



TOWN OF BRISTOL, RHODE ISLAND

PLANNING BOARD MEETING

Planning Board Meeting Agenda

Thursday, July 18, 2024 at 7:00 PM

Bristol Town Hall, 10 Court Street, Bristol, RI 02809

A. Pledge of Allegiance

B. Approval of Minutes - June 13, 2024

C. New Business

C1. Final Plan Phase Review and action by the Planning Board on the Major Land Development for the re-development of the Robin Rug mill to be known as "Bristol Yarn Mill" at 125 Thames Street: Proposal is for 127 residential apartment units and approximately 6,300 square feet of commercial space in the mill building. Proposal includes parking on the east side of Thames Street that is located approximately 130 feet south of the intersection of Church and Thames Streets. Property currently zoned Waterfront - Urban Rehab Land Development "Urban Rehab Land Development" a/k/a Waterfront Planned Unit Development with conditions, Waterfront, and Downtown Zones and is also within the Bristol Historic District. Plat: 10, Lots 41,42,43,44,49,50,60,61,62,68,71,73,74 and 76 Owner: Thames Street Nash

D. Adjourn

Date: June 25, 2024

Posted by: mbw



Town of Bristol, Rhode Island

Department of Community Development

10 Court Street
Bristol, RI 02809
bristolri.gov
401-253-7000

June 21, 2024

TO: Planning Board

FROM: Diane M. Williamson, Director/Administrative Officer

RE: **Final Phase Application for Bristol Yarn Mill**

The above application is before you for final review and approval of the final phase application of the Bristol Yarn Mill.

Included in your packet, for ease of review, is a memo from Fuss and O'Neill outlining the plan changes from the preliminary plan. These changes address requirements of the Board from the Preliminary approval and comments from other approving agencies, namely CRMC. Two of note per CRMC are the widening of the walkway around the maritime center from 3' to 5' and the elimination of the dog park area which is being replaced with plantings.

In addition, it is noted that the plans have been revised to indicate the additional row of arborvitae screening along the southern property boundary of the parking lot. These new arborvitae are proposed to be located to the north of the existing arborvitae and the proposed fence is shown to be to the south of the existing arborvitae on the property line. This fence will need to be located in the field in coordination with the 3 abutting neighbors who are aware and have indicated that they will coordinate with developer on the exact location. This has been added as a condition of approval.

Copies of the Change of Zone from the Town Council and the Master Plan and Preliminary Decisions are also provided for your review and information. The conditions of the preliminary plan approval have been met including those conditions that are re-iterated in the final phase.

A draft motion is provided for your consideration.

As you recall, I will be away from June 29-July 14. If you have any questions during that time, please feel free to contact the Planning Board Solicitor, Andy Teitz directly.

Town of Bristol, Rhode Island



Department of Community Development

10 Court Street
Bristol, RI 02809
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CERTIFICATE OF COMPLETENESS

Major Land Development – Final Plan Phase – Bristol Yarn Mill

June 20, 2024

TO: John McCoy, Esq. on behalf of the applicants

FROM: Diane M. Williamson, Administrative Officer

RE: Major Land Development Final Plan Phase
Bristol Yarn Mill

Pursuant to the Bristol Land Development and Subdivision Review regulations the plans and supporting documentation for the above-referenced plan, which were submitted on June 5, 2024 with supplemental information submitted on June 13, 2024 are deemed to be complete on June 20, 2024 for purposes of commencing review. Please note that the Town may subsequently require correction of any information found to be in error and submission of additional information not required for certification, as is necessary to make an informed decision.

The Planning Board will take action on the application within 45 days of the issuance of the Certificate of Completeness, **which date is August 4, 2024**, unless an extension is mutually agreed upon.

Diane M. Williamson,
Administrative Officer



Town of Bristol, Rhode Island

Planning Board

10 Court Street
Bristol, RI 02809
bristolri.gov
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DECISION OF BRISTOL PLANNING BOARD

Bristol Yarn Mill – Major Land Development

Final Plan Decision

OWNER: Thames Street Nashua, LLC

APPLICANT: Brady Sullivan Properties, LLC

PROPERTY ADDRESS: 125 Thames Street

PLAT 10 LOTS 41, 42, 43, 44, 49, 50, 60, 61, 62, 68, 71, 73, 74, and 76

Motion:

“The Bristol Planning Board hereby grants conditional approval to the Final Phase plans as revised May 29, 2024 by Fuss & O’Neill, Shawn M. Martin, Registered PE, and Control Point Survey, Charles Lent, Registered PLS, entitled “Bristol Yarn Mill Thames Street and Hope Street, Bristol, Rhode Island, Assessor’s Plat 10, Lots 41,42,43,44,49, 50,60,61,62,68,71,73,74 and 76, Permitting Plan” dated December 6, 2022, Revised: May 29, 2024 (28 sheets) along with architectural plan by Brady Sullivan Properties, entitled “Bristol Yarn Mill, 125 Thames Street, Bristol, Rhode Island including the Basement Parking Plan, Sheet A1-0” dated May 19, 2023 and Easement Plan for Public Access Easement by Control Point Survey, Charles Lent, Registered PLS dated February 7, 2024.

Approval is based upon the following findings of fact and conclusions of law.

I. Procedural History

1. The Planning Board granted Master Plan approval on May 12, 2022.
2. The Town Council amended the Zoning Ordinance and Conditional Zone Map Change subject to conditions on July 13, 2022.
3. The Preliminary Plan application was submitted on December 14, 2022 and approved by the Planning Board with conditions on July 13, 2023.
4. The Board determined at that time that Final Plan Review and approval would be conducted by the Planning Board rather than by the Administrative Officer.
5. The Final Plan application was submitted on June 5, 2024.

II. Project Description

1. The proposed project is described on the Final Plan application and supporting materials as revised May 29, 2024 by Fuss & O'Neill, Shawn M. Martin, Registered PE, and Control Point Survey, Charles Lent, Registered PLS, entitled "Bristol Yarn Mill Thames Street and Hope Street, Bristol, Rhode Island, Assessor's Plat 10, Lots 41,42,43,44,49, 50,60,61,62,68,71,73,74 and 76, Permitting Plan" dated December 6, 2022, Revised: May 19, 2023 (28 sheets) and Fuss & O'Neill Figures 1-5 dated May 19, 2023 along with architectural plan by Brady Sullivan Properties, entitled "Bristol Yarn Mill, 125 Thames Street, Bristol, Rhode Island including the Basement Parking Plan, Sheet A1-0" dated May 19, 2023.
2. The subject Mill building property is located at 125 Thames Street and includes surface parking lot parcels which extend from Thames Street to Hope Street on: Plat 10, Lots 41, 42, 43, 44, 49, 50, 60, 61, 62, 68, 71, 73, 74, and 76.
3. The mill buildings on the west side of Thames Street will be renovated for the proposed 127 residential units and 6,300 square feet of commercial spaces. The rehabilitation and reuse of the buildings will be in accordance with the guidelines of the RI Historical Preservation and Heritage Commission and the Bristol Historic District Commission. None of the historic buildings are intended to be removed and no additions or significant modifications to the existing buildings are proposed. Only the non-contributing concrete masonry block building located near the Bristol Maritime Center is planned to be razed for the project.
4. The property includes residential dwellings on the east side of Thames Street as well as 2 commercial buildings on Hope Street and 2 apartments over one of the commercial buildings. The uses of these buildings are proposed to remain as existing. The three (3) residential dwelling units on the east side of Thames Street will be dedicated as off-site affordable housing units (a duplex at 70 Thames Street, Assessor's Plat 10, Lot 49 and a single family at 60 Thames Street, Plat 10, Lot 50).
5. The project includes 11 parking spaces on the north side of the mill for the commercial uses, 125 parking spaces within the mill building and 146 parking spaces in the surface parking lot on the east side of Thames Street for the residential units in the mill and in the Thames Street residential dwellings.
6. The subject Mill building property is located on the east side of Bristol Harbor adjacent to the Town's Maritime Center. The remainder of the subject property is located on the east side of Thames Street and west side of Hope Street.
7. The property is within the Downtown Historic District and subject to the jurisdiction of the Coastal Resources Management Council.
8. The project contains a segment of the Town's harbor walk that will extend from the Maritime Center on the north to Constitution Street crossing the parking lot of the Elks Lodge on the south in the existing easement. The applicant has agreed to partner with the Town and the Elks on the walkway continuation, as shown on the final plans, and will prepare any CRMC Applications for same that would be required. The applicant will also provide the striping and signage for the walkway.

III. Findings of Fact and Conclusions of Law

The Board approves this application for the following reasons:

1. The proposed development is consistent with the purpose and objectives of the Urban Rehab Land Development, as set forth in Section 28-284 “Land Development Projects – Urban Rehab Land Development Project” because it rehabilitates an under-utilized and inefficient historic structure and rehabilitates the urban waterfront. It encourages a design that is friendly to pedestrians, protects the existing built environment and character, which imparts a sense of place to the community while allowing beneficial new uses and rejuvenation, safeguards the physical fabric of the community from neglect and decay, prevents incongruous redevelopment, provides an appropriate change of use that is compatible with the architecture of the buildings on site and the surrounding neighborhood, and enhances public access to the waterfront.
2. The proposed development is consistent with the approved 2016 Comprehensive Plan which includes the following references:
 - a. In the Economic Development Element, Action Item #ED-C-3 states that the Town should continue to work with the owner of Robin Rug property to encourage and facilitate the completion of the development proposal for a mixed-use development-residential and commercial.
 - b. Land Use Element – Section 3 references the subject property and the proposed conversion of the property into a mixed-use development with residential uses on the upper floors with commercial and parking on the first floors. (Page 45)
 - c. Land Use Element – Section 3 states that the Urban Rehab and Waterfront PUD, which is intended to encourage the rehabilitation of and reuse of deteriorated, underutilized, and inefficient historic and/or nonconforming structures of conservation concern to the Town.
 - d. Future Land Use Map designates this property as “Waterfront PUD – waterfront mixed use commercial and residential.”
 - e. The Housing Element references the proposed Adaptive Re-use of the Robin Rug and the proposed affordable housing with the statement “While these units have not yet been built, they were a condition of the zone change for the re-use of the mill.”
3. The proposed development complies with the conditions of the Preliminary Plan approval, including those conditions that are re-iterated into this Final Plan phase, and will comply with the Town Council Change of Zone conditions.
4. The proposal includes the dedication of the existing parking lot at the corner of Church and Thames to the Town of Bristol for public parking to partially satisfy the 10% requirement for Public/Institutional uses per Section 28-284(g). Additional public space provided by the project includes a public walkway from Hope Street and the public access easement with a walkway along the waterfront of the property.
5. Off-site parking is permitted in accordance with Section 28-255 and will be deed restricted so that parking on the Surface Parking Lot is connected with the mill building, and cannot be separately conveyed. The off-site parking design, lighting, drainage, fencing buffering and landscaping details, were reviewed by the Planning Board as part of the Major Land

Development Master Plan and Preliminary application. The requirement of this Section for a separate TRC review is deemed met by the Planning Board review.

6. There will be no significant negative environmental impacts from the proposed development as shown on the plan with all required conditions for approval including the conditions of the permit from the Coastal Resources Management Council, FEMA compliance for flood proofing and flood mitigation under the RI State Building Code, compliance with the conditions issued by the Water Pollution and Control Facility (letter dated December 24, 2021), maintenance of the proposed drainage by the owner, and compliance with any requirements of the RIDEM Office of Land Revitalization and Sustainable Materials Management.
7. The proposed development will not result in the creation of individual lots which such physical constraints to development that building on those lots according to pertinent regulations and building standards would be impracticable because no new lots are being created.
8. The proposed development will have adequate and permanent physical access to a public street (Thames Street and Constitution Street).
9. Section 28-284 (d)(1) of the Zoning Ordinance is not applicable, since the section of the ordinance that controls this proposal is Section 28-284(d)(2) and the proposed development complies with the residential density set forth by the Town Council in the Zoning Map Amendment applicable to the subject property.
10. The proposed development is consistent with each of the general purposes of Article 1 of the Bristol Subdivision and Development Review Regulations as follows:
 - a. It was processed in accordance with the process set forth in the Regulations which provide for the orderly, thorough, and expeditious review of land developments.
 - b. It promotes high quality and appropriate design and construction of land development projects because it is a redevelopment and rehabilitation of an existing historic waterfront mill such that the building is preserved and restored.
 - c. It promotes the protection of the existing natural and built environment and the mitigation of all significant negative impacts on the existing environment, with the conditions of approval, because it is a redevelopment of the historic waterfront mill; there will not be any new buildings; it includes water quality measures for the drainage; it eliminates existing inflow and infiltration into the sewer system; and it provides enhanced buffering and screening from the existing parking lot to the abutting properties.
 - d. It promotes a land development that is well integrated into the surrounding neighborhood with regard to natural and built features and it concentrates the development in areas which can best support intensive use because of natural characteristics and existing infrastructure because it is a redevelopment project in an existing mill building with improvements to an existing surface parking lot with existing utilities that have the capacity for the redevelopment.
 - e. It reflects the intent of the Bristol Comprehensive Plan with regard to the physical character of the various neighborhood and planning areas of the Town because it is a

- redevelopment of an existing mill building that actually establishes the existing character of the neighborhood area.
- f. The proposal was reviewed by the Planning Board's Technical Review Committee and the various Town department heads and local agencies including the Bristol County Water Authority.
 - g. The proposal dedicates public land, impact mitigation, and payment in lieu thereof that is based on clear documentation of needs because it complies with the required set aside of public land area including walkways, a walkway along the waterfront, as identified in the Comprehensive Plan, and properties for public parking.
 - h. The project improvements allow for maximum protection of critical landscapes and resources as they relate to Bristol's historic and cultural values because it is the redevelopment of an existing historic mill building in the National Register Historic District and the improvement of the existing surface parking lot rather than new "greenfield" development.
 - i. The project continues the Town's historic policy of providing public access to the water because it includes a public harbor walk along the Bristol Harbor shoreline along the west side of the mill property from the Bristol Maritime Center to Constitution Street.
 - j. The application was processed in accordance with the regulations which set forth the procedures for review and approval.
 - k. The project promotes sustainable development practices because it redevelops an existing historic mill, located in the downtown, provides pedestrian connectivity and also provides opportunities for alternative transportation use including public bus, bicycle and boat.
 - l. The final plans have been revised to address comments from reviewing agencies including the Planning Board's conditions at Preliminary, Bristol County Water Authority requirements, CRMC requirements, and Conservation Commission recommendations. Revisions include widening the walkway at the Maritime Center to 5' from 3' and replacing the proposed dog park area with plantings per CRMC.
 - m. The Planning Board's consultant engineer has been commissioned to conduct periodic inspections per their proposal which cost is being reimbursed by the applicant.
 - n. A CRMC Permit has been received and a Conservation Easement and Restriction regarding Public Walkway and Access Agreement as required by this agency has been recorded in Land Evidence Records Book 2244, Page 165.
 - o. A condition at Preliminary stated that a 6-foot tall solid-wall fence shall be installed along the south side of the Thames Street parking lot of a material that blocks headlights and helps mitigate sound. The fence shall NOT be of a stockade design as shown on the preliminary plans. The design of this fence shall be subject to the Historic District Commission review and approval. The Final Plan indicates a proposed fence that satisfies these requirements, located on the south property line of the Thames Street Parking Lot.

11. Waivers granted at Master Plan and Preliminary Plan phases are carried forward and incorporated by reference.

12. Conditions: In addition to all conditions of Master Plan Approval, and Preliminary Plan Approval, and the Zoning Map Amendment, the proposed development shall be subject to the following additional Conditions:

- A. Dedication by deed of the parking lot on the northeast corner of Church and Thames Street, Plat 10, Lot 32 to the Town of Bristol for public parking as required by the zoning that there be 10% of the land area to be set aside for public institutional uses as required by Section 28-284 (g) prior to recording of final plan.
- B. Additional arborvitae evergreen buffer plantings shall be planted on the south side of the Thames Street parking lot to augment the existing row as a visual and noise buffer. The number, height and spacing of plantings are shown on the final landscaping plans by the landscape architect and installation of same will be verified in the field by the Town Tree Warden.
- C. The fence installation along the south side of the parking lot buffer shall be coordinated in the field with the abutting property owners, who have each indicated that they will work with the developer on the exact location.
- D. Historic District Commission review and approval shall be required for all details of exterior changes, including without limitation: windows, doors, light fixtures, fences, and signs. These approvals may be obtained in the normal course with HDC and subsequent to the Final Plan and Building Permits.
- E. The planting of the arborvitae and fence installation along the south side of the Thames Street parking lot property shall be completed prior to any other site work in the parking lot and prior to use of the property as a “laydown area” for construction activities as is stated on the final plan.
- F. Payment of the Affordable Housing Fee to the Town for the Affordable Housing Trust Fund to be paid prior to issuance of the first construction building permit.
- G. Final Legal Documents as approved by the Town Solicitor shall be recorded with the Final Plan including: service agreement for private maintenance of recycling, snow plowing, trash pick up, landscaping and drainage per the operations and management plan, driveway access easement, pedestrian and walkway easements; affordable housing deed restriction and monitoring agreement; and deed restriction that the off-site parking is connected to the mill property along with a restriction, running to the Town of Bristol, that no structures be built on the surface parking lot.
- H. As shown on the final plans, a portion of the walkway along the waterfront shall be within the existing Fire Access easement across the Elk’s parking lot to connect to Constitution Street, which has been acknowledged by the Elk’s subject to the pedestrian easement which the Town has prepared (“Pedestrian easement”). The applicant included the plan for the walkway on the plans submitted to CRMC and will construct pavement markings and install signage as required. The Town shall secure execution of the Pedestrian Easement with the Elks.

- I. The applicant shall apply to the Town Council for approval of the proposed relocation of the existing Mill building loading space on the west side of Thames Street further north and for the designated “urban coastal greenway” parking spaces on the north side of Constitution Street.
- J. Because ADA-Compliant parking is only being provided inside the building, there shall be no fee to residents for using such ADA-Compliant parking.
- K. There shall be no activities or amenities provided on the roof of any of the mill buildings.
- L. Prior to issuance of any Certificate of Occupancy for the Project, the applicant shall post a cash guarantee to guarantee completion of the public improvements, if any are still not then completed, in an amount approved by the Planning Board Engineer. The public improvements include the curbing and sidewalk, paving and striping on Thames Street, drainage, sewer and street trees along Thames and Constitution.



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Providence, RI 02908
401.861-3070
www.fando.com

June 3, 2024

Ms. Diane Williamson
Director of Community Development
Town of Bristol
9 Court Street
Bristol, RI 02809

RE: Bristol Yarn Mill Redevelopment
Final Plan Application
A.P. 10 Lots 41, 42, 43, 44, 49, 50, 60, 61, 62, 68, 71, 73, 74, and 76
Thames and Hope Street
Bristol, RI

Dear Ms. Williamson:

Fuss & O'Neill has prepared the accompanying Final Plan application on behalf of the applicant Thames Street Nashua LLC (Applicant), for the redevelopment of the Robin Rug mill complex on Thames Street and some additional parcels with frontage on Thames Street and Hope Street. The project includes 127 residential apartment units and approximately 6,300 square feet of leasable space for commercial uses.

The Bristol Planning Board approved the Master Plan for the project, with conditions, on May 12, 2022 (Bristol Land Evidence Book 2172 Page 297). The Bristol Town Council subsequently approved Zoning Modifications and a Zoning Map Change for the project on August 3, 2022 (Bristol Land Evidence Book 2183 Page 272) that adopted the Planning Board's decision with changes to the provision of affordable housing. Those changes include the requirement that 20% of the residential units (i.e., 26 units based on a total unit count of 127 units) shall be designated as affordable (Bristol Zoning Ordinance Section 28-370), three of the units will be located at Lots 49 and 50 on Assessor's Plat 10, ten units will be located within the mill complex on Lots 42, 60, 61, 62, and 73 on Assessor's Plat 10, and 13 units will be provided through a fee-in-lieu of building or designating units within the development.

The Bristol Planning Board approved the Preliminary Plan for the project, with conditions, on July 14, 2023 (Bristol Land Evidence Book 2217 Page 90). The Preliminary Plan approval conditions are listed in *italics* in the section below followed by an explanation of how they have been addressed for Final Plan review.

Ms. Diane Williamson
June 3, 2024
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Preliminary Plan Approval Conditions

- A. *Dedication by deed of the parking lot on the northeast corner of Church and Thames Street. Plat 10, Lot 32 to the Town of Bristol for public parking as required by the zoning that there be 10% of the land area set aside for public institutional uses as required by Section 28-284 (g) prior to recording of final plan.*

Legal documents have been provided by the Applicant's attorney to the Planning Board's attorney.

- B. *Additional arborvitae evergreen buffer plantings shall be planted on the south side of the Thames Street parking lot to augment the existing row as a visual and noise buffer. The number, height and spacing of plantings shall be shown on the final landscaping plans by the landscape architect and installation of same will be verified in the field by the Town Tree Warden.*

The Enlargement Planting Plan (sheet LP-103) has been updated to show additional arborvitae screening plantings along the south side of the Thames Street parking lot.

- C. *A 6-foot tall solid-wall fence shall be installed along the south side of the Thames Street parking lot of a material that blocks headlights and helps mitigate sound. The fence shall NOT be of a stockade design as shown on the preliminary plans. The design of this fence shall be subject to the Historic District Commission review and approval. The Final Plan shall indicate a proposed fence that satisfies these requirements.*

The Site Plan (sheet CS-101) has been revised to show a 6-foot-tall solid wall cedar fence along the property line south of the Thames Street parking lot. A detail has been added to the Details (sheet CD-510) for a 6-foot-tall solid wall cedar fence. The revised fence location was necessary to accommodate the additional buffer plantings and snow storage adjacent to the parking lot. Selective trimming along the south side of the existing Arborvitae trees is necessary to install the fence.

- D. *Historic District Commission review and approval shall be required for all details of exterior changes, including without limitation: windows, doors, light fixtures, fences, and signs. These approvals may be obtained in the normal course with HDC and subsequent to the Final Plan and Building Permits.*

This condition has been noted under the Preliminary Plan Approval Conditions section of the General Notes and Legend (sheet CN-001) of the Final Plan.

- E. *Submission of a construction schedule that includes showing the planting of the arborvitae and fence installation along the south side of the Thames Street parking lot property prior to any other site work in the parking lot and prior to use of the property as a "laydown area" for construction activities, and such planting and installation shall be completed prior to any other work or use of parking lot as set forth herein.*

Ms. Diane Williamson
June 3, 2024
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The Construction Sequence section of the General Notes and Legend (Sheet CN-001) has been revised on the Final Plan to include installation of the fence and arborvitae screening plantings along the southern property line of the parking lot prior to site work and stockpiling.

- F. Maintenance of all plantings on the properties shall be an obligation of the applicant and shall be included in a deed covenant stipulating time for replacement plantings.*

Legal documents have been provided by the Applicant's attorney to the Planning Board's attorney.

- G. Tree protection shall be installed to protect the existing trees along the property of 82 Thames Street with this detail to be shown on the final plan.*

Protection for the existing trees along the property of 82 Thames Street has been added to the Site Demolition Plan (sheet CP-101) of the Final Plan.

- H. Recommendations of the Conservation Commission on the proposed landscaping including a diversity of street trees along Thames Street, and an increased buffer of arborvitae along the southern property line of the parking lot.*

The proposed street trees along Thames Street shown on the Enlargement Planting Plan (sheet LP-102) have been revised to increase diversity of tree species along the street. The Enlargement Planting Plan (sheet LP-103) has been revised to include additional arborvitae screening plantings along the southern property line of the parking lot.

- I. Payment of the Affordable Housing Fee to the Town for the Affordable Housing Trust Fund to be paid prior to issuance of the first construction building permit.*

This condition has been noted under the Preliminary Plan Approval Conditions section of the General Notes and Legend (sheet CN-001) of the Final Plan.

- J. Final Legal Documents to be reviewed and approved by the Town Solicitor prior to recording of Final Plan including pedestrian and walkway easements; affordable housing deed restriction and monitoring agreement; and deed restriction, running to the Town of Bristol, that no structures be built on the surface parking lot.*

Legal documents have been provided by the Applicant's attorney to the Planning Board's attorney.

- K. All services to the residential units shall be private including recycling and garbage pick-up, snow plowing, driveway, and drainage maintenance. This shall also be a deed covenant in Land Evidence Records and reviewed and approved by the Town Solicitor.*

Legal documents have been provided by the Applicant's attorney to the Planning Board's attorney.

Ms. Diane Williamson
June 3, 2024
Page 4

- L. As shown on the preliminary plans, a portion of the walkway along the waterfront shall be within the existing Fire Access easement across the Elk's parking lot to connect to Constitution Street, which has been acknowledged by the Elk's subject to the pedestrian easement which the Town is preparing. The applicant will prepare a CRMC application, as may be needed for the walkway through the parking lot, construct pavement markings and install signage as required.*

The Applicant incorporated a pathway and signage within its access easement across the Elks property in the application to CRMC for State Assent for the Bristol Yarn Mill redevelopment.

- M. CRMC Assent shall be submitted with the Final Plan review application.*

The CRMC Assent is enclosed.

- N. The applicant shall apply to the Town Council for approval for the proposed relocation of the existing Mill building loading space on the west side of Thames Street further north as indicated on the preliminary plans.*

The Applicant will apply to the Town Council as required.

- O. Because ADA-Compliant parking is only being provided inside the building, there shall be no additional charge to residents using such ADA-Compliant parking.*

This condition has been noted under the Preliminary Plan Approval Conditions section of the General Notes and Legend (sheet CN-001) of the Final Plan.

- P. There shall be no activities or amenities provided on the roof of any of the mill buildings.*

No activities or amenities are proposed to be provided on the roof of any of the mill buildings. This condition has been noted under the Preliminary Plan Approval Conditions section of the General Notes and Legend (sheet CN-001) of the Final Plan.

- Q. Final Plan review and approval shall be performed by the Planning Board.*

This condition has been noted under the Preliminary Plan Approval Conditions section of the General Notes and Legend (sheet CN-001) of the Final Plan.

Clarification of Checklist Items

- D3. As noted in the conditions of approval section, all legal documents have been provided to the Planning Board's attorney for approval.

Ms. Diane Williamson

June 3, 2024

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- D15b. Following Final Plan approval and Bristol Historic District Commission and Bristol Historic District Commission approvals, the Applicant will engage a qualified contractor to obtain all necessary connection permits, which will include a service by-pass plan during construction.
- D17. The Applicant asserts no taxes are past due and is in the process of obtaining verification.
- D22. As noted in item #15b above and during the Preliminary Plan review, the Applicant will pursue Bristol Historic District Commission after Final Plan approval.
- E1-4. All fees due and payable to the Town of Bristol as part of the Final Plan will be paid by the Applicant once the amounts have been calculated by the Planning Board. The enclosed estimate of costs for the proposed public improvements was prepared by the Application for the Planning Board's review.
- E7. CRMC is the only outside agency (i.e., agency not within the Town of Bristol jurisdiction) with application fees. Reviews of applications for State Assent may not commence and no Assents shall be issued until application fees have been paid in full. Consultant review fees, if required, will be collected by the Planning Board once the amounts have been determined.
- E8. Mapping fees due and payable to the Town of Bristol as part of the Final Plan will be paid by the Applicant once the amounts have been calculated by the Planning Board.

In addition to the required paper copies of the application documents, an Adobe PDF copy of the complete application will be provided through electronic transmittal. If you have any questions about this application, please contact me at shawn.martin@fando.com or (401) 787-8322.

Sincerely,



Shawn M. Martin, PE

Senior Vice President | Regional Manager

Enclosures: Final Plan Application and Checklist (1 copy)
CRMC Assent (1 copy)
USACE Pre-Construction Notification Authorization (1 copy)
Public Access Easement Plan (1 copy)
Public Access Easement Description (1 copy)
Bristol Yarn Mill Roadway Cost Breakdown (1 copy)
Bristol Yarn Mill Permitting Plan, 28 sheets, Revised 5/29/2024 (6 full-size, 12 reduced copies)

c: Shane Brady, Thames Street Nashua, LLC
Chris Reynolds, Brady Sullivan
John McCoy, Bengtson & Jestings LLP

APPLICATION FORM AND SUBMISSION CHECKLIST FOR MAJOR LAND DEVELOPMENTS AND MAJOR SUBDIVISIONS

Major Subdivisions - A plan for a **residential** subdivision of land consisting of **more than five lots**; or, a plan for a **nonresidential** subdivision of land.

Major Land Development - A plan for a residential or nonresidential land development project as defined in Article VIII of the Zoning Ordinance.

The completed application form together with the appropriate materials from Items A, B, C, D, and E for either a Master Plan, Preliminary or Final application as indicated on the checklist shall be submitted to the Administrative Officer at least three weeks prior to the regularly scheduled meeting of the Planning Board.

Date Submission Due: _____ Planning Board Meeting Date: _____

APPLICATION FORM

Type of Application: Please check one:

☐ **Master Plan** - An overall plan for a proposed project site outlining general, rather than detailed, development intentions. *NOTE:* The entire property under the applicant's ownership shall be shown on the Master Plan with all proposed development indicated, including future phases. Failure to show the entire property and all proposed development may result in forfeiture of future development rights on the property.

☐ **Preliminary** - The stage, following Master Plan, at which time all required detailed engineering drawings and all required State and Federal Permits shall be submitted.

Indicate date of Master Plan Approval: _____

Indicate dates of all extensions: _____

☒ **Final** - The stage, following Preliminary, which is the last stage of review.

Indicate date of Preliminary Plan Approval: July 13, 2023

Indicate dates of all extensions: _____

APPLICATION FORM, CONT.

1. Name of proposed subdivision: Bristol Yarn Mill
2. Name, address and telephone number of property owner (if the owner of record is a corporation, the name and address of the president and secretary):

Thames Street Nashua, LLC
 c/o Shane Brady
 670 N. Commercial Street, Suite 303
 Manchester, NH 03101

3. Name and address and telephone number of applicant, if different from owner: (A written, notarized confirmation from property owner authorizing the applicant to make the submission shall also be submitted):

Same.

4. Plat and lot number(s) of the parcel being subdivided: AP 10, Lots 41, 42, 43, 44, 48, 49, 60, 61, 62, 68, 73, 74, & 76
5. Area of the subdivision parcel(s): 4.8 +/- acres
6. Zoning District: Waterfront PUD, Waterfront, Downtown
7. Names of existing streets within and immediately adjacent to the parcel being subdivided with notation as to whether Town, State or Private. Include right-of-way and pavement widths:

Thames St (Town) 49.5'/28'+/-

Hope St (State) variable (est. >60')/32'+/-

Constitution St (Town) variable (est. >60')/39'+/-

8. Attach a list of the names and current mailing addresses (and on mailing labels) of property owners within notice area radius (See Section 8.5A) from the current real estate and assessment records of the Town, including plat and lot numbers

Signed by Owner/Applicant:  Date: 5/31/2024

Notarized:

Subscribed and sworn to before me this 31 day of may, 2024.


 NOTARY PUBLIC

KELLY E. HILSON
 Notary Public, State of New Hampshire
 My Commission Expires Febraury 21, 2029

SUBMISSION CHECKLIST
MAJOR LAND DEVELOPMENTS AND MAJOR SUBDIVISIONS

M = Master Plan

P = Preliminary

F = Final

| | M | P | F | Applicant ✓ | Date & Town Initials |
|---|----------|----------|----------|----------------|----------------------------|
| NOTE: All plan sheets must include Title Block as well as items B 1-8 below. | • | • | • | | |
| A. Plan of Existing Conditions - Five (5) blueline or photocopies of a plan at a scale of 1" = 40' (minimum size of 8 1/2" x 11, maximum size of 18" x 24") showing the entire tract under the applicant's ownership as it currently exists, including location and dimension of existing lots, easements and rights-of-way, and all natural and man-made features; | • | | | ✓ | |
| B. Subdivision/Land Development Drawing(s) - Master Plan and Preliminary Plans - Five (5) blueline or photocopies shall be submitted for distribution to and review by the Technical Review Committee. Each sheet shall be a minimum size of 8 1/2" x 11" and a maximum size of 24" x 36" at a scale of 1" = 40', unless determined otherwise at the Pre-Application Conference, with a sufficient number of sheets to clearly show all of the information required. Sheets shall be numbered sequentially (e.g. sheet 1 of 3, 2 of 3, etc.) | • | • | | N/A | |
| Final Plans - Five (5) bluelines or photocopies shall be submitted for distribution to and review by the Technical Review Committee. Upon approval, one (1) reproducible mylar*, six (6) blueline or photocopies, and one electronic AutoCAD file of all plans shall be submitted. Each sheet shall be a maximum size of 24" x 36" at a scale of 1" = 40' [unless otherwise specified by the Planning Board]; two of these sheets shall include the assessor's numbers, signed by the Tax Assessor. The subdivision plans shall contain the following: | | | • | | |
| 1. Name of the proposed subdivision; including phase numbers, if any | • | • | • | ✓ | |
| 2. Name and address of property owner or applicant; | • | • | • | ✓ | |
| 3. Name, address and telephone number of person or firm preparing the plan; | • | • | • | ✓ | |
| 4. Date of plan preparation, with revision date(s) if any; | • | • | • | ✓ | |
| 5. Graphic scale (1"=40' or larger) and north arrow; | • | • | • | ✓ | |
| 6. Plat and lot number(s) of the land being subdivided; | • | • | • | ✓ | |
| 7. Legend showing all symbols; | • | • | • | ✓ | |
| 8. Zoning districts(s) of the land being subdivided and the abutting and adjacent properties. If more than one district, zoning boundary lines must be shown; | • | • | • | ✓ | |
| 9. Perimeter boundary lines of the subdivision, drawn so as to distinguish them from other property lines. These shall be marked in the field by survey stakes to identify the limits of the property; | • | • | • | ✓ | |

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| 10. Names of abutting property owners and property owners across any adjacent streets; | • | • | • | ✓ | |
| 11. Area of the entire proposed development parcel(s); | • | • | • | ✓ | |
| 12. Location and number of all proposed lots, with accurate areas, dimensions and angles indicated; including a zoning data table showing calculations necessary to determine conformance to zoning regulations; | • | • | | N/A | |
| 13. Location, names, right-of-way and pavement widths of existing and proposed streets within and immediately adjacent to the subdivision parcel; | • | • | • | ✓ | |
| 14. Location, size and proposed use of existing buildings and structures, including historic designation, if any; | • | • | • | ✓ | |
| 15. Location of existing utilities including wells and individual sewage disposal systems (abandoned utilities must be shown and noted as such); | • | • | • | ✓ | |
| 16. Provisions for collecting and discharging stormwater; | • | • | | ✓ | |
| 17. Location, scale, massing, height, (including relationship to existing and proposed grades) and dimensions of proposed structures, if any; including; floor area ratios, lot coverage and total building square footage; this information may be provided on a separate sheet, if necessary; | • | • | • | ✓ | |
| 18. Location of proposed permanent bounds (documentation that all proposed bounds have been set shall be provided prior to Final plan recording); | | • | • | ✓ | |
| 19. Location of existing environmental features including general soil types, rock outcrops, surface water, wetland areas, wooded areas and major trees twelve (12) inch caliper or larger, and any other significant environmental features, if any; | • | • | | ✓ | |
| 20. Existing contours with minimum intervals of two (2) feet; where any changes in contours are proposed, finished grades must be shown as solid lines. Spot elevations must also be shown with at least two (2) benchmarks referenced; | • | • | | ✓ | |
| 21. Location of any wetlands, watercourses or their buffers (perimeter wetlands) present on the subdivision parcel, as determined by a RIDEM qualified wetlands biologist {in accordance with RIDEM Wetland Regulations}; | • | | | ✓ | |
| 22. Notation as to flood zone of the property including base flood elevation data; | • | • | | ✓ | |
| 23. Areas of agricultural use, (if any); | • | • | | ✓ | |
| 24. Location of historic cemeteries on or immediately adjacent to the subdivision (if any); | • | • | | ✓ | |
| 25. Location of any unique natural and/or historic features, including stone walls; | • | • | | ✓ | |
| 26. Location, dimension, and area of any land proposed to be set aside as open space, recreation, or drainage or conveyed to the Town for public purposes; | • | • | • | ✓ | |
| 27. Location and notation of type of proposed easement(s) or existing easement(s) to remain (if any) with accurate dimensions and areas indicated; | | • | • | ✓ | |

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| 28. Notation of special conditions of approval imposed by the Planning Board (if any); | | • | • | ✓ | |
| 29. Notation of any permits and agreements with State and Federal Reviewing agencies (if any); | | • | • | ✓ | |
| 30. A place for signatures of the Planning Board Chair or Designee must be provided on all plans and/or documents to be signed by the Planning Board; | • | • | • | ✓ | |
| 31. Certification by a Registered Land Surveyor that all interior and perimeter lot lines and street lines of the land being subdivided have been designed to conform to <u>Procedural and Technical Standards for the Practice of Land Surveying in the State of Rhode Island and Providence Plantations</u> , effective April 1, 1994, as amended. Measurement standards for the surveys shall meet the minimum standards for Class I Surveys. | | • | • | ✓ | |
| C. Construction Drawings - Six (6) blue-line or photocopies of preliminary and final construction plans of street and drainage structures drawn to a minimum scale of 1 inch to 40 feet (1"=40') for referral to the Technical Review Committee. Each sheet shall be no larger than 24 " by 36", and a sufficient number of sheets shall be included to clearly show all of the information required. Sheets shall be numbered sequentially (e.g., sheet 1 of 3, 2 of 3, etc). All construction plans shall be certified as correct (stamped and signed) by a Registered Professional Engineer: | | • | • | ✓ | |
| 1. <u>If street creation or extension is proposed:</u> | | | | | |
| a. <i>Streets Plan and Profile:</i> (minimum scale of 1"=40' horizontal) with profiles (minimum 1"=4' vertical) indicating the street center line, curblines, and the existing elevations of the ground at the street center line, location size, rim and invert elevations of proposed sewer lines, water lines and other underground utilities; and, street cross-sections showing width of right-of-way, roadway; and, if required location and width of sidewalks. | | | | | |
| b. Street plans shall also include all vehicular access to and from the site onto public streets including the size and location of curb cuts, driveways, parking and loading areas and other off-site traffic improvements necessary to ensure public safety; and, stubs for future connections to future streets in adjacent vacant lands. NOTE: The Planning Board may make any referrals and require of the applicant any studies it deems necessary to evaluate traffic and circulation plans. | | | | N/A | |

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| C. Construction Drawings, cont. | | • | • | | |
| 2. For phased projects, as-built drawings for the previous phase; | | • | • | N/A | |
| 3. Drainage and Utility Plans to show the existing and proposed drainage structures, drainage basin areas, drainage flow paths, and outfalls with water quality measurements, including all utilities such as sewer, water, electric, gas, fire alarm cable, telephone and cable TV, manholes, valves, hydrants. Also included shall be a report summarizing drainage calculations; drainage plans and drainage calculations shall be prepared by a Registered Professional Engineer; | | • | • | ✓ | |
| 4. Additional plans with appropriate construction details and construction notes for street pavement, sidewalk, drainage structures, street lighting, exterior site lighting/photometrics plan (Major Land Developments only), sanitary structures, water line and water line structures, trench excavation, and steep slope excavation, if applicable; | | • | • | ✓ | |
| 5. Grading plans to show proposed contours at two-foot intervals for all grading proposed for on and off-site street construction, drainage facilities, and upon individual lots if part of proposed subdivision improvements; | | • | • | ✓ | |
| 6. Soil erosion and sediment control plan in conformance with Appendix F, if required; | | • | • | ✓ | |
| 7. Landscaping plan as detailed in Appendix F; | | • | • | ✓ | |
| 8. Plans showing street names and hydrant locations approved by the Fire Chief; | | • | • | ✓ | |
| 9. Construction Schedule identifying expected start and finish times for major construction tasks; | | • | | ✓ | |
| 10. Temporary improvements, if any, in accordance with Appendix F; | • | • | | N/A | |
| 11. A traffic flow plan showing circulation patterns within the development; | | • | | ✓ | |
| 12. If any streets, areas, or facilities are to be dedicated to the Town of Bristol, a statement shall be added to all final plat plans stating that such dedication shall not impose any duty or responsibility upon the Town of Bristol to maintain or improve any dedicated streets, areas, or facilities until specifically authorized by the Town Council per Section 6.7 of these regulations. | | | • | N/A | |
| D. Supporting Materials: | • | • | • | | |
| 1. 12 reduced copies of all plans required in Items A, B, and C above (minimum 8 1/2" x 11" and maximum 11" x 17"); | • | • | • | | |
| 2. One (1) copy of a narrative report providing the general description of the proposed development and phasing if any, including the proposed financing and present ownership of all of the land included within the development; if the applicant does not own all the land, then explain how it will be assembled or how site control will be achieved; | • | | | N/A | |

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| 3. One (1) copy of a current deed and an Attorney's certificate certifying title, including encumbrances, easements, and/or temporary or permanent restrictions on the property; | • | | ✓ | |
| 4. A list of consultants (i.e. engineering, planning, environmental) to be used on the project; | • | | ✓ | |
| 5. A vicinity map, (locus map) drawn to a minimum scale of 1" = 400' or as necessary to show the area within one-half mile of the subdivision parcel showing the location of all streets, existing lot lines, and zoning district boundaries. Schools, parks, fire stations and other significant public facilities shall be indicated on the locus map by shading and labeling the specific use; | • | | N/A | |
| 6. A list of the names and mailing addresses as shown on the current real estate and assessment records of the Town for the property owners within the notice area; (See Section 8.5) this information shall also be on mailing labels; | • | • | N/A | |
| 7. Low Impact Development (LID) Site Planning and Design strategies and Checklist from the Rhode Island Stormwater Design and Installation Standards Manual. Stormwater designs should meet RI Stormwater Manual Minimum Standards. | • | | N/A | |
| 8. A radius map, showing the property within the notice area (See Section 8.5) including: a. the shape, dimension and area of the property; b. the location of all zoning use district boundary lines; c. the assessor's plat and lot numbers; and, d. the general location, shape, use; and if any, historic designation of all existing buildings and structures and improvements; The above information may be shown on an 11" x 17" plan at a scale as appropriate; | • | | N/A | |
| 9. Architectural elevations (with measurements as needed for each interpretation) and of all exterior facades of proposed or existing buildings, structures and equipment including type and color of materials to be used; elevations shall be at an appropriate scale as determined at the preapplication stage; | • | | N/A | |
| 10. Legal documents describing the property, including proposed easements and rights-of-way, offer to convey public streets, creating Homeowners Association (if appropriate) deed transferring open space, dedications, restrictions, or other required legal documents: | | | | |
| a. Two draft copies for review by the Planning Board Solicitor; | • | | N/A | |
| b. Two signed final copies; | | • | | |
| 11. Written confirmation from the RI Department of Environmental Management that the plans of the proposed subdivision, including any required off-site construction, have been reviewed and indicating that the Wetlands Act either does not apply to the proposed site alteration or that approval has been granted for the proposed site alteration; | • | | N/A | |

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| 12. In lieu of item 10 above, an affidavit signed by a qualified professional (having minimum qualifications as described by the RIDEM Department of Freshwater Wetlands) stating that there are no freshwater wetlands or their buffers (perimeter wetlands) present on the property being subdivided {in accordance with RIDEM Wetland Regulations}; | | • | | N/A | |
| 13. Preliminary determination from the Coastal Resources Management Council if the parcel to be subdivided is subject to the jurisdiction of this agency; | | • | | N/A | |
| 14. A Physical Alteration Permit (PAP) issued by the State Department of Transportation for any connection to or construction work within a State highway or State right-of-way (if applicable); | | • | | N/A | |
| 15. Water Service (if proposed): | | | | | |
| a. Written confirmation that the Bristol County Water Authority has reviewed the plan and is able to provide water service; | | • | | N/A | |
| b. A copy of the water contract covering the installation of water service or written confirmation that a contract has been executed or will be executed upon approval by the Planning Board (a copy of the executed contract must be submitted prior to endorsement by the Planning Board); | | • | | | |
| 16. Sewer: | | | | | |
| a. Written confirmation from the Bristol Water Pollution Control Facility certifying that the subdivision can tie into the Bristol Sewer Service; or, | | • | | N/A | |
| b. If Individual Sewage Disposal Systems are proposed, either a preliminary subdivision suitability report or a water table verification from the Rhode Island Department of Environmental Management indicating that the soil and water table within the proposed subdivision are suitable for the safe and proper operation of individual sewage disposal systems; | | • | | N/A | |
| 17. Certification from the Tax Collector that all property taxes are current and that sewer assessments and sewer use fees are paid; | | • | | In Process | |
| 18. A letter stating it is the intent to complete the required improvements prior to Planning Board endorsement of the final plat or a letter requesting that a security sufficient to cover the cost of required improvements be set by the Planning Board, along with a construction cost estimate for improvements; | | • | | N/A | |
| 19. Application form; | • | • | • | ✓ | |

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| <p>20. Initial written comments on the Master Plan and final written comments on Preliminary from the following agencies:</p> <p>a. _____ Planning Board Engineer Date: _____</p> <p>b. _____ Water Authority Date: _____</p> <p>c. _____ Sewer Department Date: _____</p> <p>d. _____ Building Inspector Date: _____</p> <p>e. _____ Planning Department Date: _____</p> <p>f. _____ Department of Public Works Date: _____</p> <p>g. _____ Fire and Police Date: _____</p> <p>h. _____ Conservation Commission Date: _____</p> <p>i. _____ Other Local Agencies, Specify: _____ Date: _____</p> <p>j. _____ Adjacent Community (Warren) Date: _____</p> <p>k. _____ RI Dept. of Environmental Management Date: _____</p> <p>l. _____ RI Dept. of Transportation Date: _____</p> <p>m. _____ Coastal Resources Date: _____</p> <p>n. _____ Other State Agencies, Specify: _____ Date: _____</p> <p>o. _____ FEMA Date: _____</p> <p>p. _____ Other Federal Agencies, Specify: _____ Date: _____</p> <p>NOTE: REFERRALS TO THE ABOVE AGENCIES WILL BE MADE BY PLANNING DEPARTMENT STAFF.</p> | • | • | | N/A | |
| 21. Report and recommendations from the Technical Review Committee; | • | • | | N/A | |
| 22. Approvals from other Town Boards and commissions, as appropriate; | | • | • | ✓ | |
| 23. Approvals from other State Agencies, as appropriate; | | • | | ✓ | |
| 24. Such other information as may be required to show that the details of the proposal are in accordance with this section and all other applicable requirements and standards of these Regulations. | • | • | • | ✓ | |
| E. Payment of Required Fees - Payment of the following fees or posting of financial guarantees, if required, to be prior to endorsement by the Planning Board: | | | | | |
| 1. Application fee; | • | • | • | TBD | |
| 2. Final plat recording fee; | | | • | TBD | |
| 3. Engineer Review and Inspection Fee; | • | • | • | TBD | |
| 4. Performance guarantee or other financial guarantees (if applicable); | | | • | TBD | |
| 5. Fees in-lieu of land dedication (if applicable); | | | • | N/A | |
| 6. Maintenance guarantee for acceptance of public improvements (if applicable); | | | • | TBD | |
| 7. Receipt that all other fees to outside agencies have been paid by applicant, if any; | | | • | N/A | |
| 8. Mapping fees shall be paid to the Tax Assessor prior to recording plan. | | | • | TBD | |

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| Other Requirements: The following items may be required based on the presence of certain site conditions as indicated at the Pre-application or Master Plan stage of review. The applicant shall have any required items prepared by a qualified party. | | | | |
| 1. Fiscal impact statement (see Section 6.6); | | • | | N/A |
| 2. Completed Environmental Impact Assessment statement for the proposed development (see Section 6.6); | | • | | N/A |
| 3. Archaeological Study; | | • | | N/A |
| 4. Traffic Impact Study, | | • | | N/A |
| 5. Phase 1 Environmental Site Assessment (ESA), conducted by a qualified professional consultant, as may be requested at the pre-application stage. If the Phase 1 indicates suspect environmental site conditions, then a Phase 2 ESA shall be conducted by a qualified professional consultant prior to preliminary plan approval; | • | • | | N/A |
| 6. Perspective drawings, view shed maps, line of site diagrams, sketches, renderings, photographs or scale models as needed to illustrate the visual impact on the community; | • | | | N/A |
| 7. Flood plain compensation calculations; | | • | | N/A |
| 8. Historic District Commission Certificate of Appropriateness, if the project requires Historic District Commission review and approval. | | • | | N/A |

** Mylar plans shall be on polyester film, single matte with a thickness of 3 mils (.003 inches), and must have opacity so as to allow consistent computer scanning. All plans shall be prepared using a compatible ink with excellent cohesiveness which will produce a permanent bond and result in a plan with long term durability. All signatures must be in black India ink or its equal.*



State of Rhode Island
Coastal Resources Management Council
 Oliver H. Stedman Government Center
 4808 Tower Hill Road, Suite 116
 Wakefield, RI 02879-1900

(401) 783-3370
 Fax (401) 783-3767

RESIDENTIAL ASSENT

CRMC File No.: 2023-02-061 CRMC Assent No.: A2023-02-061

Whereas,
 of

Thames Street Nashua, LLC
 670 North Commercial Street
 Manchester, NH 03101

has applied to the Coastal Resources Management Council for assent to: Construct and maintain a mixed use redevelopment, consisting of 127 residential units, commercial space, parking, public access, buffer zone restoration, site remediation and stormwater management; Repair existing seawall and outfall, all per the approved plans and hereby represents that they are the owner(s) of the riparian rights attached to the property involved and submitted plans of the work to be done.

Now, said Council, having fully considered said application in accordance with all the regulations as set forth in the Administrative Procedures Act does hereby authorize said applicant, subject to the provisions of Title 46, Chapter 23 of the General Laws of Rhode Island, 1956, as amended, and all laws which are or may be in force applicable thereto: **Construct and maintain a mixed use redevelopment, consisting of 127 residential units, commercial space, parking, public access, buffer zone restoration, site remediation and stormwater management; Repair existing seawall and outfall, all per the approved plans; located at plat 10, lots 41,42,43,44,49,50,60,61,62,68,71,73,74,76; 125 Thames Street, Bristol, RI;** in accordance with said plans submitted to this Council and approved by this Council. All work being permitted must be completed on or before **May 28, 2027**, after which date this assent is null and void, (unless written application requesting an extension is received by CRMC sixty (60) days prior to expiration date).

Applicant agrees that as a condition to the granting of this assent, members of the Coastal Resources Management Council or its staff shall have access to applicant's property to make on-site inspections to ensure compliance with the assent.

Licensee shall be fully and completely liable to State, and shall waive any claims against State for contribution or otherwise, and shall indemnify, defend, and save harmless State and its agencies, employees, officers, directors, and agents with respect to any and all liability, damages (including damages to land, aquatic life, and other natural resources), expenses, causes of action, suits, claims, costs (including testing, auditing, surveying, and investigating costs), fees (including attorneys' fees and costs), penalties (civil and criminal), and response, cleanup, or remediation costs assessed against or imposed upon Licensee, State, or the Property, as a result of Licensee's control of the Property, or Licensee's use, disposal, transportation, generation and/or sale of Hazardous Substances or that of Licensee's employees, agents, assigns, sublicensees, contractors, subcontractors, permittees, or invitees.

Thames Street Nashua, LLC
CRMC Assent A2023-02-061
May 28, 2024
Page Two

Nothing in this assent shall be construed to impair the legal rights of this granting authority or of any person. By this assent the granting authority by no manner, shape, or form assumes any liability or responsibility implied, or in fact, for the stability or permanence of said project; nor by this assent is there any liability implied or in fact assumed or imposed on the granting authority. Further, the granting authority by its representatives or duly authorized agents shall have the right to inspect said project at all times including, but not limited to, the construction, completion, and all times thereafter.

This Assent is granted with the specific proviso that the construction authorized therein will be maintained in good condition by the owner thereof, his heirs, successors, or assigns.

Permits issued by the CRMC are issued for a finite period of time, confer no property rights, and are valid only with the conditions and stipulations under which they are granted. Permits imply no guarantee of renewal, and may be subject to denial, revocation, or modification.

If this matter appeared before the full Council, a copy of the legal decision from this proceeding may be acquired by contacting the CRMC office in writing.

A copy of this Assent shall be kept on site during construction.

Application for future alteration of the shoreline or other construction or alteration within the CRMC jurisdiction shall be submitted to the CRMC for review prior to commencing such activity.

All applicable policies, prohibitions, and standards of the RICRMP shall be upheld.

All local, state or federal ordinances and regulations must be complied with.

Please be advised that as a further conditions of this Assent, it is hereby stipulated that you and/or your agents shall comply at all times with Federal and State Water Quality Standards and other State standards and regulations regarding water quality, and shall exercise such supervision over and control of these facilities to prevent the dumping or discarding or refuse, sanitary wastes and other pollutants in the tidal waters, either from vessels docked at said facilities or from land adjacent thereto.

No work that involves alteration to wetlands or waters of the United States shall be done under this Assent until the required Federal Permit has been obtained.

Non-compliance with this assent shall result in legal action and/or revocation of this permit.

CAUTION:

The limits of authorized work shall be only for that which was approved by the CRMC. Any activities or alterations in which deviate from this assent or what was detailed on the CRMC approved plans will require a separate application and review. Additionally, if the information provided to the CRMC for this review is inaccurate or did not reveal all necessary information or data, then this permit may be found to be null and void. Plans for any future alteration of the

Thames Street Nashua, LLC
 CRMC Assent A2023-02-061
 May 28, 2024
 Page Three

shoreline or construction or alteration within the 200' zone of CRMC jurisdiction or in coastal waters must be submitted for review to the CRMC prior to commencing such activity.

Permits, licenses or easements issued by the Council are valid only with the conditions and stipulation under which they are granted and imply no guarantee of renewal. The initial application or an application for renewal may be subject to denial or modification. If an application is granted, said permit, license and easement may be subject to revocation and/or modification for failure to comply with the conditions and stipulations under which the same was issued or for other good cause.

ATTENTION: ALL STRUCTURES AND FILLED AREAS IN THE TIDAL, COASTAL, OR NAVIGABLE WATERS OF THE STATE OF RHODE ISLAND ARE SUBJECT TO:

1. The Superior Property Rights of the State of Rhode Island in the Submerged and Submersible Lands of the Coastal, Tidal, and Navigable Waters;
2. The Superior Navigation Servitude of the United States;
3. The Police Powers of the State of Rhode Island and the United States to regulate Structures in the Tidal, Coastal, or Navigable Waters.

THE SUBMERGED AND SUBMERSIBLE LANDS OF THE TIDAL, COASTAL, AND NAVIGABLE WATERS OF THE STATE ARE OWNED BY THE STATE AND HELD IN TRUST FOR THE PUBLIC. CONVEYANCE OF THESE LANDS IS ILLEGAL; TITLES PURPORTING TO TRANSFER SUCH LANDS ARE VOID. ASSENTS THAT INVOLVE THE FILLING OR USE OF THE STATES SUBMERGED LANDS ARE GRANTED WITH THE PROVISIO THAT IT IS SUBJECT TO THE IMPOSITION OF A USAGE FEE TO BE ESTABLISHED BY THE COASTAL RESOURCES MANAGEMENT COUNCIL.

The lands adjacent to tidal waters and/or access to these lands may be impacted or rendered unusable in the future due to sea level rise, storm surge, and shoreline erosion. Online resources including STORMTOOLS, Shoreline Change Maps, and Sea Levels Affecting Marshes Model (SLAMM) Maps can be accessed through the CRMC website (www.crmc.ri.gov). The Council recommends the use of these resources to evaluate the flood extent and inundation from sea level rise, storm surge and erosion and damages to land, aquatic life, loss of public access and other natural resources on and near the site of the above assent. The project life may be shortened by these processes and may require additional adaptation measure up to and including relocation of the project. By issuing this assent the granting authority neither explicitly nor implicitly assumes any liability or responsibility for the stability or permanence of said project under future climate and shoreline conditions.

SPECIFIC STIPULATIONS OF APPROVAL

General Stipulations

A. The applicant shall record this assent in its entirety in the land evidence records of the Town of Bristol within thirty (30) days of the date of assent issuance. Certification by the Town Clerk's office that this stipulation has been complied with shall be furnished to

Thames Street Nashua, LLC
 CRMC Assent A2023-02-061
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 Page Four

Coastal Resources Management Council by the applicant within fifteen (15) days thereafter. Failure to comply with the provision will render this assent null and void.

B. For the purpose of this permit, the coastal feature shall be the manmade shoreline; and the inland edge of the coastal feature shall be the top of the revetted bank and headwall.

C. The approved plan shall be those entitled “Bristol Yarn Mill, Thames Street & Hope Street, Bristol..AP 10, Lots 41, 42, 43, 44, 49, 50, 60, 61, 62, 68, 71, 73, 74, 76, Permitting Plan December 6, 2022 Revised March 6, 2024..” total 28 sheets by Shawn M. Martin, RPE and the conservation easement/public access plan shall be Exhibit A entitled “Easement Plan, Bristol Yarn Mill, 125 Thames Street, Lots 42 & 60, Map 10, Town of Bristol.. 2 sheets dated 2-7-24 by Charles E. Lent, PLS. Except as stipulated or modified herein, all details and specifications thereon shall be strictly adhered to. Any and all changes require written approval from this office.

D. Prior to commencement of site alterations, you shall post the CRMC assent card. This assent card must be maintained at the site in a conspicuous location until such time that the project is complete.

E. This lot may be subject to sea level rise in the near and long term and is therefore at increased risk of flooding. The owner is cautioned that the current building codes do not account for sea level rise and is hereby advised that the building should be elevated to the maximum height allowed under zoning ordinance to account for rising sea level in the future.

F. This project required a Coastal Hazards Analysis (CHA) as per the Rhode Island Coastal Resources Management Council’s regulations. The Council recommends residential applications meet a minimum of a 30-year design life (longer design life may not meet recommended criteria). Please be advised this project:

- Meets the anticipated 3’ design life of Sea Level Rise (SLR), however does not meet the chosen 5’ design life (50yr).
- Meets- the accelerated erosion rate.
- Does not meet the recommended Storm Tools Design Elevation (SDE) of 23-25’ for 3-5’ of SLR.
- CERI modeling indicates the site likely to be Extreme damage (3’SLR)- inundated by 2100 (5’SLR)

G. The owner is bound by the terms of the Conservation Easement/Public Access Easement executed May 2024 and recorded at Book 2244, Pg 165 (9pages) on 5/20/2024 in the Land Evidence Records of the Town of Bristol, RI.

H. This assent requires a setback (Ref. Red Book Section 1.1.9) of 20’ feet in width as measured landward from the inland edge of the coastal feature to the existing building.

I. This assent requires a coastal buffer zone (Ref. Red Book Section 1.1.11) of variable width which includes a public accessway, natural buffer zone (restored) and managed buffer vegetation, as shown on the approved plan.

Thames Street Nashua, LLC
CRMC Assent A2023-02-061
May 28, 2024
Page Five

J. Vegetation in the unmanaged portion of the buffer zone shall remain undisturbed following installation.

K. This project is being reviewed under the requirements of the Federal Historic Preservation Tax Incentives Program. Should the project not receive Historic Preservation Certification Part 2, then RIHPHC approval is still required prior to any work on the project.

L. No alterations (vegetative or otherwise) or activities are allowed in the waterway adjacent to the site, excepting repair work on existing outfall per the approved plans.

M. All runoff of surface water into the stipulated coastal buffer zone shall be maintained as sheet flow. No concentrated sources of runoff flow (such as pipes or swales) shall be directed into the buffer zone.

N. All remediation work shall be undertaken in accordance with the RIDEM approval for such.

O. Through coordination with ACOE GP process, the application has been determined to be eligible for ACOE GP approval and a permit will be forwarded directly from the ACOE, no work on-site may commence until such permit is received.

P. This structure shall be connected to and serviced by municipal sewers.

Q. An Environmental Compliance Monitor (ECM) shall be designated to oversee project compliance with the CRMC Assent. The RE (Resident Engineer) shall ensure that one or more inspectors are available as necessary for the project, each inspector must be qualified in the required specialized environmental field (i.e., waste management, coastal wetlands, etc.). Each inspector must have the education and experience in each respective field to properly inspect the project and recommend corrective measures. The RE/ECM shall report site inspections at least once weekly and on an as needed basis during all phases of the project, likely to result in environmental impacts. A dated and signed report shall be completed for the record during each inspection. Each inspection shall identify any environmental issues of concern and any non-compliance with the CRMC Assent and other agency approvals (RI Department of Environmental Management, US Army Corps of Engineers, and US Coast Guard). Subsequent reports shall describe actions and remedies undertaken to rectify these issues and restore project compliance with the CRMC Assent and the approved plans. Where compliance has not been properly achieved, the RE/ECM shall notify the CRMC on a timely basis. In addition, field reports shall be available to be forwarded to the CRMC upon request.

Earthwork Stipulations

A. The Permittee shall construct and maintain all soil erosion, runoff, and sediment control practices in accordance with the CRMC approved site plan (referenced herein).

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B. All soil erosion, runoff, sedimentation, and construction activity pollution prevention control measures must be implemented in accordance with CRMC approved site plan (referenced herein) and the approved Soil Erosion and Sediment Control Plan entitled “Soil Erosion and Sediment Control Report, Bristol Yarn Mill...,” dated January 31, 2023, by Fuss and O’Neil.

C. Prior to the initiation of site alterations or construction including the mobilization of construction vehicles, equipment or machinery, the Limit of Disturbance (LOD) shall be adequately delineated on site (by survey methods where appropriate). No equipment access, equipment or material storage or other activities including construction vehicle parking shall occur beyond the Limit of Disturbance, even on a temporary basis.

D. Prior to conducting earthwork and other land disturbing activities, erosion, runoff, and sediment control measures shall be installed and maintained in accordance with good engineering practices including the applicable details found in the manufacturer’s specifications and/or in the Rhode Island Soil Erosion and Sediment Control Handbook (as amended). These measures must be maintained until the site is stabilized through the establishment of vegetative cover and/or construction of the approved facilities (buildings, roadways, parking areas, etc.) has stabilized soils sufficiently to prevent erosion and sedimentation.

E. All discharges which result from dewatering operations must flow into pumping settling basins, portable sediment tanks or portable sediment bags which are properly installed and maintained in accordance with good engineering practices including the applicable details found in the manufacturer’s specifications and/or in the Rhode Island Soil Erosion and Sediment Control Handbook (as amended).

F. Temporary measures shall be installed to protect permanent or long-term stormwater control and treatment measures as they are installed and throughout the construction phase of the project so that they will function properly when they are brought online. Construction activity shall be restricted in areas where infiltration measures are proposed to prevent compaction. In cases where it is not possible to avoid the area, methods shall be taken to restore the infiltration capacity of the soil.

G. All excavated material shall be cast on the upslope side of the excavation to minimize sedimentation. No excavated material shall be stockpiled beyond the Limit of Disturbance (LOD) or in unauthorized locations.

H. All areas of disturbed soil which are impacted by construction, site work and related activities shall be temporarily stabilized throughout the site construction period. Soil stabilization may be achieved through appropriate temporary measures as described by the Rhode Island Soil Erosion and Sediment Control Handbook (as amended). Where the season is not conducive to the establishment of vegetative cover, other temporary measures shall be employed including the application of mulch and/or use of fiber rolls (erosion control blankets, etc.). Temporary erosion, runoff and sediment controls shall be employed and maintained until temporary or permanent vegetative cover can be achieved and/or site improvements such as approved buildings, roadways and parking areas are constructed resulting in a lack of exposed soil.

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Page Seven

I. Stabilization of disturbed areas must, at a minimum, be initiated immediately whenever any clearing, grading, excavating or other earth disturbance activities have permanently ceased on any portion of the site, or temporarily ceased on any portion of the site and will not resume for a period exceeding 14 calendar days. Stabilization must be completed using vegetative stabilization measures or using alternative measures whenever vegetative measures are deemed impracticable or during periods of drought. All disturbed soils exposed prior to October 15th shall be seeded by that date. Any such areas which do not have adequate vegetative stabilization by November 15th must be stabilized through the use of non-vegetative erosion control measures. If work continues within any of these areas during the period from October 15th through April 15th, care must be taken to ensure that only the area required for that day's work is exposed, and all erodible soil must be restabilized within five (5) working days.

J. Construction sites must be inspected by or under the supervision of the owner and operator at least once every seven (7) calendar days and within 24 hours after any storm event which generates at least 0.25 inches of rainfall per 24-hour period and/or after a significant amount of runoff. If an inspection reveals a problem, the operator must initiate work to fix the problem immediately after discovering the problem and complete such work by the close of the next workday, if the problem does not require significant repair or replacement, or if the problem can be corrected through routine maintenance.

K. There shall be no discharge or disposal of toxic waste, hazardous materials, oil, grease and other lubricants, excess fertilizer, pesticides or other chemicals or controlled materials either on site or in any area which may enter a wetland, watercourse, or groundwater. All spills of such materials shall be reported to the RI Department of Environmental Management for appropriate remediation. All used lubricants, excess chemicals, fertilizers, pesticides, etc., shall be removed from the site for transport, handling, and disposal in accordance with all applicable state and federal regulations.

L. All excess excavated materials (soils, rock, gravel, etc.), excess construction materials, demolition debris, temporary erosion, runoff, and sediment control measures, etc., shall be removed from the site for appropriate re-use and/or proper disposal at a suitable upland location or landfill. All toxic materials and waste shall be properly transported and disposed of in accordance with applicable state and federal regulations.

M. Upon the successful stabilization of exposed soils, all temporary (interim) erosion, runoff and sediment control measures as well as pollution prevention measures shall be appropriately decommissioned and removed from the site for re-use and/or for disposal at a suitable, legal upland location or landfill. All temporary sediment basins, sediment traps and channels, etc., shall be removed and/or restored in accordance with the approved site plans.

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Stipulations for Stormwater Management on Projects Other than Individual Single-Family Residential Lot Development:

- A. The Permittee shall construct the stormwater management practices in accordance with the CRMC approved site plan (referenced herein).
- B. All stormwater management practices shall be operated and maintained in accordance with the Operation and Maintenance (O&M) Plan, entitled "Long-Term Operation and Maintenance Report Bristol Yarn Mill...", dated December 2, 2022, by Fuss and O'Neill.

Building Stipulations

- A. All pertinent requirements of the RI State Building Code as administered by the local building official shall be strictly adhered to.

Buffer Zone Stipulations

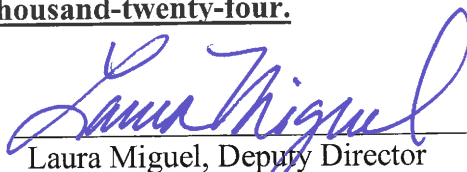
- A. The buffer zone plantings required by this Assent shall be installed coincident with the next available growing season following start of construction.
- B. The applicant is responsible for the survivorship of the plantings for one full growing season. Plants not surviving the first growing season shall be replaced as stated on the approved plans/necessary.
- C. Prior to initiating any work on site, permanent markers at least 24" above grade must be installed along the inland edge of the buffer zone from each affected property boundary to any points in between which provide appropriate angle points necessary to delineate the full limit of the CRMC approved buffer zone. The intent of these markers is to provide permanent reference points on-site which are clear to present and future property owners. Acceptable permanent-type markers include 4" x 4" pressure treated timber posts, galvanized fence posts with cap or granite or concrete bounds. A permanent-type fence at least 24" tall may be substituted for markers where desired.

Beach Replenishment, coir logs, sandbags, snow fence, and signs on beaches Stipulations:

- A. The public retains all the rights to public access along the shore outlined in the Rhode Island State Constitution.
- B. All work shall be done landward of the high-water line.

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In Witness Whereof, said Coastal Resources Management Council has hereto set their hands and seal this **28th day of May in the year two-thousand-twenty-four.**



Laura Miguel, Deputy Director
Coastal Resources Management Council

/jla



DEPARTMENT OF THE ARMY
US ARMY CORPS OF ENGINEERS
NEW ENGLAND DISTRICT
696 VIRGINIA ROAD
CONCORD MA 01742-2751

April 8, 2024

Regulatory Division
File Number NAE-2023-01757
CRMC No. 2023-02-061

Mr. Shane Brady
Thames Street Nashua, LLC
670 N. Commercial Street, Suite 303
Manchester, NH 03101

sbrady@bradysullivan.com

Mr. Brady:

The U.S. Army Corps of Engineers (USACE) has reviewed your application to the Coastal Resources Management Council (CRMC) to renovate the Bristol Yarn Mill for 127 residential apartment units and approximately leasable space for commercial uses. This project will take place at 125 Thames Street, at the intersection of Thames Street and Hope Street in Bristol, RI, 02908 (41.667197°N, -71.277928°W). The portion of work under USACE jurisdiction is the (existing) seawall repair and reconstruction of the 30" RCP outfall pipe drainage way through the stone masonry portion of seawall. The project will permanently impact a total of 441 linear feet of estuarine intertidal habitat shown on the enclosed (revised) plans titled "Brady Sullivan Properties" on 5 pages dated "March 25, 2024".

Based on the information you have provided, we verify that the Pre-Construction Notification (PCN) activity is authorized under General Permit 2 of the May 6, 2022, federal permits known as the Rhode Island General Permits (GPs). The GPs are available at <https://www.nae.usace.army.mil/Missions/Regulatory/State-General-Permits/Rhode-Island-General-Permit>.

Please review the GPs carefully, in particular the general conditions beginning on page 43, and ensure that you and all personnel performing work authorized by the GPs are fully aware of and comply with its terms and conditions. A copy of the GPs and this verification letter shall be available at the work site as required by General Condition 14.

This authorization expires on May 6, 2027. You must commence or have under contract to commence the work authorized herein by May 6, 2027, and complete the work by May 6, 2028. If not, you must contact this office to determine the need for further authorization and we recommend you contact us *before* the work authorized herein expires. Please contact us immediately if you change the plans or construction methods for work within our jurisdiction as we must approve any changes before you

-2-

undertake them. Performing work within our jurisdiction that is not specifically authorized by this determination or failing to comply with the terms and conditions of the GPs may subject you to the enforcement provisions of our regulations.

This authorization does not obviate the need to obtain other federal, state, or local authorizations required by law. Applicants are responsible for applying for and obtaining any other approvals.

This determination becomes valid only after the Rhode Island CRMC issues their required authorization. The CRMC contact information is provided on page 55 of the GPs.

We continually strive to improve our customer service. For us to better serve you, we would appreciate your completing our Customer Service Survey located at <https://regulatory.ops.usace.army.mil/customer-service-survey/>.

Please contact Elizabeth Waterhouse, of my staff, at (978) 318-8943 or elizabeth.c.waterhouse@usace.army.mil if you have any questions.

Sincerely,

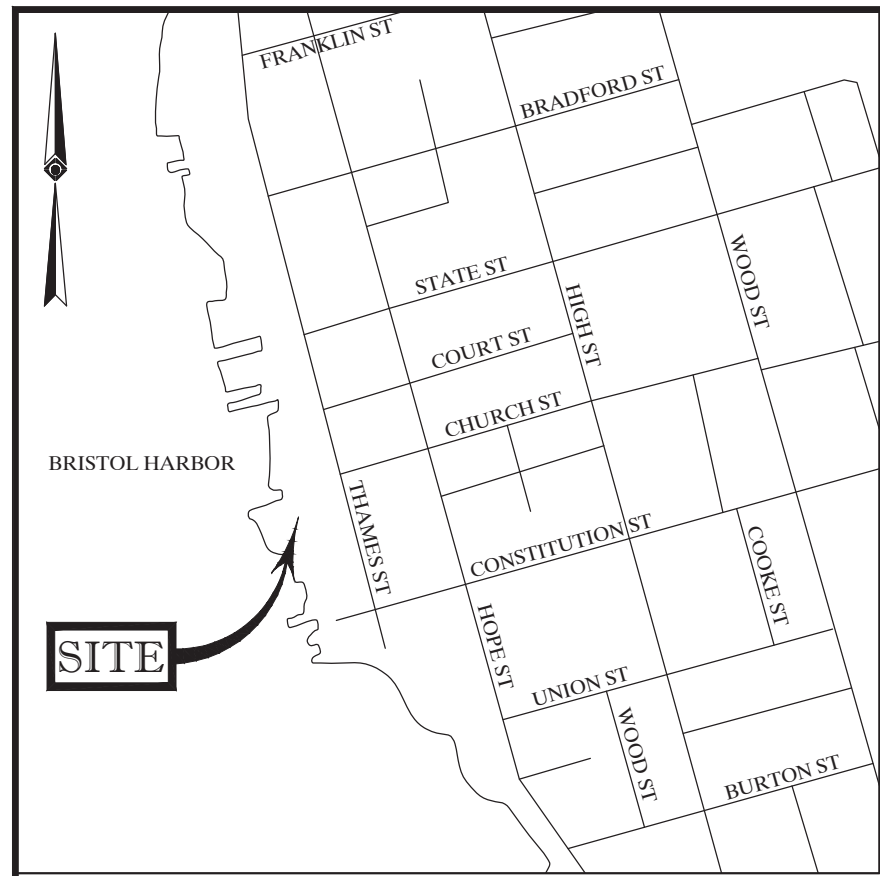
Kevin R Kotelly

Kevin R. Kotelly, P.E.
Chief, CT/RI Section
Regulatory Division

Enclosures

cc:

Shawn Martin, Fuss & O'Neil, Regional Manager; SMartin@fando.com
Elizabeth Totten, RI Rhode Island Historical Preservation & Heritage Commission; elizabeth.totten@preservation.ri.gov
Neal Personeus, RI DEM, Providence, RI; neal.personeus@dem.ri.gov
Lisa Turner, RI CRMC; ltturner@crmc.ri.gov
Erica Sachs, US EPA, Region 1, Boston, MA; sachs.eric@epa.gov
Joseph Bishop, US EPA, Region 1, Boston, MA; bishop.joseph@epa.gov
Sabrina Pereira, NOAA EFH Coordinator; sabrina.pereira@noaa.gov



LOCUS MAP
© 2013 ESRI WORLD STREET MAPS
NOT TO SCALE

LEGEND

| | | | |
|--|------------------|--|-------------------------|
| | HYDRANT | | DRAINAGE/STORM MANHOLE |
| | WATER VALVE | | ELECTRIC MANHOLE |
| | UNKNOWN VALVE | | SANITARY/SEWER MANHOLE |
| | GAS VALVE | | UNKNOWN MANHOLE |
| | GAS METER | | WATER MANHOLE |
| | ELECTRIC METER | | CATCH BASIN OR INLET |
| | OVERHEAD WIRES | | TREE & TRUNK SIZE |
| | UTILITY POLE | | PARKING SPACE COUNT |
| | AREA LIGHT | | DEPRESSED CURB |
| | SIGN | | SOLID WHITE LINE |
| | BOLLARD | | DOUBLE YELLOW LINE |
| | CHAIN LINK FENCE | | HEIGHT |
| | DEPRESSED CURB | | BUILDING |
| | EDGE OF CONCRETE | | BUILDING FOOTPRINT AREA |
| | EDGE OF PAVEMENT | | DRILL HOLE FOUND |
| | LANDSCAPED AREA | | MASONRY BLOCK WALL |
| | METAL COVER | | TYPICAL |

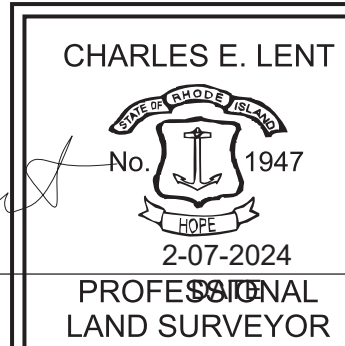
NOTES:

- PROPERTY KNOWN AS LOTS 42 & 60 AS SHOWN ON THE TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND MAP NO. 10.
- PROPOSED PUBLIC ACCESS EASEMENT AREA = 8,068± SQ. FT. OR 0.185± ACRES.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
- UNDERGROUND UTILITIES HAVE NOT BEEN SHOWN. BEFORE ANY SITE EVALUATION, PREPARATION OF DESIGN DOCUMENTS OR EXCAVATIONS ARE TO BEGIN, THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE PROPER UTILITY COMPANIES.
- BY GRAPHIC PLOTTING ONLY A PORTION OF THE PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "AE" (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, BASE FLOOD ELEVATIONS DETERMINED, EL+12, & ZONE "X" SHADED) (AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD), & ZONE "X" UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), & ZONE "VE" (COASTAL FLOOD ZONE WITH VELOCITY HAZARD (WAVE ACTION); BASE FLOOD ELEVATIONS DETERMINED, EL+14 & EL+15) PER REF #2.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- THE PURPOSE OF THIS PLAN IS TO ILLUSTRATE A PROPOSED EASEMENT ON THE SUBJECT PARCELS.

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 4, 2022 AS FOLLOWS:

- TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY MEASUREMENT SPECIFICATION: I
- OTHER TYPE OF SURVEY: DATA ACCUMULATION SURVEY MEASUREMENT SPECIFICATION: III
- THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS: PREPARE EASEMENT PLAN.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.



CHARLES E. LENT

RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947
CERTIFICATE OF AUTHORIZATION #A350

EASEMENT PLAN

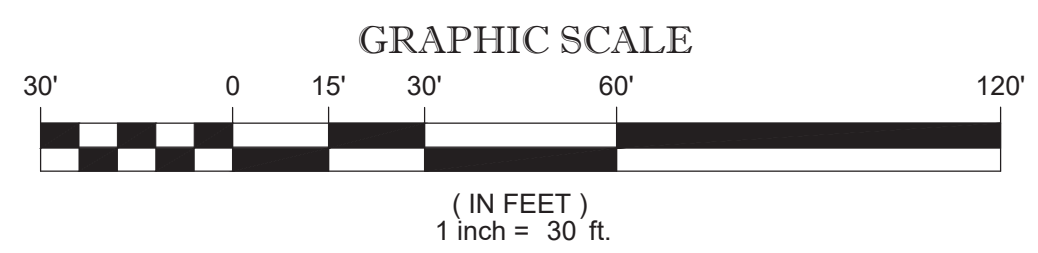
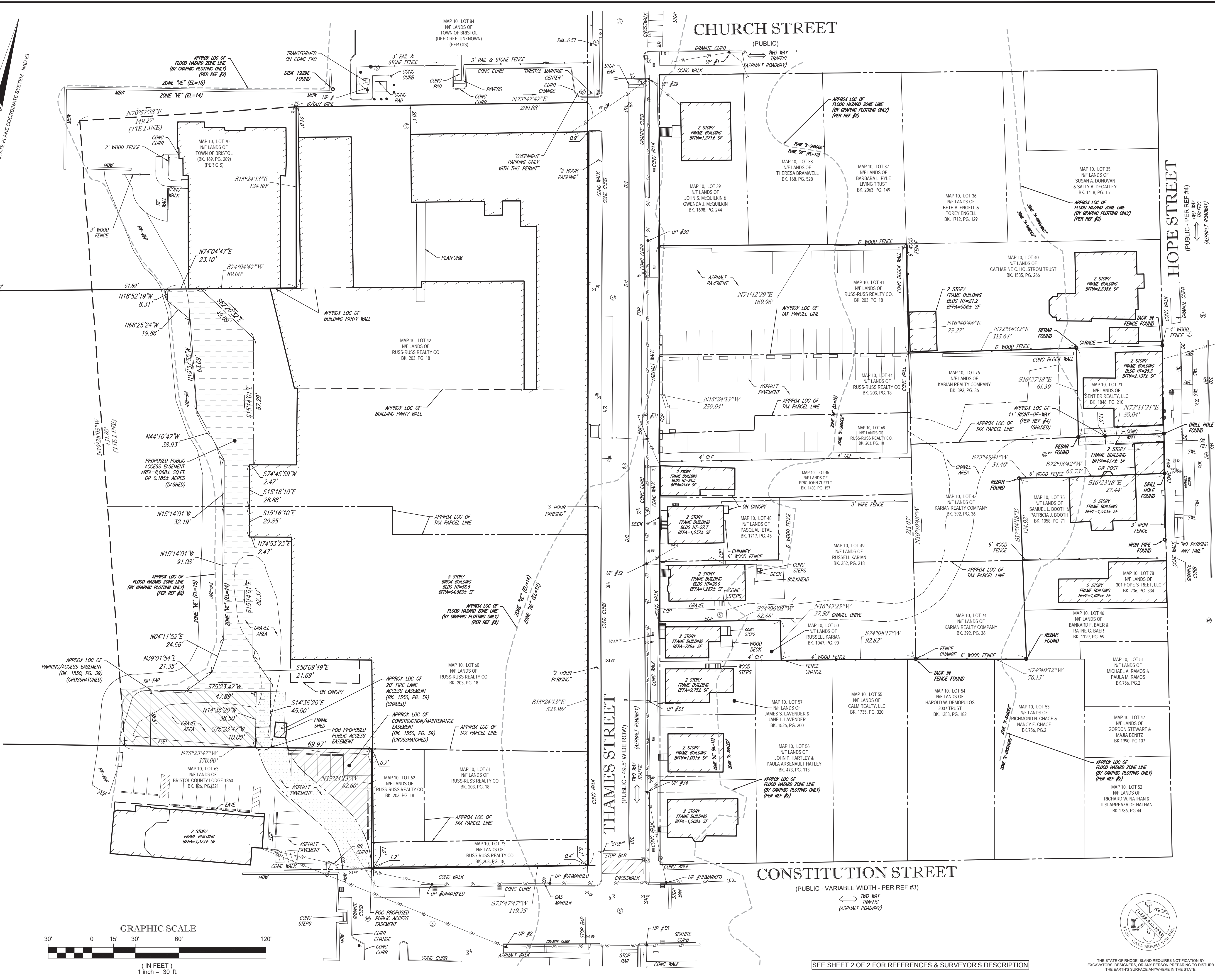
BRISTOL YARN MILL

125 THAMES STREET
LOTS 42 & 60, MAP 10
TOWN OF BRISTOL, BRISTOL COUNTY
STATE OF RHODE ISLAND



ALBANY, NY 518-217-5010
CHALFONTE, PA 215-712-9800
HAUPPAUGE, NY 631-580-2665
MANHATTAN, NY 646-780-0411
MT LAUREL, NJ 609-857-2099
WARREN, NJ 908-668-0099

| | | | | | |
|-----------|-----------|-----------|----------|--------------|-----------|
| REVIEWED: | APPROVED: | DATE: | SCALE: | FILE NO.: | DWG. NO.: |
| E.LOC. | C.E.L. | 2-07-2024 | 1" = 30' | 03-210289-00 | 1 OF 2 |

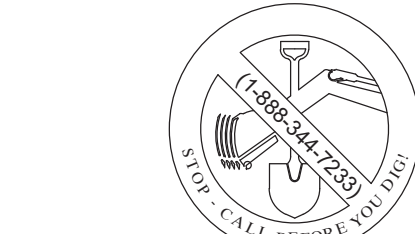


CONSTITUTION STREET

(PUBLIC - VARIABLE WIDTH - PER REF #3)

TWO WAY TRAFFIC
(ASPHALT ROADWAY)

SEE SHEET 2 OF 2 FOR REFERENCES & SURVEYOR'S DESCRIPTION



THE STATE OF RHODE ISLAND REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

CONTROL POINT ASSOCIATES, INC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.

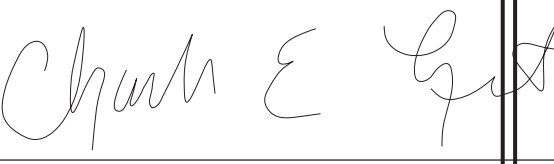
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 4, 2022 AS FOLLOWS:

1. TYPE OF BOUNDARY SURVEY: MEASUREMENT SPECIFICATION
LIMITED CONTENT BOUNDARY SURVEY I

2. OTHER TYPE OF SURVEY: MEASUREMENT SPECIFICATION:
DATA ACCUMULATION SURVEY III

3. THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS:
PREPARE EASEMENT PLAN.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED
WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.




CHARLES E. LENT

RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947
CERTIFICATE OF AUTHORIZATION #A350

1947

2-07-2024

PROFESSIONAL
LAND SURVEYOR

| | | | | | |
|----------------|--|-----------|-------|--------------|----------|
| FIELD DATE | EASEMENT PLAN | | | | |
| - | BRISTOL YARN MILL | | | | |
| FIELD BOOK NO. | 125 THAMES STREET | | | | |
| - | LOTS 42 & 60, MAP 10 | | | | |
| FIELD BOOK PG. | TOWN OF BRISTOL , BRISTOL COUNTY | | | | |
| - | STATE OF RHODE ISLAND | | | | |
| FIELD CREW |  CONTROL POINT ASSOCIATES, INC. ALBANY, NY 518-217-5010 CHALFONT, PA 215-712-9800 HAUPPAUGE, NY 631-580-2665 DRAWN: 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.3000 - 508.948.3003 FAX WWW.CPASURVEY.COM MANHATTAN, NY 646-780-0411 MT LAUREL, NJ 609-857-2099 WARREN, NJ 908-668-0099 | | | | |
| E.G.F. | | | | | |
| REVIEWED: | APPROVED: | DATE | SCALE | FILE NO. | DWG. NO. |
| E.LOC. | C.E.L. | 2-07-2024 | N/A | 03-210289-00 | 2 OF 2 |

REFERENCES:

- THE TAX ASSESSOR'S MAP OF BRISTOL, BRISTOL COUNTY, MAP 10.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, BRISTOL COUNTY, RHODE ISLAND 9ALL JURISDICTIONS), PANEL 14 OF 18", MAP NUMBER 44001C0014H, MAP REVISED: JULY 7, 2014.
- MAP ENTITLED "BOUNDARY SURVEY PLAN AP 10 - LOTS 60, 61, 62 & 73 THAMES STREET & CONSTITUTION STREET BRISTOL, RHODE ISLAND RUSS - RUSS REALTY CO. C/O ROBIN RUG COMPANY 125 THAMES STREET P.O. BOX 656 BRISTOL, RHODE ISLAND 02809", PREPARED BY: WATERMAN ENGINEERING CO., DATED: FEBRUARY 1, 2005, PROVIDED BY CLIENT.
- MAP ENTITLED "BOUNDARY SURVEY PLAN A.P. 10, LOTS 43, 71, 74 & 76 HOPE STREET BRISTOL RHODE ISLAND KARIAN REALTY CO. P.O. BOX 656 BRISTOL, RHODE ISLAND", PREPARED BY: WATERMAN ENGINEERING CO., DATED: FEBRUARY 26, 2021, PROVIDED BY CLIENT.
- MAP ENTITLED "PLAN OF LAND: THEODORE J. & HELEN T. ALGLET, LOCATION: 12 BUTTERWORTH AVENUE BRISTOL, RHODE ISLAND", PREPARED BY: STEPHEN M. MURGO, DATED: JULY, 1992, PROVIDED BY CLIENT.
- MAP ENTITLED "EXISTING CONDITIONS PLAN, BRISTOL YARN MILL, PLAT 10 LOTS 42, 60, 61, 62, 68, 73, 41, 43, 44, 49, 74 AND 76, 125 THAMES STREET, BRISTOL RHODE ISLAND", PREPARED BY FUSS & O'NEILL, DATED MAY 7, 2021
- MAP ENTITLED "SURVEY OF LAND KARIAN REALTY, INC.", PREPARED BY: WATERMAN ENGINEERING CO., DATED: AUGUST 1990, ON FILE WITH THE TOWN OF BRISTOL PLANNING DEPARTMENT.
- MAP ENTITLED "RUSS-RUSS REALTY CO. ROBIN RUG COMPLEX MASTER PLAN A.P. 10 / LOTS 41, 42, 44, 60, 61, 62, 68 & 73 125 THAMES STREET BRISTOL RHODE ISLAND", PREPARED BY: FUSS 7 O'NEILL, DATED: APRIL 18, 2008, PROVIDED BY CLIENT.
- RECIPROCAL EASEMENT AGREEMENT, DATED MAY 6, 2010, AND RECORDED WITH THE BRISTOL COUNTY LAND RECORDS IN BOOK 1550, PAGE 39.
- MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, BRISTOL YARN MILL, 125 THAMES STREET, LOTS 41, 42, 43, 44, 45, 48, 49, 60, 61, 62, 68, 73, 74, 76, MAP 10, TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED SEPTEMBER 28, 2021, LAST REVISED OCTOBER 1, 2021, THREE SHEETS.

SURVEYOR'S
METES AND BOUNDS DESCRIPTION

PROPOSED PUBLIC ACCESS EASEMENT
LOCATED ON LOTS 42 & 60, MAP 10
TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND

COMMENCING AT A POINT ON THE NORTHERLY STREET LINE OF CONSTITUTION STREET (PUBLIC, VARIABLE WIDTH) SAID POINT BEING ON THE DIVISION LINE BETWEEN MAP 10, LOT 73 (N/F OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63 (N/F OF BRISTOL COUNTY LODGE 1860) THENCE RUNNING ALONG SAID DIVISION LINE AND THE DIVISION LINE BETWEEN MAP 10, LOT 62 (N/F OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63 THE FOLLOWING COURSE:

- A. NORTH 15 DEGREES - 24 MINUTES - 13 SECONDS WEST, A DISTANCE OF 82.60 TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 60 (N/F LANDS OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63, THENCE RUNNING ALONG SAID LINE THE FOLLOWING COURSE:
- B. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 69.97 FEET TO THE POINT AND PLACE OF BEGINNING, THENCE CONTINUING ALONG SAID DIVISION LINE THE FOLLOWING COURSE:
- SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 10.00 FEET, THENCE RUNNING WITHIN MAP 10, LOT 60 THE FOLLOWING FIVE (5) COURSES:
 - NORTH 14 DEGREES - 36 MINUTES - 20 SECONDS WEST, A DISTANCE OF 38.50 FEET TO A POINT, THENCE;
 - SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 47.89 FEET TO A POINT, THENCE;
 - NORTH 39 DEGREES - 01 MINUTE - 54 SECONDS EAST, A DISTANCE OF 21.35 FEET TO A POINT, THENCE;
 - NORTH 04 DEGREES - 11 MINUTES - 52 SECONDS EAST, A DISTANCE OF 24.66 FEET TO A POINT, THENCE;
 - NORTH 15 DEGREES - 14 MINUTES - 01 SECOND WEST, A DISTANCE OF 91.08 FEET TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 60 AND MAP 10, LOT 42 (N/F LANDS OF RUSS-RUSS REALTY CO.), THENCE RUNNING WITHIN MAP 10, LOT 42 THE FOLLOWING FIVE (5) COURSES;
 - NORTH 15 DEGREES - 14 MINUTES - 01 SECOND WEST, A DISTANCE OF 32.19 FEET TO A POINT, THENCE;
 - NORTH 44 DEGREES - 10 MINUTES - 47 SECONDS WEST, A DISTANCE OF 38.93 FEET TO A POINT, THENCE;
 - NORTH 19 DEGREES - 37 MINUTES - 55 SECONDS WEST, A DISTANCE OF 63.09 FEET TO A POINT,
 - NORTH 66 DEGREES - 25 MINUTES - 24 SECONDS WEST, A DISTANCE OF 19.86 FEET TO A POINT, THENCE;
 - NORTH 18 DEGREES - 52 MINUTES - 19 SECONDS WEST, A DISTANCE OF 8.31 FEET TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 42 AND MAP 10, LOT 70 (N/F OF TOWN OF BRISTOL), THENCE RUNNING ALONG SAID LINE THE FOLLOWING COURSE;
 - NORTH 74 DEGREES - 04 MINUTES - 47 SECONDS EAST, A DISTANCE OF 23.10 FEET TO A POINT, THENCE RUNNING WITHIN MAP 10, LOT 42 THE FOLLOWING FOUR (4) COURSES;
 - SOUTH 62 DEGREES - 20 MINUTES - 32 SECONDS EAST, A DISTANCE OF 49.89 FEET TO A POINT, THENCE;
 - SOUTH 15 DEGREES - 14 MINUTES - 01 SECOND EAST, A DISTANCE OF 87.29 FEET TO A POINT, THENCE;
 - SOUTH 74 DEGREES - 45 MINUTES - 59 SECONDS WEST, A DISTANCE OF 2.47 FEET TO A POINT, THENCE;
 - SOUTH 15 DEGREES - 16 MINUTES - 10 SECONDS EAST, A DISTANCE OF 28.88 FEET TO A POINT, ON THE DIVISION LINE BETWEEN MAP 10, LOT 42 AND MAP 10, LOT 60, THENCE RUNNING WITHIN MAP 10, LOT 60 THE FOLLOWING FIVE (5) COURSES;
 - SOUTH 15 DEGREES - 16 MINUTES - 10 SECONDS EAST, A DISTANCE OF 20.85 FEET TO A POINT, THENCE;
 - NORTH 74 DEGREES - 53 MINUTES - 23 SECONDS EAST, A DISTANCE OF 2.47 FEET TO A POINT, THENCE;
 - SOUTH 15 DEGREES - 14 MINUTES - 01 SECOND EAST, A DISTANCE OF 82.37 FEET TO A POINT, THENCE;
 - SOUTH 50 DEGREES - 09 MINUTES - 49 SECONDS EAST, A DISTANCE OF 21.69 FEET TO A POINT, THENCE;
 - SOUTH 14 DEGREES - 36 MINUTES - 20 SECONDS EAST, A DISTANCE OF 45.00 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 8,068 SQUARE FEET, 0.185 ACRES



CONTROL POINT ASSOCIATES, INC.

traditional methods | modern approaches

Item C1.

352 Turnpike Road, Suite 320
Southborough, MA 01772
Tel: 508-948-3000
www.cpasurvey.com

FEBRUARY 7, 2024
03-210289-00
PAGE 1 OF 2

SURVEYOR'S METES AND BOUNDS DESCRIPTION

PROPOSED PUBLIC ACCESS EASEMENT
LOCATED ON LOTS 42 & 60, MAP 10
TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND

COMMENCING AT A POINT ON THE NORTHERLY STREET LINE OF CONSTITUTION STREET (PUBLIC, VARIABLE WIDTH) SAID POINT BEING ON THE DIVISION LINE BETWEEN MAP 10, LOT 73 (N/F OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63 (N/F OF BRISTOL COUNTY LODGE 1860) THENCE RUNNING ALONG SAID DIVISION LINE AND THE DIVISION LINE BETWEEN MAP 10, LOT 62 (N/F OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63 THE FOLLOWING COURSE;

- A. NORTH 15 DEGREES - 24 MINUTES - 13 SECONDS WEST, A DISTANCE OF 82.60 TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 60 (N/F LANDS OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63, THENCE RUNNING ALONG SAID LINE THE FOLLOWING COURSE;
- B. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 69.97 FEET TO THE POINT AND PLACE OF BEGINNING, THENCE CONTINUING ALONG SAID DIVISION LINE THE FOLLOWING COURSE;
1. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 10.00 FEET, THENCE RUNNING WITHIN MAP 10, LOT 60 THE FOLLOWING FIVE (5) COURSES;
 2. NORTH 14 DEGREES - 36 MINUTES - 20 SECONDS WEST, A DISTANCE OF 38.50 FEET TO A POINT, THENCE;
 3. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 47.89 FEET TO A POINT, THENCE;
 4. NORTH 39 DEGREES - 01 MINUTE - 54 SECONDS EAST, A DISTANCE OF 21.35 FEET TO A POINT, THENCE;
 5. NORTH 04 DEGREES - 11 MINUTES - 52 SECONDS EAST, A DISTANCE OF 24.66 FEET TO A POINT, THENCE;
 6. NORTH 15 DEGREES - 14 MINUTES - 01 SECOND WEST, A DISTANCE OF 91.08 FEET TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 60 AND MAP 10, LOT 42 (N/F LANDS OF RUSS-RUSS REALTY CO.), THENCE RUNNING WITHIN MAP 10, LOT 42 THE FOLLOWING FIVE (5) COURSES;
 7. NORTH 15 DEGREES - 14 MINUTES - 01 SECOND WEST, A DISTANCE OF 32.19 FEET TO A POINT, THENCE;
 8. NORTH 44 DEGREES - 10 MINUTES - 47 SECONDS WEST, A DISTANCE OF 38.93 FEET TO A POINT, THENCE;
 9. NORTH 19 DEGREES - 37 MINUTES - 55 SECONDS WEST, A DISTANCE OF 63.09 FEET TO A POINT,
 10. NORTH 66 DEGREES - 25 MINUTES - 24 SECONDS WEST, A DISTANCE OF 19.86 FEET TO A POINT, THENCE;

Corporate Headquarters
35 Technology Drive, Warren, NJ 07059
Tel: 908.668.0099 Fax: 908.668.9595

Professional Land Surveying, Geospatial and Consulting Services

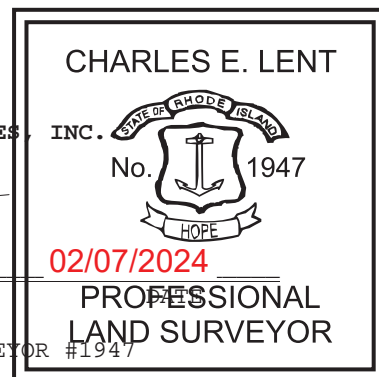
11. NORTH 18 DEGREES - 52 MINUTES - 19 SECONDS WEST, A DISTANCE OF 8.31 FEET TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 42 AND MAP 10, LOT 70 (N/F OF TOWN OF BRISTOL), THENCE RUNNING ALONG SAID LINE THE FOLLOWING COURSE;
12. NORTH 74 DEGREES - 04 MINUTES - 47 SECONDS EAST, A DISTANCE OF 23.10 FEET TO A POINT, THENCE RUNNING WITHIN MAP 10, LOT 42 THE FOLLOWING FOUR (4) COURSES;
13. SOUTH 62 DEGREES - 20 MINUTES - 32 SECONDS EAST, A DISTANCE OF 49.89 FEET TO A POINT, THENCE;
14. SOUTH 15 DEGREES - 14 MINUTES - 01 SECOND EAST, A DISTANCE OF 87.29 FEET TO A POINT, THENCE;
15. SOUTH 74 DEGREES - 45 MINUTES - 59 SECONDS WEST, A DISTANCE OF 2.47 FEET TO A POINT, THENCE;
16. SOUTH 15 DEGREES - 16 MINUTES - 10 SECONDS EAST, A DISTANCE OF 28.88 FEET TO A POINT, ON THE DIVISION LINE BETWEEN MAP 10, LOT 42 AND MAP 10, LOT 60, THENCE RUNNING WITHIN MAP 10, LOT 60 THE FOLLOWING FIVE (5) COURSES;
17. SOUTH 15 DEGREES - 16 MINUTES - 10 SECONDS EAST, A DISTANCE OF 20.85 FEET TO A POINT, THENCE;
18. NORTH 74 DEGREES - 53 MINUTES - 23 SECONDS EAST, A DISTANCE OF 2.47 FEET TO A POINT, THENCE;
19. SOUTH 15 DEGREES - 14 MINUTES - 01 SECOND EAST, A DISTANCE OF 82.37 FEET TO A POINT, THENCE;
20. SOUTH 50 DEGREES - 09 MINUTES - 49 SECONDS EAST, A DISTANCE OF 21.69 FEET TO A POINT, THENCE;
21. SOUTH 14 DEGREES - 36 MINUTES - 20 SECONDS EAST, A DISTANCE OF 45.00 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 8,068 SQUARE FEET, 0.185 ACRES

CONTROL POINT ASSOCIATES, INC.

Charles E. Lent

CHARLES E. LENT
STATE OF RHODE ISLAND
PROFESSIONAL LAND SURVEYOR #1947



Bristol Yarn Mill Roadway Cost Breakdown

| Description | Unit | Unit Cost | Total |
|--------------------------|-----------|------------|--------------|
| Mill | 2560 SY. | \$8.10 | \$20,736.00 |
| Drainage Structures | 5 EA. | \$6,070.00 | \$30,350.00 |
| Drainage Pipe | 520 LF. | \$195.00 | \$101,660.00 |
| Water Main | 815 LF. | \$268.00 | \$218,420.00 |
| Hydrants | 3 EA. | \$7,740.00 | \$23,220.00 |
| Sewer | 30 LF. | \$440.00 | \$13,200.00 |
| Grainite Curbing | 375 LF. | \$60.00 | \$22,500.00 |
| Exterior Concrete (Prep) | 6,340 SF. | \$5.00 | \$31,700.00 |
| Exterior Concrete (Pour) | 6,340 SF. | \$12.00 | \$76,080.00 |
| Overlay | 2,410 SY. | \$15.75 | \$37,957.00 |
| Total | | | \$575,823.00 |

BRISTOL YARN MILL

THAMES STREET & HOPE STREET · BRISTOL · RHODE ISLAND

USACE PERMITTING PLAN

MARCH 25, 2024

PREPARED FOR
BRADY SULLIVAN PROPERTIES
670 N. COMMERCIAL STREET
MANCHESTER, NH 03101
603.622.6223
WWW.BRADYSULLIVAN.COM



PREPARED BY
FUSS & O'NEILL
317 IRON HORSE WAY, SUITE 204
PROVIDENCE, RI 02908
401.861.3070
www.fando.com

SHEET INDEX

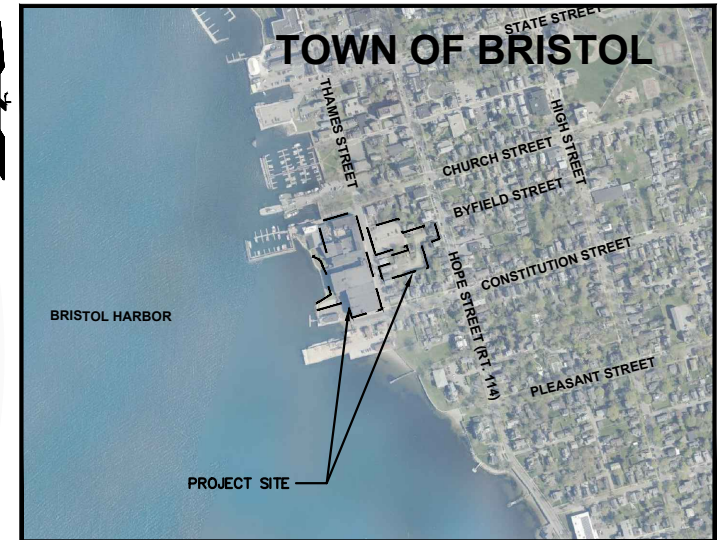
| <u>SHEET No.</u> | <u>SHEET TITLE</u> |
|------------------|---------------------|
| GI-1 | COVER SHEET |
| EX-1 | EXISTING CONDITIONS |
| CS-1 | SEAWALL WORK |
| CD-1 | SEAWALL DETAILS |
| CD-2 | SEAWALL DETAILS |

PROJECT TEAM

ENVIRONMENTAL:
NOBIS GROUP
18 CHENELL DR
CONCORD, NH
03301
603.224.4182

ARCHITECTURAL:
BRADY SULLIVAN
PROPERTIES
670 N. COMMERCIAL STREET
MANCHESTER, NH
03101
630.622.6223

SURVEYOR:
CONTROL POINT
ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTHBOROUGH, MA
01772
508.948.3000

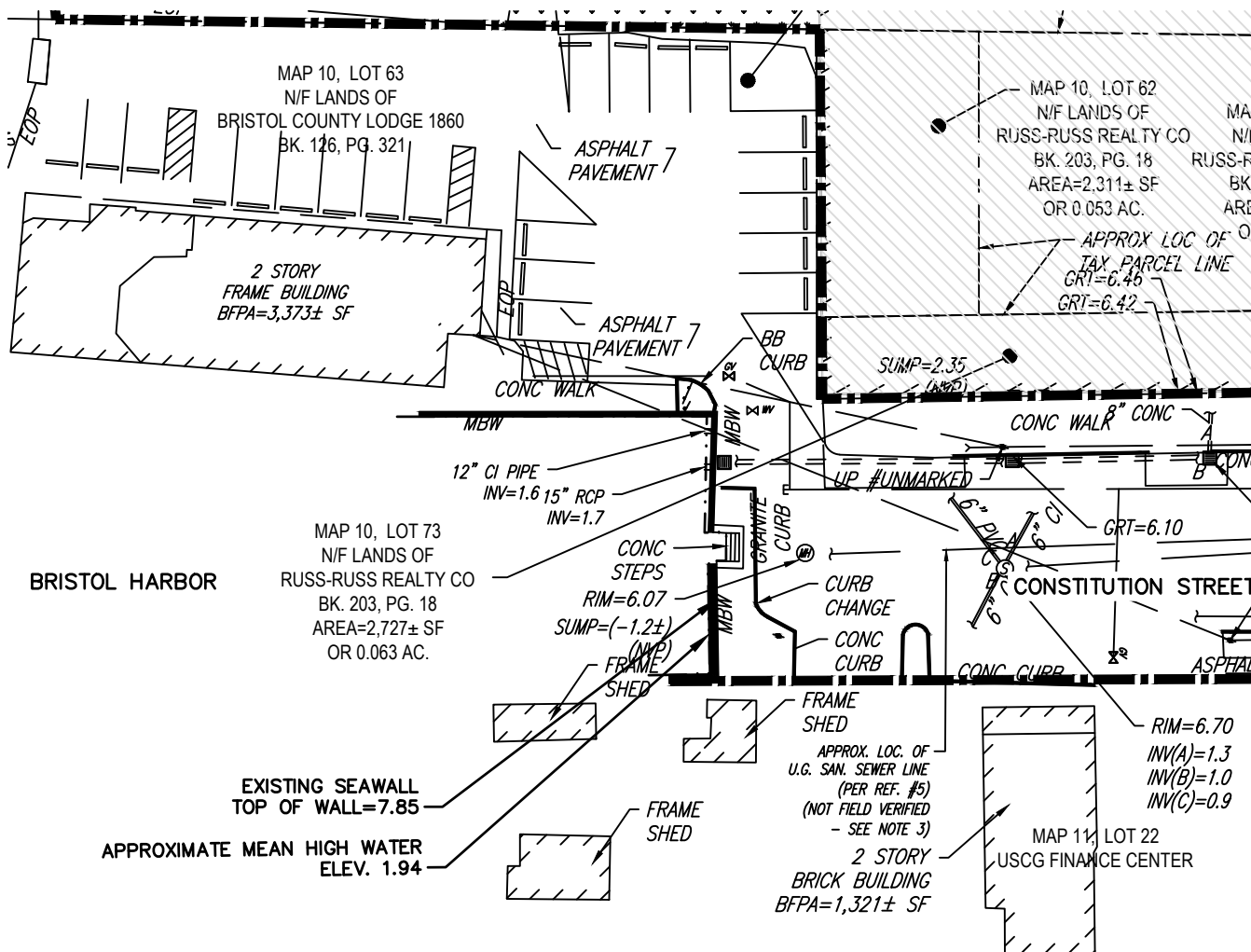


LOCATION MAP

SCALE: 1" = 1000'

PROJ. No.: 20081150.A22
DATE: MARCH 25, 2024

GI-1

**NOTES:**

1. MEAN HIGH WATER LINES SHOWN ARE APPROXIMATE BASED ON TIDAL DATUMS FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION TIDE STATION NUMBER 8452154 LOCATED IN BRISTOL, RI.
2. PROPERTY BOUNDARY AND TOPOGRAPHICAL INFORMATION WERE OBTAINED FROM A PLAN TITLED BOUNDARY AND TOPOGRAPHIC SURVEY, BY CONTROL POINT ASSOCIATES, INC., DATED SEPTEMBER 28, 2021.

| |
|---------------|
| SCALE: |
| HORZ.: 1"=20' |
| VERT.: |
| DATUM: |
| HORZ.: NAD83 |
| VERT.: NAVD88 |
| 0 10 20 |
| GRAPHIC SCALE |


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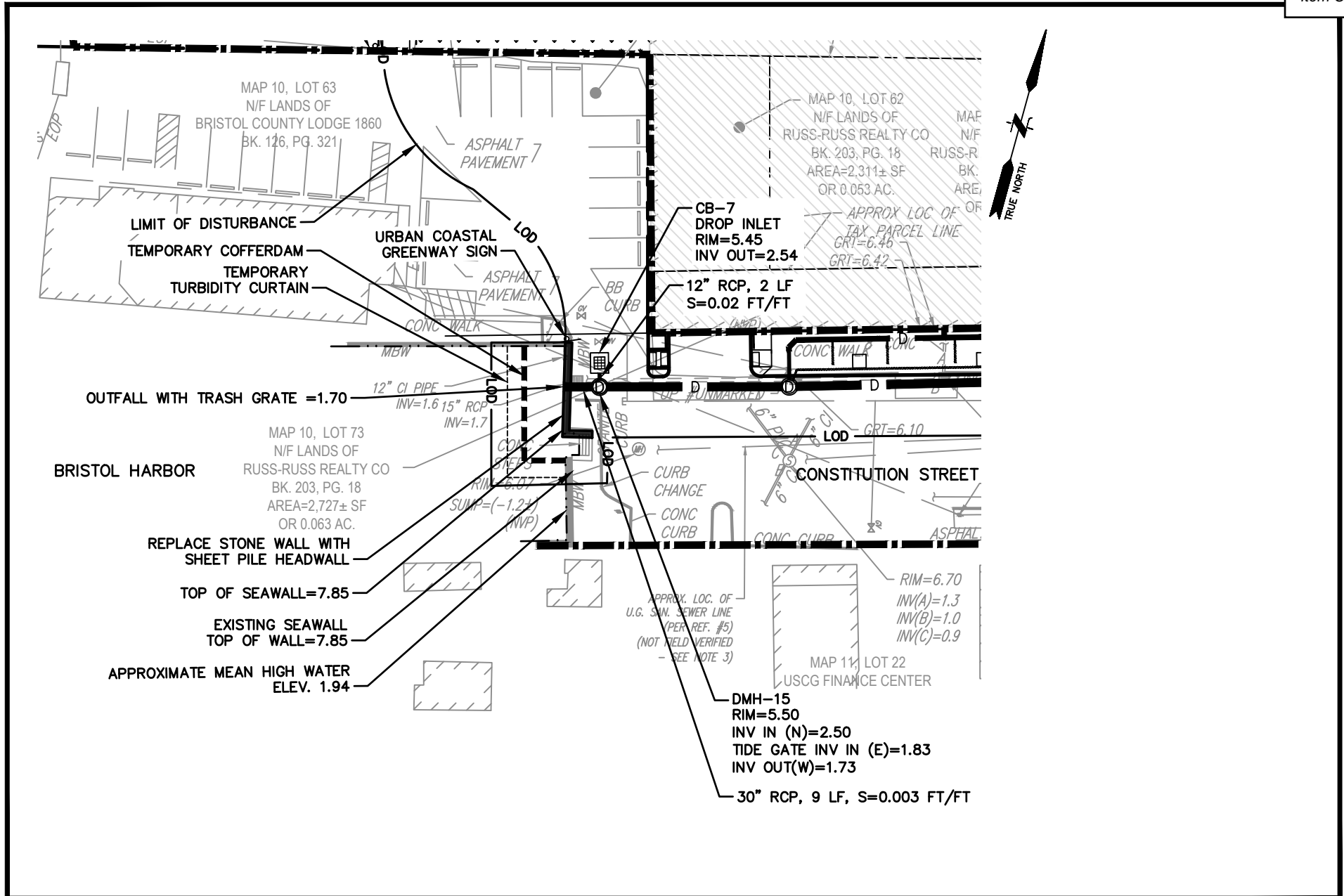
BRADY SULLIVAN
EXISTING CONDITIONS
BRISTOL YARN MILL

125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: 3/25/2024

EX-1



| |
|---------------|
| SCALE: |
| HORZ.: 1"=20' |
| VERT.: |
| DATUM: |
| HORZ.: NAD83 |
| VERT.: NAVD88 |
| 0 10 20 |
| GRAPHIC SCALE |



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125 THAMES STREET

BRADY SULLIVAN

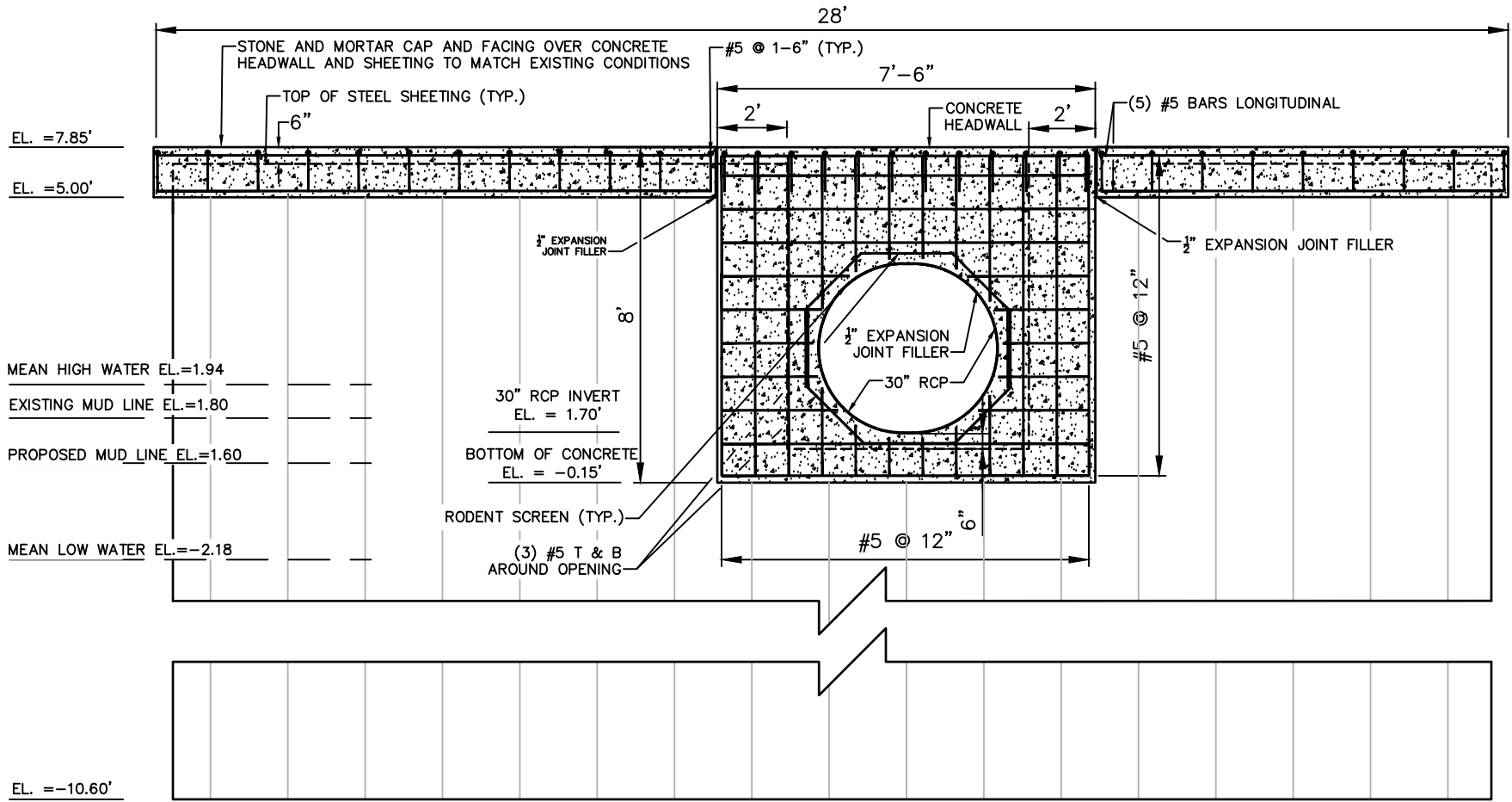
SEAWALL WORK

BRISTOL YARN MILL

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: 3/25/2024

CS-1

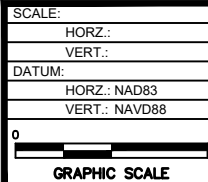


NOTES:

1. BACKFILL SHALL BE LESS 10 PERCENT SILT CONTENT.
2. CEMENT SHALL BE TYPE 2 OR TYPE 5 AIR ENTRAINING PORTLAND CEMENT OR AN EQUIVALENT
3. CONTRACTOR SHALL PREPARE AND SUBMIT A SHOP DRAWING FOR THE FINAL DESIGN OF THE SEAWALL AND WATER MANAGEMENT SYSTEM FOR ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
4. DESIGN SUBMITTALS SHALL BE PREPARED BY A QUALIFIED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF RHODE ISLAND AND SHALL COMPLY WITH ALL RIDEM, CRMC, AND USACE REGULATIONS AND PERMIT CONDITIONS.
5. FILLING, GRADING, DREDGING, EXPANSION, OR ANY OTHER ACTIVITY NOT AUTHORIZED BY RIDEM, CRMC, OR USCACE IS PROHIBITED.

HEADWALL PROFILE

NOT TO SCALE



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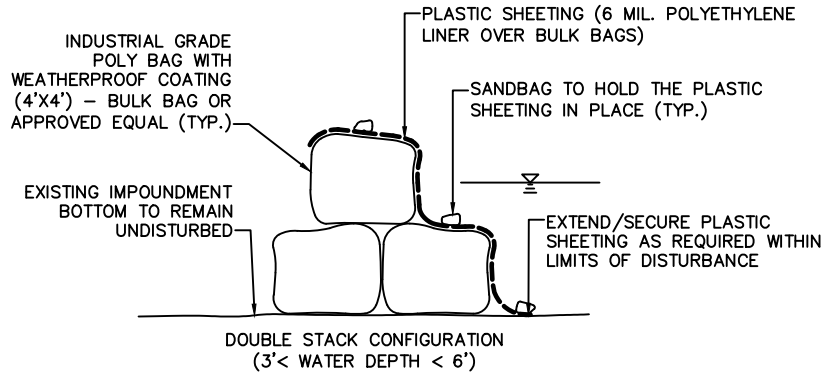
BRADY SULLIVAN
SEAWALL DETAILS
BRISTOL YARN MILL

125 THAMES STREET

BRISTOL, RHODE ISLAND

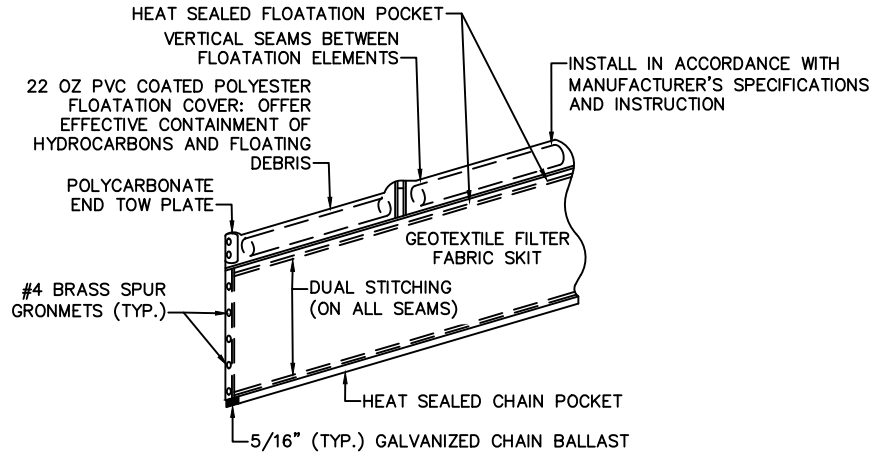
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DATE: 3/25/2024

CD-1



TEMPORARY COFFERDAM

NOT TO SCALE

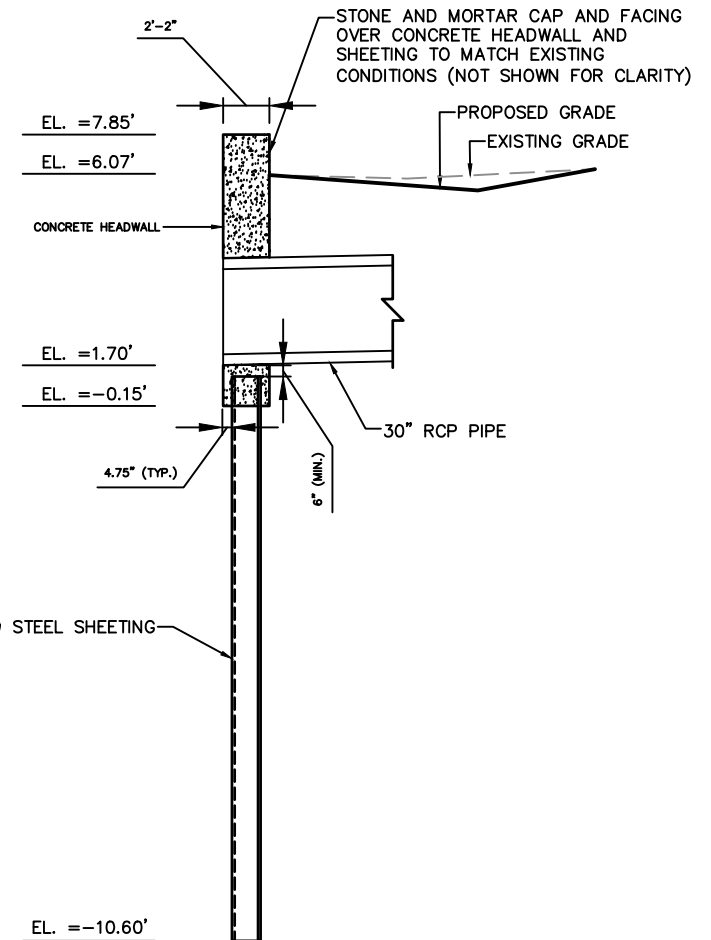


NOTES:

1. FLOATATION SIZE (6", 8" OR 12" DIA.) DETERMINED BY SKIRT DEPTH/SITE VARIABLES.
2. OTHER END TYPES AVAILABLE SUCH AS ALUMINUM UNIVERSAL SLIDE OR SLOTTED TUBE.
3. OPTIONAL TOP TENSION CABLE (5/16" TYP.) AVAILABLE FOR INCREASED STRENGTH.

TEMPORARY TURBIDITY CURTAIN

NOT TO SCALE



HEADWALL SECTION

NOT TO SCALE

| |
|---------------|
| SCALE: |
| HORZ.: |
| VERT.: |
| DATUM: |
| HORZ.: NAD83 |
| VERT.: NAVD88 |
| 0 |
| GRAPHIC SCALE |



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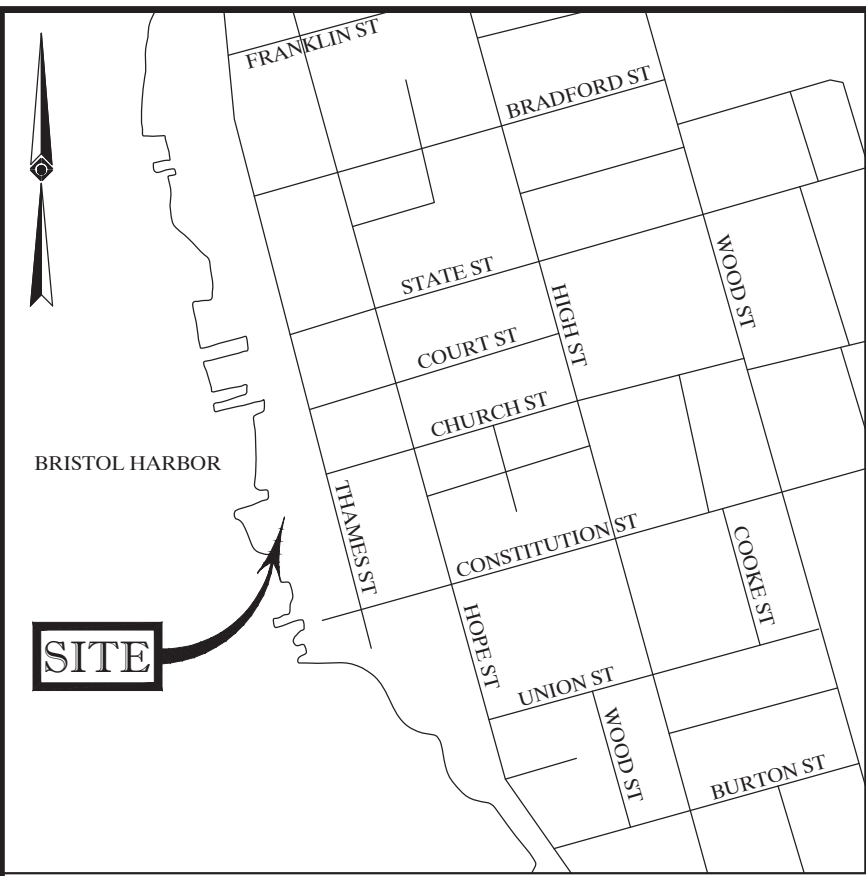
125 THAMES STREET

BRADY SULLIVAN
SEAWALL DETAILS
BRISTOL YARN MILL

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: 3/25/2024

CD-2



LOCUS MAP
© 2013 ESRI WORLD STREET MAPS
NOT TO SCALE

LEGEND

| | | | |
|--|------------------|--|-------------------------|
| | HYDRANT | | DRAINAGE/STORM MANHOLE |
| | WATER VALVE | | ELECTRIC MANHOLE |
| | UNKNOWN VALVE | | SANITARY/SEWER MANHOLE |
| | GAS VALVE | | UNKNOWN MANHOLE |
| | GAS METER | | WATER MANHOLE |
| | ELECTRIC METER | | CATCH BASIN OR INLET |
| | OVERHEAD WIRES | | TREE & TRUNK SIZE |
| | UTILITY POLE | | PARKING SPACE COUNT |
| | AREA LIGHT | | DEPRESSED CURB |
| | SIGN | | SOLID WHITE LINE |
| | BOLLARD | | DOUBLE YELLOW LINE |
| | CHAIN LINK FENCE | | HEIGHT |
| | DEPRESSED CURB | | BUILDING |
| | EDGE OF CONCRETE | | BUILDING FOOTPRINT AREA |
| | EDGE OF PAVEMENT | | DRILL HOLE FOUND |
| | LANDSCAPED AREA | | MASONRY BLOCK WALL |
| | METAL COVER | | TYPICAL |

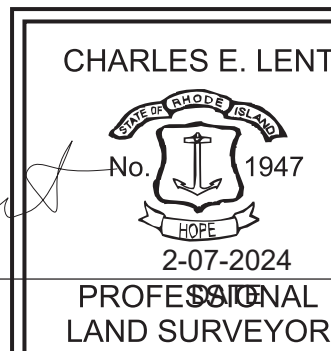
NOTES:

- PROPERTY KNOWN AS LOTS 42 & 60 AS SHOWN ON THE TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND MAP NO. 10.
- PROPOSED PUBLIC ACCESS EASEMENT AREA = 8,068± SQ. FT. OR 0.185± ACRES.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
- UNDERGROUND UTILITIES HAVE NOT BEEN SHOWN. BEFORE ANY SITE EVALUATION, PREPARATION OF DESIGN DOCUMENTS OR EXCAVATIONS ARE TO BEGIN, THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE PROPER UTILITY COMPANIES.
- BY GRAPHIC PLOTTING ONLY A PORTION OF THE PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "AE" (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, BASE FLOOD ELEVATIONS DETERMINED, EL+12, & ZONE "X" SHADED) (AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD), & ZONE "X" UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), & ZONE "VE" (COASTAL FLOOD ZONE WITH VELOCITY HAZARD (WAVE ACTION); BASE FLOOD ELEVATIONS DETERMINED, EL+14 & EL+15) PER REF #2.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- THE PURPOSE OF THIS PLAN IS TO ILLUSTRATE A PROPOSED EASEMENT ON THE SUBJECT PARCELS.

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 4, 2022 AS FOLLOWS:

- TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY MEASUREMENT SPECIFICATION: I
- OTHER TYPE OF SURVEY: DATA ACCUMULATION SURVEY MEASUREMENT SPECIFICATION: III
- THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS: PREPARE EASEMENT PLAN.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.



CHARLES E. LENT

RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947
CERTIFICATE OF AUTHORIZATION #A350

EASEMENT PLAN

BRISTOL YARN MILL

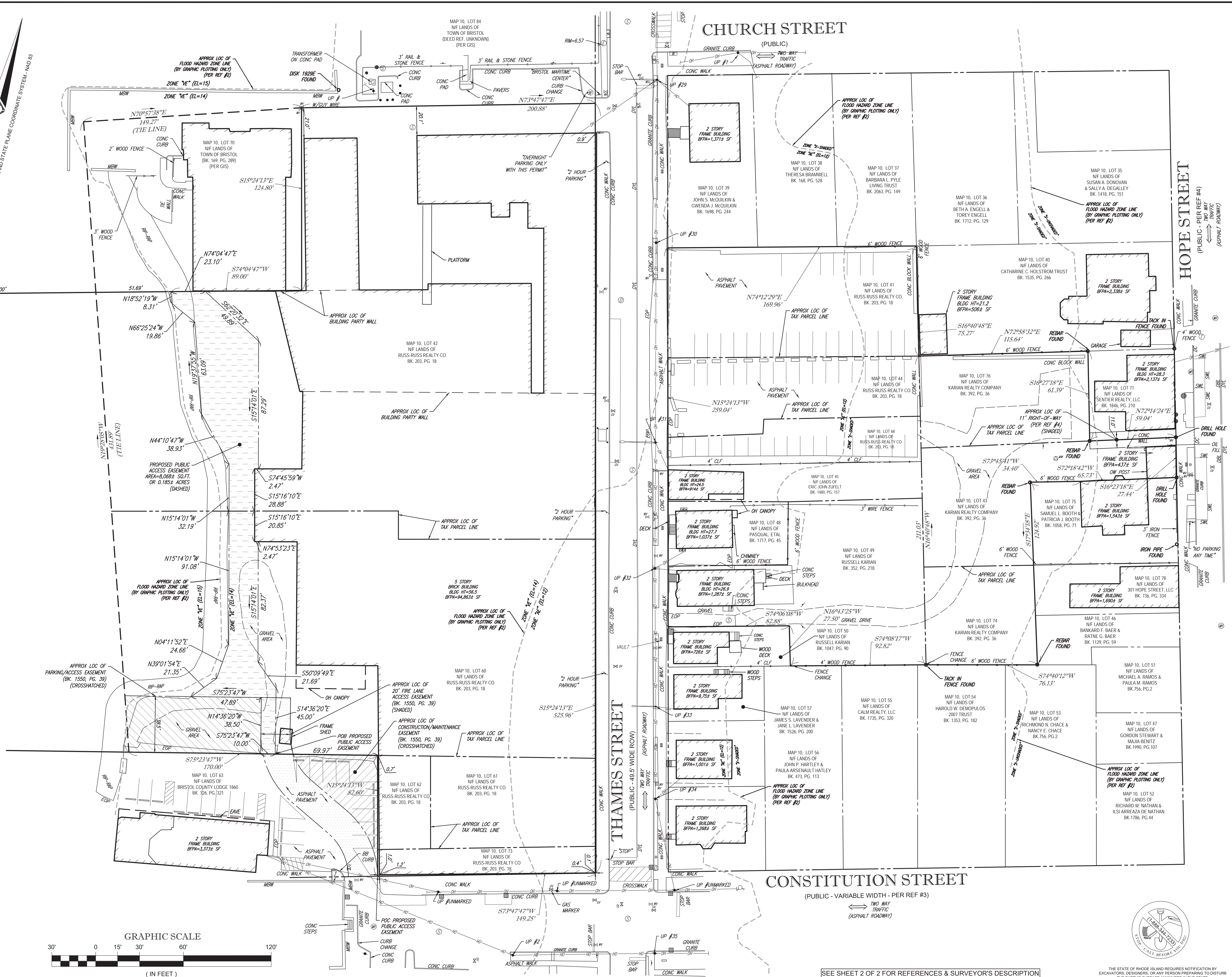
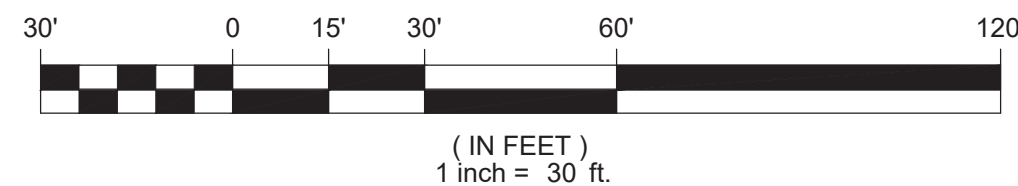
125 THAMES STREET
LOTS 42 & 60, MAP 10
TOWN OF BRISTOL, BRISTOL COUNTY
STATE OF RHODE ISLAND



ALBANY, NY 518-217-5010
CHALFONTE, PA 215-712-9800
HAUPPAUGE, NY 631-580-2665
MANHATTAN, NY 646-780-0411
MT LAUREL, NJ 609-857-2099
WARREN, NJ 908-668-0099

| | | | | | |
|-----------|-----------|-----------|----------|--------------|-----------|
| REVIEWED: | APPROVED: | DATE: | SCALE: | FILE NO.: | DWG. NO.: |
| E.LOC. | C.E.L. | 2-07-2024 | 1" = 30' | 03-210289-00 | 1 OF 2 |

GRAPHIC SCALE

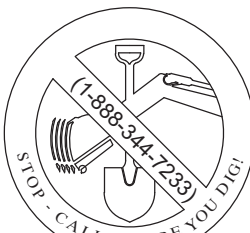


CONSTITUTION STREET

(PUBLIC - VARIABLE WIDTH - PER REF #3)

TWO WAY TRAFFIC (ASPHALT ROADWAY)

SEE SHEET 2 OF 2 FOR REFERENCES & SURVEYOR'S DESCRIPTION



THE STATE OF RHODE ISLAND REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

CONTROL POINT ASSOCIATES, INC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.


THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 4, 2022 AS FOLLOWS:

1. TYPE OF BOUNDARY SURVEY: MEASUREMENT SPECIFICATION
LIMITED CONTENT BOUNDARY SURVEY I

2. OTHER TYPE OF SURVEY: MEASUREMENT SPECIFICATION:
DATA ACCUMULATION SURVEY III

3. THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS:
PREPARE EASEMENT PLAN.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED
WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.


CHARLES E. LENT
RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947
CERTIFICATE OF AUTHORIZATION #A350

CHARLES E. LENT

No. 1947
2-07-2024

PROFESSIONAL
LAND SURVEYOR

| | | | | | |
|----------------|---|-----------|-------|--------------|----------|
| FIELD DATE | EASEMENT PLAN | | | | |
| - | BRISTOL YARN MILL | | | | |
| FIELD BOOK NO. | 125 THAMES STREET | | | | |
| - | LOTS 42 & 60, MAP 10 | | | | |
| FIELD BOOK PG. | TOWN OF BRISTOL , BRISTOL COUNTY | | | | |
| - | STATE OF RHODE ISLAND | | | | |
| FIELD CREW |  CONTROL POINT ASSOCIATES, INC. ALBANY, NY 518-217-5010 CHALFONT, PA 215-712-9800 HAUPPAUGE, NY 631-580-2665 DRAWN: 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.3000 - 508.948.3003 FAX WWW.CPASURVEY.COM MANHATTAN, NY 646-780-0411 MT LAUREL, NJ 609-857-2099 WARREN, NJ 908-668-0099 | | | | |
| E.G.F. | | | | | |
| REVIEWED: | APPROVED: | DATE | SCALE | FILE NO. | DWG. NO. |
| E.LOC. | C.E.L. | 2-07-2024 | N/A | 03-210289-00 | 2 OF 2 |

REFERENCES:

- THE TAX ASSESSOR'S MAP OF BRISTOL, BRISTOL COUNTY, MAP 10.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, BRISTOL COUNTY, RHODE ISLAND 9ALL JURISDICTIONS), PANEL 14 OF 18", MAP NUMBER 44001C0014H, MAP REVISED, JULY 7, 2014.
- MAP ENTITLED "BOUNDARY SURVEY PLAN AP 10 - LOTS 60, 61, 62 & 73 THAMES STREET & CONSTITUTION STREET BRISTOL, RHODE ISLAND RUSS - RUSS REALTY CO. C/O ROBIN RUG COMPANY 125 THAMES STREET P.O. BOX 656 BRISTOL, RHODE ISLAND 02809", PREPARED BY: WATERMAN ENGINEERING CO., DATED: FEBRUARY 1, 2005, PROVIDED BY CLIENT.
- MAP ENTITLED "BOUNDARY SURVEY PLAN A.P. 10, LOTS 43, 71, 74 & 76 HOPE STREET BRISTOL RHODE ISLAND KARIAN REALTY CO. P.O. BOX 656 BRISTOL, RHODE ISLAND", PREPARED BY: WATERMAN ENGINEERING CO., DATED: FEBRUARY 26, 2021, PROVIDED BY CLIENT.
- MAP ENTITLED "PLAN OF LAND: THEODORE J. & HELEN T. ALGLET, LOCATION: 12 BUTTERWORTH AVENUE BRISTOL, RHODE ISLAND", PREPARED BY: STEPHEN M. MURGO, DATED: JULY, 1992, PROVIDED BY CLIENT.
- MAP ENTITLED "EXISTING CONDITIONS PLAN, BRISTOL YARN MILL, PLAT 10 LOTS 42, 60, 61, 62, 68, 73, 41, 43, 44, 49, 74 AND 76, 125 THAMES STREET, BRISTOL RHODE ISLAND", PREPARED BY FUSS & O'NEILL, DATED MAY 7, 2021
- MAP ENTITLED "SURVEY OF LAND KARIAN REALTY, INC.", PREPARED BY: WATERMAN ENGINEERING CO., DATED: AUGUST 1990, ON FILE WITH THE TOWN OF BRISTOL PLANNING DEPARTMENT.
- MAP ENTITLED "RUSS-RUSS REALTY CO. ROBIN RUG COMPLEX MASTER PLAN A.P. 10 / LOTS 41, 42, 44, 60, 61, 62, 68 & 73 125 THAMES STREET BRISTOL RHODE ISLAND", PREPARED BY: FUSS 7 O'NEILL, DATED: APRIL 18, 2008, PROVIDED BY CLIENT.
- RECIPROCAL EASEMENT AGREEMENT, DATED MAY 6, 2010, AND RECORDED WITH THE BRISTOL COUNTY LAND RECORDS IN BOOK 1550, PAGE 39.
- MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, BRISTOL YARN MILL, 125 THAMES STREET, LOTS 41, 42, 43, 44, 45, 48, 49, 60, 61, 62, 68, 73, 74, 76, MAP 10, TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED SEPTEMBER 28, 2021, LAST REVISED OCTOBER 1, 2021, THREE SHEETS.

SURVEYOR'S
METES AND BOUNDS DESCRIPTION

PROPOSED PUBLIC ACCESS EASEMENT
LOCATED ON LOTS 42 & 60, MAP 10
TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND

COMMENCING AT A POINT ON THE NORTHERLY STREET LINE OF CONSTITUTION STREET (PUBLIC, VARIABLE WIDTH) SAID POINT BEING ON THE DIVISION LINE BETWEEN MAP 10, LOT 73 (N/F OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63 (N/F OF BRISTOL COUNTY LODGE 1860) THENCE RUNNING ALONG SAID DIVISION LINE AND THE DIVISION LINE BETWEEN MAP 10, LOT 62 (N/F OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63 THE FOLLOWING COURSE:

- A. NORTH 15 DEGREES - 24 MINUTES - 13 SECONDS WEST, A DISTANCE OF 82.60 TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 60 (N/F LANDS OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63, THENCE RUNNING ALONG SAID LINE THE FOLLOWING COURSE:
- B. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 69.97 FEET TO THE POINT AND PLACE OF BEGINNING, THENCE CONTINUING ALONG SAID DIVISION LINE THE FOLLOWING COURSE:
- SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 10.00 FEET, THENCE RUNNING WITHIN MAP 10, LOT 60 THE FOLLOWING FIVE (5) COURSES:
 - NORTH 14 DEGREES - 36 MINUTES - 20 SECONDS WEST, A DISTANCE OF 38.50 FEET TO A POINT, THENCE;
 - SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 47.89 FEET TO A POINT, THENCE;
 - NORTH 39 DEGREES - 01 MINUTE - 54 SECONDS EAST, A DISTANCE OF 21.35 FEET TO A POINT, THENCE;
 - NORTH 04 DEGREES - 11 MINUTES - 52 SECONDS EAST, A DISTANCE OF 24.66 FEET TO A POINT, THENCE;
 - NORTH 15 DEGREES - 14 MINUTES - 01 SECOND WEST, A DISTANCE OF 91.08 FEET TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 60 AND MAP 10, LOT 42 (N/F LANDS OF RUSS-RUSS REALTY CO.), THENCE RUNNING WITHIN MAP 10, LOT 42 THE FOLLOWING FIVE (5) COURSES;
 - NORTH 15 DEGREES - 14 MINUTES - 01 SECOND WEST, A DISTANCE OF 32.19 FEET TO A POINT, THENCE;
 - NORTH 44 DEGREES - 10 MINUTES - 47 SECONDS WEST, A DISTANCE OF 38.93 FEET TO A POINT, THENCE;
 - NORTH 19 DEGREES - 37 MINUTES - 55 SECONDS WEST, A DISTANCE OF 63.09 FEET TO A POINT,
 - NORTH 66 DEGREES - 25 MINUTES - 24 SECONDS WEST, A DISTANCE OF 19.86 FEET TO A POINT, THENCE;
 - NORTH 18 DEGREES - 52 MINUTES - 19 SECONDS WEST, A DISTANCE OF 8.31 FEET TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 42 AND MAP 10, LOT 70 (N/F OF TOWN OF BRISTOL), THENCE RUNNING ALONG SAID LINE THE FOLLOWING COURSE;
 - NORTH 74 DEGREES - 04 MINUTES - 47 SECONDS EAST, A DISTANCE OF 23.10 FEET TO A POINT, THENCE RUNNING WITHIN MAP 10, LOT 42 THE FOLLOWING FOUR (4) COURSES;
 - SOUTH 62 DEGREES - 20 MINUTES - 32 SECONDS EAST, A DISTANCE OF 49.89 FEET TO A POINT, THENCE;
 - SOUTH 15 DEGREES - 14 MINUTES - 01 SECOND EAST, A DISTANCE OF 87.29 FEET TO A POINT, THENCE;
 - SOUTH 74 DEGREES - 45 MINUTES - 59 SECONDS WEST, A DISTANCE OF 2.47 FEET TO A POINT, THENCE;
 - SOUTH 15 DEGREES - 16 MINUTES - 10 SECONDS EAST, A DISTANCE OF 28.88 FEET TO A POINT, ON THE DIVISION LINE BETWEEN MAP 10, LOT 42 AND MAP 10, LOT 60, THENCE RUNNING WITHIN MAP 10, LOT 60 THE FOLLOWING FIVE (5) COURSES;
 - SOUTH 15 DEGREES - 16 MINUTES - 10 SECONDS EAST, A DISTANCE OF 20.85 FEET TO A POINT, THENCE;
 - NORTH 74 DEGREES - 53 MINUTES - 23 SECONDS EAST, A DISTANCE OF 2.47 FEET TO A POINT, THENCE;
 - SOUTH 15 DEGREES - 14 MINUTES - 01 SECOND EAST, A DISTANCE OF 82.37 FEET TO A POINT, THENCE;
 - SOUTH 50 DEGREES - 09 MINUTES - 49 SECONDS EAST, A DISTANCE OF 21.69 FEET TO A POINT, THENCE;
 - SOUTH 14 DEGREES - 36 MINUTES - 20 SECONDS EAST, A DISTANCE OF 45.00 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 8,068 SQUARE FEET, 0.185 ACRES



CONTROL POINT ASSOCIATES, INC.

traditional methods | modern approaches

Item C1.

352 Turnpike Road, Suite 320
Southborough, MA 01772
Tel: 508-948-3000
www.cpasurvey.com

FEBRUARY 7, 2024
03-210289-00
PAGE 1 OF 2

SURVEYOR'S METES AND BOUNDS DESCRIPTION

PROPOSED PUBLIC ACCESS EASEMENT
LOCATED ON LOTS 42 & 60, MAP 10
TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND

COMMENCING AT A POINT ON THE NORTHERLY STREET LINE OF CONSTITUTION STREET (PUBLIC, VARIABLE WIDTH) SAID POINT BEING ON THE DIVISION LINE BETWEEN MAP 10, LOT 73 (N/F OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63 (N/F OF BRISTOL COUNTY LODGE 1860) THENCE RUNNING ALONG SAID DIVISION LINE AND THE DIVISION LINE BETWEEN MAP 10, LOT 62 (N/F OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63 THE FOLLOWING COURSE;

- A. NORTH 15 DEGREES - 24 MINUTES - 13 SECONDS WEST, A DISTANCE OF 82.60 TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 60 (N/F LANDS OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63, THENCE RUNNING ALONG SAID LINE THE FOLLOWING COURSE;
- B. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 69.97 FEET TO THE POINT AND PLACE OF BEGINNING, THENCE CONTINUING ALONG SAID DIVISION LINE THE FOLLOWING COURSE;
 - 1. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 10.00 FEET, THENCE RUNNING WITHIN MAP 10, LOT 60 THE FOLLOWING FIVE (5) COURSES;
 - 2. NORTH 14 DEGREES - 36 MINUTES - 20 SECONDS WEST, A DISTANCE OF 38.50 FEET TO A POINT, THENCE;
 - 3. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 47.89 FEET TO A POINT, THENCE;
 - 4. NORTH 39 DEGREES - 01 MINUTE - 54 SECONDS EAST, A DISTANCE OF 21.35 FEET TO A POINT, THENCE;
 - 5. NORTH 04 DEGREES - 11 MINUTES - 52 SECONDS EAST, A DISTANCE OF 24.66 FEET TO A POINT, THENCE;
 - 6. NORTH 15 DEGREES - 14 MINUTES - 01 SECOND WEST, A DISTANCE OF 91.08 FEET TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 60 AND MAP 10, LOT 42 (N/F LANDS OF RUSS-RUSS REALTY CO.), THENCE RUNNING WITHIN MAP 10, LOT 42 THE FOLLOWING FIVE (5) COURSES;
 - 7. NORTH 15 DEGREES - 14 MINUTES - 01 SECOND WEST, A DISTANCE OF 32.19 FEET TO A POINT, THENCE;
 - 8. NORTH 44 DEGREES - 10 MINUTES - 47 SECONDS WEST, A DISTANCE OF 38.93 FEET TO A POINT, THENCE;
 - 9. NORTH 19 DEGREES - 37 MINUTES - 55 SECONDS WEST, A DISTANCE OF 63.09 FEET TO A POINT,
 - 10. NORTH 66 DEGREES - 25 MINUTES - 24 SECONDS WEST, A DISTANCE OF 19.86 FEET TO A POINT, THENCE;

Corporate Headquarters
35 Technology Drive, Warren, NJ 07059
Tel: 908.668.0099 Fax: 908.668.9595

Professional Land Surveying, Geospatial and Consulting Services

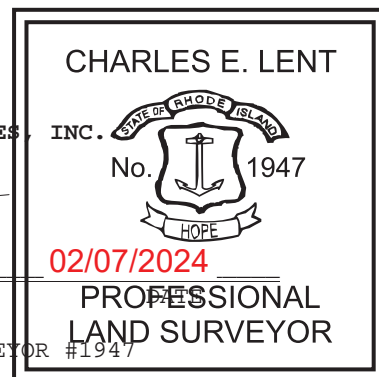
11. NORTH 18 DEGREES - 52 MINUTES - 19 SECONDS WEST, A DISTANCE OF 8.31 FEET TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 42 AND MAP 10, LOT 70 (N/F OF TOWN OF BRISTOL), THENCE RUNNING ALONG SAID LINE THE FOLLOWING COURSE;
12. NORTH 74 DEGREES - 04 MINUTES - 47 SECONDS EAST, A DISTANCE OF 23.10 FEET TO A POINT, THENCE RUNNING WITHIN MAP 10, LOT 42 THE FOLLOWING FOUR (4) COURSES;
13. SOUTH 62 DEGREES - 20 MINUTES - 32 SECONDS EAST, A DISTANCE OF 49.89 FEET TO A POINT, THENCE;
14. SOUTH 15 DEGREES - 14 MINUTES - 01 SECOND EAST, A DISTANCE OF 87.29 FEET TO A POINT, THENCE;
15. SOUTH 74 DEGREES - 45 MINUTES - 59 SECONDS WEST, A DISTANCE OF 2.47 FEET TO A POINT, THENCE;
16. SOUTH 15 DEGREES - 16 MINUTES - 10 SECONDS EAST, A DISTANCE OF 28.88 FEET TO A POINT, ON THE DIVISION LINE BETWEEN MAP 10, LOT 42 AND MAP 10, LOT 60, THENCE RUNNING WITHIN MAP 10, LOT 60 THE FOLLOWING FIVE (5) COURSES;
17. SOUTH 15 DEGREES - 16 MINUTES - 10 SECONDS EAST, A DISTANCE OF 20.85 FEET TO A POINT, THENCE;
18. NORTH 74 DEGREES - 53 MINUTES - 23 SECONDS EAST, A DISTANCE OF 2.47 FEET TO A POINT, THENCE;
19. SOUTH 15 DEGREES - 14 MINUTES - 01 SECOND EAST, A DISTANCE OF 82.37 FEET TO A POINT, THENCE;
20. SOUTH 50 DEGREES - 09 MINUTES - 49 SECONDS EAST, A DISTANCE OF 21.69 FEET TO A POINT, THENCE;
21. SOUTH 14 DEGREES - 36 MINUTES - 20 SECONDS EAST, A DISTANCE OF 45.00 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 8,068 SQUARE FEET, 0.185 ACRES

CONTROL POINT ASSOCIATES, INC.

Charles E. Lent

CHARLES E. LENT
STATE OF RHODE ISLAND
PROFESSIONAL LAND SURVEYOR #1947



Bristol Yarn Mill Roadway Cost Breakdown

| Description | Unit | Unit Cost | Total |
|--------------------------|-----------|------------|--------------|
| Mill | 2560 SY. | \$8.10 | \$20,736.00 |
| Drainage Structures | 5 EA. | \$6,070.00 | \$30,350.00 |
| Drainage Pipe | 520 LF. | \$195.00 | \$101,660.00 |
| Water Main | 815 LF. | \$268.00 | \$218,420.00 |
| Hydrants | 3 EA. | \$7,740.00 | \$23,220.00 |
| Sewer | 30 LF. | \$440.00 | \$13,200.00 |
| Grainite Curbing | 375 LF. | \$60.00 | \$22,500.00 |
| Exterior Concrete (Prep) | 6,340 SF. | \$5.00 | \$31,700.00 |
| Exterior Concrete (Pour) | 6,340 SF. | \$12.00 | \$76,080.00 |
| Overlay | 2,410 SY. | \$15.75 | \$37,957.00 |
| Total | | | \$575,823.00 |

File Path: \\private\DFS\Cad\Proj\DWG\20061150\A22\Civil\Plan\Permitting\Plans\20061150\A22_COV01.dwg, Layout: GI-001, Plotted: Wednesday, May 29, 2024, User: katherine.mccombs, Plotter: AUTOCAD PDF (GENERAL DOCUMENTATION).PC3, CTB File: FO.STB

Item C1.

