.	DATE	DRWN	CHKD
1.	08/19/22	KAB	TJP

**PRE APPLICATION SUBMISSION**  
FOR A  
**COMPREHENSIVE PERMIT APPLICATION**  
OF  
**"FAIR WIND VILLAGE"**  
A.P. 47 LOT 3  
206 BAY VIEW AVENUE  
in  
BRISTOL, RHODE ISLAND

SCALE: 1" = 30'	SHEET NO: 4 of 4	
DRAWN BY: NEC	DESIGN BY: NEC	CHECKED BY: JAR
DATE: 05/25/22	PROJECT NO.: LD-2021-35	

**SURVEY REFERENCE:**  
1. PLAN ENTITLED "EXISTING CONDITIONS PLAN"  
FOR FAIR WIND PROPERTIES LLC  
AP 47 LOT 3  
206 BAY VIEW AVENUE BRISTOL, RI  
BY PRINCIPE COMPANY  
JOB NUMBER: LD-2021-35  
03/10/22  
SCALE 1"=30'

A.P. 47 LOT 3  
N/F FAIR WIND  
PROPERTIES LLC  
DB. 2147 PG. 344  
LOT AREA  
92,656 SQ. FT.  
2.1270 ACRES





# Town of Bristol, Rhode Island

Item B1.

## Department of Community Development

235 High Street  
Bristol, RI 02809  
[www.bristolri.us](http://www.bristolri.us)  
401-253-7000

TECHNICAL REVIEW COMMITTEE MEETING  
206 BAYVIEW AVENUE  
APPLICANT: FAIRWIND PROPERTIES, LLC  
CONCEPT REVIEW

The Technical Review Committee held a meeting for Concept Review of the proposed plan for property located at 206 Bayview Avenue (plat 47, lot 3).

The meeting was held on **June 28, 2022** at 6:00 p.m. in the conference room at 235 High Street.

### Attending:

Diane Williamson - Administrative Officer  
Edward Tanner – Zoning Officer  
Steve Katz – Planning Board Duty Member  
Sue Rabideau – Bristol County Water Authority (BCWA)  
Jose DaSilva – Bristol Water Pollution

Danial Ferreira – Applicant  
Karen Beck – Principe Engineering  
Nathan Chofay - Principe Engineering  
Atty. Scott Spear – Blish & Cavanagh

- Second Concept Review for this application. Previous meeting was in November 2021.
- 2.2-acre lot on Bayview Ave. R-10 Zone.
- Existing 3 family dwelling to remain. Existing garage to remain.
- Topography grades to the rear (south) end of the site
- Five residential buildings proposed with four units in each building for a total of 23 units including the existing house.
- Soil test pits will be performed to aid in design of drainage / stormwater management
- Existing utilities that service the property include Town sewer (force main into site), BCWA water, and natural gas
- Applicant would be requesting a waiver for size of parking spaces at nine feet wide instead of the required 10 feet wide. Proposal may also need a waiver from setback
- This application is for a Comprehensive Permit for affordable housing. 25% of units will be affordable. One unit within in each building.
- Units will all be rentals. 3-4 bedrooms per unit. 2.5 baths in new units.
- Existing three-family building has been upgraded and modernized.
- New buildings will be townhouse style with separate entrances and a garage for each.
- Buildings will be slab on grade. No basements would be proposed.
- Existing garage structure would remain and be used as storage for owner and tenants of the property.

- BCWA has concerns about water pressure and volume at this location. Two water mains are located in Bayview Avenue: one with only 15 PSI; and the other line is a high pressure main but only a 2-inch diameter line. Will not be able to tap in a fire hydrant. Applicant will submit water service design info. May use booster pumps. Applicant may be required to pay for BCWA's consulting engineer to run a water service analysis for this proposal. Water pressure is a concern. There is a high pressure, high-capacity water main located in Metacom Avenue that may be tied into. Applicant need to bring a new water main down into site from Metacom Avenue.
- Stormwater Management is proposed as a bio-retention area along the west side of property. May need to design other stormwater mitigation. Design will depend on site soil conditions and engineering analysis. The applicant will provide more information as design progresses. Stormwater management and drainage will likely dictate much of the overall site design.
- Traffic analysis will be required. Applicant has hired an engineer for traffic analysis on Bayview Avenue and the intersection with Metacom Avenue. The driveway intersection with Roger Williams University housing directly across Bayview Avenue is also a concern.
- Wastewater department submitted a letter with comments. TRC discussed that letter. There are issues with the existing sewer manhole and main line in Bayview Avenue. Will need to evaluate the existing line. Applicant may need to install a new manhole at the proposed street lateral in Bayview Avenue for ease of maintenance.
- As a Comprehensive Permit development, there is a minimum 25% affordable housing requirement. Rhode Island Housing application has been submitted and is under review now.
- TRC discussed buffer requirement. Existing trees along edge of property are proposed to remain. May need to look at planting more.
- All utilities on property will be underground.
- There is a minimum open space requirement of 400 square feet for each residential unit. Some open green space for families to utilize. Outdoor patios will be installed for each unit. There is no playground currently proposed due to liability issues.