BRISTOL YARN MILL

THAMES STREET & HOPE STREET · BRISTOL · RHODE ISLAND
ASSESSOR'S PLAT 10 LOTS 41, 42, 43, 44, 49, 50, 60, 61, 62, 68, 71, 73, 74, 76

PERMITTING PLAN

DECEMBER 6, 2022

REVISED: MAY 29, 2024

PREPARED FOR
**BRADY SULLIVAN
PROPERTIES**
670 N. COMMERCIAL STREET
MANCHESTER, NH 03101
603.622.6223
WWW.BRADYSULLIVAN.COM

SHEET INDEX

| <u>SHEET No.</u> | <u>SHEET TITLE</u> |
|------------------|---|
| GI-001 | COVER SHEET |
| CN-001 | GENERAL NOTES AND LEGEND |
| 1 OF 3 | BOUNDARY & TOPOGRAPHIC SURVEY |
| 2 OF 3 | BOUNDARY & TOPOGRAPHIC SURVEY |
| 3 OF 3 | BOUNDARY & TOPOGRAPHIC SURVEY |
| CP-101 | SITE DEMOLITION PLAN |
| CE-101 | SOIL EROSION & SEDIMENTATION CONTROL PLAN |
| CS-101 | SITE PLAN |
| CS-102 | SITE CIRCULATION PLAN |
| CG-101 | GRADING PLAN |
| CG-102 | DRAINAGE PLAN |
| CU-101 | WATER & SEWER PLAN |
| LP-101 - LP-103 | PLANTING PLANS |
| CD-501 - CD-502 | PLANTING DETAILS |
| CD-503 - CD-511 | CIVIL DETAILS |
| CD-512 - CD-513 | LANDSCAPING DETAILS |



PREPARED BY
FUSS & O'NEILL

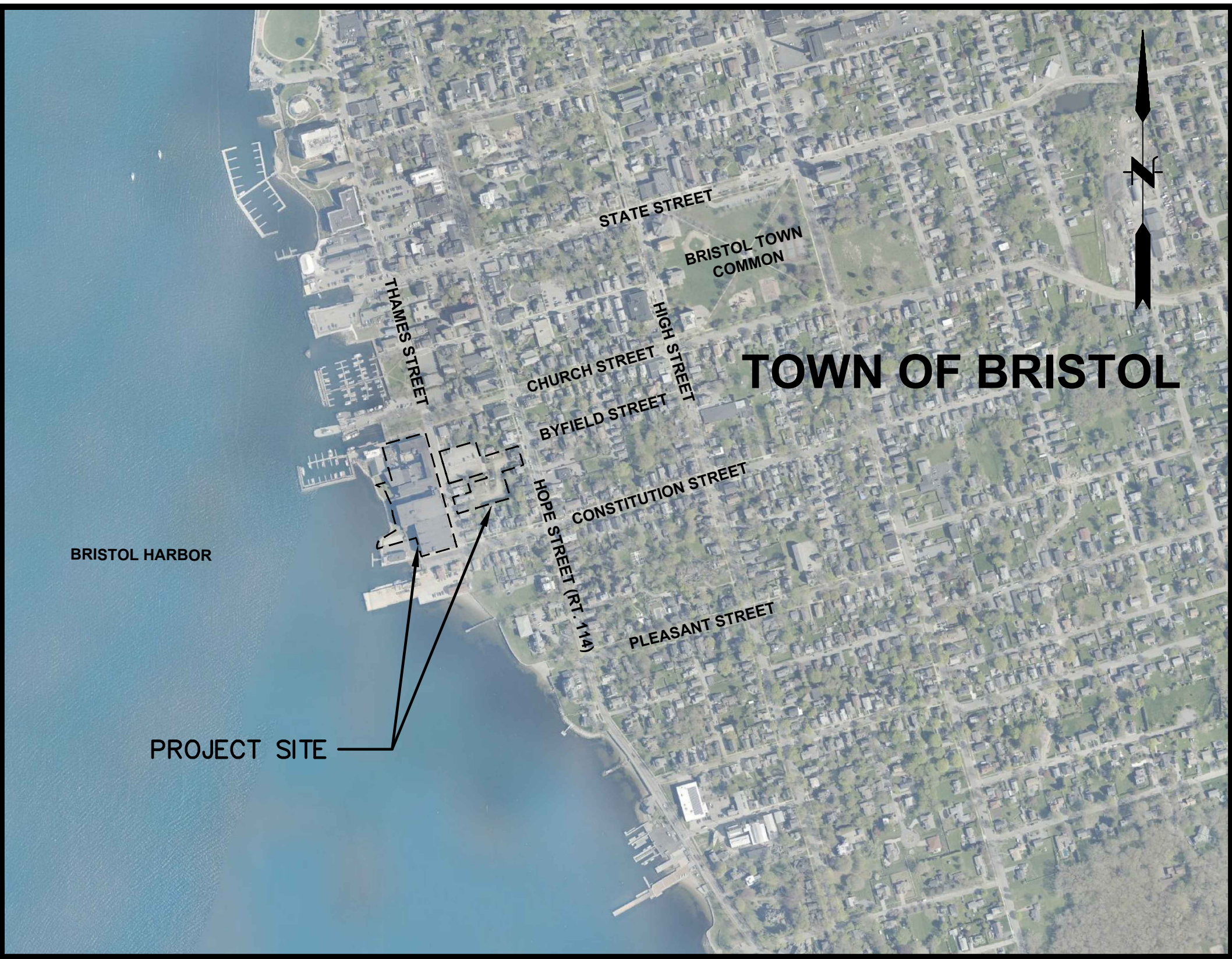
317 IRON HORSE WAY, SUITE 204
PROVIDENCE, RI 02908
401.861.3070
www.fando.com

CONSULTANTS

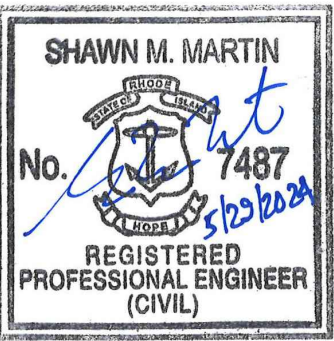
ENVIRONMENTAL:
NOBIS GROUP
18 CHENELL DR
CONCORD, NH
03301
603.224.4182

ARCHITECTURAL:
BRADY SULLIVAN
PROPERTIES
670 N. COMMERCIAL STREET
MANCHESTER, NH
03101
630.622.6223

SURVEYOR:
CONTROL POINT
ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTHBOROUGH, MA
01772
508.948.3000



LOCATION MAP
SCALE: 1" = 500'



PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

GI-001

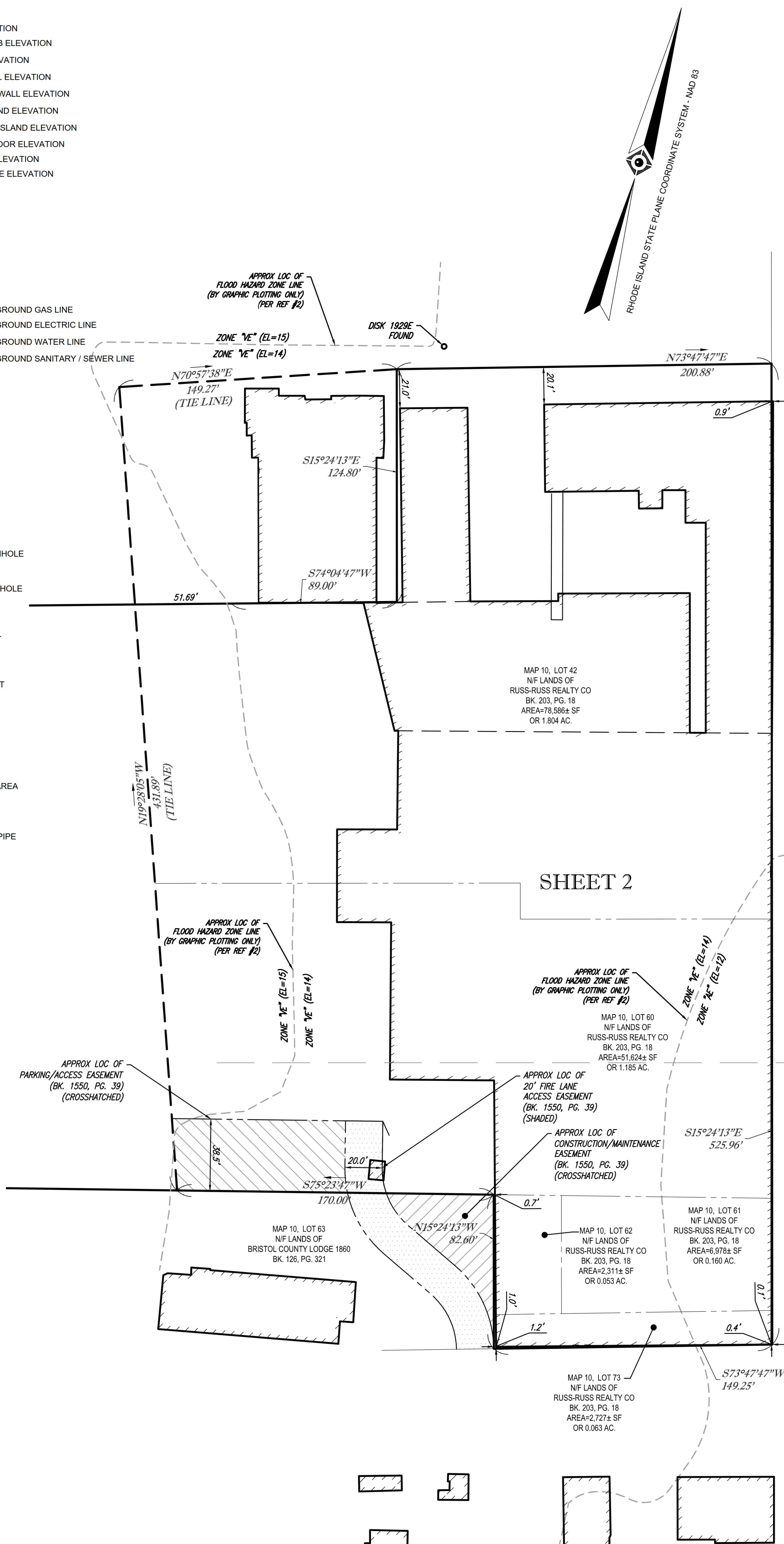
SHEET 1 OF 28

- LEGEND
- 124 --- EXISTING CONTOUR
 - 125 --- EXISTING CONTOUR
 - X 123.45 EXISTING SPOT ELEVATION
 - X 123.45 EXISTING TOP OF CURB ELEVATION
 - X 122.95 EXISTING GUTTER ELEVATION
 - X 123.45 EXISTING TOP OF WALL ELEVATION
 - X 122.95 EXISTING BOTTOM OF WALL ELEVATION
 - X 123.45 EXISTING TOP OF ISLAND ELEVATION
 - X 122.95 EXISTING BOTTOM OF ISLAND ELEVATION
 - X 123.45 EXISTING FINISHED FLOOR ELEVATION
 - X 123.45 EXISTING DOOR SILL ELEVATION
 - X 123.45 EXISTING LEGAL GRADE ELEVATION
 - HYDRANT
 - WATER VALVE
 - UNKNOWN VALVE
 - GAS VALVE
 - GAS METER
 - ELECTRIC METER
 - OVERHEAD WIRES
 - APPROX. LOC. UNDERGROUND GAS LINE
 - APPROX. LOC. UNDERGROUND ELECTRIC LINE
 - APPROX. LOC. UNDERGROUND WATER LINE
 - APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE
 - UTILITY POLE
 - AREA LIGHT
 - SIGN
 - BOLLARD
 - CHAIN LINK FENCE
 - DEPRESSED CURB
 - EDGE OF CONCRETE
 - EDGE OF PAVEMENT
 - LANDSCAPED AREA
 - METAL COVER
 - TYPICAL DRAINAGE/STORM MANHOLE
 - ELECTRIC MANHOLE
 - SANITARY/SEWER MANHOLE
 - UNKNOWN MANHOLE
 - WATER MANHOLE
 - CATCH BASIN OR INLET
 - TREE & TRUNK SIZE
 - PARKING SPACE COUNT
 - DEPRESSED CURB
 - SOLID WHITE LINE
 - DOUBLE YELLOW LINE
 - HEIGHT
 - BUILDING
 - BUILDING FOOTPRINT AREA
 - NO VISIBLE PIPE
 - DRILL HOLE FOUND
 - POLYVINYL CHLORIDE PIPE
 - CAST IRON PIPE
 - DUCTILE IRON PIPE
 - INVERT ELEVATION
 - GRATE ELEVATION
 - MASONRY BLOCK WALL

CONTROL POINT ASSOCIATES, INC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.



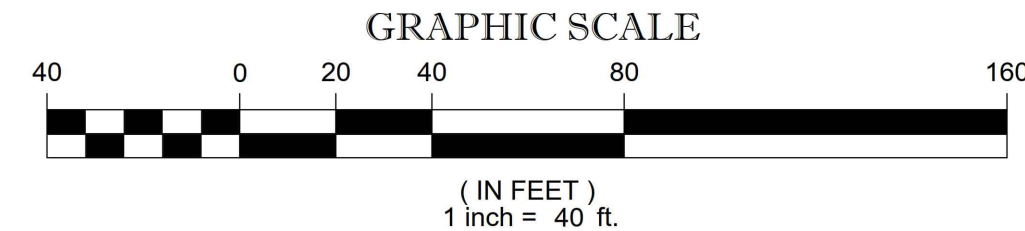
THE STATE OF RHODE ISLAND REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.



THAMES STREET

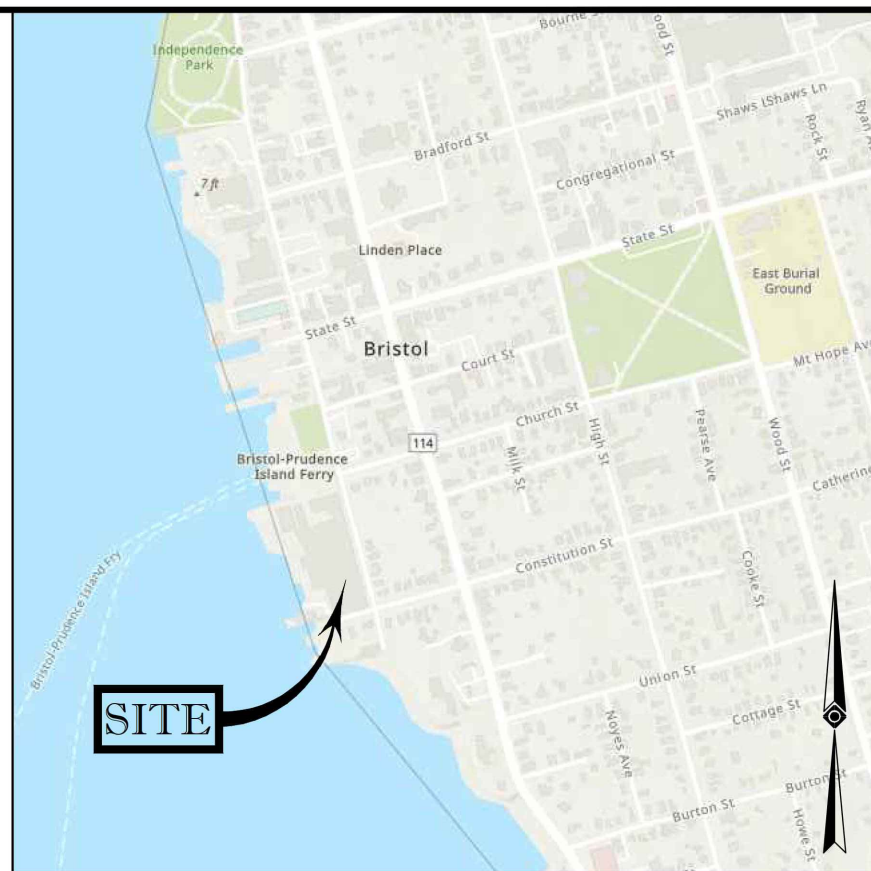
CHURCH STREET

CONSTITUTION STREET



REFERENCES:

- THE TAX ASSESSOR'S MAP OF BRISTOL, BRISTOL COUNTY, MAP 10.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, BRISTOL COUNTY, RHODE ISLAND 9ALL JURISDICTIONS), PANEL 14 OF 18", MAP NUMBER 44001C0014H, MAP REVISED, JULY 7, 2014.
- MAP ENTITLED "BOUNDARY SURVEY PLAN AP 10 - LOTS 60, 61, 62 & 73 THAMES STREET & CONSTITUTION STREET BRISTOL, RHODE ISLAND RUSS - RUSS REALTY CO. C/O ROBIN RUG COMPANY 125 THAMES STREET P.O. BOX 656 BRISTOL, RHODE ISLAND 02809", PREPARED BY: WATERMAN ENGINEERING CO., DATED: FEBRUARY 1, 2005, PROVIDED BY CLIENT.
- MAP ENTITLED "BOUNDARY SURVEY PLAN A.P. 10, LOTS 43, 71, 74 & 76 HOPE STREET BRISTOL, RHODE ISLAND KARIAN REALTY CO. P.O. BOX 656 BRISTOL, RHODE ISLAND", PREPARED BY: WATERMAN ENGINEERING CO., DATED: FEBRUARY 26, 2021, PROVIDED BY CLIENT.
- MAP ENTITLED "PLAN OF LAND: THEODORE J. & HELEN T. ALIGET, LOCATION: 12 BUTTERWORTH AVENUE BRISTOL, RHODE ISLAND", PREPARED BY: STEPHEN M. MURGO, DATED: JULY, 1992, PROVIDED BY CLIENT.
- MAP ENTITLED "EXISTING CONDITIONS PLAN, BRISTOL YARN MILL, PLAT 10 LOTS 42, 60, 61, 62, 68, 73, 41, 43, 44, 49, 74 AND 76, 125 THAMES STREET, BRISTOL, RHODE ISLAND", PREPARED BY FUSS & O'NEILL, DATED MAY 7, 2021
- UNDERGROUND GAS MAPPING OF 125 THAMES STREET, PROVIDED BY NATIONAL GRID.
- UNDERGROUND ELECTRIC MAPPING IN THE AREA PROVIDED BY NATIONAL GRID.
- MAP ENTITLED "SURVEY OF LAND KARIAN REALTY, INC.", PREPARED BY: WATERMAN ENGINEERING CO., DATED: AUGUST 1990, ON FILE WITH THE TOWN OF BRISTOL PLANNING DEPARTMENT.
- MAP ENTITLED "RUSS-RUSS REALTY CO. ROBIN RUG COMPLEX MASTER PLAN A.P. 10 / LOTS 41, 42, 44, 60, 61, 62, 68 & 73 125 THAMES STREET BRISTOL RHODE ISLAND", PREPARED BY: FUSS & O'NEILL, DATED: APRIL 18, 2008, PROVIDED BY CLIENT.
- RECIPROCAL EASEMENT AGREEMENT, DATED MAY 6, 2010, AND RECORDED WITH THE BRISTOL COUNTY LAND RECORDS IN BOOK 1550, PAGE 39.



LOCUS MAP
© 2013 ESRI WORLD STREET MAPS
NOT TO SCALE

NOTES:

- PROPERTY KNOWN AS LOTS 41, 42, 43, 44, 45, 48, 49, 60, 61, 62, 68, 73, 74 & 76 AS SHOWN ON THE TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND MAP NO. 10.
- LOT 41 AREA = 12,854 SQUARE FEET OR 0.295 ACRES
LOT 42 AREA = 78,586 SQUARE FEET OR 1.804 ACRES
LOT 43 AREA = 8,896 SQUARE FEET OR 0.203 ACRES
LOT 44 AREA = 7,939 SQUARE FEET OR 0.182 ACRES
LOT 45 AREA = 4,410 SQUARE FEET OR 0.101 ACRES
LOT 48 AREA = 3,583 SQUARE FEET OR 0.082 ACRES
LOT 49 AREA = 13,800 SQUARE FEET OR 0.319 ACRES
LOT 60 AREA = 51,624 SQUARE FEET OR 1.185 ACRES
LOT 61 AREA = 6,978 SQUARE FEET OR 0.160 ACRES
LOT 62 AREA = 2,311 SQUARE FEET OR 0.053 ACRES
LOT 68 AREA = 4,613 SQUARE FEET OR 0.106 ACRES
LOT 73 AREA = 2,727 SQUARE FEET OR 0.063 ACRES
LOT 74 AREA = 5,098 SQUARE FEET OR 0.117 ACRES
LOT 76 AREA = 7,177 SQUARE FEET OR 0.165 ACRES
TOTAL AREA = 210,656 SQUARE FEET OR 4.835 ACRES
- LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBLUT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.

THE SOURCE OF UNDERGROUND UTILITIES ARE SHOWN UTILIZING A QUALITY LEVEL SYSTEM:

QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED.

QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.

QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.

QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.

- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
- BY GRAPHIC PLOTTING ONLY A PORTION OF THE PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "AE" (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, BASE FLOOD ELEVATIONS DETERMINED, EL=12), & ZONE "X SHADED" (AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD), & ZONE "X-UNSHADED" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), & ZONE "VE" (COASTAL FLOOD ZONE WITH VELOCITY HAZARD (WAVE ACTION); BASE FLOOD ELEVATIONS DETERMINED, EL=14 & EL=15) PER REF #2.
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS) TAKEN AT THE TIME OF THE FIELD SURVEY.

TEMPORARY BENCH MARKS SET:

- TBM-A: X-CUT ON BONNET BOLT OF FIRE HYDRANT ALONG EASTERLY LINE OF THAMES STREET AT ELEVATION = 9.38'
- TBM-B: X-CUT ON BONNET BOLT OF FIRE HYDRANT ALONG NORTHERLY LINE OF CONSTITUTION STREET AT ELEVATION = 14.46'

PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.

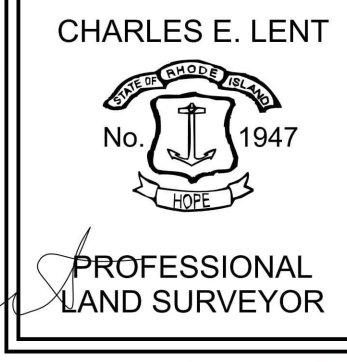
THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.

| 1 | UPDATED PER RECEIPT OF CLIENT COMMENTS | — | A.L.S. | C.E.L. | 10-01-2021 |
|-----|--|------------|--------|----------|------------|
| No. | DESCRIPTION OF REVISION | FIELD CREW | DRAWN | APPROVED | DATE |

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 455-RICR-00-00-1.0 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON DECEMBER 30, 2020 AS FOLLOWS:

- TYPE OF BOUNDARY SURVEY: MEASUREMENT SPECIFICATION
COMPREHENSIVE BOUNDARY SURVEY
- OTHER TYPE OF SURVEY: MEASUREMENT SPECIFICATION:
DATA ACQUISITION SURVEY III
(TOPOGRAPHIC SURVEY)
VERTICAL CONTROL STANDARD V-3
TOPOGRAPHIC SURVEY ACCURACY T-2
- THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS:
PREPARE BOUNDARY SURVEY AND OBTAIN TOPOGRAPHIC INFORMATION FOR USE AS A BACKGROUND DOCUMENT FOR SITE PLAN PREPARATION.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.



CHARLES E. LENT

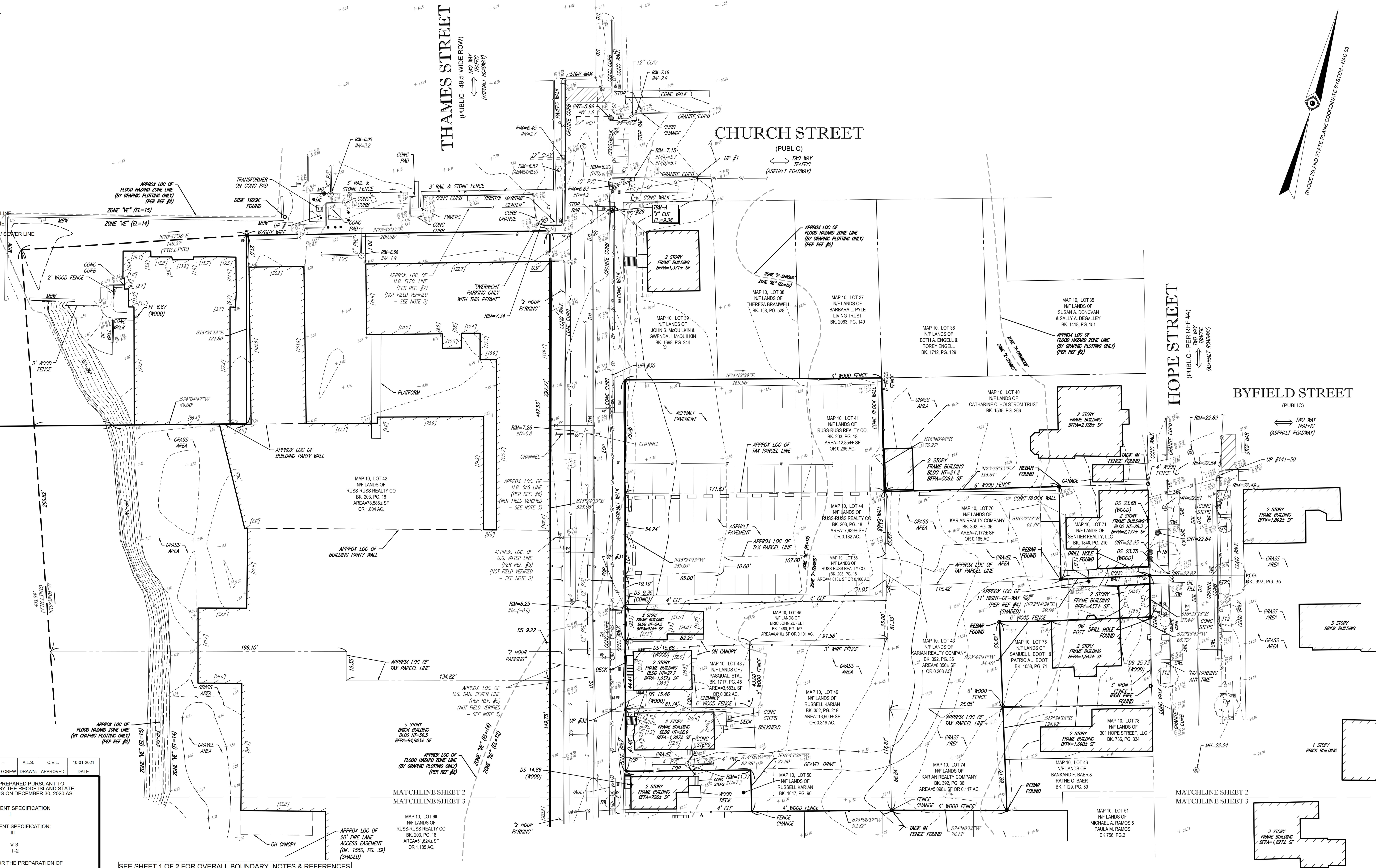
10-01-2021
DATE

RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947
CERTIFICATE OF AUTHORIZATION #A350

SHEET 3 OF 27

| | | |
|------------------------------|--|--------------------------|
| FIELD DATE 8-18-2021 | BOUNDARY & TOPOGRAPHIC SURVEY | |
| FIELD BOOK NO 21-10 MA | BRISTOL YARN MILL | |
| FIELD BOOK PGS 11-14 | 125 THAMES STREET LOTS 41, 42, 43, 44, 45, 48, 49, 60, 61, 62, 68, 73, 74, 76, MAP 10 TOWN OF BRISTOL, BRISTOL COUNTY STATE OF RHODE ISLAND | |
| FIELD CREW B.S.B & J.D.O. | CONTROL POINT ASSOCIATES, INC. | |
| DRAWN: N.I.G. | 352 TURNPIKE ROAD SOUTH BOKROUGH, MA 01772 508.948.3000 - 508.948.3003 FAX WWW.CPASURVEY.COM | |
| REVIEWED: B.A.V. | APPROVED: C.E.L. | DATE 9-28-2021 |
| SCALE 1" = 40' | | FILE NO. 03-012089-00 |
| DWG. NO. 1 OF 3 | | |

- LEGEND
- 124 --- EXISTING CONTOUR
 - 125 --- EXISTING CONTOUR
 - X 123.45 EXISTING SPOT ELEVATION
 - X TC 123.45 EXISTING TOP OF CURB ELEVATION
 - X G 122.95 EXISTING GUTTER ELEVATION
 - X TW 122.85 EXISTING TOP OF WALL ELEVATION
 - X BW 122.85 EXISTING BOTTOM OF WALL ELEVATION
 - X TI 123.45 EXISTING TOP OF ISLAND ELEVATION
 - X BI 122.95 EXISTING BOTTOM OF ISLAND ELEVATION
 - X FF 123.45 EXISTING FINISHED FLOOR ELEVATION
 - X DS 123.45 EXISTING DOOR SILL ELEVATION
 - X LG 125.45 EXISTING LEGAL GRADE ELEVATION
 - HYDRANT
 - WATER VALVE
 - UNKNOWN VALVE
 - GAS VALVE
 - GAS METER
 - ELECTRIC METER
 - OVERHEAD WIRES
 - APPROX. LOC. UNDERGROUND GAS LINE
 - APPROX. LOC. UNDERGROUND ELECTRIC LINE
 - APPROX. LOC. UNDERGROUND WATER LINE
 - APPROX. LOC. UNDERGROUND SANITARY/SEWER LINE
 - UTILITY POLE
 - AREA LIGHT
 - SIGN
 - BOLLARD
 - CLF CHAIN LINK FENCE
 - DC DEPRESSIONED CURB
 - EDC EDGE OF CONCRETE
 - ESP EDGE OF PAVEMENT
 - LSA LANDSCAPED AREA
 - MC METAL COVER
 - TPP TYPICAL
 - DMH DRAINAGE/STORM MANHOLE
 - EMH ELECTRIC MANHOLE
 - SMH SANITARY/SEWER MANHOLE
 - UMH UNKNOWN MANHOLE
 - WMH WATER MANHOLE
 - CB CATCH BASIN OR INLET
 - TREE & TRUNK SIZE
 - PARKING SPACE COUNT
 - DEPRESSIONED CURB
 - SWL SOLID WHITE LINE
 - DYL DOUBLE YELLOW LINE
 - HT HEIGHT
 - BLDG BUILDING
 - BFFPA BUILDING FOOTPRINT AREA
 - NVP NO VISIBLE PIPE
 - DHF DRILL HOLE FOUND
 - PVC POLYVINYL CHLORIDE PIPE
 - CI CAST IRON PIPE
 - DI DUCTILE IRON PIPE
 - INV INVERT ELEVATION
 - GRT GRATE ELEVATION
 - MEW MASONRY BLOCK WALL



THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-001.3 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON DECEMBER 30, 2020 AS FOLLOWS:

1. TYPE OF BOUNDARY SURVEY: MEASUREMENT SPECIFICATION
COMPREHENSIVE BOUNDARY SURVEY

2. OTHER TYPE OF SURVEY: MEASUREMENT SPECIFICATION:
DATA ACCUMULATION SURVEY (TOPOGRAPHIC SURVEY)
VERTICAL CONTROL STANDARD
TOPOGRAPHIC SURVEY ACCURACY
V-3
T-2

3. THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS:
PREPARE BOUNDARY SURVEY AND OBTAIN TOPOGRAPHIC AND PLANIMETRIC INFORMATION FOR USE AS A BACKGROUND DOCUMENT FOR SITE PLAN PREPARATION.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.

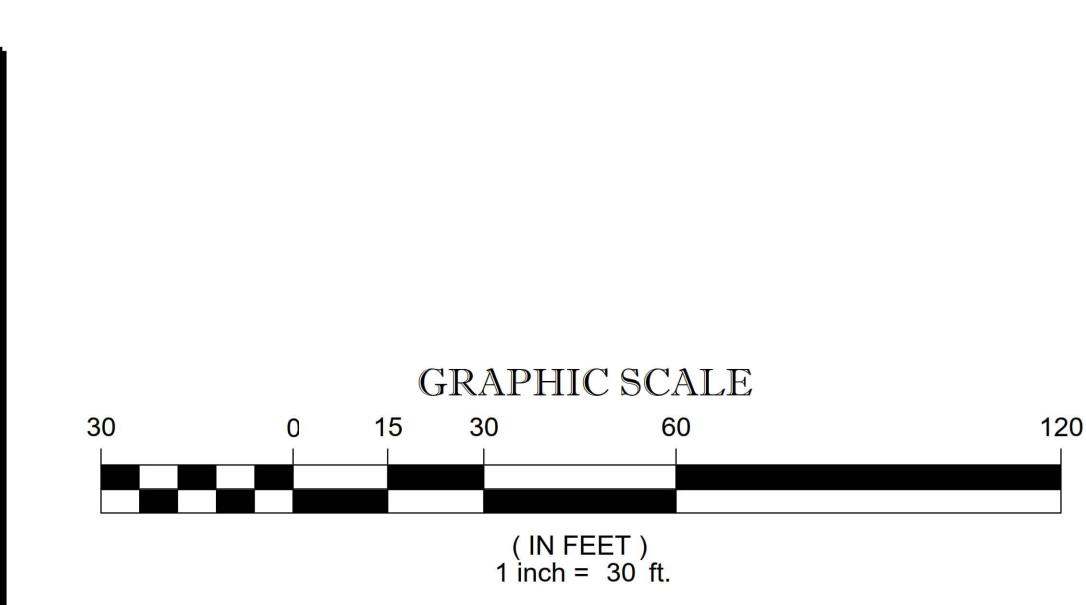
CHARLES E. LENT
PROFESSIONAL LAND SURVEYOR
10-01-2021
DATE

SEE SHEET 1 OF 2 FOR OVERALL BOUNDARY, NOTES & REFERENCES

BOUNDARY & TOPOGRAPHIC SURVEY
BRISTOL YARN MILL
125 THAMES STREET
LOTS 41, 42, 43, 44, 45, 48, 49, 60, 61, 62, 68, 73, 74, 76, MAP 10
TOWN OF BRISTOL, BRISTOL COUNTY
STATE OF RHODE ISLAND

FIELD DATE: 8-18-2021
FIELD BOOK NO: 21-10 MA
FIELD BOOK PG: 11-14

FIELD CREW: B.S.B. & J.D.O.
DRAWN: N.I.G.
REVIEWED: B.A.V.
APPROVED: C.E.L.
DATE: 9-28-2021
SCALE: 1" = 30'
FILE NO: 03-210289-00
DWS. NO: 2 OF 3

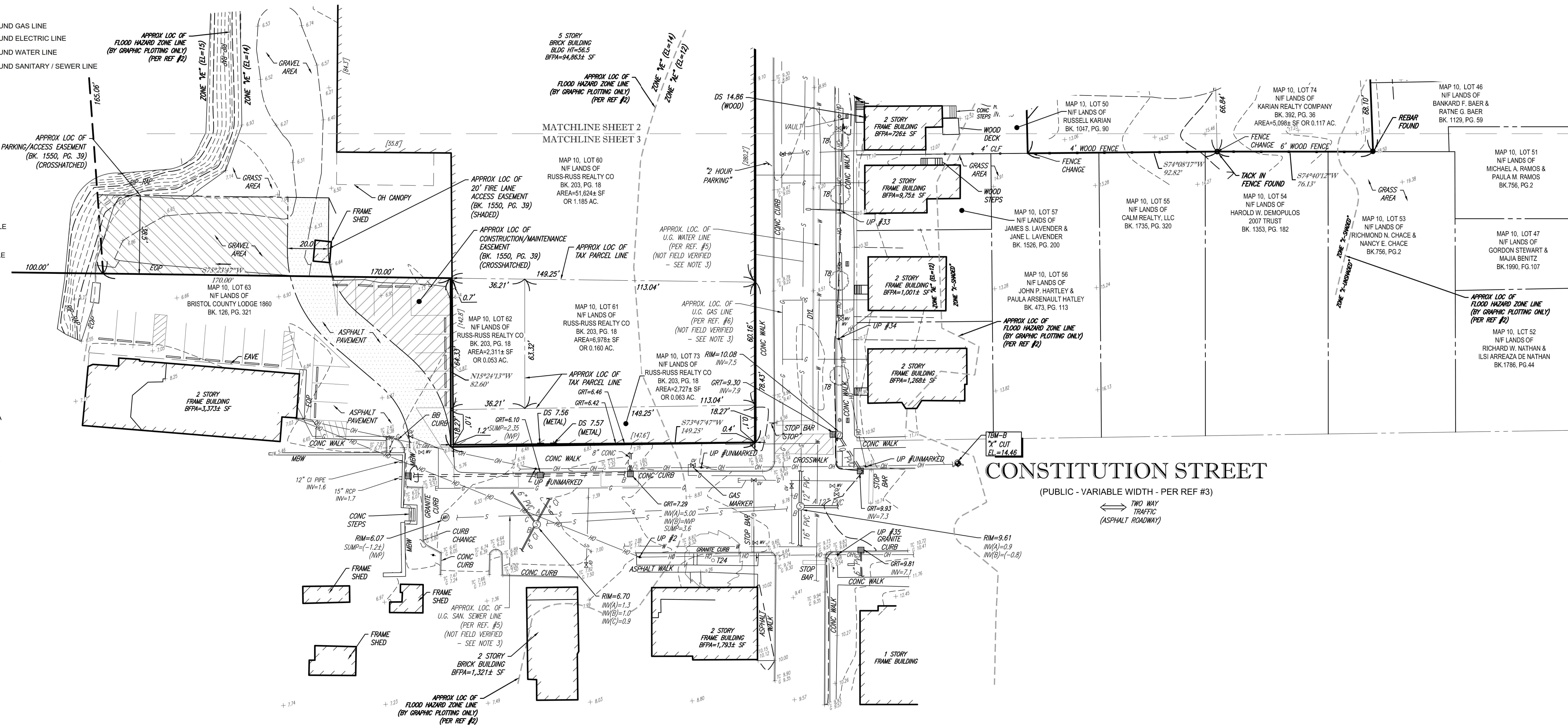


MATCHLINE SHEET 2
MATCHLINE SHEET 3

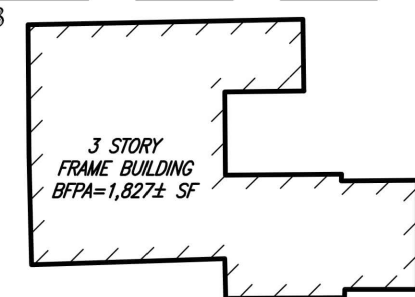
THE STATE OF RHODE ISLAND REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

SHEET 4 OF 27

| LEGEND | |
|-------------|--|
| --- | EXISTING CONTOUR |
| X 123.45 | EXISTING SPOT ELEVATION |
| X TC 123.45 | EXISTING TOP OF CURB ELEVATION |
| X G 122.95 | EXISTING GUTTER ELEVATION |
| X TW 123.45 | EXISTING TOP OF WALL ELEVATION |
| X BW 122.85 | EXISTING BOTTOM OF WALL ELEVATION |
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| X BI 122.95 | EXISTING BOTTOM OF ISLAND ELEVATION |
| X FF 123.45 | EXISTING FINISHED FLOOR ELEVATION |
| X DS 123.45 | EXISTING DOOR SILL ELEVATION |
| X LG 125.45 | EXISTING LEGAL GRADE ELEVATION |
| HY | HYDRANT |
| WV | WATER VALVE |
| UV | UNKNOWN VALVE |
| GV | GAS VALVE |
| GM | GAS METER |
| EM | ELECTRIC METER |
| OW | OVERHEAD WIRES |
| G | APPROX. LOC. UNDERGROUND GAS LINE |
| E | APPROX. LOC. UNDERGROUND ELECTRIC LINE |
| W | APPROX. LOC. UNDERGROUND WATER LINE |
| S | APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE |
| UP | UTILITY POLE |
| AL | AREA LIGHT |
| • | SIGN |
| • | BOLLARD |
| CLF | CHAIN LINK FENCE |
| DC | DEPRESSED CURB |
| EOC | EDGE OF CONCRETE |
| EOP | EDGE OF PAVEMENT |
| LSA | LANDSCAPED AREA |
| MC | METAL COVER |
| (TYP) | TYPICAL |
| DMH | DRAINAGE/STORM MANHOLE |
| EMH | ELECTRIC MANHOLE |
| SMH | SANITARY/SEWER MANHOLE |
| UMH | UNKNOWN MANHOLE |
| WMH | WATER MANHOLE |
| CB | CATCH BASIN OR INLET |
| TS | TREE & TRUNK SIZE |
| PS | PARKING SPACE COUNT |
| SWL | DEPRESSED CURB |
| DYL | SOLID WHITE LINE |
| HT | DOUBLE YELLOW LINE |
| BLDG | HEIGHT |
| BFFA | BUILDING |
| NVP | BUILDING FOOTPRINT AREA |
| DHF | NO VISIBLE PIPE |
| PVC | DRILL HOLE FOUND |
| CI | POLYVINYL CHLORIDE PIPE |
| DI | CAST IRON PIPE |
| INV | DUCTILE IRON PIPE |
| GRT | INVERT ELEVATION |
| MBW | GRATE ELEVATION |
| | MASONRY BLOCK WALL |



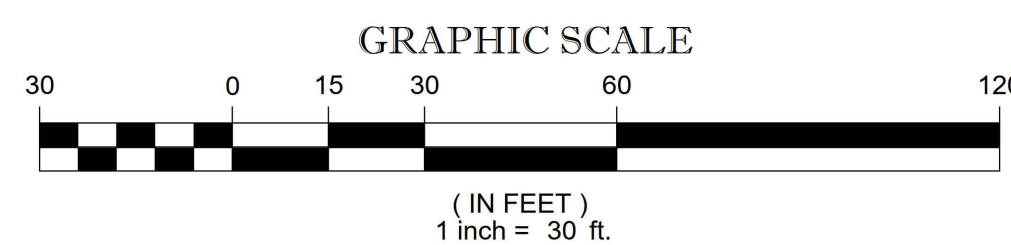
MATCHLINE SHEET 2
MATCHLINE SHEET 3



CONSTITUTION STREET

(PUBLIC - VARIABLE WIDTH - PER REF #3)

TWO WAY
TRAFFIC
(ASPHALT ROADWAY)

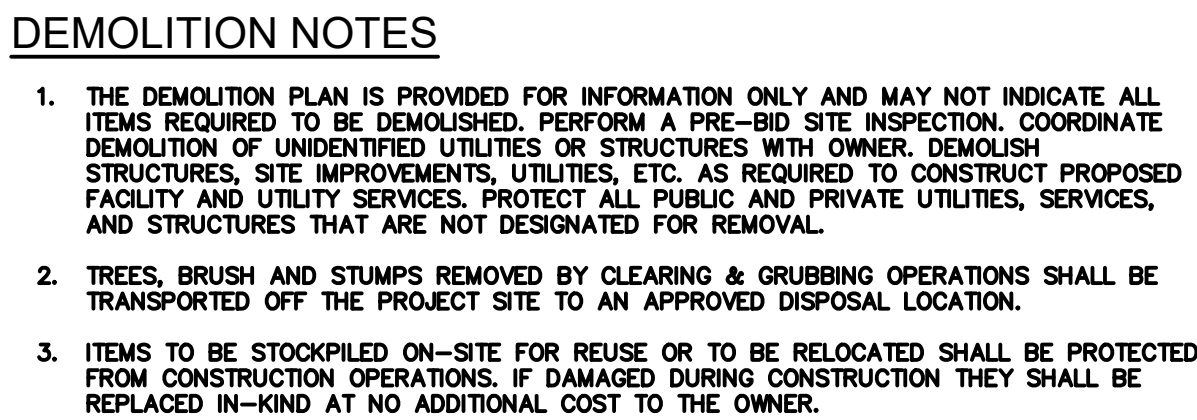


| | | | | | |
|----------------------------------|--|-------------------|-------------------|--------------------------|--------------------|
| FIELD DATE 8-18-2021 | BOUNDARY & TOPOGRAPHIC SURVEY | | | | |
| FIELD BOOK NO. 21-10 MA | BRISTOL YARN MILL | | | | |
| FIELD BOOK PG. 11-14 | 125 THAMES STREET LOTS 41, 42, 43, 44, 45, 48, 49, 60, 61, 62, 68, 73, 74, 76, MAP 10 TOWN OF BRISTOL, BRISTOL COUNTY STATE OF RHODE ISLAND | | | | |
| FIELD CREW B.S.B. & J.D.O. | CONTROL POINT ASSOCIATES, INC. | | | | |
| DRAWN: N.I.G. | ALBANY, NY 518-217-5010 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.3000 - 508.948.3003 FAX WWW.CPASURVEY.COM | | | | |
| REVIEWED: B.A.V. | APPROVED: C.E.L. | DATE 9-28-2021 | SCALE 1" = 30' | FILE NO. 03-210289-00 | DWG. NO. 3 OF 3 |

| | | | | | | |
|--|---|---|-------|----------|--------|------------|
| 1 | UPDATED PER RECEIPT OF CLIENT COMMENTS | | - | A.L.S. | C.E.L. | 10-01-2021 |
| No. | DESCRIPTION OF REVISION | FIELD CREW | DRAWN | APPROVED | DATE | |
| THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 455-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON DECEMBER 30, 2020 AS FOLLOWS: | | | | | | |
| 1. | TYPE OF BOUNDARY SURVEY: COMPREHENSIVE BOUNDARY SURVEY | MEASUREMENT SPECIFICATION I | | | | |
| 2. | OTHER TYPE OF SURVEY: DATA ACCUMULATION SURVEY (TOPOGRAPHIC SURVEY) VERTICAL CONTROL STANDARD TOPOGRAPHIC SURVEY ACCURACY | MEASUREMENT SPECIFICATION: III V-3 T-2 | | | | |
| 3. | THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS: PREPARE BOUNDARY SURVEY AND OBTAIN TOPOGRAPHIC AND PLANIMETRIC INFORMATION FOR USE AS A BACKGROUND DOCUMENT FOR SITE PLAN PREPARATION. | | | | | |
| NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL. | | | | | | |
| <div><div>CHARLES E. LENT</div><div><div><div>PROFESSIONAL LAND SURVEYOR</div><div>No. 1947</div></div></div></div> | | | | | | |
| 10-01-2021 DATE | | | | | | |
| CHARLES E. LENT | | | | | | |
| RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947 CERTIFICATE OF AUTHORIZATION #A350 | | | | | | |
| SHEET 5 OF 27 | | | | | | |



THE STATE OF RHODE ISLAND REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.



PLANNING BOARD CHAIR OR DESIGNEE DATE

SEAL

114

| | |
|--|--|
| | |
|--|--|

40

1

VERT.:

HORZ.:

30

GRAPHING



317 IRON HORSE WAY, SUITE 204
PROVIDENCE, RI 02908
401.861.3070
www.fando.com

BRADY SULLIVAN PROPERTIES, LLC

SITE DEMOLITION PLAN

BRISTOL YARN MILL

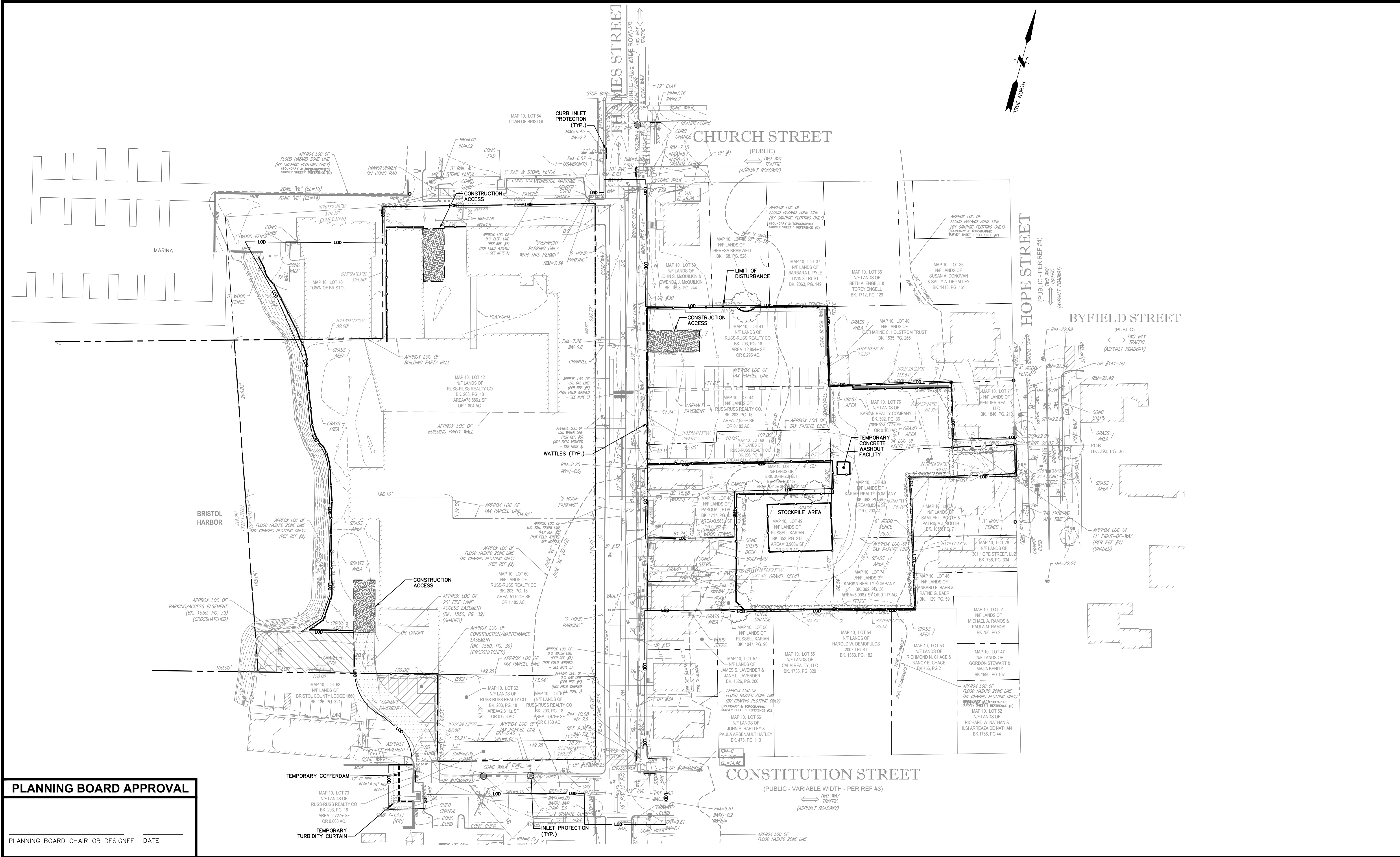
125 THAMES STREET

BRISTOL, RHODE ISLAND

| |
|-------------------------|
| PROJ. No.: 20061150.A22 |
| DATE: DECEMBER 6, 2023 |

CP-101

SHEET 6 OF 28



PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

| No. | DATE | DESCRIPTION | DESIGNER | REVIEWER |
|-----|------------|--|----------|----------|
| 11 | 5/29/2024 | REISSUE FINAL PLAN | KLM | SMM |
| 10 | 3/6/2024 | RESPONSE TO CRMC COMMENTS | KLM | SMM |
| 9 | 2/2/2024 | FINAL PLAN | KLM | SMM |
| 8 | 11/10/2023 | RESPONSE TO BCWA COMMENTS | KLM | SMM |
| 7 | 10/13/2023 | RESPONSE TO BCWA COMMENTS | KLM | SMM |
| 6 | 9/8/23 | BCWA SUBMITTAL | KLM | SMM |
| 5 | 7/12/23 | RESPONSE TO CRMC COMMENTS | KLM/SL | SMM |
| 4 | 5/19/23 | RESPONSE TO TRC AND PARE COMMENTS | KLM/MH | SMM |
| 3 | 3/27/23 | PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS | KLM | SMM |

SEAL

SEAL

SHAWN M. MARTIN

No. 1487

REGISTERED PROFESSIONAL ENGINEER (CIVIL)

SCALE:

HORIZ.: 1"= 40'

VERT.:

DATUM:

HORIZ.: NAD 1983

VERT.: NAD 1988

GRAPHIC SCALE

FUSS & O'NEILL

317 IRON HORSE WAY, SUITE 204
PROVIDENCE, RI 02908
401.861.3070
www.fando.com

BRADY SULLIVAN PROPERTIES, LLC

SOIL EROSION AND SEDIMENTATION CONTROL PLAN

BRISTOL YARN MILL

125 THAMES STREET BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22

DATE: DECEMBER 6, 2022

CE-101

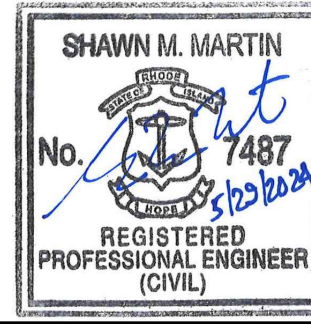
SHEET 7 OF 28

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

| No. | DATE | DESCRIPTION | DESIGNER | REVIEWER |
|-----|------------|--|----------|----------|
| 11 | 5/29/2024 | REISSUE FINAL PLAN | KLM | SMM |
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| 4 | 5/19/23 | RESPONSE TO TRC AND PARE COMMENTS | KLM/MH | SMM |
| 3 | 3/27/23 | PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS | KLM | SMM |

SEAL



SCALE:

HORIZ.: 1"= 40'

VERT.:

DATUM:

HORIZ.: NAD 1983

VERT.: NAD 1988

GRAPHIC SCALE



FUSS & O'NEILL

317 IRON HORSE WAY, SUITE 204
PROVIDENCE, RI 02908
401.861.3070
www.fando.com

BRADY SULLIVAN PROPERTIES, LLC

SITE PLAN

BRISTOL YARN MILL

125 THAMES STREET

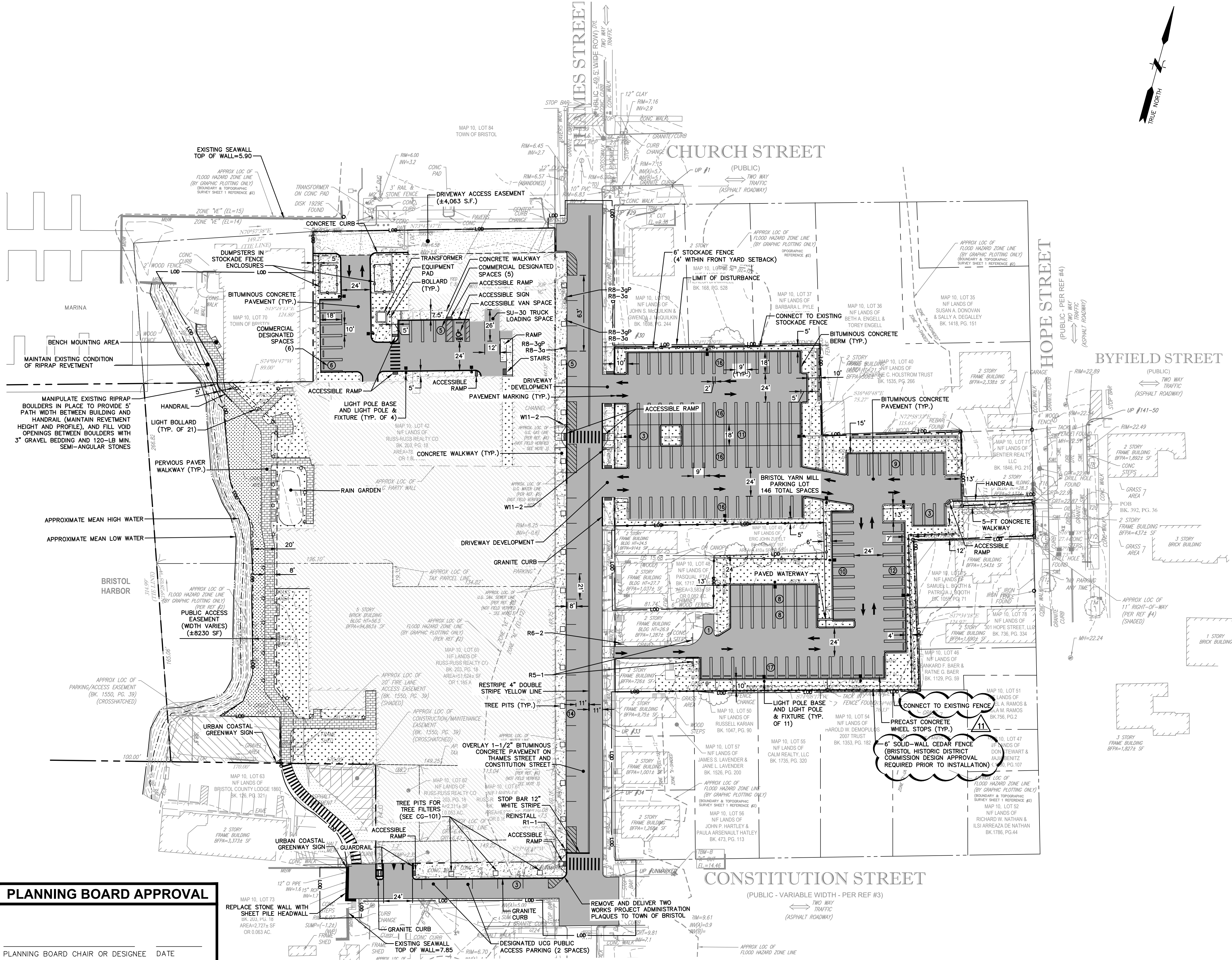
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22

DATE: DECEMBER 6, 2022

CS-101

SHEET 8 OF 28



ZONING DIMENSION TABLE

| CRITERIA | REQUIRED PER ZONING DISTRICT | | | PROPOSED |
|------------------------------------|------------------------------|------------------|------|---|
| | W | D | WPUD | (BUILDING SITE - LOTS 42,60,61,62,73) |
| MINIMUM LOT AREA | | 5,000 SF | | 142,226± SF (3.265 AC) |
| MINIMUM LOT AREA PER DWELLING UNIT | 4,000 SF | 2,500 SF | N/A | N/A |
| MINIMUM FRONTAGE | | 50' | | 149.25' CONSTITUTION STREET (MIN.) |
| MINIMUM LOT WIDTH | | 50' | | 149.25' CONSTITUTION STREET (MIN.) |
| FRONT SETBACK | | 0' | | -0.90' |
| SIDE SETBACK | | 0' | | 0.0' |
| REAR SETBACK | | 10' | | 30±' (TO APPROX. MEAN HIGH WATER) |
| MAX. BUILDING HEIGHT | | 35' (3 STORIES) | | 55' MAX.-4 STORIES (EXISTING) |
| MAX. LOT COVERAGE BY STRUCTURES | | 70% | | 83,153 S.F./142,226 S.F. = 58.5% (PROP.) 87,296 S.F./142,226 S.F. = 61.4% (EXIST.) |
| MAX. TOTAL COVERAGE | 85% | 95% | N/A | 97,606 S.F./142,226 S.F. = 68.6% |
| MAX. FLOOR AREA RATIO | 1.5 | 1.4 | N/A | 227,286 S.F./142,226 S.F. = 1.6± |
| IMPERVIOUS COVER | | PARKING LOT SITE | | 51,237 S.F./66,327 S.F. = 77.2% |

- NOTES:
1. MILL BUILDING PROPERTIES COMBINED AREA IS APPROXIMATELY 142,226 SQUARE FEET.
 2. TOTAL LAND AREA INCLUDED IN REDEVELOPMENT IS APPROXIMATELY 227,286 SQUARE FEET.
 3. ALL PROJECT PARCELS ARE LOCATED WITHIN TOWN OF BRISTOL HISTORIC DISTRICT.

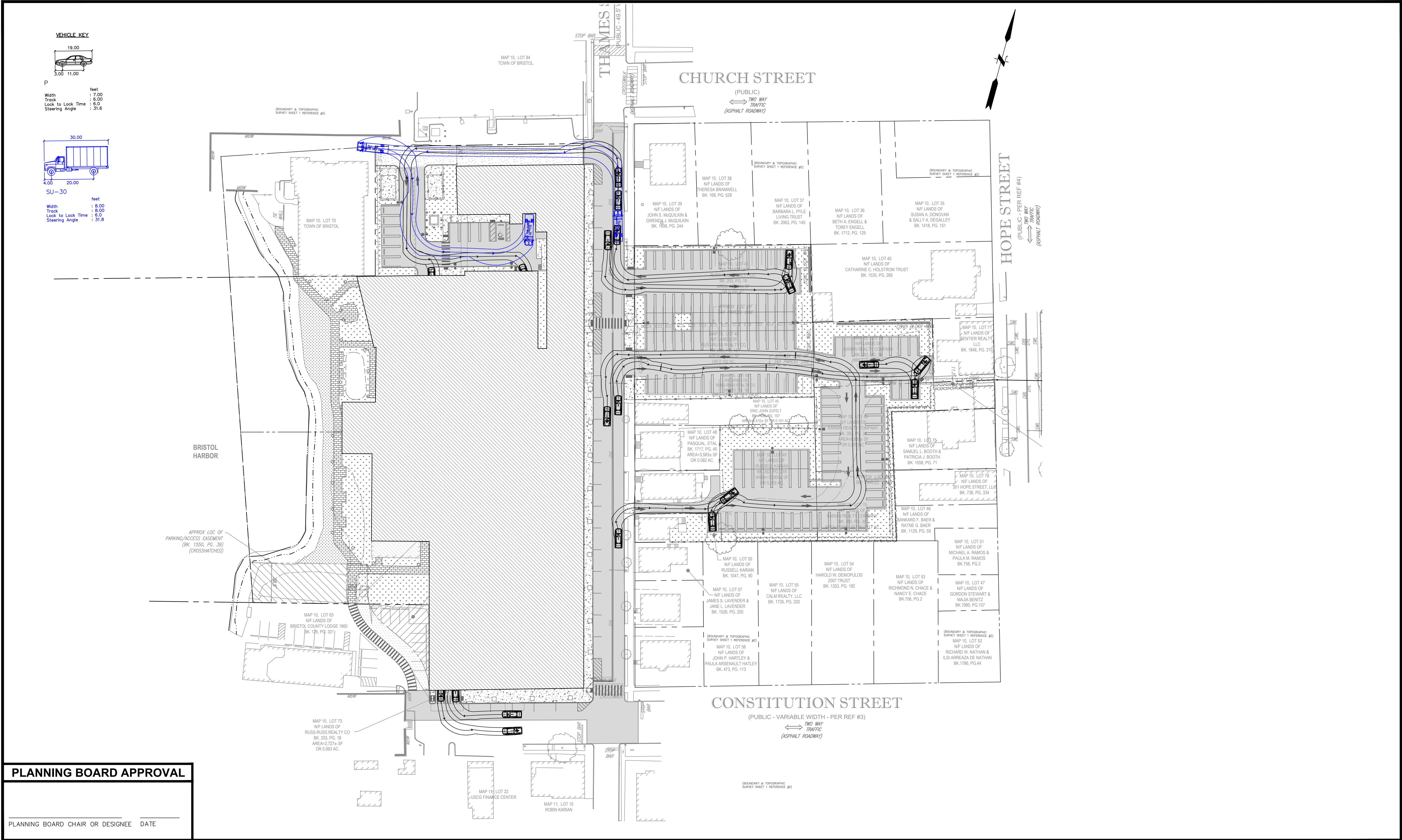
PARKING SUMMARY

| | USE | REQUIRED | PROPOSED |
|---------------------------------------|---|----------|----------|
| RESIDENTIAL PARKING SPACES (ON-SITE) | | 127 | 125 |
| RESIDENTIAL PARKING SPACES (OFF-SITE) | | 0 | 143 |
| COMMERCIAL PARKING SPACES (ON-SITE) | | 11 | 11 |
| 317 HOPE STREET (LOT 71) - ZONE D | RES/COMM | 0 | 0 |
| 325 HOPE STREET (LOT 43) - ZONE D | COMM | 0 | 0 |
| 60 THAMES STREET (LOT 50) - ZONE W | SF RES | 1 | 1 |
| 70 THAMES STREET (LOT 49) - ZONE W | MF RES | 2 | 2 |
| TOTAL PARKING SPACES: | | 141 | 282 |
| RESIDENTIAL PARKING REQUIREMENT: | 1 SPACE/D.U. (127 RESIDENTIAL W AND REHAB LDP ZONES) | | |
| COMMERCIAL PARKING REQUIREMENT: | 1 SPACE/600 S.F. GFA (0 SPACES REQ'D FOR RESIDENTIAL, OFFICE, SERVICE, RETAIL, OR INSTITUTIONS WITHIN D ZONE) (6,479 S.F. / 600 S.F. = 11 SPACES) | | |
| LOADING SPACE REQUIREMENT: | 1 SPACE/3,000-19,999 S.F. OF GFA (6,479 S.F. = 1 SPACE) | | |

NOTES:

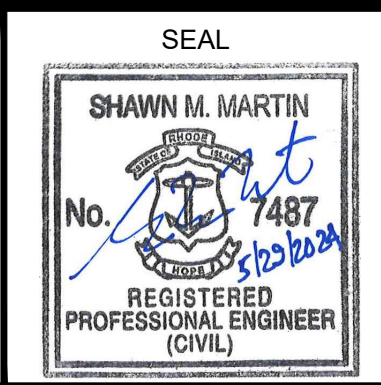
1. PARKING AND LOADING REQUIREMENTS SHALL COMPLY WITH ARTICLE VII SEC. 28-251.
2. ON-STREET PARKING IS NOT INCLUDED IN THE CALCULATIONS.
3. THERE ARE 30 TOTAL COMPACT VEHICLE PARKING SPACES, 9 DESIGNATED MOTORCYCLE SPACES AND 24 BICYCLE SPACES WITHIN THE BASEMENT LEVEL OF 125 THAMES STREET. COMPACT PARKING SPACES ACCOUNTS FOR 10.6% OF TOTAL PARKING COUNT. MOTORCYCLE AND BICYCLE PARKING IS NOT INCLUDED IN THE CALCULATIONS.
4. 5 ADA SPACES AND 2 ADA VAN SPACES ARE PROVIDED FOR RESIDENTIAL UNITS WITHIN THE BASEMENT LEVEL OF 125 THAMES STREET.

NOTE:
MEAN HIGH WATER AND MEAN LOW WATER LINES SHOWN ARE APPROXIMATE BASED ON TIDAL DATUMS FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION TIDE STATION NUMBER 8452154 LOCATED IN BRISTOL, RI.



| No. | DATE | DESCRIPTION | DESIGNER | REVIEWER |
|-----|------------|--|----------|----------|
| 11 | 5/29/2024 | REISSUE FINAL PLAN | KLM | SMM |
| 10 | 3/6/2024 | RESPONSE TO CRMC COMMENTS | KLM | SMM |
| 9 | 2/2/2024 | FINAL PLAN | KLM | SMM |
| 8 | 11/10/2023 | RESPONSE TO BCWA COMMENTS | KLM | SMM |
| 7 | 10/13/2023 | RESPONSE TO BCWA COMMENTS | KLM | SMM |
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| 5 | 7/12/23 | RESPONSE TO CRMC COMMENTS | KLM/SL | SMM |
| 4 | 5/19/23 | RESPONSE TO TRC AND PARE COMMENTS | KLM/MH | SMM |
| 3 | 3/27/23 | PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS | KLM | SMM |

SEAL



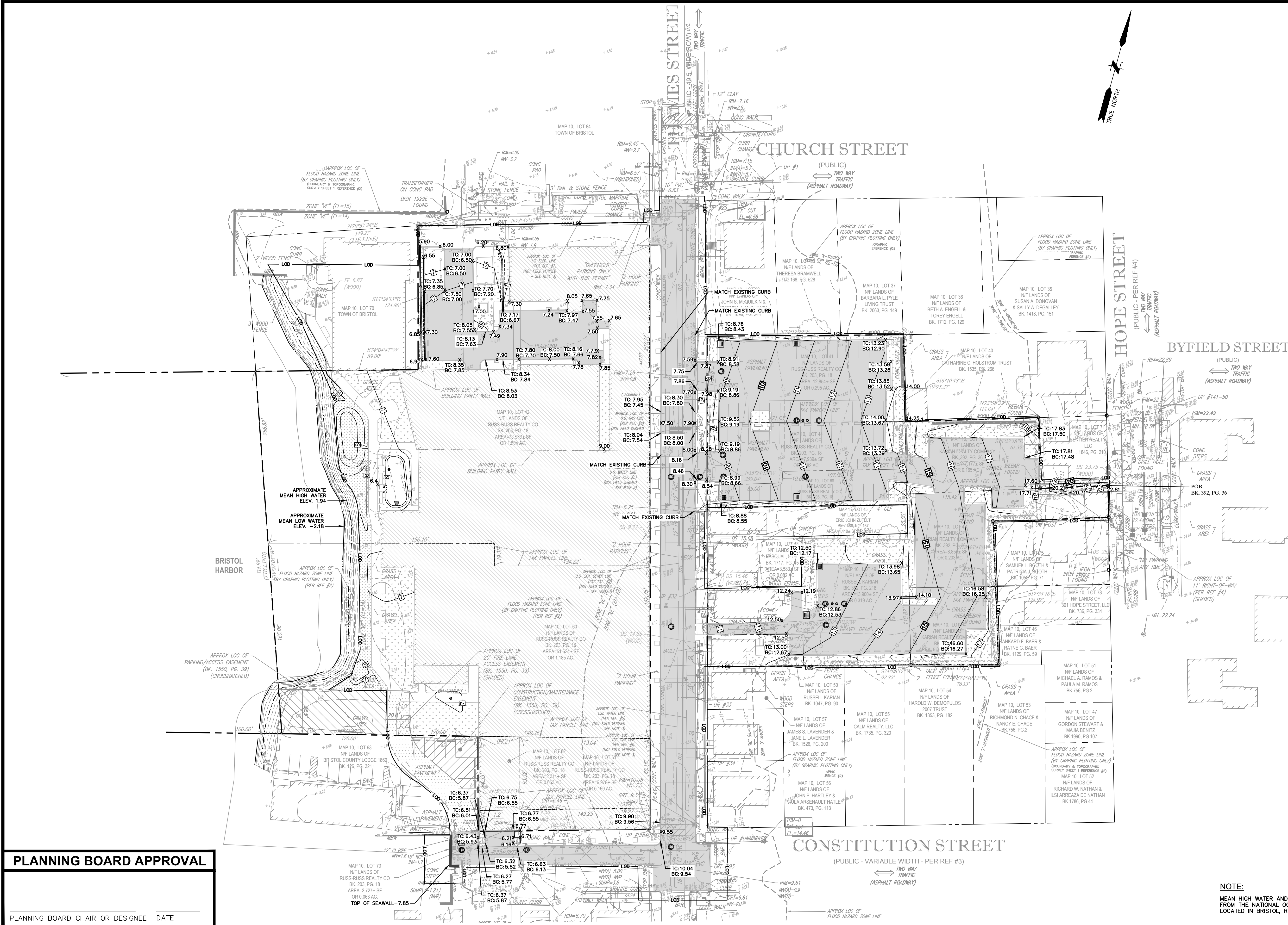
SEAL

SCALE:
HORIZ.: 1"= 40'
VERT.:
DATING:
HORIZ.: NAD 1983
VERT.: NAD 1988
GRAPHIC SCALE

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BRADY SULLIVAN PROPERTIES, LLC
SITE CIRCULATION PLAN
BRISTOL YARN MILL
125 THAMES STREET
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022
CS-102
SHEET 9 OF 28



PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

NOTE:
MEAN HIGH WATER AND MEAN LOW WATER LINES SHOWN ARE APPROXIMATE BASED ON TIDAL DATUMS FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION TIDE STATION NUMBER 8452154 LOCATED IN BRISTOL, RI.

| No. | DATE | DESCRIPTION | DESIGNER | REVIEWER |
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SEAL

SEAL

SHAWN M. MARTIN
No. 1487
REGISTERED PROFESSIONAL ENGINEER (CIVIL)

SCALE:

HORIZ.: 1"= 40'

VERT.:

DATUM:

HORIZ.: NAD 1983

VERT.: NAD 1988

GRAPHIC SCALE

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BRADY SULLIVAN PROPERTIES, LLC

GRADING PLAN

BRISTOL YARN MILL

125 THAMES STREET

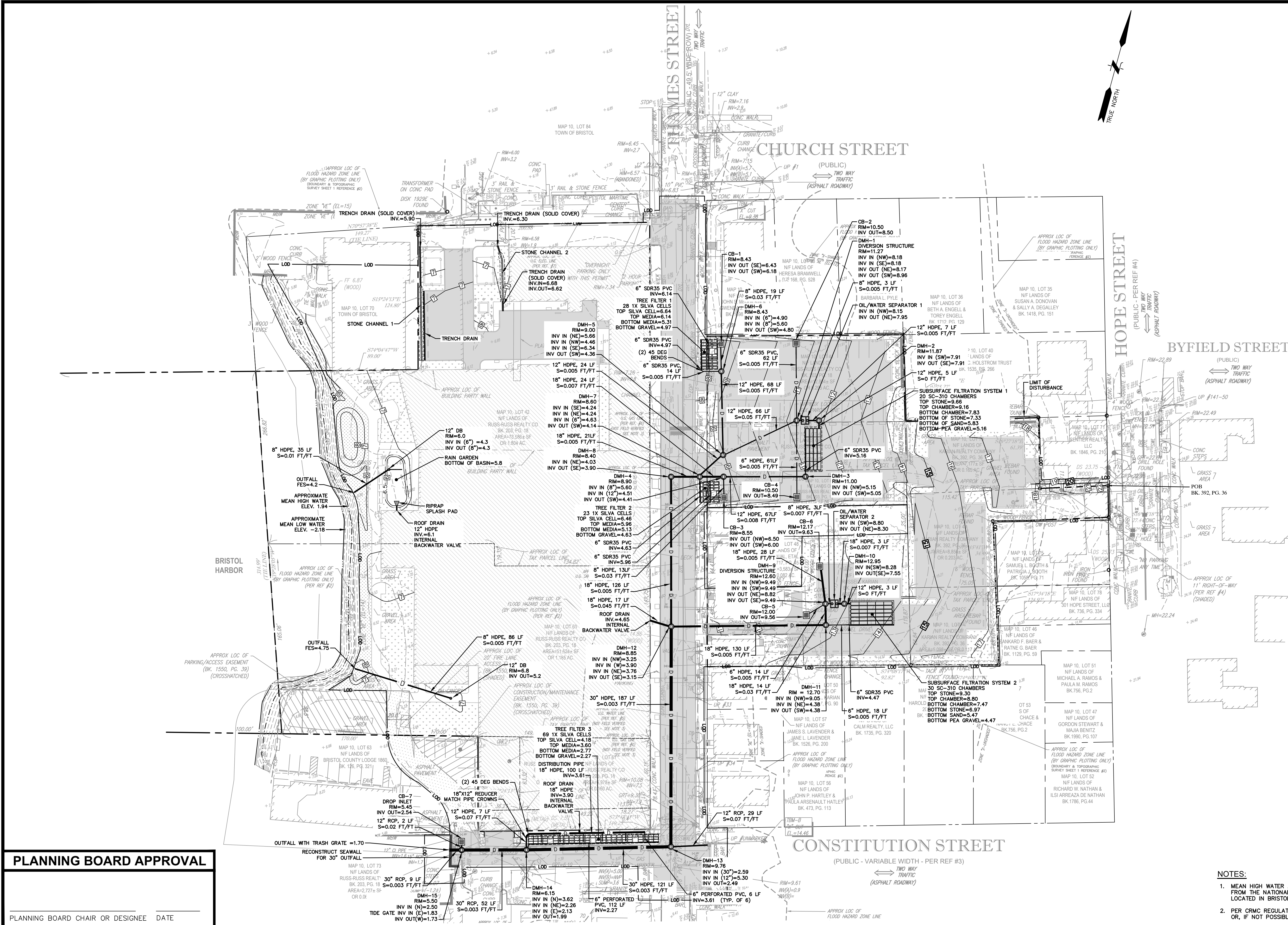
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

CG-101

SHEET 10 OF 28

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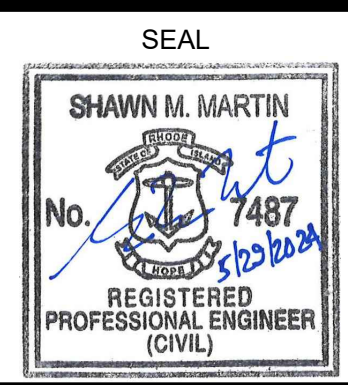
PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

- NOTES:**
- MEAN HIGH WATER AND MEAN LOW WATER LINES SHOWN ARE APPROXIMATE BASED ON TIDAL DATUMS FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION TIDE STATION NUMBER 8452154 LOCATED IN BRISTOL, RI.
 - PER CRMC REGULATIONS, OUTFALL WORK SHALL PROCEED FROM THE SHORELINE TOWARD THE UPLAND OR, IF NOT POSSIBLE, FLOWS SHALL BE DIVERTED AREAS UNTIL STABILIZATION IS COMPLETED.

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SEAL



SEAL

SCALE:

HORIZ.: 1"= 40'

VERT.:

DATUM:

HORIZ.: NAD 1983

VERT.: NAD 1988

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BRADY SULLIVAN PROPERTIES, LLC

DRAINAGE PLAN

BRISTOL YARN MILL

125 THAMES STREET

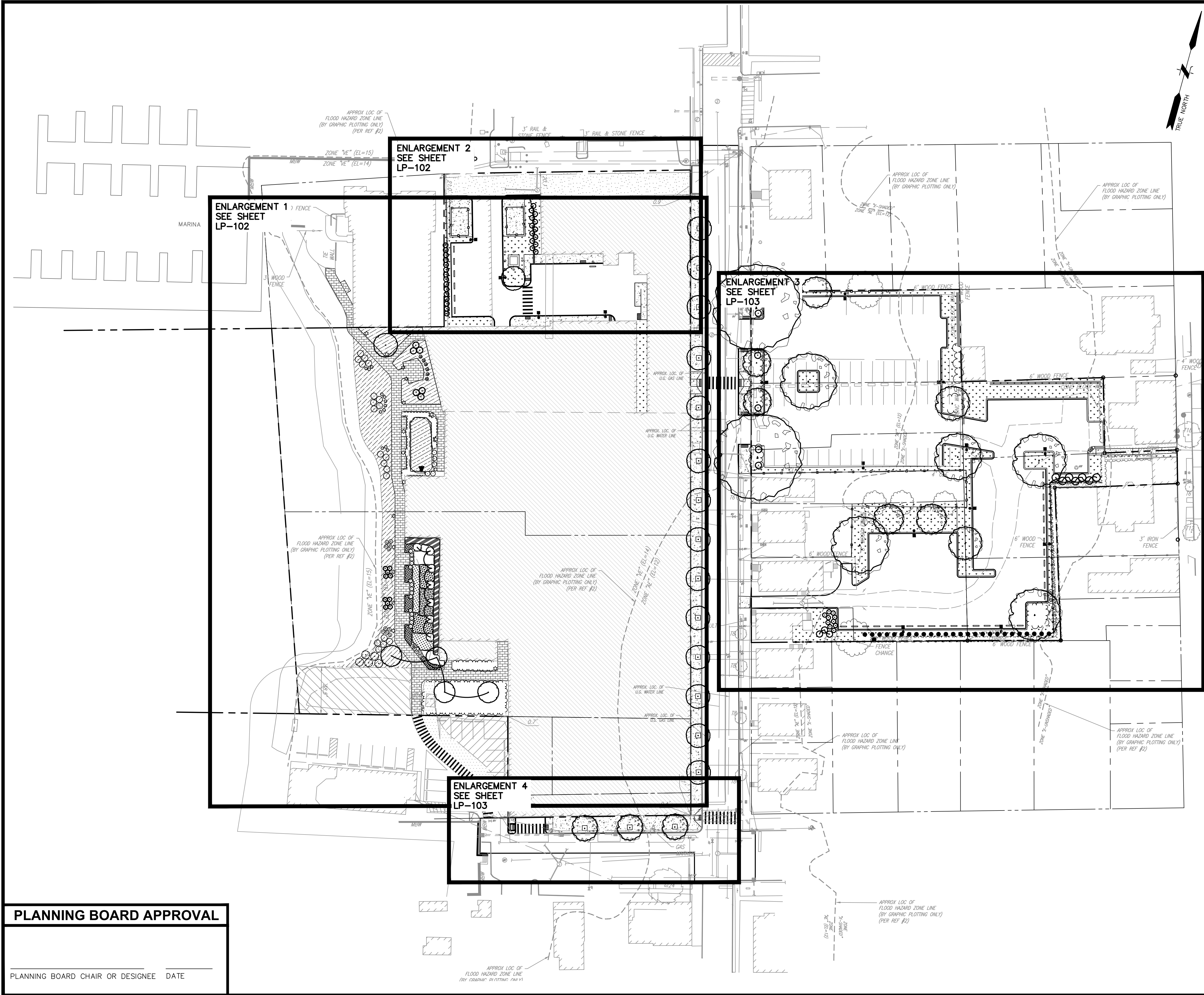
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

CG-102

SHEET 11 OF 28

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PLANTING NOTES

1. CONTRACTOR SHALL SURVEY, LOCATE, AND PROTECT ALL TREES WITHIN AREAS SHOWN AS "EXISTING VEGETATION TO REMAIN" WITHIN THE DEVELOPMENT ENVELOPE FOR REVIEW BY L.A. PRIOR TO CLEARING OPERATIONS.
2. ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO A.A.N. STANDARDS. TREES SHALL BE TAGGED AND SUBMITTED TO L.A. THROUGH PHOTO SUBMISSION OR FIELD VISIT FOR SELECTION APPROVAL. TREES SHALL BE FIELD DUG.
3. THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
4. PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
5. ALL SHRUB MASSINGS AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE BARK MULCH.
6. TREES SHALL NOT BE STAKED UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGED MATERIAL AT HIS OWN EXPENSE.
8. ALL SHRUB AND GROUNDCOVER PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF TOPSOIL 12" DEEP. ALL SOD AND HYDROSEED AREAS SHALL HAVE A MINIMUM TOPSOIL BED OF 6".
9. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD. WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
10. A SOIL CAP IS REQUIRED FOR ANY LANDSCAPED AREAS ON THE MILL LOT SITE INCLUDING PLAT 10, LOTS 42, 60, 61, 62, AND 73.
11. FOR PLANTING SOIL MIX, SEE SPECIFICATIONS OR PLANTING DETAILS.
12. ALL EXISTING RILL, GULLY OR CHANNEL EROSION SHALL BE FILLED WITH APPROPRIATE BACKFILL MATERIAL, FINE RAKED, SCARIFIED AND STABILIZED WITH APPROPRIATE VEGETATIVE MATERIAL AND/OR APPROPRIATE SEDIMENTATION AND EROSION CONTROL MEASURES.
13. ADJUSTMENTS IN THE LOCATION OF THE PROPOSED PLANT MATERIAL AS A RESULT OF EXISTING VEGETATION TO REMAIN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
14. THE CONTRACTOR IS RESPONSIBLE FOR ALL MAINTENANCE REPAIR AND REPLACEMENT OF PLANT MATERIAL, AS REQUIRED, FOR THE DURATION OF THE PROJECT AND SUBSEQUENT WARRANTY PERIOD.
15. PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND/OR LAWN SEEDING OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
16. UPON COMPLETION OF PLANTING, REMOVE FROM SITE ALL EXCESS SOIL, MULCH, AND MATERIALS AND DEBRIS RESULTING FROM WORK OPERATIONS. CLEAN UP SHOULD BE COMPLETED AT THE END OF EACH WORKING DAY. RESTORE TO ORIGINAL CONDITIONS ALL DAMAGED PAVEMENTS, PLANTING AREAS, STRUCTURES AND LAWN AREAS RESULTING FROM LANDSCAPING OPERATIONS.
17. CONTRACTOR TO RESEED ALL DISTURBED AREAS.

LEGEND

LAWN SEED MIX

NATURAL COASTAL BUFFER RESTORATION SEED MIX

WETLAND MEADOW SEED MIX

MULCH

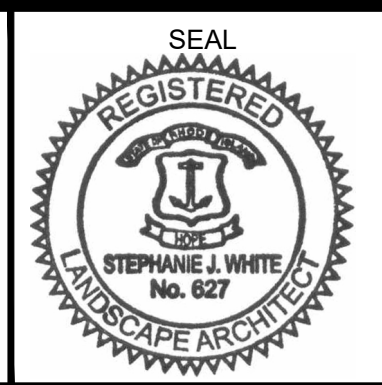
BUILDING

PLANNING BOARD APPROVAL

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HORZ.: 1"= 40'

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DATUM:

HORZ.:NAD 1983

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GRAPHIC SCALE

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BRADY SULLIVAN PROPERTIES, LLC

PLANTING PLAN

BRISTOL YARN MILL

125 THAMES STREET

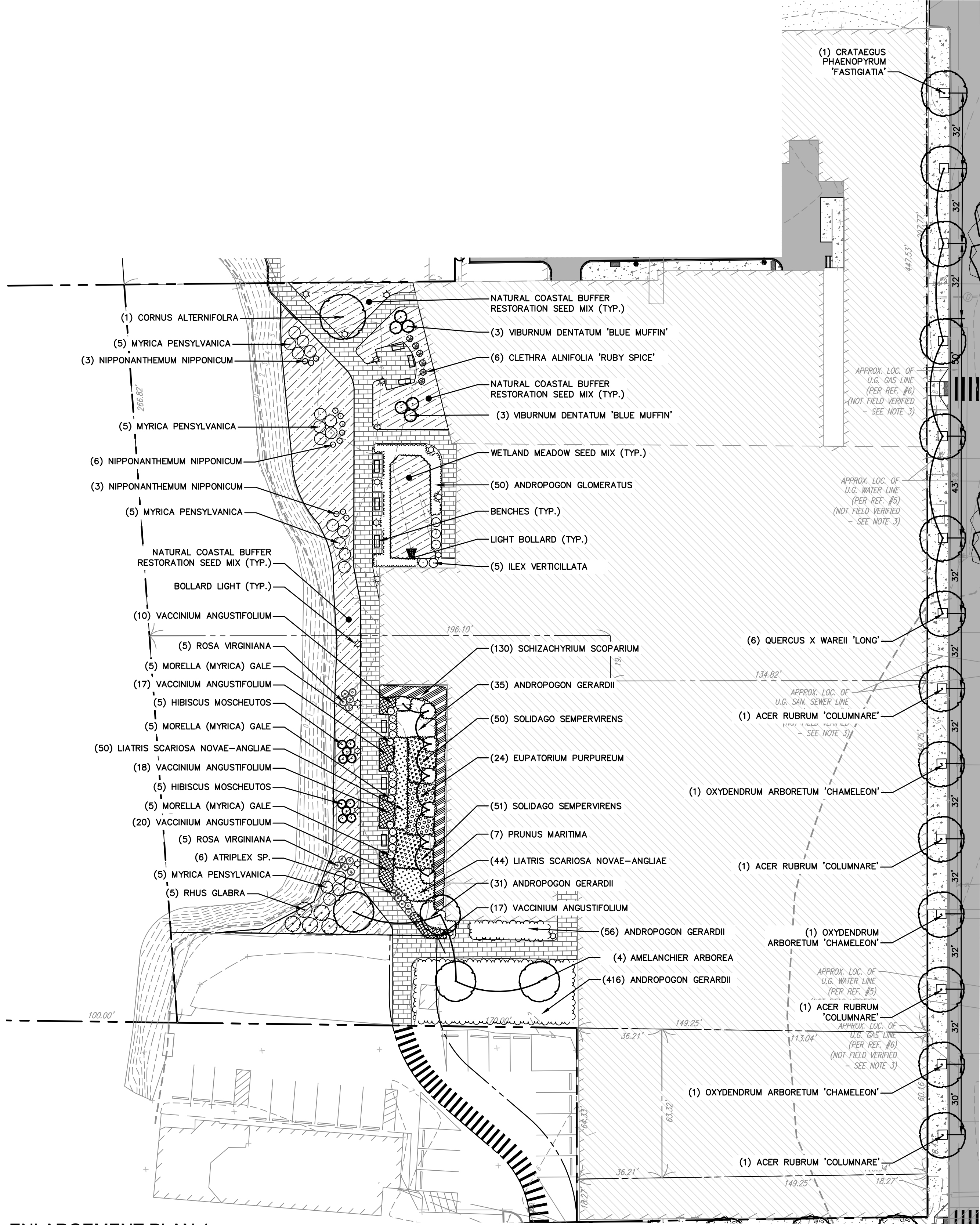
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22

DATE: DECEMBER 6, 2022

LP-101

SHEET 13 OF 28



ENLARGEMENT PLAN 1
SCALE: 1" = 30'

PLANNING BOARD APPROVAL

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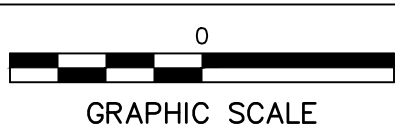
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DATUM:

HORIZ.: NAD 1983

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BRADY SULLIVAN PROPERTIES, LLC

ENLARGEMENT PLANTING PLAN

BRISTOL YARN MILL

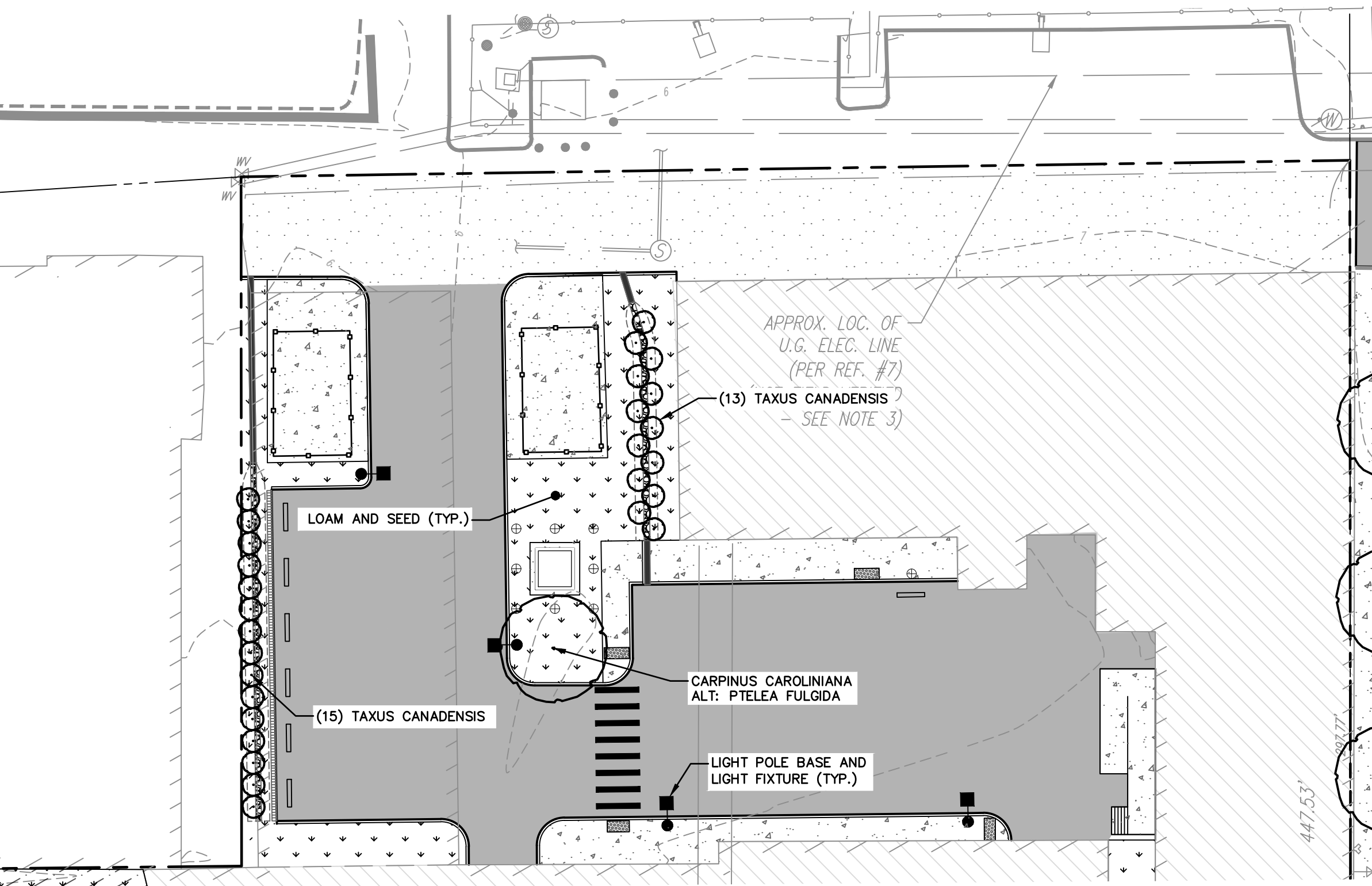
125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

LP-102

SHEET 14 OF 28



ENLARGEMENT PLAN 2
SCALE: 1" = 20'

PLANT LIST

BOTANICAL NAME

COMMON NAME

QTY.

SIZE

ENLARGEMENT 2

TREES

CARPINUS CAROLINIANA AMERICAN HORNBEAM 1 3.5" CALIPER

SHRUBS

TAXUS CANADENSIS AMERICAN YEW 28 1 GAL.

ENLARGEMENT 1

TREE

| | | | |
|------------------------------------|--------------------------------|---|----------------|
| ACER RUBRUM 'COLUMNARE' | COLUMNARE RED MAPLE | 4 | 1.5-2" CALIPER |
| CORNUS ALTERNIFLORA | PAGODA DOGWOOD | 1 | 3.5" CALIPER |
| CRATAEGUS PHAENOPYRUM 'FASTIGIATA' | FASTIGIATA WASHINGTON HAWTHORN | 1 | 1.5-2" CALIPER |
| OXYDENRUM ARBORETUM 'CHAMELEON' | CHAMELEON SOURWOOD | 3 | 1.5-2" CALIPER |
| QUERCUS X WAREII 'LONG' | FASTIGIATE OAK | 6 | 1.5-2" CALIPER |

SHRUBS

| | | | |
|---------------------------------|--------------------|----|-----------|
| AMELANCHIER ARBOREA | DOWNY SERVICEBERRY | 4 | 6-8' B&B |
| ATRIPLEX SP. | SALT BUSH | 6 | 2 GAL. |
| CLETHRA ALNIFOLIA 'RUBY SPICE' | SWEET PEPPERBUSH | 6 | 3 GAL. |
| ILEX VERTICILLATA | WINTERBERRY | 5 | 3 GAL. |
| MORELLA (MYRICA) GALE | SWEET GALE | 15 | 3 GAL. |
| MYRICA PENSYLVANICA | BAYBERRY | 20 | MIXED |
| NIPPONANTHEMUM NIPPONICUM | NIPPON DAISY | 12 | 2 GAL. |
| PRUNUS MARITIMA | BEACH PLUM | 7 | 3 GAL. |
| RHUS GLABRA | SMOOTH SUMAC | 5 | 3 GAL. |
| ROSA VIRGINIANA | VIRGINIA ROSE | 10 | 2 GAL. |
| VACCINIUM ANGUSTIFOLIUM | LOWBUSH BLUEBERRY | 82 | 2 GAL. |
| VIBURNUM DENTATUM 'BLUE MUFFIN' | ARROWWOOD VIBURNUM | 6 | 3'-4" B&B |

PERENNIALS/GRASSES

| | | | |
|---------------------------------|--------------------------|-----|--------|
| ANDROPOGON GERARDII | BIG BLUESTEM | 538 | 2 GAL. |
| ANDROPOGON GLOMERATUS | BUSH BLUESTEM | 50 | 2 GAL. |
| EUPATORIUM PURPUREUM | JOE PYE WEED | 24 | 2 GAL. |
| HIBISCUS MOSCHEUTOS VAR. | SWAMP ROSA MALLOW | 10 | 3 GAL. |
| LIATRIS SCARIOS A NOVAE-ANGLIAE | NEW ENGLAND BLAZING STAR | 94 | 2 GAL. |
| SCHIZACHYRIUM SCOPARIUM | LITTLE BLUESTEM | 130 | 2 GAL. |
| SOLIDAGO SEMPERVIRENS | SEASIDE GOLDENROD | 51 | 2 GAL. |

NOTES:


- ALL PLANTS TO BE LAID OUT IN FIELD AND PLACEMENT TO BE APPROVED PRIOR TO FINAL INSTALLATION BY L.A. AND OWNER.
- INFILL ALL THE AREAS BETWEEN THE PLANTS ON THE WEST SIDE OF THE PUBLIC ACCESS WALKWAY WITH NATURAL BUFFER RESTORATION SEED MIX OR APPROVED EQUAL.
- SEEDING RATE: 35 POUNDS PER ACRE
- MOW ONCE ANNUALLY AFTER OCTOBER 1 OR PRIOR TO APRIL 15
- SEED MIX INCLUDES: COMMON EASTERN WILD-RYE (ELYMUS VIRGINICUS), CREEPING RED FESCUE (FESTUCA RUBRA), BIG BLUE-STEM (ANDROPOGON GERARDII), LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), INDIAN GRASS (SORGHASTRUM NUTANS), SWITCH GRASS (PANICUM VIRGATUM), SAND DROPS (SPOROBOLUS CRYPTANDRUS), SMOOTH CORDGRASS (SPARTINA ALTERNIFLORA)



PLANNING BOARD CHAIR OR DESIGNEE DATE

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| SCALE: | |
| HORIZ.: | 1"= 20' |
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| VERT.: | NAD 1988 |
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| GRAPHIC SCALE | |



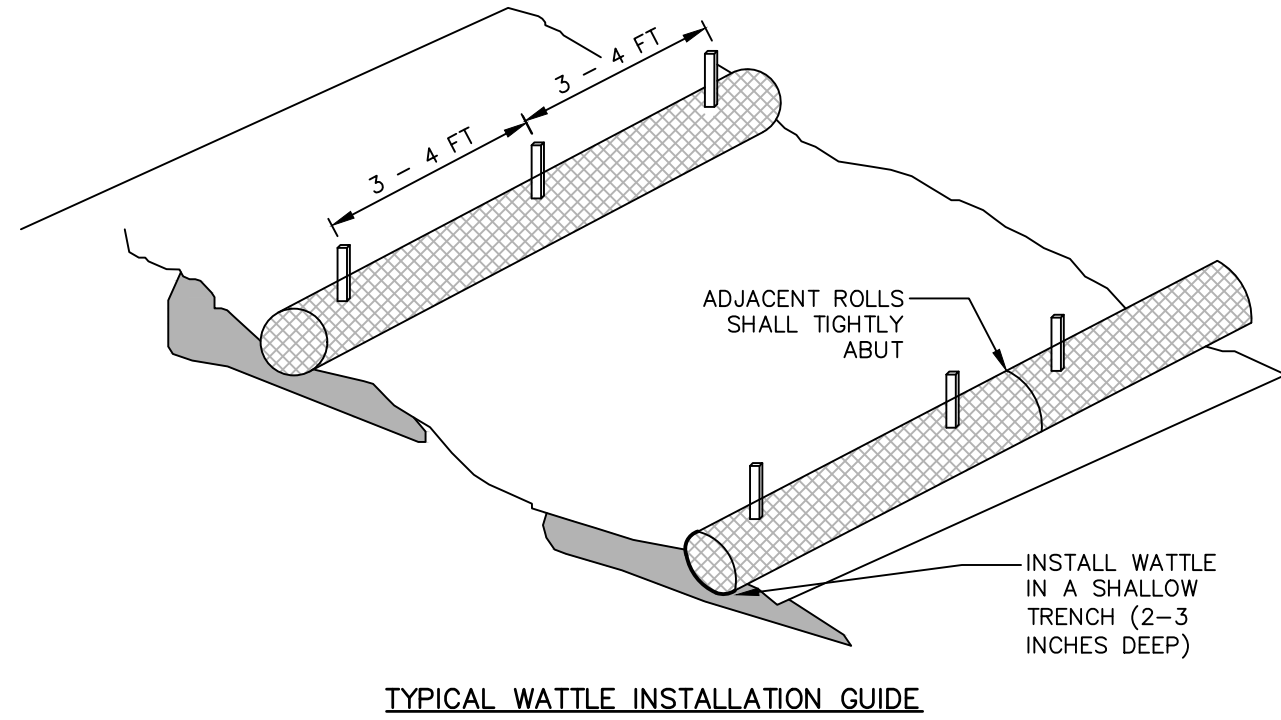
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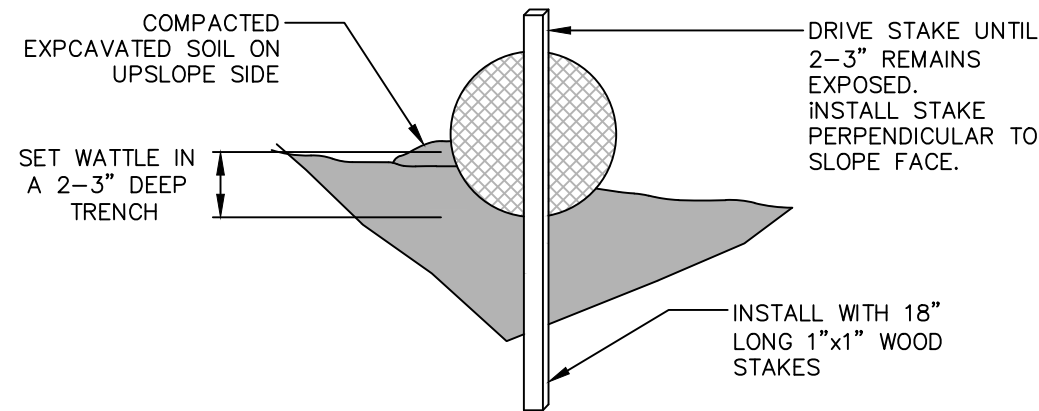
BRISTOL, RHODE ISLAND

LP-103

SHEET 15 OF 28



TYPICAL WATTLE INSTALLATION GUIDE



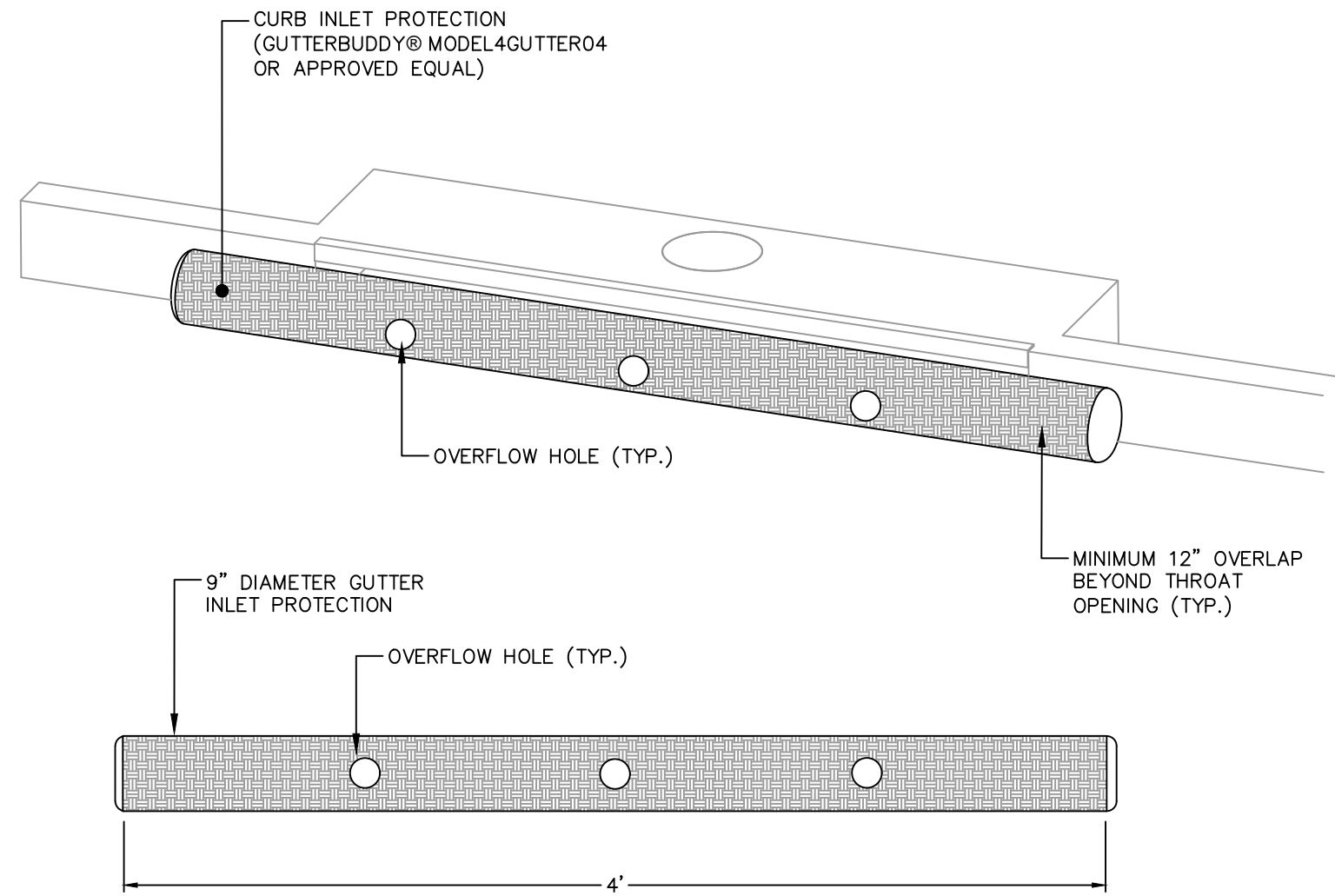
ENTRENCHMENT

NOTES:

1. WATTLES SHALL BE TRENCHED APPROXIMATE 2-3 INCHES AND STAKED SUCH THAT WATTLES DIRECTLY CONTACT SOIL AND PRECLUDE UNDERMINING OR BLOWOUTS. THE TRENCH SHALL BE APPROXIMATELY 9 INCHES WIDE. STAKES SHALL BE DRIVEN THROUGH THE CENTER OF THE WATTLE AT A SPACING OF 3-4 FEET ON CENTER AND NO GREATER THAN 6" FROM THE EACH END OF THE WATTLE. STAKES SHALL BE 1-INCH BY 1-INCH WOODEN STAKES WITH A LENGTH OF 18 INCHES. COMPACT SOIL EXCAVATED TO CREATE TRENCH ON UPHILL SIDE.
2. ENDS OF ADJACENT WATTLES SHALL BE TIGHTLY BUTTED OR OVERLAPPED SO THAT NO OPENING EXISTS FOR WATER TO PASS THROUGH. WATTLES SHALL BE FREE OF DAMAGE OR DEFECTS WHEN DELIVERED TO THE SHIPPER. NO VEHICLES SHALL BE DRIVEN OVER WATTLES.
3. WATTLES SHALL BE 12-INCH SEDIMAX-FR™ FILTRATION ROLL MANUFACTURED BY NORTH AMERICAN GREEN, OR APPROVED EQUAL.

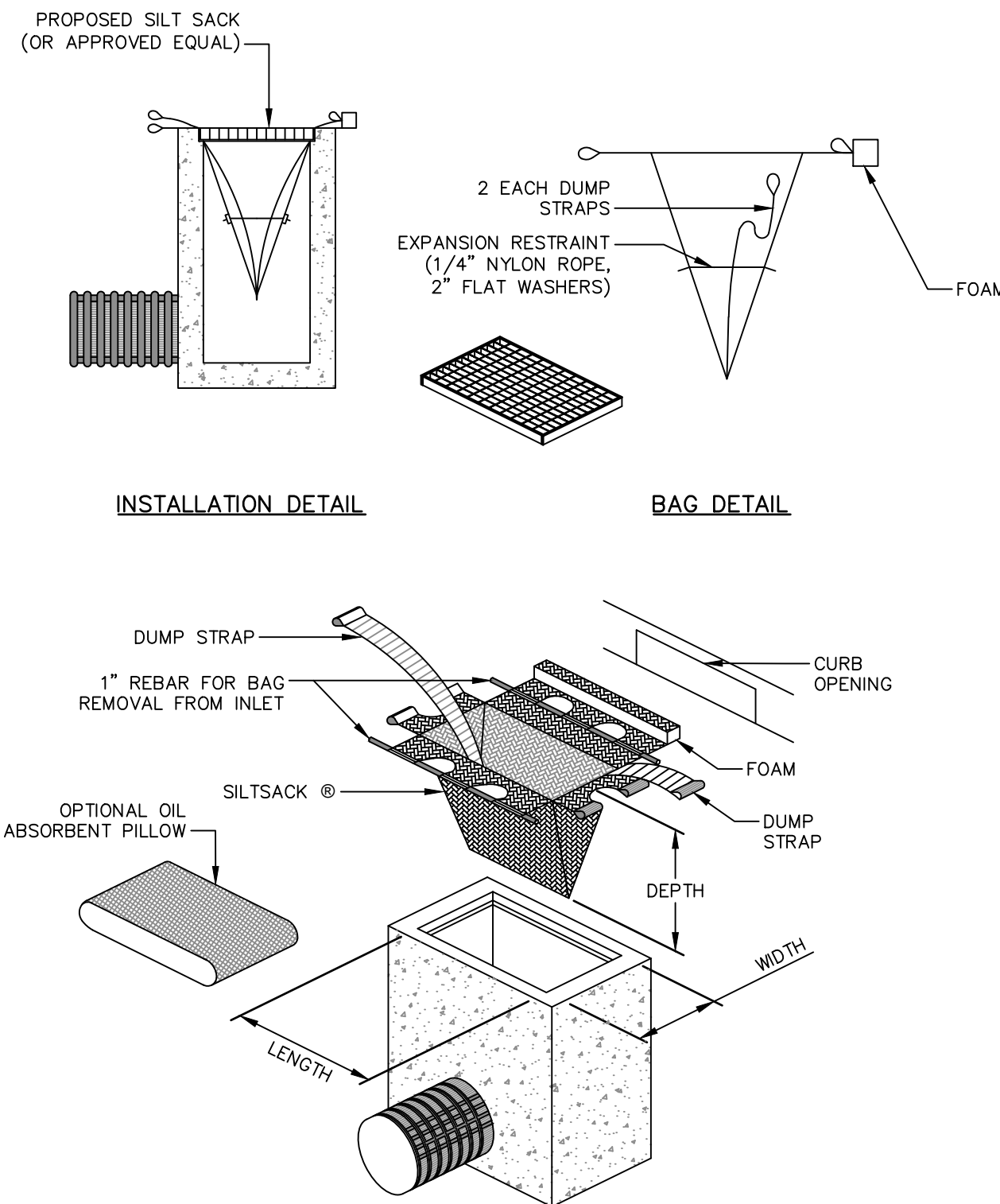
WATTLES

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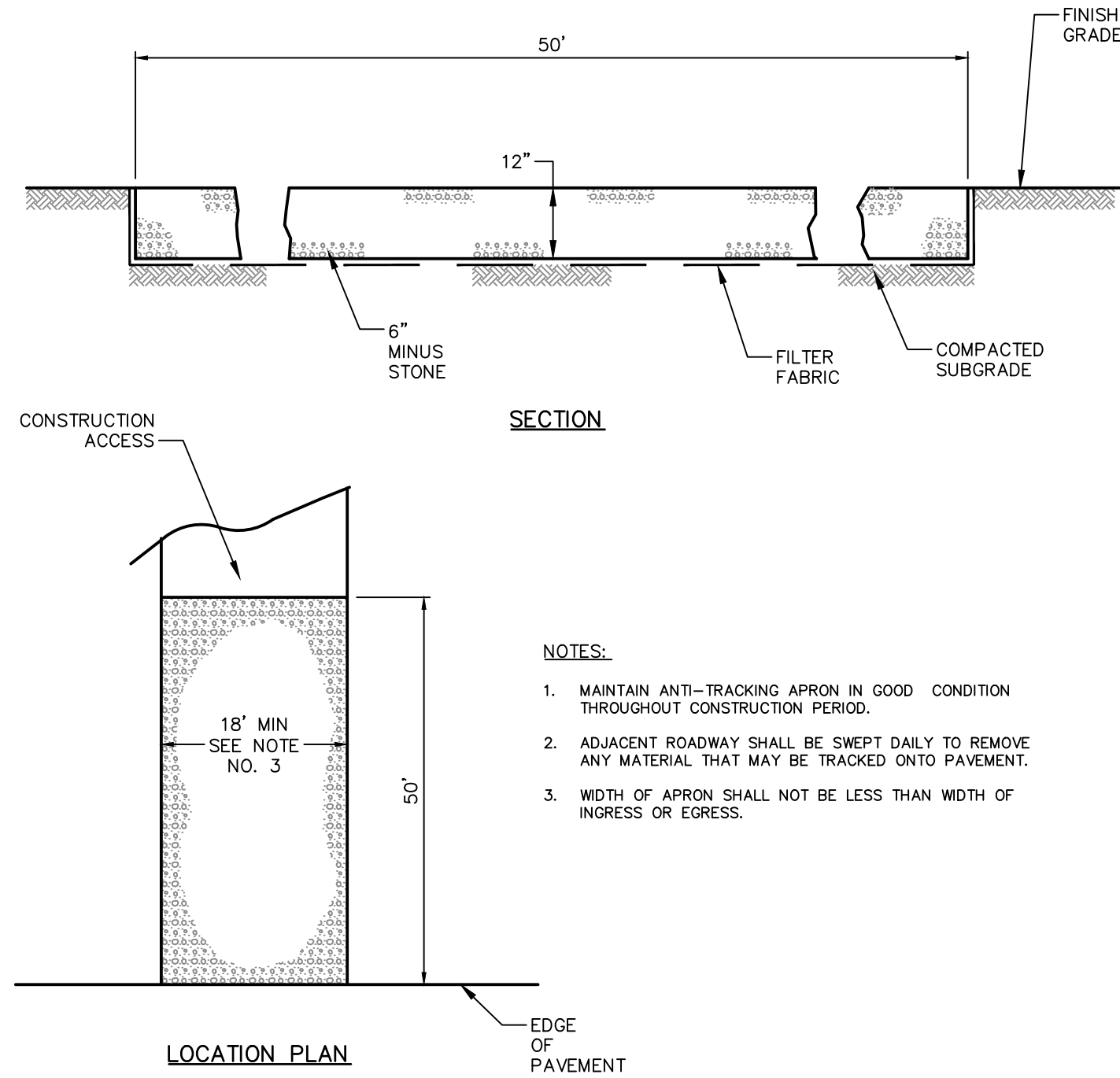
CURB INLET PROTECTION

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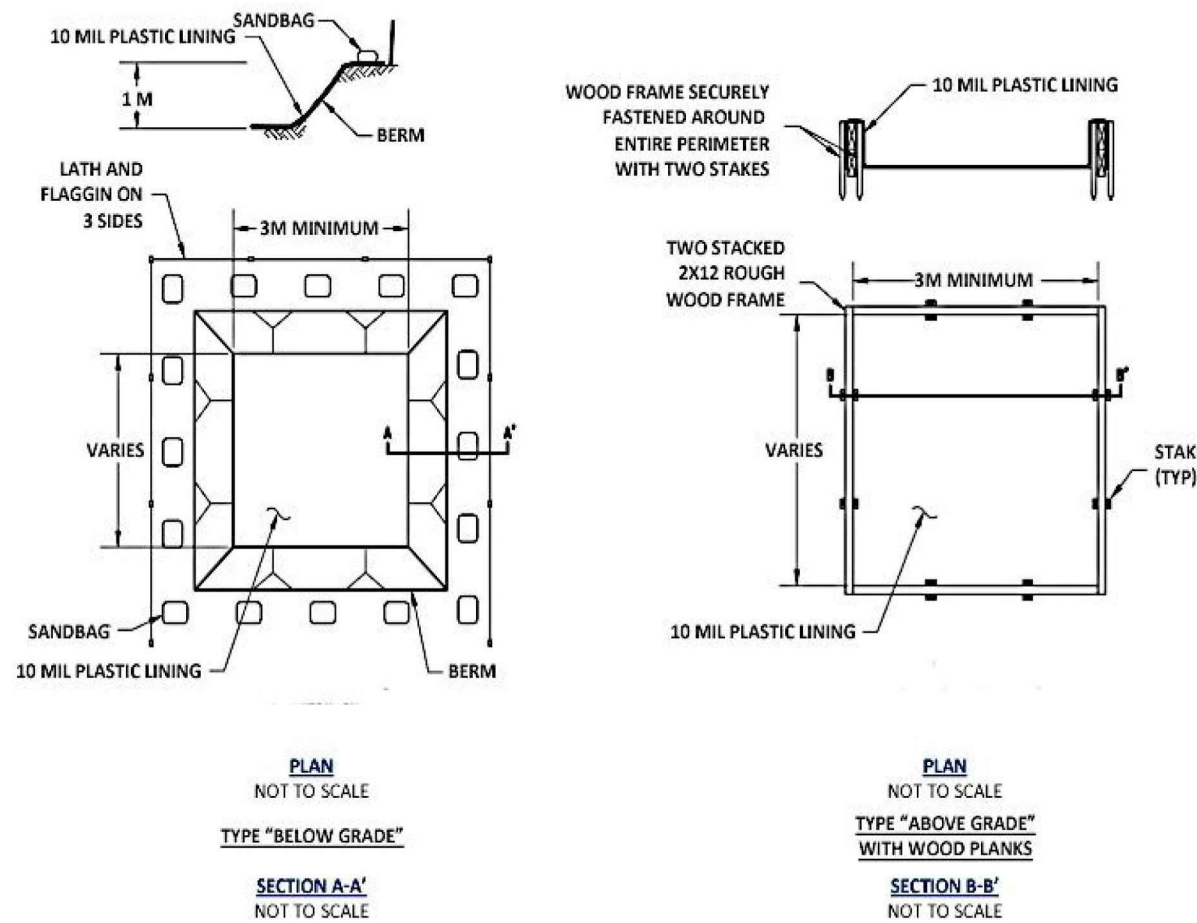
CATCH BASIN INLET PROTECTION

NOT TO SCALE



CONSTRUCTION ACCESS

NOT TO SCALE



NOTES:

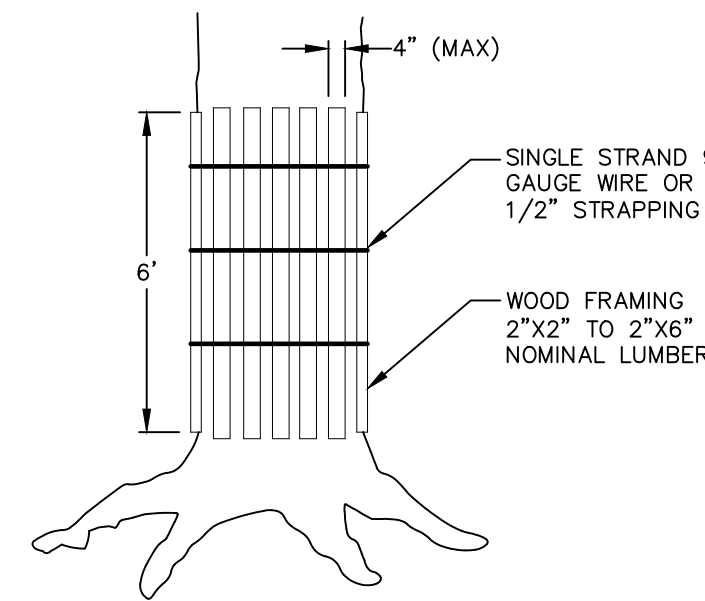
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
2. FOR REFERENCE PURPOSES ONLY. NOT FOR CONSTRUCTION PURPOSES.

REFERENCE:

RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, ISSUED 1989 (REVISED 2014)

TEMPORARY CONCRETE WASHOUT FACILITY

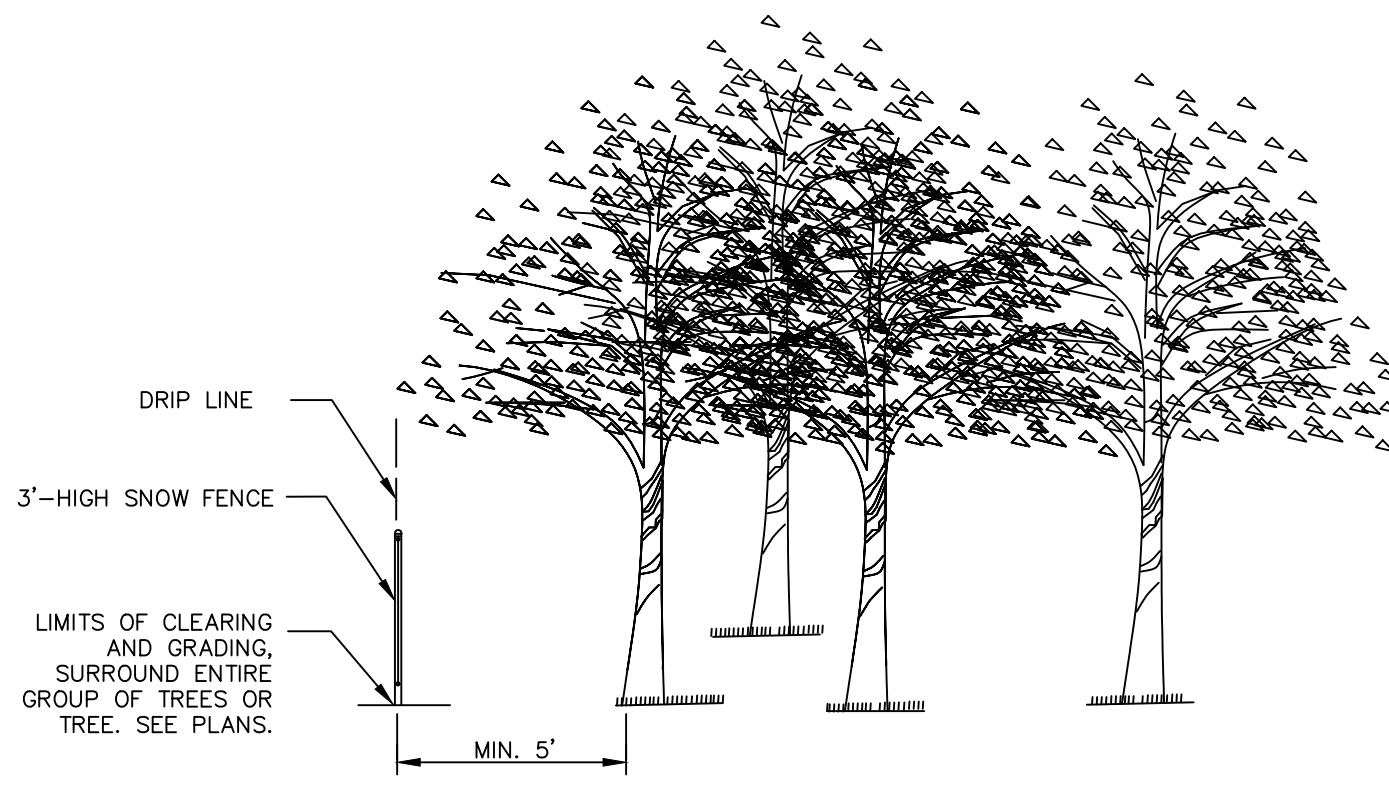
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NOTE:

SHALL BE IN ACCORDANCE WITH SECTION L11 OF THE STANDARD SPECIFICATIONS.

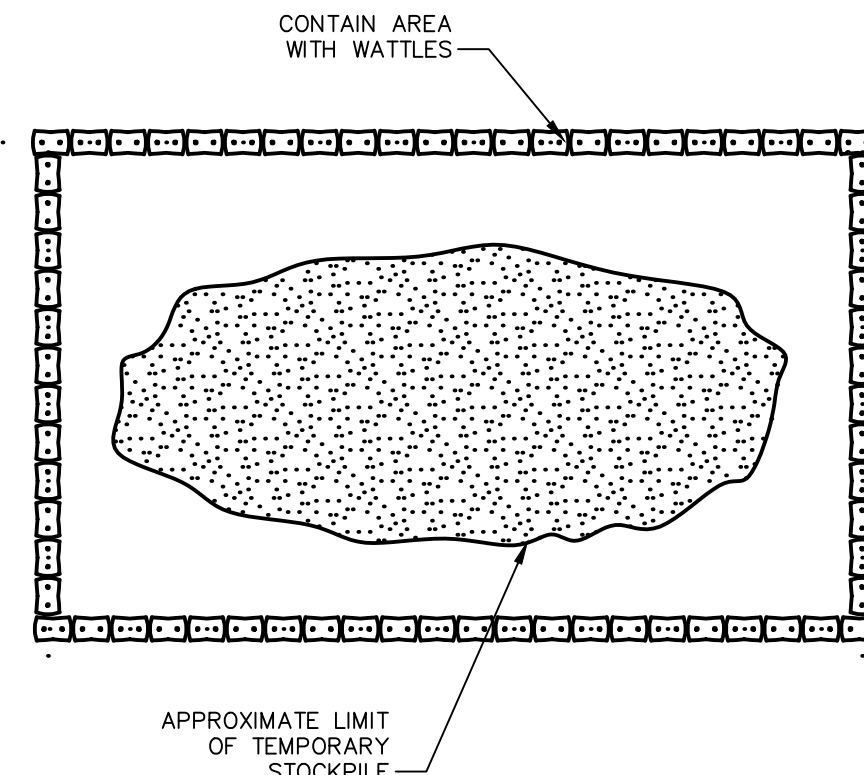
INDIVIDUAL TREE



GROUPING OF TREES

TREE PROTECTION

NOT TO SCALE



TEMPORARY SOIL STOCKPILE

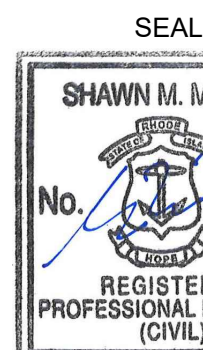
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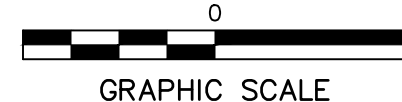
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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

125 THAMES STREET

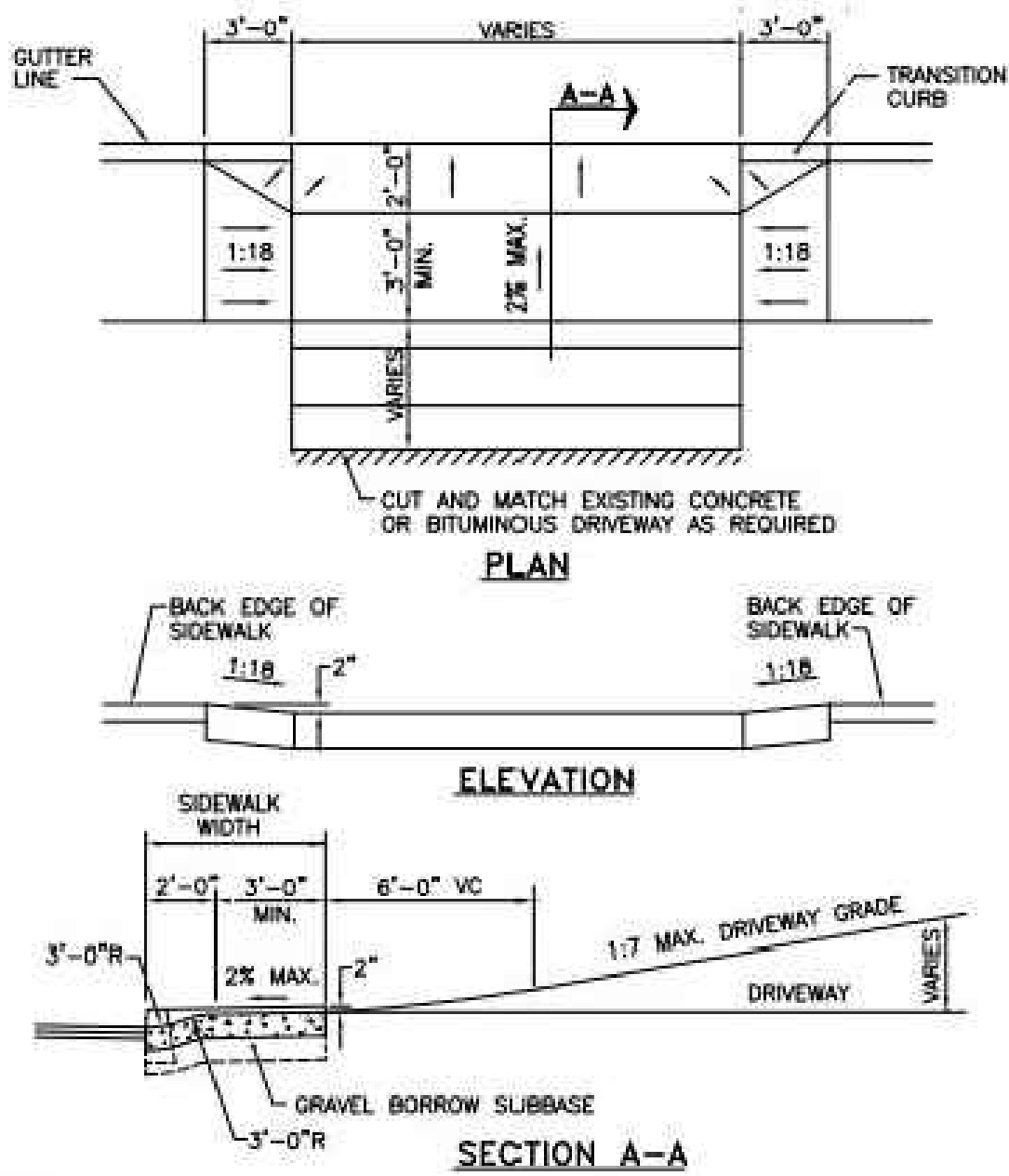
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

CD-501

SHEET 16 OF 28

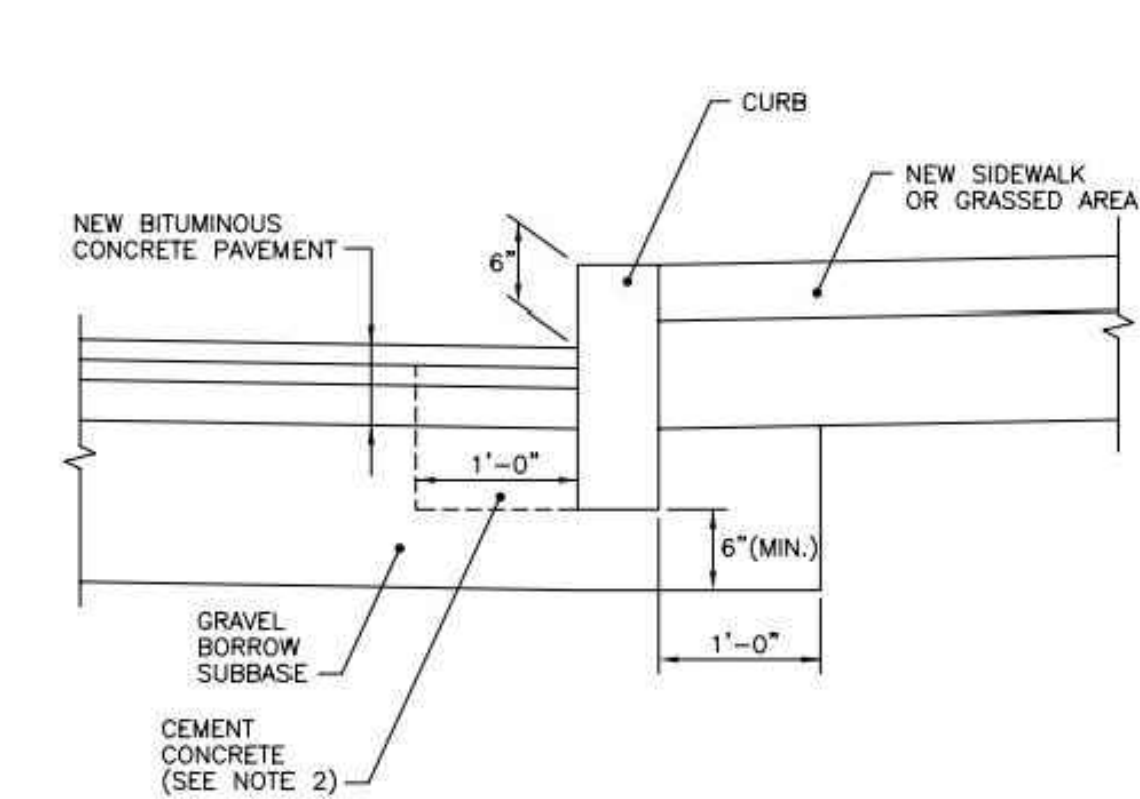
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MS VIEW: Plotter: AUTOCAD PDF (GENERAL DOCUMENTATION) PC3 CTB File: FO.STB



NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
2. WHEN DRIVEWAY IS BELOW BACK EDGE OF SIDEWALK PROFILE, DET. 43.4.1 MUST BE USED.

DRIVEWAY DEVELOPMENT

NOT TO SCALE



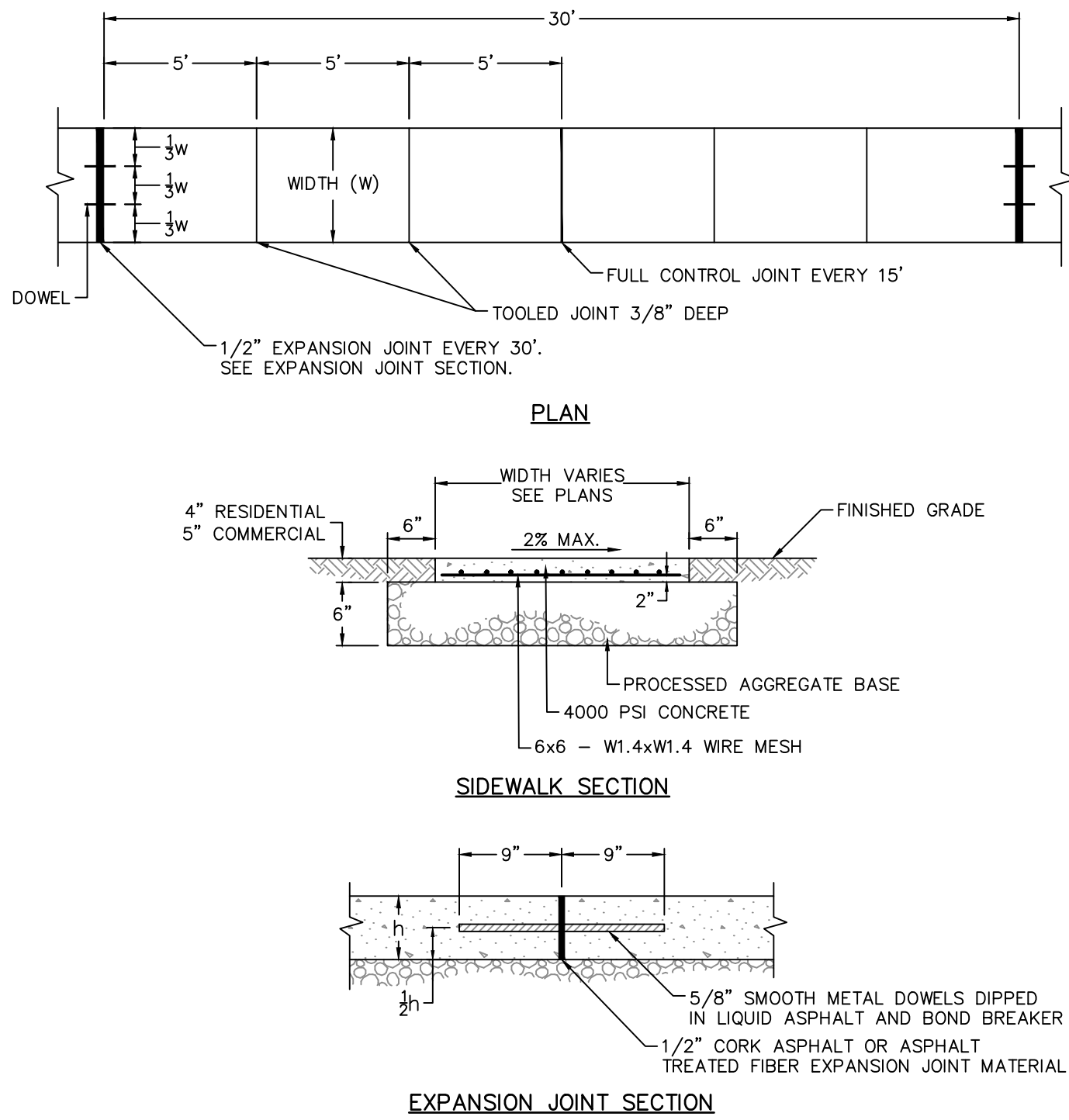
NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
2. CEMENT CONCRETE SHALL BE USED ONLY WHEN THE CURB IS SET AFTER THE BASE AND/OR BINDER COURSES ARE IN PLACE, OTHERWISE THE CEMENT CONCRETE WILL BE ELIMINATED AND THE GRAVEL BROUGHT UP TO BOTTOM OF THE BASE COURSE.

CURB SETTING

NOT TO SCALE

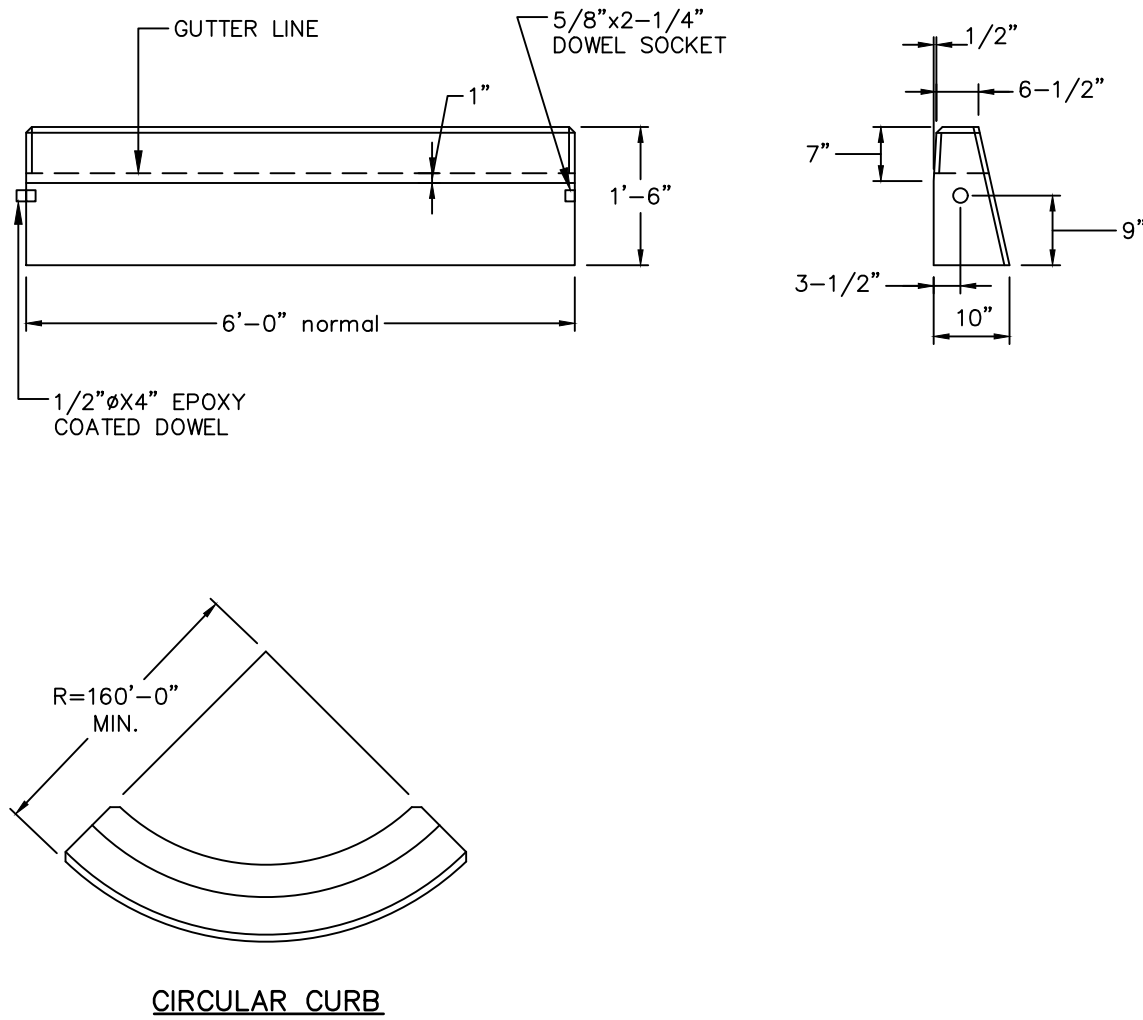
PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE



CONCRETE SIDEWALK

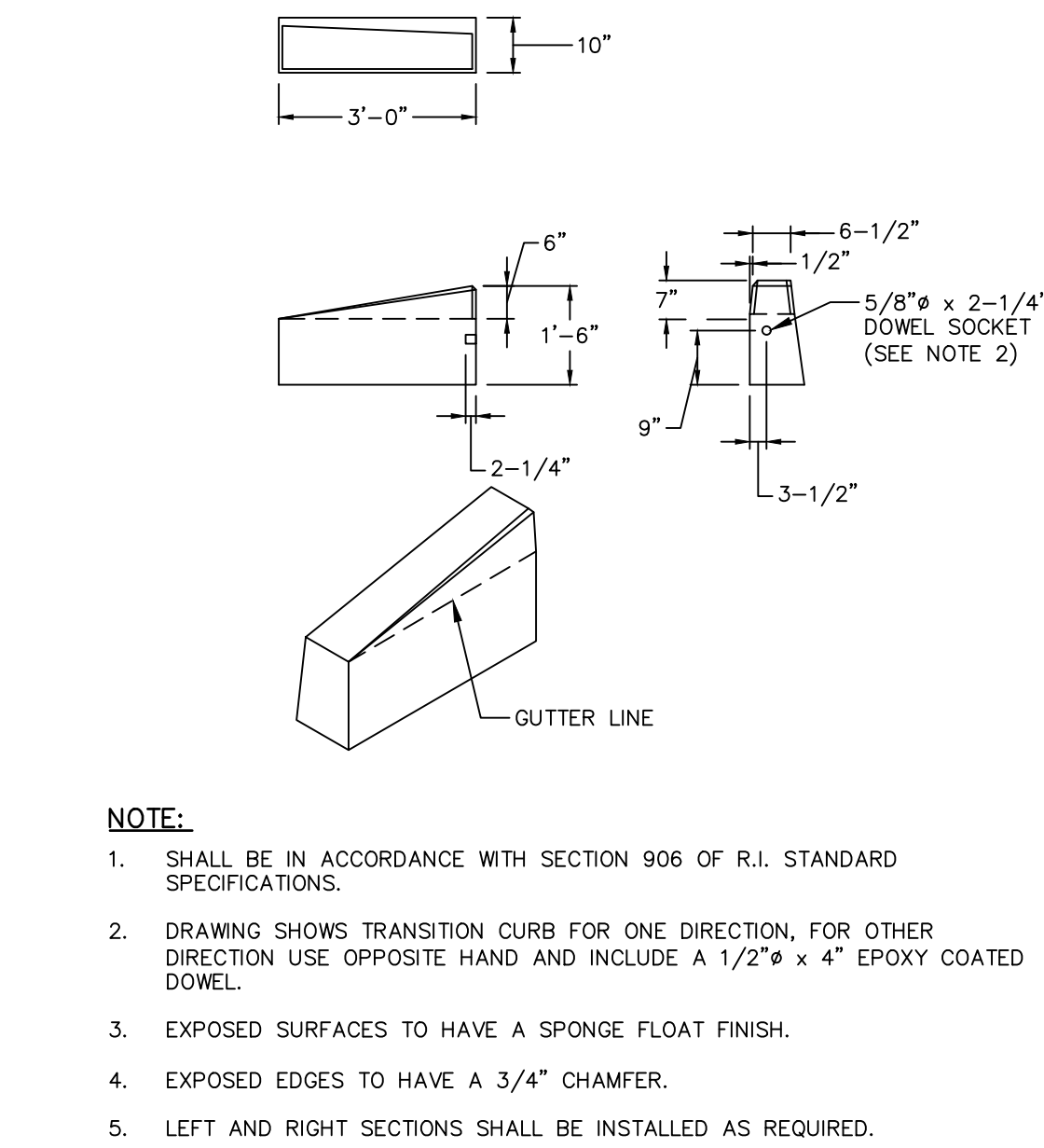
NOT TO SCALE



NOTE:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF R.I. STANDARD SPECIFICATIONS.
2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0".
3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADII OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.
5. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

CONCRETE CURB

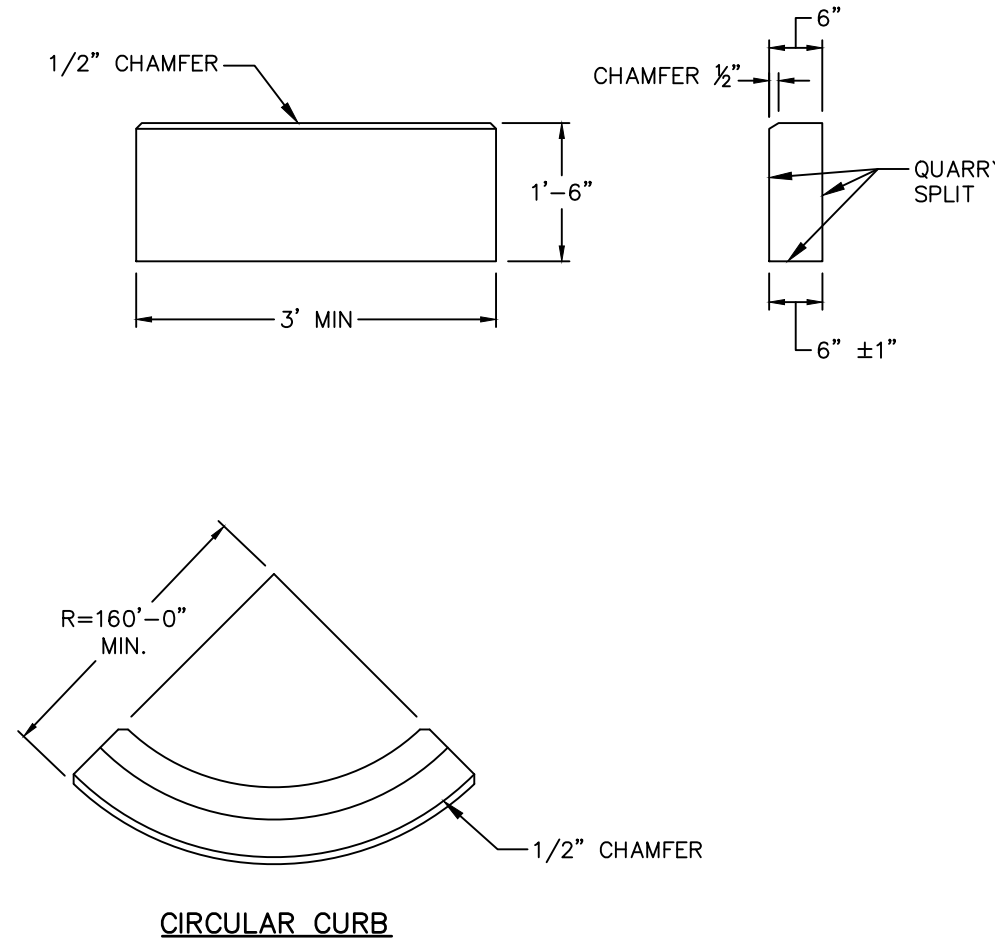
NOT TO SCALE



NOTE:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF R.I. STANDARD SPECIFICATIONS.
2. DRAWING SHOWS TRANSITION CURB FOR ONE DIRECTION, FOR OTHER DIRECTION USE OPPOSITE HAND AND INCLUDE A 1/2" x 4" EPOXY COATED DOWEL.
3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
4. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.
5. LEFT AND RIGHT SECTIONS SHALL BE INSTALLED AS REQUIRED.

GRANITE TRANSITION CURB

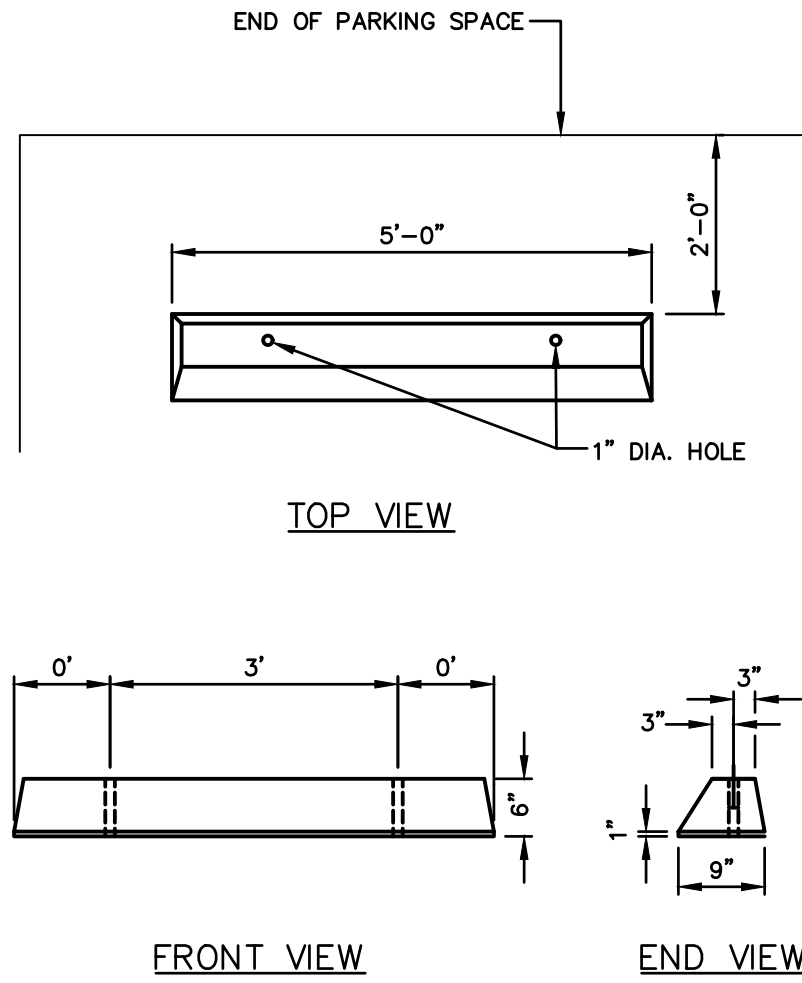
NOT TO SCALE



NOTE:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF R.I. STANDARD SPECIFICATIONS.
2. TOP SURFACE TO BE DRESSED BY SAW. REMAINDER MAY BE QUARRY SPLIT.
3. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR PIECES TO BE 3'-0".
4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADII OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.

GRANITE CURB

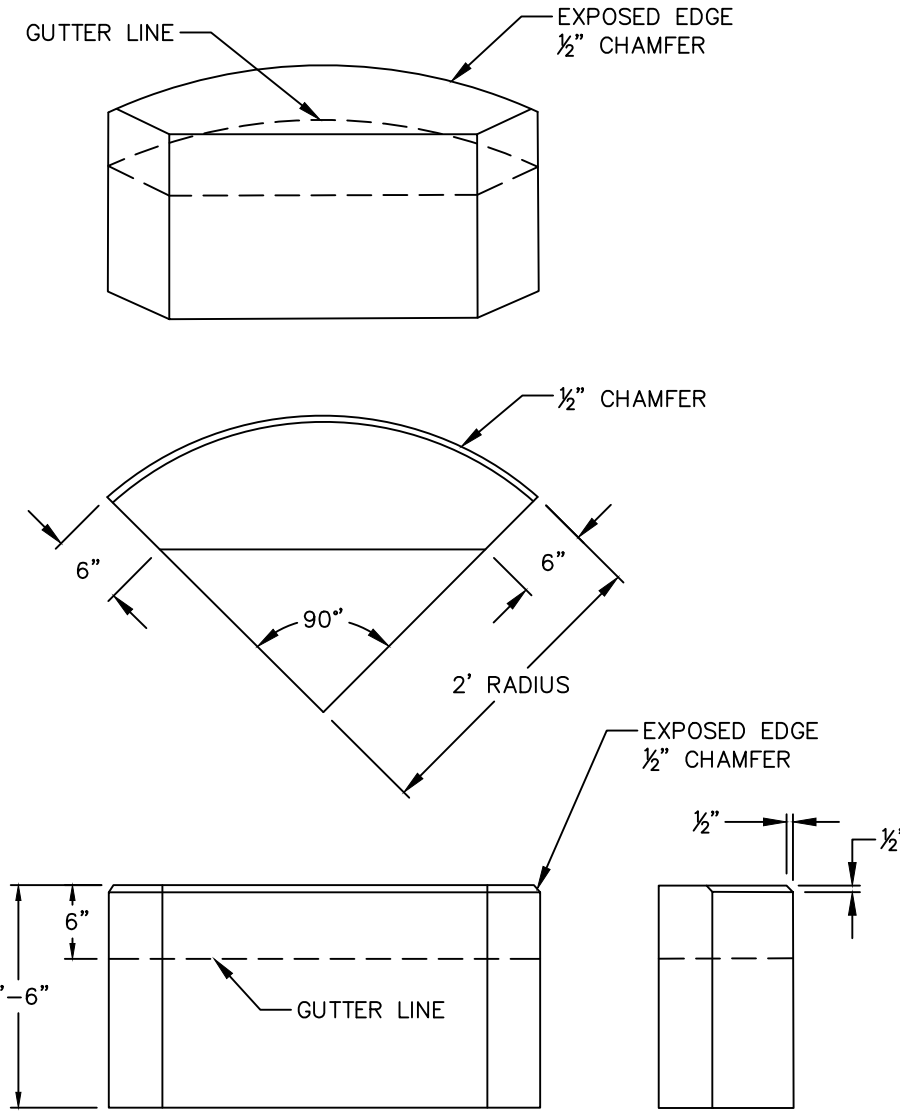
NOT TO SCALE



NOTES:
1. ALL SURFACES TO HAVE A SPONGE FLOAT FINISH.
2. EACH PRECAST CONCRETE CAR STOP SHALL BE FURNISHED WITH TWO 3/4" x 18" STEEL RODS.
3. ALL EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

PRECAST CONCRETE WHEEL STOPS

NOT TO SCALE



NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
2. TOP SURFACE TO BE DRESSED BY SAW. REMAINDER MAY BE QUARRY SPLIT.

GRANITE RADIUS CURB

NOT TO SCALE

| No. | DATE | DESCRIPTION | DESIGNER | REVIEWER |
|-----|------------|--|----------|----------|
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| 4 | 5/19/23 | RESPONSE TO TRC AND PARE COMMENTS | KLM/MH | SMM |
| 3 | 3/27/23 | PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS | KLM | SMM |

SEAL

SEAL



SCALE:

HORIZ.: AS NOTED

VERT.:

DATUM:

HORIZ.:

VERT.:



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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

125 THAMES STREET

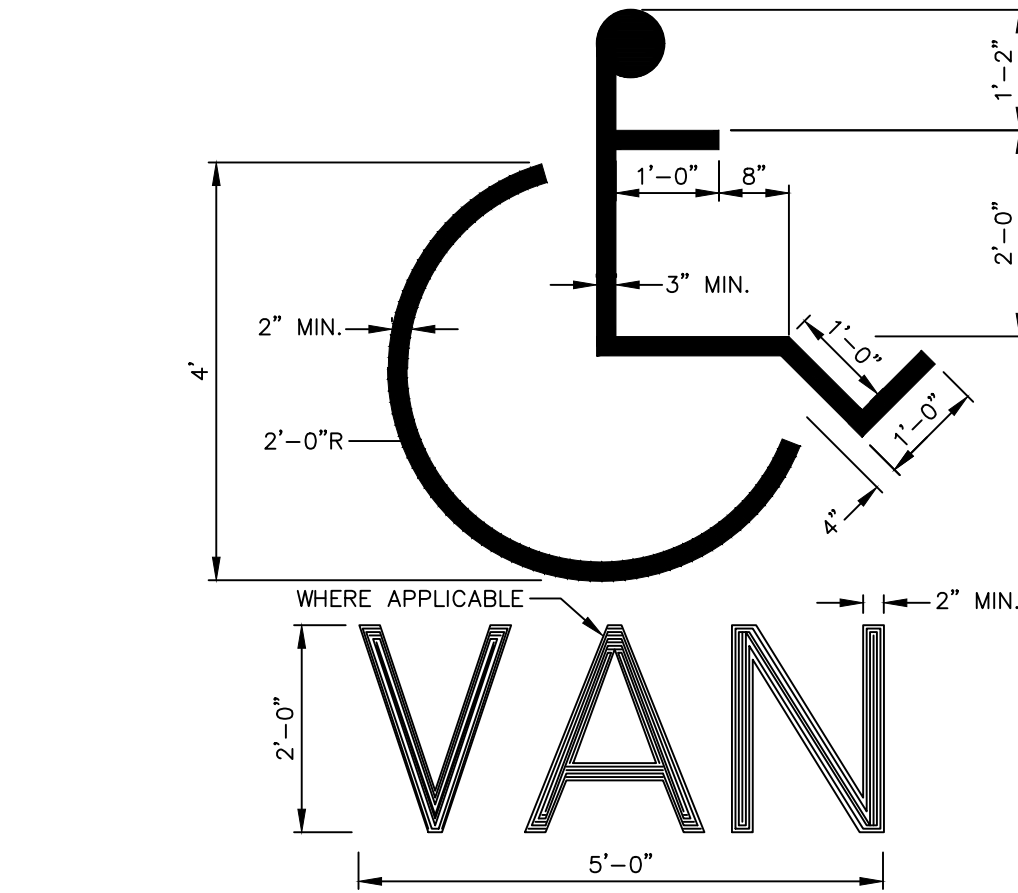
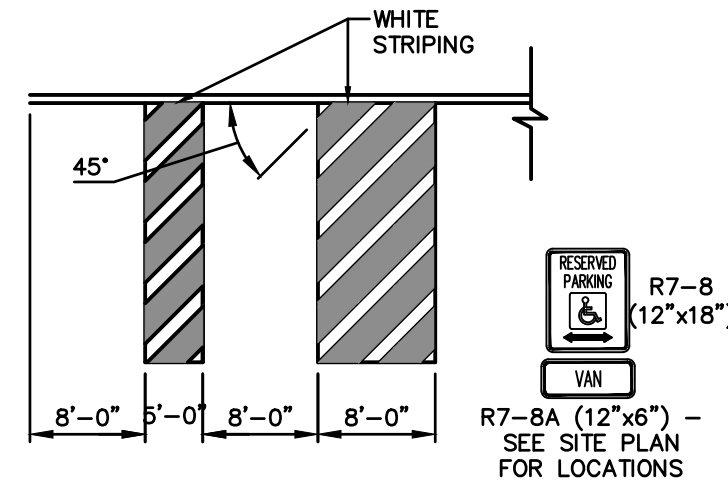
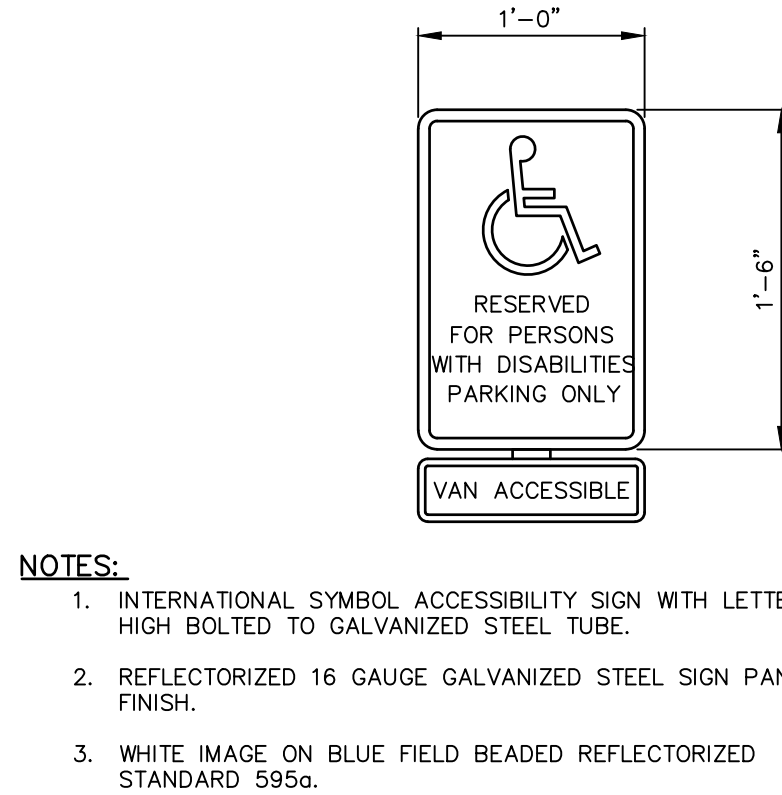
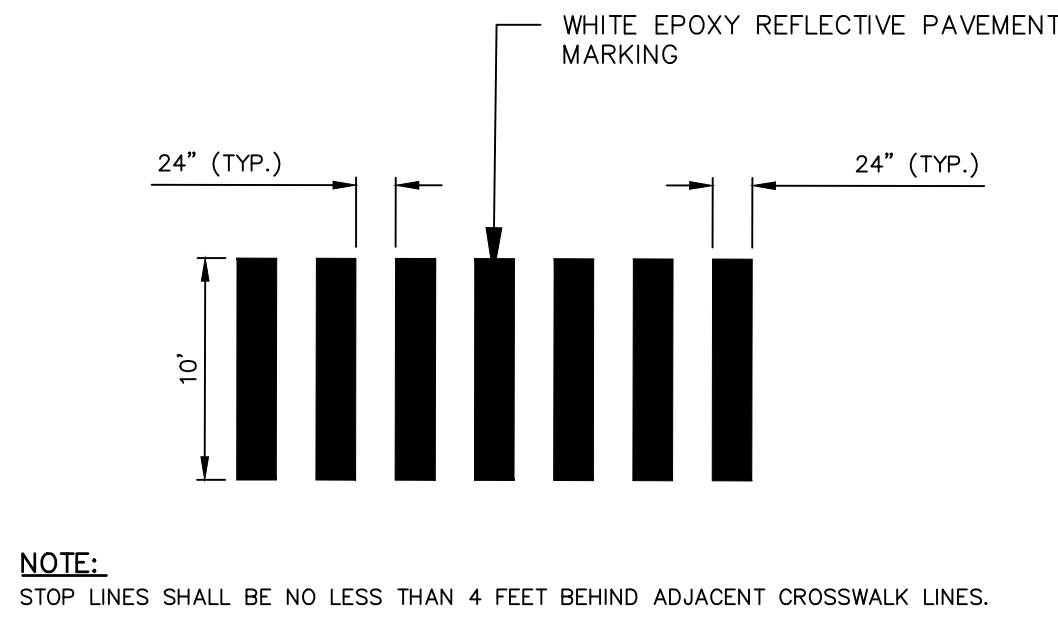
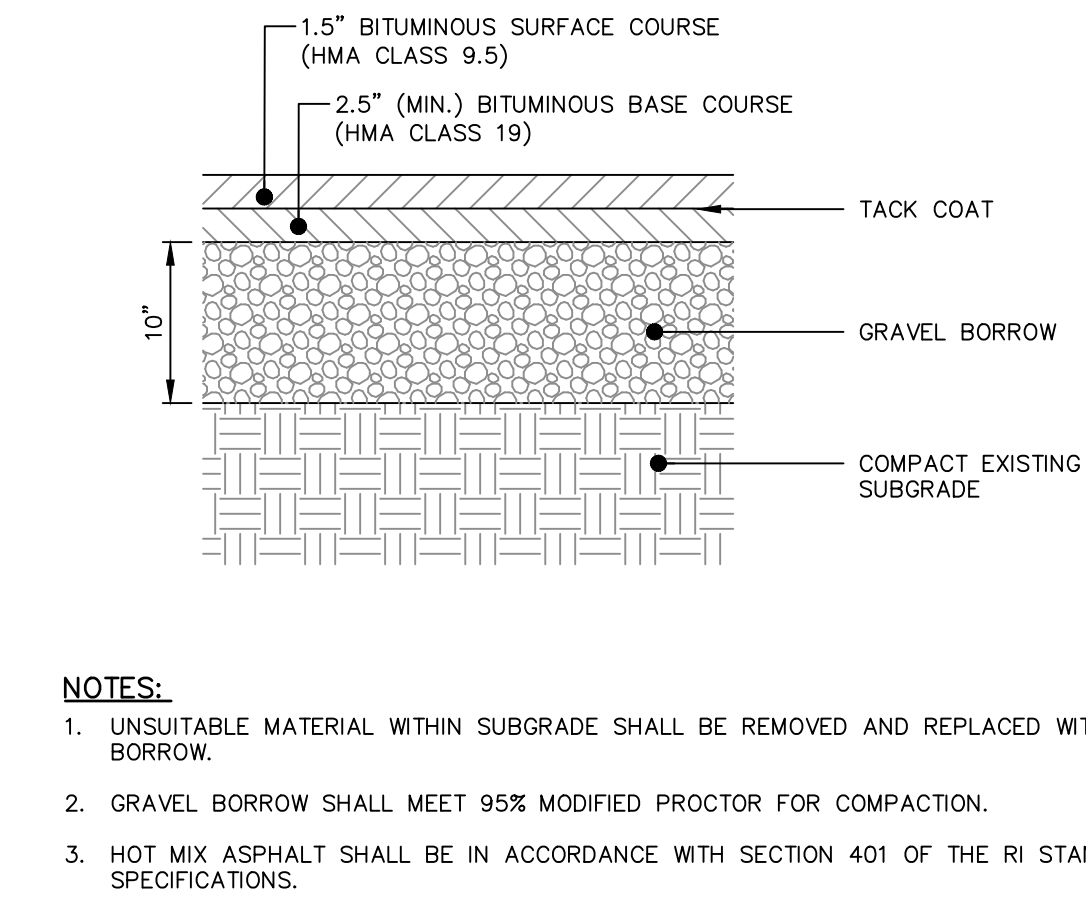
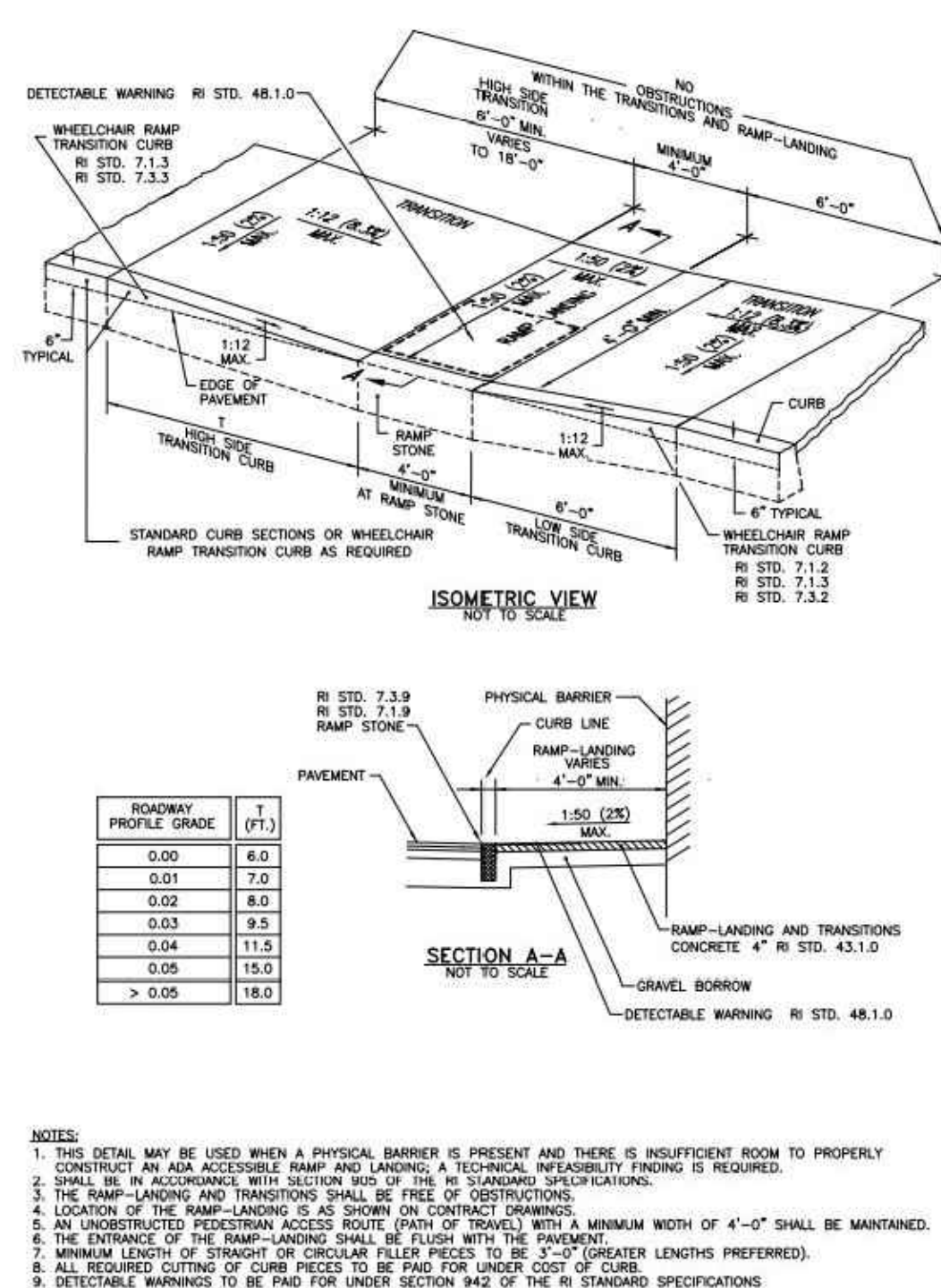
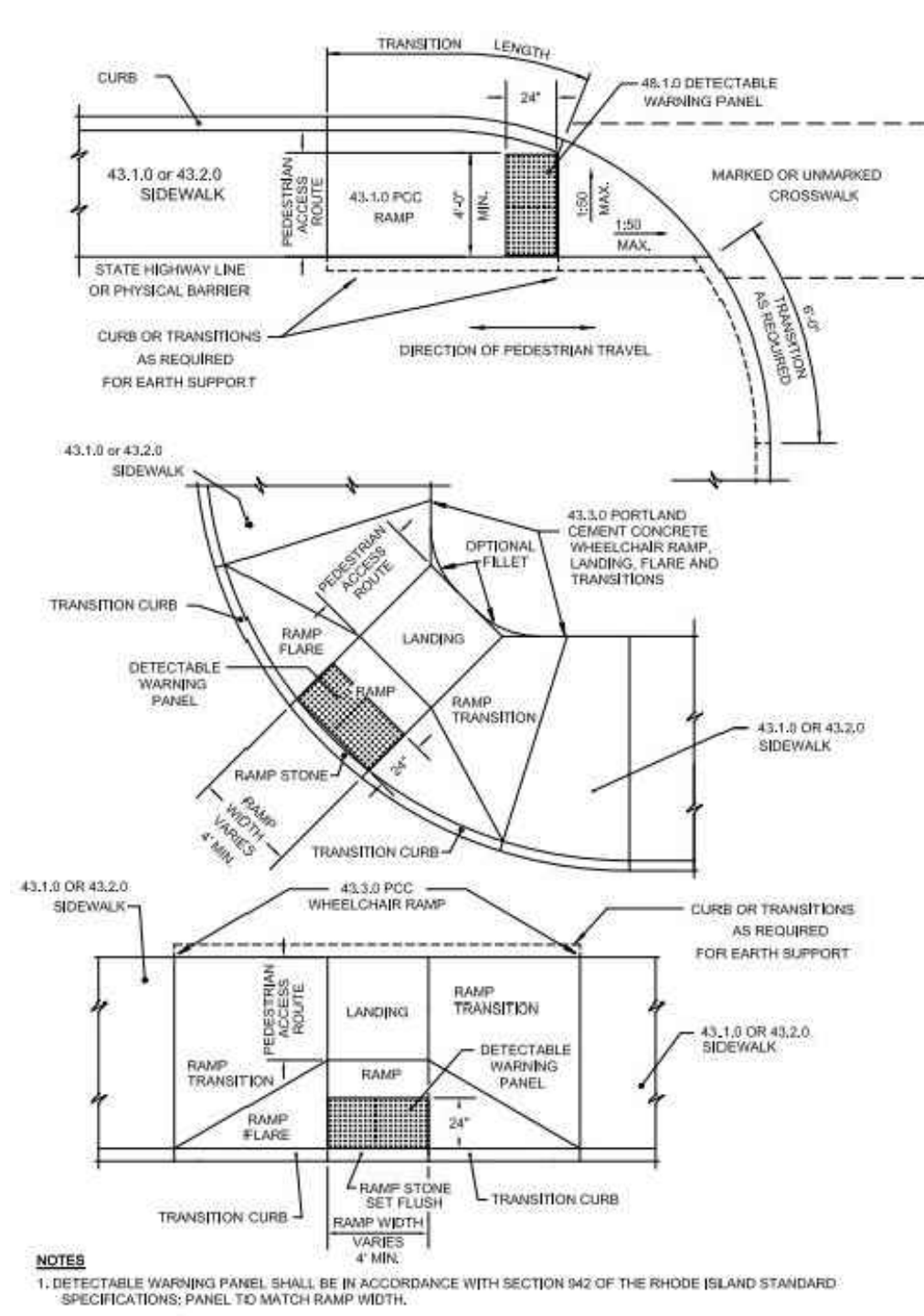
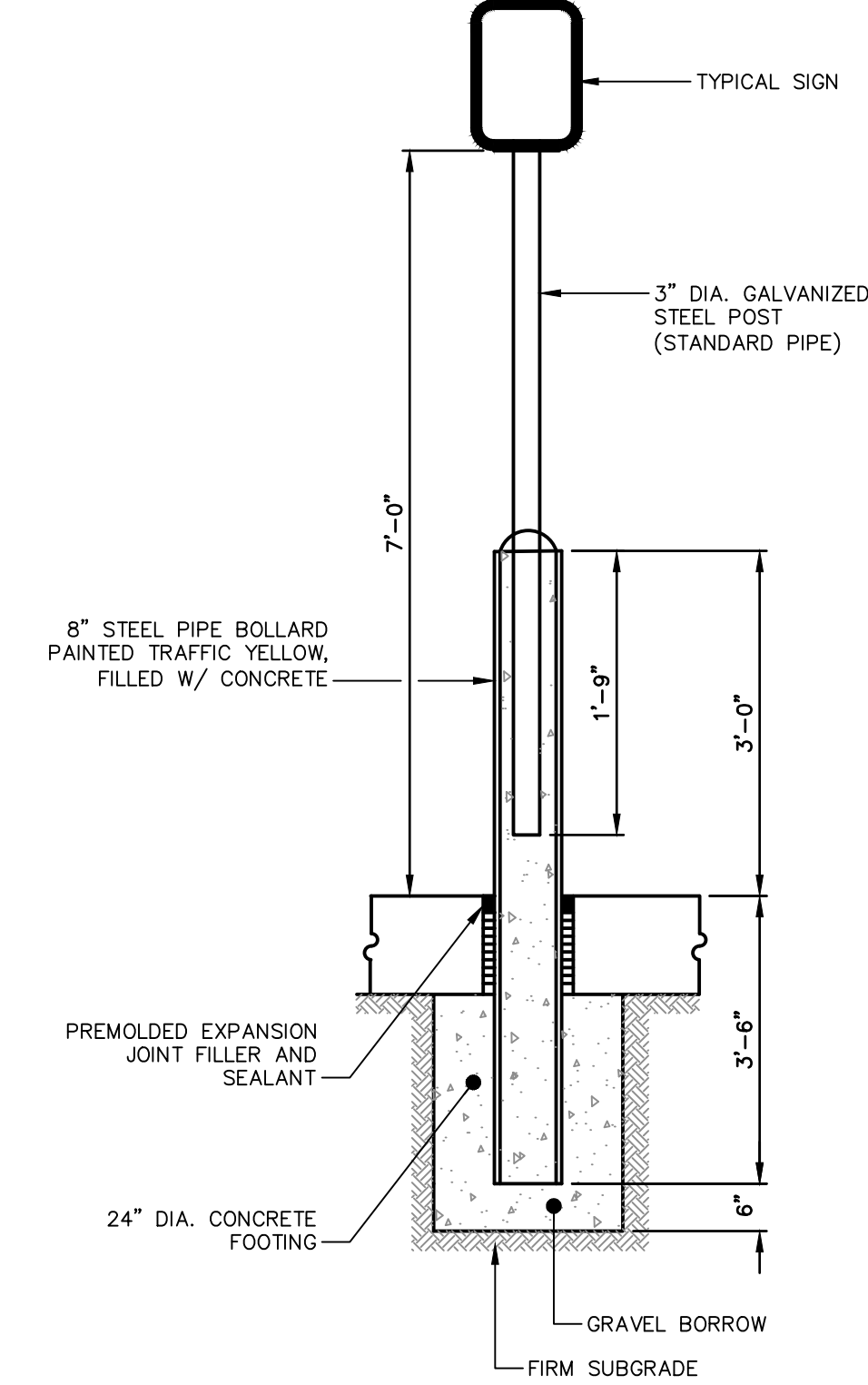
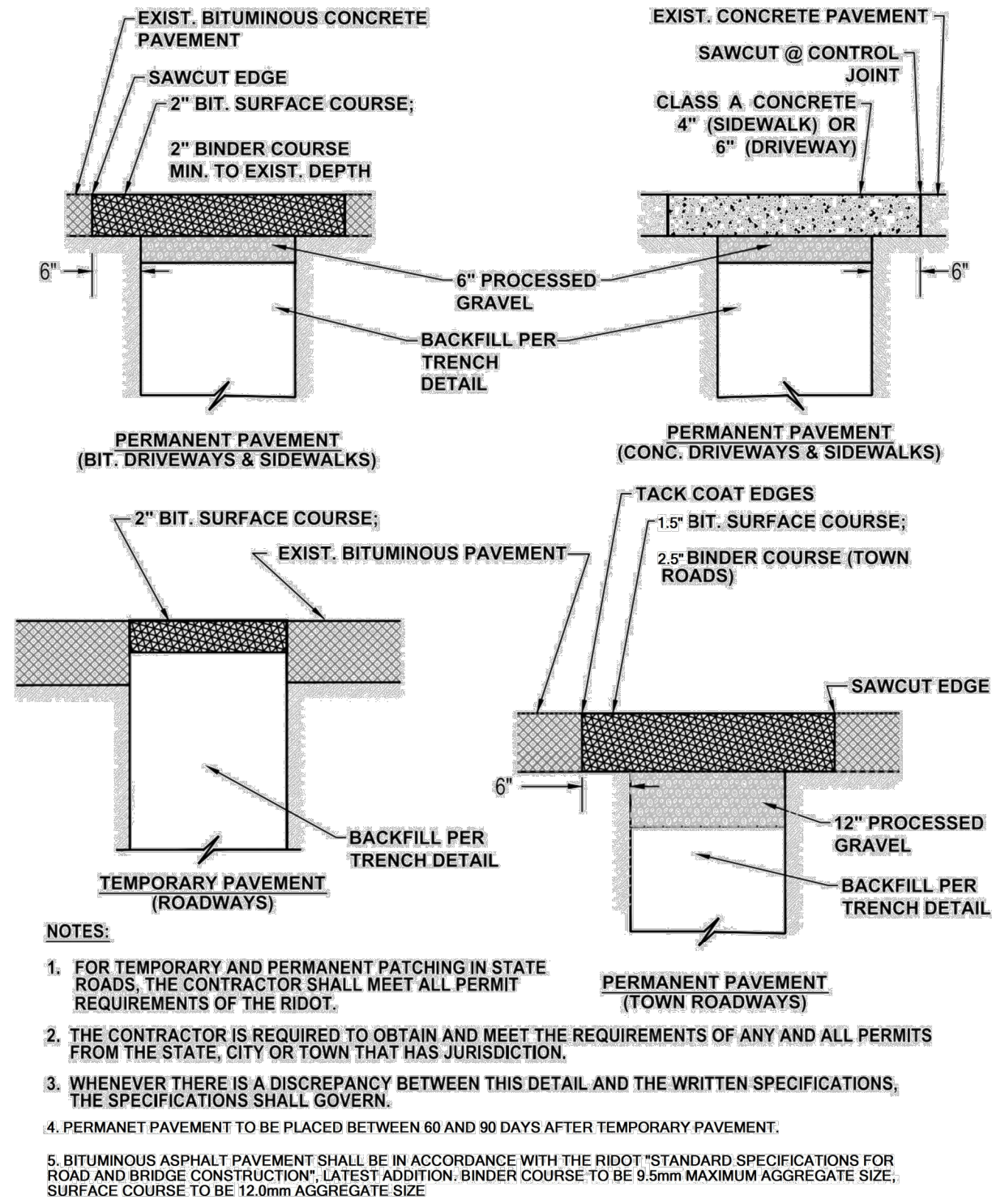
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

CD-502

SHEET 17 OF 28

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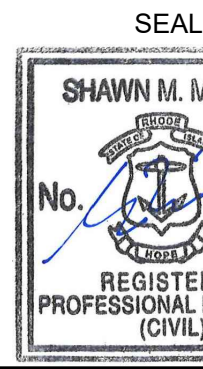


PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

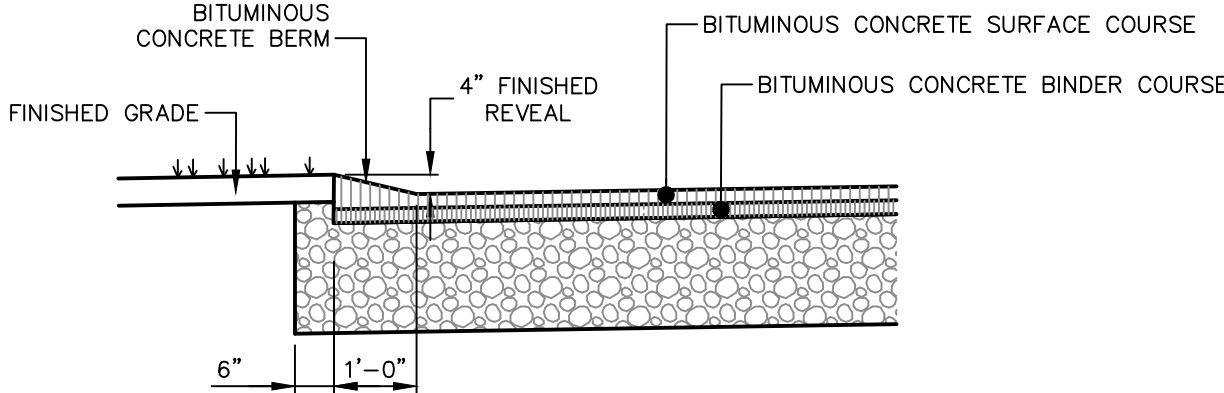
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SEAL



BITUMINOUS CONCRETE BERM

NOT TO SCALE



SCALE:

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| HORIZ.: AS NOTED |
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| VERT.: |
| GRAPHIC SCALE |



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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

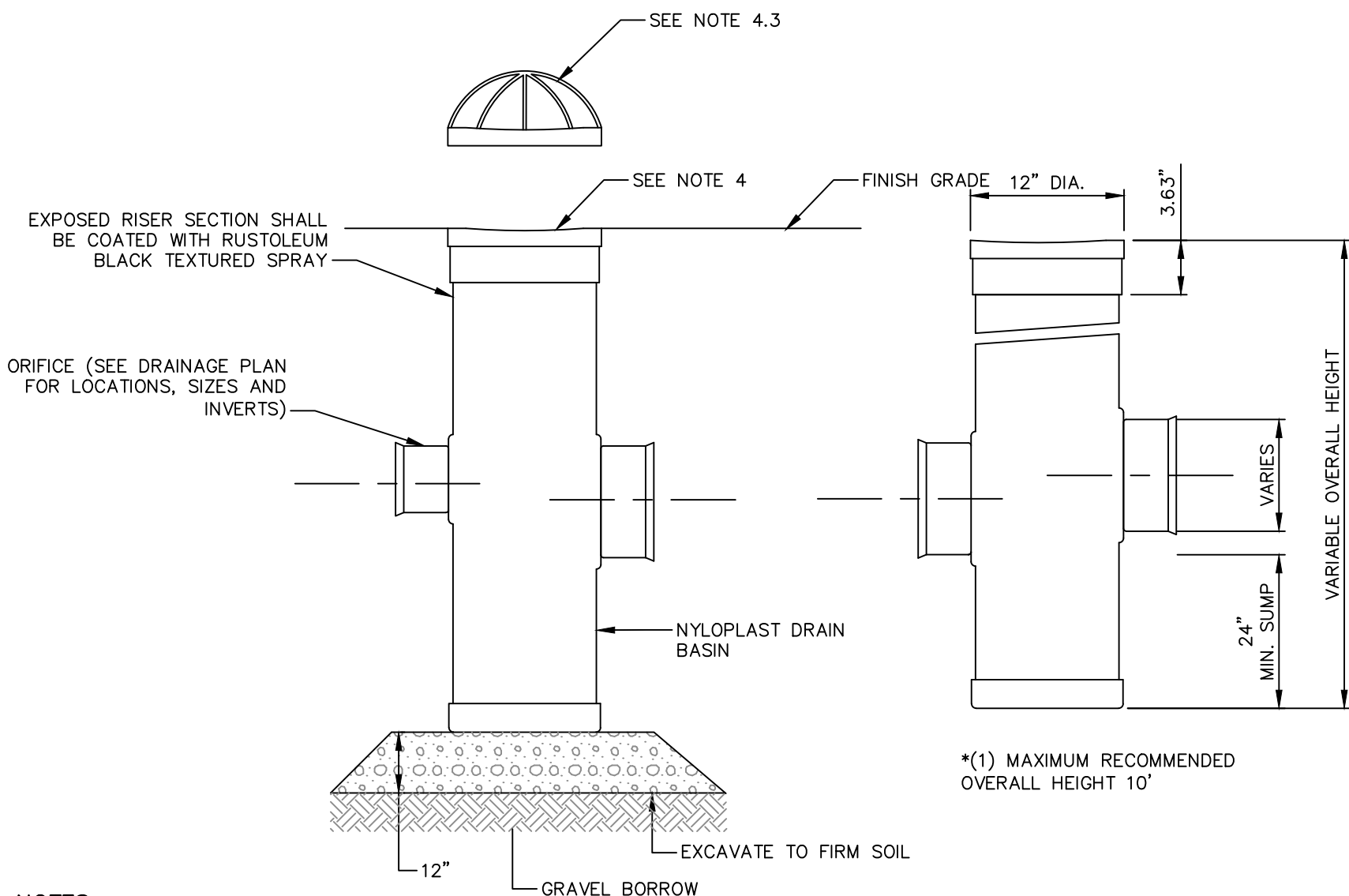
125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

CD-503

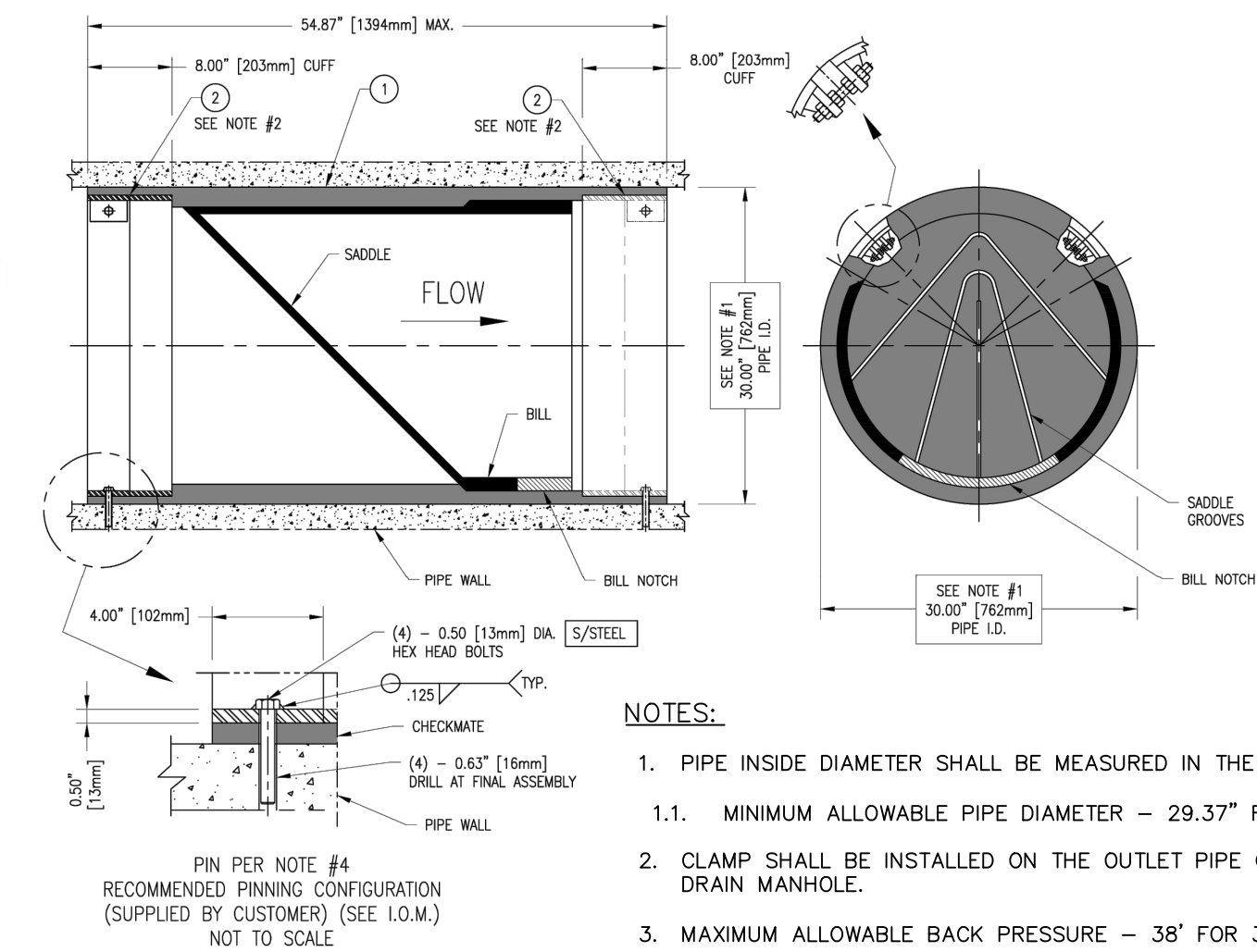
SHEET 18 OF 28



- NOTES:
- SEE DRAINAGE FOR PIPE SIZE, PIPE, MATERIAL, AND INVERTS.
 - GRAVEL BORROW SHALL BE COMPACTED TO 95-PERCENT MODIFIED PROCTOR.
 - GRAVEL BORROW SHALL CONFORM TO M.01.09, TABLE 1, COLUMN 1A OF THE STANDARD SPECIFICATIONS.

DRAIN BASIN

NOT TO SCALE

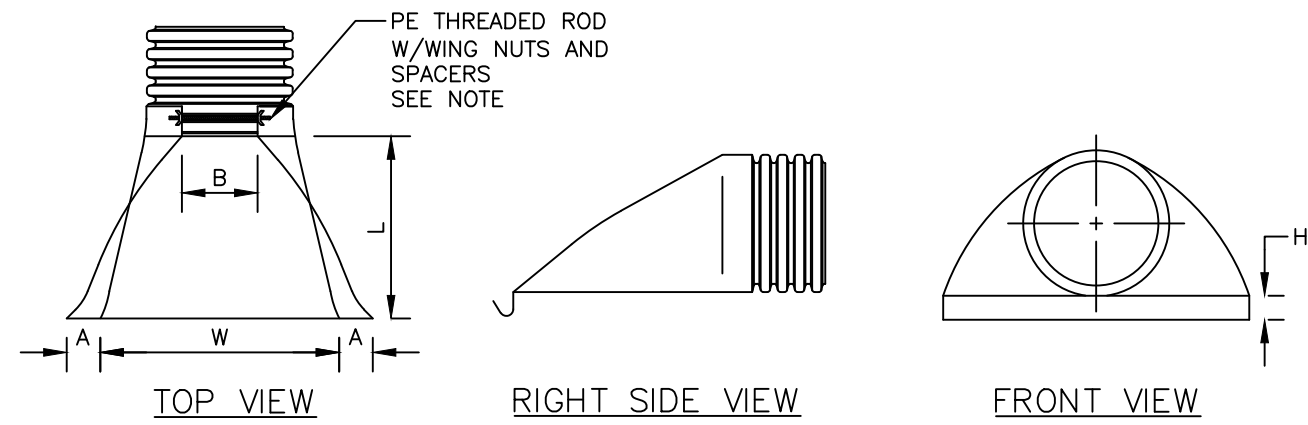


- NOTES:
- PIPE INSIDE DIAMETER SHALL BE MEASURED IN THE FIELD.
 - MINIMUM ALLOWABLE PIPE DIAMETER - 29.37\" FOR 30\" NOMINAL
 - CLAMP SHALL BE INSTALLED ON THE OUTLET PIPE OF THE PROPOSED DRAIN MANHOLE.
 - MAXIMUM ALLOWABLE BACK PRESSURE - 38\" FOR 30\" NOMINAL
 - IT IS RECOMMEND TO BOLT OR PIN CHECKMATE TO PIPE AS SHOWN, 4 PLACES 90° APART.
 - TIDE GATE VALVE SHALL BE CHECKMATE ULTRAFLEX SLIP-IN INLINE CHECK VALVE MANUFACTURED BY TIDFLEX TECHNOLOGIES OR APPROVED EQUAL.

TIDE VALVE

NOT TO SCALE

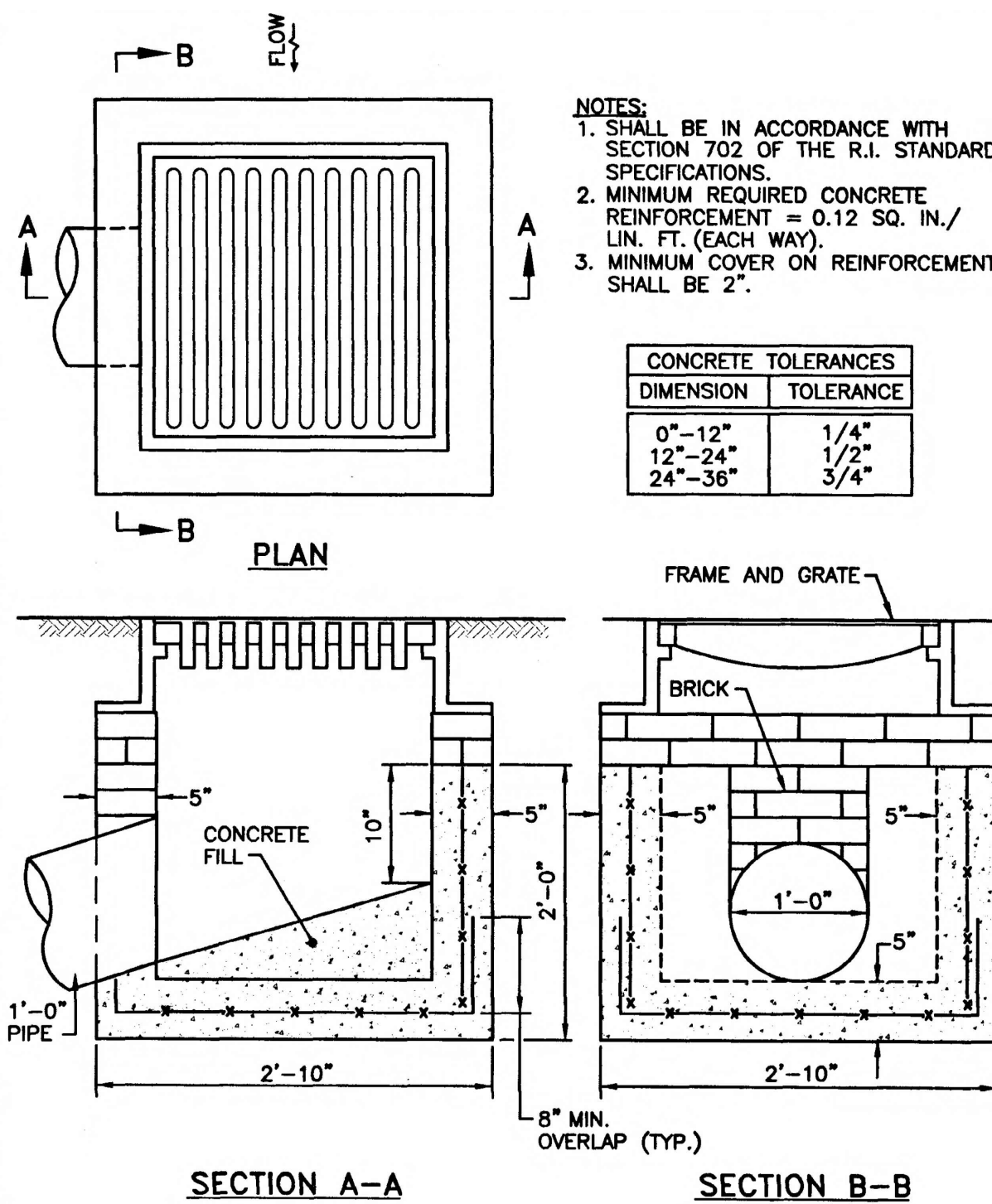
| DIA. | 15" |
|------|------|
| A | 6.5" |
| B | 10" |
| H | 6.5" |
| L | 25" |
| W | 29" |



- NOTES:
- SHALL BE MANUFACTURED WITH POLYETHYLENE RESINS AS DESCRIBED AND DEFINED IN ASTM D3350.
 - WHEN PROVIDED, THE METAL THREADED FASTENING ROD SHALL BE STAINLESS STEEL

HDPE FLARED END SECTION

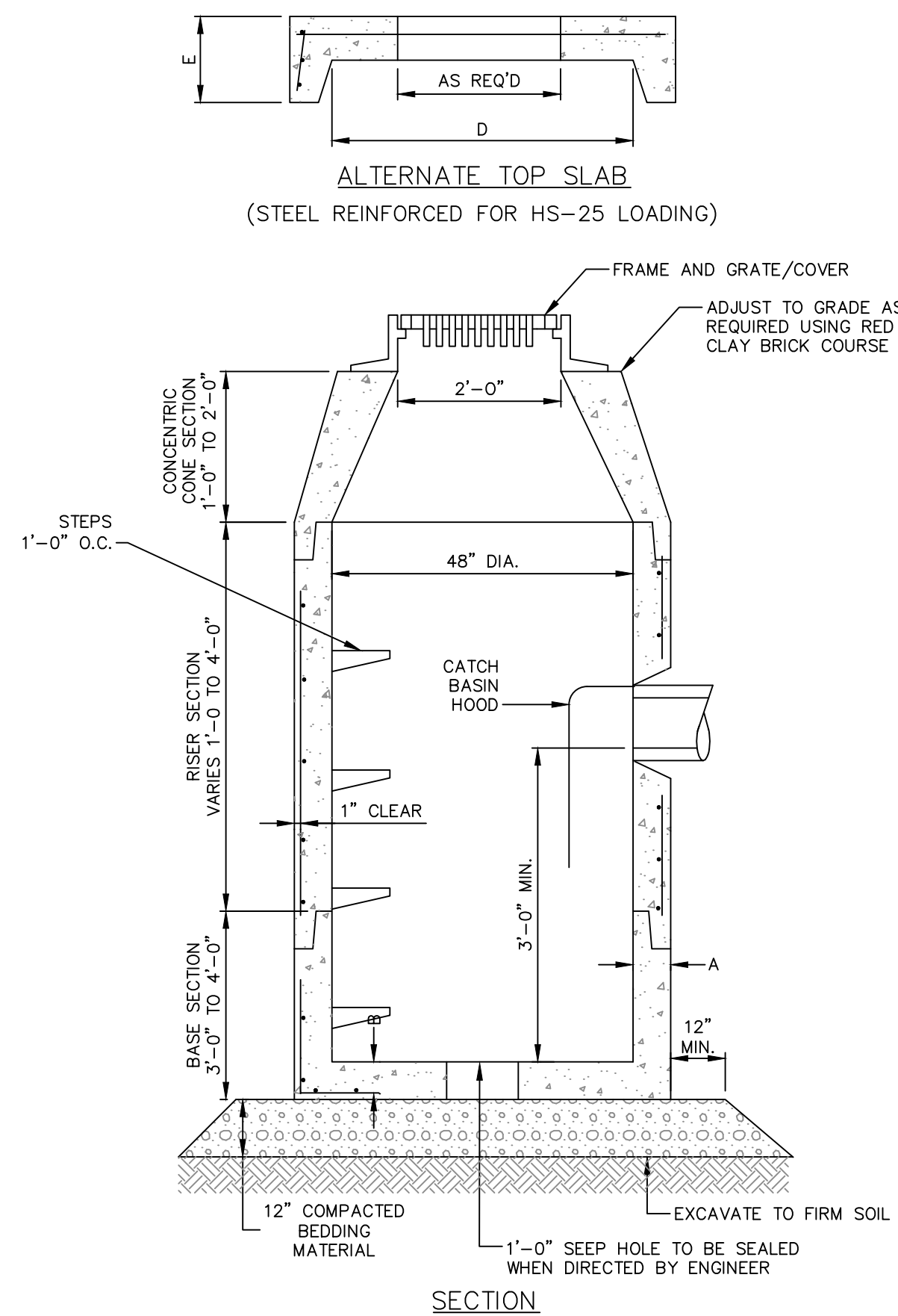
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PRECAST CONCRETE DROP INLET

(R.I. STD. 4.5.0)

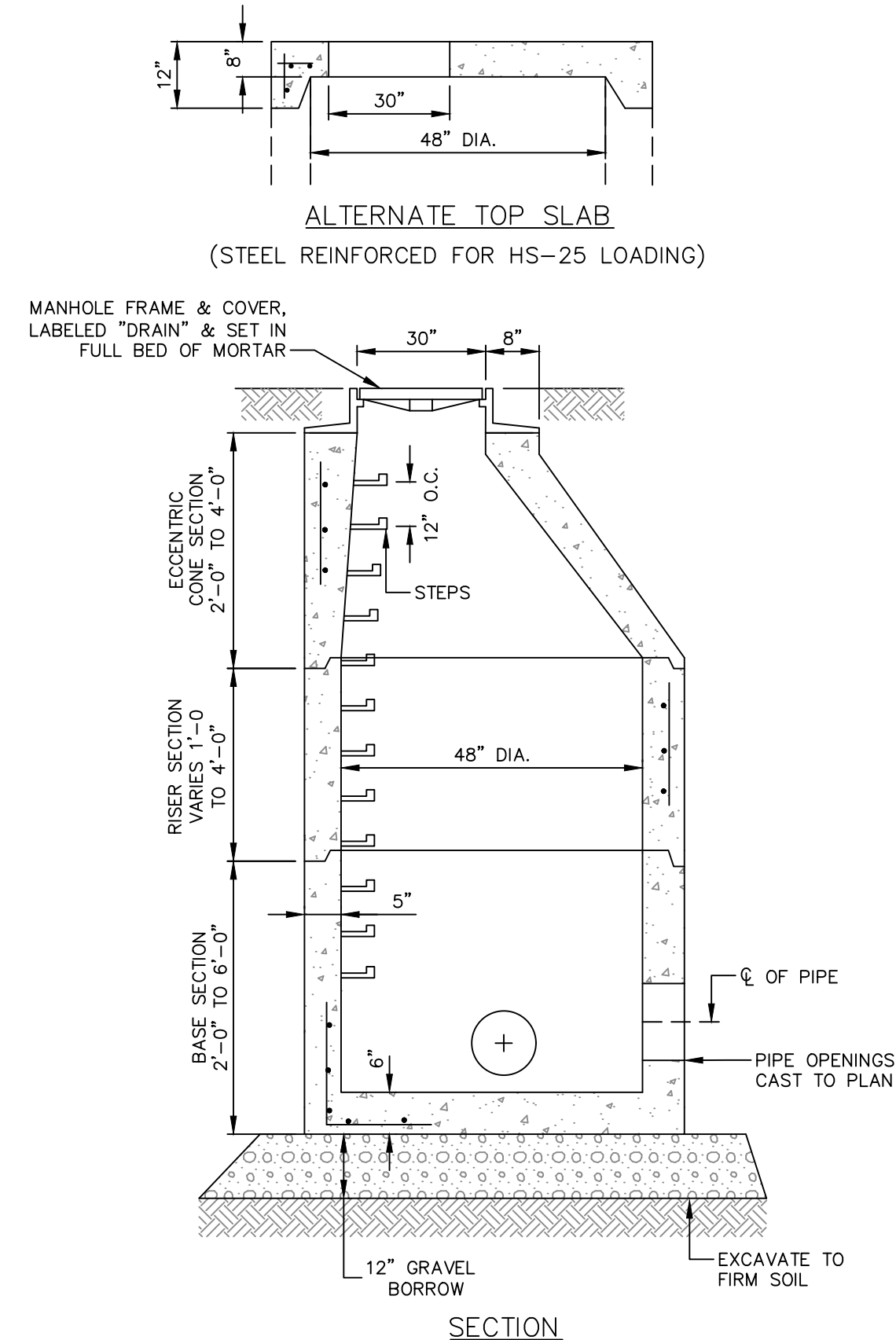
NOT TO SCALE



CATCH BASIN

NOT TO SCALE

- NOTES:
- FRAME AND GRATE SHALL BE R.I. STD. 6.3.0 OR APPROVED EQUAL.
 - INLET CATCH BASIN SHALL INCLUDE GRANITE APRON STONE PER PROVIDENCE STANDARD 7.3.7P, AND BE INSTALLED IN ACCORDANCE WITH INLET/APRON STONE REVEAL PER PROVIDENCE STANDARD 60.4.0P.
 - INLET CATCH BASIN SHALL HAVE 4' SUMP.
 - FRAMES SHALL BE SET IN FULL BED OF MORTAR. ADJUST TO GRADE WITH RED CLAY BRICKS AND MORTAR.
 - REINFORCING STEEL SHALL CONFORM TO ASTM A-185:
 - 0.12 SQ. IN./LIN. FT. CIRCUMFERENTIAL
 - 0.18 SQ. IN./FT. (BOTH WAYS) BASE BOTTOM
 - CONCRETE SHALL BE COMPRESSIVE STRENGTH 4,000 PSI TYPE II CEMENT.
 - ONE POUR MONOLITHIC BASE SECTION.
 - PROVIDE ASTM C923 RESILIENT CONNECTORS CAST OR FITTED INTO MANHOLE WALLS FOR EACH PIPE CONNECTION.
 - JOINT SEALANT SHALL BE PREFORMED BUTYL RUBBER MASTIC TYPE SEAL THAT COMPLIES WITH AASHTO M198 OR SYNTHETIC RUBBER GASKET THAT COMPLIES WITH ASTM C-443 OR C-361.
 - CATCH BASIN DESIGN SHALL CONFORM TO ASTM C-478 FOR "PRECAST REINFORCED CONCRETE MANHOLE" SECTION.
 - CATCH BASIN STEPS SHALL BE ASTM A 615/A615M, DEFORMED, 1/2-INCH STEEL REINFORCED RODS ENCASED IN ASTM D 4101, POLYPROPYLENE PLASTIC. THE CENTERLINE OF OPENING MUST BE WITHIN 2'-0" FROM STEPS.
 - ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.



- NOTES:
- FRAME AND COVER TO BE R.I. STD. 6.2.1 OR APPROVED EQUAL. LETTERING: "DRAIN"
 - FRAMES SHALL BE SET IN FULL BED OF MORTAR. ADJUST TO GRADE WITH RED CLAY BRICKS AND MORTAR.
 - REINFORCING STEEL SHALL CONFORM TO ASTM A-185:
 - 0.12 SQ. IN./LIN. FT. CIRCUMFERENTIAL
 - 0.18 SQ. IN./FT. (BOTH WAYS) BASE BOTTOM
 - CONCRETE SHALL BE COMPRESSIVE STRENGTH 4,000 PSI TYPE II CEMENT.
 - ONE POUR MONOLITHIC BASE SECTION.
 - PROVIDE ASTM C923 RESILIENT CONNECTORS CAST OR FITTED INTO MANHOLE WALLS FOR EACH PIPE CONNECTION.
 - JOINT SEALANT SHALL BE PREFORMED BUTYL RUBBER MASTIC TYPE SEAL THAT COMPLIES WITH AASHTO M198 OR SYNTHETIC RUBBER GASKET THAT COMPLIES WITH ASTM C-443 OR C-361.
 - MANHOLE DESIGN SHALL CONFORM TO ASTM C-478 FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."
 - MANHOLE STEPS SHALL BE ASTM A 615/A615M, DEFORMED, 1/2-INCH STEEL REINFORCED RODS ENCASED IN ASTM D 4101, POLYPROPYLENE PLASTIC. THE CENTERLINE OF OPENING MUST BE WITHIN 2'-0" FROM STEPS.
 - ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 - INVERT CONSTRUCTED OF BRICK OR CEMENT CONCRETE, CLASS D.

DRAIN MANHOLE

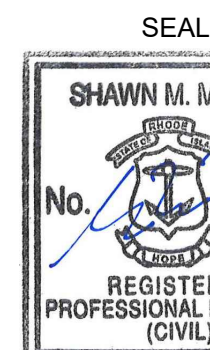
NOT TO SCALE

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

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| No. | DATE | DESCRIPTION | DESIGNER | REVIEWER |

SEAL



SEAL

SCALE:

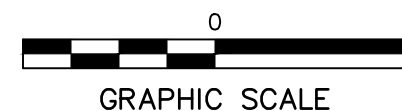
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BRADY SULLIVAN PROPERTIES, LLC

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BRISTOL YARN MILL

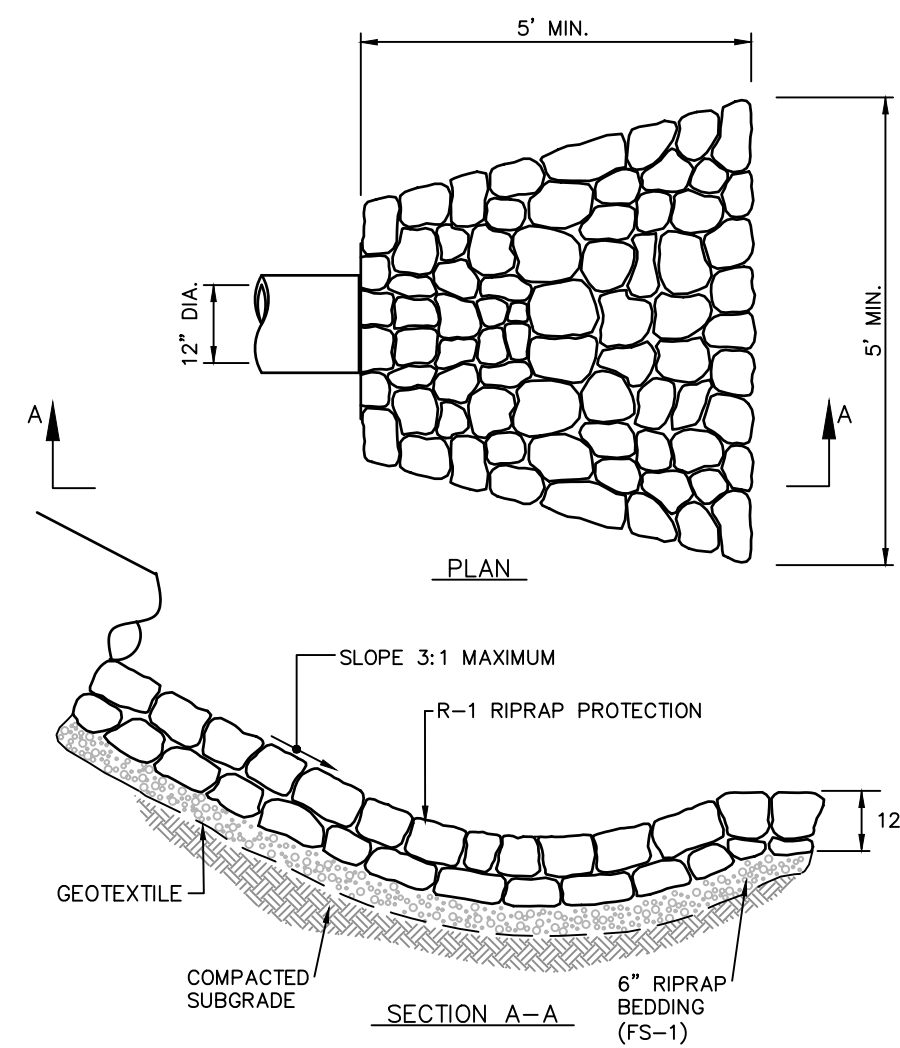
125 THAMES STREET

BRISTOL, RHODE ISLAND

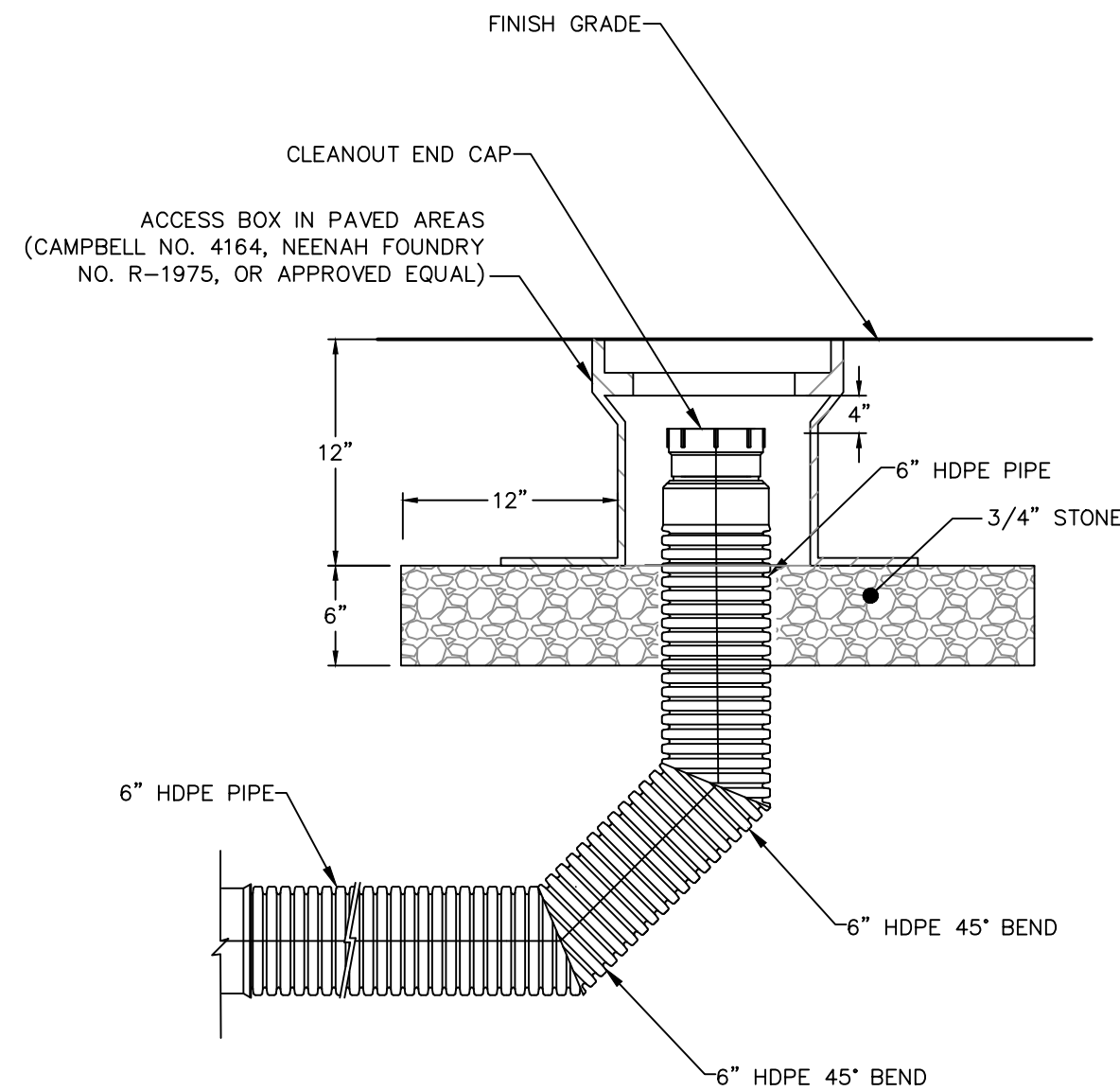
PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

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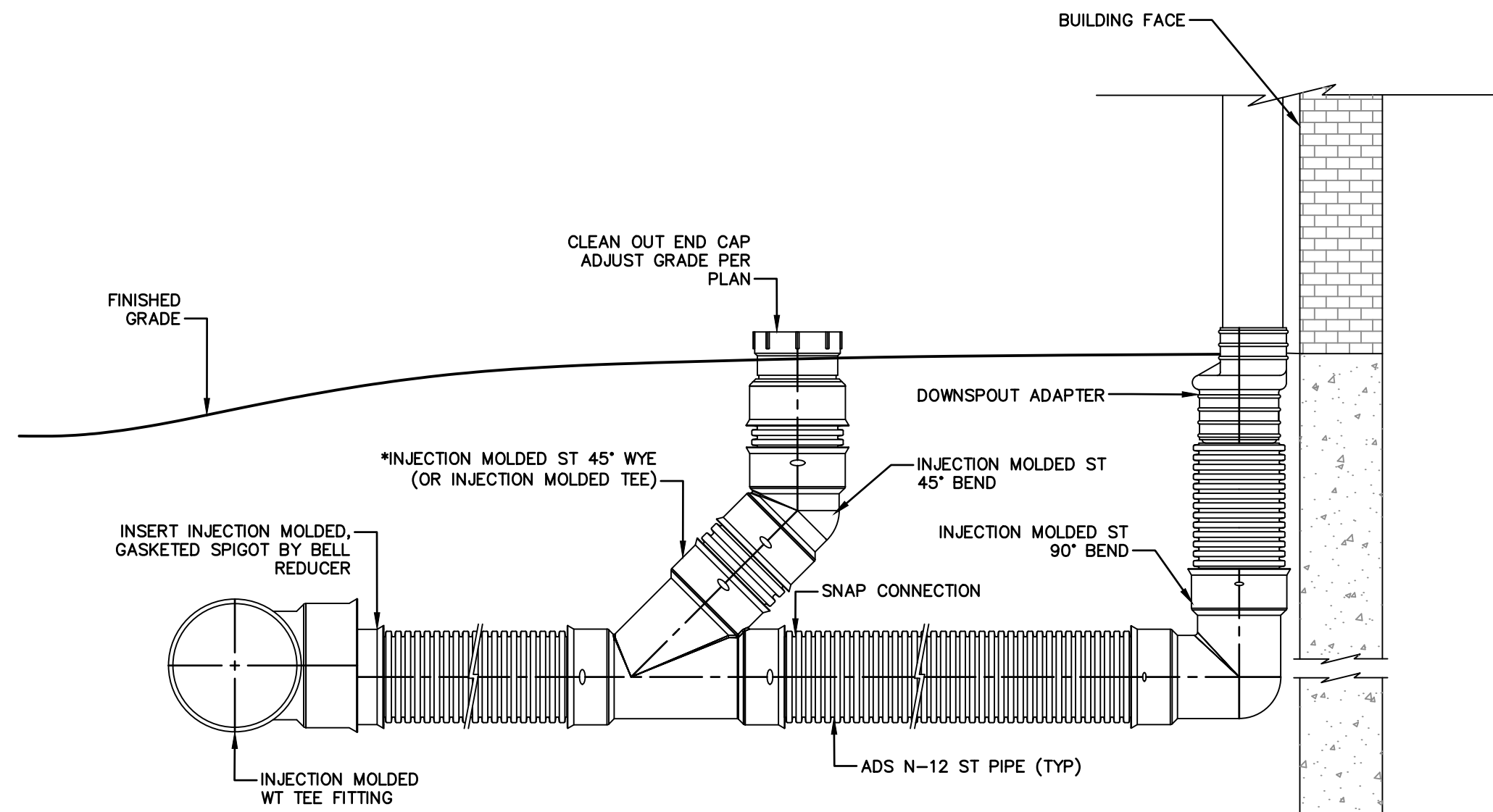


RIPRAP SPLASH PAD
NOT TO SCALE

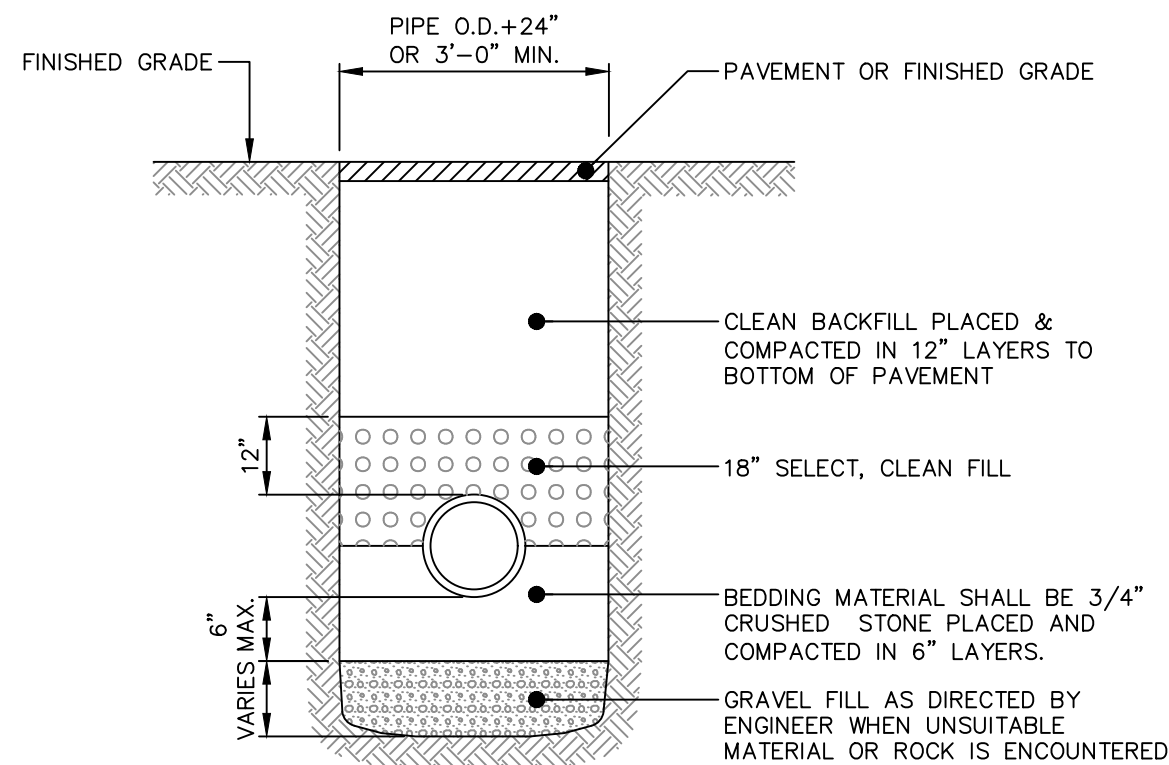


- NOTE:
1. IN UNPAVED AREAS, CLEANOUT CAP SHALL BE BURIED 3 INCHES.
 2. ACCESS BOX IN PAVED AREAS SHALL HAVE 9.5" SOLID COVER WITH LETTERING "CLEANOUT".
 3. IN-LINE CLEANOUTS SHALL HAVE TEE WYE IN LIEU OF TWO 45 DEGREE BENDS.

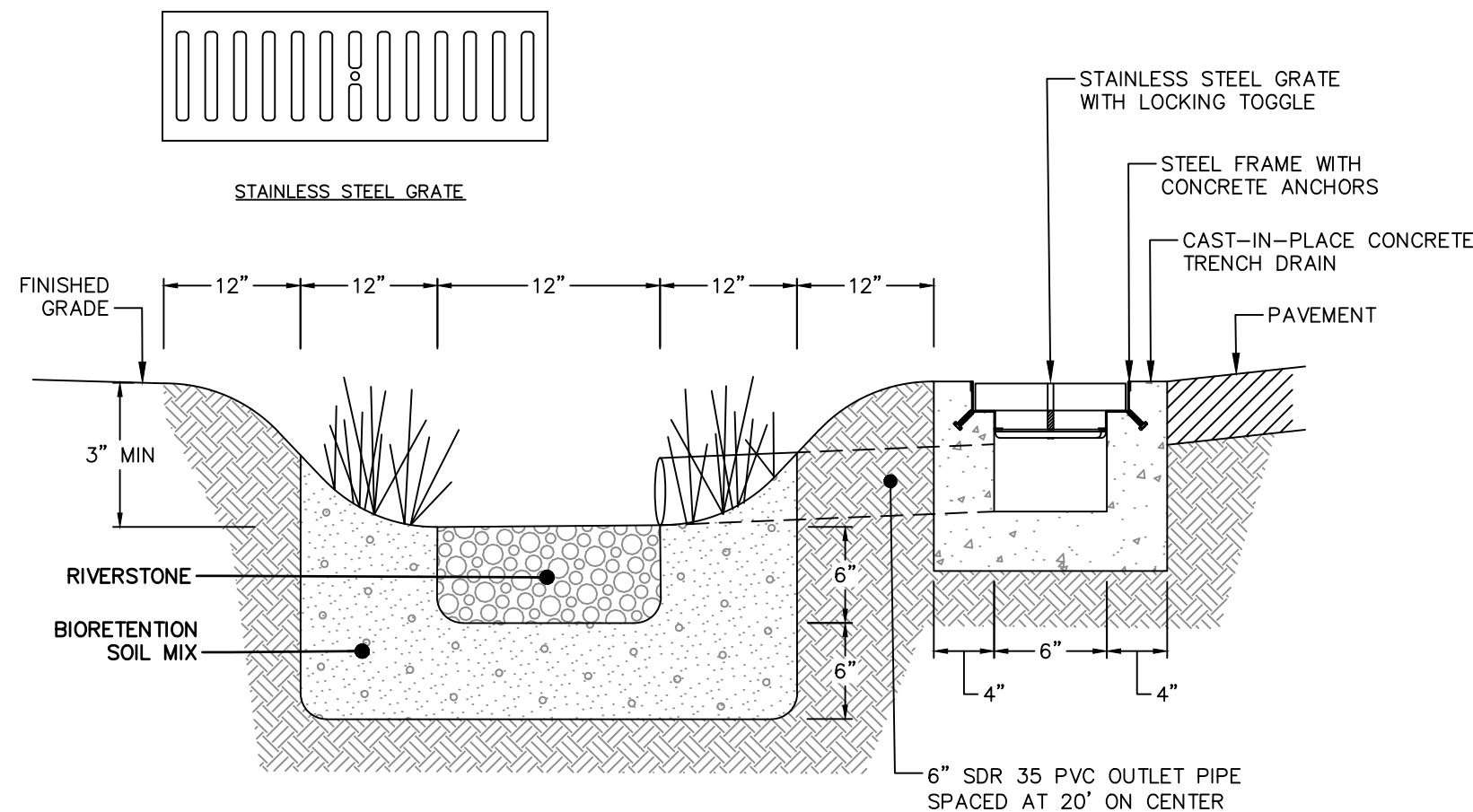
STORM DRAIN CLEANOUT
NOT TO SCALE



DOWNSPOUT CONNECTION
NOT TO SCALE

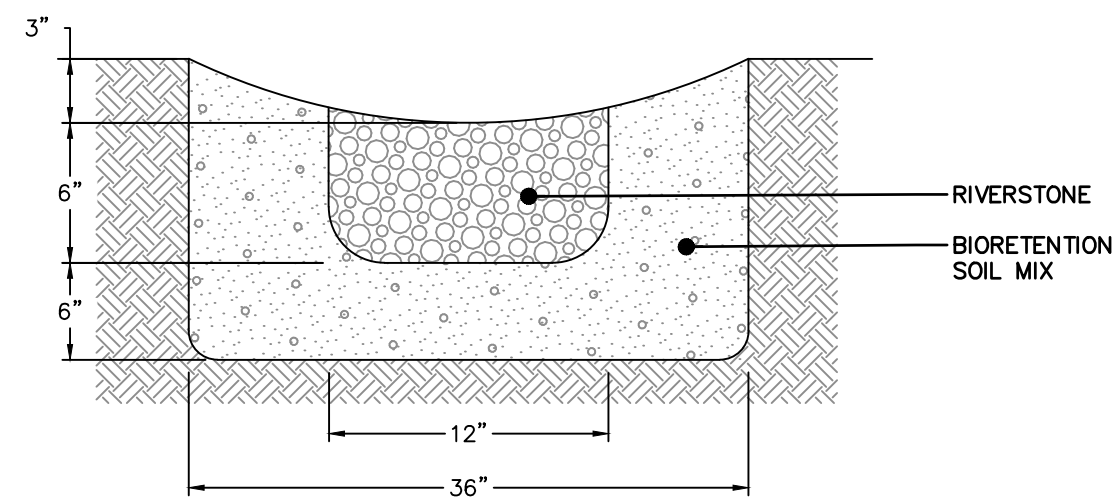


STORM DRAIN TRENCH
NOT TO SCALE



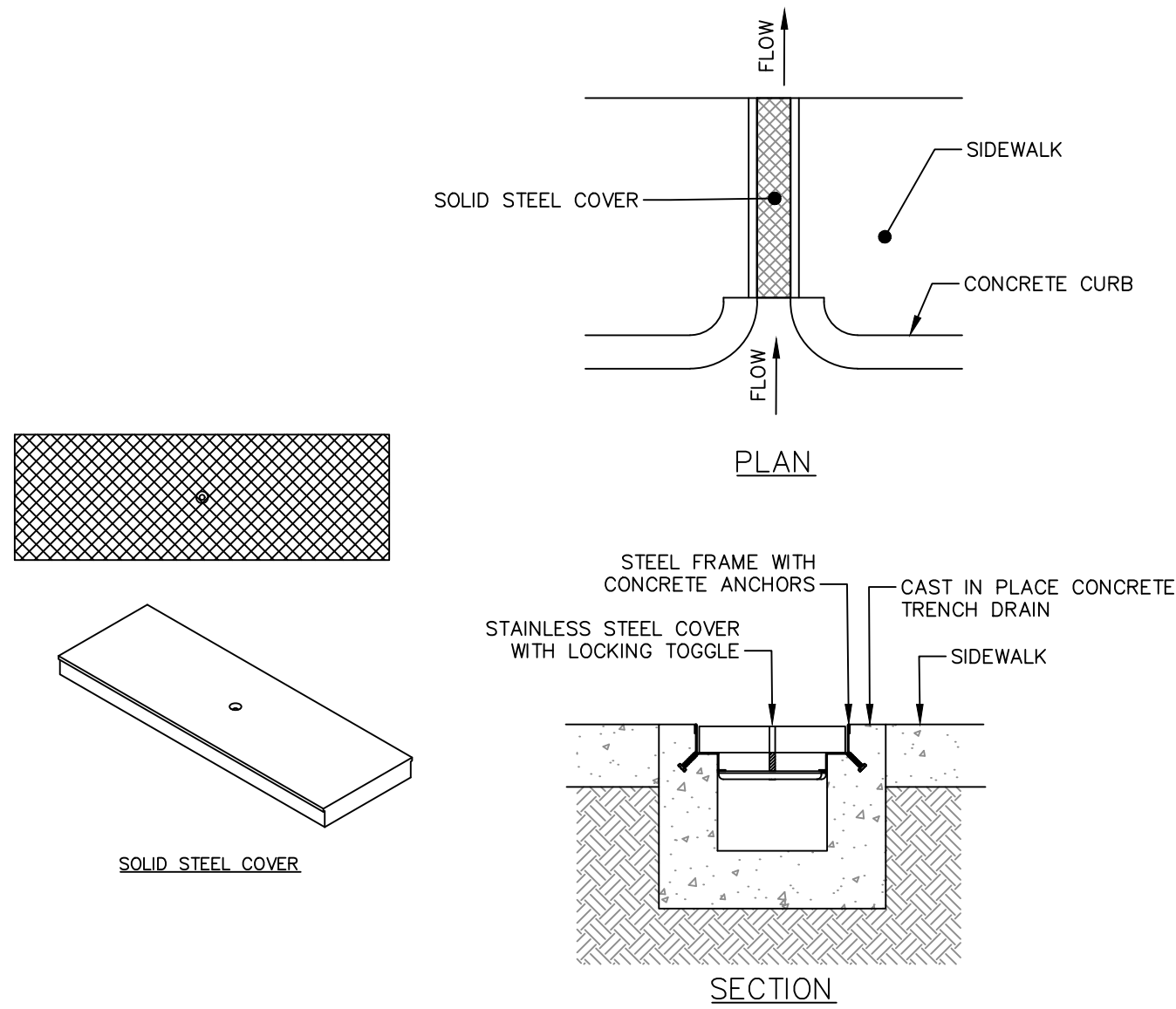
- NOTE:
- SEASONAL HIGH GROUNDWATER TABLE (SHGW) ELEVATION IS APPROXIMATELY 5.5'. BOTTOM OF CHANNEL SHALL BE LOCATED AT OR ABOVE SHGW.

STONE CHANNEL 1
NOT TO SCALE



- NOTE:
- SEASONAL HIGH GROUNDWATER TABLE (SHGW) ELEVATION IS APPROXIMATELY 5.5'. BOTTOM OF CHANNEL SHALL BE LOCATED AT OR ABOVE SHGW.

STONE CHANNEL 2
NOT TO SCALE



TRENCH DRAIN (SOLID COVER)
NOT TO SCALE

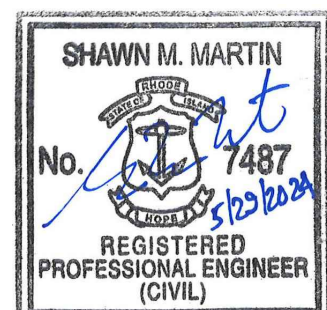
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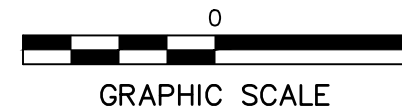
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BRISTOL YARN MILL

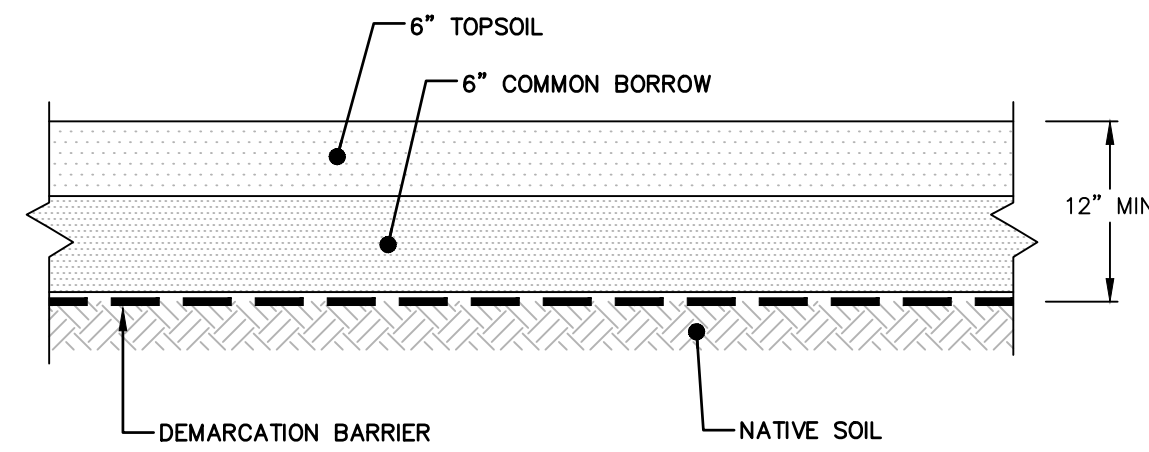
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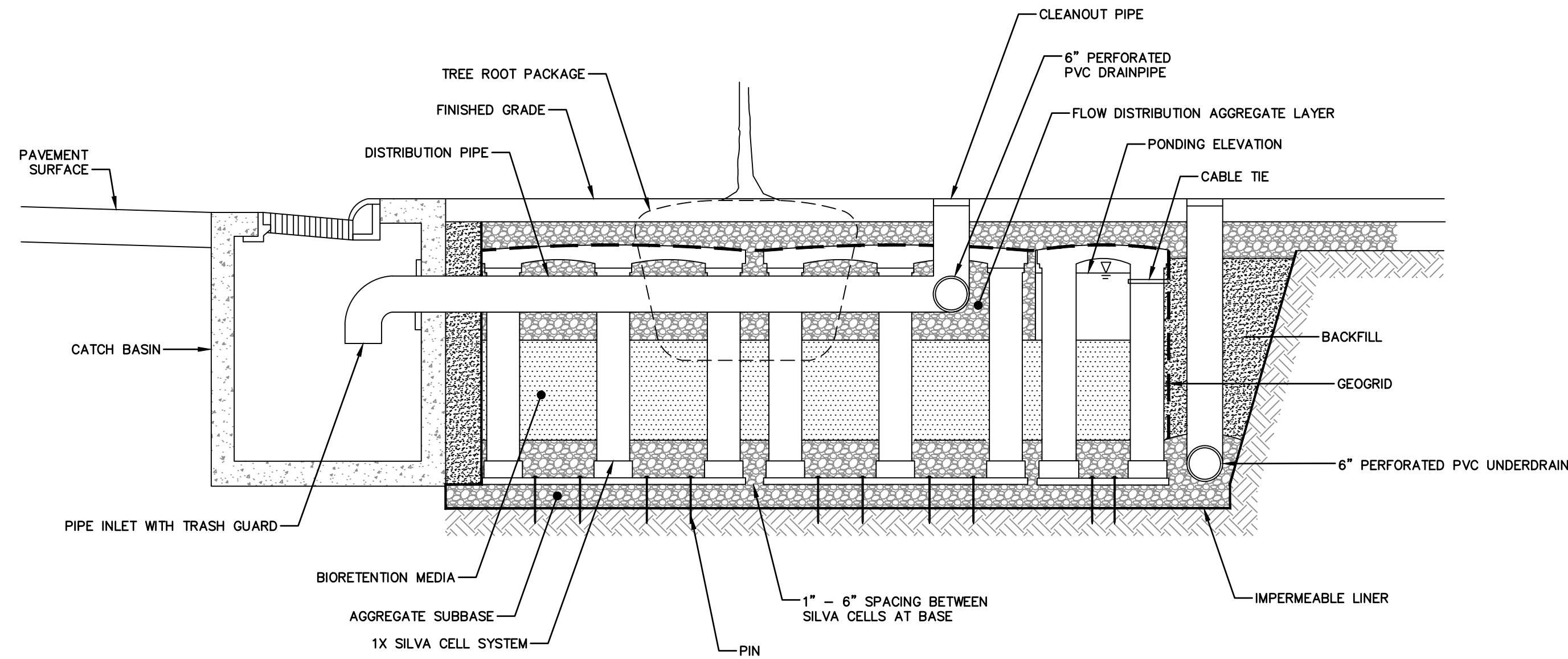
SHEET 20 OF 28

**NOTES:**

- IMPORTED CLEAN SOIL MUST BE LABORATORY TESTED TO DEMONSTRATE COMPLIANCE WITH THE REMEDIAL ACTION WORK PLAN.
- REUSE TOPSOIL ON-SITE. VERIFY SUITABILITY OF STOCKPILED TOPSOIL TO PRODUCE LOAM. CLEAN TOPSOIL OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
- 2.1. SUPPLEMENT WITH IMPORTED OR MANUFACTURED LOAM FROM OFF-SITE. SOURCES WHEN QUANTITIES ARE INSUFFICIENT, OBTAIN TOPSOIL DISPLACED FROM NATURALLY WELL-DRAINED CONSTRUCTION OR MINING SITES WHERE TOPSOIL OCCURS AT LEAST 4 INCHES DEEP.
- LOAM OR RESPREAD TOPSOIL SHALL CONFORM TO ASTM D5268, WITH PH BETWEEN 5.5 AND 7, A MINIMUM OF 6 PERCENT ORGANIC MATERIAL CONTENT, FREE OF STONES 1 INCH OR LARGER AND FREE OF OTHER EXTRANEOUS MATERIALS. SHALL NOT BE OBTAINED FROM AGRICULTURAL LAND, BOGS, OR MARSHES.
- ALL SURFACED AREAS OR DISTURBED AREAS NOT SPECIFIED ON THE PLANS SHALL RECEIVE 4 INCHES OF LOAM OR RESPREAD TOPSOIL, SEED, MULCH, AND BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- CLEAN SOIL SHALL ONLY BE IMPORTED WHERE CURRENT CAP MATERIAL DOES NOT MEET CAP REQUIREMENT OF 24-INCHES.
- SEE LANDSCAPE PLANS FOR FINISH SURFACE TREATMENTS.
- SOIL CAP IS REQUIRED FOR ANY LANDSCAPED AREAS ON THE MILL LOT SITE INCLUDING PLAT 10, LOTS 42, 60, 61, 62, AND 73.

SOIL CAP

NOT TO SCALE

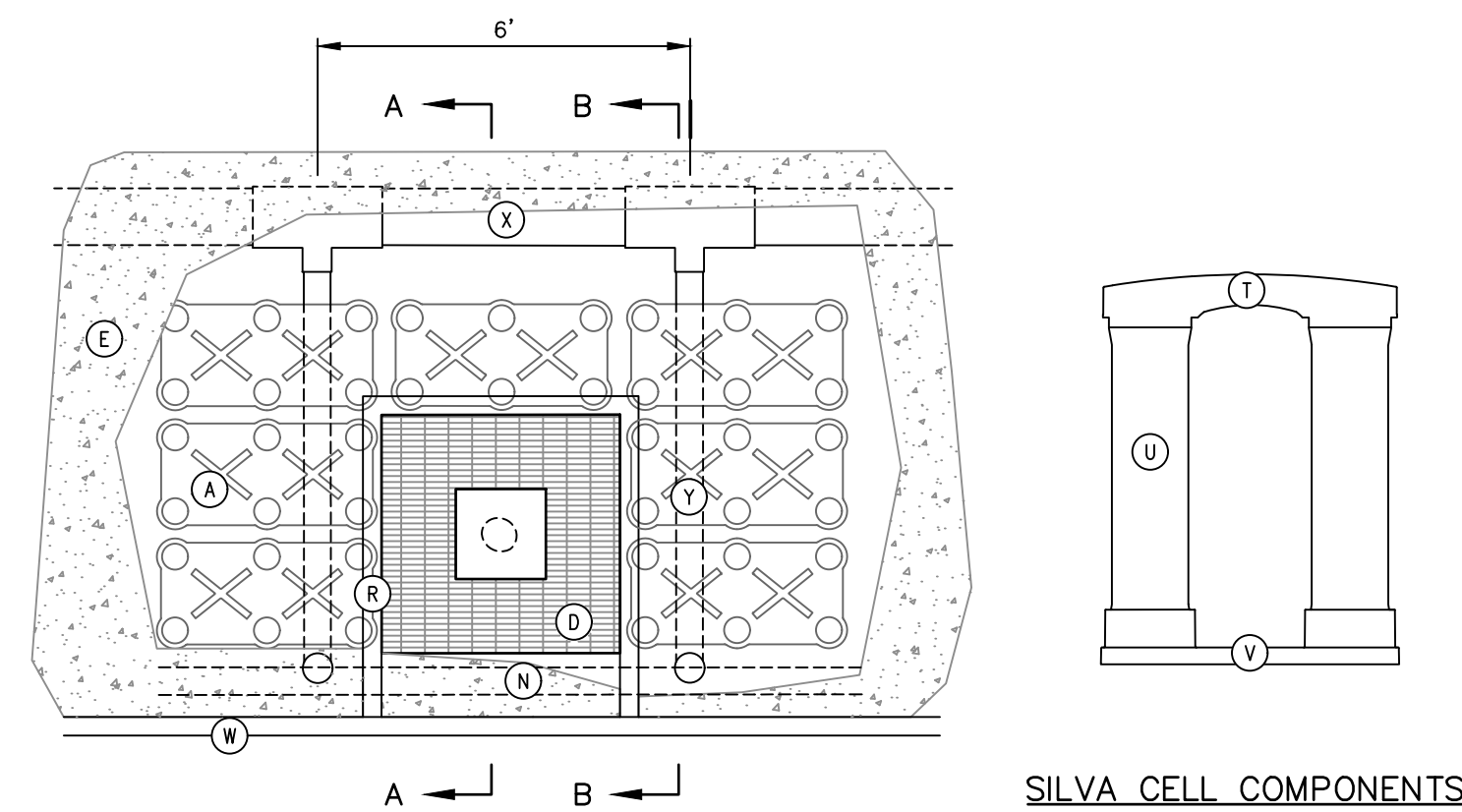


TREE FILTER 1 & 2

NOT TO SCALE

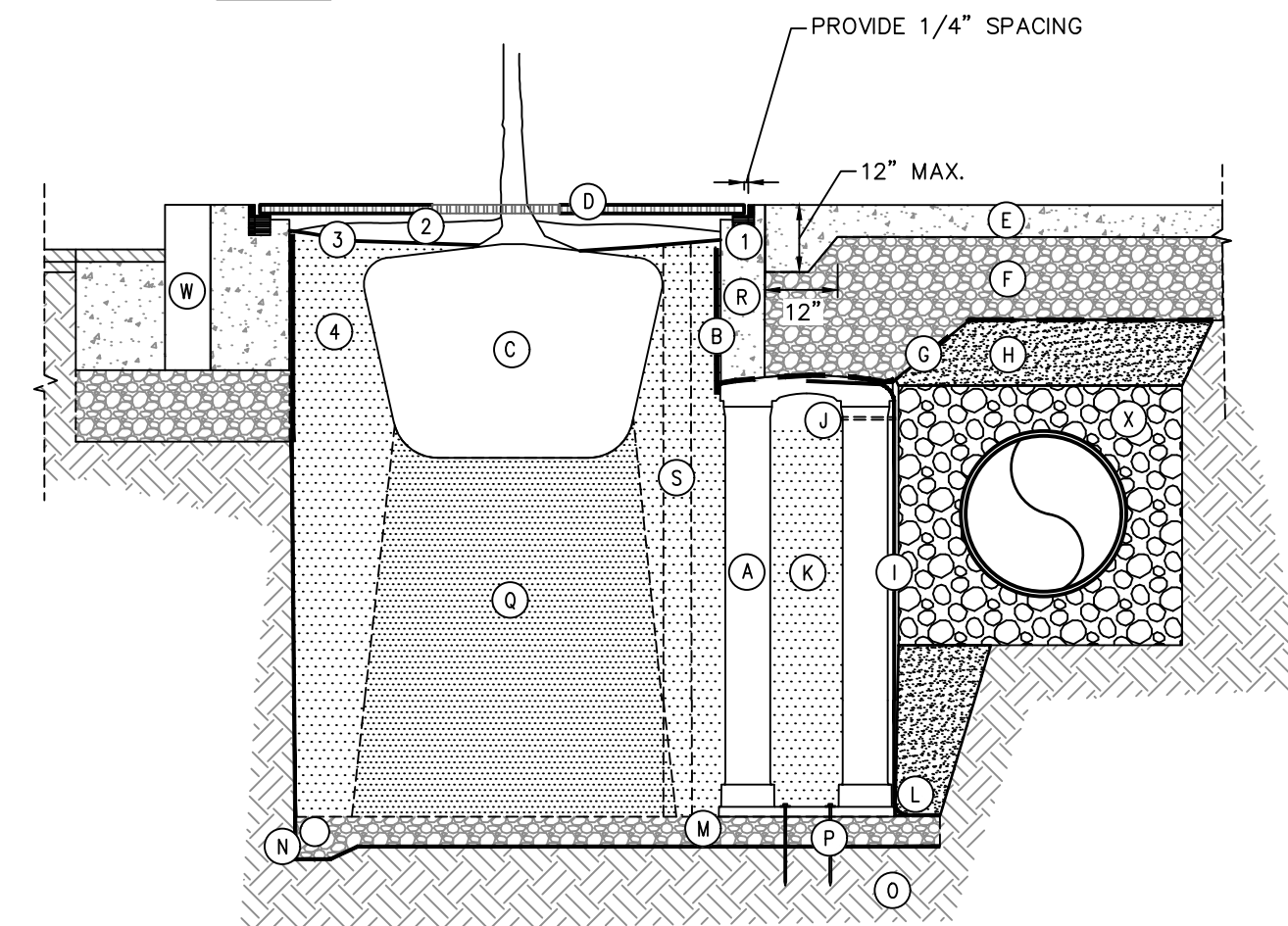
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PLANNING BOARD CHAIR OR DESIGNEE DATE

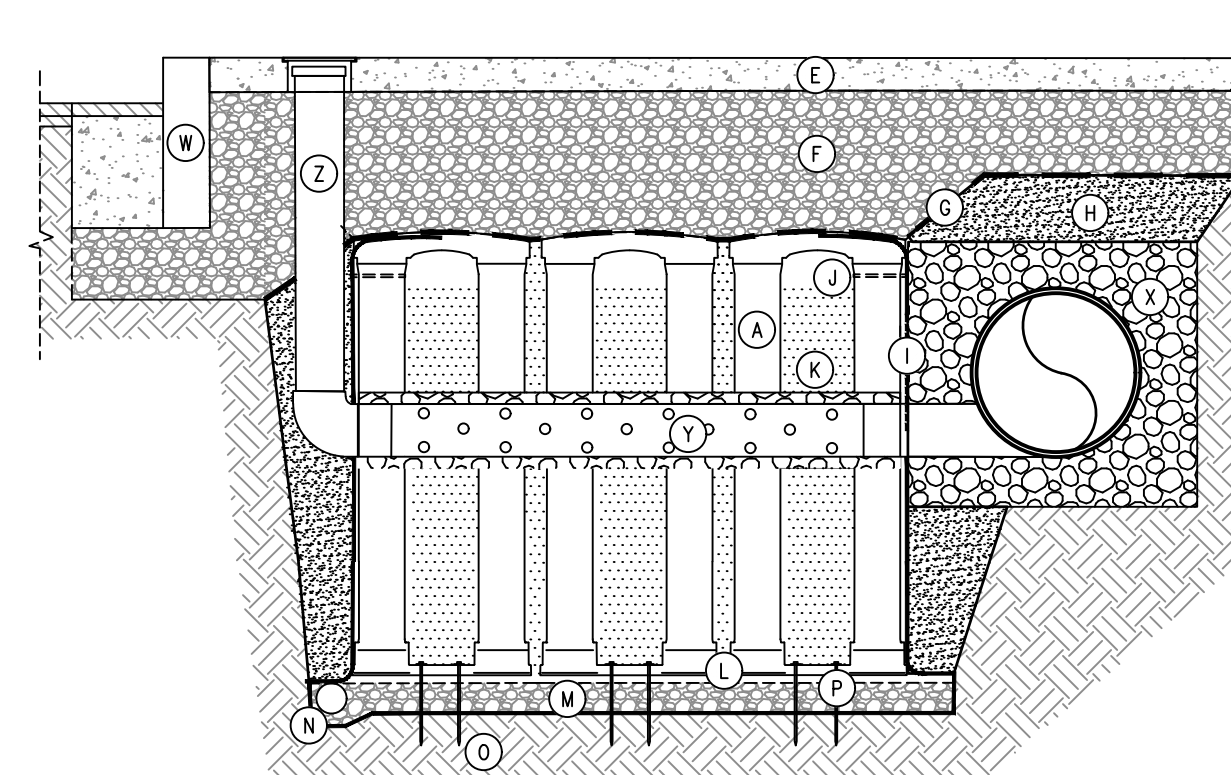


SILVA CELL COMPONENTS

PLAN



SECTION A-A



SECTION B-B

KEY PLAN

- SILVA CELL 2 SYSTEM (DECK, BASE, AND POSTS).
- DEEPROOT ROOT BARRIER DEEPROOT ROOT BARRIER INSTALLED TO A DEPTH 18 INCHES BELOW TOP OF TREE PIT.
- TREE ROOT PACKAGE, SIZE VARIES. REMOVE ALL TWINE & STRAPS. CUT AND REMOVE BURLAP AND WIRE CAGE FROM TOP 1/2 OF BALL. REMOVE ALL SYNTHETIC MATERIALS.
- TREE GRATE ASSEMBLY WITH CONCRETE ANCHOR.
- EXPOSED AGGREGATE CONCRETE SIDEWALK WITH HAUNCHED EDGE
- GRAVEL BORROW COURSE. GRAVEL BORROW, 18-INCH DEPTH ABOVE SILVA CELLS. TRANSITION TO STANDARD GRAVEL BORROW DEPTH PER CONCRETE SIDEWALK DETAIL.
- GEOTEXTILE TO EDGE OF EXCAVATION.
- BACKFILL, TO WITHIN 4-6" BELOW TOP OF SILVA CELL DECKS. INSTALL IN 8" LIFTS, EACH COMPACTED TO 95% MODIFIED PROCTOR.
- IMPERMEABLE LINER.
- CABLE TIE, ATTACHING GEOGRID TO SILVA CELL AT BASE OF UPPER POST FLARE.
- PLANTING SOIL TO 7" BELOW DECK, MANUALLY COMPACTED TO APPROXIMATE 70% MODIFIED PROTOR.
- 1" - 6" SPACING BETWEEN SILVA CELLS AT BASE.
- 4" MIN. GRAVEL BORROW, COMPACTED TO 95% MODIFIER MODIFIED PROCTOR.
- 6" PERFORATED PVC UNDERDRAIN PIPE, 0.0 FT/FT SLOPE.
- SUBGRADE, COMPACTED TO 95% MODIFIED PROCTOR.
- PIN, PER SILVA CELL SPECIFICATIONS, TO KEEP CELLS IN PLACE DURING CONSTRUCTION.
- PLANTING SOIL BELOW TREE ROOT PACKAGE, COMPACTED TO 85-90% MODIFIED PROCTOR.
- 18-INCH CAST-IN-PLACE CONCRETE CURB TO STABILIZE EDGE AND PREVENT AGGREGATE MIGRATION INTO TREE OPENING.
- 4" PERFORATED PVC INSPECTION RISER TO PROVIDE FOR MONITORING OF SOIL MOISTURE.
- SILVA CELL DECK
- SILVA CELL POST
- SILVA CELL BASE
- 18-INCH GRANITE CURB IN EXISTING PAVEMENT
- 18" X 6" HDPE MANIFOLD, 0.0 FT/FT SLOPE, INSTALL PER STORM DRAIN TRENCH DETAIL.
- 6" PERFORATED PVC PIPE, 0.0 FT/FT SLOPE, ENCASED IN 3" OF CLEAN, WASHED, 1" DIAMETER CRUSHED STONE. PERFORATIONS MUST FACE DOWN.
- 6" SOLID PVC CLEANOUT, CAPPED, WITH ROUND, HEAVY-DUTY CAST IRON FRAME AND COVER.
- SQUARE FRAME FRAME SET IN CONTINUOUS 4"x6" CONCRETE RING. INSURE PROPER EQUAL SLOPES ON ALL SIDES TO PROVIDE CONSISTENT SEAT FOR TREE GRATES. VARIATIONS OR WOBBLING GRATES WILL NOT BE PERMITTED
- ORGANIC MULCH
- WEED BARRIER
- BACKFILL WITH PLANTING SOIL MIXTURE IN 9" LAYERS. WATER EACH LAYER UNTIL SETTLED. DO NOT TAMP. (SEE TREE PLANTING DETAILS)

TREE FILTER 3

NOT TO SCALE

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 DATUM:
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 GRAPHIC SCALE

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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

125 THAMES STREET

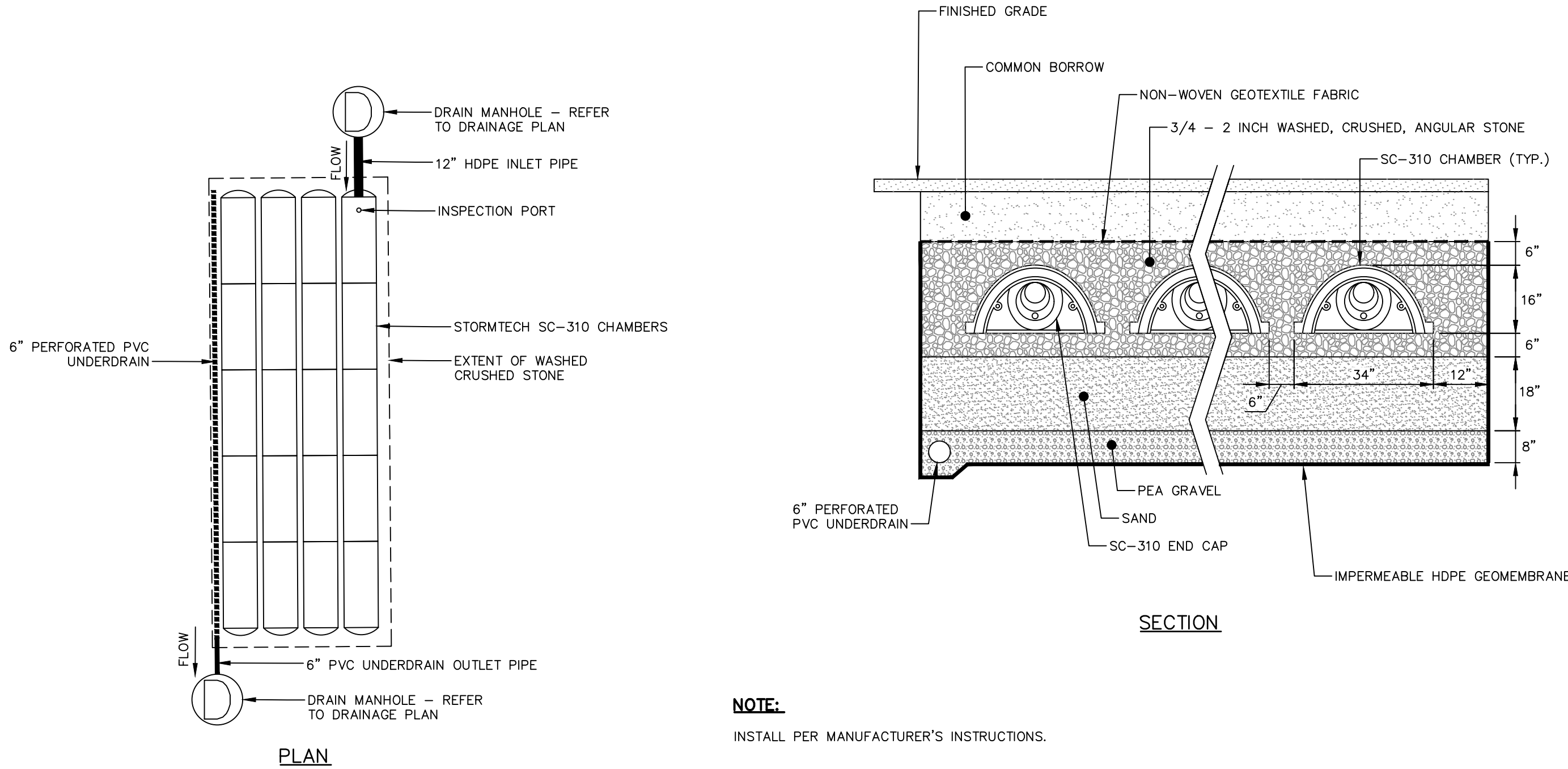
BRISTOL, RHODE ISLAND

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 DATE: DECEMBER 6, 2022

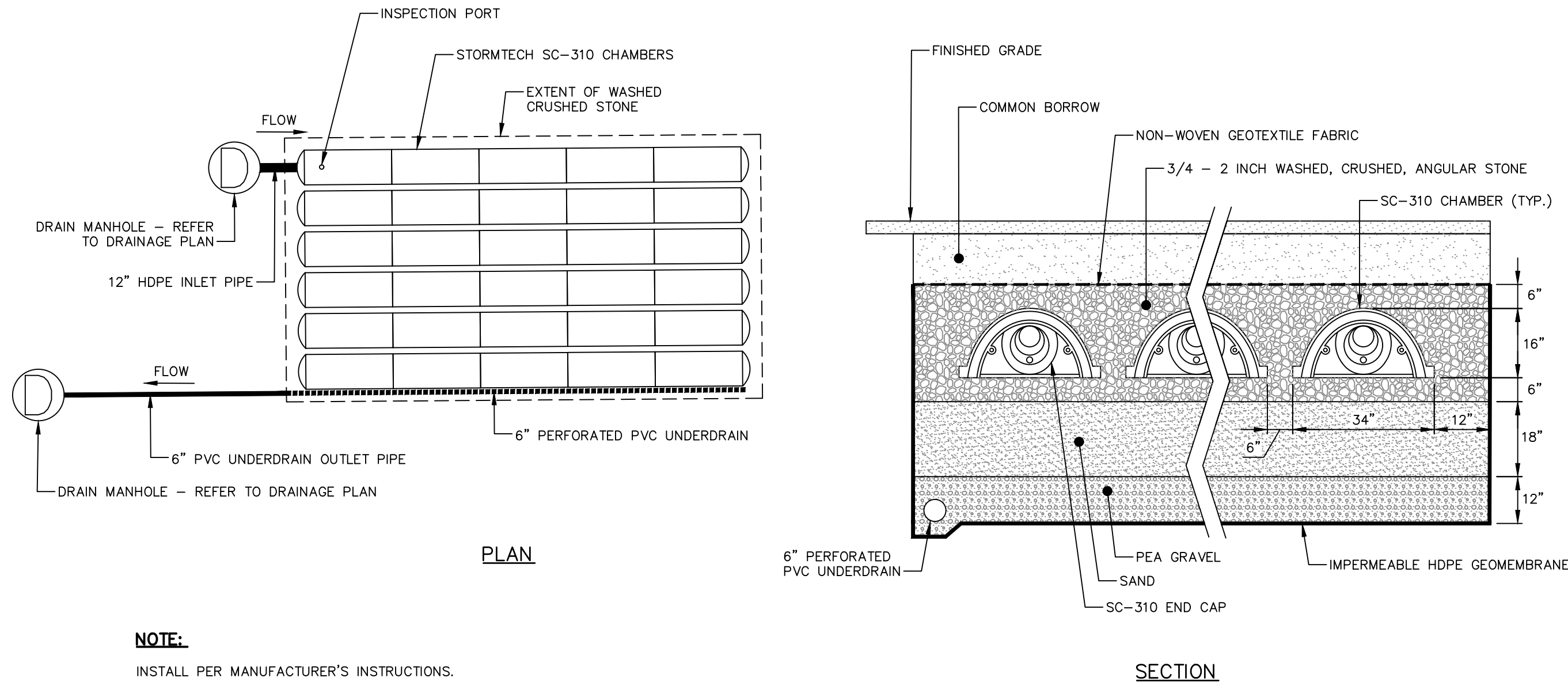
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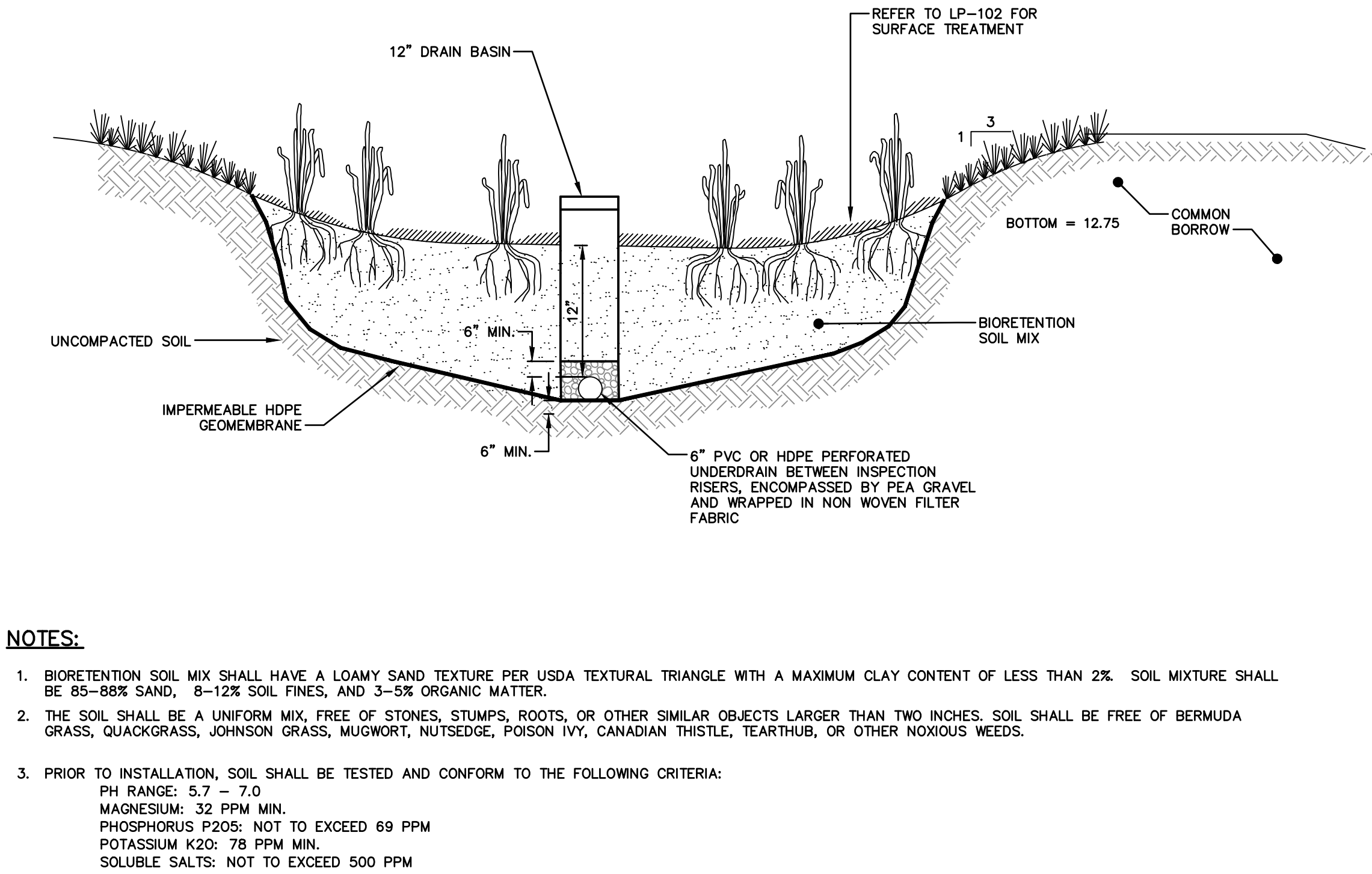
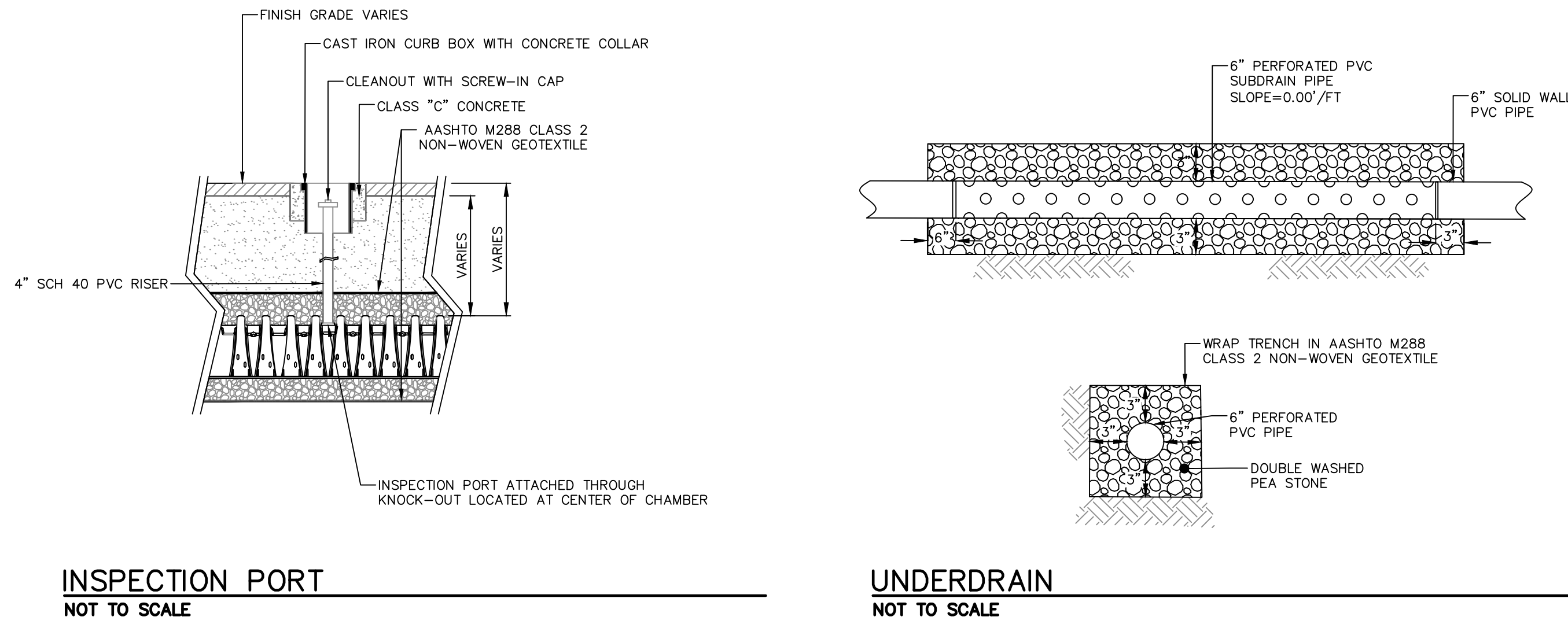
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SUBSURFACE FILTRATION SYSTEM 1
NOT TO SCALE



SUBSURFACE FILTRATION SYSTEM 2
NOT TO SCALE



NOTES:

- BIORETENTION SOIL MIX SHALL HAVE A LOAMY SAND TEXTURE PER USDA TEXTURAL TRIANGLE WITH A MAXIMUM CLAY CONTENT OF LESS THAN 2%. SOIL MIXTURE SHALL BE 85-88% SAND, 8-12% SOIL FINES, AND 3-5% ORGANIC MATTER.
- THE SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS, OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. SOIL SHALL BE FREE OF BERMUDA GRASS, QUACKGRASS, JOHNSON GRASS, MUGWORT, NUTSEDGE, POISON IVY, CANADIAN THISTLE, TEARHUB, OR OTHER NOXIOUS WEEDS.
- PRIOR TO INSTALLATION, SOIL SHALL BE TESTED AND CONFORM TO THE FOLLOWING CRITERIA:
PH RANGE: 5.7 - 7.0
MAGNESIUM: 32 PPM MIN.
PHOSPHORUS P205: NOT TO EXCEED 69 PPM
POTASSIUM K20: 78 PPM MIN.
SOLUBLE SALTS: NOT TO EXCEED 500 PPM

RAIN GARDEN
NOT TO SCALE

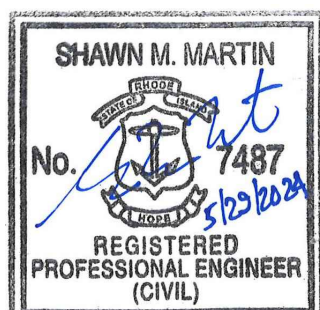
PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

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| 10 | 3/6/2024 | RESPONSE TO CRMC COMMENTS | KLM | SMM |
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| 3 | 3/27/23 | PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS | KLM | SMM |
| No. | DATE | DESCRIPTION | DESIGNER | REVIEWER |

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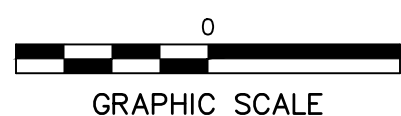
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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

125 THAMES STREET

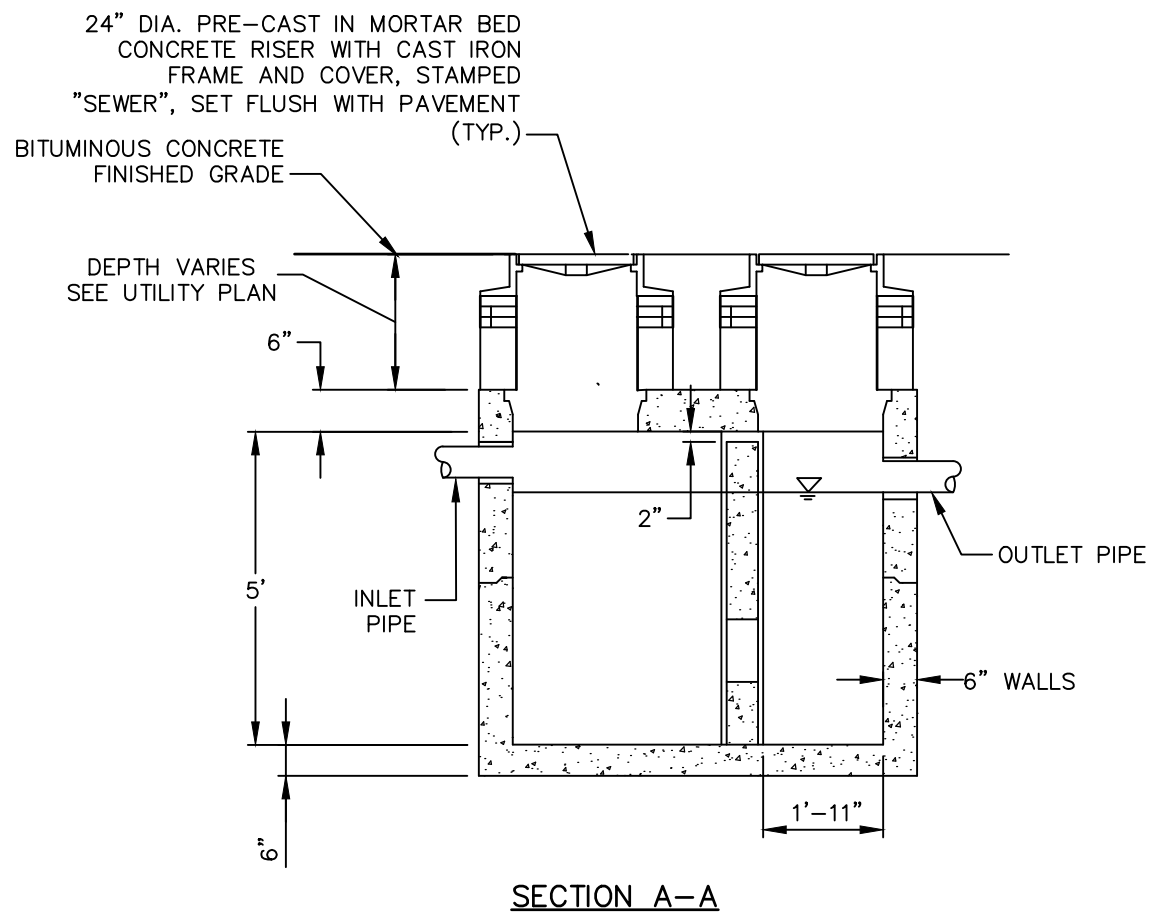
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

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SHEET 22 OF 28

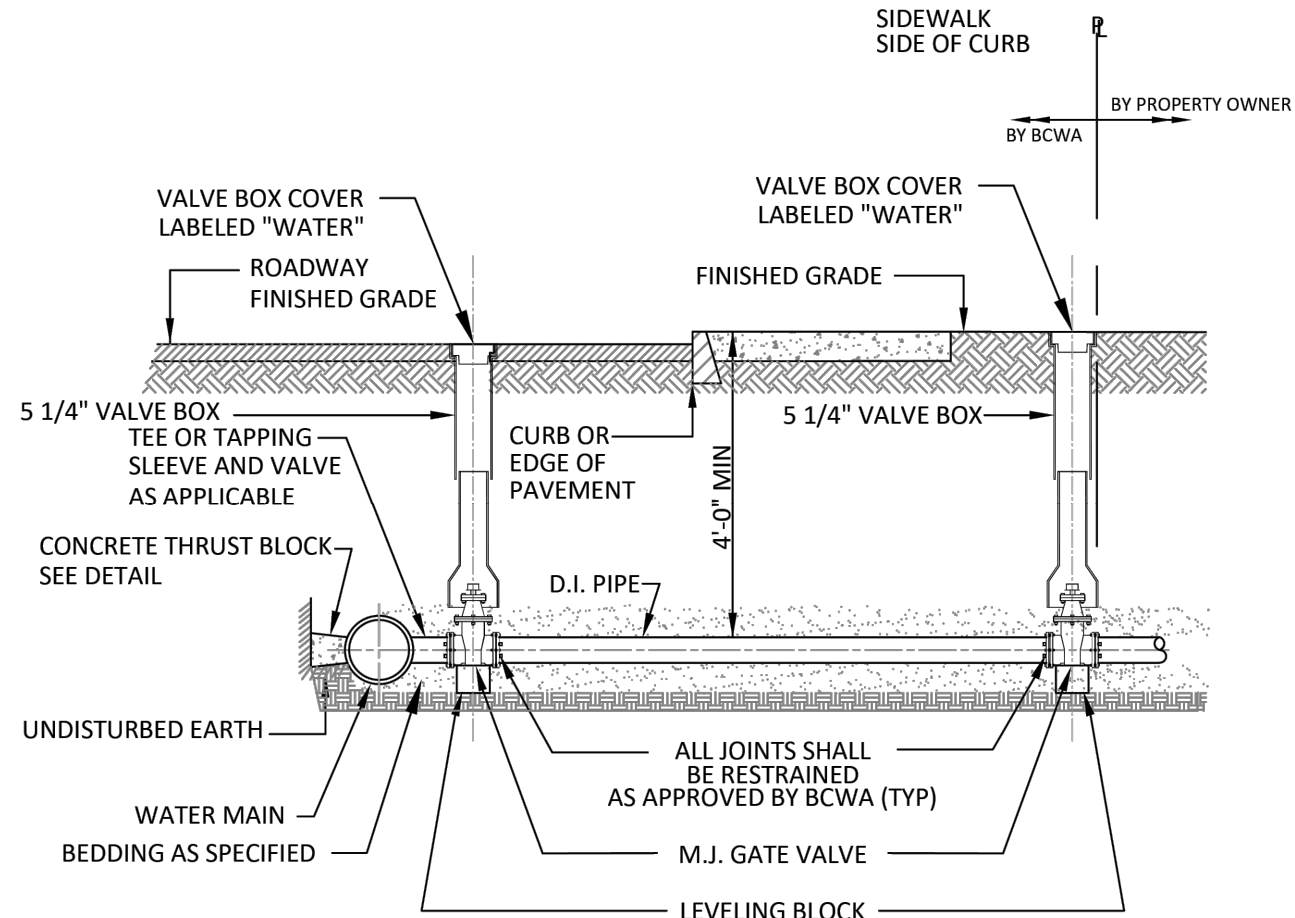
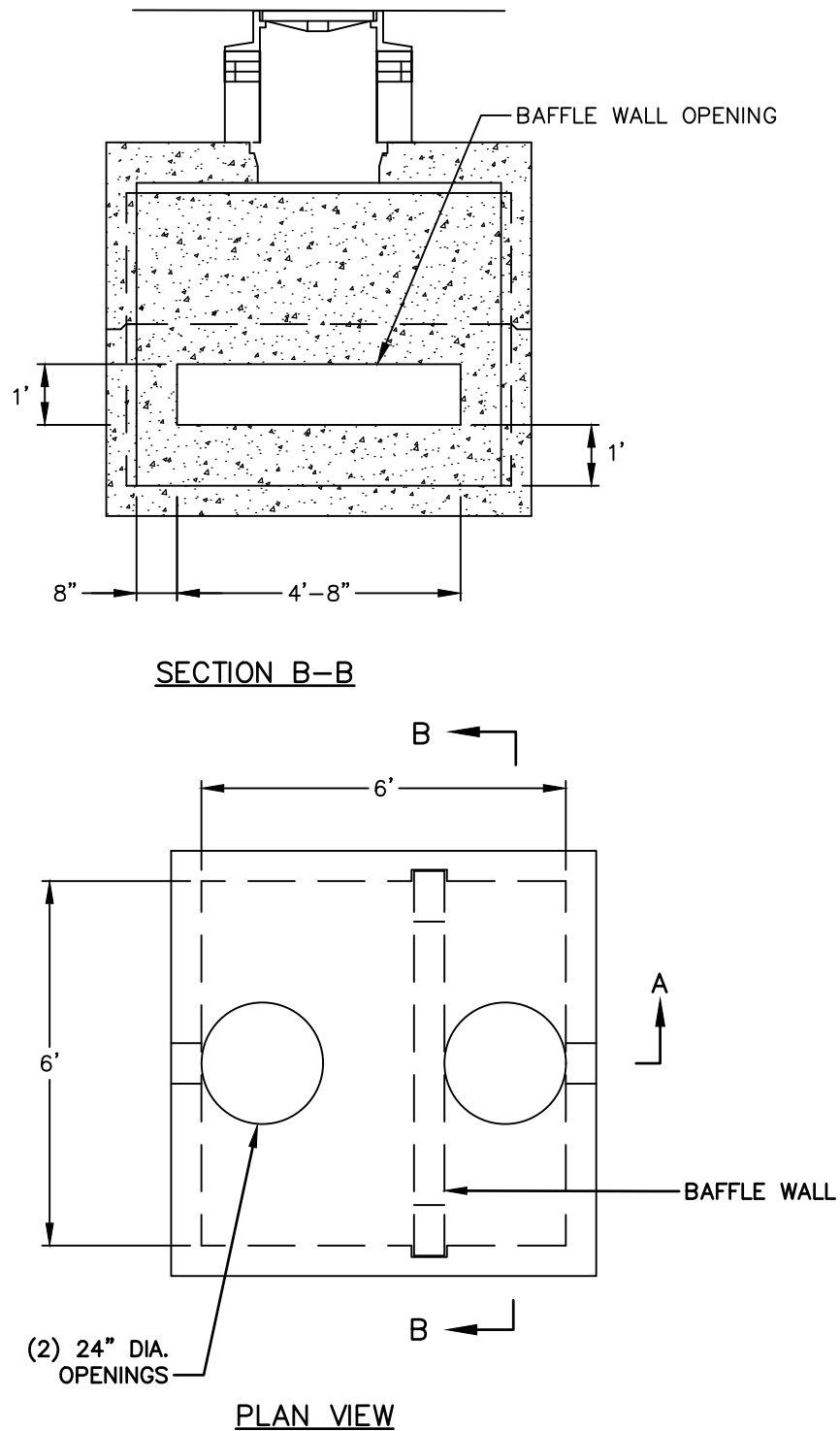
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- NOTES:
- VOLUME SHALL BE 1,000 GALLONS.
 - CONCRETE : 5,000 P.S.I. MINIMUM STRENGTH @ 28 DAYS
 - STEEL REINFORCING ASTM A-615, GRADE 60
 - COVER TO STEEL 1" MINIMUM
 - TANKS SHALL MEET ASTM C858 AND ACI 318 WITH AASHTO HS-20 LOADING
 - EARTH COVER 0 MIN. TO 5 FEET MAX
 - EARTH COVER 0 MIN. TO 5 FEET MAX

OIL/WATER SEPARATOR

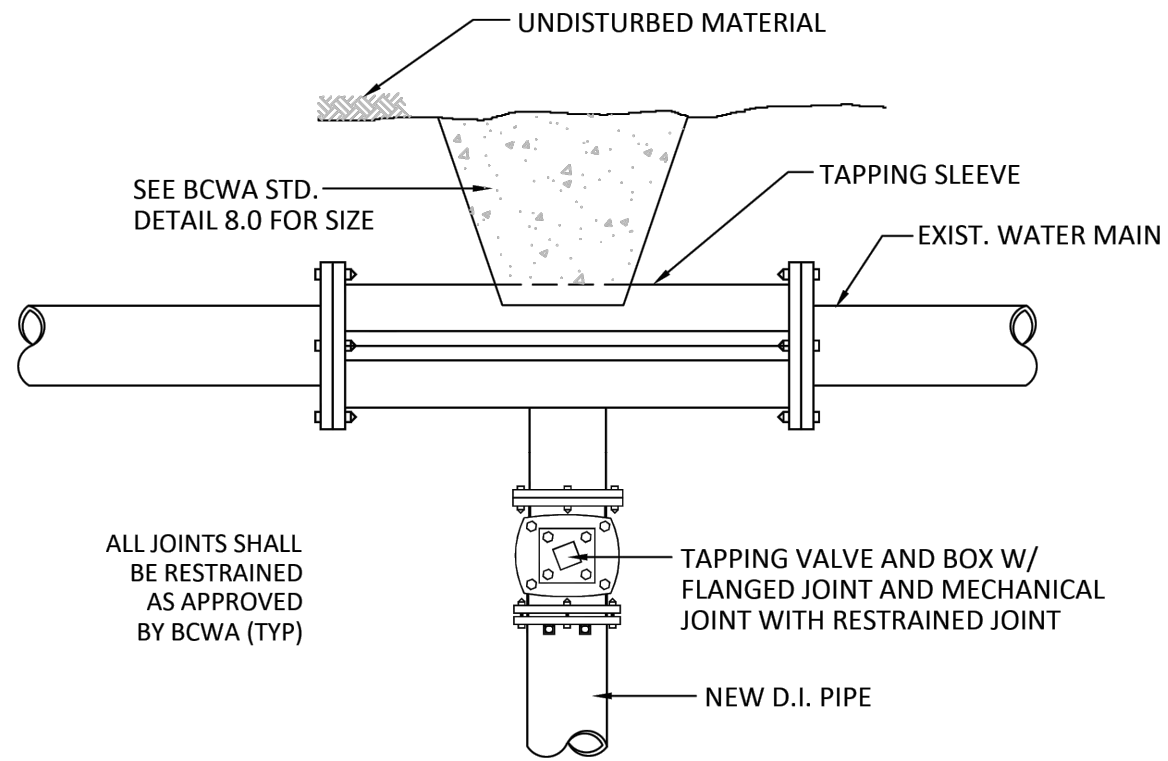
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- NOTE:
- ALL SERVICE MATERIALS, BEDDING AND BACKFILL PER BCWA SPECIFICATIONS.
 - SERVICE LINE FROM GATE BOX TO BUILDING SHALL BE INSPECTED AND APPROVED BY THE BCWA PRIOR TO BEING BACKFILLED AND/OR ACTIVATED.
 - TAPPING SLEEVE TO BE PRESSURE TESTED PRIOR TO INSTALLATION.
 - STREET SIDE OF SERVICE TO BE INSTALLED FIRST, LOCATION TO BE DETERMINED BY BCWA.
 - WHENEVER THERE IS A DISCREPANCY BETWEEN THIS DETAIL AND THE WRITTEN SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN.

SERVICE CONNECTION 4 INCHES & GREATER (BCWA DETAIL 10C)

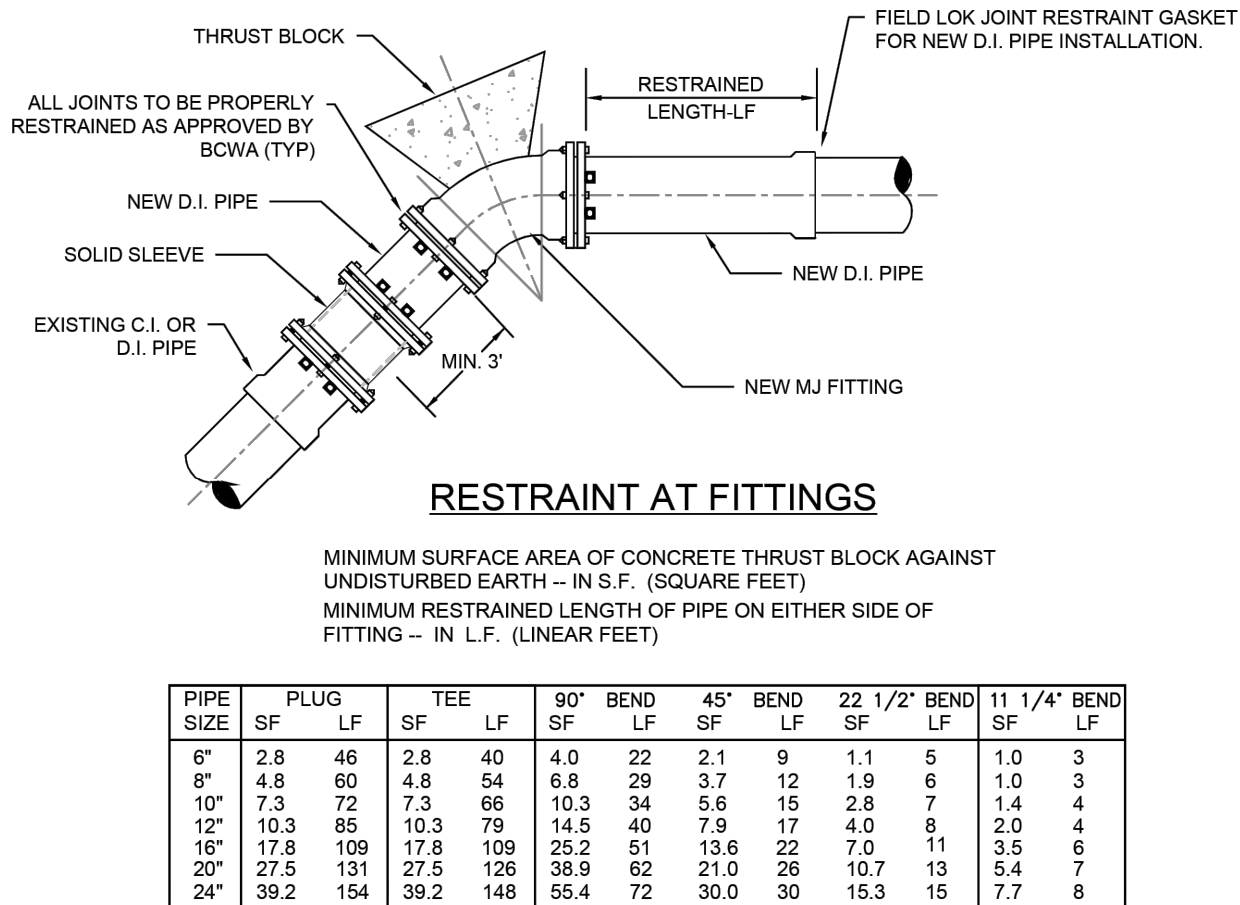
NOT TO SCALE



- NOTE:
- TAPPING SLEEVE, VALVE AND PIPE TO BE DISINFECTED WITH CHLORINE SOLUTION PRIOR TO INSTALL.
 - TAPPING SLEEVE TO BE PRESSURE TESTED USING AIR PRIOR TO TAPPING PIPE.
 - ALL MATERIALS, BEDDING AND BACKFILL PER BCWA SPECIFICATIONS.
 - THRUST BLOCK PER BCWA SPECIFICATIONS. SEE BCWA STD. DETAIL 8.0.
 - ALL WORK AND MATERIALS SHALL BE INSPECTED AND APPROVED BY THE BCWA PRIOR TO BEING BACKFILLED AND/OR ACTIVATED.
 - WHENEVER THERE IS A DISCREPANCY BETWEEN THIS DETAIL AND THE WRITTEN SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN.

TAPPING SLEEVE AND VALVE (BCWA DETAIL 3)

NOT TO SCALE



RESTRAINT AT FITTINGS

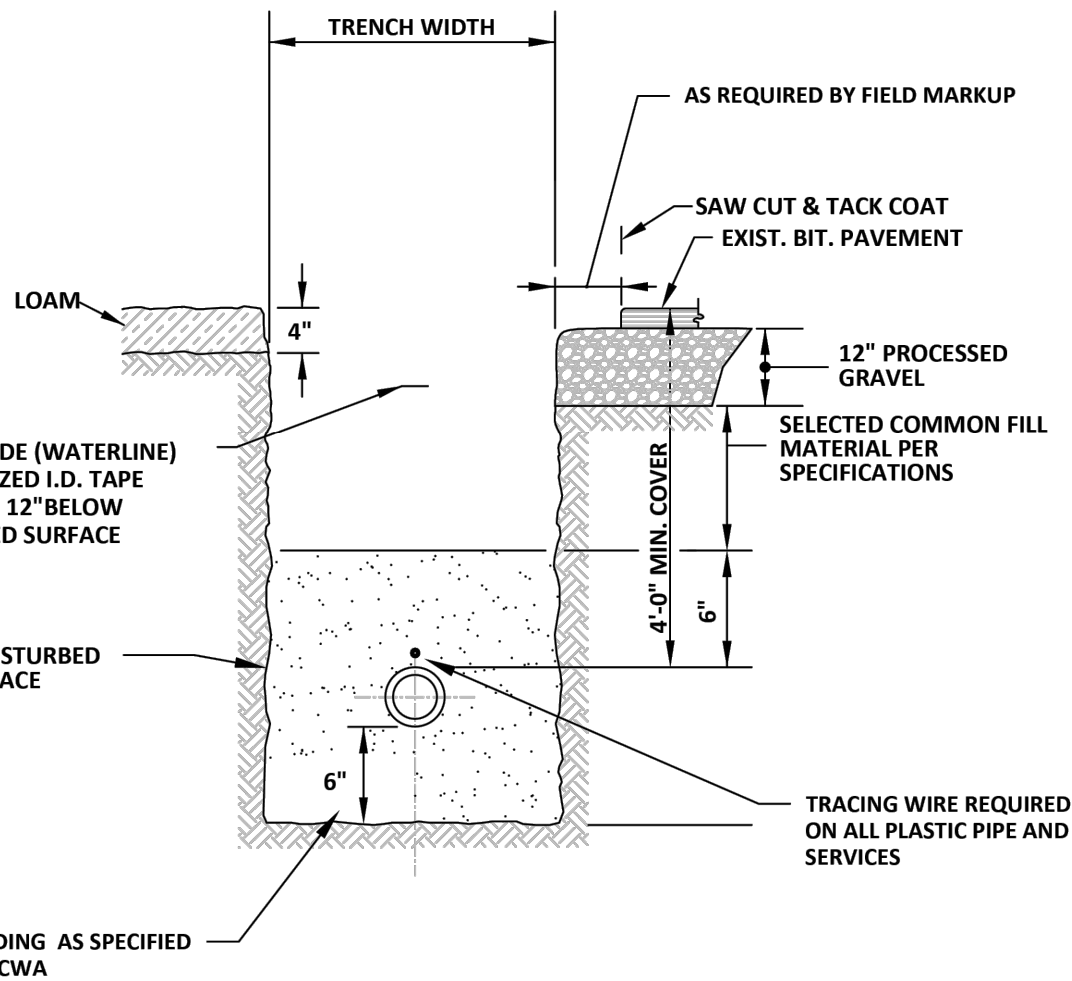
MINIMUM SURFACE AREA OF CONCRETE THRUST BLOCK AGAINST UNDISTURBED EARTH - IN S.F. (SQUARE FEET)
MINIMUM RESTRAINED LENGTH OF PIPE ON EITHER SIDE OF FITTING - IN L.F. (LINEAR FEET)

| PIPE SIZE | PLUG SF | TEE SF | 90° BEND SF | 45° BEND SF | 22 1/2° BEND SF | 11 1/4° BEND SF |
|-----------|---------|--------|-------------|-------------|-----------------|-----------------|
| 6" | 2.8 | 4.0 | 4.0 | 2.1 | 1.1 | 1.0 |
| 8" | 4.8 | 6.8 | 6.8 | 3.7 | 1.9 | 1.0 |
| 10" | 7.3 | 10.3 | 10.3 | 5.6 | 2.8 | 1.4 |
| 12" | 10.3 | 14.5 | 14.5 | 7.9 | 4.0 | 2.0 |
| 16" | 17.8 | 25.2 | 25.2 | 13.6 | 7.0 | 3.5 |
| 20" | 27.5 | 38.9 | 38.9 | 21.0 | 10.7 | 5.4 |
| 24" | 39.2 | 55.4 | 55.4 | 30.0 | 15.3 | 7.7 |

- ALL CONCRETE TO BE CLASS B (AE)
- THE "SF" VALUES IN THE ABOVE TABLE ARE BASED ON 3000 p.s.f. SOIL BEARING CAPACITY, 150 p.s.i. TEST PRESSURE AND A 1.5 FACTOR OF SAFETY.
- THE "LF" VALUES IN THE ABOVE TABLE ARE BASED ON A TYPE 3 LAYING CONDITION, A SAND SILT SOIL DESIGNATION, A 5 FOOT RUN LENGTH, 150 P.S.I. TEST PRESSURE AND A 1.5 FACTOR OF SAFETY AS USED IN THE "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" COMPUTER PROGRAM BY THE DUCTILE IRON PIPE RESEARCH ASSOCIATION.
- IF SOIL CONDITIONS OR EXCAVATION LIMITS ENCOUNTERED DURING CONSTRUCTION MAKE IT UNFEASIBLE TO PLACE THRUST BLOCKS AGAINST UNDISTURBED EARTH OF THE PROPER BEARING CAPACITY, THE CONTRACTOR SHALL DESIGN AND PLACE SPECIAL REACTION BLOCKS OF SUFFICIENT WEIGHT TO RESIST FULL THRUST UNDER ALL CONDITIONS. THE DESIGN SHALL BE SUBJECT TO BCWA APPROVAL.
- MINIMUM SURFACE AREAS SHALL BE INCREASED BY 50% IF DEEMED NECESSARY BY THE ENGINEER.
- A MECHANICAL JOINT RESTRAINT SYSTEM MUST BE USED FOR VERTICAL BENDS.
- AT THE DISCRETION OF THE ENGINEER, A JOINT RESTRAINT SYSTEM MAY BE SUBSTITUTED FOR OR USED IN COMBINATION WITH PROPER THRUST BLOCKING.
- A 48 HR. CURING PERIOD MUST BE GIVEN BEFORE FULL LINE PRESSURE CAN BE APPLIED TO NEW CONCRETE THRUST BLOCKS.
- THRUST BLOCK DESIGN FOR PIPE LARGER THAN 24" SHALL BE REVIEWED ON AN INDIVIDUAL BASIS BY THE BCWA.
- THE RESTRAINED LENGTH IS BASED ON DUCTILE IRON PIPE WITH 4 FOOT COVER. IF THE DEPTH VARIES, OR THE DUCTILE IRON PIPE IS POLY WRAPPED THE RESTRAINED LENGTH MUST BE RE-CALCULATED.
- WHENEVER THERE IS A DISCREPANCY BETWEEN THIS DETAIL AND THE WRITTEN SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN.

CONCRETE THRUST BLOCK AND RESTRAINTS AT FITTINGS (BCWA DETAIL 8)

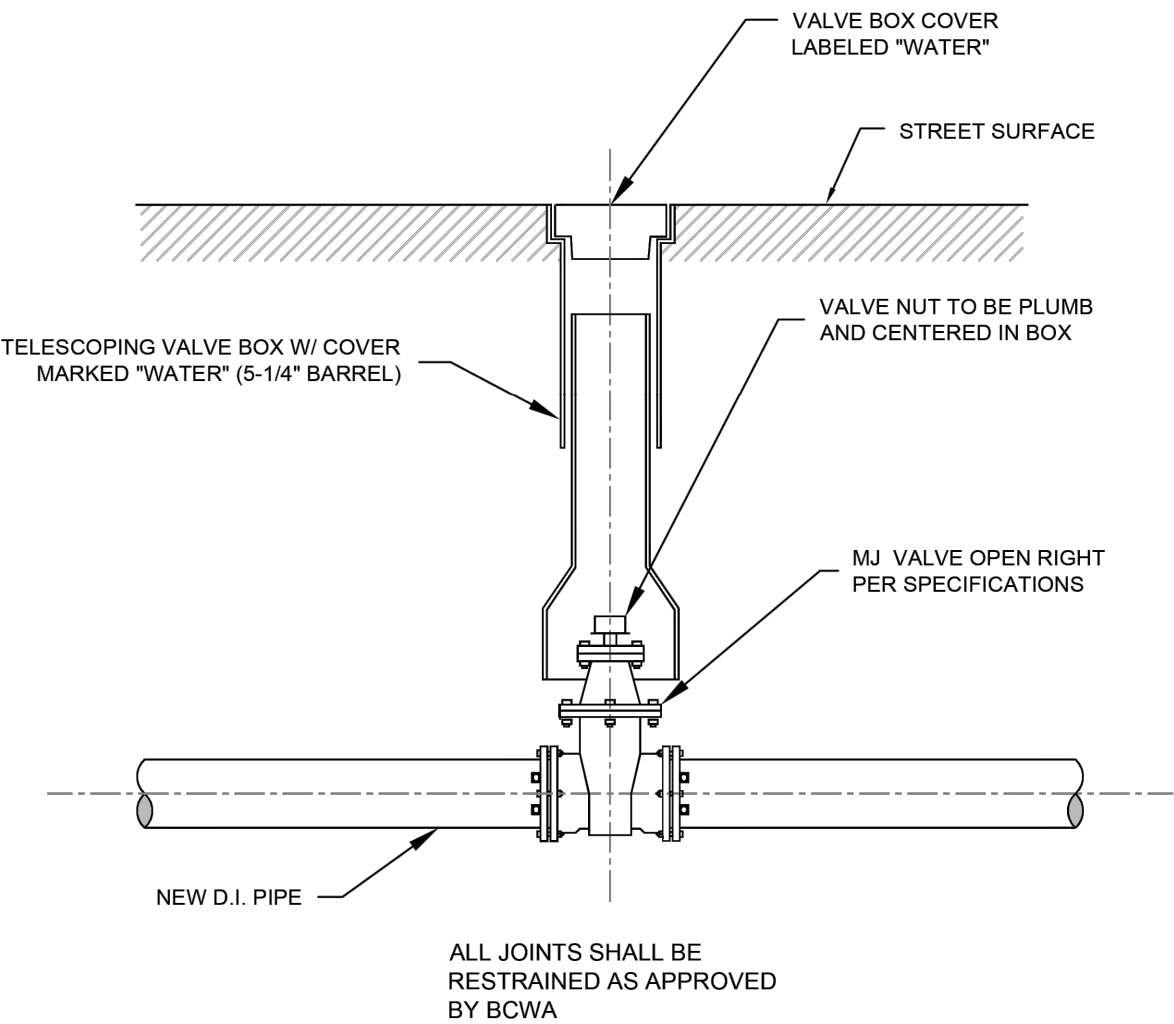
NOT TO SCALE



- NOTES:
- ALL MATERIALS, BEDDING AND BACKFILL PER BCWA SPECIFICATIONS AND SHALL BE INSPECTED AND APPROVED BY THE BCWA PRIOR TO BEING BACKFILLED AND/OR ACTIVATED.
 - ROADWAY AND SIDEWALK RESTORATION SHALL BE PERFORMED IN ACCORDANCE WITH ALL MUNICIPAL OR RIDOT PERMIT REQUIREMENTS.
 - WHENEVER THERE IS A DISCREPANCY BETWEEN THIS DETAIL AND THE WRITTEN SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN.

WATER TRENCH (BCWA DETAIL 1)

NOT TO SCALE



- NOTE:
- ALL MATERIALS, BEDDING AND BACKFILL PER BCWA SPECIFICATIONS.
 - ALL WORK AND MATERIALS SHALL BE INSPECTED AND APPROVED BY THE BCWA PRIOR TO BEING BACKFILLED AND/OR ACTIVATED.
 - WHENEVER THERE IS A DISCREPANCY BETWEEN THIS DETAIL AND THE WRITTEN SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN.

GATE VALVE (BCWA DETAIL 3B)

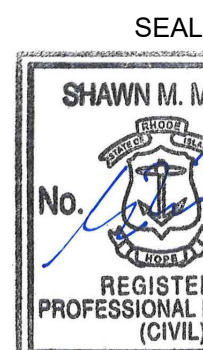
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PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

| No. | DATE | DESCRIPTION | DESIGNER | REVIEWER |
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| 6 | 9/8/23 | BCWA SUBMITTAL | KLM | SMM |
| 5 | 7/12/23 | RESPONSE TO CRMC COMMENTS | KLM/SL | SMM |
| 4 | 5/19/23 | RESPONSE TO TRC AND PARE COMMENTS | KLM/MH | SMM |
| 3 | 3/27/23 | PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS | KLM | SMM |

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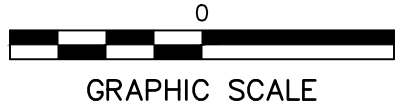
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BRISTOL YARN MILL

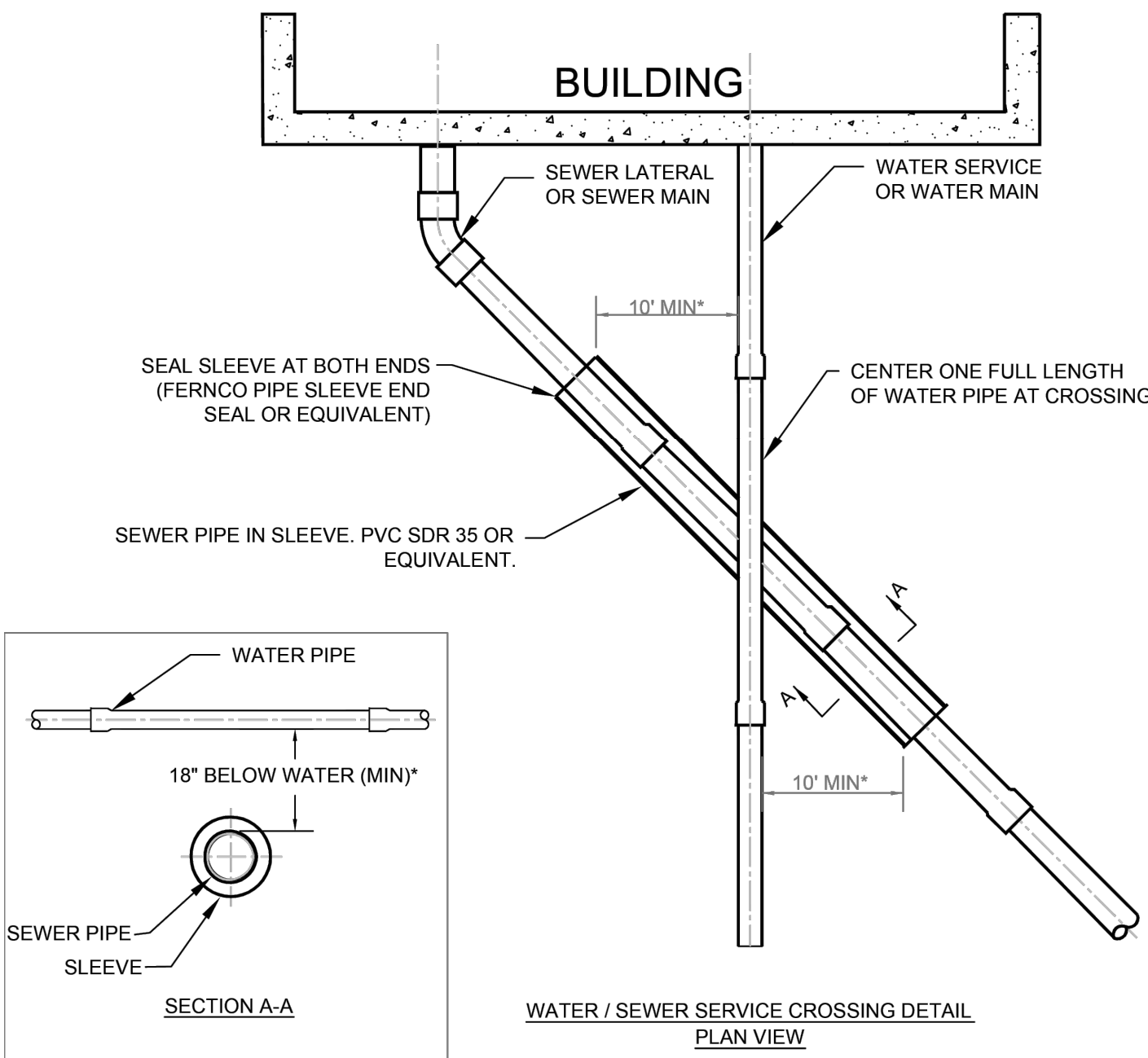
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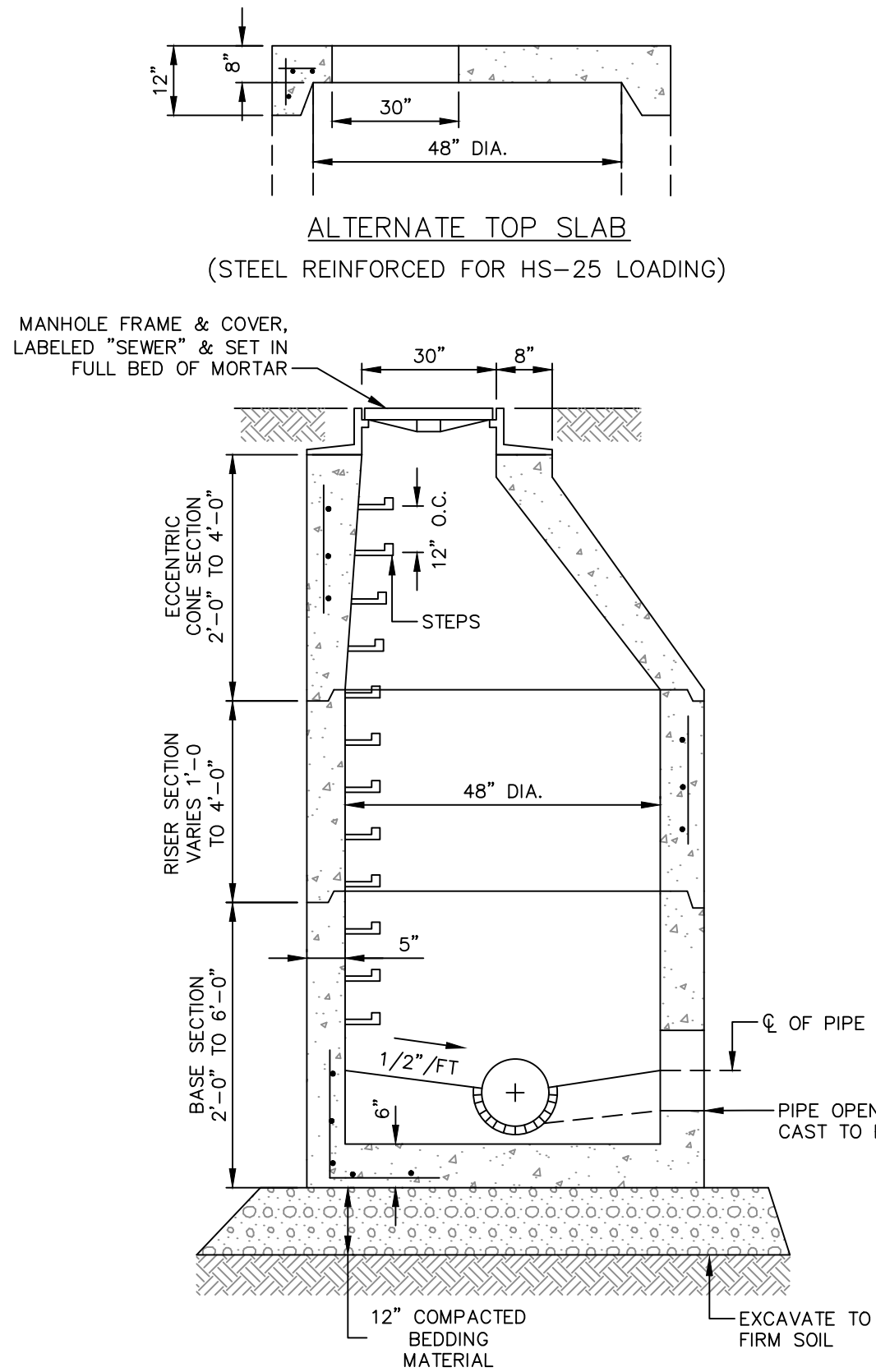
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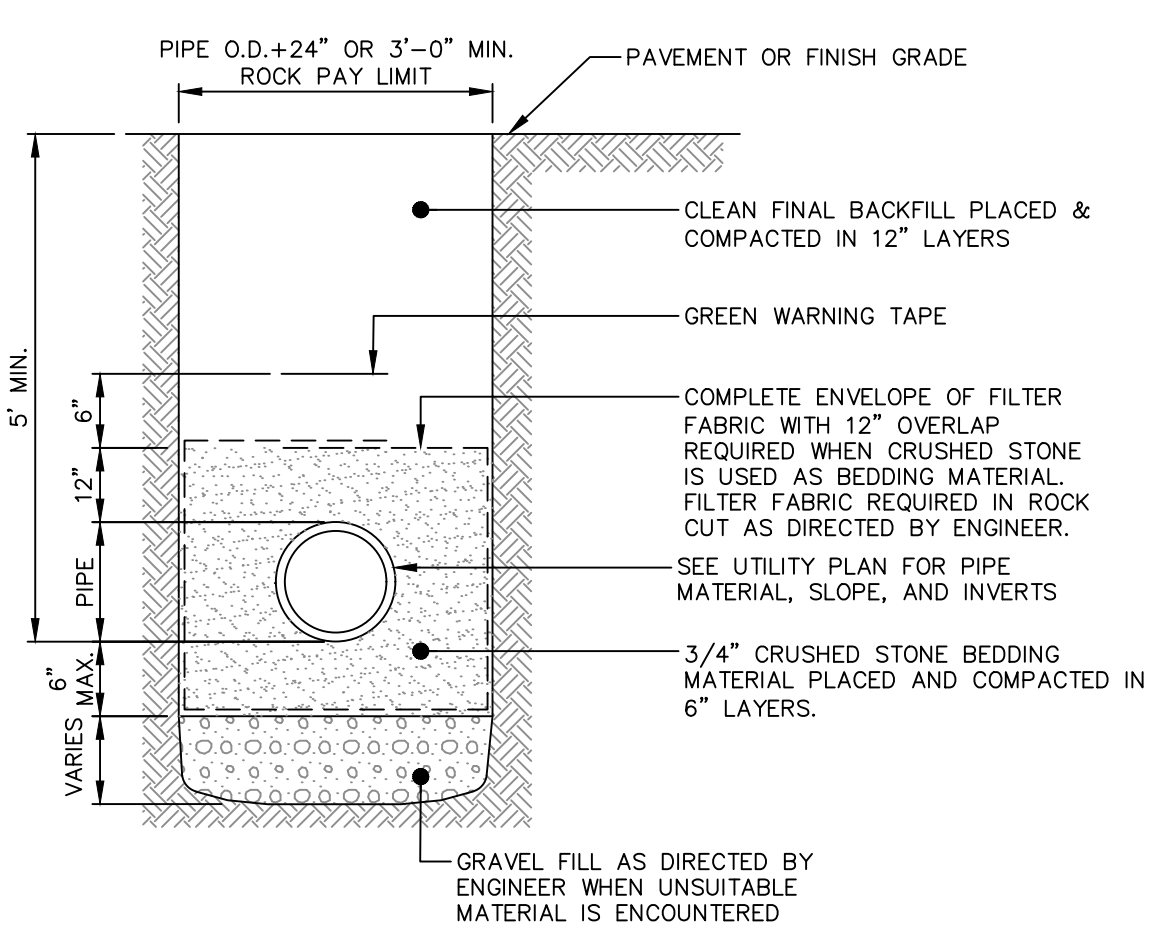


WATER & SEWER SERVICE CROSSING (BCWA DETAIL 9A)
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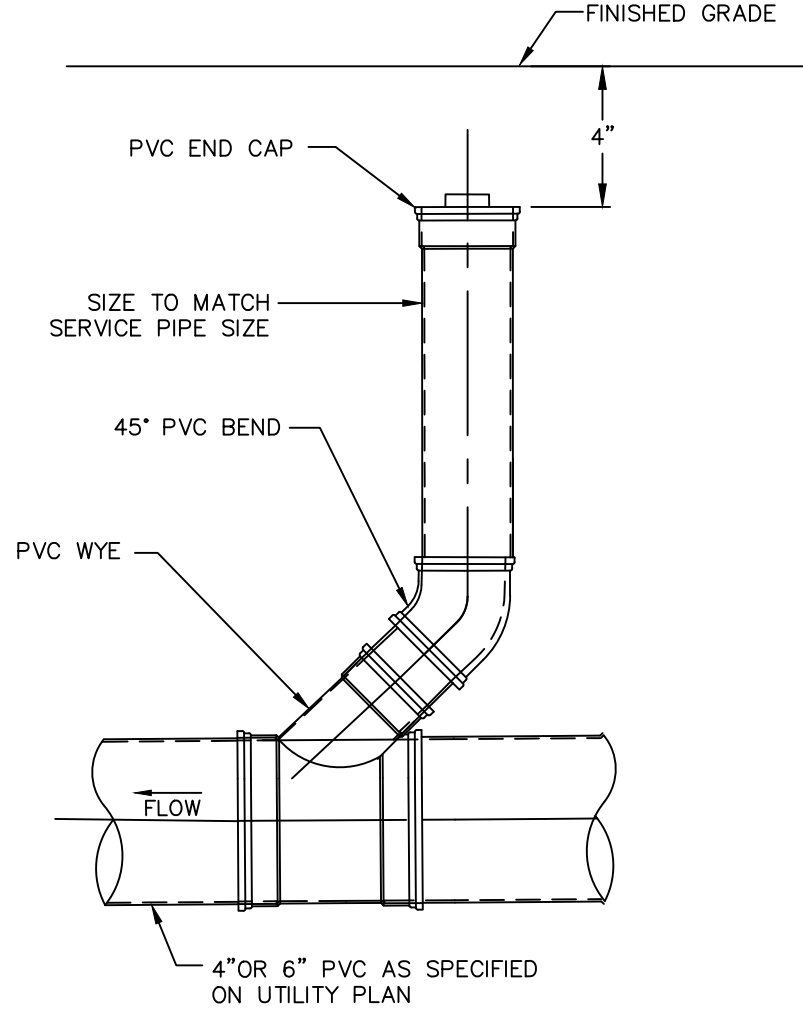
SEWER MANHOLE
NOT TO SCALE

- NOTES:**
1. FRAME AND COVER TO BE R.I. STD. 6.2.1 OR APPROVED EQUAL. LETTERING: "SEWER"
 2. FRAMES SHALL BE SET IN FULL BED OF MORTAR. ADJUST TO GRADE WITH RED CLAY BRICKS AND MORTAR.
 3. REINFORCING STEEL SHALL CONFORM TO ASTM A-185:
 - 0.12 SQ. IN./LIN. FT. CIRCUMFERENTIAL
 - 0.18 SQ. IN./FT. (BOTH WAYS) BASE BOTTOM
 4. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4,000 PSI TYPE II CEMENT.
 5. ONE POUR MONOLITHIC BASE SECTION.
 6. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 7. JOINT SEALANT SHALL BE PREFORMED BUTYL RUBBER MASTIC TYPE SEAL THAT COMPLIES WITH AASHTO M198 OR SYNTHETIC RUBBER GASKET THAT COMPLIES WITH ASTM C-443 OR C-361.
 8. MANHOLE DESIGN SHALL CONFORM TO ASTM C-478 FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."
 9. MANHOLE STEPS SHALL BE ASTM A 615/A615M, DEFORMED, 1/2-INCH STEEL REINFORCED RODS ENCASED IN ASTM D 4101, POLYPROPYLENE PLASTIC. THE CENTERLINE OF OPENING MUST BE WITHIN 2'-0" FROM STEPS.
 10. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 11. INVERT CONSTRUCTED OF BRICK OR CEMENT CONCRETE, CLASS D.