TRC discussed additional items that will need to be considered:

- Will need a trash and recycling plan
- Plans will need to show any walkways for pedestrians. Sidewalks within the development
- RIPDES permit will be required from RIDEM for a development of this size
- Fiscal impact statement is required for a residential development with 20 or more units
- Variances may be required for parking lot aisle widths, striping, etc.; as well as for multi-family dwellings in R-10 Zone, lot frontage, more than one principal residential structure on a lot, and distance of only five feet between the proposed driveway and neighboring lot to the west.
- School bus stop may be added to front of property
- Curb cut permit will be required for widening of the driveway



- Proposed density of the site at 23 residential units was discussed. Need to evaluate impacts to the area of families vs. students in the rental units. Applicant would prefer families over college students and will design the development towards that demographic.
- Next Steps: up to Applicant to return when ready to file a formal application.

Meeting adjourned at 7:00 p.m.  
Notes by Ed Tanner

**TECHNICAL REVIEW COMMITTEE MEETING NOTES****OCTOBER 27, 2022****5:30 P.M.****FIRST FLOOR CONFERENCE ROOM****DEPARTMENT OF COMMUNITY DEVELOPMENT****235 HIGH STREET, BRISTOL, RI**

The Technical Review Committee met for a concept review/pre-application meeting on the comprehensive permit proposal for 206 Bayview Avenue.

Present:

Technical Review Committee Members:

Diane M. Williamson, Administrative Officer  
Stephen Katz, Planning Board Duty Member  
Bob Sykes, Pare Engineering, Review Engineer

Owner/Applicant:

Danial Ferreira, Fairwind Properties, owner/applicant  
Nathan Chofay, Principe Engineering, design engineer  
Scott Spear, Applicant's attorney

The applicant presented an overview of the project which included 20 new dwelling units in addition to the 3 existing dwelling units in the existing building. The proposal would include 5 affordable housing units (25%) which would be rental at 80% AMI. The applicant's intended these units to be for professionals, graduate students, and families. A fire hydrant would be required and the Bristol County Water Authority was requiring an upgrade to the water service which the applicant would do.

Mr. Sykes, the Review Engineer noted that his early comments had been responded to by the designing engineer. However, he had concern about the grading for the drainage which went into the neighboring properties. He also had concerns about the drainage from off site and the shallow depths to bedrock. The drainage design would require an operation and maintenance plan for the owner to maintain the drainage including the pervious paving. It was noted that the design of the units did not include basements.

The applicant indicated there was room on the sight for plowing snow which would go to the south side were the drainage is. Ms. Williamson questioned the drainage location on the south side with all the drainage concentrated in one area rather than spread out along the development in several different areas. The concentrated location could cause impacts to the abutters.

Ms. Williamson also noted that there is only one play indicated being a 12x24 space, there is no buffer against the manufacturing and there is no land for any landscaping. The applicant noted that there was

an additional space which was 24x24 in the southeast corner near the manufacturing zone and that there was area behind the buildings which could be used for outdoor space. However, it was also noted that this area was very limited with steep grades. The applicant stated that he would also put portable basketball hoops in the parking area for recreation area.

The total number of parking spaces was discussed. It was noted that there are 60 parking spaces on the site with surface parking and one-car garages; 46 parking spaces are required.

The TRC discussed the density proposal and the concern about the overdevelopment of the site. The consensus was that the proposal was too dense and that two of the buildings (8 units) should be eliminated so that there are 12 new dwellings for a total of 15 units with the 3 existing. This is more in line with the density based on the inclusionary zoning requirements. With the reduced density, the total affordable housing units would be 4.

The TRC also discussed the floor plan of the proposed new dwellings which have 3 or 4 bedrooms and a relatively small living area that appears about the size of the one-car garage. There was discussion that the garage would be needed for storage since the units don't have basements. There was further discussion that perhaps some of the garages could be eliminated in the 4-bedroom units for a cost savings.

The applicant stated that he will take a solid look at reducing the density. He was hopeful that by reducing the density he would be able to eliminate the pervious pavement and maybe the need for a hydrant and an upgraded water service.

The TRC members agreed that the BCWA needs to sign off on the water service and the Planning Board will require an approval from that agency. The applicant indicated his engineer had done a study to show that the water was adequate; however, the TRC members want approval from the BCWA which the Planning Board will also want. The Fire Chief also needs to be consulted regarding the need for a hydrant and fire suppression systems.

The applicant was reminded that this is concept plan and the TRC provides input to the Planning Board; however, the TRC recommendations are not binding on the Planning Board and with the benefit of the public hearing process, the Planning Board may require even less density.

The applicant will review the proposal based on the TRC meeting and consider some options.

Meeting ended at 6:30 p.m.

Notes by Diane M. Williamson