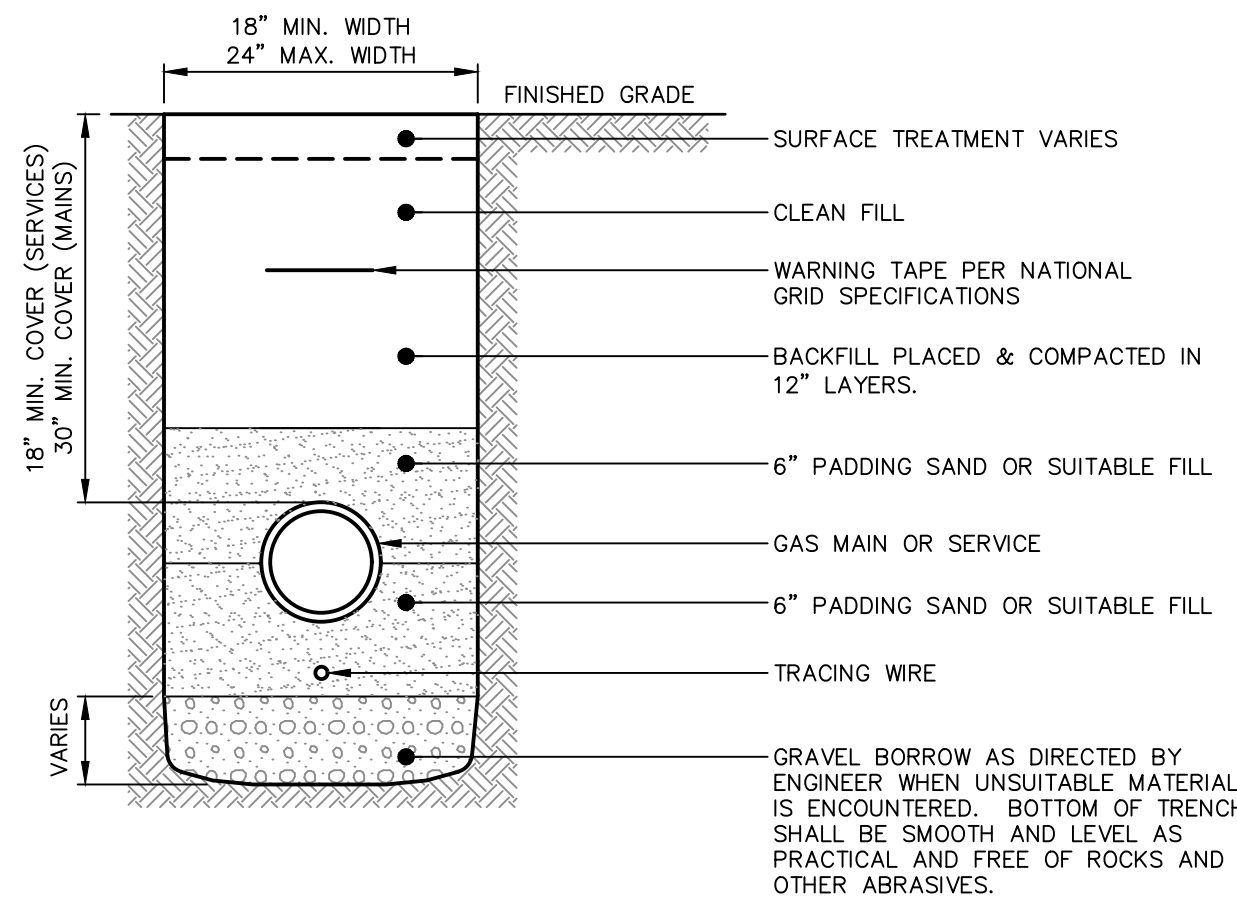
- NOTES:**
1. SEWER TO BE INSULATED WITH 2" RIGID FOAM WHEN LESS THAN 4' COVER IS PROVIDED.

SEWER TRENCH
NOT TO SCALE



- NOTE:**
- IN PAVED AREAS, TURN ADJUSTABLE CLEAN-OUT WITH CAST IRON FRAME AND COVER SHALL BE USED IN LIEU OF PVC END CAP.

SEWER CLEANOUT
NOT TO SCALE



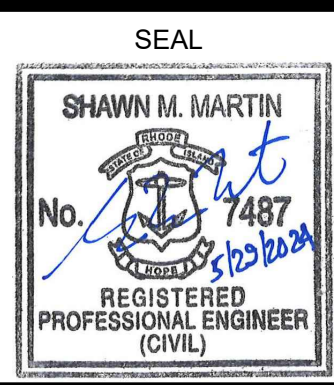
- NOTES:**
1. BEDDING MATERIAL AND INITIAL BACKFILL SHALL BE CLEAN, FREE OF DEBRIS AND RUBBLE, AND FREE OF MATERIALS WHICH MAY CAUSE POLLUTION OF GROUNDWATER.
 2. SPOIL SHOULD BE SET BACK A MINIMUM OF TWO (2) FEET IN ACCORDANCE WITH OSHA REGULATIONS.
 3. GAS SERVICE MUST HAVE A MINIMUM HORIZONTAL SEPARATION OF THREE (3) FEET FROM PARALLEL UTILITIES. A ONE FOOT SEPARATION MUST BE MAINTAINED WHEN CROSSING OTHER UTILITIES.
 4. THE MAXIMUM TRENCH DEPTH FOR GAS MAINS IS 48-INCHES WHILE THE MAXIMUM TRENCH DEPTH FOR SERVICES IS 36-INCHES.

GAS TRENCH
NOT TO SCALE

PLANNING BOARD APPROVAL

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| 4 | 5/19/23 | RESPONSE TO TRC AND PARE COMMENTS | KLM/MH | SMM |
| 3 | 3/27/23 | PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS | KLM | SMM |
| No. | DATE | DESCRIPTION | DESIGNER | REVIEWER |



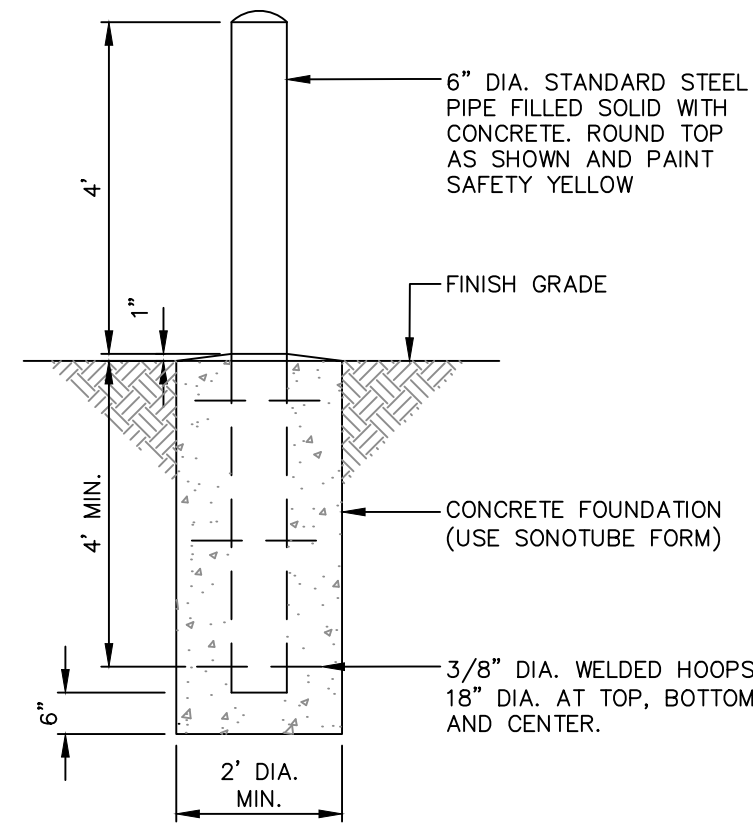
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f **FUSS & O'NEILL**
317 IRON HORSE WAY, SUITE 204
PROVIDENCE, RI 02908
401.861.3070
www.fando.com

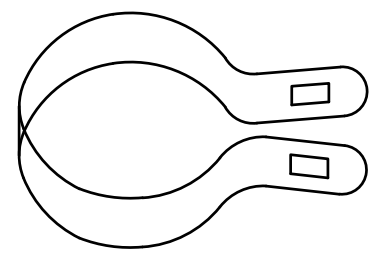
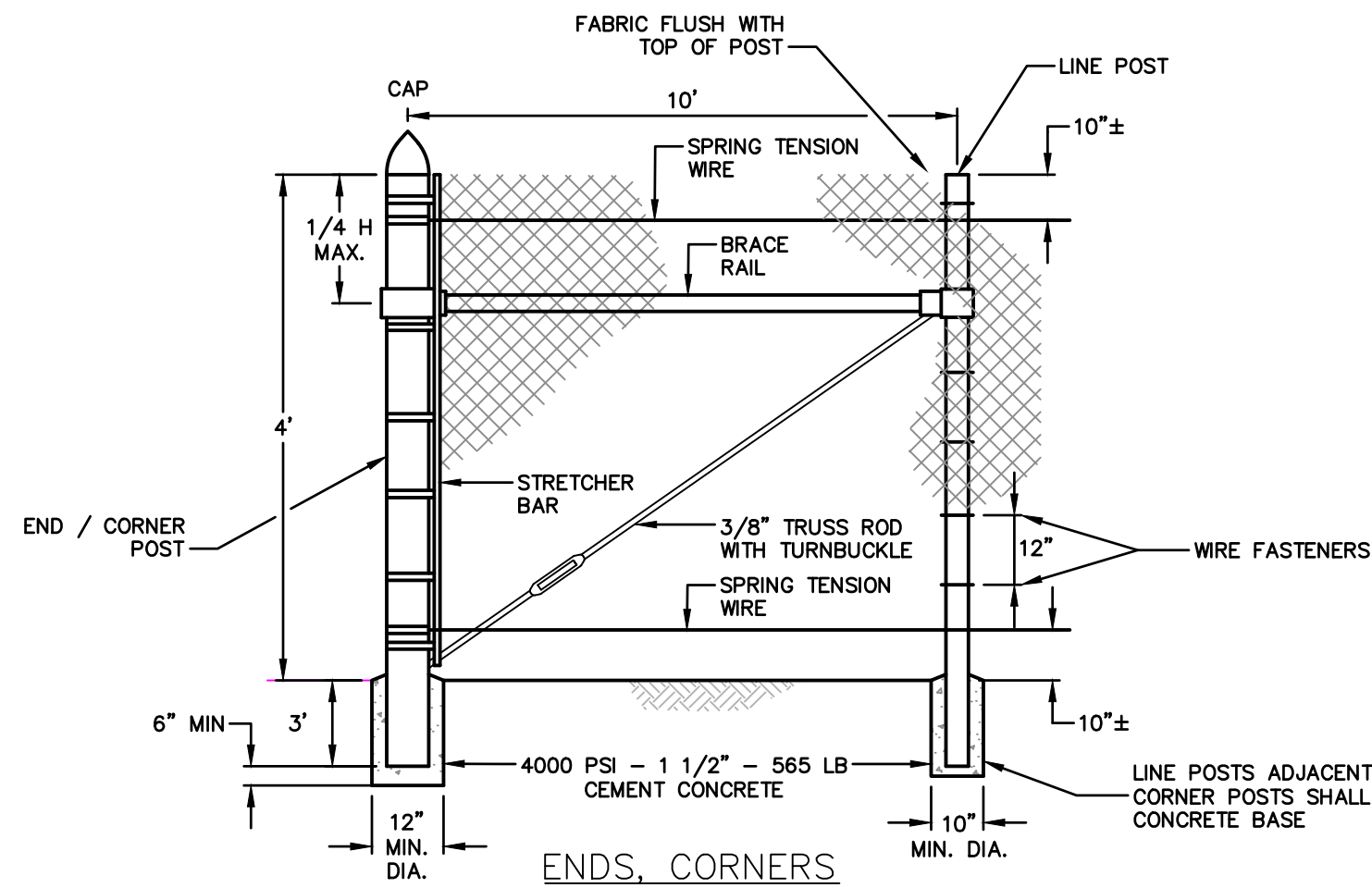
BRADY SULLIVAN PROPERTIES, LLC
DETAILS
BRISTOL YARN MILL
125 THAMES STREET
BRISTOL, RHODE ISLAND

| |
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| PROJ. No.: 20061150.A22 DATE: DECEMBER 6, 2022 |
| CD-509 |
| SHEET 24 OF 28 |

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BOLLARD
NOT TO SCALE

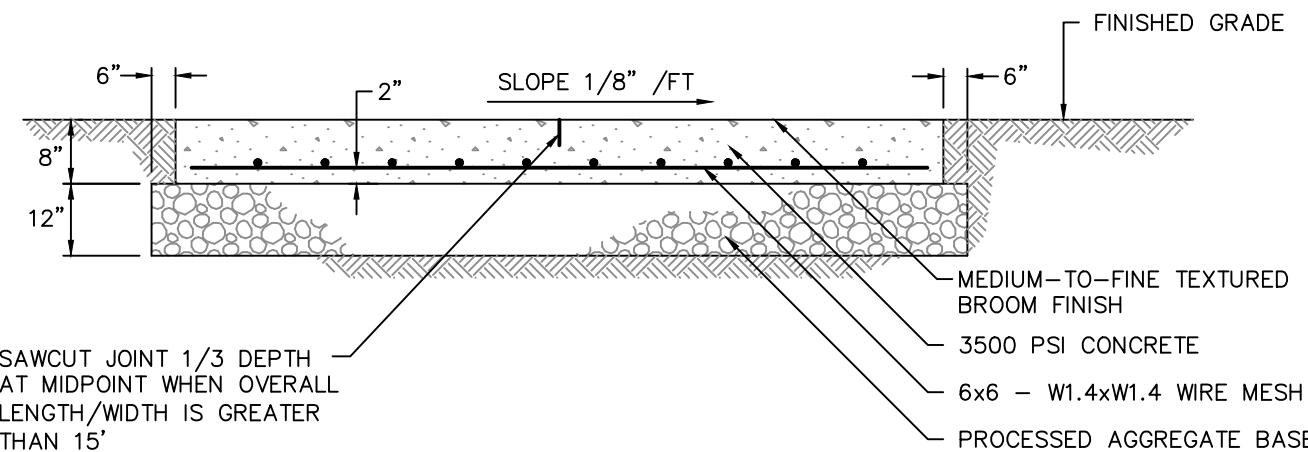


SPRING TENSION WIRE
MINIMUM OF (5) TURNS AROUND THE SPRING TENSION WIRE TO END INSTALLATION. ALL BANDS SHALL BE ROUND ON ROUND POSTS.

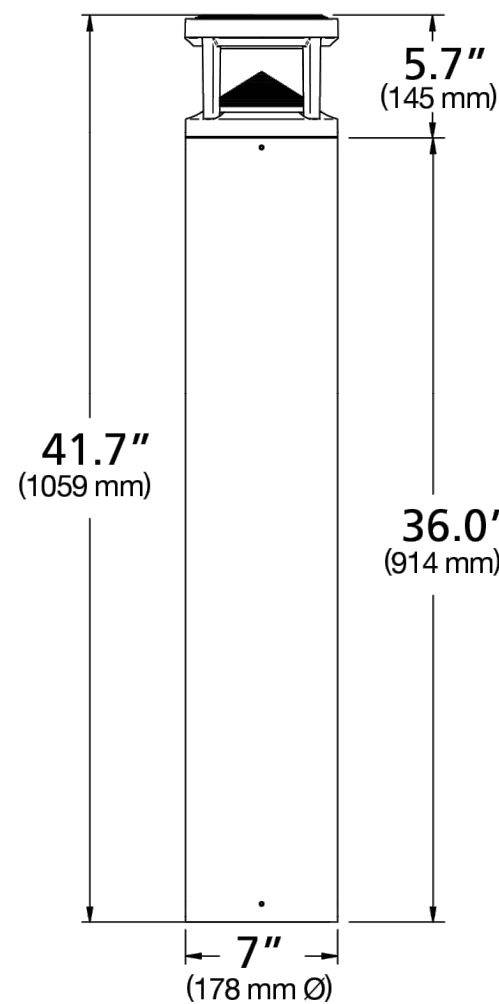
END BAND

- NOTES:**
1. FABRIC FOR FENCE: TOP SELVAGE TO HAVE KNUCKLED FINISH, BOTTOM SELVAGE TO HAVE TWISTED AND BARBED FINISH UNLESS OTHERWISE NOTED.
 2. GRADE OF FENCE TO BE PARALLEL WITH THE GRADE OF GROUND.
 3. FOR DESCRIPTION, MATERIAL AND CONSTRUCTION METHODS, SEE SPECIFICATIONS.
 4. SPRING TENSION WIRE TO BE FASTENED TO FABRIC WITH 11 GAUGE HOG RINGS AT 1' INTERVALS.
 5. SPRING TENSION WIRE TO BE FASTENED TO LINE POSTS WITH CLIPS.
 6. LINE POST TO BE DRIVEN EXCEPT WHERE NOTED ABOVE.

CHAIN LINK FENCE
NOT TO SCALE

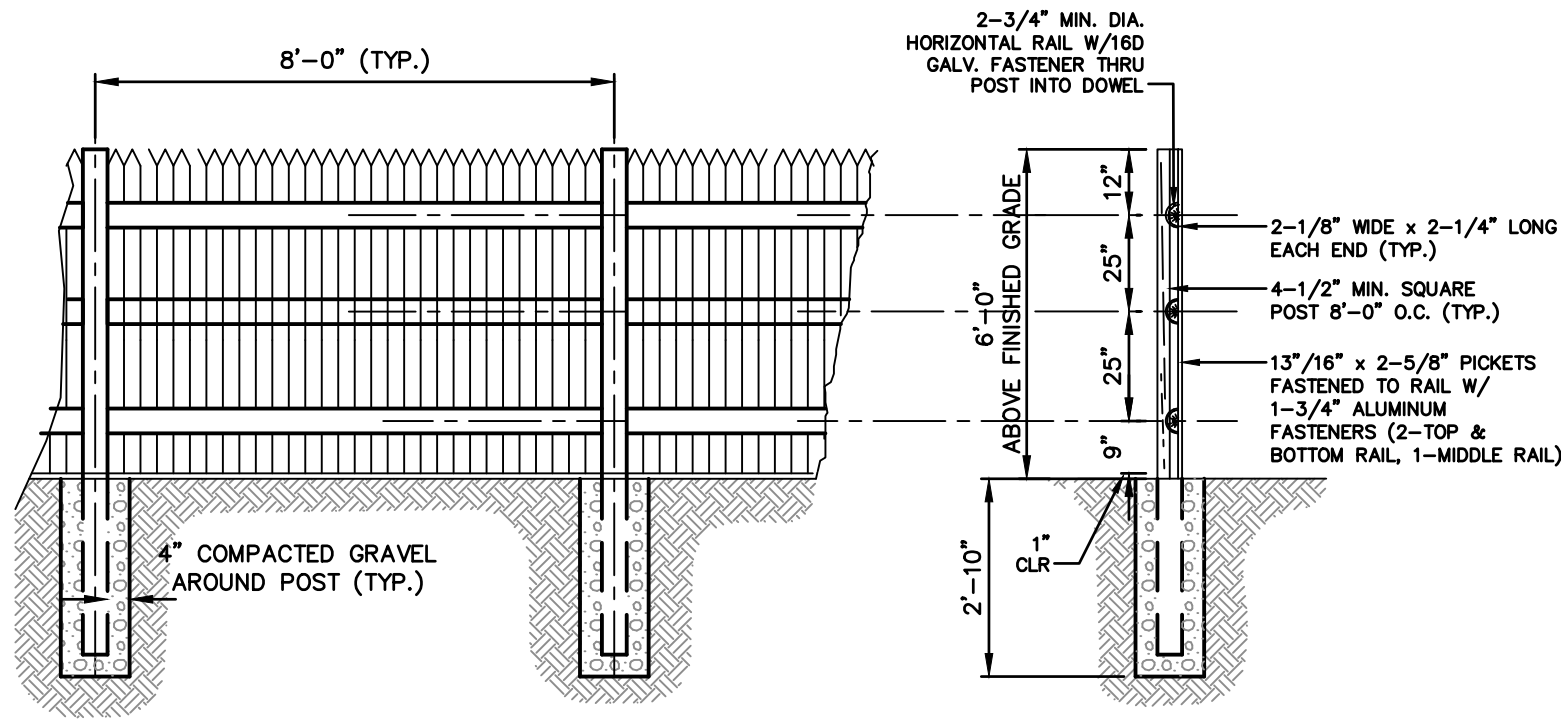


CONCRETE DUMPSTER PAD
NOT TO SCALE



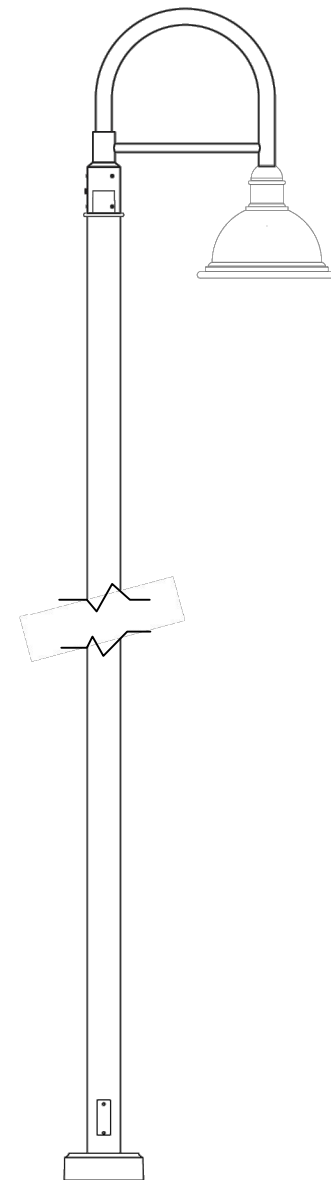
- NOTES:**
1. LIGHT BOLLARD SHALL BE PAVILION BOLLARD PATR MANUFACTURED BY KIM LIGHTING.
 2. BOLLARD SHALL HAVE A FLAT TOP WITH NO UPLIGHT. A LIGHT ENGINE WITH THE SPECIFICATIONS OF 22W, 4000K, 70CRI, AND A VOLTAGE OF 120-277V.
 3. FINISH SHALL BE APPROVED BY OWNER.

LIGHT BOLLARD
NOT TO SCALE



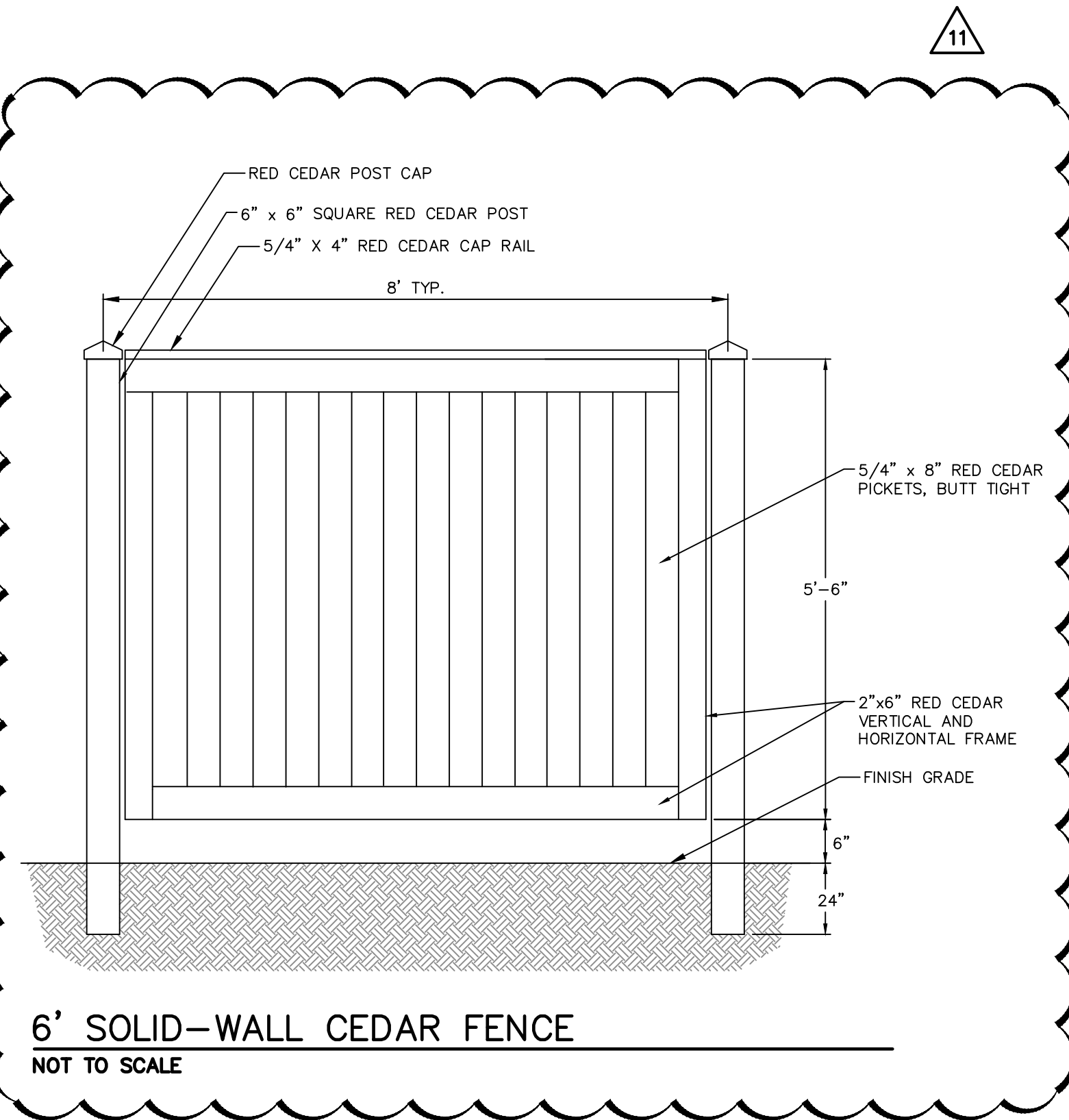
- NOTES:**
1. ALL FENCING MATERIAL SHALL BE PVC TO THE DIMENSIONS SHOWN ON THE DRAWING.
 2. POSTS SHALL MAINTAIN A DEPTH OF 2'-10" IN GROUND AND SHALL BE RACKED TO ACCOMMODATE ANY CHANGES IN GRADE.
 3. LINE OF FENCE TOP AND BOTTOM SHALL BE INSTALLED STRAIGHT AND TRUE. ALL POSTS AND FACING BOARDS OR SLATS SHALL BE INSTALLED PARALLEL AND PLUMB. ALL RAILS SHALL BE INSTALLED PARALLEL AND TRUE.
 4. ALL GATE HARDWARE SHALL BE DOUBLE DIP HOT GALVANIZED.
 5. FENCE SHALL TAPER FROM 6' TO 4' HEIGHT IN SINGLE 8' PANEL WHERE INDICATED ON PLANS.

6' STOCKADE FENCE
NOT TO SCALE

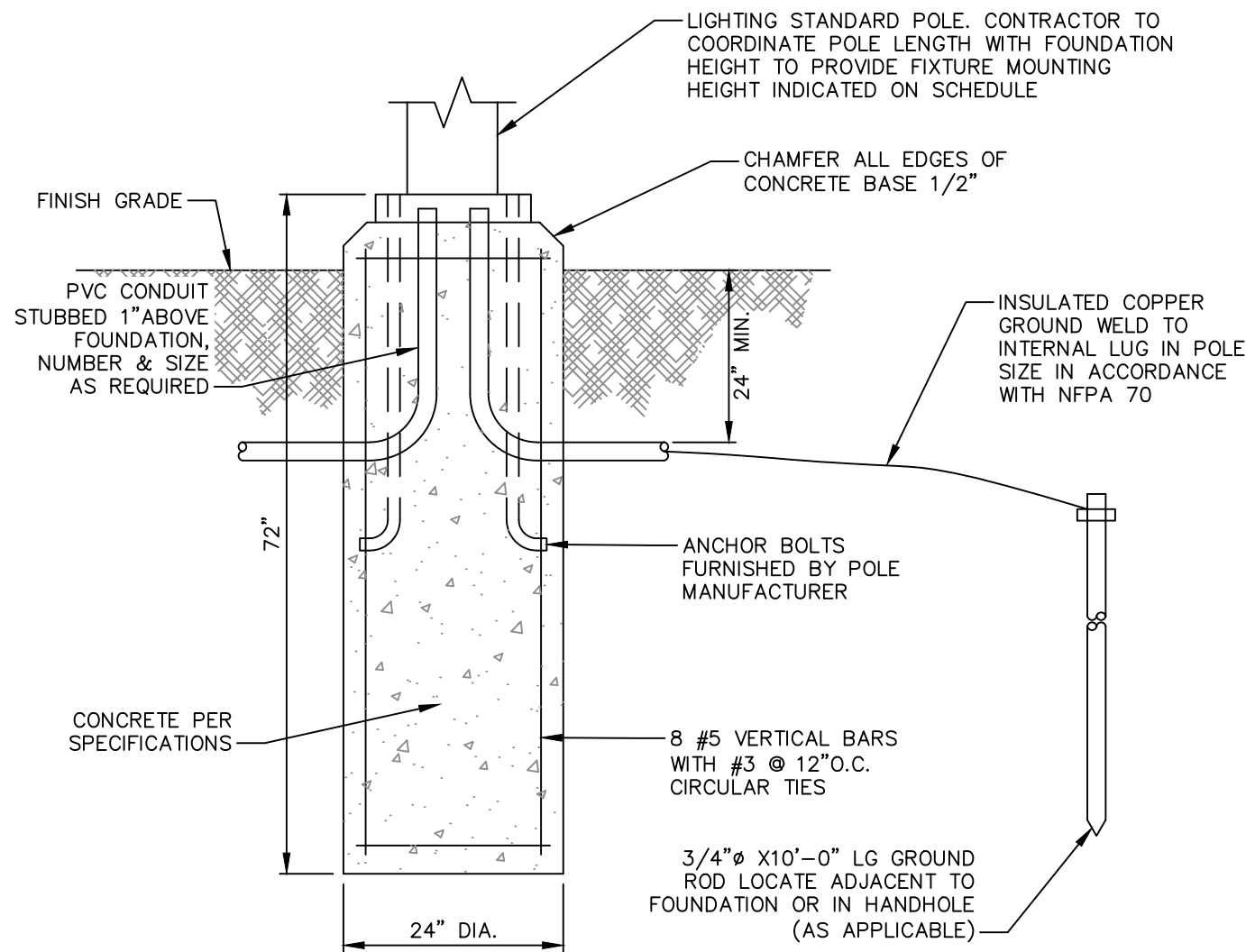


- NOTES:**
1. LIGHT FIXTURE SHALL BE 1521LED-R OMEGA MANUFACTURED BY STERNBERG LIGHTING.
 2. FIXTURE SHALL HAVE A FLAT LENS, 16L LED RATING, 40K COLOR TEMPERATURE, DISTRIBUTION TYPE T4, A DRIVER MEETING THE SPECIFICATION OF 120-277V,180mA (MDL018), AND A BACK LIGHT OPTICAL CONTROL.
 2. LIGHT POLE SHALL BE 550 CONCORD MANUFACTURED BY STERNBERG LIGHTING.
 3. POLE SHALL BE STRAIGHT SMOOTH.
 4. LIGHT POLE ARM SHALL BE OES/1-OESPT MANUFACTURED BY STERNBERG LIGHTING.
 5. FINISH SHALL BE APPROVED BY OWNER.
 6. MOUNTING HEIGHT SHALL BE 12 FEET.

LIGHT POLE & FIXTURE
NOT TO SCALE



6' SOLID-WALL CEDAR FENCE
NOT TO SCALE



LIGHT POLE BASE
NOT TO SCALE

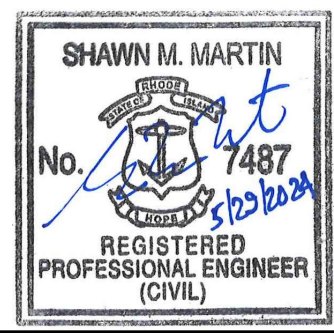
PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

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SEAL

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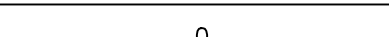
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FUSS & O'NEILL

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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

125 THAMES STREET

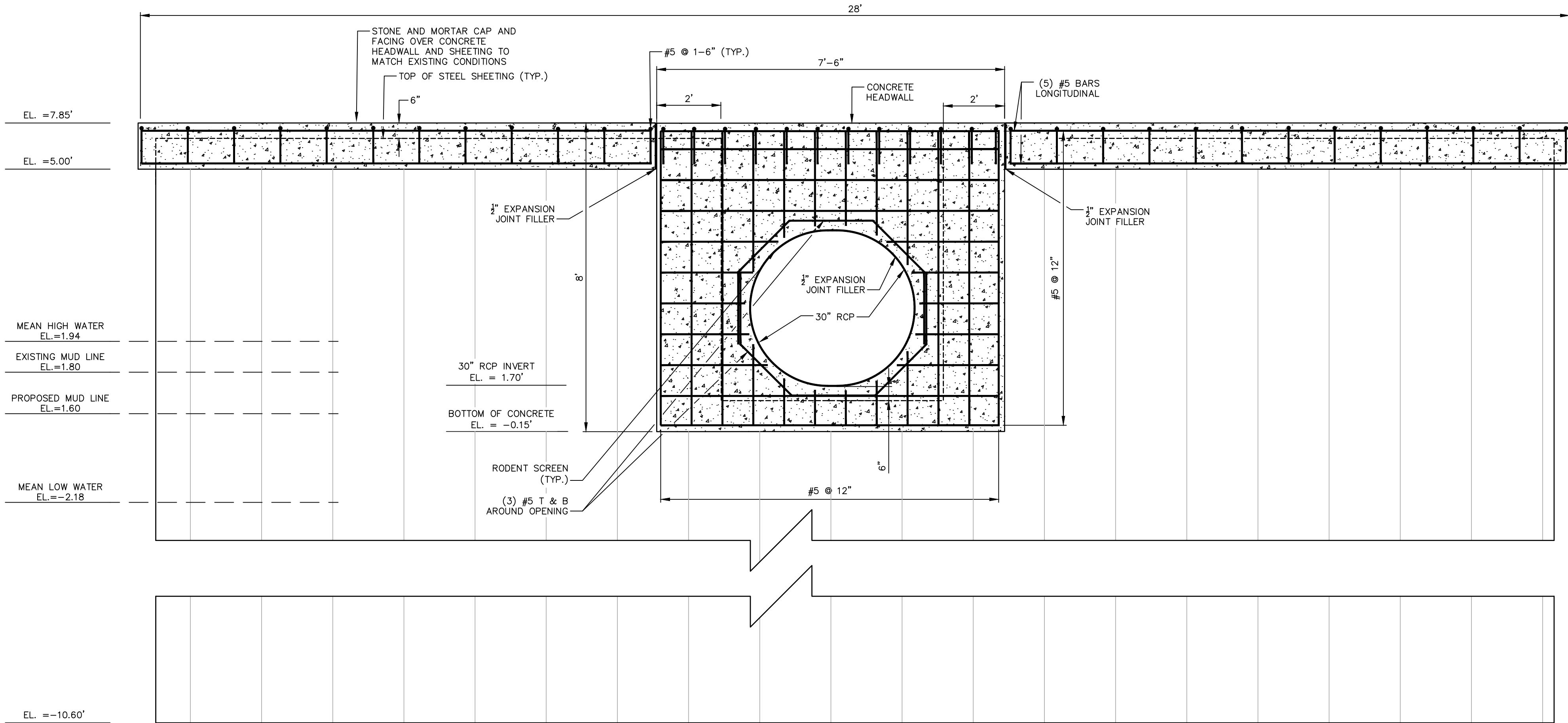
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

CD-510

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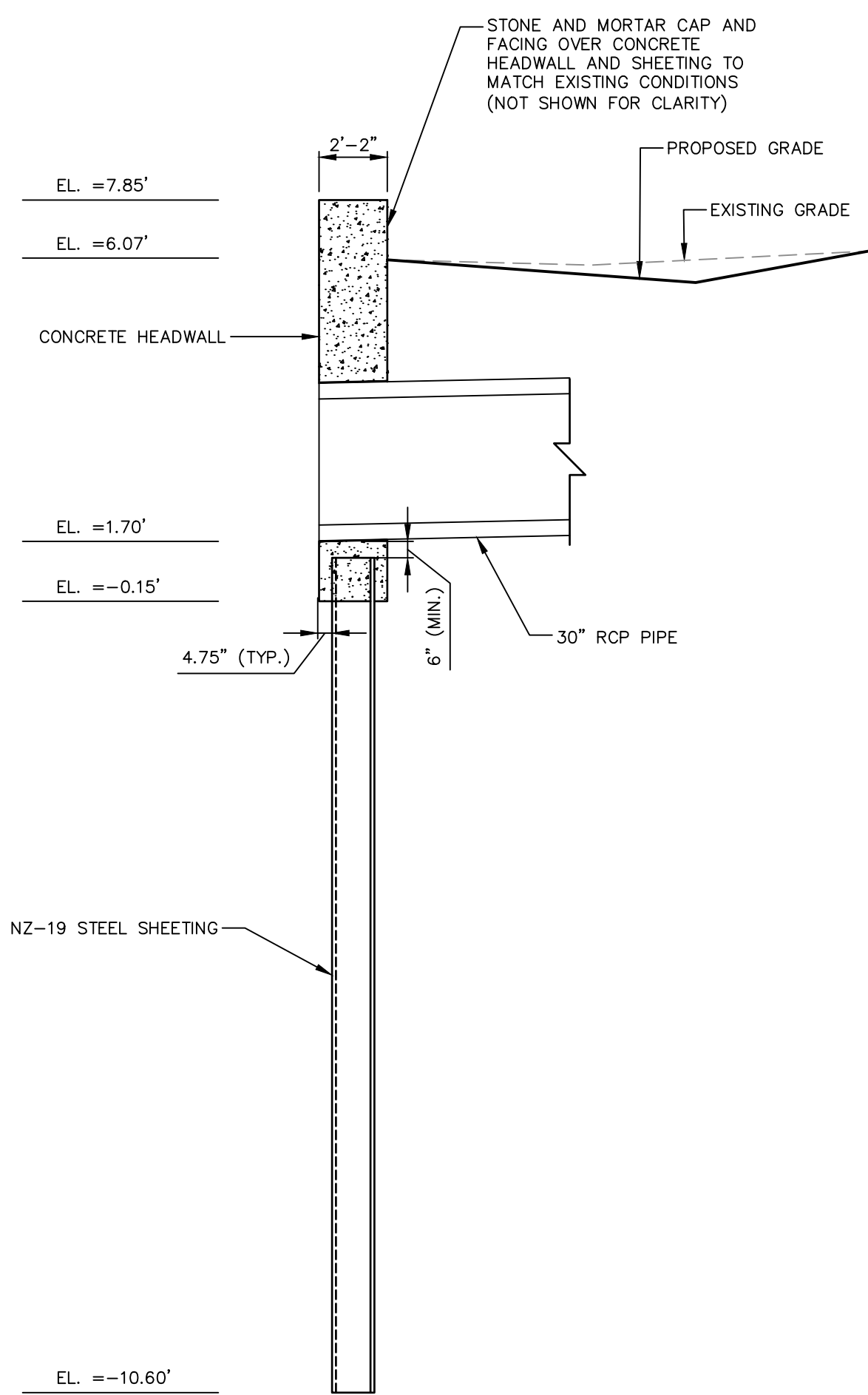
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- NOTES:**
- BACKFILL SHALL BE LESS 10 PERCENT SILT CONTENT.
 - CEMENT SHALL BE TYPE 2 OR TYPE 5 AIR ENTRAINING PORTLAND CEMENT OR AN EQUIVALENT
 - CONTRACTOR SHALL PREPARE AND SUBMIT A SHOP DRAWING FOR THE FINAL DESIGN OF THE SEAWALL AND WATER MANAGEMENT SYSTEM FOR ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
 - DESIGN SUBMITTALS SHALL BE PREPARED BY A QUALIFIED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF RHODE ISLAND AND SHALL COMPLY WITH ALL RIDEM, CRMC, AND USACE REGULATIONS AND PERMIT CONDITIONS.
 - FILLING, GRADING, DREDGING, EXPANSION, OR ANY OTHER ACTIVITY NOT AUTHORIZED BY RIDEM, CRMC, OR USACE IS PROHIBITED.

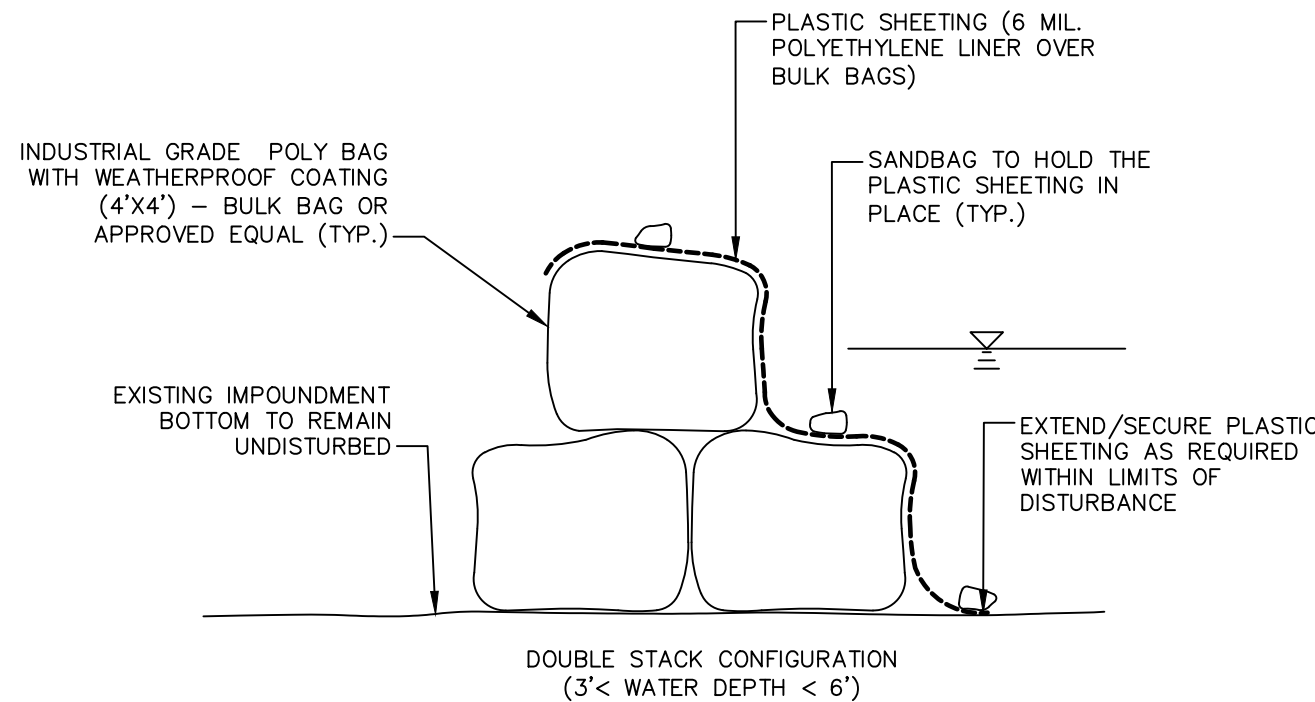
HEADWALL PROFILE

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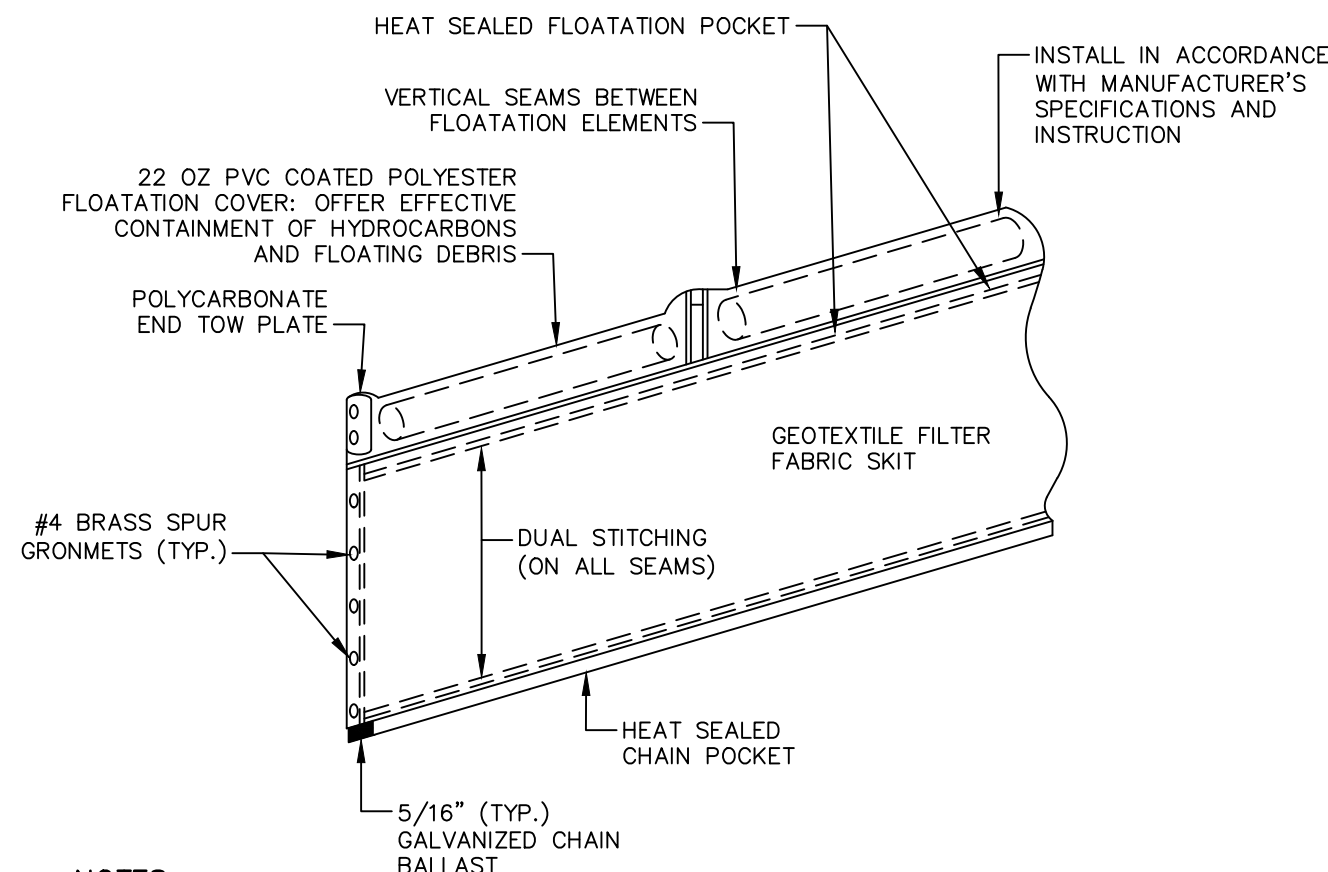
HEADWALL SECTION

NOT TO SCALE



TEMPORARY COFFERDAM

NOT TO SCALE



- NOTES:**
- FLOATATION SIZE (6", 8" OR 12" DIA.) DETERMINED BY SKIRT DEPTH/SITE VARIABLES.
 - OTHER END TYPES AVAILABLE SUCH AS ALUMINUM UNIVERSAL SLIDE OR SLOTTED TUBE.
 - OPTIONAL TOP TENSION CABLE (5/16" TYP.) AVAILABLE FOR INCREASED STRENGTH.

TEMPORARY TURBIDITY CURTAIN

NOT TO SCALE

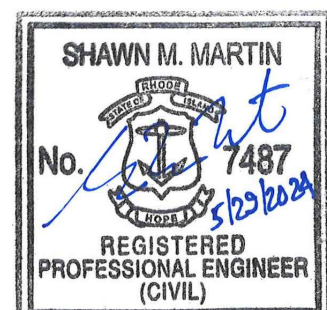
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PLANNING BOARD CHAIR OR DESIGNEE DATE

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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

125 THAMES STREET

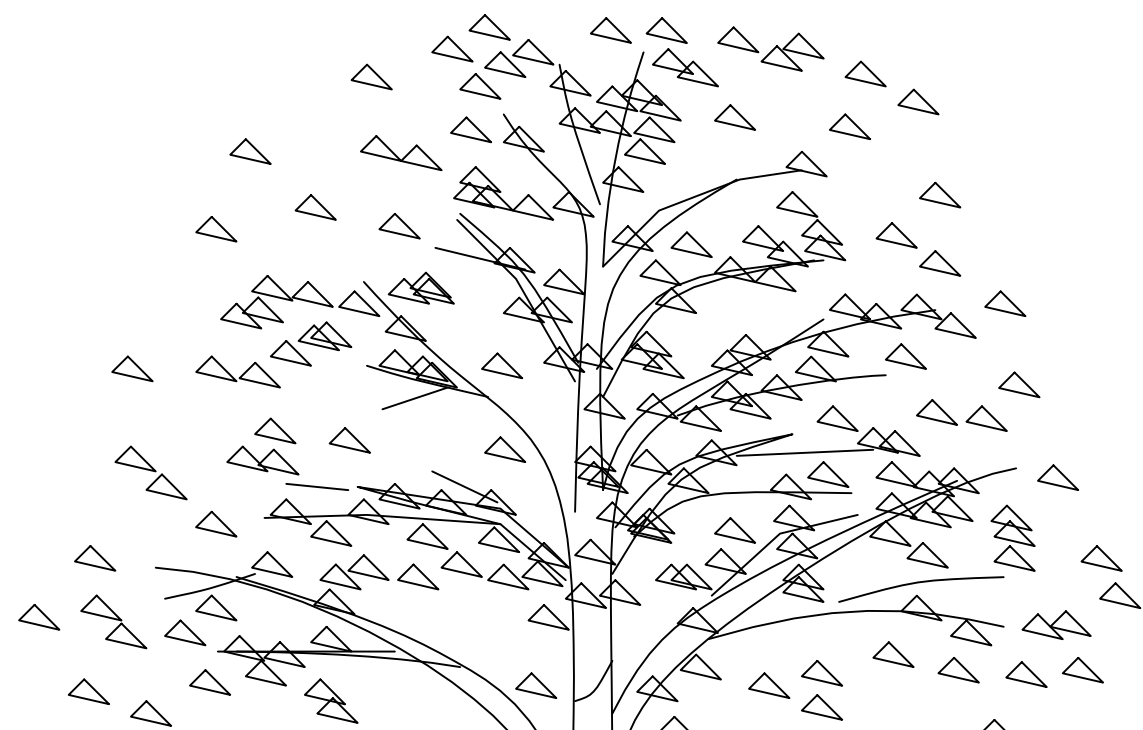
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

CD-511

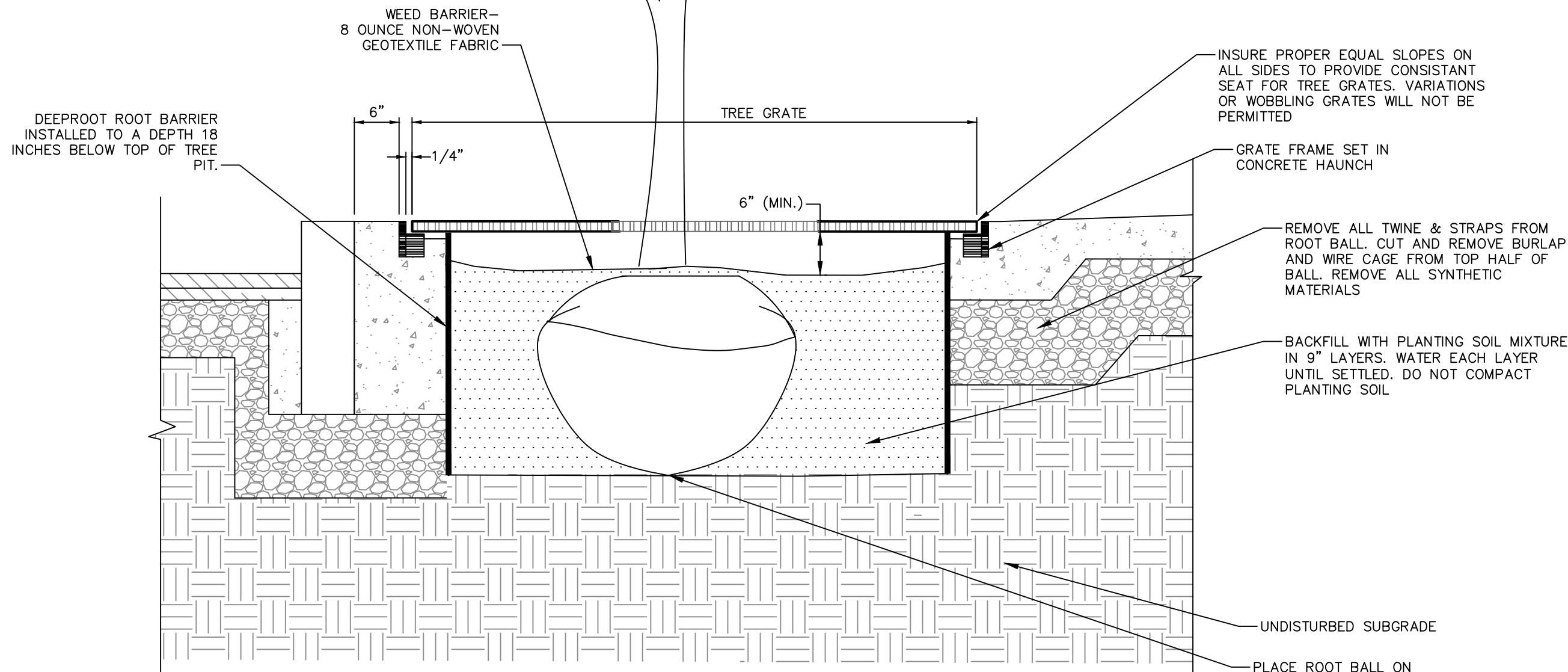
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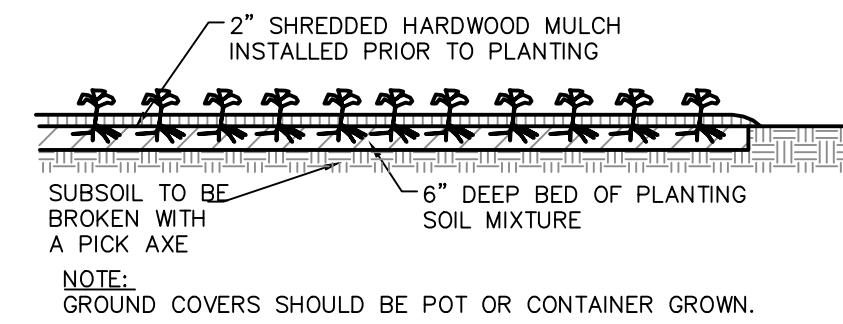
COMPANY: IRON AGE DESIGNS OR APPROVED EQUAL.
TREE GRATE: 5'X5' INTERLAKEN
TREE GRATE FINISH: BAKED OIL
TELEPHONE: (877)-418-3568
WWW.IRONAGEGRATES.COM

* INSTALL PER MANUFACTURER'S RECOMMENDATIONS.



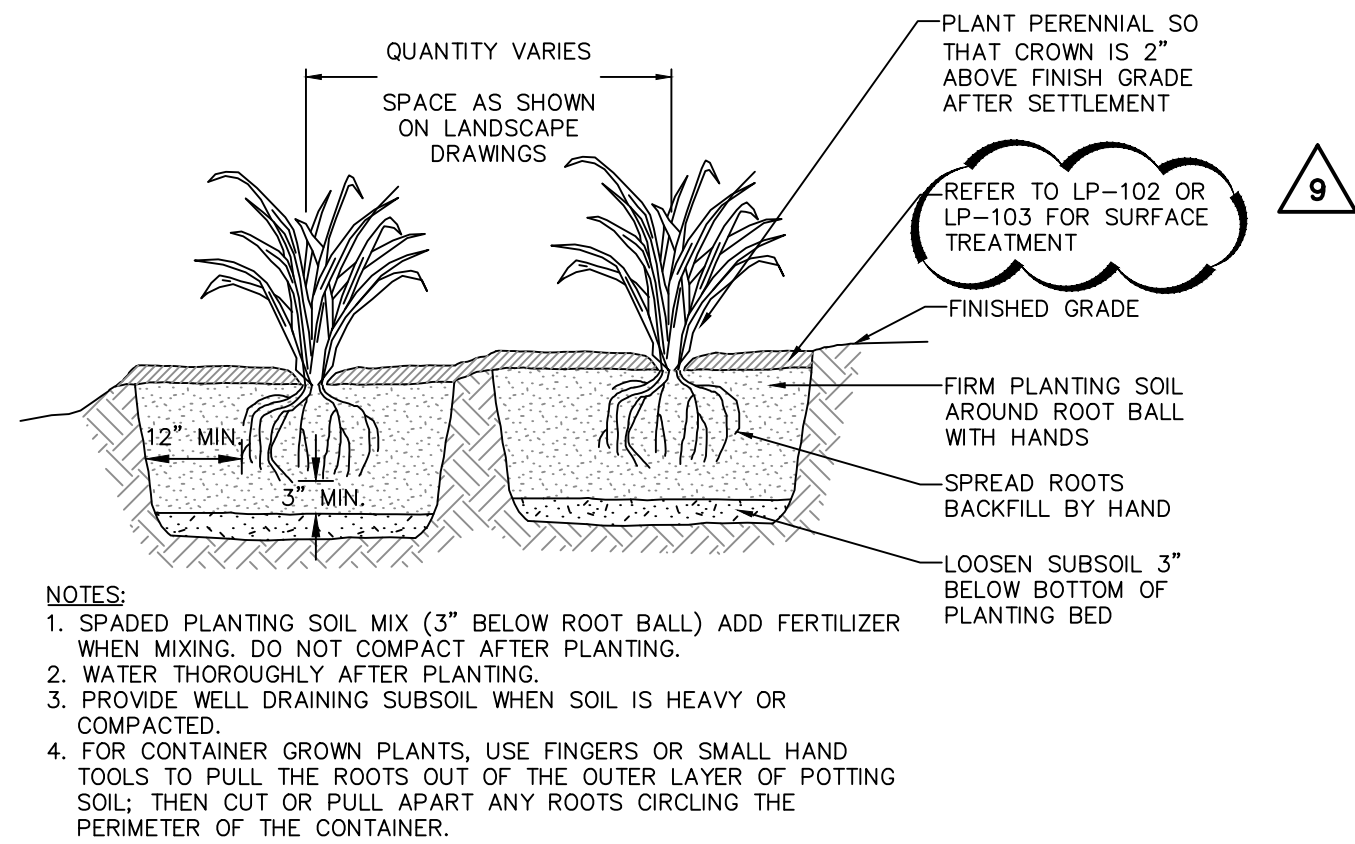
PLANTING SOIL NOTES

- 1. SOIL MATERIAL:
 - 1.1. PLANTING SOIL SHALL HAVE A SANDY LOAM, LOAMY SAND, OR LOAM TEXTURE PER USDA TEXTURAL TRIANGLE. MAXIMUM CLAY CONTENT IS <15%; SOIL MIXTURE SHALL BE 50-60% SAND; 20-30% PINE BARK MULCH; AND 20-30% TOPSOIL.
 - 1.2. THE SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS, OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE BIORETENTION THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVE A HINDRANCE TO THE PLANTING OR MAINTENANCE OPERATIONS. THE PLANTING SOIL SHALL BE FREE OF BERMUDA GRASS, QUACKGRASS, JOHNSON GRASS, MUWORT, NUTSEDGE, POISON IVY, CANADIAN THISTLE, TEARTHUB, OR OTHER NOXIOUS WEEDS.
 - 1.3. SOIL MIXTURE SHALL HAVE 3-5% ORGANIC MATTER BY VOLUME.
- 2. LABORATORY TESTING:
 - 2.1. SOIL MUST BE TESTED AND APPROVED AS CLEAN FILL IN ACCORDANCE WITH THE REMEDIAL ACTION WORK PLAN (RAWP) PRIOR TO IMPORTATION TO THE SITE.
 - 2.2. A TEXTURAL ANALYSIS IS REQUIRED TO ENSURE THE SOIL MEETS THE FOLLOWING SPECIFICATIONS.
 - 2.3. THE SOIL SHALL ALSO BE TESTED FOR THE FOLLOWING CRITERIA:
 - A. PH RANGE 5.2 - 7.0
 - B. MAGNESIUM NOT TO EXCEED 32 PPM
 - C. PHOSPHORUS P205 NOT TO EXCEED 69 PPM
 - D. POTASSIUM K20 NOT TO EXCEED 78 PPM
 - E. SOLUBLE SALTS NOT TO EXCEED 500 PPM
- 3. SOIL MAY BE MODIFIED TO ADJUST PH (HIGHER) WITH LIME OR (LOWER) WITH IRON SULFATE PLUS SULFUR.

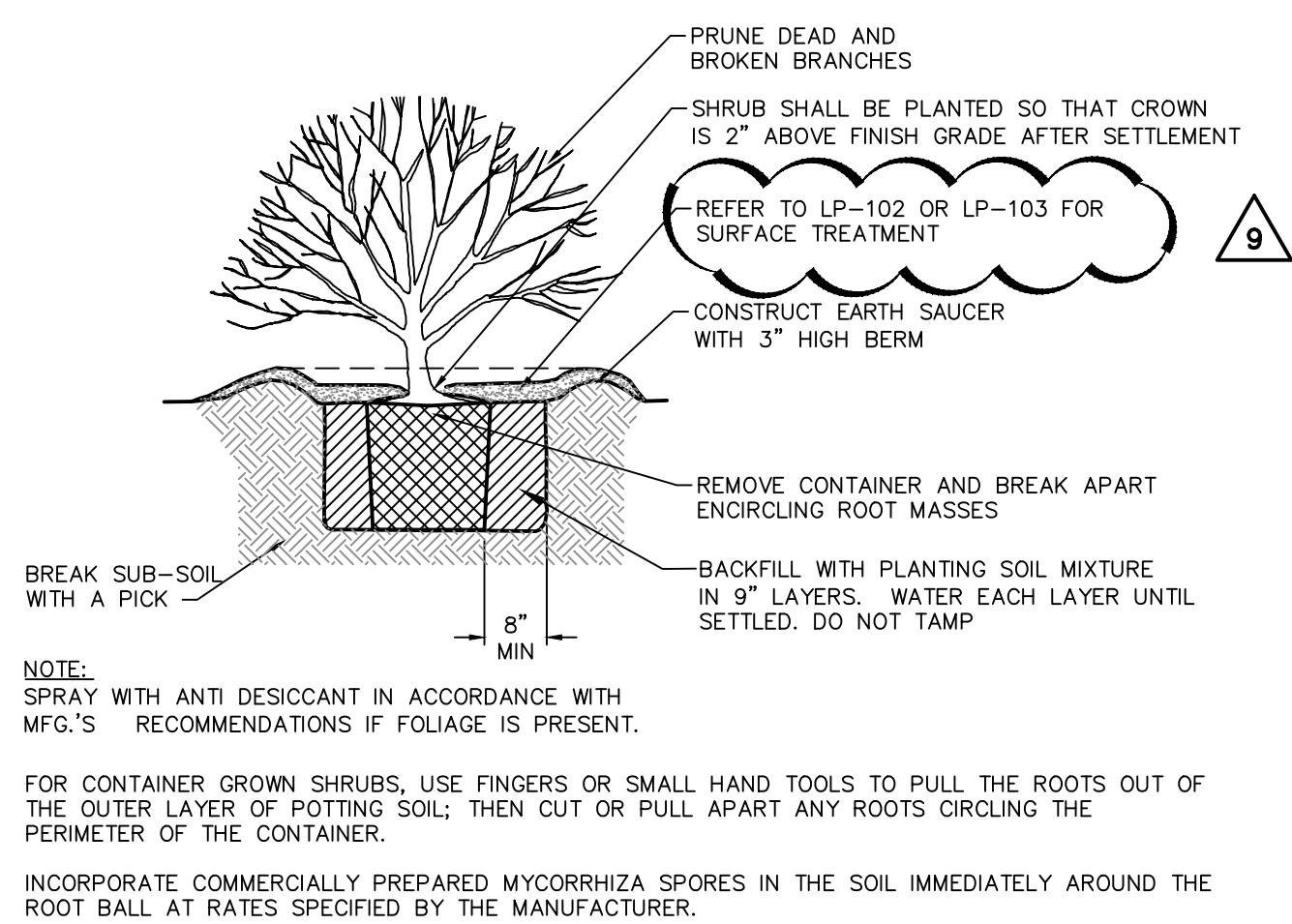


TREE PIT
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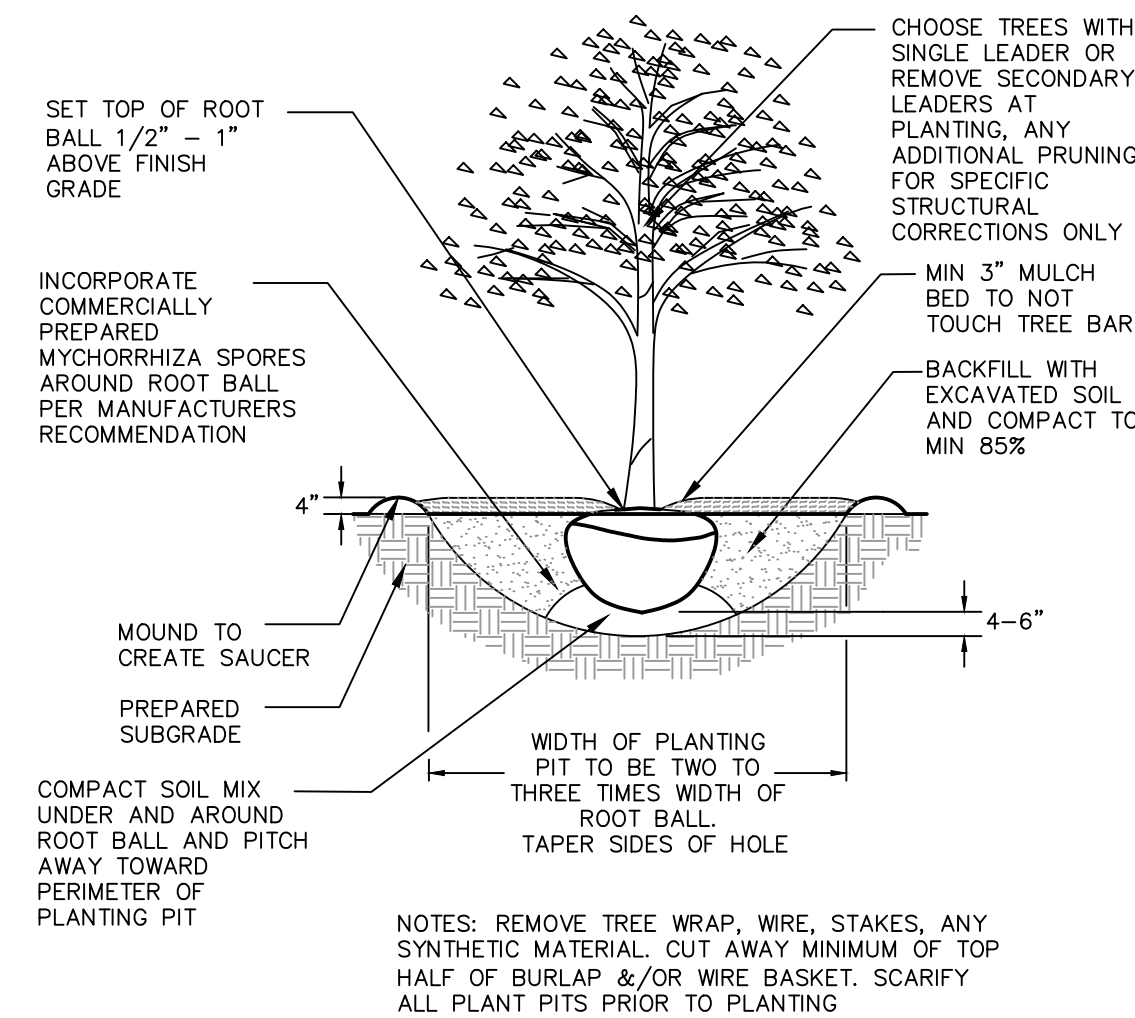
GROUNDCOVER/ANNUAL PLUG PLANTING
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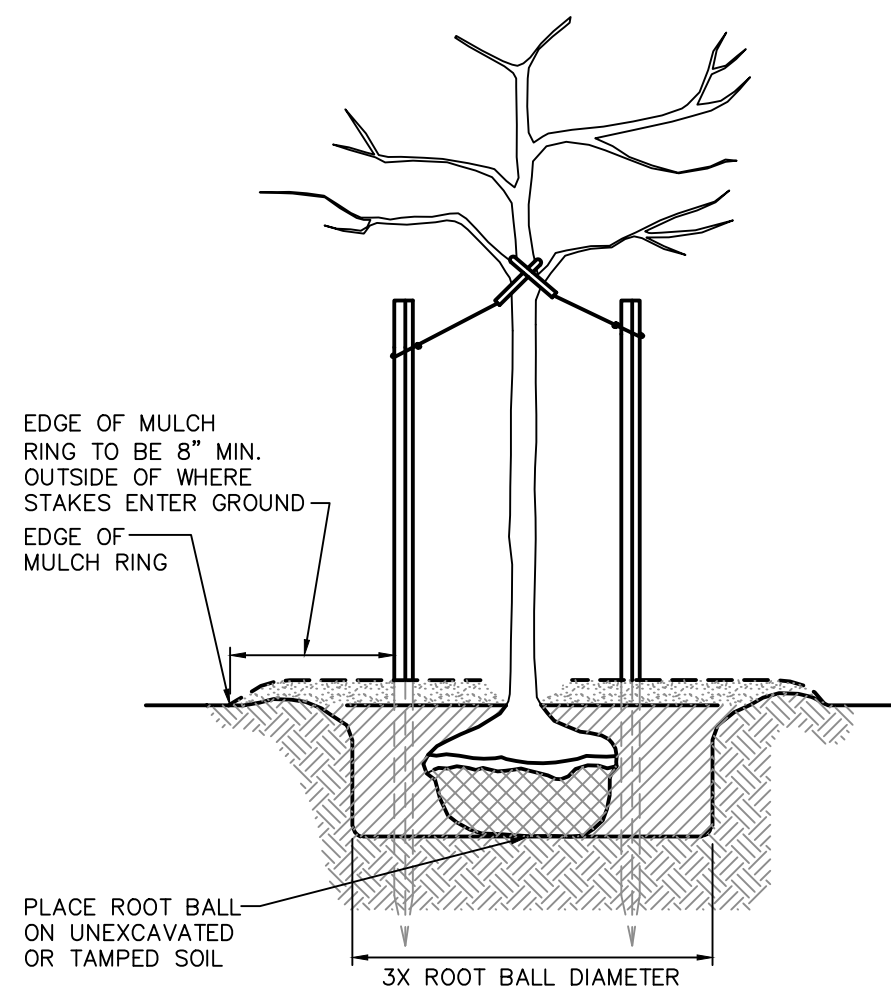
ORNAMENTAL PERENNIALS
NOT TO SCALE



SHRUB PLANTING
NOT TO SCALE



TREE PLANTING
NOT TO SCALE

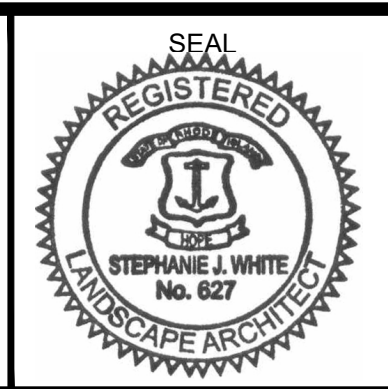


STAKE DETAIL
NOT TO SCALE

PLANNING BOARD APPROVAL

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| PLANNING BOARD CHAIR OR DESIGNEE | DATE |
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BRADY SULLIVAN PROPERTIES, LLC

LANDSCAPING DETAILS

BRISTOL YARN MILL

125 THAMES STREET

BRISTOL, RHODE ISLAND

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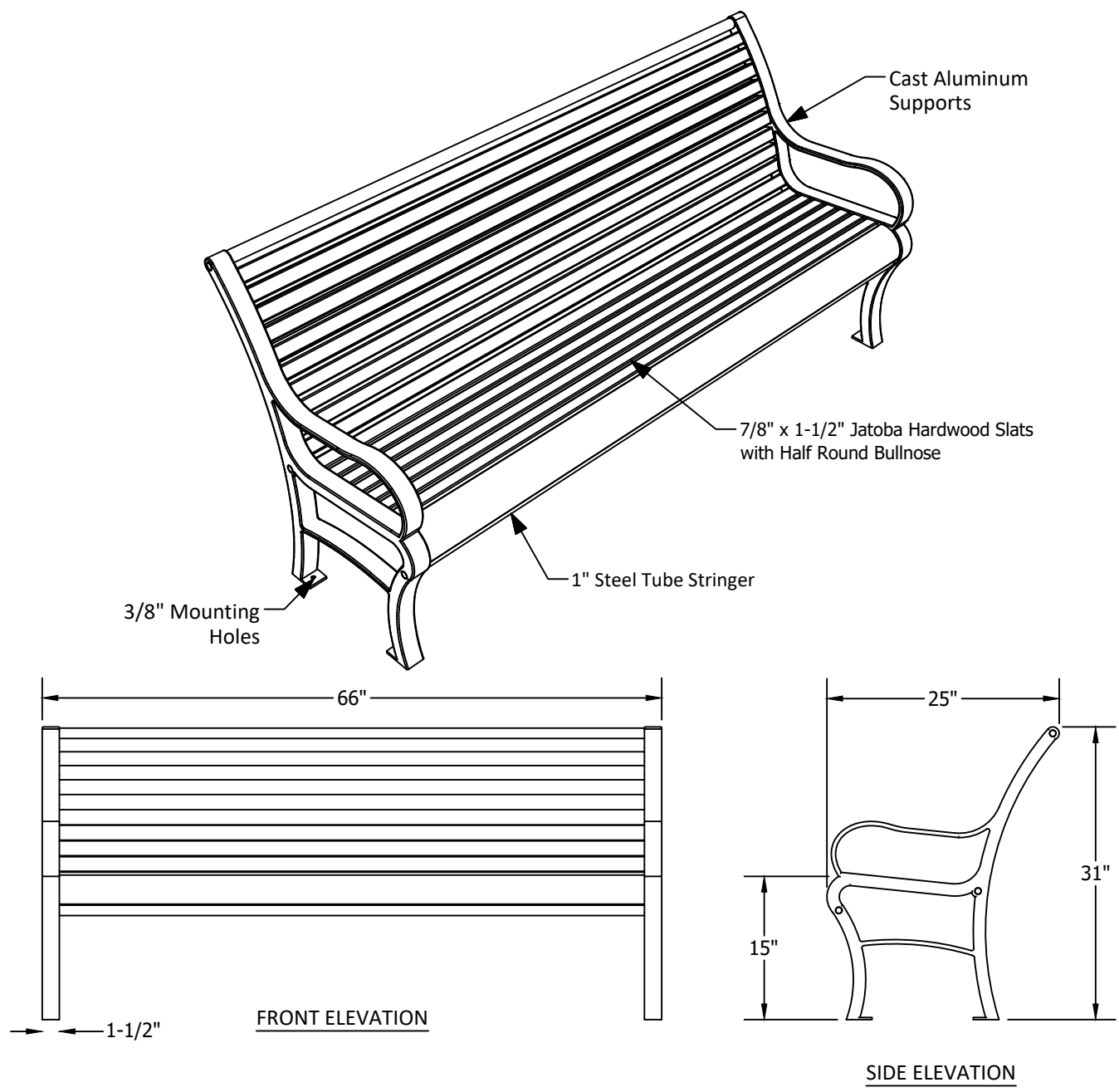
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**Brentwood Bench
BNBR-6-BR-W**

CANTERBURY DESIGNS
5632 W. Washington Blvd. | Los Angeles, CA 90016 | 323.936.7111
Website: www.canterbury-designs.com | E-mail: info@canterbury-designs.com

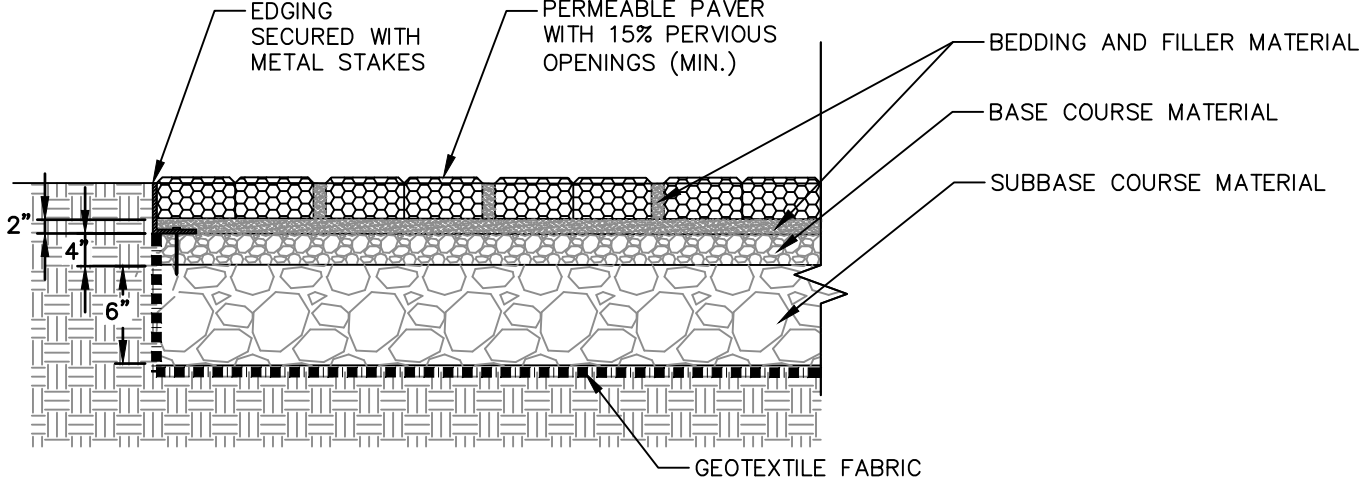


NOTES:

1. All metal components are sandblasted, cleaned, and finished with zinc epoxy primer and polyester powder coat.
2. Mounting holes are 3/8" diameter; we do not recommend pre-drilling bolt hole locations (anchor bolts not provided).
3. Other lengths and hardwood seating options (e.g., Ipe, Purpleheart) available upon request.
4. Support castings available in aluminum or iron.

BENCH

NOT TO SCALE

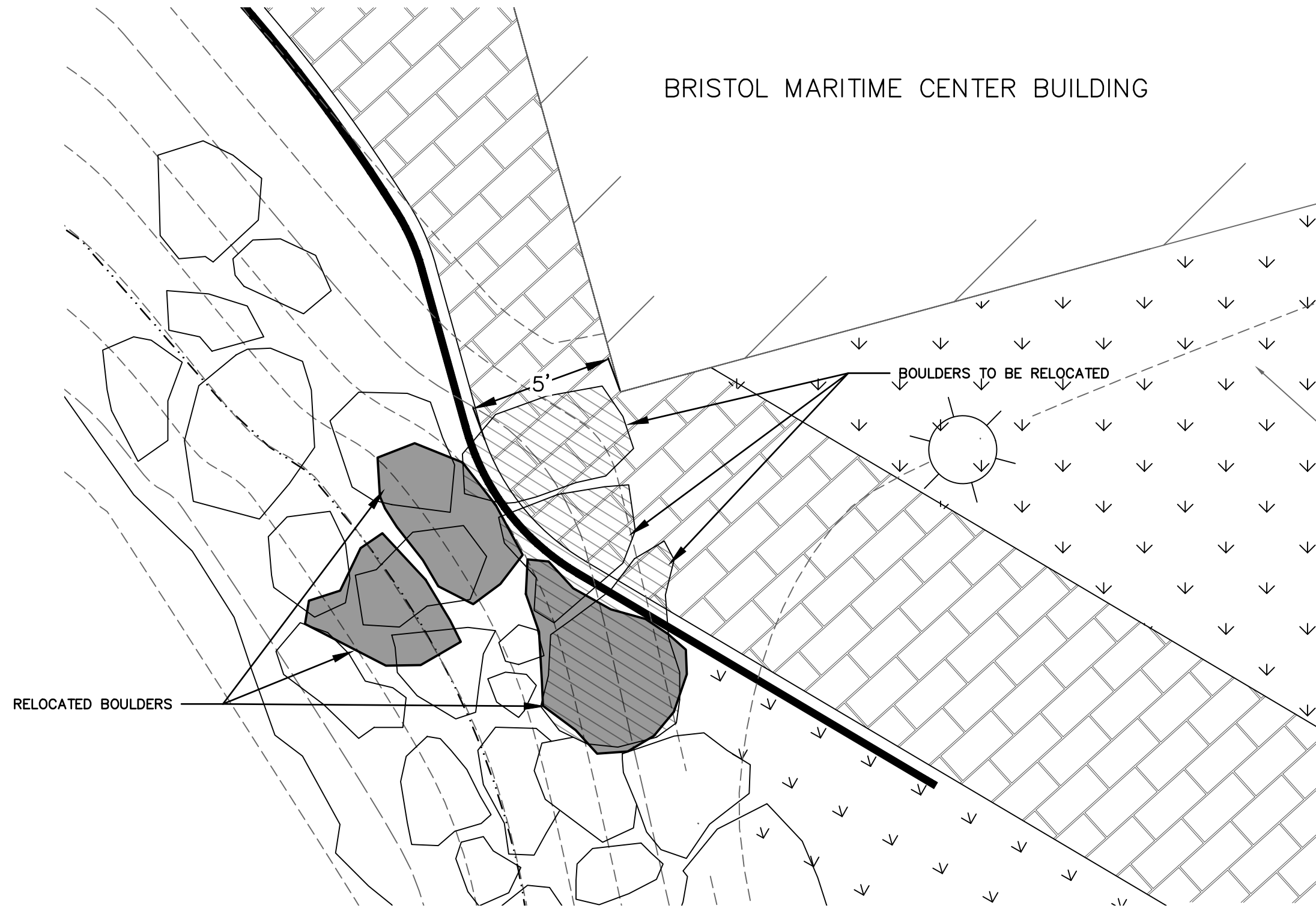


NOTES:

1. BEDDING AND FILLER MATERIAL SHALL CONFORM WITH TABLE 1 COLUMN 6 OF SECTION M.01.09 OF THE STANDARD SPECIFICATIONS. COMPACT BEDDING AND FILLER MATERIAL WITH A 5,000 LB. PLATE COMPACTOR.
2. BASE COURSE MATERIAL SHALL CONFORM WITH TABLE 1 COLUMN 5 OF SECTION M.01.09 OF THE STANDARD SPECIFICATIONS.
3. SUBBASE COURSE MATERIAL SHALL CONFORM WITH TABLE 1 COLUMN 2 OF SECTION M.01.09 OF THE STANDARD SPECIFICATIONS.
4. GEOTEXTILE FABRIC SHALL BE NON-WOVEN FILAMENT POLYPROPYLENE WITH MINIMUM PUNCTURE STRENGTH OF 120 POUNDS.

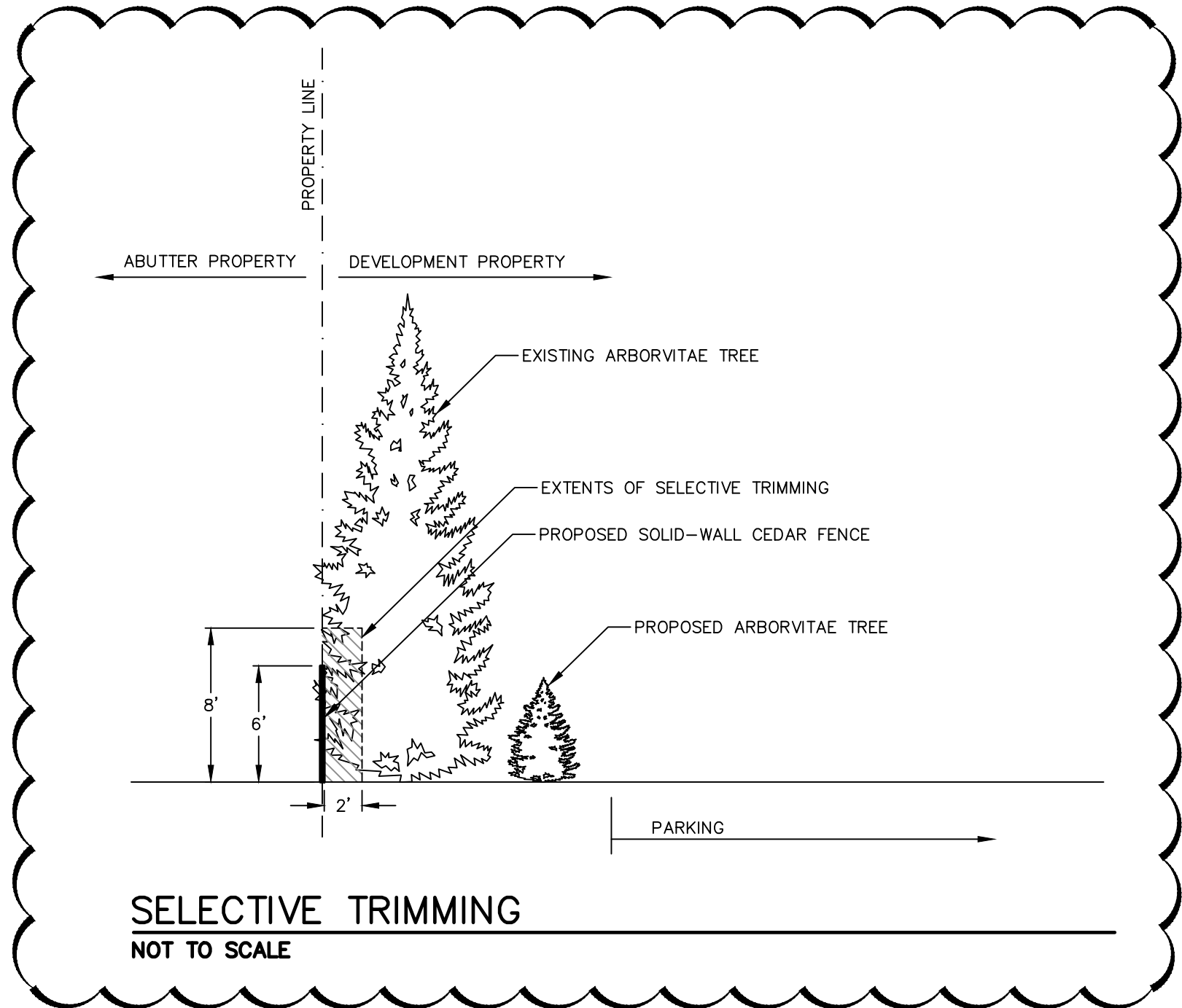
PERVIOUS PAVER WALKWAY

NOT TO SCALE



PERVIOUS PAVER WALKWAY AT BRISTOL MARITIME CENTER BUILDING

NOT TO SCALE



SELECTIVE TRIMMING

NOT TO SCALE

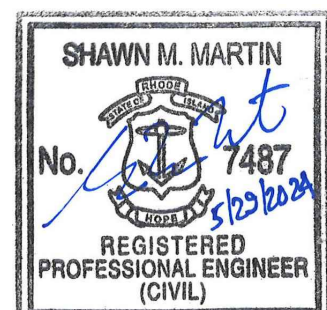
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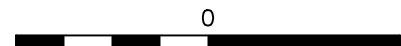
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BRADY SULLIVAN PROPERTIES, LLC

LANDSCAPING DETAILS

BRISTOL YARN MILL

125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
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CD-513

SHEET 27 OF 28



317 Iron Horse Way, Suite 204
Providence, RI 02908
401.861-3070
www.fando.com

June 3, 2024

Ms. Diane Williamson
Director of Community Development
Town of Bristol
9 Court Street
Bristol, RI 02809

RE: Bristol Yarn Mill Redevelopment
Final Plan Application
A.P. 10 Lots 41, 42, 43, 44, 49, 50, 60, 61, 62, 68, 71, 73, 74, and 76
Thames and Hope Street
Bristol, RI

Dear Ms. Williamson:

Fuss & O'Neill has prepared the accompanying Final Plan application on behalf of the applicant Thames Street Nashua LLC (Applicant), for the redevelopment of the Robin Rug mill complex on Thames Street and some additional parcels with frontage on Thames Street and Hope Street. The project includes 127 residential apartment units and approximately 6,300 square feet of leasable space for commercial uses.

The Bristol Planning Board approved the Master Plan for the project, with conditions, on May 12, 2022 (Bristol Land Evidence Book 2172 Page 297). The Bristol Town Council subsequently approved Zoning Modifications and a Zoning Map Change for the project on August 3, 2022 (Bristol Land Evidence Book 2183 Page 272) that adopted the Planning Board's decision with changes to the provision of affordable housing. Those changes include the requirement that 20% of the residential units (i.e., 26 units based on a total unit count of 127 units) shall be designated as affordable (Bristol Zoning Ordinance Section 28-370), three of the units will be located at Lots 49 and 50 on Assessor's Plat 10, ten units will be located within the mill complex on Lots 42, 60, 61, 62, and 73 on Assessor's Plat 10, and 13 units will be provided through a fee-in-lieu of building or designating units within the development.

The Bristol Planning Board approved the Preliminary Plan for the project, with conditions, on July 14, 2023 (Bristol Land Evidence Book 2217 Page 90). The Preliminary Plan approval conditions are listed in *italics* in the section below followed by an explanation of how they have been addressed for Final Plan review.

Ms. Diane Williamson
June 3, 2024
Page 2

Preliminary Plan Approval Conditions

- A. *Dedication by deed of the parking lot on the northeast corner of Church and Thames Street. Plat 10, Lot 32 to the Town of Bristol for public parking as required by the zoning that there be 10% of the land area set aside for public institutional uses as required by Section 28-284 (g) prior to recording of final plan.*

Legal documents have been provided by the Applicant's attorney to the Planning Board's attorney.

- B. *Additional arborvitae evergreen buffer plantings shall be planted on the south side of the Thames Street parking lot to augment the existing row as a visual and noise buffer. The number, height and spacing of plantings shall be shown on the final landscaping plans by the landscape architect and installation of same will be verified in the field by the Town Tree Warden.*

The Enlargement Planting Plan (sheet LP-103) has been updated to show additional arborvitae screening plantings along the south side of the Thames Street parking lot.

- C. *A 6-foot tall solid-wall fence shall be installed along the south side of the Thames Street parking lot of a material that blocks headlights and helps mitigate sound. The fence shall NOT be of a stockade design as shown on the preliminary plans. The design of this fence shall be subject to the Historic District Commission review and approval. The Final Plan shall indicate a proposed fence that satisfies these requirements.*

The Site Plan (sheet CS-101) has been revised to show a 6-foot-tall solid wall cedar fence along the property line south of the Thames Street parking lot. A detail has been added to the Details (sheet CD-510) for a 6-foot-tall solid wall cedar fence. The revised fence location was necessary to accommodate the additional buffer plantings and snow storage adjacent to the parking lot. Selective trimming along the south side of the existing Arborvitae trees is necessary to install the fence.

- D. *Historic District Commission review and approval shall be required for all details of exterior changes, including without limitation: windows, doors, light fixtures, fences, and signs. These approvals may be obtained in the normal course with HDC and subsequent to the Final Plan and Building Permits.*

This condition has been noted under the Preliminary Plan Approval Conditions section of the General Notes and Legend (sheet CN-001) of the Final Plan.

- E. *Submission of a construction schedule that includes showing the planting of the arborvitae and fence installation along the south side of the Thames Street parking lot property prior to any other site work in the parking lot and prior to use of the property as a "laydown area" for construction activities, and such planting and installation shall be completed prior to any other work or use of parking lot as set forth herein.*

Ms. Diane Williamson
June 3, 2024
Page 3

The Construction Sequence section of the General Notes and Legend (Sheet CN-001) has been revised on the Final Plan to include installation of the fence and arborvitae screening plantings along the southern property line of the parking lot prior to site work and stockpiling.

- F. Maintenance of all plantings on the properties shall be an obligation of the applicant and shall be included in a deed covenant stipulating time for replacement plantings.*

Legal documents have been provided by the Applicant's attorney to the Planning Board's attorney.

- G. Tree protection shall be installed to protect the existing trees along the property of 82 Thames Street with this detail to be shown on the final plan.*

Protection for the existing trees along the property of 82 Thames Street has been added to the Site Demolition Plan (sheet CP-101) of the Final Plan.

- H. Recommendations of the Conservation Commission on the proposed landscaping including a diversity of street trees along Thames Street, and an increased buffer of arborvitae along the southern property line of the parking lot.*

The proposed street trees along Thames Street shown on the Enlargement Planting Plan (sheet LP-102) have been revised to increase diversity of tree species along the street. The Enlargement Planting Plan (sheet LP-103) has been revised to include additional arborvitae screening plantings along the southern property line of the parking lot.

- I. Payment of the Affordable Housing Fee to the Town for the Affordable Housing Trust Fund to be paid prior to issuance of the first construction building permit.*

This condition has been noted under the Preliminary Plan Approval Conditions section of the General Notes and Legend (sheet CN-001) of the Final Plan.

- J. Final Legal Documents to be reviewed and approved by the Town Solicitor prior to recording of Final Plan including pedestrian and walkway easements; affordable housing deed restriction and monitoring agreement; and deed restriction, running to the Town of Bristol, that no structures be built on the surface parking lot.*

Legal documents have been provided by the Applicant's attorney to the Planning Board's attorney.

- K. All services to the residential units shall be private including recycling and garbage pick-up, snow plowing, driveway, and drainage maintenance. This shall also be a deed covenant in Land Evidence Records and reviewed and approved by the Town Solicitor.*

Legal documents have been provided by the Applicant's attorney to the Planning Board's attorney.

Ms. Diane Williamson
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Page 4

- L. As shown on the preliminary plans, a portion of the walkway along the waterfront shall be within the existing Fire Access easement across the Elk's parking lot to connect to Constitution Street, which has been acknowledged by the Elk's subject to the pedestrian easement which the Town is preparing. The applicant will prepare a CRMC application, as may be needed for the walkway through the parking lot, construct pavement markings and install signage as required.*

The Applicant incorporated a pathway and signage within its access easement across the Elks property in the application to CRMC for State Assent for the Bristol Yarn Mill redevelopment.

- M. CRMC Assent shall be submitted with the Final Plan review application.*

The CRMC Assent is enclosed.

- N. The applicant shall apply to the Town Council for approval for the proposed relocation of the existing Mill building loading space on the west side of Thames Street further north as indicated on the preliminary plans.*

The Applicant will apply to the Town Council as required.

- O. Because ADA-Compliant parking is only being provided inside the building, there shall be no additional charge to residents using such ADA-Compliant parking.*

This condition has been noted under the Preliminary Plan Approval Conditions section of the General Notes and Legend (sheet CN-001) of the Final Plan.

- P. There shall be no activities or amenities provided on the roof of any of the mill buildings.*

No activities or amenities are proposed to be provided on the roof of any of the mill buildings. This condition has been noted under the Preliminary Plan Approval Conditions section of the General Notes and Legend (sheet CN-001) of the Final Plan.

- Q. Final Plan review and approval shall be performed by the Planning Board.*

This condition has been noted under the Preliminary Plan Approval Conditions section of the General Notes and Legend (sheet CN-001) of the Final Plan.

Clarification of Checklist Items

- D3. As noted in the conditions of approval section, all legal documents have been provided to the Planning Board's attorney for approval.

Ms. Diane Williamson

June 3, 2024

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- D15b. Following Final Plan approval and Bristol Historic District Commission and Bristol Historic District Commission approvals, the Applicant will engage a qualified contractor to obtain all necessary connection permits, which will include a service by-pass plan during construction.
- D17. The Applicant asserts no taxes are past due and is in the process of obtaining verification.
- D22. As noted in item #15b above and during the Preliminary Plan review, the Applicant will pursue Bristol Historic District Commission after Final Plan approval.
- E1-4. All fees due and payable to the Town of Bristol as part of the Final Plan will be paid by the Applicant once the amounts have been calculated by the Planning Board. The enclosed estimate of costs for the proposed public improvements was prepared by the Application for the Planning Board's review.
- E7. CRMC is the only outside agency (i.e., agency not within the Town of Bristol jurisdiction) with application fees. Reviews of applications for State Assent may not commence and no Assents shall be issued until application fees have been paid in full. Consultant review fees, if required, will be collected by the Planning Board once the amounts have been determined.
- E8. Mapping fees due and payable to the Town of Bristol as part of the Final Plan will be paid by the Applicant once the amounts have been calculated by the Planning Board.

In addition to the required paper copies of the application documents, an Adobe PDF copy of the complete application will be provided through electronic transmittal. If you have any questions about this application, please contact me at shawn.martin@fando.com or (401) 787-8322.

Sincerely,



Shawn M. Martin, PE

Senior Vice President | Regional Manager

Enclosures: Final Plan Application and Checklist (1 copy)
CRMC Assent (1 copy)
USACE Pre-Construction Notification Authorization (1 copy)
Public Access Easement Plan (1 copy)
Public Access Easement Description (1 copy)
Bristol Yarn Mill Roadway Cost Breakdown (1 copy)
Bristol Yarn Mill Permitting Plan, 28 sheets, Revised 5/29/2024 (6 full-size, 12 reduced copies)

c: Shane Brady, Thames Street Nashua, LLC
Chris Reynolds, Brady Sullivan
John McCoy, Bengtson & Jestings LLP

APPLICATION FORM AND SUBMISSION CHECKLIST FOR MAJOR LAND DEVELOPMENTS AND MAJOR SUBDIVISIONS

Major Subdivisions - A plan for a **residential** subdivision of land consisting of **more than five lots**; or, a plan for a **nonresidential** subdivision of land.

Major Land Development - A plan for a residential or nonresidential land development project as defined in Article VIII of the Zoning Ordinance.

The completed application form together with the appropriate materials from Items A, B, C, D, and E for either a Master Plan, Preliminary or Final application as indicated on the checklist shall be submitted to the Administrative Officer at least three weeks prior to the regularly scheduled meeting of the Planning Board.

Date Submission Due: _____ Planning Board Meeting Date: _____

APPLICATION FORM

Type of Application: Please check one:

☐ **Master Plan** - An overall plan for a proposed project site outlining general, rather than detailed, development intentions. *NOTE:* The entire property under the applicant's ownership shall be shown on the Master Plan with all proposed development indicated, including future phases. Failure to show the entire property and all proposed development may result in forfeiture of future development rights on the property.

☐ **Preliminary** - The stage, following Master Plan, at which time all required detailed engineering drawings and all required State and Federal Permits shall be submitted.

Indicate date of Master Plan Approval: _____

Indicate dates of all extensions: _____

☒ **Final** - The stage, following Preliminary, which is the last stage of review.

Indicate date of Preliminary Plan Approval: July 13, 2023

Indicate dates of all extensions: _____

APPLICATION FORM, CONT.

1. Name of proposed subdivision: Bristol Yarn Mill
2. Name, address and telephone number of property owner (if the owner of record is a corporation, the name and address of the president and secretary):

Thames Street Nashua, LLC
 c/o Shane Brady
 670 N. Commercial Street, Suite 303
 Manchester, NH 03101

3. Name and address and telephone number of applicant, if different from owner: (A written, notarized confirmation from property owner authorizing the applicant to make the submission shall also be submitted):

Same.

4. Plat and lot number(s) of the parcel being subdivided: AP 10, Lots 41, 42, 43, 44, 48, 49, 60, 61, 62, 68, 73, 74, & 76
5. Area of the subdivision parcel(s): 4.8 +/- acres
6. Zoning District: Waterfront PUD, Waterfront, Downtown
7. Names of existing streets within and immediately adjacent to the parcel being subdivided with notation as to whether Town, State or Private. Include right-of-way and pavement widths:

Thames St (Town) 49.5'/28'+/-

Hope St (State) variable (est. >60')/32'+/-

Constitution St (Town) variable (est. >60')/39'+/-

8. Attach a list of the names and current mailing addresses (and on mailing labels) of property owners within notice area radius (See Section 8.5A) from the current real estate and assessment records of the Town, including plat and lot numbers

Signed by Owner/Applicant:  Date: 5/31/2024

Notarized:

Subscribed and sworn to before me this 31 day of may, 2024.


 NOTARY PUBLIC

KELLY E. HILSON
 Notary Public, State of New Hampshire
 My Commission Expires Febraury 21, 2029

SUBMISSION CHECKLIST
MAJOR LAND DEVELOPMENTS AND MAJOR SUBDIVISIONS

M = Master Plan

P = Preliminary

F = Final

| | M | P | F | Applicant ✓ | Date & Town Initials |
|---|----------|----------|----------|----------------|----------------------------|
| NOTE: All plan sheets must include Title Block as well as items B 1-8 below. | • | • | • | | |
| A. Plan of Existing Conditions - Five (5) blueline or photocopies of a plan at a scale of 1" = 40' (minimum size of 8 1/2" x 11, maximum size of 18" x 24") showing the entire tract under the applicant's ownership as it currently exists, including location and dimension of existing lots, easements and rights-of-way, and all natural and man-made features; | • | | | ✓ | |
| B. Subdivision/Land Development Drawing(s) - Master Plan and Preliminary Plans - Five (5) blueline or photocopies shall be submitted for distribution to and review by the Technical Review Committee. Each sheet shall be a minimum size of 8 1/2" x 11" and a maximum size of 24" x 36" at a scale of 1" = 40', unless determined otherwise at the Pre-Application Conference, with a sufficient number of sheets to clearly show all of the information required. Sheets shall be numbered sequentially (e.g. sheet 1 of 3, 2 of 3, etc.) | • | • | | N/A | |
| Final Plans - Five (5) bluelines or photocopies shall be submitted for distribution to and review by the Technical Review Committee. Upon approval, one (1) reproducible mylar*, six (6) blueline or photocopies, and one electronic AutoCAD file of all plans shall be submitted. Each sheet shall be a maximum size of 24" x 36" at a scale of 1" = 40' [unless otherwise specified by the Planning Board]; two of these sheets shall include the assessor's numbers, signed by the Tax Assessor. The subdivision plans shall contain the following: | | | • | | |
| 1. Name of the proposed subdivision; including phase numbers, if any | • | • | • | ✓ | |
| 2. Name and address of property owner or applicant; | • | • | • | ✓ | |
| 3. Name, address and telephone number of person or firm preparing the plan; | • | • | • | ✓ | |
| 4. Date of plan preparation, with revision date(s) if any; | • | • | • | ✓ | |
| 5. Graphic scale (1"=40' or larger) and north arrow; | • | • | • | ✓ | |
| 6. Plat and lot number(s) of the land being subdivided; | • | • | • | ✓ | |
| 7. Legend showing all symbols; | • | • | • | ✓ | |
| 8. Zoning districts(s) of the land being subdivided and the abutting and adjacent properties. If more than one district, zoning boundary lines must be shown; | • | • | • | ✓ | |
| 9. Perimeter boundary lines of the subdivision, drawn so as to distinguish them from other property lines. These shall be marked in the field by survey stakes to identify the limits of the property; | • | • | • | ✓ | |

M = Master Plan

P = Preliminary

F = Final

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| 10. Names of abutting property owners and property owners across any adjacent streets; | • | • | • | ✓ | |
| 11. Area of the entire proposed development parcel(s); | • | • | • | ✓ | |
| 12. Location and number of all proposed lots, with accurate areas, dimensions and angles indicated; including a zoning data table showing calculations necessary to determine conformance to zoning regulations; | • | • | | N/A | |
| 13. Location, names, right-of-way and pavement widths of existing and proposed streets within and immediately adjacent to the subdivision parcel; | • | • | • | ✓ | |
| 14. Location, size and proposed use of existing buildings and structures, including historic designation, if any; | • | • | • | ✓ | |
| 15. Location of existing utilities including wells and individual sewage disposal systems (abandoned utilities must be shown and noted as such); | • | • | • | ✓ | |
| 16. Provisions for collecting and discharging stormwater; | • | • | | ✓ | |
| 17. Location, scale, massing, height, (including relationship to existing and proposed grades) and dimensions of proposed structures, if any; including; floor area ratios, lot coverage and total building square footage; this information may be provided on a separate sheet, if necessary; | • | • | • | ✓ | |
| 18. Location of proposed permanent bounds (documentation that all proposed bounds have been set shall be provided prior to Final plan recording); | | • | • | ✓ | |
| 19. Location of existing environmental features including general soil types, rock outcrops, surface water, wetland areas, wooded areas and major trees twelve (12) inch caliper or larger, and any other significant environmental features, if any; | • | • | | ✓ | |
| 20. Existing contours with minimum intervals of two (2) feet; where any changes in contours are proposed, finished grades must be shown as solid lines. Spot elevations must also be shown with at least two (2) benchmarks referenced; | • | • | | ✓ | |
| 21. Location of any wetlands, watercourses or their buffers (perimeter wetlands) present on the subdivision parcel, as determined by a RIDEM qualified wetlands biologist {in accordance with RIDEM Wetland Regulations}; | • | | | ✓ | |
| 22. Notation as to flood zone of the property including base flood elevation data; | • | • | | ✓ | |
| 23. Areas of agricultural use, (if any); | • | • | | ✓ | |
| 24. Location of historic cemeteries on or immediately adjacent to the subdivision (if any); | • | • | | ✓ | |
| 25. Location of any unique natural and/or historic features, including stone walls; | • | • | | ✓ | |
| 26. Location, dimension, and area of any land proposed to be set aside as open space, recreation, or drainage or conveyed to the Town for public purposes; | • | • | • | ✓ | |
| 27. Location and notation of type of proposed easement(s) or existing easement(s) to remain (if any) with accurate dimensions and areas indicated; | | • | • | ✓ | |

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| 28. Notation of special conditions of approval imposed by the Planning Board (if any); | | • | • | ✓ | |
| 29. Notation of any permits and agreements with State and Federal Reviewing agencies (if any); | | • | • | ✓ | |
| 30. A place for signatures of the Planning Board Chair or Designee must be provided on all plans and/or documents to be signed by the Planning Board; | • | • | • | ✓ | |
| 31. Certification by a Registered Land Surveyor that all interior and perimeter lot lines and street lines of the land being subdivided have been designed to conform to <u>Procedural and Technical Standards for the Practice of Land Surveying in the State of Rhode Island and Providence Plantations</u> , effective April 1, 1994, as amended. Measurement standards for the surveys shall meet the minimum standards for Class I Surveys. | | • | • | ✓ | |
| C. Construction Drawings - Six (6) blue-line or photocopies of preliminary and final construction plans of street and drainage structures drawn to a minimum scale of 1 inch to 40 feet (1"=40') for referral to the Technical Review Committee. Each sheet shall be no larger than 24 " by 36", and a sufficient number of sheets shall be included to clearly show all of the information required. Sheets shall be numbered sequentially (e.g., sheet 1 of 3, 2 of 3, etc). All construction plans shall be certified as correct (stamped and signed) by a Registered Professional Engineer: | | • | • | ✓ | |
| 1. <u>If street creation or extension is proposed:</u> | | | | | |
| a. <i>Streets Plan and Profile:</i> (minimum scale of 1"=40' horizontal) with profiles (minimum 1"=4' vertical) indicating the street center line, curblines, and the existing elevations of the ground at the street center line, location size, rim and invert elevations of proposed sewer lines, water lines and other underground utilities; and, street cross-sections showing width of right-of-way, roadway; and, if required location and width of sidewalks. | | | | | |
| b. Street plans shall also include all vehicular access to and from the site onto public streets including the size and location of curb cuts, driveways, parking and loading areas and other off-site traffic improvements necessary to ensure public safety; and, stubs for future connections to future streets in adjacent vacant lands. NOTE: The Planning Board may make any referrals and require of the applicant any studies it deems necessary to evaluate traffic and circulation plans. | | | | N/A | |

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| C. Construction Drawings, cont. | | • | • | | |
| 2. For phased projects, as-built drawings for the previous phase; | | • | • | N/A | |
| 3. Drainage and Utility Plans to show the existing and proposed drainage structures, drainage basin areas, drainage flow paths, and outfalls with water quality measurements, including all utilities such as sewer, water, electric, gas, fire alarm cable, telephone and cable TV, manholes, valves, hydrants. Also included shall be a report summarizing drainage calculations; drainage plans and drainage calculations shall be prepared by a Registered Professional Engineer; | | • | • | ✓ | |
| 4. Additional plans with appropriate construction details and construction notes for street pavement, sidewalk, drainage structures, street lighting, exterior site lighting/photometrics plan (Major Land Developments only), sanitary structures, water line and water line structures, trench excavation, and steep slope excavation, if applicable; | | • | • | ✓ | |
| 5. Grading plans to show proposed contours at two-foot intervals for all grading proposed for on and off-site street construction, drainage facilities, and upon individual lots if part of proposed subdivision improvements; | | • | • | ✓ | |
| 6. Soil erosion and sediment control plan in conformance with Appendix F, if required; | | • | • | ✓ | |
| 7. Landscaping plan as detailed in Appendix F; | | • | • | ✓ | |
| 8. Plans showing street names and hydrant locations approved by the Fire Chief; | | • | • | ✓ | |
| 9. Construction Schedule identifying expected start and finish times for major construction tasks; | | • | | ✓ | |
| 10. Temporary improvements, if any, in accordance with Appendix F; | • | • | | N/A | |
| 11. A traffic flow plan showing circulation patterns within the development; | | • | | ✓ | |
| 12. If any streets, areas, or facilities are to be dedicated to the Town of Bristol, a statement shall be added to all final plat plans stating that such dedication shall not impose any duty or responsibility upon the Town of Bristol to maintain or improve any dedicated streets, areas, or facilities until specifically authorized by the Town Council per Section 6.7 of these regulations. | | | • | N/A | |
| D. Supporting Materials: | • | • | • | | |
| 1. 12 reduced copies of all plans required in Items A, B, and C above (minimum 8 1/2" x 11" and maximum 11" x 17"); | • | • | • | | |
| 2. One (1) copy of a narrative report providing the general description of the proposed development and phasing if any, including the proposed financing and present ownership of all of the land included within the development; if the applicant does not own all the land, then explain how it will be assembled or how site control will be achieved; | • | | | N/A | |

M = Master Plan

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| 3. One (1) copy of a current deed and an Attorney's certificate certifying title, including encumbrances, easements, and/or temporary or permanent restrictions on the property; | • | | ✓ | |
| 4. A list of consultants (i.e. engineering, planning, environmental) to be used on the project; | • | | ✓ | |
| 5. A vicinity map, (locus map) drawn to a minimum scale of 1" = 400' or as necessary to show the area within one-half mile of the subdivision parcel showing the location of all streets, existing lot lines, and zoning district boundaries. Schools, parks, fire stations and other significant public facilities shall be indicated on the locus map by shading and labeling the specific use; | • | | N/A | |
| 6. A list of the names and mailing addresses as shown on the current real estate and assessment records of the Town for the property owners within the notice area; (See Section 8.5) this information shall also be on mailing labels; | • | • | N/A | |
| 7. Low Impact Development (LID) Site Planning and Design strategies and Checklist from the Rhode Island Stormwater Design and Installation Standards Manual. Stormwater designs should meet RI Stormwater Manual Minimum Standards. | • | | N/A | |
| 8. A radius map, showing the property within the notice area (See Section 8.5) including: a. the shape, dimension and area of the property; b. the location of all zoning use district boundary lines; c. the assessor's plat and lot numbers; and, d. the general location, shape, use; and if any, historic designation of all existing buildings and structures and improvements; The above information may be shown on an 11" x 17" plan at a scale as appropriate; | • | | N/A | |
| 9. Architectural elevations (with measurements as needed for each interpretation) and of all exterior facades of proposed or existing buildings, structures and equipment including type and color of materials to be used; elevations shall be at an appropriate scale as determined at the preapplication stage; | • | | N/A | |
| 10. Legal documents describing the property, including proposed easements and rights-of-way, offer to convey public streets, creating Homeowners Association (if appropriate) deed transferring open space, dedications, restrictions, or other required legal documents: | | | | |
| a. Two draft copies for review by the Planning Board Solicitor; | • | | N/A | |
| b. Two signed final copies; | • | | | |
| 11. Written confirmation from the RI Department of Environmental Management that the plans of the proposed subdivision, including any required off-site construction, have been reviewed and indicating that the Wetlands Act either does not apply to the proposed site alteration or that approval has been granted for the proposed site alteration; | • | | N/A | |

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| 12. In lieu of item 10 above, an affidavit signed by a qualified professional (having minimum qualifications as described by the RIDEM Department of Freshwater Wetlands) stating that there are no freshwater wetlands or their buffers (perimeter wetlands) present on the property being subdivided {in accordance with RIDEM Wetland Regulations}; | | • | | N/A | |
| 13. Preliminary determination from the Coastal Resources Management Council if the parcel to be subdivided is subject to the jurisdiction of this agency; | | • | | N/A | |
| 14. A Physical Alteration Permit (PAP) issued by the State Department of Transportation for any connection to or construction work within a State highway or State right-of-way (if applicable); | | • | | N/A | |
| 15. Water Service (if proposed): | | | | | |
| a. Written confirmation that the Bristol County Water Authority has reviewed the plan and is able to provide water service; | | • | | N/A | |
| b. A copy of the water contract covering the installation of water service or written confirmation that a contract has been executed or will be executed upon approval by the Planning Board (a copy of the executed contract must be submitted prior to endorsement by the Planning Board); | | • | | | |
| 16. Sewer: | | | | | |
| a. Written confirmation from the Bristol Water Pollution Control Facility certifying that the subdivision can tie into the Bristol Sewer Service; or, | | • | | N/A | |
| b. If Individual Sewage Disposal Systems are proposed, either a preliminary subdivision suitability report or a water table verification from the Rhode Island Department of Environmental Management indicating that the soil and water table within the proposed subdivision are suitable for the safe and proper operation of individual sewage disposal systems; | | • | | N/A | |
| 17. Certification from the Tax Collector that all property taxes are current and that sewer assessments and sewer use fees are paid; | | • | | In Process | |
| 18. A letter stating it is the intent to complete the required improvements prior to Planning Board endorsement of the final plat or a letter requesting that a security sufficient to cover the cost of required improvements be set by the Planning Board, along with a construction cost estimate for improvements; | | • | | N/A | |
| 19. Application form; | • | • | • | ✓ | |

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| <p>20. Initial written comments on the Master Plan and final written comments on Preliminary from the following agencies:</p> <p>a. _____ Planning Board Engineer Date: _____</p> <p>b. _____ Water Authority Date: _____</p> <p>c. _____ Sewer Department Date: _____</p> <p>d. _____ Building Inspector Date: _____</p> <p>e. _____ Planning Department Date: _____</p> <p>f. _____ Department of Public Works Date: _____</p> <p>g. _____ Fire and Police Date: _____</p> <p>h. _____ Conservation Commission Date: _____</p> <p>i. _____ Other Local Agencies, Specify: _____ Date: _____</p> <p>j. _____ Adjacent Community (Warren) Date: _____</p> <p>k. _____ RI Dept. of Environmental Management Date: _____</p> <p>l. _____ RI Dept. of Transportation Date: _____</p> <p>m. _____ Coastal Resources Date: _____</p> <p>n. _____ Other State Agencies, Specify: _____ Date: _____</p> <p>o. _____ FEMA Date: _____</p> <p>p. _____ Other Federal Agencies, Specify: _____ Date: _____</p> <p>NOTE: REFERRALS TO THE ABOVE AGENCIES WILL BE MADE BY PLANNING DEPARTMENT STAFF.</p> | • | • | | N/A | |
| 21. Report and recommendations from the Technical Review Committee; | • | • | | N/A | |
| 22. Approvals from other Town Boards and commissions, as appropriate; | | • | • | ✓ | |
| 23. Approvals from other State Agencies, as appropriate; | | • | | ✓ | |
| 24. Such other information as may be required to show that the details of the proposal are in accordance with this section and all other applicable requirements and standards of these Regulations. | • | • | • | ✓ | |
| E. Payment of Required Fees - Payment of the following fees or posting of financial guarantees, if required, to be prior to endorsement by the Planning Board: | | | | | |
| 1. Application fee; | • | • | • | TBD | |
| 2. Final plat recording fee; | | | • | TBD | |
| 3. Engineer Review and Inspection Fee; | • | • | • | TBD | |
| 4. Performance guarantee or other financial guarantees (if applicable); | | | • | TBD | |
| 5. Fees in-lieu of land dedication (if applicable); | | | • | N/A | |
| 6. Maintenance guarantee for acceptance of public improvements (if applicable); | | | • | TBD | |
| 7. Receipt that all other fees to outside agencies have been paid by applicant, if any; | | | • | N/A | |
| 8. Mapping fees shall be paid to the Tax Assessor prior to recording plan. | | | • | TBD | |

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| Other Requirements: The following items may be required based on the presence of certain site conditions as indicated at the Pre-application or Master Plan stage of review. The applicant shall have any required items prepared by a qualified party. | | | | |
| 1. Fiscal impact statement (see Section 6.6); | | • | | N/A |
| 2. Completed Environmental Impact Assessment statement for the proposed development (see Section 6.6); | | • | | N/A |
| 3. Archaeological Study; | | • | | N/A |
| 4. Traffic Impact Study, | | • | | N/A |
| 5. Phase 1 Environmental Site Assessment (ESA), conducted by a qualified professional consultant, as may be requested at the pre-application stage. If the Phase 1 indicates suspect environmental site conditions, then a Phase 2 ESA shall be conducted by a qualified professional consultant prior to preliminary plan approval; | • | • | | N/A |
| 6. Perspective drawings, view shed maps, line of site diagrams, sketches, renderings, photographs or scale models as needed to illustrate the visual impact on the community; | • | | | N/A |
| 7. Flood plain compensation calculations; | | • | | N/A |
| 8. Historic District Commission Certificate of Appropriateness, if the project requires Historic District Commission review and approval. | | • | | N/A |

** Mylar plans shall be on polyester film, single matte with a thickness of 3 mils (.003 inches), and must have opacity so as to allow consistent computer scanning. All plans shall be prepared using a compatible ink with excellent cohesiveness which will produce a permanent bond and result in a plan with long term durability. All signatures must be in black India ink or its equal.*



State of Rhode Island
Coastal Resources Management Council
 Oliver H. Stedman Government Center
 4808 Tower Hill Road, Suite 116
 Wakefield, RI 02879-1900

(401) 783-3370
 Fax (401) 783-3767

RESIDENTIAL ASSENT

CRMC File No.: 2023-02-061 CRMC Assent No.: A2023-02-061

Whereas,
 of

Thames Street Nashua, LLC
 670 North Commercial Street
 Manchester, NH 03101

has applied to the Coastal Resources Management Council for assent to: Construct and maintain a mixed use redevelopment, consisting of 127 residential units, commercial space, parking, public access, buffer zone restoration, site remediation and stormwater management; Repair existing seawall and outfall, all per the approved plans and hereby represents that they are the owner(s) of the riparian rights attached to the property involved and submitted plans of the work to be done.

Now, said Council, having fully considered said application in accordance with all the regulations as set forth in the Administrative Procedures Act does hereby authorize said applicant, subject to the provisions of Title 46, Chapter 23 of the General Laws of Rhode Island, 1956, as amended, and all laws which are or may be in force applicable thereto: **Construct and maintain a mixed use redevelopment, consisting of 127 residential units, commercial space, parking, public access, buffer zone restoration, site remediation and stormwater management; Repair existing seawall and outfall, all per the approved plans; located at plat 10, lots 41,42,43,44,49,50,60,61,62,68,71,73,74,76; 125 Thames Street, Bristol, RI;** in accordance with said plans submitted to this Council and approved by this Council. All work being permitted must be completed on or before May 28, 2027, after which date this assent is null and void, (unless written application requesting an extension is received by CRMC sixty (60) days prior to expiration date).

Applicant agrees that as a condition to the granting of this assent, members of the Coastal Resources Management Council or its staff shall have access to applicant's property to make on-site inspections to ensure compliance with the assent.

Licensee shall be fully and completely liable to State, and shall waive any claims against State for contribution or otherwise, and shall indemnify, defend, and save harmless State and its agencies, employees, officers, directors, and agents with respect to any and all liability, damages (including damages to land, aquatic life, and other natural resources), expenses, causes of action, suits, claims, costs (including testing, auditing, surveying, and investigating costs), fees (including attorneys' fees and costs), penalties (civil and criminal), and response, cleanup, or remediation costs assessed against or imposed upon Licensee, State, or the Property, as a result of Licensee's control of the Property, or Licensee's use, disposal, transportation, generation and/or sale of Hazardous Substances or that of Licensee's employees, agents, assigns, sublicensees, contractors, subcontractors, permittees, or invitees.

Thames Street Nashua, LLC
CRMC Assent A2023-02-061
May 28, 2024
Page Two

Nothing in this assent shall be construed to impair the legal rights of this granting authority or of any person. By this assent the granting authority by no manner, shape, or form assumes any liability or responsibility implied, or in fact, for the stability or permanence of said project; nor by this assent is there any liability implied or in fact assumed or imposed on the granting authority. Further, the granting authority by its representatives or duly authorized agents shall have the right to inspect said project at all times including, but not limited to, the construction, completion, and all times thereafter.

This Assent is granted with the specific proviso that the construction authorized therein will be maintained in good condition by the owner thereof, his heirs, successors, or assigns.

Permits issued by the CRMC are issued for a finite period of time, confer no property rights, and are valid only with the conditions and stipulations under which they are granted. Permits imply no guarantee of renewal, and may be subject to denial, revocation, or modification.

If this matter appeared before the full Council, a copy of the legal decision from this proceeding may be acquired by contacting the CRMC office in writing.

A copy of this Assent shall be kept on site during construction.

Application for future alteration of the shoreline or other construction or alteration within the CRMC jurisdiction shall be submitted to the CRMC for review prior to commencing such activity.

All applicable policies, prohibitions, and standards of the RICRMP shall be upheld.

All local, state or federal ordinances and regulations must be complied with.

Please be advised that as a further conditions of this Assent, it is hereby stipulated that you and/or your agents shall comply at all times with Federal and State Water Quality Standards and other State standards and regulations regarding water quality, and shall exercise such supervision over and control of these facilities to prevent the dumping or discarding or refuse, sanitary wastes and other pollutants in the tidal waters, either from vessels docked at said facilities or from land adjacent thereto.

No work that involves alteration to wetlands or waters of the United States shall be done under this Assent until the required Federal Permit has been obtained.

Non-compliance with this assent shall result in legal action and/or revocation of this permit.

CAUTION:

The limits of authorized work shall be only for that which was approved by the CRMC. Any activities or alterations in which deviate from this assent or what was detailed on the CRMC approved plans will require a separate application and review. Additionally, if the information provided to the CRMC for this review is inaccurate or did not reveal all necessary information or data, then this permit may be found to be null and void. Plans for any future alteration of the

Thames Street Nashua, LLC
 CRMC Assent A2023-02-061
 May 28, 2024
 Page Three

shoreline or construction or alteration within the 200' zone of CRMC jurisdiction or in coastal waters must be submitted for review to the CRMC prior to commencing such activity.

Permits, licenses or easements issued by the Council are valid only with the conditions and stipulation under which they are granted and imply no guarantee of renewal. The initial application or an application for renewal may be subject to denial or modification. If an application is granted, said permit, license and easement may be subject to revocation and/or modification for failure to comply with the conditions and stipulations under which the same was issued or for other good cause.

ATTENTION: ALL STRUCTURES AND FILLED AREAS IN THE TIDAL, COASTAL, OR NAVIGABLE WATERS OF THE STATE OF RHODE ISLAND ARE SUBJECT TO:

1. The Superior Property Rights of the State of Rhode Island in the Submerged and Submersible Lands of the Coastal, Tidal, and Navigable Waters;
2. The Superior Navigation Servitude of the United States;
3. The Police Powers of the State of Rhode Island and the United States to regulate Structures in the Tidal, Coastal, or Navigable Waters.

THE SUBMERGED AND SUBMERSIBLE LANDS OF THE TIDAL, COASTAL, AND NAVIGABLE WATERS OF THE STATE ARE OWNED BY THE STATE AND HELD IN TRUST FOR THE PUBLIC. CONVEYANCE OF THESE LANDS IS ILLEGAL; TITLES PURPORTING TO TRANSFER SUCH LANDS ARE VOID. ASSENTS THAT INVOLVE THE FILLING OR USE OF THE STATES SUBMERGED LANDS ARE GRANTED WITH THE PROVISIO THAT IT IS SUBJECT TO THE IMPOSITION OF A USAGE FEE TO BE ESTABLISHED BY THE COASTAL RESOURCES MANAGEMENT COUNCIL.

The lands adjacent to tidal waters and/or access to these lands may be impacted or rendered unusable in the future due to sea level rise, storm surge, and shoreline erosion. Online resources including STORMTOOLS, Shoreline Change Maps, and Sea Levels Affecting Marshes Model (SLAMM) Maps can be accessed through the CRMC website (www.crmc.ri.gov). The Council recommends the use of these resources to evaluate the flood extent and inundation from sea level rise, storm surge and erosion and damages to land, aquatic life, loss of public access and other natural resources on and near the site of the above assent. The project life may be shortened by these processes and may require additional adaptation measure up to and including relocation of the project. By issuing this assent the granting authority neither explicitly nor implicitly assumes any liability or responsibility for the stability or permanence of said project under future climate and shoreline conditions.

SPECIFIC STIPULATIONS OF APPROVAL

General Stipulations

A. The applicant shall record this assent in its entirety in the land evidence records of the Town of Bristol within thirty (30) days of the date of assent issuance. Certification by the Town Clerk's office that this stipulation has been complied with shall be furnished to

Thames Street Nashua, LLC
 CRMC Assent A2023-02-061
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 Page Four

Coastal Resources Management Council by the applicant within fifteen (15) days thereafter. Failure to comply with the provision will render this assent null and void.

B. For the purpose of this permit, the coastal feature shall be the manmade shoreline; and the inland edge of the coastal feature shall be the top of the revetted bank and headwall.

C. The approved plan shall be those entitled “Bristol Yarn Mill, Thames Street & Hope Street, Bristol..AP 10, Lots 41, 42, 43, 44, 49, 50, 60, 61, 62, 68, 71, 73, 74, 76, Permitting Plan December 6, 2022 Revised March 6, 2024..” total 28 sheets by Shawn M. Martin, RPE and the conservation easement/public access plan shall be Exhibit A entitled “Easement Plan, Bristol Yarn Mill, 125 Thames Street, Lots 42 & 60, Map 10, Town of Bristol.. 2 sheets dated 2-7-24 by Charles E. Lent, PLS. Except as stipulated or modified herein, all details and specifications thereon shall be strictly adhered to. Any and all changes require written approval from this office.

D. Prior to commencement of site alterations, you shall post the CRMC assent card. This assent card must be maintained at the site in a conspicuous location until such time that the project is complete.

E. This lot may be subject to sea level rise in the near and long term and is therefore at increased risk of flooding. The owner is cautioned that the current building codes do not account for sea level rise and is hereby advised that the building should be elevated to the maximum height allowed under zoning ordinance to account for rising sea level in the future.

F. This project required a Coastal Hazards Analysis (CHA) as per the Rhode Island Coastal Resources Management Council’s regulations. The Council recommends residential applications meet a minimum of a 30-year design life (longer design life may not meet recommended criteria). Please be advised this project:

- Meets the anticipated 3’ design life of Sea Level Rise (SLR), however does not meet the chosen 5’ design life (50yr).
- Meets- the accelerated erosion rate.
- Does not meet the recommended Storm Tools Design Elevation (SDE) of 23-25’ for 3-5’ of SLR.
- CERI modeling indicates the site likely to be Extreme damage (3’SLR)- inundated by 2100 (5’SLR)

G. The owner is bound by the terms of the Conservation Easement/Public Access Easement executed May 2024 and recorded at Book 2244, Pg 165 (9pages) on 5/20/2024 in the Land Evidence Records of the Town of Bristol, RI.

H. This assent requires a setback (Ref. Red Book Section 1.1.9) of 20’ feet in width as measured landward from the inland edge of the coastal feature to the existing building.

I. This assent requires a coastal buffer zone (Ref. Red Book Section 1.1.11) of variable width which includes a public accessway, natural buffer zone (restored) and managed buffer vegetation, as shown on the approved plan.

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Page Five

J. Vegetation in the unmanaged portion of the buffer zone shall remain undisturbed following installation.

K. This project is being reviewed under the requirements of the Federal Historic Preservation Tax Incentives Program. Should the project not receive Historic Preservation Certification Part 2, then RIHPHC approval is still required prior to any work on the project.

L. No alterations (vegetative or otherwise) or activities are allowed in the waterway adjacent to the site, excepting repair work on existing outfall per the approved plans.

M. All runoff of surface water into the stipulated coastal buffer zone shall be maintained as sheet flow. No concentrated sources of runoff flow (such as pipes or swales) shall be directed into the buffer zone.

N. All remediation work shall be undertaken in accordance with the RIDEM approval for such.

O. Through coordination with ACOE GP process, the application has been determined to be eligible for ACOE GP approval and a permit will be forwarded directly from the ACOE, no work on-site may commence until such permit is received.

P. This structure shall be connected to and serviced by municipal sewers.

Q. An Environmental Compliance Monitor (ECM) shall be designated to oversee project compliance with the CRMC Assent. The RE (Resident Engineer) shall ensure that one or more inspectors are available as necessary for the project, each inspector must be qualified in the required specialized environmental field (i.e., waste management, coastal wetlands, etc.). Each inspector must have the education and experience in each respective field to properly inspect the project and recommend corrective measures. The RE/ECM shall report site inspections at least once weekly and on an as needed basis during all phases of the project, likely to result in environmental impacts. A dated and signed report shall be completed for the record during each inspection. Each inspection shall identify any environmental issues of concern and any non-compliance with the CRMC Assent and other agency approvals (RI Department of Environmental Management, US Army Corps of Engineers, and US Coast Guard). Subsequent reports shall describe actions and remedies undertaken to rectify these issues and restore project compliance with the CRMC Assent and the approved plans. Where compliance has not been properly achieved, the RE/ECM shall notify the CRMC on a timely basis. In addition, field reports shall be available to be forwarded to the CRMC upon request.

Earthwork Stipulations

A. The Permittee shall construct and maintain all soil erosion, runoff, and sediment control practices in accordance with the CRMC approved site plan (referenced herein).

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Page Six

B. All soil erosion, runoff, sedimentation, and construction activity pollution prevention control measures must be implemented in accordance with CRMC approved site plan (referenced herein) and the approved Soil Erosion and Sediment Control Plan entitled "Soil Erosion and Sediment Control Report, Bristol Yarn Mill...", dated January 31, 2023, by Fuss and O'Neil.

C. Prior to the initiation of site alterations or construction including the mobilization of construction vehicles, equipment or machinery, the Limit of Disturbance (LOD) shall be adequately delineated on site (by survey methods where appropriate). No equipment access, equipment or material storage or other activities including construction vehicle parking shall occur beyond the Limit of Disturbance, even on a temporary basis.

D. Prior to conducting earthwork and other land disturbing activities, erosion, runoff, and sediment control measures shall be installed and maintained in accordance with good engineering practices including the applicable details found in the manufacturer's specifications and/or in the Rhode Island Soil Erosion and Sediment Control Handbook (as amended). These measures must be maintained until the site is stabilized through the establishment of vegetative cover and/or construction of the approved facilities (buildings, roadways, parking areas, etc.) has stabilized soils sufficiently to prevent erosion and sedimentation.

E. All discharges which result from dewatering operations must flow into pumping settling basins, portable sediment tanks or portable sediment bags which are properly installed and maintained in accordance with good engineering practices including the applicable details found in the manufacturer's specifications and/or in the Rhode Island Soil Erosion and Sediment Control Handbook (as amended).

F. Temporary measures shall be installed to protect permanent or long-term stormwater control and treatment measures as they are installed and throughout the construction phase of the project so that they will function properly when they are brought online. Construction activity shall be restricted in areas where infiltration measures are proposed to prevent compaction. In cases where it is not possible to avoid the area, methods shall be taken to restore the infiltration capacity of the soil.

G. All excavated material shall be cast on the upslope side of the excavation to minimize sedimentation. No excavated material shall be stockpiled beyond the Limit of Disturbance (LOD) or in unauthorized locations.

H. All areas of disturbed soil which are impacted by construction, site work and related activities shall be temporarily stabilized throughout the site construction period. Soil stabilization may be achieved through appropriate temporary measures as described by the Rhode Island Soil Erosion and Sediment Control Handbook (as amended). Where the season is not conducive to the establishment of vegetative cover, other temporary measures shall be employed including the application of mulch and/or use of fiber rolls (erosion control blankets, etc.). Temporary erosion, runoff and sediment controls shall be employed and maintained until temporary or permanent vegetative cover can be achieved and/or site improvements such as approved buildings, roadways and parking areas are constructed resulting in a lack of exposed soil.

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Page Seven

I. Stabilization of disturbed areas must, at a minimum, be initiated immediately whenever any clearing, grading, excavating or other earth disturbance activities have permanently ceased on any portion of the site, or temporarily ceased on any portion of the site and will not resume for a period exceeding 14 calendar days. Stabilization must be completed using vegetative stabilization measures or using alternative measures whenever vegetative measures are deemed impracticable or during periods of drought. All disturbed soils exposed prior to October 15th shall be seeded by that date. Any such areas which do not have adequate vegetative stabilization by November 15th must be stabilized through the use of non-vegetative erosion control measures. If work continues within any of these areas during the period from October 15th through April 15th, care must be taken to ensure that only the area required for that day's work is exposed, and all erodible soil must be restabilized within five (5) working days.

J. Construction sites must be inspected by or under the supervision of the owner and operator at least once every seven (7) calendar days and within 24 hours after any storm event which generates at least 0.25 inches of rainfall per 24-hour period and/or after a significant amount of runoff. If an inspection reveals a problem, the operator must initiate work to fix the problem immediately after discovering the problem and complete such work by the close of the next workday, if the problem does not require significant repair or replacement, or if the problem can be corrected through routine maintenance.

K. There shall be no discharge or disposal of toxic waste, hazardous materials, oil, grease and other lubricants, excess fertilizer, pesticides or other chemicals or controlled materials either on site or in any area which may enter a wetland, watercourse, or groundwater. All spills of such materials shall be reported to the RI Department of Environmental Management for appropriate remediation. All used lubricants, excess chemicals, fertilizers, pesticides, etc., shall be removed from the site for transport, handling, and disposal in accordance with all applicable state and federal regulations.

L. All excess excavated materials (soils, rock, gravel, etc.), excess construction materials, demolition debris, temporary erosion, runoff, and sediment control measures, etc., shall be removed from the site for appropriate re-use and/or proper disposal at a suitable upland location or landfill. All toxic materials and waste shall be properly transported and disposed of in accordance with applicable state and federal regulations.

M. Upon the successful stabilization of exposed soils, all temporary (interim) erosion, runoff and sediment control measures as well as pollution prevention measures shall be appropriately decommissioned and removed from the site for re-use and/or for disposal at a suitable, legal upland location or landfill. All temporary sediment basins, sediment traps and channels, etc., shall be removed and/or restored in accordance with the approved site plans.

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Stipulations for Stormwater Management on Projects Other than Individual Single-Family Residential Lot Development:

- A. The Permittee shall construct the stormwater management practices in accordance with the CRMC approved site plan (referenced herein).
- B. All stormwater management practices shall be operated and maintained in accordance with the Operation and Maintenance (O&M) Plan, entitled "Long-Term Operation and Maintenance Report Bristol Yarn Mill...", dated December 2, 2022, by Fuss and O'Neill.

Building Stipulations

- A. All pertinent requirements of the RI State Building Code as administered by the local building official shall be strictly adhered to.

Buffer Zone Stipulations

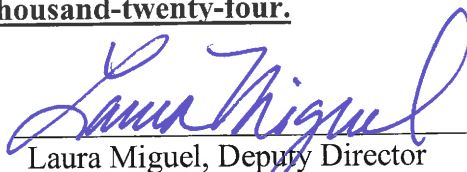
- A. The buffer zone plantings required by this Assent shall be installed coincident with the next available growing season following start of construction.
- B. The applicant is responsible for the survivorship of the plantings for one full growing season. Plants not surviving the first growing season shall be replaced as stated on the approved plans/necessary.
- C. Prior to initiating any work on site, permanent markers at least 24" above grade must be installed along the inland edge of the buffer zone from each affected property boundary to any points in between which provide appropriate angle points necessary to delineate the full limit of the CRMC approved buffer zone. The intent of these markers is to provide permanent reference points on-site which are clear to present and future property owners. Acceptable permanent-type markers include 4" x 4" pressure treated timber posts, galvanized fence posts with cap or granite or concrete bounds. A permanent-type fence at least 24" tall may be substituted for markers where desired.

Beach Replenishment, coir logs, sandbags, snow fence, and signs on beaches Stipulations:

- A. The public retains all the rights to public access along the shore outlined in the Rhode Island State Constitution.
- B. All work shall be done landward of the high-water line.

Thames Street Nashua, LLC
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Page Nine

In Witness Whereof, said Coastal Resources Management Council has hereto set their hands and seal this **28th day of May in the year two-thousand-twenty-four.**



Laura Miguel, Deputy Director
Coastal Resources Management Council

/jla



DEPARTMENT OF THE ARMY
US ARMY CORPS OF ENGINEERS
NEW ENGLAND DISTRICT
696 VIRGINIA ROAD
CONCORD MA 01742-2751

April 8, 2024

Regulatory Division
File Number NAE-2023-01757
CRMC No. 2023-02-061

Mr. Shane Brady
Thames Street Nashua, LLC
670 N. Commercial Street, Suite 303
Manchester, NH 03101

sbrady@bradysullivan.com

Mr. Brady:

The U.S. Army Corps of Engineers (USACE) has reviewed your application to the Coastal Resources Management Council (CRMC) to renovate the Bristol Yarn Mill for 127 residential apartment units and approximately leasable space for commercial uses. This project will take place at 125 Thames Street, at the intersection of Thames Street and Hope Street in Bristol, RI, 02908 (41.667197°N, -71.277928°W). The portion of work under USACE jurisdiction is the (existing) seawall repair and reconstruction of the 30" RCP outfall pipe drainage way through the stone masonry portion of seawall. The project will permanently impact a total of 441 linear feet of estuarine intertidal habitat shown on the enclosed (revised) plans titled "Brady Sullivan Properties" on 5 pages dated "March 25, 2024".

Based on the information you have provided, we verify that the Pre-Construction Notification (PCN) activity is authorized under General Permit 2 of the May 6, 2022, federal permits known as the Rhode Island General Permits (GPs). The GPs are available at <https://www.nae.usace.army.mil/Missions/Regulatory/State-General-Permits/Rhode-Island-General-Permit>.

Please review the GPs carefully, in particular the general conditions beginning on page 43, and ensure that you and all personnel performing work authorized by the GPs are fully aware of and comply with its terms and conditions. A copy of the GPs and this verification letter shall be available at the work site as required by General Condition 14.

This authorization expires on May 6, 2027. You must commence or have under contract to commence the work authorized herein by May 6, 2027, and complete the work by May 6, 2028. If not, you must contact this office to determine the need for further authorization and we recommend you contact us *before* the work authorized herein expires. Please contact us immediately if you change the plans or construction methods for work within our jurisdiction as we must approve any changes before you

-2-

undertake them. Performing work within our jurisdiction that is not specifically authorized by this determination or failing to comply with the terms and conditions of the GPs may subject you to the enforcement provisions of our regulations.

This authorization does not obviate the need to obtain other federal, state, or local authorizations required by law. Applicants are responsible for applying for and obtaining any other approvals.

This determination becomes valid only after the Rhode Island CRMC issues their required authorization. The CRMC contact information is provided on page 55 of the GPs.

We continually strive to improve our customer service. For us to better serve you, we would appreciate your completing our Customer Service Survey located at <https://regulatory.ops.usace.army.mil/customer-service-survey/>.

Please contact Elizabeth Waterhouse, of my staff, at (978) 318-8943 or elizabeth.c.waterhouse@usace.army.mil if you have any questions.

Sincerely,

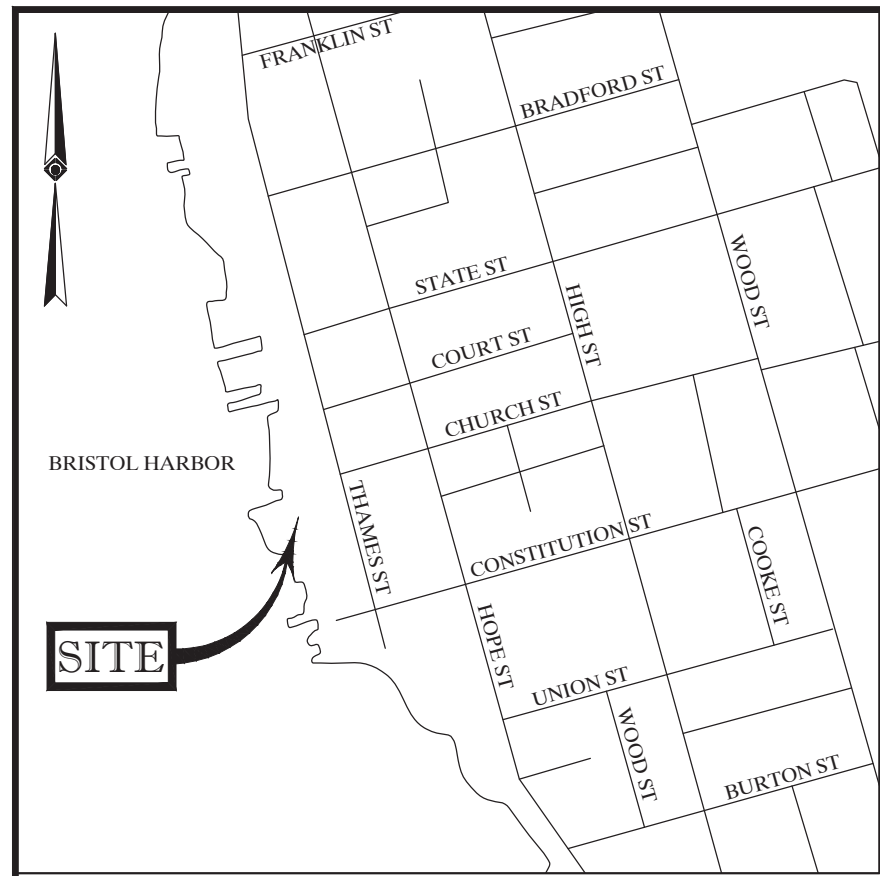
Kevin R Kotelly

Kevin R. Kotelly, P.E.
Chief, CT/RI Section
Regulatory Division

Enclosures

cc:

Shawn Martin, Fuss & O'Neil, Regional Manager; SMartin@fando.com
Elizabeth Totten, RI Rhode Island Historical Preservation & Heritage Commission; elizabeth.totten@preservation.ri.gov
Neal Personeus, RI DEM, Providence, RI; neal.personeus@dem.ri.gov
Lisa Turner, RI CRMC; ltturner@crmc.ri.gov
Erica Sachs, US EPA, Region 1, Boston, MA; sachs.eric@epa.gov
Joseph Bishop, US EPA, Region 1, Boston, MA; bishop.joseph@epa.gov
Sabrina Pereira, NOAA EFH Coordinator; sabrina.pereira@noaa.gov



LOCUS MAP
© 2013 ESRI WORLD STREET MAPS
NOT TO SCALE

LEGEND

| | | | |
|--|------------------|--|-------------------------|
| | HYDRANT | | DRAINAGE/STORM MANHOLE |
| | WATER VALVE | | ELECTRIC MANHOLE |
| | UNKNOWN VALVE | | SANITARY/SEWER MANHOLE |
| | GAS VALVE | | UNKNOWN MANHOLE |
| | GAS METER | | WATER MANHOLE |
| | ELECTRIC METER | | CATCH BASIN OR INLET |
| | OVERHEAD WIRES | | TREE & TRUNK SIZE |
| | UTILITY POLE | | PARKING SPACE COUNT |
| | AREA LIGHT | | DEPRESSED CURB |
| | SIGN | | SOLID WHITE LINE |
| | BOLLARD | | DOUBLE YELLOW LINE |
| | CHAIN LINK FENCE | | HEIGHT |
| | DEPRESSED CURB | | BUILDING |
| | EDGE OF CONCRETE | | BUILDING FOOTPRINT AREA |
| | EDGE OF PAVEMENT | | DRILL HOLE FOUND |
| | LANDSCAPED AREA | | MASONRY BLOCK WALL |
| | METAL COVER | | TYPICAL |

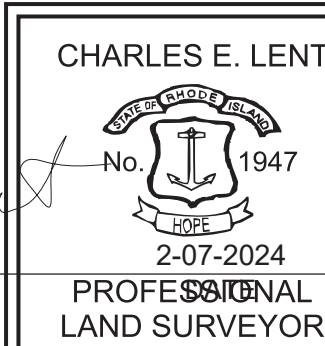
NOTES:

- PROPERTY KNOWN AS LOTS 42 & 60 AS SHOWN ON THE TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND MAP NO. 10.
- PROPOSED PUBLIC ACCESS EASEMENT AREA = 8,068± SQ. FT. OR 0.185± ACRES.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
- UNDERGROUND UTILITIES HAVE NOT BEEN SHOWN. BEFORE ANY SITE EVALUATION, PREPARATION OF DESIGN DOCUMENTS OR EXCAVATIONS ARE TO BEGIN, THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE PROPER UTILITY COMPANIES.
- BY GRAPHIC PLOTTING ONLY A PORTION OF THE PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "AE" (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, BASE FLOOD ELEVATIONS DETERMINED, EL+12, & ZONE "X" SHADED) (AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD), & ZONE "X" UNSHADED) (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), & ZONE "VE" (COASTAL FLOOD ZONE WITH VELOCITY HAZARD (WAVE ACTION); BASE FLOOD ELEVATIONS DETERMINED, EL+14 & EL+15) PER REF #2.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- THE PURPOSE OF THIS PLAN IS TO ILLUSTRATE A PROPOSED EASEMENT ON THE SUBJECT PARCELS.

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 4, 2022 AS FOLLOWS:

- TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY MEASUREMENT SPECIFICATION: I
- OTHER TYPE OF SURVEY: DATA ACCUMULATION SURVEY MEASUREMENT SPECIFICATION: III
- THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS: PREPARE EASEMENT PLAN.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.



CHARLES E. LENT

RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947
CERTIFICATE OF AUTHORIZATION #A350

EASEMENT PLAN

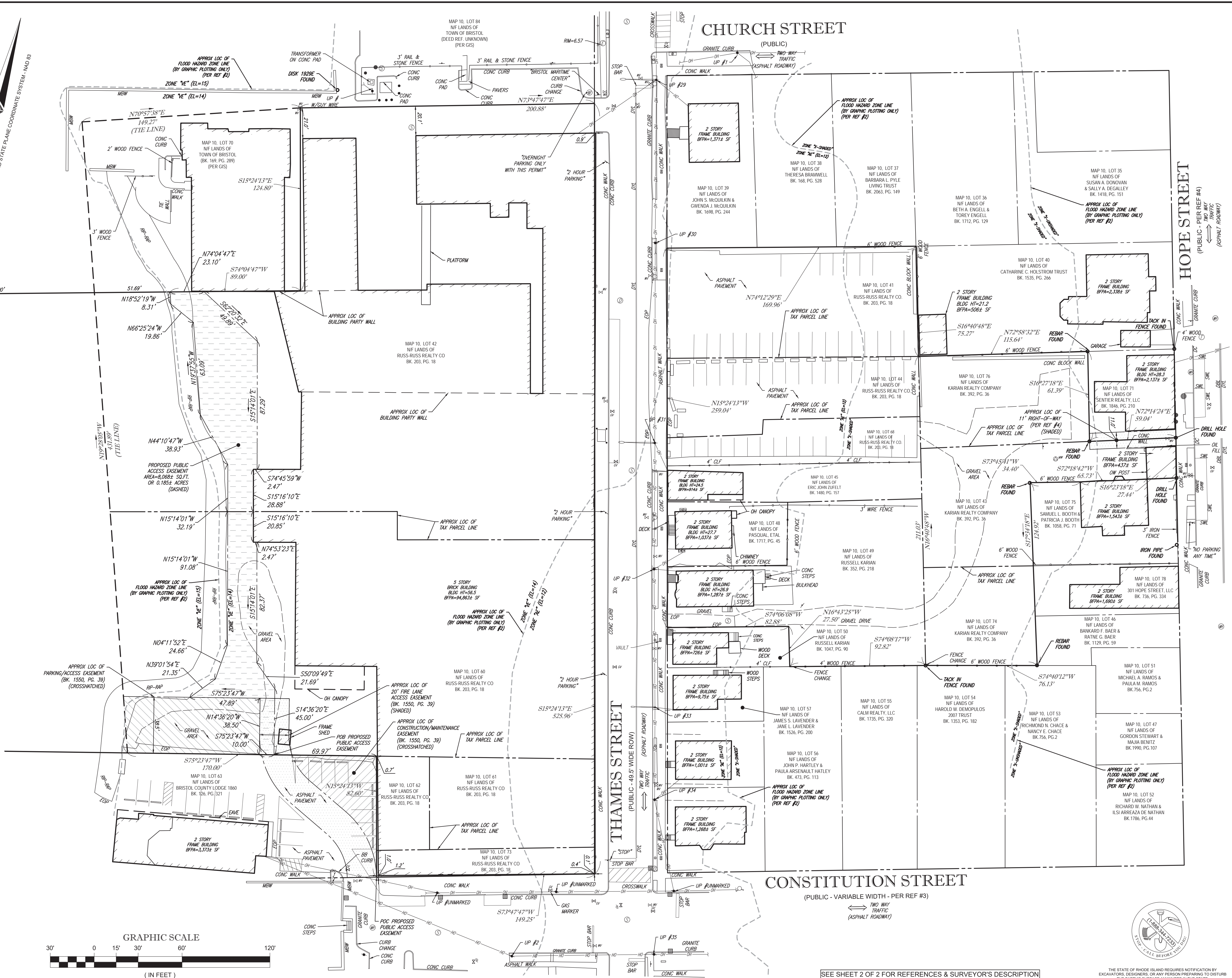
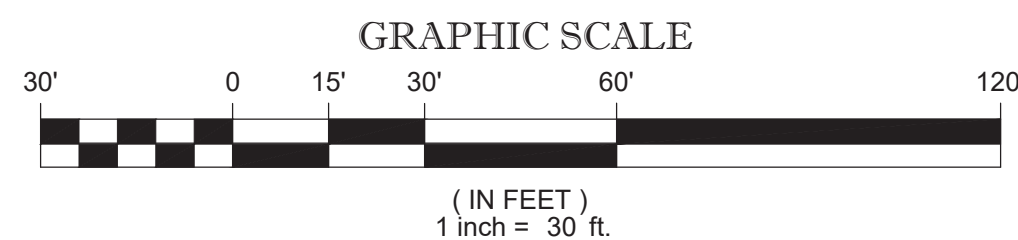
BRISTOL YARN MILL

125 THAMES STREET
LOTS 42 & 60, MAP 10
TOWN OF BRISTOL, BRISTOL COUNTY
STATE OF RHODE ISLAND



ALBANY, NY 518-217-5010
CHALFONTE, PA 215-712-9800
HAUPPAUGE, NY 631-580-2665
MANHATTAN, NY 646-780-0411
MT LAUREL, NJ 609-857-2099
WARREN, NJ 908-668-0099

| | | | | | |
|-----------|-----------|-----------|----------|--------------|-----------|
| REVIEWED: | APPROVED: | DATE: | SCALE: | FILE NO.: | DWG. NO.: |
| E.LOC. | C.E.L. | 2-07-2024 | 1" = 30' | 03-210289-00 | 1 OF 2 |



CONSTITUTION STREET

(PUBLIC - VARIABLE WIDTH - PER REF #3)

TWO WAY TRAFFIC
(ASPHALT ROADWAY)

SEE SHEET 2 OF 2 FOR REFERENCES & SURVEYOR'S DESCRIPTION



THE STATE OF RHODE ISLAND REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

CONTROL POINT ASSOCIATES, INC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.


THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 4, 2022 AS FOLLOWS:

1. TYPE OF BOUNDARY SURVEY: MEASUREMENT SPECIFICATION
LIMITED CONTENT BOUNDARY SURVEY I

2. OTHER TYPE OF SURVEY: MEASUREMENT SPECIFICATION:
DATA ACCUMULATION SURVEY III


3. THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS:
PREPARE EASEMENT PLAN.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED
WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.


CHARLES E. LENT
RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947
CERTIFICATE OF AUTHORIZATION #A350

CHARLES E. LENT

No. 1947
2-07-2024
PROFESSIONAL
LAND SURVEYOR

| | | | | | |
|----------------|---|-----------|-------|--------------|----------|
| FIELD DATE | EASEMENT PLAN | | | | |
| - | BRISTOL YARN MILL | | | | |
| FIELD BOOK NO. | 125 THAMES STREET | | | | |
| - | LOTS 42 & 60, MAP 10 | | | | |
| FIELD BOOK PG. | TOWN OF BRISTOL , BRISTOL COUNTY | | | | |
| - | STATE OF RHODE ISLAND | | | | |
| FIELD CREW |  CONTROL POINT ASSOCIATES, INC. ALBANY, NY 518-217-5010 CHALFONT, PA 215-712-9800 HAUPPAUGE, NY 631-580-2665 DRAWN: 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.3000 - 508.948.3003 FAX WWW.CPASURVEY.COM MANHATTAN, NY 646-780-0411 MT LAUREL, NJ 609-857-2099 WARREN, NJ 908-668-6099 | | | | |
| E.G.F. | | | | | |
| REVIEWED: | APPROVED: | DATE | SCALE | FILE NO. | DWG. NO. |
| E.LOC. | C.E.L. | 2-07-2024 | N/A | 03-210289-00 | 2 OF 2 |

REFERENCES:

1. THE TAX ASSESSOR'S MAP OF BRISTOL, BRISTOL COUNTY, MAP 10.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, BRISTOL COUNTY, RHODE ISLAND 9ALL JURISDICTIONS), PANEL 14 OF 18", MAP NUMBER 44001C0014H, MAP REVISED, JULY 7, 2014.
3. MAP ENTITLED "BOUNDARY SURVEY PLAN AP 10 - LOTS 60, 61, 62 & 73 THAMES STREET & CONSTITUTION STREET BRISTOL, RHODE ISLAND RUSS - RUSS REALTY CO. C/O ROBIN RUG COMPANY 125 THAMES STREET P.O. BOX 656 BRISTOL, RHODE ISLAND 02809", PREPARED BY: WATERMAN ENGINEERING CO., DATED: FEBRUARY 1, 2005, PROVIDED BY CLIENT.
4. MAP ENTITLED "BOUNDARY SURVEY PLAN A.P. 10, LOTS 43, 71, 74 & 76 HOPE STREET BRISTOL RHODE ISLAND KARIAN REALTY CO. P.O. BOX 656 BRISTOL, RHODE ISLAND", PREPARED BY: WATERMAN ENGINEERING CO., DATED: FEBRUARY 26, 2021, PROVIDED BY CLIENT.
5. MAP ENTITLED "PLAN OF LAND: THEODORE J. & HELEN T. ALGLET, LOCATION: 12 BUTTERWORTH AVENUE BRISTOL, RHODE ISLAND", PREPARED BY: STEPHEN M. MURGO, DATED: JULY, 1992, PROVIDED BY CLIENT.
6. MAP ENTITLED "EXISTING CONDITIONS PLAN, BRISTOL YARN MILL, PLAT 10 LOTS 42, 60, 61, 62, 68, 73, 41, 43, 44, 49, 74 AND 76, 125 THAMES STREET, BRISTOL RHODE ISLAND", PREPARED BY FUSS & O'NEILL, DATED MAY 7, 2021
7. MAP ENTITLED "SURVEY OF LAND KARIAN REALTY, INC.", PREPARED BY: WATERMAN ENGINEERING CO., DATED: AUGUST 1990, ON FILE WITH THE TOWN OF BRISTOL PLANNING DEPARTMENT.
8. MAP ENTITLED "RUSS-RUSS REALTY CO. ROBIN RUG COMPLEX MASTER PLAN A.P. 10 / LOTS 41, 42, 44, 60, 61, 62, 68 & 73 125 THAMES STREET BRISTOL RHODE ISLAND", PREPARED BY: FUSS 7 O'NEILL, DATED: APRIL 18, 2008, PROVIDED BY CLIENT.
9. RECIPROCAL EASEMENT AGREEMENT, DATED MAY 6, 2010, AND RECORDED WITH THE BRISTOL COUNTY LAND RECORDS IN BOOK 1550, PAGE 39.
10. MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, BRISTOL YARN MILL, 125 THAMES STREET, LOTS 41, 42, 43, 44, 45, 48, 49, 60, 61, 62, 68, 73, 74, 76, MAP 10, TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED SEPTEMBER 28, 2021, LAST REVISED OCTOBER 1, 2021, THREE SHEETS.

SURVEYOR'S
METES AND BOUNDS DESCRIPTION

PROPOSED PUBLIC ACCESS EASEMENT
LOCATED ON LOTS 42 & 60, MAP 10
TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND

COMMENCING AT A POINT ON THE NORTHERLY STREET LINE OF CONSTITUTION STREET (PUBLIC, VARIABLE WIDTH) SAID POINT BEING ON THE DIVISION LINE BETWEEN MAP 10, LOT 73 (N/F OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63 (N/F OF BRISTOL COUNTY LODGE 1860) THENCE RUNNING ALONG SAID DIVISION LINE AND THE DIVISION LINE BETWEEN MAP 10, LOT 62 (N/F OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63 THE FOLLOWING COURSE:

- A. NORTH 15 DEGREES - 24 MINUTES - 13 SECONDS WEST, A DISTANCE OF 82.60 TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 60 (N/F LANDS OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63, THENCE RUNNING ALONG SAID LINE THE FOLLOWING COURSE:
- B. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 69.97 FEET TO THE POINT AND PLACE OF BEGINNING, THENCE CONTINUING ALONG SAID DIVISION LINE THE FOLLOWING COURSE:
1. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 10.00 FEET, THENCE RUNNING WITHIN MAP 10, LOT 60 THE FOLLOWING FIVE (5) COURSES;
 2. NORTH 14 DEGREES - 36 MINUTES - 20 SECONDS WEST, A DISTANCE OF 38.50 FEET TO A POINT, THENCE;
 3. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 47.89 FEET TO A POINT, THENCE;
 4. NORTH 39 DEGREES - 01 MINUTE - 54 SECONDS EAST, A DISTANCE OF 21.35 FEET TO A POINT, THENCE;
 5. NORTH 04 DEGREES - 11 MINUTES - 52 SECONDS EAST, A DISTANCE OF 24.66 FEET TO A POINT, THENCE;
 6. NORTH 15 DEGREES - 14 MINUTES - 01 SECOND WEST, A DISTANCE OF 91.08 FEET TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 60 AND MAP 10, LOT 42 (N/F LANDS OF RUSS-RUSS REALTY CO.), THENCE RUNNING WITHIN MAP 10, LOT 42 THE FOLLOWING FIVE (5) COURSES;
 7. NORTH 15 DEGREES - 14 MINUTES - 01 SECOND WEST, A DISTANCE OF 32.19 FEET TO A POINT, THENCE;
 8. NORTH 44 DEGREES - 10 MINUTES - 47 SECONDS WEST, A DISTANCE OF 38.93 FEET TO A POINT, THENCE;
 9. NORTH 19 DEGREES - 37 MINUTES - 55 SECONDS WEST, A DISTANCE OF 63.09 FEET TO A POINT,
 10. NORTH 66 DEGREES - 25 MINUTES - 24 SECONDS WEST, A DISTANCE OF 19.86 FEET TO A POINT, THENCE;
 11. NORTH 18 DEGREES - 52 MINUTES - 19 SECONDS WEST, A DISTANCE OF 8.31 FEET TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 42 AND MAP 10, LOT 70 (N/F OF TOWN OF BRISTOL), THENCE RUNNING ALONG SAID LINE THE FOLLOWING COURSE;
 12. NORTH 74 DEGREES - 04 MINUTES - 47 SECONDS EAST, A DISTANCE OF 23.10 FEET TO A POINT, THENCE RUNNING WITHIN MAP 10, LOT 42 THE FOLLOWING FOUR (4) COURSES;
 13. SOUTH 62 DEGREES - 20 MINUTES - 32 SECONDS EAST, A DISTANCE OF 49.89 FEET TO A POINT, THENCE;
 14. SOUTH 15 DEGREES - 14 MINUTES - 01 SECOND EAST, A DISTANCE OF 87.29 FEET TO A POINT, THENCE;
 15. SOUTH 74 DEGREES - 45 MINUTES - 59 SECONDS WEST, A DISTANCE OF 2.47 FEET TO A POINT, THENCE;
 16. SOUTH 15 DEGREES - 16 MINUTES - 10 SECONDS EAST, A DISTANCE OF 28.88 FEET TO A POINT, ON THE DIVISION LINE BETWEEN MAP 10, LOT 42 AND MAP 10, LOT 60, THENCE RUNNING WITHIN MAP 10, LOT 60 THE FOLLOWING FIVE (5) COURSES;
 17. SOUTH 15 DEGREES - 16 MINUTES - 10 SECONDS EAST, A DISTANCE OF 20.85 FEET TO A POINT, THENCE;
 18. NORTH 74 DEGREES - 53 MINUTES - 23 SECONDS EAST, A DISTANCE OF 2.47 FEET TO A POINT, THENCE;
 19. SOUTH 15 DEGREES - 14 MINUTES - 01 SECOND EAST, A DISTANCE OF 82.37 FEET TO A POINT, THENCE;
 20. SOUTH 50 DEGREES - 09 MINUTES - 49 SECONDS EAST, A DISTANCE OF 21.69 FEET TO A POINT, THENCE;
 21. SOUTH 14 DEGREES - 36 MINUTES - 20 SECONDS EAST, A DISTANCE OF 45.00 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 8,068 SQUARE FEET, 0.185 ACRES



CONTROL POINT ASSOCIATES, INC.

traditional methods | modern approaches

Item C1.

352 Turnpike Road, Suite 320
Southborough, MA 01772
Tel: 508-948-3000
www.cpasurvey.com

FEBRUARY 7, 2024
03-210289-00
PAGE 1 OF 2

SURVEYOR'S METES AND BOUNDS DESCRIPTION

PROPOSED PUBLIC ACCESS EASEMENT
LOCATED ON LOTS 42 & 60, MAP 10
TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND

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1. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 10.00 FEET, THENCE RUNNING WITHIN MAP 10, LOT 60 THE FOLLOWING FIVE (5) COURSES;
 2. NORTH 14 DEGREES - 36 MINUTES - 20 SECONDS WEST, A DISTANCE OF 38.50 FEET TO A POINT, THENCE;
 3. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 47.89 FEET TO A POINT, THENCE;
 4. NORTH 39 DEGREES - 01 MINUTE - 54 SECONDS EAST, A DISTANCE OF 21.35 FEET TO A POINT, THENCE;
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 9. NORTH 19 DEGREES - 37 MINUTES - 55 SECONDS WEST, A DISTANCE OF 63.09 FEET TO A POINT,
 10. NORTH 66 DEGREES - 25 MINUTES - 24 SECONDS WEST, A DISTANCE OF 19.86 FEET TO A POINT, THENCE;

Corporate Headquarters
35 Technology Drive, Warren, NJ 07059
Tel: 908.668.0099 Fax: 908.668.9595

Professional Land Surveying, Geospatial and Consulting Services

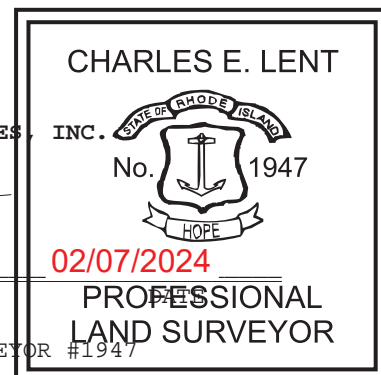
11. NORTH 18 DEGREES - 52 MINUTES - 19 SECONDS WEST, A DISTANCE OF 8.31 FEET TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 42 AND MAP 10, LOT 70 (N/F OF TOWN OF BRISTOL), THENCE RUNNING ALONG SAID LINE THE FOLLOWING COURSE;
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CONTAINING 8,068 SQUARE FEET, 0.185 ACRES

CONTROL POINT ASSOCIATES, INC.

Charles E. Lent

CHARLES E. LENT
STATE OF RHODE ISLAND
PROFESSIONAL LAND SURVEYOR #1947



Bristol Yarn Mill Roadway Cost Breakdown

| Description | Unit | Unit Cost | Total |
|--------------------------|-----------|------------|--------------|
| Mill | 2560 SY. | \$8.10 | \$20,736.00 |
| Drainage Structures | 5 EA. | \$6,070.00 | \$30,350.00 |
| Drainage Pipe | 520 LF. | \$195.00 | \$101,660.00 |
| Water Main | 815 LF. | \$268.00 | \$218,420.00 |
| Hydrants | 3 EA. | \$7,740.00 | \$23,220.00 |
| Sewer | 30 LF. | \$440.00 | \$13,200.00 |
| Grainite Curbing | 375 LF. | \$60.00 | \$22,500.00 |
| Exterior Concrete (Prep) | 6,340 SF. | \$5.00 | \$31,700.00 |
| Exterior Concrete (Pour) | 6,340 SF. | \$12.00 | \$76,080.00 |
| Overlay | 2,410 SY. | \$15.75 | \$37,957.00 |
| Total | | | \$575,823.00 |

BRISTOL YARN MILL

THAMES STREET & HOPE STREET · BRISTOL · RHODE ISLAND

USACE PERMITTING PLAN

MARCH 25, 2024

PREPARED FOR
BRADY SULLIVAN PROPERTIES
670 N. COMMERCIAL STREET
MANCHESTER, NH 03101
603.622.6223
WWW.BRADYSULLIVAN.COM



PREPARED BY
FUSS & O'NEILL
317 IRON HORSE WAY, SUITE 204
PROVIDENCE, RI 02908
401.861.3070
www.fando.com

SHEET INDEX

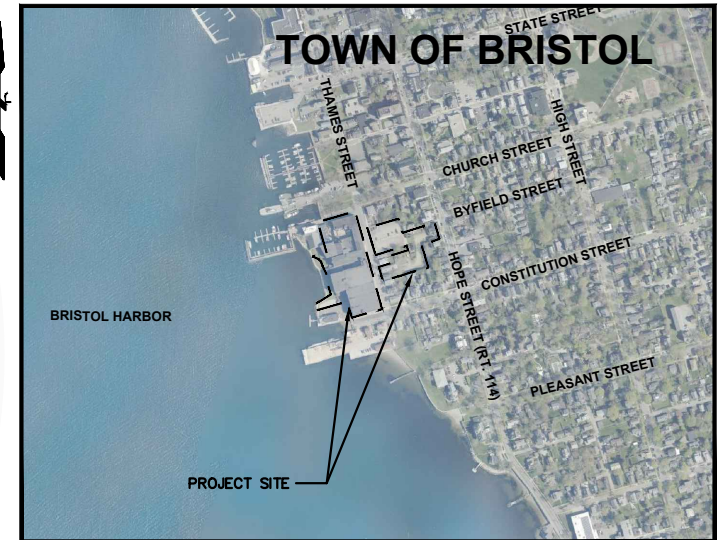
| <u>SHEET No.</u> | <u>SHEET TITLE</u> |
|------------------|---------------------|
| GI-1 | COVER SHEET |
| EX-1 | EXISTING CONDITIONS |
| CS-1 | SEAWALL WORK |
| CD-1 | SEAWALL DETAILS |
| CD-2 | SEAWALL DETAILS |

PROJECT TEAM

ENVIRONMENTAL:
NOBIS GROUP
18 CHENELL DR
CONCORD, NH
03301
603.224.4182

ARCHITECTURAL:
BRADY SULLIVAN
PROPERTIES
670 N. COMMERCIAL STREET
MANCHESTER, NH
03101
630.622.6223

SURVEYOR:
CONTROL POINT
ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTHBOROUGH, MA
01772
508.948.3000

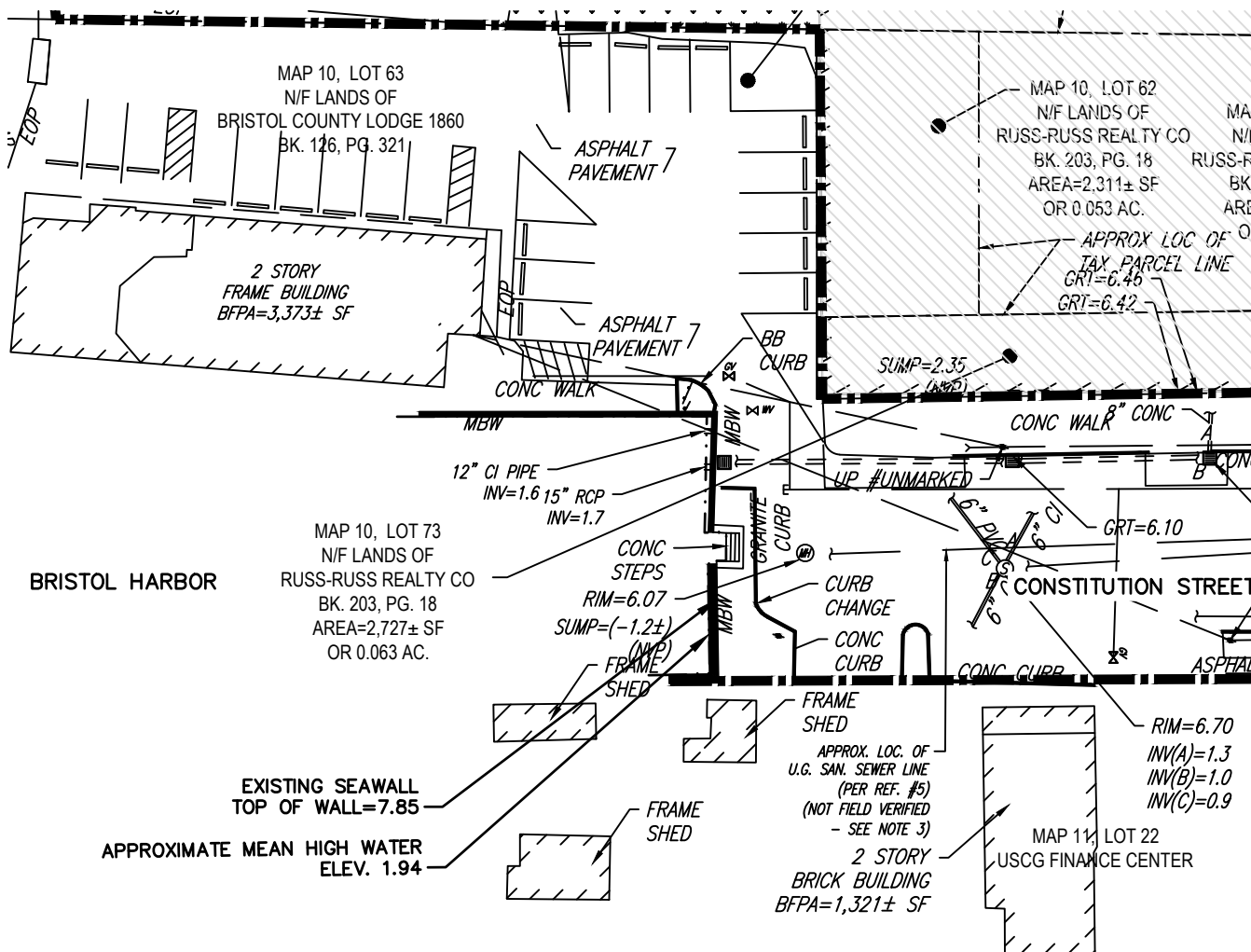


LOCATION MAP

SCALE: 1" = 1000'

PROJ. No.: 20081150.A22
DATE: MARCH 25, 2024

GI-1

**NOTES:**

1. MEAN HIGH WATER LINES SHOWN ARE APPROXIMATE BASED ON TIDAL DATUMS FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION TIDE STATION NUMBER 8452154 LOCATED IN BRISTOL, RI.
2. PROPERTY BOUNDARY AND TOPOGRAPHICAL INFORMATION WERE OBTAINED FROM A PLAN TITLED BOUNDARY AND TOPOGRAPHIC SURVEY, BY CONTROL POINT ASSOCIATES, INC., DATED SEPTEMBER 28, 2021.

| |
|---------------|
| SCALE: |
| HORZ.: 1"=20' |
| VERT.: |
| DATUM: |
| HORZ.: NAD83 |
| VERT.: NAVD88 |
| 0 10 20 |
| GRAPHIC SCALE |

**FUSS & O'NEILL**

317 IRON HORSE WAY, SUITE 204
PROVIDENCE, RI 02908
401.861.3070
www.fando.com

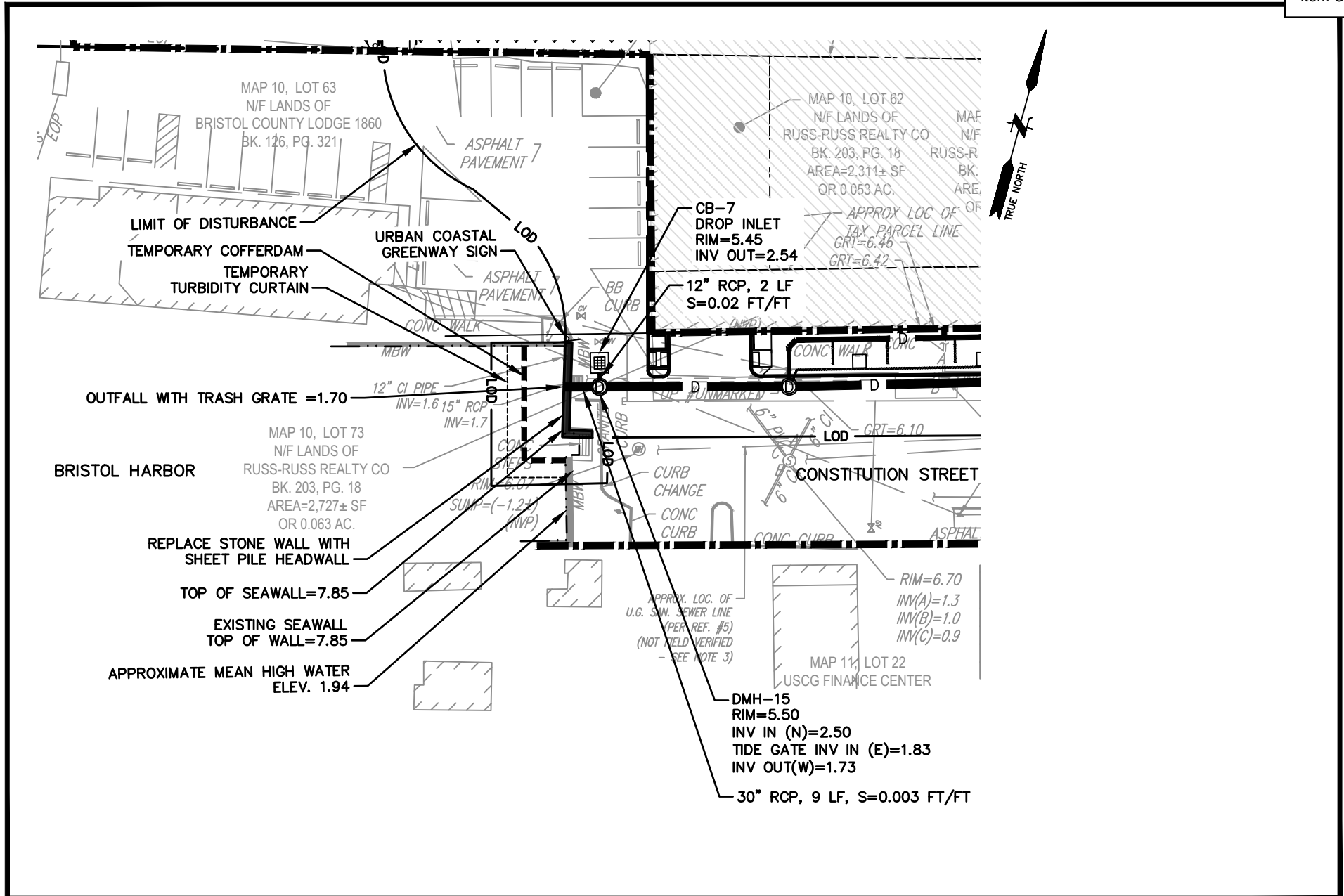
BRADY SULLIVAN
EXISTING CONDITIONS
BRISTOL YARN MILL


125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: 3/25/2024

EX-1



| | |
|---|--|
| SCALE: | |
| HORZ.: 1"=20' | |
| VERT.: | |
| DATUM: | |
| HORZ.: NAD83 | |
| VERT.: NAVD88 | |
|  | |
| GRAPHIC SCALE | |



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BRADY SULLIVAN

SEAWALL WORK

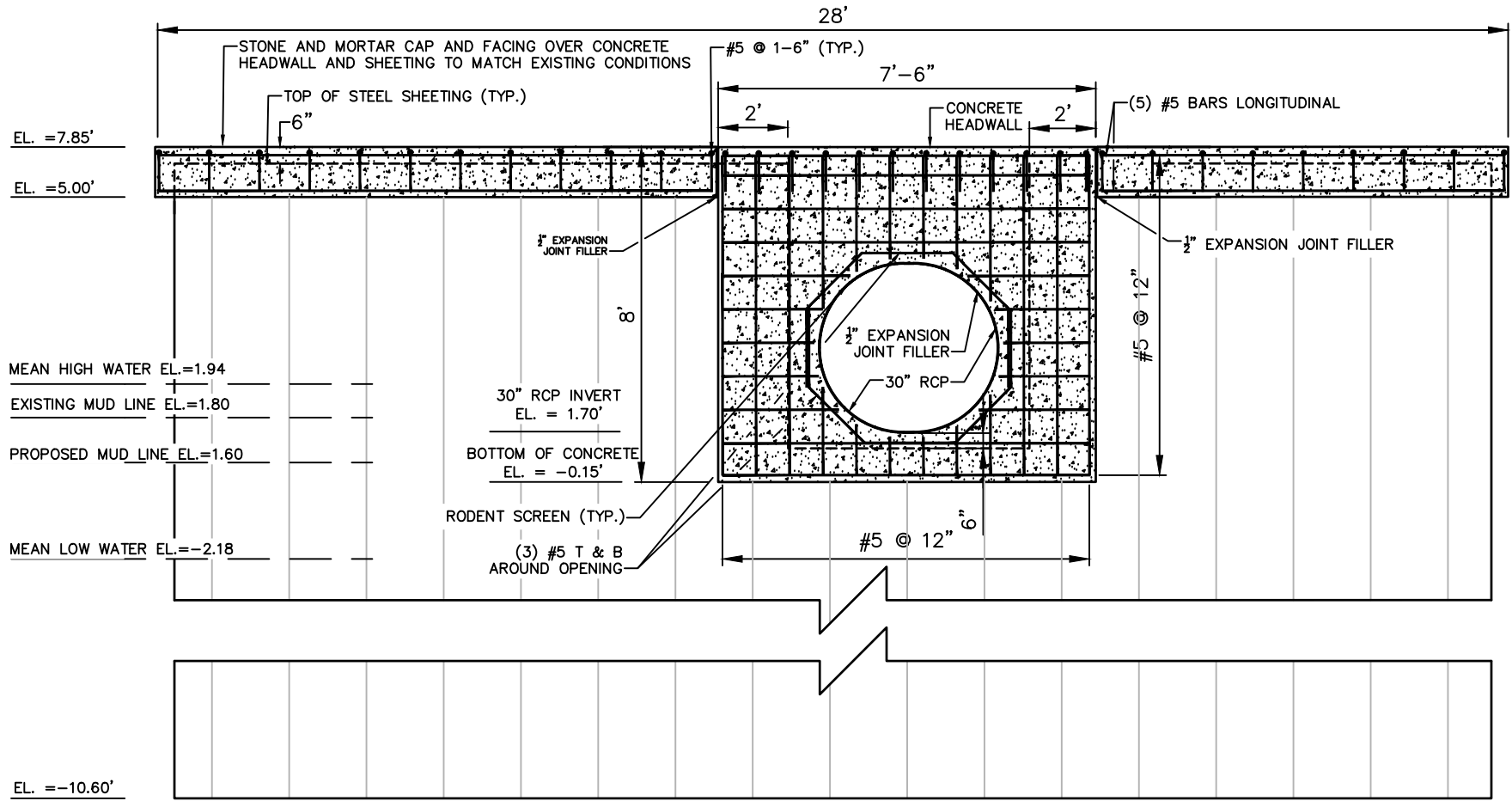
BRISTOL YARN MILL

125 THAMES STREET

BRISTOL, RHODE ISLAND

| |
|--|
| PROJ. No.: 20061150.A22 DATE: 3/25/2024 |
|--|

CS-1




NOTES:

1. BACKFILL SHALL BE LESS 10 PERCENT SILT CONTENT.
2. CEMENT SHALL BE TYPE 2 OR TYPE 5 AIR ENTRAINING PORTLAND CEMENT OR AN EQUIVALENT
3. CONTRACTOR SHALL PREPARE AND SUBMIT A SHOP DRAWING FOR THE FINAL DESIGN OF THE SEAWALL AND WATER MANAGEMENT SYSTEM FOR ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
4. DESIGN SUBMITTALS SHALL BE PREPARED BY A QUALIFIED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF RHODE ISLAND AND SHALL COMPLY WITH ALL RIDEM, CRMC, AND USACE REGULATIONS AND PERMIT CONDITIONS.
5. FILLING, GRADING, DREDGING, EXPANSION, OR ANY OTHER ACTIVITY NOT AUTHORIZED BY RIDEM, CRMC, OR USACE IS PROHIBITED.

HEADWALL PROFILE

NOT TO SCALE

| | |
|---|--------|
| SCALE: | |
| HORZ.: | |
| VERT.: | |
| DATUM: | |
| HORZ.: | NAD83 |
| VERT.: | NAVD88 |
|  | |
| GRAPHIC SCALE | |



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BRADY SULLIVAN

SEAWALL DETAILS

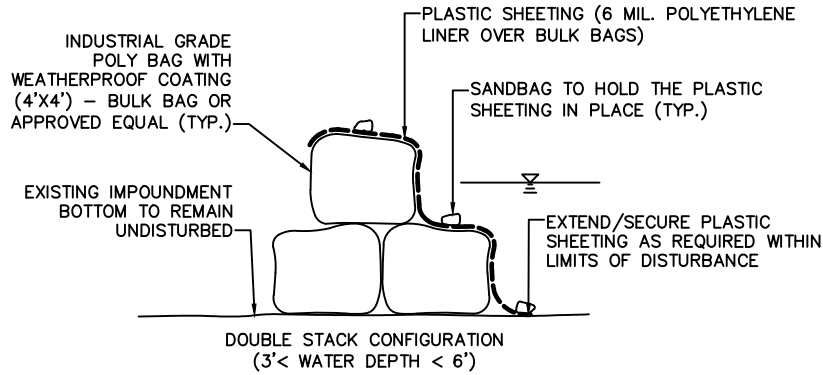
BRISTOL YARN MILL

125 THAMES STREET

BRISTOL, RHODE ISLAND

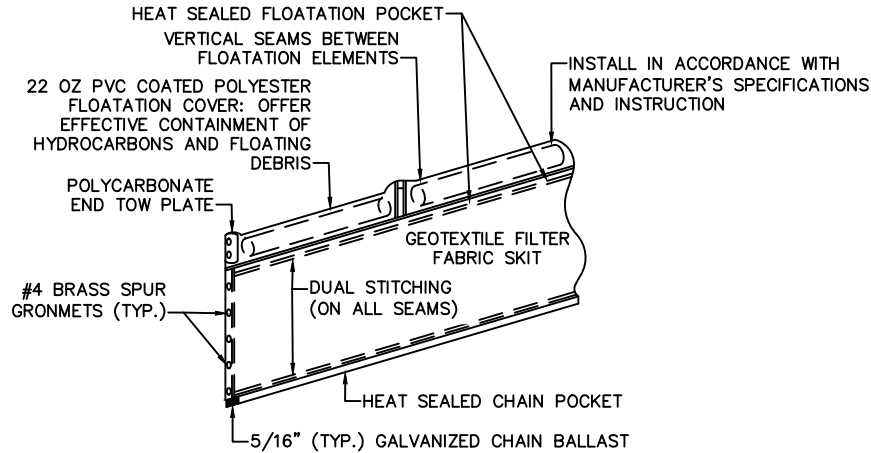
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| PROJ. No.: 20061150.A22 |
| DATE: 3/25/2024 |

CD-1



TEMPORARY COFFERDAM

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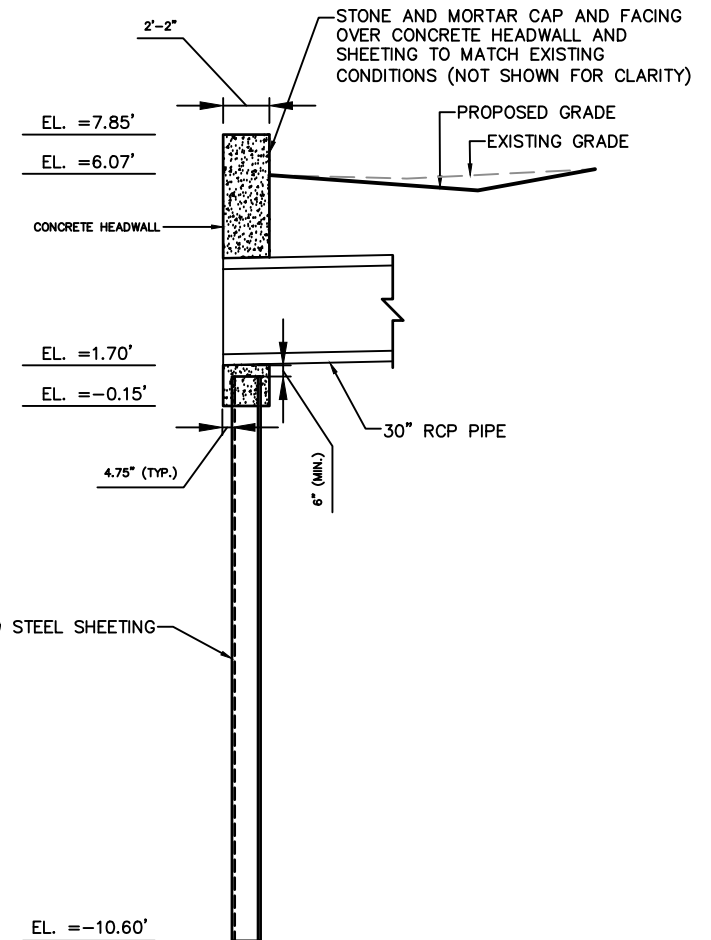


NOTES:

1. FLOATATION SIZE (6", 8" OR 12" DIA.) DETERMINED BY SKIRT DEPTH/SITE VARIABLES.
2. OTHER END TYPES AVAILABLE SUCH AS ALUMINUM UNIVERSAL SLIDE OR SLOTTED TUBE.
3. OPTIONAL TOP TENSION CABLE (5/16" TYP.) AVAILABLE FOR INCREASED STRENGTH.

TEMPORARY TURBIDITY CURTAIN

NOT TO SCALE



HEADWALL SECTION

NOT TO SCALE

| |
|---------------|
| SCALE: |
| HORZ.: |
| VERT.: |
| DATUM: |
| HORZ.: NAD83 |
| VERT.: NAVD88 |
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| GRAPHIC SCALE |



FUSS & O'NEILL

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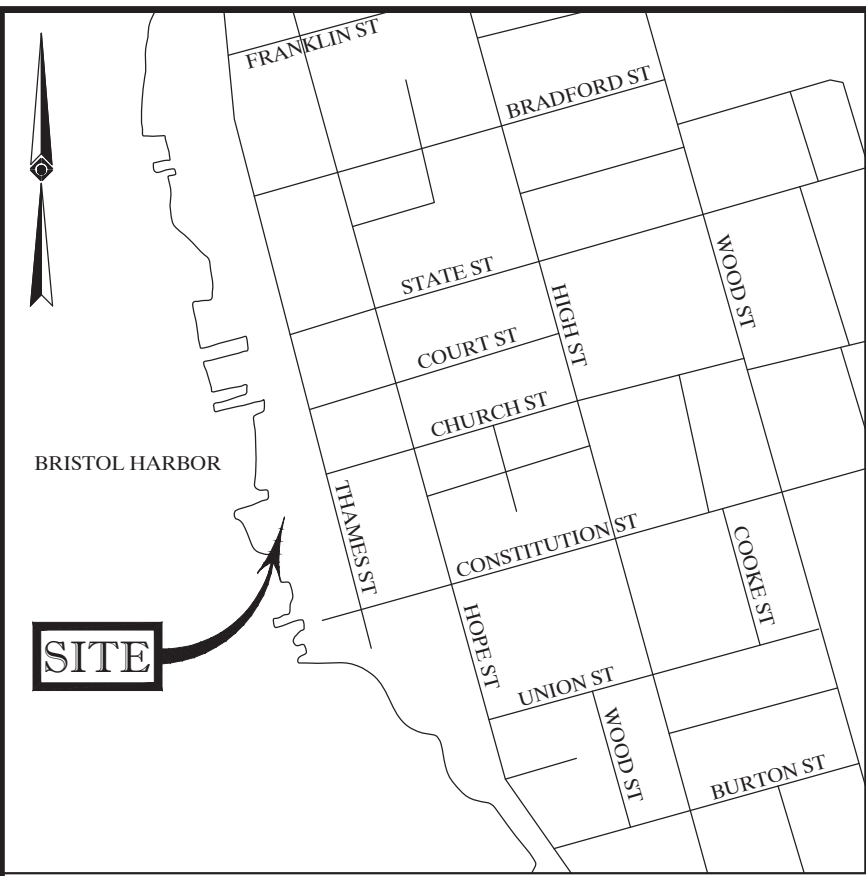
125 THAMES STREET

BRADY SULLIVAN
SEAWALL DETAILS
BRISTOL YARN MILL

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: 3/25/2024

CD-2



LOCUS MAP
© 2013 ESRI WORLD STREET MAPS
NOT TO SCALE

LEGEND

| | | | |
|--|------------------|--|-------------------------|
| | HYDRANT | | DRAINAGE/STORM MANHOLE |
| | WATER VALVE | | ELECTRIC MANHOLE |
| | UNKNOWN VALVE | | SANITARY/SEWER MANHOLE |
| | GAS VALVE | | UNKNOWN MANHOLE |
| | GAS METER | | WATER MANHOLE |
| | ELECTRIC METER | | CATCH BASIN OR INLET |
| | OVERHEAD WIRES | | TREE & TRUNK SIZE |
| | UTILITY POLE | | PARKING SPACE COUNT |
| | AREA LIGHT | | DEPRESSED CURB |
| | SIGN | | SOLID WHITE LINE |
| | BOLLARD | | DOUBLE YELLOW LINE |
| | CHAIN LINK FENCE | | HEIGHT |
| | DEPRESSED CURB | | BUILDING |
| | EDGE OF CONCRETE | | BUILDING FOOTPRINT AREA |
| | EDGE OF PAVEMENT | | DRILL HOLE FOUND |
| | LANDSCAPED AREA | | MASONRY BLOCK WALL |
| | METAL COVER | | TYPICAL |

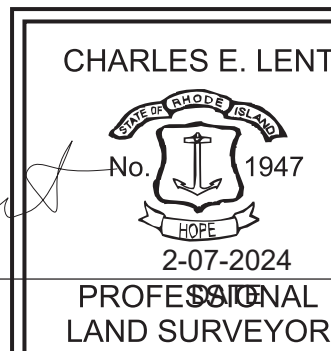
NOTES:

- PROPERTY KNOWN AS LOTS 42 & 60 AS SHOWN ON THE TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND MAP NO. 10.
- PROPOSED PUBLIC ACCESS EASEMENT AREA = 8,068± SQ. FT. OR 0.185± ACRES.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
- UNDERGROUND UTILITIES HAVE NOT BEEN SHOWN. BEFORE ANY SITE EVALUATION, PREPARATION OF DESIGN DOCUMENTS OR EXCAVATIONS ARE TO BEGIN, THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE PROPER UTILITY COMPANIES.
- BY GRAPHIC PLOTTING ONLY A PORTION OF THE PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "AE" (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, BASE FLOOD ELEVATIONS DETERMINED, EL+12, & ZONE "X" SHADED) (AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD), & ZONE "X" UNSHADED) (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), & ZONE "VE" (COASTAL FLOOD ZONE WITH VELOCITY HAZARD (WAVE ACTION); BASE FLOOD ELEVATIONS DETERMINED, EL+14 & EL+15) PER REF #2.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- THE PURPOSE OF THIS PLAN IS TO ILLUSTRATE A PROPOSED EASEMENT ON THE SUBJECT PARCELS.

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 4, 2022 AS FOLLOWS:

- TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY MEASUREMENT SPECIFICATION: I
- OTHER TYPE OF SURVEY: DATA ACCUMULATION SURVEY MEASUREMENT SPECIFICATION: III
- THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS: PREPARE EASEMENT PLAN.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.



CHARLES E. LENT

RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947
CERTIFICATE OF AUTHORIZATION #A350

EASEMENT PLAN

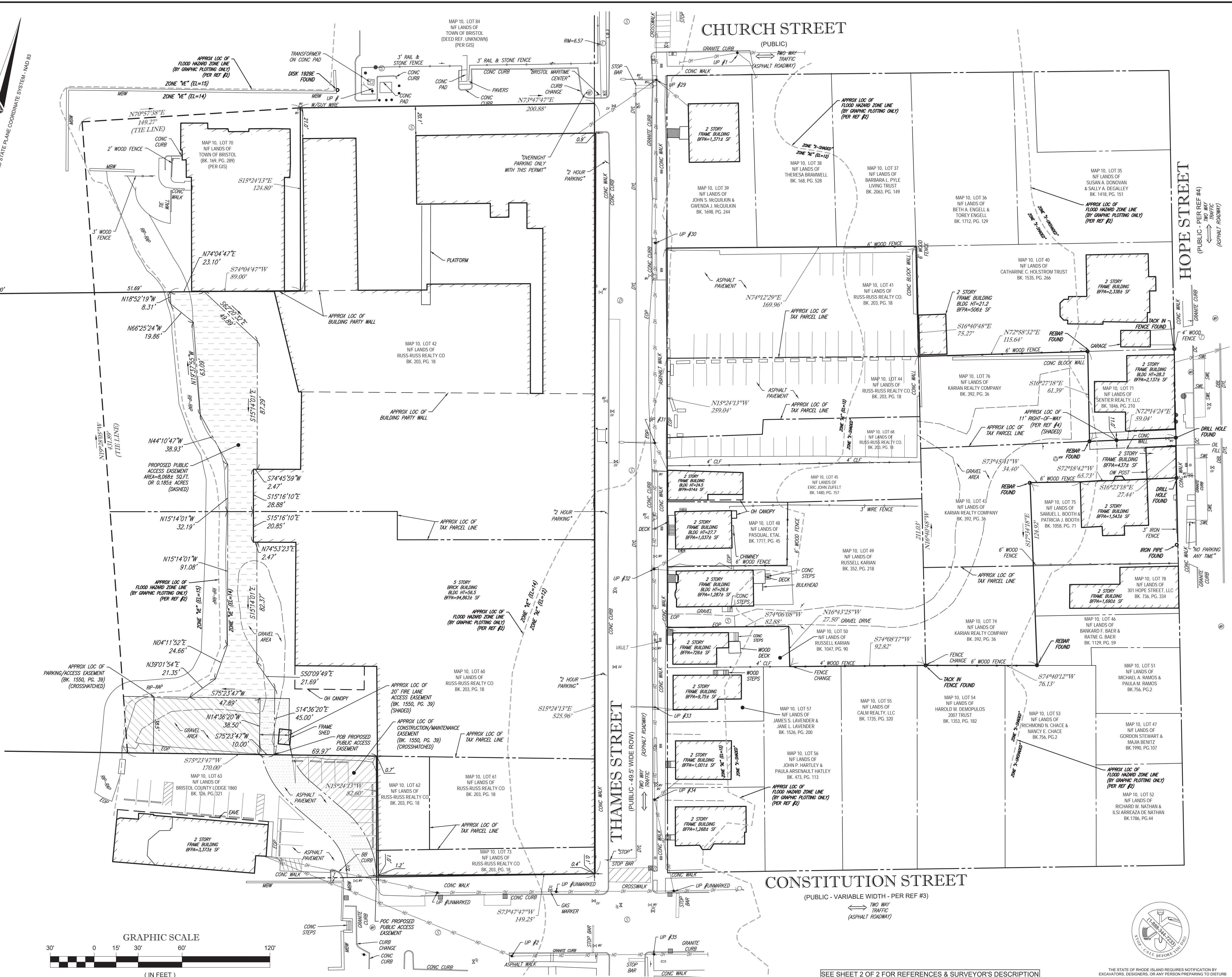
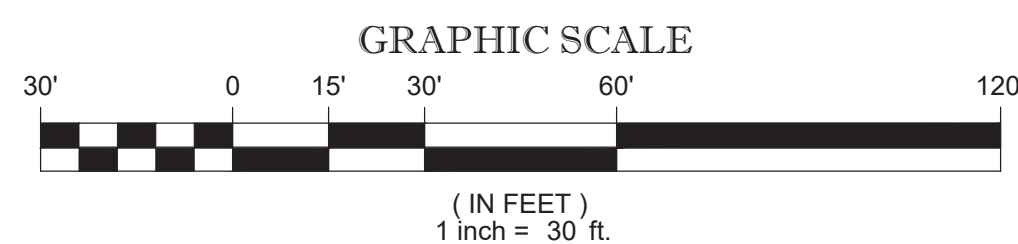
BRISTOL YARN MILL

125 THAMES STREET
LOTS 42 & 60, MAP 10
TOWN OF BRISTOL, BRISTOL COUNTY
STATE OF RHODE ISLAND



ALBANY, NY 518-217-5010
CHALFONTE, PA 215-712-9800
HAUPPAUGE, NY 631-580-2665
MANHATTAN, NY 646-780-0411
MT LAUREL, NJ 609-857-2099
WARREN, NJ 908-668-0099

| | | | | | |
|-----------|-----------|-----------|----------|--------------|-----------|
| REVIEWED: | APPROVED: | DATE: | SCALE: | FILE NO.: | DWG. NO.: |
| E.LOC. | C.E.L. | 2-07-2024 | 1" = 30' | 03-210289-00 | 1 OF 2 |



SEE SHEET 2 OF 2 FOR REFERENCES & SURVEYOR'S DESCRIPTION

THE STATE OF RHODE ISLAND REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

CONTROL POINT ASSOCIATES, INC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.


THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 4, 2022 AS FOLLOWS:

1. TYPE OF BOUNDARY SURVEY: MEASUREMENT SPECIFICATION
LIMITED CONTENT BOUNDARY SURVEY I

2. OTHER TYPE OF SURVEY: MEASUREMENT SPECIFICATION:
DATA ACCUMULATION SURVEY III


3. THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS:
PREPARE EASEMENT PLAN.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED
WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.


CHARLES E. LENT
RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947
CERTIFICATE OF AUTHORIZATION #A350

CHARLES E. LENT

No. 1947
2-07-2024
PROFESSIONAL
LAND SURVEYOR

| | | | | | |
|----------------|---|-----------|-------|--------------|----------|
| FIELD DATE | EASEMENT PLAN | | | | |
| - | BRISTOL YARN MILL | | | | |
| FIELD BOOK NO. | 125 THAMES STREET | | | | |
| - | LOTS 42 & 60, MAP 10 | | | | |
| FIELD BOOK PG. | TOWN OF BRISTOL , BRISTOL COUNTY | | | | |
| - | STATE OF RHODE ISLAND | | | | |
| FIELD CREW |  CONTROL POINT ASSOCIATES, INC. ALBANY, NY 518-217-5010 CHALFONT, PA 215-712-9800 HAUPPAUGE, NY 631-580-2665 DRAWN: 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.3000 - 508.948.3003 FAX WWW.CPASURVEY.COM MANHATTAN, NY 646-780-0411 MT LAUREL, NJ 609-857-2099 WARREN, NJ 908-668-0099 | | | | |
| E.G.F. | | | | | |
| REVIEWED: | APPROVED: | DATE | SCALE | FILE NO. | DWG. NO. |
| E.LOC. | C.E.L. | 2-07-2024 | N/A | 03-210289-00 | 2 OF 2 |

REFERENCES:

- THE TAX ASSESSOR'S MAP OF BRISTOL, BRISTOL COUNTY, MAP 10.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, BRISTOL COUNTY, RHODE ISLAND 9ALL JURISDICTIONS), PANEL 14 OF 18", MAP NUMBER 44001C0014H, MAP REVISED, JULY 7, 2014.
- MAP ENTITLED "BOUNDARY SURVEY PLAN AP 10 - LOTS 60, 61, 62 & 73 THAMES STREET & CONSTITUTION STREET BRISTOL, RHODE ISLAND RUSS - RUSS REALTY CO. C/O ROBIN RUG COMPANY 125 THAMES STREET P.O. BOX 656 BRISTOL, RHODE ISLAND 02809", PREPARED BY: WATERMAN ENGINEERING CO., DATED: FEBRUARY 1, 2005, PROVIDED BY CLIENT.
- MAP ENTITLED "BOUNDARY SURVEY PLAN A.P. 10, LOTS 43, 71, 74 & 76 HOPE STREET BRISTOL RHODE ISLAND KARIAN REALTY CO. P.O. BOX 656 BRISTOL, RHODE ISLAND", PREPARED BY: WATERMAN ENGINEERING CO., DATED: FEBRUARY 26, 2021, PROVIDED BY CLIENT.
- MAP ENTITLED "PLAN OF LAND: THEODORE J. & HELEN T. ALGLET, LOCATION: 12 BUTTERWORTH AVENUE BRISTOL, RHODE ISLAND", PREPARED BY: STEPHEN M. MURGO, DATED: JULY, 1992, PROVIDED BY CLIENT.
- MAP ENTITLED "EXISTING CONDITIONS PLAN, BRISTOL YARN MILL, PLAT 10 LOTS 42, 60, 61, 62, 68, 73, 41, 43, 44, 49, 74 AND 76, 125 THAMES STREET, BRISTOL RHODE ISLAND", PREPARED BY FUSS & O'NEILL, DATED MAY 7, 2021
- MAP ENTITLED "SURVEY OF LAND KARIAN REALTY, INC.", PREPARED BY: WATERMAN ENGINEERING CO., DATED: AUGUST 1990, ON FILE WITH THE TOWN OF BRISTOL PLANNING DEPARTMENT.
- MAP ENTITLED "RUSS-RUSS REALTY CO. ROBIN RUG COMPLEX MASTER PLAN A.P. 10 / LOTS 41, 42, 44, 60, 61, 62, 68 & 73 125 THAMES STREET BRISTOL RHODE ISLAND", PREPARED BY: FUSS 7 O'NEILL, DATED: APRIL 18, 2008, PROVIDED BY CLIENT.
- RECIPROCAL EASEMENT AGREEMENT, DATED MAY 6, 2010, AND RECORDED WITH THE BRISTOL COUNTY LAND RECORDS IN BOOK 1550, PAGE 39.
- MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, BRISTOL YARN MILL, 125 THAMES STREET, LOTS 41, 42, 43, 44, 45, 48, 49, 60, 61, 62, 68, 73, 74, 76, MAP 10, TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED SEPTEMBER 28, 2021, LAST REVISED OCTOBER 1, 2021, THREE SHEETS.

SURVEYOR'S
METES AND BOUNDS DESCRIPTION

PROPOSED PUBLIC ACCESS EASEMENT
LOCATED ON LOTS 42 & 60, MAP 10
TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND

COMMENCING AT A POINT ON THE NORTHERLY STREET LINE OF CONSTITUTION STREET (PUBLIC, VARIABLE WIDTH) SAID POINT BEING ON THE DIVISION LINE BETWEEN MAP 10, LOT 73 (N/F OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63 (N/F OF BRISTOL COUNTY LODGE 1860) THENCE RUNNING ALONG SAID DIVISION LINE AND THE DIVISION LINE BETWEEN MAP 10, LOT 62 (N/F OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63 THE FOLLOWING COURSE:

- A. NORTH 15 DEGREES - 24 MINUTES - 13 SECONDS WEST, A DISTANCE OF 82.60 TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 60 (N/F LANDS OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63, THENCE RUNNING ALONG SAID LINE THE FOLLOWING COURSE:
- B. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 69.97 FEET TO THE POINT AND PLACE OF BEGINNING, THENCE CONTINUING ALONG SAID DIVISION LINE THE FOLLOWING COURSE:
- SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 10.00 FEET, THENCE RUNNING WITHIN MAP 10, LOT 60 THE FOLLOWING FIVE (5) COURSES:
 - NORTH 14 DEGREES - 36 MINUTES - 20 SECONDS WEST, A DISTANCE OF 38.50 FEET TO A POINT, THENCE;
 - SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 47.89 FEET TO A POINT, THENCE;
 - NORTH 39 DEGREES - 01 MINUTE - 54 SECONDS EAST, A DISTANCE OF 21.35 FEET TO A POINT, THENCE;
 - NORTH 04 DEGREES - 11 MINUTES - 52 SECONDS EAST, A DISTANCE OF 24.66 FEET TO A POINT, THENCE;
 - NORTH 15 DEGREES - 14 MINUTES - 01 SECOND WEST, A DISTANCE OF 91.08 FEET TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 60 AND MAP 10, LOT 42 (N/F LANDS OF RUSS-RUSS REALTY CO.), THENCE RUNNING WITHIN MAP 10, LOT 42 THE FOLLOWING FIVE (5) COURSES;
 - NORTH 15 DEGREES - 14 MINUTES - 01 SECOND WEST, A DISTANCE OF 32.19 FEET TO A POINT, THENCE;
 - NORTH 44 DEGREES - 10 MINUTES - 47 SECONDS WEST, A DISTANCE OF 38.93 FEET TO A POINT, THENCE;
 - NORTH 19 DEGREES - 37 MINUTES - 55 SECONDS WEST, A DISTANCE OF 63.09 FEET TO A POINT,
 - NORTH 66 DEGREES - 25 MINUTES - 24 SECONDS WEST, A DISTANCE OF 19.86 FEET TO A POINT, THENCE;
 - NORTH 18 DEGREES - 52 MINUTES - 19 SECONDS WEST, A DISTANCE OF 8.31 FEET TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 42 AND MAP 10, LOT 70 (N/F OF TOWN OF BRISTOL), THENCE RUNNING ALONG SAID LINE THE FOLLOWING COURSE;
 - NORTH 74 DEGREES - 04 MINUTES - 47 SECONDS EAST, A DISTANCE OF 23.10 FEET TO A POINT, THENCE RUNNING WITHIN MAP 10, LOT 42 THE FOLLOWING FOUR (4) COURSES;
 - SOUTH 62 DEGREES - 20 MINUTES - 32 SECONDS EAST, A DISTANCE OF 49.89 FEET TO A POINT, THENCE;
 - SOUTH 15 DEGREES - 14 MINUTES - 01 SECOND EAST, A DISTANCE OF 87.29 FEET TO A POINT, THENCE;
 - SOUTH 74 DEGREES - 45 MINUTES - 59 SECONDS WEST, A DISTANCE OF 2.47 FEET TO A POINT, THENCE;
 - SOUTH 15 DEGREES - 16 MINUTES - 10 SECONDS EAST, A DISTANCE OF 28.88 FEET TO A POINT, ON THE DIVISION LINE BETWEEN MAP 10, LOT 42 AND MAP 10, LOT 60, THENCE RUNNING WITHIN MAP 10, LOT 60 THE FOLLOWING FIVE (5) COURSES;
 - SOUTH 15 DEGREES - 16 MINUTES - 10 SECONDS EAST, A DISTANCE OF 20.85 FEET TO A POINT, THENCE;
 - NORTH 74 DEGREES - 53 MINUTES - 23 SECONDS EAST, A DISTANCE OF 2.47 FEET TO A POINT, THENCE;
 - SOUTH 15 DEGREES - 14 MINUTES - 01 SECOND EAST, A DISTANCE OF 82.37 FEET TO A POINT, THENCE;
 - SOUTH 50 DEGREES - 09 MINUTES - 49 SECONDS EAST, A DISTANCE OF 21.69 FEET TO A POINT, THENCE;
 - SOUTH 14 DEGREES - 36 MINUTES - 20 SECONDS EAST, A DISTANCE OF 45.00 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 8,068 SQUARE FEET, 0.185 ACRES



CONTROL POINT ASSOCIATES, INC.

traditional methods | modern approaches

Item C1.

352 Turnpike Road, Suite 320
Southborough, MA 01772
Tel: 508-948-3000
www.cpasurvey.com

FEBRUARY 7, 2024
03-210289-00
PAGE 1 OF 2

SURVEYOR'S METES AND BOUNDS DESCRIPTION

PROPOSED PUBLIC ACCESS EASEMENT
LOCATED ON LOTS 42 & 60, MAP 10
TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND

COMMENCING AT A POINT ON THE NORTHERLY STREET LINE OF CONSTITUTION STREET (PUBLIC, VARIABLE WIDTH) SAID POINT BEING ON THE DIVISION LINE BETWEEN MAP 10, LOT 73 (N/F OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63 (N/F OF BRISTOL COUNTY LODGE 1860) THENCE RUNNING ALONG SAID DIVISION LINE AND THE DIVISION LINE BETWEEN MAP 10, LOT 62 (N/F OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63 THE FOLLOWING COURSE;

- A. NORTH 15 DEGREES - 24 MINUTES - 13 SECONDS WEST, A DISTANCE OF 82.60 TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 60 (N/F LANDS OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63, THENCE RUNNING ALONG SAID LINE THE FOLLOWING COURSE;
- B. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 69.97 FEET TO THE POINT AND PLACE OF BEGINNING, THENCE CONTINUING ALONG SAID DIVISION LINE THE FOLLOWING COURSE;
1. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 10.00 FEET, THENCE RUNNING WITHIN MAP 10, LOT 60 THE FOLLOWING FIVE (5) COURSES;
 2. NORTH 14 DEGREES - 36 MINUTES - 20 SECONDS WEST, A DISTANCE OF 38.50 FEET TO A POINT, THENCE;
 3. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 47.89 FEET TO A POINT, THENCE;
 4. NORTH 39 DEGREES - 01 MINUTE - 54 SECONDS EAST, A DISTANCE OF 21.35 FEET TO A POINT, THENCE;
 5. NORTH 04 DEGREES - 11 MINUTES - 52 SECONDS EAST, A DISTANCE OF 24.66 FEET TO A POINT, THENCE;
 6. NORTH 15 DEGREES - 14 MINUTES - 01 SECOND WEST, A DISTANCE OF 91.08 FEET TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 60 AND MAP 10, LOT 42 (N/F LANDS OF RUSS-RUSS REALTY CO.), THENCE RUNNING WITHIN MAP 10, LOT 42 THE FOLLOWING FIVE (5) COURSES;
 7. NORTH 15 DEGREES - 14 MINUTES - 01 SECOND WEST, A DISTANCE OF 32.19 FEET TO A POINT, THENCE;
 8. NORTH 44 DEGREES - 10 MINUTES - 47 SECONDS WEST, A DISTANCE OF 38.93 FEET TO A POINT, THENCE;
 9. NORTH 19 DEGREES - 37 MINUTES - 55 SECONDS WEST, A DISTANCE OF 63.09 FEET TO A POINT,
 10. NORTH 66 DEGREES - 25 MINUTES - 24 SECONDS WEST, A DISTANCE OF 19.86 FEET TO A POINT, THENCE;

Corporate Headquarters
35 Technology Drive, Warren, NJ 07059
Tel: 908.668.0099 Fax: 908.668.9595

Professional Land Surveying, Geospatial and Consulting Services

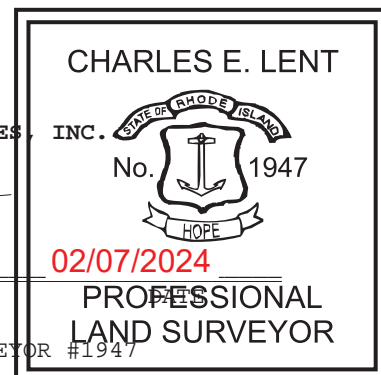
11. NORTH 18 DEGREES - 52 MINUTES - 19 SECONDS WEST, A DISTANCE OF 8.31 FEET TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 42 AND MAP 10, LOT 70 (N/F OF TOWN OF BRISTOL), THENCE RUNNING ALONG SAID LINE THE FOLLOWING COURSE;
12. NORTH 74 DEGREES - 04 MINUTES - 47 SECONDS EAST, A DISTANCE OF 23.10 FEET TO A POINT, THENCE RUNNING WITHIN MAP 10, LOT 42 THE FOLLOWING FOUR (4) COURSES;
13. SOUTH 62 DEGREES - 20 MINUTES - 32 SECONDS EAST, A DISTANCE OF 49.89 FEET TO A POINT, THENCE;
14. SOUTH 15 DEGREES - 14 MINUTES - 01 SECOND EAST, A DISTANCE OF 87.29 FEET TO A POINT, THENCE;
15. SOUTH 74 DEGREES - 45 MINUTES - 59 SECONDS WEST, A DISTANCE OF 2.47 FEET TO A POINT, THENCE;
16. SOUTH 15 DEGREES - 16 MINUTES - 10 SECONDS EAST, A DISTANCE OF 28.88 FEET TO A POINT, ON THE DIVISION LINE BETWEEN MAP 10, LOT 42 AND MAP 10, LOT 60, THENCE RUNNING WITHIN MAP 10, LOT 60 THE FOLLOWING FIVE (5) COURSES;
17. SOUTH 15 DEGREES - 16 MINUTES - 10 SECONDS EAST, A DISTANCE OF 20.85 FEET TO A POINT, THENCE;
18. NORTH 74 DEGREES - 53 MINUTES - 23 SECONDS EAST, A DISTANCE OF 2.47 FEET TO A POINT, THENCE;
19. SOUTH 15 DEGREES - 14 MINUTES - 01 SECOND EAST, A DISTANCE OF 82.37 FEET TO A POINT, THENCE;
20. SOUTH 50 DEGREES - 09 MINUTES - 49 SECONDS EAST, A DISTANCE OF 21.69 FEET TO A POINT, THENCE;
21. SOUTH 14 DEGREES - 36 MINUTES - 20 SECONDS EAST, A DISTANCE OF 45.00 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 8,068 SQUARE FEET, 0.185 ACRES

CONTROL POINT ASSOCIATES, INC.

Charles E. Lent

CHARLES E. LENT
STATE OF RHODE ISLAND
PROFESSIONAL LAND SURVEYOR #1947



Bristol Yarn Mill Roadway Cost Breakdown

| Description | Unit | Unit Cost | Total |
|--------------------------|-----------|------------|--------------|
| Mill | 2560 SY. | \$8.10 | \$20,736.00 |
| Drainage Structures | 5 EA. | \$6,070.00 | \$30,350.00 |
| Drainage Pipe | 520 LF. | \$195.00 | \$101,660.00 |
| Water Main | 815 LF. | \$268.00 | \$218,420.00 |
| Hydrants | 3 EA. | \$7,740.00 | \$23,220.00 |
| Sewer | 30 LF. | \$440.00 | \$13,200.00 |
| Grainite Curbing | 375 LF. | \$60.00 | \$22,500.00 |
| Exterior Concrete (Prep) | 6,340 SF. | \$5.00 | \$31,700.00 |
| Exterior Concrete (Pour) | 6,340 SF. | \$12.00 | \$76,080.00 |
| Overlay | 2,410 SY. | \$15.75 | \$37,957.00 |
| Total | | | \$575,823.00 |

File Path: \\private\DFS\Cad\Proj\DWG\20061150\A22\Civil\Plan\Permitting\Plans\20061150\A22_COV01.dwg, Layout: GI-001, Plotted: Wednesday, May 29, 2024, User: katherine.mccombs, Plotter: AUTOCAD PDF (GENERAL DOCUMENTATION).PC3, CTB File: FO.STB

Item C1.

BRISTOL YARN MILL

THAMES STREET & HOPE STREET · BRISTOL · RHODE ISLAND
ASSESSOR'S PLAT 10 LOTS 41, 42, 43, 44, 49, 50, 60, 61, 62, 68, 71, 73, 74, 76

PERMITTING PLAN

DECEMBER 6, 2022

REVISED: MAY 29, 2024

PREPARED FOR
**BRADY SULLIVAN
PROPERTIES**
670 N. COMMERCIAL STREET
MANCHESTER, NH 03101
603.622.6223
WWW.BRADYSULLIVAN.COM



PREPARED BY
FUSS & O'NEILL

317 IRON HORSE WAY, SUITE 204
PROVIDENCE, RI 02908
401.861.3070
www.fando.com

CONSULTANTS

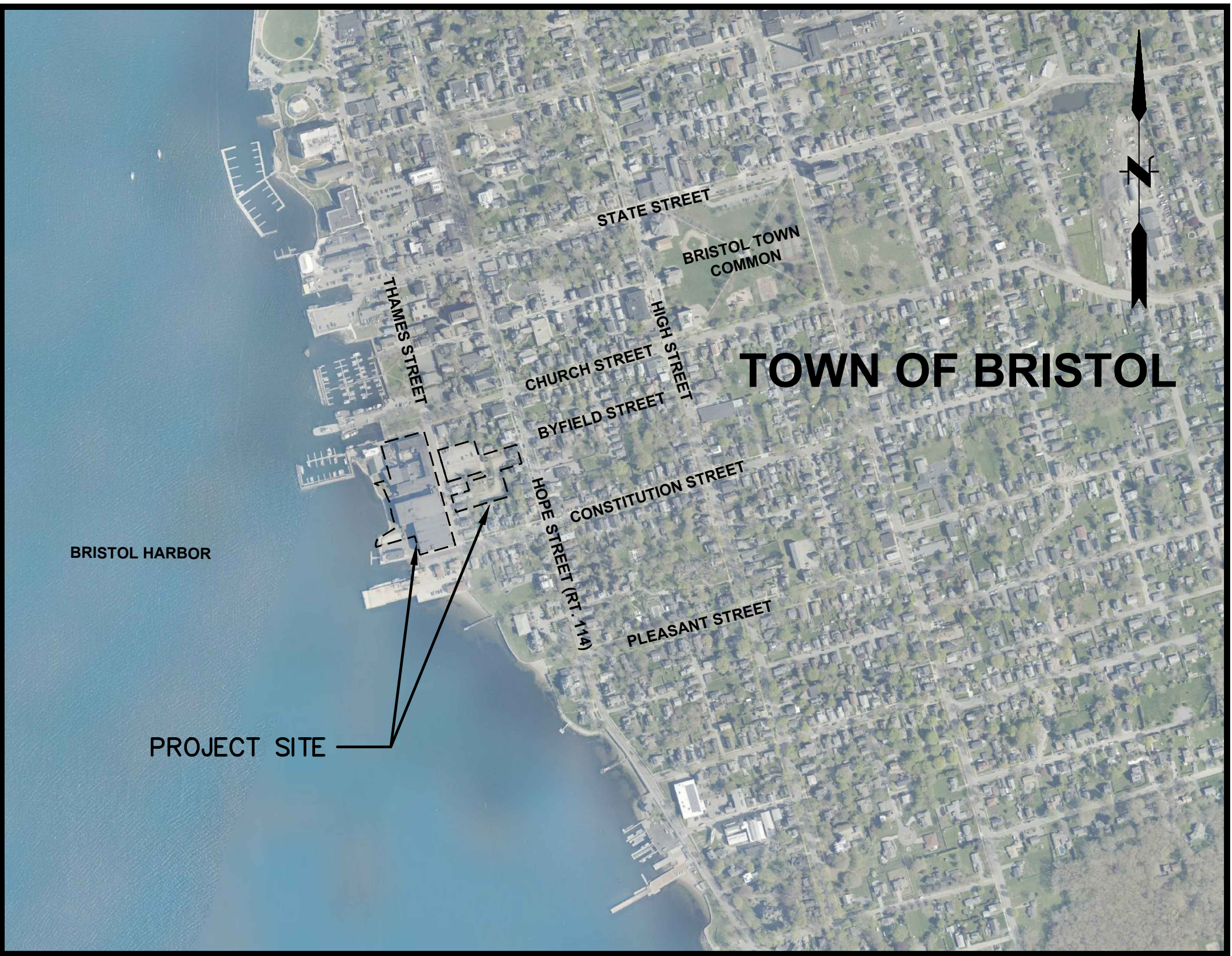
ENVIRONMENTAL:
NOBIS GROUP
18 CHENELL DR
CONCORD, NH
03301
603.224.4182

ARCHITECTURAL:
BRADY SULLIVAN
PROPERTIES
670 N. COMMERCIAL STREET
MANCHESTER, NH
03101
630.622.6223

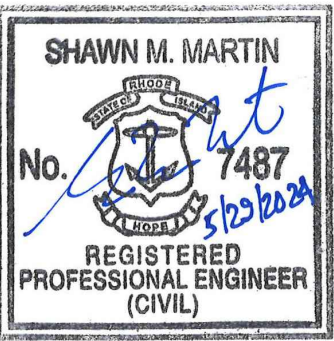
SURVEYOR:
CONTROL POINT
ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTHBOROUGH, MA
01772
508.948.3000

SHEET INDEX

| <u>SHEET No.</u> | <u>SHEET TITLE</u> |
|------------------|---|
| GI-001 | COVER SHEET |
| CN-001 | GENERAL NOTES AND LEGEND |
| 1 OF 3 | BOUNDARY & TOPOGRAPHIC SURVEY |
| 2 OF 3 | BOUNDARY & TOPOGRAPHIC SURVEY |
| 3 OF 3 | BOUNDARY & TOPOGRAPHIC SURVEY |
| CP-101 | SITE DEMOLITION PLAN |
| CE-101 | SOIL EROSION & SEDIMENTATION CONTROL PLAN |
| CS-101 | SITE PLAN |
| CS-102 | SITE CIRCULATION PLAN |
| CG-101 | GRADING PLAN |
| CG-102 | DRAINAGE PLAN |
| CU-101 | WATER & SEWER PLAN |
| LP-101 - LP-103 | PLANTING PLANS |
| CD-501 - CD-502 | PLANTING DETAILS |
| CD-503 - CD-511 | CIVIL DETAILS |
| CD-512 - CD-513 | LANDSCAPING DETAILS |



LOCATION MAP
SCALE: 1" = 500'



PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

GI-001

SHEET 1 OF 28

LEGEND

| EXIST | PROP | EXIST | PROP |
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LEGEND

NOTE

SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE NOT NECESSARILY SHOWN ON THE DRAWINGS TO SCALE OR TO THEIR ACTUAL DIMENSION OR LOCATION. COORDINATE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS, AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

GENERAL NOTES

1. REFERENCES:

A. THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2018 EDITION, REVISIONS AND ALL CURRENT ADDENDA, ARE MADE A PART HEREOF, AS IF ATTACHED HERETO. ALL REFERENCES TO "STATE STANDARD SPECIFICATIONS" SHALL REFER TO THE LATEST EDITION OF THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

B. THE STATE OF RHODE ISLAND STANDARD DETAILS, 2015 EDITION, AND ALL CURRENT REVISIONS, ARE MADE A PART HEREOF, AS IF ATTACHED HERETO. ALL REFERENCES TO "STATE STANDARD DETAILS" OR "R.I. STD. ##" SHALL REFER TO THE LATEST EDITION OF THE STATE OF RHODE ISLAND STANDARD DETAILS.

C. THE STATE OF RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, 2016 EDITION, REVISIONS AND ALL CURRENT ADDENDA ARE MADE A PART HEREOF, AS IF ATTACHED HERETO. ALL REFERENCES TO "SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" SHALL REFER TO THE LATEST EDITION OF THE STATE OF RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.

D. THE STATE OF RHODE ISLAND COASTAL RESOURCES MANAGEMENT COUNCIL, COASTAL MANAGEMENT PROGRAM "RED BOOK" (650-RICP-20-00-01), 2022 EDITION, REVISIONS AND ALL CURRENT ADDENDA, ARE MADE A PART HEREOF, AS IF ATTACHED HERETO.

E. THE STATE OF RHODE ISLAND COASTAL RESOURCES MANAGEMENT COUNCIL, COASTAL MANAGEMENT PROGRAM "METRO BAY REGION SPECIAL AREA MANAGEMENT PLAN" (650-RICP-20-00-5), 2022 EDITION, REVISIONS AND ALL CURRENT ADDENDA, ARE MADE A PART HEREOF, AS IF ATTACHED HERETO.

F. THE SITE-SPECIFIC SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC PLAN) PREPARED BY FUSS & O'NEILL, INC., DATED NOVEMBER 4, 2022, IS MADE A PART HEREOF, AS IF ATTACHED HERETO.

2. EXISTING CONDITIONS:

A. SURVEY: PROPERTY BOUNDARY AND TOPOGRAPHICAL INFORMATION WERE OBTAINED FROM A PLAN TITLED "BOUNDARY AND TOPOGRAPHIC SURVEY, BY CONTROL POINT ASSOCIATES, INC., DATED SEPTEMBER 28, 2021.

B. FLOOD ZONE: THE SUBJECT SITE LIES WITHIN ZONE "AE", A SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY 1% ANNUAL-CHANCE FLOOD EVENT, WITH BASE FLOOD ELEVATION OF 12 FT.; & ZONE "VE", A SPECIAL FLOOD ZONE AREA, WITH BASE FLOOD ELEVATION OF 14 FT. & ZONE "X", WITH 0.2% ANNUAL CHANCE FLOOD HAZARD, AREA OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE, PER FLOOD INSURANCE RATE MAP (FIRM) 44001C0014H, EFFECTIVE JULY 7, 2014.

C. UTILITIES: THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE ONLY AND HAVE NOT YET BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE.

3. MATERIAL:

A. CURBING: CURBING SHALL BE GRANITE (R.I. STD. 7.3.0), CONCRETE (R.I. STD. 7.1.0) OR BITUMINOUS BERM (R.I. STD. 7.5.1) AND IN ACCORDANCE WITH SECTION M.09 OF THE STATE STANDARD SPECIFICATIONS.

B. BITUMINOUS CONCRETE PAVEMENT: BITUMINOUS PAVEMENTS SHALL MEET REQUIREMENTS OF PART 400 OF THE STATE STANDARD SPECIFICATIONS.

C. CEMENT CONCRETE SIDEWALKS: ALL PORTLAND CEMENT CONCRETE USED IN THE CONSTRUCTION OF THE CEMENT CONCRETE SIDEWALKS SHALL BE CLASS A(AE) AND CONFORM TO THE REQUIREMENTS AS SET FORTH IN SUBSECTIONS 601.01.1 AND 601.03.1 OF THE STATE STANDARD SPECIFICATIONS.

D. SIGNAGE: ALL SIGNAGE SHALL MEET MUTCD REQUIREMENTS AND COMPLY WITH STANDARDS IN RIDOT SECTIONS T.15. AND M-16.

4. UTILITIES:

A. STORM DRAINAGES: STORM DRAIN PIPING SHALL BE SMOOTH LINED BE DOUBLE-WALL HIGH DENSITY POLYETHYLENE PIPE, (n=0.012) WITH WATER TIGHT JOINTS. THE SIZES OF ALL PIPES ARE NOTED ON THE PLANS.

ALL CATCH BASINS SHALL BE PRECAST CONCRETE, AS SPECIFIED ON THE DETAIL SHEETS, WITH BICYCLE SAFE GRATES, R.I. STANDARD 6.3.2, OR APPROVED EQUAL.

B. SEWER: ALL SEWER PIPE, UNLESS OTHERWISE SPECIFIED, SHALL BE POLYVINYL CHLORIDE (SDR 35).

CLEAN OUTS SHALL BE INSTALLED WHERE THE DISTANCE FROM THE BUILDING TO THE MAIN SEWER IS GREATER THAN 100 FEET OR WHERE BENDS GREATER THAN 45° ARE PROPOSED. CLEAN OUTS SHALL BE MADE BY INSTALLING "Y" AND ONE-EIGHTH BENDS OF THE SAME DIAMETER AS THE BUILDING SEWER, OR A MAXIMUM OF FOUR INCHES. THE CLEAN OUT SHALL BE BROUGHT UP FROM THE BUILDING SEWER TO FINISH GRADE WITH A ROADWAY BOX.

SEWER INSTALLATION PRACTICES AND APPURTENANCES SHALL BE IN ACCORDANCE WITH TOWN OF BRISTOL DPW STANDARDS.

C. GAS AND ELECTRIC: COORDINATE AND INSTALL GAS, ELECTRIC, AND COMMUNICATIONS UTILITIES IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE APPROPRIATE UTILITY COMPANIES.

D. WATER:

1.1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE BRISTOL COUNTY WATER AUTHORITY 48 HOURS PRIOR TO ANY DESIRED VALVE OPERATIONS REQUIRED. THE BCWA WILL FURNISH PERSONNEL TO OPERATE ALL VALVES IN THE SYSTEM WITHOUT COST TO THE CONTRACTOR. ONLY BCWA PERSONNEL WILL OPERATE EXISTING WATER LINE VALVES OR HYDRANTS. THE CONTRACTOR IS ADVISED THAT TOTAL SHUTDOWN OF SOME VALVES OR CONNECTIONS MAY NOT BE POSSIBLE. THIS MAY REQUIRE THAT SIDE-LINE WATER MAIN AND VALVES BE REPLACED UNDER CONDITIONS REQUIRING ADEQUATE DEWATERING MEASURES BY THE CONTRACTOR. NO SEPARATE PAYMENT WILL BE MADE FOR DEWATERING. THE CONTRACTOR WILL BE RESPONSIBLE FOR REALLOCATING RESOURCES (I.E., LABOR AND EQUIPMENT) AT THEIR OWN COST TO ALTERNATE WORK AREAS IN THE EVENT A SHUTDOWN IS NOT OBTAINED.

1.2. ALL NEW DUCTILE IRON MAIN SHALL CONFORM TO AWWA C151, BE ZINC COATED PER ISO 8179-1, DOUBLE THICKNESS CEMENT LINED, CLASS 52 PIPE, AND SHALL BE MANUFACTURED IN THE USA. DUCTILE IRON PIPE FITTINGS SHALL BE AWWA C219 BE AWWA C219 WITH 304 STAINLESS STEEL HARDWARE. PROPER USE OF THRUST BLOCKS AND/OR RESTRAINED JOINTS ARE REQUIRED AT ALL FITTINGS, VALVES AND HYDRANTS. RESTRAINED COUPLINGS SHALL BE MEGA-COUPLING SERIES 3800, OR APPROVED EQUAL.

1.3. ALL NEW DUCTILE IRON MAIN AND FITTINGS SHALL BE WRAPPED IN V-BIO POLYETHYLENE ENCASEMENT MEETING AWWA C105/A21.5. THIS INCLUDES ANY NEW MAIN AND COUPLINGS INSTALLED IN A LINING ACCESS PIT, AT HYDRANT BRANCH TEES, ETC.

1.4. DUCTILE IRON GATE VALVES SHALL BE AWWA C509, OPEN RIGHT, MECHANICAL JOINT, WITH TYPE 304 STAINLESS STEEL HARDWARE, AND SHALL BE MUELLER A-2362-23 OR APPROVED EQUAL.

1.5. HYDRANTS SHALL HAVE A 5 1/4" MAIN VALVE OPENING WITH 6" MECHANICAL JOINT BASE. THE OPERATING NUT SHALL BE 1 3/8" POINT TO FLAT PENTAGON, OPEN LEFT. HYDRANTS INSTALLED IN BRISTOL SHALL HAVE 2 1/2" HOSE NOZZLES (G.A.N.S THREAD) AND A 4" PUMPER NOZZLE (G.A.-7-465 THREAD). ALL HYDRANTS SHALL HAVE TWO COATS OF FACTORY APPLIED GLOSS EXTERIOR ALKID ENAMEL PAINT. BARREL SHALL BE SAFETY YELLOW. BONNET AND ALL CAPS SHALL BE SILVER ALUMINUM. HYDRANTS SHALL BE MUELLER SUPER CENTURIUM 280 OR AMERICAN DARLING B-84-B, NO SUBSTITUTION. ALL NEW HYDRANTS INSTALLED SHALL BE AT THE CORRECT BURY DEPTH PER THE MANUFACTURER'S INSTRUCTIONS TO PROVIDE FOR PROPER EFFECTIVENESS OF THE BREAKAWAY COUPLING.

1.6. WHEREVER NEW MAINS, VALVES, HYDRANTS, SERVICES, APPURTENANCES, ETC., ARE TO BE LAID IN THE SAME LOCATION AS THE EXISTING MAINS, VALVES, HYDRANTS, SERVICES, APPURTENANCES, ETC., THE EXISTING MAIN AND ALL APPURTENANCES SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR AT NO ADDITIONAL COST TO BCWA.

1.7. THE CONTRACTOR WILL BE REQUIRED TO INSTALL OR REPLACE SEVERAL WATER SERVICES AS PART OF THE WORK. TYPICAL NEW SERVICE TAPS SHALL BE INSTALLED USING 1" COPORATIONS, 1" TYPE K COPPER SERVICE TUBING AND 1" CURB STOPS AND BOXES. THE CONTRACTOR SHALL CONNECT ALL NEW CURB STOPS TO THE EXISTING SERVICE LINE.

1.8. THE CONTRACTOR IS REQUIRED TO PROVIDE UNINTERRUPTED WATER SERVICE DURING CONSTRUCTION. IF A WATER SHUTDOWN IS REQUIRED, THE SHUTDOWN SHALL BE NO LONGER THAN SIX HOURS AND SHALL BE COORDINATED WITH THE BCWA NO LESS THAN 48 HOURS IN ADVANCE. BCWA WILL NOTIFY CUSTOMERS OF SCHEDULED SHUTDOWNS AT LEAST 24 HOURS IN ADVANCE. THE CONTRACTOR SHOULD FIELD VERIFY ALL VALVE LOCATIONS NEEDED FOR PROPER SHUT DOWN OF THE WORK AREA.

1.9. WHERE REQUIRED, THE CONTRACTOR SHALL MAINTAIN WATER SERVICE TO CUSTOMERS THROUGH THE USE OF TEMPORARY BYPASS PIPING. THE CONTRACTOR SHALL PREPARE THE PROPOSED BYPASS PIPING PLANS FOR ALL STAGES OF THE PROJECT AND SUBMIT THESE PLANS FOR APPROVAL TO THE BCWA AND THE LOCAL FIRE CHIEF. THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE HOMEOWNERS FOR THE INSTALLATION OF THE BYPASS PIPING. HOSE CONNECTIONS SHALL BE MADE USING "Y" CONNECTIONS TO ALLOW HOMEOWNER USE OF THE HOSE BIB DURING CONSTRUCTION. EXISTING WATER SERVICES SHALL BE LOCATED BY BCWA IN THE FIELD. ALL EXISTING FIRE HYDRANTS AND PRIVATE FIRE SERVICES IN THE WORK AREA MUST BE KEPT LIVE AS PART OF THE BYPASS SYSTEM. THE CONTRACTOR SHOULD NOTE THAT BRISTOL UTILIZES NON-STANDARD PUMPER NOZZLES.

1.10. THE CONTRACTOR SHALL UTILIZE A SEPARATE, TEMPORARY PIPING SYSTEM FOR FLUSHING, FILLING, TESTING AND CHLORINATION OF VARIOUS SIZE WATER MAINS. A REDUCED PRESSURE ZONE DEVICE SHALL BE INSTALLED IN THE TEMPORARY PIPING SYSTEM TO ENSURE THAT NO WATER IS ALLOWED TO RETURN TO THE SUPPLY LINE. FIRE HYDRANTS MAY NOT BE USED FOR SAMPLING POINTS BUT MAY BE UTILIZED AS A FEED SOURCE IF PROPERLY FLUSHED AND THE ABOVE TEMPORARY PIPING SYSTEM INSTALLED. THE REDUCED PRESSURE ZONE

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

| | | | | |
|-----|------------|--|----------|----------|
| 11 | 5/29/2024 | REISSUE FINAL PLAN | KLM | SM |
| 10 | 3/6/2024 | RESPONSE TO CRMC COMMENTS | KLM | SM |
| 9 | 2/2/2024 | FINAL PLAN | KLM | SM |
| 8 | 11/70/2023 | RESPONSE TO BCWA COMMENTS | KLM | SM |
| 7 | 10/13/2023 | RESPONSE TO BCWA COMMENTS | KLM | SM |
| 6 | 9/8/23 | BCWA SUBMITTAL | KLM | SM |
| 5 | 7/12/23 | RESPONSE TO CRMC COMMENTS | KLM/SL | SM |
| 4 | 5/19/23 | RESPONSE TO TRC AND PARE COMMENTS | KLM/MH | SM |
| 3 | 3/27/23 | PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS | KLM | SM |
| No. | DATE | DESCRIPTION | DESIGNER | REVIEWER |

SEAL

SEAL

SHAWN M. MARTIN
No. 17487
REGISTERED PROFESSIONAL ENGINEER (CIVIL)

SCALE:

HORIZ.: NOT TO SCALE

VERT.:

DATUM:

HORIZ.:

VERT.:

0

GRAPHIC SCALE

FUSS & O'NEILL

317 IRON HORSE WAY, SUITE 204
PROVIDENCE, RI 02908
401.861.3700
www.fando.com

BRADY SULLIVAN PROPERTIES, LLC

GENERAL NOTES AND LEGEND

BRISTOL YARN MILL

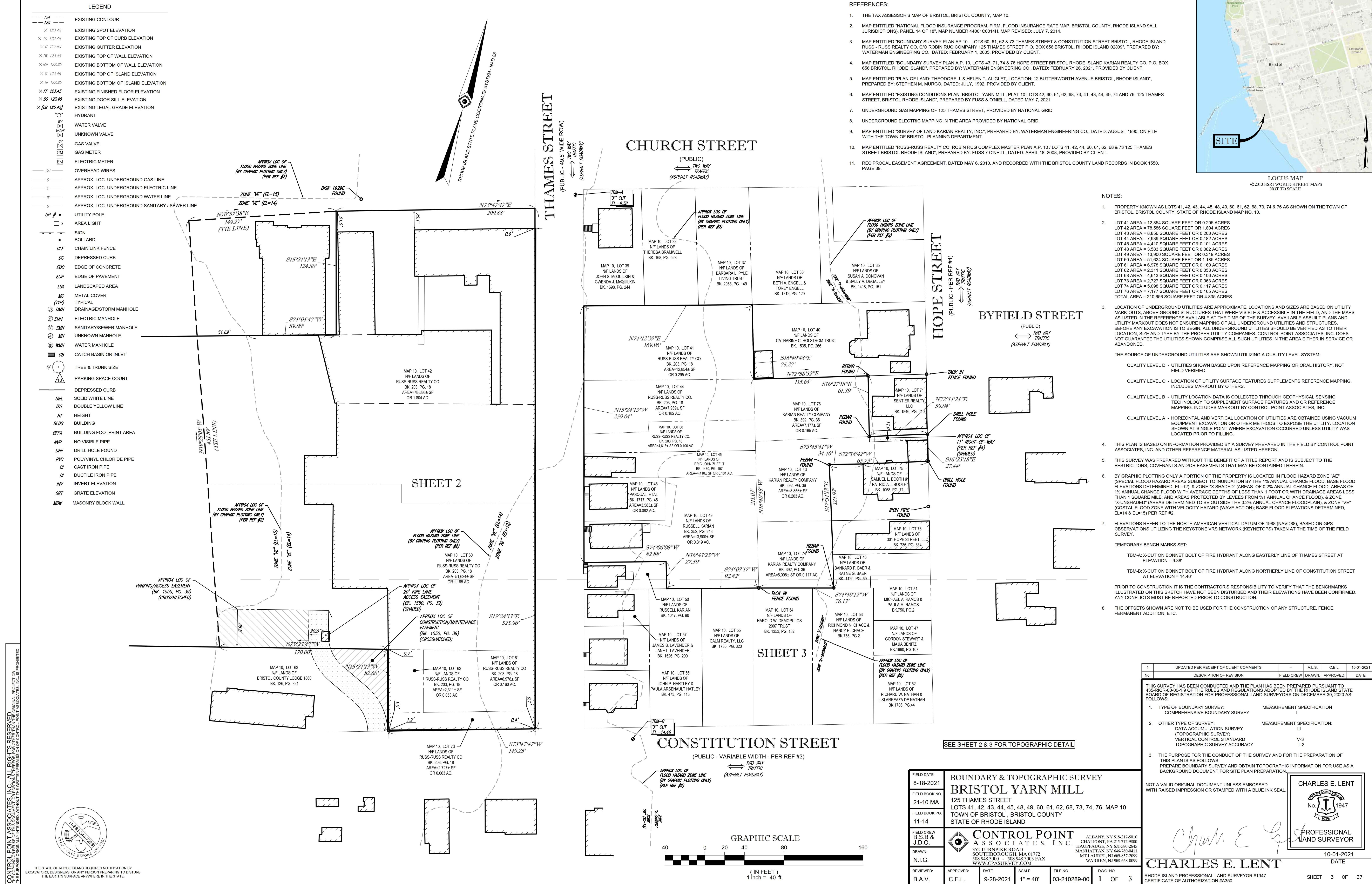
125 THAMES STREET

BRISTOL, RHODE ISLAND

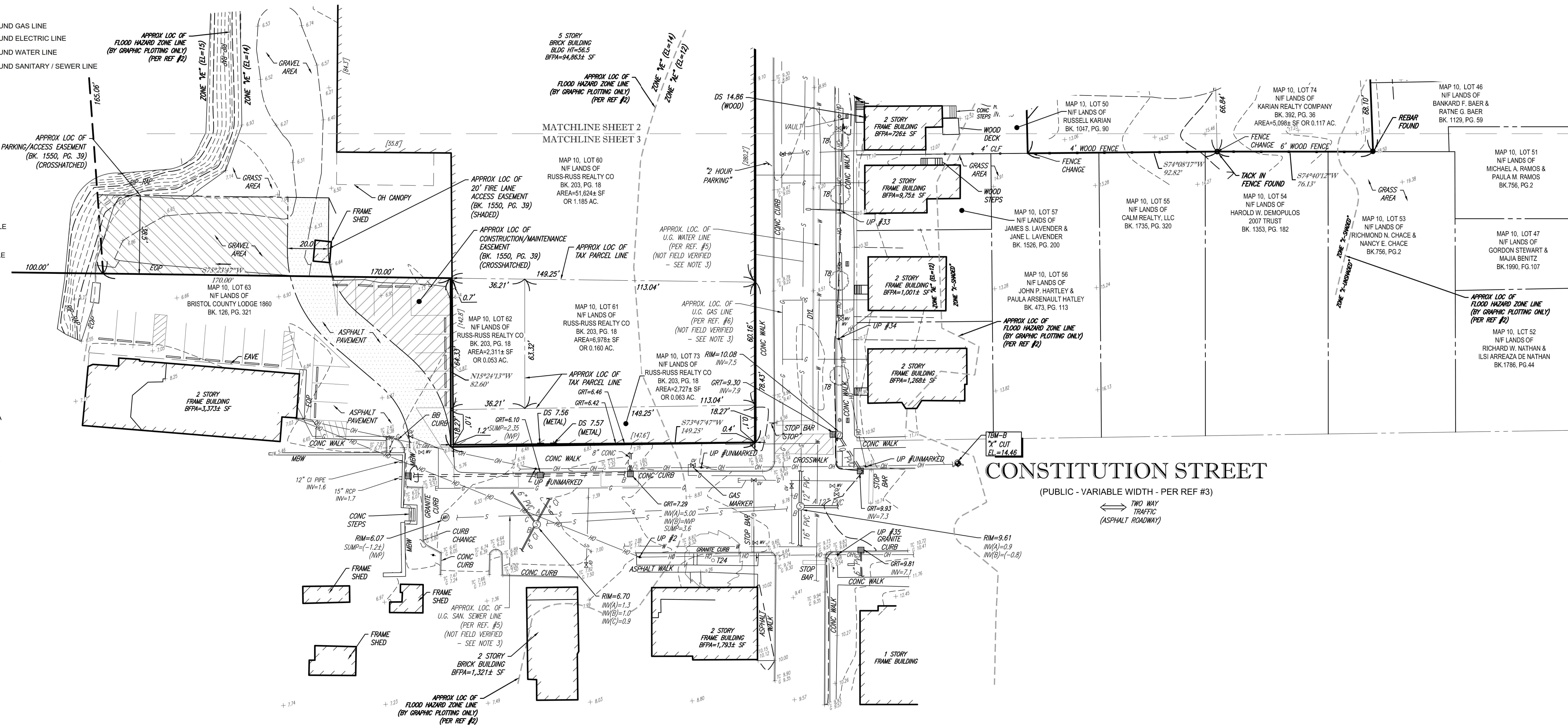
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DATE: DECEMBER 6, 2022

CN-001

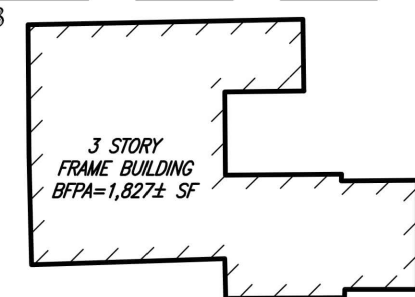
SHEET 2 OF 28



| LEGEND | |
|-------------|--|
| --- | EXISTING CONTOUR |
| X 123.45 | EXISTING SPOT ELEVATION |
| X TC 123.45 | EXISTING TOP OF CURB ELEVATION |
| X G 122.95 | EXISTING GUTTER ELEVATION |
| X TW 123.45 | EXISTING TOP OF WALL ELEVATION |
| X BW 122.85 | EXISTING BOTTOM OF WALL ELEVATION |
| X TI 123.45 | EXISTING TOP OF ISLAND ELEVATION |
| X BI 122.95 | EXISTING BOTTOM OF ISLAND ELEVATION |
| X FF 123.45 | EXISTING FINISHED FLOOR ELEVATION |
| X DS 123.45 | EXISTING DOOR SILL ELEVATION |
| X LG 125.45 | EXISTING LEGAL GRADE ELEVATION |
| HY | HYDRANT |
| WV | WATER VALVE |
| UV | UNKNOWN VALVE |
| GV | GAS VALVE |
| GM | GAS METER |
| EM | ELECTRIC METER |
| OW | OVERHEAD WIRES |
| G | APPROX. LOC. UNDERGROUND GAS LINE |
| E | APPROX. LOC. UNDERGROUND ELECTRIC LINE |
| W | APPROX. LOC. UNDERGROUND WATER LINE |
| S | APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE |
| UP | UTILITY POLE |
| AL | AREA LIGHT |
| • | SIGN |
| • | BOLLARD |
| CLF | CHAIN LINK FENCE |
| DC | DEPRESSED CURB |
| EOC | EDGE OF CONCRETE |
| EOP | EDGE OF PAVEMENT |
| LSA | LANDSCAPED AREA |
| MC | METAL COVER |
| (TYP) | TYPICAL |
| DMH | DRAINAGE/STORM MANHOLE |
| EMH | ELECTRIC MANHOLE |
| SMH | SANITARY/SEWER MANHOLE |
| UMH | UNKNOWN MANHOLE |
| WMH | WATER MANHOLE |
| CB | CATCH BASIN OR INLET |
| TS | TREE & TRUNK SIZE |
| PS | PARKING SPACE COUNT |
| SWL | DEPRESSED CURB |
| DYL | SOLID WHITE LINE |
| HT | DOUBLE YELLOW LINE |
| BLDG | HEIGHT |
| BFFA | BUILDING |
| NVP | BUILDING FOOTPRINT AREA |
| DHF | NO VISIBLE PIPE |
| PVC | DRILL HOLE FOUND |
| CI | POLYVINYL CHLORIDE PIPE |
| DI | CAST IRON PIPE |
| INV | DUCTILE IRON PIPE |
| GRT | INVERT ELEVATION |
| MBW | GRATE ELEVATION |
| | MASONRY BLOCK WALL |



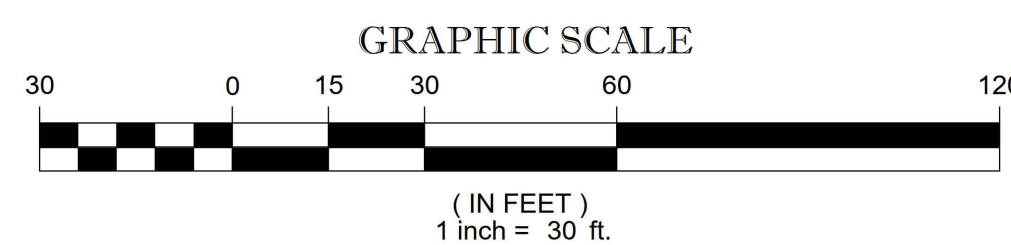
MATCHLINE SHEET 2
MATCHLINE SHEET 3




CONSTITUTION STREET

(PUBLIC - VARIABLE WIDTH - PER REF #3)

TWO WAY
TRAFFIC
(ASPHALT ROADWAY)

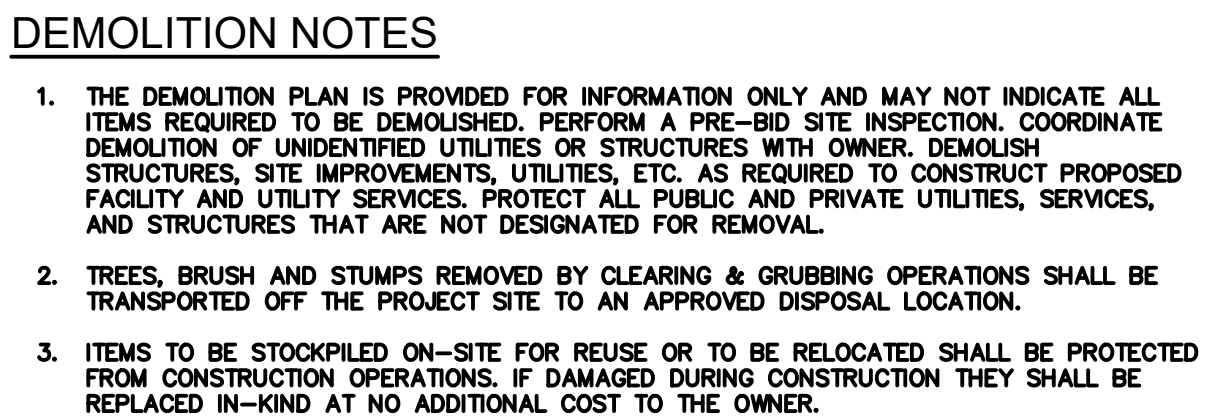


| | | | | | |
|----------------------------------|--|-------------------|-------------------|--------------------------|--------------------|
| FIELD DATE 8-18-2021 | BOUNDARY & TOPOGRAPHIC SURVEY | | | | |
| FIELD BOOK NO. 21-10 MA | BRISTOL YARN MILL | | | | |
| FIELD BOOK PG. 11-14 | 125 THAMES STREET LOTS 41, 42, 43, 44, 45, 48, 49, 60, 61, 62, 68, 73, 74, 76, MAP 10 TOWN OF BRISTOL, BRISTOL COUNTY STATE OF RHODE ISLAND | | | | |
| FIELD CREW B.S.B. & J.D.O. | CONTROL POINT ASSOCIATES, INC. | | | | |
| DRAWN: N.I.G. | ALBANY, NY 518-217-5010 352 TURNPIKE ROAD SOUTHERBOROUGH, MA 01772 508.948.3000 - 508.948.3003 FAX WWW.CPASURVEY.COM | | | | |
| REVIEWED: B.A.V. | APPROVED: C.E.L. | DATE 9-28-2021 | SCALE 1" = 30' | FILE NO. 03-210289-00 | DWG. NO. 3 OF 3 |

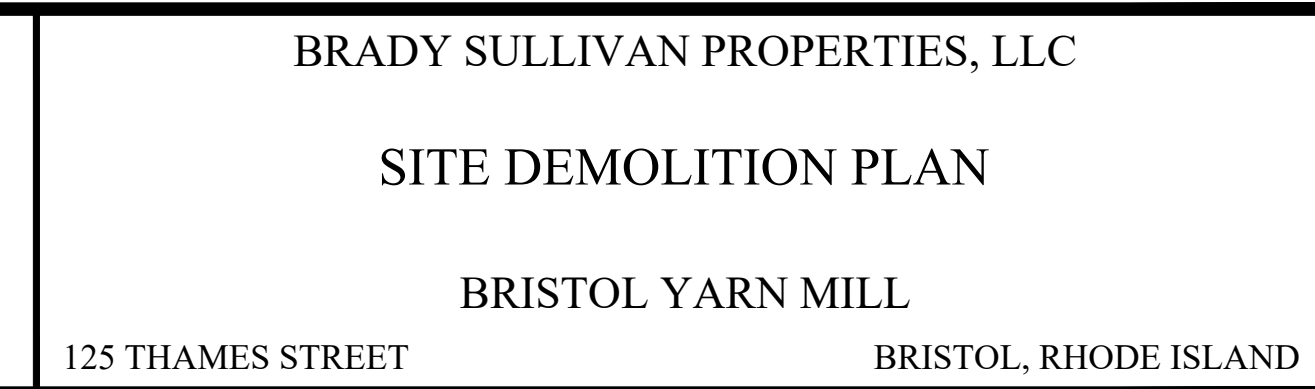
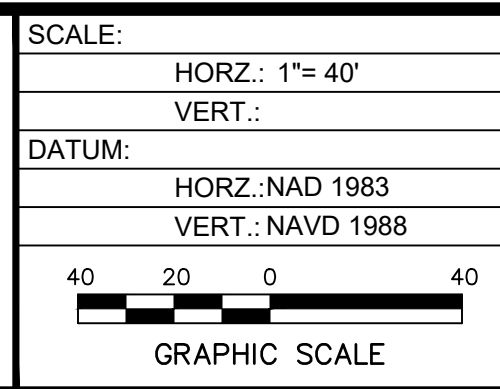
| | | | | | | |
|--|---|---|--------|-----------|--------|------------|
| 1 | UPDATED PER RECEIPT OF CLIENT COMMENTS | | - | A.L.S. | C.E.L. | 10-01-2021 |
| No. | DESCRIPTION OF REVISION | FIELD CREW | DRAWN: | APPROVED: | DATE | |
| THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 455-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON DECEMBER 30, 2020 AS FOLLOWS: | | | | | | |
| 1. | TYPE OF BOUNDARY SURVEY: COMPREHENSIVE BOUNDARY SURVEY | MEASUREMENT SPECIFICATION I | | | | |
| 2. | OTHER TYPE OF SURVEY: DATA ACCUMULATION SURVEY (TOPOGRAPHIC SURVEY) VERTICAL CONTROL STANDARD TOPOGRAPHIC SURVEY ACCURACY | MEASUREMENT SPECIFICATION: III V-3 T-2 | | | | |
| 3. | THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS: PREPARE BOUNDARY SURVEY AND OBTAIN TOPOGRAPHIC AND PLANIMETRIC INFORMATION FOR USE AS A BACKGROUND DOCUMENT FOR SITE PLAN PREPARATION. | | | | | |
| NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL. | | | | | | |
| <div><div>CHARLES E. LENT</div><div></div><div>PROFESSIONAL LAND SURVEYOR</div><div>10-01-2021 DATE</div></div> | | | | | | |
| CHARLES E. LENT | | | | | | |
| RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947 CERTIFICATE OF AUTHORIZATION #A350 | | | | | | |
| SHEET 5 OF 27 | | | | | | |



THE STATE OF RHODE ISLAND REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.



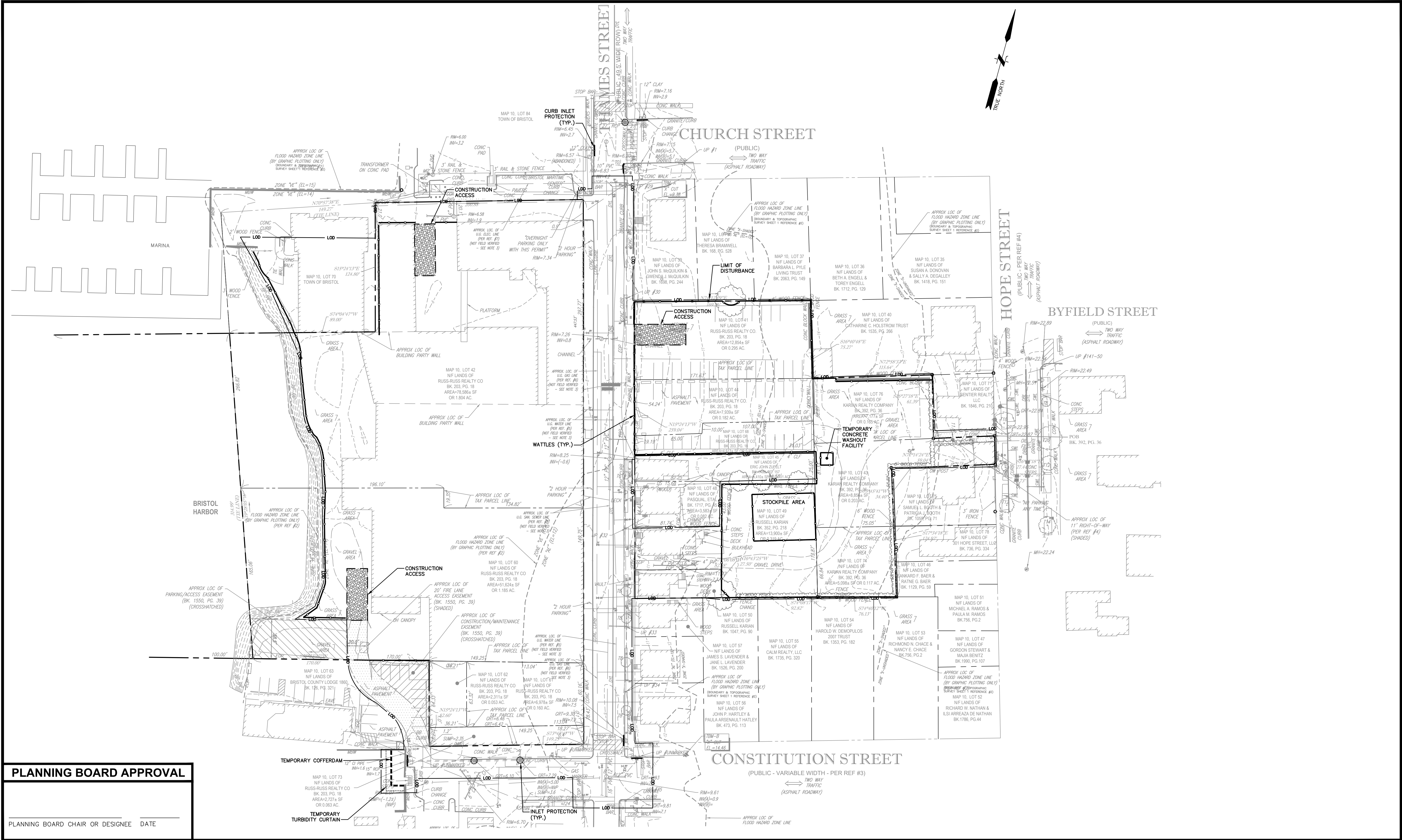
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PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

CP-101

SHEET 6 OF 28

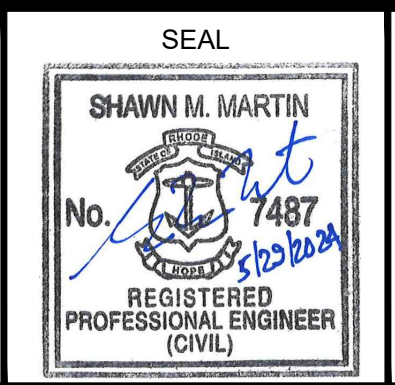


PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

| No. | DATE | DESCRIPTION | DESIGNER | REVIEWER |
|-----|------------|--|----------|----------|
| 11 | 5/29/2024 | REISSUE FINAL PLAN | KLM | SMM |
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| 3 | 3/27/23 | PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS | KLM | SMM |

SEAL



SEAL

SCALE:

HORIZ.: 1"= 40'

VERT.:

DATUM:

HORIZ.: NAD 1983

VERT.: NAD 1988

GRAPHIC SCALE

FUSS & O'NEILL

317 IRON HORSE WAY, SUITE 204
PROVIDENCE, RI 02908
401.861.3070
www.fando.com

BRADY SULLIVAN PROPERTIES, LLC

SOIL EROSION AND SEDIMENTATION
CONTROL PLAN

BRISTOL YARN MILL

125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

CE-101

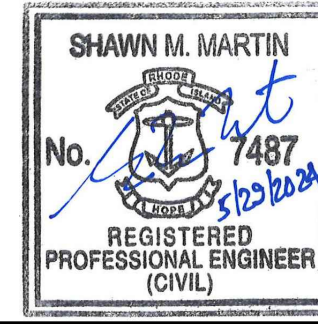
SHEET 7 OF 28

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

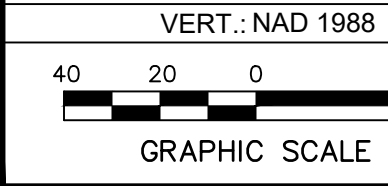
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SEAL



SCALE:

DATUM:



FUSS & O'NEILL

317 IRON HORSE WAY, SUITE 204
PROVIDENCE, RI 02908
401.861.3070
www.fando.com

BRADY SULLIVAN PROPERTIES, LLC

SITE PLAN

BRISTOL YARN MILL

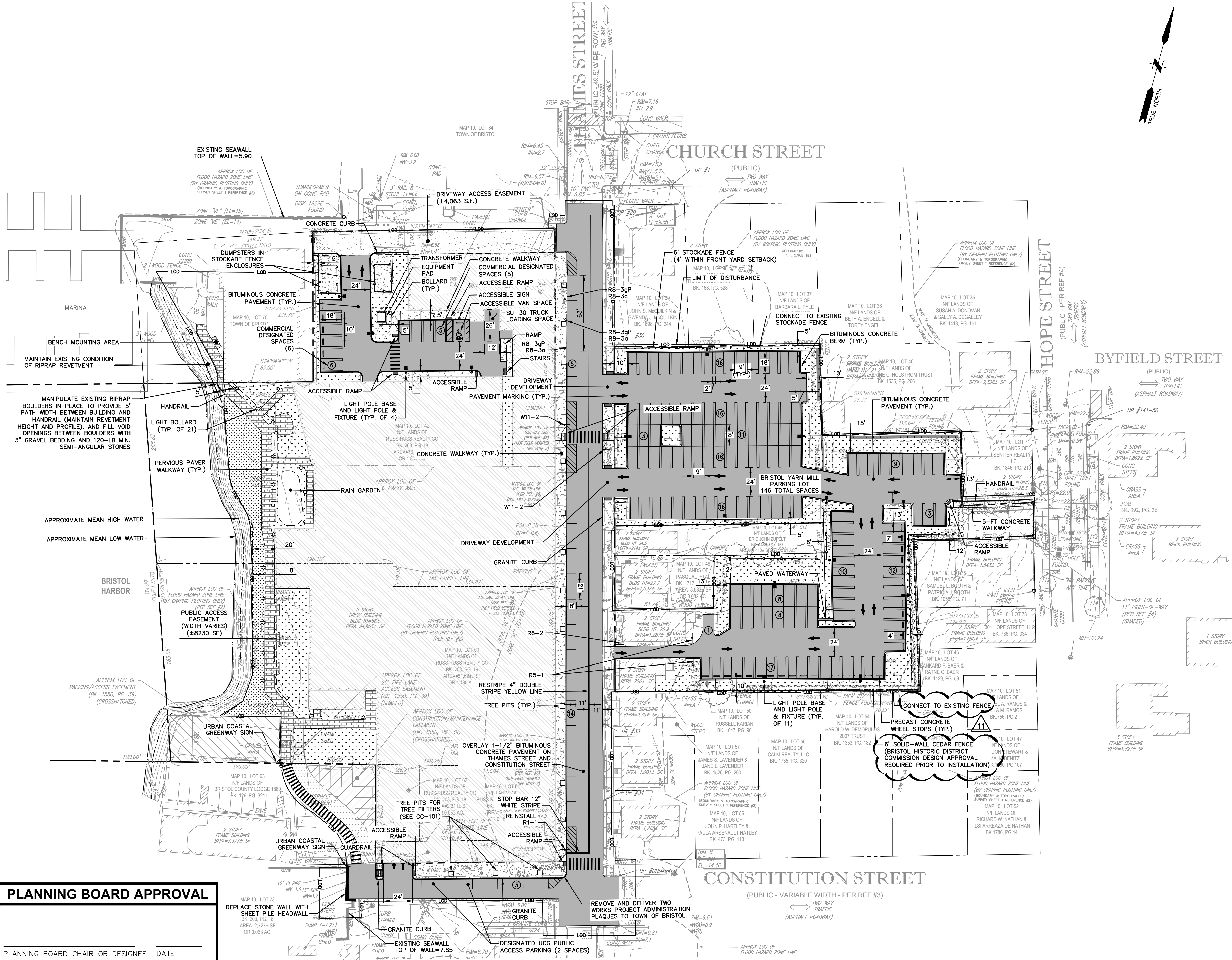
125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

CS-101

SHEET 8 OF 28



ZONING DIMENSION TABLE

| CRITERIA | REQUIRED PER ZONING DISTRICT | | | PROPOSED |
|------------------------------------|------------------------------|------------------|------|---|
| | W | D | WPUD | (BUILDING SITE - LOTS 42,60,61,62,73) |
| MINIMUM LOT AREA | | 5,000 SF | | 142,226± SF (3.265 AC) |
| MINIMUM LOT AREA PER DWELLING UNIT | 4,000 SF | 2,500 SF | N/A | N/A |
| MINIMUM FRONTAGE | | 50' | | 149.25' CONSTITUTION STREET (MIN.) |
| MINIMUM LOT WIDTH | | 50' | | 149.25' CONSTITUTION STREET (MIN.) |
| FRONT SETBACK | | 0' | | -0.90' |
| SIDE SETBACK | | 0' | | 0.0' |
| REAR SETBACK | | 10' | | 30±' (TO APPROX. MEAN HIGH WATER) |
| MAX. BUILDING HEIGHT | | 35' (3 STORIES) | | 55' MAX.-4 STORIES (EXISTING) |
| MAX. LOT COVERAGE BY STRUCTURES | | 70% | | 83,153 S.F./142,226 S.F. = 58.5% (PROP.) 87,296 S.F./142,226 S.F. = 61.4% (EXIST.) |
| MAX. TOTAL COVERAGE | 85% | 95% | N/A | 97,606 S.F./142,226 S.F. = 68.6% |
| MAX. FLOOR AREA RATIO | 1.5 | 1.4 | N/A | 227,286 S.F./142,226 S.F. = 1.6± |
| IMPERVIOUS COVER | | PARKING LOT SITE | | 51,237 S.F./66,327 S.F. = 77.2% |

- NOTES:
- MILL BUILDING PROPERTIES COMBINED AREA IS APPROXIMATELY 142,226 SQUARE FEET.
 - TOTAL LAND AREA INCLUDED IN REDEVELOPMENT IS APPROXIMATELY 227,286 SQUARE FEET.
 - ALL PROJECT PARCELS ARE LOCATED WITHIN TOWN OF BRISTOL HISTORIC DISTRICT.

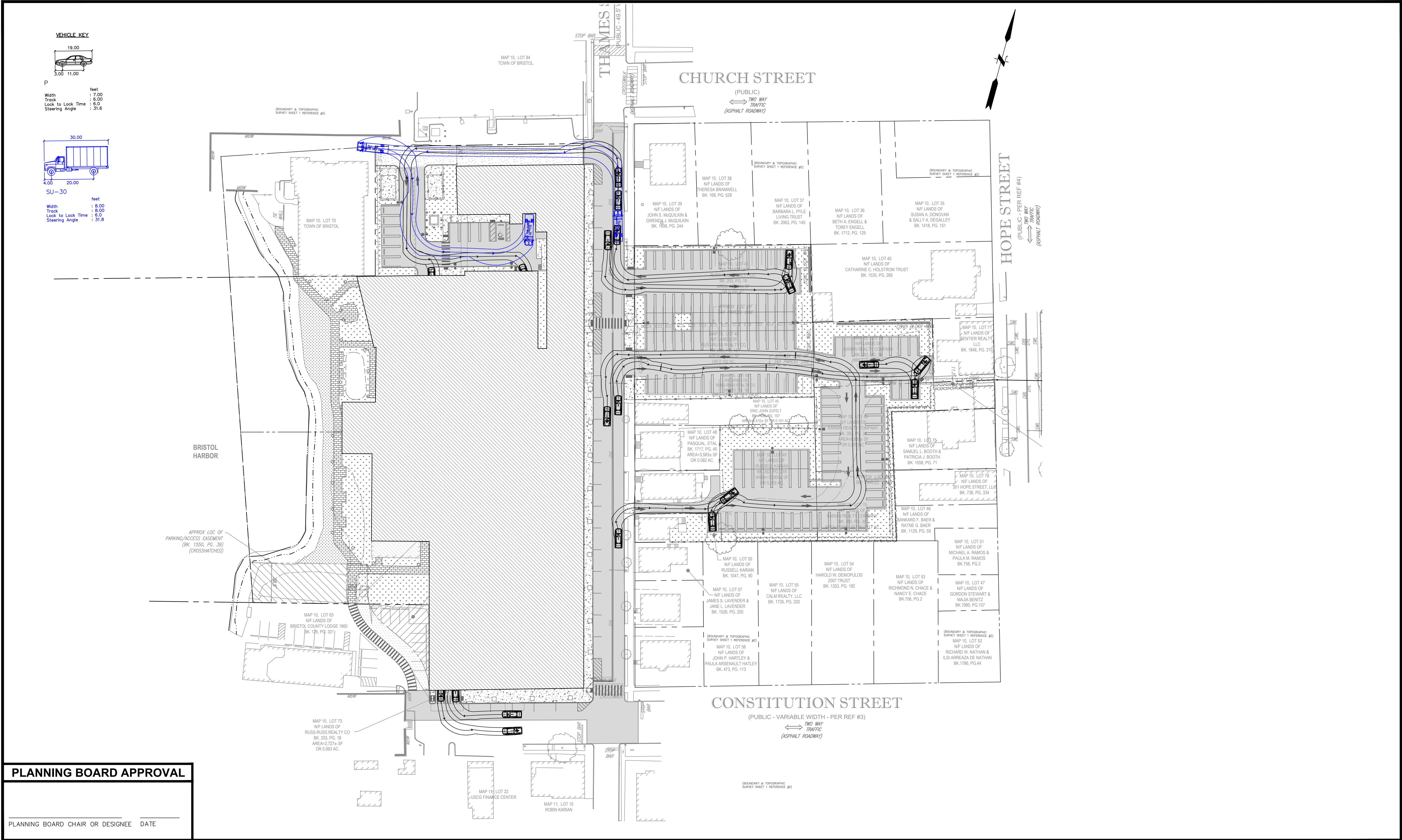
PARKING SUMMARY

| | USE | REQUIRED | PROPOSED |
|---------------------------------------|---|----------|----------|
| RESIDENTIAL PARKING SPACES (ON-SITE) | | 127 | 125 |
| RESIDENTIAL PARKING SPACES (OFF-SITE) | | 0 | 143 |
| COMMERCIAL PARKING SPACES (ON-SITE) | | 11 | 11 |
| 317 HOPE STREET (LOT 71) - ZONE D | RES/COMM | 0 | 0 |
| 325 HOPE STREET (LOT 43) - ZONE D | COMM | 0 | 0 |
| 60 THAMES STREET (LOT 50) - ZONE W | SF RES | 1 | 1 |
| 70 THAMES STREET (LOT 49) - ZONE W | MF RES | 2 | 2 |
| TOTAL PARKING SPACES: | | 141 | 282 |
| RESIDENTIAL PARKING REQUIREMENT: | 1 SPACE/D.U. (127 RESIDENTIAL W AND REHAB LDP ZONES) | | |
| COMMERCIAL PARKING REQUIREMENT: | 1 SPACE/600 S.F. GFA (0 SPACES REQ'D FOR RESIDENTIAL, OFFICE, SERVICE, RETAIL, OR INSTITUTIONS WITHIN D ZONE) (6,479 S.F. / 600 S.F. = 11 SPACES) | | |
| LOADING SPACE REQUIREMENT: | 1 SPACE/3,000-19,999 S.F. OF GFA (6,479 S.F. = 1 SPACE) | | |

NOTES:

- PARKING AND LOADING REQUIREMENTS SHALL COMPLY WITH ARTICLE VII SEC. 28-251.
- ON-STREET PARKING IS NOT INCLUDED IN THE CALCULATIONS.
- THERE ARE 30 TOTAL COMPACT VEHICLE PARKING SPACES, 9 DESIGNATED MOTORCYCLE SPACES AND 24 BICYCLE SPACES WITHIN THE BASEMENT LEVEL OF 125 THAMES STREET. COMPACT PARKING SPACES ACCOUNTS FOR 10.6% OF TOTAL PARKING COUNT. MOTORCYCLE AND BICYCLE PARKING IS NOT INCLUDED IN THE CALCULATIONS.
- 5 ADA SPACES AND 2 ADA VAN SPACES ARE PROVIDED FOR RESIDENTIAL UNITS WITHIN THE BASEMENT LEVEL OF 125 THAMES STREET.

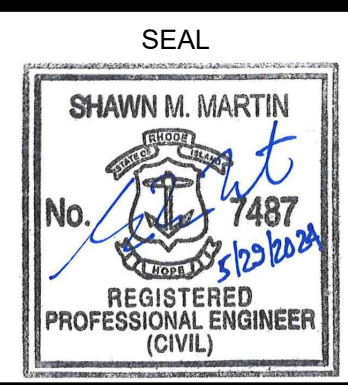
NOTE:
MEAN HIGH WATER AND MEAN LOW WATER LINES SHOWN ARE APPROXIMATE BASED ON TIDAL DATUMS FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION TIDE STATION NUMBER 8452154 LOCATED IN BRISTOL, RI.



| PLANNING BOARD APPROVAL | |
|----------------------------------|------|
| | |
| PLANNING BOARD CHAIR OR DESIGNEE | DATE |

| No. | DATE | DESCRIPTION | DESIGNER | REVIEWER |
|-----|------------|--|----------|----------|
| 11 | 5/29/2024 | REISSUE FINAL PLAN | KLM | SMM |
| 10 | 3/6/2024 | RESPONSE TO CRMC COMMENTS | KLM | SMM |
| 9 | 2/2/2024 | FINAL PLAN | KLM | SMM |
| 8 | 11/10/2023 | RESPONSE TO BCWA COMMENTS | KLM | SMM |
| 7 | 10/13/2023 | RESPONSE TO BCWA COMMENTS | KLM | SMM |
| 6 | 9/8/23 | BCWA SUBMITTAL | KLM | SMM |
| 5 | 7/12/23 | RESPONSE TO CRMC COMMENTS | KLM/SL | SMM |
| 4 | 5/19/23 | RESPONSE TO TRC AND PARE COMMENTS | KLM/MH | SMM |
| 3 | 3/27/23 | PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS | KLM | SMM |
| No. | DATE | DESCRIPTION | DESIGNER | REVIEWER |

SEAL



SEAL

SCALE:

HORIZ.: 1"= 40'

VERT.: NAD 1983

DATUM:

HORIZ.: NAD 1983

VERT.: NAD 1988

GRAPHIC SCALE

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FUSS & O'NEILL

317 IRON HORSE WAY, SUITE 204
PROVIDENCE, RI 02908
401.861.3070
www.fando.com

BRADY SULLIVAN PROPERTIES, LLC

SITE CIRCULATION PLAN

BRISTOL YARN MILL

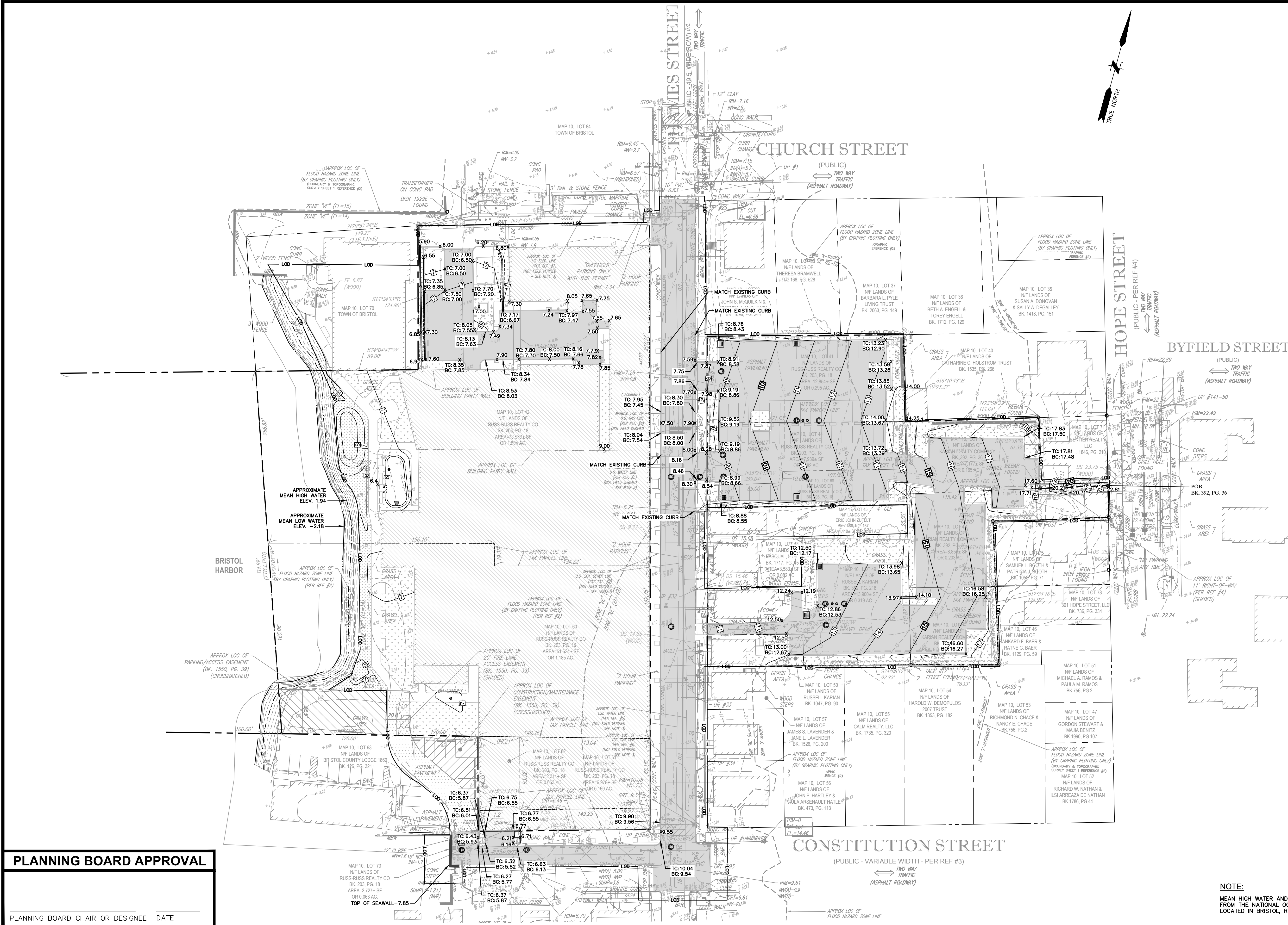
125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

CS-102

SHEET 9 OF 28



PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

NOTE:
MEAN HIGH WATER AND MEAN LOW WATER LINES SHOWN ARE APPROXIMATE BASED ON TIDAL DATUMS FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION TIDE STATION NUMBER 8452154 LOCATED IN BRISTOL, RI.

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| 3 | 3/27/23 | PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS | KLM | SMM |

SEAL

SEAL

SHAWN M. MARTIN
No. 1487
REGISTERED PROFESSIONAL ENGINEER (CIVIL)

SCALE:

HORIZ.: 1"= 40'

VERT.:

DATUM:

HORIZ.: NAD 1983

VERT.: NAD 1988

GRAPHIC SCALE

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BRADY SULLIVAN PROPERTIES, LLC

GRADING PLAN

BRISTOL YARN MILL

125 THAMES STREET

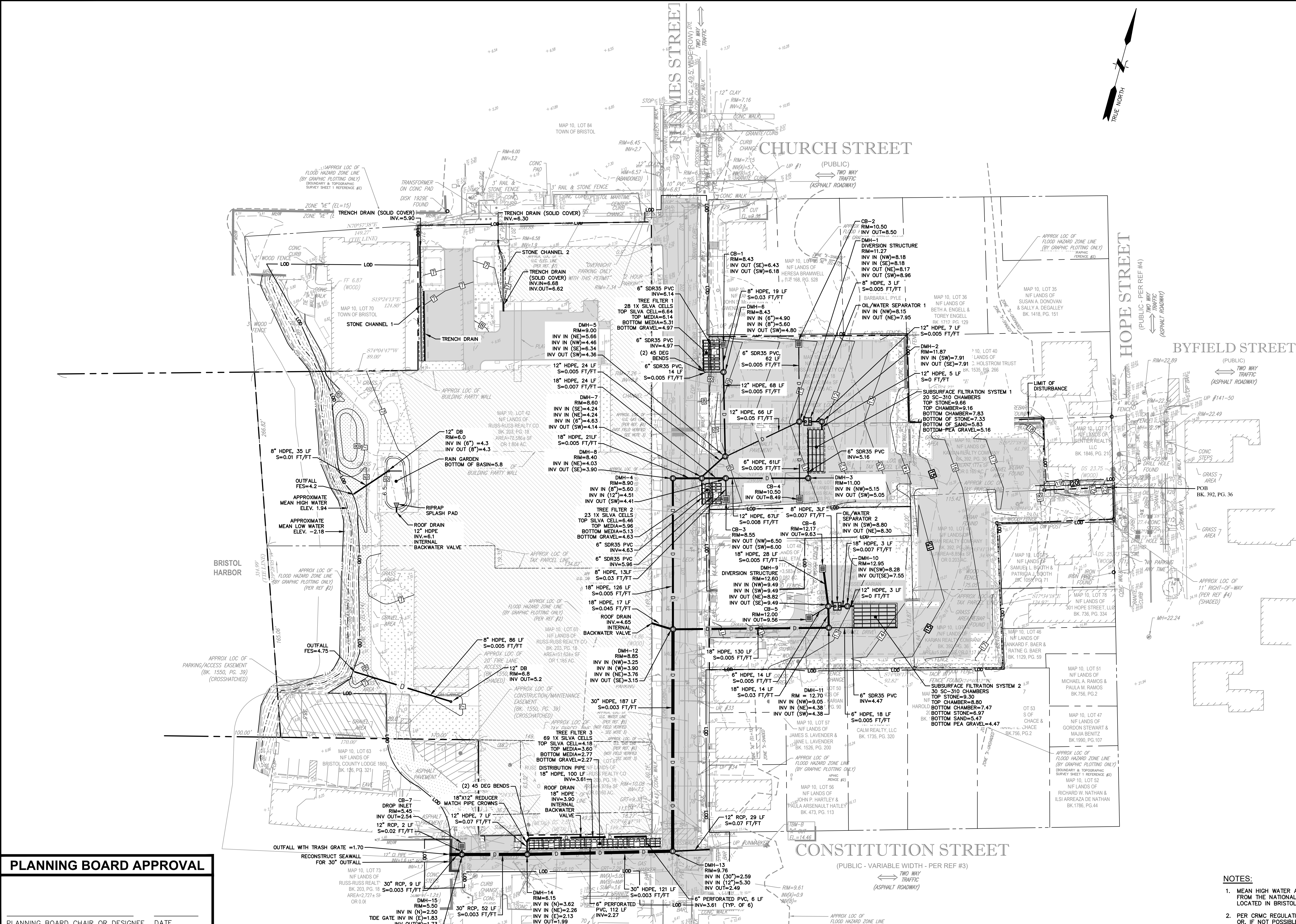
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

CG-101

SHEET 10 OF 28

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PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

- NOTES:**
1. MEAN HIGH WATER AND MEAN LOW WATER LINES SHOWN ARE APPROXIMATE BASED ON TIDAL DATUMS FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION TIDE STATION NUMBER 8452154 LOCATED IN BRISTOL, RI.
 2. PER CRMC REGULATIONS, OUTFALL WORK SHALL PROCEED FROM THE SHORELINE TOWARD THE UPLAND OR, IF NOT POSSIBLE, FLOWS SHALL BE DIVERTED AREAS UNTIL STABILIZATION IS COMPLETED.

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SEAL

SEAL

SCALE:

DATUM:

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BRADY SULLIVAN PROPERTIES, LLC

DRAINAGE PLAN

BRISTOL YARN MILL

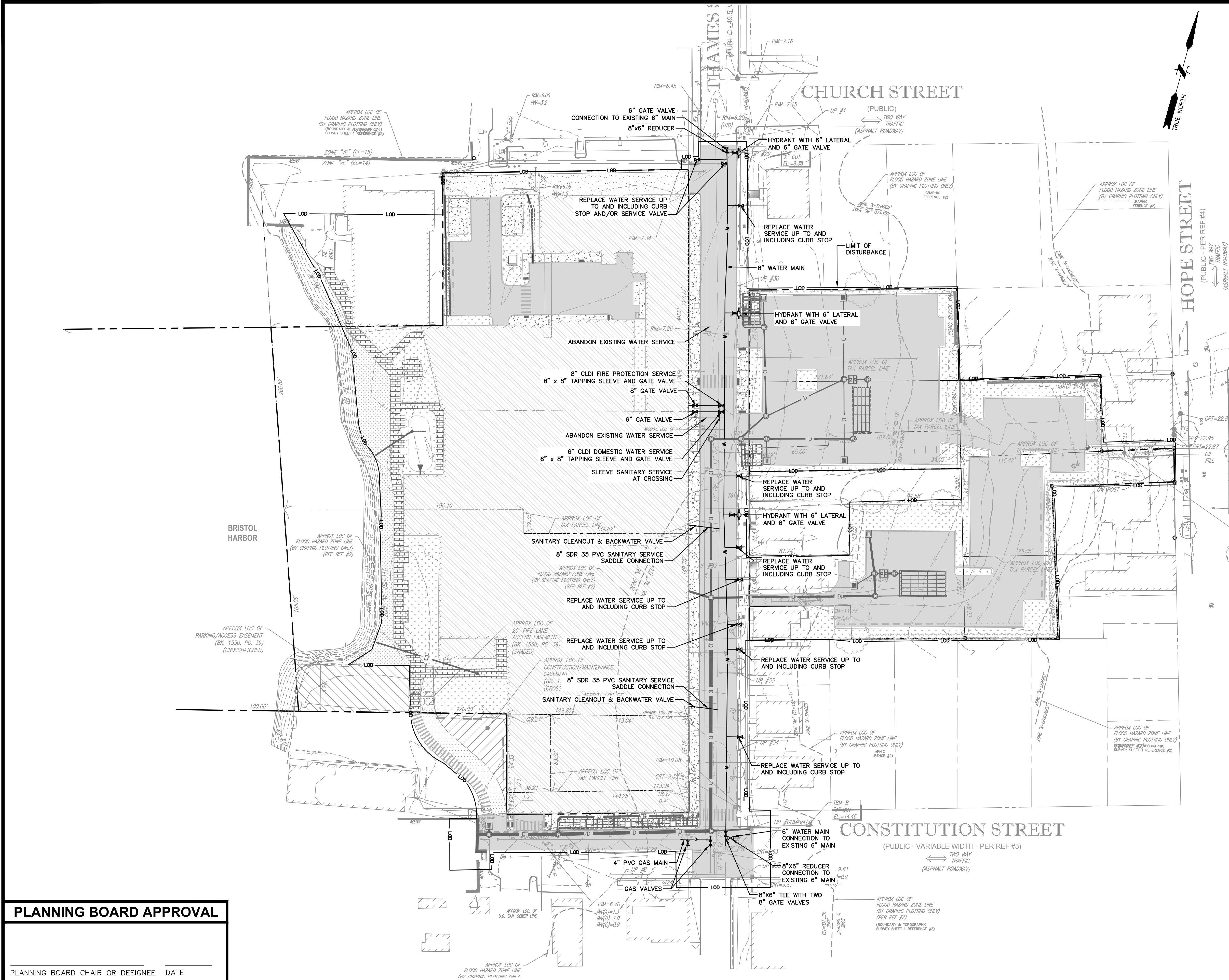
125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

CG-102

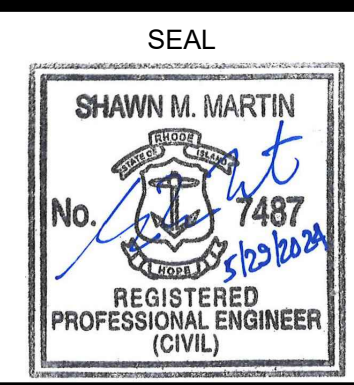
SHEET 11 OF 28



- NOTES:**
1. EXISTING BCWA WATER DISTRIBUTION SYSTEM MUST BE PROPERLY RESTRAINED AT THE LIMITS OF WORK DURING CONSTRUCTION.
 2. WATER MAIN SHALL BE ZINC COATED, CLASS 52, V-BIO POLYETHYLENE-WRAPPED DUCTILE IRON PIPE.
 3. EXISTING SERVICES GREATER THAN 1" SHALL BE REPLACED WITH THE SAME SIZE NEW SERVICE, INCLUDING THE TEE AND/OR CORPORATION STOP, THE SERVICE PIPE, AND THE SHUTOFF VALVE AND/OR CURB STOP. ALL EXISTING ¾" AND 1" SERVICES WITHIN THE PROJECT SHALL BE REPLACED WITH 1" TYPE K COPPER SERVICE TUBING, AND 1" CURB STOPS AND BOXES.
 4. EXISTING HYDRANTS WITHIN PROJECT AREA SHALL BE REPLACED WITH NEW HYDRANTS.

| | | | | |
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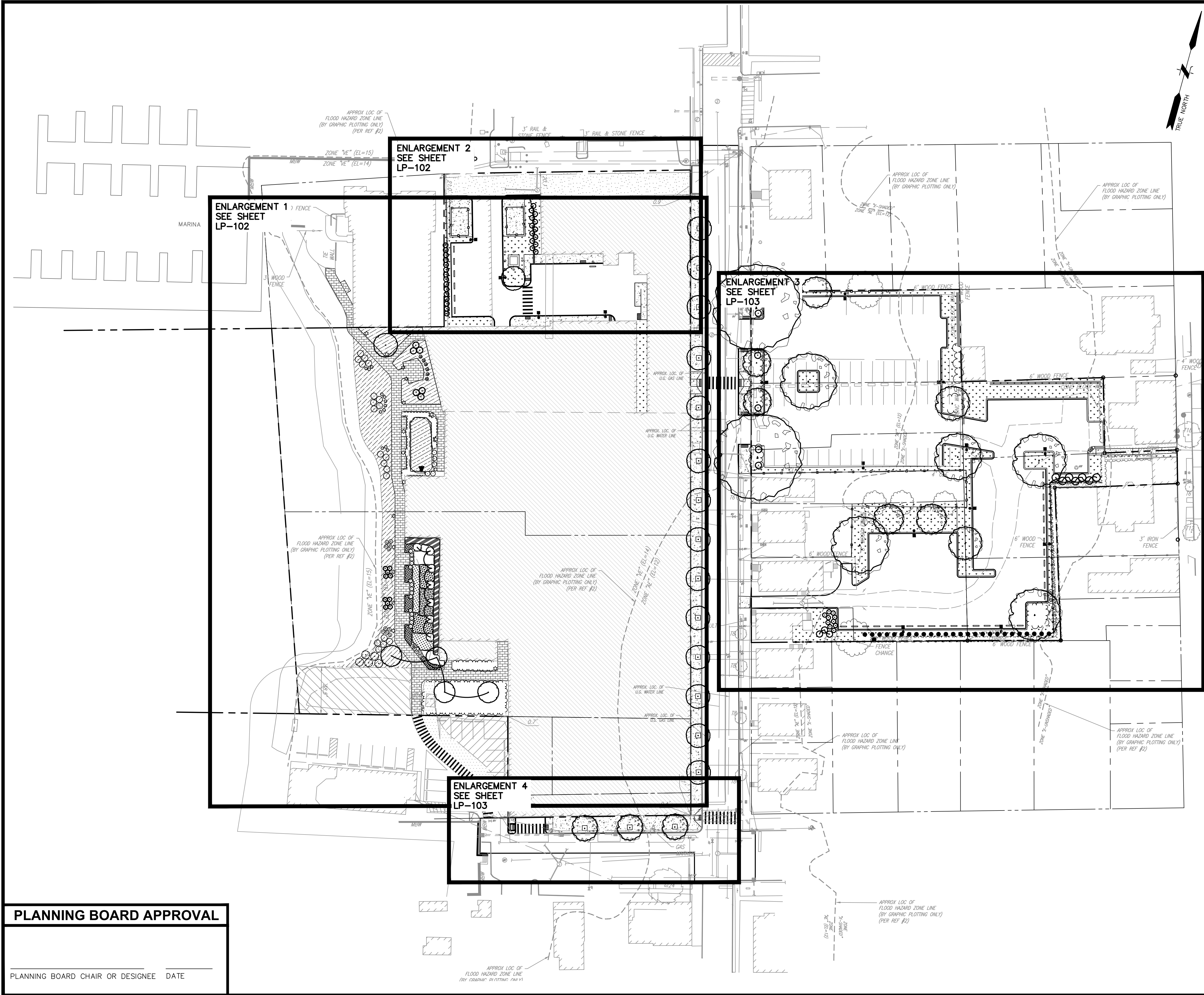
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HORZ.: 1"= 40'
VERT.:
DATUM:
HORZ.: NAD 1983
VERT.: NAD 1988
GRAPHIC SCALE



BRADY SULLIVAN PROPERTIES, LLC
WATER AND SEWER PLAN
BRISTOL YARN MILL
125 THAMES STREET
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022
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SHEET 12 OF 28

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PLANTING NOTES

1. CONTRACTOR SHALL SURVEY, LOCATE, AND PROTECT ALL TREES WITHIN AREAS SHOWN AS "EXISTING VEGETATION TO REMAIN" WITHIN THE DEVELOPMENT ENVELOPE FOR REVIEW BY L.A. PRIOR TO CLEARING OPERATIONS.
2. ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO A.A.N. STANDARDS. TREES SHALL BE TAGGED AND SUBMITTED TO L.A. THROUGH PHOTO SUBMISSION OR FIELD VISIT FOR SELECTION APPROVAL. TREES SHALL BE FIELD DUG.
3. THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
4. PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
5. ALL SHRUB MASSINGS AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE BARK MULCH.
6. TREES SHALL NOT BE STAKED UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGED MATERIAL AT HIS OWN EXPENSE.
8. ALL SHRUB AND GROUNDCOVER PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF TOPSOIL 12" DEEP. ALL SOD AND HYDROSEED AREAS SHALL HAVE A MINIMUM TOPSOIL BED OF 6".
9. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD. WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
10. A SOIL CAP IS REQUIRED FOR ANY LANDSCAPED AREAS ON THE MILL LOT SITE INCLUDING PLAT 10, LOTS 42, 60, 61, 62, AND 73.
11. FOR PLANTING SOIL MIX, SEE SPECIFICATIONS OR PLANTING DETAILS.
12. ALL EXISTING RILL, GULLY OR CHANNEL EROSION SHALL BE FILLED WITH APPROPRIATE BACKFILL MATERIAL, FINE RAKED, SCARIFIED AND STABILIZED WITH APPROPRIATE VEGETATIVE MATERIAL AND/OR APPROPRIATE SEDIMENTATION AND EROSION CONTROL MEASURES.
13. ADJUSTMENTS IN THE LOCATION OF THE PROPOSED PLANT MATERIAL AS A RESULT OF EXISTING VEGETATION TO REMAIN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
14. THE CONTRACTOR IS RESPONSIBLE FOR ALL MAINTENANCE REPAIR AND REPLACEMENT OF PLANT MATERIAL, AS REQUIRED, FOR THE DURATION OF THE PROJECT AND SUBSEQUENT WARRANTY PERIOD.
15. PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND/OR LAWN SEEDING OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
16. UPON COMPLETION OF PLANTING, REMOVE FROM SITE ALL EXCESS SOIL, MULCH, AND MATERIALS AND DEBRIS RESULTING FROM WORK OPERATIONS. CLEAN UP SHOULD BE COMPLETED AT THE END OF EACH WORKING DAY. RESTORE TO ORIGINAL CONDITIONS ALL DAMAGED PAVEMENTS, PLANTING AREAS, STRUCTURES AND LAWN AREAS RESULTING FROM LANDSCAPING OPERATIONS.
17. CONTRACTOR TO RESEED ALL DISTURBED AREAS.

LEGEND

LAWN SEED MIX

NATURAL COASTAL BUFFER RESTORATION SEED MIX

WETLAND MEADOW SEED MIX

MULCH

BUILDING

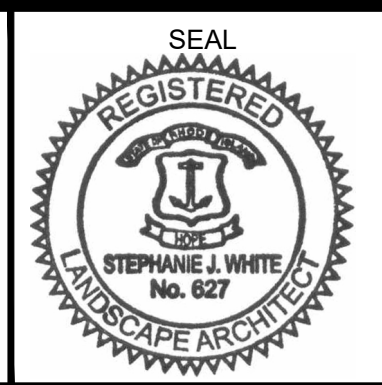
PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE

DATE

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| No. | DATE | DESCRIPTION | DESIGNER | REVIEWER |

SEAL



SEAL

SCALE:

HORZ.: 1"= 40'

VERT.:

DATUM:

HORZ.:NAD 1983

VERT.: NAD 1988

4020040

GRAPHIC SCALE

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BRADY SULLIVAN PROPERTIES, LLC

PLANTING PLAN

BRISTOL YARN MILL

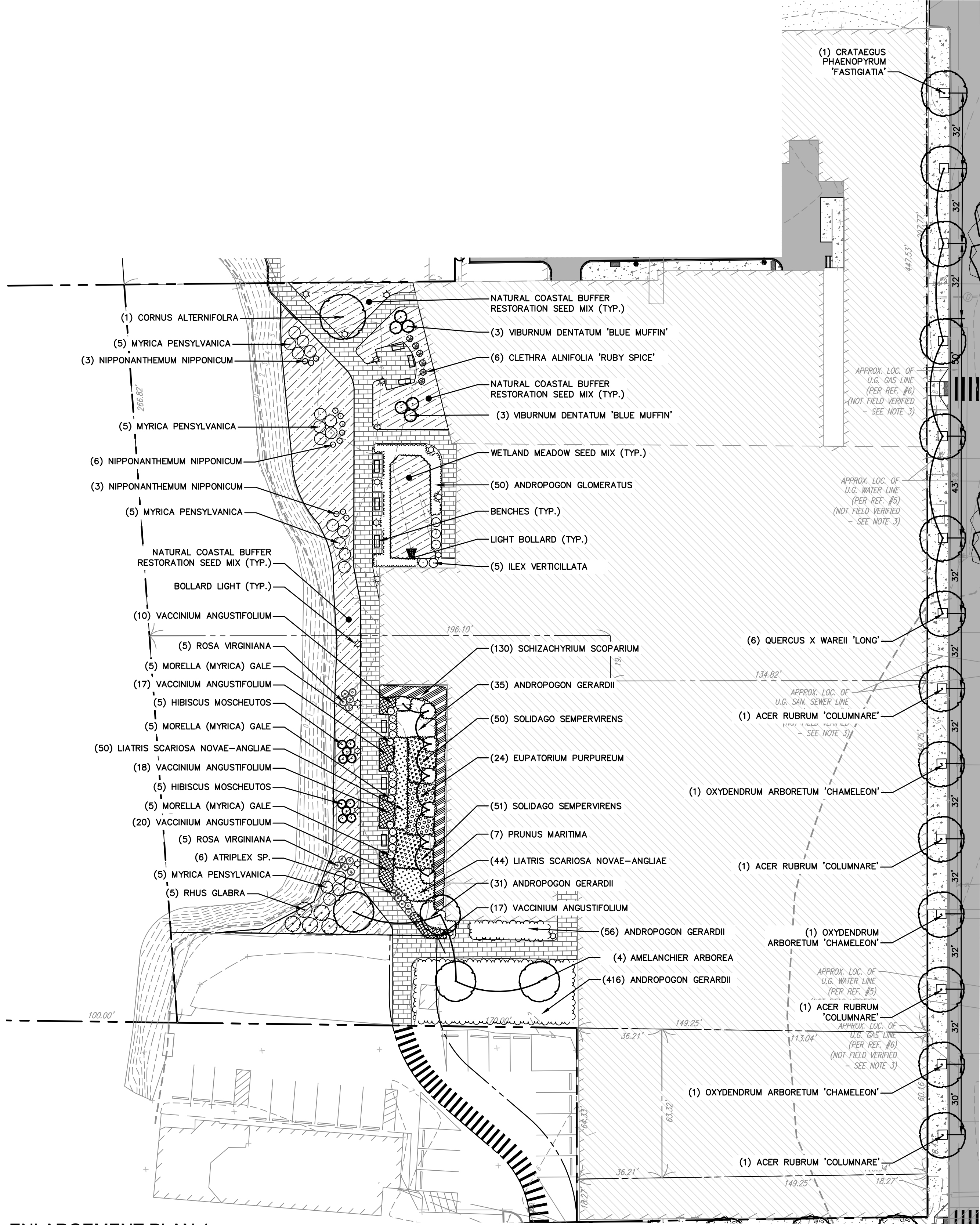
125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

LP-101

SHEET 13 OF 28



ENLARGEMENT PLAN 1
SCALE: 1" = 30'

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

| | | | | |
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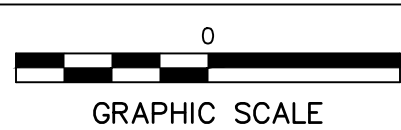
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DATUM:

HORIZ.: NAD 1983

VERT.: NAD 1988



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BRADY SULLIVAN PROPERTIES, LLC

ENLARGEMENT PLANTING PLAN

BRISTOL YARN MILL

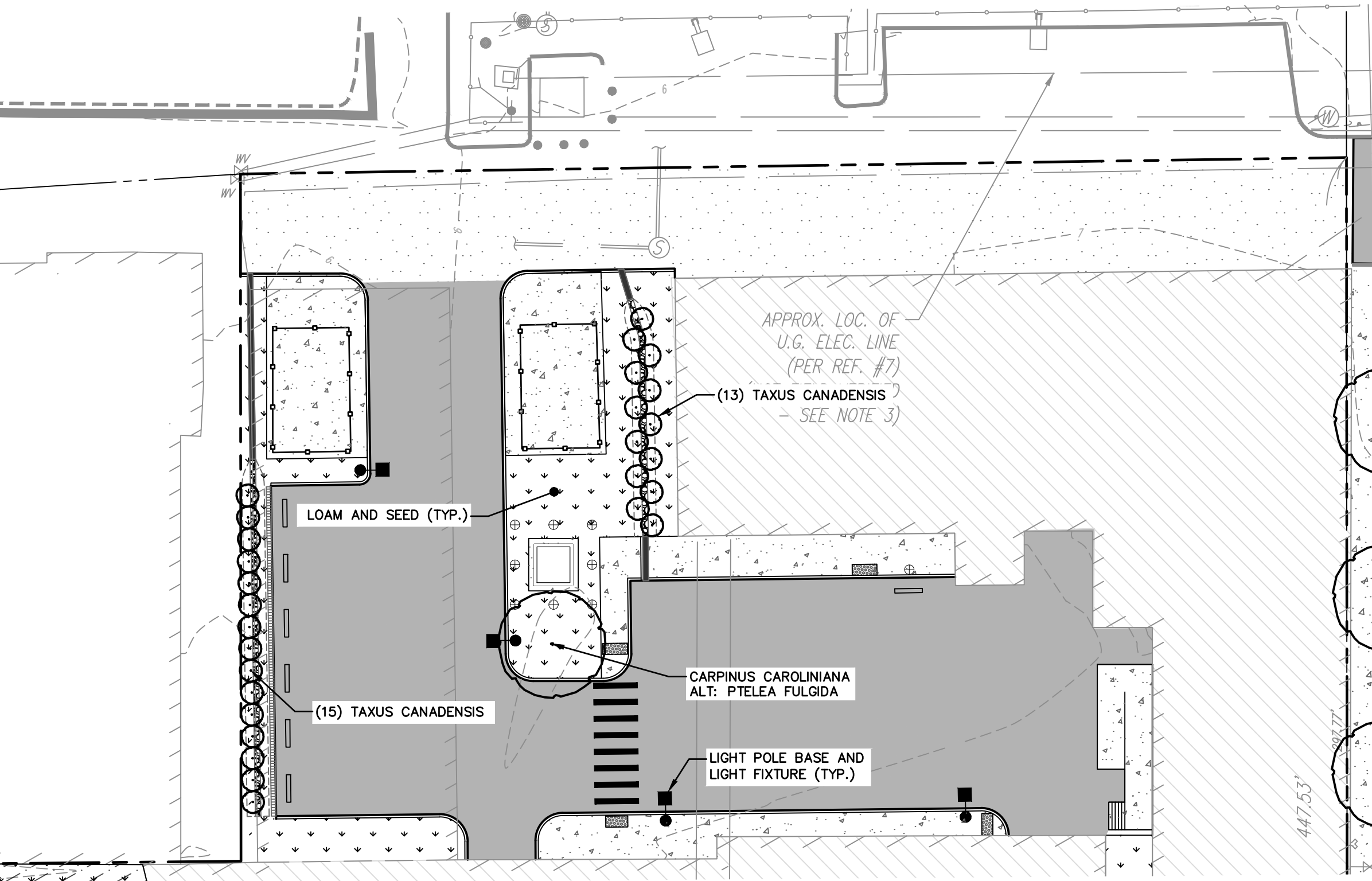
125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

LP-102

SHEET 14 OF 28



ENLARGEMENT PLAN 2
SCALE: 1" = 20'

PLANT LIST

BOTANICAL NAME

COMMON NAME

QTY.

SIZE

ENLARGEMENT 2

TREES

CARPINUS CAROLINIANA AMERICAN HORNBEAM 1 3.5" CALIPER

SHRUBS

TAXUS CANADENSIS AMERICAN YEW 28 1 GAL.

ENLARGEMENT 1

TREE

| | | | |
|------------------------------------|--------------------------------|---|----------------|
| ACER RUBRUM 'COLUMNARE' | COLUMNARE RED MAPLE | 4 | 1.5-2" CALIPER |
| CORNUS ALTERNIFLORA | PAGODA DOGWOOD | 1 | 3.5" CALIPER |
| CRATAEGUS PHAENOPYRUM 'FASTIGIATA' | FASTIGIATA WASHINGTON HAWTHORN | 1 | 1.5-2" CALIPER |
| OXYDENDRUM ARBORETUM 'CHAMELEON' | CHAMELEON SOURWOOD | 3 | 1.5-2" CALIPER |
| QUERCUS X WAREII 'LONG' | FASTIGIATE OAK | 6 | 1.5-2" CALIPER |

SHRUBS

| | | | |
|---------------------------------|--------------------|----|-----------|
| AMELANCHIER ARBOREA | DOWNY SERVICEBERRY | 4 | 6-8' B&B |
| ATRIPLEX SP. | SALT BUSH | 6 | 2 GAL. |
| CLETHRA ALNIFOLIA 'RUBY SPICE' | SWEET PEPPERBUSH | 6 | 3 GAL. |
| ILEX VERTICILLATA | WINTERBERRY | 5 | 3 GAL. |
| MORELLA (MYRICA) GALE | SWEET GALE | 15 | 3 GAL. |
| MYRICA PENSYLVANICA | BAYBERRY | 20 | MIXED |
| NIPPONANTHEMUM NIPPONICUM | NIPPON DAISY | 12 | 2 GAL. |
| PRUNUS MARITIMA | BEACH PLUM | 7 | 3 GAL. |
| RHUS GLABRA | SMOOTH SUMAC | 5 | 3 GAL. |
| ROSA VIRGINIANA | VIRGINIA ROSE | 10 | 2 GAL. |
| VACCINIUM ANGUSTIFOLIUM | LOWBUSH BLUEBERRY | 82 | 2 GAL. |
| VIBURNUM DENTATUM 'BLUE MUFFIN' | ARROWWOOD VIBURNUM | 6 | 3'-4' B&B |

PERENNIALS/GRASSES

| | | | |
|---------------------------------|--------------------------|-----|--------|
| ANDROPOGON GERARDII | BIG BLUESTEM | 538 | 2 GAL. |
| ANDROPOGON GLOMERATUS | BUSH BLUESTEM | 50 | 2 GAL. |
| EUPATORIUM PURPUREUM | JOE PYE WEED | 24 | 2 GAL. |
| HIBISCUS MOSCHEUTOS VAR. | SWAMP ROSA MALLOW | 10 | 3 GAL. |
| LIATRIS SCARIOS A NOVAE-ANGLIAE | NEW ENGLAND BLAZING STAR | 94 | 2 GAL. |
| SCHIZACHYRIUM SCOPARIUM | LITTLE BLUESTEM | 130 | 2 GAL. |
| SOLIDAGO SEMPERVIRENS | SEASIDE GOLDENROD | 51 | 2 GAL. |

NOTES:


- ALL PLANTS TO BE LAID OUT IN FIELD AND PLACEMENT TO BE APPROVED PRIOR TO FINAL INSTALLATION BY L.A. AND OWNER.
- INFILL ALL THE AREAS BETWEEN THE PLANTS ON THE WEST SIDE OF THE PUBLIC ACCESS WALKWAY WITH NATURAL BUFFER RESTORATION SEED MIX OR APPROVED EQUAL.
- SEEDING RATE: 35 POUNDS PER ACRE
- MOW ONCE ANNUALLY AFTER OCTOBER 1 OR PRIOR TO APRIL 15
- SEED MIX INCLUDES: COMMON EASTERN WILD-RYE (ELYMUS VIRGINICUS), CREEPING RED FESCUE (FESTUCA RUBRA), BIG BLUE-STEM (ANDROPOGON GERARDII), LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), INDIAN GRASS (SORGHASTRUM NUTANS), SWITCH GRASS (PANICUM VIRGATUM), SAND DROPS (SPOROBOLUS CRYPTANDRUS), SMOOTH CORDGRASS (SPARTINA ALTERNIFLORA)



| | |
|----------------------------------|------|
| PLANNING BOARD CHAIR OR DESIGNEE | DATE |
|----------------------------------|------|

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|---|----------|
| SCALE: | |
| HORZ.: | 1" = 20' |
| VERT.: | |
| DATUM: | |
| HORZ.: | NAD 1983 |
| VERT.: | NAD 1988 |
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| GRAPHIC SCALE | |



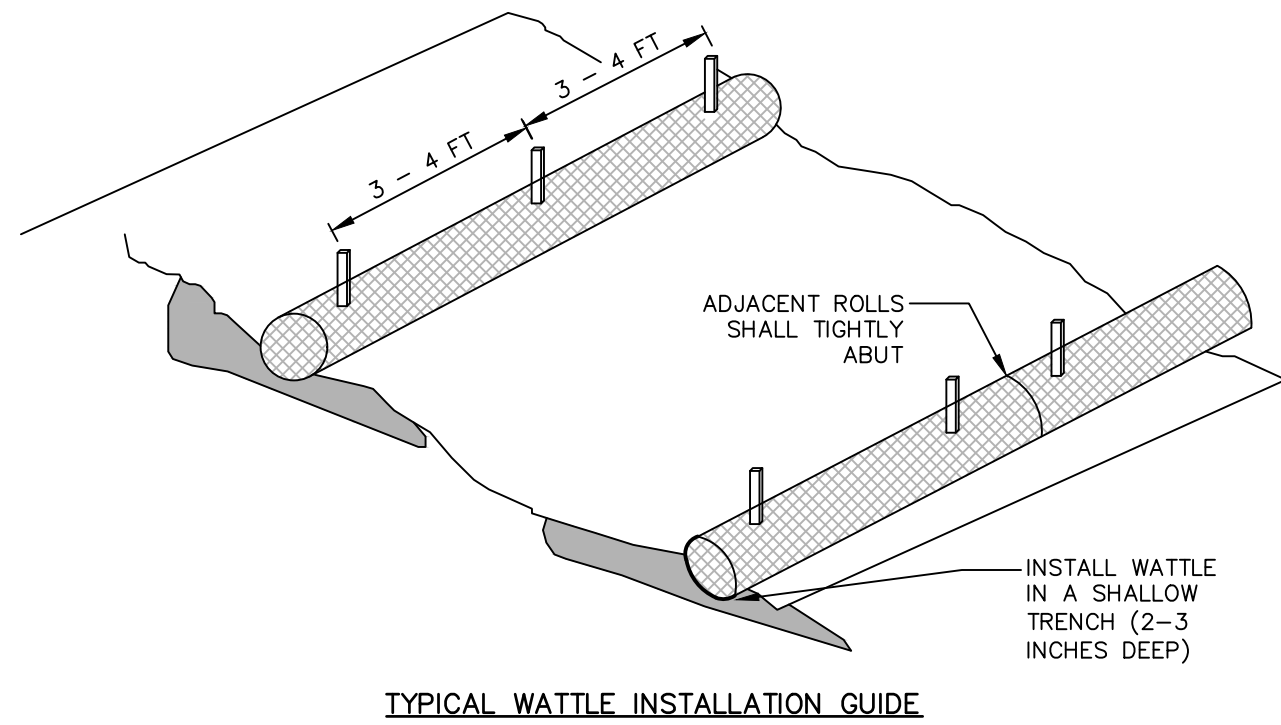
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125 THAMES STREET

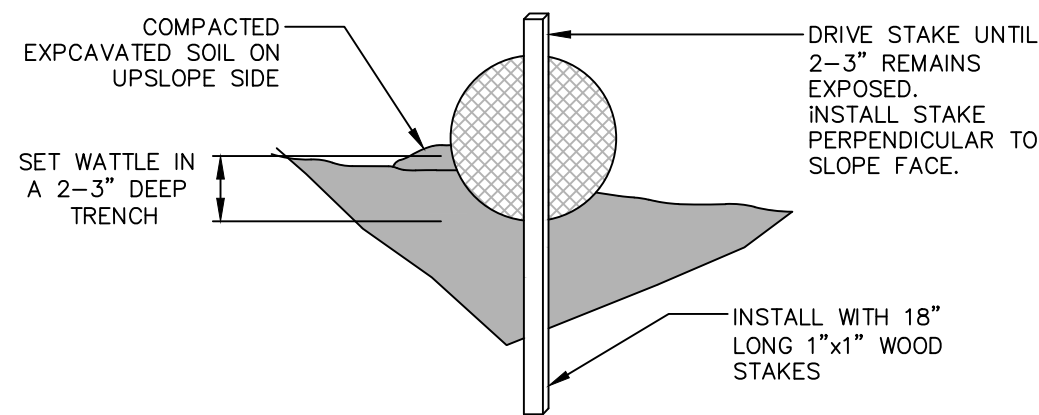
BRISTOL, RHODE ISLAND

LP-103

SHEET 15 OF 28



TYPICAL WATTLE INSTALLATION GUIDE



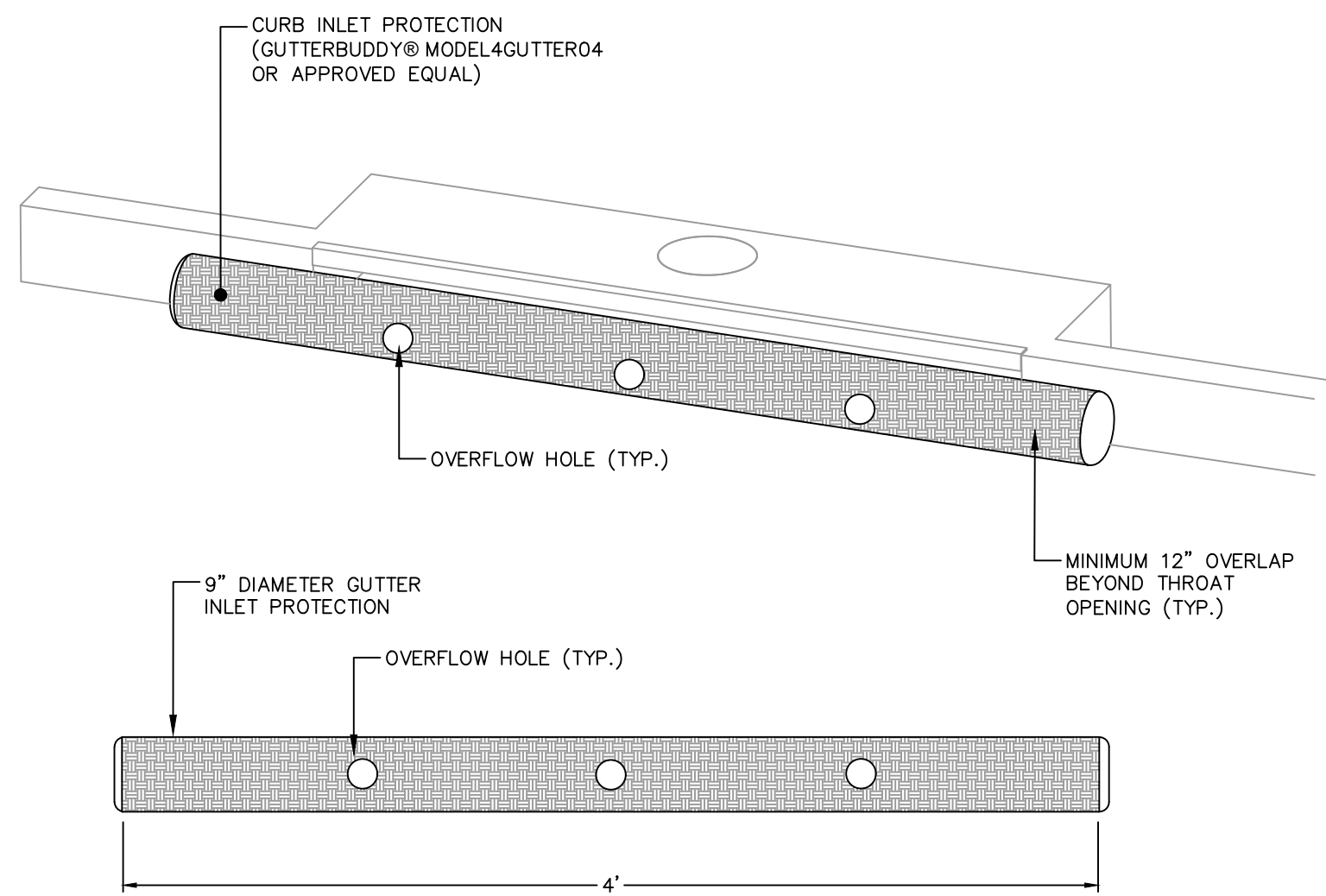
ENTRENCHMENT

NOTES:

1. WATTLES SHALL BE TRENCHED APPROXIMATE 2-3 INCHES AND STAKED SUCH THAT WATTLES DIRECTLY CONTACT SOIL AND PRECLUDE UNDERMINING OR BLOWOUTS. THE TRENCH SHALL BE APPROXIMATELY 9 INCHES WIDE. STAKES SHALL BE DRIVEN THROUGH THE CENTER OF THE WATTLE AT A SPACING OF 3-4 FEET ON CENTER AND NO GREATER THAN 6" FROM THE EACH END OF THE WATTLE. STAKES SHALL BE 1-INCH BY 1-INCH WOODEN STAKES WITH A LENGTH OF 18 INCHES. COMPACT SOIL EXCAVATED TO CREATE TRENCH ON UPHILL SIDE.
2. ENDS OF ADJACENT WATTLES SHALL BE TIGHTLY BUTTED OR OVERLAPPED SO THAT NO OPENING EXISTS FOR WATER TO PASS THROUGH. WATTLES SHALL BE FREE OF DAMAGE OR DEFECTS WHEN DELIVERED TO THE SHIPPER. NO VEHICLES SHALL BE DRIVEN OVER WATTLES.
3. WATTLES SHALL BE 12-INCH SEDIMAX-FR™ FILTRATION ROLL MANUFACTURED BY NORTH AMERICAN GREEN, OR APPROVED EQUAL.

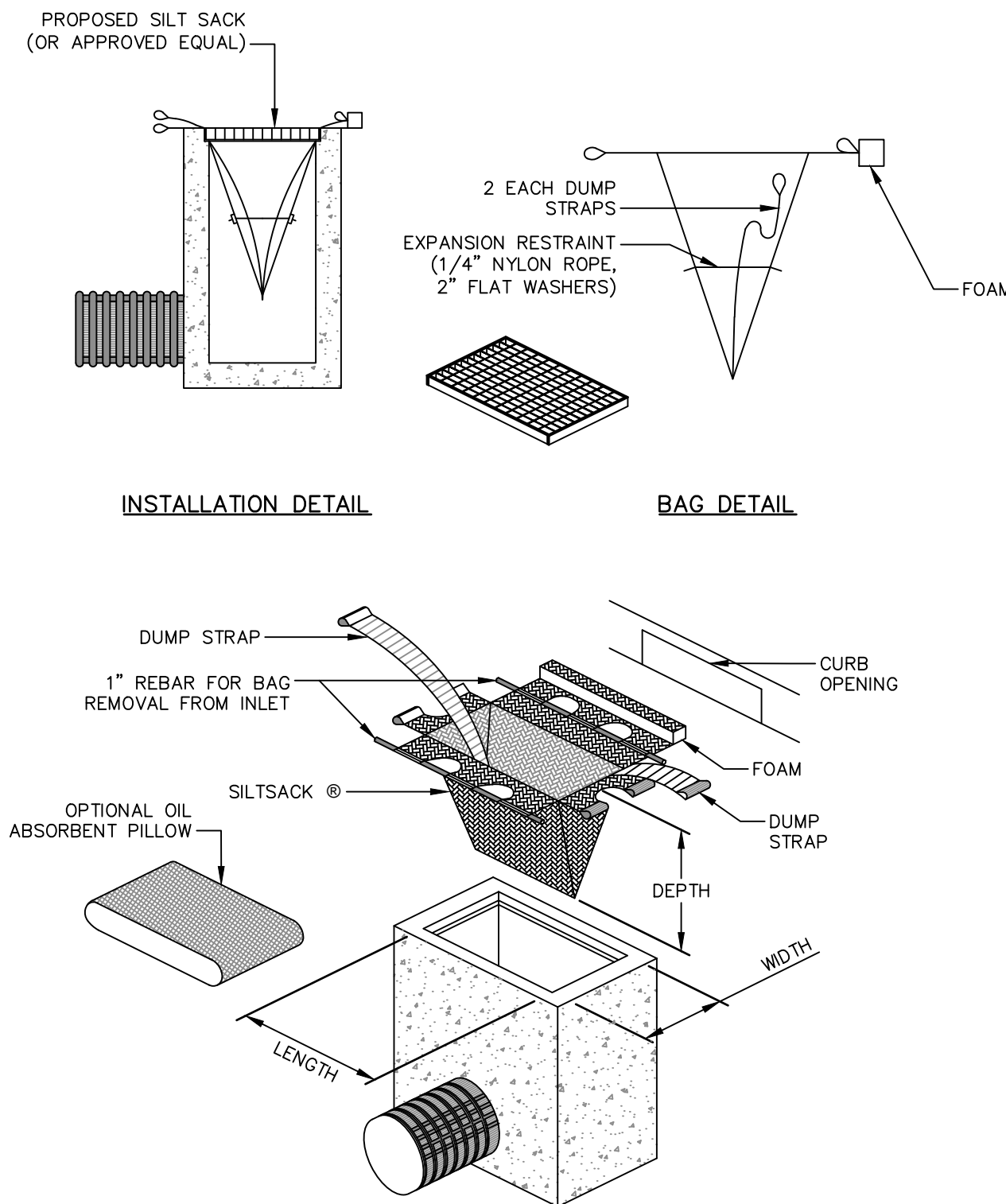
WATTLES

NOT TO SCALE



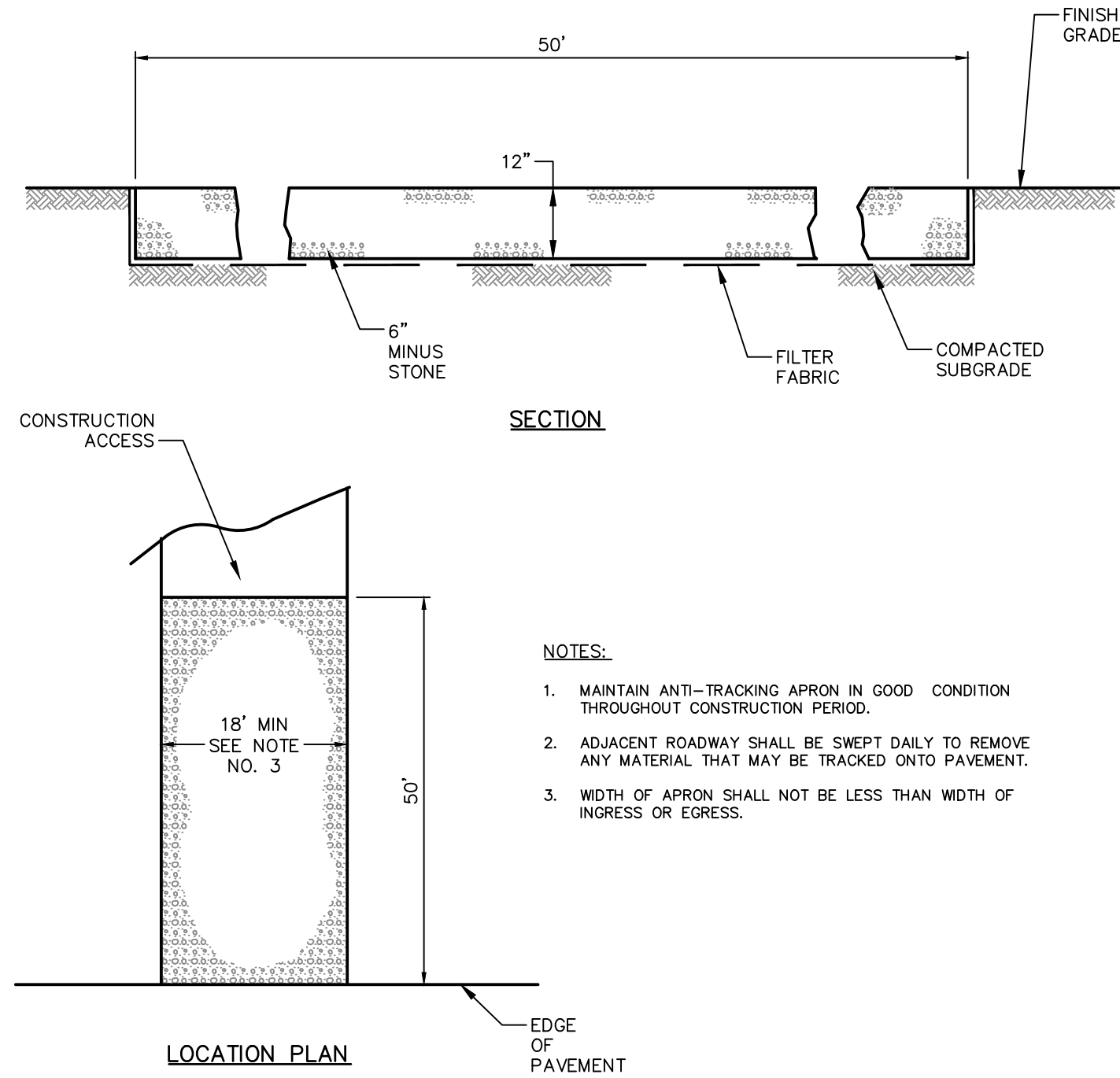
CURB INLET PROTECTION

NOT TO SCALE



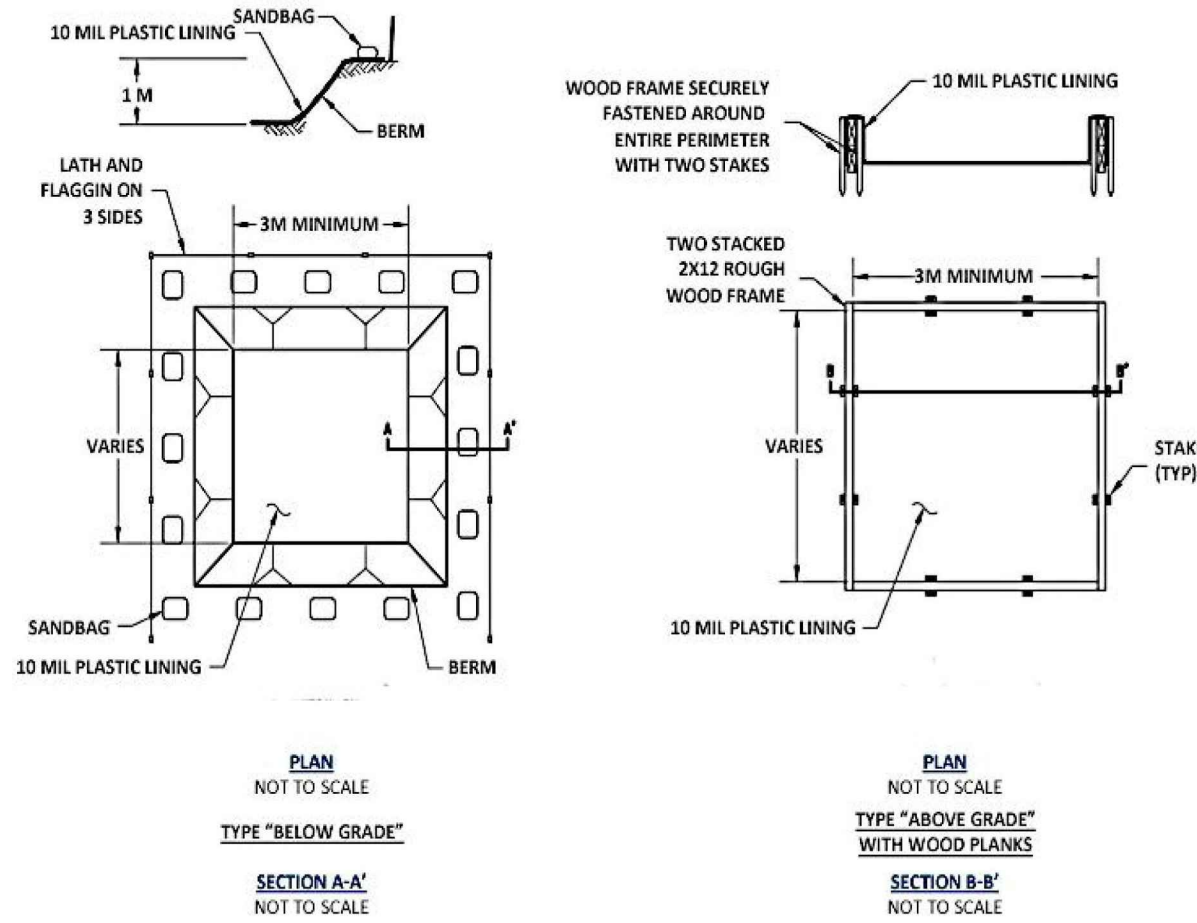
CATCH BASIN INLET PROTECTION

NOT TO SCALE



CONSTRUCTION ACCESS

NOT TO SCALE



NOTES:

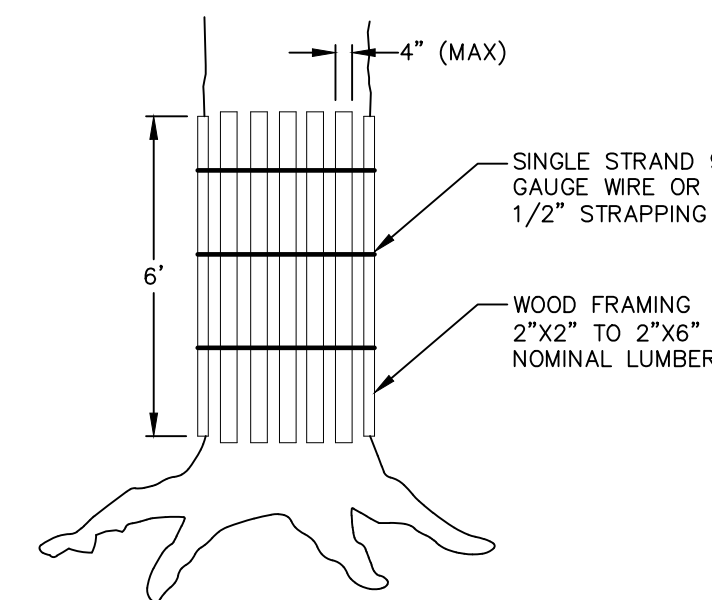
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
2. FOR REFERENCE PURPOSES ONLY. NOT FOR CONSTRUCTION PURPOSES.

REFERENCE:

RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, ISSUED 1989 (REVISED 2014)

TEMPORARY CONCRETE WASHOUT FACILITY

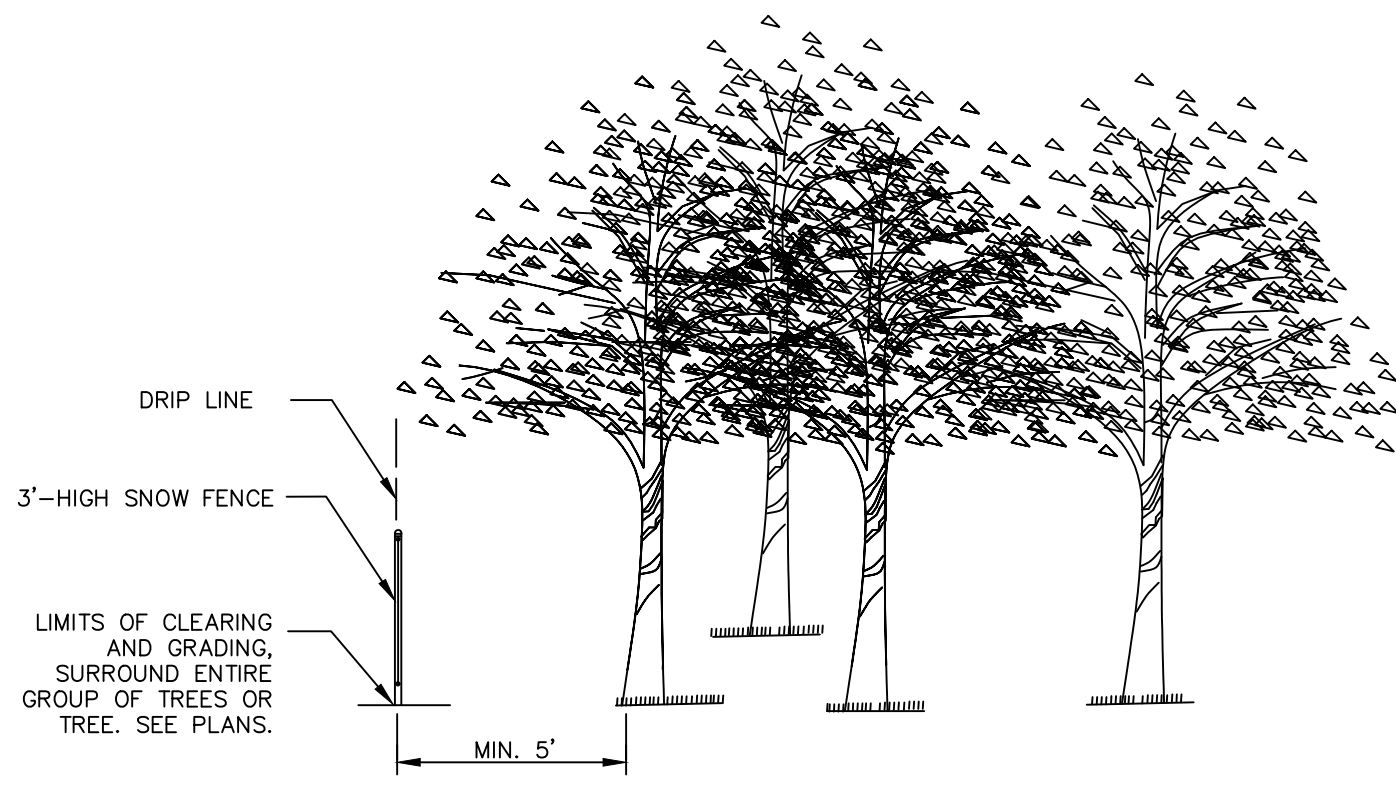
NOT TO SCALE



NOTE:

SHALL BE IN ACCORDANCE WITH SECTION L11 OF THE STANDARD SPECIFICATIONS.

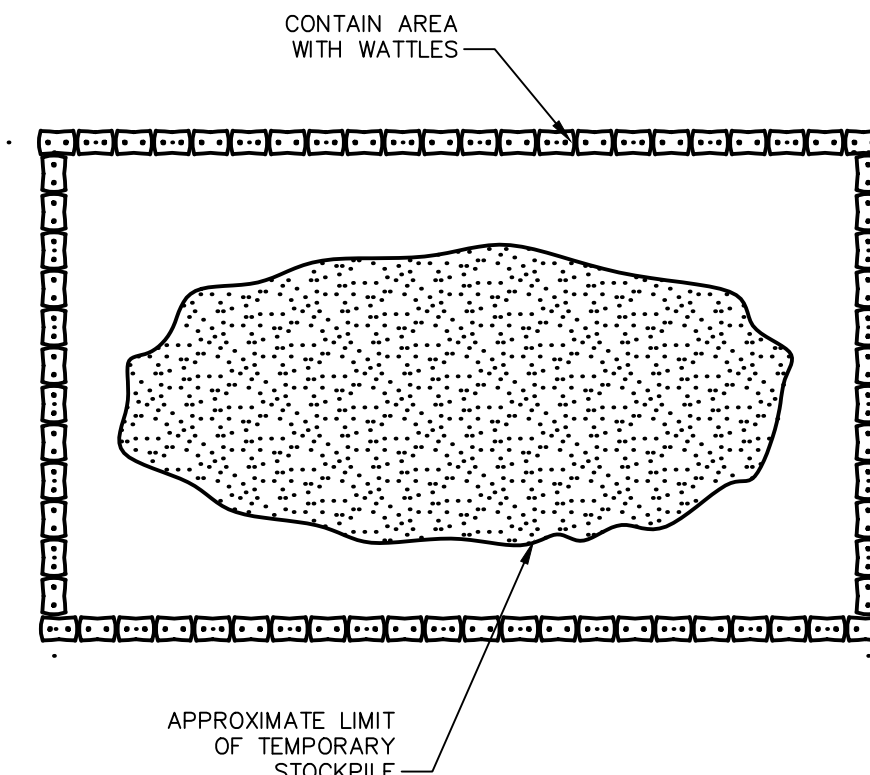
INDIVIDUAL TREE



GROUPING OF TREES

TREE PROTECTION

NOT TO SCALE



TEMPORARY SOIL STOCKPILE

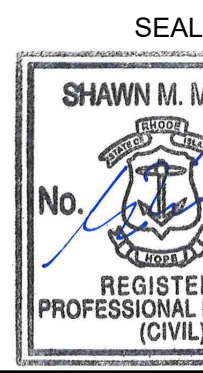
NOT TO SCALE

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

| No. | DATE | DESCRIPTION | DESIGNER | REVIEWER |
|-----|------------|--|----------|----------|
| 11 | 5/29/2024 | REISSUE FINAL PLAN | KLM | SMM |
| 10 | 3/6/2024 | RESPONSE TO CRMC COMMENTS | KLM | SMM |
| 9 | 2/2/2024 | FINAL PLAN | KLM | SMM |
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| 3 | 3/27/23 | PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS | KLM | SMM |

SEAL



SCALE:

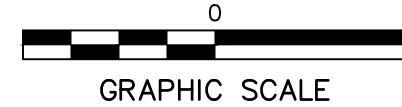
HORZ.: AS NOTED

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DATUM:

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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

125 THAMES STREET

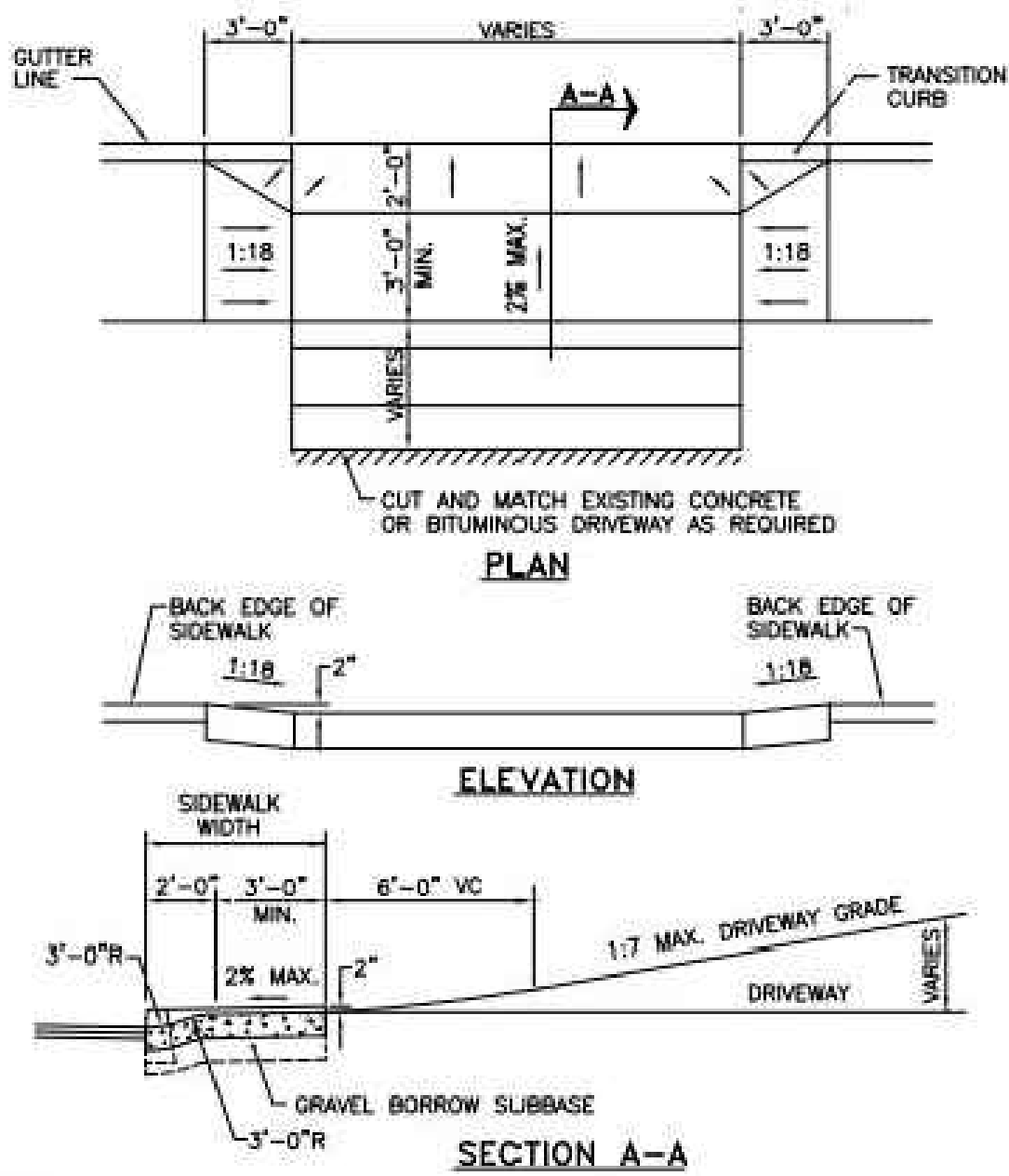
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

CD-501

SHEET 16 OF 28

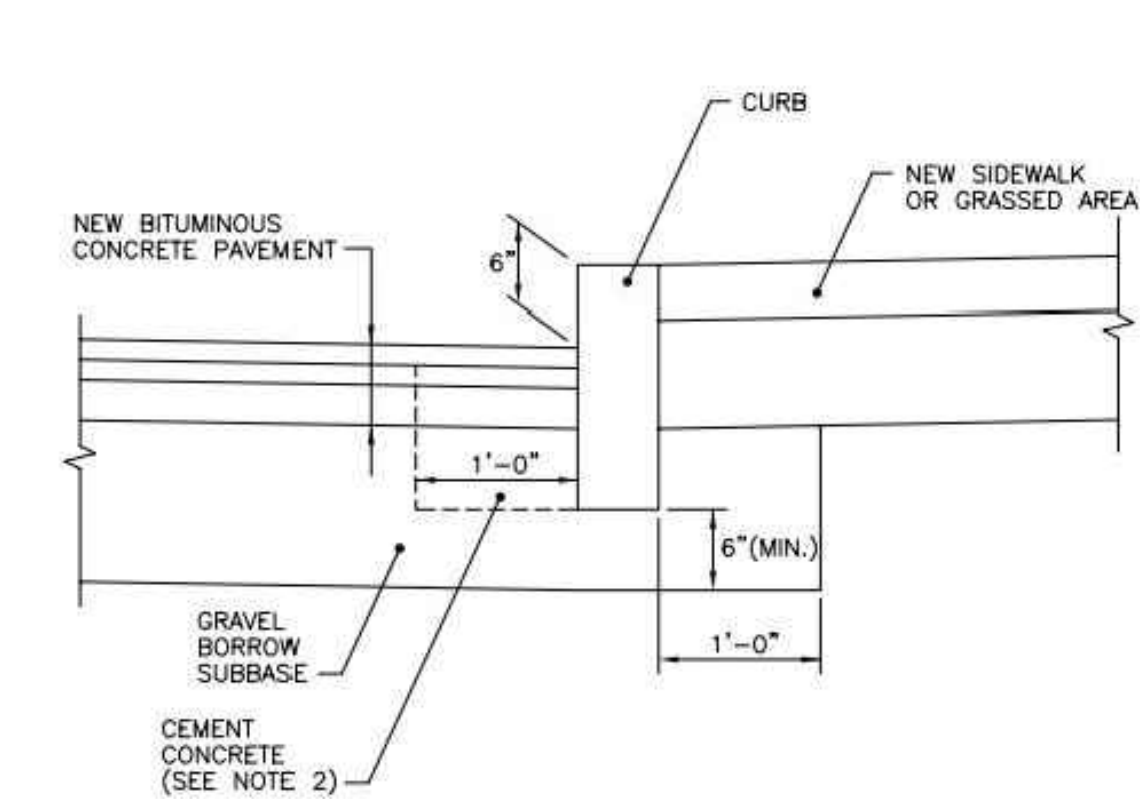
File Path: \\private\DRS\CadProj\DWG\GP20061150A22\Civil\Plan\Permitting Plans\20061150A22_DET01.dwg Layout: CD-502 Plotted: Wed, May 29, 2024 - 6:35 PM User: katherine.mccombs
MS VIEW: Plotter: AUTOCAD PDF (GENERAL DOCUMENTATION) PC3 CTB File: FO.STB



NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
2. WHEN DRIVEWAY IS BELOW BACK EDGE OF SIDEWALK PROFILE, STD. 43.4.1 MUST BE USED.

DRIVEWAY DEVELOPMENT

NOT TO SCALE



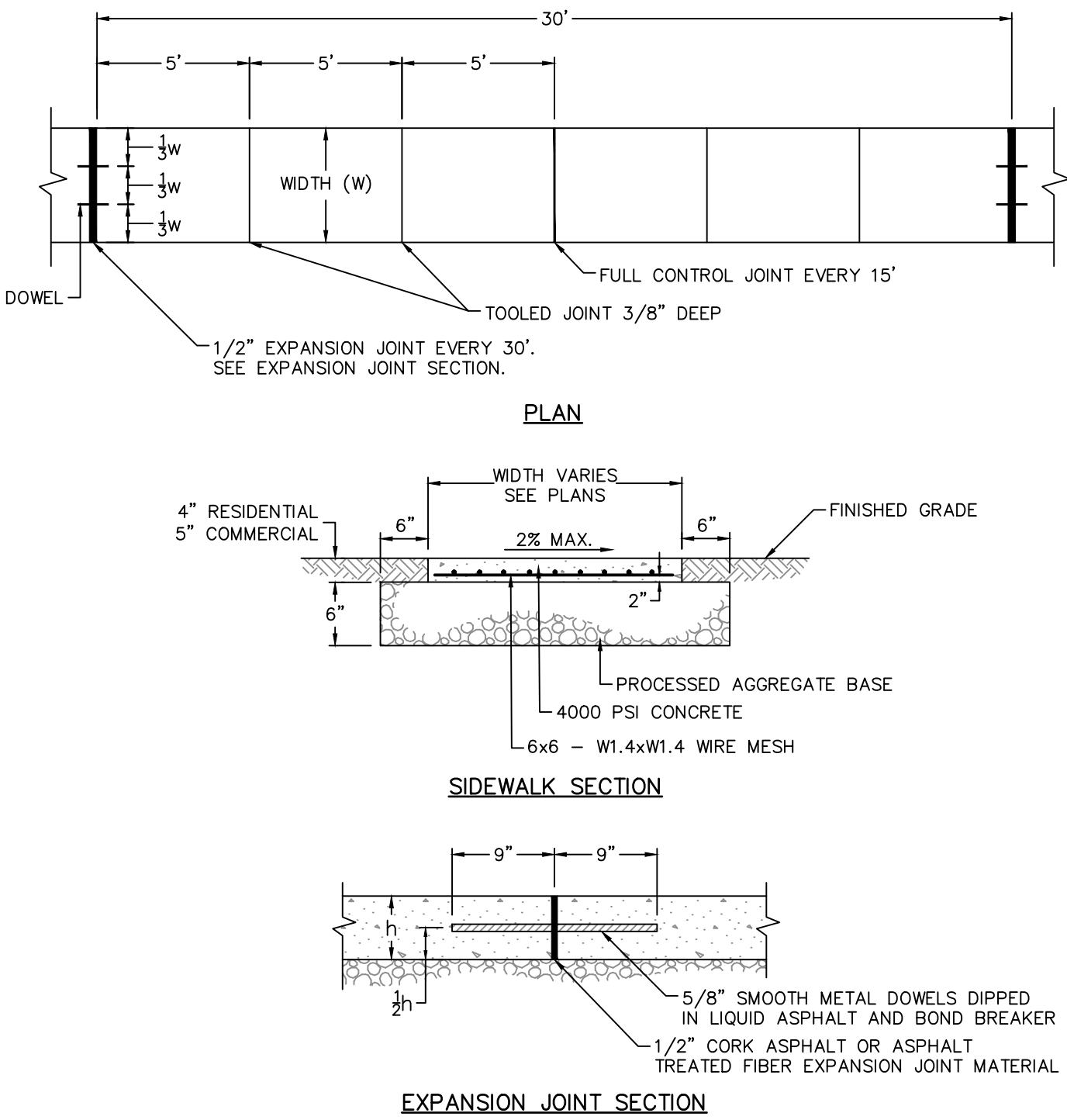
NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
2. CEMENT CONCRETE SHALL BE USED ONLY WHEN THE CURB IS SET AFTER THE BASE AND/OR BINDER COURSES ARE IN PLACE, OTHERWISE THE CEMENT CONCRETE WILL BE ELIMINATED AND THE GRAVEL BROUGHT UP TO BOTTOM OF THE BASE COURSE.

CURB SETTING

NOT TO SCALE

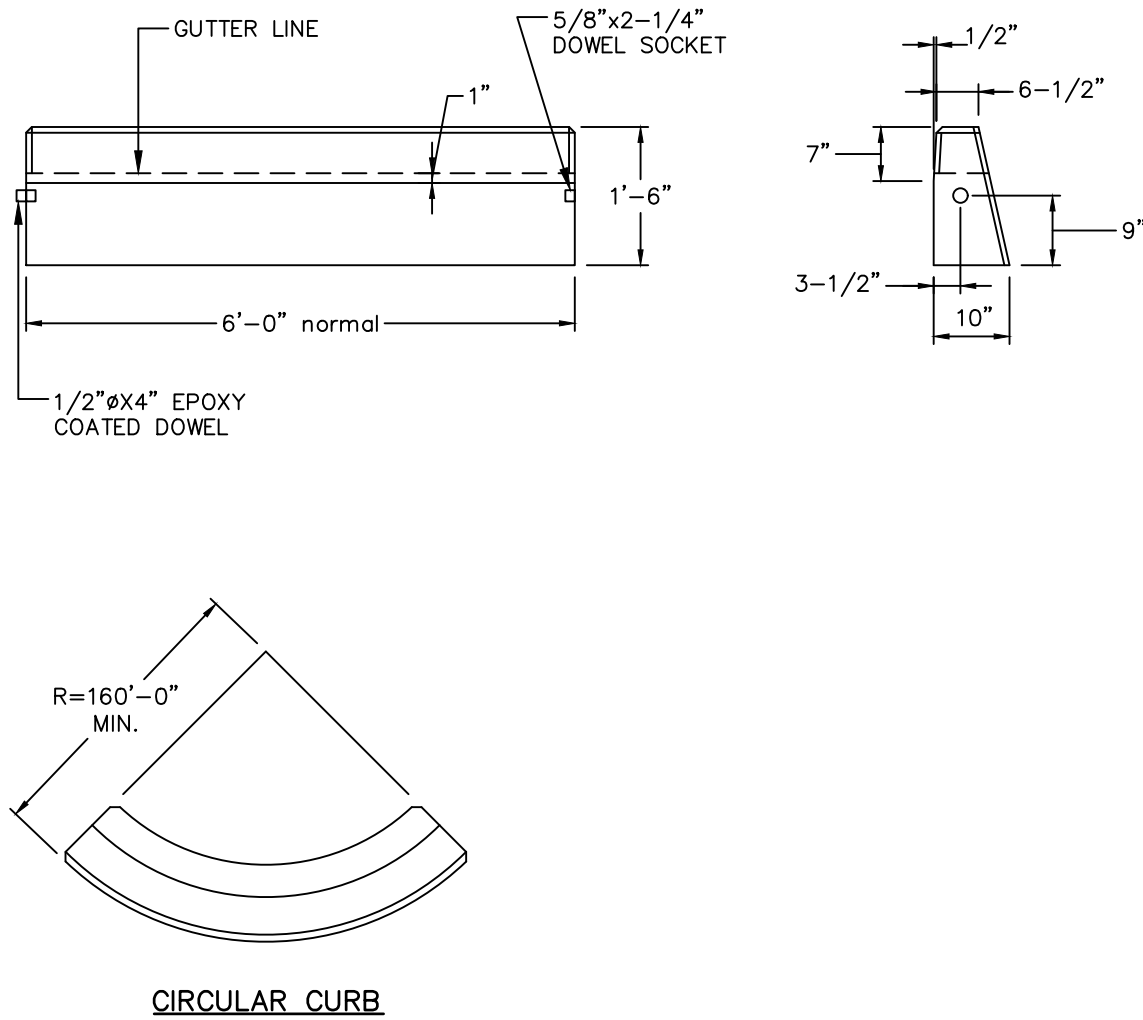
PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE



CONCRETE SIDEWALK

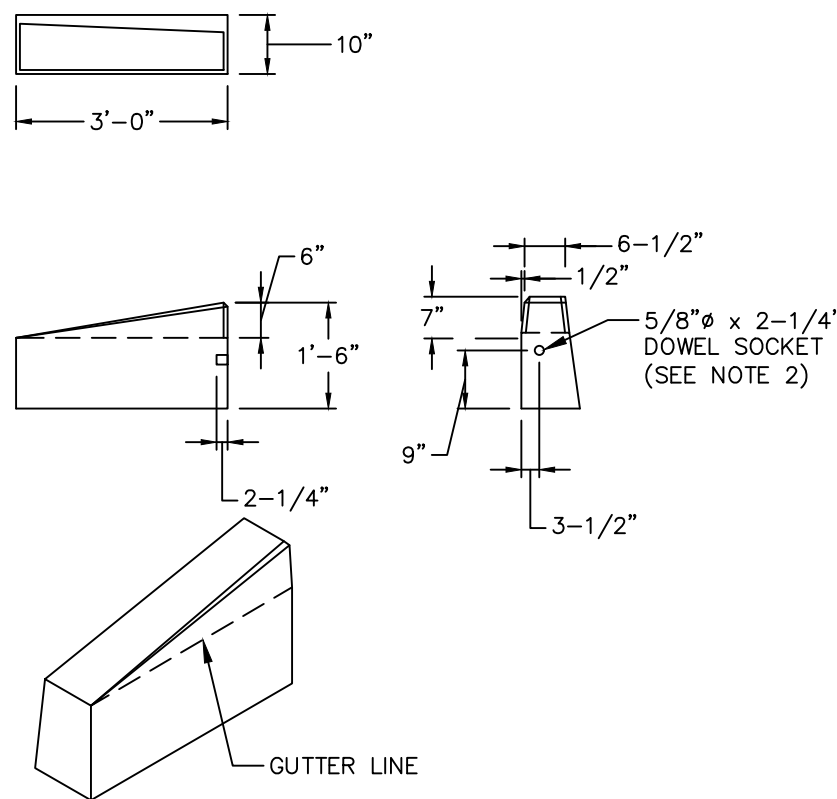
NOT TO SCALE



NOTE:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF R.I. STANDARD SPECIFICATIONS.
2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0".
3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADII OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.
5. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

CONCRETE CURB

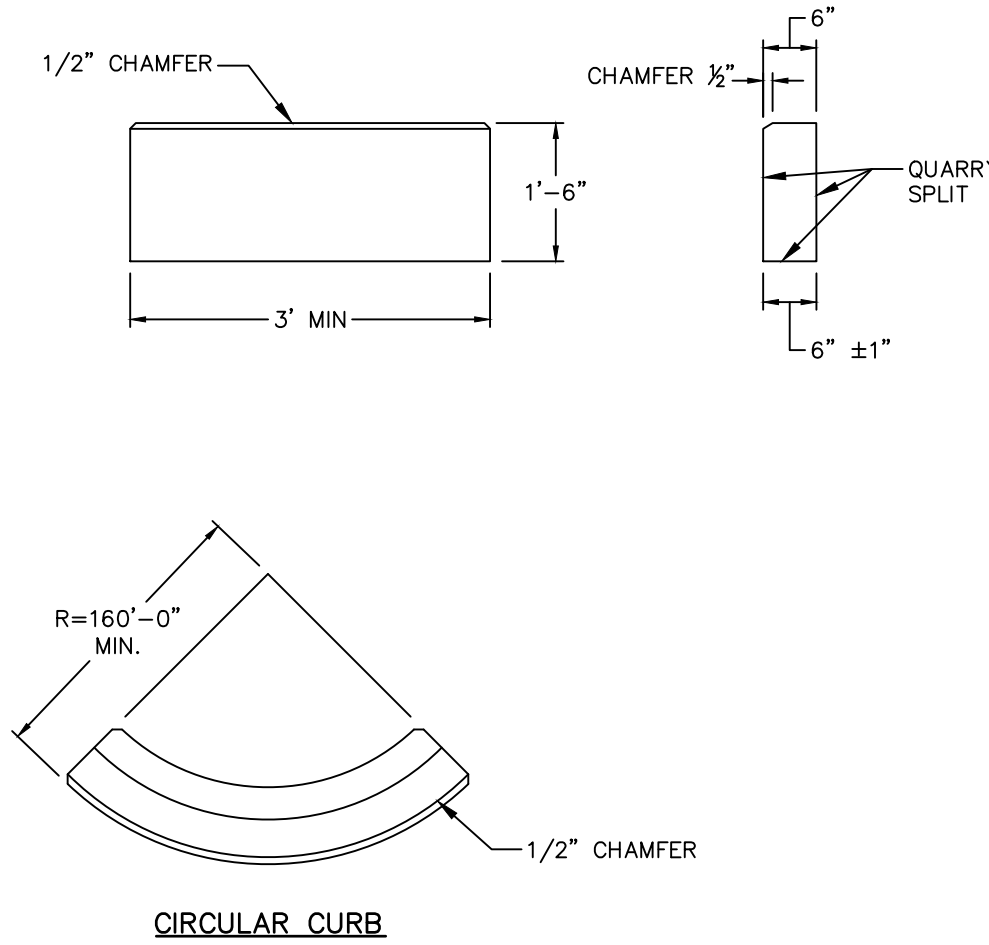
NOT TO SCALE



NOTE:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF R.I. STANDARD SPECIFICATIONS.
2. DRAWING SHOWS TRANSITION CURB FOR ONE DIRECTION, FOR OTHER DIRECTION USE OPPOSITE HAND AND INCLUDE A 1/2" x 4" EPOXY COATED DOWEL.
3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
4. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.
5. LEFT AND RIGHT SECTIONS SHALL BE INSTALLED AS REQUIRED.

GRANITE TRANSITION CURB

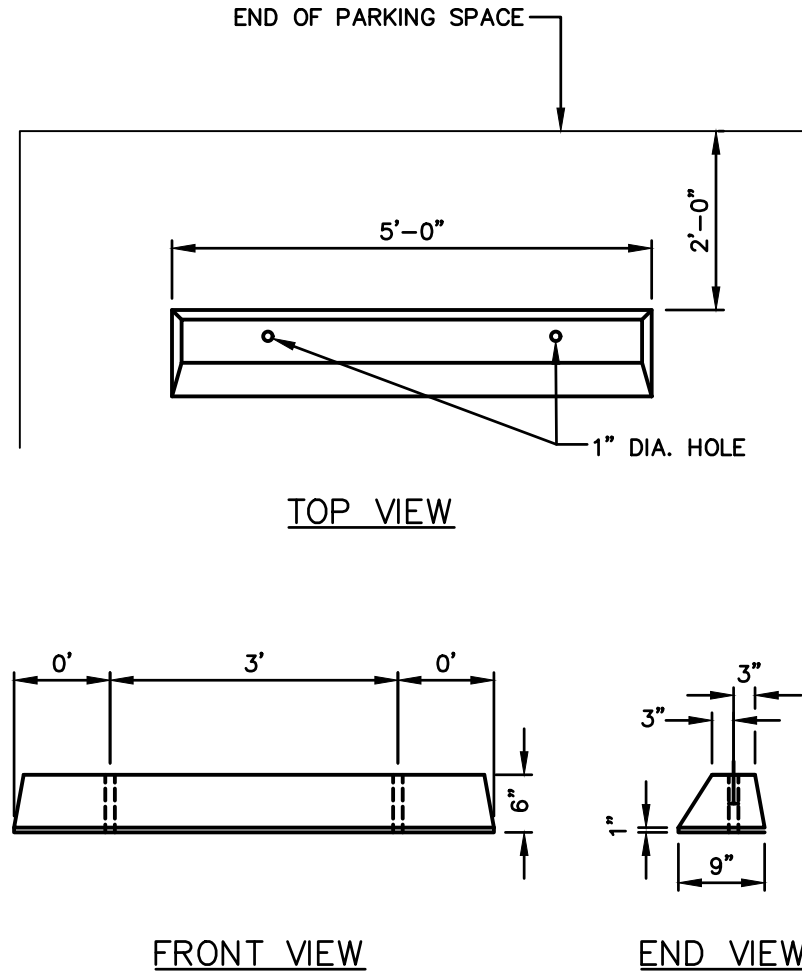
NOT TO SCALE



NOTE:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF R.I. STANDARD SPECIFICATIONS.
2. TOP SURFACE TO BE DRESSED BY SAW. REMAINDER MAY BE QUARRY SPLIT.
3. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR PIECES TO BE 3'-0".
4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADII OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.

GRANITE CURB

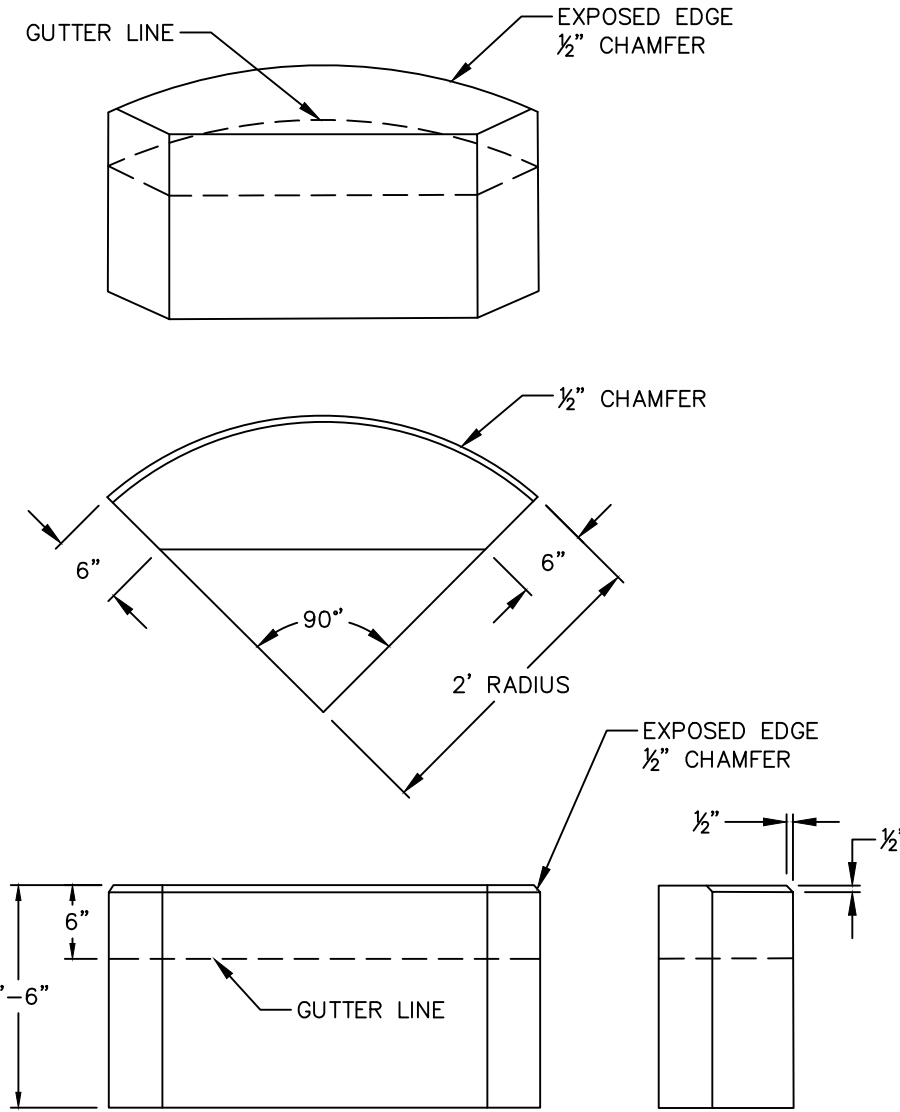
NOT TO SCALE



NOTES:
1. ALL SURFACES TO HAVE A SPONGE FLOAT FINISH.
2. EACH PRECAST CONCRETE CAR STOP SHALL BE FURNISHED WITH TWO 3/4" x 18" STEEL RODS.
3. ALL EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

PRECAST CONCRETE WHEEL STOPS

NOT TO SCALE



NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
2. TOP SURFACE TO BE DRESSED BY SAW. REMAINDER MAY BE QUARRY SPLIT.

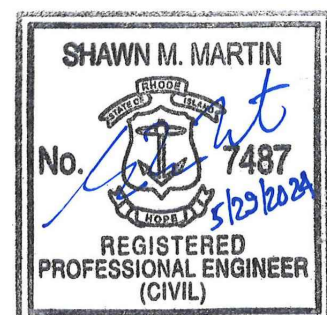
GRANITE RADIUS CURB

NOT TO SCALE

| | | | | |
|-----|------------|--|----------|----------|
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| 3 | 3/27/23 | PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS | KLM | SMM |
| No. | DATE | DESCRIPTION | DESIGNER | REVIEWER |

SEAL

SEAL



SCALE:

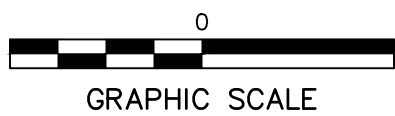
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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

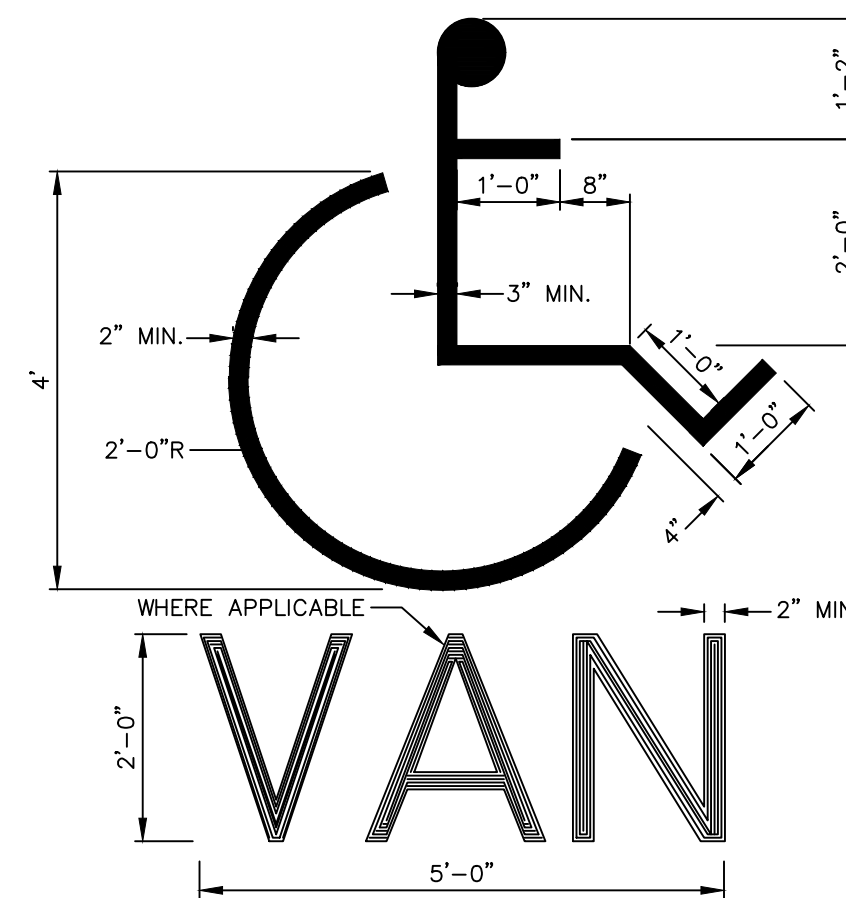
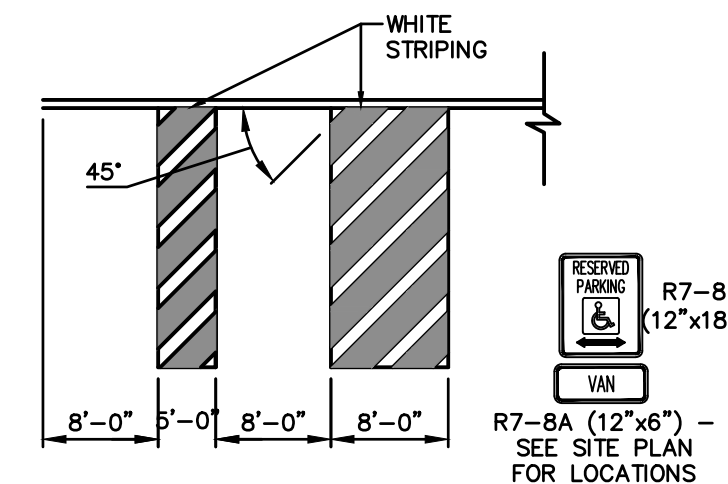
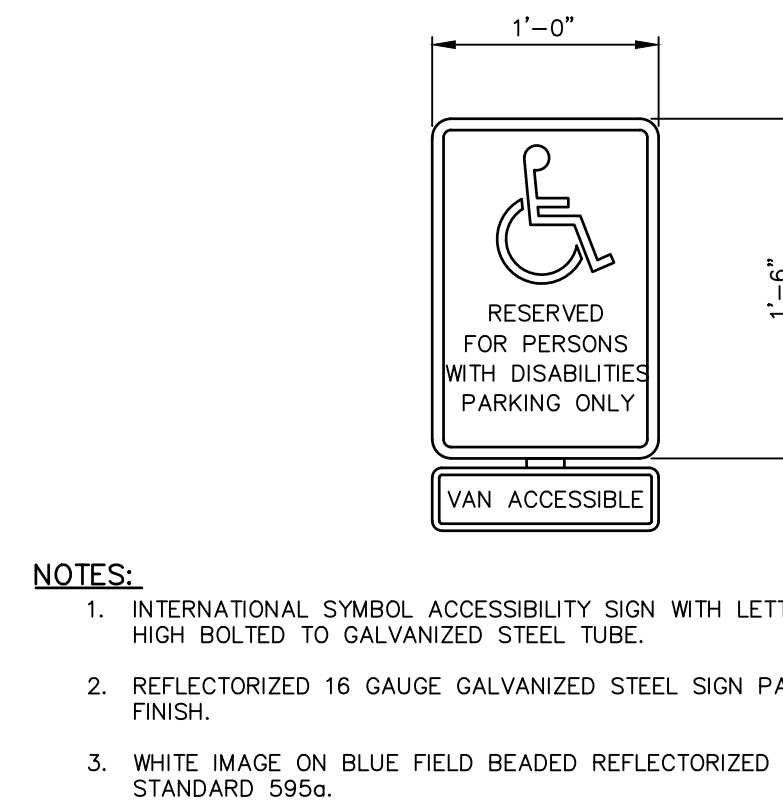
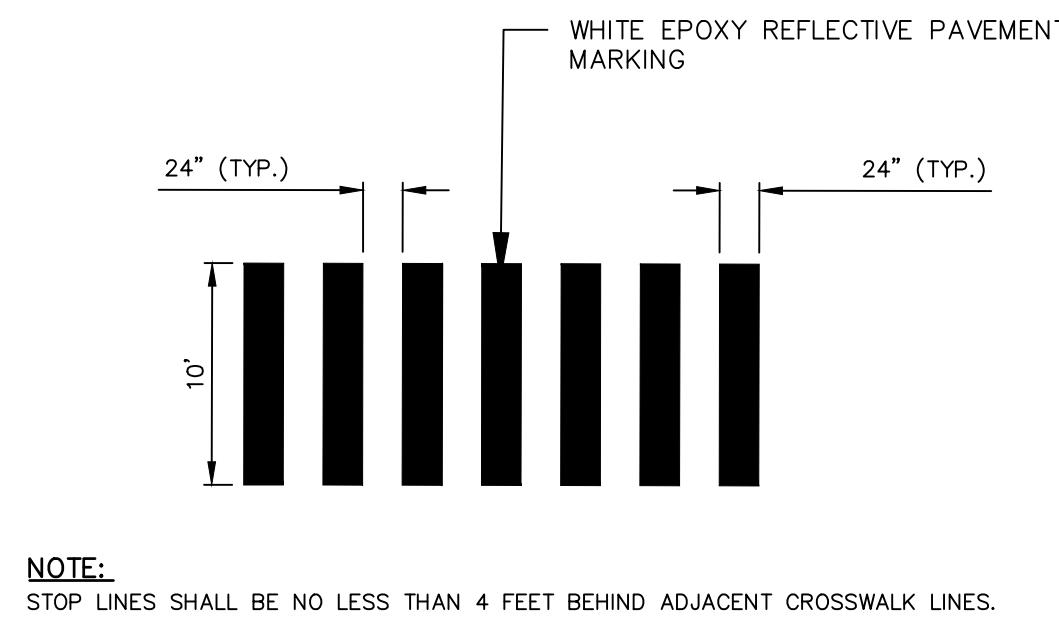
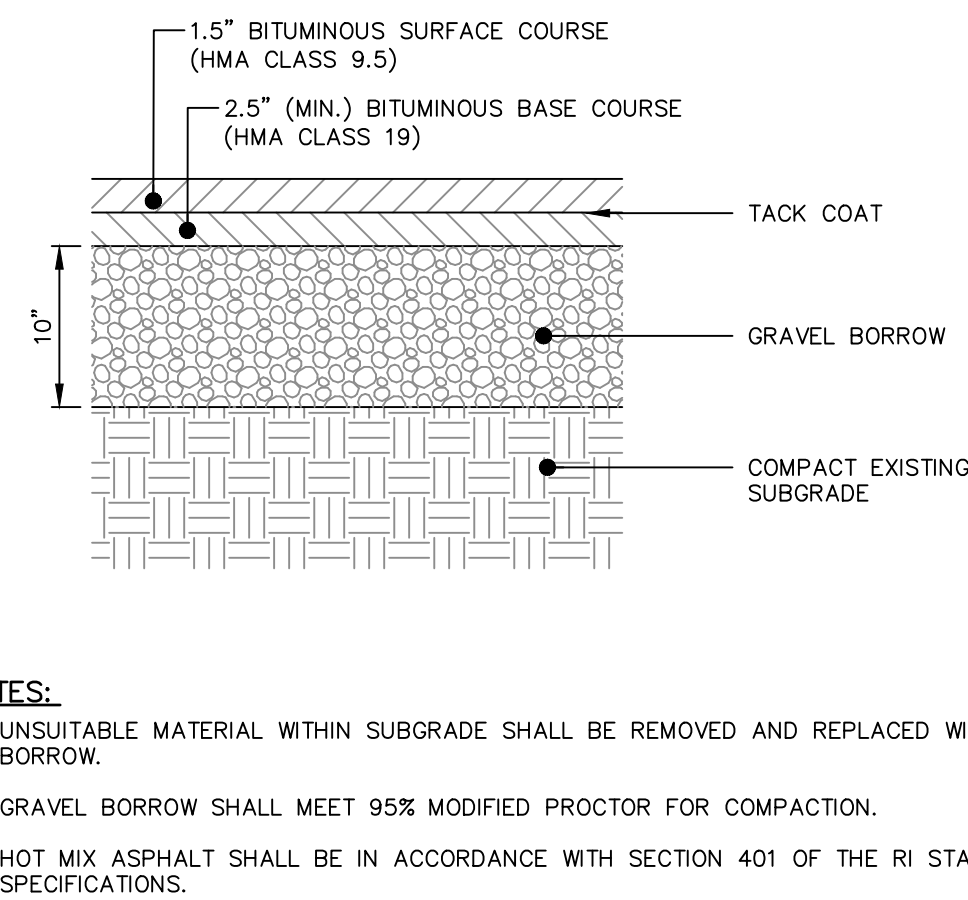
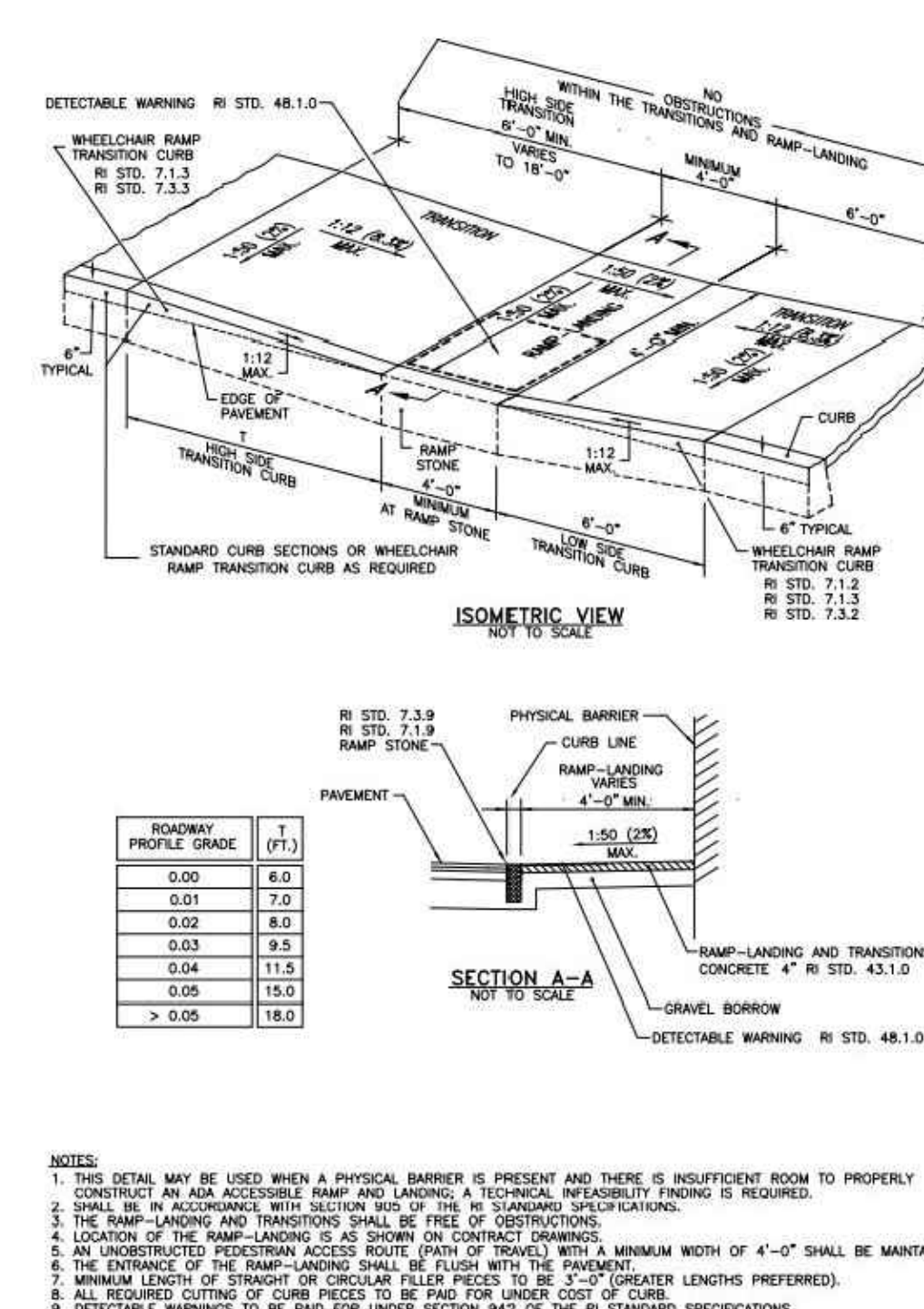
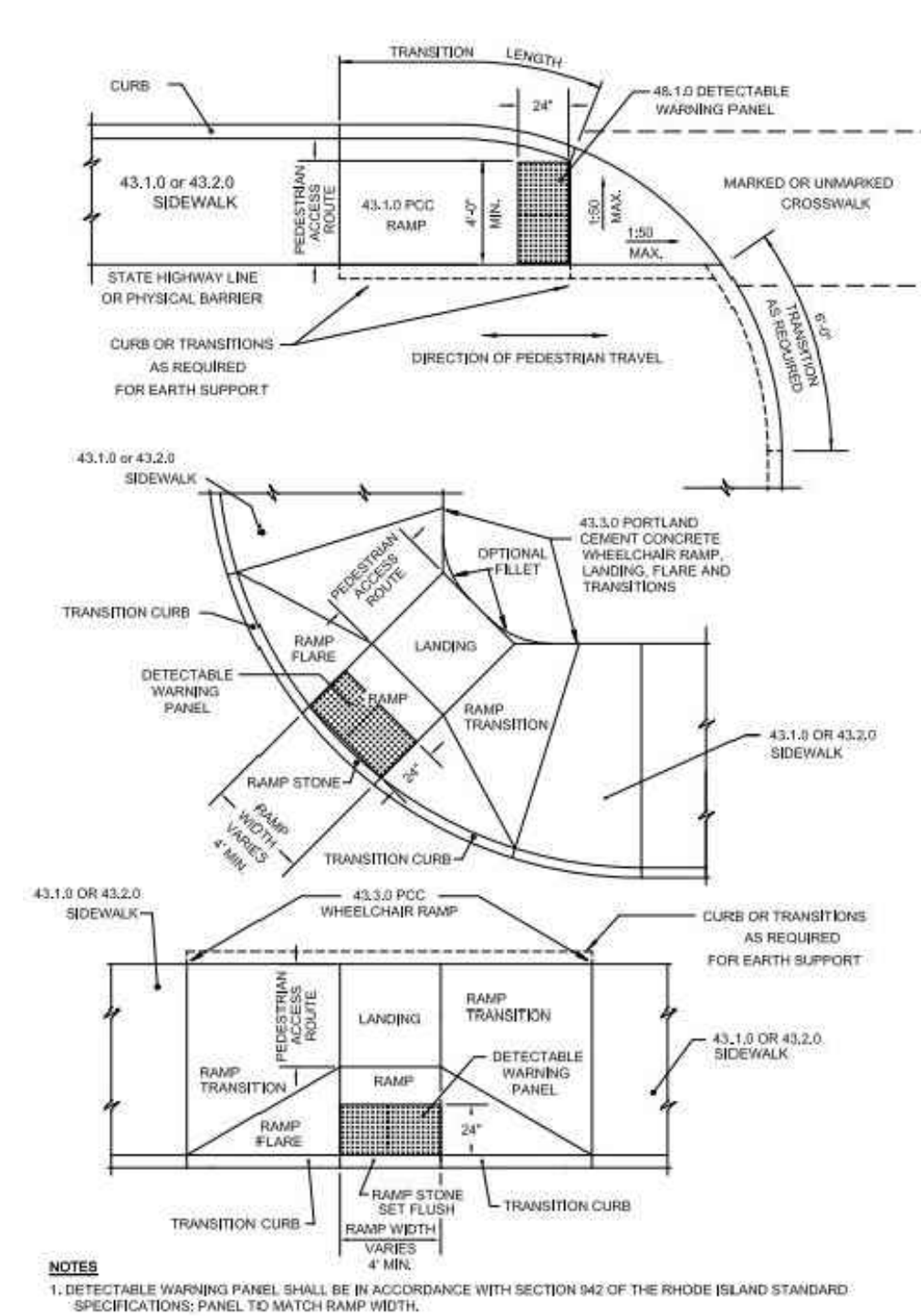
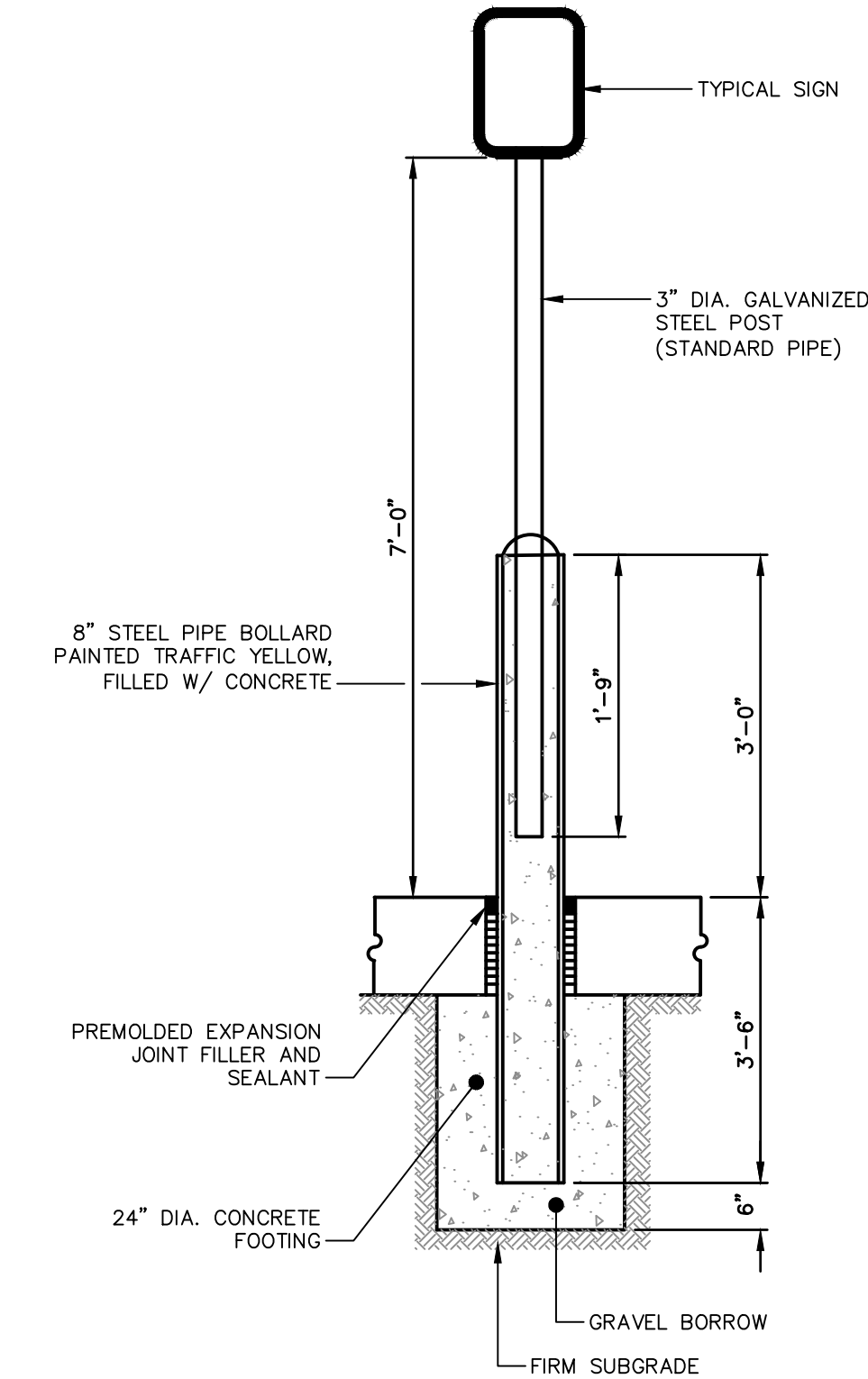
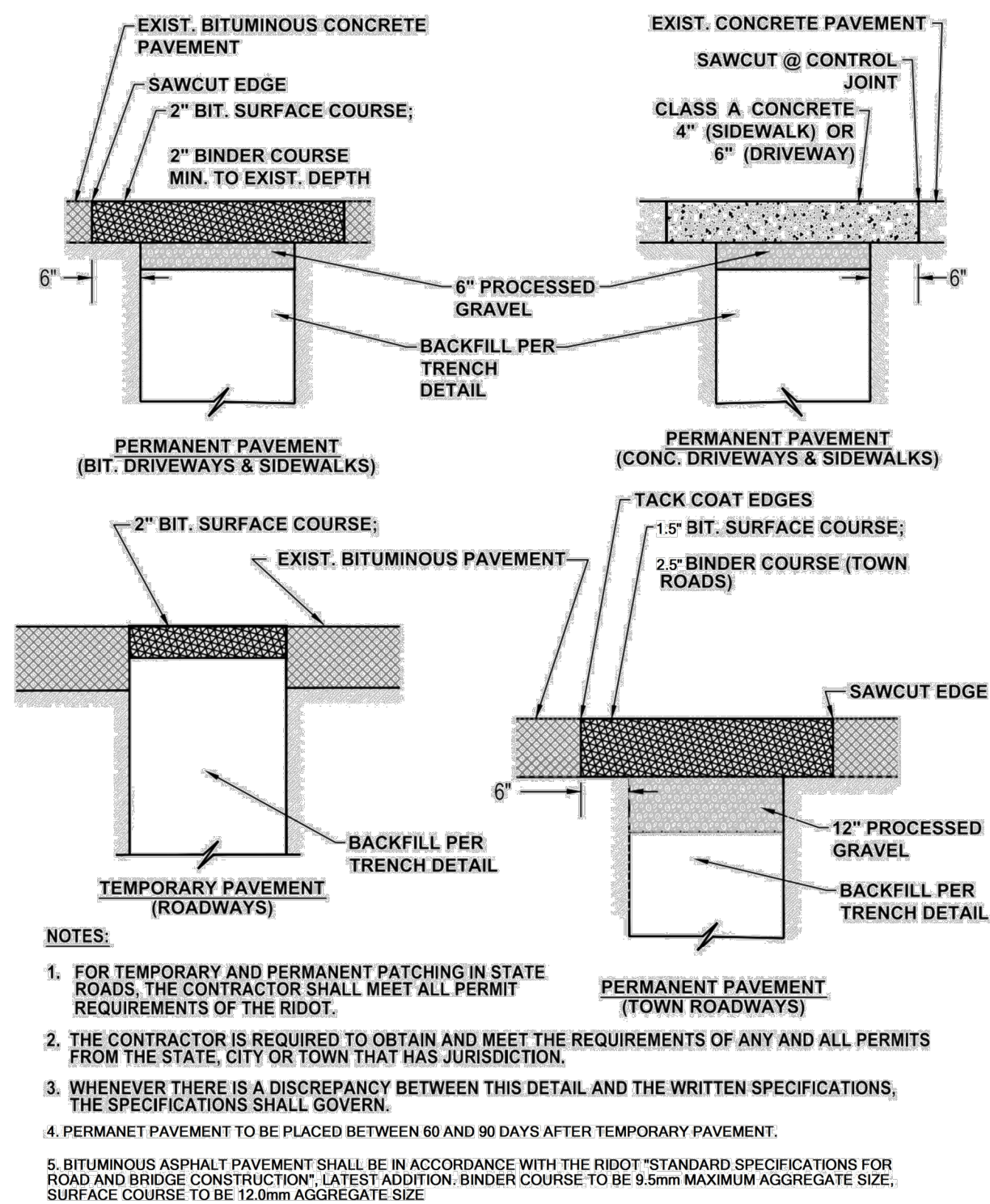
125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

CD-502

SHEET 17 OF 28

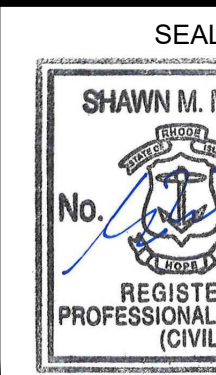


PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

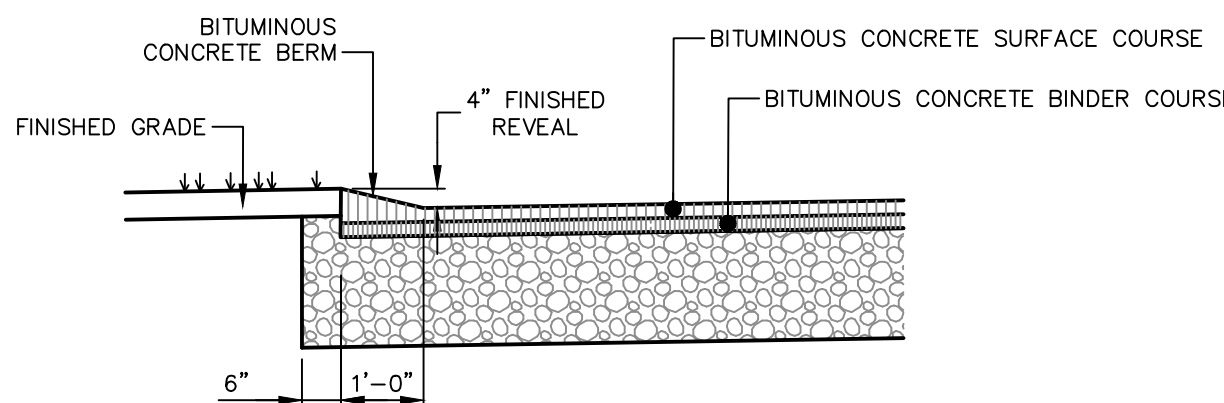
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| 3 | 3/27/23 | PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS | KLM | SMM |

SEAL



BITUMINOUS CONCRETE BERM

NOT TO SCALE



SCALE:

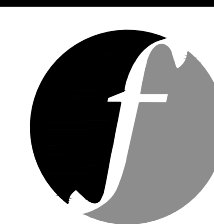
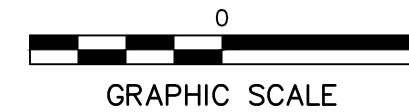
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DATUM:

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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

125 THAMES STREET

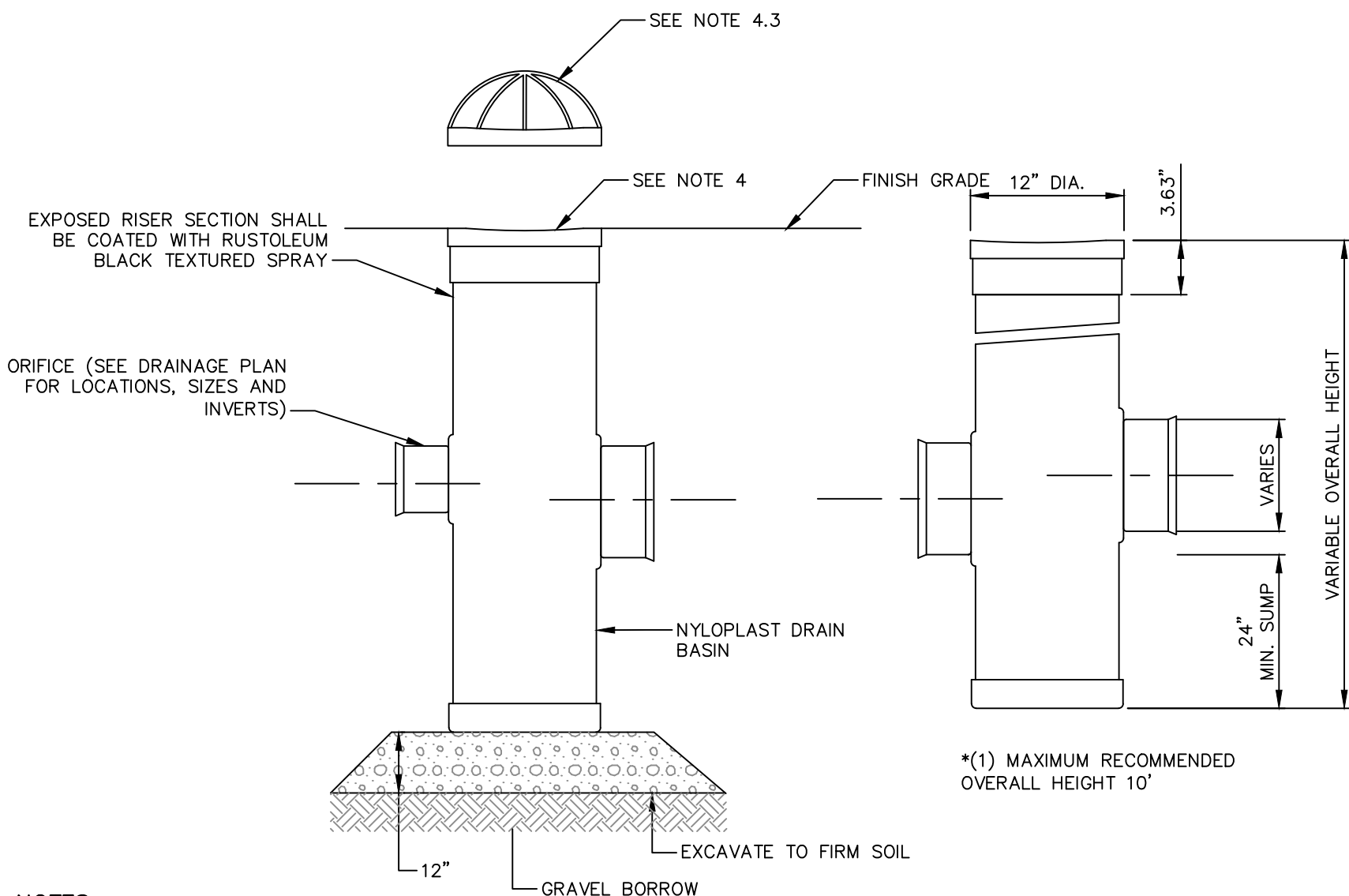
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22

DATE: DECEMBER 6, 2022

CD-503

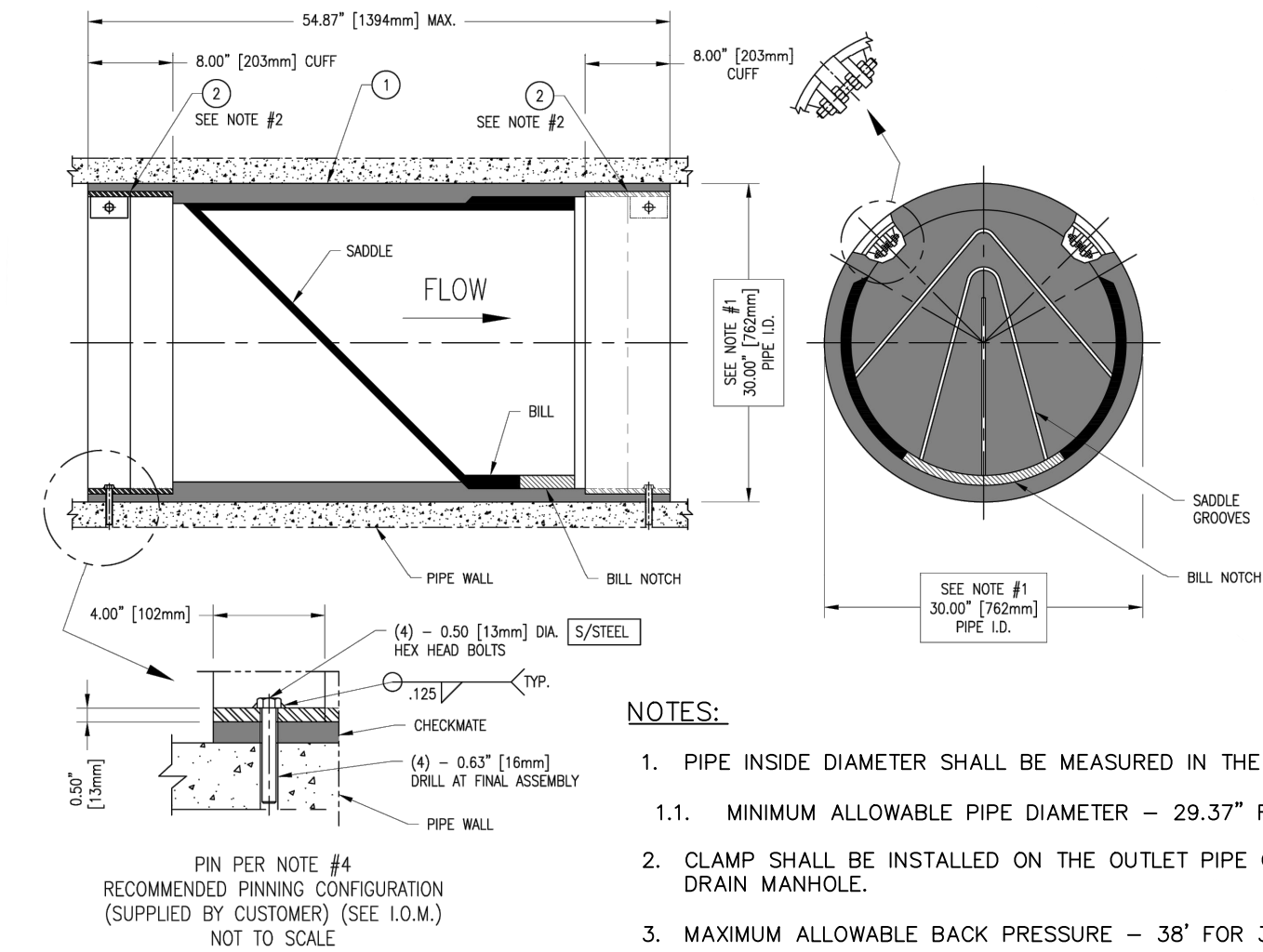
SHEET 18 OF 28



- NOTES:
- SEE DRAINAGE FOR PIPE SIZE, PIPE, MATERIAL, AND INVERTS.
 - GRAVEL BORROW SHALL BE COMPACTED TO 95-PERCENT MODIFIED PROCTOR.
 - GRAVEL BORROW SHALL CONFORM TO M.01.09, TABLE 1, COLUMN 1A OF THE STANDARD SPECIFICATIONS.

DRAIN BASIN

NOT TO SCALE

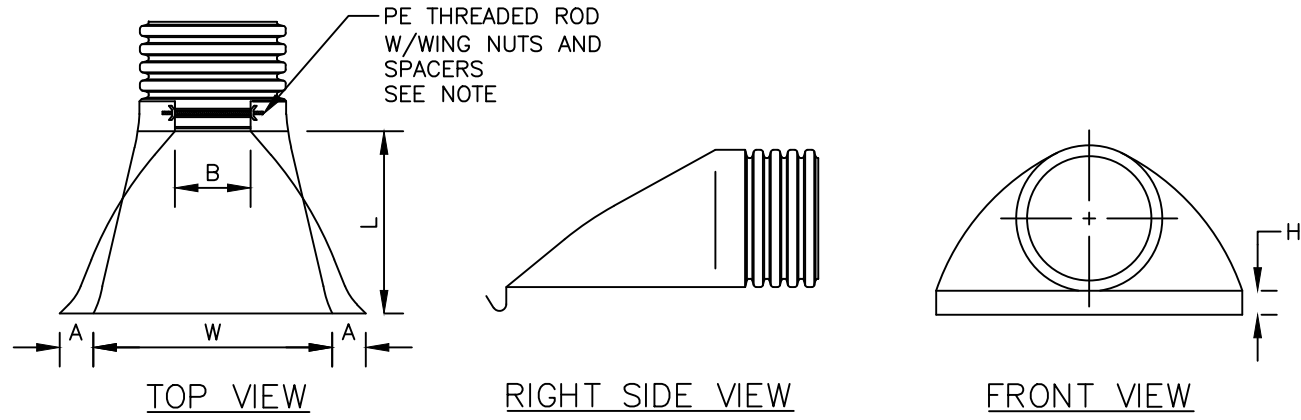


- NOTES:
- PIPE INSIDE DIAMETER SHALL BE MEASURED IN THE FIELD.
 - MINIMUM ALLOWABLE PIPE DIAMETER - 29.37" FOR 30" NOMINAL
 - CLAMP SHALL BE INSTALLED ON THE OUTLET PIPE OF THE PROPOSED DRAIN MANHOLE.
 - MAXIMUM ALLOWABLE BACK PRESSURE - 38" FOR 30" NOMINAL
 - IT IS RECOMMEND TO BOLT OR PIN CHECKMATE TO PIPE AS SHOWN, 4 PLACES 90° APART.
 - TIDE GATE VALVE SHALL BE CHECKMATE ULTRAFLEX SLIP-IN INLINE CHECK VALVE MANUFACTURED BY TIDFLEX TECHNOLOGIES OR APPROVED EQUAL.

TIDE VALVE

NOT TO SCALE

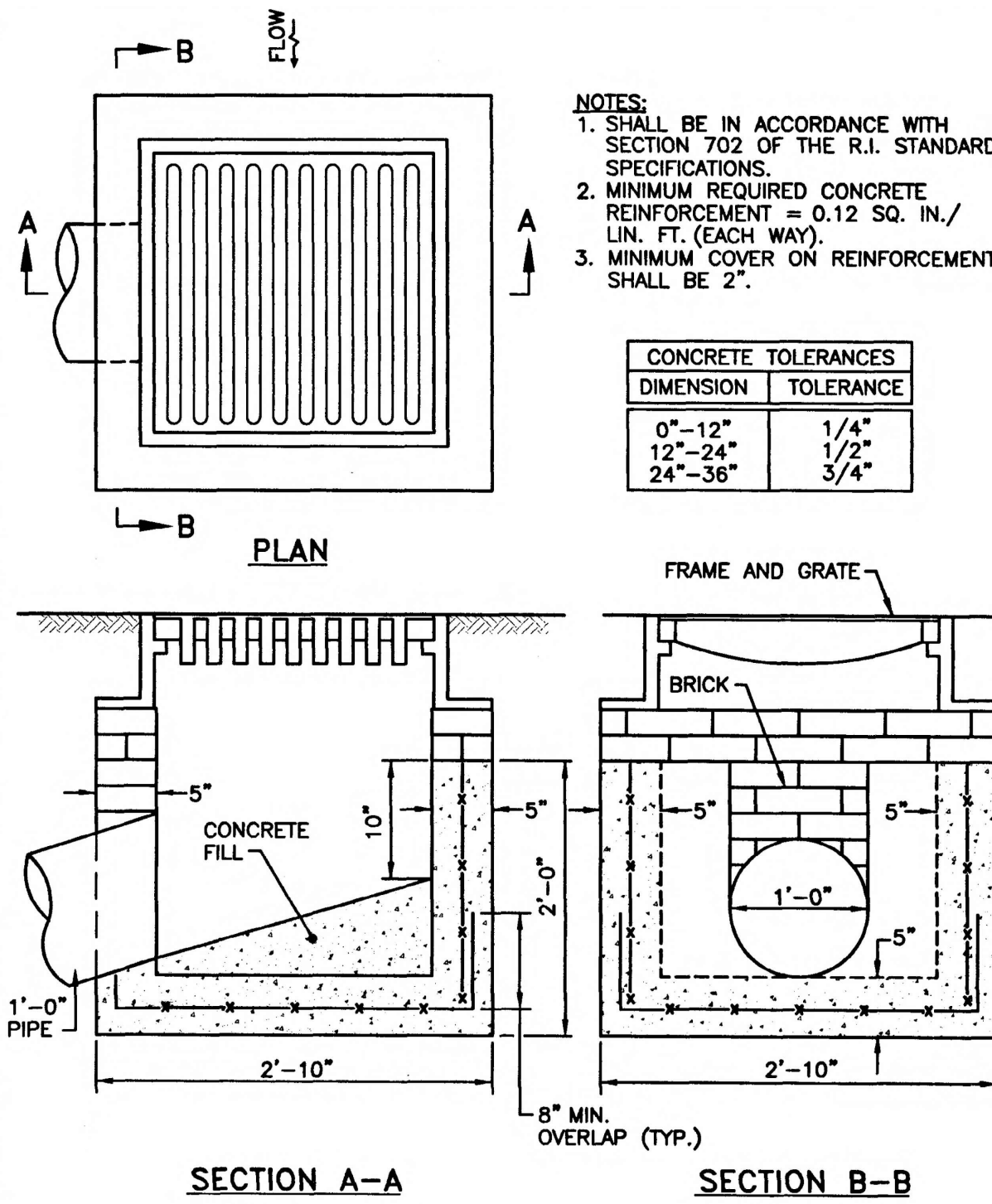
| DIA. | 15" |
|------|------|
| A | 6.5" |
| B | 10" |
| H | 6.5" |
| L | 25" |
| W | 29" |



- NOTES:
- SHALL BE MANUFACTURED WITH POLYETHYLENE RESINS AS DESCRIBED AND DEFINED IN ASTM D3350.
 - WHEN PROVIDED, THE METAL THREADED FASTENING ROD SHALL BE STAINLESS STEEL

HDPE FLARED END SECTION

NOT TO SCALE

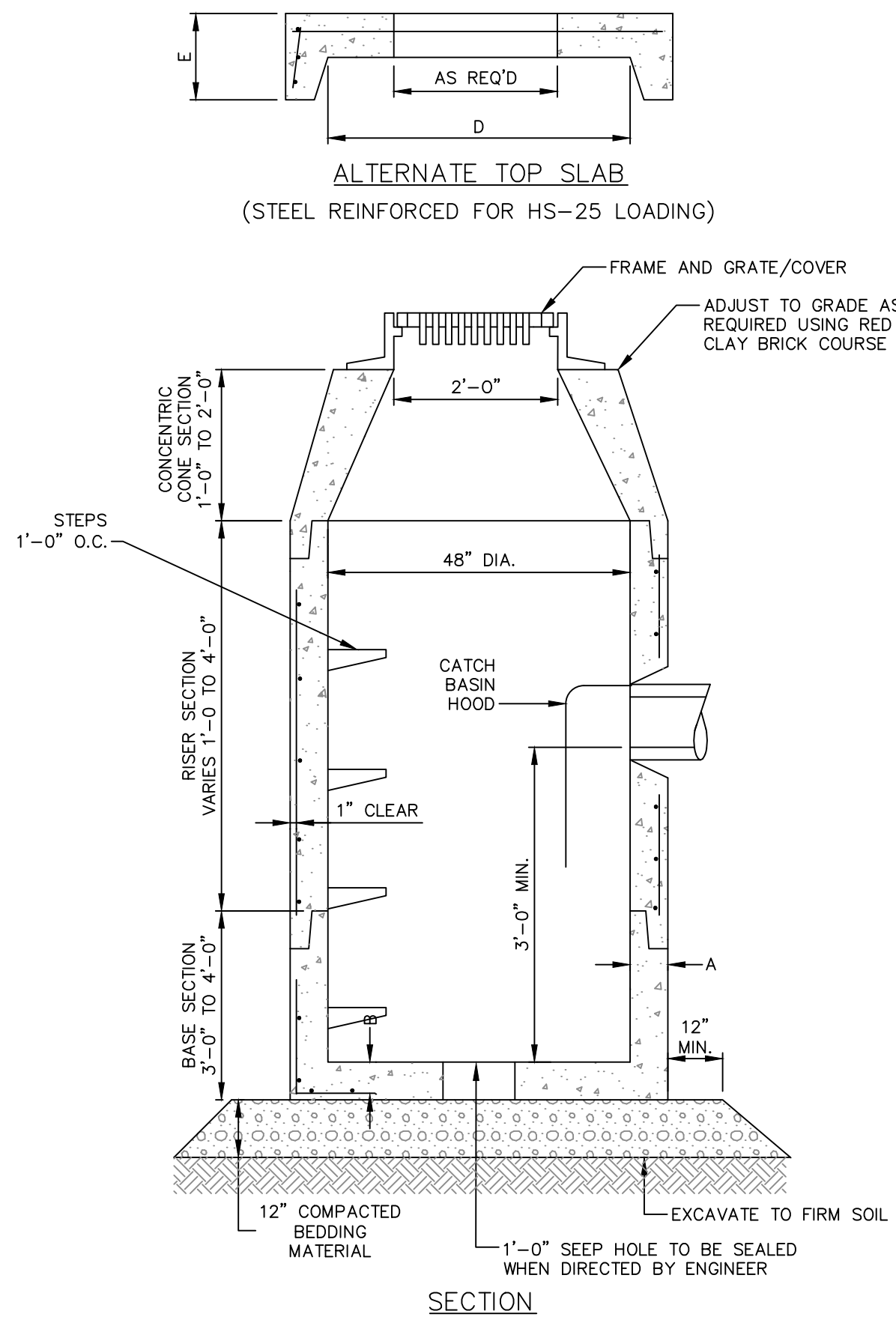


| CONCRETE TOLERANCES | |
|---------------------|-----------|
| DIMENSION | TOLERANCE |
| 0"-12" | 1/4" |
| 12"-24" | 1/2" |
| 24"-36" | 3/4" |

PRECAST CONCRETE DROP INLET

(R.I. STD. 4.5.0)

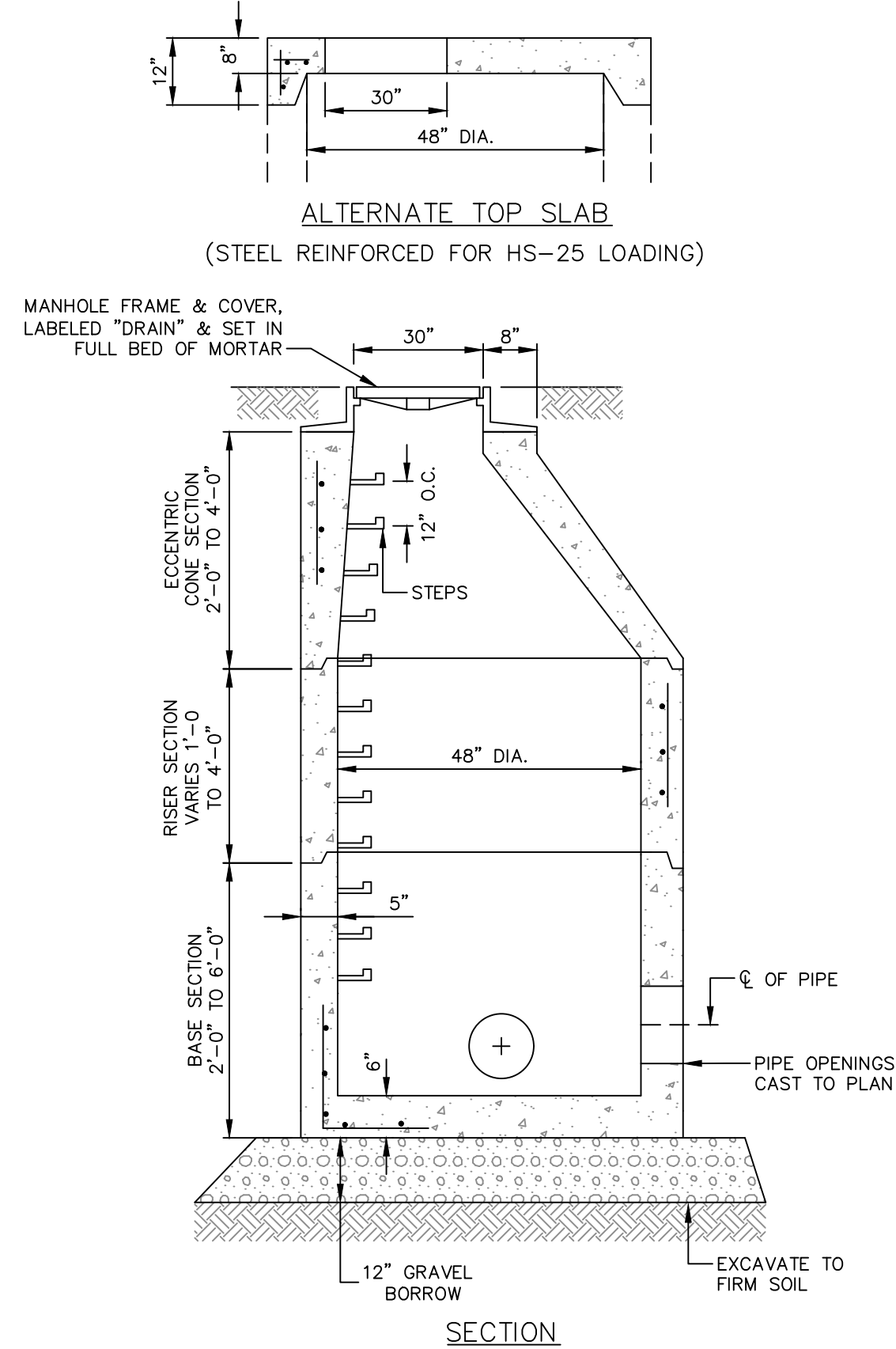
NOT TO SCALE



CATCH BASIN

NOT TO SCALE

- NOTES:
- FRAME AND GRATE SHALL BE R.I. STD. 6.3.0 OR APPROVED EQUAL.
 - INLET CATCH BASIN SHALL INCLUDE GRANITE APRON STONE PER PROVIDENCE STANDARD 7.3.7P, AND BE INSTALLED IN ACCORDANCE WITH INLET/APRON STONE REVEAL PER PROVIDENCE STANDARD 60.4.0P.
 - INLET CATCH BASIN SHALL HAVE 4' SUMP.
 - FRAMES SHALL BE SET IN FULL BED OF MORTAR. ADJUST TO GRADE WITH RED CLAY BRICKS AND MORTAR.
 - REINFORCING STEEL SHALL CONFORM TO ASTM A-185:
 - 0.12 SQ. IN./LIN. FT. CIRCUMFERENTIAL
 - 0.18 SQ. IN./FT. (BOTH WAYS) BASE BOTTOM
 - CONCRETE SHALL BE COMPRESSIVE STRENGTH 4,000 PSI TYPE II CEMENT.
 - ONE POUR MONOLITHIC BASE SECTION.
 - PROVIDE ASTM C923 RESILIENT CONNECTORS CAST OR FITTED INTO MANHOLE WALLS FOR EACH PIPE CONNECTION.
 - JOINT SEALANT SHALL BE PREFORMED BUTYL RUBBER MASTIC TYPE SEAL THAT COMPLIES WITH AASHTO M198 OR SYNTHETIC RUBBER GASKET THAT COMPLIES WITH ASTM C-443 OR C-361.
 - CATCH BASIN DESIGN SHALL CONFORM TO ASTM C-478 FOR "PRECAST REINFORCED CONCRETE MANHOLE" SECTION.
 - CATCH BASIN STEPS SHALL BE ASTM A 615/A615M, DEFORMED, 1/2-INCH STEEL REINFORCED RODS ENCASED IN ASTM D 4101, POLYPROPYLENE PLASTIC. THE CENTERLINE OF OPENING MUST BE WITHIN 2'-0" FROM STEPS.
 - ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.



- NOTES:
- FRAME AND COVER TO BE R.I. STD. 6.2.1 OR APPROVED EQUAL. LETTERING: "DRAIN"
 - FRAMES SHALL BE SET IN FULL BED OF MORTAR. ADJUST TO GRADE WITH RED CLAY BRICKS AND MORTAR.
 - REINFORCING STEEL SHALL CONFORM TO ASTM A-185:
 - 0.12 SQ. IN./LIN. FT. CIRCUMFERENTIAL
 - 0.18 SQ. IN./FT. (BOTH WAYS) BASE BOTTOM
 - CONCRETE SHALL BE COMPRESSIVE STRENGTH 4,000 PSI TYPE II CEMENT.
 - ONE POUR MONOLITHIC BASE SECTION.
 - PROVIDE ASTM C923 RESILIENT CONNECTORS CAST OR FITTED INTO MANHOLE WALLS FOR EACH PIPE CONNECTION.
 - JOINT SEALANT SHALL BE PREFORMED BUTYL RUBBER MASTIC TYPE SEAL THAT COMPLIES WITH AASHTO M198 OR SYNTHETIC RUBBER GASKET THAT COMPLIES WITH ASTM C-443 OR C-361.
 - MANHOLE DESIGN SHALL CONFORM TO ASTM C-478 FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."
 - MANHOLE STEPS SHALL BE ASTM A 615/A615M, DEFORMED, 1/2-INCH STEEL REINFORCED RODS ENCASED IN ASTM D 4101, POLYPROPYLENE PLASTIC. THE CENTERLINE OF OPENING MUST BE WITHIN 2'-0" FROM STEPS.
 - ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 - INVERT CONSTRUCTED OF BRICK OR CEMENT CONCRETE, CLASS D.

DRAIN MANHOLE

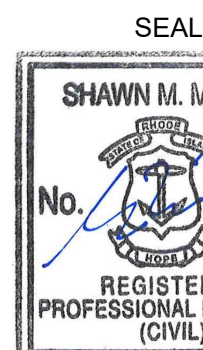
NOT TO SCALE

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

| No. | DATE | DESCRIPTION | DESIGNER | REVIEWER |
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| 4 | 5/19/23 | RESPONSE TO TRC AND PARE COMMENTS | KLM/MH | SMM |
| 3 | 3/27/23 | PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS | KLM | SMM |

SEAL



SEAL

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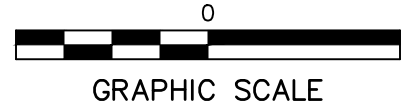
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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

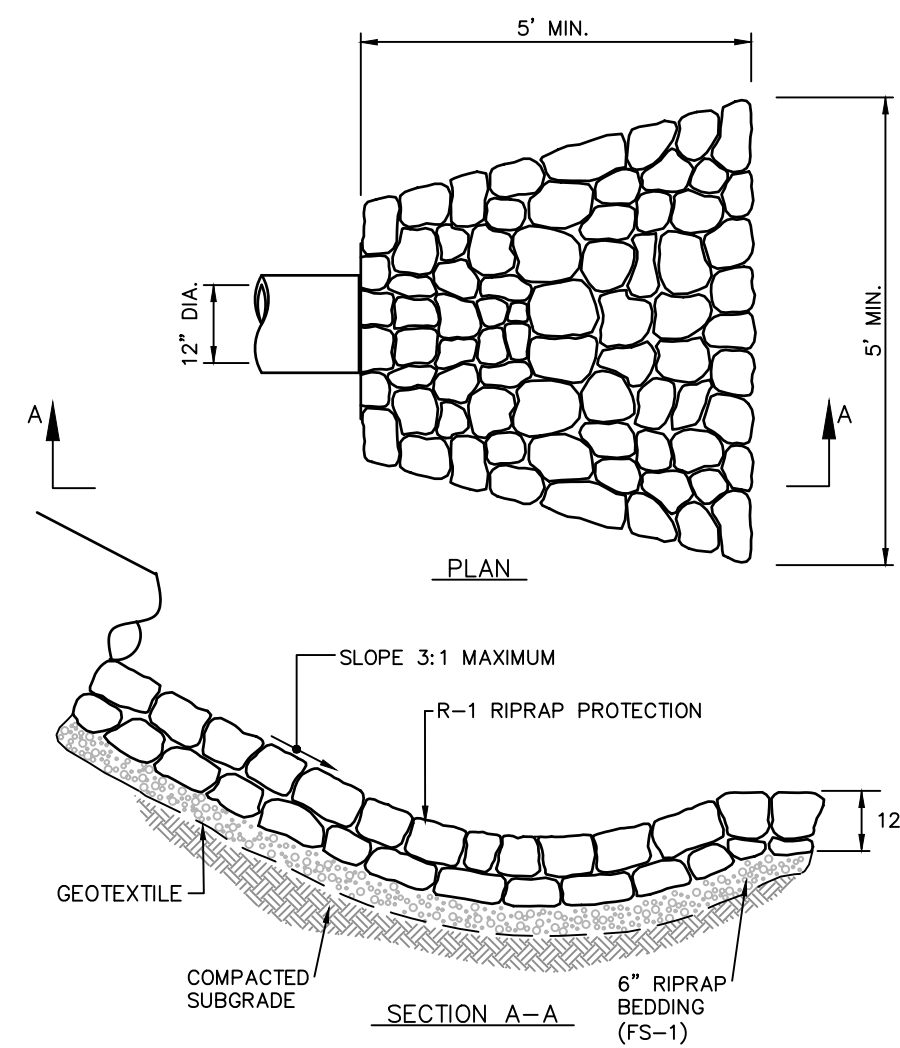
125 THAMES STREET

BRISTOL, RHODE ISLAND

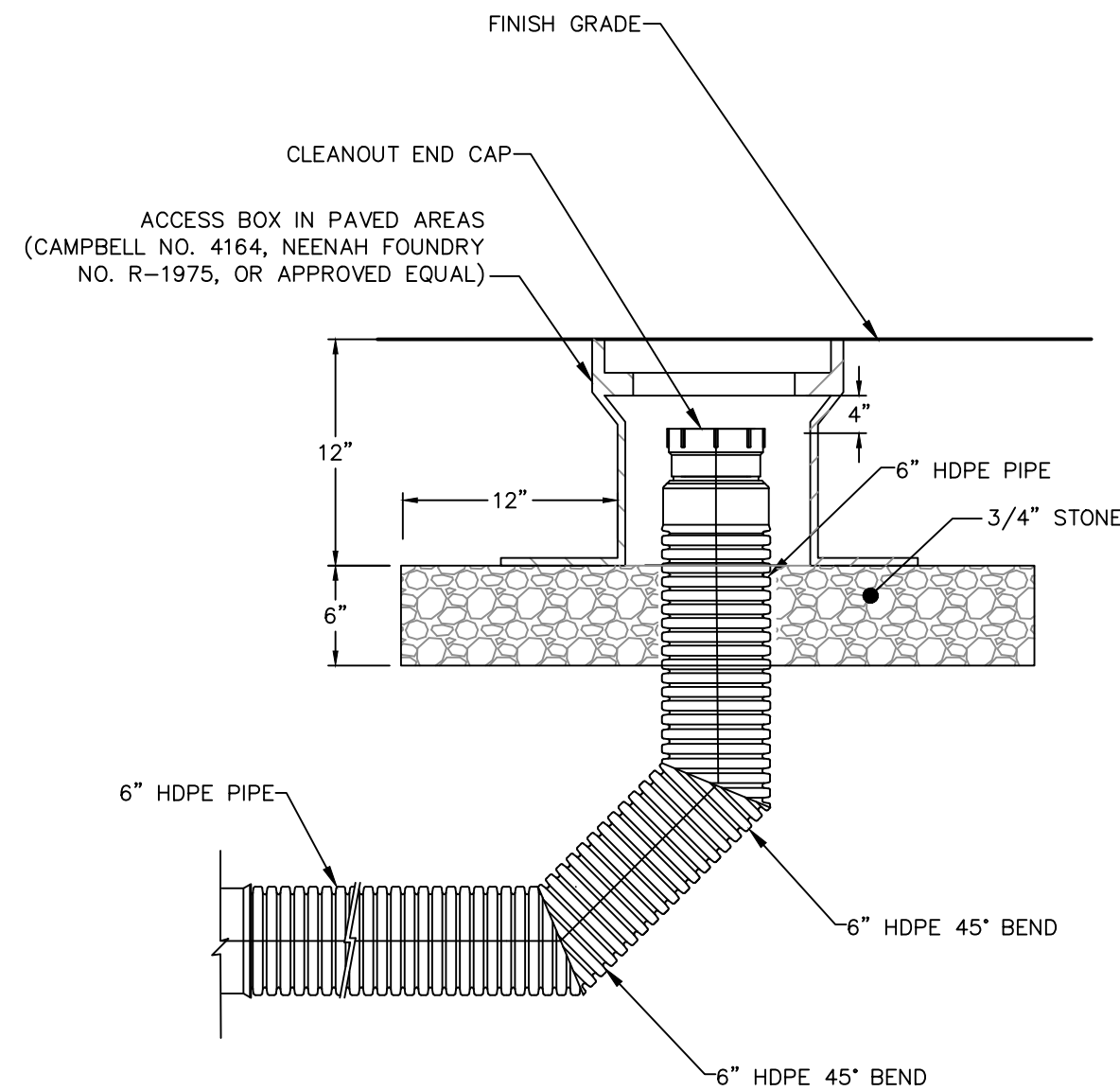
PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

CD-504

SHEET 19 OF 28

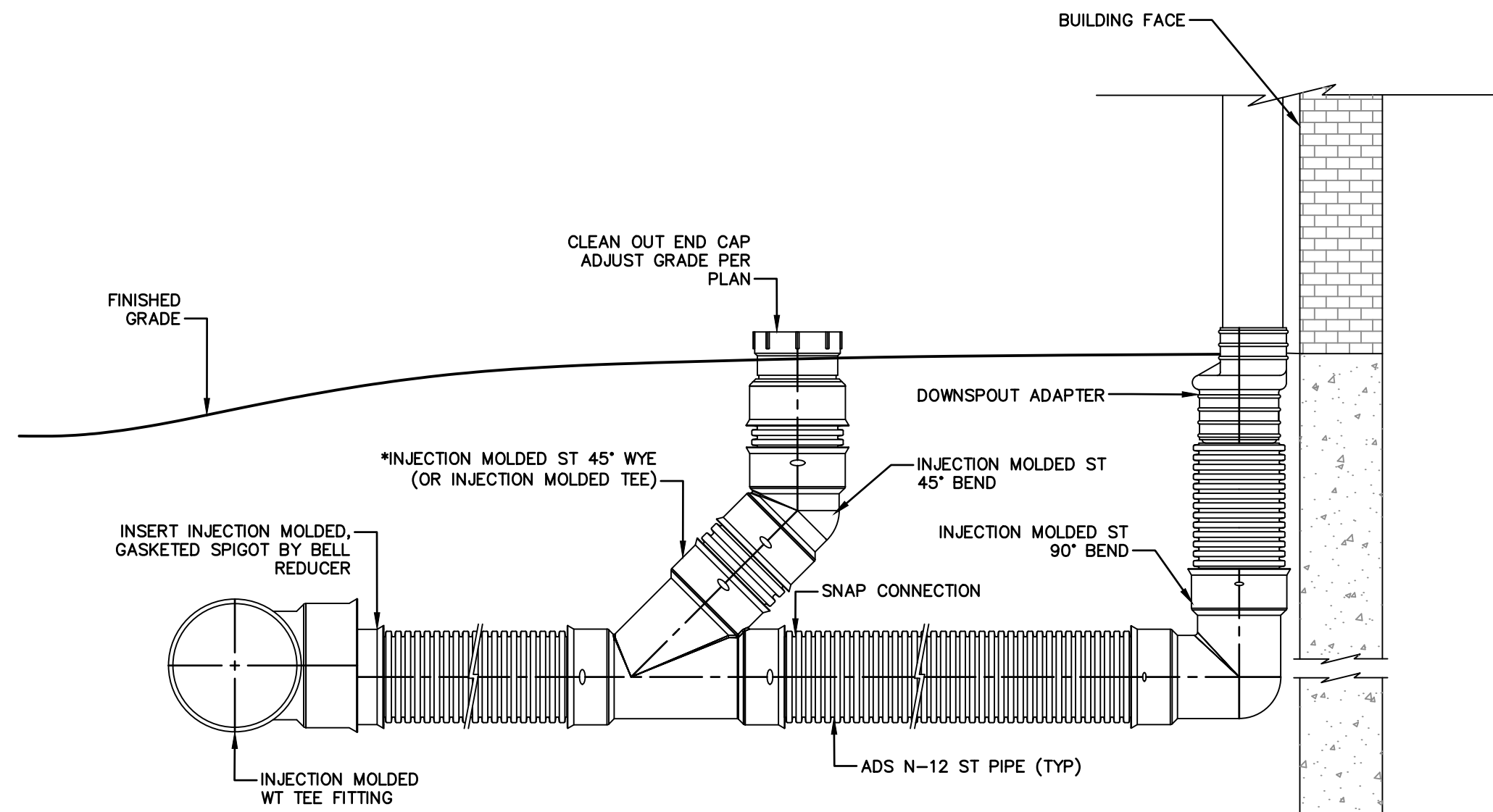


RIPRAP SPLASH PAD
NOT TO SCALE

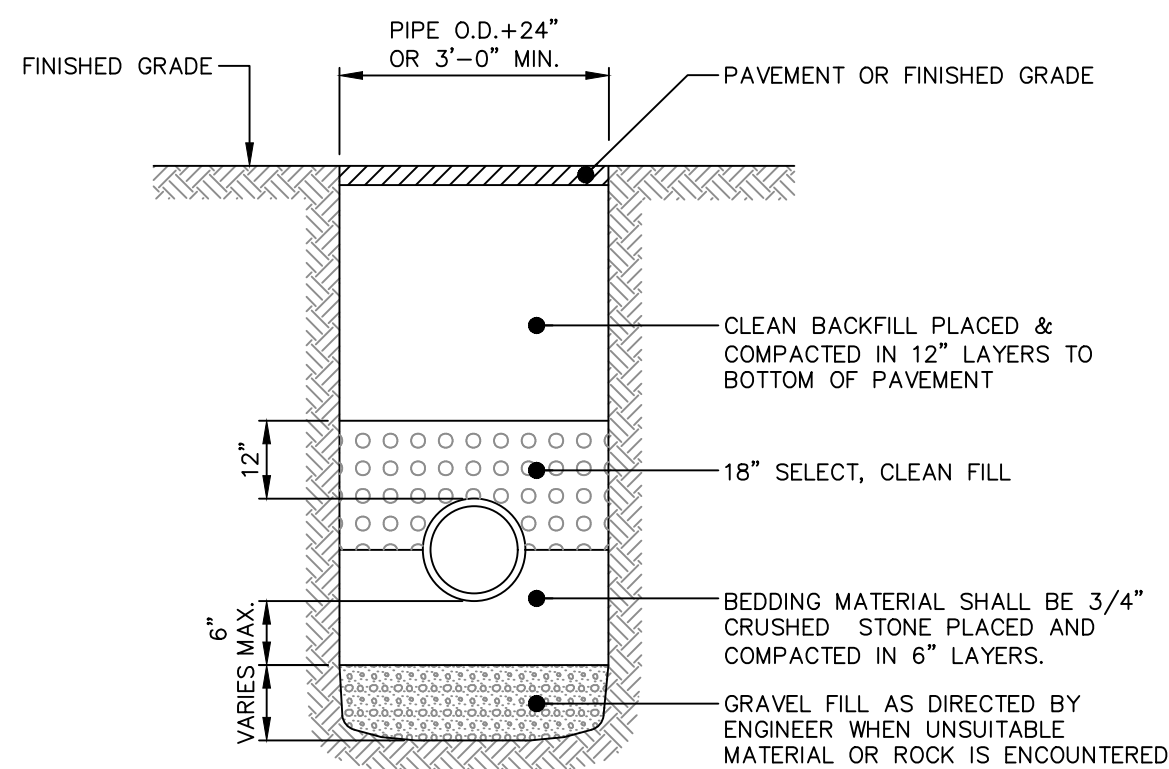


- NOTE:
1. IN UNPAVED AREAS, CLEANOUT CAP SHALL BE BURIED 3 INCHES.
 2. ACCESS BOX IN PAVED AREAS SHALL HAVE 9.5" SOLID COVER WITH LETTERING "CLEANOUT".
 3. IN-LINE CLEANOUTS SHALL HAVE TEE WYE IN LIEU OF TWO 45 DEGREE BENDS.

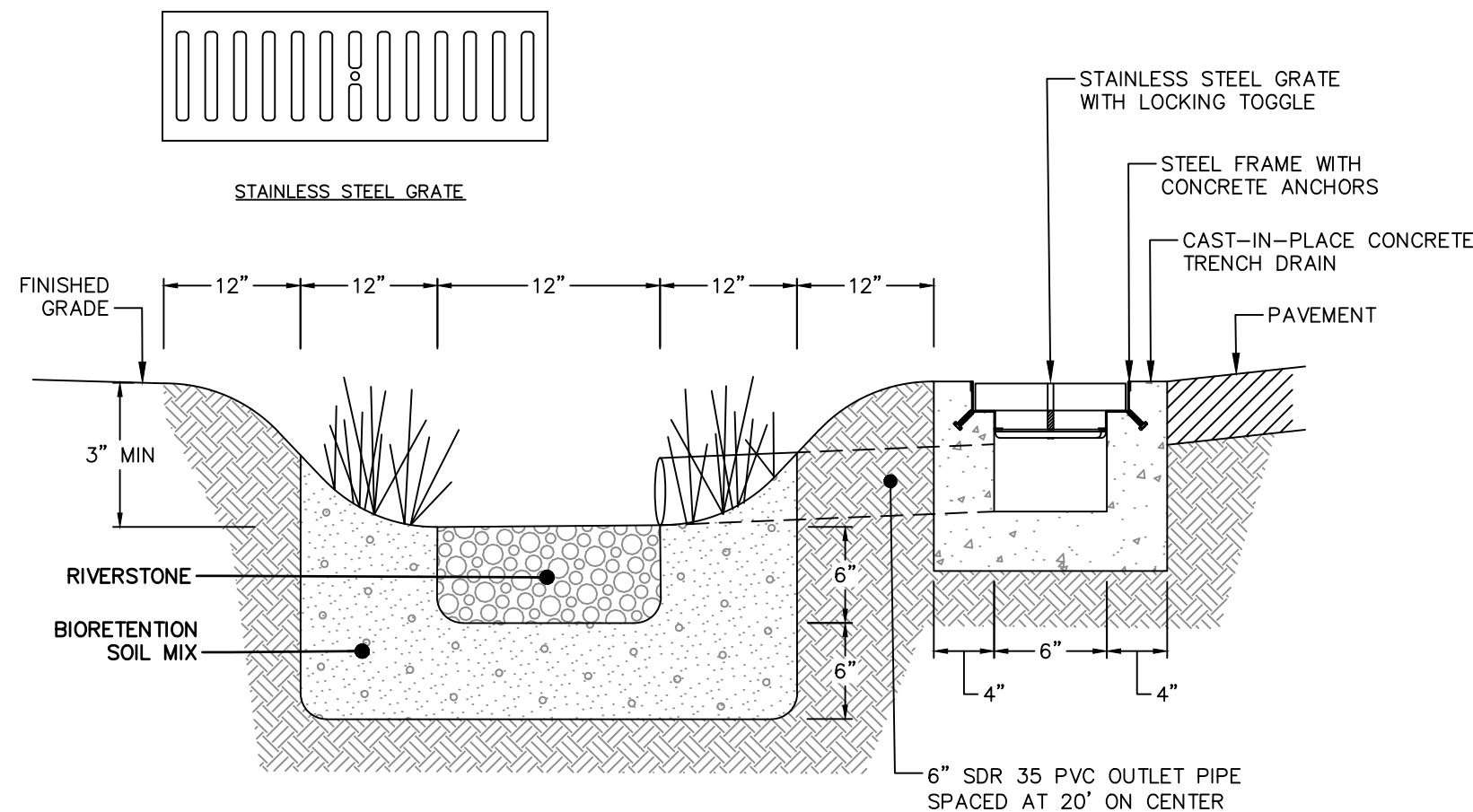
STORM DRAIN CLEANOUT
NOT TO SCALE



DOWNSPOUT CONNECTION
NOT TO SCALE

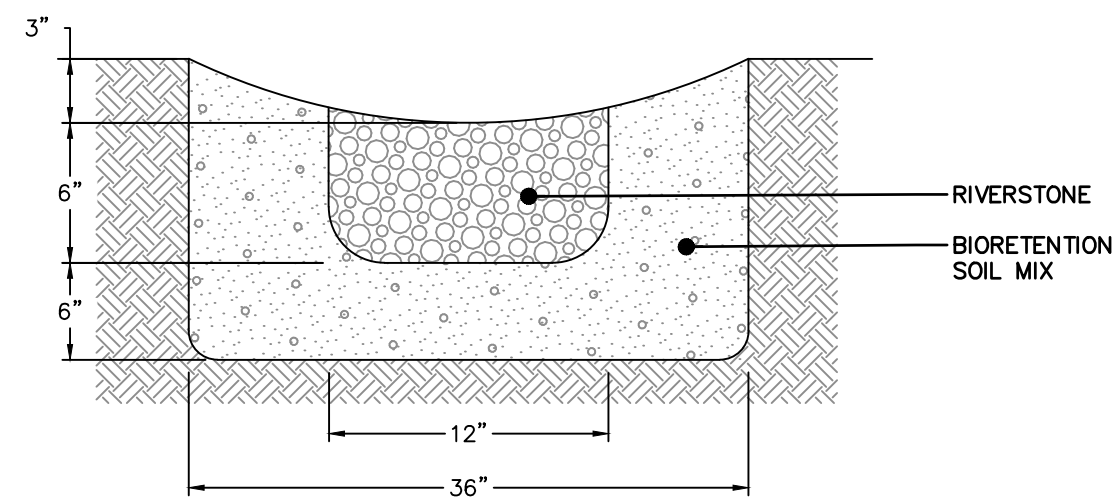


STORM DRAIN TRENCH
NOT TO SCALE



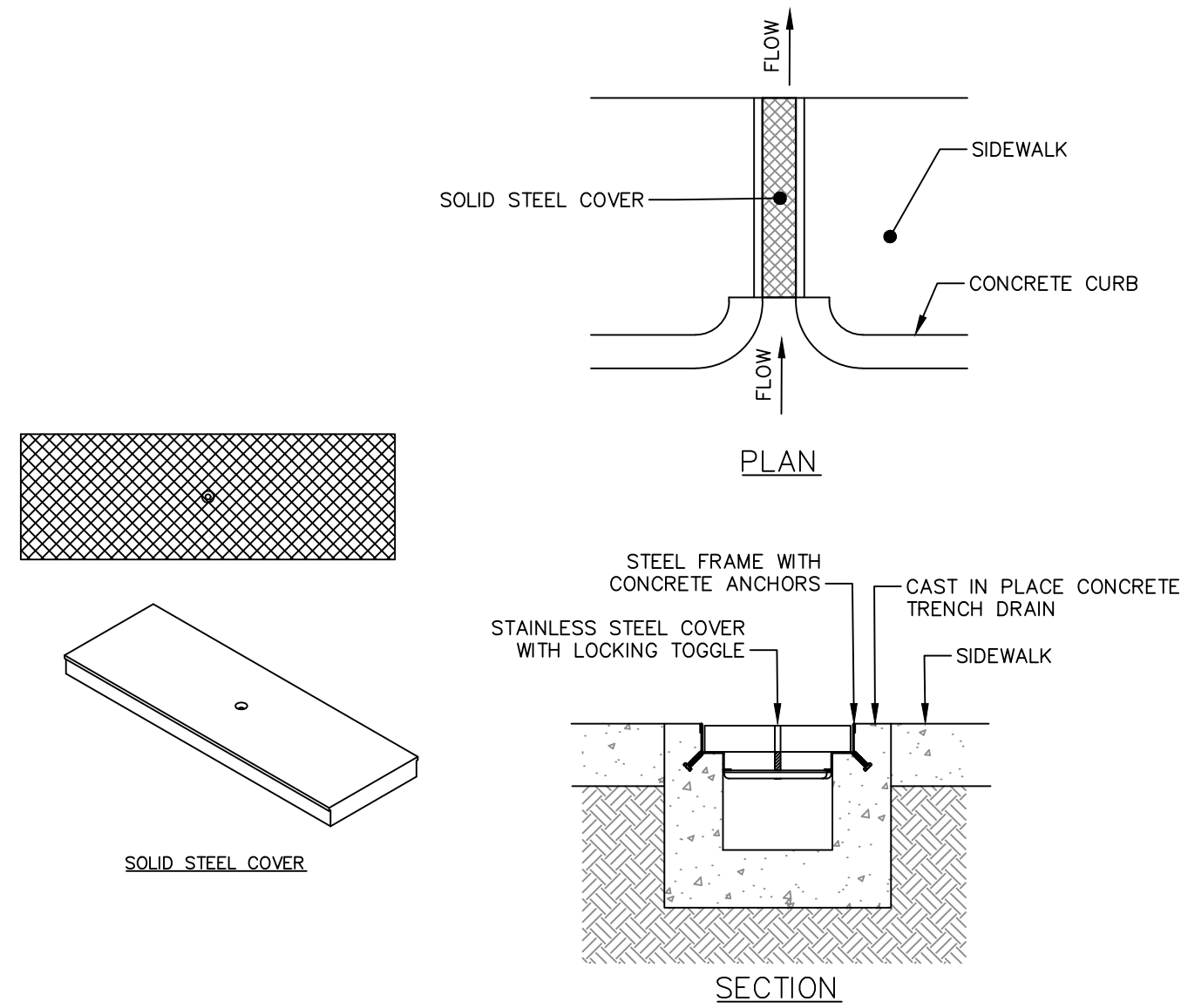
- NOTE:
- SEASONAL HIGH GROUNDWATER TABLE (SHGW) ELEVATION IS APPROXIMATELY 5.5'. BOTTOM OF CHANNEL SHALL BE LOCATED AT OR ABOVE SHGW.

STONE CHANNEL 1
NOT TO SCALE



- NOTE:
- SEASONAL HIGH GROUNDWATER TABLE (SHGW) ELEVATION IS APPROXIMATELY 5.5'. BOTTOM OF CHANNEL SHALL BE LOCATED AT OR ABOVE SHGW.

STONE CHANNEL 2
NOT TO SCALE



TRENCH DRAIN (SOLID COVER)
NOT TO SCALE

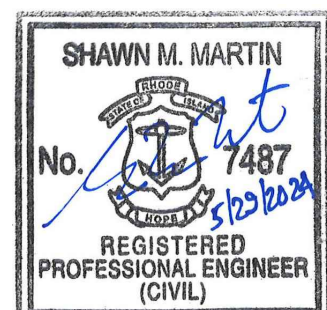
PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

| | | | | |
|-----|------------|--|----------|----------|
| 11 | 5/29/2024 | REISSUE FINAL PLAN | KLM | SMM |
| 10 | 3/6/2024 | RESPONSE TO CRMC COMMENTS | KLM | SMM |
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| 4 | 5/19/23 | RESPONSE TO TRC AND PARE COMMENTS | KLM/MH | SMM |
| 3 | 3/27/23 | PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS | KLM | SMM |
| No. | DATE | DESCRIPTION | DESIGNER | REVIEWER |

SEAL

SEAL



SCALE:

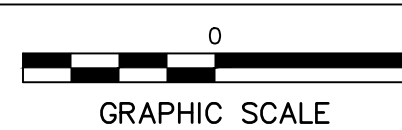
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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

125 THAMES STREET

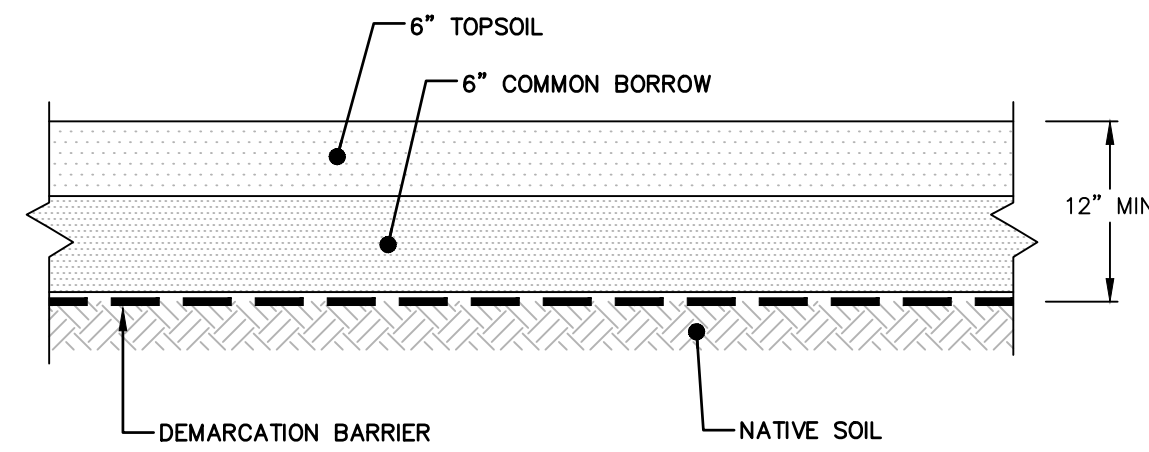
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22

DATE: DECEMBER 6, 2022

CD-505

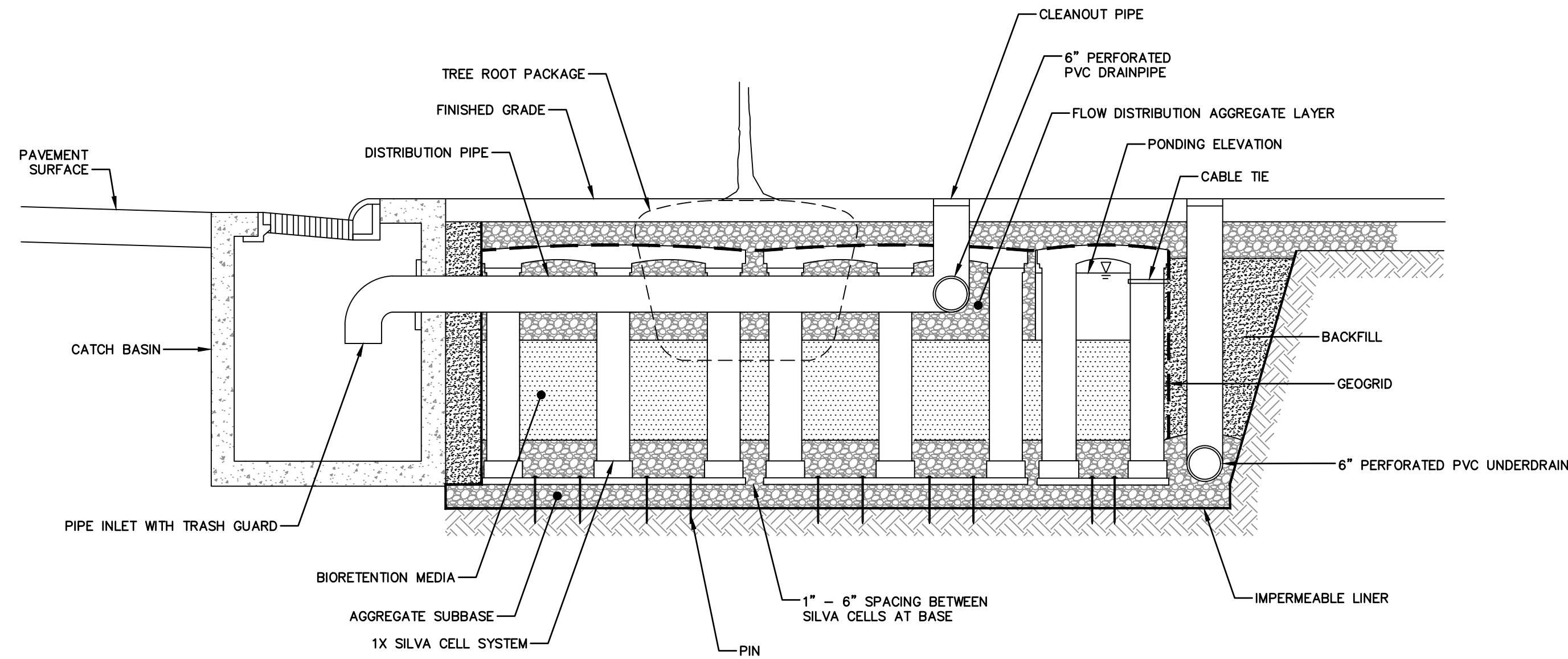
SHEET 20 OF 28

**NOTES:**

- IMPORTED CLEAN SOIL MUST BE LABORATORY TESTED TO DEMONSTRATE COMPLIANCE WITH THE REMEDIAL ACTION WORK PLAN.
- REUSE TOPSOIL ON-SITE. VERIFY SUITABILITY OF STOCKPILED TOPSOIL TO PRODUCE LOAM. CLEAN TOPSOIL OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
- 2.1. SUPPLEMENT WITH IMPORTED OR MANUFACTURED LOAM FROM OFF-SITE. SOURCES WHEN QUANTITIES ARE INSUFFICIENT, OBTAIN TOPSOIL DISPLACED FROM NATURALLY WELL-DRAINED CONSTRUCTION OR MINING SITES WHERE TOPSOIL OCCURS AT LEAST 4 INCHES DEEP.
- LOAM OR RESPREAD TOPSOIL SHALL CONFORM TO ASTM D5268, WITH PH BETWEEN 5.5 AND 7, A MINIMUM OF 6 PERCENT ORGANIC MATERIAL CONTENT, FREE OF STONES 1 INCH OR LARGER AND FREE OF OTHER EXTRANEOUS MATERIALS. SHALL NOT BE OBTAINED FROM AGRICULTURAL LAND, BOGS, OR MARSHES.
- ALL SURFACED AREAS OR DISTURBED AREAS NOT SPECIFIED ON THE PLANS SHALL RECEIVE 4 INCHES OF LOAM OR RESPREAD TOPSOIL, SEED, MULCH, AND BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- CLEAN SOIL SHALL ONLY BE IMPORTED WHERE CURRENT CAP MATERIAL DOES NOT MEET CAP REQUIREMENT OF 24-INCHES.
- SEE LANDSCAPE PLANS FOR FINISH SURFACE TREATMENTS.
- SOIL CAP IS REQUIRED FOR ANY LANDSCAPED AREAS ON THE MILL LOT SITE INCLUDING PLAT 10, LOTS 42, 60, 61, 62, AND 73.

SOIL CAP

NOT TO SCALE

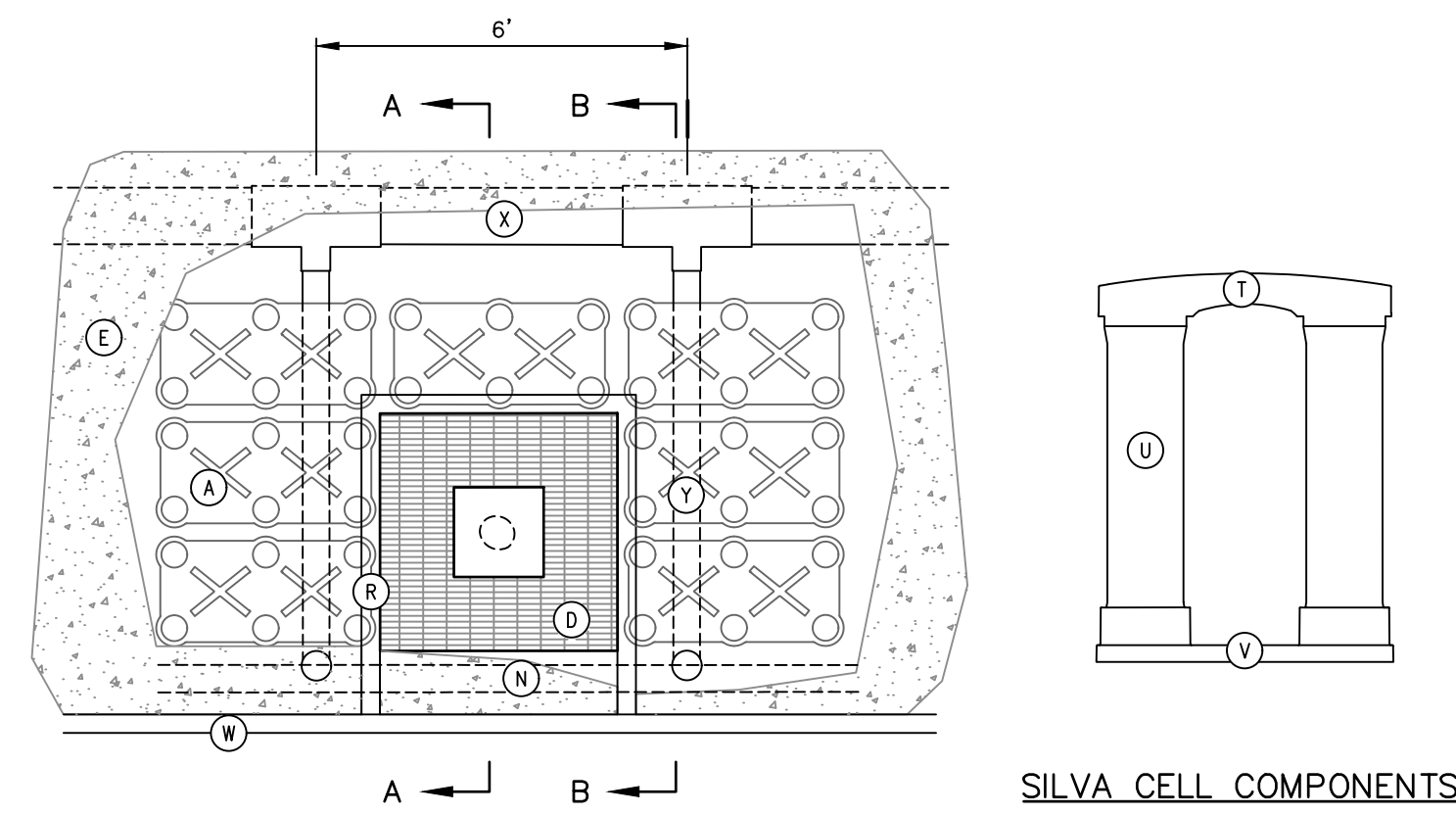


TREE FILTER 1 & 2

NOT TO SCALE

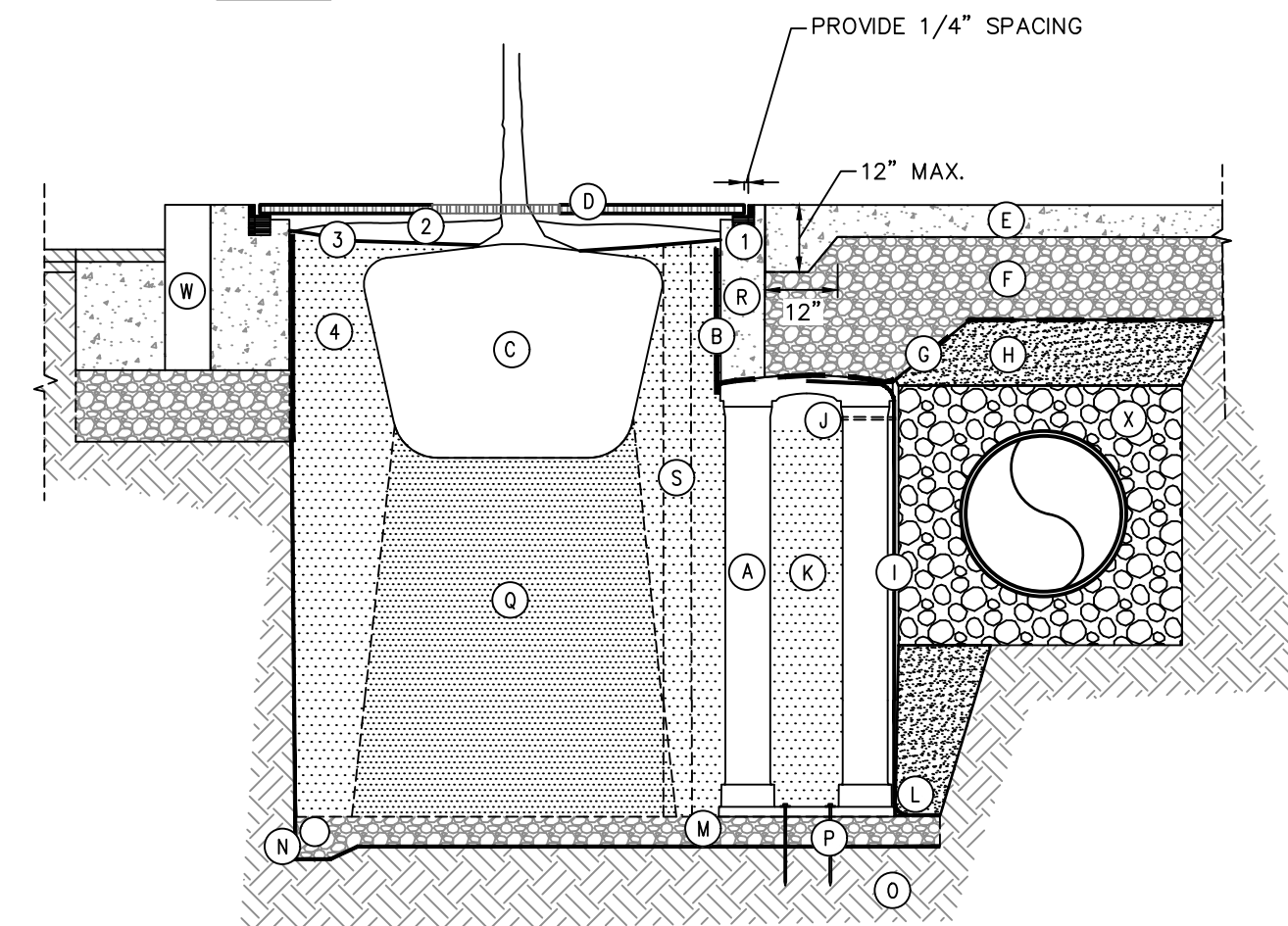
PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE _____ DATE _____

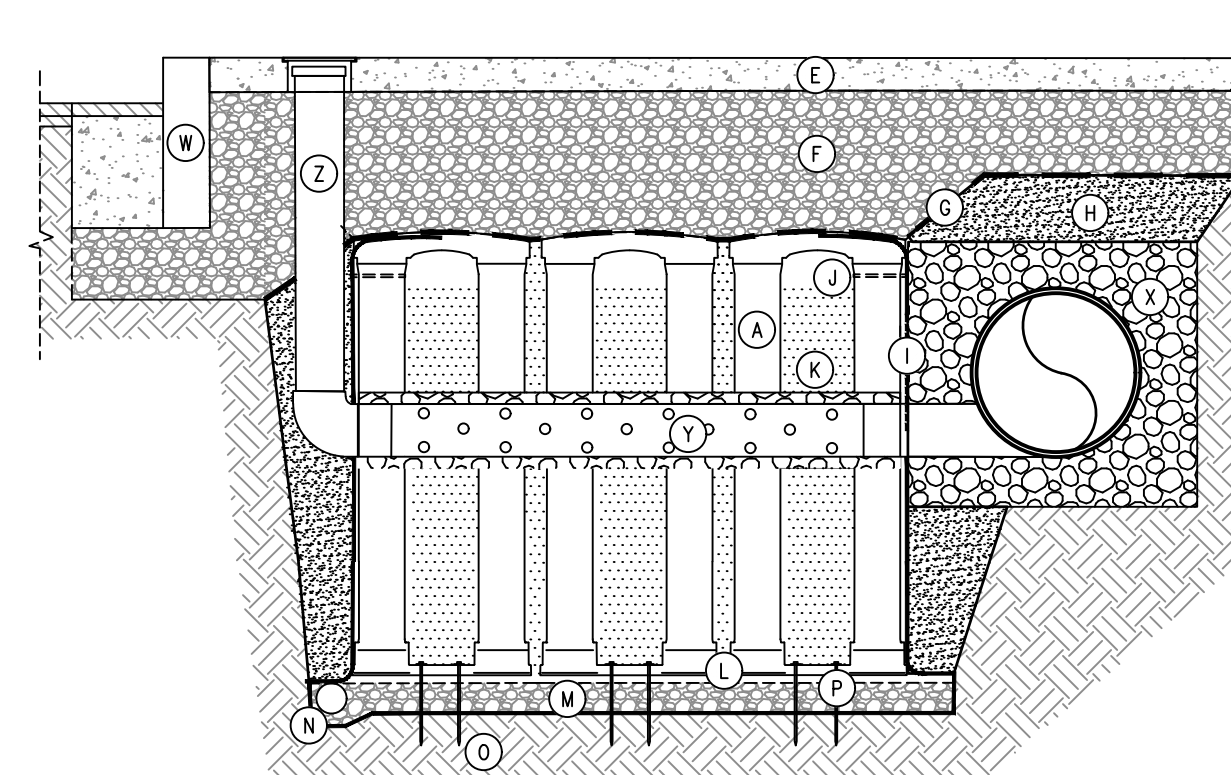


SILVA CELL COMPONENTS

PLAN



SECTION A-A



SECTION B-B

KEY PLAN

- SILVA CELL 2 SYSTEM (DECK, BASE, AND POSTS).
- DEEPROOT ROOT BARRIER DEEPROOT ROOT BARRIER INSTALLED TO A DEPTH 18 INCHES BELOW TOP OF TREE PIT.
- TREE ROOT PACKAGE, SIZE VARIES. REMOVE ALL TWINE & STRAPS. CUT AND REMOVE BURLAP AND WIRE CAGE FROM TOP 1/2 OF BALL. REMOVE ALL SYNTHETIC MATERIALS.
- TREE GRATE ASSEMBLY WITH CONCRETE ANCHOR.
- EXPOSED AGGREGATE CONCRETE SIDEWALK WITH HAUNCHED EDGE
- GRAVEL BORROW COURSE. GRAVEL BORROW, 18-INCH DEPTH ABOVE SILVA CELLS. TRANSITION TO STANDARD GRAVEL BORROW DEPTH PER CONCRETE SIDEWALK DETAIL.
- GEOTEXTILE TO EDGE OF EXCAVATION.
- BACKFILL, TO WITHIN 4-6" BELOW TOP OF SILVA CELL DECKS. INSTALL IN 8" LIFTS, EACH COMPACTED TO 95% MODIFIED PROCTOR.
- IMPERMEABLE LINER.
- CABLE TIE, ATTACHING GEOGRID TO SILVA CELL AT BASE OF UPPER POST FLARE.
- PLANTING SOIL TO 7" BELOW DECK, MANUALLY COMPACTED TO APPROXIMATE 70% MODIFIED PROTOR.
- 1" - 6" SPACING BETWEEN SILVA CELLS AT BASE.
- 4" MIN. GRAVEL BORROW, COMPACTED TO 95% MODIFIER MODIFIED PROCTOR.
- 6" PERFORATED PVC UNDERDRAIN PIPE, 0.0 FT/FT SLOPE.
- SUBGRADE, COMPACTED TO 95% MODIFIED PROCTOR.
- PIN, PER SILVA CELL SPECIFICATIONS, TO KEEP CELLS IN PLACE DURING CONSTRUCTION.
- PLANTING SOIL BELOW TREE ROOT PACKAGE, COMPACTED TO 85-90% MODIFIED PROCTOR.
- 18-INCH CAST-IN-PLACE CONCRETE CURB TO STABILIZE EDGE AND PREVENT AGGREGATE MIGRATION INTO TREE OPENING.
- 4" PERFORATED PVC INSPECTION RISER TO PROVIDE FOR MONITORING OF SOIL MOISTURE.
- SILVA CELL DECK
- SILVA CELL POST
- SILVA CELL BASE
- 18-INCH GRANITE CURB IN EXISTING PAVEMENT
- 18" X 6" HDPE MANIFOLD, 0.0 FT/FT SLOPE, INSTALL PER STORM DRAIN TRENCH DETAIL.
- 6" PERFORATED PVC PIPE, 0.0 FT/FT SLOPE, ENCASED IN 3" OF CLEAN, WASHED, 1" DIAMETER CRUSHED STONE. PERFORATIONS MUST FACE DOWN.
- 6" SOLID PVC CLEANOUT, CAPPED, WITH ROUND, HEAVY-DUTY CAST IRON FRAME AND COVER.
- SQUARE FRAME FRAME SET IN CONTINUOUS 4"x6" CONCRETE RING. INSURE PROPER EQUAL SLOPES ON ALL SIDES TO PROVIDE CONSISTENT SEAT FOR TREE GRATES. VARIATIONS OR WOBBLING GRATES WILL NOT BE PERMITTED
- ORGANIC MULCH
- WEED BARRIER
- BACKFILL WITH PLANTING SOIL MIXTURE IN 9" LAYERS. WATER EACH LAYER UNTIL SETTLED. DO NOT TAMP. (SEE TREE PLANTING DETAILS)

TREE FILTER 3

NOT TO SCALE

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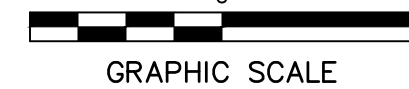
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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

125 THAMES STREET

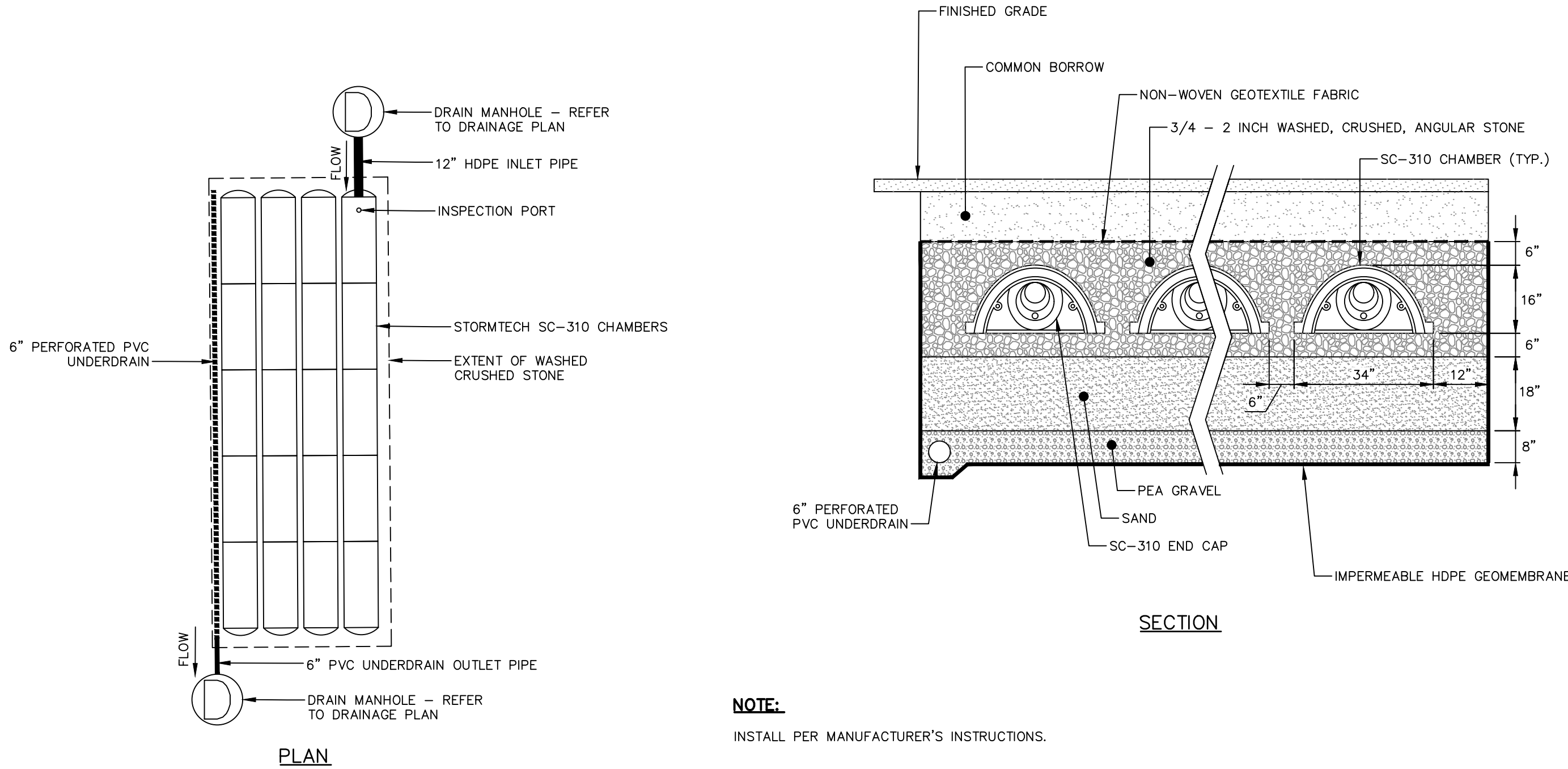
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

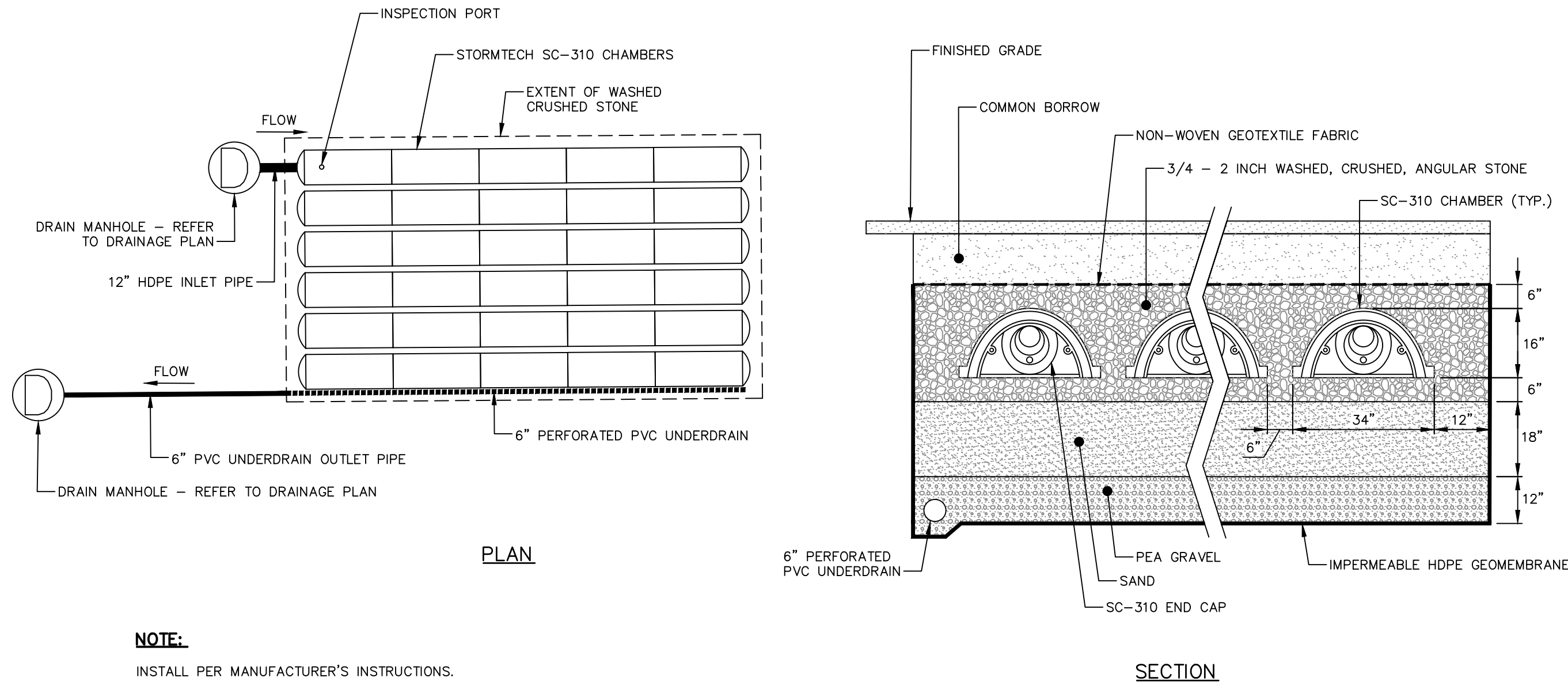
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SHEET 21 OF 28

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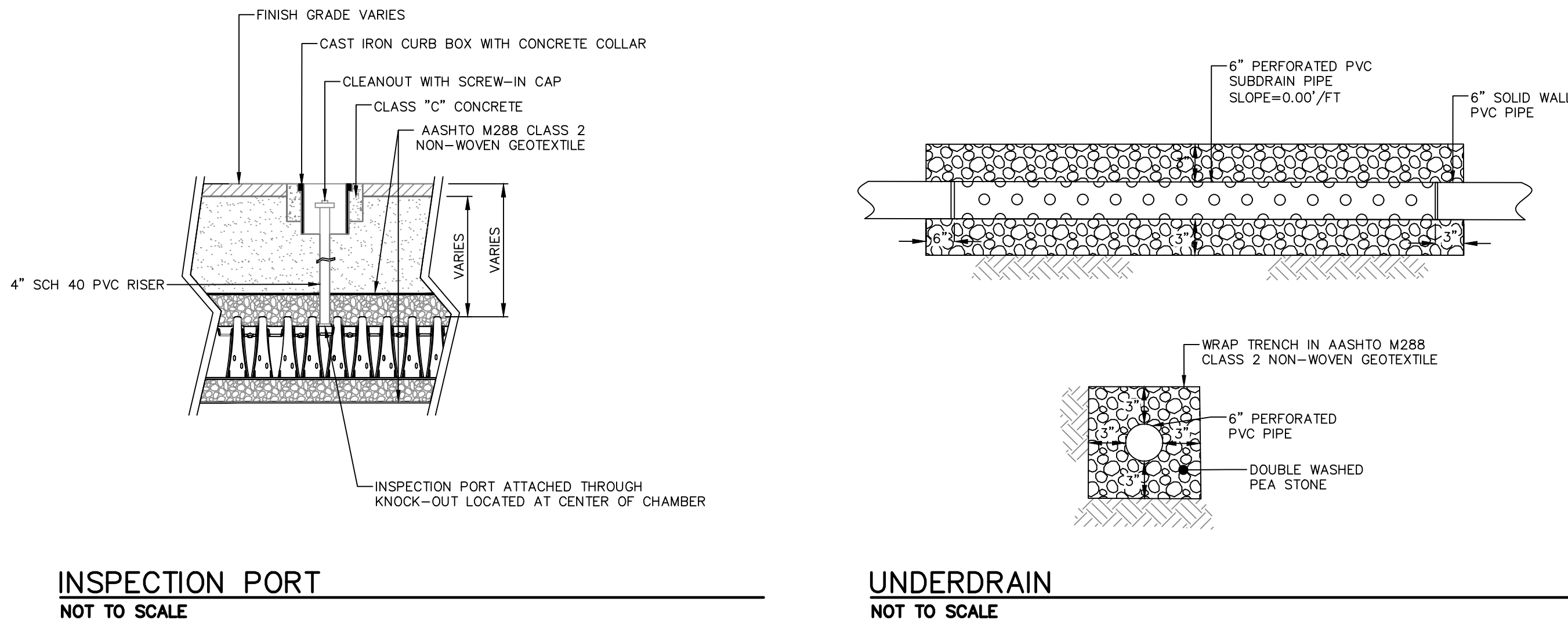
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SUBSURFACE FILTRATION SYSTEM 2
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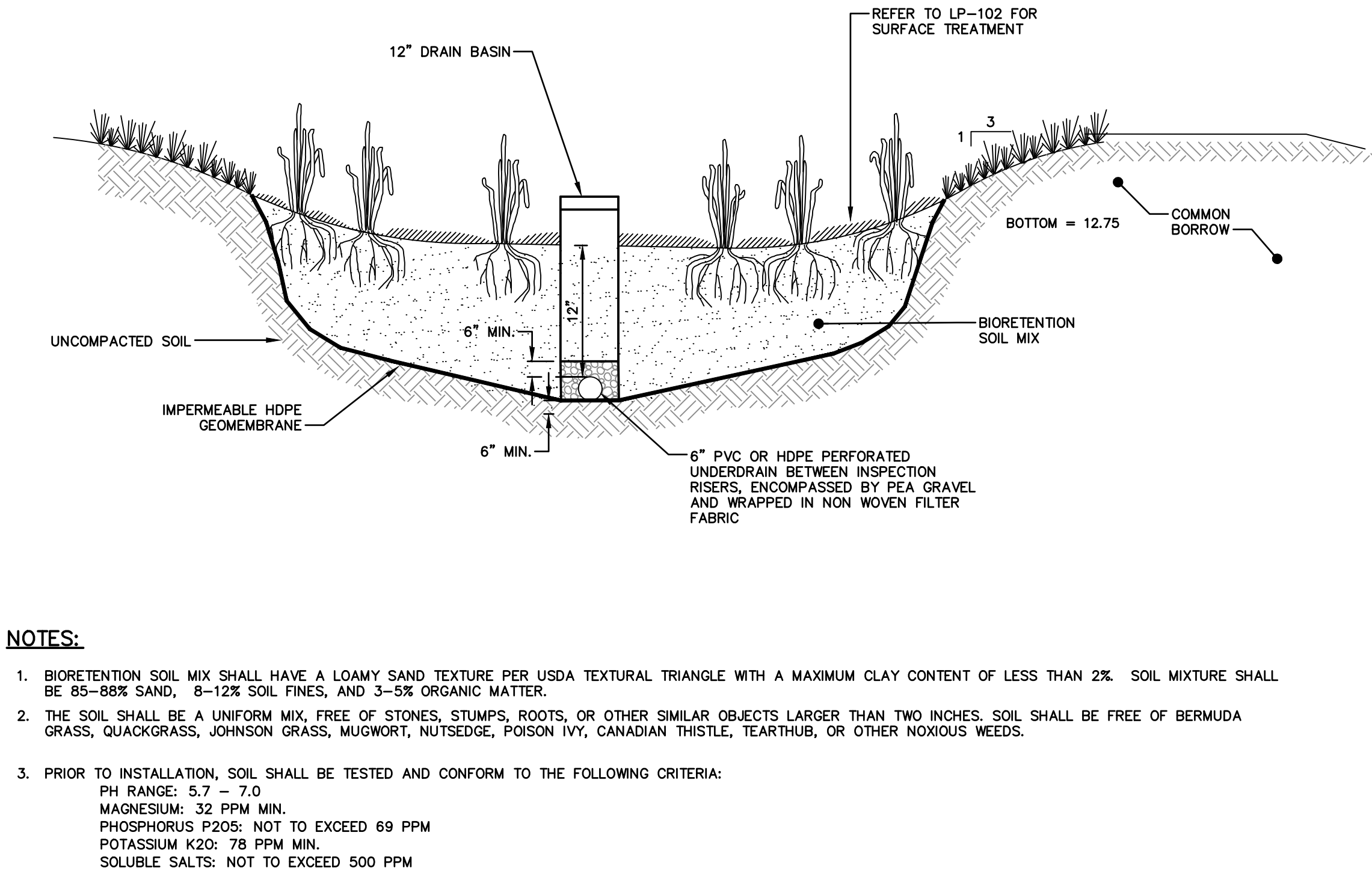
PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE



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NOT TO SCALE

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NOTES:

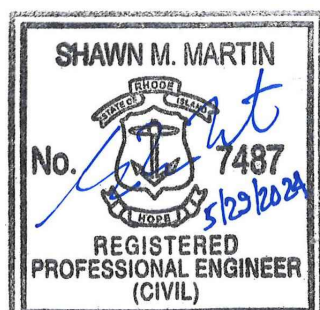
- BIORETENTION SOIL MIX SHALL HAVE A LOAMY SAND TEXTURE PER USDA TEXTURAL TRIANGLE WITH A MAXIMUM CLAY CONTENT OF LESS THAN 2% SOIL MIXTURE SHALL BE 85-88% SAND, 8-12% SOIL FINES, AND 3-5% ORGANIC MATTER.
- THE SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS, OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. SOIL SHALL BE FREE OF BERMUDA GRASS, QUACKGRASS, JOHNSON GRASS, MUGWORT, NUTSEDGE, POISON IVY, CANADIAN THISTLE, TEARHUB, OR OTHER NOXIOUS WEEDS.
- PRIOR TO INSTALLATION, SOIL SHALL BE TESTED AND CONFORM TO THE FOLLOWING CRITERIA:
PH RANGE: 5.7 - 7.0
MAGNESIUM: 32 PPM MIN.
PHOSPHORUS P205: NOT TO EXCEED 69 PPM
POTASSIUM K20: 78 PPM MIN.
SOLUBLE SALTS: NOT TO EXCEED 500 PPM

RAIN GARDEN
NOT TO SCALE

| | | | | |
|-----|------------|--|----------|----------|
| 11 | 5/29/2024 | REISSUE FINAL PLAN | KLM | SMM |
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| 8 | 11/10/2023 | RESPONSE TO BCWA COMMENTS | KLM | SMM |
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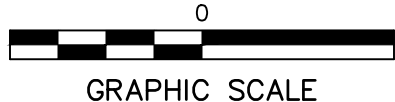
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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

125 THAMES STREET

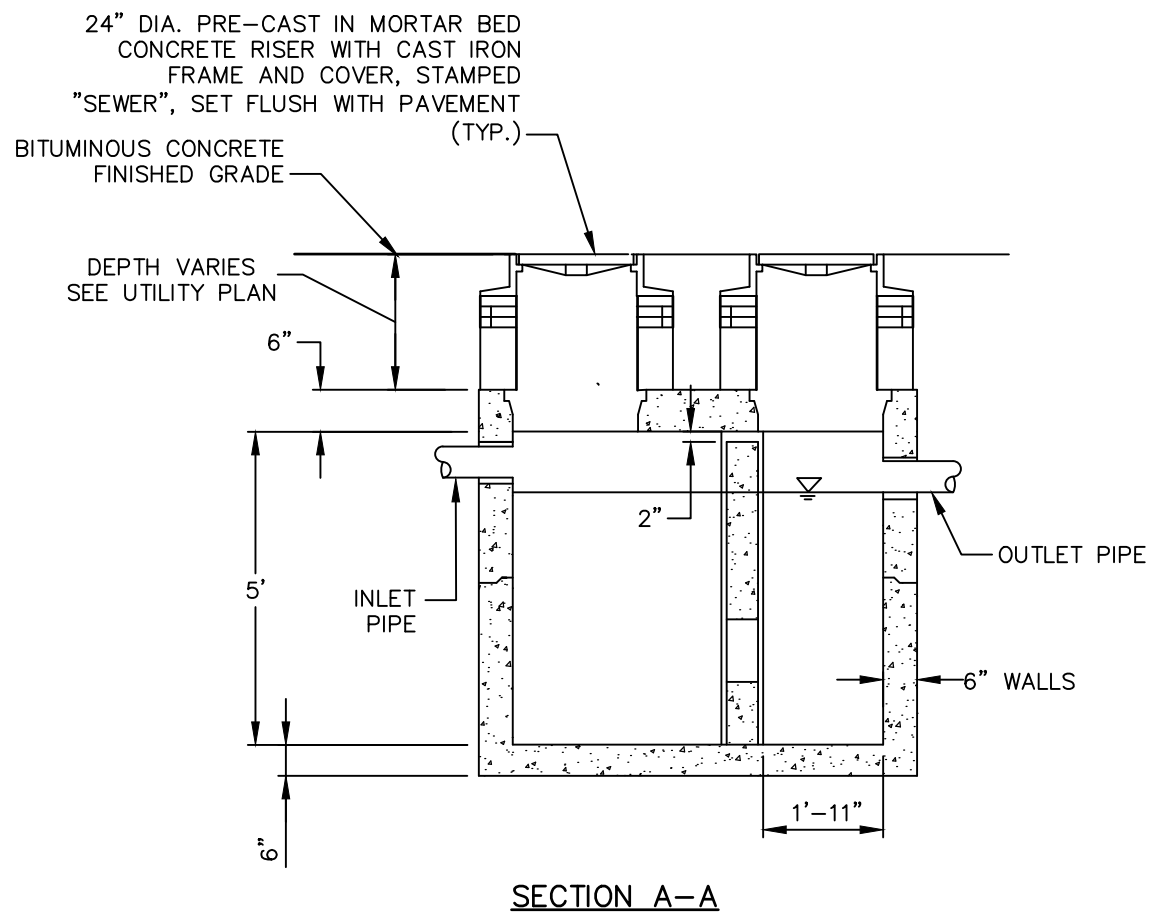
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

CD-507

SHEET 22 OF 28

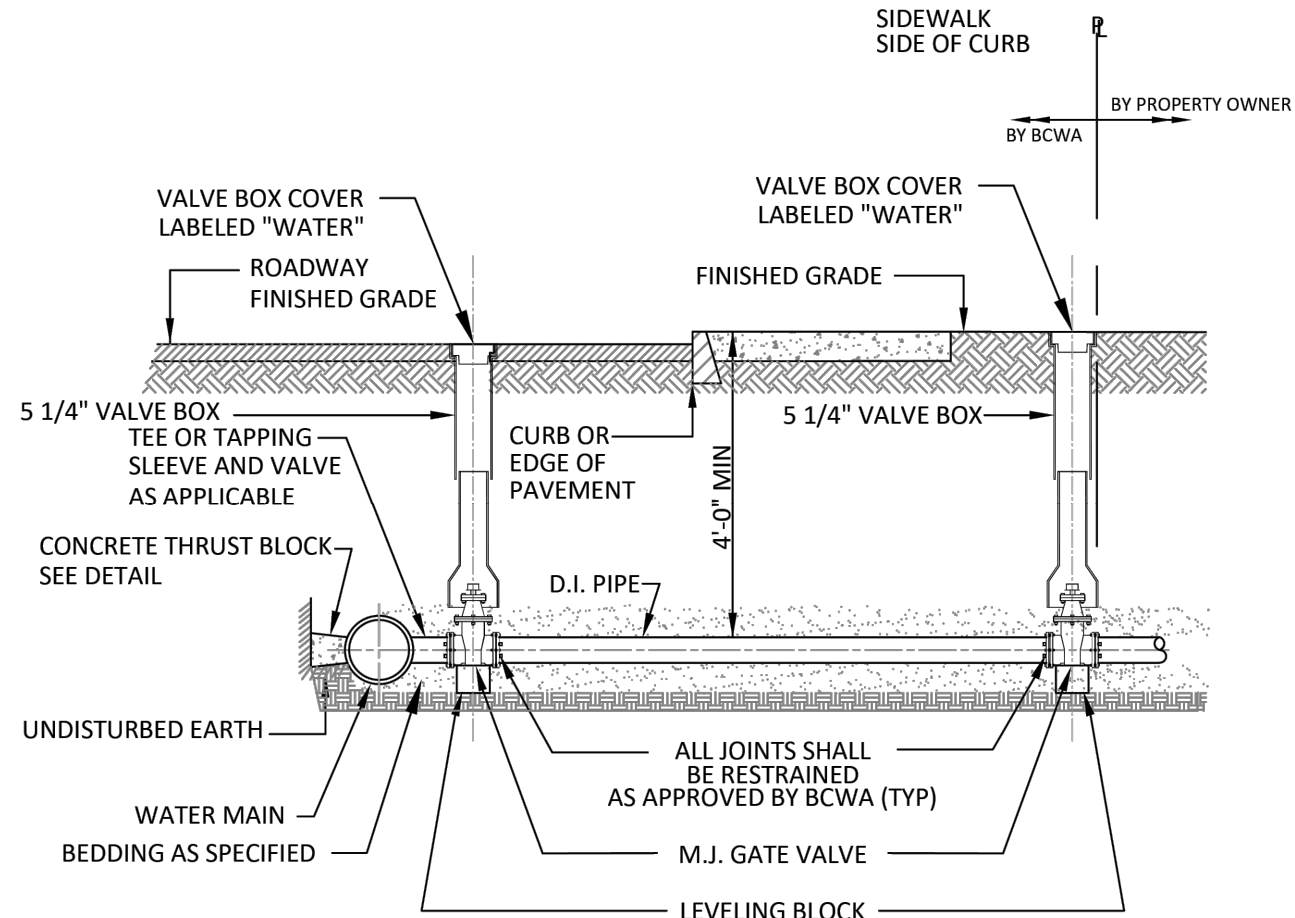
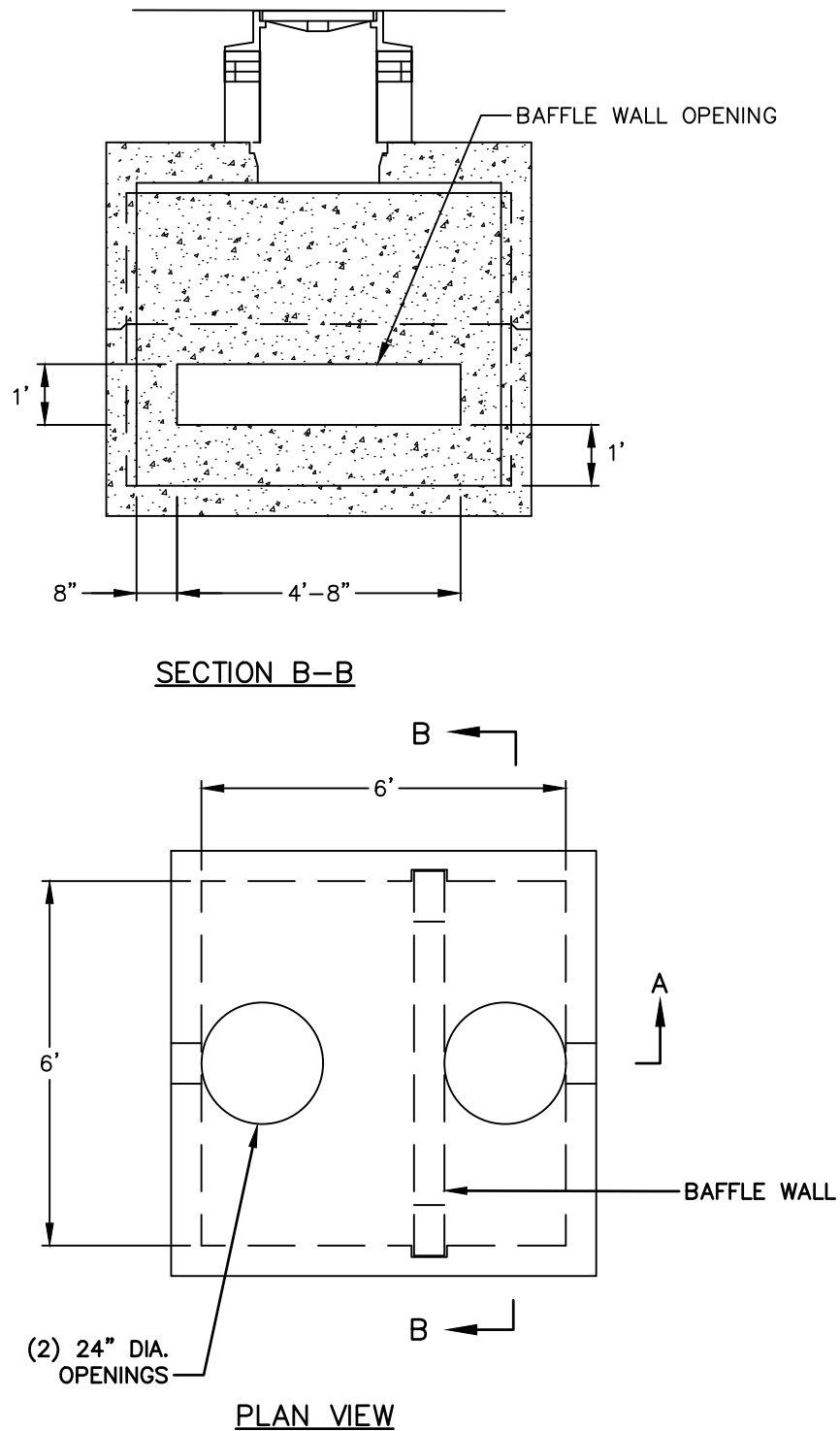
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MS VIEW: Plotter: AUTOCAD PDF (GENERAL DOCUMENTATION) PC3 CTB File: FO.STB



- NOTES:
- VOLUME SHALL BE 1,000 GALLONS.
 - CONCRETE : 5,000 P.S.I. MINIMUM STRENGTH @ 28 DAYS
 - STEEL REINFORCING ASTM A-615, GRADE 60
 - COVER TO STEEL 1" MINIMUM
 - TANKS SHALL MEET ASTM C858 AND ACI 318 WITH AASHTO HS-20 LOADING
 - EARTH COVER 0 MIN. TO 5 FEET MAX
 - EARTH COVER 0 MIN. TO 5 FEET MAX

OIL/WATER SEPARATOR

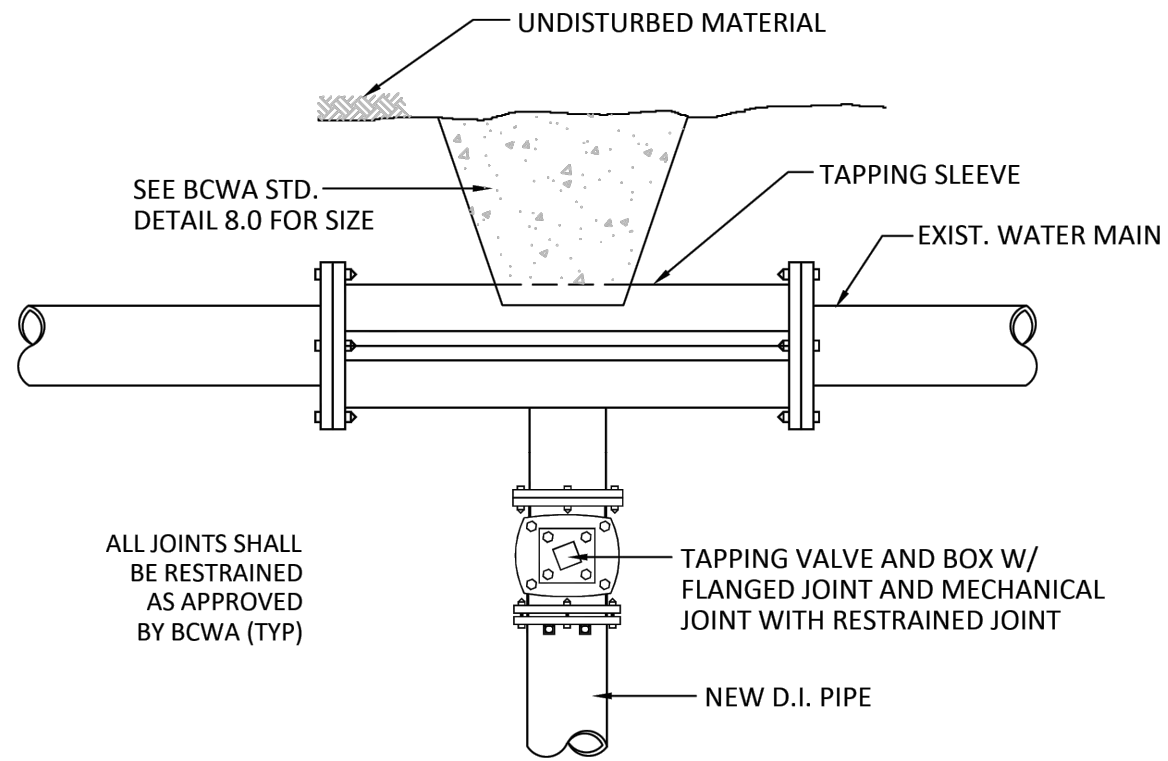
NOT TO SCALE



- NOTE:
- ALL SERVICE MATERIALS, BEDDING AND BACKFILL PER BCWA SPECIFICATIONS.
 - SERVICE LINE FROM GATE BOX TO BUILDING SHALL BE INSPECTED AND APPROVED BY THE BCWA PRIOR TO BEING BACKFILLED AND/OR ACTIVATED.
 - TAPPING SLEEVE TO BE PRESSURE TESTED PRIOR TO INSTALLATION.
 - STREET SIDE OF SERVICE TO BE INSTALLED FIRST, LOCATION TO BE DETERMINED BY BCWA.
 - WHENEVER THERE IS A DISCREPANCY BETWEEN THIS DETAIL AND THE WRITTEN SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN.

SERVICE CONNECTION 4 INCHES & GREATER (BCWA DETAIL 10C)

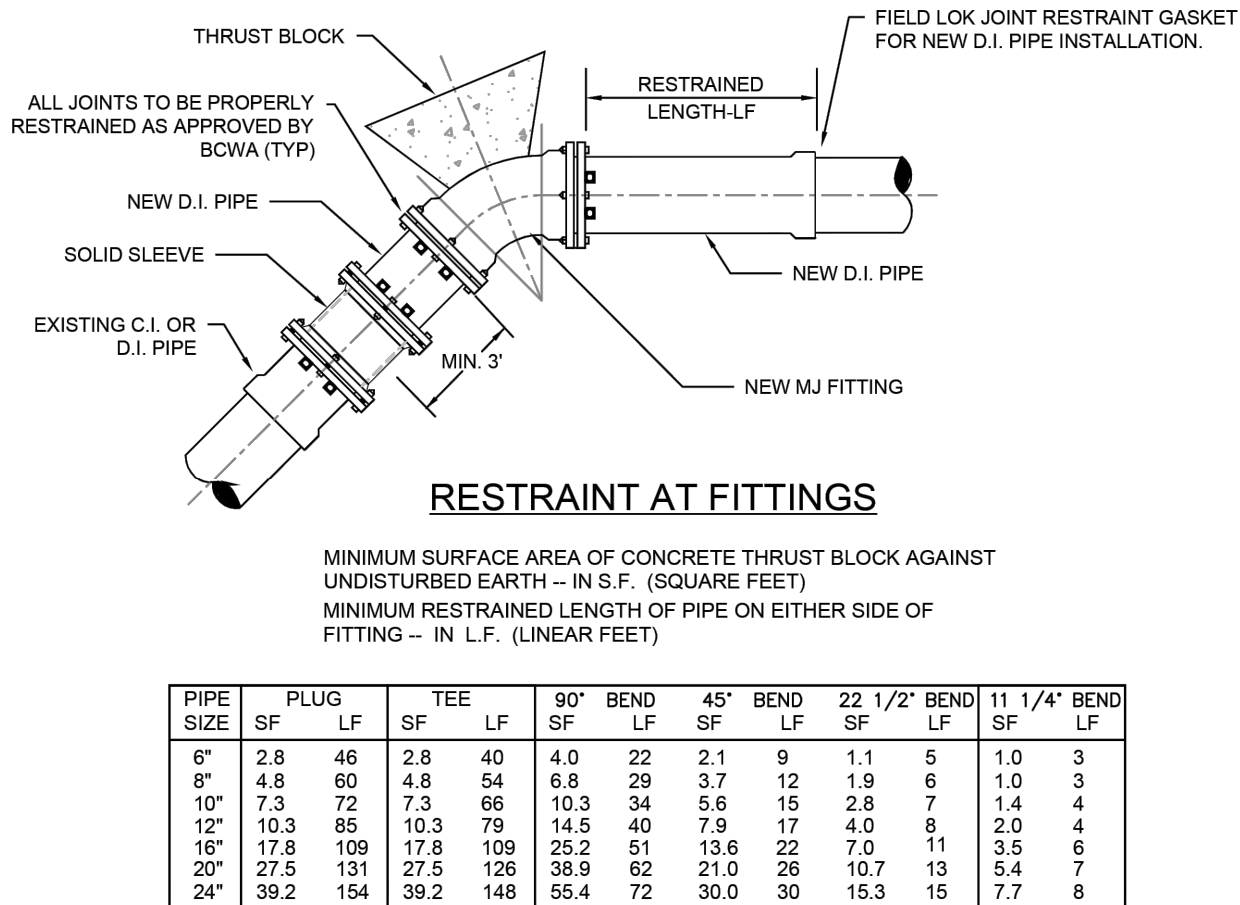
NOT TO SCALE



- NOTE:
- TAPPING SLEEVE, VALVE AND PIPE TO BE DISINFECTED WITH CHLORINE SOLUTION PRIOR TO INSTALL.
 - TAPPING SLEEVE TO BE PRESSURE TESTED USING AIR PRIOR TO TAPPING PIPE.
 - ALL MATERIALS, BEDDING AND BACKFILL PER BCWA SPECIFICATIONS.
 - THRUST BLOCK PER BCWA SPECIFICATIONS. SEE BCWA STD. DETAIL 8.0.
 - ALL WORK AND MATERIALS SHALL BE INSPECTED AND APPROVED BY THE BCWA PRIOR TO BEING BACKFILLED AND/OR ACTIVATED.
 - WHENEVER THERE IS A DISCREPANCY BETWEEN THIS DETAIL AND THE WRITTEN SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN.

TAPPING SLEEVE AND VALVE (BCWA DETAIL 3)

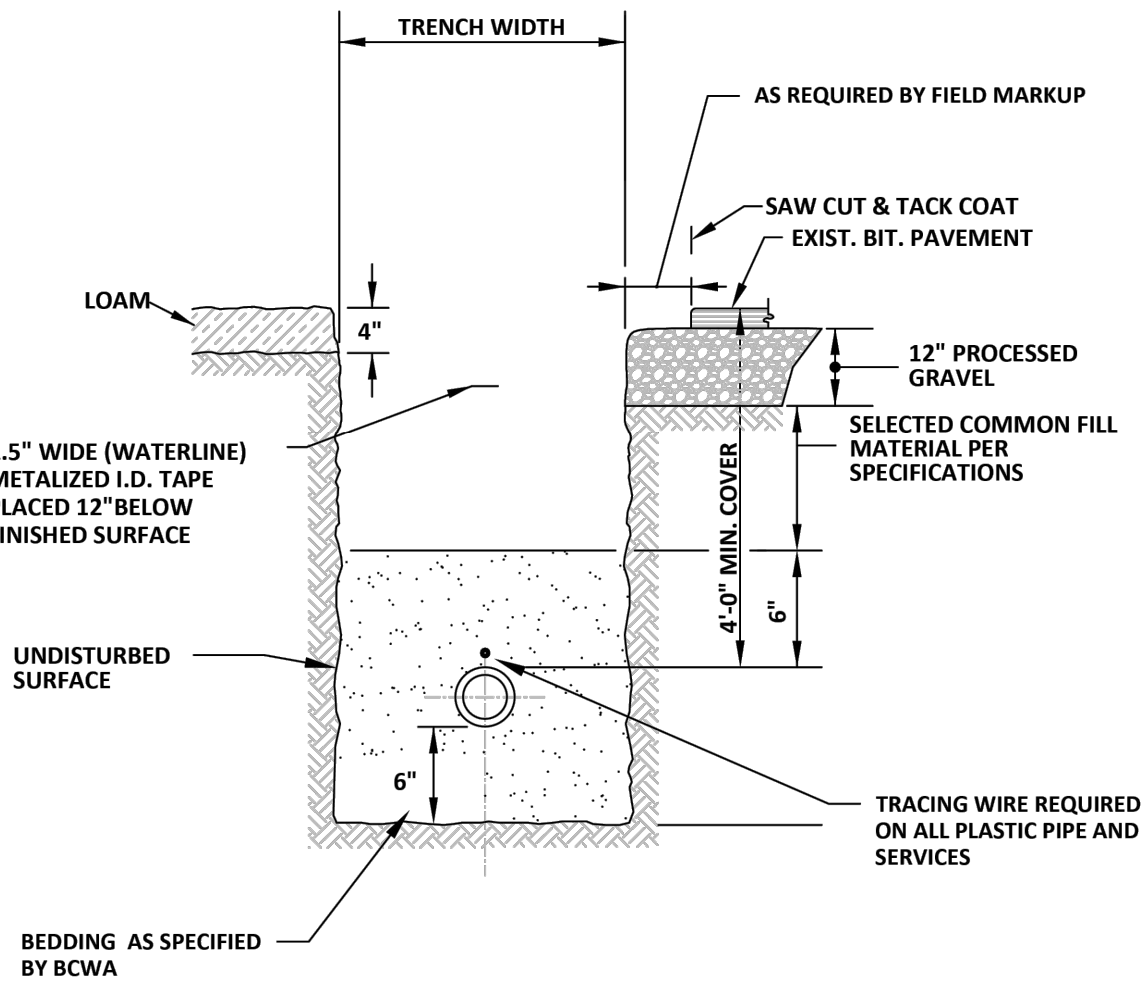
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- ALL CONCRETE TO BE CLASS B (AE)
- THE "SF" VALUES IN THE ABOVE TABLE ARE BASED ON 3000 p.s.f. SOIL BEARING CAPACITY, 150 p.s.i. TEST PRESSURE AND A 1.5 FACTOR OF SAFETY.
- THE "LF" VALUES IN THE ABOVE TABLE ARE BASED ON A TYPE 3 LAYING CONDITION, A SAND SILT SOIL DESIGNATION, A 5 FOOT RUN LENGTH, 150 P.S.I. TEST PRESSURE AND A 1.5 FACTOR OF SAFETY AS USED IN THE "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" COMPUTER PROGRAM BY THE DUCTILE IRON PIPE RESEARCH ASSOCIATION.
- IF SOIL CONDITIONS OR EXCAVATION LIMITS ENCOUNTERED DURING CONSTRUCTION MAKE IT UNFEASIBLE TO PLACE THRUST BLOCKS AGAINST UNDISTURBED EARTH OF THE PROPER BEARING CAPACITY, THE CONTRACTOR SHALL DESIGN AND PLACE SPECIAL REACTION BLOCKS OF SUFFICIENT WEIGHT TO RESIST FULL THRUST UNDER ALL CONDITIONS. THE DESIGN SHALL BE SUBJECT TO BCWA APPROVAL.
- MINIMUM SURFACE AREAS SHALL BE INCREASED BY 50% IF DEEMED NECESSARY BY THE ENGINEER.
- A MECHANICAL JOINT RESTRAINT SYSTEM MUST BE USED FOR VERTICAL BENDS.
- AT THE DISCRETION OF THE ENGINEER, A JOINT RESTRAINT SYSTEM MAY BE SUBSTITUTED FOR OR USED IN COMBINATION WITH PROPER THRUST BLOCKING.
- A 48 HR. CURING PERIOD MUST BE GIVEN BEFORE FULL LINE PRESSURE CAN BE APPLIED TO NEW CONCRETE THRUST BLOCKS.
- THRUST BLOCK DESIGN FOR PIPE LARGER THAN 24" SHALL BE REVIEWED ON AN INDIVIDUAL BASIS BY THE BCWA.
- THE RESTRAINED LENGTH IS BASED ON DUCTILE IRON PIPE WITH 4 FOOT COVER. IF THE DEPTH VARIES, OR THE DUCTILE IRON PIPE IS POLY WRAPPED THE RESTRAINED LENGTH MUST BE RE-CALCULATED.
- WHENEVER THERE IS A DISCREPANCY BETWEEN THIS DETAIL AND THE WRITTEN SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN.

CONCRETE THRUST BLOCK AND RESTRAINTS AT FITTINGS (BCWA DETAIL 8)

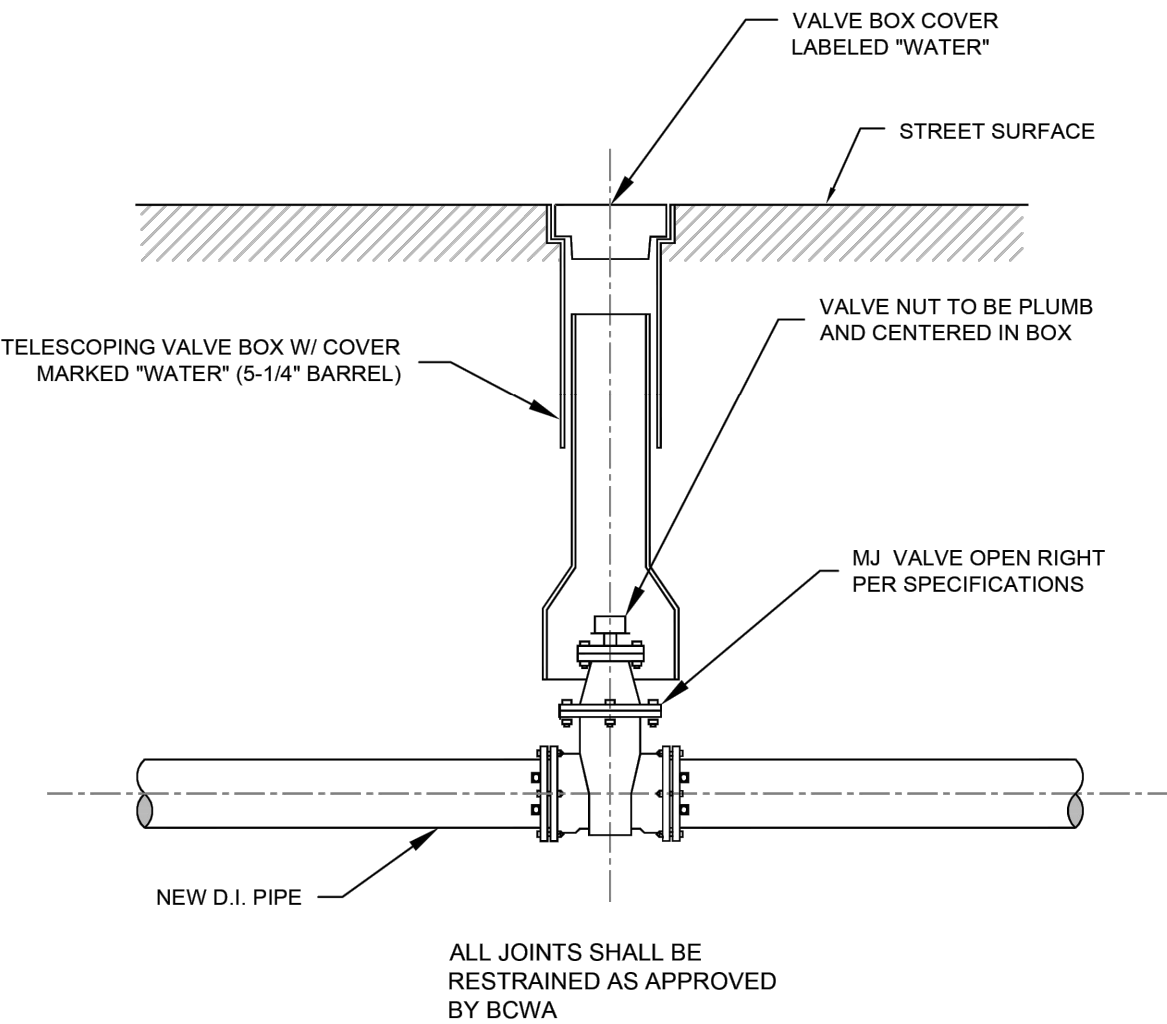
NOT TO SCALE



- NOTES:
- ALL MATERIALS, BEDDING AND BACKFILL PER BCWA SPECIFICATIONS AND SHALL BE INSPECTED AND APPROVED BY THE BCWA PRIOR TO BEING BACKFILLED AND/OR ACTIVATED.
 - ROADWAY AND SIDEWALK RESTORATION SHALL BE PERFORMED IN ACCORDANCE WITH ALL MUNICIPAL OR RIDOT PERMIT REQUIREMENTS.
 - WHENEVER THERE IS A DISCREPANCY BETWEEN THIS DETAIL AND THE WRITTEN SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN.

WATER TRENCH (BCWA DETAIL 1)

NOT TO SCALE



- NOTE:
- ALL MATERIALS, BEDDING AND BACKFILL PER BCWA SPECIFICATIONS.
 - ALL WORK AND MATERIALS SHALL BE INSPECTED AND APPROVED BY THE BCWA PRIOR TO BEING BACKFILLED AND/OR ACTIVATED.
 - WHENEVER THERE IS A DISCREPANCY BETWEEN THIS DETAIL AND THE WRITTEN SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN.

GATE VALVE (BCWA DETAIL 3B)

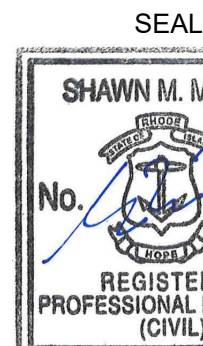
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PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

| No. | DATE | DESCRIPTION | DESIGNER | REVIEWER |
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SEAL



SEAL

SCALE:

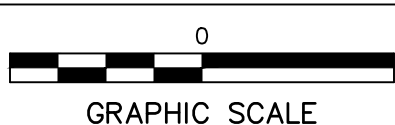
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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

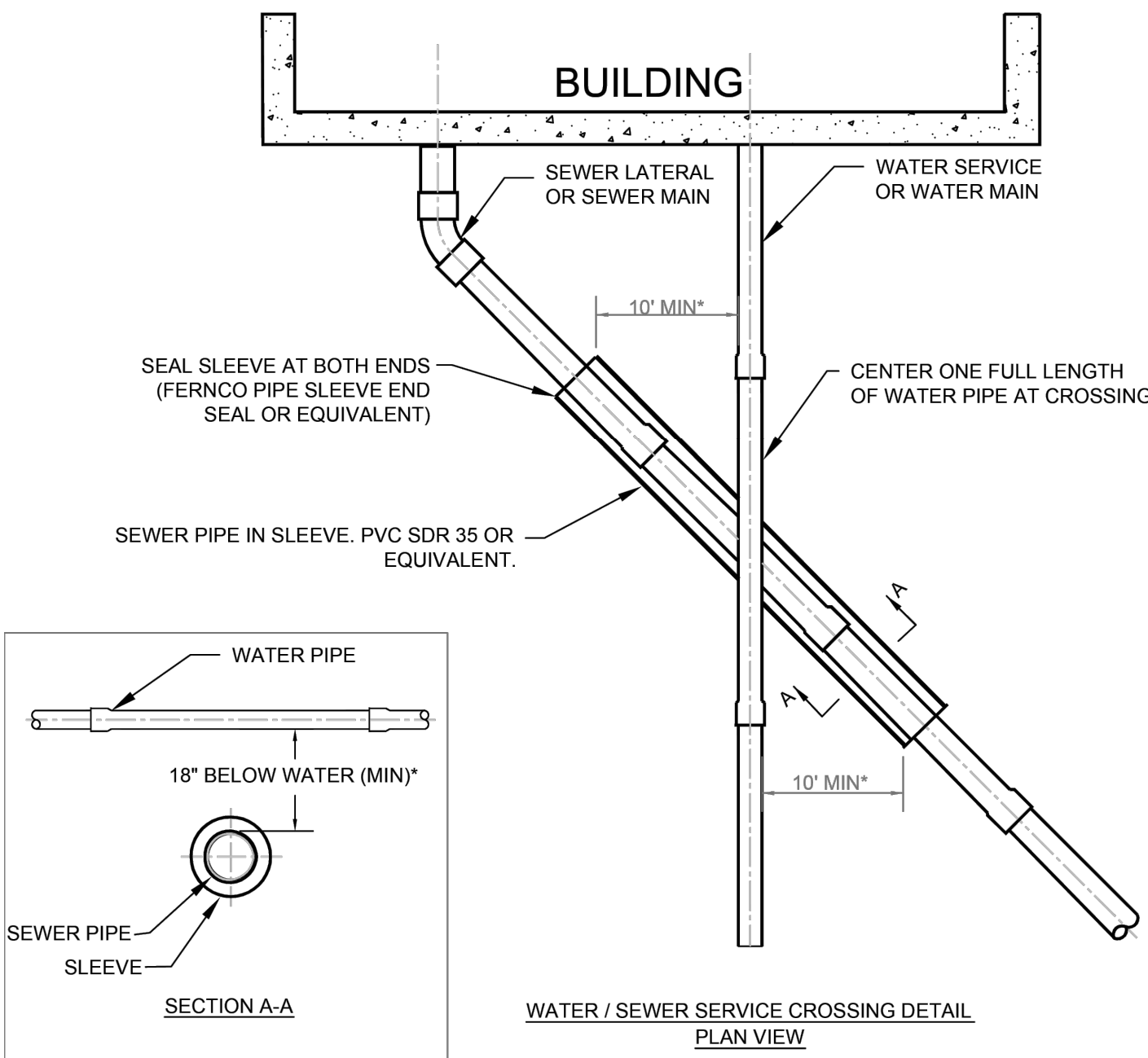
125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

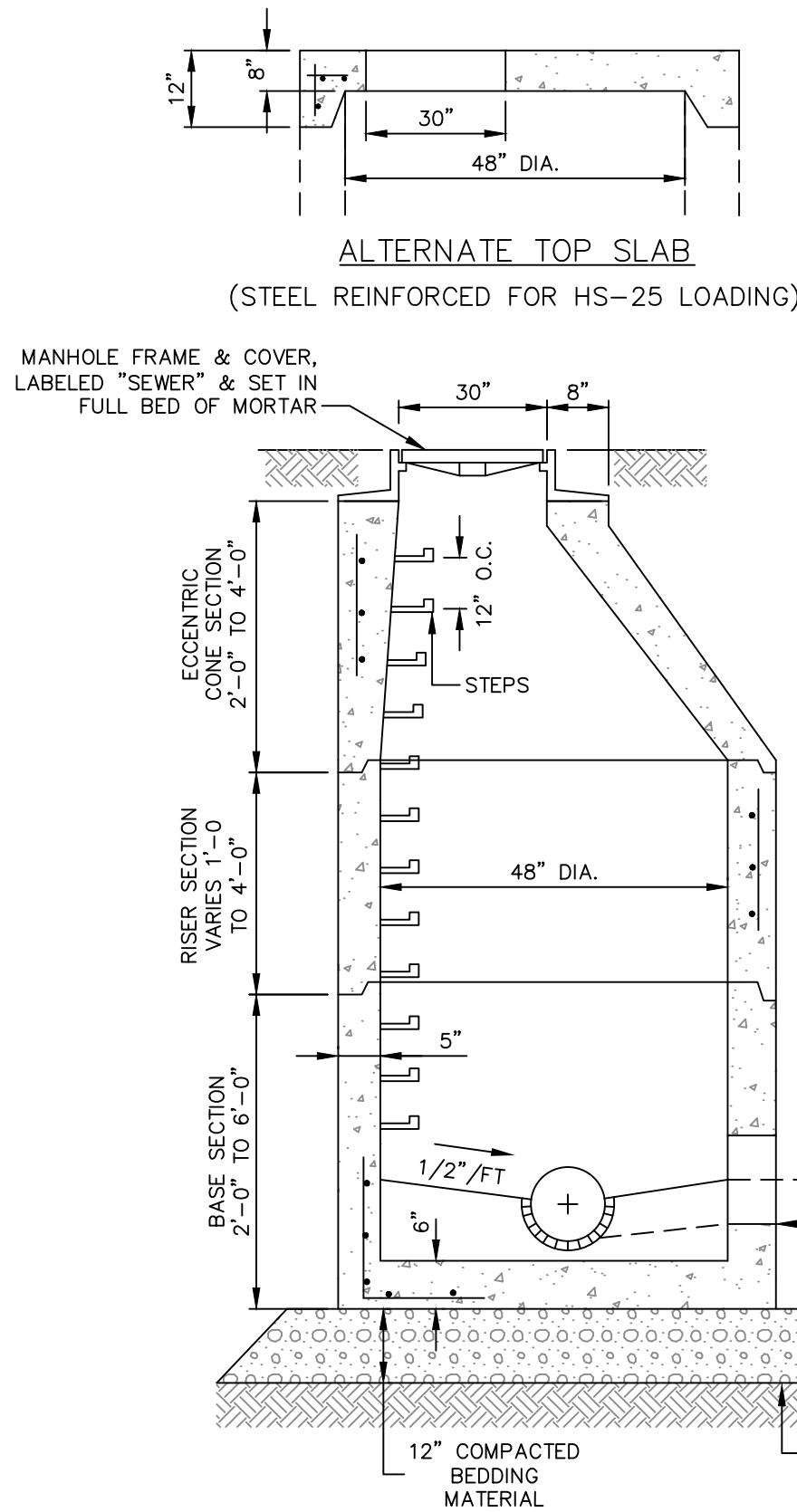
CD-508

SHEET 23 OF 28

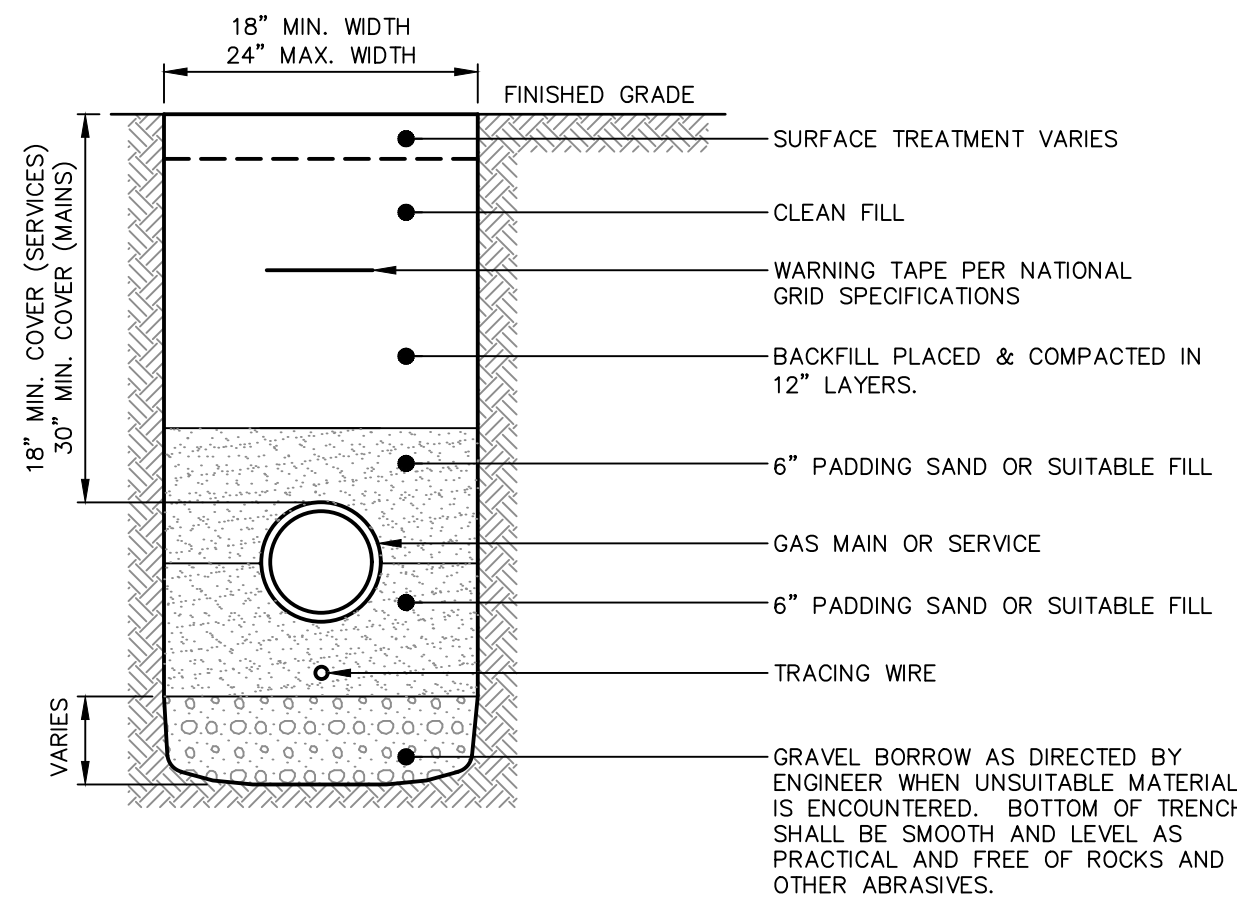


WATER & SEWER SERVICE CROSSING (BCWA DETAIL 9A)
NOT TO SCALE

IF THE 18 INCH MINIMUM VERTICAL SEPARATION CANNOT BE MAINTAINED, CONSTRUCT
• SEWER USING AWWA APPROVED WATER MAIN PIPE AND PRESSURE TEST TO 150psi
FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING, MEASURED PARALLEL
TO THE WATER PIPE, OR ENCASE SEWER PIPE IN PVC SLEEVE.



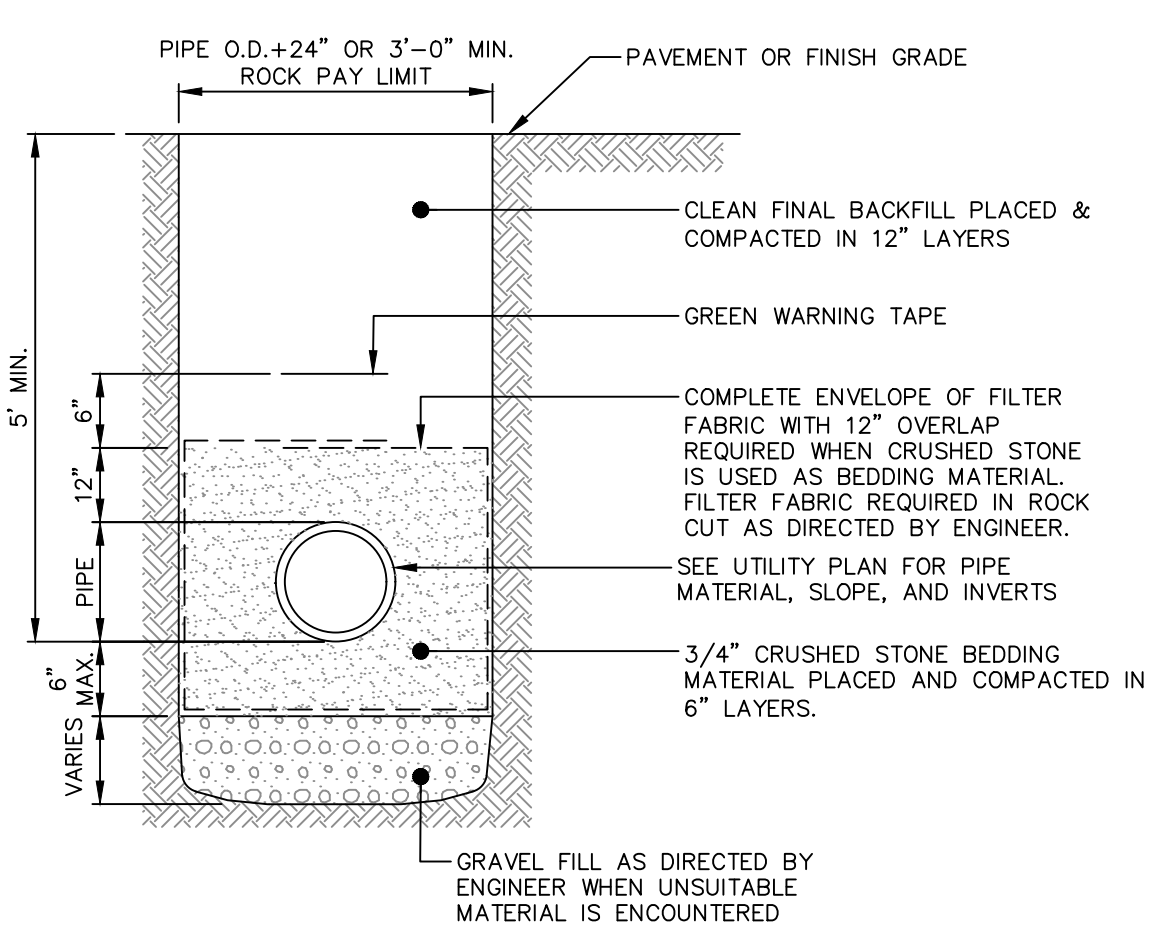
SEWER MANHOLE
NOT TO SCALE



- NOTES:
- BEDDING MATERIAL AND INITIAL BACKFILL SHALL BE CLEAN, FREE OF DEBRIS AND RUBBLE, AND FREE OF MATERIALS WHICH MAY CAUSE POLLUTION OF GROUNDWATER.
 - SPOIL SHOULD BE SET BACK A MINIMUM OF TWO (2) FEET IN ACCORDANCE WITH OSHA REGULATIONS.
 - GAS SERVICE MUST HAVE A MINIMUM HORIZONTAL SEPARATION OF THREE (3) FEET FROM PARALLEL UTILITIES. A ONE FOOT SEPARATION MUST BE MAINTAINED WHEN CROSSING OTHER UTILITIES.
 - THE MAXIMUM TRENCH DEPTH FOR GAS MAINS IS 48-INCHES WHILE THE MAXIMUM TRENCH DEPTH FOR SERVICES IS 36-INCHES.

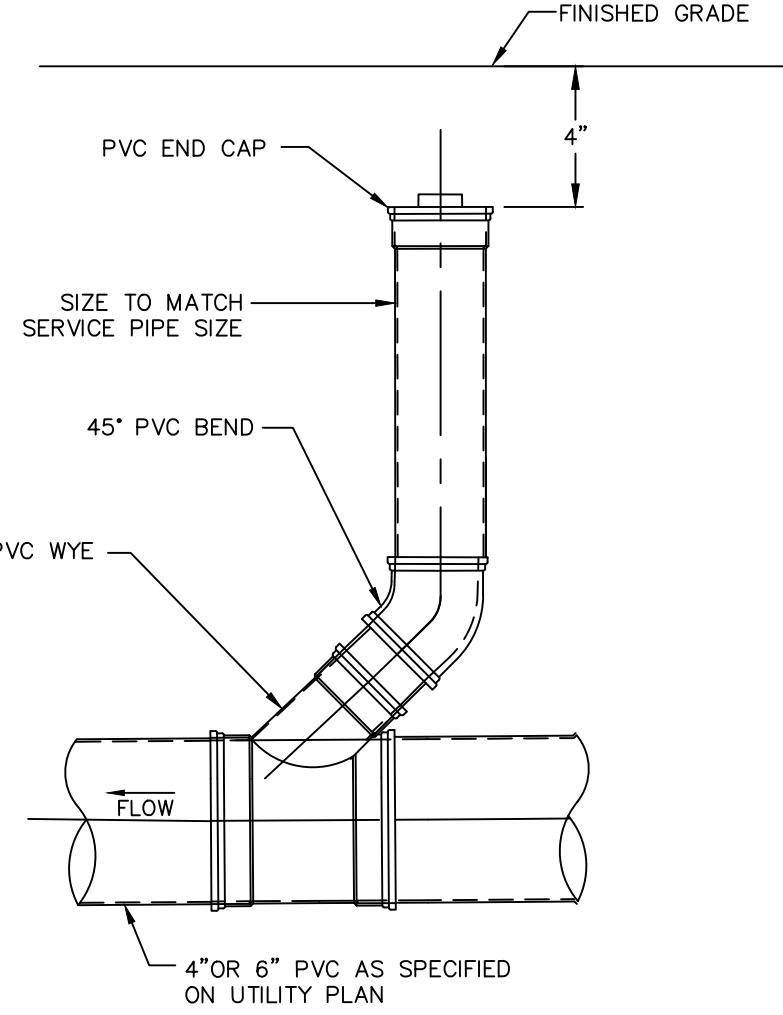
GAS TRENCH
NOT TO SCALE

- NOTES:
- FRAME AND COVER TO BE R.I. STD. 6.2.1 OR APPROVED EQUAL. LETTERING: "SEWER"
 - FRAMES SHALL BE SET IN FULL BED OF MORTAR. ADJUST TO GRADE WITH RED CLAY BRICKS AND MORTAR.
 - REINFORCING STEEL SHALL CONFORM TO ASTM A-185:
 - 0.12 SQ. IN./LIN. FT. CIRCUMFERENTIAL
 - 0.18 SQ. IN./FT. (BOTH WAYS) BASE BOTTOM
 - CONCRETE SHALL BE COMPRESSIVE STRENGTH 4,000 PSI TYPE II CEMENT.
 - ONE POUR MONOLITHIC BASE SECTION.
 - PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 - JOINT SEALANT SHALL BE PREFORMED BUTYL RUBBER MASTIC TYPE SEAL THAT COMPLIES WITH AASHTO M198 OR SYNTHETIC RUBBER GASKET THAT COMPLIES WITH ASTM C-443 OR C-361.
 - MANHOLE DESIGN SHALL CONFORM TO ASTM C-478 FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."
 - MANHOLE STEPS SHALL BE ASTM A 615/A615M, DEFORMED, 1/2-INCH STEEL REINFORCED RODS ENCASED IN ASTM D 4101, POLYPROPYLENE PLASTIC. THE CENTERLINE OF OPENING MUST BE WITHIN 2'-0" FROM STEPS.
 - ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 - INVERT CONSTRUCTED OF BRICK OR CEMENT CONCRETE, CLASS D.



- NOTES:
- SEWER TO BE INSULATED WITH 2" RIGID FOAM WHEN LESS THAN 4' COVER IS PROVIDED.

SEWER TRENCH
NOT TO SCALE



NOTE:
IN PAVED AREAS, TURN ADJUSTABLE CLEAN-OUT WITH CAST IRON FRAME AND COVER SHALL BE USED IN LIEU OF PVC END CAP.

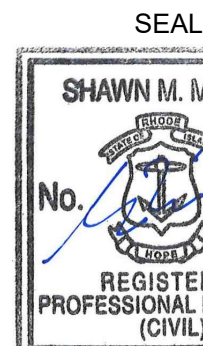
SEWER CLEANOUT
NOT TO SCALE

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

| | | | | |
|-----|------------|--|----------|----------|
| 11 | 5/29/2024 | REISSUE FINAL PLAN | KLM | SMM |
| 10 | 3/6/2024 | RESPONSE TO CRMC COMMENTS | KLM | SMM |
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| 4 | 5/19/23 | RESPONSE TO TRC AND PARE COMMENTS | KLM/MH | SMM |
| 3 | 3/27/23 | PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS | KLM | SMM |
| No. | DATE | DESCRIPTION | DESIGNER | REVIEWER |

SEAL



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| SCALE: |
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| GRAPHIC SCALE |



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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

125 THAMES STREET

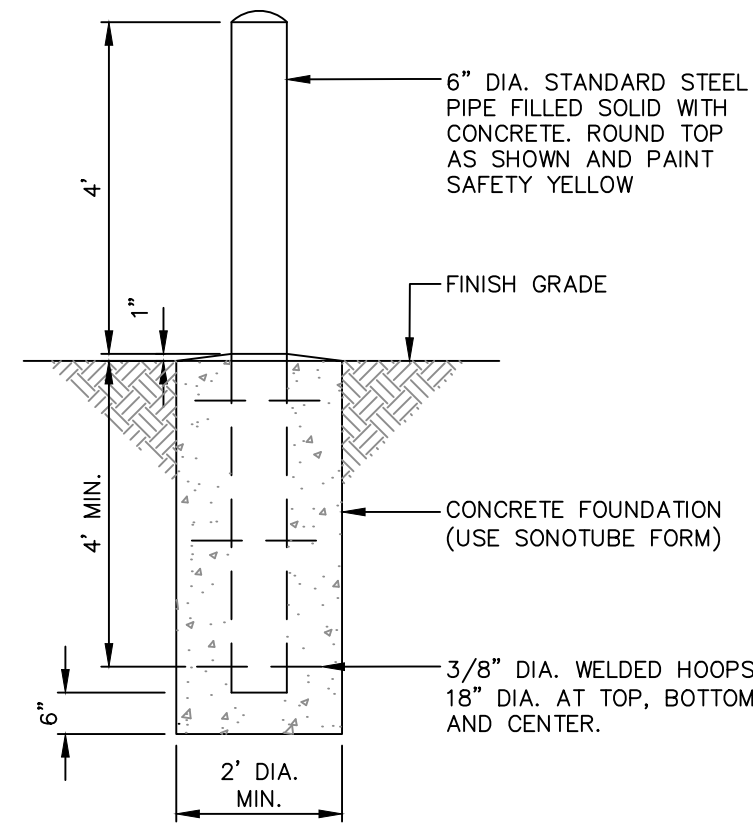
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

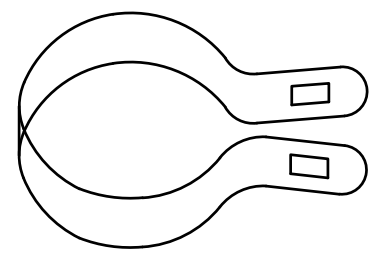
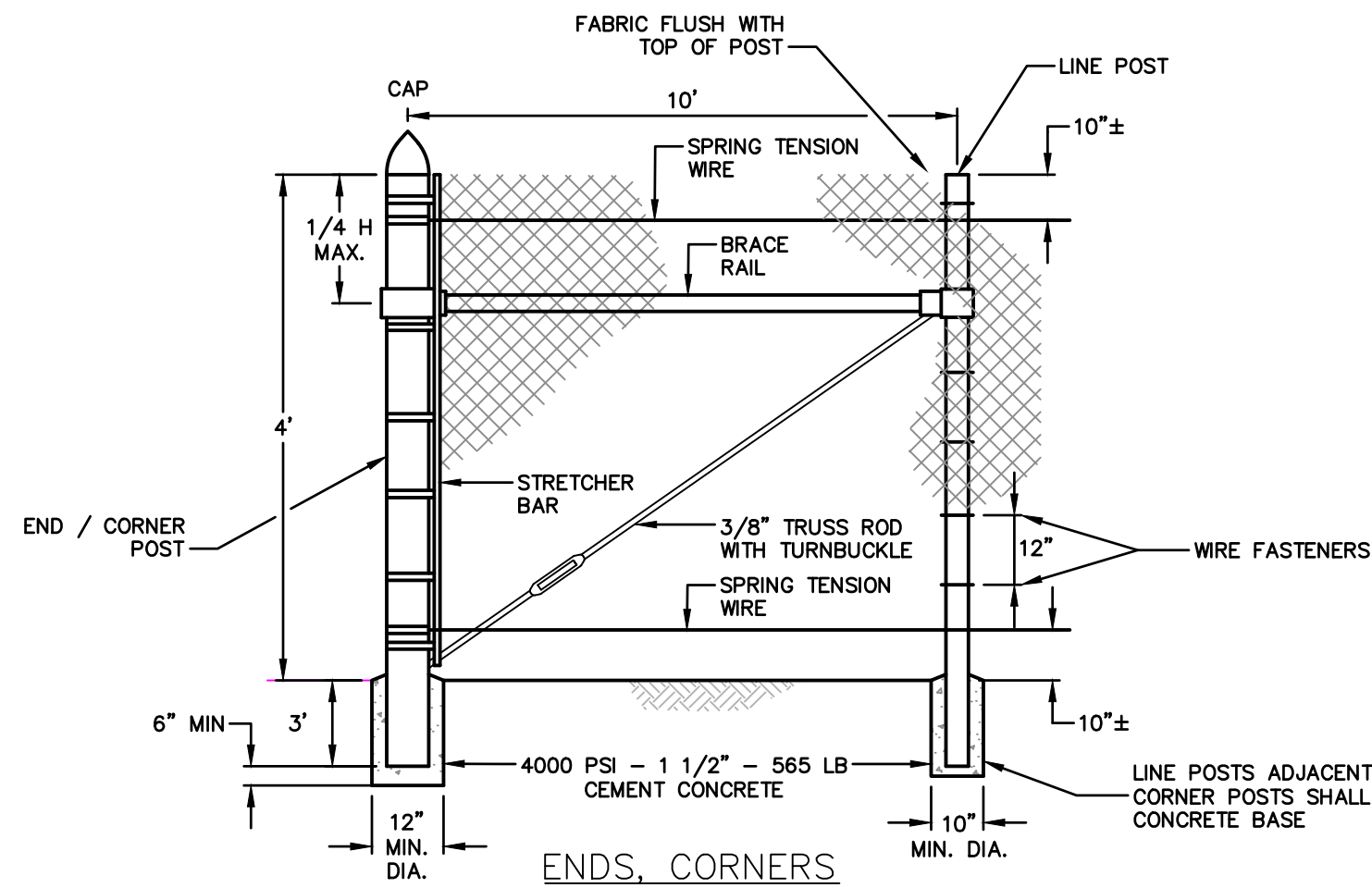
CD-509

SHEET 24 OF 28

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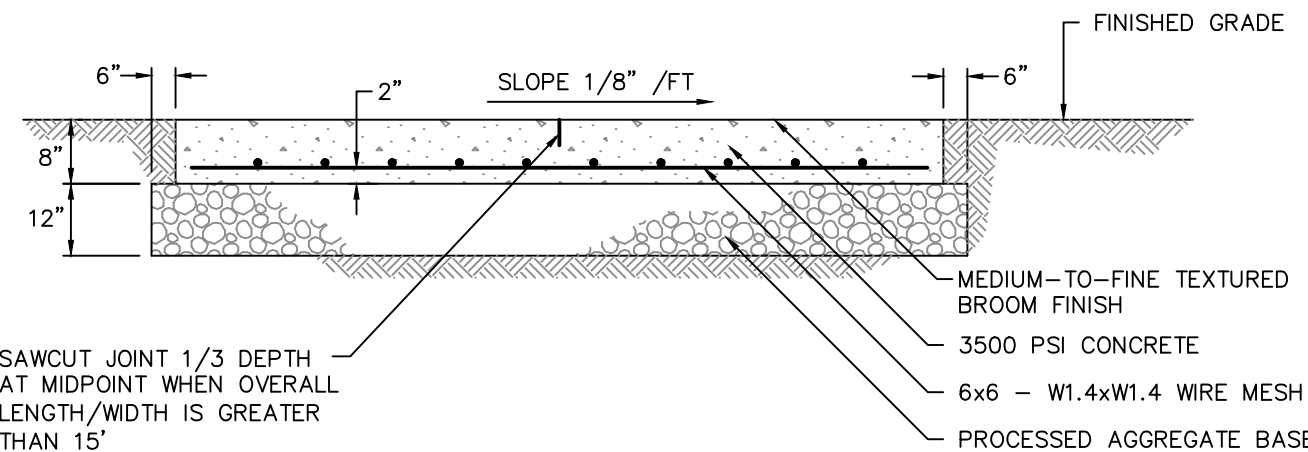
BOLLARD
NOT TO SCALE



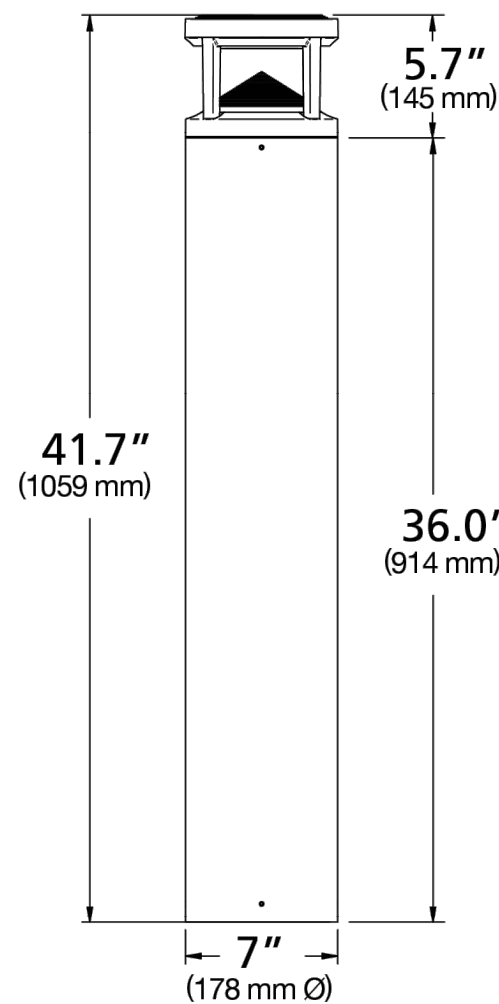
END BAND

- NOTES:**
1. FABRIC FOR FENCE: TOP SELVAGE TO HAVE KNUCKLED FINISH, BOTTOM SELVAGE TO HAVE TWISTED AND BARBED FINISH UNLESS OTHERWISE NOTED.
 2. GRADE OF FENCE TO BE PARALLEL WITH THE GRADE OF GROUND.
 3. FOR DESCRIPTION, MATERIAL AND CONSTRUCTION METHODS, SEE SPECIFICATIONS.
 4. SPRING TENSION WIRE TO BE FASTENED TO FABRIC WITH 11 GAUGE HOG RINGS AT 1' INTERVALS.
 5. SPRING TENSION WIRE TO BE FASTENED TO LINE POSTS WITH CLIPS.
 6. LINE POST TO BE DRIVEN EXCEPT WHERE NOTED ABOVE.

CHAIN LINK FENCE
NOT TO SCALE

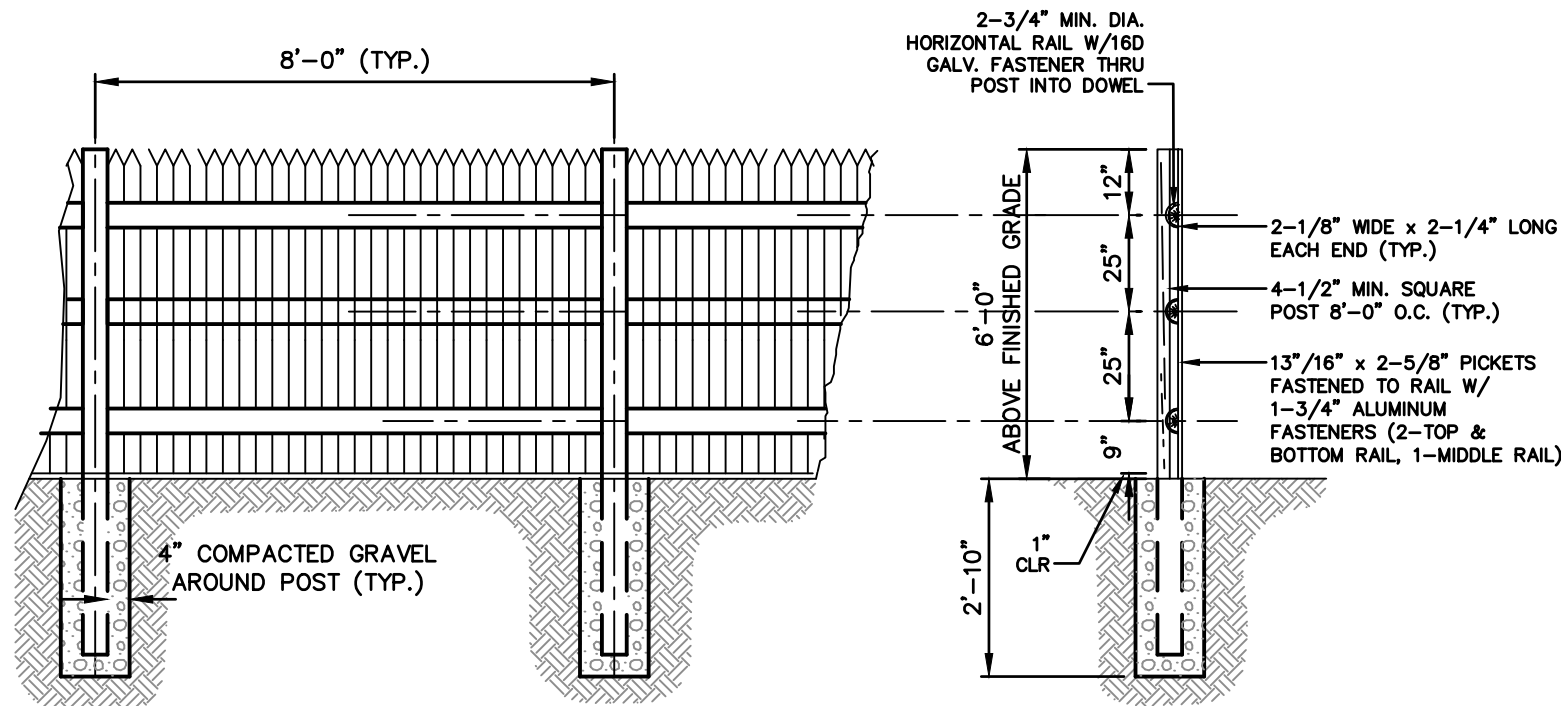


CONCRETE DUMPSTER PAD
NOT TO SCALE



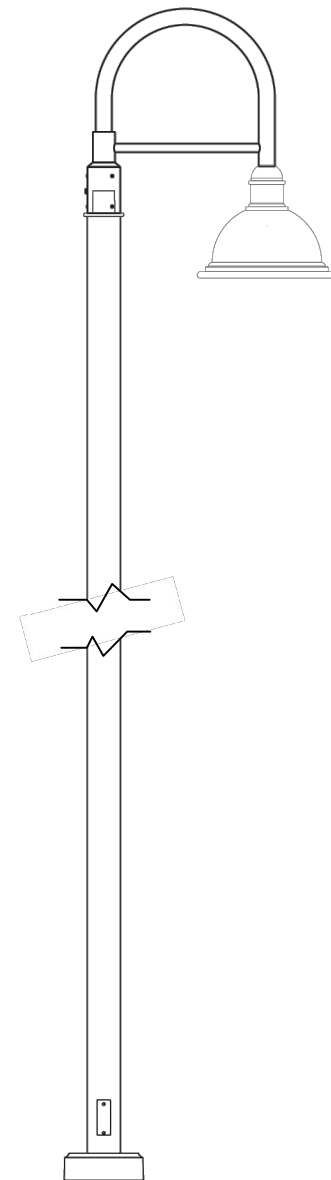
- NOTES:**
1. LIGHT BOLLARD SHALL BE PAVILION BOLLARD PATR MANUFACTURED BY KIM LIGHTING.
 2. BOLLARD SHALL HAVE A FLAT TOP WITH NO UPLIGHT. A LIGHT ENGINE WITH THE SPECIFICATIONS OF 22W, 4000K, 70CRI, AND A VOLTAGE OF 120-277V.
 3. FINISH SHALL BE APPROVED BY OWNER.

LIGHT BOLLARD
NOT TO SCALE



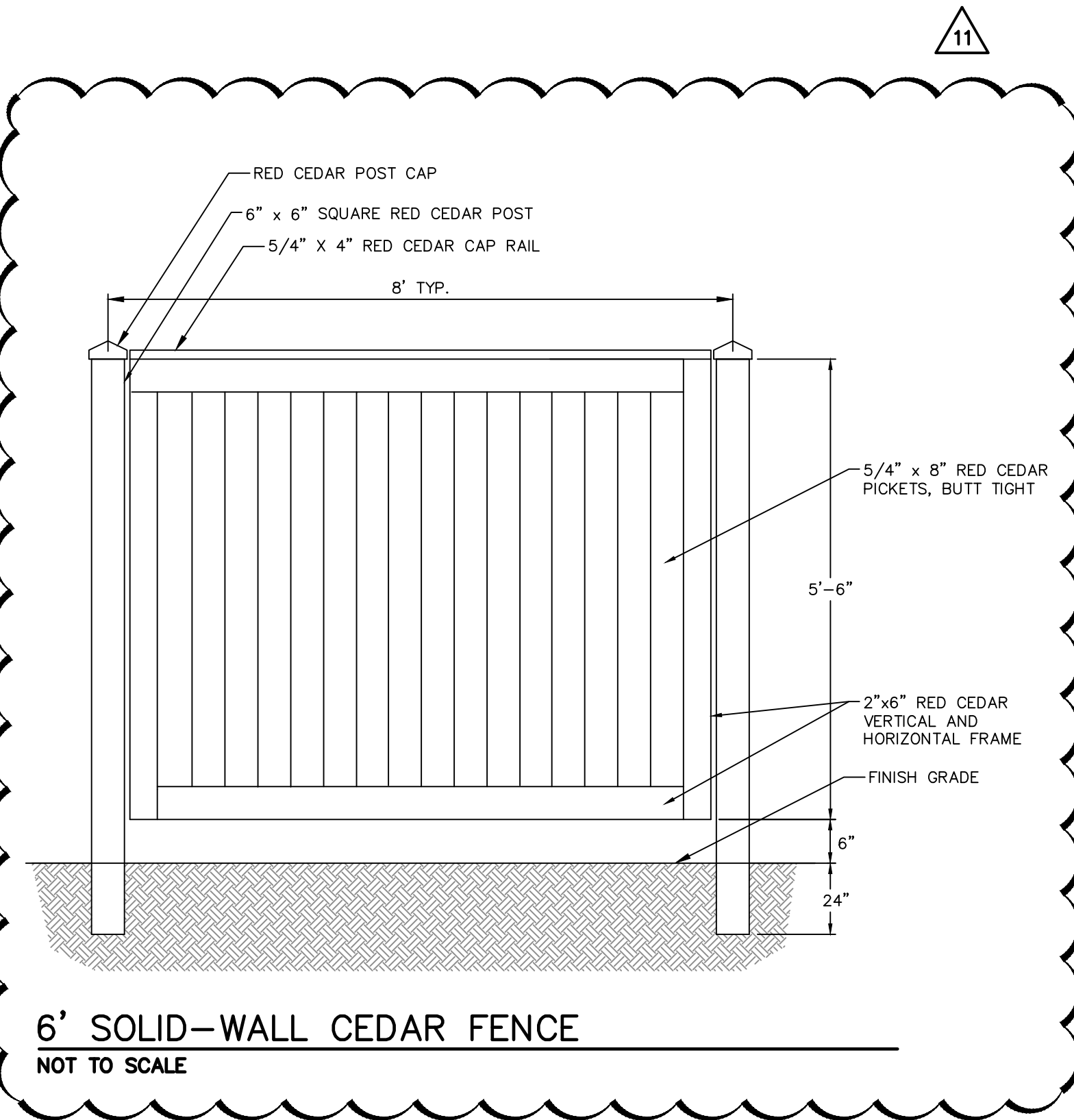
- NOTES:**
1. ALL FENCING MATERIAL SHALL BE PVC TO THE DIMENSIONS SHOWN ON THE DRAWING.
 2. POSTS SHALL MAINTAIN A DEPTH OF 2'-10" IN GROUND AND SHALL BE RACKED TO ACCOMMODATE ANY CHANGES IN GRADE.
 3. LINE OF FENCE TOP AND BOTTOM SHALL BE INSTALLED STRAIGHT AND TRUE. ALL POSTS AND FACING BOARDS OR SLATS SHALL BE INSTALLED PARALLEL AND PLUMB. ALL RAILS SHALL BE INSTALLED PARALLEL AND TRUE.
 4. ALL GATE HARDWARE SHALL BE DOUBLE DIP HOT GALVANIZED.
 5. FENCE SHALL TAPER FROM 6' TO 4' HEIGHT IN SINGLE 8' PANEL WHERE INDICATED ON PLANS.

6' STOCKADE FENCE
NOT TO SCALE

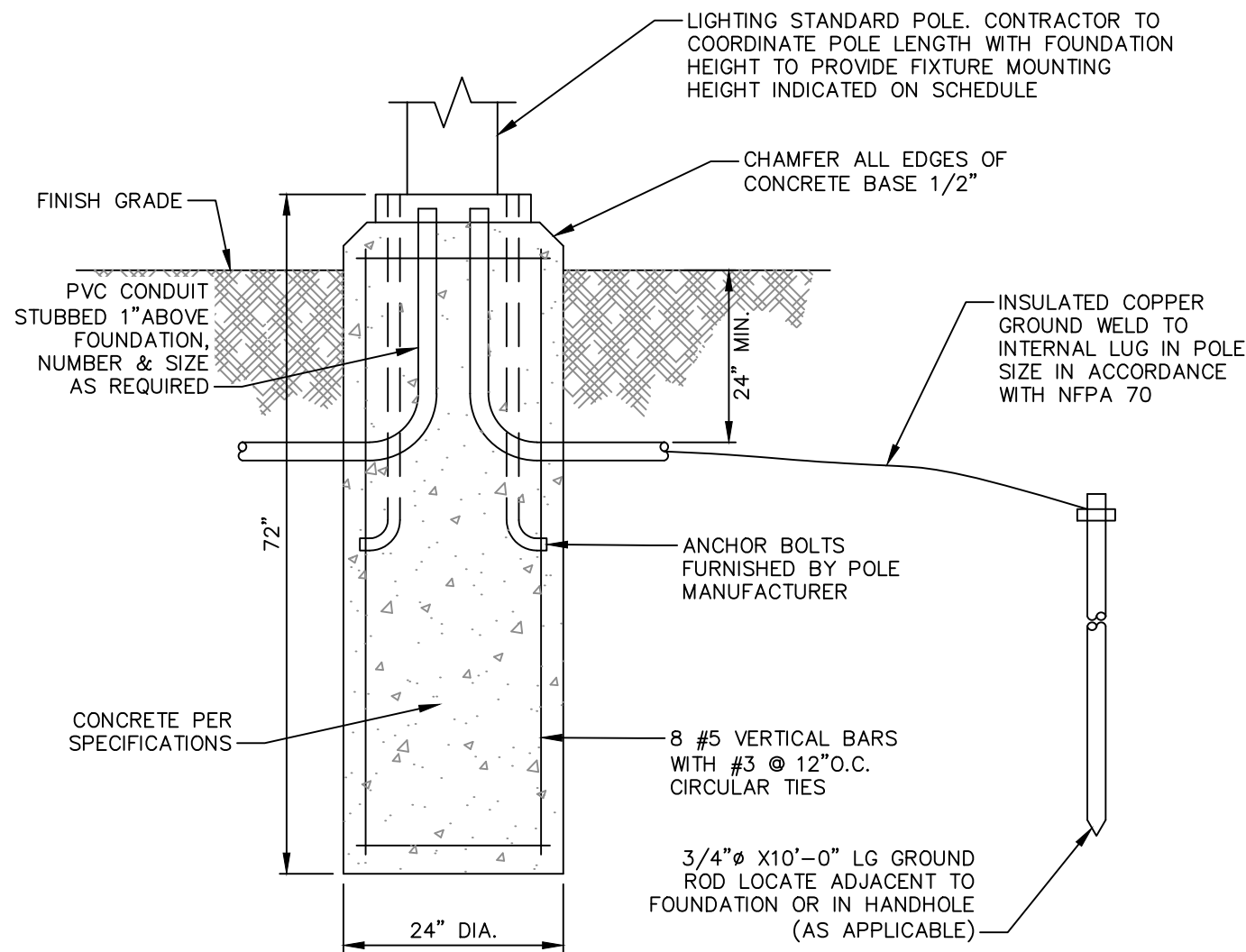


- NOTES:**
1. LIGHT FIXTURE SHALL BE 152LED-R OMEGA MANUFACTURED BY STERNBERG LIGHTING.
 2. FIXTURE SHALL HAVE A FLAT LENS, 16L LED RATING, 40K COLOR TEMPERATURE, DISTRIBUTION TYPE T4, A DRIVER MEETING THE SPECIFICATION OF 120-277V, 160mA (MDL018), AND A BACK LIGHT OPTICAL CONTROL.
 2. LIGHT POLE SHALL BE 550 CONCORD MANUFACTURED BY STERNBERG LIGHTING.
 3. POLE SHALL BE STRAIGHT SMOOTH.
 4. LIGHT POLE ARM SHALL BE OES/1-OESPT MANUFACTURED BY STERNBERG LIGHTING.
 5. FINISH SHALL BE APPROVED BY OWNER.
 6. MOUNTING HEIGHT SHALL BE 12 FEET.

LIGHT POLE & FIXTURE
NOT TO SCALE



6' SOLID-WALL CEDAR FENCE
NOT TO SCALE



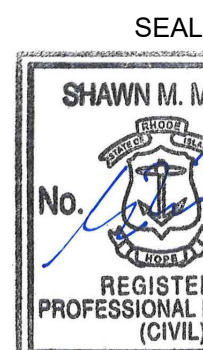
LIGHT POLE BASE
NOT TO SCALE

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

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SEAL



SEAL

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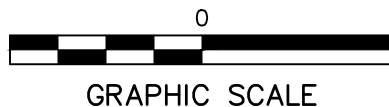
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VERT.:



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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

125 THAMES STREET

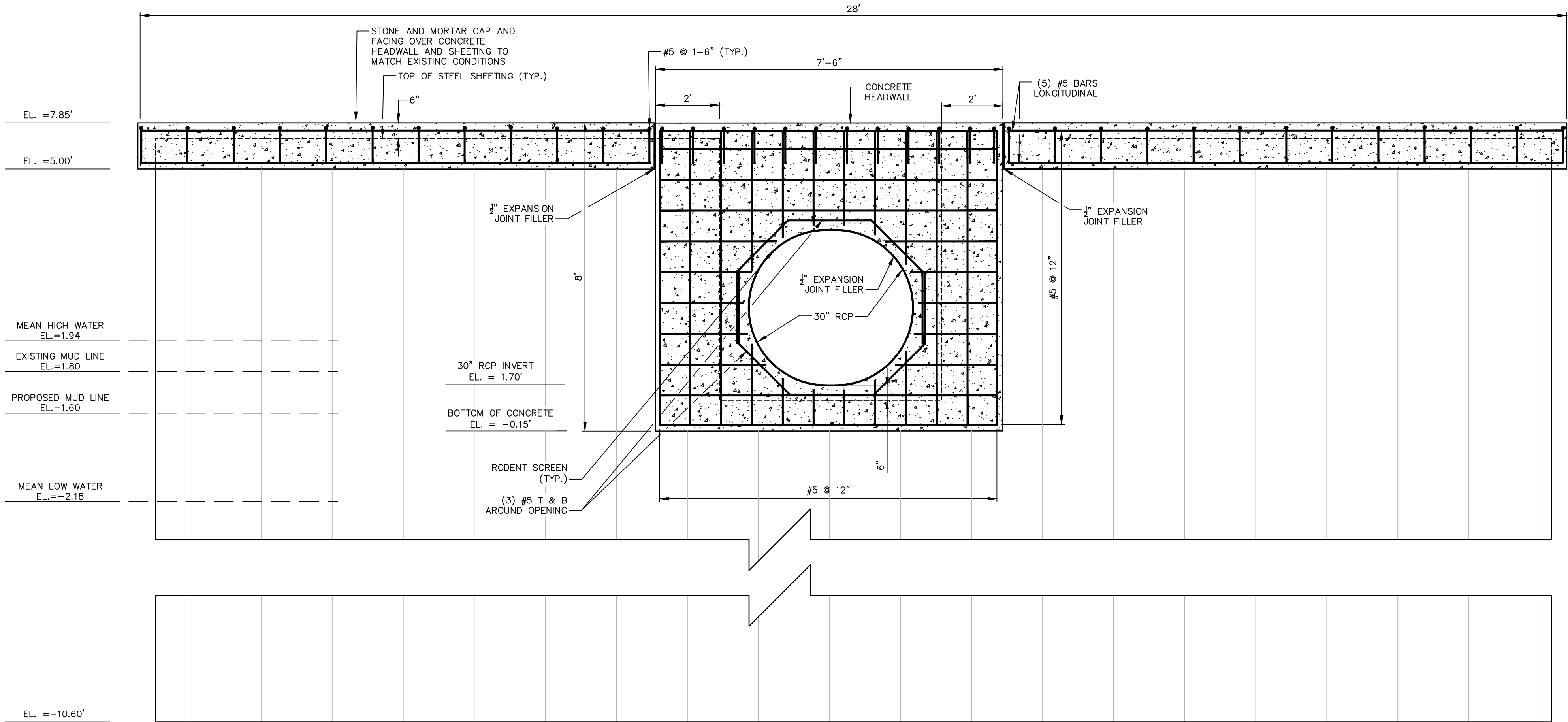
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

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SHEET 25 OF 28

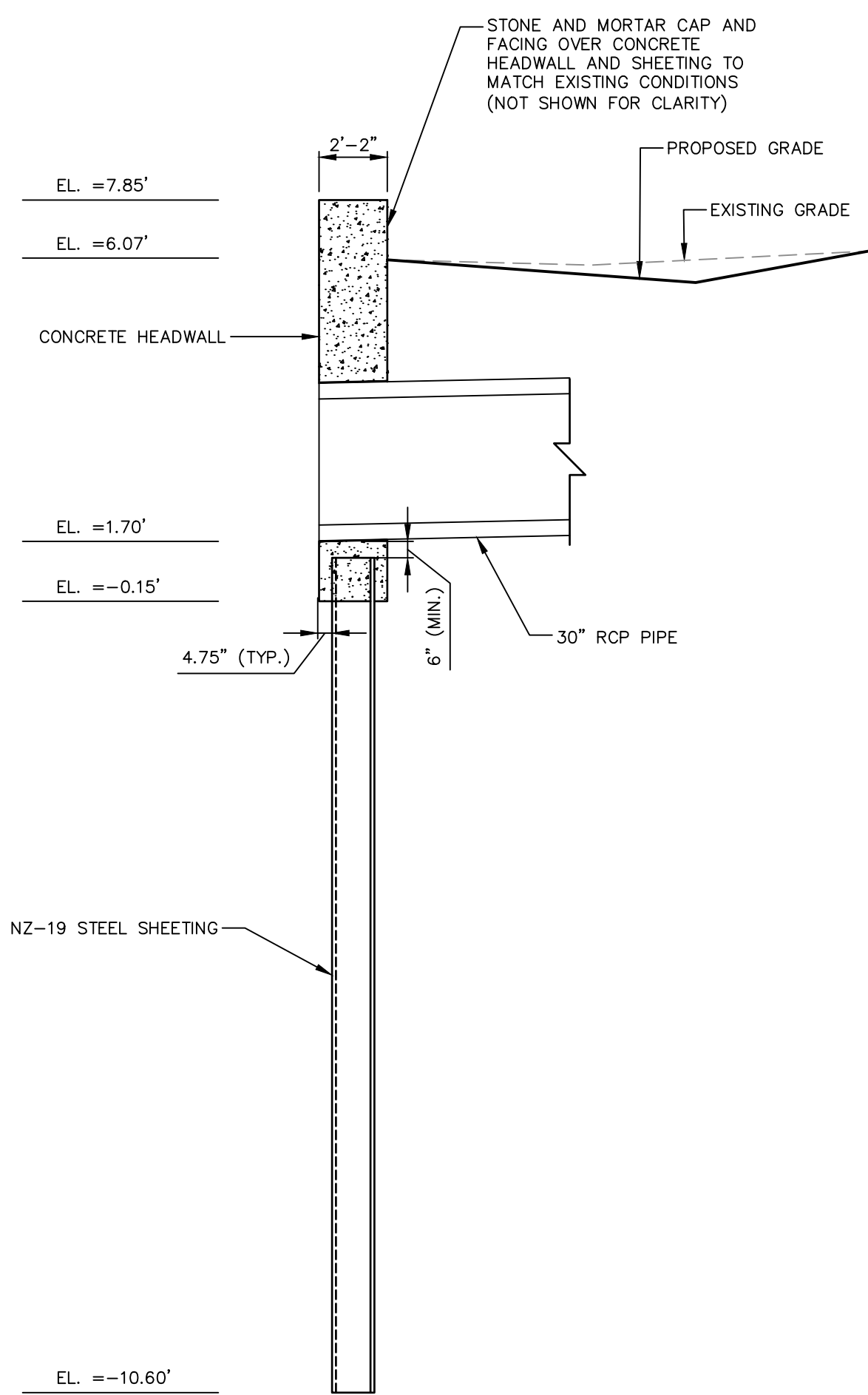
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- NOTES:**
- BACKFILL SHALL BE LESS 10 PERCENT SILT CONTENT.
 - CEMENT SHALL BE TYPE 2 OR TYPE 5 AIR ENTRAINING PORTLAND CEMENT OR AN EQUIVALENT
 - CONTRACTOR SHALL PREPARE AND SUBMIT A SHOP DRAWING FOR THE FINAL DESIGN OF THE SEAWALL AND WATER MANAGEMENT SYSTEM FOR ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
 - DESIGN SUBMITTALS SHALL BE PREPARED BY A QUALIFIED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF RHODE ISLAND AND SHALL COMPLY WITH ALL RIDEM, CRMC, AND USACE REGULATIONS AND PERMIT CONDITIONS.
 - FILLING, GRADING, DREDGING, EXPANSION, OR ANY OTHER ACTIVITY NOT AUTHORIZED BY RIDEM, CRMC, OR USACE IS PROHIBITED.

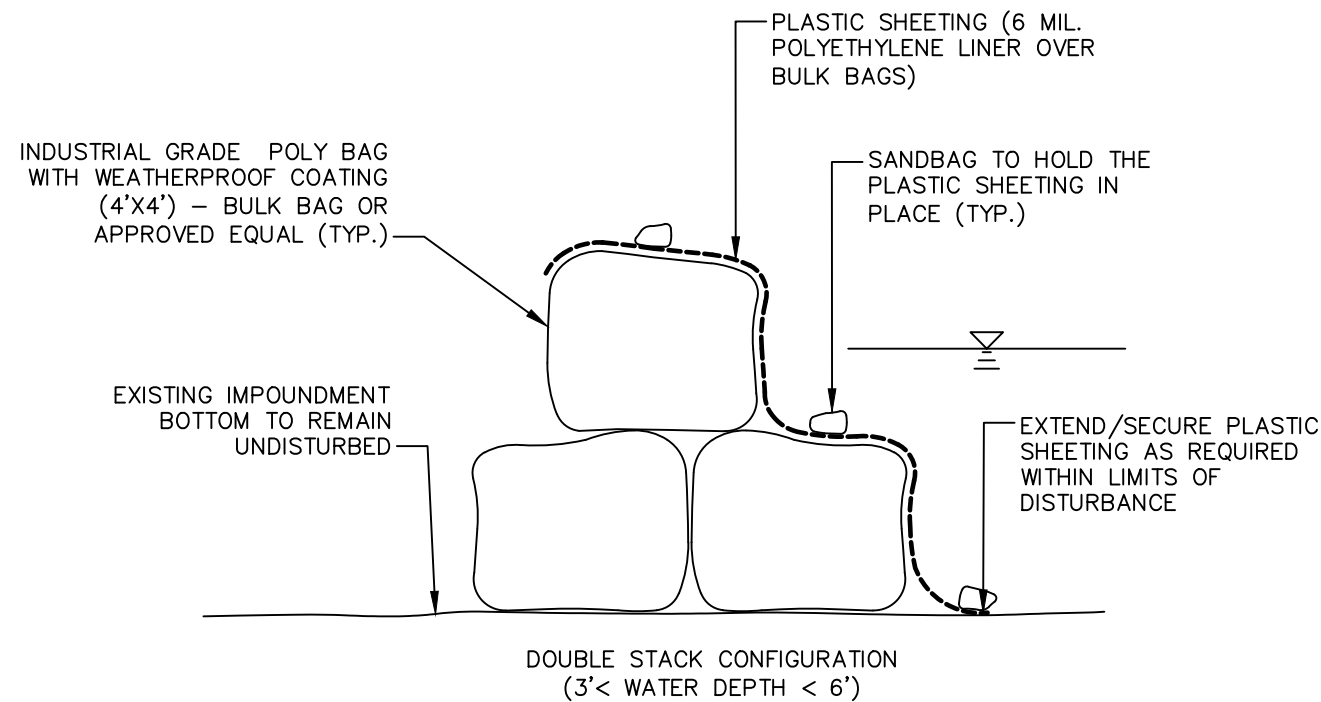
HEADWALL PROFILE

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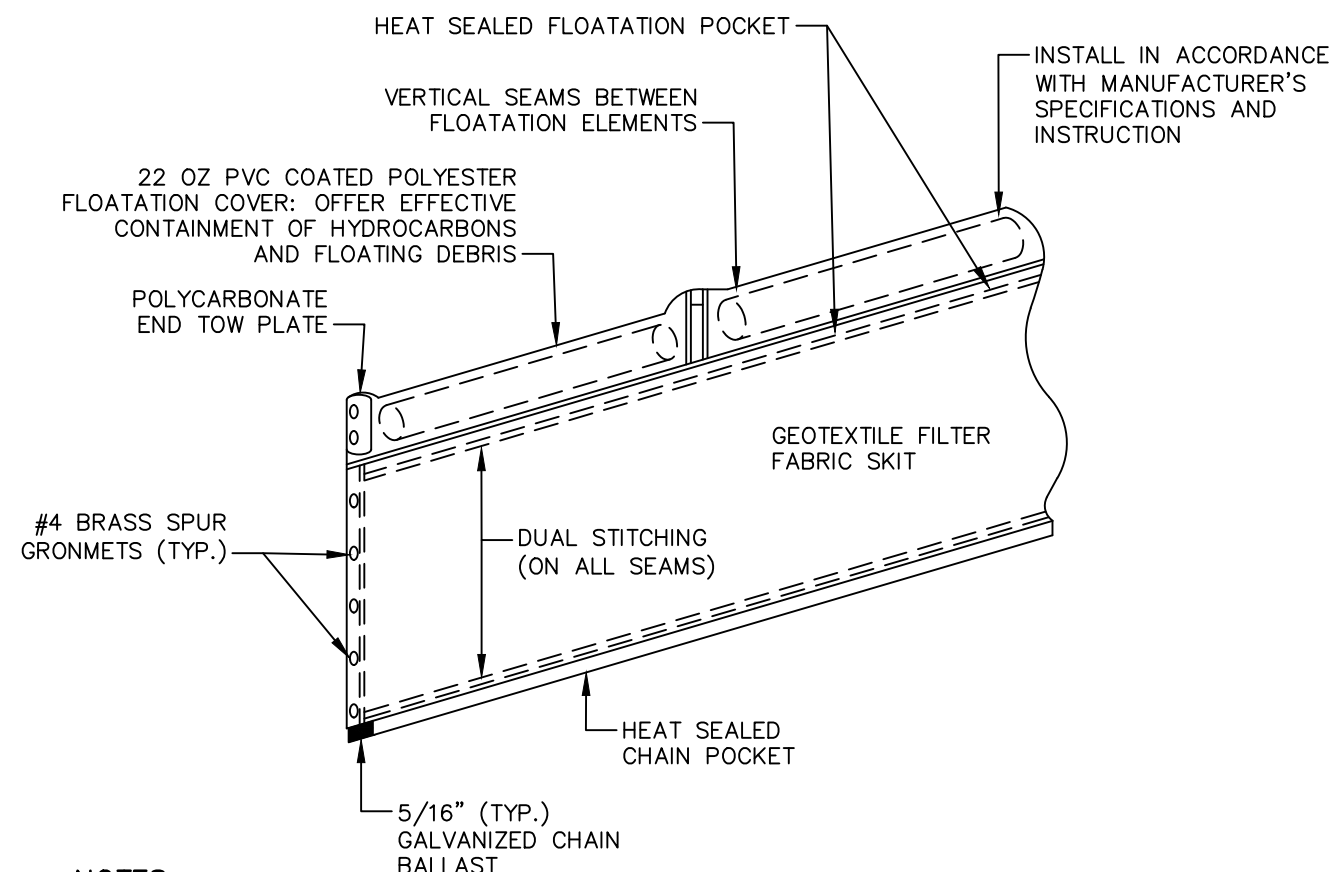
HEADWALL SECTION

NOT TO SCALE



TEMPORARY COFFERDAM

NOT TO SCALE



- NOTES:**
- FLOATATION SIZE (6", 8" OR 12" DIA.) DETERMINED BY SKIRT DEPTH/SITE VARIABLES.
 - OTHER END TYPES AVAILABLE SUCH AS ALUMINUM UNIVERSAL SLIDE OR SLOTTED TUBE.
 - OPTIONAL TOP TENSION CABLE (5/16" TYP.) AVAILABLE FOR INCREASED STRENGTH.

TEMPORARY TURBIDITY CURTAIN

NOT TO SCALE

PLANNING BOARD APPROVAL

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SEAL

SEAL



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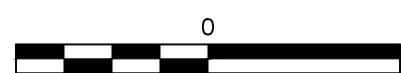
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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

125 THAMES STREET

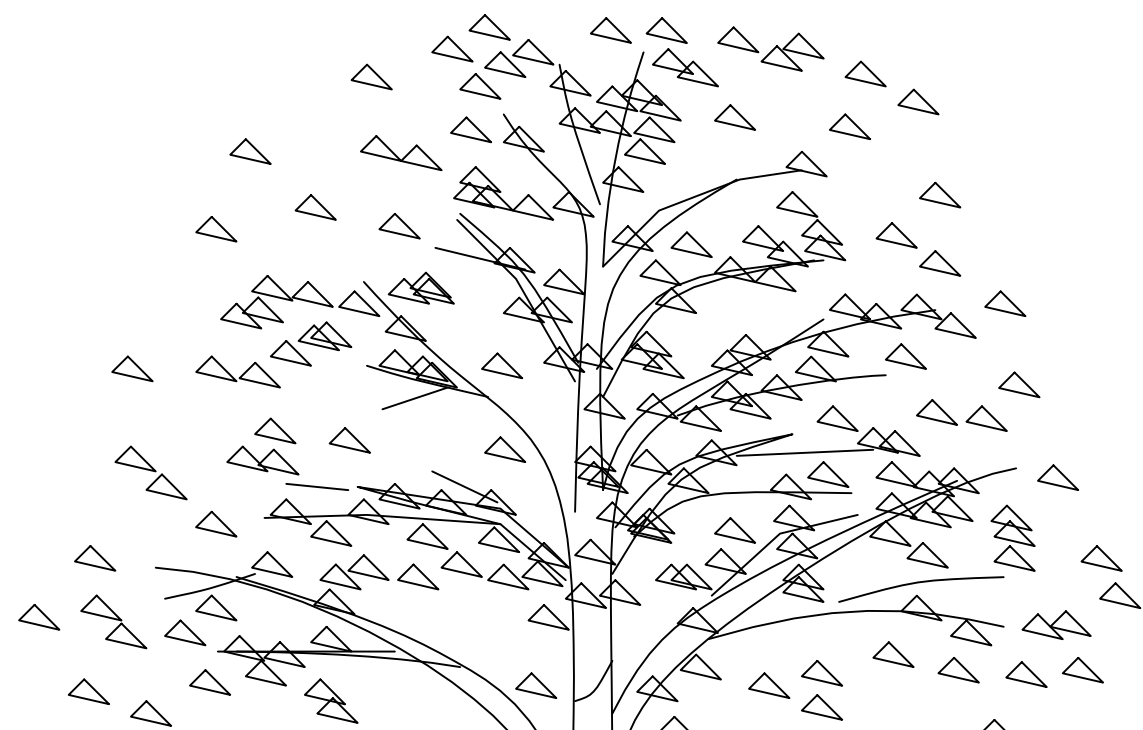
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

CD-511

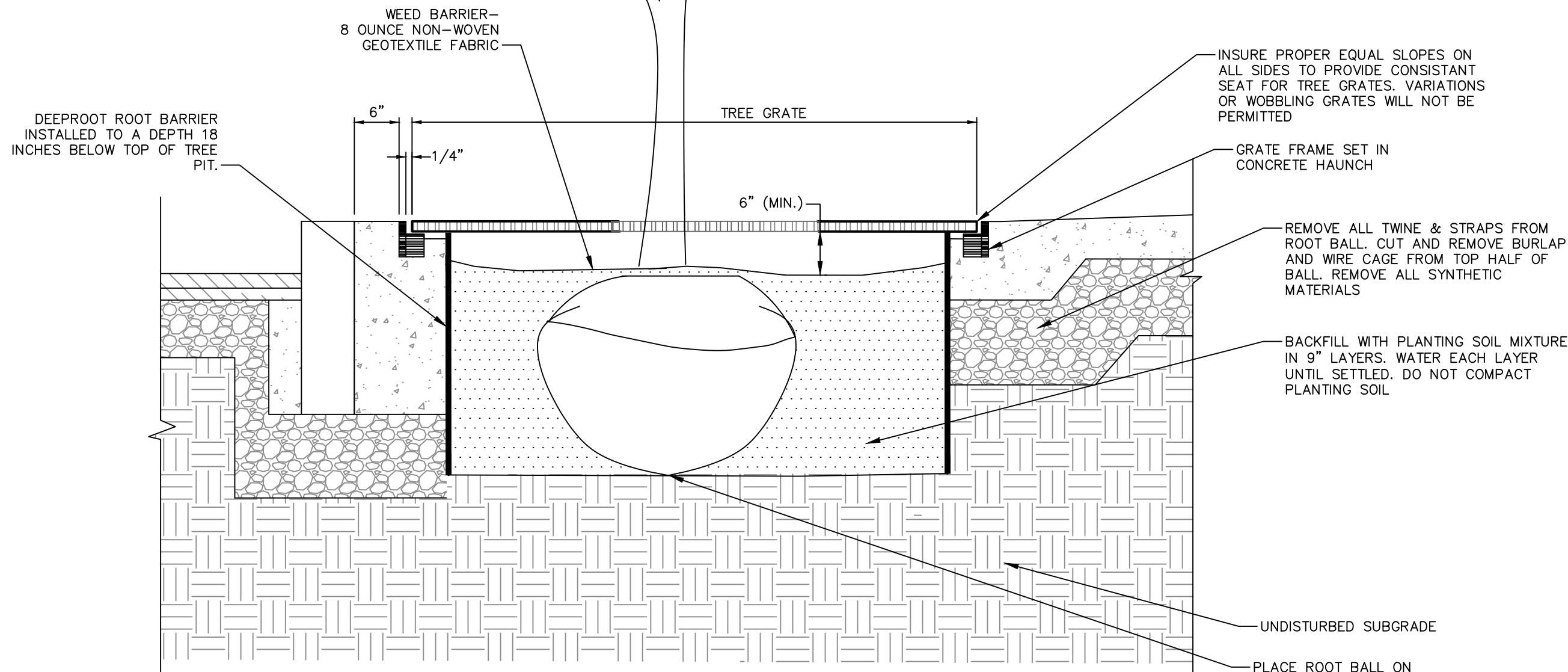
SHEET 26 OF 28

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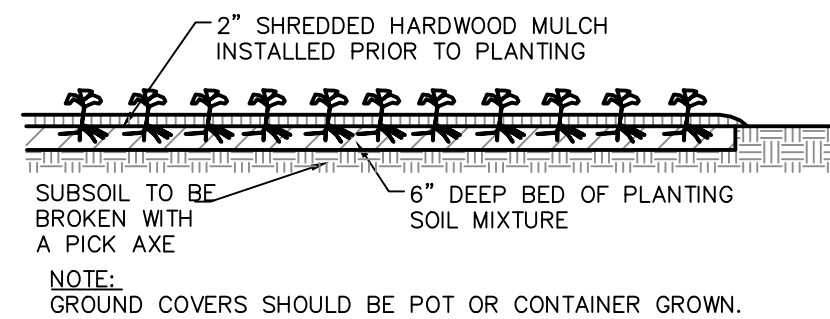
COMPANY: IRON AGE DESIGNS OR APPROVED EQUAL.
TREE GRATE: 5'X5' INTERLAKEN
TREE GRATE FINISH: BAKED OIL
TELEPHONE: (877)-418-3568
WWW.IRONAGEGRATES.COM

* INSTALL PER MANUFACTURER'S RECOMMENDATIONS.



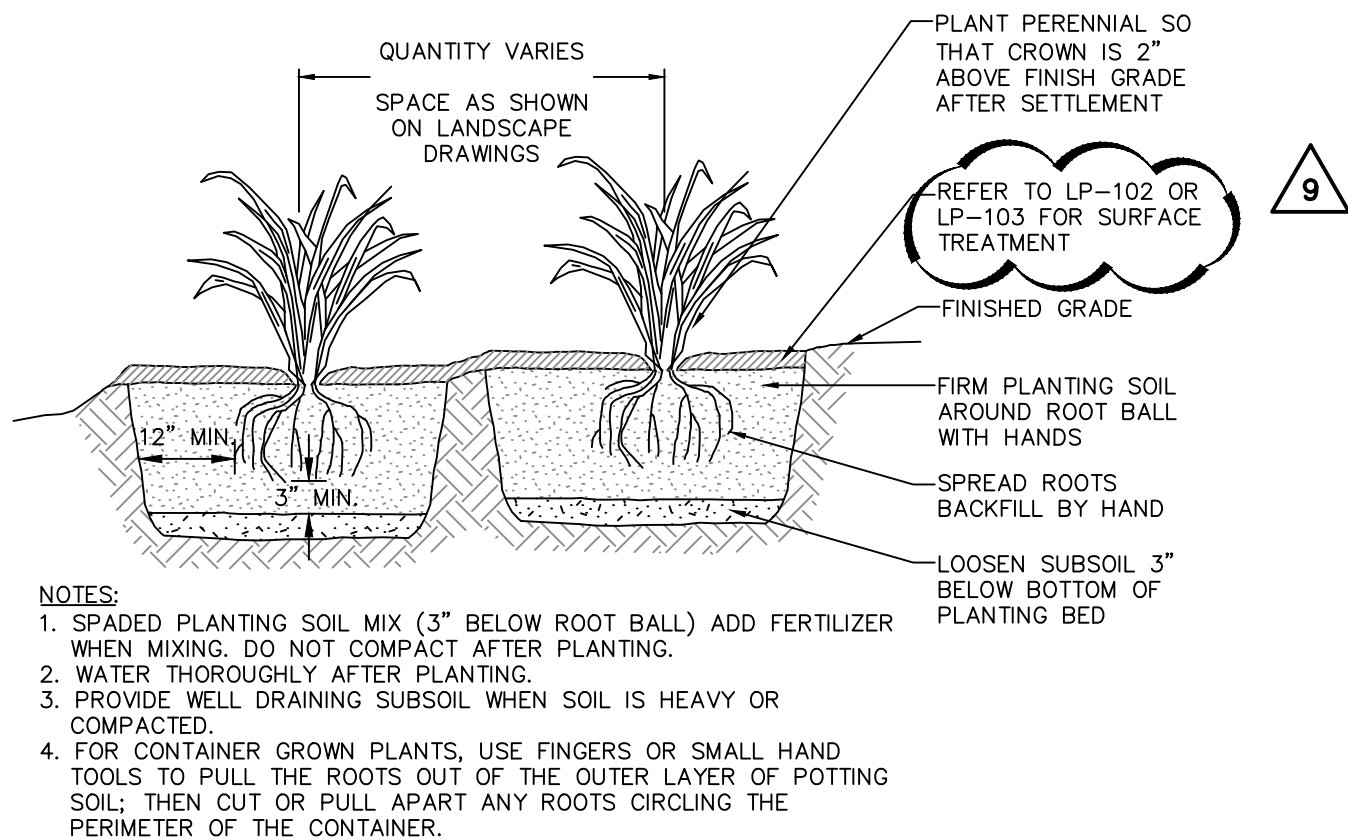
PLANTING SOIL NOTES

- SOIL MATERIAL:
 - PLANTING SOIL SHALL HAVE A SANDY LOAM, LOAMY SAND, OR LOAM TEXTURE PER USDA TEXTURAL TRIANGLE. MAXIMUM CLAY CONTENT IS <15%; SOIL MIXTURE SHALL BE 50-60% SAND; 20-30% PINE BARK MULCH; AND 20-30% TOPSOIL.
 - THE SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS, OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE BIORETENTION THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVE A HINDRANCE TO THE PLANTING OR MAINTENANCE OPERATIONS. THE PLANTING SOIL SHALL BE FREE OF BERMLUDA GRASS, QUACKGRASS, JOHNSON GRASS, MUWORT, NUTSEGE, POISON IVY, CANADIAN THISTLE, TEARTHUB, OR OTHER NOXIOUS WEEDS.
 - SOIL MIXTURE SHALL HAVE 3-5% ORGANIC MATTER BY VOLUME.
- LABORATORY TESTING:
 - SOIL MUST BE TESTED AND APPROVED AS CLEAN FILL IN ACCORDANCE WITH THE REMEDIAL ACTION WORK PLAN (RAWP) PRIOR TO IMPORTATION TO THE SITE.
 - A TEXTURAL ANALYSIS IS REQUIRED TO ENSURE THE SOIL MEETS THE FOLLOWING SPECIFICATIONS.
 - PH RANGE 5.2 - 7.0
 - MAGNESIUM NOT TO EXCEED 32 PPM
 - PHOSPHORUS P205 NOT TO EXCEED 69 PPM
 - POTASSIUM K20 NOT TO EXCEED 78 PPM
 - SOLUBLE SALTS NOT TO EXCEED 500 PPM
- SOIL MAY BE MODIFIED TO ADJUST PH (HIGHER) WITH LIME OR (LOWER) WITH IRON SULFATE PLUS SULFUR.

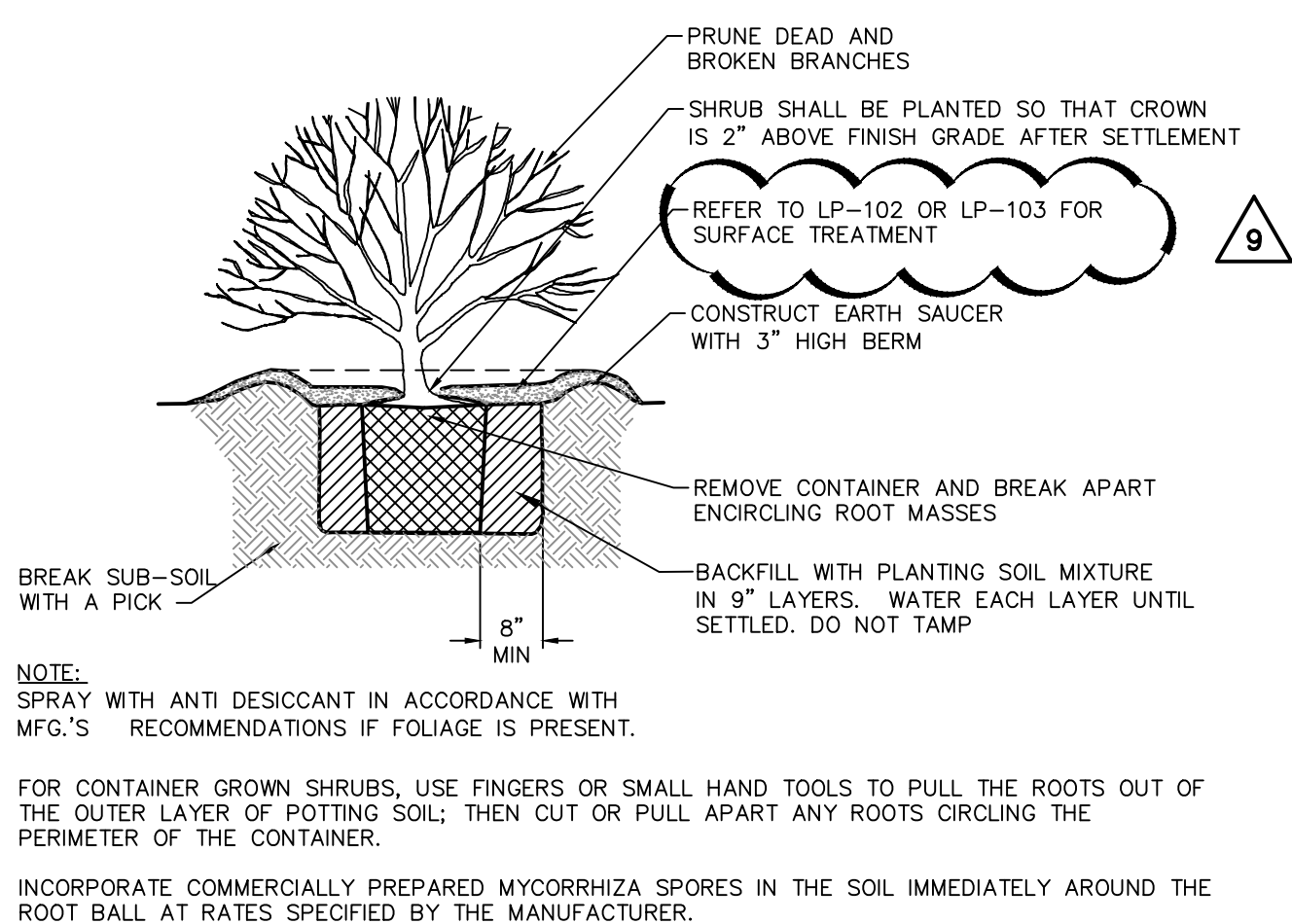


TREE PIT NOT TO SCALE

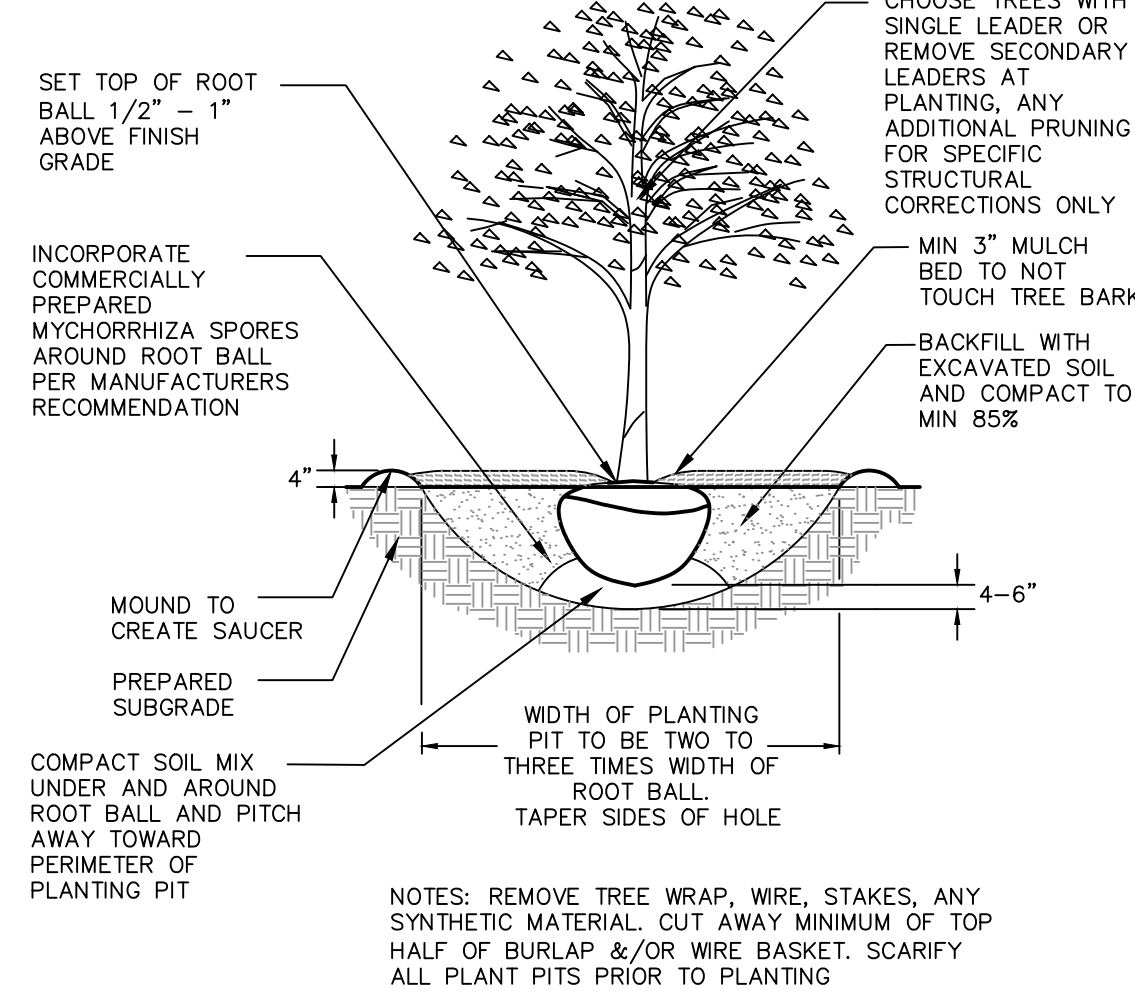
GROUNDCOVER/ANNUAL PLUG PLANTING NOT TO SCALE



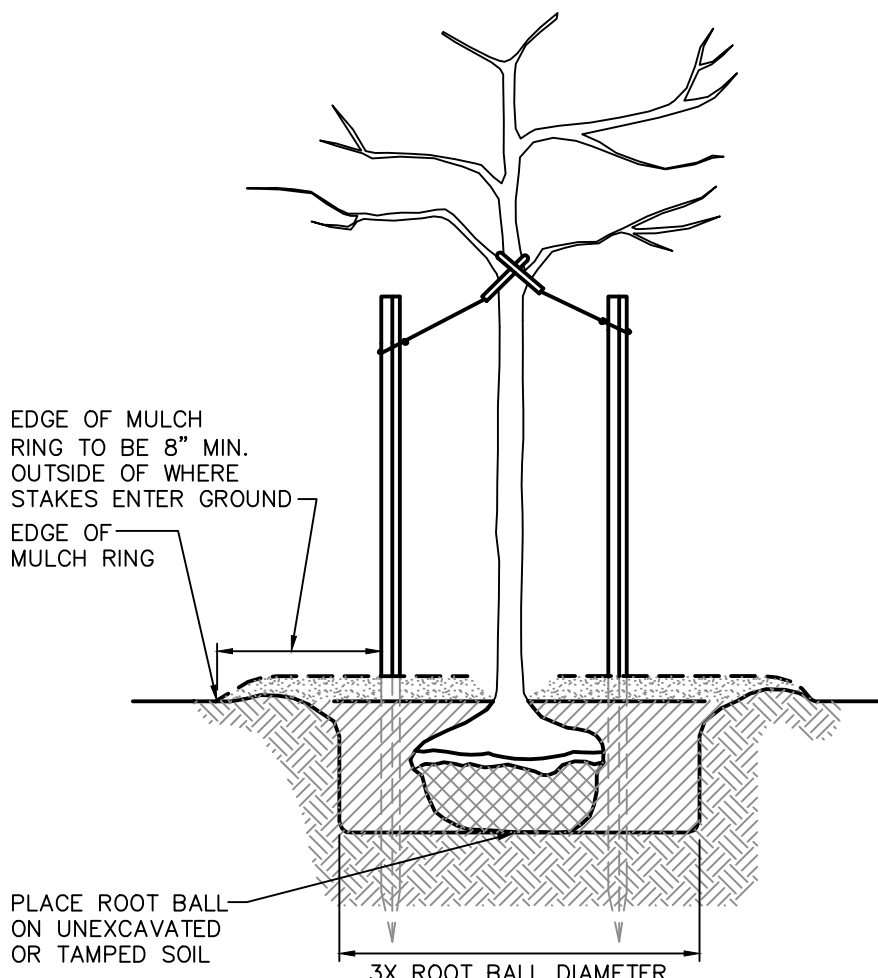
ORNAMENTAL PERENNIALS NOT TO SCALE



SHRUB PLANTING NOT TO SCALE



TREE PLANTING NOT TO SCALE



STAKE DETAIL NOT TO SCALE

PLANNING BOARD APPROVAL

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SEAL



SCALE:

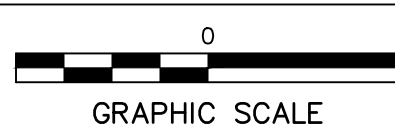
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BRADY SULLIVAN PROPERTIES, LLC

LANDSCAPING DETAILS

BRISTOL YARN MILL

125 THAMES STREET

BRISTOL, RHODE ISLAND

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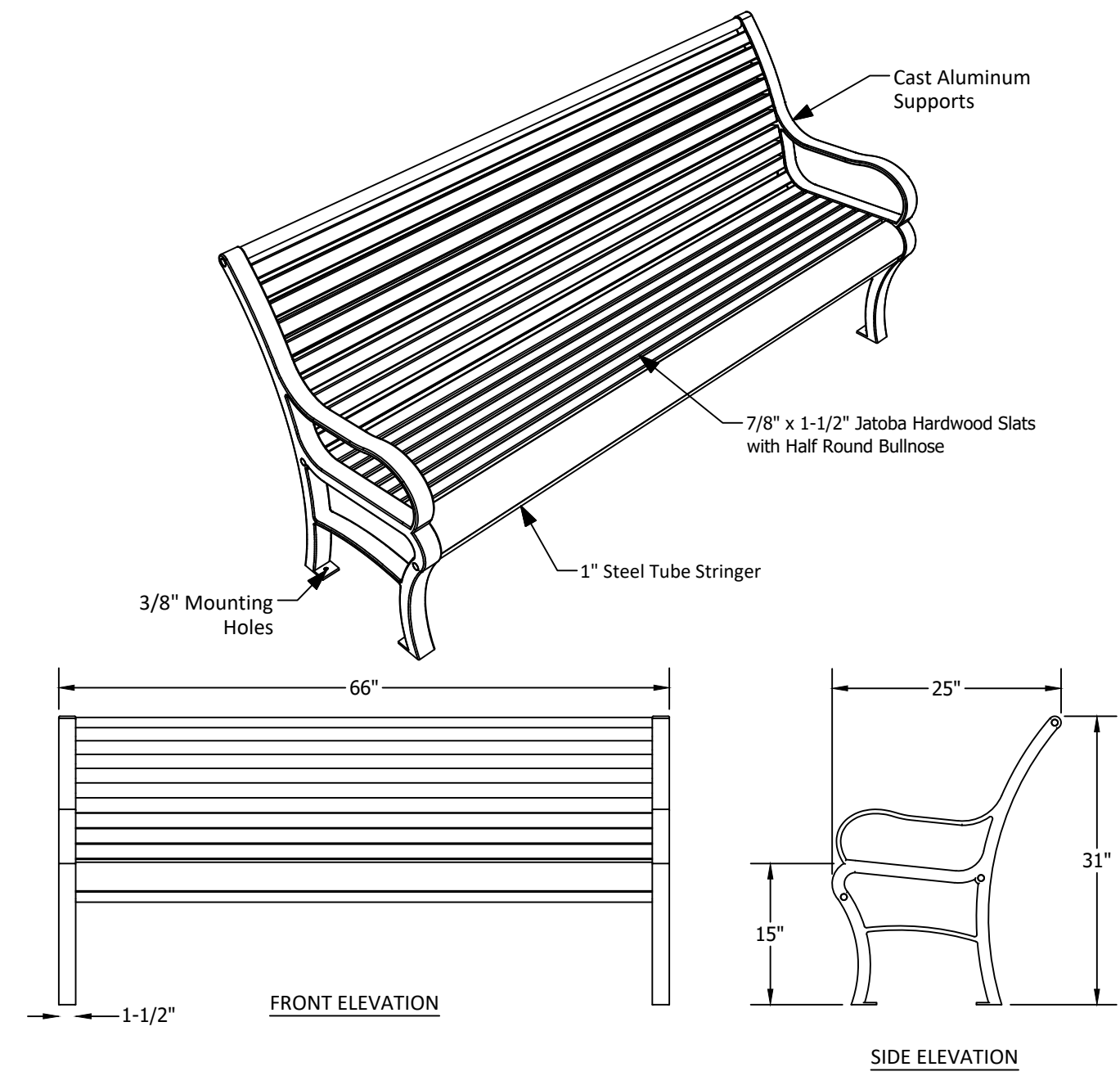
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SHEET 27 OF 28

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CANTERBURY DESIGNS
5632 W. Washington Blvd. | Los Angeles, CA 90016 | 323.936.7111
Website: www.canterbury-designs.com | E-mail: info@canterbury-designs.com

**Brentwood Bench
BNBR-6-BR-W**

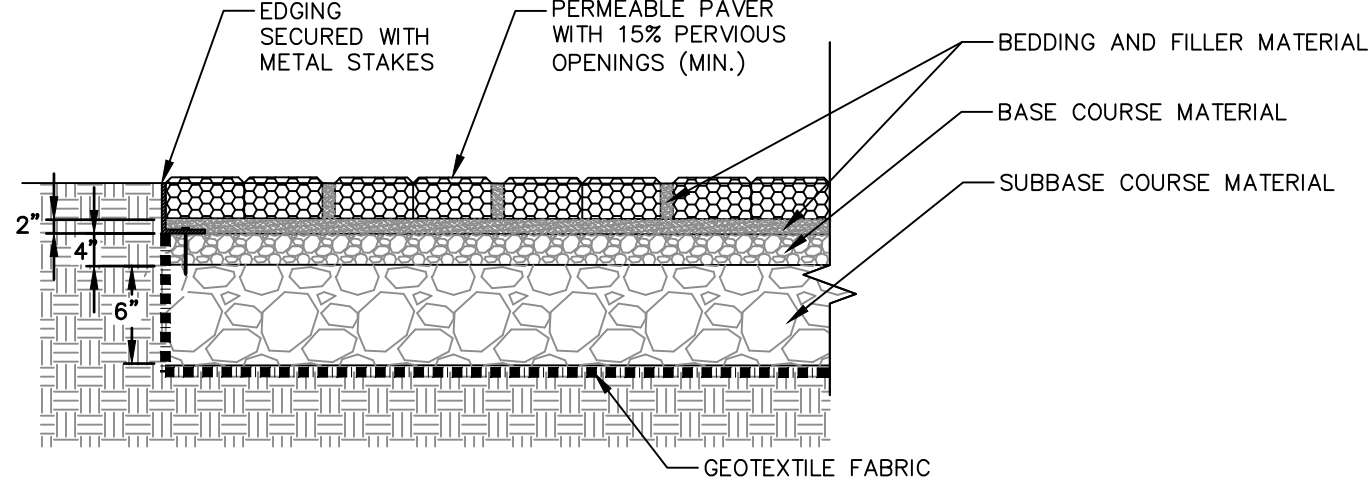


NOTES:

1. All metal components are sandblasted, cleaned, and finished with zinc epoxy primer and polyester powder coat.
2. Mounting holes are 3/8\"/>

BENCH

NOT TO SCALE

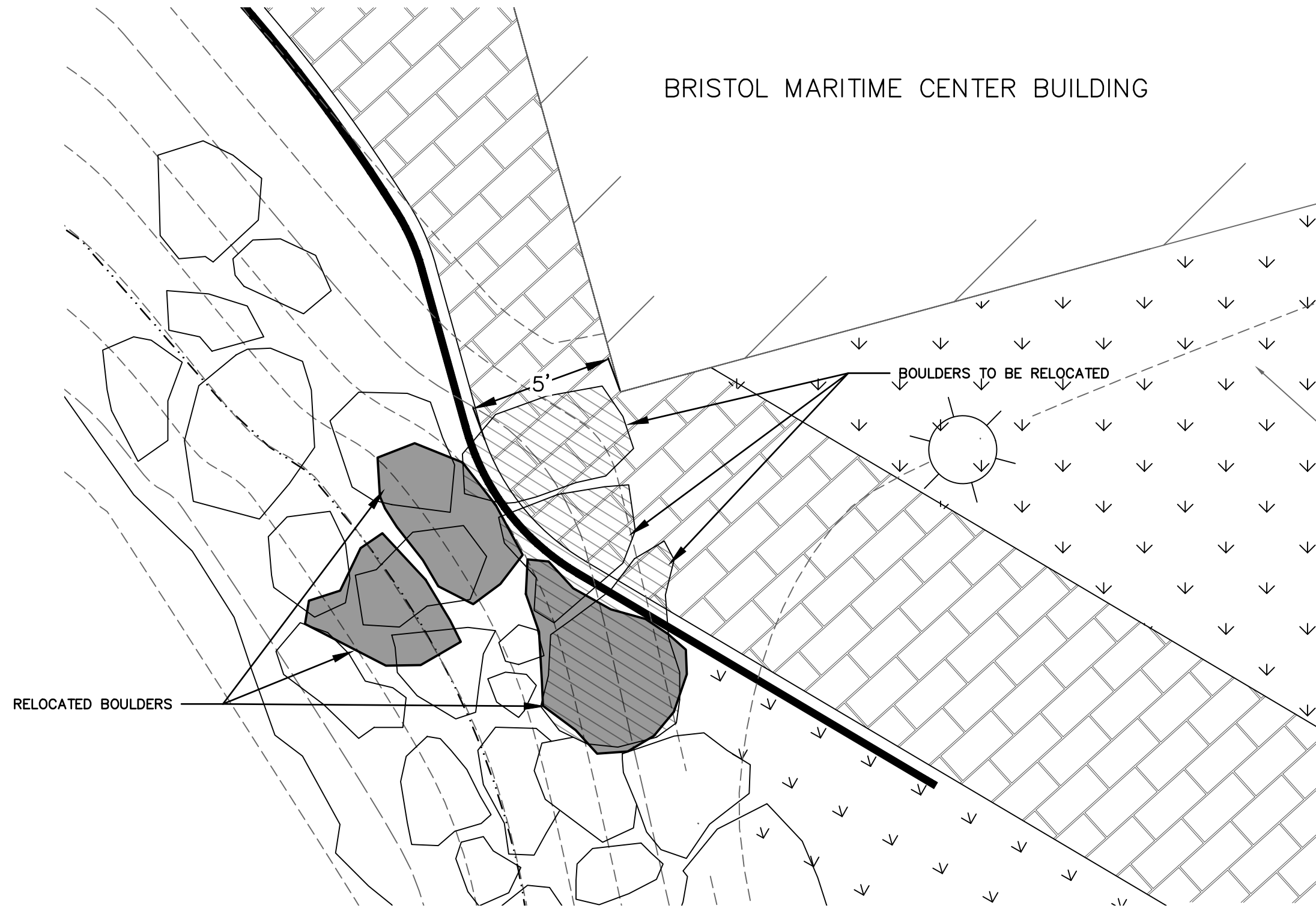


NOTES:

1. BEDDING AND FILLER MATERIAL SHALL CONFORM WITH TABLE 1 COLUMN 6 OF SECTION M.01.09 OF THE STANDARD SPECIFICATIONS. COMPACT BEDDING AND FILLER MATERIAL WITH A 5,000 LB. PLATE COMPACTOR.
2. BASE COURSE MATERIAL SHALL CONFORM WITH TABLE 1 COLUMN 5 OF SECTION M.01.09 OF THE STANDARD SPECIFICATIONS.
3. SUBBASE COURSE MATERIAL SHALL CONFORM WITH TABLE 1 COLUMN 2 OF SECTION M.01.09 OF THE STANDARD SPECIFICATIONS.
4. GEOTEXTILE FABRIC SHALL BE NON-WOVEN FILAMENT POLYPROPYLENE WITH MINIMUM PUNCTURE STRENGTH OF 120 POUNDS.

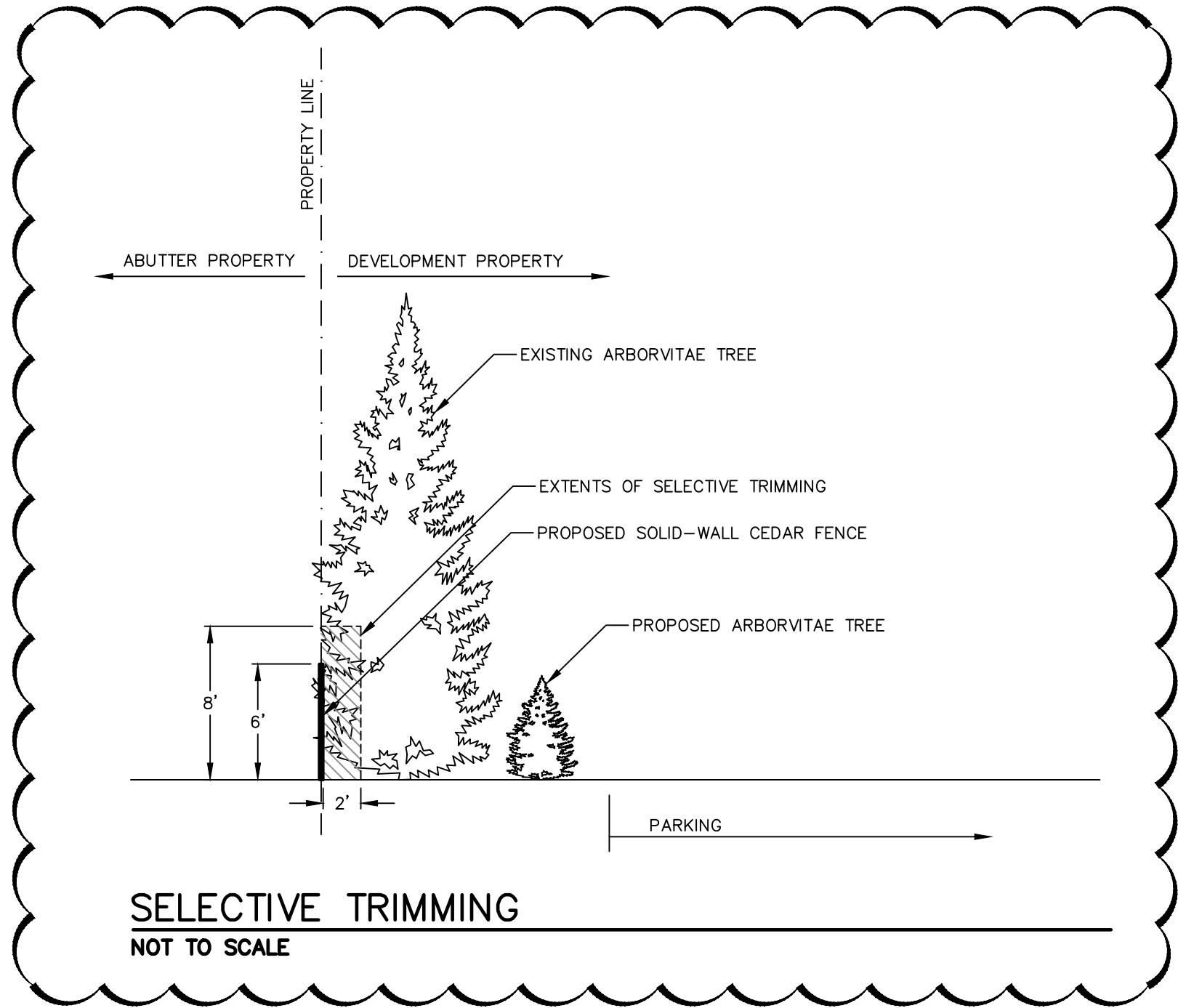
PERVIOUS PAVER WALKWAY

NOT TO SCALE



PERVIOUS PAVER WALKWAY AT BRISTOL MARITIME CENTER BUILDING

NOT TO SCALE



SELECTIVE TRIMMING

NOT TO SCALE

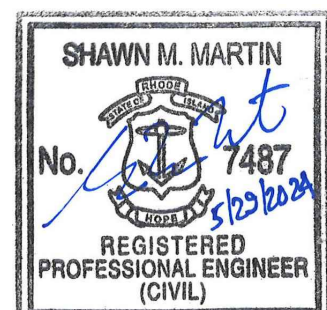
PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

| | | | | |
|-----|------------|--|----------|----------|
| 11 | 5/29/2024 | REISSUE FINAL PLAN | KLM | SMM |
| 10 | 3/6/2024 | RESPONSE TO CRMC COMMENTS | KLM | SMM |
| 9 | 2/2/2024 | FINAL PLAN | KLM | SMM |
| 8 | 11/10/2023 | RESPONSE TO BCWA COMMENTS | KLM | SMM |
| 7 | 10/13/2023 | RESPONSE TO BCWA COMMENTS | KLM | SMM |
| 6 | 9/8/23 | BCWA SUBMITTAL | KLM | SMM |
| 5 | 7/12/23 | RESPONSE TO CRMC COMMENTS | KLM/SL | SMM |
| 4 | 5/19/23 | RESPONSE TO TRC AND PARE COMMENTS | KLM/MH | SMM |
| 3 | 3/27/23 | PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS | KLM | SMM |
| No. | DATE | DESCRIPTION | DESIGNER | REVIEWER |

SEAL

SEAL



SCALE:

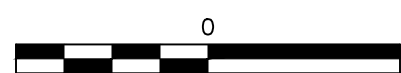
HORZ.: AS NOTED

VERT.:

DATUM:

HORZ.:

VERT.:



GRAPHIC SCALE



FUSS & O'NEILL

317 IRON HORSE WAY, SUITE 204
PROVIDENCE, RI 02908
401.861.3070
www.fando.com

BRADY SULLIVAN PROPERTIES, LLC

LANDSCAPING DETAILS

BRISTOL YARN MILL

125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

CD-513

SHEET 27 OF 28



317 Iron Horse Way, Suite 204
Providence, RI 02908
401.861-3070
www.fando.com

June 3, 2024

Ms. Diane Williamson
Director of Community Development
Town of Bristol
9 Court Street
Bristol, RI 02809

RE: Bristol Yarn Mill Redevelopment
Final Plan Application
A.P. 10 Lots 41, 42, 43, 44, 49, 50, 60, 61, 62, 68, 71, 73, 74, and 76
Thames and Hope Street
Bristol, RI

Dear Ms. Williamson:

Fuss & O'Neill has prepared the accompanying Final Plan application on behalf of the applicant Thames Street Nashua LLC (Applicant), for the redevelopment of the Robin Rug mill complex on Thames Street and some additional parcels with frontage on Thames Street and Hope Street. The project includes 127 residential apartment units and approximately 6,300 square feet of leasable space for commercial uses.

The Bristol Planning Board approved the Master Plan for the project, with conditions, on May 12, 2022 (Bristol Land Evidence Book 2172 Page 297). The Bristol Town Council subsequently approved Zoning Modifications and a Zoning Map Change for the project on August 3, 2022 (Bristol Land Evidence Book 2183 Page 272) that adopted the Planning Board's decision with changes to the provision of affordable housing. Those changes include the requirement that 20% of the residential units (i.e., 26 units based on a total unit count of 127 units) shall be designated as affordable (Bristol Zoning Ordinance Section 28-370), three of the units will be located at Lots 49 and 50 on Assessor's Plat 10, ten units will be located within the mill complex on Lots 42, 60, 61, 62, and 73 on Assessor's Plat 10, and 13 units will be provided through a fee-in-lieu of building or designating units within the development.

The Bristol Planning Board approved the Preliminary Plan for the project, with conditions, on July 14, 2023 (Bristol Land Evidence Book 2217 Page 90). The Preliminary Plan approval conditions are listed in italics in the section below followed by an explanation of how they have been addressed for Final Plan review.

2024 JUN 10 10:56 AM
401.861.3070
www.fando.com

Ms. Diane Williamson
June 3, 2024
Page 2

Preliminary Plan Approval Conditions

- A. *Dedication by deed of the parking lot on the northeast corner of Church and Thames Street. Plat 10, Lot 32 to the Town of Bristol for public parking as required by the zoning that there be 10% of the land area set aside for public institutional uses as required by Section 28-284 (g) prior to recording of final plan.*

Legal documents have been provided by the Applicant's attorney to the Planning Board's attorney.

- B. *Additional arborvitae evergreen buffer plantings shall be planted on the south side of the Thames Street parking lot to augment the existing row as a visual and noise buffer. The number, height and spacing of plantings shall be shown on the final landscaping plans by the landscape architect and installation of same will be verified in the field by the Town Tree Warden.*

The Enlargement Planting Plan (sheet LP-103) has been updated to show additional arborvitae screening plantings along the south side of the Thames Street parking lot.

- C. *A 6-foot tall solid-wall fence shall be installed along the south side of the Thames Street parking lot of a material that blocks headlights and helps mitigate sound. The fence shall NOT be of a stockade design as shown on the preliminary plans. The design of this fence shall be subject to the Historic District Commission review and approval. The Final Plan shall indicate a proposed fence that satisfies these requirements.*

The Site Plan (sheet CS-101) has been revised to show a 6-foot-tall solid wall cedar fence along the property line south of the Thames Street parking lot. A detail has been added to the Details (sheet CD-510) for a 6-foot-tall solid wall cedar fence. The revised fence location was necessary to accommodate the additional buffer plantings and snow storage adjacent to the parking lot. Selective trimming along the south side of the existing Arborvitae trees is necessary to install the fence.

- D. *Historic District Commission review and approval shall be required for all details of exterior changes, including without limitation: windows, doors, light fixtures, fences, and signs. These approvals may be obtained in the normal course with HDC and subsequent to the Final Plan and Building Permits.*

This condition has been noted under the Preliminary Plan Approval Conditions section of the General Notes and Legend (sheet CN-001) of the Final Plan.

- E. *Submission of a construction schedule that includes showing the planting of the arborvitaes and fence installation along the south side of the Thames Street parking lot property prior to any other site work in the parking lot and prior to use of the property as a "laydown area" for construction activities, and such planting and installation shall be completed prior to any other work or use of parking lot as set forth herein.*

FUSS & O'NEILL

Ms. Diane Williamson
June 3, 2024
Page 3

The Construction Sequence section of the General Notes and Legend (Sheet CN-001) has been revised on the Final Plan to include installation of the fence and arborvitae screening plantings along the southern property line of the parking lot prior to site work and stockpiling.

- F. Maintenance of all plantings on the properties shall be an obligation of the applicant and shall be included in a deed covenant stipulating time for replacement plantings.*

Legal documents have been provided by the Applicant's attorney to the Planning Board's attorney.

- G. Tree protection shall be installed to protect the existing trees along the property of 82 Thames Street with this detail to be shown on the final plan.*

Protection for the existing trees along the property of 82 Thames Street has been added to the Site Demolition Plan (sheet CP-101) of the Final Plan.

- H. Recommendations of the Conservation Commission on the proposed landscaping including a diversity of street trees along Thames Street, and an increased buffer of arborvitae along the southern property line of the parking lot.*

The proposed street trees along Thames Street shown on the Enlargement Planting Plan (sheet LP-102) have been revised to increase diversity of tree species along the street. The Enlargement Planting Plan (sheet LP-103) has been revised to include additional arborvitae screening plantings along the southern property line of the parking lot.

- I. Payment of the Affordable Housing Fee to the Town for the Affordable Housing Trust Fund to be paid prior to issuance of the first construction building permit.*

This condition has been noted under the Preliminary Plan Approval Conditions section of the General Notes and Legend (sheet CN-001) of the Final Plan.

- J. Final Legal Documents to be reviewed and approved by the Town Solicitor prior to recording of Final Plan including pedestrian and walkway easements; affordable housing deed restriction and monitoring agreement; and deed restriction, running to the Town of Bristol, that no structures be built on the surface parking lot.*

Legal documents have been provided by the Applicant's attorney to the Planning Board's attorney.

- K. All services to the residential units shall be private including recycling and garbage pick-up, snow plowing, driveway, and drainage maintenance. This shall also be a deed covenant in Land Evidence Records and reviewed and approved by the Town Solicitor.*

Legal documents have been provided by the Applicant's attorney to the Planning Board's attorney.

FUSS & O'NEILL

Ms. Diane Williamson

June 3, 2024

Page 4

- L. As shown on the preliminary plans, a portion of the walkway along the waterfront shall be within the existing Fire Access easement across the Elk's parking lot to connect to Constitution Street, which has been acknowledged by the Elk's subject to the pedestrian easement which the Town is preparing. The applicant will prepare a CRMC application, as may be needed for the walkway through the parking lot, construct pavement markings and install signage as required.*

The Applicant incorporated a pathway and signage within its access easement across the Elks property in the application to CRMC for State Assent for the Bristol Yarn Mill redevelopment.

- M. CRMC Assent shall be submitted with the Final Plan review application.*

The CRMC Assent is enclosed.

- N. The applicant shall apply to the Town Council for approval for the proposed relocation of the existing Mill building loading space on the west side of Thames Street further north as indicated on the preliminary plans.*

The Applicant will apply to the Town Council as required.

- O. Because ADA-Compliant parking is only being provided inside the building, there shall be no additional charge to residents using such ADA-Compliant parking.*

This condition has been noted under the Preliminary Plan Approval Conditions section of the General Notes and Legend (sheet CN-001) of the Final Plan.

- P. There shall be no activities or amenities provided on the roof of any of the mill buildings.*

No activities or amenities are proposed to be provided on the roof of any of the mill buildings. This condition has been noted under the Preliminary Plan Approval Conditions section of the General Notes and Legend (sheet CN-001) of the Final Plan.

- Q. Final Plan review and approval shall be performed by the Planning Board.*

This condition has been noted under the Preliminary Plan Approval Conditions section of the General Notes and Legend (sheet CN-001) of the Final Plan.

Clarification of Checklist Items

- D3. As noted in the conditions of approval section, all legal documents have been provided to the Planning Board's attorney for approval.

FUSS & O'NEILL

Ms. Diane Williamson
June 3, 2024
Page 5

- D15b. Following Final Plan approval and Bristol Historic District Commission and Bristol Historic District Commission approvals, the Applicant will engage a qualified contractor to obtain all necessary connection permits, which will include a service by-pass plan during construction.
- D17. The Applicant asserts no taxes are past due and is in the process of obtaining verification.
- D22. As noted in item #15b above and during the Preliminary Plan review, the Applicant will pursue Bristol Historic District Commission after Final Plan approval.
- E1-4. All fees due and payable to the Town of Bristol as part of the Final Plan will be paid by the Applicant once the amounts have been calculated by the Planning Board. The enclosed estimate of costs for the proposed public improvements was prepared by the Application for the Planning Board's review.
- E7. CRMC is the only outside agency (i.e., agency not within the Town of Bristol jurisdiction) with application fees. Reviews of applications for State Assent may not commence and no Assents shall be issued until application fees have been paid in full. Consultant review fees, if required, will be collected by the Planning Board once the amounts have been determined.
- E8. Mapping fees due and payable to the Town of Bristol as part of the Final Plan will be paid by the Applicant once the amounts have been calculated by the Planning Board.

In addition to the required paper copies of the application documents, an Adobe PDF copy of the complete application will be provided through electronic transmittal. If you have any questions about this application, please contact me at shawn.martin@fando.com or (401) 787-8322.

Sincerely,



Shawn M. Martin, PE
Senior Vice President | Regional Manager

Enclosures: Final Plan Application and Checklist (1 copy)
CRMC Assent (1 copy)
USACE Pre-Construction Notification Authorization (1 copy)
Public Access Easement Plan (1 copy)
Public Access Easement Description (1 copy)
Bristol Yarn Mill Roadway Cost Breakdown (1 copy)
Bristol Yarn Mill Permitting Plan, 28 sheets, Revised 5/29/2024 (6 full-size, 12 reduced copies)

c: Shane Brady, Thames Street Nashua, LLC
Chris Reynolds, Brady Sullivan
John McCoy, Bengtson & Jestings LLP

APPLICATION FORM AND SUBMISSION CHECKLIST FOR MAJOR LAND DEVELOPMENTS AND MAJOR SUBDIVISIONS

Major Subdivisions - A plan for a residential subdivision of land consisting of more than five lots; or, a plan for a nonresidential subdivision of land.

Major Land Development - A plan for a residential or nonresidential land development project as defined in Article VIII of the Zoning Ordinance.

The completed application form together with the appropriate materials from Items A, B, C, D, and E for either a Master Plan, Preliminary or Final application as indicated on the checklist shall be submitted to the Administrative Officer at least three weeks prior to the regularly scheduled meeting of the Planning Board.

Date Submission Due: _____ Planning Board Meeting Date: _____

APPLICATION FORM

Type of Application: Please check one:

☐ **Master Plan** - An overall plan for a proposed project site outlining general, rather than detailed, development intentions. *NOTE:* The entire property under the applicant's ownership shall be shown on the Master Plan with all proposed development indicated, including future phases. Failure to show the entire property and all proposed development may result in forfeiture of future development rights on the property.

☐ **Preliminary** - The stage, following Master Plan, at which time all required detailed engineering drawings and all required State and Federal Permits shall be submitted.

Indicate date of Master Plan Approval: _____

Indicate dates of all extensions: _____

☒ **Final** - The stage, following Preliminary, which is the last stage of review.

Indicate date of Preliminary Plan Approval: July 13, 2023

Indicate dates of all extensions: _____

2023 JUL 14 AM 8:46
COMMUNITY DEV

APPLICATION FORM, CONT.

1. Name of proposed subdivision: Bristol Yarn Mill

2. Name, address and telephone number of property owner (if the owner of record is a corporation, the name and address of the president and secretary):

Thames Street Nashua, LLC
c/o Shane Brady
670 N. Commercial Street, Suite 303
Manchester, NH 03101

3. Name and address and telephone number of applicant, if different from owner: (A written, notarized confirmation from property owner authorizing the applicant to make the submission shall also be submitted):

Same.

4. Plat and lot number(s) of the parcel being subdivided: AP 10, Lots 41, 42, 43, 44, 48, 49, 60, 61, 62, 68, 73, 74, & 76

5. Area of the subdivision parcel(s): 4.8 +/- acres

6. Zoning District: Waterfront PUD, Waterfront, Downtown

7. Names of existing streets within and immediately adjacent to the parcel being subdivided with notation as to whether Town, State or Private. Include right-of-way and pavement widths:

Thames St (Town) 49.5'/28'+/-

Hope St (State) variable (est. >60')/32'+/-

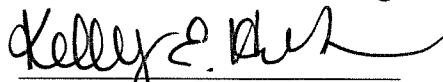
Constitution St (Town) variable (est. >60')/39'+/-

8. Attach a list of the names and current mailing addresses (and on mailing labels) of property owners within notice area radius (See Section 8.5A) from the current real estate and assessment records of the Town, including plat and lot numbers

Signed by Owner/Applicant:  Date: 5/31/2024

Notarized:

Subscribed and sworn to before me this 31 day of may, 2024.


NOTARY PUBLIC

KELLY E. HILSON
Notary Public, State of New Hampshire
My Commission Expires February 21, 2029

SUBMISSION CHECKLIST MAJOR LAND DEVELOPMENTS AND MAJOR SUBDIVISIONS

M = Master Plan

P = Preliminary

F = Final

| | M | P | F | Applicant ✓ | Date & Town Initials |
|---|---|---|---|----------------|----------------------------|
| NOTE: All plan sheets must include Title Block as well as items B 1-8 below. | • | • | • | | |
| A. Plan of Existing Conditions - Five (5) blue-line or photocopies of a plan at a scale of 1" = 40' (minimum size of 8 1/2" x 11, maximum size of 18" x 24") showing the entire tract under the applicant's ownership as it currently exists, including location and dimension of existing lots, easements and rights-of-way, and all natural and man-made features; | • | | | ✓ | |
| B. Subdivision/Land Development Drawing(s) - Master Plan and Preliminary Plans - Five (5) blue-line or photocopies shall be submitted for distribution to and review by the Technical Review Committee. Each sheet shall be a minimum size of 8 1/2" x 11" and a maximum size of 24" x 36" at a scale of 1" = 40', unless determined otherwise at the Pre-Application Conference, with a sufficient number of sheets to clearly show all of the information required. Sheets shall be numbered sequentially (e.g. sheet 1 of 3, 2 of 3, etc.) | • | • | | N/A | |
| Final Plans - Five (5) blue-lines or photocopies shall be submitted for distribution to and review by the Technical Review Committee. Upon approval, one (1) reproducible mylar*, six (6) blue-line or photocopies, and one electronic AutoCAD file of all plans shall be submitted. Each sheet shall be a maximum size of 24" x 36" at a scale of 1" = 40' [unless otherwise specified by the Planning Board]; two of these sheets shall include the assessor's numbers, signed by the Tax Assessor. The subdivision plans shall contain the following: | | | • | | |
| 1. Name of the proposed subdivision; including phase numbers, if any | • | • | • | ✓ | |
| 2. Name and address of property owner or applicant; | • | • | • | ✓ | |
| 3. Name, address and telephone number of person or firm preparing the plan; | • | • | • | ✓ | |
| 4. Date of plan preparation, with revision date(s) if any; | • | • | • | ✓ | |
| 5. Graphic scale (1"=40' or larger) and north arrow; | • | • | • | ✓ | |
| 6. Plat and lot number(s) of the land being subdivided; | • | • | • | ✓ | |
| 7. Legend showing all symbols; | • | • | • | ✓ | |
| 8. Zoning districts(s) of the land being subdivided and the abutting and adjacent properties. If more than one district, zoning boundary lines must be shown; | • | • | • | ✓ | |
| 9. Perimeter boundary lines of the subdivision, drawn so as to distinguish them from other property lines. These shall be marked in the field by survey stakes to identify the limits of the property; | • | • | • | ✓ | |

M = Master Plan

P = Preliminary

F = Final

| | | | | | |
|---|---|---|---|-----|--|
| 10. Names of abutting property owners and property owners across any adjacent streets; | • | • | • | ✓ | |
| 11. Area of the entire proposed development parcel(s); | • | • | • | ✓ | |
| 12. Location and number of all proposed lots, with accurate areas, dimensions and angles indicated; including a zoning data table showing calculations necessary to determine conformance to zoning regulations; | • | • | | N/A | |
| 13. Location, names, right-of-way and pavement widths of existing and proposed streets within and immediately adjacent to the subdivision parcel; | • | • | • | ✓ | |
| 14. Location, size and proposed use of existing buildings and structures, including historic designation, if any; | • | • | • | ✓ | |
| 15. Location of existing utilities including wells and individual sewage disposal systems (abandoned utilities must be shown and noted as such); | • | • | • | ✓ | |
| 16. Provisions for collecting and discharging stormwater; | • | • | | ✓ | |
| 17. Location, scale, massing, height, (including relationship to existing and proposed grades) and dimensions of proposed structures, if any; including; floor area ratios, lot coverage and total building square footage; this information may be provided on a separate sheet, if necessary; | • | • | • | ✓ | |
| 18. Location of proposed permanent bounds (documentation that all proposed bounds have been set shall be provided prior to Final plan recording); | | • | • | ✓ | |
| 19. Location of existing environmental features including general soil types, rock outcrops, surface water, wetland areas, wooded areas and major trees twelve (12) inch caliper or larger, and any other significant environmental features, if any; | • | • | | ✓ | |
| 20. Existing contours with minimum intervals of two (2) feet; where any changes in contours are proposed, finished grades must be shown as solid lines. Spot elevations must also be shown with at least two (2) benchmarks referenced; | • | • | | ✓ | |
| 21. Location of any wetlands, watercourses or their buffers (perimeter wetlands) present on the subdivision parcel, as determined by a RIDEM qualified wetlands biologist {in accordance with RIDEM Wetland Regulations}; | • | | | ✓ | |
| 22. Notation as to flood zone of the property including base flood elevation data; | • | • | | ✓ | |
| 23. Areas of agricultural use, (if any); | • | • | | ✓ | |
| 24. Location of historic cemeteries on or immediately adjacent to the subdivision (if any); | • | • | | ✓ | |
| 25. Location of any unique natural and/or historic features, including stone walls; | • | • | | ✓ | |
| 26. Location, dimension, and area of any land proposed to be set aside as open space, recreation, or drainage or conveyed to the Town for public purposes; | • | • | • | ✓ | |
| 27. Location and notation of type of proposed easement(s) or existing easement(s) to remain (if any) with accurate dimensions and areas indicated; | | • | • | ✓ | |

M = Master Plan

P = Preliminary

F = Final

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|--|---|---|---|-----|--|
| 28. Notation of special conditions of approval imposed by the Planning Board (if any); | | • | • | ✓ | |
| 29. Notation of any permits and agreements with State and Federal Reviewing agencies (if any); | | • | • | ✓ | |
| 30. A place for signatures of the Planning Board Chair or Designee must be provided on all plans and/or documents to be signed by the Planning Board; | • | • | • | ✓ | |
| 31. Certification by a Registered Land Surveyor that all interior and perimeter lot lines and street lines of the land being subdivided have been designed to conform to <u>Procedural and Technical Standards for the Practice of Land Surveying in the State of Rhode Island and Providence Plantations</u> , effective April 1, 1994, as amended. Measurement standards for the surveys shall meet the minimum standards for Class I Surveys. | | • | • | ✓ | |
| C. Construction Drawings - Six (6) blue-line or photocopies of preliminary and final construction plans of street and drainage structures drawn to a minimum scale of 1 inch to 40 feet (1"=40') for referral to the Technical Review Committee. Each sheet shall be no larger than 24 " by 36", and a sufficient number of sheets shall be included to clearly show all of the information required. Sheets shall be numbered sequentially (e.g., sheet 1 of 3, 2 of 3, etc). All construction plans shall be certified as correct (stamped and signed) by a Registered Professional Engineer: | | • | • | ✓ | |
| 1. <u>If street creation or extension is proposed:</u> | | | | | |
| a. <i>Streets Plan and Profile:</i> (minimum scale of 1"=40' horizontal) with profiles (minimum 1"=4' vertical) indicating the street center line, curblines, and the existing elevations of the ground at the street center line, location size, rim and invert elevations of proposed sewer lines, water lines and other underground utilities; and, street cross-sections showing width of right-of-way, roadway; and, if required location and width of sidewalks. | | | | | |
| b. Street plans shall also include all vehicular access to and from the site onto public streets including the size and location of curb cuts, driveways, parking and loading areas and other off-site traffic improvements necessary to ensure public safety; and, stubs for future connections to future streets in adjacent vacant lands. NOTE: The Planning Board may make any referrals and require of the applicant any studies it deems necessary to evaluate traffic and circulation plans. | | | | N/A | |

M = Master Plan

P = Preliminary

F = Final

| C. Construction Drawings, cont. | | | • | • | | |
|---|---|---|---|---|-----|--|
| 2. For phased projects, as-built drawings for the previous phase; | | | • | • | N/A | |
| 3. Drainage and Utility Plans to show the existing and proposed drainage structures, drainage basin areas, drainage flow paths, and outfalls with water quality measurements, including all utilities such as sewer, water, electric, gas, fire alarm cable, telephone and cable TV, manholes, valves, hydrants. Also included shall be a report summarizing drainage calculations; drainage plans and drainage calculations shall be prepared by a Registered Professional Engineer; | | | • | • | ✓ | |
| 4. Additional plans with appropriate construction details and construction notes for street pavement, sidewalk, drainage structures, street lighting, exterior site lighting/photometrics plan (Major Land Developments only), sanitary structures, water line and water line structures, trench excavation, and steep slope excavation, if applicable; | | | • | • | ✓ | |
| 5. Grading plans to show proposed contours at two-foot intervals for all grading proposed for on and off-site street construction, drainage facilities, and upon individual lots if part of proposed subdivision improvements; | | | • | • | ✓ | |
| 6. Soil erosion and sediment control plan in conformance with Appendix F, if required; | | | • | • | ✓ | |
| 7. Landscaping plan as detailed in Appendix F; | | | • | • | ✓ | |
| 8. Plans showing street names and hydrant locations approved by the Fire Chief; | | | • | • | ✓ | |
| 9. Construction Schedule identifying expected start and finish times for major construction tasks; | | | • | | ✓ | |
| 10. Temporary improvements, if any, in accordance with Appendix F; | • | • | | | N/A | |
| 11. A traffic flow plan showing circulation patterns within the development; | | | • | | ✓ | |
| 12. If any streets, areas, or facilities are to be dedicated to the Town of Bristol, a statement shall be added to all final plat plans stating that such dedication shall not impose any duty or responsibility upon the Town of Bristol to maintain or improve any dedicated streets, areas, or facilities until specifically authorized by the Town Council per Section 6.7 of these regulations. | | | | • | N/A | |
| D. Supporting Materials: | | • | • | • | | |
| 1. 12 reduced copies of all plans required in Items A, B, and C above (minimum 8 1/2" x 11" and maximum 11" x 17"); | | • | • | • | | |
| 2. One (1) copy of a narrative report providing the general description of the proposed development and phasing if any, including the proposed financing and present ownership of all of the land included within the development; if the applicant does not own all the land, then explain how it will be assembled or how site control will be achieved; | • | | | | N/A | |

M = Master Plan

P = Preliminary

F = Final

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|--|---|---|--|-----|--|
| 3. One (1) copy of a current deed and an Attorney's certificate certifying title, including encumbrances, easements, and/or temporary or permanent restrictions on the property; | | • | | ✓ | |
| 4. A list of consultants (i.e. engineering, planning, environmental) to be used on the project; | | • | | ✓ | |
| 5. A vicinity map, (locus map) drawn to a minimum scale of 1" = 400' or as necessary to show the area within one-half mile of the subdivision parcel showing the location of all streets, existing lot lines, and zoning district boundaries. Schools, parks, fire stations and other significant public facilities shall be indicated on the locus map by shading and labeling the specific use; | • | | | N/A | |
| 6. A list of the names and mailing addresses as shown on the current real estate and assessment records of the Town for the property owners within the notice area; (See Section 8.5) this information shall also be on mailing labels; | • | • | | N/A | |
| 7. Low Impact Development (LID) Site Planning and Design strategies and Checklist from the Rhode Island Stormwater Design and Installation Standards Manual. Stormwater designs should meet RI Stormwater Manual Minimum Standards. | • | | | N/A | |
| 8. A radius map, showing the property within the notice area (See Section 8.5) including: a. the shape, dimension and area of the property; b. the location of all zoning use district boundary lines; c. the assessor's plat and lot numbers; and, d. the general location, shape, use; and if any, historic designation of all existing buildings and structures and improvements; The above information may be shown on an 11" x 17" plan at a scale as appropriate; | • | | | N/A | |
| 9. Architectural elevations (with measurements as needed for each interpretation) and of all exterior facades of proposed or existing buildings, structures and equipment including type and color of materials to be used; elevations shall be at an appropriate scale as determined at the preapplication stage; | • | | | N/A | |
| 10. Legal documents describing the property, including proposed easements and rights-of-way, offer to convey public streets, creating Homeowners Association (if appropriate) deed transferring open space, dedications, restrictions, or other required legal documents: | | | | | |
| a. Two draft copies for review by the Planning Board Solicitor; | • | | | N/A | |
| b. Two signed final copies; | | • | | | |
| 11. Written confirmation from the RI Department of Environmental Management that the plans of the proposed subdivision, including any required off-site construction, have been reviewed and indicating that the Wetlands Act either does not apply to the proposed site alteration or that approval has been granted for the proposed site alteration; | | • | | N/A | |

M = Master Plan

P = Preliminary

F = Final

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|--|---|---|---|------------|--|
| 12. In lieu of item 10 above, an affidavit signed by a qualified professional (having minimum qualifications as described by the RIDEM Department of Freshwater Wetlands) stating that there are no freshwater wetlands or their buffers (perimeter wetlands) present on the property being subdivided {in accordance with RIDEM Wetland Regulations}; | | • | | N/A | |
| 13. Preliminary determination from the Coastal Resources Management Council if the parcel to be subdivided is subject to the jurisdiction of this agency; | | • | | N/A | |
| 14. A Physical Alteration Permit (PAP) issued by the State Department of Transportation for any connection to or construction work within a State highway or State right-of-way (if applicable); | | • | | N/A | |
| 15. Water Service (if proposed): | | | | | |
| a. Written confirmation that the Bristol County Water Authority has reviewed the plan and is able to provide water service; | | • | | N/A | |
| b. A copy of the water contract covering the installation of water service or written confirmation that a contract has been executed or will be executed upon approval by the Planning Board (a copy of the executed contract must be submitted prior to endorsement by the Planning Board); | | | • | | |
| 16. Sewer: | | | | | |
| a. Written confirmation from the Bristol Water Pollution Control Facility certifying that the subdivision can tie into the Bristol Sewer Service; or, | | • | | N/A | |
| b. If Individual Sewage Disposal Systems are proposed, either a preliminary subdivision suitability report or a water table verification from the Rhode Island Department of Environmental Management indicating that the soil and water table within the proposed subdivision are suitable for the safe and proper operation of individual sewage disposal systems; | | | • | N/A | |
| 17. Certification from the Tax Collector that all property taxes are current and that sewer assessments and sewer use fees are paid; | | | • | In Process | |
| 18. A letter stating it is the intent to complete the required improvements prior to Planning Board endorsement of the final plat or a letter requesting that a security sufficient to cover the cost of required improvements be set by the Planning Board, along with a construction cost estimate for improvements; | | | • | N/A | |
| 19. Application form; | • | • | • | ✓ | |

M = Master Plan

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|---|---|---|---|-----|--|
| <p>20. Initial written comments on the Master Plan and final written comments on Preliminary from the following agencies:</p> <p>a. _____ Planning Board Engineer Date: _____</p> <p>b. _____ Water Authority Date: _____</p> <p>c. _____ Sewer Department Date: _____</p> <p>d. _____ Building Inspector Date: _____</p> <p>e. _____ Planning Department Date: _____</p> <p>f. _____ Department of Public Works Date: _____</p> <p>g. _____ Fire and Police Date: _____</p> <p>h. _____ Conservation Commission Date: _____</p> <p>i. _____ Other Local Agencies, Specify: _____ Date: _____</p> <p>j. _____ Adjacent Community (Warren) Date: _____</p> <p>k. _____ RI Dept. of Environmental Management Date: _____</p> <p>l. _____ RI Dept. of Transportation Date: _____</p> <p>m. _____ Coastal Resources Date: _____</p> <p>n. _____ Other State Agencies, Specify: _____ Date: _____</p> <p>o. _____ FEMA Date: _____</p> <p>p. _____ Other Federal Agencies, Specify: _____ Date: _____</p> <p>NOTE: REFERRALS TO THE ABOVE AGENCIES WILL BE MADE BY PLANNING DEPARTMENT STAFF.</p> | • | • | | N/A | |
| 21. Report and recommendations from the Technical Review Committee; | • | • | | N/A | |
| 22. Approvals from other Town Boards and commissions, as appropriate; | | • | • | ✓ | |
| 23. Approvals from other State Agencies, as appropriate; | | • | | ✓ | |
| 24. Such other information as may be required to show that the details of the proposal are in accordance with this section and all other applicable requirements and standards of these Regulations. | • | • | • | ✓ | |
| E. Payment of Required Fees - Payment of the following fees or posting of financial guarantees, if required, to be prior to endorsement by the Planning Board: | | | | | |
| 1. Application fee; | • | • | • | TBD | |
| 2. Final plat recording fee; | | | • | TBD | |
| 3. Engineer Review and Inspection Fee; | • | • | • | TBD | |
| 4. Performance guarantee or other financial guarantees (if applicable); | | | • | TBD | |
| 5. Fees in-lieu of land dedication (if applicable); | | | • | N/A | |
| 6. Maintenance guarantee for acceptance of public improvements (if applicable); | | | • | TBD | |
| 7. Receipt that all other fees to outside agencies have been paid by applicant, if any; | | | • | N/A | |
| 8. Mapping fees shall be paid to the Tax Assessor prior to recording plan. | | | • | TBD | |

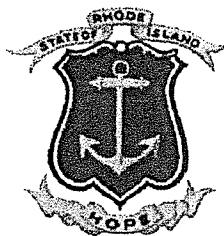
M = Master Plan

P = Preliminary

F = Final

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|--|---|---|--|-----|--|
| Other Requirements: The following items may be required based on the presence of certain site conditions as indicated at the Pre-application or Master Plan stage of review. The applicant shall have any required items prepared by a qualified party. | | | | | |
| 1. Fiscal impact statement (see Section 6.6); | | • | | N/A | |
| 2. Completed Environmental Impact Assessment statement for the proposed development (see Section 6.6); | | • | | N/A | |
| 3. Archaeological Study; | | • | | N/A | |
| 4. Traffic Impact Study, | | • | | N/A | |
| 5. Phase 1 Environmental Site Assessment (ESA), conducted by a qualified professional consultant, as may be requested at the pre-application stage. If the Phase 1 indicates suspect environmental site conditions, then a Phase 2 ESA shall be conducted by a qualified professional consultant prior to preliminary plan approval; | • | • | | N/A | |
| 6. Perspective drawings, view shed maps, line of site diagrams, sketches, renderings, photographs or scale models as needed to illustrate the visual impact on the community; | • | | | N/A | |
| 7. Flood plain compensation calculations; | | • | | N/A | |
| 8. Historic District Commission Certificate of Appropriateness, if the project requires Historic District Commission review and approval. | | • | | N/A | |

** Mylar plans shall be on polyester film, single matte with a thickness of 3 mils (.003 inches), and must have opacity so as to allow consistent computer scanning. All plans shall be prepared using a compatible ink with excellent cohesiveness which will produce a permanent bond and result in a plan with long term durability. All signatures must be in black India ink or its equal.*



State of Rhode Island
Coastal Resources Management Council
 Oliver H. Stedman Government Center
 4808 Tower Hill Road, Suite 116
 Wakefield, RI 02879-1900

(401) 783-3370
 Fax (401) 783-3767



06/05/2024
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 9 Pages

ASSENT
 Bk: 2246 Pg: 96
 Instr: 2024-1164

RESIDENTIAL ASSENT

CRMC File No.: 2023-02-061 CRMC Assent No.: A2023-02-061

Whereas,
 of

Thames Street Nashua, LLC
 670 North Commercial Street
 Manchester, NH 03101

has applied to the Coastal Resources Management Council for assent to: Construct and maintain a mixed use redevelopment, consisting of 127 residential units, commercial space, parking, public access, buffer zone restoration, site remediation and stormwater management; Repair existing seawall and outfall, all per the approved plans and hereby represents that they are the owner(s) of the riparian rights attached to the property involved and submitted plans of the work to be done.

Now, said Council, having fully considered said application in accordance with all the regulations as set forth in the Administrative Procedures Act does hereby authorize said applicant, subject to the provisions of Title 46, Chapter 23 of the General Laws of Rhode Island, 1956, as amended, and all laws which are or may be in force applicable thereto: **Construct and maintain a mixed use redevelopment, consisting of 127 residential units, commercial space, parking, public access, buffer zone restoration, site remediation and stormwater management; Repair existing seawall and outfall, all per the approved plans; located at plat 10, lots 41,42,43,44,49,50,60,61,62,68,71,73,74,76; 125 Thames Street, Bristol, RI;** in accordance with said plans submitted to this Council and approved by this Council. All work being permitted must be completed on or before May 28, 2027, after which date this assent is null and void, (unless written application requesting an extension is received by CRMC sixty (60) days prior to expiration date).

Applicant agrees that as a condition to the granting of this assent, members of the Coastal Resources Management Council or its staff shall have access to applicant's property to make on-site inspections to ensure compliance with the assent.

Licensee shall be fully and completely liable to State, and shall waive any claims against State for contribution or otherwise, and shall indemnify, defend, and save harmless State and its agencies, employees, officers, directors, and agents with respect to any and all liability, damages (including damages to land, aquatic life, and other natural resources), expenses, causes of action, suits, claims, costs (including testing, auditing, surveying, and investigating costs), fees (including attorneys' fees and costs), penalties (civil and criminal), and response, cleanup, or remediation costs assessed against or imposed upon Licensee, State, or the Property, as a result of Licensee's control of the Property, or Licensee's use, disposal, transportation, generation and/or sale of Hazardous Substances or that of Licensee's employees, agents, assigns, sublicensees, contractors, subcontractors, permittees, or invitees.

Thames Street Nashua, LLC
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May 28, 2024
Page Two

Nothing in this assent shall be construed to impair the legal rights of this granting authority or of any person. By this assent the granting authority by no manner, shape, or form assumes any liability or responsibility implied, or in fact, for the stability or permanence of said project; nor by this assent is there any liability implied or in fact assumed or imposed on the granting authority. Further, the granting authority by its representatives or duly authorized agents shall have the right to inspect said project at all times including, but not limited to, the construction, completion, and all times thereafter.

This Assent is granted with the specific proviso that the construction authorized therein will be maintained in good condition by the owner thereof, his heirs, successors, or assigns.

Permits issued by the CRMC are issued for a finite period of time, confer no property rights, and are valid only with the conditions and stipulations under which they are granted. Permits imply no guarantee of renewal, and may be subject to denial, revocation, or modification.

If this matter appeared before the full Council, a copy of the legal decision from this proceeding may be acquired by contacting the CRMC office in writing.

A copy of this Assent shall be kept on site during construction.

Application for future alteration of the shoreline or other construction or alteration within the CRMC jurisdiction shall be submitted to the CRMC for review prior to commencing such activity.

All applicable policies, prohibitions, and standards of the RICRMP shall be upheld.

All local, state or federal ordinances and regulations must be complied with.

Please be advised that as a further conditions of this Assent, it is hereby stipulated that you and/or your agents shall comply at all times with Federal and State Water Quality Standards and other State standards and regulations regarding water quality, and shall exercise such supervision over and control of these facilities to prevent the dumping or discarding or refuse, sanitary wastes and other pollutants in the tidal waters, either from vessels docked at said facilities or from land adjacent thereto.

No work that involves alteration to wetlands or waters of the United States shall be done under this Assent until the required Federal Permit has been obtained.

Non-compliance with this assent shall result in legal action and/or revocation of this permit.

CAUTION:

The limits of authorized work shall be only for that which was approved by the CRMC. Any activities or alterations in which deviate from this assent or what was detailed on the CRMC approved plans will require a separate application and review. Additionally, if the information provided to the CRMC for this review is inaccurate or did not reveal all necessary information or data, then this permit may be found to be null and void. Plans for any future alteration of the

Thames Street Nashua, LLC
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 Page Three

shoreline or construction or alteration within the 200' zone of CRMC jurisdiction or in coastal waters must be submitted for review to the CRMC prior to commencing such activity.

Permits, licenses or easements issued by the Council are valid only with the conditions and stipulation under which they are granted and imply no guarantee of renewal. The initial application or an application for renewal may be subject to denial or modification. If an application is granted, said permit, license and easement may be subject to revocation and/or modification for failure to comply with the conditions and stipulations under which the same was issued or for other good cause.

ATTENTION: ALL STRUCTURES AND FILLED AREAS IN THE TIDAL, COASTAL, OR NAVIGABLE WATERS OF THE STATE OF RHODE ISLAND ARE SUBJECT TO:

1. The Superior Property Rights of the State of Rhode Island in the Submerged and Submersible Lands of the Coastal, Tidal, and Navigable Waters;
2. The Superior Navigation Servitude of the United States;
3. The Police Powers of the State of Rhode Island and the United States to regulate Structures in the Tidal, Coastal, or Navigable Waters.

THE SUBMERGED AND SUBMERSIBLE LANDS OF THE TIDAL, COASTAL, AND NAVIGABLE WATERS OF THE STATE ARE OWNED BY THE STATE AND HELD IN TRUST FOR THE PUBLIC. CONVEYANCE OF THESE LANDS IS ILLEGAL; TITLES PURPORTING TO TRANSFER SUCH LANDS ARE VOID. ASSENTS THAT INVOLVE THE FILLING OR USE OF THE STATES SUBMERGED LANDS ARE GRANTED WITH THE PROVISIO THAT IT IS SUBJECT TO THE IMPOSITION OF A USAGE FEE TO BE ESTABLISHED BY THE COASTAL RESOURCES MANAGEMENT COUNCIL.

The lands adjacent to tidal waters and/or access to these lands may be impacted or rendered unusable in the future due to sea level rise, storm surge, and shoreline erosion. Online resources including STORMTOOLS, Shoreline Change Maps, and Sea Levels Affecting Marshes Model (SLAMM) Maps can be accessed through the CRMC website (www.crmc.ri.gov). The Council recommends the use of these resources to evaluate the flood extent and inundation from sea level rise, storm surge and erosion and damages to land, aquatic life, loss of public access and other natural resources on and near the site of the above assent. The project life may be shortened by these processes and may require additional adaptation measure up to and including relocation of the project. By issuing this assent the granting authority neither explicitly nor implicitly assumes any liability or responsibility for the stability or permanence of said project under future climate and shoreline conditions.

SPECIFIC STIPULATIONS OF APPROVAL

General Stipulations

A. The applicant shall record this assent in its entirety in the land evidence records of the Town of Bristol within thirty (30) days of the date of assent issuance. Certification by the Town Clerk's office that this stipulation has been complied with shall be furnished to

Thames Street Nashua, LLC
 CRMC Assent A2023-02-061
 May 28, 2024
 Page Four

Coastal Resources Management Council by the applicant within fifteen (15) days thereafter. Failure to comply with the provision will render this assent null and void.

B. For the purpose of this permit, the coastal feature shall be the manmade shoreline; and the inland edge of the coastal feature shall be the top of the revetted bank and headwall.

C. The approved plan shall be those entitled "Bristol Yarn Mill, Thames Street & Hope Street, Bristol..AP 10, Lots 41, 42, 43, 44, 49, 50, 60, 61, 62, 68, 71, 73, 74, 76, Permitting Plan December 6, 2022 Revised March 6, 2024.." total 28 sheets by Shawn M. Martin, RPE and the conservation easement/public access plan shall be Exhibit A entitled "Easement Plan, Bristol Yarn Mill, 125 Thames Street, Lots 42 & 60, Map 10, Town of Bristol.. 2 sheets dated 2-7-24 by Charles E. Lent, PLS. Except as stipulated or modified herein, all details and specifications thereon shall be strictly adhered to. Any and all changes require written approval from this office.

D. Prior to commencement of site alterations, you shall post the CRMC assent card. This assent card must be maintained at the site in a conspicuous location until such time that the project is complete.

E. This lot may be subject to sea level rise in the near and long term and is therefore at increased risk of flooding. The owner is cautioned that the current building codes do not account for sea level rise and is hereby advised that the building should be elevated to the maximum height allowed under zoning ordinance to account for rising sea level in the future.

F. This project required a Coastal Hazards Analysis (CHA) as per the Rhode Island Coastal Resources Management Council's regulations. The Council recommends residential applications meet a minimum of a 30-year design life (longer design life may not meet recommended criteria). Please be advised this project:

- Meets the anticipated 3' design life of Sea Level Rise (SLR), however does not meet the chosen 5' design life (50yr).
- Meets- the accelerated erosion rate.
- Does not meet the recommended Storm Tools Design Elevation (SDE) of 23-25' for 3-5' of SLR.
- CERI modeling indicates the site likely to be Extreme damage (3'SLR)- inundated by 2100 (5'SLR)

G. The owner is bound by the terms of the Conservation Easement/Public Access Easement executed May 2024 and recorded at Book 2244, Pg 165 (9pages) on 5/20/2024 in the Land Evidence Records of the Town of Bristol, RI.

H. This assent requires a setback (Ref. Red Book Section 1.1.9) of 20' feet in width as measured landward from the inland edge of the coastal feature to the existing building.

I. This assent requires a coastal buffer zone (Ref. Red Book Section 1.1.11) of variable width which includes a public accessway, natural buffer zone (restored) and managed buffer vegetation, as shown on the approved plan.

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J. Vegetation in the unmanaged portion of the buffer zone shall remain undisturbed following installation.

K. This project is being reviewed under the requirements of the Federal Historic Preservation Tax Incentives Program. Should the project not receive Historic Preservation Certification Part 2, then RIHPHC approval is still required prior to any work on the project.

L. No alterations (vegetative or otherwise) or activities are allowed in the waterway adjacent to the site, excepting repair work on existing outfall per the approved plans.

M. All runoff of surface water into the stipulated coastal buffer zone shall be maintained as sheet flow. No concentrated sources of runoff flow (such as pipes or swales) shall be directed into the buffer zone.

N. All remediation work shall be undertaken in accordance with the RIDEM approval for such.

O. Through coordination with ACOE GP process, the application has been determined to be eligible for ACOE GP approval and a permit will be forwarded directly from the ACOE, no work on-site may commence until such permit is received.

P. This structure shall be connected to and serviced by municipal sewers.

Q. An Environmental Compliance Monitor (ECM) shall be designated to oversee project compliance with the CRMC Assent. The RE (Resident Engineer) shall ensure that one or more inspectors are available as necessary for the project, each inspector must be qualified in the required specialized environmental field (i.e., waste management, coastal wetlands, etc.). Each inspector must have the education and experience in each respective field to properly inspect the project and recommend corrective measures. The RE/ECM shall report site inspections at least once weekly and on an as needed basis during all phases of the project, likely to result in environmental impacts. A dated and signed report shall be completed for the record during each inspection. Each inspection shall identify any environmental issues of concern and any non-compliance with the CRMC Assent and other agency approvals (RI Department of Environmental Management, US Army Corps of Engineers, and US Coast Guard). Subsequent reports shall describe actions and remedies undertaken to rectify these issues and restore project compliance with the CRMC Assent and the approved plans. Where compliance has not been properly achieved, the RE/ECM shall notify the CRMC on a timely basis. In addition, field reports shall be available to be forwarded to the CRMC upon request.

Earthwork Stipulations

A. The Permittee shall construct and maintain all soil erosion, runoff, and sediment control practices in accordance with the CRMC approved site plan (referenced herein).

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B. All soil erosion, runoff, sedimentation, and construction activity pollution prevention control measures must be implemented in accordance with CRMC approved site plan (referenced herein) and the approved Soil Erosion and Sediment Control Plan entitled "Soil Erosion and Sediment Control Report, Bristol Yarn Mill..." dated January 31, 2023, by Fuss and O'Neil.

C. Prior to the initiation of site alterations or construction including the mobilization of construction vehicles, equipment or machinery, the Limit of Disturbance (LOD) shall be adequately delineated on site (by survey methods where appropriate). No equipment access, equipment or material storage or other activities including construction vehicle parking shall occur beyond the Limit of Disturbance, even on a temporary basis.

D. Prior to conducting earthwork and other land disturbing activities, erosion, runoff, and sediment control measures shall be installed and maintained in accordance with good engineering practices including the applicable details found in the manufacturer's specifications and/or in the Rhode Island Soil Erosion and Sediment Control Handbook (as amended). These measures must be maintained until the site is stabilized through the establishment of vegetative cover and/or construction of the approved facilities (buildings, roadways, parking areas, etc.) has stabilized soils sufficiently to prevent erosion and sedimentation.

E. All discharges which result from dewatering operations must flow into pumping settling basins, portable sediment tanks or portable sediment bags which are properly installed and maintained in accordance with good engineering practices including the applicable details found in the manufacturer's specifications and/or in the Rhode Island Soil Erosion and Sediment Control Handbook (as amended).

F. Temporary measures shall be installed to protect permanent or long-term stormwater control and treatment measures as they are installed and throughout the construction phase of the project so that they will function properly when they are brought online. Construction activity shall be restricted in areas where infiltration measures are proposed to prevent compaction. In cases where it is not possible to avoid the area, methods shall be taken to restore the infiltration capacity of the soil.

G. All excavated material shall be cast on the upslope side of the excavation to minimize sedimentation. No excavated material shall be stockpiled beyond the Limit of Disturbance (LOD) or in unauthorized locations.

H. All areas of disturbed soil which are impacted by construction, site work and related activities shall be temporarily stabilized throughout the site construction period. Soil stabilization may be achieved through appropriate temporary measures as described by the Rhode Island Soil Erosion and Sediment Control Handbook (as amended). Where the season is not conducive to the establishment of vegetative cover, other temporary measures shall be employed including the application of mulch and/or use of fiber rolls (erosion control blankets, etc.). Temporary erosion, runoff and sediment controls shall be employed and maintained until temporary or permanent vegetative cover can be achieved and/or site improvements such as approved buildings, roadways and parking areas are constructed resulting in a lack of exposed soil.

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I. Stabilization of disturbed areas must, at a minimum, be initiated immediately whenever any clearing, grading, excavating or other earth disturbance activities have permanently ceased on any portion of the site, or temporarily ceased on any portion of the site and will not resume for a period exceeding 14 calendar days. Stabilization must be completed using vegetative stabilization measures or using alternative measures whenever vegetative measures are deemed impracticable or during periods of drought. All disturbed soils exposed prior to October 15th shall be seeded by that date. Any such areas which do not have adequate vegetative stabilization by November 15th must be stabilized through the use of non-vegetative erosion control measures. If work continues within any of these areas during the period from October 15th through April 15th, care must be taken to ensure that only the area required for that day's work is exposed, and all erodible soil must be restabilized within five (5) working days.

J. Construction sites must be inspected by or under the supervision of the owner and operator at least once every seven (7) calendar days and within 24 hours after any storm event which generates at least 0.25 inches of rainfall per 24-hour period and/or after a significant amount of runoff. If an inspection reveals a problem, the operator must initiate work to fix the problem immediately after discovering the problem and complete such work by the close of the next workday, if the problem does not require significant repair or replacement, or if the problem can be corrected through routine maintenance.

K. There shall be no discharge or disposal of toxic waste, hazardous materials, oil, grease and other lubricants, excess fertilizer, pesticides or other chemicals or controlled materials either on site or in any area which may enter a wetland, watercourse, or groundwater. All spills of such materials shall be reported to the RI Department of Environmental Management for appropriate remediation. All used lubricants, excess chemicals, fertilizers, pesticides, etc., shall be removed from the site for transport, handling, and disposal in accordance with all applicable state and federal regulations.

L. All excess excavated materials (soils, rock, gravel, etc.), excess construction materials, demolition debris, temporary erosion, runoff, and sediment control measures, etc., shall be removed from the site for appropriate re-use and/or proper disposal at a suitable upland location or landfill. All toxic materials and waste shall be properly transported and disposed of in accordance with applicable state and federal regulations.

M. Upon the successful stabilization of exposed soils, all temporary (interim) erosion, runoff and sediment control measures as well as pollution prevention measures shall be appropriately decommissioned and removed from the site for re-use and/or for disposal at a suitable, legal upland location or landfill. All temporary sediment basins, sediment traps and channels, etc., shall be removed and/or restored in accordance with the approved site plans.

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Stipulations for Stormwater Management on Projects Other than Individual Single-Family Residential Lot Development:

- A. The Permittee shall construct the stormwater management practices in accordance with the CRMC approved site plan (referenced herein).
- B. All stormwater management practices shall be operated and maintained in accordance with the Operation and Maintenance (O&M) Plan, entitled "Long-Term Operation and Maintenance Report Bristol Yarn Mill..." dated December 2, 2022, by Fuss and O'Neill.

Building Stipulations

- A. All pertinent requirements of the RI State Building Code as administered by the local building official shall be strictly adhered to.

Buffer Zone Stipulations

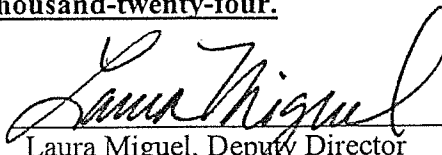
- A. The buffer zone plantings required by this Assent shall be installed coincident with the next available growing season following start of construction.
- B. The applicant is responsible for the survivorship of the plantings for one full growing season. Plants not surviving the first growing season shall be replaced as stated on the approved plans/necessary.
- C. Prior to initiating any work on site, permanent markers at least 24" above grade must be installed along the inland edge of the buffer zone from each affected property boundary to any points in between which provide appropriate angle points necessary to delineate the full limit of the CRMC approved buffer zone. The intent of these markers is to provide permanent reference points on-site which are clear to present and future property owners. Acceptable permanent-type markers include 4" x 4" pressure treated timber posts, galvanized fence posts with cap or granite or concrete bounds. A permanent-type fence at least 24" tall may be substituted for markers where desired.

Beach Replenishment, coir logs, sandbags, snow fence, and signs on beaches Stipulations:

- A. The public retains all the rights to public access along the shore outlined in the Rhode Island State Constitution.
- B. All work shall be done landward of the high-water line.

Thames Street Nashua, LLC
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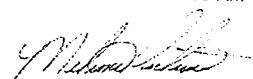
In Witness Whereof, said Coastal Resources Management Council has hereto set their hands and seal this **28th day of May in the year two-thousand-twenty-four.**



Laura Miguel, Deputy Director
Coastal Resources Management Council

/jla

Received for record at Bristol, RI
6/5/2024 11:36:19 AM



EASEMENT
Bk: 2244 Pg: 165
Instr: 2024-1020

**CONSERVATION EASEMENT AND RESTRICTIONS INCLUDING PUBLIC
WALKWAY AND ACCESS AGREEMENT**

Thames Street Nashua, LLC having an address of 670 North Commercial Street, Manchester, New Hampshire 03101 (hereinafter referred to as "Grantor"), hereby grants to the COASTAL RESOURCES MANAGEMENT COUNCIL ("CRMC"), department and agency of the State of Rhode Island, created by law (hereinafter referred to as "Beneficiary", and together with the Grantor sometimes hereinafter collectively referred to as the "Parties"); a Conservation easement and Restrictions and a Public Access Easement for Pedestrians and non motorized vehicles in perpetuity in accordance with the provisions hereof, with respect to certain property located in Bristol, Rhode Island and more particularly described in Exhibit A, attached hereto and incorporated herein (hereinafter referred to as the "Restricted Property").

Whereas, in accordance with Assent No. 2023-02-061 the Grantor has received the Beneficiary's approval of Grantor's application to construct the Bristol Yarn Mill Mixed Use Development and relating to that certain property (the "Real Property") located in Bristol, Rhode Island, comprised in part of the Restricted Property subject to the Conservation Easement and Restrictions and a Public Access Easement for Pedestrians and Non-Motorized Vehicles in accordance with the above-referenced approval (the "Altered Property"), together designated as Tax Assessor's Lots 42, 60, 61, 62, 73, Plat 10; and

Whereas, the Parties agree that the Restricted Property is comprised of a public access walkway ("Walkway"), as well as a buffer zone. The buffer zone is, in turn, composed of a Natural Buffer Zone west of the public walkway, and a Managed Buffer Zone east of the public walkway. The natural and managed buffer zones and the Walkway are all shown and identified in Exhibit A attached; and

Whereas, the Parties agree that the Natural Buffer Zone should be left in a "natural, undisturbed condition" as an important natural resource, in its own right, and to act as a naturally vegetated buffer zone consistent with Part 1.1.11 of the Rhode Island Coastal Resources Management Program in perpetuity; and

Whereas, it is intended that the phrase "natural, undisturbed condition," as used herein, shall mean the condition of the Restricted Property as of the date of this conveyance, and as said condition shall change and evolve naturally with the passage of time, and without any interference, vegetative

management or other alteration except as specifically approved herein from any person or persons; and

Whereas, the parties agree that the intent of preserving the property in a “natural, undisturbed condition” is to specifically serve conservation purposes including, but not limited to providing habitat for native plants and wildlife. At no time shall the presence of non-native plants, plant or animal diseases, fire danger, tick or mosquito born illnesses or other potential risks attributed to a natural unaltered environment be considered an appropriate cause for altering the Natural Buffer Zone unless such alteration is initiated by the beneficiary for sound conservation or public health and safety concerns, and

Whereas, the Parties agree that the Managed Buffer Zone shall be managed in accordance with the terms and conditions for the Managed Buffer Zone as set forth in the Assent issued by the beneficiary identified as Assent No. 2023-02-061 ; and

Whereas, the Parties agree that the intent is to maintain the Public Access Easement portion of the property in accordance with approved site plans; and

Whereas, the Parties intend that this document conform and comply with the definitions and purposes set forth in Title 34, Chapter 39; and Title 46, Chapter 23 of the General Laws of the State of Rhode Island, as amended; and

Whereas, it is intended by all the parties that the Beneficiary, its successor(s) and assign(s) shall have the right, in perpetuity, to enforce the restrictions hereinafter set forth against the Grantor, its successor(s) and assign(s) that said restrictions shall run with and bind the Restricted Property, in perpetuity; and

Whereas, Grantor, its successor(s) and assign(s) shall retain all reasonable responsibilities and shall bear all traditional and reasonable costs and liabilities relating directly to the ownership, operation, upkeep, and maintenance of the Restricted Property, including the maintenance of adequate comprehensive general liability insurance coverage; and

Whereas, Grantor, its successor(s) and assign(s) shall pay, before delinquency, all uncontested taxes, assessments, fees, and charges of whatever description levied on or assessed against the

Restricted Property by competent authority, and shall furnish Beneficiary with satisfactory evidence of payment upon reasonable written request; and

Whereas, Grantor, its successor(s) and assign(s) shall hold harmless, indemnify, and defend Beneficiary and its director, officers, employees, agents, contractors and the heirs, personal representatives, successors, and assigns of each of them from and against all liabilities, penalties, costs, losses, damages expenses, causes of action, claims, demands, or judgments, including, without limitation, reasonable attorney's fees, arising directly from injury to or death of any person, or physical damage to any property, resulting from any act or omission of the Grantor, its successor(s), assign(s) and agent(s), or constituting ordinary negligence or willful misconduct, and relating directly to the Restricted Property, or any condition naturally occurring on the Restricted Property.

NOW, THEREFORE, for and in consideration of the foregoing, and for other good and valuable consideration the receipt and the sufficiency of which is hereby acknowledged by both of the Parties, Grantor does hereby, unconditionally, give, grant, bargain, sell, transfer, assign, and convey unto Beneficiary, forever, a perpetual right and easement for public access purposes, for pedestrians and non-motorized vehicles over and on that area identified as the Public Access Easement on Exhibit A, and located on the Restricted Property. Grantor further does hereby unconditionally give, grant, bargain, sell, transfer, assign and convey unto Beneficiary, forever a perpetual right and easement for conservation and restriction purposes over and on the Natural Buffer Zone, and Managed Buffer Zone, both as shown on Exhibit A, in the manner, nature and character and to the extent hereafter expressed, and to that end and for the purpose of accomplishing the intent of the Parties, Grantor, on behalf of itself, its successor(s), and assign(s) does hereby, forever, covenant with Beneficiary to do or refrain from doing upon, or with regard to the Restricted Property, the various acts hereinafter set forth, it being hereby agreed and expressed that the doing and the refraining from said various acts, and each of them, on the Restricted Property and the negative easements hereby granted shall be deemed to be covenants running with the Restricted Property and are for the benefit of the beneficiary and all the residents of the State of Rhode Island present and future, to be enforced only by an official representative of the Beneficiary, and the Conservation Easement and Restrictions granted hereby are in gross, and appurtenant to land of all owners of all property abutting the restricted Property, and shall be deemed to be conservation restrictions pursuant to the provisions of RI General Law Title 34, Chapter 39, (1956), as amended.

The negative easements granted upon the Restricted Property and the acts which Grantor, its

successor(s) and assign(s) so covenants to do or refrain from doing upon the Restricted Property or in connection therewith are, and shall be, as follows:

- a. There shall be no cutting, trimming or removal of any trees, plants or shrubs, unless specifically approved herein in accordance with the attached Buffer Zone Management Plan,
- b. The Restricted Property shall not be used to store or place recreational equipment or structures of any kind, whether intended to be temporary or permanent, unless specifically approved herein in accordance with the attached Buffer Zone Management Plan,
- c. No signs, billboards or other advertising material, of any kind, temporary or permanent, shall be placed, stored or erected upon any portion of the Restricted Property.
- d. No domestic livestock or poultry of any kind shall be raised, bred, housed or allowed to enter any part of the Restricted Property. Domestic pets (dogs & cats) shall not be allowed to roam unsupervised within the Restricted Property (i.e. pets must be leashed unless under direct supervision).
- e. No herbicides, pesticides, insecticides or animal or plant control chemicals or chemical of any sort shall be applied to or within the Restricted Property, unless specifically approved herein in accordance with the attached Buffer Zone Management Plan,"
- f. The use of minibikes, motorcycles, snowmobiles, automobiles or other vehicles, propelled by an engine, on any portion of the Restricted Property, is prohibited.
- g. No change in the use and appearance, in any manner, of the Restricted Property shall be caused or permitted,
- h. There shall be (on or in the Restricted Property) no dumping or storing of ashes, trash, rubbish, garbage, sawdust, lawn cuttings, leaves, compost or other material or substances and there shall be no filling, excavating, digging, dredging, mining, quarrying or drilling, removal or disturbance of topsoil, sand, gravel, rock, minerals or other materials or any topographical changes or any building of roads or cause any change in the use and appearance of the Restricted Property in any manner.

i. There shall not be conducted any activity on or in nor any use of the Restricted Property which damages fish or wildlife, or their habitats, or, except as set forth in the Buffer Zone Management Plan, which alters the existing vegetation or drainage patterns, flood plains, or wetlands, or results in erosion, siltation or other forms of pollution.

j. Except as set forth in Exhibit A, there shall be no construction of any buildings, fences or man-made structures of any kind unless deemed by the CRMC to represent an appropriate conservation practice consistent with the intent of the easement and approved by the CRMC.

k. Unless specifically approved by this easement at the time of its execution, any Buffer Zone Management plans approved herein and attached to this easement may not be deleted, modified or otherwise amended; nor shall Buffer Zone Management Plans be subsequently attached to this easement.

IN WITNESS WHEREOF, the Grantor has set its hand and seal this 6 day of May, 2024

Dated: May 6 2024

By Thames Street Nashua, LLC


(Grantor)

STATE OF New Hampshire
COUNTY OF Hillsborough

In Manchester on the 6 day of May, 2024, before me personally appeared Arthur Sullivan, Manager of Thames Street Nashua, LLC, to me known and known by me to be the party executing the foregoing instrument on his own behalf and he acknowledged said instrument, by him executed to be his free act and deed in said capacity and the free act and deed of Thames Street Nashua, LLC.

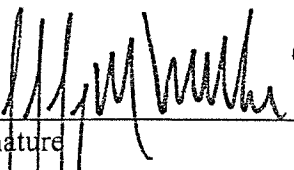
KELLY E. HILSON
Notary Public, State of New Hampshire
My Commission Expires February 21, 2029

Notary Public: Kelly E. Hilson
Printed Name: Kelly E. Hilson
My Commission Expires: 2/21/2029

ACCEPTANCE:

The Coastal Resources Management Council of the State of Rhode Island, acting by and through Jeffrey M. Willis, its Executive Director, hereunto duly authorized, does hereby accept this grant of Conservation Easement and Restrictions.

For the Coastal Resources Management Council:


 Signature _____ May 14, 2024
 Name: Jeffrey M. Willis
 Title: Executive Director

STATE OF RHODE ISLAND

COUNTY OF WASHINGTON

In Wakefield, on the 14th of May, 2024, before me personally appeared, Jeffrey M. Willis, to me known and known by me to be the party executing the foregoing instrument on his own behalf and HE acknowledged said instrument, by HIM executed to be HIS free act and deed in said capacity and the free act and deed of the State of Rhode Island Coastal Resources Management Council.



OFFICIAL SEAL
 LISA A. TURNER
 NOTARY PUBLIC - RHODE ISLAND
 My Commission Expires 3/31/27

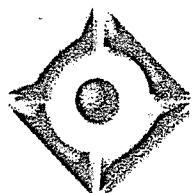
Notary Public: Lisa A. Turner

Printed Name: Lisa A. Turner

My Commission Expires: 03-31-2027

Property Address:
 125 Thames Street
 Bristol, RI 02809

EXHIBIT A



CONTROL POINT ASSOCIATES, INC.

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352 Turnpike Road, Suite 320
Southborough, MA 01772
Tel: 508-948-3000
www.cpasurvey.com

FEBRUARY 7, 2024
03-210289-00
PAGE 1 OF 2

SURVEYOR'S METES AND BOUNDS DESCRIPTION

PROPOSED PUBLIC ACCESS EASEMENT
LOCATED ON LOTS 42 & 60, MAP 10
TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND

COMMENCING AT A POINT ON THE NORTHERLY STREET LINE OF CONSTITUTION STREET (PUBLIC, VARIABLE WIDTH) SAID POINT BEING ON THE DIVISION LINE BETWEEN MAP 10, LOT 73 (N/F OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63 (N/F OF BRISTOL COUNTY LODGE .1860) THENCE RUNNING ALONG SAID DIVISION LINE AND THE DIVISION LINE BETWEEN MAP 10, LOT 62 (N/F OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63 THE FOLLOWING COURSE;

- A. NORTH 15 DEGREES - 24 MINUTES - 13 SECONDS WEST, A DISTANCE OF 82.60 TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 60 (N/F LANDS OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63, THENCE RUNNING ALONG SAID LINE THE FOLLOWING COURSE;
- B. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 69.97 FEET TO THE POINT AND PLACE OF BEGINNING, THENCE CONTINUING ALONG SAID DIVISION LINE THE FOLLOWING COURSE;
 1. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 10.00 FEET, THENCE RUNNING WITHIN MAP 10, LOT 60 THE FOLLOWING FIVE (5) COURSES;
 2. NORTH 14 DEGREES - 36 MINUTES - 20 SECONDS WEST, A DISTANCE OF 38.50 FEET TO A POINT, THENCE;
 3. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 47.89 FEET TO A POINT, THENCE;
 4. NORTH 39 DEGREES - 01 MINUTE - 54 SECONDS EAST, A DISTANCE OF 21.35 FEET TO A POINT, THENCE;
 5. NORTH 04 DEGREES - 11 MINUTES - 52 SECONDS EAST, A DISTANCE OF 24.66 FEET TO A POINT, THENCE;
 6. NORTH 15 DEGREES - 14 MINUTES - 01 SECOND WEST, A DISTANCE OF 91.08 FEET TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 60 AND MAP 10, LOT 42 (N/F LANDS OF RUSS-RUSS REALTY CO.), THENCE RUNNING WITHIN MAP 10, LOT 42 THE FOLLOWING FIVE (5) COURSES;
 7. NORTH 15 DEGREES - 14 MINUTES - 01 SECOND WEST, A DISTANCE OF 32.19 FEET TO A POINT, THENCE;
 8. NORTH 44 DEGREES - 10 MINUTES - 47 SECONDS WEST, A DISTANCE OF 38.93 FEET TO A POINT, THENCE;
 9. NORTH 19 DEGREES - 37 MINUTES - 55 SECONDS WEST, A DISTANCE OF 63.09 FEET TO A POINT,
 10. NORTH 66 DEGREES - 25 MINUTES - 24 SECONDS WEST, A DISTANCE OF 19.86 FEET TO A POINT, THENCE;

Corporate Headquarters
35 Technology Drive, Warren, NJ 07059
Tel: 908.668.0099 Fax: 908.668.9595

Professional Land Surveying, Geospatial and Consulting Services



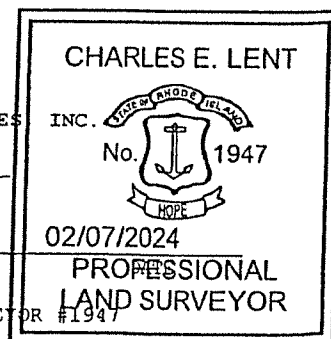
11. NORTH 18 DEGREES - 52 MINUTES - 19 SECONDS WEST, A DISTANCE OF 8.31 FEET TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 42 AND MAP 10, LOT 70 (N/F OF TOWN OF BRISTOL), THENCE RUNNING ALONG SAID LINE THE FOLLOWING COURSE;
12. NORTH 74 DEGREES - 04 MINUTES - 47 SECONDS EAST, A DISTANCE OF 23.10 FEET TO A POINT, THENCE RUNNING WITHIN MAP 10, LOT 42 THE FOLLOWING FOUR (4) COURSES;
13. SOUTH 62 DEGREES - 20 MINUTES - 32 SECONDS EAST, A DISTANCE OF 49.89 FEET TO A POINT, THENCE;
14. SOUTH 15 DEGREES - 14 MINUTES - 01 SECOND EAST, A DISTANCE OF 87.29 FEET TO A POINT, THENCE;
15. SOUTH 74 DEGREES - 45 MINUTES - 59 SECONDS WEST, A DISTANCE OF 2.47 FEET TO A POINT, THENCE;
16. SOUTH 15 DEGREES - 16 MINUTES - 10 SECONDS EAST, A DISTANCE OF 28.88 FEET TO A POINT, ON THE DIVISION LINE BETWEEN MAP 10, LOT 42 AND MAP 10, LOT 60, THENCE RUNNING WITHIN MAP 10, LOT 60 THE FOLLOWING FIVE (5) COURSES;
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CONTAINING 8,068 SQUARE FEET, 0.185 ACRES

CONTROL POINT ASSOCIATES

Charles E. Lent

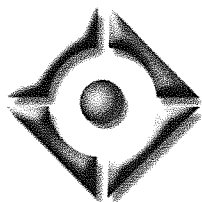
CHARLES E. LENT
STATE OF RHODE ISLAND
PROFESSIONAL LAND SURVEYOR #1947



Received for record at Bristol, RI
5/20/2024 11:47:59 AM

Michael J. [Signature]

Prepared By: EGF
Reviewed By: CEL



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FEBRUARY 7, 2024
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PAGE 1 OF 2

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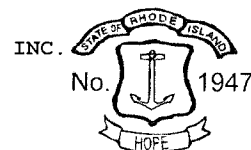
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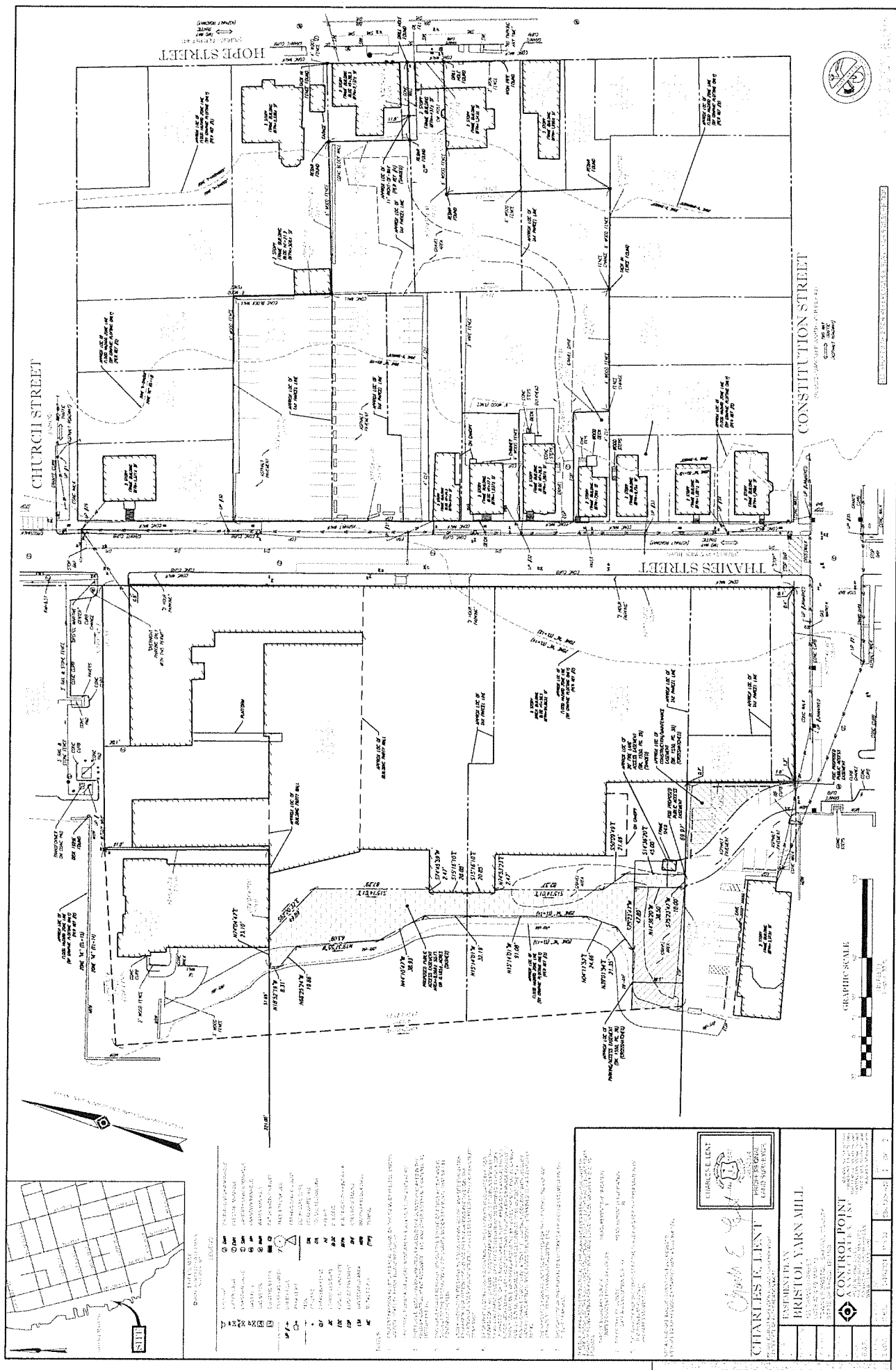
CHARLES E. LENT
STATE OF RHODE ISLAND
PROFESSIONAL LAND SURVEYOR #1947

CHARLES E. LENT



02/07/2024

PROFESSIONAL
LAND SURVEYOR



Diane Williamson

From: John Hartley <jphartley1954@gmail.com>
Sent: Wednesday, June 19, 2024 10:14 AM
To: Diane Williamson
Subject: Constitution Street fencing

Caution: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe. When in doubt, contact your IT Department

Good morning. As a follow up to your communication with Alyne, I agree to allow the fence to be installed on my property should there not be sufficient room on the developer's property.

Diane Williamson

From: Abigail Demopulos <ademopulos@yahoo.com>
Sent: Tuesday, June 18, 2024 6:26 PM
To: Diane Williamson
Subject: Robin Rug - 17 Constitution St Fence

Caution: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe. When in doubt, contact your IT Department

Diane,

I will be in Bristol in July. I am happy to meet with Brady Sullivan or you about the proposed fence.

As it's might be on our property, I would prefer to deal with this directly rather than through the neighbors.

Thank you,

Abby Demopulos
202-342-6538

Sent from my iPhone

Alayne White

11 Constitution Street, Bristol, Rhode Island 02809

June 14, 2024

Diane Williamson
Town of Bristol
Department of Community Development
High Street
Bristol, Rhode Island 02809

Re: Robin Rug Project / Parking Lot Fencing

Dear Diane,

Regarding the proposal to relocate the developer's fence onto my property I support the concept so long as a mutually acceptable easement agreement is made showing the fence location and detailing other points commonly addressed in easement agreements.

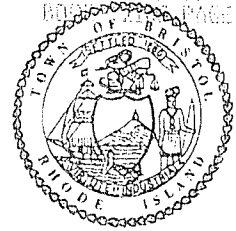
Sincerely yours,

Alayne White

TOWN OF BRISTOL, RHODE ISLAND

TOWN COUNCIL

Nathan T. Calouro, *Chairman*
Mary A. Parella, *Vice Chairwoman*
Antonio A. Teixeira
Timothy E. Sweeney
Aaron J. Ley



Council Clerk
Melissa Cordeiro

DECISION

Re: Application for Zoning Modifications/ Zone Map Change of Author Sullivan, Brady Sullivan Properties, LLC, for Bristol Yarn Mill Redevelopment, for 125 Thames Street - WPUD (Water Planned Unit Development - Waterfront Urban Rehab Land Development Project) seeking modifications to the conditional zoning changes for density of 98 units to 127 units; for Minimum Commercial Space of 22,000 square feet to 6,300 square feet; for off-street parking dimensions of 10 feet wide to 9 feet wide; for lane parking strips of double line-marking to single line-markings; and the request for ordinance revisions to Chapter 28, Zoning, Comprehensive Zoning Code & Map Revision, Section 28-284 (d)2.

On August 3, 2022, with a quorum present, the Bristol Town Council voted on the above-mentioned item as follows:

Sweeney/Ley- Voted unanimously to adopt the amendments to the Bristol Zoning Map and Bristol Zoning Ordinance as presented incorporating the conditions, recommendations, findings of facts, and findings of consistency of the Planning Board, with the exception of those findings and revised conditions related to the requirement for Affordable Housing, as further presented in the draft decision.

Attest:

A handwritten signature in black ink, appearing to read "Melissa Cordeiro".
Melissa Cordeiro
Council Clerk

Exhibit ADocument Number 00002463
BOOK 2183 PAGE 273

TOWN COUNCIL MOTION TO APPROVE AMENDMENTS
TO
BRISTOL ZONING MAP AND BRISTOL ZONING ORDINANCE
AS PRESENTED, BUT SUBJECT TO THE FOLLOWING CHANGES
FOR
BRISTOL YARN MILL (A/K/A ROBIN RUG)

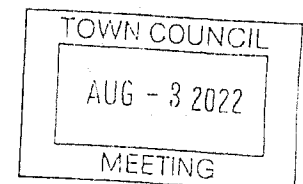
A. The Town Council hereby adopts the Findings of the Planning Board as set forth in its Master Plan Decision and in its Recommendation to the Town Council, dated and recorded May 16, 2022, as attached hereto and to be re-recorded herewith, with the exception of those findings and revised conditions related to the requirements for Affordable Housing set forth herein.

B. Section 28-51(2) of the Zoning Ordinance allows the Town Council to make "decisions that are inconsistent with the findings of the planning board" only if the Town Council "makes their own findings of facts present in the record, that the findings of the planning board are in clear error or clearly exceed their authority."

C. Therefore the Town Council hereby makes the following of facts which the Town Council has found in the record, including the various memoranda from the Director of Community Development and the Assistant Town Solicitor, the previously enacted Zoning Ordinance and Zoning Map amendments, and testimony presented verbally at the extensive public hearing held on July 13, 2022; by which the Town Council finds that the Planning Board findings as to the requirements for Affordable Housing were clearly in error.

UNDERLYING FACTS

1. In 2008, the Town Council granted a conditional Zone Map Change for the subject property which, among other conditions, set the requirements for affordable housing to be provided with a minimum of 10% and a maximum of 20% of the units be either off-site, on-site, or fee-in-lieu.
2. This change of zone map runs with the land and would still be applicable if the proposed development complied with all of the other conditions of that zoning map amendment, including the number of units and the amount of commercial use.



Document Number: 00002463
BOOK: 2183 PAGE: 274

3. The current developer has made a proposal requesting modifications of some of the conditions of the 2008 Zone Map Change, including increasing the number of residential units.
4. The Planning Board's review of the current proposal included Findings of Fact that would also modify the 2008 Zone Map Change conditions relative to the affordable housing requirement such that the minimum amount of affordable housing required would be 15% of the units (20 units of 127 units).
5. Additionally, the Planning Board's Findings further specified such requirement, but mandated the creation of only 3 off-site units in existing dwellings located to the east of the mill building. These units would be in an existing 2-family dwelling on Lot 49 and an existing 1-family dwelling on Lot 50. The balance of the affordable housing would be fee-in-lieu to be paid to the Town and placed in an affordable housing trust fund.

FINDINGS OF CLEAR ERROR

6. While the Town had no inclusionary zoning requirement in 2008, the Town of Bristol does now have inclusionary zoning (Section 28-370) which requires a 20% set aside for affordable housing units in developments with 5 or more units. The Town Council finds that it was clear error for the Planning Board to disregard this specific policy choice of the Town, duly adopted in the Comprehensive Plan and the Zoning Ordinance, and applied to many developments throughout the Town over the intervening years, and which is necessary if the Town is ever to reach the level of affordable housing mandated by the State of Rhode Island and if the Town is to be able to provide its workforce with housing within the Town. This is further in error because the original 2008 Zone Change had a range of 10% to 20% that thus included the current 20% minimum within such range.
7. While the Town's recently amended inclusionary zoning does not provide for a fee-in-lieu option, it is noted that the original change of zone conditions which were enacted prior to the inclusionary zoning does allow this provision. The Town does have a history of providing financial support for non-profit entities to create affordable housing (especially through rehabilitation) and thus this is part of a continuing policy of the Town, even if the State-mandated fees were set artificially low, leading to the removal of the fee-in-lieu option from the Zoning Ordinance. Therefore, the Town Council finds that it was NOT clear error for the Planning Board to allow some portion of the affordable housing requirement to be satisfied by payment of a fee-in-lieu by a developer of this project.
8. While the 2008 Zone Change allowed total flexibility as to the mix of on-site, off-site, and fee-in-lieu payments, the Zoning Ordinance was subsequently amended (Section 28-370-c) to provide certain integration requirements for the affordable units, incorporating State and Town policy that affordable housing units should be integrated with market-rate units, and

not excluded from any area of Town. The Town Council finds that it was clear error for the Planning Board to disregard this specific policy choice of the Town, duly adopted in the Comprehensive Plan and the Zoning Ordinance, and require no affordable units at all in the same building as the 127 market rate units, and also clear error to require only 3 actual units, or only 2%, to be physically created by the developer.

REVISED CONDITIONS

9. All conditions of the Planning Board, as set forth in its Master Plan Decision and in its Recommendation to the Town Council, dated and recorded May 16, 2022, as attached hereto and to be re-recorded herewith, are adopted as conditions of the Zoning Map amendment, with the exception of the following revised conditions, which are also adopted as conditions of the Zoning Map amendment.
10. Per the procedures of Section 28-51, the Town Council therefore finds that the development shall include a minimum of 20% of the units to be for Affordable Housing, which would equal 26 units.
11. The required Affordable Housing mix shall include 3 off-site units on the east side of Thames Street, to be located in the existing 2-family dwelling on Assessor's Plat 10, Lot 49 and the existing 1-family dwelling on Assessor's Plat 10, Lot 50.
12. The required Affordable Housing mix shall include 10 units to be incorporated and dispersed within the mill buildings complex itself on the west side of Thames Street, and shall be in compliance with Section 28-370(c) of the Zoning Ordinance.
13. The required Affordable Housing mix shall include 13 units to be satisfied by paying a fee-in-lieu, at the fee established by Rhode Island Housing at the time of Master Plan Approval by the Planning Board, and placed in an affordable housing trust fund.
14. Although not clear error, it was assumed by both the Town and the Developer that the usual conditions of Affordable Housing would be in effect, and thus the Town Council hereby further establishes the explicit condition that all onsite and offsite units shall be in compliance with the affordability requirements of Section 28-370 (h) regarding the town approved monitoring agency; the deed restriction; the marketing plan; and the local preference.

Exhibit B

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Town of Bristol, Rhode Island

Planning Board

10 Court Street
Bristol, RI 02809
www.bristolri.gov
401-253-7000

DECISION OF BRISTOL PLANNING BOARD

Bristol Yarn Mill – Major Land Development

Master Plan

OWNERS: Russ-Realty Co., Russell Karian, Sentier Realty, and Karian Realty, Co.

APPLICANT: Brady Sullivan Properties, LLC

PROPERTY ADDRESS: 125 Thames Street

PLAT 10 LOTS 41, 42, 43, 44, 49, 50, 60, 61, 62, 68, 71, 73, 74, and 76

Motion:

"The Bristol Planning Board hereby acknowledges the applicant's agreement to an extension of time frame on the action on the Master Plan for the Bristol Yarn Mill (a/k/a Robin Rug) for an additional 60 days to bring the deadline for action to June 21, 2022, and grants conditional approval to the Master Plan as revised April 13, 2022 submitted on April 14, 2022, and recommends to the Town Council that the 2008 Change of Zone conditions and ordinance text also be amended to allow a density of 127 residential units and 6,300 square foot of commercial space along with parking spaces being 9' wide in lieu of the required 10' wide and to allow single – striped parking spaces in the interior parking lot (see plan entitled "Master Plan Bristol Yarn Mill – Alternative Parking Plan") on the east side of Thames Street on Plat 10 Lots 41, 43, 44, 49, 50, 68, 71, 73, 74, and 76."

Approval is based upon the following findings of fact and conclusions of law.

I. Procedural History

1. In 2008, the Town Council approved a conditional Change of Zoning Map to apply the Waterfront – Urban Rehab Land Development "Urban Rehab Land Development" (a/k/a Waterfront Planned Unit Development) zone to the mill property at 125 Thames Street, Plat 10, Lots 42, 60, 61, and 62. Along with the Change of Zoning Map in 2008, the Town Council revised the Zoning Ordinance (Section 28-284 (d)(2) to provide a mix of residential and commercial uses with a residential density of 1 unit per 2,250 square feet of gross floor area. According to the Town of Bristol Tax Assessor's records, the subject mill building contains 296,717 square feet of gross floor area (not including the basement

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- and the concrete building being demolished) which allows a residential density of 131 dwelling units. However, when the Town Council applied the Zone to the property, they conditioned the approval on a maximum density of 98 units, along with eight (8) other development conditions relative to public access to the waterfront, affordable housing, commercial space, water-related uses, traffic study, infrastructure mitigation, off-site parking, and existing historic buildings.
2. The 2008 Town Council adopted changes to the Zoning Ordinance Section 28-284 (d)(2) specific to this property and also granted a Change of Zoning Map with conditions. These original zone change conditions run with the land and apply to this proposal.
 3. In June 2010, the Planning Board granted Master Plan approval with conditions to the original proposal; however, that approval has expired.
 4. In May 2021, a concept review application was submitted by Brady Sullivan Properties, LLC as the applicant. A public Site Visit was held on June 8, 2021 and a concept review meeting with the Planning Board was held on June 10, 2021.
 5. On October 15, 2021, Brady Sullivan Properties, LLC, as the applicant, submitted a Master Plan application, along with a petition to change certain conditions of the 2008 zone map change. The Master Plan application proposed a residential density of 151 units and a commercial use square footage of 6,300 in the mill. A petition to change the zone map from Waterfront and Downtown on the surface parking lot property, located opposite the mill on the east side of Thames Street, to the Waterfront Planned Unit Development was also submitted and later withdrawn.
 6. The application was re-submitted on November 19, 2021 to address missing requisites and the application was certified complete on December 22, 2021. Planning Board action was needed by March 22, 2022 unless an extension was mutually agreed upon. Two extensions were mutually agreed upon bringing the deadline for Planning Board action to June 21, 2022.
 7. The applicant requested a waiver of the architectural renderings which were then submitted on March 3, 2022. The applicant also requested a waiver of the draft legal documents which will be submitted at the preliminary phase; therefore, a waiver is not applicable.
 8. A Technical Review Committee meeting on the Master Plan application was held on December 22, 2021.
 9. A duly advertised public information meeting was held on January 13, 2022 and continued to February 10, 2022 and March 10, 2022.
 10. One member of the Planning Board, Charles Millard, recused himself from consideration of the application. First Alternate Planning Board Member Brian Clark participated in lieu of Mr. Millard.
 11. Following the March 10, 2022 meeting, the applicant revised the plans as to the residential density from 151 to 130 units and made revisions to the surface parking plan.
 12. The Planning Board held a special meeting on March 16, 2022. The result of this meeting was a 5-0 vote of the Planning Board to direct the Solicitor and the Planner to draft a motion to deny, unless the applicant agreed to a continuance in order to revise its plans. Following this meeting, the applicant revised the plans for a density of 127 units and made

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- further revisions to the surface parking lot plan to eliminate any small car parking spaces and increase the buffer to the neighboring properties.
13. The public information meeting was then re-advertised and re-opened on April 14, 2022.
 14. The Director of Community Development recommended approval of the revised plans with the density of 127 units subject to several conditions, including that the applicant convey the parking lot on the northeast corner of Church and Thames Streets to the Town for public parking to satisfy the 10% requirement for land area to be allocated to public or institutional use in Section 28-284 (g).
 15. Upon receipt of this recommendation, the applicant revised the surface parking plan to create additional tandem parking spaces and 9' wide small car spaces, while keeping a buffer greater than the minimum required along the abutting properties; and, agreed that the parking on the corner of Church and Thames Street (Plat 10, Lot 32) be would be deeded to the Town. The Director of Community Development recommended approval of the alternate parking plan.
 16. John McCoy, Esq. and John Rego, Esq. appeared as legal counsel on behalf of the Applicant. Several witnesses were presented in support of the application.
 17. Members of the public were also present at each of the public informational meetings and provided testimony in support and in opposition of the proposed development for the Board's consideration. Written comments in support and in opposition to the proposed development were also received and entered into the record.
 18. At the Planning Board's April 14, 2022 meeting, a motion was passed on a 3-2 vote to direct the Director of Community Development and the Town Solicitor to draft a motion for approval along with recommendations to the Town Council for changes to the conditions of the 2008 zone change.

II. Project Description

1. The proposed project is described on the plans prepared by Fuss and O'Neill entitled Bristol Yarn Mill Master Plan, Shawn Martin, P.E. Sheets G1.01- G1.02, C1.01-C1.03, revised November 19, 2021 as noted on the cover sheet G.1.01, and as further amended on a plan entitled Bristol Yarn Mill Master Plan Alternative Parking Plan, dated April 13, 2021 [*sic – the correct date is April 13, 2022*]. Said Alternative Parking Plan depicts 151 offsite parking spaces 9' wide by 18' long and a total parking count of 299 spaces for the proposed development. Included with the Master Plan are plans entitled Topographic and Boundary Survey prepared by Charles E. Lent, Registered Professional Surveyor of Control Point Associates, Sheets 1-3, dated October 1, 2021.
2. The subject Mill building property is located at 125 Thames Street and includes surface parking lot parcels which extend from Thames Street to Hope Street on : Plat 10, Lots 41, 42, 43, 44, 49, 50, 60, 61, 62, 68, 71, 73, 74, and 76.
3. The mill buildings will be renovated for the proposed 127 residential units and 6,300 square feet of commercial spaces. The rehabilitation and reuse of the buildings will be in accordance with the guidelines of the RI Historical Preservation and Heritage Commission and the Bristol Historic District Commission. None of the historic buildings are intended to be removed and no additions or significant modifications to the existing buildings are

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- proposed. Only the non-contributing concrete masonry block building located near the Bristol Maritime Center is planned to be razed for the project.
4. The property includes residential dwellings on Thames Street (a duplex and a single family) as well as 2 commercial buildings on Hope Street and 2 apartments over one of the commercial buildings. The uses of these buildings are proposed to remain as existing. The residential dwellings on Thames Street will be dedicated as off-site affordable housing units.
 5. The project includes 11 parking spaces on the north side of the mill for the commercial uses, 137 parking spaces within the mill building and 151 parking spaces in the surface parking lot on the east side of Thames Street for the residential units. In the Waterfront Zoning District, the Zoning Ordinance allows for 50% of the required parking to be small car parking spaces. However, all of the parking spaces in the surface parking lot are proposed to be 9' wide versus the required 10' width. The interior parking spaces are varying in width due to the columns with the standard spaces 9' wide and the small car spaces 8' wide. The exterior surface parking lot will have double striped parking spaces; however, the interior parking spaces will not be double striped.
 6. The subject Mill building property is located on the east side of Bristol Harbor adjacent to the Town's Maritime Center.
 7. The property is also within the Downtown Historic District and subject to the jurisdiction of the Coastal Resources Management Council.
 8. The project contains a segment of the Town's harbor walk that will extend from the Maritime Center on the north to the property of the Elk's Lodge on the South. The applicant has agreed to partner with the Town in the Town's negotiations to extend the walkway to Constitution Street.
 9. The proposal for 127 units is consistent with the residential density of the zoning ordinance at 1 unit per 2,336 which is greater than the 2,250 square feet of gross floor area required; however, this density would still require an amendment to the original change of zone conditions by the Town Council.
 10. Along with the density modification to the original change of zone from 98 units to 127 units, the applicant is requesting that the minimum commercial space be modified from the required 22,000 square feet of area to 6,300 square feet of area and that the standard parking spaces be 9' wide in lieu of the required 10' width and the interior parking lot small car spaces be 8' wide in lieu of the required 9' wide and none of the interior parking spaces to be double striped

III. Findings of Fact and Conclusions of Law

The Board approves this application for the following reasons:

1. The proposed development is consistent with the purpose and objectives of the Urban Rehab Land Development, as set forth in Section 28-284 "Land Development Projects – Urban Rehab Land Development Project" because it rehabilitates an under-utilized and inefficient historic structure and it rehabilitates the urban waterfront. It encourages a design that is

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- friendly to pedestrians, protects the existing built environment and character which imparts a sense of place to the community while allowing beneficial new uses and rejuvenation, safeguards the physical fabric of the community from neglect and decay and prevents incongruous re-development, provides an appropriate change of use that is compatible with the architecture of the buildings on site and the surrounding neighborhood, and it enhances public access to the waterfront.
2. The proposed development is consistent with the approved 2016 Comprehensive Plan which includes the following references:
 - a. In the Economic Development Element, Action Item #ED-C-3 states that the Town should continue to work with the owner of Robin Rug property to encourage and facilitate the completion of the development proposal for a mixed use development-residential and commercial.
 - b. Land Use Element – Section 3 references this property and the proposed conversion of the property into a mixed use development with residential uses on the upper floors with commercial and parking on the first floors. (Page 45)
 - c. Land Use Element – Section 3 states that the Urban Rehab and Waterfront PUD which is intended to encourage the rehabilitation of and reuse of deteriorated, underutilized, and inefficient historic and/or nonconforming structures of conservation concern to the Town
 - d. Future Land Use Map designates this property as “Waterfront PUD – waterfront mixed use commercial and residential”
 - e. The Housing Element references the proposed Adaptive Re-use of the Robin Rug and the proposed affordable housing with the statement “While these units have not yet been built, they were a condition of the zone change for the re-use of the mill.”
 3. The proposal complies with the density requirements in the Zoning Ordinance of Section 28-284 (d)(2)).
 4. The proposal complies with the conditions of the Town Council Zone Change of 2008 other than to the density and the amount of commercial space which will need further Town Council action to amend both the zone map and the ordinance text. The density of the proposed development is not a substantive increase in density, complies with the Zoning Ordinance, and is appropriate for the site.
 5. The Town Council Zone Change of 2008 set the requirements for affordable housing to be provided with a minimum of 10% and a maximum of 20% of the units by either off-site, on-site, or fee-in-lieu. Twenty units (15% of 127 units) are to be for Low-Moderate Income Housing with three of the units to be in existing dwellings on Lot 49 (existing 2 family dwelling) and Lot 50 (existing 1 family dwelling) and the balance to be fee-in-lieu (17 x \$40,000 = \$680,000) to be paid to the Town and placed in an affordable housing trust fund.
 6. The proposal provides more parking than required by the Zoning Ordinance. The required parking is 144 parking spaces and the proposal provides a total of 299 spaces.
 7. The proposal provides a greater buffer between the surface parking area and the abutting residential properties than required by the Zoning Ordinance. The Zoning Ordinance requires

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- a minimum buffer width of 3' (Section 28-251 (10)), and the proposal provides buffers that range from 5 to 25' wide.
8. The proposal includes the dedication of the existing parking lot at the corner of Church and Thames to the Town of Bristol for public parking to partially satisfy the 10% requirement for Public/Institutional uses per Section 28-284(g). Additional public space is a public walkway from Hope Street and the public access easement along the waterfront where a walkway is proposed.
 9. Off-site parking is permitted in accordance with Section 28-255 and will be deed restricted to be connected with the mill building. The off-site parking design, lighting, drainage, fencing buffering and landscaping details, will be reviewed by the Planning Board as part of the Major Land Development preliminary application. The requirement of this Section for a separate TRC review is deemed met by the Planning Board review.
 10. The proposal is consistent with the provisions of the Zoning Ordinance, including Section 28-284 d (2). As stated in this section of the Zoning, the Planning Board may allow the provision of otherwise allowed nonresidential uses in alternate locations within the building in lieu of the required retail and restaurant uses on the first floor within 50' of the front lot line. The Planning Board may also reduce the gross floor area of such required nonresidential uses by 20 %. When the change of zone was granted in 2008, the Town Council required 22,000 square feet of commercial space. The current proposal is 6,300 square feet of commercial. The Planning Board may reduce the amount by 20%; however, this reduction is greater and will require an amendment to the 2008 Change of Zone conditions.
 11. There will be no significant negative environmental impacts from the proposed development as shown on the plan with all required conditions for approval including requirements for permits from the Coastal Resources Management Council, FEMA compliance for flood proofing and flood mitigation, compliance with the review by the Water Pollution and Control Facility (see letter of 12/24/21), maintenance of the proposed drainage by the owner, and compliance with any requirements of the Phase 1 and Phase 2 Environmental Site Assessments.
 12. Sufficient evidence was presented to satisfy the required criteria for Master Plan approval including a Phase 1 Environmental Site Assessment, agreement for compliance with the requirements of the Bristol Water Pollution Control Facility that all stormwater currently going into the Town sewer will be removed, engineered plans that provide drainage mitigation to demonstrate that there will be no significant negative impacts on the health and safety of current or future residents of the community, subject to the conditions.
 13. The proposed development will not result in the creation of individual lots which such physical constraints to development that building on those lots according to pertinent regulations and building standards would be impracticable because no new lots are being created.

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14. The proposed development will have adequate and permanent physical access to a public street (Thames Street).
15. Section 28-284 (d)(1) of the Zoning Ordinance is not applicable, since the section of the ordinance that controls this proposal is Section 28-284(d)(2).
16. The proposed development is consistent with each of the general purposes of Article 1 of the Bristol Subdivision and Development Review Regulations as follows:
 - a. It was processed in accordance with the process set forth in the Regulations which provide for the orderly, thorough, and expeditious review of land developments;
 - b. It promotes high quality and appropriate design and construction of land development projects because it is a redevelopment and rehabilitation of an existing historic waterfront mill such that the building is preserved and restored;
 - c. It promotes the protection of the existing natural and built environment and the mitigation of all significant negative impacts on the existing environment, with the conditions of approval, because it is a redevelopment of the historic waterfront mill; there will not be any new buildings; it includes water quality measures for the drainage; it eliminates existing infiltration into the sewer system; and it provides enhanced buffering and screening from the existing parking lot to the abutting properties;
 - d. It promotes a land development that is well integrated into the surrounding neighborhood with regard to natural and built features and it concentrates the development in areas which can best support intensive use because of natural characteristics and existing infrastructure because it is a re-development project in an existing mill building with improvements to an existing surface parking lot with existing utilities that have the capacity for the re-development;
 - e. It reflects the intent of the Bristol Comprehensive Plan with regard to the physical character of the various neighborhood and planning areas of the Town because it is a redevelopment of an existing mill building that actually establishes the existing character of the neighborhood area;
 - f. The proposal was reviewed by the Planning Board's Technical Review Committee and the various Town department heads and local agencies including the Bristol County Water Authority;
 - g. The proposal dedicates public land, impact mitigation, and payment in lieu thereof that is based on clear documentation of needs because it complies with the required set aside of public land area including walkways, a harbor walk, as identified in the Comprehensive Plan, and properties for public parking.
 - h. The project sites improvements to allow for maximum protection of critical landscapes and resources as they relate to Bristol's historic and cultural values because it is the re-development of an existing historic mill building in the National Register Historic District and the improvement of the existing surface parking lot rather than new "greenfield" development.
 - i. The project continues the Town's historic policy of providing public access to the water because it includes a public harbor walk along the Bristol Harbor shoreline

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along the west side of the mill property from the Bristol Maritime Center to the Bristol Elks Lodge;

- j. It was processed in accordance with the regulations which set forth the procedures for review and approval;
 - k. The project promotes sustainable development practices because it re-develops an existing historic mill, located in the downtown, provides pedestrian connectivity and also provides opportunities for alternative transportation use including public bus, bicycle and boat.
17. Subject to the following Conditions:
- A. Change of conditions of the 2008 Town Council zoning map approval and ordinance text including residential and commercial density uses as well as modification to the width of the parking spaces and the double striping on the interior parking spaces.
 - B. Dedication by deed of the parking lot on the northeast corner of Church and Thames Street, Plat 10, Lot 32 to the Town of Bristol for public parking as required by the zoning that there be 10% of the land area to be set aside for public institutional uses as required by Section 28-284 (g).
 - C. Connection of the public walkway to the Maritime Center.
 - D. A Traffic Study to include counts to be taken in the Summer months (June, July, August, or September), and be subject to the peer review of the Planning Board's consultant engineer, with the review fee to be reimbursed by the applicant in accordance with the regulations;
 - E. A revised Fiscal Impact Study subject to the peer review of a consultant selected by the Planning Board with review fee to be reimbursed by the applicant in accordance with the regulations;
 - F. Deed restrictions on both the mill building property and the surface parking lot across from the mill so that the parking is connected to the mill and cannot be separately conveyed;
 - G. Deed restrictions, running to the Town of Bristol, on the surface parking lot that no structures be built on this property;
 - H. Parking spaces in the surface parking lot to be double striped.
 - I. All services to the residential units will be private including recycling and garbage pick-up, snow plowing, driveway and drainage maintenance. This shall be a deed covenant in Land Evidence Records.

Motion by Boardmember Anthony Murgó, Seconded by Boardmember Armand Bilotti.

Voting in Favor: Boardmembers Squatrito, Murgó, Bilotti

Voting Against: Boardmember Katz and Alternate Boardmember Clark.

Motion passes.

Being a decision of the Bristol Planning Board on May 12, 2022.

By: Diane M. Williamson, Diane M. Williamson, Administrative Officer

Date: May 16, 2022

Exhibit C

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PROPOSED AMENDMENTS TO BRISTOL ZONING ORDINANCE

FOR PUBLIC HEARING – JULY 13, 2022 – 7:00 pm

Sec. 28-284. - Land development projects—Urban rehab land development project.

(a)

Purpose. The rehabilitation of deteriorated, under-utilized and inefficient historic and/or nonconforming structures of conservation concern is of primary importance to the health, safety and welfare of town residents. It is vitally important for the economic well-being of town that these resources be rehabilitated for long term reuse.

(b)

Zones where mandatory and optional.

(1)

Mandatory. A rehab LDP shall be mandatory for any development in the rehab LDP overlay zone.

(2)

Optional. A rehab LDP shall be permitted in the M zone or the W zone, but only on a parcel that contains an existing building formerly used for commercial or manufacturing use, of at least 20,000 square feet GFA. New construction may take place in addition to the existing building, provided that the existing building is rehabilitated and used as part of the LDP.

(c)

Permitted uses. The following uses shall be permitted in a rehab land development project, subject to the planning board's determination that such uses as proposed form a harmonious mixture for the subject site:

(1)

Residential: Multi-household dwelling, nursing home ^{iv} congregate care facility, hotel, community residence.

Note— ^{iv} A nursing home is not permitted in a V or A zone floodplain.

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(2)

Institutional and governmental services: Medical clinic, hospital ^v, family day care home with six or less persons, day care facility with more than six persons, church, synagogue or religious educational building, civic/convention center and assembly hall, library, museum, fire station, government office building, schools: K-12, commercial or technical trade school.

Note— ^v A hospital is not permitted in a V or A zone floodplain.

(3)

Office uses: Office of a professional or business agent, or political, labor or service association including the following: insurance agent, insurance adjuster, investment agent, bonding agent, finance agent, accountant, advertising agent, architect, artist, dentist, chiropractor, engineer, government, landscape architect, lawyer, massage therapist, office business machine agent, physician, optician, optometrist, realtor, employment agent, travel agent, veterinarian or bank.

(4)

Service business: Restaurant, cafe, or deli without liquor sales, restaurant, cafe, or deli with liquor sales, tavern/bar/nightclub, catering, sign painting, laundry, self-service, drycleaning without on-site plant, appliance repair, mechanical equipment repair, printing, blueprinting and photocopying, photographic development, hairdresser/barber.

(5)

Retail business: Antique store, appliance store, auto parts sales—new, bait shop, bakery, book store, book store/cafe, clothing sales, convenience store, florist, furniture store, general merchandise store, gift shop, grocery store, liquor store, mechanical equipment sales, newsstand, pharmacy, shopping center (>2 stores), variety store, video rental and sales.

(6)

Wholesale business: Wholesale trade within enclosed structure, warehouse/distribution facility.

(7)

Industrial: Food and kindred products-manufacturing including canning or packaging, processing of bakery products, textile mill products and apparel manufacturing, lumber and wood products, furniture and fixtures manufacturing, rubber and miscellaneous plastic products manufacturing, stone, clay, and glass products manufacturing, pottery products manufacturing, fabricated metal products manufacturing, boat building and repairs, instruments and scientific equipment manufacturing, jewelry, silverware, plated ware, costume jewelry manufacturing, manual assembly of jewelry parts and crafts, lighting manufacturing.

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(8)

Recreation: Bowling alley, skating/rolling rink, pool room, health club, theater, playground/park, open space, nonprofit community center, boat yard, marina, yacht club.

(9)

Marine trade industries. The design, fabrication, construction, maintenance, transport, storage, and retail and wholesale sale of boats and other marine products, equipment, systems and parts.

(d)

Density. The density for a urban rehab land development project shall be as follows:

(1)

Residential density. Density shall not exceed the existing residential density of the surrounding neighborhood, if not further defined by this chapter or the comprehensive plan, including any site specific reuse plan or neighborhood plan adopted by the town for inclusion in the comprehensive plan. Residential density for projects with an underlying "W" zone shall be based on the requirements of dimensional table C in this chapter. Other factors to be considered in determining density will be the ability of infrastructure, town services and the environment to accommodate such density. Even in a predominantly residential development, the developer will be required to use at least 25 percent of the site for commercial, institutional, and/or public use.

(2)

Residential density for historical buildings greater than 100,000 square feet in the W zone. Contributing buildings on the National Historical Register located in the W zone that are in excess of 100,000 square feet of gross floor area shall have no a minimum GFA/DU (gross floor area per dwelling unit) of 2,250 square feet per dwelling unit, but residential density shall be determined based upon the ability of the infrastructure (including water, sewer, other utilities, roadway system and traffic handling mechanisms), town services, and the environment to accommodate such density. In such buildings, in lieu of required retail and restaurant uses on the first floor within 50 feet of the front lot line (see footnote to section 28-82 table A in the W zone), the planning board may allow the provision of otherwise allowed nonresidential uses in alternate locations within the building. See subsection (4) below for The planning board may also reduce the gross floor area of such required nonresidential density uses by up to 20 percent.

(3)

Nonresidential density. Number and type of manufacturing, commercial, institutional and public uses shall be guided by the ability of the site and the surrounding area to accommodate parking, projected traffic levels, noise, sewer, water and storm drains. In a predominantly commercial development, the developer will be strongly encouraged, but not required, to use at least 25 percent of the site for residential use.

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(4)

Nonresidential density for historical buildings greater than 100,000 square feet in the W zone. Contributing buildings on the National Historical Register located in the W zone that are in excess of 100,000 square feet of gross floor area shall have no required minimum percentage of non-residential (including commercial) use, but such non-residential density shall be determined based upon the ability of the infrastructure (including water, sewer, other utilities, roadway system and traffic handling mechanisms), town services, and the environment to accommodate such density, along with the ability of the marketplace to absorb and utilize such non-residential uses.

(e)

Objectives. These land development projects are designed to encourage the rehabilitation of urban waterfront and industrial areas of historic and/or conservation concern by pursuing the following objectives:

(1)

Minimizing traffic congestion and maximizing energy savings by reducing the number and length of automobile trips and by encouraging design friendly to pedestrians;

(2)

Promoting greater independence for the elderly, the young and physically or mentally handicapped individuals by providing greater accessibility and by bringing needs for daily life within walking distance of neighborhoods;

(3)

Enriching community identity by providing the opportunity for a broad range of housing types and work places consistent with traditional town character;

(4)

Protecting aspects of the built and natural environment and character which impart a sense of place to the community while allowing beneficial new uses and rejuvenation;

(5)

Safeguarding the physical fabric of the community from neglect and decay and preventing incongruous development and redevelopment;

(6)

Ensuring that changes of use, where they are allowed to occur, are appropriate and compatible with the architecture of the buildings on-site and the surrounding neighborhood;

(7)

Protecting the character of the area by encouraging development or redevelopment that does not generate excessive vehicular activity, noise or other nuisances, and which may jeopardize the continuing occupation and use of the neighboring properties.

(8)

For those rehab land development projects within the waterfront zone, maintaining and enhancing public access to the waterfront.

(f)

Minimum requirements. These land development projects are designed for mixed use which encourages the reuse of older structures or older areas within designated areas in town. Each rehab land development project shall be guided by the mix of uses of the surrounding area or district. The developer shall demonstrate to the satisfaction of the planning board the availability and adequacy of public and/or private circulation systems, services and utilities. The planning board may approve a phasing plan for the development based upon the availability of such services. The planning board may grant waivers for the design and layout of parking spaces, parking lot aisles, and driveways. The planning board may require parking spaces in excess of that required in section 28-252 of this ordinance, but may not allow less than the required minimum number of parking spaces. The entire tract of land may either be one lot or a series of lots. If buildings straddle lot lines, the developer shall be encouraged to reconfigure the lots so that buildings do not straddle lot lines. Each lot must have access to a public street or publicly accessible area.

(g)

Public or institutional use. At least ten percent of the land area must be allocated for public or institutional use including, but not limited to, public parking, publicly accessible parks, squares, green spaces, waterfront access, interior spaces, public view corridors and buffer areas. The purpose for this public space is to promote and enhance the vitality of the project and the neighborhood, while also achieving public health, safety and welfare standards.

Exhibit D

LEGAL NOTICE

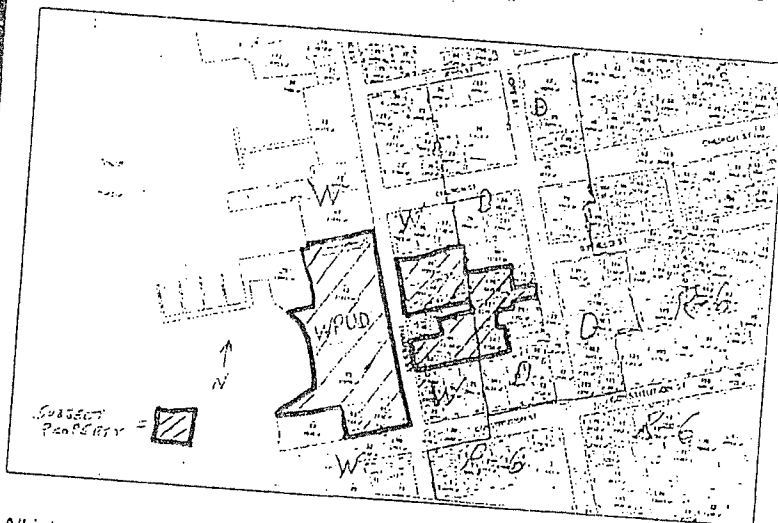
TOWN OF BRISTOL
PUBLIC HEARING ON PETITION TO AMEND ZONE USE MAP
AND ORDINANCE TEXT
UNDER THE ZONING ORDINANCE

The Bristol Town Council will hold a public hearing on Wednesday evening, July 13, 2022, at 7:00 PM in the Bristol Town Hall, Council Chambers, 10 Court St., Bristol, RI, for an amendment to the Bristol Zoning Map and Ordinance Text. The amendment is to change the conditions of the prior zone change of approximately 3.265 acres of land located at 125 Thames Street, Assessor's Plat 10, Lots 42,60, 61, 62, 73, and the request for ordinance revisions to Chapter 28, Zoning, Comprehensive Zoning Code & Map Revision, Section 28-284.

The property was rezoned in 2008 to Waterfront Urban Rehab Land Development Project and certain conditions were imposed by the Town Council along with the zoning map change. This amendment changes some of the conditions of the zone change. This amendment includes (1) change the number of units from 98 units to 127 units; (2) changes the Minimum Commercial Space of 22,000 square feet to a minimum of 6,300 square feet; and (3) changes the off-street parking space dimensions of 10 feet wide to 9 feet wide; (4) changes the parking space striping requirement of double line-marking to single line-markings for the interior parking area. Although no zoning map change is proposed for Assessor's Plat 10, Lots 41, 43, 44, 49, 50, 68, 71, 74, and 76., owned by the same owner on the east side of Thames Street, these lots will remain subject to conditions of the 2008 amendment except as hereby specifically amended.

The proposal also requests ordinance text revisions to Chapter 28, Zoning, Comprehensive Zoning Code & Map Revision, Section 28-284, pertaining to the residential density, commercial - non residential density, and parking space layout and size requirements for an urban rehab land development project.

Property and map described as follows: A specific area of land belonging to Robin Industries, Inc., located on Thames Street.



All interested parties may review and examine a copy of the proposed zoning map amendment and ordinance text amendments at www.bristolri.gov and at the Bristol Town Clerk's Office between the hours of 8:00 AM and 4:00 PM, Monday through Friday. Copies of the proposed ordinance can be obtained from the Town Clerk's Office at cost.

The proposal may be altered or amended prior to the close of the public hearing without further advertising, as a result of further study or because of the views expressed at the public hearing. Any such alteration must be presented for comment in the course of said hearing.

Per Order of the Town Council
Melissa Cordeiro
Council Clerk

June 23, 30, & July 7, 2022

item B1.

Received: April 05, 2022 at 12:07 PM
 Helio da Conceição Tomi, Clerk

TOWN COUNCIL

AUG - 3 2022

MEETING

TOWN COUNCIL

JUL 13 2022

MEETING

Document Number 00001602
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Town of Bristol, Rhode Island

Planning Board

10 Court Street
Bristol, RI 02809
www.bristolri.gov
401-253-7000

DECISION OF BRISTOL PLANNING BOARD

Bristol Yarn Mill – Major Land Development

Master Plan

OWNERS: Russ-Realty Co., Russell Karian, Sentier Realty, and Karian Realty, Co.

APPLICANT: Brady Sullivan Properties, LLC

PROPERTY ADDRESS: 125 Thames Street

PLAT 10 LOTS 41, 42, 43, 44, 49, 50, 60, 61, 62, 68, 71, 73, 74, and 76

Motion:

"The Bristol Planning Board hereby acknowledges the applicant's agreement to an extension of time frame on the action on the Master Plan for the Bristol Yarn Mill (a/k/a Robin Rug) for an additional 60 days to bring the deadline for action to June 21, 2022, and grants conditional approval to the Master Plan as revised April 13, 2022 submitted on April 14, 2022, and recommends to the Town Council that the 2008 Change of Zone conditions and ordinance text also be amended to allow a density of 127 residential units and 6,300 square foot of commercial space along with parking spaces being 9' wide in lieu of the required 10' wide and to allow single – striped parking spaces in the interior parking lot (see plan entitled "Master Plan Bristol Yarn Mill – Alternative Parking Plan") on the east side of Thames Street on Plat 10 Lots 41, 43, 44, 49, 50, 68, 71, 73, 74, and 76."

Approval is based upon the following findings of fact and conclusions of law.

I. Procedural History

1. In 2008, the Town Council approved a conditional Change of Zoning Map to apply the Waterfront – Urban Rehab Land Development "Urban Rehab Land Development" (a/k/a Waterfront Planned Unit Development) zone to the mill property at 125 Thames Street, Plat 10, Lots 42, 60, 61, and 62. Along with the Change of Zoning Map in 2008, the Town Council revised the Zoning Ordinance (Section 28-284 (d)(2) to provide a mix of residential and commercial uses with a residential density of 1 unit per 2,250 square feet of gross floor area. According to the Town of Bristol Tax Assessor's records, the subject mill building contains 296,717 square feet of gross floor area (not including the basement

- and the concrete building being demolished) which allows a residential density of 131 dwelling units. However, when the Town Council applied the Zone to the property, they conditioned the approval on a maximum density of 98 units, along with eight (8) other development conditions relative to public access to the waterfront, affordable housing, commercial space, water-related uses, traffic study, infrastructure mitigation, off-site parking, and existing historic buildings.
2. The 2008 Town Council adopted changes to the Zoning Ordinance Section 28-284 (d)(2) specific to this property and also granted a Change of Zoning Map with conditions. These original zone change conditions run with the land and apply to this proposal.
 3. In June 2010, the Planning Board granted Master Plan approval with conditions to the original proposal; however, that approval has expired.
 4. In May 2021, a concept review application was submitted by Brady Sullivan Properties, LLC as the applicant. A public Site Visit was held on June 8, 2021 and a concept review meeting with the Planning Board was held on June 10, 2021.
 5. On October 15, 2021, Brady Sullivan Properties, LLC, as the applicant, submitted a Master Plan application, along with a petition to change certain conditions of the 2008 zone map change. The Master Plan application proposed a residential density of 151 units and a commercial use square footage of 6,300 in the mill. A petition to change the zone map from Waterfront and Downtown on the surface parking lot property, located opposite the mill on the east side of Thames Street, to the Waterfront Planned Unit Development was also submitted and later withdrawn.
 6. The application was re-submitted on November 19, 2021 to address missing requisites and the application was certified complete on December 22, 2021. Planning Board action was needed by March 22, 2022 unless an extension was mutually agreed upon. Two extensions were mutually agreed upon bringing the deadline for Planning Board action to June 21, 2022.
 7. The applicant requested a waiver of the architectural renderings which were then submitted on March 3, 2022. The applicant also requested a waiver of the draft legal documents which will be submitted at the preliminary phase; therefore, a waiver is not applicable.
 8. A Technical Review Committee meeting on the Master Plan application was held on December 22, 2021.
 9. A duly advertised public information meeting was held on January 13, 2022 and continued to February 10, 2022 and March 10, 2022.
 10. One member of the Planning Board, Charles Millard, recused himself from consideration of the application. First Alternate Planning Board Member Brian Clark participated in lieu of Mr. Millard.
 11. Following the March 10, 2022 meeting, the applicant revised the plans as to the residential density from 151 to 130 units and made revisions to the surface parking plan.
 12. The Planning Board held a special meeting on March 16, 2022. The result of this meeting was a 5-0 vote of the Planning Board to direct the Solicitor and the Planner to draft a motion to deny, unless the applicant agreed to a continuance in order to revise its plans. Following this meeting, the applicant revised the plans for a density of 127 units and made

- further revisions to the surface parking lot plan to eliminate any small car parking spaces and increase the buffer to the neighboring properties.
13. The public information meeting was then re-advertised and re-opened on April 14, 2022.
 14. The Director of Community Development recommended approval of the revised plans with the density of 127 units subject to several conditions, including that the applicant convey the parking lot on the northeast corner of Church and Thames Streets to the Town for public parking to satisfy the 10% requirement for land area to be allocated to public or institutional use in Section 28-284 (g).
 15. Upon receipt of this recommendation, the applicant revised the surface parking plan to create additional tandem parking spaces and 9' wide small car spaces, while keeping a buffer greater than the minimum required along the abutting properties; and, agreed that the parking on the corner of Church and Thames Street (Plat 10, Lot 32) be would be deeded to the Town. The Director of Community Development recommended approval of the alternate parking plan.
 16. John McCoy, Esq. and John Rego, Esq. appeared as legal counsel on behalf of the Applicant. Several witnesses were presented in support of the application.
 17. Members of the public were also present at each of the public informational meetings and provided testimony in support and in opposition of the proposed development for the Board's consideration. Written comments in support and in opposition to the proposed development were also received and entered into the record.
 18. At the Planning Board's April 14, 2022 meeting, a motion was passed on a 3-2 vote to direct the Director of Community Development and the Town Solicitor to draft a motion for approval along with recommendations to the Town Council for changes to the conditions of the 2008 zone change.

II. Project Description

1. The proposed project is described on the plans prepared by Fuss and O'Neill entitled Bristol Yarn Mill Master Plan, Shawn Martin, P.E. Sheets G1.01- G1.02, C1.01-C1.03, revised November 19, 2021 as noted on the cover sheet G.1.01, and as further amended on a plan entitled Bristol Yarn Mill Master Plan Alternative Parking Plan, dated April 13, 2021 [*sic – the correct date is April 13, 2022*]. Said Alternative Parking Plan depicts 151 offsite parking spaces 9' wide by 18' long and a total parking count of 299 spaces for the proposed development. Included with the Master Plan are plans entitled Topographic and Boundary Survey prepared by Charles E. Lent, Registered Professional Surveyor of Control Point Associates, Sheets 1-3, dated October 1, 2021.
2. The subject Mill building property is located at 125 Thames Street and includes surface parking lot parcels which extend from Thames Street to Hope Street on : Plat 10, Lots 41, 42, 43, 44, 49, 50, 60, 61, 62, 68, 71, 73, 74, and 76.
3. The mill buildings will be renovated for the proposed 127 residential units and 6,300 square feet of commercial spaces. The rehabilitation and reuse of the buildings will be in accordance with the guidelines of the RI Historical Preservation and Heritage Commission and the Bristol Historic District Commission. None of the historic buildings are intended to be removed and no additions or significant modifications to the existing buildings are

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- proposed. Only the non-contributing concrete masonry block building located near the Bristol Maritime Center is planned to be razed for the project.
4. The property includes residential dwellings on Thames Street (a duplex and a single family) as well as 2 commercial buildings on Hope Street and 2 apartments over one of the commercial buildings. The uses of these buildings are proposed to remain as existing. The residential dwellings on Thames Street will be dedicated as off-site affordable housing units.
 5. The project includes 11 parking spaces on the north side of the mill for the commercial uses, 137 parking spaces within the mill building and 151 parking spaces in the surface parking lot on the east side of Thames Street for the residential units. In the Waterfront Zoning District, the Zoning Ordinance allows for 50% of the required parking to be small car parking spaces. However, all of the parking spaces in the surface parking lot are proposed to be 9' wide versus the required 10' width. The interior parking spaces are varying in width due to the columns with the standard spaces 9' wide and the small car spaces 8' wide. The exterior surface parking lot will have double striped parking spaces; however, the interior parking spaces will not be double striped.
 6. The subject Mill building property is located on the east side of Bristol Harbor adjacent to the Town's Maritime Center.
 7. The property is also within the Downtown Historic District and subject to the jurisdiction of the Coastal Resources Management Council.
 8. The project contains a segment of the Town's harbor walk that will extend from the Maritime Center on the north to the property of the Elk's Lodge on the South. The applicant has agreed to partner with the Town in the Town's negotiations to extend the walkway to Constitution Street.
 9. The proposal for 127 units is consistent with the residential density of the zoning ordinance at 1 unit per 2,336 which is greater than the 2,250 square feet of gross floor area required; however, this density would still require an amendment to the original change of zone conditions by the Town Council.
 10. Along with the density modification to the original change of zone from 98 units to 127 units, the applicant is requesting that the minimum commercial space be modified from the required 22,000 square feet of area to 6,300 square feet of area and that the standard parking spaces be 9' wide in lieu of the required 10' width and the interior parking lot small car spaces be 8' wide in lieu of the required 9' wide and none of the interior parking spaces to be double striped.

III. Findings of Fact and Conclusions of Law

The Board approves this application for the following reasons:

1. The proposed development is consistent with the purpose and objectives of the Urban Rehab Land Development, as set forth in Section 28-284 "Land Development Projects – Urban Rehab Land Development Project" because it rehabilitates an under-utilized and inefficient historic structure and it rehabilitates the urban waterfront. It encourages a design that is

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friendly to pedestrians, protects the existing built environment and character which imparts a sense of place to the community while allowing beneficial new uses and rejuvenation, safeguards the physical fabric of the community from neglect and decay and prevents incongruous re-development, provides an appropriate change of use that is compatible with the architecture of the buildings on site and the surrounding neighborhood, and it enhances public access to the waterfront.

2. The proposed development is consistent with the approved 2016 Comprehensive Plan which includes the following references:
 - a. In the Economic Development Element, Action Item #ED-C-3 states that the Town should continue to work with the owner of Robin Rug property to encourage and facilitate the completion of the development proposal for a mixed use development-residential and commercial.
 - b. Land Use Element – Section 3 references this property and the proposed conversion of the property into a mixed use development with residential uses on the upper floors with commercial and parking on the first floors. (Page 45)
 - c. Land Use Element – Section 3 states that the Urban Rehab and Waterfront PUD which is intended to encourage the rehabilitation of and reuse of deteriorated, underutilized, and inefficient historic and/or nonconforming structures of conservation concern to the Town
 - d. Future Land Use Map designates this property as “Waterfront PUD – waterfront mixed use commercial and residential”
 - e. The Housing Element references the proposed Adaptive Re-use of the Robin Rug and the proposed affordable housing with the statement “While these units have not yet been built, they were a condition of the zone change for the re-use of the mill.”
3. The proposal complies with the density requirements in the Zoning Ordinance of Section 28-284 (d)(2)).
4. The proposal complies with the conditions of the Town Council Zone Change of 2008 other than to the density and the amount of commercial space which will need further Town Council action to amend both the zone map and the ordinance text. The density of the proposed development is not a substantive increase in density, complies with the Zoning Ordinance, and is appropriate for the site.
5. The Town Council Zone Change of 2008 set the requirements for affordable housing to be provided with a minimum of 10% and a maximum of 20% of the units by either off-site, on-site, or fee-in-lieu. Twenty units (15% of 127 units) are to be for Low-Moderate Income Housing with three of the units to be in existing dwellings on Lot 49 (existing 2 family dwelling) and Lot 50 (existing 1 family dwelling) and the balance to be fee-in-lieu (17 x \$40,000 = \$680,000) to be paid to the Town and placed in an affordable housing trust fund.
6. The proposal provides more parking than required by the Zoning Ordinance. The required parking is 144 parking spaces and the proposal provides a total of 299 spaces.
7. The proposal provides a greater buffer between the surface parking area and the abutting residential properties than required by the Zoning Ordinance. The Zoning Ordinance requires

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- a minimum buffer width of 3' (Section 28-251 (10)), and the proposal provides buffers that range from 5 to 25' wide.
8. The proposal includes the dedication of the existing parking lot at the corner of Church and Thames to the Town of Bristol for public parking to partially satisfy the 10% requirement for Public/Institutional uses per Section 28-284(g). Additional public space is a public walkway from Hope Street and the public access easement along the waterfront where a walkway is proposed.
 9. Off-site parking is permitted in accordance with Section 28-255 and will be deed restricted to be connected with the mill building. The off-site parking design, lighting, drainage, fencing buffering and landscaping details, will be reviewed by the Planning Board as part of the Major Land Development preliminary application. The requirement of this Section for a separate TRC review is deemed met by the Planning Board review.
 10. The proposal is consistent with the provisions of the Zoning Ordinance, including Section 28-284 d (2). As stated in this section of the Zoning, the Planning Board may allow the provision of otherwise allowed nonresidential uses in alternate locations within the building in lieu of the required retail and restaurant uses on the first floor within 50' of the front lot line. The Planning Board may also reduce the gross floor area of such required nonresidential uses by 20 %. When the change of zone was granted in 2008, the Town Council required 22,000 square feet of commercial space. The current proposal is 6,300 square feet of commercial. The Planning Board may reduce the amount by 20%; however, this reduction is greater and will require an amendment to the 2008 Change of Zone conditions.
 11. There will be no significant negative environmental impacts from the proposed development as shown on the plan with all required conditions for approval including requirements for permits from the Coastal Resources Management Council, FEMA compliance for flood proofing and flood mitigation, compliance with the review by the Water Pollution and Control Facility (see letter of 12/24/21), maintenance of the proposed drainage by the owner, and compliance with any requirements of the Phase 1 and Phase 2 Environmental Site Assessments.
 12. Sufficient evidence was presented to satisfy the required criteria for Master Plan approval including a Phase 1 Environmental Site Assessment, agreement for compliance with the requirements of the Bristol Water Pollution Control Facility that all stormwater currently going into the Town sewer will be removed, engineered plans that provide drainage mitigation to demonstrate that there will be no significant negative impacts on the health and safety of current or future residents of the community, subject to the conditions.
 13. The proposed development will not result in the creation of individual lots which such physical constraints to development that building on those lots according to pertinent regulations and building standards would be impracticable because no new lots are being created.

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14. The proposed development will have adequate and permanent physical access to a public street (Thames Street).
15. Section 28-284 (d)(1) of the Zoning Ordinance is not applicable, since the section of the ordinance that controls this proposal is Section 28-284(d)(2).
16. The proposed development is consistent with each of the general purposes of Article 1 of the Bristol Subdivision and Development Review Regulations as follows:
 - a. It was processed in accordance with the process set forth in the Regulations which provide for the orderly, thorough, and expeditious review of land developments;
 - b. It promotes high quality and appropriate design and construction of land development projects because it is a redevelopment and rehabilitation of an existing historic waterfront mill such that the building is preserved and restored;
 - c. It promotes the protection of the existing natural and built environment and the mitigation of all significant negative impacts on the existing environment, with the conditions of approval, because it is a redevelopment of the historic waterfront mill; there will not be any new buildings; it includes water quality measures for the drainage; it eliminates existing infiltration into the sewer system; and it provides enhanced buffering and screening from the existing parking lot to the abutting properties;
 - d. It promotes a land development that is well integrated into the surrounding neighborhood with regard to natural and built features and it concentrates the development in areas which can best support intensive use because of natural characteristics and existing infrastructure because it is a re-development project in an existing mill building with improvements to an existing surface parking lot with existing utilities that have the capacity for the re-development;
 - e. It reflects the intent of the Bristol Comprehensive Plan with regard to the physical character of the various neighborhood and planning areas of the Town because it is a redevelopment of an existing mill building that actually establishes the existing character of the neighborhood area;
 - f. The proposal was reviewed by the Planning Board's Technical Review Committee and the various Town department heads and local agencies including the Bristol County Water Authority;
 - g. The proposal dedicates public land, impact mitigation, and payment in lieu thereof that is based on clear documentation of needs because it complies with the required set aside of public land area including walkways, a harbor walk, as identified in the Comprehensive Plan, and properties for public parking.
 - h. The project sites improvements to allow for maximum protection of critical landscapes and resources as they relate to Bristol's historic and cultural values because it is the re-development of an existing historic mill building in the National Register Historic District and the improvement of the existing surface parking lot rather than new "greenfield" development.
 - i. The project continues the Town's historic policy of providing public access to the water because it includes a public harbor walk along the Bristol Harbor shoreline

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along the west side of the mill property from the Bristol Maritime Center to the Bristol Elks Lodge;

- j. It was processed in accordance with the regulations which set forth the procedures for review and approval;
- k. The project promotes sustainable development practices because it re-develops an existing historic mill, located in the downtown, provides pedestrian connectivity and also provides opportunities for alternative transportation use including public bus, bicycle and boat.

17. Subject to the following Conditions:

- A. Change of conditions of the 2008 Town Council zoning map approval and ordinance text including residential and commercial density uses as well as modification to the width of the parking spaces and the double striping on the interior parking spaces.
- B. Dedication by deed of the parking lot on the northeast corner of Church and Thames Street, Plat 10, Lot 32 to the Town of Bristol for public parking as required by the zoning that there be 10% of the land area to be set aside for public institutional uses as required by Section 28-284 (g).
- C. Connection of the public walkway to the Maritime Center.
- D. A Traffic Study to include counts to be taken in the Summer months (June, July, August, or September), and be subject to the peer review of the Planning Board's consultant engineer, with the review fee to be reimbursed by the applicant in accordance with the regulations;
- E. A revised Fiscal Impact Study subject to the peer review of a consultant selected by the Planning Board with review fee to be reimbursed by the applicant in accordance with the regulations;
- F. Deed restrictions on both the mill building property and the surface parking lot across from the mill so that the parking is connected to the mill and cannot be separately conveyed;
- G. Deed restrictions, running to the Town of Bristol, on the surface parking lot that no structures be built on this property;
- H. Parking spaces in the surface parking lot to be double striped.
- I. All services to the residential units will be private including recycling and garbage pick-up, snow plowing, driveway and drainage maintenance. This shall be a deed covenant in Land Evidence Records.

Motion by Boardmember Anthony Murgo, Seconded by Boardmember Armand Bilotti.

Voting in Favor: Boardmembers Squatrito, Murgo, Bilotti

Voting Against: Boardmember Katz and Alternate Boardmember Clark.

Motion passes.

Being a decision of the Bristol Planning Board on May 12, 2022.

By: Diane M. Williamson, Diane M. Williamson, Administrative Officer

Date: May 16, 2022

Recorded May 16, 2022 at 03:25PM
Bristol Planning Board Clerk



Town of Bristol, Rhode Island

Planning Board

07/14/2023
10:57:39 AM
8 Pages

DECISION
Bk: 2217 Pg: 90
Instr: 2023-5391

10 Court Street
Bristol, RI 02809
bristolri.gov
401-253-7000

DECISION OF BRISTOL PLANNING BOARD

Bristol Yarn Mill – Major Land Development

Preliminary Plan Decision

OWNER: Thames Street Nashua, LLC

APPLICANT: Brady Sullivan Properties, LLC

PROPERTY ADDRESS: 125 Thames Street

PLAT 10 LOTS 41, 42, 43, 44, 49, 50, 60, 61, 62, 68, 71, 73, 74, and 76

Motion:

"The Bristol Planning Board hereby grants conditional approval to the Preliminary Plan as revised May 19, 2023 by Fuss & O'Neill, Shawn M. Martin, Registered PE, and Control Point Survey, Charles Lent, Registered PLS, entitled "Bristol Yarn Mill Thames Street and Hope Street, Bristol, Rhode Island, Assessor's Plat 10, Lots 41,42,43,44,49, 50,60,61,62,68,71,73,74 and 76, Permitting Plan" dated December 6, 2022, Revised: May 19, 2023 (28 sheets) and Fuss & O'Neill Figures 1-5 dated May 19, 2023 along with architectural plan by Brady Sullivan Properties, entitled "Bristol Yarn Mill, 125 Thames Street, Bristol, Rhode Island including the Basement Parking Plan, Sheet A1-0" dated May 19, 2023.

Approval is based upon the following findings of fact and conclusions of law.

I. Procedural History

1. The Planning Board granted Master Plan approval on May 12, 2022.
2. The Town Council amended the Zoning Ordinance and Conditional Zone Map Change subject to conditions on July 13, 2022.
3. The Preliminary Plan application was submitted on December 14, 2022, re-submitted on May 9, 2023 and determined complete on May 18, 2023. The application materials were revised and re-submitted on May 25, 2023 in response to the comments of the Technical Review Committee at their meeting which was held on May 16, 2023.
4. The applicant requested a waiver of the CRMC permit and Rhode Island Department of Environmental Management (RIDEM) Water Quality Permit and RIDEM Stormwater Construction Permit until the Final Phase of review. On February 9, 2023 the Planning

Board held a public hearing and granted waivers of certain State permits that are required for submission at the Preliminary Plan state of review. Specifically, in accordance with Section 5.4(a) of the Regulations, the Planning Board granted approval for the applicant to proceed with Preliminary Plan review with the following permit to be submitted as conditions of approval prior to Final Plan review: RIDEM Water Quality Certification and RIDEM Stormwater Construction Permit. Pursuant to Section 5.4 (a) of the Regulations, CRMC approval may be a condition of Preliminary Plan approval. Therefore, no waiver was needed to defer CRMC approval to Final Plan review. At the Preliminary Phase, the applicant has received the RIDEM Stormwater Construction Permit and a conditional RIDEM Water Quality Permit.

5. The Board also determined at that time that Final Plan Review and approval would be conducted by the Planning Board rather than by the Administrative Officer.
6. A duly advertised public hearing of the Planning Board was held on June 8, 2023.
7. One member of the Planning Board, Charles Millard, recused himself from consideration of the application. First Alternate Planning Board Member Richard Ruggiero participated in lieu of Mr. Millard. Second Alternate Planning Board Michael Sousa also recused himself.
8. John McCoy, Esq. appeared as legal counsel on behalf of the Applicant. Several witnesses were presented in support of the application.
9. Members of the public were also present at the public hearing and provided testimony. Written comments and photographs were also received and entered into the record.
10. At the Planning Board's June 8, 2023 meeting, a motion was passed on a 4-1 vote to direct the Director of Community Development and the Town Solicitor to draft a motion for approval.

II. Project Description

1. The proposed project is described on the Preliminary Plan as revised May 19, 2023 by Fuss & O'Neill, Shawn M. Martin, Registered PE, and Control Point Survey, Charles Lent, Registered PLS, entitled "Bristol Yarn Mill Thames Street and Hope Street, Bristol, Rhode Island, Assessor's Plat 10, Lots 41,42,43,44,49, 50,60,61,62,68,71,73,74 and 76, Permitting Plan" dated December 6, 2022, Revised: May 19, 2023 (28 sheets) and Fuss & O'Neill Figures 1-5 dated May 19, 2023 along with architectural plan by Brady Sullivan Properties, entitled "Bristol Yarn Mill, 125 Thames Street, Bristol, Rhode Island including the Basement Parking Plan, Sheet A1-0" dated May 19, 2023.
2. The subject Mill building property is located at 125 Thames Street and includes surface parking lot parcels which extend from Thames Street to Hope Street on: Plat 10, Lots 41, 42, 43, 44, 49, 50, 60, 61, 62, 68, 71, 73, 74, and 76.
3. The mill buildings on the west side of Thames Street will be renovated for the proposed 127 residential units and 6,300 square feet of commercial spaces. The rehabilitation and reuse of the buildings will be in accordance with the guidelines of the RI Historical Preservation and Heritage Commission and the Bristol Historic District Commission. None of the historic buildings are intended to be removed and no additions or significant modifications to the existing buildings are proposed. Only the non-contributing concrete masonry block building located near the Bristol Maritime Center is planned to be razed for the project.

4. The property includes residential dwellings on the east side of Thames Street (a duplex and a single family) as well as 2 commercial buildings on Hope Street and 2 apartments over one of the commercial buildings. The uses of these buildings are proposed to remain as existing. The three (3) residential dwelling units on the east-side of Thames Street will be dedicated as off-site affordable housing units.
5. The project includes 11 parking spaces on the north side of the mill for the commercial uses, 125 parking spaces within the mill building and 146 parking spaces in the surface parking lot on the east side of Thames Street for the residential units in the mill and in the Thames Street residential dwellings.
6. The subject Mill building property is located on the east side of Bristol Harbor adjacent to the Town's Maritime Center. The remainder of the subject property is located on the east side of Thames Street and west side of Hope Street.
7. The property is within the Downtown Historic District and subject to the jurisdiction of the Coastal Resources Management Council.
8. The project contains a segment of the Town's harbor walk that will extend from the Maritime Center on the north to Constitution Street crossing the parking lot in the existing easement of the Elk's Lodge on the South. The applicant has agreed to partner with the Town and the Elk's on the walkway continuation, as shown on the preliminary plans, and will prepare any CRMC Applications for same that would be required. Applicant will also provide the striping and signage for the walkway.

III. Findings of Fact and Conclusions of Law

The Board approves this application for the following reasons:

1. The proposed development is consistent with the purpose and objectives of the Urban Rehab Land Development, as set forth in Section 28-284 "Land Development Projects – Urban Rehab Land Development Project" because it rehabilitates an under-utilized and inefficient historic structure and rehabilitates the urban waterfront. It encourages a design that is friendly to pedestrians, protects the existing built environment and character, which imparts a sense of place to the community while allowing beneficial new uses and rejuvenation, safeguards the physical fabric of the community from neglect and decay, prevents incongruous redevelopment, provides an appropriate change of use that is compatible with the architecture of the buildings on site and the surrounding neighborhood, and enhances public access to the waterfront.
2. The proposed development is consistent with the approved 2016 Comprehensive Plan which includes the following references:
 - a. In the Economic Development Element, Action Item #ED-C-3 states that the Town should continue to work with the owner of Robin Rug property to encourage and facilitate the completion of the development proposal for a mixed use development-residential and commercial.

- b. Land Use Element – Section 3 references the subject property and the proposed conversion of the property into a mixed use development with residential uses on the upper floors with commercial and parking on the first floors. (Page 45)
 - c. Land Use Element – Section 3 states that the Urban Rehab and Waterfront PUD, which is intended to encourage the rehabilitation of and reuse of deteriorated, underutilized, and inefficient historic and/or nonconforming structures of conservation concern to the Town.
 - d. Future Land Use Map designates this property as “Waterfront PUD – waterfront mixed use commercial and residential.”
 - e. The Housing Element references the proposed Adaptive Re-use of the Robin Rug and the proposed affordable housing with the statement “While these units have not yet been built, they were a condition of the zone change for the re-use of the mill.”
3. The proposed development complies with the conditions of the Master Plan approval and will comply with the Town Council Change of Zone conditions.
 4. The proposal includes the dedication of the existing parking lot at the corner of Church and Thames to the Town of Bristol for public parking to partially satisfy the 10% requirement for Public/Institutional uses per Section 28-284(g). Additional public space provided by the project includes a public walkway from Hope Street and the public access easement with a walkway along the waterfront of the property.
 5. Off-site parking is permitted in accordance with Section 28-255 and will be deed restricted so that parking on the Surface Parking Lot is connected with the mill building, and cannot be separately conveyed. The off-site parking design, lighting, drainage, fencing buffering and landscaping details, were reviewed by the Planning Board as part of the Major Land Development Master Plan and Preliminary application. The requirement of this Section for a separate TRC review is deemed met by the Planning Board review.
 6. There will be no significant negative environmental impacts from the proposed development as shown on the plan with all required conditions for approval including requirements for permits from the Coastal Resources Management Council, FEMA compliance for flood proofing and flood mitigation under the RI State Building Code, compliance with the conditions issued by the Water Pollution and Control Facility (letter dated December 24, 2021), maintenance of the proposed drainage by the owner, and compliance with any requirements of the RIDEM Office of Land Revitalization and Sustainable Materials Management.
 7. The proposed development will not result in the creation of individual lots which such physical constraints to development that building on those lots according to pertinent regulations and building standards would be impracticable because no new lots are being created.
 8. The proposed development will have adequate and permanent physical access to a public street (Thames Street and Constitution Street).
 9. Section 28-284 (d)(1) of the Zoning Ordinance is not applicable, since the section of the ordinance that controls this proposal is Section 28-284(d)(2) and the proposed development complies with the residential density set forth by the Town Council in the Zoning Map Amendment applicable to the subject property.

10. The proposed development is consistent with each of the general purposes of Article 1 of the Bristol Subdivision and Development Review Regulations as follows:
- a. It was processed in accordance with the process set forth in the Regulations which provide for the orderly, thorough, and expeditious review of land developments.
 - b. It promotes high quality and appropriate design and construction of land development projects because it is a redevelopment and rehabilitation of an existing historic waterfront mill such that the building is preserved and restored.
 - c. It promotes the protection of the existing natural and built environment and the mitigation of all significant negative impacts on the existing environment, with the conditions of approval, because it is a redevelopment of the historic waterfront mill; there will not be any new buildings; it includes water quality measures for the drainage; it eliminates existing inflow and infiltration into the sewer system; and it provides enhanced buffering and screening from the existing parking lot to the abutting properties.
 - d. It promotes a land development that is well integrated into the surrounding neighborhood with regard to natural and built features and it concentrates the development in areas which can best support intensive use because of natural characteristics and existing infrastructure because it is a redevelopment project in an existing mill building with improvements to an existing surface parking lot with existing utilities that have the capacity for the redevelopment.
 - e. It reflects the intent of the Bristol Comprehensive Plan with regard to the physical character of the various neighborhood and planning areas of the Town because it is a redevelopment of an existing mill building that actually establishes the existing character of the neighborhood area.
 - f. The proposal was reviewed by the Planning Board's Technical Review Committee and the various Town department heads and local agencies including the Bristol County Water Authority.
 - g. The proposal dedicates public land, impact mitigation, and payment in lieu thereof that is based on clear documentation of needs because it complies with the required set aside of public land area including walkways, a walkway along the waterfront, as identified in the Comprehensive Plan, and properties for public parking.
 - h. The project improvements allow for maximum protection of critical landscapes and resources as they relate to Bristol's historic and cultural values because it is the redevelopment of an existing historic mill building in the National Register Historic District and the improvement of the existing surface parking lot rather than new "greenfield" development.
 - i. The project continues the Town's historic policy of providing public access to the water because it includes a public harbor walk along the Bristol Harbor shoreline along the west side of the mill property from the Bristol Maritime Center to Constitution Street.
 - j. The application was processed in accordance with the regulations which set forth the procedures for review and approval.
 - k. The project promotes sustainable development practices because it redevelops an existing historic mill, located in the downtown, provides pedestrian connectivity and

also provides opportunities for alternative transportation use including public bus, bicycle and boat.

11. Waivers Granted at Preliminary Plan Phase. In addition to those Waivers granted at Master Plan, the following waivers are granted:

- a. *Sec. 28-251(2) Minimum size of spaces. (e) "Each loading space shall be marked by painted lines and contain the following minimum dimensions affecting the width, length and height. Minimum width14 feet, Minimum length60 feet, Minimum vertical clearance15 feet."*

A 12 feet wide x 26 feet long loading space is provided in the commercial parking lot at the north end of the mill complex. An 8 feet wide x 63 feet long loading space, divided into three independent spaces, is proposed on Thames Street near the northeast corner of the mill complex. The existing loading space on Thames Street is proposed to be eliminated and replaced with the proposed space. The loading dock and lift associated with the existing loading space on the sidewalk will also be removed.

- b. *Sec 28-251. General Requirements (4) "All driveways shall be a minimum of 12 feet in width for each lane of traffic using such driveway."*

The driveway from Thames Street that provides access to the existing houses on Lots 49 and 50 on Map 10 is approximately 10 feet wide and is a pre-existing condition that was included on the approved Master Plan. It is also noted that Lots 49 and 50 are also owned by the applicant.

- c. *Section 28-251(11)(a). "Along the street frontage, a three-foot planted strip with one shade tree for every 40 feet of frontage."*

Two of the proposed trees are spaced 45 feet apart to maximize shading the parking lot, optimize the tree filter layout, provide safe sight-distance, separation from turn radii to the parking lot, and provide ample room for root growth. There is no reduction in the quantity of trees required. Landscaping figures were submitted to demonstrate the relief condition and justification.

- d. *Section 28-251(11)(b). "Along interior lot lines, a three-foot planted strip with one shade tree for every 50 feet of interior lot lines. A hedge of compact evergreens or other suitable plantings may be substituted for the planted strip."*

Proposed shade trees are not provided every 50 feet of interior lot lines. An existing hedge of evergreens along the south and eastern lot lines serves this purpose; however, in accordance with the conditions, the exiting hedge on the south lot line will be augmented with additional plantings. At the other locations, the existing vegetation currently provides shading and screening to adjacent properties and new plantings may not flourish in such close proximity to existing, mature vegetation.

Landscaping figures were submitted to demonstrate the relief condition and justification.

- e. *Section 28-251(11)(c). "The interior of such parking areas shall have a minimum of ten square feet of landscaping for each parking space, and shall be shaded by deciduous trees. At maturity, each tree shall be presumed to shade a circular area having a radius of 15 feet with the trunk as the center. There shall be sufficient trees so that, using this standard, 20 percent of the parking area will be shaded. Trees shall be surrounded by a minimum of 180 square feet of unpaved area, which may be counted towards calculating the required landscaping."*

The zoning ordinance restricts the shading potential by presuming all trees provide a 15-foot radius of shade. In conjunction with the recommended spacing from the edge of pavement and required 180 square feet of unpaved area under the tree, the calculated shade provided per tree is significantly limited. The proposed method to calculate the shade requirement utilizes a value of 75% of the full growth for the specific species of tree instead of a presumed 15-foot radius for all trees. Landscaping figures were submitted to demonstrate the relief condition and justification. The 20% shading requirement can be met by utilizing this alternative method to calculate canopy from the proposed trees plus the existing on-site tree canopy.

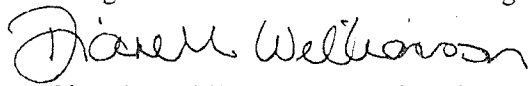
12. Conditions: In addition to all conditions of Master Plan Approval and the Zoning Map Amendment, the proposed development shall be subject to the following additional Conditions:
- A. Dedication by deed of the parking lot on the northeast corner of Church and Thames Street, Plat 10, Lot 32 to the Town of Bristol for public parking as required by the zoning that there be 10% of the land area to be set aside for public institutional uses as required by Section 28-284 (g) prior to recording of final plan.
 - B. Additional arborvitae evergreen buffer plantings shall be planted on the south side of the Thames Street parking lot to augment the existing row as a visual and noise buffer. The number, height and spacing of plantings shall be shown on the final landscaping plans by the landscape architect and installation of same will be verified in the field by the Town Tree Warden.
 - C. A 6-foot tall solid-wall fence shall be installed along the south side of the Thames Street parking lot of a material that blocks headlights and helps mitigate sound. The fence shall NOT be of a stockade design as shown on the preliminary plans. The design of this fence shall be subject to the Historic District Commission review and approval. The Final Plan shall indicate a proposed fence that satisfies these requirements.
 - D. Historic District Commission review and approval shall be required for all details of exterior changes, including without limitation: windows, doors, light fixtures, fences, and signs. These approvals may be obtained in the normal course with HDC and subsequent to the Final Plan and Building Permits.
 - E. Submission of a construction schedule that includes showing the planting of the arborvitae and fence installation along the south side of the Thames Street parking lot

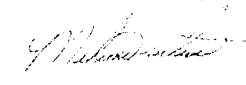
- property prior to any other site work in the parking lot and prior to use of the property as a "laydown area" for construction activities, and such planting and installation shall be completed prior to any other work or use of parking lot as set forth herein.
- F. Maintenance of all plantings on the properties shall be an obligation of the applicant and shall be included in a deed covenant stipulating time for replacement plantings.
 - G. Tree protection to be installed to protect the existing trees along the property of 82 Thames Street with this detail to be shown on the final plan.
 - H. Recommendations of the Conservation Commission on the proposed landscaping including a diversity of street trees along Thames Street, and an increased buffer of arborvitae along the southern property line of the parking lot.
 - I. Payment of the Affordable Housing Fee to the Town for the Affordable Housing Trust Fund to be paid prior to issuance of the first construction building permit.
 - J. Final Legal Documents to be reviewed and approved by the Town Solicitor prior to recording of Final Plan including: pedestrian and walkway easements; affordable housing deed restriction and monitoring agreement; and deed restriction, running to the Town of Bristol, that no structures be built on the surface parking lot.
 - K. All services to the residential units shall be private including recycling and garbage pick-up, snow plowing, driveway and drainage maintenance. This shall also be a deed covenant in Land Evidence Records and reviewed and approved by the Town Solicitor.
 - L. As shown on the preliminary plans, a portion of the walkway along the waterfront shall be within the existing Fire Access easement across the Elk's parking lot to connect to Constitution Street, which has been acknowledged by the Elk's subject to the pedestrian easement which the Town is preparing. The applicant will prepare a CRMC application, as may be needed for the walkway through the parking lot, and construct pavement markings and install signage as required.
 - M. CRMC Assent shall be submitted with the Final Plan review application.
 - N. The applicant shall apply to the Town Council for approval for the proposed relocation of the existing Mill building loading space on the west side of Thames Street further north as indicated on the preliminary plans.
 - O. Because ADA-Compliant parking is only being provided inside the building, there shall be no additional charge to residents using such ADA-Compliant parking.
 - P. There shall be no activities or amenities provided on the roof of any of the mill buildings.
 - Q. Final Plan review and approval shall be performed by the Planning Board.

Motion by Board Member Anthony Murgo, Seconded by Board Member Armand Bilotti
 Voting in Favor: Board Members Murgo, Bilotti, Katz, and Alternate Board Member Ruggiero
 Voting Against: Board Member Clark
 Motion Passes

Received for record at Bristol, RI
 7/14/2023 10:57:39 AM

Being a decision of the Bristol Planning Board on July 13, 2023.


 Diane M. Williamson, Administrative Officer

Date: 
 July 14, 2023



Town of Bristol, Rhode Island

Department of Community Development

235 High Street
Bristol, RI 02809
bristolri.gov
401-253-7000

Mailing address: 10 Court Street
Bristol, RI 02809

June 27, 2024

TO: Planning Board

FROM: Diane Williamson, Director

**RE: Bristol Yarn Mill Final Phase Application
Supplemental Information**

Enclosed, for your information, is the public access agreement for the harbor walk behind the Bristol Yarn Mill. This is modeled after the existing agreement that we have with Stone Harbour.

PUBLIC ACCESS EASEMENT AGREEMENT
(including Urban Coastal Greenway)

This Public Access Easement (“Agreement”) is made this ____ day of _____, 2024, by and between Thames Street Nashua, LLC, a New Hampshire limited liability company, a New Hampshire corporation with an address of 670 North Commercial Street, Manchester, New Hampshire 03101, and its successors and assigns, (hereinafter referred to as “OWNER”) and the TOWN OF BRISTOL, a municipal corporation in the State of Rhode Island, whose address is 10 Court Street, Bristol, Rhode Island 02809 (hereinafter referred to as “Town of Bristol”).

WHEREAS, OWNER owns that certain real estate located on the westerly side of Thames Street in Bristol, Rhode Island, and further described on Exhibit A attached (“Premises”).

WHEREAS, OWNER plans to develop the Premises as a mixed use development, including 127 residential apartments and up to 6,300 square feet of commercial space (the “Project”);

WHEREAS, the Master Plan Approval for the Project was set forth in a Decision of the Planning Board dated May 16, 2022 and recorded on May 16, 2022 in Book 2172 at Page 297 of the Bristol Land Evidence Records (“Master Plan Decision”) and the Preliminary Plan Approval for the Project was set forth in a Decision of the Planning Board dated July 14, 2023 and recorded on July 14, 2023 in Book 2217 at Page 90 of the Bristol Land Evidence Records (“Preliminary Plan Decision”) (The Master Plan Decision and the Preliminary Plan Decision are sometimes collectively referred to herein as the “Approvals”); and

WHEREAS, the Premises are located on the harbor in Bristol, RI and have a panoramic view of same;

WHEREAS, OWNER is planning to construct a public access area, comprised of a paved or brick sidewalk on the westerly side of the Premises, as shown on the attached plan described “PUBLIC ACCESS EASEMENT (WIDTH VARIES +/- 8230 SF”on Exhibit “B” attached hereto (hereinafter referred to as the “Promenade”);

WHEREAS, the Promenade includes a paved or brick sidewalk of eight feet (8’) in width, except only five feet (5’) in width where it intersects with the southwest corner of the building that is the Town of Bristol Maritime Welcome Center;

WHEREAS, the Bristol Planning Board, in accordance with the Town of Bristol’s Comprehensive Plan, is seeking public access to the harbor side of the Premises and the OWNER is able to provide said access from the Town’s Maritime Welcome Center located to the north side of the Premises;

WHEREAS, the Town of Bristol and the Owner have entered into an Agreement with the Bristol County Lodge #1860 of the Benevolent and Protective Order of Elks of the United State of America (“Elks”) on an Easement for public access from Constitution Street across Elks property ;located on Assessors Plat 10, Lot 63 to the Promenade at the south side of the Premises “Elks Easement”); and

WHEREAS, the parties hereto agree that the proposed use of the Premises, including the Promenade, remain an attractive and safe place for the residents of the Premises; and

WHEREAS, the Town of Bristol agrees that OWNER shall retain private ownership, maintenance responsibilities, and general control of the Premises.

NOW, THEREFORE, in consideration of One Dollar (\$1.00) and other valuable consideration, the receipt and sufficiency of which is hereby acknowledged, OWNER hereby GRANTS to the Town of Bristol, in common with Grantor, a permanent, non-exclusive Easement

for the purposes of ingress and egress by foot over and across the Promenade as shown on the Site Plan attached as Exhibit B, to have and to hold such Easement hereby granted to the said Grantee and its successors and assigns, and being subject to any easements or rights of way of record.

The Grantee's use in the above-described Easement shall be subject to the following conditions:

1. The general public shall be allowed to use the Promenade in common with the residents, and their guests, subject to the following restrictions, prohibitions, limitations, terms and conditions which shall apply to the use of the Promenade by the general public:

- (a) The Promenade shall be open to the public seven (7) days a week at least during the hours of 6:00 a.m. to 11:00 p.m.. Access to the Promenade by the general public shall be from the Maritime Welcome Center property located on the north side of the Premises and adjacent to the Promenade as well as on the south side of the Premises pursuant to the Elks Easement.
- (b) There may be signs erected setting forth the times of closing and the other restrictions set forth herein. Closure may be indicated by temporary barriers but no permanent gates may be erected.
- (c) OWNER shall have the right to close the Promenade to the public at any times which, in OWNER's sole discretion, are necessary to order to protect public health, safety, welfare or the environment, including, but not limited to, the occurrence of (i) power outages; (ii) security reasons associated with visits by dignitaries; (iii) risk to the integrity of the Promenade; (iv) adverse weather

conditions including, but not limited to, fog, ice, wind, snow, hail, or sleet; or (v) occasionally, from time to time, for initial construction, maintenance, or repair of the improvement so the Premises, including the Promenade itself to protect the public from harm as a result of construction or repair hazards; provided that on all occasions that the Promenade is closed pursuant to this subparagraph, the Promenade is also closed to residents.

(d) The Promenade shall in no event be used by the general public for the following uses and activities:

1. Excessive noise or audible radio/CD/MP3 players, or through any audio device;
2. Consumption of alcohol and/or smoking;
3. Nudity or inappropriate dress;
4. Vulgar or profane language;
5. Harassment of others, as determined in the reasonable discretion of OWNER;
6. Use of motorized vehicles of any kind except where necessary to transport handicapped or disabled people;
7. Bicycles, skateboards, rollerblades, in-line skates, or other similar vehicles and all such vehicles shall be walked across the Promenade;
8. Swimming or diving off the Promenade;
9. Boarding or unboarding of boats or other water-faring vehicles;
10. Congregations or demonstrations;
11. Kite flying;

12. Fishing; OR,

13. Use of folding or other types of lawn chairs.

Notwithstanding the above-enumerated restrictions, OWNER may impose other specific restrictions on the use of the Promenade which are necessary for the quiet enjoyment of the Promenade and/or the quiet enjoyment of the residential uses of the Premises, provided that the Town of Bristol, by and through its Town Council, shall consent in advance to such restrictions.

- (e) When major events are held on or over Bristol Harbor, including but not limited to fireworks displays, which events may lead to dangerous overcrowding of the Promenade, the Owner may close the Promenade to the public (but not to the residents and their respective guests) from three (3) hours before sunset, or 6:00 p.m., whichever is earlier until the end of such event. Furthermore, on the night of July 3rd, and the night prior to the 4th of July Parade if held on a day other than the 4th, due to parade crowds, the Owner may close the Promenade at 9:30 p.m. subject to the above limitations.
- (f) Additionally, for not more than four (4) 17-hour periods per calendar year, consistent with normal hours of 6:00 a.m. to 11:00 p.m., which may NOT include any holidays and the days before and after, OWNER may close the Promenade and use the same at any time, upon forty-eight (48) hours' notice to Town of Bristol, and public notice, which may be by posting at the site, for itself and its residents and guests for any use or activity including, but not limited to, such uses and activities that are restricted or prohibited for the general public by this Agreement.

(g) Temporary barriers may be erected by OWNER when the Promenade is closed pursuant to sub paragraphs (c), (e) and (f) above.

2. OWNER shall initially construct the Promenade as provided hereunder at its sole cost and expense as shown on Exhibit B. Subsequent to such initial construction thereof, the OWNER shall be obligated to maintain, repair and restore the Promenade in good and workmanlike condition and repair to the reasonable satisfaction of the Town of Bristol using the same or better-quality materials of construction (collectively, the “Repair Work”).

In the event that the OWNER fails under its obligations to do and complete the repair Work within thirty (30) days of written notice from the Town of Bristol; or within such extensions to complete the work as OWNER shall reasonably request, then the Town of Bristol may take over or complete the Repair Work as deemed necessary in its reasonable discretion in order to preserve the integrity of the Promenade and the Premises and the cost of such repair work, including reasonable attorney’s fees, will be reimbursed by the OWNER, and shall be a lien on the property of the OWNER. Any such action by the Town of Bristol at any time shall not relieve the OWNER of its then current or any continuing obligations to do and complete said Repair Work. Notwithstanding anything to the contrary contained herein, there shall be no obligation for the Town of Bristol to take over or complete any such Repair Work, and the failure to do so shall not expose the Town of Bristol to any additional liability hereunder.

3. The Town of Bristol may not assign or otherwise transfer its rights hereunder, without the prior written consent of OWNER; any such attempt to do so shall immediately terminate this Agreement without any further action required hereunder and shall terminate all rights and remedies of the Town of Bristol with respect hereto. Upon written notice, OWNER may assign its rights hereunder to related entities, purchaser(s) or mortgagee(s) of the Premises, without

the prior written consent of the Town of Bristol or any such other party, subject to the public Promenade remaining and the terms of this Agreement.

4. In accordance with R.I.G.L. Title 32, Chapter 6, OWNER and the Town of Bristol agree that OWNER, by directly or indirectly inviting or permitting any person to use the Promenade under this Agreement, does not (i) assure that the Promenade is safe for any purpose; (ii) confer upon that person the legal status of an invitee or licensee to whom a duty of care is owed; nor (iii) assume responsibility for or incur liability for any injury to any person or property caused by an act or omission of that person.

5. It is understood and agreed to by the parties hereto that OWNER shall retain full ownership and general control of the Promenade, subject to the provisions hereof. It is the intent of the parties that this Agreement reflect the obligations of the parties as to the manner in which the Promenade shall be operated by OWNER and accessed by the public.

6. The parties agree that all insurance carried by either party, if any, shall contain a clause denying the insurer rights of subrogation against the other party. Neither party shall be liable to the other or to any insurer (by way of subrogation or otherwise) insuring the other party for any loss or damage to the Premises or any other property if said loss or damages are covered by insurance benefiting the party suffering such loss. In consideration of the public access to the Promenade, the Town of Bristol shall indemnify and hold harmless OWNER from and against any and all claims, suits and liabilities (including reasonable legal fees and costs), other than those due to OWNER's negligence, arising from or in connection with any use of the Promenade at any time by any person or persons, except for such times as the Promenade may be closed pursuant to Section 1(e) and 1(f) above. The Town of Bristol shall enforce violations by the general public of the prohibitions, restrictions and limitations set forth in this Agreement.

7. This Agreement is specifically conditioned upon the OWNER receiving all necessary permits and approvals from the Town of Bristol and the State of Rhode Island for the construction of the Project as substantially set forth in the Approvals. The Promenade shall be completed and open to the public by the time that 50% of the units of the Project have certificates of occupancy or December 31, 2028, whichever may come first.

8. The Owner and the Town of Bristol agree to make reasonable amendments to this Agreement if required by any Public Access Agreements entered into by OWNER and the Coastal Resources Management Council, provided that such amendments do not impair the intent and purposes of the Approvals or this Agreement.

9. Any notice required or given pursuant to this Agreement must be in writing and shall be deemed to have been properly given or served by personal delivery or by sending same by overnight courier or by depositing same in the United States Mail, postpaid and registered or certified, return receipt requested. Each notice shall be effective upon being personally delivered or upon being sent by overnight courier or upon being deposited in the United States Mail as aforesaid. The time period in which a response to such notice must be given or any action taken with respect thereto (if any), however, shall commence to run from the date of receipt if personally delivered or sent by overnight courier, or if so deposited in the United States Mail, the earlier of the three (3) business days following such deposit or the date of receipt as disclosed on the return receipt. Rejection or other refusal to accept or the inability to deliver because of changed address for which no notice was given shall be deemed to be receipt of the notice sent. By giving at least Fifteen (15) days prior notice thereof, the OWNER or the Town of Bristol shall have the right from time to time and at any time during the term of this Agreement to change their respective addresses

and each shall have the right to specify as its address any other address within the United State of America.

Notice to the Town of Bristol shall be sent to the attention of the Town Administrator, 10 Court Street, Bristol, RI 02809, with a copy to the Town Solicitor, c/o Ursillo, Teitz, & Ritch, Ltd. 2 Williams Street, Providence, RI 02903. Notice to OWNER shall be sent to its resident agent as maintained by the Rhode Island Secretary of State, as well as to the Manager and the General Counsel Marc Pinard. Esq., both at 670 North Commercial Street, Manchester, NH 03101.

Executed under seal this ____ day of _____, 2024.

THAMES STREET NASHUA, LLC

By: _____
ARTHUR SULLIVAN, MANAGER

STATE OF _____
COUNTY OF _____

In the City/Town of _____ on this ____ day of _____, 2024, before me personally appeared ARTHUR SULLIVAN, Manager of Thames Street Nashua, LLC, to me known and known by me or proved to me through satisfactory evidence to be the party executing the foregoing instrument on behalf of said limited liability company, and acknowledged that he executed said instrument with proper authority for the purpose state therein as his free act and deed in said capacity and the free act and deed of said limited liability company.

NOTARY PUBLIC

Print Name: _____

My commission expires: _____

**TOWN OF BRISTOL,
BY ITS DIRECTOR OF COMMUNITY
DEVELOPMENT, ADMINISTRATIVE
OFFICER OF THE BRISTOL PLANNING
BOARD**

By: _____
 DIANNE M. WILLIAMSON

STATE OF RHODE ISLAND
COUNTY OF BRISTOL

In the Town of Bristol on this _____ day of _____, 2024, before me personally appeared DIANE M. WILLIAMSON, Director of Community Development, Administrative Officer of the Bristol Planning Board of the Town of Bristol, to me known and known by me or proved to me through satisfactory evidence to be the party executing the foregoing instrument, on behalf of the Town of Bristol and acknowledged that she executed said instrument with the proper authority for the purpose stated therein as her free act and deed in said capacity and the free act and deed of the Town of Bristol.

 NOTARY PUBLIC

Print Name: _____

My commission expires: _____